



REGULAR PLANNING COMMISSION AGENDA

October 10, 2023 at 7:00 PM

Assembly Chambers/Zoom Webinar

<https://juneau.zoom.us/j/82614350423> or 1-253-215-8782 Webinar ID: 826 1435 0423

A. LAND ACKNOWLEDGEMENT

We would like to acknowledge that the City & Borough of Juneau is on Tlingit land, and wish to honor the indigenous people of this land. For more than ten thousand years, Alaska Native people have been and continue to be integral to the well-being of our community. We are grateful to be in this place, a part of this community, and to honor the culture, traditions, and resilience of the Tlingit people. Gunalchéesh!

B. ROLL CALL

C. REQUEST FOR AGENDA CHANGES AND APPROVAL OF AGENDA

D. APPROVAL OF MINUTES

1. September 12, 2023 Draft Minutes, Regular Planning Commission - **APPROVED**

E. BRIEF REVIEW OF THE RULES FOR PUBLIC PARTICIPATION

F. PUBLIC PARTICIPATION ON NON-AGENDA ITEMS

G. ITEMS FOR CONSIDERATION

H. CONSENT AGENDA

I. UNFINISHED BUSINESS

J. REGULAR AGENDA

2. **SMF2023 0004:** Final plat review for the subdivision of a private shared access subdivision of the Blacktail Mountain Estates, Tract 'C' in to four (4) lots, with access via Bonnie Doon Drive. **APPROVED WITH CONDITIONS AS AMENDED.**

Applicant: Creative Development

Location: N Douglas Highway

RECOMMENDATION

Staff recommends the Planning Commission adopt the Director's analysis and findings and **APPROVE WITH CONDITIONS** the requested Final Plat. The permit would allow final plat approval for the shared access subdivision of Tract C into four (4) lots.

Approval is subject to the following conditions:

1. Improvements made under the Right-of-Way End of Project Checklist must be approved by General Engineering before the Chair of the Planning Commission signs the Final Plat.

DIRECTOR'S REPORT

The applicant requests approval of the final plat for the Tract C subdivision, one (1) of three (3) shared access subdivisions above Bonnie Brae Estates Subdivision on North Douglas. The Commission approved

the preliminary plat under SMP2021 0009 at its meeting on May 10, 2022. Proposed conditions require that Right-of-Way improvements are completed with General Engineering approval, and that homeowners' documents explicitly address utilities in the access easement.

K. OTHER BUSINESS

L. STAFF REPORTS

M. COMMITTEE REPORTS

N. LIAISON REPORT

O. CONTINUATION OF PUBLIC PARTICIPATION ON NON-AGENDA ITEMS

P. PLANNING COMMISSION COMMENTS AND QUESTIONS

Q. EXECUTIVE SESSION

R. SUPPLEMENTAL MATERIALS

3. Additional Materials Packet

-Public Comment for USE2023 0013

-SMF2023 0004 - MEMO; Attachment I

S. ADJOURNMENT

ADA accommodations available upon request: Please contact the Clerk's office 36 hours prior to any meeting so arrangements can be made for closed captioning or sign language interpreter services depending on the meeting format. The Clerk's office telephone number is 586-5278, TDD 586-5351, e-mail: city.clerk@juneau.org.

DRAFT MINUTES
 Agenda
Planning Commission
Regular Meeting
 CITY AND BOROUGH OF JUNEAU
Michael LeVine, Chair
 September 12, 2023

I. LAND ACKNOWLEDGEMENT – Read by Commissioner Keller

We would like to acknowledge that the City and Borough of Juneau is on Tlingit land, and wish to honor the indigenous people of this land. For more than ten thousand years, Alaska Native people have been and continue to be integral to the well-being of our community. We are grateful to be in this place, a part of this community, and to honor the culture, traditions, and resilience of the Tlingit people. Gunalchéesh!

II. ROLL CALL

Michael LeVine, Chair, called the Regular Meeting of the City and Borough of Juneau (CBJ) Planning Commission (PC), held in Assembly Chambers of the Municipal Building, virtually via Zoom Webinar, and telephonically, to order at 7:01 p.m.

Commissioners present: Commissioners present in Chambers – Michael LeVine, Chair; Mandy Cole, Vice Chair; Travis Arndt, Clerk; Erik Pedersen, Assistant Clerk; Paul Voelckers; Matthew Bell; Adam Brown; Nina Keller

Commissioners present via video conferencing – None

Commissioners absent: David Epstein

Staff present: Scott Ciambor, CDD Planning Manager; Jennifer Shields, Planner II; Forrest Courtney, Planner I; Ilsa Lund, CDD Administrative Assistant; Emily Wright, Law Assistant Municipal Attorney (via Zoom)

Assembly members: Not in attendance

III. REQUEST FOR AGENDA CHANGES AND APPROVAL OF AGENDA - No changes

IV. APPROVAL OF MINUTES

A. August 8, 2023 Draft Minutes, Regular Planning Commission

MOTION: *by Mr. Arndt to approve the August 8, 2023 Planning Commission Regular Meeting minutes.*

The motion passed with no objection.

B. August 22, 2023 Draft Minutes, Regular Planning Commission

MOTION: *by Mr. Voelckers to approve the August 22, 2023 Planning Commission Regular Meeting minutes.*

The motion passed with no objection.

V. BRIEF REVIEW OF THE RULES FOR PUBLIC PARTICIPATION - by Chair LeVine

VI. PUBLIC PARTICIPATION ON NON-AGENDA ITEMS - None

VII. ITEMS FOR RECONSIDERATION - None

VIII. CONSENT AGENDA- None

IX. UNFINISHED BUSINESS - None

X. REGULAR AGENDA

Prior to hearing **USE2023 0011** Mr. Arndt declared a conflict as he is the neighbor directly across the street from the property in question and the outcome of this hearing could affect property values either way. Due to this direct financial interest, he recused himself from hearing the case.

USE2023 0011:	Applicant requests a Conditional Use Permit for commercial storage and parking.
Applicant:	Brent Bitterman
Location:	20012 Cohen Drive

Director's Report

The applicant requests a Conditional Use Permit to use a residentially zoned lot for the off-season storage of commercial boats and parking of commercial vans in support of his seasonal tourist business. The applicant proposes the exterior storage of three (3) commercial boats outside this winter until construction of a new single-family/garage structure is completed which will provide 4,080 square feet of interior boat storage and van parking. Six (6)

commercial vans are currently parked year-round in a leased building near Auke Bay. Once construction of the new single-family/garage structure is completed, the three (3) commercial boats and up to six commercial vans will be stored/parked inside during the off-season. Employees and customers of the tourist company will not be reporting to the site for commercial purposes.

Staff Recommendation

Staff recommends the Planning Commission adopt the Director's analysis and findings and APPROVE with conditions the requested Conditional Use Permit. The permit would allow for commercial boat storage and van parking on a residential lot.

Approval is subject to the following conditions:

1. Exterior storage of commercial boats shall be temporary, for a period not to exceed eighteen (18) months from the date of issuance of the Conditional Use Permit.
- ~~2. Commercial boats and vans shall be stored / parked inside the new single-family/garage structure. [Removed by motion]~~
- ~~3.~~ **2.** No exterior ~~parking~~ **storage** of commercial vans/**boats** shall be permitted. [Amended]
- ~~4. Parking spaces shall be a minimum of 8.5 feet by 17 feet. [Removed by motion]~~
- ~~5. One accessible parking space shall be at least 13 feet by 17 feet, including an access aisle area of at least 5 feet by 17 feet. A blue wheel stop and CBJ approved signage shall be posted for the space prior to commencement of the proposed use. [Removed by motion]~~
- ~~6.~~ **3.** Exterior lighting shall be designed and located to minimize off-site glare.
- ~~7.~~ **4.** Employees and customers of the tourist company shall not report to the site for commercial purposes.

STAFF PRESENTATION - by Mr. Ciambor

QUESTIONS FOR STAFF

Mr. Voelckers asked why there would be an ADA parking space required for what is essentially a residence property. Condition #5 requires an ADA space while condition #7 excludes the property from commercial use. Mr. Ciambor explained it is based on the land use code and deferred to the applicant for further explanation.

APPLICANT PRESENTATION

Brent Bitterman presented he owns Alaska Luxury Tours. He is seeking a CUP to allow him to build a home with a garage large enough to store his boats during the off-season.

QUESTIONS FOR APPLICANT

Mr. Voelckers asked how often the boats would be transported to and from the property site. Mr. Bitterman explained they would go into storage on the property in October and go into the water in April. Once in fall and once in spring.

Ms. Cole asked if there would be any heavy equipment activity or disruptive (loud) maintenance on the boats on the property. Mr. Bitterman said there would not be.

Ms. Keller asked if there would be van activity to and from the property. Mr. Bitterman explained he leases space in Auke Bay where the vans are stored year-round. They are included in this permit request just in case he parks a van on property at any time.

PUBLIC COMMENT

Ben Eisenstein - Alaska Luxury Tours employee, spoke in support saying the boats are already stored outside. Moving them inside would improve the aesthetic of the neighborhood. This is not the business location and will not increase traffic to the property.

Jeremiah Kahn - Spoke in support saying it makes sense to allow the applicant to store the boats inside.

Lisa Myers, 19331 Cohen Drive (via Zoom) - Spoke in support saying she does not anticipate any problems and looks forward to seeing the home when it is completed.

Michael Williams, neighboring resident - expressed concerns with the rezone. If the rezone is approved and Mr. Bitterman sells the property in the future, would it remain commercial property?

Mr. LeVine explained there is a difference between a rezone and a conditional use permit and this is not a rezone request.

Dan Miller - Said the owner is going to extra costs to make sure the facade does not look like a big garage. This will not be a business property. Therefore, the parking space conditions do not make much sense.

Ms. Cole asked for the difference between a big garage and a warehouse. Mr. Miller said that would be the use.

Mr. LeVine expressed trouble with the wording of condition #2 saying it could be interpreted as restricting what can be stored in the garage.

Al Tingley, neighboring resident - Spoke in support saying this is a garage/boat condo and should be approved.

Alice Smoker, 20007 Cohen Drive - Spoke in support saying she has no problem with this

Daniel Green, 20003 Glacier Highway (via Zoom) - Spoke in support

ADDITIONAL APPLICANT COMMENTS - Mr. Bitterman had nothing to add but made himself available for questions.

Mr. LeVine asked if the business is paying him for the storage of boats on the property. Mr. Bitterman explained he does pay himself rent for that storage.

Mr. LeVine asked if he would be storing other items in the garage. Mr. Bitterman said he has a backhoe that may be stored in the garage and he would like to paint a pickleball court so the garage could be used for pickleball during the summer when the boats are in the water.

ADDITIONAL QUESTIONS FOR STAFF

Mr. Voelckers asked for explanation of condition #4. It appears to be a description of standard parking space dimensions. Mr. Ciambor explained it is standard parking space dimensions. Per CBJ 49.40.210(a), this request falls under commercial land use category for warehouse storage and wholesale businesses. That designation requires the parking spaces as described and the ADA space.

Ms. Cole asked if Mr. Bitterman was simply building a garage of this size and not renting it to himself, would he still be required to obtain a CUP? Mr. Ciambor said the requirements are because this is commercial land use category due to the commercial use of renting the space for the storage.

Mr. LeVine asked if approving the CUP would allow the applicant to then rent out the garage to others for storage. Mr. Ciambor acknowledged there *could* be the potential for that happening. It had not been taken into consideration or addressed in the report.

COMMISSIONER DISCUSSION

Ms. Cole had concerns that the CUP goes with the land and could allow the property to be used for storage. She wondered if they are over-legislating and could create an unintended consequence.

Mr. Bell asked the chair for his thoughts on the conditions. Mr. LeVine said he is trying to find a way to allow the garage to be used for the boat storage and not allow it to be used as a general storage unit. Ms. Keller suggested adding “seasonal storage” to the language of the conditions. Mr. Voelckers said it seemed like there should be a requirement of the boats to be moved once or twice per year. Mr. Ciambor felt that was covered by condition #7.

Mr. Brown was confused why this requires a CUP at all. Mr. Pedersen agreed with Mr. Brown.

Ms. Cole asked if conditions #4 and 5 are part of the building permit and therefore could be removed. Ms. Wright agreed.

Mr. LeVine asked for advice regarding how the PC can restrict the frequency and type of storage allowed in the garage. Ms. Wright said they could state their intent on the record.

MOTION: *by Ms. Cole to accept staff’s findings, analysis, and recommendations, and approve USE2023 0011 modifying conditions to strike Conditions #2, 4, 5, and amend Condition #3 to read “No exterior parking commercial van/**boats** shall be permitted”.*

Ms. Cole spoke to her motion saying these are the minimum conditions required for a CUP. She was not completely convinced a CUP was necessary but could see the justification considering the storage space is being leased to the business and this seemed an expedient way to deal with that.

MOTION TO AMEND: *by Mr. Pedersen to strike Conditions 1 and 3.*

Mr. LeVine noted Condition #1 is the one that permits parking the boats outside for 18 months during construction and is the subject of the enforcement action currently. Striking Condition #3 would allow the exterior parking to continue.

Mr. Brown expressed support for the motion to amend.

Ms. Cole said this could leave the applicant and CBJ CDD in a difficult position and the enforcement action would continue. Her understanding was this CUP was the result of collaboration and agreement between CDD and the applicant to stop the enforcement.

Ms. Keller spoke in support of the original motion but against the amendment.

Mr. Pedersen withdrew his motion to amend

MOTION TO AMEND: *by Mr. Pedersen to strike Condition #3.*

Ms. Cole asked if someone were building a commercially used warehouse, would we condition them not to store their goods outside. Mr. LeVine said if it were in D-1 residential neighborhood, we would.

ROLL CALL VOTE ON MOTION TO AMEND

YEA: Pedersen; Bell; Brown;
NO: Keller; Voelckers; Cole; LeVine

Motion to Amend failed 3 - 4

MOTION TO AMEND: by Mr. LeVine to amend Condition #3 to change 'parking' to 'storage' and to amend Condition #7 to add "other than to transport boats to or from the property."

Mr. LeVine spoke to his amendment saying it was meant to provide clarification.

Mr. Brown expressed concerns saying he would like to see a time limit allowing a boat to be allowed outside for some amount of time. This way, the applicant could park in outside temporarily for the purposes of moving the boats into and out of the garage and other short-term activities.

Mr. Voelckers agreed with the amendment and spoke to Mr. Brown's concern saying using the term 'storage' rather than 'parking' takes care of that. Mr. Pedersen agreed with Mr. Voelckers.

The motion to amend passed with no objection.

The amended motion passed with no objection.

Mr. Arndt rejoined the meeting at 8:10 p.m.

XI. OTHER BUSINESS - None

XII. STAFF REPORTS

Mr. Ciambor reported topics for upcoming Regular meetings are as follows:

- September 26: Cancelled
- October 10: may be a case
- October 24: 2 cases tentatively on the schedule (Gastineau Apartments and Global FCU)
- November 14: Chilkat Vistas Subdivision

Planning department has been working with Northwind Architects and the Historic Resources Advisory Committee on the second phase of the Historic Townsite inventory and survey. That report will be completed and should be posted in the next few weeks.

Mr. Ciambor thanked CDD staff by name for the hard work and dedication they put in.

Mr. Arndt asked when **AME2023 0003** and **AME2023 0004** would be back before the PC. Ms. Wright said LAW is aware of them but they have not yet been discussed. She expects it will be late October before it will come back to the PC.

Mr. Voelckers asked if there would be a report on the general housing inventory over time. Mr. Ciambor said the department is working on an update on the housing tracker developed with the

Land Housing and Economic Development Committee. When that is complete, he will share it with the PC.

XIII. COMMITTEE REPORTS

XIV. LIAISON REPORTS - 'Wáahlaal Gíidaak (Barbara) Blake was not in attendance but the asked Mr. LeVine to inform the PC that the assembly has discussed the hazard maps and they have been referred to the Committee of the Whole.

XV. CONTINUATION OF PUBLIC PARTICIPATION ON NON-AGENDA ITEMS - None

XVI. PLANNING COMMISSION COMMENTS AND QUESTIONS - None

XVII. EXECUTIVE SESSION - None

XVIII. ADJOURNMENT - 8:20 p.m.

Next Regular Meeting October 24, 2023 7:00 p.m.

Respectfully submitted by *Kathleen Jorgensen Business Assists (907)723-6134* 🐾



Planning Commission

(907) 586-0715

PC_Comments@juneau.org

www.juneau.org/community-development/planning-commission

155 S. Seward Street • Juneau, AK 99801

**PLANNING COMMISSION
NOTICE OF DECISION**

Date: October 19, 2023

File No.: SMF2023 0004

Peter Peel
800 6th Street.
Juneau, AK 99801

Proposal: Final Plat review for shared access subdivision of Tract C into four (4) lots, with access via Bonnie Doon Drive.

Property Address: N Douglas Highway

Legal Description: BLACKTAIL MOUNTAIN ESTATES TR C

Parcel Code No.: 6D0801110013

Hearing Date: October 10, 2023

The Planning Commission, at its regular public meeting, adopted the analysis and findings listed in the attached memorandum dated October 10, 2023, and APPROVE the Final Plat for shared access subdivision of Tract C into four (4) lots, to be conducted as described in the project description and project drawings submitted with the application and with the following conditions: (as amended):

1. The staff review memo comments will need to be addressed prior to the approval of the final plat. Improvements made under the Right-of-Way End of Project Checklist must be approved by General Engineering before the Chair of the Planning Commission signs the Final Plat.
2. The agreement required under CBJ 49.35.261(2) must include explicit recognition of all allowances for drainage and utilities before the Chair of the Planning Commission signs the Final Plat.

Attachment: -October 10, 2023, memorandum from David Peterson, Community Development, to the CBJ Planning Commission regarding SMF2023 0004.
-Additional Materials.

Peter Peel
File No.: SMF2023 0004
October 19, 2023
Page 2 of 2

This Notice of Decision does not authorize any construction. Prior to starting any project, it is the applicant’s responsibility to obtain the required building permits.

This Notice of Decision constitutes a final decision of the CBJ Planning Commission. Appeals must be brought to the CBJ Assembly in accordance to CBJ 01.50.030. Appeals must be filed by 4:30 P.M. on the day twenty days from the date the decision is filed with the City Clerk, pursuant to CBJ 01.50.030(c). Any action by the applicant in reliance on the decision of the Planning Commission shall be at the risk that the decision may be reversed on appeal (CBJ 49.20.120).

Effective Date: The permit is effective upon approval by the Commission, August 22, 2023.



Mandy Cole, Vice Chair
Planning Commission

10/19/23

Date



Filed With City Clerk

10/19/23

Date


cc: Plan Review

NOTE: The Americans with Disabilities Act (ADA) is a federal civil rights law that may affect this subdivision. ADA regulations have access requirements above and beyond CBJ - adopted regulations. Owners and designers are responsible for compliance with ADA. Contact an ADA - trained architect or other ADA trained personnel with questions about the ADA: Department of Justice (202) 272-5434, or fax (202) 272-5447, NW Disability Business Technical Center (800) 949-4232, or fax (360) 438-3208.



PLANNING COMMISSION STAFF REPORT
MAJOR SUBDIVISION SMF2023 0004
HEARING DATE: OCTOBER 10, 2023

(907) 586-0715
 CDD_Admin@juneau.org
 www.juneau.org/community-development
 155 S. Seward Street • Juneau, AK 99801

DATE: October 2, 2023
TO: Michael LeVine, Chair, Planning Commission
BY: David Matthew Peterson, Planner II 
THROUGH: Jill Maclean, Director, AICP

PROPOSAL: Applicant requests a Final Plat review for a private shared access subdivision of the Blacktail Mountain Estates, Tract C into four (4) lots, with access via Bonnie Doon Drive.

STAFF RECOMMENDATION: Approval with conditions

KEY CONSIDERATIONS FOR REVIEW:

- Conditions are based on the final approval from General Engineering of constructed improvements per the Right-of-Way End of Project Checklist.

ALTERNATIVE ACTIONS:

1. **Amend:** amend the approval to require conditions.
2. **Deny:** deny the permit and adopt new findings for items 1-3 below that support the denial.
3. **Continue:** to a future meeting date if determined that additional information or analysis is needed to make a decision, or if additional testimony is warranted.

ASSEMBLY ACTION REQUIRED:

Assembly action is not required for this permit.

STANDARD OF REVIEW:

- Quasi-judicial decision
- Requires five (5) affirmative votes for approval
- Code Provisions:
 - CBJ 49.35.261(2)
 - CBJ 49.15.402
 - CBJ 49.15.412
 - CBJ 49.80

GENERAL INFORMATION	
Property Owner	Peter Peel
Applicant	Creative Development
Property Address	N Douglas Highway
Legal Description	BLACKTAIL MOUNTAIN ESTATES TR C
Parcel Number	6D0801110013
Zoning	D3 (Single Family/Duplex)
Lot Size	3,196,115 square feet / 73.37 acres
Water/Sewer	Available
Access	Shared access easement off Bonnie Doon Drive right of way
Existing Land Use	D3 – Vacant Property
Associated Applications	SMF2023 0002, SMF2023 0003

The Commission shall hear and decide the case per CBJ 49.15.400(a) - Purpose and applicability. The purpose of this article is to facilitate the subdivision of land to promote the public health, safety, and general welfare of the citizens of the CBJ in accordance with the Comprehensive Plan of the City and Borough of Juneau, Alaska.

And per CBJ 49.15.402(a) - A major subdivision permit is required for subdivisions resulting in 14 or more lots.

SITE FEATURES AND ZONING



SURROUNDING ZONING AND LAND USES	
North (D3)	Bonnie Brae Estates II
South (RR)	Rural Reserve (RR)
East (RR)	Rural Reserve (RR)
West (RR)	Bonnie Brae Estates II Park Sl; Blacktail Mountain Estates Tract B; Rural Reserve (RR)

SITE FEATURES	
Anadromous	None
Flood Zone	None
Hazard	None
Hillside	To Be Determined
Wetlands	Muskeg
Parking District	N/A
Historic District	N/A
Overlay Districts	Map F – Mining & Surface Exploration Activities Exclusion District; RV Park Area

BACKGROUND INFORMATION

Project Description – Following the approval of the preliminary plat SMP2021-0009, the applicant is finalizing the subdivision of Tract C of Blacktail Mountain Estates into four (4) private shared access lots, with access to Bonnie Doon Dr. (**Attachment A**).

Background – Under MIF2021 0011, the original 96-acre lot was subdivided into three (3) tracts. Each tract was proposed as a shared access subdivision with four (4) lots. The subdivisions were reviewed under the Major Subdivision process based upon the following:

1. It had been less than two (2) years since the previous minor subdivision [CBJ 49.15.401(a)(1)(B)]. The last subdivision was recorded in October 2021.
2. Per CBJ 4915.220(1), the Director was concerned that the series of applications for minor developments, taken together, constitute a major development.
3. The Director was concerned that the proposed subdivision circumvents road and utility development that would usually be associated with a major subdivision [CBJ 49.15.401(a)(1)(A)].
4. The Director was concerned that the shared access easements created double-frontage lots.

In the Notice of Decision for SMP2021-0009 (**Attachment B**), the Commission found that, “Shared access is in a private easement. A private easement does not constitute or create a property boundary. Additional lots are not created.” All three (3) preliminary plats were approved.

Tract C is the last of the three (3) subdivisions for the Commission to review.

The Table below summarizes relevant history for the lot and proposed development.

Item	Summary
November 1915	U.S. Survey No. 471
August 1981	Bonnie Brae Estates – Unit No. 1 Survey
September 2021	Plat of Blacktail Mountain Estates
December 2021	Community Development Department (CDD) Plat 2021-32 recorded October 8, 2021.
June 2023	MIP2021-0009 Approved Preliminary Plat.

ANALYSIS

Compliance with Title 49 - The Development conforms to Title 49. Confirmation of compliance with conditions as outlined in the Notice of Decision for SMP2021-0009 (Attachment B) will be met prior to Final Plat recording:

Condition	Status	Summary
Prior to Final Plat approval, Certification from the CBJ Treasurer is required showing that all real property taxes and special assessments levied against the property for the year of recording have been paid.	<input checked="" type="checkbox"/> Met <input type="checkbox"/> Unmet <input type="checkbox"/> On-going	Certificate of Taxes Paid, dated July 28, 2023. (Attachment D)
Prior to approval of the Final Plat, the developer shall submit a final drainage plan to be approved by CBJ Engineering & Public Works. This drainage plan must be prepared by an Alaskan licensed engineer in accordance with 49.35.510.	<input checked="" type="checkbox"/> Met <input type="checkbox"/> Unmet <input type="checkbox"/> On-going	Drainage plan has been submitted. (Attachment E)
Prior to approval of the final plat, the applicant shall submit a complete set of construction plans for all required improvements to the Community Development Department for review by the Director of Engineering & Public Works for compliance with 49.35.140.	<input checked="" type="checkbox"/> Met <input type="checkbox"/> Unmet <input type="checkbox"/> On-going	Construction plan has been submitted. (Attachment E)
Prior to approval of the final plat, the applicant has constructed all required improvements or provided a financial guarantee in accordance with 49.55.010.	<input checked="" type="checkbox"/> Met <input type="checkbox"/> Unmet <input type="checkbox"/> On-going	Improvements have been added and are pending final approval from General Engineering (Attachment F) .

AGENCY REVIEW

CDD conducted an agency review comment period between 9/5/2023 – 9/19/2023. Agency review comments can be found in Attachment H. Comments have been addressed through the plat review process.

Agency	Summary
General Engineering	
Cartography	

Agency	Summary
Capitol City Fire & Rescue	

PUBLIC COMMENTS

CDD conducted a public comment period between 9/14/23 - 9/28/23 Public notice was mailed to property owners within 500 feet of the subject parcel. A public notice sign was also posted on-site two (2) weeks prior to the scheduled hearing. No public comments were submitted at the time of writing this staff report.

Name	Summary

FINDINGS

Final plat approval criteria - Per CBJ 49.15.402(f)(3) the Director makes the following findings:

1. *Has the applicant complied with any conditions or plat notes as required in the notice of decision approving the preliminary plat?*

Analysis: All conditions have been met.

Finding: Yes. All conditions of preliminary plat approval have been met.

2. *Has the applicant constructed all required improvements or provided a financial guarantee in accordance with CBJ 49.55.010?*

Analysis: Improvements are complete and awaiting General Engineering sign-off of punch list items.

Finding: Yes. The applicant has constructed all required improvements.

3. *Does the final plat meet the standards set forth in CBJ 49.15.412 for final plats?*

Analysis: No additional analysis needed.

Finding: Yes. The Final Plat complies with CBJ 49.15.415 Final Plat Standards.

RECOMMENDATION

Staff recommends the Planning Commission adopt the Director's analysis and findings and APPROVE WITH CONDITIONS the requested Final Plat. The permit would allow the Final Plat approval for shared access subdivision of Tract C into four (4) lots.

The approval is subject to the following conditions:

1. Improvements made under the Right-of-Way End of Project Checklist must be approved by General Engineering before the Chair of the Planning Commission signs the Final Plat.
2. The agreement required under CBJ 49.35.261(2) must include explicit recognition of all allowances for drainage and utilities before the Chair of the Planning Commission signs the Final Plat.

STAFF REPORT ATTACHMENTS

Item	Description
Attachment A	Application Packet
Attachment B	Notice of Decision_SMP21-09
Attachment C	SMF2023-0004 Final Plat
Attachment D	SMF23-04 – Certificate of Taxes Paid
Attachment E	SMF2023-0004 Construction Plans
Attachment F	Right-of-way End of Project Checklist
Attachment G	Public Comments
Attachment H	Agency Comments



DEVELOPMENT PERMIT APPLICATION

NOTE: Development Permit Application forms must accompany all other Community Development Department land use applications. This form and all documents associated with it are public record once submitted.

To be completed by Applicant	PROPERTY LOCATION		
	Physical Address <u>NORTH DOUGLAS HIGHWAY TOP OF BONNIE DOON STREET</u>		
	Legal Description(s) (Subdivision, Survey, Block, Tract, Lot) <u>BLACK TAIL MOUNTAIN ESTATES TRACT C</u>		
	Parcel Number(s) <u>60801110013</u>		
	<input type="checkbox"/> This property is located in the downtown historic district <input type="checkbox"/> This property is located in a mapped hazard area, if so, which _____		
	LANDOWNER/ LESSEE		
	Property Owner <u>CREATIVE DEVELOPMENT INC.</u>	Contact Person <u>BRUCE GRIGGS</u>	Phone Number(s) <u>(907) 723-7851</u>
	Mailing Address <u>PO BOX 32076 Juneau, AK. 99803</u>		
	E-mail Address <u>brucegriggs@hotmail.com</u>		
	LANDOWNER/ LESSEE CONSENT		
Required for Planning Permits, not needed on Building/ Engineering Permits.			
Consent is required of all landowners/ lessees. If submitted with the application, alternative written approval may be sufficient. Written approval must include the property location, landowner/ lessee's printed name, signature, and the applicant's name.			
I am (we are) the owner(s) or lessee(s) of the property subject to this application and I (we) consent as follows:			
A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission.			
B. I (we) grant permission for the City and Borough of Juneau officials/employees to inspect my property as needed for purposes of this application.			
<u>creative development inc.</u> <u>President + (Bruce GRIGGS)</u> Landowner/Lessee (Printed Name) Title (e.g.: Landowner, Lessee)			
X <u>[Signature]</u> <u>8/30/23</u> Landowner/Lessee (Signature) Date			
_____ Landowner/Lessee (Printed Name) Title (e.g.: Landowner, Lessee)			
X _____ Landowner/Lessee (Signature) Date			
NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours. We will make every effort to contact you in advance, but may need to access the property in your absence and in accordance with the consent above. Also, members of the Planning Commission may visit the property before a scheduled public hearing date.			
APPLICANT			
If same as LANDOWNER, write "SAME"			
Applicant (Printed Name) <u>SAME</u>		Contact Person	
Mailing Address		Phone Number(s)	
E-mail Address			
X <u>[Signature]</u> Applicant's Signature		<u>8/30/23</u> Date of Application	

DEPARTMENT USE ONLY BELOW THIS LINE

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number <u>SMF23-004</u>	Intake Initials <u>[Signature]</u>
Date Received <u>8/30/23</u>	



SUBDIVISION AND DEVELOPMENT PLAN APPLICATION

See subdivision hand-outs for more information regarding the permitting process and the materials required for a complete application.

NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.

PROJECT SUMMARY

Number of Existing Parcels 1 Total Land Area 73.39 acres Number of Resulting Parcels 4

HAS THE PARCEL BEEN CREATED BY A MINOR SUBDIVISION IN THE PRECEDING 24 MONTHS

☐ NO

☐ YES Case Number _____

TYPE OF SUBDIVISION OR PLATTING APPROVAL REQUESTED

MINOR DEVELOPMENT

(changing or creating 13 or fewer lots)

- ☐ Preliminary Plat (MIP)
☐ Final Plat (MIF)
☐ Panhandle Subdivision
☐ Accretion Survey
☐ Boundary Adjustment
☐ Lot Consolidation (SLC)
☐ Bungalow Lot Subdivision
☐ Common Wall/Zero Lot Subdivision
☐ Other _____

MAJOR DEVELOPMENT

(changing or creating 14 or more lots)

- ☐ Preliminary Plat (SMP)
☒ Final Plat (SMF)
☐ Preliminary Development Plan – PUD (PDP)
☐ Final Development Plan – PUD (PDF) Preliminary
☐ Development Plan – ARS (ARP) Final
☐ Development Plan – ARS (ARF)
☐ Bungalow Lot Subdivision
☐ Common Wall/Zero Lot Subdivision
☐ Other _____

ALL REQUIRED DOCUMENTS ATTACHED

- ☐ Pre-application conference notes
☐ Narrative including:
☐ Legal description(s) of property to be subdivided
☐ Existing structures on the land
☐ Zoning district
☐ Density
☐ Access
☐ Current and proposed use of any structures
☒ Utilities available
☐ Unique characteristics of the land or structure(s)

☐ Preliminary Plat checklist

*PLAT E MAILED
TO DAD PETERSEN*

DEPARTMENT USE ONLY BELOW THIS LINE

SUBDIVISION/PLATTING FEES	Fees	Check No.	Receipt	Date
Application Fees	\$ <u>280.00</u>			
Admin. of Guarantee	\$ _____			
Adjustment	\$ <u>150.00</u>	<i>PUBLIC NOTICE</i>		
Total Fee	\$ <u>430.00</u>			

For assistance filling out this form, contact the Permit Center at 586-0770.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

Case Number	Date Received
<i>SMF 23-004</i>	<i>8/30/23</i>



Planning Commission

(907) 586-0715

PC_Comments@juneau.org

www.juneau.org/community-development/planning-commission

155 S. Seward Street • Juneau, AK 99801

PLANNING COMMISSION

NOTICE OF DECISION

Date: May 16, 2022

File No.: SMP2021 0009

Creative Development

Attn: Peter Peel & Bruce Griggs

P.O. Box 32076

Juneau, AK 99803

Proposal: Subdivision of one tract of land into four lots (it was noted in the Staff Report that there were concerns the land was being subdivided into more than four lots; however, the Planning Commission determined this was not the case).

Property Address: N/A

Legal Description: Blacktail Mountain Estates Tract C

Parcel Code No.: 6D0801110013

Hearing Date: May 10, 2022

The Planning Commission, at its regular public meeting, **APPROVED** the preliminary plat to be conducted as described in the project description and project drawings submitted with the application, and with the following conditions:

- ~~1. Prior to approval of the final plat, the private shared access must be revised to meet the land use code and not create double frontage lots [49.15.420(b)] and not create more than four (4) lots total [49.35.260].~~
2. Prior to approval of the final plat, the developer shall submit a final drainage plan to be approved by CBJ Engineering & Public Works. This drainage plan must be prepared by an Alaskan licensed engineer in accordance with 49.35.510.
3. Prior to approval of the final plat, Certification from the CBJ Treasurer is required showing that all real property taxes and special assessments levied against the property for the year of recording have been paid.

4. Prior to approval of a final plat, the applicant shall submit a complete set of construction plans for all required improvements to the Community Development Department for review by the Director of Engineering & Public Works for compliance with 49.35.140.
5. Prior to approval of the final plat, the applicant has constructed all required improvements or provided a financial guarantee in accordance with 49.55.010.

All plat notes in the staff report are sustained.

In deciding against the Director's recommendation of denial, the Commission made the following finding:

1. Shared access is a private easement. A private easement does not constitute or create a property boundary. Additional lots are not created.

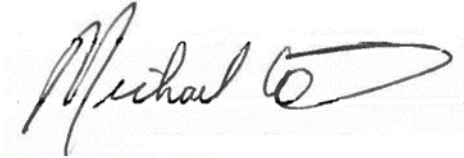
Attachment: May 4, 2022 memorandum from Irene Gallion, Community Development, to the CBJ Planning Commission regarding SMP2022 0009.

This Notice of Decision does not authorize any construction. Prior to starting any project, it is the applicant's responsibility to obtain the required building permits.

This Notice of Decision constitutes a final decision of the CBJ Planning Commission. Appeals must be brought to the CBJ Assembly in accordance to CBJ 01.50.030. Appeals must be filed by 4:30 P.M. on the day twenty days from the date the decision is filed with the City Clerk, pursuant to CBJ 01.50.030 (c). Any action by the applicant in reliance on the decision of the Planning Commission shall be at the risk that the decision may be reversed on appeal (CBJ 49.20.120).

Effective Date: The permit is effective upon approval by the Commission, May 10, 2022.

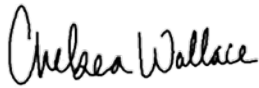
Expiration Date: The permit will expire five (5) years after the effective date, or May 10, 2027, if no Building Permit has been issued and substantial construction progress has not been made in accordance with the plans for which the subdivision permit was authorized or no final plat has been approved. Application for permit extension must be submitted thirty days prior to the expiration date.



May 13, 2022

Michael Levine, Chair
Planning Commission

Date



May 16, 2022

Filed With City Clerk

Date

cc: Plan Review

NOTE: The Americans with Disabilities Act (ADA) is a federal civil rights law that may affect this subdivision. ADA regulations have access requirements above and beyond CBJ - adopted regulations. Owners and designers are responsible for compliance with ADA. Contact an ADA - trained architect or other ADA trained personnel with questions about the ADA: Department of Justice (202) 272-5434, or fax (202) 272-5447, NW Disability Business Technical Center (800) 949-4232, or fax (360) 438-3208.



PLANNING COMMISSION STAFF
MAJOR SUBDIVISION SMP2021 0009
HEARING DATE: MAY 10, 2022

(907) 586-0715

CDD_Admin@juneau.org

www.juneau.org/community-development

155 S. Seward Street • Juneau, AK 99801

DATE: May 4, 2022

TO: Michael LeVine, Chair, Planning Commission

BY: David Matthew Peterson, Planner II
 Irene Gallion, Senior Planner

THROUGH: Jill Maclean, Director, AICP

PROPOSAL: Applicant requests a preliminary plat review for a private shared access subdivision of Blacktail Mountain Estates, Tract C, into six (6) lots.

STAFF RECOMMENDATION: Denial.

KEY CONSIDERATIONS FOR REVIEW:

- Potential use of phasing to circumvent subdivision road and utility requirements [CBJ 49.15.401(a)(1)(A)].
- Private shared access [CBJ 49.35. Division 2] allows for up to four (4) lots, since a public right-of-way and associated public improvements (e.g. water, sewer, paving, road maintenance, and snow maintenance) are the responsibility of the individual private owners, not the CBJ.
- Private shared access allows for up to four (4) single-family lots, the double frontage lots proposed result in a total six (6) lots, which is not permissible [CBJ 49.35.260].
- Double frontage lots are proposed. Per [CBJ 49.15.420(b)], double frontage lots should be avoided.

GENERAL INFORMATION	
Property Owner	Creative Development/Peter Peel
Applicant	Creative Development/Peter Peel
Property Address	Not Yet Assigned
Legal Description	Blacktail Mountain Estates TR C
Parcel Number	6D0801110013
Zoning	D3 (Single-Family/Duplex)
Lot Size	3,196,115 square feet, 73.3727 acres
Water/Sewer	Available
Access	Shared access easement off Bonnie Doon Drive right-of-way
Existing Land Use	D3
Associated Applications	SMP2021 0007, SMP2021 0008

ALTERNATIVE ACTIONS:

1. **Amend:** require additional conditions, or delete or modify the recommended conditions.
2. **Approve:** approve the permit and adopt new findings for items 1-5 below that support the approval.
3. **Continue:** to a future meeting date if determined that additional information or analysis is needed to make a decision, or if additional testimony is warranted.

ASSEMBLY ACTION REQUIRED:

Assembly action is not required for this permit.

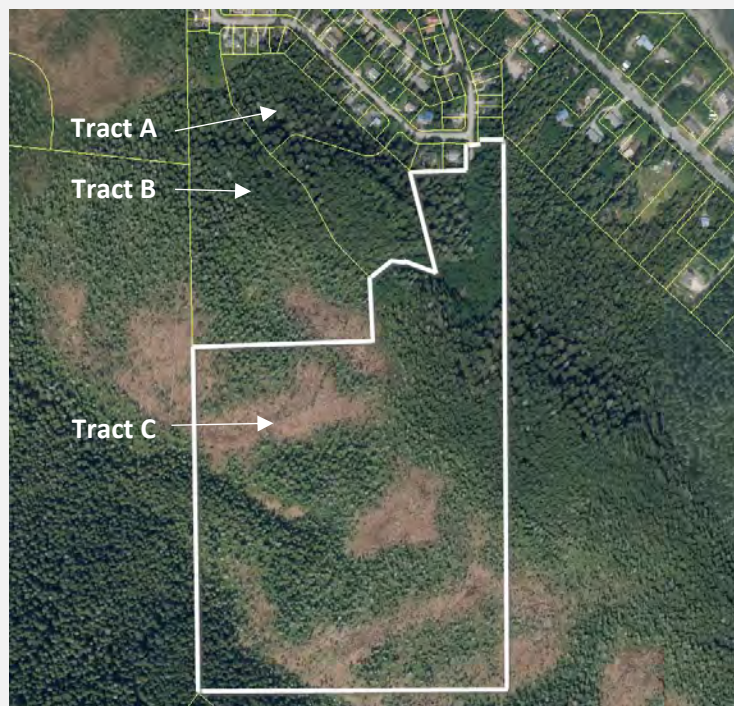
STANDARD OF REVIEW:

- Quasi-judicial decision
- Requires five (5) affirmative votes for approval
- Code Provisions:
 - CBJ 49.15.220, 400, 401, 402, 411, 420, 421
 - CBJ 49.35.120, 140, 220, 240, 250, 260, 262, 263, 510
 - CBJ 49.55.010
 - CBJ 49.80

The Commission shall hear and decide the case per CBJ 49.15.400(a) – Purpose and applicability. *The purpose of this article is to facilitate the subdivision of land to promote the public health, safety, and general welfare of the citizens of the CBJ in accordance with the Comprehensive Plan of the City and Borough of Juneau, Alaska.*

And per CBJ 49.15.401(a)(1)(B), *a major subdivision permit is required if a parcel has been subdivided by a minor subdivision within the preceding 24 months.*

SITE FEATURES AND ZONING



SURROUNDING ZONING AND LAND USES

North (D3)	Bonnie Brae Estates II
South (D3)	Rural Reserve (RR)
East (D3)	Rural Reserve (RR)
West (D3)	Bonnie Brae Estates II Park SI; Blacktail Mountain Estates Tract B; Rural Reserve (RR)

SITE FEATURES

Anadromous	None
Flood Zone	None
Hazard	None
Hillside	To Be Determined
Wetlands	Muskeg
Parking District	N/A
Historic District	N/A
Overlay Districts	Map F - Mining & Exploration Surface Activities Exclusion District; RV Park Area

BACKGROUND INFORMATION

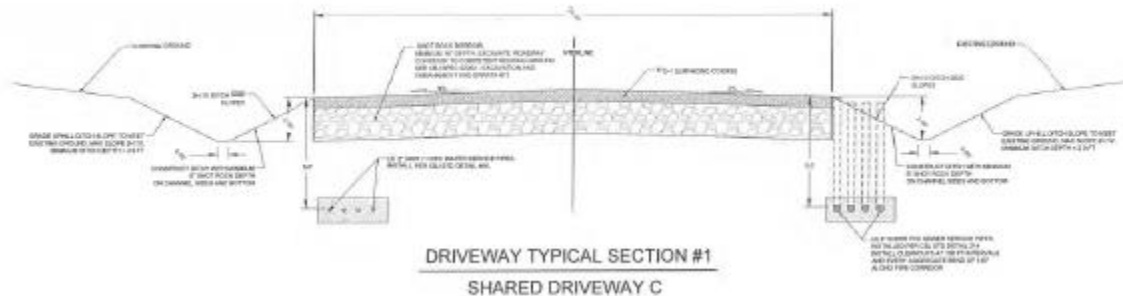
Project Description – The applicant is proposing the subdivision of Tract C of Blacktail Mountain Estates into six (6) private shared access lots (**Attachment A, Attachment B**). In 2021, the applicant subdivided the ~90-acre parent tract into three large tracts of land: Tracts A, B, and C (**Attachment C**). Tract C is one of three tracts created under Plat 2021-32.

Each of the resultant tracts (Tracts A, B, and C) are being proposed for a private shared access subdivision. Each tract subdivision into a private shared access subdivision is a “major” subdivision because:

- It has been less than two years since the previous minor subdivision [CBJ 49.15.401(a)(1)(B)]. The last subdivision was recorded in October of 2021.
- Per CBJ 49.15.220(2), the Director finds that the series of applications for minor developments, taken together, constitute a major development.
 - Lots A1, C1, and C2 are bisected by the easement, functionally creating a 15-lot subdivision.
 - Development pads in Tract C development point to future subdivision.

- Utilities proposed would not support subsequent subdivision.
- The Director is concerned that the proposed subdivision circumvents road and utility development that would usually be associated with a major subdivision [CBJ 49.15.401(a)(1)(A)].

A private shared access can be built to driveway standards, with single water and sewer lines being proposed from the right-of-way (ROW) to the lots. More than four lots require a water and sewer main. Driveway typical sections for Tract C are on sheet 9 of the draft construction drawings submitted with the subdivision.



If the applicant applied for a traditional subdivision and constructed a public ROW, the three subdivisions (Tracts A, B, and C) were considered cohesively, and roadways were accepted for public maintenance, the roadways would have a required width of 22 feet, with water and sewer mains. Note that CBJ 49.35.240 requires paving, but the neighborhood streets leading to this subdivision are unpaved. Per CBJ 49.35.120(a), the Commission can require off-site development improvements to ensure that all of the improvements function properly.

While a plat note will clarify limits on development, subdivision design may make subdivision seem more likely:

- The private shared access bisects Lots C1 and C2, creating two lots.
 - Lot C1 is approximately 8.4 times the minimum lot size required.
 - Lot C2 is approximately 8.5 times the minimum lot size required.
- Lots are larger compared to the required minimum lot size (12,000 square feet) for the D3 zoning district:
 - Lot C3 is approximately 16 times larger than the minimum lot size required.
 - Lot C4 is approximately 233 times larger the minimum lot size required.
- Draft construction plans seem to indicate multiple building pads per lot (discussed below).

In order to further subdivide, all lot owners in the private shared access subdivision would have to agree and pay to upgrade the private shared access to CBJ roadway standards.

Given the Director's findings, the Planning Commission's decision will impact the shape and cost of subsequent construction, potentially limiting the number of dwelling units that could be constructed.

THE ANALYSIS BELOW IS SPECIFIC TO TRACT C

Background – In 1915, 163.59 acres were platted under U.S. Survey No. 471. In 1981, 60.7245 acres were used to create Bonnie Brae Estates. In September of 2021, the applicant purchased the remaining balance of U.S. Survey 471. In October of 2021, the land was subdivided into three smaller tracts with the intent of creating three private shared access subdivisions of four lots each.

The table below summarizes relevant history for the lot and proposed development.

Item	Summary
November 1915	U.S. Survey No. 471
August 1981	Bonnie Brae Estates – Unit No. 1 Survey
September 2021	Plat of Blacktail Mountain Estates
December 2021	Community Development Department (CDD) PLAT 2021-32 recorded October 8, 2021

ANALYSIS

Phasing – The Director is concerned that this subdivision uses phasing (through private shared access subdivisions) to circumvent the roadway and utility requirements of a regular 12-lot subdivision [CBJ 49.35].

Minimum Lot Dimensions – The proposed lots shown on the preliminary plat meet or exceed the dimensional standards listed in CBJ 49.25.400.

Dimensional Standard	Requirement	Met?
Minimum Lot Size	12,000 square feet	<input checked="" type="checkbox"/> Meets/Exceeds <input type="checkbox"/> Not met
Minimum Lot Width	50 feet	<input checked="" type="checkbox"/> Meets/Exceeds <input type="checkbox"/> Not met

On August 23, 2021, the CBJ Assembly adopted Ordinance 2021-28, repealing lot depth as a minimum dimensional standard. Other dimensional standards for the D3 Zoning District remain the same.

Lots C3 and C4 are *cul-de-sac* lots. Lot width is measured at the front setback line. If necessary, the Commission could waive the lot width requirement if it is impractical to meet [CBJ 49.15.421]. A waiver is not required at this time, nor recommended given the oversized lots proposed.

Density – Lot layout is shown on page 6 and on the proposed plat (**Attachment B**). Each lot in a private shared access subdivision is limited to a single-family structure and an accessory apartment [CBJ 49.35.262(b)(5)]. Accessory apartments do not increase density, because they are considered subordinate to the primary use of the lot.

Lot Number	Square Feet	Maximum Number of Dwelling Units
*C1	100,478	One single-family structure and one accessory apartment
*C2	101,675	One single-family structure and one accessory apartment
C3	197,174	One single-family structure and one accessory apartment
C4	2,796,789	One single-family structure and one accessory apartment

***Lots C1 and C2 are each bisected by the private shared access, resulting in two (2) lots each, not one (1) lot.**

Based on size, the lots above could be subdivided if the access and utilities are built to subdivision standards. Under D3 zoning:

- 12,000 square feet accommodates a single-family structure and accessory apartment.
- 6,000 square feet accommodates a bungalow structure, limited to 1,000 square feet.
- 18,000 square feet accommodates a duplex.
- 24,000 square feet accommodates two single-family structures and accessory apartments for each.

The Director is recommending denial. The following conditions and plat notes are recommended if the Commission approves the subdivision.

Condition: Prior to approval of the final plat, the private shared access must be revised to meet the Land Use Code, not create double frontage lots [CBJ 49.15.420(b)] and not create more than four (4) lots total [CBJ 49.35.260].

Plat Note: AT THE TIME OF PLAT RECORDING, DEVELOPMENT, INCLUDING FURTHER SUBDIVISION OR USE, OF LOTS IN THIS SUBDIVISION IS SUBJECT TO CBJ 49.35 ARTICLE II DIVISION II 'PRIVATE SHARED ACCESS'. SEE THE CITY AND BOROUGH OF JUNEAU LAND USE CODE FOR CURRENT REGULATIONS.

THE USE OF EACH LOT SERVED BY THE SHARED ACCESS SHALL BE LIMITED TO ONE SINGLE-FAMILY RESIDENCE AND ONE ACCESSORY APARTMENT [CBJ 49.35.262(b)(5)].

Habitat – There are no mapped anadromous resources on Tract C. The applicant should verify with the United States Fish and Wildlife Service regarding the presence of eagle nests in the area. The presence of nests may impact development timelines.

In their application for the minor subdivision of the parent lot, the applicant included wetlands mapping from the Juneau Wetlands Management Plan Update (**Attachment D**). Wetlands fill permits from the United States Army Corps of Engineers may be required. The applicant is working on those permits currently.

The Director is recommending denial. The following plat note is recommended if the Commission approves the subdivision.

Condition: None.

Plat Note: WETLANDS MAY EXIST ON PARTS OF THIS SUBDIVISION. SPECIAL REGULATIONS MAY APPLY. (Met, note 8 on preliminary plat)

Hazard Zones – The tract is outside mapped flood zones (Maps 02110C 1534D and 02110C 1553D, effective August 19, 2013). The tract is outside mapped hazard zones. If a Hillside Endorsement is required, it will be addressed during development review and prior to building permit issuance.

Condition: None.

Plat Note: None.

LOT DESIGN

Lot lines should be at 90 degree angles to straight streets and radial to curved streets unless topographical conditions require otherwise [CBJ 49.15.420(a)(4)]. The image below juxtaposes Tract C proposed lot lines over Parcel Viewer topographical information (2013).



There is no terrain exemption for roadway alignment.

The private shared access bisects Lots C1 and C2, creating double frontage lots. Double frontage lots should be avoided [CBJ 49.15.420(b)].

“Frontage” is the side of the lot abutting a street, the front lot line [CBJ 49.80]. In the absence of an ROW, the Director holds that the easement functions as “frontage,” because a private shared access subdivision code requires a front yard setback from the easement [CBJ 49.35.263(c)].

Note that the Director finds that Lots C1 and C2 are each in effect two lots, resulting in six lots being created through private shared access, which is two more lots than is permissible.

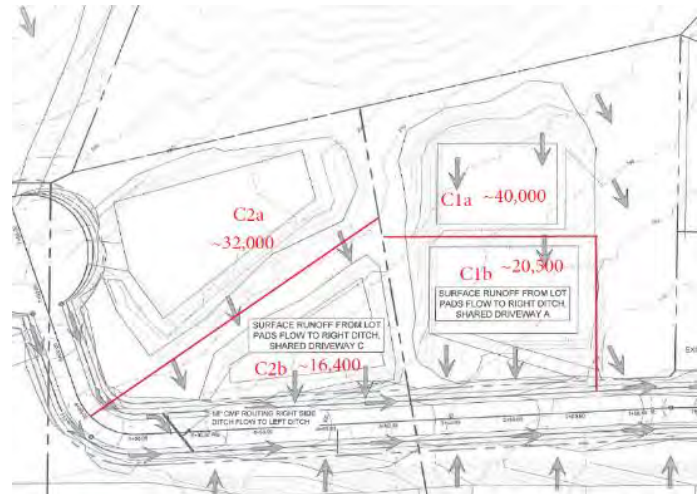
The concern for future subdivision in Tract C is exacerbated by the construction plans submitted with the application. There are two “pads” shown for the east side of Lots C1 and C2 (image right). If those lots were subdivided so that each had a pad, the resulting lots would be (scaled with Adobe Acrobat):

C1a \cong 40,000 square feet

C1b \cong 20,500 square feet

C2a \cong 32,000 square feet

C2b \cong 16,400 square feet



The total area on the west side of the C1 section of the access easement is about 29,000 square feet, enough for at least two single-family lots at the minimum zone lot size of 12,000 square feet (image below).

The total area on the west side of the C2 section of access easement is about 31,000 square feet. Again, two single-family lots of minimum size could be subdivided from this section (image below).



There has been some discussion that the pads are a place to store fill. The draft blasting plan submitted to CBJ General Engineering proposes a volume of 40,000 bank cubic yards (prior to being blasted). For comparison, Stabler’s Quarry has produced 30,000 to 50,000 bank cubic yards per year from 2020. CBJ CDD has requested, but not yet received, an engineering justification (balance of cut and fill) for the volume of blasting proposed.

As noted above, lot C4 is 233 times larger than the minimum single-family lot size.

If approved, code requires the Commission to require the private shared access [CBJ 49.15.420(b)(1-4)]:

- Not directly address a collector or arterial (met).
- Have restricted access to prevent unsafe sight distances.
- Be built away from intersections.
- Protect public health, safety, and general welfare.

TRAFFIC

Traffic –A Traffic Impact Analysis (TIA) **IS NOT** required for the number of lots proposed.

Use	Per Single-Family Structure	# of Structures	Total Trips
Private Shared Access Subdivision – 4 lots	9.52	4	38.08
Total Average Daily Trips (ADT):			38.08

Trip Generation Manual, 9th Edition, Volume 2: Data, page 296

The three-tract Blacktail development as proposed would generate three times the ADT for one tract, or 114.2 ADT.

ACCESS AND PUBLIC IMPROVEMENTS

Access – The road leading to the Tract C subdivision is unpaved. The primary access to the subdivision is through Bonnie Doon Drive [CBJ 49.35.250(a)]. The applicant has demonstrated that each lot will have eased private shared access to Kristi Street [CBJ 49.35.260]. The private shared access easement bisects Lots C1 and C2 creating six lots, and terminates in a *cul-de-sac*.

Lot Number	Primary access
*C1	60-foot-wide Kristi Street ROW to 50-foot-wide Private Shared Access Easement
*C2	60-foot-wide Kristi Street ROW to 50-foot-wide Private Shared Access Easement
C3	60-foot-wide Kristi Street ROW to 50-foot-wide Private Shared Access Easement
C4	60-foot- wide Kristi Street ROW to 50-foot-wide Private Shared Access Easement

***Lots C1 and C2 are each bisected by the private shared access, resulting in two (2) lots each, not one (1) lot.**

The Director is recommending denial. The following plat note is recommended if the Commission approves the subdivision.

Condition: None.

Plat Note: ACCESS SUBJECT TO CBJ 49.35 ARTICLE II DIVISION II 'PRIVATE SHARED ACCESS' REQUIREMENTS. ACCESS TO LOTS C1, C2, C3, and C4 SHALL BE RESTRICTED TO A SINGLE DRIVEWAY IN THE SHARED ACCESS EASEMENT. USE OF THE ACCESS EASEMENT DELINEATED ON THIS PLAT IS SUBJECT TO THE REQUIREMENTS SET FORTH IN THE COMMON DRIVEWAY ACCESS, JOINT USE, AND HOLD HARMLESS AGREEMENT RECORDED WITH THIS SUBDIVISION. (Note 9 on preliminary plat, needs modification)

CBJ 49.35.240 Table of Roadway Construction Standards.

Access for this subdivision is met through a private shared access that does not need to meet CBJ street standards.

If developed with streets, the subdivision standard would be [CBJ 49.35.240 Table]:

ADTs	TIA	Sidewalks	Travel Way Width	Street Lights	ROW Width	Paved	Publically Maintained
38.08	No	No	22 feet	Intersections	60 feet	Yes	Yes

The Director has declined to reduce the ROW width due to perceived future subdivision potential [CBJ 49.35.263(d)].

The existing roads in Bonnie Brae are unpaved, so the portion of the private shared access in the ROW shall be surfaced with materials consistent with the adjacent public roadway. The length of the portion of the private shared access in the ROW shall consist of a minimum two-foot apron [CBJ 49.35.262(b)(9)].

Drainage – Multiple neighbors have expressed concerns about the development’s impacts on drainage. After a preliminary plat is approved, a drainage plan will be required and must be approved by General Engineering prior to subdivision construction.

The Director is recommending denial. The following condition and plat note are recommended if the Commission approves the subdivision.

Condition: Prior to approval of the final plat, the developer shall submit a final drainage plan to be approved by CBJ Engineering & Public Works. This drainage plan must be prepared by an Alaskan licensed engineer in accordance with CBJ 49.35.510.

Plat Note: THE STORMWATER RUNOFF IS ACCEPTABLE PER BLACKTAIL MOUNTAIN ESTATES TRACT C DRAINAGE PLAN IN APPROVED CONSTRUCTION PLAN SET. ALL REQUIRED PUBLIC IMPROVEMENTS INCLUDING SURFACE DRAINAGE, DRIVEWAYS, AND ROADSIDE DRAINAGE SHALL BE CONSTRUCTED PRIOR TO FINAL ACCEPTANCE FOR MAINTENANCE BY CBJ PUBLIC WORKS. MODIFICATIONS TO THE APPROVED PLANS WILL NOT BE ALLOWED UNLESS PERMITTED BY CBJ ENGINEERING PURSUANT TO CBJ 19.12.120 BEST MANAGEMENT PRACTICES. (Note 7 on preliminary plat, needs modification)

Fire Code Improvements – Capital City Fire and Rescue does not have fire code or fire department concerns at this time.

REQUIREMENTS FOR FINAL PLAT

- Construction and drainage plan review and approval.
- Certified payment of taxes.
- Construction of or bonding of utilities.

The Director is recommending denial. The following conditions are recommended if the Commission approves the subdivision.

Condition: Prior to approval of the final plat, Certification from the CBJ Treasurer is required showing that all real property taxes and special assessments levied against the property for the year of recording have been paid.

Condition: Prior to approval of a final plat, the applicant shall submit a complete set of construction plans for all required improvements to the Community Development Department for review by the Director of Engineering & Public Works for compliance with CBJ 49.35.140.

Condition: Prior to approval of the final plat, the applicant has constructed all required improvements or provided a financial guarantee in accordance with CBJ 49.55.010.

Plat note: Not applicable.

AGENCY REVIEW

CDD conducted an agency review comment period between December 27, 2021, and the date of this report. Plat review comments and outstanding items are included in **Attachment F**.

Comments from CBJ Engineering and Public Works regarding water and drainage can be found in **Attachment G**.

PUBLIC COMMENTS

CDD conducted a public comment period between April 12, 2022, and April 22, 2022. Public notice was mailed to property owners within 500 feet of the subdivision (**Attachment H**). A public notice sign was also posted at the Wee Burn Drive and Bonnie Doon Drive intersections within North Douglas Highway (at the entry to the Bonnie Brae neighborhood) prior to the scheduled hearing (**Attachment I**). Public comments submitted at time of writing this staff report can be found in **Attachment J**.

Name	Summary
Cathleen Anderson	Concern with road maintenance and peaceful atmosphere
Iris Korhonen-Penn	Concern regarding wetlands fill and traffic
Paul and Christina Martz	Concern about drainage
Emily Palmer	Disregard for code, concerns with blasting and density
Catherine and Michael Price	Single-family home only, concerns with landslides and traffic
Emily Thompson	Concerns regarding code, drainage, and density

FINDINGS

Major Subdivision Preliminary Plat Approval Criteria – Per CBJ 49.15.402(c)(4), the Director makes the following findings on the proposed development:

1. *Does the preliminary plat comply with CBJ 49.15.411, CBJ 49.15.420, and CBJ 49.35.260?*

Analysis: Outstanding items are discussed above. The plat appears to conflict with:

- CBJ 49.15.401(a)(1)(A): Blacktail Tract C subdivision, with the other two proposed for Blacktail Mountain Estates, circumvents development standards that would be required if the 12 lots were considered one subdivision.
- CBJ 49.15.420(b): In a private shared access subdivision, the front setback is measured from the private shared access, creating “frontage.” The driveways proposed bisect Lots C1 and C2, creating double frontage lots.
- CBJ 49.35.260: Private shared access allows for up to four single-family lots, the double frontage lots proposed result in a total six (6) lots, which is not permissible.

Finding: No. The plat is not compliant.

2. *Will applicable subdivision development standards be met, or can reasonably be met with conditions?*

Analysis: A 12-lot subdivision would be required to provide a public water and sewer system, rather than individual services to the Sherri Street utilities.

Finding: No. Assuming the finding above is sustained, applicable subdivision development standards are not met.

3. *Will the proposed subdivision provide suitable building sites for the zoning district?*

Analysis: Lots created through this subdivision meet minimum dimensional requirements for the D3 zoning district. Proposed lots can reasonably meet setback and other dimensional requirements.

Finding: Yes. The proposed subdivision provides building sites suitable for the D3 zoning district.

4. *Will the proposed street names be unique or continuations of existing streets?*

Analysis: In accordance with CBJ 49.35.263(b), the Director finds that the private shared access is required to have a name for public safety reasons.

Finding: Yes. If the preliminary plat is approved, the applicant will submit a name(s) for the private shared access to be reviewed by CDD in accordance with CBJ 49.35.220(a).

5. Has the Director of Engineering and Public Works reviewed the application and determined that:

- (i) The subdivision can be constructed to conform to applicable drainage and water quality requirements***
- (ii) The streets, pioneer paths, and pedestrian ways as proposed accommodate anticipated traffic, align with, and, where appropriate, connect with streets and pedestrian ways serving adjacent properties***
- (iii) Any proposed improvements conform to the requirements of Title 49 and can be feasibly constructed.***

Analysis: The construction plan is not required, nor is it reviewed, until a preliminary plat has been approved.

Finding: Yes. At this time, Engineering and Public Works believe subdivision improvements are feasible.

RECOMMENDATION

Staff recommends the Planning Commission adopt the Director's analysis and findings and **DENY** the requested preliminary plat for the Blacktail Mountain Estates, Tract C. This permit would allow the applicant to submit for the final plat application.

If the Planning Commission approves the private shared access subdivision, this approval should be subject to the following conditions:

1. Prior to approval of the final plat, the private shared access must be revised to meet the Land Use Code, not create double frontage lots [CBJ 49.15.420(b)], and not create more than four (4) lots total [CBJ 49.35.260].
2. Prior to approval of the final plat, the developer shall submit a final drainage plan to be approved by CBJ Engineering & Public Works. This drainage plan must be prepared by an Alaskan licensed engineer in accordance with CBJ 49.35.510.
3. Prior to approval of the final plat, Certification from the CBJ Treasurer is required showing that all real property taxes and special assessments levied against the property for the year of recording have been paid.
4. Prior to approval of a final plat, the applicant shall submit a complete set of construction plans for all required improvements to the Community Development Department for review by the Director of Engineering & Public Works for compliance with CBJ 49.35.140.
5. Prior to approval of the final plat, the applicant has constructed all required improvements or provided a financial guarantee in accordance with CBJ 49.55.010.

If the Planning Commission approves the subdivision, this approval should be subject to the following plat notes:

AT THE TIME OF PLAT RECORDING, DEVELOPMENT, INCLUDING FURTHER SUBDIVISION OR USE, OF LOTS IN THIS SUBDIVISION IS SUBJECT TO CBJ 49.35 ARTICLE II DIVISION II 'PRIVATE SHARED ACCESS'. SEE THE CITY AND BOROUGH OF JUNEAU LAND USE CODE FOR CURRENT REGULATIONS.

THE USE OF EACH LOT SERVED BY THE SHARED ACCESS SHALL BE LIMITED TO ONE SINGLE-FAMILY RESIDENCE AND ONE ACCESSORY APARTMENT [CBJ 49.35.262(b)(5)].

WETLANDS MAY EXIST ON PARTS OF THIS SUBDIVISION. SPECIAL REGULATIONS MAY APPLY. (Met, note 8 on preliminary plat)

ACCESS SUBJECT TO CBJ 49.35 ARTICLE II DIVISION II 'PRIVATE SHARED ACCESS' REQUIREMENTS. ACCESS TO LOTS C1, C2, C3 and C4 SHALL BE RESTRICTED TO A SINGLE DRIVEWAY IN THE SHARED ACCESS EASEMENT. USE OF THE ACCESS EASEMENT DELINEATED ON THIS PLAT IS SUBJECT TO THE REQUIREMENTS SET FORTH IN THE COMMON DRIVEWAY ACCESS, JOINT USE, AND HOLD HARMLESS AGREEMENT RECORDED WITH THIS SUBDIVISION. (Note 9 on preliminary plat, needs modification)

THE STORMWATER RUNOFF IS ACCEPTABLE PER BLACKTAIL MOUNTAIN ESTATES TRACT C DRAINAGE PLAN IN APPROVED CONSTRUCTION PLAN SET. ALL REQUIRED PUBLIC IMPROVEMENTS INCLUDING SURFACE DRAINAGE, DRIVEWAYS, AND ROADSIDE DRAINAGE SHALL BE CONSTRUCTED PRIOR TO FINAL ACCEPTANCE FOR MAINTENANCE BY CBJ PUBLIC WORKS. MODIFICATIONS TO THE APPROVED PLANS WILL NOT BE ALLOWED UNLESS PERMITTED BY CBJ ENGINEERING PURSUANT TO CBJ19.12.120 BEST MANAGEMENT PRACTICES. (Note 7 on preliminary plat, needs modification)

STAFF REPORT ATTACHMENTS

Item	Description
Attachment A	Application Packet
Attachment B	Most Recent Plat
Attachment C	Staff Report and Plat for Plat 2021-32
Attachment D	Wetlands Mapping from MIP2020 0004 – EXCERPT
Attachment E	Shared Access Driveway Location Justification
Attachment F	Plat Review Comments
Attachment G	CBJ Engineering and Public Works Comments on Drainage
Attachment H	Abutters Notice
Attachment I	Public Notice Sign
Attachment J	Public Comments



DEVELOPMENT PERMIT APPLICATION

NOTE: Development Permit Application forms must accompany all other Community Development Department land use applications.

To be completed by Applicant	PROPERTY LOCATION :		
	Physical Address A FRACTION OF US SURVEY 471 (ABOVE BONNIE BEAR)		
	Legal Description(s) (Subdivision, Survey, Block, Tract, Lot) US SURVEY 471 - BLACKTAIL MOUNTAIN ESTATES TR C		
	Parcel Number(s) BLACKTAIL MOUNTAIN ESTATES A, B AND C 600801110013		
	<input type="checkbox"/> This property located in the downtown historic district <input type="checkbox"/> This property located in a mapped hazard area, if so, which _____		
	LANDOWNER/ LESSEE		
	Property Owner CREATIVE DEVELOPMENT / PETER PEEL	Contact Person BRUCE GRIGGS	
	Mailing Address PO BOX 32076 JUNEAU, AK 99803	Phone Number(s) 907 723-7851	
	E-mail Address brucegriggs@hotmail.com		
	LANDOWNER/ LESSEE CONSENT Required for Planning Permits, not needed on Building/ Engineering Permits		
I am (we are) the owner(s) or lessee(s) of the property subject to this application and I (we) consent as follows:			
A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission.			
B. I (we) grant permission for officials and employees of the City and Borough of Juneau to inspect my property as needed for purposes of this application.			
X <u>[Signature]</u> Landowner/Lessee Signature <u>12/2/2021</u> Date			
X _____ Landowner/Lessee Signature _____ Date			
NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours and will attempt to contact the landowner in addition to the formal consent given above. Further, members of the Planning Commission may visit the property before the scheduled public hearing date.			
APPLICANT If the same as OWNER, write "SAME"			
Applicant SAME		Contact Person	
Mailing Address		Phone Number(s)	
E-mail Address			
X _____ Applicant's Signature		_____ Date of Application	

DEPARTMENT USE ONLY BELOW THIS LINE

Intake Initials

JPM

36

Case Number

Date Received



SUBDIVISION AND DEVELOPMENT PLAN APPLICATION

See subdivision hand-outs for more information regarding the permitting process and the materials required for a complete application.

NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.

PROJECT SUMMARY

Number of Existing Parcels 1 Total Land Area 73 acres Number of Resulting Parcels 4

HAS THE PARCEL BEEN CREATED BY A MINOR SUBDIVISION IN THE PRECEDING 24 MONTHS

☐ NO

☒ YES Case Number _____

TYPE OF SUBDIVISION OR PLATTING APPROVAL REQUESTED

MINOR DEVELOPMENT

(changing or creating 13 or fewer lots)

- ☐ Preliminary Plat (MIP)
☐ Final Plat (MIF)
☐ Panhandle Subdivision
☐ Accretion Survey
☐ Boundary Adjustment
☐ Lot Consolidation (SLC)
☐ Bungalow Lot Subdivision
☐ Common Wall/Zero Lot Subdivision
☐ Other _____

MAJOR DEVELOPMENT

(changing or creating 14 or more lots)

- ☒ Preliminary Plat (SMP)
☐ Final Plat (SMF)
☐ Preliminary Development Plan – PUD (PDP)
☐ Final Development Plan – PUD (PDF) Preliminary
☐ Development Plan – ARS (ARP) Final
☐ Development Plan – ARS (ARF)
☐ Bungalow Lot Subdivision
☐ Common Wall/Zero Lot Subdivision
☐ Other _____

ALL REQUIRED DOCUMENTS ATTACHED

- ☐ Pre-application conference notes
☐ Narrative including:
☒ Legal description(s) of property to be subdivided
☒ Existing structures on the land
☒ Zoning district
☒ Density
☒ Access
☒ Current and proposed use of any structures
☒ Utilities available
☒ Unique characteristics of the land or structure(s)

☐ Preliminary Plat checklist

DEPARTMENT USE ONLY BELOW THIS LINE

SUBDIVISION/PLATTING FEES	Fees	Check No.	Receipt	Date
Application Fees	\$ <u>440</u>			
Admin. of Guarantee	\$ _____			
Adjustment	\$ _____			
Total Fee	\$ <u>440</u>			

For assistance filling out this form, contact the Permit Center at 586-0770.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

Attachment B - Notice of Decision SMP21-09

Case Number

Date Received

12/21/21

37



PRELIMINARY PLAT CHECK LIST

Name of Proposed Subdivision: BME "C"

The following items must be included with the initial submittal of a Preliminary Plat:

- ☒ Application, filled out completely
- ☒ Project Narrative
- ☒ Pre-application Conference Report
- ☒ Disclosure of all known environmental hazards and any proposed mitigation measures recommended in the applicable environmental document.
- ☒ Preliminary Plat Checklist: I have reviewed the checklist and all submittals for completeness and accuracy.
- ☒ Application fee (see fee schedule)
- ☒ Five (5) – 24" by 36" Copies
- ☒ Lot Closure Report

RB Gigg
Applicant or Surveyor - Signature

12/2/21
Date

Applicant or Surveyor - Print Name

GENERAL REQUIREMENTS

- ☒ The preliminary plat shall be prepared by a professional land surveyor, registered in the State of Alaska
- ☒ The preliminary plat shall be submitted on 22 by 34 inch sheets. The director of engineering and public works may approve alternate sheet sizes
- ☒ The preliminary plat shall be drawn with black ink to a scale of one-inch to 100 feet or less, or other suitable scale approved by the director of engineering and public works
- ☒ The preliminary plat shall be oriented with north toward the top of the sheet.
- ☒ A vicinity map shall be located in the upper right-hand corner of the sheet
- ☒ The vicinity map shall be oriented in the same direction as the plat
- ☒ A suitable north arrow shall be shown for the plat and vicinity map
- ☒ All line work and lettering must be of professional quality, and all line widths and lettering sizes must be of such size that all information can be clearly shown without overlap or confusion

GRAPHIC REQUIREMENTS - A preliminary plat shall contain the following information:

Title block - An enclosed title block in the lower right-hand corner containing the following information:

- ☒ The proposed name of the subdivision
- ☒ The legal description of the parcel to be subdivided including U.S. Survey, U.S. Mineral Survey, A.T.S. number or section, township, and range number, as applicable
- ☒ "City and Borough of Juneau, Alaska"
- ☒ "State Recorder's Office at Juneau"
- ☒ The date the preliminary plat was prepared and revised
- ☒ The horizontal scale
- ☒ The name and address of the owner of the plat
- ☒ The name, address, and telephone number of the surveyor preparing the preliminary plat

Preliminary Plat Checklist

Updated 1/2018

Page 2 of 5

Lot, block, and street information:

- ☐ The area of each lot
- ☐ The dimensions in feet and hundredths of a foot
- ☐ An identifying number and letter for lots and blocks
- ☐ Lots numbered consecutively, commencing with the number "1," with no omissions or duplications
- ☐ If the remainder of an original parcel being subdivided is relatively large, it shall be designated as a "tract" with an identifying number
- ☐ All parcels of land intended to be dedicated for public use or reserved for the use of all of the property owners in the proposed subdivision shall be shown as lots, and consecutively numbered. The purpose and any conditions or limitations on the use of the parcel shall be noted on the plat
- ☐ Abutting properties shall be shown with dashed lines, numbers, and/or letters
- ☐ For resubdivisions or public way vacations, the lines and legal description of the previous lots shall be shown with light dashed lines, numbers, and/or letters, or by a separate plat on the same sheet showing the previous lot lines
 - ☐ The minimum data shown for each curve shall be as follows:
 - ☐ Length
 - ☐ Central angle
 - ☐ Radius
 - ☐ Bearing and distance of long chord
- ☐ Setbacks shall be shown on all corner lots and any lots with multiple frontage. Setbacks shall be shown on typical lots

Boundary lines:

- ☐ All boundary lines of the subdivision with bearings and distances described
- ☐ All retraced boundary lines shall show record and measured bearings and distances where they differ. Record dimension information shall be shown within parentheses and include a record source identification
- ☐ The exterior boundary lines of the subdivision shall be a solid black opaque line that is of a width that distinguishes it from all other property lines shown on the plat
- ☐ If phasing is proposed, then the boundaries and number of each phase, sequential lot numbering, and a subdivision name consistent with previous phases shall be shown

Monumentation:

- ☐ The monuments used to establish the basis of bearing
- ☐ Each monument found or set shall be identified on the plat by a symbol
- ☐ A complete description of the monument, including type and all information printed on the cap. A typical drawing shall be shown for each type of monument cap set
- ☐ A legend showing the symbols for all the types of monuments
- ☐ The identification, description location, elevation, and datum of the benchmark used to establish vertical control

Site access, circulation, and utilities:

- ☐ The widths and names of existing rights-of-way within the subdivision and within 100 feet of the subdivision boundary
- ☐ Proposed rights-of-way, including their widths and proposed names
- ☐ The grades of existing and proposed streets within these rights-of-way
- ☐ The width, ownership, use, and record reference of all proposed and existing easements within the subdivision and within 100 feet of the subdivision boundary
- ☐ The width, ownership, and use of all proposed easements

Preliminary Plat Checklist

Updated 1/2018

Page 3 of 5

- ☐ All proposed and existing easements shall have sufficient dimensions shown to determine their location on the ground
- ☐ Existing trails or pathways within the subdivision and within 100 feet of the subdivision boundary, including the width of any associated rights-of way or easements
- ☐ Proposed trails or pathways and widths of their rights-of-way
- ☐ If the plat submitted covers only a part of the tract under the control of the applicant, a sketch plat of the prospective street system of the unplatted part shall be submitted
- ☐ The location of any existing or proposed driveways/curb cuts that access or are proposed to access any existing or proposed street

Topographic information:

- ☐ For slopes of less than five percent, show one foot contour lines and include spot elevations at all breaks in grade, along all drainage channels or swales, and at selected points not more than 100 feet apart in all directions
- ☐ For slopes between five percent and ten percent, show two foot contour lines
- ☐ For slopes greater than ten percent, show five foot contour lines
- ☐ Every fifth elevation contour shall be distinctive and clearly labeled
- ☐ Dashed lines shall represent existing contours
- ☐ Mapping shall include any significant features which can materially affect the design of the subdivision, including, but not limited to, structures, fences, walls, and utility poles
- ☐ If irregular slopes or special features are present, additional contour information may be required by the director of engineering and public works for planning or construction purposes. Additional required information may include projecting the topography of the site after grading has taken place, showing such items as:
 - ☐ Pad elevations and drainage patterns for each lot
 - ☐ Tops and toes of all manufactured slopes, including daylight lines
 - ☐ Existing and proposed retaining wall locations and heights
- ☐ For subdivisions located in hillside areas with slopes greater than eighteen percent, additional requirements apply in accordance with CBJ 49.70, Article II

Sewer and water:

- ☐ Existing sewer and water mains within the tract with pipe sizes and grades
- ☐ A draft plan for proposed water and sewer lines showing the size, approximate slope, and connection points with elevations for the purpose of determining the feasibility of construction

Multisheet plats:

- ☐ When a plat requires more than one sheet, exclusive of a certificate sheet, an index sheet shall be included. When a plat requires more than three sheets, a cover sheet shall also be included, showing the subdivision title, a key map, and all certificates. Each additional sheet shall include the following data:
 - ☐ North arrow
 - ☐ Legend
 - ☐ Surveyor's seal and signature
 - ☐ Title block
 - ☐ Sheet _____ of _____
 - ☐ Scale
 - ☐ All plat notes
 - ☐ Vicinity map

Preliminary Plat Checklist

Updated 1/2018

Page 4 of 5

ADDITIONAL MAPPING OR REPORTS: At the pre-application meeting, it will be determined if any of the following additional mapping or reports are required to be submitted with the preliminary plat. If required, the following additional mapping or reports shall be submitted:

Hazard and Special Habitat Areas:

- ☒ Any portion of a special flood hazard area, landslide or avalanche area, habitat area as defined by CBJ 49.70.310, or watersheds, either existing at the proposed subdivision site or shown on the overlay maps, adopted pursuant to this title, to exist at the proposed subdivision site, must be depicted on the preliminary plat
- ☒ The boundaries of any wetland areas must be depicted on the preliminary plat. Boundaries must be determined by a person qualified to perform wetland delineations

Soils report:

- ☒ A soils report prepared by an engineer licensed by the State of Alaska shall be required if the proposed subdivision is located farther from the existing public sewer system than specified in CBJ 49.35, and the applicant chooses to provide on-lot waste disposal rather than to connect to the public system. A soils report shall include the following:
 - ☒ Certification that the proposed lots are large enough and have soil of sufficient permeability to permit the construction of approved waste treatment systems for on-lot waste disposal
 - ☒ The location and size of drain fields for each lot
 - ☒ The locations and logs of test borings, percolation test results, and a hydrological evaluation of on-site sewage disposal
 - ☒ If the soils report indicates that the soils found on the site are not of sufficient permeability or the lots are not large enough to permit the construction of systems for on-lot waste disposal, the size of the proposed lots must be increased or alternate methods for waste disposal proposed
 - ☒ The soils report shall describe the nature of the subsurface soils and any soil conditions that would affect the design of the proposed development. The soils report shall state whether the proposed subdivision plan is feasible and provide general solutions for all known geotechnical conditions or problems

Drainage report:

- ☒ A preliminary report specifying the method by which the applicant proposes to manage surface and subsurface drainage for the subdivision and the effect of such method on adjacent areas. Unlike the drainage plan required by CBJ 49.35.510, the preliminary drainage report does not need to be prepared by a licensed engineer. The report must address the following:
 - ☒ A calculation of the increase in stormwater runoff resulting from the proposed development as well as the runoff from all drainage areas associated with the site. Runoff calculations shall be based on a fully-developed subdivision and a 25-year storm event
 - ☒ How drainage from the proposed subdivision will join an established drainage channel or channels, unless the director of engineering and public works approves use of an alternative drainage way
 - ☒ An evaluation of existing drainage ways and structures located between the subdivision and the receiving water body, and verification that the existing drainage ways can accommodate the increased runoff. If the increased runoff cannot be handled, the plan must propose solutions to the problem
 - ☒ All required improvements, on or off site, that are shown on the construction plans in accordance with CBJ 49.35, Article V, and that will be constructed as part of the subdivision

Water:

- ☒ For subdivisions of five or more lots, including major subdivisions, the following shall be included, where applicable, in accordance with CBJ 49.15.412:
 - ☒ If a proposed subdivision is located at greater distance from the existing public water system than specified in CBJ 49.35, Article III, and the applicant chooses not to connect to the public system, a statement that the applicant will provide a community water system or that individual wells will be used

Preliminary Plat Checklist

Updated 1/2018

Page 5 of 5

- ☒ A report by a registered engineer or geologist that clearly supports the legal and physical availability of adequate water. Methods for proof of water availability and the standards for quantity are listed in CBJ 49.35, Article III
- ☒ A copy of the State application for a permit to appropriate water in the quantity required to meet the subdivisions demands
- ☐ This does not apply to remote subdivisions unless: the subdivider of the remote subdivision chooses to provide potable water, a public water system is available and the subdivision falls within the criteria outlined in CBJ 49.35.310(a), or the subdivision has four or fewer lots.
- ☐ The director for minor subdivisions, and the planning commission for major subdivisions, may, for good cause, temporarily waive the requirement to provide a water report and proof of water, and condition the approval of the preliminary plat upon the provision of both documents as part of the final plat application and approval process.

Erosion control:

SWPPP Plan being finalized

- ☒ A report explaining the method by which the applicant proposes to control erosion and manage runoff, and potential impacts to adjacent properties or water bodies. The report shall include a plan for preservation of ground cover in areas where runoff and resulting erosion need to be minimized.

Traffic study:

NA.

- ☐ A traffic impact analysis may be required with the preliminary plat in accordance with CBJ 49.40.300.

Shadow plats:

- ☒ For subdivisions of five or more lots in transition areas, a shadow plat shall be submitted according to CBJ 49.70.710. The shadow plat shall consist of a sketch superimposed on the proposed subdivision layout. This sketch shall reflect any future resubdivision of the parcels into smaller lots consistent with the higher density and the lot size allowed under the transition zoning.



(907) 586-0715
 CDD_Admin@juneau.org
 www.juneau.org/CDD
 155 S. Seward Street • Juneau, AK 99801

Peel Subdivision above Bonnie Brae

Case Number: PAC2019 0062

Applicant: Bruce Griggs, Peter Peel, Gabe Hayden

Property Owner: Peter Peel

Property Address: Not Assigned

Parcel Code Number: 6D0801110010

Site Size: 3,964,656 Square Feet (91.0160 Acres)

Zoning: D3

Existing Land Use: Vacant

Conference Date: September 11, 2019

Report Issued: September 18, 2019

List of Attendees

Note: Copies of the Pre-Application Conference Report will be emailed, instead of mailed, to participants who have provided their email address below.

Name	Title	Email address
Bruce Griggs Gabe Hayden Peter Peel	Applicants	Brucegriggs@hotmail.com Hayden@katabaticeng.com Pppeel84@gmail.com
Laurel Christian Amy Liu	Planning	Laurel.Christian@juneau.org Amy.Liu@juneau.org
Autumn Sapp	General Engineering	Autumn.Sapp@juneau.org
Kyle Paw	Permits	Kyle.Paw@juneau.org

Pre-Application Conference Final Report

Conference Summary

Questions/issues/agreements identified at the conference that weren't identified in the attached reports.

The following is a list of issues, comments and proposed actions, and requested technical submittal items that were discussed at the pre-application conference.

Planning Division

1. **Zoning** – D3 zone district. Minimum lot size is 12,000 sq. ft. Minimum lot width and depth are 100' each. Preliminary plat requirements are found in CBJ 49.15.411. Final plat requirements are found in CBJ 49.15.412.
2. **Setbacks** – D3 setbacks: 25' front and rear; 10' side; 17' street side. Parcel is surrounded on the east, west, and south by Rural Reserve zoning. When two different zoning districts touch, the greater of the two setbacks applies on the common property line. Rural reserve zoning district setbacks: 25' front and rear; 15' side; and 17' street side.
 - a. The front yard setback is measured from the shared access.
3. **Height** – 35' permissible uses; 25' accessory uses
4. **Access** – There are 3 undeveloped ROW's that provide frontage to the subject parcel, Bonnie Doon Dr., Sherri St., and Wee Burn Dr.
5. **Shared Access Subdivision Requirements** – A parcel can only create 1 shared access subdivision. The applicant must first subdivide the large tract into 3 tracts. The 3 large tracts can then be subdivided into the shared access lots. See CBJ 49.35.260 for full details of Shared Access Subdivisions. Some key points are summarized below:
 - a. The shared access easement shall be 50' wide. This width will not be waived due to the large size of the parcels and potential for further subdivision.
 - b. Applicant must submit a preliminary plan and profile of the proposed shared access and a proposed access easement, drainage, and utility agreement for review by CBJ.
 - c. The shared access can only serve 4 or fewer lots. A lot may not have frontage on two shared access easements (Lot B3 has frontage on 2 shared accesses).
 - i. Each lot is limited to a single-family dwelling and accessory apartment. A plat note will be required.
 - d. Shared access is prohibited if the subdivision abuts a parcel that does not have alternative and practical frontage on a publically maintained right-of-way.
 - i. USS 4605 FR to the east of the subject parcel does not have frontage on a ROW. The developer will be required to provide access to the subject parcel through a ROW which can be accepted for public maintenance by CBJ. The developer may apply for a roadway construction standards waiver through CBJ 49.35.240(i) (4).
 - ii. The access requirements for the CBJ parkland parcel may be waived in accordance with CBJ 49.15.422.
 - e. The portion of the shared access in the ROW or the first 20 feet from the edge of the public roadway shall be paved, whichever length is greater.
 - f. All lots must meet the minimum lot size and dimensions for the zone district excluding the shared access easement.

Pre-Application Conference Final Report

- g. Once the preliminary plat is approved, the shared access must be constructed. The applicant cannot bond for this requirement.
- 6. **Parking & Circulation**— A single-family dwelling requires 2 parking spaces, an accessory apartment requires 1 parking space.
- 7. **Traffic** – A single-family dwelling generates 9.52 average daily trips (ADTs) and an accessory apartment generates 6.65 ADTs. The subdivision would be limited to 12 single-family dwellings, each could have one accessory apartment. The ADTs for 12 single-family dwellings and 12 accessory apartment is 194. The requirement for a Traffic Impact Analysis (TIA) is not triggered (CBJ 49.40.300(a) (2)).
- 8. **Lot Coverage** – 35% permissible or conditional uses
- 9. **Vegetative Coverage** – 20% minimum
- 10. **Wetlands** – There are wetlands on the southern portion of the subject parcel. A Wetlands delineation is required.
- 11. **Habitat** – (Eagle – remind applicant to check with Feds; Riparian, etc.) – No known at this time.
- 12. **Plat or Covenant Restrictions** – Easements should be shown on the preliminary plat.
- 13. **Public Use Lots** – If land is set aside for open space, natural area park, conservation lots, or similar uses, the Director (minor subdivision) or commission (major subdivision) may waive dimensional standards and access/frontage requirements for the public use lot. See CBJ 49.15.422 for full list of requirements.

Building Division

- 14. **Building**
- 15. **Outstanding Permits** -

General Engineering/Public Works

- 16. **Engineering** –
 - a. **Driveway:** Driveway grades in excess of 14% are beyond what is allowed by code. For driveway grades steeper than 14%, the driveway will need to be designed and inspected by an Alaskan licensed civil engineer at cost to the developer. Please do note the fire code restricts grade to 10%. For shared access the driveway must be installed and accepted prior to the recording of the final plat.
 - b. **Easements:** Site plan (plat) shall include all existing (and proposed) easements for drainage, utility lines including plumbing lines, access, snow storage, trash (dumpster) storage, or any other shared use that requires crossing the property line.
 - c. **Agreements:** A maintenance and hold harmless (of CBJ) agreement will need to be drafted, signed, and recorded for all shared infrastructure for the development, e.g. driveway, water, sewer, etc.
- 17. **Drainage** – Submit a drainage plan indicating how drainage from the proposed subdivision will join an established drainage channel or structures. Easements must be provided on the plat for all established drainage ways or any proposed drainage ways that cross any current or future abutting property lines.
- 18. **Utilities** – (water, power, sewer, etc.) - A minimum of 1" water service and 4" sewer service will need to be installed to the property line of each newly created lot within one-year of recording of the plat. At the time of preliminary plat submittal, please submit a construction plan with for the new utilities. The plan needs to include pipe locations, sizing, for both water and sewer and grades for sewer to indicate appropriate fall will be achieved. The construction plan can be shown on an existing as-built drawing that also includes existing features such as structures and other existing utilities.

Pre-Application Conference Final Report

The following permits will need to be obtained to provide utilities to the newly created lot:

- a. **CBJ right-of-way (ROW) permit**- Once the construction plan for the utilities is approved, CBJ will create the ROW permit. The permit will allow the tapping of the water and sewer mains, water and sewer service installation, and road restoration within the right-of-way. Inspection fees, refundable bond amount, and conditions will be determined after review of the proposed construction plan. The extension of the utilities within the property will require further permitting and fee assessments. This process is done separately from the subdivision and typically in conjunction with the building permit application.
- b. **Shared sewer** - Depending on your development plan you may request to share the existing sewer line. To determine if this will be feasible it is advised to speak with an Alaskan licensed mechanical engineer to determine if the existing pipe will provide the capacity required. This option would require the point of tie in to be within the private property. The shared line would need to be eased and a maintenance agreement will need to be recorded by you that would run with the properties involved.

Fire Marshal

19. Fire Items/Access –

- a. Minimum width for access road is 20 feet drivable surface.
- b. The material can be anything that when compacted can support a minimum of 75,000 pounds vehicle weight. Due to the potential length of road, there is going to be a required apparatus access turn around, unless, every structure built on the road has a sprinkler system.
- c. There will also have to be additional fire hydrants added. We would need to know where the nearest hydrant is to base measurements from. For residential the hydrant spacing is no more than 500 feet apart with a minimum fire flow requirement of 1,500 gallons per minute depending on the construction material used to build.
- d. A hammerhead turn around can be used if desired, where ever it is placed, there has to be signage stating it is for emergency use only and no parking allowed.
- e. By fire code, maximum grade is 10% unless approved by fire code official. Depending on how steep the grade is, it may or may not be allowed to be increased, we would need to know what the range is. The grade can be allowed to be steeper if again, all structures built on road have sprinkler system installed.

Other Applicable Agency Review

20. DOT&PF / Alcohol Beverage Control Board / Army Corps / DEC (wastewater) / DNR / USF&W / F&G / FAA / Corrections...
- 21.

List of required applications

Based upon the information submitted for pre-application review, the following list of applications must be submitted in order for the project to receive a thorough and speedy review.

1. Subdivision Application
2. Development Permit Application

Additional Submittal Requirements

Pre-Application Conference Final Report

Submittal of additional information, given the specifics of the development proposal and site, are listed below. These items will be required in order for the application to be determined Counter Complete.

1. A copy of this pre-application conference report.
2. Preliminary Plat Checklist
3. Wetlands Delineation
4. Preliminary plan and profile of the proposed shared access and a proposed access easement, drainage, and utility agreement

Fee Estimates

The preliminary plan review fees listed below can be found in the CBJ code section 49.85.

Based upon the project plan submitted for pre-application review, staff has attempted to provide an accurate estimate for the permits and permit fees which will be triggered by your proposal.

1. Minor Subdivision Fees
 - a. \$400.00 plus \$25 for each resulting lot
2. Major Subdivision Fees
 - a. Preliminary Plat - \$110.00 per lot
 - b. Final Plat - \$70.00 per lot
 - c. Public Notice Sign Fee - \$50 plus \$100 refundable deposit
3. ROW Permit (work within the ROW):
 - a. \$10 permit fee
 - b. Inspection fees - \$60 per inspection trip or hour, will be determined at time of construction plan review
 - c. Refundable bond – will be determined at time of construction plan review. Can be paid in the form of cash, check, surety, or conveyance.
4. Bond fee – dependent on type of bond payment.

For informational handouts with submittal requirements for development applications, please visit our website at www.juneau.org/cdd.

Submit your Completed Application

You must submit your application(s) in person with payment made to:

City & Borough of Juneau, Permit Center
 230 South Franklin Street
 Fourth Floor Marine View Center
 Juneau, AK 99801

Phone: (907) 586-0715
 Fax: (907) 586-4529
 Web: www.juneau.org/cdd

Blacktail Mountain Estates Subdivision – Grading & Drainage Memo

To: Bruce Griggs

From: Gabe Hayden, PE

Date: 9/8/2021

SUMMARY

The proposed Blacktail Mountain Estates Subdivision will be graded to reduce or maintain the existing stormwater run-on to the lots immediately downhill of the subdivision. The subdivision will be graded such that the majority of the stormwater flow in contact with the new subdivision will be directed to the existing stormwater ditches on Bonnie Doon, Sherri Street, and Wee Burn Drive via existing CBJ ROWs and drainage easements. The total peak storm flows exiting the subdivision will be increased due to the replacement of some natural channels with engineered ditches, and the storm flow total volume will increase due to reduced infiltration in the developed portions of the subdivision.

LOT GRADING

The grading plan for the new subdivision is included in the Construction Drawings as sheets 13 through 16. This plan shows the new grading contours in solid line-type, and existing contours in dashed linetype. Where bold contours are not shown the existing ground is not planned to be re-graded.

The stormwater management system and grading for the new subdivision is designed so that stormwater flow to each existing lot downhill of the subdivision is either not increased or reduced. A table is given below showing the 25yr/24 hr storm uphill flow onto each affected zone directly below the subdivision.

Zone	Peak Flow - Prior to Development (CFS)	Peak Flow - Developed (CFS)	Change in flow in developed condition (CFS) [+ is increase, (-) is decrease]
6751 Sherri Drainage Easement	187	228	41
6747 Sherri Drainage Easement	351	213	-138
6737 Sherri Drainage Easement	226	291	65
Driveway A at Sherri	31	1,217	1,185
6721 Sherri	166	166	0
6717 Sherri	95	95	0
Driveway C at Bonnie Doon & Sherri Intersection	215	1,063	848
Bonnie Doon & Sherri St Intersection, 24" culvert	610	2,830	2,220

Blacktail Mountain Estates Subdivision – Grading & Drainage Memo

Bonnie Doon west side discharge culvert	745	3,571	2,826
Natural Creek at Eastern Property Line	2,377	2,550	173
USS 4605 #1	696	202	-494
Natural Creek at Western Property Line	2,367	2,785	418
USS 4605 #2	1,959	1,959	0
Upper Wee Burn west ditch	33	1,724	1,691
Lower Wee Burn west ditch	1,466	2,312	846

All new lots will be developed to consist of a rockfill building pad, minimum size 50'X50', an access driveway to that pad, and the remainder of the lots will be graded per the Construction Drawings using local non-structural fill.

Lot A3 will be graded to expand an existing rock quarry to accommodate the removal of approximately 40,000 Bank Cubic Yards of rock, to be drilled and blasted. Final contours at Lot A3 are shown on sheet 3 of the Construction Drawings.

Lot A4 will be graded to maintain the existing site drainage patterns, per sheet 16 of the Construction Drawings. Where the new driveway to the Lot A4 building pad cross existing drainage channels 12-18" culverts will be installed through the driveways at locations determined by the engineer in the field in order to maintain the natural drainage pathways.

Drainage ditches, minimum depth of 18 inches, will be installed at the toe of the fill of Lots B1, B2, and B3. These ditches will be graded to drain to existing drainage easements between downhill developed lots, per sheet 14 of the Construction Drawings.

DITCH SYSTEM

Ditches will be constructed on both sides of the new shared driveways, except in cross-slope locations as shown on the construction drawings. Ditches are sized to accommodate the 100 Year – 24 Hour storm event, with a minimum freeboard of 1.0 ft at the normal flow during the 100 Year storm event. All ditch systems report to the existing CBJ stormwater system downhill of the new subdivision, with the exception of the left ditch of Driveway A, which reports to an existing natural creek at the eastern property boundary.

Blacktail Mountain Estates Subdivision – Grading & Drainage Memo

EXISTING BONNIE BRAE STORMWATER SYSTEM

The stormwater discharge from Driveways A & C will report to the western ditch on Bonnie Doon Drive. This ditch and the associated culverts are appropriately sized to pass the post-developed condition stormflows. This ditch terminates at a culvert discharging to a natural drainage channel that is capable of conveying the post developed condition stormflows to North Douglas Highway. The stormwater flow from Driveway A will be routed to Bonnie Doon Drive via the uphill ditchline on Sherri Street. This ditch must be rehabilitated to match the CBJ typical section #101 and graded to drain towards Bonnie Doon Drive. Any culverts in the ditch system less than 18" in diameter should be upgraded to 18" diameter CPP culverts.

The stormwater discharge from Driveway B will report to the western ditch on Wee Burn Drive. This ditch and the associated culverts with diameters 18" and greater are appropriately sized to pass the post-developed condition stormflows to the North Douglas Highway ditch system. Any culverts in the ditch system less than 18" in diameter should be upgraded to 18" diameter CPP culverts.

ASSUMPTIONS

CBJ 2013 lidar was used to establish the existing natural drainage basins.

Hydrologic modeling was conducted using HEC HMS 4.2. The SCS Curve Number method was used for loss, CN=70 assumed for the undeveloped condition, and CN=80 with 25% impervious was used for developed lot condition. SCS unit hydrograph was used for the transform method with a PRF-484. SCS storm type 1A was used for the meteorological model, 100-year storm 24hr rainfall = 6.29 inches and 25-year 24hr rainfall = 5.05 inches, per the NOAA Atlas 14 Point Precipitation Frequency estimate for lat: 58.3235°, long:-134.4995°, elevation: 312 ft.

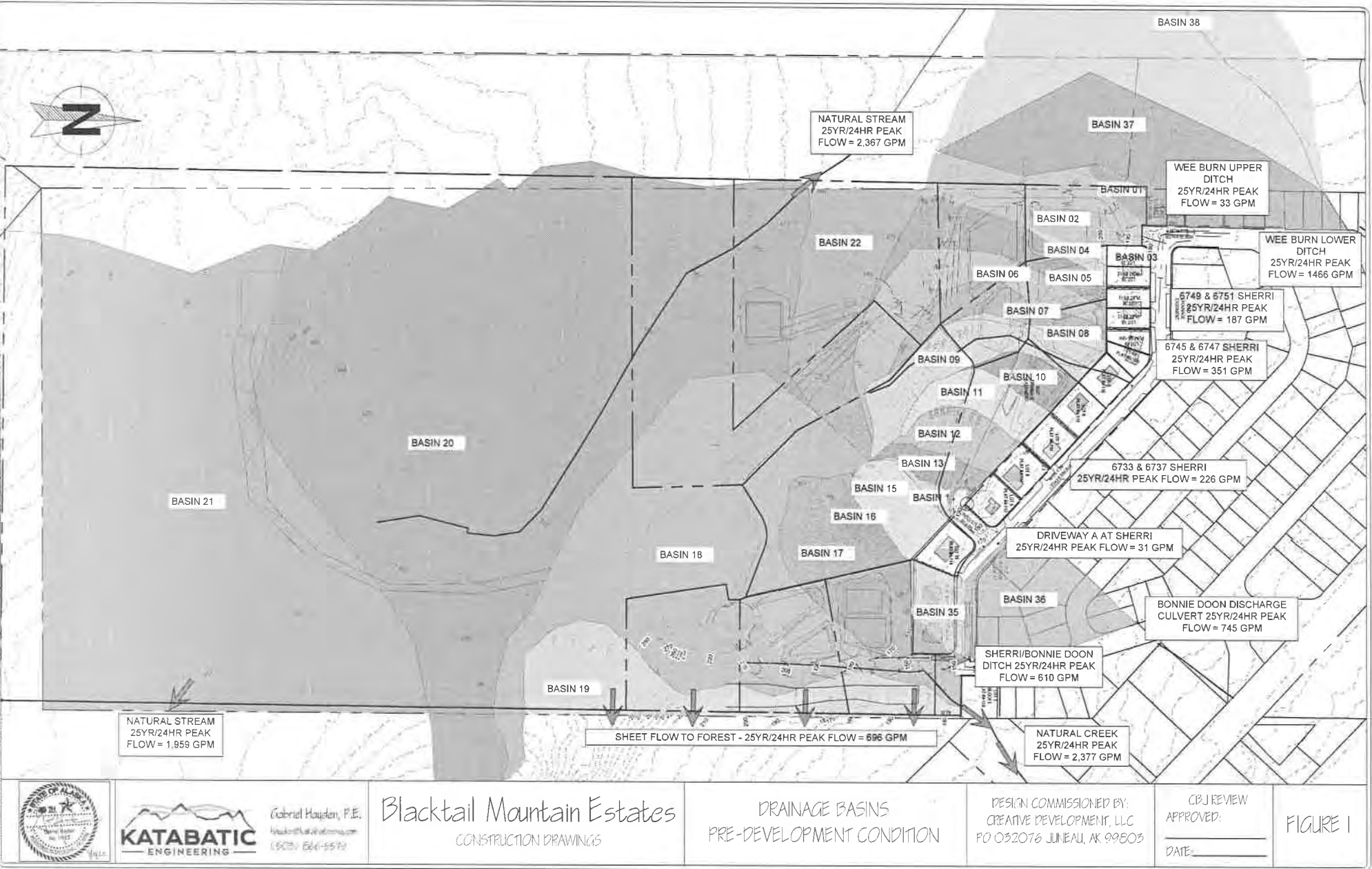
ATTACHMENTS

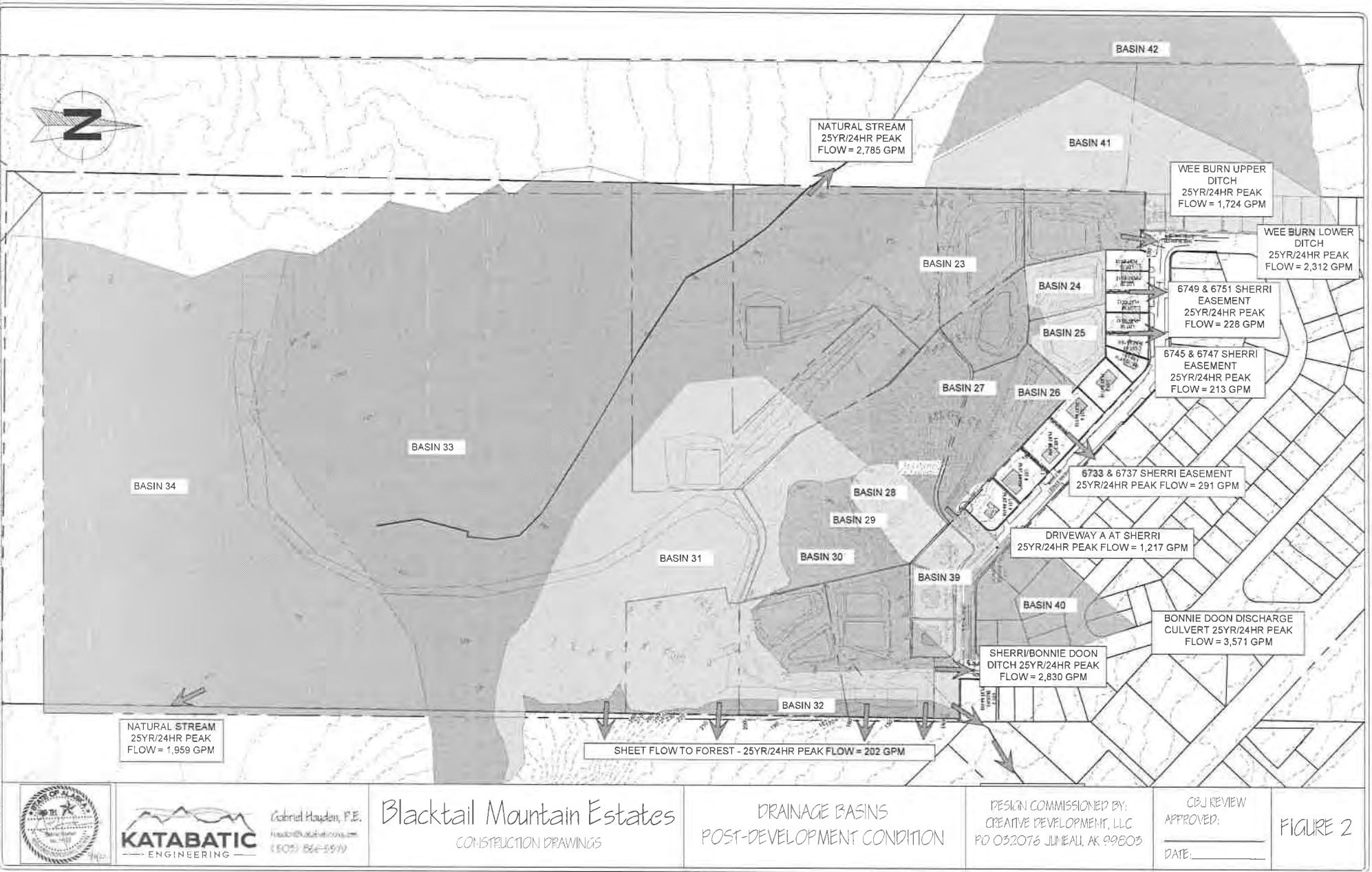
Figure 1

Figure 2



Gabriel Hayden, P.E. 9/8/2021





Blacktail Mountain Estates Subdivision – Water Services Memo

To: Bruce Griggs

From: Gabe Hayden, PE

Date: 9/20/2021

SUMMARY

All new lots in Blacktail Mountain Estates Subdivision are proposed to be served by individual 2" SDR 7 HDPE water services, with service connections to the existing CBJ water main on Sherri Street. Service connection locations and water service alignments are shown on the Construction Drawings. Water pressure at 25 GPM was calculated for all proposed house pad locations, and will be greater than 30 psi for all house pad locations except for A4, C3, and C4. These lots will require an in-line booster pump to be installed along the water service pipe corridor within the shared driveway easement.

ASSUMPTIONS

Pressure tests results for hydrants adjacent to the proposed subdivision were provided by CBJ, and summarized below.

Shared Driveway	Adjacent Hydrant Number	Hydrant Elevation (ft)	Static Hydrant Pressure (psi)
Driveway A	66	142	74.00
Driveway B	67	168	64.00
Driveway C	69	160	60.00

SERVICE PRESSURES

The static pressures and the flowing pressure at 25 GPM at the proposed house pad locations are presented below. Lots A4, C3, and C4 will require an inline booster pump in order maintain service pressure at the house pad locations. The booster pump is assumed to be a Grundfos 2 hp booster pump, model CMBE 5-62 I-U-C-E-D-F, for the purposes of this memo. Design details for the booster pump stations will be provided at a later date.

Residential Service Designation	Elevation at house pad (ft)	Static Pressure at house pad (psi)	Flowing pressure at house pad (psi)	Flowing Pressure with booster pump (psi)
Service A1	190.00	53.20	51.42	
Service A2	220.00	40.20	36.48	
Service A3	220.00	40.20	36.24	
Service A4	375.00	-26.97	-43.04	28.96
Service B1	200.00	50.13	46.41	

Blacktail Mountain Estates Subdivision – Water Services Memo

Service B2	210.00	45.80	41.35	
Service B3	210.00	45.80	41.35	
Service B4	215.00	43.63	39.19	
Service C1	210.00	38.33	36.31	
Service C2	220.00	34.00	31.13	
Service C3	300.00	-0.67	-8.02	63.98
Service C4	315.00	-7.17	-15.97	56.03

FIRE

It is proposed that all dwelling units in the new subdivision be required to be served by residential fire sprinkler systems.

Information regarding existing hydrant proximity to the proposed house pads is presented below.

Residential Service Designation	Adjacent Hydrant #	Hydrant Pressure (psi)	Hose Distance - house to hydrant (ft)	Elevation Gain – House to Hydrant (ft)
Service A1	66	74	500	48
Service A2	66	74	900	78
Service A3	66	74	950	78
Service A4	66	74	3,450	233
Service B1	67	64	750	32
Service B2	67	64	900	42
Service B3	67	64	900	42
Service B4	67	64	900	47
Service C1	69	60	850	50
Service C2	69	60	1,025	60
Service C3	69	60	1,950	140
Service C4	69	60	2,250	155



Gabriel Hayden, P.E.,

HAYDEN@KATABATICEING.COM
(503) 666-5579

Site Geotechnical Memo

PROPERTY OWNER:

Name: Peter Peel
Email: pppeel84@gmail.com

PROPERTY REFERENCE:

Legal: USS 471 FR
Address: NHN
Juneau, AK 99801
Physical: Lat: 58.324248°
Long: -134.499248° (reference google earth)

SUMMARY

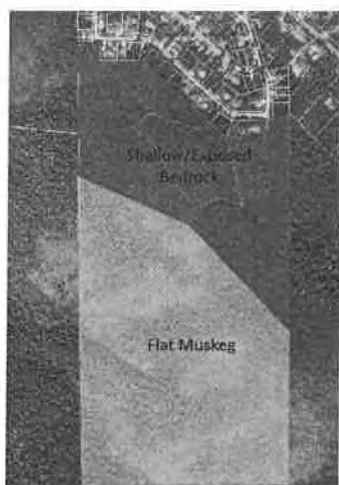
- The site is suitable for the proposed development.
- The southern portion of the parcel consists of muskeg, and the proposed development aims to minimize site work within the muskeg zone.
- The northern portion of the parcel consists of a forested zone with a shallow colluvium overlying bedrock. Nine of the twelve proposed lots are to be located within this zone.

NARRATIVE

Site conditions were determined by visual observation between 2019 and 2021. No subsurface investigation was conducted in support of this memo as the site is largely undeveloped and inaccessible to construction machinery. Visual observations were supported by the USGS report Surficial Geology of the Juneau Urban Area and Vicinity, Robert Miller 1972. The historical quarry on Tract C allowed for observation of the bedrock and soil profile at that location.

The site can be broadly divided into two distinct zones. The southern two-thirds of the original parcel (USS 471 FR) consist of flat muskeg, and the northern third of the parcel consist of steep terrain with exposed or shallow bedrock overlain with forested peatland. The proposed Lots C4, B3, and B4 comprise the entirety of the southern two-thirds of the original parcel, and the remaining 9 proposed lots are located on the northern third. The CBJ parcel Bonnie Brae Estates II Park Site shares general geologic characteristics with the northern third of the original parcel. These general zones are shown in the figure below.

Site Geotechnical Memo



The 'Flat Muskeg' zone in the figure above lies on a bench between approximately 300-400 feet above sea level. The muskeg is assumed to be typical of other muskegs on Douglas Island with 10 feet or less of peat overlying a low permeability glacial till unit. Any development within this zone required the removal of all peat within the footprint of all building pads prior to the placement of structural fill. This involves the excavation of a large quantity of peat for each building site, and as such the proposed development within this zone has been limited to three large lots. The size of the proposed lots allows the most advantageous subsurface conditions to be identified during site development and the building pads targeted for these locations.

The northern zone climbs from approximately 160 feet elevation to 300 feet elevation, with the rock knob on the CBJ Park Site reaching an elevation of 400 feet. The bedrock generally consists of volcanic graywacke and slate. Bedrock outcrops can be observed along the steep slope running east/west that forms the dividing line between the forested zone and the upper muskeg bench. The CBJ park site is largely exposed bedrock, and the quarry on the proposed lot C3 exposes the bedrock section to a depth of approximately 30 feet. A poorly drained colluvium is assumed to cover the bedrock below the steep slope discussed above, and a shallow layer of forest duff was observed to cover the colluvium throughout this zone. In general the colluvium makes for a poor structural foundation and care should be taken to remove native soils within the footprint of all building pads down to either bedrock or a competent bearing soil prior to construction of the structural fill house pads or driveways. Development of house pads on the steep flanks of the rock knob on the CBJ Park Site is not recommended due to the hazard of mass wasting from the rock knob.

Site Geotechnical Memo

Newly created slopes are to be graded at 2H:1V unless otherwise noted on the construction drawings, and vegetative cover re-established on the entire site per the construction plans, the CBJ stormwater manual, and the developer's site-specific SWPPP.

As subsurface investigation was not undertaken outside of Tract C the developer should inform the Engineer of any conditions encountered during the initial site development that are not consistent with this memo.

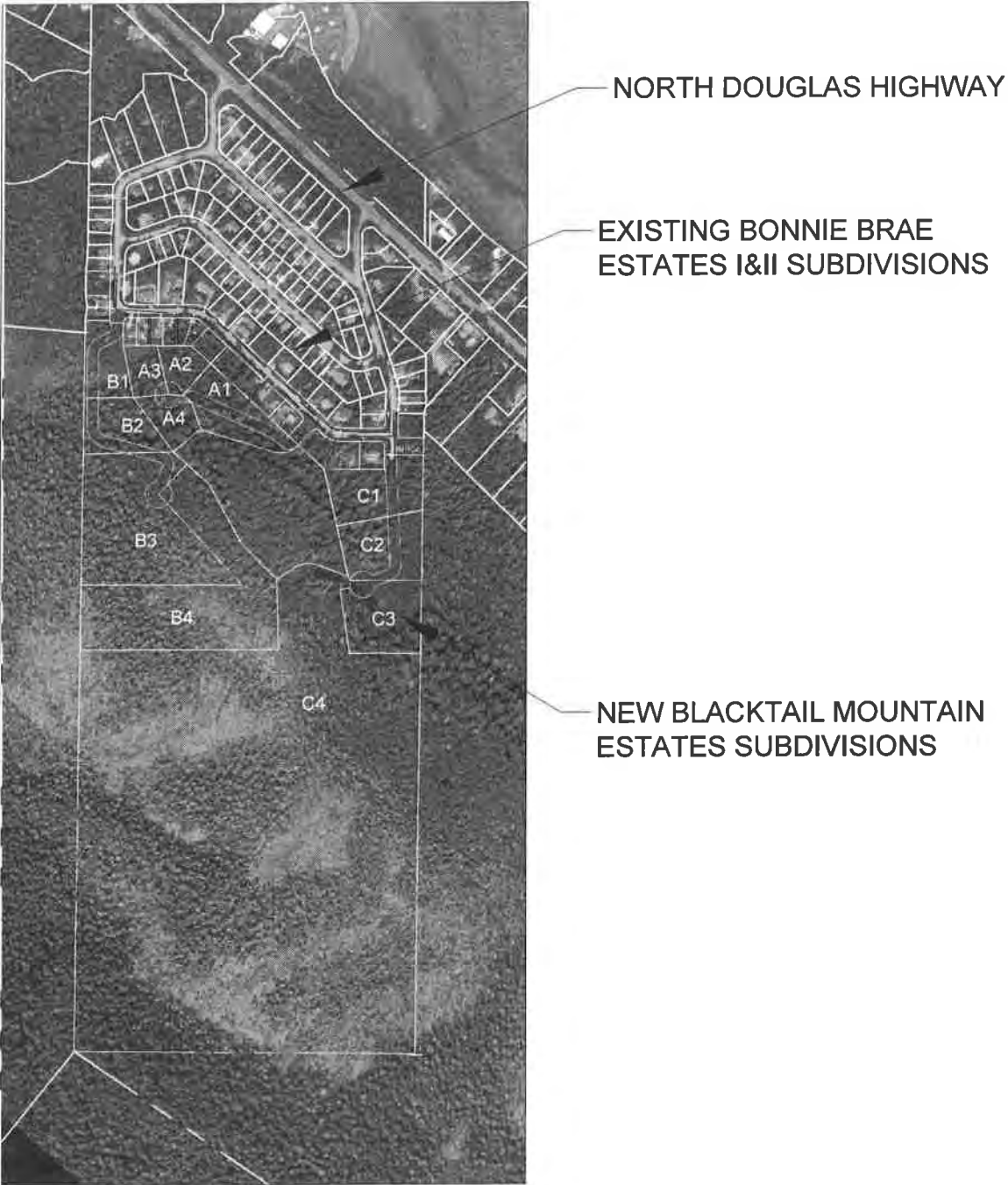
ENGINEER CERTIFICATION:



Gabriel Hayden, PE#14703, 9/20/2021

BLACKTAIL MOUNTAIN ESTATES SUBDIVISION CONSTRUCTION DRAWINGS September 09, 2021 INDEX

SHEET #	REVISION DATE	TITLE
SHEET 1	12/22/2019	COVER SHEET
SHEET 2	12/22/2019	GENERAL NOTES
SHEET 3	12/22/2019	SHARED DRIVEWAY A - PLAN VIEW
SHEET 4	12/22/2019	SHARED DRIVEWAY B - PLAN VIEW
SHEET 5	12/22/2019	SHARED DRIVEWAY C - PLAN VIEW
SHEET 6	12/22/2019	SHARED DRIVEWAY A - PROFILE VIEW
SHEET 7	12/22/2019	SHARED DRIVEWAY B - PROFILE VIEW
SHEET 8	12/22/2019	SHARED DRIVEWAY C - PROFILE VIEW
SHEET 9	12/22/2019	DRIVEWAY TYPICAL SECTIONS #1 & #2
SHEET 10	12/22/2019	DRIVEWAY TYPICAL SECTIONS #3 & #4
SHEET 11	12/22/2019	DRIVEWAY TYPICAL SECTIONS #5 & #6
SHEET 12	12/22/2019	DRIVEWAY TYPICAL SECTIONS #7
SHEET 13	12/22/2019	SHARED DRIVEWAY A - DRAINAGE SCHEMATIC
SHEET 14	12/22/2019	SHARED DRIVEWAY A - DRAINAGE SCHEMATIC
SHEET 15	12/22/2019	SHARED DRIVEWAY A - DRAINAGE SCHEMATIC
SHEET 16	12/22/2019	SOUTHERN LOTS - GRADING PLAN AND DRAINAGE SCHEMATIC



VICINITY MAP
NTS



Gabriel Hayden, P.E.
hayden@katabaticeng.com
(907) 866-5579

Blacktail Mountain Estates
CONSTRUCTION DRAWINGS

Coversheet

DESIGN COMMISSIONED BY:
CREATIVE DEVELOPMENT, LLC
PO 032076 JUNEAU, AK 99803

CBJ REVIEW
APPROVED:
DATE:

DRAWN:
9/9/2021
SHEET #
1 / 16

GENERAL NOTES:

- 1. All work shall conform to the most recent CBJ Standard Specifications and Details, including errata. Available online at: 'http://www.juneau.org/engineering/Rev_Standards.php' and 'http://www.juneau.org/engineering_ftp/documents/Cover_000.pdf'.
- 2. All HDPE pipe installations shall additionally conform to the 'HDPE Special Provisions March 2017' document attached to this design packet.
- 3. Existing pipe and electrical utility locations based on historical asbuilt information, actual locations may vary. Contractor shall call for utility locates at (907) 586-1333 prior to excavation in zones of existing development.
- 4. Contractor shall notify CBJ water utility department (907) 780-6808 of proposed water service interruptions, and submit the 'water system special use permit' application to CBJ water utilities superintendent for approval at least 48 hours prior to shutdown or flushing of mainline water pipe. No water service interruptions may occur until the above application is approved.
- 5. Contractor shall reference all existing property corner monuments prior to construction and re-monument using an Alaska Professional Land Surveyor after Work is complete.
- 6. Grades and alignments are subject to minor revisions as approved by the Engineer.
- 7. Property line locations used were derived from record plats and not a boundary survey.
- 8. "Jumping Jack" or similar type compactors shall be used for compaction within 18 inches of the outside surface of all water valve boxes, catch basins, and manholes.
- 9. Contractor shall install and maintain construction stormwater control BMPs per the Erosion Control Pland and SWPPP CGP permit obtained by the Contractor.
- 10. For any planned driveway closures, Contractor shall notify resident of each driveway to be closed of the planned closure, including time period, the day prior to the planned closure.
- 11. Contractor shall provide submittal described in the CBJ standard specifications to Engineer for review prior to procurement of all materials.
- 12. All slopes steeper than 2:1 require special inspection pursuant to Chapter 19.12, excavation and grading code.
- 13. Clay, bedrock, organics, stumps and logs, and boulders may be encountered by the Contractor during excavation operations. No subsurface geotechnical investigation was conducted for this project. Contractor shall inform Engineer of subsurface conditions encountered during share driveway construction, and Engineer may make minor adjustments to design as necessary.
- 14. Contractor shall perpare and submit a SWPPP plan to the Alaska Department of Environmental Conservation prior to beginning site work, and shall maintain compliance with the provisions of that SWPPP plan throughout the project.

ABBREVIATIONS

AC	Asphaltic Concrete Pavement		
CB	Catch Basin		
CPP	Corrugated Polyethylene Pipe		
Conc	Concrete		
CTE	Connect to Existing		
DIA	Diameter		
GV	Gate Valve		
HDPE	High Density Polyethylene		
INV	Invert		
LT	Left	PT	Point of Tangency
MH	Manhole	RT	Right
MTE	Match to Existing	STA	Station
NO	Number	TP	Top of Pavement
NTS	Not to Scale	TYP	Typical
PVC	Polyvinyl Chloride Pipe		
PC	Point of Curvature		

Abbreviations may be used without periods.

CBJ SPECIFICATIONS

- DIVISION 1 - GENERAL REQUIREMENTS
- 01045 Cutting and Patching
 - 01070 Acronyms of Institutions
 - 01090 Reference Standards
 - 01300 CONTRACTOR Submittals - Includes changes listed in 1/15/04 Errata Sheet
 - 01400 Quality Control - Includes change listed in 1/15/04 Errata Sheet
 - 01505 Mobilization
 - 01530 Protection and Restoration of Existing Facilities
 - 01550 Site Access and Storage
 - 01560 Temporary Environmental Controls
 - 01660 Equipment Testing and Plant Start-Up
 - 01700 Project Closeout - Includes change listed in 5/5/04 Errata Sheet No. 3
- DIVISION 2 - SITEWORK
- 02090 Blasting Controls
 - 02201 Clearing and Grubbing
 - 02202 Excavation and Embankment
 - 02203 Trenching
 - 02204 Base Course - Includes change listed in 3/17/04 Errata Sheet No. 2
 - 02205 Riprap
 - 02401 Sanitary Sewer Pipe
 - 02402 Sanitary Sewer Manholes and Cleanouts
 - 02403 Sanitary Sewer Encasement
 - 02501 Storm Sewer Pipe
 - 02502 Storm Sewer Manholes, Inlets, and Catch Basins
 - 02601 Water Pipe
 - 02602 Valves
 - 02603 Fire Hydrants
 - 02605 Water Services
 - 02702 Construction Surveying
 - 02703 Monuments
 - 02707 Chain Link Fence
 - 02709 Topsoil - Includes change listed in 5/5/04 Errata Sheet No. 3
 - 02710 Seeding
 - 02711 Landscape Planting
 - 02712 Jute Mesh
 - 02714 Filter Cloth
 - 02715 Underdrain
 - 02718 Sign Assembly
 - 02719 Mailboxes
 - 02720 Painted Traffic Markings
 - 02801 Asphalt Concrete Pavement - Includes changes listed in Errata 1 through 4
 - 02802 Tack Coat
 - 02803 Fog Seal Coat
 - 02806 Remove Existing Asphalt Surfacing
- DIVISION 3 - CONCRETE
- 03301 Structural Concrete
 - 03302 Concrete Structures
 - 03303 Sidewalk, Curb and Gutter
 - 03304 Remove Existing Sidewalk, Concrete Slab, or Curb and Gutter

CBJ STANDARD DETAILS - 4TH EDITION

- Street Details
- 102D Local Access Street With Biofiltration Swale
 - 103A Driveway For Streets Without Curb & Gutter
 - 104B Culvert Headwall Without Hinged Trash Rack
 - 107 Local Access Street Cul-De-Sac
 - 116 Cantilevered Single Mailbox
 - 117 Cantilevered Gang Mailbox
 - 119A Junction Box Type I & Type 1A
 - 119B Junction Box Type II & Type III
 - 120 Private Utility Location Within CBJ R-O-W
 - 125 Pavement Resurfacing And Trench Detail
 - 126 Concrete Collar
 - 127A Sign Assembly Single-Post
 - 127B Sign Assembly Double-Post
- Sanitary Sewer Details
- 213 Sanitary Sewer Service Lateral
 - 214 Sanitary Sewer Connection Customer Service Line
 - 215 Sanitary Sewer Crossing
 - 216 Pressure Sanitary Sewer Service Lateral
- Drainage Details
- 311 Silt Fence
 - 312 Rock Check Dam
- Water Details
- 403 Fire Hydrant
 - 404 Hydrant Guard Posts
 - 405 Hydrant Pad
 - 406A Water Service
 - 412 Rigid Insulation
 - 414A Downward Concave Thrust Block
 - 414B Horizontal And Concave Upward Thrust Blocks
 - 419 Residential Water Service Connection
 - 420 Meter Installation

LEGEND

- NEW GRADING FEATURES
- EXISTING
- REMOVE EXISTING
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- WATER PIPE
- SEWER PIPE
- PROPERTY LINE
- WATER VALVE
- MANHOLE
- FIRE HYDRANT
- STREET LIGHT



Gabriel Hayden, P.E.
hayden@katabaticeng.com
(503) 866-5579

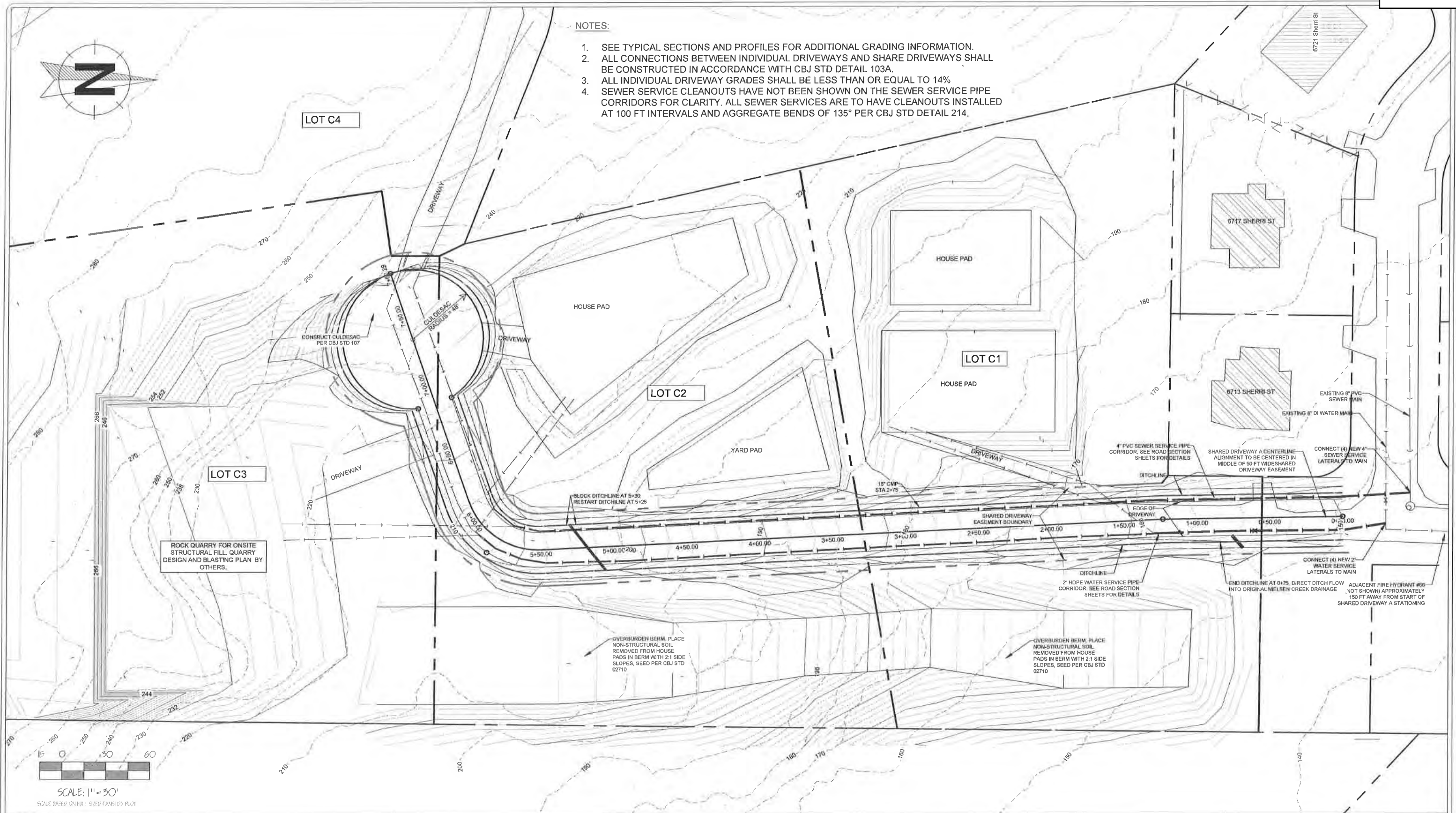
Blacktail Mountain Estates
CONSTRUCTION DRAWINGS

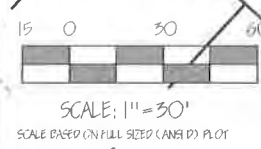
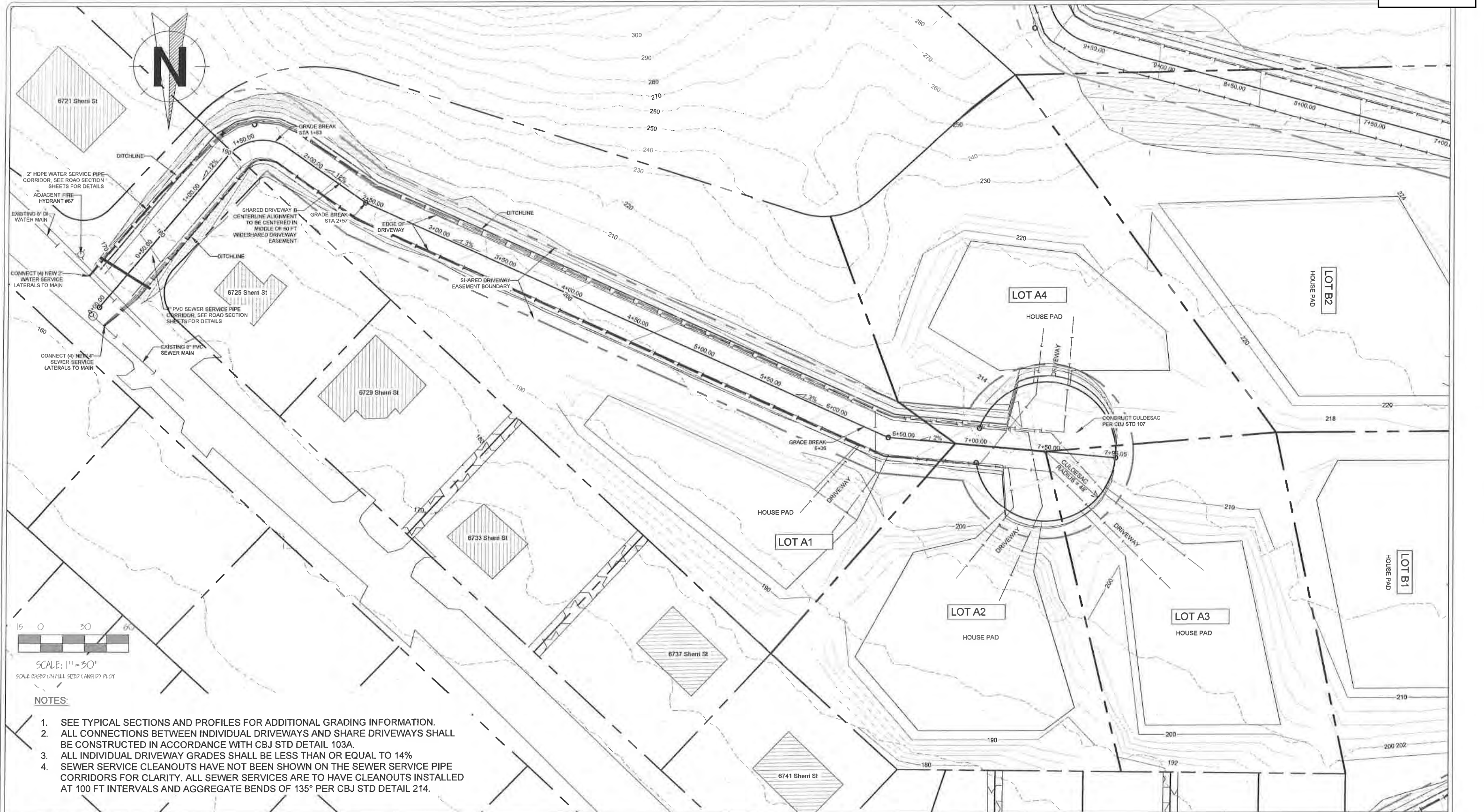
General Notes, Legend, CBJ
specifications and details references

DESIGN COMMISSIONED BY:
CREATIVE DEVELOPMENT, LLC
PO 032076 JUNEAU, AK 99803

CBJ REVIEW
APPROVED: _____
DATE: _____

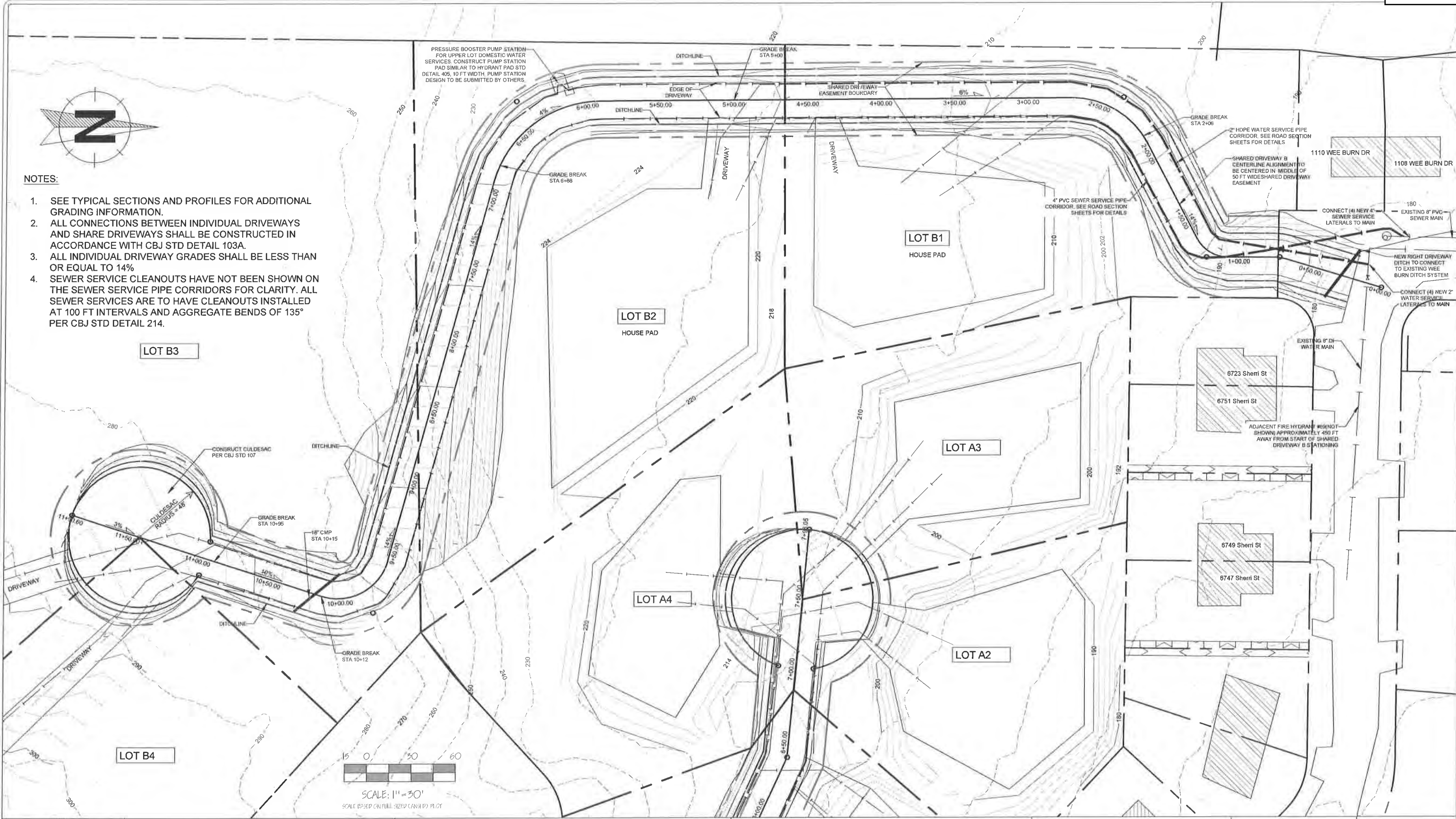
DRAWN:
9/9/2021
SHEET #
2 / 16





- NOTES:
1. SEE TYPICAL SECTIONS AND PROFILES FOR ADDITIONAL GRADING INFORMATION.
 2. ALL CONNECTIONS BETWEEN INDIVIDUAL DRIVEWAYS AND SHARE DRIVEWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CBJ STD DETAIL 103A.
 3. ALL INDIVIDUAL DRIVEWAY GRADES SHALL BE LESS THAN OR EQUAL TO 14%
 4. SEWER SERVICE CLEANOUTS HAVE NOT BEEN SHOWN ON THE SEWER SERVICE PIPE CORRIDORS FOR CLARITY. ALL SEWER SERVICES ARE TO HAVE CLEANOUTS INSTALLED AT 100 FT INTERVALS AND AGGREGATE BENDS OF 135° PER CBJ STD DETAIL 214.

	<p>Gabriel Hayden, P.E. hayden@katabaticeng.com (503) 866-5579</p>	<p>Blacktail Mountain Estates</p> <p>CONSTRUCTION DRAWINGS</p>	<p>SHARED DRIVEWAY A</p> <p>PLAN VIEW</p>	<p>DESIGN COMMISSIONED BY: CREATIVE DEVELOPMENT, LLC PO 032076 JUNEAU, AK 99803</p>	<p>CBJ REVIEW APPROVED: _____ DATE: _____</p>	<p>DRAWN: 9/9/2021 SHEET # 4 / 16</p>
--	--	--	---	---	---	--



Gabriel Hayden, P.E.
hayden@katabaticeng.com
(503) 866-5579

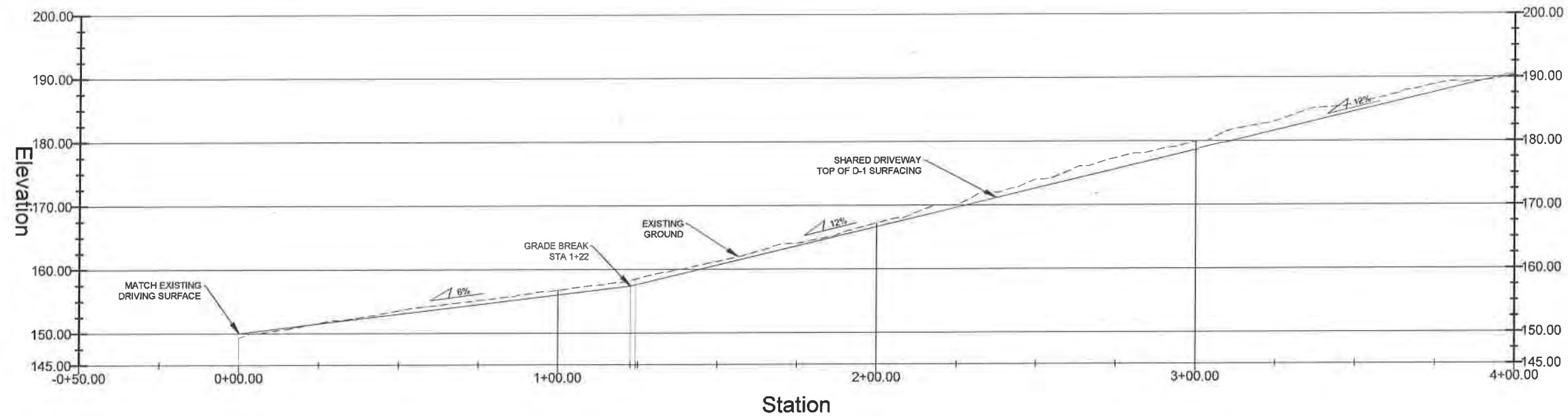
Blacktail Mountain Estates
CONSTRUCTION DRAWINGS

SHARED DRIVEWAY B
PLAN VIEW

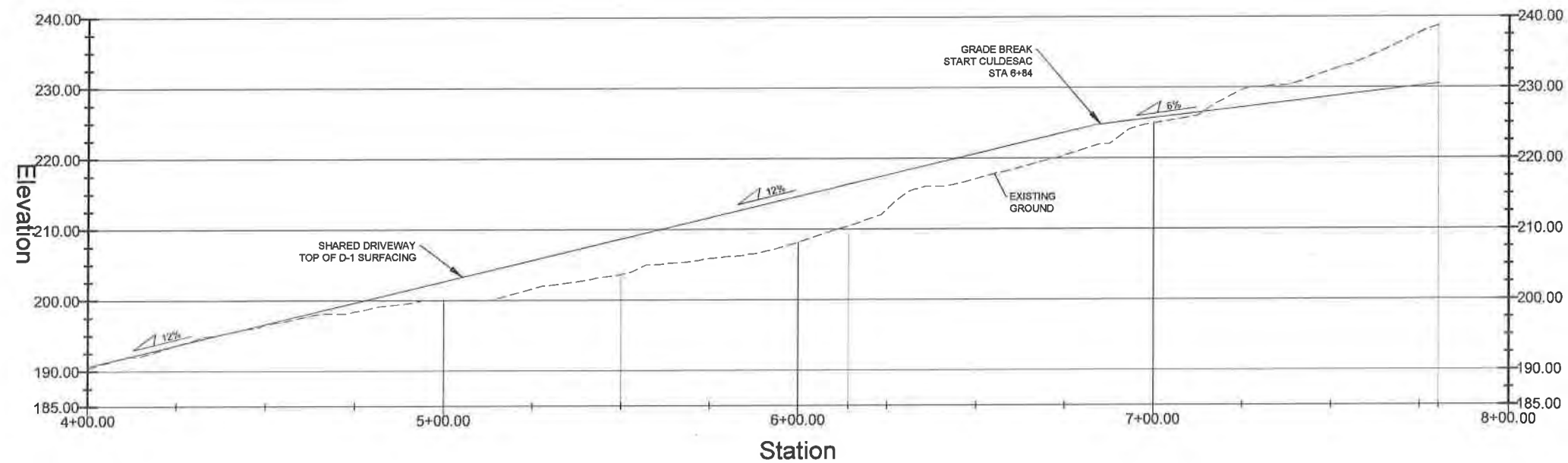
DESIGN COMMISSIONED BY:
CREATIVE DEVELOPMENT, LLC
PO 032076 JUNEAU, AK 99803

CBJ REVIEW
APPROVED:
DATE:

DRAWN:
9/9/2021
SHEET #
5 / 16



DRIVEWAY C - PROFILE



DRIVEWAY C - PROFILE

10 0 20 40
SCALE: 1" = 20'
2X VERTICAL EXAGGERATION
SCALE BASED ON FULL SIZE (ANSI D) PLOT

NOTES:

1. WATER AND SEWER SERVICES ARE NOT SHOWN ON PROFILE, SEE TYPICAL SECTIONS FOR INSTALLATION DETAILS. ALL WATER SERVICES TO BE INSTALLED WITH MIN 5 FT OF COVER, AND SEWER SERVICES WITH MIN 4 FT OF COVER.



Gabriel Hayden, P.E.
hayden@katabaticeng.com
(503) 866-5579

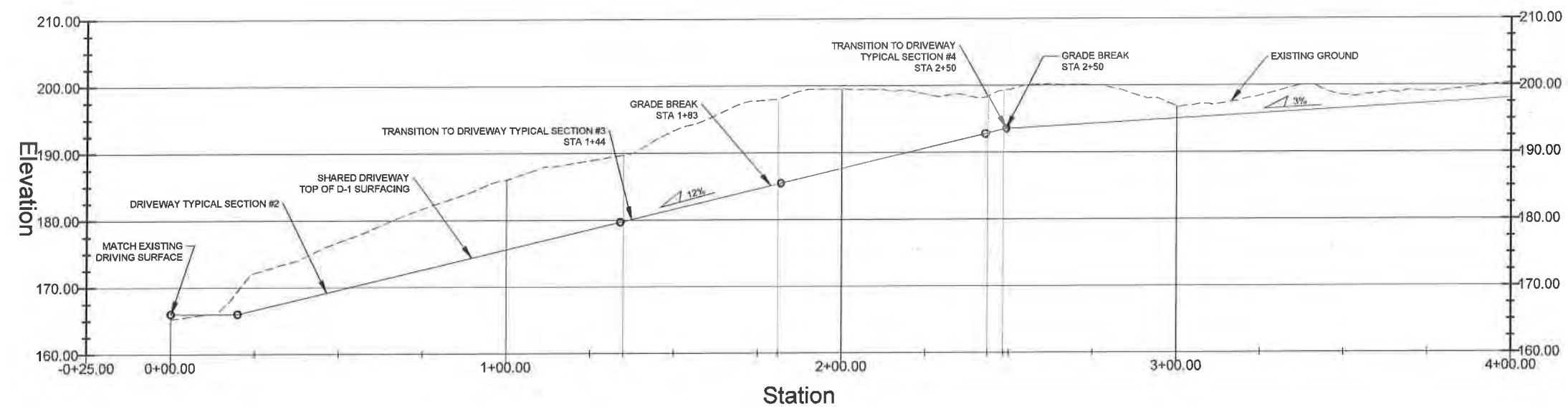
Blacktail Mountain Estates
CONSTRUCTION DRAWINGS

SHARED DRIVEWAY C
PROFILE

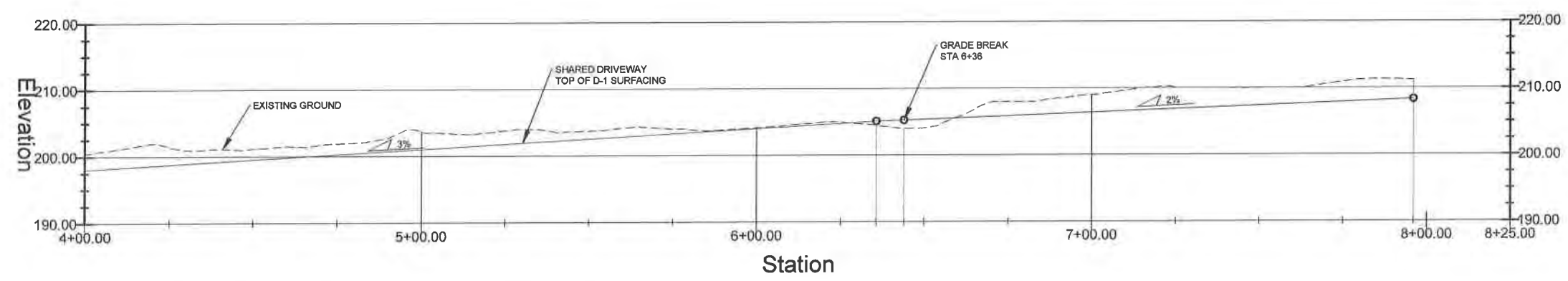
DESIGN COMMISSIONED BY:
CREATIVE DEVELOPMENT, LLC
PO 032076 JUNEAU, AK 99803

CBJ REVIEW
APPROVED: _____
DATE: _____

DRAWN:
9/9/2021
SHEET #
6 / 16



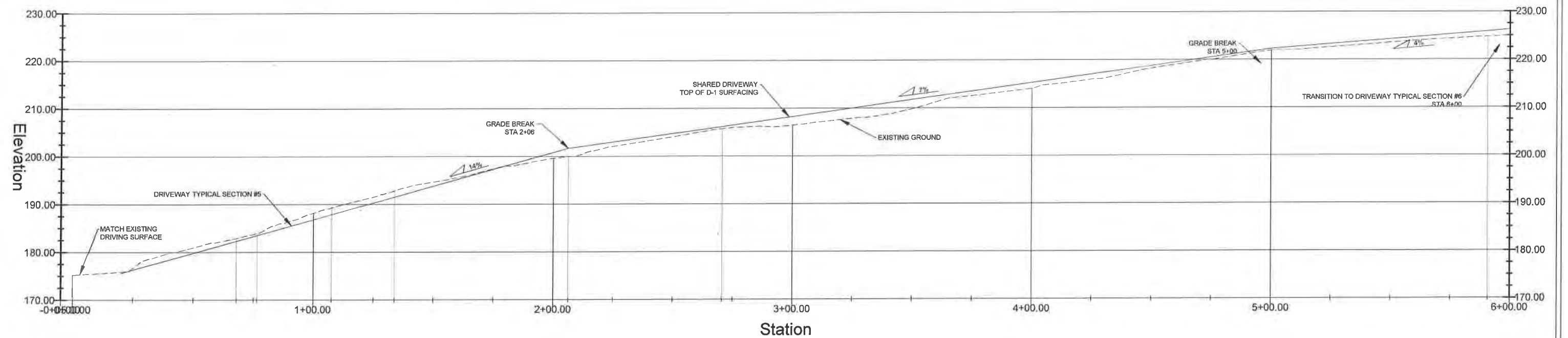
DRIVEWAY A - PROFILE



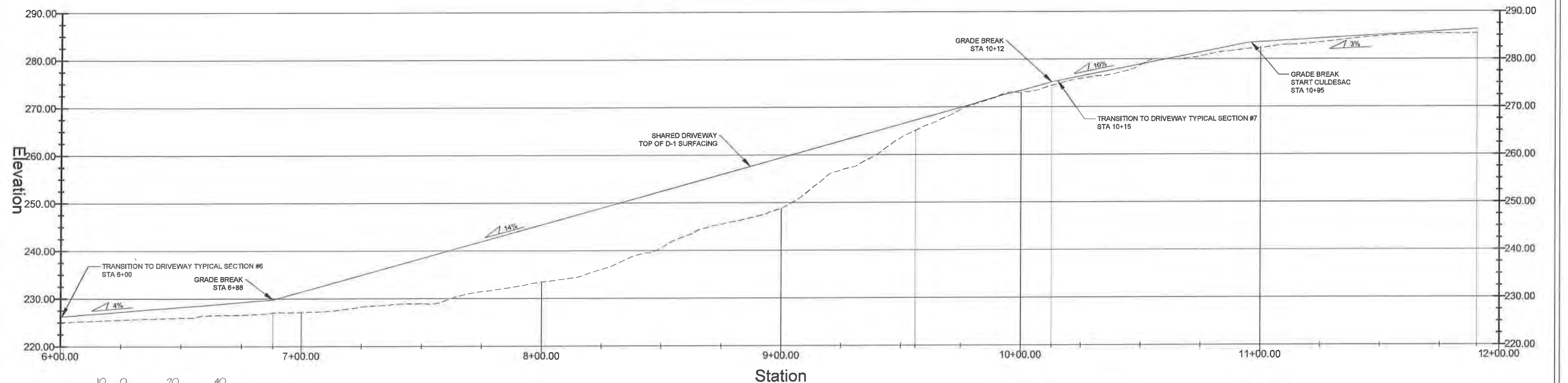
DRIVEWAY A - PROFILE

10 0 20 40
SCALE: 1"=20'
2X VERTICAL EXAGGERATION
SCALE BASED ON FULL SIZED (ANSI D) PLOT

- NOTES:
- 1. WATER AND SEWER SERVICES ARE NOT SHOWN ON PROFILE, SEE TYPICAL SECTIONS FOR INSTALLATION DETAILS. ALL WATER SERVICES TO BE INSTALLED WITH MIN 5 FT OF COVER, AND SEWER SERVICES WITH MIN 4 FT OF COVER.



DRIVEWAY B - PROFILE



10 0 20 40

SCALE: 1"=20'

2X VERTICAL EXAGGERATION

SCALE BASED ON FULL SIZED (ANSI D) PLOT

NOTES:

1. WATER AND SEWER SERVICES ARE NOT SHOWN ON PROFILE, SEE TYPICAL SECTIONS FOR INSTALLATION DETAILS. ALL WATER SERVICES TO BE INSTALLED WITH MIN 5 FT OF COVER, AND SEWER SERVICES WITH MIN 4 FT OF COVER.

DRIVEWAY B - PROFILE



Gabriel Hayden, P.E.
hayden@katabaticeng.com
(503) 866-5579

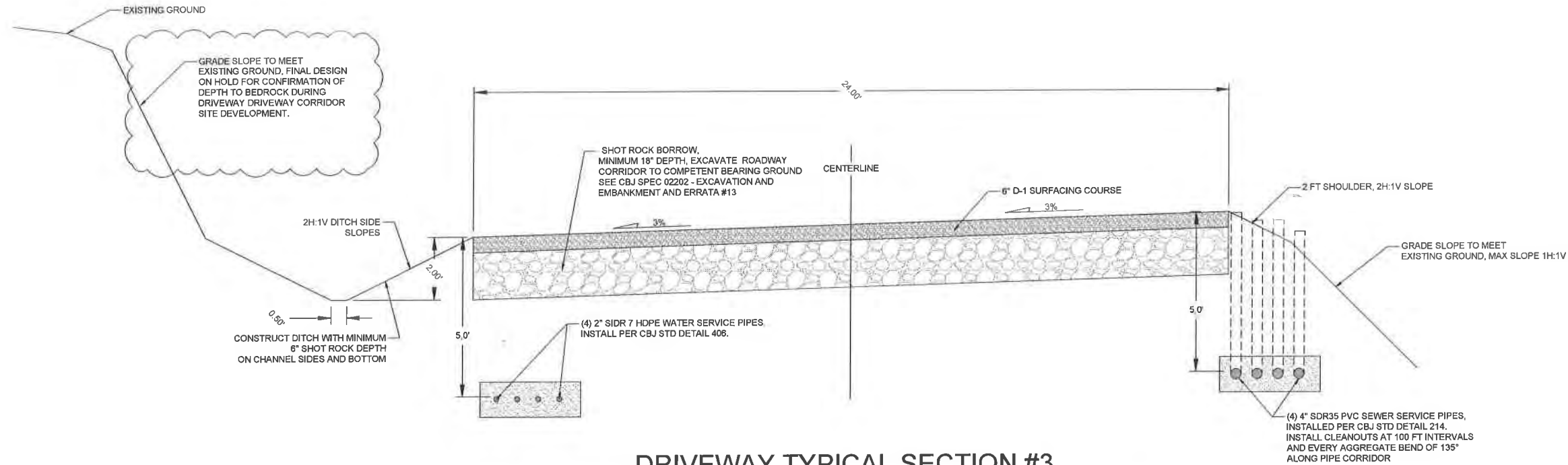
Blacktail Mountain Estates
CONSTRUCTION DRAWINGS

SHARED DRIVEWAY B
PROFILE

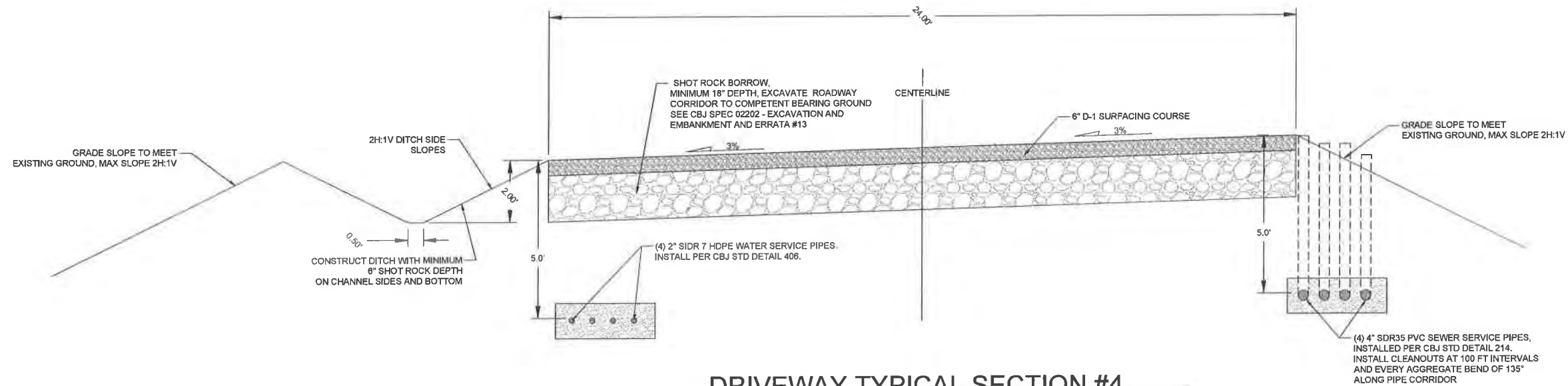
DESIGN COMMISSIONED BY:
CREATIVE DEVELOPMENT, LLC
PO 032076 JUNEAU, AK 99803

CBJ REVIEW
APPROVED:
DATE: _____

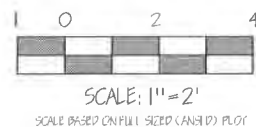
DRAWN:
9/9/2021
SHEET #
8 / 16



DRIVEWAY TYPICAL SECTION #3
SHARED DRIVEWAY A - STA 1+44 TO STA 2+50



DRIVEWAY TYPICAL SECTION #4
SHARED DRIVEWAY A - STA 2+50 TO END



Gabriel Hayden, P.E.
hayden@katabaticeng.com
(503) 866-5579

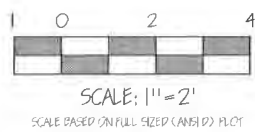
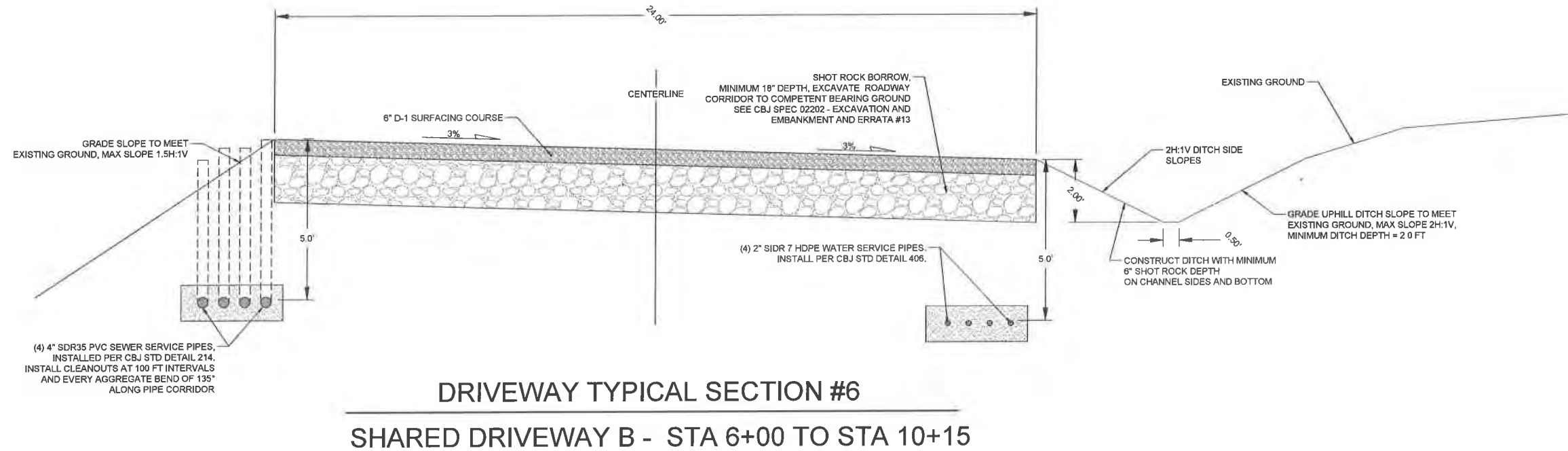
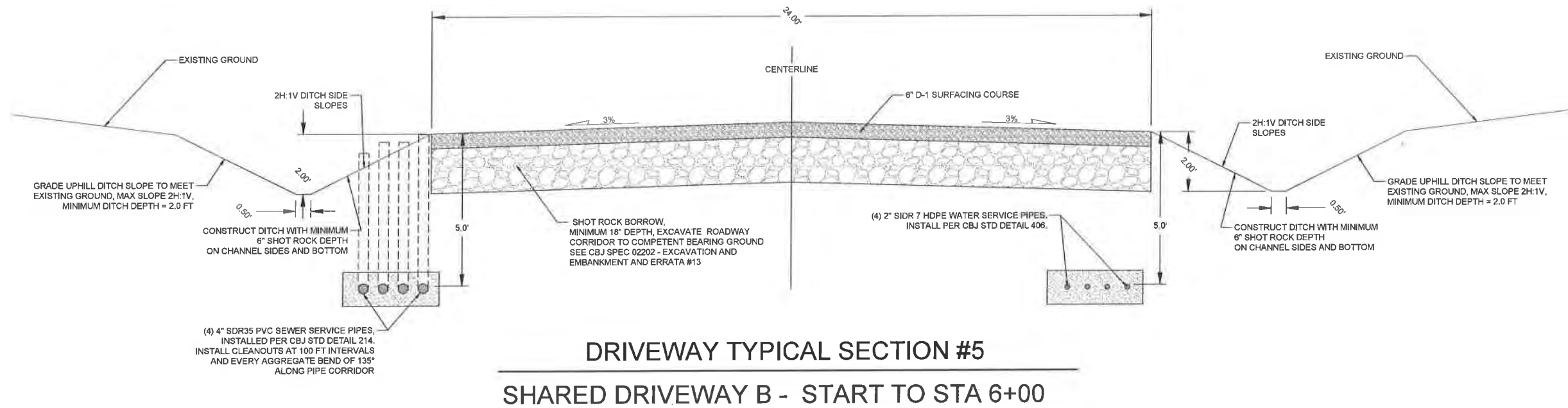
Blacktail Mountain Estates
CONSTRUCTION DRAWINGS

DRIVEWAY TYPICAL SECTIONS
#3 & #4

DESIGN COMMISSIONED BY:
CREATIVE DEVELOPMENT, LLC
PO 032076 JUNEAU, AK 99803

CBJ REVIEW
APPROVED:
DATE: _____

DRAWN:
9/9/2021
SHEET #
10/16



KATABATIC ENGINEERING
Gabriel Hayden, P.E.
hayden@katabaticeng.com
(503) 866-5579

Blacktail Mountain Estates
CONSTRUCTION DRAWINGS

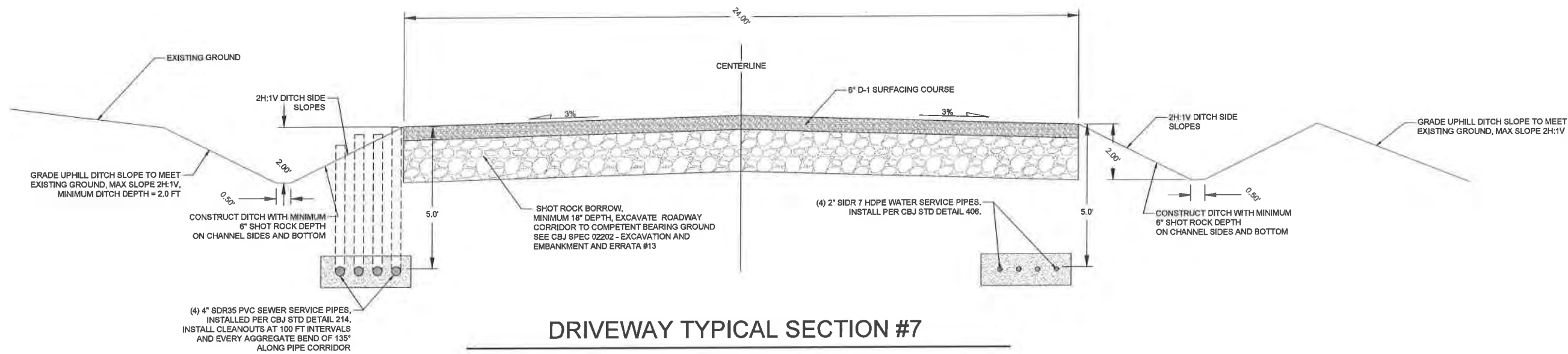
DRIVEWAY TYPICAL SECTIONS
#5 & #6

Attachment B - Notice of Decision_SMP21-09

DESIGN COMMISSIONED BY:
CREATIVE DEVELOPMENT, LLC
PO 032076 JUNEAU, AK 99803

CBJ REVIEW
APPROVED: _____
DATE: _____

DRAWN:
9/9/2021
SHEET #
11 / 16



DRIVEWAY TYPICAL SECTION #7
SHARED DRIVEWAY B - STA 10+15 TO END



Gabriel Hayden, P.E.
hayden@katabaticeng.com
(503) 866-5579

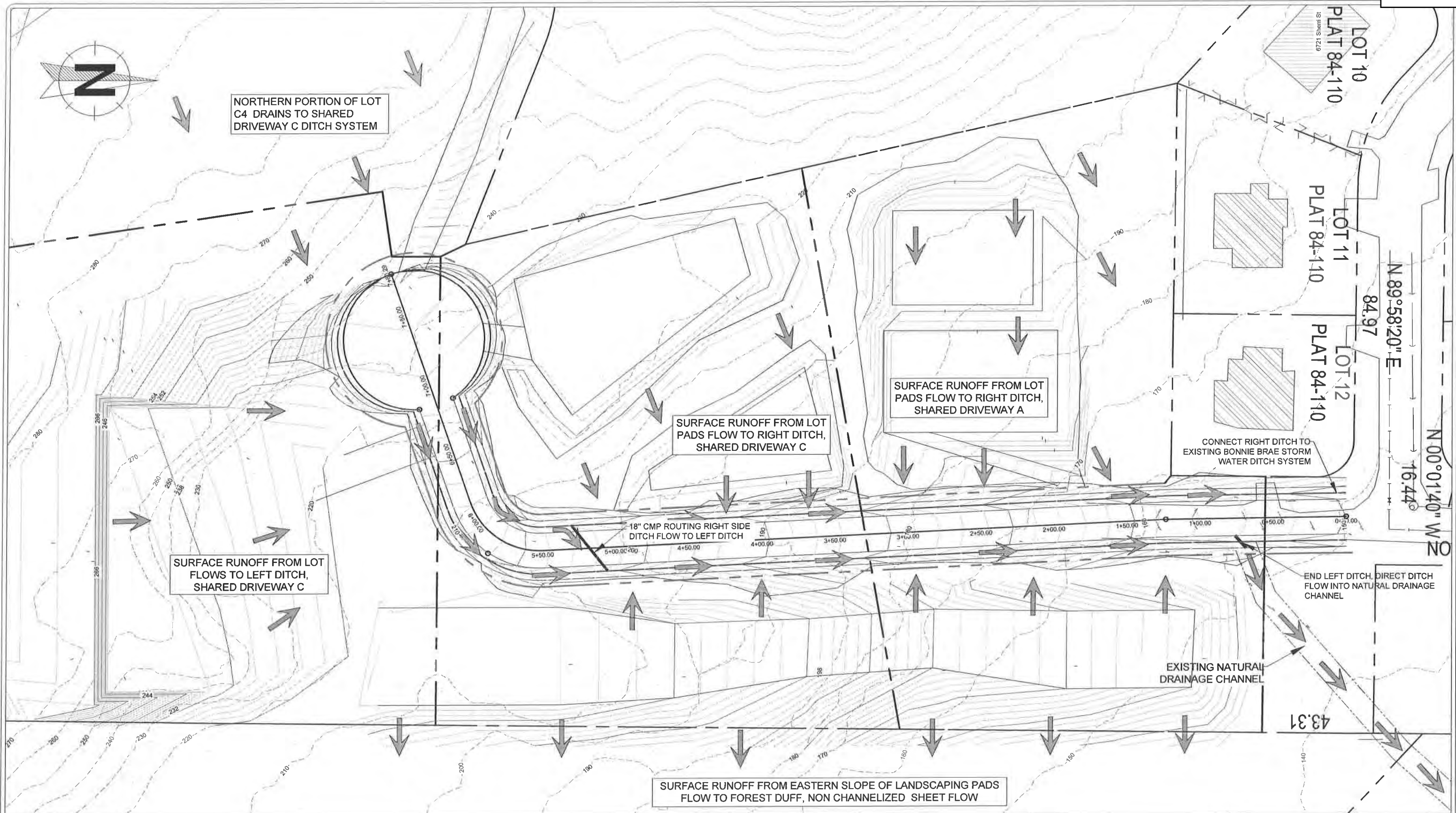
Blacktail Mountain Estates
CONSTRUCTION DRAWINGS

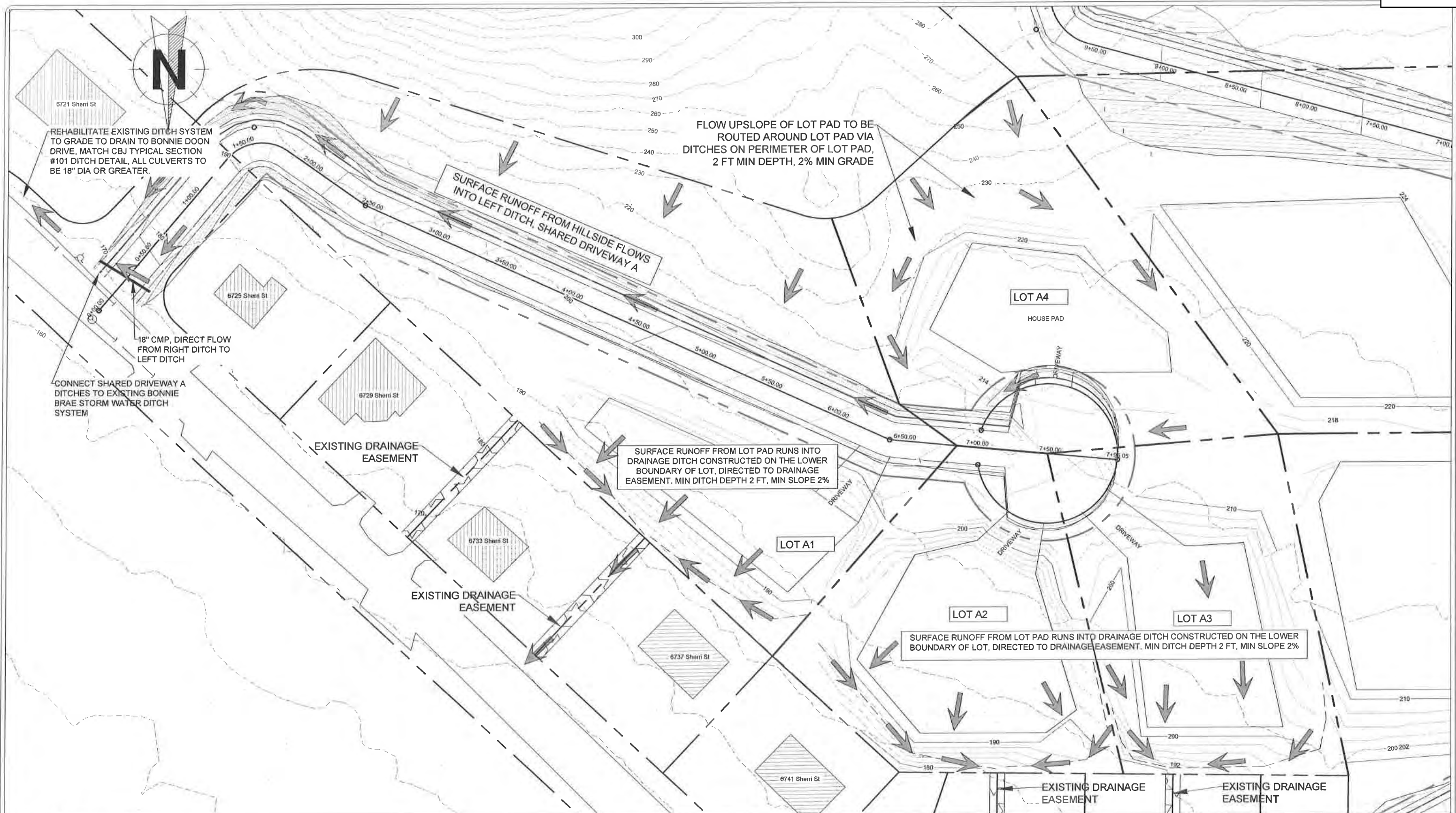
DRIVEWAY TYPICAL SECTIONS
7

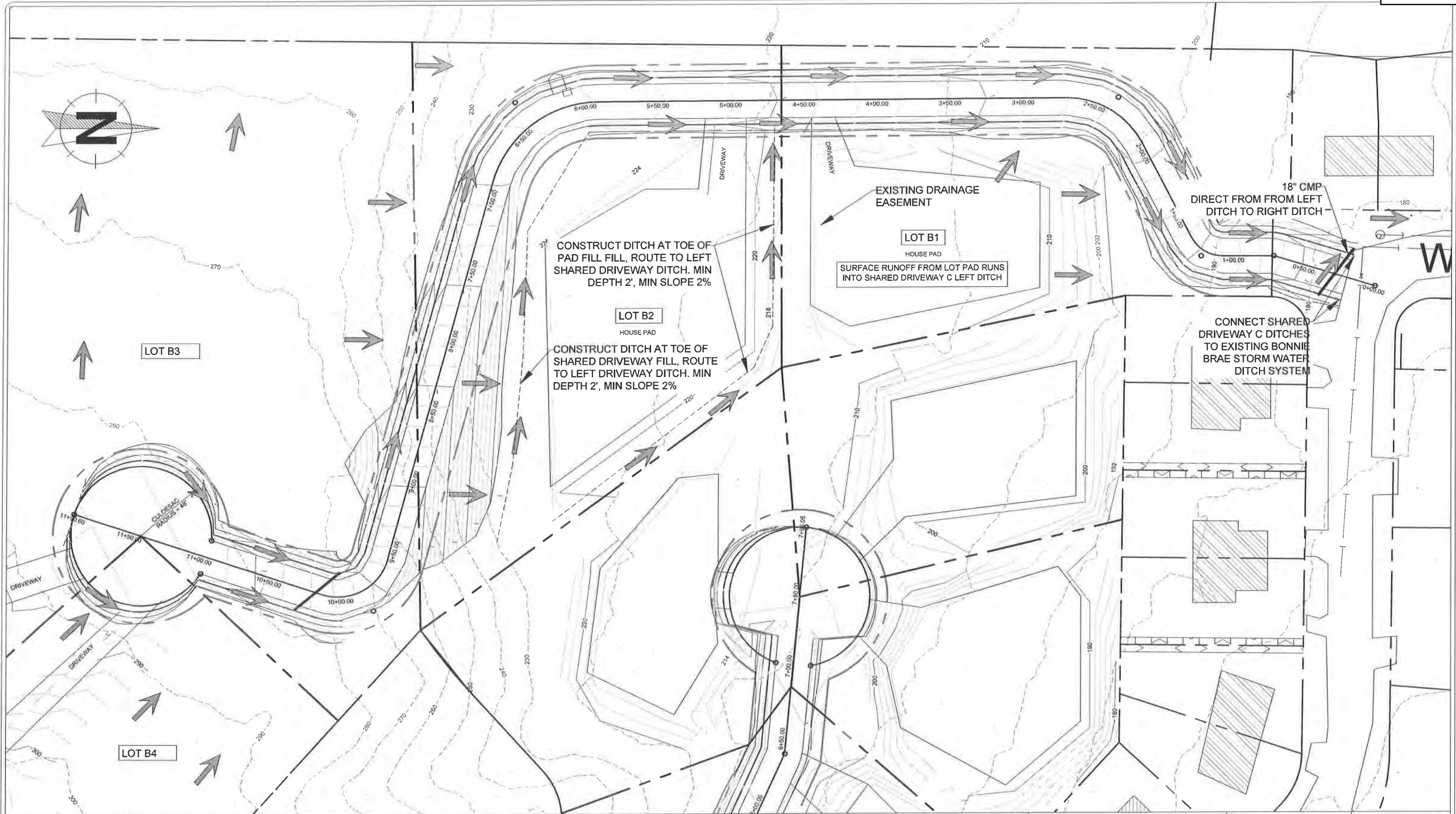
DESIGN COMMISSIONED BY:
CREATIVE DEVELOPMENT, LLC
PO 032076 JUNEAU, AK 99803

CBJ REVIEW
APPROVED: _____
DATE: _____

DRAWN:
9/9/2021
SHEET #
12 / 16







Gabriel Hayden, P.E.
hayden@katabaticeng.com
(503) 866-5579

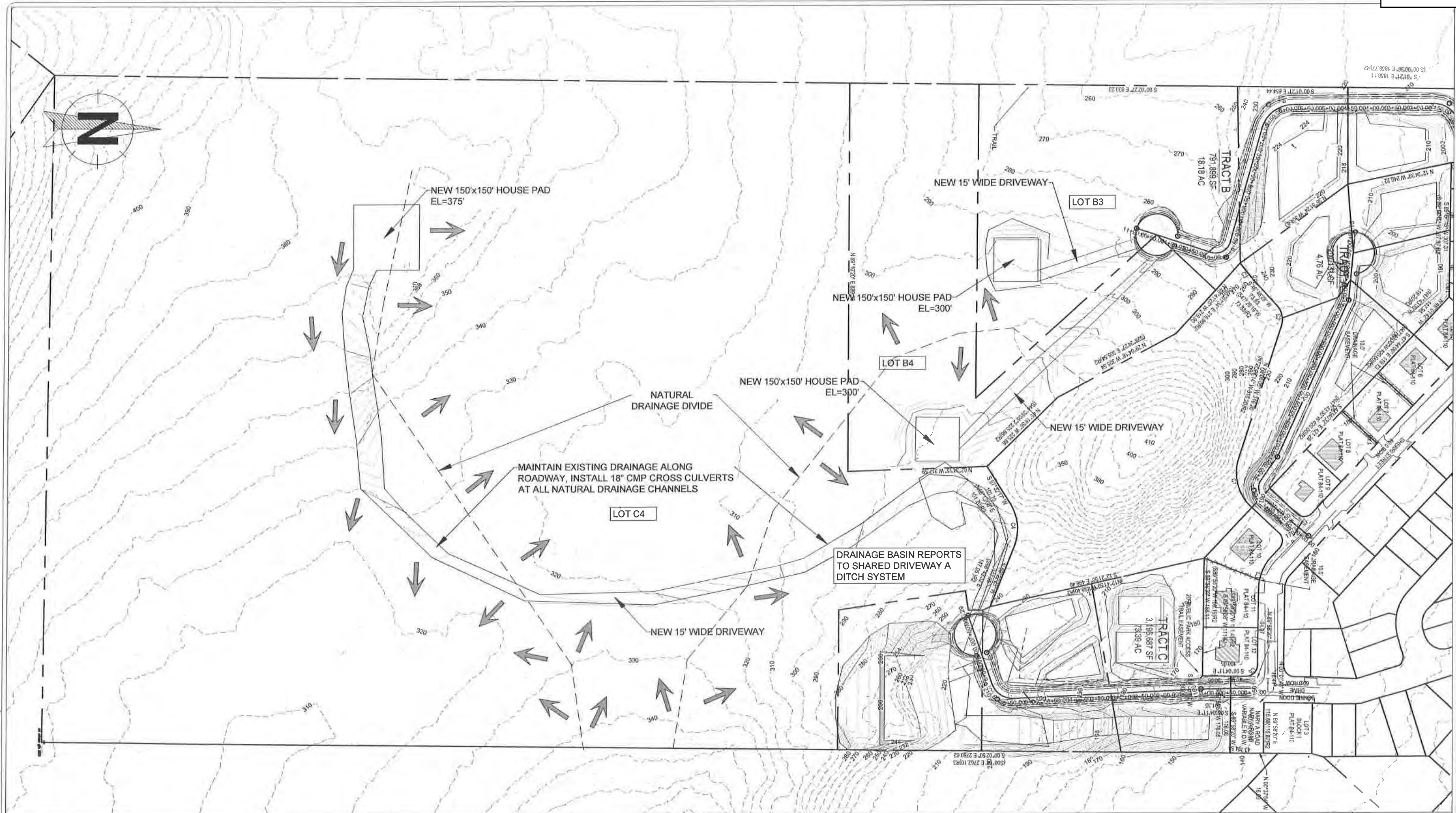
Blacktail Mountain Estates
CONSTRUCTION DRAWINGS

SHARED DRIVEWAY C
DRAINAGE SCHEMATIC

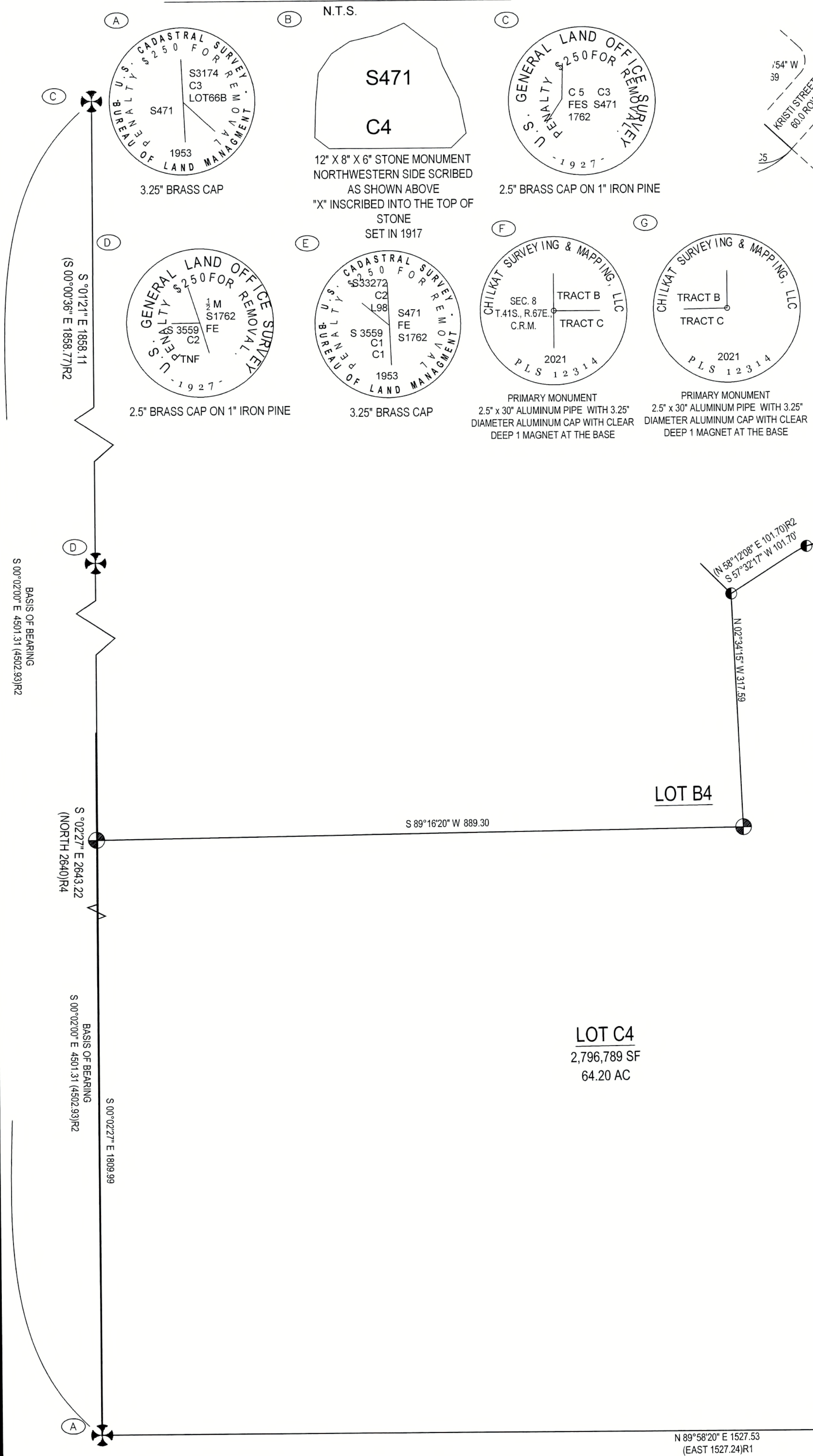
DESIGN COMMISSIONED BY:
CREATIVE DEVELOPMENT, LLC
PO 032076 JUNEAU, AK 99803

CBJ REVIEW
APPROVED: _____
DATE: _____

DRAWN:
9/9/2021
SHEET #
15 / 16



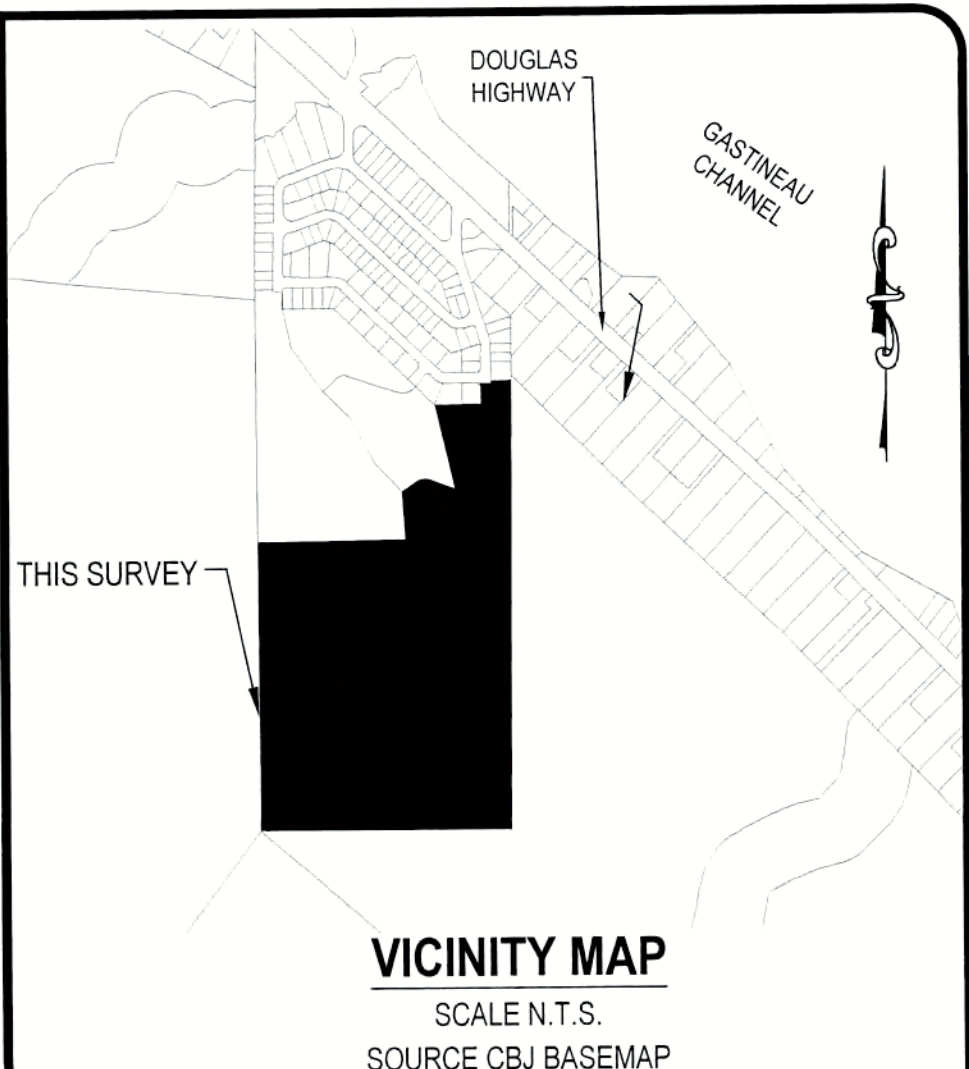
RECOVERED MONUMENT DETAILS



SURVEYOR'S CERTIFICATE

I, JOSHUA IVANISZEK, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, THAT ALL DIMENSIONAL AND RELATIVE BEARINGS ARE CORRECT, AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.

DATED: 28 NOVEMBER 2021



VICINITY MAP

SCALE N.T.S.
SOURCE CBJ BASEMAP

CURVE TABLE

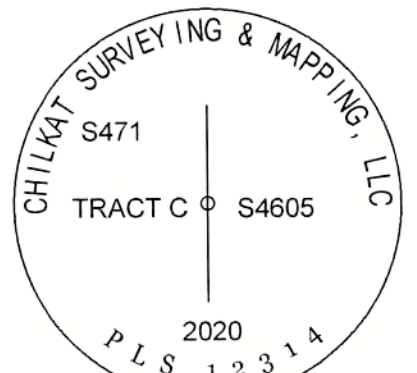
CURVE ARC LENGTH	RADIUS	Δ ANGLE	CHORD BEARING	CHORD LENGTH
C1 138.86	75.00	106°04'59"	S 50°28'15" W	119.86
C2 101.92	110.00	53°05'20"	S 84°04'57" W	98.32
			(S 84°44'48" W)R2	(98.31)R2
C3 154.71	110.00	80°35'09"	S 36°51'04" W	142.27
C4 314.13	60.00	299°58'24"	N 14°28'43" W	60.02
C5 70.32	50.00	80°35'09"	N 36°51'04" E	64.67

LEGEND:

- GLØ PRIMARY MONUMENT RECOVERED
- 12314-S PRIMARY MONUMENT RECOVERED
- 3088S SECONDARY MONUMENT RECOVERED
- 12314-S SECONDARY MONUMENT RECOVERED
- SECONDARY MONUMENT SET THIS SURVEY
- MONUMENT IDENTIFIER
- PROPERTY LINES
- UNSURVEYED LINES
- 10' ACCESS EASEMENT CREATED THIS PLAT
- DRAINAGE EASEMENT PLAT 84-110
- (N 45°11' W)R1 RECORD INFORMATION FROM US SURVEY 471
- (N45°04'15" W)R2 RECORD INFORMATION FROM PLAT No. 84-110
- (S 00°04'E)R3 RECORD INFORMATION FROM US SURVEY 4605
- (N 89°16'20" E)R4 RECORD INFORMATION FROM PLAT No. 2021-32



5/8" x 38" REBAR WITH RED PLASTIC CAP



PRIMARY MONUMENT
2.5" x 30" ALUMINUM PIPE WITH 3.25" DIAMETER ALUMINUM CAP WITH CLEAR DEEP 1 MAGNET AT THE BASE

TYPICAL SET MONUMENT DETAIL

N.T.S.

PLAT OF
BLACKTAIL MOUNTAIN ESTATES C

A SUBDIVISION OF
A FRACTION OF US SURVEY 471
WITHIN THE CITY AND BOROUGH OF JUNEAU, ALASKA
JUNEAU RECORDING DISTRICT

STATE RECORDER'S OFFICE AT ANCHORAGE

CHILKAT SURVEYING & MAPPING, LLC
10654 PORTER LANE JUNEAU, ALASKA 99801
907-957-1908

OWNERS

PETER PEEL CREATIVE DEVELOPMENT, LLC
800 6TH STREET JUNEAU, AK 99801 PO BOX 032076 JUNEAU, ALASKA 99803

SCALE:

1" = 100'

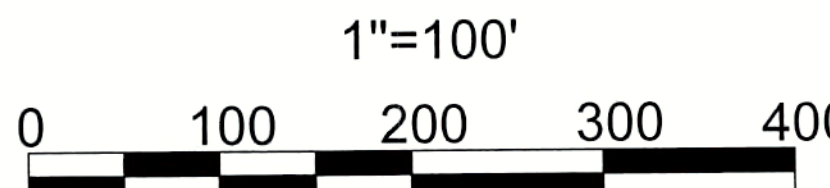
MIP 2021XXXX

DATE:

28 NOVEMBER 2021

SHEET NO.

1 OF 2



NOTES:

- 1) THE ERROR OF CLOSURE OF THIS SURVEY DOES NOT EXCEED 1:10000.
- 2) ALL DISTANCES ARE MEASURED IN U.S. SURVEY FEET.
- 3) RECORD INFORMATION DERIVED FROM THE OFFICIAL PLAT OF US SURVEY 471, DATED 11 NOVEMBER 1915; US SURVEY 1762, DATED 22 SEPTEMBER 1927; US SURVEY 3174, DATED 25 JULY 1953; US SURVEY 3272 DATED 18 AUGUST 1953; US SURVEY 3559 DATED 19 JULY 1961; BONNIE BRAE ESTATES UNIT No. I DATED 10 JULY 1984 PLAT No. 81-47; BONNIE BRAE ESTATES UNIT NO. II DATED 10 JULY 1984 PLAT NO. 84-110; PLAT OF LOT 4A & LOT 4B A SUBDIVISION OF LOT 4, BLOCK H BONNIE BRAE SUBDIVISION II DATED JANUARY 85 PLAT No. 85-18W; AS BUILT PLAT OF LOT 3A & LOT 3B A SUBDIVISION OF LOT 3, BLOCK F BONNIE BRAE SUBDIVISION II DATED JANUARY 85 PLAT NO. 85-30W; LOT 3, INTO LOTS 3-A & 3-B, BLOCK H, BONNIE BRAE ESTATES SUBDIVISION UNIT NO. II DATED 7 MAY 1987 PLAT NO. 87-12; A SUBDIVISION OF LOT 2 INTO LOTS 2-A & 2-B, BLOCK H, BONNIE BRAE ESTATES SUBDIVISION UNIT NO. II DATED 7 MAY 1987 PLAT NO. 87-13; BLACKTAIL MOUNTAIN ESTATES PLAT 2021-32 RECORDED 08 OCTOBER 2021 ON FILE WITHIN THE JUNEAU RECORDING DISTRICT.
- 4) WHERE DIFFERENT FORM MEASURED OR CALCULATED RECORD DIMENSIONS ARE SHOWN IN PARENTHESES.
- 5) DOMESTIC WATER & SANITARY SEWER PROVIDED BY THE CITY AND BOROUGH OF JUNEAU PUBLIC UTILITIES.
- 6) SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
- 7) THE STORMWATER RUNOFF IS ACCEPTABLE PER DRAINAGE PLAN BLACKTAIL MOUNTAIN ESTATES SUBDIVISION APPROVED FOR CONSTRUCTION. ALL REQUIRED BLACKTAIL MOUNTAIN ESTATES SUBDIVISION IMPROVEMENTS, INCLUDING SURFACE DRAINAGE, DRIVEWAYS AND ROADSIDE DRAINAGE SHALL BE CONSTRUCTED PRIOR TO FINAL ACCEPTANCE FOR MAINTENANCE BY CBJ PUBLIC WORKS. MODIFICATIONS TO THE APPROVED PLANS WILL NOT BE ALLOWED UNLESS PERMITTED BY CBJ ENGINEERING PURSUANT TO CHAPTER 19.12 EXCAVATION AND GRADING CODE.
- 8) WETLANDS MAY EXIST ON PARTS OF THE SUBDIVISION. SPECIAL REGULATIONS MAY APPLY.

BASIS OF BEARING

THE BASIS OF BEARING FOR THIS PLAT IS THE RECORD BEARING OF N 89°16'20" E BETWEEN RECOVERED CHILKAT SURVEYING & MAPPING, LLC PRIMARY MONUMENTS, DETAILED THIS PLAT, WHICH THE COMMON BOUNDARY BETWEEN TRACT B AND TRACT C OF BLACKTAIL MOUNTAIN ESTATES PLAT 2021-32, ON FILE AT THE OFFICE OF THE RECORDER, JUNEAU RECORDING DISTRICT, ANCHORAGE, ALASKA.

OWNERSHIP CERTIFICATE:

I HEREBY CERTIFY THAT I AM THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I HEREBY ADOPT THIS PLAT OF SUBDIVISION WITH OUR FREE CONSENT, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE: _____, 2021

PETER PEEL

NOTARY ACKNOWLEDGEMENT:

UNITED STATES OF AMERICA)
)SS
STATE OF ALASKA)

THIS IS TO CERTIFY THAT ON THIS ____ DAY OF _____, 2021, BEFORE ME THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED PETER PEEL TO ME KNOWN TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE ABOVE AND FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY SIGNED AND SEALED THE SAME FREELY AND VOLUNTARY FOR THE USES AND PURPOSES THEREIN MENTIONED AUTHORIZED TO DO SO.

WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

NOTARY PUBLIC FOR ALASKA

MY COMMISSION EXPIRES: _____

COMMUNITY DEVELOPMENT DEPARTMENT PLAT APPROVAL

I HEREBY CERTIFY THAT THE PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU AND IS APPROVED BY THE CITY AND BOROUGH OF JUNEAU, DEPARTMENT OF COMMUNITY DEVELOPMENT, FOR RECORDING IN THE OFFICE OF THE JUNEAU RECORDING DISTRICT, ANCHORAGE, ALASKA.

DATED _____, 2021

JILL MACLEAN, DIRECTOR, COMMUNITY DEVELOPMENT
DEPARTMENT CITY AND BOROUGH OF JUNEAU

ATTEST:

MUNICIPAL CLERK, CITY AND BOROUGH OF JUNEAU

CORPORATE OWNERSHIP CERTIFICATE:

I HEREBY CERTIFY THAT CREATIVE DEVELOPMENT, INC IS THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HERON AND THAT I , AS PRESIDENT, HEREBY ADOPT THIS PLAT OF SUBDIVISION WITH MY FREE CONSENT, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO THE PUBLIC OR PRIVATE USE AS NOTED.

DATE: _____, 2021

BRUCE GRIGGS, PRESIDENT
CREATIVE DEVELOPMENT, INC

NOTARY ACKNOWLEDGEMENT:

UNITED STATES OF AMERICA)
)SS
STATE OF ALASKA)

THIS IS TO CERTIFY THAT ON THIS ____ DAY OF _____, 2021, BEFORE ME THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED BRUCE GRIGGS, TO ME KNOWN AND KNOWN TO ME TO BE THE PERSON HE REPRESENTS HIMSELF TO BE AND THE PRESIDENT OF CREATIVE DEVELOPMENT, INC WHO ACKNOWLEDGED TO ME THAT HE EXECUTED THE FOREGOING INSTRUMENT AS THE FREE ACT AND DEED OF THE SAID CORPORATION FOR THE PURPOSES THEREIN MENTIONED, BEING FULLY AUTHORIZED TO DO SO.

WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

NOTARY PUBLIC FOR ALASKA

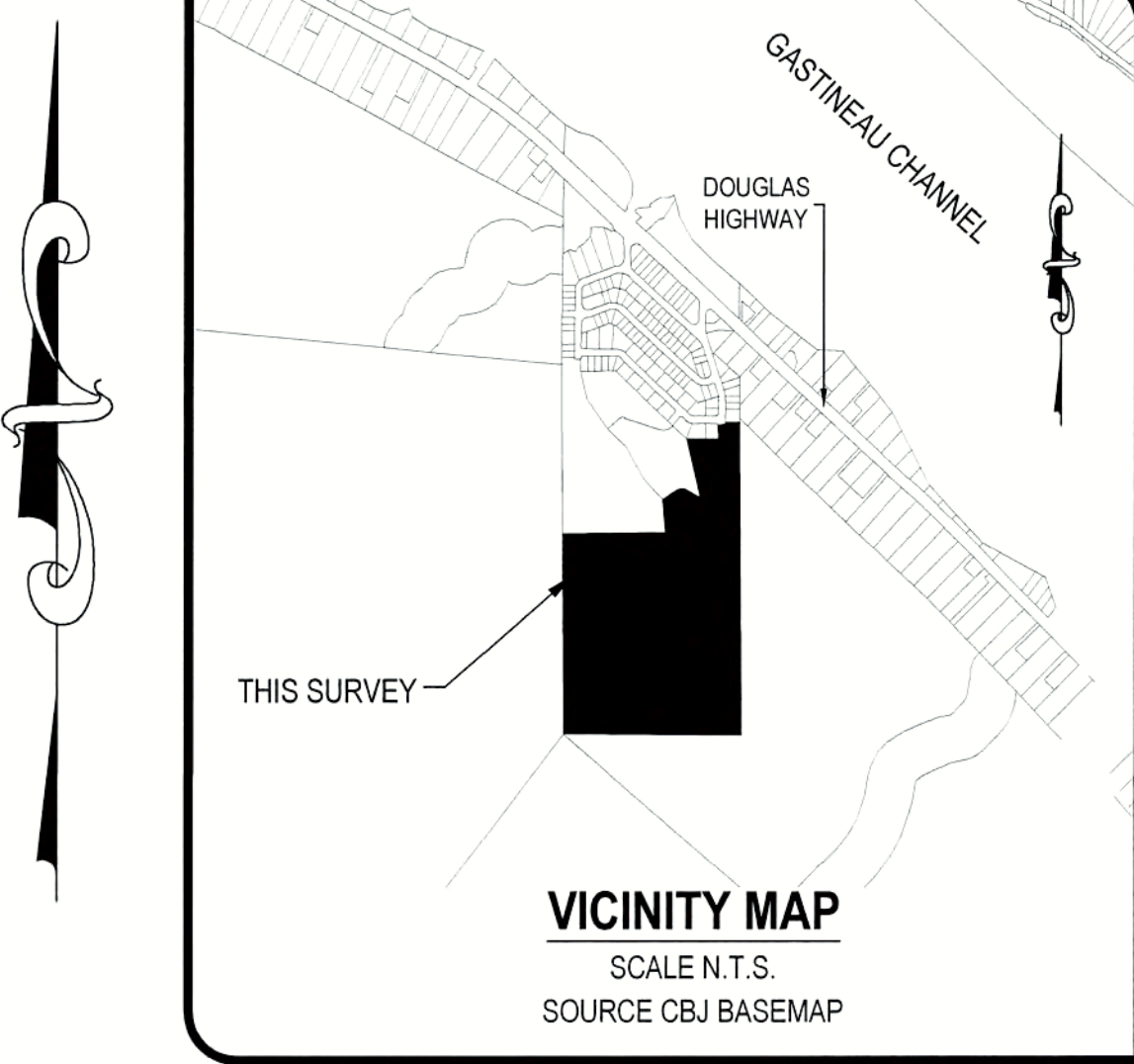
MY COMMISSION EXPIRES: _____



SURVEYOR'S CERTIFICATE

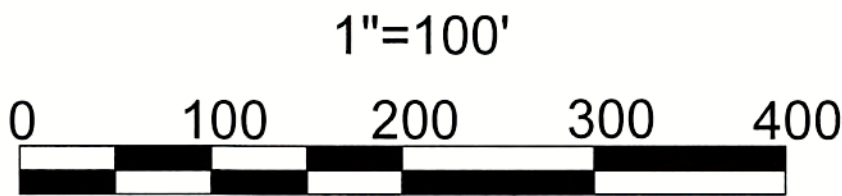
I, JOSHUA IVANISZEK, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, THAT ALL DIMENSIONAL AND RELATIVE BEARINGS ARE CORRECT, AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.

DATED: 28 NOVEMBER 2021



LEGEND:

- GLO PRIMARY MONUMENT RECOVERED
- 12314-S PRIMARY MONUMENT SET THIS SURVEY
- 3088S SECONDARY MONUMENT RECOVERED
- 12314-S SECONDARY MONUMENT RECOVERED
- SECONDARY MONUMENT SET THIS SURVEY
- MONUMENT IDENTIFIER
- PROPERTY LINES
- UNSURVEYED LINES
- 10' ACCESS EASEMENT CREATED THIS PLAT
- DRAINAGE EASEMENT PLAT 84-110
- RECORD INFORMATION FROM US SURVEY 471
- RECORD INFORMATION FROM PLAT No. 84-110
- RECORD INFORMATION FROM US SURVEY 4605



PLAT OF
BLACKTAIL MOUNTAIN ESTATES C
A SUBDIVISION OF
A FRACTION OF US SURVEY 471
WITHIN THE CITY AND BOROUGH OF JUNEAU, ALASKA
JUNEAU RECORDING DISTRICT

STATE RECORDER'S OFFICE AT ANCHORAGE

CHILKAT SURVEYING & MAPPING, LLC
10654 PORTER LANE JUNEAU, ALASKA 99801
907-957-1908

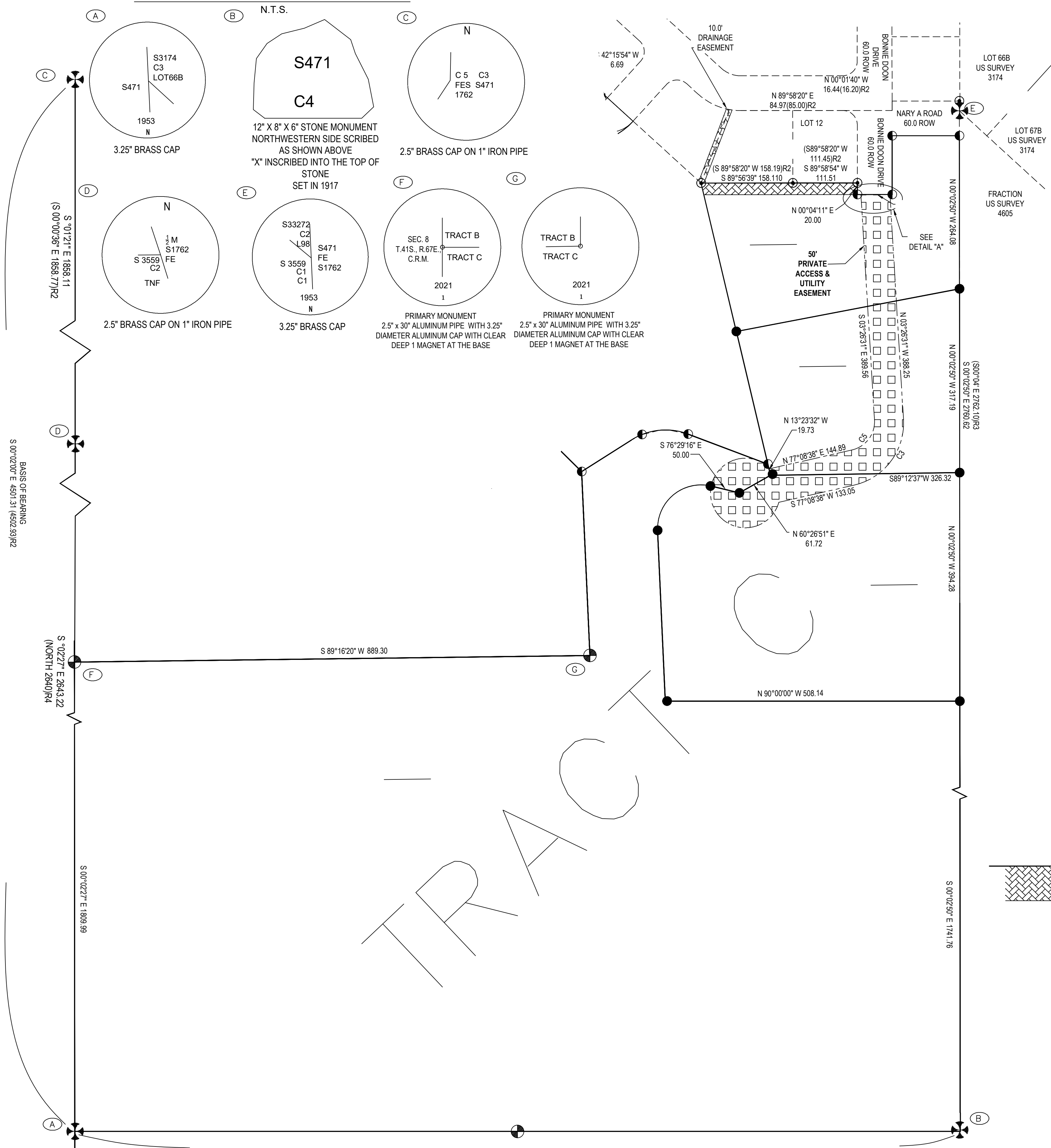
OWNERS
PETER PEEL CREATIVE DEVELOPMENT, LLC
800 6TH STREET JUNEAU, AK 99801 PO BOX 032076 JUNEAU, ALASKA 99803

SCALE:
NTS

DATE:
28 NOVEMBER 2021

SHEET NO.
2 OF 2

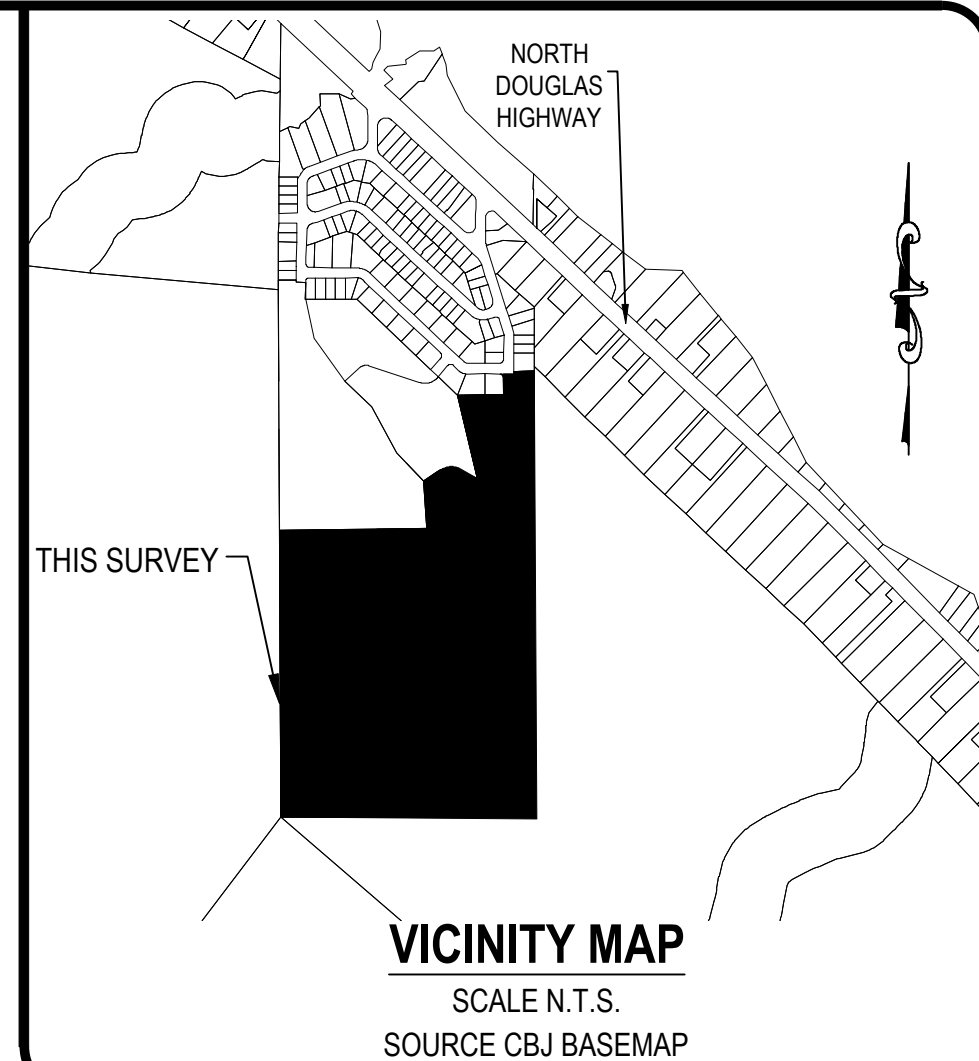
RECOVERED MONUMENT DETAILS



SURVEYOR'S CERTIFICATE

I, JOSHUA IVANISZEK, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, THAT ALL DIMENSIONAL AND RELATIVE BEARINGS ARE CORRECT, AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.

DATED: 216 MARCH 2022



CURVE TABLE

CURVE	ARC LENGTH	RADIUS	Δ ANGLE	CHORD BEARING	CHORD LENGTH
C1	138.86	75.00	106°04'59"	S 50°28'15" W	119.96
C2	101.92	110.00	53°05'20"	S 84°04'57" W (S 84°44'48" W)R2	98.32
C3	154.71	110.00	80°35'09"	S 36°51'04" W	142.27
C4	314.13	60.00	299°58'24"	N 14°28'43" W	60.02
C5	70.32	50.00	80°35'09"	N 36°51'04" E	64.67

J F IVANISZEK
12314S

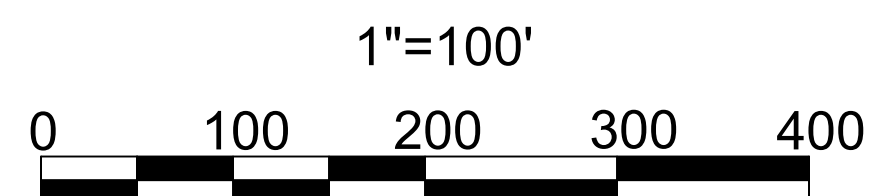
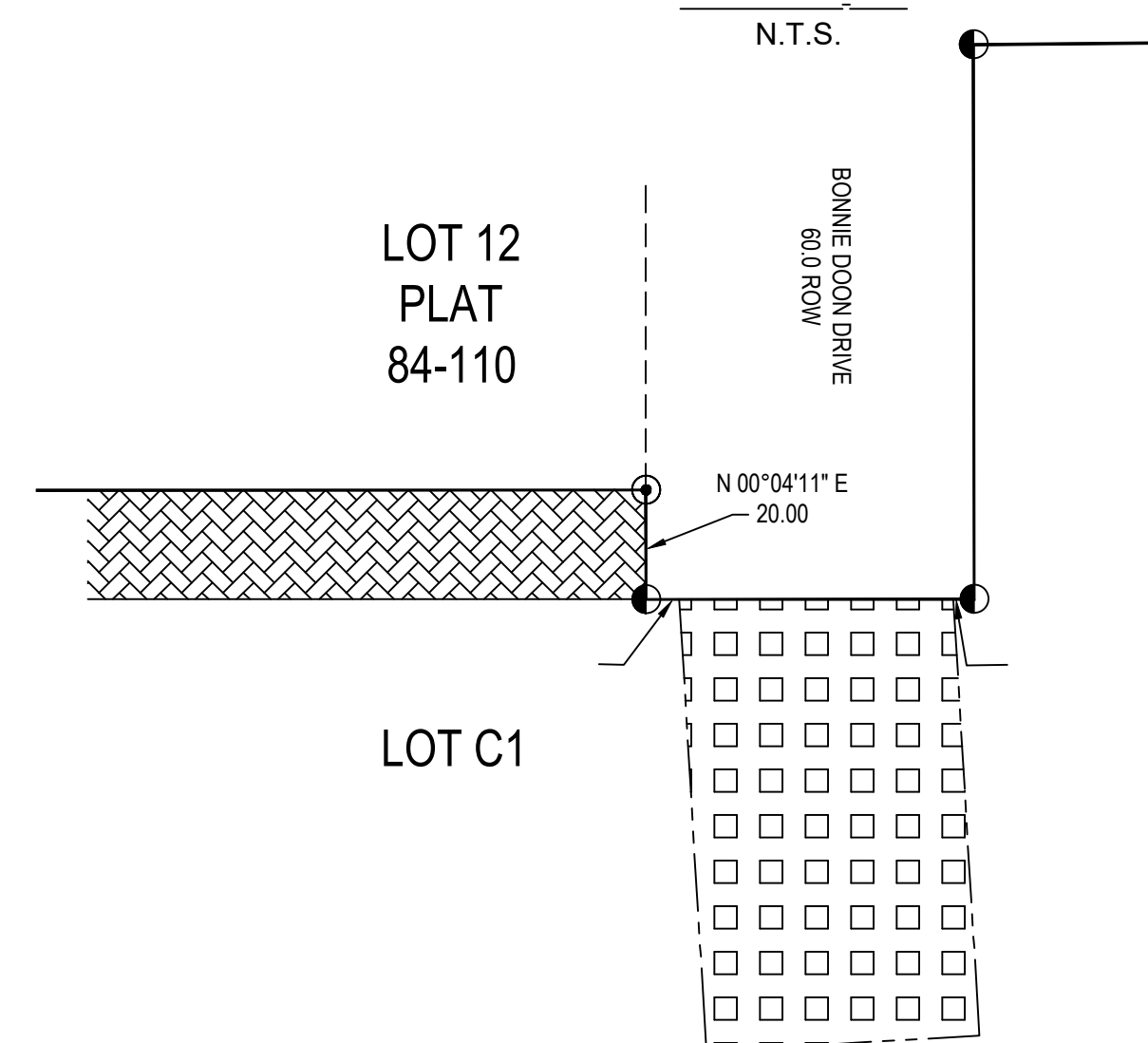
5/8" x 3/8" REBAR WITH
RED PLASTIC CAP

TYPICAL SET MONUMENT DETAIL

N.T.S.

DETAIL "A"

N.T.S.



LEGEND:

- GLO PRIMARY MONUMENT RECOVERED
- 12314-S PRIMARY MONUMENT RECOVERED
- 3088S SECONDARY MONUMENT RECOVERED
- 12314-S SECONDARY MONUMENT RECOVERED
- SECONDARY MONUMENT SET THIS SURVEY
- MONUMENT IDENTIFIER
- PROPERTY LINES
- UNSURVEYED LINES
- PRIVATE ACCESS, DRAINAGE & UTILITY EASEMENT LINES
- PUBLIC 20' ACCESS EASEMENT CREATED THIS PLAT
- PRIVATE 50' ACCESS, DRAINAGE & UTILITY EASEMENT
- DRAINAGE EASEMENT PLAT 84-110
- (N 45°11' W)R1 RECORD INFORMATION FROM US SURVEY 471
- (N45°04'15" W)R2 RECORD INFORMATION FROM PLAT No. 84-110
- (S 00°04'E)R3 RECORD INFORMATION FROM US SURVEY 4605
- (N 89°16'20" E)R4 RECORD INFORMATION FROM PLAT No. 2021-32

PLAT OF
BLACKTAIL MOUNTAIN ESTATES C
A SUBDIVISION OF
BLACKTAIL MOUNTAIN ESTATES
A FRACTION OF US SURVEY 471
WITHIN THE CITY AND BOROUGH OF JUNEAU, ALASKA
JUNEAU RECORDING DISTRICT

STATE RECORDER'S OFFICE AT ANCHORAGE

CHILKAT SURVEYING & MAPPING, LLC
10654 PORTER LANE JUNEAU, ALASKA 99801
907-957-1908

OWNERS

PETER PEEL
800 6TH STREET JUNEAU, AK 99801

CREATIVE DEVELOPMENT, LLC
PO BOX 032076 JUNEAU, ALASKA 99803

SCALE:

1" = 100'

MIP 20210009

DATE:

16 MARCH 2022

SHEET NO.

1 OF 2

NOTES:

- 1) THE ERROR OF CLOSURE OF THIS SURVEY DOES NOT EXCEED 1:10000.
- 2) ALL DISTANCES ARE MEASURED IN U.S. SURVEY FEET.
- 3) RECORD INFORMATION DERIVED FROM THE OFFICIAL PLAT BLACKTAIL MOUNTAIN ESTATES PLAT 2021-32 RECORDED 08 OCTOBER 2021 ON FILE WITHIN THE JUNEAU RECORDING DISTRICT.
- 4) WHERE DIFFERENT FORM MEASURED OR CALCULATED RECORD DIMENSIONS ARE SHOWN IN PARENTHESES.
- 5) DOMESTIC WATER & SANITARY SEWER PROVIDED BY THE CITY AND BOROUGH OF JUNEAU PUBLIC UTILITIES.
- 6) SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
- 7) THE STORMWATER RUNOFF IS ACCEPTABLE PER DRAINAGE PLAN BLACKTAIL MOUNTAIN ESTATES SUBDIVISION APPROVED FOR CONSTRUCTION. ALL REQUIRED BLACKTAIL MOUNTAIN ESTATES SUBDIVISION IMPROVEMENTS, INCLUDING SURFACE DRAINAGE, DRIVEWAYS AND ROADSIDE DRAINAGE SHALL BE CONSTRUCTED PRIOR TO FINAL ACCEPTANCE FOR MAINTENANCE BY CBJ PUBLIC WORKS. MODIFICATIONS TO THE APPROVED PLANS WILL NOT BE ALLOWED UNLESS PERMITTED BY CBJ ENGINEERING PURSUANT TO CHAPTER 19.12 EXCAVATION AND GRADING CODE.
- 8) WETLANDS MAY EXIST ON PARTS OF THE SUBDIVISION. SPECIAL REGULATIONS MAY APPLY.
- 9) ACCESS SUBJECT TO CBJ 49.35 ARTICLE II DIVISION 2 'PRIVATE SHARED ACCESS' REQUIREMENTS. ACCESS TO C1, C2, C3, AND C4 SHALL BE RESTRICTED TO A SINGLE DRIVEWAY IN THE SHARED ACCESS EASEMENT. USE OF THE ACCESS EASEMENT DELINEATED ON THIS PLAT IS SUBJECT TO THE REQUIREMENTS SET FORTH IN THE COMMON DRIVEWAY ACCESS, UTILITY AND MAINTENANCE AGREEMENT.

BASIS OF BEARING

THE BASIS OF BEARING FOR THIS PLAT IS THE RECORD BEARING OF S 00°02'00" W BETWEEN FOUND G.L.O. BRASS CAP MONUMENTS, DETAILED THIS PLAT, WHICH MARK CORNER 3 US SURVEY 471 AND CORNER 1, US SURVEY 3559, AS DEPICTED UPON BONNIE BRAE UNIT II PLAT 84-110 DATED 23 JULY 1984, ON FILE AT THE OFFICE OF THE RECORDER, JUNEAU RECORDING DISTRICT, ANCHORAGE, ALASKA.

OWNERSHIP CERTIFICATE:

I HEREBY CERTIFY THAT I AM THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I HEREBY ADOPT THIS PLAT OF SUBDIVISION WITH OUR FREE CONSENT, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE: _____, 2022

PETER PEEL

NOTARY ACKNOWLEDGEMENT:

UNITED STATES OF AMERICA)
)SS
STATE OF ALASKA)

THIS IS TO CERTIFY THAT ON THIS ____ DAY OF _____, 2022, BEFORE ME THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED PETER PEEL TO ME KNOWN TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE ABOVE AND FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY SIGNED AND SEALED THE SAME FREELY AND VOLUNTARY FOR THE USES AND PURPOSES THEREIN MENTIONED AUTHORIZED TO DO SO.

WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

NOTARY PUBLIC FOR ALASKA

MY COMMISSION EXPIRES: _____

PLANNING COMMISSION PLAT APPROVAL

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF THE CITY AND BOROUGH OF JUNEAU, ALASKA AND THAT SAID PLAT HAS BEEN APPROVED BY THE PLANNING COMMISSION BY PLAT RESOLUTION NO. _____, DATED _____, 2022, AND THAT THE PLAT SHOWN HEREON HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE DISTRICT RECORDING OFFICE, ANCHORAGE, ALASKA.

_____, 2022

CHAIRMAN OF THE PLANNING COMMISSION
CITY AND BOROUGH OF JUNEAU

ATTEST:

MUNICIPAL CLERK
CITY AND BOROUGH OF JUNEAU

CORPORATE OWNERSHIP CERTIFICATE:

I HEREBY CERTIFY THAT CREATIVE DEVELOPMENT, INC IS THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HERON AND THAT I, AS PRESIDENT, HEREBY ADOPT THIS PLAT OF SUBDIVISION WITH MY FREE CONSENT, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO THE PUBLIC OR PRIVATE USE AS NOTED.

DATE: _____, 2022

BRUCE GRIGGS, PRESIDENT
CREATIVE DEVELOPMENT, INC

NOTARY ACKNOWLEDGEMENT:

UNITED STATES OF AMERICA)
)
)SS
STATE OF ALASKA)

THIS IS TO CERTIFY THAT ON THIS ____ DAY OF _____, 2022, BEFORE ME THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED BRUCE GRIGGS, TO ME KNOWN AND KNOWN TO ME TO BE THE PERSON HE REPRESENTS HIMSELF TO BE AND THE PRESIDENT OF CREATIVE DEVELOPMENT, INC WHO ACKNOWLEDGED TO ME THAT HE EXECUTED THE FOREGOING INSTRUMENT AS THE FREE ACT AND DEED OF THE SAID CORPORATION FOR THE PURPOSES THEREIN MENTIONED, BEING FULLY AUTHORIZED TO DO SO.

WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

NOTARY PUBLIC FOR ALASKA

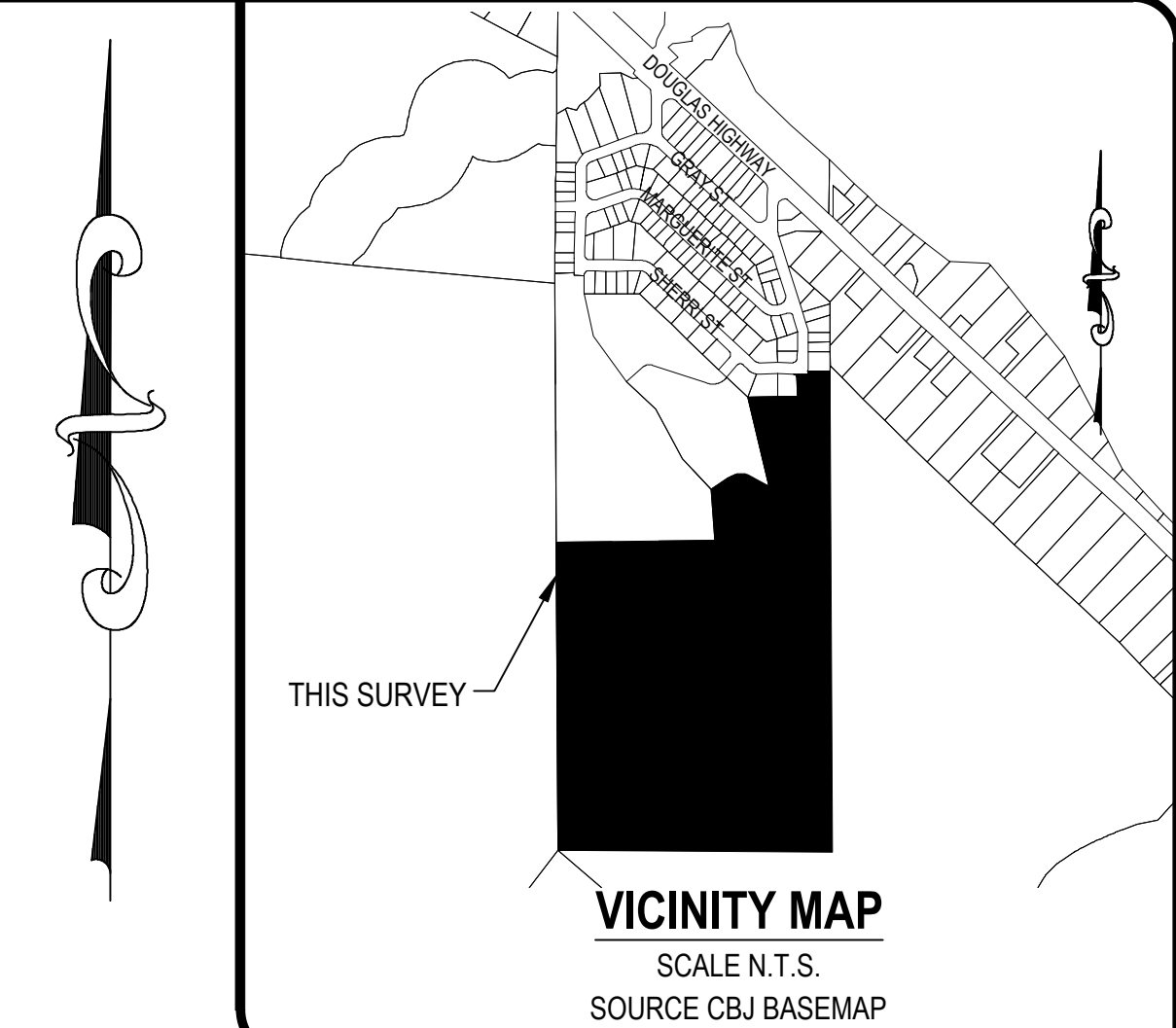
MY COMMISSION EXPIRES:



SURVEYOR'S CERTIFICATE

I, JOSHUA IVANISZEK, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, THAT ALL DIMENSIONAL AND RELATIVE BEARINGS ARE CORRECT, AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.

DATED: 16 MARCH 2022



PLAT OF
BLACKTAIL MOUNTAIN ESTATES C
A SUBDIVISION OF
BLACKTAIL MOUNTAIN ESTATES
A FRACTION OF US SURVEY 471
WITHIN THE CITY AND BOROUGH OF JUNEAU, ALASKA
JUNEAU RECORDING DISTRICT

STATE RECORDER'S OFFICE AT ANCHORAGE

CHILKAT SURVEYING & MAPPING, LLC
10654 PORTER LANE JUNEAU, ALASKA 99801
907-957-1908

OWNERS
PETER PEEL CREATIVE DEVELOPMENT, LLC
800 6TH STREET JUNEAU, AK 99801 PO BOX 032076 JUNEAU, ALASKA 99803

SCALE:
N.T.S.

MIP 20210009

DATE:
16 MARCH 2022

SHEET NO.
2 OF 2



DIRECTOR'S REVIEW STAFF REPORT
MINOR SUBDIVISION
MIP2020 0004 / MIF2021 0011

(907) 586-0715
 CDD_Admin@juneau.org
 www.juneau.org/CDD
 155 S. Seward Street • Juneau, AK 99801

DATE: October 8, 2021
TO: Jill Maclean, Director, AICP
BY: Irene Gallion, Senior Planner

PROPOSAL: Applicant requests a minor subdivision for platting one tract into three tracts: Tract A approximately 4.76 acres, off of Kristi Street; Tract B approximately 18.18 acres, off of Wee Burn Drive; Tract C approximately 73.37 acres, off of Bonnie Doon Drive.

STAFF RECOMMENDATION: Approval

KEY CONSIDERATIONS FOR REVIEW:

- Bonnie Doon Drive right-of-way extension provides access for 6713 Sherri Street.
- Pedestrian access to park provided via Bonnie Doon Drive extension, then via 20 foot easement along the south lot line of 6713 and 6717 Sherri Street.
- Construction and drainage plans for proposed improvements required:
 - 2" water to each tract
 - 4" sewer to each tract
 - 20 foot wide unpaved right-of-way extensions for Bonnie Doon Drive and Kristi Street.

**PLANNING COMMISSION
REVIEW REQUIRED:**

Planning Commission review is not required for this permit.

ASSEMBLY REVIEW REQUIRED:

Assembly review is not required for this permit.

STANDARD OF REVIEW:

A minor subdivision permit is required for all subdivisions resulting in 13 or fewer lots.

Code Provisions:

- 49.15.401
- 49.15.410
- 49.15.411
- 49.15.412
- 49.25.400
- 49.35.240
- 49.35.250
- 49.40.300
- 49.80

GENERAL INFORMATION	
Property Owner	Bonnie Brae Partnership
Applicant	Peter Peel/Creative Development, Inc.
Property Address	None assigned
Legal Description	USS 471 FR
Parcel Number	6D0801110010
Zoning	D3
Lot Size	See "Background" below for details
Water/Sewer	CBJ
Access	Bonnie Doon Drive, Kristi Street, Wee Burn Drive
Existing Land Use	Vacant
Associated Applications	BLD20190507 Grading Permit

SITE FEATURES AND ZONING



SURROUNDING ZONING AND LAND USES

North (D3)	Residential
South (RR)	CBJ Land
East (RR)	CBJ Land
West (Zone)	CBJ/Federal Land

SITE FEATURES

Anadromous	No
Flood Zone	No
Hazard	No
Hillside	Possible requirement with future development
Wetlands	Yes
Parking District	No
Historic District	No
Overlay Districts	RV Area

BACKGROUND INFORMATION

Project Description – This proposal is to subdivide one tract into three tracts (**Attachment A, B**):

Tract	Square Feet	Acres
A	207,131	4.76
B	791,899	18.18
C	3,196,115	73.37
TOTAL	4,195,145	96.31

Note that the Assessor's database size for the un-subdivided tract differs from the totals above: 3,964,656 square feet, or 91.0160 acres. The information provided by the Applicant was surveyed and found to be accurate. The Assessor's data is based on a fraction that was not platted. As the Bonnie Doon neighborhoods were developed, the plats did not show remaining acreage in the original tract.

The Applicant was required to provide a sketch plat (**Attachment C**) [CBJ 49.15.410(b)], showing reasonable full build-out. The Director and Applicant both acknowledge that the Applicant, at this time, does not intend to develop the tracts to this level.

The three proposed tracts provide opportunity for a range of development options. This un-subdivided tract could support approximately 182 single family homes if subdivided with minimum lot sizes, or could be developed with less density. Because of the range of development possibilities, the Director agreed with the Applicant that, for each tract, the Applicant will construct or bond for:

- 2 water
- 4 inch sewer
- 20 foot wide unpaved road

A construction and drainage plan was reviewed and accepted for proposed constructed improvements associated with this subdivision. Subsequent subdivision may require additional improvements.

Background – The original plat is a homestead claim, USS Survey No. 471. The Bonnie Brae Estates – Unit No. I was subdivided in 1981. The subdivision was originally built with a private water and sewer system. Both systems became troublesome.

The Alaska Department of Environmental Conservation (ADEC) had approved the private sewer system. After construction ADEC conceded that there would be a breakdown in the private sewer system that would result in pollution into the channel. Repairs to the private system were costly, and the ADEC would not permit individual septic systems due to the size of the lots. To forestall failure and channel pollution, the Assembly voted on April 3, 1981, to enter a contract in lieu of special assessment to add Bonnie Brae Estates Subdivision to the new sewer system being extended out North Douglas.

Bonnie Brae Estates Unit No II was subdivided in 1984. At their September 12, 1988 meeting the Assembly voted to loan Bonnie Brae Estates four thousand dollars to connect to the city water system. This was increased to ten thousand dollars at the November 21, 1988 meeting.

Neither subdivision states the remaining area in the homestead. The Assessor's Database indicates a parcel size of 3,964,656 square feet (91.0160 acres). The Applicant's surveyor suspects the south boundary of the tract is 114 south of the CBJ GIS polygon, and the tract size is 4,195,145 square feet. The CBJ GIS Analyst supports the surveyor's reasoning. The Bonnie Brae Subdivision was carved out of the original homestead lot without reference to remaining area of the homestead lot. The original lot line was 5,270 feet long, and 114 feet is a reasonable error for GIS (approximately two percent). The GIS Analyst used old Alaska Department of Transportation and Public Facilities surveys to check and bear out the surveyor's numbers. The GIS Analyst estimates 96 acres, or 4,191,000 square feet.

In 2011, the Assessor's Office changed the area for this tract from 98 to 91 acres. The reason for the change cannot be found in documentation.

The table below summarizes relevant history for the tract and proposed development.

Item	Summary
PAC2018 0065	Pre-application conference for three tract subdivision, by James Wellman and Associates.
BLD2019 0507	Grading permit.
PAC2019 0062	Pre-application conference for three private shared access subdivisions.
SMP2020 0001	Application for three private shared-access subdivisions. Unable to proceed due to code conflicts.
MIP2020 0004	Minor subdivision into three tracts.

ANALYSIS

Dimensional Standards – The proposed tracts as shown on the preliminary plat meet or exceed the dimensional standards listed in CBJ 49.25.400. The CBJ 49.25.400 Dimensional Standards are listed below.

Standard	Requirement	Proposed Tract A	Proposed Tract B	Proposed Tract C
Minimum Lot Size, square feet	12,000	207,131	791,899	3,196,115
Minimum Lot Width, feet	100	100+	100+	100+
Minimum Lot Depth, feet	100	100+	100+	100+
Minimum Setbacks, feet	Front – 25 Rear – 25 Side – 10 Street Side – 17	<i>All tracts anticipated to be further developed. Scope of development depends on Planning Commission review of the project.</i>		

Density – The table below demonstrates the possible number of dwelling units each tract could accommodate with additional future subdivision of the three tracts created with this proposed plat. This estimate is based on a 12,000 square foot lot with a single-family home, or an 18,000 square foot lot with a duplex. The last column shows how many lots are shown for each tract on the sketch plat.

Lot Number	Square Feet	Maximum Number of Dwelling Units		Number of Single-Family lots on sketch plat
		Single-Family	Duplex	
A	207,131	17	12	7
B	791,899	66	44	36, three of those are bungalow
C	3,196,115	266	178	139

Bungalow Lots – While bungalow lots are proposed in the sketch plat, the sketch plat illustrates a level of development that the Applicant, at this time, is not choosing to pursue. If proposed, an analysis of bungalow lot requirements would be required in a subsequent subdivision.

Wetlands – This tract was included in the most recent wetlands mapping efforts undertaken by the City and Borough of Juneau (**Attachment A, page 30**). Seven wetland assessment areas were mapped for a total of 72 acres. Subsequent development may require a wetlands fill permit from the United States Army Corps of Engineers. A plat note has been required:

WETLANDS MAY EXIST ON PARTS OF THE SUBDIVISION. SPECIAL REGULATIONS MAY APPLY

Hazards – The tract is not in a mass wasting or avalanche hazard area, nor a flood zone area.

Habitat – There are no anadromous streams on this tract. The Nelson Creek and Falls Creek stream protection corridors are 100 and 1,200 feet away from the tract at their closest points, respectively.

PUBLIC AND PRIVATE IMPROVEMENTS

Item	Summary	Plat Note/Conditions
49.35.210 Street Improvement Standards	The tracts require that 20 foot unpaved roads be stubbed to each tract. These roads were bonded for on September 29, 2021.	
49.35.210(i)(4) Roadway Construction Standards Waivers	Waivers are not requested at this point in development.	
49.35.310 Water Improvements	A two-inch water main is required to be constructed or bonded for each lot.	ANY SUBSEQUENT SUBDIVISION OF TRACT A, B OR C SHALL REQUIRE FULL BUILD-OUT CONSTRUCTION AND DRAINAGE PLANS.
49.35.410 Sewer Improvements	A four-inch water main is required to be constructed or bonded for each lot.	ANY SUBSEQUENT SUBDIVISION OF TRACT A, B OR C SHALL REQUIRE FULL BUILD-OUT CONSTRUCTION AND DRAINAGE PLANS.
49.35.510 Drainage	A drainage plan for proposed improvements was required and approved. Subsequent subdivision and development may require additional plans.	ANY SUBSEQUENT SUBDIVISION OF TRACT A, B OR C SHALL REQUIRE FULL BUILD-OUT CONSTRUCTION AND DRAINAGE PLANS. THE STORMWATER RUNOFF IS ACCEPTABLE PER DRAINAGE PLAN BLACKTAIL MOUNTAIN ESTATES SUBDIVISION APPROVED FOR CONSTRUCTION. ALL REQUIRED BLACKTAIL MOUNTAIN ESTATES SUBDIVISION IMPROVEMENTS, INCLUDING SURFACE DRAINAGE, DRIVEWAYS AND ROADSIDE DRAINAGE SHALL BE CONSTRUCTED PRIOR TO FINAL ACCEPTANCE FOR MAINTENANCE BY CBJ PUBLIC WORKS. MODIFICATIONS OT THE APPROVED PLANS WILL NOT BE ALLOWED UNLESS PERMITTED BY CBJ ENGINEERING PURSUANT TO CHAPTER 19.12 EXCAVATION AND GRADING CODE.
49.35.610 Non-motorized Access	There are two trails to consider: (1) Pedestrian access to the neighborhood park will be through the Bonnie Doon Drive extension and a 20 foot public park access trail easement that runs along the south lot line of 6713 and 6717 Sherri Street. (2) The trail from the Marguerite Street stub to the Treadwell Ditch Trail encroaches onto the west part of the lot. The applicant is in discussions with the Forest Service on relocation of the trail on to city and	

Item	Summary	Plat Note/Conditions
	federal land to accommodate subsequent development. This proposal does not include trail relocation.	

Traffic – According to CBJ 49.40.300(a)(2) a traffic impact analysis is not required. Unless further subdivided, this three tract subdivision could have two dwellings per lot, for a total of six.

Use	Metric	Trips Generated	Total Trips
Single-Family Residence	Each	9.52	57.12
Total ADTs:			57

Institute of Transportation Engineers Trip Generation Manual, 9th Edition, Volume 2.

Access – Per 49.35.250(a) staff has determined that the primary access to the subdivision is Wee Burn Drive. The applicant has demonstrated that each lot will have direct and practical access to a public right-of-way through the frontage of the lot, as required by 49.35.250(b).

Tract Number	Primary access
A	Kristi Street
B	Wee Burn Drive
C	Bonnie Doon Drive

For this three tract subdivision, the Director has waived construction of Narry-a-Road (access to CBJ land) under CBJ 49.35.240(i)(2).

Platting requirements –

- The Applicant has paid taxes for 2021 (**Attachment D**)
- The Applicant has provided a bond for improvements (**Attachment E**)

FIRE CODE IMPROVEMENTS

There were no comments from Capital City Fire and Rescue.

AGENCY REVIEW

CBJ agencies were involved in iterative review of the proposed subdivision. CDD conducted an agency review comment period on the final draft plat between April 20, 2021 and April 30, 2021. There were no comments.

CBJ code requires developers to provide easements to maintain access to existing trails (49.35.630). The 20 foot wide park access easement resulted from discussions with the CBJ Parks and Recreation Department regarding this requirement. The 20 foot easement facilitates maintenance equipment access to the park, if needed.

PUBLIC COMMENTS

The public has been involved in iterative review of the proposed subdivision. CDD conducted a public comment period on the final draft plat between April 20, 2021 and May 31, 2021. Public notice was mailed to abutting owners. There were no public comments submitted as a result of this outreach.

The applicant has accommodated previously-expressed public concerns by extending the Bonnie Doon Drive stub about 120 feet. This extension:

- Provides continued access established for 6713 Sherri Street.
- Provides access to the 20 foot park easement that runs along the south lot line of 6713 and 6717 Sherri Street, providing:
 - Ongoing access to the neighborhood park.
 - CBJ Parks and Recreation Department access.
 - Emergency response access.

FINAL PLAT FINDINGS

Per CBJ 49.15.401(f) the Director makes the following findings on the proposed development:

1. Does the final plat meet the criteria set forth in CBJ 49.15.412?

Finding: Yes. The final plat meets the requirements of 49.15.412.

2. Has the applicant complied with any conditions or plat notes required by the director in the notice of decision approving the preliminary plat?

Finding: Yes. The applicant has complied with all conditions of the preliminary plat.

3. Has the applicant constructed all required improvements or provided a financial guarantee in accordance with CBJ 49.55.010

Finding: Yes. The applicant has provided a financial guarantee on September 29, 2021.

RECOMMENDATION

Staff recommends the Director APPROVE the requested Final Plat permit. The permit would allow subdivision of one tract into three tracts: Tract A approximately 4.76 acres, off of Kristi Street. Tract B approximately 18.18 acres, off of Wee Burn Drive. Tract C approximately 73.37 acres, off of Bonnie Doon Drive.

STAFF REPORT ATTACHMENTS

Item	Description
Attachment A	Application Packet
Attachment B	Final Plat, electronic copy*
Attachment C	Sketch Plant
Attachment D	Certificate of Taxes Paid, electronic copy*
Attachment E	Bonding paperwork, electronic copy

* Hard copy originals are required for recording and have been provided to the Director.



DEVELOPMENT PERMIT APPLICATION

NOTE: Development Permit Application forms must accompany all other Community Development Department land use applications.

To be completed by Applicant	PROPERTY LOCATION		
	Physical Address NORTH DOUGLAS, ABOVE THE EXISTING Bonnie Brae Sub		
	Legal Description (if Subdivision, Survey, Block, Tract, Lot) A fraction of U.S. Survey 471		
	Parcel Number(s) # 6P080110010		
	<input type="checkbox"/> This property located in the downtown historic district <input type="checkbox"/> This property located in a mapped hazard area, if so, which _____		
	LANDOWNER/LESSEE		
	Property Owner PEEL/CREATIVE DEV. INC.	Contact Person BRUCE GRIGGS	
	Mailing Address PO Box 32076 Juneau, AK. 99808	Phone Number(s) 907 723-7851	
	E-mail Address brucegriggs@hotmail.com		
	LANDOWNER/LESSEE CONSENT Required for Planning Permits, not needed on Building/ Engineering Permits		
I am (we are) the owner(s) or lessee(s) of the property subject to this application and I (we) consent as follows: A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission. B. I (we) grant permission for officials and employees of the City and Borough of Juneau to inspect my property as needed for purposes of this application.			
X <u>BRUCE GRIGGS</u> <u>2/18/20</u> Landowner/Lessee Signature Date			
X _____ Landowner/Lessee Signature Date			
NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours and will attempt to contact the landowner in addition to the formal consent given above. Further, members of the Planning Commission may visit the property before the scheduled public hearing date.			
APPLICANT If the same as OWNER, write "SAME"			
Applicant SAME		Contact Person	
Mailing Address		Phone Number(s)	
E-mail Address			
X _____ Applicant's Signature Date of Application			

DEPARTMENT USE ONLY BELOW THIS LINE

RECEIVED

FEB 18 2020

Permit Center/CDD

This form and all documents associated with it are public record once submitted.

Attachment B - Notice of Decision SMP21-09

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

Intake Initials

LEC

85

Case Number

118200000004

Date Received

2/18/20



SUBDIVISION AND DEVELOPMENT PLAN APPLICATION

See subdivision hand-outs for more information regarding the permitting process and the materials required for a complete application.

NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.

PROJECT SUMMARY

Number of Existing Parcels 1

Total Land Area 91 acres

Number of Resulting Parcels 3

HAS THE PARCEL BEEN CREATED BY A MINOR SUBDIVISION IN THE PRECEDING 24 MONTHS

☒ NO

☐ YES Case Number _____

TYPE OF SUBDIVISION OR PLATTING APPROVAL REQUESTED

MINOR DEVELOPMENT

(changing or creating 13 or fewer lots)

- ☒ Preliminary Plat (MIP)
☐ Final Plat (MIF)
☐ Panhandle Subdivision
☐ Accretion Survey
☐ Boundary Adjustment
☐ Lot Consolidation (SLC)
☐ Bungalow Lot Subdivision
☐ Common Wall/Zero Lot Subdivision
☐ Other _____

MAJOR DEVELOPMENT

(changing or creating 14 or more lots)

- ☐ Preliminary Plat (SMP)
☐ Final Plat (SMF)
☐ Preliminary Development Plan – PUD (PDP)
☐ Final Development Plan – PUD (PDF) Preliminary
☐ Development Plan – ARS (ARP) Final
☐ Development Plan – ARS (ARF)
☐ Bungalow Lot Subdivision
☐ Common Wall/Zero Lot Subdivision
☐ Other _____

ALL REQUIRED DOCUMENTS ATTACHED

☒ Pre-application conference notes

☒ Narrative including:

- ☐ Legal description(s) of property to be subdivided
☐ Existing structures on the land
☐ Zoning district
☐ Density
☐ Access
☐ Current and proposed use of any structures
☐ Utilities available
☐ Unique characteristics of the land or structure(s)

☒ Preliminary Plat checklist

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

SUBDIVISION/PLATTING FEES	Fees	Check No.	Receipt	Date
Application Fees	\$ <u>475.00</u>			
Admin. of Guarantee	\$ _____			
Adjustment	\$ _____			
Total Fee	\$ <u>475.00</u>			

For assistance filling out this form, contact the Permit Center at 586-0770.

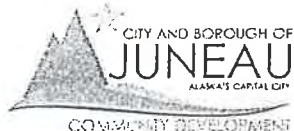
INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

Case Number

MIP 2020-0004

Date Received

2/18/20



PRELIMINARY PLAT CHECK LIST

Name of Proposed Subdivision: Blacktail Mountain Estates

The following items must be included with the initial submittal of a Preliminary Plat:

- | | |
|--|--|
| <input checked="" type="checkbox"/> Application, filled out completely | <input type="checkbox"/> Application fee (see fee schedule) |
| <input checked="" type="checkbox"/> Project Narrative | <input checked="" type="checkbox"/> Five (5) – 24" by 36" Copies |
| <input checked="" type="checkbox"/> Pre-application Conference Report | <input type="checkbox"/> Lot Closure Report |
| <input checked="" type="checkbox"/> Disclosure of all known environmental hazards and any proposed mitigation measures recommended in the applicable environmental document. | |
| <input checked="" type="checkbox"/> Preliminary Plat Checklist: I have reviewed the checklist and all submittals for completeness and accuracy. | |

Bruce Griggs
Applicant or Surveyor - Signature

2/3/2020
Date

Bruce Griggs
Applicant or Surveyor - Print Name

Permit Center/CDD

FEB 18 2020

RECEIVED

GENERAL REQUIREMENTS

- ☒ The preliminary plat shall be prepared by a professional land surveyor, registered in the State of Alaska
- ☒ The preliminary plat shall be submitted on 22 by 34 inch sheets. The director of engineering and public works may approve alternate sheet sizes
- ☒ The preliminary plat shall be drawn with black ink to a scale of one-inch to 100 feet or less, or other suitable scale approved by the director of engineering and public works
- ☒ The preliminary plat shall be oriented with north toward the top of the sheet.
- ☒ A vicinity map shall be located in the upper right-hand corner of the sheet
- ☒ The vicinity map shall be oriented in the same direction as the plat
- ☒ A suitable north arrow shall be shown for the plat and vicinity map
- ☒ All line work and lettering must be of professional quality, and all line widths and lettering sizes must be of such size that all information can be clearly shown without overlap or confusion

GRAPHIC REQUIREMENTS - A preliminary plat shall contain the following information:

Title block - An enclosed title block in the lower right-hand corner containing the following information:

- ☐ The proposed name of the subdivision
- ☐ The legal description of the parcel to be subdivided including U.S. Survey, U.S. Mineral Survey, A.T.S. number or section, township, and range number, as applicable
- ☐ "City and Borough of Juneau, Alaska"
- ☐ "State Recorder's Office at Juneau"
- ☐ The date the preliminary plat was prepared and revised
- ☐ The horizontal scale
- ☐ The name and address of the engineer of record
- ☐ The name, address, and telephone number of the surveyor preparing the preliminary plat

Preliminary Plat Checklist

Updated 1/2018

Page 3 of 5

- ☐ All proposed and existing easements shall have sufficient dimensions shown to determine their location on the ground
- ☐ Existing trails or pathways within the subdivision and within 100 feet of the subdivision boundary, including the width of any associated rights-of way or easements
- ☐ Proposed trails or pathways and widths of their rights-of-way
- ☐ If the plat submitted covers only a part of the tract under the control of the applicant, a sketch plat of the prospective street system of the unplatted part shall be submitted
- ☐ The location of any existing or proposed driveways/curb cuts that access or are proposed to access any existing or proposed street

Topographic information:

- ☐ For slopes of less than five percent, show one foot contour lines and include spot elevations at all breaks in grade, along all drainage channels or swales, and at selected points not more than 100 feet apart in all directions
- ☐ For slopes between five percent and ten percent, show two foot contour lines
- ☐ For slopes greater than ten percent, show five foot contour lines
- ☐ Every fifth elevation contour shall be distinctive and clearly labeled
- ☐ Dashed lines shall represent existing contours
- ☐ Mapping shall include any significant features which can materially affect the design of the subdivision, including, but not limited to, structures, fences, walls, and utility poles
- ☐ If irregular slopes or special features are present, additional contour information may be required by the director of engineering and public works for planning or construction purposes. Additional required information may include projecting the topography of the site after grading has taken place, showing such items as:
 - ☐ Pad elevations and drainage patterns for each lot
 - ☐ Tops and toes of all manufactured slopes, including daylight lines
 - ☐ Existing and proposed retaining wall locations and heights
- ☐ For subdivisions located in hillside areas with slopes greater than eighteen percent, additional requirements apply in accordance with CBJ 49.70, Article II

Sewer and water:

- ☐ Existing sewer and water mains within the tract with pipe sizes and grades
- ☐ A draft plan for proposed water and sewer lines showing the size, approximate slope, and connection points with elevations for the purpose of determining the feasibility of construction

Multisheet plats:

- ☐ When a plat requires more than one sheet, exclusive of a certificate sheet, an index sheet shall be included. When a plat requires more than three sheets, a cover sheet shall also be included, showing the subdivision title, a key map, and all certificates. Each additional sheet shall include the following data:
 - ☐ North arrow
 - ☐ Legend
 - ☐ Surveyor's seal and signature
 - ☐ Title block
 - ☐ Sheet _____ of _____
 - ☐ Scale
 - ☐ All plat notes
 - ☐ Vicinity map

Preliminary Plat Checklist
 Updated 1/2018
 Page 5 of 5

- ☐ A report by a registered engineer or geologist that clearly supports the legal and physical availability of adequate water. Methods for proof of water availability and the standards for quantity are listed in CBJ 49.35, Article III
- ☐ A copy of the State application for a permit to appropriate water in the quantity required to meet the subdivisions demands
- ☐ This does not apply to remote subdivisions unless: the subdivider of the remote subdivision chooses to provide potable water, a public water system is available and the subdivision falls within the criteria outlined in CBJ 49.35.310(a), or the subdivision has four or fewer lots.
- ☐ The director for minor subdivisions, and the planning commission for major subdivisions, may, for good cause, temporarily waive the requirement to provide a water report and proof of water, and condition the approval of the preliminary plat upon the provision of both documents as part of the final plat application and approval process.

Erosion control:

- ☐ A report explaining the method by which the applicant proposes to control erosion and manage runoff, and potential impacts to adjacent properties or water bodies. The report shall include a plan for preservation of ground cover in areas where runoff and resulting erosion need to be minimized.

Traffic study:

- ☐ A traffic impact analysis may be required with the preliminary plat in accordance with CBJ 49.40.300.

Shadow plats:

- ☐ For subdivisions of five or more lots in transition areas, a shadow plat shall be submitted according to CBJ 49.70.710. The shadow plat shall consist of a sketch superimposed on the proposed subdivision layout. This sketch shall reflect any future resubdivision of the parcels into smaller lots consistent with the higher density and the lot size allowed under the transition zoning.

BLACKTAIL MOUNTAIN ESTATES.

Blacktail mountain estates is located in north Douglas above the existing Bonnie bear subdivision. It is a 91 acre parcel that was originally planned as phase 3 of the original Bonnie Brae subdivision, but was never built.

The previously proposed phase 3 consisted of 69 residential lots with size and density typical of D3 zoning. Our proposal considerably reduces lot density while dramatically increasing lot size.

What we are proposing is a 12 lot subdivision with varying size lots. The new lots would be larger than those previously proposed in phase 3 and the lots that currently exist in the Bonnie Brae neighborhood. The 12 lots will be accessed using three private shared driveways servicing 4 lots each. This access configuration was chosen because we believe the impact to the existing neighborhood will be more acceptable to our neighbors in Bonnie Brae, and will offer the market a unique new opportunity for housing.

RECEIVED

FEB 18 2020

Permit Center/CDD



(907) 586-0715
 CDD_Admin@juneau.org
 www.juneau.org/CDD
 155 S. Seward Street • Juneau, AK 99801

Peel Subdivision above Bonnie Brae

Case Number: PAC2019 0062

Applicant: Bruce Griggs, Peter Peel, Gabe Hayden

Property Owner: Peter Peel

Property Address: Not Assigned

Parcel Code Number: 6D0801110010

Site Size: 3,964,656 Square Feet (91.0160 Acres)

Zoning: D3

Existing Land Use: Vacant

RECEIVED

FEB 04 2020

PERMIT CENTER

RECEIVED

FEB 18 2020

Permit Center/CDD

Conference Date: September 11, 2019

Report Issued: September 18, 2019

List of Attendees

Note: Copies of the Pre-Application Conference Report will be emailed, instead of mailed, to participants who have provided their email address below.

Name	Title	Email address
Bruce Griggs Gabe Hayden Peter Peel	Applicants	Brucegriggs@hotmail.com Hayden@katabaticeng.com Pp Peel84@gmail.com
Laurel Christian Amy Liu	Planning	Laurel.Christian@juneau.org Amy.Liu@juneau.org
Autumn Sapp	General Engineering	Autumn.Sapp@juneau.org
Kyle Paw	Permits	Kyle.Paw@juneau.org

Pre-Application Conference Final Report

Conference Summary

Questions/issues/agreements identified at the conference that weren't identified in the attached reports.

The following is a list of issues, comments and proposed actions, and requested technical submittal items that were discussed at the pre-application conference.

Planning Division

1. **Zoning** – D3 zone district. Minimum lot size is 12,000 sq. ft. Minimum lot width and depth are 100' each. Preliminary plat requirements are found in CBJ 49.15.411. Final plat requirements are found in CBJ 49.15.412.
2. **Setbacks** – D3 setbacks: 25' front and rear; 10' side; 17' street side. Parcel is surrounded on the east, west, and south by Rural Reserve zoning. When two different zoning districts touch, the greater of the two setbacks applies on the common property line. Rural reserve zoning district setbacks: 25' front and rear; 15' side; and 17' street side.
 - a. The front yard setback is measured from the shared access.
3. **Height** – 35' permissible uses; 25' accessory uses
4. **Access** – There are 3 undeveloped ROW's that provide frontage to the subject parcel, Bonnie Doon Dr., Sherri St., and Wee Burn Dr.
5. **Shared Access Subdivision Requirements** – A parcel can only create 1 shared access subdivision. The applicant must first subdivide the large tract into 3 tracts. The 3 large tracts can then be subdivided into the shared access lots. See CBJ 49.35.260 for full details of Shared Access Subdivisions. Some key points are summarized below:
 - a. The shared access easement shall be 50' wide. This width will not be waived due to the large size of the parcels and potential for further subdivision.
 - b. Applicant must submit a preliminary plan and profile of the proposed shared access and a proposed access easement, drainage, and utility agreement for review by CBJ.
 - c. The shared access can only serve 4 or fewer lots. A lot may not have frontage on two shared access easements (Lot B3 has frontage on 2 shared accesses).
 - i. Each lot is limited to a single-family dwelling and accessory apartment. A plat note will be required.
 - d. Shared access is prohibited if the subdivision abuts a parcel that does not have alternative and practical frontage on a publically maintained right-of-way.
 - i. USS 4605 FR to the east of the subject parcel does not have frontage on a ROW. The developer will be required to provide access to the subject parcel through a ROW which can be accepted for public maintenance by CBJ. The developer may apply for a roadway construction standards waiver through CBJ 49.35.240(i) (4).
 - ii. The access requirements for the CBJ parkland parcel may be waived in accordance with CBJ 49.15.422.
 - e. The portion of the shared access in the ROW or the first 20 feet from the edge of the public roadway shall be paved, whichever length is greater.
 - f. All lots must meet the minimum lot size and dimensions for the zone district excluding the shared access easement.

Pre-Application Conference Final Report

- g. Once the preliminary plat is approved, the shared access must be constructed. The applicant cannot bond for this requirement.
- 6. **Parking & Circulation**— A single-family dwelling requires 2 parking spaces, an accessory apartment requires 1 parking space.
- 7. **Traffic** – A single-family dwelling generates 9.52 average daily trips (ADTs) and an accessory apartment generates 6.65 ADTs. The subdivision would be limited to 12 single-family dwellings, each could have one accessory apartment. The ADTs for 12 single-family dwellings and 12 accessory apartment is 194. The requirement for a Traffic Impact Analysis (TIA) is not triggered (CBJ 49.40.300(a) (2)).
- 8. **Lot Coverage** – 35% permissible or conditional uses
- 9. **Vegetative Coverage** – 20% minimum
- 10. **Wetlands** – There are wetlands on the southern portion of the subject parcel. A Wetlands delineation is required.
- 11. **Habitat** – (Eagle – remind applicant to check with Feds; Riparian, etc.) – No known at this time.
- 12. **Plat or Covenant Restrictions** – Easements should be shown on the preliminary plat.
- 13. **Public Use Lots** – If land is set aside for open space, natural area park, conservation lots, or similar uses, the Director (minor subdivision) or commission (major subdivision) may waive dimensional standards and access/frontage requirements for the public use lot. See CBJ 49.15.422 for full list of requirements.

Building Division

- 14. **Building**
- 15. **Outstanding Permits** -

General Engineering/Public Works

- 16. **Engineering** –
 - a. **Driveway:** Driveway grades in excess of 14% are beyond what is allowed by code. For driveway grades steeper than 14%, the driveway will need to be designed and inspected by an Alaskan licensed civil engineer at cost to the developer. Please do note the fire code restricts grade to 10%. For shared access the driveway must be installed and accepted prior to the recording of the final plat.
 - b. **Easements:** Site plan (plat) shall include all existing (and proposed) easements for drainage, utility lines including plumbing lines, access, snow storage, trash (dumpster) storage, or any other shared use that requires crossing the property line.
 - c. **Agreements:** A maintenance and hold harmless (of CBJ) agreement will need to be drafted, signed, and recorded for all shared infrastructure for the development, e.g. driveway, water, sewer, etc.
- 17. **Drainage** – Submit a drainage plan indicating how drainage from the proposed subdivision will join an established drainage channel or structures. Easements must be provided on the plat for all established drainage ways or any proposed drainage ways that cross any current or future abutting property lines.
- 18. **Utilities** – (water, power, sewer, etc.) - A minimum of 1" water service and 4" sewer service will need to be installed to the property line of each newly created lot within one-year of recording of the plat. At the time of preliminary plat submittal, please submit a construction plan with for the new utilities. The plan needs to include pipe locations, sizing, for both water and sewer and grades for sewer to indicate appropriate fall will be achieved. The construction plan can be shown on an existing as-built drawing that also includes existing features such as structures and other existing utilities.

Pre-Application Conference Final Report

The following permits will need to be obtained to provide utilities to the newly created lot:

- a. **CBJ right-of-way (ROW) permit**- Once the construction plan for the utilities is approved, CBJ will create the ROW permit. The permit will allow the tapping of the water and sewer mains, water and sewer service installation, and road restoration within the right-of-way. Inspection fees, refundable bond amount, and conditions will be determined after review of the proposed construction plan. The extension of the utilities within the property will require further permitting and fee assessments. This process is done separately from the subdivision and typically in conjunction with the building permit application.
- b. **Shared sewer** - Depending on your development plan you may request to share the existing sewer line. To determine if this will be feasible it is advised to speak with an Alaskan licensed mechanical engineer to determine if the existing pipe will provide the capacity required. This option would require the point of tie in to be within the private property. The shared line would need to be eased and a maintenance agreement will need to be recorded by you that would run with the properties involved.

Fire Marshal

19. Fire Items/Access –

- a. Minimum width for access road is 20 feet drivable surface.
- b. The material can be anything that when compacted can support a minimum of 75,000 pounds vehicle weight. Due to the potential length of road, there is going to be a required apparatus access turn around, unless, every structure built on the road has a sprinkler system.
- c. There will also have to be additional fire hydrants added. We would need to know where the nearest hydrant is to base measurements from. For residential the hydrant spacing is no more than 500 feet apart with a minimum fire flow requirement of 1,500 gallons per minute depending on the construction material used to build.
- d. A hammerhead turn around can be used if desired, where ever it is placed, there has to be signage stating it is for emergency use only and no parking allowed.
- e. By fire code, maximum grade is 10% unless approved by fire code official. Depending on how steep the grade is, it may or may not be allowed to be increased, we would need to know what the range is. (The grade can be allowed to be steeper if again, all structures built on road have sprinkler system installed.)

Other Applicable Agency Review

20. DOT&PF / Alcohol Beverage Control Board / Army Corps / DEC (wastewater) / DNR / USF&W / F&G / FAA / Corrections...
- 21.

List of required applications

Based upon the information submitted for pre-application review, the following list of applications must be submitted in order for the project to receive a thorough and speedy review.

1. Subdivision Application
2. Development Permit Application

Additional Submittal Requirements

Pre-Application Conference Final Report

Submittal of additional information, given the specifics of the development proposal and site, are listed below. These items will be required in order for the application to be determined Counter Complete.

1. A copy of this pre-application conference report.
2. Preliminary Plat Checklist
3. Wetlands Delineation
4. Preliminary plan and profile of the proposed shared access and a proposed access easement, drainage, and utility agreement

Fee Estimates

The preliminary plan review fees listed below can be found in the CBJ code section 49.85.

Based upon the project plan submitted for pre-application review, staff has attempted to provide an accurate estimate for the permits and permit fees which will be triggered by your proposal.

1. Minor Subdivision Fees
 - a. \$400.00 plus \$25 for each resulting lot
2. Major Subdivision Fees
 - a. Preliminary Plat - \$110.00 per lot
 - b. Final Plat - \$70.00 per lot
 - c. Public Notice Sign Fee - \$50 plus \$100 refundable deposit
3. ROW Permit (work within the ROW):
 - a. \$10 permit fee
 - b. Inspection fees - \$60 per inspection trip or hour, will be determined at time of construction plan review
 - c. Refundable bond – will be determined at time of construction plan review. Can be paid in the form of cash, check, surety, or conveyance.
4. Bond fee – dependent on type of bond payment.

For informational handouts with submittal requirements for development applications, please visit our website at www.juneau.org/cdd.

Submit your Completed Application

You must submit your application(s) in person with payment made to:

City & Borough of Juneau, Permit Center
 230 South Franklin Street
 Fourth Floor Marine View Center
 Juneau, AK 99801

Phone: (907) 586-0715
 Fax: (907) 586-4529
 Web: www.juneau.org/cdd

Blasting

1. Explosives shall not be stored on site, except that which is immediately necessary for the next blast.
2. The development shall not generate sound levels which exceed 65 dBa at the property line during the day or 55 dBa at night, per CBJ§49.15.330(g)(11).
3. All blasting will be managed according to CBJ Standard Specifications for Civil Engineering Projects and Subdivision Improvements, December 2003, Section 12090, Blasting Controls and associated erratum. These controls assure a qualified Blast Control Specialist according to detailed procedures and requirements conducts blasting.
4. Blasting operations shall be conducted by an Alaska Department of Labor certified powder-man and all operations shall conform to MSHA, ATF and OSHA standards as applicable and all other applicable standards.
5. All blasting operations shall be conducted during the daylight hours of operation.
6. Warning signs with the time and date of the blast shall be posted 24-hours prior to blasting on either side of the pit on ~~Montana Creek Road~~, BONNIE BRAE SUBDIVISION ENTRANCE.
7. 24-hour notice shall be provided to the Juneau Flight Service Station and the Police and Fire Departments.
8. Public Service Announcements shall be broadcast on local radio 24-hours prior to blasting.
9. Three air horn blasts shall be made 5 minutes prior to blasting.
10. No Blasting operations shall be permitted on Saturdays and Sunday or official Federal and State holidays.

RECEIVED
FEB 10 2020 LEC
Permit Center/CDD

ORICA DESIGN BRIEF

Section J, Item 2.



Project
Bonnie brae

Rev. No.

Page

Subject

Pre Blast Pland

Prepared

Date

Checked

Date

1 ← 44' AVE → 1
XXXX
SK Boost 5K's Booster

1575	1510	1485	1460	1475	1470	1452	1477	1502	1527	1552	1577	
1451	1426	1401	1376	1351	1326	1306	1393	1418	1443	1468	1493	
1367	1342	1317	1292	1267	1242	1224	1309	1334	1359	1384	1409	
1293	1258	1233	1208	1183	1158	1200	1229	1250	1275	1300	1325	
1199	1174	1149	1124	1099	1074	1116	1141	1166	1191	1216	1241	
1115	1090	1065	1040	1015	990	1032	1057	1082	1107	1132	1157	
1031	1006	981	956	931	906	948	973	998	1023	1048	1073	
947	922	897	872	847	822	864	889	914	939	964	989	
863	838	813	788	763	738	780	805	830	855	880	905	
779	754	729	704	679	654	696	721	746	771	796	821	
695	670	645	620	595	570	612	637	662	687	712	737	
611	586	561	536	511	486	528	553	578	603	628	653	
527	502	477	452	427	402	444	469	494	519	544	469	
443	418	393	368	343	318	360	385	410	435	460	485	
359	334	309	284	259	234	276	301	326	351	376	401	
150	125	100	75	50	25	67	92	117	142	167	192	

SIZE

8'x8' O+S

3 1/2" Hole Dim.

44' Ave Dep.

192 Holes

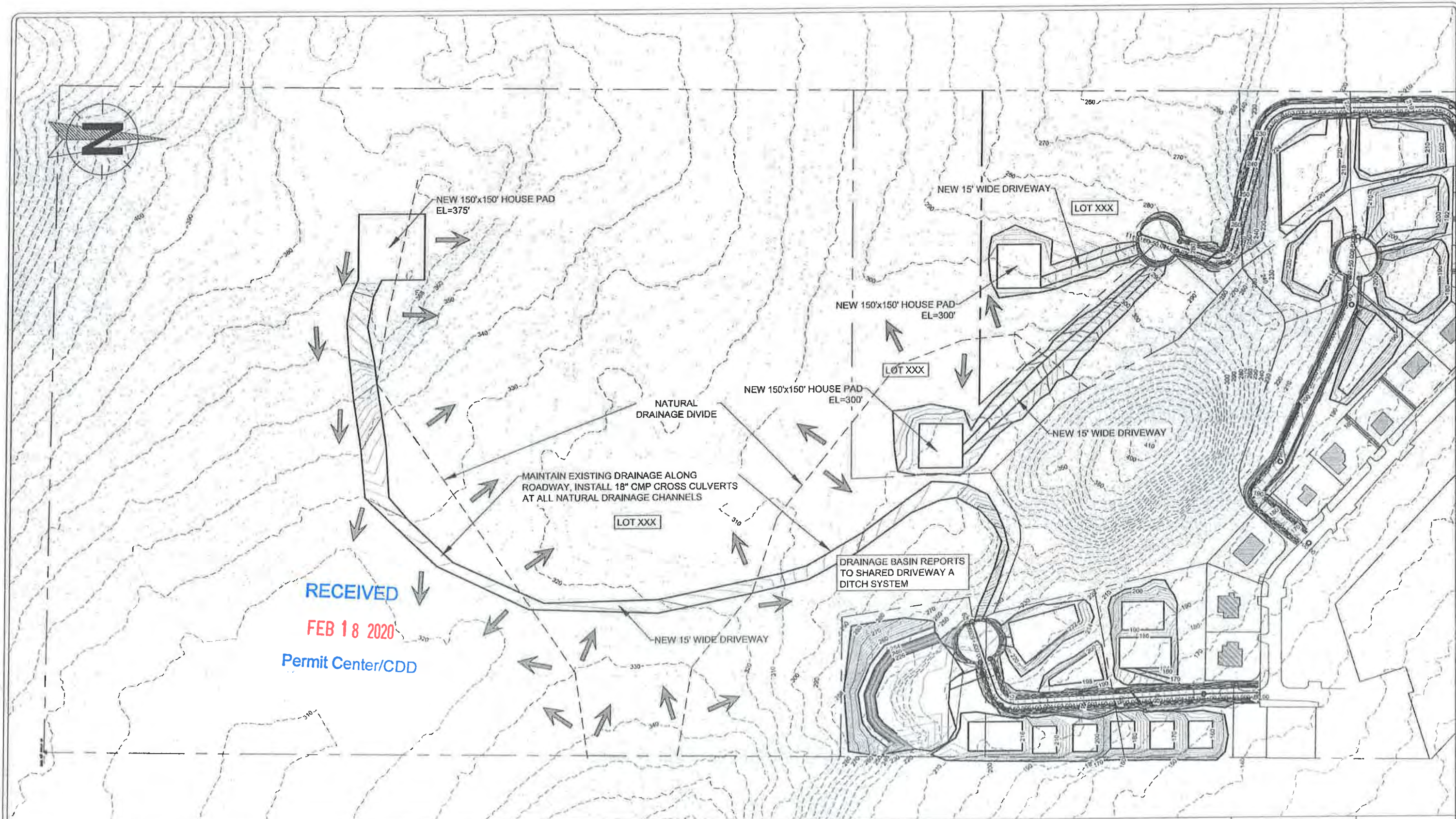
29000 cu. yd.

P.W. Fac. 1.3 per cu yd

RECEIVED

FEB 18 2020 JEC

Permit Center/CDD



Gabriel Hayden, P.E.
hayden@katabaticeng.com
(903) 866-9979

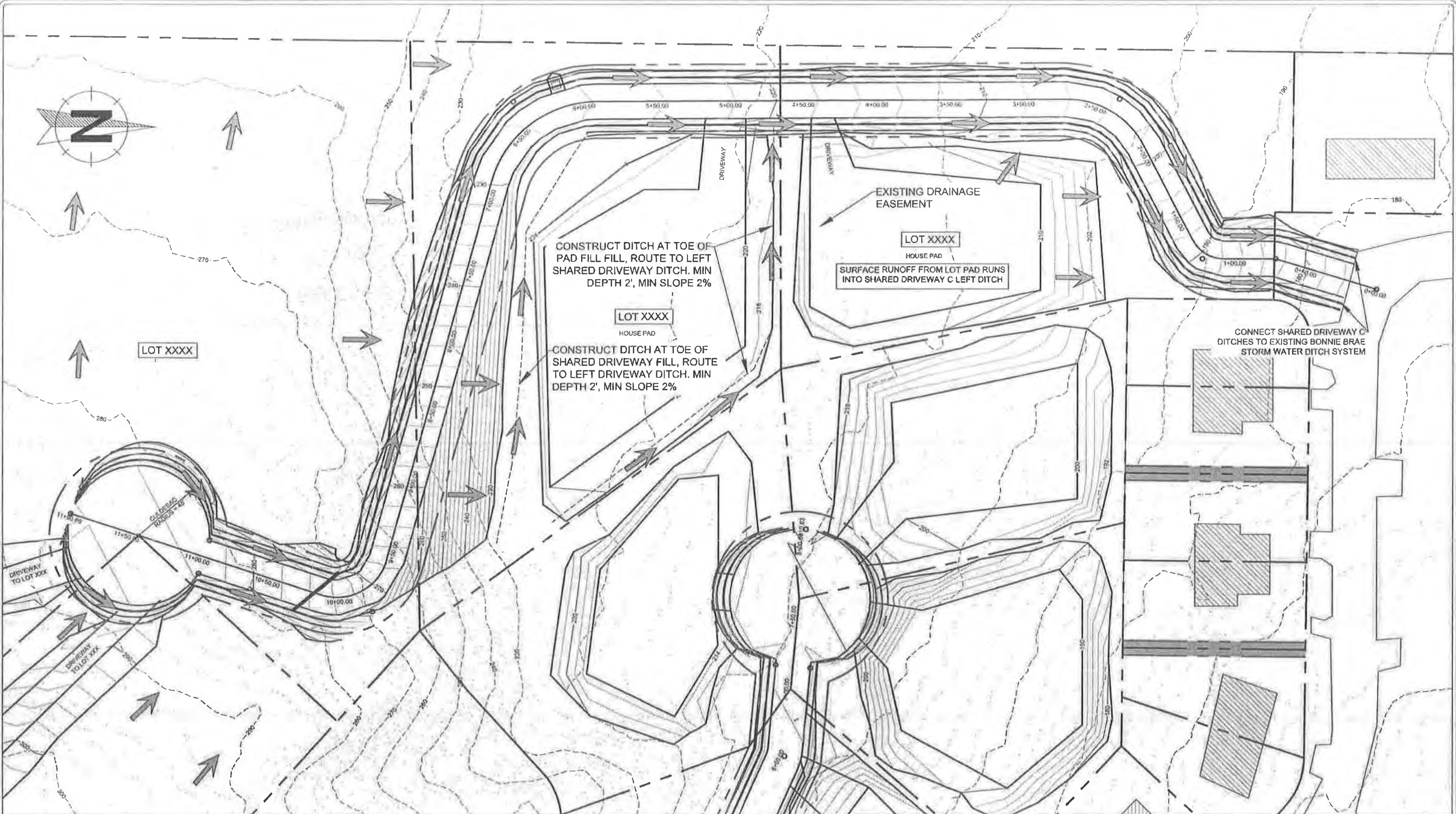
Blacktail Mountain Estates
CONSTRUCTION DRAWINGS
RECEIVED
FEB 14 2020

SOUTHERN LOTS
GRADING PLAN
AND DRAINAGE SCHEMATIC

DESIGN COMMISSIONED BY:
CREATIVE DEVELOPMENT, LLC
PO 032076 JUNEAU, AK 99803

CBJ REVIEW
APPROVED:
DATE:

DRAWN:
12/22/2016
SHEET #
16/16



Gabriel Hayden, P.E.
hayden@katabaticeng.com
(505) 866-5579

Blacktail Mountain Estates
CONSTRUCTION DRAWINGS

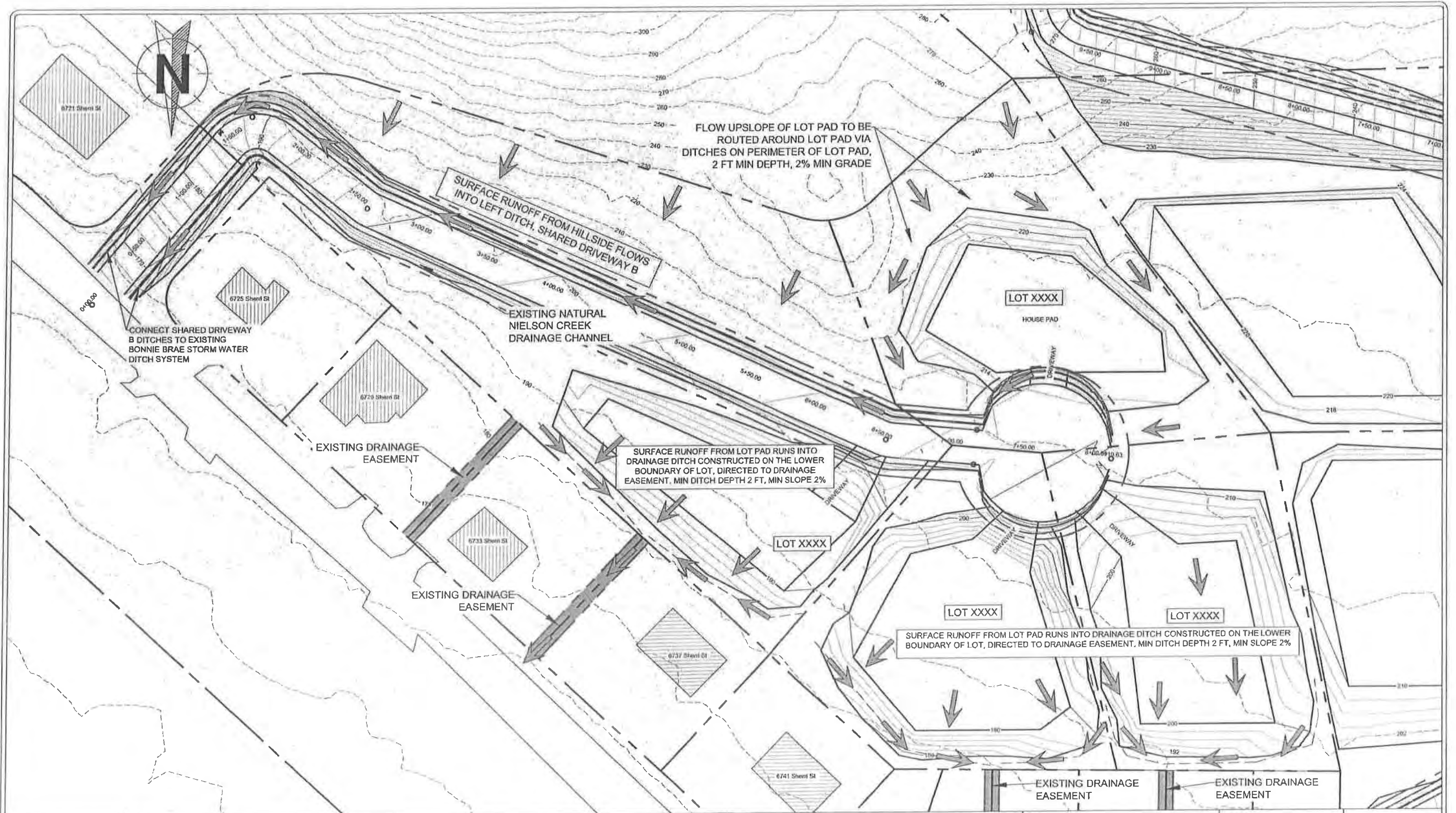
RECEIVED
FEB 04 2020

SHARED DRIVEWAY C
DRAINAGE SCHEMATIC

DESIGN COMMISSIONED BY:
CREATIVE DEVELOPMENT, LLC
PO 032076 JUNEAU, AK 99803

CBJ REVIEW
APPROVED:
DATE:

DRAWN:
12/22/201
SHEET #
15/16



Gabriel Hayden, P.E.
hayden@katabaticeng.com
(503) 866-5579

Blacktail Mountain Estates
CONSTRUCTION DRAWINGS

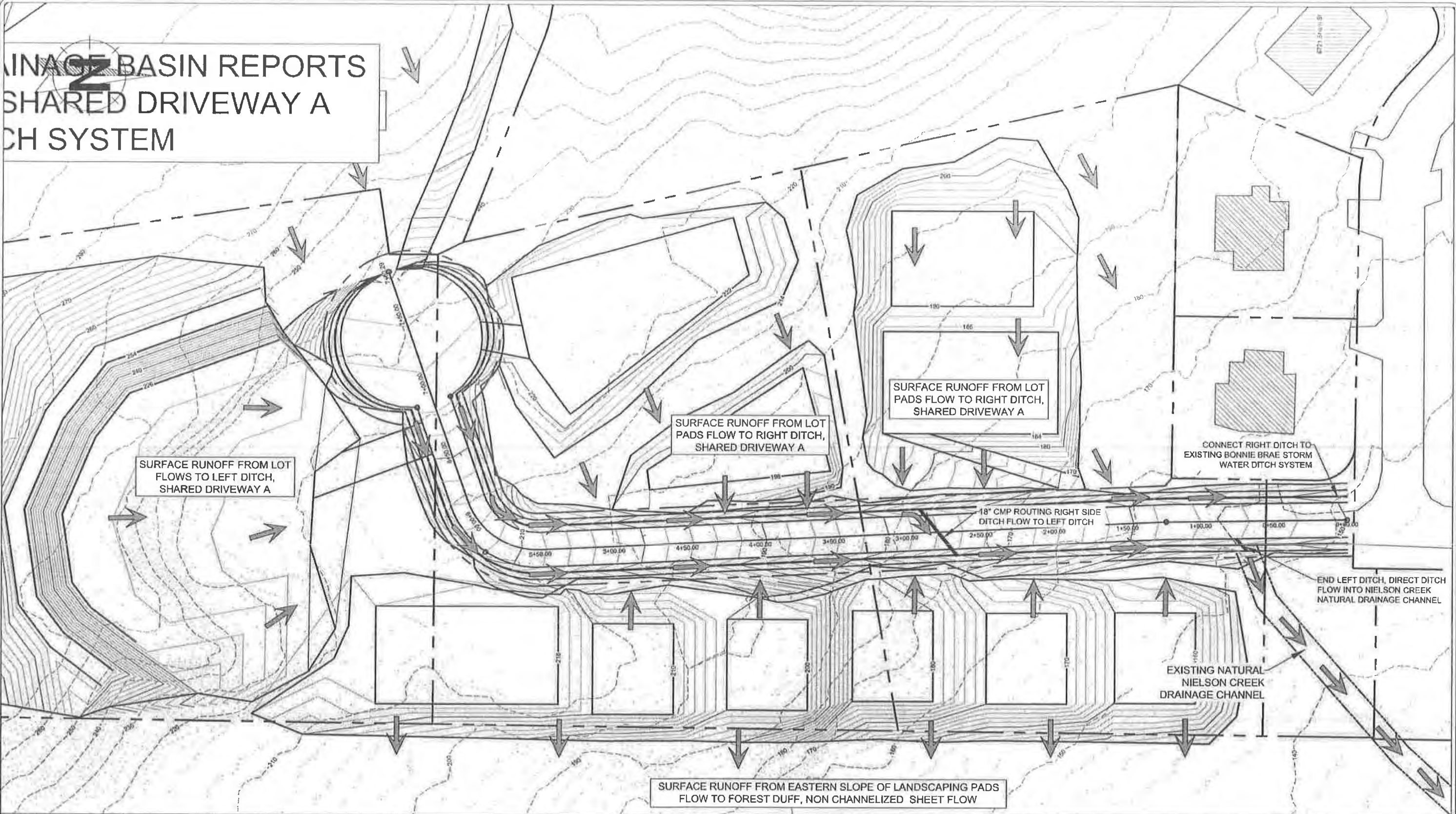
SHARED DRIVEWAY B
DRAINAGE SCHEMATIC

DESIGN COMMISSIONED BY:
CREATIVE DEVELOPMENT, LLC
PO 032076 JUNEAU, AK 99803

CBJ REVIEW
APPROVED: _____
DATE _____

DRAWN:
12/22/201
SHEET #
14/16

MINAGE BASIN REPORTS
SHARED DRIVEWAY A
CH SYSTEM



Gabriel Hayden, P.E.
hayden@katabaticeng.com
(903) 366-9579

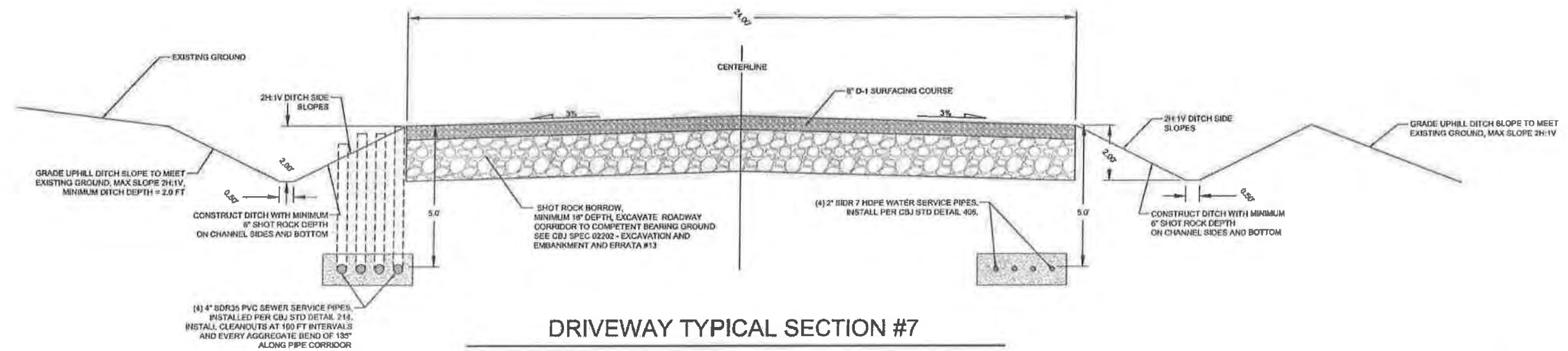
Blacktail Mountain Estates
CONSTRUCTION DRAWINGS

SHARED DRIVEWAY A
DRAINAGE SCHEMATIC

DESIGN COMMISSIONED BY:
CREATIVE DEVELOPMENT, LLC
PO 032076 JUNEAU, AK 99803

CBJ REVIEW
APPROVED: _____
DATE: _____

DRAWN:
12/22/201
SHEET #
13 / 16



DRIVEWAY TYPICAL SECTION #7
SHARED DRIVEWAY C - STA 10+15 TO END

RECEIVED
 FEB 04 2020
 PERMIT CENTER



Gabriel Hayden, P.E.
 hayden@katabaticeng.com
 (503) 866-5579

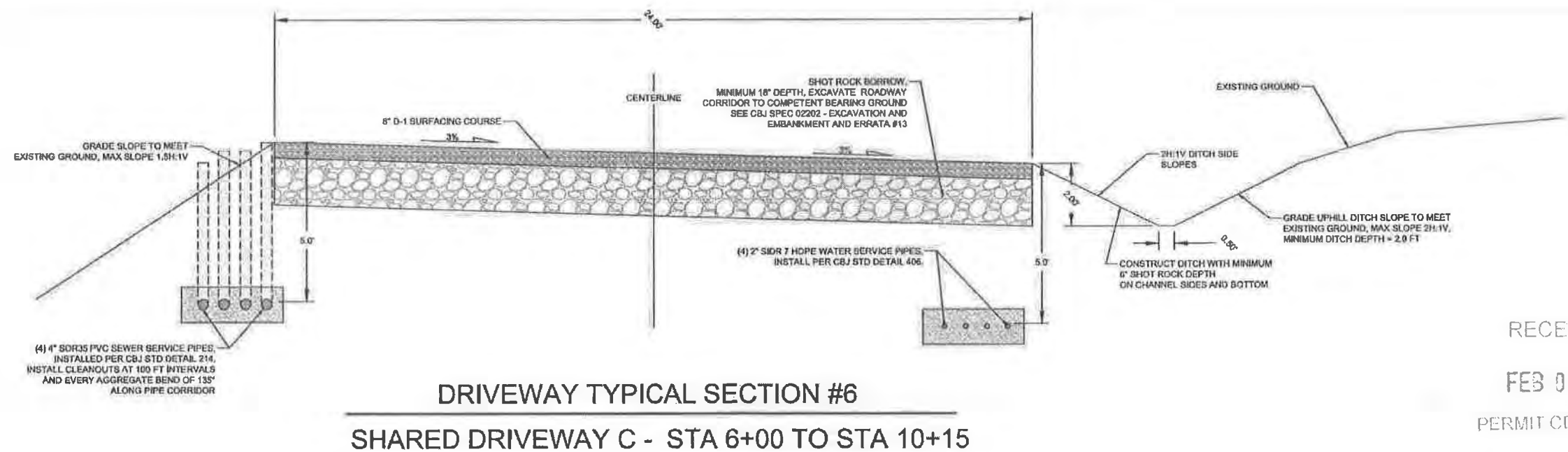
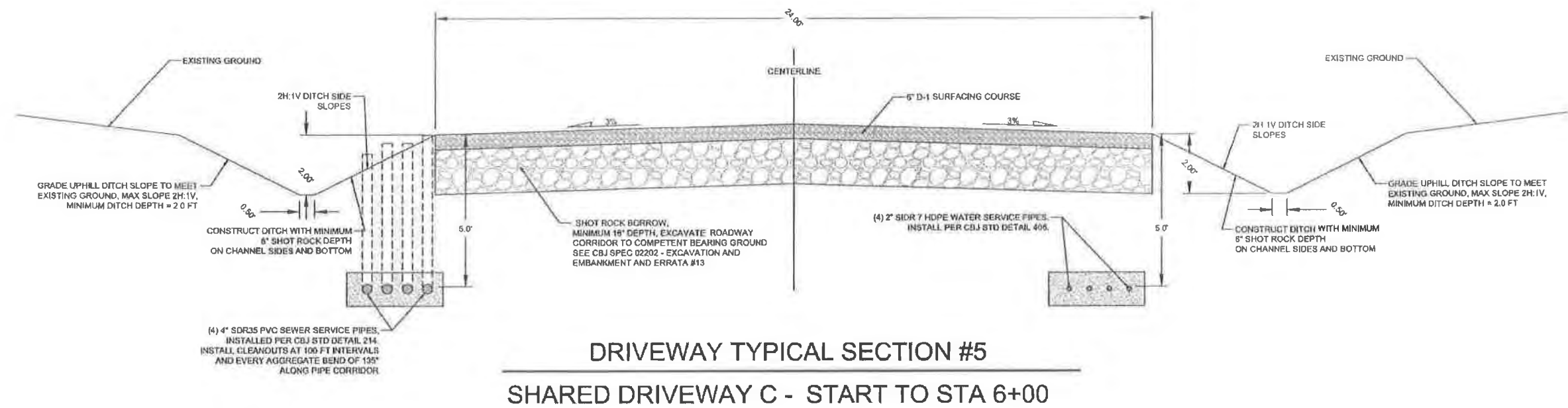
Blacktail Mountain Estates
 CONSTRUCTION DRAWINGS

DRIVEWAY TYPICAL SECTIONS
 #7

DESIGN COMMISSIONED BY:
 CREATIVE DEVELOPMENT, LLC
 PO 032076 JUNEAU, AK 99803

CBJ REVIEW
 APPROVED: _____
 DATE: _____

DRAWN:
 12/22/201
 SHEET #
 12/16



RECEIVED
FEB 04 2020
PERMIT CENTER



Gabriel Hayden, P.E.
hayden@katabaticeng.com
(505) 866-5579

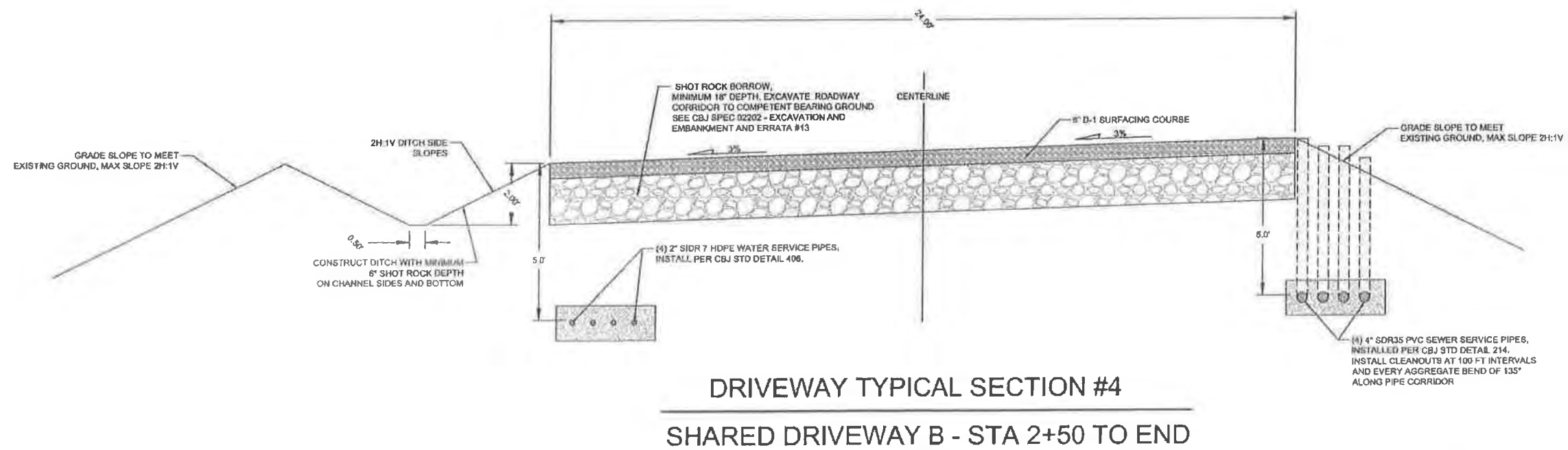
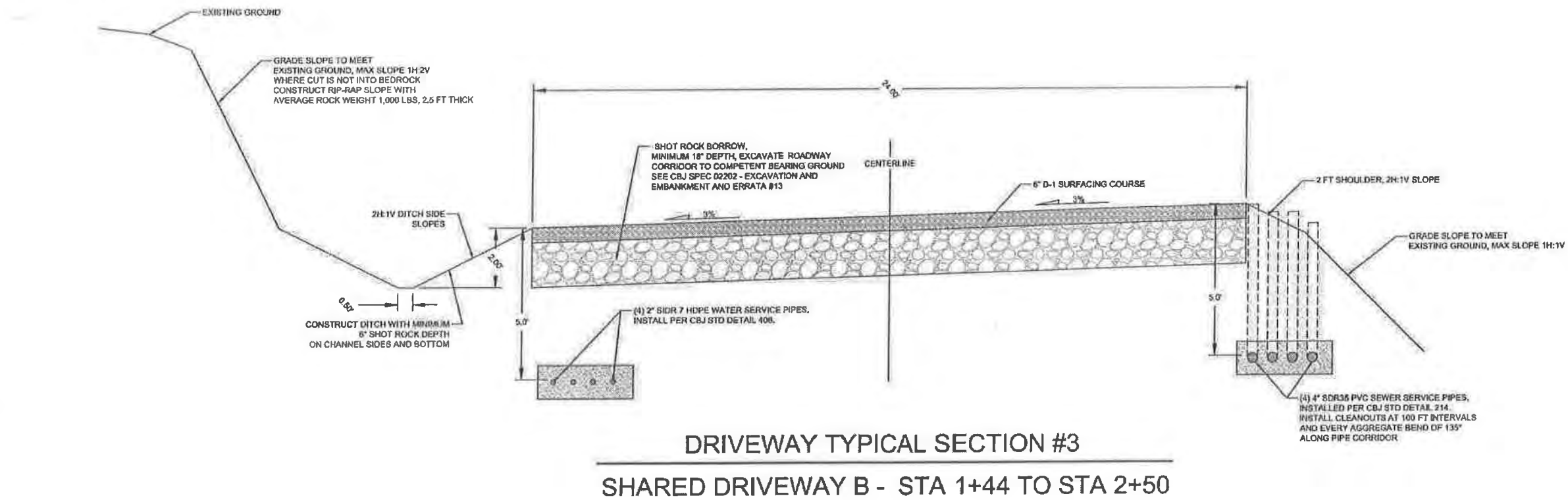
Blacktail Mountain Estates
CONSTRUCTION DRAWINGS

DRIVEWAY TYPICAL SECTIONS
#5 & #6

DESIGN COMMISSIONED BY:
CREATIVE DEVELOPMENT, LLC
PO 032076 JUNEAU, AK 99803

CBJ REVIEW
APPROVED:
DATE:

DRAWN:
12/22/201
SHEET #
11/16



RECEIVED
FEB 04 2020
PERMIT CENTER



Gabriel Hayden, P.E.
hayden@katabaticeng.com
(903) 866-5579

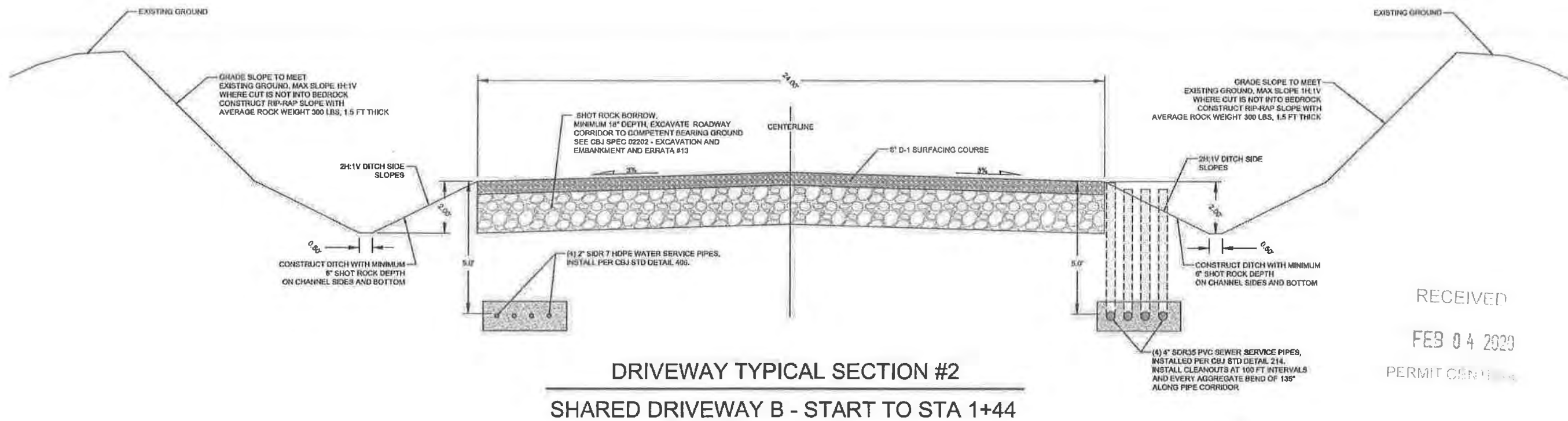
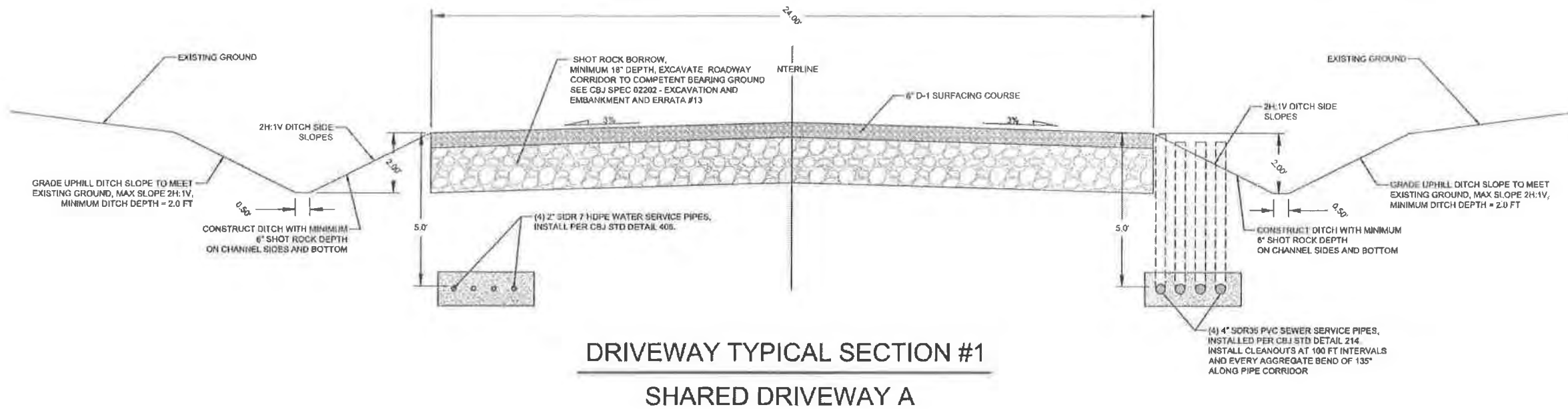
Blacktail Mountain Estates
CONSTRUCTION DRAWINGS

DRIVEWAY TYPICAL SECTIONS
#3 & #4

DESIGN COMMISSIONED BY:
CREATIVE DEVELOPMENT, LLC
PO 032076 JUNEAU, AK 99803

CBJ REVIEW
APPROVED: _____
DATE: _____

DRAWN:
12/22/201
SHEET #
10/16



RECEIVED
FEB 04 2020
PERMIT CENTER



Gabriel Hayden, P.E.
hayden@katabaticeng.com
(503) 866-5579

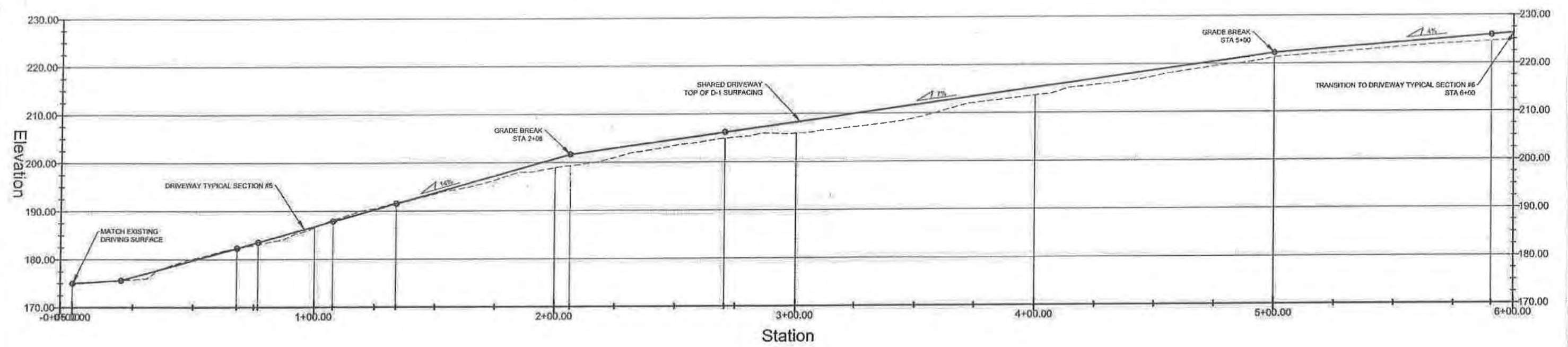
Blacktail Mountain Estates
CONSTRUCTION DRAWINGS

DRIVEWAY TYPICAL SECTIONS
#1 & #2

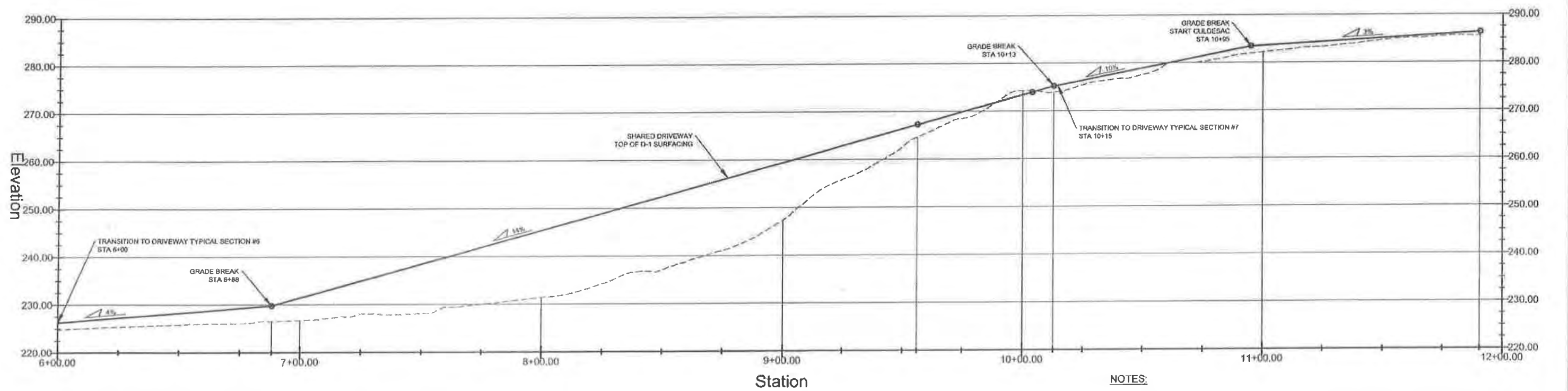
DESIGN COMMISSIONED BY:
CREATIVE DEVELOPMENT, LLC
PO 032076 JUNEAU, AK 99803

CBJ REVIEW
APPROVED:
DATE:

DRAWN:
12/22/201
SHEET #
9/16



DRIVEWAY C - PROFILE



DRIVEWAY C - PROFILE

NOTES:

1. WATER AND SEWER SERVICES ARE NOT SHOWN ON PROFILE, SEE TYPICAL SECTIONS FOR INSTALLATION DETAILS. ALL WATER SERVICES TO BE INSTALLED WITH MIN 5 FT OF COVER, AND SEWER SERVICES WITH MIN 4 FT OF COVER.



Gabriel Hayden, P.E.
hayden@katabaticeng.com
(503) 866-5579

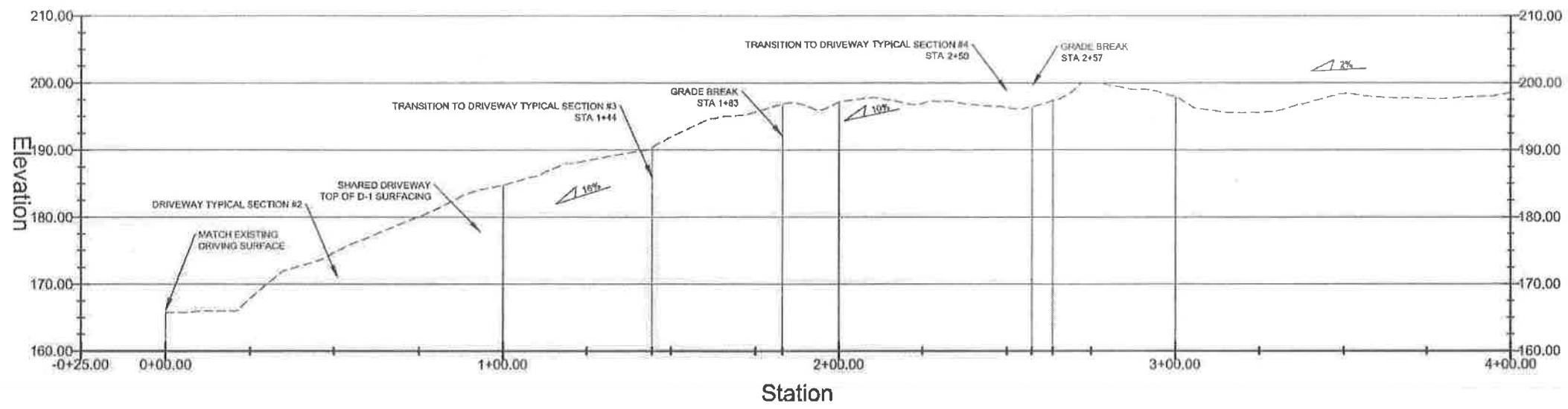
Blacktail Mountain Estates
CONSTRUCTION DRAWINGS
FEB 04 2020

SHARED DRIVEWAY C
PROFILE

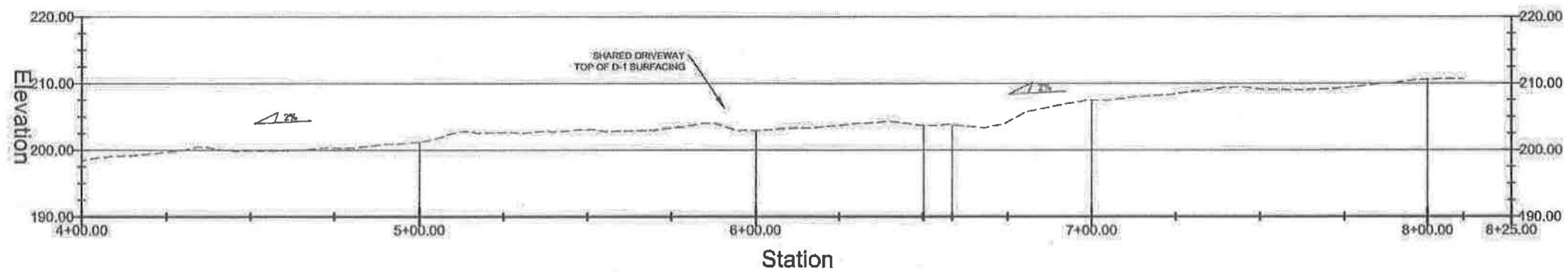
DESIGN COMMISSIONED BY:
CREATIVE DEVELOPMENT, LLC
PO 032076 JUNEAU, AK 99803

CBJ REVIEW
APPROVED:
DATE:

DRAWN:
12/22/201
SHEET #
8/16



DRIVEWAY B - PROFILE

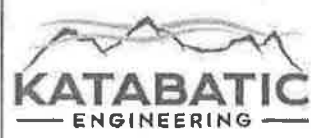


DRIVEWAY B - PROFILE

RECEIVED
FEB 04 2020
PERMIT CENTER/CDD

NOTES:

- 1. WATER AND SEWER SERVICES ARE NOT SHOWN ON PROFILE, SEE TYPICAL SECTIONS FOR INSTALLATION DETAILS. ALL WATER SERVICES TO BE INSTALLED WITH MIN 5 FT OF COVER, AND SEWER SERVICES WITH MIN 4 FT OF COVER.



Gabriel Hayden, P.E.
hayden@katabaticeng.com
(503) 866-5579

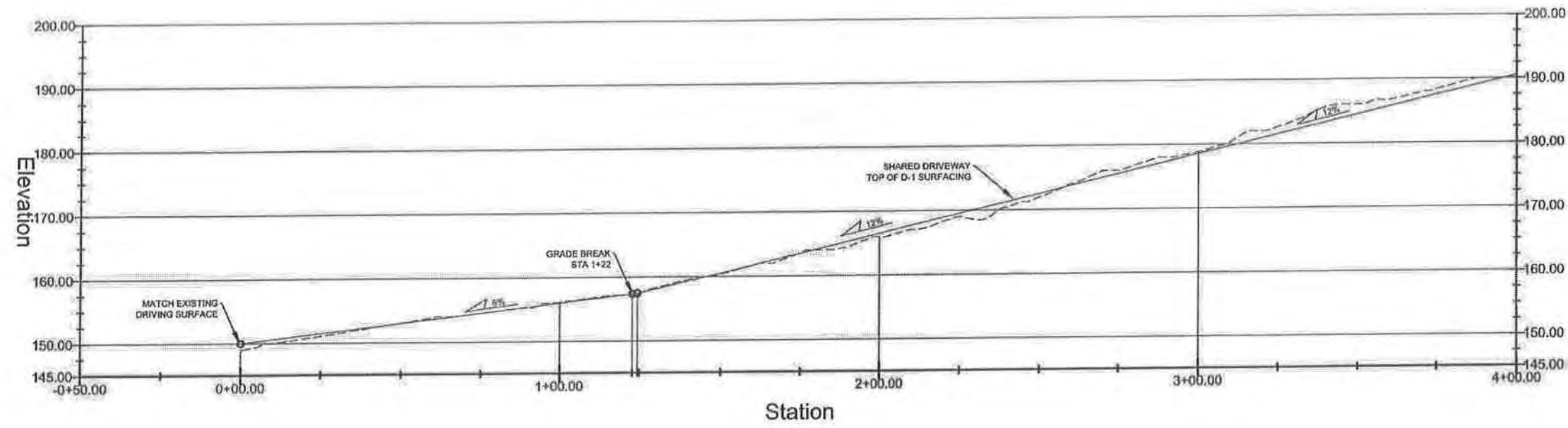
Blacktail Mountain Estates
CONSTRUCTION DRAWINGS

SHARED DRIVEWAY B
PROFILE

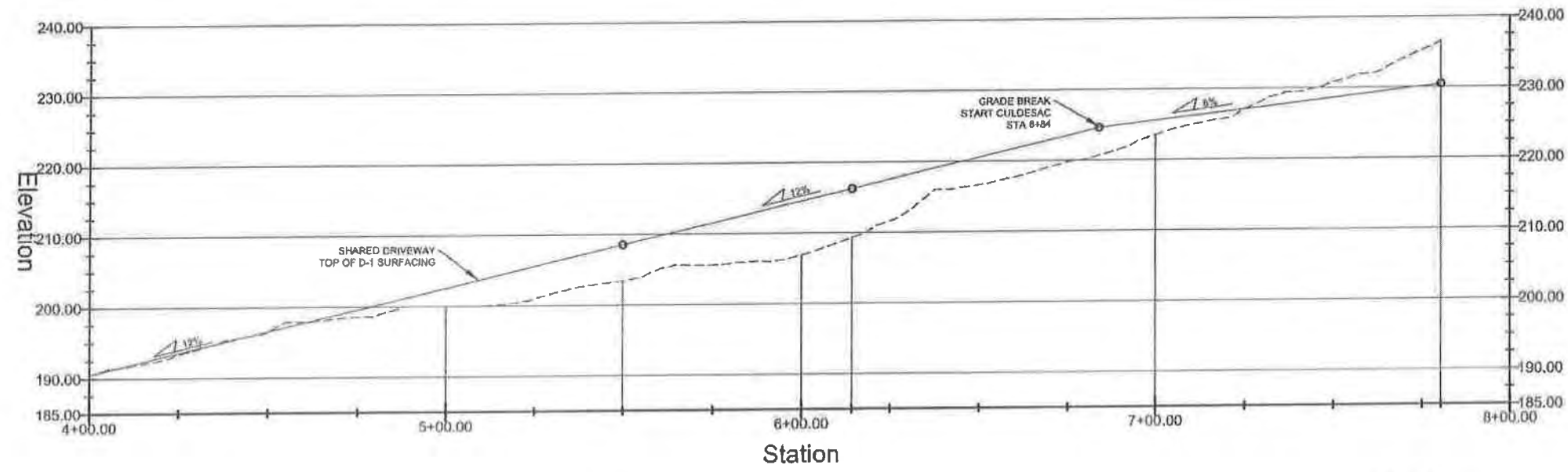
DESIGN COMMISSIONED BY:
CREATIVE DEVELOPMENT, LLC
PO 032076 JUNEAU, AK 99803

CBJ REVIEW
APPROVED:
DATE: _____

DRAWN:
12/22/201
SHEET #
7/16



DRIVEWAY A - PROFILE



DRIVEWAY A - PROFILE

RECEIVED
FEB 04 2020
PERMIT CENTER

- NOTES:
- 1. WATER AND SEWER SERVICES ARE NOT SHOWN ON PROFILE, SEE TYPICAL SECTIONS FOR INSTALLATION DETAILS. ALL WATER SERVICES TO BE INSTALLED WITH MIN 5 FT OF COVER, AND SEWER SERVICES WITH MIN 4 FT OF COVER.



Gabriel Hayden, P.E.
hayden@katabaticeng.com
(503) 866-5579

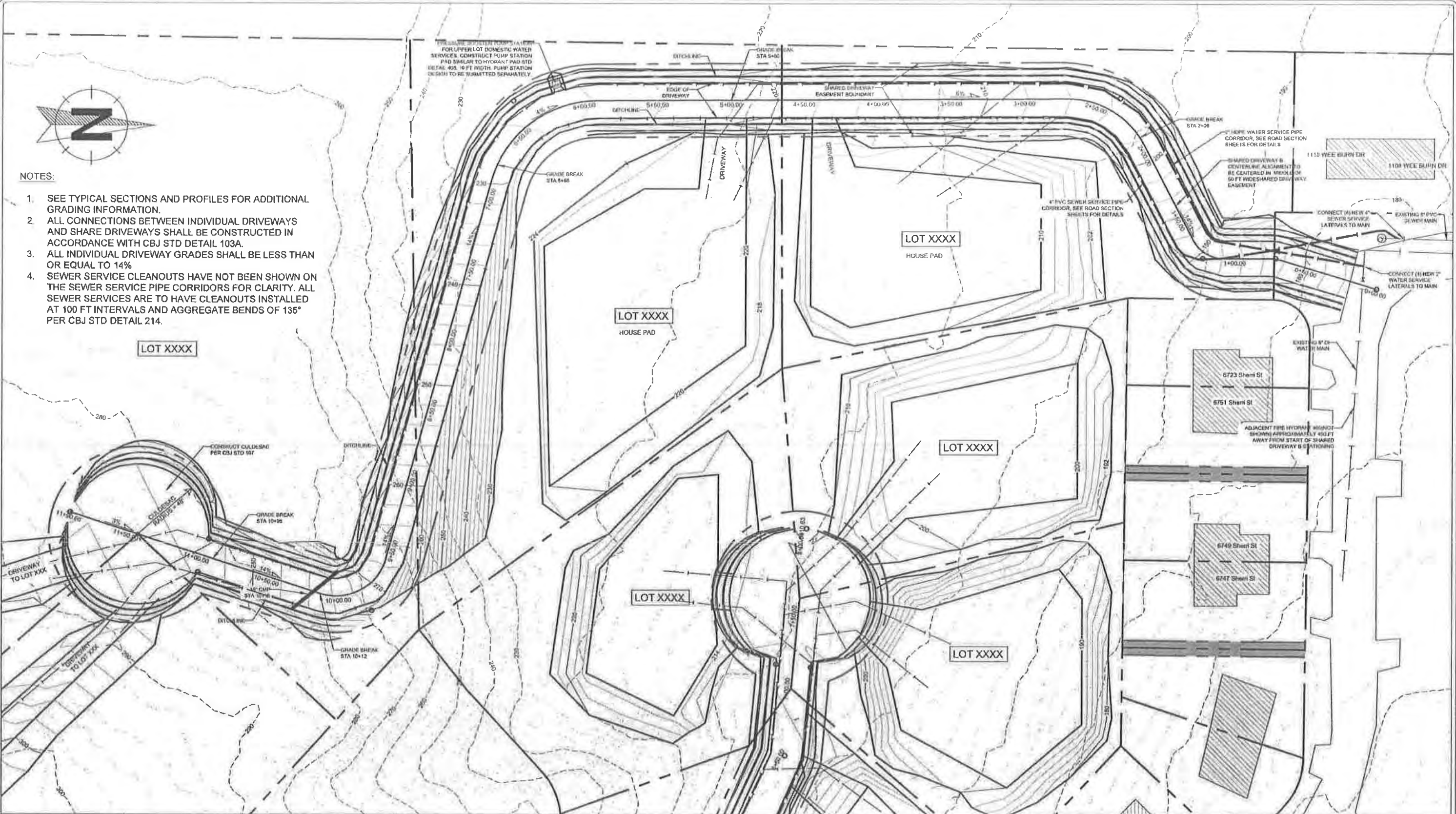
Blacktail Mountain Estates
CONSTRUCTION DRAWINGS

SHARED DRIVEWAY A
PROFILE

DESIGN COMMISSIONED BY:
CREATIVE DEVELOPMENT, LLC
PO 032076 JUNEAU, AK 99803

CBJ REVIEW
APPROVED: _____
DATE: _____

DRAWN:
12/22/201
SHEET #
6/16



- NOTES:
- 1. SEE TYPICAL SECTIONS AND PROFILES FOR ADDITIONAL GRADING INFORMATION.
 - 2. ALL CONNECTIONS BETWEEN INDIVIDUAL DRIVEWAYS AND SHARE DRIVEWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CBJ STD DETAIL 103A.
 - 3. ALL INDIVIDUAL DRIVEWAY GRADES SHALL BE LESS THAN OR EQUAL TO 14%.
 - 4. SEWER SERVICE CLEANOUTS HAVE NOT BEEN SHOWN ON THE SEWER SERVICE PIPE CORRIDORS FOR CLARITY. ALL SEWER SERVICES ARE TO HAVE CLEANOUTS INSTALLED AT 100 FT INTERVALS AND AGGREGATE BENDS OF 135° PER CBJ STD DETAIL 214.



Gabriel Hayden, P.E.
hayden@katabaticeng.com
(505) 866-5579

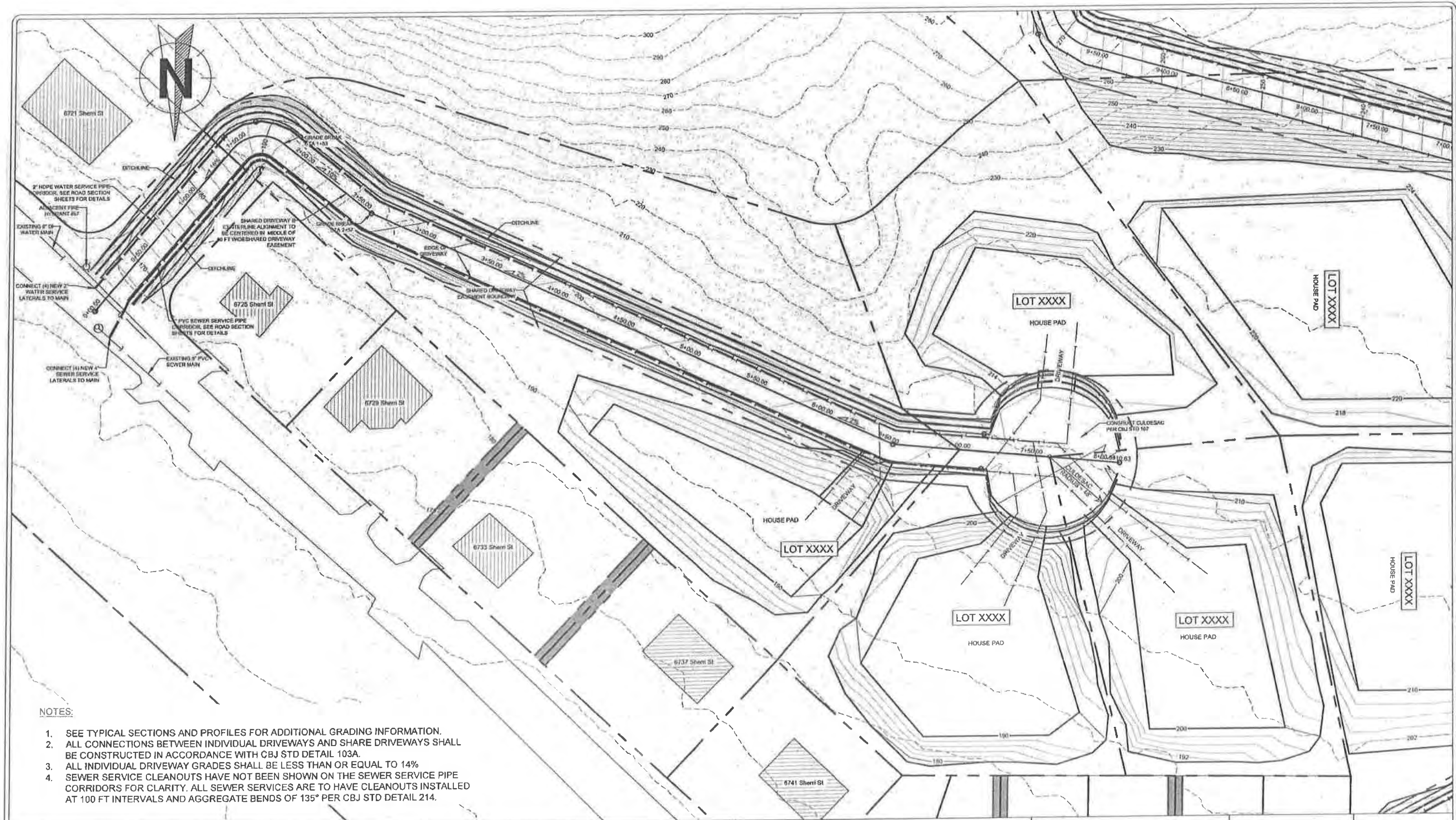
Blacktail Mountain Estates
CONSTRUCTION DRAWINGS
FEB 04 2020

SHARED DRIVEWAY C
PLAN VIEW

DESIGN COMMISSIONED BY:
CREATIVE DEVELOPMENT, LLC
PO 032076 JUNEAU, AK 99803

CBJ REVIEW
APPROVED:
DATE: _____

DRAWN:
12/22/201
SHEET #
5 / 16



- NOTES:
1. SEE TYPICAL SECTIONS AND PROFILES FOR ADDITIONAL GRADING INFORMATION.
 2. ALL CONNECTIONS BETWEEN INDIVIDUAL DRIVEWAYS AND SHARE DRIVEWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CBJ STD DETAIL 103A.
 3. ALL INDIVIDUAL DRIVEWAY GRADES SHALL BE LESS THAN OR EQUAL TO 14%.
 4. SEWER SERVICE CLEANOUTS HAVE NOT BEEN SHOWN ON THE SEWER SERVICE PIPE CORRIDORS FOR CLARITY. ALL SEWER SERVICES ARE TO HAVE CLEANOUTS INSTALLED AT 100 FT INTERVALS AND AGGREGATE BENDS OF 135° PER CBJ STD DETAIL 214.



Gabriel Hayden, P.E.
hayden@katabaticeng.com
(907) 866-9579

Blacktail Mountain Estates
CONSTRUCTION DRAWINGS

RECEIVED
FEB 04 2020
PERMIT CENTER

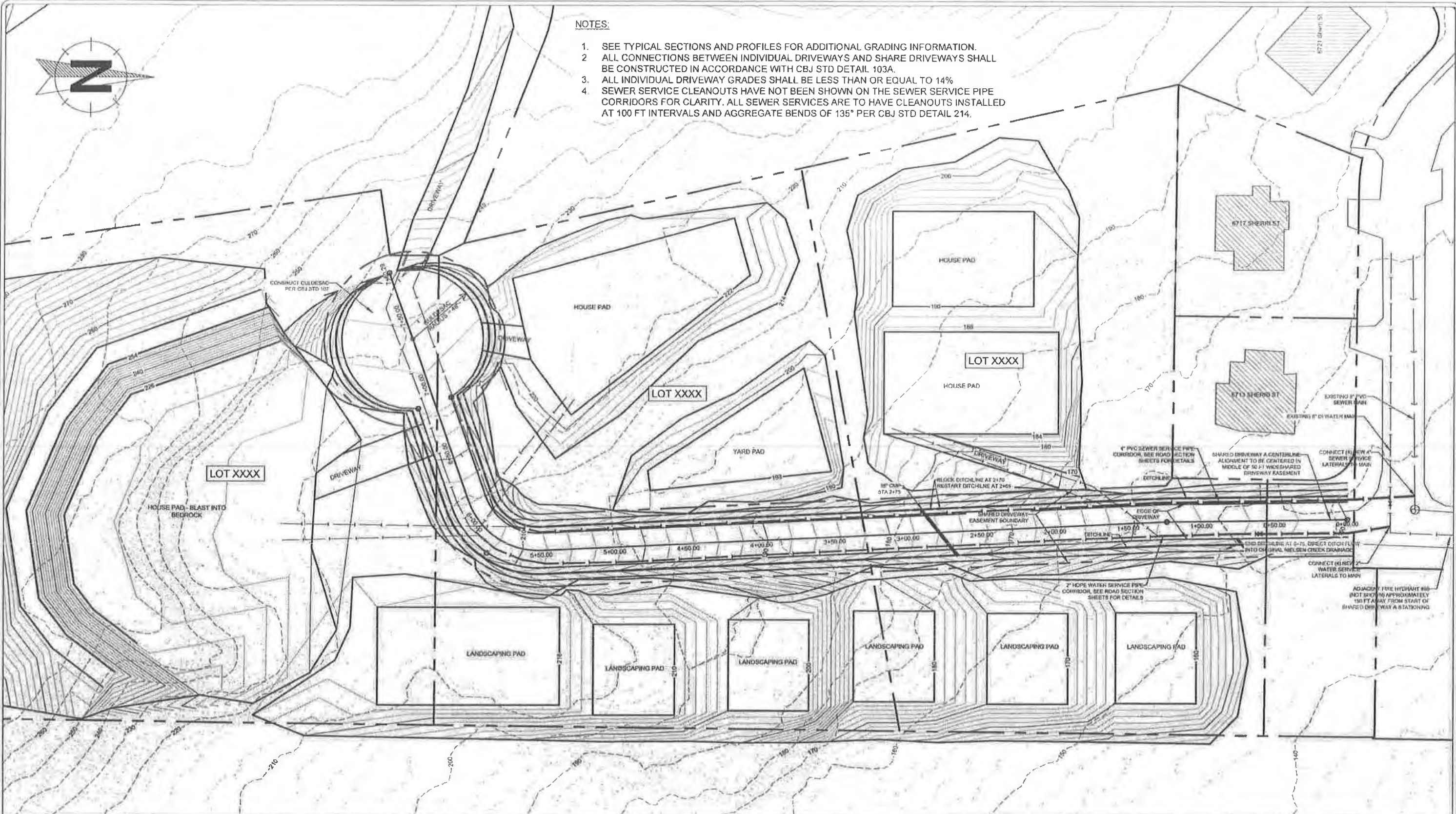
SHARED DRIVEWAY B
PLAN VIEW

DESIGN COMMISSIONED BY:
CREATIVE DEVELOPMENT, LLC
PO 032076 JUNEAU, AK 99803

CBJ REVIEW
APPROVED:
DATE:

DRAWN:
12/22/201
SHEET #
4/16

- NOTES:
- 1. SEE TYPICAL SECTIONS AND PROFILES FOR ADDITIONAL GRADING INFORMATION.
 - 2. ALL CONNECTIONS BETWEEN INDIVIDUAL DRIVEWAYS AND SHARE DRIVEWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CBJ STD DETAIL 103A.
 - 3. ALL INDIVIDUAL DRIVEWAY GRADES SHALL BE LESS THAN OR EQUAL TO 14%.
 - 4. SEWER SERVICE CLEANOUTS HAVE NOT BEEN SHOWN ON THE SEWER SERVICE PIPE CORRIDORS FOR CLARITY. ALL SEWER SERVICES ARE TO HAVE CLEANOUTS INSTALLED AT 100 FT INTERVALS AND AGGREGATE BENDS OF 135° PER CBJ STD DETAIL 214.



Gabriel Hayden, P.E.
hayden@katabaticeng.com
(505) 866-5579

Blacktail Mountain Estates
CONSTRUCTION DRAWINGS

FEB 14 2020

SHARED DRIVEWAY A
PLAN VIEW

DESIGN COMMISSIONED BY:
CREATIVE DEVELOPMENT, LLC
PO 032076 JUNEAU, AK 99803

CBJ REVIEW
APPROVED:
DATE:

DRAWN:
12/22/201
SHEET #
3/16

GENERAL NOTES:

- 1. All work shall conform to the most recent CBJ Standard Specifications and Details, including errata. Available online at: 'http://www.juneau.org/engineering/Rev_Standards.php' and 'http://www.juneau.org/engineeringftp/documents/Cover_000.pdf'.
- 2. All HDPE pipe installations shall additionally conform to the 'HDPE Special Provisions March 2017' document attached to this design packet.
- 3. Existing pipe and electrical utility locations based on historical asbuilt information, actual locations may vary. Contractor shall call for utility locates at (907) 586-1333 prior to excavation in zones of existing development.
- 4. Contractor shall notify CBJ water utility department (907) 780-6808 of proposed water service interruptions, and submit the 'water system special use permit' application to CBJ water utilities superintendent for approval at least 48 hours prior to shutdown or flushing of mainline water pipe. No water service interruptions may occur until the above application is approved.
- 5. Contractor shall reference all existing property corner monuments prior to construction and re-monument using an Alaska Professional Land Surveyor after Work is complete.
- 6. Grades and alignments are subject to minor revisions as approved by the Engineer.
- 7. Property line locations used were derived from record plats and not a boundary survey.
- 8. "Jumping Jack" or similar type compactors shall be used for compaction within 18 inches of the outside surface of all water valve boxes, catch basins, and manholes.
- 9. Contractor shall install and maintain construction stormwater control BMPs per the Erosion Control Plan and SWPPP CGP permit obtained by the Contractor.
- 10. For any planned driveway closures, Contractor shall notify resident of each driveway to be closed of the planned closure, including time period, the day prior to the planned closure.
- 11. Contractor shall provide submittal described in the CBJ standard specifications to Engineer for review prior to procurement of all materials.
- 12. All slopes steeper than 2:1 require special inspection pursuant to Chapter 19.12, excavation and grading code.
- 13. Clay, bedrock, organics, stumps and logs, and boulders may be encountered by the Contractor during excavation operations. No subsurface geotechnical investigation was conducted for this project. Contractor shall inform Engineer of subsurface conditions encountered during share driveway construction, and Engineer may make minor adjustments to design as necessary.
- 14. Contractor shall prepare and submit a SWPPP plan to the Alaska Department of Environmental Conservation prior to beginning site work, and shall maintain compliance with the provisions of that SWPPP plan throughout the project.

ABBREVIATIONS

AC	Asphaltic Concrete Pavement		
CB	Catch Basin		
CPP	Corrugated Polyethylene Pipe		
Conc	Concrete		
CTE	Connect to Existing		
DIA	Diameter		
GV	Gate Valve		
HDPE	High Density Polyethylene		
INV	Invert		
LT	Left	PT	Point of Tangency
MH	Manhole	RT	Right
MTE	Match to Existing	STA	Station
NO	Number	TP	Top of Pavement
NTS	Not to Scale	TYP	Typical
PVC	Polyvinyl Chloride Pipe		
PC	Point of Curvature		

Abbreviations may be used without periods.

CBJ SPECIFICATIONS

- DIVISION 1 - GENERAL REQUIREMENTS
- 01045 Cutting and Patching
 - 01070 Acronyms of Institutions
 - 01090 Reference Standards
 - 01300 CONTRACTOR Submittals - Includes changes listed in 1/15/04 Errata Sheet
 - 01400 Quality Control - Includes change listed in 1/15/04 Errata Sheet
 - 01505 Mobilization
 - 01530 Protection and Restoration of Existing Facilities
 - 01550 Site Access and Storage
 - 01560 Temporary Environmental Controls
 - 01660 Equipment Testing and Plant Start-Up
 - 01700 Project Closeout - Includes change listed in 5/5/04 Errata Sheet No. 3
- DIVISION 2 - SITEWORK
- 02090 Blasting Controls
 - 02201 Clearing and Grubbing
 - 02202 Excavation and Embankment
 - 02203 Trenching
 - 02204 Base Course - Includes change listed in 3/17/04 Errata Sheet No. 2
 - 02205 Riprap
 - 02401 Sanitary Sewer Pipe
 - 02402 Sanitary Sewer Manholes and Cleanouts
 - 02403 Sanitary Sewer Encasement
 - 02501 Storm Sewer Pipe
 - 02502 Storm Sewer Manholes, Inlets, and Catch Basins
 - 02601 Water Pipe
 - 02602 Valves
 - 02603 Fire Hydrants
 - 02605 Water Services
 - 02702 Construction Surveying
 - 02703 Monuments
 - 02707 Chain Link Fence
 - 02709 Topsoil - Includes change listed in 5/5/04 Errata Sheet No. 3
 - 02710 Seeding
 - 02711 Landscape Planting
 - 02712 Jute Mesh
 - 02714 Filter Cloth
 - 02715 Underdrain
 - 02718 Sign Assembly
 - 02719 Mailboxes
 - 02720 Painted Traffic Markings
 - 02801 Asphalt Concrete Pavement - Includes changes listed in Errata 1 through 4
 - 02802 Tack Coat
 - 02803 Fog Seal Coat
 - 02806 Remove Existing Asphalt Surfacing
- DIVISION 3 - CONCRETE
- 03301 Structural Concrete
 - 03302 Concrete Structures
 - 03303 Sidewalk, Curb and Gutter
 - 03304 Remove Existing Sidewalk, Concrete Slab, or Curb and Gutter

CBJ STANDARD DETAILS - 4TH EDITION

- Street Details
- 102D Local Access Street With Biofiltration Swale
 - 103A Driveway For Streets Without Curb & Gutter
 - 104B Culvert Headwall Without Hinged Trash Rack
 - 107 Local Access Street Cul-De-Sac
 - 116 Cantilevered Single Mailbox
 - 117 Cantilevered Gang Mailbox
 - 119A Junction Box Type 1 & Type 1A
 - 119B Junction Box Type II & Type III
 - 120 Private Utility Location Within CBJ R-O-W
 - 125 Pavement Resurfacing And Trench Detail
 - 126 Concrete Collar
 - 127A Sign Assembly Single-Post
 - 127B Sign Assembly Double-Post
- Sanitary Sewer Details
- 213 Sanitary Sewer Service Lateral
 - 214 Sanitary Sewer Connection Customer Service Line
 - 215 Sanitary Sewer Crossing
 - 216 Pressure Sanitary Sewer Service Lateral
- Drainage Details
- 311 Silt Fence
 - 312 Rock Check Dam
- Water Details
- 403 Fire Hydrant
 - 404 Hydrant Guard Posts
 - 405 Hydrant Pad
 - 406A Water Service
 - 412 Rigid Insulation
 - 414A Downward Concave Thrust Block
 - 414B Horizontal And Concave Upward Thrust Blocks
 - 419 Residential Water Service Connection
 - 420 Meter Installation

LEGEND

- NEW GRADING FEATURES
- EXISTING
- REMOVE EXISTING
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- WATER PIPE
- SEWER PIPE
- PROPERTY LINE
- WATER VALVE
- MANHOLE
- FIRE HYDRANT
- STREET LIGHT

RECEIVED
FEB 04 2020
PERMIT CENTER/CDD



Gabriel Hayden, P.E.
hayden@katabaticeng.com
(503) 866-5579

Blacktail Mountain Estates
CONSTRUCTION DRAWINGS

General Notes, Legend, CBJ
specifications and details references

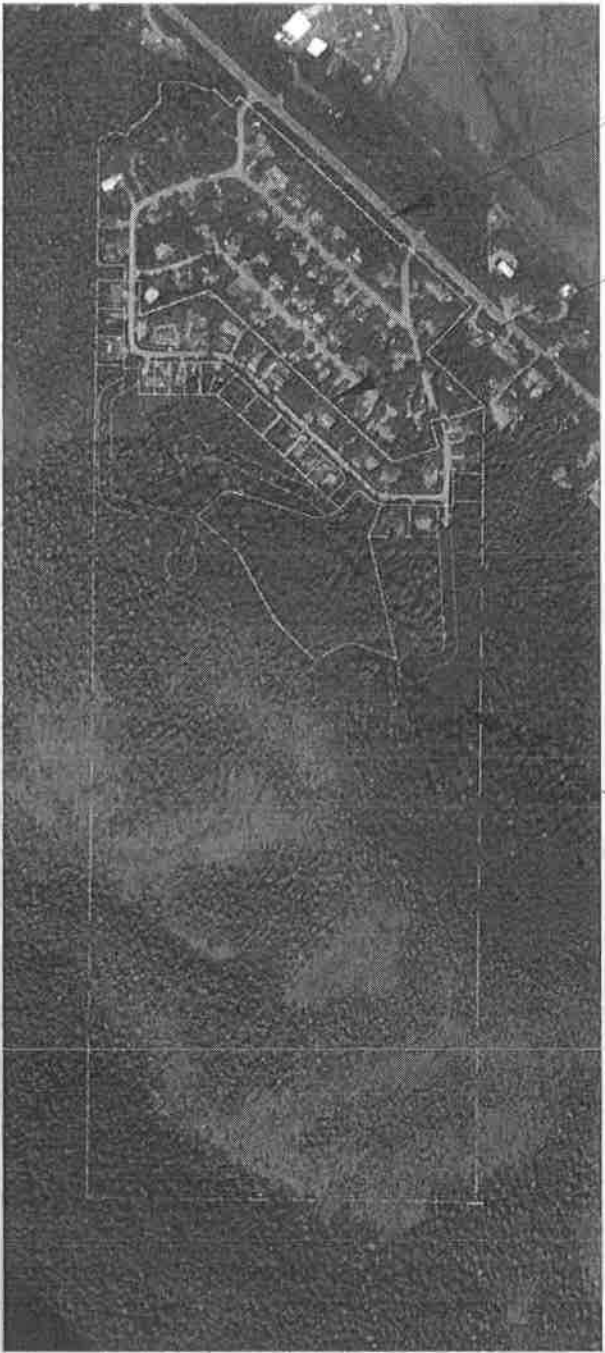
DESIGN COMMISSIONED BY:
CREATIVE DEVELOPMENT, LLC
PO 032076 JUNEAU, AK 99803

CBJ REVIEW
APPROVED:
DATE:

DRAWN:
12/22/201
SHEET #
2 / 16

BLACKTAIL MOUNTAIN ESTATES SUBDIVISION CONSTRUCTION DRAWINGS DEC 22, 2019 INDEX

SHEET #	REVISION DATE	TITLE
SHEET 1	12/22/2019	COVER SHEET
SHEET 2	12/22/2019	GENERAL NOTES
SHEET 3	12/22/2019	SHARED DRIVEWAY A - PLAN VIEW
SHEET 4	12/22/2019	SHARED DRIVEWAY B - PLAN VIEW
SHEET 5	12/22/2019	SHARED DRIVEWAY C - PLAN VIEW
SHEET 6	12/22/2019	SHARED DRIVEWAY A - PROFILE VIEW
SHEET 7	12/22/2019	SHARED DRIVEWAY B - PROFILE VIEW
SHEET 8	12/22/2019	SHARED DRIVEWAY C - PROFILE VIEW
SHEET 9	12/22/2019	DRIVEWAY TYPICAL SECTIONS #1 & #2
SHEET 10	12/22/2019	DRIVEWAY TYPICAL SECTIONS #3 & #4
SHEET 11	12/22/2019	DRIVEWAY TYPICAL SECTIONS #5 & #6
SHEET 12	12/22/2019	DRIVEWAY TYPICAL SECTIONS #7
SHEET 13	12/22/2019	SHARED DRIVEWAY A - DRAINAGE SCHEMATIC
SHEET 14	12/22/2019	SHARED DRIVEWAY A - DRAINAGE SCHEMATIC
SHEET 15	12/22/2019	SHARED DRIVEWAY A - DRAINAGE SCHEMATIC
SHEET 16	12/22/2019	SOUTHERN LOTS - GRADING PLAN AND DRAINAGE SCHEMATIC



VICINITY MAP
NTS

RECEIVED
FEB 04 2020
PERMIT CENTER/CDD



Gabriel Hayden, P.E.
hayden@katabaticeng.com
(503) 866-5579

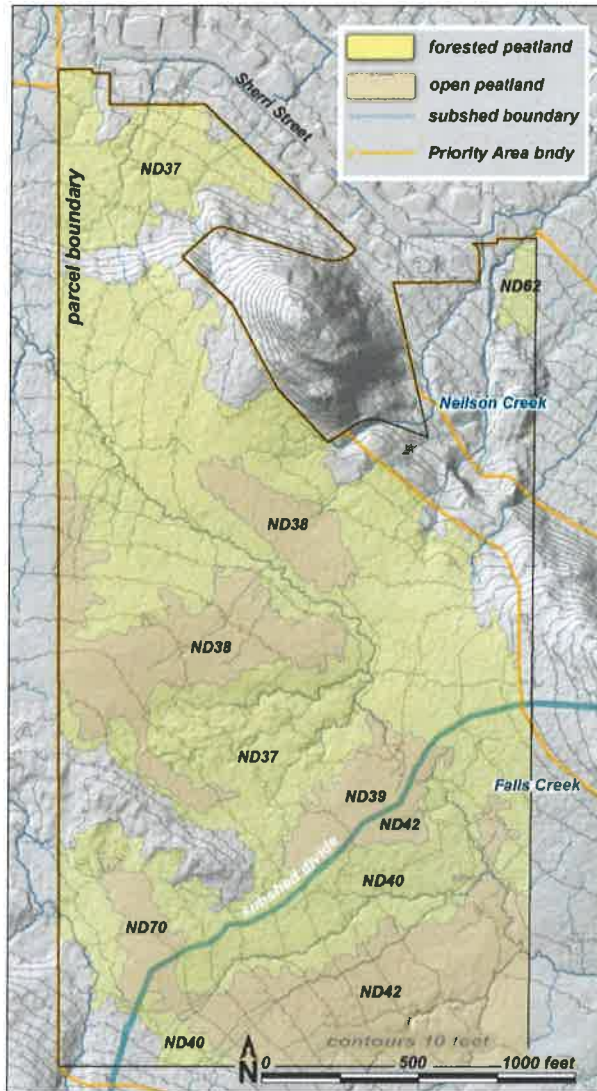
Blacktail Mountain Estates
CONSTRUCTION DRAWINGS

Coversheet

DESIGN COMMISSIONED BY:
CREATIVE DEVELOPMENT, LLC
PO 032076 JUNEAU, AK 99803

CBJ REVIEW
APPROVED: _____
DATE: _____

DRAWN:
12/ 22/ 201
SHEET #
1 / 16



Bonnie Brae Partnership

This 91-acre private parcel (CBJ pin number 6D0801110010) was mapped and assessed for the Juneau Wetlands Management Plan Update (JWMPU). The parcel lies within the city's Priority Area 3.26.

The northern portion of the parcel drains into Neilson Creek, while the southeastern corner drains into Falls Creek. A subshed boundary therefore runs through the parcel, which by WESPAK protocol 'splits' several of the units (eg: ND 39 and 42).

Seven wetland AAs (Assessment Areas) were mapped: 3 forested peatlands and 4 open peatlands. Total acreage of wetland in all 7 AAs is 72 acres. Thus, about 79% of the parcel is wetland.

Funding: This contract was funded by the Coastal Impact Assistance Program through the Alaska Dept of Commerce, Community and Economic Development as part of Grant #10-CIAP-0009, "Habitat Mapping and Analysis Project."

At the end of this report are definitions for terms and acronyms specific to the project.

AA#	type	acres	parcel pin
ND37	fw	38.68	6D0801110010
ND38	op	8.94	6D0801110010
ND39	op	2.24	6D0801110010
ND40	fw	8.93	6D1011000010
ND42	op	11.18	6D1011000010
ND62	fw	0.65	6D0611000010
ND70	op	1.35	6D1011000010

Acreages of wetland units **within** the Bonnie Brae Partnership parcel. In several cases, these unit

ND37 fw forested peatland

This AA satisfies the following criteria under WESPAK-SE_v1.4:

Nearly all the AA is moss-covered. Peat depth is usually 4 to 16 inches, and sometimes greater. Tree- and shrub canopy combined is greater than 30%, most often hemlock. The shrub layer is usually blueberry and menziesia. The forb layer often includes skunk cabbage. There is little or no open water and the unit is not in a floodplain.

ND38 op open peatland

This AA satisfies the following criteria under WESPAK-SE_v1.4:

Nearly all the AA is moss-covered (usually Sphagnum species). Peat depth is usually >16 inches. Tree cover is <5%, and cover of tall shrubs (>3ft) is <30%. Trees include shore pine, hemlock, bog blueberry, Labrador tea, crowberry and tufted club-rush. Small (<25 ft²) scattered stair-step pools with acidic, tannin-stained water may be present.

ND39 op open peatland

This AA satisfies the following criteria under WESPAK-SE_v1.4:

Nearly all the AA is moss-covered (usually Sphagnum species). Peat depth is usually >16 inches. Tree cover is <5%, and cover of tall shrubs (>3ft) is <30%. Trees include shore pine, hemlock, bog blueberry, Labrador tea, crowberry and tufted club-rush. Small (<25 ft²) scattered stair-step pools with acidic, tannin-stained water may be present.

ND40 fw forested peatland

This AA satisfies the following criteria under WESPAK-SE_v1.4:

Nearly all the AA is moss-covered. Peat depth is usually 4 to 16 inches, and sometimes greater. Tree- and shrub canopy combined is greater than 30%, most often hemlock. The shrub layer is usually blueberry and menziesia. The forb layer often includes skunk cabbage. There is little or no open water and the unit is not in a floodplain.

**ND42 op open peatland**

This AA satisfies the following criteria under WESPAK-SE_v1.4:

Nearly all the AA is moss-covered (usually Sphagnum species). Peat depth is usually >16 inches. Tree cover is <5%, and cover of tall shrubs (>3ft) is <30%. Trees include shore pine, hemlock, bog blueberry, Labrador tea, crowberry and tufted club-rush. Small (<25 ft²) scattered stair-step pools with acidic, tannin-stained water may be present.



ND62 fw forested peatland

This AA satisfies the following criteria under WESPAK-SE_v1.4:

Nearly all the AA is moss-covered. Peat depth is usually 4 to 16 inches, and sometimes greater. Tree- and shrub canopy combined is greater than 30%, most often hemlock. The shrub layer is usually blueberry and menziesia. The forb layer often includes skunk cabbage. There is little or no open water and the unit is not in a floodplain.

ND70 op open peatland

This AA satisfies the following criteria under WESPAK-SE_v1.4:

Nearly all the AA is moss-covered (usually Sphagnum species). Peat depth is usually > 16 inches. Tree cover is < 5%, and cover of tall shrubs (> 3ft) is < 30%. Trees include shore pine, hemlock, bog blueberry, Labrador tea, crowberry and tufted club-rush. Small (< 25 ft²) scattered stair-step pools with acidic, tannin-stained water may be present.

Terms & acronyms

CBJ City and Borough of Juneau

JWMP Juneau Wetlands Management Plan

WESPAK-SE Wetland Ecosystem Services Protocol for Southeast Alaska

Wetland Assessment Areas (AAs) As defined by our partner Paul Adamus in the 2014 WESPAK-SE protocol (<http://southeastalaskalandtrust.org/wetland-mitigation-sponsor/wespak-se/>), these are units of fairly uniform hydrology, soils and vegetation, on which a standardized field assessment is conducted.

Priority Areas (PAs) Defined by CBJ; 72 units within which the AA surveys are conducted, ranked 1 through 4. To identify individual Priority Area units, we added 2 digits after the rank. For example, 1.17 is Priority rank 1, unit number 17.

Map pages, AA numbering convention Names for our individual Assessment Area units are grouped geographically by Priority Area map pages, in the January, 2014 JWMP RFP # 14-132, identified by 2-letter initials.

The CBJ map-page for this parcel is:

ND North Douglas

AA unit identification codes begin with these 2 letters followed by a 2-digit number. For example, ND70 is AA #70 within the North Douglas (ND) map page.

Subsheds Our name for small watersheds we delineated using fine LiDAR-derived contours from CBJ's 2013 data set and a stream-model-in-progress by Bruce Simonson.



SURVEYOR'S CERTIFICATE

I, JOSHUA IVANISZEK, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, THAT ALL DIMENSIONAL AND RELATIVE BEARINGS ARE CORRECT, AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.

DATED: _____, 2020

CURVE TABLE

CURVE	ARC LENGTH	RADIUS	Δ ANGLE	CHORD BEARING	CHORD LENGTH
C1	123.12	108.05	65°17'21"	S 74°15'17" W	116.57
C2	21.26	50.00	24°22'03"	N63°41'56"W	21.10
C3	55.24	50.00	63°17'46"	S76°50'12"W	52.47
C4	52.84	380.00	7°58'57"	S50°45'44"W	52.90
C5	101.92	110.00	53°05'20"	N64°04'57"E	98.32

VICINITY MAP

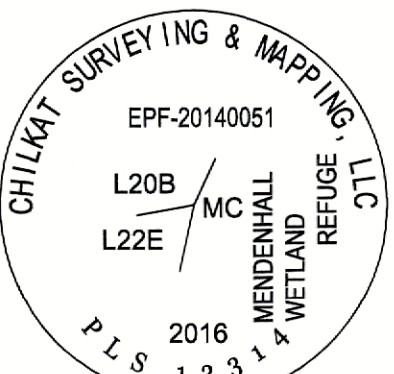
SCALE N.T.S.
SOURCE CBJ BASEMAP

LEGEND:

- GLO PRIMARY MONUMENT RECOVERED
- 12314-S PRIMARY MONUMENT SET THIS SURVEY
- 3088S SECONDARY MONUMENT RECOVERED
- 12314-S SECONDARY MONUMENT RECOVERED
- SECONDARY MONUMENT SET THIS SURVEY
- MONUMENT IDENTIFIER
- PROPERTY LINES
- UNSURVEYED LINES
- ACCESS & UTILITY EASEMENTS CREATED THIS PLAT
- DRAINAGE EASEMENT PLAT 84-110
- (N 45°11' W)R1 RECORD INFORMATION FROM US SURVEY 471
- (N45°04'15" W)R2 RECORD INFORMATION FROM PLAT No. 84-110



5/8" x 36" REBAR WITH
RED PLASTIC CAP



PRIMARY MONUMENT
2.5" x 30" ALUMINUM PIPE WITH 3.25"
DIAMETER ALUMINUM CAP WITH CLEAR
DEEP 1 MAGNET AT THE BASE

TYPICAL SET MONUMENT DETAIL

N.T.S.

RECEIVED

FEB 18 2020

Permit Center/CDD

1"=100'



PLAT OF
BLACKTAIL MOUNTAIN ESTATES
A SUBDIVISION OF
A FRACTION OF US SURVEY 471
WITHIN THE CITY AND BOROUGH OF JUNEAU, ALASKA
JUNEAU RECORDING DISTRICT

STATE RECORDER'S OFFICE AT ANCHORAGE

CHILKAT SURVEYING & MAPPING, LLC
10654 PORTER LANE JUNEAU, ALASKA 99801
907-957-1908

OWNERS
PETER PEEL
800 6TH STREET JUNEAU, AK 99801
CREATIVE DEVELOPMENT, LLC
PO BOX 032076 JUNEAU, ALASKA 99803

SCALE:
1" = 100'

DATE:
09 JANUARY 2020

SHEET NO.
1 OF 2

NOTES:

- 1) THE ERROR OF CLOSURE OF THIS SURVEY DOES NOT EXCEED 1:10000.
- 2) ALL DISTANCES ARE MEASURED IN U.S. SURVEY FEET.
- 3) RECORD INFORMATION DERIVED FROM THE OFFICIAL PLAT OF US SURVEY 471, DATED 11 NOVEMBER 1915; US SURVEY 1762, DATED 22 SEPTEMBER 1927; US SURVEY 3174, DATED 25 JULY 19532; US SURVEY 3272 DATED 18 AUGUST 1953; US SURVEY 3559 DATED 19 JULY 1961; BONNIE BRAE ESTATES UNIT No. I DATED 10 JULY 1984 PLAT No. 81-47; BONNIE BRAE ESTATES UNIT NO. II DATED 10 JULY 1984 PLAT NO. 84-110; PLAT OF LOT 4A & LOT 4B A SUBDIVISION OF LOT 4, BLOCK H BONNIE BRAE SUBDIVISION II DATED JANUARY 85 PLAT No. 85-18W; AS BUILT PLAT OF LOT 3A & LOT 3B A SUBDIVISION OF LOT 3, BLOCK F BONNIE BRAE SUBDIVISION II DATED JANUARY 85 PLAT NO. 85-30W; LOT 3, INTO LOTS 3-A & 3-B, BLOCK H BLOCK H, BONNIE BRAE ESTATES SUBDIVISION UNIT NO. II DATED 7 MAY 1987 PLAT NO. 87-12; LOT 2, INTO LOTS 2-A & 2-B, BLOCK H BLOCK H, BONNIE BRAE ESTATES SUBDIVISION UNIT NO. II DATED 7 MAY 1987 PLAT NO. 87-13; JUNEAU RECORDING DISTRICT.
- 4) WHERE DIFFERENT FORM MEASURED OR CALCULATED RECORD DIMENSIONS ARE SHOWN IN PARENTHESES.
- 5) DOMESTIC WATER & SANITARY SEWER PROVIDED BY THE CITY AND BOROUGH OF JUNEAU PUBLIC UTILITIES.
- 6) SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
- 7) THE STORMWATER RUNOFF IS ACCEPTABLE PER DRAINAGE PLAN BLACKTAIL MOUNTAIN ESTATES SUBDIVISION APPROVED FOR CONSTRUCTION. ALL REQUIRED BLACKTAIL MOUNTAIN ESTATES SUBDIVISION IMPROVEMENTS, INCLUDING SURFACE DRAINAGE, DRIVEWAYS AND ROADSIDE DRAINAGE SHALL BE CONSTRUCTED PRIOR TO FINAL ACCEPTANCE FOR MAINTENANCE BY CBJ PUBLIC WORKS. MODIFICATIONS TO THE APPROVED PLANS WILL NOT BE ALLOWED UNLESS PERMITTED BY CBJ ENGINEERING PURSUANT TO CHAPTER 19.12.120 BEST MANAGEMENT PRACTICES.
- 8) WETLANDS MAY EXIST ON PARTS OF THE SUBDIVISION. SPECIAL REGULATIONS MAY APPLY.

BASIS OF BEARING

THE BASIS OF BEARING FOR THIS PLAT IS THE RECORD BEARING OF S 00°02'00" W BETWEEN FOUND G.L.O. BRASS CAP MONUMENTS, DETAILED THIS PLAT, WHICH MARK CORNER 3 US SURVEY 471 AND CORNER 1, US SURVEY 3559, AS DEPICTED UPON BONNIE BRAE UNIT II PLAT 84-110 DATED 23 JULY 1984, ON FILE AT THE OFFICE OF THE RECORDER, JUNEAU RECORDING DISTRICT, ANCHORAGE, ALASKA.

OWNERSHIP CERTIFICATE:

I HEREBY CERTIFY THAT I AM THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I HEREBY ADOPT THIS PLAT OF SUBDIVISION WITH OUR FREE CONSENT, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE: _____, 2020

PETER PEEL

NOTARY ACKNOWLEDGEMENT:

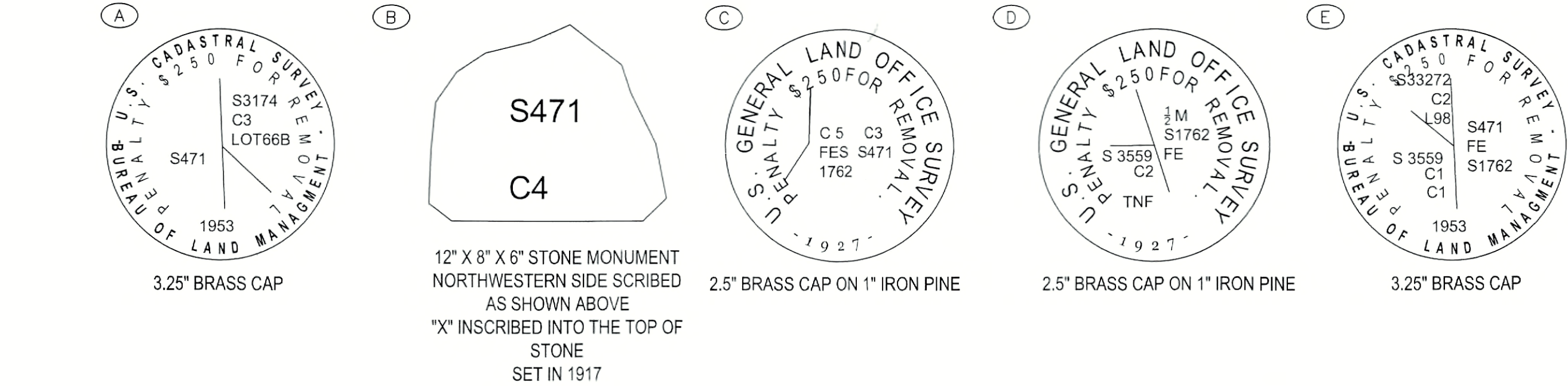
UNITED STATES OF AMERICA)
) SS
STATE OF ALASKA)

THIS IS TO CERTIFY THAT ON THIS _____ DAY OF _____, 2020, BEFORE ME THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED PETER PEEL TO ME KNOWN TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE ABOVE AND FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY SIGNED AND SEALED THE SAME FREELY AND VOLUNTARY FOR THE USES AND PURPOSES THEREIN MENTIONED AUTHORIZED TO DO SO.

WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

NOTARY PUBLIC FOR ALASKA

MY COMMISSION EXPIRES: _____



RECOVERED MONUMENT DETAILS

N.T.S.

PLANNING COMMISSION PLAT APPROVAL

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF THE CITY AND BOROUGH OF JUNEAU, ALASKA AND THAT SAID PLAT HAS BEEN APPROVED BY THE PLANNING COMMISSION BY PLAT RESOLUTION NO. _____, DATED _____, 2020 _____, AND THAT THE PLAT SHOWN HEREON HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE DISTRICT RECORDING OFFICE, JUNEAU, ALASKA.

_____, DATED _____, 2020

CHAIRMAN OF THE PLANNING COMMISSION
CITY AND BOROUGH OF JUNEAU

ATTEST:

MUNICIPAL CLERK
CITY AND BOROUGH OF JUNEAU

CORPORATE OWNERSHIP CERTIFICATE:

I HEREBY CERTIFY THAT CREATIVE DEVELOPMENT, INC IS THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HERON AND THAT I, AS PRESIDENT, HEREBY ADOPT THIS PLAT OF SUBDIVISION WITH MY FREE CONSENT, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO THE PUBLIC OR PRIVATE USE AS NOTED.

DATE: _____, 2020

BRUCE GRIGGS, PRESIDENT
CREATIVE DEVELOPMENT, INC

NOTARY ACKNOWLEDGEMENT:

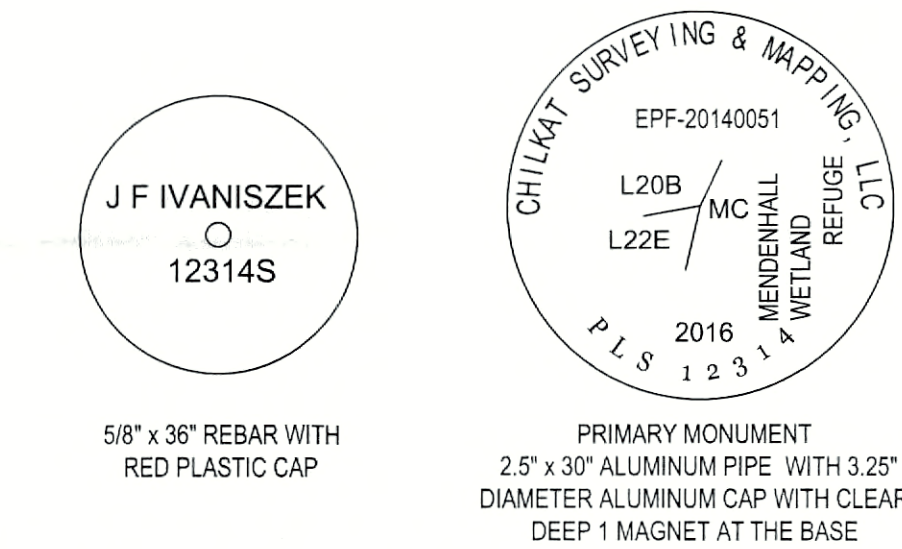
UNITED STATES OF AMERICA)
))
) SS
STATE OF ALASKA)

THIS IS TO CERTIFY THAT ON THIS _____ DAY OF _____, 2020, BEFORE ME THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED BRUCE GRIGGS, TO ME KNOWN AND KNOWN TO ME TO BE THE PERSON HE REPRESENTS HIMSELF TO BE AND THE PRESIDENT OF CREATIVE DEVELOPMENT, INC WHO ACKNOWLEDGED TO ME THAT HE EXECUTED THE FOREGOING INSTRUMENT AS THE FREE ACT AND DEED OF THE SAID CORPORATION FOR THE PURPOSES THEREIN MENTIONED, BEING FULLY AUTHORIZED TO DO SO.

WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

NOTARY PUBLIC FOR ALASKA

MY COMMISSION EXPIRES: _____



TYPICAL SET MONUMENT DETAIL

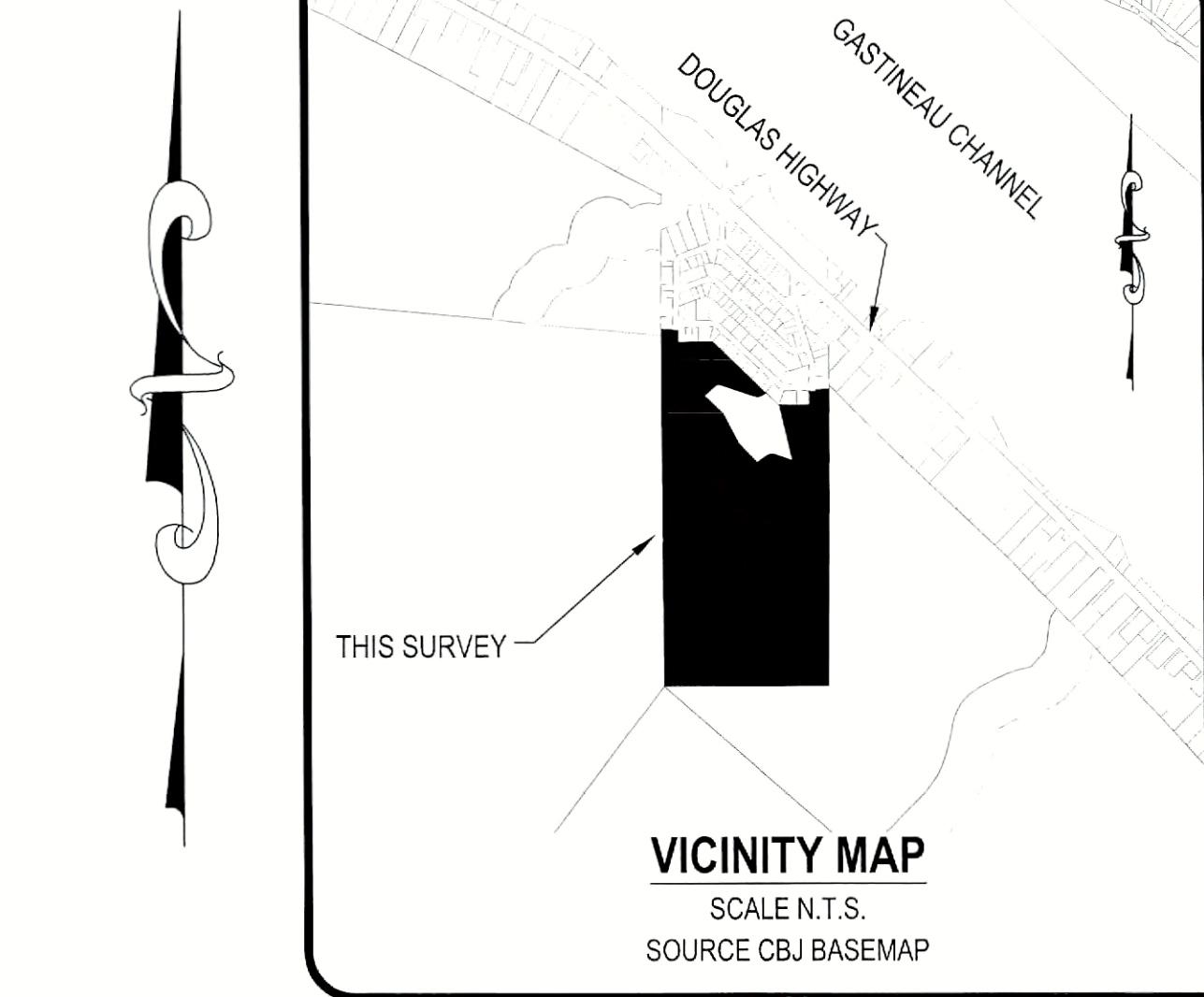
N.T.S.



SURVEYOR'S CERTIFICATE

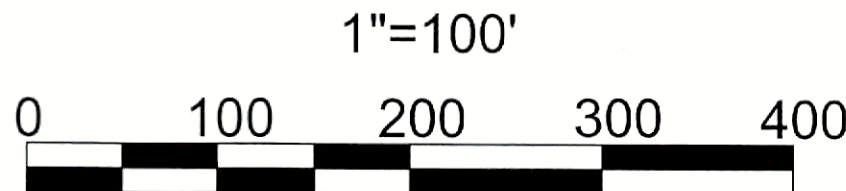
I, JOSHUA IVANISZEK, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, THAT ALL DIMENSIONAL AND RELATIVE BEARINGS ARE CORRECT, AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.

DATED: _____, 2020



LEGEND:

- GLO PRIMARY MONUMENT RECOVERED
- 12314-S PRIMARY MONUMENT SET THIS SURVEY
- 3088S SECONDARY MONUMENT RECOVERED
- 12314-S SECONDARY MONUMENT RECOVERED
- SECONDARY MONUMENT SET THIS SURVEY
- MONUMENT IDENTIFIER
- PROPERTY LINES
- UNSURVEYED LINES
- ACCESS & UTILITY EASEMENTS CREATED THIS PLAT
- DRAINAGE EASEMENT PLAT 84-110
- RECORD INFORMATION FROM US SURVEY 471
- RECORD INFORMATION FROM PLAT No. 84-110



PLAT OF
BLACKTAIL MOUNTAIN ESTATES
A SUBDIVISION OF
A FRACTION OF US SURVEY 471
WITHIN THE CITY AND BOROUGH OF JUNEAU, ALASKA
JUNEAU RECORDING DISTRICT

STATE RECORDER'S OFFICE AT ANCHORAGE

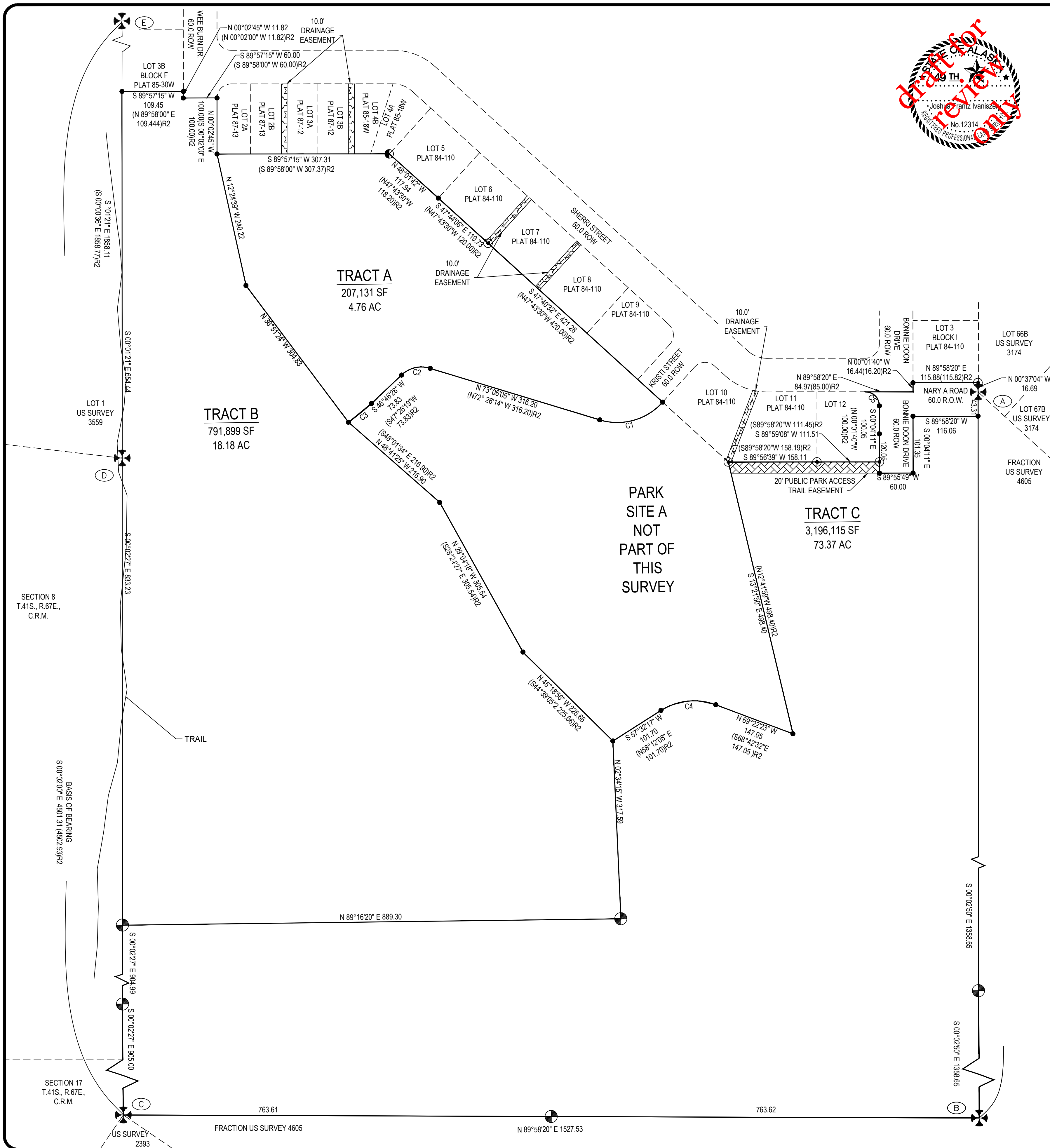
CHILKAT SURVEYING & MAPPING, LLC
10654 PORTER LANE JUNEAU, ALASKA 99801
907-957-1908

OWNERS
PETER PEEL CREATIVE DEVELOPMENT, LLC
800 6TH STREET JUNEAU, AK 99801 PO BOX 032076 JUNEAU, ALASKA 99803

SCALE:
1" = 100'

DATE:
09 JANUARY 2020

SHEET NO.
2 OF 2



SURVEYOR'S CERTIFICATE

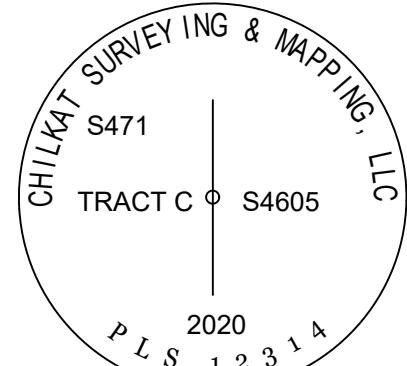
I, JOSHUA IVANISZEK, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, THAT ALL DIMENSIONAL AND RELATIVE BEARINGS ARE CORRECT, AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.

DATED: _____, 2021

CURVE ARC LENGTH		RADIUS	CURVE TABLE		CHORD LENGTH
C1	123.12		Δ ANGLE	CHORD BEARING	
C2	55.24 (52.47)R2	50.00	65°17'21"R2 (65°17'16")R2	S 74°15'17" W (N 74°55'08" W)R2	116.57
C3	52.94 (52.90)R2	380.00	63°17'46" (60°07'27")R2	S 76°50'12" W (N 77°30'03" E)R2	52.47
C4	101.92	110.00	7°58'57" (7°58'34")R2	S 50°45'44" W (N 51°25'35" E)R2	52.90
C5	39.23 (39.27)R2	25.00	53°05'20" (89°58'20" E (90°)R2	N 84°04'57" E (N 84°44'48" W) R2 S 45°00'08" E (N 45°01'40" W)R2	98.32 (98.31)R2 35.33 (35.35)R2



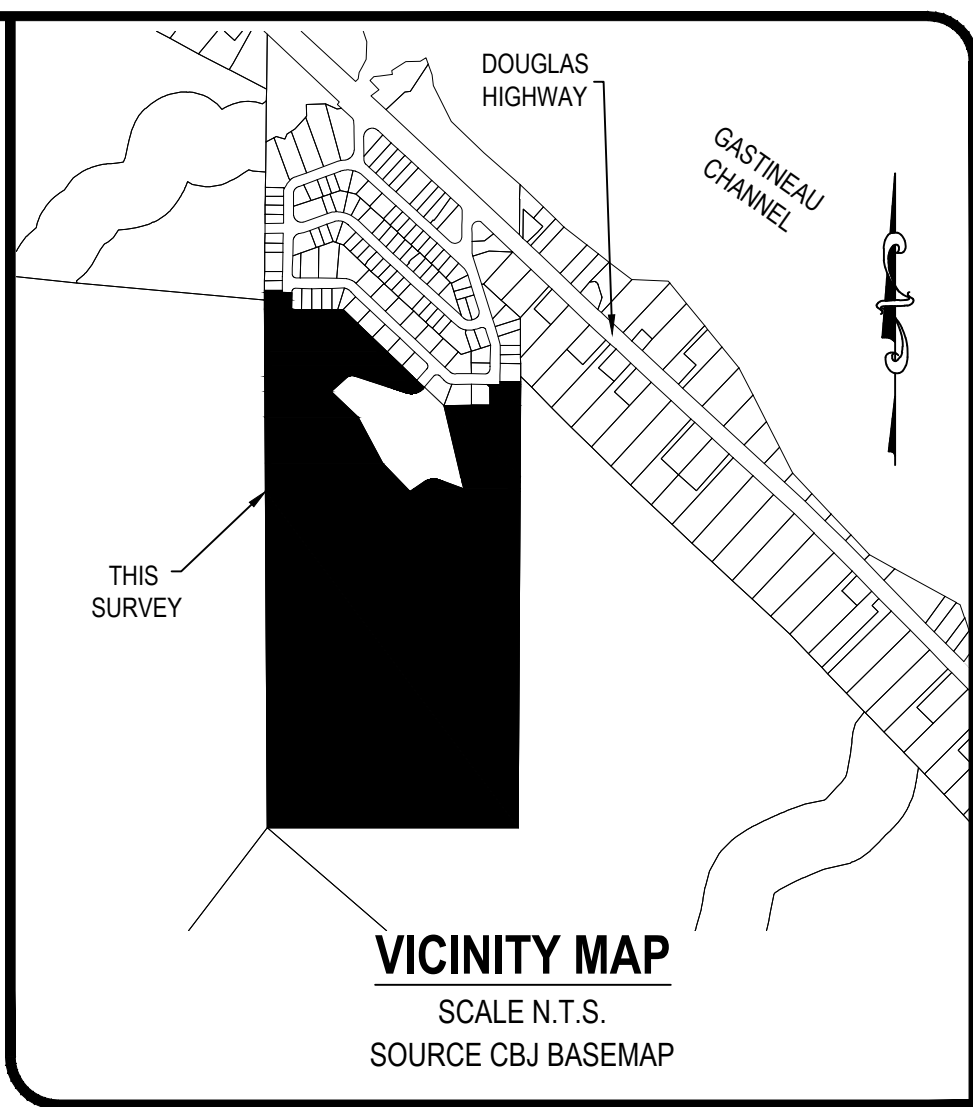
5/8" x 3/6" REBAR WITH
RED PLASTIC CAP



PRIMARY MONUMENT
2.5" x 30" ALUMINUM PIPE WITH 3.25"
DIAMETER ALUMINUM CAP WITH CLEAR
DEEP 1 MAGNET AT THE BASE

TYPICAL SET MONUMENT DETAIL

N.T.S.

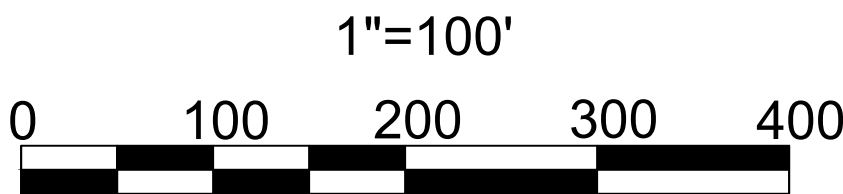


VICINITY MAP

SCALE N.T.S.
SOURCE CBJ BASEMAP

LEGEND:

- GLO PRIMARY MONUMENT RECOVERED
- 12314-S PRIMARY MONUMENT SET THIS SURVEY
- 3088S SECONDARY MONUMENT RECOVERED
- 12314-S SECONDARY MONUMENT RECOVERED
- SECONDARY MONUMENT SET THIS SURVEY
- MONUMENT IDENTIFIER
- PROPERTY LINES
- UNSURVEYED LINES
- 20' PARK ACCESS EASEMENT CREATED THIS PLAT
- DRAINAGE EASEMENT PLAT 84-110
- (N 45°11' W)R1 RECORD INFORMATION FROM US SURVEY 471
- (N 45°04'15" W)R2 RECORD INFORMATION FROM PLAT No. 84-110
- (S 00°04'E)R3 RECORD INFORMATION FROM US SURVEY 4605



PLAT OF
BLACKTAIL MOUNTAIN ESTATES
A SUBDIVISION OF
A FRACTION OF US SURVEY 471
WITHIN THE CITY AND BOROUGH OF JUNEAU, ALASKA
JUNEAU RECORDING DISTRICT

STATE RECORDER'S OFFICE AT ANCHORAGE

CHILKAT SURVEYING & MAPPING, LLC
10654 PORTER LANE JUNEAU, ALASKA 99801
907-957-1908

OWNERS

PETER PEEL
800 6TH STREET JUNEAU, AK 99801

CREATIVE DEVELOPMENT, LLC
PO BOX 032076 JUNEAU, ALASKA 99803

SCALE:
1" = 100'

MIP 20200004

DATE:
23 MARCH 2021

SHEET NO.
1 OF 2

NOTES:

- 1) THE ERROR OF CLOSURE OF THIS SURVEY DOES NOT EXCEED 1:10000.
- 2) ALL DISTANCES ARE MEASURED IN U.S. SURVEY FEET.
- 3) RECORD INFORMATION DERIVED FROM THE OFFICIAL PLAT OF US SURVEY 471, DATED 11 NOVEMBER 1915; US SURVEY 1762, DATED 22 SEPTEMBER 1927; US SURVEY 3174, DATED 25 JULY 1953; US SURVEY 3272 DATED 18 AUGUST 1953; US SURVEY 3559 DATED 19 JULY 1961; BONNIE BRAE ESTATES UNIT No. I DATED 10 JULY 1984 PLAT No. 81-47; BONNIE BRAE ESTATES UNIT NO. II DATED 10 JULY 1984 PLAT NO. 84-110; PLAT OF LOT 4A & LOT 4B A SUBDIVISION OF LOT 4, BLOCK H BONNIE BRAE SUBDIVISION II DATED JANUARY 85 PLAT No. 85-18W; AS BUILT PLAT OF LOT 3A & LOT 3B A SUBDIVISION OF LOT 3, BLOCK F BONNIE BRAE SUBDIVISION II DATED JANUARY 85 PLAT NO. 85-30W; LOT 3, INTO LOTS 3-A & 3-B, BLOCK H, BONNIE BRAE ESTATES SUBDIVISION UNIT NO. II DATED 7 MAY 1987 PLAT NO. 87-12; A SUBDIVISION OF LOT 2 INTO LOTS 2-A & 2-B, BLOCK H, BONNIE BRAE ESTATES SUBDIVISION UNIT NO. II DATED 7 MAY 1987 PLAT NO. 87-13: JUNEAU RECORDING DISTRICT.
- 4) WHERE DIFFERENT FORM MEASURED OR CALCULATED RECORD DIMENSIONS ARE SHOWN IN PARENTHESES.
- 5) DOMESTIC WATER & SANITARY SEWER PROVIDED BY THE CITY AND BOROUGH OF JUNEAU PUBLIC UTILITIES.
- 6) SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
- 7) THE STORMWATER RUNOFF IS ACCEPTABLE PER DRAINAGE PLAN BLACKTAIL MOUNTAIN ESTATES SUBDIVISION APPROVED FOR CONSTRUCTION. ALL REQUIRED BLACKTAIL MOUNTAIN ESTATES SUBDIVISION IMPROVEMENTS, INCLUDING SURFACE DRAINAGE, DRIVEWAYS AND ROADSIDE DRAINAGE SHALL BE CONSTRUCTED PRIOR TO FINAL ACCEPTANCE FOR MAINTENANCE BY CBJ PUBLIC WORKS. MODIFICATIONS TO THE APPROVED PLANS WILL NOT BE ALLOWED UNLESS PERMITTED BY CBJ ENGINEERING PURSUANT TO CHAPTER 19.12 EXCAVATION AND GRADING CODE.
- 8) WETLANDS MAY EXIST ON PARTS OF THE SUBDIVISION. SPECIAL REGULATIONS MAY APPLY.

BASIS OF BEARING

THE BASIS OF BEARING FOR THIS PLAT IS THE RECORD BEARING OF S 00°02'00" W BETWEEN FOUND G.L.O. BRASS CAP MONUMENTS, DETAILED THIS PLAT, WHICH MARK CORNER 3 US SURVEY 471 AND CORNER 1, US SURVEY 3559, AS DEPICTED UPON BONNIE BRAE UNIT II PLAT 84-110 DATED 23 JULY 1984, ON FILE AT THE OFFICE OF THE RECORDER, JUNEAU RECORDING DISTRICT, ANCHORAGE, ALASKA.

OWNERSHIP CERTIFICATE:

I HEREBY CERTIFY THAT I AM THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I HEREBY ADOPT THIS PLAT OF SUBDIVISION WITH OUR FREE CONSENT, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE: _____, 2021

PETER PEEL

NOTARY ACKNOWLEDGEMENT:

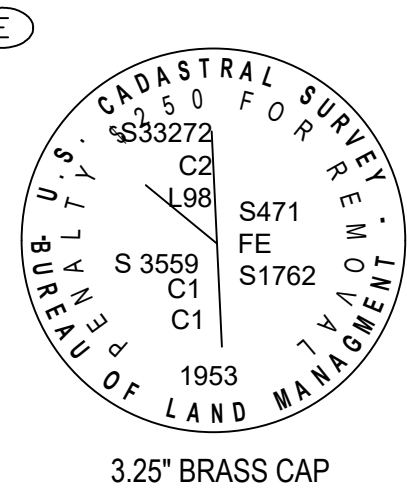
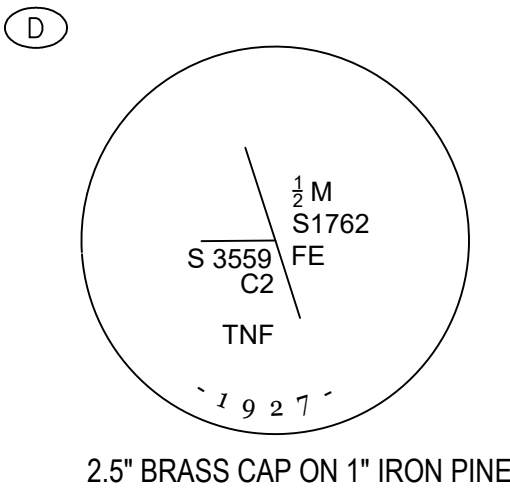
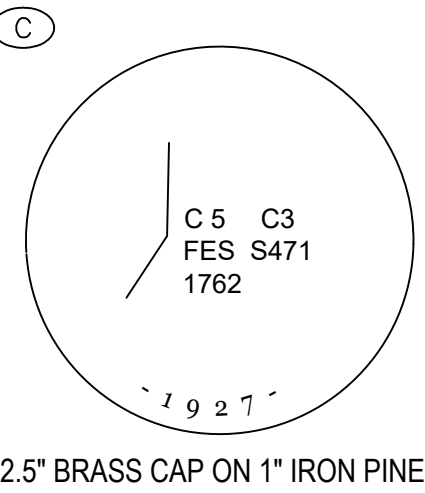
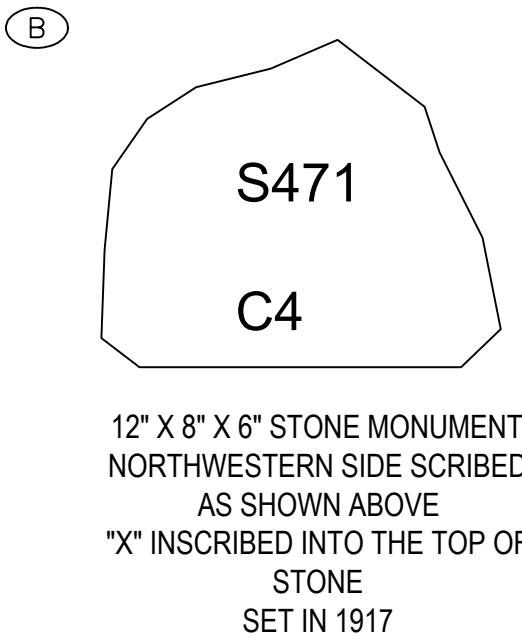
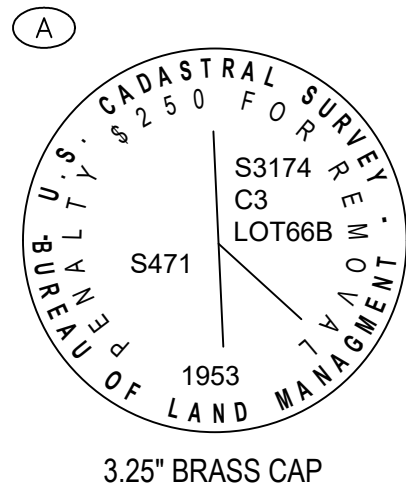
UNITED STATES OF AMERICA)
)SS
STATE OF ALASKA)

THIS IS TO CERTIFY THAT ON THIS _____ DAY OF _____, 2021, BEFORE ME THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED PETER PEEL TO ME KNOWN TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE ABOVE AND FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY SIGNED AND SEALED THE SAME FREELY AND VOLUNTARY FOR THE USES AND PURPOSES THEREIN MENTIONED AUTHORIZED TO DO SO.

WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

NOTARY PUBLIC FOR ALASKA

MY COMMISSION EXPIRES: _____



RECOVERED MONUMENT DETAILS

N.T.S.

COMMUNITY DEVELOPMENT DEPARTMENT PLAT APPROVAL

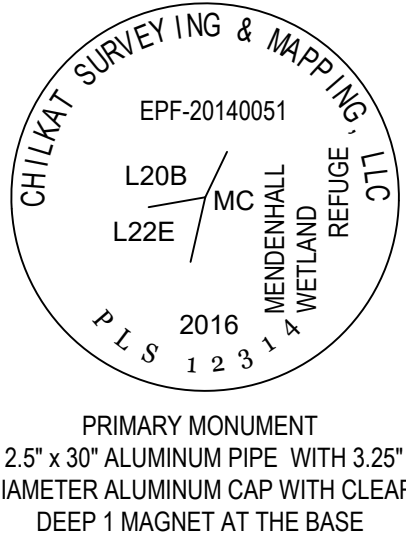
I HEREBY CERTIFY THAT THE PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU AND IS APPROVED BY THE CITY AND BOROUGH OF JUNEAU, DEPARTMENT OF COMMUNITY DEVELOPMENT, FOR RECORDING IN THE OFFICE OF THE JUNEAU RECORDING DISTRICT, ANCHORAGE, ALASKA.

DATED _____, 2021

JILL MACLEAN, DIRECTOR, COMMUNITY DEVELOPMENT
DEPARTMENT CITY AND BOROUGH OF JUNEAU

ATTEST:

MUNICIPAL CLERK, CITY AND BOROUGH OF JUNEAU



TYPICAL SET MONUMENT DETAIL

N.T.S.

CORPORATE OWNERSHIP CERTIFICATE:

I HEREBY CERTIFY THAT CREATIVE DEVELOPMENT, INC IS THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HERON AND THAT I , AS PRESIDENT, HEREBY ADOPT THIS PLAT OF SUBDIVISION WITH MY FREE CONSENT, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO THE PUBLIC OR PRIVATE USE AS NOTED.

DATE: _____, 2021

BRUCE GRIGGS, PRESIDENT
CREATIVE DEVELOPMENT, INC

NOTARY ACKNOWLEDGEMENT:

UNITED STATES OF AMERICA)
)
)SS
STATE OF ALASKA)

THIS IS TO CERTIFY THAT ON THIS _____ DAY OF _____, 2021, BEFORE ME THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED BRUCE GRIGGS, TO ME KNOWN AND KNOWN TO ME TO BE THE PERSON HE REPRESENTS HIMSELF TO BE AND THE PRESIDENT OF CREATIVE DEVELOPMENT, INC WHO ACKNOWLEDGED TO ME THAT HE EXECUTED THE FOREGOING INSTRUMENT AS THE FREE ACT AND DEED OF THE SAID CORPORATION FOR THE PURPOSES THEREIN MENTIONED, BEING FULLY AUTHORIZED TO DO SO.

WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

NOTARY PUBLIC FOR ALASKA

MY COMMISSION EXPIRES:

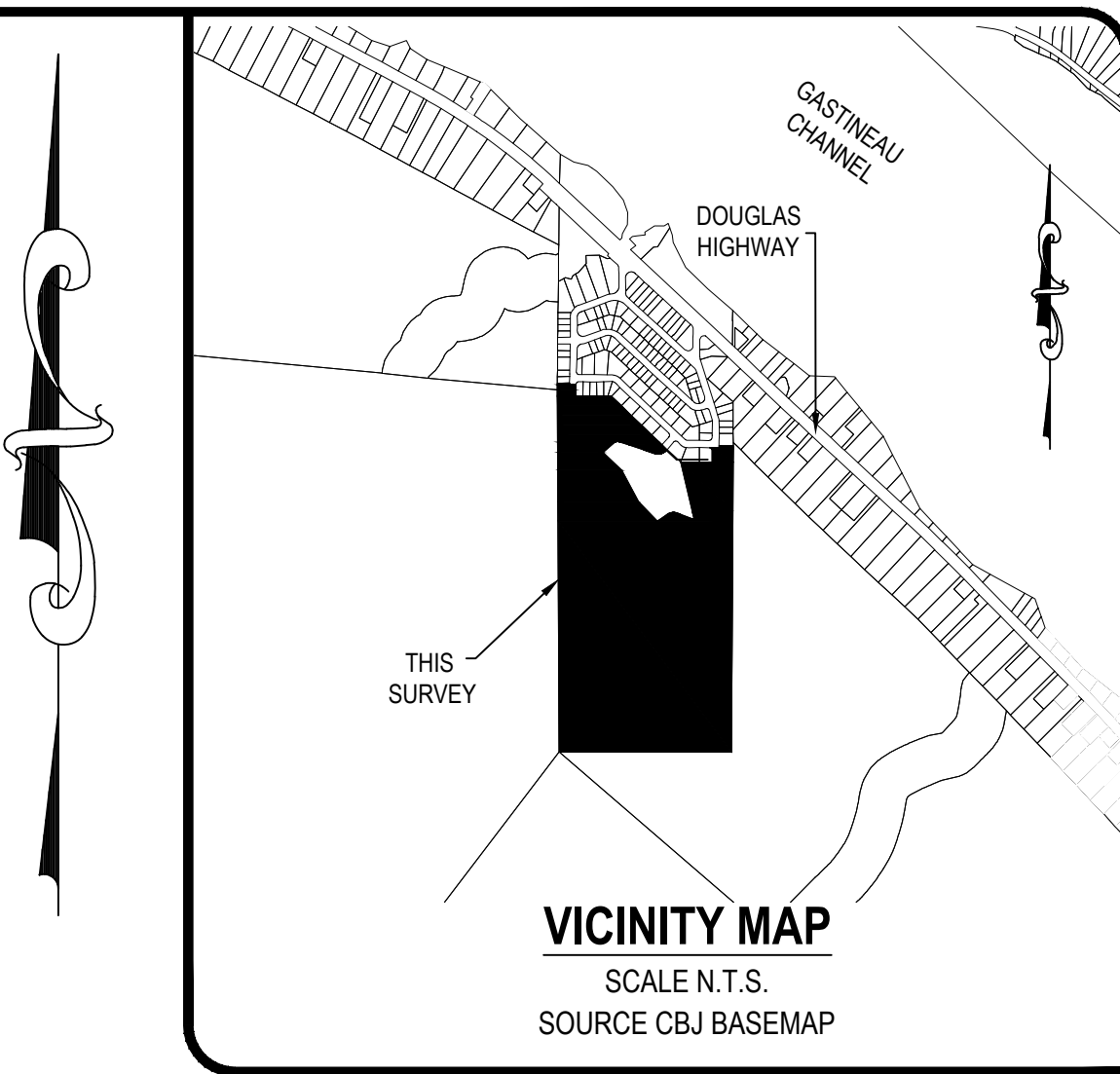


SURVEYOR'S CERTIFICATE

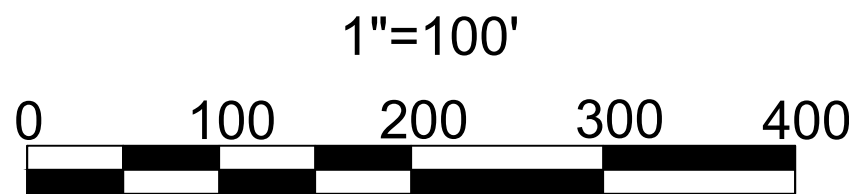
I, JOSHUA IVANISZEK, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, THAT ALL DIMENSIONAL AND RELATIVE BEARINGS ARE CORRECT, AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.

DATED: _____, 2021

- GLO PRIMARY MONUMENT RECOVERED
- 12314-S PRIMARY MONUMENT SET THIS SURVEY
- 3088S SECONDARY MONUMENT RECOVERED
- 12314-S SECONDARY MONUMENT RECOVERED
- SECONDARY MONUMENT SET THIS SURVEY
- MONUMENT IDENTIFIER
- PROPERTY LINES
- UNSURVEYED LINES
- 10' ACCESS EASEMENT CREATED THIS PLAT
- DRAINAGE EASEMENT PLAT 84-110
- (N 45°11' W)R1 RECORD INFORMATION FROM US SURVEY 471
-



LEGEND:



PLAT OF
BLACKTAIL MOUNTAIN ESTATES
A SUBDIVISION OF
A FRACTION OF US SURVEY 471
WITHIN THE CITY AND BOROUGH OF JUNEAU, ALASKA
JUNEAU RECORDING DISTRICT

STATE RECORDER'S OFFICE AT ANCHORAGE

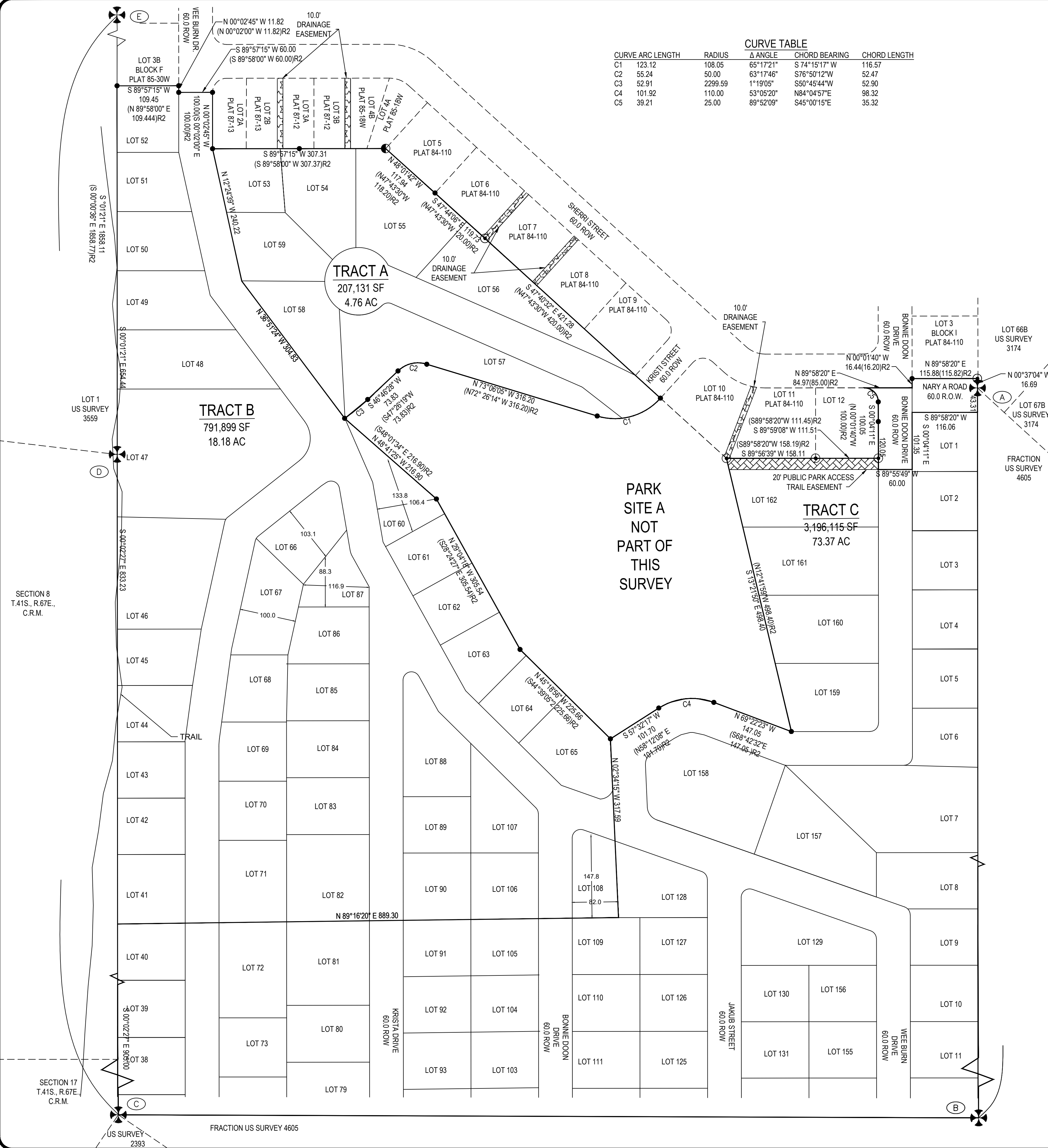
CHILKAT SURVEYING & MAPPING, LLC
10654 PORTER LANE JUNEAU, ALASKA 99801
907-957-1908

OWNERS
PETER PEEL CREATIVE DEVELOPMENT, LLC
800 6TH STREET JUNEAU, AK 99801 PO BOX 032076 JUNEAU, ALASKA 99803

SCALE:
1" = 100'

DATE:
23 MARCH 2021

SHEET NO.
2 OF 2



CURVE TABLE

CURVE	ARC LENGTH	RADIUS	Δ ANGLE	CHORD BEARING	CHORD LENGTH
C1	123.12	108.05	65°17'21"	S 74°15'17" W	116.57
C2	55.24	50.00	63°17'46"	S 76°50'12" W	52.47
C3	52.91	2299.59	1°19'05"	S 50°45'44" W	52.90
C4	101.92	110.00	53°05'20"	N 84°04'57" E	98.32
C5	39.21	25.00	89°52'09"	S 45°00'15" E	35.32

NOTES:

1) THE ERROR OF CLOSURE OF THIS SURVEY DOES NOT EXCEED 1:10000.

2) ALL DISTANCES ARE MEASURED IN U.S. SURVEY FEET.

3) RECORD INFORMATION DERIVED FROM THE OFFICIAL PLAT OF US SURVEY 471, DATED 11 NOVEMBER 1915; US SURVEY 1762, DATED 22 SEPTEMBER 1927; US SURVEY 3174, DATED 25 JULY 19532; US SURVEY 3272 DATED 18 AUGUST 1953; US SURVEY 3559 DATED 19 JULY 1961; BONNIE BRAE ESTATES UNIT No. I DATED 10 JULY 1984 PLAT No. 81-47; BONNIE BRAE ESTATES UNIT No. II DATED 10 JULY 1984 PLAT No. 84-110; PLAT OF LOT 4A & LOT 4B A SUBDIVISION OF LOT 4, BLOCK H BONNIE BRAE SUBDIVISION II DATED JANUARY 85 PLAT No. 85-18W; AS BUILT PLAT OF LOT 3A & LOT 3B A SUBDIVISION OF LOT 3, BLOCK F BONNIE BRAE SUBDIVISION II DATED JANUARY 85 PLAT No. 85-30W; LOT 3, INTO LOTS 3-A & 3-B, BLOCK H BLOCK H, BONNIE BRAE ESTATES SUBDIVISION UNIT No. II DATED 7 MAY 1987 PLAT No. 87-12; LOT 2, INTO LOTS 2-A & 2-B, BLOCK H BLOCK H, BONNIE BRAE ESTATES SUBDIVISION UNIT No. II DATED 7 MAY 1987 PLAT No. 87-13: JUNEAU RECORDING DISTRICT.

4) WHERE DIFFERENT FORM MEASURED OR CALCULATED RECORD DIMENSIONS ARE SHOWN IN PARENTHESES.

5) DOMESTIC WATER & SANITARY SEWER PROVIDED BY THE CITY AND BOROUGH OF JUNEAU PUBLIC UTILITIES.

6) SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

7) THE STORMWATER RUNOFF IS ACCEPTABLE PER DRAINAGE PLAN BLACKTAIL MOUNTAIN ESTATES SUBDIVISION APPROVED FOR CONSTRUCTION. ALL REQUIRED BLACKTAIL MOUNTAIN ESTATES SUBDIVISION IMPROVEMENTS, INCLUDING SURFACE DRAINAGE, DRIVEWAYS AND ROADSIDE DRAINAGE SHALL BE CONSTRUCTED PRIOR TO FINAL ACCEPTANCE FOR MAINTENANCE BY CBJ PUBLIC WORKS. MODIFICATIONS TO THE APPROVED PLANS WILL NOT BE ALLOWED UNLESS PERMITTED BY CBJ ENGINEERING PURSUANT TO CHAPTER 19.12.120 EXCAVATION AND GRADING CODE.

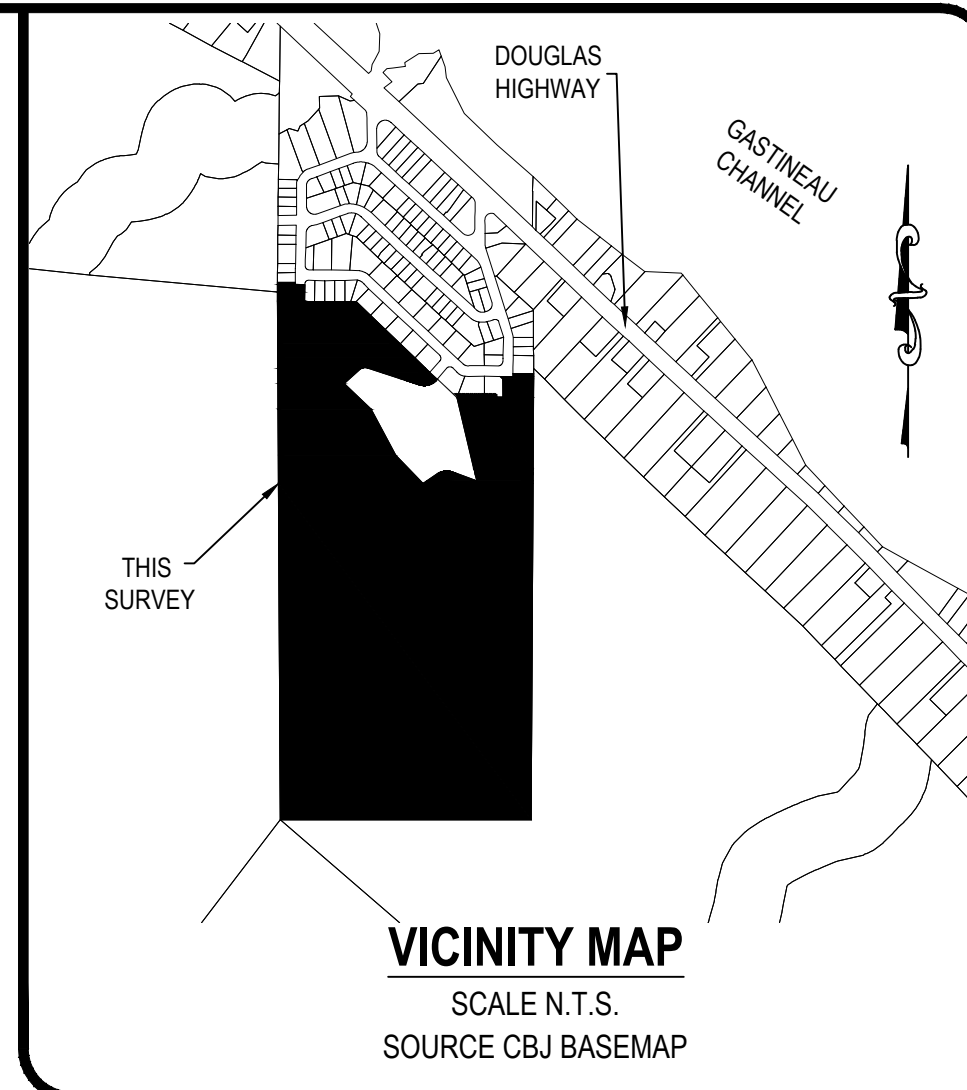
8) WETLANDS MAY EXIST ON PARTS OF THE SUBDIVISION. SPECIAL REGULATIONS MAY APPLY.

9) 179 LOTS MEET THE MINIMUM REQUIREMENTS FOR D-3 ZONING OF 12,000SF, 100 MINIMUM WIDTH, AND 100 FOOT MINIMUM DEPTH.

10) LOTS 60, 87 AND 108 ARE BUNGALOW LOTS. MEETING REQUIRED MINIMUM LOT WIDTH OF 50 FEET AND MINIMUM LOT DEPTH OF 100 FEET AT THE TIME OF SKETCH PLAT REVIEW, STRUCTURES ON THESE LOTS WOULD BE LIMITED TO ONE 1,000 SQUARE FOOT DETACHED SINGLE-FAMILY RESIDENCE PER LOT; OTHER DEVELOPMENT RESTRICTIONS WOULD APPLY. SEE THE CITY AND BOROUGH OF JUNEAU LAND USE CODE FOR CURRENT REGULATIONS.

BASIS OF BEARING

THE BASIS OF BEARING FOR THIS PLAT IS THE RECORD BEARING OF S 00°02'00" W BETWEEN FOUND G.L.O. BRASS CAP MONUMENTS, DETAILED THIS PLAT, WHICH MARK CORNER 3 US SURVEY 471 AND CORNER 1, US SURVEY 3559, AS DEPICTED UPON BONNIE BRAE UNIT II PLAT 84-110 DATED 23 JULY 1984, ON FILE AT THE OFFICE OF THE RECORDER, JUNEAU RECORDING DISTRICT, ANCHORAGE, ALASKA.



LEGEND:

- GLO PRIMARY MONUMENT RECOVERED
- 12314-S PRIMARY MONUMENT SET THIS SURVEY
- 3088S SECONDARY MONUMENT RECOVERED
- 12314-S SECONDARY MONUMENT RECOVERED
- SECONDARY MONUMENT SET THIS SURVEY
- MONUMENT IDENTIFIER
- PROPERTY LINES
- UNSURVEYED LINES
- 10' ACCESS EASEMENT CREATED THIS PLAT
- DRAINAGE EASEMENT PLAT 84-110
- (N 45°11' W)R1 RECORD INFORMATION FROM US SURVEY 471
- (N 45°04'15" W)R2 RECORD INFORMATION FROM PLAT No. 84-110
- (S 00°04'E)R3 RECORD INFORMATION FROM US SURVEY 4605

RECEIVED

By Irene Gallion at 12:38 pm, Mar 24, 2021

1"=100'



"SKETCH" PLAT OF
BLACKTAIL MOUNTAIN ESTATES
A SUBDIVISION OF
A FRACTION OF US SURVEY 471
WITHIN THE CITY AND BOROUGH OF JUNEAU, ALASKA
JUNEAU RECORDING DISTRICT

STATE RECORDER'S OFFICE AT ANCHORAGE

CHILKAT SURVEYING & MAPPING, LLC
10654 PORTER LANE JUNEAU, ALASKA 99801
907-957-1908

OWNERS

PETER PEEL
800 6TH STREET JUNEAU, AK 99801

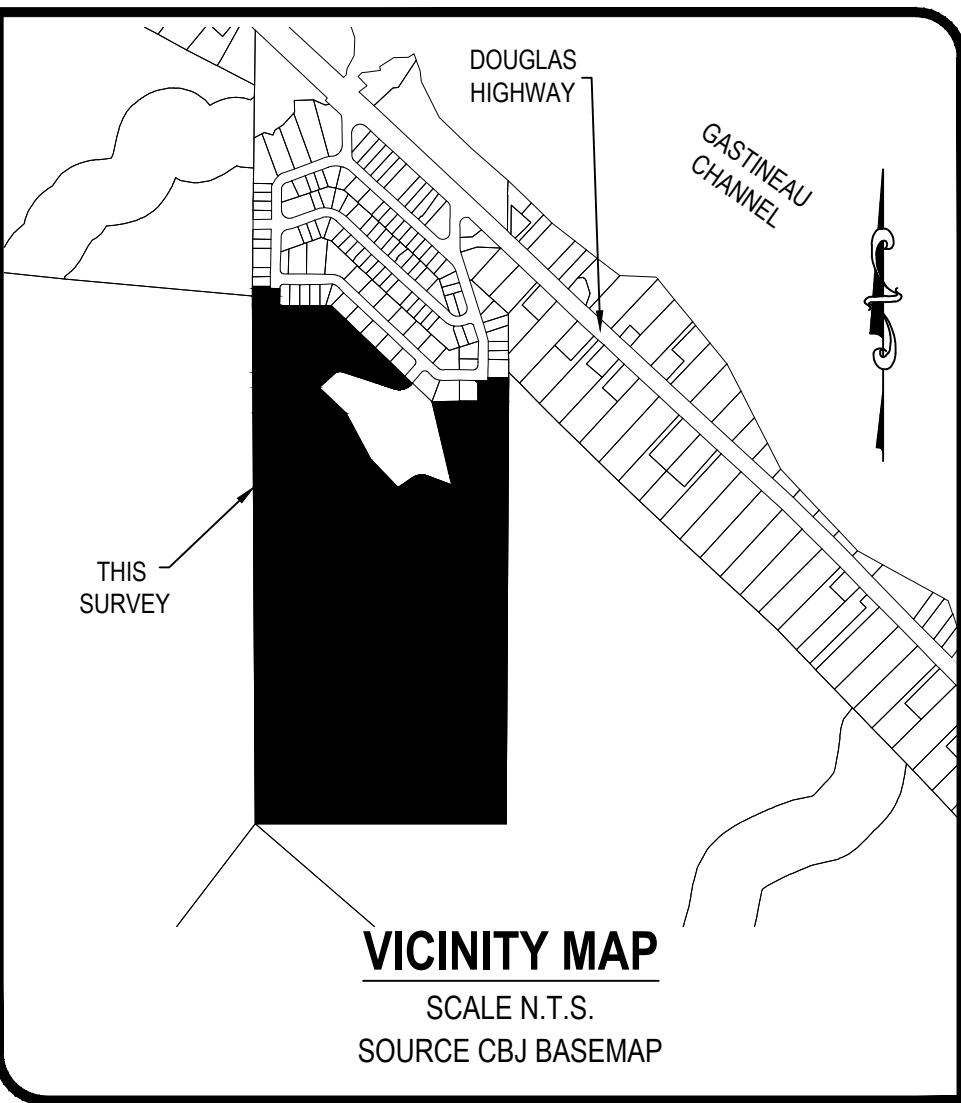
CREATIVE DEVELOPMENT, LLC
PO BOX 032076 JUNEAU, ALASKA 99803

SCALE:
1" = 100'

MIP 20200004

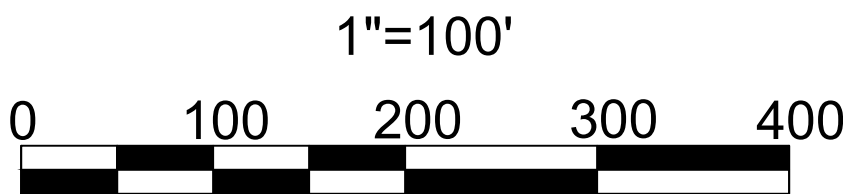
DATE:
23 MARCH 2021

SHEET NO.
1 OF 2



LEGEND:

- GLO PRIMARY MONUMENT RECOVERED
- 12314-S PRIMARY MONUMENT SET THIS SURVEY
- 3088S SECONDARY MONUMENT RECOVERED
- 12314-S SECONDARY MONUMENT RECOVERED
- SECONDARY MONUMENT SET THIS SURVEY
- MONUMENT IDENTIFIER
- PROPERTY LINES
- UNSURVEYED LINES
- 10' ACCESS EASEMENT CREATED THIS PLAT
- DRAINAGE EASEMENT PLAT 84-110
- RECORD INFORMATION FROM US SURVEY 471
- RECORD INFORMATION FROM PLAT No. 84-110
- RECORD INFORMATION FROM US SURVEY 4605



"SKETCH PLAT" OF
BLACKTAIL MOUNTAIN ESTATES
A SUBDIVISION OF
A FRACTION OF US SURVEY 471
WITHIN THE CITY AND BOROUGH OF JUNEAU, ALASKA
JUNEAU RECORDING DISTRICT

STATE RECORDER'S OFFICE AT ANCHORAGE

CHILKAT SURVEYING & MAPPING, LLC
10654 PORTER LANE JUNEAU, ALASKA 99801
907-957-1908

OWNERS
PETER PEEL CREATIVE DEVELOPMENT, LLC
800 6TH STREET JUNEAU, AK 99801 PO BOX 032076 JUNEAU, ALASKA 99803

SCALE:
1" = 100'

MIP 20200004

DATE:
23 MARCH 2021

SHEET NO.
2 OF 2



Treasury Division
155 S. Seward Street
Juneau, AK 99801
907.586.5215 x4905 Phone
907.586.5367 Fax

CERTIFICATION OF TAXES AND ASSESSMENTS PAID

I, the undersigned, being duly appointed, qualified Treasurer for the City and Borough of Juneau, First Judicial District, State of Alaska, do hereby certify that, according to the records of the City and Borough of Juneau, the following described real property is carried on the tax records in the name of:

Peter Peel

Current Owner

USS 471 FR

Legal Description

6D0801110010

Parcel Code Number

and that, all Real Property taxes and assessments levied by the City and Borough of Juneau against said Real Property have been paid in full. If approval is sought between January 1 and the date of levy, there is on deposit with the Treasury Department an amount sufficient to pay Real Property tax for the current year based on current available information; however, owner remains responsible for the balance of any taxes owed when billing occurs on July 1, 2021.


Cheryl A. Crawford

October 1, 2021

Date

This Certification of Payment of Taxes is valid through December 31, 2021

ROW20210036

Permit No.

6D0801110010

A.P.N.

BND20210015

Bond No.

**CITY AND BOROUGH OF JUNEAU, ALASKA
IMPROVEMENT GUARANTEE**

In order to ensure the restoration, and/or installation of improvements required by the Title 49, the City and Borough Engineering and Public Works Department, and/or the above referenced permit, the property owner or developer hereby guarantees the installation of required improvements described as:

Project Description: Installation of (3) 2" HDPE SDR7 water services. Installation of (3) 4" PVC SDR35 sewer taps and laterals with cleanouts. Construction of (3) driveways, minimum 20' in width with called out ditching, swales and called out base with approved capping and surfacing. All utilities and construction shall be completed per the approved plans.

Engineering Standard Detail Nos.: Follow the applicable CBJ Standard Details 4th Edition. Follow the Standard Specification for Civil Engineering Projects and Subdivision Improvements

Located at: Blacktail Mountain Estates TR A USS 471 FR

This document is evidence that

Creative Development Inc.
(Owners or Applicants name)

Has posted the sum of \$30,000.00 to guarantee performance of the required work as described above and as required in City and Borough of Juneau permit No. ROW20210036, and BND20210015 incorporated by reference herein. All work must be completed by 10/01/2022 (one-year) unless extended in writing by agreement of the CBJ and the Developer. Should the Owner/Applicant default or fail or neglect to satisfactorily complete the required permitted restoration and/or improvements by 10/01/2022 (one-year), CBJ will give written notification and allow fourteen (14) calendar days for a response before the assembly may declare the bond, escrow deposit or other guarantee forfeited to the City and Borough of Juneau. The City and Borough of Juneau may use the forfeited money to perform the completion of the permitted work to defray the expense thereof.

The owner or applicant shall notify the City and Borough Engineering and Public Works department when the restoration or improvements are completed to schedule an inspection of the site. Conditional acceptance of the whole or a part of the restoration or improvements shall be given after completion by written approval from the City and Borough engineer or the Director. The bond, escrow deposit, or other guarantee shall then be released in whole or in part turned upon such written approval of the required improvements. The bond, escrow deposit, or other guarantee is only for the work described above and is non-transferable to other properties or persons. The owner or applicant shall notify CBJ of address change prior to request of bond, escrow deposit, or other guarantee return.

Mailing Address for Bond Return/Release:		
Name/Company: <u>Creative Development Inc.</u>		
Address: <u>PO Box 32076</u>		
City: <u>Juneau</u>	State: <u>AK</u>	Zip: <u>99803</u>
Phone: <u>907-723-7851</u>		

CITY AND BOROUGH OF JUNEAU, ALASKA
IMPROVEMENT GUARANTEE

(Page 2)

Approved as to terms and conditions, and receipt is acknowledged by a copy hereof.

Dated this 29th day of September, 20 21 in Juneau, Alaska,

(Owner / Applicant)

Dated This 29 day of September, 20 21 in Juneau, Alaska.

City and Borough of Juneau

El Gharbi

(Name)

CDD permit specialist
(Title and Department)

VERIFICATION GUARANTEE FUNDS

The owner/applicant, creative Development has deposited the amount of \$30,000.00, to guarantee the described restoration and/or improvements by:

✓ 1. Payment of a cash bond in the amount of \$ 30,000, to the City and Borough of Juneau, Engineering Department, on 9/29/21, by cash/check no. 1249, and a copy of the receipt is attached.

____ 2. Posting of a corporate surety bond in the amount of \$_____, a copy of which is attached, and which has been approved as to form by the City and Borough Attorney.

____ 3. By depositing the amount of \$_____, in an account established in the name of the City and Borough of Juneau, I.T.F. _____, located at: _____, account no.: _____. A copy of the escrow agreement is attached which has been approved as to form by the City and Borough Attorney.

Dated this 29 day of September, 2021 in Juneau, Alaska.

CDD
(CBJ Department)

ELL
(Name)

permit specialist
(Title)

Approved as to form:

Assistant City-Borough Attorney

CREATIVE DEVELOPEMENT, INC.
PH. 907-723-7850
PO BOX 32076
JUNEAU, AK 99803-2076

89-7202/3252

1249

DATE

9/29/21

PAY TO

THE ORDER OF

CBT

Thirty thousand & no/100

DOLLARS

\$ 30,000.00



Security features
located on back

AlaskaUSA
Federal Credit Union

Toll free (800) 525-9094
Anchorage (907) 563-4567
alaskausa.org

MEMO Bonding for Improvements

[Signature]

⑆ 3 2 5 2 7 2 0 2 1 ⑆ 1 7 0 0 0 1 4 5 4 6 0 7 1 0 1 2 4 9

City and Borough of Juneau

Payment Date Wednesday, September 29, 2021
Deposit Number 78952
Operator Edward Quinto

Land Management \$30,000.00
Application # BND20210015
CREATIVE DEVELOPEMENT

Total Paid \$30,000.00
Check \$30,000.00
Change \$0.00

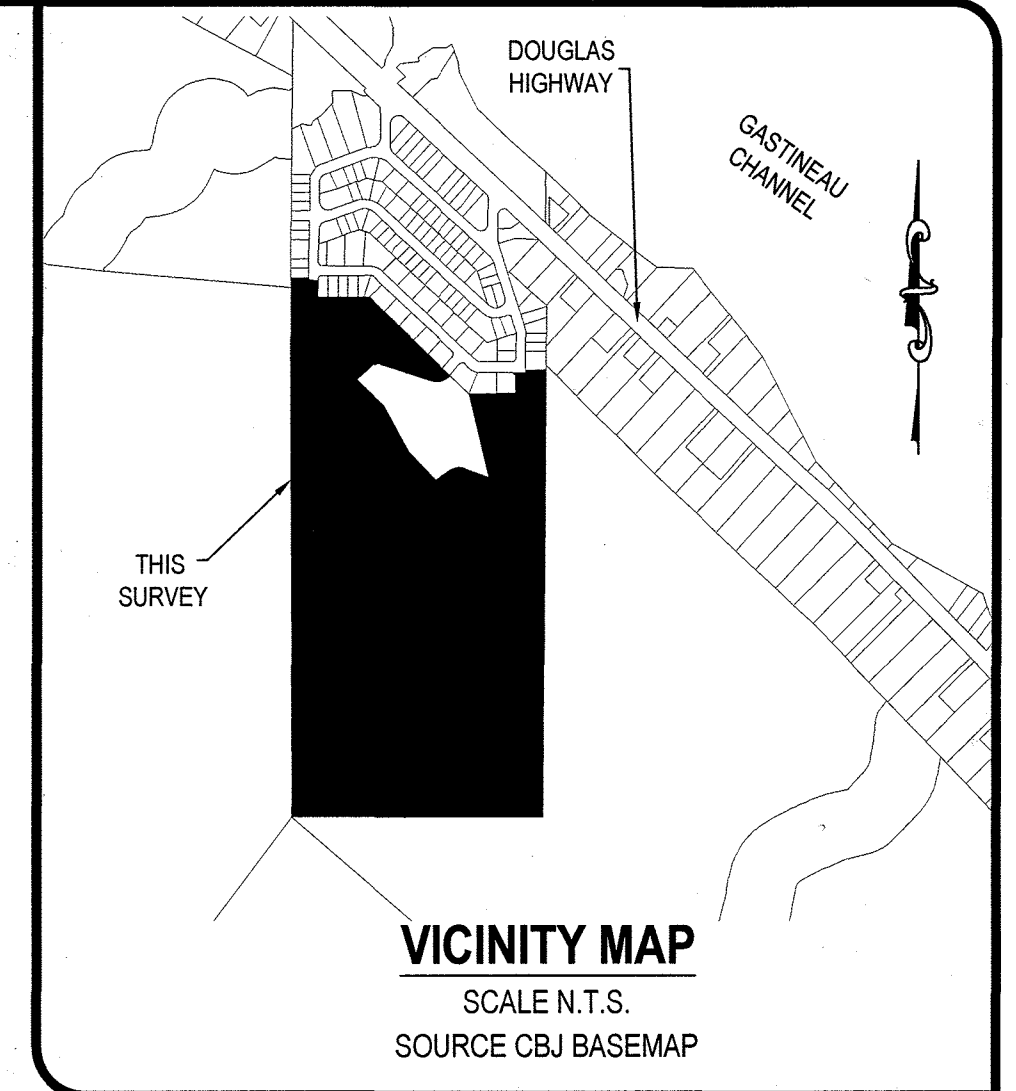
Receipt Number 00163438
9/29/2021 3:28:27 PM
Paid By CREATIVE DEVELOPEMENT
Cashier Id. cdd-permit5-w10



SURVEYOR'S CERTIFICATE

I, JOSHUA IVANISZEK, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, THAT ALL DIMENSIONAL AND RELATIVE BEARINGS ARE CORRECT, AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.

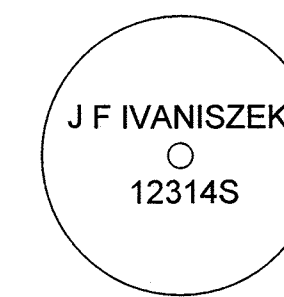
DATED: 16 SEPTEMBER 2021



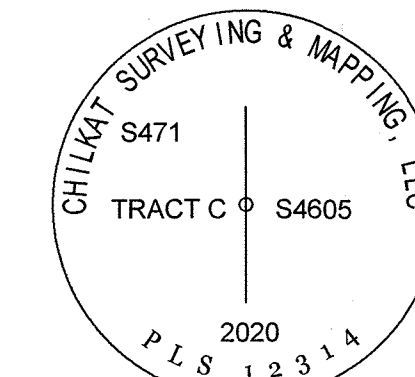
LEGEND:

- GLO PRIMARY MONUMENT RECOVERED
- 12314-S PRIMARY MONUMENT SET THIS SURVEY
- 3088S SECONDARY MONUMENT RECOVERED
- 12314-S SECONDARY MONUMENT RECOVERED
- SECONDARY MONUMENT SET THIS SURVEY
- MONUMENT IDENTIFIER
- PROPERTY LINES
- UNSURVEYED LINES
- 20' PARK ACCESS EASEMENT CREATED THIS PLAT
- DRAINAGE EASEMENT PLAT 84-110
- (N 45°11' W)R1 RECORD INFORMATION FROM US SURVEY 471
- (N45°04'15" W)R2 RECORD INFORMATION FROM PLAT No. 84-110
- (S 00°04'E)R3 RECORD INFORMATION FROM US SURVEY 4605

CURVE TABLE				
CURVE	ARC LENGTH	RADIUS	Δ ANGLE	CHORD BEARING
C1	123.12	108.05	65°17'21"	S 74°15'17" W 116.57
C2	55.24 (52.47)R2	50.00	(85°17'16")R2 (63°17'48")R2	(N 74°56'08" W)R2 (S 78°50'12" W)R2
C3	52.94 (52.90)R2	380.00	7°58'57"	S50°45'44"W 52.90
C4	101.92	110.00	(7°58'34")R2 53°05'20"	(N 51°25'35" E)R2 (52.86)R2 (N 84°04'57" E 98.32
C5	39.23 (39.27)R2	25.00	89°54'31" (90°)R2	S45°00'08"E 35.33 (N45°01'40"W)R2 (35.35)R2



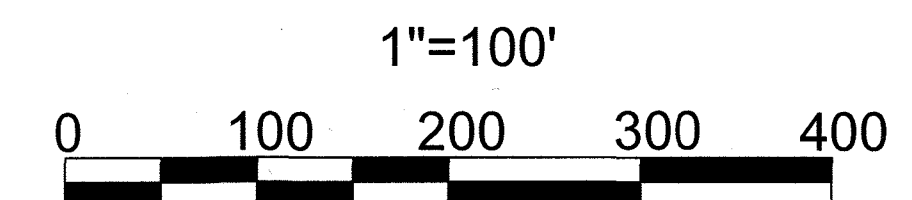
5/8" x 3/8" REBAR WITH
RED PLASTIC CAP



PRIMARY MONUMENT
2.5" x 30" ALUMINUM PIPE WITH 3.25"
DIAMETER ALUMINUM CAP WITH CLEAR
DEEP 1 MAGNET AT THE BASE

TYPICAL SET MONUMENT DETAIL

N.T.S.



PLAT OF
BLACKTAIL MOUNTAIN ESTATES
A SUBDIVISION OF
A FRACTION OF US SURVEY 471
WITHIN THE CITY AND BOROUGH OF JUNEAU, ALASKA
JUNEAU RECORDING DISTRICT

STATE RECORDER'S OFFICE AT ANCHORAGE

CHILKAT SURVEYING & MAPPING, LLC
10654 PORTER LANE JUNEAU, ALASKA 99801
907-957-1908

OWNERS
PETER PEEL 800 6TH STREET JUNEAU, AK 99801
CREATIVE DEVELOPMENT, LLC
PO BOX 032076 JUNEAU, AK ASKA 99803

SCALE:
1" = 100'

MIP 20200004

DATE:
16 SEPTEMBER 2021

SHEET NO.
1 OF 2

Juneau Recording District PL2021-32

NOTES:

1) THE ERROR OF CLOSURE OF THIS SURVEY DOES NOT EXCEED 1:10000.

2) ALL DISTANCES ARE MEASURED IN U.S. SURVEY FEET.

3) RECORD INFORMATION DERIVED FROM THE OFFICIAL PLAT OF US SURVEY 471, DATED 11 NOVEMBER 1915; US SURVEY 1762, DATED 22 SEPTEMBER 1927; US SURVEY 3174, DATED 25 JULY 1953; US SURVEY 3272 DATED 18 AUGUST 1953; US SURVEY 3559 DATED 19 JULY 1961; BONNIE BRAE ESTATES UNIT No. I DATED 10 JULY 1984 PLAT No. 81-47; BONNIE BRAE ESTATES UNIT No. II DATED 10 JULY 1984 PLAT No. 84-110; PLAT OF LOT 4A & LOT 4B A SUBDIVISION OF LOT 4, BLOCK H BONNIE BRAE SUBDIVISION II DATED JANUARY 85 PLAT No. 85-18W; AS BUILT PLAT OF LOT 3A & LOT 3B A SUBDIVISION OF LOT 3, BLOCK F BONNIE BRAE SUBDIVISION II DATED JANUARY 85 PLAT No. 85-30W; LOT 3, INTO LOTS 3-A & 3-B, BLOCK H, BONNIE BRAE ESTATES SUBDIVISION UNIT No. II DATED 7 MAY 1987 PLAT No. 87-12; A SUBDIVISION OF LOT 2 INTO LOTS 2-A & 2-B, BLOCK H, BONNIE BRAE ESTATES SUBDIVISION UNIT No. II DATED 7 MAY 1987 PLAT No. 87-13: JUNEAU RECORDING DISTRICT.

4) WHERE DIFFERENT FORM MEASURED OR CALCULATED RECORD DIMENSIONS ARE SHOWN IN PARENTHESES.

5) DOMESTIC WATER & SANITARY SEWER PROVIDED BY THE CITY AND BOROUGH OF JUNEAU PUBLIC UTILITIES.

6) SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

7) THE STORMWATER RUNOFF IS ACCEPTABLE PER DRAINAGE PLAN BLACKTAIL MOUNTAIN ESTATES SUBDIVISION APPROVED FOR CONSTRUCTION. ALL REQUIRED BLACKTAIL MOUNTAIN ESTATES SUBDIVISION IMPROVEMENTS, INCLUDING SURFACE DRAINAGE, DRIVEWAYS AND ROADSIDE DRAINAGE SHALL BE CONSTRUCTED PRIOR TO FINAL ACCEPTANCE FOR MAINTENANCE BY CBJ PUBLIC WORKS. MODIFICATIONS TO THE APPROVED PLANS WILL NOT BE ALLOWED UNLESS PERMITTED BY CBJ ENGINEERING PURSUANT TO CHAPTER 19.12 EXCAVATION AND GRADING CODE.

8) WETLANDS MAY EXIST ON PARTS OF THE SUBDIVISION. SPECIAL REGULATIONS MAY APPLY.

9) ANY SUBSEQUENT SUBDIVISION OF TRACT A, B, OR C SHALL REQUIRE FULL BUILD-OUT CONSTRUCTION AND DRAINAGE PLANS.

BASIS OF BEARING

THE BASIS OF BEARING FOR THIS PLAT IS THE RECORD BEARING OF S 00°02'00" W BETWEEN FOUND G.L.O. BRASS CAP MONUMENTS, DETAILED THIS PLAT, WHICH MARK CORNER 3 US SURVEY 471 AND CORNER 1, US SURVEY 3559, AS DEPICTED UPON BONNIE BRAE UNIT II PLAT 84-110 DATED 23 JULY 1984, ON FILE AT THE OFFICE OF THE RECORDER, JUNEAU RECORDING DISTRICT, ANCHORAGE, ALASKA.

OWNERSHIP CERTIFICATE:

I HEREBY CERTIFY THAT I AM THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I HEREBY ADOPT THIS PLAT OF SUBDIVISION WITH OUR FREE CONSENT, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE: Sept. 28, 2021

Peter Peel
PETER PEEL

NOTARY ACKNOWLEDGEMENT:

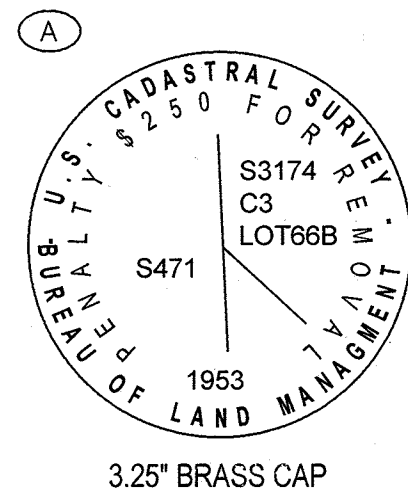
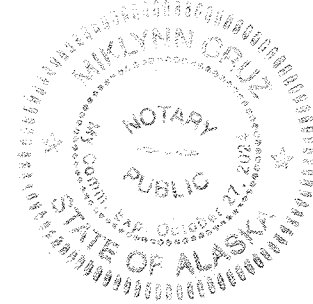
UNITED STATES OF AMERICA)
STATE OF ALASKA)

THIS IS TO CERTIFY THAT ON THIS 28th DAY OF September, 2021, BEFORE ME THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED PETER PEEL TO ME KNOWN TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE ABOVE AND FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY SIGNED AND SEALED THE SAME FREELY AND VOLUNTARY FOR THE USES AND PURPOSES THEREIN MENTIONED AUTHORIZED TO DO SO.

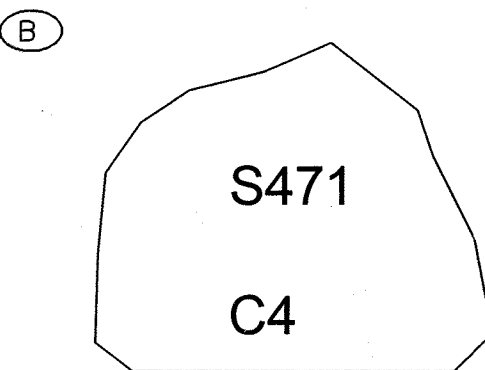
WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

Notary Seal
NOTARY PUBLIC FOR ALASKA

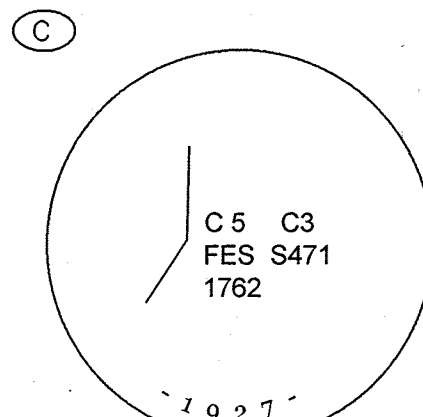
MY COMMISSION EXPIRES: Oct. 27, 2024



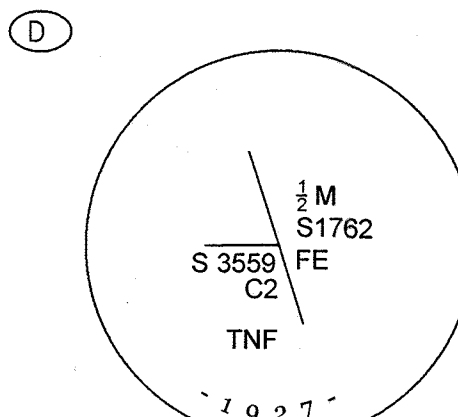
3.25" BRASS CAP



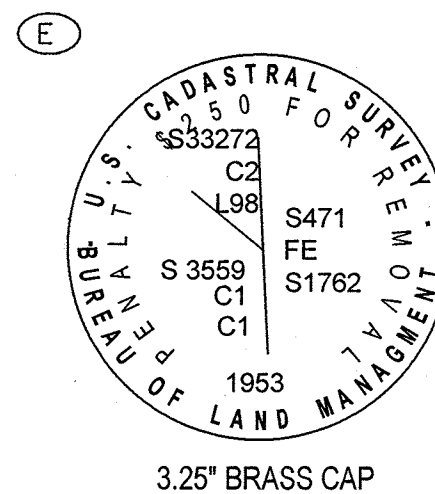
12" X 8" X 6" STONE MONUMENT
NORTHWESTERN SIDE SCRIBED
AS SHOWN ABOVE
"X" INSCRIBED INTO THE TOP OF
STONE
SET IN 1917



2.5" BRASS CAP ON 1" IRON PINE



2.5" BRASS CAP ON 1" IRON PINE



3.25" BRASS CAP

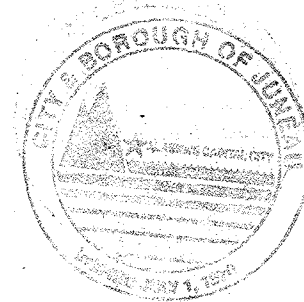
RECOVERED MONUMENT DETAILS

N.T.S.

COMMUNITY DEVELOPMENT DEPARTMENT PLAT APPROVAL

I HEREBY CERTIFY THAT THE PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU AND IS APPROVED BY THE CITY AND BOROUGH OF JUNEAU, DEPARTMENT OF COMMUNITY DEVELOPMENT, FOR RECORDING IN THE OFFICE OF THE JUNEAU RECORDING DISTRICT, ANCHORAGE, ALASKA.

DATED October 5, 2021



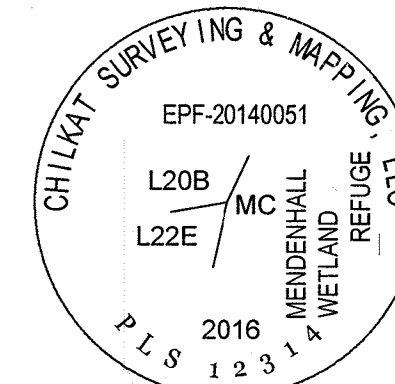
Jill MacLean
JILL MACLEAN, DIRECTOR, COMMUNITY DEVELOPMENT
DEPARTMENT CITY AND BOROUGH OF JUNEAU

ATTEST:

Diane Cathcart, Deputy Clerk
MUNICIPAL CLERK, CITY AND BOROUGH OF JUNEAU



5/8" x 3/8" REBAR WITH
RED PLASTIC CAP



PRIMARY MONUMENT
2.5" x 30" ALUMINUM PIPE WITH 3.25"
DIAMETER ALUMINUM CAP WITH CLEAR
DEEP 1" MAGNET AT THE BASE

TYPICAL SET MONUMENT DETAIL

N.T.S.

LEGEND:

- GLO PRIMARY MONUMENT RECOVERED
- 12314-S PRIMARY MONUMENT SET THIS SURVEY
- 3088S SECONDARY MONUMENT RECOVERED
- 12314-S SECONDARY MONUMENT RECOVERED
- SECONDARY MONUMENT SET THIS SURVEY
- MONUMENT IDENTIFIER
- PROPERTY LINES
- UNSURVEYED LINES
- 10' ACCESS EASEMENT CREATED THIS PLAT
- DRAINAGE EASEMENT PLAT 84-110
- (N 45°11' W)R1 RECORD INFORMATION FROM US SURVEY 471
- (N45°04'15" W)R2 RECORD INFORMATION FROM PLAT No. 84-110
- (S 00°04'E)R3 RECORD INFORMATION FROM US SURVEY 4605

2021-32

Plat #

Juneau

Rec Dist

10/8/2021

Date

Time 1:31 P.M.

1"=100'

0 100 200 300 400

PLAT OF
BLACKTAIL MOUNTAIN ESTATES
A SUBDIVISION OF
A FRACTION OF US SURVEY 471
WITHIN THE CITY AND BOROUGH OF JUNEAU, ALASKA
JUNEAU RECORDING DISTRICT

STATE RECORDER'S OFFICE AT ANCHORAGE

CHILKAT SURVEYING & MAPPING, LLC
10654 PORTER LANE JUNEAU, ALASKA 99801
907-957-1908

OWNERS
PETER PEEL 800 6TH STREET JUNEAU, AK 99801
CREATIVE DEVELOPMENT, LLC
PO BOX 032076 JUNEAU, ALASKA 99803

SCALE:
1" = 100'

DATE:
16 SEPTEMBER 2021

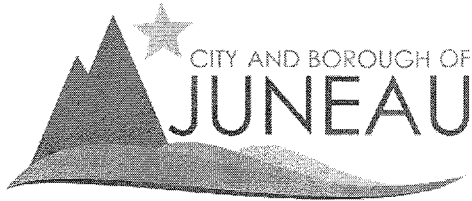
SHEET NO.
2 OF 2

SURVEYOR'S CERTIFICATE

I, JOSHUA IVANISZEK, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, THAT ALL DIMENSIONAL AND RELATIVE BEARINGS ARE CORRECT, AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.

DATED: 16 SEPTEMBER 2021





Treasury Division
155 S. Seward Street
Juneau, AK 99801
907.586.5215 x4905 Phone
907.586.5367 Fax

CERTIFICATION OF TAXES AND ASSESSMENTS PAID

I, the undersigned, being duly appointed, qualified Treasurer for the City and Borough of Juneau, First Judicial District, State of Alaska, do hereby certify that, according to the records of the City and Borough of Juneau, the following described real property is carried on the tax records in the name of:

Peter Peel

Current Owner

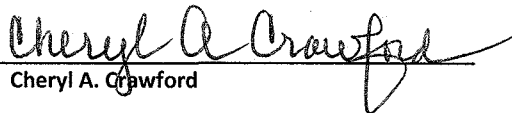
USS 471 FR

Legal Description

6D0801110010

Parcel Code Number

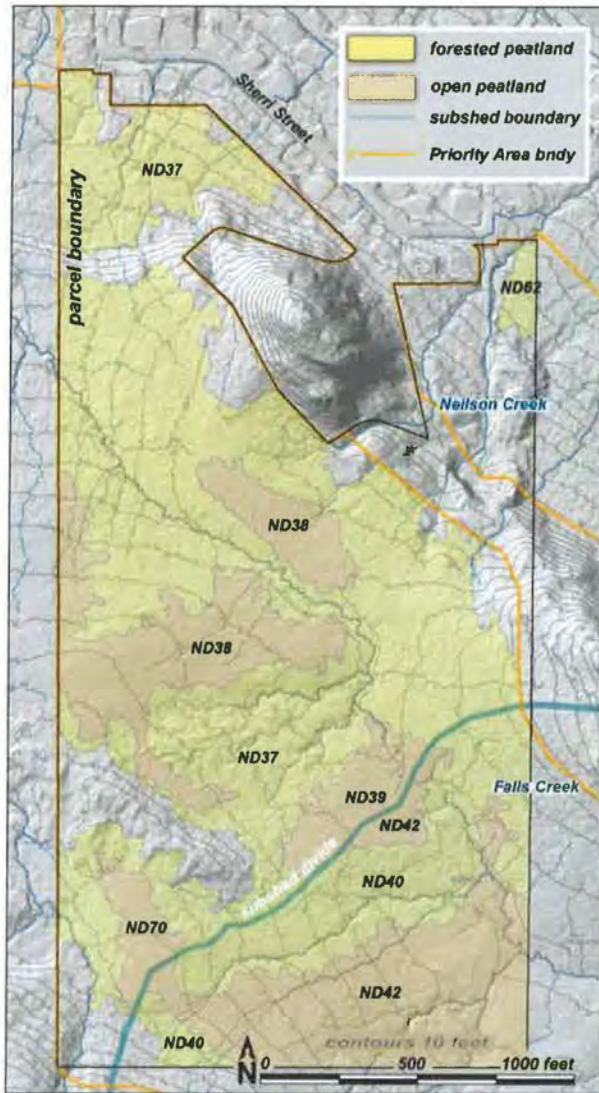
and that, all Real Property taxes and assessments levied by the City and Borough of Juneau against said Real Property have been paid in full. If approval is sought between January 1 and the date of levy, there is on deposit with the Treasury Department an amount sufficient to pay Real Property tax for the current year based on current available information; however, owner remains responsible for the balance of any taxes owed when billing occurs on July 1, 2021.


Cheryl A. Crawford

October 1, 2021

Date

This Certification of Payment of Taxes is valid through December 31, 2021



Bonnie Brae Partnership

This 91-acre private parcel (CBJ pin number 6D0801110010) was mapped and assessed for the Juneau Wetlands Management Plan Update (JWMPU). The parcel lies within the city's Priority Area 3.26.

The northern portion of the parcel drains into Neilson Creek, while the southeastern corner drains into Falls Creek. A subshed boundary therefore runs through the parcel, which by WESPAK protocol 'splits' several of the units (eg: ND 39 and 42).

Seven wetland AAs (Assessment Areas) were mapped: 3 forested peatlands and 4 open peatlands. Total acreage of wetland in all 7 AAs is 72 acres. Thus, about 79% of the parcel is wetland.

Funding: This contract was funded by the Coastal Impact Assistance Program through the Alaska Dept of Commerce, Community and Economic Development as part of Grant #10-CIAP-0009, "Habitat Mapping and Analysis Project."

At the end of this report are definitions for terms and acronyms specific to the project.

AA#	type	acres	parcel pin
ND37	fw	38.68	6D0801110010
ND38	op	8.94	6D0801110010
ND39	op	2.24	6D0801110010
ND40	fw	8.93	6D1011000010
ND42	op	11.18	6D1011000010
ND62	fw	0.65	6D0611000010
ND70	op	1.35	6D1011000010

Acreages of wetland units **within** the Bonnie Brae Partnership parcel. In several cases, these unit

ND37 fw forested peatland

This AA satisfies the following criteria under WESPAK-SE_v1.4:

Nearly all the AA is moss-covered. Peat depth is usually 4 to 16 inches, and sometimes greater. Tree- and shrub canopy combined is greater than 30%, most often hemlock. The shrub layer is usually blueberry and menziesia. The forb layer often includes skunk cabbage. There is little or no open water and the unit is not in a floodplain.

ND38 op open peatland

This AA satisfies the following criteria under WESPAK-SE_v1.4:

Nearly all the AA is moss-covered (usually Sphagnum species). Peat depth is usually > 16 inches. Tree cover is < 5%, and cover of tall shrubs (> 3ft) is < 30%. Trees include shore pine, hemlock, bog blueberry, Labrador tea, crowberry and tufted club-rush. Small (< 25 ft²) scattered stair-step pools with acidic, tannin-stained water may be present.

ND39 op open peatland

This AA satisfies the following criteria under WESPAK-SE_v1.4:

Nearly all the AA is moss-covered (usually Sphagnum species). Peat depth is usually > 16 inches. Tree cover is < 5%, and cover of tall shrubs (> 3ft) is < 30%. Trees include shore pine, hemlock, bog blueberry, Labrador tea, crowberry and tufted club-rush. Small (< 25 ft²) scattered stair-step pools with acidic, tannin-stained water may be present.

ND40 fw forested peatland

This AA satisfies the following criteria under WESPAK-SE_v1.4:

Nearly all the AA is moss-covered. Peat depth is usually 4 to 16 inches, and sometimes greater. Tree- and shrub canopy combined is greater than 30%, most often hemlock. The shrub layer is usually blueberry and menziesia. The forb layer often includes skunk cabbage. There is little or no open water and the unit is not in a floodplain.

Example from a forested peatland unit.

**ND42 op open peatland**

This AA satisfies the following criteria under WESPAK-SE_v1.4:

Nearly all the AA is moss-covered (usually Sphagnum species). Peat depth is usually > 16 inches. Tree cover is < 5%, and cover of tall shrubs (> 3ft) is < 30%. Trees include shore pine, hemlock, bog blueberry, Labrador tea, crowberry and tufted club-rush. Small (< 25 ft²) scattered stair-step pools with acidic, tannin-stained water may be present.



ND62 fw forested peatland

This AA satisfies the following criteria under WESPAK-SE_v1.4:

Nearly all the AA is moss-covered. Peat depth is usually 4 to 16 inches, and sometimes greater. Tree- and shrub canopy combined is greater than 30%, most often hemlock. The shrub layer is usually blueberry and menziesia. The forb layer often includes skunk cabbage. There is little or no open water and the unit is not in a floodplain.

ND70 op open peatland

This AA satisfies the following criteria under WESPAK-SE_v1.4:

Nearly all the AA is moss-covered (usually Sphagnum species). Peat depth is usually > 16 inches. Tree cover is < 5%, and cover of tall shrubs (> 3ft) is < 30%. Trees include shore pine, hemlock, bog blueberry, Labrador tea, crowberry and tufted club-rush. Small (< 25 ft²) scattered stair-step pools with acidic, tannin-stained water may be present.

Terms & acronyms

CBJ City and Borough of Juneau

JWMP Juneau Wetlands Management Plan

WESPAK-SE Wetland Ecosystem Services Protocol for Southeast Alaska

Wetland Assessment Areas (AAs) As defined by our partner Paul Adamus in the 2014 WESPAK-SE protocol (<http://southeastalaskalandtrust.org/wetland-mitigation-sponsor/wespak-se/>), these are units of fairly uniform hydrology, soils and vegetation, on which a standardized field assessment is conducted.

Priority Areas (PAs) Defined by CBJ; 72 units within which the AA surveys are conducted, ranked 1 through 4. To identify individual Priority Area units, we added 2 digits after the rank. For example, 1.17 is Priority rank 1, unit number 17.

Map pages, AA numbering convention Names for our individual Assessment Area units are grouped geographically by Priority Area map pages, in the January, 2014 JWMP RFP # 14-132, identified by 2-letter initials.

The CBJ map-page for this parcel is:

ND North Douglas

AA unit identification codes begin with these 2 letters followed by a 2-digit number. For example, ND70 is AA #70 within the North Douglas (ND) map page.

Subsheds Our name for small watersheds we delineated using fine LiDAR-derived contours from CBJ's 2013 data set and a stream-model-in-progress by Bruce Simonson.

Shared Access Driveway Location Justification

Shared Access A

The constraints associated with the location of shared access A.

- Minimize grade to allow for emergency service vehicle access.
- Minimize cut bank height on the uphill portion of the shared access traversing lot A1.
- Avoid wetlands when possible.

Shared Access B

The constraints associated with the location of shared access A.

- Minimize grade to allow for emergency service access.
- Allow enough distance to travers up the hillside between lots B2 and B3 while keeping the grade to an acceptable level.
- Avoid wetlands when possible.

Shared Access C

- Minimize grade to allow for emergency service vehicle access.
- Leave existing drainage paths intact to minimize downstream impact.
- Existing driveway is on solid ground, moving it would cause unneeded impact to the forest and existing neighborhood.
- Moving the existing driveway would require the excavation of 30'+ of old overburden deposited by the previous owners and the addition of 25'+ of new fill to be brought in over the length of the driveway to meet grade standards.

Outstanding Items as of Staff Report DeliveryTract CGeneral Engineering – Alec Venechuk

1. Tract C

a. Sheet 1

- i. Reword park description to read, "PARK SITE A, PLAT No. 84-110, JRD."
- ii. ~~Rework Lot B4 to read, "TRACT B, PLAT No. 2021-32, JRD".~~
- iii. ~~Clean up text on north end of plat so it is not half shown.~~
- iv. ~~Label G and F primary monuments.~~
- v. ~~Show recovered or set monument at SE corner of Lot 12.~~
- vi. ~~Show all primary monuments set from plat No. 2021-32 on W and S lines of Lot C4.~~
- vii. ~~Change linetype for driveway easement, hatch, and show both in legend.~~
- viii. ~~Add drainage to access and utility easement.~~
- ix. ~~The Bonnie Doon Dr ROW is 60' wide, yet the access easement appears to be a narrower width. Annotate easement with correct width. It might be good to show a detail area to see where the easement is located in relation to the Bonnie Doon Dr ROW corners.~~
- x. ~~Change 10' access easement described in legend to match the 20' trail easement that was dedicated in plat No 2021-32.~~
- xi. ~~Revise ROW linetype to unsurveyed.~~
- xii. ~~Remove set primary monument detail.~~
- xiii. ~~Correct date in Surveyor's certificate.~~
- xiv. Change plat title to read: **Note conflict between cartography and GE.**
Please go with GE:

A PLAT OF

BLACKTAIL MOUNTAIN ESTATES C

A SUBDIVISION OF

TRACT C, BLACKTAIL MOUNTAIN ESTATES, PLAT No. 2021-32

WITHIN THE CITY AND BOROUGH OF JUNEAU

JUNEAU RECORDING DISTRICT

b. Sheet 2

- i. ~~Correct plat title in title block to match sheet 1.~~
- ii. ~~Can remove legend and scale bar from this sheet.~~

- iii. ~~Monument details C and D should read Pipe instead of Pine.~~
- iv. ~~Show street names in vicinity sketch.~~
- v. Remove irrelevant plats from Note 3.
- vi. ~~Use Planning Commission plat approval certificate instead of CDD director.~~
- vii. ~~Change Chilkat monuments to GLO monuments in Basis of Bearing statement.~~
- viii. ~~Change all signatory dates to 2022.~~
- ix. Use this access note for private shared access subdivisions (CBJ49.35 DIVISION 2) (i.e. access to 1 or more lots is via an easement and some lots have no right of way frontage)

ACCESS SUBJECT TO CBJ 49.35 ARTICLE II DIVISION 2 'PRIVATE SHARED ACCESS' REQUIREMENTS. ACCESS TO [LOTS X, Y, and Z] SHALL BE RESTRICTED TO A SINGLE DRIVEWAY IN THE SHARED ACCESS EASEMENT. USE OF THE ACCESS EASEMENT DELINEATED ON THIS PLAT IS SUBJECT TO THE REQUIREMENTS SET FORTH IN THE [COMMON DRIVEWAY ACCESS, UTILITY AND MAINTENANCE AGREEMENT – *edit title as appropriate*] **RECORDED WITH THIS SUBDIVISION.**

- x. Use correct date on surveyor's certificate.

Zoning – David Peterson

- 1. ~~No identifier establishing vertical control has been noted.~~
- 2. ~~Legend indicates Park Access Easement will be 10', but should be 20'.~~
- 3. The size of Lot C4 is concerning that it will be one of the largest privately owned properties without the option for future development. Consider providing CBJ water and sewer in order to minimize costs of having to re-do utilities in the future.
- 4. Please provide engineering justification for lot line between C3 & C4. Reference code 49.15.420(a)(in part):
 - (a) Generally.
 - (2) The shape, orientation, and setback lines of lots shall be appropriate for the development proposed. The director may require yard setbacks to be listed or labeled on the preliminary plat.
 - (4) Side lot lines should be at 90-degree angles to straight streets and radial to curved streets unless topographic conditions require otherwise.
- 5. Please provide engineering justification for the driveway alignment bisecting Lots C1 & C2, see code reference below. Alternatively, a different alignment can be proposed. 49.15.420(b) - *Double frontage lots*. Except for corner lots, lots served by an alley, or where a frontage road or interior access road is required, double frontage lots should be avoided.

6. Please provide justification for the SAE location. Feel free to use prior versions to justify current layout.

From: [John Bohan](#)
To: [David Peterson](#); [Irene Gallion](#); [Mark Millay](#); [Eric Vogel](#)
Subject: Blacktail Subdivision Prelim Plat submittal review
Date: Tuesday, January 25, 2022 10:18:29 AM
Attachments: [ENG review of Blacktail sd prelim reports and plan submittal Jan 2022.docx](#)

Attached is a review of the information submitted for Blacktail.

This does not discuss the preliminary plat, which I believe is the only information that would be required at this time.

Water report... needs specific details to identify what is really going to happen, but addresses that pumping is necessary – can request additional information with design

Drainage report – needs much more work. Doesn't identify many items needed before allowing development to proceed. See specifics in attachment.

It appears that each lot has water and sewer services provided to them, with shut offs installed at the ROW limits of the existing Bonnie Brae streets. It would be nice to require an additional Recorded Document for each lot that specifically states they live on an unmaintained private way and their water service connections are located at the edge of the ROW (best shown by plan sheet). Believe this may help the “buyer beware” and enlightenment moment when future owner has to deal with 700' long water service and associated inline pump, and give CBJ Water and Meters defensibility when explaining to the unhappy new homeowner.

Mark, Eric, Ken- I don't know what typically is required for a GE review beyond what I have commented on at this point. Please review and verify that Code/ regulation requirements are met to the extent necessary for the Preliminary Plat review.

Thanks

Thanks

John Bohan, PE

CBJ Chief CIP Engineer

155 S. Seward St

Juneau AK 99801

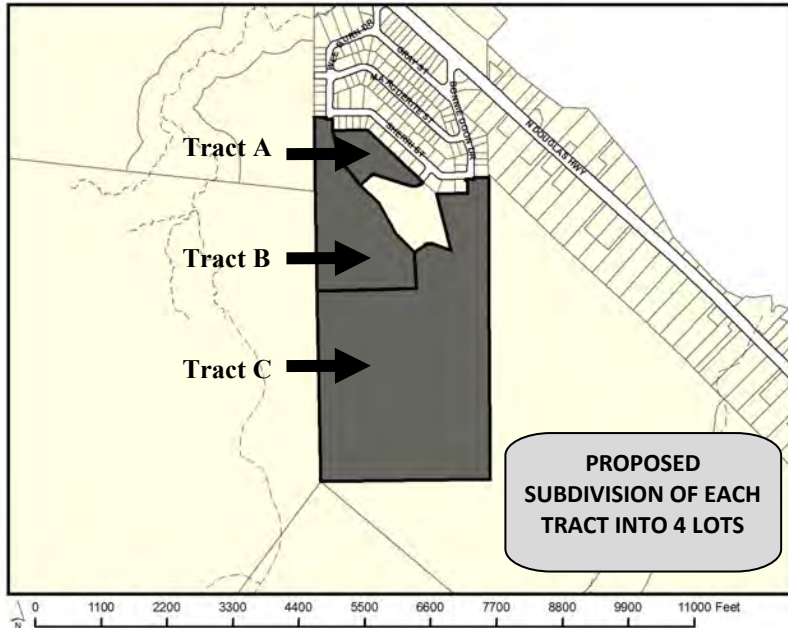
(907)586-0800 x-4188

fax 463-2606

Your chance to comment on proposed development

Section J, Item 2.

BLACKTAIL MOUNTAIN ESTATES, PROPOSED ABOVE BONNIE BRAE ESTATES



COMMUNITY DEVELOPMENT

155 S. Seward Street Juneau, Alaska 99801

TO:

The Planning Commission will hear proposals to subdivide three (3) tracts of land into four (4) lots each, for a total of twelve (12) lots at Bonnie Brae Estates.

PROJECT INFORMATION:

Project Information can be found at:

<https://juneau.org/community-development/short-term-projects>

PLANNING COMMISSION DOCUMENTS:

Staff Report expected to be posted **May 2, 2022** at

<https://juneau.org/community-development/planning-commission>

Find hearing results, meeting minutes, and more here, as well.

Now through Apr. 18

Comments received during this period will be sent to the Planner, **Irene Gallion**, to be included as an attachment in the staff report.

Apr. 19 — noon, May 6

Comments received during this period will be sent to Commissioners to read in preparation for the hearing.

HEARING DATE & TIME: 7:00 pm, May 10 2022

This meeting will be held in person and by remote participation. For remote participation: join the Webinar by visiting <https://juneau.zoom.us/j/82198967342> and use the **Webinar ID: 821 9896 7342** OR join by telephone, calling: **1-253-215-8782** and enter the Webinar ID.

You may also participate in person in City Hall Assembly Chambers, 155 S. Seward Street, Juneau, Alaska.

May 11

The results of the hearing will be posted online.

FOR DETAILS OR QUESTIONS,

Phone: (907)586-0715 ♦

Email: pc_comments@juneau.org

Mail: Community Development, 155 S. Seward St,
Juneau AK 99801

Printed April 12, 2022

Attachment B - Notice of Decision

Case No.: SMP2021 0007; 0008; 0009

Parcel No.: 6D0801110011; 12; 13

CBJ Parcel Viewer: <http://epv.juneau.org>

141



From: csa@gci.net
Sent: Friday, April 15, 2022 1:53 PM
To: PC_Comments
Subject: Proposed subdivision at Bonnie Brae

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

I am not in favor of the proposed 12 new lots at this location. This subdivision already has enough traffic and road problems without adding so many more new homes. The road is continually full of potholes that never get fixed, and the traffic that will be caused by large trucks coming and going on the streets during construction will certainly not help the situation. We have had poor wintertime road maintenance, and this winter we were down to one lane on Bonnie Doon Drive. This is a quiet, pleasant place to live. Opening up these large lots behind the subdivision will certainly disrupt the peaceful atmosphere and possibly bring more crime into the area.

Of course, I realize that these "hearings" are just for show. No matter what the residents of Bonnie Brae want, we will get this shoved down our throats and be forced to live with it. You asked for comments, and these are mine.

Thank You

Cathleen S. Anderson

From: ikorhonen@acsalaska.net
Sent: Sunday, April 17, 2022 8:59 PM
To: PC_Comments
Subject: Comments re Blacktail Mountain Estates

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

Dear Ms Gallion / Planning Commission:

I am concerned about the proposed Mountain Estates development (case no. SMP [2021 0007; 0008; 0009](#)) above Bonnie Brae. The affected tracts involve sensitive wetlands and muskeg habitat that provide key ecosystem functions and support diversity of species, including deer, bears, wolves, and birds. The area also abuts the Treadwell Ditch access trail, which is very popular with neighborhood people, including me.

The proposed development threaten the wetland and other values offered by these lands and the impacts are likely to spill way beyond the proposed project's boundaries. In the past, when existing lots within the Bonnie Brae subdivision have been developed, downhill properties, including ours, have been inundated with water due to disturbed water tables. The city has allowed developers to proceed with sub-standard building practices and inadequate mitigation measures; enforcement has been insufficient/non-existent.

With climate change, we seem to be experiencing more extreme rain events that have resulted in torrential amounts of water running down the hill in our neighborhood. I am concerned that allowing standard Juneau-style development in this area will inflict, individually and cumulatively with climate change, permanent damage to the neighborhood's wetlands, other habitats, the public trails, and the existing downhill private properties.

If subdivision of the tracts is authorized, the city should work with Army Corps of Engineers to prohibit filling of wetlands and to apply and enforce strict standards for the developer to protect wetland values. CBJ needs to ensure neighborhood water tables will not be affected by the development and that that eagle nests and other sensitive habitats are protected from disturbance. CBJ should insist Corps to require the developer to compensate any direct or indirect wetland impacts.

I am also concerned about the traffic impacts of the proposed development. I have not seen or heard of any analysis of or plans to address the increased traffic safety concerns associated with the new subdivision.

Thank you for considering my comments.

Iris Korhonen-Penn
6731 Marguerite Street
Juneau, AK 99801

Paul Martz
Christina Martz
1110 Wee Burn Dr.
Juneau, AK 99801

April 18, 2022

City and Borough of Juneau
155 S. Seward Street
Juneau, Alaska 99801
ATTN: Community Development

RE: Proposed Development – BLACKTAIL MOUNTAIN ESTATES
Case No.: SMP2021 0007; 0008; 0009
Parcel No.: 6D0801110011; 12; 13

I'm writing to voice my concerns over the proposed Blacktail Mountain Estates development above the Bonnie Brae Estates neighborhood. My property sits adjacent to the Tract B development, which as proposed will intersect with a substantial outflow creek of open muskeg and several subsurface seeps and creeks that occur along the hillside abutting the Treadwell Ditch access trail and my property.

The main surface drainage of this muskeg currently flows year-round into the upper portion of the Wee Burn Drive open culvert at the base of my driveway and flows down along the road to the highway. In addition to that, drainage water also continuously flows down the abutting hillside into my property and collects into open channels that divert the water back into other small creeks and drainages that flow through most backyards along the entire length of Wee Burn Drive. Many of these drainages are in close proximity to homes and other structures on these properties, including mine.

My primary concern with the Tract B Proposal is that it calls for the placement of a road directly through this muskeg's main drainage and that it will substantially increase both the volume and velocity of water entering my property and subsequently those properties downhill of mine. The fill required for the road will be displacing a substantial amount of wetlands uphill from my property and that displaced water will have no other place to flow except through the existing smaller subsurface seeps and creeks that flow directly through my property, and numerous others, along Wee Burn Drive. The development plan does outline surface drainage along the proposed road, which may handle the current surface water drainage that flows into existing culverts. The plan does not, however, outline how the surface drainage will address the increased subsurface or surface water flowing through private property as a result of displacement of these wetlands.

Tract B's road alone will be disrupting the natural downhill drainage portion of a muskeg that measures almost 10 acres, and could potentially negatively impact 9 homes and numerous other structures. And according to the documents submitted with the proposal, the total development area consists of 79 percent wetlands. With a development area of this size, that is overwhelmingly wetlands, it is imperative that the city properly vet the drainage plan for the sake of everyone who lives downhill from the proposed development and the wetlands therein. Failure to do so may result in lasting negative impacts to both private and public property.

Case No.: SMP2021 0007; 0008; 0009

Parcel No.: 6D0801110011; 12; 13

Dear Planning Commissioners,

Juneau is experiencing a housing crisis. Building a single house on 5 acers only serves to perpetuate this problem. I would like to see this land developed so that it matches the current neighborhood with small lots and common wall houses. While this would not solve all of our housing crisis, it would certainly be a step in the right direction. I am opposed to case No.: Case No.: SMP2021 0007; 0008; 0009 for the following reasons:

#1: The landowners seem to be exploiting current CBJ codes. It is extremely suspicious that the landowners first took a large plat of land and subdivided it into three pieces. Now they want to further subdivide the same land into 12 lots. **Please DO NOT reward this behavior!** CBJ has codes for a reason, do not allow the property owners to “cheat the system.” Is this really a precedent that you want to set? As a governing body that is supposed to ensure that CBJ codes are followed, how can you possibly approve of this behavior? If they initially divided this land from one plat to 12 plats, they would be required to put in more infrastructure like public roads. They cannot build 12 houses with shared access (CBJ 49.35260) on a single plot of land!! Why would you allow the landowner to subdivide multiple times in order to get around subdivision requirements? If the end effect has the same result, landowners and developers should not be allowed to get around these requirements as the impact to surrounding neighbors is the same. **If you choose to move forward and approve this, please hold the landowners to the same standards that any other subdivision of 12 or more houses must follow.**

The information submitted by the landowner shows that he has always intended to create additional lots once he subdivided the large lot into three smaller lots. His site geotechnical memo talks about the 12 lots!!! Again, there is little doubt that the applicant is trying to take advantage of “the system” by doing multiple subdivisions. The water memo also states that “all new lots in blacktail mountain estates subdivision are proposed to be served by...” This is further reason to look at this project as a whole, rather than dividing it into smaller pieces in order to avoid requirements for any other subdivision that occurs throughout CBJ. There are numerous examples of this throughout the applicant’s packet for all proposed subdivisions of the current land.

Bonnie Brae has been hit hard with snow removal. We often do not get snowplow service until days after the storm. Several neighbors also park their boats and cars on the streets causing hazards for snowplow truck drivers. The road becomes very narrow and icy. All roads essentially become single lane roads. We also frequently miss garbage and mail service, and the roads are deemed too difficult to drive by both the postal service and Waste Management. With long, winding, private, shared driveways, its not hard to imagine these homeowners parking their cars on Sherry St, which will only serve to compound this problem.

Bonnie Brae also has perpetual problems with a ton of potholes. CBJ spends a lot of time, energy, and money to constantly try and fix these. Increasing the traffic in the neighborhood will only make this worse, adding more expense that taxpayers will be paying! The current proposal will add a lot of costs for taxpayers without providing much benefit to its citizens.

#2: The landowners have shown blatant disregard to CBJ codes. I have personally seen hundreds of dump trucks full of gravel drive past my house. The landowners fill the dump trucks with rock from the tract C of their property. The dump trucks then exit the neighborhood. I don't know where they go when they reach the North Douglas highway. I believe that this volume of removal of materials requires a permit, which the landowners do not have. Again, please do not reward those who disregard the rules!

#3: I also believe that the landowners have illegally sold lots in Tract B. I was at our neighborhood park last summer and met a couple who said they had recently bought one of the lots in tract B. they also believed that the other three lots in this tract had also been sold. These "owners" talked about starting construction in the fall of 2020. This hasn't happened, but I am glad that I am not one of those people who has already paid a down payment on the lots that do not exist yet!!!

#4: The landowners have also cut off access to CBJ property that has been designated as a neighborhood park. None of the materials provided by the applicant show any public easements for access to CBJ parklands. People have been accessing both the CBJ park property and adjacent forest service property since the neighborhood was developed in the 1980's. I personally have tried contacting the landowner on several occasions to gain access to the cut off CBJ property. The landowner has never returned my calls. This has been a huge loss for the neighborhood. I miss the ability to access that land to pick berries, get some exercise, and play with my child and dog. **If you choose to move forward and approve this, please require that the landowner create an easement and build a trail to access CBJ park property. DO NOT WAIVE this requirement.** Landowners should never be allowed to cut off access to public property. Access to CBJ parkland is a major reason why so many of us choose to make Juneau our home.

#5: The proposed shared driveways for all of the lots exceed the 10% grade required by CBJ fire code. This is just another example of the landowners attempt to exploit the rules and show that he does not need to follow them.

#6: On Sheet 3 (of 16) in the applicants Blacktail Mountain Estates Construction drawings, it alludes to a rock quarry blasting plan. I am extremely concerned about any blasting that may occur so close to my house. The soil that the neighborhood is built on consists of a lot of peat and is not very stable!! My house and yard shake every time one of the hundreds of dump trucks loaded with rock from Lot C drove by my house. Blasting could cause damage to the foundations and houses in the neighborhood!! Blasting this close to an established neighborhood would be very detrimental to those of us living here! The applicant has talked about blasting in the quarry! Based on his current behavior and disregard for regulations, I do not think he can do so in a safe manor.

In closing, please do not approve this specific proposal, which will not solve any housing issues in Juneau, rewards those who do not follow the rules, and adds too much burden to taxpayers and those that currently live in Bonnie Brae. I believe this land has the potential to be developed in a way that benefits both citizens of Juneau and the current neighborhood. This would require that the landowners develop the property in a way that adds infrastructure to support the development. This would also require the landowner to develop more than 12 lots.

Sincerely

Emily Palmer

Bonnie Brae home owner

Irene Gallion

From: Irene Gallion
Sent: Wednesday, April 20, 2022 12:57 PM
To: emily harshman
Cc: Irene Gallion
Subject: RE: Case No.: SMP2021 0007; 0008; 0009
Attachments: Bonnie Brae Neighborhood Association Handout.pdf

Hi Emily,

Thank you for your comment on Blacktail Mountain Estates. It will be shared with the Commissioners for their consideration.

I wanted to check in with you on point #4 (printed below for reference). I think you are referring to the “yoda”-shaped park near the proposed Kristi Street ROW. I’ve attached a handout from a presentation that I gave to the neighborhood late last year. On the second page it shows how the park will be accessed through extension of Bonnie Doon Road and then a 20 foot wide easement along the back of lots 11 and 12. This access may require a slight realignment of the trail closest to Lot 11.

This access has been platted and recorded, and is available.

Let me know if I missed the mark on this. Thank you for participating in development of your community!

Irene Gallion | Senior Planner

Community Development Department | City & Borough of Juneau, AK

Location: 230 S. Franklin Street | 4th Floor Marine View Building

Office: 907.586.0753 X2



Fostering excellence in development for this generation and the next.

#4: The landowners have also cut off access to CBJ property that has been designated as a neighborhood park. None of the materials provided by the applicant show any public easements for access to CBJ parklands. People have been accessing both the CBJ park property and adjacent forest service property since the neighborhood was developed in the 1980’s. I personally have tried contacting the landowner on several occasions to gain access to the cut off CBJ property. The landowner has never returned my calls. This has been a huge loss for the neighborhood. I miss the ability to access that land to pick berries, get some exercise, and play with my child and dog. **If you choose to move forward and approve this, please require that the landowner create an easement and build a trail to access CBJ park property. DO NOT WAIVE this requirement.** Landowners should never be allowed to cut off access to public property. Access to CBJ parkland is a major reason why so many of us choose to make Juneau our home.

From: emily harshman <eehars@yahoo.com>
Sent: Monday, April 18, 2022 8:51 PM
To: PC_Comments <PC_Comments@juneau.org>; Irene Gallion <Irene.Gallion@juneau.org>
Subject: Case No.: SMP2021 0007; 0008; 0009

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

Please see attached document for comments on Case No.: SMP2021 0007; 0008; 0009

Thank you,
Emily Palmer
Bonnie Brae home owner

Bonnie Brae Neighborhood Association

October 27, 2021

“Development in the Works”

Section J, Item 2.

Blacktail Mountain Estates:

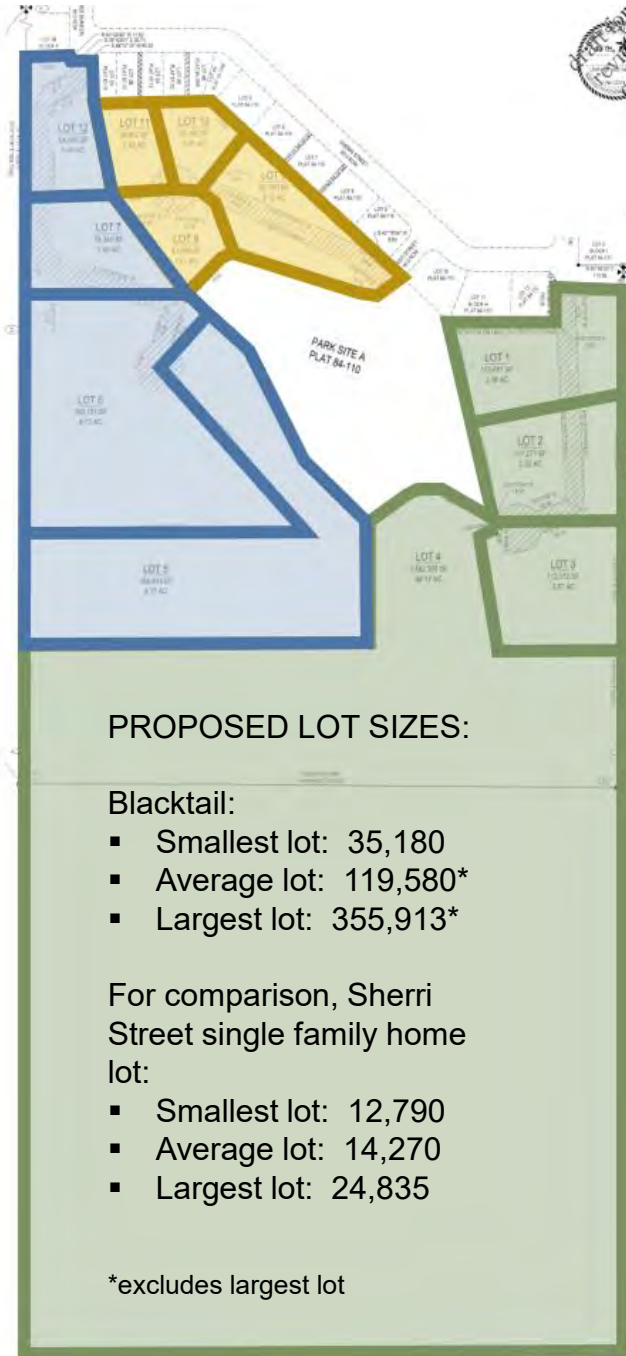
On each tract of land:

- Four or fewer lots
- All lots use private driveway easement - no direct access to right-of-way
- Each lot limited to one single family home and one accessory apartment
- Lots must meet minimum size for district, D3 = 12,000 square feet

Next steps:

- Developers apply for a Major Subdivision for each tract.
- Public Notice card will be mailed to residents within 500 feet.
- **Neighborhood Meeting**
- Staff report and analysis
- **Preliminary plat, hearing before the Planning Commission**
 - Approve, approve with conditions, deny, continue
- **Final plat, hearing before the Planning Commission**

*Items in **bold** point out your opportunity to testify.*



Note that this development is proposed. The developer is not obligated nor committed to this line of development.

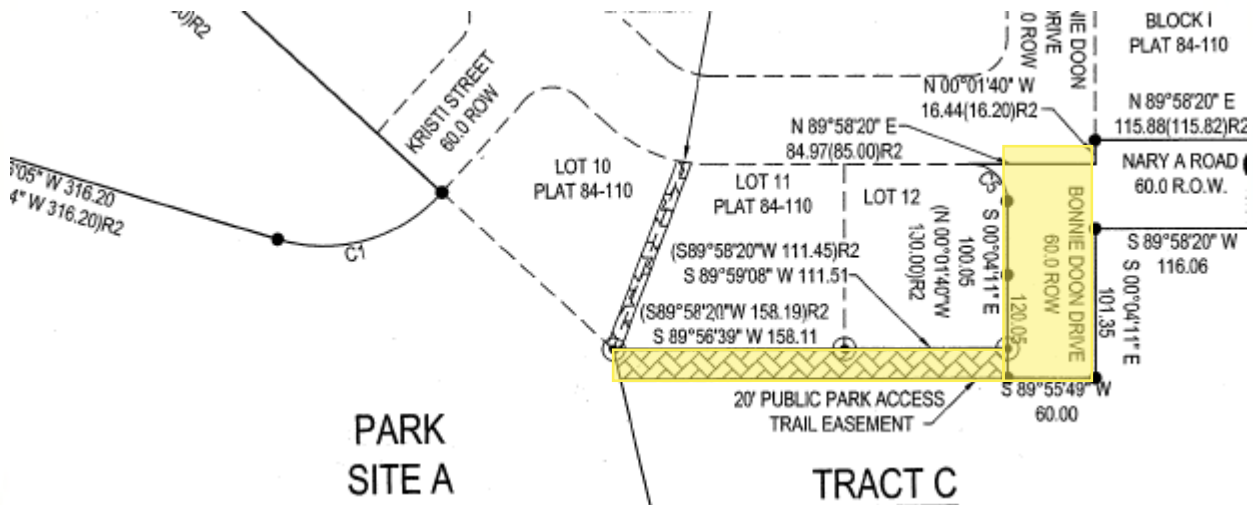
Bonnie Brae Neighborhood Association

October 27, 2021

“Development in the Works”

Section J, Item 2.

How can you access your neighborhood park?



Use the extended Bonnie Doon right-of-way, then the 20 foot park access easement (yellow highlight).

When is an excavation permit required?

49.65.200 Extraction permit required (*excerpt*).

(a) The use of property for the excavation, removal or other extraction of stone, sand, gravel, clay or other natural deposits and formations, including the processing of the materials, may be authorized in any district only under a conditional use permit issued by the commission under the procedures set forth in chapter 49.15, article III, as modified by this article.

(b) Site grading and preparation required for a proposed permitted use is **exempt** from the requirement of this article **if**:

(1) Such extraction is a necessary incident to work authorized under a valid building permit, or

for improvements which are part of an approved subdivision plat if the material is used within the original tract or parcel subdivided, if all necessary building, grading, and other applicable permits have been issued;

Comments or questions? Irene.Gallion@Juneau.org (907) 586-0753 Option 2

Attachment B - Notice of Decision_SMP21-09

From: Catherine Price <katrinamel@mac.com>
Sent: Monday, April 18, 2022 9:07 AM
To: PC_Comments
Subject: Bonnie Brad Estates

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

comments on the development.

1. My husband and I don't want any multiple dwelling units in this development. Single dwelling units only.
2. We are very concerned about the possibility of land slides when trees and other flora are removed for building. We are on Marguerite and are below this development. So also concerned with proper drainage.
3. Traffic flow during building and after. More population so need that second bridge that's been discussed for years.

Thank you.

Catherine and Michael Price
6739 Marguerite Street
907-723-7721

Sent from my iPad

Irene Gallion

From: rstern77@aol.com
Sent: Thursday, April 21, 2022 8:23 AM
To: Irene Gallion
Cc: Irene Gallion
Subject: RE: blacktail mt estates

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

Hi irene,

From the track c report

Item 5.a

Rich

[Sent from the all new AOL app for Android](#)

On Thu, Apr 21, 2022 at 8:14 AM, Irene Gallion
<Irene.Gallion@juneau.org> wrote:

Hi Richard,

Where do you get 194 ADT for track C? With four lots, each with a single family home, we'd expect 38 ADT.

We would expect 38 ADT for each tract, for a total of 114 for the entire development.

We will include the feedback below to the Commission.

Thanks!

IMG

From: rstern77@aol.com <rstern77@aol.com>
Sent: Wednesday, April 20, 2022 8:13 PM
To: Irene Gallion <Irene.Gallion@juneau.org>
Subject: Re: blacktail mt estates

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

Hi Irene,

Items that need addressing is access roads

Item 5.a: Roadways of wee burn, bonnie donne, sherri is not 50'. ie lot C is anticipated at 194 ADTs for track C alone! Lots A/B is double that! How is dust, on all roads be contained: Bonnie Doone, Wee Burn, Sherri. Will the drainage ditches be filled? Who is paying for this? I wouldnt expect bonnie doone development taxpayers be strapped with this burden. Should the roadways be paved, and what is the communities input & intent. We've always had gravel, providing a community, rural feel. Im thinking that the roadway, to bond roadway, might have scheduled spray with a product called Enviroseal.

Rich

-----Original Message-----

From: Irene Gallion <Irene.Gallion@juneau.org>
To: rstern77@aol.com <rstern77@aol.com>
Cc: Irene Gallion <Irene.Gallion@juneau.org>
Sent: Wed, Apr 20, 2022 12:19 pm
Subject: FW: blacktail mt estates

Hi Mr. Stern,

Thanks for your interest in development of our community! You have quite a few questions that I wanted to respond to as best we can at this point. You can find application materials and draft plats at the webs site: <https://juneau.org/community-development/short-term-projects>

As you go through these answers, it might help to have a general idea of next steps:

- Preliminary plat approval by the Planning Commission (May 10). If the plat is approved, the developer will:
 - o Provide a construction plan. (Must be approved by CBJ Engineering)
 - o Provide a drainage plan. (Must be approved by CBJ Engineering)

- o Pay all taxes owed on the lots.
- o Construct or bond for improvements.
- Then the Commission will consider final plat approval.

Construction will require a grading permit (separate from the subdivision process). If blasting is needed, a blasting plan must be approved by CBJ before blasting can occur.

To address your questions:

1. How many square feet are required to build one house?

The area is zoned D3, requiring 12,000 square feet for a single family home. For the proposed subdivisions:

- The smallest lot is 35,180 square feet
- The average lot is 119,580 square feet (excludes the largest lot of 64 acres)
- The largest lot is 355,193 square feet (excludes the largest lot of 64 acres)

By comparison, for the Sherri Street single family home lots:

- Smallest lot is 12,790 square feet
- Average lot is 14,270 square feet
- Largest lot is 24,835 square feet.

2. What is the zoning?

Bonnie Brae and the proposed subdivision are all zoned D3.

3. Is D1 zoning being kept?

The zoning is not D1. The subdivisions will remain D3 unless rezoned. Rezoning is not part of this proposal.

4. What variances are being applied for?

A variance is a particular instrument that allows one person to not follow a law that others have to follow. There are no variances applied for as part of this proposed subdivision.

5. How many acres are there?

The link above shows the proposed subdivision plats and acres for each. The total area of the Blacktail development is 96.31 acres.

6. What is the tax impact to existing Bonnie Brae residents?

The development will not impact how the Assessor's Office assesses taxes.

7. Will the lots have septic tanks?

Currently, each lot is proposed to have a single water and sewer line. The Director is proposing that the developer be required to install water and sewer mains.

8. Where is the SWPP? Is there an erosion plan that mitigates run-off?

Not yet. After the preliminary plat is approved, the developer will need to provide a construction and drainage plan, which will be reviewed by CBJ's Engineering Department.

9. Are access roads, including Bonnie Doon, going to be widened, paved, and chip-sealed, or left as is? Are speed bumps planned?

The City does not currently have plans to pave roads in Bonnie Brae. If paving was considered, the neighborhood would be asked to participate in a Local Improvement District (LID) and assist in paying for improvements. No speed bumps are planned.

10. This year, with snow fall, neighborhood roads became one lane. How will plowing be managed? Will roads be graded in the spring?

Changes to the current road maintenance regime are not anticipated.

11. How will road upgrades affect the existing Bonnie Brae residences, and who will pay for roadwork?

There are no anticipated upgrades to existing road infrastructure. The developer will build the accesses to the proposed subdivision lots.

12. What is the roadway study for additional vehicular travel, and how many cars per day are anticipated for the development?

According to the Institute of Transportation Engineers Trip Generation Manual (9th Edition) the average single family home is expected to create 9.52 traffic movements a day. 114.2 movements are anticipated for the development of 12 lots.

13. How is electric being run to the development, poles or underground?

CBJ code requires transmission facilities to be underground for new installations [CBJ 62.40.070]. This can be waived if not feasible.

14. What is the anticipated time for upgrading roadwork, utilities, sewer and water and all needed infrastructure?

That is not known to CBJ at this time.

15. What is the duration of improvements to the site?

That is not known to CBJ at this time.

16. What are the crew working hours? Will there be work on weekends? How much overtime per week?

That is not known to CBJ at this time.

17. Is the project prevailing wage or union?

That is not known to CBJ at this time.

18. Have civil drawings been completed, and when will plans be reviewed?

A draft construction plan was submitted with the preliminary plat. The construction plan will not be reviewed until the preliminary plat is approved, as the Planning Commission may require changes that impact construction.

19. What HAZMAT materials have been found on site?

That is not known to CBJ at this time.

20. Is there blasting or rock-breaking? Is there a plan? How are existing structures being monitored?

Blacktail has proposed blasting for approximately 55,000 cubic yards of material. The plan has been reviewed and feedback has been provided to the Developer. The blasting will not be permitted until a plan is approved. The details of monitoring structures is not known at this time. Rock crushing nor screening are not allowed in D3 zoning.

21. How is dust being mitigated during construction?

Unknown to CBJ at this time.

22. Where is the water source for construction, and how is grey water mitigated?

That is not known to CBJ at this time, but it is reasonable that water would be accessed through CBJ's system. Grey water is not anticipated. Drainage plans will have to be approved by CBJ.

23. Will the diameter of the culverts and drainage ditches be increased or deepened? What are the safety plans to prevent falling into a deepened ditch?

The construction and drainage plans have not yet been submitted, so required improvements to the neighborhood roads are not yet known. Ditches would have to meet engineered safety standards.

24. What are the lots being sold for?

Unknown.

25. Will the lots be subdivided?

Further subdivision will not be allowed unless the driveways are built to road standards, and include water and sewer mains.

26. How many homes will the entire Blacktail development provide?

Under the proposed subdivision, each lot is limited to one single-family home and one accessory apartment. There are 12 lots proposed.

27. How much lot clearing is allowed? How will this affect water run-off and soil erosion? the protocols to maintain existing conditions?

Lot clearing would require a grading permit. Part of that permit is review of a drainage plan and stormwater pollution prevention measures.

28. What is the projected avalanche anticipation?

CBJ has not done avalanche studies in the area.

29. As Blacktail is at a much higher elevation than Bonnie Brae, is shoring planned, and how is Bonnie Brae protected?

Unknown at this time. The construction plan will provide more detail.

30. Are the developers posing a bond for damage to roadways or residences?

The blasting plan is currently in review. Bonds are not anticipated to address damage to roadways or residences.

Let me know if you have further questions,

Irene Gallion | Senior Planner

[Community Development Department](#) | City & Borough of Juneau, AK

Location: 230 S. Franklin Street | 4th Floor Marine View Building

Office: 907.586.0753 X2



Fostering excellence in development for this generation and the next.

From: PC_Comments <PC_Comments@juneau.org>
Sent: Tuesday, April 19, 2022 2:47 PM
To: 'rstern77@aol.com' <rstern77@aol.com>
Cc: Irene Gallion <Irene.Gallion@juneau.org>; Jill Maclean <Jill.Maclean@juneau.org>
Subject: RE: blacktail mt estates

Thank you!

Chelsea Wallace | Administrative Assistant II

[Community Development Department](#) | City & Borough of Juneau, AK

Location: 230 S. Franklin Street, 4th Floor Marine View Building

Personal Line: 907.586.0715 ext. 4120



Fostering excellence in development for this generation and the next.

From: rstern77@aol.com <rstern77@aol.com>
Sent: Tuesday, April 19, 2022 2:35 PM

To: PC_Comments <PC_Comments@juneau.org>

Subject: Re: blacktail mt estates

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

HI COMMENTS,

RICHARD STERN

THANKS,

RICH

-----Original Message-----

From: PC_Comments <PC_Comments@juneau.org>

To: 'rstern77@aol.com' <rstern77@aol.com>

Cc: Jill Maclean <Jill.Maclean@juneau.org>; Irene Gallion <Irene.Gallion@juneau.org>; Breckan Hendricks <Breckan.Hendricks@juneau.org>; Ryan Roguska <Ryan.Roguska@juneau.org>

Sent: Mon, Apr 18, 2022 8:09 am

Subject: RE: blacktail mt estates

Good morning,

Thank you for submitting your questions/comments to the Planning Commission! Per the Planning Commission's Rule of Order, members of the public are required to state their name, otherwise we cannot accept their comments. If you would like your comment submitted to the Planning Commission, can you please reply with your name?

Here is Rule 11(D) from the Planning Commission's Rules of Order with more information.

Rule 11(D) Written Comments. Written comments, with the exception of e-mail transmissions, must be signed, and the source of illustrative materials must be identified. E-mail transmissions must show the author's name. Anonymous submissions will not be accepted.

If you have any questions, or would like more information, please let me know.

Thank you,

Chelsea Wallace | Administrative Assistant II

Community Development Department | City & Borough of Juneau, AK

Location: 230 S. Franklin Street, 4th Floor Marine View Building

Personal Line: 907.586.0715 ext. 4120



Fostering excellence in development for this generation and the next.

From: rstern77@aol.com <rstern77@aol.com>
Sent: Sunday, April 17, 2022 7:08 PM
To: PC_Comments <PC_Comments@juneau.org>
Subject: blacktail mt estates

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

1. how many sf lot size to build 1 house
2. what is the zoning
3. Is D1 zoning being kept
4. what are the variances applied for
5. how many acres are there
6. what is the tax impact to existing bonnie brae residences
7. will the lots have septic tanks, what means of drainage for grey & black water. where will the new pumphouses be located
8. where is the SWPP, is there an erosion plan, mitigating run-off
9. is the access roads, bonnie doon, going to be widened, paved, chip sealed, or left as is. are speed bumps planned
10. this year, with snow fall, bonnie doone, and all roads, became a one way road, how will plowing be managed, will roads be graded in spring.
11. how will road upgrades effect the existing bonnie brae residences upgrades to the above, who pays for roadwork to all the development
12. what is the roadway study for additional vehicular travel, and how many cars per day are anticipated for the development
13. how is electric being run to the development; poles or underground
14. what is the anticipated time for upgrading roadwork, utilities, sewer & water & all needed infrastructure
15. what is the duration of improvements to the site (s)
16. what are the crew working hours: list normal working hours. will there be work on saturdays or sundays.what are the OT hours per week.
17. is the project prevailing wage, or union.
18. have civil drawings been completed, and when will the plans be reviewed
19. What HAZMAT materials been found on site
20. Is there a blasting, or rock breaking, is there a plan, how are existing structures being monitored
21. how is dust being mitigated during construction
22. where is the water source coming from during construction, and how is grey water mitigated
23. will the diameter of culverts and drainage ditches be increased, ordeepened, and what are the saftey plans from falling into a deepened ditch
24. what are the lots being sold for
25. will the lots be subdivided,
26. how many total homes is the entire blacktail development going to have
27. how much lotr clearing is allowed. How will this effect water run-off & soil erosion. What are the protocols to maintain existing conditions, avoiding run off & erosion.
28. what is the projected avalanche anticipation
29. as blacktail is at a much higher elevation than bonnie brae, is shoring planned, and how is bonnie brae protected
30. are the developers posting a bond for any occurence to existing roadways, or residences.

From: Emily Coate Thompson <ecoate@gmail.com>
Sent: Monday, April 18, 2022 8:59 PM
To: PC_Comments
Subject: Blacktail Mtn Estates

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

Hello there-

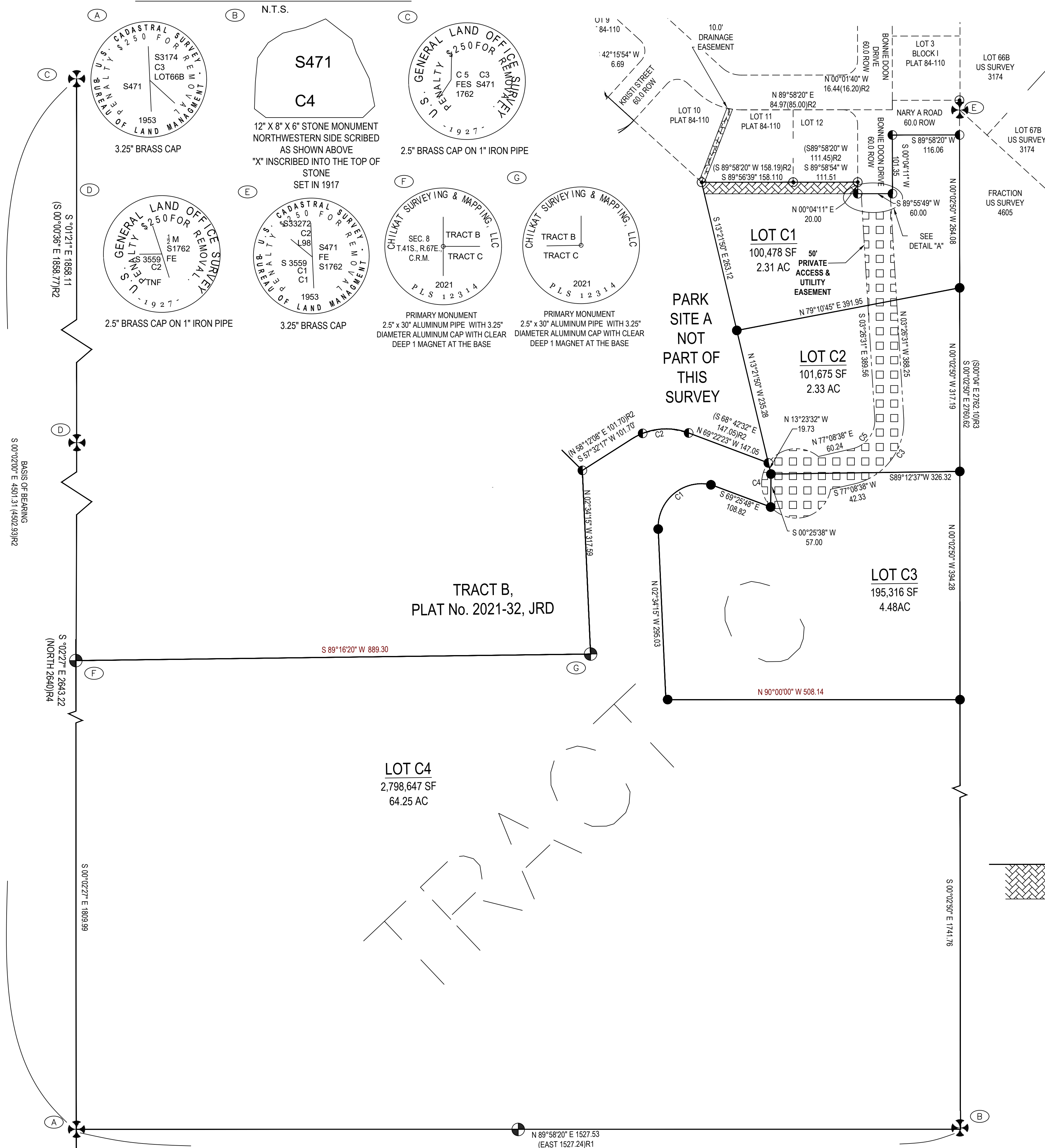
I'm writing to comment on the proposed Blacktail Estates out above Bonnie Brae. Being an active Bonnie Brae homeowner, I'm leery of this proposed subdivision and its 3 separate access points. It was my understanding that there are rules around the addition of another tier in the neighborhood (aka the requirement to update the rest of the neighborhood to code) and it feels shady that the developer is instead, installing 12 lots but bypassing the rules already in place. If you let this developer use this loophole, what other developers will follow? What's the point of having rules of planning and developing on the books if they can be bent to your unique preferences?

Additionally, I'm concerned about the drainage to the rest of our homes if the wetlands above are being filled in. There is a high volume of water pumping out of the wetlands through the creek in our backyard after rainfall and during spring melt and I'm concerned that corners will be cut and drainage improperly installed especially given that corners are already being cut with the whole "3 access points" idea. Furthermore, how will snow removal work out on these access points if they are all considered private drives? As we saw this last winter, there is the potential for a lot of snow to build up and the roads become one way streets. I'm concerned that if each of these access points are owner responsibility, we might see even more of a bumble in terms of where snow is being pushed and what it is blocking for the neighborhood as a whole.

I urge the members of the planning commission to look at these concerns and ask themselves, who will be purchasing these single family with apartment lots? At what price point do they serve? If you're looking to expand affordable housing, this isn't it. The last thing we need is more half a million dollar homes sitting high on a hill that only the elite can afford.

Thank you-
Emily Thompson

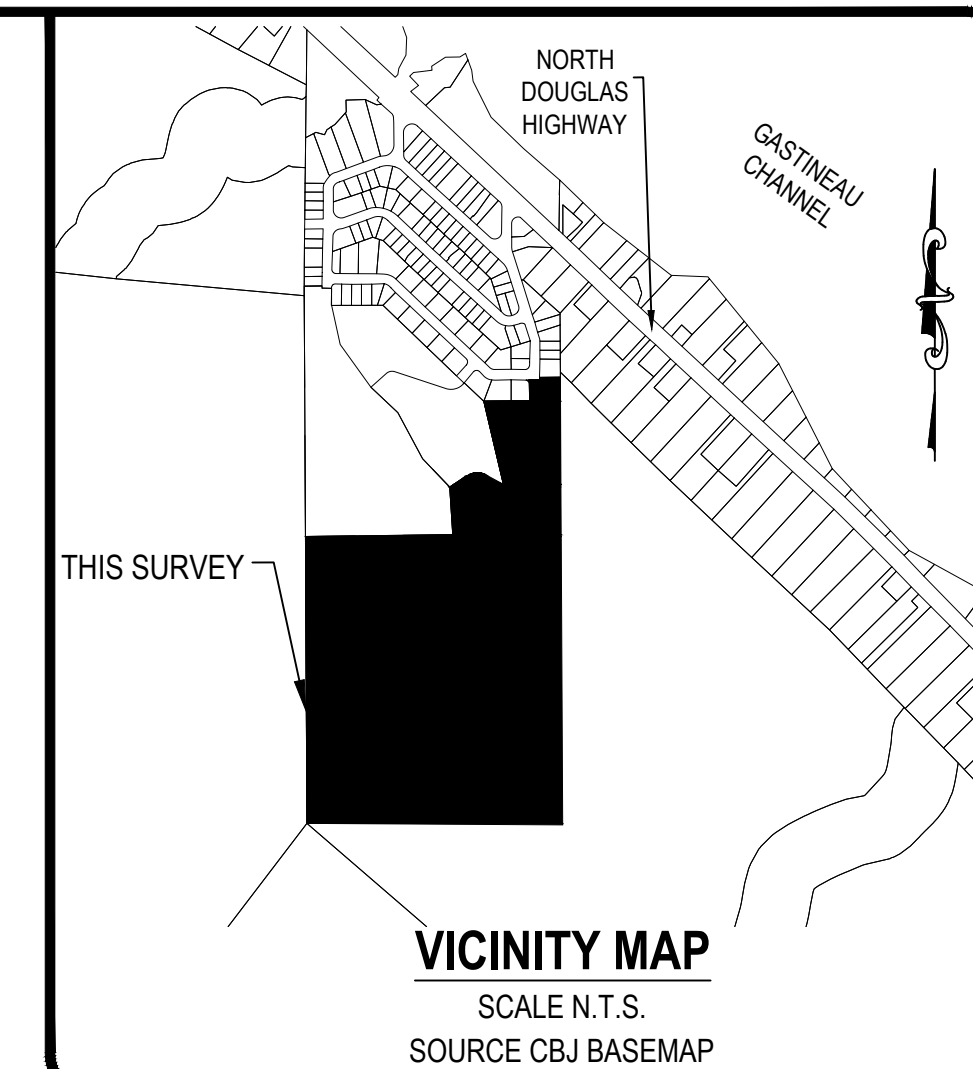
RECOVERED MONUMENT DETAILS












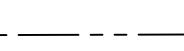


SURVEYOR'S CERTIFICATE

I, JOSHUA IVANISZEK, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, THAT ALL DIMENSIONAL AND RELATIVE BEARINGS ARE CORRECT, AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.

DATED: 25 AUGUST 2023



LEGEND:

- | | |
|--|---|
|  | GLO PRIMARY MONUMENT RECOVERED |
|  | 12314-S PRIMARY MONUMENT RECOVERED |
|  | 3088S SECONDARY MONUMENT RECOVERED |
|  | 12314-S SECONDARY MONUMENT RECOVERED |
|  | SECONDARY MONUMENT SET THIS SURVEY |
|  | MONUMENT IDENTIFIER |
|  | PROPERTY LINES |
|  | UNSURVEYED LINES |
|  | PRIVATE ACCESS, DRAINAGE & UTILITY EASEMENT LINES |
|  | PUBLIC 20' ACCESS EASEMENT CREATED THIS PLAT |
|  | PRIVATE 50' ACCESS, DRAINAGE & UTILITY EASEMENT |
|  | DRAINAGE EASEMENT PLAT 84-110 |
| (N 45°11' W)R1 | RECORD INFORMATION FROM US SURVEY 471 |
| (N45°04'15" W)R2 | RECORD INFORMATION FROM PLAT No. 84-110 |
| (S 00°04'E)R3 | RECORD INFORMATION FROM US SURVEY 4605 |
| (N 89°16'20" E)R4 | RECORD INFORMATION FROM PLAT No. 2021-32 |

CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	Δ ANGLE	CHORD BEARING	CHORD LENGTH
C1	138.86	75.00	106°04'59"	S 50°28'15" W	119.86
C2	101.92	110.00	53°05'20"	S 84°04'57" W (S 84°44'48" W)/R2	98.32 (98.31)R2
C3	154.71	110.00	80°35'09"	S 36°51'04" W	142.27
C4	313.54	60.00	299°24'38"	N 20°28'15" W	60.53
C5	70.32	50.00	80°35'09"	N 36°51'04" E	64.67

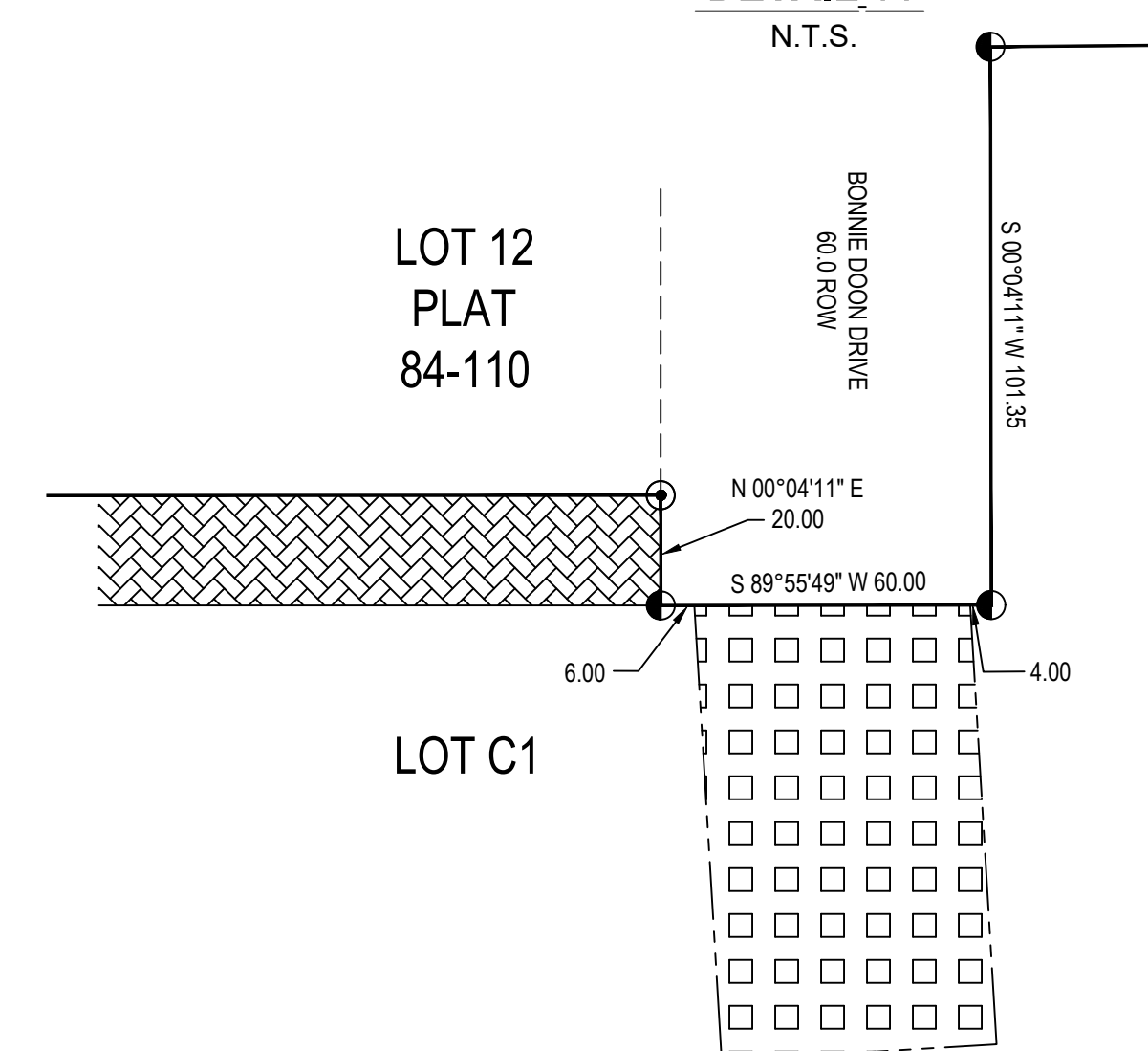


TYPICAL SET MONUMENT DETAIL

N.T.S

DETAIL "A"

N.T.S


$$1'' = 100'$$


PLAT OF
BLACKTAIL MOUNTAIN ESTATES C

A SUBDIVISION OF
BLACKTAIL MOUNTAIN ESTATES
 A FRACTION OF US SURVEY 471
 WITHIN THE CITY AND BOROUGH OF JUNEAU, ALASKA
 JUNEAU RECORDING DISTRICT

STATE RECORDER'S OFFICE AT ANCHORAGE

CHILKAT SURVEYING & MAPPING, LLC
10654 PORTER LANE JUNEAU, ALASKA 99801
907-957-1908

OWNERS

PETER PEEL
800 6TH STREET JUNEAU, AK 99801

CREATIVE DEVELOPMENT, LLC
PO BOX 032076 JUNEAU, ALASKA 99803

SCALE:
1" = 100'

MIP 20210009

DATE:
25 AUGUST 2023

SHEET NO.
1 OF 2

Date: 25 August 2023

To: CBJ COMMUNITY DEVELOPMENT DEPARTMENT
155 SOUTH SEWARD ST.
Juneau, Alaska 99801

Subject: Lot closure reports Blacktail Mountain Estates C

Remarks: The lot closure reflects the proposed Blacktail Mountain Estates C subdivision a fraction of US SURVEY 471

Lot C1

Northing	Easting	Bearing	Distance
2372427.227	2526624.124	N 00°04'11" W	20.000
2372447.227	2526624.099	S 89°58'54" W	111.510
2372447.191	2526512.589	S 89°56'39" W	158.110
2372447.037	2526354.480	S 13°21'50" E	263.120
2372191.042	2526415.296	N 79°10'45" E	391.950
2372264.626	2526800.276	N 00°02'50" W	264.079
2372528.704	2526800.059	S 89°58'20" W	116.059
2372528.648	2526684.000	S 00°04'11" E	101.348
2372427.300	2526684.123	S 89°55'49" W	59.999
2372427.227	2526624.124		

Closure Error Distance > 0.00000
Total Distance > 1486.175
Polyline Area: 100478 sq ft, 2.3067 acres

Lot C2

Northing	Easting	Bearing	Distance
2372264.626	2526800.276		
		S 00°02'50" E	317.187
2371947.438	2526800.537		
		S 89°12'37" W	326.323
2371942.941	2526474.246		
		N 13°23'32" W	19.728
2371962.133	2526469.677		
		N 13°21'50" W	235.280
2372191.042	2526415.296		
		N 79°10'45" E	391.950
2372264.626	2526800.276		

Closure Error Distance> 0.00000
Total Distance> 1290.468
Polyline Area: 101675 sq ft, 2.3341 acres

Lot C3

Northing	Easting	Bearing	Distance
2371924.180	2526371.936		
Radius: 75.000 Chord: 119.861 Degree: 76°23'40" Dir: Left			
Length: 138.862 Delta: 106°04'59" Tangent: 99.679			
chord BRG: S 50°28'15" W Rad-In: S 13°30'44" W Rad-Out: N 87°25'45" E			
Radius Point: 2371851.256,2526354.412			
2371847.892	2526279.487		
		S 02°34'15" E	295.028
2371553.161	2526292.720		
		N 90°00'00" E	508.142
2371553.161	2526800.862		
		N 00°02'50" W	394.278
2371947.438	2526800.537		
		S 89°12'37" W	326.323
2371942.941	2526474.246		
		S 00°25'38" W	56.998
2371885.945	2526473.821		
		N 69°25'48" W	108.823
2371924.180	2526371.936		

Closure Error Distance> 0.00000 Error Bearing> N 90°00'00" E
Closure Precision> 1 in 3926575662786.2 Total Distance> 1828.454
Polyline Area: 195316 sq ft, 4.4838 acres

LOT C4

North	East	Bearing	Distance
2371368.373	2531307.359	N 90°00'00" W	508.142
2371368.373	2530799.217	N 02°34'15" W	295.028
2371663.104	2530785.984		
Radius: 75.000 Chord: 119.861 Degree: 76°23'40" Dir: Right			
Length: 138.862 Delta: 106°04'59" Tangent: 99.679			
Chord BRG: N 50°28'15" E Rad-In: N 87°25'45" E Rad-Out: S 13°30'44" W			
Radius Point: 2371666.468,2530860.908			
2371739.392	2530878.432	S 69°25'48" E	108.823
2371701.157	2530980.318	N 00°25'38" E	56.998
2371758.153	2530980.743	N 13°23'32" W	19.728
2371777.345	2530976.173	N 69°22'23" W	147.049
2371829.148	2530838.551		
Radius: 110.000 Chord: 98.316 Degree: 52°05'13" Dir: Left			
Length: 101.923 Delta: 53°05'20" Tangent: 54.951			
Chord BRG: S 84°04'57" W Rad-In: S 20°37'37" W Rad-Out: S 32°27'43" E			
Radius Point: 2371726.200,2530799.800			
2371819.012	2530740.758	S 57°32'17" W	101.699
2371764.426	2530654.950	S 02°34'15" E	317.586
2371447.160	2530669.195	S 89°16'20" W	889.298
2371435.864	2529779.969	S 00°02'27" E	1809.992
2369625.872	2529781.261	N 89°58'20" E	1527.533
2369626.613	2531308.794	N 00°02'50" W	1741.761
2371368.373	2531307.359		

Closure Error Distance> 0.00000
Total Distance> 7764.423
Polyline Area: 2798647 sq ft, 64.2481 acres

NOTES:

- 1) THE ERROR OF CLOSURE OF THIS SURVEY DOES NOT EXCEED 1:10000.
- 2) ALL DISTANCES ARE MEASURED IN U.S. SURVEY FEET.
- 3) RECORD INFORMATION DERIVED FROM THE OFFICIAL PLAT OF US SURVEY 471, DATED 11 NOVEMBER 1915; US SURVEY 1762, DATED 22 SEPTEMBER 1927; US SURVEY 3174, DATED 25 JULY 1953; US SURVEY 3272 DATED 18 AUGUST 1953; US SURVEY 3559 DATED 19 JULY 1961; BONNIE BRAE ESTATES UNIT No. I DATED 10 JULY 1984 PLAT No. 81-47; BONNIE BRAE ESTATES UNIT NO. II DATED 10 JULY 1984 PLAT NO. 84-110; PLAT OF LOT 4A & LOT 4B A SUBDIVISION OF LOT 4, BLOCK H BONNIE BRAE SUBDIVISION II DATED JANUARY 85 PLAT No. 85-18W; AS BUILT PLAT OF LOT 3A & LOT 3B A SUBDIVISION OF LOT 3, BLOCK F BONNIE BRAE SUBDIVISION II DATED JANUARY 85 PLAT NO. 85-30W; LOT 3, INTO LOTS 3-A & 3-B, BLOCK H, BONNIE BRAE ESTATES SUBDIVISION UNIT NO. II DATED 7 MAY 1987 PLAT NO. 87-12; A SUBDIVISION OF LOT 2 INTO LOTS 2-A & 2-B, BLOCK H, BONNIE BRAE ESTATES SUBDIVISION UNIT NO. II DATED 7 MAY 1987 PLAT NO. 87-13; BLACKTAIL MOUNTAIN ESTATES PLAT 2021-32 DATED 8 OCTOBER 2021 ON FILE WITH THE ALASKA DEPARTMENT OF NATURAL RESOURCES, RECORDER'S OFFICE WITHIN THE JUNEAU RECORDING DISTRICT.
- 4) WHERE DIFFERENT FROM MEASURED OR CALCULATED RECORD DIMENSIONS ARE SHOWN IN PARENTHESES.
- 5) DOMESTIC WATER & SANITARY SEWER PROVIDED BY THE CITY AND BOROUGH OF JUNEAU PUBLIC UTILITIES.
- 6) SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
- 7) THE STORMWATER RUNOFF IS ACCEPTABLE PER BLACKTAIL MOUNTAIN ESTATES TRACT C DRAINAGE PLAN IN APPROVED CONSTRUCTION PLAN SET. ALL REQUIRED PUBLIC IMPROVEMENTS INCLUDING SURFACE DRAINAGE, DRIVEWAYS AND ROADSIDE DRAINAGE SHALL BE CONSTRUCTED PRIOR TO FINAL ACCEPTANCE FOR MAINTENANCE BY CBJ PUBLIC WORKS. MODIFICATIONS TO THE APPROVED PLANS WILL NOT BE ALLOWED UNLESS PERMITTED BY CBJ ENGINEERING PURSUANT TO CBJ 19.12.120.1 BEST MANAGEMENT PRACTICES.
- 8) WETLANDS MAY EXIST ON PARTS OF THE SUBDIVISION. SPECIAL REGULATIONS MAY APPLY.
- 9) ACCESS SUBJECT TO CBJ 49.35 ARTICLE II DIVISION 2 'PRIVATE SHARED ACCESS' REQUIREMENTS. ACCESS TO LOTS C1, C2, C3 & C4 SHALL BE RESTRICTED TO A SINGLE DRIVEWAY IN THE SHARED ACCESS EASEMENT. USE OF THE ACCESS EASEMENT DELINEATED ON THIS PLAT IS SUBJECT TO THE REQUIREMENTS SET FORTH IN THE COMMON DRIVEWAY ACCESS, UTILITY AND MAINTENANCE AGREEMENT - RECORDED WITH THIS SUBDIVISION.
- 10) AT THE TIME OF PLAT RECORDING, DEVELOPMENT, INCLUDING FURTHER SUBDIVISION OR USE, OF LOTS IN THIS SUBDIVISION IS SUBJECT TO CBJ 49.35 ARTICLE II DIVISION II 'PRIVATE SHARED ACCESS'. SEE THE CITY AND BOROUGH OF JUNEAU LAND USE CODE FOR CURRENT REGULATIONS.
- 11): THE USE OF EACH LOT SERVED BY THE SHARED ACESS SHALL BE LIMITED TO ONE SINGLE-FAMILY RESIDENCE AND ONE ACCESSORY APARTMENT [CBJ 49.35.262(B)(5)].

BASIS OF BEARING

THE BASIS OF BEARING FOR THIS PLAT IS THE RECORD BEARING OF S 00°02'00" W BETWEEN FOUND G.L.O. BRASS CAP MONUMENTS, DETAILED THIS PLAT, WHICH MARK CORNER 3 US SURVEY 471 AND CORNER 1, US SURVEY 3559, AS DEPICTED UPON BONNIE BRAE UNIT II PLAT 84-110 DATED 23 JULY 1984, ON FILE AT THE OFFICE OF THE RECORDER, JUNEAU RECORDING DISTRICT, ANCHORAGE, ALASKA.

PLANNING COMMISSION PLAT APPROVAL

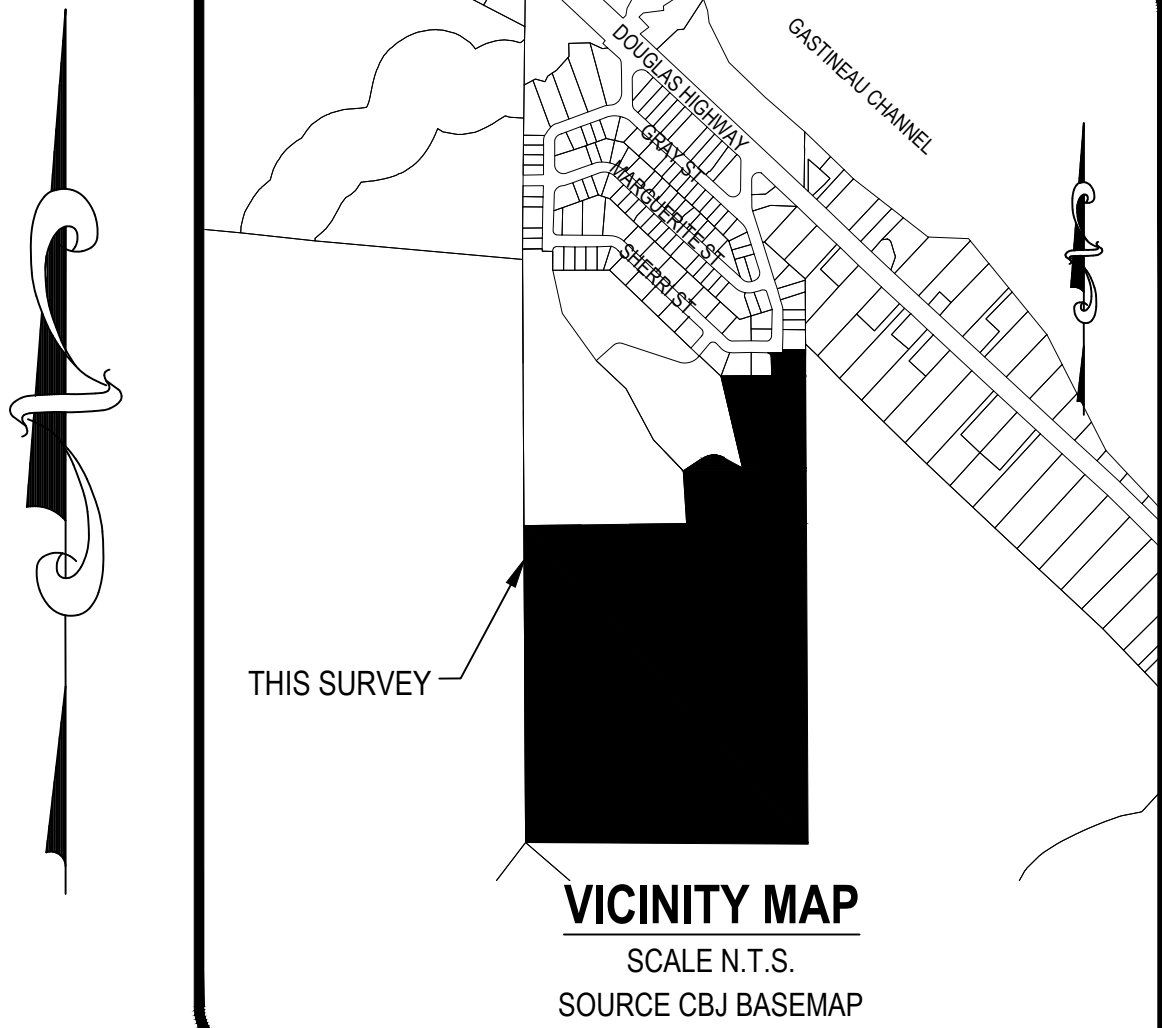
I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF THE CITY AND BOROUGH OF JUNEAU, ALASKA AND THAT SAID PLAT HAS BEEN APPROVED BY THE PLANNING COMMISSION BY PLAT RESOLUTION NO. _____, DATED _____, 2023, AND THAT THE PLAT SHOWN HEREON HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE DISTRICT RECORDING OFFICE, ANCHORAGE, ALASKA.

_____, DATED _____, 2023

CHAIRMAN OF THE PLANNING COMMISSION
CITY AND BOROUGH OF JUNEAU

ATTEST:

MUNICIPAL CLERK
CITY AND BOROUGH OF JUNEAU



OWNERSHIP CERTIFICATE:

I HEREBY CERTIFY THAT I AM THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I HEREBY ADOPT THIS PLAT OF SUBDIVISION WITH OUR FREE CONSENT, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE: _____, 2023

PETER PEEL

NOTARY ACKNOWLEDGEMENT:

UNITED STATES OF AMERICA)
)SS
STATE OF ALASKA)

THIS IS TO CERTIFY THAT ON THIS ____ DAY OF _____, 2023, BEFORE ME THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED PETER PEEL TO ME KNOWN TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE ABOVE AND FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY SIGNED AND SEALED THE SAME FREELY AND VOLUNTARY FOR THE USES AND PURPOSES THEREIN MENTIONED AUTHORIZED TO DO SO.

WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

NOTARY PUBLIC FOR ALASKA

MY COMMISSION EXPIRES: _____

CORPORATE OWNERSHIP CERTIFICATE:

I HEREBY CERTIFY THAT CREATIVE DEVELOPMENT, INC IS THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HERON AND THAT I , AS PRESIDENT, HEREBY ADOPT THIS PLAT OF SUBDIVISION WITH MY FREE CONSENT, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO THE PUBLIC OR PRIVATE USE AS NOTED.

DATE: _____, 2023

BRUCE GRIGGS, PRESIDENT
CREATIVE DEVELOPMENT, INC

NOTARY ACKNOWLEDGEMENT:

UNITED STATES OF AMERICA)
)
)SS
STATE OF ALASKA)

THIS IS TO CERTIFY THAT ON THIS ____ DAY OF _____, 2023, BEFORE ME THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED BRUCE GRIGGS, TO ME KNOWN AND KNOWN TO ME TO BE THE PERSON HE REPRESENTS HIMSELF TO BE AND THE PRESIDENT OF CREATIVE DEVELOPMENT, INC WHO ACKNOWLEDGED TO ME THAT HE EXECUTED THE FOREGOING INSTRUMENT AS THE FREE ACT AND DEED OF THE SAID CORPORATION FOR THE PURPOSES THEREIN MENTIONED, BEING FULLY AUTHORIZED TO DO SO.

WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

NOTARY PUBLIC FOR ALASKA

MY COMMISSION EXPIRES: _____



SURVEYOR'S CERTIFICATE

I, JOSHUA IVANISZEK, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, THAT ALL DIMENSIONAL AND RELATIVE BEARINGS ARE CORRECT, AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.

DATED: 25 AUGUST 2023

PLAT OF BLACKTAIL MOUNTAIN ESTATES C A SUBDIVISION OF BLACKTAIL MOUNTAIN ESTATES A FRACTION OF US SURVEY 471 WITHIN THE CITY AND BOROUGH OF JUNEAU, ALASKA JUNEAU RECORDING DISTRICT			
STATE RECORDER'S OFFICE AT ANCHORAGE			
CHILKAT SURVEYING & MAPPING, LLC 10654 PORTER LANE JUNEAU, ALASKA 99801 907-957-1908			
OWNERS PETER PEEL 800 6TH STREET JUNEAU, AK 99801		CREATIVE DEVELOPMENT, LLC PO BOX 032076 JUNEAU, ALASKA 99803	
SCALE: N.T.S.	MIP 20210009	DATE: 25 AUGUST 2023	SHEET NO. 2 OF 2



Treasury Division
155 S Seward St
Juneau AK 99801
907.586.5215 x4907 Phone
907.586.5367 Fax

CERTIFICATION OF TAXES AND ASSESSMENTS PAID

I, the undersigned, being duly appointed, qualified Treasurer for the City and Borough of Juneau, First Judicial District, State of Alaska, do hereby certify that, according to the records of the City and Borough of Juneau, the following described real property is carried on the tax records in the name of:

PETER PEEL

Current Owner

BLACKTAIL MOUNTAIN ESTATES TR C

Legal Description

6D0801110013

Parcel Code Number

and that, all Real Property taxes and assessments levied by the City and Borough of Juneau against said Real Property have been paid in full. If approval is sought between January 1 and the date of levy, there is on deposit with the Treasury Department an amount sufficient to pay Real Property tax for the current year based on current available information; however, owner remains responsible for the balance of any taxes owed when billing occurs on July 1, 2023.

Ruth Kostik

July 28, 2023

Date

This Certification of Payment of Taxes is valid through December 31, 2023

Parcel Number: 6D0801110013 (p_id: 2014590)

Parcel Address: N DOUGLAS HWY Owner vs Mailing Index: In Sync

PETER PEEL Since July 2019
800 SIXTH ST
JUNEAU AK 99801 (na_id: 4044502)

Total Land Value: \$411,600
Total Value: \$411,600

\$0.00
As Of Date
5/30/2023

(1) General AR (2023) X (1) Revenue Collector (2023) X

Real Property Tax Accounts Receivable Name & Address Property Information Deposit Management

Parcel Information Property Location Building Information Property Owner Property Occupants Related I

Tax Map Number

6D0801110013

Subdivision

BLACKTAIL MOUNTAIN ESTATES TR C

Tax Map # 6D0801110013

Subsystem

Year

Warning Code	Year id	Sub System	Cycle Code	Bill Number	Billed	Balance	Paid
Needs Tax Cert->T...	2023	Real Property Tax	RP	13933	\$4,181.86	\$0.00	\$4,181.86
	2022	Real Property Tax	RP	13957	\$4,346.50	\$0.00	\$4,346.50

Blacktail Mountain Estates Subdivision – Grading & Drainage Memo

To: Bruce Griggs

From: Gabe Hayden, PE

Date: 6/12/2022

SUMMARY

The proposed Blacktail Mountain Estates Subdivision will be graded to reduce or maintain the existing stormwater run-on to the lots immediately downhill of the subdivision. The subdivision will be graded such that the majority of the stormwater flow in contact with the new subdivision will be directed to the existing stormwater ditches on Bonnie Doon, Sherri Street, and Wee Burn Drive via existing CBJ ROWs and drainage easements. The total peak storm flows exiting the subdivision will be increased due to the replacement of some natural channels with engineered ditches, and the storm flow total volume will increase due to reduced infiltration in the developed portions of the subdivision.

LOT GRADING

The grading plan for the new subdivision is included in the Construction Drawings as sheets 13 through 16. This plan shows the new grading contours in solid line-type, and existing contours in dashed linetype. Where bold contours are not shown the existing ground is not planned to be re-graded.

The stormwater management system and grading for the new subdivision is designed so that stormwater flow to each existing lot downhill of the subdivision is either not increased or reduced. A table is given below showing the 25yr/24 hr storm uphill flow onto each affected zone directly below the subdivision.

Zone	Peak Flow - Prior to Development (GPM)	Peak Flow - Developed (GPM)	Change in flow in developed condition (GPM) [+ is increase, (-) is decrease]
6751 Sherri Drainage Easement	187	228	41
6747 Sherri Drainage Easement	351	213	-138
6737 Sherri Drainage Easement	226	291	65
Driveway A at Sherri	31	1,217	1,185
6721 Sherri	166	166	0
6717 Sherri	95	95	0
Driveway C at Bonnie Doon & Sherri Intersection	215	1,063	848
Bonnie Doon & Sherri St Intersection, 24" culvert	610	2,830	2,220

Blacktail Mountain Estates Subdivision – Grading & Drainage Memo

Bonnie Doon west side discharge culvert	745	3,571	2,826
Natural Creek at Eastern Property Line	2,377	2,550	173
USS 4605 #1	696	202	-494
Natural Creek at Western Property Line	2,367	2,785	418
USS 4605 #2	1,959	1,959	0
Upper Wee Burn west ditch	33	1,724	1,691
Lower Wee Burn west ditch	1,466	2,312	846

All new lots will be developed to consist of a rockfill building pad, minimum size 50'X50', an access driveway to that pad, and the remainder of the lots will be graded per the Construction Drawings using local non-structural fill.

Lot A3 will be graded to expand an existing rock quarry to accommodate the removal of approximately 40,000 Bank Cubic Yards of rock, to be drilled and blasted. Final contours at Lot A3 are shown on sheet 3 of the Construction Drawings.

Lot A4 will be graded to maintain the existing site drainage patterns, per sheet 16 of the Construction Drawings. Where the new driveway to the Lot A4 building pad cross existing drainage channels 12-18" culverts will be installed through the driveways at locations determined by the engineer in the field in order to maintain the natural drainage pathways.

Drainage ditches, minimum depth of 18 inches, will be installed at the toe of the fill of Lots B1, B2, and B3. These ditches will be graded to drain to existing drainage easements between downhill developed lots, per sheet 15 of the Construction Drawings.

DITCH SYSTEM

Ditches will be constructed on both sides of the new shared driveways, except in cross-slope locations as shown on the construction drawings. Ditches are sized to accommodate the 100 Year – 24 Hour storm event, with a minimum freeboard of 1.0 ft at the normal flow during the 100 Year storm event. All ditch systems report to the existing CBJ stormwater system downhill of the new subdivision, with the exception of the left ditch of Driveway A, which reports to an existing natural creek at the eastern property boundary.

Blacktail Mountain Estates Subdivision – Grading & Drainage Memo

EXISTING BONNIE BRAE STORMWATER SYSTEM

The stormwater discharge from Driveways A & C will report to the western ditch on Bonnie Doon Drive. This ditch and the associated culverts are appropriately sized to pass the post-developed condition stormflows. This ditch terminates at a culvert discharging to a natural drainage channel that is capable of conveying the post developed condition stormflows to North Douglas Highway. The stormwater flow from Driveway A will be routed to Bonnie Doon Drive via the uphill ditchline on Sherri Street. This ditch must be rehabilitated to match the CBJ typical section #101 and graded to drain towards Bonnie Doon Drive. Any culverts in the ditch system less than 18" in diameter should be upgraded to 18" diameter CPP culverts.

The stormwater discharge from Driveway B will report to the western ditch on Wee Burn Drive. This ditch and the associated culverts with diameters 18" and greater are appropriately sized to pass the post-developed condition stormflows to the North Douglas Highway ditch system. Any culverts in the ditch system less than 18" in diameter should be upgraded to 18" diameter CPP culverts. The driveway culverts at both 6721 and 6713 Sherri Street require new 18" culverts to be installed per CBJ standard detail #103A.

ASSUMPTIONS

CBJ 2013 lidar was used to establish the existing natural drainage basins.

Hydrologic modeling was conducted using HEC HMS 4.2. The SCS Curve Number method was used for loss, CN=70 assumed for the undeveloped condition, and CN=80 with 25% impervious was used for developed lot condition. SCS unit hydrograph was used for the transform method with a PRF-484. SCS storm type 1A was used for the meteorological model, 100-year storm 24hr rainfall = 6.29 inches and 25-year 24hr rainfall = 5.05 inches, per the NOAA Atlas 14 Point Precipitation Frequency estimate for lat: 58.3235°, long:-134.4995°, elevation: 312 ft.

ATTACHMENTS

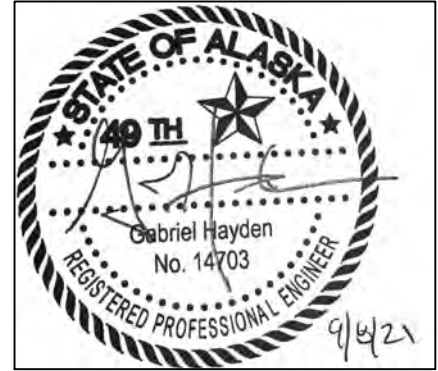
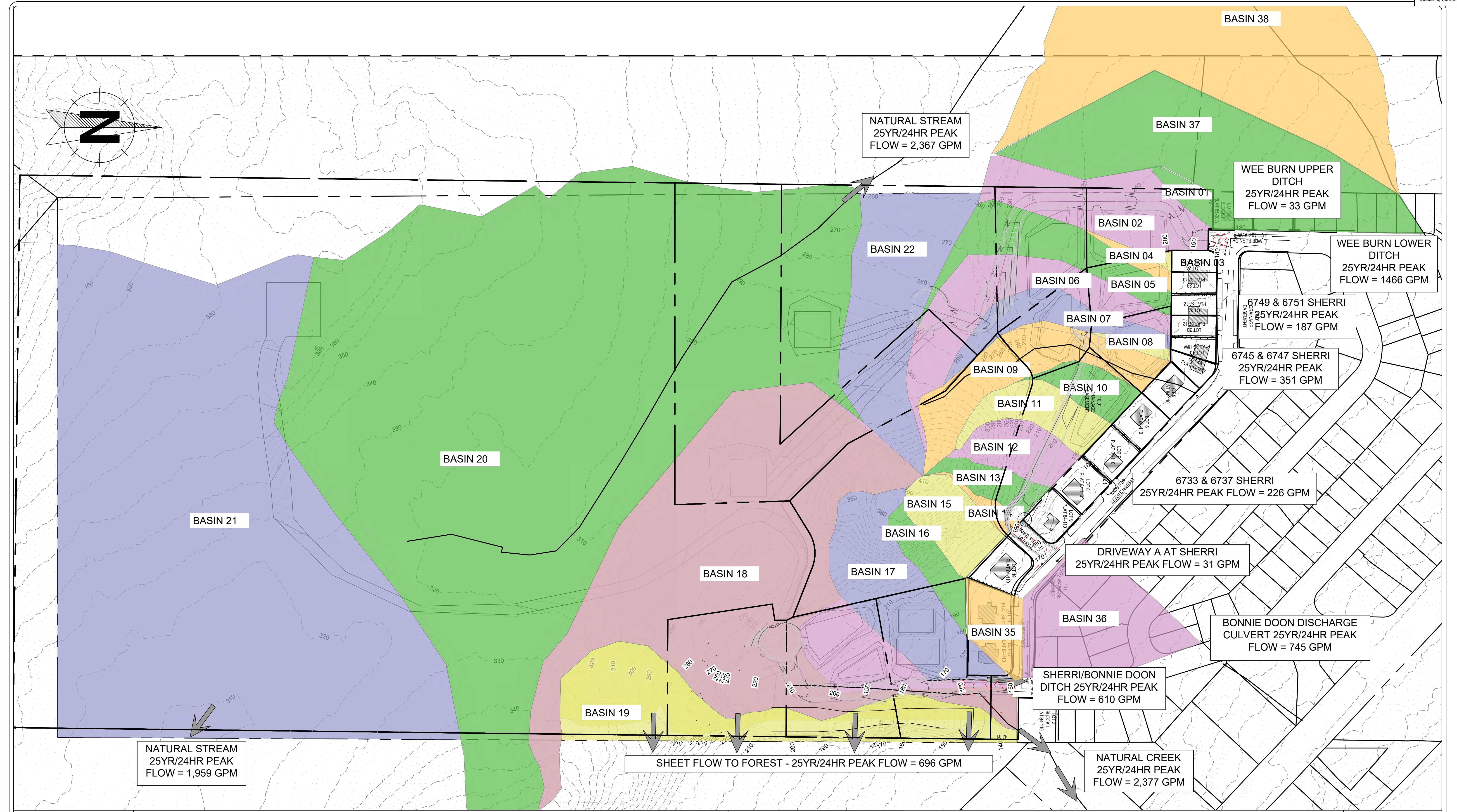
Figure 1

Figure 2

Blacktail Mountain Estates Subdivision – Grading & Drainage Memo



Gabriel Hayden, P.E. 6/12/2022



Gabriel Hayden, P.E.
hayden@katabaticeng.com
(503) 866-5579

Blacktail Mountain Estates

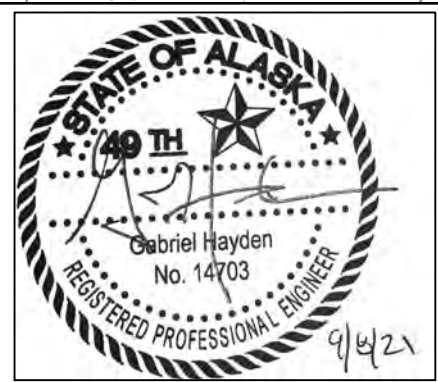
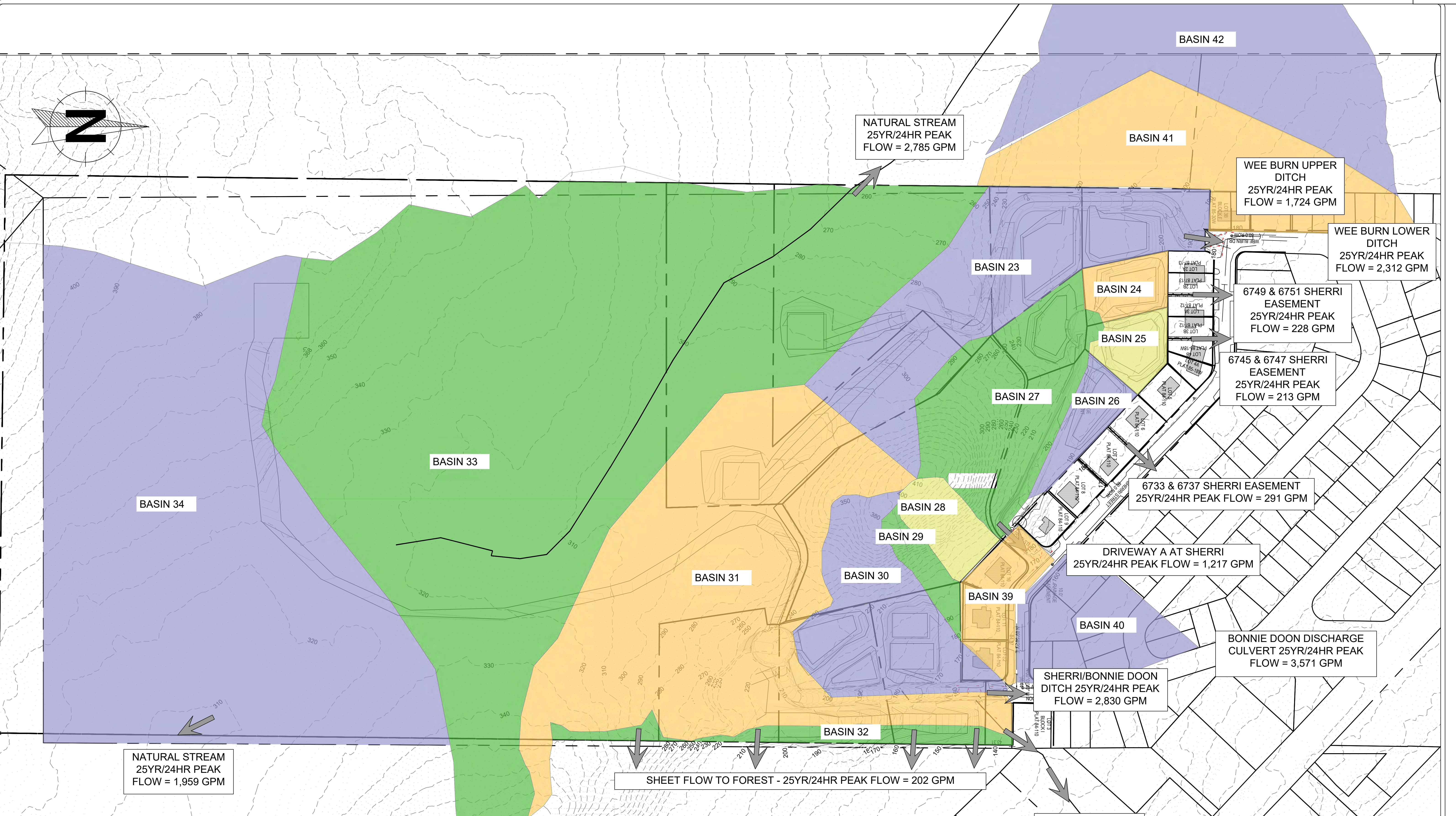
CONSTRUCTION DRAWINGS

DRAINAGE BASINS PRE-DEVELOPMENT CONDITION

DESIGN COMMISSIONED BY:
CREATIVE DEVELOPMENT, LLC
PO 032076 JUNEAU, AK 99803

CBJ REVIEW
APPROVED: _____
DATE: _____

FIGURE I



Gabriel Hayden, P.E.
hayden@katabaticeng.com
(503) 866-5579

Blacktail Mountain Estates

CONSTRUCTION DRAWINGS

DRAINAGE BASINS


POST-DEVELOPMENT CONDITION

DESIGN COMMISSIONED BY:
CREATIVE DEVELOPMENT, LLC
PO 032076 JUNEAU, AK 99803

CBJ REVIEW
APPROVED: _____
DATE: _____

FIGURE 2

Right of Way End of Project Checklist

Permit issued by: City and Borough of Juneau Department of Engineering 155 S. Seward Street Juneau, AK 99801	 CITY AND BOROUGH OF JUNEAU ALASKA'S CAPITAL CITY	Permit ROW <u>20210036,</u> <u>20220057, 20220059</u> Office: 230 S. Franklin St. 4 th Floor Phone: 586-0800 Fax: 586-4529 Inspection Request Line: 586-1703 Website: www.juneau.org/permits
---	---	--

The following constitutes a list of items that must be completed in order meet the requirements of ROW20210036, ROW20220057, ROW20220059 and prompt the return of BND20210015.

1. All new Culverts in the ROWs shall have headwalls installed per Standard 104B.
2. Both the Sherri Street Access and the Wee Burn Dr. Access drives need concrete basins at the top of the cross culvert, as well as headwalls at the culvert outfall.
3. At the Sherri Street Access, concrete fortification is needed behind the Fire Hydrant OR extension of culvert past the hydrant (to prevent wash out). The solution must be identified and approved by CBJ Engineering and/or Streets dept.
4. Remove any remaining check dams in the ROW throughout the project area.
5. Contact CBJ General Engineering 586-1703 for inspection when the required work is completed.

Developer Signature_____Date_____

Invitation to Comment

On a proposal to be heard by the CBJ Planning Commission
Your Community, Your Voice



TO:

An application has been submitted for consideration and public hearing by the Planning Commission for a **Final Plat Review** at **North Douglas Highway** in a **D3** zone.

PROJECT INFORMATION:

Project Information can be found at:
<https://juneau.org/community-development/short-term-projects>

PLANNING COMMISSION DOCUMENTS:

Staff Report expected to be posted **October 2nd, 2023** at
<https://juneau.org/community-development/planning-commission>
Find hearing results, meeting minutes, and more here, as well.

Now through Sept. 18	Sept. 19— noon, Oct. 6	HEARING DATE & TIME: 7:00 pm, Oct. 10, 2023	Oct. 11, 2023
Comments received during this period will be sent to the Planner, David Peterson , to be included as an attachment in the staff report.	Comments received during this period will be sent to Commissioners to read in preparation for the hearing.	This meeting will be held in person and by remote participation. For remote participation: join the Webinar by visiting https://juneau.zoom.us/j/82614350423 and use the Webinar ID: 826 1435 0423 OR join by telephone, calling: 1-253-215-8782 and enter the Webinar ID (above). You may also participate in person in City Hall Assembly Chambers, 155 S. Seward Street, Juneau, Alaska.	The results of the hearing will be posted online.

FOR DETAILS OR QUESTIONS,

Phone: (907)586-0753 ext. 4132

Email: pc_comments@juneau.gov or David.peterson@juneau.gov

Mail: Community Development, 155 S. Seward Street, Juneau AK 99801

Printed September 14, 2023

Case No.: SMF2023 0004

Parcel No.: 6D0801110013

CBJ Parcel Viewer: <http://epv.juneau.org>

180



NOTICE 586-0715
MAJOR SUBDIVISION
FINAL PLAT
SUBDIVISION
SUBDIVISION OF TRACT
AUTO-4017
HEARING DATE: 10/10/2023



(907) 586-0715
CDD_Admin@juneau.org
www.juneau.org/community-development
155 S. Seward Street • Juneau, AK 99801

October 4, 2023

MEMORANDUM

To: Creative Development LLC.; Peter Peel; Bruce Griggs
From: City & Borough of Juneau, David Matthew Peterson, Planner II
Case Number: SMF2023-0004
Legal Description: Blacktail Mountain Estates, Tract C.
Parcel No.: 6D0801110013

Round 1 Comments from City and Borough of Juneau Community Development.

The following consolidated review comments should be addressed prior to the plat being approved for preliminary plat approval/as a condition of preliminary plat approval. A further review of the preliminary plat may result in additional comments if new issues arise from changes made to the draft plat reviewed for this memorandum.

General Engineering

1. See attached plat mark up.

Fire

1. No revisions requested per CCFR email from 9/19/2023.

Zoning

1. No further revisions requested.

Cartography

1. Include "TRACT C", in the title block on both sheets to read "TRACT C, BLACKTAIL MOUNTAIN ESTATES".

2. The line associated with Lot C4 that measures 101.7 appears longer than that measurement. Is there another small arc that isn't annotated?
3. There's a short line extending between Tract B and the Park Site that should be revised to a dashed line type.
4. Revise adjacent lot label from TRACT B to LOT B4 per plat 2023-24.
5. See attached plat mark-up.

Plat Notes

N/A

RECOVERED MONUMENT DETAILS

A N.T.S.

3.25" BRASS CAP

B N.T.S.

12" X 8" X 6" STONE MONUMENT
NORTHWESTERN SIDE SCRIBED
AS SHOWN ABOVE
"X" INSCRIBED INTO THE TOP OF
STONE
SET IN 1917

C N.T.S.

2.5" BRASS CAP ON 1" IRON PIPE

D N.T.S.

2.5" BRASS CAP ON 1" IRON PIPE

E N.T.S.

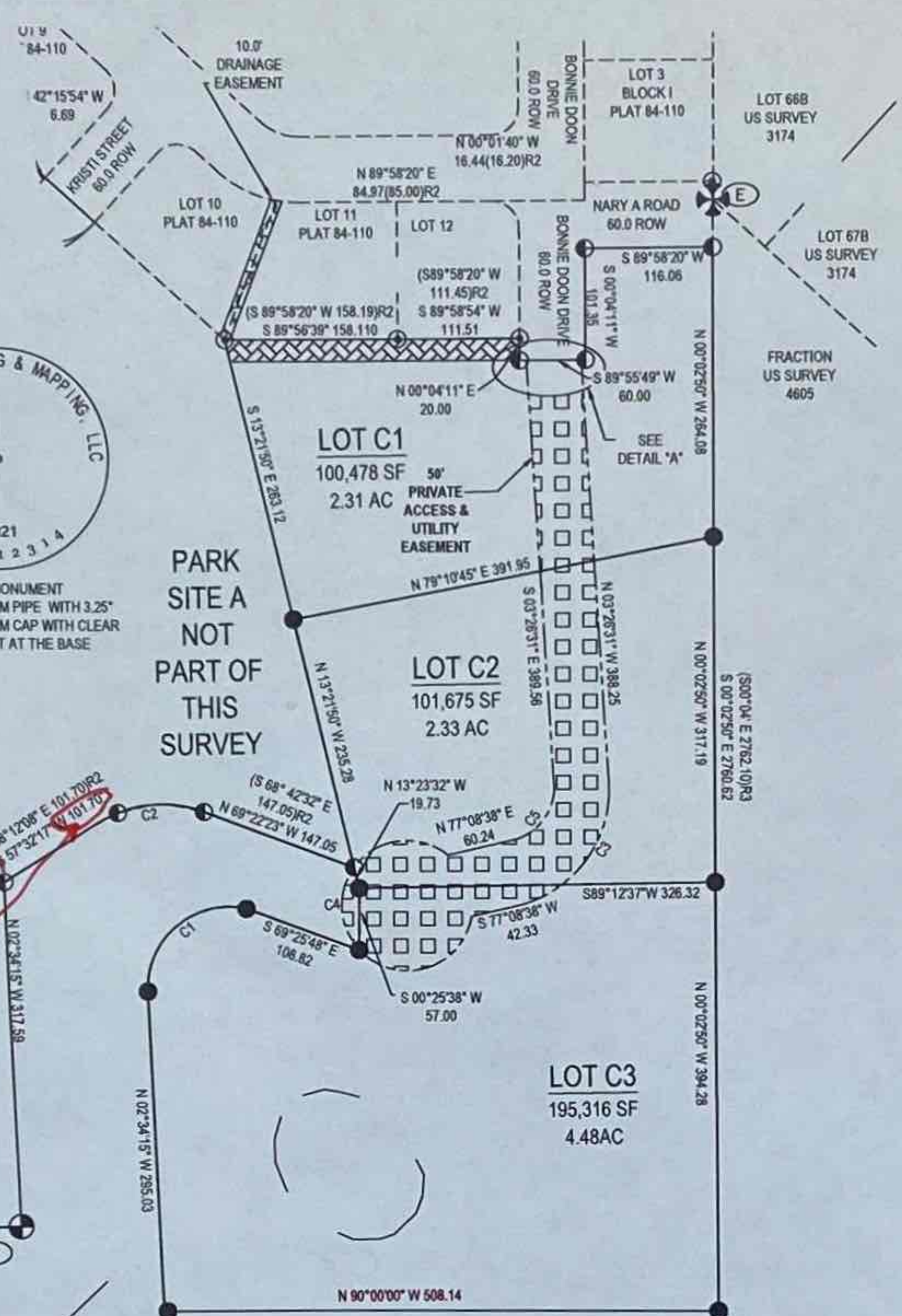
3.25" BRASS CAP

F N.T.S.

PRIMARY MONUMENT
2.5" X 30" ALUMINUM PIPE WITH 3.25"
DIAMETER ALUMINUM CAP WITH CLEAR
DEEP 1 MAGNET AT THE BASE

G N.T.S.

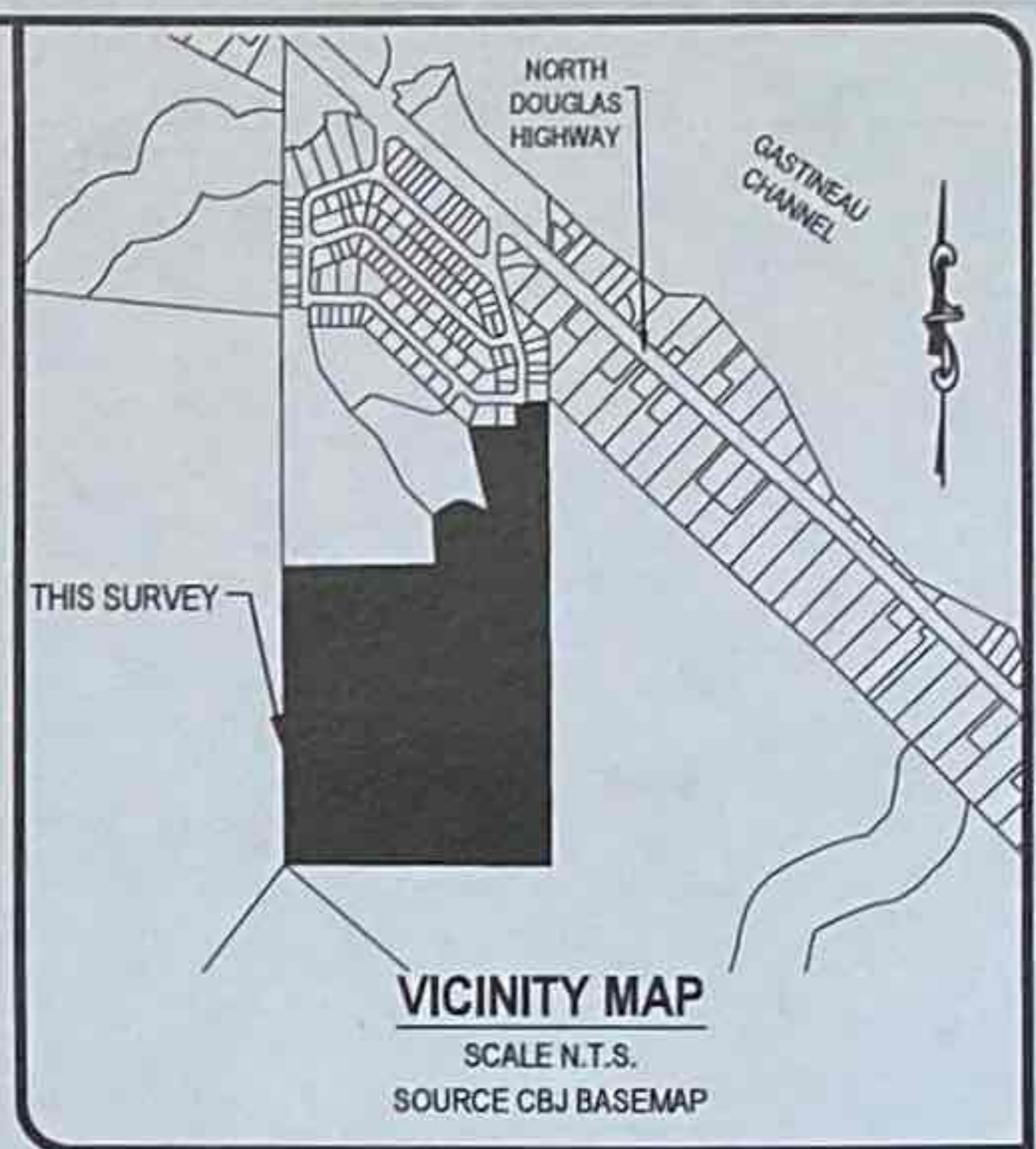
PRIMARY MONUMENT
2.5" X 30" ALUMINUM PIPE WITH 3.25"
DIAMETER ALUMINUM CAP WITH CLEAR
DEEP 1 MAGNET AT THE BASE



SURVEYOR'S CERTIFICATE

I, JOSHUA IVANISZEK, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, THAT ALL DIMENSIONAL AND RELATIVE BEARINGS ARE CORRECT, AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.

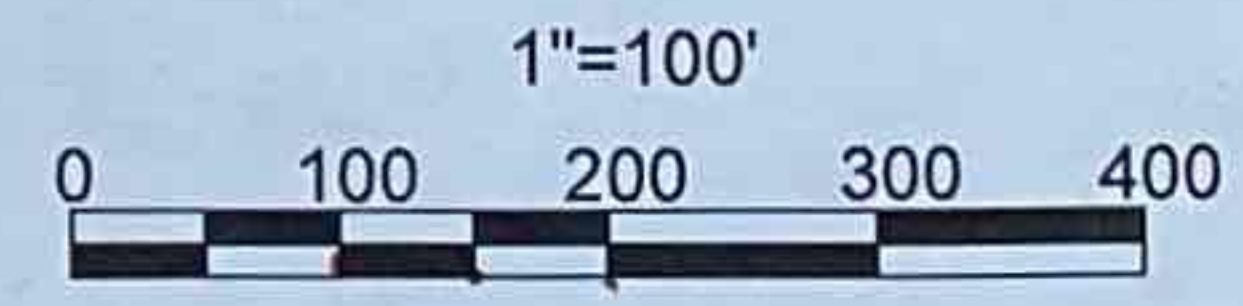
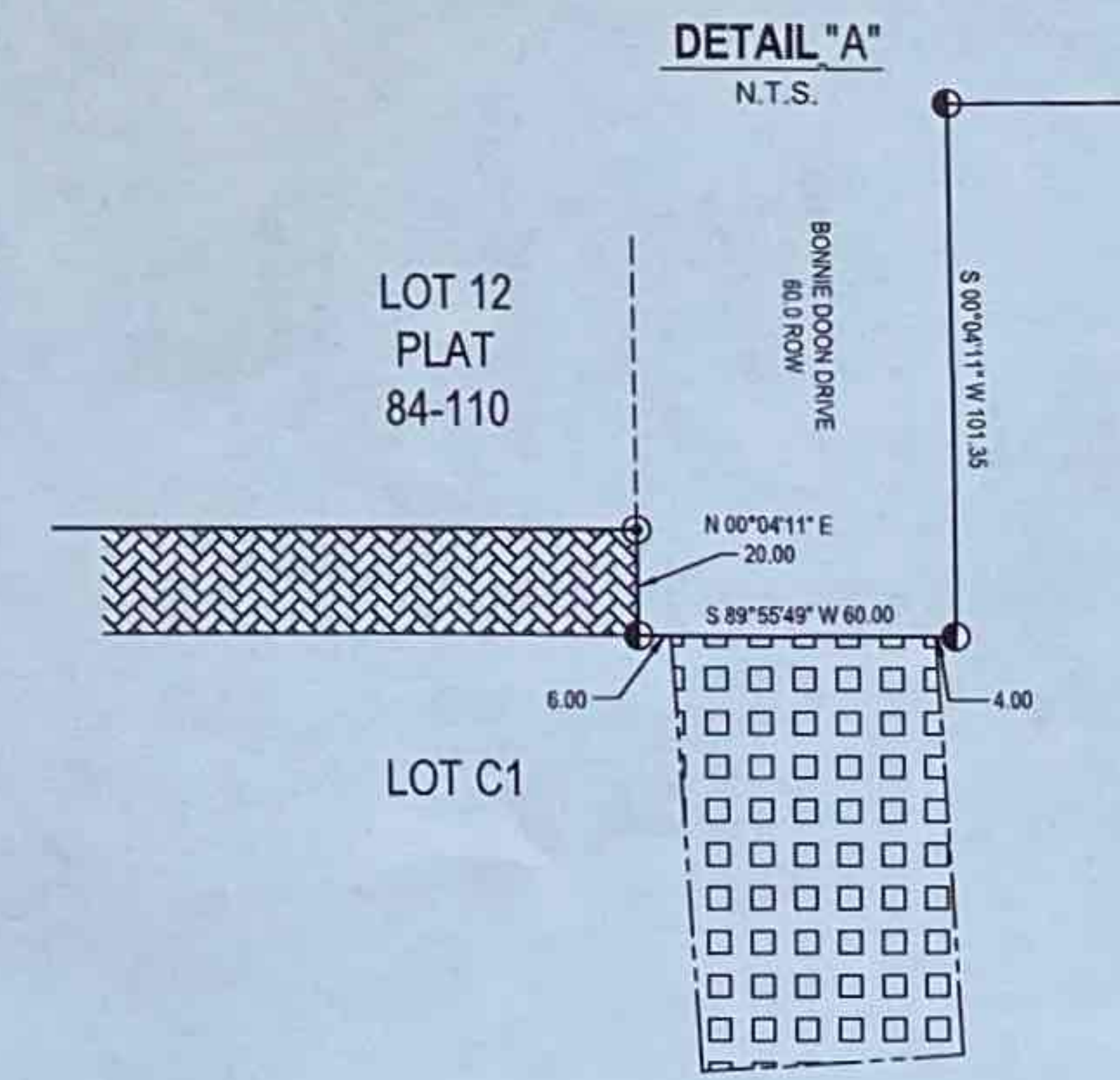
DATED: 25 AUGUST 2023



CURVE TABLE

CURVE	ARC LENGTH	RADIUS	Δ ANGLE	CHORD BEARING	CHORD LENGTH
C1	138.86	75.00	106°04'59"	S 50°28'15" W	119.86
C2	101.92	110.00	53°05'20"	S 84°04'57" W	98.32
C3	154.71	110.00	80°35'09"	(S 84°44'48" W)R2	(98.31)R2
C4	313.54	60.00	299°24'38"	S 36°51'04" W	142.27
C5	70.32	50.00	80°35'09"	N 20°28'15" W	60.53

- LEGEND:**
- GLO PRIMARY MONUMENT RECOVERED
 - 12314-S PRIMARY MONUMENT RECOVERED
 - 3088S SECONDARY MONUMENT RECOVERED
 - 12314-S SECONDARY MONUMENT RECOVERED
 - SECONDARY MONUMENT SET THIS SURVEY
 - MONUMENT IDENTIFIER
 - PROPERTY LINES
 - UNSURVEYED LINES
 - PRIVATE ACCESS, DRAINAGE & UTILITY EASEMENT LINES
 - PUBLIC 20' ACCESS EASEMENT CREATED THIS PLAT
 - PRIVATE 50' ACCESS, DRAINAGE & UTILITY EASEMENT
 - DRAINAGE EASEMENT PLAT 84-110
 - (N 45°11' W)R1 RECORD INFORMATION FROM US SURVEY 471
 - (N45°04'15" W)R2 RECORD INFORMATION FROM PLAT No. 84-110
 - (S 00°04'E)R3 RECORD INFORMATION FROM US SURVEY 4605
 - (N 89°16'20" E)R4 RECORD INFORMATION FROM PLAT No. 2021-32



PLAT OF
BLACKTAIL MOUNTAIN ESTATES C
A SUBDIVISION OF
TRACT C, BLACKTAIL MOUNTAIN ESTATES
A FRACTION OF US SURVEY 471
WITHIN THE CITY AND BOROUGH OF JUNEAU, ALASKA
JUNEAU RECORDING DISTRICT

STATE RECORDER'S OFFICE AT ANCHORAGE

CHILKAT SURVEYING & MAPPING, LLC
10654 PORTER LANE JUNEAU, ALASKA 99801
907-957-1908

OWNERS
PETER PEEL
800 6TH STREET JUNEAU, AK 99801
CREATIVE DEVELOPMENT, LLC
PO BOX 032076 JUNEAU, ALASKA 99803

SCALE:
1" = 100'

MIP: 20210009

DATE:
25 AUGUST 2023

SHEET NO.
1 OF 2

RECOVERED MONUMENT DETAILS

A N.T.S.

3.25" BRASS CAP

B N.T.S.

12" X 8" X 6" STONE MONUMENT
NORTHWESTERN SIDE SCRIBED
AS SHOWN ABOVE
"X" INSCRIBED INTO THE TOP OF
STONE
SET IN 1917

C N.T.S.

2.5" BRASS CAP ON 1" IRON PIPE

D N.T.S.

2.5" BRASS CAP ON 1" IRON PIPE

E N.T.S.

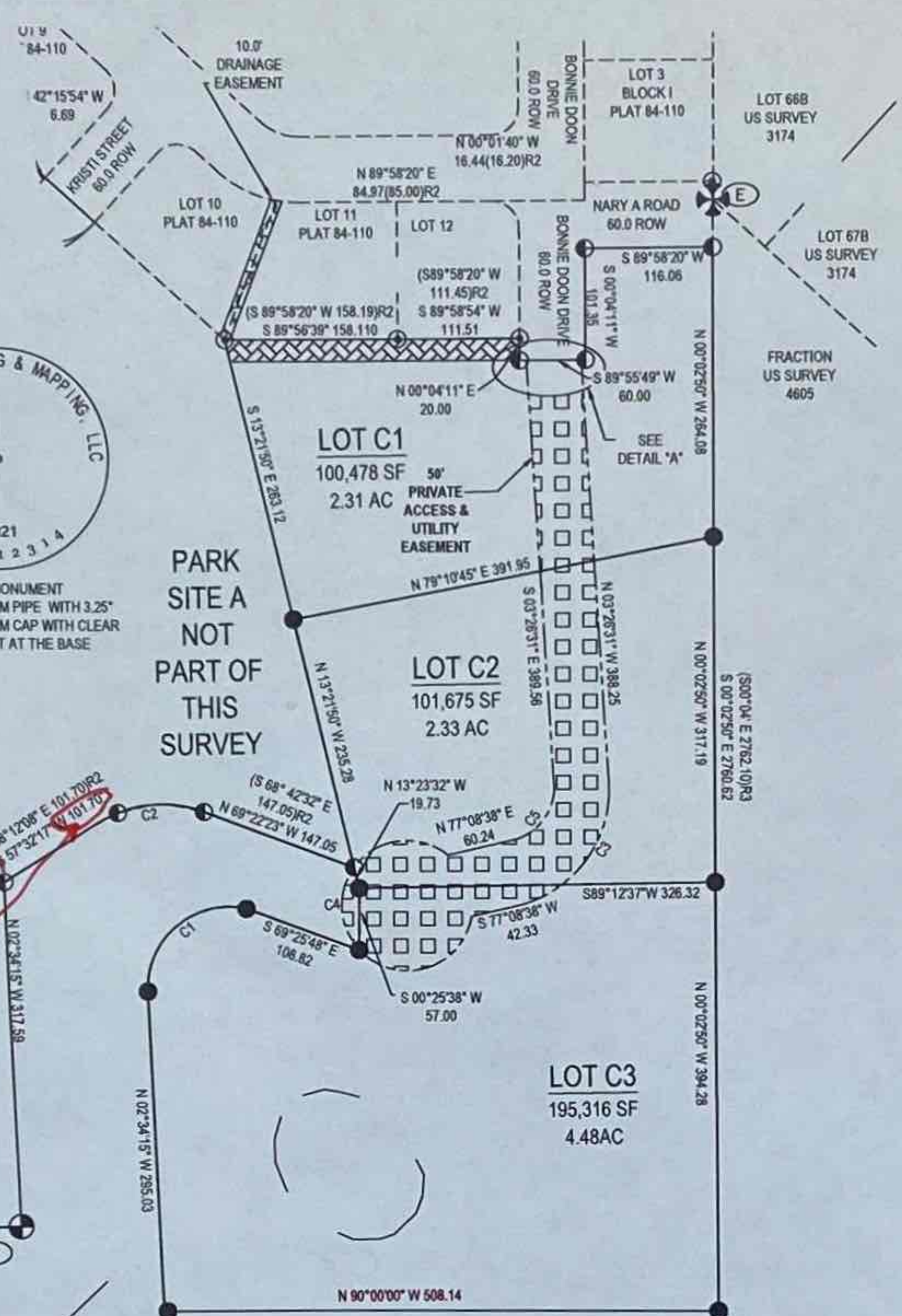
3.25" BRASS CAP

F N.T.S.

PRIMARY MONUMENT
2.5" X 30" ALUMINUM PIPE WITH 3.25"
DIAMETER ALUMINUM CAP WITH CLEAR
DEEP 1 MAGNET AT THE BASE

G N.T.S.

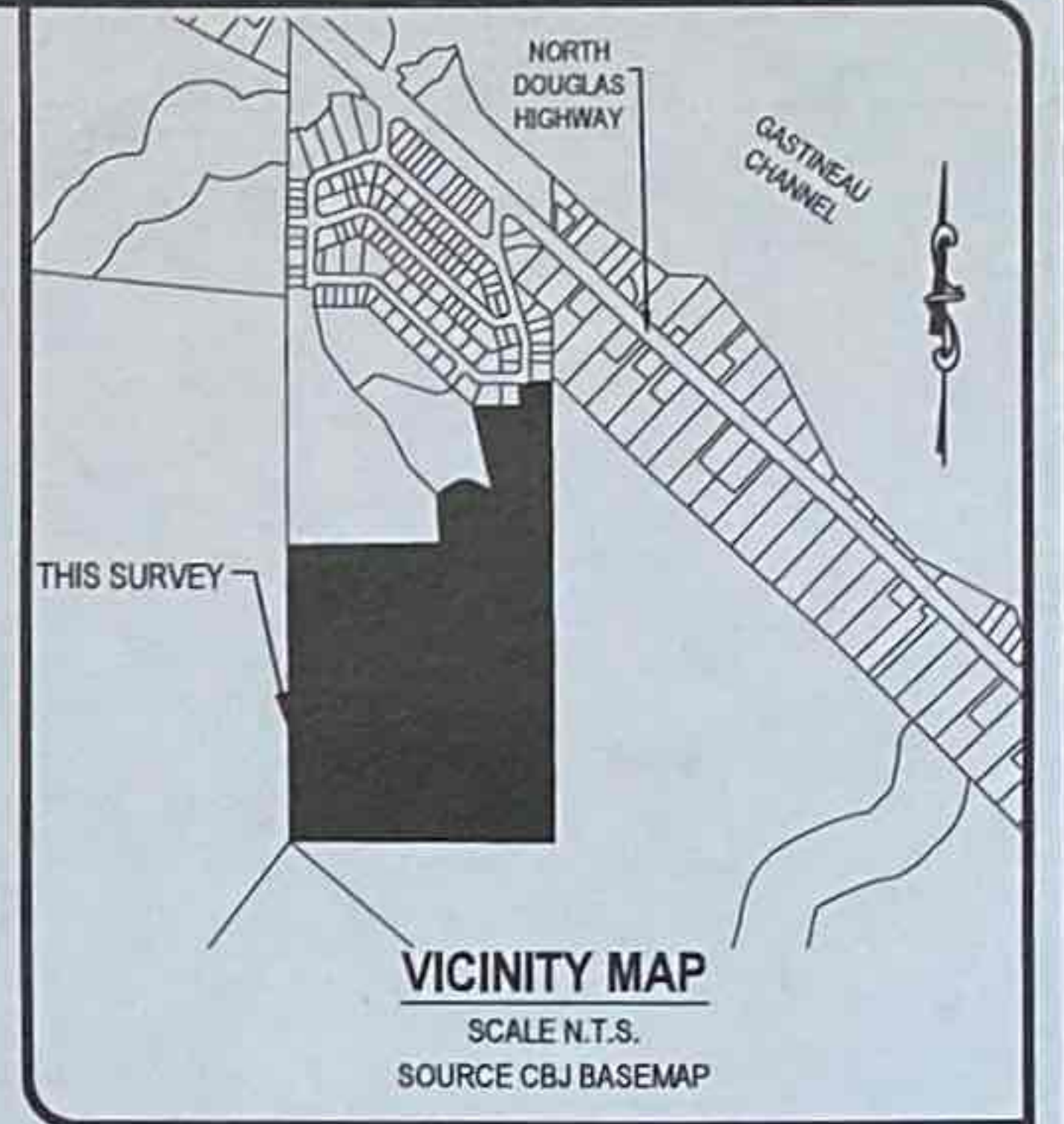
PRIMARY MONUMENT
2.5" X 30" ALUMINUM PIPE WITH 3.25"
DIAMETER ALUMINUM CAP WITH CLEAR
DEEP 1 MAGNET AT THE BASE



SURVEYOR'S CERTIFICATE

I, JOSHUA IVANISZEK, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, THAT ALL DIMENSIONAL AND RELATIVE BEARINGS ARE CORRECT, AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.

DATED: 25 AUGUST 2023



CURVE TABLE

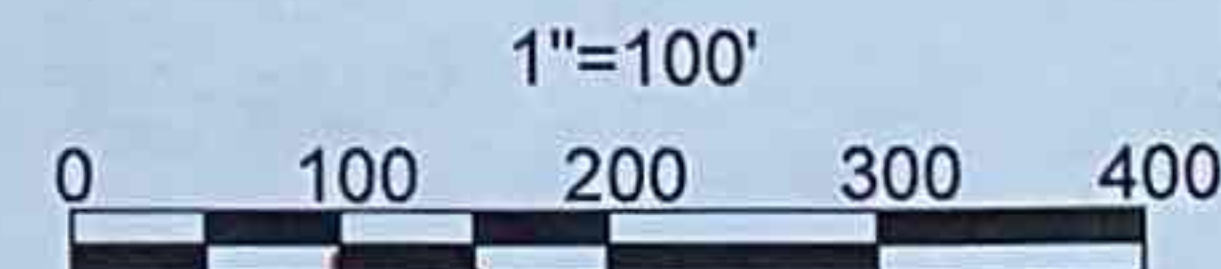
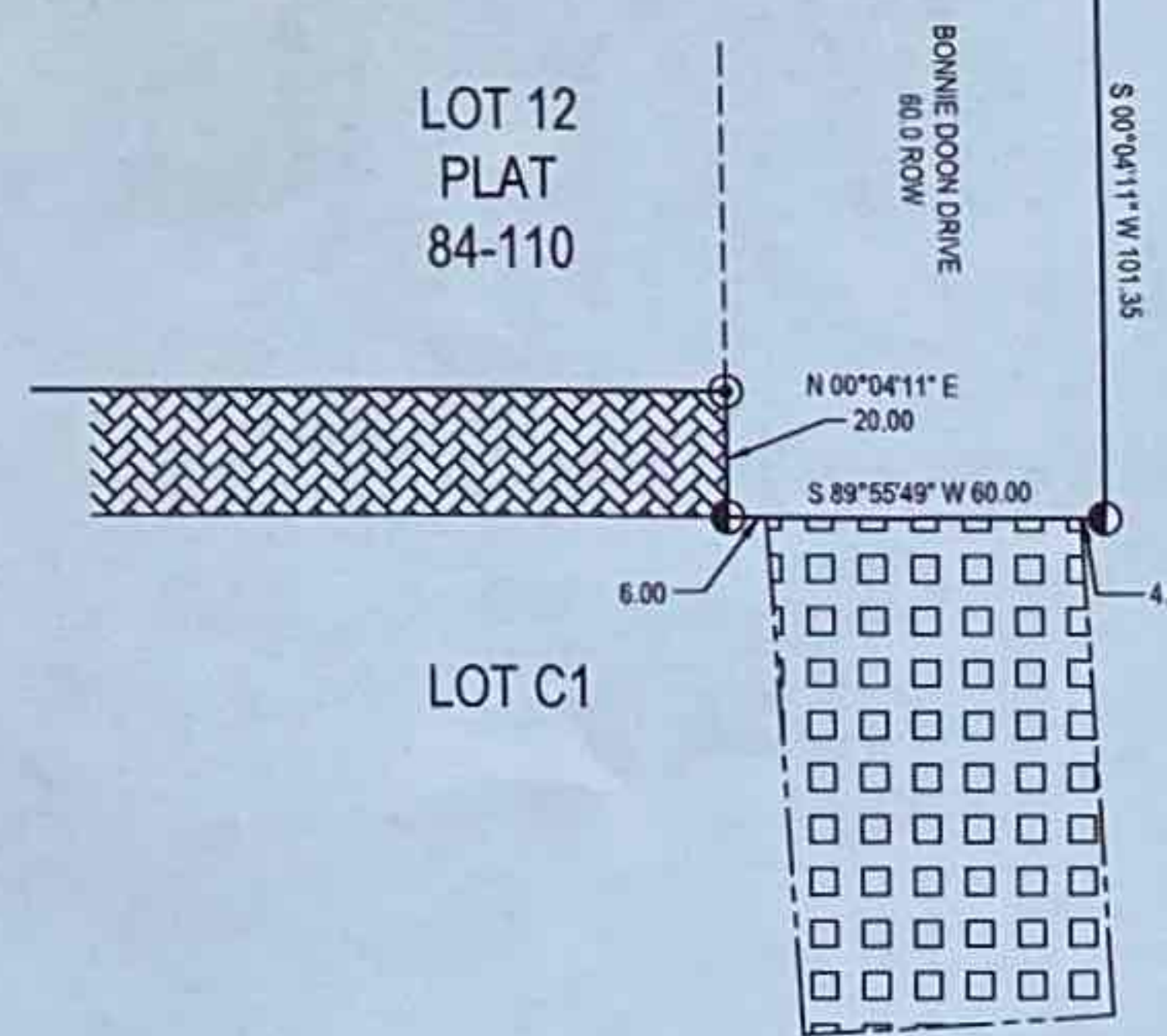
CURVE	ARC LENGTH	RADIUS	ANGLE	CHORD BEARING	CHORD LENGTH
C1	138.86	75.00	106°04'59"	S 50°28'15" W	119.86
C2	101.92	110.00	53°05'20"	S 84°04'57" W	98.32
C3	154.71	110.00	80°35'09"	(S 84°44'48" W)R2	(98.31)R2
C4	313.54	60.00	299°24'38"	S 36°51'04" W	142.27
C5	70.32	50.00	80°35'09"	N 20°28'15" W	60.53

LEGEND:

- GLO PRIMARY MONUMENT RECOVERED
- 12314-S PRIMARY MONUMENT RECOVERED
- 3088S SECONDARY MONUMENT RECOVERED
- 12314-S SECONDARY MONUMENT RECOVERED
- SECONDARY MONUMENT SET THIS SURVEY
- MONUMENT IDENTIFIER
- PROPERTY LINES
- UNSERVED LINES
- PRIVATE ACCESS, DRAINAGE & UTILITY EASEMENT LINES
- PUBLIC 20' ACCESS EASEMENT CREATED THIS PLAT
- PRIVATE 50' ACCESS, DRAINAGE & UTILITY EASEMENT
- DRAINAGE EASEMENT PLAT 84-110
- (N 45°11' W)R1 RECORD INFORMATION FROM US SURVEY 471
- (N 45°04'15" W)R2 RECORD INFORMATION FROM PLAT No. 84-110
- (S 00°04'E)R3 RECORD INFORMATION FROM US SURVEY 4605
- (N 89°16'20" E)R4 RECORD INFORMATION FROM PLAT No. 2021-32

TYPICAL SET MONUMENT DETAIL

DETAIL "A"



PLAT OF BLACKTAIL MOUNTAIN ESTATES C

A SUBDIVISION OF
TRACT C, BLACKTAIL MOUNTAIN ESTATES
A FRACTION OF US SURVEY 471
WITHIN THE CITY AND BOROUGH OF JUNEAU, ALASKA
JUNEAU RECORDING DISTRICT

STATE RECORDER'S OFFICE AT ANCHORAGE

CHILKAT SURVEYING & MAPPING, LLC
10654 PORTER LANE JUNEAU, ALASKA 99801
907-957-1908

OWNERS

PETER PEEL
800 6TH STREET JUNEAU, AK 99801

CREATIVE DEVELOPMENT, LLC
PO BOX 032076 JUNEAU, ALASKA 99803

SCALE:
1" = 100'

MIP 20210009

DATE:
25 AUGUST 2023

SHEET NO.
1 OF 2

Additional Materials

Regular Planning Commission Meeting

Assembly Chambers
7:00pm
Meeting Date: 10/10/2023

1. USE2023 0013:

1. Public comment: Moser, received 9.25.23

From: Tonja Moser <mosertonja@gmail.com>
Sent: Monday, September 25, 2023 8:45 AM
To: PC_Comments; Borough Assembly
Cc: Irene Gallion; hans moser
Subject: Re: Title 49 Committee

Hi again

Please see my original email below. I have been tracking the issue with Irene Gallion at the city, but I still haven't received a response from the assembly or the committee. Can someone please update us as to when the Title 49 Committee will meet again and when it would be appropriate for us to join the meeting? We are hoping for some resolution in the upcoming months.

Thank you,
Tonja Moser



On Thu, Mar 16, 2023 at 12:15 PM Tonja Moser <mosertonja@gmail.com> wrote:

Hello

My name is Tonja Moser and my husband, Hans Moser, and I are writing to express our interest in the city overturning the minimum 36,000 square foot lot requirement. We have been tracking the Title 49 Committee scheduled meetings for a number of months and it seems to keep getting postponed. Today's meeting was cancelled and moved to April 20.

Our situation is that we live on North Douglas (3850) and have a permit to build a second house on our current property and we are in the beginning stages of building; we have put in a second driveway, the lot prep is started, we have water and sewer at the site, and we have forms waiting for the snow to cease. We are hoping that the Title 49 Committee sees the incongruity of allowing us to build but not allowing us to subdivide so that, when we are finished building, we can sell our current home. We have numerous examples of lots on either side of us that were allowed to be subdivided and would be happy to present our case to the committee, if need be.

Thank you for your time,

Tonja and Hans Moser
907-321-3538 Tonja



(907) 586-0715
CDD_Admin@juneau.org
www.juneau.org/community-development
155 S. Seward Street • Juneau, AK 99801

October 4, 2023

MEMORANDUM

To: Creative Development LLC.; Peter Peel; Bruce Griggs
From: City & Borough of Juneau, David Matthew Peterson, Planner II
Case Number: SMF2023-0004
Legal Description: Blacktail Mountain Estates, Tract C.
Parcel No.: 6D0801110013

Round 1 Comments from City and Borough of Juneau Community Development.

The following consolidated review comments should be addressed prior to the plat being approved for preliminary plat approval/as a condition of preliminary plat approval. A further review of the preliminary plat may result in additional comments if new issues arise from changes made to the draft plat reviewed for this memorandum.

General Engineering

1. See attached plat mark up.

Fire

1. No revisions requested per CCFR email from 9/19/2023.

Zoning

1. No further revisions requested.

Cartography

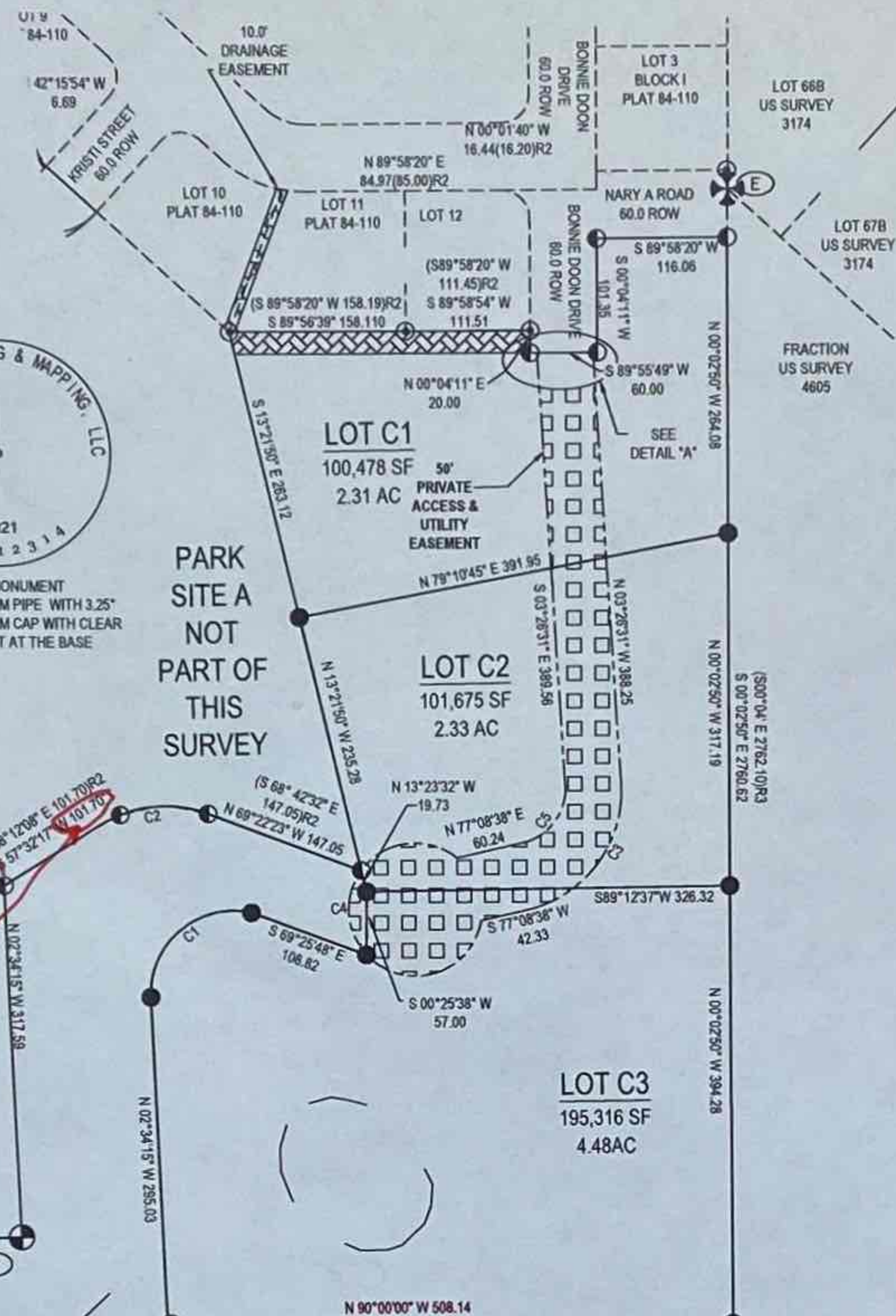
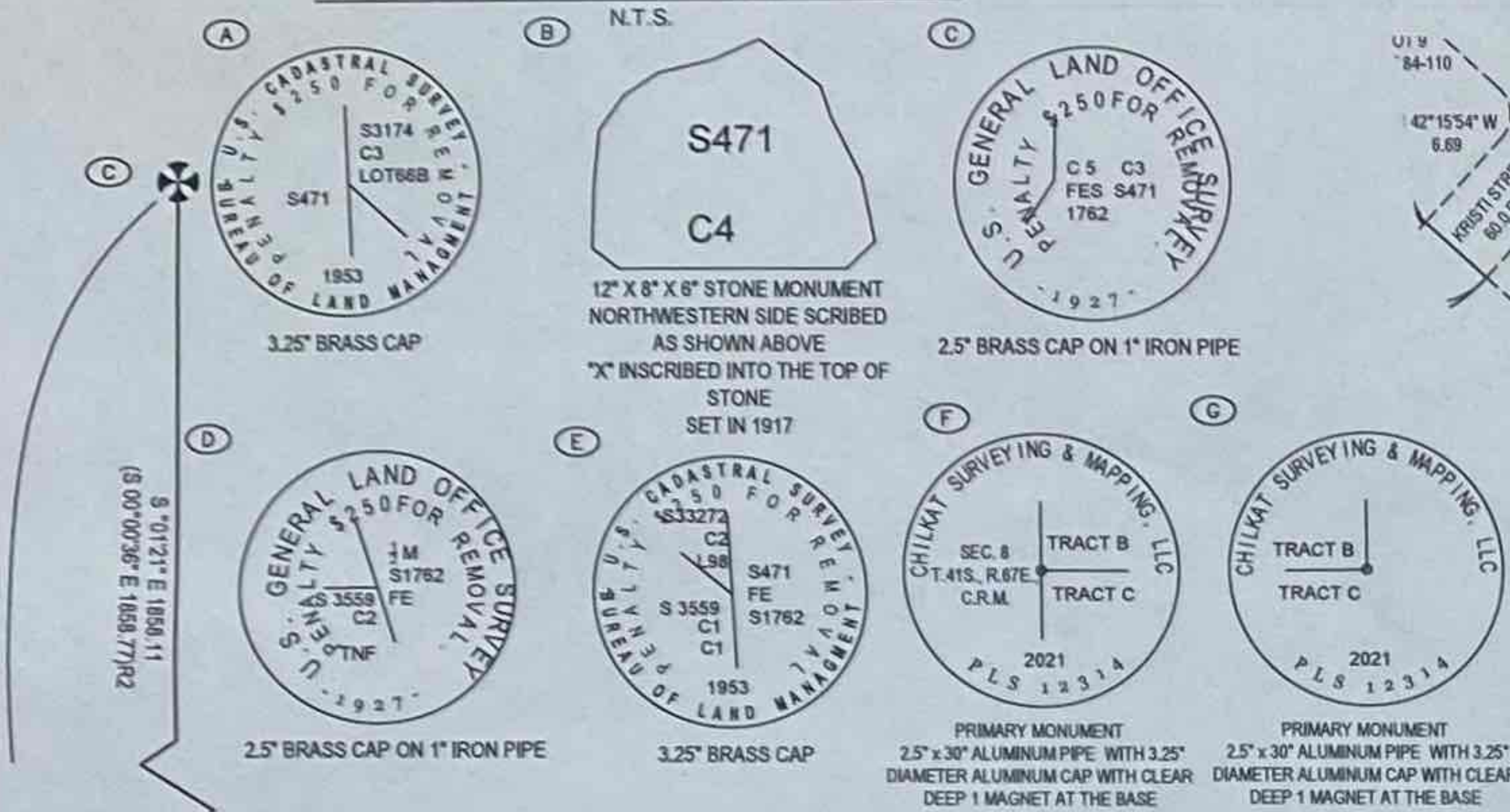
1. Include "TRACT C", in the title block on both sheets to read "TRACT C, BLACKTAIL MOUNTAIN ESTATES".

2. The line associated with Lot C4 that measures 101.7 appears longer than that measurement. Is there another small arc that isn't annotated?
3. There's a short line extending between Tract B and the Park Site that should be revised to a dashed line type.
4. Revise adjacent lot label from TRACT B to LOT B4 per plat 2023-24.
5. See attached plat mark-up.

Plat Notes

N/A

RECOVERED MONUMENT DETAILS



LOT B4
Mat No. 2023-24

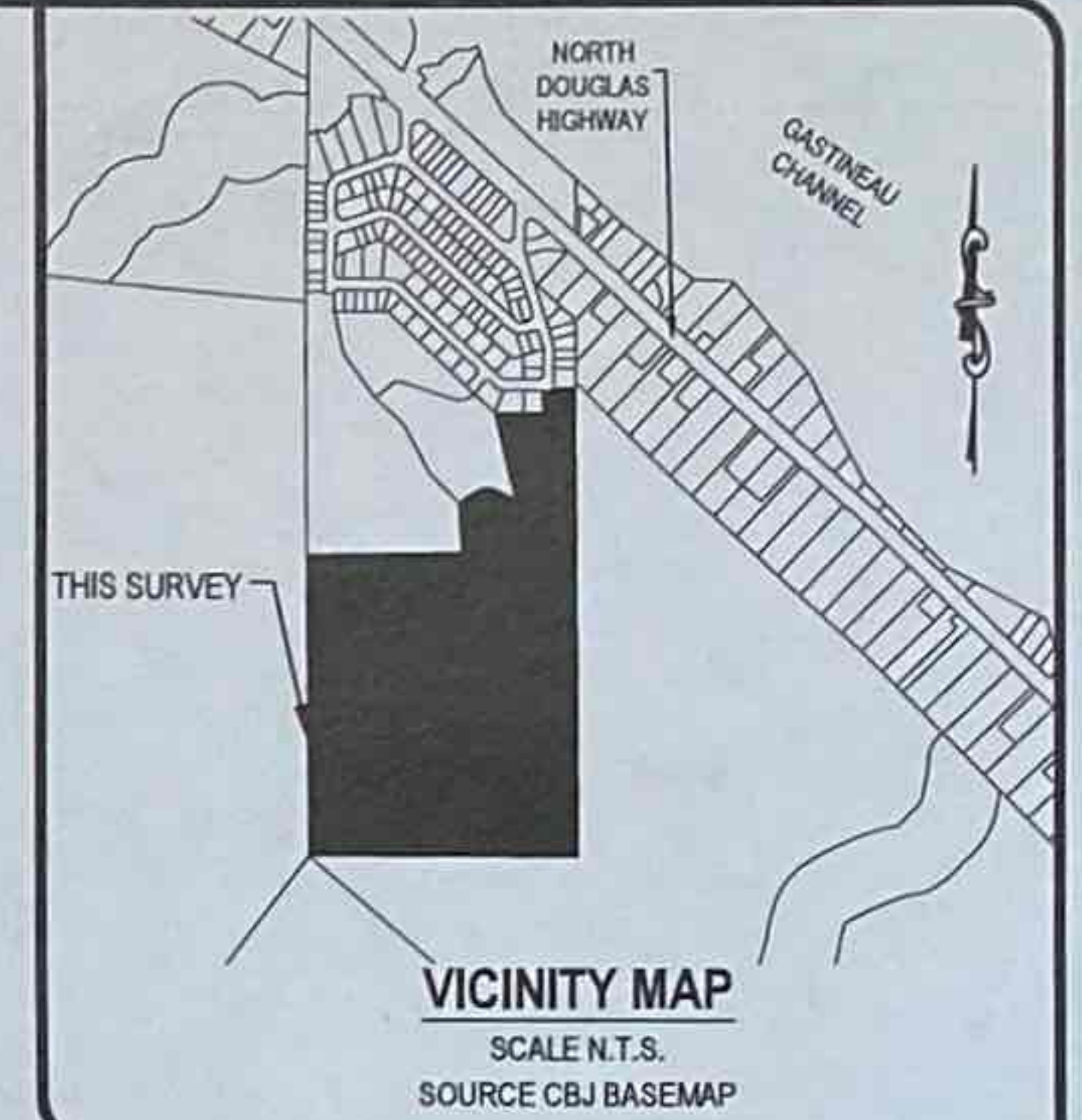
~~TRACT B,
PLAT No. 2021-32, JRD~~

LOT C4
2,798,647 SF
64.25 AC









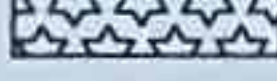
SURVEYOR'S CERTIFICATE

I, JOSHUA IVANISZEK, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, THAT ALL DIMENSIONAL AND RELATIVE BEARINGS ARE CORRECT, AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.

DATED: 25 AUGUST 2023



LEGEND:

- R2
-  GLO PRIMARY MONUMENT RECOVERED
-  12314-S PRIMARY MONUMENT RECOVERED
-  3088S SECONDARY MONUMENT RECOVERED
-  12314-S SECONDARY MONUMENT RECOVERED
-  SECONDARY MONUMENT SET THIS SURVEY
-  MONUMENT IDENTIFIER
- _____ PROPERTY LINES
- UNSURVEYED LINES
- PRIVATE ACCESS, DRAINAGE & UTILITY EASEMENT LINES
-  PUBLIC 20' ACCESS EASEMENT CREATED THIS PLAT
-  PRIVATE 50' ACCESS, DRAINAGE & UTILITY EASEMENT
-  DRAINAGE EASEMENT PLAT 84-110
- (N 45°11' W)R1 RECORD INFORMATION FROM US SURVEY 471
- (N45°04'15" W)R2 RECORD INFORMATION FROM PLAT No. 84-110
- (S 00°04'E)R3 RECORD INFORMATION FROM US SURVEY 4605
- (N 89°16'20" E)R4 RECORD INFORMATION FROM PLAT No. 2021-32

FOR THE BENEFIT OF
LOT C1, LOT C2, LOT
C3 AND LOT C4.



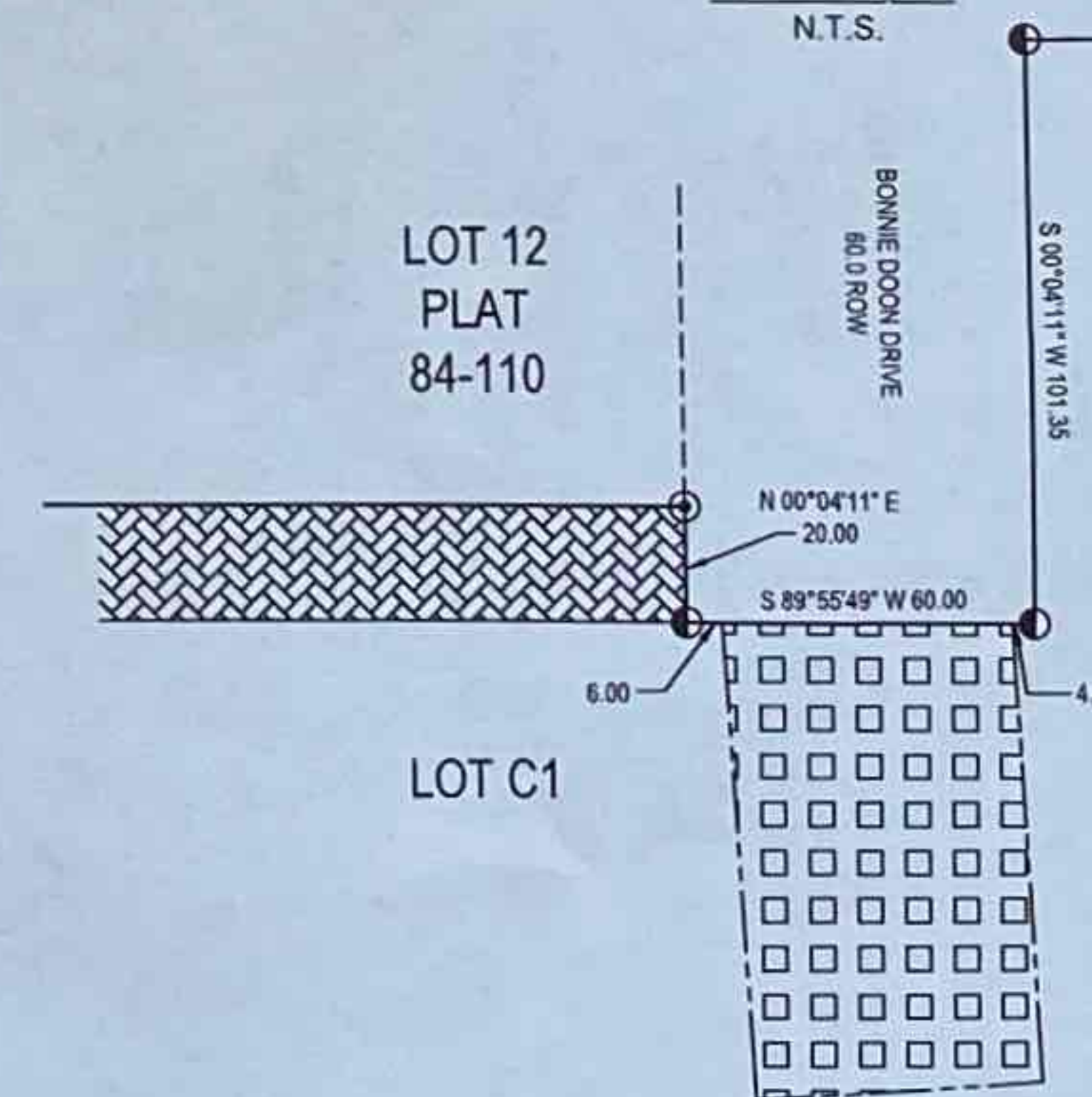
5/8" x 36" REBAR WITH
RED PLASTIC CAP

TYPICAL SET MONUMENT DETAIL

N.T.S

DETAIL "A"

NTS

 $1''=100'$ 

PLAT OF
BLACKTAIL MOUNTAIN ESTATES C
A SUBDIVISION OF
TRACT C, BLACKTAIL MOUNTAIN ESTATES
A FRACTION OF US SURVEY 471
WITHIN THE CITY AND BOROUGH OF JUNEAU, ALASKA
JUNEAU RECORDING DISTRICT

STATE RECORDER'S OFFICE AT ANCHORAGE

CHILKAT SURVEYING & MAPPING, LLC
10654 PORTER LANE JUNEAU, ALASKA 99801
907-957-1908

OWNERS

PETER PEEL
800 6TH STREET JUNEAU, AK 99801

CREATIVE DEVELOPMENT, LLC
PO BOX 032076 JUNEAU, ALASKA 99803

SCALE:
1" = 100'

MIP 20210009

DATE:
25 AUGUST 2023

SHEET NO.
1 OF 2

SHEET NO.
1 OF 2