



REGULAR PLANNING COMMISSION AGENDA

September 24, 2024 at 7:00 PM

Zoom Webinar

<https://juneau.zoom.us/j/82256333971> or 1-253-215-878

Webinar ID: 822 5633 3971

A. LAND ACKNOWLEDGEMENT

We would like to acknowledge that the City and Borough of Juneau is on Tlingit land, and wish to honor the indigenous people of this land. For more than ten thousand years, Alaska Native people have been and continue to be integral to the well-being of our community. We are grateful to be in this place, a part of this community, and to honor the culture, traditions, and resilience of the Tlingit people. Gunalchéesh!

B. ROLL CALL

C. REQUEST FOR AGENDA CHANGES AND APPROVAL OF AGENDA

D. APPROVAL OF MINUTES

E. BRIEF REVIEW OF THE RULES FOR PUBLIC PARTICIPATION

F. PUBLIC PARTICIPATION ON NON-AGENDA ITEMS

G. ITEMS FOR RECONSIDERATION

H. CONSENT AGENDA

I. UNFINISHED BUSINESS

J. REGULAR AGENDA

1. **SMP2024 0002**: Final Plat approval for the ten (10) lot Silver Acres Subdivision in accordance with the conditions outlined in SMP2024-0002. - **APPROVED AS RECOMMENDED**

Applicant: Shawn Kantola

Location: Silver Street

DIRECTOR'S REPORT

The Preliminary Plat was approved with conditions with the Notice of Decision for case SMP2024-0002, signed by Chairperson Mandy Cole on August 5, 2024.

The applicant has requested approval for the Final Plat of the Silver Acres Subdivision. Property taxes and bonding for required improvements are still pending. The revised final plat complies with all other conditions outlined in the Notice of Decision for SMP2024-0002.

Conditions for approval:

- Full payment of property taxes for the remainder of the calendar year. – In process, property taxes will be paid in full prior to final plat recording.
- Submission of construction drawings to facilitate the bonding estimate. – Complete, See Attachment C.

- Completion of required improvements or provision of a financial guarantee. – Bonding estimate is in process with CBJ GE.
- Development of a plat note to preserve the walking path along the CBJ sewer and drainage easement. – Completed, see note 17.
- Addition of eight new plat notes. – Complete, All requested notes have been added. See Attachment B, plat notes: 11-17.

STAFF RECOMMENDATION

Staff recommends APPROVAL of the Final Plat, with the conditions that full payment of property taxes and the construction of, or establishment of bonding for improvements prior to final plat recording.

2. CSP2024 0002: City/State Project and Land Action Review Application for installation of roundabout - APPROVED AS AMENDED

Applicant: State of Alaska

Location: Mendenhall Loop Road-Valley Boulevard-Mendenhall Boulevard

DIRECTOR'S REPORT

The applicant requests a State Project Review to replace the signalized intersection of the Mendenhall Loop Road-Valley Boulevard-Mendenhall Boulevard with a single lane roundabout.

STAFF RECOMMENDATION

Staff recommends the Planning Commission adopt the Director’s analysis and findings and approve City/State Project CSP2024 0002.

K. OTHER BUSINESS

L. STAFF REPORTS

M. COMMITTEE REPORTS

N. LIAISON REPORT

O. CONTINUATION OF PUBLIC PARTICIPATION ON NON-AGENDA ITEMS

P. PLANNING COMMISSION COMMENTS AND QUESTIONS

Q. EXECUTIVE SESSION

R. SUPPLEMENTAL MATERIALS

3. Additional Materials

S. ADJOURNMENT

ADA accommodations available upon request: Please contact the Clerk's office 36 hours prior to any meeting so arrangements can be made for closed captioning or sign language interpreter services depending on the meeting format. The Clerk's office telephone number is 586-5278, TDD 586-5351, e-mail: city.clerk@juneau.gov.



Planning Commission

(907) 586-0715

PC_Comments@juneau.gov

www.juneau.org/community-development/planning-commission

155 Heritage Way • Juneau, AK 99801

**PLANNING COMMISSION
NOTICE OF DECISION**

Date: October 1, 2024

File No.: SMF2024 0002

Shawn Kantola
8287C Garnet Street
Juneau, AK 99801
shawnkantola@yahoo.com

- Proposal: Final Plat approval for the ten (10) lot Silver Acres Subdivision in accordance with the conditions outlined in SMP2024-0002.
- Property Address: Silver Street
- Legal Description: BLACK BEAR LT 3
- Parcel Code No.: 4B2601020043
- Hearing Date: September 24, 2024

The Planning Commission, at its regular public meeting, adopted the analysis and findings listed in the attached memorandum dated September 16, 2024, and approved the final plat to be conducted as described in the project description and project drawings submitted with the application and with the following conditions:

1. Prior to approval of the final plat, the applicant has constructed all required improvements or provided a financial guarantee in accordance with CBJ 49.55.010.

Attachment: September 16, 2024, memorandum from David Matthew Peterson, Community Development, to the CBJ Planning Commission regarding SMF2024 0002.

This Notice of Decision does not authorize any construction. Prior to starting any project, it is the applicant’s responsibility to obtain the required building permits.

This Notice of Decision constitutes a final decision of the CBJ Planning Commission. Appeals must be brought to the CBJ Assembly in accordance to CBJ 01.50.030. Appeals must be filed by 4:30 P.M. on the day twenty days from the date the decision is filed with the City Clerk, pursuant to CBJ 01.50.030(c). Any action by the applicant in reliance on the decision of the Planning Commission shall be at the risk that the decision may be reversed on appeal (CBJ 49.20.120).

Shawn Kantola
File No.: SMF2024 0002
October 1, 2024
Page 2 of 2

Effective Date: The permit is effective upon approval by the Commission, September 24, 2024.

(*For Phased Subdivisions Only***)** [Approval of a final plat consisting of a portion of the preliminary plat will not extend the expiration date of the remaining lots.]

[Handwritten Signature]
FOR Mandy Cole, Chair
Planning Commission

10/1/24
Date

Nicolette Chappell
Filed With City Clerk

10/1/24
Date

NOTE: The Americans with Disabilities Act (ADA) is a federal civil rights law that may affect this subdivision. ADA regulations have access requirements above and beyond CBJ - adopted regulations. Owners and designers are responsible for compliance with ADA. Contact an ADA - trained architect or other ADA trained personnel with questions about the ADA: Department of Justice (202) 272-5434, or fax (202) 272-5447, NW Disability Business Technical Center (800) 949-4232, or fax (360) 438-3208.



PLANNING COMMISSION STAFF REPORT
MAJOR SUBDIVISION SMF2024 0002
HEARING DATE: SEPTEMBER 24, 2024

(907) 586-0715
CDD_Admin@juneau.gov
www.juneau.org/community-development
155 Heritage Way • Juneau, AK 99801

DATE: September 16, 2024
TO: Mandy Cole, Chair, Planning Commission
BY: David M Peterson, Planner II *[Signature]*
THROUGH: Scott Ciambor, Planning Manager
PROPOSAL: Final Plat approval for the ten (10) lot Silver Acres Subdivision in accordance with the conditions outlined in SMP2024-0002.

STAFF RECOMMENDATION: Approval

KEY CONSIDERATIONS FOR REVIEW:

- Certification from the CBJ Treasurer is required showing that all real property taxes and special assessments levied against the property for the year of recording have been paid.
- Applicant shall submit a complete set of construction plans for all required improvements to the Community Development Department for review by the director of Engineering & Public Works for compliance with CBJ 49.35.140.
- Applicant has constructed all required improvements or provided a financial guarantee in accordance with CBJ 49.55.010.
- CDD will work with the developer to develop a plat note that will care for public access along the existing utility easement.
- Plat notes added per SMP2024-0002, Notice of Decision (NOD), dated August 5, 2024.

ALTERNATIVE ACTIONS:

1. **Amend:** amend the approval to require conditions.
2. **Deny:** deny the permit and adopt new findings for items 1-3 below that support the denial.
3. **Continue:** to a future meeting date if determined that additional information or analysis is needed to make a decision, or if additional testimony is warranted.

ASSEMBLY ACTION REQUIRED:

Assembly action is not required for this permit.

STANDARD OF REVIEW:

- Quasi-judicial decision
- Requires five (5) affirmative votes for approval
- Code Provisions:
 - CBJ 49.15.402
 - CBJ 49.15.412
 - CBJ 49.35.140
 - CBJ 49.55.010
 - CBJ 49.80

GENERAL INFORMATION	
Property Owner	Shawn Kantola
Applicant	Shawn Kantola
Property Address	Silver Street
Legal Description	BLACK BEAR LT 3
Parcel Number	4B2601020043
Zoning	D3
Lot Size	435,600 square feet/10.00 acres
Water/Sewer	CBJ water/sewer provided
Access	Silver Street
Existing Land Use	Vacant
Associated Applications	None

SITE FEATURES AND ZONING



SURROUNDING ZONING AND LAND USES	
North (D3)	Residential
South (D1)	Vacant
East (D1)	Vacant
West (D1)	Vacant

SITE FEATURES	
Anadromous	N/A
Flood Zone	N/A, Per Panel 02110C110C1238E
Hazard	N/A
Hillside	N/A
Wetlands	N/A
Parking District	N/A
Historic District	N/A
Overlay Districts	Mining and Exploration Surface Activities Exclusion District.

The Commission shall hear and decide the case per CBJ 49.15.400(a) - Purpose and applicability. The purpose of this article is to facilitate the subdivision of land to promote the public health, safety, and general welfare of the citizens of the CBJ in accordance with the Comprehensive Plan of the City and Borough of Juneau, Alaska.

And per CBJ49.15.402(a) - A major subdivision permit is required for subdivisions resulting in 14 or more lots.

BACKGROUND INFORMATION

Project Description – The applicant has requested approval for the Final Plat of the Silver Acres Subdivision. This review addresses the final plat for the subdivision. Property taxes and bonding for required improvements are still pending. The revised final plat complies with all other conditions outlined in the Notice of Decision for SMP2024-0002.

The Preliminary Plat was approved with conditions under the Notice of Decision for case SMP2024-0002, signed by Chairperson Mandy Cole on August 5, 2024.

Background -

The table below summarizes relevant history for the lot and proposed development.

Item	Summary
NOD SMP2024-0002	The Notice of Decision, approving the Silver Acres Subdivision, with conditions, was approved on August 5, 2024, and signed by Chairperson, Mandy Cole. (Attachment E)
SMP2024-0002	A preliminary plat for the Silver Acres Subdivision, proposing ten (10) lots, was submitted to the Planning Commission on May 14, 2024. The development includes three (3) panhandle lots and one (1) private shared access serving four (4) lots. Additionally, Lots 9 and 10 may be further subdivided into private shared access subdivisions in the future. (Attachment F)
PAC2024-0006	A Pre-Application Conference was held on January 31, 2024. It was determined that the proposed subdivision would be part of a phased development, potentially yielding sixteen (16) or more lots, and should therefore be considered a Major Subdivision. (Attachment A pg.11)

ANALYSIS

Compliance with Title 49 - The revised final plat meets the requirements of 49.15.402 for Major Subdivisions as well as the requirements set forth in 49.15.412 for the Final Plat requirements.

Preliminary Plat Conditions of Approval -

Condition	Status	Summary
Prior to approval of the final plat, Certification from the CBJ Treasurer is required showing that all real property taxes and special assessments levied against the property for the year of recording have been paid.	<input checked="" type="checkbox"/> Met <input type="checkbox"/> Unmet <input type="checkbox"/> On-going	Certification from the CBJ Treasurer has been received (Attachment G) .
Prior to approval of a final plat, the applicant shall submit a complete set of construction plans for all required improvements to the Community Development Department for	<input checked="" type="checkbox"/> Met <input type="checkbox"/> Unmet <input type="checkbox"/> On-going	A full set of construction plans for the development of the Silver Street cul-de-sac and utilities, along with a drainage report

Condition	Status	Summary
review by the director of Engineering & Public Works for compliance with CBJ 49.35.140.		prepared by Pro HNS LLC has been submitted (Attachments C & D).
Prior to approval of the final plat, the applicant has constructed all required improvements or provided a financial guarantee in accordance with CBJ 49.55.010.	<input checked="" type="checkbox"/> Met <input type="checkbox"/> Unmet <input type="checkbox"/> On-going	Applicant has provided a financial guarantee in accordance with CBJ 49.55.010, with bond number: XXXXXXXXXX (Attachment XXXX)
Prior to approval of final plat, CDD will work with the developer to develop a plat note that will care for public access along the existing utility easement.	<input checked="" type="checkbox"/> Met <input type="checkbox"/> Unmet <input type="checkbox"/> On-going	A plat note was approved by the City and Borough of Juneau Legal department that ensures public access along the existing utility easement (See note 17 of Attachment B).
Plat Notes to be included from Notice of Decision.	<input checked="" type="checkbox"/> Met <input type="checkbox"/> Unmet <input type="checkbox"/> On-going	Plat notes added per SMP2024-0002, Notice of Decision, dated August 5, 2024, have been added to the Final Plat for SMF20204-0002 (See Notes 10-16 in Attachment B).

AGENCY REVIEW

CDD conducted an agency review comment period between August 6, 2024 – August 20, 2024. The agencies consulted were: CBJ General Engineering, CBJ Cartography, CBJ Zoning, and Capital City Fire and Rescue. None of the agencies expressed any concerns with the final plat or construction drawings.

PUBLIC COMMENTS

CDD conducted a public comment period between August 23, 2024 – September 10, 2024. Public notice was mailed to property owners within 500 feet of the subject parcel. A public notice sign was also posted on-site two weeks prior to the scheduled hearing. The Southeast Alaska Land Trust (SEALT) submitted concerns regarding the proposed development proximity to the Montana Creek Wetlands mitigation site. See **Attachment J**.

FINDINGS

Final plat approval criteria - Per CBJ 49.15.402(f)(3) the Director makes the following findings:

1. *Has the applicant complied with any conditions or plat notes as required in the notice of decision approving the preliminary plat?*

Analysis: The Applicant has bonded for the improvements as outlined in the construction plans, has paid the property taxes for the calendar year, and made the requested revisions to the final plat.

Finding: Yes. All conditions of preliminary plat approval have been met.

2. *Has the applicant constructed all required improvements or provided a financial guarantee in accordance with CBJ 49.55.010?*

Analysis: Per Title 49 the major subdivision would require paving the Silver Street spur and new cul-de-sac, with appropriate water and sewer improvements.

Finding: Yes. The applicant has provided a financial guarantee.

3. *Does the final plat meet the standards set forth in CBJ 49.15.412 for final plats?*

Analysis: Capital City Fire and Rescue, Cartography, Zoning, General Engineering, and Streets have all reviewed and approved the proposed Final Plat (**Attachment B**).

Finding: Yes. The final plat complies with CBJ 49.15.415 Final Plat Standards.

RECOMMENDATION

Staff recommends APPROVAL of the Final Plat, with the conditions that full payment of property taxes, and the construction of, or establishment of bonding for improvements prior to final plat recording. The permit would allow for recording of the Final Plat for the Silver Acres subdivision that will create ten (10) lots. The subdivision includes three (3) panhandle lots and one (1) private shared access serving four (4) lots. The purpose of the Final Plat Review is to ensure that the plat has been revised to comply with the conditions outlined in the Notice of Decision (NOD) for SMP2024-0002. (**Attachment E**)

STAFF REPORT ATTACHMENTS

Item	Description
Attachment A	Application Packet
Attachment B	Final Plat
Attachment C	Construction Plans
Attachment D	Final Drainage Report
Attachment E	SMP2024 0002 Preliminary Plat Notice of Decision
Attachment F	Staff Report for SMP2024 0002 Preliminary Plat
Attachment G	2024 Certificate of Taxes Paid

Item	Description
Attachment H	Abutters Notice
Attachment I	Image of Public Notice Sign
Attachment J	Public Comments
Attachment L	Agency Comments



DEVELOPMENT PERMIT APPLICATION


NOTE: Development Permit Application forms must accompany all other Community Development Department land use applications. This form and all documents associated with it are public record once submitted.

To be completed by Applicant	PROPERTY LOCATION		
	Physical Address NHN Silver St.		
	Legal Description(s) (Subdivision, Survey, Block, Tract, Lot) Lot 3 Black Bear Subdivision		
	Parcel Number(s) 4B2601020043		
	<input type="checkbox"/> This property is located in the downtown historic district <input type="checkbox"/> This property is located in a mapped hazard area, if so, which _____		
	LANDOWNER/ LESSEE		
	Property Owner Shawn Kantola	Contact Person Shawn Kantola	
	Mailing Address 8287C Garnet St.	Phone Number(s) 907-209-3900	
	E-mail Address shawnkantola@yahoo.com		
	LANDOWNER/ LESSEE CONSENT		
Required for Planning Permits, not needed on Building/ Engineering Permits. Consent is required of all landowners/ lessees. If submitted with the application, alternative written approval may be sufficient. Written approval must include the property location, landowner/ lessee's printed name, signature, and the applicant's name.			
I am (we are) the owner(s) or lessee(s) of the property subject to this application and I (we) consent as follows: A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission. B. I (we) grant permission for the City and Borough of Juneau officials/employees to inspect my property as needed for purposes of this application.			
Shawn Kantola Landowner/Lessee (Printed Name)		Landowner Title (e.g.: Landowner, Lessee)	
X  Landowner/Lessee (Signature)		03/13/2024 Date	
_____ Landowner/Lessee (Printed Name)		_____ Title (e.g.: Landowner, Lessee)	
X _____ Landowner/Lessee (Signature)		_____ Date	
NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours. We will make every effort to contact you in advance, but may need to access the property in your absence and in accordance with the consent above. Also, members of the Planning Commission may visit the property before a scheduled public hearing date.			
APPLICANT			
Applicant (Printed Name) SAME		Contact Person	
Mailing Address		Phone Number(s)	
E-mail Address			
X  Applicant's Signature		_____ Date of Application	

DEPARTMENT USE ONLY BELOW THIS LINE

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number SMF24-02	Intake Initials 
Date Received 7/29/24	

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Updated 6/2022-- Page 1 of 1



SUBDIVISION AND DEVELOPMENT PLAN APPLICATION

See subdivision hand-outs for more information regarding the permitting process and the materials required for a complete application.

COMMUNITY DEVELOPMENT **NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.**

To be completed by Applicant

PROJECT SUMMARY
Finish the Silver St. stub st and add a Cul-de-sac to access 10 new residential lots.

Number of Existing Parcels 1 Total Land Area 10 Acres Number of Resulting Parcels 10

HAS THE PARCEL BEEN CREATED BY A MINOR SUBDIVISION IN THE PRECEDING 24 MONTHS

NO YES Case Number _____

TYPE OF SUBDIVISION OR PLATTING APPROVAL REQUESTED

<p style="text-align: center;">MINOR DEVELOPMENT (changing or creating 13 or fewer lots)</p> <p><input type="radio"/> Preliminary Plat (MIP)</p> <p><input type="radio"/> Final Plat (MIF)</p> <p><input type="radio"/> Panhandle Subdivision</p> <p><input type="radio"/> Accretion Survey</p> <p><input type="radio"/> Boundary Adjustment</p> <p><input type="radio"/> Lot Consolidation (SLC)</p> <p><input type="radio"/> Bungalow Lot Subdivision</p> <p><input type="radio"/> Common Wall/Zero Lot Subdivision</p> <p><input type="radio"/> Other _____</p>	<p style="text-align: center;">MAJOR DEVELOPMENT (changing or creating 14 or more lots)</p> <p><input type="radio"/> Preliminary Plat (SMP) <i>SMP24-02</i></p> <p><input checked="" type="radio"/> Final Plat (SMF)</p> <p><input type="radio"/> Preliminary Development Plan – PUD (PDP)</p> <p><input type="radio"/> Final Development Plan – PUD (PDF) Preliminary</p> <p><input type="radio"/> Development Plan – ARS (ARP) Final</p> <p><input type="radio"/> Development Plan – ARS (ARF)</p> <p><input type="radio"/> Bungalow Lot Subdivision</p> <p><input type="radio"/> Common Wall/Zero Lot Subdivision</p> <p><input type="radio"/> Other _____</p>
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ALL REQUIRED DOCUMENTS ATTACHED

Pre-application conference notes ✓

Narrative including: ✓

- Legal description(s) of property to be subdivided
- Existing structures on the land
- Zoning district
- Density
- Access
- Current and proposed use of any structures
- Utilities available
- Unique characteristics of the land or structure(s)

Preliminary Plat checklist ✓

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

SUBDIVISION/PLATTING FEES	Fees	Check No.	Receipt	Date
Application Fees	\$ <u>700.00</u>		<i>70 per lot, 49.89.100(4)</i>	
Admin. of Guarantee	\$ _____			
Adjustment	\$ <u>150</u>		<i>public notice sign</i>	
Total Fee	\$ _____			

For assistance filling out this form, contact the Permit Center at 586-0770.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

Case Number	Date Received
<i>SMF24-02</i>	<i>7/29/24</i>

CBJ Permit Department

03/13/2024

Preliminary Plat Application for a Major Subdivision:

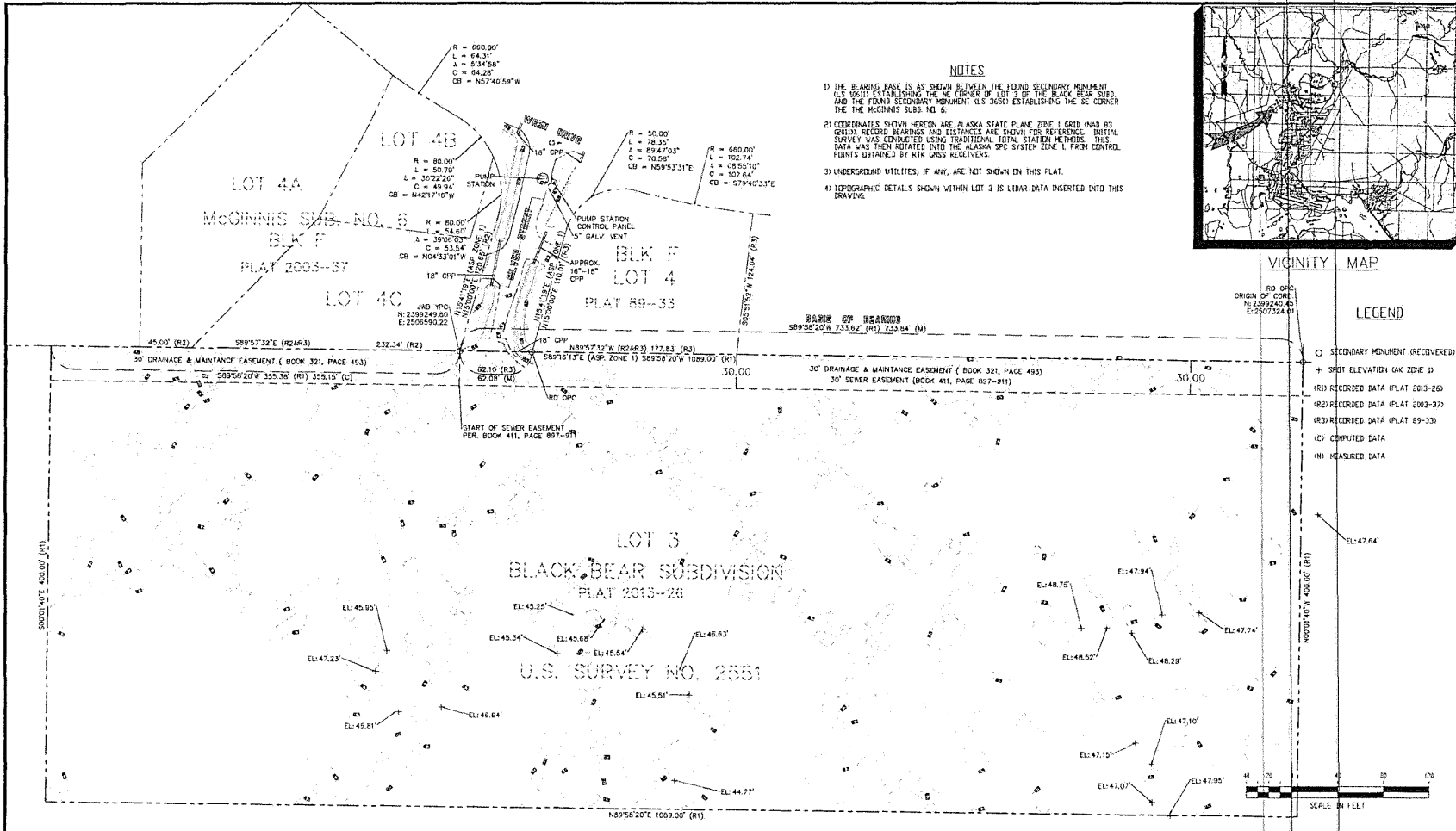
I am the owner of the property located at NHN Silver St. parcel #4B2601020043. Legal description: lot 3, Black Bear Subdivision. The site is currently vacant with no improvements (except the drainage and sewer easement shown in the plat). The property is zoned D-3 and is currently accessed by the Silver St. stub. With this subdivision I am proposing to bring the stub street up to city standards, and build a small public ROW cul-de-sac onto this lot. The proposed subdivision would result in a total of ten lots (four of them would be accessed via a private shared access). Lots 9 & 10 are large enough to potentially later subdivided into Private Shared access subdivisions.

There are public water and sewer available at Wren Dr/Silver St. and I would extend both onto this parcel and provide services to each of the proposed lots.

Please let me know if there are any questions or if there is any additional information needed.

Shawn Kantola

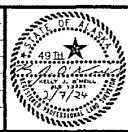
907-209-3900



NORTH 57*
LAND SURVEYING LLC
 (907) 747-6700 215-F SMITH STREET, SITKA, AK
 8800 GLACIER HWY, SUITE 224 1/2, JUNEAU, AK 99801
 MAILING ADDRESS - 2007 CASCADE CREEK ROAD, SITKA, AK 99825
 EMAIL: north57landsurveying@yahoo.com

NO.	DATE	BY	DESCRIPTION OF CHANGE
10	1/24/24	H1	INCLUSION OF LIBAR DATA AND EASEMENT UPDATE
11		CEV	DESCRIPTION OF CHANGE

RECORD OF REVISIONS



DESIGNED & DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 DATE OF PLAT: JUNE 14, 2013, 1:30 PM
 SCALE: 1" = 40'
 DRAWING NAME: 40497-01-00
 PROJECT NO: 40497-01-00

SURVEYOR'S CERTIFICATE
 I HEREBY CERTIFY THAT I AM A REGISTERED SURVEYOR, LICENSED IN THE STATE OF ALASKA, AND THAT ON MAY 2023, A SURVEY OF THE HEREIN DESCRIBED LANDS WAS CONDUCTED UNDER MY DIRECT SUPERVISION AND THAT THIS PLAT IS A TRUE AND ACCURATE REPRESENTATION OF THE FIELD NOTES OF SAID SURVEY, AND THAT ALL DIMENSIONS AND OTHER DETAILS ARE CORRECT ACCORDING TO SAID FIELD NOTES.
 2/7/24
 [Signature]
 L.S. 1224

AS-BUILT / TOPO SURVEY
 LOT 3 OF THE BLACK BEAR SUBDIVISION AND PART OF THE SILVER STREET ROW.
 JUNEAU, AK 99801
 CLIENT: SHAWN KENTOLA



PRELIMINARY PLAT CHECK LIST

Name of Proposed Subdivision: Silver Acres Subdivision

The following items must be included with the initial submittal of a Preliminary Plat:

- Application, filled out completely
- Application fee (see fee schedule)
- Project Narrative
- Five (5) – 24" by 36" Copies
- Pre-application Conference Report
- Lot Closure Report
- Disclosure of all known environmental hazards and any proposed mitigation measures recommended in the applicable environmental document.
- Preliminary Plat Checklist: I have reviewed the checklist and all submittals for completeness and accuracy.

Shawn Kantola

3-13-24

Applicant or Surveyor - Signature

Date

Shawn Kantola

Applicant or Surveyor - Print Name

GENERAL REQUIREMENTS

- The preliminary plat shall be prepared by a professional land surveyor, registered in the State of Alaska
- The preliminary plat shall be submitted on 22 by 34 inch sheets. The director of engineering and public works may approve alternate sheet sizes
- The preliminary plat shall be drawn with black ink to a scale of one-inch to 100 feet or less, or other suitable scale approved by the director of engineering and public works
- The preliminary plat shall be oriented with north toward the top of the sheet.
- A vicinity map shall be located in the upper right-hand corner of the sheet
- The vicinity map shall be oriented in the same direction as the plat
- A suitable north arrow shall be shown for the plat and vicinity map
- All line work and lettering must be of professional quality, and all line widths and lettering sizes must be of such size that all information can be clearly shown without overlap or confusion

GRAPHIC REQUIREMENTS - A preliminary plat shall contain the following information:

Title block - An enclosed title block in the lower right-hand corner containing the following information:

- The proposed name of the subdivision
- The legal description of the parcel to be subdivided including U.S. Survey, U.S. Mineral Survey, A.T.S. number or section, township, and range number, as applicable
- "City and Borough of Juneau, Alaska"
- "State Recorder's Office at Juneau"
- The date the preliminary plat was prepared and revised
- The horizontal scale
- The name and address of the owner of record
- The name, address, and telephone number of the surveyor preparing the preliminary plat

Preliminary Plat Checklist
Updated 1/2018
Page 2 of 5

Lot, block, and street information:

- The area of each lot
- The dimensions in feet and hundredths of a foot
- An identifying number and letter for lots and blocks
- Lots numbered consecutively, commencing with the number "1," with no omissions or duplications
- If the remainder of an original parcel being subdivided is relatively large, it shall be designated as a "tract" with an identifying number
- All parcels of land intended to be dedicated for public use or reserved for the use of all of the property owners in the proposed subdivision shall be shown as lots, and consecutively numbered. The purpose and any conditions or limitations on the use of the parcel shall be noted on the plat
- Abutting properties shall be shown with dashed lines, numbers, and/or letters
- For resubdivisions or public way vacations, the lines and legal description of the previous lots shall be shown with light dashed lines, numbers, and/or letters, or by a separate plat on the same sheet showing the previous lot lines
 - The minimum data shown for each curve shall be as follows:
 - Length
 - Central angle
 - Radius
 - Bearing and distance of long chord
 - Setbacks shall be shown on all corner lots and any lots with multiple frontage. Setbacks shall be shown on typical lots

Boundary lines:

- All boundary lines of the subdivision with bearings and distances described
- All retraced boundary lines shall show record and measured bearings and distances where they differ. Record dimension information shall be shown within parentheses and include a record source identification
- The exterior boundary lines of the subdivision shall be a solid black opaque line that is of a width that distinguishes it from all other property lines shown on the plat
- If phasing is proposed, then the boundaries and number of each phase, sequential lot numbering, and a subdivision name consistent with previous phases shall be shown

Monumentation:

- The monuments used to establish the basis of bearing
- Each monument found or set shall be identified on the plat by a symbol
- A complete description of the monument, including type and all information printed on the cap. A typical drawing shall be shown for each type of monument cap set
- A legend showing the symbols for all the types of monuments
- The identification, description location, elevation, and datum of the benchmark used to establish vertical control

Site access, circulation, and utilities:

- The widths and names of existing rights-of-way within the subdivision and within 100 feet of the subdivision boundary
- Proposed rights-of-way, including their widths and proposed names
- The grades of existing and proposed streets within these rights-of-way
- The width, ownership, use, and record reference of all proposed and existing easements within the subdivision and within 100 feet of the subdivision boundary
- The width, ownership, and use of all proposed easements

I:\FORMS\PLANFORM\Subdivision Preliminary Plat Checklist to accompany application 2018.docx

Preliminary Plat Checklist

Updated 1/2018

Page 3 of 5

- All proposed and existing easements shall have sufficient dimensions shown to determine their location on the ground
- Existing trails or pathways within the subdivision and within 100 feet of the subdivision boundary, including the width of any associated rights-of way or easements
- Proposed trails or pathways and widths of their rights-of-way
- If the plat submitted covers only a part of the tract under the control of the applicant, a sketch plat of the prospective street system of the unplatted part shall be submitted
- The location of any existing or proposed driveways/curb cuts that access or are proposed to access any existing or proposed street

Topographic information:

- For slopes of less than five percent, show one foot contour lines and include spot elevations at all breaks in grade, along all drainage channels or swales, and at selected points not more than 100 feet apart in all directions
- For slopes between five percent and ten percent, show two foot contour lines
- For slopes greater than ten percent, show five foot contour lines
- Every fifth elevation contour shall be distinctive and clearly labeled
- Dashed lines shall represent existing contours
- Mapping shall include any significant features which can materially affect the design of the subdivision, including, but not limited to, structures, fences, walls, and utility poles
- If irregular slopes or special features are present, additional contour information may be required by the director of engineering and public works for planning or construction purposes. Additional required information may include projecting the topography of the site after grading has taken place, showing such items as:
 - Pad elevations and drainage patterns for each lot
 - Tops and toes of all manufactured slopes, including daylight lines
 - Existing and proposed retaining wall locations and heights
- For subdivisions located in hillside areas with slopes greater than eighteen percent, additional requirements apply in accordance with CBJ 49.70, Article II

Sewer and water:

- Existing sewer and water mains within the tract with pipe sizes and grades
- A draft plan for proposed water and sewer lines showing the size, approximate slope, and connection points with elevations for the purpose of determining the feasibility of construction

Multisheet plats:

- When a plat requires more than one sheet, exclusive of a certificate sheet, an index sheet shall be included. When a plat requires more than three sheets, a cover sheet shall also be included, showing the subdivision title, a key map, and all certificates. Each additional sheet shall include the following data:
 - North arrow
 - Legend
 - Surveyor's seal and signature
 - Title block
 - Sheet _____ of _____
 - Scale
 - All plat notes
 - Vicinity map

I:\FORMS\PLANFORM\Subdivision Preliminary Plat Checklist to accompany application 2018.docx

Preliminary Plat Checklist

Updated 1/2018

Page 4 of 5

~~ADDITIONAL MAPPING OR REPORTS- At the pre-application meeting, it will be determined if any of the following additional mapping or reports are required to be submitted with the preliminary plat. If required, the following additional mapping or reports shall be submitted:~~

Hazard and Special Habitat Areas:

- Any portion of a special flood hazard area, landslide or avalanche area, habitat area as defined by CBJ 49.70.310, or watersheds, either existing at the proposed subdivision site or shown on the overlay maps, adopted pursuant to this title, to exist at the proposed subdivision site, must be depicted on the preliminary plat
- The boundaries of any wetland areas must be depicted on the preliminary plat. Boundaries must be determined by a person qualified to perform wetland delineations

Soils report:

- A soils report prepared by an engineer licensed by the State of Alaska shall be required if the proposed subdivision is located farther from the existing public sewer system than specified in CBJ 49.35, and the applicant chooses to provide on-lot waste disposal rather than to connect to the public system. A soils report shall include the following:
 - Certification that the proposed lots are large enough and have soil of sufficient permeability to permit the construction of approved waste treatment systems for on-lot waste disposal
 - The location and size of drain fields for each lot
 - The locations and logs of test borings, percolation test results, and a hydrological evaluation of on-site sewage disposal
 - If the soils report indicates that the soils found on the site are not of sufficient permeability or the lots are not large enough to permit the construction of systems for on-lot waste disposal, the size of the proposed lots must be increased or alternate methods for waste disposal proposed
 - The soils report shall describe the nature of the subsurface soils and any soil conditions that would affect the design of the proposed development. The soils report shall state whether the proposed subdivision plan is feasible and provide general solutions for all known geotechnical conditions or problems

Drainage report:

- A preliminary report specifying the method by which the applicant proposes to manage surface and subsurface drainage for the subdivision and the effect of such method on adjacent areas. Unlike the drainage plan required by CBJ 49.35.510, the preliminary drainage report does not need to be prepared by a licensed engineer. The report must address the following:
 - A calculation of the increase in stormwater runoff resulting from the proposed development as well as the runoff from all drainage areas associated with the site. Runoff calculations shall be based on a fully-developed subdivision and a 25-year storm event
 - How drainage from the proposed subdivision will join an established drainage channel or channels, unless the director of engineering and public works approves use of an alternative drainage way
 - An evaluation of existing drainage ways and structures located between the subdivision and the receiving water body, and verification that the existing drainage ways can accommodate the increased runoff. If the increased runoff cannot be handled, the plan must propose solutions to the problem
 - All required improvements, on or off site, that are shown on the construction plans in accordance with CBJ 49.35, Article V, and that will be constructed as part of the subdivision

Water:

- For subdivisions of five or more lots, including major subdivisions, the following shall be included, where applicable, in accordance with CBJ 49.15.412:
 - If a proposed subdivision is located at greater distance from the existing public water system than specified in CBJ 49.35, Article III, and the applicant chooses not to connect to the public system, a statement that the applicant will provide a community water system or that individual wells will be used

Preliminary Plat Checklist
Updated 1/2018
Page 5 of 5

- A report by a registered engineer or geologist that clearly supports the legal and physical availability of adequate water. Methods for proof of water availability and the standards for quantity are listed in CBJ 49.35, Article III
- A copy of the State application for a permit to appropriate water in the quantity required to meet the subdivisions demands
- This does not apply to remote subdivisions unless: the subdivider of the remote subdivision chooses to provide potable water, a public water system is available and the subdivision falls within the criteria outlined in CBJ 49.35.310(a), or the subdivision has four or fewer lots.
- The director for minor subdivisions, and the planning commission for major subdivisions, may, for good cause, temporarily waive the requirement to provide a water report and proof of water, and condition the approval of the preliminary plat upon the provision of both documents as part of the final plat application and approval process.

Erosion control:

- A report explaining the method by which the applicant proposes to control erosion and manage runoff, and potential impacts to adjacent properties or water bodies. The report shall include a plan for preservation of ground cover in areas where runoff and resulting erosion need to be minimized.

Traffic study:

- A traffic impact analysis may be required with the preliminary plat in accordance with CBJ 49.40.300.

Shadow plats:

- For subdivisions of five or more lots in transition areas, a shadow plat shall be submitted according to CBJ 49.70.710. The shadow plat shall consist of a sketch superimposed on the proposed subdivision layout. This sketch shall reflect any future resubdivision of the parcels into smaller lots consistent with the higher density and the lot size allowed under the transition zoning.

NOTES

- 1 THE ERROR OF CLOSURE OF THIS SURVEY DOES NOT EXCEED 1/10,000
- 2 ALL DIMENSIONS ARE MEASURED IN U.S. SURVEY FEET
- 3 SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD
- 4 DOMESTIC WATER AND SEWER PROVIDED BY THE CITY AND BOROUGH OF JUNEAU PUBLIC UTILITIES
- 5 THIS SUBDIVISION IS WITHIN THE CITY AND BOROUGH OF JUNEAU AND IS SUBJECT TO TAXATION AT THE TIME OF THE SURVEY
- 6 RECORD INFORMATION FOR THIS SUBDIVISION IS DERIVED FROM THE OFFICIAL PLAT OF THE BLACK BEAR SUBDIVISION PLAT NO. 2013-25 JRD - A PLAT OF BLACK BEAR SUBDIVISION, BETWEEN RECOVERED US GENERAL LAND OFFICE BRASS CAP MONUMENTS MARKING A PORTION OF THE NORTHERLY BOUNDARY OF U.S. SURVEY 2551.
- 7 RECORD DIMENSIONS ARE IN PARENTHESES AND REFERENCED TO RECORD PLAT (R), WHERE RECORD AND MEASURED MATCH, NO PARENTHESES ARE SHOWN
- 8 THE PRIVATE SHARED ACCESS, DRAINAGE AND UTILITY EASEMENT CREATED WITH THIS PLAT IS FOR THE BENEFIT OF LOTS 4, 5, 6 AND 7 OF THIS SUBDIVISION. THIS EASEMENT IS INTENDED TO DEPART FROM THE SILVER STREET ROW AS SHOWN WITH 2' SOUTHWAY OF, AND BE PARALLEL TO THE NORTHERLY PROPERTY LINE OF LOTS 4, 5, 6 AND 7.
- 9 SEE RECORD BOOK NO. 321 1976E 433 JRD REGARDING THE 30' DRAINAGE AND MAINTENANCE EASEMENT ACROSS THE NORTHERLY LINE OF U.S. SURVEY 2551. THE PORTION OF DRAINAGE EASEMENT LOCATED WITHIN THE NEARLY DEDICATED PORTION OF SILVER STREET IS RELINQUISHED.
- 10 SEE RECORD BOOK NO. 411 PART 40 REGARDING THE 30' PUBLIC SEWER EASEMENT THAT IS CONCURRENT WITH THE 30' DRAINAGE EASEMENT DESCRIBED IN NOTE 7. THIS PLAT THE PORTION OF SEWER EASEMENT LOCATED WITHIN THE SILVER STREET ROW DEDICATED THIS PLAT IS RELINQUISHED.

OWNERSHIP CERTIFICATE

I/VE HEREBY CERTIFY THAT WE ARE THE OWNERS OF LOT 3 BLACK BEAR SUBDIVISION (SHOWN AND DESCRIBED HEREON, AND THAT WE HEREBY ADOPT THIS PLAT OF SUBDIVISION WITH OUR FREE CONSENT, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC USE PRIVATE USE AS NOTED.

DATE: _____ 2024 DATE: _____ 2024
 DUVAN KANTOLA _____
 HEIDI KANTOLA _____

NOTARY ACKNOWLEDGEMENT
 UNITED STATES OF AMERICA
 STATE OF ALASKA

THIS IS TO CERTIFY THAT ON THE _____ DAY OF _____, 2024, BEFORE ME, THE UNDERSIGNED A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED DUVAN AND HEIDI KANTOLA, TO BE KNOWN TO ME THE PEOPLE DESCRIBED IN AND WHO EXECUTED THE ABOVE AND FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY SIGNED AND SEALED THE SAME FREELY AND VOLUNTARILY FOR THE USES AND PURPOSES THEREIN MENTIONED, WITH MY HAND AND OFFICIAL SEAL THIS DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

NOTARY PUBLIC FOR ALASKA
 MY COMMISSION EXPIRES _____

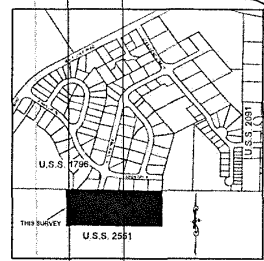
BASIS OF BEARING

THE BASIS OF BEARING FOR THIS PLAT IS THE RECORD BEARING OF N 89°58'20" E AS SHOWN ON PLAT NO. 2013-25 JRD - A PLAT OF BLACK BEAR SUBDIVISION, BETWEEN RECOVERED US GENERAL LAND OFFICE BRASS CAP MONUMENTS MARKING A PORTION OF THE NORTHERLY BOUNDARY OF U.S. SURVEY 2551.

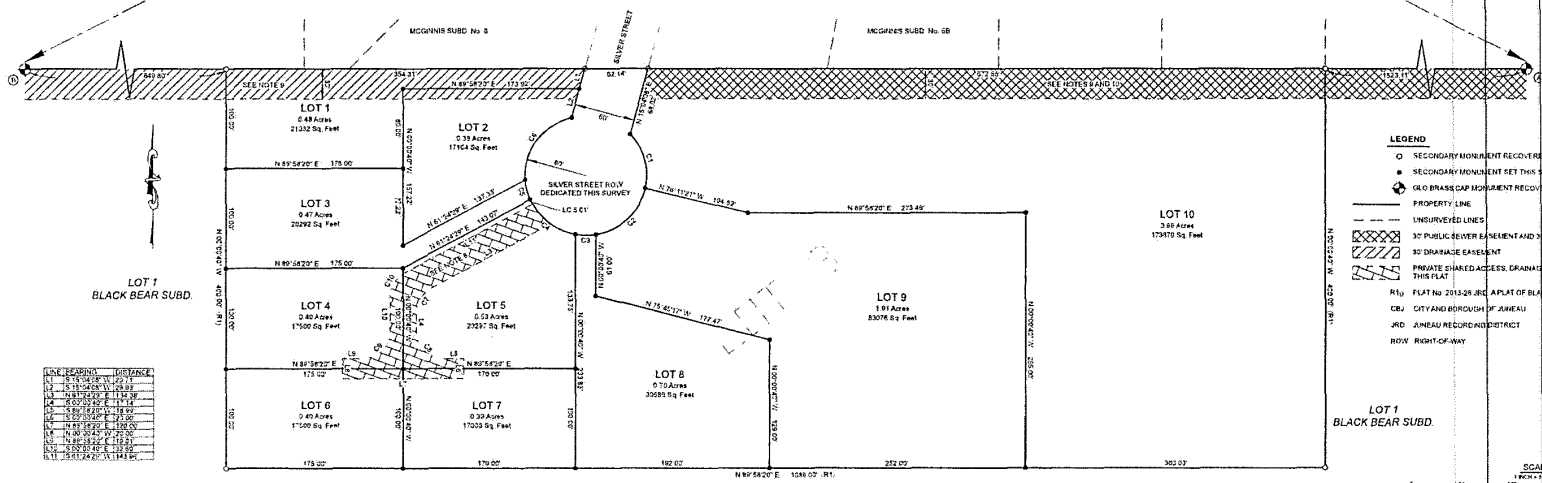
COMMUNITY DEVELOPMENT DEPARTMENT PLAT APPROVAL

I HEREBY CERTIFY THAT THE PLAT HEREON HAS BEEN FOUND TO CONFORM WITH TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU AND IS APPROVED BY THE CITY AND BOROUGH OF JUNEAU, DEPARTMENT OF COMMUNITY DEVELOPMENT, FOR RECORDING IN THE OFFICE OF THE JUNEAU RECORDING DISTRICT, ANCHORAGE, ALASKA.

DATE: _____ 2024
 JILL LAHRONE, DIRECTOR
 CITY & BOROUGH OF JUNEAU
 DEPARTMENT OF COMMUNITY DEVELOPMENT
 ATTEST
 MUNICIPAL CLERK
 CITY AND BOROUGH OF JUNEAU



BASIS OF BEARING N 89°58'20" E 3261.90' (R1)

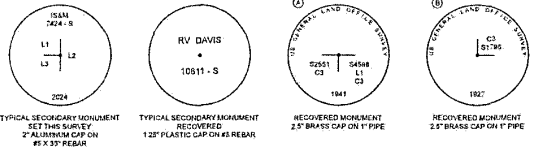


LINE	BEARING	DISTANCE
L1	N 89°58'20" E	3261.90
L2	S 15°18'00" W	173.00
L3	N 89°58'20" E	173.00
L4	S 15°18'00" W	173.00
L5	N 89°58'20" E	173.00
L6	S 15°18'00" W	173.00
L7	N 89°58'20" E	173.00
L8	S 15°18'00" W	173.00
L9	N 89°58'20" E	173.00
L10	S 15°18'00" W	173.00

LINE	BEARING	DISTANCE	AREA
L1	N 89°58'20" E	3261.90	10611.0
L2	S 15°18'00" W	173.00	1544.0
L3	N 89°58'20" E	173.00	1544.0
L4	S 15°18'00" W	173.00	1544.0
L5	N 89°58'20" E	173.00	1544.0
L6	S 15°18'00" W	173.00	1544.0
L7	N 89°58'20" E	173.00	1544.0
L8	S 15°18'00" W	173.00	1544.0
L9	N 89°58'20" E	173.00	1544.0
L10	S 15°18'00" W	173.00	1544.0

- LEGEND**
- SECONDARY MONUMENT RECOVERED - SEE TYPICAL DETAIL
 - SECONDARY MONUMENT SET THIS SURVEY - SEE TYPICAL DETAIL
 - ⊙ BRASS CAP MONUMENT RECOVERED
 - PROPERTY LINE
 - - - UNSURVEYED LINES
 - ▨ 30' PUBLIC SEWER EASEMENT AND 30' DRAINAGE EASEMENT
 - ▧ 30' DRAINAGE EASEMENT
 - ▩ PRIVATE SHARED ACCESS, DRAINAGE, AND UTILITY EASEMENT CREATED THIS PLAT
 - R1U PLAT NO. 2013-25 JRD - A PLAT OF BLACK BEAR SUBDIVISION
 - CBU CITY AND BOROUGH OF JUNEAU
 - JRD JUNEAU RECORDING DISTRICT
 - ROW RIGHT-OF-WAY

MONUMENT DETAILS NOT TO SCALE



SURVEYOR'S CERTIFICATE

I, TIMOTHY S. VENEZIO, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THE PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, AND THAT TO THE BEST OF MY KNOWLEDGE ALL DIMENSIONS AND RELATIVE BEARINGS ARE CORRECT AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.

DATE: _____



SCALE
 1" = 100' FEET
 METERS

A PLAT OF
SILVER ACRES SUBDIVISION
 A SUBDIVISION OF
 LOT 3 BLACK BEAR SUBDIVISION
 RECORD PLAT NO. 2013-25 JRD
 WITHIN U.S. SURVEY NO. 2551
 LOCATED WITHIN THE CITY AND BOROUGH OF JUNEAU, ALASKA
 JUNEAU RECORDING DISTRICT
 STATE RECORDERS OFFICE AT ANCHORAGE -
 CBU REG. CASE NUMBER: M2024-1950

DESIGNED BY: JAMES H. HARRIS
 PLAT NUMBER: 2024-1950

DRAWN BY: TRV DATE: 03/23/2024 SHEET: 1 OF 1



(907) 586-0715
 CDD_Admin@juneau.gov
 www.juneau.org/community-development
 155 Heritage Way • Juneau, AK 99801

Silver St. Subdivision

Case Number: PAC2024 0006
 Applicant: Shawn Kantola
 Property Owner: Shawn Kantola
 Property Address: TBD/Silver Street
 Parcel Code Number: 4B2601020043
 Site Size: 435,000 square feet/10.00 acres
 Zoning: D3 – Single Family/Duplex
 Existing Land Use: Vacant

Conference Date: January 31, 2024
 Report Issued: February 28, 2024
DISCLAIMER: Pre-application conferences are conducted for the purpose of providing applicants with a preliminary review of a project and timeline. Pre-application conferences are not based on a complete application and are not a guarantee of final project approval.

List of Attendees

Note: Copies of the Pre-Application Conference Report will be emailed, instead of mailed, to participants who have provided their email address below.

Name	Title	Email address
Shawn Kantola	Applicant	ShawnKantola@yahoo.com
David Peterson	Planning	David.Peterson@juneau.gov
Sydney Hawkins	Permitting	Sydney.Hawkins@juneau.gov
Bridget LaPenter	General Engineering	Bridget.LaPenter@juneau.gov
Jill Lawhorne	CDD Director	Jill.Lawhorne@juneau.gov

Pre-Application Conference Final Report

Conference Summary

What will the improvement requirements be? i.e. Sidewalks, water/sewer, etc...

What type of development would this be considered?

Would the director approve the substandard lot width for the Lots on the cul-de-sac based on the wetness of the lot?

Project Overview

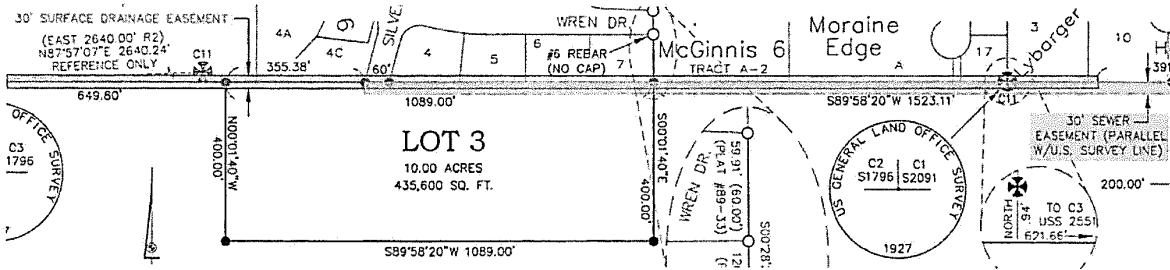
The owner of the property located at NHN Silver Street, Parcel #4B2601020043 is proposing changes to the original proposal outlined in PAC2023-0039. The proposal includes finishing the stub street (Silver Street) and creating a public Right of Way (ROW) complete with cul-de-sac. The plan involves eight lots in total, with future plans to subdivide lots 7 and 8 into Private Shared access subdivisions.

Per 49.15.220(1) - Unless otherwise specified in this title, minor development shall require department approval. If the director determines that a series of applications for minor developments, taken together, constitute a major development, the applications shall be subject to the appropriate major development permit procedures and standards.

Per 49.15.402(a) – A major subdivision permit is required for subdivisions resulting in 14 or more lots.

The Director is classifying this as a major subdivision as the endgame of the subdivision would be a potential phased development of 14 lots, or more depending on the future requirements of Division 2, 49.35.260 - Private Shared Access code.

NOTE: There is a Surface Drainage Easement that was incorrectly platted per Book 321 page 493 which refers to the easement as being south of the common boundary. Plat 2013-26 shows it straddling the property line, in error. Per plat 2013-26, a 30' surface drainage easement was recorded on the plat, but the property owners did not authorize the easement (Lots 4A, 4C, 4, 5, 6, and 7).



Planning Division

1. Zoning – Lot 3 is zoned D3.

- a. Per Title 49, Table of Dimensional Standards: 49.25.400 - D3 zoning requirements include:
 - i. Standard lot size = 12,000 square feet; Bungalow lot size = 6,000 square feet. Duplex lot size = 18,000 square feet.
 - ii. Lot Width = Standard = 100 feet; Bungalow = 50 feet.
 - iii. Maximum Lot Coverage: Permissible/Conditional = 35%.

2. Table of Permissible Uses –

- a. Per Title 49, Table of Permissible Uses, 49.25.300, and the Table of Dimensional Standards, 49.25.400, a D3 Zoned area is allowed:
 - i. Up to two (2) dwellings per lot with a 1,000 square foot (or 50% of the primary dwelling

Pre-Application Conference Final Report

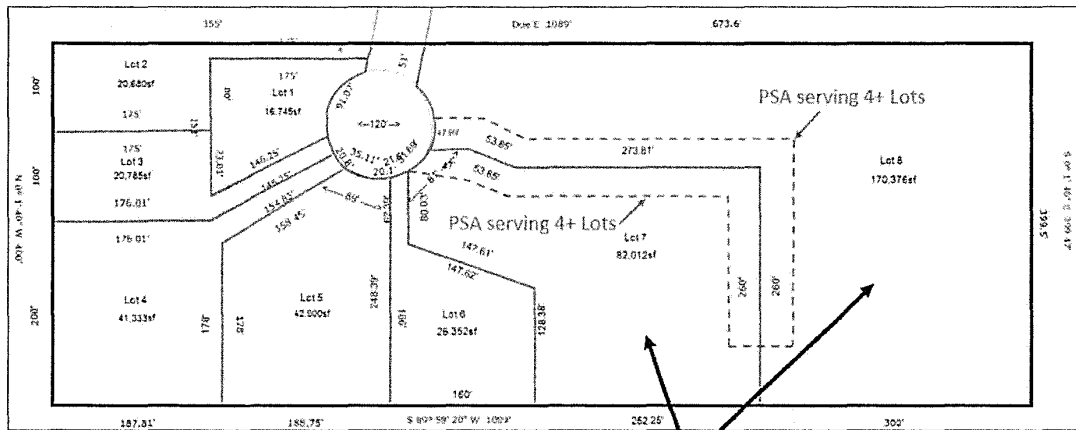
unit's net floor area) accessory apartments are permitted when lot is 250% of the minimum required lot size (30,000 square feet).

ii. Up to two (2) dwellings per lot without accessory apartments are permitted when lot is 200% of the minimum required lot size (24,000 square feet).

iii. A single-family detached dwelling with a 1,000 square foot apartment (or 50% of the primary dwelling unit's net floor area) accessory apartment when lot is 125% of the minimum lot size (15,000 square feet).

iv. A single-family detached dwelling with an accessory apartment of with a net square footage of 600 square feet will need to be 100% of the minimum lot size (12,000 square feet).

3. Subdivision –



Lots to be subdivided into 4 (or more) lots

4. Setbacks – Per 49.25.400, Note 3, of the Table of Dimensional Standards: Where one district abuts another, the greater of the two setbacks is required for both uses on the common property line. The lot is bound by another lot that is zoned D1, and the D1 setbacks apply along these shared lot lines.

Standard		Requirement D3 Zoning	Requirement D1 Zoning
Setbacks	Front	25 ft.	25 ft.
	Rear	25 ft.	25 ft.
	Side	10 ft.	15 ft.
	Side	10 ft.	15 ft.
	Street Side	17 ft.	17 t.

5. Height – Permissible uses 35 feet; Accessory/Bungalow uses 25 feet.

6. Access –

- a. Per T49 section 49.35.250(a) – Access – Principal access to the subdivision. The department shall designate one right-of-way as principal access to the entire subdivision. Such Access, if not already accepted for public maintenance, shall be improved to the applicable standards for public acceptance and maintenance. It shall be the responsibility of the Subdivider to pay the cost of the right-of-way improvements.

Pre-Application Conference Final Report

- b. ~~49.35.250(b) – Access – All Lots must satisfy the minimum frontage requirement and have direct and practical access to the right-of-way through the frontage. The minimum frontage requirement on a right-of-way is 30 feet or the minimum lot width for the zoning district or use as provided in CBJ T49 49.25.400.~~
 - (1) Dedication of a new right-of-way with construction of the street to public standards. This street must connect to an existing publicly maintained street;
 - (2) Use of an existing publicly maintained street;
 - (3) Upgrading the roadway within an existing right-of-way to public street standards. This existing right-of-way must be connected to another publicly maintained street; or
 - (4) A combination of the above.
- b. Silver Street stub is not a maintained CBJ ROW and will need to be improved to CBJ right-of-way Standards. It will then need to be accepted as a CBJ ROW in order to be considered acceptable direct and practical access that is required for the subdivision per 49.35.250(b).

Per the table in T49 49.35.240, improvements would require a paved 22-foot travel way and **streetlights** in order to be considered a publicly maintained ROW.

Per the 2016 LID-62, was formed by the Assembly in June of 2015 through Ordinance 2015-28 to waive the installation of srteet lighting in the McGinnis Subdivision.

Per 49.35.240(b)(2) – The Director may reduce minimum right-of-way width requirements for streets with fewer than 500 average daily trips may reduce the platted ROW width by up to 25 feet.

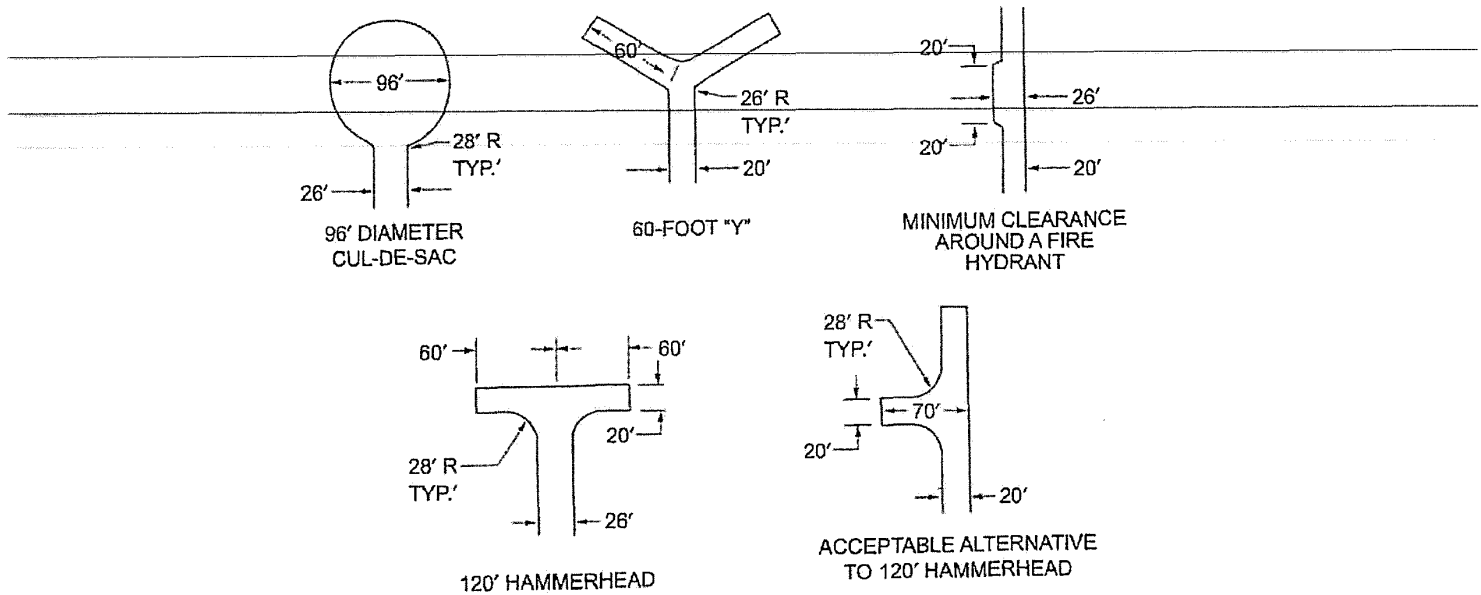
Per 49.35.240(i)(2) – *Street waivers* may apply if criteria are met.

7. Parking & Circulation – Reference T49 - 49.40.210

- a. Single family / duplex – two (2) off-street parking spaces per dwelling unit.
- b. Accessory apartments – one (1) off-street parking space per unit.

Reference D103.4 Dead Ends. Dead-end fire apparatus access roads in excess of 150 feet shall be provided with width and tur around provisions in accordance with Table D103.4.

Pre-Application Conference Final Report



8. **Lot Coverage** – Permissible/Conditional = 35%
9. **Vegetative Coverage** – Per 49.50.300, Minimum Vegetative cover for D3 = 20%
10. **Lighting** – N/A
11. **Noise** – 49.20.095(c): *Disturbing the Peace: Construction of buildings and projects.* It is unlawful to operate any pile driver, power shovel, pneumatic hammer, derrick, power hoist, or similar heavy construction equipment, before 7:00 a.m. or after 10:00 p.m., Monday through Friday, or before 9:00 a.m. or after 10:00 p.m., Saturday and Sunday, unless a permit shall first be obtained from the City and Borough building official. Such a permit shall be issued by the building official only upon a determination that such operation during hours not otherwise permitted under this section is necessary and will not result in unreasonable disturbance to surrounding residents. The building official may revoke any noise permit after making written findings that the construction activity has resulted in unreasonable disturbance to surrounding residents or that operation during hours not otherwise permitted is not necessary.
12. **Flood** – Per panel 02110C1238E eff. 9/18/2020 – N/A
13. **Hazard/Mass Wasting/Avalanche/Hillside Endorsement** – No recorded hazards in CBJ record.
14. **Wetlands** – Per panel 02110C1238E eff. 9/18/2020. If wetlands are discovered on parts of the proposed development, special regulations may apply. Please include a plat note that states: THIS SITE CONTAINS MAPPED WETLANDS.
15. **Habitat** – Check with the U.S. Fish and Wildlife on the presence of eagle nests in the area. The presence of eagle nests may impact construction scheduling. No known anadromous waterbodies are on the subject parcel, or within 50 feet.
16. **Plat or Covenant Restrictions** – There is a Surface Drainage Easement that was improperly conveyed in the 2013 plat (plat 2013-26). The easement was established in Book 321, Page 493, and refers to the easement as being south of the common boundary. The easement will need to be shown as completely on the Lot 3 subdivision area.

Pre-Application Conference Final Report

Should the Surface Drainage easement, or Sewer easement on the northern boundary of Lot 3 need to be relocated/rerouted, the Developer would need to address all concerns of CBJ General Engineering department.

- 17. **Traffic** – No traffic impact analysis required.
- 18. **Nonconforming situations** – No nonconforming situations known at the time of Pre-Application Conference (PAC)

Building Division

- 19. **Building** – N/A
- 20. **Outstanding Permits** – None.

General Engineering/Public Works

- 21. **Engineering** – Utility and access easements must be identified on preliminary plat.
- 22. **Drainage** – An engineered drainage plan must be submitted with preliminary plat application.
- 23. **Utilities** – (water, power, sewer, etc.) A detailed utility plan is required at time of preliminary plat.

CBJ Wastewater Utility offers two options for tie-in to the city sewer:

- Option 1 (preferred). Run the “new mainline” from the subdivision to the manhole on Wren Dr. If that proves feasible, it would be the easiest option.
- Option 2. Add a manhole just outside the lift station and make a penetration into the lift station wet well. This method would require an additional manhole installed plus a bar screen added to the interior of the wet well to catch large debris from going into the pumps. (see photos, below) If this is engineered properly, going straight into the wet well may be acceptable in this case.



Image 1. Proposed Options 1 and 2

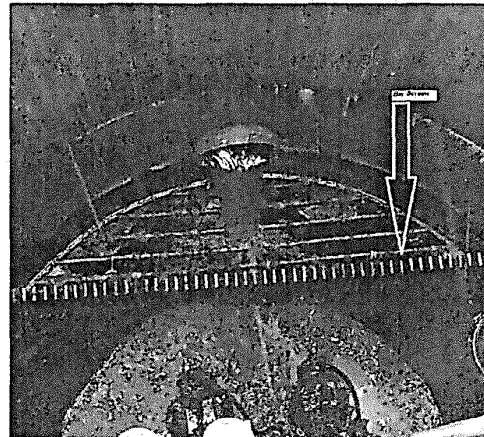


Image 2. Typical Bar Screen

Pre-Application Conference Final Report

Fire Marshal

- 24. Fire Items/Access – No comments at this time.
-

Other Applicable Agency Review

- 25. N/A

List of required applications

Based upon the information submitted for pre-application review, the following list of applications must be submitted in order for the project to receive a thorough and speedy review.

- 1. Development Permit Application – (DPA)
- 2. Subdivision Application (Major)

Additional Submittal Requirements

Submittal of additional information, given the specifics of the development proposal and site, are listed below. These items will be required in order for the application to be determined Counter Complete.

- 1. Required applications (DPA/Subdivision App.)
- 2. Project Narrative
- 3. A copy of this pre-application conference report.
- 4. A 24x36 pdf. of the preliminary plat submitted individually
- 5. Closure Report
- 6. As-built/Construction Drawing

Exceptions to Submittal Requirements

Submittal requirements that staff has determined **not** to be applicable or **not** required, given the specifics of the development proposal, are listed below. These items will **not** be required in order for the application to be reviewed.

- 1. N/A

Fee Estimates

The preliminary plan review fees listed below can be found in the CBJ code section 49.85.

Based upon the project plan submitted for pre-application review, staff has attempted to provide an accurate estimate for the permits and permit fees which will be triggered by your proposal.

- 1. 49.85.100(2)(A) Subdivision creating additional lots, \$400.00 plus \$25 for each resulting lot.
- 2. 49.15.401(f)(2) The applicant has constructed all required improvements or provided a financial guarantee in accordance with CBJ 49.55.010.

For informational handouts with submittal requirements for development applications, please visit our website at www.juneau.org/community-development.

Submit your Completed Application

You may submit your application(s) online via email to permits@juneau.gov

OR in person with payment made to:

Pre-Application Conference Final Report

City & Borough of Juneau, Permit Center
230 South Franklin Street
Fourth Floor Marine View Center
Juneau, AK 99801

Phone: (907) 586-0715
Web: www.juneau.org/community-development

- Attachments:
- Development Permit Application
 - Subdivision Application
 - Subdivision Preliminary Plat Checklist



DEVELOPMENT PERMIT APPLICATION

NOTE: Development Permit Application forms must accompany all other Community Development Department land use applications. This form and all documents associated with it are public record once submitted.

To be completed by Applicant	PROPERTY LOCATION		
	Physical Address		
	Legal Description(s) (Subdivision, Survey, Block, Tract, Lot)		
	Parcel Number(s)		
	<input type="checkbox"/> This property is located in the downtown historic district <input type="checkbox"/> This property is located in a mapped hazard area, if so, which _____		
	LANDOWNER/ LESSEE		
	Property Owner	Contact Person	
	Mailing Address	Phone Number(s)	
	E-mail Address		
	LANDOWNER/ LESSEE CONSENT		
Required for Planning Permits, not needed on Building/ Engineering Permits. Consent is required of all landowners/ lessees. If submitted with the application, alternative written approval may be sufficient. Written approval must include the property location, landowner/ lessee's printed name, signature, and the applicant's name.			
I am (we are) the owner(s) or lessee(s) of the property subject to this application and I (we) consent as follows: A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission. B. I (we) grant permission for the City and Borough of Juneau officials/employees to inspect my property as needed for purposes of this application.			
_____ Landowner/Lessee (Printed Name) Title (e.g.: Landowner, Lessee)			
X _____ Landowner/Lessee (Signature) Date			
_____ Landowner/Lessee (Printed Name) Title (e.g.: Landowner, Lessee)			
X _____ Landowner/Lessee (Signature) Date			
NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours. We will make every effort to contact you in advance, but may need to access the property in your absence and in accordance with the consent above. Also, members of the Planning Commission may visit the property before a scheduled public hearing date.			
APPLICANT			
If same as LANDOWNER, write "SAME"			
Applicant (Printed Name)	Contact Person		
Mailing Address	Phone Number(s)		
E-mail Address			
X _____ Applicant's Signature Date of Application			

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

For assistance filling out this form, contact the Permit Center at 586-0770.

	Intake Initials
Case Number	Date Received



SUBDIVISION AND DEVELOPMENT PLAN APPLICATION

See subdivision hand-outs for more information regarding the permitting process and the materials required for a complete application.

COMMUNITY DEVELOPMENT **NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.**

PROJECT SUMMARY

Number of Existing Parcels _____ Total Land Area _____ Number of Resulting Parcels _____

HAS THE PARCEL BEEN CREATED BY A MINOR SUBDIVISION IN THE PRECEDING 24 MONTHS

NO YES Case Number _____

TYPE OF SUBDIVISION OR PLATTING APPROVAL REQUESTED

<p style="text-align: center;">MINOR DEVELOPMENT (changing or creating 13 or fewer lots)</p> <p><input type="radio"/> Preliminary Plat (MIP)</p> <p><input type="radio"/> Final Plat (MIF)</p> <p><input type="radio"/> Panhandle Subdivision</p> <p><input type="radio"/> Accretion Survey</p> <p><input type="radio"/> Boundary Adjustment</p> <p><input type="radio"/> Lot Consolidation (SLC)</p> <p><input type="radio"/> Bungalow Lot Subdivision</p> <p><input type="radio"/> Common Wall/Zero Lot Subdivision</p> <p><input type="radio"/> Other _____</p>	<p style="text-align: center;">MAJOR DEVELOPMENT (changing or creating 14 or more lots)</p> <p><input type="radio"/> Preliminary Plat (SMP)</p> <p><input type="radio"/> Final Plat (SMF)</p> <p><input type="radio"/> Preliminary Development Plan – PUD (PDP)</p> <p><input type="radio"/> Final Development Plan – PUD (PDF) Preliminary</p> <p><input type="radio"/> Development Plan – ARS (ARP) Final</p> <p><input type="radio"/> Development Plan – ARS (ARF)</p> <p><input type="radio"/> Bungalow Lot Subdivision</p> <p><input type="radio"/> Common Wall/Zero Lot Subdivision</p> <p><input type="radio"/> Other _____</p>
---	---

ALL REQUIRED DOCUMENTS ATTACHED

Pre-application conference notes

Narrative including:

- Legal description(s) of property to be subdivided
- Existing structures on the land
- Zoning district
- Density
- Access
- Current and proposed use of any structures
- Utilities available
- Unique characteristics of the land or structure(s)

Preliminary Plat checklist

To be completed by Applicant

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

SUBDIVISION/PLATTING FEES	Fees	Check No.	Receipt	Date
Application Fees	\$ _____			
Admin. of Guarantee	\$ _____			
Adjustment	\$ _____			
Total Fee	\$ _____			

For assistance filling out this form, contact the Permit Center at 586-0770.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

Case Number	Date Received
-------------	---------------



PRELIMINARY PLAT CHECK LIST

Name of Proposed Subdivision: _____

The following items must be included with the initial submittal of a Preliminary Plat:

- Application, filled out completely
- Project Narrative
- Pre-application Conference Report
- Disclosure of all known environmental hazards and any proposed mitigation measures recommended in the applicable environmental document.
- Preliminary Plat Checklist: I have reviewed the checklist and all submittals for completeness and accuracy.
- Application fee (see fee schedule)
- Five (5) – 24" by 36" Copies
- Lot Closure Report

Applicant or Surveyor - Signature

Date

Applicant or Surveyor - Print Name

GENERAL REQUIREMENTS

- The preliminary plat shall be prepared by a professional land surveyor, registered in the State of Alaska
- The preliminary plat shall be submitted on 22 by 34 inch sheets. The director of engineering and public works may approve alternate sheet sizes
- The preliminary plat shall be drawn with black ink to a scale of one-inch to 100 feet or less, or other suitable scale approved by the director of engineering and public works
- The preliminary plat shall be oriented with north toward the top of the sheet.
- A vicinity map shall be located in the upper right-hand corner of the sheet
- The vicinity map shall be oriented in the same direction as the plat
- A suitable north arrow shall be shown for the plat and vicinity map
- All line work and lettering must be of professional quality, and all line widths and lettering sizes must be of such size that all information can be clearly shown without overlap or confusion

GRAPHIC REQUIREMENTS - A preliminary plat shall contain the following information:

Title block - An enclosed title block in the lower right-hand corner containing the following information:

- The proposed name of the subdivision
- The legal description of the parcel to be subdivided including U.S. Survey, U.S. Mineral Survey, A.T.S. number or section, township, and range number, as applicable
- "City and Borough of Juneau, Alaska"
- "State Recorder's Office at Juneau"
- The date the preliminary plat was prepared and revised
- The horizontal scale
- The name and address of the owner of record
- The name, address, and telephone number of the surveyor preparing the preliminary plat

Preliminary Plat Checklist
Updated 1/2018
Page 2 of 5

Lot, block, and street information:

- The area of each lot
- The dimensions in feet and hundredths of a foot
- An identifying number and letter for lots and blocks
- Lots numbered consecutively, commencing with the number "1," with no omissions or duplications
- If the remainder of an original parcel being subdivided is relatively large, it shall be designated as a "tract" with an identifying number
- All parcels of land intended to be dedicated for public use or reserved for the use of all of the property owners in the proposed subdivision shall be shown as lots, and consecutively numbered. The purpose and any conditions or limitations on the use of the parcel shall be noted on the plat
- Abutting properties shall be shown with dashed lines, numbers, and/or letters
- For resubdivisions or public way vacations, the lines and legal description of the previous lots shall be shown with light dashed lines, numbers, and/or letters, or by a separate plat on the same sheet showing the previous lot lines
 - The minimum data shown for each curve shall be as follows:
 - Length
 - Central angle
 - Radius
 - Bearing and distance of long chord
 - Setbacks shall be shown on all corner lots and any lots with multiple frontage. Setbacks shall be shown on typical lots

Boundary lines:

- All boundary lines of the subdivision with bearings and distances described
- All retraced boundary lines shall show record and measured bearings and distances where they differ. Record dimension information shall be shown within parentheses and include a record source identification
- The exterior boundary lines of the subdivision shall be a solid black opaque line that is of a width that distinguishes it from all other property lines shown on the plat
- If phasing is proposed, then the boundaries and number of each phase, sequential lot numbering, and a subdivision name consistent with previous phases shall be shown

Monumentation:

- The monuments used to establish the basis of bearing
- Each monument found or set shall be identified on the plat by a symbol
- A complete description of the monument, including type and all information printed on the cap. A typical drawing shall be shown for each type of monument cap set
- A legend showing the symbols for all the types of monuments
- The identification, description location, elevation, and datum of the benchmark used to establish vertical control

Site access, circulation, and utilities:

- The widths and names of existing rights-of-way within the subdivision and within 100 feet of the subdivision boundary
- Proposed rights-of-way, including their widths and proposed names
- The grades of existing and proposed streets within these rights-of-way
- The width, ownership, use, and record reference of all proposed and existing easements within the subdivision and within 100 feet of the subdivision boundary
- The width, ownership, and use of all proposed easements

Preliminary Plat Checklist
Updated 1/2018
Page 3 of 5

- All proposed and existing easements shall have sufficient dimensions shown to determine their location on the ground
- Existing trails or pathways within the subdivision and within 100 feet of the subdivision boundary, including the width of any associated rights-of way or easements
- Proposed trails or pathways and widths of their rights-of-way
- If the plat submitted covers only a part of the tract under the control of the applicant, a sketch plat of the prospective street system of the unplatted part shall be submitted
- The location of any existing or proposed driveways/curb cuts that access or are proposed to access any existing or proposed street

Topographic information:

- For slopes of less than five percent, show one foot contour lines and include spot elevations at all breaks in grade, along all drainage channels or swales, and at selected points not more than 100 feet apart in all directions
- For slopes between five percent and ten percent, show two foot contour lines
- For slopes greater than ten percent, show five foot contour lines
- Every fifth elevation contour shall be distinctive and clearly labeled
- Dashed lines shall represent existing contours
- Mapping shall include any significant features which can materially affect the design of the subdivision, including, but not limited to, structures, fences, walls, and utility poles
- If irregular slopes or special features are present, additional contour information may be required by the director of engineering and public works for planning or construction purposes. Additional required information may include projecting the topography of the site after grading has taken place, showing such items as:
 - Pad elevations and drainage patterns for each lot
 - Tops and toes of all manufactured slopes, including daylight lines
 - Existing and proposed retaining wall locations and heights
- For subdivisions located in hillside areas with slopes greater than eighteen percent, additional requirements apply in accordance with CBJ 49.70, Article II

Sewer and water:

- Existing sewer and water mains within the tract with pipe sizes and grades
- A draft plan for proposed water and sewer lines showing the size, approximate slope, and connection points with elevations for the purpose of determining the feasibility of construction

Multisheet plats:

- When a plat requires more than one sheet, exclusive of a certificate sheet, an index sheet shall be included. When a plat requires more than three sheets, a cover sheet shall also be included, showing the subdivision title, a key map, and all certificates. Each additional sheet shall include the following data:
 - North arrow
 - Legend
 - Surveyor's seal and signature
 - Title block
 - Sheet _____ of _____
 - Scale
 - All plat notes
 - Vicinity map

Preliminary Plat Checklist
Updated 1/2018
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ADDITIONAL MAPPING OR REPORTS- *At the pre-application meeting, it will be determined if any of the following additional mapping or reports are required to be submitted with the preliminary plat. If required, the following additional mapping or reports shall be submitted:*

Hazard and Special Habitat Areas:

- Any portion of a special flood hazard area, landslide or avalanche area, habitat area as defined by CBJ 49.70.310, or watersheds, either existing at the proposed subdivision site or shown on the overlay maps, adopted pursuant to this title, to exist at the proposed subdivision site, must be depicted on the preliminary plat
- The boundaries of any wetland areas must be depicted on the preliminary plat. Boundaries must be determined by a person qualified to perform wetland delineations

Soils report:

- A soils report prepared by an engineer licensed by the State of Alaska shall be required if the proposed subdivision is located farther from the existing public sewer system than specified in CBJ 49.35, and the applicant chooses to provide on-lot waste disposal rather than to connect to the public system. A soils report shall include the following:
 - Certification that the proposed lots are large enough and have soil of sufficient permeability to permit the construction of approved waste treatment systems for on-lot waste disposal
 - The location and size of drain fields for each lot
 - The locations and logs of test borings, percolation test results, and a hydrological evaluation of on-site sewage disposal
 - If the soils report indicates that the soils found on the site are not of sufficient permeability or the lots are not large enough to permit the construction of systems for on-lot waste disposal, the size of the proposed lots must be increased or alternate methods for waste disposal proposed
 - The soils report shall describe the nature of the subsurface soils and any soil conditions that would affect the design of the proposed development. The soils report shall state whether the proposed subdivision plan is feasible and provide general solutions for all known geotechnical conditions or problems

Drainage report:

- A preliminary report specifying the method by which the applicant proposes to manage surface and subsurface drainage for the subdivision and the effect of such method on adjacent areas. Unlike the drainage plan required by CBJ 49.35.510, the preliminary drainage report does not need to be prepared by a licensed engineer. The report must address the following:
 - A calculation of the increase in stormwater runoff resulting from the proposed development as well as the runoff from all drainage areas associated with the site. Runoff calculations shall be based on a fully-developed subdivision and a 25-year storm event
 - How drainage from the proposed subdivision will join an established drainage channel or channels, unless the director of engineering and public works approves use of an alternative drainage way
 - An evaluation of existing drainage ways and structures located between the subdivision and the receiving water body, and verification that the existing drainage ways can accommodate the increased runoff. If the increased runoff cannot be handled, the plan must propose solutions to the problem
 - All required improvements, on or off site, that are shown on the construction plans in accordance with CBJ 49.35, Article V, and that will be constructed as part of the subdivision

Water:

- For subdivisions of five or more lots, including major subdivisions, the following shall be included, where applicable, in accordance with CBJ 49.15.412:
 - If a proposed subdivision is located at greater distance from the existing public water system than specified in CBJ 49.35, Article III, and the applicant chooses not to connect to the public system, a statement that the applicant will provide a community water system or that individual wells will be used

Preliminary Plat Checklist
Updated 1/2018
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-
- A report by a registered engineer or geologist that clearly supports the legal and physical availability of adequate water. Methods for proof of water availability and the standards for quantity are listed in CBJ 49.35, Article III

 - A copy of the State application for a permit to appropriate water in the quantity required to meet the subdivisions demands
 - This does not apply to remote subdivisions unless: the subdivider of the remote subdivision chooses to provide potable water, a public water system is available and the subdivision falls within the criteria outlined in CBJ 49.35.310(a), or the subdivision has four or fewer lots.
 - The director for minor subdivisions, and the planning commission for major subdivisions, may, for good cause, temporarily waive the requirement to provide a water report and proof of water, and condition the approval of the preliminary plat upon the provision of both documents as part of the final plat application and approval process.

Erosion control:

- A report explaining the method by which the applicant proposes to control erosion and manage runoff, and potential impacts to adjacent properties or water bodies. The report shall include a plan for preservation of ground cover in areas where runoff and resulting erosion need to be minimized.

Traffic study:

- A traffic impact analysis may be required with the preliminary plat in accordance with CBJ 49.40.300.

Shadow plats:

- For subdivisions of five or more lots in transition areas, a shadow plat shall be submitted according to CBJ 49.70.710. The shadow plat shall consist of a sketch superimposed on the proposed subdivision layout. This sketch shall reflect any future resubdivision of the parcels into smaller lots consistent with the higher density and the lot size allowed under the transition zoning.

Silver Acres Preliminary Plat Lot Closure Reports

Lot 1 Polyline Report

Northing	Easting	Bearing	Distance
6493.837	3697.606		
		S 00°00'40" E	100.000
6393.837	3697.625		
		N 89°58'20" E	175.000
6393.922	3872.625		
		N 00°00'40" W	80.000
6473.922	3872.610		
		N 89°58'20" E	173.918
6474.006	4046.528		
		N 15°04'08" E	20.714
6494.008	4051.913		
		S 89°58'20" W	354.307
6493.837	3697.606		

Closure Error Distance> 0.00000

Total Distance> 903.940

Polyline Area: 21032 sq ft, 0.48 acres

Lot 2 Polyline Report

Northing	Easting	Bearing	Distance
----------	---------	---------	----------

6382.416 3993.219

Radius: 60.000 Chord: 77.481 Degree: 95°29'35" Dir: Right

Length: 84.228 Delta: 80°25'55" Tangent: 50.733

Chord BRG: N 35°59'17" E Rad-In: N 85°46'20" E Rad-Out: S 13°47'45" E

Radius Point: 6386.840,4053.056

6445.109 4038.748

N 15°04'08" E 29.926

6474.006 4046.528

S 89°58'20" W 173.918

6473.922 3872.610

S 00°00'40" E 80.000

6393.922 3872.625

S 00°00'40" E 77.225

6316.697 3872.640

N 61°24'29" E 137.325

6382.416 3993.219

Closure Error Distance > 0.00000

Total Distance > 582.623

Polyline Area: 17104 sq ft, 0.39 acres

lot 3 Polyline Report

Northing	Easting	Bearing	Distance
----------	---------	---------	----------

6362.388 3998.264

Radius: 60.000 Chord: 20.654 Degree: 95°29'35" Dir: Right

Length: 20.757 Delta: 19°49'17" Tangent: 10.483

Chord BRG: N 14°08'19" W Rad-In: N 65°57'02" E Rad-Out: N 85°46'20" E

Radius Point: 6386.840,4053.056

6382.416 3993.219

N 90°00'00" E 0.000

6382.416 3993.219

S 61°24'29" W 137.325

6316.697 3872.640

N 00°00'40" W 77.225

6393.922 3872.625

S 89°58'20" W 175.000

6393.837 3697.625

S 00°00'40" E 100.000

6293.837 3697.645

N 89°58'20" E 175.000

6293.922 3872.645

N 61°24'29" E 143.066

6362.388 3998.264

Closure Error Distance > 0.00000

Total Distance > 828.373

Polyline Area: 20292 sq ft, 0.47 acres

Lot 4 Polyline Report

Northing	Easting	Bearing	Distance
6293.837	3697.645		
		S 00°00'40" E	100.000
6193.837	3697.664		
		N 89°58'20" E	175.000
6193.922	3872.664		
		N 00°00'40" W	100.000
6293.922	3872.645		
		S 89°58'20" W	175.000
6293.837	3697.645		

Closure Error Distance > 0.00000

Total Distance > 550.000

Polyline Area: 17500 sq ft, 0.40 acres

Lot 5 Polyline Report

Northing Easting Bearing Distance

6327.751 4042.638

Radius: 60.000 Chord: 56.292 Degree: 95°29'35" Dir: Right

Length: 58.593 Delta: 55°57'07" Tangent: 31.870

Chord BRG: N 52°01'31" W Rad-In: N 09°59'55" E Rad-Out: N 65°57'02" E

Radius Point: 6386.840,4053.056

6362.388 3998.264

 S 61°24'29" W 143.066

6293.922 3872.645

 S 00°00'40" E 100.000

6193.922 3872.664

 N 89°58'20" E 170.000

6194.004 4042.664

 N 00°00'40" W 133.747

6327.751 4042.638

Closure Error Distance > 0.00000

Total Distance > 605.406

Polyline Area: 23297 sq ft, 0.53 acres

Lot 6 Polyline Report

Northing	Easting	Bearing	Distance
6193.837	3697.664		
		S 00°00'40" E	100.000
6093.837	3697.684		
		N 89°58'20" E	175.000
6093.922	3872.684		
		N 00°00'40" W	100.000
6193.922	3872.664		
		S 89°58'20" W	175.000
6193.837	3697.664		

Closure Error Distance> 0.00000
Total Distance> 550.000
Polyline Area: 17500 sq ft, 0.40 acres

Lot 7 Polyline Report

Northing	Easting	Bearing	Distance
6193.922	3872.664		
		S 00°00'40" E	100.000
6093.922	3872.684		
		N 89°58'20" E	170.000
6094.004	4042.684		
		N 00°00'40" W	100.000
6194.004	4042.664		
		S 89°58'20" W	170.000
6193.922	3872.664		

Closure Error Distance> 0.00000

Total Distance> 540.000

Polyline Area: 17000 sq ft, 0.39 acres

Lot 8 Polyline Report

Northing Easting Bearing Distance

6327.610 4062.638

Radius: 60.000 Chord: 20.001 Degree: 95°29'35" Dir: Right

Length: 20.094 Delta: 19°11'19" Tangent: 10.142

Chord BRG: N 89°35'44" W Rad-In: N 09°11'24" W Rad-Out: N 09°59'55" E

Radius Point: 6386.840,4053.056

6327.751 4042.638

N 90°00'00" E 0.000

6327.751 4042.638

S 00°00'40" E 233.747

6094.004 4042.684

S 89°58'52" E 192.000

6093.941 4234.684

N 00°00'40" W 129.000

6222.941 4234.659

N 75°45'17" W 177.465

6266.610 4062.650

N 00°00'40" W 61.000

6327.610 4062.638

Closure Error Distance> 0.00000

Total Distance> 813.307

Polyline Area: 30601 sq ft, 0.70 acres

Lot 9 Polyline Report

Northing	Easting	Bearing	Distance
----------	---------	---------	----------

6374.037 4111.674

Radius: 60.000 Chord: 67.528 Degree: 95°29'35" Dir: Right

Length: 71.722 Delta: 68°29'24" Tangent: 40.845

Chord BRG: S 46°33'54" W Rad-In: N 77°40'47" W Rad-Out: N 09°11'24" W

Radius Point: 6386.840,4053.056

6327.610 4062.638

S 00°00'40" E 61.000

6266.610 4062.650

S 75°45'17" E 177.465

6222.941 4234.659

S 00°00'40" E 129.000

6093.941 4234.684

N 89°56'12" E 252.000

6094.219 4486.683

N 00°00'40" W 255.000

6349.219 4486.634

S 89°58'20" W 273.461

6349.087 4213.173

N 76°11'21" W 104.521

6374.037 4111.674

Closure Error Distance> 0.00000

Total Distance> 1324.170

Polyline Area: 83096 sq ft, 1.91 acres

Lot 10 Polyline Report

Northing	Easting	Bearing	Distance
6428.355	4096.374		
Radius: 60.000 Chord: 56.432 Degree: 95°29'35" Dir: Right			
Length: 58.751 Delta: 56°06'10" Tangent: 31.972			
Chord BRG: S 15°43'53" E Rad-In: S 46°13'02" W Rad-Out: N 77°40'47" W			
Radius Point: 6386.840,4053.056			
6374.037	4111.674		
		N 90°00'00" E	0.000
6374.037	4111.674		
		S 76°11'21" E	104.521
6349.087	4213.173		
		N 89°58'20" E	273.461
6349.219	4486.634		
		S 00°00'40" E	255.000
6094.219	4486.683		
		N 89°58'20" E	300.000
6094.365	4786.683		
		N 00°00'40" W	399.999
6494.363	4786.606		
		S 89°58'20" W	672.548
6494.039	4114.058		
		S 15°04'08" W	68.022
6428.355	4096.374		
Closure Error Distance> 0.00000			
Total Distance> 2132.301			
Polyline Area: 173669 sq ft, 3.99 acres			

Silver Street right-of-way Polyline Report

 Northing Easting Bearing Distance

6445.109 4038.748

 Radius: 60.000 Chord: 60.012 Degree: 95°29'35" Dir: Left

 Length: 314.146 Delta: 299°59'13" Tangent: 34.650

 Chord BRG: S 73°47'21" E Rad-In: S 13°47'45" E Rad-Out: S 46°13'02" W

 Radius Point: 6386.840,4053.056

6428.355 4096.374

 N 15°04'08" E 68.022

6494.039 4114.058

 S 89°58'18" W 62.145

6494.008 4051.913

 S 15°04'08" W 50.640

6445.109 4038.748

Closure Error Distance > 0.00000

Total Distance > 494.953

Polyline Area: 14543 sq ft, 0.33 acres



SUBDIVISION AND DEVELOPMENT PLAN APPLICATION

See subdivision hand-outs for more information regarding the permitting process and the materials required for a complete application.

NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.

To be completed by Applicant

PROJECT SUMMARY
 Subdivide a 10 acre parcel into 10 lots which include a private shared access subdivision with four lots fronting the private shared access.
 Number of Existing Parcels 1 Total Land Area 10 acres Number of Resulting Parcels 10

HAS THE PARCEL BEEN CREATED BY A MINOR SUBDIVISION IN THE PRECEDING 24 MONTHS
 NO YES Case Number _____

TYPE OF SUBDIVISION OR PLATTING APPROVAL REQUESTED

<p style="text-align: center;">MINOR DEVELOPMENT (changing or creating 13 or fewer lots)</p> <p><input type="radio"/> Preliminary Plat (MIP)</p> <p><input type="radio"/> Final Plat (MIF)</p> <p><input type="radio"/> Panhandle Subdivision</p> <p><input type="radio"/> Accretion Survey</p> <p><input type="radio"/> Boundary Adjustment</p> <p><input type="radio"/> Lot Consolidation (SLC)</p> <p><input type="radio"/> Bungalow Lot Subdivision</p> <p><input type="radio"/> Common Wall/Zero Lot Subdivision</p> <p><input type="radio"/> Other _____</p>	<p style="text-align: center;">MAJOR DEVELOPMENT (changing or creating 14 or more lots)</p> <p><input checked="" type="radio"/> Preliminary Plat (SMP)</p> <p><input type="radio"/> Final Plat (SMF)</p> <p><input type="radio"/> Preliminary Development Plan – PUD (PDP)</p> <p><input type="radio"/> Final Development Plan – PUD (PDF) Preliminary</p> <p><input type="radio"/> Development Plan – ARS (ARP) Final</p> <p><input type="radio"/> Development Plan – ARS (ARF)</p> <p><input type="radio"/> Bungalow Lot Subdivision</p> <p><input type="radio"/> Common Wall/Zero Lot Subdivision</p> <p><input type="radio"/> Other _____</p>
---	--

ALL REQUIRED DOCUMENTS ATTACHED

Pre-application conference notes

Narrative including:

- Legal description(s) of property to be subdivided
- Existing structures on the land
- Zoning district
- Density
- Access
- Current and proposed use of any structures
- Utilities available
- Unique characteristics of the land or structure(s)

Preliminary Plat checklist

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

SUBDIVISION/PLATTING FEES	Fees	Check No.	Receipt	Date
Application Fees	\$ _____			
Admin. of Guarantee	\$ _____			
Adjustment	\$ _____			
Total Fee	\$ _____			

For assistance filling out this form, contact the Permit Center at 586-0770.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

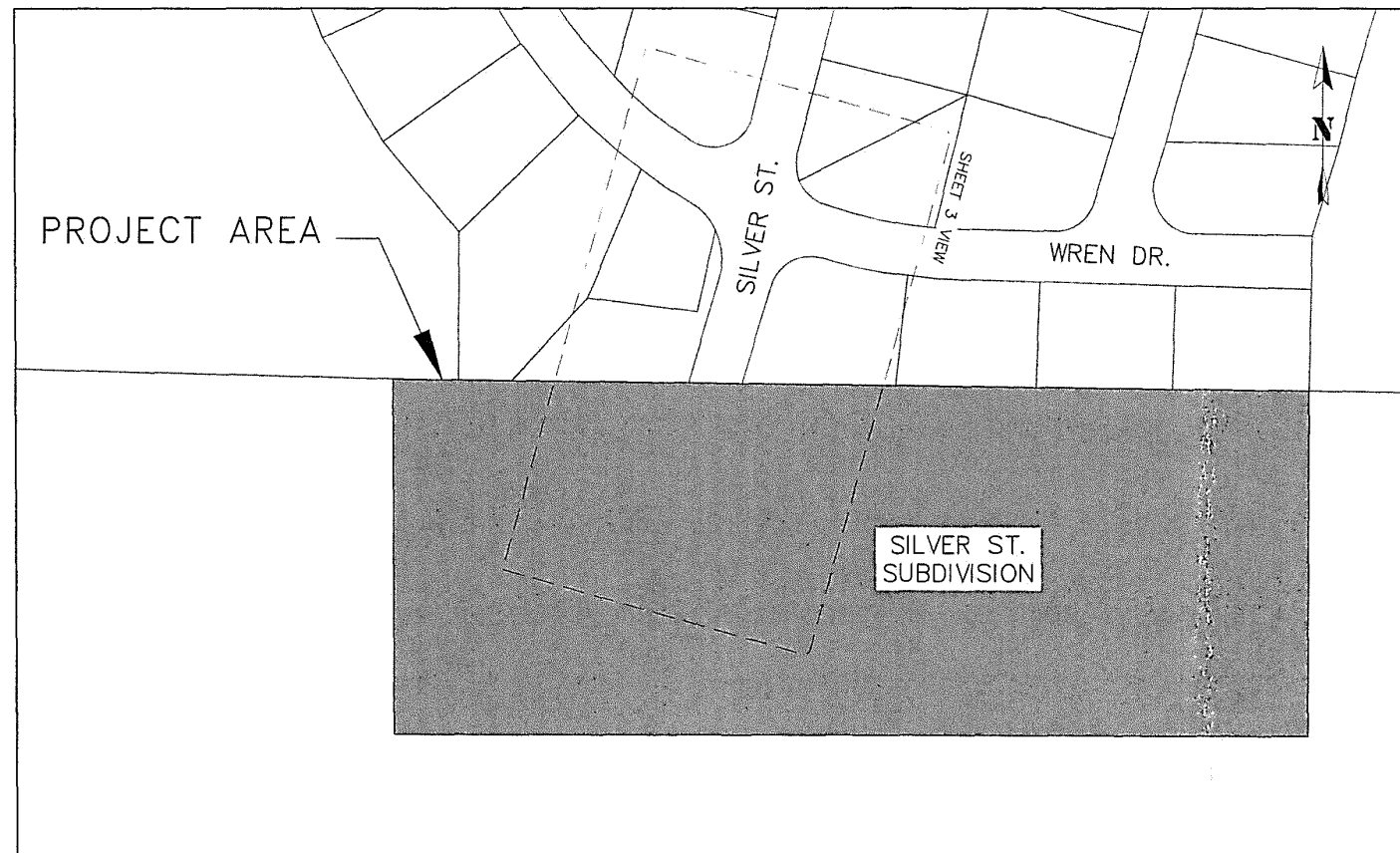
Case Number	Date Received
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SILVER ST. SUBDIVISION

JUNEAU, AK

SHEET INDEX	
SHEET NO.	DESCRIPTION
1	COVER SHEET
2	LEGEND, ABBREVIATIONS & GENERAL NOTES
3	DRAFT UTILITY PLAN


PREPARED FOR:
SOUTHEAST ENDEAVORS, LLC



PROJECT LOCATION MAP
NTS



VICINITY MAP
NTS

<table border="1"> <thead> <tr> <th colspan="4">RECORD OF REVISIONS</th> </tr> <tr> <th>No.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>				RECORD OF REVISIONS				No.	DATE	DESCRIPTION	BY					 <p>1945 ALEX HOLDEN WAY #101 JUNEAU, AK 99801 (907) 780-4004 solutions@proHNS.com www.proHNS.com</p>		<p>DRAWN BY: E. ROEMELING DESIGNED BY: E. ROEMELING CHECKED BY: L. CHAMBERS</p>		<p>CBJ REVIEW</p> <p>APPROVED: _____ DATE: _____</p>		<p>SILVER STREET SUBDIVISION</p> <p>SOUTHEAST ENDEAVORS LLC, SHAWN KANTOLA</p>		<p>COVER SHEET</p>		<table border="1"> <tr> <td>SHEET NUMBER</td> <td>1</td> </tr> <tr> <td>OF</td> <td>3</td> </tr> </table>		SHEET NUMBER	1	OF	3
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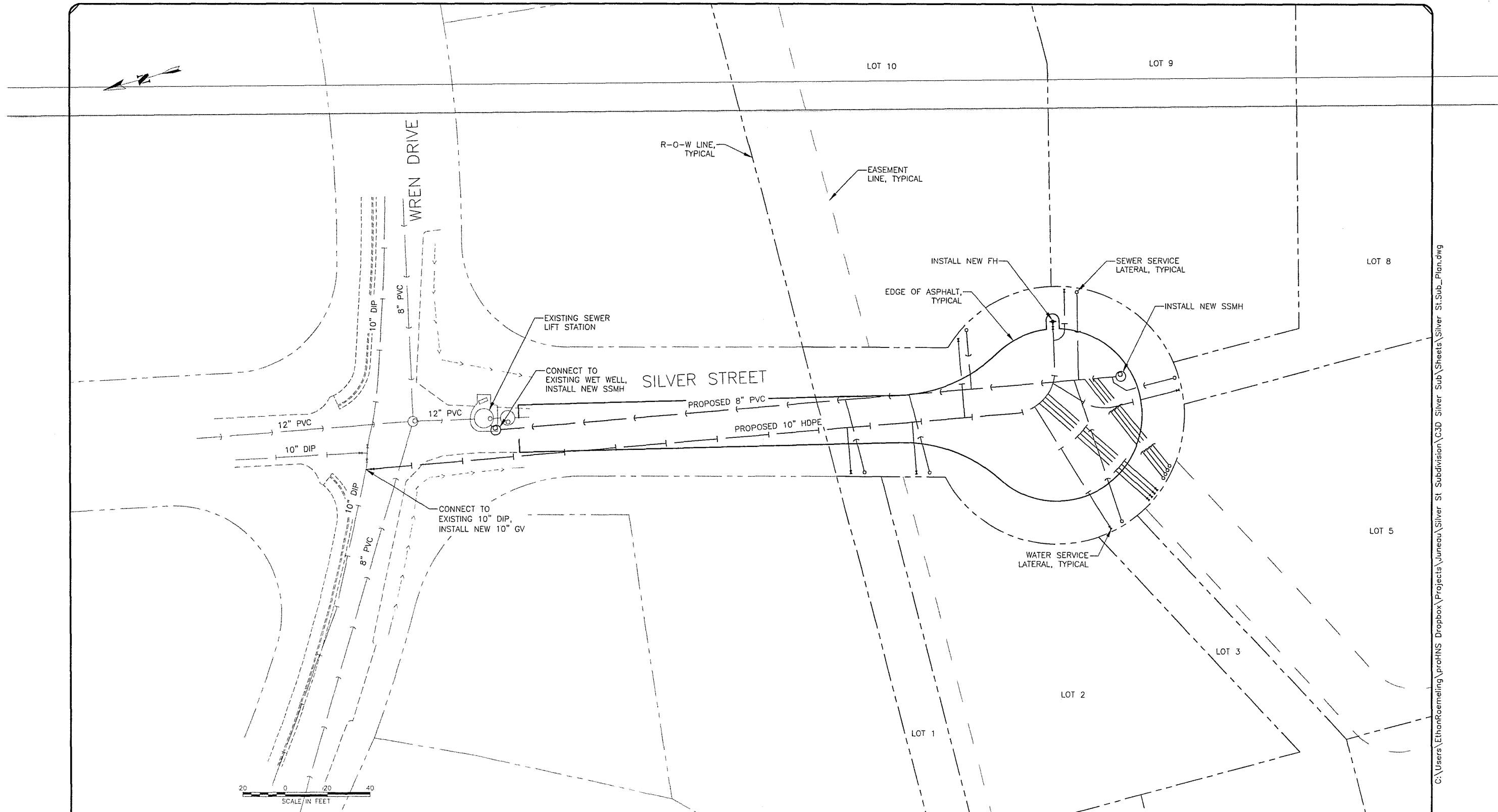
C:\Users\EthanRoemeling\proHNS Dropbox\Projects\Juneau\Silver St Subdivision\C3D Silver Sub\Sheets\Silver St.Sub_Title.dwg March 13, 2024

LEGEND			ABBREVIATIONS	
DESCRIPTION	EXISTING	PROPOSED		
BUILDING			ACS	ALASKA COMMUNICATIONS SYSTEMS
BENCHMARK			ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
DITCH FLOW LINE			CBJ	CITY & BOROUGH OF JUNEAU
EASEMENT LINE			C/L	CENTERLINE
FIRE HYDRANT			CMP	CORRUGATED METAL PIPE
PROPERTY LINE			CPP	CORRUGATED POLYETHYLENE PIPE
ROAD ASPHALT			DIP	DUCTILE IRON PIPE
SANITARY SEWER CLEANOUT			DWG	DRAWING
SANITARY SEWER PIPE			ELEV	ELEVATION
SANITARY SEWER MANHOLE			FT	FEET
SAWCUT & MTE LIMITS			GCI	GENERAL COMMUNICATION INC.
WATER LINE PIPE			HDPE	HIGH DENSITY POLYETHYLENE
WATER VALVE BOX			INV	INVERT
			LT	LEFT
			MIN	MINIMUM
			MTE	MATCH TO EXISTING
			NO	NUMBER
			NTS	NOT TO SCALE
			PERF	PERFORATED
			P/L	PROPERTY LINE
			POLY	POLYETHYLENE PLASTIC PIPE
			PVC	POLYVINYL CHLORIDE PIPE
			RT	RIGHT
			SQFT	SQUARE FEET
			STA	STATION
			STD	STANDARD
			TYP	TYPICAL

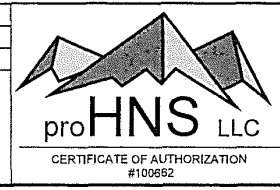
C:\Users\EthanRoemeling\proHNS Dropbox\Projects\Juneau\Silver St Subdivision\C3D Silver Sub\Sheets\Silver St.Sub_Legend.dwg

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March 13, 2024



RECORD OF REVISIONS			
No.	DATE	DESCRIPTION	BY



DRAWN BY: E. ROEMELING
 DESIGNED BY: E. ROEMELING
 CHECKED BY: L. CHAMBERS
 1945 ALEX HOLDEN WAY #101
 JUNEAU, AK 99801
 (907) 789-4004
 solutions@proHNS.com
 www.proHNS.com

CBJ REVIEW
 APPROVED: _____
 DATE: _____

SILVER STREET
 SUBDIVISION
 SOUTHEAST ENDEAVORS LLC, SHAWN KANTOLA

DRAFT
 UTILITY PLAN

SHEET NUMBER
3
OF
3

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 March 13, 2024

NOTES

- 1. THE ERROR OF CLOSURE OF THIS SURVEY DOES NOT EXCEED 1:5,000.
2. ALL DISTANCES ARE MEASURED IN U.S. SURVEY FEET.
3. SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
4. DOMESTIC WATER AND SEWER PROVIDED BY THE CITY AND BOROUGH OF JUNEAU PUBLIC UTILITIES.
5. THIS SUBDIVISION IS WITHIN THE CITY AND BOROUGH OF JUNEAU AND IS SUBJECT TO TAXATION AT THE TIME OF THE SURVEY.
6. RECORD INFORMATION FOR THIS SUBDIVISION IS DERIVED FROM THE OFFICIAL PLAT OF THE BLACK BEAR SUBDIVISION, PLAT No. 2013-26 JUNEAU RECORDING DISTRICT, RECORDED ON SEPTEMBER 13, 2013.
7. RECORD DIMENSIONS ARE SHOWN IN PARENTHESIS AND REFERENCED TO A RECORD PLAT (R#). WHERE RECORD AND MEASURED MATCH, NO PARENTHESIS ARE SHOWN.
8. SEE RECORD BOOK No. 321 PAGE 493 JRD REGARDING THE 30' DRAINAGE AND MAINTENANCE EASEMENT ACROSS THE NORTHERLY LINE OF U.S. SURVEY 2551. THE PORTION OF DRAINAGE EASEMENT LOCATED WITHIN THE NEWLY DEDICATED PORTION OF SILVER STREET IS RELINQUISHED.
9. SEE RECORD BOOK No. 411 PAGE 897 REGARDING THE 30' PUBLIC SEWER EASEMENT THAT IS COINCIDENT WITH THE 30' DRAINAGE EASEMENT DESCRIBED IN NOTE 7 THIS PLAT. THE PORTION OF SEWER EASEMENT LOCATED WITHIN THE SILVER STREET ROW DEDICATED THIS PLAT IS RELINQUISHED.
10. LOTS 6, 7, 8, 9 AND 10 OF THIS SUBDIVISION MUST HAVE A 15 FOOT SIDE YARD SETBACK FOR SIDE YARDS ABUTTING BLACK BEAR SUBDIVISION LOT 1.
11. WETLANDS MAY EXIST ON PARTS OF THIS SUBDIVISION. SPECIAL REGULATIONS MAY APPLY.
12. ACCESS SUBJECT TO CBJ 49.15.423 'PANHANDLE LOTS'. ACCESS TO LOT 2 SHALL BE RESTRICTED TO A SINGLE DRIVEWAY APRON IN THE RIGHT OF WAY SHARED WITH LOT 1 OR LOT 3, UNLESS A SECOND DRIVEWAY TO LOT 2 IS APPROVED BY CBJ. USE OF THE ACCESS EASEMENT DELINEATED ON THIS PLAT IS SUBJECT TO THE REQUIREMENTS SET FORTH IN THE COMMON DRIVEWAY ACCESS, JOINT USE AND HOLD HARMLESS AGREEMENT RECORDED WITH THIS SUBDIVISION.
13. LOTS 1, 2 AND 3 ARE A PANHANDLE SUBDIVISION. AT THE TIME OF PLAT RECORDING, FURTHER SUBDIVISION OF LOTS 1, 2, AND 3 IS SUBJECT TO CBJ 49.15.423 'PANHANDLE LOTS'. SEE THE CITY AND BOROUGH OF JUNEAU LAND USE CODE FOR CURRENT REGULATIONS.
14. ACCESS SUBJECT TO CBJ 49.35 ARTICLE II DIVISION II 'PRIVATE SHARED ACCESS' REQUIREMENTS. ACCESS TO LOTS 4, 5, 6 AND 7 SHALL BE RESTRICTED TO A SINGLE DRIVEWAY IN THE SHARED ACCESS EASEMENT. USE OF THE ACCESS EASEMENT DELINEATED ON THIS PLAT IS SUBJECT TO THE REQUIREMENTS SET FORTH IN THE COMMON DRIVEWAY ACCESS, JOINT USE AND HOLD HARMLESS AGREEMENT RECORDED WITH THIS SUBDIVISION.
15. AT THE TIME OF PLAT RECORDING, DEVELOPMENT, INCLUDING FURTHER SUBDIVISION OR USE, OF LOTS 4, 5, 6 AND 7 IN THIS SUBDIVISION IS SUBJECT TO CBJ 49.35 ARTICLE II DIVISION II 'PRIVATE SHARED ACCESS'. SEE THE CITY AND BOROUGH OF JUNEAU LAND USE CODE FOR CURRENT REGULATIONS.
16. THE ON - LOT STORMWATER RUNOFF DRAINAGE IS ACCEPTABLE AS EXISTS BETWEEN THE PLATTED LOTS OF THIS SUBDIVISION AND MAY NOT BE MODIFIED UNLESS PERMITTED BY CBJ ENGINEERING PURSUANT TO CBJ 19.12.120.1 BEST MANAGEMENT PRACTICES.
17. A PORTION THE CBJ DRAINAGE AND SEWER EASEMENTS ALONG THE NORTHERLY PROPERTY LINE OF LOT 10 PROVIDES PEDESTRIAN ACCESS WITHIN THE EASEMENTS TO NEARBY TRAILS. PUBLIC PEDESTRIAN ACCESS WITHIN THE EASEMENTS WILL CONTINUE TO BE AVAILABLE UNLESS A SUITABLE AND COMPARABLE ALTERNATIVE IS CREATED. NO STRUCTURES/BARRICADES ARE PERMITTED WITHIN THE EASEMENTS THAT WOULD BLOCK PEDESTRIAN ACCESS.

OWNERSHIP CERTIFICATE

WE HEREBY CERTIFY THAT WE ARE THE OWNERS OF LOT 3 BLACK BEAR SUBDIVISION, SHOWN AND DESCRIBED HEREON, AND THAT WE HEREBY ADOPT THIS PLAT OF SUBDIVISION WITH OUR FREE CONSENT, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE: _____, 2024 DATE: _____, 2024

SHAWN KANTOLA HEIDI KANTOLA

NOTARY ACKNOWLEDGEMENT

UNITED STATES OF AMERICA)
) SS
STATE OF ALASKA)

THIS IS TO CERTIFY THAT ON THE _____ DAY OF _____, 2024, BEFORE ME, THE UNDERSIGNED A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED SHAWN AND HEIDI KANTOLA, TO ME KNOWN TO BE THE PEOPLE DESCRIBED IN AND WHO EXECUTED THE ABOVE AND FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY SIGNED AND SEALED THE SAME FREELY AND VOLUNTARILY FOR THE USES AND PURPOSES THEREIN MENTIONED. WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

NOTARY PUBLIC FOR ALASKA _____

MY COMMISSION EXPIRES _____

BASIS OF BEARING

THE BASIS OF BEARING FOR THIS PLAT IS THE RECORD BEARING OF N 89°58'20" E AS SHOWN ON PLAT No. 2013-26 JRD - A PLAT OF BLACK BEAR SUBDIVISION, BETWEEN RECOVERED US GENERAL LAND OFFICE BRASS CAP MONUMENTS MARKING A PORTION OF THE NORTHERLY BOUNDARY OF U.S. SURVEY 2551.

COMMUNITY DEVELOPMENT DEPARTMENT PLAT APPROVAL

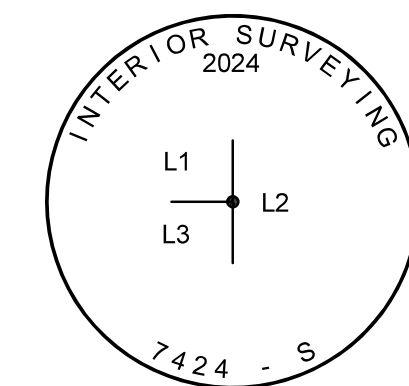
I HEREBY CERTIFY THAT THE PLAT HEREON HAS BEEN FOUND TO COMPLY WITH TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU AND IS APPROVED BY THE CITY AND BOROUGH OF JUNEAU, DEPARTMENT OF COMMUNITY DEVELOPMENT, FOR RECORDING IN THE OFFICE OF THE JUNEAU RECORDING DISTRICT, ANCHORAGE, ALASKA.

DATE: _____, 2024

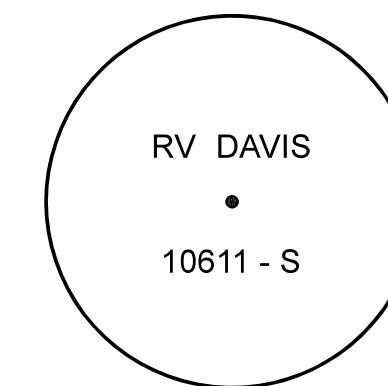
JILL LAWHORNE, DIRECTOR
CITY & BOROUGH OF JUNEAU
DEPARTMENT OF COMMUNITY DEVELOPMENT
ATTEST:

MUNICIPAL CLERK
CITY AND BOROUGH OF JUNEAU

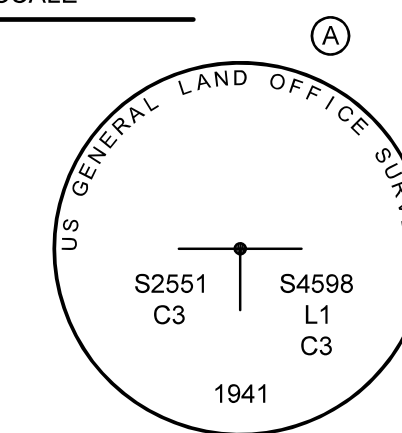
MONUMENT DETAILS
NOT TO SCALE



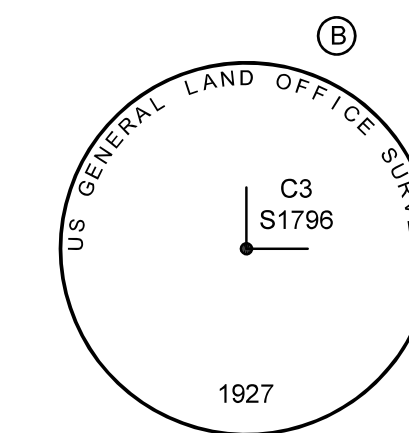
TYPICAL SECONDARY MONUMENT SET THIS SURVEY
2" ALUMINUM CAP ON #5 X 30" REBAR



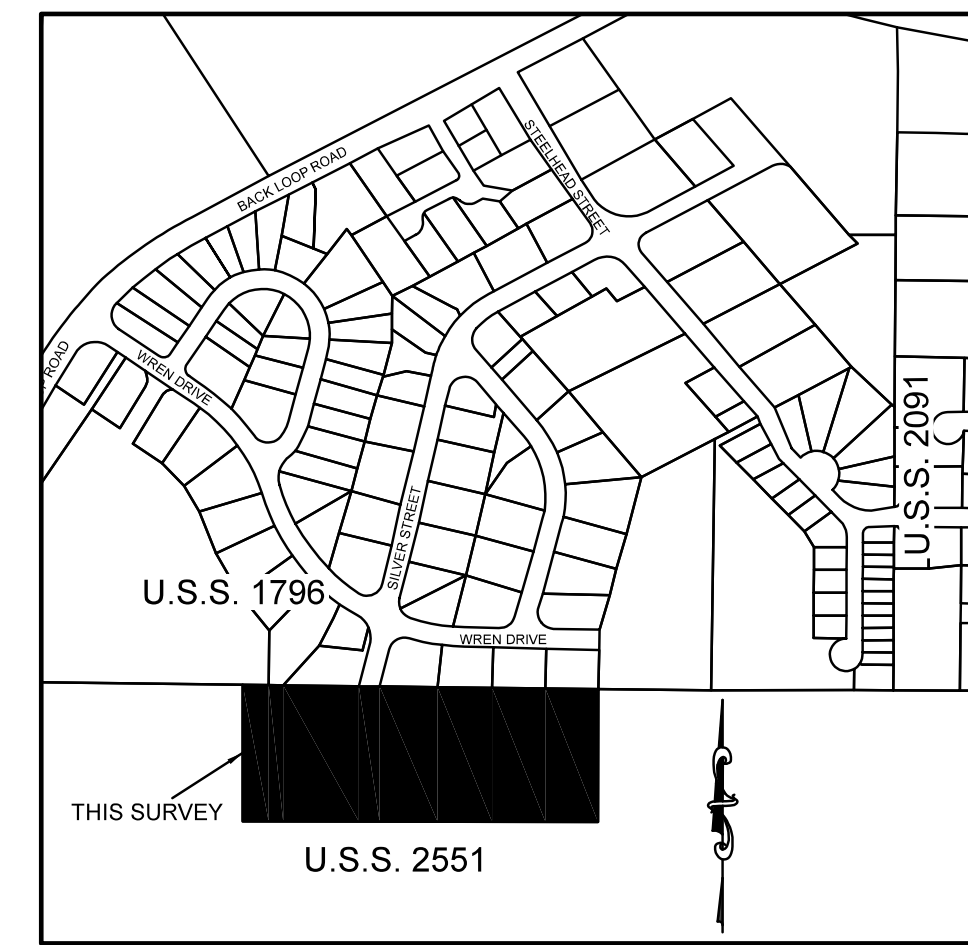
TYPICAL SECONDARY MONUMENT RECOVERED
1.25" ORANGE CAP ON #5 REBAR



RECOVERED MONUMENT
2.5" BRASS CAP ON IRON PIPE

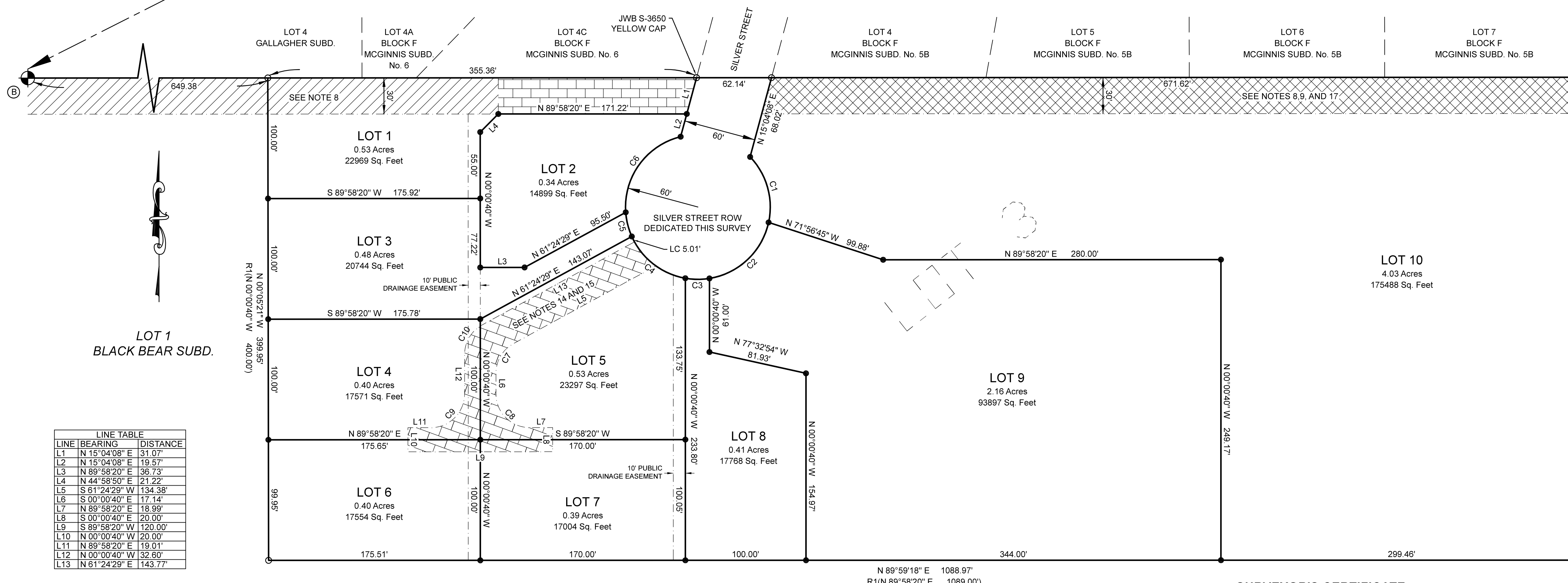


RECOVERED MONUMENT
2.5" BRASS CAP ON 1" PIPE



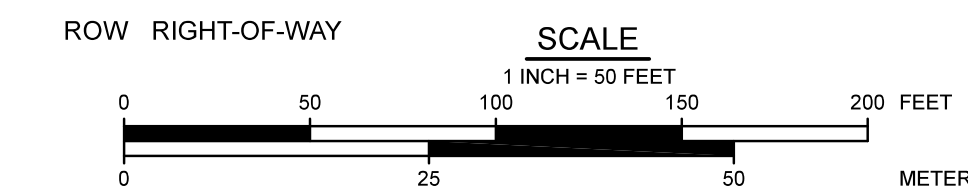
VICINITY MAP - JUNEAU, ALASKA
SOURCE: CITY AND BOROUGH OF JUNEAU GIS
NOT TO SCALE

--- BASIS OF BEARING N 89°58'20" E 3261.49' R1(3261.90') ---



LEGEND

- O SECONDARY MONUMENT RECOVERED, SEE TYPICAL DETAIL
● SECONDARY MONUMENT SET THIS SURVEY, SEE TYPICAL DETAIL
GLO BRASS CAP MONUMENT RECOVERED
--- PROPERTY LINE
--- UNSURVEYED LINES
--- EASEMENT LINE
--- EXISTING 30' PUBLIC SEWER EASEMENT AND 30' DRAINAGE EASEMENT
--- EXISTING 30' DRAINAGE EASEMENT
--- PRIVATE SHARED ACCESS, DRAINAGE, AND UTILITY EASEMENT CREATED THIS PLAT
--- PRIVATE SHARED ACCESS EASEMENT CREATED THIS PLAT, ACROSS LOT 1 IN FAVOR OF LOT 2 THIS SURVEY, PUBLIC DRAINAGE EASEMENT REMAINS
R1() PLAT No. 2013-26 JRD, A PLAT OF BLACK BEAR SUBDIVISION
CBJ CITY AND BOROUGH OF JUNEAU
JRD JUNEAU RECORDING DISTRICT
ROW RIGHT-OF-WAY



A PLAT OF
SILVER ACRES SUBDIVISION
A SUBDIVISION OF
LOT 3, BLACK BEAR SUBDIVISION
RECORD PLAT No. 2013-26 JRD

WITHIN U.S. SURVEY No. 2551
LOCATED WITHIN THE CITY AND BOROUGH OF JUNEAU, ALASKA
JUNEAU RECORDING DISTRICT
- STATE RECORDERS OFFICE AT ANCHORAGE -
CBJ CDD CASE NUMBER: SMP2024-0002

OWNERS: SHAWN AND HEIDI KANTOLA
JUNEAU, AK 99801
SURVEYOR: INTERIOR SURVEYING AND MAPPING
TIMOTHY S. VENECHUK, PLS
PO BOX 338
HEALY, AK 99743

DRAWN BY: TSV DATE: 07/02/2024 SHEET: 1 OF 1

LINE TABLE with columns: LINE, BEARING, DISTANCE. Rows L1 through L13.

CURVE TABLE with columns: CURVE, ARC LENGTH, RADIUS, DELTA ANGLE, CHORD BEARING, CHORD LENGTH. Rows C1 through C10.

LOT 1
BLACK BEAR SUBD.



SURVEYOR'S CERTIFICATE

I, TIMOTHY S. VENECHUK, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, AND THAT TO THE BEST OF MY KNOWLEDGE ALL DIMENSIONS AND RELATIVE BEARINGS ARE CORRECT AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.

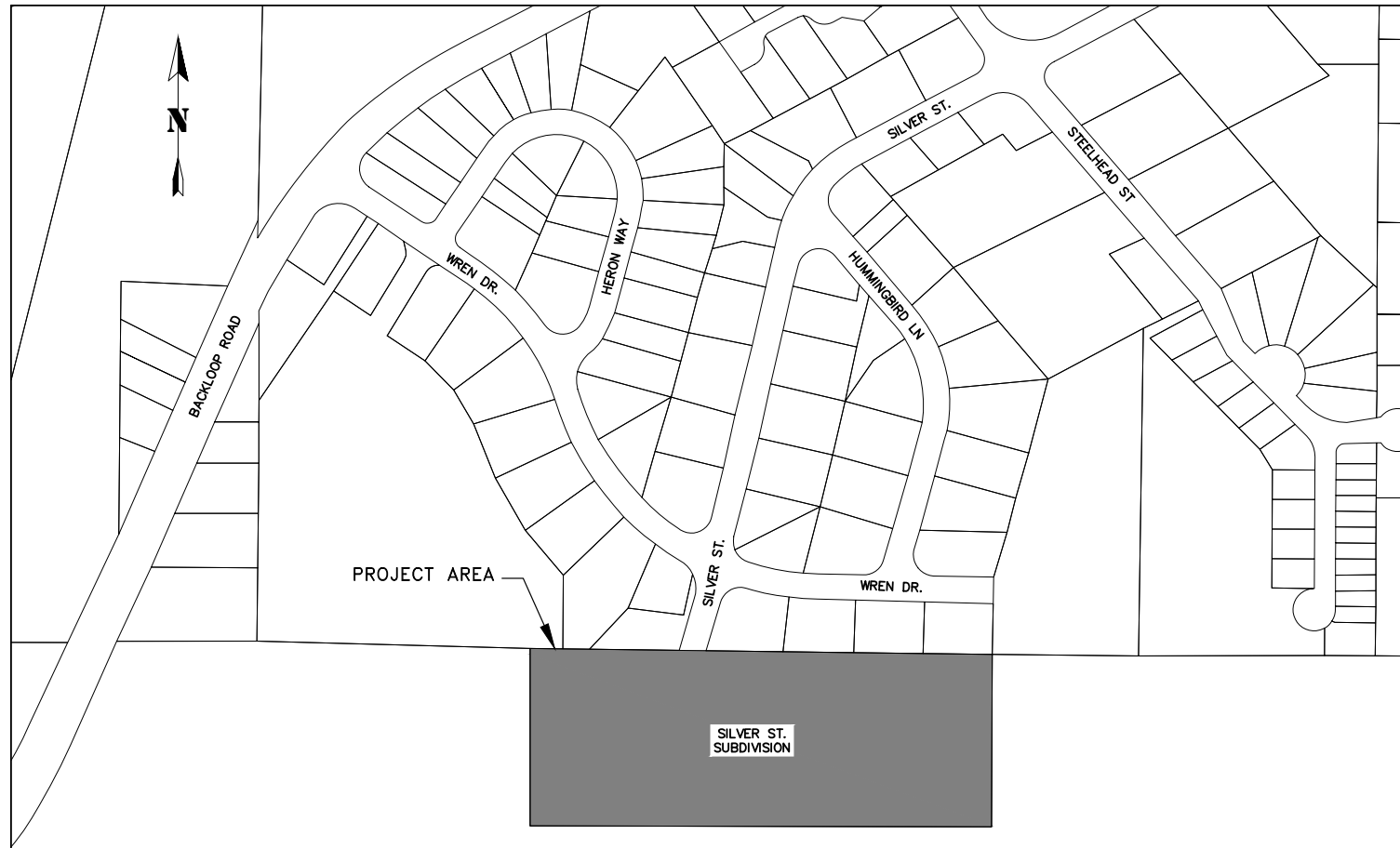
DATE: _____

SILVER STREET SUBDIVISION JUNEAU, AK

PREPARED FOR:
SOUTHEAST ENDEAVORS, LLC

SHEET INDEX	
SHEET NO.	DESCRIPTION
1	COVER SHEET
2	LEGEND, ABBREVIATIONS & GENERAL NOTES
3	TYPICAL SECTIONS
4-7	DETAILS
8	SILVER ST ROW PLAN OVERVIEW
9-10	SILVER ST ROW PLAN
11	SILVER ST ROW PROFILE
12-13	SILVER ST GRADING PLAN
14	SUBDIVISION PLAN OVERVIEW
15	SURVEY CONTROL SHEET

CBJ STANDARD DRAWINGS	
NO.	DESCRIPTION
103A	DRIVEWAY FOR STREETS WITHOUT CURB & GUTTER
104B	CULVERT HEADWALL WITHOUT HINGED TRASH RACK
107	LOCAL ACCESS STREET CUL-DE-SAC
110	GUARDRAIL
116	CANTILEVERED SINGLE MAILBOX
117	CANTILEVERED DOUBLE MAILBOX
125	PAVEMENT RESURFACING AND TRENCH DETAIL
203	SANITARY SEWER MANHOLE TYPE I&II
204	SANITARY SEWER DROP MANHOLE
205	MANHOLE HEIGHTS
206A	STANDARD MANHOLE COVER & FRAME
209	MANHOLE CONNECTION DETAILS
213	SANITARY SEWER SERVICE LATERAL
215	SANITARY SEWER CROSSING
304B	TYPE IV CATCH BASIN
310	AREA DRAIN DETAIL
403	FIRE HYDRANT (REVISED PER DETAIL 1 SHEET 5)
404	HYDRANT GUARD POSTS
405	HYDRANT PAD
406A	WATER SERVICE (REVISED PER DETAIL 2 SHEET 5)
412	RIGID INSULATION



PROJECT LOCATION MAP
NTS



VICINITY MAP
NTS

DRAFT
FOR REVIEW ONLY

RECORD OF REVISIONS			
No.	DATE	DESCRIPTION	BY



DRAWN BY: R. CIECKO
 DESIGNED BY: L. CH-MBERS
 CHECKED BY: G. GL-DSJO
 2201 DUNN STREET, STE 2
 JUNEAU, AK 99801
 (907) 780-4004

CBJ REVIEW

APPROVED: _____
 DATE: _____

SILVER STREET
SUBDIVISION

SHAWN KANTOLA

COVER SHEET

SHEET NUMBER
1
OF
15

C:\Users\lucas\proHNS\Dropbox\Projects\Juneau\Silver St. Subdivision\C3D Silver St. Subdivision\Silver St. Sub_Cover.dwg

July 12, 2024

LEGEND

ABBREVIATIONS

GENERAL NOTES

DESCRIPTION	EXISTING	REMOVE	PROPOSED
ASPHALT	EDGE OF ASPHALT		HATCHED AREA
BOLLARDS	• •		• •
CONCRETE			[Hatched Pattern]
CURB & GUTTER	=====		=====
CUT (TOP)	-----		-----
DITCH/DRAINAGE CHANNEL CENTERLINE	---> ---> ---	---> ---> ---> ---	---> ---> ---
EDGE GRAVEL			-----
FENCE	* * * * *		
FILL (TOE)		
FIRE HYDRANT	[Hydrant Symbol]		[Hydrant Symbol]
PROPERTY EASEMENT LINE	-----		-----
PROPERTY LINE	-----		-----
SANITARY SEWER CLEANOUT	○		○
SANITARY SEWER PIPE	PIPE SIZE & TYPE	PIPE SIZE & TYPE	PIPE SIZE & TYPE
SANITARY SEWER MANHOLE	[Manhole Symbol]		[Manhole Symbol] (SS-1)
SIDEWALK RAMP			[Ramp Symbol]
SAWCUT & MTE LIMITS			-----
SIGN	[Sign Symbol]		[Sign Symbol]
STORM DRAIN CATCH BASIN	[Catch Basin Symbol]		[Catch Basin Symbol] (S-1)
STORM DRAIN PIPE	PIPE SIZE & TYPE SD	PIPE SIZE & TYPE SD	PIPE SIZE & TYPE SD (P-1)
STORM DRAIN MANHOLE, GRATE	[Manhole Symbol]		[Manhole Symbol] (S-1)
STORM DRAIN UNDERDRAIN	UD UD UD		UD UD UD
TREES	[Tree Symbols]		
UNDERGROUND PIPE CAP	[]	[]	[]
UTILITY POLE	[Pole Symbol]		
UTILITY POLE WITH LUMINAIRE	[Pole Symbol]		
WATER LINE PIPE	PIPE SIZE & TYPE		PIPE SIZE & TYPE
HIGH PRESSURE WATERLINE PIPE	PIPE SIZE & TYPE HP		PIPE SIZE & TYPE HP
WATER VALVE BOX	[Valve Box Symbol]		[Valve Box Symbol]

AC	ASPHALT CONCRETE
ACP	ASBESTOS CEMENT PIPE
BOP	BEGINNING OF PROJECT
BTM	BOTTOM
BVC	BEGIN VERTICAL CURVE
CB	CATCH BASIN
CBJ	CITY & BOROUGH OF JUNEAU
C/L	CENTERLINE
CMP	CORRUGATED METAL PIPE
CPP	CORRUGATED POLYETHYLENE PIPE
CONC	CONCRETE
CTE	CONNECT TO EXISTING
DI	DUCTILE IRON
DIA	DIAMETER
EL	ELEVATION
EOP	END OF PROJECT
EP	EDGE OF PAVEMENT
EVC	END VERTICAL CURVE
EX	EXISTING
FG	FINISHED GRADE
GP	GRADE POINT
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE
INV	INVERT
LG	LIP OF GUTTER
LP	LOW POINT
LT	LEFT
MH	MANHOLE
MIN	MINIMUM
MTE	MATCH TO EXISTING
NIC	NOT IN CONTRACT
NO	NUMBER
NTS	NOT TO SCALE
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVATURE
PRC	POINT OF REVERSE CURVATURE
PSI	POUNDS PER SQUARE INCH
PT	POINT OF TANGENT
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
RP	RADIUS POINT
RT	RIGHT
ROW	RIGHT-OF-WAY
STA	STATION
STD	STANDARD
TBC	TOP BACK OF CURB
TBG	TOP BACK OF GUTTER
TP	TOP OF PAVEMENT
TYP	TYPICAL
VPC	VERTICAL POINT OF CURVATURE
VPT	VERTICAL POINT OF TANGENCY

1. CBJ ENGINEERING STANDARD DETAILS BOOK FOR CIVIL ENGINEERING PROJECTS AND SUBDIVISION IMPROVEMENTS FOURTH ADDITION DATED AUGUST, 2011 AND CBJ ENGINEERING STANDARD SPECIFICATIONS DATED DECEMBER, 2003 ARE MADE A PART OF THIS CONTRACT, INCLUDING ALL ERRATA (NOS. 1-16) AND CURRENT REVISIONS AS APPLICABLE.
2. CALL 586-1333 BEFORE YOU DIG FOR UNDERGROUND POWER, TELEPHONE AND CABLE. CALL 811 ALASKA DIGLINE BEFORE YOU DIG FOR UNDERGROUND ACS & GCI. LOCATIONS AND ELEVATION OF EXISTING UNDERGROUND WATER, SEWER, POWER, TELEPHONE AND CABLE TELEVISION SHOWN ON THE PLANS WERE DERIVED FROM CBJ AS-BUILTS AND FIELD LOCATES. THE ACTUAL LOCATION OF UTILITIES MAY VARY FROM THOSE SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING, PROTECTING AND MAINTAINING THE UTILITIES THROUGHOUT THE CONSTRUCTION OF THE PROJECT. ANY DAMAGE TO THE UNDERGROUND UTILITIES DURING CONSTRUCTION SHALL BE PAID FOR BY THE CONTRACTOR AND SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
3. THE ESTIMATED TOTAL AREA OF DISTURBANCE RESULTING FROM THESE IMPROVEMENTS WILL BE OVER 1.00 ACRE. THE CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL DEVICES AS SPECIFIED IN THE PROJECT SPECIFIC SWPPP.
4. FINISHED GRADE AND ALIGNMENT ARE SUBJECT TO MINOR REVISIONS BY THE ENGINEER. LOCATION OF PROPOSED WATER, SEWER AND STORM DRAINAGE FACILITIES ARE SUBJECT TO MINOR REVISIONS BY THE ENGINEER.
5. THE CONTRACTOR SHALL PERFORM A CLOSED LEVEL LOOP THROUGH ALL TBM'S AS LISTED HEREON TO VERIFY ELEVATIONS PRIOR TO BEGINNING ANY WORK.
6. CONTRACTOR SHALL REFERENCE ALL EXISTING PROPERTY CORNER MONUMENTS (I.E. BRASS CAP MONUMENTS, REBARS, CONCRETE NAILS, CHISELED X'S) PRIOR TO CONSTRUCTION AND REMONUMENT AFTER SURFACING IS REPLACED. EXISTING SURVEY MONUMENTS MAY NOT BE SHOWN ON THE DRAWINGS. ALL WORK SHALL BE DONE BY, OR UNDER THE DIRECTION OF, AN ALASKA REGISTERED LAND SURVEYOR.
7. THE CONTRACTOR SHALL NOTIFY CBJ WATER UTILITIES (LONI VANKIRK AT 723-4975) OF PROPOSED WATER SERVICE INTERRUPTION AND SUBMIT THE "WATER SYSTEM SPECIAL USE PERMIT" TO CBJ WATER UTILITIES SUPERINTENDENT FOR APPROVAL AT LEAST 48 HOURS PRIOR TO SHUTDOWN OR FLUSHING OF MAINLINE WATER PIPE. NO WATER SERVICE INTERRUPTION MAY PROCEED UNTIL THIS APPROVAL IS OBTAINED. THE CONTRACTOR CANNOT SHUT OFF WATER SUPPLY TO SERVICES FOR MORE THAN 4 HOURS AT ONE TIME.
8. ALL MATERIALS PROPOSED FOR THE WATER SYSTEM THAT COME IN DIRECT CONTACT WITH THE WATER SHALL BE CERTIFIED BY AN ANSI ACCREDITED ORGANIZATION TO CONFORM WITH ANSI/NSF STANDARD 61 OR AN ANSI/NSF STANDARD WITH EQUIVALENT HEALTH REQUIREMENTS.
9. THE MATERIALS USED FOR THIS PROJECT SHALL COMPLY WITH THE NEW LEAD FREE REQUIREMENTS INCLUDING NOT MORE THAN 0.2% WHEN USED WITH RESPECT TO SOLDER AND FLUX AND NOT MORE THAN A WEIGHTED AVERAGE OF 0.25% LEAD WHEN USED WITH RESPECT TO THE WETTED SURFACES OF PIPES, PIPE FITTINGS, PLUMBING FITTINGS AND FIXTURES.
10. ONLY HORIZONTAL ELBOW FITTINGS (BENDS) ARE SHOWN (NOT ALL ARE LABELED) ON DRAWINGS. ADDITIONAL FITTINGS WILL BE REQUIRED FOR VERTICAL DEFLECTIONS NEAR CONNECTIONS TO EXISTING PIPES, AND AT OTHER LOCATIONS REQUIRING GRADE CHANGES TO AVOID CONFLICTS.
11. ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE DISPOSED OF OFF-SITE, EXCEPT AS NOTED IN THE CONTRACT DOCUMENTS.
12. PROVIDE KNOCKOUTS IN PRECAST STORM DRAIN STRUCTURES FOR ALL PIPES SHOWN ON THE PLANS.
13. "JUMPING JACK", OR SIMILAR TYPE COMPACTORS SHALL BE USED FOR COMPACTION WITHIN 18-INCHES OF THE OUTSIDE SURFACE OF ALL WATER VALVE BOXES, CATCH BASINS AND MANHOLES.
14. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF EXISTING WATER AND SEWER PIPES, INCLUDING ALL SERVICES ALONG THE STORM DRAIN AND WATER PIPE ALIGNMENTS TO DETERMINE PIPE INSULATION LOCATIONS AND TO ENSURE DAMAGE DOES NOT OCCUR TO THE PIPES.
15. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF BURIED ELECTRICAL AND COMMUNICATION CONDUITS & CABLES PRIOR TO INSTALLATION OF NEW STORM DRAIN AND SANITARY SEWER PIPES.

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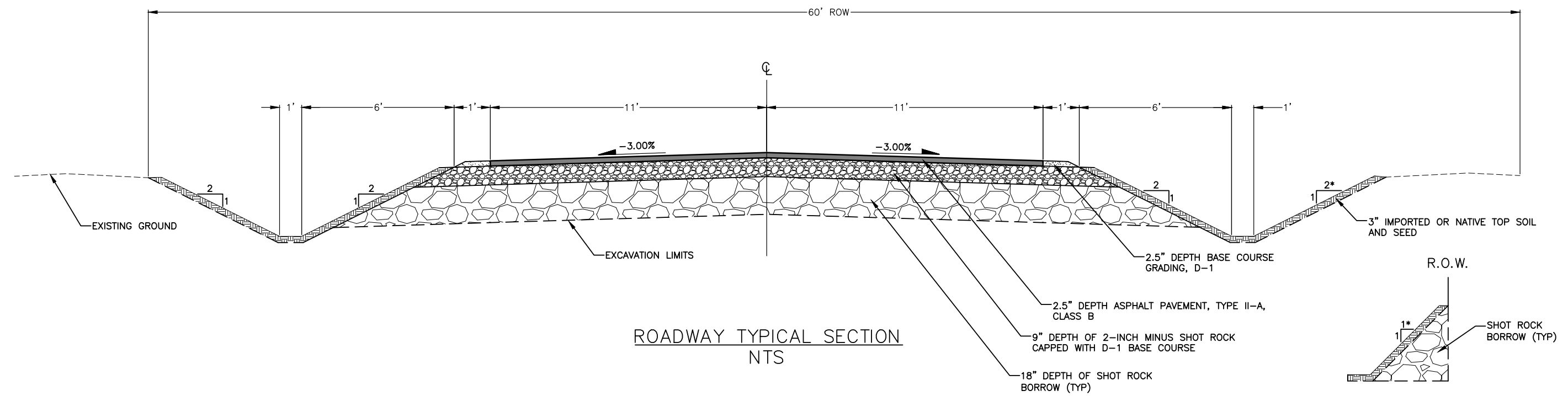
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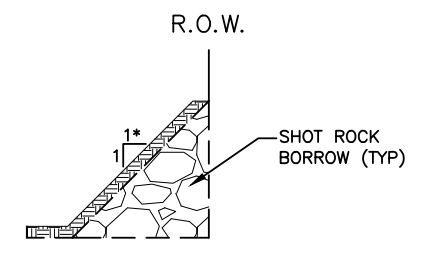
LEGEND, ABBREVIATIONS AND GENERAL NOTES

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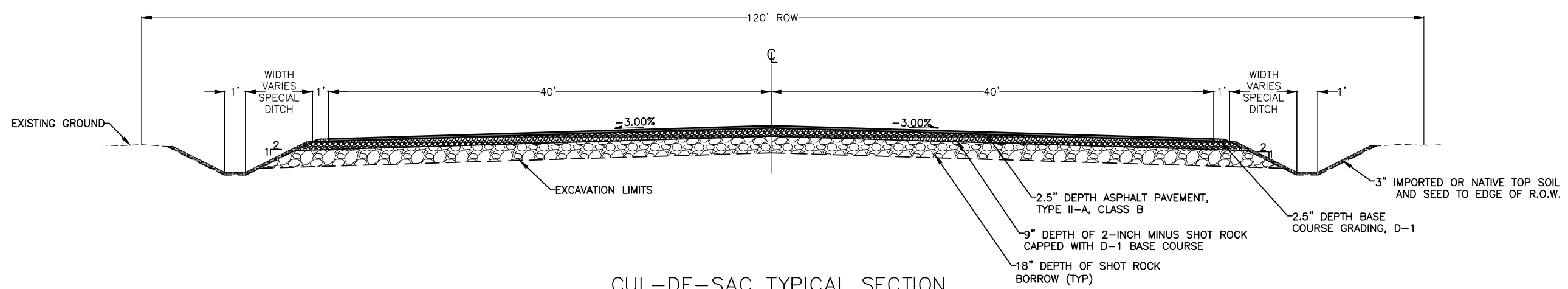
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ROADWAY TYPICAL SECTION
NTS



STEEP DITCH SLOPE
NTS
* 1:1 STA 2+05 - 2+30
* 1:1.25 STA 2+30 - 2+50
* 1:1.5 STA 2+50 - 3+05



CUL-DE-SAC TYPICAL SECTION
NTS

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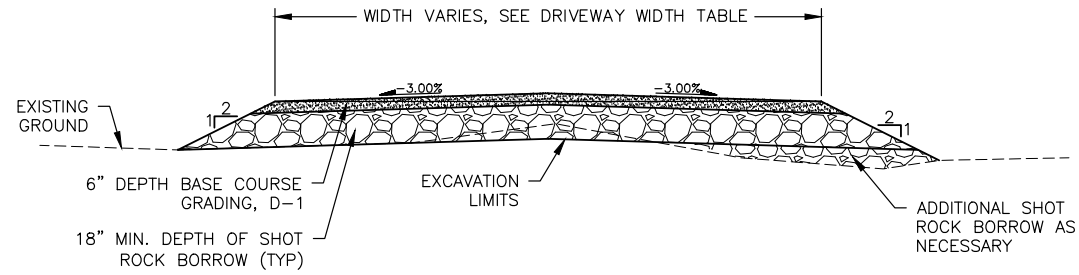
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TYPICAL SECTIONS

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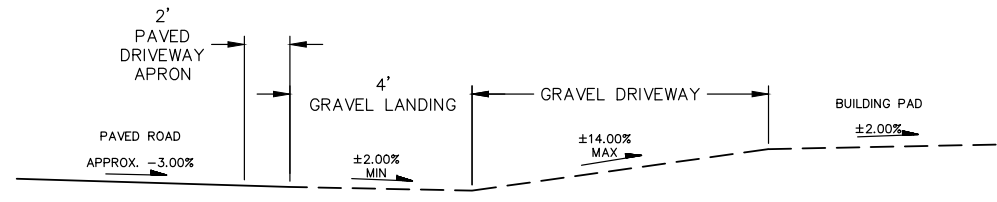
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1 DRIVEWAY TYPICAL SECTION
SCALE: NOT TO SCALE

DETAIL 1/4 NOTES:

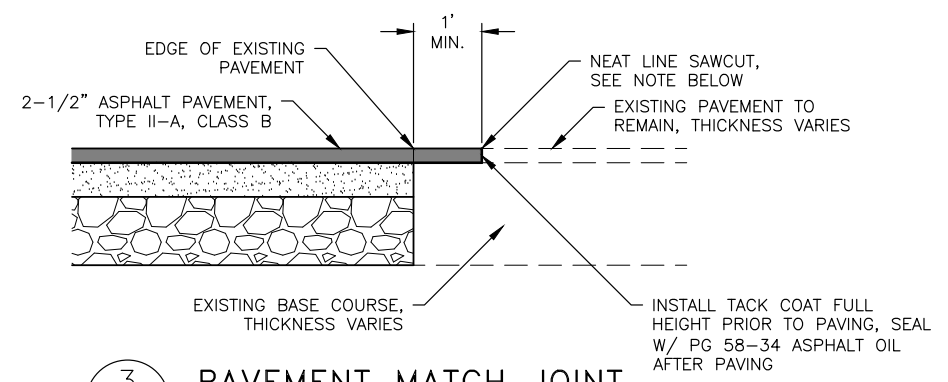
1. CLEAR AND GRUB PRIOR TO PLACING FILL MATERIAL.
2. SHOT ROCK BORROW CAN BE SUBSTITUTED WITH USABLE EXCAVATION.
3. ADDITIONAL SHOT ROCK FILL MAY BE REQUIRED TO MEET PLAN GRADES.
4. ADDITIONAL EXCAVATION BELOW THE NEATLINE SUBCUT LEVEL MAY BE REQUIRED IF ORGANIC OR OTHER UNSUITABLE MATERIALS ARE ENCOUNTERED. EXCAVATION AND REPLACEMENT OF UNSUITABLE MATERIALS SHALL BE APPROVED BY THE ENGINEER.
5. IF SUBGRADE BELOW EXCAVATION LIMITS IS CLAY INSTALL FILTER FABRIC, TYPE C PER CBJ STANDARD SPECIFICATION SECTION 02714 - FILTER CLOTH AT LOCATIONS AS DIRECTED BY THE ENGINEER.
6. LARGE BOULDERS, HARDPAN, STUMPS, LOGS, ORGANICS AND GROUND WATER MAY BE ENCOUNTERED AT VARIOUS DEPTHS DURING TRENCHING, DITCHING AND ROADWAY EXCAVATION OPERATIONS. THESE MATERIALS SHALL BE DISPOSED OF AS REQUIRED BY THE ENGINEER.
7. ALL CUT AND FILL SLOPES NOT STABILIZED WITH SHOT ROCK SHALL BE TOPPED W/ NATIVE SOIL AND SEEDED.



2 DRIVEWAY PROFILE FOR PRIVATE LOTS
SCALE: NOT TO SCALE

DETAIL 1/4 NOTES:

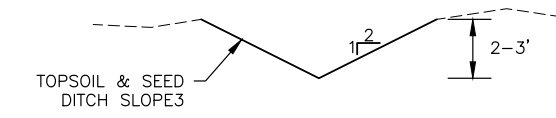
1. SEE CBJ STD. DWG. 103A FOR ADDITIONAL DETAILS.
2. PROVIDE A SMOOTH TRANSITION BETWEEN GRADE BREAKS.
3. THIS DETAIL SHOW MIN & MAX ALLOWABLE SLOPES. SEE GRADING PLAN FOR DRIVEWAY SPECIFIC SLOPES.



3 PAVEMENT MATCH JOINT
SCALE: NOT TO SCALE

DETAIL 1/4 NOTES:

1. FINAL SAWCUT OF EXISTING ASPHALT SHALL NOT BE MADE UNTIL 24 HOURS PRIOR TO PAVING.



4 INDEPENDENT DRIANGE DITCH
SCALE: NOT TO SCALE

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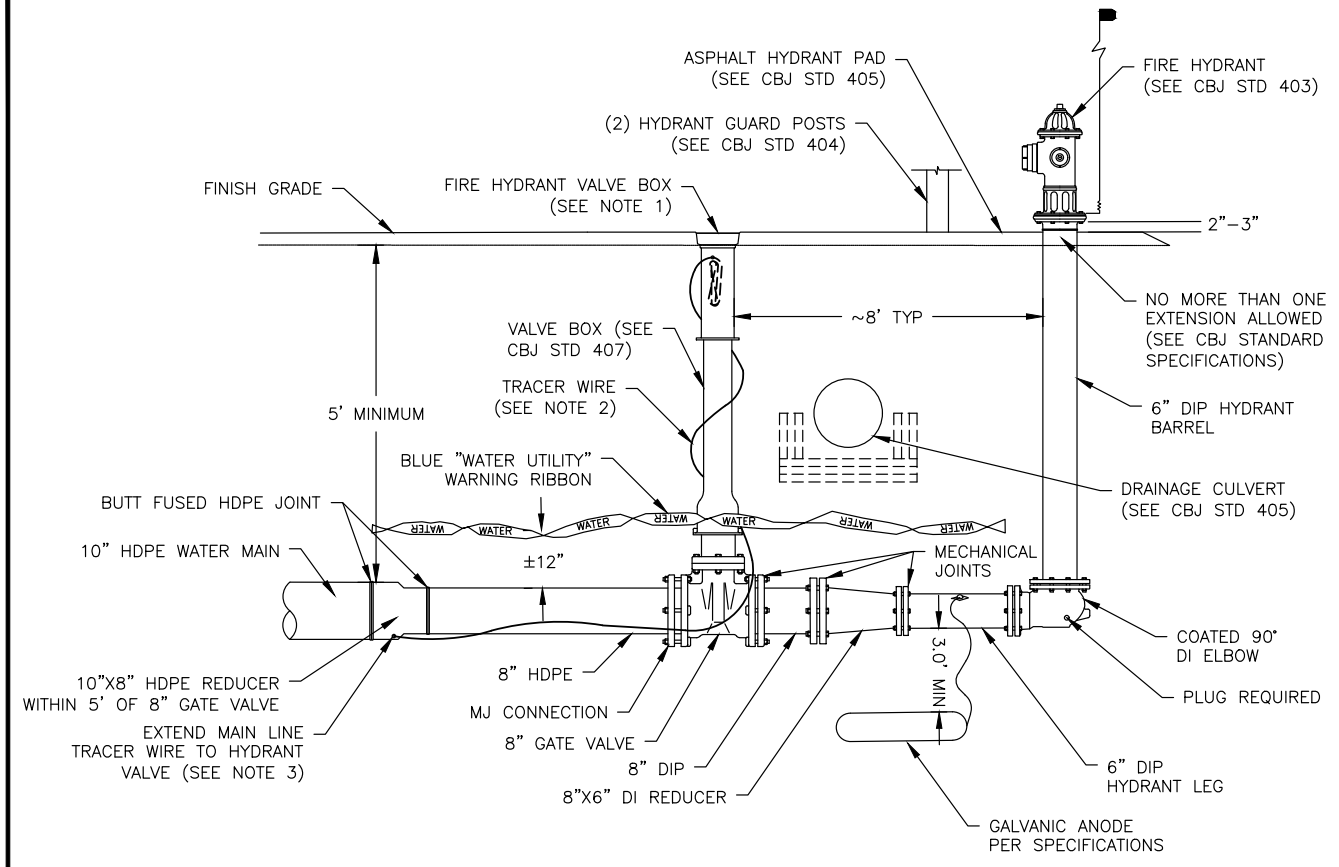
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SHAWN KANTOLA

CONSTRUCTION DETAILS - 1

SHEET NUMBER	4
OF	15

July 12, 2024

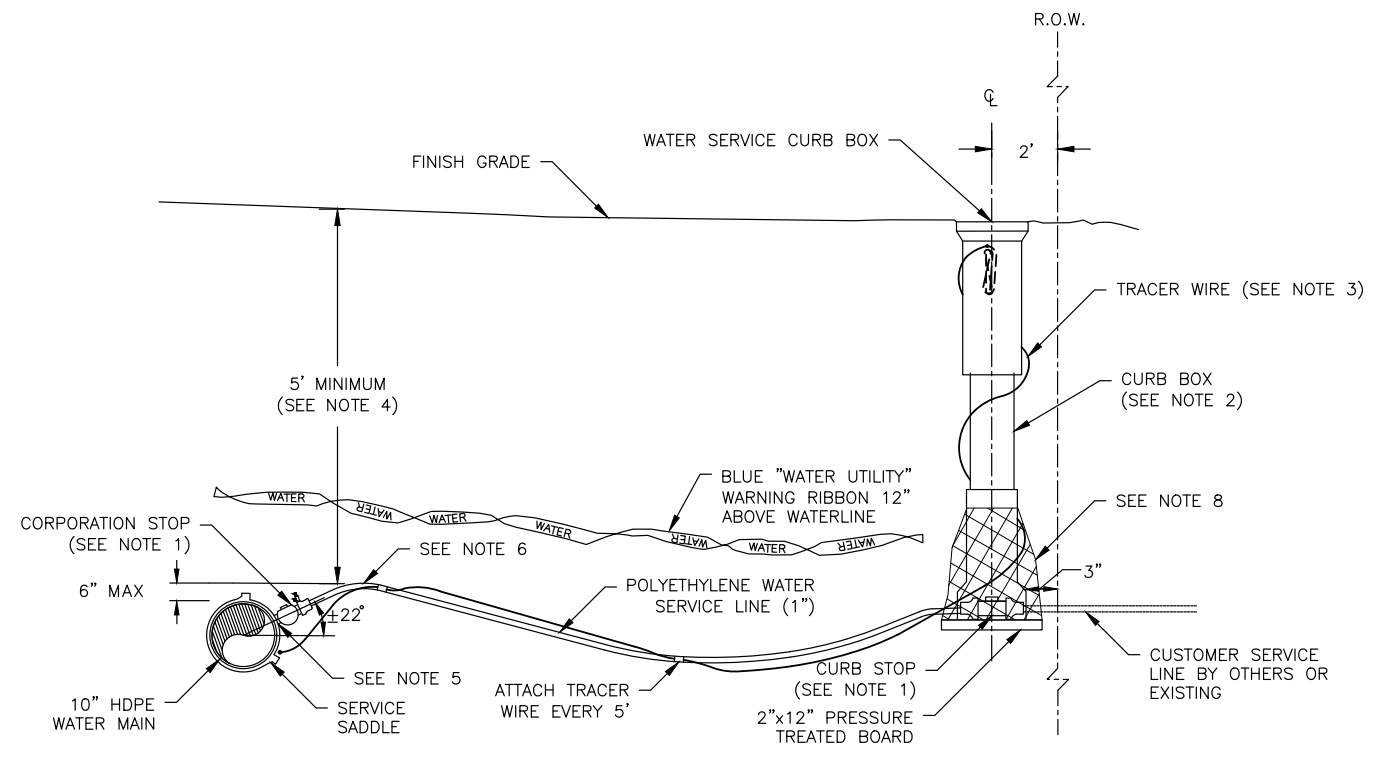
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1 MODIFIED FIRE HYDRANT ASSEMBLY DETAIL
 SCALE: NOT TO SCALE

DETAIL 1/5 NOTES:

- FIRE HYDRANT VALVE BOX TO BE INSTALLED SO THAT THE LID IS A MINIMUM OF 3/8", MAXIMUM OF 5/8" BELOW FINISHED PAVEMENT, SEE CBJ STANDARD DETAIL 407.
- TRACER WIRE SHALL BE NO.10 AWG HIGH-STRENGTH COPPER CLAD STEEL WITH BLUE HDPE INSULATION JACKET. MAIN LINE TRACER WIRE SHALL NOT BE SPLICED AND SHALL BE CONTINUOUS BETWEEN VALVE BOXES. SERVICE AND HYDRANT LEGS SHALL USE WATERPROOF DIRECT BURY SPLICE CONNECTION LUGS. TRACER WIRE SHALL BE CONNECTED TO THE BOTTOM QUADRANT OF THE HDPE WATER PIPE. EACH END OF TRACER WIRE SHALL BE TERMINATED AT A VALVE BOX, TRACER WIRE SHALL RUN OUTSIDE THE VALVE BOX AND BE INSERTED INTO THE VALVE BOX THROUGH A 3/4" DRILLED HOLE WITHIN 9"-12" OF THE TOP. 5' OF ADDITIONAL TRACER WIRE SHALL BE NEATLY COILED WITHIN THE VALVE BOX.
- TRACER SPLICE CONNECTION ARE TO BE CONSTRUCTED USING DRYCONN WATERPROOF DIRECT BURY LUGS AS MANUFACTURED BY KING INNOVATION OR APPROVED EQUAL.
- HYDRANT BARREL AND VALVE BOX SHALL BE PLUMB.
- GROUND COVER SHALL BE 5' MINIMUM. ADDITIONAL COVER (MORE THAN 5') MAY BE REQUIRED BY THE ENGINEER.
- ALL HYDRANTS SHALL BE PAINTED CATERPILLAR YELLOW, AND THE NUMBER OF FEET TO THE VALVE SHALL BE PRINTED IN BLACK 1/2" BLOCK LETTERS JUST BELOW THE TOP BONNET. PORT CAPS SHALL BE COLOR CODED PER NFPA STANDARD 291 AS DIRECTED BY THE CBJ WATER UTILITIES DEPARTMENT.
- HYDRANT SHALL BE MUELLER CENTURION 200 OR 250 WITH INTEGRAL STORZ PUMPER CONNECTION OR APPROVED EQUAL. CLOW F2500 SERIES HYDRANTS ARE NO LONGER ACCEPTED BY CBJ.
- ALL BOLTS TO HAVE THREADED ZINC ANODE CAP, SEE DETAIL 3 SHEET 6.



2 POLYETHYLENE WATER SERVICE DETAIL
 SCALE: NOT TO SCALE

DETAIL 2/5 NOTES:

- USE MUELLER CORPORATION STOP NO. B25025, FORD CORPORATION STOP NO. FB700-4, OR APPROVED EQUAL. USE MUELLER CURB STOP NO. H15201, OR NO. H15204, FORD CURB STOP B22-444 OR APPROVED EQUAL.
- CURB BOX SHALL BE KEJRIWAL PACIFIC 145R 49"-62" LID, TOP, MIDDLE AND BOTTOM OR APPROVED EQUIVALENT.
- TRACER WIRE SHALL BE NO.10 AWG HIGH-STRENGTH COPPER CLAD STEEL WITH BLUE HDPE INSULATION JACKET. MAIN LINE TRACER WIRE SHALL NOT BE SPLICED AND SHALL BE CONTINUOUS BETWEEN VALVE BOXES. SERVICES SHALL USE WATERPROOF DIRECT BURY SPLICE CONNECTION LUGS. TRACER WIRE SHALL BE CONNECTED TO THE BOTTOM QUADRANT OF THE HDPE WATER PIPE. EACH END OF TRACER WIRE SHALL BE TERMINATED AT A VALVE BOX, TRACER WIRE SHALL RUN OUTSIDE THE VALVE BOX AND BE INSERTED INTO THE VALVE BOX THROUGH A 3/4" DRILLED HOLE WITHIN 9"-12" OF THE TOP. 5' OF ADDITIONAL TRACER WIRE SHALL BE NEATLY COILED WITHIN THE VALVE BOX.
- ALL SERVICES MUST HAVE A MINIMUM OF 5' OF COVER BELOW EXISTING CULVERTS AND DITCHES. ADDITIONAL DEPTH MAY BE REQUIRED BY THE ENGINEER. INSULATE SERVICE LINES PER CBJ STD 412 WHERE NEEDED.
- HOLE DRILLED IN THE MAIN FOR THE CORPORATION STOP SHALL BE THE SAME DIAMETER AS THE SERVICE PIPE.
- PROVIDE AN ADDITIONAL 12" OF SERVICE PIPE BEYOND STRAIGHT LINE LENGTH REQUIRED. LOOP AS SHOWN AT THE CORP STOP. MAINTAIN 5' MINIMUM BURIAL AT HIGH POINT OF SERVICE LINE.
- MAINTAIN A MINIMUM OF 18" OF SEPARATION BETWEEN VALVE BOXES, AND BETWEEN VALVE BOXES AND OTHER STRUCTURES.
- WRAP BOTTOM OF CURB BOX WITH FABRIC OR PLASTIC PRIOR TO BACKFILLING TO KEEP MATERIAL FROM INFILTRATING THE BOX.
- SERVICE BOXES SHALL BE LOCATED 2 FEET INSIDE OF THE RIGHT-OF-WAY LINE.
- CONTRACTOR TO SUPPLY ALL NECESSARY PARTS AND FITTINGS TO CONNECT THE PROPOSED 1" WATER SERVICES TO THE EXISTING WATER SERVICES AFTER THE CURB STOP.

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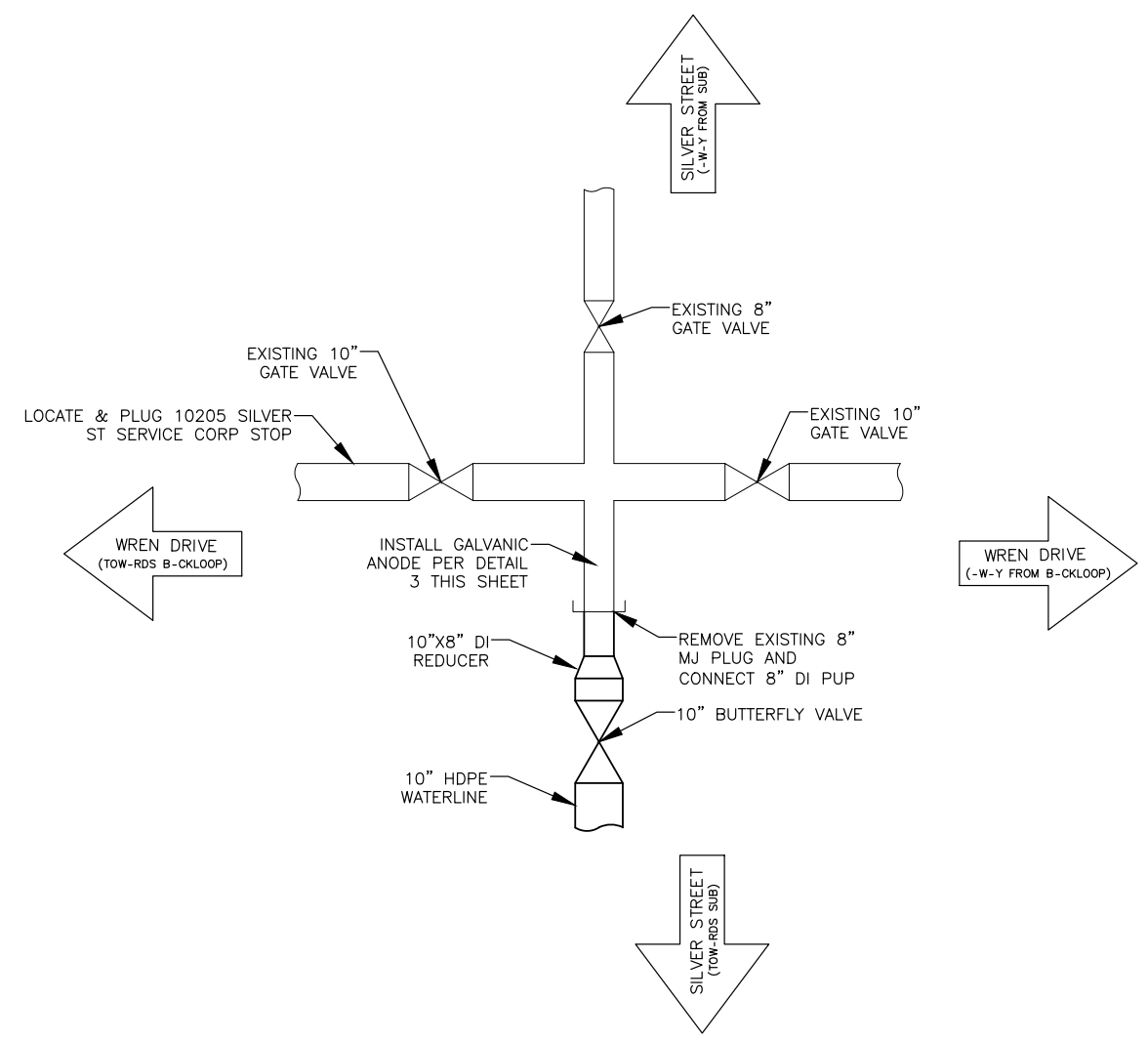
DRAWN BY: R. CIECKO
 DESIGNED BY: L. CHAMBERS
 CHECKED BY: G. GLADYSJO
CBJ REVIEW
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SILVER STREET SUBDIVISION
 SHAWN KANTOLA

CONSTRUCTION DETAILS - 2

SHEET NUMBER	5
OF	15

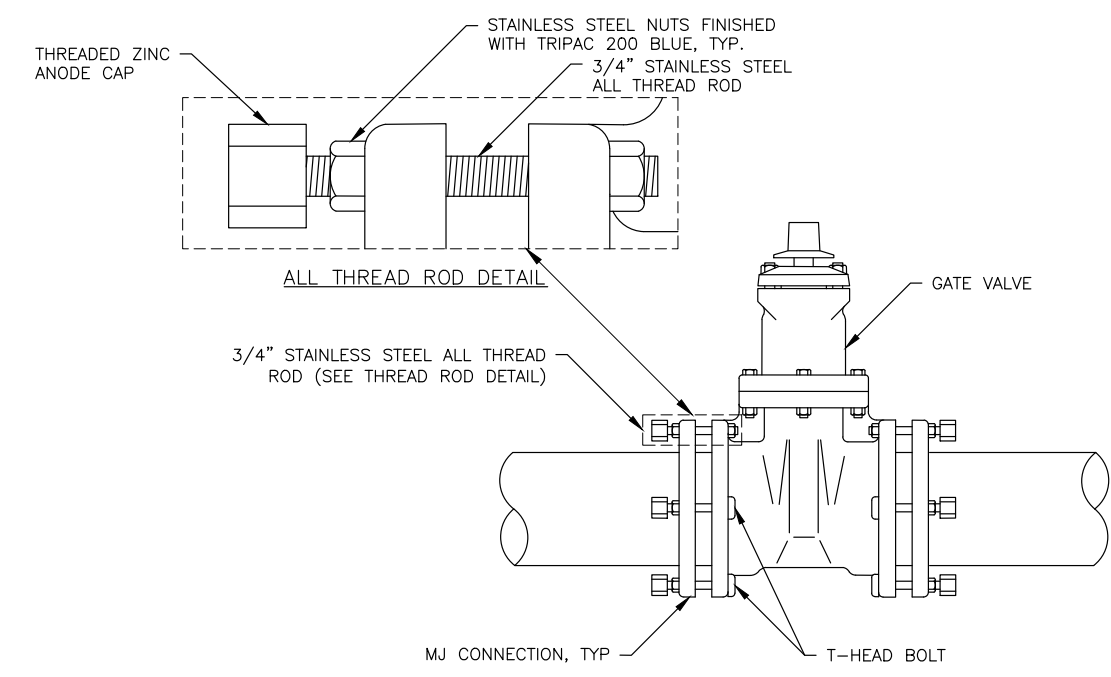
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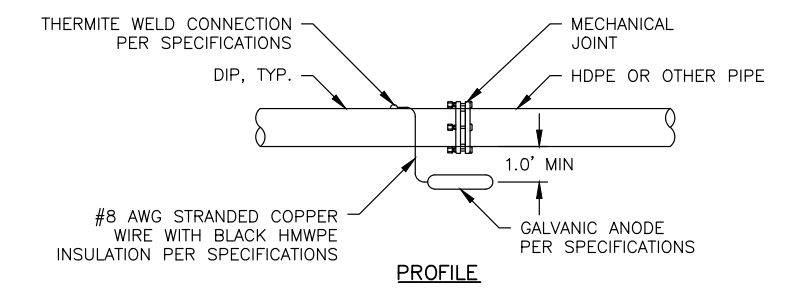
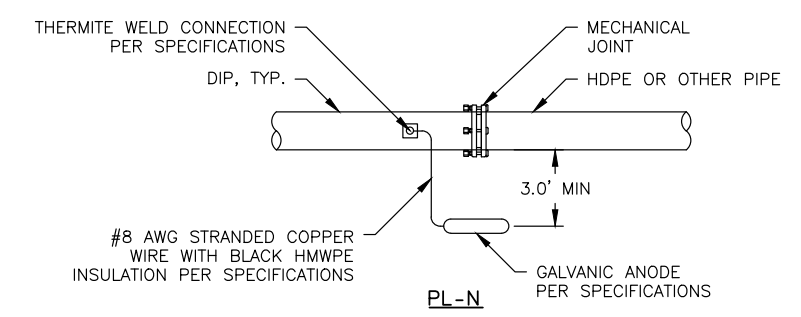
1 WATERLINE CONNECTION INTERSECTION SILVER ST & WREN DR
SCALE: NOT TO SCALE

DETAIL 1/6 NOTES:

1. ADDITIONAL PARTS MAY BE NECESSARY FOR CONNECTION. CONTRACTOR TO PROVIDE ALL PARTS AND FITTINGS TO MAKE CONNECTION.
2. THE BUTT FUSION WELD SHALL BE PERFORMED IN OR ABOVE THE TRENCH. THE USE OF ELECTROFUSION COUPLERS WILL NOT BE ALLOWED.
3. FIELD LOCATES INDICATE BENDS AND/OR DEFLECTION IN EXISTING WATERLINE. CONTRACTOR TO PROVIDE HDPE BENDS/FITTINGS OR SWEEPS, AS NECESSARY, FOR NEW WATERLINE CONNECTION.
4. TERMINATE TRACER WIRE IN NEW 10" VALVE BOX.



2 VALVE BOLT CONNECTION DETAIL
SCALE: NOT TO SCALE



3 GALVANIC ANODE INSTALLATION FOR PIPE MATERIAL TRANSITION DETAIL
SCALE: NOT TO SCALE

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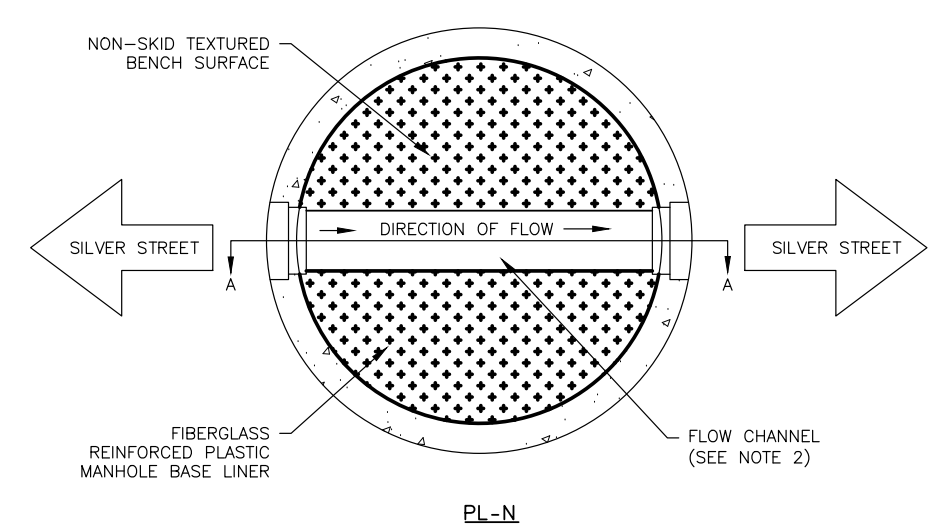
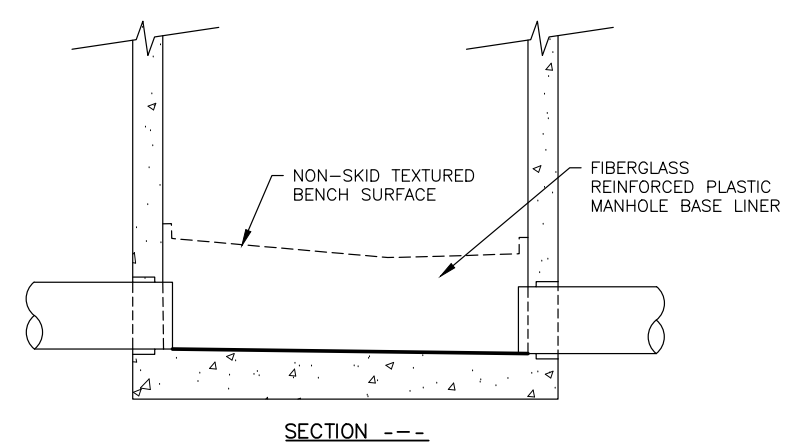
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SILVER STREET SUBDIVISION
SHAWN KANTOLA

CONSTRUCITON DETAILS - 3

SHEET NUMBER	6
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1
7
PRECAST MANHOLE WITH FIBERGLASS REINFORCED PLASTIC BASE LINER DETAIL
SCALE: NOT TO SCALE

DETAIL 1/7 NOTES:

1. THE MANHOLE BASE LINER SHALL BE FIBERGLASS REINFORCED PLASTIC (FRP) OR APPROVED EQUAL.
2. FRP BASE LINER SHALL HAVE A MINIMUM DROP OF 0.05' BETWEEN INLET AND OUTLET PIPES.
3. FRP BASE LINER SHALL BE PRE MANUFACTURED TO MATCH THE PIPE SIZES, ANGLES, SLOPES AND INVERTS AS SHOWN IN THE DESIGN DRAWINGS.
4. FIBERGLASS REINFORCED PLASTIC BASE LINERS SHALL USE FLEXIBLE SEAL ADAPTER FOR ALL PIPES.
5. NOTES AND REQUIREMENTS IN CBJ DETAIL 203 FOR STANDARD SANITARY SEWER MANHOLE TYPE I & II APPLY TO THIS DETAIL.

WATER SERVICE SUMMARY		
LOT #	STATION & OFFSET	SIZE/TYPE/NOTES
1	SILVER: STA: 3+60.61, OFF: 25.019 RT	1" SIDR7 POLY
2	SILVER: STA: 4+24.76, OFF: 51.201 RT	1" SIDR7 POLY
3	SILVER: STA: 4+77.76, OFF: 54.074 RT	1" SIDR7 POLY
4	SILVER: STA: 4+95.94, OFF: 41.41 RT	1" SIDR7 POLY
5	SILVER: STA: 4+97.32, OFF: 39.945 RT	1" SIDR7 POLY
6	SILVER: STA: 4+98.64, OFF: 38.427 RT	1" SIDR7 POLY
7	SILVER: STA: 4+99.92, OFF: 36.856 RT	1" SIDR7 POLY
8	SILVER: STA: 5+11.44, OFF: 13.780 LT	1" SIDR7 POLY
9	SILVER: STA: 4+82.27, OFF: 51.829 LT	1" SIDR7 POLY
10	SILVER: STA: 3+61.43, OFF: 33.489 LT	1" SIDR7 POLY
10205 SILVER	SILVER: STA: 2+55.76, OFF: 22.121 RT	1" SIDR7 POLY

- NOTES:**
1. TRACER WIRE SHALL BE NO.10 AWG HIGH-STRENGTH COPPER CLAD STEEL WITH BLUE HDPE INSULATION JACKET. MAIN LINE TRACER WIRE SHALL NOT BE SPLICED AND SHALL BE CONTINUOUS BETWEEN VALVE BOXES. SERVICES SHALL USE WATERPROOF DIRECT BURY SPLICE CONNECTION LUGS. TRACER WIRE SHALL BE CONNECTED TO THE BOTTOM QUADRANT OF THE HDPE WATER PIPE. EACH END OF TRACER WIRE SHALL BE TERMINATED AT A VALVE BOX, TRACER WIRE SHALL RUN OUTSIDE THE VALVE BOX AND BE INSTERTED INTO THE VALVE BOX THROUGH A 3/4" DRILLED HOLE WITHIN 9"-12" OF THE TOP 0.5' OF ADDITIONAL TRACER WIRE SHALL BE NEATLY COILED WITHIN THE VALVE BOX.
 2. SPLICE TRACER WIRE TO MAIN WITH DRYCONN WATERPROFF DIRECT BURY LUGS.
 3. ATTACH TRACER WIRE TO SERVICE EVERY 5 FEET.
 4. INSULATE WATER SERVICES PER STD 412 AT STORM DRAIN OR DITCH CROSSINGS WHERE 5 FEET OF COVER/SEPARATION CANNOT BE OBTAINED.

SEWER SERVICE SUMMARY		
LOT #	STATION & OFFSET	SIZE/TYPE/NOTES
1	SILVER: STA: 3+63.22, OFF: 25.09 RT	4" SDR 35 PVC
2	SILVER: STA: 4+27.40, OFF: 52.628 RT	4" SDR 35 PVC
3	SILVER: STA: 4+37.40, OFF: 53.638 RT	4" SDR 35 PVC
4	SILVER: STA: 5+03.47, OFF: 31.814 RT	4" SDR 35 PVC
5	SILVER: STA: 5+04.55, OFF: 30.019 RT	4" SDR 35 PVC
6	SILVER: STA: 5+05.57, OFF: 28.163 RT	4" SDR 35 PVC
7	SILVER: STA: 5+06.54, OFF: 26.245 RT	4" SDR 35 PVC
8	SILVER: STA: 5+10.73, OFF: 16.492 LT	4" SDR 35 PVC
9	SILVER: STA: 4+84.52, OFF: 50.539 LT	4" SDR 35 PVC
10	SILVER: STA: 3+58.83, OFF: 33.579 LT	4" SDR 35 PVC
0205 SILVER S	SILVER: STA: 2+57.79, OFF: 22.178 RT	4" SDR 35 PVC

- NOTES:**
1. ADJUST SEWER SERVICE SLOPES TO PROVIDE MAXIMUM SEPARATION UTILITY CORSSINGS. INTSLAL SWEEPS AS REQUIRED UPON APPROVAL OF THE ENGINEER.
 2. CONSTRUCT NEW 6" PVC SEWER SERVICE AND INSTALL NEW CLEANOUT NEAR PROPERTY LINE PER CBJ STANDARD DETIAL 213 AND CONNECT TO EXISTING SEWER SERVICE.
 3. SEWER SERVICE CLEAN-OUTS TO HAVE METAL COVERS.

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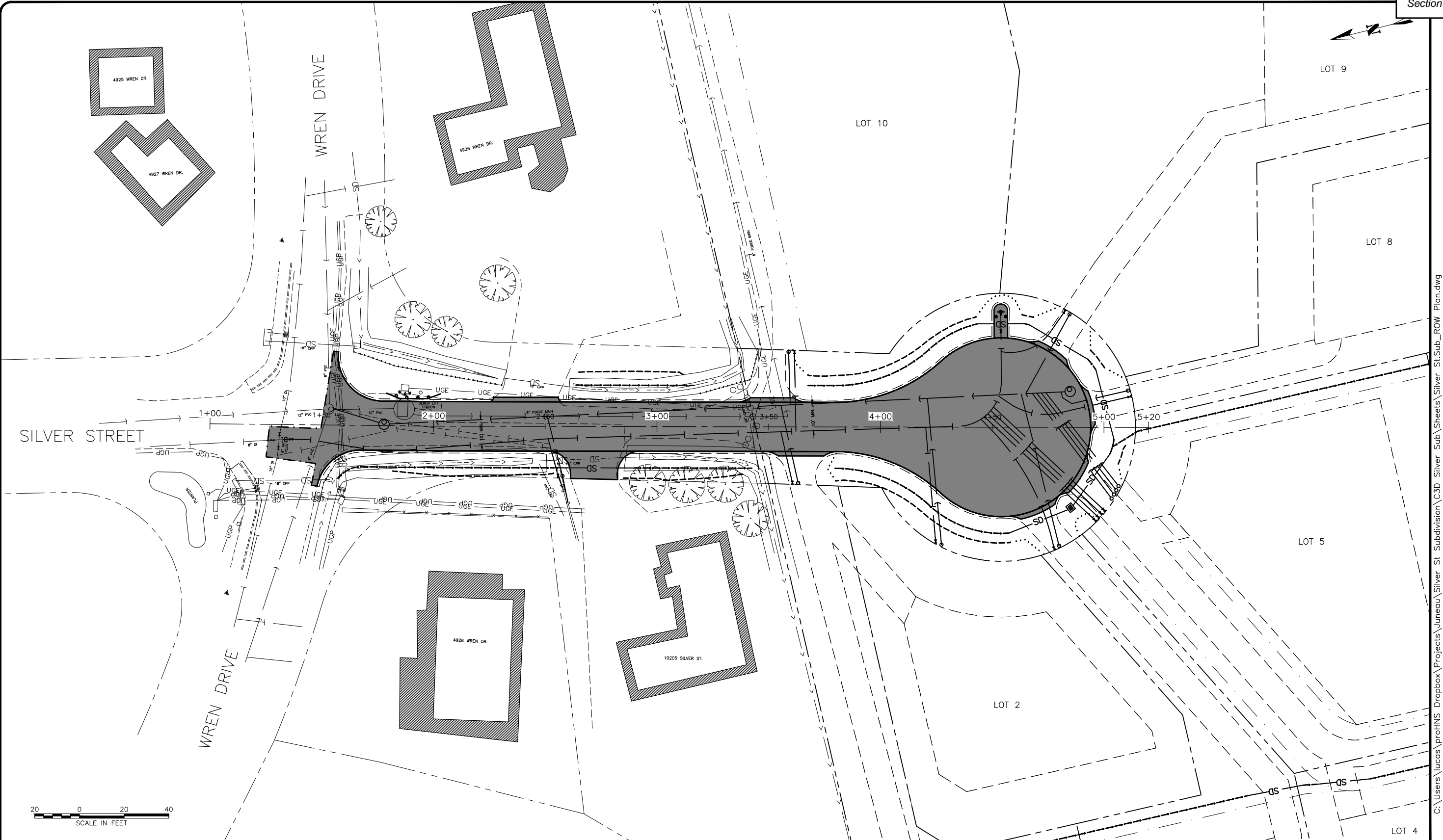
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CONSTRUCTION DETAILS & SUMMARIES

- 4

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**SILVER ST ROW PLAN
OVERVIEW**

SHEET NUMBER
8
OF
15

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STORM DRAIN PIPE SUMMARY							
PIPE NO.	DIA	LENGTH	TYPE	SLOPE	START INV	END INV	START STATION/OFFSET
P-1	18"	36.18	CPP	-0.50%	46.49	46.31	STA: 2+53.79, 18.50 RT

SEWER PIPE SUMMARY							
PIPE NO.	DIA	LENGTH	TYPE	SLOPE	START INV	END INV	NOTES
SP-EX-1	8"	-	PVC	-	-	39.22	*DROP CONNECTION
SP-EX-2	12"	-	PVC	-	-	39.35	*DROP CONNECTION
SP-EX-3	8"	-	PVC	-	-	37.80	
SP-EX-4	12"	33.85	PVC	1.52%	37.54	37.025	*OUTFALL INTO LIFT STATION

SEWER PIPE SUMMARY							
PIPE NO.	DIA	LENGTH	TYPE	SLOPE	START INV	END INV	
SP-1	8"	25.80	PVC	-4.87%	43.26	42.00	
SP-2	8"	307.34	PVC	-0.50%	44.89	43.36	

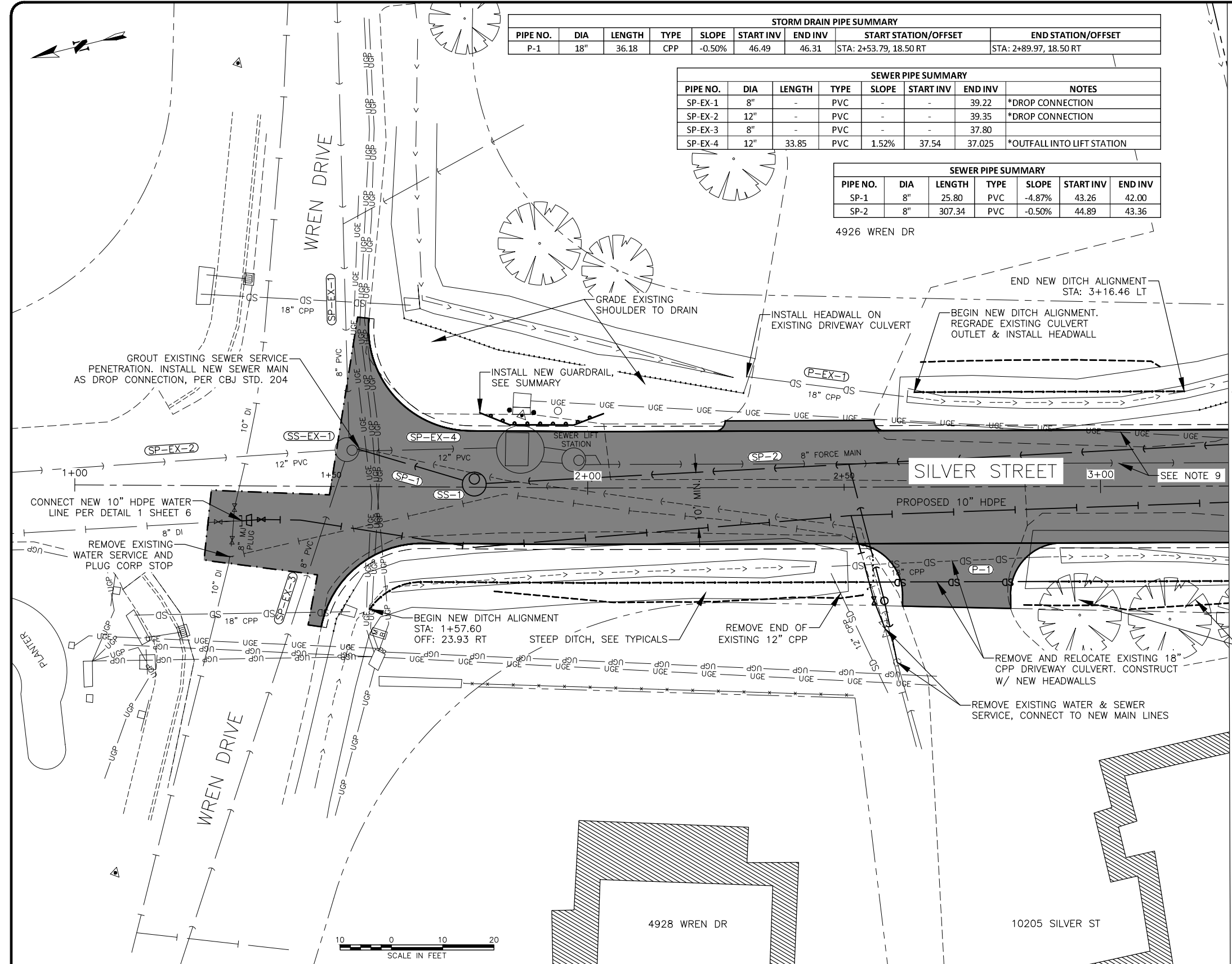
4926 WREN DR

SHEET NOTES:

- ONLY HORIZONTAL ELBOW FITTINGS (BENDS) ARE SHOWN (NOT ALL ARE LABELED) ON DRAWINGS. ADDITIONAL FITTINGS WILL BE REQUIRED FOR VERTICAL DEFLECTIONS NEAR CONNECTIONS TO EXISTING PIPES, AND AT OTHER LOCATIONS REQUIRING GRADE CHANGES TO AVOID CONFLICTS.
- THE PLAN DRAWINGS DO NOT SHOW ALL PLANTINGS, AND OTHER LANDSCAPING THAT WILL BE ENCOUNTERED DURING CONSTRUCTION ACTIVITIES. NO PLANTINGS OR LANDSCAPING ARE TO BE REMOVED OR DAMAGED, UNLESS SHOWN ON THE DRAWINGS OR DIRECTED BY THE ENGINEER.
- PIPE LENGTHS ARE TO CENTER OF STRUCTURE. PIPE SLOPES ARE MEASURED TO ENDS OF PIPES.
- PROVIDE ALL PIPE EXTENSIONS, ADAPTERS, ELBOWS AND OTHER FITTINGS NECESSARY TO CONNECT TO DISSIMILAR PIPE SIZES, MATERIALS, AND DEPTHS.
- INSTALL NEW WATER SERVICE PER CBJ STD 406A. WHERE WATER SERVICE CROSSES UNDER STORM DRAIN PIPE, INSULATE PER CBJ STD 412.
- INSTALL NEW SEWER SERVICE AND CLEAN-OUT PER CBJ STD 213..
- MAINTAIN 18" MINIMUM VERTICAL SEPARATION BETWEEN PROPOSED WATER PIPE AND ALL STORM AND SEWER CROSSINGS, SEE STD DETAIL 215.
- INSTALL NEW CULVERT HEADWALLS PER CBJ STD. 104B
- EXACT LOCATION OF SEWER FORCE MAIN AND LIFT STATION POWER UNKNOWN. USE EXTREME CAUTION WHEN EXCAVATING IN THIS AREA.

GUARDRAIL SUMMARY		
STATION	OFFSET	NOTE
1+78.86	14.50 LT	END SECTION, TYPE I
1+84.64	12.25 LT	ANGLE POINT
1+97.14	12.25 LT	ANGLE POINT
2+03.27	14.50 LT	END SECTION, TYPE 2

SS-1	SSMH, TYPE- I *	SS-EX-1	EX SSMH
STA: 1+77.89	OFF: 0.59 LT	STA: 1+52.98	OFF: 7.24 LT
FRAME EL=	50.13	FRAME EL=	49.89
SP-1	43.26	SP-1	42.00
SP-2	43.36	SP-EX-1	39.22
*INSTALL W/ FIBERGLASS BASELINER		SP-EX-2	39.35
		SP-EX-3	37.80
		SP-EX-4	37.54



MATCHLINE STA: 0+00.00



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CBJ REVIEW
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 DATE: _____

SILVER STREET SUBDIVISION
 SHAWN KANTOLA

SILVER ST PLAN - 1+00 TO 3+25

SHEET NUMBER	
9	OF
15	

July 12, 2024

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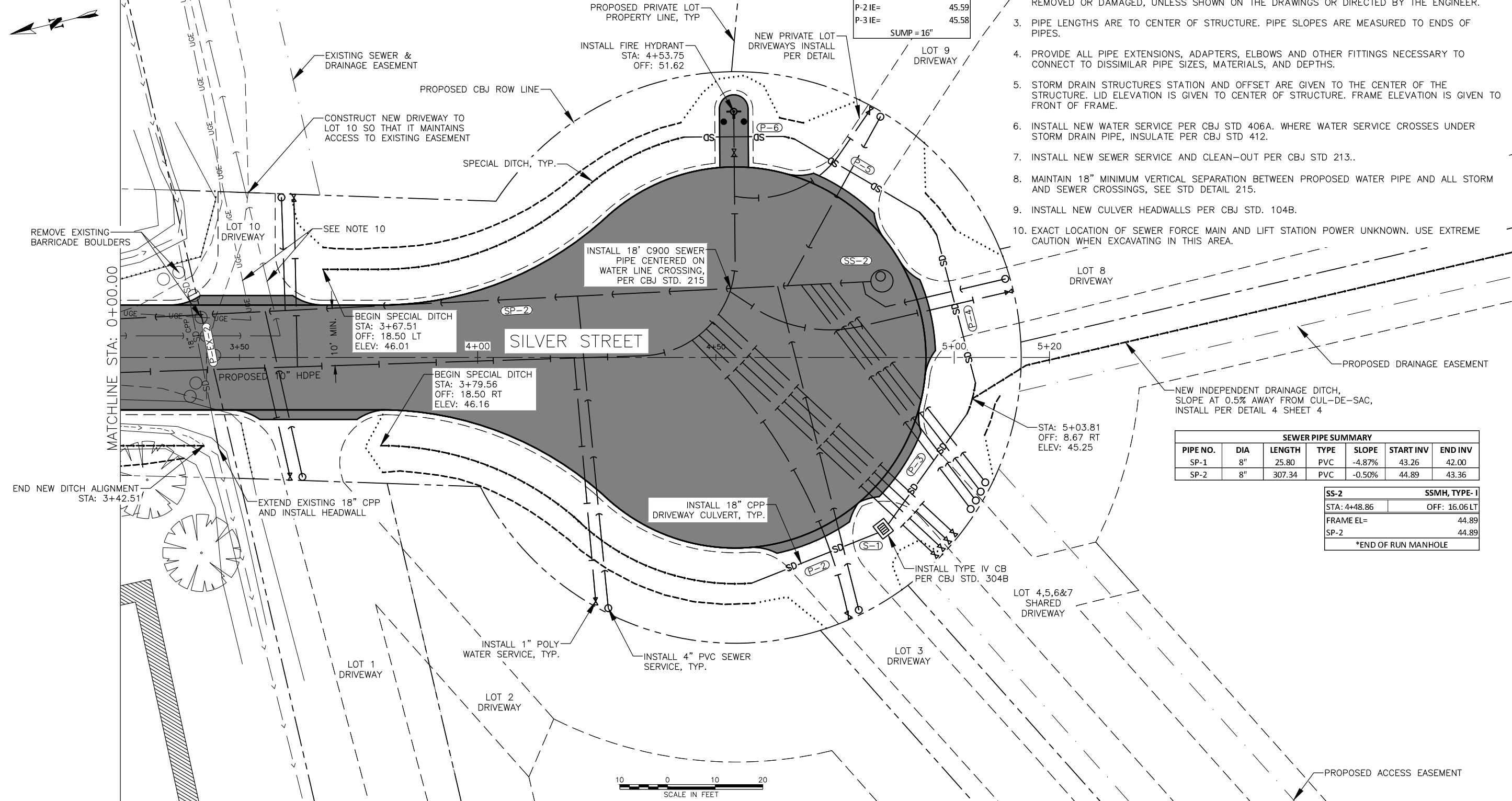
STORM DRAIN PIPE SUMMARY							
PIPE NO.	DIA	LENGTH	TYPE	SLOPE	START INV	END INV	START STATION/OFFSET
P-2	18"	28.52	CPP	-0.51%	45.73	45.59	STA: 4+57.51, 47.38 RT
P-3	18"	28.43	CPP	-0.97%	45.58	45.30	STRUCTURE S1
P-4	18"	32.1	CPP	-0.25%	45.38	45.30	STA: 4+96.34, 25.71 LT
P-5	18"	30.3	CPP	-0.50%	45.57	45.42	STA: 4+66.53, 45.84 LT
P-6	18"	21	CPP	-0.50%	45.68	45.58	STA: 4+43.29, 46.26 LT

STORM DRAIN PIPE SUMMARY						
PIPE NO.	DIA	LENGTH	TYPE	SLOPE	START INV	END INV
P-EX-2	18"	39.09	CPP	-0.59%	45.85	45.62

S-1	TYPE IV CB
STA: 4+85.12	OFF: 35.95 RT
FRAME EL=	48.60
P-2 IE=	45.59
P-3 IE=	45.58
SUMP = 16"	

SHEET NOTES:

- ONLY HORIZONTAL ELBOW FITTINGS (BENDS) ARE SHOWN (NOT ALL ARE LABELED) ON DRAWINGS. ADDITIONAL FITTINGS WILL BE REQUIRED FOR VERTICAL DEFLECTIONS NEAR CONNECTIONS TO EXISTING PIPES, AND AT OTHER LOCATIONS REQUIRING GRADE CHANGES TO AVOID CONFLICTS.
- THE PLAN DRAWINGS DO NOT SHOW ALL PLANTINGS, AND OTHER LANDSCAPING THAT WILL BE ENCOUNTERED DURING CONSTRUCTION ACTIVITIES. NO PLANTINGS OR LANDSCAPING ARE TO BE REMOVED OR DAMAGED, UNLESS SHOWN ON THE DRAWINGS OR DIRECTED BY THE ENGINEER.
- PIPE LENGTHS ARE TO CENTER OF STRUCTURE. PIPE SLOPES ARE MEASURED TO ENDS OF PIPES.
- PROVIDE ALL PIPE EXTENSIONS, ADAPTERS, ELBOWS AND OTHER FITTINGS NECESSARY TO CONNECT TO DISSIMILAR PIPE SIZES, MATERIALS, AND DEPTHS.
- STORM DRAIN STRUCTURES STATION AND OFFSET ARE GIVEN TO THE CENTER OF THE STRUCTURE. LID ELEVATION IS GIVEN TO CENTER OF STRUCTURE. FRAME ELEVATION IS GIVEN TO FRONT OF FRAME.
- INSTALL NEW WATER SERVICE PER CBJ STD 406A. WHERE WATER SERVICE CROSSES UNDER STORM DRAIN PIPE, INSULATE PER CBJ STD 412.
- INSTALL NEW SEWER SERVICE AND CLEAN-OUT PER CBJ STD 213..
- MAINTAIN 18" MINIMUM VERTICAL SEPARATION BETWEEN PROPOSED WATER PIPE AND ALL STORM AND SEWER CROSSINGS, SEE STD DETAIL 215.
- INSTALL NEW CULVER HEADWALLS PER CBJ STD. 104B.
- EXACT LOCATION OF SEWER FORCE MAIN AND LIFT STATION POWER UNKNOWN. USE EXTREME CAUTION WHEN EXCAVATING IN THIS AREA.



SEWER PIPE SUMMARY						
PIPE NO.	DIA	LENGTH	TYPE	SLOPE	START INV	END INV
SP-1	8"	25.80	PVC	-4.87%	43.26	42.00
SP-2	8"	307.34	PVC	-0.50%	44.89	43.36

SS-2	SSMH, TYPE-1
STA: 4+48.86	OFF: 16.06 LT
FRAME EL=	44.89
SP-2	44.89
*END OF RUN MANHOLE	



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CITY AND BOROUGH OF JUNEAU
ALASKA'S CAPITAL CITY

ENGINEERING & PUBLIC WORKS

SILVER STREET SUBDIVISION

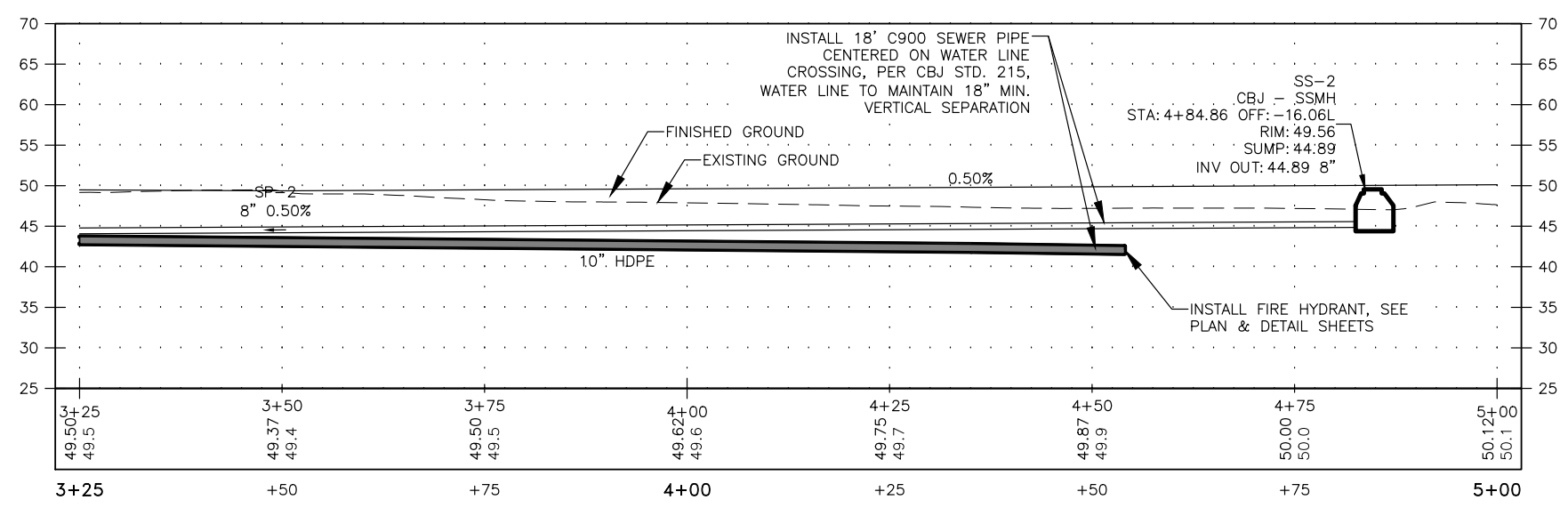
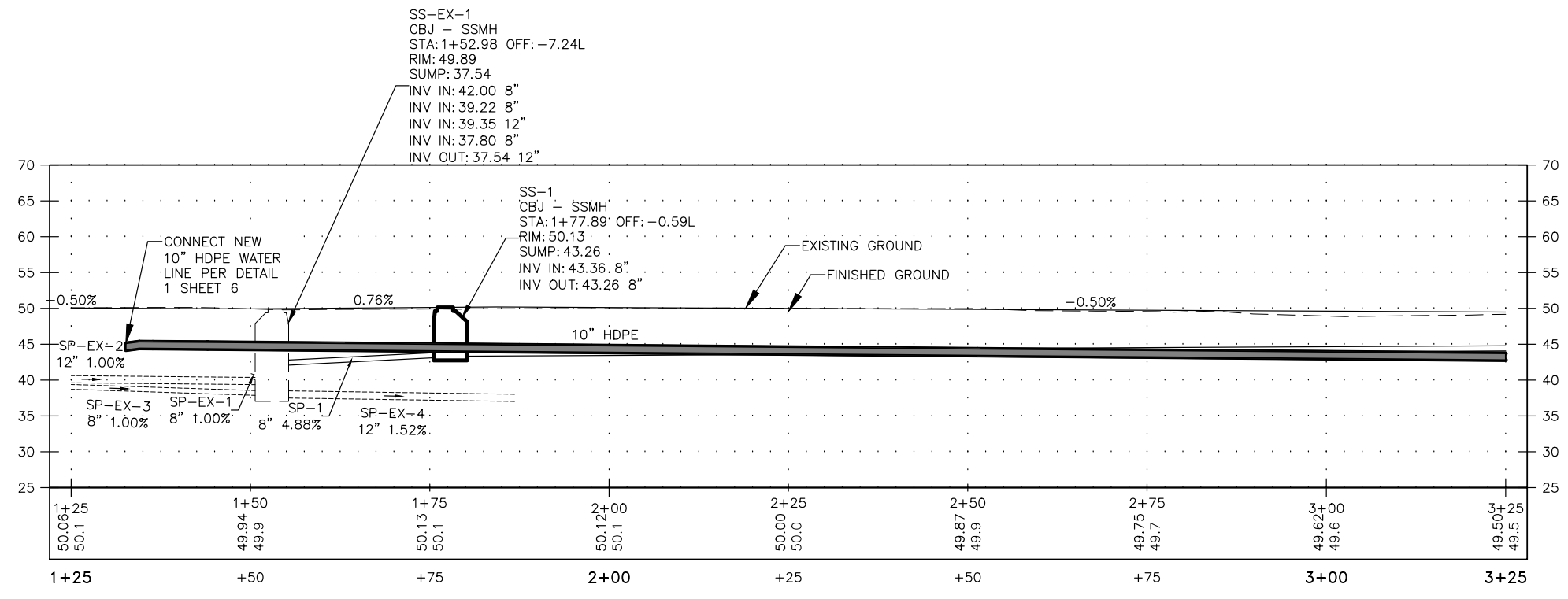
SHAWN KANTOLA

SILVER ST PLAN - 3+25 TO 5+20

SHEET NUMBER	
10	OF
15	

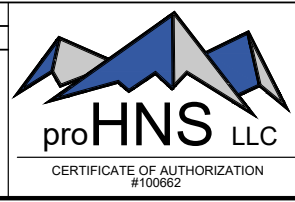
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July 12, 2024



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 DESIGNED BY: L. CH-MBERS
 CHECKED BY: G. GL-DSJO

CBJ REVIEW

APPROVED: _____
 DATE: _____

SILVER STREET SUBDIVISION

SHAWN KANTOLA

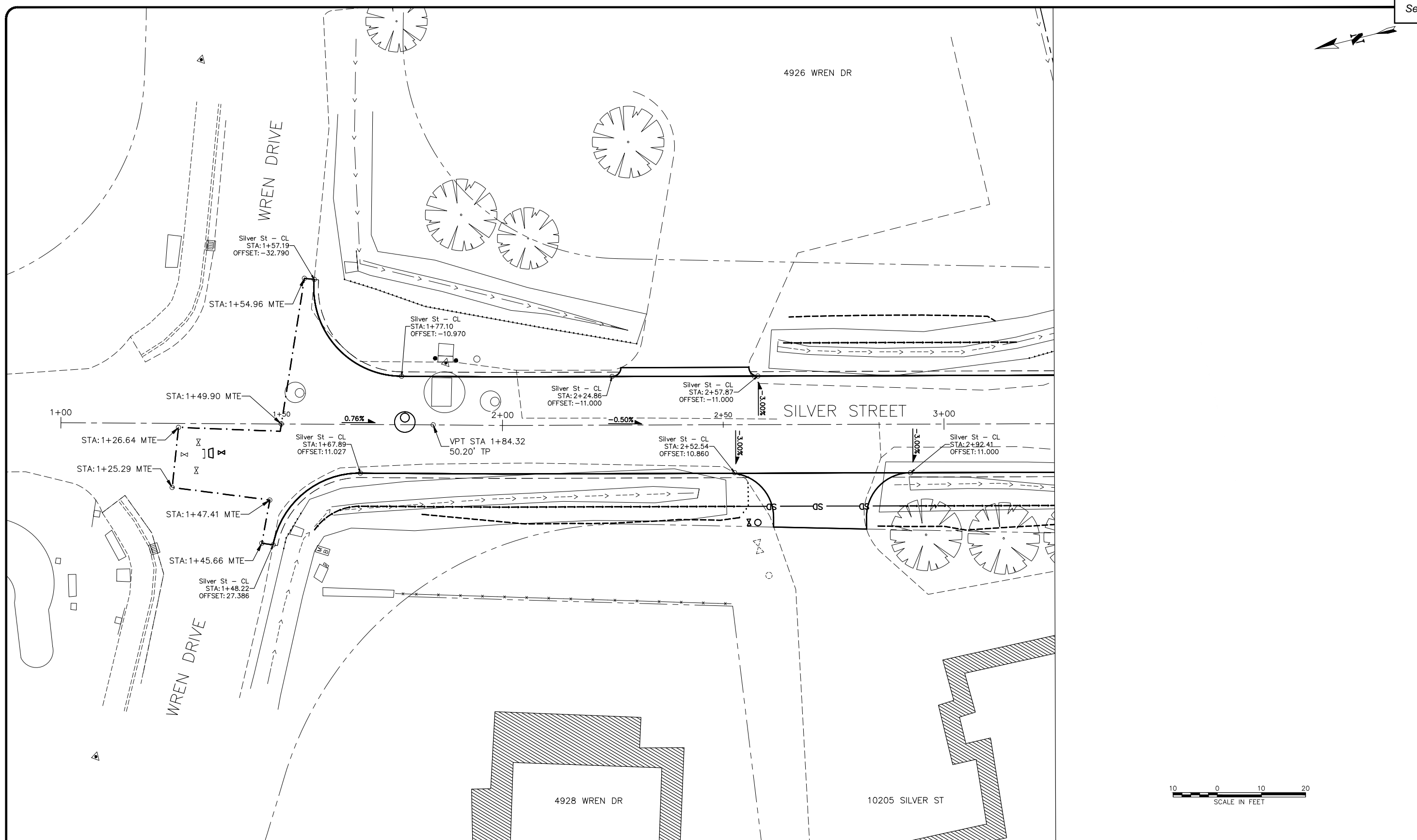
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SHEET NUMBER

11
 OF
 15

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Attachment C - Construction Plans



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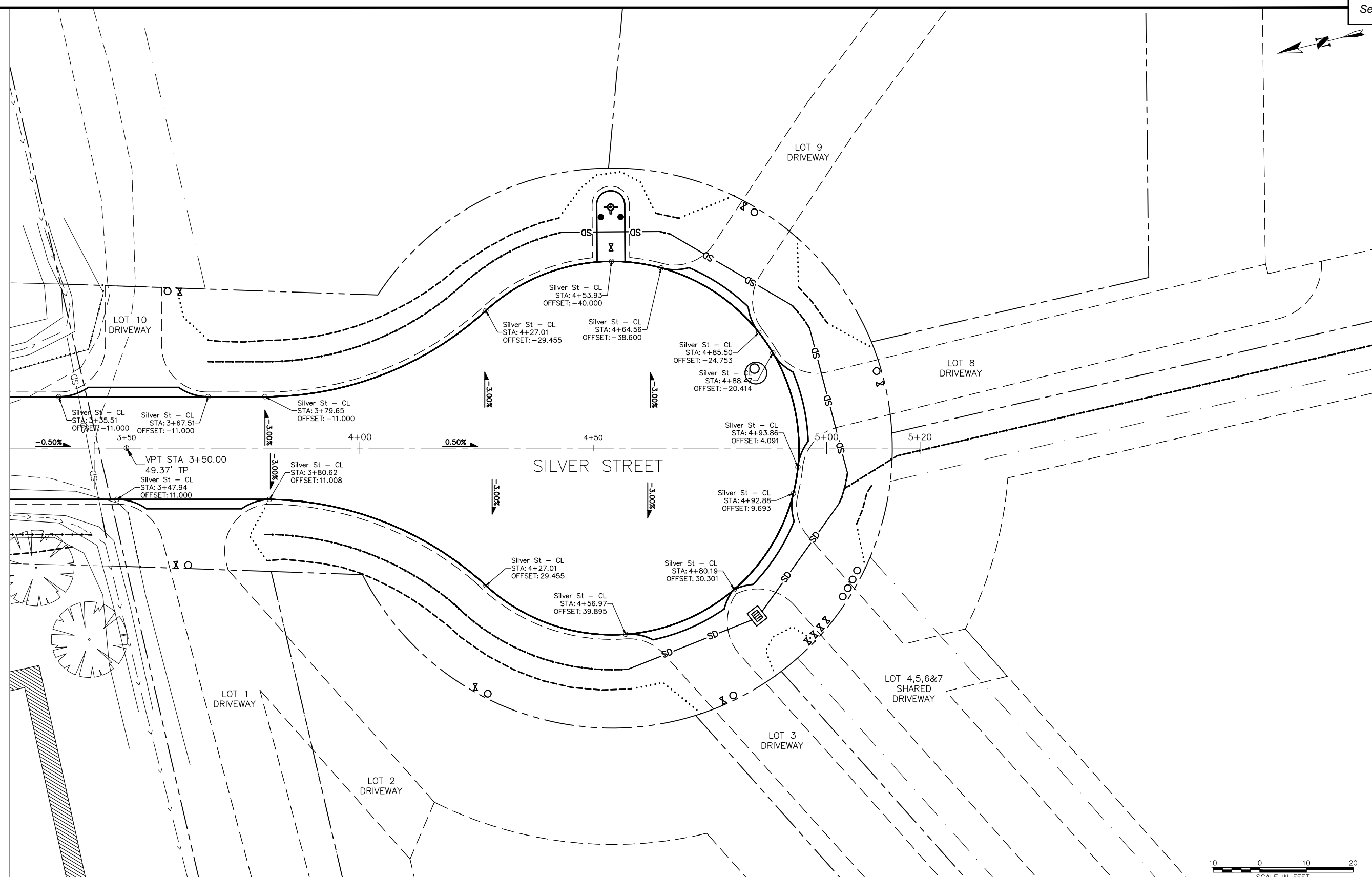
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SHAWN KANTOLA

GRADING PLAN - STA 1+00 TO 3+25

SHEET NUMBER
12
OF
15

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SHAWN KANTOLA

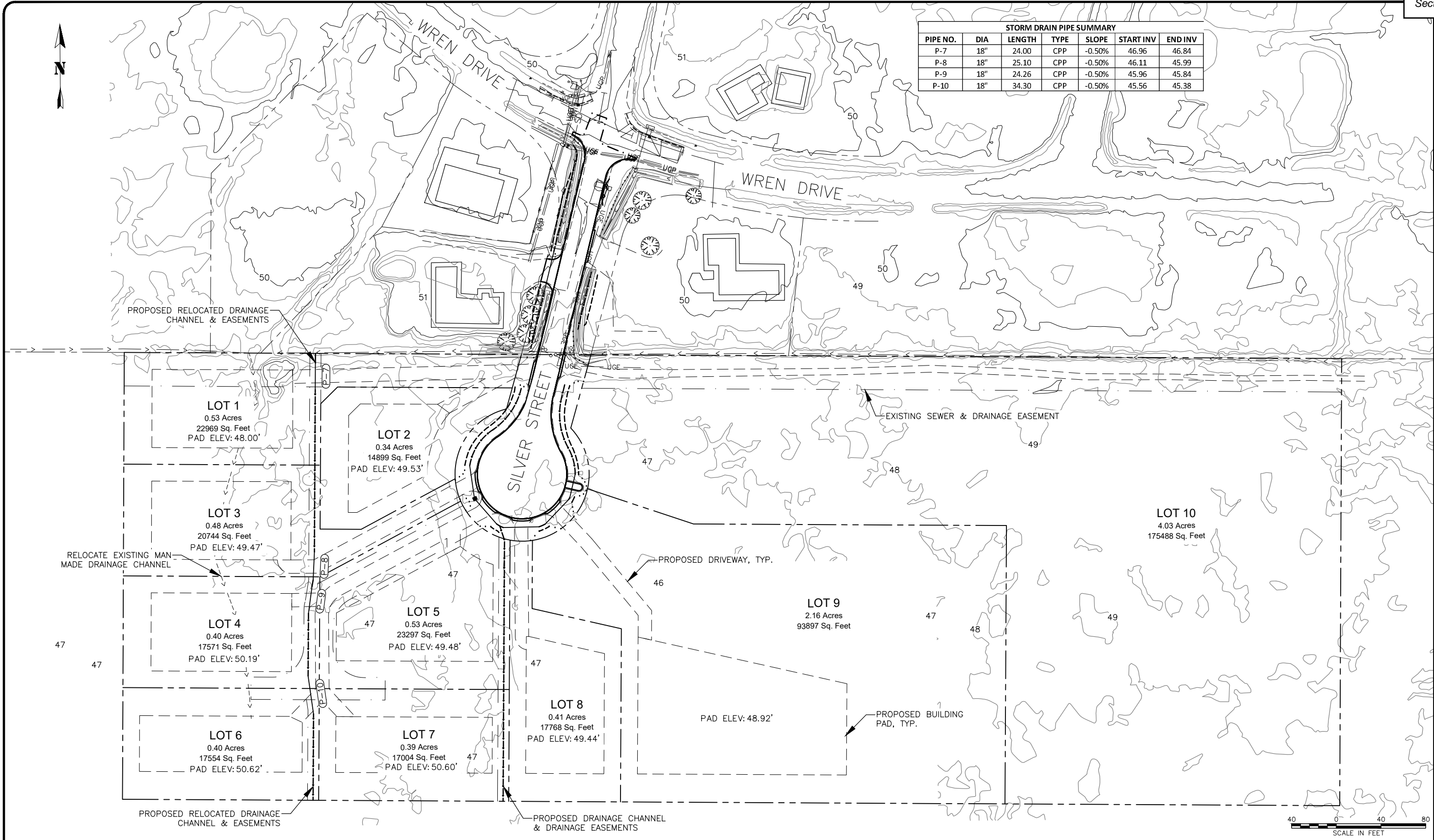
GRADING PLAN - STA 3+25 TO 5+20

SHEET NUMBER
13
OF
15

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July 12, 2024

STORM DRAIN PIPE SUMMARY						
PIPE NO.	DIA	LENGTH	TYPE	SLOPE	START INV	END INV
P-7	18"	24.00	CPP	-0.50%	46.96	46.84
P-8	18"	25.10	CPP	-0.50%	46.11	45.99
P-9	18"	24.26	CPP	-0.50%	45.96	45.84
P-10	18"	34.30	CPP	-0.50%	45.56	45.38



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CBJ REVIEW

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DATE: _____

SILVER STREET SUBDIVISION

SHAWN KANTOLA

SUBDIVISION PLAN OVERVIEW

SHEET NUMBER

14

OF

15

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219 Main Street #13 | Haines, AK 99827 | 907-419-6070 | www.proHNS.com

August 12, 2024

Shawn Kantola
Southeast Endeavors, LLC
907-209-3900
shalwnkantola@yahoo.com

RE: Silver Acres Subdivision – Final Drainage Report

To Whom It May Concern,

The following Drainage Plan has been prepared for the Silver Acres Subdivision in Juneau, AK, a proposed major subdivision on a 10-acre site at adjacent to the Silver Street and Wren Drive intersection. This drainage report addresses the development of the single parcel into 10 new residential lots. Improvements include the extension of Silver Street through the existing CBJ right-of-way and the construction and dedication of a new cul-de-sac including the extension of public water and sewer utilities. Individual lots will be graded, shot rock base and ditches for private driveways and building pads will be constructed, and services for water and sewer utilities will be installed to the right-of-way for each new lot. The 2010 CBJ Manual of Stormwater Best Management Practices was used to evaluate if the proposed and existing drainage features could convey runoff during the anticipated return period.

Attached sheets depict topographic data, existing and proposed drainage paths, proposed right-of-way improvements, calculations and rainfall data used for the drainage analysis for this subdivision.

NOTE The intent of this report is to show that the increased runoff due to the development of the proposed subdivision can be handled by the existing drainage system. This document is the revised and updated report for the preliminary report dated April 10, 2024.

Site Runoff Calculation Method:

For this project the drainage basin analyzed was the area draining through the existing Silver Street road culvert and discharging into the existing wetlands located directly south of the proposed subdivision. A total of six sub-basins were identified and analyzed. The first sub-basin was the area discharging via the west side of Silver Street. The second subbasin was the area discharging via the east side of Silver Street. The third was the predeveloped area of the proposed Silver Acres Subdivision, this sub-basin is primarily sheet flowing with no concentrated discharge location. The fourth was the west side of the post developed area of the proposed Silver Acres Subdivision. The fifth was the center of the post developed area of the proposed Silver Acres Subdivision. The final sub-basin was the east side of the post developed area of the proposed Silver Acres Subdivision, this sub-basin is primarily sheet flowing with no concentrated discharge location. The drainage basin and sub-basins were determined using as-built drawings, LiDAR data and aerial photos with the use of AutoCAD C3D software. These determinations were verified by several site visits. A delineation of the basin and sub-basin catchment areas can be found in Appendix A.

The rational method was selected to calculate site runoff. The rational method is appropriate for evaluating drainage basins with relatively small catchment areas. Appendix D of the “2010 CBJ Manual of Stormwater Best Management Practices” was utilized as a guide¹. Calculations for the rational method can be found in Appendix B of this Report.

¹ There are no current municipal code requirements dictating adherence with the “2010 CBJ Manual of Stormwater Best Management Practices” when preparing a drainage plan that complies with 49.35.510. Regardless, we have elected to utilize portions of this Manual as a guide in the preparation of this Drainage Plan for the proposed development.



Anticipated Site Runoff (Q):

Using the rational method, the amount of stormwater runoff during the anticipated design storm event per catchment area was determined. Table 1.1 shows the runoff generated by each drainage sub-basin.

Tabel 1.1 Sub-Basin Runoff

Drainage Sub-Basin	Q(cfs)
West Silver Street Sub-Basin (existing)	4.0
East Silver Street Sub-Basin (existing)	6.0
West Silver Acres Sub-Basin (post developed)	0.9
Center Silver Acres Sub-Basin (post developed)	0.8

The Silver Acres Subdivision is located on the south side of the Black Bear Subdivision drainage ditch. The natural slope of this property falls away from the ditch to the south towards Montana Creek. Therefore only a small area of the subdivision along the northern property line that is directly adjacent to the drainage ditch currently enters the conveyance system. The remainder of the property sheet flows to the south into the undeveloped wetlands.

The new section of roadway and cul-de-sac included in the proposed development of the Silver Acres Subdivision will be designed such that all storm water within the right-of-way is directed towards the proposed drainage easement between lots 5 and 7 and lot 8, ultimately discharging to the south into the undeveloped wetlands. The east half of lots 2, 5 and 7 and all of lot 8 including driveways, and building pads will also drain into this proposed drainage easement.

An existing man-made drainage channel located along the west side of the proposed subdivision will be relocated between lots 1, 3, 4, 6 and lots 2, 5, 7, ultimately discharging to the south into the undeveloped wetlands. The west half of lots 2, 5, and 7 and all of lots 1, 3, 4, 6 including driveways, and building pads and will drain into this proposed drainage easement.

Lot 9 and 10 of the proposed subdivision will sheet drain to the south into the undeveloped wetlands.

Conveyance/Discharge Structure Capacities

The capacity of the existing and proposed drainage system was calculated to determine if the anticipated storm event (100-year for roadway culverts, 25-year for driveway culverts and side ditches) flows could be conveyed. The most vulnerable points of the drainage network along the analyzed flow path were evaluated. Table 1.2 shows the results, the calculations can be found in Appendix F.

Tabel 1.2 Conveyance Capacities

Drainage Sub-Basin	Q(cfs)
Silver Street Road Culvert (18" CPP)	7.54
Silver Acres West Driveway Culverts (24" CPP)	14.81
Silver Acres West Drainage Ditch	28.29
Silver Acres Center Drainage Ditch	54.19

Summary

Table 1.3 compares the anticipated runoff of the proposed development to the available hydraulic capacity of the existing conveyance system.



Table 1.3 Hydraulic Capacity Check

Drainage Sub-Basin	Conveyance Structure	Anticipated Runoff Q (cfs)	Capacity Check	Available Capacity Q (cfs)
East Silver Street Sub-Basin (post developed)	Roadway Culvert	6.0	<	7.54
West Silver Street Sub-Basin + East Silver Street Sub-Basin + West Silver Acres Sub-Basin (post developed)	Driveway Culvert	10.9	<	14.81
Center Silver Acres Sub-Basin (post development)	Side Ditch	0.8	<	54.19
West Silver Street Sub-Basin + East Silver Street Sub-Basin + West Silver Acres Sub-Basin (post developed)	Side Ditch	10.9	<	28.29

Our analysis shows that the existing 18" CPP cross culvert at the Silver Street cul-de-sac will provide the required capacity for the system. The analysis also shows that the proposed driveway culverts and side ditches have adequate capacity to handle flows from the altered drainage patterns as a result of the proposed Silver Acres Subdivision development.

Respectfully,

Lucas Chambers, P.E. #106593
 Principal Engineer – proHNS LLC Juneau

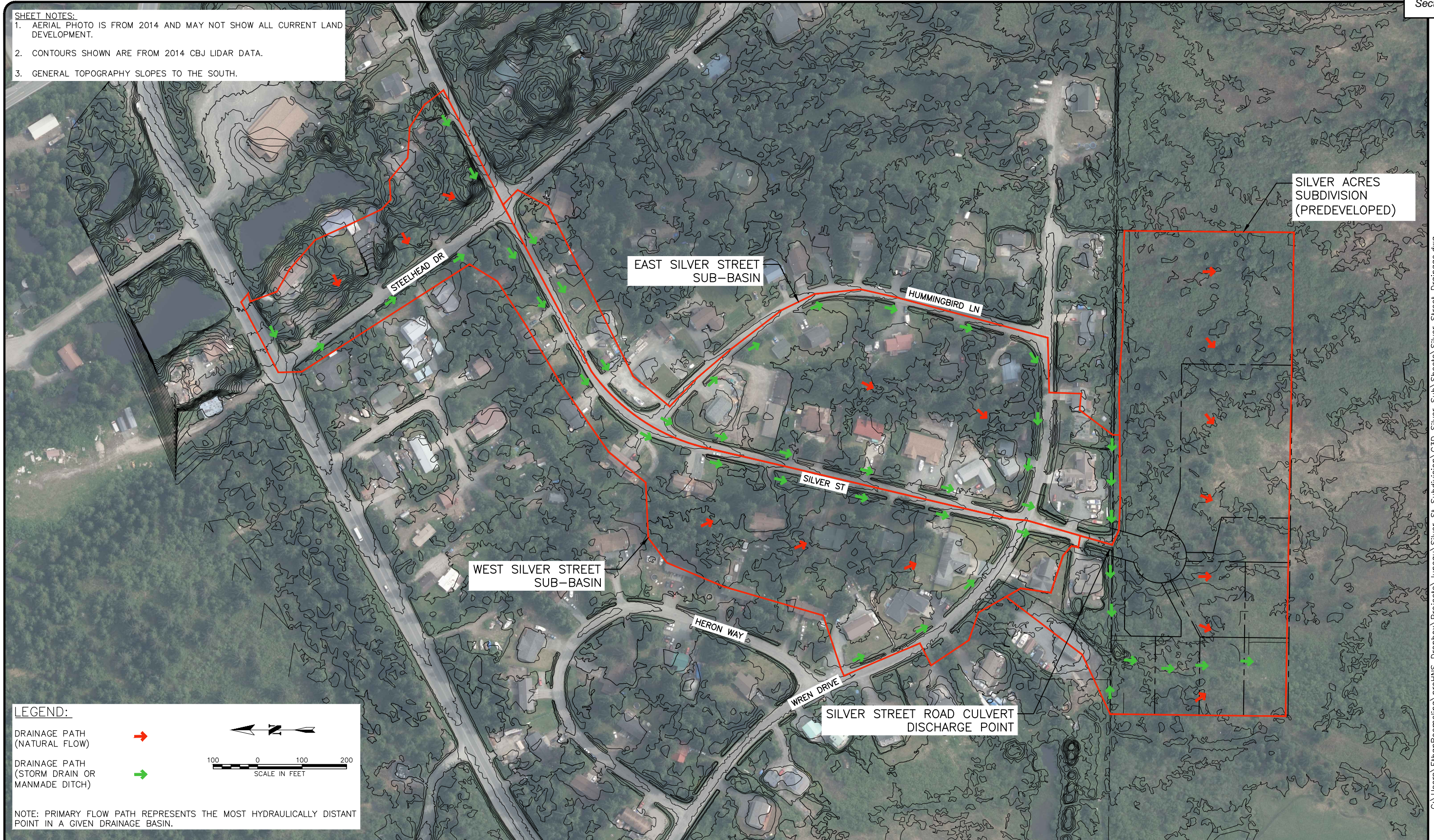
Appendixes:

- A – Catchment Areas
- B – Rational Method
- C – Runoff Coefficient
- D – Time of Concentration
- E – Rainfall Intensity Data
- F – Conveyance Capacity

Appendix A

Catchment Areas

SHEET NOTES:
 1. AERIAL PHOTO IS FROM 2014 AND MAY NOT SHOW ALL CURRENT LAND DEVELOPMENT.
 2. CONTOURS SHOWN ARE FROM 2014 CBJ LIDAR DATA.
 3. GENERAL TOPOGRAPHY SLOPES TO THE SOUTH.



LEGEND:

DRAINAGE PATH (NATURAL FLOW) ➔

DRAINAGE PATH (STORM DRAIN OR MANMADE DITCH) ➔

NOTE: PRIMARY FLOW PATH REPRESENTS THE MOST HYDRAULICALLY DISTANT POINT IN A GIVEN DRAINAGE BASIN.

SCALE IN FEET

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August 7, 2024

RECORD OF REVISIONS			
No.	DATE	DESCRIPTION	BY

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 CERTIFICATE OF AUTHORIZATION #100662

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 DESIGNED BY: E. ROEMELING
 CHECKED BY: L. CHAMBERS

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 JUNEAU, AK 99801

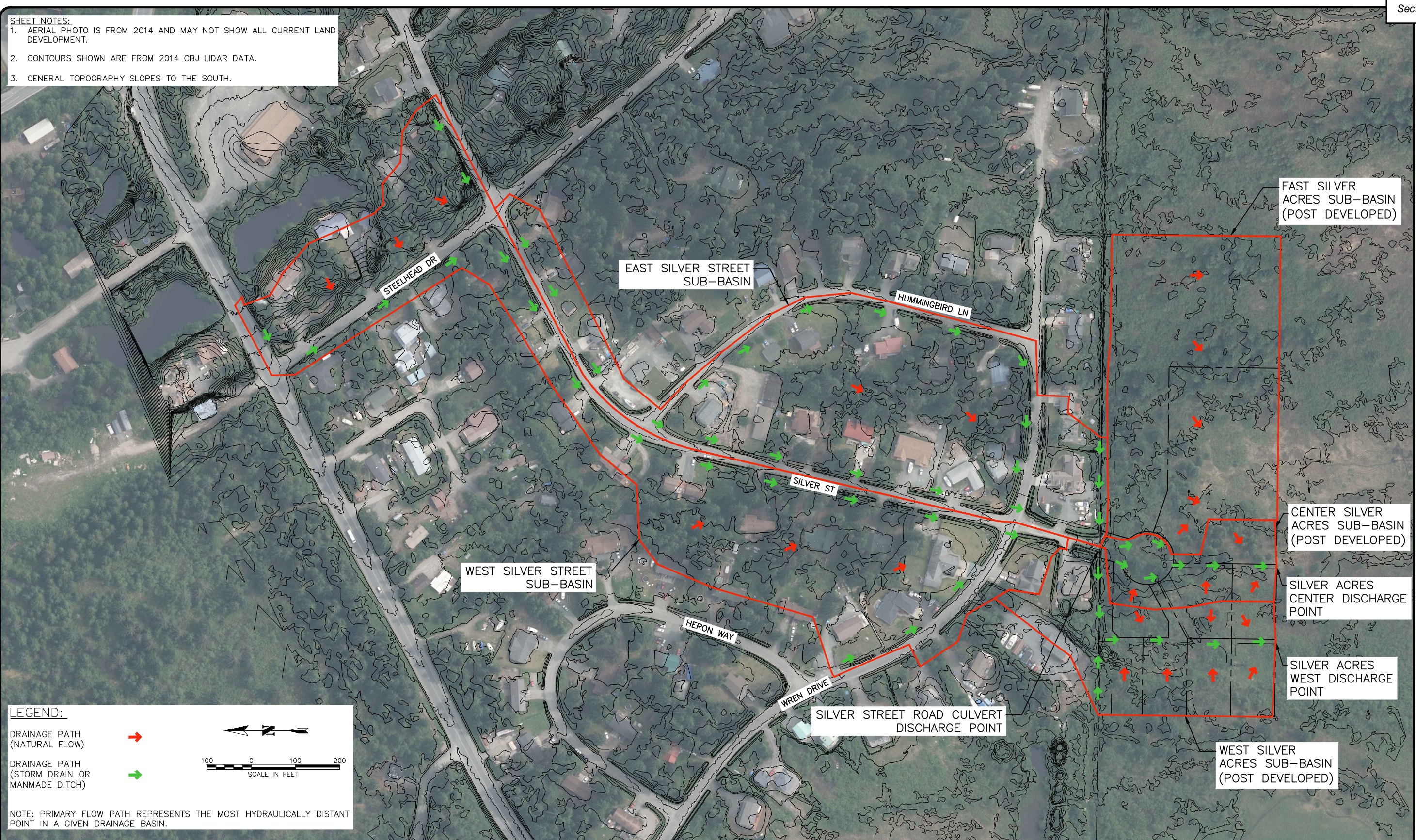
solutions@proHNS.com
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SILVER ACRES SUBDIVISION
 SOUTHEAST ENDEAVORS, LLC

PRE-DEVELOPED DRAINAGE MAP

SHEET NUMBER	1
OF	2

SHEET NOTES:
 1. AERIAL PHOTO IS FROM 2014 AND MAY NOT SHOW ALL CURRENT LAND DEVELOPMENT.
 2. CONTOURS SHOWN ARE FROM 2014 CBJ LIDAR DATA.
 3. GENERAL TOPOGRAPHY SLOPES TO THE SOUTH.



LEGEND:

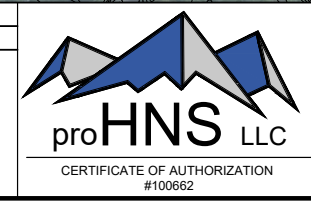
DRAINAGE PATH (NATURAL FLOW) →

DRAINAGE PATH (STORM DRAIN OR MANMADE DITCH) →

NOTE: PRIMARY FLOW PATH REPRESENTS THE MOST HYDRAULICALLY DISTANT POINT IN A GIVEN DRAINAGE BASIN.

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RECORD OF REVISIONS			
No.	DATE	DESCRIPTION	BY



DRAWN BY: E. ROEMELING
 DESIGNED BY: E. ROEMELING
 CHECKED BY: L. CHAMBERS

SILVER ACRES SUBDIVISION

SOUTHEAST ENDEAVORS, LLC

POSTDEVELOPED DRAINAGE MAP


SHEET NUMBER	2
OF	2

August 7, 2024

Appendix B

Rational Method

Site Runoff - Rational Method

Project:	Silver Acres Subdivision		
Owner:	Southeast Endeavors, LLC		
Date:	8/7/2024		
Prepared By:	Ethan Roemeling		
Checked By:	Lucas Chambers		

$$Q = CIA$$

Q = peak flow in cubic feet per second (cfs)

C = runoff coefficient (See Appendix C for Calculations)

I = rainfall intensity (in/hr)(See Appendix D for Time of Concentration Calculations and Appendix E for Rainfall Intensity data)

A = catchment area (acres)

West Silver Street Sub-Basin (existing)			
Q (cfs)	Cc	I	A
4.0	0.33	1.09	11.05

Notes:

- 1. Subbasin drains through driveway culverts. Design return period is 25 years.

East Silver Street Sub-Basin (existing)			
Q (cfs)	C	I	A
6.0	0.35	1.84	9.25

Notes:

- 1. Subbasin drains through silver street road culvert. Design return period is 100 years.

West Silver Acres Sub-Basin (post development)			
Q (cfs)	C	I	A
0.9	0.24	1.09	3.27

Notes:

- 1. Subbasin drains through driveway culverts. Design return period is 25 years.

Center Silver Acres Sub-Basin (post development)			
Q (cfs)	C	I	A
0.8	0.27	2.11	1.41

Notes:


- 1. Subbasin drains through driveway culverts. Design return period is 25 years.

Per CBJ Manual of Storm Water BMP 2010, Table 5-1, page. 5-1, design event frequencies are specified. For side ditch, a 25-year storm event is the required design return period. For road culverts, a 100-year storm event is the required design return period. We will base our analysis on a 25-year design return period for catchment areas flowing directly into the blackbear subdivision drainage ditch, and we will base our analysis on a 100-year design return period for catchment areas flowing into the Silver Street Road Culvert. Per CBJ Manual of Storm Water BMP 2010, page. D-9, Basins with a time and concentration 10 minutes or less shall use the 10 minute intensity. Basins with a time of concentration greater than 10 minutes and less than 30 minutes shall interpolate between the 10 and 30 minute values. Rainfall intensity for the site was sourced from the NOAA Atlas 14, Point Precipitation Frequency Estimates, see Appendix E.

*The area currently contributing runoff was delineated in AutoCAD from aerial photos and 2014 Lidar Data provided by CBJ.

Appendix C

Runoff Coefficient

Runoff Coefficient				
Project:	Silver Acres Subdivision			
Owner:	Southeast Endeavors, LLC			
Date:	8/7/2024			
Prepared By:	Ethan Roemeling			
Checked By:	Lucas Chambers			

$$C_c = (C_1A_1 + C_2A_2)/A_t$$

C_c = composite runoff coefficient

$C_{1,2}$ = runoff coefficient for each area land cover type

A_t = total area (acres)

$A_{1,2}$ = areas of land cover types (acres)

*CBI manual of Storm Water BMP 2010, Table D-4, pg D-9

West Silver Street Sub-Basin (existing)				
Catchment Area	Total Basin	Pavement/ Roof	Lawn	Forest
Area (Acres)	11.05	2.52	1.08	7.45
Runoff Coefficient	0.33	0.9	0.25	0.15

East Silver Street Sub-Basin (existing)				
Catchment Area	Total Basin	Pavement/ Roof	Lawn	Forest
Area (Acres)	9.25	2.24	1.43	5.58
Runoff Coefficient	0.35	0.9	0.25	0.15


West Silver Acres Sub-Basin (post development)☒				
Catchment Area	Total Basin	Pavement/ Roof	Lawn	Forest
Area (Acres)	3.27	0.36	0.18	2.73
Runoff Coefficient	0.24	0.9	0.25	0.15

Center Silver Acres Sub-Basin (post development)☒				
Catchment Area	Total Basin	Pavement/ Roof	Lawn	Forest
Area (Acres)	1.41	0.21	0.10	1.10
Runoff Coefficient	0.27	0.9	0.25	0.15

Appendix D

Time of Concentration

Time of Concentration		
Project:	Silver Acres Subdivision	
Owner:	Southeast Endeavors, LLC	
Date:	8/7/2024	
Prepared By:	Ethan Roemeling	
Checked By:	Lucas Chambers	



$$T_c = T_1 + T_2 + \dots + T_n$$

$$T_t = L/60V$$

T_c = time of concentration (min)

T_t = travel time (min)

$T_{1,2}$ = travel time across separate flow path segments (min)

L = the distance of flow across a given segment (feet)

T_c = See Appendix D for calculations

$V = k_R \text{ Sqrt}(S_0)$ = average velocity (feet/sec) across land cover

k_R = time of concentration velocity factor

S_0 = slope of flow path (feet/feet)

*CBJ Manual of Storm Water BMP 2010, Table D-5, PG. D-10

West Silver Street Sub-Basin (existing)					
Description	Length (ft)	Kg	So (ft/ft)	V(ft/sec)	Tt (min)
DW culvert	24.4	20.0	0.005	1.41	0.29
Ditch	102.8	15.0	0.008	1.34	1.28
S-29	34.5	20.0	0.005	1.41	0.41
S-30	10.6	20.0	0.014	2.37	0.07
Ditch	132.4	15.0	0.008	1.34	1.64
S-2	33.5	20.0	0.008	1.79	0.31
Ditch	19.6	15.0	0.008	1.34	0.24
S-3	18.6	20.0	0.008	1.79	0.17
Ditch	59.5	15.0	0.010	1.50	0.66
S-5	34.7	20.0	0.010	2.00	0.29
Ditch	103.3	15.0	0.009	1.42	1.21
S-7	34.3	20.0	0.010	2.00	0.29
Ditch	103.1	15.0	0.014	1.77	0.97
S-10	33.6	20.0	0.014	2.37	0.24
Ditch	127.8	15.0	0.007	1.25	1.70
S-12	45.6	20.0	0.007	1.67	0.45
Ditch	82.6	15.0	0.005	1.06	1.30
S-15	44.5	20.0	0.005	1.41	0.52
Ditch	99.5	15.0	0.005	1.06	1.56
S-16	43.7	20.0	0.005	1.41	0.52
Ditch	103.2	15.0	0.005	1.06	1.62
S-19	36.4	20.0	0.005	1.41	0.43
Ditch	32.2	15.0	0.008	1.34	0.40
S-20	33.1	20.0	0.006	1.55	0.36
Ditch	213.9	15.0	0.007	1.25	2.84
S-10	14.5	20.0	0.004	1.26	0.19
Ditch	69.3	15.0	0.005	1.06	1.09
S-8	28.3	20.0	0.004	1.26	0.37
Ditch	106.9	15.0	0.005	1.06	1.68
S-7	28.6	20.0	0.004	1.26	0.38
Ditch	83.5	15.0	0.005	1.06	1.31
S-4	28.2	20.0	0.004	1.26	0.37
Ditch	26.8	15.0	0.005	1.06	0.42
S-2	27.6	20.0	0.004	1.26	0.36
Ditch	145.8	15.0	0.010	1.50	1.62
Rd Culvert	39.3	20.0	0.024	3.10	0.21
Surface Flow (forest)	151.93	2.5	0.110	0.83	3.05
				Tc=	30.83

East Silver Street Sub-Basin (existing)					
Description	Length (ft)	Kg	So (ft/ft)	V(ft/sec)	Tt (min)
DW culvert	34.3	20.0	0.005	1.41	0.40
Ditch	61.3	15.0	0.006	1.16	0.88
S-31	35.5	20.0	0.004	1.26	0.47
S-32	11.1	20.0	0.016	2.53	0.07
Ditch	115.3	15.0	0.014	1.77	1.08
S-1	37.2	20.0	0.014	2.37	0.26
Ditch	82.4	15.0	0.010	1.50	0.92
S-4	40.9	20.0	0.012	2.19	0.31
Ditch	68.3	15.0	0.009	1.42	0.80
S-6	33.4	20.0	0.009	1.90	0.29
Ditch	80.15	15.0	0.010	1.50	0.89
S-8	34.6	20.0	0.008	1.79	0.32
Ditch	25.2	15.0	0.008	1.34	0.31
S-9	34.2	20.0	0.008	1.79	0.32
Ditch	145.0	15.0	0.007	1.25	1.93
S-11	10.0	20.0	0.007	1.67	0.10
Ditch	126.6	15.0	0.007	1.25	1.68
S-14	38.3	20.0	0.007	1.67	0.38
Ditch	129.5	15.0	0.006	1.16	1.86
S-17	38.3	20.0	0.005	1.41	0.45
Ditch	48.9	15.0	0.006	1.16	0.70
S-18	40.4	20.0	0.005	1.41	0.48
Ditch	138.2	15.0	0.006	1.16	1.98
S-21	32.6	20.0	0.011	2.10	0.26
Ditch	54.5	15.0	0.008	1.34	0.68
S-22	32.7	20.0	0.010	2.00	0.27
Ditch	94.0	15.0	0.016	1.90	0.83
Surface Flow (lawn)	37.6	7.0	0.017	0.91	0.69
				Tc=	19.61

West Silver Acres Sub-Basin (post development)					
Description	Length (ft)	Kg	So (ft/ft)	V(ft/sec)	Tt (min)
Surface Flow (forest/meadow)	253.36	2.5	0.005	0.18	23.89
Driveway Culvert	32.61	20.0	0.005	1.41	0.38
Ditch	145.27	15.0	0.005	1.06	2.28
Driveway Culvert	25.1	20.0	0.005	1.41	0.30
Ditch	3.64	15.0	0.005	1.06	0.06
Driveway Culvert	28.72	20.0	0.005	1.41	0.34
Ditch	51.88	15.0	0.005	1.06	0.82
Driveway Culvert	46.67	20.0	0.005	1.41	0.55
Ditch	68.12	15.0	0.005	1.06	1.07
				Tc=	29.68

Center Silver Acres Sub-Basin (post development)					
Description	Length (ft)	Kg	So (ft/ft)	V(ft/sec)	Tt (min)
Paved Area	146.50	20.0	0.03	3.46	0.70
Ditch	83.01	15.0	0.005	1.06	1.30
Driveway Culvert	21.00	20.0	0.005	1.41	0.25
Ditch	2.31	15.0	0.005	1.06	0.04
Driveway Culvert	30.30	20.0	0.005	1.41	0.36
Ditch	6.05	15.0	0.005	1.06	0.10
Driveway Culvert	32.10	20.0	0.005	1.41	0.38
Ditch	245.05	15.0	0.005	1.06	3.85
				Tc=	6.97

Appendix E

Rainfall Intensity Data



NOAA Atlas 14, Volume 7, Version 2
Location name: Juneau, Alaska, USA*
Latitude: 58.3992°, Longitude: -134.6015°
Elevation: 50 ft**
 * source: ESRI Maps
 ** source: USGS



POINT PRECIPITATION FREQUENCY ESTIMATES

Sanja Perica, Douglas Kane, Sarah Dietz, Kazungu Maitaria, Deborah Martin, Sandra Pavlovic, Ishani Roy, Svetlana Stuefer, Amy Tidwell, Carl Trypaluk, Dale Unruh, Michael Yekta, Erica Betts, Geoffrey Bonnin, Sarah Heim, Lillian Hiner, Elizabeth Lilly, Jayashree Narayanan, Fenglin Yan, Tan Zhao

NOAA, National Weather Service, Silver Spring, Maryland
 and
 University of Alaska Fairbanks, Water and Environmental Research Center

[PF_tabular](#) | [PF_graphical](#) | [Maps_&_aerials](#)

PF tabular

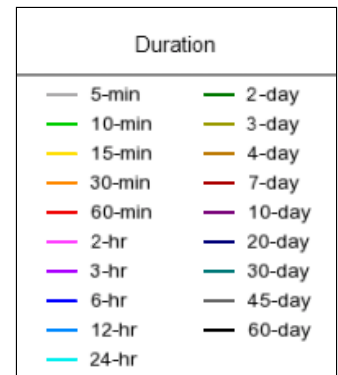
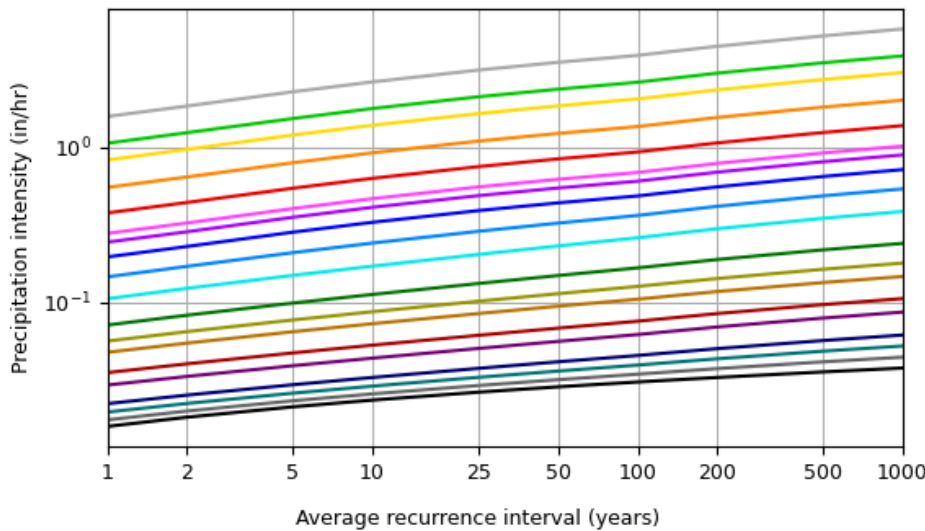
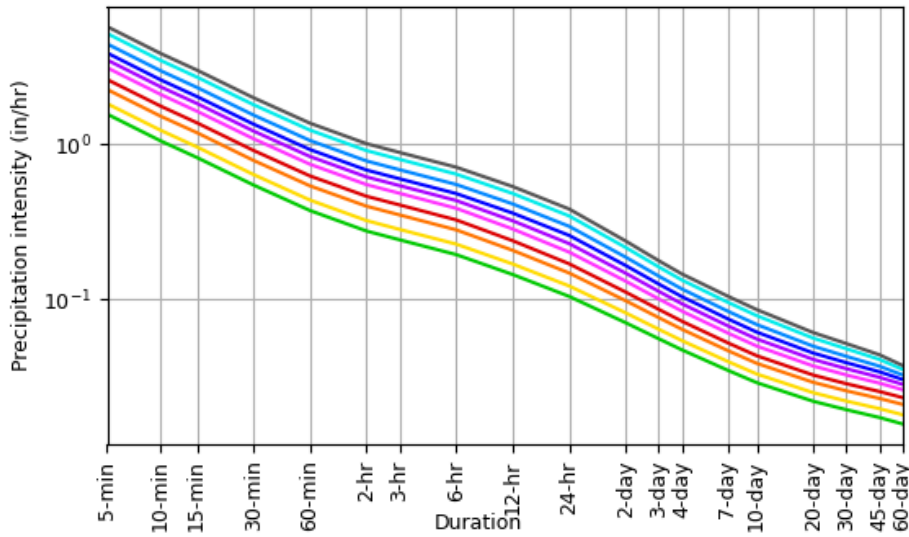
PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches/hour)¹										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	1.57 (0.834-1.37)	1.84 (1.43-2.41)	2.27 (1.73-3.05)	2.63 (1.96-3.60)	3.13 (2.28-4.40)	3.52 (2.51-5.04)	3.90 (2.72-5.70)	4.46 (3.06-6.65)	5.21 (3.48-7.94)	5.77 (3.79-8.96)
10-min	1.06 (0.834-1.37)	1.24 (0.960-1.63)	1.52 (1.16-2.05)	1.77 (1.32-2.43)	2.11 (1.53-2.96)	2.36 (1.68-3.38)	2.62 (1.83-3.82)	2.99 (2.05-4.46)	3.49 (2.33-5.33)	3.87 (2.54-6.01)
15-min	0.824 (0.652-1.07)	0.964 (0.748-1.27)	1.19 (0.904-1.60)	1.38 (1.03-1.89)	1.64 (1.19-2.31)	1.84 (1.31-2.64)	2.04 (1.42-2.98)	2.34 (1.60-3.48)	2.72 (1.82-4.16)	3.02 (1.98-4.69)
30-min	0.548 (0.432-0.710)	0.640 (0.498-0.842)	0.790 (0.600-1.06)	0.916 (0.682-1.26)	1.09 (0.792-1.53)	1.22 (0.870-1.75)	1.35 (0.946-1.98)	1.55 (1.06-2.31)	1.81 (1.21-2.76)	2.00 (1.32-3.11)
60-min	0.375 (0.296-0.486)	0.438 (0.341-0.576)	0.541 (0.411-0.728)	0.627 (0.467-0.860)	0.746 (0.542-1.05)	0.837 (0.596-1.20)	0.928 (0.649-1.36)	1.06 (0.728-1.58)	1.24 (0.829-1.89)	1.37 (0.902-2.13)
2-hr	0.276 (0.218-0.358)	0.323 (0.251-0.424)	0.400 (0.304-0.538)	0.463 (0.345-0.635)	0.551 (0.400-0.775)	0.618 (0.440-0.886)	0.684 (0.478-1.00)	0.783 (0.537-1.17)	0.914 (0.611-1.39)	1.01 (0.666-1.57)
3-hr	0.242 (0.191-0.314)	0.283 (0.220-0.372)	0.351 (0.266-0.472)	0.407 (0.303-0.558)	0.484 (0.351-0.681)	0.543 (0.386-0.778)	0.601 (0.419-0.878)	0.687 (0.471-1.02)	0.802 (0.537-1.22)	0.889 (0.584-1.38)
6-hr	0.194 (0.153-0.252)	0.227 (0.177-0.299)	0.281 (0.213-0.378)	0.326 (0.243-0.447)	0.387 (0.281-0.545)	0.435 (0.310-0.624)	0.482 (0.337-0.705)	0.552 (0.378-0.822)	0.644 (0.431-0.983)	0.714 (0.469-1.11)
12-hr	0.145 (0.114-0.187)	0.169 (0.131-0.222)	0.207 (0.157-0.279)	0.239 (0.178-0.328)	0.285 (0.207-0.401)	0.322 (0.229-0.462)	0.361 (0.252-0.527)	0.413 (0.283-0.616)	0.483 (0.323-0.737)	0.536 (0.352-0.832)
24-hr	0.104 (0.093-0.118)	0.122 (0.107-0.140)	0.148 (0.127-0.173)	0.169 (0.144-0.202)	0.202 (0.167-0.246)	0.229 (0.186-0.285)	0.259 (0.207-0.327)	0.296 (0.233-0.381)	0.346 (0.266-0.454)	0.383 (0.290-0.512)
2-day	0.070 (0.063-0.080)	0.082 (0.072-0.094)	0.098 (0.084-0.115)	0.111 (0.094-0.133)	0.131 (0.108-0.160)	0.147 (0.120-0.183)	0.165 (0.132-0.209)	0.187 (0.147-0.241)	0.216 (0.166-0.284)	0.238 (0.180-0.318)
3-day	0.055 (0.049-0.063)	0.064 (0.056-0.073)	0.076 (0.065-0.089)	0.086 (0.073-0.103)	0.100 (0.083-0.123)	0.112 (0.091-0.140)	0.125 (0.100-0.159)	0.141 (0.111-0.181)	0.162 (0.125-0.213)	0.178 (0.134-0.237)
4-day	0.047 (0.042-0.053)	0.054 (0.047-0.062)	0.064 (0.055-0.075)	0.072 (0.061-0.086)	0.084 (0.069-0.102)	0.093 (0.076-0.116)	0.104 (0.083-0.131)	0.116 (0.091-0.149)	0.133 (0.102-0.175)	0.145 (0.110-0.194)
7-day	0.034 (0.031-0.039)	0.039 (0.035-0.045)	0.046 (0.040-0.054)	0.052 (0.044-0.062)	0.060 (0.050-0.074)	0.067 (0.055-0.084)	0.075 (0.060-0.094)	0.084 (0.066-0.108)	0.095 (0.073-0.126)	0.105 (0.079-0.140)
10-day	0.029 (0.025-0.032)	0.033 (0.029-0.037)	0.038 (0.033-0.045)	0.043 (0.036-0.051)	0.050 (0.041-0.061)	0.055 (0.045-0.069)	0.061 (0.049-0.077)	0.068 (0.054-0.088)	0.078 (0.060-0.103)	0.085 (0.065-0.114)
20-day	0.022 (0.019-0.024)	0.025 (0.022-0.028)	0.029 (0.025-0.034)	0.032 (0.027-0.038)	0.037 (0.030-0.045)	0.041 (0.033-0.050)	0.045 (0.036-0.056)	0.049 (0.039-0.064)	0.056 (0.043-0.073)	0.061 (0.046-0.081)
30-day	0.019 (0.017-0.022)	0.022 (0.019-0.025)	0.025 (0.022-0.030)	0.028 (0.024-0.034)	0.032 (0.026-0.039)	0.035 (0.029-0.044)	0.039 (0.031-0.049)	0.042 (0.033-0.055)	0.048 (0.037-0.063)	0.051 (0.039-0.069)
45-day	0.017 (0.015-0.019)	0.019 (0.017-0.022)	0.022 (0.019-0.026)	0.025 (0.021-0.030)	0.028 (0.023-0.035)	0.031 (0.025-0.039)	0.034 (0.027-0.043)	0.037 (0.029-0.047)	0.041 (0.031-0.053)	0.043 (0.033-0.058)
60-day	0.015 (0.014-0.017)	0.018 (0.015-0.020)	0.021 (0.018-0.024)	0.023 (0.019-0.027)	0.026 (0.021-0.031)	0.028 (0.023-0.035)	0.030 (0.024-0.038)	0.032 (0.025-0.041)	0.035 (0.027-0.046)	0.037 (0.028-0.049)

¹ Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.

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PF graphical

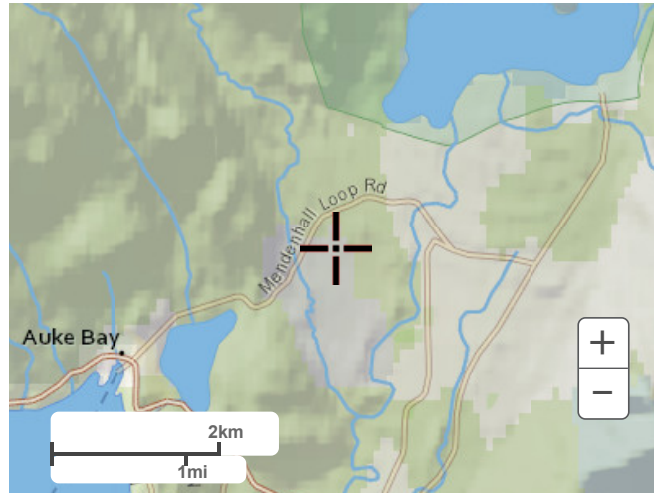
PDS-based intensity-duration-frequency (IDF) curves
Latitude: 58.3992°, Longitude: -134.6015°



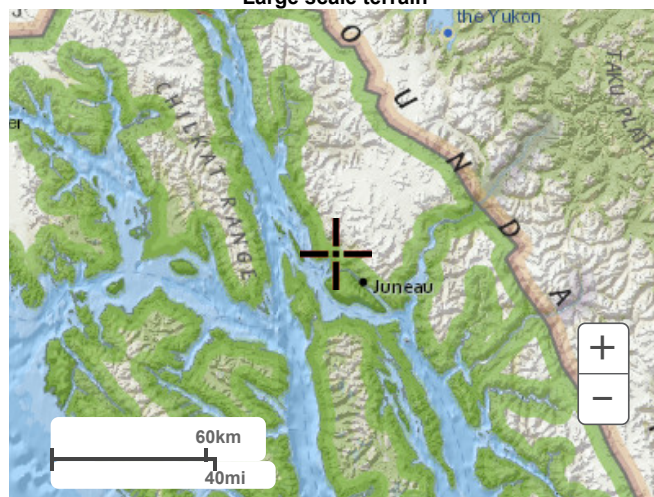
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Maps & aerals

Small scale terrain



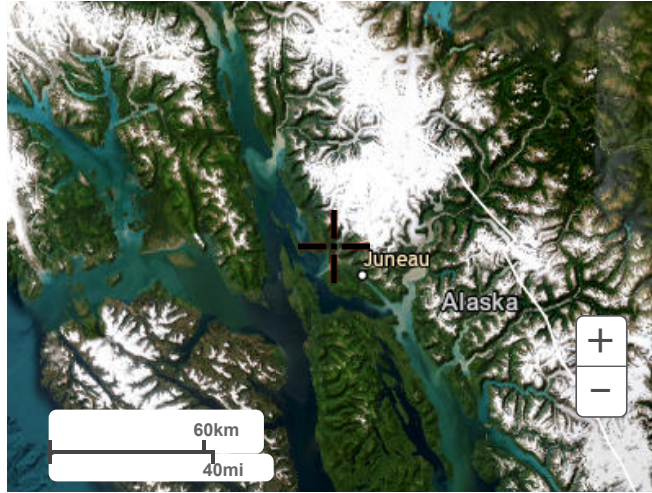
Large scale terrain



Large scale map



Large scale aerial



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[US Department of Commerce](#)
[National Oceanic and Atmospheric Administration](#)
[National Weather Service](#)
[National Water Center](#)
1325 East West Highway
Silver Spring, MD 20910
Questions?: HDSC.Questions@noaa.gov

[Disclaimer](#)

Appendix F

Conveyance Capacity

Existing Conveyance Capacities		
Project:	Silver Acres Subdivision	
Owner:	Southeast Endeavors, LLC	
Date:	8/8/2024	
Prepared By:	Ethan Roemeling	
Checked By:	Lucas Chambers	



The following equation was used to calculate the capacity of the existing Mendenhall Loop uphill roadside ditch and were obtained from "Urban Drainage Design Manual: Hydraulic Engineering Circular No. 22, Third Edition". Coefficients were sublimented from the CBJ Stormwater Manual to refelct local standards.

$$Q = (K/n) \times A \times R^{0.67} \times S^{0.5}$$

- Q = discharge rate in ft³ /sec*
- K = coefficient for English units (1.486)*
- n = Manning's coefficient of roughness, obtained from Table D-10, Page D-19, of the CBJ Stormwater Manual*
- A = cross sectional area in ft², from design surface*
- R = hydraulic radius, from design surface*
- S = slope, from design surface*

Silver Street Road Culvert (18" CPP)

	K	n	A	R	S	=	
Q (cfs)	1.486	0.014	1.77	0.375	0.006		7.54

Existing Cross Culvert; Slope = 0.60%, n = 0.014. The Manning's n value of 0.014 comes from Table 5-3 (A), slope assumed minimum flow.

Silver Acres West Driveway Culverts (24" CPP)

	K	n	A	R	S	=	
Q (cfs)	1.486	0.014	3.14	0.5	0.005		14.81

Existing Drainage Ditch; Slope = 0.50%, n = 0.014. The Manning's n value of 0.014 comes from Table 5-3 (A), slope assumed minimum flow.

Silver Acres West Drainage Ditch

	K	n	A	R	S	=	
Q (cfs)	1.486	0.027	7.86	0.89	0.005		28.29

Existing Drainage Ditch; Slope = 0.5%, n = 0.027. The Manning's n value of 0.027 comes from Table D-10 (A.a.3), slope assumed minimum flow.

Silver Acres Center Drainage Ditch

	K	n	A	R	S	=	
Q (cfs)	1.486	0.027	12.83	1.13	0.005		54.19

Existing Drainage Ditch; Slope = 0.5%, n = 0.027. The Manning's n value of 0.027 comes from Table D-10 (A.a.3), slope assumed minimum flow.



Planning Commission

(907) 586-0715

PC_Comments@juneau.gov

www.juneau.org/community-development/planning-commission

155 Heritage Way • Juneau, AK 99801

**PLANNING COMMISSION
NOTICE OF DECISION**

Date: August 5, 2024

File No.: SMP2024 0002

Shawn Kantola
8287C Garnet Street
Juneau AK, 99801
shawnkantola@yahoo.com

Proposal: Preliminary plat review for a subdivision that will result in ten (10) lots. The lots will consist of three (3) panhandle lots and one (1) private shared access serving four (4) lots. Additionally, Lots 9 & 10 may be further subdivided into private shared access subdivisions in the future.

Property Address: Silver Street

Legal Description: BLACK BEAR LT 3

Parcel Code No.: 4B2601020043

Hearing Date: May 28th, 2024

The Planning Commission, at its regular public meeting, adopted the analysis and findings listed in the attached memorandum dated May 29, 2024, and approved this preliminary plat with the following conditions and plat notes:

Conditions:

1. Prior to approval of the final plat, Certification from the CBJ Treasurer is required showing that all real property taxes and special assessments levied against the property for the year of recording have been paid.
2. Prior to approval of a final plat, the applicant shall submit a complete set of construction plans for all required improvements to the Community Development Department for review by the director of Engineering & Public Works for compliance with CBJ 49.35.140.
3. Prior to approval of the final plat, the applicant has constructed all required improvements or provided a financial guarantee in accordance with CBJ 49.55.010.
4. Prior to approval of final plat, CDD will work with the developer to develop a plat note that will care for public access along the existing utility easement.

Shawn Kantola
File No.: SMP2024 0002
August 5, 2024
Page 2 of 3

Plat notes:

1. LOTS 6, 7, 8, 9 AND 10 MUST HAVE A 15 FOOT SIDE YARD SETBACK FOR SIDE YARDS ABUTTING BLACK BEAR LOT 1.
2. WETLANDS MAY EXIST ON PARTS OF THIS SUBDIVISION. SPECIAL REGULATIONS MAY APPLY.
3. ACCESS SUBJECT TO CBJ 49.15.423 'PANHANDLE LOTS'. ACCESS TO LOTS 2 SHALL BE RESTRICTED TO A SINGLE DRIVEWAY APRON IN THE RIGHT OF WAY SHARED WITH LOT 1 OR LOT 3, UNLESS A SECOND DRIVEWAY TO LOT 2 IS APPROVED BY CBJ. USE OF THE ACCESS EASEMENT DELINEATED ON THIS PLAT IS SUBJECT TO THE REQUIREMENTS SET FORTH IN THE COMMON DRIVEWAY ACCESS, JOINT USE AND HOLD HARMLESS AGREEMENT RECORDED WITH THIS SUBDIVISION.
4. LOTS 1, 3 AND 8 ARE A PANHANDLE SUBDIVISION. AT THE TIME OF PLAT RECORDING, FURTHER SUBDIVISION OF LOTS 1, 3 AND 8 IS SUBJECT TO CBJ 49.15.423 'PANHANDLE LOTS'. SEE THE CITY AND BOROUGH OF JUNEAU LAND USE CODE FOR CURRENT REGULATIONS.
5. ACCESS SUBJECT TO CBJ 49.35 ARTICLE II DIVISION II 'PRIVATE SHARED ACCESS' REQUIREMENTS. ACCESS TO LOTS 4, 5, 6 AND 7 SHALL BE RESTRICTED TO A SINGLE DRIVEWAY IN THE SHARED ACCESS EASEMENT. USE OF THE ACCESS EASEMENT DELINEATED ON THIS PLAT IS SUBJECT TO THE REQUIREMENTS SET FORTH IN THE COMMON DRIVEWAY ACCESS, JOINT USE AND HOLD HARMLESS AGREEMENT RECORDED WITH THIS SUBDIVISION.
6. AT THE TIME OF PLAT RECORDING, DEVELOPMENT, INCLUDING FURTHER SUBDIVISION OR USE, OF LOTS 4, 5, 6 AND 7 IN THIS SUBDIVISION IS SUBJECT TO CBJ 49.35 ARTICLE II DIVISION II 'PRIVATE SHARED ACCESS'. SEE THE CITY AND BOROUGH OF JUNEAU LAND USE CODE FOR CURRENT REGULATIONS.
7. THE ON- LOT STORMWATER RUNOFF DRAINAGE IS ACCEPTABLE AS EXISTS BETWEEN THE PLATTED LOTS OF THIS SUBDIVISION AND MAY NOT BE MODIFIED UNLESS PERMITTED BY CBJ ENGINEERING PURSUANT TO CBJ 19.12.120.1 BEST MANAGEMENT PRACTICES.

Attachment: May 29, 2024 memorandum from David Peterson, Community Development, to the CBJ Planning Commission regarding SMP2024 0002.

This Notice of Decision does not authorize any construction. Prior to starting any project, it is the applicant's responsibility to obtain the required building permits.

Shawn Kantola
File No.: SMP2024 0002
August 5, 2024
Page 3 of 3

This Notice of Decision constitutes a final decision of the CBJ Planning Commission. Appeals must be brought to the CBJ Assembly in accordance to CBJ 01.50.030. Appeals must be filed by 4:30 P.M. on the day twenty days from the date the decision is filed with the City Clerk, pursuant to CBJ 01.50.030(c). Any action by the applicant in reliance on the decision of the Planning Commission shall be at the risk that the decision may be reversed on appeal (CBJ 49.20.120).

Effective Date: The permit is effective upon approval by the Commission, May 28, 2024.

Expiration Date: The permit will expire five (5) years after the effective date, or May 28, 2029 if no Building Permit has been issued and substantial construction progress has not been made in accordance with the plans for which the subdivision permit was authorized or no final plat has been approved. Application for permit extension must be submitted thirty days prior to the expiration date.

mandy cole
Mandy Cole, Chair
Planning Commission

8/5/2024

Date

Nicoletta Chappell

Filed With City Clerk

8/8/2024

Date

cc: Plan Review

NOTE: The Americans with Disabilities Act (ADA) is a federal civil rights law that may affect this subdivision. ADA regulations have access requirements above and beyond CBJ - adopted regulations. Owners and designers are responsible for compliance with ADA. Contact an ADA - trained architect or other ADA trained personnel with questions about the ADA: Department of Justice (202) 272-5434, or fax (202) 272-5447, NW Disability Business Technical Center (800) 949-4232, or fax (360) 438-3208.



DATE: May 20, 2024
TO: Mandy Cole, Chair, Planning Commission
BY: David Matthew Peterson, Planner II *[Signature]*
THROUGH: Jill Lawhorne, Director, AICP

PROPOSAL: Applicant requests a preliminary plat review for a subdivision that will result in ten (10) lots. The lots will consist of three (3) panhandle lots and one (1) private shared access serving four (4) lots. Additionally, Lots 9 & 10 may be further subdivided into private shared access subdivisions in the future.

STAFF RECOMMENDATION: Approval with conditions

KEY CONSIDERATIONS FOR REVIEW:

- Considered Major Subdivision due to future phases.
- Lots 9 & 10 intended to be Private Shared Access (PSA) Subdivisions at later date.
- Silver Street will be extended and a cul-de-sac constructed.

GENERAL INFORMATION

Property Owner	Shawn Kantola
Applicant	Shawn Kantola
Property Address	Silver Street
Legal Description	BLACK BEAR LT 3
Parcel Number	4B2601020043
Zoning	D3
Lot Size	435,600 square feet/10.00 acres
Water/Sewer	CBJ water/sewer provided
Access	Silver Street
Existing Land Use	Vacant
Associated Applications	None

ALTERNATIVE ACTIONS:

1. **Amend:** require additional conditions, or delete or modify the recommended conditions.
2. **Deny:** deny the permit and adopt new findings for items 1-6 below that support the denial.
3. **Continue:** to a future meeting date if determined that additional information or analysis is needed to make a decision, or if additional testimony is warranted.

ASSEMBLY ACTION REQUIRED:

Assembly action is not required for this permit.

STANDARD OF REVIEW:

- Quasi-judicial decision
- Requires five (5) affirmative votes for approval
- Code Provisions:
 - CBJ 49.15.402
 - CBJ 49.15.411
 - CBJ 49.35
 - CBJ 49.80

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SITE FEATURES AND ZONING



SURROUNDING ZONING AND LAND USES	
North (D3)	Residential
South (D1)	Vacant
East (D1)	Vacant
West (D1)	Vacant

SITE FEATURES	
Anadromous	N/A
Flood Zone	N/A, 02110C110C1238E
Hazard	N/A
Hillside	N/A
Wetlands	N/A
Parking District	N/A
Historic District	N/A
Overlay Districts	Mining & Exploration Surface Activities Exclusion District.

BACKGROUND INFORMATION

Project Description – The applicant is proposing a subdivision that will result in ten (10) lots. The lots will consist of three (3) panhandle lots and one (1) private shared access serving four (4) lots. Additionally, Lots 9 & 10 may be further subdivided into private shared access subdivisions in the future.

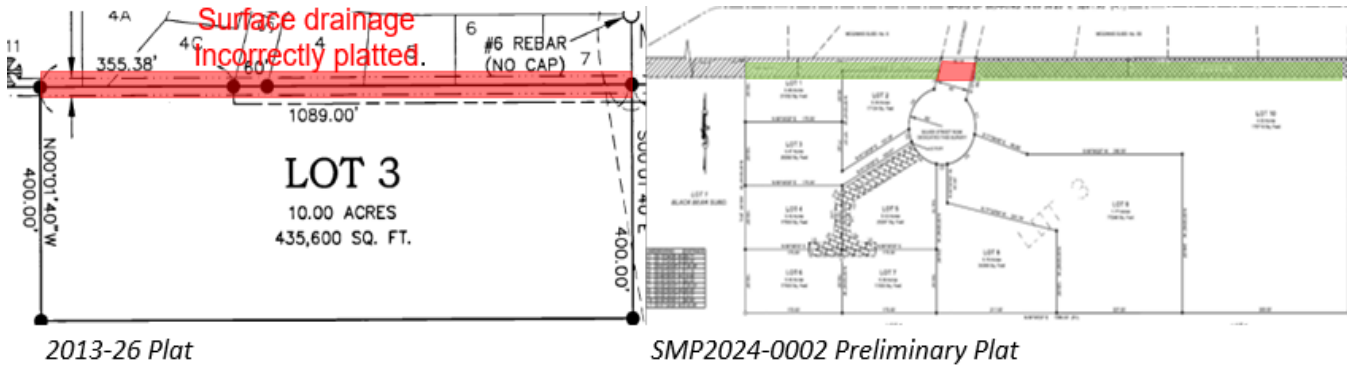
The Director is classifying this as a major subdivision due to phasing as the subdivision would result in a potential 16 lots, or more.

A surface drainage easement was incorrectly platted. Per Book 321 page 493 refers to the easement as being south of the common boundary. Plat 2013-26 shows it as straddling the property line, in error (image below, left). However, property owners did not authorize the easement (Lots 4A, 4C, 4, 5, 6, and 7). On the submitted Preliminary Plat, the surface drainage easement has been relocated to be entirely on the Silver Acres Subdivision, while a portion that would otherwise go through the Silver Street ROW has been vacated.

NOTE 1: Developer will need to address how Lot 1 will maintain access through the surface drainage easement.

NOTE 2: There is a CBJ trail for the purposes of providing access to a pump station. This is not a Parks and Recreation owned trail. The neighbors in the area use the trail to access wetland areas beyond. Neighbors have expressed concern over the trail being preserved for their continued use.

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Background –

The table below summarizes relevant history for the lot and proposed development.

Item	Summary
2023 – Warranty Deed	Warranty Deed which transferred Lot 3, Black Bear Subdivision from the Grantor, Southeast Alaska Regional Health Consortium, to Shawn Kantola and Heidi Kantola.
2014 - Zoning Ordinance	An Ordinance Amending the Official Zoning Map of the City and Borough to change the Zoning of Black Bear, Lot 3, Located at the South End of Silver Street in the Northwest Mendendhall Valley, from D1 to D3.
2013 - Plat	A subdivision of the Homestead of Bill Sakieff into 3 lots creating the Black Bear Subdivision. This plat has the incorrectly conveyed 30-foot surface drainage easement.
2006 – Zoning Map	Zoning map designating the Lot as D1.
1989 – Surface Drainage Easement	Access easement describing a 30-foot strip of land immediately adjacent, South of and parallel to the common property line.
1945 US Survey No. 2551	Plat establishing the Homestead of Bill Sakieff. This would later become the lot that would be subdivided to create Lot 3.

ANALYSIS

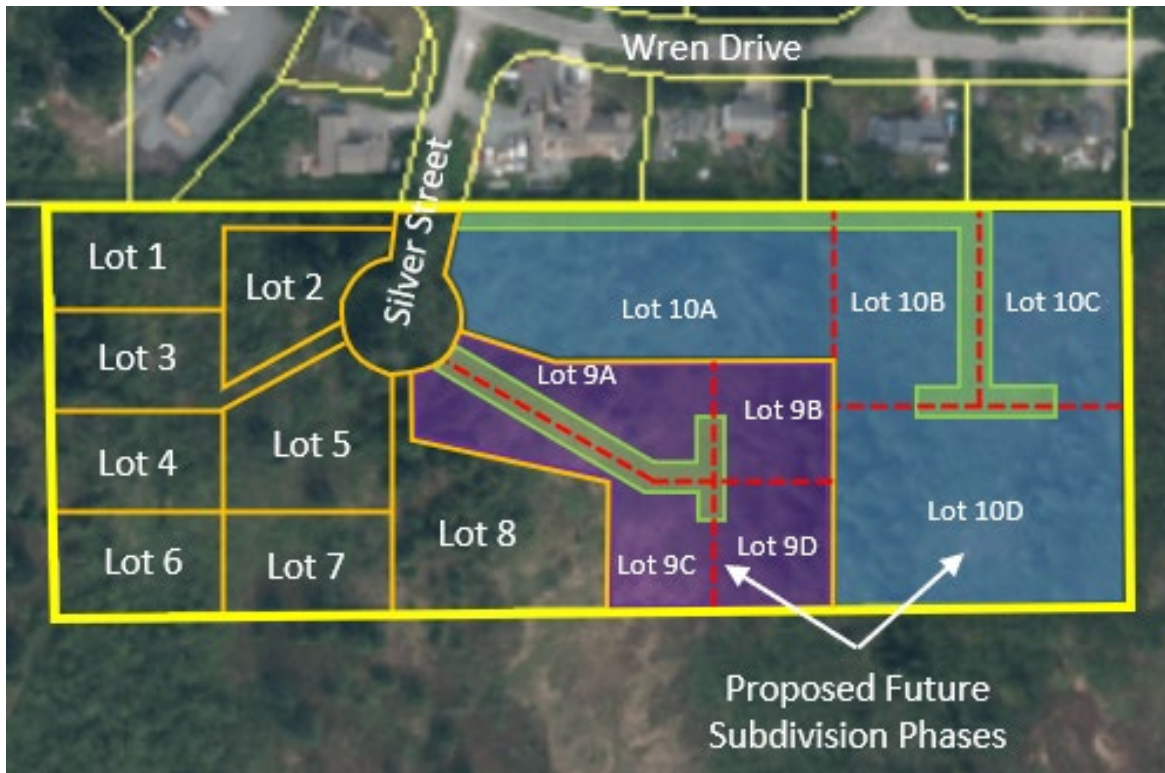
Phasing – Lot 3 was rezoned in October of 2014 from D1 to D3 with Zoning Ordinance 2014-46 (**Attachment I**). The D3 minimum lot size is 12,000 square feet. New Lots, 9 and 10, would have ample space to be subdivided into four (4) or more lots. The Developer intends to subdivide Lots 9 and 10 in the future. Proposed Lot 9 has 77,246 square feet/1.77 acres, and Lot 10 has 175,716 square feet/4.03 acres (**Attachment E**).

The Commission shall hear and decide the case per CBJ 49.15.400(a) – Purpose and applicability. The purpose of this article is to facilitate the subdivision of land to promote the public health, safety, and general welfare of the citizens of the CBJ in accordance with the Comprehensive Plan of the City and Borough of Juneau, Alaska.

And per CBJ 49.15.402(a) - A major subdivision permit is required for subdivisions resulting in 14 or more lots.

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It should be noted that the proposed sketch plat found in **Attachment E** will require revision and is only demonstrates that enough land is present to further subdivide. Additionally, it is being recommended that the Commission consider advising the developer to relocate the Private Shared Access (PSA) for future Lots 10A, B, C, and D onto the developer's property instead of planning a road directly behind existing housing.



Minimum Lot Dimensions – The proposed lots as shown on the preliminary plat meet or exceed the dimensional standards listed in CBJ 49.25.400. The CBJ 49.25.400 Dimensional Standards are listed below.

Dimensional Standard	Requirement	Met?
Minimum Lot Size, Square Feet	12,000	<input checked="" type="checkbox"/> Meets/Exceeds <input type="checkbox"/> Not met
Minimum Lot Width, Lineal Feet	100	<input checked="" type="checkbox"/> Meets/Exceeds <input type="checkbox"/> Not met

Access to the proposed subdivision will be through a new cul-de-sac at the end of the existing Silver Street stub. Per 49.15.421, if a proposed lot fronts on a cul-de-sac or a similar sharply curved right-of-way and the commission for major subdivisions makes a determination that meeting minimum lot width at the front building line in accordance with the table of dimensional standards in CBJ 49.25.400 is impractical, the minimum width may be reduced as necessary to achieve a reasonable lot configuration.

It should be noted that in D3 zoning typically has four to five (4-5) lots fronting a cul-de-sac. There are two instances where nine (9) lots are fronting a cul-de-sac in a D5 zoned neighborhood. This cul-de-sac will have the greatest number of lots to be accessed by a cul-de-sac.

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Lot #	Lot Type	Lot Frontage in Linear Feet	Lot Size in Square Feet
1	Panhandle	20.71	21,032
2	Standard	114.16	17,104
3	Panhandle	20.76	20,292
4	Private Shared Access	N/A	17,500
5	Standard	58.59	23,297
6	Private Shared Access	N/A	17,500
7	Private Shared Access	N/A	17,000
8	Panhandle	20.09	34,369
9	Standard	71.72	77,246
10	Standard	114.16	175,716

Setbacks – Per 49.25.400, Note 3, of the Table of Dimensional Standards: Where one district abuts another, the greater of the two setbacks is required for both uses on the common property line.

Lot 3, zoned D3, is bound on three (3) sides by a property that is zoned D1, and the D1 setbacks apply along these shared lot lines. The only difference between D3 and D1 zoning applies to the side yard setbacks which are 15 feet for D1 zoning versus 10 feet in D3 zones.



Condition: N/A

PLAT NOTE: N/A

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Density – The table below demonstrates how many dwelling units each lot can accommodate after the proposed subdivision has been completed.

All lots exceed 125 percent of the minimum lot size for the zoning district, so each single-family home built on these lots could have an Accessory Apartment.

Lot Number	Lot Square Footage	Applicable Square Footage	Maximum Number of Dwelling Units
1	21,032	175%	One (1) Duplex, or One (1) Single Family Detached Dwelling with an Accessory Apartment not to exceed 600 square feet.
2	17,104	143%	One (1) Single Family Detached Dwelling with an Accessory Apartment not to exceed 600 square feet.
3	20,292	169%	One (1) Duplex, or one (1) Single Family Detached Dwelling with an Accessory Apartment not to exceed 600 square feet.
4	17,500	146%	One (1) Single Family Detached Dwelling While Lot 4 has the lot square footage to accommodate a duplex, private shared access subdivisions limit lots to a single-family structure and an accessory apartment.
5	23,297	194%	One (1) Single Family Detached Dwelling While Lot 5 has the lot square footage to accommodate a duplex, private shared access subdivisions limit lots to a single-family structure and an accessory apartment.
6	17,500	146%	One (1) Single Family Detached Dwelling While Lot 6 has the lot square footage to accommodate a duplex, private shared access subdivisions limit lots to a single-family structure and an accessory apartment.
7	17,000	142%	One (1) Single Family Detached Dwelling While Lot 7 has the lot square footage to accommodate a duplex, private shared access subdivisions limit lots to a single-family structure and an accessory apartment.
8	34,369	286%	One (1) Duplex, or two (2) Single Family Detached Dwellings each with an Accessory Apartment not to exceed 1,000 square feet or 50% of the main dwelling square footage.

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Lot Number	Lot Square Footage	Applicable Square Footage	Maximum Number of Dwelling Units
9	77,246	644%	One (1) Duplex, or two (2) Single Family Detached Dwellings each with an Accessory Apartment not to exceed 1,000 square feet or 50% of the main dwelling square footage.
9A	23,249	194%	One (1) Single Family Detached Dwelling While Lot 9A has the lot square footage to accommodate a duplex, private shared access subdivisions limit lots to a single-family structure and an accessory apartment.
9B	13,632	114%	One (1) Single Family Detached Dwelling.
9C	25,726	214%	One (1) Single Family Detached Dwelling While Lot 9C has the lot square footage to accommodate a duplex, private shared access subdivisions limit lots to a single-family structure and an accessory apartment.
9D	14,638	122%	One (1) Single Family Detached Dwelling.
10	175,716	1,464%	One (1) Duplex, or two (2) Single Family Detached Dwellings each with an Accessory Apartment not to exceed 1,000 square feet or 50% of the main dwelling square footage.
10A	55,713	464%	One (1) Single Family Detached Dwelling While Lot 10A has the lot square footage to accommodate a duplex, private shared access subdivisions limit lots to a single-family structure and an accessory apartment.
10B	29,988	250%	One (1) Single Family Detached Dwelling While Lot 10B has the lot square footage to accommodate a duplex, private shared access subdivisions limit lots to a single-family structure and an accessory apartment.
10C	30,003	250%	One (1) Single Family Detached Dwelling While Lot 10C has the lot square footage to accommodate a duplex, private shared access subdivisions limit lots to a single-family structure and an accessory apartment.
10D	60,013	500%	One (1) Single Family Detached Dwelling While Lot 10D has the lot square footage to accommodate a duplex, private shared access subdivisions limit lots to a single-

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Lot Number	Lot Square Footage	Applicable Square Footage	Maximum Number of Dwelling Units
			family structure and an accessory apartment.

Under the current private shared access subdivision code, lots 9 and 10 could be subdivided and create six more lots accommodating single-family structures, each with an ADU.

Habitat – Check with the U.S. Fish and Wildlife on the presence of eagle nests in the area. The presence of eagle nests may impact construction scheduling. No known anadromous waterbodies are on the subject parcel, or within 50 feet.

Condition: N/A

Plat Note: WETLANDS MAY EXIST ON PARTS OF THIS SUBDIVISION. SPECIAL REGULATIONS MAY APPLY.

Hazard Zones – No recorded hazards in CBJ record.

Condition: N/A

Plat Note: N/A

LOT DESIGN

Panhandle Lots – Proposed Lots 1, 3, and 8 will be panhandle lots. All panhandle lots adhere to the requirements set forth in Title 49, Section 49.15.423.

Standard	Requirement	Met?	Conditions and Plat Notes
CBJ 49.15.423(a)(1)(A) Dimensional Requirements	The front and panhandle lots must meet all dimensional and area requirements.	<input checked="" type="checkbox"/> Meets/Exceeds <input type="checkbox"/> Not met	
CBJ 49.15.423(a)(1)(B) Panhandle Width	No part of the panhandle shall be less than 20 feet in width.	<input checked="" type="checkbox"/> Meets/Exceeds <input type="checkbox"/> Not met	
CBJ 49.15.423(a)(1)(C) Panhandle Length	The panhandle portion of the lot shall not be longer than 300 feet in D1 zones, and one and one-half times the minimum lot depth in other residential zoning districts.	<input checked="" type="checkbox"/> Meets/Exceeds <input type="checkbox"/> Not met	
CBJ 49.15.423(a)(1)(D) Structures Prohibited	No buildings are allowed within the panhandle portion of the lot.	<input checked="" type="checkbox"/> Meets/Exceeds <input type="checkbox"/> Not met	
CBJ 49.15.423(a)(1)(E) Lot Depth	In a D1 zoning district, 30 feet of the width of the	<input checked="" type="checkbox"/> Meets/Exceeds <input type="checkbox"/> Not met	Not applicable.

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Standard	Requirement	Met?	Conditions and Plat Notes
	panhandle of the rear lot may be used in determining the width of the front lot.		
CBJ 49.15.423(a)(1)(F) Lot Width	The lot width for the panhandle lot shall be the distance between its side lot lines measured behind the back lot line of the front lot.	<input checked="" type="checkbox"/> Meets/Exceeds <input type="checkbox"/> Not met	
CBJ 49.15.423(a)(3)(A) Shared Driveway	Access for the lots shall be located in the panhandle. A lot fronting a right-of-way may have a separate and additional access if approved by the government entity that controls rights-of-way. Access to each lot shall be designated on the plat in the form of an easement.	<input checked="" type="checkbox"/> Meets/Exceeds <input type="checkbox"/> Not met	
CBJ 49.15.423(a)(3)(C)/(D) Parking	A parking plan is required showing the feasibility of off-street parking – no back-out parking is allowed unless approved by the Director.	<input checked="" type="checkbox"/> Meets/Exceeds <input type="checkbox"/> Not met	
CBJ 49.15.423(a)(3)(E) Easement and Maintenance Agreement	The applicant has provided an easement for all common access and parking areas and a maintenance agreement will be recorded with the final plat.	<input checked="" type="checkbox"/> Meets/Exceeds <input type="checkbox"/> Not met	
CBJ 49.15.423(a)(3)(F)	The applicant has demonstrated that any portion of the driveway not located in a public right-of-way can comply with emergency service access requirements. A profile of the proposed driveway was included with the application.	<input checked="" type="checkbox"/> Meets/Exceeds <input type="checkbox"/> Not met	

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Standard	Requirement	Met?	Conditions and Plat Notes
CBJ 49.15.423(a)(3)(H)	The portion of the panhandle in the right-of-way, or the first 20 feet from the edge of the public roadway, has been paved, whichever length is greater.	<input checked="" type="checkbox"/> Meets/Exceeds <input type="checkbox"/> Not met	

TRAFFIC

Traffic – According to CBJ 49.40.300(2) a traffic impact analysis IS NOT required.

Use	Average Daily Trips (ADT)	Number of Possible Dwellings	Total ADT
Single Family Residential (210)	9.52	19	180.88
Apartment (220)	6.65	4	26.6
Total ADTs:			207.48

ACCESS AND PUBLIC IMPROVEMENTS

Access – Per CBJ 49.35.250(a), staff has determined that the primary access to the subdivision is Silver Street. The applicant has demonstrated that Lots 1, 2, 3, 4, 8,9, and 10 will have direct and practical access to a new cul-de-sac public right-of-way through the frontage of the lot, as required by CBJ 49.35.250(b). Lots 4, 5, 6, and 7 will have a Private Shared Access to Silver Street per the standards outlined in 49.35.262.

Lot Number	Primary access
1	Silver Street
2	Silver Street
3	Silver Street
4	Private Shared Access to Silver Street
5	Private Shared Access to Silver Street
6	Private Shared Access to Silver Street
7	Private Shared Access to Silver Street
8	Silver Street
9	Silver Street
10	Silver Street

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Conditions: N/A

Plat notes:

ACCESS SUBJECT TO CBJ 49.15.423 'PANHANDLE LOTS'. ACCESS TO LOTS 2 SHALL BE RESTRICTED TO A SINGLE DRIVEWAY APRON IN THE RIGHT OF WAY SHARED WITH LOT 1 OR LOT 3, UNLESS A SECOND DRIVEWAY TO LOT 2 IS APPROVED BY CBJ. USE OF THE ACCESS EASEMENT DELINEATED ON THIS PLAT IS SUBJECT TO THE REQUIREMENTS SET FORTH IN THE COMMON DRIVEWAY ACCESS, JOINT USE AND HOLD HARMLESS AGREEMENT RECORDED WITH THIS SUBDIVISION.

LOTS 1, 2 AND 3 ARE A PANHANDLE SUBDIVISION. AT THE TIME OF PLAT RECORDING, FURTHER SUBDIVISION OF LOTS 4A and 4B IS SUBJECT TO CBJ 49.15.423 'PANHANDLE LOTS'. SEE THE CITY AND BOROUGH OF JUNEAU LAND USE CODE FOR CURRENT REGULATIONS.

ACCESS SUBJECT TO CBJ 49.35 ARTICLE II DIVISION II 'PRIVATE SHARED ACCESS' REQUIREMENTS. ACCESS TO LOTS 4, 5, 6 AND 7 SHALL BE RESTRICTED TO A SINGLE DRIVEWAY IN THE SHARED ACCESS EASEMENT. USE OF THE ACCESS EASEMENT DELINEATED ON THIS PLAT IS SUBJECT TO THE REQUIREMENTS SET FORTH IN THE COMMON DRIVEWAY ACCESS, JOINT USE AND HOLD HARMLESS AGREEMENT RECORDED WITH THIS SUBDIVISION.

AT THE TIME OF PLAT RECORDING, DEVELOPMENT, INCLUDING FURTHER SUBDIVISION OR USE, OF LOTS 4, 5, 6 AND 7 IN THIS SUBDIVISION IS SUBJECT TO CBJ 49.35 ARTICLE II DIVISION II 'PRIVATE SHARED ACCESS'. SEE THE CITY AND BOROUGH OF JUNEAU LAND USE CODE FOR CURRENT REGULATIONS.

CBJ 49.35.240 Table of Roadway Construction Standards –

Condition: Prior to approval of the final plat, the applicant has constructed all required improvements or provided a financial guarantee in accordance with CBJ 49.55.010.

Plat Note: N/A

ADTs	TIA	Sidewalks	Travel Way Width	Street Lights	ROW Width	Paved	Publicly Maintained
207.48	No	No	22 foot	No	60 foot	Yes	Yes

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Drainage – An Engineered Drainage Report has been submitted and is being reviewed by CBJ’s General Engineering Department. (**Attachment D**).

Condition: NA

Plat Note:

THE ON- LOT STORMWATER RUNOFF DRAINAGE IS ACCEPTABLE AS EXISTS BETWEEN THE PLATTED LOTS OF THIS SUBDIVISION AND MAY NOT BE MODIFIED UNLESS PERMITTED BY CBJ ENGINEERING PURSUANT TO CBJ 19.12.120.1 BEST MANAGEMENT PRACTICES.

AGENCY REVIEW

CDD conducted an agency review comment period between April 10, 2024 – April 24, 2024. Agency review comments can be found in **Attachment G**.

Agency	Summary
Capital City Fire and Rescue	All comments addressed through initial review.
Cartography	All comments addressed through initial review.
General Engineering	Bonding requirements are being created.
Zoning	All comments addressed through initial review.

PUBLIC COMMENTS

CDD conducted a public comment period between April 4, 2024 – May 20,2024. Public notice was mailed to property owners within 500 feet of the subject parcel (**See Attachment F**). A public notice sign was also posted on-site two weeks prior to the scheduled hearing (**Attachment K**). Public comments submitted at time of writing this staff report can be found in **Attachment H**.

Name	Summary
Tina and Josh Martin	<ol style="list-style-type: none"> 1. Preservation of a trail that is present on the existing Lot 10. 2. Drainage concerns along the property line between the subdivision. Who maintains it? Who will have access to it?
Raymond Pastorino	<ol style="list-style-type: none"> 1. Preservation of a trail that is present on the existing Lot 10.
Margaret Custer	<ol style="list-style-type: none"> 1. Concerns over development impacts to abutting wetland habitats.
Sheryl Weinberg	<ol style="list-style-type: none"> 1. Question regarding building pad locations 2. Are there any CC&R’s?
Ren Scott	<ol style="list-style-type: none"> 1. Preservation of a trail that is present on the existing Lot 10.

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FINDINGS

Major Subdivision Preliminary Plat Approval Criteria - Per CBJ 49.15.402(c)(4), the Director makes the following findings on the proposed development:

1. Does the preliminary plat comply with CBJ 49.15.411?

Analysis: No additional analysis needed.

Finding: Yes. With recommended conditions, the preliminary plat complies with preliminary plating requirements listed in CBJ 49.15.411.

2. Will applicable subdivision development standards be met, or can reasonably be met with conditions?

Analysis: The applicant is required to plat a 60 foot Right-of-way, and install a paved 44 foot wide street with a 96 foot diameter cul-de-sac, and provide water and sewer to all lots.

Finding: Yes. With recommended conditions, all applicable subdivision development standards can be reasonably met.

3. Will the proposed subdivision provide suitable building sites for the zoning district?

Analysis: Lots created through this subdivision will not have the adequate frontage along the right-of-way, though the commission may allow for the proposed configuration per 49.15.421 where lots that front on a cul-de-sac the commission for major subdivisions makes a determination that meeting the minimum lot width a the front of the building line in accordance with the table of dimensional standards is impractical, the minimum lot width may be reduced as necessary to achieve a reasonable lot configuration.

Finding: Yes. The proposed subdivision does not meet the lot frontage requirements at the cul-de-sac but would meet the required frontage when measured from the front of the building line.

4. Will the proposed street names be unique or continuations of existing streets?

Analysis: The street will be an extension of an existing street (Silver Street).

Finding: Yes. Proposed street names are unique or are extensions of existing streets.

5. Has the director of Engineering and Public Works reviewed the application and determined that:

(i) The subdivision can be constructed to conform to applicable drainage and water quality requirements;

(ii) The streets, pioneer paths, and pedestrian ways as proposed accommodate anticipated traffic, align with, and, where appropriate, connect with streets and pedestrian ways serving adjacent properties;

(iii) Any proposed improvements conform to the requirements of this Title 49 and can be feasibly constructed; and,

Analysis: No further analysis needed.

Finding: Yes. Engineering and Public Works has reviewed the proposed subdivision application and

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supplemental materials and believes the above criteria can be met.

RECOMMENDATION

Staff recommends the Planning Commission adopt the Director's analysis and findings and APPROVE the requested preliminary plat for the Silver Acres Subdivision. This permit would allow the applicant to submit for the final plat application.

This approval is subject to the following conditions:

1. Prior to approval of the final plat, Certification from the CBJ Treasurer is required showing that all real property taxes and special assessments levied against the property for the year of recording have been paid.
2. Prior to approval of a final plat, the applicant shall submit a complete set of construction plans for all required improvements to the Community Development Department for review by the director of Engineering & Public Works for compliance with CBJ 49.35.140.
3. Prior to approval of the final plat, the applicant has constructed all required improvements or provided a financial guarantee in accordance with CBJ 49.55.010.

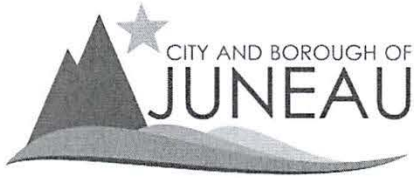
Plat notes:

1. LOTS 6, 7, 8, 9 AND 10 MUST HAVE A 15 FOOT SIDE YARD SETBACK FOR SIDE YARDS ABUTTING BLACK BEAR LOT 1.
2. WETLANDS MAY EXIST ON PARTS OF THIS SUBDIVISION. SPECIAL REGULATIONS MAY APPLY.
3. ACCESS SUBJECT TO CBJ 49.15.423 'PANHANDLE LOTS'. ACCESS TO LOTS 2 SHALL BE RESTRICTED TO A SINGLE DRIVEWAY APRON IN THE RIGHT OF WAY SHARED WITH LOT 1 OR LOT 3, UNLESS A SECOND DRIVEWAY TO LOT 2 IS APPROVED BY CBJ. USE OF THE ACCESS EASEMENT DELINEATED ON THIS PLAT IS SUBJECT TO THE REQUIREMENTS SET FORTH IN THE COMMON DRIVEWAY ACCESS, JOINT USE AND HOLD HARMLESS AGREEMENT RECORDED WITH THIS SUBDIVISION.
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6. AT THE TIME OF PLAT RECORDING, DEVELOPMENT, INCLUDING FURTHER SUBDIVISION OR USE, OF LOTS 4, 5, 6 AND 7 IN THIS SUBDIVISION IS SUBJECT TO CBJ 49.35 ARTICLE II DIVISION II 'PRIVATE SHARED ACCESS'. SEE THE CITY AND BOROUGH OF JUNEAU LAND USE CODE FOR CURRENT REGULATIONS.
7. THE ON- LOT STORMWATER RUNOFF DRAINAGE IS ACCEPTABLE AS EXISTS BETWEEN THE PLATTED LOTS OF THIS SUBDIVISION AND MAY NOT BE MODIFIED UNLESS PERMITTED BY CBJ ENGINEERING PURSUANT TO CBJ 19.12.120.1 BEST MANAGEMENT PRACTICES.

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STAFF REPORT ATTACHMENTS

Item	Description
Attachment A	Application Packet
Attachment B	Preliminary Plat
Attachment C	Closure Report
Attachment D	Preliminary Drainage Report
Attachment E	Sketch Plat
Attachment F	Abutters Notice with Mailing List Sent 4/3/24
Attachment G	Agency review comments
Attachment H	Public comment
Attachment I	Ordinance 2014-46
Attachment J	Public Notice Sign



Treasury Division
155 S Seward St
Juneau AK 99801
907.586.5215 x4907 Phone
907.586.5367 Fax

CERTIFICATION OF TAXES AND ASSESSMENTS PAID

I, the undersigned, being duly appointed, qualified Treasurer for the City and Borough of Juneau, First Judicial District, State of Alaska, do hereby certify that, according to the records of the City and Borough of Juneau, the following described real property is carried on the tax records in the name of:

SHAWN KANTOLA, HEIDI KANTOLA

Current Owner
BLACK BEAR LT 3

Legal Description
4B2601020043

Parcel Code Number

and that, all Real Property taxes and assessments levied by the City and Borough of Juneau against said Real Property have been paid in full. If approval is sought between January 1 and the date of levy, there is on deposit with the Treasury Department an amount sufficient to pay Real Property tax for the current year based on current available information; however, owner remains responsible for the balance of any taxes owed when billing occurs on July 1, 2023.

Ruth Kostik

September 13, 2024

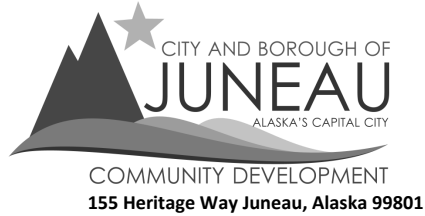
Date

This Certification of Payment of Taxes is valid through December 31, 2024

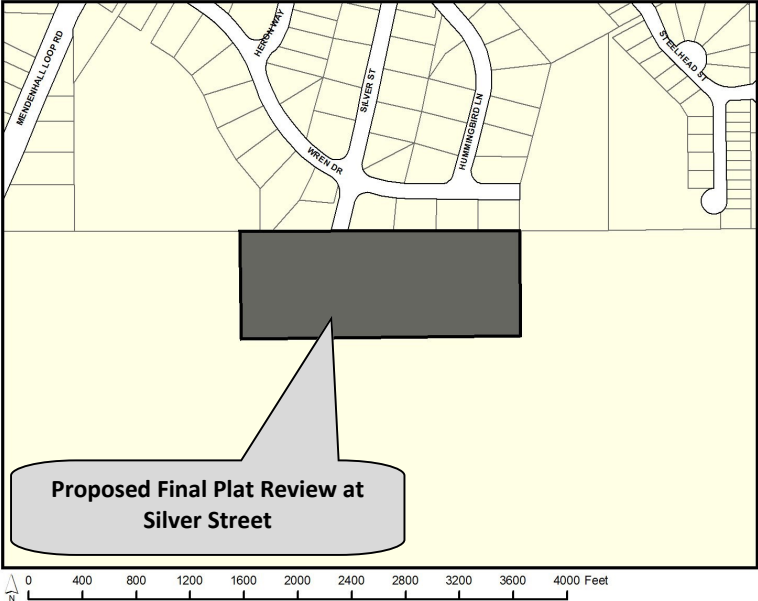
Invitation to Comment

On a proposal to be heard by the CBJ Planning Commission

Your Community, Your Voice



TO



Final Plat Review has been submitted for consideration and public hearing by the Planning Commission for **ten (10) lot Silver Acres Subdivision** at **Silver Street** in a **D3(T)D18** zone.

PROJECT INFORMATION:

Project Information can be found at:
<https://juneau.org/community-development/short-term-projects>

PLANNING COMMISSION DOCUMENTS:

Staff Report expected to be posted **September 16** at
<https://juneau.org/community-development/planning-commission>
Find hearing results, meeting minutes, and more here, as well.

Now through Sept. 9	Sept. 10 — noon, Sept. 20	HEARING DATE & TIME: 7:00 pm, September 24	Sept. 25
Comments received during this period will be sent to the Planner, David Peterson , to be included as an attachment in the staff report.	Comments received during this period will be sent to Commissioners to read in preparation for the hearing.	This meeting will be held by remote participation. For remote participation: join the Webinar by visiting https://juneau.zoom.us/j/82256333971 and use the Webinar ID: 822 5633 3971 OR join by telephone, calling: 1-253-215-8782 and enter the Webinar ID (above).	The results of the hearing will be posted online.

FOR DETAILS OR QUESTIONS,

Phone: (907)586-0753 ext. 4132
Email: pc_comments@juneau.gov or david.peterson@juneau.gov
Mail: Community Development, 155 Heritage Way, Juneau AK 99801

Case No.: SMF2024 0002
Parcel No.: 4B2601020043
CBJ Parcel Viewer: <http://epv.juneau.org>



Attachment I - Image of Public Notice Sign



119 Seward Street, Suite 2, Juneau, AK 99801
(907) 586-3100 | F (907) 586-3125
SoutheastAlaskaLandTrust.org

September 9, 2024

RE: Final Plat Review for Silver Acres Subdivision on Silver Street
Case Number: SMF2024 0002

To Whom It May Concern,

The Southeast Alaska Land Trust (SEALT) received notice that an application for a Final Plat Review has been submitted for consideration and public hearing by the City & Borough of Juneau (CBJ) Community Development Planning Commission. The Case Number for this application is SMF2024 0002.

The proposed project is located directly adjacent to SEALT’s Montana Creek Wetlands mitigation site (Black Bear Lot 1; CBJ Tax ID 4B2601020041). This mitigation site provides compensatory mitigation for seven Department of the Army permits, overseen by the US Army Corps of Engineers (USACE), and included a significant portion of the mitigation required for the 2009 Juneau International Airport improvements project (USACE permit: POA-1981-320-M22).

As described in SEALT’s management plan for the Montana Creek Wetlands property, the purpose of its conservation is to preserve “wetland habitat for wildlife, open space for public enjoyment, and outdoor recreation and education opportunities for the general public.” The property is open to the public for uses such as hiking, walking, skiing, snowshoeing, wildlife viewing, picnicking, berry picking, fishing, hunting, and educational programs. Additionally, the property contains approximately 113 acres of high-functioning palustrine wetlands.

Black Bear Lot 3 (the parcel in question for the proposed Silver Acres subdivision) is likewise classified as palustrine wetlands under the National Wetlands Inventory and makes up part of the greater wetlands complex containing the Montana Creek Wetlands mitigation site. Among other important functions, the extent and healthy functioning of these wetlands provide flood attenuation and protection to surrounding residential areas, particularly significant due to the nearby Mendenhall River and its associated floodplain which have been impacted in the last 12 years by glacial outburst flooding. Notably, the frequency and severity of glacial outburst flooding has risen in recent years and remains an ongoing concern for properties in close proximity to the Mendenhall River, including Black Bear Lot 3 and surrounding parcels. Incremental and cumulative developments in the area

have filled wetland areas that would otherwise provide flood mitigation in periods of rising water.

SEALT therefore recommends that the Planning Commission exercise special caution in considering the additional fill and fragmentation of wetlands and streams in a residential area that is already highly vulnerable to flooding, and which could expose the newly developed area and homes in the surrounding area to preventable flooding.

Under the proposed subdivision plan, eight of the ten resulting plots would directly border SEALT's mitigation site, with the applicant noting a potential intent to further subdivide lots 9 and 10 into additional lots in the future. Increased development adjacent to the mitigation site poses a direct threat to the property and its conservation values and may create additional management responsibilities for the land trust. The proposed subdivision would also, importantly, require wetland mitigation of its own for unavoidable impacts to aquatic resources.

In addition to construction-related impacts such as sediment runoff and risk of pollutant contamination, a substantial increase in the number of privately-owned lots abutting the mitigation site permanently increases the threat of future encroachments and impacts to the property. An increase in nearby development can change the character of the conservation property and its capacity as a mitigation site.

SEALT requests that the Planning Commission thoroughly review and discuss potential effects to the adjacent wetland mitigation site, the flood attenuation provided by the wetlands under consideration for fill and development, and the habitat that would be impacted when evaluating the application and proposed subdivision.

If you have any questions, please contact the Southeast Alaska Land Trust at (907) 586-3100 or info@sealt.org.

Sincerely,



Margaret Custer
Executive Director



Planning Commission

(907) 586-0715

PC_Comments@juneau.gov

www.juneau.org/community-development/planning-commission

155 Heritage Way • Juneau, AK 99801

**PLANNING COMMISSION
NOTICE OF DECISION**

Date: October 1, 2024

File No.: CSP2024 0002

State of Alaska DOT
PO BOX 112506
Juneau, AK 99801
Nathan.purves@alaska.gov

Proposal: Applicant requests a State Project Review to replace the signalized intersection of the Mendenhall Loop Road-Valley Boulevard-Mendenhall Boulevard with a single lane roundabout.

Property Address: Mendenhall Loop Road-Valley Boulevard-Mendenhall Boulevard

Legal Description or ROW name: USGS QUAD B-2 NW Section T40S R66E Copper River Meridian

Parcel Code No: [0]

Hearing Date: September 24, 2024

The Planning Commission, at a regular public meeting, adopted the analysis and findings listed in the attached memorandum dated September 24, 2024, and approved a single-lane roundabout installation to be conducted as described in the project description and drawings submitted with the application

Attachments: September 24, 2024 memorandum from Jay Larson, Planner II, Community Development, to the CBJ Planning Commission regarding CSP2024 0002.

Effective Date: The permit is effective upon approval by the Commission, September 24, 2024. This decision is final 90 days from the date the application was received, or October 24, 2024, unless modified or disapproved by the Assembly.

This Notice of Decision does not authorize construction. Prior to starting any project, it is the applicant's responsibility to obtain the required building permits.

State of Alaska DOT
File No.: CSP2024 0002
October 1, 2024
Page 2 of 2

mandy cole

Mandy Cole, Chair
Planning Commission

10/1/2024

Date

Nicolette Chappell

Filed With City Clerk

10/1/2024


Date

NOTE: The Americans with Disabilities Act (ADA) is a federal civil rights law that may affect this development project. ADA regulations have access requirements above and beyond CBJ - adopted regulations. The State Government and project designers are responsible for compliance with ADA. Contact an ADA - trained architect or other ADA trained personnel with questions about the ADA: Department of Justice (202) 272-5434, or fax (202) 272-5447, NW Disability Business Technical Center (800) 949-4232, or fax (360) 438-3208.



PLANNING COMMISSION STAFF REPORT
STATE PROJECT REVIEW CSP2024 0002
HEARING DATE: SEPTEMBER 24, 2024

(907) 586-0715
CDD_Admin@juneau.gov
www.juneau.org/community-development
155 Heritage Way • Juneau, AK 99801

DATE: September 12, 2024
TO: Mandy Cole, Chair, Planning Commission
BY: Jay Larson, Planner II 
THROUGH: Jill Lawhorne, Director, AICP

PROPOSAL: Applicant requests a State Project Review to replace the Mendenhall Loop Road-Valley Boulevard-Mendenhall Boulevard signalized intersection with a single lane roundabout.

STAFF RECOMMENDATION: Approval

KEY CONSIDERATIONS FOR REVIEW:

- The purpose of this project improves safety for vehicles and pedestrians passing through the Mendenhall Loop Road intersection at Mendenhall Boulevard and Valley Boulevard.
- The project is compliant with the CBJ Comprehensive Plan and Title 49.15.580(b)

GENERAL INFORMATION	
Property Owner	State of Alaska DOT
Applicant	State of Alaska DOT
Property Address	Mendenhall Loop Road-Valley Boulevard-Mendenhall Boulevard
Legal Description	USGS QUAD Juneau B-2 NW Section T40S R66E Copper River Meridian
Parcel Number	0 (N/A)
Zoning	D5
Land Use Designation	DOT ROW
Lot Size	N/A
Water/Sewer	N/A
Access	Mendenhall Loop Rd
Existing Land Use	ROW
Associated Applications	DPA

ALTERNATIVE ACTIONS:

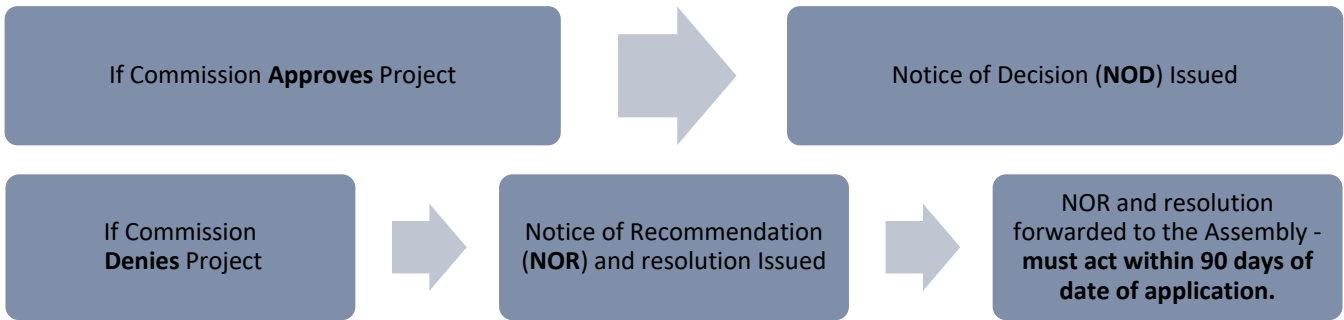
1. **Amend:** amend the recommendation and approve with conditions and modifications. Issue Notice of Decision (NOD)
2. **Deny:** recommend denial of the proposed project. Notice of Recommendation (NOR) and draft resolution shall be forwarded to the assembly for further action.
3. **Continue:** continue the hearing to a later date if determined that additional information or analysis is needed to decide, or if additional testimony is warranted.

ASSEMBLY ACTION REQUIRED:

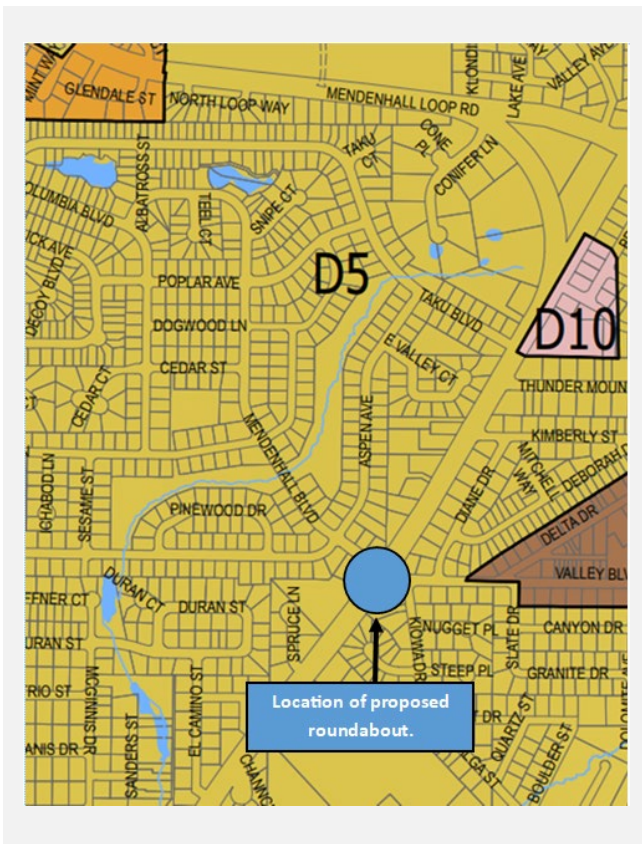
Notice of Recommendation and draft resolution will be forwarded to the Assembly.

STANDARD OF REVIEW:

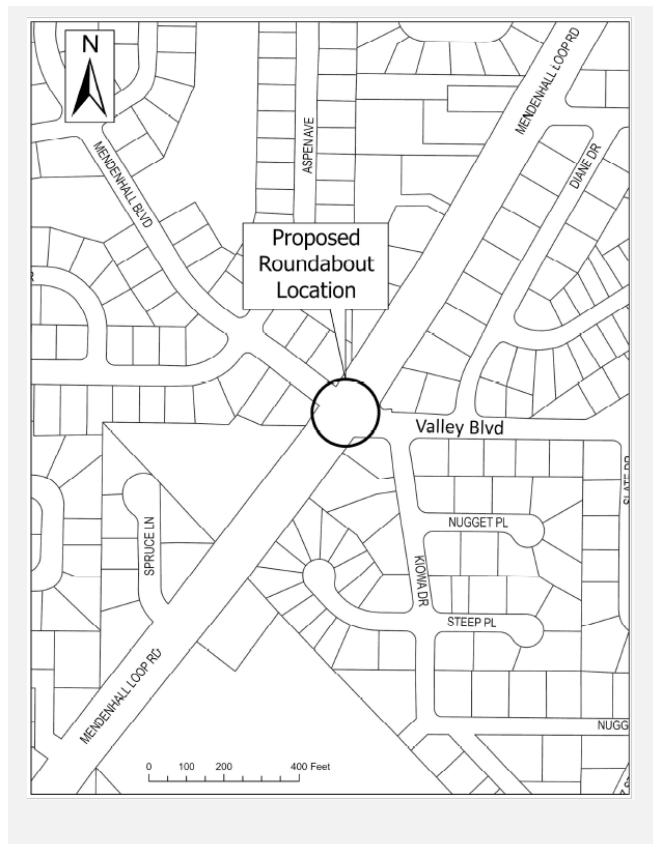
- Quasi-judicial decision
- Requires five (5) affirmative votes for approval
- Code Provisions:
 - CBJ 49.15.580(b)
 - CBJ 49.80



CURRENT ZONING MAP



PROPOSED LOCATION



The Commission shall hear and decide the case per CBJ 49.15.580(b) - State Project Review: *The commission shall review proposed Alaska State capital improvement projects for consistency with this title pursuant to AS 35.30.010 and may impose conditions on and modifications to such projects. If the commission approves or approves with conditions or modifications, a notice of decision shall be issued. A notice of decision becomes final 90 days from the date the project was submitted unless modified or disapproved by the assembly. If the commission disapproves, a notice of recommendation and draft resolution shall be forwarded to the assembly for further action.*

SURROUNDING LAND USES AND ZONING

Direction	Zoning District	Land Use
North	D5	Residential
South	D5	Residential
East	D18	Residential
West	D5	Residential

BACKGROUND INFORMATION

Project Description – The applicant applied (**Attachment A**) for review of a project which would replace the currently signalized intersection with a single-lane roundabout as a method to improve DOT & PF purposes. This will serve to improve safety conditions for motorized, non-motorized and pedestrian traffic in a previously signalized intersection as recommended in the CBJ Area Wide Transportation Plan.

This is an \$8.5 million dollar project that will include these details (from their application):

- Expand the ROW of the intersection in all directions, particularly in the northern direction.
- Widen road approaching roundabout and adding splitter islands on the approach into the roundabout.
- Adjust underlying hydraulic systems/storm drains to fit the new footprint.
- Potentially reposition or bury electrical poles and lines along part of the Loop Road.
- Install new lights around the roundabout footprint.

Background – This intersection was signalized in 2004. Since then, there have been a series of accidents resulting in minor injuries. The purpose of this project is to improve safety for vehicles and pedestrians passing through the Mendenhall Loop Road intersection.

The table below summarizes relevant history for the subject parcel and proposed development.

Item	Summary
Department of Transportation and Public Facilities	Project narrative describing how the project adheres to CBJ Municipal Code (Attachment A, page 4)
Location Map	Figure 1 – Location of project (Attachment A, page 6)
Project Vicinity Map	Figure 2 – Project Vicinity Map (Attachment A, page 6)
Fastest Path Analysis	Appendix B (Attachment A, page 34)
Truck Turning Analysis	Appendix C (Attachment A, page 36)
Sight Distance Analysis	Appendix D (Attachment A, page 43)

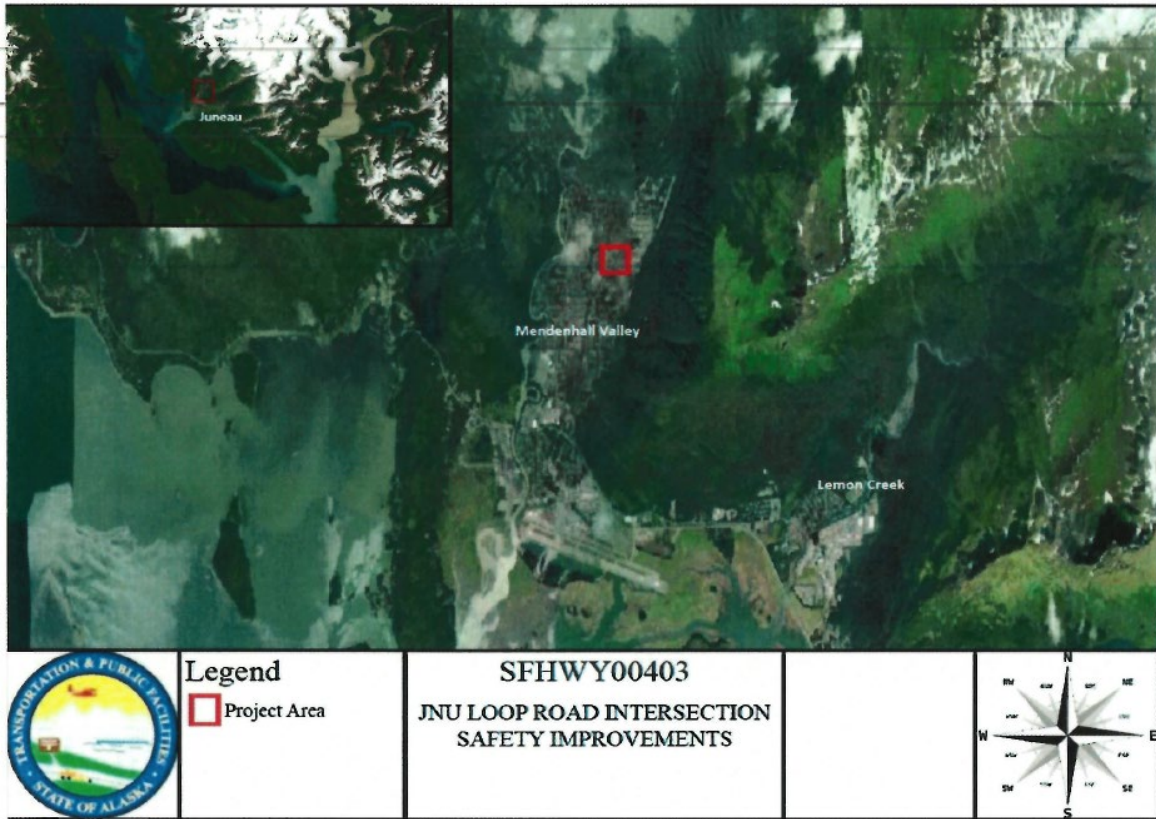


Figure 1 - Location Map



Figure 2 - Project Vicinity Map

Current Conditions – This intersection is currently under the control of signalized devices. The project removes the signals and constructs a single lane roundabout. It would continue to be used as a roadway and intersection with all associated pedestrian crossing facilities with an altered configuration.

ZONING ANALYSIS

CBJ 49.05.100 - Purpose and intent. The purpose and Intent of Title 49 Land Use Code is:

- (1) To achieve the goals and objectives, and implement the policies, of the Juneau comprehensive plan, and coastal management program;*
- (2) To ensure that future growth and development in the City and Borough is in accord with the values of its residents;*
- (3) To identify and secure, for present and future residents, the beneficial impacts of growth while minimizing the negative impacts;*
- (4) To ensure that future growth is of the appropriate type, design and location, and is served by a proper range of public services and facilities such as water, sewage, and electrical distribution systems, transportation, schools, parks and other public requirements, and in general to promote public health, safety and general welfare;*
- (5) To provide adequate open space for light and air; and*
- (6) To recognize the economic value of land and encourage its proper and beneficial use.*

Roadway Construction Standard Waivers – CBJ 49.35 Table 240 standards have been met.

Roadway Classification Maps – Minor Arterial

Hazard Areas – Regulatory Floodway. Floodplain Development Permit not required.

COMMUNITY SERVICES

Service	Summary
Urban Service Boundary	Within the Urban Service Boundary
Water/Sewer	CBJ/CBJ
Fire Service Area	CBJ
Schools	Valley Baptist Academy Floyd Dryden Middle School
Recreation	Mendenhaven Park

ENVIRONMENTAL, CONSERVATION, HISTORIC, AND ARCHEOLOGICAL RESOURCES

The below table summarizes Conservation, Historic, and Archeological Resources which may be affected by the single-lane roundabout.

Resource	Summary
Anadromous	No Anadromous stream is located near the intersection in question.
Historic	No historic designation
Archeological	No known archeological findings

CONFORMITY WITH ADOPTED PLANS

2013 COMPREHENSIVE PLAN VISION: *The City and Borough of Juneau is a vibrant State Capital that values the diversity and quality of its natural and built environments, creates a safe and satisfying quality of life for its diverse population, provides quality education and employment for its workers, encourages resident participation in community decisions and provides an environment to foster state-wide leadership.*

2013 COMPREHENSIVE PLAN - The proposed text amendment is in compliance with the 2013 Comprehensive Plan.			
Chapter	Page No.	Item	Summary
8	119	Policy 8.8 The Mendenhall Valley	<p>The proposed project proposes improvements needed on Mendenhall Loop Rd by creating better traffic flow and improves safety for vehicles and pedestrians.</p> <p>8.8 - IA10 Work with ADOT&PF to undertake roadway capacity, vehicular turning movement, bus pullouts and pedestrian and bicycle safety improvements within the Urban Service Area where an existing intersection Level of Service on the state route is compromised (LOS D or worse); priority improvements should be given to intersections that would serve new high-density housing developments.</p>

AGENCY REVIEW

CDD conducted an agency review comment period between August 5, 2024, and September 9, 2024. The following agency review comments were received.

Name	Summary
Teri Rehfeldt, CBJ Sr. Planner, CFI	I have reviewed these plans with ADOT thoroughly in the past and have confirmed that the project does not impact a Special Flood Hazard Area and does not need a Floodplain Development Permit.
Building Department	No comments received
Engineering Department	No comments received
Fire Department	No comments received

PUBLIC COMMENTS

Abutters were sent to the surrounding area and published online, stating the Alaska Department of Transportation is proposing to replace the signalized intersection of Mendenhall Blvd and Valley Blvd with a single-lane roundabout. CDD conducted a public comment period between August 05, 2024 – September 09, 2024. Public notice was mailed to property owners within 500 feet of the subject parcel. A public notice sign was also posted on-site at least two weeks prior to the scheduled hearing. Several comments were received both in favor and against the project (**Attachment E**).

FINDINGS

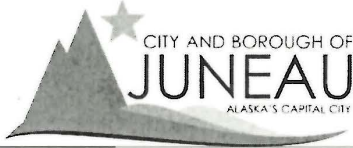
In accordance with CBJ 49.15.580 staff finds the proposed roundabout complies with Title 49 Land Use Code and is in general conformity with adopted plans, specifically the 2013 Comprehensive Plan.

RECOMMENDATION

Staff recommends the Planning Commission adopt the DIRECTOR's analysis and findings and APPROVE the State Project to replace the Mendenhall Loop Road-Valley Boulevard-Mendenhall Boulevard signalized intersection with a single lane roundabout.

STAFF REPORT ATTACHMENTS

Item	Description
Attachment A	Application Packet
	Figure 1: Fastest Path Analysis
	Figure 2: Truck Turning Analysis
	Appendix A: Sight Distance Analysis
	Appendix B: Abutters Notice and Public Notice Sign Photo
	Appendix C: Public Comments
Attachment B	Abutters Notice and Public Notice Sign Photo
Attachment C	Agency Comments
Attachment D	Public Notice sign photo near intersection
Attachment E	Public Comments



DEVELOPMENT PERMIT APPLICATION

NOTE: Development Permit Application forms must accompany all other Community Development Department land use applications. This form and all documents associated with it are public record once submitted.

To be completed by Applicant	PROPERTY LOCATION		
	Physical Address Intersection of Mendenhall Loop Road, Mendenhall Boulevard, and Valley Boulevard		
	Legal Description(s) (Subdivision, Survey, Block, Tract, Lot) USGS QUAD Juneau B-2 NW Section T40S R66E Copper River Meridian		
	Parcel Number(s) Mendenhall Loop Road, intersection of Mendenhall Boulevard and Valley Boulevard		
	<input type="checkbox"/> This property is located in the downtown historic district <input checked="" type="checkbox"/> This property is located in a mapped hazard area, if so, which <u>Regulatory Floodway</u>		
	LANDOWNER/ LESSEE		
	Property Owner	Contact Person	
	State of Alaska	Nathan Purves	
	Mailing Address	PO Box 112506, Juneau, Alaska 99801	Phone Number(s) 907-465-4509
	E-mail Address	nathan.purves@alaska.gov	
LANDOWNER/ LESSEE CONSENT			
Required for Planning Permits, not needed on Building/ Engineering Permits.			
Consent is required of all landowners/ lessees. If submitted with the application, alternative written approval may be sufficient. Written approval must include the property location, landowner/ lessee's printed name, signature, and the applicant's name.			
I am (we are) the owner(s) or lessee(s) of the property subject to this application and I (we) consent as follows:			
A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission.			
B. I (we) grant permission for the City and Borough of Juneau officials/employees to inspect my property as needed for purposes of this application.			
_____ Landowner/Lessee (Printed Name) Title (e.g.: Landowner, Lessee)			
X _____ Landowner/Lessee (Signature) Date			
_____ Landowner/Lessee (Printed Name) Title (e.g.: Landowner, Lessee)			
X _____ Landowner/Lessee (Signature) Date			
NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours. We will make every effort to contact you in advance, but may need to access the property in your absence and in accordance with the consent above. Also, members of the Planning Commission may visit the property before a scheduled public hearing date.			
APPLICANT			
If same as LANDOWNER, write "SAME"			
Applicant (Printed Name)	Contact Person		
Connor Brown, Environmental Impact Analyst 1	Benjamin Storey, Nathan Purves		
Mailing Address	PO Box 112506, Juneau, Alaska 99811-2500	Phone Number(s) 907-465-4443	
E-mail Address	connor.brown@alaska.gov, nathan.purves@alaska.gov 907-465-4509		
X Connor M Brown	Digitally signed by Connor M Brown Date: 2024.04.15 15:06:59 -08'00'	04/15/2024	
Applicant's Signature		Date of Application	

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number	Date Received
CSP24-002	4/16/24

Intake Initials
<i>[Signature]</i> 4/16/24



CITY/STATE PROJECT AND LAND ACTION REVIEW APPLICATION

See reverse side for more information regarding the permitting process and the materials required for a complete application.

NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.

To be completed by Applicant

PROJECT SUMMARY
We are proposing a project to replace the signalized intersection at Mendenhall Loop Road-Mendenhall Boulevard-Valley Boulevard with a single lane roundabout.

TYPE OF PROJECT REVIEW: City Project Review State Project Review

PROJECT NUMBERS ASSOCIATED WITH PROPOSAL:

Is this project associated with any other Land Use Permits? YES Case No.: _____ NO

Capital Improvement Program # (CIP) _____

Local Improvement District # (LID) _____

State Project # SFHWY00403

ESTIMATED PROJECT COST: \$ 8,500,000

ALL REQUIRED MATERIALS ATTACHED

Complete application

Pre-Application notes (if applicable)

Narrative including:

- Current use of land or building(s)
- Proposed use of land or building(s)
- How the proposed project complies with the Comprehensive Plan
- How the proposed project complies with the Land Use Code (Title 49)

Site Plan (details on page 2)

NOTE: This application is required even if the proposed project is associated with other Land Use permits.

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

CITY/STATE PROJECT FEES	Fees	Check No.	Receipt	Date
Application Fees (≥\$2.5M)	\$ 1,600 ⁰⁰			
Pub. No. Sign Fee	\$ 150 ⁰⁰			
Pub. No. Sign Deposit	\$ 100 ⁰⁰			
TOTAL FEES	\$ 1,750			

This form and all documents associated with it are public record once submitted.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number	Date Received
CSP24-002	4/16/24

City/State Project and Land Action Review Information

City and State project review is outlined in CBJ 49.15.580

Each application for a City/State Project is reviewed by the Planning Commission at a public hearing. The permit procedure is intended to provide the Commission the flexibility necessary to make recommendations tailored to individual applications.

Application: An application for a City/State Project Review will not be accepted by the Community Development Department until it is determined to be complete. The items needed for a complete application are:

1. **Forms:** Completed City/State Project Review Application and Development Permit Application forms.
2. **Fees:** No application fee required for projects that cost less than \$2.5 million. For projects costing more than this amount, the fee is \$1,600.00. All City/State Project and Land Action Applications must pay public notice sign fees. All fees are subject to change.
3. **Project Narrative:** A detailed narrative describing the project.
4. **Plans:** All plans are to be drawn to scale and clearly show the items listed below:
 - a. Plat, site plan, floor plan and elevation views of existing and proposed structures and land;
 - b. Existing and proposed parking areas, including dimensions of the spaces, aisle width and driveway entrances;
 - c. Proposed traffic circulation within the site including access/egress points and traffic control devices;
 - d. Existing and proposed lighting (including cut sheets for each type of lighting);
 - e. Existing and proposed vegetation with location, area, height and type of plantings; and,
 - f. Existing physical features of the site (i.e. drainage, eagle trees, hazard areas, salmon streams, wetlands, etc.)

Document Format: All materials submitted as part of an application shall be submitted in either of the following formats:

1. Electronic copies in the following formats: .doc, .txt, .xls, .bmp, .pdf, .jpg, .gif, .xlm, .rtf (other formats may be preapproved by the Community Development Department).
2. Paper copies 11" X 17" or smaller (larger paper size may be preapproved by the Community Development Department).

Application Review & Hearing Procedure: Once the application is determined to be complete, the Community Development Department will initiate the review and scheduling of the application. This process includes:

Review: As part of the review process the Community Development Department will evaluate the application for consistency with all applicable City & Borough of Juneau codes and adopted plans. Depending on unique characteristics of the permit request the application may be required to be reviewed by other municipal boards and committees. Review comments may require the applicant to provide additional information, clarification, or submit modifications/alterations for the proposed project.

Hearing: All City/State Project Review Permit Applications must be reviewed by the Planning Commission. Once an application has been deemed complete and has been reviewed by all applicable parties the Community Development Department will schedule the requested permit for the next appropriate meeting. The Planning Commission will make a recommendation based on staff's analysis and forward it to the Assembly for final approval/denial.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED



THE STATE
of ALASKA
GOVERNOR MIKE DUNLEAVY

Department of Transportation and
Public Facilities

SOUTHCOST REGION
PRECONSTRUCTION

6860 Glacier Highway
P.O. Box 112506
Juneau, Alaska 99801
Main: 907.465.4443
Fax: 907.465.4414
connor.brown@alaska.gov

April 08, 2024

JNU Loop Road - Valley Boulevard Intersection Safety Improvements HSIP
Federal ID: 0966030
State ID: SFHWY00403

Project Narrative Describing how the JNU Loop Road – Valley Boulevard Intersection Safety Improvements HSIP Project Adheres to Municipal Code

The Alaska Department of Transportation and Public Facilities (DOT&PF) is proposing to replace the signalized intersection of the Mendenhall Loop Road-Valley Boulevard-Mendenhall Boulevard with a single lane roundabout. The purpose of this letter is to provide you with a description of the project and describe how it adheres to municipal code.

The purpose of this project improve safety for cars passing through the Mendenhall Loop Road-Valley Boulevard-Mendenhall Boulevard. The intersection in question has been signalized since 2004 and has been the site of a series of crashes, most resulting in minor injuries.

As a method to improve purpose DOT&PF proposes to replace the currently existing signalized intersection with a single lane roundabout.

During this project DOT&PF would propose to:

- Expand the ROW of the intersection in all directions, particularly in the northern direction.
- Widen road approaching roundabout and adding splitter islands on the approach into the roundabout.
- Adjust underlying hydraulic systems/storm drains to fit the new footprint.
- Potentially reposition or bury electrical poles and lines along part of the Loop Road.
- Install new lights around the roundabout footprint.

Land Use

Most of the land which would be used in this project is already in use for an existing roadway intersection between Mendenhall Loop Road, Mendenhall Boulevard, and Valley Boulevard. It would continue to be used as a road way and intersection with all associated pedestrian crossing facilities with an altered configuration and removed traffic signals.

“Keep Alaska Moving through service and infrastructure.”

We would anticipate the project to involve permanent easements on several parcels adjacent to the Mendenhall Loop Road-Valley Boulevard-Mendenhall Boulevard intersection, including parcels ID 5B2401120040, 5B2401140160, 5B401600010, and 5B2401010011. We would not anticipate any relocations because of the project.

Of the affected parcels currently 5B2401120040 and 5B2401010011 are in use as private residential properties, the specific slivers which are anticipated as requisitioned easements would be in use for roadside utilities and potentially the edge of a private yard in parcel 5B2401120040. Parcel 5B2401140160 was previously acquired by DOT and is currently an empty lot which would have be subject to significant easement acquisition, and parcel 5B2401600010 is in use as the base of a cell and radio tower station and cannot be subject to acquisitions to the point of removing the station, though easements would be acquired up to the point of the fence to accommodate repositioned non-motorized path and expanded road.

Compliance

This project is in compliance with the Comprehensive Plan of the City and Borough. It takes place entirely within developed urban area, making no expansions to sprawl and is shaped to make minimal expansion of the roadway footprint, and will not block access to or use of buildable land from latest study shown in the Comprehensive Plan. The project is within FAA 7460 Contours but will neither involve nor result in a structure over 200 feet.

The project will serve to improve safety conditions for motorized, non-motorized, and pedestrian traffic in a previously signaled intersection as recommended in the City and Borough of Juneau Area Wide Transportation Plan. As a part of the intersection’s reconstruction walking/non-motorized vehicle paths will be rearranged and refurbished in a manner befitting the Juneau Safe Routes to School Plan.

The proposed project is in compliance with the Land Use Code (Title 49). Public notice has been carried out properly including published notices in public spaces, publicly open meetings where the proposed project was presented and comments were taken, and letters sent to various stakeholders and jurisdictional agencies including the City and Borough of Juneau. Corner sight distance, street width, and turn length all in accordance with CBJ 49.35. Signage, Striping, and Grading Plans were all planned in compliance with both the NCHRP Report 1043 Manual on Uniform Traffic Control Devices (2009), and the Alaska Traffic Manual (2016).

Sincerely,

Connor M Brown
Digitally signed by Connor M Brown
Date: 2024.04.08 15:17:31 -08'00'

Connor Brown
Environmental Impact Analyst 1
Alaska Department of Transportation and Public Facilities – Southcoast Region
PO Box 112506, Juneau, Alaska 99811-2500
connor.brown@alaska.gov

Enclosures:
City/State Project and Land Action Review applications

Project Plan Sheets

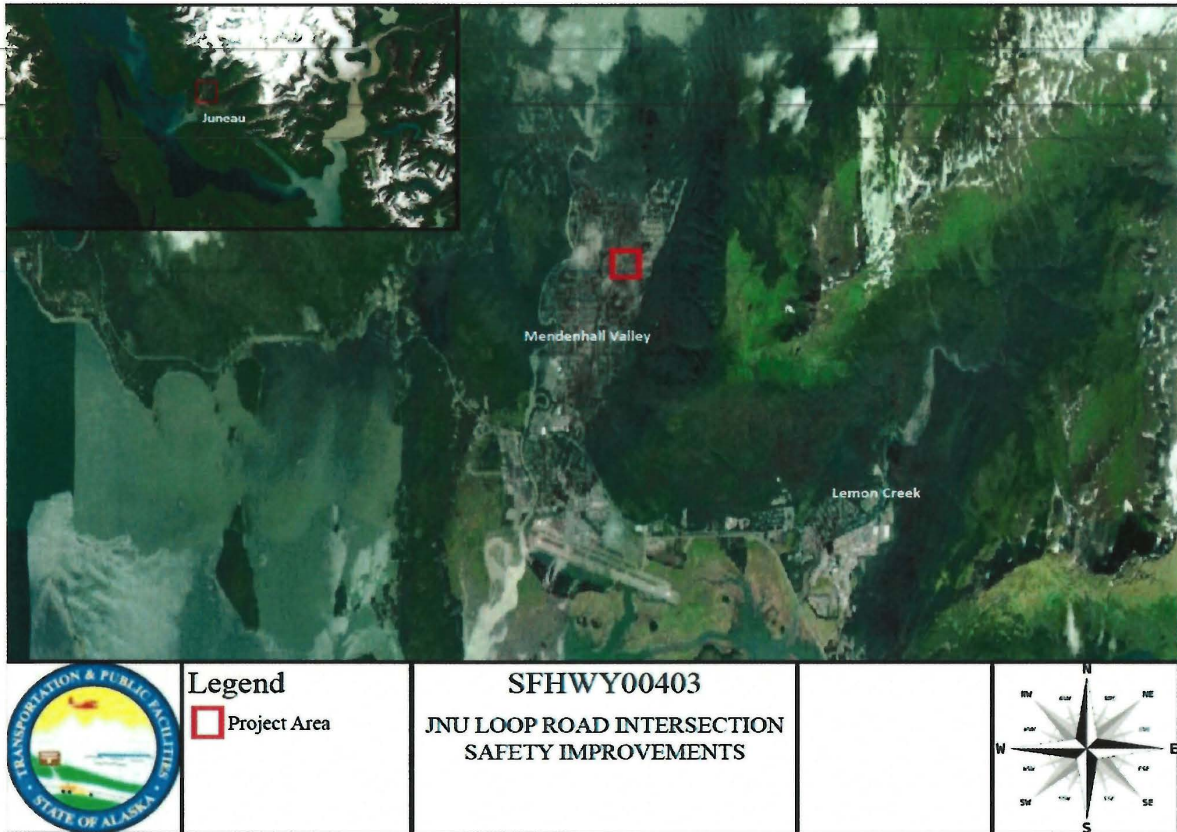
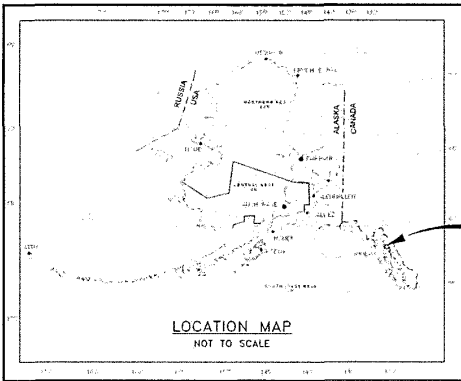


Figure 1 - Location Map



Figure 2 - Project Vicinity Map



PROJECT LOCATION

STATE OF ALASKA
DEPARTMENT OF TRANSPORTATION
&
PUBLIC FACILITIES

PROPOSED HIGHWAY PROJECT

SFHWY00403/0966030

JNU LOOP ROAD – VALLEY BLVD
INTERSECTION IMPROVEMENTS – HSIP

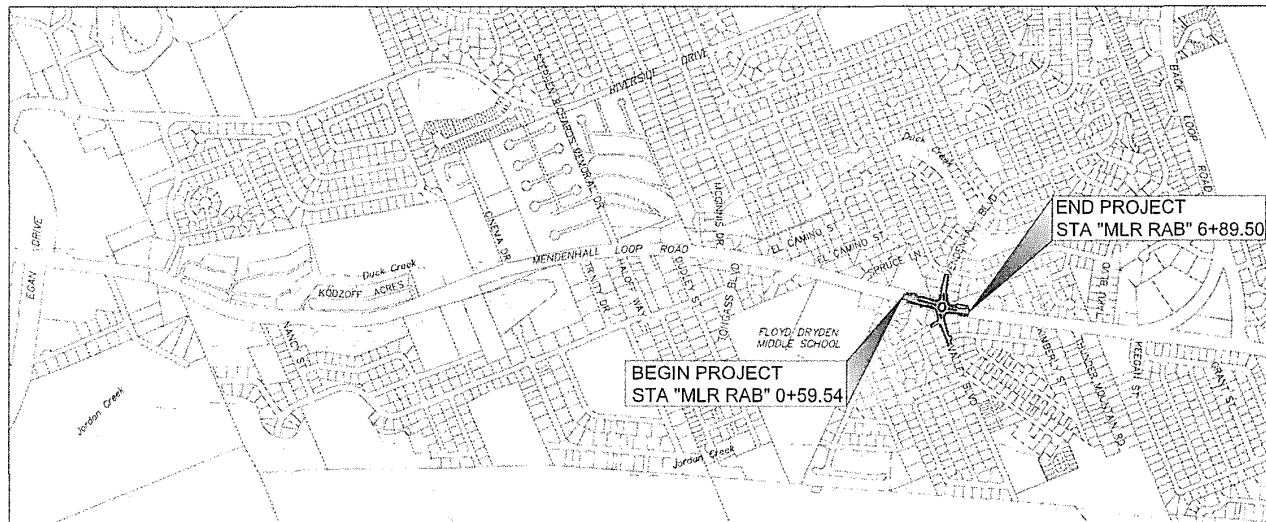
GRADING, DRAINAGE, PAVING, & ILLUMINATION

NO.	DATE	REVISION	STATE	PROJECT DESIGNATION	YEAR	SHEET #	TOTAL SHEETS
			AL- P-2	SFHWY00403/0966030	2024	A1	A3

INDEX OF SHEETS	
SHEET NO.	DESCRIPTION
A1	TITLE SHEET
A2-A3	SHEET LAYOUT, GENERAL NOTES, LEGEND, & ABBREVIATIONS
B1-B4	TYPICAL SECTIONS
F1-F9	PLAN & PROFILE
S1-S5	CONSTRUCTION PHASING PLANS
T1-T5	TRAFFIC CONTROL PLANS (AND/OR DEVICES)

THE FOLLOWING DOT&PF STANDARD PLANS APPLY TO THIS PROJECT:
C-04.12, C-05.20, C-06.00, D-01.02, D-04.22, D-07.00, D-09.00, D-22.01,
D-23.01, D-24.00, D-26.04, F-01.04, F-03.02, I-20.20, I-21.12, I-22.11,
L-03.11, L-23.03, L-30.11, M-13.01, M-16.01, M-20.15, M-23.13, S-00.12,
S-01.02, S-05.02, S-20.11, S-30.03, S-31.02, T-20.04, T-21.04, T-22.04

THE FOLLOWING CITY & BOROUGH OF JUNEAU (CBJ) STANDARD
DETAILS APPLY TO THIS PROJECT:
203, 205, 206A, 209, 218, 407, 412



VICINITY MAP

DESIGN DESIGNATIONS	
FUNCTIONAL CLASS	MINOR ARTERIAL
ADT (2016)	16,230
ADT (2030)	16,800
ADT (2040)	17,230
DHV EXISTING YEAR	1,970
DHV MID-LIFE YEAR (2030)	2,020
DHV DESIGN YEAR (2040)	2,070
PERCENT TRUCKS (T)	6.35%
DIRECTIONAL SPLIT (D)	55/45
DESIGN SPEED (V)	45 MPH
DESIGN ESAL'S (30 YEARS)	5,450,000

PROJECT SUMMARY	
MENDENHALL LOOP ROAD MP 0.39 TO MP 0.51	
WIDTH OF PAVEMENT	44-58 FEET
LENGTH OF GRADING	0.12 MILES
LENGTH OF PAVING	0.12 MILES
LENGTH OF PROJECT	0.12 MILES

STEVEN K. NOBLE, P.E., PROJECT MANAGER
RYAN A. STEPHENS, P.E., DESIGN ENGINEER
PLANS DEVELOPED BY: DOWL

STATE OF ALASKA DEPARTMENT OF TRANSPORTATION & PUBLIC FACILITIES	
DESIGNED BY: _____	DATE: _____
CHECKED BY: _____	DATE: _____
APPROVED BY: _____	DATE: _____

PLANS FOR REVIEW
NOT FOR
CONSTRUCTION

NO.	DATE	REVISION	STATE	PROJECT DESIGNATION	YEAR	SHEET NO.	TOTAL SHEETS
			ALASKA	SPH-WY00403/0966030	2024	A3	A3

		RECOVERED	SET	EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED
BLM MONUMENT						ROADWAY/PAVEMENT EDGE		JUNCTION BOX, TYPE IA	
GLO MONUMENT						ROADWAY/PAVEMENT HATCH		JUNCTION BOX, TYPE II	
USC&GS MONUMENT						ISLAND AND PATHWAY/PAVEMENT HATCH		JUNCTION BOX, TYPE III	
PRIMARY MONUMENT						PATTERNED CONCRETE HATCH		RECTANGULAR RAPID FLASHING BEACON	
CENTERLINE MONUMENT IN CASING						CURB CUT		LUMINAIRE	
PRIMARY R.O.W. MONUMENT						CONCRETE HATCH			
BEARING OBJECT						GRAVEL HATCH			
MISCELLANEOUS MONUMENT						FENCE			
LINE OF SIGHT MONUMENT						CURB AND GUTTER			
CONCRETE R.O.W. MONUMENT						DETECTABLE WARNINGS			
BENCHMARK						CULVERT PIPE			
REBAR AND CAP						SIGN			
REBAR						WETLANDS			
IRON PIPE						EXISTING BUILDINGS			
PK NAIL						POST OR BOLLARD			
SPIKE						WELL OR MONITORING WELL			
HUB AND TACK						SEPTIC PIPE			
CONSTRUCTION CENTERLINE						FUEL TANK FILL PIPE/VENT			
STATION EQUATION	$\begin{matrix} \boxed{5+00} \\ \boxed{\text{STA "WP" 66+93.08} =} \\ \boxed{\text{STA "VB RAB" 4+84.88} \end{matrix}$					TEST HOLE			
RIGHT-OF-WAY ACQUISITION									
EXISTING RIGHT-OF-WAY LINE									
EXISTING PROPERTY LINE									
EXISTING EASEMENT LINE									
PROPOSED EASEMENT LINE									
PROPOSED CUT SLOPE LIMIT									
PROPOSED FILL SLOPE LIMIT									
PROPOSED TCE									
SANITARY SEWER (FLOW DIRECTION →)									
GAS LINE									
WATER LINE									
METER, VALVE, FIRE HYDRANT									
EXISTING STORM DRAIN (FLOW DIRECTION →)									
PROPOSED STORM DRAIN									
FIBER OPTIC LINE									
DIRECT BURIAL TELEPHONE CABLE									
DIRECT BURIAL ELECTRIC CABLE									
ELECTRIC LINE (OVERHEAD)									
COMMUNICATION LINE									
POWER POLE LINE									
JOINT USE POWER & TELEPHONE									
TELEPHONE POLE LINE									
POLE ANCHOR									
STUB POLE (POWER OR TELEPHONE)									
TELEPHONE DUCT									
TELEPHONE PEDESTAL									
BURIED CABLE MARKER									
PIPELINE MARKER OR VALVE									
CATCH BASIN OR DROP INLET									
MANHOLE									
SANITARY SEWER CLEAN OUT									
DITCH CENTERLINE									
TREE LINE									
FLOW DIRECTION									

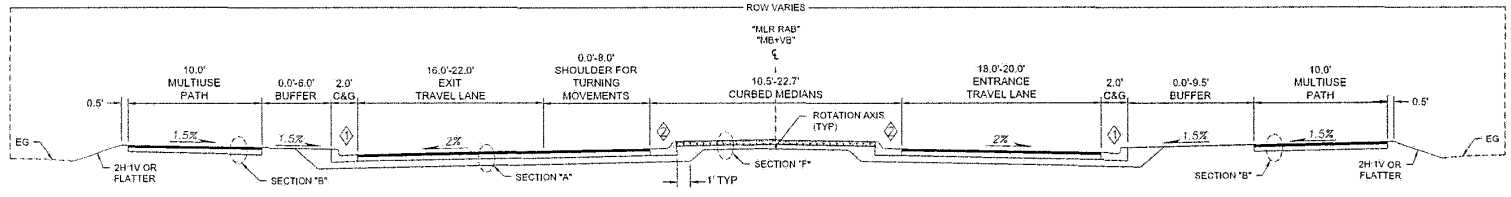
- ABBREVIATIONS:**
- AT AND
 - ADT AVERAGE DAILY TRAFFIC
 - AFB ACTIVATED FLASHING BEACON
 - APPROX APPROXIMATE
 - BM BENCH MARK
 - BP BEGINNING OF PROJECT
 - BVCE BEGIN VERTICAL CURVE ELEVATION
 - BVC BEGIN VERTICAL CURVE STATION
 - CBJ CITY & BOROUGH OF JUNEAU
 - CC CENTER TO CENTER
 - C&G CURB AND GUTTER
 - C CENTERLINE
 - CMP CORRUGATED METAL PIPE
 - CONC CONCRETE
 - CONT CONTINUOUS, CONTINUATION
 - CPP CORRUGATED POLYETHYLENE PIPE, TYPE S
 - CONC CONNECT TO EXISTING
 - CY CUBIC YARD
 - DET DETAIL
 - DHV DESIGN HOURLY VOLUME
 - DI DUCTILE IRON
 - DIA DIAMETER
 - DOT&PF DEPARTMENT OF TRANSPORTATION AND PUBLIC FACILITIES
 - DT DETECTABLE WARNING TILE
 - E EAST, EASTING
 - EG EXISTING GRADE
 - EL ELEVATION
 - EP END OF PROJECT
 - EOP EDGE OF PAVEMENT
 - EOTW EDGE OF TRAVELED WAY
 - ESCP EROSION SEDIMENT CONTROL PLAN
 - FG FINAL GRADE
 - FL FLOW LINE (ELEV)
 - FT, ' FOOT, FEET
 - FTG FOOTING
 - GAL GALLONS
 - GB GRADE BREAK
 - HMA HOT MIX ASPHALT
 - H HORIZONTAL
 - HDPPE HIGH-DENSITY POLYETHYLENE
 - IN, " INCH, INCHES
 - INV INVERT
 - J, JB JUNCTION BOX
 - JT JOINT
 - LB POUNDS
 - LF LINEAR FEET
 - LT LEFT
 - LVC LENGTH OF VERTICAL CURVE
 - MAX MAXIMUM
 - MB MAILBOX
 - MN MINIMUM
 - MISC MISCELLANEOUS
 - MLR MENDENHILL LOOP ROAD
 - MUTCD MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
 - N NORTH, NORTHING
 - NO., # NUMBER
 - NTS NOT TO SCALE
 - O.C./OC ON CENTER
 - OD OUTSIDE DIAMETER
 - PED PEDESTRIAN
 - PI POINT OF INTERSECTION
 - PC, POC POINT OF CURVATURE
 - PT, POT POINT OF TANGENCY
 - PRC POINT OF REVERSE CURVE
 - PVI PAVEMENT
 - R, RAD RADIUS
 - RD ROAD
 - REQD REQUIRED
 - ROW, R/W RIGHT-OF-WAY
 - RT RIGHT
 - S SOUTH
 - SH SHOULDER
 - SPECS SPECIFICATIONS
 - STA STATION
 - STD STANDARD
 - TBC TOP BACK OF CURB
 - TCE TEMPORARY CONSTRUCTION EASEMENT
 - ICP TEMPORARY CONSTRUCTION PERMIT
 - TW TOP OF WALL
 - TYP TYPICAL
 - VB VALVE BOX
 - VBS VEGETATED BUFFER STRIP
 - VC VERTICAL CURVE
 - VG VALLEY GUTTER
 - VPI VERTICAL POINT OF INTERSECTION
 - W WEST

LEGEND & ABBREVIATIONS

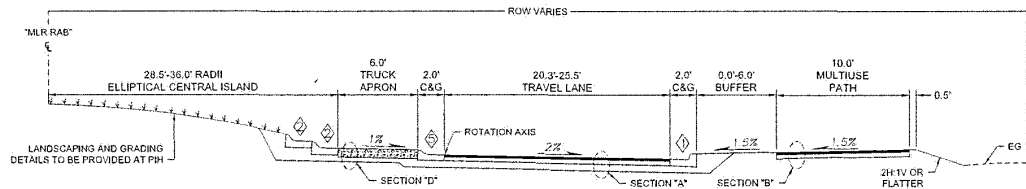


PLANS DEVELOPED BY: EGAL BUREAU, JUNEAU, AK 99801 (907)261-3533
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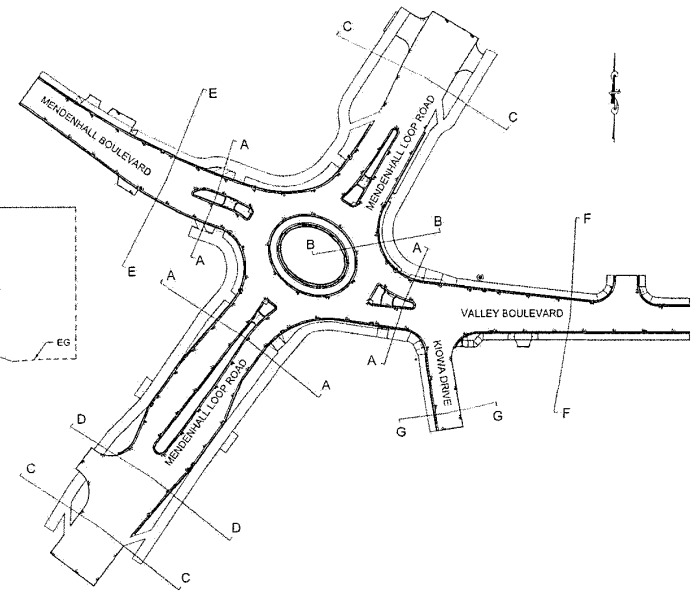
NO.	DATE	REVISION	STATE	PROJECT DESIGNATION	YEAR	SHEET NO.	TOTAL SHEETS
			ALASKA	SPHWY00403/0966030	2024	B1	B4



ROUNDABOUT SECTION A-A
 STA "MLR RAB" 1+95 TO STA "MLR RAB" 5+77
 STA "MB+VB" 23+28 TO STA "MB+VB" 23+88
 STA "MB+VB" 25+22 TO STA "MB+VB" 25+06
 NTS



ROUNDABOUT SECTION B-B
 CENTER CIRCLE
 NTS



MENDENHALL BOULEVARD / VALLEY BOULEVARD ROUNDABOUT
 NTS
 STA "MLR RAB" 0+00 TO STA "MLR RAB" 7+02
 STA "MB+VB" 21+47 TO STA "MB+VB" 28+24

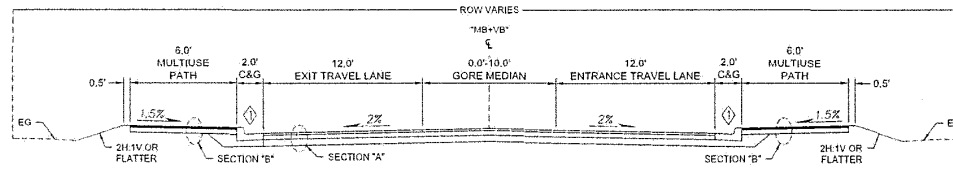
- CURB LEGEND**
- ◆ STANDARD CURB & GUTTER
 - ◆ MOUNTABLE CURB & GUTTER
 - ◆ VALLEY GUTTER
 - ◆ 4-INCH MOUNTABLE CURB & GUTTER
 - ◆ TRUCK APRON CURB & GUTTER

TYPICAL SECTIONS

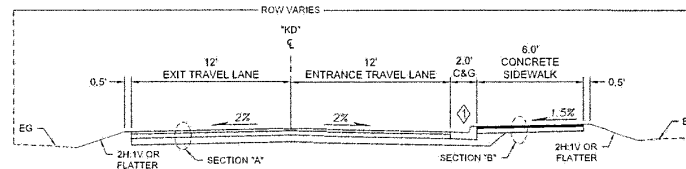


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NO.	DATE	REVISION	STATE	PROJECT DESIGNATION	YEAR	SHEET NO.	TOTAL SHEETS
			ALASKA	SFHWW09403/0966030	2024	B3	64



VALLEY BOULEVARD SECTION F-F
 STA "MB+VB" 25+66 TO STA "MB+VB" 28+22
 NTS



KIOWA DRIVE SECTION G-G
 STA "KD" 1+18 TO STA "KD" 2+13
 NTS

CURB LEGEND

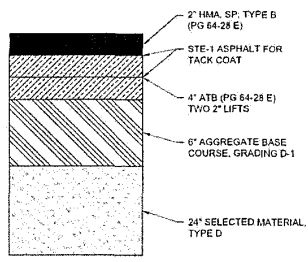
- ① STANDARD CURB & GUTTER
- ② MOUNTABLE CURB & GUTTER
- ③ VALLEY GUTTER
- ④ 4-INCH MOUNTABLE CURB & GUTTER
- ⑤ TRUCK APRON CURB & GUTTER

TYPICAL SECTIONS

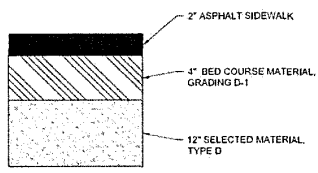


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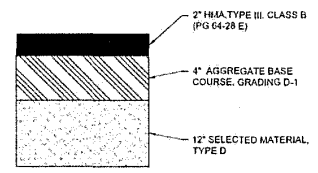
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			ALASKA	SFH4W00403/C966030	2024	B4	B4



SECTION "A"
ROADWAYS AND ROUNDABOUT
NTS



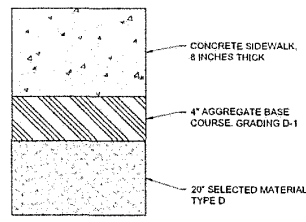
SECTION "B"
ASPHALT PATHWAYS
NTS



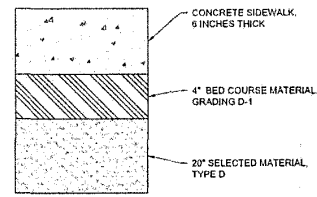
SECTION "C"
ASPHALT MEDIANS & PAVED APPROACHES
NTS

NOTES

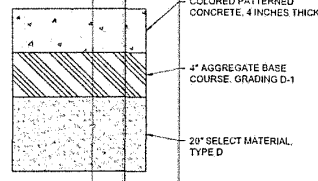
1. IN CUT OR FILL AREAS WITHIN THE EXISTING ROAD BED, EXISTING SUBGRADE CAN BE LEFT IN PLACE AND REUSED. ADD SELECTED MATERIAL, TYPE D, AS NEEDED TO MEET GRADES.
2. IN FILL AREAS OUTSIDE THE EXISTING ROAD BED, CONTRACTOR SHALL USE SELECTED MATERIAL, TYPE D.



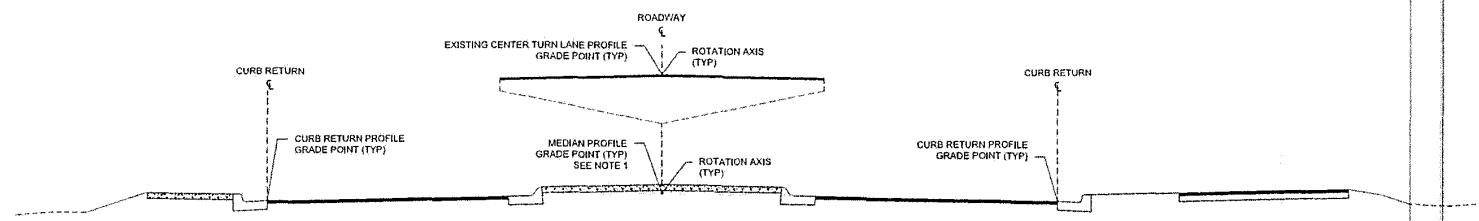
SECTION "D"
ROUNDABOUT TRUCK APRONS
NTS



SECTION "E"
BUS SHELTER PADS & SIDEWALKS
NTS



SECTION "F"
CONCRETE MEDIANS
NTS

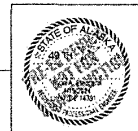


CONTROL AND ROTATION AXIS POINT LAYOUT FOR TYPICAL SECTIONS
ROADWAY, ROUNDABOUT, AND PATHS
NTS

NOTES

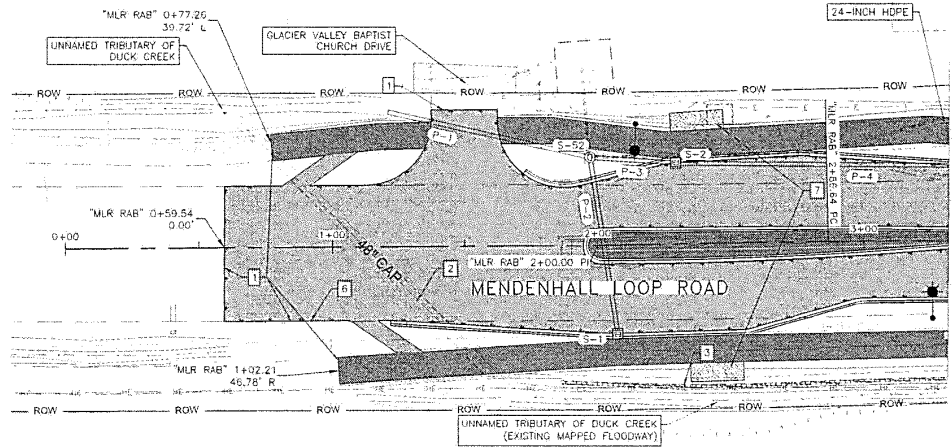
1. PROFILE GRADE POINT OF MEDIANS EQUALS THE EXTENSION OF THE TOP OF ASPHALT OF THE DRIVING SURFACE TO THE ALIGNMENT CENTERLINE.
2. PATHWAY ALIGNMENTS AND PROFILES WILL BE PROVIDED AT PH.

TYPICAL SECTIONS

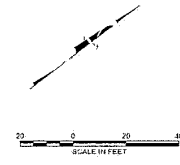


PLANS DEVELOPED BY: EGAL 3046 GARDNER HIGHWAY, JAREAU, AK 99601 (307)260-3533
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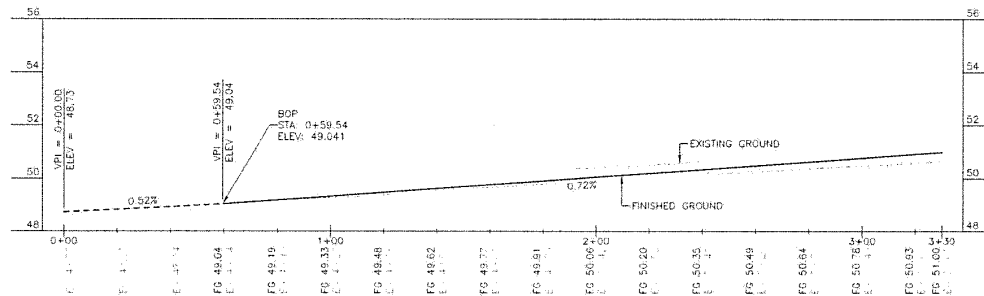
NO.	DATE	REVISION	STATE	PROJECT DESIGNATION	YEAR	SHEET NO.	TOTAL SHEETS
			ALASKA	SHHWY 02403/0966030	2024	F1	F9



- CONSTRUCTION NOTES:**
1. MATCH TO EXISTING
 2. PRESERVE & PROTECT EXISTING 48" CAP
 3. PRESERVE & PROTECT EXISTING CONCRETE BLOCK RETAINING WALL
 4. ADJUST TO FINISHED GRADE ALL VALVE BOXES, MANHOLES, AND OTHER UTILITIES WITH THE PROJECT LIMITS UNLESS OTHERWISE NOTED
 5. EXISTING UTILITIES IN CONFLICT WITH IMPROVEMENTS TO BE RELOCATED BY OTHERS UNLESS OTHERWISE SHOWN
 6. DEMOLISH EXISTING ACCESS BETWEEN EDGE OF ROADWAY AND EDGE OF PATHWAY
 7. CONSTRUCT CONCRETE BUS STOP PAD, SHELTER STRUCTURE TO BE FURNISHED AND INSTALLED BY CEJ.

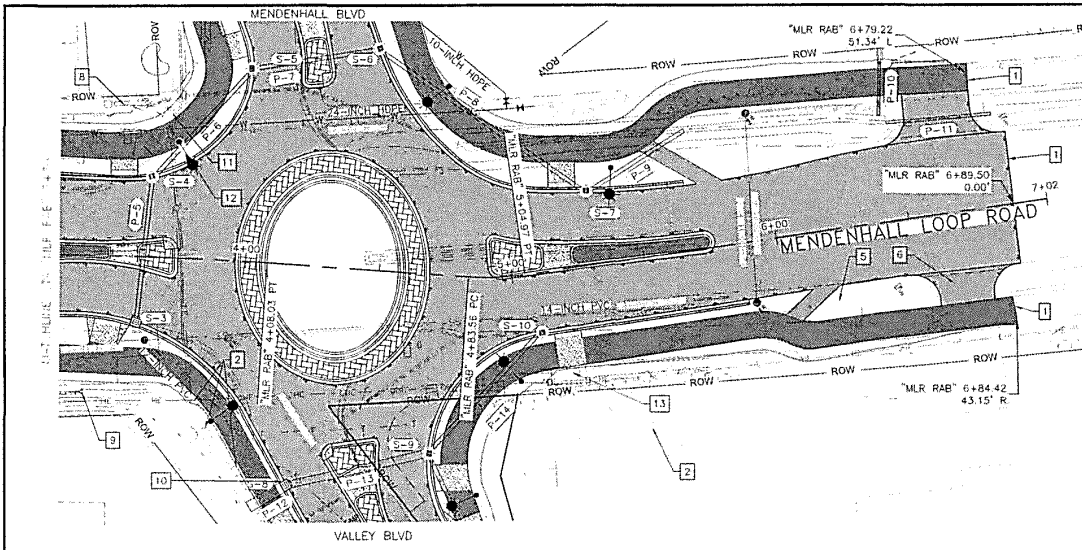


- NOTES TO REVIEWER:**
1. DETAILED GRADING LAYOUT SHEETS WILL BE PROVIDED AT THE PIH SUBMITTAL.
 2. NEW SIGN LOCATIONS AND SIGN DETAILS WILL BE SHOWN AT THE PIH SUBMITTAL.
 3. ALIGNMENT GEOMETRY NOT SHOWN IN PLAN VIEW TO REDUCE CLUTTER THIS INFORMATION WILL BE PROVIDED AT THE PIH SUBMITTAL.



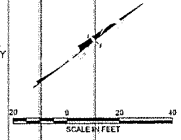
MENDENHALL LOOP ROAD

PLANS DEVELOPED BY: DUAL PASE GLACIER HIGHWAY, JUNEAU, AK 99801 (907)780-3532
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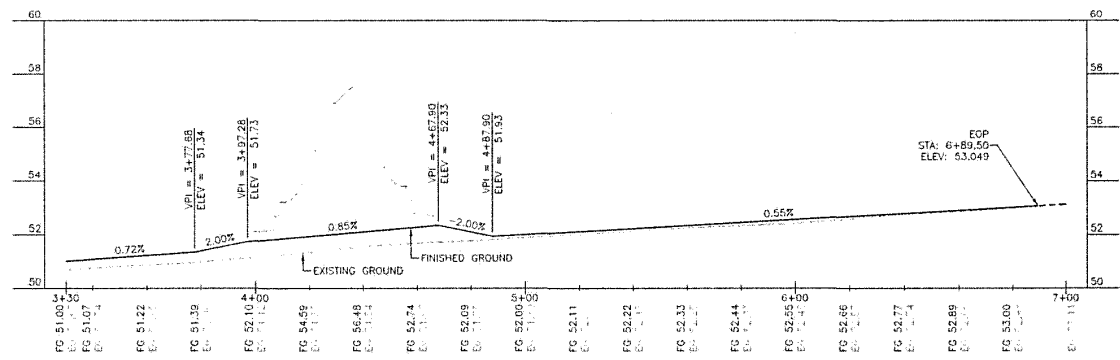


NO.	DATE	REVISION	STATE	PROJECT DESIGNATION	YEAR	SHEET NO.	TOTAL SHEETS
			ALASKA	SFH/WY 00403/0966030	2024	F2	F9

- CONSTRUCTION NOTES:**
1. MATCH TO EXISTING
 2. PRESERVE & PROTECT EXISTING UTILITY POLE, CONDUIT, AND GUY ANCHORS
 3. ADJUST TO FINISHED GRADE ALL VALVE BOXES, MANHOLES, AND OTHER UTILITIES WITHIN THE PROJECT LIMITS, UNLESS OTHERWISE SHOWN
 4. EXISTING UTILITIES IN CONFLICT WITH IMPROVEMENTS TO BE RELOCATED BY OTHERS, UNLESS OTHERWISE SHOWN.
 5. DEMOLISH EXISTING ACCESS BETWEEN EDGE OF ROADWAY AND EDGE OF PATHWAY
 6. RECONSTRUCT DRIVEWAY
 7. REMOVE AND DISPOSE OF EXISTING TRAFFIC SIGNAL INFRASTRUCTURE. COORDINATE WITH DOT&PF ON WHAT EQUIPMENT IS TO BE SALVAGED
 8. PRESERVE & PROTECT EXISTING ELECTRICAL TRANSFORMER AND OTHER UTILITY BOXES.
 9. PRESERVE & PROTECT EXISTING CONCRETE BLOCK RETAINING WALL
 10. OIL/WATER SEPARATOR
 11. REMOVE & SALVAGE EXISTING HYDRANT, RISER, AND VALVE ASSEMBLY.
 12. INSTALL PAN-TILT-ZOOM (PTZ) CAMERA
 13. DEMOLISH EXISTING CONCRETE BUS STOP SHELTER PAD. SALVAGE EXISTING BUS STOP SHELTER STRUCTURE.

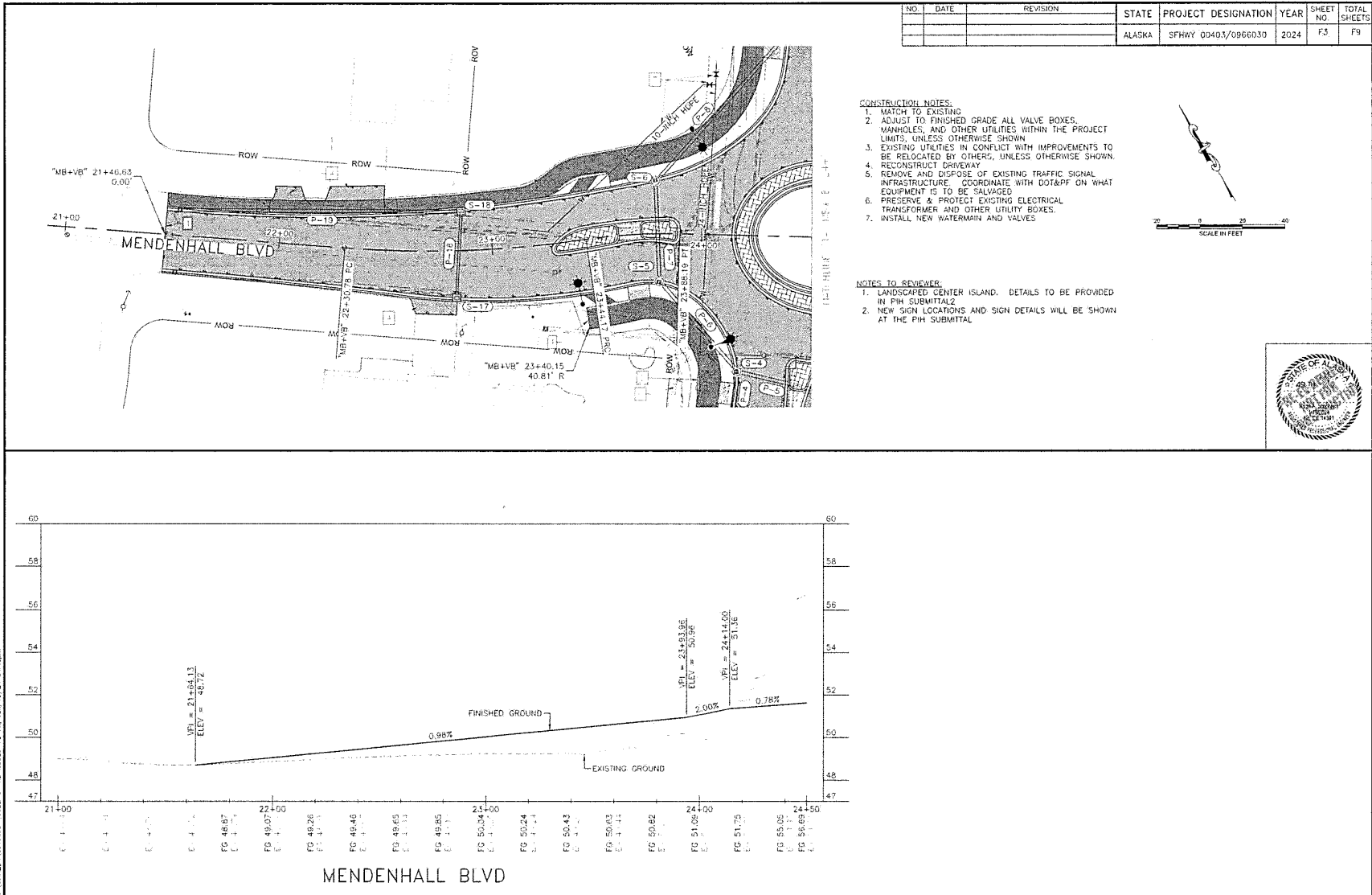


- NOTES TO REVIEWER:**
1. LANDSCAPED CENTER ISLAND: DETAILS TO BE PROVIDED IN PIH SUBMITTAL
 2. DETAILED GRADING SHEETS WILL BE PROVIDED AT THE PIH SUBMITTAL
 3. NEW SIGN LOCATIONS AND SIGN DETAILS WILL BE SHOWN AT THE PIH SUBMITTAL
 4. LIGHTING LAYOUT IS PRELIMINARY AND FURTHER DETAIL WILL BE PROVIDED AT THE PIH SUBMITTAL.

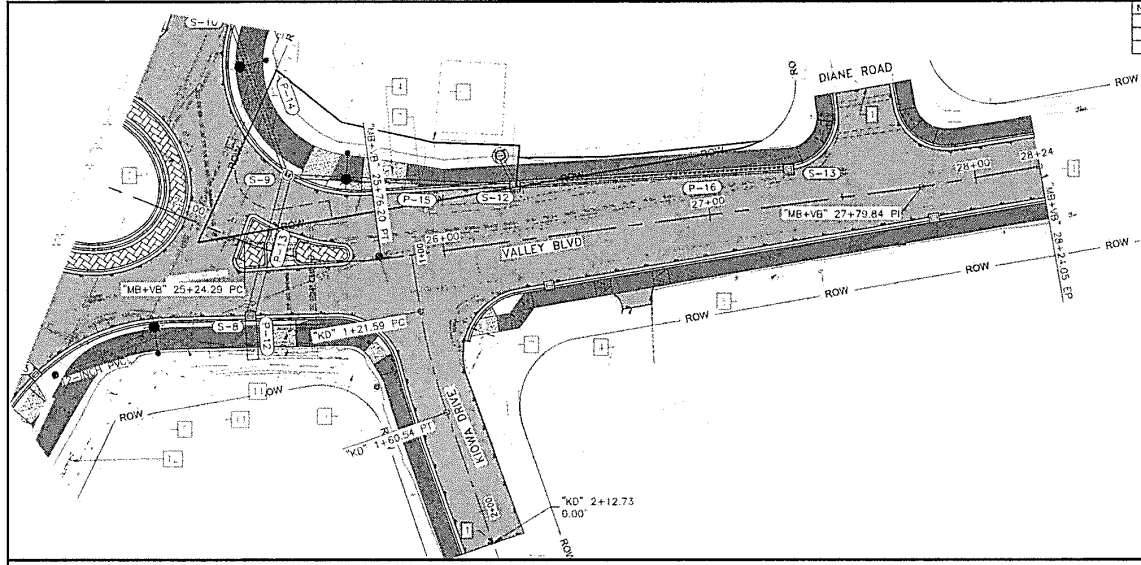


MENDENHALL LOOP ROAD

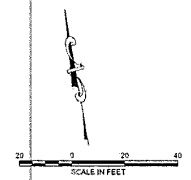
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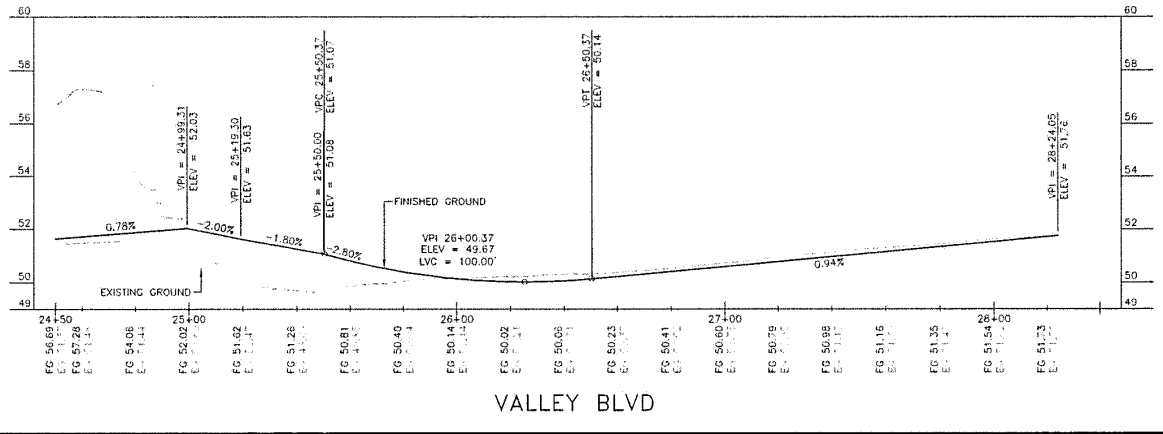
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			ALASKA	SFWAY 09403/0966030	2024	F4	F9



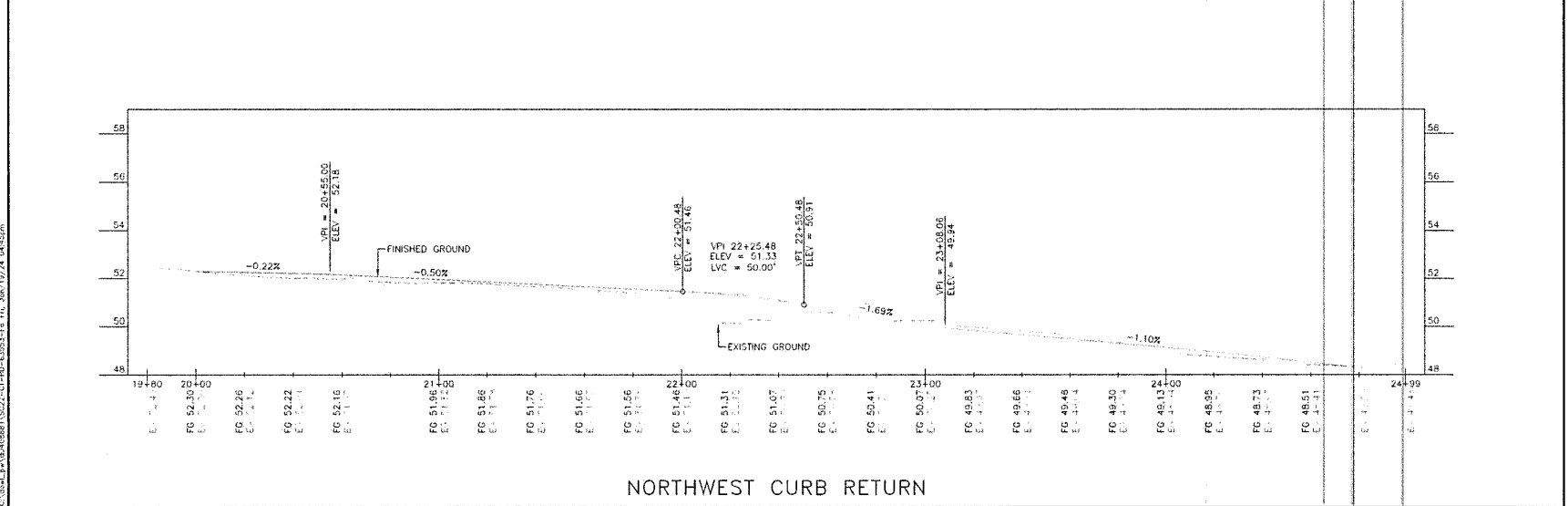
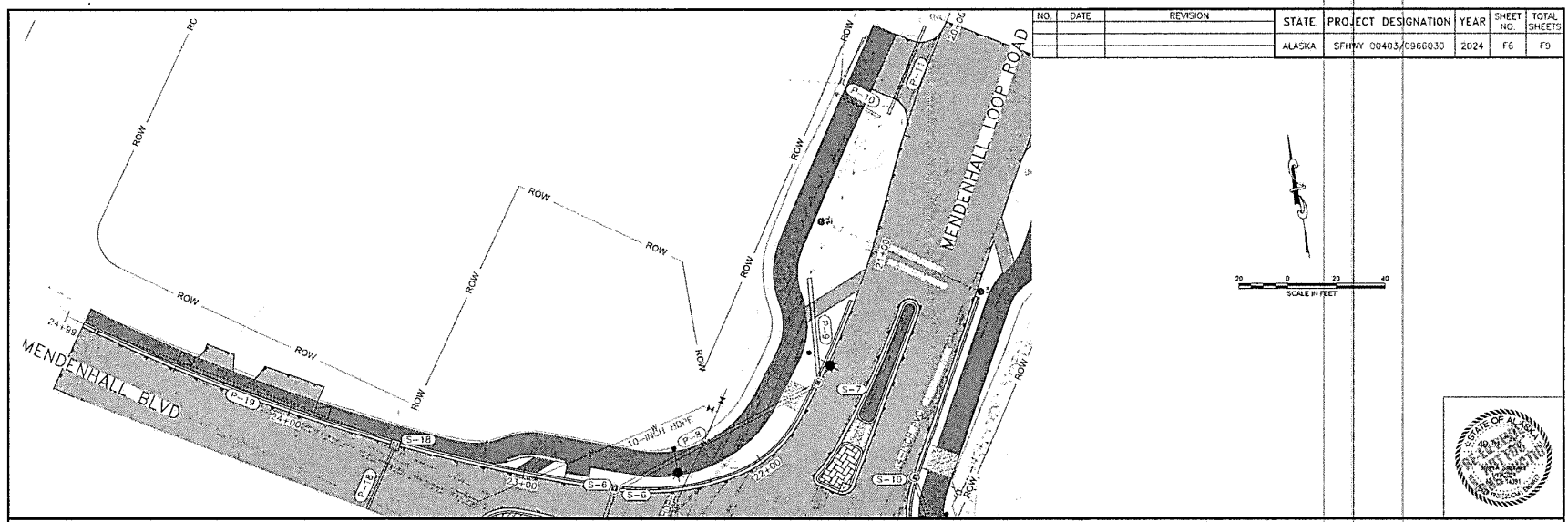
- CONSTRUCTION NOTES:**
1. MATCH TO EXISTING
 2. ADJUST TO FINISHED GRADE ALL VALVE BOXES, MANHOLES, AND OTHER UTILITIES WITH THE PROJECT LIMITS, UNLESS OTHERWISE SHOWN.
 3. EXISTING UTILITIES IN CONFLICT WITH IMPROVEMENTS TO BE RELOCATED BY OTHERS, UNLESS OTHERWISE SHOWN.
 4. RECONSTRUCT DRIVEWAY
 5. REMOVE AND DISPOSE OF EXISTING TRAFFIC SIGNAL INFRASTRUCTURE. COORDINATE WITH DOT&PF ON WHAT EQUIPMENT IS TO BE SALVAGED
 6. REMOVE & RELOCATE EXISTING CHAIN-LINK FENCE AND DOUBLE GATE
 7. UTILITY POLE TO BE RELOCATED BY OTHERS
 8. PRESERVE AND PROTECT EXISTING UTILITY POLE, CONDUIT, AND GUY ANCHORS
 9. PRESERVE AND PROTECT EXISTING STORM PIPE OUTFALL
 10. REMOVE AND DISPOSE OF EXISTING CONCRETE BLOCK RETAINING WALL
 11. CONSTRUCT RETAINING WALL
 12. PRESERVE AND PROTECT EXISTING BLOCK RETAINING WALL



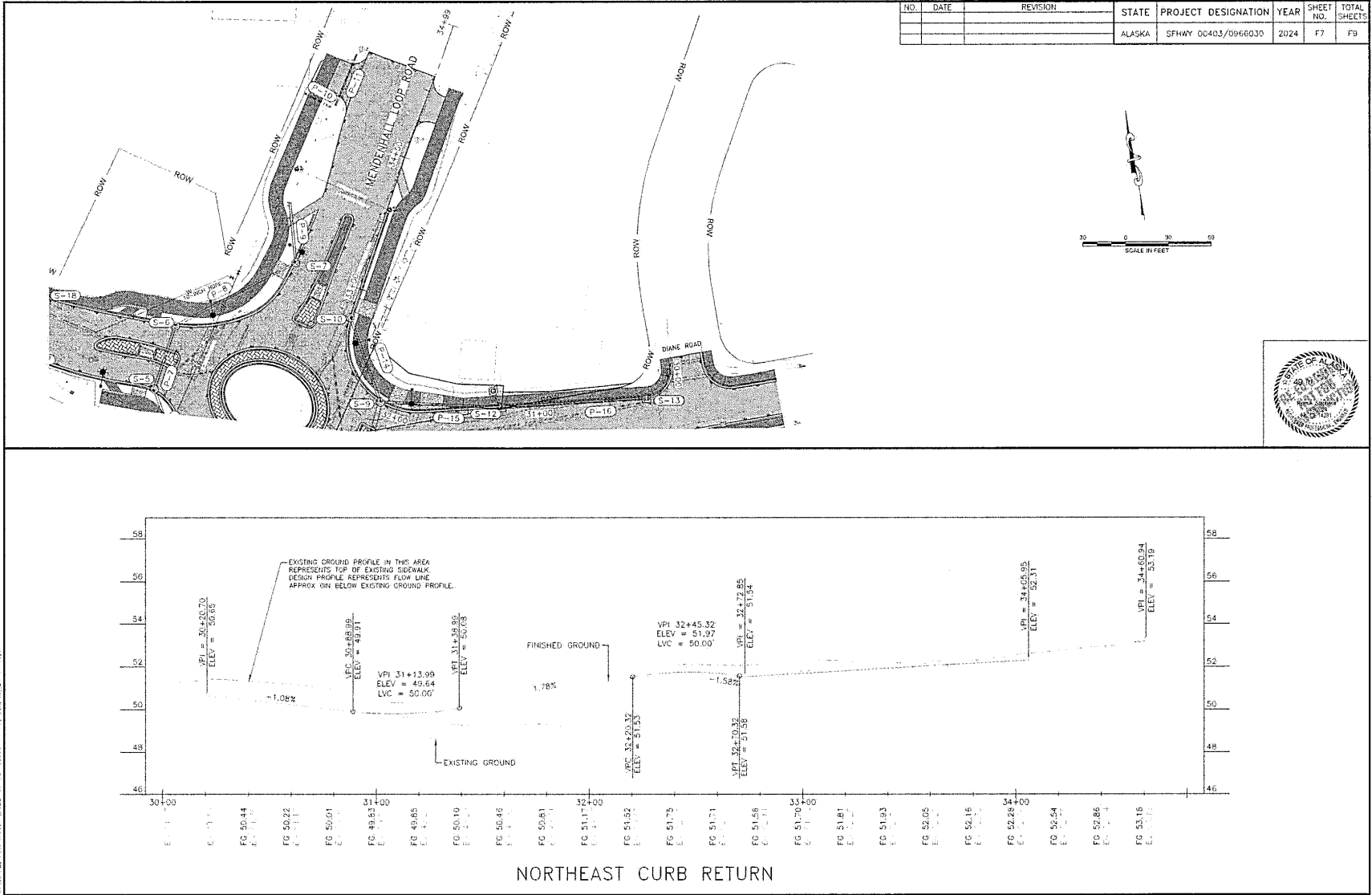
- NOTES FOR REVIEWER:**
1. LANDSCAPED CENTER ISLAND. DETAILS TO BE PROVIDED IN P111 SUBMITTAL



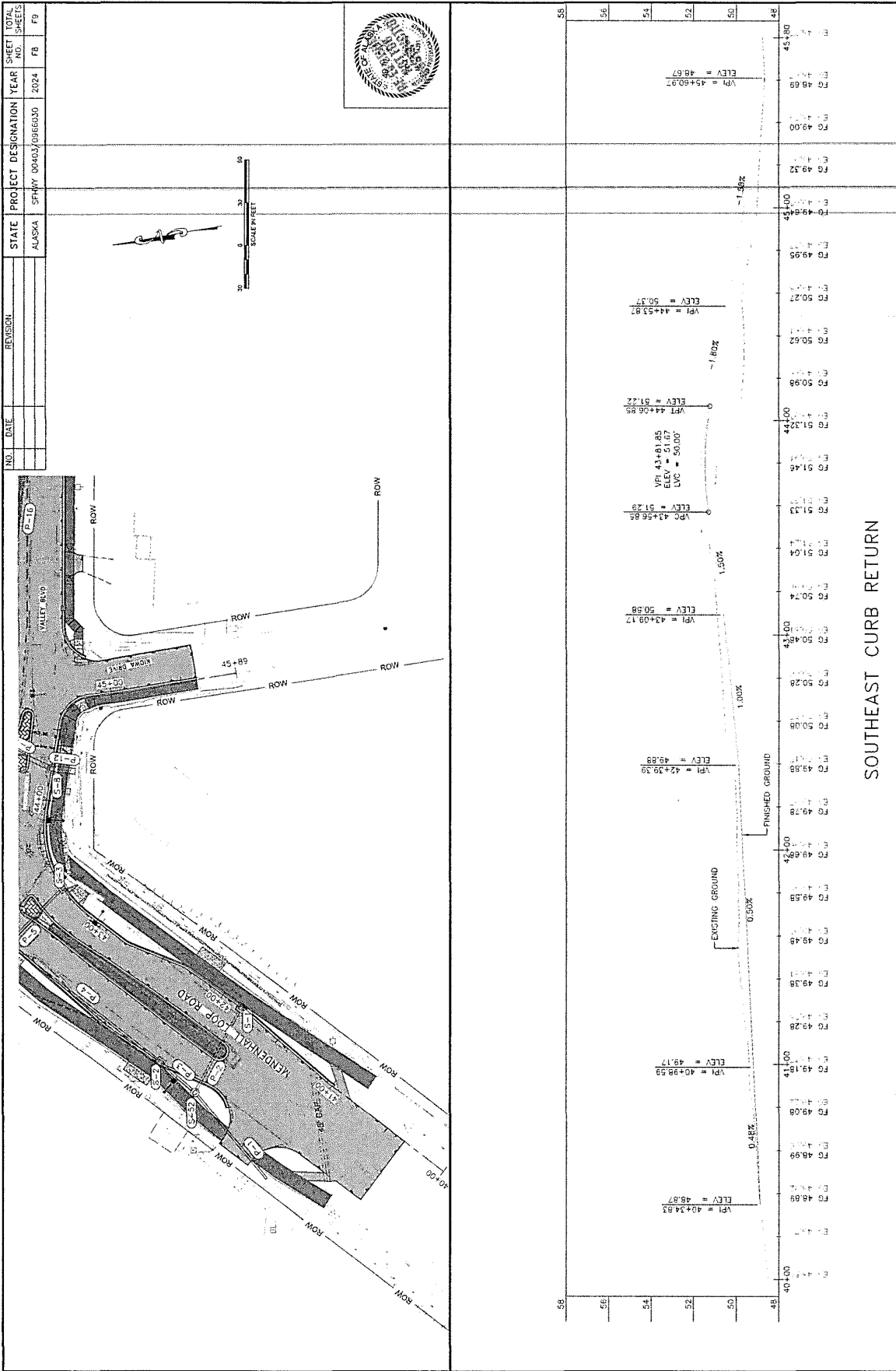
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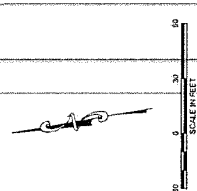
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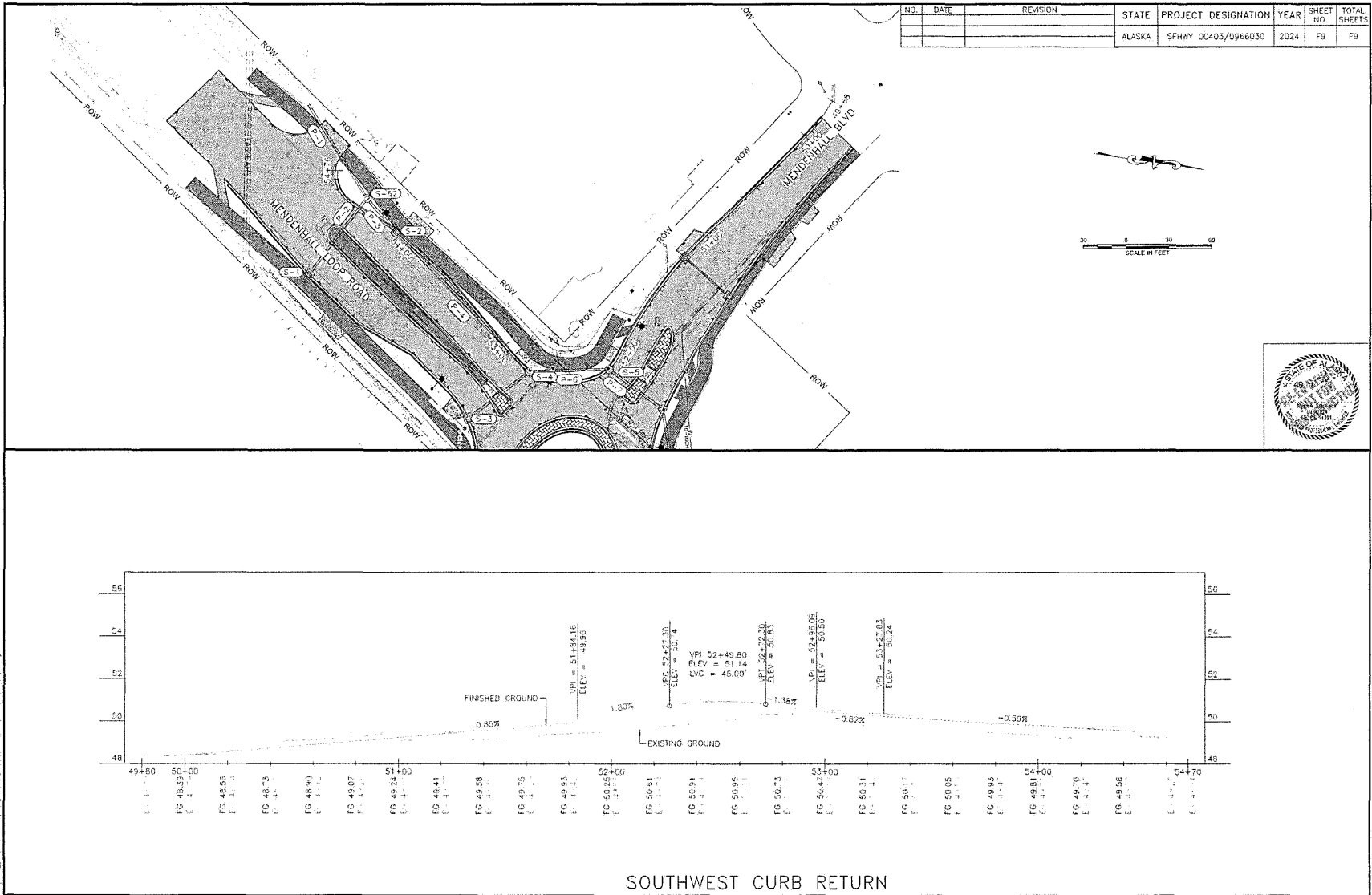
PLANS DEVELOPED BY: ERMAL, 9345 GARDNER HIGHWAY, JUNEAU, AK 99801 (307)792-1532
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NO.	DATE	REVISION	STATE	PROJECT DESIGNATION	YEAR	SHEET NO.	TOTAL SHEETS
			ALASKA	SPRWAY 00403/0066030	2024	F8	F9



PLANS DEVELOPED BY: COWI, 9905 GARDNER HIGHWAY, ANCHORAGE, AK 99501 (907)780-5531
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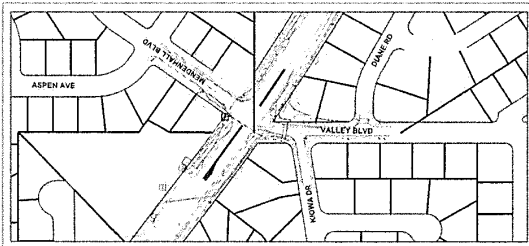


PLANS DEVELOPED BY: DEAN, 955 QUADOP HIGHWAY, ANCHORAGE, ALASKA 99503 (907)760-3522
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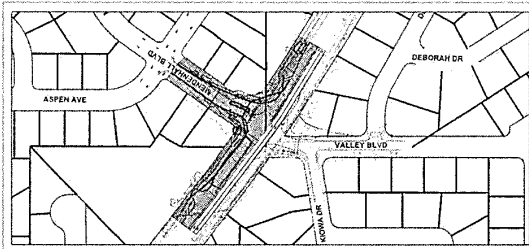


NO.	DATE	REVISION	STATE	PROJECT DESIGNATION	YEAR	SHEET NO.	TOTAL SHEETS
			ALASKA	SF-WY00403/0966030	2024	S1	S5

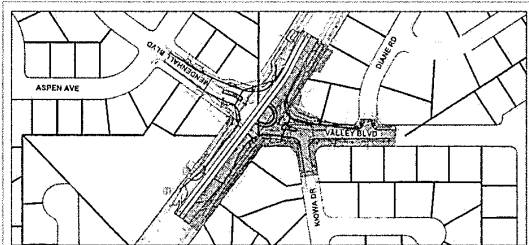
INDEX OF SHEETS	
SHEET NO.	DESCRIPTION
S1	CONSTRUCTION PHASING OVERVIEW
S2	PHASE 1 - CONSTRUCTION PHASING - DEMO MEDIANS
S3	PHASE 2 - CONSTRUCTION PHASING - WEST
S4	PHASE 3 - CONSTRUCTION PHASING - EAST
S5	PHASE 4 - CONSTRUCTION PHASING - TRUCK APRON AND MEDIANS



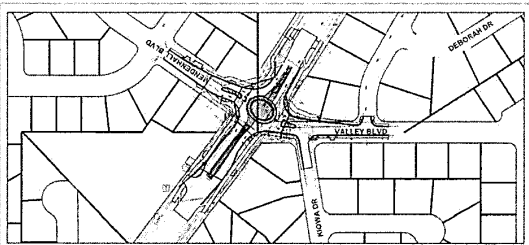
PHASE 1 (SHEET S2)



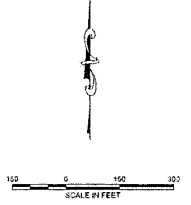
PHASE 2 (SHEET S3)



PHASE 3 (SHEET S4)



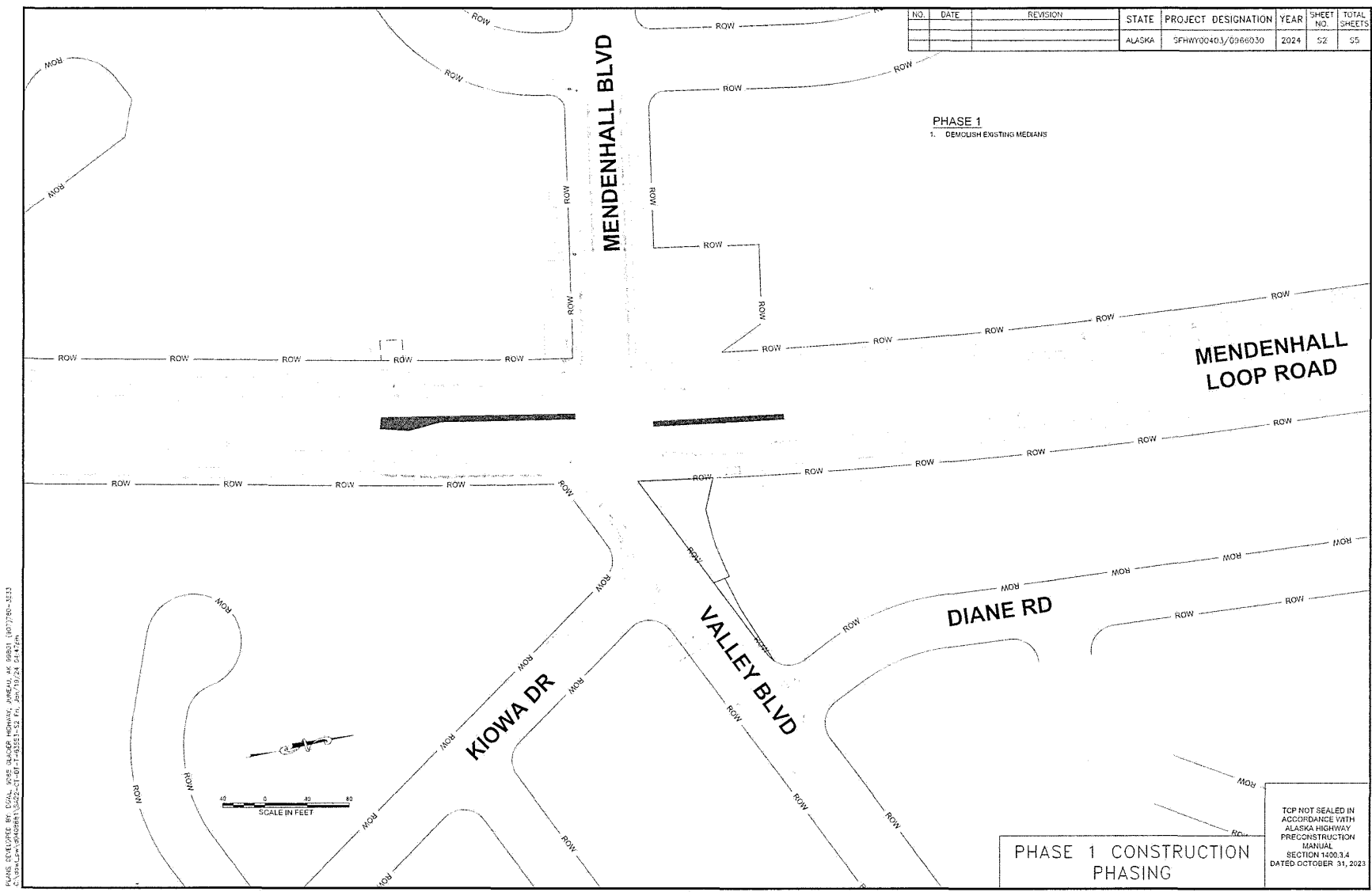
PHASE 4 (SHEET S5)



PLANS DEVELOPED BY: DONALD S. GARDNER, JR., P.E. (0077780-3513)
 2100 LUMBER STREET, SUITE 101, JUNEAU, ALASKA 99801
 PHONE: (907) 586-1111 FAX: (907) 586-1112

CONSTRUCTION PHASING OVERVIEW

TCP NOT SEALED IN ACCORDANCE WITH ALASKA HIGHWAY PRECONSTRUCTION MANUAL SECTION 1400.3.4 DATED OCTOBER 31, 2023



NO.	DATE	REVISION	STATE	PROJECT DESIGNATION	YEAR	SHEET NO.	TOTAL SHEETS
			ALASKA	SFHWW0040.3/0966030	2024	52	55

PHASE 1
1. DEMOLISH EXISTING MEDIANS

MENDENHALL LOOP ROAD

DIANE RD

VALLEY BLVD

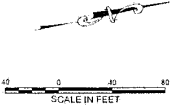
KIOWA DR

MENDENHALL BLVD

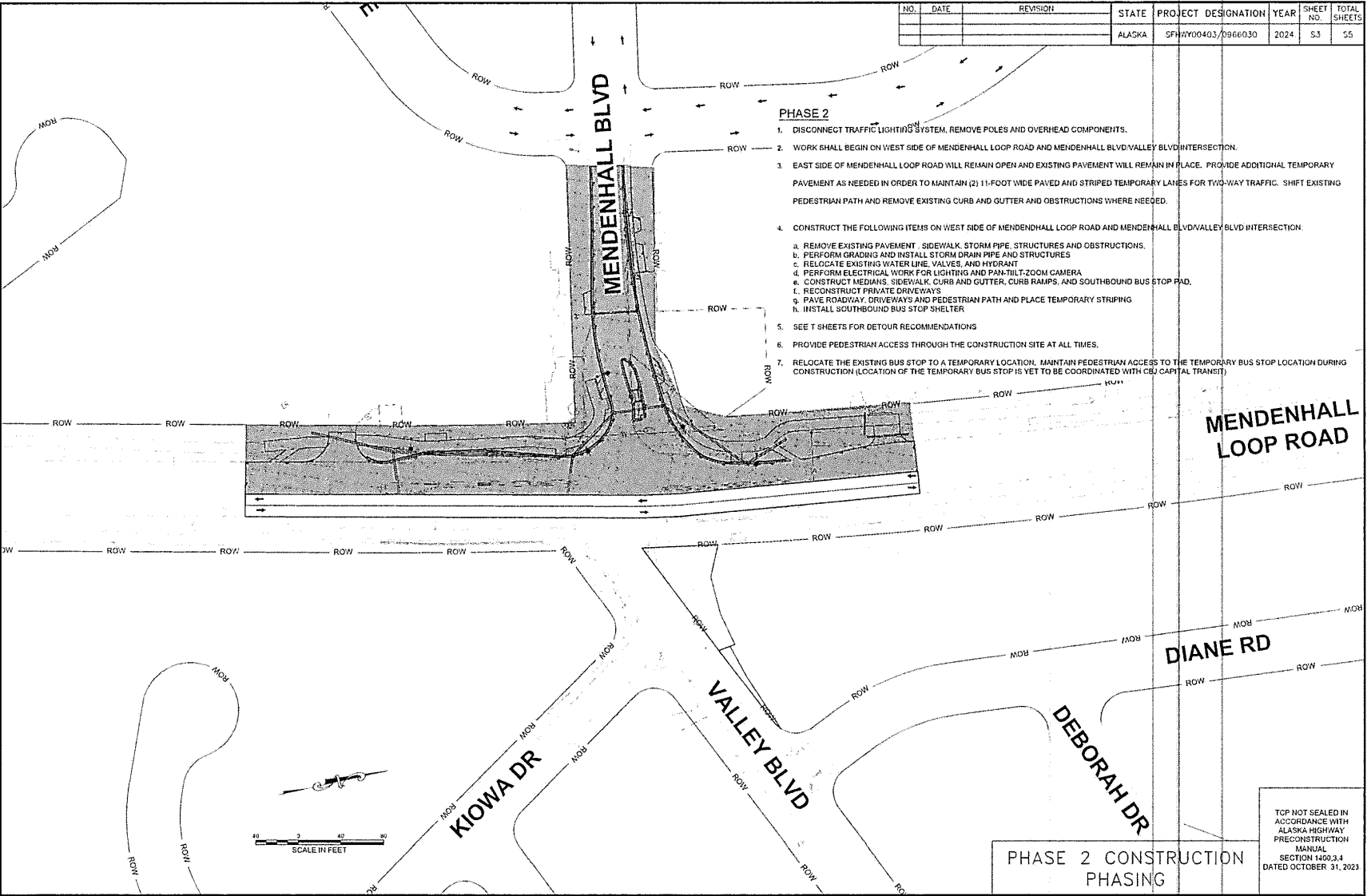
PHASE 1 CONSTRUCTION PHASING

TOP NOT SEALED IN ACCORDANCE WITH ALASKA HIGHWAY PRECONSTRUCTION MANUAL SECTION 1400.3.4 DATED OCTOBER 31, 2023

PLANS DEVELOPED BY: DUAL, WIDE-BLADDER HIGHWAY, ANCHORAGE, AK 99501 (907)770-1111
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NO.	DATE	REVISION	STATE	PROJECT DESIGNATION	YEAR	SHEET NO.	TOTAL SHEETS
			ALASKA	SFH WY00403/0966030	2024	S.3	S.5

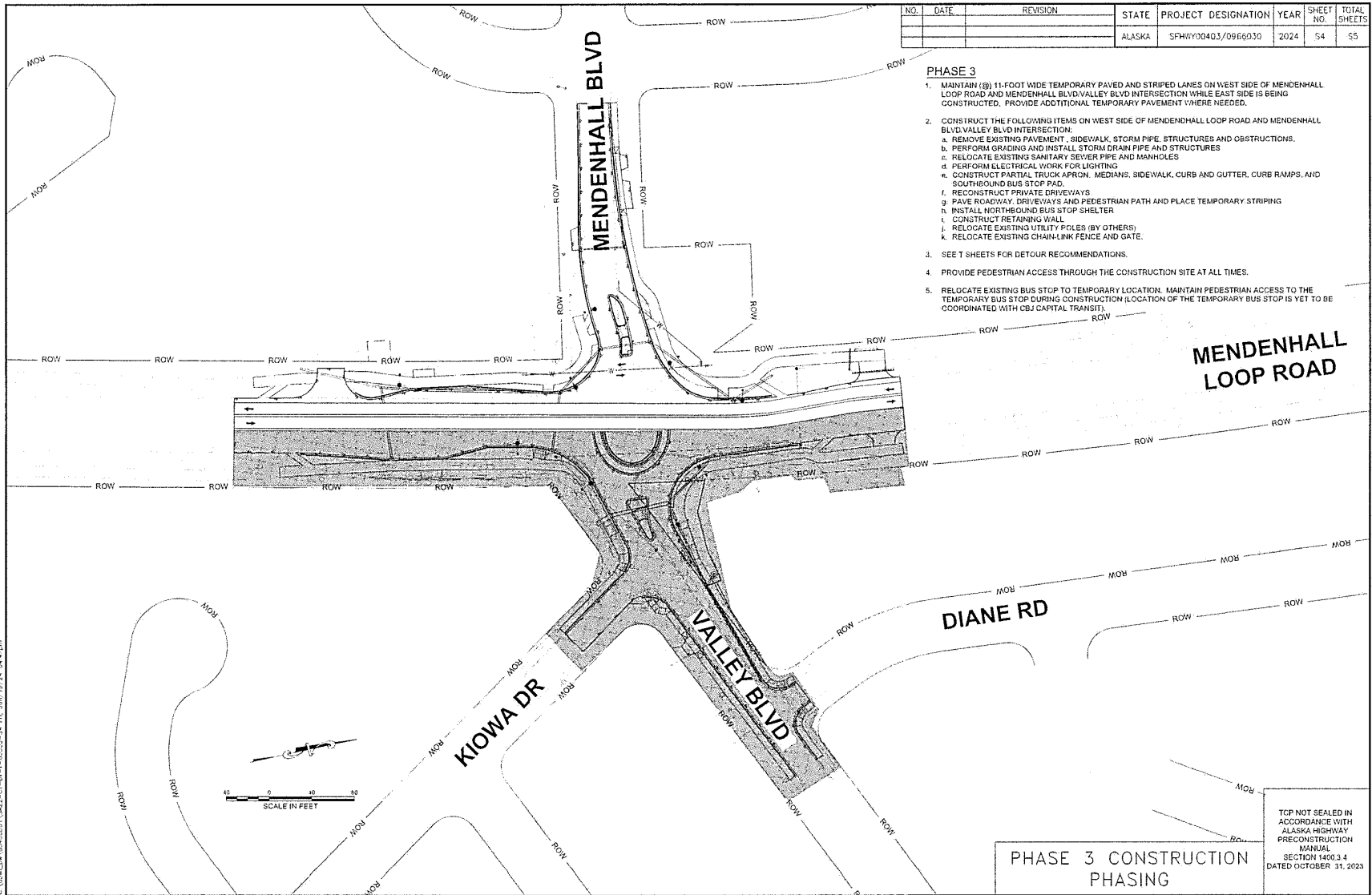


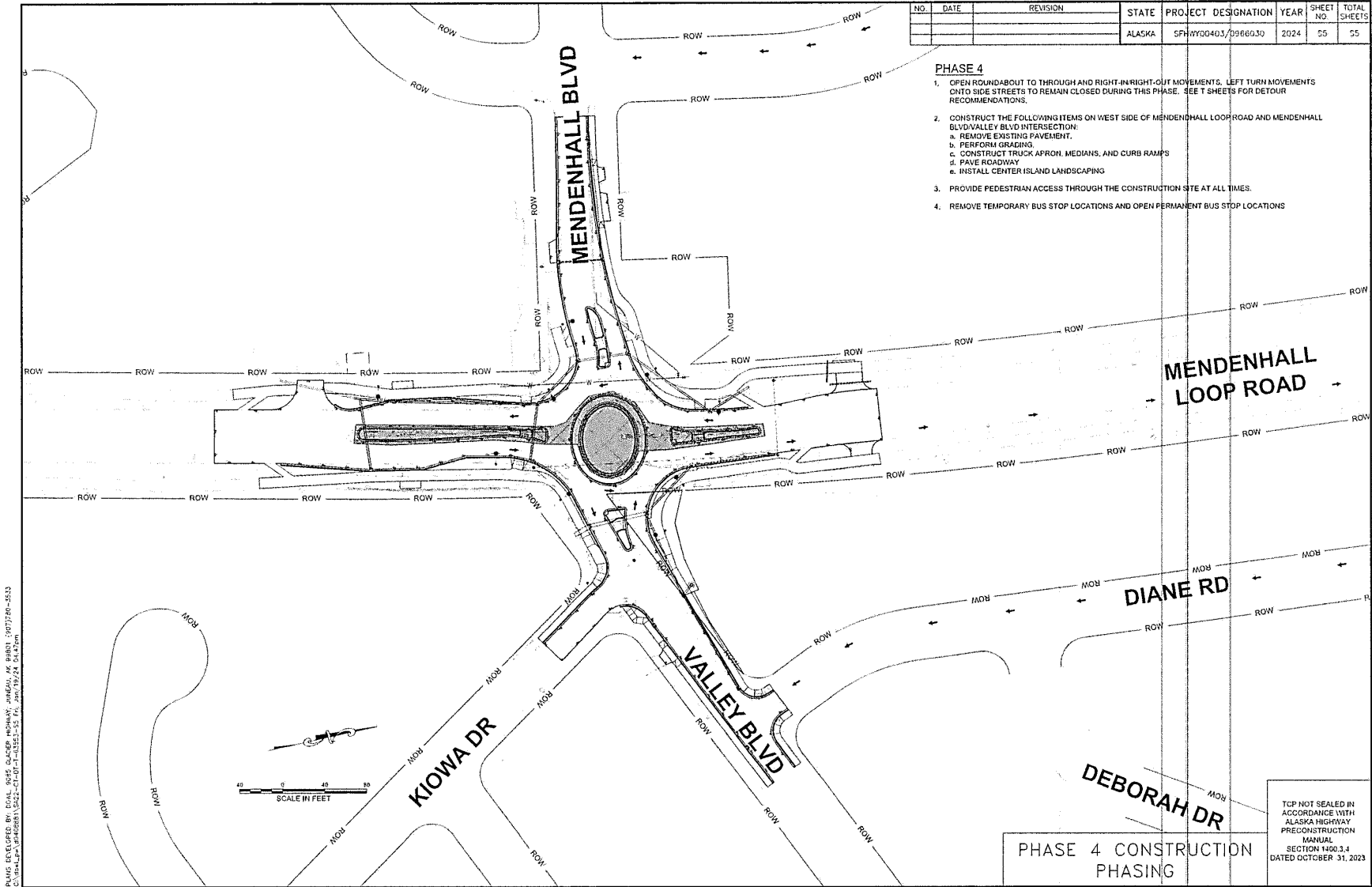
- PHASE 2**
1. DISCONNECT TRAFFIC LIGHTING SYSTEM. REMOVE POLES AND OVERHEAD COMPONENTS.
 2. WORK SHALL BEGIN ON WEST SIDE OF MENDENHALL LOOP ROAD AND MENDENHALL BLVD/VALLEY BLVD INTERSECTION.
 3. EAST SIDE OF MENDENHALL LOOP ROAD WILL REMAIN OPEN AND EXISTING PAVEMENT WILL REMAIN IN PLACE. PROVIDE ADDITIONAL TEMPORARY PAVEMENT AS NEEDED IN ORDER TO MAINTAIN (2) 11-FOOT WIDE PAVED AND STRIPED TEMPORARY LANES FOR TWO-WAY TRAFFIC. SHIFT EXISTING PEDESTRIAN PATH AND REMOVE EXISTING CURB AND GUTTER AND OBSTRUCTIONS WHERE NEEDED.
 4. CONSTRUCT THE FOLLOWING ITEMS ON WEST SIDE OF MENDENHALL LOOP ROAD AND MENDENHALL BLVD/VALLEY BLVD INTERSECTION.
 - a. REMOVE EXISTING PAVEMENT, SIDEWALK, STORM PIPE, STRUCTURES AND OBSTRUCTIONS.
 - b. PERFORM GRADING AND INSTALL STORM DRAIN PIPE AND STRUCTURES
 - c. RELOCATE EXISTING WATER LINE, VALVES, AND HYDRANT
 - d. PERFORM ELECTRICAL WORK FOR LIGHTING AND PAN-TILT-ZOOM CAMERA
 - e. CONSTRUCT MEDIANS, SIDEWALK, CURB AND GUTTER, CURB RAMPS, AND SOUTHBOUND BUS STOP PAD.
 - f. RECONSTRUCT PRIVATE DRIVEWAYS
 - g. PAVE ROADWAY, DRIVEWAYS AND PEDESTRIAN PATH AND PLACE TEMPORARY STRIPING
 - h. INSTALL SOUTHBOUND BUS STOP SHELTER
 5. SEE T SHEETS FOR DETOUR RECOMMENDATIONS
 6. PROVIDE PEDESTRIAN ACCESS THROUGH THE CONSTRUCTION SITE AT ALL TIMES.
 7. RELOCATE THE EXISTING BUS STOP TO A TEMPORARY LOCATION. MAINTAIN PEDESTRIAN ACCESS TO THE TEMPORARY BUS STOP LOCATION DURING CONSTRUCTION (LOCATION OF THE TEMPORARY BUS STOP IS YET TO BE COORDINATED WITH CBJ CAPITAL TRANSIT)

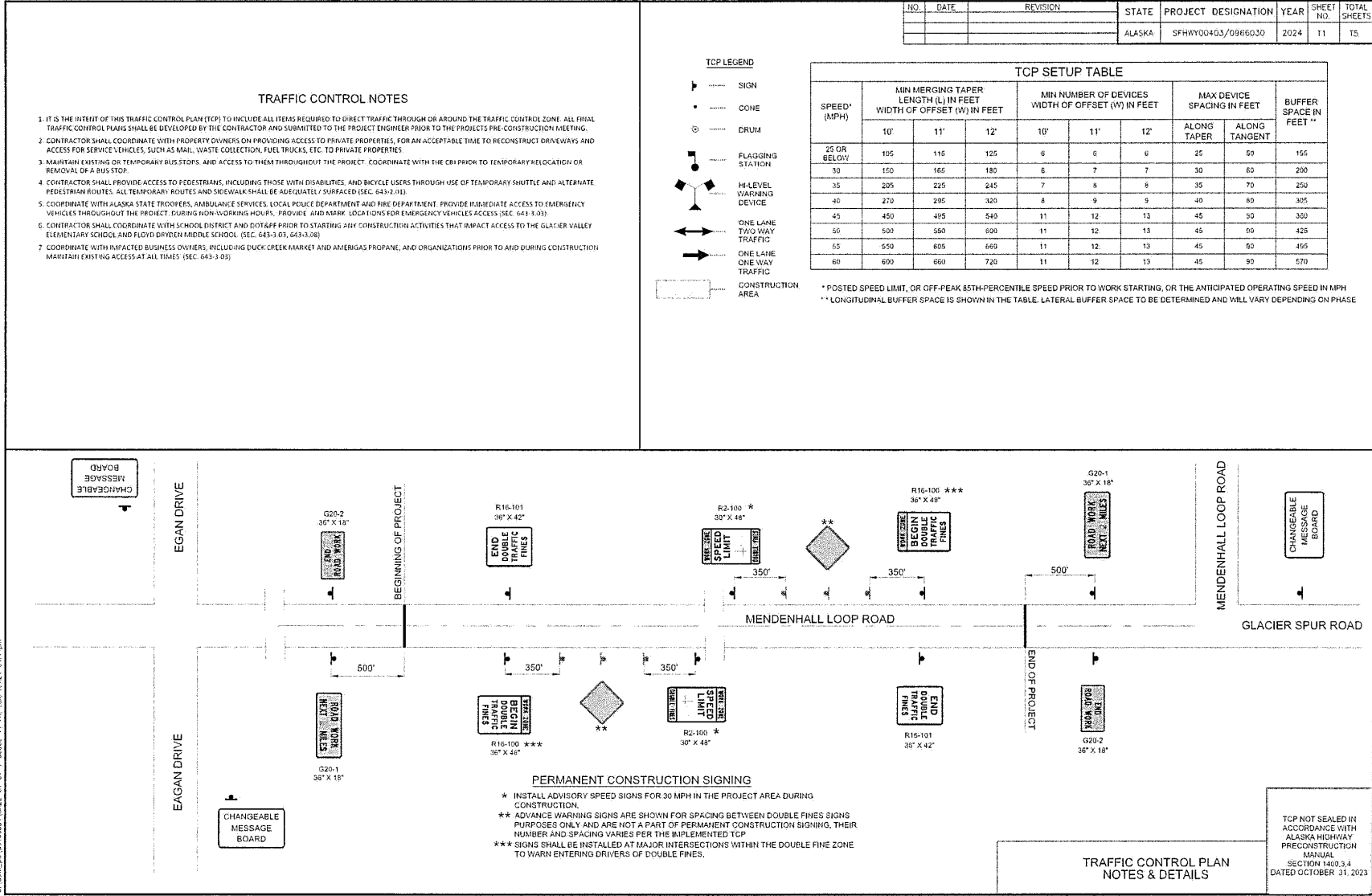
PLANS DEVELOPED BY: LOCAL BUREAU QUADRA, JUNEAU, AK 99801 (907)746-3033
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PHASE 2 CONSTRUCTION
 PHASING

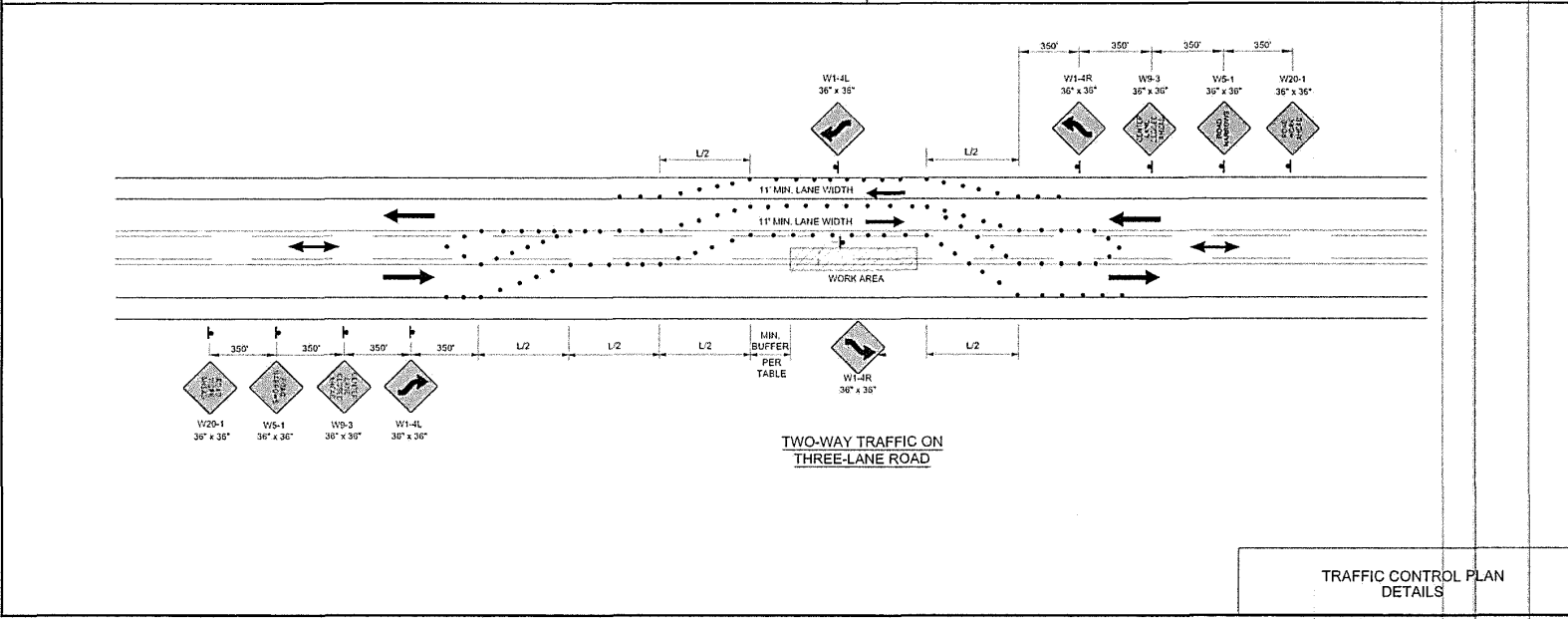
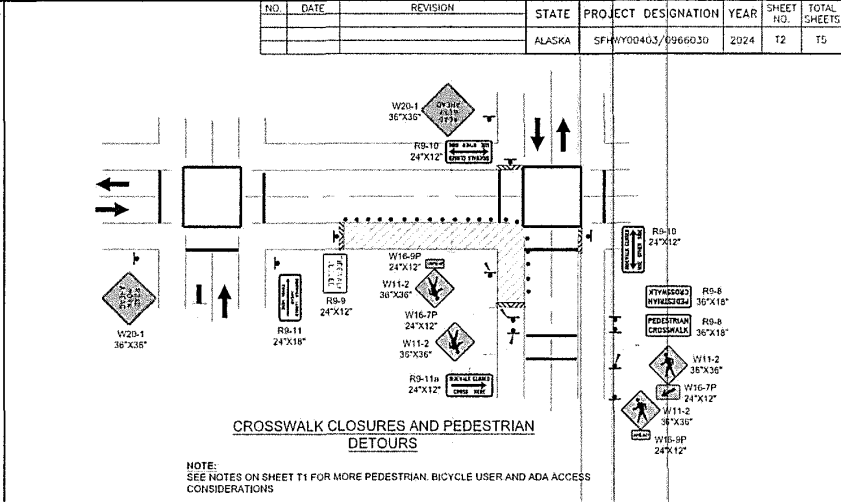
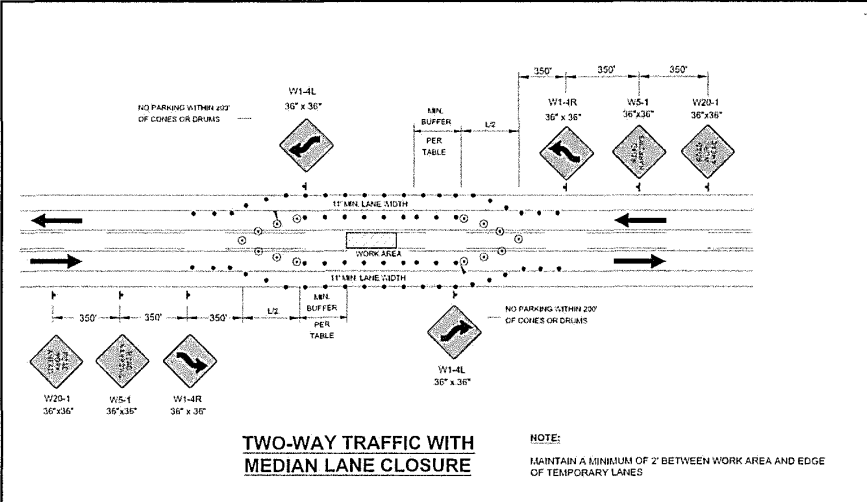
TOP NOT SEALED IN
 ACCORDANCE WITH
 ALASKA HIGHWAY
 PRECONSTRUCTION
 MANUAL
 SECTION 1400.3.4
 DATED OCTOBER 31, 2023





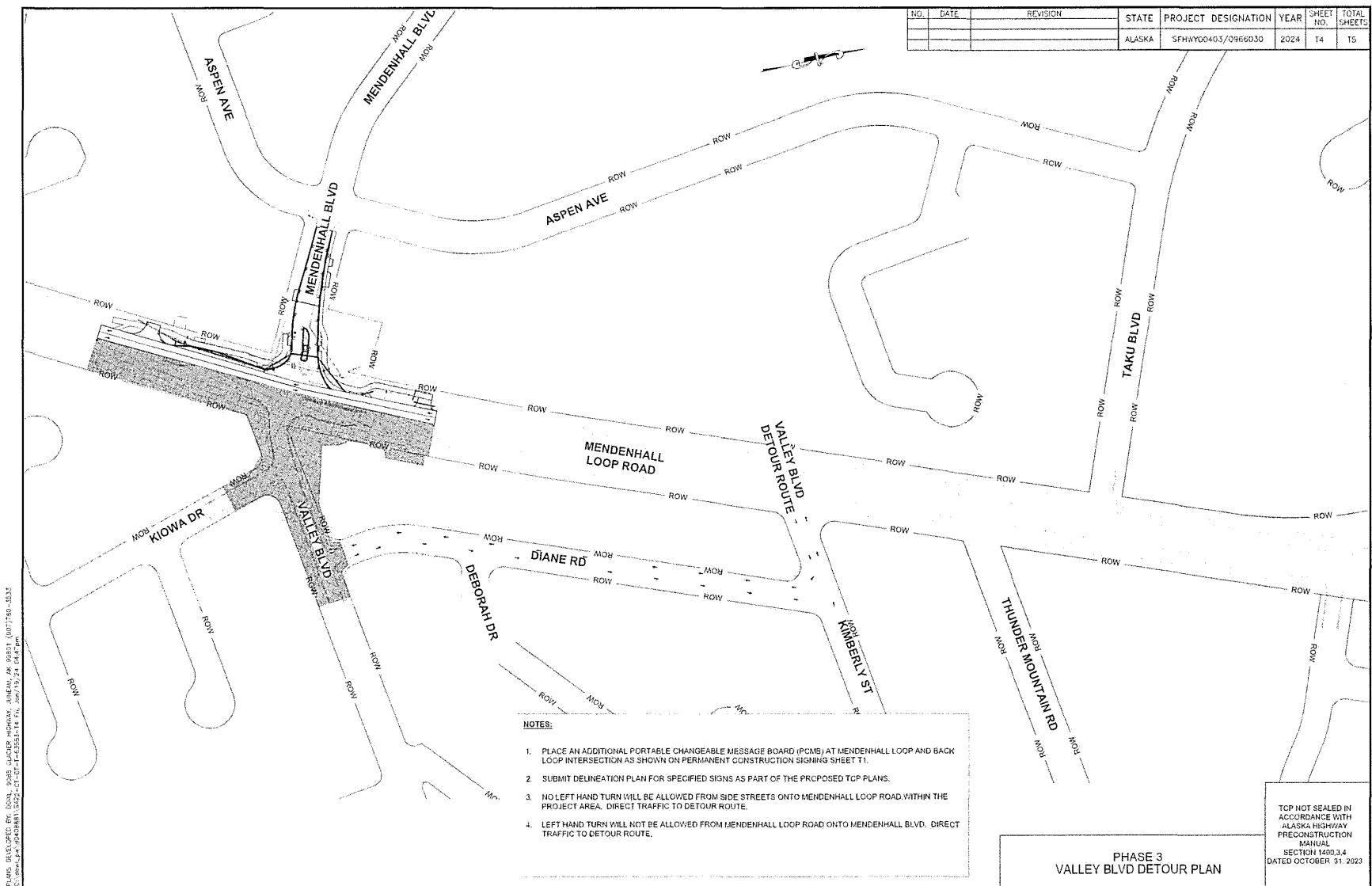


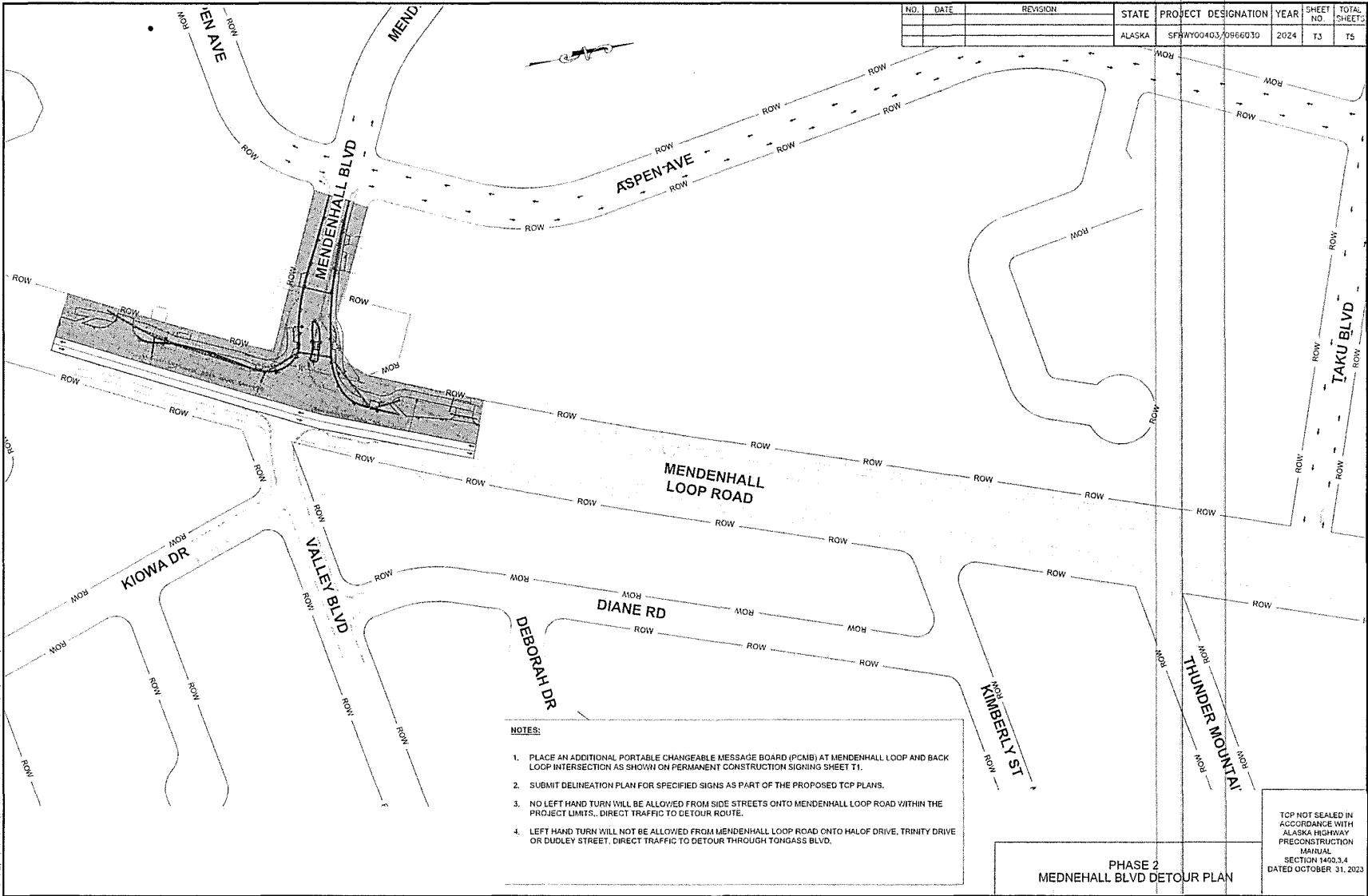
NO.	DATE	REVISION	STATE	PROJECT DESIGNATION	YEAR	SHEET NO.	TOTAL SHEETS
			ALASKA	SFH#Y00403/9966030	2024	T2	T5



PLANS DEVELOPED BY: DONALD SIMS, GLACIER HIGHWAY, JUNEAU, AK 99801 (907)750-3533
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TRAFFIC CONTROL PLAN
DETAILS





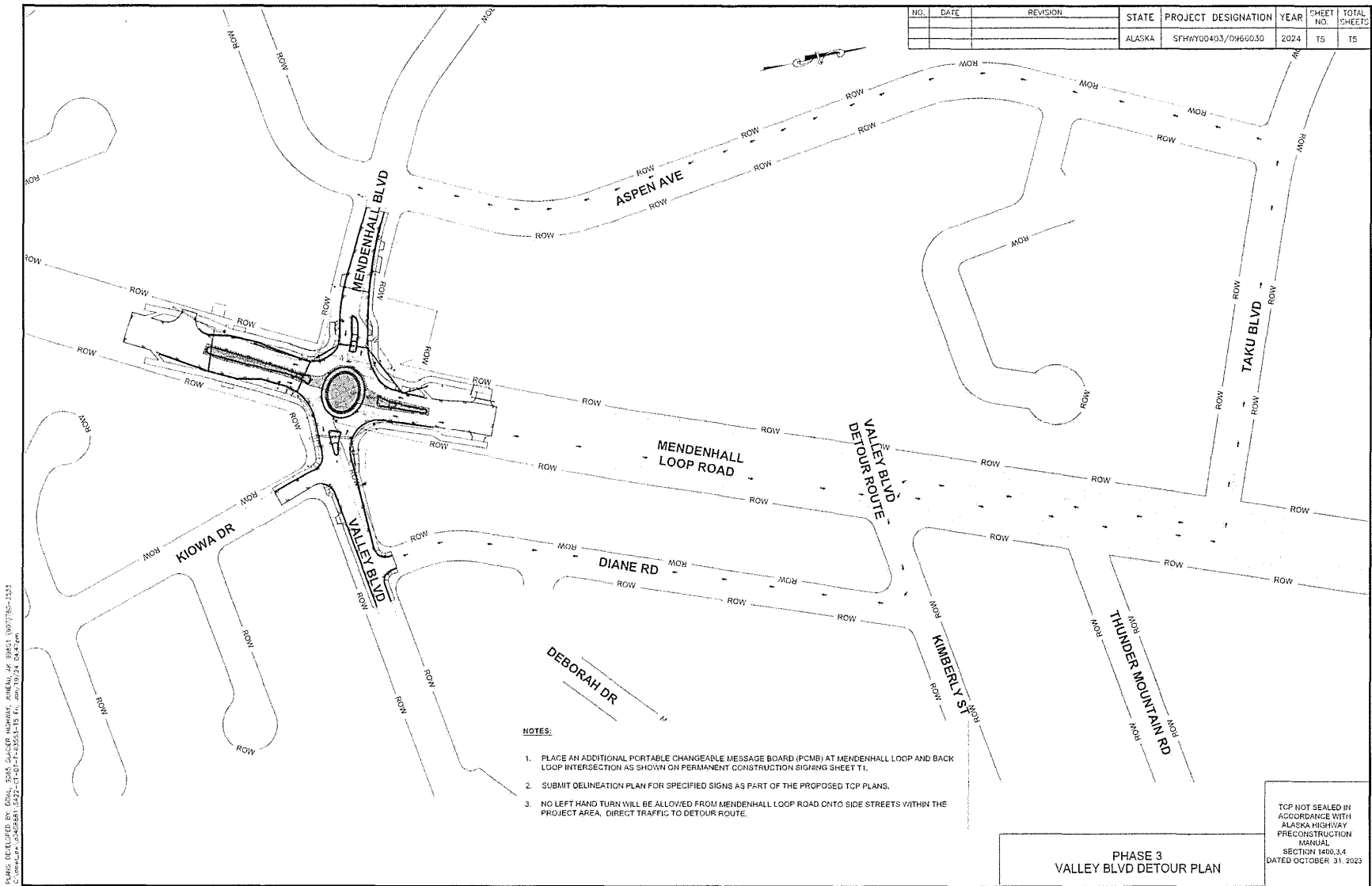
NO.	DATE	REVISION	STATE	PROJECT DESIGNATION	YEAR	SHEET NO.	TOTAL SHEETS
			ALASKA	SFMW00403/0966030	2024	TJ	T5

- NOTES:**
1. PLACE AN ADDITIONAL PORTABLE CHANGEABLE MESSAGE BOARD (PCMB) AT MENDENHALL LOOP AND BACK LOOP INTERSECTION AS SHOWN ON PERMANENT CONSTRUCTION SIGNING SHEET T1.
 2. SUBMIT DELINEATION PLAN FOR SPECIFIED SIGNS AS PART OF THE PROPOSED TCP PLANS.
 3. NO LEFT HAND TURN WILL BE ALLOWED FROM SIDE STREETS ONTO MENDENHALL LOOP ROAD WITHIN THE PROJECT LIMITS. DIRECT TRAFFIC TO DETOUR ROUTE.
 4. LEFT HAND TURN WILL NOT BE ALLOWED FROM MENDENHALL LOOP ROAD ONTO HALOF DRIVE, TRINITY DRIVE OR DUDLEY STREET. DIRECT TRAFFIC TO DETOUR THROUGH TONGASS BLVD.

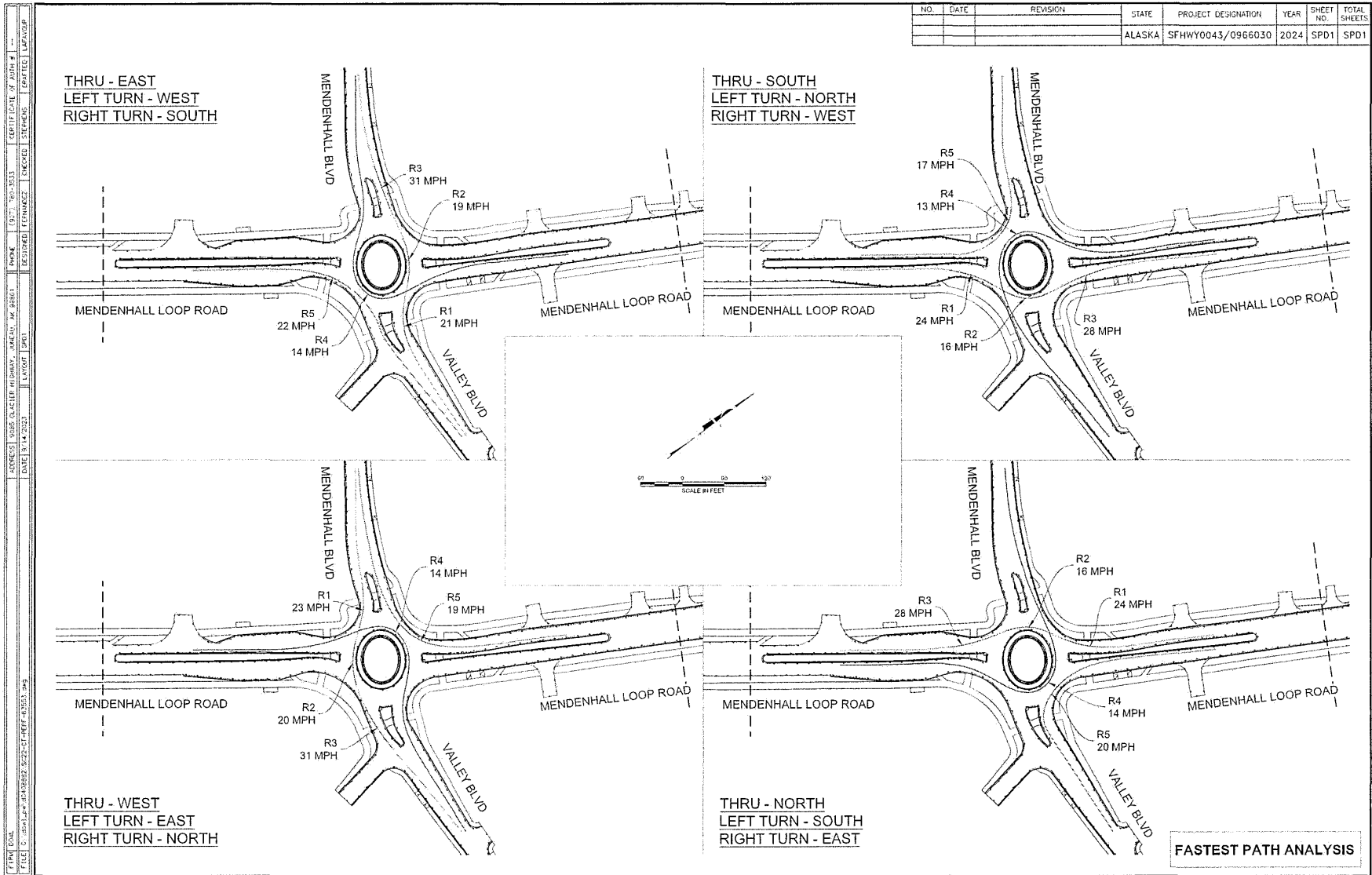
PHASE 2
MENDENHALL BLVD DETOUR PLAN

TCP NOT SEALED IN ACCORDANCE WITH ALASKA HIGHWAY PRECONSTRUCTION MANUAL SECTION 1400.3.4 DATED OCTOBER 31, 2023

PLANS DEVELOPED BY: ROWAN BINES CLACKER, MBE/DBA, 404 97801, (907) 750-3533
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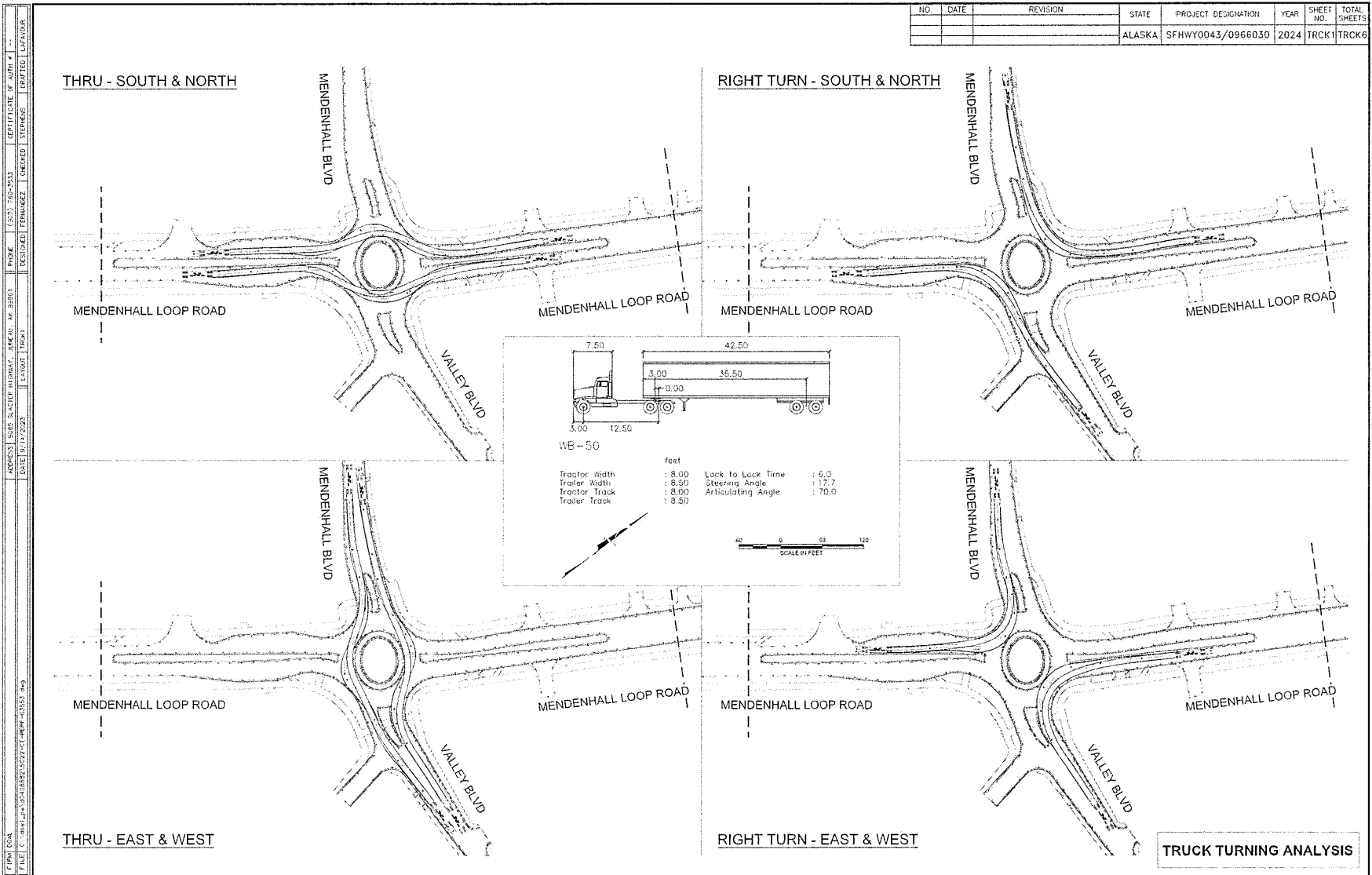


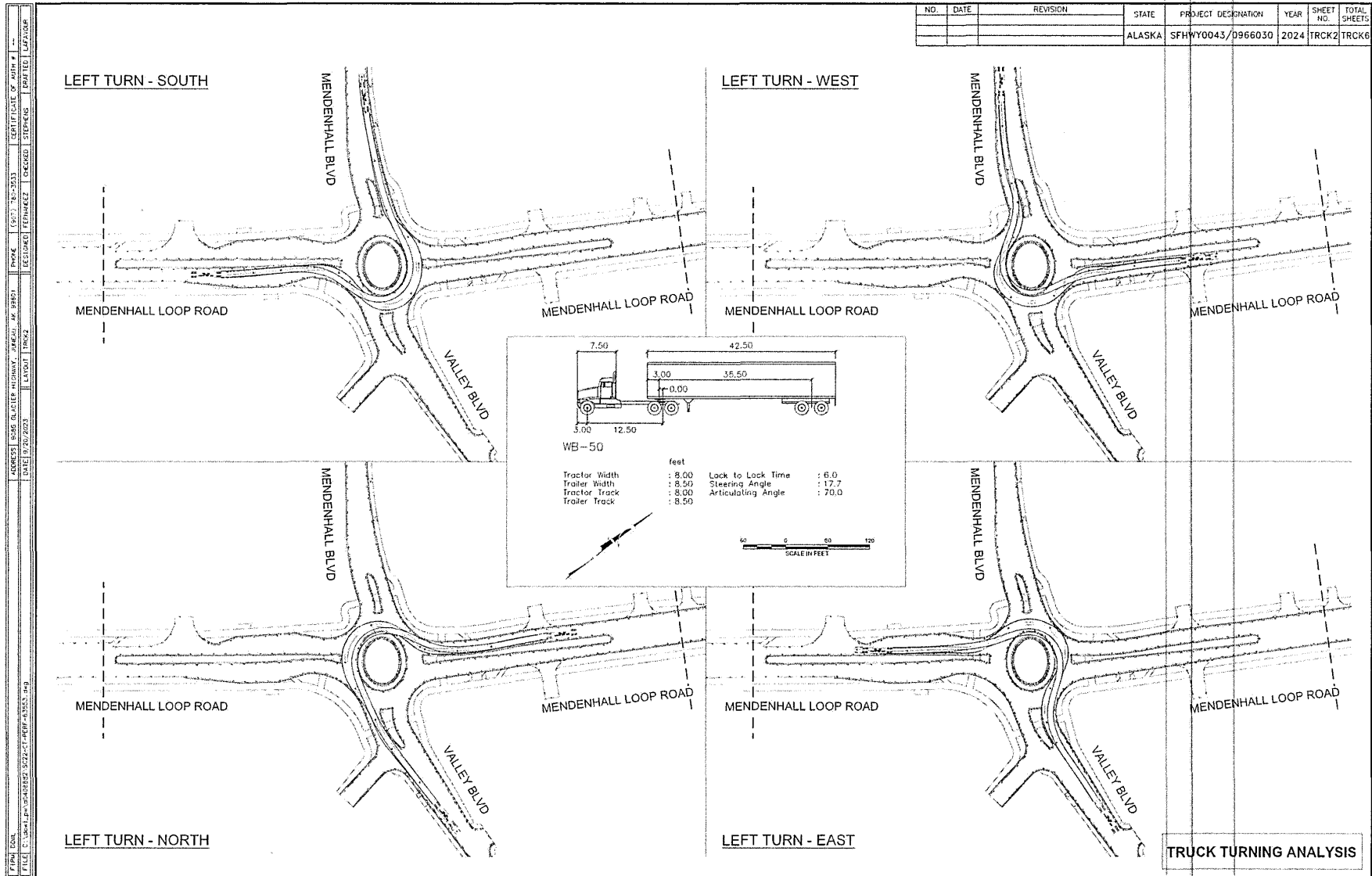
Appendix B
Fastest Path Analysis

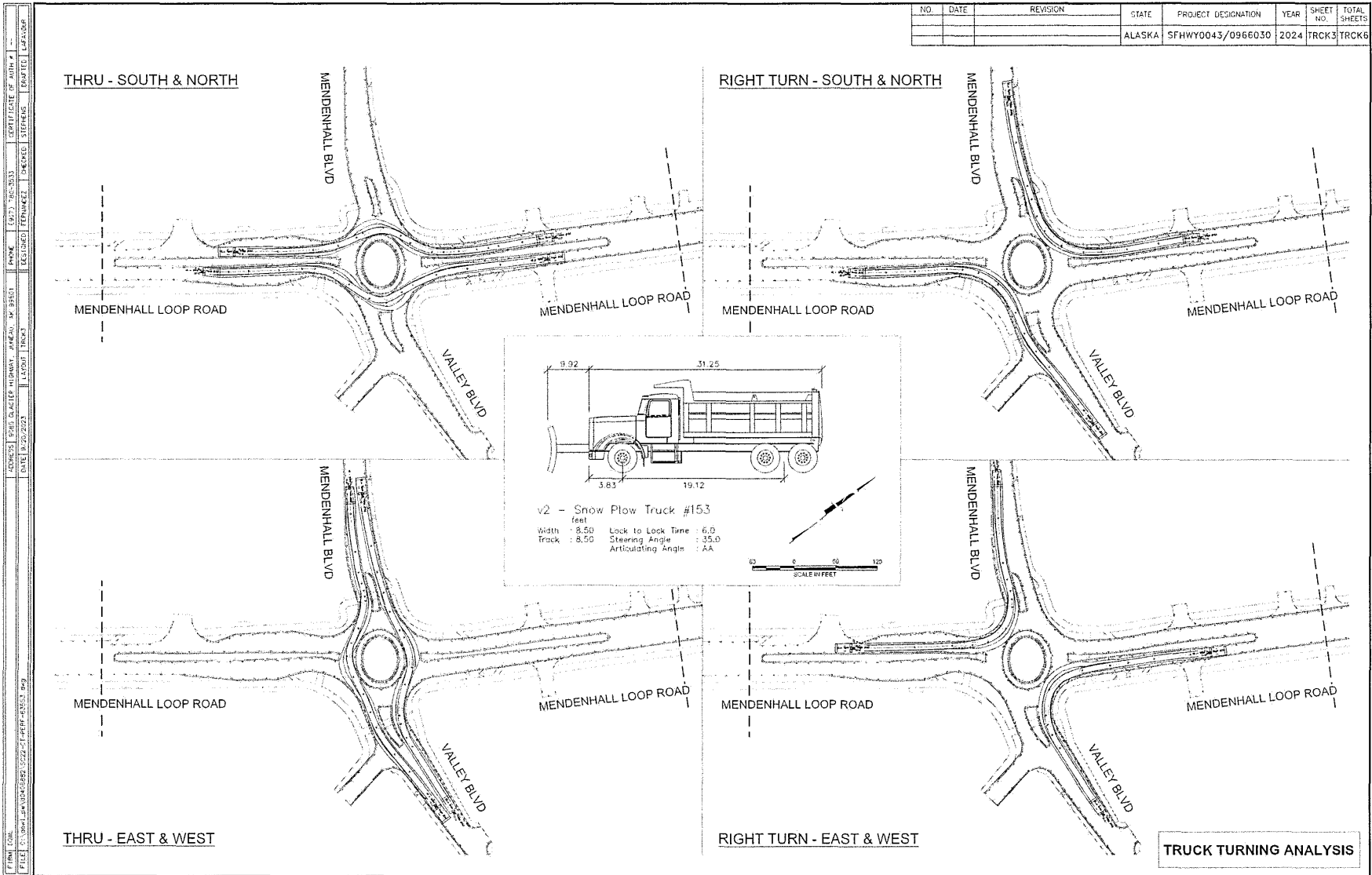


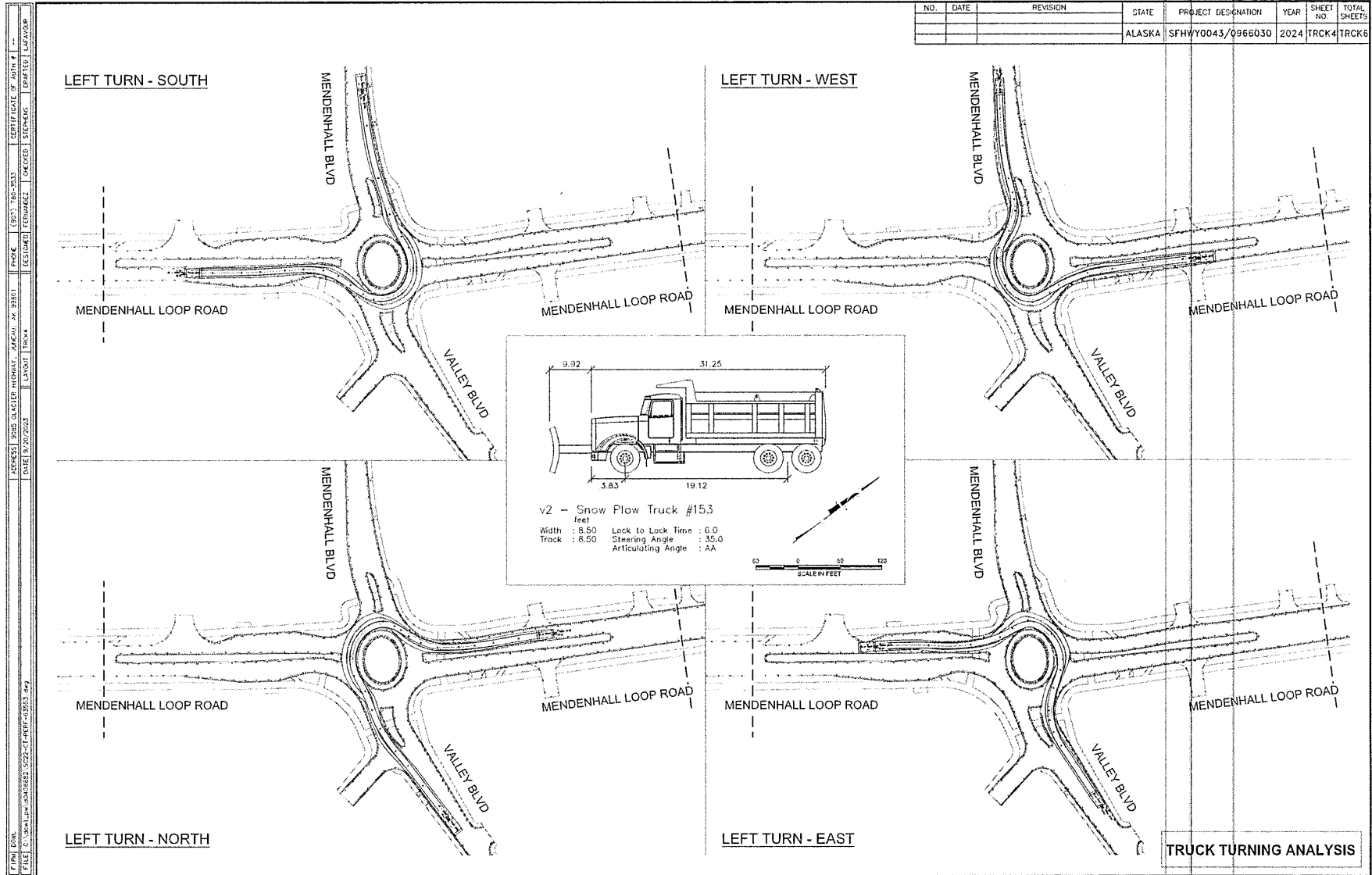
FASTEST PATH ANALYSIS

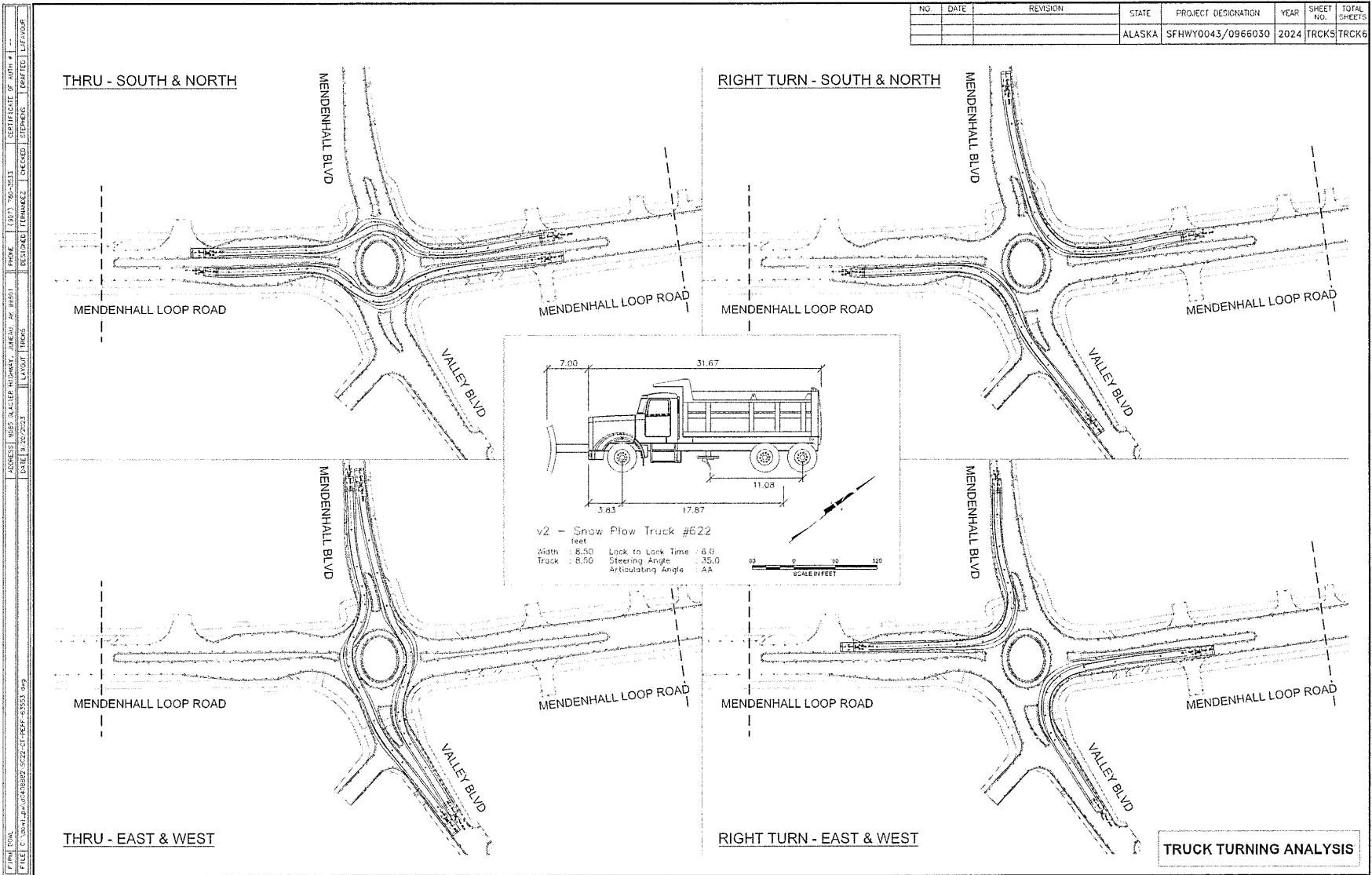
Appendix C
Truck Turning Analysis

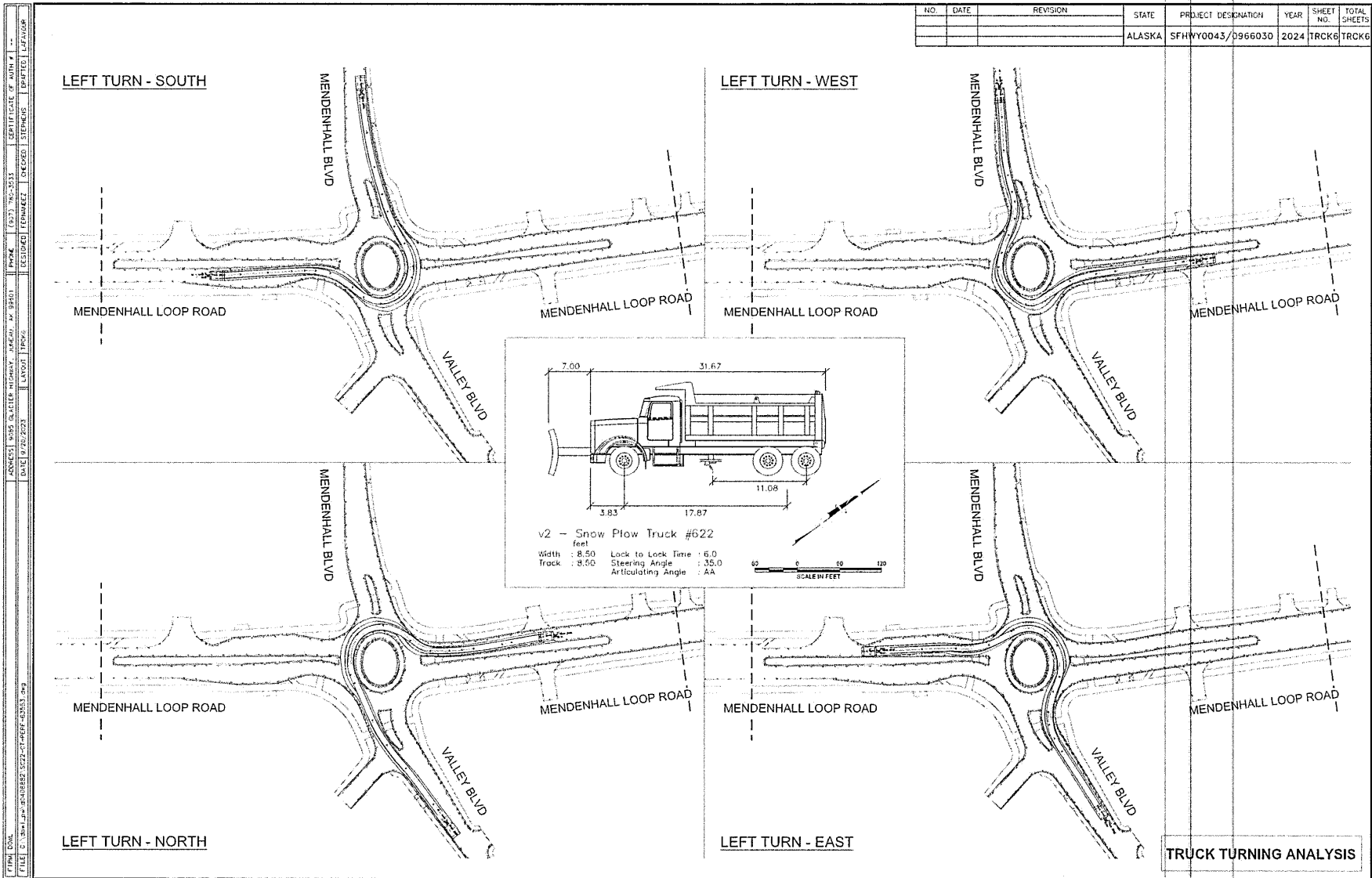






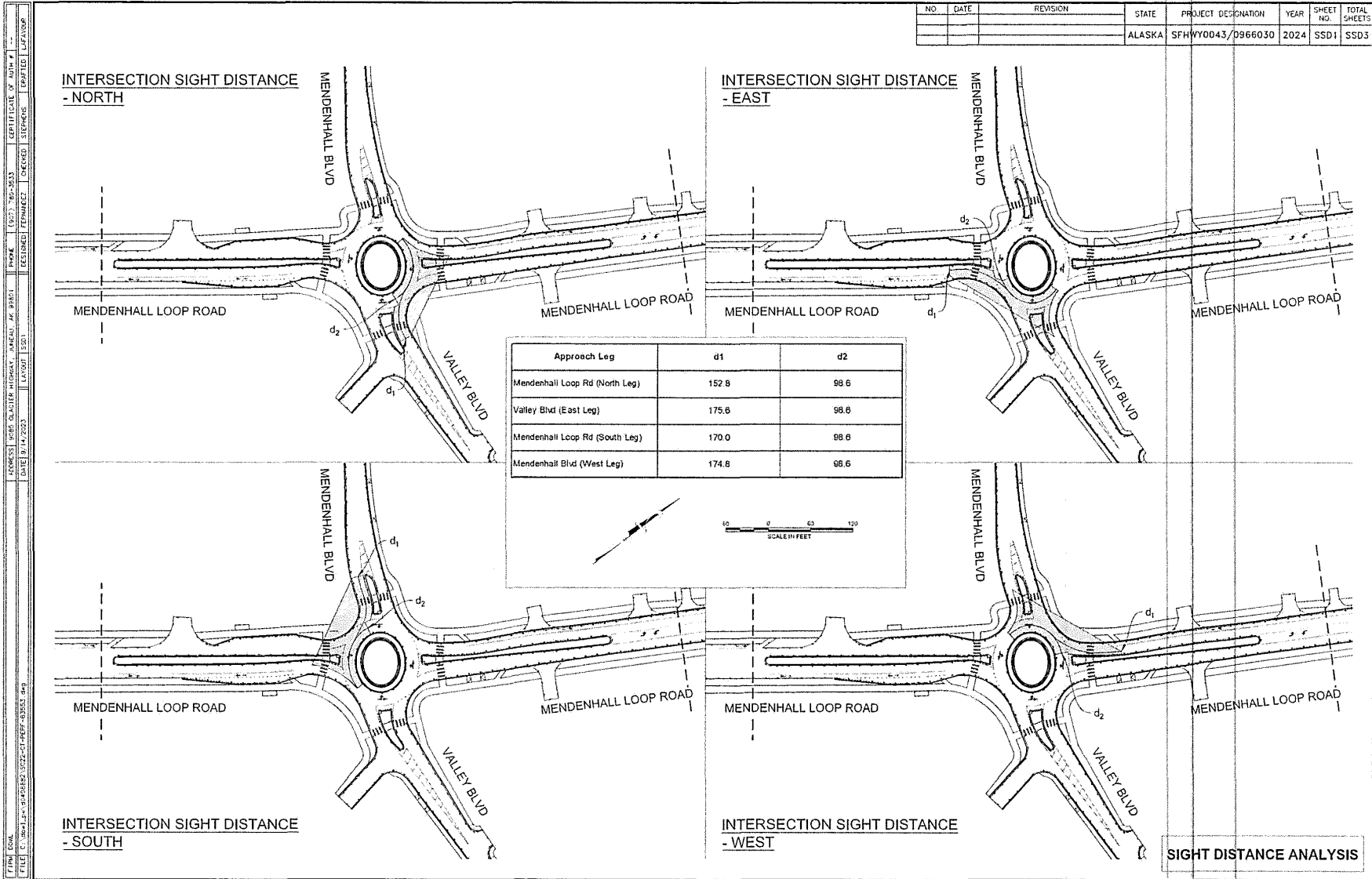


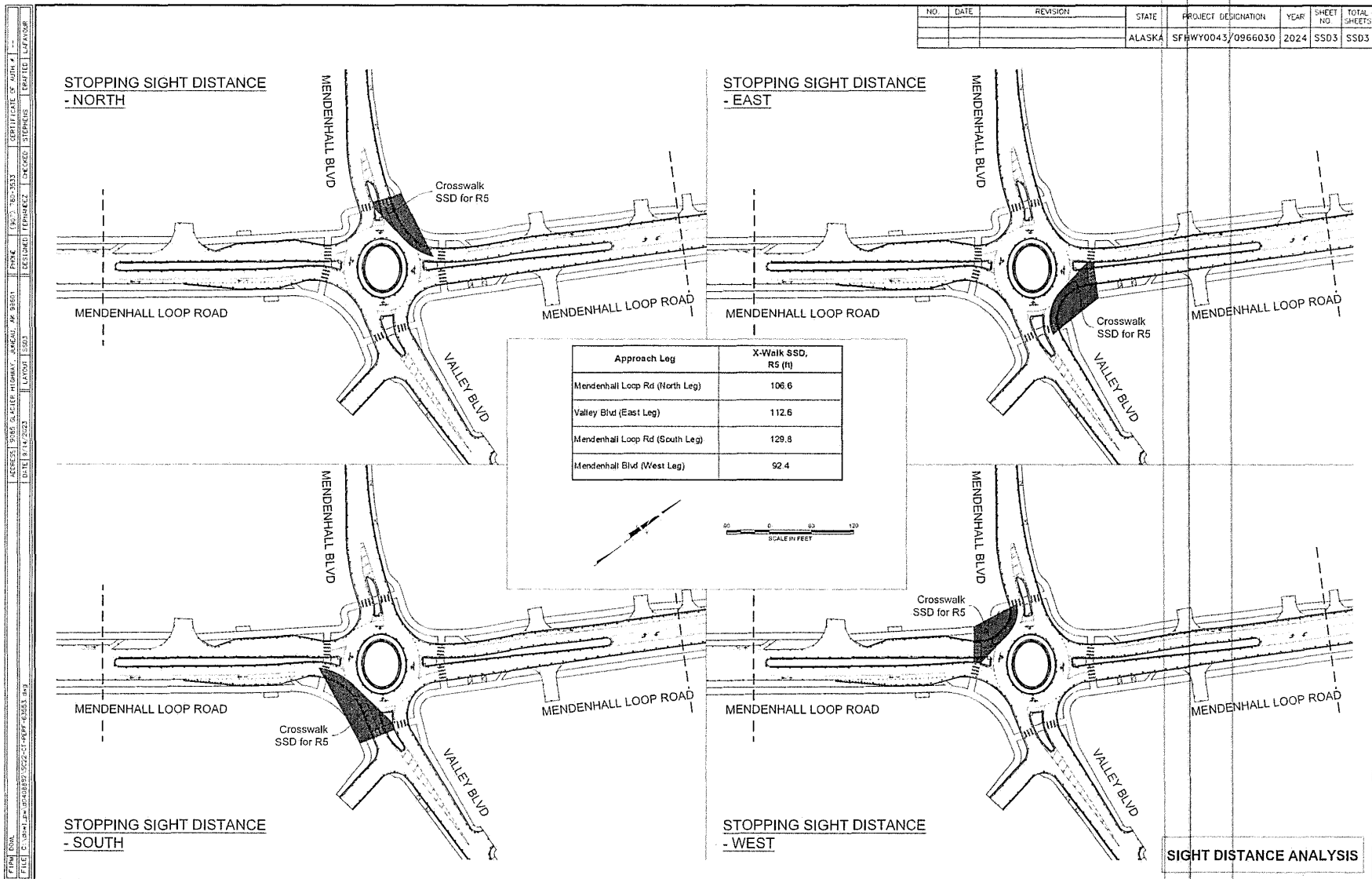




Appendix D
Sight Distance Analysis







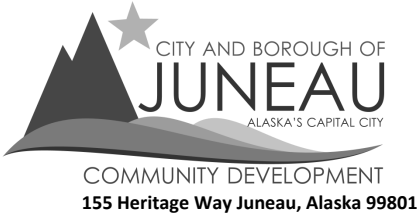
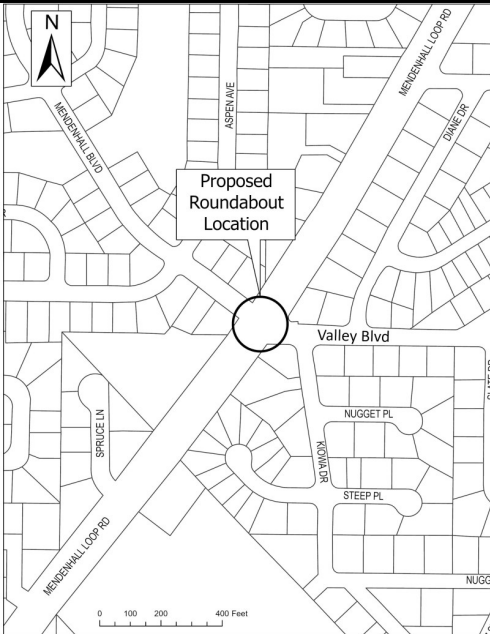
NO.	DATE	REVISION	STATE	PROJECT DESIGNATION	YEAR	SHEET NO.	TOTAL SHEETS
			ALASKA	SFRHWY0043/0966030	2024	SSD3	SSD3

PROJECT NO. 2024-0001
 PROJECT NAME: SIGHT DISTANCE ANALYSIS
 DATE: 12/14/2023
 DRAWN BY: J. SMITH
 CHECKED BY: M. JOHNSON
 APPROVED BY: K. BROWN
 SCALE: AS SHOWN
 SHEET NO. 3 OF 3

Invitation to Comment

On a proposal to be heard by the CBJ Planning Commission

Your Community, Your Voice



TO

State Project Review has been submitted for consideration and public hearing by the Planning Commission to **replace the intersection with a single lane roundabout at Mendenhall Loop Road-Valley Boulevard-Mendenhall Boulevard** in a D5 zone.

PROJECT INFORMATION:

Project Information can be found at:
<https://juneau.org/community-development/short-term-projects>

PLANNING COMMISSION DOCUMENTS:

Staff Report expected to be posted **September 3, 2024** at
<https://juneau.org/community-development/planning-commission>
Find hearing results, meeting minutes, and more here, as well.

Now through August 19	August 20 - noon, September 6	HEARING DATE & TIME: 7:00 pm, September 10, 2024	September 11
Comments received during this period will be sent to the Planner, Jason Larson , to be included as an attachment in the staff report.	Comments received during this period will be sent to Commissioners to read in preparation for the hearing.	This meeting will be held remotely, NOT in person. Please join the Webinar by visiting https://juneau.zoom.us/j/85470844745 and use the Webinar ID: 854 7084 4745 OR join by telephone, calling: 1-253-215-8782 and enter the Webinar ID (above).	The results of the hearing will be posted online.

FOR DETAILS OR QUESTIONS,

Phone: (907)586-0753 ext. 4139
Email: pc_comments@juneau.gov or jason.larson@juneau.gov
Mail: Community Development, 155 Heritage Way, Juneau AK 99801

Case No.: CSP2024 0002
Parcel No.: N/A
CBJ Parcel Viewer: <http://epv.juneau.org>



(907) 586-0715
CDD_Admin@juneau.org
www.juneau.org/community-development
155 S. Seward Street • Juneau, AK 99801

COMMUNITY DEVELOPMENT DEPARTMENT - REQUEST FOR AGENCY COMMENT

DEPARTMENT: CDD
STAFF PERSON/TITLE: Jay Larson, Planner II
DATE: August 5, 2024
APPLICANT: Nathan Purvue
TYPE OF APPLICATION: State Project Review

PROJECT DESCRIPTION:

Applicant requests a State Project Review to replace the signalized intersection of the Mendenhall Loop Road-Valley Boulevard-Mendenhall Boulevard with a single lane roundabout.

LEGAL DESCRIPTION: USGS QUAD B-2 NW Section T40S R66E Copper River Meridian
PARCEL NUMBER(S): 0
PHYSICAL ADDRESS: intersection of the Mendenhall Loop Road-Valley Boulevard-Mendenhall Boulevard

SPECIFIC QUESTIONS FROM PLANNER:

AGENCY COMMENTS:

I have reviewed these plans with ADOT thoroughly in the past, and have confirmed that the project does not impact a Special Flood Hazard Area and does not need a Floodplain Development Permit. - Teri Rehfeldt, Sr. Planner, CFI, Flood Specialist

AGENCY COMMENTS (CONTINUED):



Attachment D - Public Notice sign photo near intersection

From: Barry Nydam <thewho20006@yahoo.com>
Sent: Wednesday, September 4, 2024 9:09 AM
To: PC_Comments
Subject: Valley Blvd roundabout.

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

The traffic light works fine. I'd rather see a round about and improved intersection at glacier spur and backloop. The bus stop is in a poor spot and that cross walk is a Hazzard. Folks turning on to backloop always fly through. I've been close to being hit several times crossing. The cars will stop for you at the stop sign at the crosswalk, but cars coming from loop road do not. Need to slow traffic there

[Yahoo Mail: Search, Organize, Conquer](#)

From: Sean Strauss <strauss.sean@gmail.com>
Sent: Wednesday, September 4, 2024 9:48 AM
To: PC_Comments
Subject: Supporting proposed roundabout for Loop Rd & Valley Blvd

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

Hello,

For the record, I support the proposed roundabout for the intersection of Loop Rd & Valley Blvd.

Thank you,

Sean

--
Sean Strauss
strauss.sean@gmail.com
[1-907-419-7966](tel:1-907-419-7966)

"Creativity takes courage"
— Henri Matisse

From: fred3@laplantes.org
Sent: Wednesday, September 4, 2024 9:56 AM
To: PC_Comments
Subject: Roundabout @ Mendenhall Loop and Valley Blvd.

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

Dear Planning committee,

I understand the ease of use of the roundabout and like them, but I think we also need traffic lights at this location to ease the flow of traffic in the summertime. I have in places around the country where it is one traffic circle after another and it seems that the traffic can get congested after the second traffic circle.

Fred La Plante III

A Man after God's heart

Strengths: Learner | Input | Activator | Connectedness | Arranger

WG: Wonder | Enabler

From: Lacey Derr <lebartlett@yahoo.com>
Sent: Wednesday, September 4, 2024 10:00 AM
To: PC_Comments
Subject: Proposed Roundabout Public Comment - Mendenhall Blvd & Valley Blvd

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

Good Morning,

My name is Lacey Derr and I live in the Mendenhaven Subdivision, off of Mendenhall Blvd. I am submitting this public comment on my own accord and not as a member of the Planning Commission.

I traverse this intersection several times daily due to the location of my home and have lived in the Mendenhaven neighborhood since 1991.

I am submitting my public testimony in strong opposition to the proposed roundabout.

First and foremost, the construction of the other 2 roundabouts at Floyd Dryden School and Stephen Richards Drive are INCREDIBLY dangerous for pedestrians. The dead grass/dirt mounds which fill the center of the roundabouts are so high (and unkempt), drivers cannot see pedestrians on either side. I have personally watched people dive out of the crosswalk because drivers were not going to stop, drivers nearly miss running over children within the crosswalk, and people stuck on the center island because traffic only stopped one way. This problem is substantially exacerbated in the winter with the lack of snow removal. Children, Elders, and even healthy citizens struggle to climb over the 3-6' walls of snow created by plowing the roundabout and non-maintenance of pedestrian right of ways.

This intersection is the LAST traffic signal in the area to STOP traffic for pedestrian travel. It is a very successful and safe intersection to vehicular traffic and pedestrians. Having lived in this neighborhood for 33 years I can attest to the safety and practically nonexistent accident history of the area. Three roundabouts in succession do not make any sense, increase traffic congestion, risk pedestrian lives, and it serves no purpose in this area. It was also very shocking to see the house torn down on the corner of Mendenhall Blvd several years ago to accommodate this potential roundabout when we have a housing crisis. It seems counterproductive to put pedestrians in harms way, increasing traffic congestion, all while removing housing to build a roundabout in an area that has a very successful traffic signal.

I sincerely request the commission deny the proposed roundabout and focus these \$8.5 Million dollars in funding to projects with greater services to Juneau. If the project will be submitted forward for approval, I implore the commission to set strict conditions on the height of the center fill, widen the roadway area within the roundabout as much as possible, double the lighting, require HAWK pedestrian signals for all 4 intersections of the roundabout, and enforce adequate snow removal as part of the maintenance requirement. Should the project not move forward, I recommend the city look into selling the parcel back for its intended use as housing in a highly desirable neighborhood.

I greatly appreciate your time and consideration in reviewing this comment.

Respectfully,
Lacey Derr
(907) 723-8837

From: Tim <chiefs907@yahoo.com>
Sent: Wednesday, September 4, 2024 10:06 AM
To: PC_Comments
Subject: Roundabout at Loop and Valley

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

9/4/24

Dear Planning Commission members,

I am writing you to voice a concern about the mound height of the roundabouts that are being built. While I understand the theory that reduced visibility will produce slower speeds, the actual practice of it does not work.

It is not worth the reduced visibility of being able to see young children, other vehicles, or pedestrians. While it hasn't contributed to any accidents at this point, there are numerous close calls and it's only a matter of time.

Please use common sense and reduce the mound heights to allow visibility.

The roundabouts without mounds are much safer, especially in areas frequented by young children.

Thank you for considering this matter.

Sincerely,

-Tim Shockley
(907)321-3970

From: Karl Ashenbrenner <kjashen@gmail.com>
Sent: Wednesday, September 4, 2024 10:47 AM
To: PC_Comments
Subject: Mend. Blvd Roundabout

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

how about taking the money for that and putting it toward fixing the mess that is the left turn s/b to Fred Meyer? Make the McDonalds intersection a 4 way light with a road extension to Old Glacier Hwy and have that as your s/b access to Fred Meyer. Does Mendenhall Blvd and Valley Blvd really need another undersized roundabout?

From: Karl Ashenbrenner <kjashen@gmail.com>
Sent: Wednesday, September 4, 2024 10:54 AM
To: PC_Comments
Subject: Mendenhall Blvd roundabout

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

If you must build a roundabout there, even with one lane make the lane wider and do not have a veritable hill in the middle that you cannot see over and see oncoming traffic until it is through the curve.

From: B Rivest <rivestb@gmail.com>
Sent: Wednesday, September 4, 2024 10:54 AM
To: PC_Comments
Subject: Roundabout Men/Valley intersection

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

To Planning Commission Members,

While I like the roundabout use, I feel the housing situation is unaffordable for young adults (and many others).

These funds, whether matched, whatever city funds should be allocated to affordable housing.

Thank you for your time.

Beth Rivest

4306 Manor Ave, Juneau, AK 99801

From: Micah Sommers <micah.sommers@gmail.com>
Sent: Wednesday, September 4, 2024 11:05 AM
To: PC_Comments
Subject: Roundabouts

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

Hey Gang, my comments may be in the minority, but please for the love of god keep working on roundabouts. The money they must save has got to be astronomical, electrical engineers and lights maintenance can't be cheap. The traffic flow is far better, I only wish people would slow down.

Also, keep following the studies and put mounds in, but could we make them pretty? People don't need to see the other side when entering the circle. Absolutely ridiculous.

Thanks for all you do.

Cheers

From: Allen Butner <butner2272@gmail.com>
Sent: Wednesday, September 4, 2024 11:22 AM
To: PC_Comments
Subject: Roundabout mendenhall/valley

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

Strongly protest. Dumb idea. So many better things to throw money at. Like extend fred Meyer spur to connect and make mc nugget a 4 way

From: Heidi Stears <h.stears99801@gmail.com>
Sent: Wednesday, September 4, 2024 12:04 PM
To: PC_Comments
Subject: CSP 2024 0002

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

I would like to write in support of the roundabout at the Mendenhall Blvd/Valley Blvd location. And when possible (and funding approved), one at Mendenhall Loop/Back Loop would significantly improve traffic flow, reduce accidents and cost. My adult family of four support roundabouts.

Thank you
Heidi Stears

From: Jeff Hoover <juneaufour@yahoo.com>
Sent: Wednesday, September 4, 2024 12:05 PM
To: PC_Comments
Subject: Roundabout comment

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

To CBJ

I support the new proposed roundabout in the valley to eliminate the stop light at valley Blvd. I don't think it's the highest priority road issue in Juneau but roundabouts are better than stop lights. I think a higher priority roundabout would be where the back loop intersects the Mendenhall glacier road. Making a left hand turn there is very difficult. If you build roundabouts then do NOT have a high mound in the center of the roundabout because it cuts down the visibility when entering roundabout.

Thank you for the opportunity to comment.

Jeff Hoover
Juneau resident

Sent from my iPhone

From: Melissa Hartman <melissa_susan_h@hotmail.com>
Sent: Wednesday, September 4, 2024 12:12 PM
To: PC_Comments
Subject: Roundabout

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

Hello,

I really don't think another roundabout on Mendenhall Loop road is necessary, especially with the closing of Floyd Dryden.
The flow of traffic is much smoother now in that area, and no longer backs up like it used too.
I feel like there are other areas that the money could be used for.

Melissa Hartman

From: Jill Lewis (AK) <jill.lewis.ak@gmail.com>
Sent: Wednesday, September 4, 2024 12:29 PM
To: PC_Comments
Cc: jill.lewis.ak@gmail.com
Subject: Mendenhall Loop roundabout CSP 2024 0002

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

I am writing to oppose the new proposed roundabout at the intersection of Mendenhall Loop Rd and Valley Blvd. The new roundabout is within sight of the two existing roundabouts on Loop Rd and is simply too close to be practical. I would support a roundabout at the intersection of Mendenhall Loop Rd and Back Loop Rd as an alternative.

Jill Lewis
4315 Taku Blvd

From: Sandi <srshaw@gci.net>
Sent: Wednesday, September 4, 2024 1:37 PM
To: PC_Comments
Subject: CSP 2024 0002

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

Hi, I'm writing about the new roundabout being proposed in the valley. Please leave the stop light in and use the funding for other City projects needed more, such as flood mitigation measures for Suicide Basin and the valley homes affected. This is a complete waste of money when there's other issues that need priority. Thank you, Sandra Shaw

From: Monica <lynn_moni@yahoo.com>
Sent: Wednesday, September 4, 2024 5:06 PM
To: PC_Comments
Subject: Proposed roundabout

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

I do not support another roundabout at the Valley blvd intersection. The ones we have are a safety hazard for both drivers and pedestrians. You cannot see the crosswalks from the other side. They should not have been placed where they are. Many pedestrians do not press the lights button. You have no idea they are there until you almost hit them. You cannot see past the roundabout from the other side. This is a safety hazard for all. The two lanes at the duck creek intersection- the otter lanes should be turn lanes ONLY!
In winter, with snow and ice, it causes vehicles to slide out.

Save the money to use elsewhere!!

No more roundabouts!

Monica Whitehead

☒

Nicolette Chappell

From: Brierley Ostrander <bko.alaska@gmail.com>
Sent: Friday, September 6, 2024 8:34 PM
To: PC_Comments
Subject: CSP 2024 0002 Valley Blvd roundabout

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

Hi,

I saw the kerfuffle about this on Facebook. Yes, please build the roundabout. I live on Back Loop and commute through this intersection daily. I got stuck at the light this morning, waiting for only one car to turn off of Valley Blvd. The roundabouts already installed on Mendenhall Loop are great, and I wouldn't say no to more. Please do the Back Loop turn next after Valley.

The only constructive criticism I have is that the circles can be a little slippery in the snow. Is there any data on good roundabout pavement types for snowy climates?

--Brierley Ostrander

Additional Materials

Regular Planning Commission Meeting

Zoom

7:00pm

Meeting Date: 9/24/2024

- 1. August 27, 2024 PC Draft Meeting Minutes**

- 2. SMF2024 0002:**
 - a. Public comment: Gwen Baluss, received 9/18/2024

DRAFT MINUTES

Agenda

Planning Commission

Regular Meeting

CITY AND BOROUGH OF JUNEAU

Mandy Cole, Chair

August 27, 2024

I. LAND ACKNOWLEDGEMENT – Read by Chair Cole.

We would like to acknowledge that the City and Borough of Juneau is on Tlingit land and wish to honor the indigenous people of this land. For more than ten thousand years, Alaska Native people have been and continue to be integral to the well-being of our community. We are grateful to be in this place, a part of this community, and to honor the culture, traditions, and resilience of the Tlingit people. Gunalchéesh!

II. ROLL CALL

Mandy Cole, Chair, called the Regular Meeting of the City and Borough of Juneau (CBJ) Planning Commission (PC), held virtually via Zoom Webinar, and telephonically, to order at 7:00 p.m.

Commissioners present: Commissioners present in Chambers – None (virtual only).

Commissioners present via video conferencing – Mandy Cole, Chair; Erik Pedersen, Vice Chair; Travis Arndt, Clerk; Matthew Bell, Assistant Clerk; Nina Keller; David Epstein, Jessalynn Rintala, Lacey Derr

Commissioners absent: Adam Brown

Staff present: Staff present via video conferencing – Jill Lawhorne, CDD Director; Irene Gallion, Senior Planner; Jason Larson, Planner II; Daniele Gaucher, CDD Administrative Officer; Sherri Layne, Attorney III, Kevin Allen, Meeting Clerk

Assembly members: Paul Kelly

III. REQUEST FOR AGENDA CHANGES AND APPROVAL OF AGENDA - A note was made that the agenda was changed from the original publication from consent to regular agenda. No other comments or changes.

IV. APPROVAL OF MINUTES

A. July 23, 2024 Draft Minutes, Regular Planning Commission

Mr. Epstein requested a change to the minutes in regards to something he stated. Director Lawhorne confirmed she would go back and check that.

MOTION: *by Mr. Arndt to approve the July 23, 2024 Planning Commission Regular Meeting minutes as amended.*

The motion passed with no objection.

V. BRIEF REVIEW OF THE RULES FOR PUBLIC PARTICIPATION- by Chair Cole.

VI. PUBLIC PARTICIPATION ON NON-AGENDA ITEMS- None.

VII. ITEMS FOR RECONSIDERATION – None.

VIII. CONSENT AGENDA

The case scheduled for the Consent Agenda was moved to the Regular Agenda.

IX. UNFINISHED BUSINESS- None.

X. REGULAR AGENDA

USE2024 0012: Conditional Use Permit (CUP) to convert first floor of an existing common wall dwelling into an accessory dwelling unit (ADU) located within a D18 zoning district.

Applicant: Eva Melancon

Location: John Street

Director’s Report

The applicant requests a Conditional Use Permit (CUP) to convert the first floor of an existing common wall dwelling into an accessory dwelling unit (ADU) located within a D18 zoning district. According to CBJ 49.25.510(k)(2)(G)(ii), efficiency or one-bedroom accessory apartments under 600 sq. ft. are allowed in a multi-family zoning district if the primary use of the lot is a single-family dwelling, with a Conditional Use Permit.

Staff Recommendation

Staff recommends the Planning Commission adopt the Director’s analysis and findings and approve Conditional Use Permit USE2024 0012 with the requested modifications.

Commissioner Questions

Ms. Cole asked when the nonconforming application was submitted and if the nonconforming application is based on the setback.

Director Lawhorne responded the nonconforming was based on the lot width being less than required and the front setback.

Mr. Epstein noted that there are repeated references made related to the recommended conditions, but he did not see any of those recommended conditions in the packet.

Director Lawhorne answered the nonconforming certificate was applied for in April with a condition based on parking, but that was addressed when they were working through the staff report. The parking has now been addressed on site and they do not need a waiver.

Presentation by the Applicant

Eva Melancon, applicant, explained she has an entire floor of her home unoccupied, so she decided to create an accessory apartment and started the grant process. She explained all the changes they plan to do and stated they would use their existing parking.

Ms. Keller inquired about a comment from a neighbor in an attached home about some concerns on the conditional use permit.

Ms. Melancon responded they have not been able to get in contact with each other.

There was no public testimony.

Ms. Melancon asked if they know what the neighbor's concerns are.

Director Lawhorne explained the neighbor spoke to the planner and withdrew the complaint.

MOTION: *by Mr. Epstein moved the approval of USE2024 0012 to accept staff's findings, analysis, and recommendations, and approve the conditional use permit with no conditions and accepting the findings that are modified to strike conditions.*

The motion passed with no objection.

XI. OTHER BUSINESS

ARF2024 0001 – Procedure Memo

Director Lawhorne gave an overview of the procedure memo, explaining some modifications make sense to come to the Planning Commission, but some changes exceed what the Commission requires. The question is if the Commission wants to see every modification or if they are confident in staff reviewing some of the modifications. Director Lawhorne noted that general guidance from the Law Department in the past is that any modifications that change the intent must go back to the Commission. She added that one modification can take around three

months to get through the Commission but would be less than a month if only going through staff approval.

Mr. Arndt asked if the memo is supposed to be what they are wanting to change and give staff latitude for just the Ridgeview Project or with any ARS.

Director Lawhorne responded that staff intends for it to apply to any ARS's.

Mr. Arndt inquired if Ridgeview is asking for the ideas for changes or if they are just examples.

Director Lawhorne answered a little of both.

Ms. Derr stated she is fine with things like changes to number of bedrooms but would want to see occupancy changes come before the Commission.

Director Lawhorne explained that occupancy is used more in situations like a university dormitory or single room occupancies with private shared facilities. Others are just considered density, such as a multifamily unit or single-family home.

Ms. Derr agreed that is what she meant.

Ms. Keller shared that she likes the idea overall, but some things should still come back to the Commission and give the public an opportunity to comment on them. She further added that if they are not moving away from their overall plan, that should be fine, if it is not something that could affect the neighborhood or the outside.

Mr. Pedersen wondered what the mechanism for Planning Commission is for deciding on this.

Chair Cole said that was also her question, if they are trying to interpret something gray or trying to change something that was previously thought to be clear.

Director Lawhorne explained that in her mind it is more of an interpretation of a legal opinion they have been working with for many years. There have been many changes to code that streamlined authority to the director, so they are asking it is time to reconsider what it really means to uphold the Commission's conditions and their intent.

Attorney Layne added that when code is not used frequently, it is common for planners and the director to work through it. She agreed now is a good time to revisit things with law and figure out what works for the Commission and CDD.

Chair Cole stated there are a wide range of defensible positions and they need to look at where they are falling most comfortably.

Mr. Arndt agreed with Commissioner Derr on density and stated instead of looking at it as multifamily versus single family, they could view it more as a density dwelling unit change. He

added that some of these things could also be tied together with parking. He stated that if buildings are being moved and not encroaching on the buffer Commission gave to them, they can move it around. He asked if ARS must come in on a phase-by-phase basis for approval like a subdivision, or if they ask for all phases up front.

Director Lawhorne said if they preliminary plats are already approved, they would not have to come back to the Commission.

Mr. Arndt shared that if they do not need to come back, he does not care what order they build it in.

Chair Cole recalled that they would have to come back at certain milestones in the process to be reviewed by the Commission. She added that when they approved the plan, they knew there were likely to be changes, and remembered discussing coming back for certain changes.

Director Lawhorne commented that they cannot build more than approved, and if they wanted to increase density that would have to come back to the Commission. She explained the alternative residential plan is first approved, the phases are approved with the plan, but the order of the phases could be changed.

Mr. Epstein said it sounds like they are being asked to come up with a mutual understanding of what the director can take on without bringing it to the Commission for future ARS's. He noted he understands and is looking for an approach for considering these issues.

Ms. Keller asked if they need to approve phase changes to check off a box like they do in her line of work, even if there are no changes.

Chair Cole answered that depending on the kind of project, yes, they would have to come back and approve each phase. However, their understanding when it comes to ARS is that once they approve the plan, they do not have to come back between phases.

Director Lawhorne provided a citation that speaks to some of the changes, 49. 15.-970.

Chair Cole stated a lot of their Title 49 work was to streamline the code so more decisions could be made by the department for quickness, easiness, and affordability. She said the ARS process is fairly new and not used often, so they are uncertain on where all the decision making potentially lies. She noted they are seeing more ARS's, so they have to decide on sticking with streamlining and making things easier.

Mr. Pederson stated he can see the pros and cons and does not have strong input on it.

Ms. Keller suggested having a list of items that would be exempt from coming back to the Planning Commission for ARS's that they can develop during the Title 49 rewrite. She noted that

would give public process a chance to see those items. She warned to be careful to not set precedent since there will be more coming.

Ms. Rintala said that as a new commissioner, she does not have strong opinions on what is routine enough to be in the director's jurisdiction but suggested having any changes approved by the director be reported to them and have those decisions made available to the public.

Mr. Epstein agreed with Commissioner Keller in regard to the Title 49 rewrite exemptions for the Commission.

Chair Cole noted there is some confusion in the memo on whether the list of modifications is particularly for Ridgeview or all ARS's for the future.

Director Lawhorne believed it is just the timing of it that makes it seem confusing. She said what she is hearing from the Commission is to have this worked on through the Title 49 rewrite process but track minor modifications she would approve in the meantime and notify the Commission as they happen.

Mr. Arndt said he would like to tell people what the Commission feels is important, and what needs to come back, instead of the other way around. He suggested the Commission looking at the higher-level things and what is important and reviewing the substance of changes that the people are going to see.

Chair Cole said they feel comfortable with CDD handling most of the elements brought up in the memo in house, and density, setbacks. Things feeling harmful to neighbors in terms of proximity or location would need to come back to the Commission.

XII. STAFF REPORTS

Ms. Lawhorne wanted to check in on the Governance Committee and asked for a time for them to get together to update the rules of order. She also gave a heads up that the Commission has an evening full of rezones coming on October 22nd, and there are several meetings the planners are conducting through September. Six out of the eight of those rezones are CBJ applicants and two from private owners. She noted the next couple of meetings will be on Zoom due to the flood in Chambers. They also filled the planner position.

Ms. Keller asked if the long meeting in October will be started early.

Chair Cole suggested starting at 6 p.m. There were no objections.

XIII. COMMITTEE REPORTS - No reports

XIV. LIAISON REPORTS

Paul Kelly stated they authorized the manager to execute a lease of the Mayflower building for the pre-K and Montessori private school, appointed Emily Wright as the new city attorney, issued an emergency appropriation of \$1,055,000 to cover recovery efforts and sheltering, and will be supporting a new mitigation group at the August 19, 2024 meeting.

Mr. Epstein asked Mr. Kelly if he ever checked on the check valve performance during the flood.

Mr. Kelly confirmed he did check on that with Manager Koester, who said she was unaware of the storm drains overflowing but would look into that, and one of the valves were washed away by the force of the Jökulhlaup. He added he would check back in with her on that.

XV. CONTINUATION OF PUBLIC PARTICIPATION ON NON-AGENDA ITEMS- None.

XVI. PLANNING COMMISSION COMMENTS AND QUESTIONS- None.

XVII. EXECUTIVE SESSION- None.

XVIII. SUPPLEMENTAL MATERIALS

Additional Materials

XIX. ADJOURNMENT

The August 27, 2024 Planning Commission Meeting was adjourned at 8:26 p.m.

From: Gwen Baluss <gwenbaluss@yahoo.com>
Sent: Wednesday, September 18, 2024 9:05 AM
To: PC_Comments
Subject: Comments Case Number: SMP2024 0002
Attachments: Baluss Comment Silver Hills Subdivision.docx

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

Dear CBJ Planning Dept,

I submitted these comments for an earlier meeting, but saw a sign in the neighborhood that was going to be another hearing on 9/24.

In the event that earlier comments were not included in the packets received by decision makers for the upcoming meeting, I am re-sending.

Thanks for the opportunity to provide input.

Gwen Baluss

#..el respeto al derecho ajeno es la paz. --Benito Juarez

Gwen Baluss
10236 Heron Way
Juneau AK 99801

May 24, 2024

To : City and Borough of Juneau, Planning Commission

RE: Preliminary Subdivision Plan at Silver Street

Case Number: SMP2024 0002

Dear Commission,

As a neighbor to the property near Silver Street proposed to become the “Silver Hills Subdivision”, I have multiple concerns and questions about this proposal, and the development it may bring.

- 1) Wetland protections. The property is a mosaic of natural forest and wetlands. The wetlands should be protected. This should include a full inventory by professional biologists and a *buffer* around all delineated wetlands to ensure protection.
- 2) Trail access. Currently, a small trail connects the end of Silver Street with the trail Brotherhood Bridge/River Road trail system. This sees daily, and on nice days hourly, use by walkers, joggers, dog handlers, and bicyclists. Users are both from the nearby neighborhoods and other parts of Juneau. It is especially useful for non-motorized commuters traversing between Back Loop Road and the Kaxdigoowu Heen Dei/Mendenhall River Trail, as it shaves off significant time as opposed to continuing Loop Road and traveling down Steelhead or River Road. I urge any planning to find a way to retain this access. As the drainage ditch next to this trail will likely be retained in all development scenarios, it would be logical to retain an access parallel to the ditch.
- 3) Southeast Alaska Land Trust (SEAL Trust) Property. This parcel is bordered mostly by SEAL Trust holdings set aside for wetlands conservation and flood attenuation. Any planning needs to consider and *minimize* effects to this property.
- 4) Local Improvement District (LID) Process and Traffic. The Wren Drive/Steelhead neighborhood agreed to pay for part of the improvements taken place in the last 10 years as part of an LID. This included an upgrade to nearby roads (e.g. Wren, Silver) and some new sidewalks. Some of us property owners are still paying off this \$4000 investment (plus interest). Would the developer pay anything towards this

improvement they will benefit from? I am concerned about the potential for 10 or more additional households using these roads regularly could necessitate further improvements and further expenses.

In my opinion, the best option for neighbors, wildlife and wetlands would be the sale of this property to a conservation organization such as SEAL Trust. I understand that development here will probably be approved under the City Plan and regulations, but I hope that there will be more community engagement at the next step in the process, and least impactful options be considered. It is in the developer's best interest to create valuable and desirable properties by assuring that they blend with a neighborhood known for its rural character. This could be accomplished by retaining trees, minimizing light pollution, considering noise issues, retaining trail access, and buffering wetlands.

Thank you for your consideration.

Sincerely,

Gwen Baluss

Gwen Baluss