



# HISTORIC RESOURCES ADVISORY COMMITTEE AGENDA

April 03, 2024 at 5:00 PM

City Hall Conf. Room 224/Zoom Webinar

<https://juneau.zoom.us/j/81883104370> or 1-346-248-7799 Webinar ID: 818 8310 4370

**A. CALL TO ORDER**

**B. LAND ACKNOWLEDGEMENT**

We acknowledge the Áak'w Kwaan and T'aakú Kwaan as the original owners and inhabitants of the City & Borough of Juneau. We are grateful to be here in your ancestral homeland as we come to you from areas of Alaska and beyond. We are thankful that you have permitted us to live here and make this land our home. Gunalchéesh.

**C. ROLL CALL**

**D. APPROVAL OF AGENDA**

**E. APPROVAL OF MINUTES**

**F. PUBLIC PARTICIPATION ON NON-AGENDA ITEMS**

**G. AGENDA TOPICS**

1. Marine View Community Mural Project

2. HDDR: USE20240003

3. HDDR: BLD20240085

**H. STAFF REPORTS**

**I. COMMITTEE MEMBER COMMENTS AND QUESTIONS**

**J. NEXT MEETING DATE - May 1, 2024**

**K. SUPPLEMENTAL MATERIALS**

**L. ADJOURNMENT**

ADA accommodations available upon request: Please contact the Clerk's office 36 hours prior to any meeting so arrangements can be made for closed captioning or sign language interpreter services depending on the meeting format. The Clerk's office telephone number is 586-5278, TDD 586-5351, e-mail: [city.clerk@juneau.gov](mailto:city.clerk@juneau.gov).

**From:** [Dezarae Arrowsun](#)  
**To:** [Forrest Courtney](#)  
**Subject:** Marine View Community Mural Project  
**Date:** Friday, March 15, 2024 11:32:18 AM  
**Attachments:** [Mounting section.pdf](#)  
[Plan drawing.pdf](#)

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**EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS**

Hello Forrest,

I would like to share my mural idea with you, and pick your brain about what types of permits I will need to have. Most of this may not concern you, but I'm sharing the whole idea in case you are curious.

Brief outline: I am working with SHI And the JAHC to hold Mural Classes. Classes will be open to all artists after they complete an application/portfolio review/draft mural proposal process (managed by SHI). Classes will be held at the JAHC, where we will end up with at least 13 (8x4ft) murals. These will be attached to the Marine View parking garage (at Marine Way and Ferry Way). Each mural will be painted with acrylic on a primed piece of plywood and sealed on all sides with a UV/waterproof clear coating. The plywood will be attached to the garage via 2 batten railings. On each painting will be a QR code linking viewers directly to the artist's webpage (so hopefully they sell some art!). At the end of the year, we sell off the murals, with at least some \$ going back to the artists (details TBD). The murals will hang all year, for one year, and be replaced with new murals every spring before the end of March.

I already have the JAHC, SHI and the DBA on board. We want to show art from a diverse group of artists, including all economic and cultural backgrounds. No political or racist etc. art will be allowed.

In my example pictures, the artwork shown is just an example of what the art COULD be. All the art shown is taken from already existing local artists.

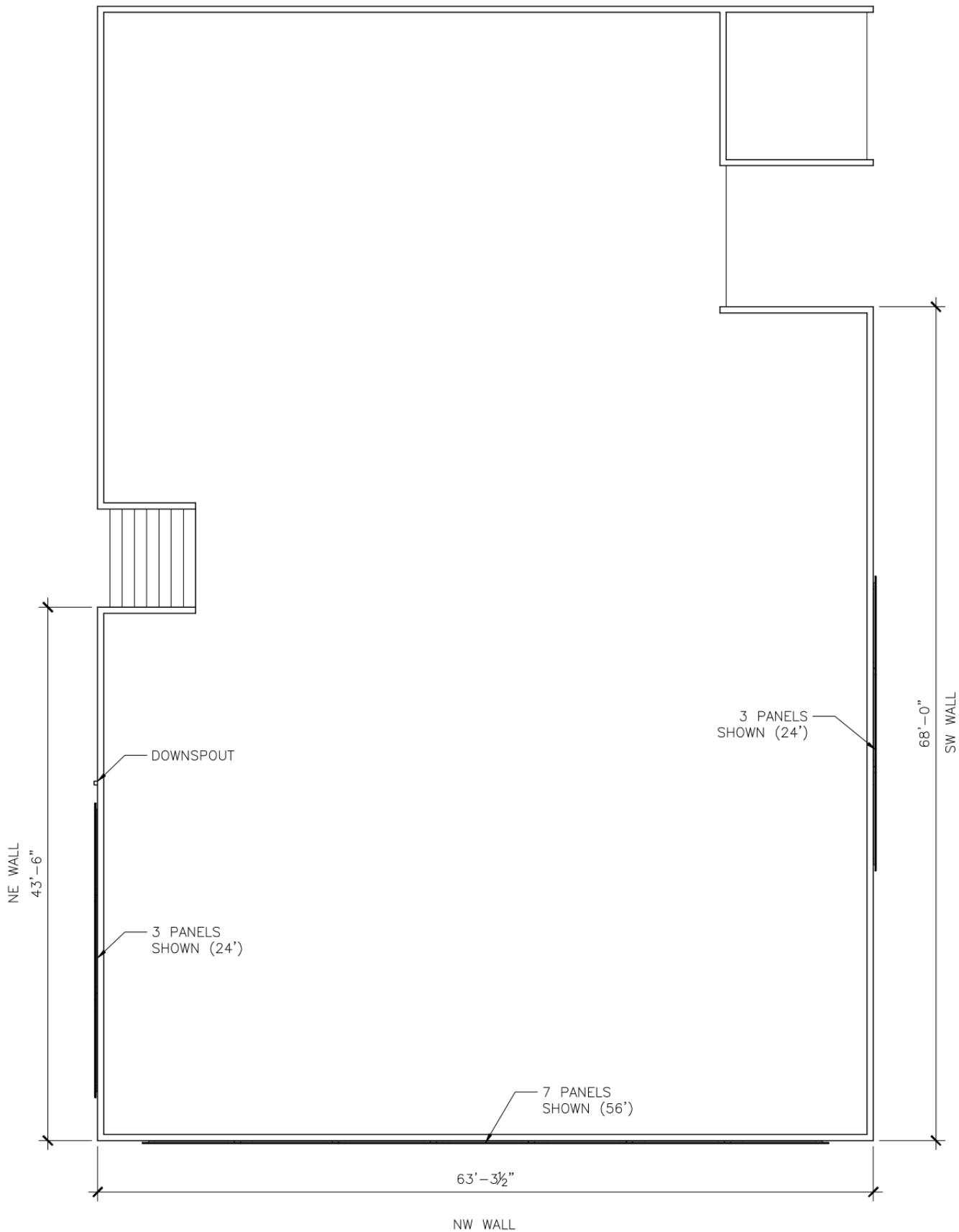
The part that may most interest you is how we will attach the art to the garage. I have attached a drawing of my idea. It is very simple. My drawing shows a 1/2 spacer, but we will actually be using a 3/8 spacer. Not a big difference, but just so you know.

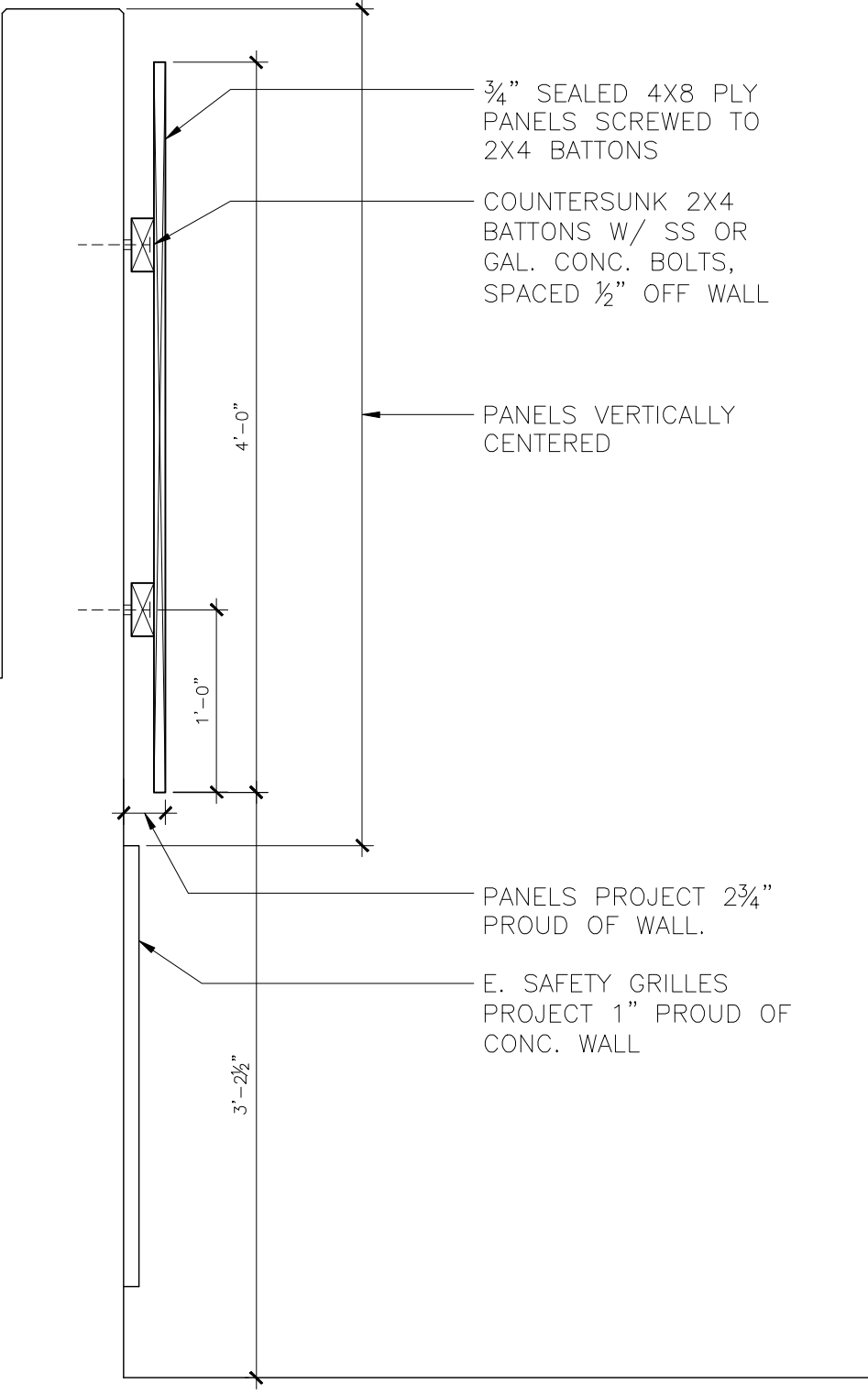
I would love to meet with you in person. I am just downstairs at Picture This and can come anytime before 11am (when I open the shop) or you are welcome to come down to me anytime if you prefer. I really appreciate any insights (both positive and negative!) about the whole idea, and info about what permits I will need to have.

Thank you!

**Dezarae Arrowsun**

**Picture This**  
907-463-3700  
230 S. Franklin St, Suite 110  
Juneau, AK 99801





3/4" SEALED 4X8 PLY  
PANELS SCREWED TO  
2X4 BATTONS

COUNTERSUNK 2X4  
BATTONS W/ SS OR  
GAL. CONC. BOLTS,  
SPACED 1/2" OFF WALL

PANELS VERTICALLY  
CENTERED

PANELS PROJECT 2 3/4"  
PROUD OF WALL.

E. SAFETY GRILLES  
PROJECT 1" PROUD OF  
CONC. WALL

4'-0"

1'-0"

3'-2 1/2"

**NW Wall  
7 panels**

**NE Wall  
3 panels**

**SW Wall  
2-3 panels  
depending on trees**





MARINE WAY






(907) 586-0715  
 CDD\_Admin@juneau.gov  
 www.juneau.org/community-development  
 155 Heritage Way • Juneau, AK 99801

March 6, 2024

**MEMO**

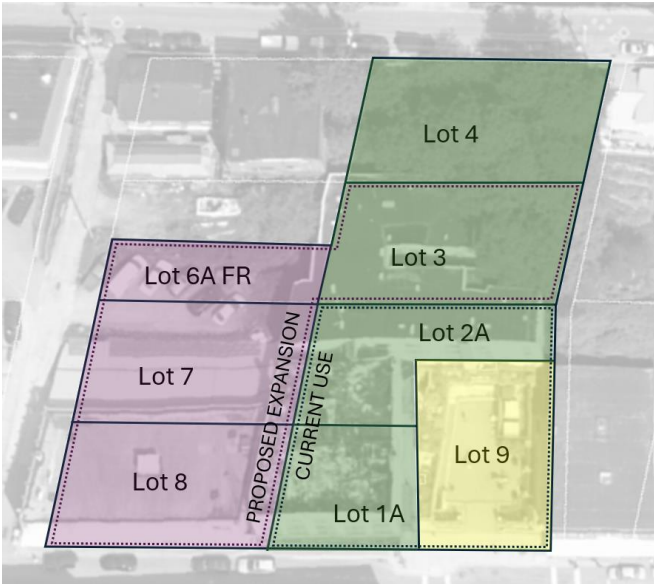
**To:** Zane Jones, Chair, Historic Resources Advisory Committee (HRAC)

**From:** Irene Gallion, Senior Planner 

**Parcel No.:** Multiple (see below)

**Legal Description:** Juneau Townsite Block 13:

Lot	Parcel	Address	Description
1A	1C070A130011	127 S Franklin St.	Gastineau Lodge (demolished)
2A	1C070A130011	127 S Franklin St.	Gastineau Lodge (demolished)
3	1C070A130011	127 S Franklin St.	Gastineau Lodge (demolished)
4	1C070A130011	127 S Franklin St.	Vacant hillside
6A FR	1C070A130030	109 S Franklin St.	Elks Hall (demolished)
7	1C070A130030	109 S Franklin St.	Elks Hall (demolished)
8	1C070A130030	109 S Franklin St.	Elks Hall parking lot
9	1C070A130012	139 S Franklin St.	Gunakadeit Park





**Case Number:** USE2024 0003: Expansion of Food Court

**RE: Review for Conditional Use Permit Process**

On April 9, 2024, the Planning Commission will hear an application to expand the Franklin Foods LLC food court onto the former site of the Elks Club.

I am requesting feedback from HRAC by **April 5, 2024, at noon**. My apologies for the quick turn. I am providing the application now so that the committee members have time to review before the next HRAC meeting on April 3, 2024.

**Context**

HRAC involvement in this development will have two tracts [CBJ 49.70.530(a)(2)]:

- Recommendations for preservation of harmony of scale and sidewalk level use. **This will be done under the Conditional Use Permit process, and is the request of this memo.**
- Recommend architectural style and construction materials for structures. This will be through the building permit process for each structure permitted.

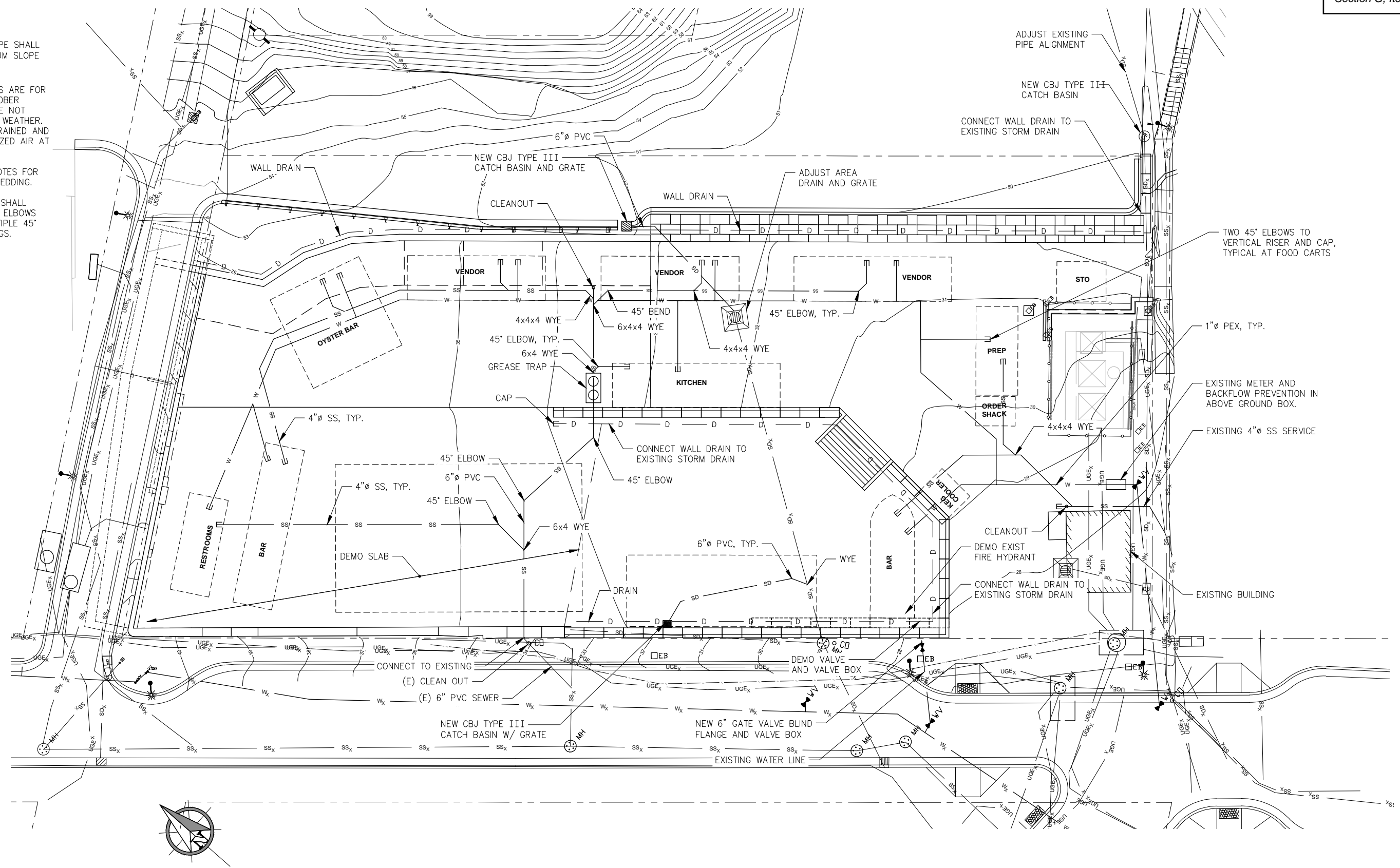
**Project**

Attached is the application, and an updated site plan. Note that the bar may be reoriented parallel to S. Franklin Street, and may be covered by a tent that is 20x40 feet or 25x40 feet.

- Retaining wall construction has been approved by the Director, as it was required for site stabilization.
- Utilities construction has been approved, and including water, sewer and electric.
- The lots are intended to be consolidated (application pending). Structures cannot cross lot lines.
- Construction of buildings for the expansion cannot begin until the Conditional Use Permit is approved, the lots are consolidated, and building permits have been approved.
- Note that Lot 4 (vacant hillside) is not in the Juneau Downtown Historic District established under Ordinance 2013-01.

If HRAC makes recommendations, please draft them to be measurable and enforceable per the Land Use Code (Title 49).

- NOTES:**
1. ALL SANITARY WASTE PIPE SHALL BE 4"Ø PVC WITH MINIMUM SLOPE OF 1/8" DROP PER FOOT
  2. WATER AND SEWER PIPES ARE FOR MID APRIL TO LATE OCTOBER SEASONAL USE, AND ARE NOT SUITABLE FOR FREEZING WEATHER. WATER LINE IS TO BE DRAINED AND CLEARED WITH PRESSURIZED AIR AT END OF SEASON.
  3. SEE SHEET S001 FOR NOTES FOR PIPE, TRENCHING, AND BEDDING.
  4. DRAIN AND SEWER PIPE SHALL HAVE NO 90° STANDARD ELBOWS OR TEES, BUT USE MULTIPLE 45° ELBOW OR SWEEP FITTINGS.



REVISIONS					
REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.
1	1/08/24	REV 1			
2	2/12/24	REV 2			
3	2/28/24	REV 3			

**PND ENGINEERS, INC.**

9360 Glacier Highway Ste 100  
Juneau, Alaska 99801  
Phone: 907-586-2093  
Fax: 907-586-2099  
www.pndengineers.com

DESIGN: CMG CHECKED: CMG  
DRAWN: KLL APPROVED: CMG

SCALE: SCALE IN FEET  
0 10 20 FT.



**JUNEAU, ALASKA  
FRANKLIN FOODS LLC IMPROVEMENTS**

SHEET TITLE:  
**UTILITY PLAN**

PND PROJECT NO.: 222070 C.A.N. NO.: AECC250



# ALLOWABLE/CONDITIONAL USE PERMIT APPLICATION

See reverse side for more information regarding the permitting process and the materials required for a complete application.

**NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.**

To be completed by Applicant

**PROJECT SUMMARY**  
Construct a cast-in-place and stacked concrete block walls at the site of the former Elks Lodge, Gastineau Apartments and Guunakadeit Park, to stabilize conditions. **Also includes expansion of the existing food court.**

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**TYPE OF ALLOWABLE OR CONDITIONAL USE PERMIT REQUESTED**  
~~Accessory Use Permit (AUP)~~  
Use Listed in 49.25.300 – Table of Permissible Uses (USE)  
Table of Permissible Uses Category: **8.300 Seasonal Open-Air Food Service Without a Drive-Through**

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**IS THIS A MODIFICATION or EXTENSION OF AN EXISTING APPROVAL?** YES – Case # \_\_\_\_\_ NO

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**UTILITIES PROPOSED** WATER: Public On Site SEWER: Public On Site

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**SITE AND BUILDING SPECIFICS**  
Total Area of Lot 31,078 square feet Total Area of Existing Structure(s) 220 square feet  
Total Area of Proposed Structure(s) 220 square feet No new permanent structures

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**EXTERNAL LIGHTING**  
Existing to remain X No Yes – Provide fixture information, cutoff sheets, and location of lighting fixtures  
Proposed No Yes – Provide fixture information, cutoff sheets, and location of lighting fixtures

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**ALL REQUIRED DOCUMENTS ATTACHED**

<p><b>Narrative including:</b></p> <ul style="list-style-type: none"> <li>Current use of land or building(s)</li> <li>Description of project, project site, circulation, traffic etc.</li> <li>Proposed use of land or building(s)</li> <li>How the proposed use complies with the Comprehensive Plan</li> </ul> <p><b>Plans including:</b></p> <ul style="list-style-type: none"> <li>Site plan</li> <li>Floor plan(s)</li> <li>Elevation view of existing and proposed buildings</li> <li>Proposed vegetative cover</li> <li>Existing and proposed parking areas and proposed traffic circulation</li> <li>Existing physical features of the site (e.g.: drainage, habitat, and hazard areas)</li> </ul>	<p><i>If this is a modification or extension include:</i></p> <ul style="list-style-type: none"> <li>Notice of Decision and case number</li> <li>Justification for the modification or extension</li> <li>Application submitted at least 30 days before expiration date</li> </ul>
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-----DEPARTMENT USE ONLY BELOW THIS LINE-----

ALLOWABLE/CONDITIONAL USE FEES	Fees	Check No.	Receipt	Date
Application Fees	\$ <u>500.00</u>	<u>Class II</u>		
Admin. of Guarantee	\$ <u>—</u>			
Adjustment	\$ <u>—</u>			
Pub. Not. Sign Fee	\$ <u>50.00</u>			
Pub. Not. Sign Deposit	\$ <u>100.00</u>			
<b>Total Fee</b>	<b>\$ <u>650.00</u></b>			

This form and all documents associated with it are public record once submitted.

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number <u>USE24-003</u>	Date Received <u>1-23-24</u>
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# DEVELOPMENT PERMIT APPLICATION

**NOTE: Development Permit Application forms must accompany all other Community Development Department land use applications. This form and all documents associated with it are public record once submitted.**

<b>PROPERTY LOCATION</b>	
Physical Address <b>109, 127 and 139 South Franklin Street, Juneau Alaska 99801</b>	
Legal Description(s) (Subdivision, Survey, Block, Tract, Lot) <b>Juneau Townsite Block 13</b>	
Parcel Number(s) <b>Lots 1A, 2A, 3, 4, 6 Fraction, 7, 8, 9</b>	
<input checked="" type="checkbox"/> This property is located in the downtown historic district <input checked="" type="checkbox"/> This property is located in a mapped hazard area, if so, which <del>is in the Mapped Zone</del> No longer in a regulated hazard area.	
<b>LANDOWNER/ LESSEE</b>	
Property Owner <b>Franklin Foods, LLC</b>	Contact Person <b>David McCasland</b>
Mailing Address <b>3294 Pioneer Ave, Juneau AK 99801</b>	Phone Number(s) <b>907-957-2212</b>
E-mail Address <b>davidmccasland907@gmail.com</b>	
<b>LANDOWNER/ LESSEE CONSENT</b>	
Required for Planning Permits, not needed on Building/ Engineering Permits.	
Consent is required of all landowners/ lessees. If submitted with the application, alternative written approval may be sufficient. Written approval must include the property location, landowner/ lessee's printed name, signature, and the applicant's name.	
I am (we are) the owner(s) or lessee(s) of the property subject to this application and I (we) consent as follows:	
A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission.	
B. I (we) grant permission for the City and Borough of Juneau officials/employees to inspect my property as needed for purposes of this application.	
<b>David McCasland</b> Landowner Landowner/Lessee (Printed Name) Title (e.g.: Landowner, Lessee)	
X  Date <b>1/23/24</b> Landowner/Lessee (Signature)	
_____ Title (e.g.: Landowner, Lessee) X _____ Date Landowner/Lessee (Signature)	
NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours. We will make every effort to contact you in advance, but may need to access the property in your absence and in accordance with the consent above. Also, members of the Planning Commission may visit the property before a scheduled public hearing date.	
<b>APPLICANT</b> <span style="float: right;">If same as LANDOWNER, write "SAME"</span>	
Applicant (Printed Name) <b>PND Engineers</b>	Contact Person <b>Chris Gianotti</b>
Mailing Address <b>9360 Glacier Highway, St 100, Juneau AK 99801</b>	Phone Number(s) <b>907=463-7001</b>
E-mail Address <b>cgianotti@pndengineers.com</b>	
X <b>Christopher M Gianotti</b> Digitally signed by Christopher M Gianotti Applicant's Signature Date: 2024.01.22 10:09:41 -09'00' <b>2024-01-23</b> Date of Application	

To be completed by Applicant

DEPARTMENT USE ONLY BELOW THIS LINE

Intake Initials <b>JLS</b>
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**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number <b>USE24-003</b>	Date Received <b>1-23-24</b>
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ENGINEERS, INC.

January 23, 2024

PND 222070

Mr. David McCasland  
Franklin Foods, LLC  
3294 Pioneer Avenue  
Juneau, Alaska 99801

Re: Franklin Foods Food Court - Grading Permit  
CBJ Bldg 2023-1002

Dear David;

PND Engineers, Inc. (PND) is pleased to provide this narrative to accompany the application for the conditional use permit application for the Franklin Foods Food Court. The narrative includes the following:

- Current Use of Land and Proposed Use of the land.
- Description of project, project site, circulation, traffic
- How the Use complies with the Comprehensive Plan

### **Project Background**

The project site is a previously developed, sloped site between Gastineau Avenue and Franklin Street and between 1<sup>st</sup> Street and Rawn Way Stairs in Downtown Juneau. For the purposes of this report, plan north is the direction from Rawn Way to 1<sup>st</sup> Street.

The site consists of 8 lots that once included the Rockwell also known as the former Elks Lodge, the Gastineau Apartments and Gunakadeit Park otherwise known as the Pocket Park. The Elks Lodge building and Gastineau Apartments were constructed in the early 20<sup>th</sup> Century. The Elks Lodge was demolished in late 2023. The Gastineau Apartments and structures at Gunakadeit Park were demolished in 2015. A portion of the foundations of both buildings remain on site.

When demolishing the Elks Club Building the east wall collapsed as it was very poorly constructed. The demolition contractor re-graded the slope to between a 1.5 to 1 to 1 to 1 slope (horizontal to vertical) or 34 to 45 degrees. The slope was covered with a polyethylene tarp to minimize moisture intrusion to help stabilize the slope. This is sloped condition is temporarily stable.

### **Current Use and Proposed Use**

Current use of the site is a food court where vendors prepare and sell food and drinks to customers who eat at tables on site or take the food and drink with them elsewhere. There is an existing one-story, wood-framed structure for one vendor which was built under a previous building permit. Other structures are portable and those include a restroom, a bar, a kitchen, a storage building, and seasonal fabric pavilion like tents. The food court operates from May until October 1, when weather

January 23, 2024

Franklin Foods Food Court  
Grading Permit  
Page 2

discourages customers to the point that operations are not feasible. The use after the project is complete is the same as what the current use is.

Proposed Project

The proposed site development includes construction of a cast in place (CIP) concrete retaining wall along the east side of the footprint of the former Elks Lodge building and then continuing south of the CIP wall will be a geogrid-reinforced, stacked concrete block wall. The stacked block wall will extend from the south east corner of the former Elks Lodge building footprint to Rawn Way. The top of the CIP wall will be approximately 16 feet above the top of the slab of the Elks Lodge, part of which is to remain in place. A portion of the slab will be replaced. The slab will be part of the plaza for food carts and customer queuing and seating. The top elevation of the stacked block wall will be 2 feet below the top of the CIP wall and the base will be 20 feet below. West of the stacked block wall will be a graded, gravel-surfaced plaza for food carts and seating for customers. Both walls will be backfilled with well graded, free-draining soils and have drains installed behind them.

The above-described improvements are needed to stabilize existing conditions and create a more pleasingly aesthetic site for food court operations.

The retained fill will be surfaced with gravel, graded to drain, and used as a parking lot. Safety barriers will be constructed at the top of the retaining walls. Drain lines will be installed behind the retaining wall to both improve stability of the retained fill and intercept and control water across the food court.

The east edge, part of the south edge and part of the north edge of the parking lot will have an excavated slope, with a 2:1 (horizontal to vertical) or approximately 26.6-degree slope to the horizontal. The existing soils will be stable if graded to that slope.

Along the Franklin Street sidewalk and south of the former Elks Lodge building there will be a stacked concrete block, gravity retaining wall along the street sidewalk to support an elevated seating area. This area will have a top surface level with the Elks Lodge slab extending south approximately 78 feet and extend 47 feet east of the Franklin Street sidewalk. The south and east sides of this area will also be retained by stacked concrete block, gravity retaining walls. Walls will vary in height from several feet high at the Elks Lodge slab to remain to 6.5 feet tall at the south end. All walls will have a safety rail at the top.

Circulation and Traffic

Most customers of the food court are pedestrians. Most of the pedestrians are passengers and crew members from cruise ships. Some locals will drive to the site and use on-street parking before walking to the food court to buy and eat foods. All customers will likely go to adjacent and nearby businesses and shops.

The proposed improvements will stabilize the site and increase seating at the site, increase area for customer queuing lines.

The retained fill behind the retaining walls will provide 15 to 20 spaces of parking. This parking will be mainly for the vendor staff and customers that are local or those using cars to get to the site.

January 23, 2024

Franklin Foods Food Court  
Grading Permit  
Page 3

The new area above the retained fill behind the retaining walls, via access from 1<sup>st</sup> Street, will also be a spot for a bear-resistant dumpster. It will not block access to Rawn Way or 1<sup>st</sup> Street. It will not block access to the food court.

*Compliance with the Comprehensive Plan*

The proposed improvements are to enhance the experience of being in Downtown Juneau by improving aesthetics, enhance tourist experience, offer a better experience for locals dining in downtown. This project will make the existing food court a more-attractive and safer component of the downtown neighborhood. The display of the historic plaque that was on the Elks Building and reuse of the designs cast in the ground level slab of the Elks Building will note the historic character of the site.

**Closing**

PND appreciates this opportunity to present this narrative for the grading permit to Mr. David McCasland for the Franklin Foods Improvements project. We hope this narrative satisfies the project permit parameters. Please contact us with any questions regarding the contents of this document.

Sincerely,  
PND Engineers, Inc. | Juneau Office



Chris Gianotti P.E., S.E.  
Senior Engineer



ENGINEERS, INC.

January 9, 2024

PND 222070

Mr. David McCasland  
Franklin Foods, LLC  
3294 Pioneer Avenue  
Juneau, Alaska 99801

Re: Franklin Foods Hillside Endorsement  
CBJ Bldg 2023-1002

Dear David;

PND Engineers, Inc. (PND) is pleased to provide this Engineering Geology Report for the Franklin Foods Improvements Project. The purpose of this report is to provide a summary of existing site geology, observed geological processes and engineering data relevant to proposed development. This report is being submitted to satisfy the City and Borough of Juneau (CBJ) Hillside Endorsement section requirements of the Land Use Code for areas with slopes that exceed 18%.

### **Project Background**

The project site is a previously developed, sloped site between Gastineau Avenue and Franklin Street and between 1<sup>st</sup> Street and Rawn Way Stairs in Downtown Juneau. For the purposes of this report, plan north is the direction from Rawn Way to 1<sup>st</sup> Street.

The site consists of 8 lots that once included the Rockwell also known as the former Elks Lodge, the Gastineau Apartments and Gunakadeit Park otherwise known as the Pocket Park. The Elks Lodge building and Gastineau Apartments were constructed in the early 20<sup>th</sup> Century. The Elks Lodge was demolished in late 2023. The Gastineau Apartments and structures at Gunakadeit Park were demolished in 2015. A portion of the foundations of both buildings remain on site.

The proposed site development includes construction of a cast in place (CIP) concrete retaining wall along the east side of the footprint of the former Elks Lodge building and then continuing south of the CIP wall will be a geogrid-reinforced, stacked concrete block wall. It will extend from the south east corner of the former Elks Lodge building footprint to Rawn Way. The top of the CIP wall will be approximately 16 feet above the top of the slab of the Elks Lodge, part of which is to remain in place. A portion of the slab will be replaced. The slab will be part of the plaza for food carts and customer queuing and seating. The top elevation of the stacked block wall will be 2 feet below the top of the CIP wall and the base will be 20 feet below. West of the stacked block wall will be a graded, gravel surfaced plaza for food carts and seating for customers. Both walls will be backfilled with well graded, free-draining soils and have drains installed behind them.



January 9, 2024

Franklin Foods Improvements  
Engineering Geology Report  
Page 2

The retained fill will be surfaced with gravel, graded to drain, and used as a parking lot. Safety barriers will be constructed at the top of the retaining walls.

The east edge, part of the south edge and part of the north edge of the parking lot will have an excavated slope, with a 2:1 (horizontal to vertical) or approximately 26.6-degree slope to the horizontal.

South of the former Elks Lodge building there will be a stacked concrete block, gravity retaining wall along Franklin Street sidewalk to support an elevated seating area. This area will have a top surface level with the Elks Lodge slab extending south approximately 78 feet and extend 47 feet east of the Franklin Street sidewalk. The south and east sides of this area will also be retained by stacked concrete block, gravity retaining walls. Walls will vary in height from several feet high at the Elks Lodge slab to remain to 6.5 feet tall at the south end. All walls will have a safety rail at the top.

### **Site Geology**

Limited geotechnical reconnaissance was completed for this project. Three test pits were excavated west of the west foundation wall of the former Gastineau apartments east wing and one test pit was excavated east of the same foundation wall. At each test pit abandoned foundation walls and footings surrounded by gravelly sand was found to a depth of approximately 4 feet below the ground surface. Below the footings test pits revealed a gravel base course underlain with a firm, sandy silty material with shell fragments, which is believed to be native, natural soils.

During site demolition, the excavation contractor further revealed the existing abandoned lowest level slab of the east wing of the Gastineau Apartments and the adjacent retaining walls east of the slab. Backfill around the retaining walls is a loose, very wet, sandy-gravel to gravelly-sand material.

The only likely active geologic process affecting the site is isostatic rebound, and is not expected to have any adverse impacts. There are no substantial indications of slope instability on the hillside.

### **Recommendations**

The retaining walls need to be designed and constructed for global stability as well as internal stability to resist all lateral loads imposed by the retained fill with a surcharge of 50 psf on the fill which is appropriate for a parking area. The walls should be designed and constructed in accordance with the CBJ Building Code. Drains should be installed behind the walls and backfill shall be free-draining.

New excavated slopes should be stable for the soil conditions. For the soils encountered on site, that is sandy gravel to gravelly-sands, man-made fill, the slope of 2:1 (horizontal to vertical) should not be exceeded.

Preventing saturation and minimizing disturbance will be critical in maintaining stability. Rain gutters and other runoff from new development and the adjacent properties should be directed away from slopes or intercepted prior to reaching the excavated slopes. Riprap pads, landscaped vegetation or

January 9, 2024

Franklin Foods Improvements  
Engineering Geology Report  
Page 3

other techniques to prevent erosion should be utilized when discharging runoff downhill. Previously-vegetated areas disturbed during construction should be stabilized through re-vegetation or other means such as large shot rock gravel or riprap. No slopes, either existing or constructed, should exceed 1.5H:1V unless designed or evaluated by a professional engineer.

**Closing**

PND appreciates this opportunity to present this Engineering Geology Report to Mr. David McCasland for the Franklin Foods Improvements project. We hope this report satisfies the project parameters. Please contact us with any questions regarding the contents of this report.

Sincerely,  
PND Engineers, Inc. | Juneau Office



Chris Gianotti P.E., S.E.  
Senior Engineer

**GENERAL NOTES**

**GENERAL NOTES**  
**CRITERIA**  
 CODE: 2012 EDITION OF INTERNATIONAL BUILDING CODE (IBC) AS AMENDED BY THE STATE OF ALASKA AND CITY AND BOROUGH OF JUNEAU  
 STRUCTURAL RISK CATEGORY: II  
**LOADS:**  
 SURCHARGE ON RETAINED EARTH: 50 PSF  
 WIND: ASKHILOVICH WIND SPEED MAP  
 SOIL: UNIFORM COEFFICIENT OF FRICTION = 26 DEGREE IN NATURAL SOIL 40 DEGREES IN SHOT ROCK BACKFILL  
 RAILING LOADS:  
 50 POUNDS PER FOOT OR 200 POUND CONCENTRATED LOAD  
 50 PSF ON INTERMEDIATE POSTS, WIRES AND RAILS  
 VEHICLE BARRIER LOAD:  
 50 POUNDS HORIZONTAL BETWEEN 18 INCHES AND 27 INCHES ABOVE DRIVING SURFACE  
 STRUCTURES AT ROADWAY AASHTO HL90 HIGHWAY LOADING  
**FOUNDATION:**  
 FOUNDATION IS DESIGNED FOR A MAXIMUM ALLOWABLE BEARING PRESSURE OF 3,000 PSF.

**MATERIALS AND CONSTRUCTION**  
 EXCAVATE TO LIMITS SHOWN ON PLANS IN ACCORDANCE WITH OSHA AND STATE OF ALASKA DEPARTMENT OF LABOR REGULATIONS. VERIFY THAT CONDITIONS AT THE LIMIT OF EXCAVATION ARE FIRM NATIVE MATERIAL FREE OF TRASH, DEBRIS, ORGANICS, SOFT MATERIAL, AND MUCK ON BEDROCK OR BEDROCK. IF UNDESIRABLE CONDITIONS ARE FOUND, NOTIFY ENGINEER TO REMOVE ANY UNDESIRABLE MATERIAL FROM SITE. REPORT TO ENGINEER CONDITIONS FOUND AT LIMIT OF EXCAVATION AND FIELD ADJUST BOTTOM OF FOOTING ELEVATION BASED ON CONDITIONS.  
 PROTECT EXISTING BURIED UTILITIES. LOCATE UTILITIES PRIOR TO EXCAVATION.

**BASE COURSE**  
 SHALL CONFORM TO SECTION 703-2.03 OF ALASKA DEPARTMENT OF TRANSPORTATION AND PUBLIC FACILITIES STANDARD SPECIFICATION FOR HIGHWAY CONSTRUCTION, 2015 EDITION, GRADATION C1 OR D1. PLACE IN LIFTS NOT TO EXCEED 6 INCHES IN THICKNESS AND COMPACT EACH LIFT WITH A MINIMUM LEVEL OF EFFORT OF 6 PASSES WITH A WALK-BEHIND, VIBRATORY-PLATE COMPACTOR WITH A MINIMUM RATING OF 10,000 POUNDS.

**DRAIN ROCK**  
 DRAIN ROCK SHALL BE UNIFORMLY GRADED, WASHED GRAVEL WITH STONE SIZE BETWEEN 1/2 INCH AND 1 INCH PLACED IN LIFTS NOT TO EXCEED 12 INCHES AND TAMP WITH EXCAVATOR BUCKET TO OBTAIN MAXIMUM DENSITY.

**TRENCHING**  
 BED PILES IN GRAVELLY SAND WITH NO STONE SIZE GREATER THAN 1.5 INCHES. COMPACT BOTTOM OF TRENCH WITH THE MINIMUM LEVEL OF EFFORT OF 6 PASSES WITH A WALK-BEHIND, VIBRATORY-PLATE OR DOUBLE DRUM COMPACTOR WITH A MINIMUM RATING OF 10,000 POUNDS. PLACE BEDDING IN LIFTS NOT TO EXCEED 8 INCHES IN THICKNESS AND COMPACT WITH A WALK-BEHIND, VIBRATORY-PLATE OR DOUBLE DRUM COMPACTOR WITH A MINIMUM RATING OF 10,000 POUNDS.

PLACE WARNING TAPE 12 INCHES ABOVE PIPE. WARNING TAPE SHALL BE 6 INCHES WIDE, 4 MIL THICK POLYETHYLENE WITH BLACK LETTERING ON COLOR APPROPRIATE FOR PIPE TYPE BELOW.  
 BACKFILL TRENCHES WITH SUITABLE MATERIAL EXCAVATED FROM TRENCH OR IMPORTED, WELL-GRADED SANDY GRAVEL. PLACE IN LIFTS NOT TO EXCEED 8 INCHES IN THICKNESS. COMPACT EACH LIFT WITH A WALK-BEHIND, VIBRATORY-PLATE OR DOUBLE DRUM COMPACTOR WITH A MINIMUM RATING OF 10,000 POUNDS.

**DRAIN PIPE AND SEWER PIPE**  
 DRAIN PIPE SHALL BE EITHER PVC MEETING ASTM D3034 WITH SDR 35 OR CPP MEETING AASHTO M252 TYPE S DRINKED PIPE SHALL BE PERFORATED. PIPE SHALL HAVE BELL AND SPIGOT JOINTS. FITTINGS SHALL BE OF SAME MATERIAL AND COMPATIBLE WITH PIPE. SHIP, STORE, HANDLE AND INSTALL PER MANUFACTURER'S INSTRUCTIONS.

**CONCRETE**  
 MIXING AND CURING OF CONCRETE AND SELECTION OF MATERIALS SHALL BE IN ACCORDANCE WITH THE IBC. PROPORTIONS OF AGGREGATE, CEMENT AND WATER SHALL BE DETERMINED BY TEST RESULTS WHICH CAN BE PLACED WITHOUT EXCESS SURFACE WATER. A MIX DESIGN WITH RECORD CYLINDER TEST RESULTS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO MOBILIZING CONCRETE EQUIPMENT TO THE SITE. MAXIMUM SLUMP SHALL BE 4 INCHES PRIOR TO ADDING PLASTICISERS OR WATER REDUCERS ON SITE. CONCRETE SHALL BE 4,000 PSI. CONCRETE SHALL BE ENTRAINED WITH AIR AND AIR CONTENT SHALL BE BETWEEN 5 AND 8 PERCENT.

CONCRETE REINFORCING SHALL COMPLY WITH ASTM A615 GRADE 60. LAP REINFORCING STEEL 50 BAR DIAMETERS UNLESS OTHERWISE NOTED.

REINFORCING SHALL BE SUPPORTED AND SECURED IN PLACE PRIOR TO CONCRETE PLACEMENT USING WELL-CURED CONCRETE BLOCKS OR APPROVED STEEL CHAIRS. WELDING OF REINFORCING IS PROHIBITED UNLESS SPECIFICALLY NOTED.  
 PROVIDE MINIMUM COVER AT REINFORCING BARS AS FOLLOWS: ANY CONCRETE CAST AGAINST EARTH 3 INCHES, EXPOSED TO EARTH OR WEATHER 2 INCHES.

EXTEND HORIZONTAL REINFORCING AT CORNERS OF WALLS AND FOOTINGS WITH A 90 DEGREE BEND AND A DIAMETER LAP OR CORNER BARS WITH 48 BAR DIAMETER LAP AT EACH LEG. MATCH ALL HORIZONTAL BARS.

**PRECAST CONCRETE BLOCKS**  
 PRECAST CONCRETE BLOCKS SHALL BE MADE WITH CONCRETE WITH A MINIMUM 28 DAY STRENGTH (c<sub>1</sub>) = 4,000 PSI. CONCRETE SHALL BE ENTRAINED WITH 5 PERCENT AIR. BLOCKS SHALL HAVE NUBS AND INDENTS AS MANUFACTURED BY ALASKA CONCRETE CASTING INC. OR APPROVED EQUAL. BLOCKS SHALL BE OF THE SIZE INDICATED ON THE PLANS.

**STRUCTURAL STEEL**  
 STEEL SHALL CONFORM TO THE FOLLOWING:  
 W SECTION ASTM A992  
 PLATES, CHANNELS ANGLES ASTM A 36  
 HOLLOW TUBES ASTM A 500 GRADE B  
 HOLLOW BOLTS ASTM A 300 GRADE C  
 ANCHOR BOLTS ASTM F 1554 GRADE 36  
 BOLTS STEEL TO STEEL ASTM A 325

STEEL SHALL BE FABRICATED AND ERRECTED IN ACCORDANCE WITH THE AISC CODE OF STANDARD PRACTICE WELDING SHALL BE PERFORMED IN ACCORDANCE WITH AWS D1.1, STRUCTURAL WELDING CODE.

BOLTS DESIGNATED AS SUP CRITICAL (SC) SHALL BE TENSIONED USING TURN OF THE NUT METHOD.  
 ALL STEEL SHALL BE GALVANIZED AFTER FABRICATION PER ASTM A 153 AND A 153 AS APPROPRIATE.

**TIMBER FRAMING**  
 SPECIES AND GRADES: UNLESS NOTED OTHERWISE, ALL TIMBER 2 TO 4 INCHES THICK SHALL BE DOUG FIR OR GRADED IN ACCORDANCE WITH THE WESTERN WOOD PRODUCTS ASSOCIATION, LATEST GRADING RULES. ALL SAWM FRAMING SHALL BE STAMPED WITH LUMBER SPECIES AND GRADE.

TIMBER SHALL BE FABRICATED AND JOINED TO CREATE SNUG TIGHT CONNECTIONS UNLESS NOTED OTHERWISE. ALL JOINTS SHALL BE FULLY WELDED AND BEARER HOLES FOR BOLTS SHALL BE NO GREATER THAN THE BOLT DIAMETER PLUS 1/8 INCH. BOLTS WILL BE HEADED WITH CONE POINT WELDED CONNECTIONS SHALL BE INSTALLED WITH GALVANIZED WASHERS UNDER THE HEAD AND NUTS. ALL WELDED CONNECTIONS SHALL BE CONNECTED USING GALVANIZED BOX NAILS.

TIMBER AND LUMBER NOTED AS TREATED SHALL BE PRESERVE PRESERVATIVE TREATED IN ACCORDANCE WITH AWPA C2 FOR IN GROUND CONTACT USING PRESERVATIVE APPROVED BY THE ENGINEER. TREAT ALL DAMAGE TO PRESSURE TREATED ENDS AND SURFACES IN ACCORDANCE WITH AWPA M-4 USING 2 COATS OF COPPER NAPHTHANATE SOLUTION AT DAMAGE, CUTS, HOLES, CHAMFERS, DAPS, COUNTERSINKS, ETC.

**PRECAST CONCRETE BLOCKS**  
 PRECAST CONCRETE BLOCKS SHALL BE MADE OF CONCRETE WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI, MADE FROM A MIX IN COMPLIANCE WITH ACI 318, WITH A MINIMUM CEMENT CONTENT OF 6.5 SACKS OF CEMENT PER CUBIC YARD, USING AGGREGATE WITH A MAXIMUM AGGREGATE SIZE OF 3/4 INCHES AND BE AIR ENTRAINED SO AIR CONTENT IS BETWEEN 5 AND 8 PERCENT. BLOCKS SHALL BE INTERLOCKING, WITH A VERTICAL OFFSET OF 2 INCHES IN 2 VERTICAL FEET. BE STACKED IN A RUNNING BOND AND OF THE SIZE INDICATED. ANY DAMAGE TO THE EXPOSED FACE SHALL BE REPAIRED IN ACCORDANCE WITH THE MANUFACTURER AND ENGINEER APPROVAL.

**REINFORCING GRID**  
 STACKED CONCRETE BLOCK WALL REINFORCING GRID SHALL BE WIRAGRID 5XT AS MANUFACTURED BY MIRIF TENCATE OR APPROVED EQUAL. ANY SUBMITTAL FOR SUBSTITUTION SHALL INCLUDE THE TECHNICAL DATA SHEET WHICH INCLUDES STRENGTH AND DURABILITY CHARACTERISTICS. REINFORCING GRID SHALL BE OVERLAPPED BY AT LEAST 6 INCHES AND ALL JOINTS SHALL BE WELDED TOGETHER WITHOUT ANY BONDING OR TARS OR DAMAGE. THE SUBSEQUENT BLOCK SHALL BE PLACED AND THE GRID PLACED TO TIGHT CONDITION AND SECURED WITH STAKES, GALVANIZED STAPLES OR ANOTHER APPROVED METHOD PRIOR TO PLACING ADDITIONAL LIFTS OF BACKFILL.

**STACKED BLOCK WALL BACKFILL**  
 BACKFILL BETWEEN GEORGRIS AT GEORGRIS REINFORCED STACKED BLOCK WALL SHALL COMPLY WITH 2 INCH MINUS SHOT ROCK WITH THE GRADATION MEETING SUBBASE GRADING A, AS DEFINED IN CBI STANDARD SPECIFICATION FOR CIVIL ENGINEERING AND SUBDIVISION IMPROVEMENTS, SECTION 2202, PARAGRAPHS 2.8 AND 2.4, RESPECTIVELY. PLACE SHOT ROCK BACKFILL PER SECTION 3.2 OF CBI STANDARD SPECIFICATION 02202.

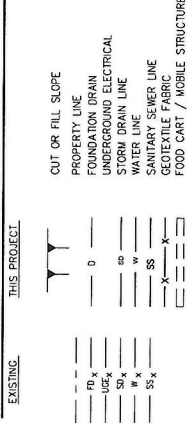
BACKFILL BEHIND UN-REINFORCED STACKED CONCRETE BLOCK WALLS SHALL BE WELL GRADED SANDY GRAVEL WITH NO MORE THAN 6 PERCENT PASSING THE NO 200 SIEVE. SUBMIT GRADATION OF MATERIAL PROPOSED TO BE USED FOR REVIEW AND APPROVAL.

PLACE BACKFILL FOR CONCRETE BLOCK WALLS IN LOOSE LIFTS NO GREATER THAN 12 INCHES IN LOOSE THICKNESS. COMPACT WITH A MINIMAL LEVEL OF EFFORT OF 6 PASSES WITH A VIBRATORY PLATE OR VIBRATORY DOUBLE DRUM ROLLER WITH THE MINIMUM FORCE LEVEL RATING OF 10,000 POUNDS. SUBMIT TECHNICAL DATA ON COMPACTION EQUIPMENT FOR REVIEW AND APPROVAL PRIOR TO MOBILIZING COMPACTION EQUIPMENT TO THE SITE.

**ABBREVIATIONS**

- AASHTO AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS
- ACI AMERICAN CONCRETE INSTITUTE
- AISC AMERICAN INSTITUTE OF STEEL CONSTRUCTION
- AITC AMERICAN INSTITUTE OF TIMBER CONSTRUCTION
- ANSI AMERICAN NATIONAL STANDARDS INSTITUTE
- ASTM AMERICAN SOCIETY FOR TESTING AND MATERIALS
- AWPA AMERICAN WOOD PRESERVERS ASSOCIATION
- AWWA AMERICAN WATER WORKS ASSOCIATION
- CPP CORRUGATED POLYETHYLENE PIPE
- (E) EXISTING
- (D) EXISTING
- EV EVALUATION REPORT
- EXIST EXISTING
- HPCE HIGH DENSITY POLYETHYLENE
- IBC INTERNATIONAL BUILDING CODE
- INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS
- KPSF 1000 POUNDS
- LB POUND
- MAX MAXIMUM
- MIN MINIMUM
- OC ON CENTER
- PCF POUNDS PER CUBIC FOOT
- PLATE
- PSF POUNDS PER SQUARE FOOT
- PSI POUNDS PER SQUARE INCH
- PVC POLY VINYL CHLORIDE
- SS STAINLESS STEEL
- STD STANDARD
- TYP TYPICAL

**LEGEND**



**JUNEAU, ALASKA**  
**FRANKLIN FOODS LLC IMPROVEMENTS**

SHEET TITLE  
**STRUCTURAL GENERAL NOTES**

NO. PROJECT NO. 222070 | PLAN NO. REC0250

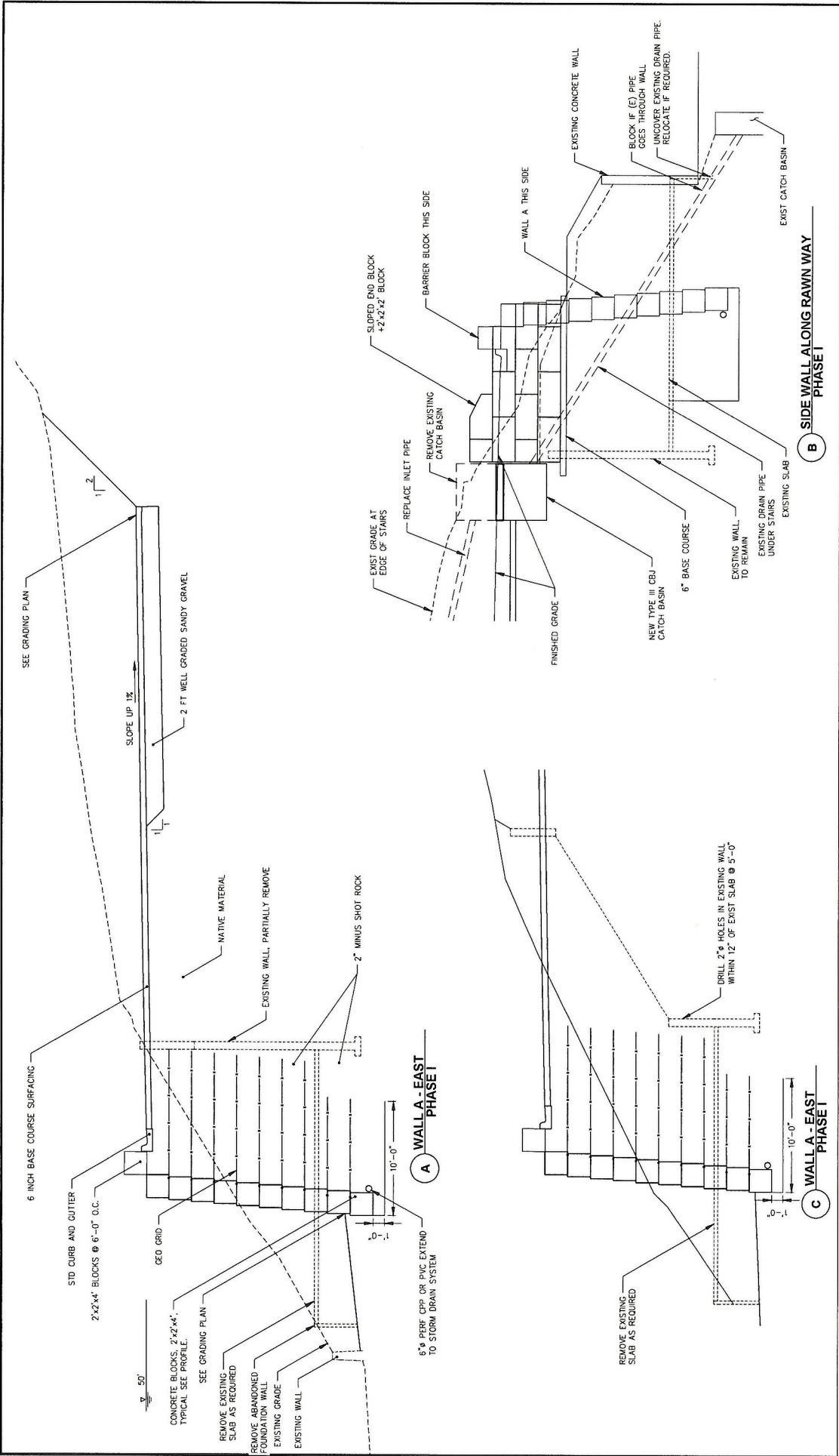
DATE 12/17/2023

10500 Chertway Highway Ste. 100  
 Juneau, Alaska 99801  
 Phone: 907-586-2093  
 Fax: 907-586-2099  
 www.pnlengineers.com

**P N D ENGINEERS, INC.**

DESIGNER: CMG  
 CHECKER: CMG  
 APPROVED: CMG

REVISIONS		REV	DATE	DESCRIPTION	DWN	CHK	APP.
1		A	1/09/24	REV 1			



JUNEAU, ALASKA  
 FRANKLIN FOODS LLC IMPROVEMENTS  
 SHEET TITLE  
**WALL A  
 PHASE I**  
 S003  
 PRO PROJECT NO. 222070 | C.A.N. NO. AEC0250



3500 Glacier Highway Ste. 100  
 Juneau, Alaska 99801  
 Phone: 907-586-2093  
 Fax: 907-586-2099  
 www.p-engineer.com

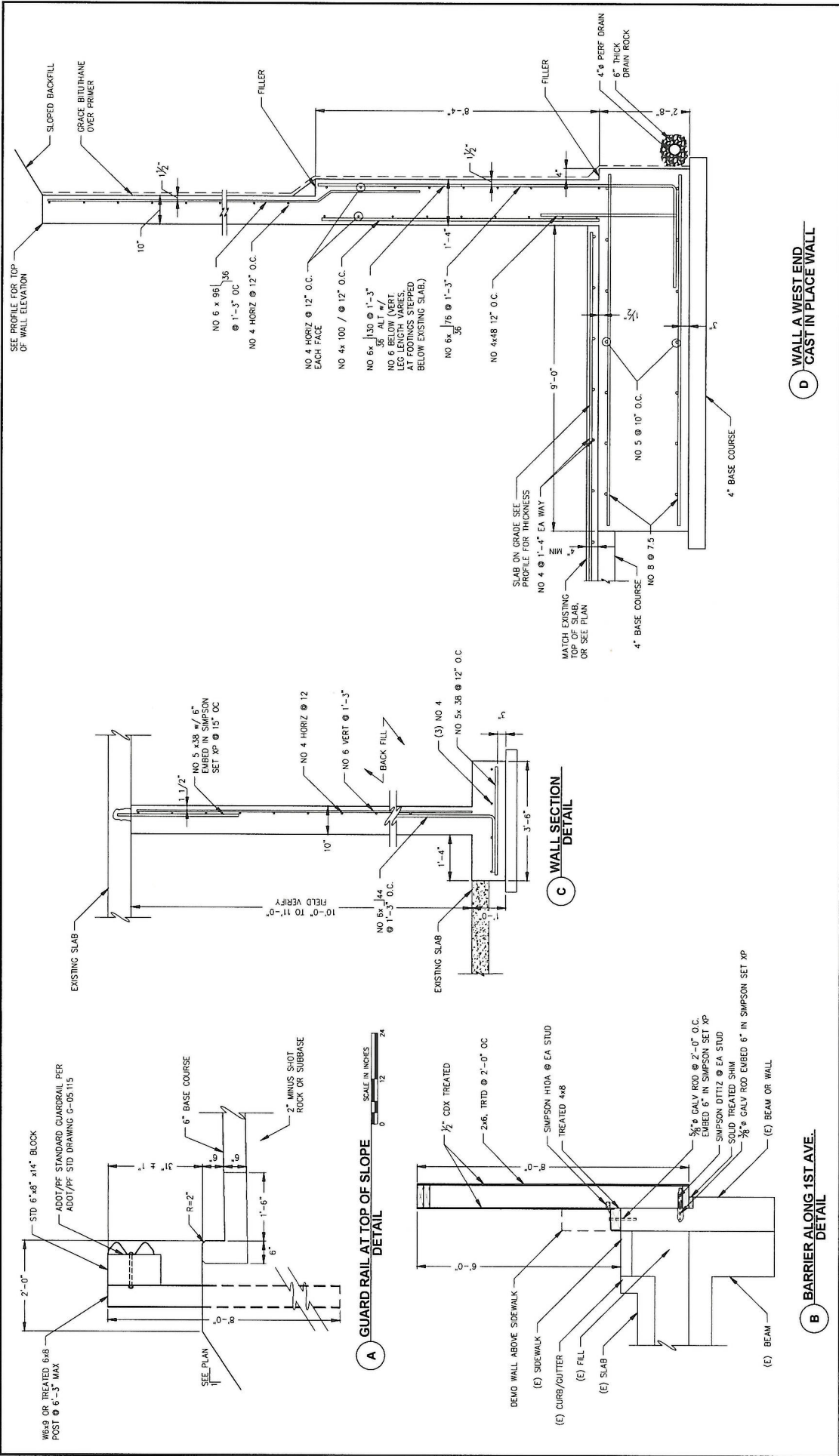
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**ENGINEERS, INC.**

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 APPROVED: CMC

DRAWN: KLL

REV.	DATE	DESCRIPTION	DWN	CHKD.	APP.
1	1/08/24	REV 1			



REV.	DATE	DESCRIPTION	DWN.	CHK.	APP.
1	1/09/24	REV 1			

**P | N | D**  
**ENGINEERS, INC.**  
 9300 Chertney Highway Ste. 100  
 Juneau, Alaska 99801  
 Phone: 907.586.2093  
 Fax: 907.586.3099  
 www.pndengineers.com

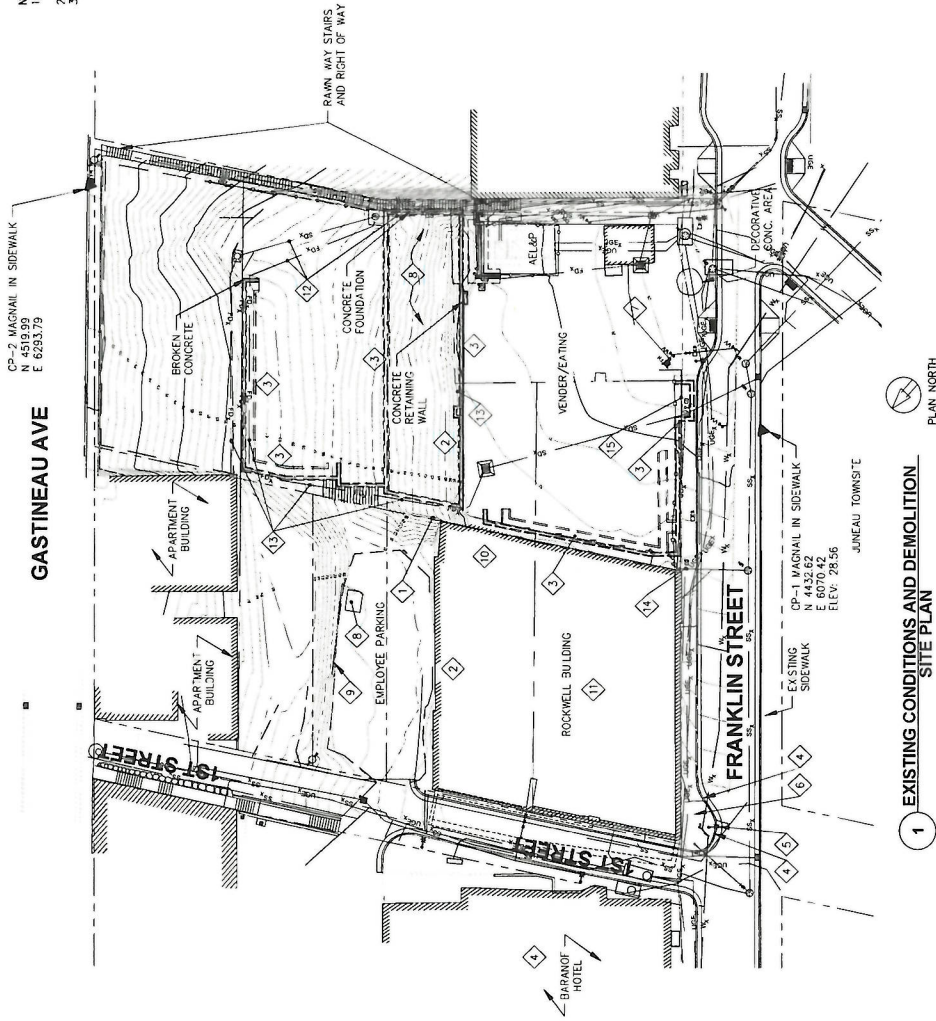
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 DRAWN: KLL

STATE OF ALASKA  
 PROFESSIONAL ENGINEER  
 No. 14088  
 DATE: 12/17/2023

JUNEAU, ALASKA  
 FRANKLIN FOODS LLC IMPROVEMENTS  
 SHEET TITLE  
 TYPICAL DETAILS  
 SHEET NO. S007  
 PND PROJECT NO. 222070  
 C.A.N. NO.: AEC0250

**NOTES:**  
 1. BURIED UTILITIES SHOWN ARE FROM AVAILABLE AS-BUILT INFORMATION. VERIFY LOCATIONS PRIOR TO EXCAVATION.  
 2. BURIED UTILITIES SHOWN ARE FROM GASTINEAU APARTMENT BUILDING DEMOLITION PLANS. CONDITIONS MAY VARY FROM AS SHOWN.

- DEMOLITION NOTES:**
- 1 REMOVE SHEET PILE WALL
  - 2 REMOVE EXISTING RETAINING WALL
  - 3 REMOVE REMAINING FOUNDATION WALLS, AS REQUIRED
  - 4 REMOVE CURB AND GUTTER (PHASE II)
  - 5 REMOVE LIGHT POLE SALVAGE FOR REINSTALLATION (PHASE II)
  - 6 REMOVE SIDEWALK (PHASE II)
  - 7 REMOVE HYDRANT AND CAP WATERLINE AT PROPERTY LINE
  - 8 REMOVE SLAB, AS REQUIRED
  - 9 REMOVE CONCRETE BARRIERS (PHASE II)
  - 10 DEMO SLAB FOR NEW RAMP
  - 11 DEMOLISH BUILDING
  - 12 REMOVE EXPOSE EXISTING DRAIN PIPE, RE-ALIGN AS REQUIRED
  - 13 EXISTING ABANDONED FOUNDATION REMOVED AS REQUIRED
  - 14 RELOCATE SS CLEANOUT
  - 15 REMOVE INFORMATIONAL SIGN



PLAN NORTH

1 EXISTING CONDITIONS AND DEMOLITION SITE PLAN

REV.	DATE	DESCRIPTION	DWN.	CHK.	APP.
1	1/09/24	REV 1			

**P | N | D**  
**ENGINEERS, INC.**

9900 Chena Highway Ste 100  
 Juneau, Alaska 99901  
 Phone: 907.586.2093  
 Fax: 907.586.2095  
 www.pndengineers.com

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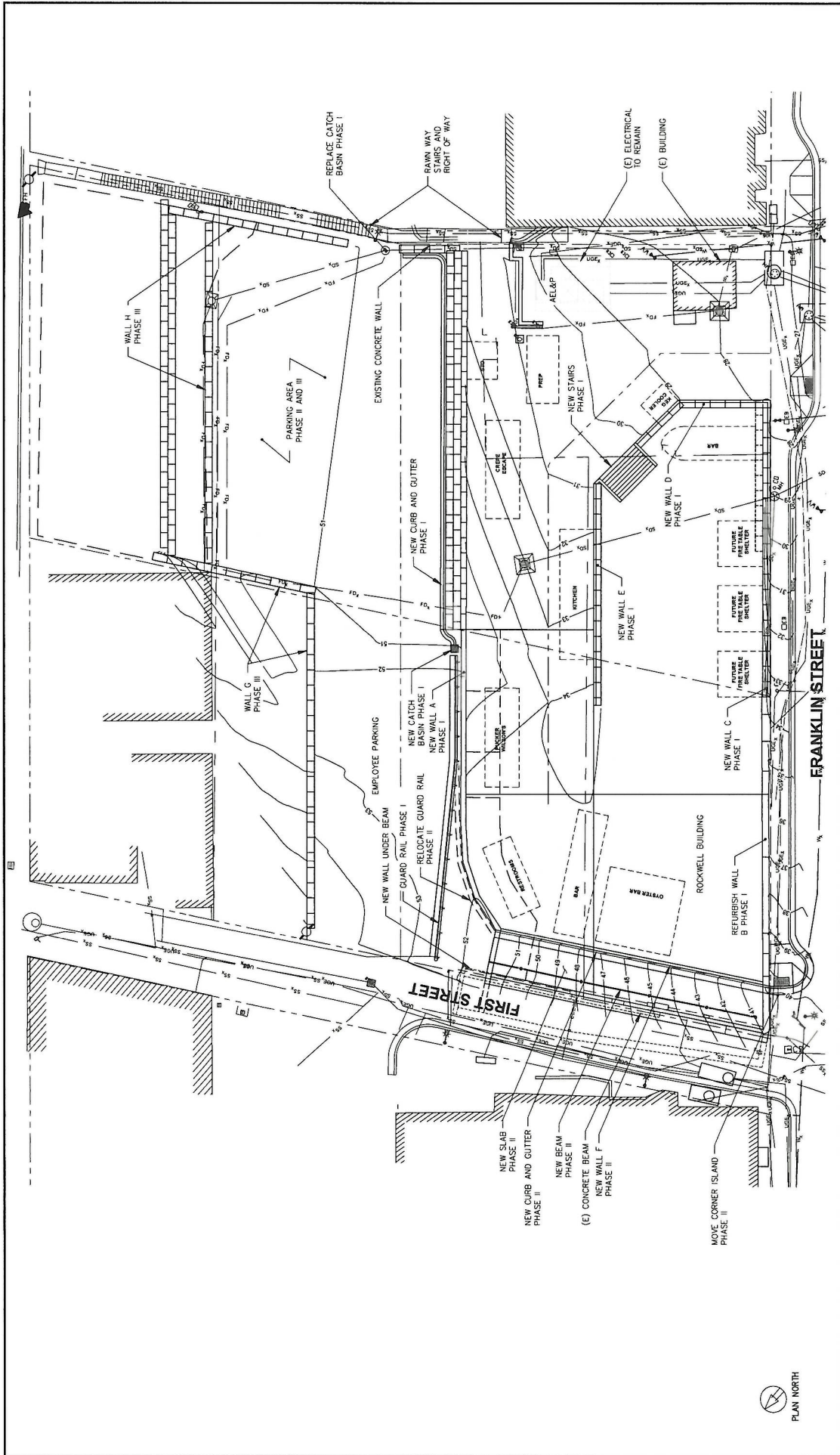


**JUNEAU, ALASKA**  
**FRANKLIN FOODS LLC IMPROVEMENTS**

SHEET TITLE  
**EXISTING CONDITIONS AND DEMOLITION SITE PLAN**

NO. PRODUCT NO. 222070 | SCALE NO. ACC0250

**\$100**



**JUNEAU, ALASKA**  
**FRANKLIN FOODS LLC IMPROVEMENTS**  
 SHEET TITLE  
**OVERALL SITE PLAN**  
 SHEET NO. **S10**  
 REP. PROJECT NO. 222070    C.A.M. NO. AEC2250

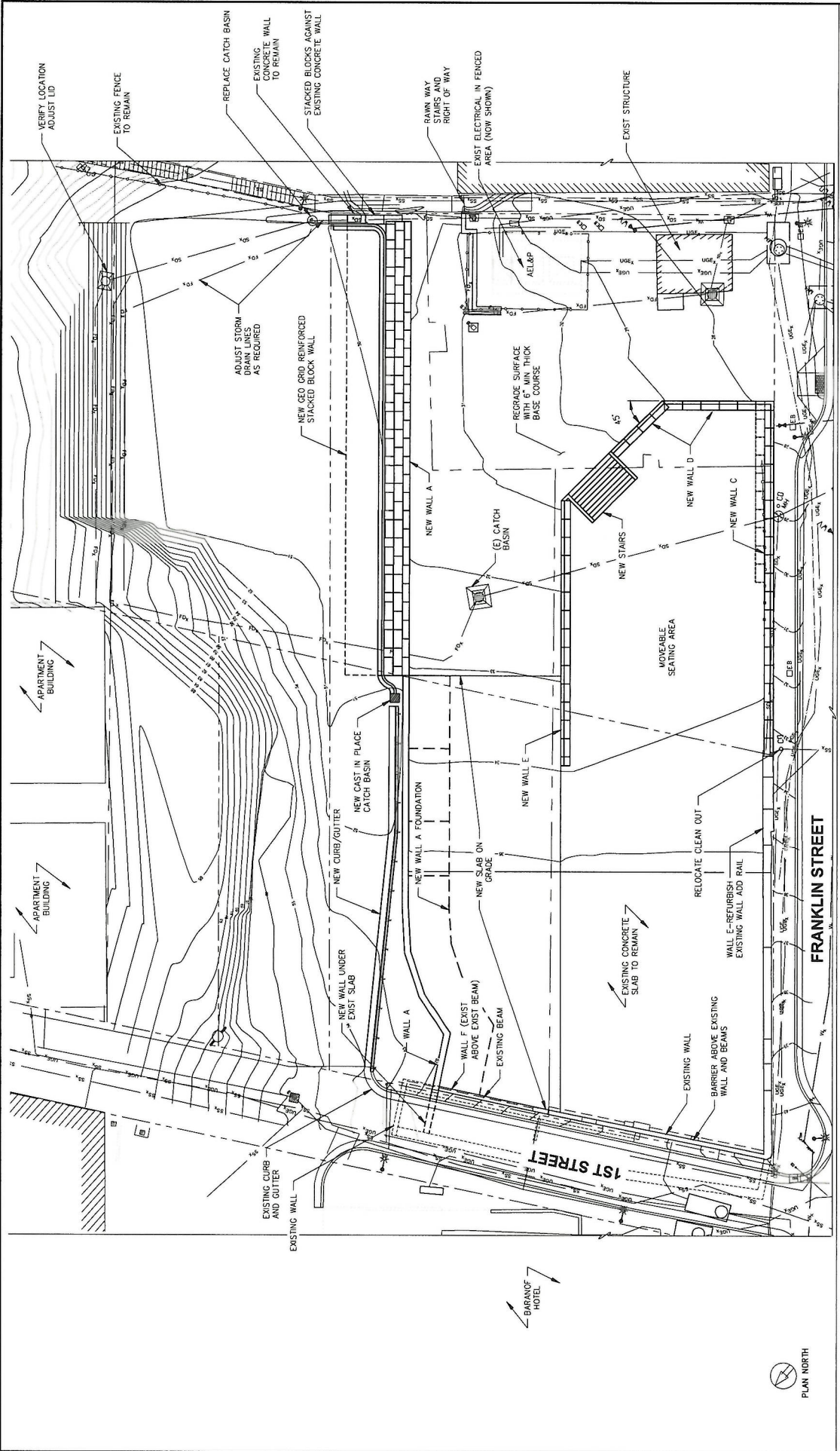


9340 Glacier Highway Ste. 100  
 Juneau, Alaska 99801  
 Phone: 907 586 2093  
 Fax: 907 586 2099  
 www.pindingers.com

**P I N D I N G E R S, I N C.**  
**ENGINEERS, INC.**

DESIGN: CMG    CHECKED: CMG    SCALE: 1" = 24'  
 DRAWN: KLL    APPROVED: CMG

REV.	DATE	DESCRIPTION	DWN.	CHK.	APP.
1	1/09/24	REV 1			



**JUNEAU, ALASKA**  
**FRANKLIN FOODS LLC IMPROVEMENTS**

SHEET TITLE: **S102**  
 SITE PLAN PHASE I

DATE: 12/17/2023  
 PROJECT NO. 222070  
 PLAN NO. A5CC250

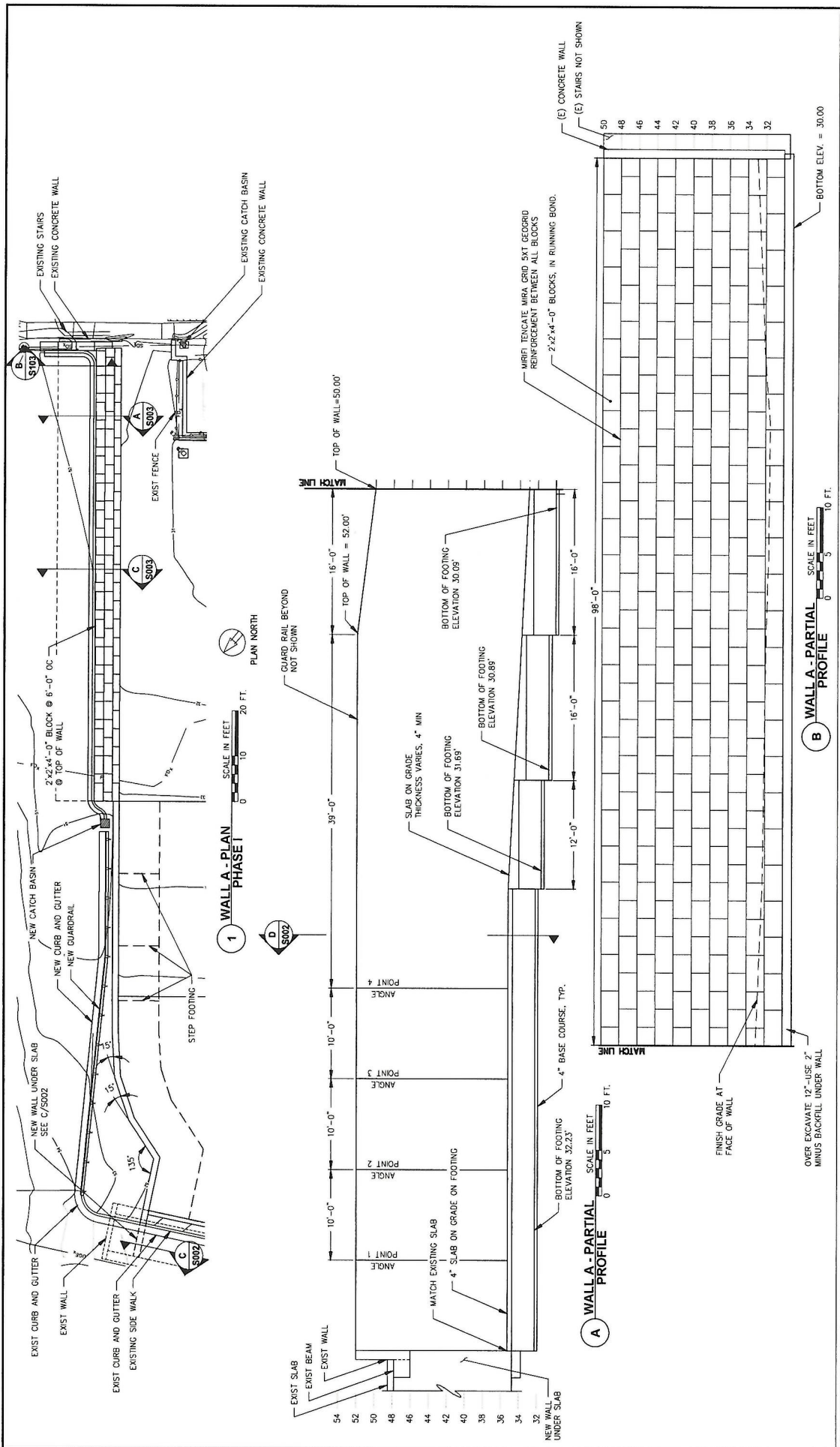
19500 Glacier Highway, Ste. 100  
 Juneau, Alaska 99901  
 Phone: 907-586-2093  
 Fax: 907-586-2099  
[www.profiner.com](http://www.profiner.com)

**P N D**  
**ENGINEERS, INC.**

PERSON: **CMC** CHECKED: **CMC** SCALE: **1" = 20' FT**  
 DRAWN: **KLL** APPROVED: **CMC**

REV	DATE	DESCRIPTION	DWN. CKD. APP.
1	1/05/24	REV 1	





**JUNEAU, ALASKA**  
**FRANKLIN FOODS LLC IMPROVEMENTS**  
 SHEET TITLE: **WALL A PHASE I**  
 S103  
 PWD PROJECT NO. 222070 CAN. NO. AEC230



9340 Chert Highway, Ste. 100  
 Homer, Alaska 99603  
 Phone: 907-586-2093  
 Fax: 907-586-2099  
 www.pndengineers.com

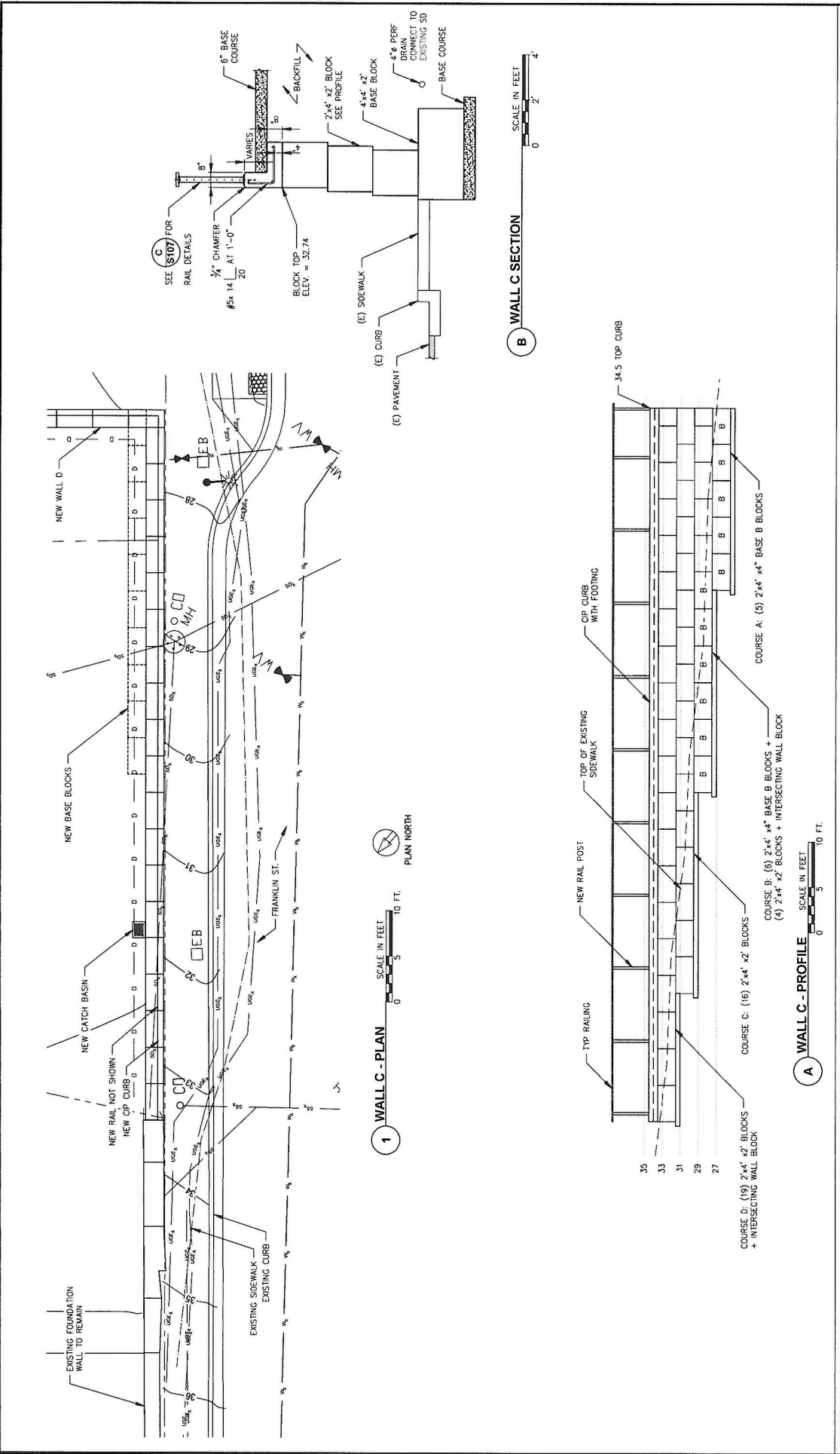
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PERSON: CMG CHECKED: CMG SCALE: AS SHOWN  
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DATE: 12/15/2023

REVISIONS		
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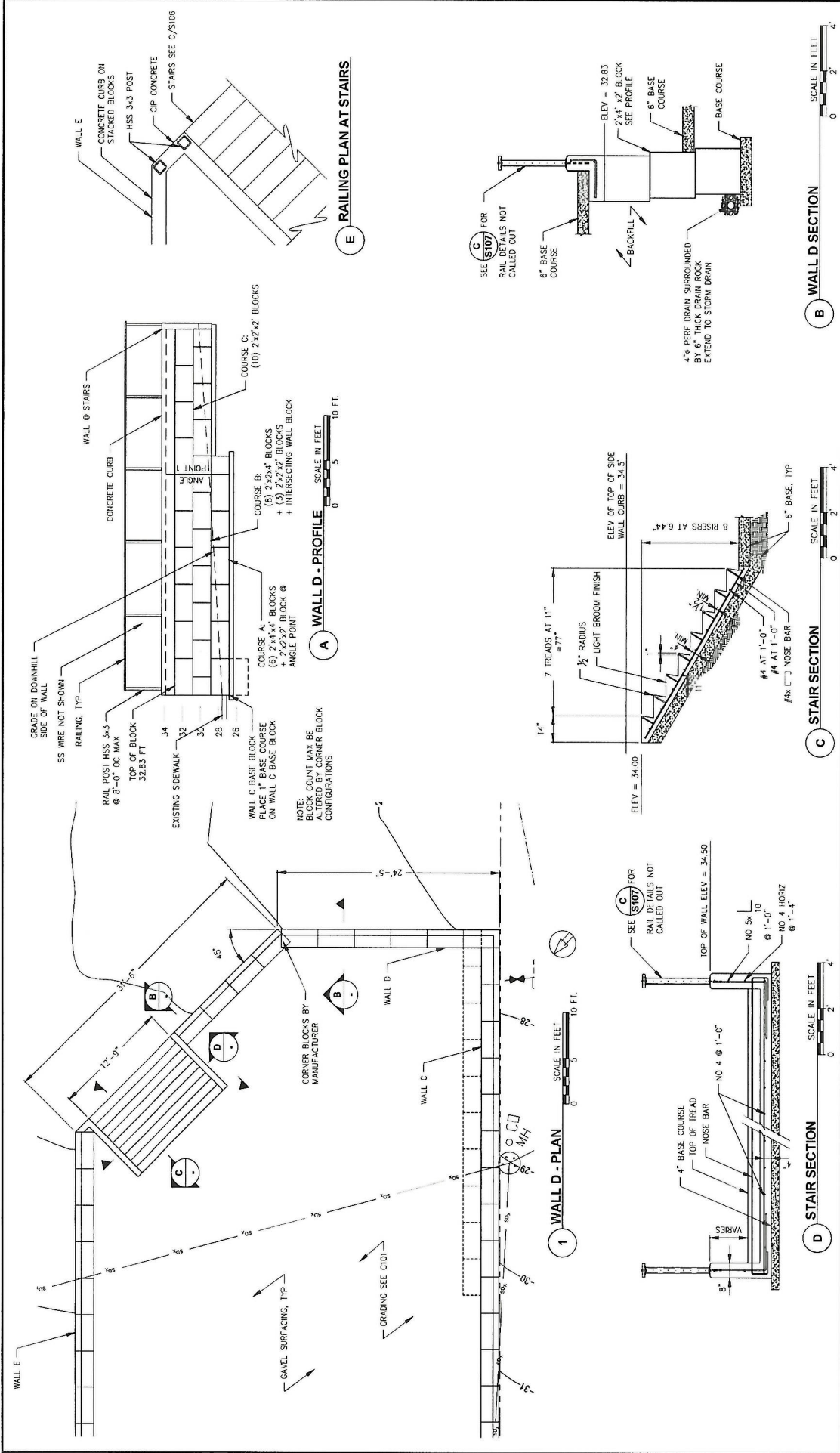
**JUNEAU, ALASKA**  
**FRANKLIN FOODS LLC IMPROVEMENTS**  
**WALL C PHASE I**  
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 PROJECT NO. 222070 | DRAWING NO. AEC250

9560 Glacier Highway Ste 100  
 Juneau, Alaska 99901  
 Phone: 907-586-2093  
 Fax: 907-586-2099  
 www.pnengineers.com

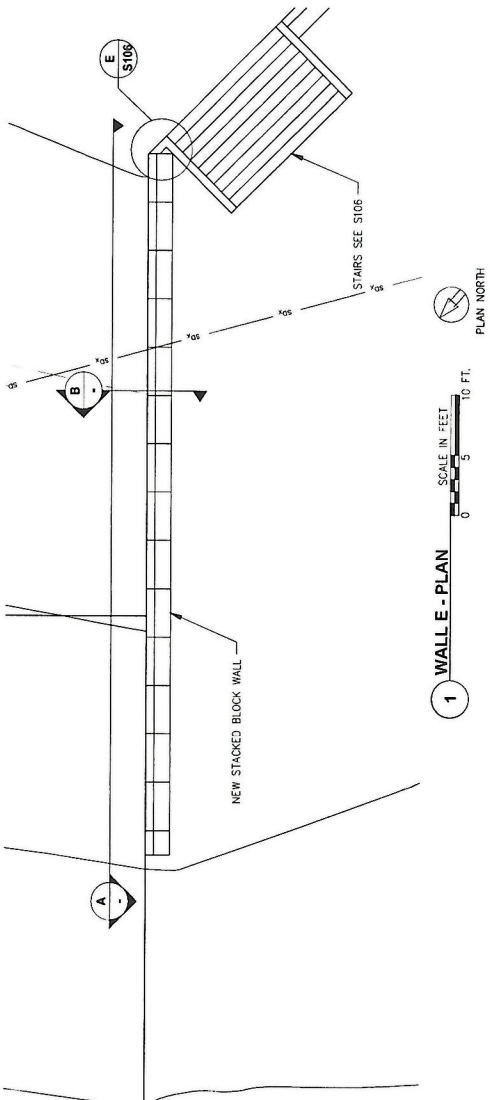
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DATE: 12/18/2023

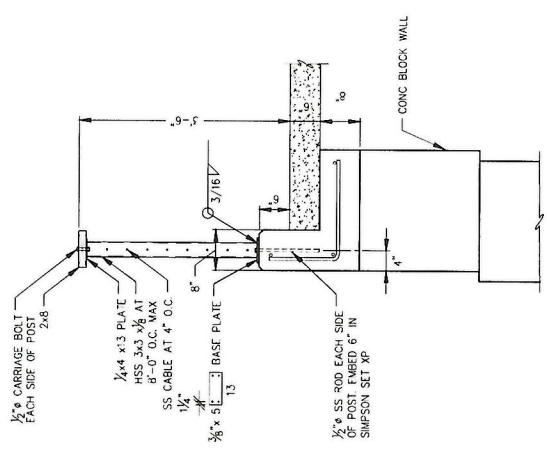
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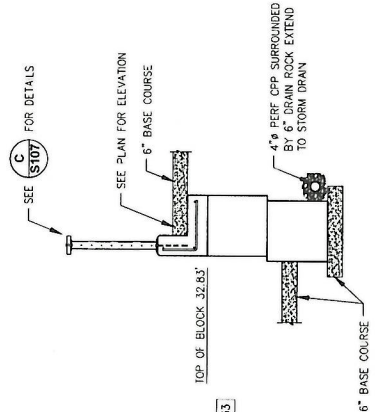
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<p>REV. DATE DESCRIPTION</p> <p>A 1/09/24 REV 1</p>		<p>DWN. CKD. APP.</p>		<p>REVISIONS</p>		<p>DATE 12/19/2023</p>		<p>SCALE</p>	
<p>3560 Glacier Highway Ste 100 Juneau, Alaska 99901 Phone: 907-586-2093 Fax: 907-586-2099 www.pindesigners.com</p>		<p><b>PIND</b> ENGINEERS, INC.</p>		<p>3560 Glacier Highway Ste 100 Juneau, Alaska 99901 Phone: 907-586-2093 Fax: 907-586-2099 www.pindesigners.com</p>		<p>DATE 12/19/2023</p>		<p>SCALE</p>	
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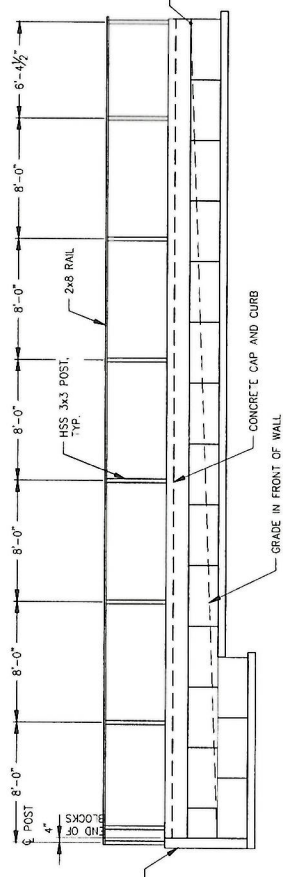
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C WALL RAILING TYPICAL SECTION  
SCALE IN INCHES  
0 12 24



B WALL E - SECTION  
SCALE IN FEET  
0 2 4



A WALL E - ELEVATION  
SCALE IN FEET  
0 4 8 FT.

**JUNEAU, ALASKA**  
**FRANKLIN FOODS LLC IMPROVEMENTS**

SHEET TITLE: **WALL E PHASE I**  
 PNO PROJECT NO. 222070 | CAN. NO. J5CC250

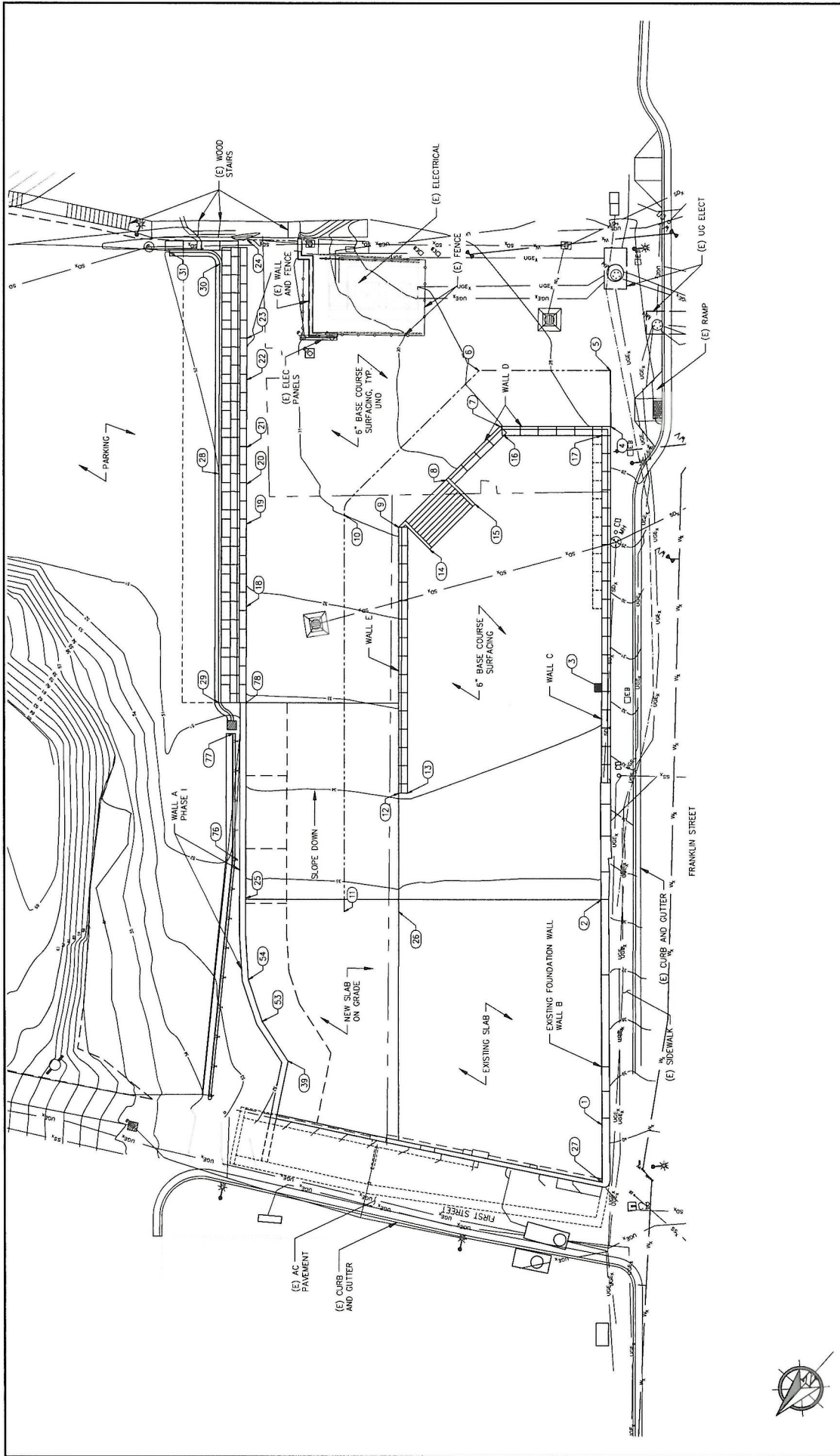
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2560 Glenn Highway Ste 100  
 Juneau, Alaska 99801  
 Phone 907.586.2093  
 Fax 907.586.2099  
 www.pnengineers.com

**P N D**  
**ENGINEERS, INC.**

DESIGN: CMG  
 CHECKED: CMG  
 APPROVED: CMG

REV.	DATE	DESCRIPTION	DWN.	CHK.	APP.
A	1/09/24	REV 1			



JUNEAU, ALASKA  
 FRANKLIN FOODS LLC IMPROVEMENTS  
 SHEET TITLE  
 SITE AND PHASE I  
 GRADING PLAN  
 SHEET NO. 222070 | C.A.N. NO. - AEC250  
 C10



3500 Glenn Highway Ste. 100  
 Juneau, Alaska 99801  
 Phone: 907.586.2093  
 Fax: 907.586.2099  
 www.pndengineers.com  
 SCALE IN FEET  
 0 10 20 FT  
 DRAWN: CMC  
 CHECKED: CMC  
 APPROVED: CMC  
 DESIGN: KLL

REV.	DATE	DESCRIPTION	DWN	CHK.	APP.
1	1/08/24	REV 1			

POINT TABLE					POINT TABLE				
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2	4506.2200	6045.9873	35.23	ME. SLAB EDGE	22	4472.1462	6179.8565	31.50	GRADE AT WALL
3	4471.2269	6076.6659	33.91	CB	23	4465.2063	6185.9234	32.13	GRADE AT WALL
4	4426.9281	6112.7934	27.58	GRADE AT WALL	24	4448.9214	6200.1599	33.00	GRADE AT WALL
5	4417.6864	6121.0084	27.34	MATCH EXISTING	25	4557.7025	6105.0618	35.23	GRADE AT WALL
6	4436.8007	6142.7785	28.79	CB	26	4537.5903	6077.7851	35.23	GB
7	4443.0569	6131.1599	28.03	GRADE AT WALL	27	4552.5955	6005.0643	41.46	GRADE AT WALL
8	4459.7516	6132.2443	30.27	GRADE AT WALL	28	4491.7925	6170.6991	50.00	GB
9	4474.4714	6133.2003	30.89	GRADE AT WALL	29	4529.4088	6137.8144	49.98	GB
10	4480.7931	6144.0578	30.99	GB	30	4458.8517	6201.2512	49.98	GB
11	4545.5068	6086.7997	35.23	CB	31	4462.1955	6211.1344	49.98	GB
12	4516.8558	6094.9329	33.94	GRADE AT WALL	39	4576.3557	6074.6888	35.23	GRADE AT WALL
13	4516.7323	6093.4267	34.00	GRADE AT WALL	53	4575.6302	6084.5373	35.23	GRADE AT WALL
14	4473.5995	6124.8053	34.00	TOP OF STAIRS	54	4570.7613	6092.8636	35.23	GRADE AT WALL
15	4459.5608	6123.9226	34.00	TOP OF STAIRS	76	4552.5777	6112.0217	52.00	GRADE AT GUARD RAIL
16	4444.0133	6120.2175	34.00	GRADE AT WALL	77	4532.3757	6130.9558	51.92	GRADE AT GUARD RAIL
17	4429.8024	6113.0321	34.00	GRADE AT WALL	78	4525.4353	6133.2703	33.09	GRADE AT WALL
18	4508.7198	6147.0090	32.20	GRADE AT WALL					
19	4486.1327	6158.8870	31.43	GRADE AT WALL					
20	4489.5321	6164.6574	31.45	GRADE AT WALL					

JUNEAU, ALASKA  
FRANKLIN FOODS LLC IMPROVEMENTS

SHEET TITLE  
LAYOUT TABLE

PNO PROJECT NO. 222070 | C.A.N. NO. AEC0250

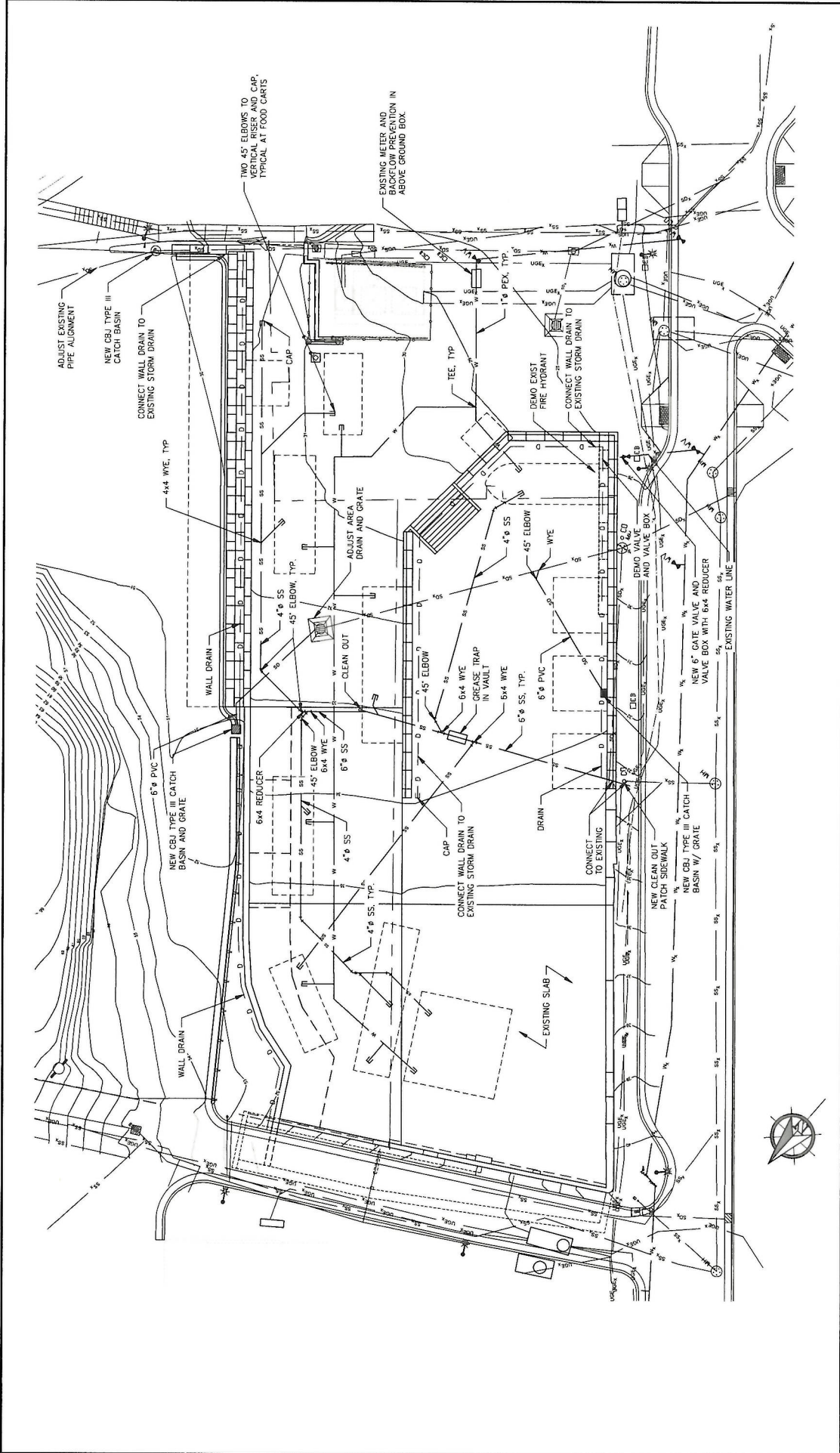


9360 Chisler Highway Ste. 100  
Juneau, Alaska 99801  
Phone: 907-586-2793  
Fax: 907-586-2699  
www.pnengineering.com

**P N D**  
ENGINEERS, INC.

PERSON: CMC CHECKER: CMC SCALE:  
DRAWN: KLL APPROVED: CMC

REV	DATE	DESCRIPTION	DWN	CHKD.	APP.
1	1/08/24	REV 1			



JUNEAU, ALASKA  
 FRANKLIN FOODS LLC IMPROVEMENTS  
 SHEET TITLE  
 U201  
 PROJECT NO. 222070  
 C.A.N. NO. AEGC250



9300 Glacier Highway Ste. 100  
 Juneau, Alaska 99801  
 Phone: 907-586-2093  
 Fax: 907-586-2099  
 www.proengineers.com

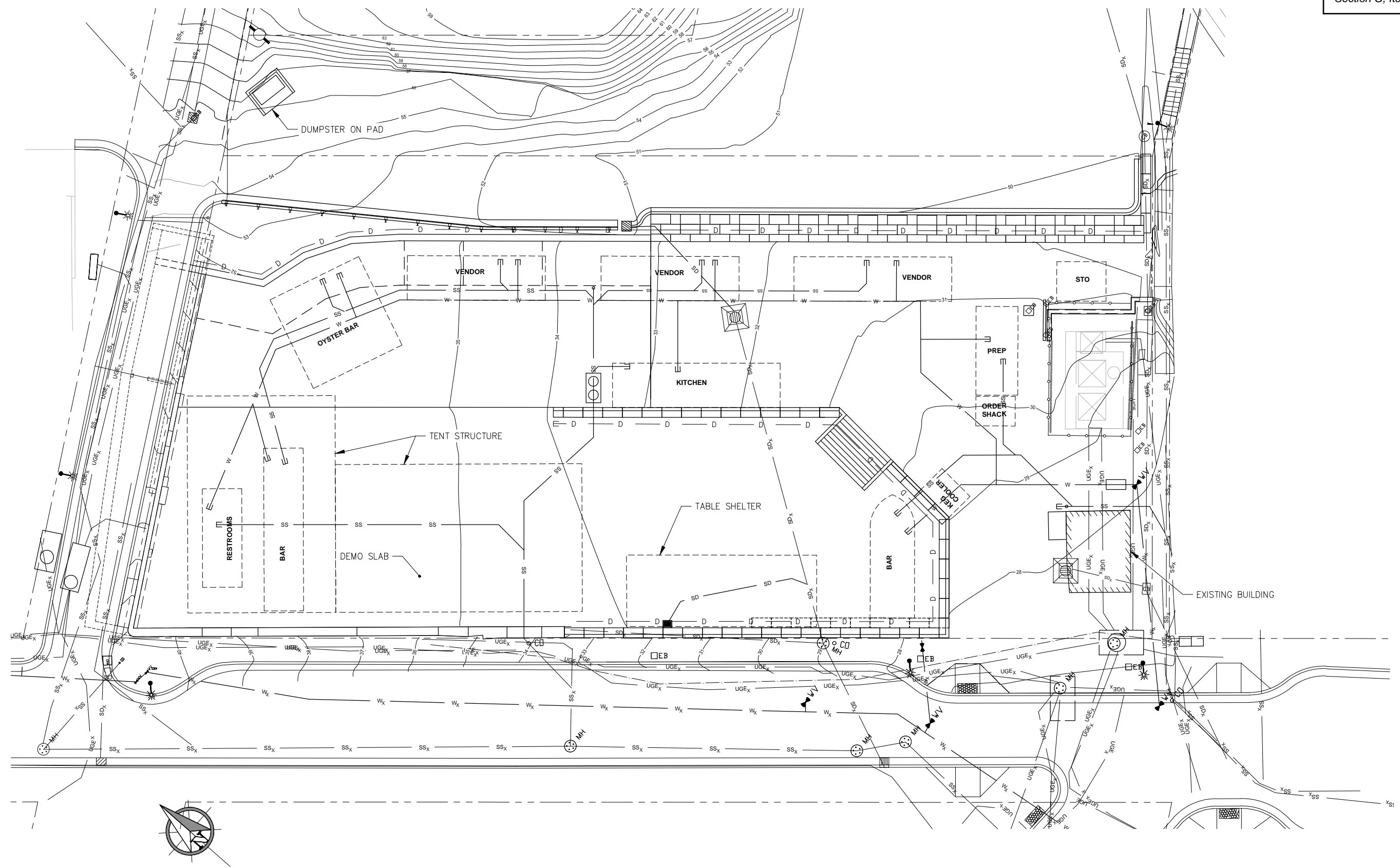
**P N D**  
 ENGINEERS, INC.

DESIGN: CMC  
 CHECKER: CMC  
 APPROVED: CMC  
 DRAIN: KLL

SCALE: 1" = 20 FT.  
 SCALE IN FEET: 0 10 20

REV	DATE	DESCRIPTION	DWN	CHK	APP
1	1/26/24	REV 1			





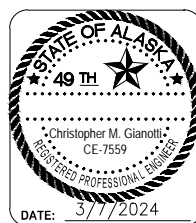
REVISIONS					
REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.
1	1/08/24	REV 1			
2	2/12/24	REV 2			
3	2/28/24	REV 3			
4	3/7/24	REV 4			

**PND**  
ENGINEERS, INC.

9360 Glacier Highway Ste 100  
Juneau, Alaska 99801  
Phone: 907-586-2093  
Fax: 907-586-2099  
www.pndengineers.com

DESIGN: CMG    CHECKED: CMG    SCALE: SCALE IN FEET

DRAWN: KLL    APPROVED: CMG    0 10 20 FT.



**JUNEAU, ALASKA**  
**FRANKLIN FOODS LLC IMPROVEMENTS**

SHEET TITLE:

**SITE PLAN**

PND PROJECT NO.: 222070    C.A.N. NO.: AECC250

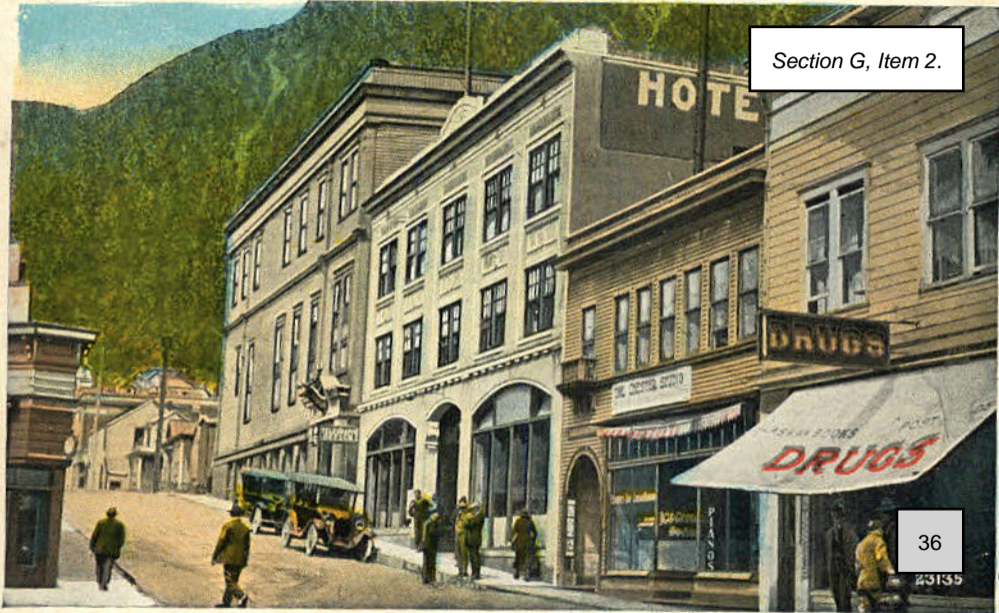


Front Street, ...

File 1000



Elks Hall and Gastineau Hotel, Franklin St., Juneau, Alaska.

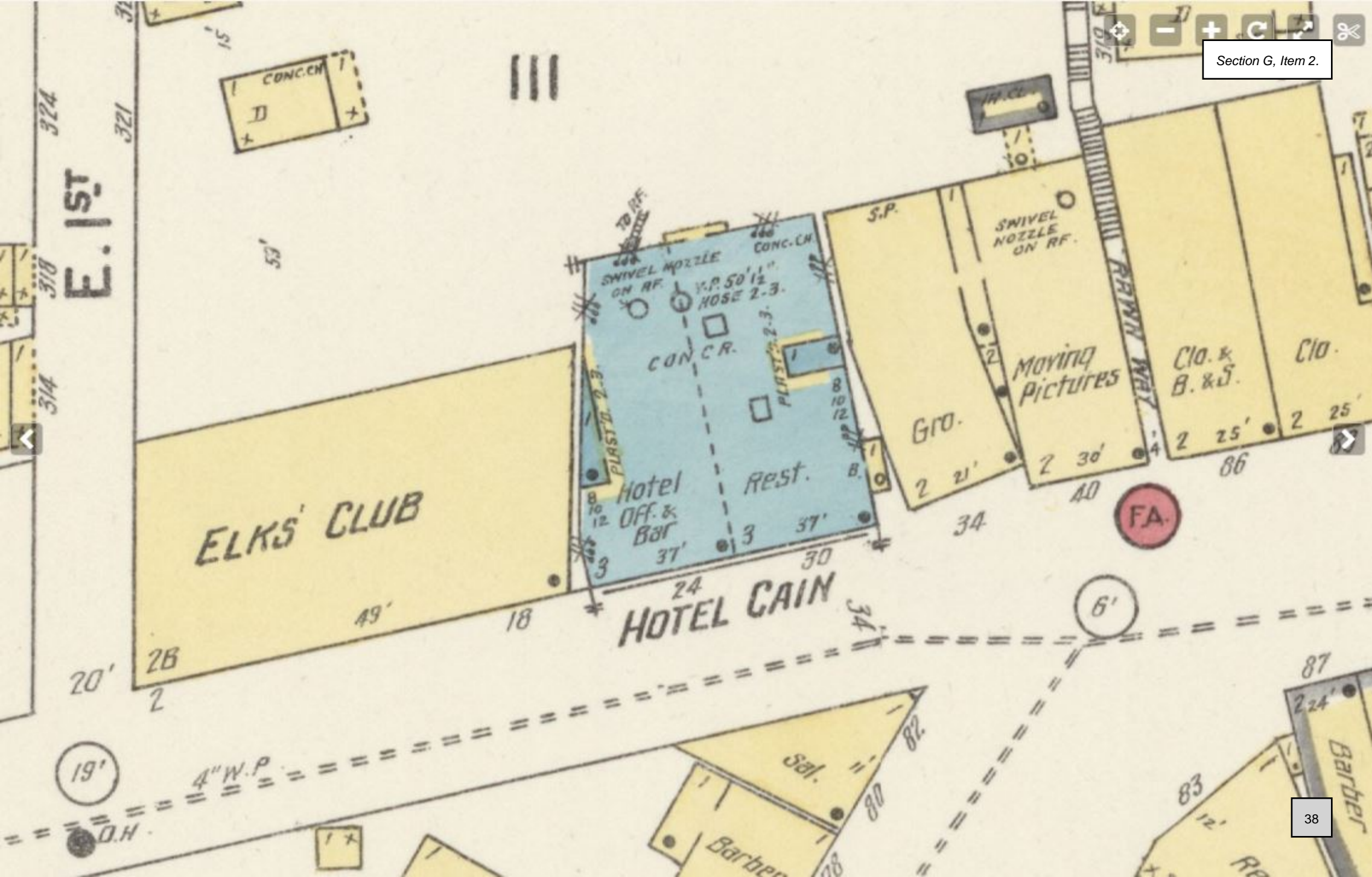


Section G, Item 2.

36

23135









← Sealaska Heritage A.2  
← State Capitol A.5  
← Juneau-Douglas City Museum A.6  
← Governor's Mansion A.9  
← Cope Park A.11

**DANGER**  
KEEP OUT

**NOTICE**  
HARD HATS  
REQUIRED  
IN THIS AREA

**NOTICE** 590715  
for more information  
pc.com or 907.594.715  
DECKHAND DAVE'S  
CASE: USE 2024 0003  
CONDITIONAL USE PERMIT  
FOR EXPANSION OF EXISTING  
FOOD COURT.  
HEARING DATE: 4/09/2024





## Historic Resources Advisory Committee

(907) 586-0715  
HRAC@juneau.org  
[www.juneau.org/history/advcomm.php](http://www.juneau.org/history/advcomm.php)  
155 S. Seward Street • Juneau, AK 99801

August 30, 2021

Dave McCasland, Franklin Food Court  
James Bibb, Northwind Architects  
126 Seward Street  
Juneau, AK 99801

Re: Franklin Food Court

Dear Mr. McCasland,

The members of Juneau's Historic Resources Advisory Committee (HRAC) would like to thank you for bringing your upgrade ideas for the Franklin Food Court to our meeting on June 16, 2021.

The Franklin Food Court has been a delicious addition to the Downtown Historic District attracting hungry locals and tourists since 2019. In 2018 you brought the food court idea to the Committee and headed many of the recommendations. Since then other businesses have added to the food court area bringing more and more people into Juneau's Downtown Historic District.

The upgrade ideas that were discussed in June 2021 include a permanent two-story eating area with room for an outdoor performance space and restrooms. The drawings that were presented as concepts and the final design of the project will be determined in the near future. HRAC was assured that any future design plans for this project will be brought to the committee for review. HRAC reviewed the concepts and looks forward to seeing further development and ways to maintain our historic district with this exciting new project.

Thank you for allowing HRAC the opportunity to provide our support. Should you have any questions please do not hesitate to reach out.

Sincerely,

Zane Jones, Chair of HRAC

City and Borough of Juneau  
**Historic Resources Advisory Committee**  
Regular Meeting – June 16, 2021  
Zoom Webinar Meeting  
**Draft Minutes**

Members:

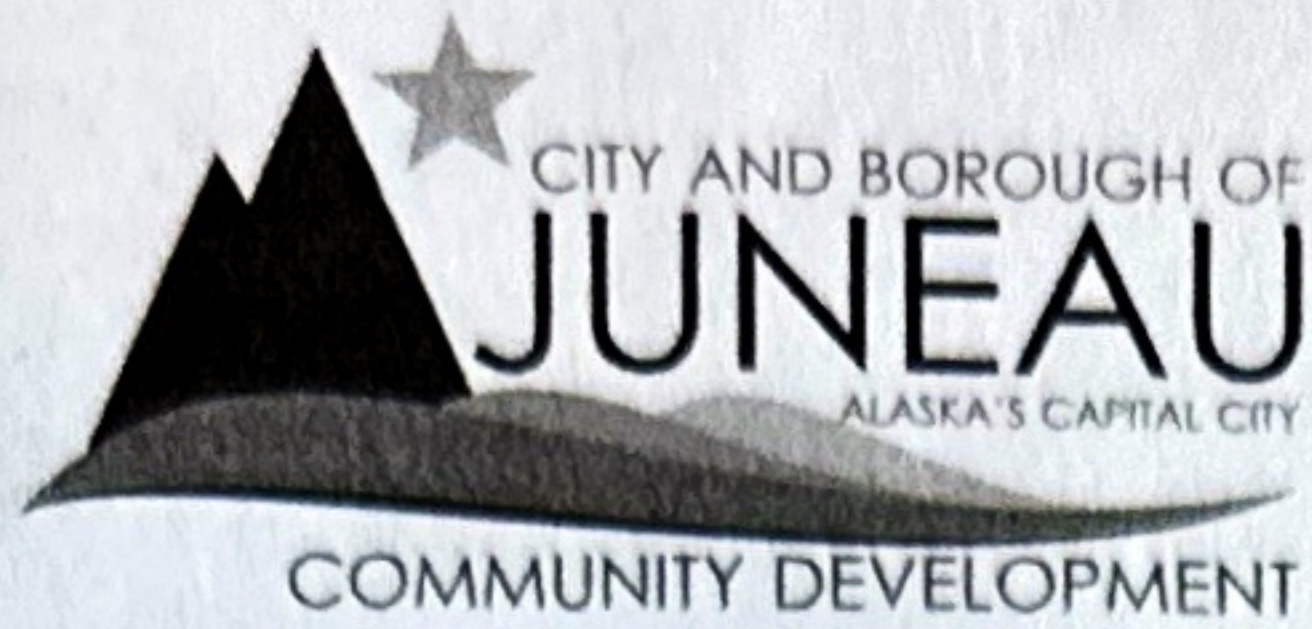
Zane Jones (Chair)	<b>P</b> Don Harris (Vice Chair)	<b>P</b> Shauna McMahon (Recorder)
<b>P</b> Sarah Hieb	<b>P</b> Gary Gillette	<b>P</b> Dorene Lorenz
Olivia Lihou	<b>P</b> Chuck Smythe	<b>P</b> Shannon Crossley

Staff:

<b>P</b> Allison Eddins (CDD)	Beth McKibben (CDD)	Niko Sanguinetti (JDCM)
-------------------------------	---------------------	-------------------------

- I. Call to Order
    - Mr. Harris called the meeting to order at 5:06 pm.
  - II. Approval of Agenda
    - Agenda was amended to move the review of the food court master plan ahead of the review of the 2020 Annual Report.
    - Agenda was approved with this amendment.
  - III. Approval of Minutes
    - Unanimous approval of May minutes.
  - IV. Public Comment
    - No public comment.
  - V. Outdoor Food Court Master Plan
    - Shannon Crossley recused herself from the discussion since the architectural firm that she works for, Northwind, is representing the applicant.
    - The Committee accepted Ms. Crossley's recusal.
    - The applicant, Dave McCasland, and architect James Bibb presented the concept for a permanent two-story cover seating area with room for an outdoor performance space.
    - In general the Committee agreed that the design drawings needed some revisions in order to comply with the Downtown Historic District Design Standards and Guidelines but they approved of the concept.
    - The Committee agreed to write a letter of support for the project concept.
  - VI. Review of the 2020 Annual Report
    - Ms. Crossley rejoined the discussion.
    - Staff presented the report to the Committee.
    - The report was approved with amendments to the membership description for Ms. Hieb, Ms. Lihou and Ms. Lorenz.
  - VII. Committee Comments
    - No additional committee comments.
- Meeting adjourned at 6:25 pm

DRAFT



# APPLICATION FOR DOWNTOWN HISTORIC DISTRICT DESIGN REVIEW

See reverse side for more information regarding the review process and the materials required.  
**NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.**

**HISTORICAL STATUS OF STRUCTURE**

CONTRIBUTING PROPERTY WITHIN THE HISTORIC DISTRICT  NON-CONTRIBUTING PROPERTY WITHIN THE HISTORIC DISTRICT

LANDMARK PROPERTY OUTSIDE THE HISTORIC DISTRICT

**DOES THIS PROJECT REQUIRE A BUILDING PERMIT?**  YES  NO

**WHAT BEST DESCRIBES THIS PROJECT?**

TYPE A - MINOR ALTERATION NOT ALTERING BUILDING STRUCTURE OR FOOTPRINT (Ex: window replacement; canopy replacement)

TYPE B - ALTERATION THAT WILL ALTER THE BUILDING STRUCTURE OR FOOTPRINT (Ex: removing recessed entryway; adding addition to existing building)

TYPE C - NEW CONSTRUCTION

**HAVE YOU SUBMITTED A NARRATIVE THAT EXPLAINS THE PROJECT?**  YES  NO

**TYPE A**  
The narrative should include the following information:

- How the project will meet the applicable design standards and guidelines.
- If the project is unable to meet the design standards and guidelines, please explain why.
- Will the project impact or alter any significant exterior features of the structure? If yes, please describe which features will be impacted or altered.
- Will the project be a restoration or replacement?
- Will the project effect the placement of outdoor mechanical equipment?

**TYPE B & C**  
The narrative should include the following information:

- How the project will meet the applicable design standards and guidelines.
- If the project is unable to meet the design standards and guidelines, please explain why.
- Will the project impact or alter any significant exterior features of the structure? If yes, please describe which features will be impacted or altered.
- Will the project effect the placement of outdoor mechanical equipment?

**ADDITIONAL MATERIALS REQUIRED**

**TYPE A**

- A list of materials that will be used
- Manufacturer's data on all visible fixtures that are part of the project showing size, form, color and method of installation.
- An elevation drawing drawn to scale showing architectural details such as doorways, windows, canopy, etc.

**TYPE B & C**

- A list of materials that will be used
- Manufacturer's data on all visible fixtures that are part of the project showing size, form, color and method of installation.
- An elevation drawing drawn to scale showing architectural details such as doorways, windows, canopy, etc. The elevation drawing must be stamped by a licensed engineer or architect.
- A site plan of the property drawn to scale, clearly showing streets, existing structures and all proposed changes. The site plan must be stamped by a licensed engineer or architect.

Submitted by Chris Binotti on PND Engineers

*[Signature]*

This form and all documents associated with it are public record once submitted.

Hello HRAC committee,

I would like to give a little information on the Elks Lodge. I had been working on buying that building for 6 years in hopes of restoring it and using it. I loved that building. I used to work in it when Rockwell was operating. The owners only had 3 offers on the building the entire time it was for sale, all three offers were from me. I payed architects to help me find grants and any sort of funding for historical renovations. I looked into federal, state and local funding, basically there was nothing available for a business. If you were a non-profit you had access to a lot more options. None of that really mattered though. I went through the building with an engineer and multiple contractors, the building was unsavable. The building itself was holding the leaking rear foundation wall. It was pouring water into the building causing extensive rot and mold. There was no rebar in the concrete, I have vidoes of the concrete just sliding off in layers with the light tap of an excavator. All of the plumbing was bad, not only that it had frozen and busted the main pipe in and flooded the building. The main drain to the street was a steal pipe that was unusable. The electrical was scary. The roof was leaking. But the main thing was the entire building was rotten, they covered the wood building with that stucco and it caused extensive rot. The entire bottom plate, the walls, it was really bad on the south side. The building was a public hazard. Its sad that it had to go, but it was not my fault. If someone 20 years ago had ripped the addition off, fixed the retaining wall and did a full gut to the studs from the inside and the outside and somehow added rebar to all the concrete it could have been saved for more money than you could have gotten out of the building.

I just had to explain that because I don't think a lot of people knew how bad that building was. I saved the painting state emblem, the elk horns, all of the bowling alley floor, and the brass plaque on the outside of the building. Also if you look at the building I have exposed and cleaned the original bricks on the outside.

The only permanent structure I'm building is a gazebo made out of wood with a metal roof and metal plates and fasteners, set on a concrete structure. All the materials follow the historical designs. Also, just because its "permanent" doesn't mean it will be there forever. Its only 15 by 40' and could easily be unbolted, taken apart and transported somewhere else.

I hope this helps,  
David

# BUILDING PERMIT APPLICATION

NOTE: THIS IS NOT A BUILDING PERMIT

\* NOTE: "Building Permit" is a generic term which includes Building Safety Inspections, Grading Permits, and permits for Electrical, Plumbing and Mechanical work.

Case No: **BLD20240085**

Case Description: Permanent covered seating for food court

Site Address: **127 S FRANKLIN ST**

Check No. of Existing Dwelling Units:

Parcel No: 1C070A130011

No. of New Dwelling Units:

Legal Description: JUNEAU TOWNSITE BL 13 LTS 1A, 2A, 3 & 4

No. of Removed Dwelling Units:

**Applicant :** FRANKLIN FOODS LLC  
3294 PIONEER AVE  
JUNEAU AK 99801

e-mail: DAVIDMCCASLAND907@GMAIL.C

PRI 907-957-2212

**Owner:** FRANKLIN FOODS LLC  
3294 PIONEER AVE  
JUNEAU AK 99801

**Contractor:** FRANKLIN FOODS LLC  
3294 PIONEER AVE  
JUNEAU AK 99801

PH: \_\_\_\_\_ FAX \_\_\_\_\_

**Valuation for Permit Fee Calculations:**

S.F.	Type	Rate	Amount
432	Utl & Misc-Carport	43.28	18,696.96
Total Valuation:			\$18,696.96

**Associated Cases:**

None.

**Parcel Tags:**

BLD-008589 Remodel 1972

This parcel is located within the Downtown Historic District.

**Notes and Conditions:**

\_\_\_\_\_  
**Applicant's Signature**  
(Owner, Contractor or Authorized Agent)

\_\_\_\_\_  
**Date**

\_\_\_\_\_  
**Staff Acceptance**

I hereby certify that I have read and examined this application and know the same to be true and correct. I further certify that all provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. I understand that the granting of a permit does not presume to give authority to violate or cancel the provisions of any other federal, state or local law regulating construction or the performance of construction.

DECKHAND DAVE'S TABLES SHELTER

STRUCTURAL GENERAL NOTES

CRITERIA

CODE: 2012 EDITION OF INTERNATIONAL BUILDING CODE (IBC) AS AMENDED BY THE STATE OF ALASKA AND CITY AND BOROUGH OF JUNEAU
STRUCTURAL RISK CATEGORY: II

LOADS: SNOW

GROUND SNOW LOAD: 70 PSF
THERMAL COEFFICIENT Ct = 1.2, (UNHEATED)
EXPOSURE COEFFICIENT, Ce = 0.9 (TERRAIN CATEGORY C, EXPOSED)
IMPORTANCE, Is = 1.0 (OCCUPANCY CATEGORY II)
FLAT ROOF SNOW: 53 PSF

WIND LOADS:

ULTIMATE WIND SPEED: 127 MPH
EXPOSURE: C; Kz = 0.85 Kzt = 1.0; Kd = 0.85
ULTIMATE STATIC PRESSURE, qu = 29.8 PSF
OPEN STRUCTURE, COMPONENT AND CLADDING WIND FORCES
TRIBUTARY AREA LESS THAN 9 SF:
WITHIN 3 FEET OF EAVE: 63 PSF ULT. INWARD PRESSURE
48 ULT. OUTWARD PRESSURE
INTERIOR ZONE 49 PSF INWARD PRESSURE
27 OUTWARD PRESSURE
TRIBUTARY AREA BETWEEN 9 AND 36 SF:
WITHIN 3 FEET OF EAVE: 49 PSF ULT. INWARD PRESSURE
36 PSF ULT. OUTWARD PRESSURE
INTERIOR ZONE 49 PSF ULT INWARD PRESSURE
36 PSF ULT OUTWARD PRESSURE
TRIBUTARY AREA ABOVE 36 SF:
WITHIN 3 FEET OF EAVE: 32 PSF ULT. INWARD PRESSURE
24 PSF ULT. OUTWARD PRESSURE
INTERIOR ZONE 32 PSF ULT INWARD PRESSURE
24 PSF ULT OUTWARD PRESSURE
MAIN FORCE RESISTING SYSTEM WIND
WINDWARD SIDE 30.4 PSF ULT. INWARD PRESSURE
LEEWARD SIDE 8 PSF ULT OUTWARD PRESSURE

USE 60 % OF ABOVE PRESSURES FOR ALLOWABLE STRESS PRESSURES

SEISMIC LOADS

SITE CLASS: D (FIRM SOILS)
Sds = 0.53 g; Sd1 = 0.40 g
DESIGN CATEGORY D; IMPORTANCE = 1.0
R = 1.5 (TIMBER FRAME)
Cs = 0.32 g

FOUNDATION:

FOUNDATION HAS BEEN DESIGNED WITH AN ALLOWABLE BEARING PRESSURE OF 2,000 PSF BASED UPON THE ANTICIPATION OF ENCOUNTERING TYPE 4 SOILS (SAND, SILTY SAND, CLAYEY SAND, SILTY

GRAVEL OR CLAYEY GRAVEL) AS DEFINED IN TABLE 11806.2 OF THE INTERNATIONAL BUILDING CODE. CONTRACTOR SHALL VERIFY CONDITIONS AT THE LIMIT OF EXCAVATION AND REPORT TO THE ENGINEER.

STRUCTURAL MATERIALS AND CONSTRUCTION

BASE COURSE

BASE COURSE SHALL CONFORM TO GRADATION C1 OR D1 OF SECTION 703-2.03 OF ALASKA DEPARTMENT OF TRANSPORTATION AND PUBLIC FACILITIES STANDARD SPECIFICATION FOR HIGHWAY CONSTRUCTION, 2015 EDITION. PLACE BASE COURSE IN ONE LIFT AND COMPACT WITH A MINIMUM LEVEL OF EFFORT OF 6 PASSES WITH A VIBRATORY DOUBLE DRUM ROLLER OR PLATE COMPACTOR WITH A MINIMUM RATING OF 10,000 POUNDS.

CONCRETE

MIXING, PLACING, AND CURING OF CONCRETE AND SELECTION OF MATERIALS SHALL BE IN ACCORDANCE WITH THE IBC. PROPORTIONS OF AGGREGATE, CEMENT AND WATER SHALL BE SUCH TO RESULT IN A DENSE WORKABLE MIX WHICH CAN BE PLACED WITHOUT EXCESS SURFACE WATER. MAXIMUM SLUMP SHALL BE 4 INCHES PRIOR TO ADDING PLASTICISERS OR WATER REDUCERS ON SITE. 28-DAY COMPRESSIVE STRENGTH (fc') SHALL BE 3,000 PSI. CONCRETE SHALL BE ENTRAINED WITH AIR SO THAT AIR CONTENT WILL BE BETWEEN 5 AND 8 PERCENT.

CONCRETE REINFORCING SHALL COMPLY WITH ASTM A615 GRADE 60.

REINFORCING SHALL BE SUPPORTED AND SECURED IN PLACE PRIOR TO CONCRETE PLACEMENT USING WELL-CURED CONCRETE BLOCKS OR APPROVED STEEL CHAIRS. WELDING OF REINFORCING IS PROHIBITED UNLESS SPECIFICALLY NOTED.

PROVIDE MINIMUM COVER AT REINFORCING BARS AS FOLLOWS: CAST AGAINST EARTH 3 INCHES, EXPOSED TO EARTH OR WEATHER 1.5 INCHES

STRUCTURAL STEEL

STEEL PLATES SHALL CONFORM TO ASTM A36 AND FABRICATED IN ACCORDANCE WITH THE AISC CODE OF STANDARD PRACTICE, LATEST EDITION. WELDING SHALL BE IN CONFORMANCE WITH THE AWS D1.1 STRUCTURAL WELDING CODE. AFTER FABRICATION COMMERCIAL BLAST CLEAN AND PRIME WITH INORGANIC ZINC RICH PRIMER, 3 MIL DFT. TOPCOAT WITH EPOXY PAINT WITH COLOR ACCEPTABLE TO OWNER.

TIMBER FRAMING

SPECIES AND GRADES: UNLESS NOTED OTHERWISE, ALL TIMBER 2 TO 4 INCHES THICK SHALL BE ALASKA SPRUCE, DOUG FIR OR HEM FIR NO 1 GRADE, TIMBER 5 INCHES AND GREATER IN THICKNESS SHALL BE COASTAL SPRUCE, HEM FIR OR DOUG FIR NO 1 GRADE OR OF A BETTER SPECIES AND GRADE.

TIMBER SHALL BE FABRICATED AND JOINED TO CREATE SNUG TIGHT CONNECTIONS UNLESS NOTED OTHERWISE. BOLTS SHALL CONFROM TO

ASTM A307 AND BE GALVANIZED. HOLES FOR BOLTS SHALL BE NO GREATER THAN THE BOLT DIAMETER PLUS 1/8 INCH. ALL BOLTS WITH HEAD OR NUT IN CONTACT WITH TIMBER SHALL BE INSTALLED WITH GALVANIZED WASHERS UNDER THE HEAD AND NUTS. ALL NAILED CONNECTIONS SHALL BE CONNECTED USING GALVANIZED BOX NAILS.

PRE-FABRICATED CONNECTORS NOTED IN THE PLANS ARE FABRICATED STEEL OR A PRODUCT OF THE SIMPSON STRONG TIE COMPANY. CONNECTORS MADE BY OTHER MANUFACTURER'S MAY BE CONSIDERED FOR SUBSTITUTION IF THE CONNECTOR HAS EQUAL OR GREATER LOAD CAPACITY, EQUAL OR GREATER CORROSION RESISTANCE AND BE OF AN APPROPRIATE EQUAL CONFIGURATION. SUBMIT ICBO ER FOR REVIEW AND APPROVAL WITH ANY REQUEST FOR SUBSTITUTION.

TIMBER DECK SHALL BE SITKA SPRUCE OR DOUG FIR 2X DECKING WITH TONGUE AND GROOVE SIDE JOINTS. PLACE DECK ONTO RAFTERS IN A CONTROLLED RANDOM LAYOUT: END JOINTS IN THE SAME GENERAL LINE SHALL BE SEPARATED BY AT LEAST 2 INTERVENING COURSES AND END JOINTS SHALL BE MORE THAN 24 INCHES FROM END JOINTS ON ADJACENT COURSES. AT END BAYS EACH PIECE MUST REST ON AT LEAST ONE SUPPORT AND MUST CONTINUE OVER THE FIRST INNER SUPPORT FOR AT LEAST 2 FEET. CONNECT PLANKS TO RAFTERS USING 16D NAILS WITH ONE NAIL TOE NAILED THROUGH THE TONGUE AND GROOVE AND ONE FACE NAILED DIRECTLY TO THE RAFTER. TONGUES SHALL BE ORIENTED UP SLOPE.

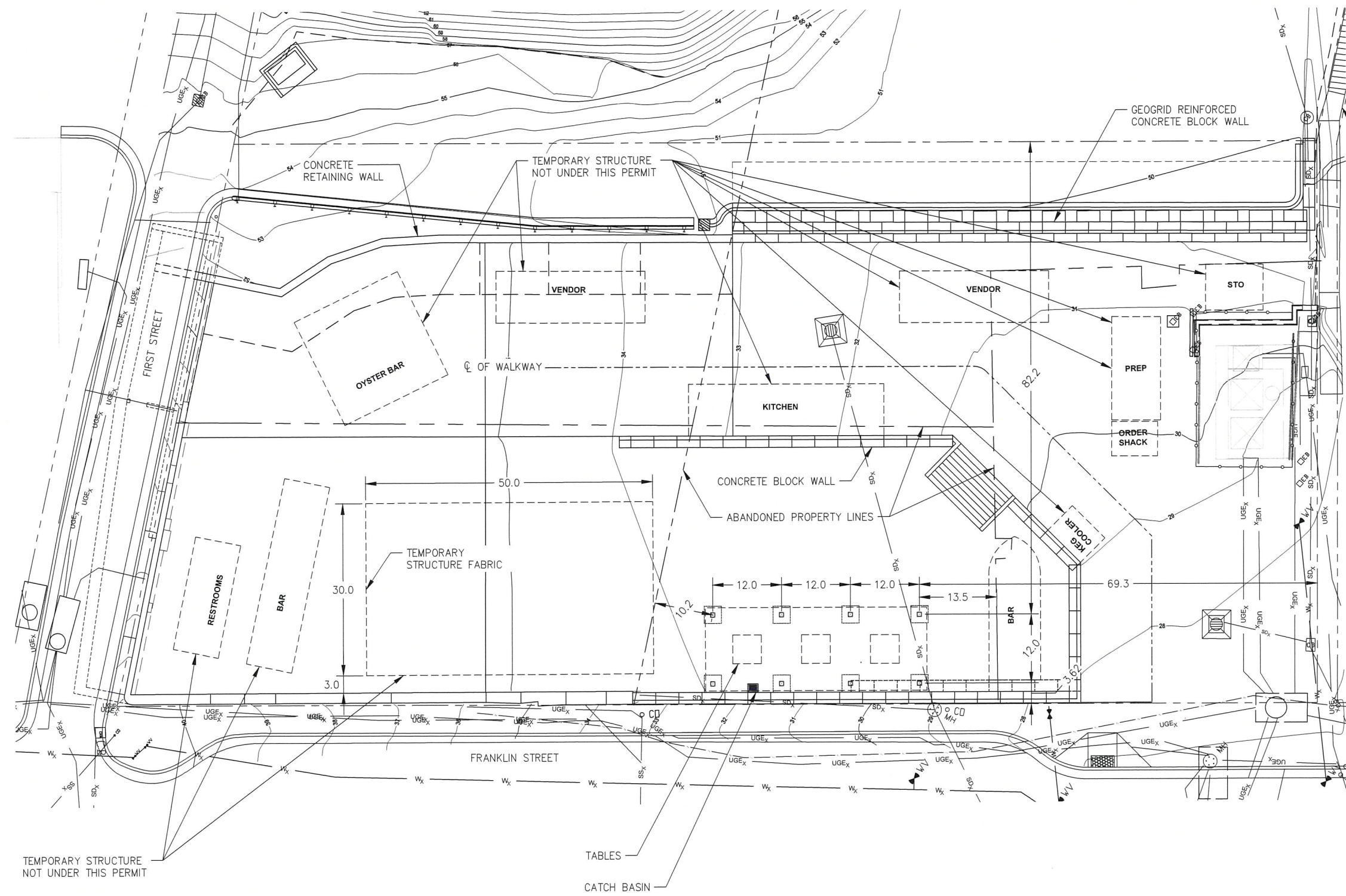
PLYWOOD

PLYWOOD SHALL COMPLY WITH AWA PS1, EXPOSURE 1 RATED SHEATHING. PANELS SHALL BE NAILED WITH SIMPSON N10 NAILS, 6 INCHES ON CENTER AT PANEL EDGES AND IN ROWS 2 FEET ON CENTER AT 6 INCHES ON CENTER.

ABBREVIATIONS

- ACI AMERICAN CONCRETE INSTITUTE
AITC AMERICAN INSTITUTE OF TIMBER CONSTRUCTION
APA AMERICAN PLYWOOD ASSOCIATION
ASCE AMERICAN SOCIETY OF CIVIL ENGINEERS
ASTM AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWPA AMERICAN WOOD PRESERVERS ASSOCIATION
IBC INTERNATIONAL BUILDING CODE
ICBO INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS
MAX MAXIMUM
MIN MINIMUM
NO NUMBER
OC ON CENTER
PS PRODUCT STANDARD
PSF POUNDS PER SQUARE FOOT
PSI POUNDS PER SQUARE INCH
STD STANDARD
TYP TYPICAL



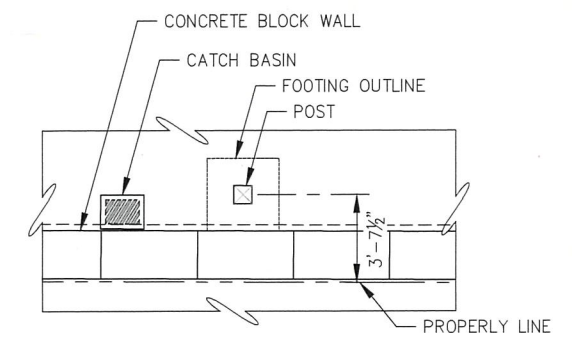


*Reviewed for Code Compliance*

**Inspections will not be performed without CBJ approved plans on site.**

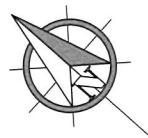
JS

3/11/2024



**A FOOTING TABLE SHELTER**

SCALE IN FEET  
0 4 8 FT.



REVISIONS					
REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.

**P | N | D**  
ENGINEERS, INC.

9360 Glacier Highway Ste 100  
Juneau, Alaska 99801  
Phone: 907-586-2093  
Fax: 907-586-2099  
www.pndengineers.com

DESIGN: CMG CHECKED: CMG  
DRAWN: KLL APPROVED: CMG

SCALE: SCALE IN FEET  
0 10 20 FT.

DATE: 2/12/2024

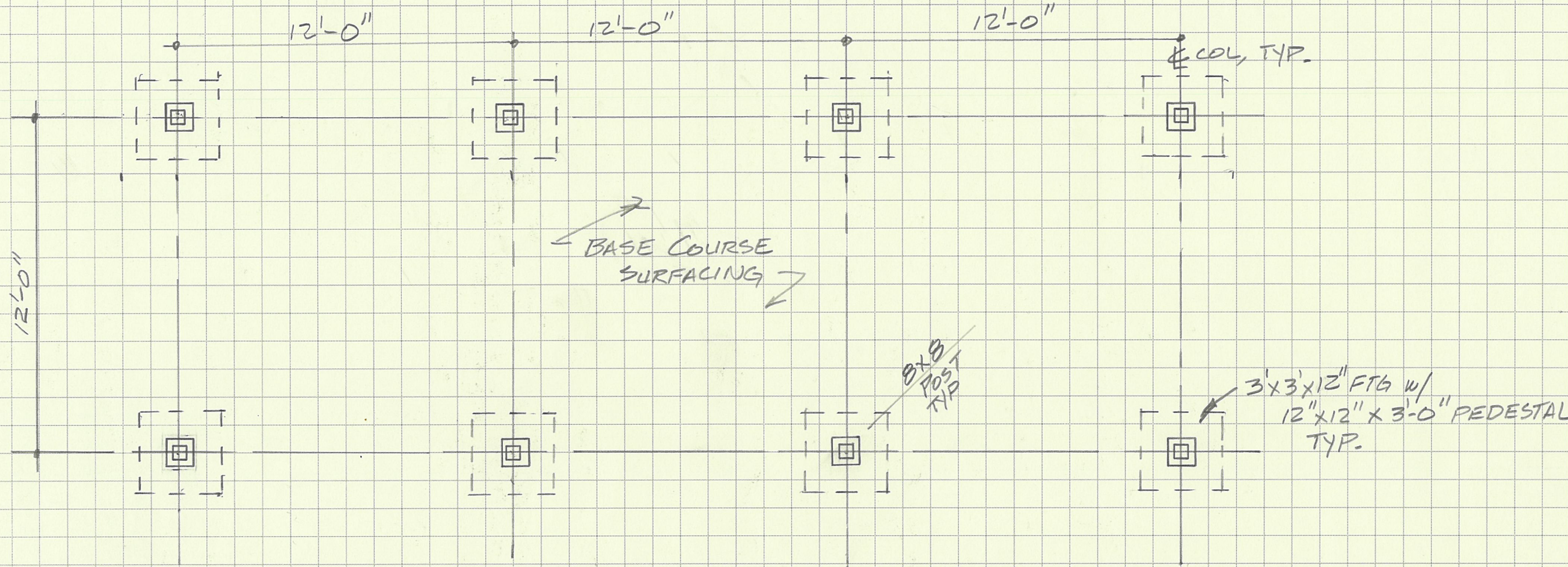


**JUNEAU, ALASKA**  
**TABLE SHELTER**

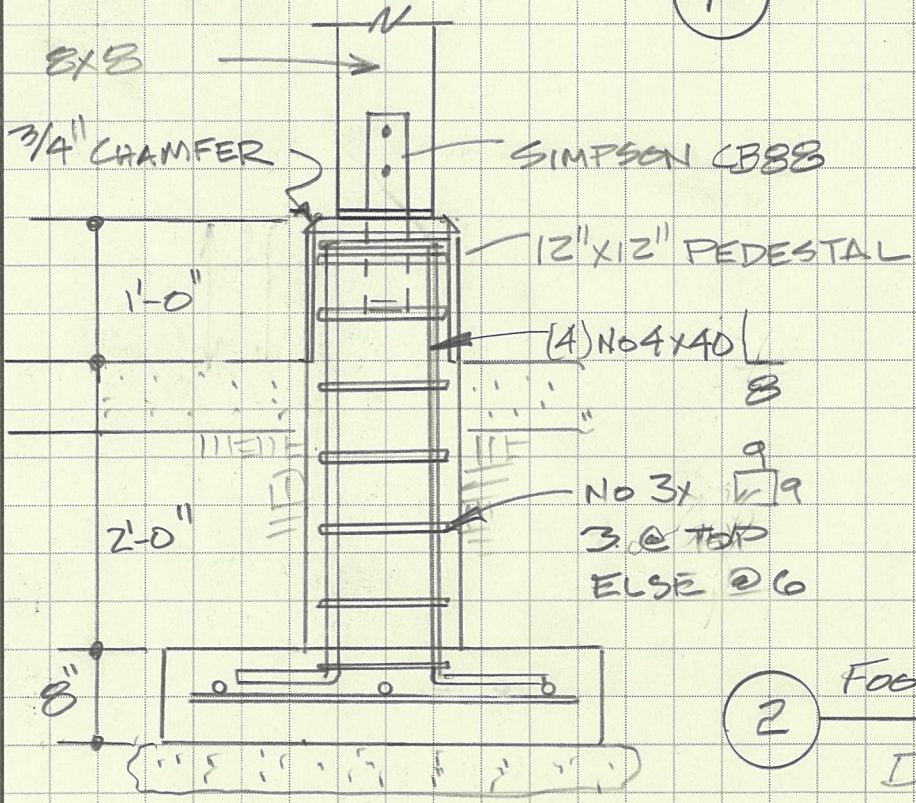
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**TABLE STRUCTURE**  
**SITE PLAN**

PND PROJECT NO.: 222070 C.A.N. NO.: AECC250

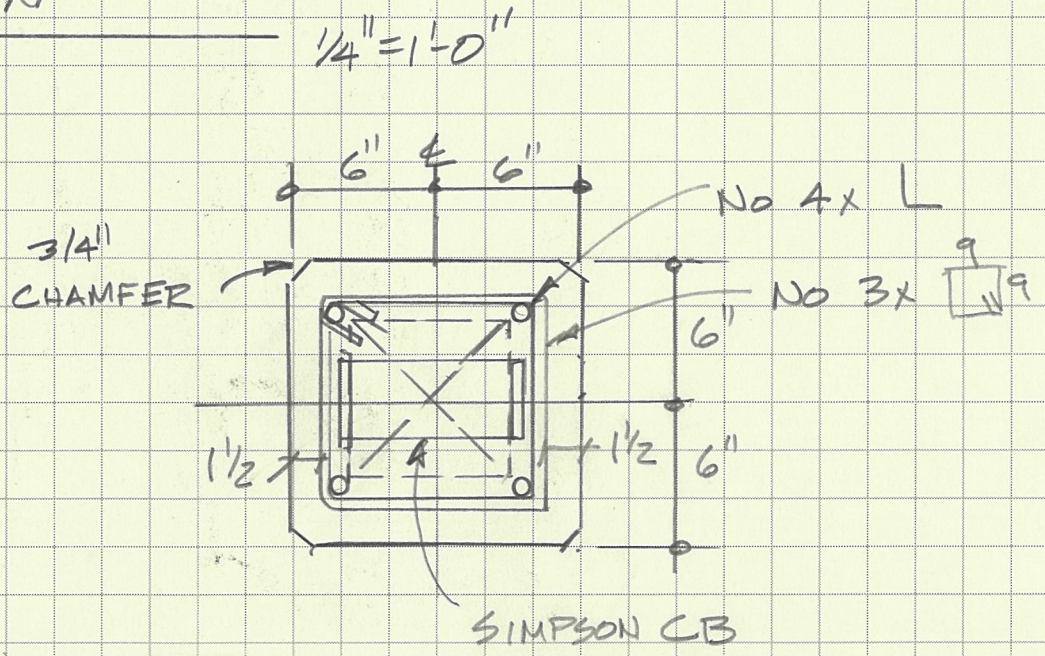




① FOUNDATION PLAN  $\frac{1}{4}'' = 1'-0''$



② FOOTINGS-PEDESTAL DETAIL  $\frac{3}{4}'' = 1'-0''$



③ PEDESTAL SECTION

JOB TABLE SHELTER

SHEET NO. 3 OF 3

CALCULATED BY CG DATE 2-12-2022

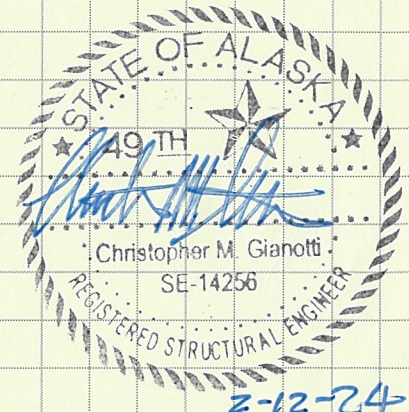
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SCALE AS NOTED

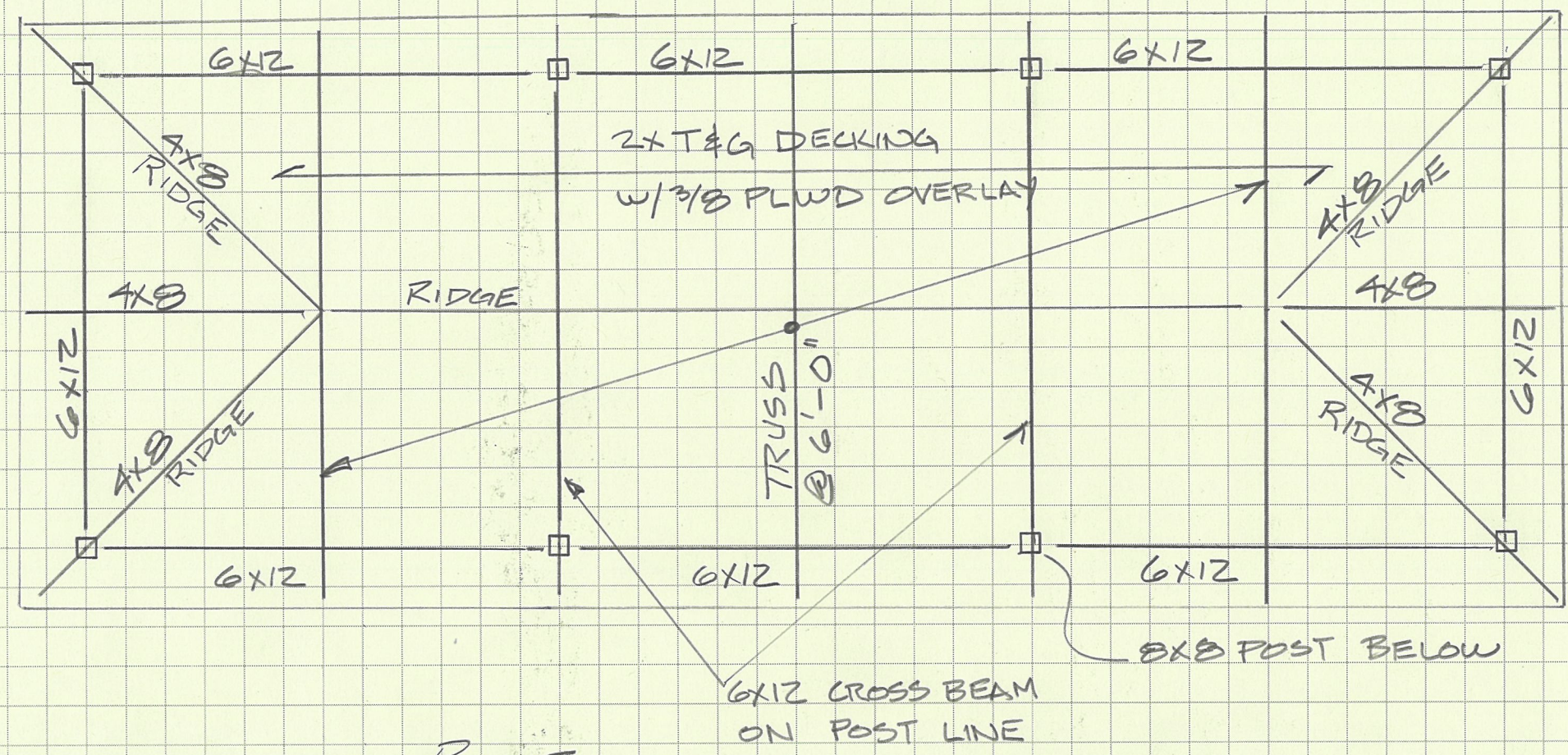
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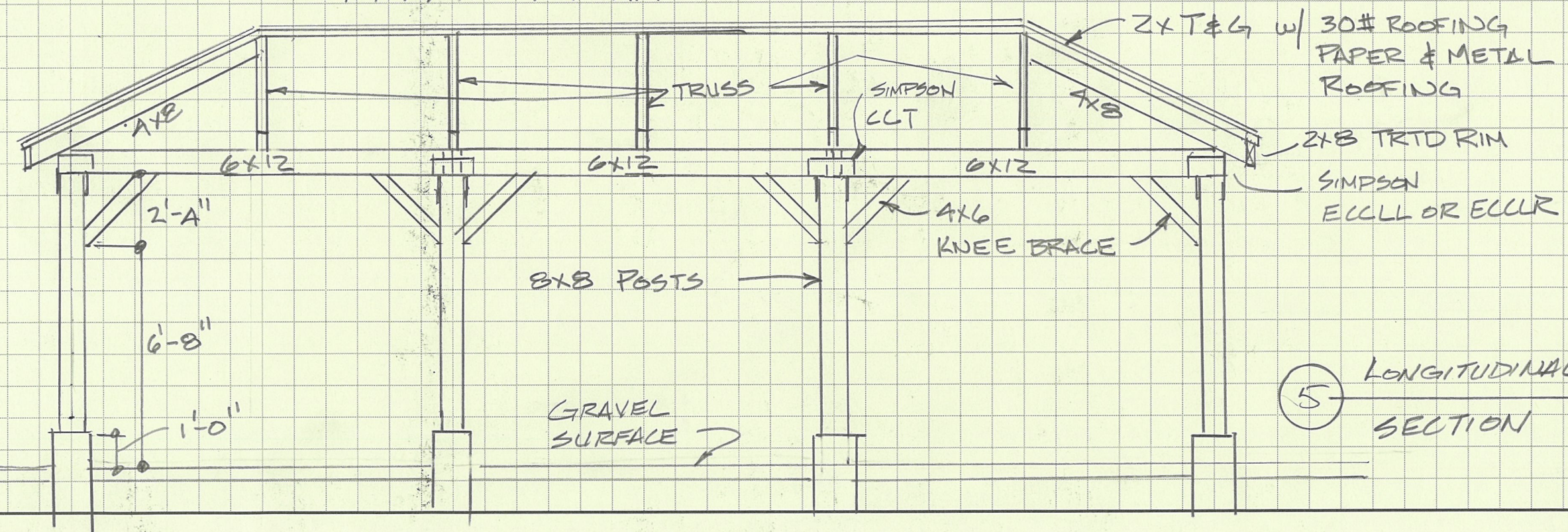
2-12-24



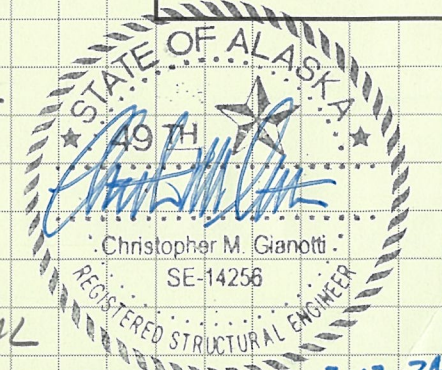
④ ROOF FRAMING PLAN  
 1/4" = 1'-0"

JOB: TABLE SHELTER  
 SHEET NO.: 4 OF 6  
 CALCULATED BY: CG DATE: 2-12-2024  
 CHECKED BY: DATE: \_\_\_\_\_  
 SCALE: AS NOTED

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⑤ LONGITUDINAL SECTION  
 1/4" = 1'-0"



JOB **TABLE SHELTER**

SHEET NO. **5** OF **5**

CALCULATED BY **CG** DATE **2-12-2008**

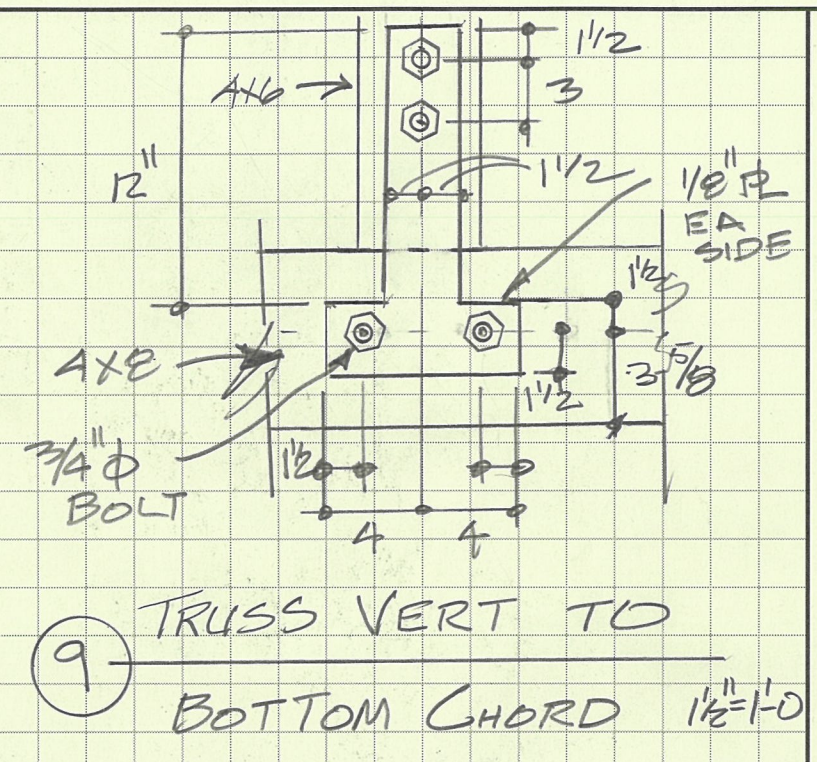
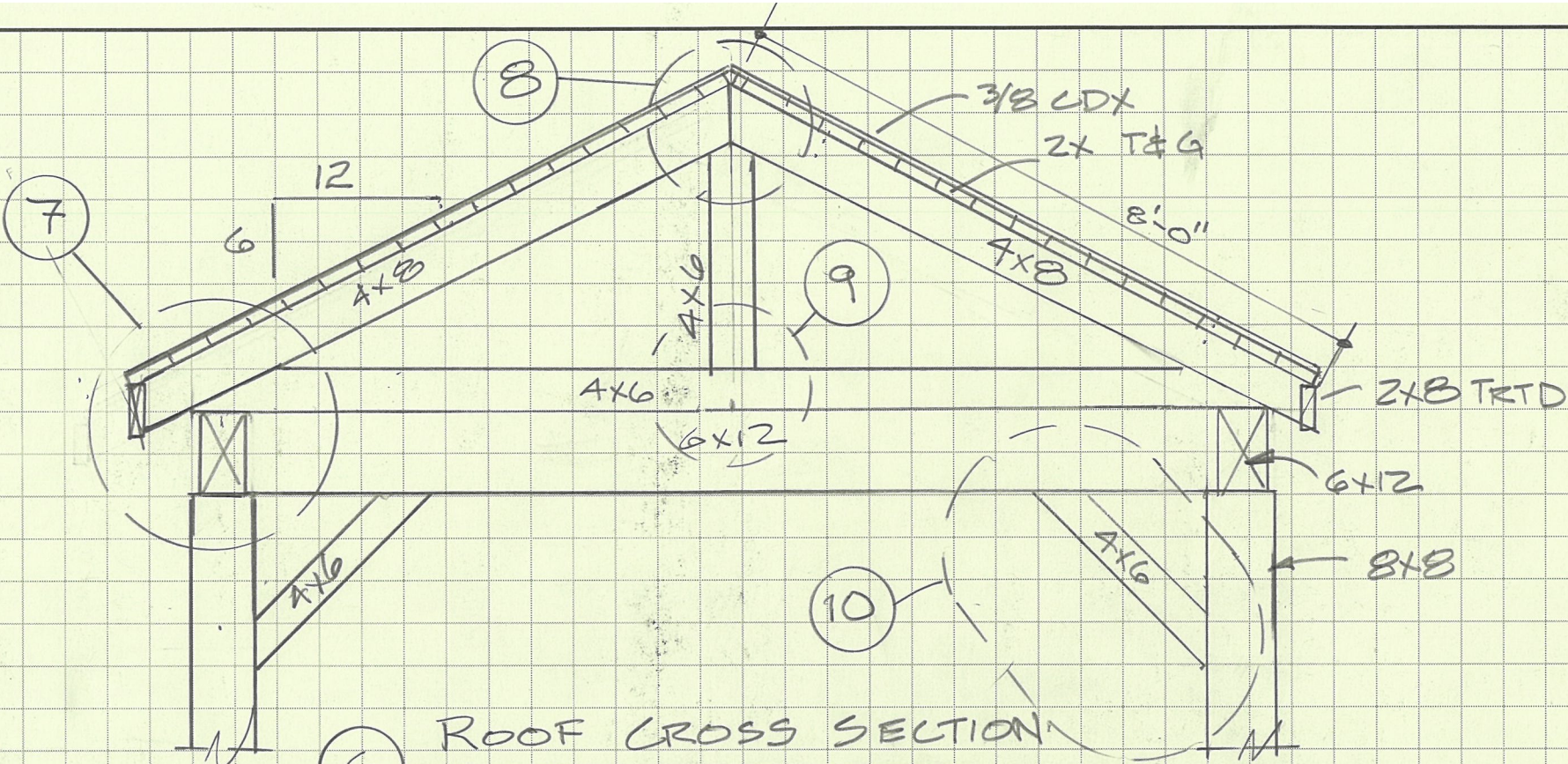
CHECKED BY **AS NOTED** DATE \_\_\_\_\_

SCALE **AS NOTED**

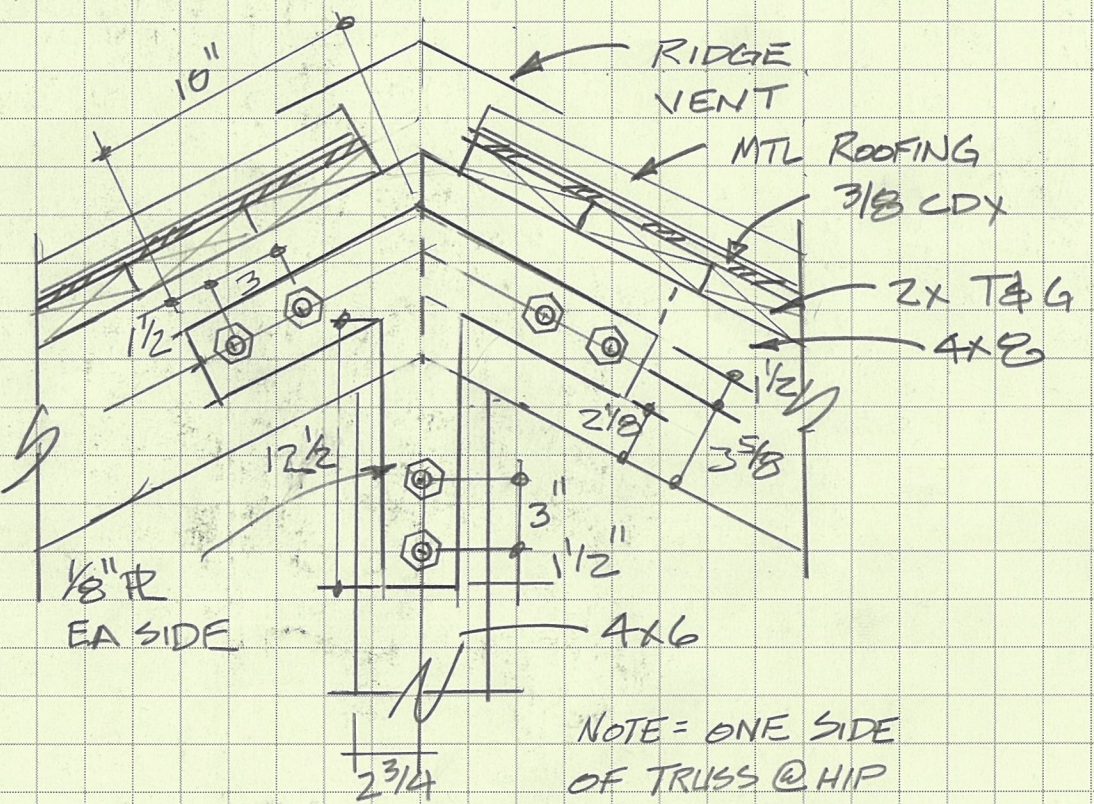
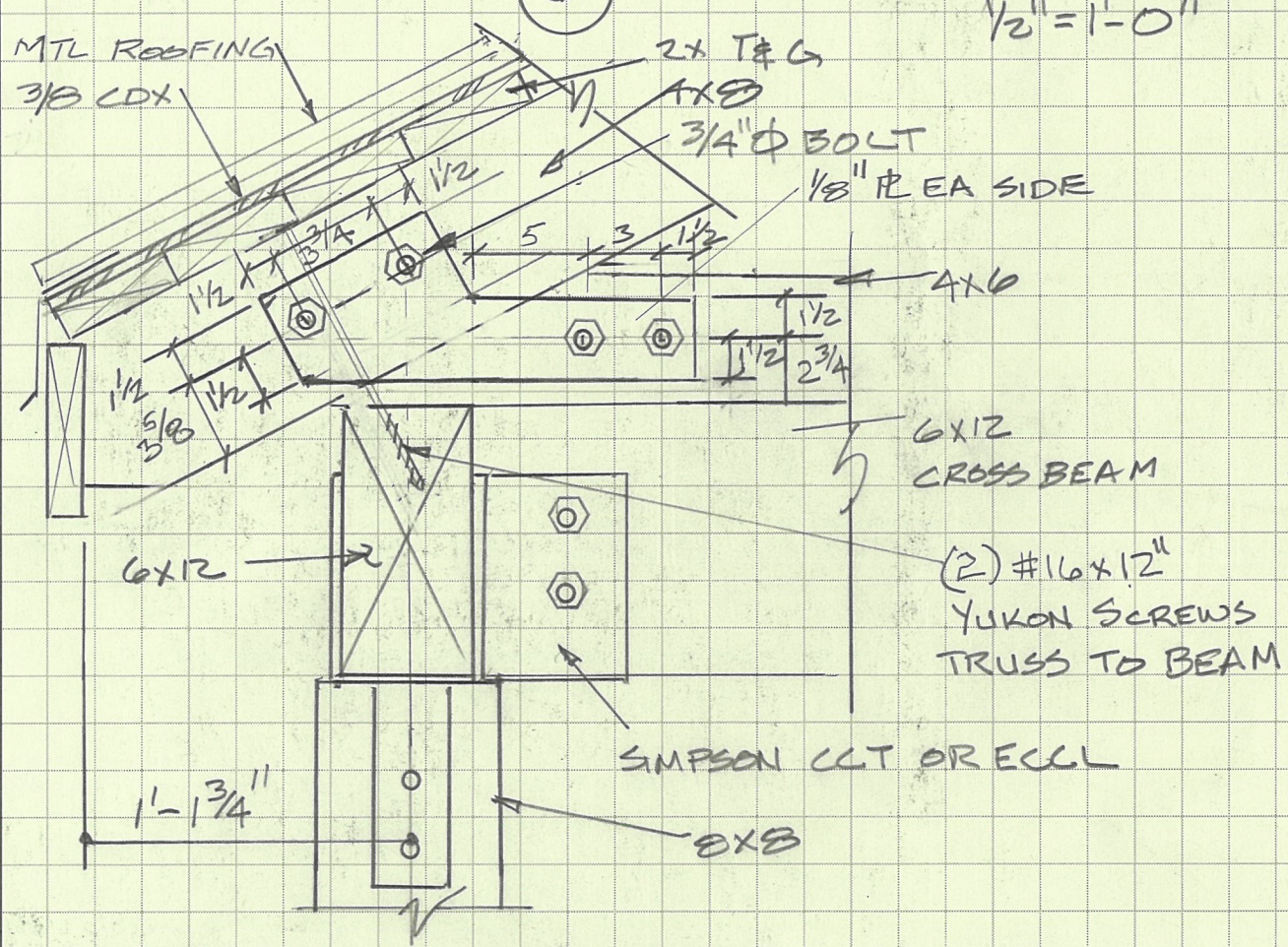
**PERATROVICH, NOTTINGHAM & DRAGE, INC.**  
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2-12-2A



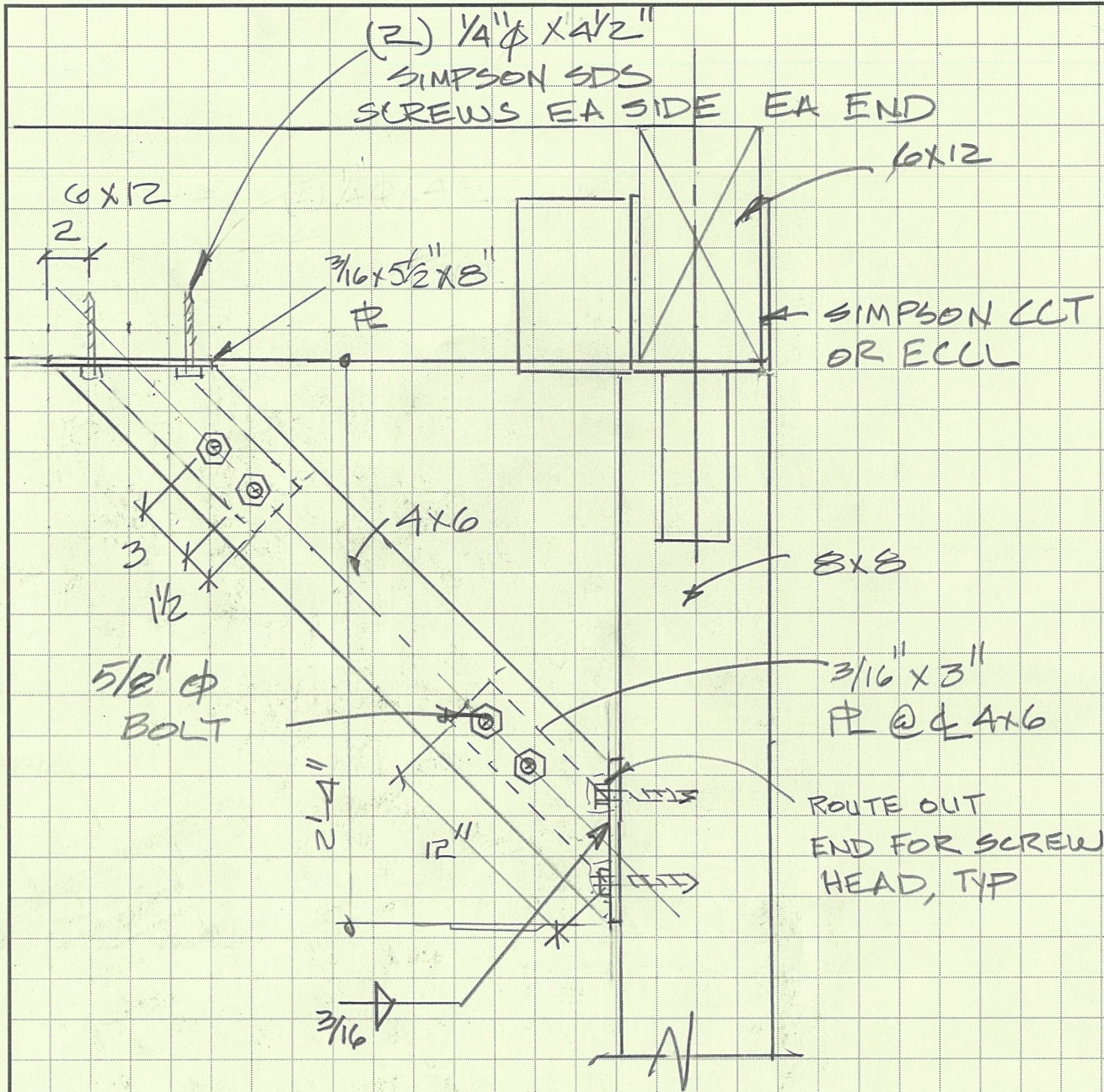
6 ROOF CROSS SECTION 1/2"=1'-0"



NOTE = ONE SIDE OF TRUSS @ HIP VARIES FROM THIS

7 TRUSS-EAVE DETAIL 1/2"=1'-0"

8 TRUSS RIDGE DETAIL 1/2"=1'-0"



10 KNEE BRACE  
DETAIL

JOB **TABLE SHELTER**

SHEET NO. **6** OF **6**

CALCULATED BY **CG** DATE **2-12-20**

CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_

SCALE **AS NOTED**

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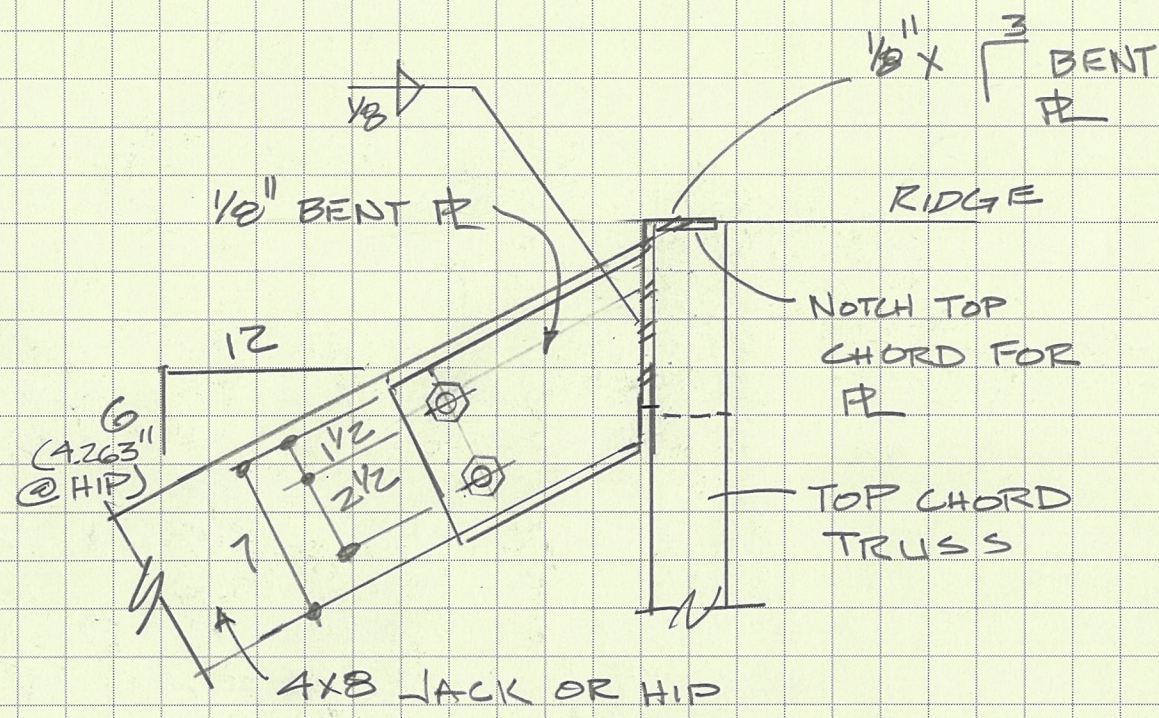
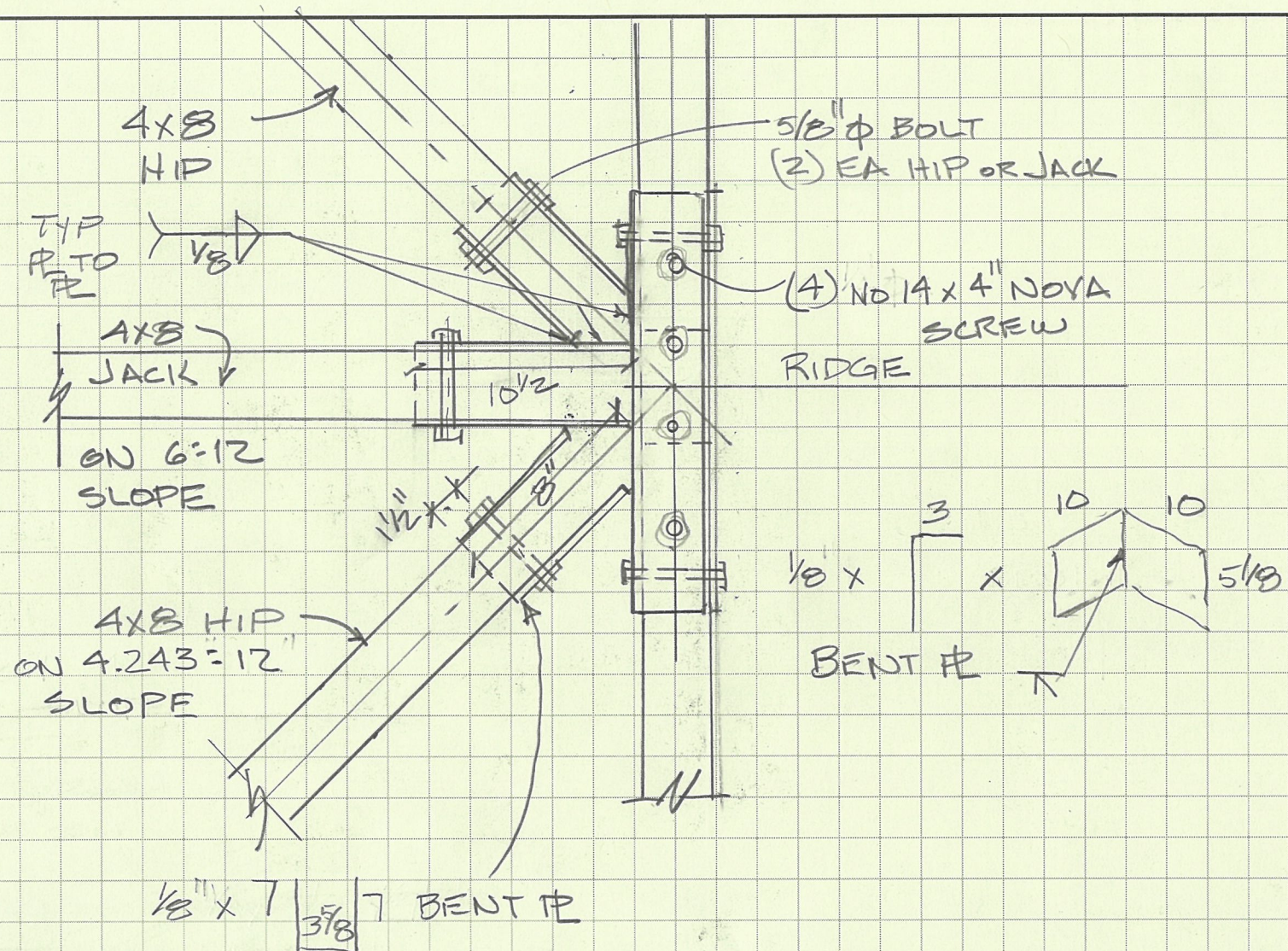
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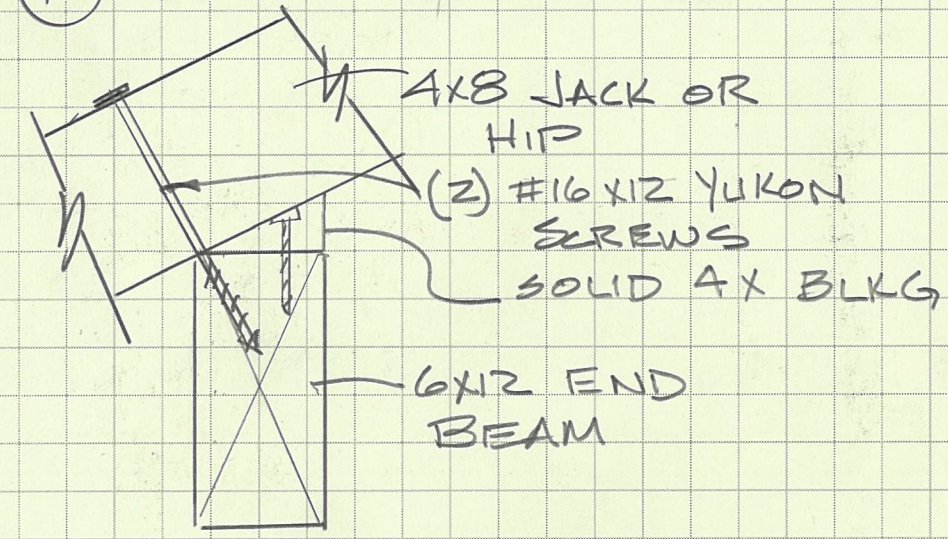
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2-12-24



11 HIP-JACK-RIDGE DETAIL



13 HIP OR JACK TO BEAM

JOB **TABLE SHELTER** OF **7** DATE **2-12-24**  
 SHEET NO. **7** OF **26** DATE **2-12-24**  
 CALCULATED BY **CG** DATE **2-12-24**  
 CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_  
 SCALE \_\_\_\_\_

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2-12-24