



**AGENDA
PLANNING & ZONING COMMISSION
JOSHUA CITY HALL - COUNCIL CHAMBERS
JULY 05, 2022
6:30 PM**

The Planning & Zoning Commission will hold a meeting on July 5, 2022, at 6:30 pm in the City Hall Council Chambers, 101 S. Main Street, Joshua, Texas.

Individuals may attend the Joshua Planning & Zoning Meeting in person, access the meeting via videoconference or telephone conference call.

Join Zoom Meeting:

https://us02web.zoom.us/j/82195499811?pwd=LoiBP_t0peh3yBj7MN9Yw2jpkR0atv.1

Meeting ID: 821 9549 9811 Passcode: 062491

A member of the public who would like to submit a question on any item listed on this agenda may do so via the following options:

Online: An online speaker card may be found on the City's website (cityofjoshuatx.us) on the Agenda/Minutes/Recordings page. Speaker cards received will be read during the meeting in the order received by the City Secretary.

By phone: Please call 817/558-7447 ext. 2003 no later than 5:00 pm on the meeting day and provide your name, address, and question. The City Secretary will read your question in the order they are received.

A. CALL TO ORDER AND ANNOUNCE A QUORUM PRESENT

B. CITIZENS FORUM

The Planning & Zoning Commission invites citizens to speak on any topic. However, unless the item is specifically noted on this agenda, the Planning & Zoning Commission is required under the Texas Open Meetings Act to limit its response to responding with a statement of specific factual information, reciting the City's existing policy, or directing the person making the inquiry to visit with City Staff about the issue. No Commission deliberation is permitted. Each person will have 3 minutes to speak.

C. REGULAR AGENDA

1. Discuss, consider, and possible action on the meeting minutes of June 6, 2022.
2. Public hearing on a request for a zoning change regarding approximately 2.2945 acre of land in the George Casseland Survey, Abstract No. 173, County of Johnson, Texas, located in the 1000 Block of South Broadway, to change from (JSOD) Joshua Station Overlay District to the (PD) Planned Development District to allow for a restaurant and retail development.

Staff Presentation

Owner's Presentation

Those in Favor

Those Against

Owner's Rebuttal

- [3.](#) Discuss, consider, and possible action on a request for a zoning change regarding approximately 2.2945 acre of land in the George Casseland Survey, Abstract No. 173, County of Johnson, Texas, located in the 1000 Block of South Broadway, to change from (JSOD) Joshua Station Overlay District to the (PD) Planned Development District to allow for a restaurant and retail development.
- [4.](#) Discuss, consider, and possible action on approving a final plat regarding 53.616 acre of land known as Lots 15-28, C, Block 1; Lots 15-53, B, C, Block 3; Lots 1-18, Block 4; Lots 1-24, Block 5; Lots 1-24, Block 6; Lots 1-24, Block 7, Mockingbird Hills Addition, Phase 2, in the W.W Byers Survey, Abstract No. 29, City of Joshua, Johnson County, Texas located at 804 W. FM 917 to allow for the construction of a residential subdivision.
- [5.](#) Discuss, consider, and possible action on approving a final plat regarding 2.2945 acre of land, Lots 7 & 8, Block 1, in the George Casseland Survey, Abstract No. 173, County of Johnson, Texas. This property is located in the 1000 Block of South Broadway to allow for a restaurant and retail development.

D. ADJOURN

In compliance with the Americans with Disabilities Act, the City of Joshua will provide reasonable accommodations for disabled persons attending this meeting. Requests should be received at least 24 hours prior to the scheduled meeting by contacting the City Secretary's office at 817/558-7447.

CERTIFICATE:

I hereby certify that the above agenda was posted on the 30th day of June 2022, by 5:00 p.m. on the official bulletin board at the Joshua City Hall, 101 S. Main, Joshua, Texas.

Alice Holloway, City Secretary



MINUTES
PLANNING & ZONING COMMISSION
JOSHUA CITY HALL - COUNCIL CHAMBERS
JUNE 06, 2022
6:30 PM

MEMBERS PRESENT

Chair Brent Gibson
 Seat 1 John Mauldin
 Seat 3 Jerry Moore
 Seat 4 Richard Connally
 Seat 6 Bryan Sears

STAFF PRESENT:

Aaron Maldonado, Development Services Dir.
 Alice Holloway, City Secretary

MEMBERS ABSENT

Seat 2 Brandon Gage
 Seat 7 Billy Jenkins

The Planning & Zoning Commission will hold a meeting on June 6, 2022, at 6:30 pm in the City Hall Council Chambers, 101 S. Main Street, Joshua, Texas.

Individuals may attend the Joshua Planning & Zoning Meeting in person, access the meeting via videoconference or telephone conference call.

Join Zoom Meeting:

A member of the public who would like to submit a question on any item listed on this agenda may do so via the following options:

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By phone: Please call 817/558-7447 ext. 2003 no later than 5:00 pm on the meeting day and provide your name, address, and question. The City Secretary will read your question in the order they are received.

A. CALL TO ORDER AND ANNOUNCE A QUORUM PRESENT

Commissioner Gibson announced a quorum and called the meeting to order at 6:30 pm.

B. CITIZENS FORUM

The Planning & Zoning Commission invites citizens to speak on any topic. However, unless the item is specifically noted on this agenda, the Planning & Zoning Commission is required under the Texas Open Meetings Act to limit its response to responding with a statement of specific factual information, reciting the City's existing policy, or directing the person making the inquiry to visit with City Staff about the issue. No Commission deliberation is permitted. Each person will have 3 minutes to speak.

NA

C. REGULAR AGENDA

1. Discuss, consider, and possible action on meeting minutes of April 4, 2022, and May 10, 2022.

Motion made by Seat 3 Moore to approve the meeting minutes of April 4, 2022, and May 10, 2022.

Seconded by Seat 6 Sears.

Voting Yea: Chair Gibson, Seat 1 Mauldin, Seat 3 Moore, Seat 4 Connally, Seat 6 Sears

2. Public hearing on a request for a conditional use permit regarding approximately .22 acre of land in the Bentley Plaza Survey, Unit C-R, County of Johnson, Texas, located at 103 Conveyor Dr. to allow for the use of a Tattoo removal and application business.

Staff Presentation

Owner's Presentation

Those in Favor

Those Against

Owner's Rebuttal

Commissioner Gibson opened the public hearing at 6:31 pm.

Staff Presentation- Aaron Maldonado, Development Services Director stated the following:

The property is platted. This property is zoned (C-1) Restricted Commercial District. The conditional use permit is to allow for the use of a Tattoo removal and application business. The purpose of the Conditional Use Permit is to allow for review of uses which would not be appropriate generally without certain restrictions throughout a zoning district, but which if controlled as to number, area, location or relation to the neighborhood would promote the health, safety and welfare of the community. Such uses include colleges and universities, institutions, community facilities, zoos, cemeteries, country clubs, show grounds, drive-in theaters and other land uses as specifically provided for in this ordinance. To provide for the proper handling and location of such conditional uses, provision is made for amending this ordinance to grant a permit for a conditional use in a specific location.

This procedure for approval of a Conditional Use permit includes public hearings before the Planning and Zoning Commission and the City Council. The amending ordinance may provide for certain restrictions and standards for operation. The indication that it is possible to grant a Conditional Use Permit as noted elsewhere in this ordinance does not constitute a grant of privilege for such use, nor is there any obligation to approve a Conditional Use Permit unless it is the finding of the Planning and Zoning Commission and City Council that such a conditional use is compatible with adjacent property use and consistent with the character of the neighborhood.

Owner Presentation- Shawn Green, Owner, stated the following:

Mr. Green said he has been performing tattoos for 33 years. In addition, he grew up in Joshua. Mr. Green gave a brief description of Texas requirements.

Those in Favor/Against- Shelly Anderson, Council Member, asked if anything in the business will generate sales tax. Mr. Green stated not in the beginning but will in the future.

After no more comments, Commissioner Gibson closed the public hearing at 6:40 pm.

3. Discuss, consider, and possible action on approving a conditional use permit regarding approximately . acre of land in the Bentley Plaza Survey, Unit C-R, County of Johnson, Texas, located at 103 Conveyor Dr. to allow for the use of a Tattoo removal and application business.

Motion made by Seat 3 Moore to approve a conditional use permit, Seconded by Seat 4 Connally.

Voting Yea: Chair Gibson, Seat 1 Mauldin, Seat 3 Moore, Seat 4 Connally, Seat 6 Sears

4. Discuss, consider, and possible action on approving a replat regarding a .506 acre of land known as Lots 3R-1A and 3R-1B, East Hills Addition Phase 1, in the J.H. Cooper Survey, Abstract No. 145, County of Johnson, Texas located at 222 Joshua Blvd. for the subdivision of property to construct duplexes.

Motion made by Seat 4 Connally to approve the replat, Seconded by Seat 6 Sears.

Voting Yea: Chair Gibson, Seat 1 Mauldin, Seat 3 Moore, Seat 4 Connally, Seat 6 Sears

D. ADJOURN

Commissioner Gibson adjourned the meeting at 6:49 pm.

APPROVED: July 5, 2022

Brent Gibson, Chair

Attest:

Alice Holloway, City Secretary



**Planning & Zoning Agenda
July 5, 2022**

Minutes Resolution

Action Item

Agenda Description:

Public hearing on a request for a zoning change regarding approximately 2.2945 acre of land in the George Casseland Survey, Abstract No. 173, County of Johnson, Texas, located in the 1000 Block of South Broadway, to change from (JSOD) Joshua Station Overlay District to the (PD) Planned Development District to allow for a restaurant and retail development.

- A. Staff Presentation
- B. Owner's Presentation
- C. Those in Favor
- D. Those Against
- E. Owner's Rebuttal

Background Information:

HISTORY: A preliminary plat of Joshua Station Addition was approved in 2008. The subject property is referred to as Lot 7 & 8, as per the preliminary plat and will be platted as such. This property is located within the Joshua Station Overlay District and as properties develop, they need to have a Planned Development designation and Detailed Site Plan approved prior to construction.

ZONING: This property is zoned (JSOD) Joshua Station Overlay District.

ANALYSIS: The proposed development of this property is to allow for a restaurant and retail development. The proposed building will be 9,834 square feet.

ENGINEERING RELATED ISSUES: The requirements of a detailed site plan include specific information related to engineering and other transportation issues. Because this property requires to be final platted, the City has agreed that these matters be part of the final platting review process.

Financial Information:

Only cost associated with the zoning change request is the publication expense and mailing of public hearing notices to property owners within 200 ft. as required by law. Public written notices sent out not less than 10 days before the P&Z public hearing and at least 15 days before the City Council public hearing.

City Contact and Recommendations:

The proposed request complies with the minimum requirements of a Detailed Site Plan. Staff recommends approval.

Attachments:

- 1) Rezone Application
- 2) Legal Description
- 3) Vicinity Map
- 4) Building Elevations
- 5) Landscape Plan
- 6) Photometric Plan
- 7) Development Standards
- 8) Detailed Site Plan
- 9) JCSUD Hydraulic Analysis
- 10) Public Notice

City of Joshua Development Services Universal Application

Item 2.

Please check the appropriate box below to indicate the type of application you are requesting and provide all information required to process your request.

- | | | |
|--|---|---|
| <input type="checkbox"/> Pre-Application Meeting | <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Zoning Change |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Zoning Variance (ZBA) | <input type="checkbox"/> Subdivision Variance |
| <input type="checkbox"/> Preliminary Plat | <input type="checkbox"/> Final Plat | <input type="checkbox"/> Amending Plat |
| <input type="checkbox"/> Replat | <input type="checkbox"/> Planned Development Concept Plan | <input checked="" type="checkbox"/> Planned Development Detailed Plan |
| <input type="checkbox"/> Minor Plat | <input type="checkbox"/> Other _____ | |

PROJECT INFORMATION

Project Name: Joshua Station Retail

Project Address (Location): South of 1036 S Broadway St Ste 102, Joshua, TX 76058

Existing Zoning: C-2 General Retail Proposed Zoning: C-2 General Retail

Existing Use: Vacant Proposed Use: Retail and Restaurant

Existing Comprehensive Plan Designation: Commercial/Office/Service Gross Acres: 1.425 Acres

Application Requirements: The applicant is required to submit sufficient information that describes and justifies the proposal. See appropriate checklist located within the applicable ordinance and fee schedule for minimum requirements. Incomplete applications will not be processed.

APPLICANT INFORMATION

Applicant: Aaron Hawkins Company: Jones|Carter

Address: 4500 Mercantile Plaza Suite 210 Tel: 682-268-2207 Fax: _____

City: Fort Worth State: TX ZIP: 76137 Email: ahawkins@jonescarter.com

Property Owner: Brian Lent Company: Highline Real Estate Group

Address: 100 Crescent Court Tel: 214-646-1466 Fax: _____

City: Dallas State: TX ZIP: 75201 Email: blent@highline-re.com

Key Contact: Aaron Hawkins Company: Jones|Carter

Address: 4500 Mercantile Plaza Suite 210 Tel: 682-268-2207 Fax: _____

City: Fort Worth State: TX ZIP: 76137 Email: ahawkins@jonescarter.com

SIGNATURE OF PROPERTY OWNER OR APPLICANT (SIGN AND PRINT OR TYPE NAME)

SIGNATURE: [Signature]

(Letter of authorization required if signature is other than property owner)

Print or Type Name: Brian Lent

Known to me to be the person whose name is subscribed to the above and foregoing instrument, and acknowledged to me that they executed the same for the purposes and consideration expressed and in the capacity therein stated.

Given under my hand and seal of office on this 26 day of January 2022

Notary Public

Signature

[Signature]



SUZANNAH JOHNSON
Notary ID #12383609
My Commission Expires
October 14, 2025

Date: 1/26/2022

For Departmental Use Only

Case No.: PD2022-01

Project Manager: Jones Carter

500 deposit

Free

Total Fee(s): 3000 total

Check No.: C.C.

Date Submitted: 2/2/22

Accepted By: [Signature]

Date of Complete Application: 2/2/22

STATE OF TEXAS §

COUNTY OF JOHNSON §

A **METES & BOUNDS** description of a certain 2.2945 acre tract of land situated in the George Casseland Survey, Abstract 173 in Johnson County, Texas, being all of a called 2.2927 acre tract conveyed to Joshua Retail Partners, LTD by Special Warranty Deed recorded in Clerk's File No. 2021-23057 of the Johnson County Official Public Records (JCOPR); said 2.2945 acre tract being more particularly described as follows with all bearings being based on the Texas Coordinate System, North Central Zone, NAD 83;

COMMENCING at a found cut "X" in concrete being the northwest corner of a called 1.2348 acre tract conveyed to Joshua Grove Retail, LP by Special Warranty Deed recorded in Clerk's File No. 2020-40953 of the JCOPR, also being Lot 6, Block 1 of Joshua Station Addition (unrecorded), and being the northeast corner of a called 9.750 acre tract conveyed to Cypress Creek Joshua Station, LP by Special Warranty Deed recorded in Clerk's File No. 2015-14145 of the JCOPR, also being Lot 10, Block 1 of Cypress Creek at Joshua Station recorded in Volume 10, Page 879 of the Johnson County Plat Records (JCPR);

THENCE, South 01°45'33" East, 179.33 feet along the west line of said Lot 6, east line of said Lot 10 to a found 5/8-inch iron rod (with cap stamped "RPLS 1890") being the southwest corner of said Lot 6 and being the northwest corner of said 2.2927 acre tract and being the **POINT OF BEGINNING** of the herein described tract;

THENCE, North 88°14'30" East, 300.26 feet along the south line of said Lot 6, north line of said 2.2927 acre tract to a set cut "X" in concrete being the southeast corner of said Lot 6, northeast corner of said 2.2927 acre tract and being in the west right of way line of South Broadway Street (a variable width right of way), from which a found 5/8-inch iron rod (with cap stamped "Pate Surveyors") being the northeast corner of said Lot 6, bears North 01°45'19" West, 179.19 feet;

THENCE, South 01°45'19" East, 332.84 feet along the east line of said 2.2927 acre tract, west line of said South Broadway Street to a set cut "X" in concrete being the southeast corner of said 2.2927 acre tract, northeast corner of a called 1.1529 acre tract conveyed to CFT NV Developments, LLC by Special Warranty Deed recorded in Clerk's File No. 2021-16764 of the JCOPR, also being Lot 9, Block 1 of Joshua Station Addition recorded in Document No. 2021-77 of the JCPR, from which a found 1/2-inch iron rod being the southeast corner of said Lot 9, bears South 01°45'19" East, 232.34 feet;

THENCE, South 88°13'27" West, 300.24 feet along the south line of said 2.2927 acre tract, north line of said Lot 9 to a set 5/8-inch iron rod (with cap stamped "Jones|Carter Property Corner") being the northwest corner of said Lot 9, southwest corner of said 2.2927 acre tract and being in the east line of said Lot 10, from which a found 1/2-inch iron rod (with cap stamped "Ft. Worth Surveyors") being the southwest corner of said Lot 9, southeast corner of said Lot 10, bears South 01°45'33" East, 225.98 feet.

THENCE, North 01°45'33" West, 332.93 feet along the west line of said 2.2927 acre tract, east line of said Lot 10 to the **POINT OF BEGINNING, CONTAINING** 2.2945 acres of land in Johnson County, Texas, as shown on Drawing No. 16902 in the office of Jones|Carter in Plano, Texas.

Joshua Retail Partners, LTD
2.2945 Acres

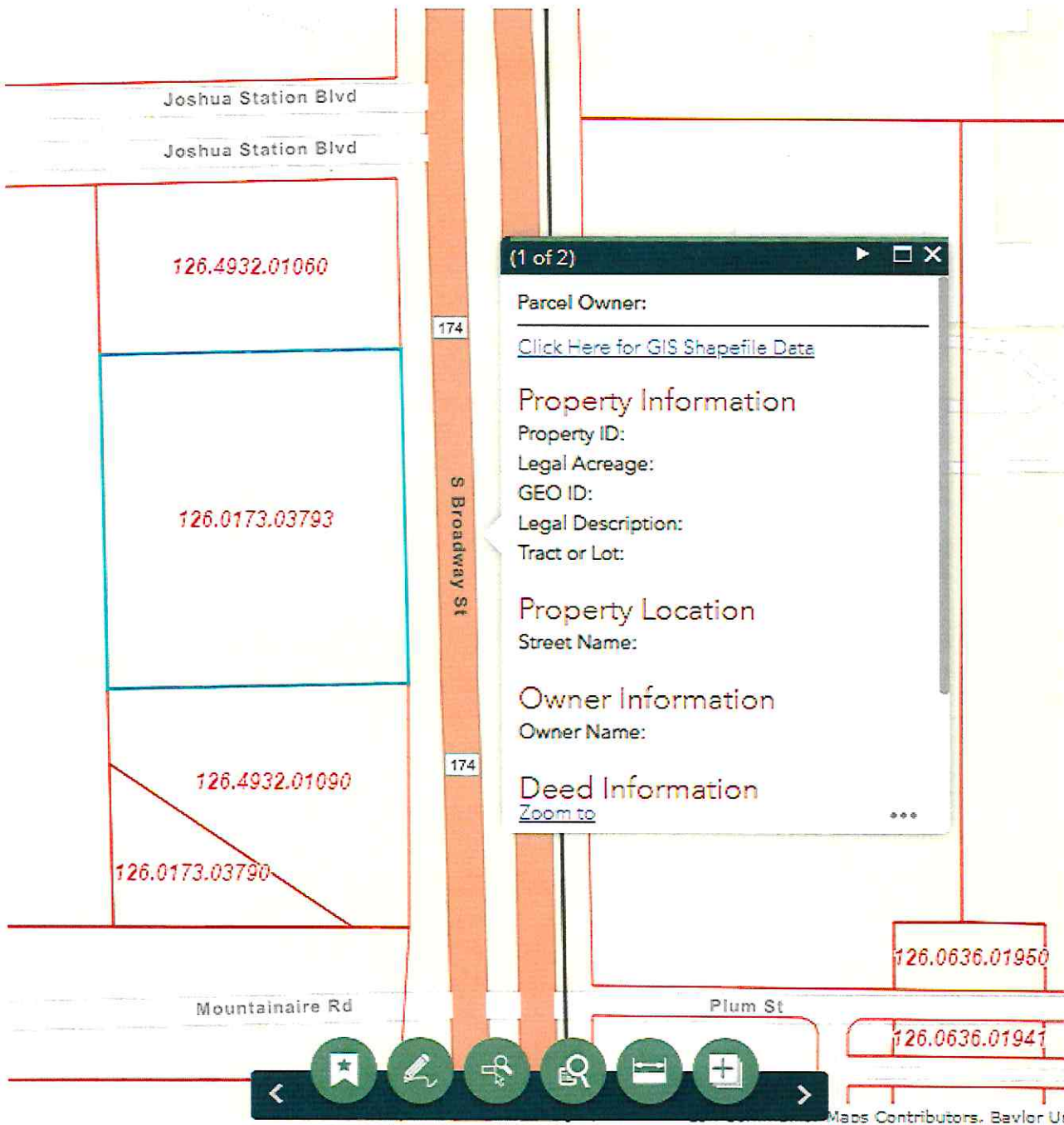
George Casseland Survey
Abstract No. 173

Item 2.

Jones|Carter
2805 Dallas Parkway, Suite 600
Plano, Texas 75093
(972) 488-3880
Texas Board of Professional Engineers & Land Surveyors
Registration No. 100461-03

Acting By/Through Eduardo Martinez
Registered Professional Land Surveyor
No. 5274
Emartinez@jonescarter.com







VLK|ARCHITECTS

ARCHITECT

VLK Architects, Inc.
2700 Via Fortuna, Suite 230
Austin, Texas 78746
Main Phone: 512.807.3145
www.vlkarchitects.com

SCHEMATIC DESIGN

NOT FOR REGULATORY
APPROVAL, PERMITTING
OR CONSTRUCTION.

PRINCIPAL IN CHARGE
TEXAS LICENSE #14917

Colleen L. Latham

ISSUED: 01/31/2022

REVISIONS

Revision No.	Revision Date
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Director	Drawn By
Approver	Author
Designer	Quality Control
Designer	
Proj. Arch.	
Checker	

PROJECT NO.

22-XXX.00

SHEET TITLE

Conceptual Elevations

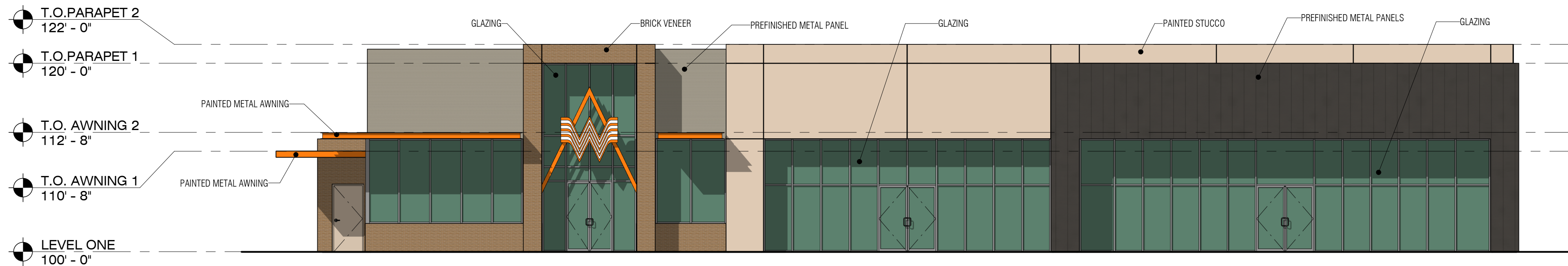
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SD100

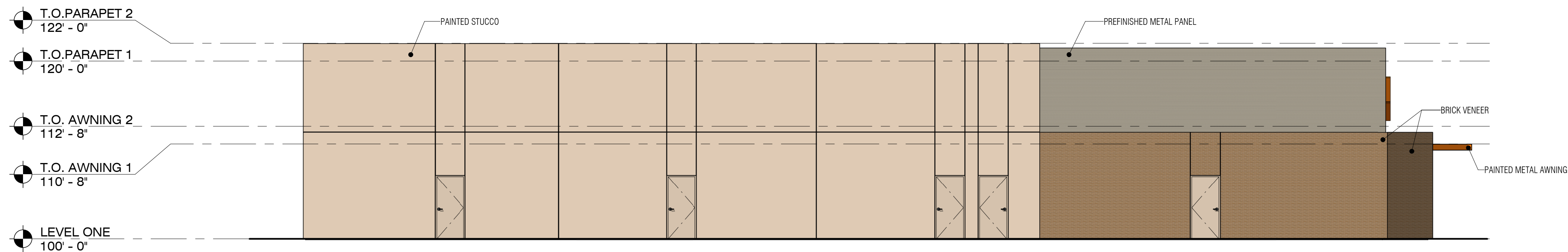
COPYRIGHT © 2022 VLK ARCHITECTS

ENDEAVOR REAL ESTATE GROUP
XXXX S BROADWAY ST., JOSHUA,
TX 76058

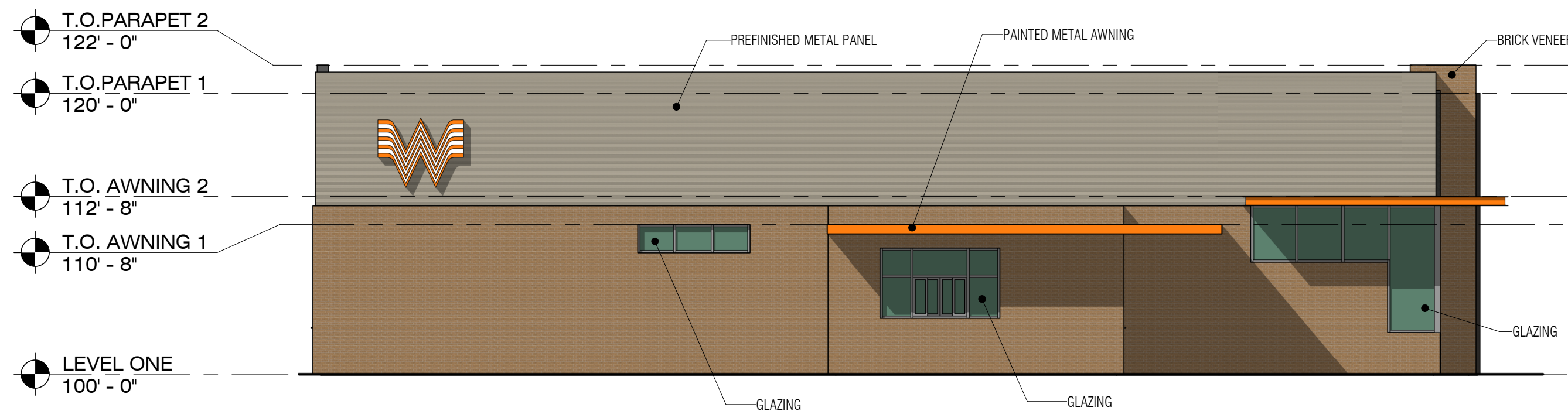
Joshua Station Retail Building



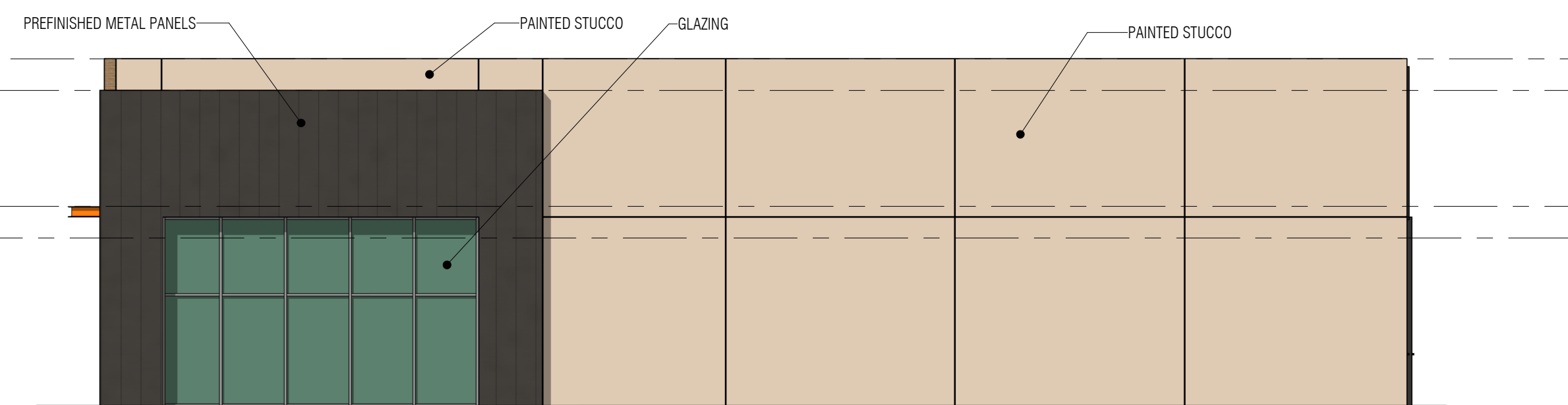
1 EAST BUILDING ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST BUILDING ELEVATION
SCALE: 1/8" = 1'-0"

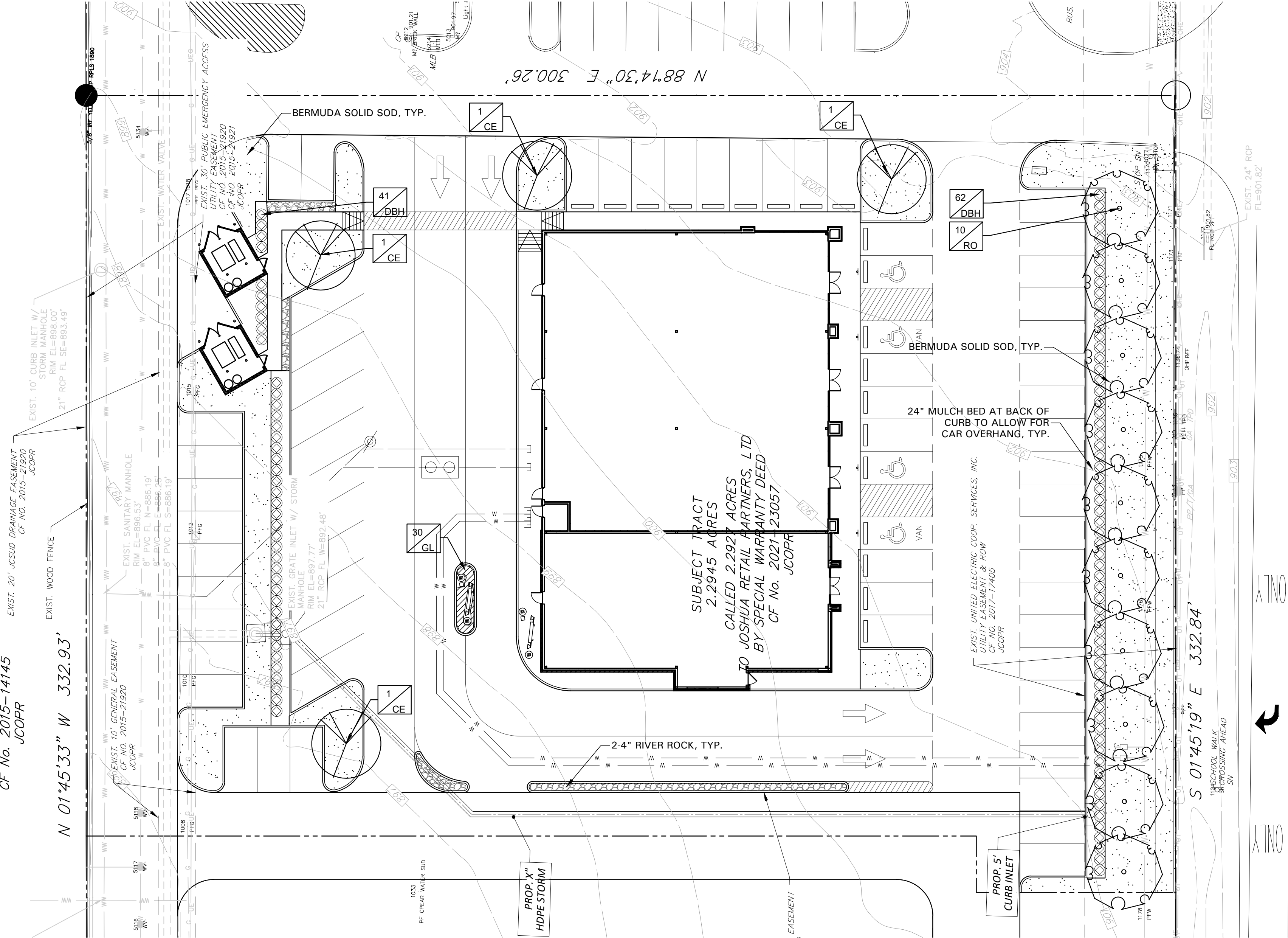


3 SOUTH BUILDING ELEVATION
SCALE: 1/8" = 1'-0"



4 NORTH BUILDING ELEVATION
SCALE: 1/8" = 1'-0"

BY SPECIAL WARRANTY DEED
CF No. 2015-14145
JCOPR



GENERAL LAWN NOTES

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER
- LAWN AREAS SHALL BE LEFT 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
- CONTRACTOR TO FIND GRADE AREAS TO ACHIEVE FINAL CONTOURS AS SHOWN ON CIVIL DRAWINGS. POSITIVE DRAINAGE SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. ROUNDING AT TOP AND BOTTOM OF SLOPES SHALL BE PROVIDED AND IN OTHER BREAKS IN GRADE. CORRECT AREAS WHERE STANDING WATER MAY OCCUR.
- ALL LAWN AREAS SHALL BE FINE GRADED. IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" IN DIAMETER AND LARGER. REMOVE ALL DIRT CLODS, STICKS, CONCRETE SPOILS, TRASH ETC PRIOR TO PLACING TOPSOIL AND GRASS INSTALLATION.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT IF NECESSARY.

SOLID SOD:

- SOLID SOD SHALL BE PLACED ALONG ALL IMPERVIOUS EDGES, AT A MINIMUM. THIS SHALL INCLUDE CURBS, WALKS, INLETS, MANHOLES AND PLANTING BED AREAS. SOD SHALL COVER OTHER AREAS COMPLETELY AS INDICATED BY PLAN.
- SOD SHALL BE STRONGLY ROOTED DROUGHT RESISTANT SOD. NOT LESS THAN 2 YEARS OLD. FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS AND MACHINE CUT TO PAD THICKNESS OF 3/4" (+1/4"). EXCLUDING TOP GROWTH AND THATCH.
- LAY SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURING EDGES ARE TOUCHING WITH TIGHTLY FITTING JOINTS. NO OVERLAPS WITH STAGGERED STRIPS TO OFFSET JOINTS.
- TOP DRESS JOINTS IN SOD BY HAND WITH TOPSOIL TO FILL VOIDS IF NECESSARY.
- SOD SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOD SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESS.
- SHOULD INSTALLATION OCCUR BETWEEN OCTOBER 1ST AND MARCH 1ST, OVERSEED BERMUDAGRASS SOD WITH WINTER RYEGRASS AT A RATE OF 4 POUNDS PER 1000 S.F.

HYDROMULCH:

- SCARIFY AND LOOSEN ALL AREAS TO BE HYDROMULCHED TO A MINIMUM DEPTH OF 4" PRIOR TO TOPSOIL AND HYDROMULCH INSTALLATION.
- BERMUDA GRASS SEED SHALL BE EXTRA HULLED, TREATED LAWN TYPE. SEED SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL MEET ALL STATE/LOCAL LAW REQUIREMENTS.
- FIBER SHALL BE 100% WOOD CELLULOSE FIBER, DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AS MANUFACTURED BY "CONWEB" OR EQUAL.
- FIBER TACK SHALL BE DELIVERED TO THE SITE IN ITS UNOPENED CONTAINER AND SHALL MEET ALL STATE/LOCAL LAW REQUIREMENTS BY GROWERS, INC OR APPROVED EQUAL.
- HYDROMULCH WITH BERMUDA GRASS SEET AT A RATE OF 2 POUNDS PER 1000 S.F.
- USE A BATTER BOARD AGAINST ALL BED AREAS TO PREVENT OVER SPRAY.
- IF INADEQUATE MOISTURE IS PRESENT IN SOIL, APPLY WATER AS NECESSARY FOR OPTIMUM MOISTURE FOR SEED APPLICATION.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1ST AND MAY 1ST, ALL HYDROMULCH AREAS SHALL BE OVER-SEEDDED WITH WINTER RYE GRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET. CONTRACTOR SHALL BE REQUIRED TO RE-HYDROMULCH WITH BERMUDA GRASS THE FOLLOWING GROWING SEASON AS PART OF THIS CONTRACT.
- AFTER APPLICATION, NO EQUIPMENT SHALL OPERATE OVER APPLIED AREAS. WATER SEEDED AREAS IMMEDIATELY AFTER INSTALLATION TO SATURATION.
- ALL LAWN AREAS TO BE HYDROMULCHED SHALL ACHIEVE 100% COVERAGE PRIOR TO FINAL ACCEPTANCE.

LANDSCAPE NOTES

- CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING ELEMENTS. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS. CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR UNDERGROUND UTILITIES.
- A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- LANDSCAPE ISLANDS SHALL BE CROWNED, AND UNIFORM THROUGHOUT THE SITE.
- PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS OR CURBS. EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE.
- EDGING SHALL BE CUT AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND/OR CURBS.
- MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBING.
- QUANTITIES ON THESE PLANS ARE FOR REFERENCE ONLY. THE SPACING OF PLANTS SHOULD BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAILS.
- CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEEDED AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST.
- TREES SHALL BE PLANTED AT A MINIMUM OF 5' FROM ANY UTILITY LINE, SIDEWALK OR CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE HYDRANTS.
- 4" OF SHREDDED HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE PLACED OVER WEED BARRIER FABRIC. MULCH SHALL BE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL. PINE STRAW MULCH IS PROHIBITED.
- WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE MIRAFI 1405 WEED BARRIER OR APPROVED EQUAL. CONTRACTOR TO PROVIDE UNIT PRICINGS OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS.

IRRIGATION:

- ALL REQUIRED LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE/RAIN SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.

MAINTENANCE REQUIREMENTS:

- VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINS IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE.
- MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNER'S REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE.
- ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL.

MISCELLANEOUS MATERIALS:

- STEEL EDGING SHALL BE 3/16" X 4 X 16" DARK GREEN DURAEDGE STEEL LANDSCAPE EDGING UNLESS NOTED OTHERWISE ON PLANS/DETAILS.
- RIVER ROCK SHALL BE ARIZONA RIVER ROCK, 2" - 4" DIAMETER. RIVER ROCK SHALL BE COMPACTED TO A MINIMUM OF 3" DEPTH OVER FILTER FABRIC.

PLANT SCHEDULE

QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES
SHADE TREES					
4	CE	Cedar Elm	<i>Ulmus crassifolia</i>	3" cal.	12' ht., 4' spread, matching
10	RO	Texas Red Oak	<i>Quercus texana</i>	3" cal.	12' ht., 4' spread, matching
SHRUBS					
103	DBH	Dwarf Burford Holly	<i>Ilex cornuta 'Burford Nana'</i>	5 gal.	full, 20" spread, 36" o.c.
GROUND COVER/VINES/GRASS					
		Bermuda Solid Sod	<i>Cynodon dactylon</i>		

Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.

LANDSCAPE TABULATIONS for Joshua, TX

Site Requirements	
1. 20% of the total lot area shall be devoted to landscape.	
2. Not less than 40% of the total landscape shall be located in the front yard.	
3. One shade tree, 3" cal, shall be planted for every 500 s.f. of front yard setback.	
Site: 62,070 s.f.	
REQUIRED	PROVIDED
12414 s.f. (20%)	10,610 s.f. (17%)
4,966 s.f. (40%)	5936 s.f.
10 trees, 3" cal.	10 trees, 3" cal.
Parking Lot	
1. A minimum of 10% (parking area 50,000 s.f. of larger) or 8% (parking 25000 - 49,999 s.f.) or 5% of the gross parking area shall be landscaped.	
2. One tree shall be provided for every 15 parking spaces.	
3. Parking light screen shall be provided on nonresidential properties where headlight glare is directly adjacent to the ROW.	
Parking Area: 25,437 s.f.	
Parking Spaces: 57	
REQUIRED	PROVIDED
2035 s.f. (8%)	2,751 s.f. (10.8%)
4 trees, 3" cal.	4 trees, 3" cal.



GRAPHIC SCALE

0 20 40 FEET

Scale 1"=20' - 0"



AWR Designs, LLC
P.O. Box 1746
Aledo, Texas 76008
amanda@awr-designs.com
c. 512.517.5589

JOSHUA STATION RETAIL
JOHNSON COUNTY, TX

LANDSCAPE PLAN

SHEET NO.

L1.01

OF

JONES | CARTER
Texas Board of Professional Engineers Registration No. F-439
4500 Westcreek Plaza Drive, Suite 100 • Fort Worth, Texas 76137 • 817.268.2208



SCALE: AS SHOWN
DATE: MARCH 2022
JOB NO.:
DESIGNED BY:
CHECKED BY:
DRAWN BY:

REVISIONS

No.	Date	App.

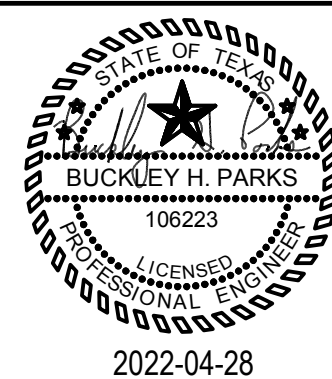


ARCHITECT

VLK Architects, Inc.
2700 Via Fortuna, Suite 230
Austin, Texas 78746
Main Phone: 512.807.3145
www.vlkarchitects.com

hollingsworth pack
Design & Construction Consultants
3801 S. Congress Suite 110 • Austin, TX 78704
PH(512) 275-6060 TX FIRM # 12747

ENDEAVOR REAL ESTATE GROUP
S BROADWAY ST, JOSHUA, TX
76058

ISSUED FOR
PERMIT

ISSUED: 04/28/2022

REVISIONS

Revision No.	Revision Date
--------------	---------------

Director	Drawn By
BPA	MRI
Designer	Quality Control
MRI	
Proj. Eng.	
BPA	

PROJECT NO.

33-1255

SHEET TITLE

ELECTRICAL
PHOTOMETRICS
PLAN

SHEET NO.

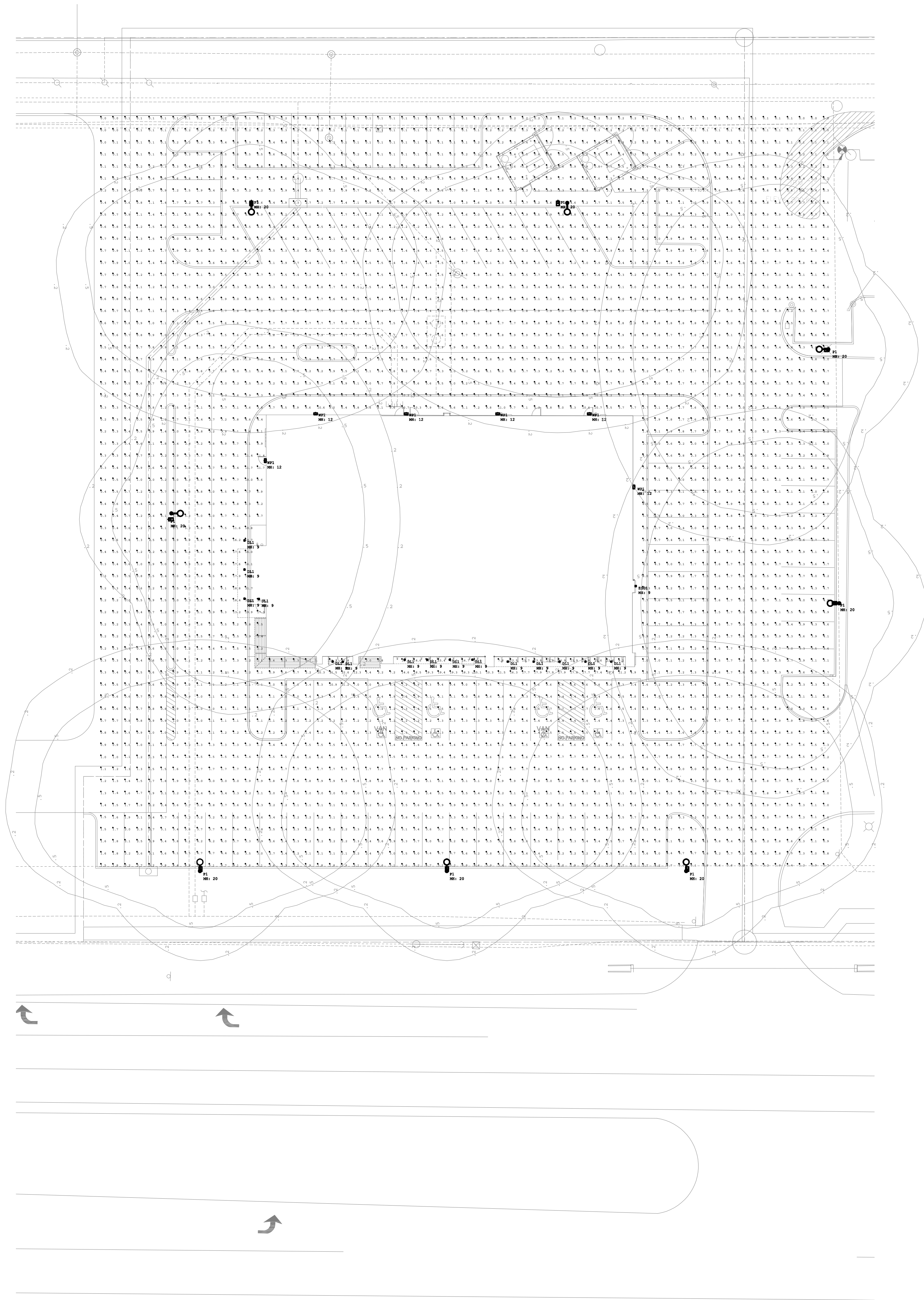
E1.02

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GENERAL NOTES:

- A. PHOTOMETRIC PLANS ARE BASED ON MANUFACTURER'S IES FOR ALL EXTERIOR LUMINAIRES.
- B. ACTUAL LUMEN OUTPUT, INSTALLATION LOCATION AND AIMING WILL CAUSE SOME DEVIATIONS BETWEEN THIS PLAN AND THE ACTUAL FOOT-CANDLE LEVELS OBSERVED IN THE FIELD.
- C. POINT VALUES SHOWN ARE THE CALCULATED FOOT-CANDLE LEVELS AT THAT LOCATION.
- D. ALL SITE POLE LIGHTING SHALL BE 20' IN HEIGHT.

Joshua Station Retail Building



1 ELECTRICAL PHOTOMETRICS PLAN
SCALE: 1" = 20'-0"



Joshua Station Restaurant and Retail Development Standards

Purpose: The purpose of the Planned Development District is to allow for new commercial/retail and restaurant development located within the Joshua Station Overlay District on properties designated in the CR, Commercial-Retail Land Use Designation. There are two (2) proposed lots for this development containing a total of 2.29 acres. The property is located at the southwest corner of Joshua Station Blvd and State Highway 174. This Planned Development is for Lot 7 as to be platted. This site is 1.425 acres.

Regulations:

Property shall comply with the provisions set forth in the Zoning and Subdivision Ordinances, as amended; as well as all other codes and ordinances within the City of Joshua, unless specifically set forth within these PD District Standards.

Area Regulations:

Min. Lot Size: 6,000 sq.ft.

Min. Lot Width: 60 ft

Min. Lot Depth: 100 ft

Max. Height: 45 ft

Max. Building Coverage: 50%

Min. Setbacks –

- Front Street Setback – 20 ft
- Side Street Setback – 10 ft
- Side – 0 ft
- Rear – 0 ft

Section 6.18.9: Utility and Service Areas

- C. No open metal railings, hadite brick or cyclone fences are permitted as screening devices; except, however, wood gates for screened areas are permitted and wood fences are permitted for back of building utility screening.

Section 6.18.11: Landscape Standards

F. Quantity of required street trees along SH 174 shall be calculated based on one planted for every seven hundred fifty (750) square feet of front yard setback. Street trees shall be from the approved Tree List.

G. Street trees located in the TXDOT ROW may apply to the required street tree count.

H. Street trees may be staggered to meet calculated quantity. Trees are not required to be inline.

I. Spacing between street trees, measured parallel to the ROW, is 70' maximum and 15' minimum.

J. Joshua Station Development Standards, Landscape Standards, shall supersede other sections of the Zoning Code that conflict.

K. The landscape of Lot 7 of Joshua Station PD shall be as shown on the Lot 7 Landscape Plan incorporated as part of this Joshua Station Development Standards Ordinance.

Section 6.18.13: Lighting Standards For Nonresidential Land Use Types

- D. Street Tree Lighting. Street tree lighting is not required.

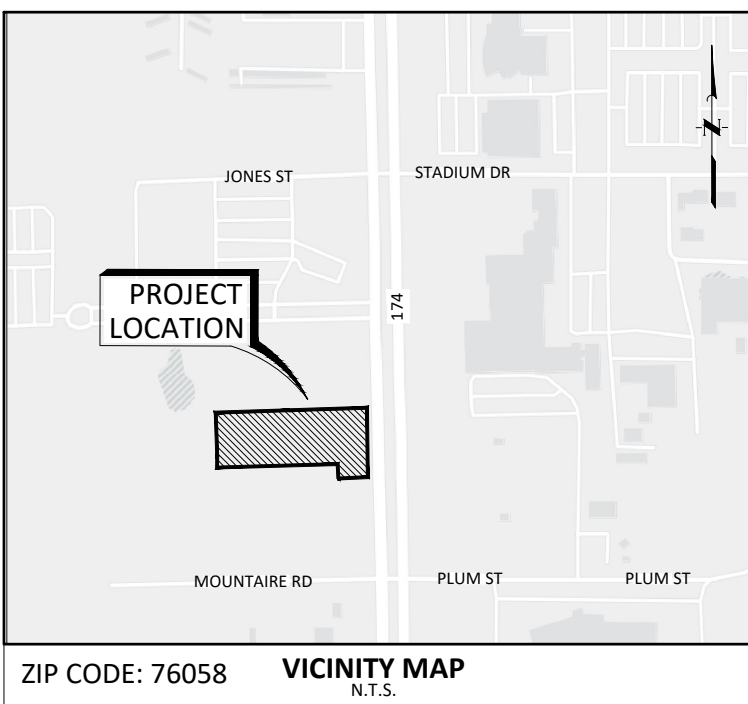
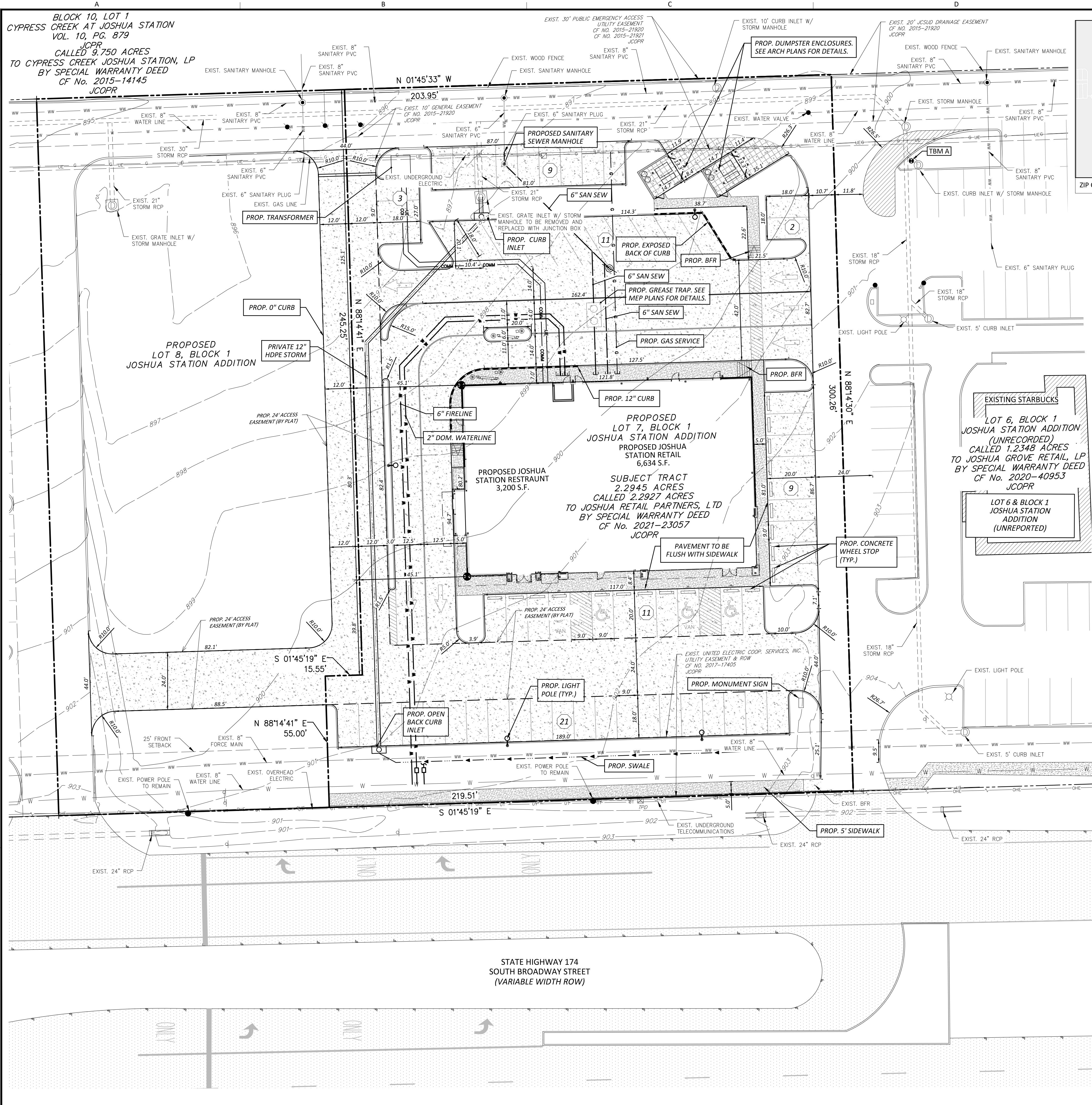
Section 6.18.15: Screening Standards

A six (6) foot minimum to eight (8) foot maximum screen wall or wood fencing is required between residential uses and nonresidential uses. The property owner of the nonresidential use shall be responsible for construction and/or maintenance of the screening wall/fence. The required screen wall or fence shall be installed at time of development of the property.

Article 7 – Parking Requirements**Section 7.7 Off Street Stacking Requirements for Drive Through Facilities**

B.

2. Each service lane of a drive-through restaurant shall have a minimum of six (6) spaces. The drive through lane of Lot 6 of Joshua Station PD shall be as shown on the Lot 6 Site Plan incorporated as part of this Joshua Station Development Standards Ordinance.

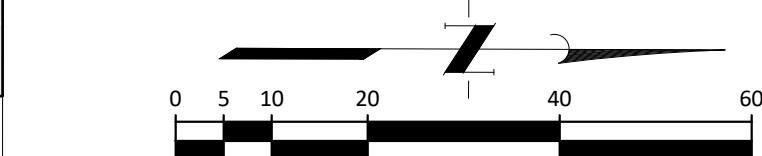


BENCHMARK
ALL ELEVATIONS AND BEARINGS SHOWN HEREON ARE BASED ON GPS OBSERVATIONS UTILIZING THE TEXAS COORDINATE SYSTEM OF 1983, NORTH CENTRAL ZONE, GROUND DISTANCES. NAVD (88) DATUM.

TBM 1
BEING A "X" CUT IN CONCRETE ON THE BACK OF AN INLET LOCATED APPROXIMATELY +/- 50 FEET NORTHEAST FROM THE NORTHWEST CORNER OF THE SUBJECT TRACT. ELEVATION 900.63 FEET, NAVD 88.

TBM 2
BEING A "X" CUT IN CONCRETE ON THE BACK OF AN INLET LOCATED APPROXIMATELY +/- 37 FEET SOUTHEAST OF THE SOUTHWEST CORNER OF THE SUBJECT TRACT. ELEVATION 895.56 FEET, NAVD 88.

100-YEAR FLOOD PLAIN
ACCORDING TO FLOOD INSURANCE RATE MAP NO. 48251C0160 DATED DECEMBER 4, 2012 PREPARED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FOR JOHNSON COUNTY, TEXAS, THIS PROPERTY IS WITHIN UNSHADED ZONE "X"; AS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD PLAIN.



LEGEND

- EXIST. MAJOR CONTOUR
- EXIST. MINOR CONTOUR
- PROPERTY LINE
- EXIST. WATERLINE
- EXIST. GAS
- EXIST. SANITARY SEWER
- EXIST. STORM SEWER
- EXIST. OVERHEAD POWER
- EXIST. UNDERGROUND TELECOMMUNICATIONS
- PROP. UNDERGROUND ELECTRIC
- PROP. COMMUNICATION LINE
- PROP. SANITARY SEWER
- PROP. WATERLINE
- PROP. STORM SEWER
- PARKING COUNT
- EXIST. FIRE HYDRANT TO REMAIN
- BUILDING CORNERS
- PROP. 7" REINFORCED CONCRETE
- PROP. 6" REINFORCED CONCRETE
- PROP. 4" REINFORCED CONCRETE SIDEWALK
- EXIST. SANITARY SEWER MANHOLE
- EXIST. STORM SEWER TABLETOP INLET AND MANHOLE
- PROP. BARRIER FREE RAMP
- PROPOSED MENU BOARD
- PROPOSED CONCRETE WHEEL STOP
- PROPOSED LIGHT POLE (SEE MEP PLANS)

- NOTES**
- ALL DIMENSIONS ARE SHOWN PERPENDICULAR AND TO THE FRONT OF THE CURB UNLESS OTHERWISE NOTED.
 - ALL CURB IS PERMANENT UNLESS NOTED OTHERWISE.
 - SEE ARCH. PLANS FOR EXACT BUILDING DIMENSIONS. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES.
 - CONTRACTOR TO USE CARE NOT TO DISTURB EXISTING LANDSCAPING OUTSIDE DISTURBED AREA. IF DISTURB CONTRACTOR TO RESTORE TO ORIGINAL CONDITIONS OR BETTER.
 - CONTRACTOR TO VERIFY THE LOCATION OF EXISTING UTILITIES.

SITE DATA FOR JOSHUA STATION RETAIL PROPOSED DEVELOPMENT	
1038 SOUTH BROADWAY STREET JOSHUA, TEXAS 76058 JOSHUA STATION ADDITION - LOT 7, BLOCK 1	
GENERAL	
EXISTING ZONING:	CR - CORRIDOR RETAIL
FRONT SETBACK:	20 FEET
SIDE SETBACK:	0 FEET
REAR SETBACK:	0 FEET
TOTAL LOT AREA:	62,073 SQUARE FEET (1.425 AC)
EXISTING USE:	UNDEVELOPED
PROPOSED BUILDING:	RETAIL AND RESTAURANT
BUILDING AREA:	9,834 SQUARE FEET (0.226 AC)
FLOOR AREA RATIO:	0.16 : 1
PROPOSED BUILDING HEIGHT:	1 STORY - 22 FEET
PARKING RATIO:	32 SPACES (1 SPACE / 100 SF - RESTAURANT) 34 SPACES (1 SPACE / 200 SF - RETAIL)
PARKING REQUIRED:	66 SPACES
ADA PARKING REQUIRED:	3 SPACES
PARKING PROVIDED:	66 SPACES
ADA PARKING PROVIDED:	4 SPACES
QUEUING PROVIDED:	22 SPACES
LANDSCAPE/PERVIOUS AREA:	8,302 SQUARE FEET (0.19 AC)
LANDSCAPE AREA PERCENTAGE:	13.4%
IMPERVIOUS AREA:	53,771 SQUARE FEET (1.23 AC)
IMPERVIOUS AREA PERCENTAGE:	86.6%

CAUTION: OVERHEAD ELECTRIC
CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION, CONSTRUCTION AND ALL ACTIVITIES ON SITE AND STAY AWAY FROM ALL OVERHEAD POWER. CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS DEALING WITH CLEARANCES AND CONSTRUCTION ACTIVITIES.

CONTRACTOR TO VERIFY ELEVATION AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY NEW CONSTRUCTION

TEXAS811 NOTIFICATION SYSTEM
CALL BEFORE YOU DIG!!!
www.texas811.org
Texas811 or 1-800-545-6005

App. No. Date

REVISIONS

DESIGNED BY: ACH

CHECKED BY: RIA

DRAWN BY: CPZ

SCALE: AS SHOWN

DATE: APRIL 2022

JOB NO.: 11747-0036-00

QUIDDITY

17823

04/20/2022

JOSHUA STATION RESTAURANT AND RETAIL

1038 SOUTH BROADWAY STREET, JOHNSON COUNTY, TX 76058

SITE PLAN

LOT 7, BLOCK 1

JOSHUA STATION ADDITION



1038 SOUTH BROADWAY STREET

JOSHUA, TEXAS 76058

SHEET NO.

C-4

OF C-14

	<h1>Hydraulic Analysis Report</h1> <p>Subject to Change*</p>
<p><u>Development</u></p> <p>Joshua Station Restaurant and Retail</p>	<p><u>Developer</u></p> <p>Brian Lent</p>
<p><u>Proposed Connections</u></p> <p>1 - 103 GPM Domestic and 20.2 GPM Irrigation</p>	<p><u>Pressure Plane</u></p> <p>34</p>
<p><u>Location</u></p> <p>1050 S Broadway St., Joshua, TX 76058</p>	<p><u>Analysis Type</u></p> <p> <input type="checkbox"/> Standard <input checked="" type="checkbox"/> Standard W/ Fire Flow <input type="checkbox"/> Re-Evaluation </p>
<p><u>Development's Impact on System**</u></p> <p>Negligible</p>	<p><u>Meets TCEQ requirements</u></p> <p> <input checked="" type="checkbox"/> With System Improvements <input type="checkbox"/> Without System Improvements </p>
<p><u>Estimated Fire Flow at Development (Existing)***</u></p> <p>GPM 1,500 PSI 65.30</p>	<p><u>Estimated Fire Flow at Development (W/ Improvements)***</u></p> <p>GPM N/A PSI</p>
<p><u>Required Improvements</u></p> <p>Summary Participation in Joshua Main Street 16" Waterline and elevated storage improvements.</p>	
<p><u>Approval</u></p> 	<p><u>Date</u></p> <p>05/25/2022</p>

*The hydraulic analysis does not hold capacity within the District's system. It is an overview study for your development within the system as of the date of the analysis. With growth and additional infrastructure being installed within the system, this study is subject to change.

**Note this analysis is evaluated with JCSUD's minimum line size. Any offsite or larger lines are listed in the analysis. Please reference JCSUD specifications for minimum line sizing.

***Fire Flow GPM and Pressure is for the development while maintaining the required TCEQ minimum of 20 psi for the affected Pressure Plane.

Required Improvements

OFF-SITE

Participation in Joshua Main Street 16" waterline and elevated storage improvements.

ON-SITE

None.

Notice of Public Hearing

Notice is hereby given that the City of Joshua's Planning and Zoning Commission and City Council will conduct public hearings to consider the request for a zoning change from the (JSOD) Joshua Station Overlay District to the (PD), Planned Development District on 2.2945 acre of land, Lots 7 and 8, Block 1, in the George Casseland Survey, Abstract No. 173, County of Johnson, Texas. This property is in the 1000 Block of South Broadway. The purpose of this request is to allow for a restaurant and retail development.

The Planning and Zoning Commission will conduct its public hearing on July 5, 2022, at 6:30 PM and the City Council will conduct its public hearing and consideration on July 21, 2022, at 6:30 PM. Both meetings will be held in the City Council Chambers at Joshua City Hall, 101 South Main Street, Joshua, TX 76058.



**Planning & Zoning Agenda
July 5, 2022**

Minutes Resolution

Action Item

Agenda Description:

Discuss, consider, and possible action on a request for a zoning change regarding approximately 2.2945 acre of land in the George Casseland Survey, Abstract No. 173, County of Johnson, Texas, located in the 1000 Block of South Broadway, to change from (JSOD) Joshua Station Overlay District to the (PD) Planned Development District to allow for a restaurant and retail development.

Background Information:

HISTORY: A preliminary plat of Joshua Station Addition was approved in 2008. The subject property is referred to as Lot 7 & 8, as per the preliminary plat and will be platted as such. This property is located within the Joshua Station Overlay District and as properties develop, they need to have a Planned Development designation and Detailed Site Plan approved prior to construction.

ZONING: This property is zoned (JSOD) Joshua Station Overlay District.

ANALYSIS: The proposed development of this property is to allow for a restaurant and retail development. The proposed building will be 9,834 square feet.

ENGINEERING RELATED ISSUES: The requirements of a detailed site plan include specific information related to engineering and other transportation issues. Because this property requires to be final platted, the City has agreed that these matters be part of the final platting review process.

Financial Information:

Only cost associated with the zoning change request is the publication expense and mailing of public hearing notices to property owners within 200 ft. as required by law. Public written notices sent out not less than 10 days before the P&Z public hearing and at least 15 days before the City Council public hearing.

City Contact and Recommendations:

Aaron Maldonado, Development Services Director

The proposed request complies with the minimum requirements of a Detailed Site Plan. Staff recommends approval.

Attachments:



**Planning & Zoning Agenda
July 5, 2022**

Minutes Resolution

Action Item

Agenda Description:

Discuss, consider, and possible action on approving a final plat regarding 53.616 acre of land known as Lots 15-28, C, Block 1; Lots 15-53, B, C, Block 3; Lots 1-18, Block 4; Lots 1-24, Block 5; Lots 1-24, Block 6; Lots 1-24, Block 7, Mockingbird Hills Addition, Phase 2, in the W.W Byers Survey, Abstract No. 29, City of Joshua, Johnson County, Texas located at 804 W. FM 917 to allow for the construction of a residential subdivision.

Background Information:

History: The planned development for this property was approved in December of 2018. The preliminary plat for phase 2 was approved in February of 2022.

Zoning: This property is zoned (PD) Planned Development District.

Analysis: The final plat of phase 2 will contain 143 single family residential lots and 6 open space lots.

Utilities: Water is provided by Johnson County Special Utility District. A letter of final approval has been submitted.

Transportation: No right-of-way dedications are being dedicated with this plat.

Financial Information:

N/A

City Contact and Recommendations:

This plat appears to meet the minimum requirements for a final plat as set forth in the City of Joshua Subdivision Ordinance therefore, we recommend approval.

Attachments:

1. Final Plat Application
2. Legal Description
3. Vicinity Map
4. JCSUD Approval Letter
5. Final Plat Mockingbird Hills Addition Phase 2

Item 4.

City of Joshua Development Services Universal Application

Please check the appropriate box below to indicate the type of application you are requesting and provide all information required to process your request.

- | | | |
|--|---|--|
| <input type="checkbox"/> Pre-Application Meeting | <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Zoning Change |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Zoning Variance (ZBA) | <input type="checkbox"/> Subdivision Variance |
| <input type="checkbox"/> Preliminary Plat | <input checked="" type="checkbox"/> Final Plat | <input type="checkbox"/> Amending Plat |
| <input type="checkbox"/> Replat | <input type="checkbox"/> Planned Development Concept Plan | <input type="checkbox"/> Planned Development Detailed Plan |
| <input type="checkbox"/> Minor Plat | <input type="checkbox"/> Other _____ | |

PROJECT INFORMATION

Project Name: Mockingbird Hills Phase 2

Project Address (Location): 401 Caddo

Existing Zoning: Ag Proposed Zoning: Single Family PD-R1

Existing Use: Undeveloped Proposed Use: Single Family Houses

Existing Comprehensive Plan Designation: _____ Gross Acres: 53.616

Application Requirements: The applicant is required to submit sufficient information that describes and justifies the proposal. See appropriate checklist located within the applicable ordinance and fee schedule for minimum requirements. Incomplete applications will not be processed.

APPLICANT INFORMATION

Applicant: Peter Thomas Company: SRE Joshua Dev, LLC

Address: P.O. Box 939 Tel: (817) 426-3113 Fax: _____

City: Burleson State: TX ZIP: 76097 Email: tcilc@aol.com

Property Owner: _____ Company: _____

Address: _____ Tel: _____ Fax: _____

City: _____ State: _____ ZIP: _____ Email: _____

Key Contact: SAME Company: _____

Address: _____ Tel: _____ Fax: _____

City: _____ State: _____ ZIP: _____ Email: _____

SIGNATURE OF PROPERTY OWNER OR APPLICANT (SIGN AND PRINT OR TYPE NAME)

SIGNATURE: [Signature]

(Letter of authorization required if signature is other than property owner)

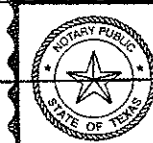
Print or Type Name: Peter Thomas

Known to me to be the person whose name is subscribed to the above and foregoing instrument, and acknowledged to me that they executed the same for the purposes and consideration expressed and in the capacity therein stated.

Given under my hand and seal of office on this 20 day of January 20 22

[Signature]
Notary Public

Signature [Signature] Date: 1-20-22



PATRICIA SWAIM
Notary Public, State of Texas
Notary ID 130440511
My Commission Exp. 11-13-2023

For Departmental Use Only

Case No.: FP2022-01

Project Manager: _____

Total Fee(s): 500.00

Check No.: 15854

Date Submitted: 1/21/22

Accepted By: Auber Arnap

Date of Complete Application: 1/21/22

PROPERTY DESCRIPTION

BEING a 53.616 acre tract of land in the W. Buyers Survey, Abstract Number 29, situated in the City of Joshua, Johnson County, Texas, and being a portion of that certain tract of land described in deed to SRE Joshua Development, recorded in Instrument Number 2019-6606, Official Public Records, Johnson County, Texas. The bearings for this description are based on Texas State Plane Coordinate System, Texas North Central Zone (4202), North American Datum 1983, as derived from static observation and NOAA/NGS Opus calculations performed on March 8, 2019. Said 53.616 acre tract of land being described by metes and bounds as follows:

BEGINNING at a 1/2" iron rod found at the most westerly southwest corner of that certain tract of land described as Lot 27, Block 1, Heritage II, an addition to the City of Joshua, Johnson County, Texas as recorded in Volume 2020, Page 72, Deed Records, Johnson County, Texas and in a north line of said SRE Joshua Development tract;

THENCE North 89°57'13" East, along the south line of said Block 1 and said north line, at a distance of 942.52 feet, pass a 1/2" iron rod with plastic cap stamped "RPLS 4818" found for the southeast corner of Lot 15 of said Block 1 and the southwest corner of that certain tract of land described in deed to Charles Williams, recorded in Volume 967, Page 98, Official Public Records, Johnson County, Texas, for a total distance of 1195.35 Feet to a 1/2" iron rod with plastic cap stamped "RPLS 4818" set for the southeast corner of said Williams tract and the northeast corner of said SRE Joshua Development tract and in the west line of Winding Creek Subdivision, an addition to the City of Joshua, Johnson County, Texas, recorded in Volume 8, Page 806, Plat Records, Johnson County, Texas

THENCE South 00°46'29" West, departing said south and north lines and continuing along an east line of said SRE Joshua Development tract and a west line of said Winding Creek Subdivision and a west line of that certain tract of land described in deed to KTV Caddo LP, recorded in Volume 3445, Page 707, Official Public Records, Johnson County, Texas, for a total distance of 1224.72 Feet to a 1/2" iron rod with plastic cap found for the southeast corner of said SRE Joshua Development tract and in the north right of way line of Farm to Market Road Number 917, an 80 Foot wide right of way;

THENCE North 89°33'59" West, departing said east and west lines and continuing along a south line of said SRE Joshua Development tract and said north right of way line, a distance of 796.39 Feet to a 1/2" iron rod with plastic cap stamped "RPLS 4818" set for the point of curvature of a non-tangent curve, concave to the south, having a radius of 6115.75 Feet a central angle of 02°58'45", and a chord of 317.95 Feet bearing South 88°51'18" West;

THENCE westerly along said curve, a distance of 317.99 Feet to a 1/2" iron rod with plastic cap stamped "RPLS 4818" set;

South 86°37'23" West, continuing along said south line and said north right of way line, a distance of 75.20 Feet to a 1/2" iron rod with plastic cap stamped "RPLS 4818" set;

South 87°11'53" West, continuing along said south line and said north right of way line, a distance of 679.00 Feet to a 1/2" iron rod found for the southwest corner of said SRE

Joshua Development tract and the southeast corner of that certain tract of land described in deed to Skip Ho and Julianna T.T. Ho, recorded in Instrument Number 2010-18170, Deed Records, Johnson County, Texas;

THENCE North 00°22'11" East, along a west line of said SRE Joshua Development tract and the east line of said Ho tract, at a distance of 1228.05 Feet pass the common east corner of said Ho tract and that certain tract of land described in deed to Stephen Weatherred, recorded in Volume 1382, Page 710 Deed Records, Johnson County, Texas, departing said east line of the Ho tract and continuing along the east line of said Weatherred tract, for a total distance of 1337.52 Feet to a 1/2" iron rod with plastic cap stamped "RPLS 4818" set;

THENCE departing said east and west lines and continuing over and across said SRE Joshua Development tract, the following courses and distances;

North 89°41'03" East, a distance of 130.82 Feet to a 1/2" iron rod with plastic cap stamped "RPLS 4818" set;

North 44°38'53" East, a distance of 25.00 Feet to a 1/2" iron rod with plastic cap stamped "RPLS 4818" set for the point of curvature of a non-tangent curve, concave to the northeast, having a radius of 60.50 Feet a central angle of 44°16'42", and a chord of 45.60 Feet bearing South 67°29'28" East;

Southeasterly along said curve, a distance of 46.75 Feet to a 1/2" iron rod with plastic cap stamped "RPLS 4818" set;

South 89°37'49" East, a distance of 239.00 Feet to a 1/2" iron rod with plastic cap stamped "RPLS 4818" set for the point of curvature of a non-tangent curve, concave to the northeast, having a radius of 60.50 Feet a central angle of 08°50'20", and a chord of 9.32 Feet bearing North 85°57'01" East;

Northeasterly along said curve, a distance of 9.33 Feet;

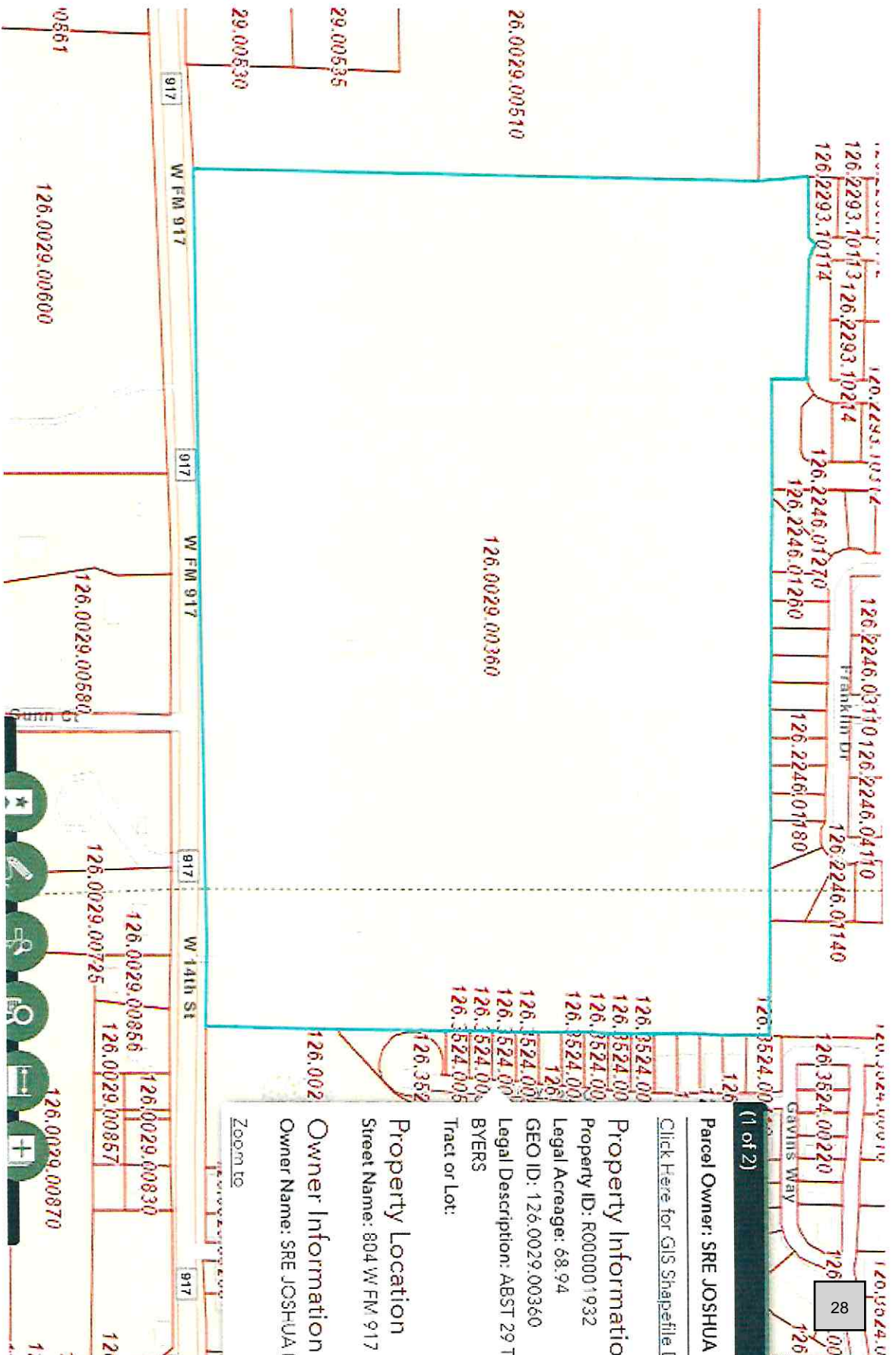
South 00°02'47" East, a distance of 76.27 Feet to a 1/2" iron rod with plastic cap stamped "RPLS 4818" set;

North 89°57'13" East, a distance of 241.22 Feet to the POINT OF BEGINNING and containing a computed area of 53.616 Acres, more or less.

Compiled from field ties and record data on January 25, 2022 by Whitfield-Hall Surveyors.

Johnny D.L. Williams
Registered Professional Land Surveyor
Texas Registration No. 4818
TPELS Firm Reg. No. 10138500







June 24, 2022

Location: Mockingbird Hill Addition Phase 2
FM 917

To Whom This May Concern:

Pursuant your request, I can confirm that the aforementioned property is located within the service area of Johnson County Special Utility District (JCSUD). JCSUD provides adequate water service to our customers in accordance with the rules and regulations of the Texas Commission on Environmental Quality (TCEQ) and Public Utility Commission (PUC). The water supplied complies with standard governing chemical and bacteriological quality of drinking water.

Johnson County Special Utility District does have a Water Certificate of Convenience and Necessity granted by the Texas Water Commission to serve the area referenced above.

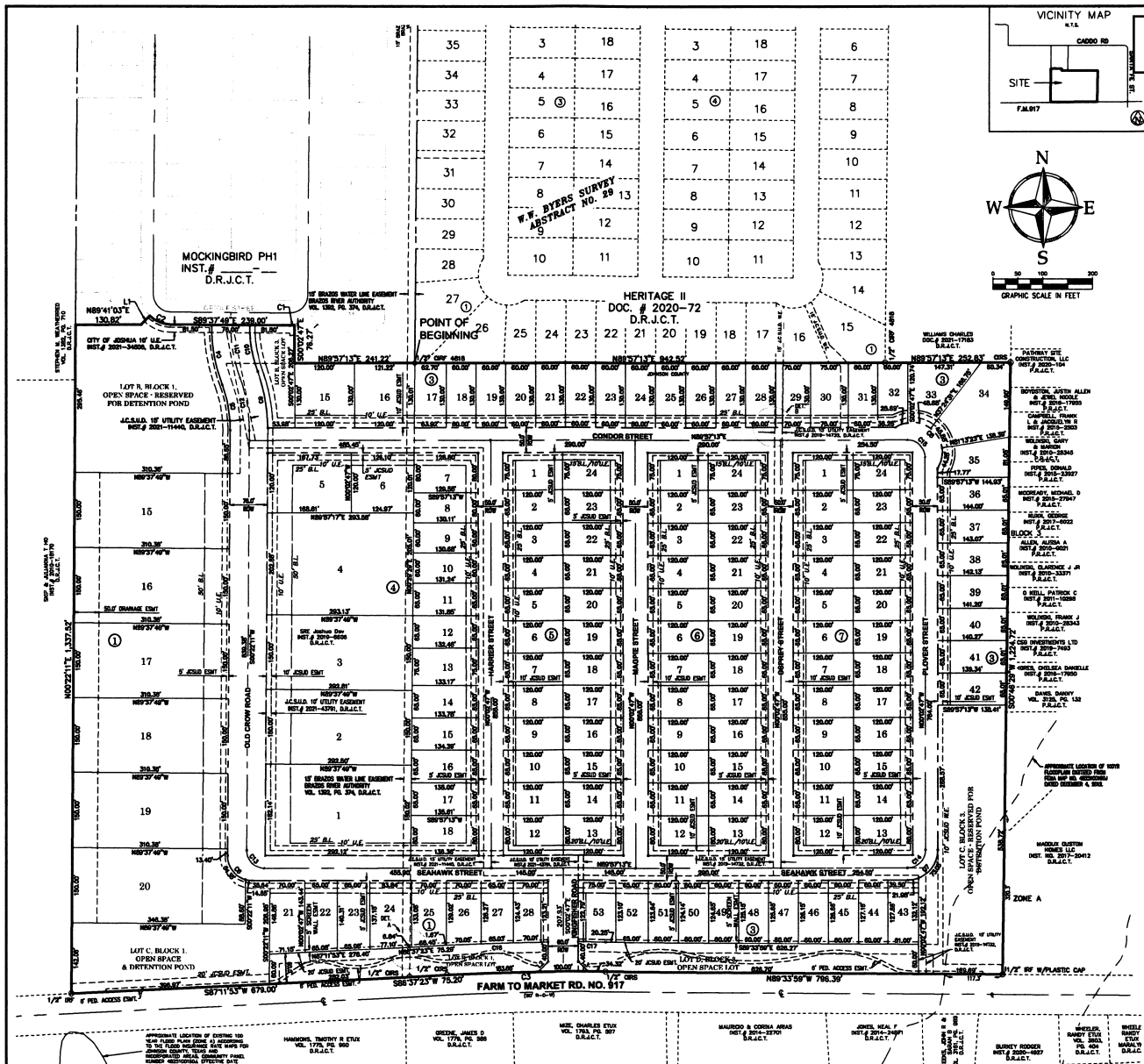
This letter **does not** verify the approval of the utility plans for this development. **However**, the developer has followed the development process. The developer will be required to install the infrastructure to service the development.

A final plat was submitted for review to the District. The easements have been properly noted on the plat. A copy of the plat, approved by JCSUD, is enclosed with this letter.

Sincerely,

Nan Bise
System Development Supervisor
nbise@jcsud.com
(817) 760-5206

Enclosure: Submitted Plat for Approval



Item 4.

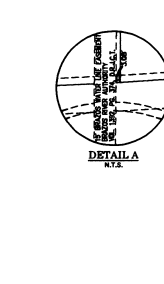
LEGEND
B.L. BUILDING LINE
D.E. DRAINAGE EASEMENT
U.E. UTILITY EASEMENT
S.E. SANITARY EASEMENT
W.E. WATER EASEMENT
J.C.S.U.D. JOHNSON COUNTY SPECIAL UTILITY DISTRICT
D.R.C.T. DISTRICT RECORDS JOHNSON COUNTY TEXAS
P.A.C.T. EXISTING POWER POLE

Line Table

Line #	Length	Direction
1	10.00'	N 89° 41' 00" E
2	10.00'	N 89° 41' 00" E
3	10.00'	N 89° 41' 00" E

CURVE TABLE

CURVE #	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
01	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
02	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
03	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
04	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
05	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
06	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
07	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
08	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
09	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
10	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
11	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
12	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
13	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
14	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
15	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
16	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
17	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
18	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
19	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
20	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
21	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
22	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
23	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
24	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
25	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
26	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
27	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
28	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
29	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
30	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
31	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
32	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
33	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
34	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
35	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
36	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
37	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
38	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
39	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
40	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
41	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
42	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
43	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
44	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
45	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
46	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
47	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
48	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
49	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
50	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
51	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'
52	00° 00' 00"	0.00'	0.00'	00° 00' 00"	0.00'



LAND USE TABLE

RESIDENTIAL	37,432 ACRES
RIGHT-OF-WAY	6,386 ACRES
PRIVATE OPEN SPACE	7,204 ACRES
TOTAL	51,022 ACRES

LOT TABULATION

BLOCK 1	17 LOTS
BLOCK 2	17 LOTS
BLOCK 3	17 LOTS
BLOCK 4	17 LOTS
BLOCK 5	17 LOTS
BLOCK 6	17 LOTS
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LOT TABULATION (Continued)

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BLOCK 200	17 LOTS

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF MOCKINGBIRD HILLS ADDITION TO THE CITY OF JOHNSA, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF JOHNSA ON THE _____ DAY OF _____, 2021.

THIS APPROVAL SHALL BE INVALID UNLESS THE APPROVED PLAT FOR SUCH ADDITION IS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF JOHNSA COUNTY, TEXAS, WITHIN TWO YEARS FROM SAID DATE OF FINAL APPROVAL. SAID ADDITION SHALL BE SUBJECT TO ALL THE REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF JOHNSA.

WITNESS OUR HAND, THIS _____ DAY OF _____, 2021.

CITY SECRETARY _____

RECOMMENDED FOR FINAL APPROVAL _____

PLANNING & ZONING COMMISSION CHAIRMAN _____ DATE _____

ATTEST: _____

CITY SECRETARY _____ DATE _____

APPROVED _____ DATE _____

MAYOR, CITY OF JOHNSA _____ DATE _____

ATTEST: _____

CITY SECRETARY _____ DATE _____

NOTES:

- SELLING A PORTION OF ANY LOT WITHIN THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF STATE LAW AND CITY ORDINANCE AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITY SERVICES AND BUILDING PERMITS.
- NO LOT WITHIN THIS ADDITION SHALL BE ALLOWED DRIVEWAY ACCESS TO FM 917.
- PLANNED DEVELOPMENT DISTRICT ORDINANCE NUMBER: 742-2019
- THIS PLAT HEREBY ESTABLISHES A WAIVER OF CLAIM FOR DAMAGES AGAINST THE CITY OF JOHNSA OCCASIONED BY THE ESTABLISHMENT OF GRADES OR THE ALTERATION OF THE SURFACE OF ANY PORTION OF EXISTING STREETS AND ALLEYS TO CONFORM TO THE GRADES ESTABLISHED IN THE SUBDIVISION.

PLAT FILED: _____ 2022
DRAWN BY: _____ PG. _____
JOHNSA COUNTY PLAT RECORDS

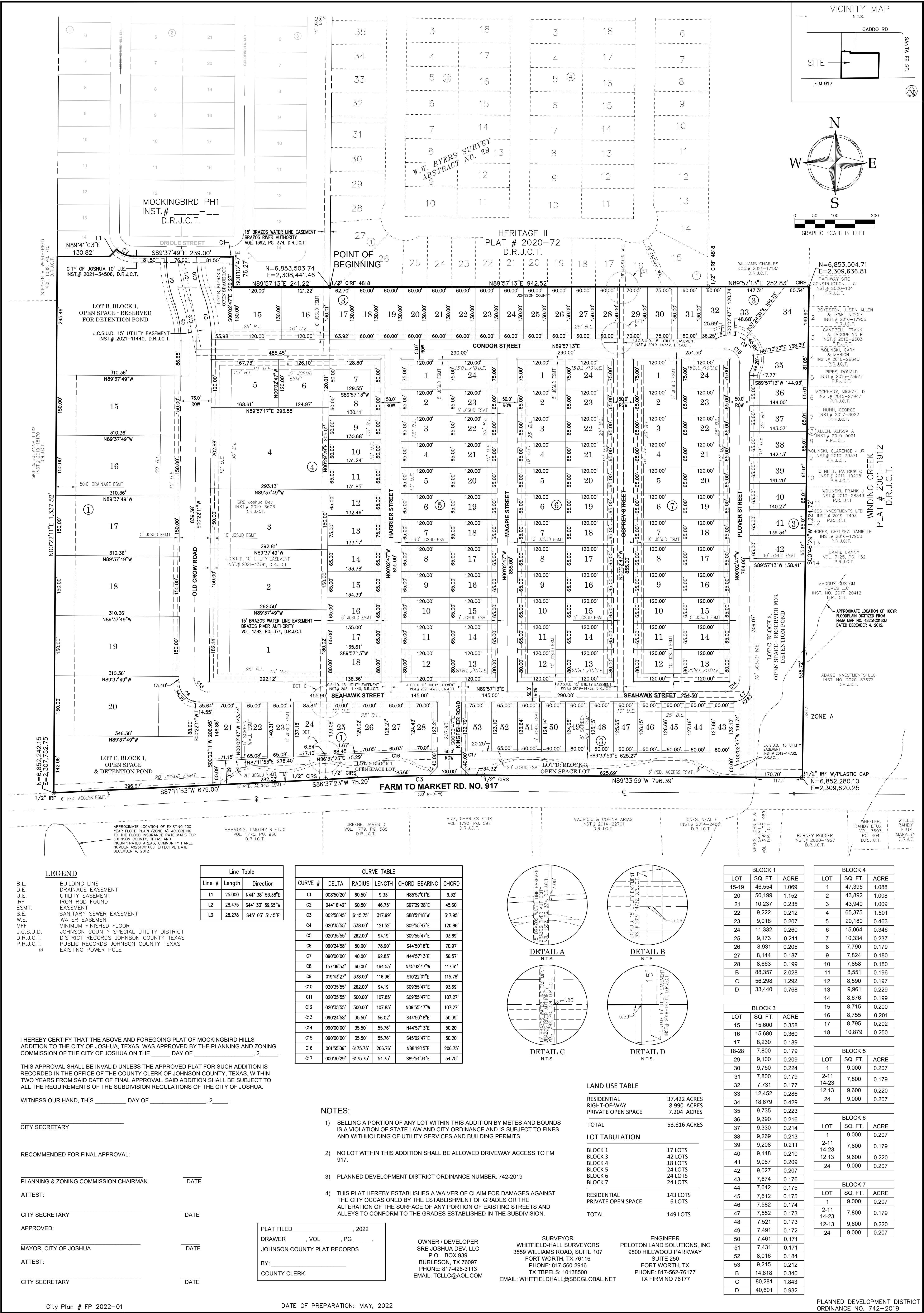
OWNER / DEVELOPER: SRE JOHNSA DEV. LLC
P.O. BOX 838
BURLEIGH, TX 76007
PHONE: 817-426-3113
EMAIL: TOLL@AOL.COM

SURVEYOR: WHITFIELD-HALL SURVEYORS
3559 WILLIAMS ROAD, SUITE 107
FORT WORTH, TX 76116
PHONE: 817-560-2916
TX TIRELS: 10138900
EMAIL: WHITFIELDHALL@SCGLOBAL.NET

ENGINEER: PELOTON LAND SOLUTIONS INC.
1800 HILLWOOD PARKWAY
SUITE 250
FORT WORTH, TX
PHONE: 817-462-7177
TX FIRM NO 76177

LOT TABULATION (Continued)

BLOCK 101	17 LOTS
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STATE OF TEXAS

COUNTY OF JOSHUA

WHEREAS SRE JOSHUA DEV. LLC, ACTING BY AND THROUGH THE UNDER SIGNED, ITS DULY AUTHORIZED AGENT, IS THE SOLE OWNER OF A TRACT OF LAND SITUATED IN THE W.W. BYERS SURVEY, ABSTRACT NUMBER 29, COUNTY OF JOHNSON, ACCORDING TO THE DEED RECORDED IN INSTRUMENT NUMBER 2019-6606, DEED RECORDS, JOHNSON COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A 53.616 ACRE TRACT OF LAND IN THE W. BUYERS SURVEY, ABSTRACT NUMBER 29, SITUATED IN THE CITY OF JOSHUA, JOHNSON COUNTY, TEXAS, AND BEING A PORTION OF THAT CERTAIN TRACT OF LAND DESCRIBED IN DEED TO SRE JOSHUA DEVELOPMENT, RECORDED IN INSTRUMENT NUMBER 2019-6606, OFFICIAL PUBLIC RECORDS, JOHNSON COUNTY, TEXAS, THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON TEXAS STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM 1983, AS DERIVED FROM STATIC OBSERVATION AND NOAA/NGS OPUS CALCULATIONS PERFORMED ON MARCH 8, 2019. SAID 53.616 ACRE TRACT OF LAND BEING DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND AT THE MOST WESTERLY SOUTHWEST CORNER OF THAT CERTAIN TRACT OF LAND DESCRIBED AS LOT 27, BLOCK 1, HERITAGE II, AN ADDITION TO THE CITY OF JOSHUA, JOHNSON COUNTY, TEXAS AS RECORDED IN VOLUME 2020, PAGE 72, DEED RECORDS, JOHNSON COUNTY, TEXAS AND IN A NORTH LINE OF SAID SRE JOSHUA DEVELOPMENT TRACT;

THENCE NORTH 89°57'13" EAST, ALONG THE SOUTH LINE OF SAID BLOCK 1 AND SAID NORTH LINE, AT A DISTANCE OF 942.52 FEET, PASS A 1/2" IRON ROD WITH PLASTIC CAP STAMPED "RPLS 4818" FOUND FOR THE SOUTHEAST CORNER OF LOT 15 OF SAID BLOCK 1 AND THE SOUTHWEST CORNER OF THAT CERTAIN TRACT OF LAND DESCRIBED IN DEED TO CHARLES WILLIAMS, RECORDED IN VOLUME 967, PAGE 98, OFFICIAL PUBLIC RECORDS, JOHNSON COUNTY, TEXAS, FOR A TOTAL DISTANCE OF 1195.35 FEET TO A 1/2" IRON ROD WITH PLASTIC CAP STAMPED "RPLS 4818" SET FOR THE SOUTHEAST CORNER OF SAID WILLIAMS TRACT AND THE NORTHEAST CORNER OF SAID SRE JOSHUA DEVELOPMENT TRACT AND IN THE WEST LINE OF WINDING CREEK SUBDIVISION, AN ADDITION TO THE CITY OF JOSHUA, JOHNSON COUNTY, TEXAS, RECORDED IN VOLUME 8, PAGE 806, PLAT RECORDS, JOHNSON COUNTY, TEXAS

THENCE SOUTH 00°46'29" WEST, DEPARTING SAID SOUTH AND NORTH LINES AND CONTINUING ALONG AN EAST LINE OF SAID SRE JOSHUA DEVELOPMENT TRACT AND A WEST LINE OF SAID WINDING CREEK SUBDIVISION AND A WEST LINE OF THAT CERTAIN TRACT OF LAND DESCRIBED IN DEED TO KTV CADDO LP, RECORDED IN VOLUME 3445, PAGE 707, OFFICIAL PUBLIC RECORDS, JOHNSON COUNTY, TEXAS, FOR A TOTAL DISTANCE OF 1224.72 FEET TO A 1/2" IRON ROD WITH PLASTIC CAP FOUND FOR THE SOUTHEAST CORNER OF SAID SRE JOSHUA DEVELOPMENT TRACT AND IN THE NORTH RIGHT OF WAY LINE OF FARM TO MARKET ROAD NUMBER 917, AN 80 FOOT WIDE RIGHT OF WAY;

THENCE NORTH 89°33'59" WEST, DEPARTING SAID EAST AND WEST LINES AND CONTINUING ALONG A SOUTH LINE OF SAID SRE JOSHUA DEVELOPMENT TRACT AND SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 796.39 FEET TO A 1/2" IRON ROD WITH PLASTIC CAP STAMPED "RPLS 4818" SET FOR THE POINT OF CURVATURE OF A NON-TANGENT CURVE, CONCAVE TO THE SOUTH, HAVING A RADIUS OF 6115.75 FEET A CENTRAL ANGLE OF 02°58'45", AND A CHORD OF 317.95 FEET BEARING SOUTH 88°51'18" WEST;

THENCE WESTERLY ALONG SAID CURVE, A DISTANCE OF 317.99 FEET TO A 1/2" IRON ROD WITH PLASTIC CAP STAMPED "RPLS 4818" SET;

SOUTH 86°37'23" WEST, CONTINUING ALONG SAID SOUTH LINE AND SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 75.20 FEET TO A 1/2" IRON ROD WITH PLASTIC CAP STAMPED "RPLS 4818" SET;

SOUTH 87°11'53" WEST, CONTINUING ALONG SAID SOUTH LINE AND SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 679.00 FEET TO A 1/2" IRON ROD FOUND FOR THE SOUTHWEST CORNER OF SAID SRE JOSHUA DEVELOPMENT TRACT AND THE SOUTHEAST CORNER OF THAT CERTAIN TRACT OF LAND DESCRIBED IN DEED TO SKIP HO AND JULIANNA T.T. HO, RECORDED IN INSTRUMENT NUMBER 2010-18170, DEED RECORDS, JOHNSON COUNTY, TEXAS;

THENCE NORTH 00°22'11" EAST, ALONG A WEST LINE OF SAID SRE JOSHUA DEVELOPMENT TRACT AND THE EAST LINE OF SAID HO TRACT, AT A DISTANCE OF 1228.05 FEET PASS THE COMMON EAST CORNER OF SAID HO TRACT AND THAT CERTAIN TRACT OF LAND DESCRIBED IN DEED TO STEPHEN WEATHERRED, RECORDED IN VOLUME 1382, PAGE 710 DEED RECORDS, JOHNSON COUNTY, TEXAS, DEPARTING SAID EAST LINE OF THE HO TRACT AND CONTINUING ALONG THE EAST LINE OF SAID WEATHERRED TRACT, FOR A TOTAL DISTANCE OF 1337.52 FEET TO A 1/2" IRON ROD WITH PLASTIC CAP STAMPED "RPLS 4818" SET;

THENCE DEPARTING SAID EAST AND WEST LINES AND CONTINUING OVER AND ACROSS SAID SRE JOSHUA DEVELOPMENT TRACT, THE FOLLOWING COURSES AND DISTANCES;

NORTH 89°41'03" EAST, A DISTANCE OF 130.82 FEET TO A 1/2" IRON ROD WITH PLASTIC CAP STAMPED "RPLS 4818" SET;

NORTH 44°38'53" EAST, A DISTANCE OF 25.00 FEET TO A 1/2" IRON ROD WITH PLASTIC CAP STAMPED "RPLS 4818" SET FOR THE POINT OF CURVATURE OF A NON-TANGENT CURVE, CONCAVE TO THE NORTHEAST, HAVING A RADIUS OF 60.50 FEET A CENTRAL ANGLE OF 44°16'42", AND A CHORD OF 45.60 FEET BEARING SOUTH 67°29'28" EAST;

SOUTHEASTERLY ALONG SAID CURVE, A DISTANCE OF 46.75 FEET TO A 1/2" IRON ROD WITH PLASTIC CAP STAMPED "RPLS 4818" SET;

SOUTH 89°37'49" EAST, A DISTANCE OF 239.00 FEET TO A 1/2" IRON ROD WITH PLASTIC CAP STAMPED "RPLS 4818" SET FOR THE POINT OF CURVATURE OF A NON-TANGENT CURVE, CONCAVE TO THE NORTHEAST, HAVING A RADIUS OF 60.50 FEET A CENTRAL ANGLE OF 08°50'20", AND A CHORD OF 9.32 FEET BEARING NORTH 85°57'01" EAST;

NORTHEASTERLY ALONG SAID CURVE, A DISTANCE OF 9.33 FEET;

SOUTH 00°02'47" EAST, A DISTANCE OF 76.27 FEET TO A 1/2" IRON ROD WITH PLASTIC CAP STAMPED "RPLS 4818" SET;

NORTH 89°57'13" EAST, A DISTANCE OF 241.22 FEET TO THE POINT OF BEGINNING AND CONTAINING A COMPUTED AREA OF 53.616 ACRES, MORE OR LESS.

COMPILED FROM FIELD TIES AND RECORD DATA ON JANUARY 25, 2022 BY WHITFIELD-HALL SURVEYORS.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, SRE JOSHUA DEV. LLC, BY AND THROUGH THE UNDERSIGNED, ITS DULY AUTHORIZED AGENT, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREINABOVE DESCRIBED PROPERTY AS MOCKINGBIRD HILLS, AN ADDITION TO THE CITY OF JOSHUA, JOHNSON COUNTY, TEXAS, AND WE DO HEREBY DEDICATE THE RIGHTS OF WAY, (ALLEYS, PARKS) AND EASEMENTS SHOWN THEREON TO THE PUBLIC'S USE UNLESS OTHERWISE NOTED.

WE FURTHER ACKNOWLEDGE THAT THE DEDICATIONS AND/OR EXACTIONS MADE HEREIN ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE GROWTH NEEDS OF THE CITY.

WITNESS MY HAND AT JOSHUA, JOHNSON COUNTY, TEXAS THIS THE ____ DAY OF _____, 20__

MIKE SENGALLI
SRE JOSHUA DEV, LLC

STATE OF TEXAS

COUNTY OF JOHNSON

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED MIKE SENGALLI OF SRE JOSHUA DEV. LLC A CORPORATION KNOWN TO ME TO BE THE PERSON WHOSE NAME SUBSCRIBED TO THE ABOVE AND FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION EXPRESSED AND IN THE CAPACITY THEREIN STATED AND AS THE ACT AND DEED OF SAID CORPORATION.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS ____ DAY OF _____, 20__

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES:

THERE ARE NO LIENS AGAINST THE PROPERTY.

THIS IS TO CERTIFY THAT I, JOHNNY D.L. WILLIAMS, A REGISTERED PROFESSIONAL LAND SURVEYOR OF THE STATE OF TEXAS, HAVE PREPARED THIS PLAT OF THE ABOVE SUBDIVISION FROM AN ACTUAL SURVEY ON THE GROUND; AND THAT ALL MONUMENTS FOR LOT CORNERS, ANGLE POINTS, AND POINTS OF CURVATURE SHOWN THEREON AS "SET" WERE PLACED UNDER MY PERSONAL SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION ORDINANCE OF THE CITY OF JOSHUA.

JOHNNY D.L. WILLIAMS
TEXAS R.P.L.S. NO. 4818
WHITFIELD-HALL SURVEYORS, INC.
3559 WILLIAMS ROAD, SUITE 107
FORT WORTH, TEXAS 76116
(817) 560-2916
(817) 560-2996 FAX

DATE

City Plan # FP 2022-01

UTILITY EASEMENTS

ANY PUBLIC UTILITY, INCLUDING THE CITY OF JOSHUA, SHALL HAVE THE RIGHT TO REMOVE ALL OR PART OF ANY BUILDING, FENCES, TREES, SHRUBS, OTHER GROWTHS OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF ITS RESPECTIVE SYSTEMS ON ANY OF THE EASEMENTS SHOWN ON THE PLAT; AND ANY PUBLIC UTILITY, INCLUDING THE CITY OF JOSHUA, SHALL HAVE THE RIGHT AT ALL TIMES OF INGRESS AND EGRESS TO AND FROM AND UPON SAID EASEMENTS FOR THE PURPOSE OF CONSTRUCTION, RECONSTRUCTION, INSPECTION, PATROLLING, MAINTAINING AND ADDING TO OR REMOVING ALL OR PART OF ITS RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING THE PERMISSION OF ANYONE.

NOTES

- DRIVEWAY APPROACH LOCATIONS ON CORNER LOTS SHALL BE LOCATED TO APPROXIMATELY LINE UP WITH THE SIDE OF THE HOUSE OR GARAGE THAT IS FARTHEST FROM THE INTERSECTION.
- NO FENCES OR OTHER STRUCTURES WILL BE ALLOWED WITHIN THE DRAINAGE EASEMENT.
- COMMON LOT AREAS SHOWN ARE TO BE MAINTAINED BY THE HOA.
- ANY LANDSCAPING PROPOSED OR INSTALLED WITHIN THE COMMON LOT AREAS NOTED ABOVE SHALL BE MAINTAINED BY THE HOA.
- HOA SHALL MAINTAIN THE PRIVATE DRAINAGE EASEMENTS AND ANY SWALES LOCATED WITHIN THE REAR YARD OF ANY RESIDENTIAL LOT.
- THE APPROXIMATE 100 YEAR FLOODPLAIN LINE SHOWN WAS DIGITIZED FROM FLOOD INSURANCE RATE MAP NUMBER 48251C01160J, REVISED DECEMBER 4, 2012. THE SUBJECT PROPERTY IS LOCATED WITHIN THE FLOODPLAIN. THE SURVEYOR ASSUMES NO LIABILITY FOR THE ACCURACY OF THAT MAP.
- NO STRUCTURE, OBJECT OR PLANT OF ANY TYPE MAY OBSTRUCT VISION FROM A HEIGHT OF THIRTY INCHES (30) TO A HEIGHT OF TEN FEET (10) ABOVE THE TOP OF THE CURB, INCLUDING, BUT NOT LIMITED TO BUILDINGS, FENCES, WALKS, SIGNS, TREES, SHRUBS, CARS, TRUCKS, ETC., IN THE PUBLIC OPEN SPACE EASEMENT AS SHOWN ON THE PLAT.
- NO CONSTRUCTION OR FILLING, WITHOUT THE WRITTEN APPROVAL OF THE CITY OF JOSHUA, SHALL BE ALLOWED WITHIN A DRAINAGE EASEMENT OR A FLOODPLAIN EASEMENT, AND THEN ONLY AFTER DETAILED ENGINEERING PLANS AND STUDIES SHOW THAT NO FLOODING WILL RESULT, THAT NO OBSTRUCTION TO THE NATURAL FLOW OF WATER WILL RESULT; AND SUBJECT TO ALL OWNERS OF THE PROPERTY AFFECTED BY SUCH CONSTRUCTION BECOMING A PARTY TO THE REQUEST. WHERE CONSTRUCTION IS PERMITTED, ALL FINISHED FLOOR ELEVATIONS SHALL BE A MINIMUM OF ONE FOOT (1) ABOVE THE 100-YEAR FLOOD ELEVATION.
- NO HOUSE, DWELLING UNIT OR OTHER STRUCTURE SHALL BE CONSTRUCTED ON ANY LOT IN THIS ADDITION UNTIL:
 - SUCH TIME AS THE OWNER HAS COMPLIED WITH ALL REQUIREMENTS OF THE SUBDIVISION ORDNANCE OF THE CITY OF JOSHUA REGARDING IMPROVEMENTS WITH RESPECT TO THE ADDITION INCLUDING THE ACTUAL INSTALLATION OF STREETS, WATER, SEWER, DRAINAGE STRUCTURES AND STORM SEWER AND ALLEYS, ALL ACCORDING TO THE SPECIFICATIONS OF THE CITY OF JOSHUA, OR
 - UNTIL AN ESCROW DEPOSIT, SUFFICIENT TO PAY FOR THE COST OF SUCH IMPROVEMENTS, AS DETERMINED BY THE CITY'S ENGINEER, COMPUTED ON A PRIVATE COMMERCIAL RATE BASIS, HAS BEEN MADE WITH THE CITY, ACCOMPANIED BY AN AGREEMENT SIGNED BY THE DEVELOPER AND/OR OWNER, AUTHORIZING THE CITY TO MAKE SUCH IMPROVEMENTS AT PREVAILING PRIVATE COMMERCIAL RATES, OR HAVE THE SAME MADE BY A CONTRACTOR AND PAY FOR THE SAME OUT OF THE ESCROW DEPOSIT, SHOULD THE DEVELOPER AND/OR OWNER FAIL OR REFUSE TO INSTALL THE REQUIRED IMPROVEMENTS WITHIN THE TIME STATED IN SUCH WRITTEN AGREEMENT; OR
 - UNTIL THE DEVELOPER AND/OR OWNER FILES CORPORATE SURETY PERFORMANCE AND PAYMENT BONDS IN A FORM ACCEPTABLE TO THE CITY ATTORNEY WITH THE CITY SECRETARY IN A SUM EQUAL TO THE COST OF SUCH IMPROVEMENTS OF THE ADDITION, GUARANTEING THE INSTALLATION THEREOF WITHIN THE TIME STATED ON THE BONDS.

THESE RESTRICTIONS WITH RESPECT TO REQUIRED IMPROVEMENTS ARE MADE TO ENSURE THE REQUIRED IMPROVEMENTS AND TO GIVE NOTICE TO EACH OWN AND TO EACH PROSPECTIVE OWNER OF LOTS IN THE SUBDIVISION UNTIL SAID REQUIRED IMPROVEMENTS ARE ACTUALLY MADE OR PROVIDED FOR ON THE ENTIRE BLOCK ON THE STREETS AND/OR STREETS ON WHICH THE PROPERTY ABUTS AS DESCRIBED HEREIN AND IN COMPLIANCE WITH THE CITY OF JOSHUA SPECIFICATIONS.

- BUILDING SETBACKS:
FRONT - 25' WITH FRONT ENTRY GARAGE; 15' WITH "J" SWING GARAGE
REAR - 20'
SIDES - 5' ADJACENT TO LOTS; 15' ADJACENT TO RIGHT OF WAY.
- THE OWNERS OF ALL CORNER LOTS SHALL MAINTAIN SIGHT TRIANGLES IN ACCORDANCE WITH THE CITY'S SUBDIVISION ORDINANCE.
- ALL OPEN SPACE LOTS PROVIDED WITHIN THE TRACT WILL BE MAINTAINED BY THE HOMEOWNER ASSOCIATION. THIS WILL INCLUDE ALL IMPROVEMENTS WITHIN THE OPEN SPACE, I.E., DETENTION PONDS, DRAINAGE CHANNELS, WALKS AND LANDSCAPING NOT SPECIFICALLY CONVEYED TO THE CITY OF JOSHUA.

OWNER / DEVELOPER
SRE JOSHUA DEV, LLC
P.O. BOX 939
BURLESON, TX 76097
PHONE: 817-426-3113
EMAIL: TCLLC@AOL.COM

SURVEYOR
WHITFIELD-HALL SURVEYORS
3559 WILLIAMS ROAD, SUITE 107
FORT WORTH, TX 76116
PHONE: 817-560-2916
TX TBPELS: 10138500
EMAIL: WHITFIELDHALL@SBCGLOBAL.NET

ENGINEER
PELOTON LAND SOLUTIONS, INC
9800 HILLWOOD PARKWAY
SUITE 250
FORT WORTH, TX
PHONE: 817-562-76177
TX FIRM NO 76177

PLANNED DEVELOPMENT DISTRICT
ORDINANCE NO. 742-2019

OF 2 SHEETS SHEET 2	WHITFIELD - HALL SURVEYORS REGISTERED PROFESSIONAL LAND SURVEYORS 3559 WILLIAMS ROAD, SUITE 107 FORT WORTH, TEXAS 76116 (817) 560-2916 JOHNNY@WHITFIELDHALL.ORG	LOTS 15-28, C, BLOCK 1; LOTS 15-53, B, C, BLOCK 3; LOTS 1-18, BLOCK 4; LOTS 1-24, BLOCK 5; LOTS 1-24, BLOCK 6; LOTS 1-24, BLOCK 7 BEING A 53.616 ACRE TRACT OF LAND SITUATED IN THE W.W. BYERS SURVEY, ABSTRACT NUMBER 29 CITY OF JOSHUA, JOHNSON COUNTY, TEXAS CONTAINING 143 SINGLE FAMILY RESIDENTIAL LOTS AND 6 OPEN SPACE LOTS	Job #:	SRJ19001	Revisions:
			Drawn By:		
			Checked By:		
			Date:	05.03.2022	



**Planning & Zoning Agenda
July 5, 2022**

Minutes Resolution

Action Item

Agenda Description:

Discuss, consider, and possible action on approving a final plat regarding 2.2945 acre of land, Lots 7 & 8, Block 1, in the George Casseland Survey, Abstract No. 173, County of Johnson, Texas. This property is located in the 1000 Block of South Broadway to allow for a restaurant and retail development.

Background Information:

History: A preliminary plat of Joshua Station Addition was approved in 2008. The subject property is referred to as Lot 7 & 8, as per the preliminary plat and will be final platted as such.

Zoning: This property is currently zoned (JSOD) Joshua Station Overlay District but will be zoned (PD) Planned Development District pending approval from the City Council Board meeting on July 21, 2022.

Analysis: The proposed development of this property is to allow for a restaurant and retail development on Lot 7 and a future unknown development for Lot 8.

Utilities: Water is provided by Johnson County Special Utility District. A letter of final approval has been submitted.

Transportation: No right-of-way dedication is being dedicated.

Financial Information:

N/A

City Contact and Recommendations:

This plat appears to meet the minimum requirements for a final plat as set forth in the City of Joshua Subdivision Ordinance therefore, we recommend approval.

Aaron Maldonado

Director of Development Services

Attachments:*Item 5.*

1. Final Plat Application
2. Legal Description
3. Vicinity Map
4. JCSUD Approval Letter
5. Final Plat Joshua Station Lot 7 & 8

City of Joshua Development Services Universal Application

Please check the appropriate box below to indicate the type of application you are requesting and provide all information required to process your request.

- | | | |
|--|---|--|
| <input type="checkbox"/> Pre-Application Meeting | <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Zoning Change |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Zoning Variance (ZBA) | <input type="checkbox"/> Subdivision Variance |
| <input type="checkbox"/> Preliminary Plat | <input checked="" type="checkbox"/> Final Plat | <input type="checkbox"/> Amending Plat |
| <input type="checkbox"/> Replat | <input type="checkbox"/> Planned Development Concept Plan | <input type="checkbox"/> Planned Development Detailed Plan |
| <input type="checkbox"/> Minor Plat | <input type="checkbox"/> Other _____ | |

PROJECT INFORMATION

Project Name: Joshua Station Restaurant and Retail

Project Address (Location): South of 1036 S Broadway St Suite 102, Joshua, Texas, 76058

Existing Zoning: C-2 General Retail Proposed Zoning: C-2 General Retail

Existing Use: Vacant Proposed Use: Retail and Restaurant

Existing Comprehensive Plan Designation: Commercial/Office/Service Gross Acres: 1.425 Acres

Application Requirements: The applicant is required to submit sufficient information that describes and justifies the proposal. See appropriate checklist located within the applicable ordinance and fee schedule for minimum requirements. Incomplete applications will not be processed.

APPLICANT INFORMATION

Applicant: Aaron Hawkins Company: Jones|Carter / Quiddity

Address: 4500 Mercantile Plaza Suite 210 Tel: 682-268-2207 Fax: _____

City: Fort Worth State: TX ZIP: 76137 Email: ahawkins@jonescarter.com

Property Owner: Brian Lent Company: Highline Real Estate Group

Address: 100 Crescent Court Tel: 214-646-1466 Fax: _____

City: Dallas State: TX ZIP: 75201 Email: blent@highline-re.com

Key Contact: Aaron Hawkins Company: Jones|Carter / Quiddity

Address: 4500 Mercantile Plaza Suite 210 Tel: 682-268-2207 Fax: _____

City: Fort Worth State: TX ZIP: 76137 Email: ahawkins@jonescarter.com

SIGNATURE OF PROPERTY OWNER OR APPLICANT (SIGN AND PRINT OR TYPE NAME)

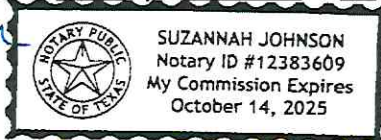
SIGNATURE: Brian R. Lent
(Letter of authorization required if signature is other than property owner)

Print or Type Name: Brian R. Lent

Known to me to be the person whose name is subscribed to the above and foregoing instrument, and acknowledged to me that they executed the same for the purposes and consideration expressed and in the capacity therein stated.

Given under my hand and seal of office on this _____ day of _____ 20____

Suzannah Johnson
Notary Public



Signature: Suzannah Johnson Date: 3/29/22

For Departmental Use Only

Case No.: FP-2022-06

Project Manager: _____

Total Fee(s): 3,000.00

cc A/M
Check No.: _____

Date Submitted: 3/29/22

Accepted By: [Signature]

Date of Complete Application: 3-29-22

PAID

STATE OF TEXAS §

COUNTY OF JOHNSON §

A **METES & BOUNDS** description of a certain 2.2945 acre tract of land situated in the George Casseland Survey, Abstract 173 in Johnson County, Texas, being all of a called 2.2927 acre tract conveyed to Joshua Retail Partners, LTD by Special Warranty Deed recorded in Clerk's File No. 2021-23057 of the Johnson County Official Public Records (JCOPR); said 2.2945 acre tract being more particularly described as follows with all bearings being based on the Texas Coordinate System, North Central Zone, NAD 83;

COMMENCING at a found cut "X" in concrete being the northwest corner of a called 1.2348 acre tract conveyed to Joshua Grove Retail, LP by Special Warranty Deed recorded in Clerk's File No. 2020-40953 of the JCOPR, also being Lot 6, Block 1 of Joshua Station Addition (unrecorded), and being the northeast corner of a called 9.750 acre tract conveyed to Cypress Creek Joshua Station, LP by Special Warranty Deed recorded in Clerk's File No. 2015-14145 of the JCOPR, also being Lot 10, Block 1 of Cypress Creek at Joshua Station recorded in Volume 10, Page 879 of the Johnson County Plat Records (JCPR);

THENCE, South 01°45'33" East, 179.33 feet along the west line of said Lot 6, east line of said Lot 10 to a found 5/8-inch iron rod (with cap stamped "RPLS 1890") being the southwest corner of said Lot 6 and being the northwest corner of said 2.2927 acre tract and being the **POINT OF BEGINNING** of the herein described tract;

THENCE, North 88°14'30" East, 300.26 feet along the south line of said Lot 6, north line of said 2.2927 acre tract to a set cut "X" in concrete being the southeast corner of said Lot 6, northeast corner of said 2.2927 acre tract and being in the west right of way line of South Broadway Street (a variable width right of way), from which a found 5/8-inch iron rod (with cap stamped "Pate Surveyors") being the northeast corner of said Lot 6, bears North 01°45'19" West, 179.19 feet;

THENCE, South 01°45'19" East, 332.84 feet along the east line of said 2.2927 acre tract, west line of said South Broadway Street to a set cut "X" in concrete being the southeast corner of said 2.2927 acre tract, northeast corner of a called 1.1529 acre tract conveyed to CFT NV Developments, LLC by Special Warranty Deed recorded in Clerk's File No. 2021-16764 of the JCOPR, also being Lot 9, Block 1 of Joshua Station Addition recorded in Document No. 2021-77 of the JCPR, from which a found 1/2-inch iron rod being the southeast corner of said Lot 9, bears South 01°45'19" East, 232.34 feet;

THENCE, South 88°13'27" West, 300.24 feet along the south line of said 2.2927 acre tract, north line of said Lot 9 to a set 5/8-inch iron rod (with cap stamped "Jones|Carter Property Corner") being the northwest corner of said Lot 9, southwest corner of said 2.2927 acre tract and being in the east line of said Lot 10, from which a found 1/2-inch iron rod (with cap stamped "Ft. Worth Surveyors") being the southwest corner of said Lot 9, southeast corner of said Lot 10, bears South 01°45'33" East, 225.98 feet.

THENCE, North 01°45'33" West, 332.93 feet along the west line of said 2.2927 acre tract, east line of said Lot 10 to the **POINT OF BEGINNING, CONTAINING** 2.2945 acres of land in Johnson County, Texas, as shown on Drawing No. 16902 in the office of Jones|Carter in Plano, Texas.

Joshua Retail Partners, LTD
2.2945 Acres

George Casseland Survey
Abstract No. 173

Item 5.

Jones|Carter
2805 Dallas Parkway, Suite 600
Plano, Texas 75093
(972) 488-3880
Texas Board of Professional Engineers & Land Surveyors
Registration No. 100461-03

Acting By/Through Eduardo Martinez
Registered Professional Land Surveyor
No. 5274
Emartinez@jonescarter.com



The screenshot displays a web-based GIS application. The map shows several land parcels outlined in red and blue. Parcel numbers are visible in red text: 126.4932.01060, 126.0173.03793, 126.4932.01090, 126.0173.03790, 126.0636.01950, and 126.0636.01941. A vertical orange road is labeled 'S Broadway St' with a '174' marker. Horizontal roads at the top are labeled 'Joshua Station Blvd', and at the bottom are 'Mountainaire Rd' and 'Plum St'. A white information popup window is open over the map, titled '(1 of 2)'. It contains the following sections: 'Parcel Owner:' with a link 'Click Here for GIS Shapefile Data'; 'Property Information' with fields for Property ID, Legal Acreage, GEO ID, Legal Description, and Tract or Lot; 'Property Location' with a Street Name field; 'Owner Information' with an Owner Name field; and 'Deed Information' with a 'Zoom to' link. The popup has a scrollbar on the right and a close button (X) in the top right corner. At the bottom of the map, there is a dark navigation bar with icons for home, edit, pan, search, and zoom. Below the navigation bar, the text 'Maps Contributors: Baylor Un' is partially visible.

Joshua Station Blvd

Joshua Station Blvd

126.4932.01060

126.0173.03793

126.4932.01090

126.0173.03790

174

S Broadway St

174

Mountainaire Rd

Plum St

126.0636.01950

126.0636.01941

(1 of 2)

Parcel Owner:

[Click Here for GIS Shapefile Data](#)

Property Information

Property ID:

Legal Acreage:

GEO ID:

Legal Description:

Tract or Lot:

Property Location

Street Name:

Owner Information

Owner Name:

Deed Information

[Zoom to](#)

Maps Contributors: Baylor Un



June 3, 2022

Location: Joshua Station Addition
Lots 7 and 8, Block 1

To Whom This May Concern:

Pursuant your request, I can confirm that the aforementioned property is located within the service area of Johnson County Special Utility District (JCSUD). JCSUD provides adequate water service to our customers in accordance with the rules and regulations of the Texas Commission on Environmental Quality (TCEQ) and Public Utility Commission (PUC). The water supplied complies with standard governing chemical and bacteriological quality of drinking water.

Johnson County Special Utility District does have a Water Certificate of Convenience and Necessity granted by the Texas Water Commission to serve the area referenced above.

This letter **does not** verify approval on the utility plans for this development. **However**, the developer will need to follow the development process. The developer will be required to install the infrastructure to service the development. Capacity cannot be determined until the process has been followed.


A final plat was submitted for review to the District. The easements have been properly noted on the plat. A copy of the plat, approved by JCSUD, is enclosed with this letter.

Sincerely,

Nan Bise
System Development Supervisor
nbise@jcsud.com
(817) 760-5206

Enclosure: Submitted Plat for Approval

NORTH
SCALE: 1" = 30'

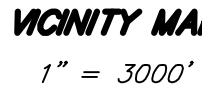


A horizontal scale bar with alternating black and white segments. It is marked with the numbers 0, 30, 60, and 90 at regular intervals.

City Secretary

Chairman: _____

Planning & Zoning Commission Date _____



13. There are no liens against the property.

THENCE, North 01°45'33" West, 332.93 feet along the west line of said 2.2927 acre tract, east line of said Lot 10 to the POINT OF BEGINNING, CONTAINING 2.2945 acres of land in Johnson County, Texas, as shown on Drawing No. 16902 in the office of Jones|Carter in Plano, Texas.



BC	BACK OF CURB
CF	COUNTY CLERK'S FILE NUMBER
CM	CONTROLLING MONUMENT
EA	EDGE OF ASPHALT
EC	EDGE OF CONCRETE
ES	EDGE OF SIDEWALK
IR	IRON ROD
JCOPR	JOHNSON COUNTY OFFICIAL PUBLIC RECORDS
JCPR	JOHNSON COUNTY PLAT RECORDS
"S"	SET 5/8-INCH IRON ROD (W/ CAP STAMPED "JONES CARTER PROPERTY CORNER") FOR CORNER
"SX"	SET CUT "X" IN CONCRETE FOR CORNER

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

WITNESS my (our) hand(s) at Joshua, Johnson County, Texas this the _____ day of _____, 2_____.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Forney, Texas

WITNESS, my hand, this the ____ day of _____, 20____.

BY:

Authorized Signature of Owner

Printed Name and Title

STATE OF TEXAS
COUNTY OF JOHNSON

Given upon my hand and seal of office this _____ day of _____, 2_____.

Notary Public in and for the State of Texas

My Commission Expires:

STATE OF TEXAS
COUNTY OF COLLIN

Preliminary - For Review

Eduardo Martinez
emartinez@jonescarter.com

Texas R.P.L.S. No. 5274

OWNER:

JOSHUA RETAIL
PARTNERS, LTD
100 CRESCENT COURT
SUITE 1250
DALLAS, TX 75201
TEL: (214)-646-1466
CONTACT: BRIAN R. LENT

FINAL PLAT
OF
LOTS 7 AND 8, BLOCK 1
JOSHUA STATION ADDITION
2.2945 ACRES
OUT OF THE
GEORGE CASSELAND SURVEY, A-173
CITY OF JOSHUA, JOHNSON COUNTY, TEXAS
MAY 2022

SURVEYOR/ENGINEER:

Texas Board of Professional Engineers and Land Surveyors
Registration Nos. F-23290 & 10046100
2805 Dallas Parkway, Suite 600 Plano, Texas 75093 972.488.388

SHEET 1 OF 1

DWG. No. 16902