



PLANNING & ZONING BOARD MEETING AGENDA

June 02, 2025 at 4:00 PM

Council Chambers – 340 Ocean Drive and YouTube

NOTICE: If any person decides to appeal any decision of the Planning & Zoning Board at this meeting, he or she will need a record of the proceedings and for that purpose, he or she may need to ensure that a verbatim record of the proceedings is made, such record includes the testimony and evidence upon which the appeal is to be based. The Town does not prepare or provide such record. ***Persons with disabilities requiring accommodations in order to participate in the meeting should contact Caitlin E. Copeland-Rodriguez, Town Clerk, at least 48 hours in advance to request such accommodations.***

The meeting will be broadcast live on The Town of Juno Beach YouTube page and can be viewed any time at: <https://www.youtube.com/@townofjuno-beach477/streams>

HOW CITIZENS MAY BE HEARD: Members of the public wishing to comment publicly on any matter, including items on the agenda may do so by: Submitting their comments through the Public Comments Webform at: https://www.juno-beach.fl.us/towncouncil/webform/public-comments#_blank (all comments must be submitted by Noon on day of Meeting). Please be advised that all email addresses and submitted comments are public record pursuant to Chapter 119, Florida Statutes (Florida Public Records Law); or make their comment in-person; or participate from a remote location using Zoom – please contact the Town Clerk at ccopeland@juno-beach.fl.us by Noon on the day of the meeting to receive the Meeting ID and Access Code. (Please note that all members participating via Zoom must login at least 15 minutes prior to the meeting and will be muted upon entry until Public Comments is called).

****Please note that the Zoom meeting will lock for public comments at 4pm and no other entries will be permitted.***

All matters listed under Consent Agenda, are considered to be routine by the Planning & Zoning Board and will be enacted by one motion in the form listed below. There will be no separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

CALL TO ORDER

PLEDGE ALLEGIANCE TO THE FLAG

ADDITIONS, DELETIONS, SUBSTITUTIONS TO THE AGENDA

COMMENTS FROM THE TOWN ATTORNEY AND STAFF

COMMENTS FROM THE PUBLIC

All Non-Agenda items are limited to three (3) minutes. Anyone wishing to speak is asked to complete a comment card with their name and address prior to the start of the meeting as well as state their name and address for the record when called upon to speak (prior to addressing the Board). The Board will not discuss these items at this time.

CONSENT AGENDA

1. Planning & Zoning Board Meeting Minutes - May 19, 2025

BOARD ACTION/DISCUSSION ITEMS

2. Appearance Review – 430 Mars Way
3. Ordinance No. 793 – Removal of Architectural Review (Building Design Elements) in Appearance Review for Single-Family (and Two-Family) Dwellings

COMMENTS FROM THE BOARD

ADJOURNMENT



PLANNING & ZONING BOARD MEETING MINUTES

May 19, 2025 at 4:00 PM

Council Chambers – 340 Ocean Drive and YouTube

PRESENT: MICHAEL STERN, CHAIR
 JIM FERGUSON, VICE CHAIR
 JAMES EHRET, BOARDMEMBER
 JONATHAN BUTLER, BOARDMEMBER
 BRIAN COLE, BOARDMEMBER
 CAROL RUDOLPH, ALTERNATE BOARDMEMBER

ALSO PRESENT: FRANK DAVILA, DIRECTOR OF PLANNING & ZONING
 LEONARD RUBIN, TOWN ATTORNEY
 STEPHEN MAYER, PRINCIPAL PLANNER
 FABINNE AZEMAR, PLANNING TECHNICIAN
 YASMIN HAMEL, TOWN CLERK DESIGNEE

AUDIENCE:

CALL TO ORDER – 4PM

PLEDGE ALLEGIANCE TO THE FLAG

ADDITIONS, DELETIONS, SUBSTITUTIONS TO THE AGENDA - None

COMMENTS FROM THE TOWN ATTORNEY AND STAFF - None

COMMENTS FROM THE PUBLIC

All Non-Agenda items are limited to three (3) minutes. Anyone wishing to speak is asked to complete a comment card with their name and address prior to the start of the meeting as well as state their name and address for the record when called upon to speak (prior to addressing the Board). The Board will not discuss these items at this time.

Public Comments Opened at 4:02pm.

Public Comments Closed at 4:05pm.

CONSENT AGENDA

1. Planning & Zoning Board Meeting Minutes - April 7, 2025

MOTION: Ferguson/Ehret made a motion to approve the consent agenda.

ACTION: The motion passed unanimously.

BOARD ACTION/DISCUSSION ITEMS *(A Public Comment Period was provided for each item below.)*

2. Appearance Review – 370 Apollo Drive

MOTION: *Ferguson/Butler made a motion to approve the application for appearance review for the proposed addition to the single-family residence located at 370 Apollo Drive.*

ACTION: *The motion passed unanimously.*

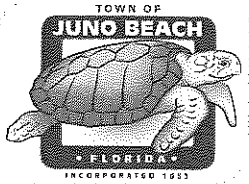
COMMENTS FROM THE BOARD

ADJOURNMENT

Chair Stern adjourned the meeting at 4:32pm.

Michael Stern, Chair

Caitlin E. Copeland-Rodriguez, Town Clerk



TOWN OF JUNO BEACH

Item #1.

PUBLIC COMMENT CARD

ANY CITIZEN WISHING TO SPEAK SHOULD COMPLETE THIS CARD AND GIVE IT TO THE TOWN CLERK PRIOR TO THE START OF THE MEETING.

AGENDA ITEM #: not on agenda

DATE: 5/19/25

NAME: John Stalluto

PHONE NO.: _____

REPRESENTING (IF APPLICABLE): _____

ADDRESS: 401 Sunset Way

CHECK WHAT MAY APPLY:

☐

SUPPORT

☐

OPPOSE

☒

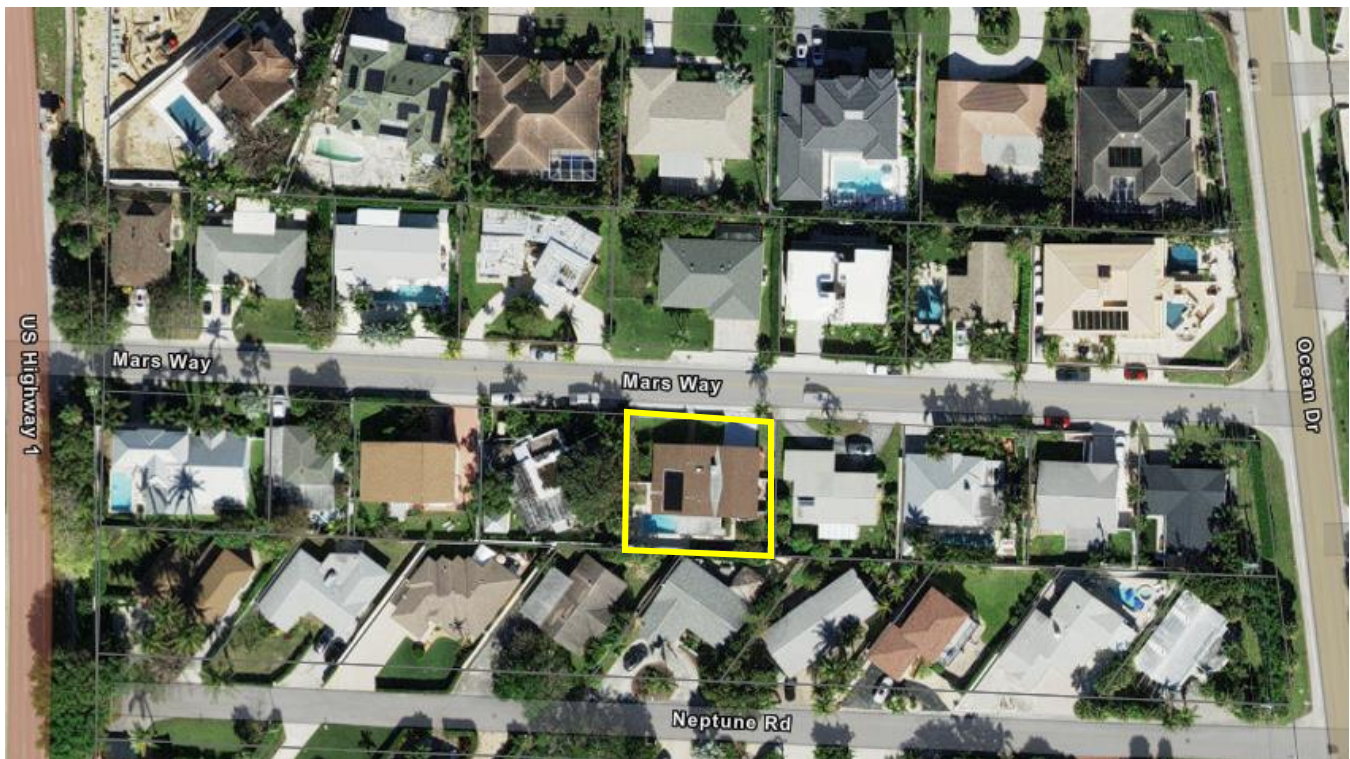
I WISH TO SPEAK



Meeting Name: Planning & Zoning Board
Meeting Date: June 2, 2025
Prepared By: Stephen Mayer
Item Title: Appearance Review – 430 Mars Way

DISCUSSION:

The Town has received an application for Appearance Review from Gregory Bonner (“Agent”) representing SPB Investors LLC and Chris and Mary DeBellis (“Applicants and Owners”) for the property located at 430 Mars Way (“Property”). The Property is zoned Residential Single Family (RS-3) with a Future Land Use classification of Low Density Residential (LDR) (up to 5 DU/AC). The existing one-story home was built in 1977 and is approximately +/- 2,340 square feet in size (1,611 square feet under air), with a lot area of .16 acres or +/- 7,000 square feet. Photos of the existing house are on the next page.





430 Mars way front



430 Mars way side yard



Proposed Rendering (Front)

The Applicant is seeking to construct a 1,756 square foot second-story addition with a 283-foot front yard facing terrace. Please see the rendering above. For the purposes of total square footage, please note that open areas like terraces and balconies are not included in gross floor area, by definition. The requested addition will increase the total building square footage under roof from 2,058 square feet to 3,814 square feet. The total footprint remains unchanged (2,344 square feet), thereby maintaining the lot coverage of 33%. Section 34-116(3) (b) (items 2 through 7) of the Town's Zoning Code requires the Planning and Zoning Board (acting as the Architectural Review Board) to determine whether the proposed addition meets the criteria below. For the Board's review and consideration, staff has provided its professional opinion to the Appearance Review Criteria (staff response is **bolded**).

Appearance Review Criteria

2. Is of a design and proportion which enhances and is in harmony with the area. The concept of harmony shall not imply that buildings must look alike or be of the same style. Harmony can be achieved through the proper consideration of setback, scale, mass, bulk, proportion, overall height, orientation, site planning, landscaping, materials, and architectural components including but not limited to porches, roof types, fenestration, entrances, and stylistic expression. For the purpose of this section, the comparison of harmony between buildings shall consider the preponderance of buildings or structures within 300 feet from the proposed site of the same zoning district;

The area of the lot is +/-7,000 square feet, or 0.16 acres, and the proposed lot coverage ratio of the 2,344 square foot footprint would be 33%, which complies with the Town's Zoning Code requirement for lot coverage per Section 34-268. The proposed home is a two-story structure. In the

backup materials provided, page S2 indicates how applicant has provided a review of the residential structures in the context of the property. Using data from the Property Appraiser's Office, staff has created the following table summary for the Board's review:

<i>Address</i>	<i>Year Built</i>	<i>Lot Total Square Feet (acres)</i>	<i>Lot Size to Total Square Feet Ratio</i>	<i>Total Square Feet</i>	<i>Square Feet Under Air</i>	<i>Story</i>
491 Mars Way	1986	.09 3,920 SF	0.33	1,284	1,042	1
490 Mars Way	1990	.18 7,841 SF	0.49	3,814	3,053	2
481 Mars Way	1973	.16 7,000 SF	0.31	2,165	2,165	1
480 Mars Way	1954	.09 3,920 SF	0.40	1,556	1,556	1
471 Mars Way	1960	.14 6,098 SF	0.27	1,674	1,644	1
470 Mars Way	1987	.14 6,098 SF	0.37	2,272	1,820	2
451 Mars Way	1950	.17 7,405 SF	0.31	2,314	1,852	1
450 Mars Way	1954	.16 7,000 SF	0.26	1,805	1,048	1
430 Mars Way	1977	.16 7,000 SF	0.33 0.54	2,340 3,814	1,611 3,337	1 2
420 Mars Way	1964	.14 6,098 SF	0.25	1,508	1,170	1
431 Mars Way	1995	.18 7,841 SF	0.28	2,172	1,716	1
421 Mars Way	2018	.14 6,098 SF	0.65	3,992	3,551	2
400 Mars Way	1959	.14 6,098 SF	0.32	1,924	1,296	1
401 Mars Way	1959	.14	0.21	1,276	1,016	1

		6,098 SF				
390 Mars Way	1977	.12	0.49	2,538	1,764	2
		5,227 SF				
571 Ocean Drive	2007	.23	0.61	6,148	6,148	2
		10,019 SF				
551 Ocean Drive	1971	.14	0.30	1,808	1,344	1
		6,098 SF				
<i>Average</i>			<i>0.36</i>	<i>2,358</i>	<i>1,988</i>	<i>31% 1 Story</i>

Figures in **Red** are the highest in the range, figures in **Green** are the lowest in the range.

The **bold** figures are the subject property.

Study Area Summary Statistics: FAR Range is 0.21 to 0.65. FAR Average = 0.36

TOTAL square foot Range is 1,276 to 6,148 square feet. TOTAL square foot Average = 2,358 square feet.

According to the table above, the proposed second-story addition would result in an increase in overall square footage of the proposed residence (by 1,756 square feet) and would be inside the range of the total square footage for the study area. The proposed square footage (3,814 square feet) would be 2,334 square feet smaller than the largest existing home in the study area, and 178 square feet smaller than the second largest home. The proposed square footage would equal to the third largest home in the study area. Staff notes the applicant is proposing a second story above existing footprint and will not be increasing the lot coverage.

Staff notes that the requested total square feet (3,814 square feet) is under twice the average total square footage (4,716 square feet) and within the range of FAR and total square footage, thereby meeting preponderance of bulk and mass within the study area.

Staff also considers other harmony factors such as proper site orientation, landscaping, scale, proportion, materials and architectural styles. The applicant states in their justification letter, the standing seam metal roof is taupe in color with a relatively low pitch, similar to other newer existing homes in the area. The applicant is using dark bronze frames for window treatments, with an off-white smooth stucco finish on the first floor and a Hardi cement board horizontal siding on the second floor, separated by a trim board. Staff finds that the house is well proportioned due to these architectural choices.

3. Elevator and stairwell shafts and other modern operations and features of a building shall be either completely concealed or shall incorporate the elements of the architectural style of the structure; rooftop equipment and elevator and mechanical penthouse protrusions shall be concealed; and parking garages and other accessory structures shall be designed with architectural features and treatments so that they are well proportioned and balanced and in keeping with the architectural style of the principal structure;

The proposed home fits into a category of modern/contemporary style with elements of traditional American home style. In particular, modern and contemporary designs often feature front terraces with metal railing and metal circular stairwells, as they contribute to a sense of openness, and

functionality. American home styles typically feature simple rooflines, front facing gables and combines several design elements of classic design. As noted, there will be a circular stairwell visible from the front yard, however, it is incorporated into the major design elements of the front terrace. Because the stairwell is an integral part of the form and function of the home, it would not be in keeping concealing the stairwell by a wall.

4. Shall have all on-site structures and accessory features (such as, but not limited to, light fixtures, benches, litter containers, including recycling bins, traffic and other signs, letter boxes, and bike racks) compatible in design, materials, and color;

There are no additional accessory structures on this site.

5. Shall have a design in which buildings over 40 feet in height shall appear more horizontal or nondirectional in proportion rather than vertical, accomplished by the use of architectural treatments as described in these criteria;

The height of the applicant's addition will comply with these criteria, the addition of a second story does not diminish the horizontal appearance of the house, as the front yard terrace serves to break up the massing of the home. The existing back yard patio being proposed as a terrace provides a similar treatment. The maximum height of the proposed home is 27 feet 9 inches, which is below the maximum height of 30 feet.

6. Shall locate and design mechanical equipment with architectural treatments so that any noise or other negative impact is minimized;

There is one additional A/C unit requested and it will be properly screened with the existing A/C units on the side yard.

Harmony

In consideration of the term "harmony" staff believes that the proposed single-family home is harmonious (please see below). Harmony means a quality which produces an aesthetically pleasing whole as in an arrangement of varied architectural and landscape elements. Harmony can be achieved through the proper consideration of scale, mass, bulk, proportion, height, orientation, site planning landscaping, materials and architectural components including but not limited to porches, roof types, fenestration, entrances, and stylistic expression.

Bulk means the overall size and volume of a building or structure.

Staff's response: The proposed structure on 430 Mars Way is a total of 3,814 gross square feet, which is within the range of all homes in the study area. The Floor Area Ratio of the total gross area of the building to the lot size is 0.54. The size and volume of the proposed single-family home is compatible with the average Floor Area Ratio (the average is 0.36) and total square footage (the average is 2,358). The proposed bulk is 1.6 times the average home size in the study area. In terms of FAR, the proposed volume ratio is 1.5 times the average FAR in the study area.

Staff notes that bulk is often measured in terms of volume. Since FAR is the most comparable measurement of volume, the proposed 0.54 FAR is harmonious with the existing FAR in the study area, as it is within the range of existing FAR (between 0.21 and 0.65) and does not exceed twice the average ($0.36 \times 2 = 0.72$).

Mass means the relationship and sizes between different volumes of a building or structure.

Staff's response: As mentioned, the total gross square footage for the other structures in the study area ranges between 1,276 square feet and 6,148 square feet with the average house size being 2,358 square feet. The proposed structure is 3,814 total gross square feet. Therefore, the total mass of the proposed single-family home is within the range and 1.6 times above the average in the context of the other structures located in the study area. The proposed addition is 2,334 square feet smaller than the largest house within 300 feet of the property (located at 571 Ocean Drive). Even if the largest house is not used, the proposed house is 178 square feet smaller than the second largest house (located at 421 Mars Way).

Staff notes that mass is often depicted as a two-dimensional plane, typically from the perspective of the public view, or street frontage. The applicant has provided architectural features, such as the front yard terrace with metal railing and a metal circular staircase, front facing gable roof with a round louver gable vent, faux lap siding on the second story, front facing balcony, a front door canopy, and window fenestrations that break up the visual massing of the building. Please see the 2-dimensional visual massing below.



Proposed South (Front) Elevation

Proportion means the visual effect of relationship of one portion to another or of a portion to the whole. or of one thing to another.

Staff's response: The proportion (ratio) of the elements such as windows, doors, and garages are compatible with the facade (whole) of the building. The applicant is changing the style of the building, including elements such as windows, doors and garage doors. It is staff's professional opinion that the proposed building provides an updated architectural style, removing the 1970's style twin peak roof, and the individual elements of the proposed building is well proportionate and balanced to the whole of the building.

Scale means the proportions of a building in relation to its surroundings, particularly other buildings in the surrounding context.

Staff's response: The scale of the proposed single-family home (also known as the vertical proportion) is compatible, as the visual effect of the addition is not overbearing to the width of the house. Please note that since 31% of the existing homes in the study area are one-story structures, the proposed home is not in technically in harmony with the "preponderance of the study area". However, staff notes the code allows second story buildings, and the property

provides 20' and 10' side setbacks, whereas RS-3 requires only 15 feet total, (7.5 foot setbacks when balanced). The applicant is providing the adjacent lots a total of two times the side setback for privacy than required. (30 feet versus 15 feet).

In summary, it is the staff's professional opinion that the proposed two-story addition is **in harmony** with the other structures in the study area. This is particularly the case when several components of harmony, such as bulk, mass, orientation, materials, and setbacks are taken into consideration.

RECOMMENDATION:

Staff recommends that the Planning and Zoning Board review the information that has been provided, and consider approval or denial, or approval with modifications, considering constructing a 1,756 square foot second-story addition with a 283-foot front yard facing terrace.

ATTACHMENTS:

430 Mars Way Appearance Review Application and Backup Material



PRIVATE RESIDENCE

430 MARS WAY JUPITER, FL 33480

DRAWING INDEX

ARCHITECTURAL

CV	DRAWING INDEX
A0.0	GENERAL NOTES
A0.1	ZONING DATA / OVERALL SITE PLAN
D1.0	EXISTING/DEMO FIRST FL PLAN
D1.1	EXISTING/DEMO ROOF PLAN
A1.0	PROPOSED FIRST FL PLAN
A1.1	PROPOSED SECOND FL PLAN
A1.2	PROPOSED ROOF PLAN
A1.3	PROPOSED FIRST FL RCP
A1.4	PROPOSED SECOND FL RCP
D2.0	EXISTING/DEMO ELEVATIONS
A2.0	PROPOSED SOUTH AND WEST ELEVATIONS
A2.1	PROPOSED NORTH AND EAST ELEVATIONS
A3.0	OVERALL BUILDING SECTIONS
A3.1	WALL SECTIONS AND DETAILS
A3.2	WALL SECTION AND DETAILS
A4.0	TYPICAL DETAILS
A5.0	WINDOW AND DOOR SCHEDULE AND DETAILS

STRUCTURAL

S-1	FOUNDATION PLAN
S-2	FLOOR FRAMING PLAN
S-3	ROOF FRAMING PLAN
S-4	DETAILS
S-5	DETAILS
S-6	DETAILS
S-7	DETAILS
S-8	DETAILS
S-9	GENERAL DETAILS
S-10	GENERAL NOTES
S-11	WIND DESIGN PRESSURES

MEP

M1 -	1st FLOOR MECHANICAL PLAN
M2 -	2nd FLOOR MECHANICAL PLAN
E1 -	1st FLOOR ELECTRICAL PLAN/ ELECTRICAL RISER DIAGRAM
E2 -	2nd FLOOR ELECTRICAL PLAN / PANEL SCHEDULES
P1 -	1st FLOOR SANITARY/GAS PLAN
P2 -	2nd FLOOR SANITARY PLAN
P3 -	1st FLOOR WATER PLAN
P4 -	2nd FLOOR WATER PLAN

CONSULTANTS

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PALM BEACH, FL 33480

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T 561.312.3453

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19528 SEDGEFIELD TERRACE
BOCA RATON, FL 33498

CONTACT: TAYLAN KALKAN, PE
T 561.756.4106
E ENGPLUS@CS.COM

MEP

INTERNATIONAL CONSULTING ENGINEERS &
DESIGN, LLC
4310 WEST BROWARD BLVD.
PLANTATION, FL 33317

CONTACT: JOE SPASOVSKI, P.E.
T 561.707.6795
E JOE@ICEDENGINEERING.COM

SCOPE OF WORK

ADDITION/INTERIOR RENOVATION TO EXISTING ONE STORY RESIDENCE.
NEW SECOND FLOOR. ROOF TRUSS AND RELATED FINISHES.
NEW INTERIOR REMODEL OF EXISTING FIRST FLOOR.
EXISTING FIRST FLOOR CONCRETE SLAB AND CBS WALLS TO REMAIN.
MODIFIED OPENINGS FOR WINDOWS AND DOORS.

ISSUE	DATE
PERMIT SET	04.04.25

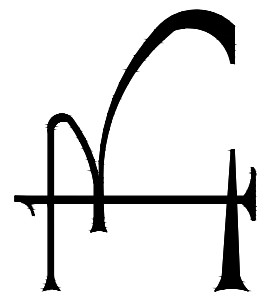
ALL DESIGNS, IDEAS, ARRANGEMENTS, AND INFORMATION REPRESENTED BY THIS DRAWING ARE THE PROPERTY OF B1 ARCHITECT AND, WERE CREATED, DEVELOPED AND EVOLVED FOR THE SPECIFIED PROJECT ON WHICH NONE OF THE DESIGN, IDEAS AND ARRANGEMENTS SHOULD BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE OFFICE. SCALED DIMENSIONS SHOULD BE VERIFIED BY THE CONTRACTOR WHO SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS OF THE JOB. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL NOTIFY THE OFFICE OF ANY VARIATIONS IN DIMENSIONS AND CONDITIONS SHOWN ON THIS OR ANY OTHER SHOP DETAILS WITH ADEQUATE DIMENSIONING AND SCALE. MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION OF THE ITEMS INDICATED.

RENO/ADDITION TO EXISTING SINGLE FAMILY RESIDENCE:
PRIVATE RESIDENCE
430 MARS WAY
JUNO BEACH, FL

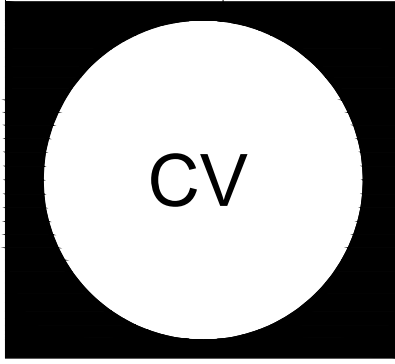
GREGORY BONNER, AIA

AA26003271

B1 ARCHITECT
139 NORTH COUNTY ROAD, STE 18C
PALM BEACH FLORIDA 33480
(561) 312-3453





JOB NO.	430MARS
PLOT DATE	04.04.2025
SCALE	AS NOTED
DRAWN BY	mmc



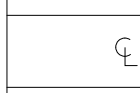
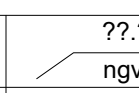
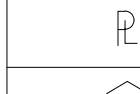

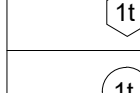



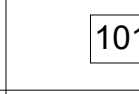




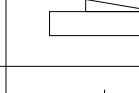



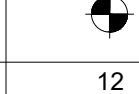

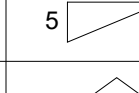
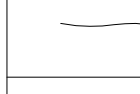
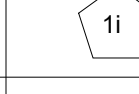
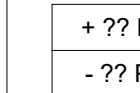
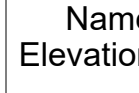
ABBREVIATIONS

A	ANCHOR	HT	HEIGHT
A/C	AIR CONDITIONING	HORIZ	HORIZONTAL
ACOUST	ACOUSTICAL	H.B.	HOSE BIBB
ACP	ACOUSTICAL CEILING PANEL	I.D.	INTERIOR DIMENSION
A.F.F.	ABOVE FINISH FLOOR	INSUL.	INSULATION
AL OR ALUM	ALUMINUM	INTERM	INTERMEDIATE
ANOD.	ANODIZE	JAN.	JANITOR
BD	BOARD	MANUF.	MANUFACTURER
B.F.F.	BELOW FINISH FLOOR	MAT	MATERIAL
BLK'G	BLOCKING	MAX	MAXIMUM
BLK	BLOCK	MIN	MINIMUM
CEM	CEMENT	MTL	METAL
CER	CERAMIC	NIC	NOT IN CONTRACT
C.F.V.	CONTRACTOR FIELD VERIFY	NEOPR	NEOPRENE
C.J.	CONTROL JOINT	O.D.	OUTSIDE DIMENSION
CLG	CEILING	O.C.	ON CENTER
COL	COLUMN	O.S.	OVERFLOW SCUPPERS
CL	CLOSET	PTN	PARTITION
CONC	CONCRETE	PJ	PANEL JOINT
CONT	CONTINUOUS	PL	PLATE
COVER'G	COVERING	L.P.	LIGHT POLE
DBL	DOUBLE	PLYWD	PLYWOOD
DIM	DIMENSION	PNL	PANEL
DTL/DTLS	DETAILS	PLAM	PLASTIC LAMINATE
D/W	DISH WASHER	P.T.	PRESSURE TREATED
E.A.	EACH	REINF.	REINFORCING
ELECT/ELEC	ELECTRICAL	REQ'D	REQUIRED
EL.	ELEVATION	RM	ROOM
ELEV.	ELEVATOR	R.D.	ROOF DRAIN
EXH.	EXHAUST	SHT	SHEET
EXIST.	EXISTING	SCH	SCHEDULE
EXP.	EXPANSION	S.S.	STAINLESS STEEL
EXT.	EXTERIOR	STL	STEEL
F.D.	FLOOR DRAIN	STD.	STANDARD
F.E.	FIRE EXTINGUISHER	SECT	SECTION
FIRE EXT. CAB.	FIRE EXTINGUISHER CABINET	SIM	SIMILAR
F.O.I.C.	FURNISHED BY OWNER, INSTALLED BY CONTRACTOR	SPEC'S	SPECIFICATIONS
		STRUCT	STRUCTURE
FLUOR	FLUORESCENT	SC	SOLID CORE WOOD
FIN.	FINISH	PH.	TELEPHONE
GA	GAUGE	TEMP	TEMPERED
GWB	GYPSUM WALL BOARD	VCT	VINYL COMPOSITION TILE
GYP. BD.	GYPSUM BOARD	VERT	VERTICAL
GALV.	GALVANIZED	VEST.	VESTIBULE
GS	GALVANIZED STEEL	WH	WATER HEATER
GL	GLASS		
HM	HOLLOW METAL		

MATERIAL LEGEND

		
INSULATION BLANKET	STEEL SMALL SCALE	CEMENT MORTAR PLASTER
		
GLASS: LARGE SCALE	WOOD BLOCKING INTERMITTENT	TILE
		
MARBLE	GRAVEL OR CRUSHED STONE	PL WOOD
		
WOOD BLOCKING CONTINUOUS	EARTH	WOOD FINISHED
		
CONCRETE PRE-CAST	STEEL LARGE SCALE	CONCRETE
		
INSULATION RIGID	BRICK LARGE SCALE	CONCRETE MAS. UNIT

SYMBOLS LEGEND

	CENTER LINE		SITE TERRAIN ELEV.
	PROPERTY LINE		ELECTRICAL METER
	WINDOW TAG		WATER METER
	DOOR TAG		REVISION TAG
	SECTION MARK		Room name
	DATUM FLOOR ELEV.		ROOM TAG
	KEYNOTE TAG		CALLOUT HEAD TAG
	BREAKLINE		LOW POINT ELEVATION
	CHANGE OF ELEVATION		SPOT ELEVATION
	WALL TYPE TAG		ROOF SLOPE TAG
	RAIN WATER SLOPE ARROW		CURTINE WALL TAG
	WINDOW PRESSURE		LEVEL HEAD CIRCLE
	NORTH ARROW		GRID BUBBLE TAG

1. THESE PLANS REPRESENT IMPROVEMENTS TO AN EXISTING BUILDING. THE CONSTRUCTION DOCUMENTS AND DEMO PLANS ARE BASED UPON EXISTING DRAWINGS AND FIELD SURVEYS TO PROVIDE AN OVER ALL PLAN OF THE STRUCTURE. ALL CRITICAL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN-FIELD BY THE CONTRACTOR. THE CONTRACTOR MUST COORDINATE THE DEMOLITION WITH THE NEW CONSTRUCTION IN ORDER TO PROVIDE ALL NECESSARY CONDITIONS TO PROPERLY TO RETROFIT THE NEW CONSTRUCTION / SYSTEMS / FINISHES.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS, STUB-UPS, AND OTHER INFORMATION CONTAINED HEREIN BEFORE BEGINNING ANY WORK. CONTACT ARCHITECT IF ANY DISCREPANCIES OCCUR.
3. IF ANY SUBSTITUTIONS ARE PROPOSED AND APPROVED FOR SPECIFIC EQUIPMENT, THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL COORDINATION INCLUDING HVAC, PLUMBING, AND ELECTRICAL.
4. WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES IN THE BUILDING AND ZONING LOCAL CODE THE FLORIDA BUILDING CODE.
5. CONTRACTOR SHALL INCLUDE ALL PERMITS, LABOR, MATERIALS, & EQUIPMENT TO PROVIDE FIRST CLASS AND COMPLETE INSTALLATIONS. ALL MATERIALS AND EQUIPMENT SHALL BE NEW.
6. CONTRACTOR SHALL COORDINATE ROUGH-IN REQUIREMENTS AND FINAL CONNECTIONS TO EQUIPMENT. INSTALLATION SHALL MEET ALL CODES AND BE IN ACCORDANCE WITH EQUIPMENT MANUFACTURERS RECOMMENDATIONS. VERIFY AND PROVIDE AS REQUIRED, ALL DISCONNECTING MEANS, OVERLOAD PROTECTION, GROUNDING, ETC. TO ASSURE PROPER INSTALLATION.
7. HAULING DEBRIS, JACK-HAMMERING OR WORK PRODUCING LOUD VIBRATING NOISES, IS TO BE DONE ONLY DURING HOURS COORDINATED WITH GENERAL CONTRACTOR.
8. ACCEPTANCE OF WORK SHALL BE SUBJECT TO GC, APPROVAL OF WORK IN PLACE AS WELL AS SHOP DRAWINGS AND SAMPLES OF MATERIALS AND EQUIPMENT. ALL SUBMITTALS SHALL BE CHECKED & DIMENSIONS VERIFIED BY CONTRACTOR BEFORE SUBMITTAL TO ARCHITECT.
9. HAZARDOUS MATERIALS: IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE WORK. IF MATERIALS, SUSPECTED OF CONTAINING HAZARDOUS MATERIALS, ARE ENCOUNTERED, DO NOT DISTURB AND IMMEDIATELY NOTIFY GENERAL CONTRACTOR.
10. UTILITY SERVICE: LOCATE, IDENTIFY, DISCONNECT AND SEAL OR CAP OFF INDICATED UTILITIES SERVING AREAS TO BE DEMOLISHED.
11. WHEN UNANTICIPATED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS THAT CONFLICT WITH INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE THE NATURE AND EXTENT OF CONFLICT AND PROMPTLY SUBMIT TO THE ARCHITECT IN WRITING.
12. SITE ACCESS AND TEMPORARY CONTROLS: CONDUCT DEMOLITION AND DEBRIS-REMOVAL OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROAD, STREETS, WALKS, WALKWAYS AND OTHER ADJACENT OCCUPIED FACILITIES. CONTRACT TO COMPLY WITH ALL CODES AND OBTAINED PERMITS REQUIRED FOR TEMPORARY BARRIERS, ETC.
A. ERECT TEMPORARY PROTECTION, SUCH AS WALKS, FENCES, RAILINGS, CANOPIES AND COVERED PASSAGEWAYS. WHERE REQUIRED.
B. PROTECT EXISTING SITE IMPROVEMENTS AND LANDSCAPING THAT ARE TO REMAIN.
13. TEMPORARY FACILITIES: PROVIDE TEMPORARY BARRICADES AND PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO FACILITIES THAT ARE TO REMAIN.
A. PROVIDE PROTECTION TO ENSURE SAFE PASSAGE OF PEOPLE AROUND DEMOLITION ARE.
B. PROTECT WALLS, CEILINGS, FLOORS AND OTHER EXISTING FINISH WORK THAT ARE TO REMAIN OR THAT ARE EXPOSED DURING DEMOLITION.
14. TEMPORARY PARTITIONS: ERECT AND MAINTAIN DUST PROOF PARTITIONS AND TEMPORARY ENCLOSURES TO LIMIT DUST AND DIRT MIGRATION AND TO SEPARATE AREAS FROM FUMES AND NOISE.
15. ALL EXISTING REQUIRED MEANS OF EGRESS SHALL BE KEPT CLEAR & CLEAR OF DEBRIS OBSTRUCTIONS.
16. ALL NEW INTERIOR & EXTERIOR SURFACES, FINISHES, EQUIPMENT, AND FLOORS WILL BE APPROVED BY ARCHITECT / GENERAL CONTRACTOR / OWNER.
17. ALL LIFE SAFETY, ENERGY MANAGEMENT, AND COMMUNICATIONS DEVICES & SYSTEMS ARE TO BE SUPPLIED BY THE CONTRACTOR. ALL SYSTEMS MUST MEET APPLICABLE GOVERNING CODES.
18. CONTRACTOR SHALL SUBMIT MARKED-UP CLEAN PRINTS OF AS-BUILT CONDITIONS SHOWING CONCEALED DEVIATIONS FROM DESIGN. ON-SITE JOB COPY SHALL BE KEPT CURRENT W/ REVISIONS AS THEY TAKE PLACE.
19. CONTRACTOR SHALL KEEP PREMISES OF WORK AREA CLEAN DAILY, BROOM CLEAN AT PROJECT COMPLETION, AND SHALL REMOVE ALL REFUSE FROM SITE AND DISPOSE OF ACCORDING TO LAW.
20. CONTRACTOR SHALL BECOME COMPLETELY FAMILIAR WITH EXISTING CONDITIONS BEFORE STARTING NEW WORK. CONCEALED CONDITIONS SHALL BE ADDRESSED WITH DUE CAUTION SUCH THAT UTILITIES AND SYSTEMS ARE PROTECTED.
21. CONTRACTOR SHALL WARRANTY ALL NEW WORK FOR A PERIOD OF TWO YEARS (MINIMUM) FROM DATE OF ACCEPTANCE AND SHALL REPAIR OR REPLACE ANY DEFECTIVE WORK INCLUDING MATERIALS, LABOR, AND EQUIPMENT AT NO ADDITIONAL COST TO THE OWNER.
22. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO FACE OF STUD ON CENTER.
23. PROVIDE ADEQUATE CONCEALED BLOCKING AND ANCHORING FOR CEILING AND WALL MOUNTED EQUIPMENT AND ACCESSORIES (i.e. TOWEL BARS, SOFFITS, FANS, ETC.)
24. CONTRACTOR SHALL PREPARE ALL EXISTING SURFACES AS NECESSARY TO RECEIVE ALL NEW WORK AS PER THESE SHEETS AND SHALL ALSO EXAMINE ALL SITE CONDITIONS AND VERIFY ALL DIMENSIONS BASED ON EXISTING CONDITIONS. THE GC SHALL CONTACT THE ARCHITECT FOR CLARIFICATIONS OR INTERPRETATIONS AS NECESSARY TO COMPLETE THE JOB.
25. CONTRACTOR SHALL VERIFY AND SET IN ALL CAST-IN INSERTS, ANCHORS, BOLTS, PLATES, ETC. AS MAY BE REQUIRED FOR ATTACHMENT OF THE VARIOUS BUILDING COMPONENTS PRIOR TO PLACE OF CONCRETE.
26. CONTRACTOR SHALL VERIFY ALL FIXTURE LOCATIONS AND CLEARANCES.
27. CONTRACTOR SHALL VERIFY AND COORDINATE ALL ROUGH OPENINGS FOR SCHEDULED DOORS, WINDOWS, AND DOOR HARDWARE
28. ALL ROUGH-IN NAILS, BOLTS, AND MISCELLANEOUS HARDWARE SHALL BE GALVANIZED.
29. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE-TREATED.
30. EXTERIOR CAULKING SHALL BE VINLOX SEALANT (GUN-GRADE) OR AN APPROVED EQUAL.
31. PROVIDE A MINIMUM OF 1/2" CEMENTITIOUS BACKER BOARD AT PARTITIONS SLATED TO RECEIVE CERAMIC TILE / STONE AND ALL WET AREAS.
32. FLOORS AND WALLS: PROVIDE AN EVEN SURFACE OF UNIFORM FINISH COLOR, TEXTURE AND APPEARANCE.
33. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SCOPE OF WORK AS DEFINED IN THE CONTRACT DOCUMENTS, INCLUDING, BUT NOT LIMITED TO THESE CONSTRUCTION DOCUMENTS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROPERLY NOTIFY THE ARCHITECT AND CONSTRUCTION MANAGER OF ANY CONFLICTS, ERRORS OR OMISSIONS IN THESE DRAWINGS.
- 33A. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION BETWEEN SUBCONTRACTOR, VENDORS, ETC. AS NECESSARY TO COMPLETE THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS. IN THE CASE OF INCONSISTENCIES OR DISCREPANCIES BETWEEN THE DRAWINGS, THE MOST STRINGENT NOTE OR CONDITION SHALL APPLY.
34. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY EXISTING SITE CONDITIONS UPON COMPLETION OF THE DEMOLITION WORK. PRIOR TO THE START OF ANY CONSTRUCTION WORK THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ARCHITECT OF ANY UNCOVERED CONDITIONS EFFECTING THE CONSTRUCTION, FIXTURING, ETC.
- 34A. FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COSTS INCURRED IF HE/SHE DOES NOT NOTIFY THE CONSTRUCTION MANAGER IN A TIMELY MANNER.
35. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO MAINTAIN COMPLIANCE WITH INSURANCE REQUIREMENTS OF THE OWNER AS STIPULATED IN THE CONTRACT DOCUMENTS.
36. THE GENERAL CONTRACTOR SHALL MAINTAIN A CONSTRUCTION SET ON-SITE AT ALL TIMES. AT THE COMPLETION OF THE PROJECT THE GC SHALL PROVIDE THE AS-BUILT SET TO THE ARCHITECT.
37. SUBSTITUTIONS WILL NOT BE ALLOWED UNLESS REQUESTED IN WRITING TO THE CONSTRUCTION MANAGER. APPROVAL MUST BE IN WRITING.
38. ALL WORK COMPLETED UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE CONSTRUCTION DOCUMENTS, THE CONSTRUCTION CRITERIA OF THE OWNER, AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS HAVING JURISDICTION. ANY MODIFICATIONS TO THE WORK REQUIRED BY SUCH AUTHORITIES SHALL BE PERFORMED BY THE GENERAL CONTRACTOR FOLLOWING WRITTEN NOTIFICATION TO THE ARCHITECT. CHANGES IN THE SCOPE OF WORK REQUIRED BY SUCH AUTHORITIES SHALL ONLY BE CONSIDERED FOR CHANGE ORDERS IF SUBMITTED IN WRITING PRIOR TO ANY PERFORMANCE OF THE WORK.
39. OSHA REQUIREMENTS SHALL BE INCORPORATED INTO THE SCOPE OF WORK EVEN THOUGH THEY ARE NOT LISTED SEPARATELY.
40. THESE GENERAL NOTES SHALL APPLY TO ALL DRAWINGS AND GOVERN UNLESS OTHERWISE NOTED. THE GENERAL CONTRACTOR SHALL ALSO REFERENCE THE NOTES ON EACH DRAWING SHEET INCLUDING MECHANICAL, ELECTRICAL, PLUMBING, INTERIOR DESIGN, ETC. AND INCORPORATE SUCH INTO THE SCOPE OF THE WORK.
41. ANY WORK INVOLVING THE CUTTING, PENETRATION THROUGH, NEW ROOF PENETRATIONS, TRENCHING OR MODIFICATION OF STRUCTURAL ELEMENTS OF THE BUILDING SHELL, OR THE INTERRUPTIION OF OWNER-BASE UTILITY SYSTEMS, ETC. SHALL BE COORDINATED WITH THE GC PRIOR TO THE COMMENCEMENT OF WORK. IF SO STIPULATED IN THE GC'S CONSTRUCTION CRITERIA, PERMISSION SHALL BE SECURED IN WRITING. IF REQUIRED, THE GC'S DESIGNATED SUBCONTRACTOR SHALL BE CONTRACTED TO PERFORM THE WORK. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO BE FAMILIAR WITH ALL OF THE REQUIREMENTS OF THE OWNER'S CONSTRUCTION CRITERIA, TO SECURE PERMISSION AS REQUIRED BY THE OWNER, AND TO ONLY OPERATE DURING HOURS DESIGNATED.
42. ALL FINISHES MUST MEET FLAME SPREAD RATINGS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO SUBMIT FLAME SPREAD RATING INFORMATION TO THE LOCAL BUILDING OFFICIAL IF SO REQUESTED.
43. THE GENERAL CONTRACTOR SHALL PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 3A 40BC WITH SEVENTY-FIVE FOOT TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING OR AS DIRECTED BY THE FIRE DEPARTMENT FIELD INSPECTOR.
44. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING IN AND VERIFYING ALL SUBMITTALS OF OWNER-SUPPLIED MATERIALS. THIS INCLUDES VERIFYING PACKING LISTS AGAINST ORDER FORMS AND BILLS OF LADING. THE CONTRACTOR WILL BEAR THE COST OF EXPEDITED FREIGHT CHARGES IF MISSING ITEMS ARE NOT IDENTIFIED AT THE TIME OF PACKAGE RECEIPT. THE CONTRACTOR IS RESPONSIBLE FOR FILING DAMAGE REPORTS FOR GOODS RECEIVED DAMAGED. THE CONTRACTOR SHALL MAINTAIN AN ENVELOPE CLEARLY MARKED "PACKING SLIPS" FOR ALL LADING, PACKING SLIPS, USER MANUALS, WARRANTY INFORMATION, AND PAPERWORK. UPON COMPLETION OF THE PROJECT, THIS ENVELOPE SHALL BE GIVEN TO THE OWNER.
45. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DAILY CLEANUP OF THE PROJECT SITE AS WELL AS THE FINAL CLEANUP PRIOR TO TURN-OVER. ALL TOOLS, MACHINERY, EQUIPMENT, AND MATERIALS SHALL BE REMOVED AND THE PREMISES SHALL BE LEFT IN A NEAT AND ORDERLY MANNER.
46. UPON COMPLETION OF THE PROJECT THE GENERAL CONTRACTOR SHALL DELIVER TO THE OWNER A COPY OF THE CERTIFICATE OF OCCUPANCY.
47. THE ARCHITECT HAS ENDEAVORED TO SPECIFY AND/OR INDICATE MATERIALS THAT DO NOT CONTAIN HAZARDOUS MATERIALS OR ITEMS IN VIOLATION OF APPLICABLE CODES AND LAWS OR REASONABLE BUILDING PRACTICES. ALL CONTRACTORS, SUBCONTRACTORS, AND VENDORS SHALL LIKEWISE ENDEAVOR TO PROVIDE MATERIALS THAT DO NOT CONTAIN HAZARDOUS COMPONENTS. NOTIFY THE ARCHITECT OF ANY MATERIALS SPECIFIED OR INDICATED FOR USE ON THE PROJECT SITE THAT CONTAIN HAZARDOUS MATERIALS AND/OR ASBESTOS.
48. WORK TO BE PERFORMED UNDER THIS CONTRACT IS DEFINED BY ALL INFORMATION INCLUDED IN THIS SET OF DOCUMENTS.
49. ALL LABOR, MATERIALS, FINISHED EQUIPMENT AND THE FINAL FINISHED PRODUCT AS INDICATED BY THE PLANS, SPECIFICATIONS, AND OTHER CONTRACT DOCUMENTS SHALL BE SUPPLIED BY THE CONTRACTOR AS PER GOVERNING STATE AND LOCAL CODES AND ANY AND ALL OTHER REGULATIONS AND CODES HAVING LOCAL JURISDICTION, AND ALL WORK AS REQUIRED BY INSPECTION AGENCIES HAVING JURISDICTION.
50. THESE DRAWINGS ARE PREPARED FOR PURPOSES OF CONSTRUCTION ONLY. THESE DRAWINGS ARE NOT TO BE USED FOR MAINTENANCE PURPOSES AS ACTUAL CONDITIONS MAY VARY FROM THOSE SHOWN ON DRAWINGS DUE TO CHANGE ORDERS, ALTERATIONS BY OTHERS, FIELD CONDITIONS, ETC.
51. THESE DRAWINGS AND RELATED DOCUMENTS DETAIL THE WORK FOR THIS SPECIFIC BUILDING & SPACE INDICATED BY JOB NAME AND NUMBER AND LOCATION. THE DOCUMENTS REMAIN THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED FOR ANY OTHER PROJECT OR PURPOSE WITHOUT WRITTEN AUTHORIZATION OF THE ARCHITECT.
52. DO NOT SCALE DRAWINGS. PROMPTLY CONTACT THE ARCHITECT IMMEDIATELY FOR CLARIFICATION OF ANY ERROR, OMISSION, OR DISCREPANCY.

GENERAL NOTES

53. ALL WORK SHALL BE NEW UNLESS NOTED ON DRAWINGS.
54. DEMOLITION: REMOVE ALL FINISHES, SURFACES, WALL AND ELEMENTS INDICATED IN THESE DRAWINGS. ALSO, SEE SPECIFICATIONS FOR SELECTIVE DEMOLITION AND ITS RELATED PORTIONS OF ELECTRICAL AND MECHANICAL DRAWINGS.
55. MAINTAIN AND MODIFY AS SPECIFIED ALL BUILDING SYSTEMS THROUGHOUT DEMO & BUILDOUT COORDINATE WITH MECHANICAL ENGINEER.
56. ALL FRAMING LUMBER, PLYWOOD, AND CONCEALED WOOD SHALL BE FIRE-RETARDANT TREATED (FRT). NO FRT IN CEILING PLENUM
57. PROVIDE FRT WOOD BLOCKING FOR ALL HOOKS, TOILET ROOM ACCESSORIES AND ANY OTHER WALL MOUNTED EQUIPMENT.
58. ANY DRILLING, WELDING, OR OTHER ATTACHMENT TO THE STRUCTURAL SYSTEM SHALL BE SUBJECT TO APPROVAL BY THE GC & STRUCTURAL ENGINEER PRIOR TO THE COMMENCEMENT OF SUCH WORK.
59. THE ARCHITECT HAS MADE NO INVESTIGATION TO DETERMINE IF ASBESTOS OR ANY OTHER MATERIALS IS PRESENT IN THE EXISTING WORK. THE ARCHITECT ASSUMES NO RESPONSIBILITY WITH REGARD TO ASBESTOS OR ANY OTHER HAZARDOUS MATERIAL. NO WARRANTY OR REPRESENTATION, EITHER EXPRESSED OR IMPLIED, IS MADE BY THESE PLANS AS TO THE SUITABILITY OF REMOVING ANY HAZARDOUS MATERIALS INCLUDING ASBESTOS. ALL PERSONS USING THESE PLANS MUST PROCEED AT THEIR OWN RISK WITH REGARD TO ALL MATERIALS INCLUDING ASBESTOS. IF ANY MATERIAL SUSPECTED OF BEING HAZARDOUS IS ENCOUNTERED, LEAVE INTACT AND UNDISTURBED AND NOTIFY THE ARCHITECT IMMEDIATELY.
60. "TYPICAL" MEANS THAT THE SITUATION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT THE PROJECT. UNLESS OTHERWISE NOTED, DETAILS ARE KEYED AND NOTED AS "TYP" ONLY THE FIRST TIME THEY APPEAR.
61. "HOLD" DIMENSIONS INDICATE THAT PREFABRICATED SYSTEMS ARE TO BE INSTALLED THAT REQUIRE A MINIMUM DIMENSION. MAINTAIN THIS DIMENSION. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL SUBCONTRACTORS AND VENDORS TO COORDINATE CONSTRUCTION REQUIREMENTS, DELIVERY SCHEDULE, ETC.
62. "SIM" SHALL MEAN COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
63. ALL ITEMS SHOWN AS FURNISHED BY OWNER REQUIRE GC COORDINATION.
64. ALL EXISTING WALLS AND/OR COLUMN COVERS, AND EXISTING SLABS TO REMAIN SHALL BE REPAIRED AND PATCHED AS REQUIRED TO COMPLY WITH LOCAL CODES AND FINISHING REQUIREMENTS.
65. DO NOT SUPPORT ANY CONSTRUCTION FROM THE OWNER'S STRUCTURE OR PENETRATE ANY FLOOR SLABS WITHOUT APPROVAL FROM THE GC PRIOR TO CONSTRUCTION. DO NOT SUSPEND ANY ITEMS FROM THE BOTTOM CHORD OF ROOF JOIST AND JOIST GIRDERS WITHOUT PRIOR WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER OF THE PROJECT.
66. THE CONTRACTOR SHALL MAINTAIN, FOR THE ENTIRE DURATION OF THE WORK, ALL EXITS, S AND ALARMS IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
67. DURING ALL PHASES OF WORK, DO NOT DISTURB THE DELIVERIES AND FUNCTIONS OF ADJACENT NEIGHBOR. COORDINATE WITH GC.
68. PROVIDE NON-COMBUSTIBLE BLOCKING AND/OR SUPPORT FRAMING TO ASSURE A COMPLETE INSTALLATION OF FINISHES, TRIM, AND MILLWORK AS INDICATED IN THE DOCUMENTS AND REQUIRED BY THE ARCHITECT, PRODUCT MANUFACTURERS, AND AS REQUIRED FOR INSTALLATION. PROVIDE ADEQUATE BLOCKING AS REQUIRED TO SUPPORT BASE AND UPPER WALL CABINETS, LAVATORIES, TOILET FIXTURES, AND ACCESSORIES, ELECTRIC PANELS, ACCESS LADDERS, ETC.
69. THE GENERAL CONTRACTOR SHALL CONFIRM ALL LOCATIONS FOR BLOCKING FOR ALL FIXTURES AND CASEWORK AS REQUIRED BY THE FIXTURE MANUFACTURER.
70. REMOVE ALL EXISTING CONSTRUCTION WHICH INTERFERES WITH THE WORK SHOWN ON THESE DRAWINGS. PATCH THE SUBFLOOR TO A UNIFORM LEVEL AS REQUIRED TO ACCOMMODATE THE NEW FLOORING. VERIFY NEW FLOOR SLOPE AND REPORT ANY DISCREPANCIES TO THE GC AND ARCHITECT.
71. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE OWNER'S FIXTURE VENDOR AND STOREFRONT VENDOR, FOR COORDINATION OF ALL WORK INVOLVED.
72. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL UTILITY COMPANIES AND PERFORMING ALL WORK REQUIRED BY THEM. THE CONTRACTOR IS RESPONSIBLE FOR PROPER COMPACTION OF UTILITY TRENCHES, BOTH INTERIOR AND EXTERIOR. THE CONTRACTOR SHALL PAY FOR AND OBTAIN ALL PERMITS AND CERTIFICATES OF OCCUPANCY.
73. UNLESS OTHERWISE INDICATED, EACH SUBCONTRACTOR AND GENERAL CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY BRACING AND SUPPORTING ALL ITEMS FROM THE ROOF STRUCTURE FOR GRAVITY LOADS AND TO RESIST MOVEMENTS AS REQUIRED BY ALL APPLICABLE CODES. (ANY BRACING W/ A SIGNIFICANT VISUAL IMPACT IS SUBJECT TO ARCHITECTURAL REVIEW AND APPROVAL. THIS INCLUDES BUT IS NOT LIMITED TO ALL ITE MS BRACED TO, SUSPENDED FROM, OR SUPPORTED BY ROOF STRUCTURE.
74. REFERENCE TO ANY DETAIL OR DRAWING IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAIL OR DRAWING. ANY INFORMATION ON THESE DRAWINGS APPEARING TO BE UNCLEAR OR AMBIGUOUS SHALL BE REFERRED TO THE ARCHITECT FOR INTERPRETATION AND CLARIFICATION.
75. THE CONTRACTOR SHALL PROVIDE SITE AND BUILDING ACCESS TO THE ARCHITECT, CITY FIELD INSPECTORS, AND ANY OTHER PERSON REQUIRED OR ENTRUSTED WITH INSPECTIONS OF THE PROJECT.
76. COORDINATE WORK OF TRADES AND SCHEDULE ELEMENTS OF ALTERATIONS, DEMOLITION AND RENOVATION WORK BY PROCEDURES AND METHODS TO EXPEDITE COMPLETION OF THE WORK.
77. CUT, MOVE, OR REMOVE ITEMS AS NECESSARY TO PROVIDE ACCESS OR TO ALLOW ALTERATIONS AND NEW WORK TO PROCEED. INCLUDE SUCH ITEMS AS:
A - REPAIR OR REMOVAL OF HAZARDOUS OR UNSANITARY CONDITIONS
B - REMOVAL OF ABANDONED ITEMS AND ITEMS SERVING NO USEFUL PURPOSE, SUCH AS ABANDONED PIPING, CONDUIT, AND WIRING
C - REMOVAL OF UNSUITABLE OR EXTRANEEOUS MATERIALS NOT MARKED FOR SALVAGE, SUCH AS ABANDONED FURNISHINGS AND EQUIPMENT, AND DEBRIS SUCH AS ROTTED WOOD, RUSTED METALS, AND DETERIORATED CONCRETE.
D - CLEANING OF SURFACES AND REMOVAL OF SURFACE FINISHES AS NEED TO INSTALL NEW WORK AND FINISHES.
78. ASSIGN THE WORK OF MOVING, REMOVAL, CUTTING & PATCHING TO TRADES QUALIFIED TO PERFORM THE WORK IN A MANNER TO CAUSE THE LEAST DAMAGE TO EACH TYPE OF WORK, AND PROVIDE MEANS OF RETURNING TO APPEARANCE TO NEW WORK.
79. PERFORM CUTTING AND REMOVAL WORK TO REMOVE MINIMUM NECESSARY AND IN A MANNER TO AVOID DAMAGE TO ADJACENT WORK.
80. CUT FINISH SURFACES SUCH AS MASONRY, GYPSUM WALLBOARD, STUCCO, WALLCOVERING, TILE, PLASTER, OR METALS, BY METHODS TO TERMINATE SURFACES ON A STRAIGHT LINE AT A NATURAL POINT OF DIVISION.
81. PROTECT FROM DAMAGE TO EXISTING FINISHES, EQUIPMENT, AND ADJACENT WORK WHICH IS SCHEDULED TO REMAIN.
82. REROUTE OR EXTEND EXISTING PLUMBING, OR A/C LINES IN AREAS WHERE DEMOLITION WILL OCCUR.
83. SALVAGE SUFFICIENT QUANTITIES OF CUT OR REMOVED MATERIAL TO REPLACE DAMAGED WORK OF EXISTING CONSTRUCTION AS SPECIFIED ON THE DRAWINGS.
84. PROVIDE SAME PRODUCTS OR TYPES OF CONSTRUCTION AS THAT IN EXISTING STRUCTURE, AS NEEDED TO PATCH, EXTEND OR MATCH EXISTING WORK.
85. CONTRACT DOCUMENTS WILL NOT DEFINE PRODUCTS OR STANDARDS OF WORKMANSHIP PRESENT IN EXISTING CONSTRUCTION. CONTRACTOR SHALL DETERMINE PRODUCTS BY INSPECTION AND ANY NECESSARY TESTING, AND WORKMANSHIP BY USE OF THE EXISTING SAMPLE OF COMPARISON.
86. PRESENCE OF A PRODUCT, FINISH, OR TYPE OF CONSTRUCTION, REQUIRES THAT PATCHING, EXTENDING OR MATCHING BE PERFORMED AS NECESSARY TO MAKE WORK COMPLETE AND CONSISTENT TO IDENTICAL STANDARDS OF QUALITY.
87. PATCH AND EXTEND WORK USING SKILLED MECHANICS WHO ARE CAPABLE OF MATCHING EXISTING QUALITY OF WORKMANSHIP. QUALITY OF PATCHED OR EXTENDED WORK SHALL BE NOT LESS THAN THAT SPECIFIED FOR NEW WORK.
88. WHERE PARTITIONS ARE REMOVED, PATCH FLOORS, WALLS, AND CEILINGS WITH FINISH MATERIALS TO MATCH EXISTING.
89. WHERE REMOVAL OF PARTITIONS RESULTS IN ADJACENT SPACES BECOMING ONE, REWORK FLOORS, WALLS, AND CEILING TO PROVIDE SMOOTH PLACES WITHOUT BREAKS, STEPS, OR BULKHEADS.
90. WHERE NEW WORK ABUTS OR FINISHES FLUSH WITH EXISTING WORK, MAKE A SMOOTH AND FLAWLESS TRANSITION. PATCHED WORK SHALL MATCH EXISTING AND ADJACENT WORK IN TEXTURE AND APPEARANCE SO THAT THE PATCH OR TRANSITION IS INVISIBLE AT A DISTANCE OF 5 (FIVE) FEET.
91. WHEN FINISHED SURFACES ARE CUT IN SUCH A WAY THAT A SMOOTH TRANSITION WITH NEW WORK IS NOT POSSIBLE, TERMINATE EXISTING SURFACE IN A NEAT MANNER ALONG A STRAIGHT LINE AT A NEUTRAL LINE OF DIVISION AND PROVIDE TRIM APPROPRIATE TO FINISHED SURFACE.
92. GYPSUM WALLBOARD: PATCH AND REPAIR EXISTING WALLBOARD, TAPE AND FINISH IN A SMOOTH LEVEL FASHION, IN A TEXTURE TO MATCH ADJACENT SURFACES. PROVIDE CAULKING AS REQUIRED.
93. GYPSUM WALLBOARD CEILING: REMOVE EXISTING CEILING AS REQUIRED TO ACCOMMODATE NEW EQUIPMENT AND REPLACE CEILING SYSTEM WITH GYPSUM WALLBOARD FINISH IN A TEXTURE AS SPECIFIED. PROVIDE CAULKING AS REQUIRED.
94. ALL TERMITE DAMAGE AND MOLD TO BE REMOVED. CAREFUL MITIGATION TO BE USED
95. LEVEL 5 FINISH
96. CORNER BEAD SHALL BE PLASTIC COMPONENTS, INC. #2, 2.75 (70MM)x2.75 (70MM), TO BE PROVIDED AT ALL CORNERS. ALL EXTERIOR TRIM SHALL BE OF PVC MATERIAL CONFORMING TO ASTM STANDARDS D1784, D1063 & D4216-99. PVC PRODUCTS SHALL BE USED FOR ALL EXTERIOR EXPOSURES. CAULK ALL BUTT JOINTS, INTERSECTIONS & ENDS. NARROW FLANGE CASING BEAD MUST BE USED AROUND OPENING OR WHERE STUCCO TERMINATES AT A DISSIMILAR SURFACE. NARROW FLANGE CASING BEAD SHALL BE PLASTIC COMPONENTS, INC. ALL EXTERIOR ACCESSORIES SHALL BE OF PVC MATERIALS CONFORMING TO ASTM STANDARDS D1784, C1063 & D4216-99. CAULK ALL BUTT JOINTS, INTERSECTIONS & ENDS.
97. "V" CONTROL JOINT. CONTROL JOINTS SHALL BE PLASTIC COMPONENTS, INC. #2058. ALL EXTERIOR ACCESSORIES SHALL BE OF PVC MATERIAL CONFORMING TO ASTM STANDARDS D1784, C1063 & D4216-99. SHOULD BE USED IN ANY APPLICATION WHERE A SURFACE AREA IS MORE THAN 144 SQUARE FEET. CAULK ALL BUTT JOINTS, INTERSECTIONS & ENDS. REFER TO DETAIL 7/A600.

RENO/ADDITION TO EXISTING SINGLE FAMILY RESIDENCE:

PRIVATE RESIDENCE

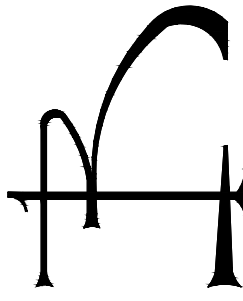
430 MARS WAY
JUNO BEACH, FL

GREGORY BONNER, AIA

AA26003271

B1 ARCHITECT

139 NORTH COUNTY ROAD, STE 18C
PALM BEACH FLORIDA 33480
(561) 312-3453



JOB NO.	430MARS
PLOT DATE	04.04.2025
SCALE	AS NOTED
DRAWN BY	mmc

A0.0

PROPERTY ADDRESS: 430 MARS WAY JUNO BEACH, FL 33477	LEGAL DESCRIPTION MALBO E 37.5 FT OF LT 20 & ALL OF LT 21
LAND USE EXISTING/PROPOSED USE RS-3—SINGLE FAMILY (28-JUNO BEACH)	
PARCEL CONTROL NUMBER	28-43-41-28-09-000-0201
PROJECT SCOPE: SECOND STORY ADDITION/ INTERIOR RENOVATION TO EXISTING SINGLE FAMILY RESIDENCE	
APPLICABLE CODES	
1. FLORIDA BUILDING CODE RESIDENTIAL 2023, 8TH EDITION	
2. FLORIDA BUILDING CODE EXISTING BUILDING, 2023, 8TH EDITION.	
3. FLORIDA BUILDING CODE, 2023, 8TH EDITION.	
4. FLORIDA BUILDING CODE, ACCESSIBILITY, 2023, 8TH EDITION.	
5. FLORIDA FIRE PREVENTION CODE 2023, 8TH EDITION.	
6. NFPA 101 LIFE SAFETY CODE, 2023, 8th EDITION.	
7. FLORIDA BUILDING CODE ENERGY CONSERVATION 2023, 8TH EDITION.	
9. FLORIDA MECHANICAL CODE 2023, 8th EDITION.	
9. FLORIDA PLUMBING CODE 2023, 8th EDITION.	
9. FLORIDA FUEL AND GAS 2023, 8th EDITION.	

SITE DATA *	EXISTING	PROPOSED
SITE	0.16 ACRES 7,000 SQ.FT.	
AREA CALCULATIONS		
MAIN HOUSE (A/C)		
FIRST FLOOR	1,581 SQ.FT.	1,581 SQ.FT
SECOND FLOOR	0 SQ.FT	1,756 SQ. FT
TOTAL A/C	2,058 SQ.FT.	3,337 SQ.FT.
GARAGE (NON A/C)	477 SQ.FT.	477 SQ.FT.
TOTAL	2,058 SQ.FT.	3,814 SQ.FT
COVERED TERRACE -1ST FL	286 SQ.FT.	286 SQ.FT.
OUTDOOR TERRACES 2ND FL.	0 SQ.FT.	283 SQ.FT.

SITE PLAN NOTES

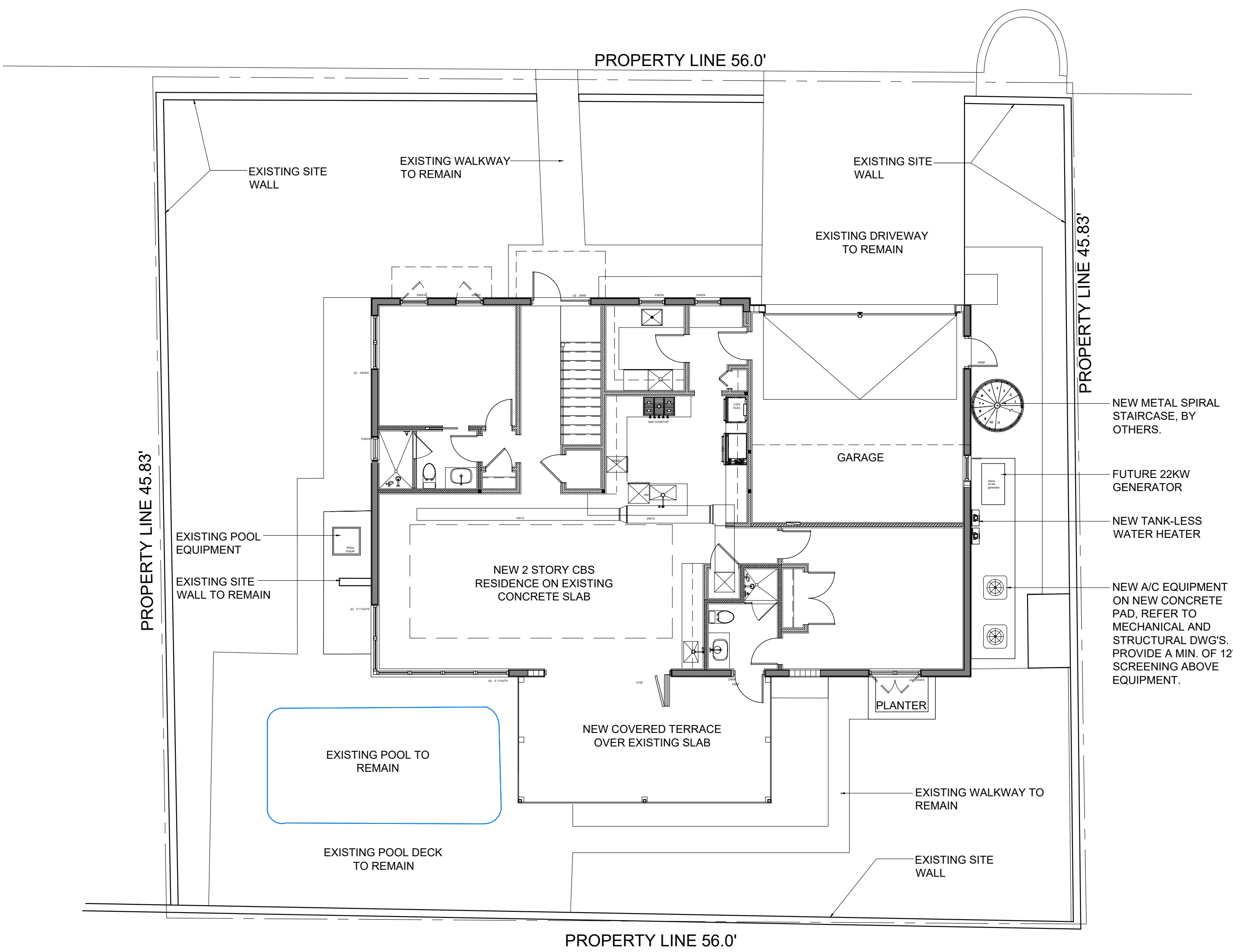
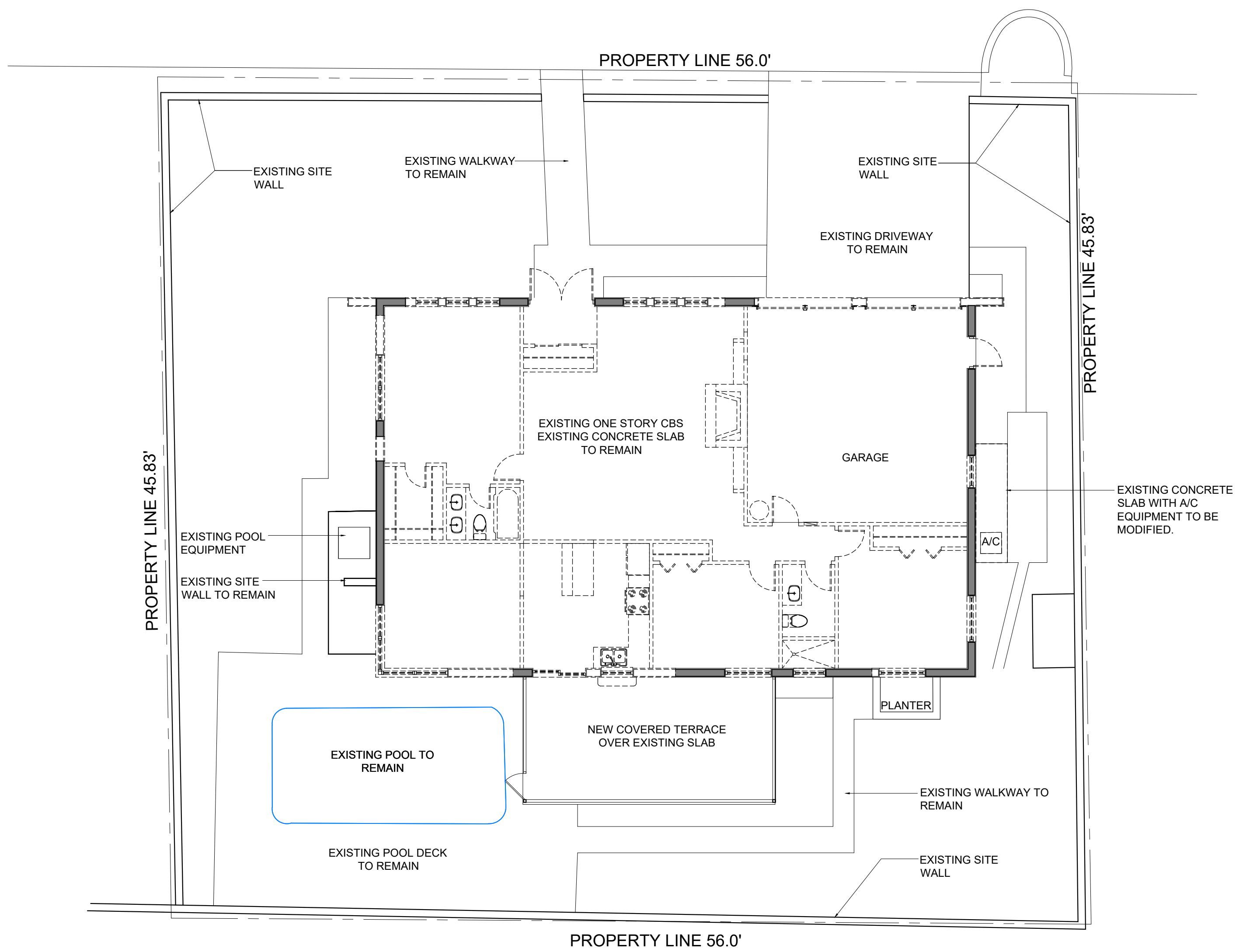
1. ALL RAIN WATER SHALL BE RETAINED WITHIN PROPERTY.
2. ALL MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT MUST BE AT OR ABOVE +7.0' N.A.V.D.
3. ALL APPROACHES TO BE COORDINATED WITH STREET TREES, STREET LIGHTS, FIRE HYDRANTS, ETC.
4. SITE TO BE FILLED TO GOVERNMENT FLOOD CRITERIA ELEVATION N.A.V.D. OR AN ELEVATION NOT LESS THAN THE HIGHEST APPROVED CROWN ELEVATION OF THE ROAD ABUTTING THE PROPERTY.
5. LOT TO BE GRADED AS SO TO PREVENT DIRECT OVERLAND DISCHARGE OF STORM WATER ONTO ADJACENT PROPERTIES, WATERWAY AND RIGHT OF WAY.
6. REFER TO LEGAL SURVEY FOR SITE GEOMETRY, BOUNDARIES, ELEVATIONS AND LOCATION OF EXISTING ELEMENTS.
7. REFER TO CIVIL ENGINEERING DRAWINGS FOR FINAL GRADE ELEVATIONS.
8. LANDSCAPING SHALL COMPLY WITH ALL LANDSCAPING REGULATIONS REQUIRED BY ALL LOCAL AND APPLICABLE CODES.
9. REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPING REQUIREMENTS, PAVER PATTERNS, NOTES AND DETAILS.

TERMITE NOTE

THE BUILDING SHALL RECEIVE A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT SHALL BE IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.

1 ZONING DATA

SCALE: N.T.S.



RENO/ADDITION TO EXISTING SINGLE FAMILY RESIDENCE:

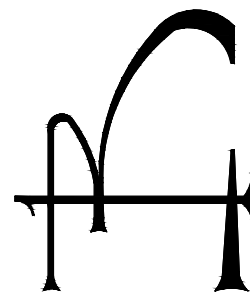
PRIVATE RESIDENCE

430 MARS WAY
JUNO BEACH, FL

GREGORY BONNER, AIA

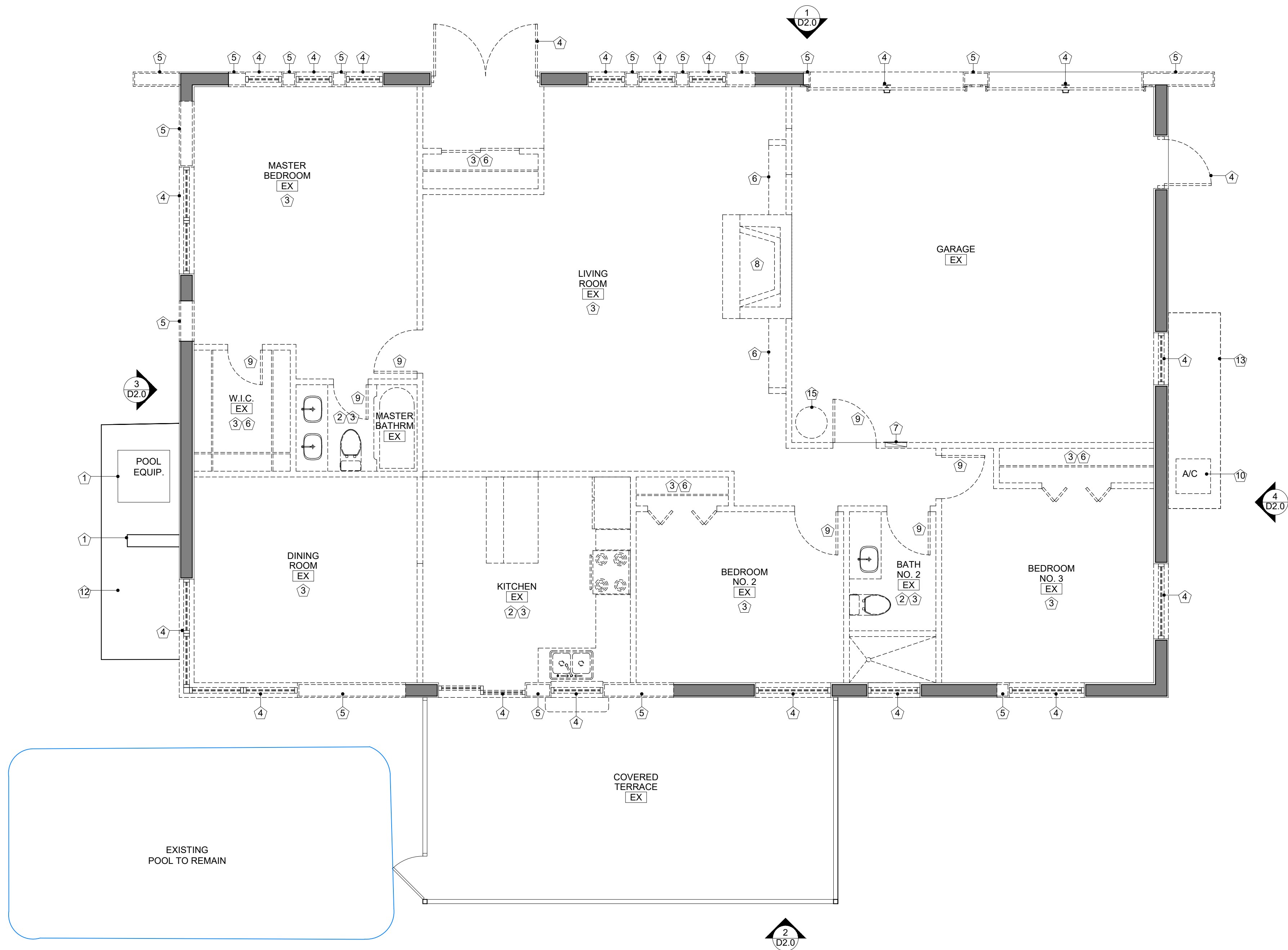
AA26003271

B1 ARCHITECT

139 NORTH COUNTY ROAD, STE 18C
PALM BEACH FLORIDA 33480
(561) 312-3453

JOB NO. 430MARS
PLOT DATE 04.04.2025
SCALE AS NOTED
DRAWN BY mmc

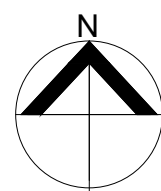
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EXISTING/DEMOLITION FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



LEGEND - DEMOLITION

MARK	LEGEND DEMOLITION
	EXISTING WALLS TO REMAIN.
	EXISTING WALLS TO BE REMOVED.
	EXISTING STRUCTURAL COLUMN TO REMAIN

TERMITE NOTE

THE BUILDING SHALL RECEIVE A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT SHALL BE IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.

NOTE:

NO DEMOLITION OR RENOVATION OF EXISTING STRUCTURE HAVING ASBESTOS.

NOTE:

BUILDER TO VERIFY DIMENSIONS IN THE FIELD PRIOR TO ANY NEW CONSTRUCTION AND REPORT ANY DISCREPANCY TO THE ARCHITECT/ENGINEER OF RECORD SO THE APPROPRIATE ADJUSTMENTS MAY BE MADE.

LEGEND - DEMOLITION NOTES

- EXISTING TO REMAIN.
- EXISTING CABINETRY, MILLWORK, FINISHES, FIXTURES AND/OR APPLIANCES TO BE REMOVED.
- ALL EXISTING FLOOR FINISHES TO BE REMOVED.
- EXTERIOR WINDOW/DOOR TO BE REMOVED.
- EXISTING PORTION OF CONCRETE BLOCK TO BE REMOVED.
- EXISTING CLOSET, DOORS AND SHELVING TO BE REMOVED.
- EXISTING ELECTRICAL PANEL TO REMAIN.
- EXISTING FIREPLACE/CHIMNEY TO BE REMOVED.
- EXISTING INTERIOR DOOR AND CASING TO BE REMOVED.
- EXISTING A/C UNIT TO BE REPLACED
- EXISTING WATER HEATER TO BE REMOVED.
- EXISTING SLAB TO REMAIN
- EXISTING SLAB TO BE REMOVED.
- EXISTING ROOF STRUCTURE TO BE REMOVED.
- EXISTING WATER HEATER TO BE REMOVED.

DEMOLITION NOTES:

- GENERAL AND SUB-CONTRACTORS SHALL BE PROPERLY LICENSED AND INSURED AS PER ALL GOVERNING LAWS.
- ACCESS TO SITE SHALL BE COORDINATED WITH OWNER BEFORE START OF CONSTRUCTION.
- CONTRACTOR TO COORDINATE ALL PHASES OF CONSTRUCTION WITH OWNER.
- GENERAL CONTRACTOR MUST FURNISH AND INSTALL A TEMPORARY BARRICADE WITH ACCESS DOOR IN COMPLIANCE WITH OWNER REQUIREMENTS, INCLUDING SIGNAGE.
- THE USE OF DUMPSTERS AND WORK PROCEDURES ARE TO BE COORDINATED WITH OWNER.
- CONTRACTOR TO OBTAIN ALL NECESSARY APPROVALS AND/OR PERMITS BEFORE COMMENCING WORK INCLUDING POSSIBLE OBSTRUCTION OF STREET, WALKWAYS AND/OR ADJACENT FACILITIES FROM PROPER AUTHORITIES HAVING JURISDICTION.
- COMPLETE ALL DEMO AS SPECIFIED IN THIS DRAWING.
- PRIOR TO ANY DEMOLITION WORK THE CONTRACTOR SHALL THOROUGHLY SURVEY THE SPACE TO BE DEMOLISHED TO ASSURE THAT THIS WORK WILL BE ACCOMPLISHED WITH MINIMAL DISTURBANCE TO THE REST OF THE BUILDING. GENERAL CONTRACTOR SHALL REQUIRE A LICENSED AND INSURED SUB-CONTRACTOR TO DISCONNECT & CAP OFF THE EXISTING HOT & COLD DOMESTIC WATER SYSTEM LINES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFE STABILITY OF THE EXISTING STRUCTURE UNTIL THE CONSTRUCTION IS COMPLETE. DO NOT REMOVE STRUCTURAL WALLS, COLUMN AND OR BEAMS. EXPOSE ALL STRUCTURAL LOAD BEARING CONDITIONS FOR ENGINEER OF RECORDS OBSERVATION. NOTHING SHALL RELIEVE THE GENERAL CONTRACTOR FROM HIS RESPONSIBILITY TO PROVIDE FOR SAFETY AND PROTECTION OF PERSONS/PROPERTY.
- CONTRACTOR IS TO BE CAREFUL NOT TO DEMOLISH OR DAMAGE ANY EXISTING CONCRETE COLUMN OR BEAMS OR STRUCTURE NOT IDENTIFIED EXPLORATORY DEMOLITION IS REQUIRED IN ORDER TO EXPOSE OBSTACLES AND EXISTING STRUCTURAL CONDITIONS.
- A LICENSED ELECTRICIAN SHALL DISCONNECT THE EXISTING ELECTRICAL SYSTEM WITHIN THE LIMITS OF THE WORK AREA. REMOVE ALL EXISTING RECEPTACLES, SWITCHES, AND LIGHT FIXTURES AS REQUIRED. MAINTAIN IN FUNCTIONING CONDITIONING. TEMPORARY CIRCUITS FOR CONSTRUCTION POWER AND LIGHTING SHALL BE ESTABLISHED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. CONFIRM WITH THE OWNER THE REMOVAL OF LIGHT FIXTURES AND FANS IN WORK AREA.
- VERIFY WITH MECHANICAL CONTRACTOR IF EXISTING HVAC EQUIPMENT AND DUCTS SHALL REMAIN OR BE REUSED. FILTER CLOTH SHALL BE APPLIED TO ALL AC OUTLETS AND INLETS DURING THE ENTIRE CONSTRUCTION PERIOD AND REPLACED PERIODICALLY TO PROTECT THE EXISTING AC DUCT WORK FROM CONSTRUCTION DEBRIS AND DUST.
- DISCONNECT AND PROPERLY DISPOSE OF ALL APPLIANCES (AS NOTED) PRIOR TO DISPOSAL CONFIRM WITH THE OWNER IF THEY WISH TO DONATE OR KEEP ANY OR ALL OF THE EXISTING APPLIANCES.
- REMOVE ALL INTERIOR PARTITIONS AND DOORS THAT ARE SHOWN IN DASHED LINES. COORDINATED WITH ARCHITECTURAL DWG'S.
- ALL WALLS WHICH ARE REMOVED OR ALTERED SHALL BE REFRAMED TO CONFORM WITH THE CONVENTIONAL FRAMING METHODS AND INCLUDE REQUIRED PLATES, JACKS AND HEADERS AS REQUIRED TO PROPERLY SUPPORT THE REMAINING WALLS, DOORS AND OPENINGS.
- REMOVE ALL EXISTING FLOORING AND INSTALL NEW FLOORING THROUGHOUT. CONFIRM SELECTIONS WITH OWNER.
- CONTRACTOR TO PREPARE THE EXISTING CONCRETE SLAB AS REQUIRED TO BE EVEN ELEVATION THRU-OUT SMOOTH, CONTINUOUS LEVEL AND READY TO ACCEPT NEW FINISHES. THIS INCLUDED "FLOATING" ANY UNACCEPTABLE AREAS AS REQUIRED, OR FILLING A SLAB AT HOLES OR IMPERFECTIONS LEFT BECAUSE OF DEMOLITION.
- IF DURING CONSTRUCTION EVIDENCE OF ASBESTOS IS FOUND, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH THE PROVISIONS OF s.469.003 FLORIDA STATUTES AND TO NOTIFY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION OF THEIR INTENTIONS TO REMOVED ASBESTOS, IN ACCORDANCE WITH THE STATE AND FEDERAL LAW.
- REMOVE ALL INTERIOR WOOD TRIM.
- REMOVE ALL FINISH MATERIALS INCLUDING ALL BUILT IN FURNITURE, LAMPS, WALL FIXTURES, WALL COVERINGS, CURTAINS, FLOORING AND CEILINGS (BE AWARE TO MAKE PRIOR DISCONNECTIONS OF EQUIPMENTS).
- REMOVE ALL REMAINING NAILS, STRAPS AN MISCELLANEOUS OBJECTS LEFT OVER FROM DEMOLITION. CONTRACTOR SHALL LEAVE PREMISES BROOM SWEEP FINISH.
- TO CONTROL DUST & DEBRIS THE CONTRACTOR SHALL REMOVE ALL DEMOLITION DEBRIS FROM THE FLOOR. THE BUILDING AND SWEEPS THE FLOOR CLEAN ON A DAILY BASIS THROUGHOUT THE DEMOLITION PROCESS.
- CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS SHOWING ALL CHANGES OF UTILITIES.
- ALL EXISTING CONDITIONS SHOWN ON DRAWINGS ARE ACCURATE TO THE BEST OF OUR KNOWLEDGE. IN THE EVENT OF ANY INCONSISTENCY NOTIFY THE ARCHITECT/ENGINEER OF RECORD.

SCOPE OF WORK

EXTERIOR:
EXISTING FLOOR SLAB TO REMAIN.
EXISTING ROOF STRUCTURE TO BE REMOVED.
EXISTING ROOF STRUCTURE AT COVERED TERRACE TO BE REMOVED, CONCRETE SLAB AND STEEL COLUMNS TO REMAIN
NEW OPENINGS FOR NEW WINDOWS/DOORS.

INTERIOR:
ALL NEW WALL PARTITIONS
NEW FLOOR FINISHES THROUGHOUT
NEW BATHROOM FIXTURES AND FINISHES.

ISSUE	DATE
PERMIT SET	04.04.25

ALL DESIGNS, IDEAS, ARRANGEMENTS, AND INFORMATION REPRESENTED BY THIS DRAWING ARE THE PROPERTY OF B1 ARCHITECT AND, WHERE CREATED, DEVELOPED AND EVOLVED FOR THE SPECIFIED PROJECT ON WHICH NONE OF THE DESIGNED, IDEAS AND ARRANGEMENTS SHOULD BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT A WRITTEN PERMISSION FROM THE OFFICE. SCALED DIMENSIONS SHOULD BE VERIFIED BY THE CONTRACTOR WHO SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS OF THE JOB. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL NOTIFY THE OFFICE OF ANY VARIATIONS IN DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS. SHOP DETAILS WITH ADEQUATE DIMENSIONING AND SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION OF THE ITEMS INDICATED.

RENO/ADDITION TO EXISTING SINGLE FAMILY RESIDENCE:

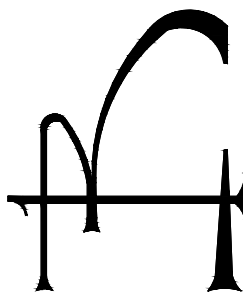
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AA26003271

B1 ARCHITECT

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ISSUE	DATE
PERMIT SET	04.04.25

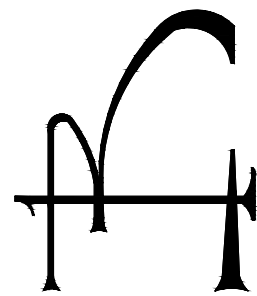
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JOB NO.	430MARS
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LEGEND - DEMOLITION	
MARK	LEGEND DEMOLITION
	EXISTING WALLS TO REMAIN.
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	EXISTING STRUCTURAL COLUMN TO REMAIN

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N°	LEGEND - DEMOLITION NOTES
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⑨	EXISTING INTERIOR DOOR AND CASING TO BE REMOVED.
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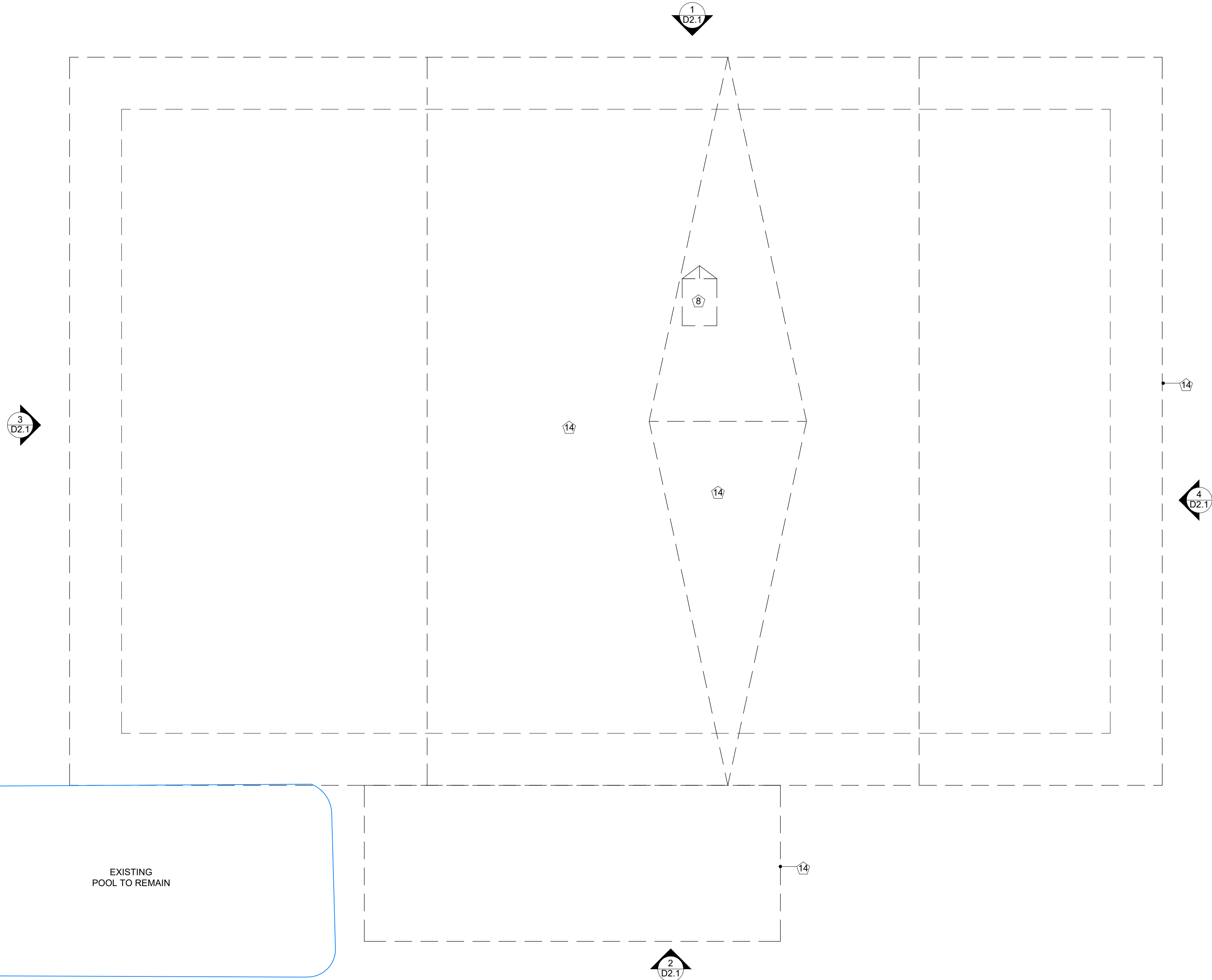
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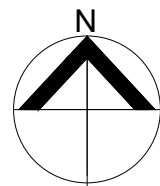
SCOPE OF WORK

EXTERIOR:
EXISTING FLOOR SLAB TO REMAIN.
EXISTING ROOF STRUCTURE TO BE REMOVED.
EXISTING ROOF STRUCTURE AT COVERED TERRACE TO BE REMOVED, CONCRETE SLAB AND STEEL COLUMNS TO REMAIN
NEW OPENINGS FOR NEW WINDOWS/DOORS.

INTERIOR:
ALL NEW WALL PARTITIONS
NEW FLOOR FINISHES THROUGHOUT
NEW BATHROOM FIXTURES AND FINISHES.

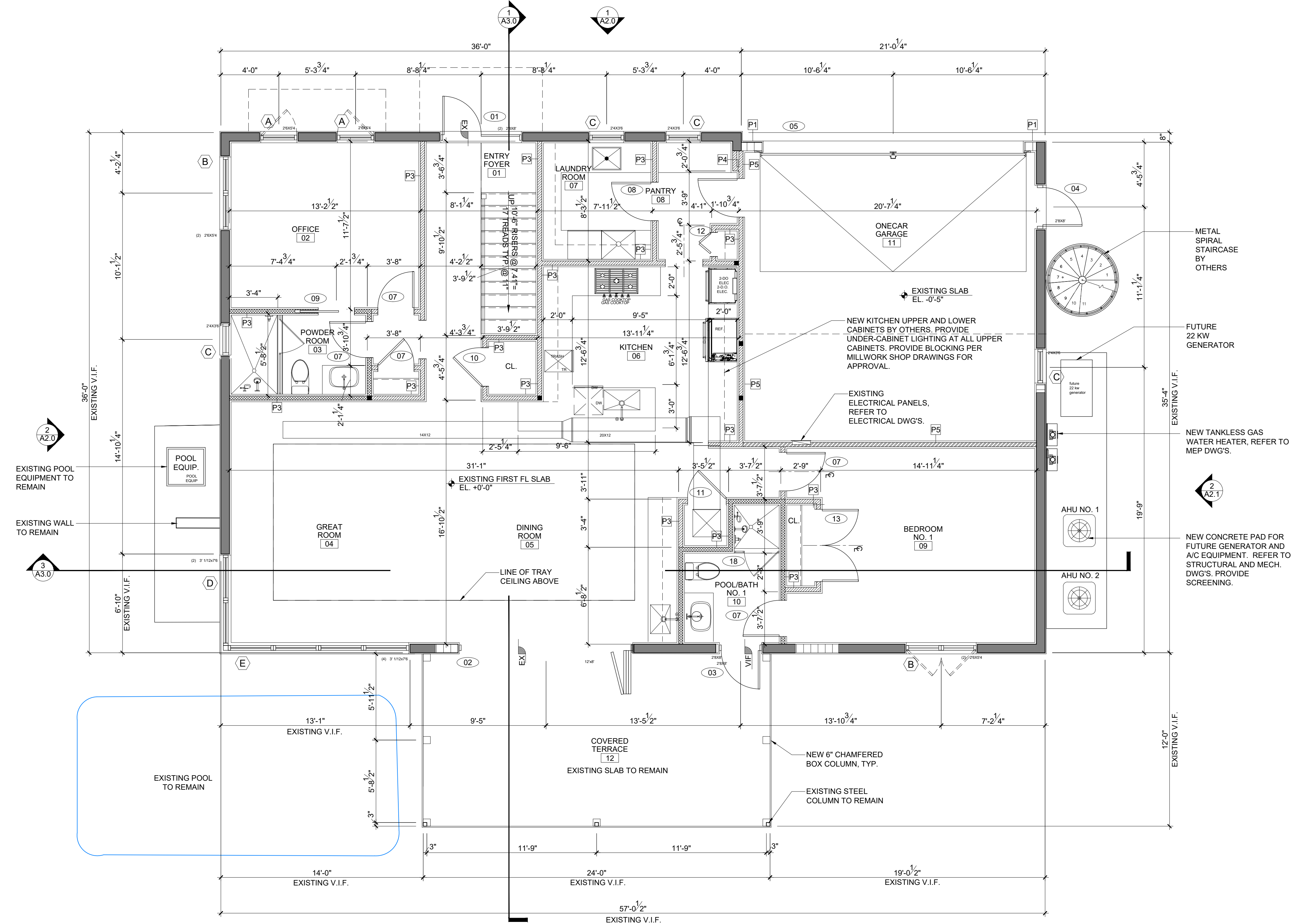


1 EXISTING/DEMOLITION ROOF PLAN
SCALE: 1/4" = 1'-0"



WALL PARTITION LEGEND

- P1 3/4" SMOOTH STUCCO FINISH (TO MATCH EXISTING) OVER 8" CMU WALL WITH WATERPROOFING EQUAL TO "THEROSEAL MASTERSEAL 583" OR APPROVED EQUAL. FILL ALL NON-GROUTED CELLS WITH CORE FILL 500 FOAM INSULATION.
- P2 2X6 WOOD STUD WITH EXTERIOR "DENSGLASS" EXTERIOR SHEATHING WITH DUPONT "TYVEK" STUCCO WRAP. CONTINUE MEMBRANE INTO OPENING OVER WOOD BUCK AND UP INTERIOR FACE OF STUD WALL A MIN. 8". REFER TO STRUCTURAL DWGS.
- P3 TWO LAYERS OF 1/2" GYP. WALLBOARD OR CEMENTITIOUS BACKER UNIT DUROCK FINISH ON WET WALLS APPLIED PARALLEL TO EACH SIDE OF METAL STUDS AND RUNNER TRACK WITH 1" TYPE "S" METAL SCREWS SPACED 8" O.C. REFER TO PLANS FOR WALL DESIGNATION. SOUND INSULATION OR R-11 INSULATION IF REQUIRED. PROVIDE WOOD BLOCKING FOR WALL MOUNTED CABINETS. REFER TO FLOOR PLANS FOR LOCATIONS.
- P4 ONE LAYER OF 1/2" GYP. WALLBOARD OR CEMENTITIOUS BACKER UNIT DUROCK FINISH ON WET WALLS APPLIED PARALLEL TO METAL STUDS AND RUNNER TRACK WITH 1" TYPE "S" METAL SCREWS SPACED 8" O.C. OR REFER TO PLANS FOR WALL DESIGNATION. SOUND INSULATION OR R-11 INSULATION IF REQUIRED. PROVIDE WOOD BLOCKING FOR WALL MOUNTED CABINETS. REFER TO FLOOR PLANS FOR LOCATIONS.



1 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

WALL LEGEND

- EXISTING 8" CMU WALLS TO REMAIN.
- NEW 8" MASONRY WALL.
- NEW, 2X6 WOOD STUD WALL WITH 1/2" EXT. SHEATHING
- NEW FLOOR SLAB, REFER TO STRUCTURAL DWGS.
- INDICATES NEW STRUCTURAL ELEMENTS; REFER TO STRUCTURAL DRAWINGS.
- 5/8" GYPSUM BOARD WALL.
- 1/2" CEMENTITIOUS BACKER UNIT DUROCK FINISH ON WET WALLS.
- HOSE BIB

NOTE:

BUILDER MUST COMPLY WITH ALL REQUIREMENTS OF THE FLORIDA BUILDING CODE BOTH EXISTING AND NEW CONSTRUCTION.

NOTE:

BUILDER TO PROVIDE PROPLEX MSC (MEGA SOUND CONTROL) UNDERPAYMENT MEMBRANE

NOTE:

BUILDER TO VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO ANY NEW CONSTRUCTION AND REPORT ANY DISCREPANCY TO THE ARCHITECT/ENGINEER OF RECORD SO THE APPROPRIATE ADJUSTMENTS MAY BE MADE.

GENERAL PLAN NOTES

- ALL EXTERIOR DIMENSIONS ARE TO FACE OF CMU/CONCRETE WALL UNLESS OTHERWISE NOTED.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISH WALL.
- COORDINATE ALL MASONRY OPENINGS FOR WINDOWS AND DOORS WITH WINDOW AND DOOR MANUFACTURER PRIOR TO BEAM AND BLOCK ERECTION.
- GARAGE FLOOR FINISH TO BE LIGHT GRAY EPOXY. PROVIDE COLOR FINISH SAMPLES FOR OWNER/ARCHITECT APPROVAL.
- ALL TERRACES TO HAVE NON-SLIP STONE FINISH ON CONCRETE SLAB PER STRUCTURAL DWGS. PROVIDE WATERPROOFING BY SOPREMA "ALSAN RS" OR APPROVED EQUAL, PER MANUFACTURER'S SPECIFICATIONS AND PRODUCT APPROVALS (SLOPE 1/8" PER FOOT). PROVIDE FINISH SAMPLES FOR OWNER/ARCHITECT APPROVAL.
- CABINETRY BY OTHERS. PROVIDE BLOCKING AS NEEDED FOR ALL CABINETRY AS PER MILLWORK SHOP DRAWINGS SUBMITTED FOR OWNER/ARCHITECT APPROVAL.
- PROVIDE UNDER-CABINET LIGHTING AT ALL UPPER CABINETS, TYP.
- COORDINATE ALL PLUMBING AND ELECTRICAL WITH FIXTURES AND BATH FINISHES.
- THERE SHALL BE A LANDING OR A FLOOR ON EITHER SIDE OF A DOOR AS PER FBC 311.4.3.
- STEEL STUDS SUPPORTING WALL HUNG FIXTURES AND CABINETS SHALL BE DOUBLE OR 20 GA. AS PER R4411.5.1.1 FBC.
- A HORIZONTAL RAIL FASTENED TO NO LESS THAN 2 STUDS SHALL BE PROVIDED AT WALL HUNG CABINETS AS PER R4411.4.5.1.3 FBC.
- ALL INTERIOR PARTITIONS: 3 1/2" SOUNDS ALTERATION BLANKET.
- ALL INSULATION MATERIALS TO HAVE FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450 AS PER FBC R302.10.1.
- USE 1/2" DUROCK AROUND ALL WET AREAS TO RECEIVE TILE/STONE FINISH AND BUILDING PAPER BACKING.
- PROVIDE MOIST RESISTANT BOARD ON ALL WALL TO RECEIVE PAINT IN BATHROOMS AND KITCHENS.
- ALL TILES IN BATHROOM WET AREAS TO HAVE A 6'-0" MINIMUM ABOVE FLOOR AREA IN COMPLIANCE WITH FBC 307.2.
- ALL BATH/TUB SHOWER ACCESS TO HAVE A MINIMUM WIDTH OF 22" CLEAR AS PER FBC 2023.
- ALL WINDOW AND DOOR OPENINGS WITH ACCESS FROM THE HOME TO THE POOL AREA SHALL MEET THE RESIDENTIAL POOL SAFETY ACT, CHAPTER 41, FROM THE FBC 2023 RESIDENTIAL EDITION.
- ALL WINDOWS AND DOORS TO BE OF IMPACT RATED GLASS AND COMPLY WITH PROVIDED ENERGY CALCULATIONS.
- ALL EGRESS WINDOWS SHALL COMPLY WITH FPPC 101 CHAPTER 24 EGRESS EFFORTS AT ALL EMERGENCY EGRESS WINDOWS AND DOORS. REQUIREMENT: 5.7 SQ. FT. CLEAR OPENING, NOT LESS THAN 20" WIDTH, NOT LESS THAN 24" HEIGHT, AND NOT MORE THAN 44" FROM BOTTOM OF OPENING (TYP. THRU OUT).
- WINDOW GUARDS NEEDED ON 2ND STORY WINDOWS WHERE SILLS ARE LESS THAN 36" AFF PER FBC 4410.2.4.1. PROVIDE SAFETY TYPE GLAZING CAT II AT ALL LARGE GLAZING AREAS (MORE THAN 128 SQ. IN.) TO SURVIVE AN IMPACT OF 400 FOOT POUNDS (AN ADULT).
- PROVIDE SAFETY TYPE GLAZING CAT II AT ALL LARGE GLAZING AREAS (MORE THAN 128 SQ. IN.) TO SURVIVE AN IMPACT OF 400 FOOT POUNDS (AN ADULT).
- ALL GLASS DOORS MUST BE INDICATED TO BE CATEGORY II SAFETY GLAZING FBC R4410.2.3.1.3.2.
- GLASS PANELS ADJACENT TO DOORS (WITHIN 48") MUST BE INDICATED TO BE CATEGORY II SAFETY GLAZING FBC R4410.2.4.3(2).
- GLASS IN WINDOWS ADJACENT TO TUBS AND SHOWER COMPARTMENTS MUST BE CATEGORY II SAFETY GLAZING FBC R4410.2.3.1.3.2 & R4410.2.6.2.
- GLASS IN BATH AND SHOWER ENCLOSURES MUST BE OF CATEGORY II SAFETY GLAZING FBC 4410.2.3.1.3.2.
- NEW WALL AND CEILING FINISHES SHALL HAVE FLAME SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273 AS PER FBC 302.9.
- INSULATION MATERIALS, FACINGS, VAPOR RETARDERS SHALL HAVE A FLAME-SPREAD OF NOT GREATER THAN 25 AND SMOKE-DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273 AS PER FBC 302.10.
- FIRE BLOCKING SHALL BE PROVIDED IN WALLS EVERY 8'-0", AT INTERCONNECTIONS, BETWEEN STAIRS AND STRINGERS, AT FLOOR JOINTS AND AROUND DOOR POCKETS PER FBC 4409.7.2. FIRESTOPS MUST BE INSTALLED IN CONCEALED SPACES CREATED BY WOOD FURRING STRIPS AT FLOOR AND CEILING LEVELS AND TO LIMIT MAXIMUM DIMENSION OF THE CONCEALED SPACE TO 8 FT. AS PER FBC 4409.7.2.1.
- ALL CONSTRUCTION AND FINISH MATERIAL BELOW BASE FLOOD ELEVATION SHALL BE FLOOD DAMAGE RESISTANT MATERIAL (ASCE 24-05, CH. 5.0).
- ALL UTILITIES, EQUIPMENT AND ACCESSORIES (ELECTRICAL, MECHANICAL AND PLUMBING) SERVICING THE BUILDING SHALL BE INSTALLED AT OR ABOVE BFE (ASCE 24-05 CH. 07).
- POOL EQUIPMENT AT OR ABOVE BFE +8.0 N.A.V.D
- ALL WOOD CLADDING ON EXTERIOR WALLS MUST COMPLY WITH (FBC 1403.5).
- ALL EXTERIOR GRADE TO SLOPE 1:20 AWAY FROM BUILDING ON ALL SIDES.
- PROVIDE A3" MINIMUM CLEARANCE BETWEEN HEAT PRODUCING EQUIPMENTS AND LIGHT FIXTURES FROM THE INSULATION AS PER GITED CODE REFERENCED FBC2023 - R302.1.3
- FINISHES BY OWNER. CONTRACTOR TO SUPPLY MATERIALS FOR REVIEW AND APPROVAL BY ARCHITECT.
- PLENUM & SEALED ATTIC SPACE: ALL MECHANICAL, ELECTRICAL, PLUMBING, LIGHTING DISCIPLINES SHALL PROVIDE THE FOLLOWING: (AT) AIR TIGHT PLENUMS AND (IC) INSULATION CONTACT.
- GO TO COORDINATE SIZES OF A/C COMPRESSOR INCLUDING CLEARANCES. ALL SCREENS TO BE 12" ABOVE UNITS AND PAINTED TO MATCH HOUSE COLOR UNLESS OTHERWISE NOTED.
- A.H.U.'s MUST BE IN CLOSET WITH 4" MIN. CLEARANCE AROUND UNIT.
- SMOKE DETECTORS ARE TO BE AT LEAST 3' WAY FROM A/C SUPPLY GRILLS.

TYPICAL GARAGE NOTES:

- IN COMMON WALLS BETWEEN AN ATTACHED GARAGE AND A RESIDENCE, PENETRATIONS THROUGH THE 1/2" GYPSUM BOARD CAUSED BY AIR CONDITIONING EQUIPMENT SHALL BE CONSTRUCTED OF NO LESS THAN 26 GA. SHEET METAL OR OTHER APPROVED MATERIAL (1/2" DUCT BOARD IS ALLOWED AS AN APPROVED ALTERNATE MATERIAL. NO OPENINGS FROM THE DUCT INTO THE GARAGE ARE PERMITTED PER FBC SECTION R309.1.1.
- DOORS BETWEEN AN ATTACHED GARAGE AND RESIDENCE MUST BE EITHER, A SOLID WOOD DOOR NOT LESS THAN 1 3/8" THICK, A SOLID OR HONEYCOMBED CORE STEEL DOOR NOT LESS THEN 1 3/8" THICK OR 20 MIN. FIRE RATED PER FBC SECTION R309.1.
- GARAGE SPACES SHALL BE SEPARATED FROM RESIDENCE AND ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD TYPE "X".
- PROVIDE SCREENED OPENINGS THROUGH GARAGE AND/OR EXTERIOR CMU WALL WITH CLEAR EFFECTIVE AREA NO LESS THAN 1 SQ. IN. PER EVERY SQ. FT. OF ENCLOSED AREA. THE BOTTOM OF THE OPENING MUST BE NO HIGHER THAN ONE FOOT A.F.F. TO COMPLY WITH FBC AND FEMA REGULATIONS.
- PROVIDE 1 HR. RATED ASSEMBLY WALLS BETWEEN A GARAGE AND HABITABLE SPACES. 8" BLOCK WALL WITH 1x3 PT FURRING STRIPS 16" O.C. WITH ONE LAYER GYPSUM WALLBOARD (WALL TO RECEIVE SKIN COAT VENEER ON DUROCK) WITH R5 FOIL INSULATION ON FINISHED SPACES.

RENO/ADDITION TO EXISTING SINGLE FAMILY RESIDENCE:

PRIVATE RESIDENCE

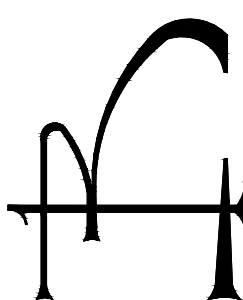
430 MARS WAY
JUNO BEACH, FL

GREGORY BONNER, AIA

AA26003271

B1 ARCHITECT

139 NORTH COUNTY ROAD, STE 18C
PALM BEACH FLORIDA 33480
(561) 312-3453

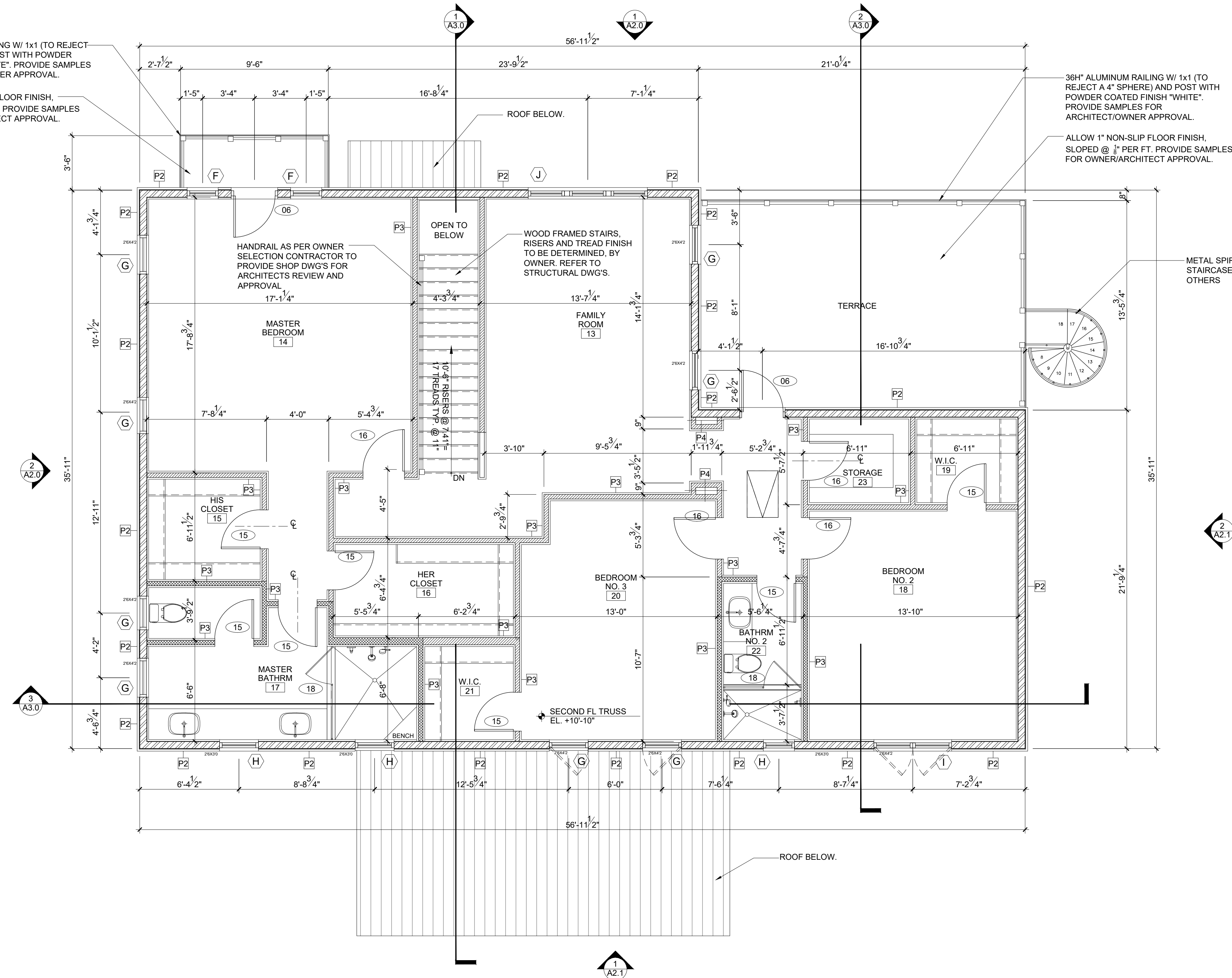


JOB NO. 430MARS
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SCALE AS NOTED
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A1.0

36H" ALUMINUM RAILING W/ 1x1 (TO REJECT A 4" SPHERE) AND POST WITH POWDER COATED FINISH "WHITE". PROVIDE SAMPLES FOR ARCHITECT/OWNER APPROVAL.

ALLOW 1" NON-SLIP FLOOR FINISH, SLOPED @ $\frac{1}{8}$ " PER FT. PROVIDE SAMPLES FOR OWNER/ARCHITECT APPROVAL.



WALL LEGEND

- EXISTING 8" CMU WALLS TO REMAIN.
- NEW 8" MASONRY WALL.
- NEW, 2X6 WOOD STUD WALL WITH 1/2" EXT. SHEATHING
- NEW FLOOR SLAB. REFER TO STRUCTURAL DWGS.
- INDICATES NEW STRUCTURAL ELEMENTS; REFER TO STRUCTURAL DRAWINGS.
- 5/8" GYPSUM BOARD WALL.
- CEMENTITIOUS BACKER UNIT DUROCK FINISH ON WET WALLS.
- HOSE BIB

NOTE:

BUILDER MUST COMPLY WITH ALL REQUIREMENTS OF THE FLORIDA BUILDING CODE BOTH EXISTING AND NEW CONSTRUCTION.

NOTE:

BUILDER TO PROVIDE PROFLEX MSC (MEGA SOUND CONTROL) UNDERPAYMENT MEMBRANE

NOTE:

BUILDER TO VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO ANY NEW CONSTRUCTION AND REPORT ANY DISCREPANCY TO THE ARCHITECT/ENGINEER OF RECORD SO THE APPROPRIATE ADJUSTMENTS MAY BE MADE.

WALL PARTITION LEGEND

- $\frac{3}{8}$ " SMOOTH STUCCO FINISH (TO MATCH EXISTING) OVER 8" CMU WALL WITH WATERPROOFING EQUAL TO "THEROSEAL MASTERSEAL 583" OR APPROVED EQUAL. FILL ALL NON-GROUTED CELLS WITH CORE FILL 500 FOAM INSULATION.
- 2X6 WOOD STUD WITH EXTERIOR "DENSGLASS" EXTERIOR SHEATHING, WITH DUPONT "TYVEK" STUCCO WRAP. CONTINUE MEMBRANE INTO OPENING OVER WOOD BUCK AND UP INTERIOR FACE OF STUD WALL A MIN. 8". REFER TO STRUCTURAL DWGS.
- TWO LAYERS OF $\frac{5}{8}$ " GYP. WALLBOARD OR CEMENTITIOUS BACKER UNIT DUROCK FINISH ON WET WALLS APPLIED PARALLEL TO EACH SIDE OF METAL STUDS AND RUNNER TRACK WITH 1" TYPE "S" METAL SCREWS SPACED 8" O.C. REFER TO PLANS FOR WALL DESIGNATION. SOUND INSULATION OR R-11 INSULATION IF REQUIRED. PROVIDE WOOD BLOCKING FOR WALL MOUNTED CABINETS, REFER TO FLOOR PLANS FOR LOCATIONS.
- ONE LAYER OF $\frac{5}{8}$ " GYP. WALLBOARD OR CEMENTITIOUS BACKER UNIT DUROCK FINISH ON WET WALLS APPLIED PARALLEL TO METAL STUDS AND RUNNER TRACK WITH 1" TYPE "S" METAL SCREWS SPACED 8" O.C. OR REFER TO PLANS FOR WALL DESIGNATION. SOUND INSULATION OR R-11 INSULATION IF REQUIRED. PROVIDE WOOD BLOCKING FOR WALL MOUNTED CABINETS, REFER TO FLOOR PLANS FOR LOCATIONS.

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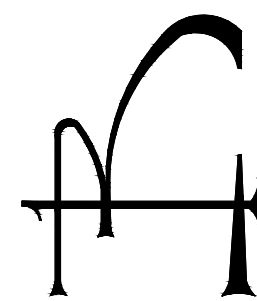
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GREGORY BONNER, AIA

AA26003271

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139 NORTH COUNTY ROAD, STE 18C
PALM BEACH FLORIDA 33480
(561) 312-3453



JOB NO.	430MARS
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A1.1

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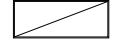

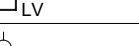
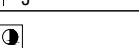

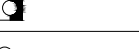



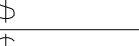
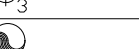



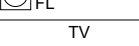




430 MARS WAY

JUNO BEACH, FL

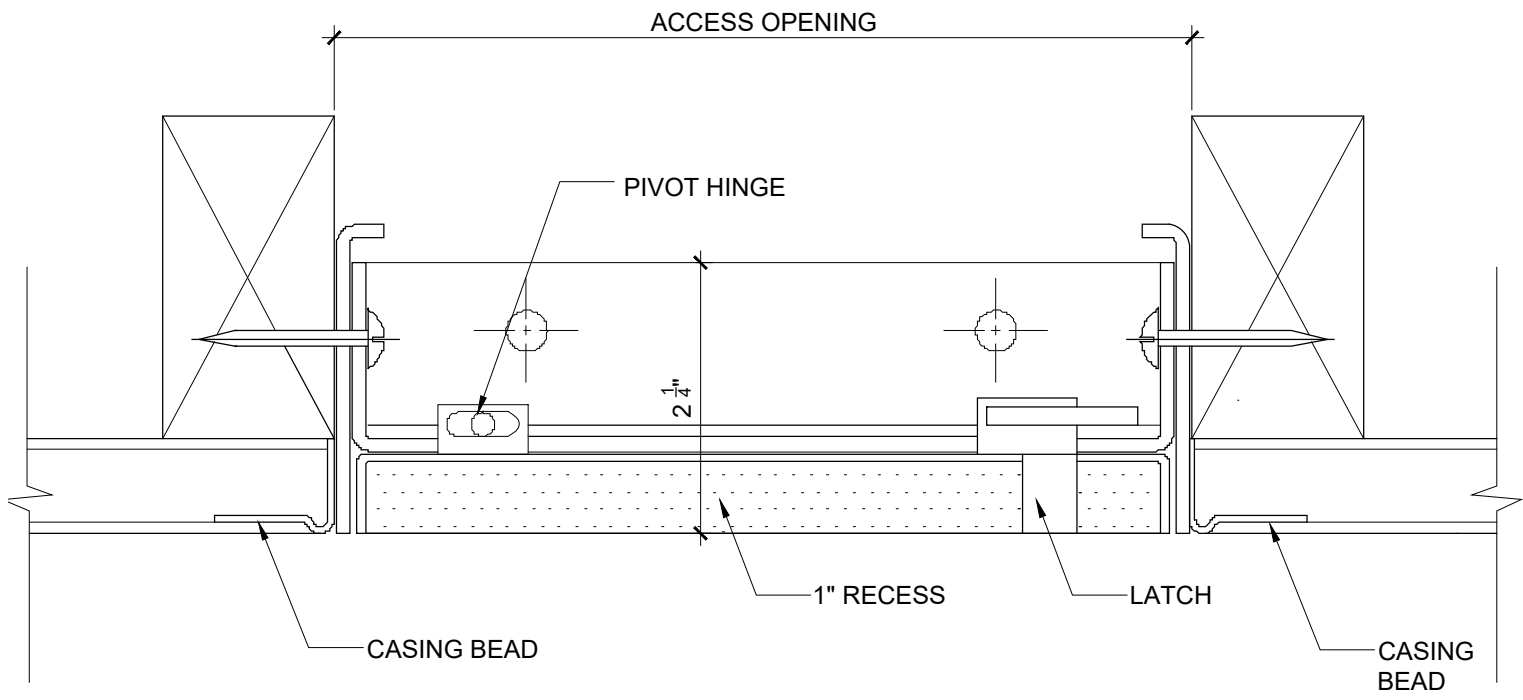
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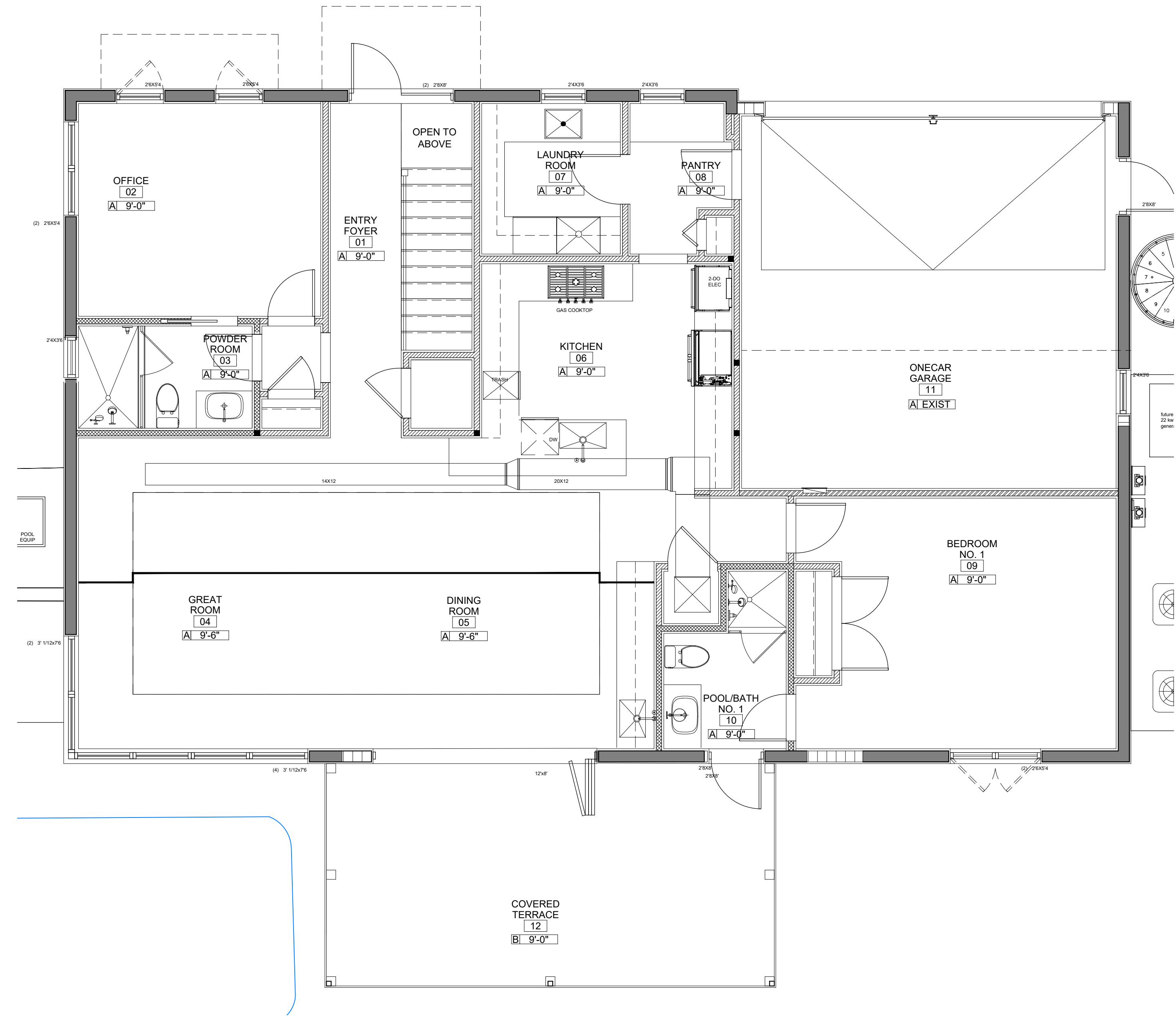
A1.2

REFLECTED CEILING PLAN/LIGHTING/POWER LEGEND	
	SURFACE MOUNT FIXTURE 2 X 4
	3" USAI BEVELED MINI PRODUCT NUMBER B3SC
	3" USAI BEVELED MINI PRODUCT NUMBER B3SC
	CEILING MOUNTED HANGING FIXTURE
	RECESSED WALL WASHER
	EXTERIOR RECESSED CEILING DOWN LIGHT
	EXTERIOR RECESSED WALL WASHER
	SONNETMAN 36" SIDEWAYS LED SCONCES
	VAPOR PROOF CEILING FIXTURE
	WALL MOUNTED FIXTURE; DESIGN T.B.D.
	ERT 560 GIMBAL 25" TILT RECESSED CEILING DOWNLIGHT- MAN. COOPER LIGHTING
	1 POLE, 20 AMP, SWITCH WALL MOUNT AT 42" A.F.F..
	3-WAY, 20 AMP, SWITCH WALL MOUNT AT 42" A.F.F..
	EXHUAUST FAN
	DUPLEX OUTLET
	GFI OUTLET
	TELEPHONE/DATA
	FLOOR OUTLET
	TV/DATA

REFLECTED CEILING PLAN NOTES	
1.	ARCHITECTURAL AND/OR INTERIOR DESIGN LIGHTING PLAN SUPERCEDES ELECTRICAL PLAN FOR LOCATIONS AND FIXTURE TYPE IF NOTED. COORDINATE WITH ELECTRICAL PLAN AND NOTIFY ARCHITECT IF THERE ARE ANY DISCREPANCIES PRIOR TO BID AND PURCHASING.
2.	ALL ELECTRICAL FIXTURES TO BE PURCHASED AND SUPPLIED BY OWNER. INSTALLED BY GENERAL CONTRACTOR.
3.	G.C. TO PROVIDE BLOCKING AS REQUIRED TO SECURE ALL CEILING MOUNTED FIXTURES AND DEVICES. TYP.
4.	OWNER/ARCHITECT TO REVIEW ALL LIGHTING FIXTURE AND DEVICE LOCATIONS IN FIELD PRIOR TO INSTALLATION.
5.	ALL CEILING HEIGHT ARE FROM TOP OF SLAB/FLOOR TRUSS
CEILING FINISHES:	
"A" - 5/8" GYPBOARD CEILING; PAINTED.	
"B" - 3/4" TONGUE AND GROOVE CEILING WITH VAPOR BARRIER ON 5/8" EXTERIOR PLYWOOD, PAINTED.	
"C" - 3/4" SMOOTH STUCCO, 3-COAT, WITH WATERPROOFING EQUAL TO THEROSEAL" MASTERSEAL 583" OR APPROVED EQUAL, PAINTED.	
"D" - 5/8" DENSARMOR PLUS TYPE "X" CEILING; PAINTED.	



3 ATTIC ACCESS DETAIL
SCALE: 1/2" = 1'-0"



1 PROPOSED FIRST FL RCP
SCALE: 1/4" = 1'-0"



2 PROPOSED SECOND FL RCP
SCALE: 1/4" = 1'-0"

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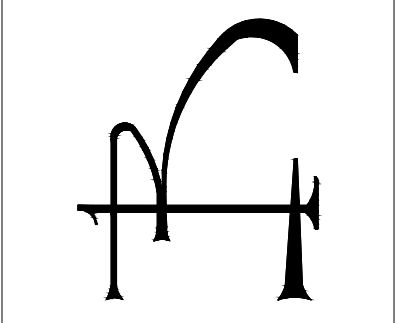
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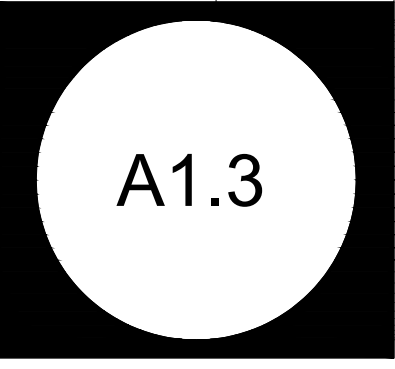
GREGORY BONNER, AIA

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PALM BEACH FLORIDA 33480
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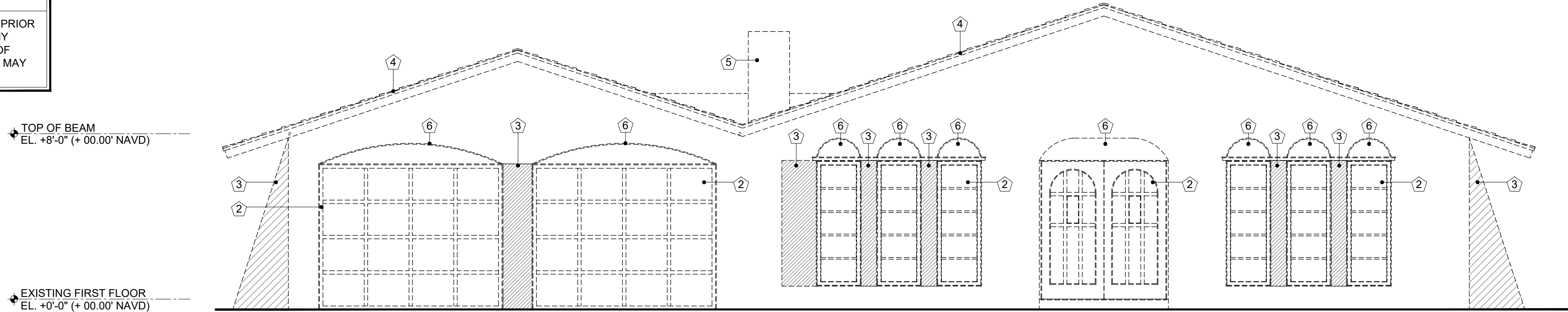
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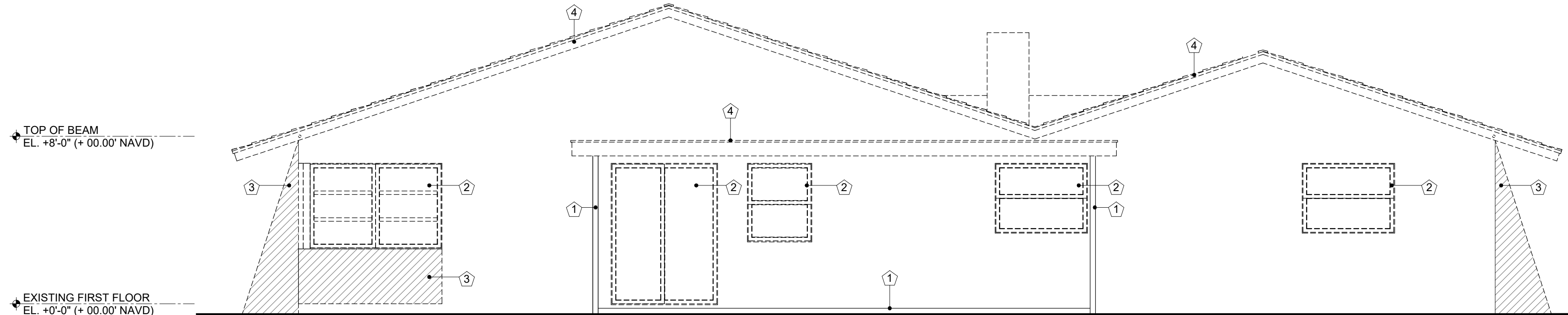
LEGEND - DEMOLITION	
MARK	LEGEND DEMOLITION
	EXISTING WINDOWS/DOORS TO REMAIN.
	AREA OF CMU WALL TO BE REMOVED.
	TO BE DEMOLISHED.

NOTE:
NO DEMOLITION OR RENOVATION OF EXISTING STRUCTURE HAVING ASBESTOS.

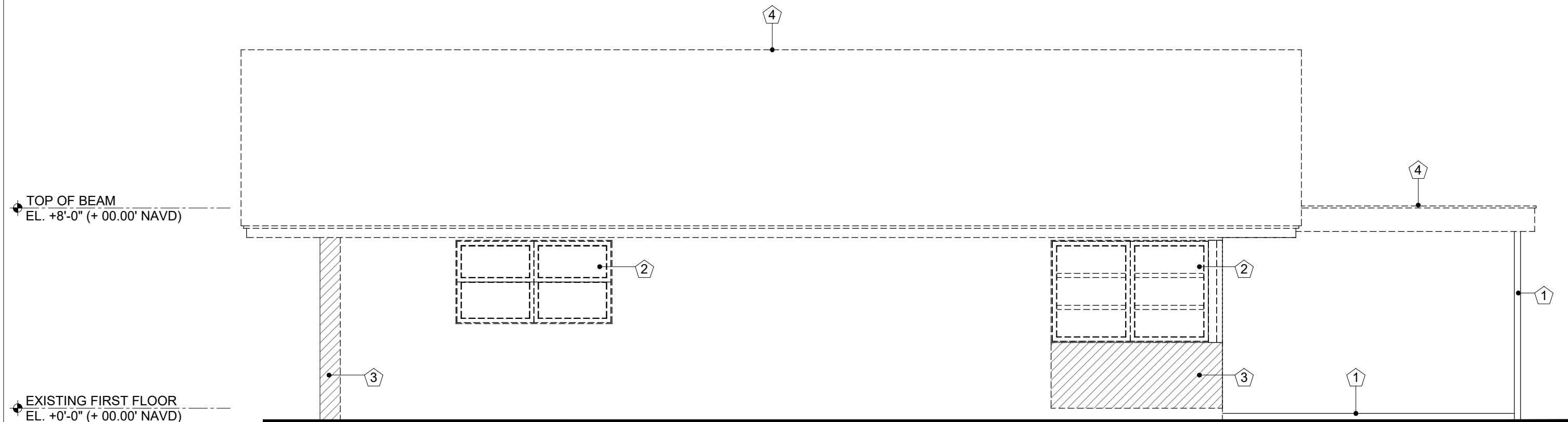
NOTE:
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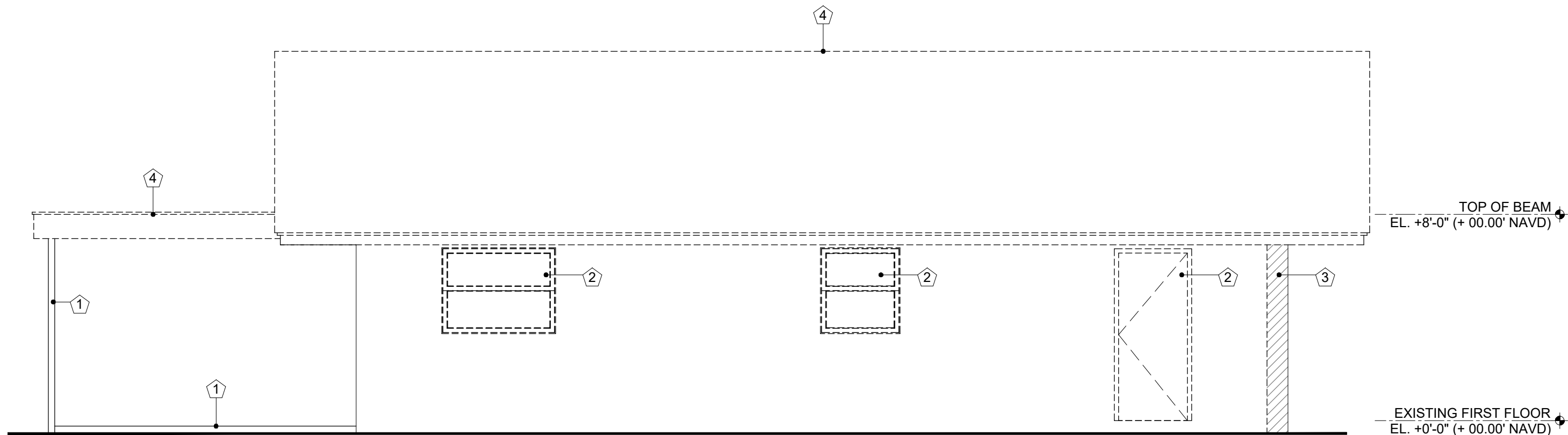
1 EXISTING/DEMOLITION SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 EXISTING/DEMOLITION NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 EXISTING/DEMOLITION WEST ELEVATION
SCALE: 1/4" = 1'-0"



4 EXISTING/DEMOLITION EAST ELEVATION
SCALE: 1/4" = 1'-0"

N°	LEGEND - DEMOLITION NOTES
①	EXISTING TO REMAIN.
②	EXISTING WINDOW/DOOR, FRAME AND CASINGS TO BE REMOVED.
③	EXISTING PORTION OF EXTERIOR WALL TO BE REMOVED
④	EXISTING ROOF STRUCTURE TO BE REMOVED.
⑤	EXISTING CHIMNEY
⑥	EXISTING STUCCO TRIM TO BE FILLED IN
⑦	EXISTING RAILING TO BE REMOVED

- DEMOLITION NOTES:
- GENERAL AND SUB-CONTRACTORS SHALL BE PROPERLY LICENSED AND INSURED AS PER ALL GOVERNING LAWS.
 - ACCESS TO SITE SHALL BE COORDINATED WITH OWNER BEFORE START OF CONSTRUCTION.
 - CONTRACTOR TO COORDINATE ALL PHASES OF CONSTRUCTION WITH OWNER.
 - GENERAL CONTRACTOR MUST FURNISH AND INSTALL A TEMPORARY BARRICADE WITH ACCESS DOOR IN COMPLIANCE WITH OWNER REQUIREMENTS, INCLUDING SIGNAGE.
 - THE USE OF DUMPSTERS AND WORK PROCEDURES ARE TO BE COORDINATED WITH OWNER.
 - CONTRACTOR TO OBTAIN ALL NECESSARY APPROVALS AND/OR PERMITS BEFORE COMMENCING WORK INCLUDING POSSIBLE OBSTRUCTION OF STREET, WALKWAYS AND/OR ADJACENT FACILITIES FROM PROPER AUTHORITIES HAVING JURISDICTION.
 - COMPLETE ALL DEMO AS SPECIFIED IN THIS DRAWING.
 - PRIOR TO ANY DEMOLITION WORK THE CONTRACTOR SHALL THOROUGHLY SURVEY THE SPACE TO BE DEMOLISHED TO ASSURE THAT THIS WORK WILL BE ACCOMPLISHED WITH MINIMAL DISTURBANCE TO THE REST OF THE BUILDING. GENERAL CONTRACTOR SHALL REQUIRE A LICENSED AND INSURED SUB-CONTRACTOR TO DISCONNECT & CAP OFF THE EXISTING HOT & COLD DOMESTIC WATER SYSTEM LINES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFE STABILITY OF THE EXISTING STRUCTURE UNTIL THE CONSTRUCTION IS COMPLETE. DO NOT REMOVE STRUCTURAL WALLS, COLUMN AND OR BEAMS. EXPOSE ALL STRUCTURAL LOAD BEARING CONDITIONS FOR ENGINEER OF RECORDS OBSERVATION. NOTHING SHALL RELIEVE THE GENERAL CONTRACTOR FROM HIS RESPONSIBILITY TO PROVIDE FOR SAFETY AND PROTECTION OF PERSONS/PROPERTY.
 - CONTRACTOR IS TO BE CAREFUL NOT TO DEMOLISH OR DAMAGE ANY EXISTING CONCRETE COLUMN OR BEAMS OR STRUCTURE NOT IDENTIFIED EXPLORATORY DEMOLITION IS REQUIRED IN ORDER TO EXPOSE OBSTACLES AND EXISTING STRUCTURAL CONDITIONS.
 - A LICENSED ELECTRICIAN SHALL DISCONNECT THE EXISTING ELECTRICAL SYSTEM WITHIN THE LIMITS OF THE WORK AREA. REMOVE ALL EXISTING RECEPTACLES, SWITCHES, AND LIGHT FIXTURES AS REQUIRED. MAINTAIN IN FUNCTIONING CONDITIONING. TEMPORARY CIRCUITS FOR CONSTRUCTION POWER AND LIGHTING SHALL BE ESTABLISHED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. CONFIRM WITH THE OWNER THE REMOVAL OF LIGHT FIXTURES AND FANS IN WORK AREA.
 - VERIFY WITH MECHANICAL CONTRACTOR IF EXISTING HVAC EQUIPMENT AND DUCTS SHALL REMAIN OR BE REUSED. FILTER CLOTH SHALL BE APPLIED TO ALL AC OUTLETS AND INLETS DURING THE ENTIRE CONSTRUCTION PERIOD AND REPLACED PERIODICALLY TO PROTECT THE EXISTING AC DUCT WORK FROM CONSTRUCTION DEBRIS AND DUST.
 - DISCONNECT AND PROPERLY DISPOSE OF ALL APPLIANCES (AS NOTED) PRIOR TO DISPOSAL. CONFIRM WITH THE OWNER IF THEY WISH TO DONATE OR KEEP ANY OR ALL OF THE EXISTING APPLIANCES.
 - REMOVE ALL INTERIOR PARTITIONS AND DOORS THAT ARE SHOWN IN DASHED LINES.
 - COORDINATED WITH ARCHITECTURAL DWG's.
 - ALL WALLS WHICH ARE REMOVED OR ALTERED SHALL BE REFRAMED TO CONFORM WITH THE CONVENTIONAL FRAMING METHODS AND INCLUDE REQUIRED PLATES, JACKS AND HEADERS AS REQUIRED TO PROPERLY SUPPORT THE REMAINING WALLS, DOORS AND OPENINGS.
 - REMOVE ALL EXISTING FLOORING AND INSTALL NEW FLOORING THROUGHOUT. CONFIRM SELECTIONS WITH OWNER.
 - CONTRACTOR TO PREPARE THE EXISTING CONCRETE SLAB AS REQUIRED TO BE EVEN ELEVATION THRU-OUT SMOOTH, CONTINUOUS LEVEL AND READY TO ACCEPT NEW FINISHES. THIS INCLUDED "FLOATING" ANY UNACCEPTABLE AREAS AS REQUIRED, OR FILLING A SLAB AT HOLES OR IMPERFECTIONS LEFT BECAUSE OF DEMOLITION.
 - IF DURING CONSTRUCTION EVIDENCE OF ASBESTOS IS FOUND, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH THE PROVISIONS OF s.469.003 FLORIDA STATUTES AND TO NOTIFY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION OF THEIR INTENTIONS TO REMOVED ASBESTOS, IN ACCORDANCE WITH THE STATE AND FEDERAL LAW.
 - REMOVE ALL INTERIOR WOOD TRIM.
 - REMOVE ALL FINISH MATERIALS INCLUDING ALL BUILT IN FURNITURE, LAMPS, WALL FIXTURES, WALL COVERINGS, CURTAINS, FLOORING AND CEILINGS (BE AWARE TO MAKE PRIOR DISCONNECTIONS OF EQUIPMENTS).
 - REMOVE ALL REMAINING NAILS, STRAPS AN MISCELLANEOUS OBJECTS LEFT OVER FROM DEMOLITION. CONTRACTOR SHALL LEAVE PREMISES BROOM SWEEP FINISH.
 - TO CONTROL DUST & DEBRIS THE CONTRACTOR SHALL REMOVE ALL DEMOLITION DEBRIS FROM THE FLOOR, THE BUILDING AND SWEEPS THE FLOOR CLEAN ON A DAILY BASIS THROUGHOUT THE DEMOLITION PROCESS.
 - CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS SHOWING ALL CHANGES OF UTILITIES.
 - ALL EXISTING CONDITIONS SHOWN ON DRAWINGS ARE ACCURATE TO THE BEST OF OUR KNOWLEDGE. IN THE EVENT OF ANY INCONSISTENCY NOTIFY THE ARCHITECT/ENGINEER OF RECORD.

ISSUE	DATE
PERMIT SET	04.04.25

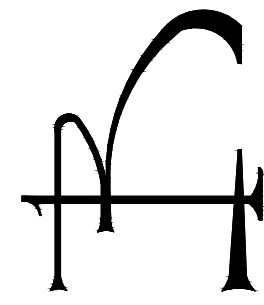
ALL DESIGNS, IDEAS, ARRANGEMENTS, AND INFORMATION REPRESENTED BY THIS DRAWING ARE THE PROPERTY OF B1 ARCHITECT AND WERE CREATED, DEVELOPED AND EXERCISED FOR THE SPECIFIED PROJECT ON WHICH NONE OF THE DESIGN, IDEAS AND ARRANGEMENTS SHOULD BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT A WRITTEN PERMISSION FROM B1 ARCHITECT. THE CONTRACTOR WHO SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS OF THE JOB. WRITTEN PERMISSION SHALL PRECEDE ANY OTHER SCALED DIMENSIONS. CONTRACTOR SHALL NOTIFY THE OFFICE OF ANY VARIATIONS IN DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS. SCALED DETAILS WITH ADEQUATE DIMENSIONING AND SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION OF THE ITEMS INDICATED.

RENO/ADDITION TO EXISTING SINGLE FAMILY RESIDENCE:
PRIVATE RESIDENCE
430 MARS WAY
JUNO BEACH, FL

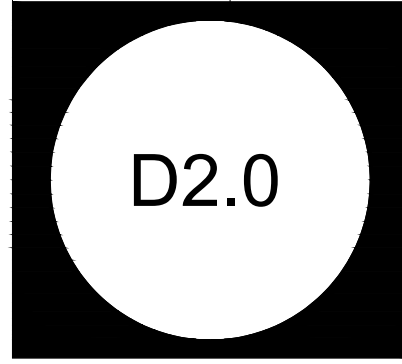
GREGORY BONNER, AIA

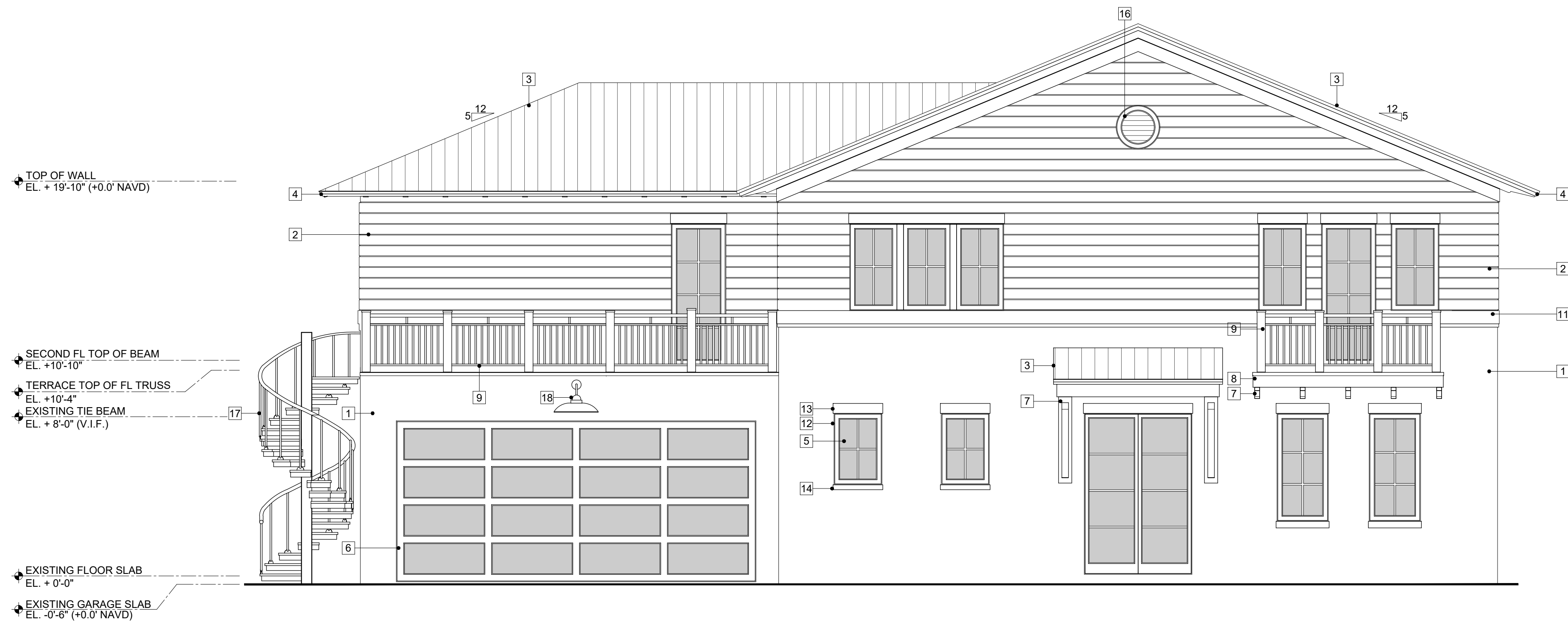
AA26003271

B1 ARCHITECT
139 NORTH COUNTY ROAD, STE 18C
PALM BEACH FLORIDA 33480
(561) 312-3453



JOB NO.	430MARS
PLOT DATE	04.04.2025
SCALE	AS NOTED
DRAWN BY	mmc





LEGEND
1 3/8" SMOOTH STUCCO, 3-COAT SYSTEM, PAINTED "F&B JAMES WHITE NO. 2010"; WITH WATERPROOFING EQUAL TO THEROSEAL" MASTERSEAL 583" OR APPROVED EQUAL.
2 3/8" SMOOTH STUCCO 6" BAND WITH 3/8" CONTINUES REVEAL AND 5" STUCCO CORNER TRIM; PAINTED "F&B JAMES WHITE NO. 2010"
3 "ZINC GRAY" STANDING SEAM METAL ROOF, PROVIDE SAMPLES FOR ARCH/OWNER APPROVAL.
4 1x PT WOOD FASCIA & DECORATIVE 3x6 OUTLOOKERS AT EAVES, TYP. PAINTED "F&B JAMES WHITE NO. 2010"
5 IMPACT RATED, MIAMI DADE COUNTY APPROVED WINDOWS AND DOORS WITH "BLACK" FINISH.
6 IMPACT RATED, MIAMI DADE COUNTY APPROVED, ALUMINUM GARAGE DOOR WITH "F&B JAMES WHITE NO. 2010" FINISH
7 DECORATIVE CYPRESS WOOD BEAM AND BRACKET SEALED AND PAINTED WHITE "F&B JAMES WHITE NO. 2010". PROVIDE SAMPLES FOR ARCH/OWNER APPROVAL.
8 1x PT WOOD DECKING AND BOX SKIRT, WITH WOOD BRACKETS AND T&G DECKING ON UNDERSIDE, PAINTED "F&B JAMES WHITE NO. 2010".
9 36" H METAL RAILING WITH 1" PICKETS AND 6" POST, W/ POWDER COATED" "F&B JAMES WHITE NO. 2010".
10 6" BOX COLUMN AND BEAM SEALED AND PAINTED WHITE "F&B JAMES WHITE NO. 2010". PROVIDE SAMPLE.
11 4" H SMOOTH STUCCO BAND, 3-COAT SYSTEM, PAINTED "F&B JAMES WHITE NO. 2010"; WITH WATERPROOFING EQUAL TO THEROSEAL" MASTERSEAL 583" OR APPROVED EQUAL.
12 1 1/2" W, 3/8" SMOOTH STUCCO TRIM, SEALED AND PAINTED "F&B JAMES WHITE NO. 2010"; FINISH.
13 6" H, 3/8" SMOOTH STUCCO HEADER, SEALED AND PAINTED "F&B JAMES WHITE NO. 2010"; FINISH.
14 4" H, 3/8" SMOOTH STUCCO SILL, SEALED AND PAINTED "F&B JAMES WHITE NO. 2010"; FINISH.
15 1x WOOD FASCIA, TYP. PAINTED "F&B JAMES WHITE NO. 2010"
16 1" PRECAST STUCCO TRIM, PAINTED WHITE. PROVIDED SAMPLES FOR ARCHITECT APPROVAL.
17 METAL SPIRAL STAIRCASE, BY OTHERS. PROVIDE SHOP DRAWINGS FOR OWNER/ARCH. APPROVAL.
18 LIGHT FIXTURE, BY OTHERS.

RENO/ADDITION TO EXISTING SINGLE FAMILY RESIDENCE:

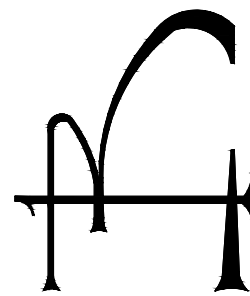
PRIVATE RESIDENCE

430 MARS WAY
JUNO BEACH, FL

GREGORY BONNER, AIA

AA26003271

B1 ARCHITECT

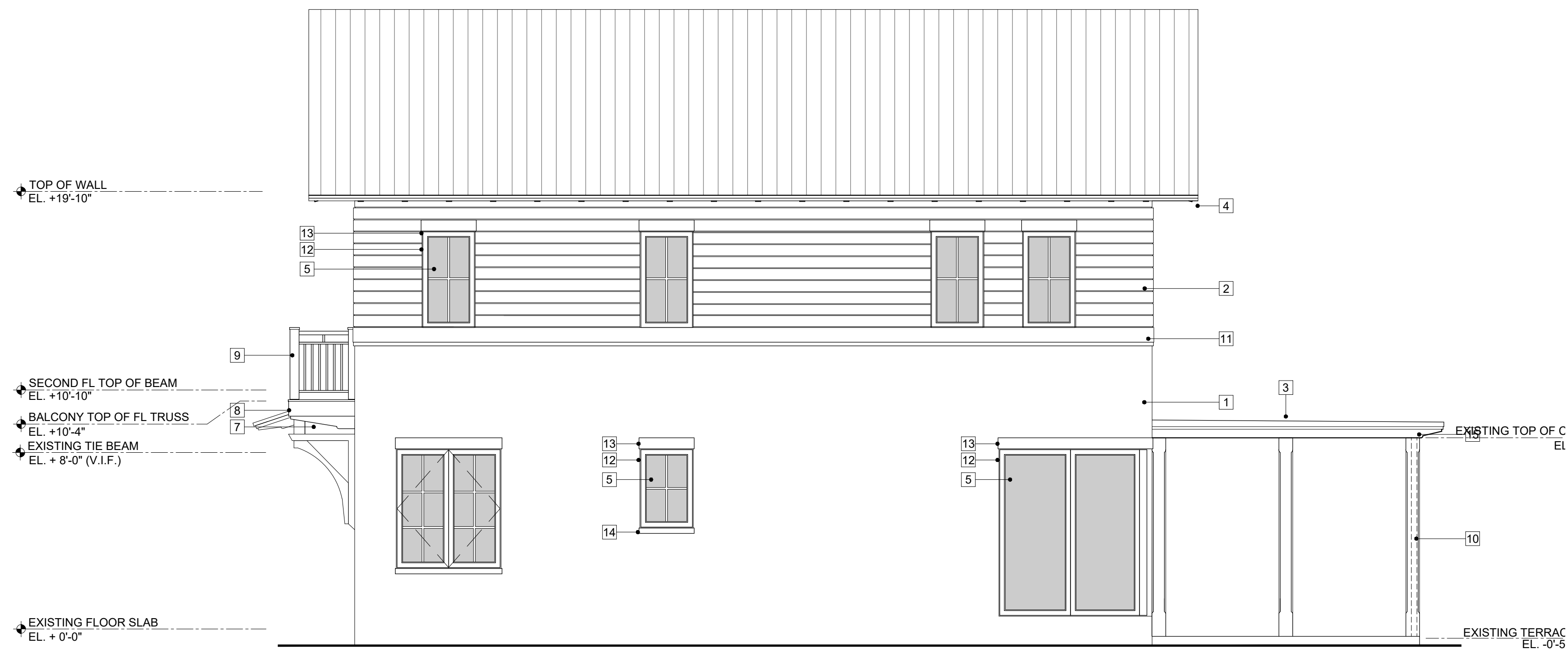
139 NORTH COUNTY ROAD, STE 18C
PALM BEACH FLORIDA 33480
(561) 312-3453

JOB NO.	430MARS
PLOT DATE	04.04.2025
SCALE	AS NOTED
DRAWN BY	mmc

A2.0

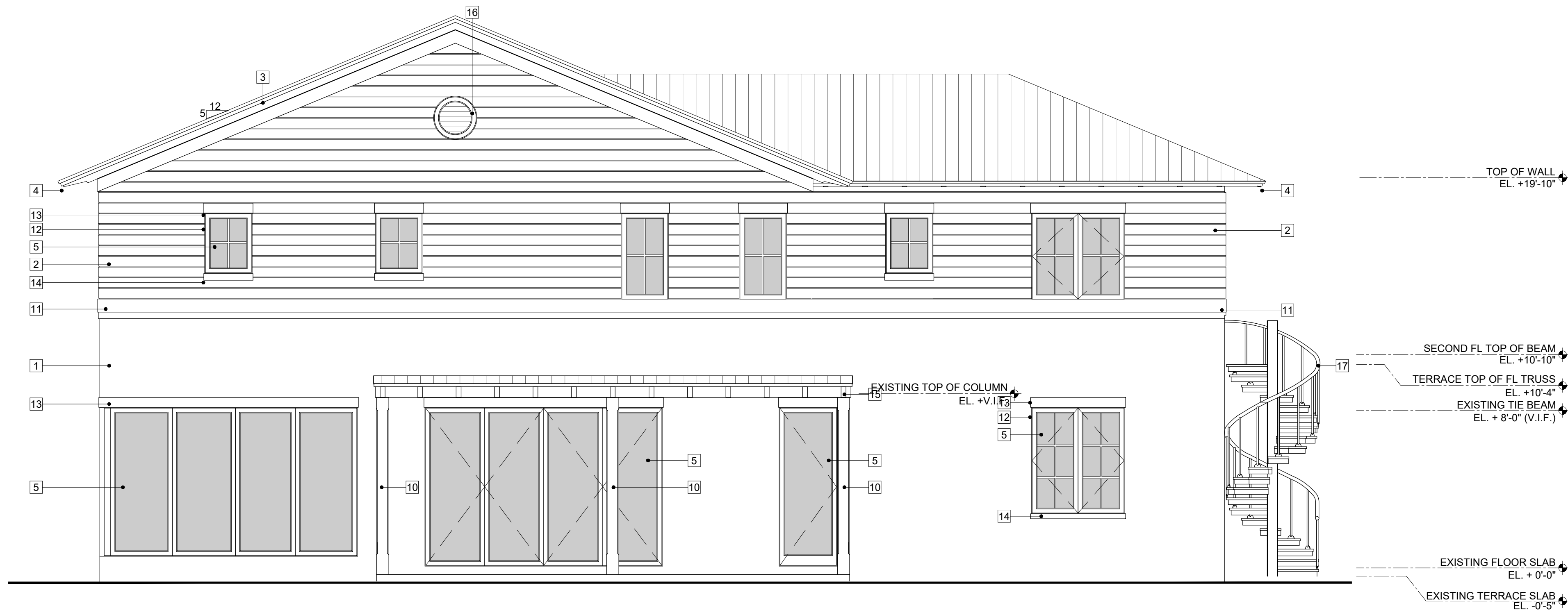
1 PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

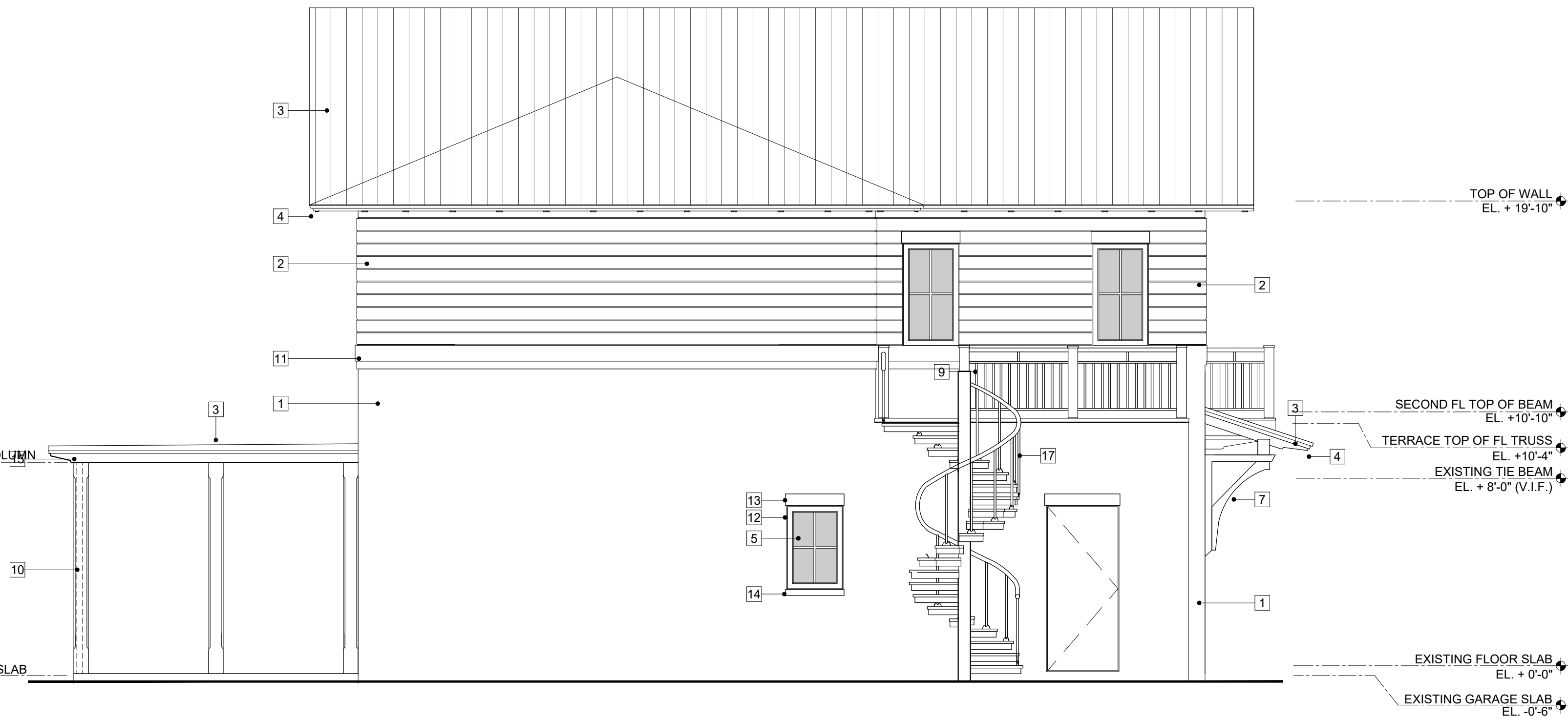


2 PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"



1 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

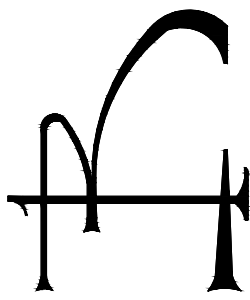
NO.	LEGEND
1	3" SMOOTH STUCCO, 3-COAT SYSTEM, PAINTED "F&B JAMES WHITE NO. 2010"; WITH WATERPROOFING EQUAL TO THEROSEAL" MASTERSEAL 583" OR APPROVED EQUAL.
2	3" SMOOTH STUCCO 6" BAND WITH 1/2" CONTINUES REVEAL AND 5" STUCCO CORNER TRIM; PAINTED "F&B JAMES WHITE NO. 2010"
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RENO/ADDITION TO EXISTING SINGLE FAMILY RESIDENCE:
PRIVATE RESIDENCE
430 MARS WAY
JUNO BEACH, FL

GREGORY BONNER, AIA

AA26003271

B1 ARCHITECT
139 NORTH COUNTY ROAD, STE 18C
PALM BEACH FLORIDA 33480
(561) 312-3453



JOB NO.	430MARS
PLOT DATE	04.04.2025
SCALE	AS NOTED
DRAWN BY	mmc

A2.1

PROPERTY ADDRESS: 430 MARS WAY JUNO BEACH, FL 33477	LEGAL DESCRIPTION MALBO E 37.5 FT OF LT 20 & ALL OF LT 21
LAND USE EXISTING/PROPOSED USE RS-3—SINGLE FAMILY (28-JUNO BEACH)	
PARCEL CONTROL NUMBER	28-43-41-28-09-000-0201
PROJECT SCOPE: SECOND STORY ADDITION/ INTERIOR RENOVATION TO EXISTING SINGLE FAMILY RESIDENCE	
APPLICABLE CODES	
1. FLORIDA BUILDING CODE RESIDENTIAL 2023, 8TH EDITION 2. FLORIDA BUILDING CODE EXISTING BUILDING, 2023, 8TH EDITION. 3. FLORIDA BUILDING CODE, 2023, 8TH EDITION. 4. FLORIDA BUILDING CODE, ACCESSIBILITY, 2023, 8TH EDITION. 5. FLORIDA FIRE PREVENTION CODE 2023, 8TH EDITION. 6. NFPA 101 LIFE SAFETY CODE, 2023, 8th EDITION. 7. FLORIDA BUILDING CODE ENERGY CONSERVATION 2023, 8TH EDITION. 9. FLORIDA MECHANICAL CODE 2023, 8th EDITION. 9. FLORIDA PLUMBING CODE 2023, 8th EDITION. 9. FLORIDA FUEL AND GAS 2023, 8th EDITION.	

SITE DATA *	EXISTING	PROPOSED
SITE	0.16 ACRES 7,000 SQ.FT.	
AREA CALCULATIONS		
MAIN HOUSE (A/C)		
FIRST FLOOR	1,581 SQ.FT.	1,581 SQ.FT
SECOND FLOOR	0 SQ.FT	1,756 SQ. FT
TOTAL A/C	2,058 SQ.FT.	3,337 SQ.FT.
GARAGE (NON A/C)	477 SQ.FT.	477 SQ.FT.
TOTAL	2,058 SQ.FT.	3,814 SQ.FT
COVERED TERRACE -1ST FL	286 SQ.FT.	286 SQ.FT.
OUTDOOR TERRACES 2ND FL.	0 SQ.FT.	283 SQ.FT.

SITE DATA TABLE		
BUILDING FOOT PRINT		2,344 S.F.
1ST FL AREA		1,581 S.F.
GARAGE AREA		477 S.F.
COVERED TERRACE AREA		286 S.F.
TOTAL SITE AREA		7,000 S.F.
LOT COVERAGE (MAX. 35%)		2,450 S.F.
25% LANDSCAPE AREA = 1,750 PROVIDED = 2,590 S.F.		
LANDSCAPE AREA		
ZONING REQUIREMENT		
	REQUIRED	PROVIDED
1ST FL AREA	20'-0"	20'-9"
MINIMUM SIDE SETBACK	15'-0" TOTAL	30' -5 ½"
MINIMUM REAR SETBACK	10'-0"	23'-1"
MAX. HEIGHT : 2 STORIES	30'-0"	27'-9"
MAXIMUM TOWER HEIGHT	NONE	N/A
MAXIMUM TOWER AREA	225 S.F.	N/A
MAXIMUM COVERAGE	35% = 2,450 S.F.	2,344 S.F.
MAXIMUM BUILDING DIM	100 FEET	100 FEET
MAXIMUM LANDSCAPE AREA	25%=1,250 S.F.	2,590 S.F.
MAXIMUM PARKING REQ'D	2 SPACES	2 SPACES

SITE PLAN NOTES	
1. ALL RAIN WATER SHALL BE RETAINED WITHIN PROPERTY. 2. ALL MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT MUST BE AT OR ABOVE +7.0' N.A.V.D. 3. ALL APPROACHES TO BE COORDINATED WITH STREET TREES, STREET LIGHTS, FIRE HYDRANTS, ETC. 4. SITE TO BE FILLED TO GOVERNMENT FLOOD CRITERIA ELEVATION N.A.V.D. OR AN ELEVATION NOT LESS THAN THE HIGHEST APPROVED CROWN ELEVATION OF THE ROAD ABUTTING THE PROPERTY. 5. LOT TO BE GRADED AS SO TO PREVENT DIRECT OVERLAND DISCHARGE OF STORM WATER ONTO ADJACENT PROPERTIES, WATERWAY AND RIGHT OF WAY. 6. REFER TO LEGAL SURVEY FOR SITE GEOMETRY, BOUNDARIES, ELEVATIONS AND LOCATION OF EXISTING ELEMENTS. 7. REFER TO CIVIL ENGINEERING DRAWINGS FOR FINAL GRADE ELEVATIONS. 8. LANDSCAPING SHALL COMPLY WITH ALL LANDSCAPING REGULATIONS REQUIRED BY ALL LOCAL AND APPLICABLE CODES. 9. REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPING REQUIREMENTS, PAVER PATTERNS, NOTES AND DETAILS.	

TERMITE NOTE	
THE BUILDING SHALL RECEIVE A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT SHALL BE IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.	

ISSUE	DATE
PERMIT SET	04.04.25

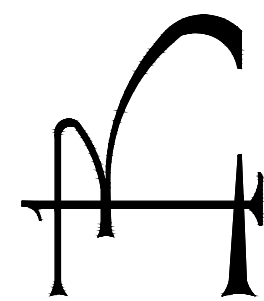
ALL DESIGN, IDEAS, ARRANGEMENTS, AND INFORMATION REPRESENTED BY THIS DRAWING ARE THE PROPERTY OF B1 ARCHITECT AND, WHEN CREATED, DEVELOPED AND EXERCISED FOR THE SPECIFIC PROJECT ON WHICH NONE OF THE DESIGN, IDEAS AND ARRANGEMENTS SHOULD BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT A WRITTEN PERMISSION FROM B1 ARCHITECT. ALL DIMENSIONS AND CONDITIONS OF THE JOB, WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL NOTIFY THE ARCHITECT'S OFFICE OF ANY VARIATIONS IN DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS. SHOP DETAILS WITH ADEQUATE DIMENSIONING AND SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION OF THE ITEMS INDICATED.

RENOV/ADDITION TO EXISTING SINGLE FAMILY RESIDENCE:
PRIVATE RESIDENCE
430 MARS WAY
JUNO BEACH, FL

GREGORY BONNER, AIA

AA26003271

B1 ARCHITECT
139 NORTH COUNTY ROAD, STE 18C
PALM BEACH FLORIDA 33480
(561) 312-3453

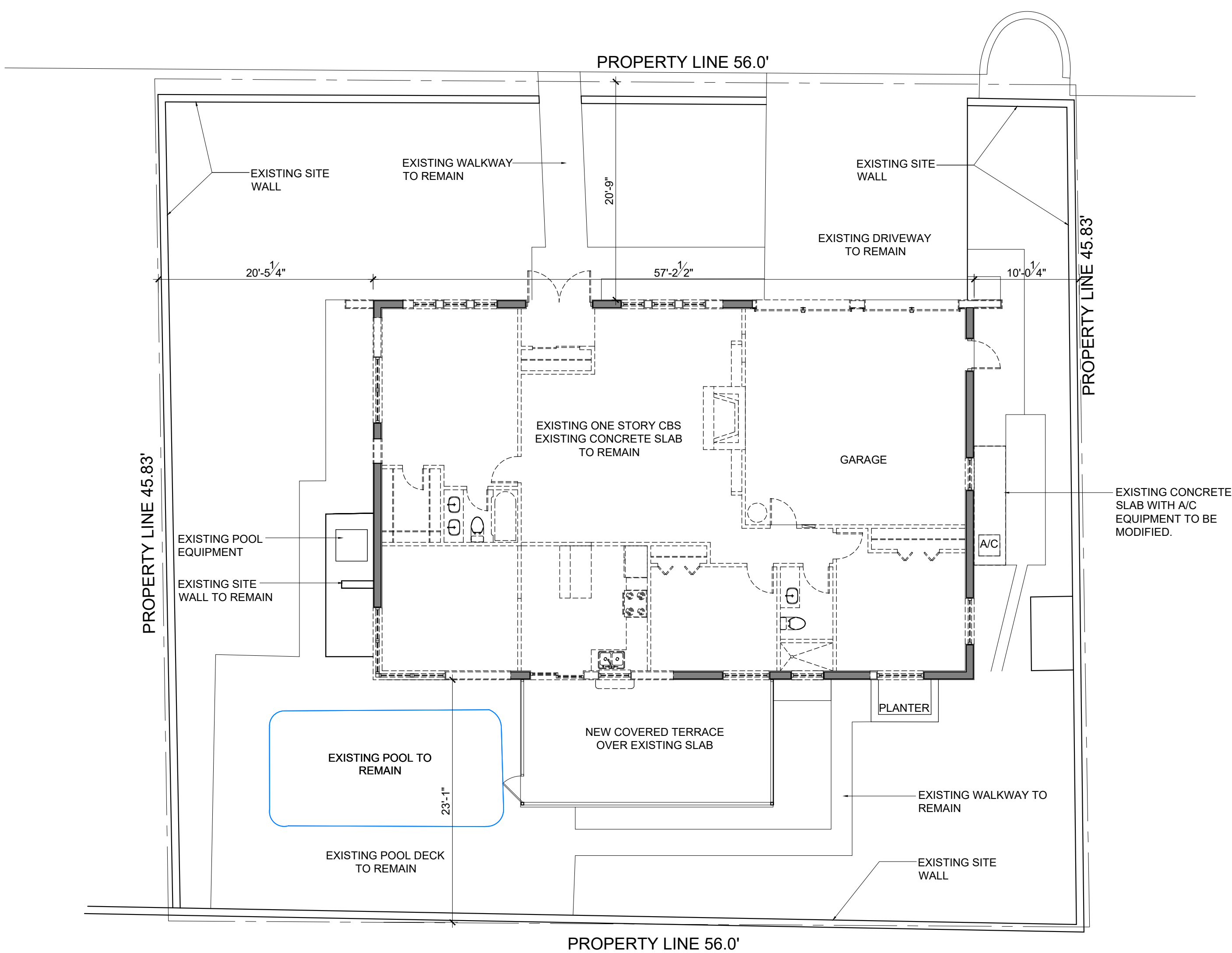


JOB NO.	430MARS
PLOT DATE	04.21.2025
SCALE	AS NOTED
DRAWN BY	mmc

A0.1

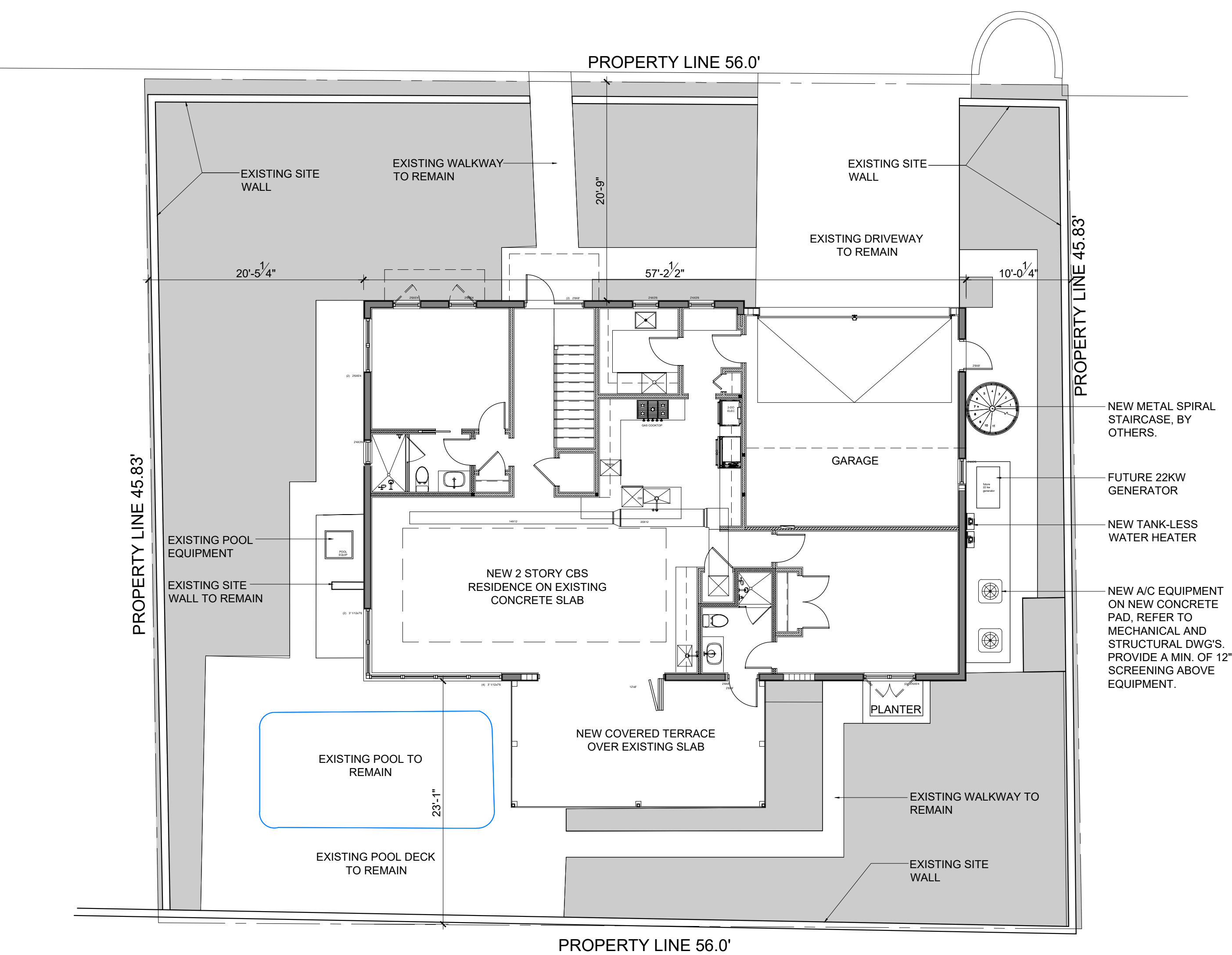
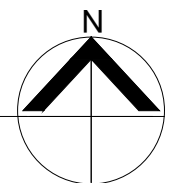
1 ZONING DATA

SCALE: N.T.S.



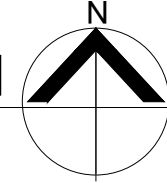
1 EXISTING SITE PLAN

SCALE: 1/8" = 1'-0"



2 PROPOSED SITE PLAN

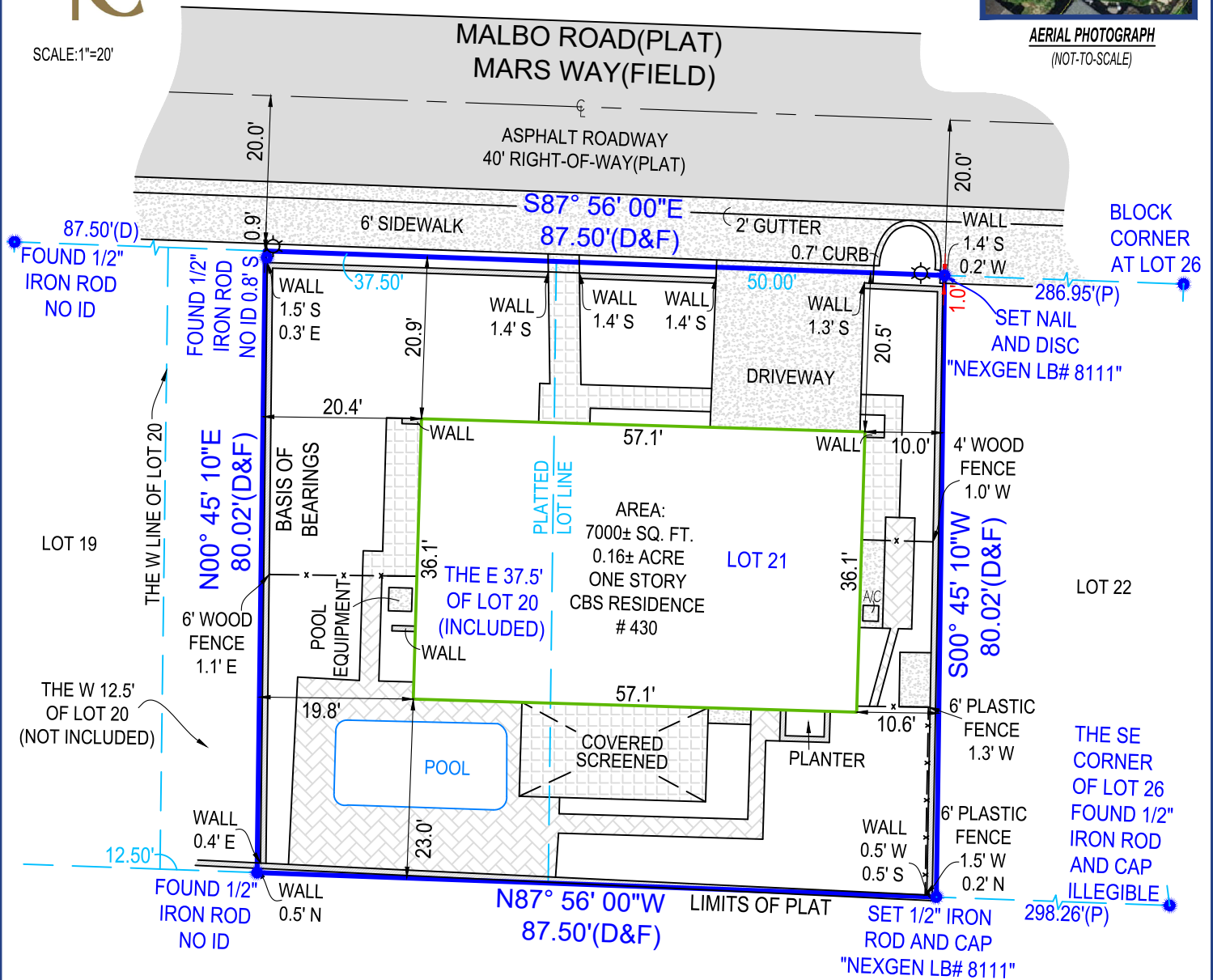
SCALE: 1/8" = 1'-0"



Item #2.



AERIAL PHOTOGRAPH
(NOT-TO-SCALE)



SHEET 1 OF 2 (SKETCH OF SURVEY) - SEE SHEET 2 OF 2 FOR LEGAL DESCRIPTION, AND OTHER SURVEY RELATED DATA. SURVEY IS NOT COMPLETE WITHOUT ALL SHEETS

NEXGEN
SURVEYING, LLC.
















LEGAL DESCRIPTION OF: 430 MARS WAY, JUNO BEACH, FL, 33408
LOT 21 AND THE E 37.50 FT OF LOT 20, PLAT OF MALBO, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 22, PAGE(S) 40, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

CERTIFIED TO:
CHRISTOPHER JON DEBELLIS, MARY MARGARET DEBELLIS
COHEN NORRIS WOLMER RAY TELEPMAN BERKOWITZ & COHEN
WFG NATIONAL TITLE INSURANCE COMPANY (WFG)

FLOOD ZONE:
12099C0381F
ZONE: X
EFF: 10/05/2017

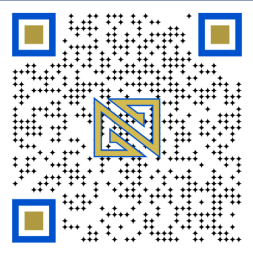
SURVEY NOTES:
- DRIVEWAY CROSSES THE BOUNDARY LINE ON NORTHERN SIDE OF LOT AS SHOWN.
- CONCRETE WALK CROSSES THE BOUNDARY LINE ON NORTHERN SIDE OF LOT AS SHOWN.
- COMMUNITY SIDEWALK CROSSES THE BOUNDARY LINE ON NORTHEASTERN SIDE OF LOT AS SHOWN.
- FENCES LIE NEAR BOUNDARY LINES AS SHOWN, OWNERSHIP NOT DETERMINED.
- WALL CROSSES THE BOUNDARY LINES ON WESTERN AND SOUTHERN SIDES OF LOT AS SHOWN.

Item #2.

LEGEND	
A/C	-AIR CONDITIONER
WM	-WATER METER
AL	-ARC LENGTH
(C)	-CALCULATED
(M)	-MEASURED
P.O.B.	-POINT OF BEGINNING
P.O.C.	-POINT OF COMMENCEMENT
&	-AND
P.B.	-PLAT BOOK
PG	-PAGE
U.E.	-UTILITY EASEMENT
D.E.	-DRAINAGE EASEMENT
P.U.E.	-PUBLIC UTILITY EASEMENT
L.A.E.	-LIMITED ACCESS EASEMENT
L.M.E.	-LAKE MAINTENANCE EASEMENT
O.H.E.	-OVERHEAD EASEMENT
R	-RADIUS
(R)	-RECORD
O.R.B.	-OFFICIAL RECORDS BOOK
Sq.Ft.	-SQUARE FEET
Ac.	-ACRES
DB	-DEED BOOK
(D)	-DEED
(P)	-PLAT
EOW	-EDGE OF WATER
TOB	-TOP OF BANK
OHL	-OVERHEAD LINE
C/O	-CLEAN OUT
ELEV	-ELEVATION
FF	-FINISHED FLOOR
LS	-LICENSED SURVEYOR
LB	-LICENSED BUSINESS
PSM	-PROFESSIONAL SURVEYOR & MAPPER
— x —	-FENCE
#	-NUMBER
±	-PLUS OR MINUS
	-ASPHALT
	-CONCRETE
	-PAVER/BRICK
	-WOOD
	-LIGHT POLE
	-WELL
	-WATER VALVE
	-CENTER LINE
	-CATCH BASIN
	-FIRE HYDRANT
	-UTILITY POLE
	-MANHOLE
	-ELEVATION

SOME ITEMS IN LEGEND MAY NOT
APPEAR ON DRAWING.

GENERAL NOTES:
1) THIS SURVEY IS BASED UPON RECORD INFORMATION BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY THIS OFFICE UNLESS OTHERWISE NOTED.
2) IF THIS SURVEY HAS BEEN PREPARED FOR THE PURPOSES OF A MORTGAGE TRANSACTION, ITS SCOPE IS LIMITED TO THE DETERMINATION OF TITLE DEFICIENCIES. NO FUTURE CONSTRUCTION SHALL BE BASED UPON THIS SURVEY WITHOUT FIRST OBTAINING APPROVAL AND/OR UPDATES FROM NEXGEN SURVEYING, LLC. NEXGEN SURVEYING, LLC, ASSUMES NO RESPONSIBILITY FOR ERRORS RESULTING FROM FAILURE TO ADHERE TO THIS CLAUSE. THIS SURVEY IS NOT MEANT FOR SUBMITTAL FOR PERMITTING WITHOUT THE EXPRESS CONSENT OF NEXGEN SURVEYING, LLC. 3) ANY FENCES SHOWN HEREON ARE ILLUSTRATIVE OF THEIR GENERAL POSITION ONLY. FENCE TIES SHOWN ARE TO GENERAL CENTERLINE OF FENCE. THIS OFFICE WILL NOT BE RESPONSIBLE FOR DAMAGES RESULTING SOLELY ON THEIR PHYSICAL RELATIONSHIP TO THE MONUMENTED BOUNDARY LINES. 4) GRAPHIC REPRESENTATIONS MAY HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE MEASURED RELATIONSHIPS - DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED POSITIONS. 5) UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED EXCEPT AS SPECIFICALLY SHOWN. 6) ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D. 1929) OR NORTH AMERICAN VERTICAL DATUM (N.A.V.D. 1988). 7) ALL BOUNDARY AND CONTROL DIMENSIONS SHOWN ARE FIELD MEASURED AND CORRESPOND TO RECORD INFORMATION UNLESS SPECIFICALLY NOTED OTHERWISE. 8) CORNERS SHOWN AS "SET" ARE 5/8" IRON RODS IDENTIFIED WITH A PLASTIC CAP MARKED LS (LICENSED SURVEYOR)





Town of Juno Beach
340 Ocean Drive; Juno Beach, FL 33408
Phone: (561) 626-1122; Fax: (561) 775-0812

For Official Use Only
Date Stamp

Item #2.

TOWN OF JUNO BEACH
RECEIVED

Appearance Review Application

2025 APR 14 A 11:42

The following information and items shall be provided to the Planning and Zoning Department for processing and dissemination in association with scheduling of submittals before the Town's Planning and Zoning Board. The Board meets on the First Monday of each month, unless otherwise changed. The submittal of a completed packet, to include the application, plans, photos, etc. shall be submitted on the Monday, forty-five (45) days prior to the meeting. All of staff's comments shall be addressed twenty-one (21) days prior to the meeting. An application is deemed complete once staff has determined that all comments have been addressed via notification to the applicant by email or mail. A pre-application meeting with staff is required prior to the submittal of the application.

Date: 4/14/25

Project Address: 430 Mars Way

Property Control Number: 28-43-41-28-09-000-0201 Zoning District: RS-3

Description of Request: (please provide a brief, comprehensive and summarized description of the proposed project below).

Add second floor approx 1756 square feet
Renovate first floor.

Design Professional Name: Gregory Bonner License #: AA26003271
Phone Number: 561-312-3453 E-mail: gregory@b1architect.com

Construction Company Name: Owner Builder / DeBellis Construction
Phone Number: 914-760-4137 E-mail: chrisdebellis@comcast.net

Property Owner's Name: SPB Investors LLC, Chris & Mary DeBellis
Owner's Address (if different from project address): 121 Arnt Hack Rd. Danbury CT 06811
Phone Number: 914-760-4137 E-mail: chrisdebellis@comcast.net
Applicant/Owner signature: Chris DeBellis Date: 4/14/25

Please note: The Appearance Review solely addresses the Appearance Criteria of the proposed project, it does not encompass a zoning, engineering, or building review. Further reviews by Town staff will commence once a building permit has been submitted.

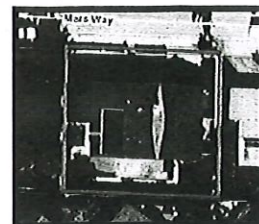
430 MARS WAY, JUNO BEACH, FL 33408
BOUNDARY SURVEY

TOWN OF JUNO BEACH
RECEIVED

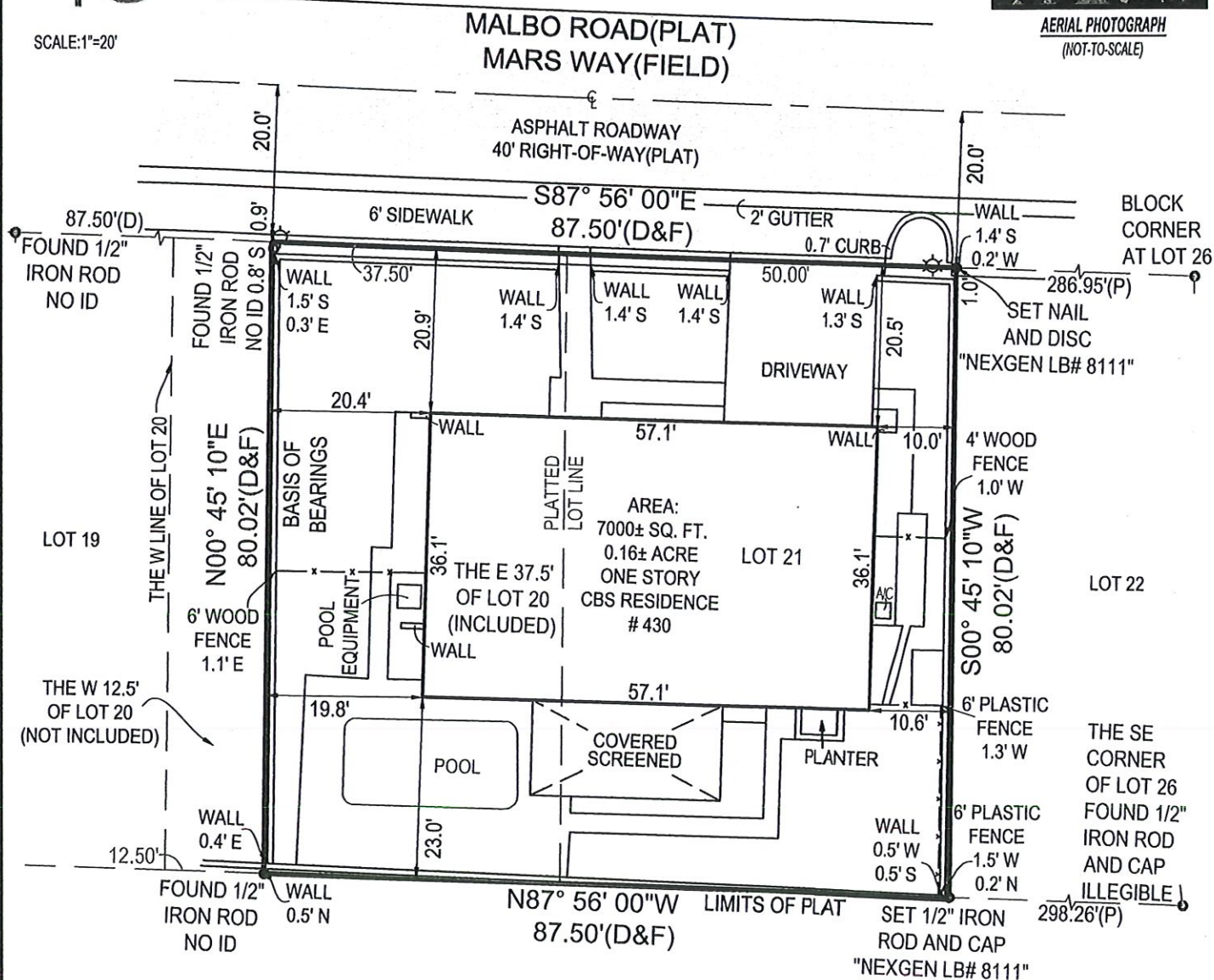
2025 APR 14 A 11:42



SCALE: 1"=20'



AERIAL PHOTOGRAPH
(NOT-TO-SCALE)



- ALL ANGLES AND DISTANCES SHOWN HEREON ARE BOTH RECORD AND MEASURED UNLESS OTHERWISE NOTED

SHEET 1 OF 2 (SKETCH OF SURVEY) - SEE SHEET 2 OF 2 FOR LEGAL DESCRIPTION, AND OTHER SURVEY RELATED DATA. SURVEY IS NOT COMPLETE WITHOUT ALL SHEETS

The survey map & report or the copies thereof are not valid without the digital signature and seal of a Florida licensed surveyor and mapper

Date of Field Work : 11-13-2024

Drawn By: Oleg

Order #: 253453

Last Revision Date:

Boundary Survey prepared by: LB 8111

NexGen Surveying, LLC.

5615086272

1547 Prosperity Farms

Lake Park FL, 33403

NEXGEN
SURVEYING, LLC.



LEGAL DESCRIPTION OF: 430 MARS WAY, JUNO BEACH, FL, 33408

LOT 21 AND THE E 37.50 FT OF LOT 20, PLAT OF MALBO, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 22, PAGE(S) 40, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

CERTIFIED TO:

CHRISTOPHER JON DEBELLIS, MARY MARGARET DEBELLIS
COHEN NORRIS WOLMER RAY TELEPMAN BERKOWITZ & COHEN
WFG NATIONAL TITLE INSURANCE COMPANY (WFG)

FLOOD ZONE:

12099C0381F

ZONE: X

EFF: 10/05/2017

SURVEY NOTES:

- DRIVEWAY CROSSES THE BOUNDARY LINE ON NORTHERN SIDE OF LOT AS SHOWN.
- CONCRETE WALK CROSSES THE BOUNDARY LINE ON NORTHERN SIDE OF LOT AS SHOWN.
- COMMUNITY SIDEWALK CROSSES THE BOUNDARY LINE ON NORTHEASTERN SIDE OF LOT AS SHOWN.
- FENCES LIE NEAR BOUNDARY LINES AS SHOWN, OWNERSHIP NOT DETERMINED.
- WALL CROSSES THE BOUNDARY LINES ON WESTERN AND SOUTHERN SIDES OF LOT AS SHOWN.

TOWN OF JUNO BEACH
RECEIVED

2025 APR 14 A 11:42

LEGEND

A/C	-AIR CONDITIONER
WM	-WATER METER
AL	-ARC LENGTH
(C)	-CALCULATED
(M)	-MEASURED
P.O.B.	-POINT OF BEGINNING
P.O.C.	-POINT OF COMMENCEMENT
&	-AND
P.B.	-PLAT BOOK
PG	-PAGE
U.E.	-UTILITY EASEMENT
D.E.	-DRAINAGE EASEMENT
P.U.E.	-PUBLIC UTILITY EASEMENT
L.A.E.	-LIMITED ACCESS EASEMENT
L.M.E.	-LAKE MAINTENANCE EASEMENT
O.H.E.	-OVERHEAD EASEMENT
R	-RADIUS
(R)	-RECORD
O.R.B.	-OFFICIAL RECORDS BOOK
Sq.Ft.	-SQUARE FEET
Ac.	-ACRES
DB	-DEED BOOK
(D)	-DEED
(P)	-PLAT
EOW	-EDGE OF WATER
TOB	-TOP OF BANK
OHL	-OVERHEAD LINE
C/O	-CLEAN OUT
ELEV	-ELEVATION
FF	-FINISHED FLOOR
LS	-LICENSED SURVEYOR
LB	-LICENSED BUSINESS
PSM	-PROFESSIONAL SURVEYOR & MAPPER
- x -	-FENCE
#	-NUMBER
±	-PLUS OR MINUS
□	-ASPHALT
□	-CONCRETE
□	-PAVER/BRICK
□	-WOOD
☼	-LIGHT POLE
⊗	-WELL
⊗	-WATER VALVE
⊗	-CENTER LINE
□	-CATCH BASIN
⊗	-FIRE HYDRANT
⊗	-UTILITY POLE
⊗	-MANHOLE
xx	-ELEVATION

SOME ITEMS IN LEGEND MAY NOT
APPEAR ON DRAWING.

GENERAL NOTES:

- 1) THIS SURVEY IS BASED UPON RECORD INFORMATION BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY THIS OFFICE UNLESS OTHERWISE NOTED.
- 2) IF THIS SURVEY HAS BEEN PREPARED FOR THE PURPOSES OF A MORTGAGE TRANSACTION, ITS SCOPE IS LIMITED TO THE DETERMINATION OF TITLE DEFICIENCIES. NO FUTURE CONSTRUCTION SHALL BE BASED UPON THIS SURVEY WITHOUT FIRST OBTAINING APPROVAL AND/OR UPDATES FROM NEXGEN SURVEYING, LLC. NEXGEN SURVEYING, LLC, ASSUMES NO RESPONSIBILITY FOR ERRORS RESULTING FROM FAILURE TO ADHERE TO THIS CLAUSE. THIS SURVEY IS NOT MEANT FOR SUBMITTAL FOR PERMITTING WITHOUT THE EXPRESS CONSENT OF NEXGEN SURVEYING, LLC. 3) ANY FENCES SHOWN HEREON ARE ILLUSTRATIVE OF THEIR GENERAL POSITION ONLY. FENCE TIES SHOWN ARE TO GENERAL CENTERLINE OF FENCE. THIS OFFICE WILL NOT BE RESPONSIBLE FOR DAMAGES RESULTING SOLELY ON THEIR PHYSICAL RELATIONSHIP TO THE MONUMENTED BOUNDARY LINES.
- 4) GRAPHIC REPRESENTATIONS MAY HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE MEASURED RELATIONSHIPS - DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED POSITIONS. 5) UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED EXCEPT AS SPECIFICALLY SHOWN. 6) ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D. 1929) OR NORTH AMERICAN VERTICAL DATUM (N.A.V.D. 1988). 7) ALL BOUNDARY AND CONTROL DIMENSIONS SHOWN ARE FIELD MEASURED AND CORRESPOND TO RECORD INFORMATION UNLESS SPECIFICALLY NOTED OTHERWISE. 8) CORNERS SHOWN AS "SET" ARE 5/8" IRON RODS IDENTIFIED WITH A PLASTIC CAP MARKED LS (LICENSED SURVEYOR)

LB 8111

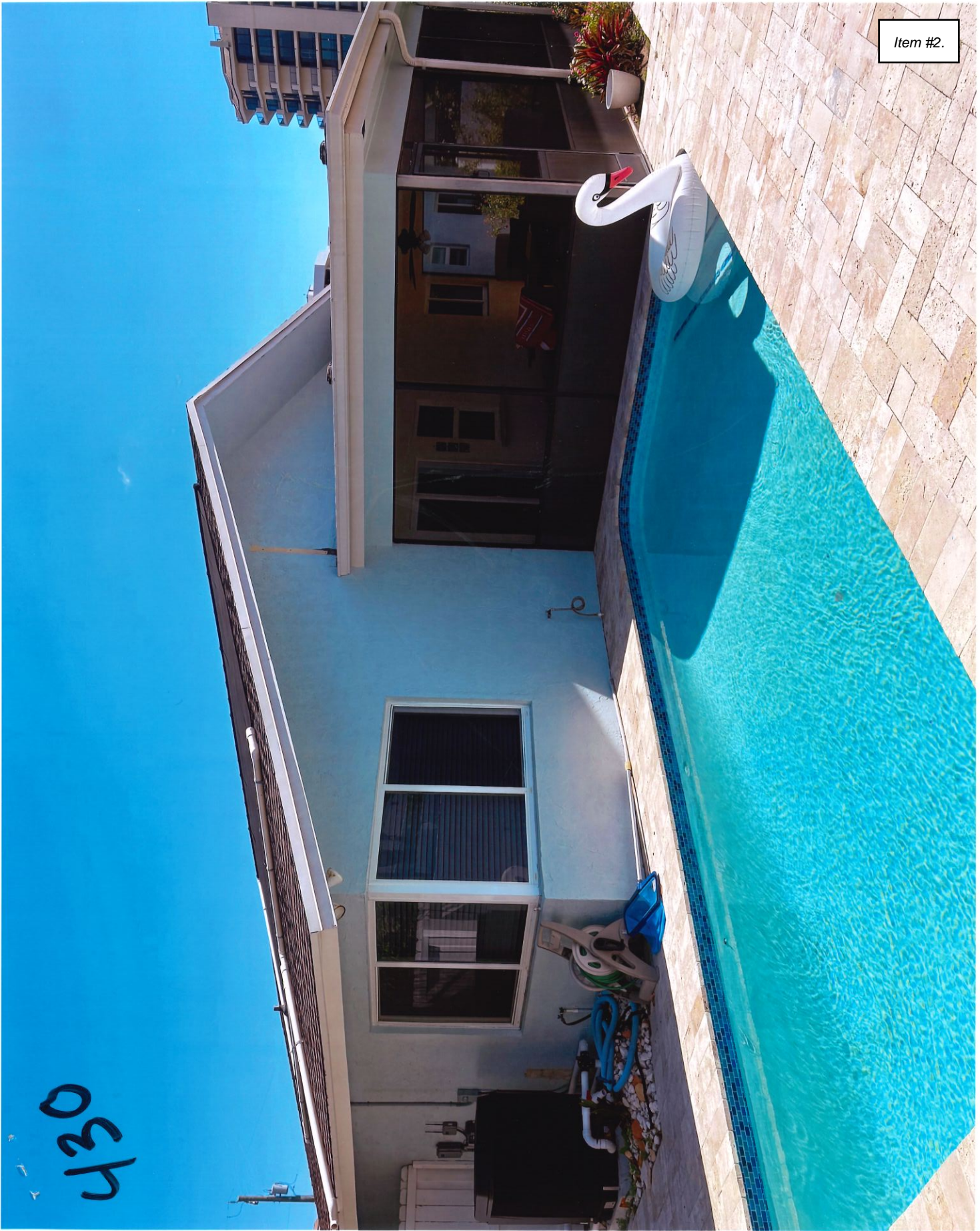
info@nexgensurveying.com



5615086272

1547 Prosperity Farms
Lake Park
FL, 334









Item #2.







420 MARKS









451 W 15th





Meeting Name: Planning and Zoning Board

Meeting Date: June 2, 2025

Prepared By: Mayer, Stephen

Item Title: Ordinance No. 793 – Removal of Architectural Review (Building Design Elements) in Appearance Review for Single-Family (and Two-Family) Dwellings

DISCUSSION:

At the Appearance Review Workshop and Harmony Discussion on May 2, 2025, the Town Council gave staff a consensus to remove all architecture or design review elements from the appearance review criteria regarding single family and two-family structures, not within a Planned Unit Development or in a historic district. Staff is providing a staff initiated zoning code text amendment for the Planning and Zoning Board to review and make recommendations to the Town Council.

Florida Statutes Section 163.3202, (5)(a) states, “Land development regulations relating to building design elements may not be applied to a single-family or two-family dwelling unless” the dwelling is listed in the National Register of Historic Places, the regulations are adopted in order to implement the National Flood Insurance Program, adopted in compliance with Chapter 553 (specific for Accessibility by Handicapped Persons and other building safety code regulations), located within a community redevelopment area, are required to ensure coastal wildlife protection, or located within a Planned Unit Development or other master planned communities, or “the dwelling is located within the jurisdiction of a local government that has a design review board or an architectural review board created before January 1, 2020.”

Mr. Len Rubin, Town Attorney, provided a legal memorandum which analyzed this section of Florida Statutes, as it pertains to the Town of Juno Beach’s Appearance Review procedures. Please see the partial conclusion below:

“...applying the rules of statutory construction does not lead to any definitive conclusion regarding the Town’s ability to regulate architectural styles for detached single-family (and two family) dwellings. Neither the plain language of the statute nor the legislative history gives any clear indication as to whether the Planning and Zoning Board’s historical duties as an appearance review board satisfies the statutory

criteria for the continued regulation of building design elements or architectural styles for detached single-family dwellings” as set forth in Section 163.3202(5)(a), Florida Statutes.

Due to this uncertainty, the Town Council directed staff to remove building design elements from the Appearance Review. Staff notes that as defined in Florida Statutes, "building design elements" include the external color, exterior cladding, roof/porch style, exterior architectural ornamentation, window/door location and styling, garage location/orientation, and the number, type, and interior layout of rooms. This definition focuses on the aesthetic and functional elements of a building's exterior and internal layout, excluding height, bulk, or location on a zoning lot.

RECOMMENDED TEXT CHANGE:

Staff recommends the following text change amendments to chapter 34, “zoning,” of the town code of ordinances:

- Amending article i, “in general,” by amending section 34-4, “definitions,” to include a definition for the term building design elements; and
- Amending division 4, “site plan and appearance review,” of article ii, “administration and enforcement,” by amending section 34-116, “required; criteria,” to exclude regulation of building design elements for single-family and two-family dwellings.

This would mean that staff would not be able to consider design elements, as defined, when reviewing Appearance Review Applications for single-family and two-family development. This does not remove architectural style requirements for all other developments, including all development types within a Planned Unit Development or Historic Districts.

For the discussion at the May 28th Town Council meeting, which provides recommended tools by staff for the application of Harmony for single-family homes, staff is proposing the creation of a Pattern Book for guidance rather than enforcement.

RECOMMENDATION:

Staff recommends approval of the draft ordinance and is ready to answer any questions the Board may have on this item.

Attachments:

Attachment 1 – F.S. 163.3203

Attachment 2 – Proposed Ordinance No. 793

163.3202 Land development regulations.—

(1) Within 1 year after submission of its comprehensive plan or revised comprehensive plan for review pursuant to s. 163.3191, each county and each municipality shall adopt or amend and enforce land development regulations that are consistent with and implement their adopted comprehensive plan.

(2) Local land development regulations shall contain specific and detailed provisions necessary or desirable to implement the adopted comprehensive plan and shall at a minimum:

- (a) Regulate the subdivision of land.
- (b) Regulate the use of land and water for those land use categories included in the land use element and ensure the compatibility of adjacent uses and provide for open space.
- (c) Provide for protection of potable water wellfields.
- (d) Regulate areas subject to seasonal and periodic flooding and provide for drainage and stormwater management.
- (e) Ensure the protection of environmentally sensitive lands designated in the comprehensive plan.
- (f) Regulate signage.
- (g) Provide that public facilities and services meet or exceed the standards established in the capital improvements element required by s. 163.3177 and are available when needed for the development, or that development orders and permits are conditioned on the availability of these public facilities and services necessary to serve the proposed development. A local government may not issue a development order or permit that results in a reduction in the level of services for the affected public facilities below the level of services provided in the local government's comprehensive plan.
- (h) Ensure safe and convenient onsite traffic flow, considering needed vehicle parking.
- (i) Maintain the existing density of residential properties or recreational vehicle parks if the properties are intended for residential use and are located in the unincorporated areas that have sufficient infrastructure, as determined by a local governing authority, and are not located within a coastal high-hazard area under s. 163.3178.
- (j) Incorporate preexisting development orders identified pursuant to s. 163.3167(3).

(3) This section shall be construed to encourage the use of innovative land development regulations which include provisions such as transfer of development rights, incentive and inclusionary zoning, planned unit development, impact fees, and performance zoning. These and all other such regulations shall be combined and compiled into a single land development code for the jurisdiction. A general zoning code shall not be required if a local government's adopted land development regulations meet the requirements of this section.

(4) The state land planning agency may require a local government to submit one or more land development regulations if it has reasonable grounds to believe that a local government has totally

failed to adopt any one or more of the land development regulations required by this section. Once the state land planning agency determines after review and consultation with local government whether the local government has adopted regulations required by this section, the state land planning agency shall notify the local government in writing within 30 calendar days after receipt of the regulations from the local government. If the state land planning agency determines that the local government has failed to adopt regulations required by this section, it may institute an action in circuit court to require adoption of these regulations. This action shall not review compliance of adopted regulations with this section or consistency with locally adopted plans.

(5)(a) Land development regulations relating to building design elements may not be applied to a single-family or two-family dwelling unless:

1. The dwelling is listed in the National Register of Historic Places, as defined in s. 267.021(5); is located in a National Register Historic District; or is designated as a historic property or located in a historic district, under the terms of a local preservation ordinance;
2. The regulations are adopted in order to implement the National Flood Insurance Program;
3. The regulations are adopted pursuant to and in compliance with chapter 553;
4. The dwelling is located in a community redevelopment area, as defined in s. 163.340(10);
5. The regulations are required to ensure protection of coastal wildlife in compliance with s. 161.052, s. 161.053, s. 161.0531, s. 161.085, s. 161.163, or chapter 373;
6. The dwelling is located in a planned unit development or master planned community created pursuant to a local ordinance, resolution, or other final action approved by the local governing body before July 1, 2023; or
7. The dwelling is located within the jurisdiction of a local government that has a design review board or an architectural review board created before January 1, 2020.

(b) For purposes of this subsection, the term:

1. “Building design elements” means the external building color; the type or style of exterior cladding material; the style or material of roof structures or porches; the exterior nonstructural architectural ornamentation; the location or architectural styling of windows or doors; the location or orientation of the garage; the number and type of rooms; and the interior layout of rooms. The term does not include the height, bulk, orientation, or location of a dwelling on a zoning lot; or the use of buffering or screening to minimize potential adverse physical or visual impacts or to protect the privacy of neighbors.
2. “Planned unit development” or “master planned community” means an area of land that is planned and developed as a single entity or in approved stages with uses and structures substantially related to the character of the entire development, or a self-contained development in which the subdivision and zoning controls are applied to the project as a whole rather than to individual lots.

(c) This subsection does not affect the validity or enforceability of private covenants or other contractual agreements relating to building design elements.

(6) Land development regulations relating to any characteristic of development other than use, or intensity or density of use, do not apply to Florida College System institutions as defined in s. 1000.21(5).

(7) The state land planning agency shall adopt rules for review and schedules for adoption of land development regulations.

History.—s. 14, ch. 85-55; s. 12, ch. 86-191; s. 14, ch. 93-206; s. 7, ch. 95-322; s. 6, ch. 96-416; s. 5, ch. 98-146; s. 20, ch. 2009-96; s. 188, ch. 2010-102; s. 6, ch. 2011-4; s. 6, ch. 2011-15; s. 1, ch. 2014-218; s. 6, ch. 2019-165; s. 1, ch. 2021-201; s. 3, ch. 2023-31; s. 3, ch. 2023-115; s. 11, ch. 2024-2.

TOWN OF JUNO BEACH, FLORIDA

ORDINANCE NO. _____

AN ORDINANCE OF THE TOWN COUNCIL OF THE TOWN OF JUNO BEACH, FLORIDA AMENDING CHAPTER 34, "ZONING," OF THE TOWN CODE OF ORDINANCES; AMENDING ARTICLE I, "IN GENERAL," BY AMENDING SECTION 34-4, "DEFINITIONS," TO INCLUDE A DEFINITION FOR THE TERM BUILDING DESIGN ELEMENTS; AMENDING DIVISION 4, "SITE PLAN AND APPEARANCE REVIEW," OF ARTICLE II, "ADMINISTRATION AND ENFORCEMENT," BY AMENDING SECTION 34-116, "REQUIRED; CRITERIA," TO EXCLUDE REGULATION OF BUILDING DESIGN ELEMENTS FOR SINGLE-FAMILY AND TWO-FAMILY DWELLINGS; PROVIDING FOR CODIFICATION, SEVERABILITY, CONFLICTS AND AN EFFECTIVE DATE.

WHEREAS, Section 163.3202(5)(a), Florida Statutes, prohibits a municipality from applying land development regulations relating to building design elements to a single-family or two-family dwelling, subject to certain exceptions set forth therein; and

WHEREAS, the Town Council wishes to amend Chapter 34, "Zoning," of the Town Code of Ordinances by modifying Section 34-116(3) to exclude the regulation of building design elements from appearance review for single-family and two-family dwellings and modifying Section 34-4 to incorporate a definition for the term building design elements; and

WHEREAS, the Town's Planning and Zoning Board has conducted a public hearing on this Ordinance and provided its recommendation to the Town Council; and

WHEREAS, the Town Council has determined that adoption of this Ordinance is in the best interests of the general welfare of the Town of Juno Beach.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF JUNO BEACH, FLORIDA as follows:

Section 1. The foregoing "Whereas" clauses are hereby ratified as true and confirmed and are incorporated herein.

Section 2. The Town Council hereby amends Article I, "In General," of Chapter 34, Zoning," of the Town Code of Ordinances by amending Section 34-4, "Definitions," to read as follows (additional language underlined):

Sec. 34-4. Definitions.

For the purposes of this chapter, the following terms and words are hereby defined. Words used in the present tense shall include the future; the singular number shall include the plural; and the plural the singular; the term "used for" shall include the meaning "designed for;" the term "structure" shall include the term "building;" the term "lot" shall include the terms "plot" and "tract;" the word "shall" is mandatory and not directory.

Ordinance No. _____

Page 2

* * *

Building. See *Structure*.

Building design elements means the external building color; the type or style of exterior cladding material; the style or material of roof structures or porches; the exterior nonstructural architectural ornamentation; the location or architectural styling of windows or doors; the location or orientation of the garage; the number and type of rooms; and the interior layout of rooms.

Building dimension means the horizontal length of any building wall in one elevation (the front, sides, or rear building wall of any structure). Attached building structures (for example, a row of townhouses) shall be considered as one building and one building dimension, regardless of whether the attached building structures are parallel to the property line, staggered, or some other configuration. The dimension shall be measured from the farthest extremes of said building wall, exclusive of balconies, porches, canopies, porte-cocheres, and other similar features.

* * *

Section 3. The Town Council hereby amends Division 4, "Site Plan and Appearance Review," of Article II, "Administration and Enforcement," of Chapter 34, "Zoning," of the Town Code of Ordinances by amending Section 34-116 "Required; criteria," to read as follows (additional language underlined):

Sec. 34-116. - Required; criteria.

No construction or clearing of land may begin in any district prior to review and approval of the site plan and appearance. The review shall consist of:

* * *

- (3) Final review and approval or denial, or approval with modifications by the town council. Single-family detached dwellings not located within an approved planned unit development shall be subject to appearance review and approval or denial, or approval with modifications by the town planning and zoning board, with site plan review by the town planning and zoning department. Single-family dwellings within an approved planned unit development shall be subject to site plan and appearance review and approval only by the town planning and zoning department in accordance with the established design criteria. Appearance review for single-family and two-family dwellings shall not include regulation of building

Ordinance No. _____
Page 3

design elements. The criteria to be used in this review shall be to ascertain that the proposed site plan for new development meets the following criteria:

* * *

Section 4. The provisions of this Ordinance shall become and be made a part of the Code of Ordinances of the Town of Juno Beach.

Section 5. If any section or provision of this Ordinance or any portion thereof, any paragraph, sentence or word be declared by a court of competent jurisdiction to be invalid, such decision shall not affect the validity of the remainder of this Ordinance.

Section 6. All ordinances or parts of ordinances of the Town of Juno Beach, Florida, which are in conflict with this Ordinance, are hereby repealed to the extent of such conflict.

Section 7. This Ordinance shall be effective immediately upon adoption.

FIRST READING this _____ day of _____, 2025.

SECOND, FINAL READING AND ADOPTION this _____ day of _____, 2025.

AYE

NAY

PEGGY WHEELER, MAYOR

AYE

NAY

JOHN CALLAGHAN, VICE MAYOR

AYE

NAY

DIANA DAVIS, VICE MAYOR PRO TEM

AYE

NAY

DD HALPERN, COUNCILMEMBER

AYE

NAY

MARIANNE HOSTA, COUNCILMEMBER

ATTEST:

APPROVED AS TO FORM AND LEGAL
SUFFICIENCY:

CAITLIN COPELAND-RODRIGUEZ
TOWN CLERK

LEONARD G. RUBIN
TOWN ATTORNEY