



PLANNING & ZONING BOARD MEETING AGENDA

January 06, 2025 at 4:00 PM

Council Chambers – 340 Ocean Drive and YouTube

NOTICE: If any person decides to appeal any decision of the Planning & Zoning Board at this meeting, he or she will need a record of the proceedings and for that purpose, he or she may need to ensure that a verbatim record of the proceedings is made, such record includes the testimony and evidence upon which the appeal is to be based. The Town does not prepare or provide such record. ***Persons with disabilities requiring accommodations in order to participate in the meeting should contact Caitlin E. Copeland-Rodriguez, Town Clerk, at least 48 hours in advance to request such accommodations.***

The meeting will be broadcast live on The Town of Juno Beach YouTube page and can be viewed any time at: <https://www.youtube.com/@townofjuno-beach477/streams>

HOW CITIZENS MAY BE HEARD: Members of the public wishing to comment publicly on any matter, including items on the agenda may do so by: Submitting their comments through the Public Comments Webform at: https://www.juno-beach.fl.us/towncouncil/webform/public-comments#_blank (all comments must be submitted by Noon on day of Meeting). Please be advised that all email addresses and submitted comments are public record pursuant to Chapter 119, Florida Statutes (Florida Public Records Law). The Town Clerk or designee will read public comments into the record at the appropriate time for no more than three (3) minutes; or make their comment in-person; or participate from a remote location using Zoom – please contact the Town Clerk at ccopeland@juno-beach.fl.us by Noon on the day of the meeting to receive the Meeting ID and Access Code. (Please note that all members participating via Zoom must login at least 15 minutes prior to the meeting and will be muted upon entry until Public Comments is called).

****Please note that the Zoom meeting will lock for public comments at 4pm and no other entries will be permitted.***

All matters listed under Consent Agenda, are considered to be routine by the Planning & Zoning Board and will be enacted by one motion in the form listed below. There will be no separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

CALL TO ORDER

PLEDGE ALLEGIANCE TO THE FLAG

ADDITIONS, DELETIONS, SUBSTITUTIONS TO THE AGENDA

COMMENTS FROM THE TOWN ATTORNEY AND STAFF

COMMENTS FROM THE PUBLIC

All Non-Agenda items are limited to three (3) minutes. Anyone wishing to speak is asked to complete a comment card with their name and address prior to the start of the meeting as well as state their name and address for the record when called upon to speak (prior to addressing the Board). The Board will not discuss these items at this time.

CONSENT AGENDA

1. Planning & Zoning Board Meeting Minutes for December 2, 2024

BOARD ACTION/DISCUSSION ITEMS

2. Appearance Review – 451 Neptune Road
3. Appearance Review – 401 Diana Lane

COMMENTS FROM THE BOARD

ADJOURNMENT



PLANNING & ZONING BOARD MEETING MINUTES

December 2, 2024 at 4:00 PM

Council Chambers – 340 Ocean Drive and YouTube

PRESENT: MICHAEL STERN, CHAIR
 JIM EHRET, VICE CHAIR
 JIM FERGUSON, BOARDMEMBER
 LAURE SHEARER, BOARDMEMBER
 CAROL RUDOLPH, BOARDMEMBER
 JONATHAN BUTLER, ALTERNATE BOARDMEMBER

ALSO PRESENT: FRANK DAVILA, INTERIM TOWN MANAGER &
 DIRECTOR OF PLANNING & ZONING
 STEPHEN MAYER, PRINCIPAL PLANNER
 CAITLIN E. COPELAND-RODRIGUEZ, TOWN CLERK
 LEONARD RUBIN, TOWN ATTORNEY
 FABINNE AZEMAR, PLANNING TECHNICIAN

AUDIENCE: 2

CALL TO ORDER – 4:00PM

PLEDGE ALLEGIANCE TO THE FLAG

ADDITIONS, DELETIONS, SUBSTITUTIONS TO THE AGENDA - None

COMMENTS FROM THE TOWN ATTORNEY AND STAFF

Interim Town Manager Davila presented the Board with gift baskets of appreciation for their service to the Town.

COMMENTS FROM THE PUBLIC

All Non-Agenda items are limited to three (3) minutes. Anyone wishing to speak is asked to complete a comment card with their name and address prior to the start of the meeting as well as state their name and address for the record when called upon to speak (prior to addressing the Board). The Board will not discuss these items at this time.

Public Comments Opened at 4:01pm.

Public Comments Closed at 4:01pm.

CONSENT AGENDA

1. Planning & Zoning Board Meeting Minutes – November 18, 2024

***MOTION:** Ferguson/Rudolph made a motion to approve the consent agenda.*

***ACTION:** The motion passed unanimously.*

BOARD ACTION/DISCUSSION ITEMS *(A Public Comment Period was provided for each item below.)*

2. Tools to Limit Density Discussion

No Action was taken on this item.

COMMENTS FROM THE BOARD

ADJOURNMENT

Chair Stern adjourned the meeting at 4:24pm.

Michael Stern, Chair

Caitlin E. Copeland-Rodriguez, Town Clerk

DRAFT



Meeting Name: Planning & Zoning Board
Meeting Date: January 6, 2024
Prepared By: Isabella Hickey/ Stephen Mayer
Item Title: Appearance Review – 451 Neptune Road

DISCUSSION:

The Town has received an application for Appearance Review from Mr. Theodore Obermeyer of Grandview Builders (“Applicant”) for the property located at 451 Neptune Road (“Property”). The Property is zoned Residential Single Family (RS-4) with a Future Land Use classification of Low Density Residential (LDR) (up to 5 DU/AC). The previous home was built in 1973 as the existing condition of the property is currently vacant. The lot area is +/- 5,625 square feet.



STAFF UPDATE:

At the November 18, 2024, Planning Zoning Board meeting, the applicant requested to pull the item so that they may work with staff regarding revising their application to obtain a more positive recommendation. Staff met and spoke with the applicant multiple times. Staff expressed that removing the tower element, reducing the overall square footage and modifying the architecture to promote a more horizontal façade appearance may result in a positive recommendation as it pertains to harmony. However, the applicant ultimately did not decide to reduce the overall square footage or remove the tower element. The applicant’s only revision to the application is the addition of “eyebrow” features over the garages to provide a more horizontal architectural appearance to the front façade.

Staff notes that for the purposes of staff recommendations, the revision **does not** change staff’s analysis of whether the application meets the definition of harmony. Staff also notes that the applicant did not modify the architectural plans, but did provide a new rendering showing the new “eyebrow” features.

STAFF REVIEW:

The Applicant is seeking to construct a new 2-story single-family home with a tower feature. Section 34-116(3) (b) (items 2 through 7) of the Town’s Zoning Code requires the Planning and Zoning Board (acting as the Appearance Review Board) to determine whether the proposed addition meets the criteria below. For the Board’s review and consideration, staff have provided their professional opinion to the Appearance Review Criteria (staff response is in **bold**).

Appearance Review Criteria

2. Is of a design and proportion which enhances and is in harmony with the area. The concept of harmony shall not imply that buildings must look alike or be of the same style. Harmony can be achieved through the proper consideration of setback, scale, mass, bulk, proportion, overall height, orientation, site planning, landscaping, materials, and architectural components including but not limited to porches, roof types, fenestration, entrances, and stylistic expression. For the purpose of this section, the comparison of harmony between buildings shall consider the preponderance of buildings or structures within 300 feet from the proposed site of the same zoning district;

The area of the lot is +/-5,625 sq. ft., the lot coverage is proposed as +/- 1,967 sq. ft. or 34.97%, which complies with the Town’s Zoning Code requirement for lot coverage per Section 34-268. The proposed home is a two-story structure and is +/- 25 feet in height (not including the tower feature) or 36 feet 4 inches in height (from average grade to the top of the concrete slab of the tower feature).

The backup materials provided, specifically in the narrative by the J.Scott Baruch & Associates – Architect(s) for the property, indicate how the applicant has provided a review of the residential structures in the context of the property.

Using data from the Property Appraiser’s Office, staff has created the following table summary for the Board’s review:

<i>Address</i>	<i>Year Built</i>	<i>Lot Total Square Feet</i>	<i>Tower Feature</i>	<i>Lot Size to Total Square Feet Ratio</i>	<i>Total Square Feet</i>	<i>Square Feet Under Air</i>	<i>Story</i>
<i>491 Neptune</i>	1987	6969.6	No	0.31	2,177	1,671	2
<i>490 Neptune</i>	1999	5662.8	Yes	0.32	1,820	1,573	1

							Item #2.
481 Neptune	1974	5662.8	No	0.33	1,879	1,392	1
480 Neptune	1972	5662.8	No	0.33	1,920	1,424	1
471 Neptune	1997	5662.8	No	0.34	1,945	1,553	1
460 Neptune	2013	5662.8	No	0.56	3,185	2,364	2
451 Neptune	-	5662.8	Yes	0.70	3,961	3,234	2
450 Neptune	1960	5662.8	No	0.28	1,606	1,254	1
441 Neptune	1969	5662.8	No	0.29	1,660	1,316	1
430 Neptune	1960	5662.8	No	0.38	2,174	1,265	1
421 Neptune	1973	5662.8	No	0.30	1,704	1,210	1
420 Neptune	1959	5662.8	No	0.35	1,970	1,646	1
411 Neptune	1972	5662.8	No	0.46	2,589	1,956	2
400 Neptune	1958	5662.8	No	0.34	1,919	1,176	1

According to the table above, the increase in overall square footage of the proposed residence will be within the range of the total square footage of the structures along Neptune Road. Thus, the proposed single-family home would result in the applicant's residence being compatible in total square footage (+/-) with the other single-family homes along Neptune Road (as indicated in the table above).

3. Elevator and stairwell shafts and other modern operations and features of a building shall be either completely concealed or shall incorporate the elements of the architectural style of the structure; rooftop equipment and elevator and mechanical penthouse protrusions shall be concealed; and parking garages and other accessory structures shall be designed with architectural features and treatments so that they are well proportioned and balanced and in keeping with the architectural style of the principal structure;

The applicant is proposing an elevator that shall incorporate the elements of the architectural style of the structure with this application/petition. Roof top equipment, including but not limited to the proposed mechanical equipment (AC condenser), shall be screened from public view to the maximum extent.

4. Shall have all on-site structures and accessory features (such as, but not limited to, light fixtures, benches, litter containers, including recycling bins, traffic and other signs, letter boxes, and bike racks) compatible in design, materials, and color;

There are no additional accessory structures on this site.

5. Shall have a design in which buildings over 40 feet in height shall appear more horizontal or nondirectional in proportion rather than vertical, accomplished by the use of architectural treatments as described in these criteria;

The height of the applicant's addition will comply with these criteria. The height of the proposed two-story single-family home will be 25 feet in height (not including the tower feature) or 36 feet 4 inches (from average grade to the top of the concrete slab of the tower feature).

6. Shall locate and design mechanical equipment with architectural treatments so that any noise or other negative impact is minimized;

The proposed location of the mechanical equipment is on the roof, which shall screen the equipment from public view to the maximum extent.

Staff concludes that in consideration of the Residential Single-Family (RS-4 Juno Heights Neptune Road) zoning district all Building Site Area Regulations have been satisfied.

Harmony

In consideration of the term “harmony” staff interprets that the proposed single-family home is NOT harmonious in selected aspects of the definition (please see below). Harmony means a quality which produces an aesthetically pleasing whole as in an arrangement of varied architectural and landscape elements. Harmony can be achieved through the proper consideration of scale, mass, bulk, proportion, height, orientation, site planning landscaping, materials and architectural components including but not limited to porches, roof types, fenestration, entrances, and stylistic expression.

Bulk means the overall size and volume of a building or structure.

Staff’s response: The structure on 451 Neptune Road has a proposed gross building footprint of +/- 3,961 sq. ft. (this includes the 1st floor, 2nd floor, garage, and tower feature sq. ft. total), the site area is 5,625 sq. ft. with a ratio of approximately 70%. According to the table provided by Staff, the next largest home has a total of 3,185 sq. ft. located on a 5,662 sq. ft. lot, therefore the ratio is approximately 56%. The size and volume of the proposed single-family home is not compatible as it exceeds the square footage of the largest single-family home (3,185) currently within this zoning district.

Mass means the relationship and sizes between different volumes of a building or structure.

Staff’s response: The total gross square footage for the other structures on Neptune Road range between 1,660 sq. ft. and 3,185 sq. ft. The proposed structure has a gross building footprint of +/- 3,961 sq. ft. (this includes the 1st floor, 2nd floor, garage, and tower feature sq. ft. total). The mass of the proposed single-family home is not compatible in the context of the other structures located within this zoning district as 3,961 sq. ft. is above the existing range between 1,660 sq. ft. and 3,185 sq. ft.

Proportion means the visual effect of relationship of one portion to another or of a portion to the whole. or of one thing to another.

Staff’s response: The proportion (ratio) of the elements such as windows, doors, and garages are compatible with the façade (size) of the building.

Scale means the proportions of a building in relation to its surroundings, particularly other buildings in the surrounding context.

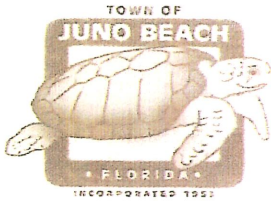
Staff’s response: The scale of the proposed single-family home (proportion) is not compatible as the visual effect of the new residence will not be compatible with the other structures along Neptune Road within the Residential Single-Family (RS-4) zoning district, specifically with the height, as no other homes have a tower feature.

RECOMMENDATION:

Staff recommends that the Planning and Zoning Board (acting as the Appearance Review Board) review the information that has been provided, and consider approval or denial, or approval with modifications, considering the proposed single-family home to be located at 451 Neptune Road.

ATTACHMENTS:

451 Neptune Road Appearance Review Application and Backup Material



Town of Juno Beach
340 Ocean Drive; Juno Beach, FL 33408
Phone: (561) 626-1122; Fax: (561) 775-0812

For Official Use Only
Date Stamp
complete package received NOV 5, 2024

Appearance Review Board Application

The following information and items shall be provided to the Planning and Zoning Department for processing and dissemination in association with scheduling of submittals before the Town's Planning and Zoning Board. The Board meets on the First Monday of each month, unless otherwise changed, with the submittal deadline being on the Monday twenty-eight (28) days prior to the meeting, all comments shall be addressed fourteen (14) days prior to the meeting. A pre-application meeting with staff is required prior to the submittal of the application.

Date: August 19th, 2024

Project Address: 451 Neptune Road, Juno Beach FL 33408

Property Control Number: 28-43-41-28-08-000 Zoning District: 28-Juno Beach
-0-60 RS4-Single family

Description of Request: (please provide a brief, comprehensive and summarized description of the proposed project below).

New construction singl family home totaling
3,234 sq ft under air and 4,203 sq ft total

Design Professional Name: S Scott Baruch License #: AR0014964
Phone Number: 561-768-6224 E-mail: Sscottbaruch@comcast.net

Construction Company Name: Grandview Builders
Phone Number: 561-884-0743 E-mail: Thro. Grandviewbuilders@gmail

Property Owner's Name: LARRY WILLIAMS
Owner's Address (if different from project address): 8461 SE BISTOL WAY JUPITER 33413
Phone Number: 732-620-5662 E-mail: LWILLIAMS@JOEMAXTELECOM.C
Applicant/Owner signature: Jay Williams Date: 8/20/24

Please note: The Appearance Review Board (ARB) review solely addresses the Appearance Criteria of the proposed project, it does not encompass a zoning, engineering, or building review. Further reviews by Town staff will commence once a building permit has been submitted.

J. Scott Baruch & Associates Architects

18360 SE Lakeside Drive Tequesta FL 33469

To: Town of Juno Beach Planning and Zoning

Re: Response to Appearance Review Criteria
451 Neptune Road

Style:

The proposed new residence at 451 Neptune Road is a 4-bedroom 3234 SF residence in keeping with the Mid-Century Modern or Modern style. Neptune Road currently consists of a mix of styles including older smaller Ranch or Bungalow styled homes with few newer projects. The neighbor to the west appears to be recently renovated but much of the rest of the street remains as it has been for decades. The pictures below are of a few of the neighboring properties.

The neighborhood as a whole has a great deal of recent construction including renovations and new construction where small older homes are being demolished and multi-story residences in various current regional styles constructed.



Neighbor to the west 471 Neptune



Neighbor across the street 430 Neptune



Neighbor to the east 441 Neptune



450 Neptune

The proposed project will be concrete masonry block and smooth stucco with bronze colored framed glass windows and an elevator tower serving a roof terrace. The inspiration of this residence in the photo below is a new residence constructed several years ago at 421 Mars Way which is directly behind and across the street from the proposed residence. Many of the elements are similar including the massing of the residence and development of architectural elements including the glass entry, elevator, stair, railings and garage, carefully considered to enhance the residences street presence. Please see the photo below.



Inspiration Home 421 Mars Way



Subject Property 451 Neptune



421 Mars Way

The front façade of the proposed plan is stepped increasing the architectural development, scale, light and dark shadow play and depth which also reduces the presence of the garage allowing the entry to become a more dominant element. The elevator and stair have vertical expression and extend to the roof terrace creating interaction and definition between horizontal and vertical elements. Please see the attached rendering from the street below.



Harmony:

The consideration of massing, proportion and scale of the proposed design, in my opinion produces an aesthetically pleasing whole with an arrangement of varied architectural and landscape elements. Also, the response to context of this design to new and existing residences in the neighborhood and on Neptune Street is harmonious and appropriate and is balanced with the direction and evolution of the architectural development in this neighborhood and in all of Juno Beach.

Bulk:

The overall size and volume of the structure is not excessive and the design which is stepped in plan to the diagonal front setback creates a stepping of one- and two-story masses from the street which in addition to creating depth and shadow play also serve to integrate the size and volume, or bulk, in an architecturally attractive way.

Pictured below are other examples of modern or mid-century modern residences and other relevant projects within a 300' radius of the subject property below.









Thank you.

Please don't hesitate to contact me at jscottbaruch@comcast.net or 561-768-6224 if I can assist further.

Sincerely,

A handwritten signature in blue ink, appearing to read "J. Scott Baruch".

J. Scott Baruch

LEGAL DESCRIPTION 451 NEPTUNE ROAD

OFFICIAL RECORDS BOOK 34401, PAGE 1370
 LOT 6, JUNO HEIGHTS, ACCORDING TO THE PLAT THEREOF,
 RECORDED IN PLAT BOOK 24, PAGE(S) 122 OF THE
 PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.
 CONTAINING 5625 SQUARE FEET MORE OR LESS

PROPOSED RESIDENCE
 FINISHED FLOOR = 30.5
 TOWER ROOF PEAK = 66.33
 AVERAGE GRADE ELEVATION = 29.77
 TOTAL LOT 5625 SQUARE FEET
 1967 SQUARE FEET BUILDING FOOTPRINT
 OR 34.9689%
 2181 SQUARE FEET TOTAL COVERED AREA
 OR 38.7733%

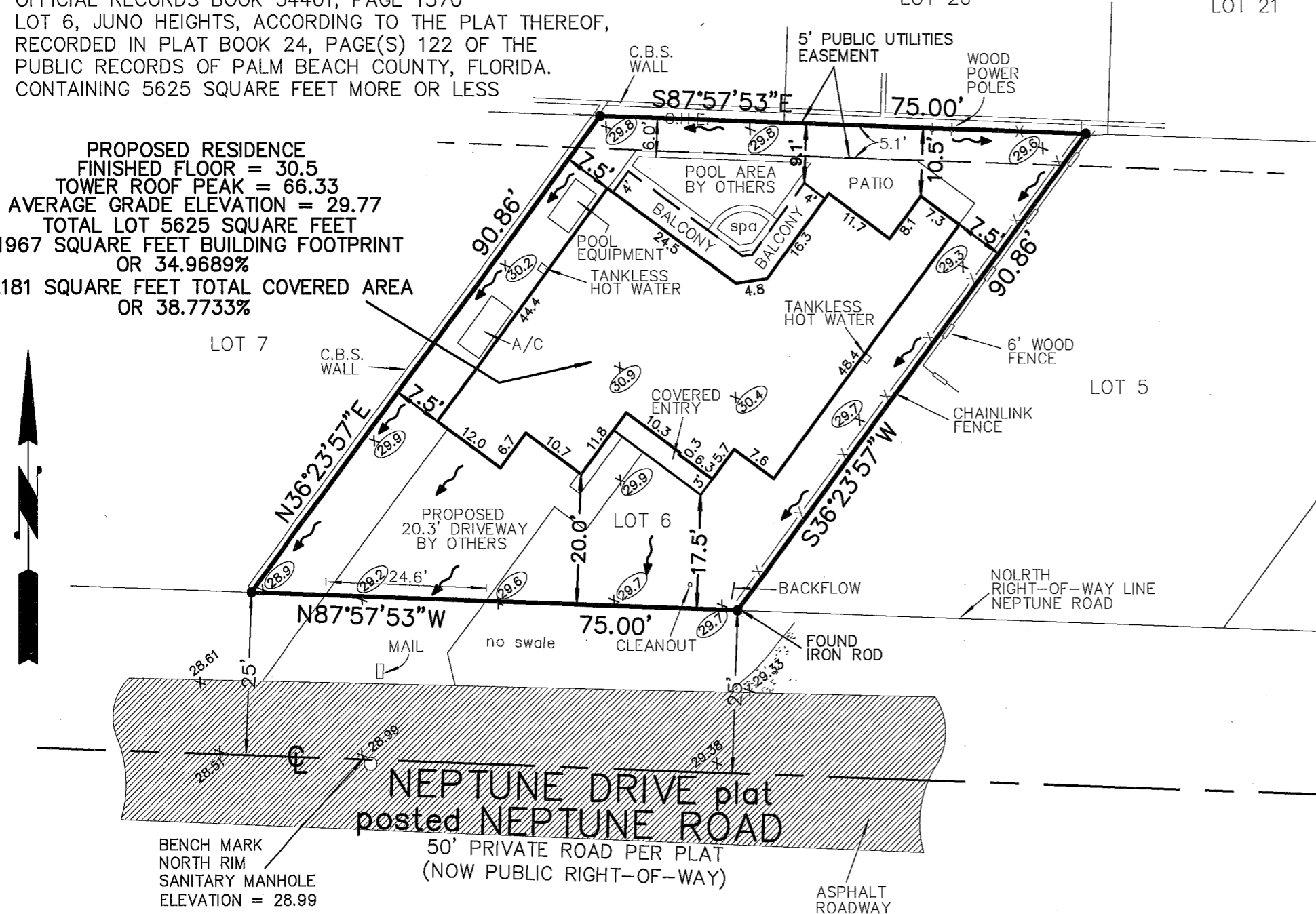
MALBO
 LOT 19 PLAT BOOK 22, PAGE 40 LOT 20

LEGEND:

- ⊙ = CENTERLINE
- calc = CALCULATED
- meas = MEASURED
- ▨ = CONCRETE
- O.H.E. = OVERHEAD ELECTRIC
- +29.3 = ELEVATIONS
- ↘ = DRAINAGE
- = ELEVATIONS FOR CALC AVERAGE GROUND GRADE



PROPERTY SHOWN HEREON IS LOCATED IN
 FLOOD ZONE X PER FLOOD INSURANCE RATE
 MAP 120208 0381 F DATED OCTOBER 5, 2017



- SURVEYORS NOTES:**
- THIS SURVEY COMPLIES WITH CHAPTER 5J-17, FLORIDA ADMINISTRATION CODE.
 - NO SEARCH OF THE PUBLIC RECORDS HAS BEEN MADE BY THIS OFFICE.
 - LEGAL DESCRIPTIONS SUPPLIED BY CLIENT OR CLIENT'S AGENT.
 - WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS, SOME ITEMS SHOWN HEREIN ARE FOR GRAPHIC AND INFORMATIONAL PURPOSES ONLY.
 - VISIBLE ENCROACHMENTS, IF ANY ARE SHOWN HEREON.
 - THIS SURVEY FOR CONSTRUCTION PURPOSES ONLY AND NOT INTENDED FOR CONVEYANCE PURPOSES WITHOUT PERMISSION OF THIS SURVEYOR.
 - ELEVATIONS HEREON BASED ON NORTH AMERICAN VERTICAL DATUM (N.A.V.D. 1988)
 - NO UNDERGROUND UTILITIES LOCATED EXCEPT WHERE SHOWN HEREON.
 - THIS IS NOT AN ENVIRONMENTAL SURVEY.
 - THIS SURVEY DOES NOT GUARANTEE OWNERSHIP OR RIPARIAN RIGHTS BEYOND MEAN HIGH WATER LINE.
 - BEARINGS HEREON BASED ON THE MEASURED GRID BEARING OF N87°57'53"W ALONG THE NORTH RIGHT-OF-WAY LINE OF NEPTUNE ROAD AND ALL OTHER BEARINGS ARE RELATIVE THERETO.
 - ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
 - FORM BOARD TIE-IN & UNDER CONSTRUCTION TIE-IN SURVEYS INTENT IS TO SHOW SETBACK COMPLIANCE; OWNER AND/OR CONTRACTOR ACCEPTS RESPONSIBILITY FOR PLACEMENT OF FORMBOARDS UPON RECEIPT OF THIS SURVEY. PLUMBING AND OTHER UTILITIES INSTALLED AT CONTRACTORS RISK.
 - THIS SURVEY IS NOT VALID WITHOUT SURVEYORS SIGNATURE & EMBOSSED SEAL, OR A VERIFIABLE ELECTRONIC SIGNATURE IN ACCORDANCE WITH STATE STATUTE 66B.001-66B.006.

NOTE:
 THIS SURVEY PERFORMED
 WITHOUT BENEFIT OF TITLE

RONALD E. STOTLER
 PROFESSIONAL SURVEYOR AND MAPPER
 CERTIFICATE NO. 5026
 STATE OF FLORIDA

MAGELLAN SURVEYING & MAPPING, INC.
 PROFESSIONAL LAND SURVEYORS
 LICENSED BUSINESS - 7571
 450 S. OLD DIXIE HIGHWAY, SUITE 10
 JUPITER, FLORIDA 33458
 SINCE 2007 561-746-8745 FAX 561-746-9632 E-mail info@magellansurveying.com

Boundary Survey & Site Plan

Prepared For: **LARRY WILLIAMS**

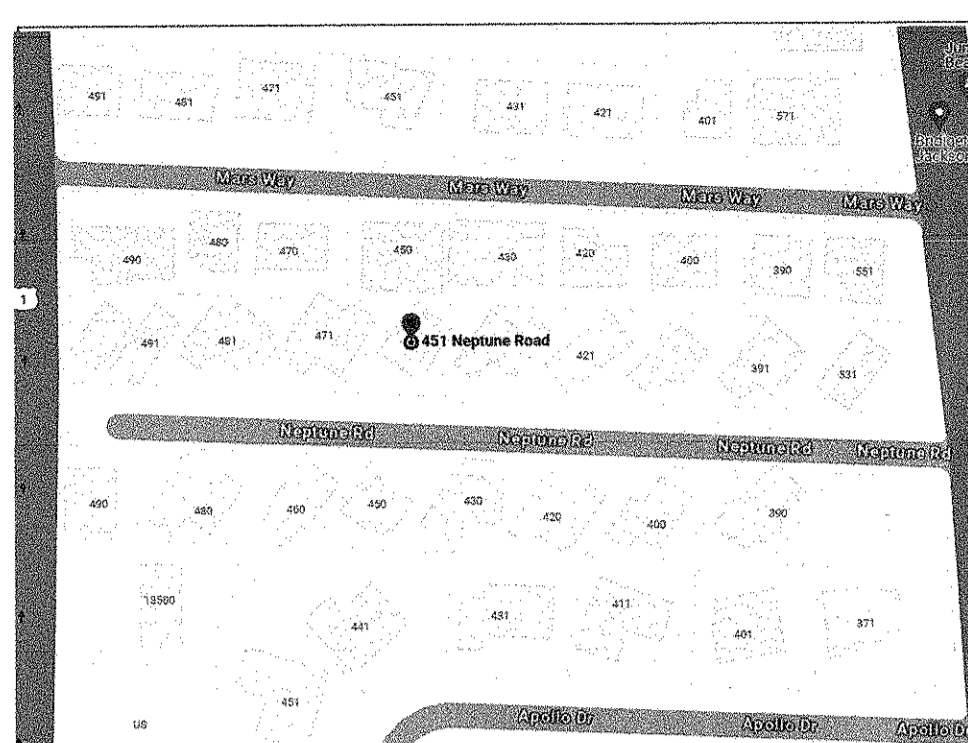
Drawn by RES	Date Of Survey JULY 17, 2024	Scale 1" = 20'
Field: RS F.B.199 Pg63		24-067 24-067
BOUNDARY FOR PERMIT, 07-17-2024 REVISIONS: ADD SITE PLAN, 07-29-2026 UPDATE SURVEY, 10-01-2024 ADD AVERAGE GRADE, 10-17-2024		

Item #2.

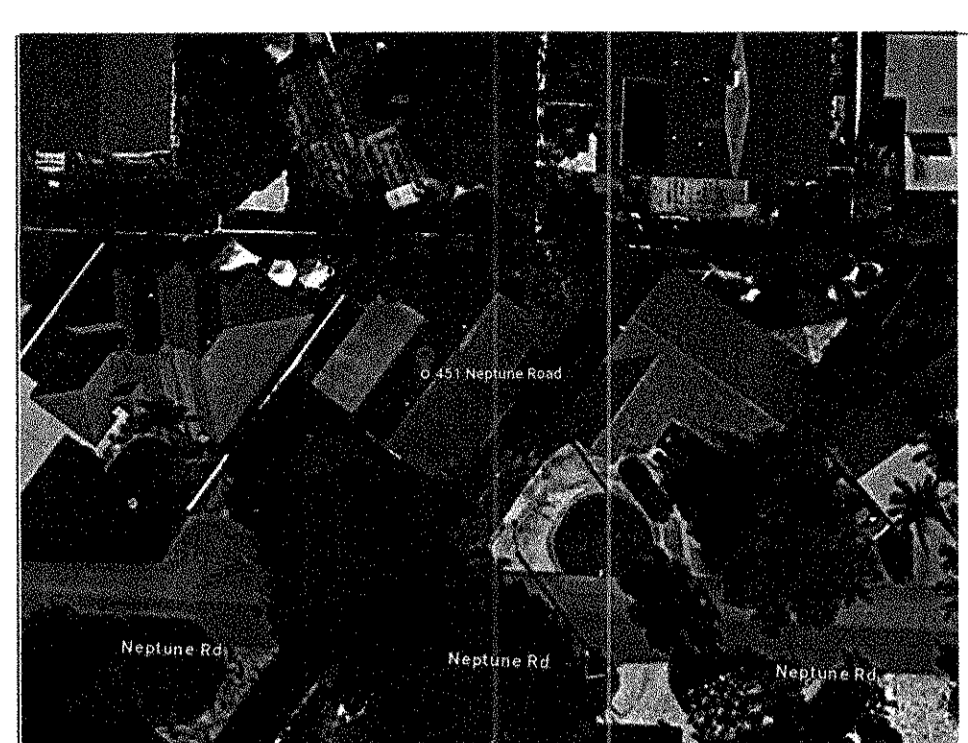
REVISIONS	Item #2
04-16-24 FRONT WINDOW 4' 12" SGD	
05-14-24 POOL ADDED	
06-26-24 REVISIONS	
07-17-24 REVISIONS	
09-11-24 REVISIONS	

DRAWING INDEX

- A-1 SITE PLAN
- A-2 FIRST FLOOR PLAN
- A-3 SECOND FLOOR PLAN
- A-4 UPPER LEVEL FLOOR PLAN
- A-5 EXTERIOR ELEVATIONS
- A-6 EXTERIOR ELEVATIONS
- E-1 FIRST FLOOR ELECTRIC PLAN
- E-2 SECOND FLOOR ELECTRIC PLAN
- E-3 UPPER LEVEL ELECTRIC PLAN
- S-1 FOUNDATION PLAN
- S-2 2nd FLOOR FRAMING PLAN
- S-3 2nd FLOOR ROOF FRAMING PLAN
- S-4 UPPER ROOF FRAMING PLAN
- S-5 CROSS SECTION DETAILS
- S-6 CROSS SECTION DETAILS
- S-7 CONSTRUCTION DETAILS
- S-8 CONSTRUCTION DETAILS
- S-9 CONSTRUCTION DETAILS
- S-10 CONSTRUCTION DETAILS



MAP VIEW



AERIAL VIEW

PROJECT LOCATION

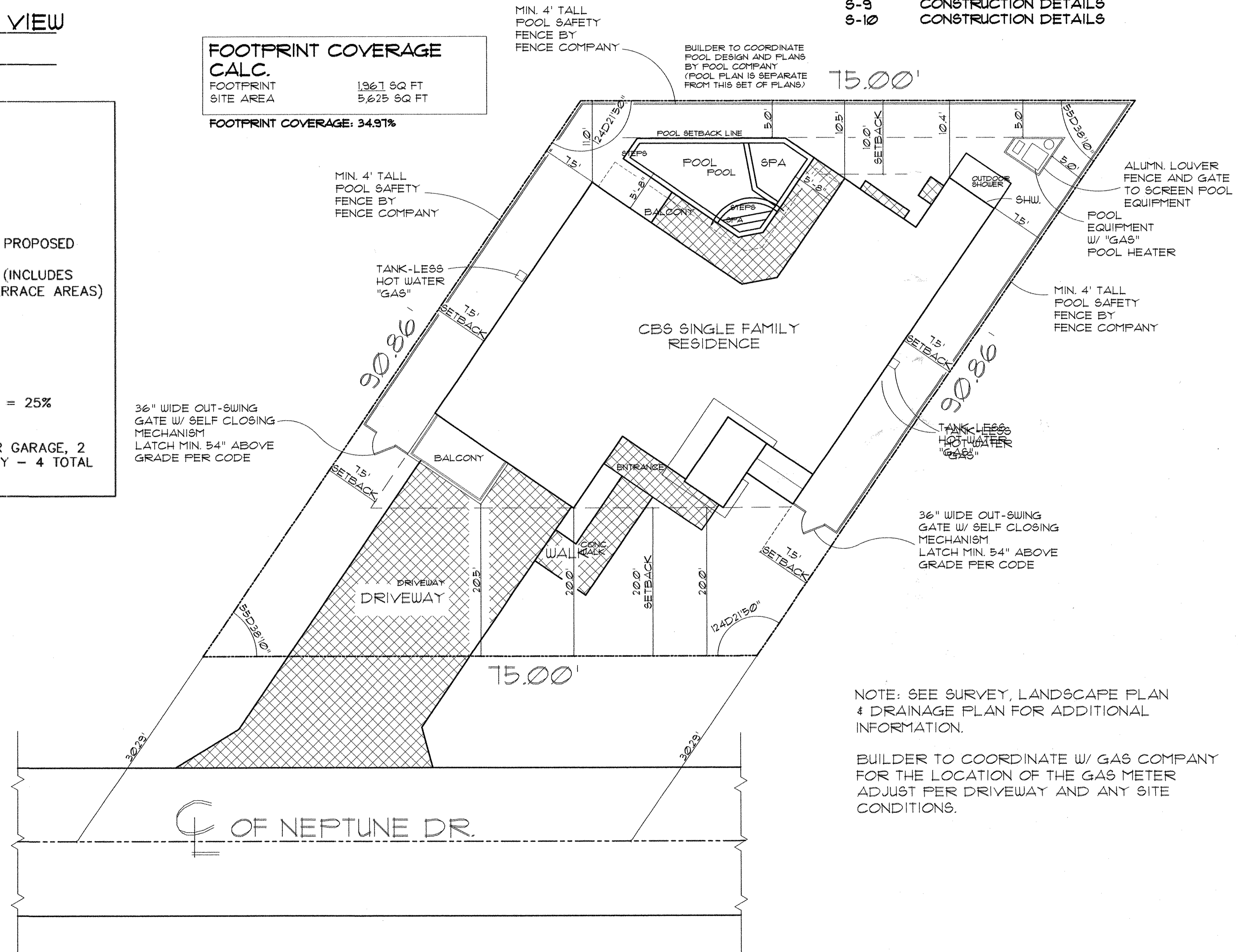
SITE DATA TABLE

FOOTPRINT COVERAGE - 35% ALLOWED:	34.97% PROPOSED
SITE AREA:	5,625 S.F.
FOOTPRINT:	1,967 S.F.
FRONT SETBACK - 20':	20' PROPOSED
REAR SETBACK - 10':	10.4' PROPOSED
SIDE SETBACK - 15' TOTAL (5' PER SIDE):	7.5' @ EACH SIDE PROPOSED
MAXIMUM TOWER AREA - 225 S.F.:	225 S.F. PROVIDED (INCLUDES TOWER, STAIR & TERRACE AREAS)
MAXIMUM HEIGHT - 30':	25' PROPOSED:
MAXIMUM TOWER HEIGHT - 37.5':	36.3' PROPOSED
MINIMUM LOT AREA - 5,500 S.F.:	5,625 S.F. EXISTS
MINIMUM LOT WIDTH - 75':	75' EXISTS
MINIMUM LOT DEPTH - 90':	90.86' EXISTS
MINIMUM LANDSCAPE REQUIREMENT - 25% MIN.:	1,406 S.F. PROVIDE = 25%
MINIMUM HABITABLE SPACE - 1,400 S.F.:	5,624 PROVIDED
MINIMUM PARKING - 2 SPACES:	2 SPACES @ 2 CAR GARAGE, 2 SPACES @ DRIVEWAY - 4 TOTAL SPACES PROVIDED

FOOTPRINT COVERAGE CALC.

FOOTPRINT 1,967 SQ FT
SITE AREA 5,625 SQ FT

FOOTPRINT COVERAGE: 34.97%

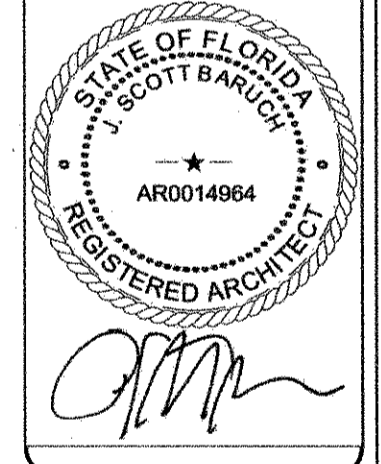


A NEW RESIDENCE @
451 NEPTUNE RD,
JUNO BEACH, FLORIDA 33408

J Scott Baruch

Digitally signed
by J Scott Baruch
Date: 2024.10.22
14:46:56 -04'00'

SEAL



J. SCOTT BARUCH
& ASSOCIATES
18360 SE LAKESIDE DR.
JUPITER, FLORIDA
AR-0014964

DRAWN	G.R.G.
CHECKED	J.S.B.
DATE	04-09-24
SCALE	AS SHOWN
JOB NO.	

SHEET

A-1

REVISIONS	Item #2
04-16-24 FRONT WINDOW	1
05-14-24 POOL ADDED	2
06-26-24 REVISIONS	3
07-17-24 REVISIONS	4
09-11-24 REVISIONS	5

GENERAL NOTES:

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL NOTIFY DESIGNER OF ANY CONFLICTS OR CONDITIONS PRIOR TO PROCEEDING WITH WORK.
- CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS IN THE FIELD.
- ALL STRUCTURAL LUMBER SHALL HAVE THE FOLLOWING MIN. VALUES UNLESS NOTED: SOUTHERN PINE, F_b=1200, E=15
- ALL FOOTINGS, FOUNDATIONS, SLABS SHALL BEAR ON NATURAL OR COMPACTED SOIL HAVING A MIN. BEARING OF 2500 P.S.F. AS DETERMINED AND VERIFIED BY A RECOGNIZED TESTING LABORATORY.
- ALL CONSTRUCTION SHALL BE PERFORMED IN A GOOD WORKMAN-LIKE MANNER IN ACCORDANCE WITH ALL CODES, REGULATIONS, ORDINANCES AND RESTRICTIONS HAVING JURISDICTION.
- CONTRACTOR SHALL COORDINATE WITH OWNER AND VARIOUS TRADES SO THAT PROPER OPENINGS AND CHASES SHALL BE PROVIDED.
- ALL VEGETATION AND ORGANIC MATTER SHALL BE REMOVED PRIOR TO PLACING FILL. FOUNDATION SHALL BEAR ON CLEAN FILL COMPACTED IN LAYERS OF NOT MORE THAN 12" IN DEPTH AND TO 95% DENSITY AS PER A.S.T.M. PROCTOR TEST OR MODIFIED PROCTOR TEST.
- REINFORCING STEEL SHALL CONFORM TO THE REQUIREMENTS OF A.S.T.M. A615 SPECIFICATIONS FOR NEW DEFORMED BILLET STEEL AND GRADE 60 SPEC WITH A MIN. YIELD STRENGTH OF 60,000 P.S.I. IT SHALL BE DETAILED, FABRICATED AND PLACED AS RECOMMENDED BY A.C.I.
- CONCRETE SHALL HAVE A SLUMP OF 5" MAX. AND A MIN. COMPRESSIVE STRENGTH IN 28 DAYS AS FOLLOWS:
CONCRETE SLAB W/ HAMBERO SYSTEM 3,000 P.S.I.
CANTILEVERED BALCONY DECK 4,000 P.S.I.
FOUNDATIONS AND SLABS ON GRADE 2,500 P.S.I.
COLUMNS AND BEAMS 3,000 P.S.I.
CONCRETE COVER FOR ALL POURED IN PLACE CONCRETE SHALL BE AS FOLLOWS:
FOUNDATIONS 3"
COLUMNS 2"
SLABS ON FILL 6"x6/10"x10" W.W.M. IN CENTER OF SLAB
NOTE: "FIBERMESH" MAY BE USED IN LIEU OF 6"x6/10"x10" W.W.M.
- WELDED WIRE MESH (W.W.M.) SHALL CONFORM TO A.S.T.M. A-105, W.W.M. 36" ON EACH SIDE OF BEARING WALLS AND 30", PLUS WIDTH OF FOOTING AROUND PERIMETER OF MONOLITHIC FOOTING.
- CONCRETE MASONRY UNITS SHALL BE LOAD BEARING TYPE CONFORMING TO A.S.T.M. C-90 MORTAR SHALL CONFORM TO A.S.T.M. C-210, TYPE M.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESURE TREATED.
- ALL STUCCO SCRATCH COATS SHALL BE ALLOWED 24 HOURS DRYING PERIOD.

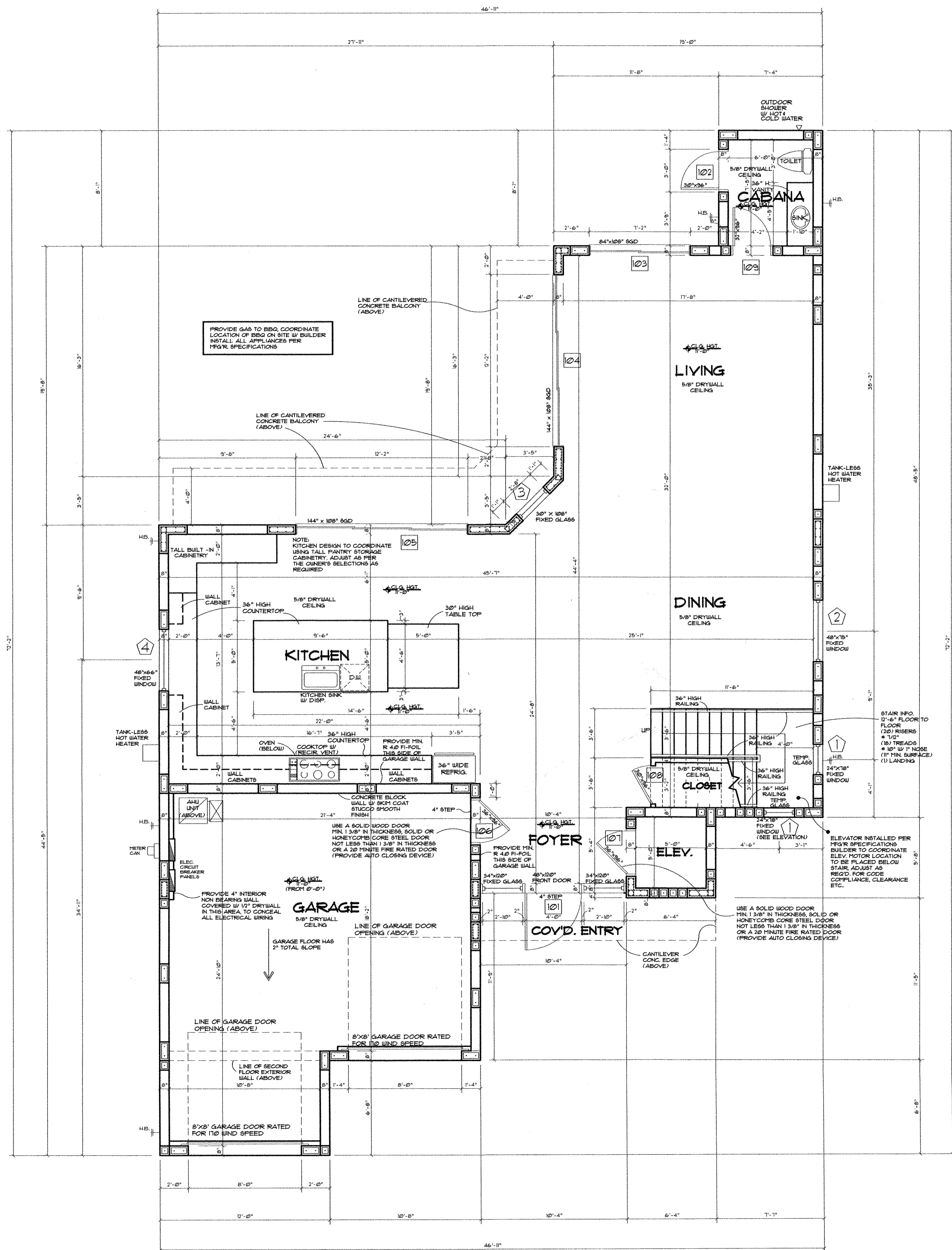
ENGINEERING CRITERIA

FLORIDA BUILDING CODE 2023, EIGHTH EDITION
CHAPTER 1609, USING ASCE 7-22
WIND SPEED = 110 mph V (ULT), 132 mph V (ASD)
WIND IMPORTANCE FACTOR = 1.0
R3 (ENCLOSED)
EXPOSURE: C
ENCLOSED BUILDING INTERNAL PRESSURE COEFFICIENT - G_{cp} = 0.18
HURRICANE PROTECTION SHUTTERS — IMPACT GLASS ✓
MEAN ROOF HEIGHT = 31' FEET
MAXIMUM WINDOW PRESSURE = -54.6 P.S.F., 46.6 P.S.F.
MAXIMUM DOOR PRESSURE = -48.6 P.S.F., 44 P.S.F.
MAXIMUM SIDE LITE = -51.7 P.S.F., 47.3 P.S.F.
MAXIMUM GARAGE DOOR PRESSURE = -49.3 P.S.F., 40.7 P.S.F.

SQUARE FOOTAGE TABLE

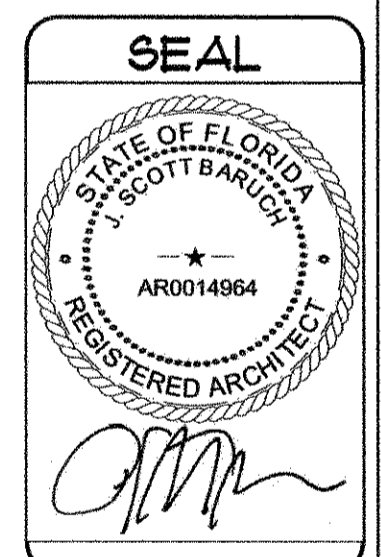
PROPOSED RESIDENCE:	
1ST LIVING UA	1465 SQ FT
2ND LIVING UA	1763 SQ FT
GARAGE UR	502 SQ FT
3RD FL TERRACE	225 SQ FT
REAR BALCONY	162 SQ FT
FRONT BALCONY	80 SQ FT
TOTAL UNDER AIR:	3,234 SQ FT
TOTAL UNDER ROOF:	3,763 SQ FT
TOTAL SQUARE FOOTAGE:	4,203 SQ FT

PROVIDE PROPANE GAS TO THIS RESIDENCE. SEE DRAWING AND PERMIT BY GAS COMPANY. PROPANE FOR: COOKTOP, WATER HEATER, POOL HEATER, BBQ, 4 DRYER



1ST FLOOR PLAN
SCALE 1/4"=1'-0"

A NEW RESIDENCE @
451 NEPTUNE RD,
JUNO BEACH, FLORIDA 33408



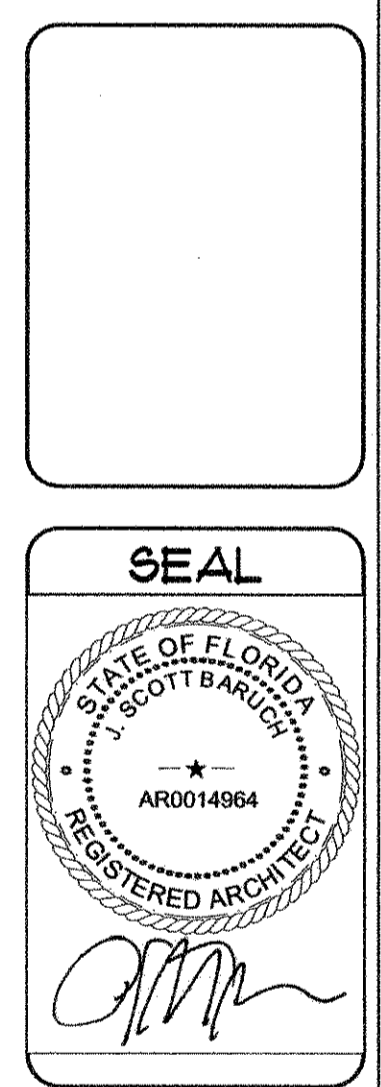
J. SCOTT BARUCH & ASSOCIATES
19360 SE LAKESIDE DR.
JUPITER, FLORIDA
AR-0014964

DRAWN	G.R.G.
CHECKED	J.S.B.
DATE	04-09-24
SCALE	AS SHOWN
JOB NO.	
SHEET	

A-2

REVISIONS	
04-16-24	FRONT WINDOW 4 1/2" SGD
05-14-24	POOL ADDED
06-26-24	REVISIONS
07-11-24	REVISIONS
09-11-24	REVISIONS

A NEW RESIDENCE @
451 NEPTUNE RD,
JUNO BEACH, FLORIDA 33408



J. SCOTT BARUCH
& ASSOCIATES
19360 SE LAKESIDE DR.
JUPITER, FLORIDA
AR-0014864

DRAWN	G.R.G.
CHECKED	J.S.B.
DATE	04-09-24
SCALE	AS SHOWN
JOB NO.	

SHEET
A-3

WINDOW SCHEDULE:			
NO.	WIDTH/HEIGHT	UNITS	DESCRIPTION
1	24" x 18"	4	FIXED TEMP. GLASS
2	48" x 15"	1	FIXED, 2 LITE
3	30" x 106"	1	FIXED
4	48" x 66"	1	FIXED, 3 LITE
5	24" x 36"	2	FIXED TEMP. GLASS
6	34" x 36"	2	FIXED TEMP. GLASS
7	52" x 36"	1	FIXED TEMP. GLASS
8	48" x 34"	1	FIXED TEMP. GLASS
9	42" x 63"	2	FIXED
10	30" x 63"	1	FIXED
11	30" x 54"	1	FIXED
12	24" x 60"	2	CASEMENT

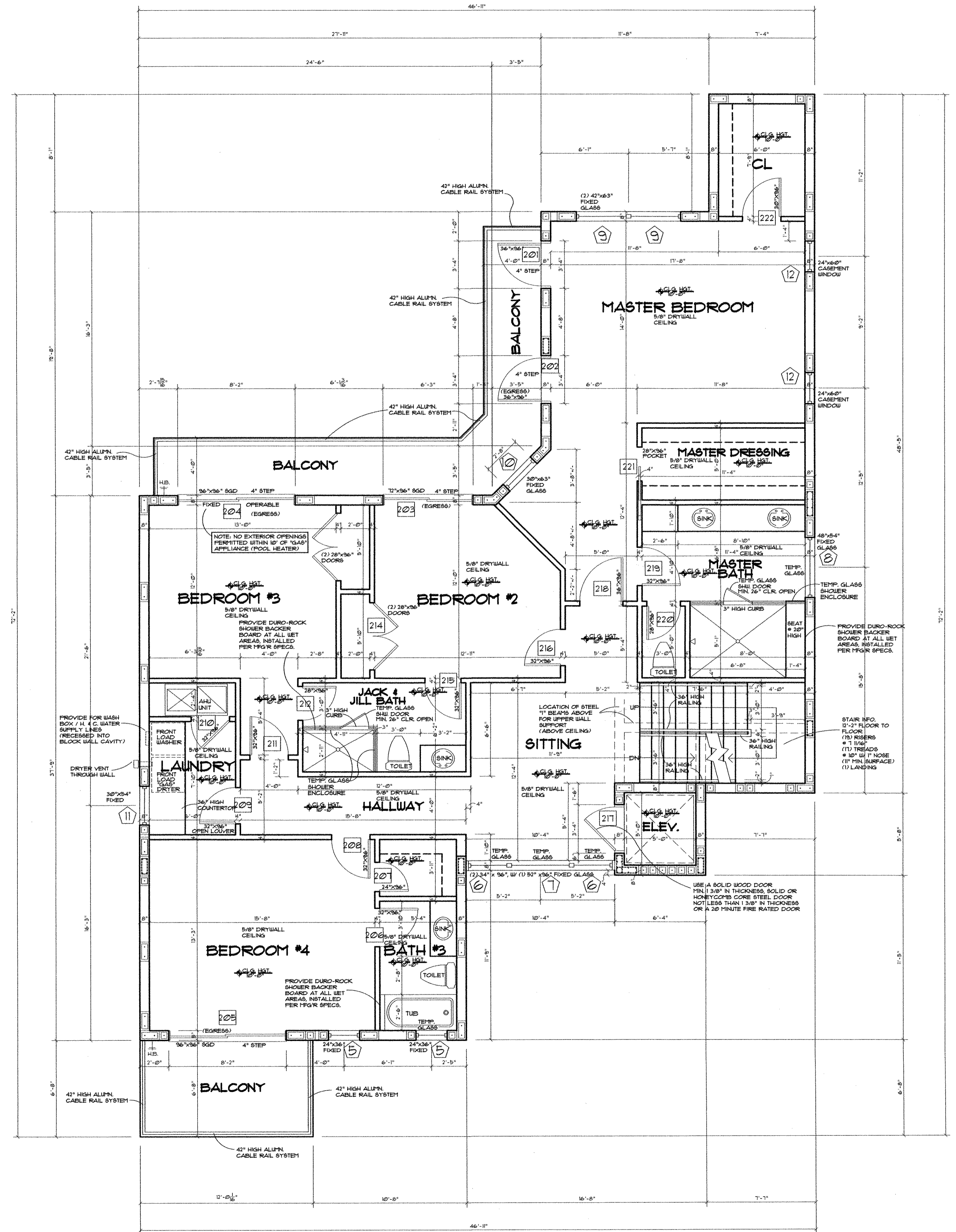
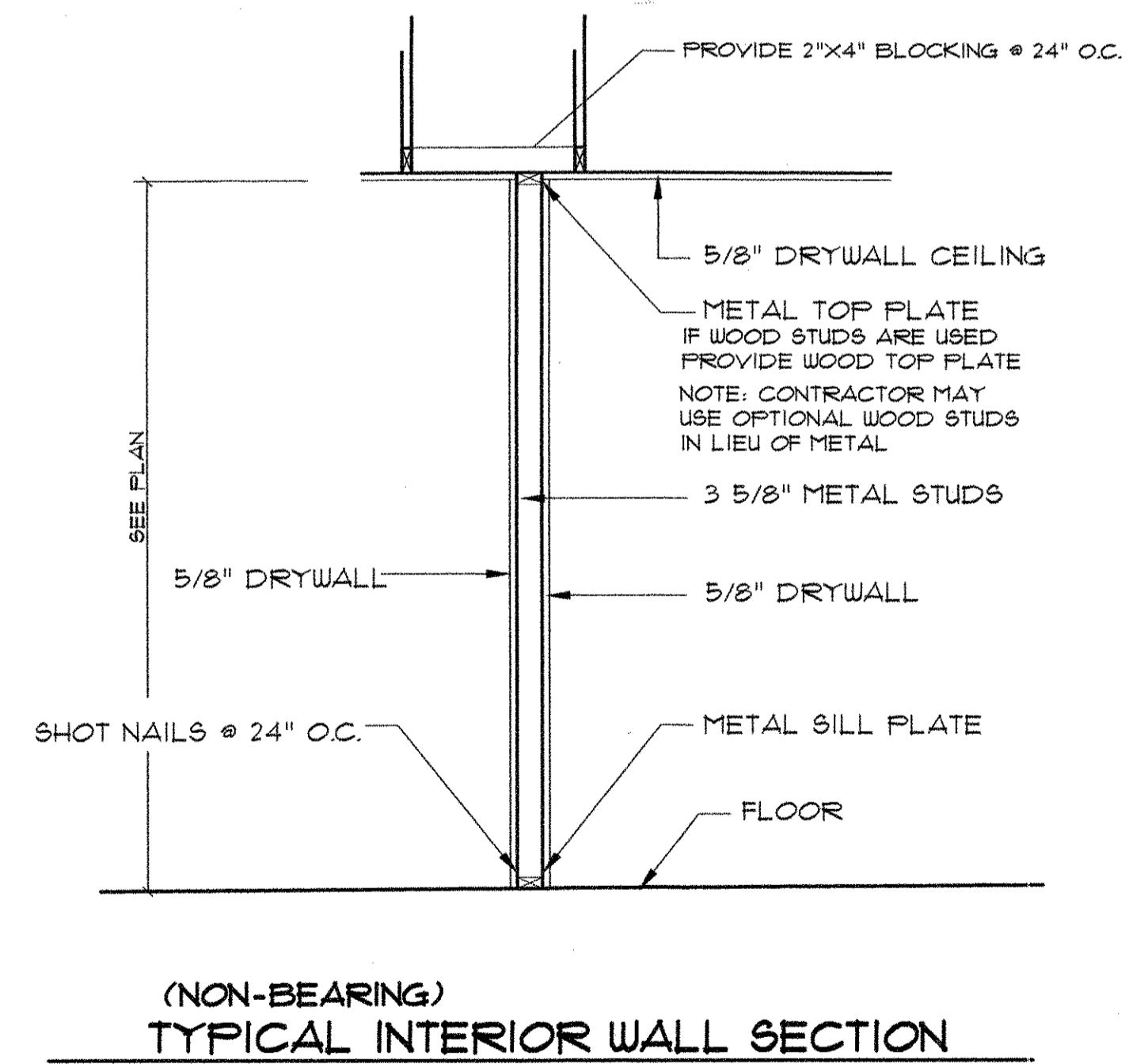
TOTAL UNITS: 19

ALL WINDOWS TO BE INSTALLED WITH GUARD OR EQUAL CASEMENT OR FIXED IMPACT RESISTANT WINDOWS
WHITE FINISH # INTERIOR AND EXTERIOR - VERIFY INSTALLATION TO BE PER MANUFACTURERS SPECIFICATIONS
CONTRACTOR TO VERIFY MASONRY OPENINGS FOR NEW STOCK SIZE WINDOWS AND PROVIDE CUSTOM SIZES IF NECESSARY. PROVIDE NEW P.T. BLOCKS PER DETAILS
SEE WINDOW JAMB HEAD AND SILL DETAILS FOR BOTH MASONRY AND WOOD FRAME CONDITIONS
EGRESS WINDOWS NOTED ON PLAN - MIN. 20" CLEAR WIDTH, 24" CLEAR HEIGHT, NET CLEAR OPENING 5'0" @ GROUND FLOOR, 5'1" @ 2ND FLOOR AND MAXIMUM WINDOW SILL 44" AFF. PER CODE. CONTRACTOR TO VERIFY EGRESS PROVIDED BY WINDOW SUPPLIER.
CONTRACTOR TO VERIFY WINDOW OPENINGS AND DIMENSIONS PRIOR TO ORDER, MASONRY AND WOOD FRAME ROUGH OPENINGS DIFFER.

DOOR SCHEDULE:				
DOOR	WIDTH/HEIGHT	TYPE	MATERIAL	NOTES
FIRST FLOOR:				
101	3'-0" x 8'-0"	SWING	CUSTOM	LOCKSET, IMPACT RATED W/ 34"x120" SIDE LIGHTS
102	2'-6" x 8'-0"	SWING	AL/GLASS	LOCKSET, IMPACT RATED
103	1'-0" x 8'-0"	SLIDING	AL/GLASS	LOCKSET, IMPACT RATED
104	1'-0" x 8'-0"	SLIDING	AL/GLASS	LOCKSET, IMPACT RATED
105	1'-0" x 8'-0"	SLIDING	AL/GLASS	LOCKSET, IMPACT RATED
106	3'-0" x 8'-0"	SWING	H. H.	20" MIN FIRE RATED - SEE PLAN
107	3'-0" x 8'-0"	SWING	S.C. WOOD	ELEVATOR 20" MIN FIRE RATED - SEE PLAN
108	3'-0" x 8'-0"	SWING	S.C. WOOD	FRIVACY
109	2'-8" x 8'-0"	SWING	S.C. WOOD	FRIVACY
SECOND FLOOR:				
201	3'-0" x 8'-0"	SWING	AL/GLASS	LOCKSET, IMPACT RATED (EGRESS)
202	3'-0" x 8'-0"	SWING	AL/GLASS	LOCKSET, IMPACT RATED (EGRESS)
203	6'-0" x 8'-0"	SLIDING	AL/GLASS	LOCKSET, IMPACT RATED (EGRESS)
204	8'-0" x 8'-0"	SLIDING	AL/GLASS	LOCKSET, IMPACT RATED (EGRESS)
205	8'-0" x 8'-0"	SLIDING	AL/GLASS	LOCKSET, IMPACT RATED (EGRESS)
206	2'-8" x 8'-0"	SWING	S.C. WOOD	FRIVACY
207	2'-8" x 8'-0"	SWING	S.C. WOOD	FRIVACY
208	2'-8" x 8'-0"	SWING	S.C. WOOD	FRIVACY
209	2'-8" x 8'-0"	SWING	S.C. WOOD	FRIVACY
210	2'-8" x 8'-0"	SWING	S.C. WOOD	FRIVACY
211	2'-8" x 8'-0"	SWING	S.C. WOOD	FRIVACY
212	2'-4" x 8'-0"	SWING	S.C. WOOD	FRIVACY
213	4'-8" x 8'-0"	SWING	S.C. WOOD	FRIVACY
214	4'-8" x 8'-0"	SWING	S.C. WOOD	FRIVACY
215	2'-8" x 8'-0"	SWING	S.C. WOOD	FRIVACY
216	2'-8" x 8'-0"	SWING	S.C. WOOD	FRIVACY
217	3'-0" x 8'-0"	SWING	S.C. WOOD	ELEVATOR 20" MIN FIRE RATED - SEE PLAN
218	3'-0" x 8'-0"	SWING	S.C. WOOD	FRIVACY
219	2'-8" x 8'-0"	SWING	S.C. WOOD	FRIVACY
220	2'-4" x 8'-0"	SWING	S.C. WOOD	FRIVACY
221	2'-4" x 8'-0"	SWING	S.C. WOOD	FRIVACY
222	2'-6" x 8'-0"	SWING	S.C. WOOD	ROCKET DOOR HARDWARE
THIRD FLOOR:				
301	2'-6" x 6'-8"	SWING	AL/GLASS	LOCKSET, IMPACT RATED
302	3'-0" x 6'-8"	SWING	H.M.	LOCKSET, WEATHER STRIPPING, ELEVATOR DOOR 20" MIN FIRE RATED

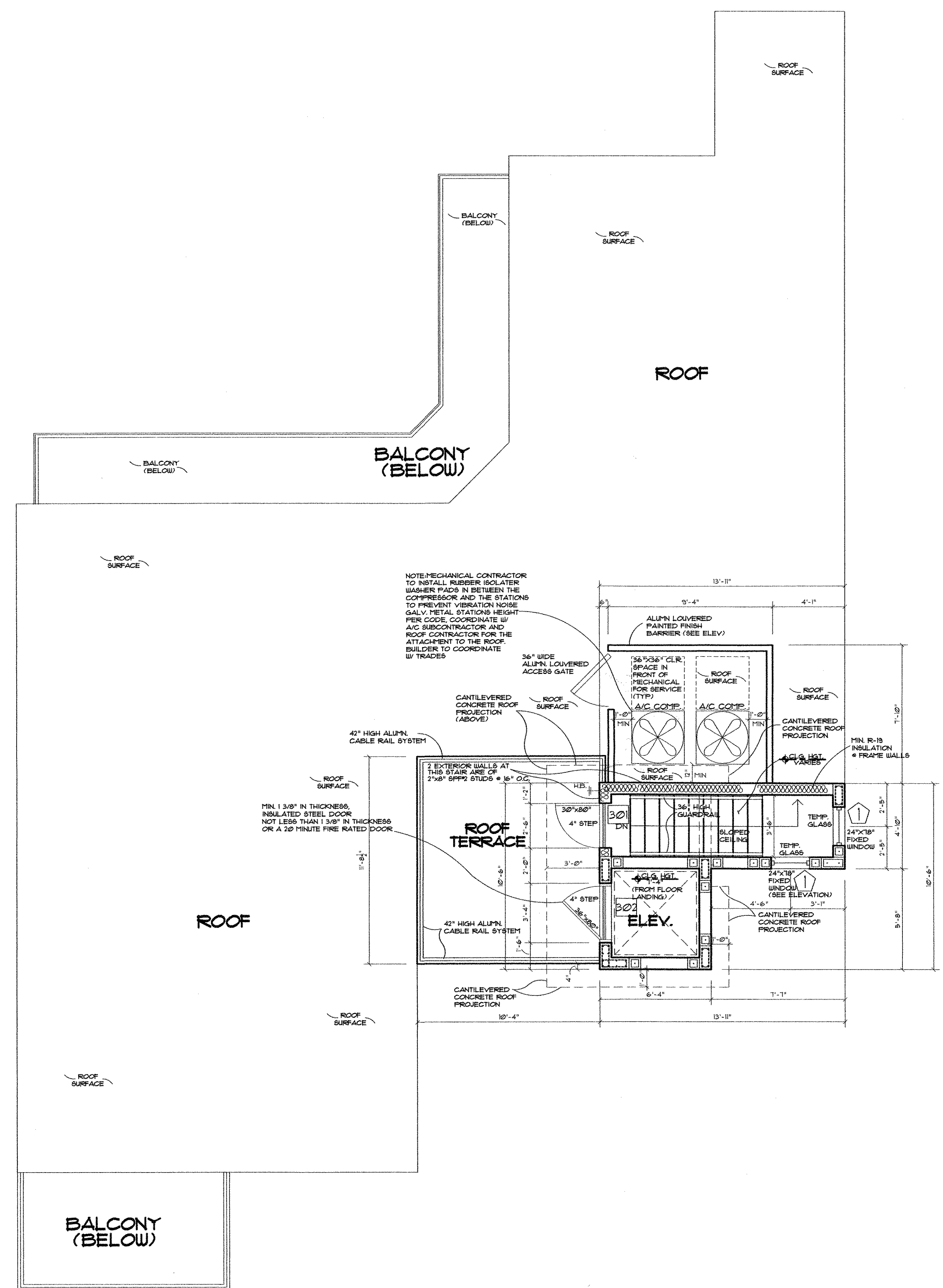
NOTES:
HARDWARE TO BE SELECTED BY THE OWNER, INSTALLED BY THE CONTRACTOR.
FRENCH DOORS TO BE CGI, WHITE ALUMINUM. MASONRY OPENINGS ASSUME IX BUCK.
PROVIDE DADE COUNTY TESTED AND APPROVED IMPACT GLAZING AT ALL EXTERIOR DOORS.
CONTRACTOR TO PROVIDE NOA PRODUCT APPROVAL FOR PERMITTING AS REQUIRED.
NO DOOR TRIM (TYPICAL) - VERIFY.
PROVIDE ENGINEERED 2 PANEL PAINTGRADE 1 3/8" SOLID CORE DOORS AT NEW INTERIOR LOCATIONS UNLESS NOTED OTHERWISE.
PROVIDE SOLID CORE, SLIDING DOOR SUBMITTALS FOR OWNER, ARCHITECT APPROVAL.
CONTRACTOR TO VERIFY ALL ROUGH OPENINGS PRIOR TO CONSTRUCTION, AND DOOR ORDERING.

NOTE: BUILDER TO VERIFY WINDOW AND DOOR SCHEDULE INFORMATION WITH FLOOR PLAN AND EXTERIOR ELEVATION INFORMATION. BUILDER TO VERIFY ALL SIZES PRIOR TO ORDERING WINDOWS AND DOORS



2ND FLOOR PLAN
SCALE 1/4"=1'-0"

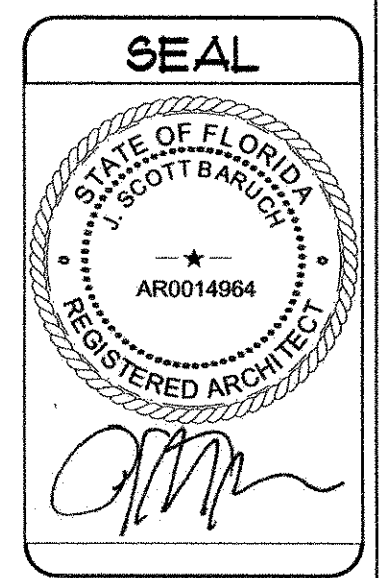
REVISIONS	Item #2.
04-16-24	FRONT WINDOW 4'-11" x 6'-0"
05-14-24	POOL ADDED
06-26-24	REVISIONS
07-11-24	REVISIONS
08-11-24	REVISIONS



UPPER FLOOR PLAN

SCALE 1/4"=1'-0"

A NEW RESIDENCE @
451 NEPTUNE RD,
JUNO BEACH, FLORIDA 33408



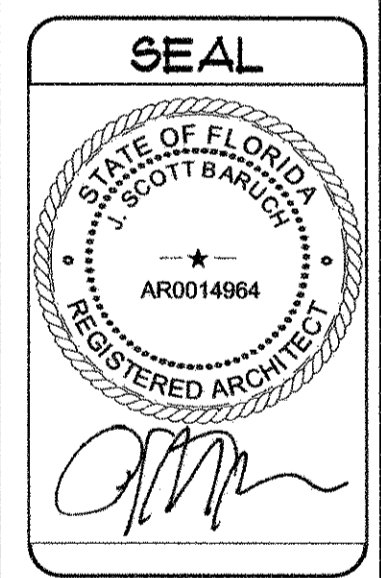
J. SCOTT BARUCH
& ASSOCIATES
18360 SE LAKESIDE DR.
JUPITER, FLORIDA
AR-0014864

DRAWN	G.R.G.
CHECKED	J.S.B.
DATE	04-09-24
SCALE	AS SHOWN
JOB NO.	

4 = 4

REVISIONS	Item #2
04-16-24	FRONT WINDOW & 17' SCD
05-14-24	POOL ADDED
06-26-24	REVISIONS
07-17-24	REVISIONS
08-11-24	REVISIONS

A NEW RESIDENCE @
451 NEPTUNE RD,
JUNO BEACH, FLORIDA 33408

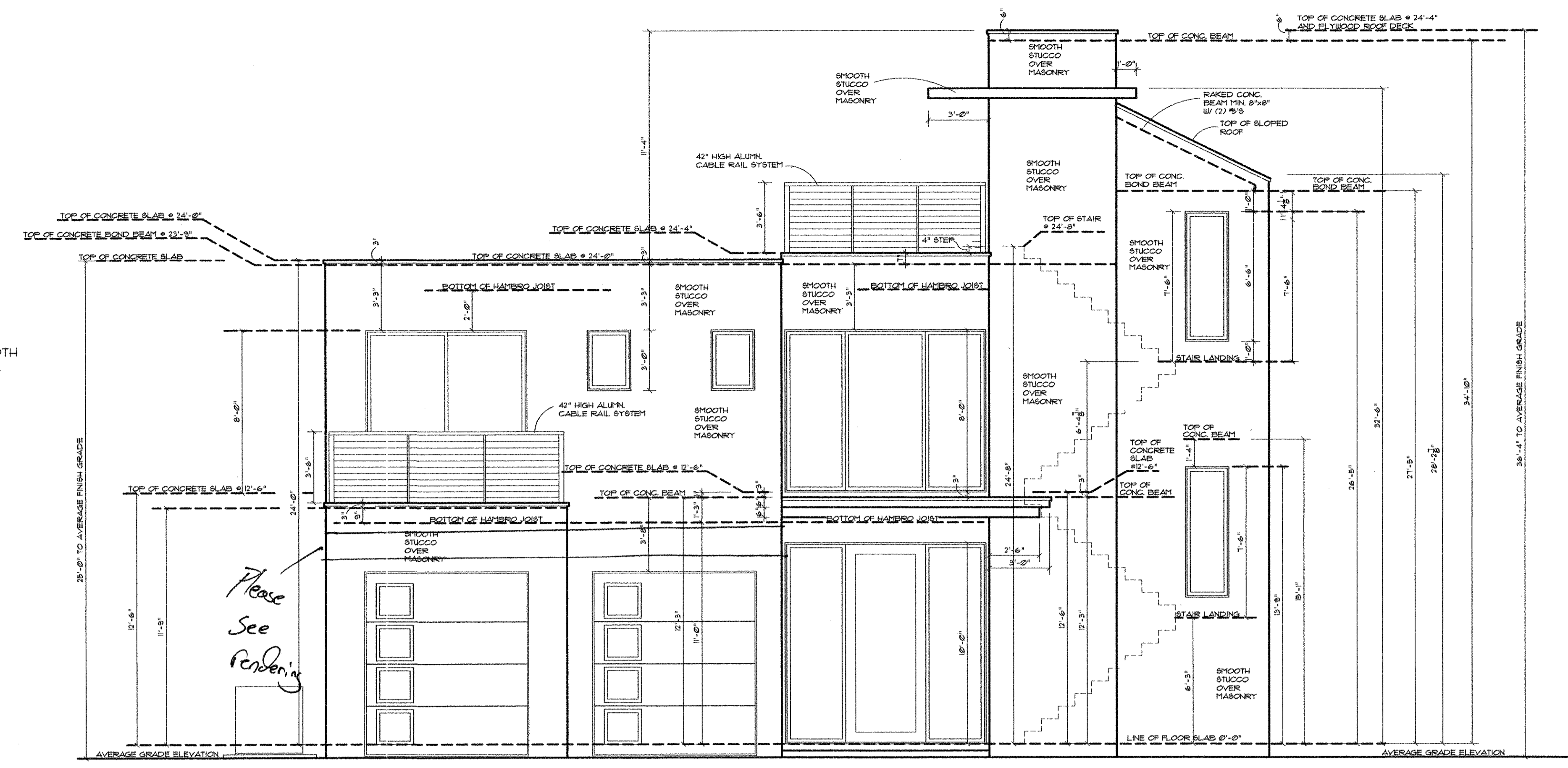


J. SCOTT BARUCH
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18360 SE LAKESIDE DR.
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AR-0014864

DRAWN	GRG
CHECKED	J.S.B.
DATE	04-09-24
SCALE	AS SHOWN
JOB NO.	

SHEET
A-5

NOTE: PROVIDE ALUMN. GUTTERS ON BOTH SIDES OF THE ROOF WITH DOWN SPOUTS. BUILDER TO COORDINATE ON SITE FOR LOCATIONS OF DOWN SPOUTS.

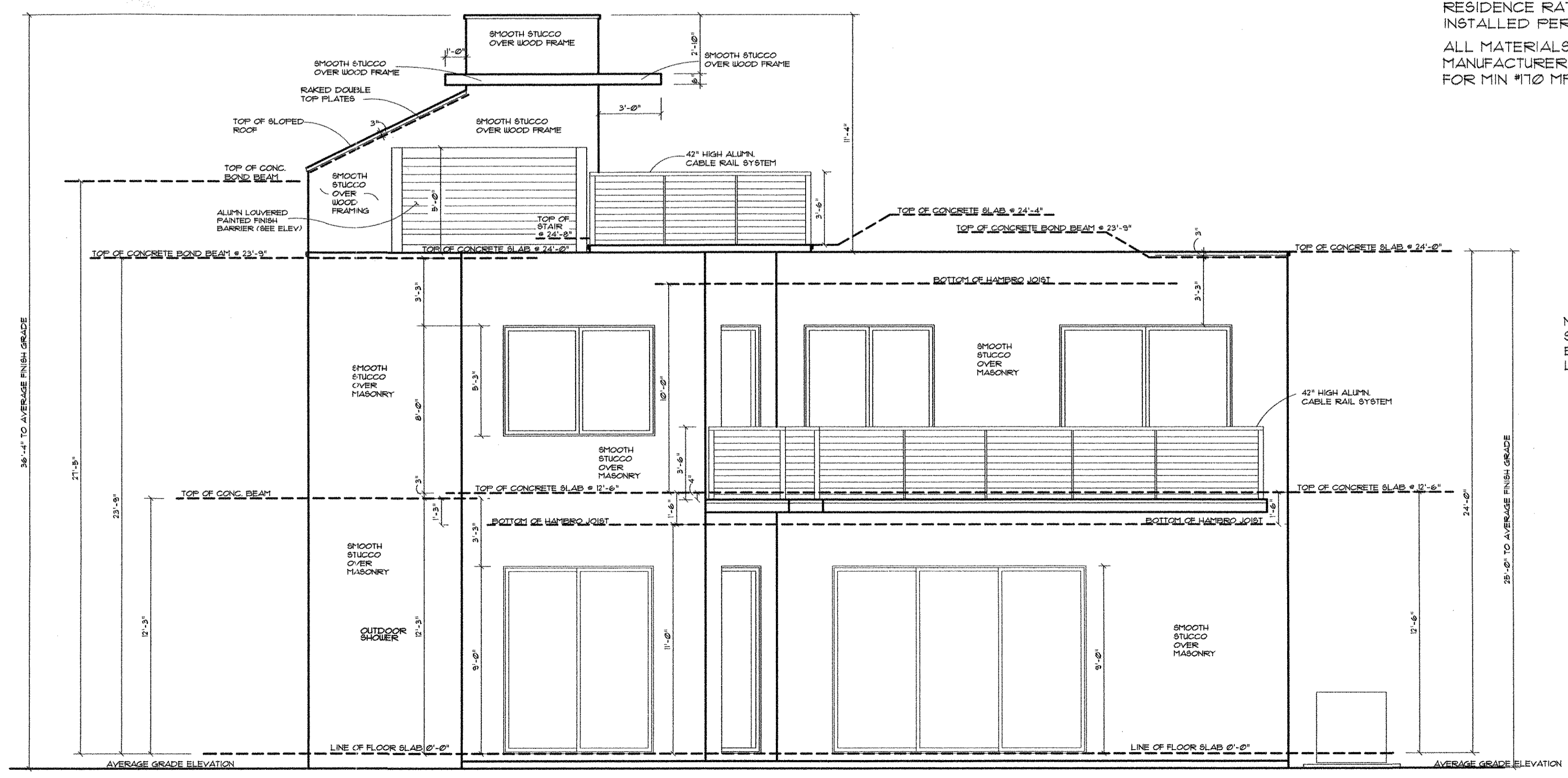


FRONT ELEVATION
SCALE 1/4"=1'-0"
FINISH FLOOR 30.5'
AVERAGE GRADE 29.5'

NOTE: USE HURRICANE RATED WINDOWS FOR THIS RESIDENCE RATED FOR MIN. #110 MPH WIND SPEED INSTALLED PER THEIR APPROVED N.O.A.

ALL MATERIALS INSTALLED PER THEIR MANUFACTURER INSTALLATION SPECIFICATIONS FOR MIN #110 MPH WIND SPEED.

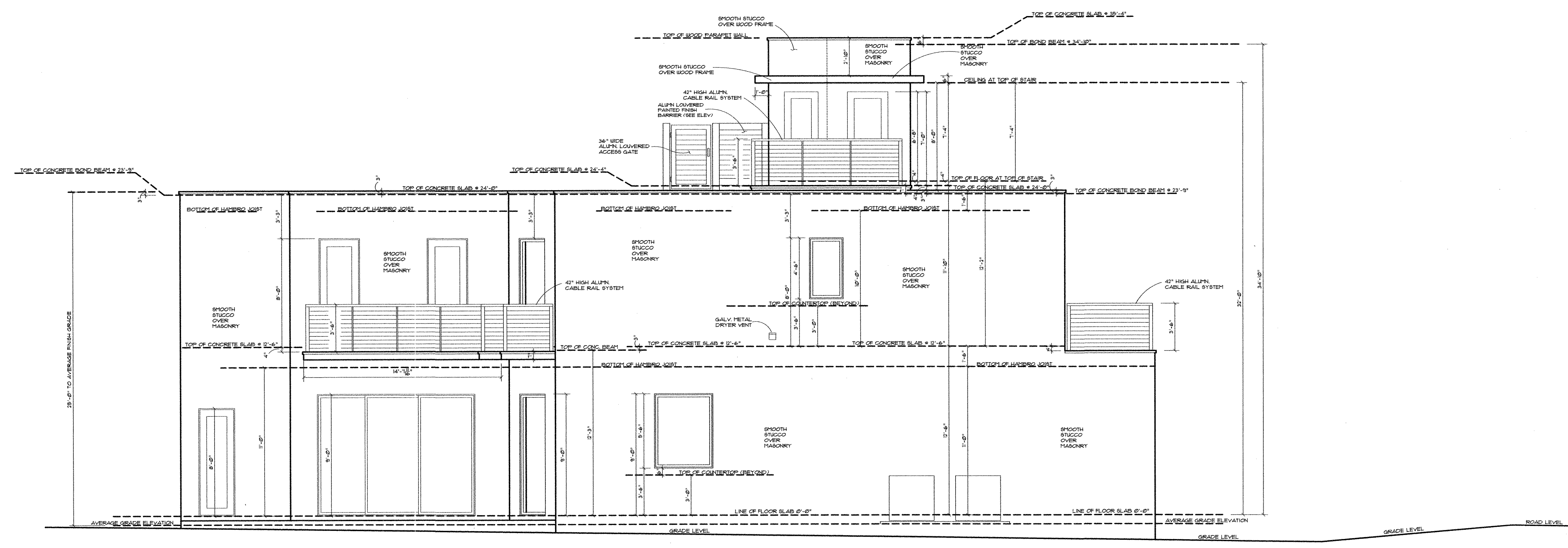
NOTE: PROVIDE ALUMN. GUTTERS ON BOTH SIDES OF THE ROOF WITH DOWN SPOUTS. BUILDER TO COORDINATE ON SITE FOR LOCATIONS OF DOWN SPOUTS.



REAR ELEVATION
SCALE 1/4"=1'-0"
FINISH FLOOR 30.5'
AVERAGE GRADE 29.5'

REVISIONS	
04-16-24	FRONT WINDOW 4' 17" 5/8"
05-14-24	POOL ADDED
06-26-24	REVISIONS
07-17-24	REVISIONS
09-11-24	REVISIONS

A NEW RESIDENCE @
 451 NEPTUNE RD,
 JUNO BEACH, FLORIDA 33408

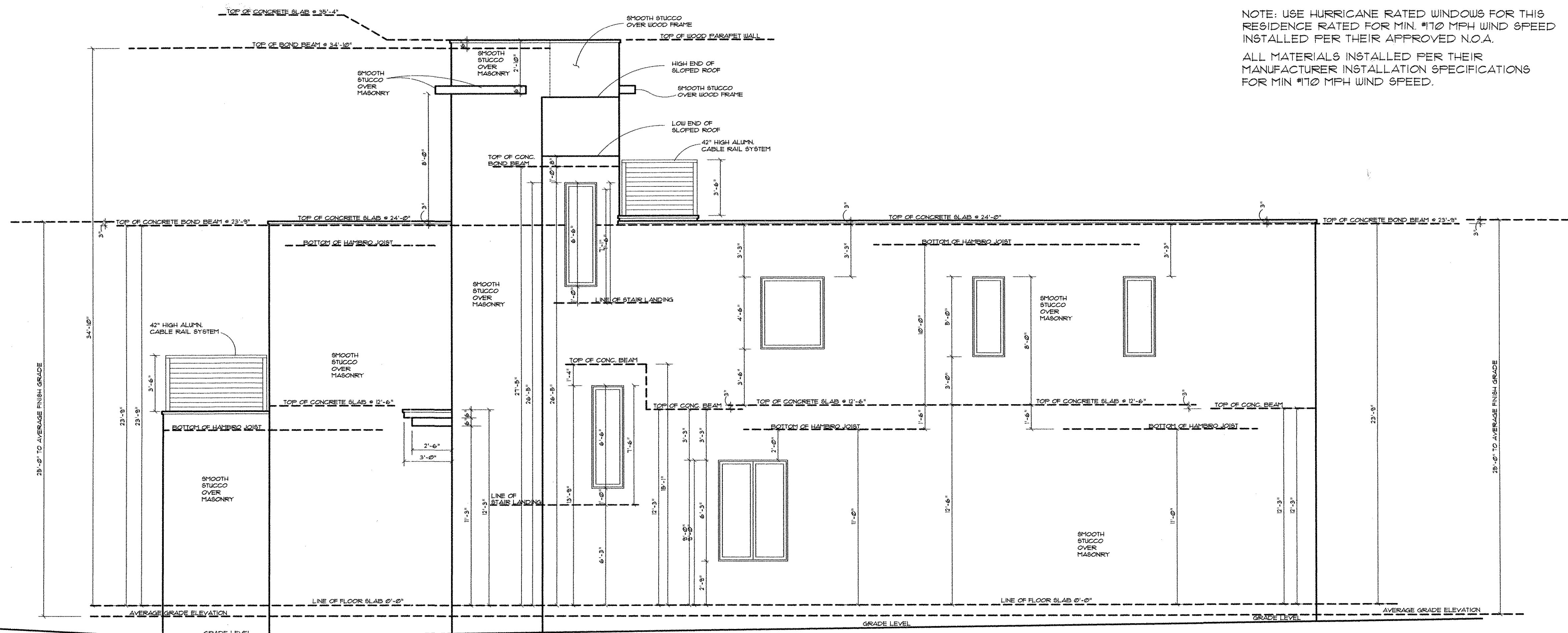


FINISH FLOOR 30.5'
 AVERAGE GRADE 29.5'

LEFT ELEVATION

SCALE 1/4"=1'-0"

NOTE: PROVIDE ALUMN. GUTTERS ON BOTH SIDES OF THE ROOF WITH DOWN SPOUTS. BUILDER TO COORDINATE ON SITE FOR LOCATIONS OF DOWN SPOUTS.



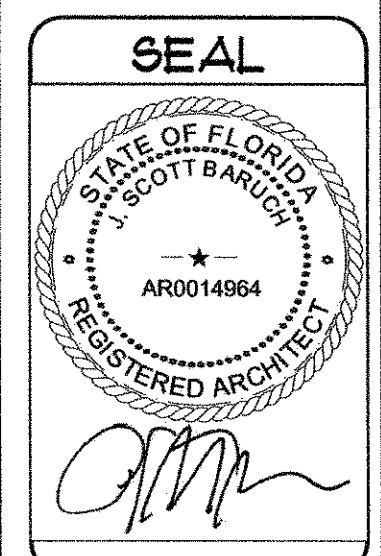
FINISH FLOOR 30.5'
 AVERAGE GRADE 29.5'

RIGHT ELEVATION

SCALE 1/4"=1'-0"

NOTE: PROVIDE ALUMN. GUTTERS ON BOTH SIDES OF THE ROOF WITH DOWN SPOUTS. BUILDER TO COORDINATE ON SITE FOR LOCATIONS OF DOWN SPOUTS.

NOTE: USE HURRICANE RATED WINDOWS FOR THIS RESIDENCE RATED FOR MIN. #170 MPH WIND SPEED INSTALLED PER THEIR APPROVED N.O.A.
 ALL MATERIALS INSTALLED PER THEIR MANUFACTURER INSTALLATION SPECIFICATIONS FOR MIN #170 MPH WIND SPEED.



J. SCOTT BARUCH
 & ASSOCIATES
 18360 SE LAKEVIEW DR
 JUPITER, FLORIDA
 AR-0014864

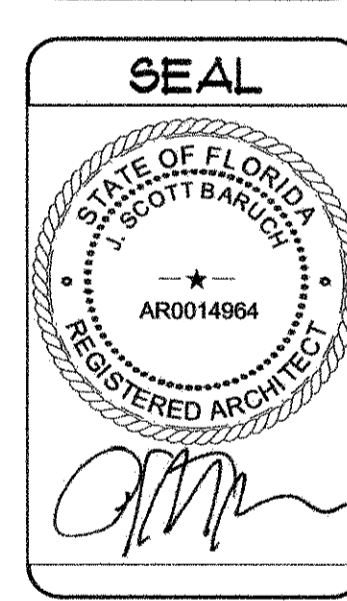
DRAWN	GRG
CHECKED	
J.S.B.	
DATE	04-09-24
SCALE	AS SHOWN
JOB NO.	

SHEET

A-6

04-16-24	FRONT WINDOW 4 1/2" SGD
05-14-24	POOL ADDED
06-26-24	REVISIONS
07-11-24	REVISIONS
09-11-24	REVISIONS

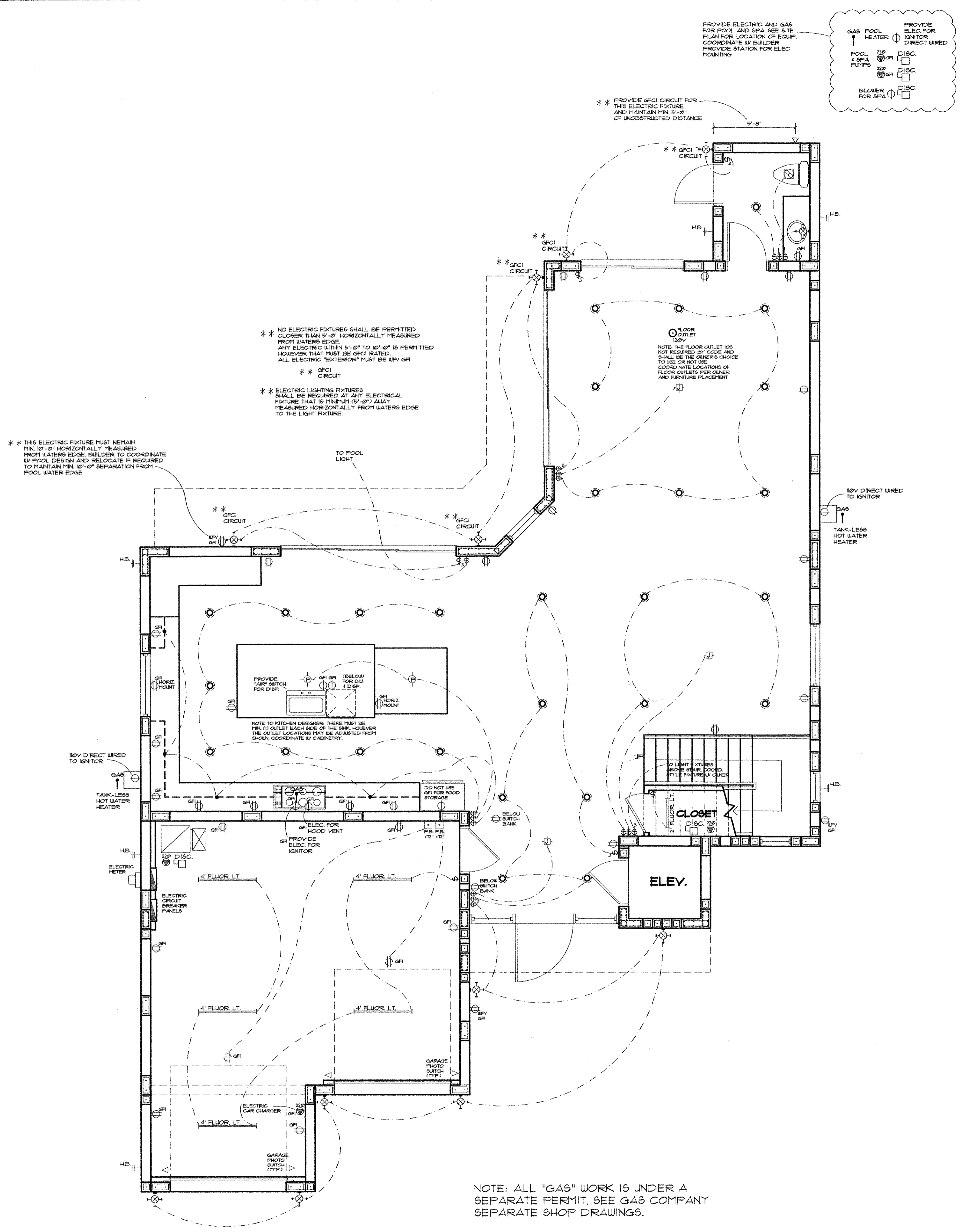
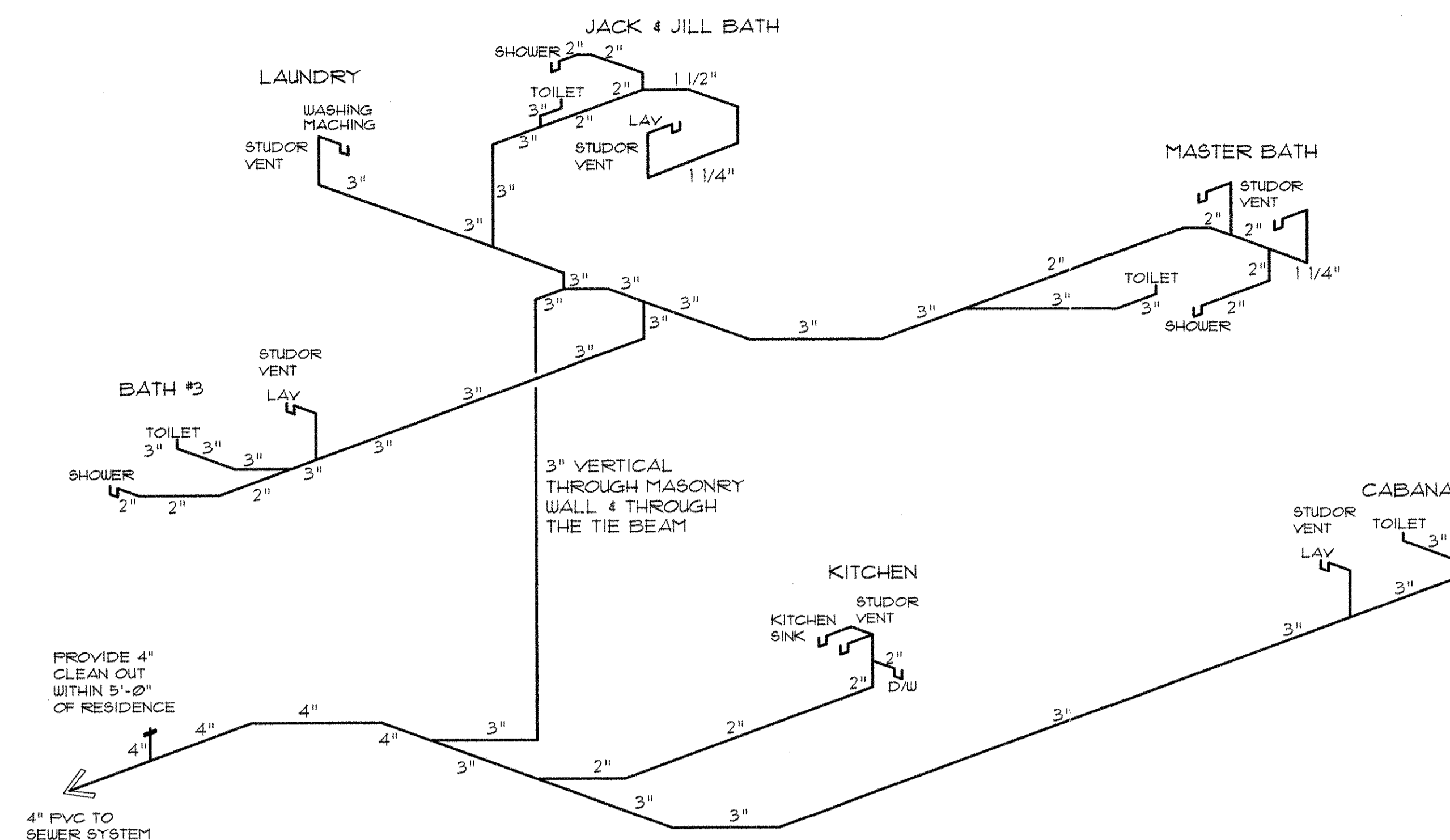
A NEW RESIDENCE @
451 NEPTUNE RD,
JUNO BEACH, FLORIDA 33408



J. SCOTT BARUCH
& ASSOCIATES
18360 SE LAKESIDE DR.
JUPITER, FLORIDA
AR-0014964

DRAWN	G.R.G.
CHECKED	J.S.B.
DATE	04-09-24
SCALE	AS SHOWN
JOB NO.	

SHEET
1 - 1



ELECTRIC NOTE:

ELECTRICAL CONTRACTOR TO PROVIDE AFCI CIRCUIT BREAKERS FOR ALL CIRCUITS PER N.E.C. 210.12(B)

ALL RECEPTACLES ARE REQUIRED TO BE TAMPER RESISTANT PER N.E.C. 406.11

ELECTRICAL CONTRACTOR TO VERIFY ALL ELECTRIC LOADS, IF ANY ADJUSTMENTS NEED TO BE MADE A NEW PLAN WOULD BE SUBMITTED PRIOR TO THE C.O.

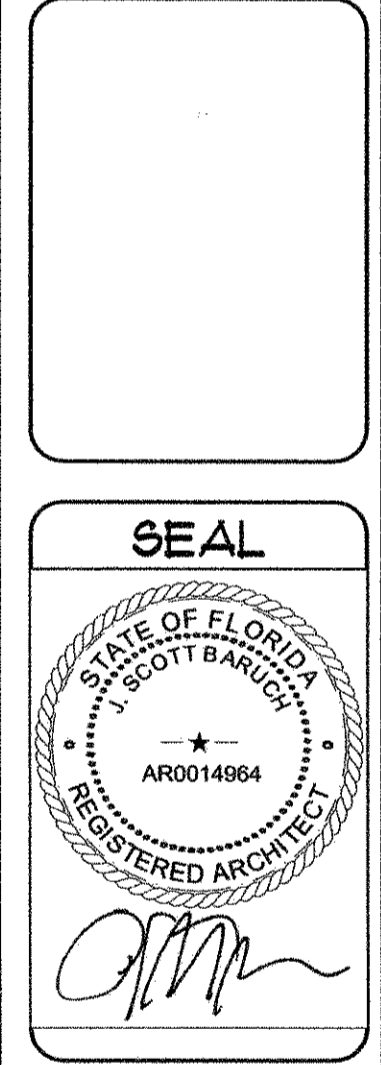
ALL SMOKE ALARMS OUTSIDE OF SLEEPING ROOMS TO HAVE CARBON MONOXIDE DETECTORS AS WELL AS SMOKE ALARM.

PROVIDE SMOKE ALARM WITHIN 10' FEET OF THE OUTSIDE OF ALL SLEEPING ROOMS. ALL TO BE INTERCONNECTED.

NOTE: ELECTRICAL CONTRACTOR MAY ADJUST ANY LIGHTING POSITIONING FROM SHOWN. ADJUST IN FIELD AS REQUIRED. ALL FINAL WORK TO COMPLY WITH CODE FOR OUTLET SPACING ETC. COORDINATE ANY CHANGES W/ ELECTRICAL CONTRACTOR AT TIME OF COMPLETION AN AS BUILT DRAWING WOULD BE PROVIDED TO THE BUILDING INSPECTOR.

REVISIONS	Item #2
04-16-24	FRONT WINDOW 12' WxD
05-14-24	POOL ADDED
06-26-24	REVISIONS
07-17-24	REVISIONS
08-11-24	REVISIONS

A NEW RESIDENCE @
451 NEPTUNE RD,
JUNO BEACH, FLORIDA 33408



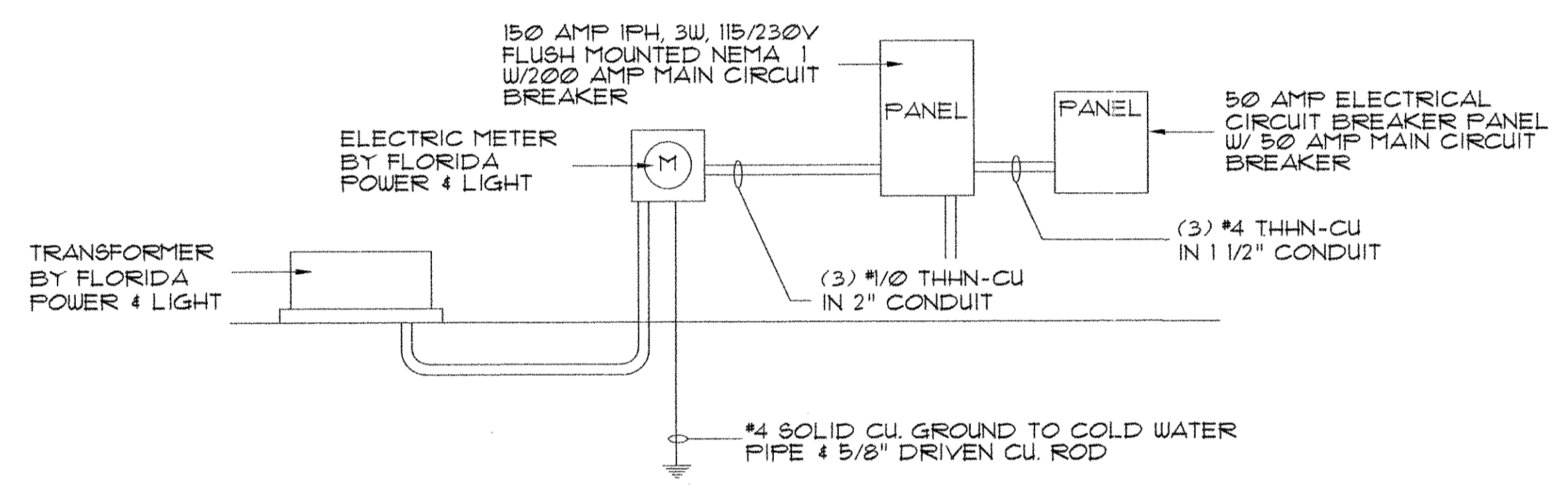
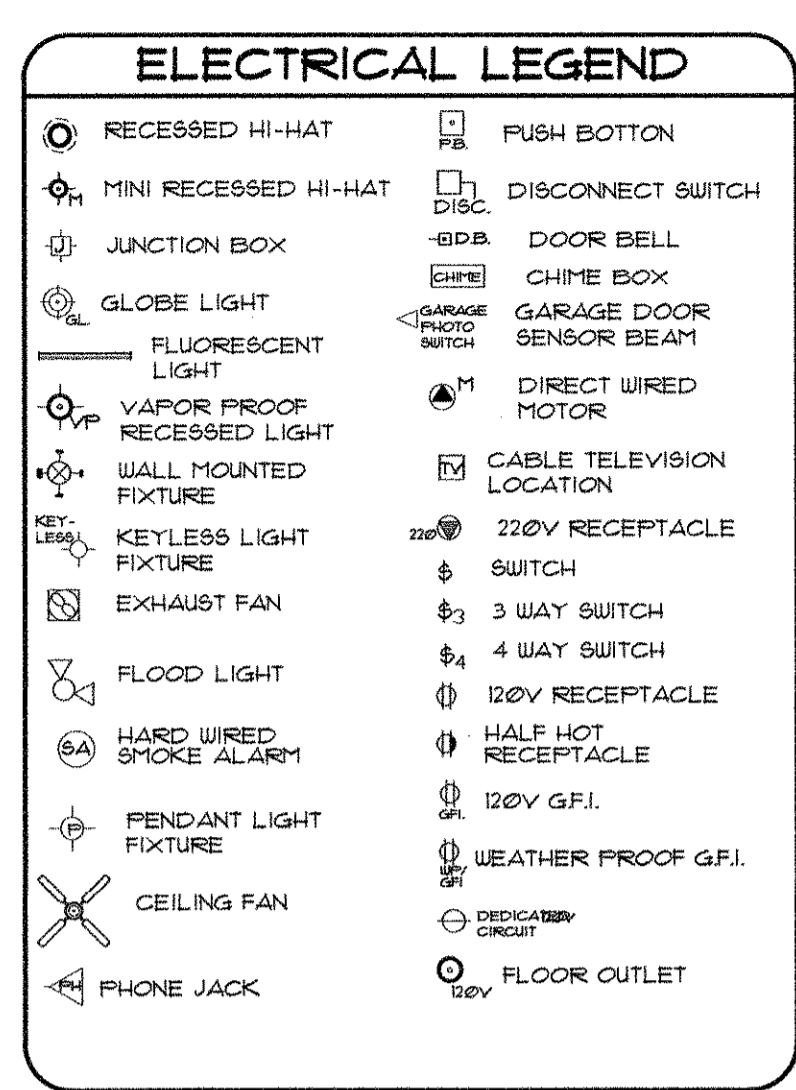
J. SCOTT BARUCH
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AR-0014864

DRAWN	GRG
CHECKED	J.S.B.
DATE	04-09-24
SCALE	AS SHOWN
JOB NO.	
SHEET	

III - 2

GENERAL ELECTRICAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH BOTH LOCAL AND NATIONAL ELECTRICAL CODES.
- ELECTRICAL CONTRACTOR SHALL VERIFY ELECTRICAL PLAN, RISER DIAGRAM, AND LOADS, AND NOTIFY THE GENERAL CONTRACTOR OF ANY ERRORS OR DISCREPANCIES PRIOR TO INSTALLATION.
- ALL EQUIPMENT INSTALLED OUTSIDE OR EXPOSED TO WEATHER SHALL BE NEMA TYPE 3R.
- MINIMUM WIRE SIZE SHALL BE #14 COPPER.
- ALL CONDUCTORS ARE TO BE COPPER, TYPE THW, UNLESS OTHERWISE NOTED.
- CONNECT GROUNDING ELECTRODE CONDUCTOR TO GROUND ROD AND NEAREST COPPER WATER LINE (GOLD) & BUILDING STEEL.
- ALL 120V, 1 PHASE 15A AND 20A, BATHROOM, GARAGE, KITCHEN, LAUNDRY & EXTERIOR RECEPTACLES SHALL HAVE GROUND FAULT INTERRUPTER (GFI.) PROTECTION WITH EXTERIOR RECEPTACLES OF THE WATERPROOF TYPE. ELECTRICAL CONTRACTOR MAY INSTALL INDIVIDUAL (GFI.) IN LIEU OF (GFI.) BREAKER WITH SEPARATE CIRCUIT.
- SWITCHES SHALL BE ROCKER TYPE (UNLESS OTHERWISE NOTED).
- RECEPTACLES SHALL BE 15A AND 120V, OF THE GROUND TYPE 16" AFF. UNLESS OTHERWISE SPECIFIED.
- THE ELECTRICAL CONTRACTOR IS TO SIZE MOST BRANCH CIRCUITS: A MAXIMUM VOLTAGE DROP OF 3% IS PERMITTED.
- THE ELECTRICAL CONTRACTOR IS TO ARRANGE FOR TELEPHONE SERVICE AND TELEPHONE WIRING COORDINATE WITH THE TELEPHONE COMPANY UNLESS OTHERWISE SPECIFIED.
- BRANCH CIRCUITS SHALL BE IN THIN WALL CONDUIT OR APPROVED ROPLEX.
- LIGHTING FIXTURES SHALL BE SELECTED BY THE BUILDER.
- SMOKE ALARMS SHALL BE DIRECT WIRE 120V, UL 211 APPROVED TYPE WITH AUDIBLE ALARM INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND LISTING.
- ALL DEVICES SHALL BE SMOOTH TYPE, (WHITE), UNLESS OTHERWISE SPECIFIED (VERIFY).
- ALL MECHANICAL EQUIPMENT SHALL BE PROTECTED BY OVERCURRENT DEVICES OF TYPE AND RATING PER MANUFACTURER NAMEPLATE SPECIFICATIONS.
- THE ELECTRICAL CONTRACTOR IS TO COORDINATE WITH OTHER TRADES TO MAKE CERTAIN THAT ALL AIR-CONDITIONING POWER AND CONTROL WIRING AND CONDUITS ARE IN THE BID.
- EXHAUST FANS IN BATHROOMS (IF USED) SHALL BE RATED AT 1 CFM/SF OF VENTILATED FLOOR AREA.
- ALL FAN VENTING AND ROOF PENETRATIONS SHALL BE BY MECHANICAL CONTRACTOR.
- ELECTRICAL CONTRACTOR IS TO COORDINATE ALL SERVICE REQUIREMENTS WITH THE POWER COMPANY BEFORE BIDDING TO BE CERTAIN THAT ALL WORK NECESSARY TO MEET POWER COMPANY SPECIFICATIONS IS IN THE BID.
- VERIFY REQUIRED CLEARANCES BETWEEN EQUIPMENT / LIGHT FIXTURES WITH ANY OTHER ITEMS AND / OR MATERIALS SUCH AS BUT NOT LIMITED TO PLUMBING FIXTURES, INSULATION, ETC. PRIOR TO INSTALLATION, ADJUST AS REQUIRED.
- ALL MATERIALS TO BE NEW AND UL APPROVED.
- VERIFY ELECTRICAL REQUIREMENTS OF EQUIPMENT TO BE INSTALLED AND ADJUST WIRE SIZE, BREAKER SIZE, ETC. AS REQUIRED PRIOR TO INSTALLATION.
- ALL 15V 15A & 20A BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN KITCHEN, UNIT KITCHENS, FAMILY ROOM, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS TO BE PROTECTED BY ARC FAULT AS PER 210.12 (A) 12.3.4.5.6



ELECTRICAL RISER DIAGRAM
N.T.S.

ELECTRIC LOAD CALCULATION

CIRCUIT SPACES	USE	POLE & BREAKER	LOAD	WIRE SIZE
16 REQ'D.	3234 GENERAL LIGHTING (GF. @ 3W/SF.)	1P/15A	9.7 KW	#14
2 REQ'D.	SMALL APPLIANCES (2 @ 15 EA.)	1P/20A	3.0 KW	#12
1 REQ'D.	DISPOSAL	1P/20A	1.2 KW	#12
1 REQ'D.	"GAS" OVEN "IGNITOR"	2P/15A	.7 KW	#14
1 REQ'D.	REFRIGERATOR	1P/20A	1.2 KW	#12
2 REQ'D.	"GAS" WATER HEATER "IGNITOR"	1P/15A	.7 KW	#14
1 REQ'D.	"GAS" POOL HEATER "IGNITOR"	1P/15A	.7 KW	#14
2 REQ'D.	"GAS" DRYER "IGNITOR"	1P/15A	.7 KW	#14
1 REQ'D.	SMOKE ALARMS	1P/15A	.7 KW	#14
1 REQ'D.	WASHER	1P/20A	1.5 KW	#12
1 REQ'D.	LAUNDRY ROOM CIRCUIT	1P/20A	1.5 KW	#12
2 REQ'D.	GARAGE DOOR OPENERS (2 @ 9 KW EACH)	1P/15A	1.8 KW	#14
1 REQ'D.	MICROWAVE	1P/20A	1.2 KW	#12
1 REQ'D.	SECURITY ALARM TRANSFORMER	1P/15A	.7 KW	#14
1 REQ'D.	HOOD VENT	1P/20A	2.0 KW	#12
1 REQ'D.	CENTRAL VACUUM (OPTIONAL)	1P/20A	1.2 KW	#12
2 REQ'D.	POOL PUMP	1P/30A	2.1 KW	#10
TOTAL LOAD (WITHOUT HVAC)			49.2 KW	
FIRST 10.0 KW @ 100 %			10.0 KW	
REMAINING @ 40 %			15.7 KW	
4 REQ'D.	AHU FANS	2P/60A		#6
4 REQ'D.	A/C HEAT STRIP	2P/60A		#6
(2) 10.0 KW EACH, HVAC STRIPS @ 100 %			20.0 KW	
TOTAL K.W.			45.7 KW	
45.7 KW / 240 = 190 AMP				
SAT MIN 200 AMP CIRCUIT BREAKER PANEL				

ELECTRIC NOTE:

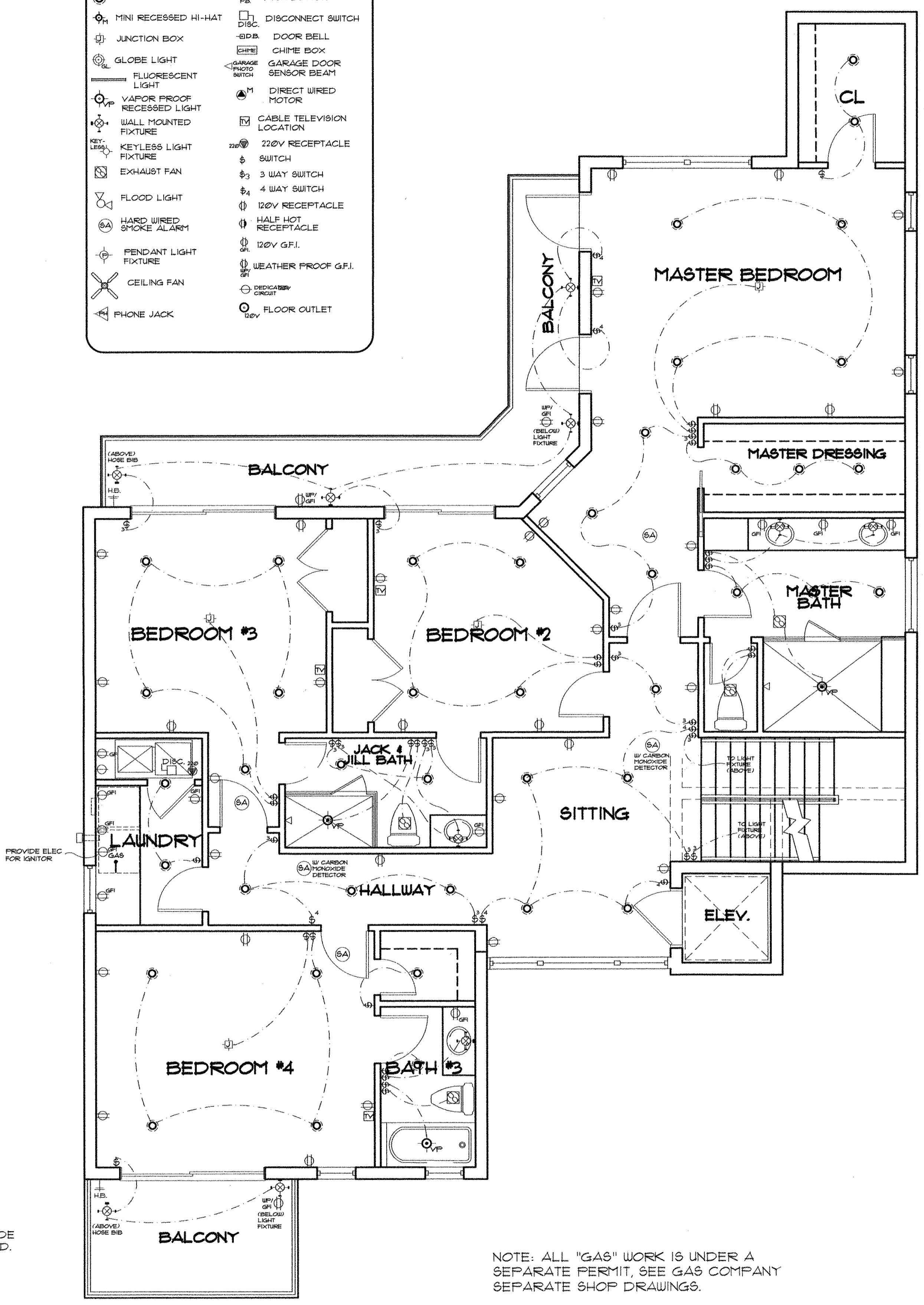
ELECTRICAL CONTRACTOR TO PROVIDE AFCI CIRCUIT BREAKERS FOR ALL CIRCUITS PER N.E.C. 210.12(B)

ALL RECEPTACLES ARE REQUIRED TO BE TAMPER RESISTANT PER N.E.C. 406.11

ELECTRICAL CONTRACTOR TO VERIFY ALL ELECTRIC LOADS, IF ANY ADJUSTMENTS NEED TO BE MADE A NEW PLAN WOULD BE SUBMITTED PRIOR TO THE C.O.

ALL SMOKE ALARMS OUTSIDE OF SLEEPING ROOMS TO HAVE CARBON MONOXIDE DETECTORS AS WELL AS SMOKE ALARM. PROVIDE SMOKE ALARM WITHIN 10' FEET OF THE OUTSIDE OF ALL SLEEPING ROOMS. ALL TO BE INTERCONNECTED.

NOTE: ELECTRICAL CONTRACTOR MAY ADJUST ANY LIGHTING POSITIONING FROM SHOWN, ADJUST IN FIELD AS REQUIRED. ALL FINAL WORK TO COMPLY WITH CODE FOR OUTLET SPACING ETC. COORDINATE ANY CHANGES W/ ELECTRICAL CONTRACTOR AT TIME OF COMPLETION AN AS BUILT DRAWING WOULD BE PROVIDED TO THE BUILDING INSPECTOR.



NOTE: ALL "GAS" WORK IS UNDER A SEPARATE PERMIT, SEE GAS COMPANY SEPARATE SHOP DRAWINGS.

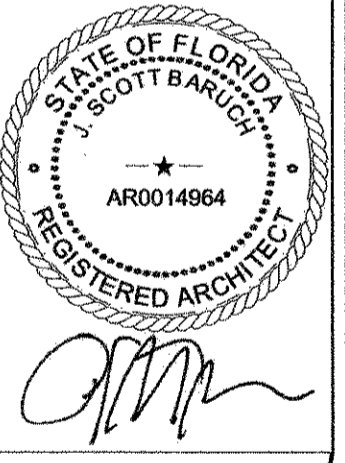
2ND FLOOR ELECTRIC PLAN
SCALE 1/4"=1'-0"

REVISIONS

- 04-16-24 FRONT WINDOW 4 12' SGD
- 05-14-24 POOL ADDED
- 06-26-24 REVISIONS
- 07-17-24 REVISIONS
- 09-11-24 REVISIONS

A NEW RESIDENCE @
 451 NEPTUNE RD,
 JUNO BEACH, FLORIDA 33408

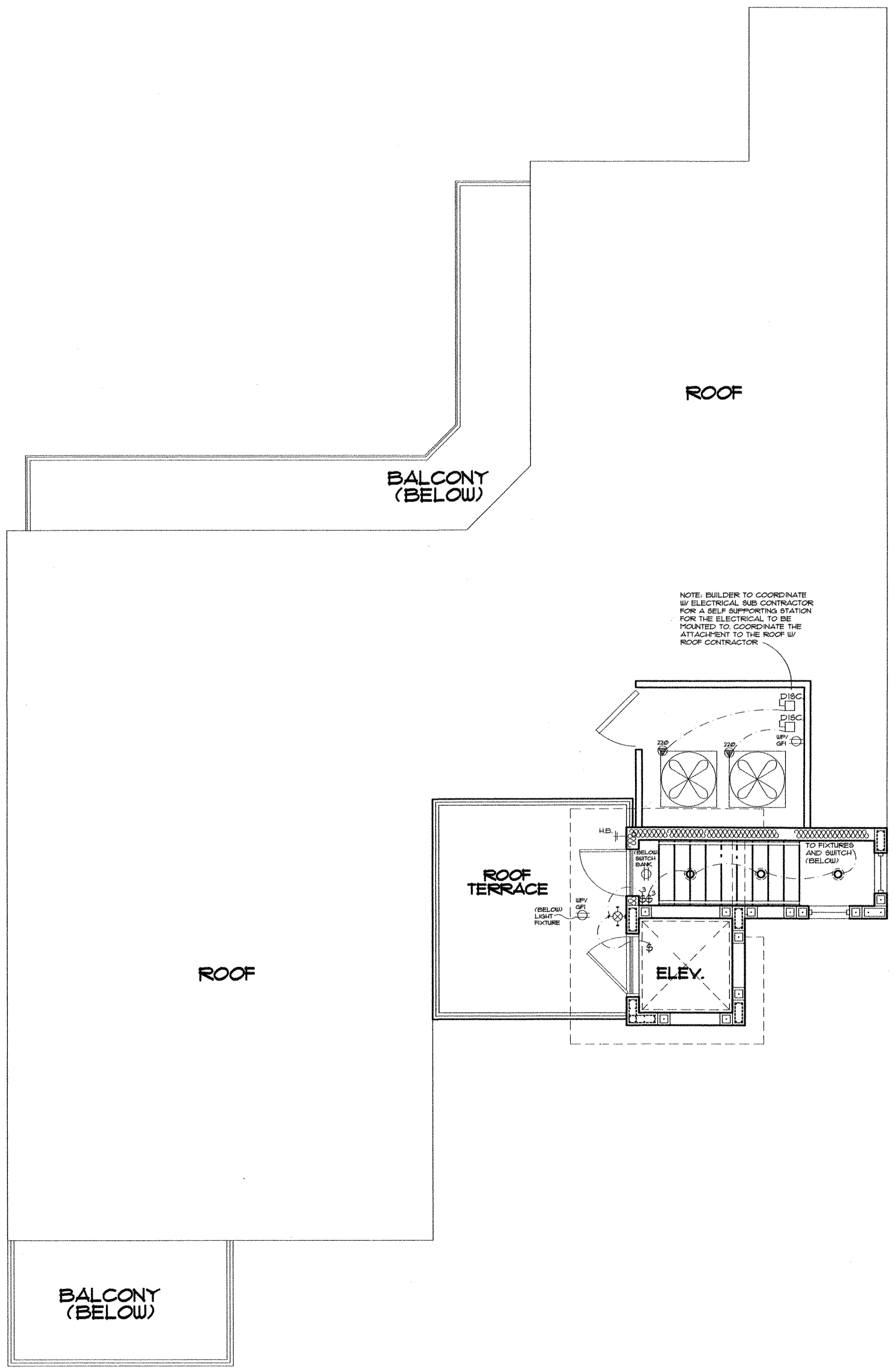
SEAL



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 & ASSOCIATES
 18360 SE LAKESIDE DR
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 AR-0014964

DRAWN
 G.R.G.
 CHECKED
 J.S.B.
 DATE
 04-09-24
 SCALE
 AS SHOWN
 JOB NO.

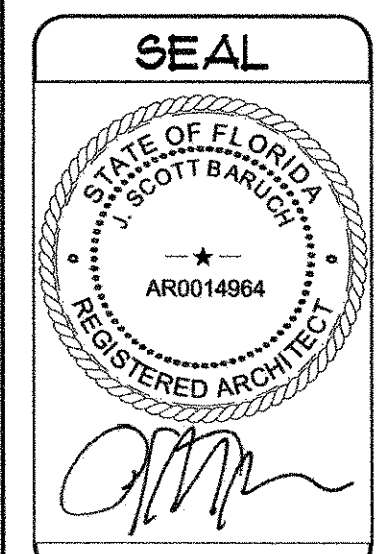
SHEET
 III - 3



UPPER FLOOR ELECTRIC PLAN
 SCALE 1/4" = 1'-0"

REVISIONS	Item #2
04-16-24	FRONT WINDOW 4 1/2" S&D
08-14-24	POOL ADDED
06-26-24	REVISIONS
01-17-24	REVISIONS
09-11-24	REVISIONS

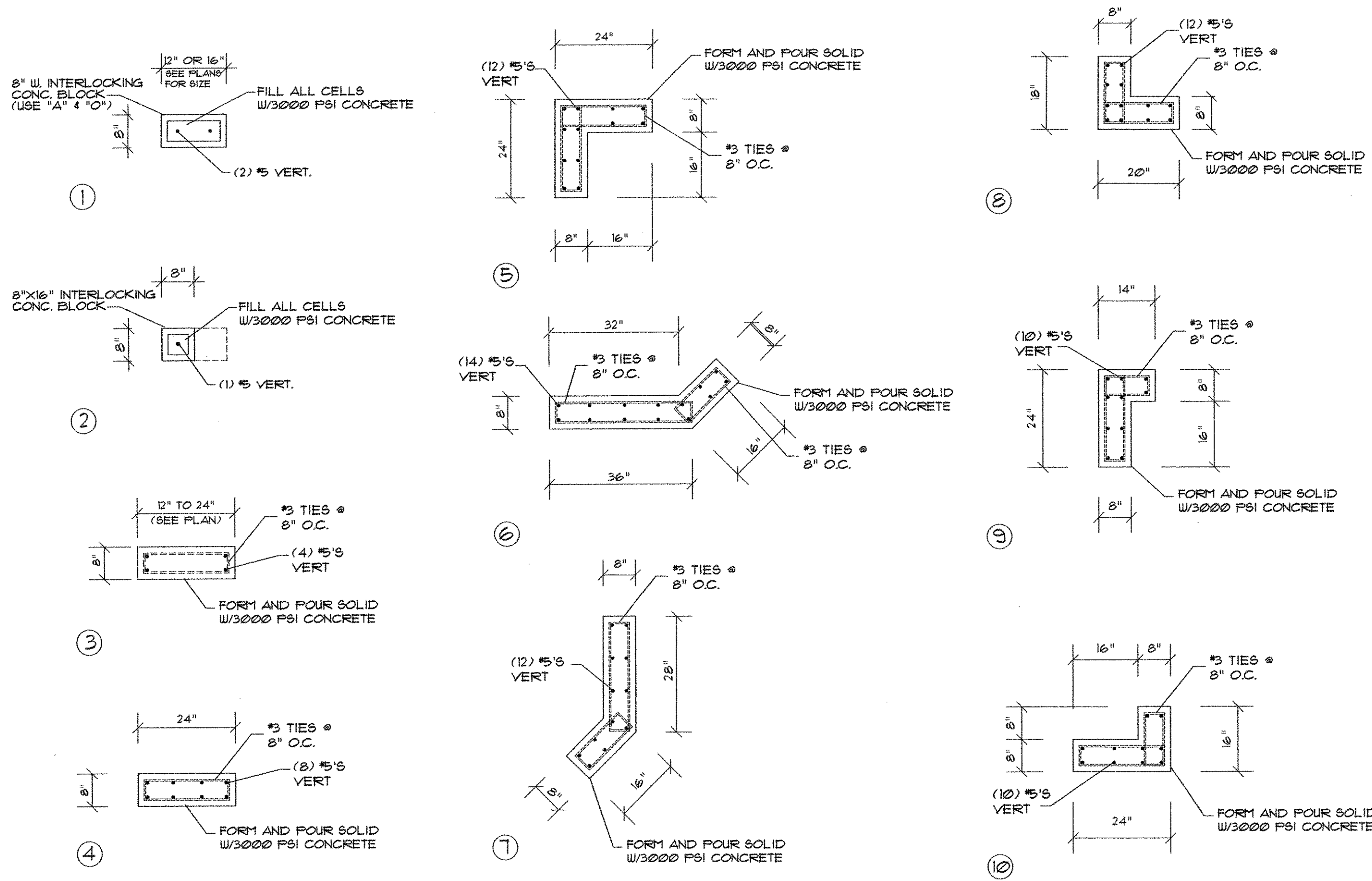
A NEW RESIDENCE @
451 NEPTUNE RD,
JUNO BEACH, FLORIDA 33408



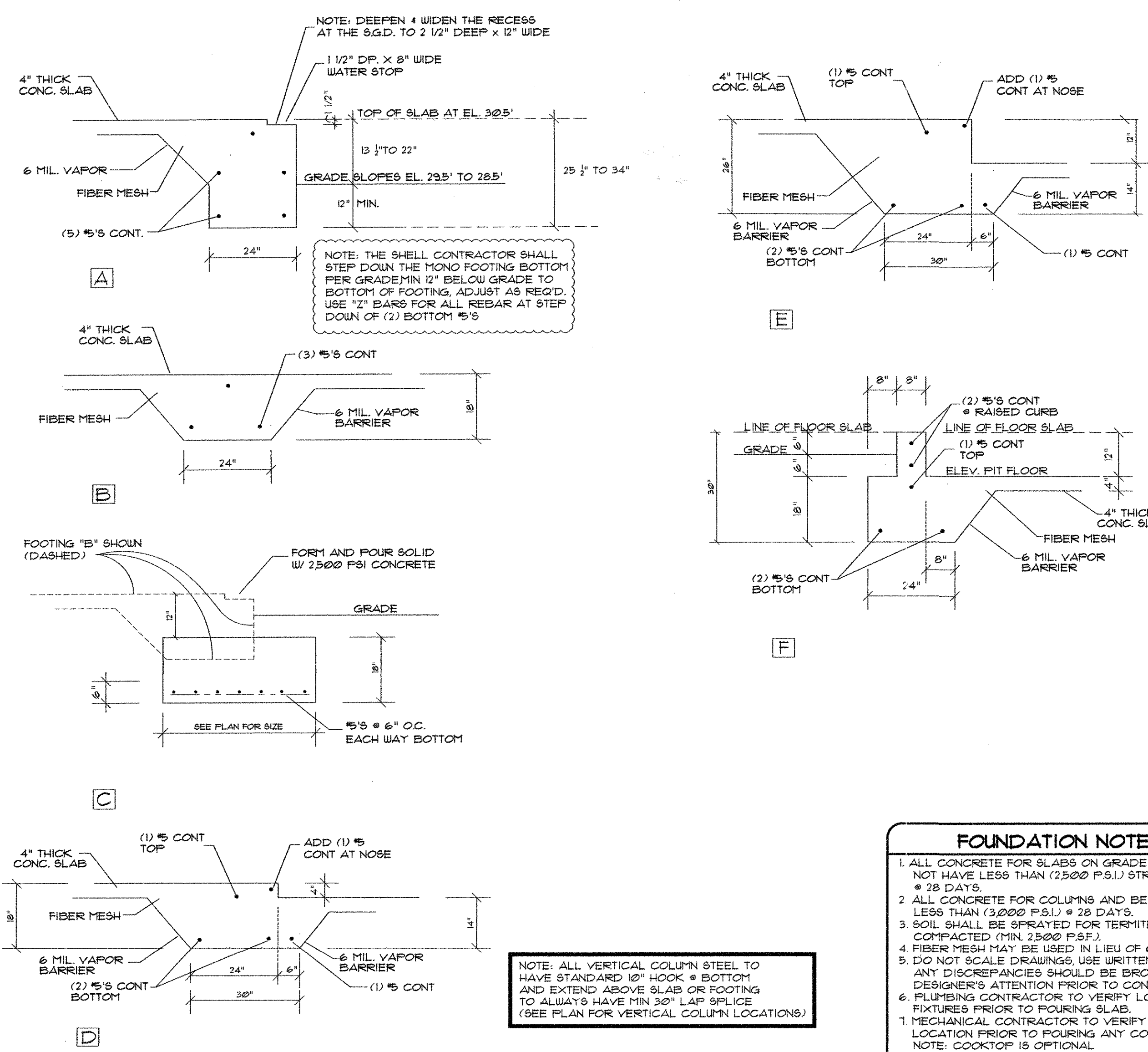
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AR-0014964

DRAWN	GRG
CHECKED	J.S.B.
DATE	04-09-24
SCALE	AS SHOWN
JOB NO.	
SHEET	

S-1



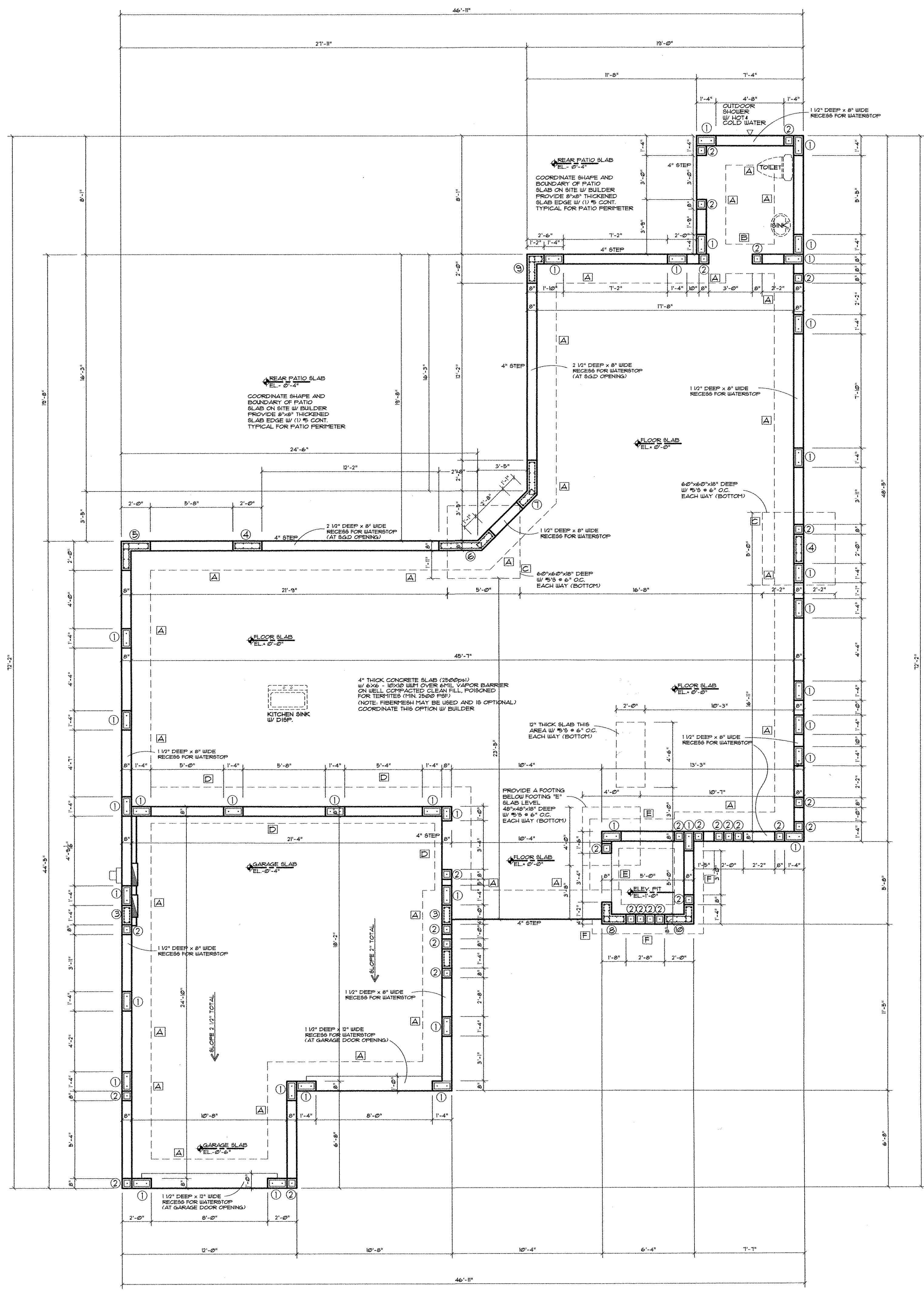
COLUMN DETAILS
SCALE 1/2"=1'-0"



NOTE: ALL VERTICAL COLUMN STEEL TO HAVE STANDARD 12" HOOK @ BOTTOM AND EXTEND ABOVE SLAB OR FOOTING TO ALWAYS HAVE MIN 30" LAP SPICE (SEE PLAN FOR VERTICAL COLUMN LOCATIONS)

FOOTING DETAILS
SCALE 1/2"=1'-0"

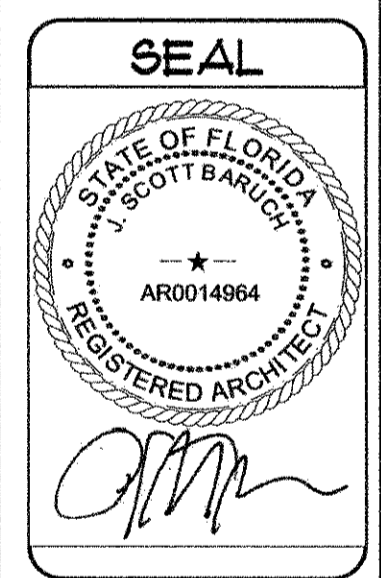
- FOUNDATION NOTES:**
- ALL CONCRETE FOR SLABS ON GRADE AND FOOTINGS SHALL NOT HAVE LESS THAN (2500 P.S.I.) STRUCTURAL VALUE @ 28 DAYS.
 - ALL CONCRETE FOR COLUMNS AND BEAMS SHALL NOT HAVE LESS THAN (3000 P.S.I.) @ 28 DAYS.
 - SOIL SHALL BE SPRAYED FOR TERMITES, AND BE WELL COMPACTED (MIN 2500 P.S.I.).
 - FIBER MESH MAY BE USED IN LIEU OF 6x6/10/10 WWM.
 - DO NOT SCALE DRAWINGS, USE WRITTEN DIMENSIONS, ANY DISCREPANCIES SHOULD BE BROUGHT TO THE DESIGNER'S ATTENTION PRIOR TO CONTINUING ANY WORK.
 - PLUMBING CONTRACTOR TO VERIFY LOCATIONS OF ALL FIXTURES PRIOR TO POURING SLAB.
 - MECHANICAL CONTRACTOR TO VERIFY COOKTOP DOWNDRAFT LOCATION PRIOR TO POURING ANY CONCRETE. NOTE: COOKTOP IS OPTIONAL.
 - USE TYPICAL CONCRETE CURING COMPOUND FOR ALL FLAT SLABS, ONLY WHEN REQ'D. BY LOCAL CODES.
 - PROVIDE 30" WIDE 6x6/10x10 WWM @ FOOTING PERIMETER.



FOUNDATION PLAN
SCALE 1/4"=1'-0"

REVISIONS	Item #2
04-16-24	FRONT WINDOW 12'-3"
05-14-24	POOL ADDED
06-26-24	REVISIONS
07-11-24	REVISIONS
09-11-24	REVISIONS

A NEW RESIDENCE @
451 NEPTUNE RD,
JUNO BEACH, FLORIDA 33408



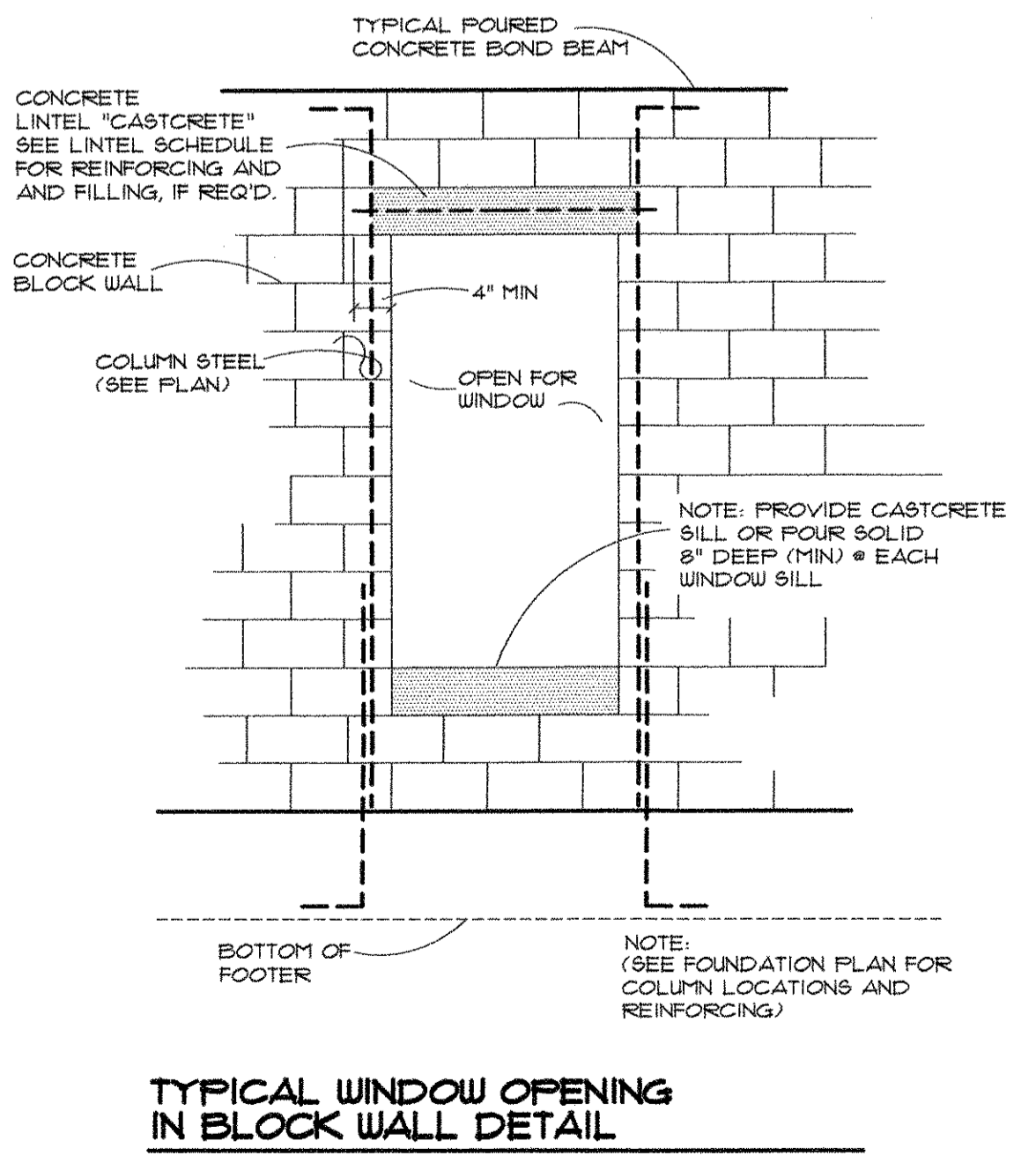
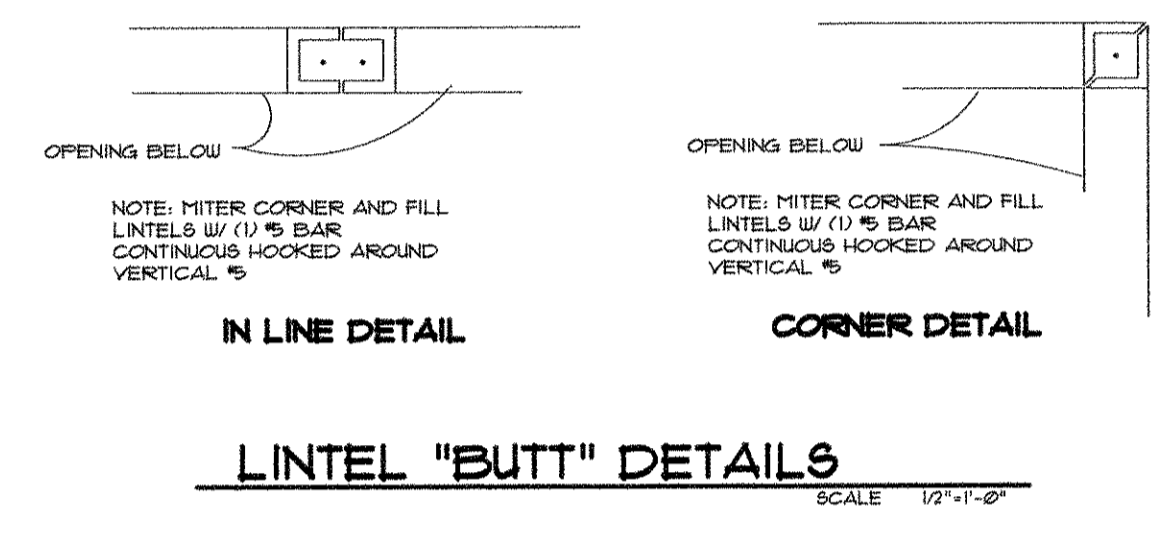
J. SCOTT BARUCH
& ASSOCIATES
18360 SE LAKEVIEW DR.
JUPITER, FLORIDA
AR-0014964

DRAWN	G.R.G.
CHECKED	J.S.B.
DATE	04-09-24
SCALE	AS SHOWN
JOB NO.	

SHEET
S-2

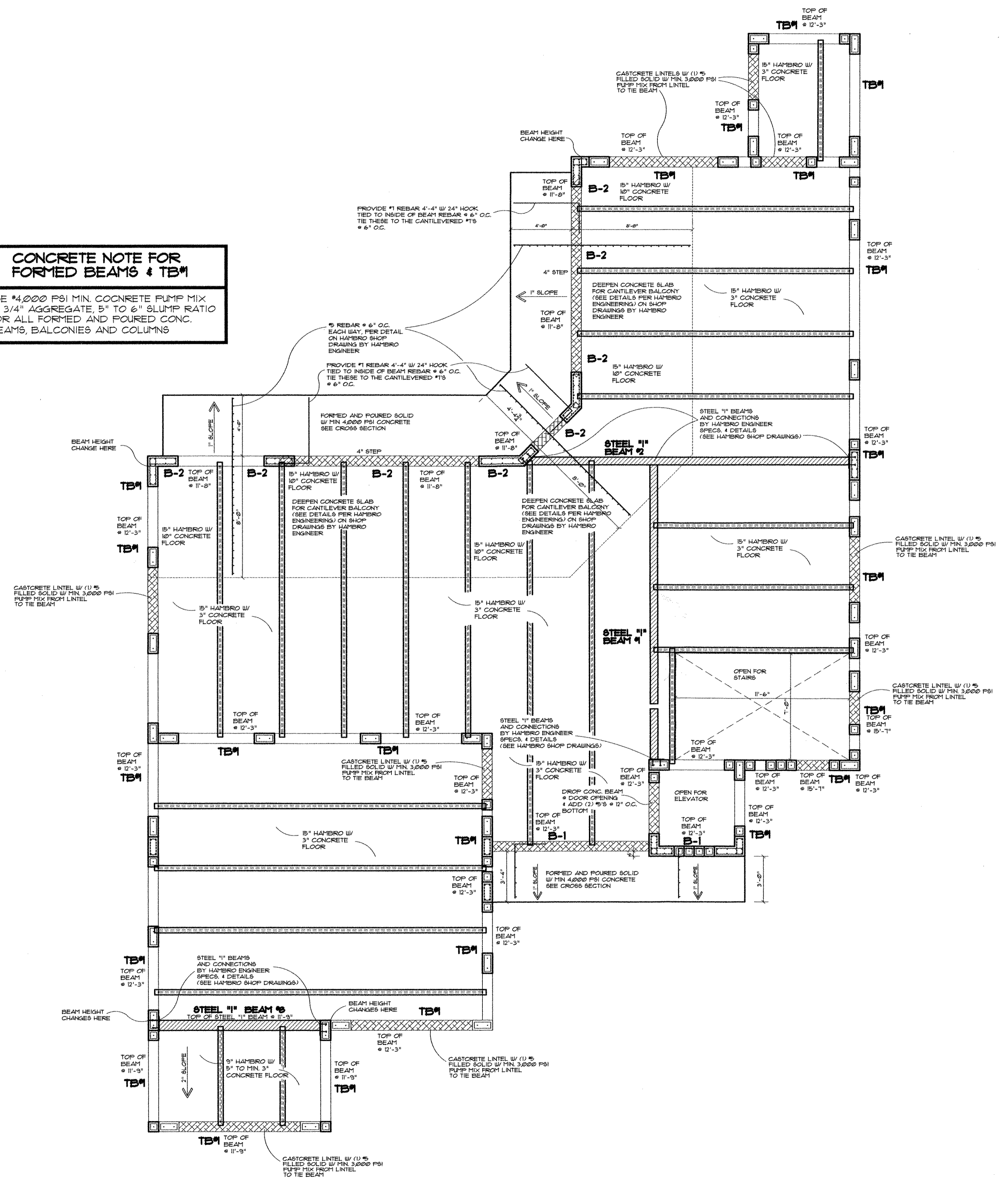
FORMED AND POURED BEAM SCHEDULE

MARK	ELEV. TOP OF BEAM	SIZE	REINFORCING			OPEN STIRRUPS		REMARKS
			TOP	BOTTOM	MID	NO.	SPACING	
BOND BEAM	SEE PLAN	8"x8"x16" (2) COURSES	(1) #5	(1) #5	N/A	N/A	N/A	USE 3000 CONC. BOND BEAM PUMP MIX W/ 5" / 11" SLUMP RATIO 3/4" AGGREGATE
TB-1	12'-3"	8" x 15"	(2) #5/S	(2) #5/S	N/A	N/A	N/A	USE #3000 F81 MIN. COCONCRETE PUMP MIX W/ 5" / 6" SLUMP RATIO 3/4" AGGREGATE
B-1	12'-3"	8" x 25"	(2) #5/S	(2) #5/S	(2) #5/S	#3	# 8" O.C.	USE #4000 F81 MIN. COCONCRETE PUMP MIX W/ 5" / 6" SLUMP RATIO 3/4" AGGREGATE
B-2	11'-8"	8" x 30"	(2) #5/S	(2) #1/S	(2) #5/S	#3	# 8" O.C.	
B-3	34'-10"	8" x 34"	(2) #5/S	(2) #5/S	(2) #5/S	#3	# 8" O.C.	



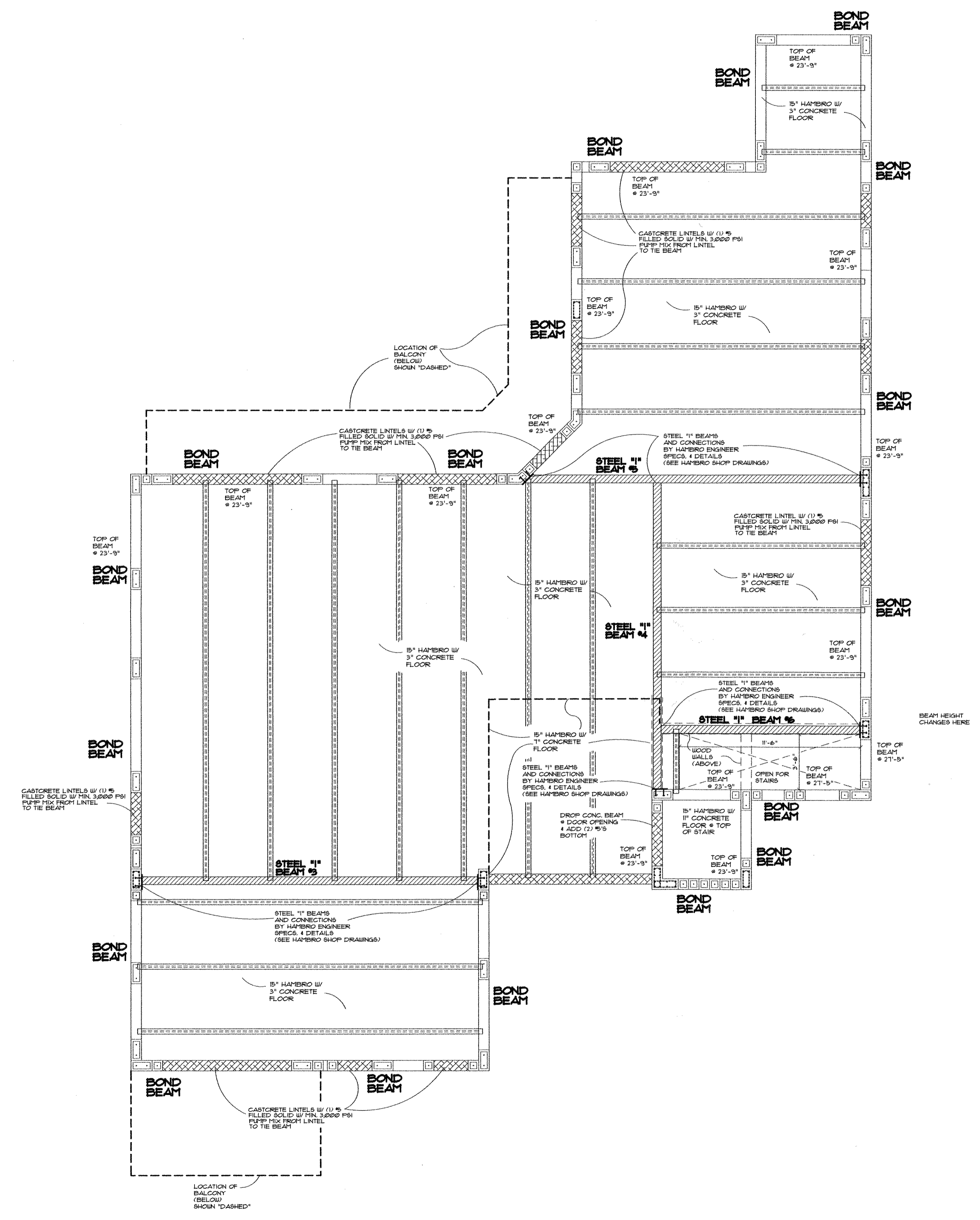
CONCRETE NOTE FOR FORMED BEAMS & TB#1

USE #4000 F81 MIN. COCONCRETE PUMP MIX W/ 3/4" AGGREGATE, 5" TO 6" SLUMP RATIO FOR ALL FORMED AND POURED CONC. BEAMS, BALCONIES AND COLUMNS



FLOOR FRAMING PLAN
SCALE 1/4"=1'-0"

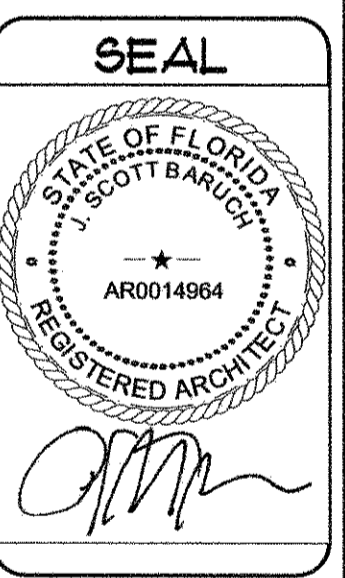
DOOR / WINDOW BUCK NOTES	
WINDOWS	2x FT BUCK (MATCH FRAME WIDTH) ATTACHED TO CBS W/ 1/4"x4" TAPCONS 4" FROM EACH END AND 12" O.C. REMAINDER. OR: 1 1/2" PT CUSTOM BUCK (WIDTH OF WINDOW FRAME) ATTACHED TO CBS W/ "1" NAILS @ 12" O.C. AND WINDOW FRAMES ATTACHED THROUGH THE FRAME, BUCKS AND SHIMS AND INTO THE CBS W/ TAPCONS PER MFG'R. INSTRUCTIONS.
DOORS	2x FT BUCK (MATCH DOOR FRAME WIDTH) ATTACHED DIRECTLY TO THE CBS W/ 1/4" x 4" TAPCONS 4" FROM EACH END, 12" O.C. REMAINDER.
GARAGE DOORS	FT 2"x6" ATTACHED TO THE CBS W/ 5/8" x 6" TITEN CONCRETE SCREWS W/ 1/4"x3" STEEL WASHERS 6" FROM EACH END, 24" O.C. REMAINDER.
WINDOW NOTES	
1. ALL WINDOWS SECURED TO WOOD BUCKS OR THROUGH WOOD BUCKS INTO CBS AS PER MANUFACTURERS SPECIFICATIONS TO MEET MINIMUM 110 MPH INSTALLATION.	
2. DOOR UNIT CHOSEN FOR PROJECT. BUILDER TO COORDINATE EXACT MASONRY OPENINGS WITH MASONRY SUBCONTRACTOR, WINDOW / DOOR SUPPLIER. NOTE: SOME WINDOWS HAVE A TOLERANCE OF 1/4" MAX. ADJUST MASONRY OPENINGS AS REQUIRED FOR BUCK AND WINDOW / DOOR SYSTEM CHOSEN.	
3. ALLOWABLE SHIM SPACING AND TOLERANCE BETWEEN WINDOW FRAME AND WINDOW BUCK A. LESS THAN 1/4" : NO SHIM REQUIRED B. GREATER THAN 1/4" : CONTINUOUS PAD-OUT OF THE BUCK IS NECESSARY	



2ND FLOOR ROOF PLAN
SCALE 1/4"=1'-0"

REVISIONS	Item #2.
04-16-24	FRONT WINDOW 1 1/2" S&D
05-14-24	POOL ADDED
06-26-24	REVISIONS
07-11-24	REVISIONS
09-11-24	REVISIONS

A NEW RESIDENCE @
451 NEPTUNE RD,
JUNO BEACH, FLORIDA 33408

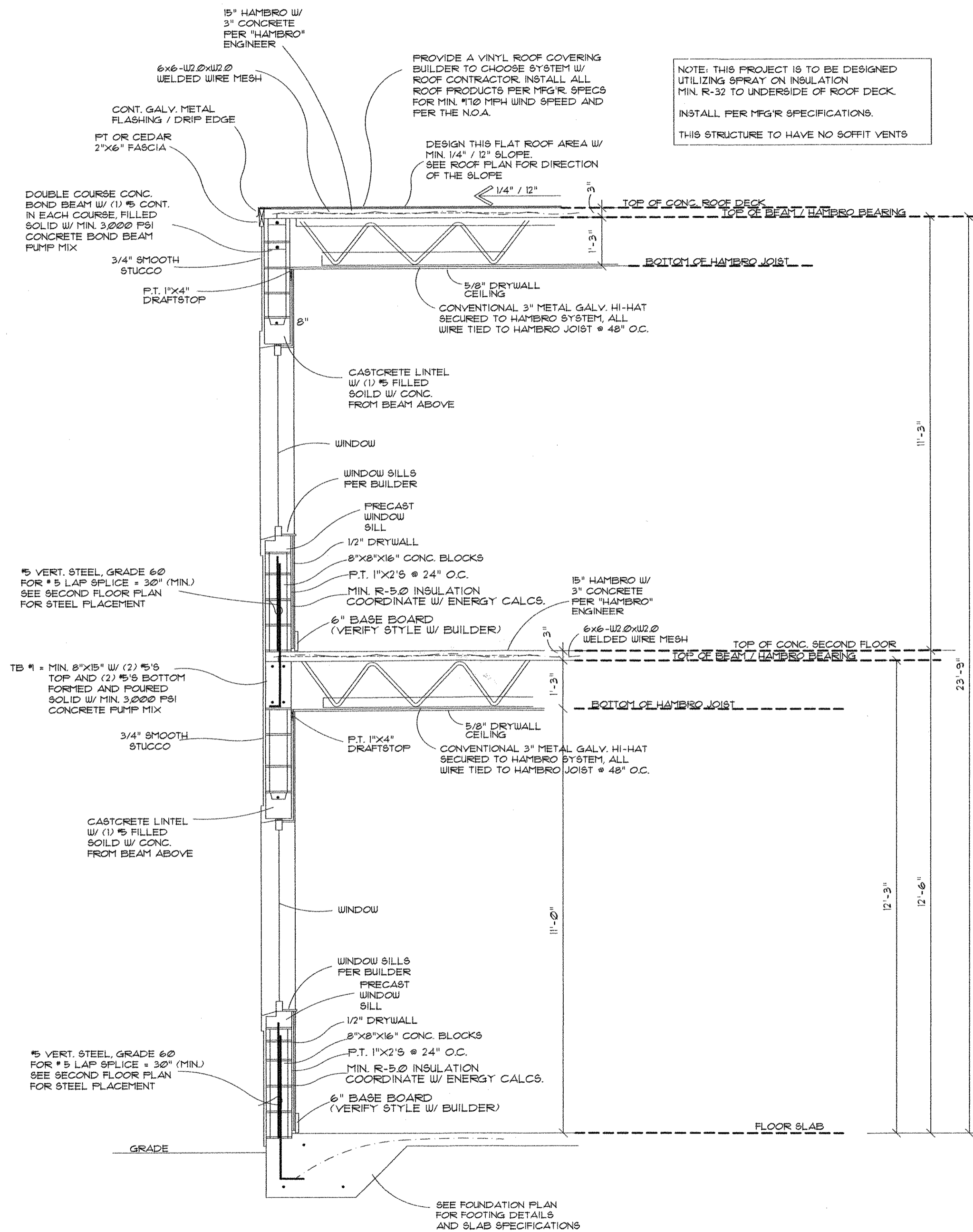


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& ASSOCIATES
19360 SE LAKESIDE DR
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AR-0014864

DRAWN	GRG
CHECKED	J.S.B.
DATE	04-09-24
SCALE	AS SHOWN
JOB NO.	

SHEET
S-3

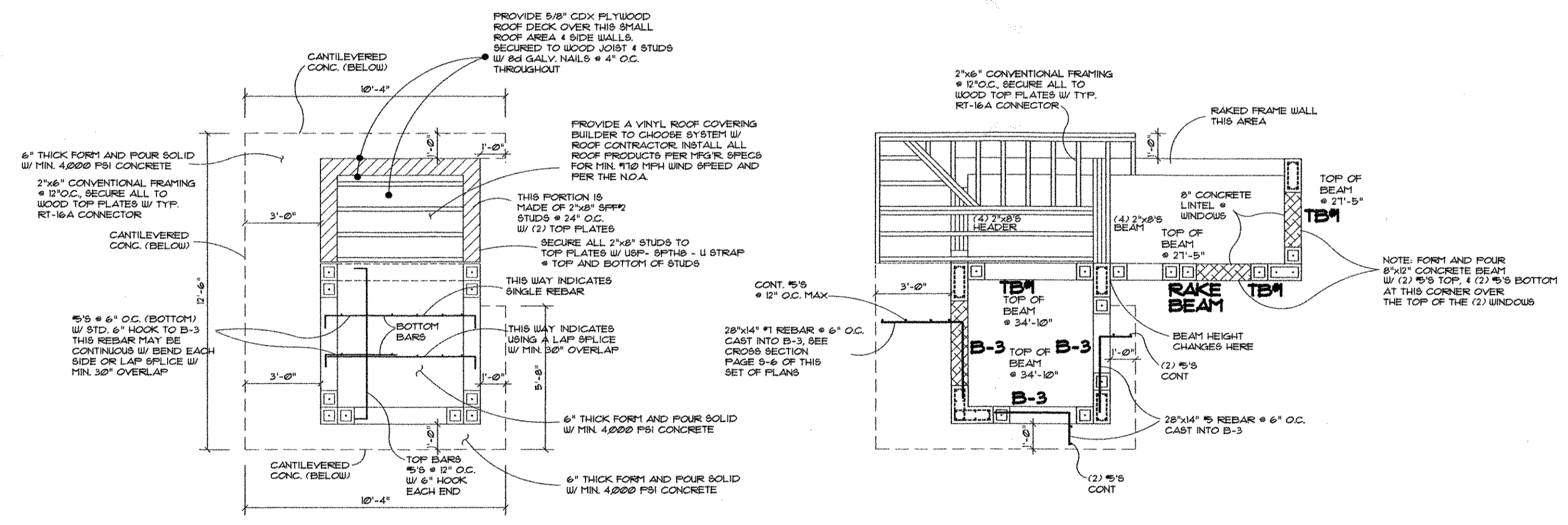
NOTE: PROVIDE ALUMN. GUTTERS ON BOTH SIDES OF THE ROOF WITH DOWN SPOUTS. BUILDER TO COORDINATE ON SITE FOR LOCATIONS OF DOWN SPOUTS.



TYPICAL WALL SECTION

SCALE 1/2"=1'-0"

NOTE: THIS PROJECT IS TO BE DESIGNED UTILIZING SPRAY ON INSULATION MIN. R-32 TO UNDERSIDE OF ROOF DECK. INSTALL PER MFG'R SPECIFICATIONS. THIS STRUCTURE TO HAVE NO SOFFIT VENTS

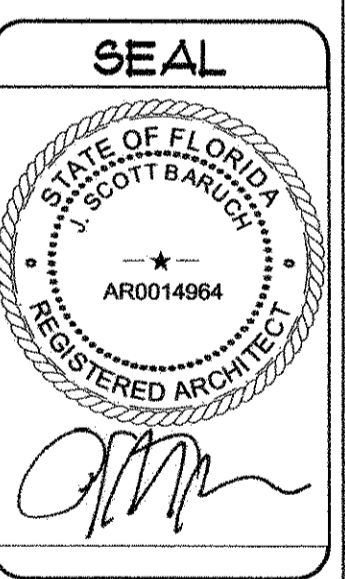


UPPER ROOF PLAN

SCALE 1/4"=1'-0"

REVISIONS	Item #2.
04-16-24	FRONT WINDOW 4 1/2' SGD
05-14-24	POOL ADDED
06-26-24	REVISIONS
07-17-24	REVISIONS
09-11-24	REVISIONS

A NEW RESIDENCE
451 NEPTUNE RD,
JUNO BEACH, FLORIDA 33408



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DRAWN	G.R.G.
CHECKED	J.S.B.
DATE	04-09-24
SCALE	AS SHOWN
JOB NO.	

SHEET
S-4

04-16-24 FRONT WINDOW 4 1/2' SGD

05-14-24 POOL ADDED

06-26-24 REVISIONS

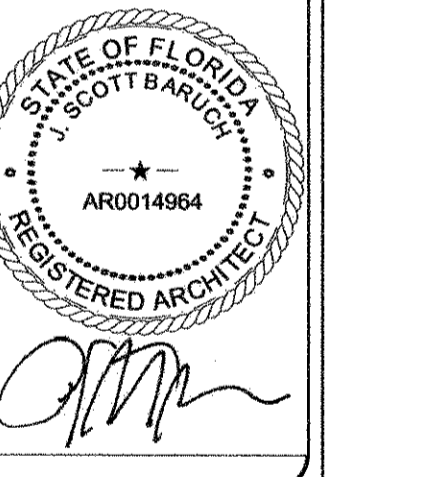
07-17-24 REVISIONS

09-11-24 REVISIONS

Item #2

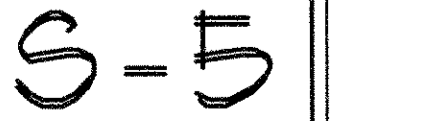
A NEW RESIDENCE @ 451 NEPTUNE RD, JUNO BEACH, FLORIDA 33408

SEAL



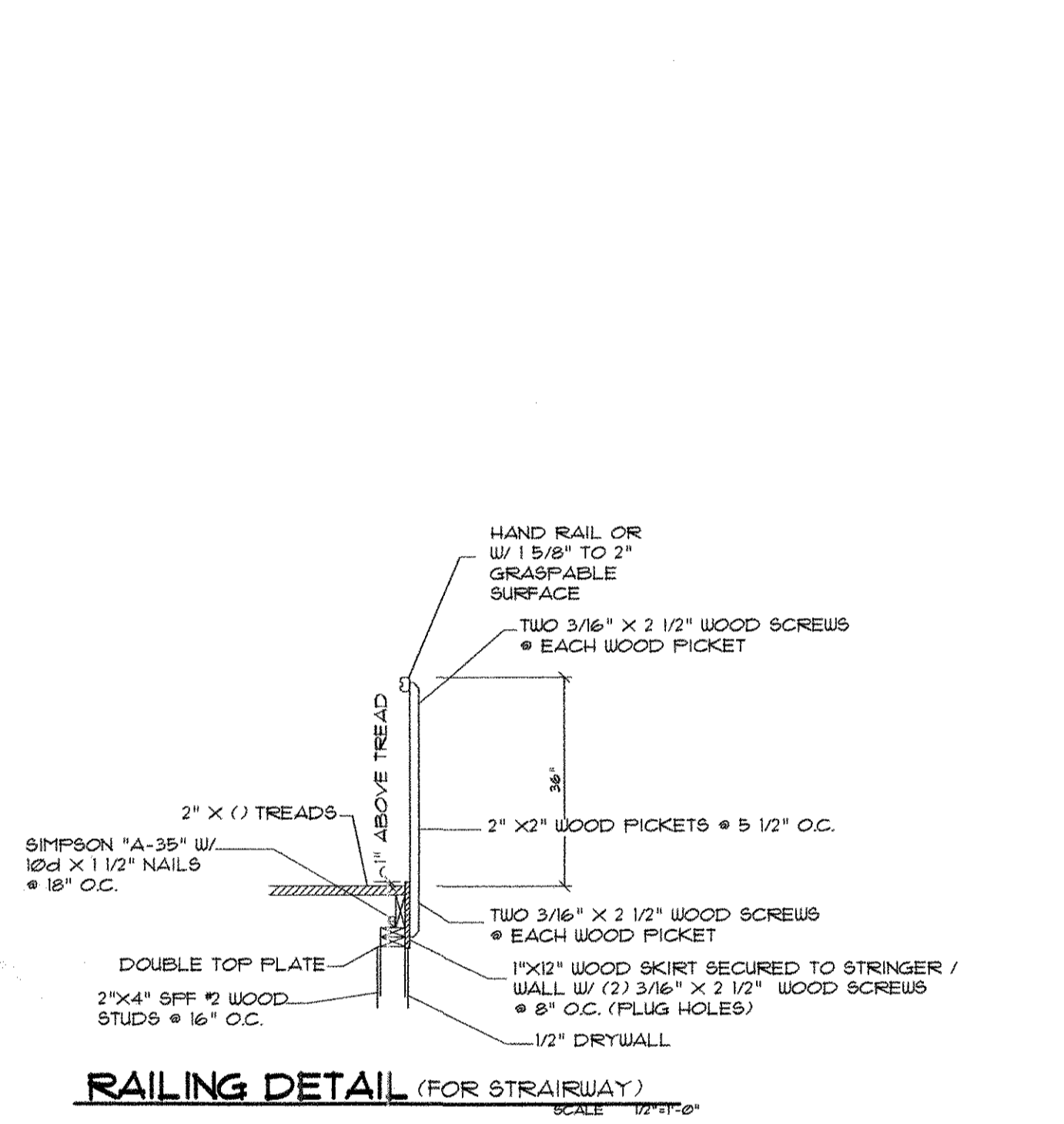
J. SCOTT BARUCH & ASSOCIATES 18360 SE LAKEVIEW DR. JUPITER, FLORIDA AR-0014964

DRAWN: G.R.G. CHECKED: J.S.B. DATE: 04-09-24 SCALE: AS SHOWN JOB NO. SHEET

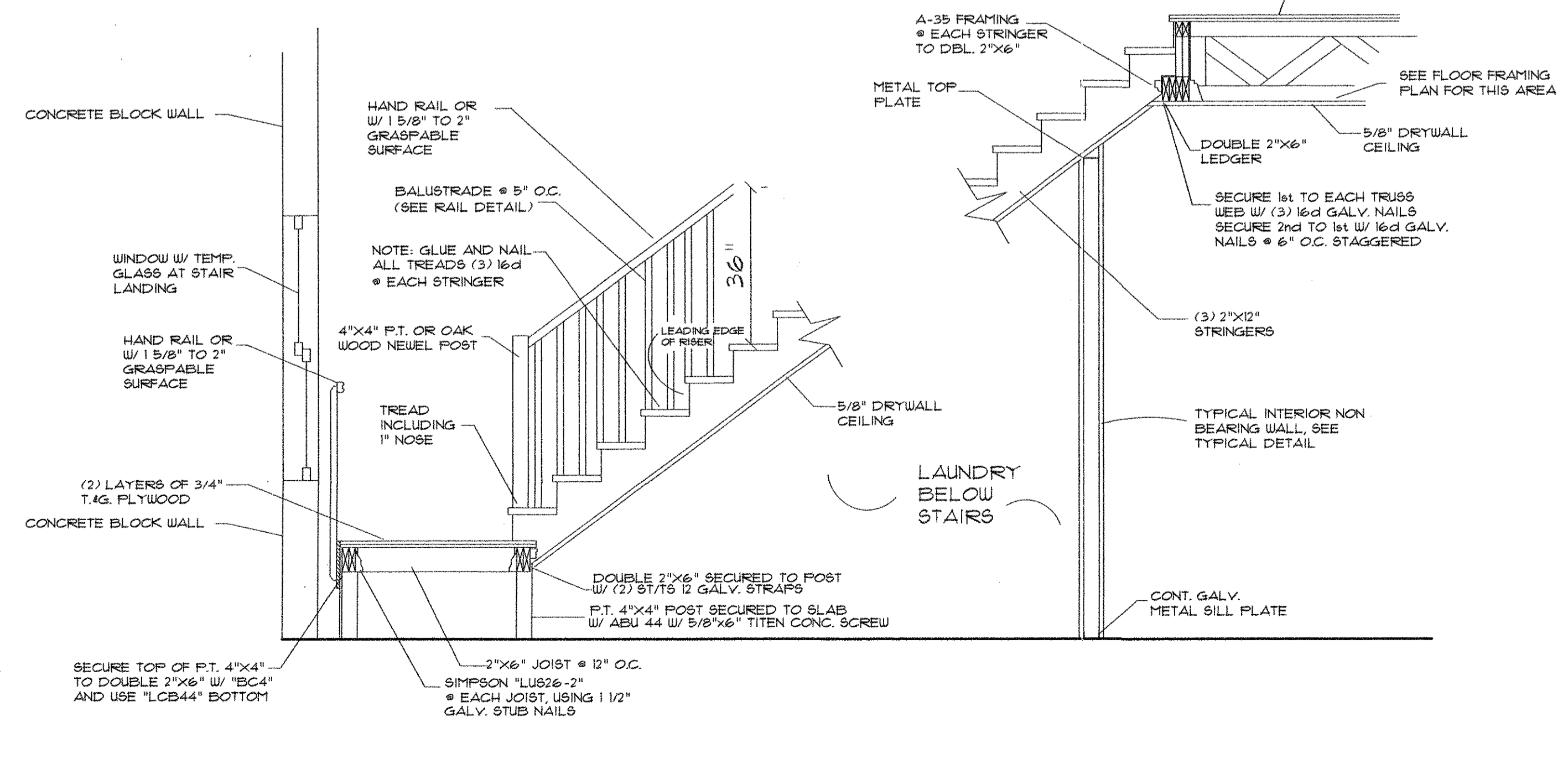


MARK	WIDTH	LENGTH	REINFORCING		REMARKS
			VERTICAL REINFORCEMENT	HOOPS	
1	8"	12" OR 16"	(2) #5'S	N/A	8"x8"x16" OR 12" CMU
2	8"	8"	(1) #5'S	N/A	8"x8"x16" CMU
3	8"	12" TO 24"	(4) #5'S	#3 @ 8" O.C.	
4	8"	12" TO 24"	(8) #5'S	#3 @ 8" O.C.	
5	8"	24"x24"	(12) #5'S	#3 @ 8" O.C.	INTERLOCKING HOOPS
6	8"	36" / 16"	(14) #5'S	#3 @ 8" O.C.	INTERLOCKING HOOPS
7	8"	16" / 16"	(10) #5'S	#3 @ 8" O.C.	INTERLOCKING HOOPS
8	8"	18"x20"	(12) #5'S	#3 @ 8" O.C.	INTERLOCKING HOOPS
9	8"	24"x14"	(10) #5'S	#3 @ 8" O.C.	INTERLOCKING HOOPS
10	8"	24"x16"	(10) #5'S	#3 @ 8" O.C.	INTERLOCKING HOOPS

MARK	WIDTH	DEPTH	TOP OF FOOTING ELEV.	REINFORCING				REMARKS
				BOTTOM		TOP		
				L.W.	S.W.	L.W.	S.W.	
A	24"	18"	0'-0"	(2) #5'S	N/A	(1) #5'S	N/A	
B	24"	18"	0'-0"	(2) #5'S	N/A	(1) #5'S	N/A	
C	60"x60"	18"	-1'-0"	#5'S @ 6" O.C.	#5'S @ 6" O.C.	N/A	N/A	
D	30"	18" / 14"	0'-0"	(3) #5'S	N/A	(1) #5'S	N/A	(1) #5 CONT. @ NOSING
E	30"	26" / 14"	-1'-0"	(3) #5'S	N/A	(1) #5'S	N/A	(1) #5 CONT. @ NOSING
F	24"	30" / 18"	0'-0", -1'-0"	(2) #5'S	N/A	(3) #5'S	N/A	

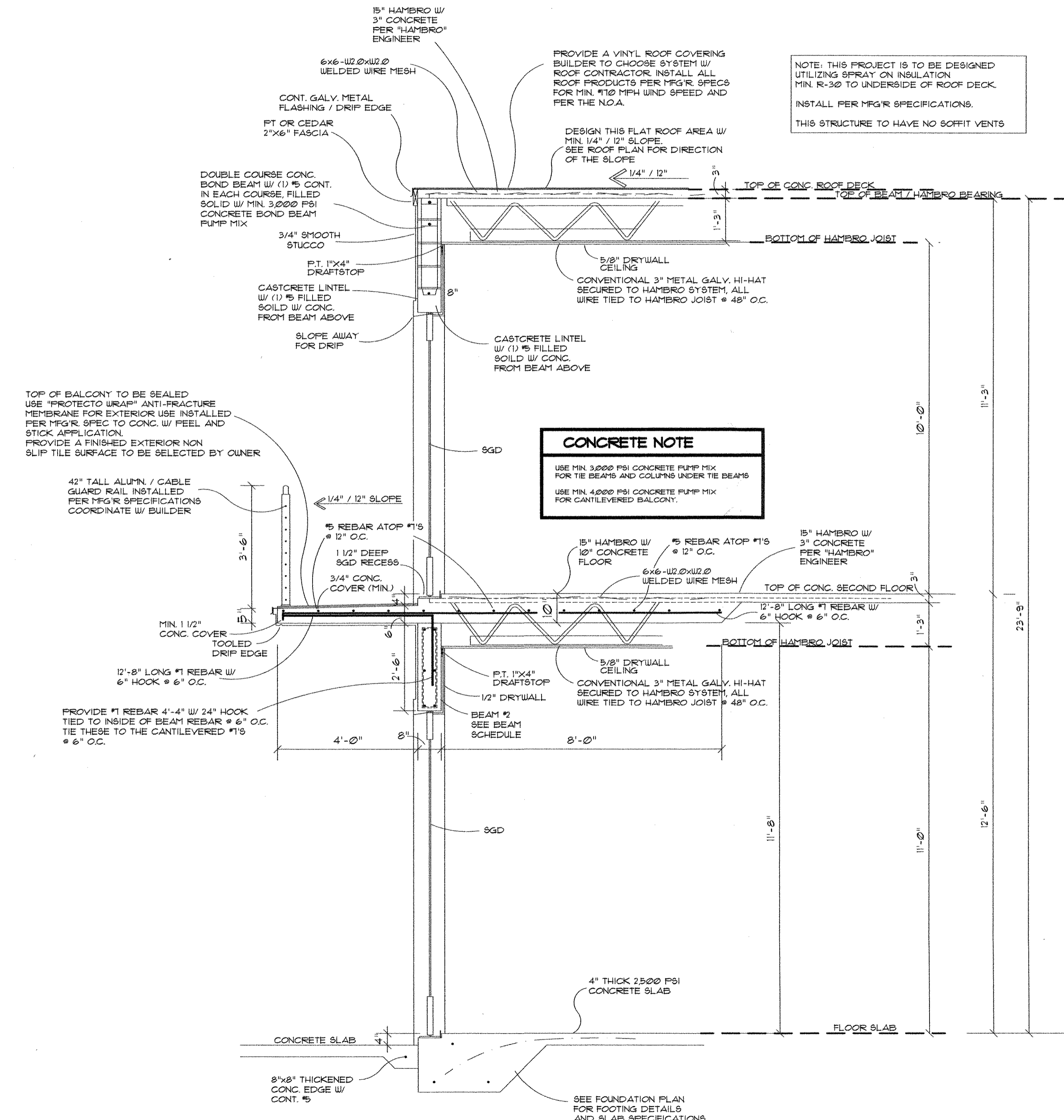


NOTE: STAIR SECTION SHOWN IS A SCHEMATIC AND IS ONLY INTENT TO SHOW TYPICAL CONSTRUCTION DETAILS. ADJUST TO FIELD CONDITIONS AS NECESSARY.



STAIR DETAIL. NOTE: OWNER TO SELECT FINISHED MATERIALS. COORDINATE AND ADJUST WITH BUILDER. SCALE: 1/2"=1'-0"

NOTE: STAIR SHOWN IS FOR GENERAL INFORMATION ONLY. VERIFY W/ OWNER TYPE AND FINISH.



TOP OF BALCONY TO BE SEALED. USE "PROTECTO WRAP" ANTI-FRACTURE MEMBRANE FOR EXTERIOR USE. INSTALL PER MFG'R SPEC TO CONC. W/ FEEL AND STICK APPLICATION. PROVIDE A FINISHED EXTERIOR NON-SLIP TILE SURFACE TO BE SELECTED BY OWNER.

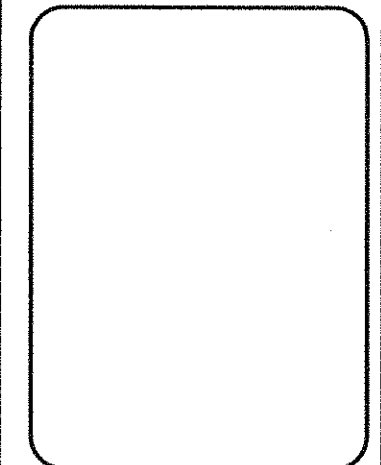
CONCRETE NOTE: USE MIN. 3000 PSI CONCRETE PUMP MIX FOR THE BEAMS AND COLUMNS UNDER THE BEAMS. USE MIN. 4000 PSI CONCRETE PUMP MIX FOR CANTILEVERED BALCONY.

NOTE: THIS PROJECT IS TO BE DESIGNED UTILIZING SPRAY ON INSULATION MIN. R-30 TO UNDERSIDE OF ROOF DECK. INSTALL PER MFG'R SPECIFICATIONS. THIS STRUCTURE TO HAVE NO SOFFIT VENTS.

WALL SECTION @ CANTILEVER BALCONY. SCALE: 1/2"=1'-0"

REVISIONS	
04-16-24	FRONT WINDOW 12' 5 3/4"
05-14-24	POOL ADDED
06-26-24	REVISIONS
07-17-24	REVISIONS
09-11-24	REVISIONS

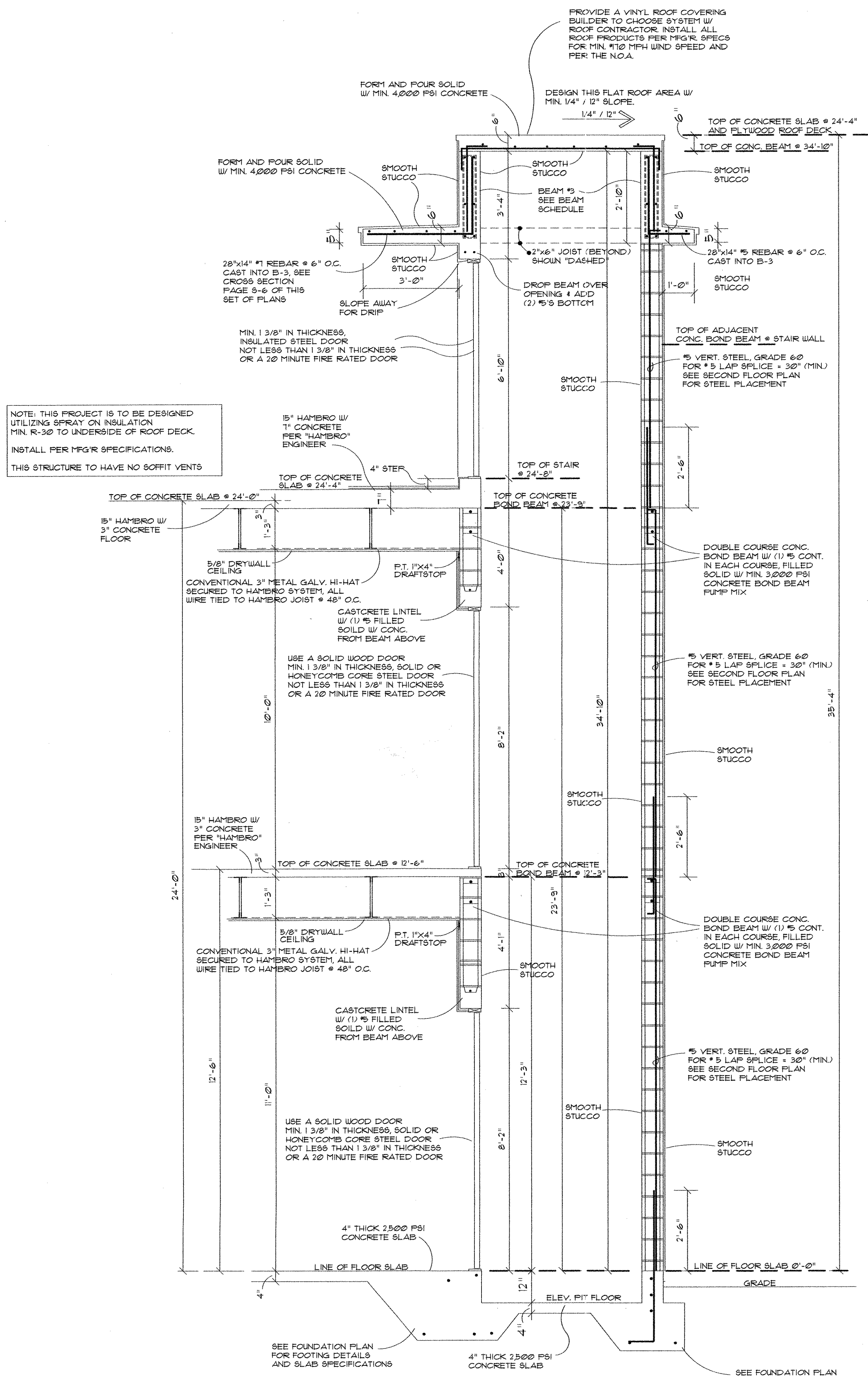
A NEW RESIDENCE @
451 NEPTUNE RD,
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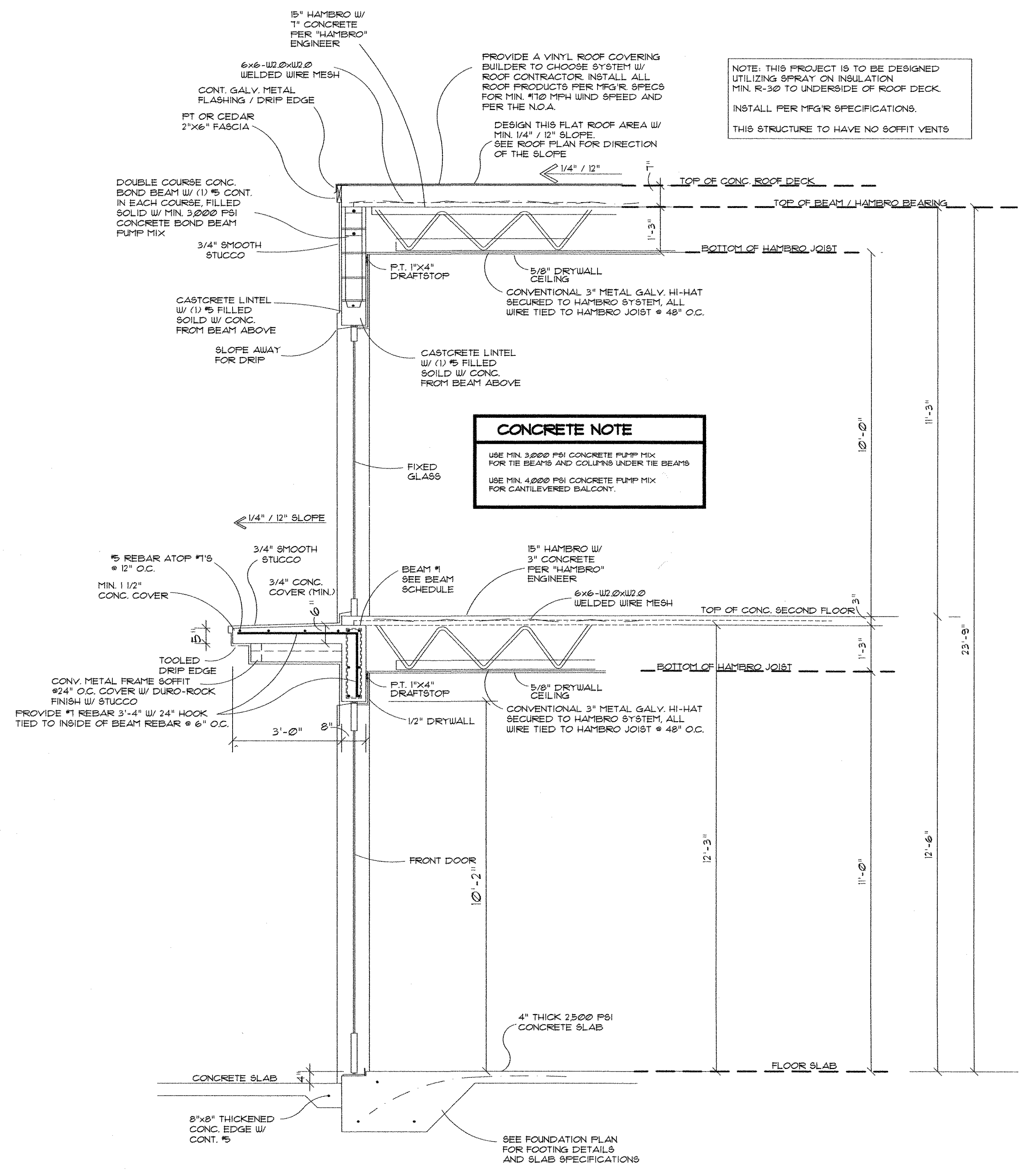
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& ASSOCIATES
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JUPITER, FLORIDA
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DRAWN
G.R.G.
CHECKED
J.S.B.
DATE
04-09-24
SCALE
AS SHOWN
JOB NO.
SHEET

S-6

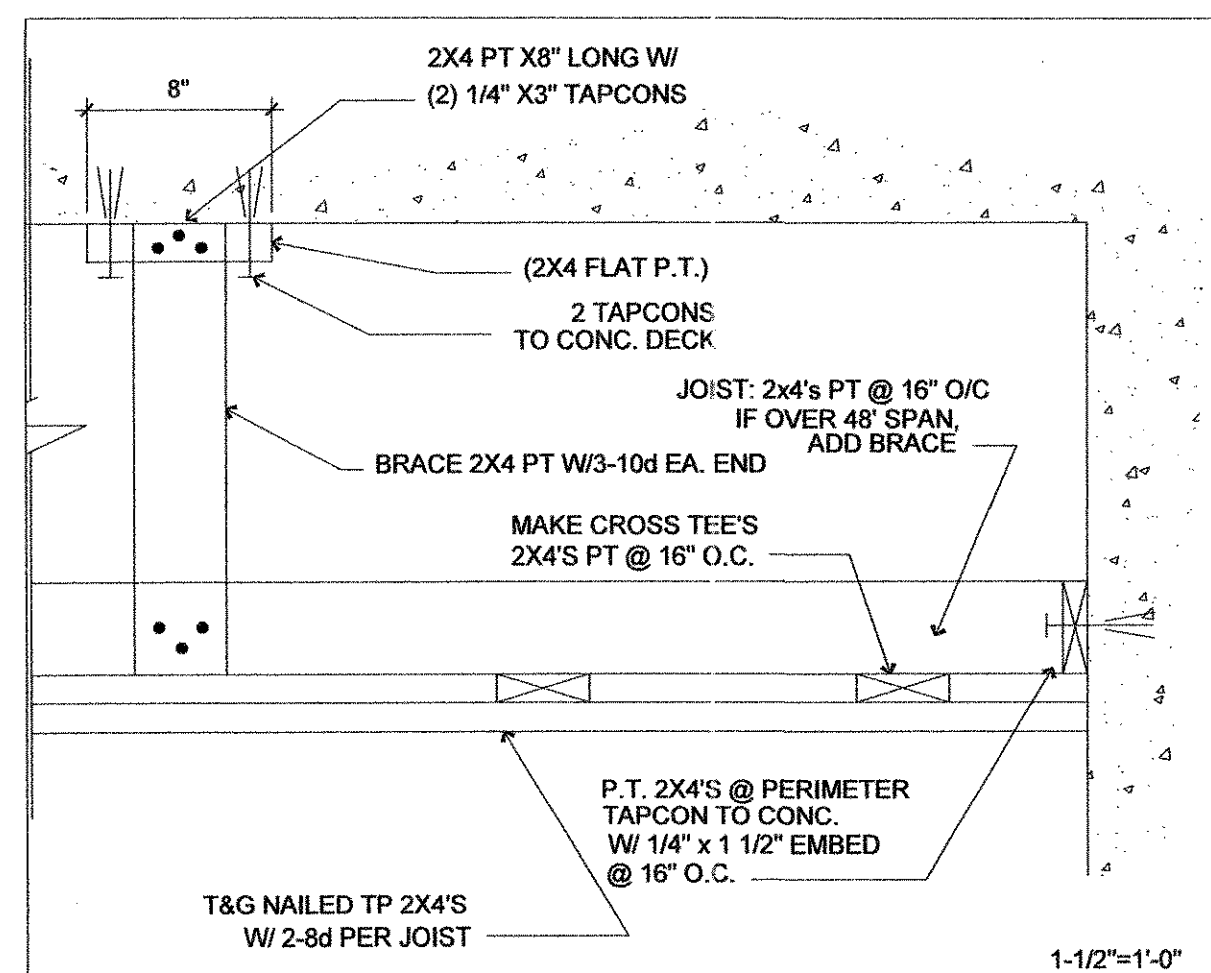


CROSS SECTION @ ELEVATOR
SCALE 1/2" = 1'-0"

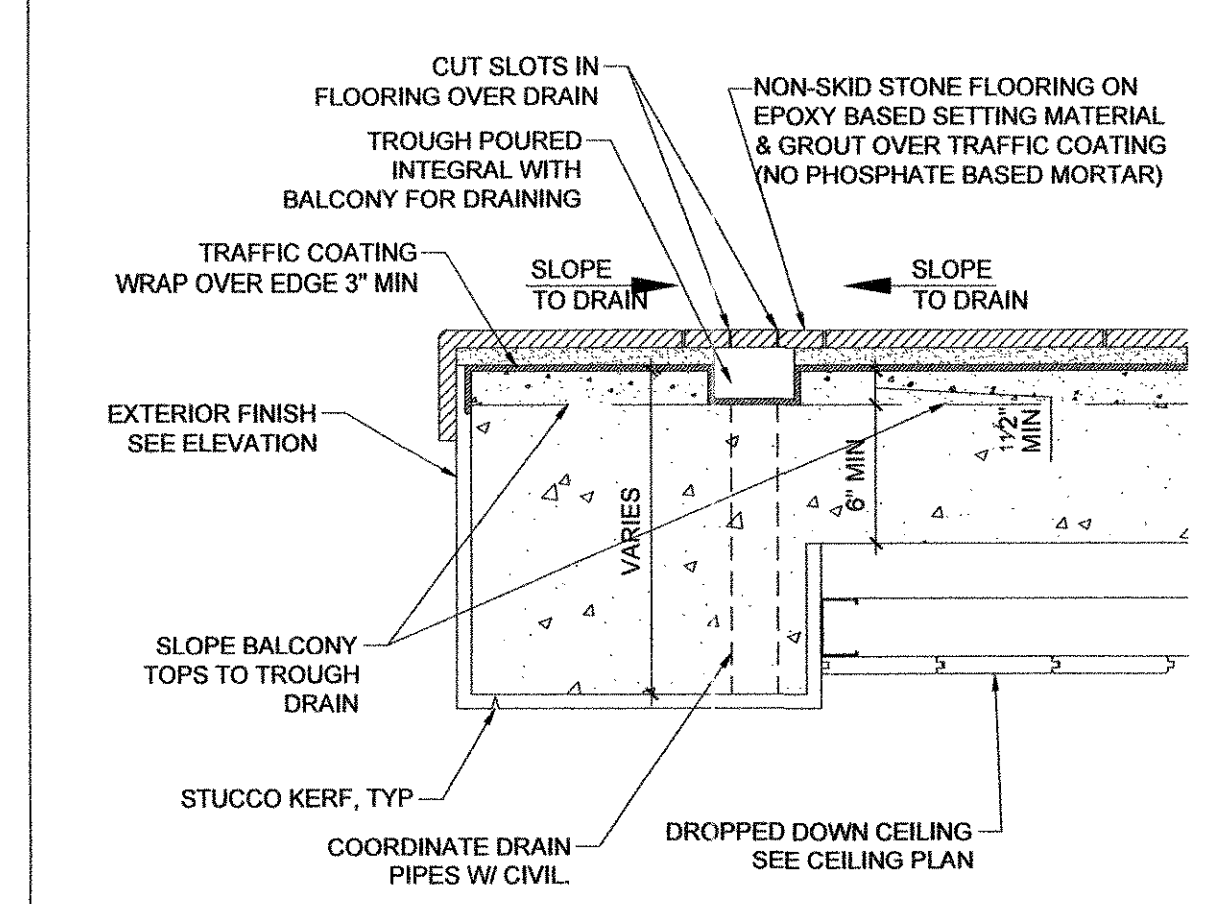


CROSS SECTION @ FRONT DOOR
SCALE 1/2" = 1'-0"

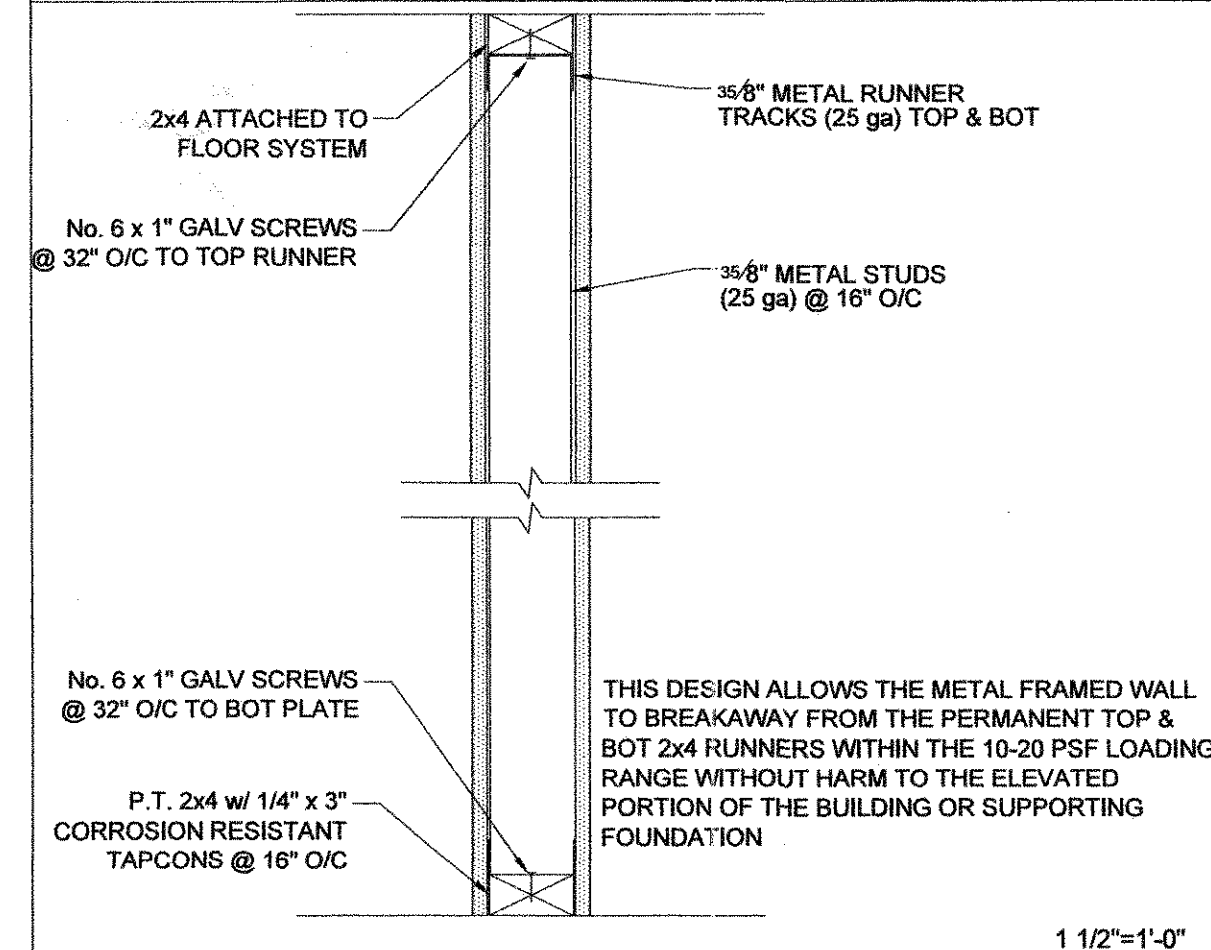
CONCRETE NOTE
USE MIN. 3000 PSI CONCRETE PUMP MIX FOR THE BEAMS AND COLUMNS UNDER THE BEAMS
USE MIN. 4000 PSI CONCRETE PUMP MIX FOR CANTILEVERED BALCONY.



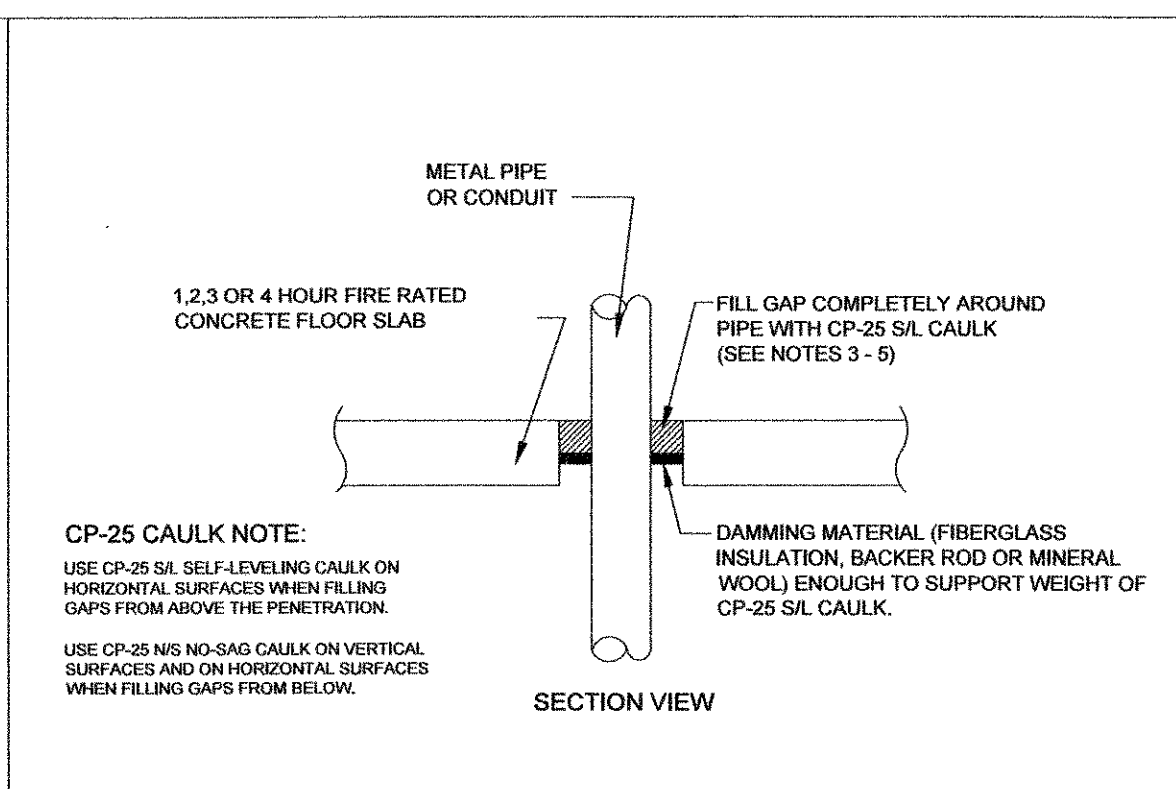
EXTERIOR DROPPED CEILING DETAIL 1-1/2"=1'-0"



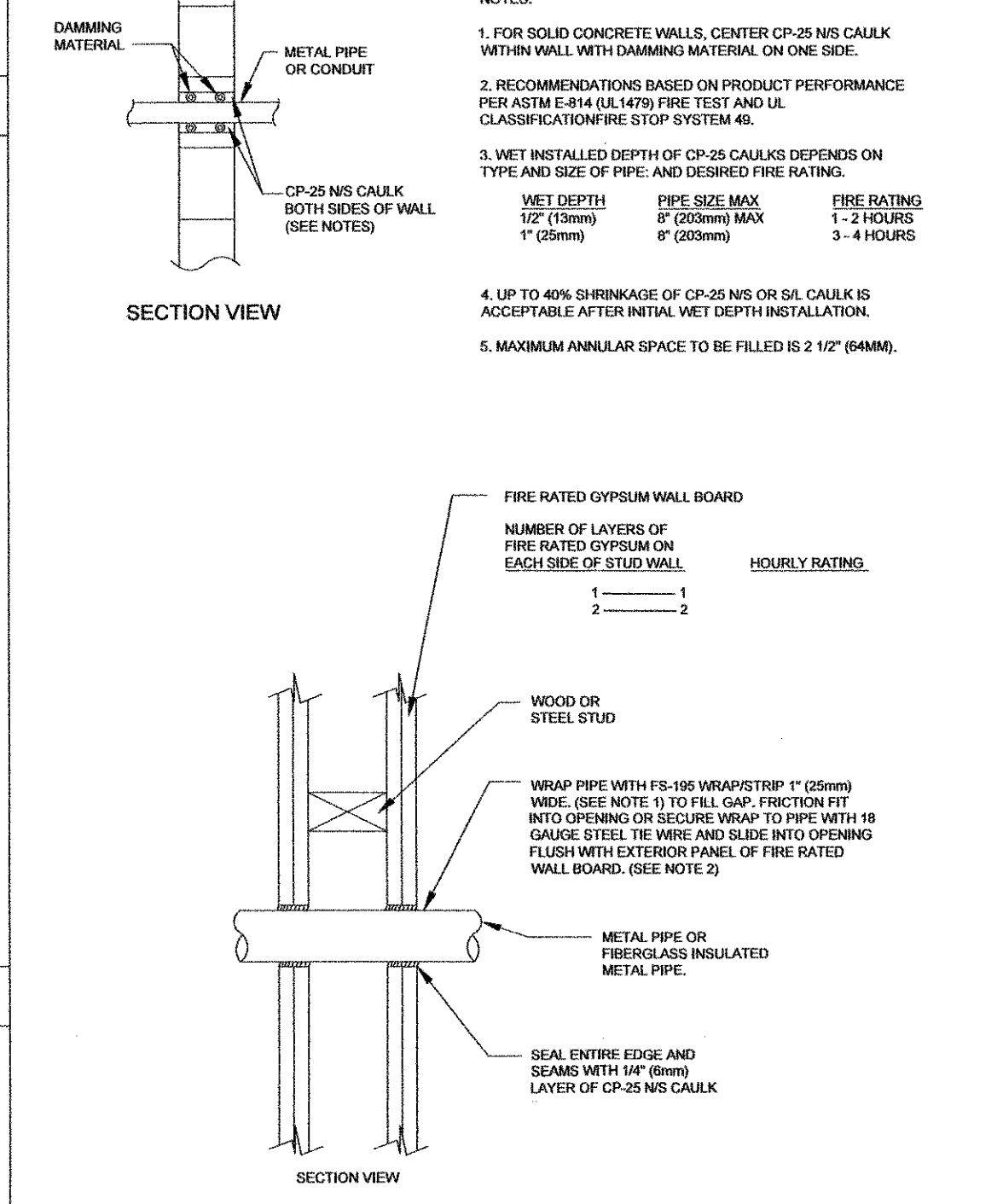
BALCONY DRAIN 1-1/2"=1'-0"



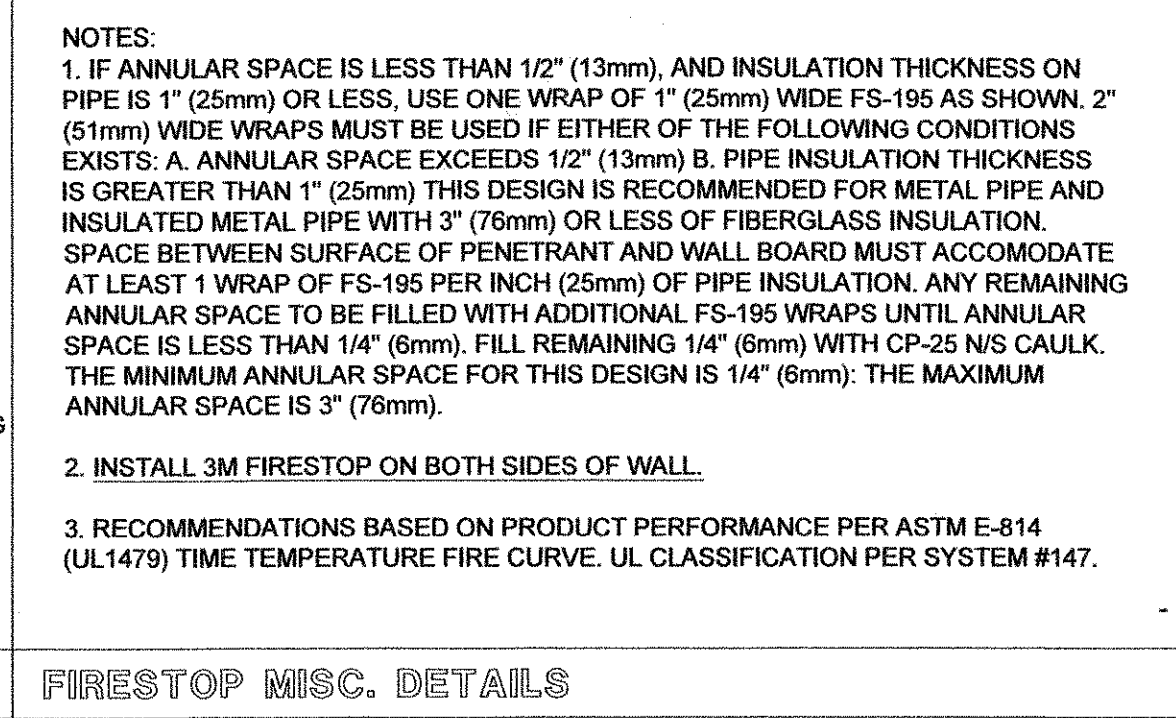
INTERIOR NON-BEARING FRANGIBLE WALL DETAIL 1-1/2"=1'-0"



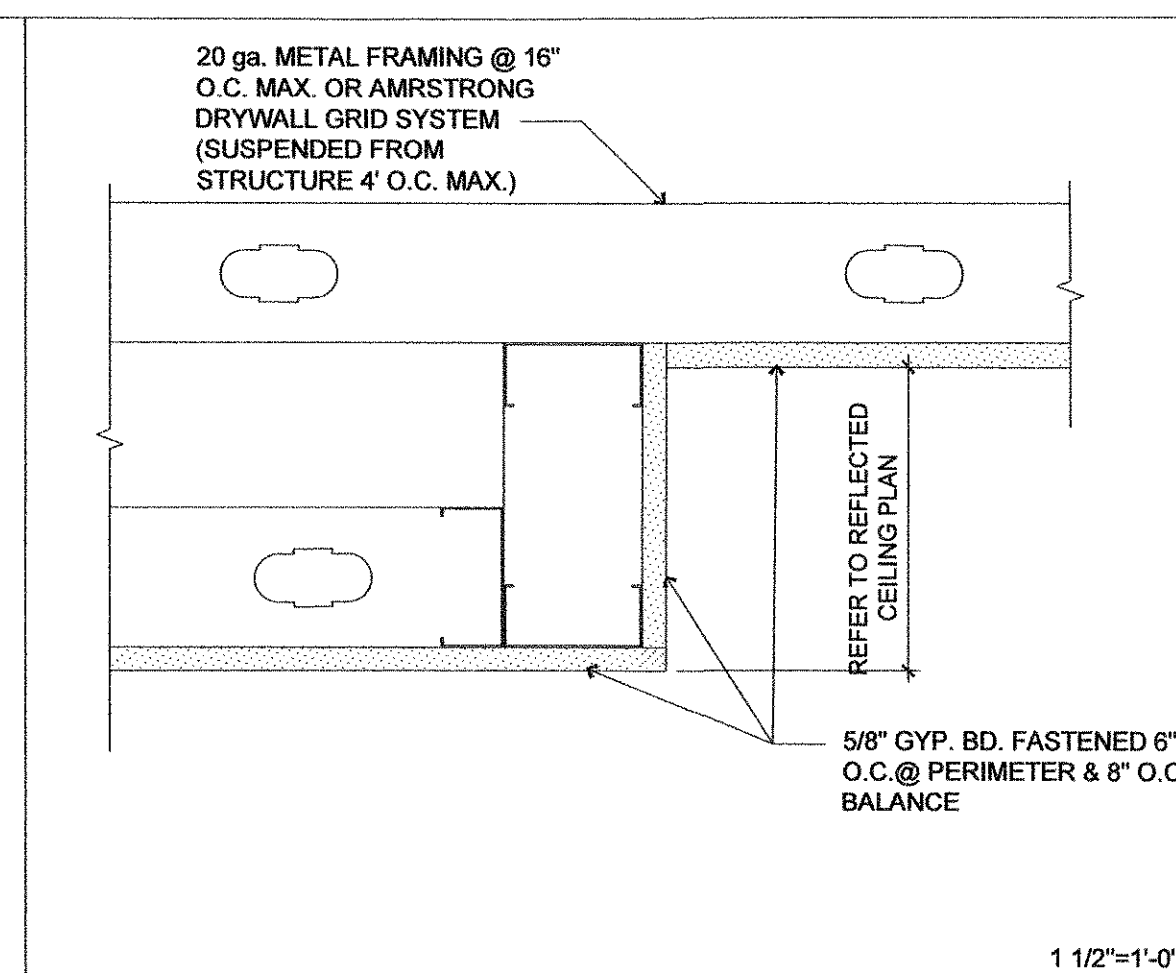
FIRESTOP MISC. DETAILS 1-1/2"=1'-0"



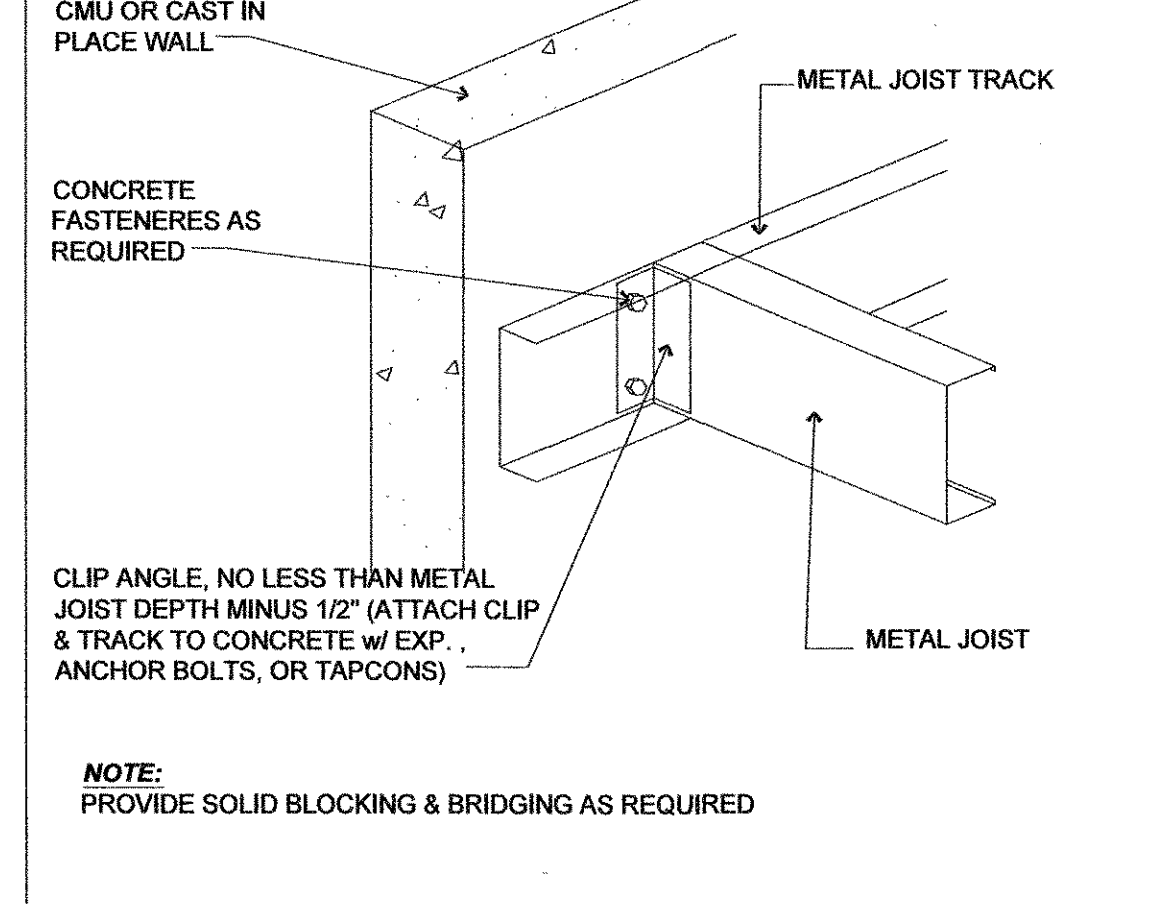
DROPPED INTERIOR CEILING DETAIL 1-1/2"=1'-0"



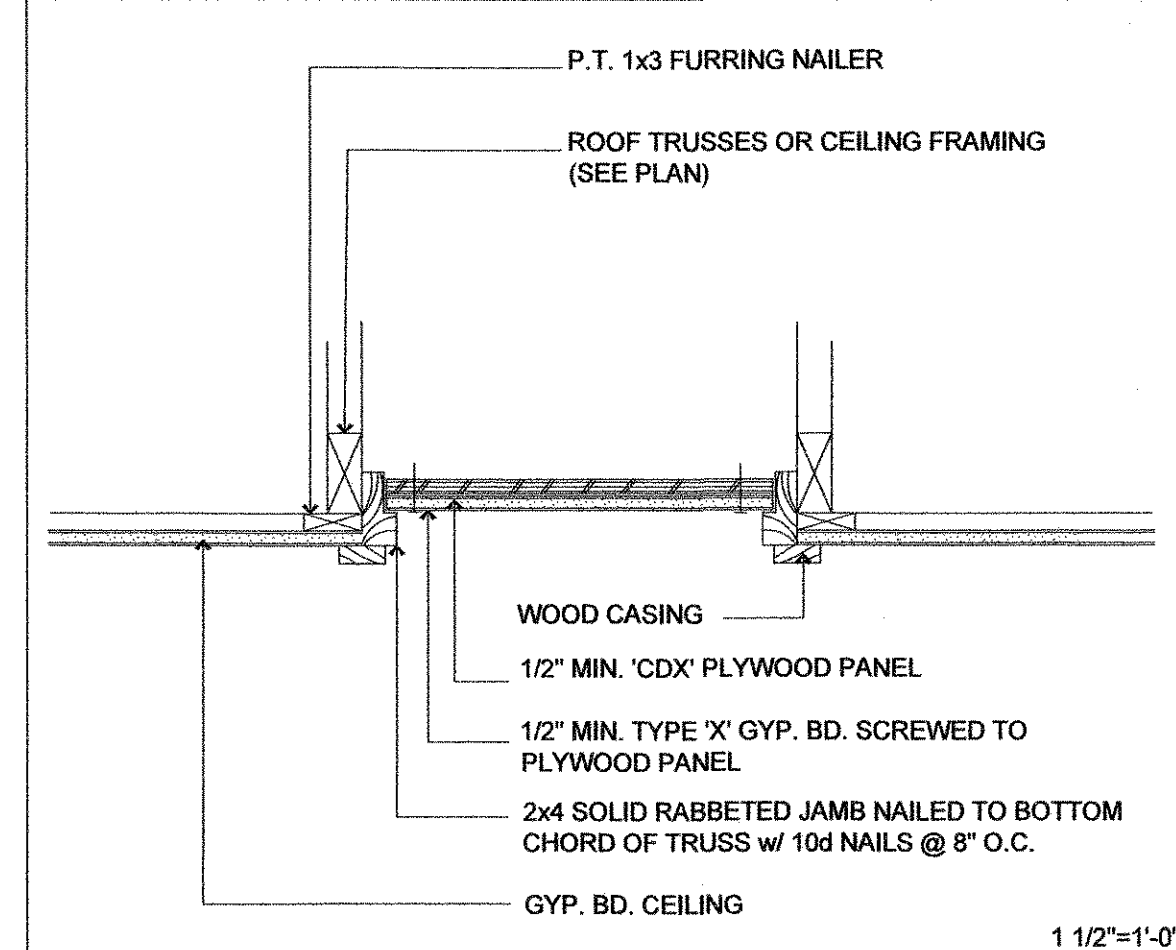
ROOF ABUTTING CMU WALL 1-1/2"=1'-0"



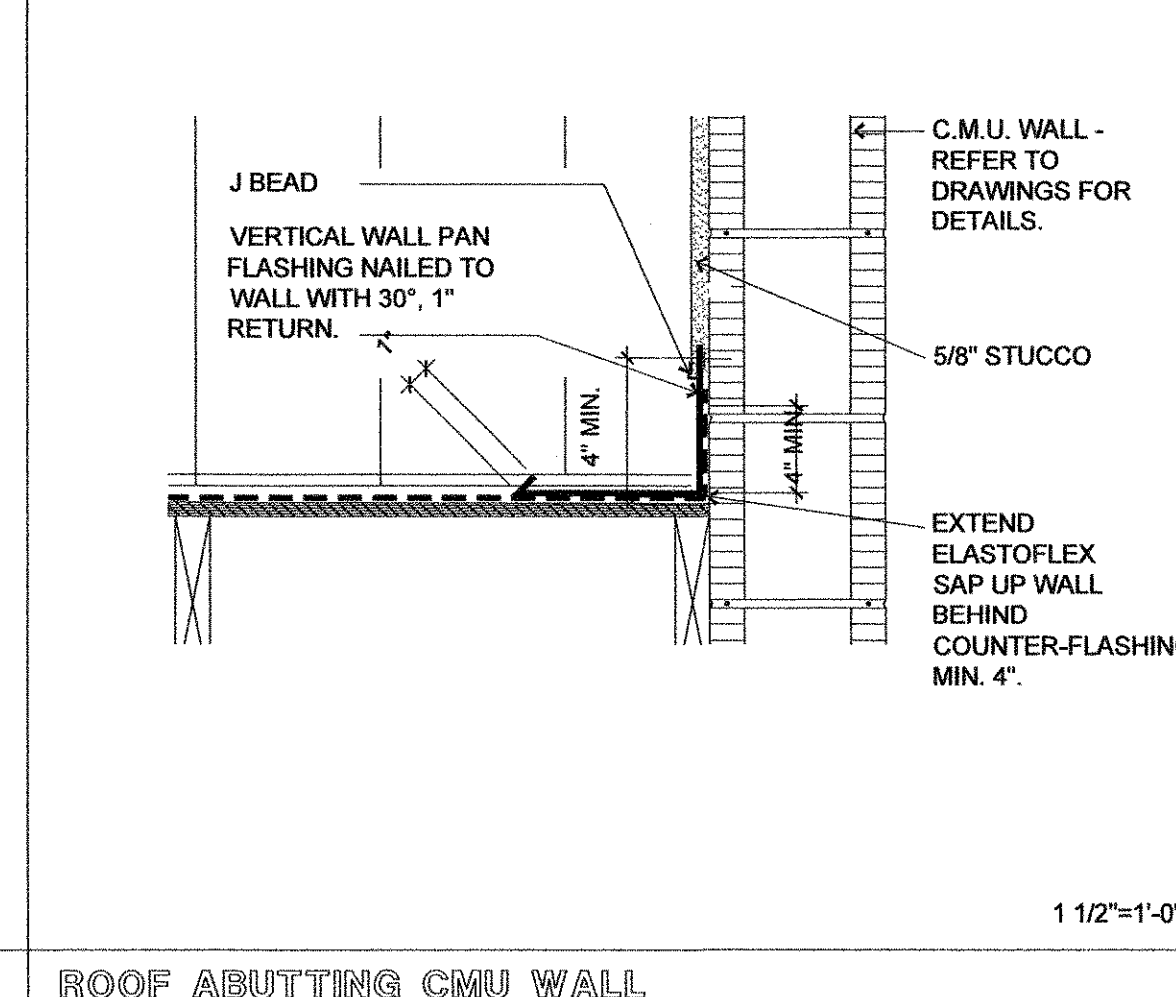
CEILING JOIST ATTACHMENT DETAIL 1-1/2"=1'-0"



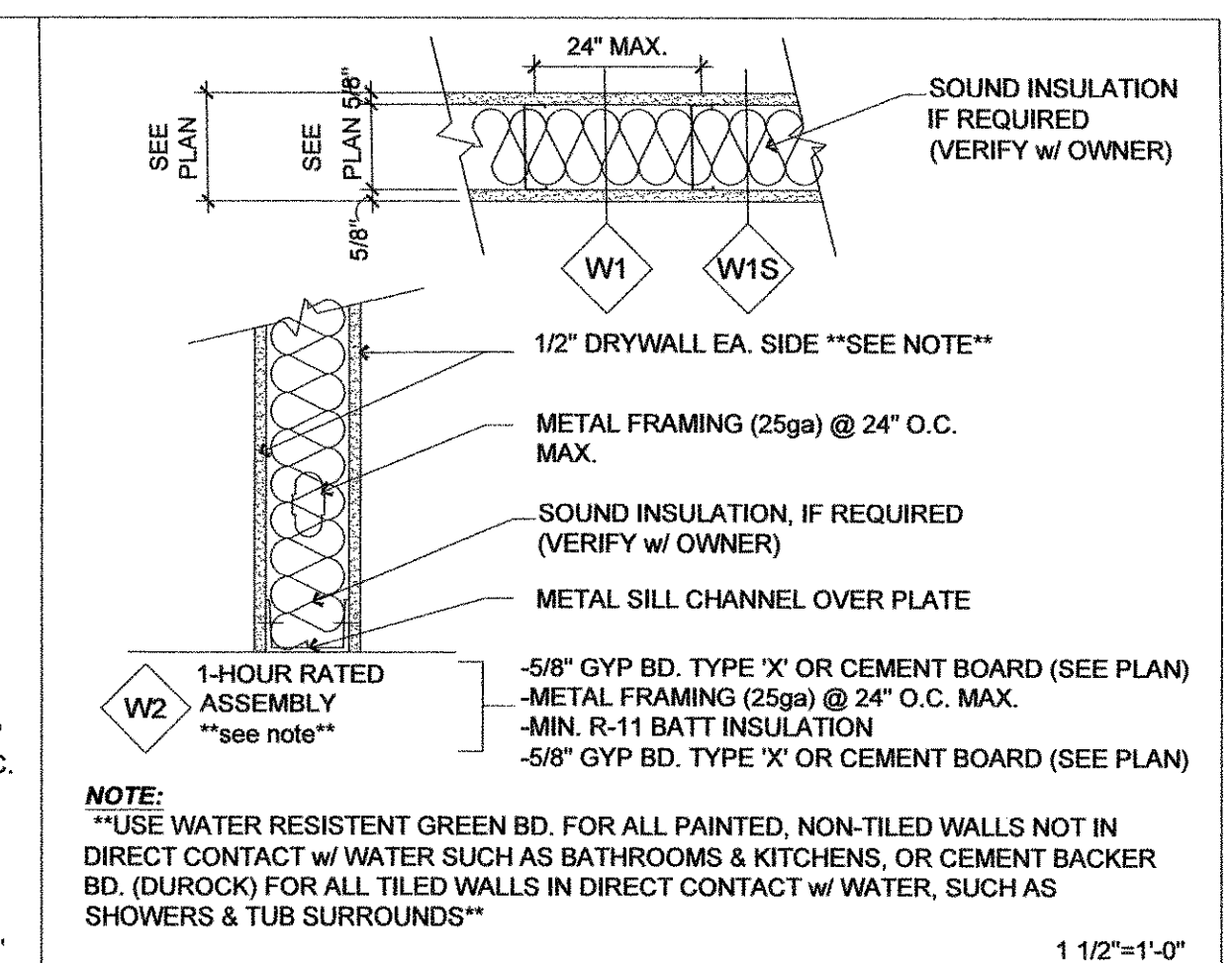
TYPICAL ATTIC ACCESS DETAIL 1-1/2"=1'-0"



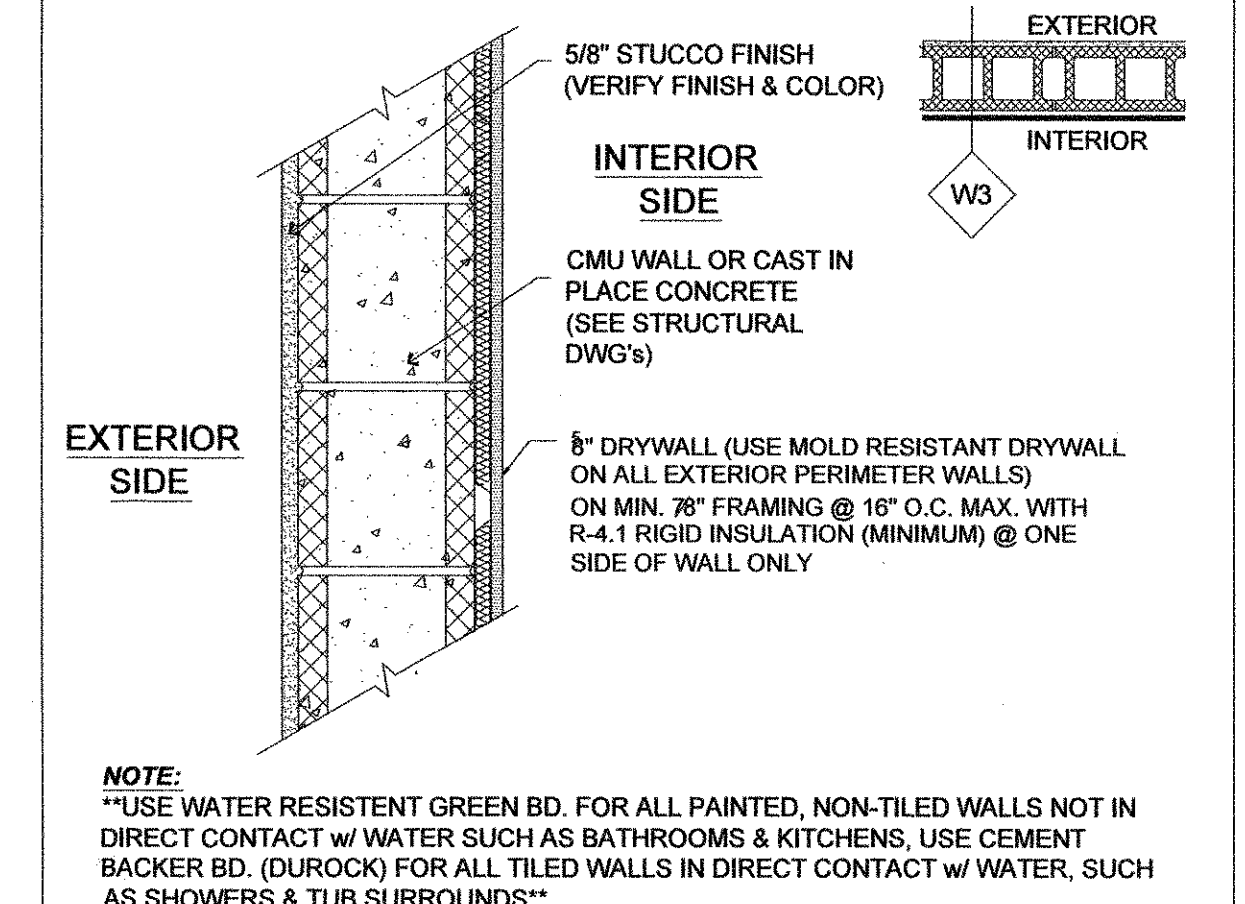
TYPICAL INTERIOR CMU WALL 1-1/2"=1'-0"



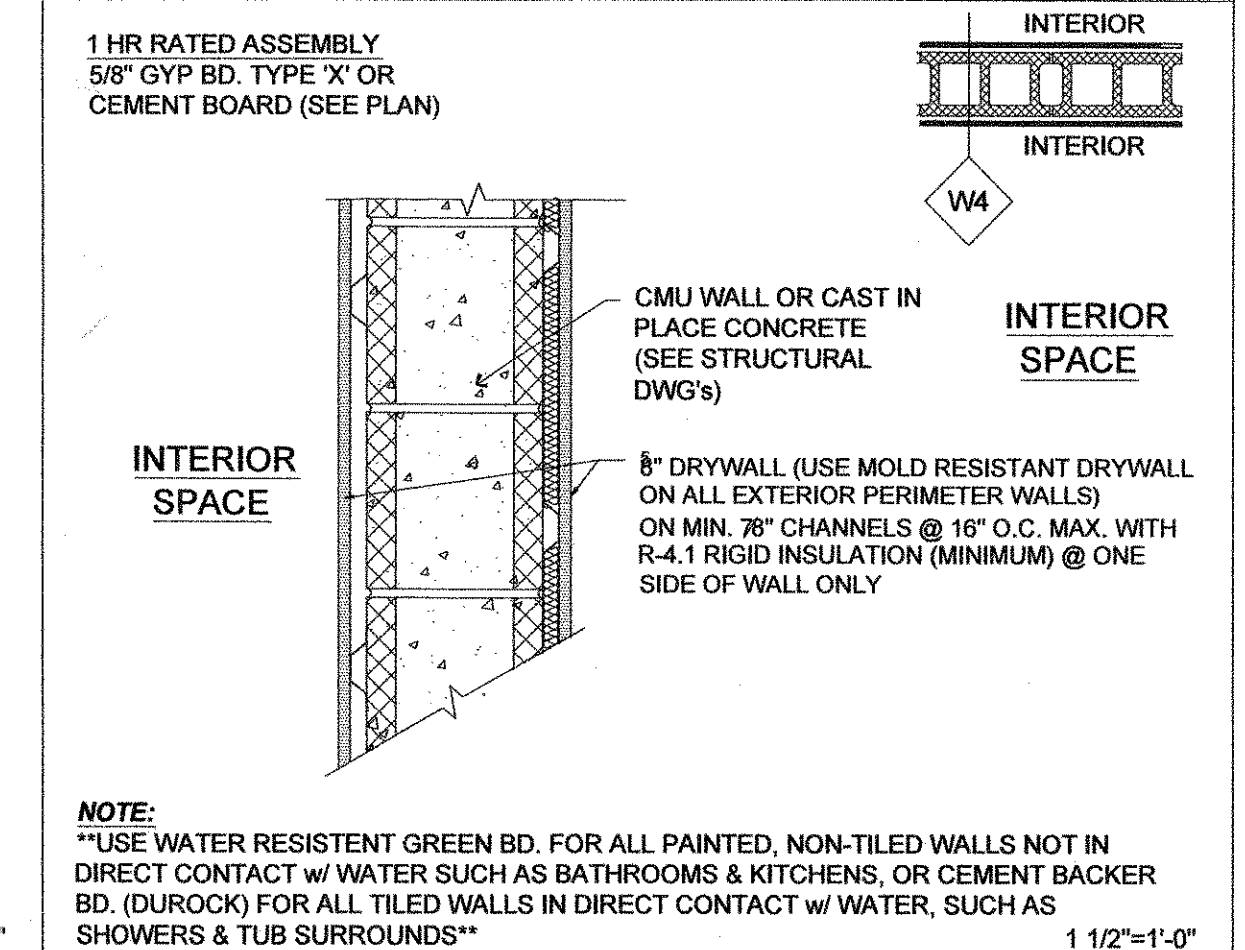
STUD WALL TO CONCRETE WALL DETAIL 1-1/2"=1'-0"



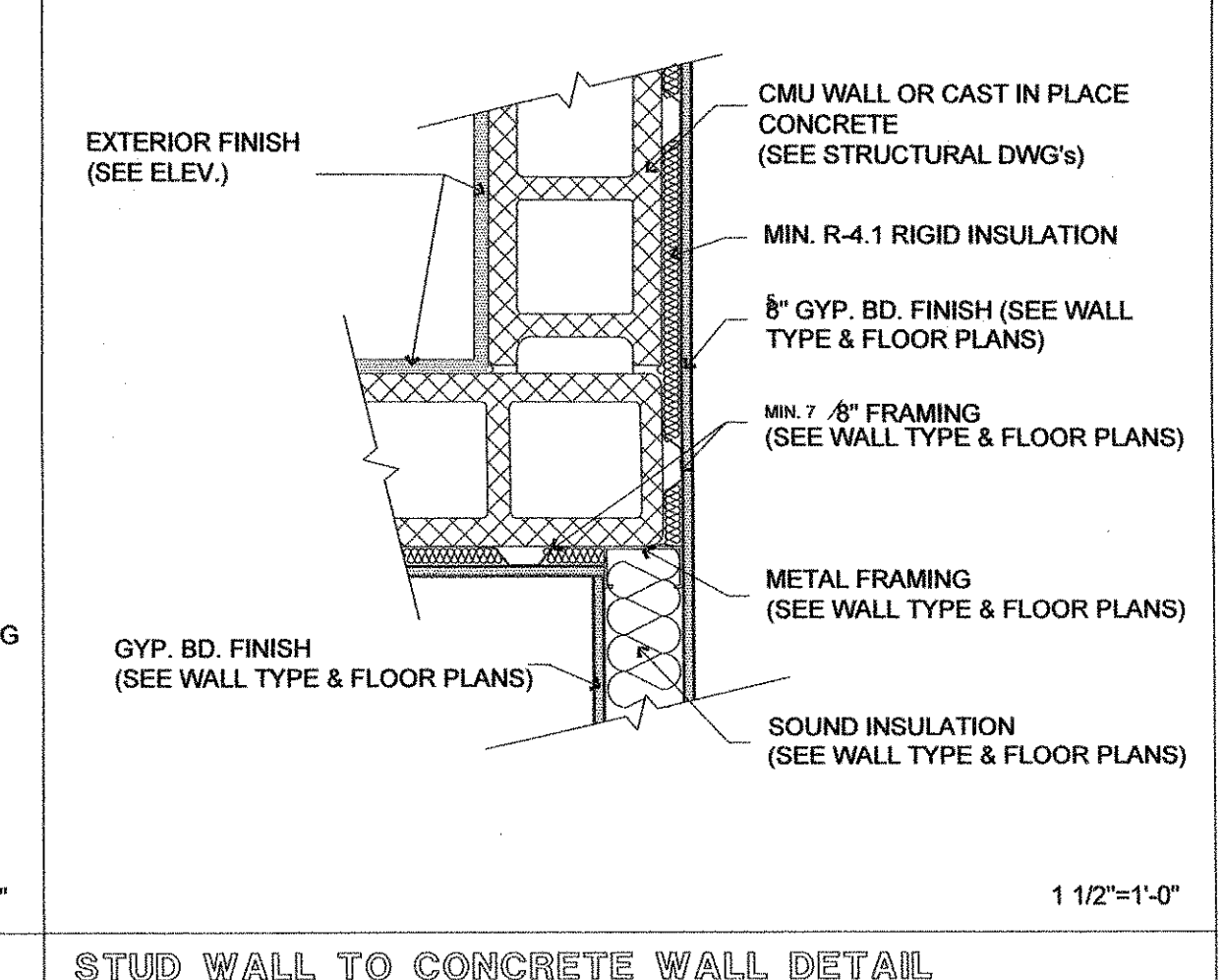
TYPICAL INTERIOR PARTITION WALL 1-1/2"=1'-0"



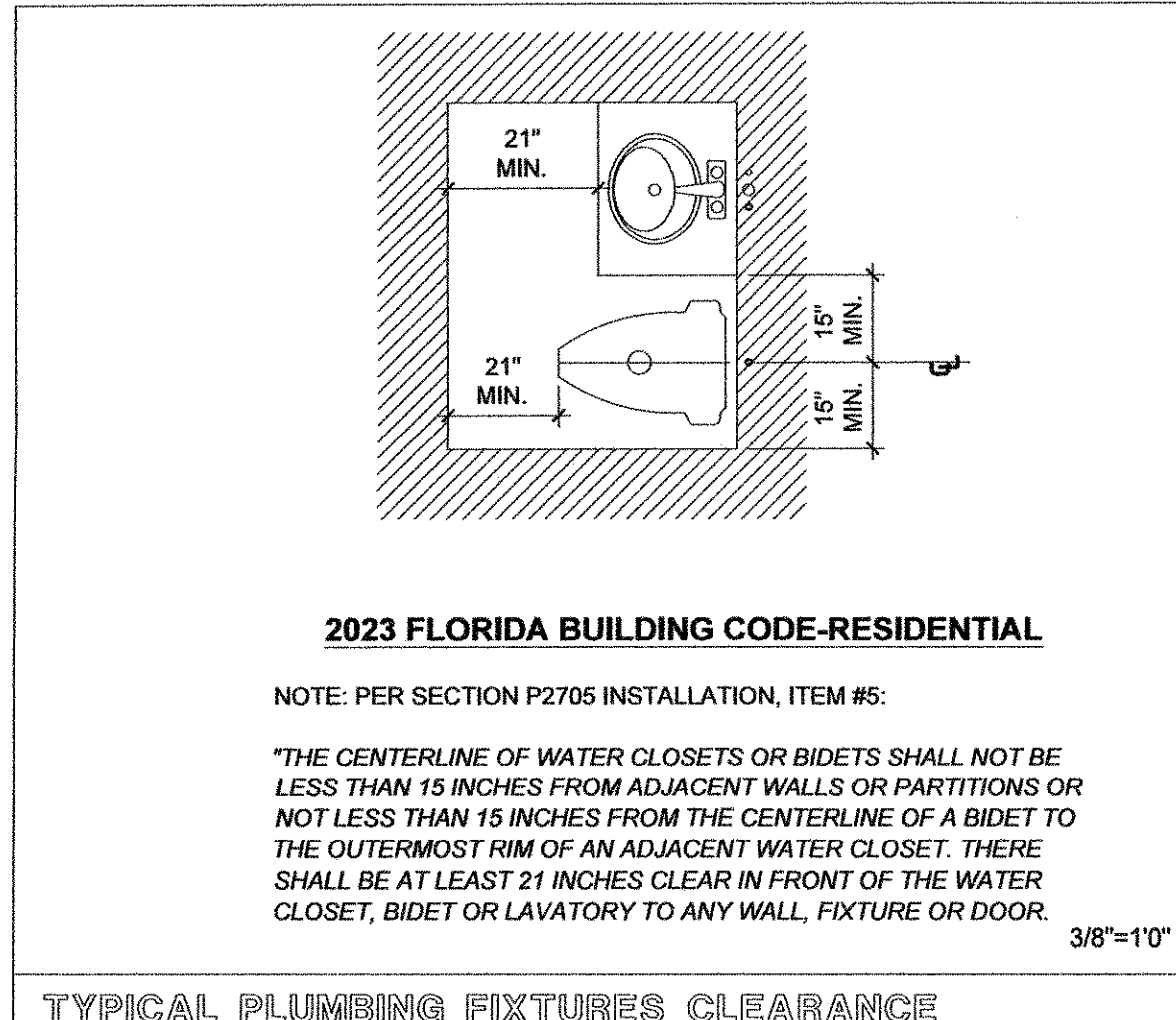
TYPICAL EXTERIOR CMU WALL 1-1/2"=1'-0"



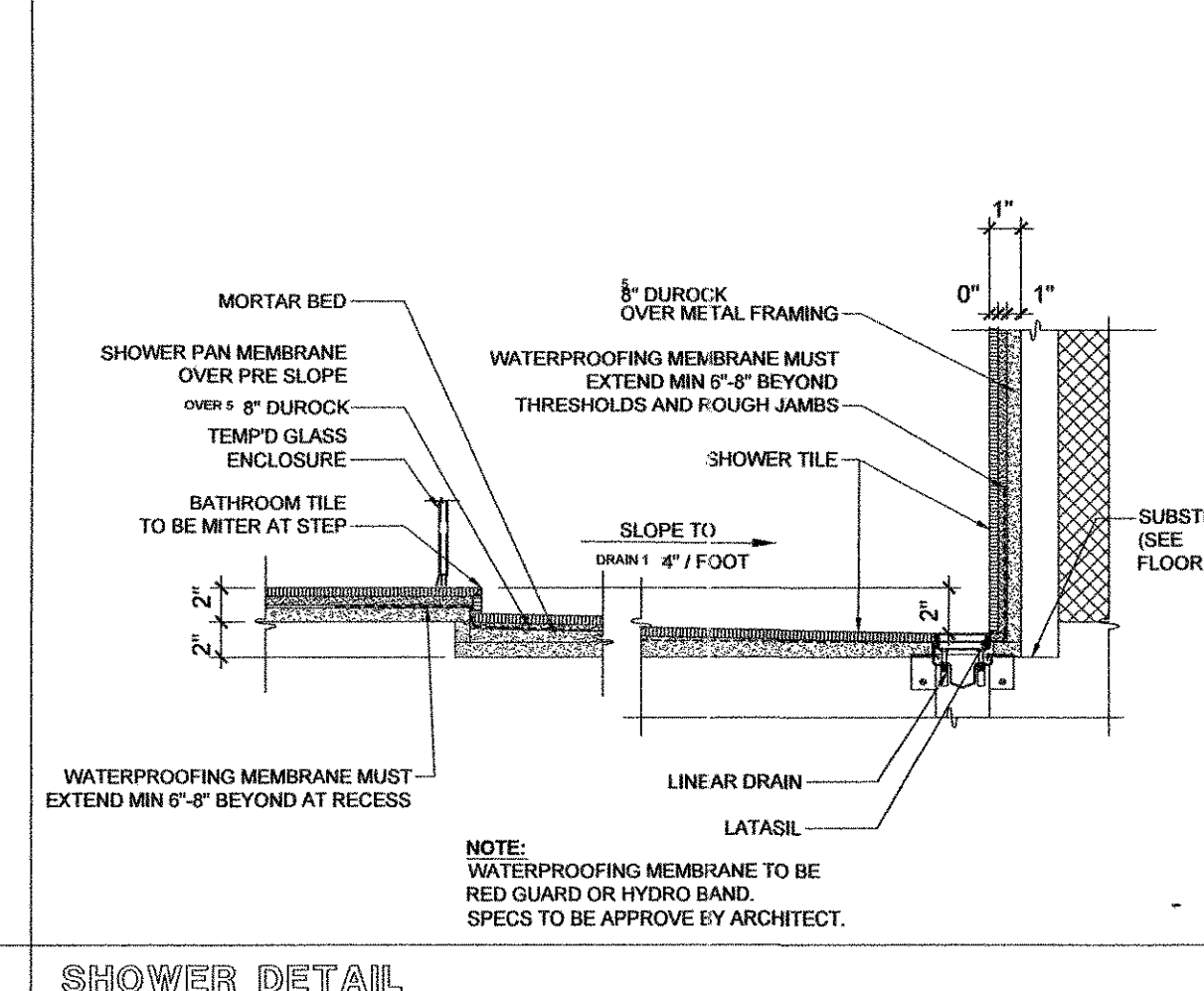
TYPICAL INTERIOR CMU WALL 1-1/2"=1'-0"



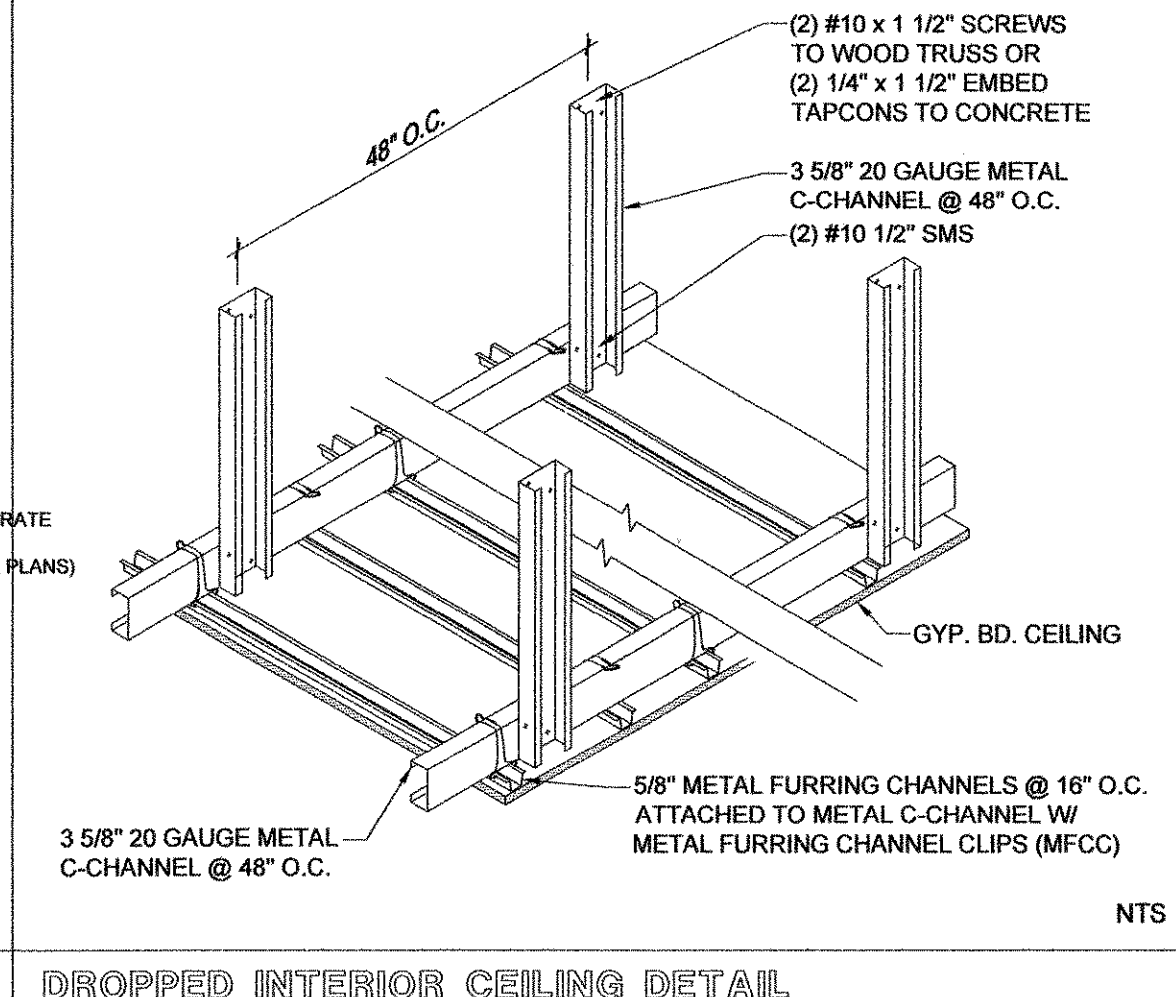
WALL AND CEILING DETAILS 1-1/2"=1'-0"



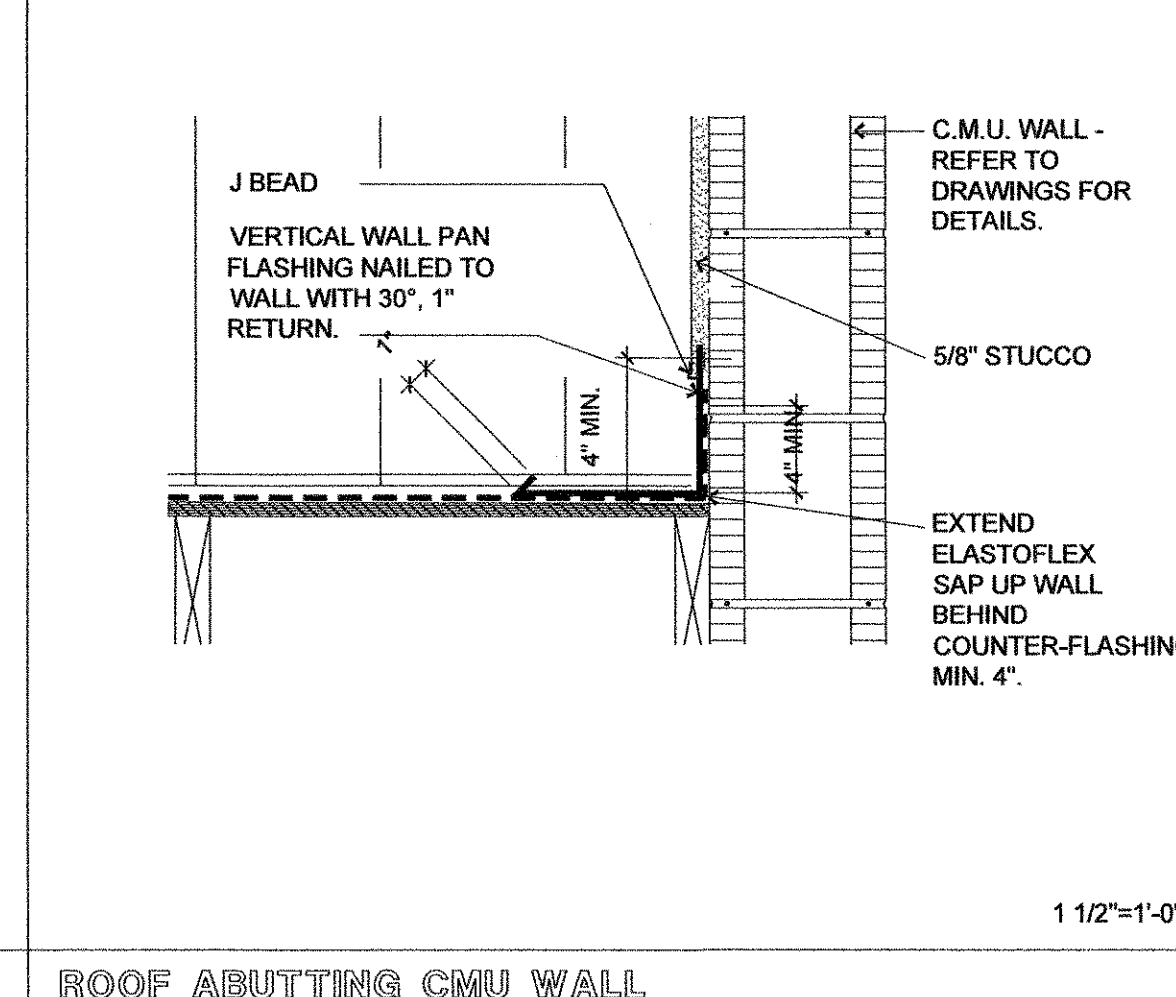
TYPICAL PLUMBING FIXTURES CLEARANCE 3/8"=1'0"



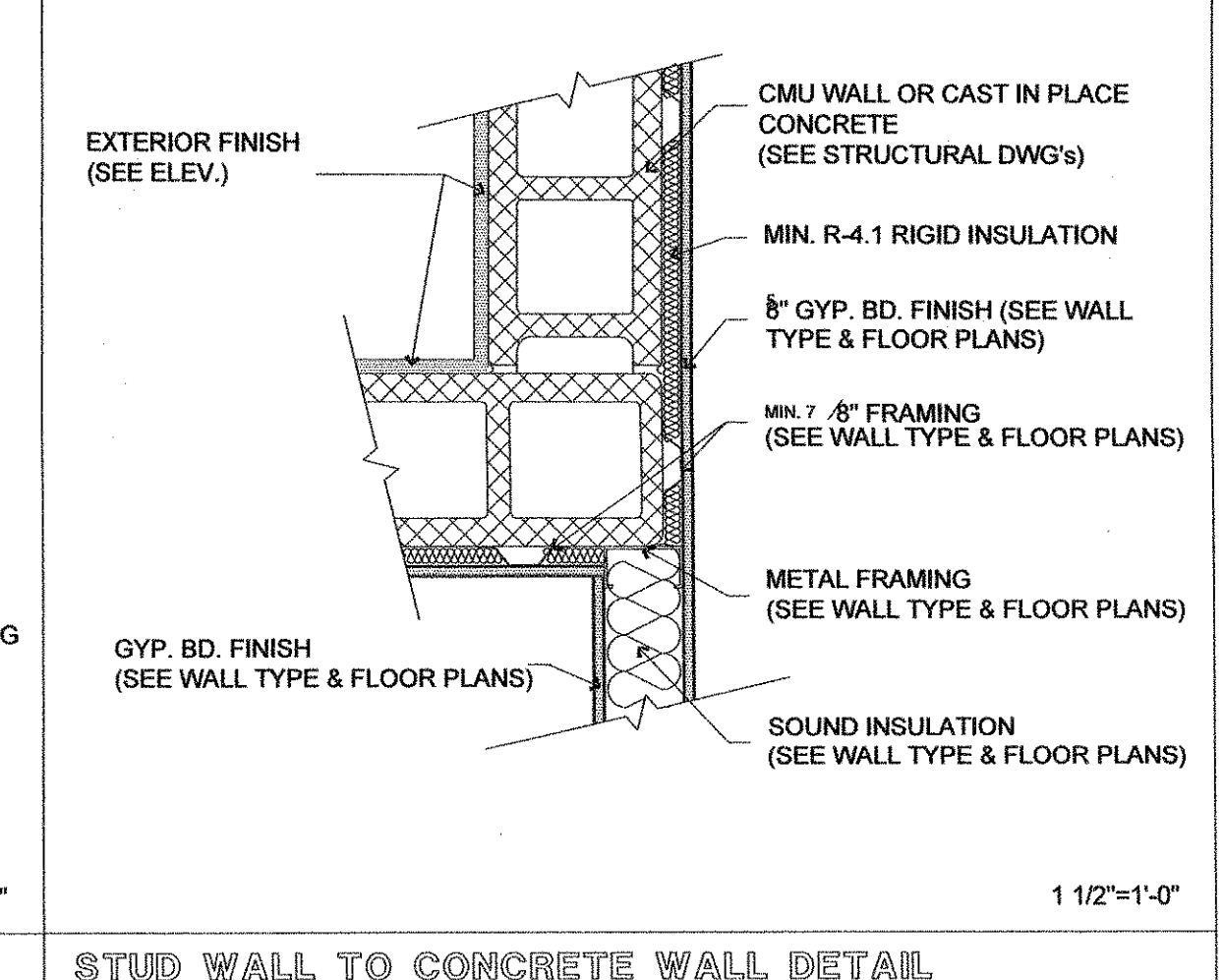
SHOWER DETAIL 3/8"=1'0"



DROPPED INTERIOR CEILING DETAIL 1-1/2"=1'-0"

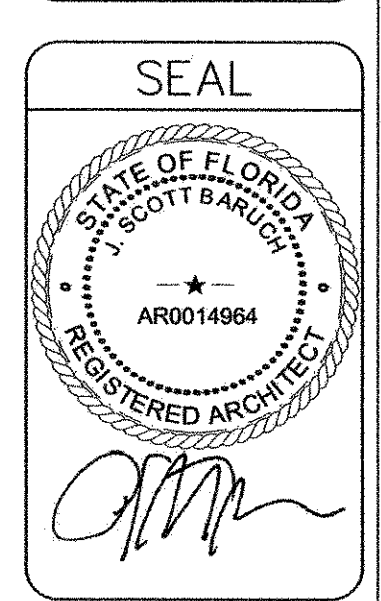


ROOF ABUTTING CMU WALL 1-1/2"=1'-0"



STUD WALL TO CONCRETE WALL DETAIL 1-1/2"=1'-0"

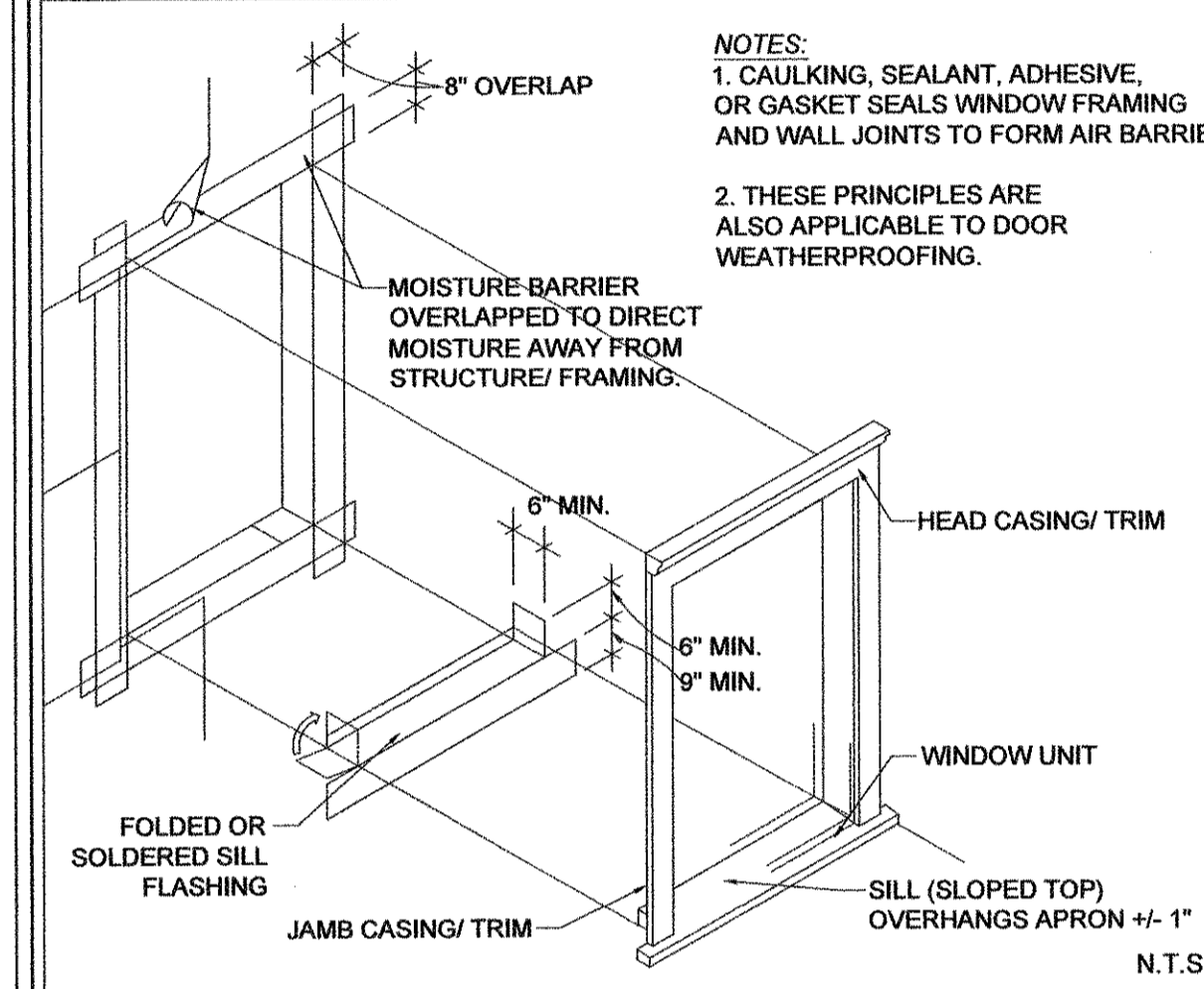
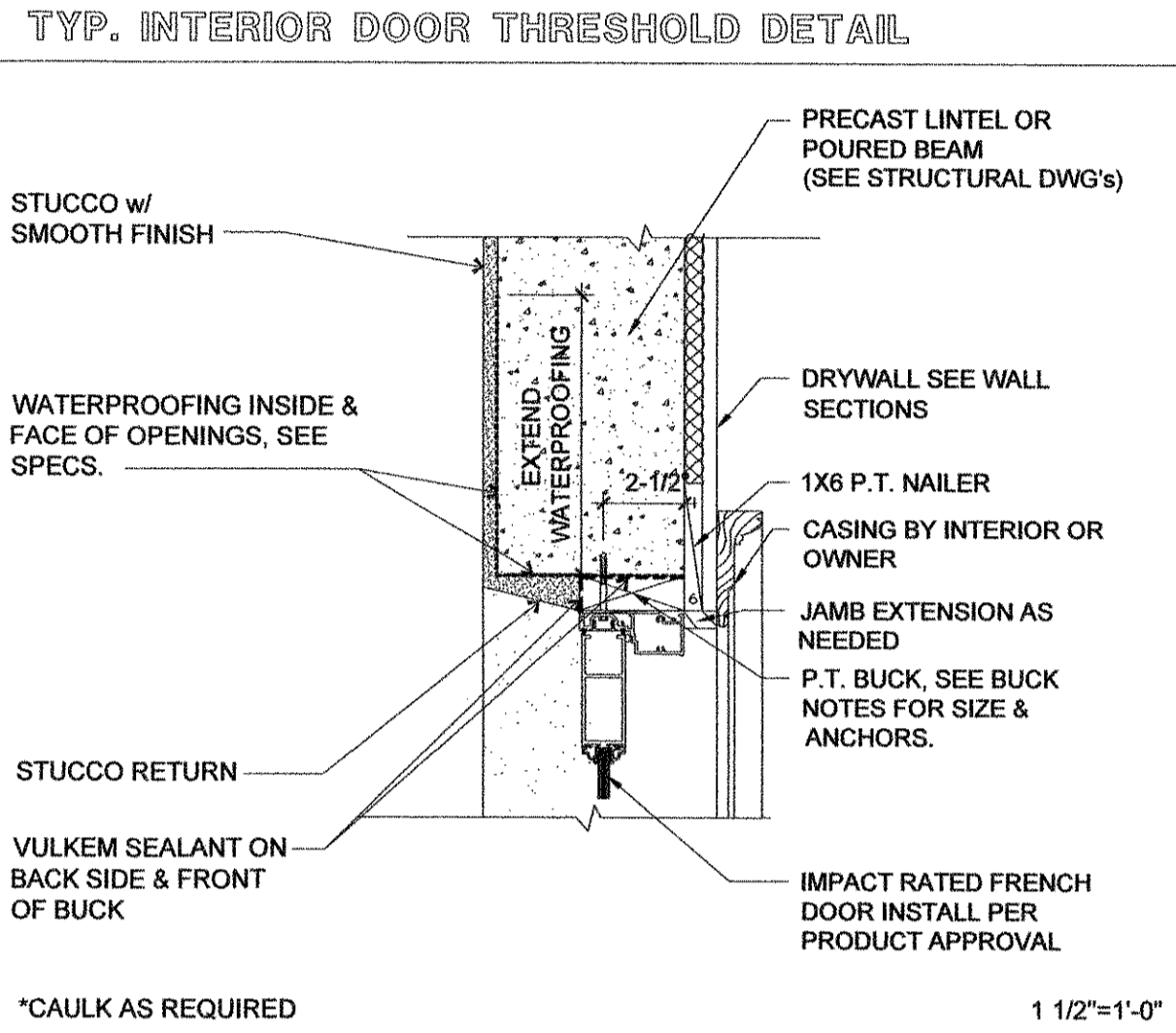
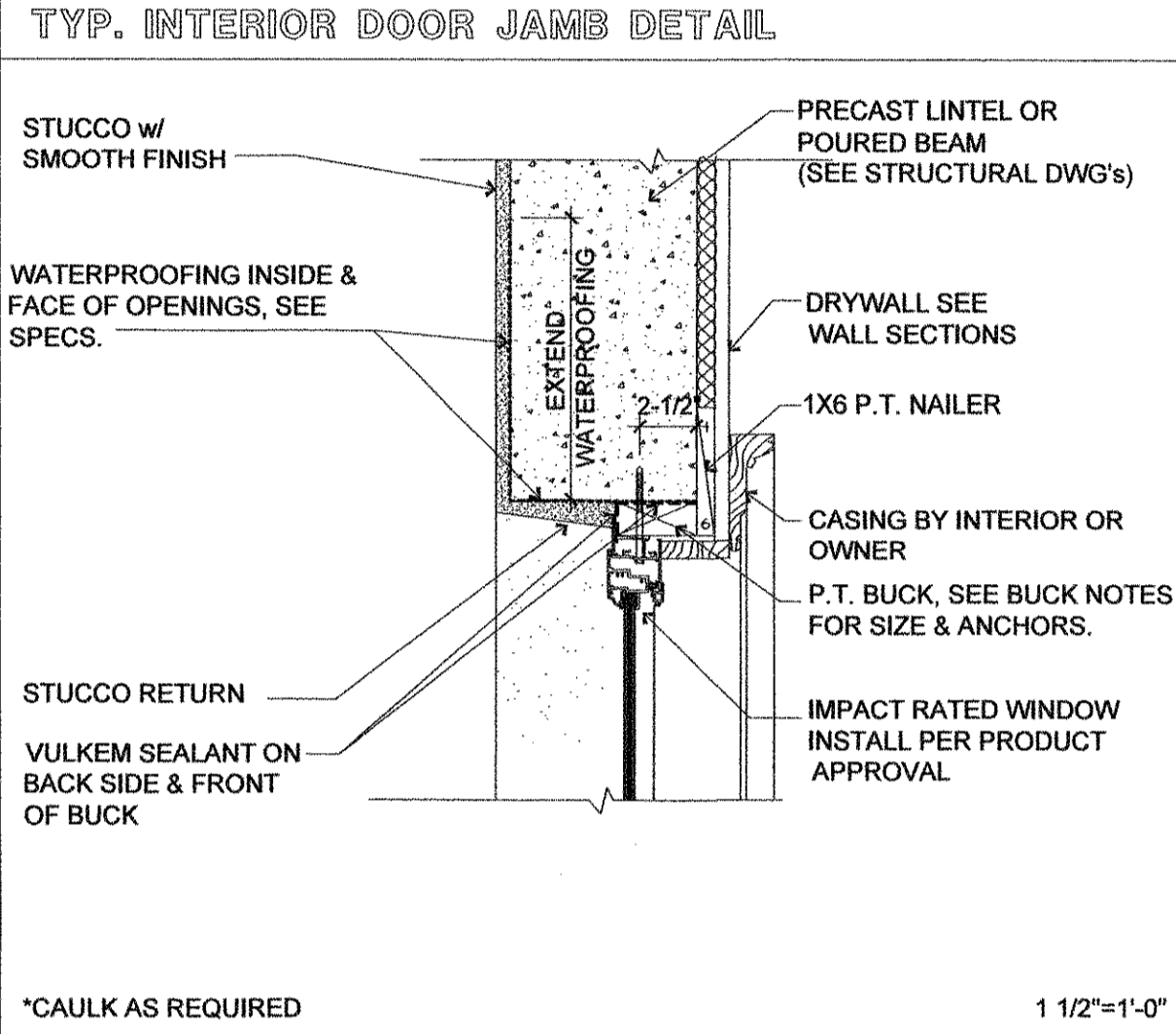
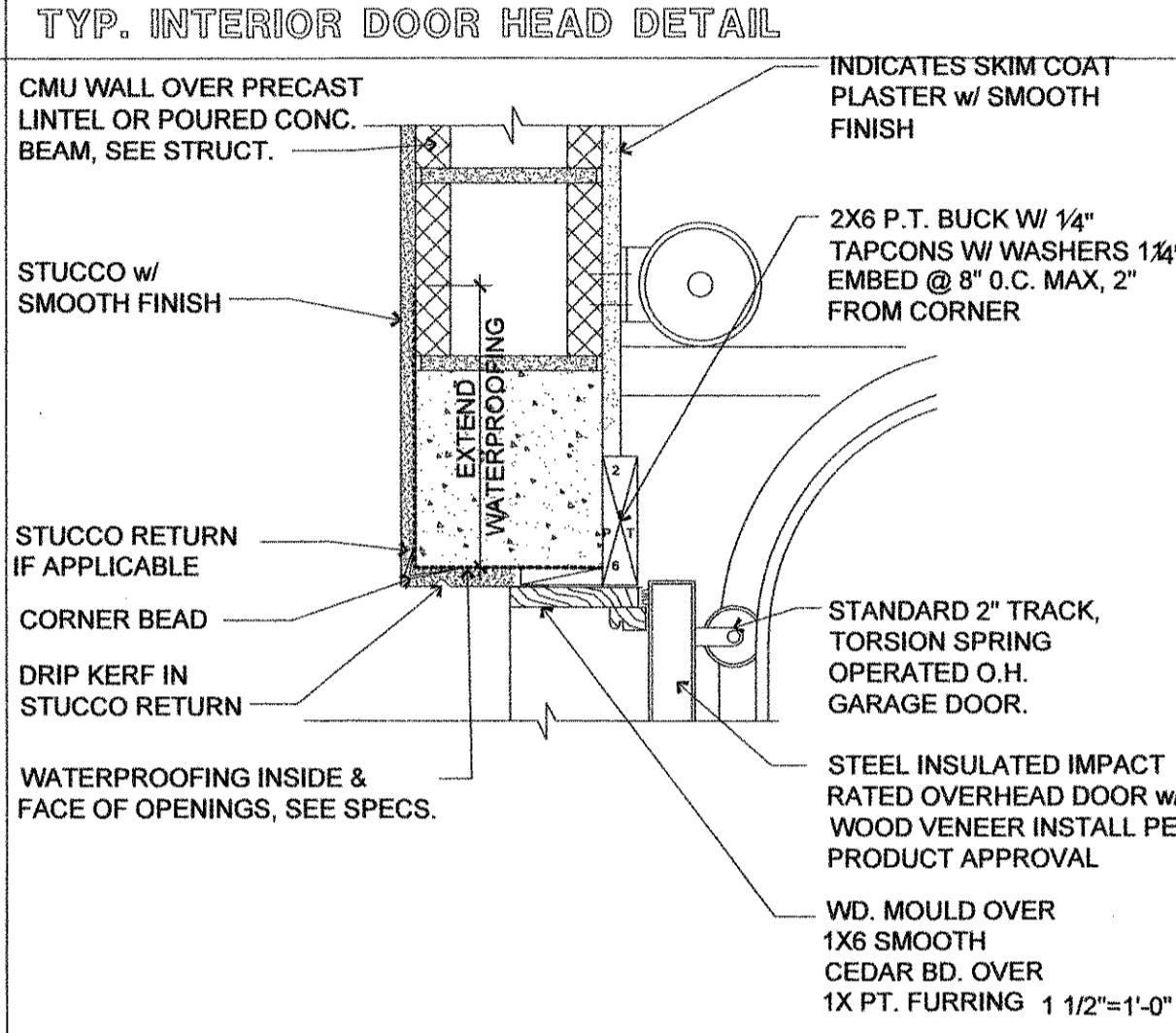
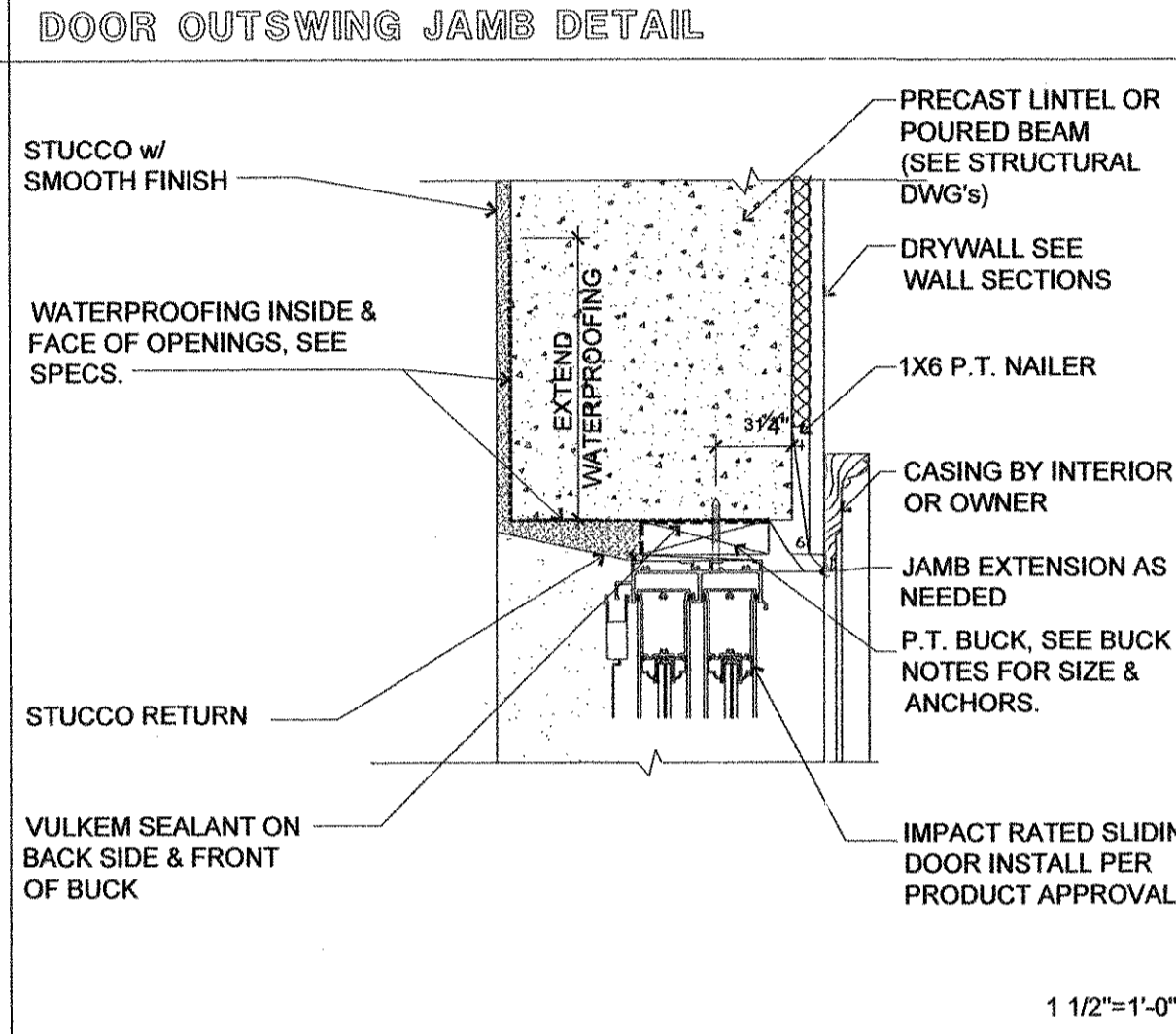
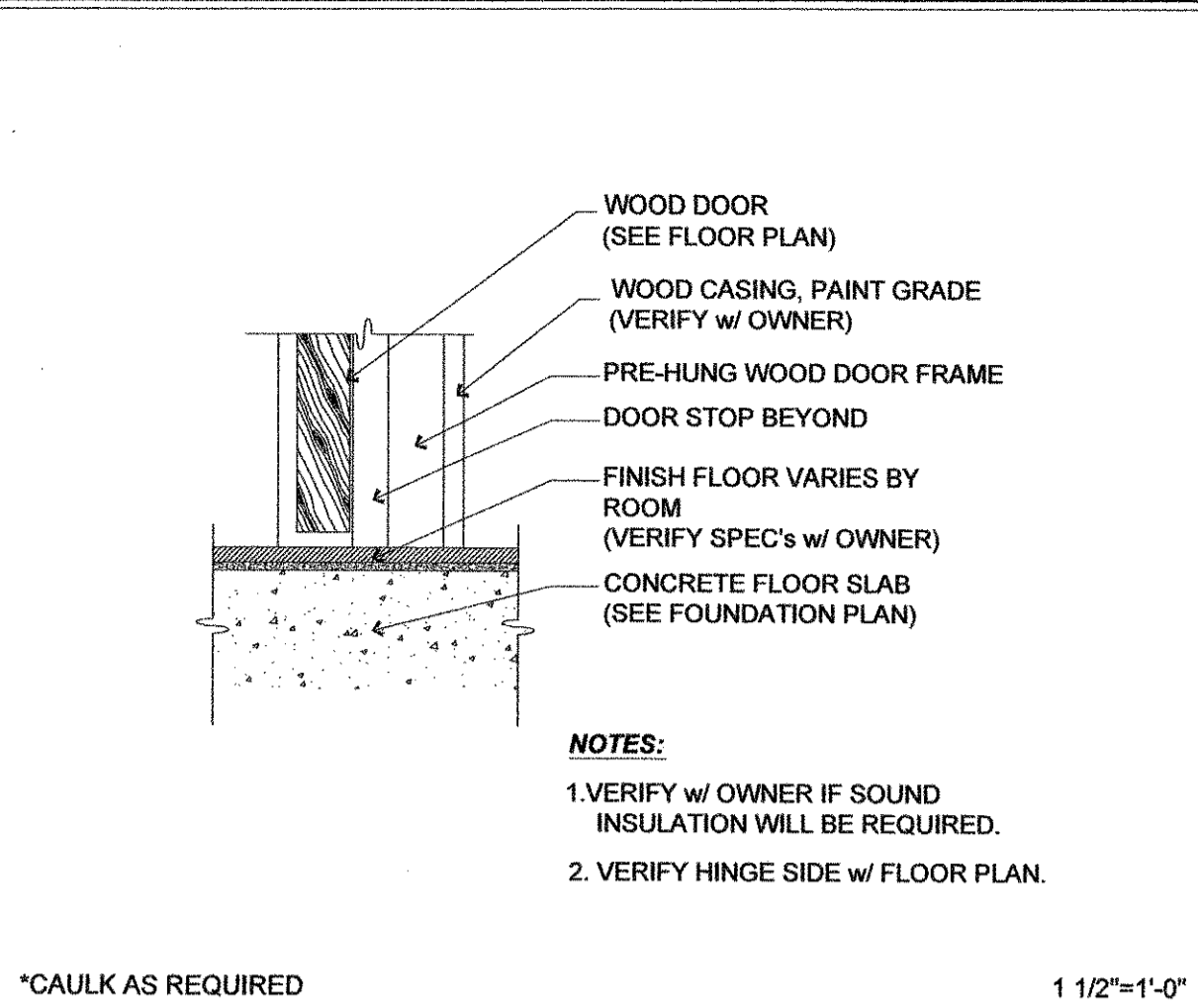
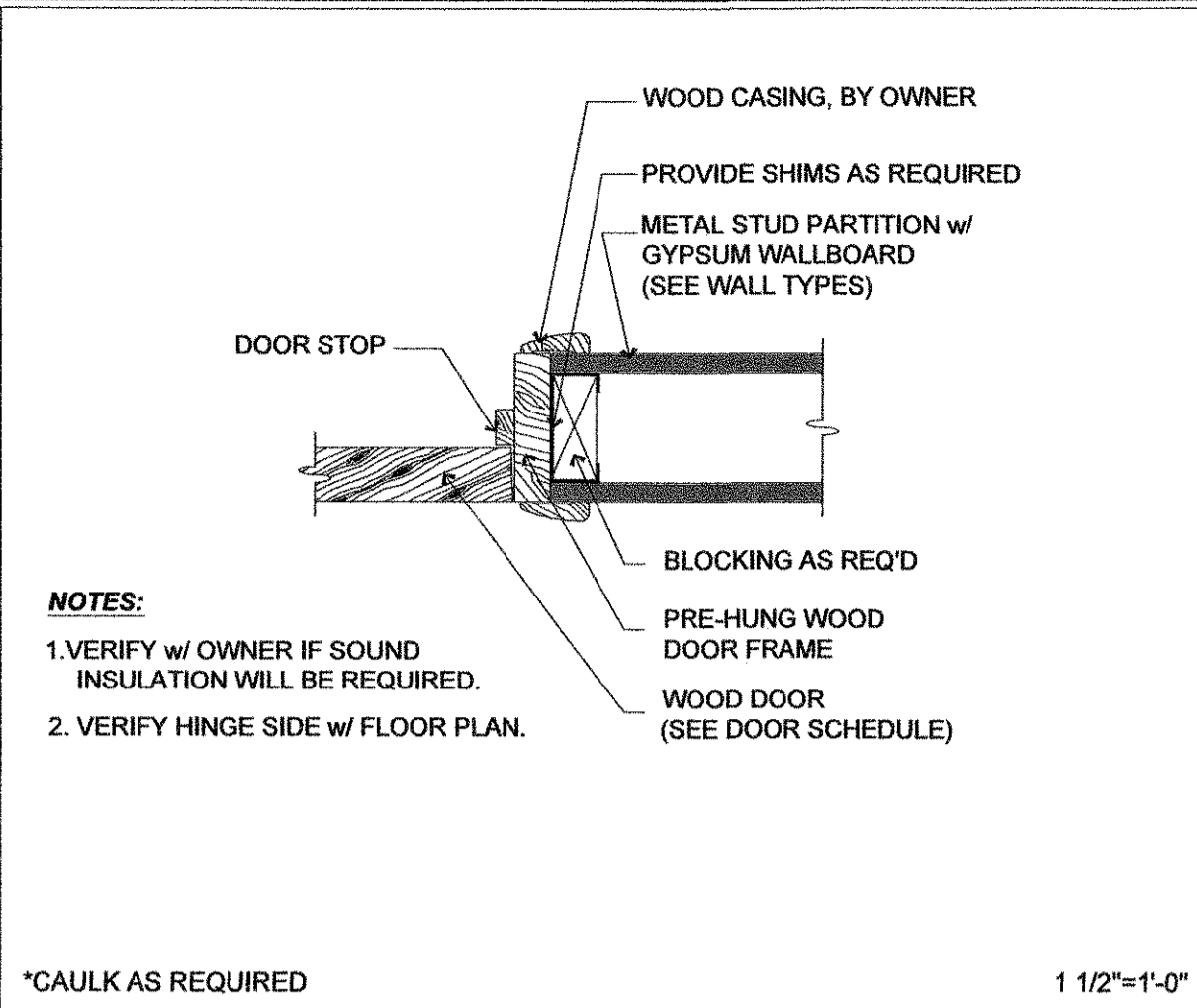
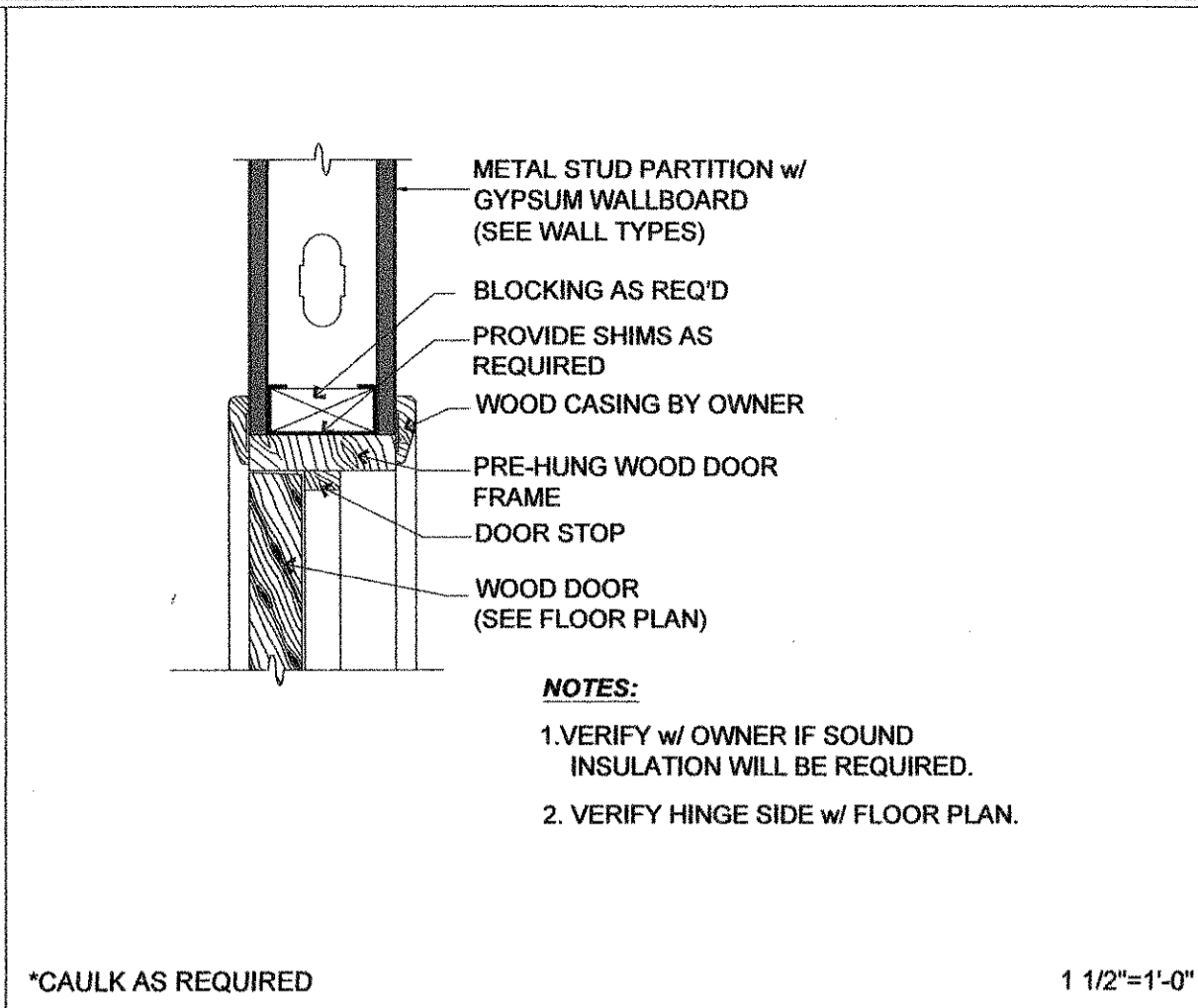
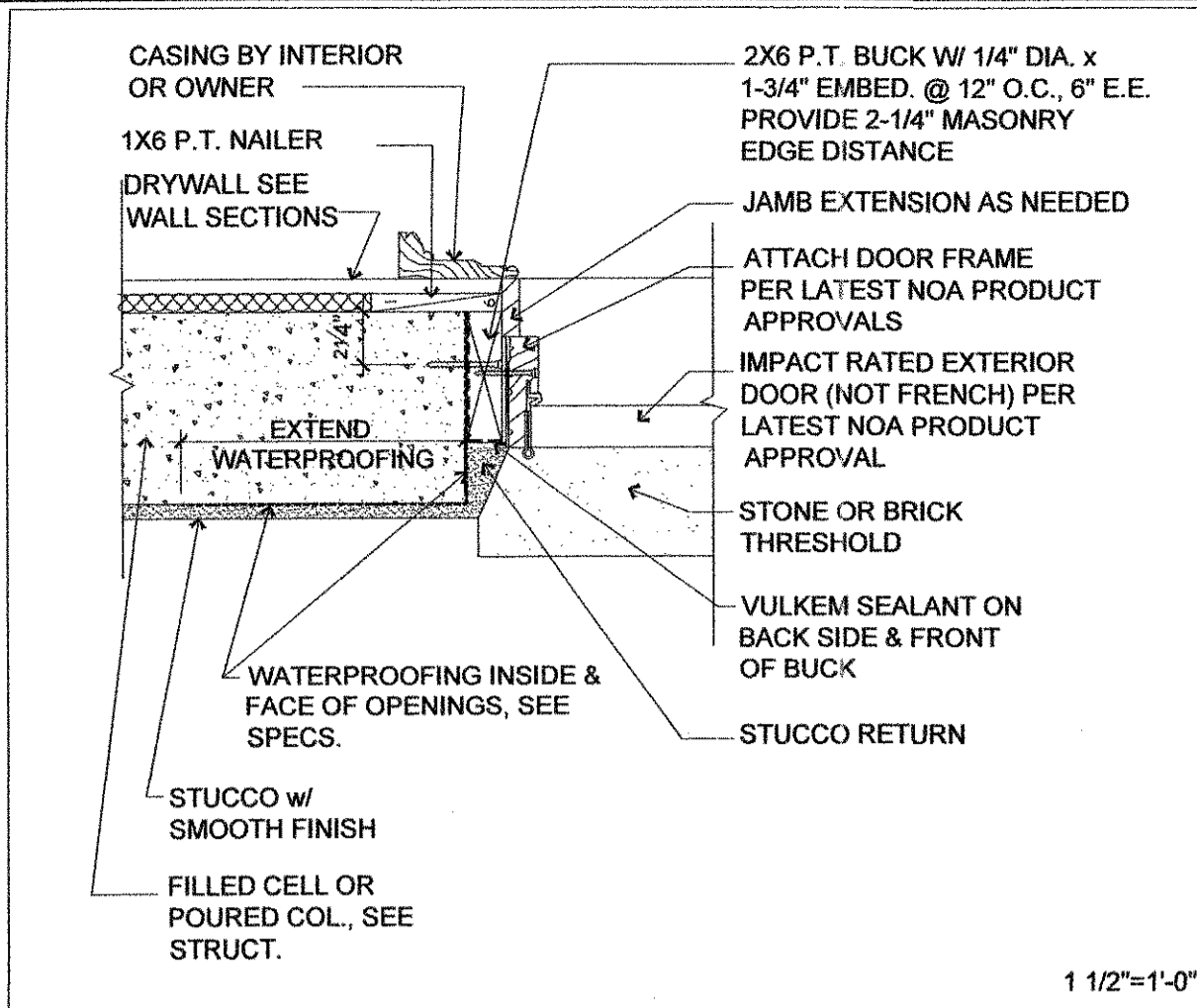
A NEW RESIDENCE @
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J. SCOTT BARUCH
& ASSOCIATES
18360 SE LAKESIDE DR.
JUPITER, FLORIDA
AR-0014964

DRAWN	G.R.C.
CHECKED	J.S.B.
DATE	04-09-24
SCALE	AS SHOWN
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SHEET	

S-7



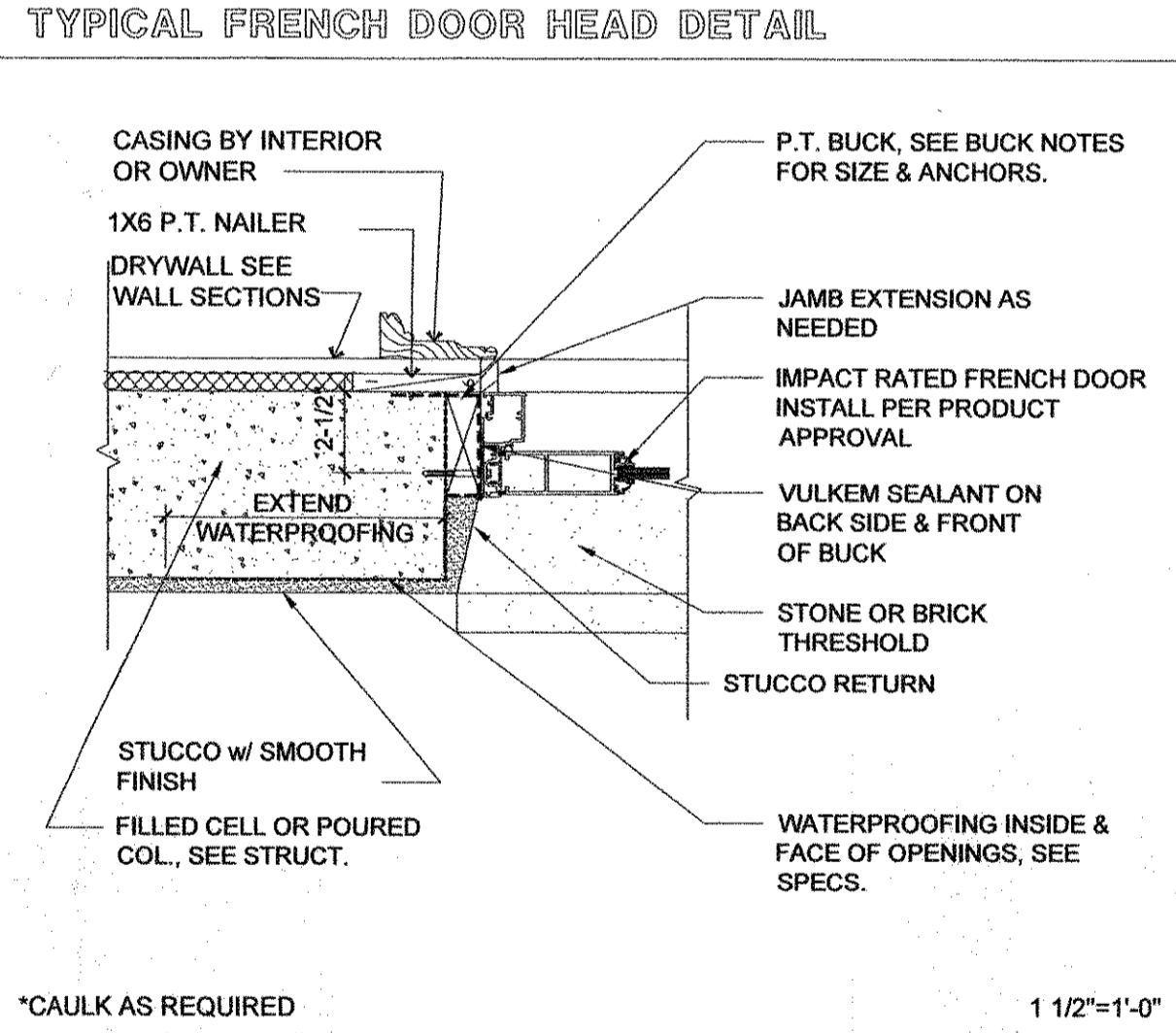
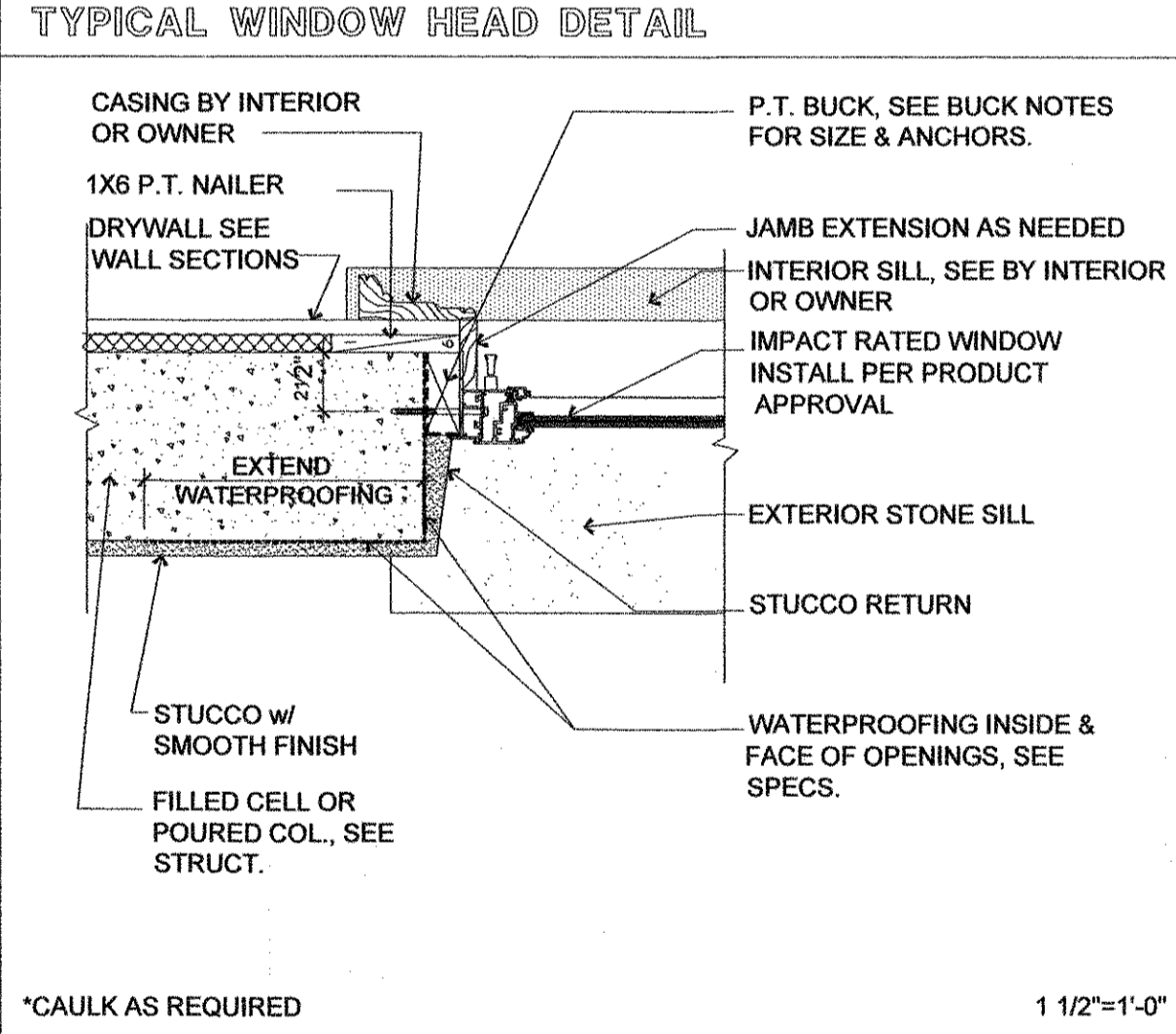
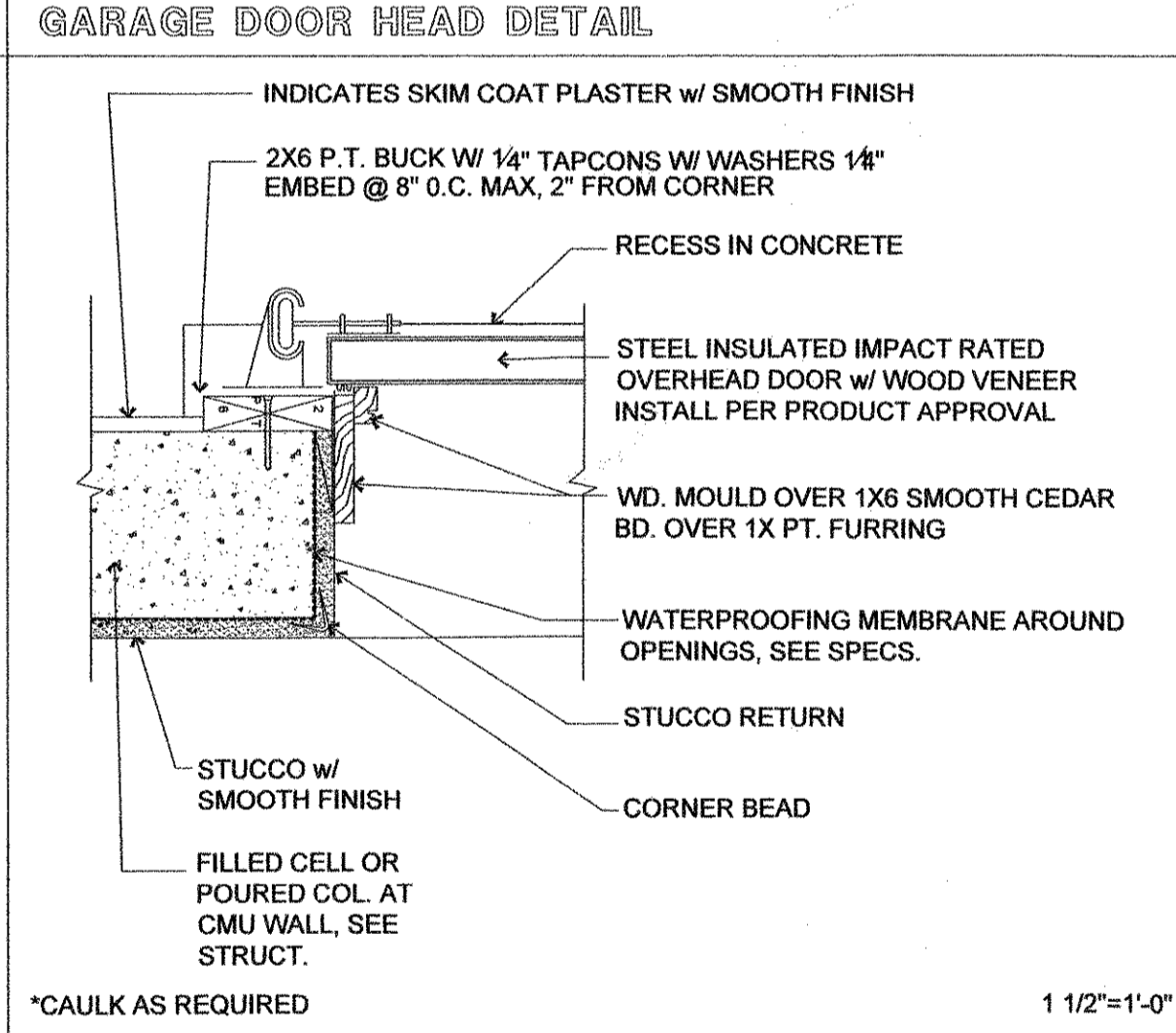
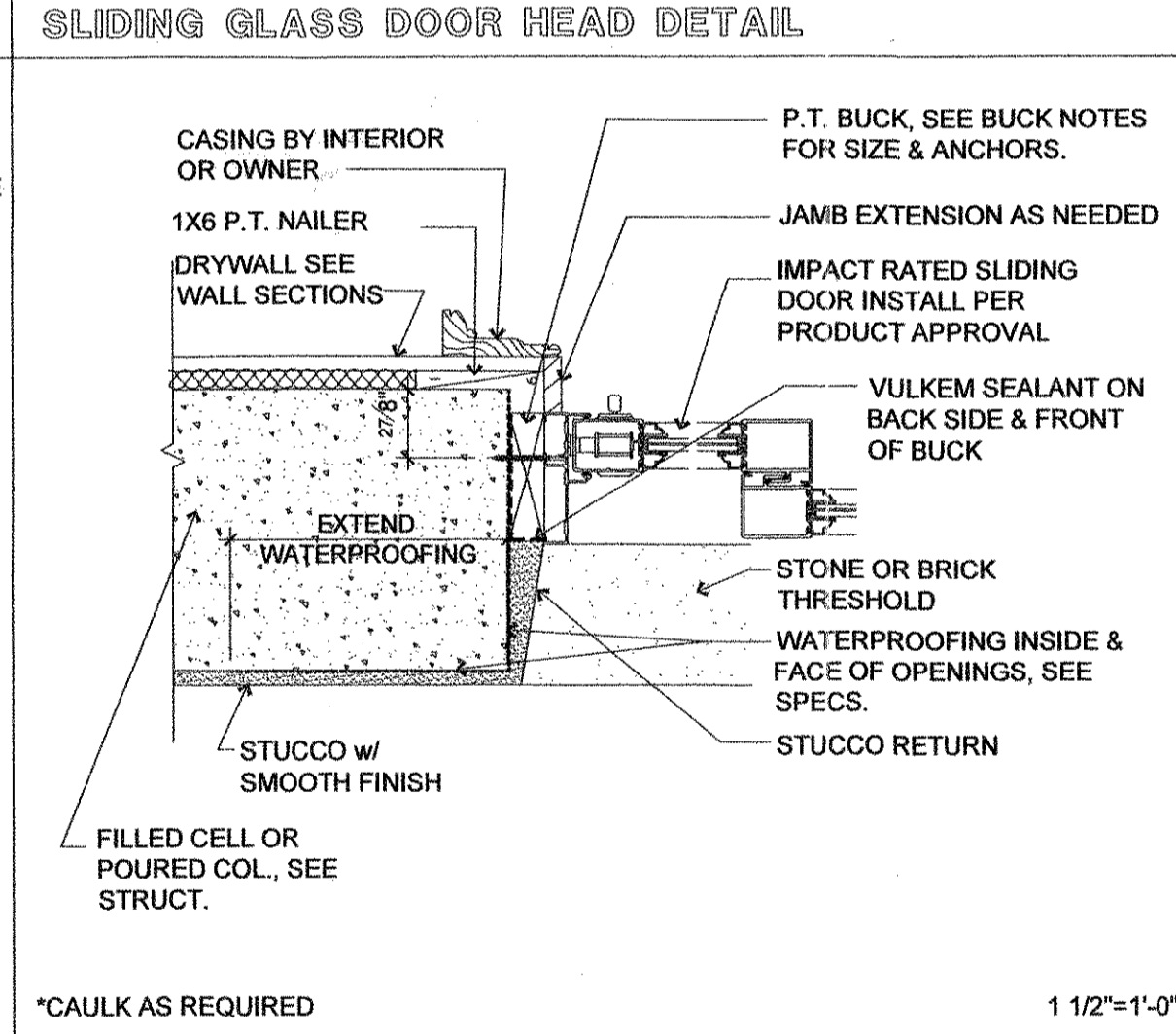
ACCEPTABLE WATERPROOFING

- THOROSEAL MIXED w/ ACRYL 60 WATERPROOFING MEMBRANE AROUND PERIMETER OF ALL WINDOW OPENINGS. EXTEND 9" MIN. AROUND PERIMETER FACE
- VULKEM 350NF R MEMBRANE, 25 WET MILS MINIMUM INSIDE OPENING & 10 WET MILS W/ AGGREGATE FOR STUCCO FINISH. EXTEND 12" MINIMUM AROUND PERIMETER FACE.
- SIKAFLEX 11 FC INSIDE OPENING & W/ AGGREGATE FOR STUCCO FINISH. EXTEND 8" MINIMUM AROUND PERIMETER FACE.

ACCEPTABLE BUCK & ANCHORS

- WINDOWS & DOORS TO USE 2X P.T. BUCKS ANCHORED WITH 3 1/2" x 1/4" TAPCONS 12" O.C. MAX. 6" FROM CORNER
- WINDOWS & DOORS TO USE 1X P.T. BUCKS ANCHORED WITH 1 1/2" COIL NAIL @ 8" O.C. WINDOWS & DOORS ANCHORS TO BE THRU THE BUCK INTO THE THE STRUCTURE PER NOA REQUIREMENT.

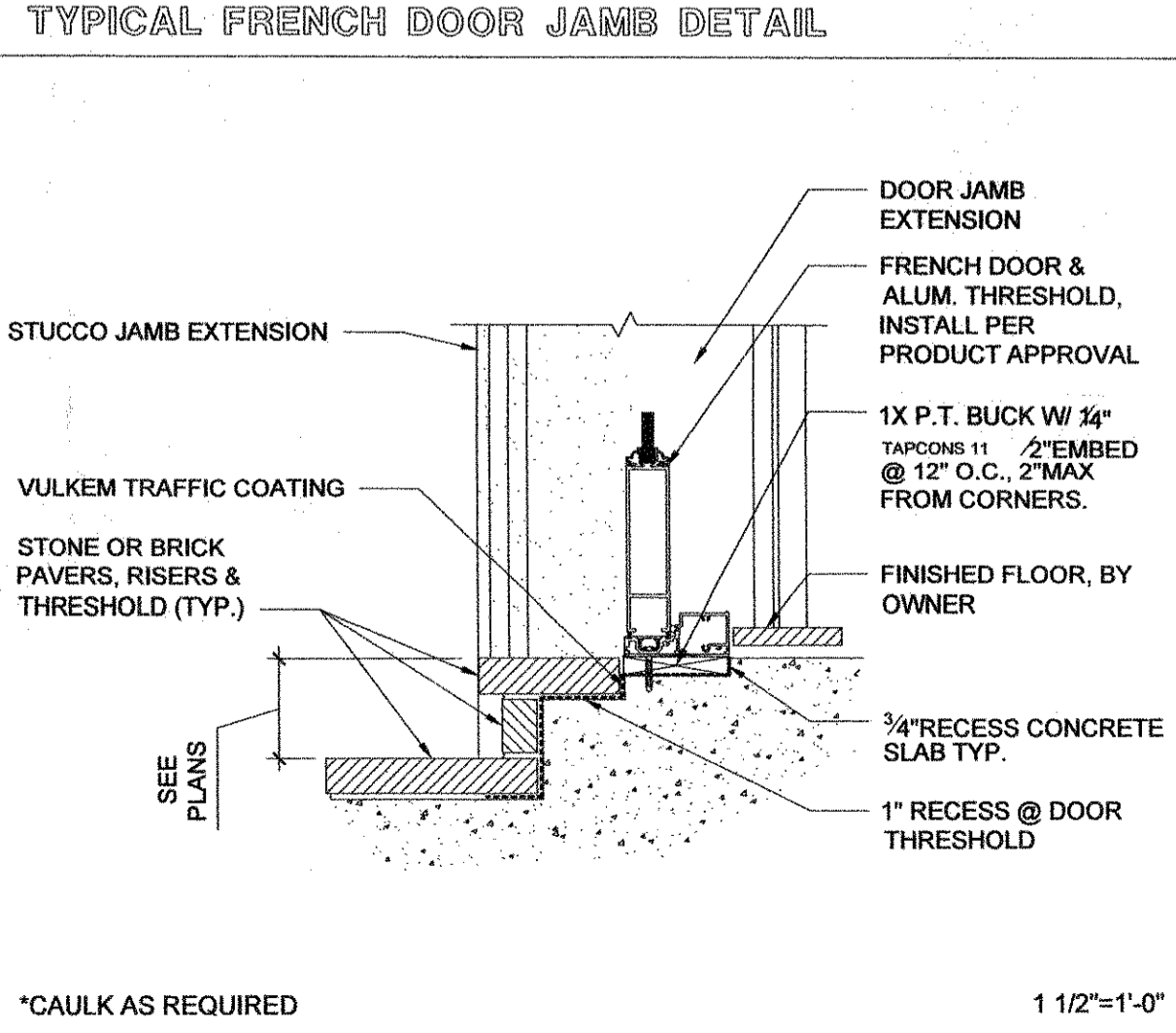
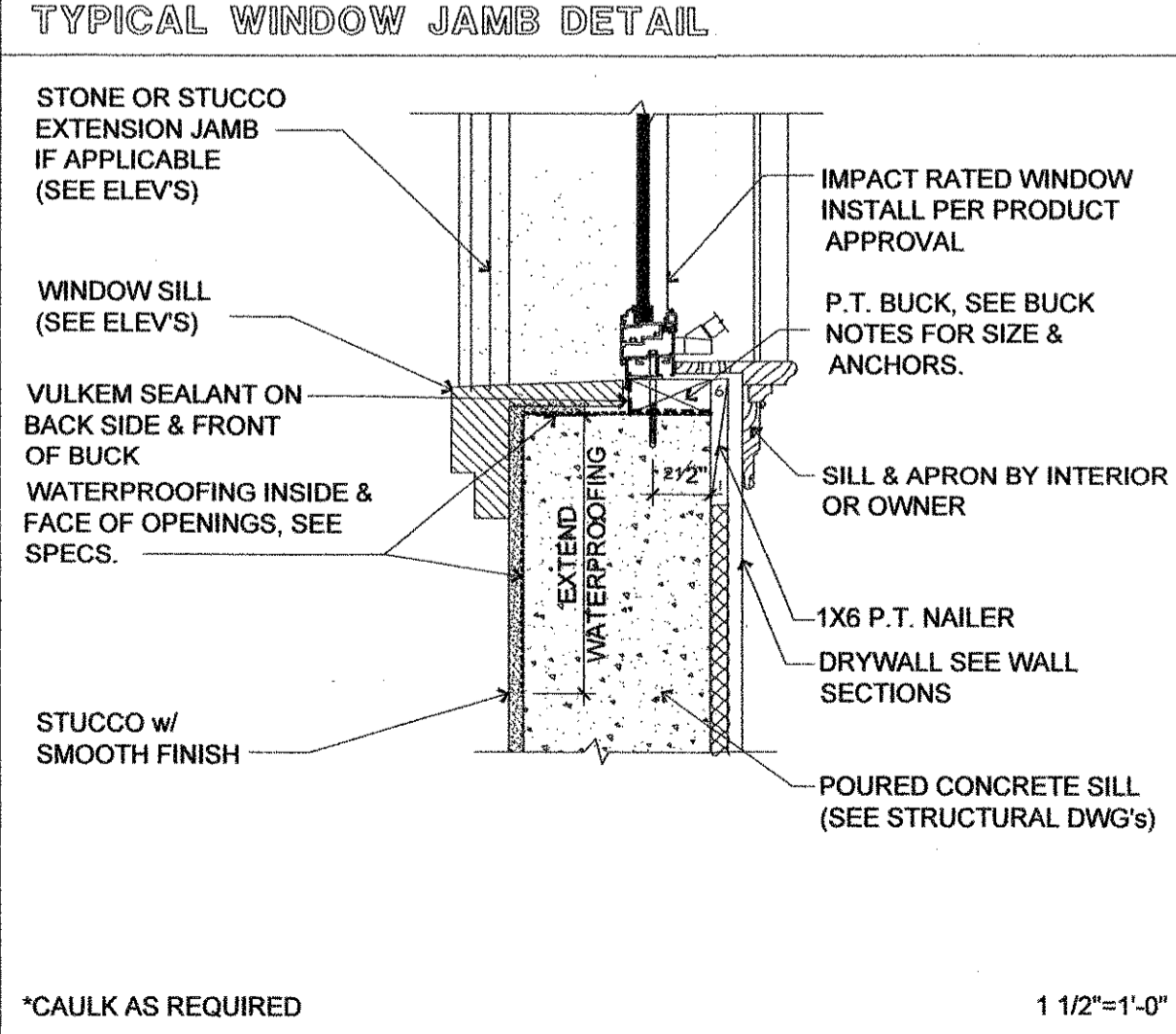
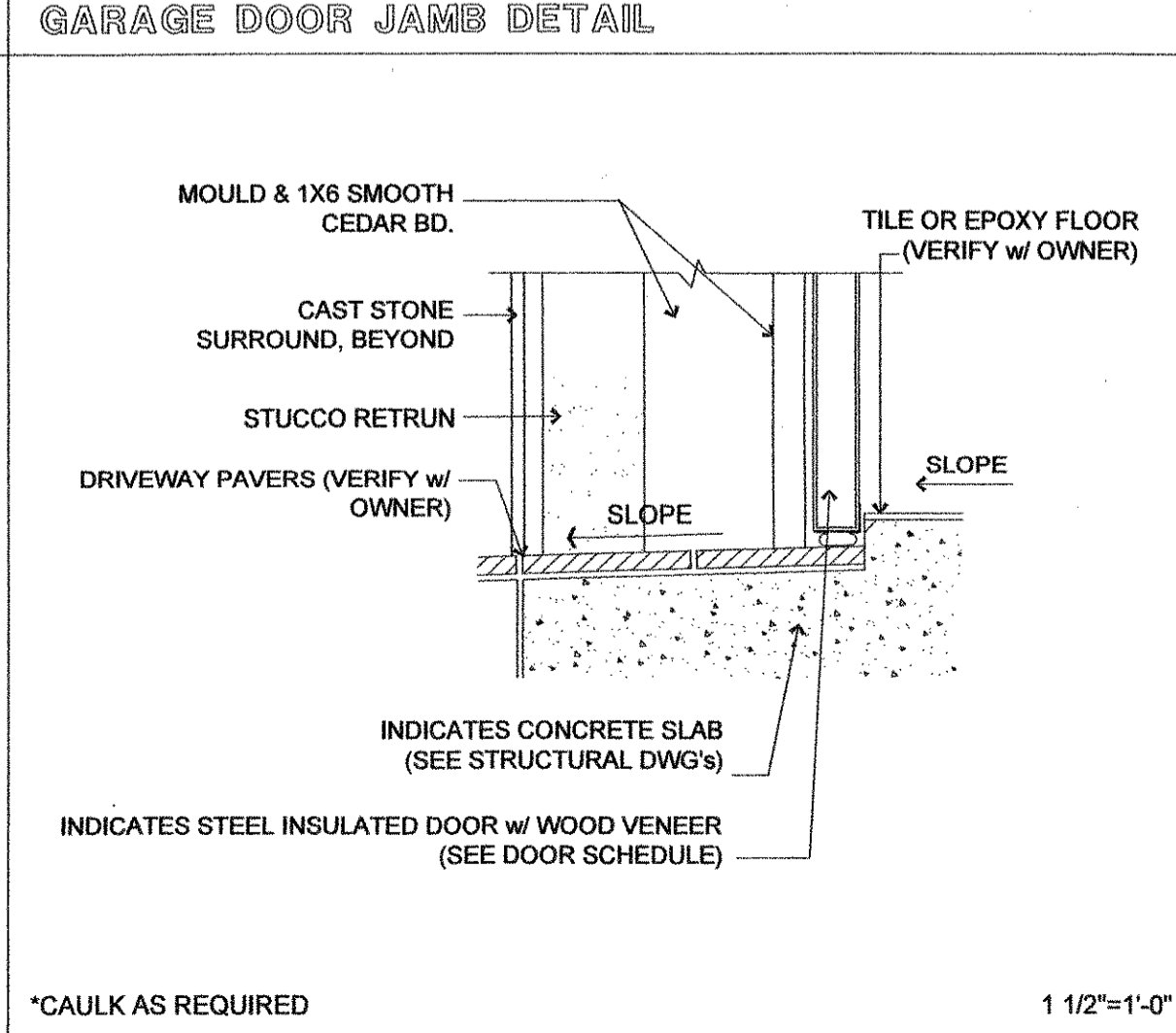
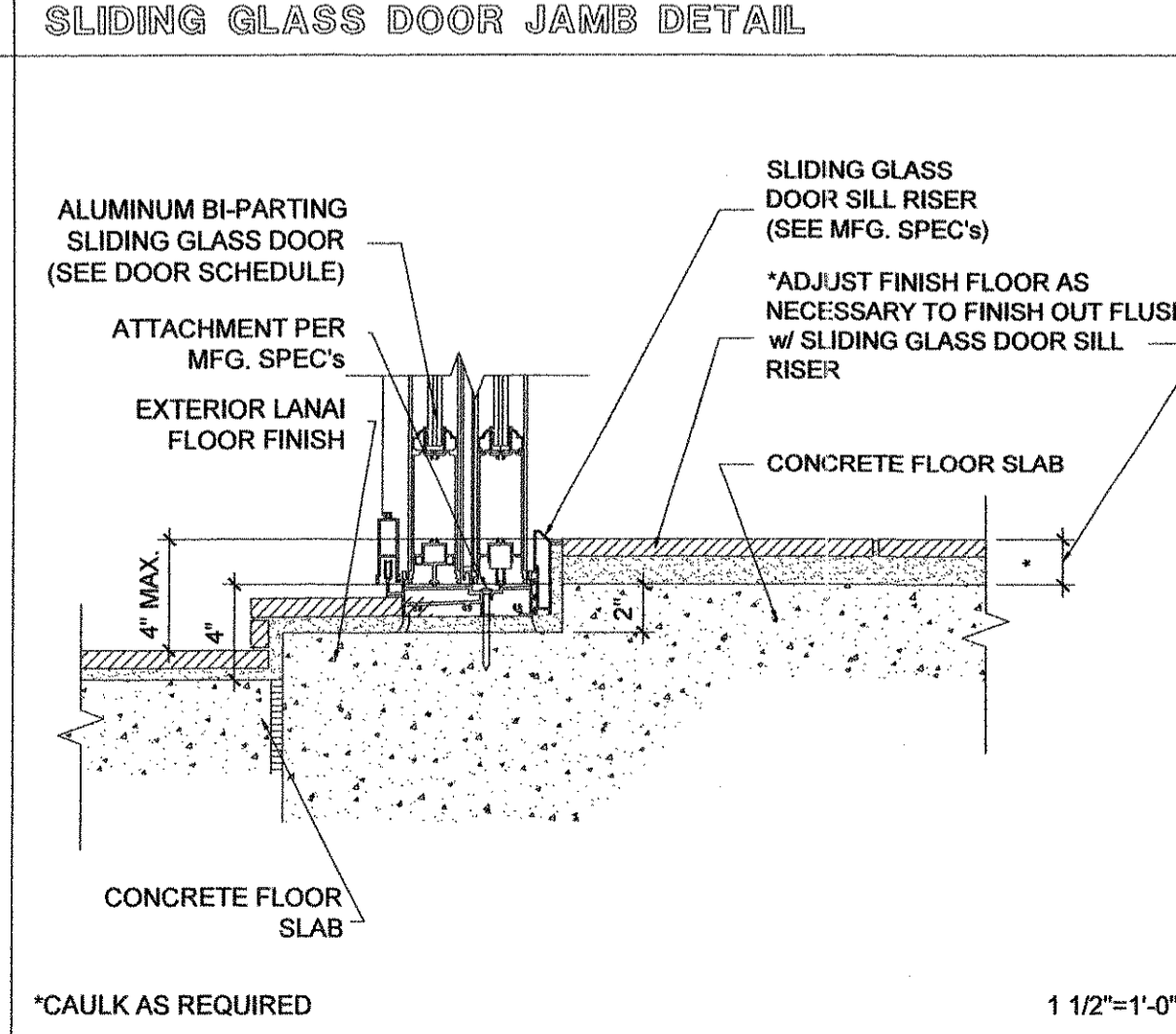
N.T.S.



WATERPROOFING AND BUCK NOTES

- ALL WINDOWS & EXTERIOR DOORS SHALL BE DESIGNED & INSTALLED TO WITHSTAND 170 MPH WIND LOADS AS REQUIRED BY FLORIDA BUILDING CODE 2020 AND ALL APPLICABLE CODES.
- GENERAL CONTRACTOR TO VERIFY MASONRY OPENINGS REQUIRED WITH WINDOW & DOOR SPECIFICATIONS.
- ALL EXTERIOR WINDOW & DOOR GLAZING TO BE TINTED TO REDUCE SOLAR HEAT GAIN.
- ALL WINDOWS & EXTERIOR DOORS TO HAVE A SOLAR HEAT GAIN COEFFICIENT (SHGC) AS INDICATED IN THE ENERGY CALCULATIONS.
- G.C. SHALL SUBMIT ALL REQUIRED ENGINEERED SHOP DRAWINGS AND DOCUMENTED WINDOW AND DOOR TESTING SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE ARCHITECT.
- SEE FLOOR PLANS FOR WINDOW & DOOR LOCATIONS.
- ALL WINDOWS & DOORS SHALL BE MANUFACTURED TO PROVIDE ALL JOINING MATERIALS AND NECESSARY INSTALLATION ACCESSORIES AS REQUIRED PER WINDOW OR DOOR DESIGN TO MEET CODE FOR LOADS.
- SEE BUILDING ELEVATIONS, DOOR & WINDOW SCHEDULES FOR HEAD HEIGHTS, MUNTIN BARS, AND OVERALL CONFIGURATION.
- SHOWER WINDOWS TO HAVE WINDOW TREATMENT FOR PRIVACY.

N.T.S.



EXTERIOR WINDOW & DOOR GENERAL NOTES

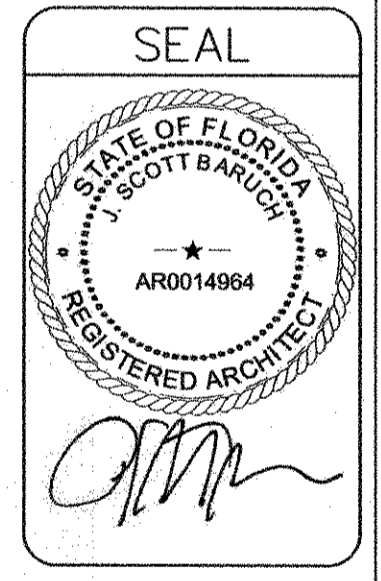
SLIDING GLASS DOOR SILL DETAIL

GARAGE DOOR SILL DETAIL

TYPICAL WINDOW SILL DETAIL

TYPICAL FRENCH DOOR SADDLE DETAIL

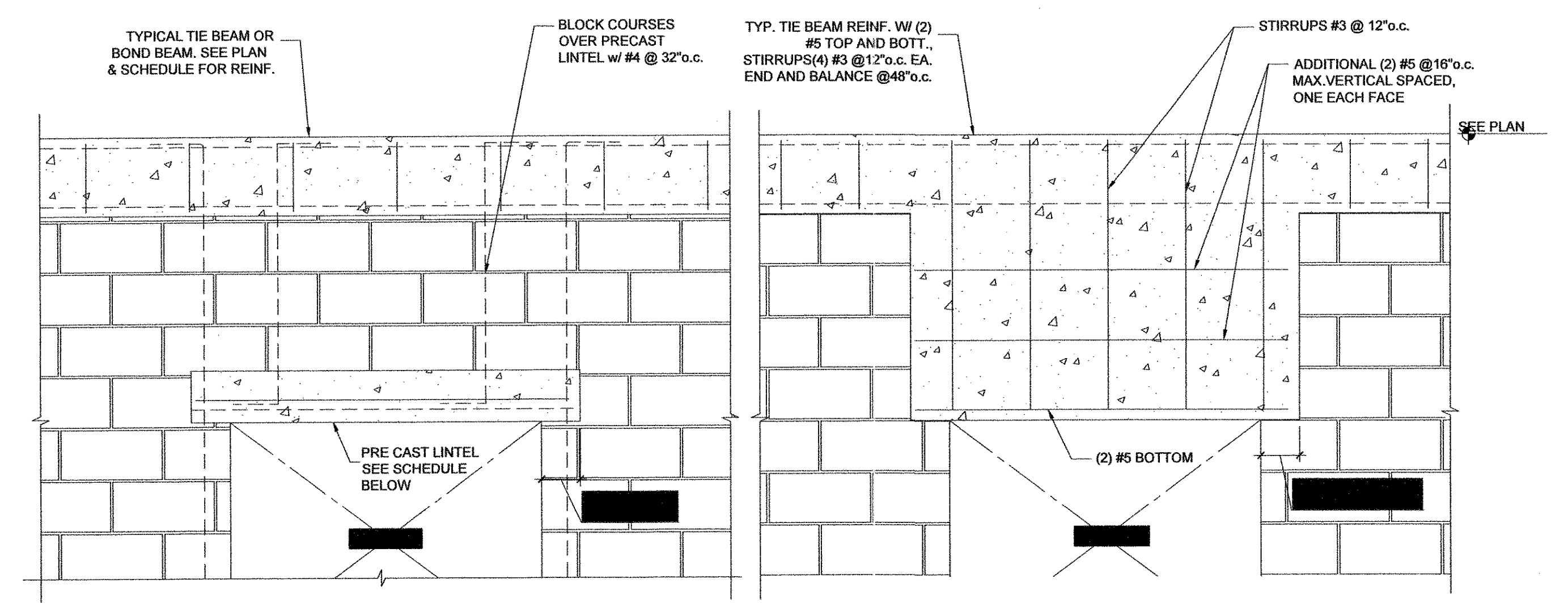
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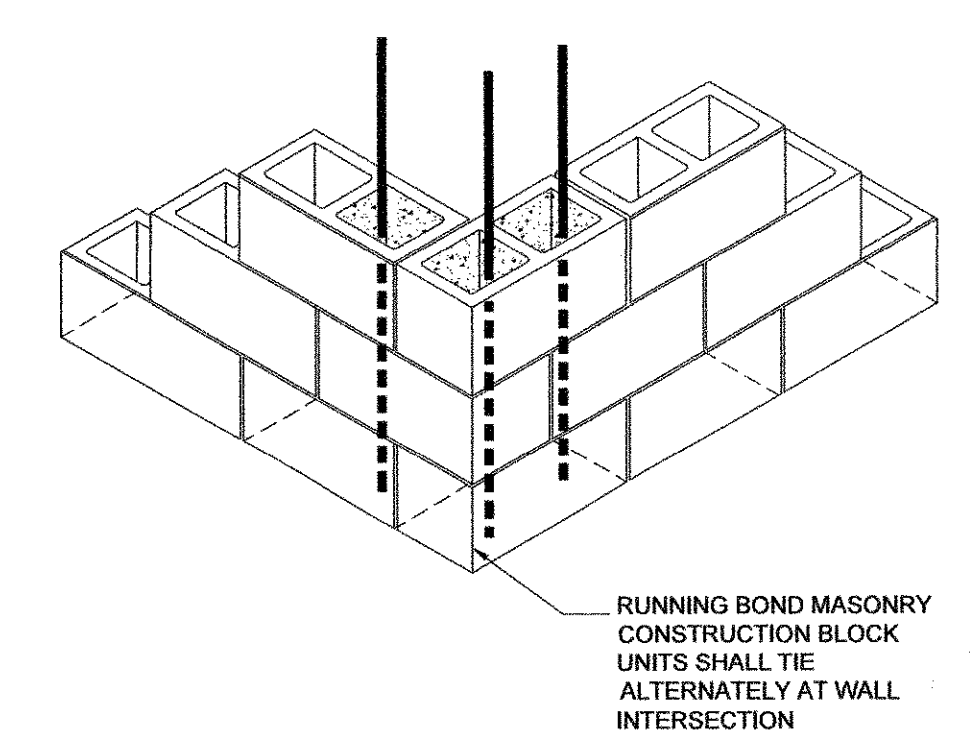
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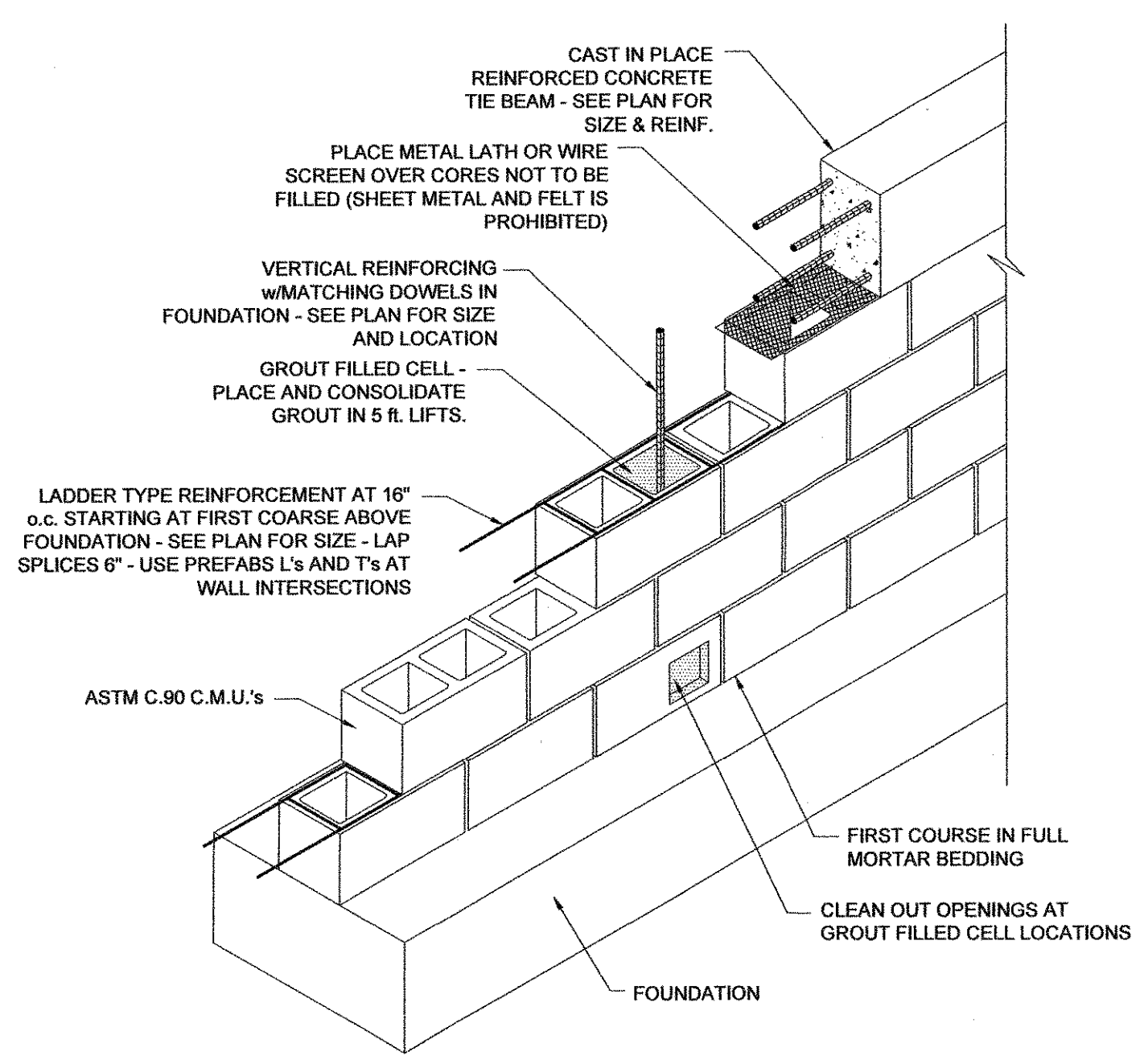
ALTERNATIVE: GC MAY ELECT TO POUR THIS BEAM FULL HEIGHT WITHOUT AN INTERMEDIATE BLOCK LAYER OR PRECAST LINTEL. PROVIDE (2) #5 TOP AND BOTTOM AND (1) INTERMEDIATE HORIZONTAL LAYER OF (2) #5 MUST BE PROVIDED PER EVERY 16" OF CONCRETE DEPTH. #3 TIES @ 12" o.c. MUST BE PROVIDED FULL HEIGHT.

TYP. TIE BEAM DROP OVER OPENINGS
SCALE: NTS

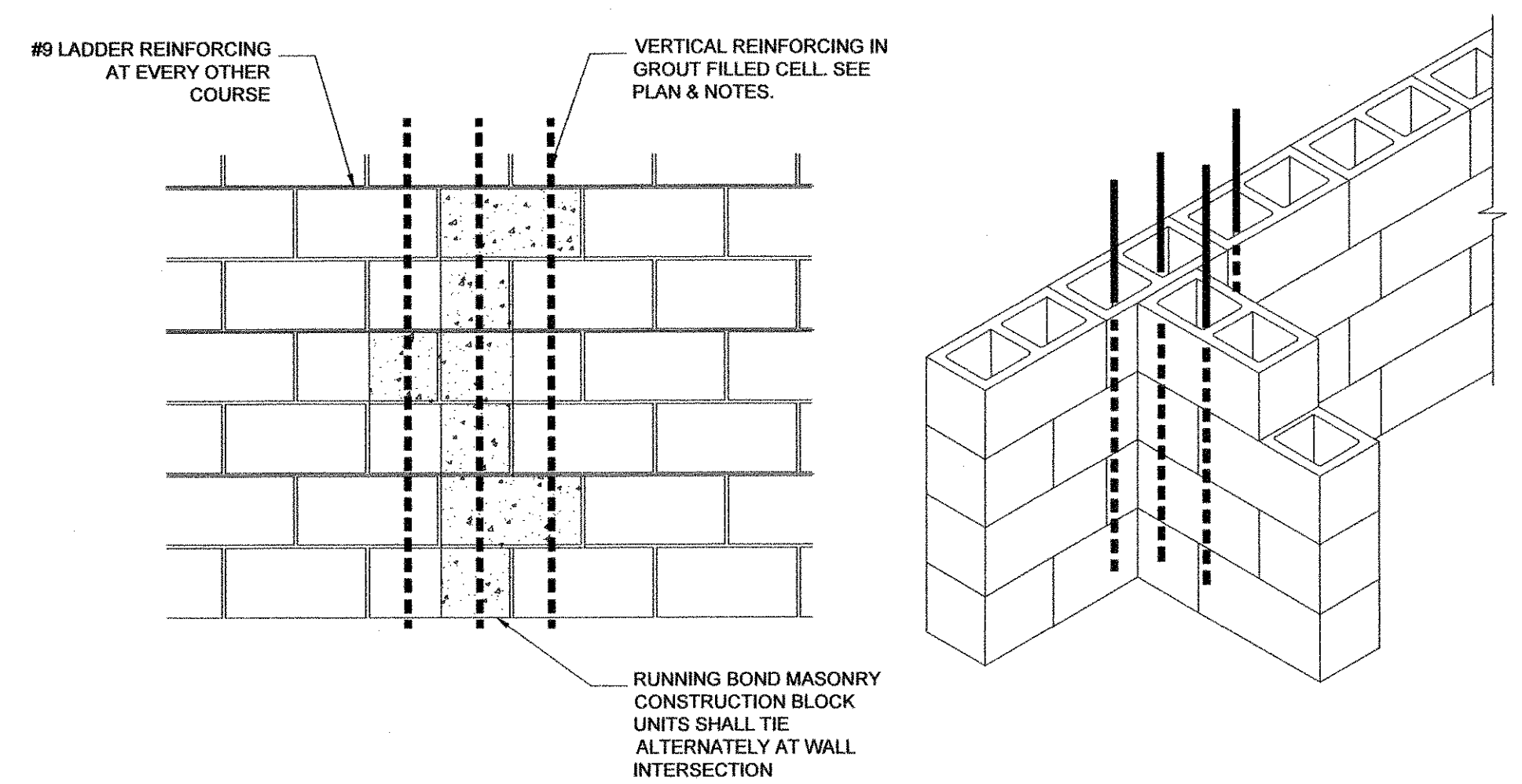
TYP. PRE CAST LINTEL ('PCL') OVER OPENINGS
SCALE: NTS



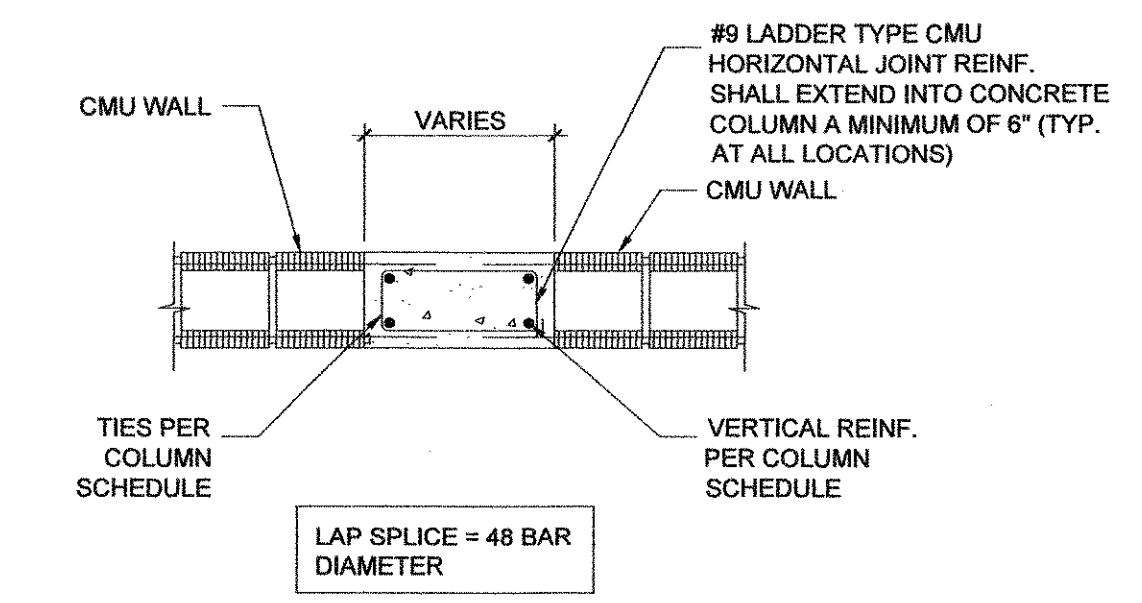
TYPICAL REBAR @ CORNER DETAIL
SCALE: NTS



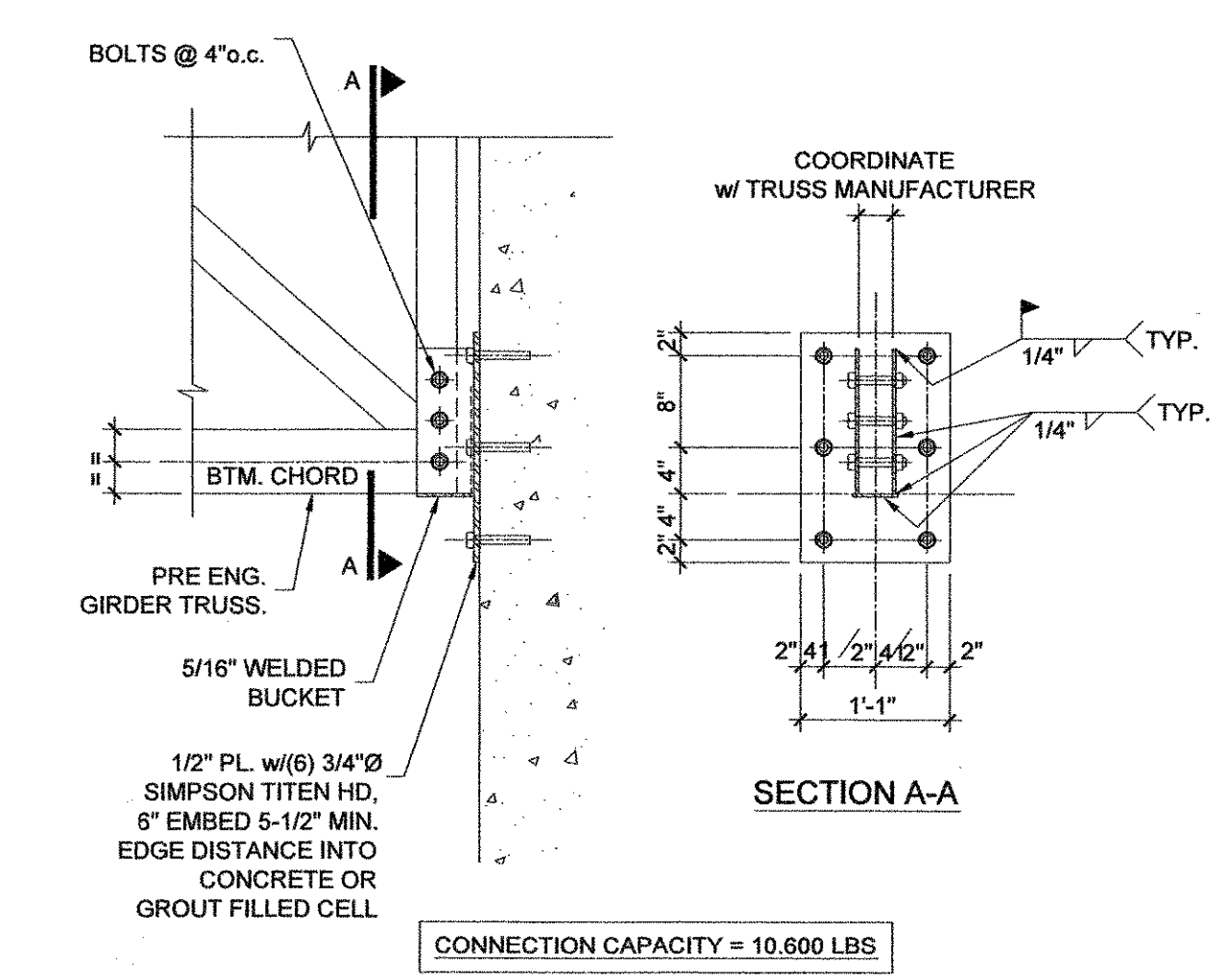
TYPICAL REINFORCED MASONRY WALL CONSTRUCTION DETAIL
SCALE: NTS



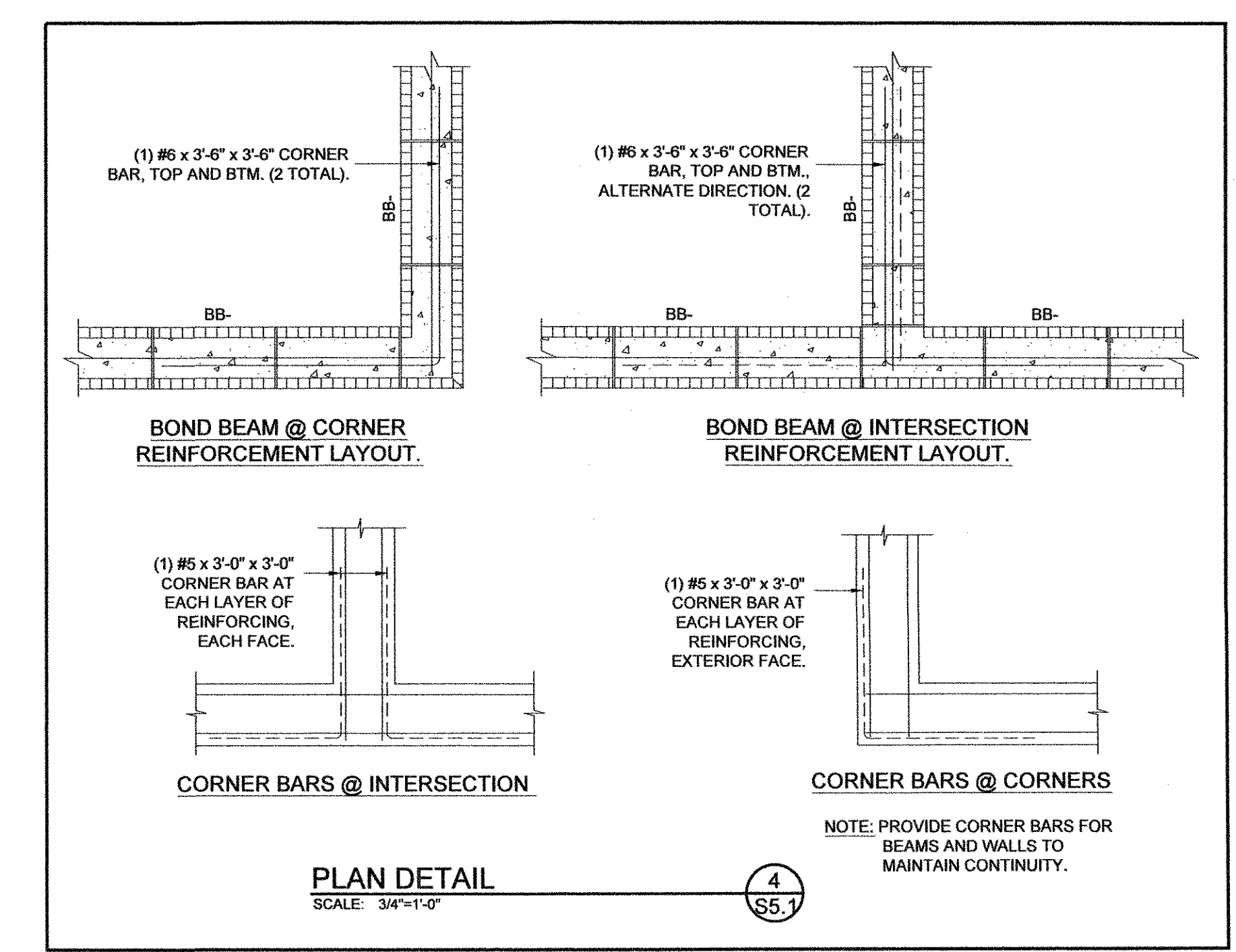
DETAIL
SCALE: NTS



CONCRETE COLUMN DETAIL
SCALE: NTS



DETAIL
SCALE: 3/4"=1'-0"



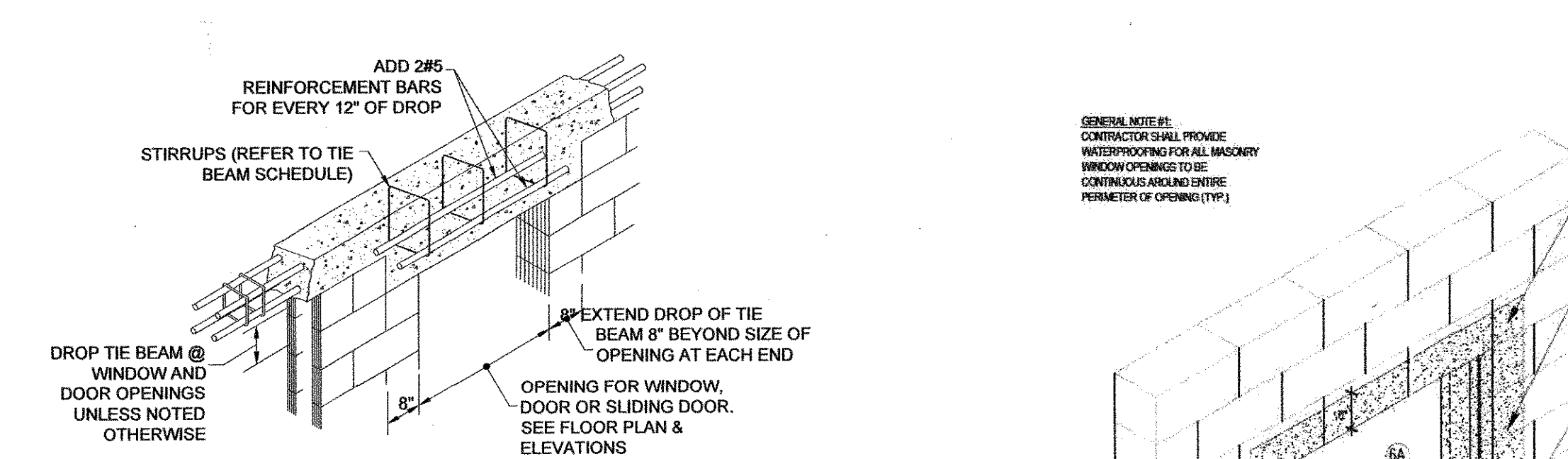
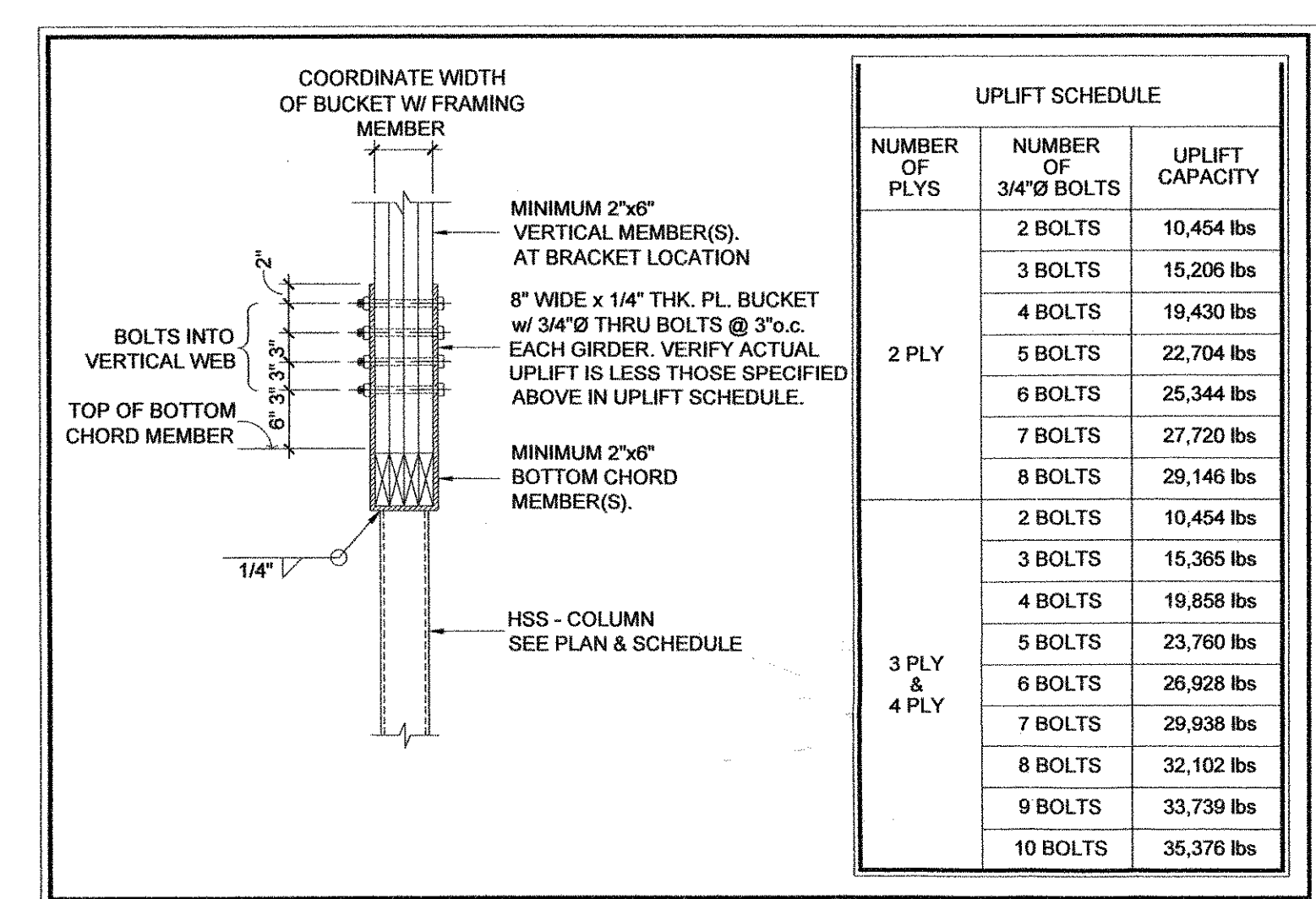
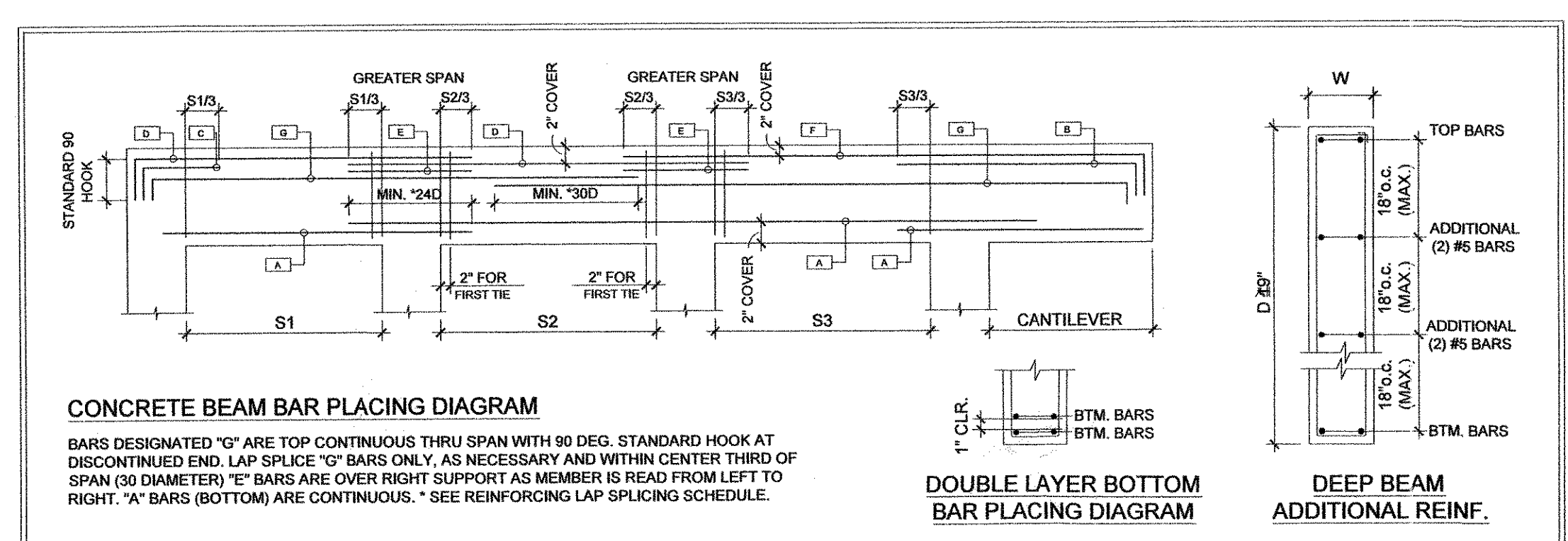
A NEW RESIDENCE @
451 NEPTUNE RD,
JUNO BEACH, FLORIDA 33408

SEAL
STATE OF FLORIDA
SCOTT BARUCH
REGISTERED ARCHITECT
AR0014964

J. SCOTT BARUCH
& ASSOCIATES
18360 SE LAKESIDE DR.
JUPITER, FLORIDA
AR-0014964

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SHEET
S-9

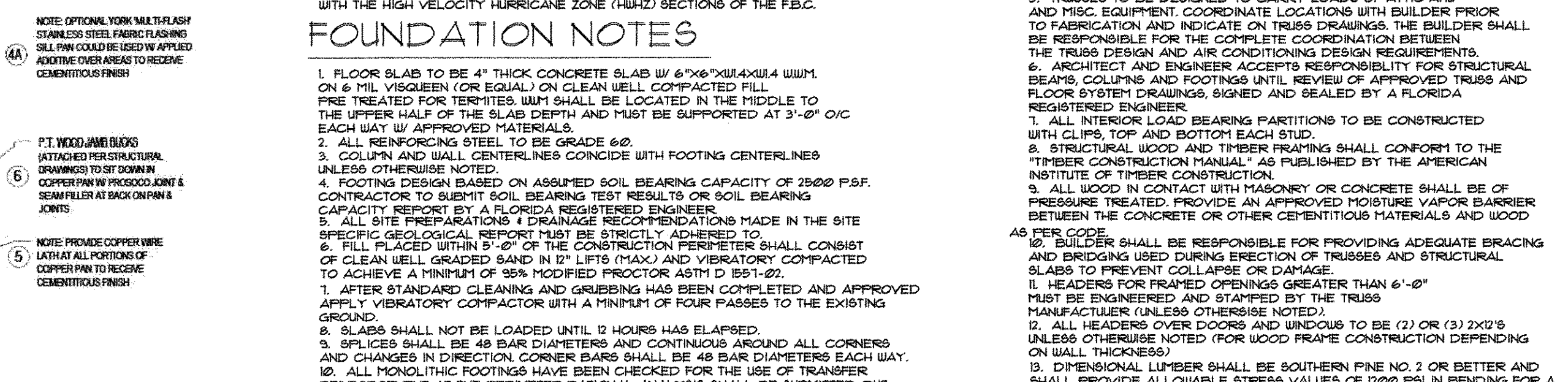


TYPICAL TIE BEAM DROP AT OPENINGS SCALE NTS

STEEL COLUMN & BUCKET @ GIRDER DETAIL
SCALE NTS

- FRAMING NOTES
1. THE TRUSS AND FLOOR SYSTEM LAYOUT SHOWN IS SCHEMATIC IN NATURE. HOWEVER, THE SUPPORTING SUPERSTRUCTURE HAS BEEN DESIGNED UNDER THE ASSUMPTION THAT THE FRAMING SCHEME SHOWN WILL CLOSELY PARALLEL THE FINAL TRUSS AND FLOOR SYSTEM DESIGNERS LAYOUT.
 2. THIS FRAMING SCHEME (DIRECTION OF TRUSSES AND SLABS, MAJOR GT. BEARING POINTS ETC.) CAN BE MODIFIED ONLY AFTER OBTAINING PERMISSION FROM THE PRIME PROFESSIONAL OF RECORD WHO MUST REVIEW PROPOSED CHANGES AND AUTHORIZE STRUCTURAL REVISIONS ACCORDINGLY.
 3. FINAL SIGNED AND SEALED ENGINEER TRUSS AND FLOOR SYSTEM DESIGN MUST BE SUBMITTED TO THIS OFFICE FOR REVIEW. TRUSS AND FLOOR SYSTEM MANUFACTURER MUST PROVIDE ALL TRUSS CONNECTIONS AS PART OF THE DESIGN.
 4. TRUSS AND FLOOR SYSTEM MANUFACTURER SHALL SUBMIT THREE (3) COPIES OF SHOP DRAWINGS AND ENGINEERING CALCULATIONS SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER OF THEIR DESIGN FOR REVIEW INCLUDING TWO (2) COPIES FOR ARCHITECT/ENGINEERS REVIEW PRIOR TO FABRICATION. REVIEW OF SHOP DRAWINGS IS A COURTESY BY THE ARCHITECT/ ENGINEER AND IN NO WAY RELIEVES THE MANUFACTURER OF HIS RESPONSIBILITY TO PROVIDE A LAYOUT THAT FULLY INTEGRATES WITH THE ARCHITECT/ENGINEER SUPERSTRUCTURE. IF THERE IS ANY CONFLICT OR ADDITIONAL STRUCTURE NEEDED, THE TRUSS AND FLOOR SYSTEM COMPANY SHALL NOTIFY THE ARCHITECT/ ENGINEER IN WRITING OF THE SPECIFIC AREA CONCERN.
 5. TRUSSES TO BE DESIGNED TO CARRY LOADS OF ARTIC. AND FISC. EQUIPMENT. COORDINATE LOCATIONS WITH THE TRUSS DESIGN AND AIR CONDITIONING DESIGN REQUIREMENTS.
 6. ARCHITECT AND ENGINEER ACCEPTS RESPONSIBILITY FOR STRUCTURAL BEARS, COLLUMS AND FOOTINGS UNTIL REVIEW OF APPROVED TRUSS AND FLOOR SYSTEM DRAWINGS, SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER.

- GENERAL NOTES
1. THESE PLANS WERE PREPARED USING THE FLORIDA BUILDING CODE 8TH EDITION.
 2. CONSTRUCTION SHALL FOLLOW THE FLORIDA BUILDING CODE AS ADOPTED BY THE COUNTY AND ALL APPLICABLE AMENDMENTS.
 3. BUILDER SHALL REVIEW DRAWINGS IN THEIR ENTIRETY BEFORE STARTING WORK. THE BUILDER SHALL ACCEPT FULL RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS NOT REPORTED IMMEDIATELY IN WRITING TO THE ARCHITECT. BACKCHARGES WILL NOT BE ACCEPTED. DO NOT SCALE DRAWINGS.
 5. SUBMIT MINIMUM (3) COPIES OF SHOP DRAWINGS AS REQUIRED BELOW.
 6. BUILDER IS RESPONSIBLE FOR ADEQUATE BRACINGS OF STRUCTURAL OR NON-STRUCTURAL MEMBERS DURING CONSTRUCTION.
 1. ALL CONSTRUCTION IN BROWARD AND DADE COUNTIES SHALL COMPLY WITH THE HIGH VELOCITY HURRICANE ZONE (HVHZ) SECTIONS OF THE F.B.C.



- FOUNDATION NOTES
1. FLOOR SLAB TO BE 4" THICK CONCRETE SLAB W/ 6"x6" X14.0x14.0 W/ 10M OR 6" MIL VIRGELIN (OR EQUAL) ON CLEAN WELL COMPACTED FILL. FILL TREATED FOR TERMITES. FILL SHALL BE LOCATED IN THE MIDDLE TO THE UPPER HALF OF THE SLAB DEPTH AND MUST BE SUPPORTED AT 3'-0" OVC EACH WAY BY APPROVED MATERIALS.
 2. ALL REINFORCING STEEL TO BE GRADE 60.
 3. COLLUM AND WALL CENTERLINES COINCIDE WITH FOOTING CENTERLINES UNLESS OTHERWISE NOTED.
 4. FOOTING DESIGN BASED ON ASSUMED SOIL BEARING CAPACITY OF 2500 P.S.F. CONTRACTOR TO SUBMIT SOIL BEARING TEST RESULTS OR SOIL BEARING CAPACITY REPORT BY A FLORIDA REGISTERED ENGINEER.
 5. ALL SITE PREPARATIONS, 4" DRAINAGE RECOMMENDATIONS MADE IN THE SITE SPECIFIC GEOLOGICAL REPORT MUST BE STRICTLY ADHERED TO.
 6. FILL PLACED WITHIN 5'-0" OF THE CONSTRUCTION PERIPHERY SHALL CONSIST OF CLEAN WELL GRANULAR SAND IN 12" LIFTS (MAX.) AND VIBRATORY COMPACTED TO ACHIEVE A MINIMUM OF 98% MODIFIED PROCTOR ASTM D 1557-02.
 1. AFTER STANDARD CLEANING AND GRABBING HAS BEEN COMPLETED AND APPROVED APPLY VIBRATORY COMPACTOR WITH A MINIMUM OF FOUR PASSES TO THE EXISTING GROUND.
 2. SLABS SHALL NOT BE LOADED UNTIL 12 HOURS HAS ELAPSED.
 3. SPLICES SHALL BE 48 BAR DIAMETERS AND CONTIGOUS AROUND ALL CORNERS AND CHANGES IN DIRECTION. CORNER BARS SHALL BE 48 BAR DIAMETERS EACH WAY.
 4. ALL MONOLITHIC FOOTINGS HAVE BEEN CHECKED FOR THE USE OF TRANSFER REINFORCEMENT AT THE PERIMETER. RATIONAL ANALYSIS SHALL BE SUBMITTED, BUT ONLY IF REQUESTED BY THE BUILDING OFFICIAL.
 1. CONCRETE FOR FOUNDATIONS AND FOOTINGS SHALL BE 2500 PSI MIN. MAXIMUM WATER/CONTENT RATION MUST NOT EXCEED 0.65.
- BEAM SCHEDULE NOTES
1. SCHEDULED HOOKS AND STIRRUPS SHALL BE PLACED AT EACH END (E.E.) OF BEAM OR THROUGHOUT (T.O.) BEAM AS INDICATED ON BEAM SCHEDULE. STIRRUPS SHALL BE TYPE 8-6 AND HOOPS SHALL BE TYPE T-2 TYPICAL. CR88 BARS BENDS UNLESS OTHERWISE NOTED.
 2. ALL BEAM (MARK "B") TOP BARS SHALL BE CONTIGOUS UNLESS OTHERWISE NOTED.
 3. ALL BEAMS (MARK "B") REINFORCING SHALL BE CONTIGOUS THROUGH TIE-BEAMS ONLY. ALL SPLICES TO BE A MINIMUM OF 48 BAR DIAMETERS.
 4. BUNDLE ALL TYPICAL BEAM TOP BARS IN PAIRS OVER SUPPORTS WITH TOP BARS FROM ADJACENT BEAMS (UNO).
 5. DROP BOTTOM OF THE BEAMS AS REQUIRED AT WINDOW AND DOOR HEADS (28" MAX) AND 2" RS BOTTOM IF DROP EXCEEDS 8".
 6. THE BEAM SCHEDULE DEPTHS ARE MINIMUM AND MAY BE INCREASED 8" TO FIT BLOCK WORK.
 1. ALL ADDED LONGITUDINAL BEAM REINFORCING SHALL EXTEND 6" MINIMUM INTO SUPPORT UNLESS OTHERWISE NOTED.

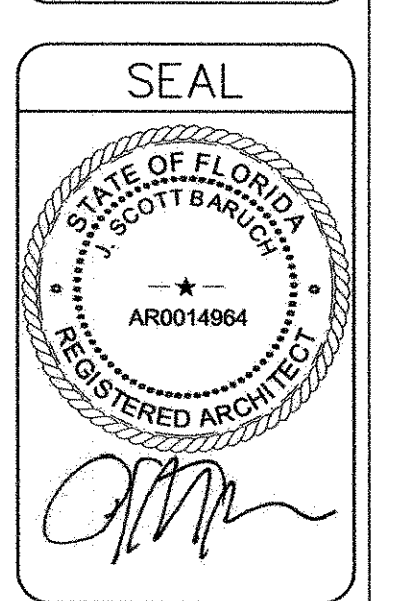
- DOOR / WINDOW BUCK NOTES
- 2x 2" BUCK (MATCH FRAME WIDTH) ATTACHED TO CBS W/ 1/4"x4" TAPCONS 4" FROM EACH END AND 12" O.C. REMAINDER.
- WINDOWS & DOORS: 1 1/2" PT CUSTOM BUCK (WIDTH OF WINDOW FRAME) ATTACHED TO CBS W/ 1" NAILS @ 12" O.C. AND WINDOW FRAMES ATTACHED THROUGH THE FRAME, BUCKS AND SHIMS INTO THE CBS W/ TAPCONS PER MFGOR. INSTRUCTIONS.
- GARAGE DOORS: PT 2"x6" ATTACHED TO THE CBS W/ 5/8" x 6" TITEN CONCRETE SCREWS W/ 1/4"x3" STEEL WASHERS 6" FROM EACH END, 24" O.C. REMAINDER.
- WINDOW NOTES
1. ALL WINDOWS SECURED TO WOOD BUCKS OR THROUGH WOOD BUCKS INTO CBS AS PER MANUFACTURER'S SPECIFICATIONS TO MEET MINIMUM 170 MPH INSTALLATION.
 2. DOOR UNIT CHOSEN FOR PROJECT. BUILDER TO COORDINATE EXACT MASONRY OPENING WITH MASONRY SUBCONTRACTOR, WINDOW / DOOR SUPPLIER.
- NOTE: SOME DOORS HAVE A TOLERANCE OF 1/4" MAX. ADJUST MASONRY OPENINGS AS REQUIRED FOR BUCK AND DOOR SYSTEM CHOSEN.
3. ALLOWABLE SHIM SPACING AND TOLERANCE BETWEEN WINDOW FRAME AND WINDOW BUCK A. LESS THAN 1/4": NO SHIM REQUIRED B. GREATER THAN 1/4": CONTINUOUS PAD-OUT OF THE BUCK IS NECESSARY

WINDOW FLASHING DETAIL ALSO APPLIES TO DOORS IN FRAME. NTS

MASONRY NOTES

1. CONCRETE UNITS TO BE ASTM C 90-14, ASTM GRADES NI OR N4. PROVIDE PRECAST LINTELS AS NECESSARY (75# x 2500 P41)
 2. POINTON TYPE M PER ASTM C 210-04.
 3. CONCRETE FILL
 - A. CELLS LINTELS AND BOND BEAMS WHERE SUPPORTED SHALL BE FILLED W/ 3000 PSI FEA GRAVEL CONCRETE.
 - B. THE MIX DESIGN SHALL BE APPROVED BY THE ENGINEER.
 - C. ALL CONCRETE SHALL BE OF A FLUID CONSISTENCY WITH A SLUMP OF 9"-11" MAX. WHICH MEANS THAT THE CONSISTENCY SHALL BE AS FLUID AS POSSIBLE FOR POURING WITHOUT SEGREGATION OF THE CONSTITUENT PARTS.
 - D. THE USE OF ADMIXTURES SHALL NOT BE PERMITTED WITHOUT WRITTEN CONSENT OF THE ENGINEER.
 4. REINFORCING
 - VERTICAL:
 - ASTM A618-04A PER REINFORCING SECTION (GRADE 60)
 - WHEN A FOUNDATION DOWEL DOES NOT LINE UP WITH A VERTICAL CORE IT SHALL NOT BE SLOPED MORE THEN ONE HORIZONTAL IN SIX VERTICAL ALIGNMENT. EVEN THOUGH IT IS IN AN ADJACENT CELL TO THE VERTICAL WALL REINFORCING.
 - VERTICAL REINFORCING STEEL SHALL HAVE A MINIMUM CLEARANCE OF ONE-HALF INCH FROM THE MASONRY.
 - VERTICAL REINFORCING SHALL BE LOCATED ON THE PLAN AND AS INDICATED IN THE COLLUM SCHEDULE.
 - VERTICAL REINFORCING EACH SIDE OF ANY OPENING, IF REQUIRED, SHALL BE CONTIGOUS TO THE TIE BEAM. PRECAST LINTELS SHALL HAVE OPENINGS TO ALL REINFORCING BARS TO CONTINUE UNINTERRUPTED.
 - HORIZONTAL:
 - HORIZONTAL REINFORCEMENT SHALL BE PROVIDED AS SCHEDULED IN THE BEAM SCHEDULE.
 - HORIZONTAL JOINT REINFORCEMENT SHALL CONSIST OF AT LEAST 3 GAUGE LADDER TYPE REINFORCEMENT SPACED NOT MORE THAN 18" OVC VERT. REINFORCEMENT SHALL ALSO BE PROVIDED AT THE BOTTOM AND TOP OF ALL OPENINGS AND EXTEND NOT LESS THAN 24" BEYOND THE OPENING PROVIDES 6" MIN. EMBEDMENT INTO CONCRETE COLLUMS AND BEAMS AND FULL DEPTH AT ALL MASONRY "L" AND "T" INTERSECTIONS.
 5. GENERAL:
 - STRUCTURAL DESIGN IN ACCORDANCE WITH ACI 318-05/ASCE 8-02/719, 402-05 BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES AND THE COMMENTARY ON BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES.
 - CONSTRUCTION SHALL BE IN ACCORDANCE WITH ACJ 3301-29/ASCE 4-05 THIS 605-05. SPECIFICATIONS FOR MASONRY STRUCTURES AND THE COMMENTARY ON SPECIFICATIONS FOR MASONRY STRUCTURES.
 - IN HVHZ AREA THE BUILDER SHALL EMPLOY A SPECIAL INSPECTOR APPROVED BY THE BUILDING OFFICIAL TO ENSURE COMPLIANCE WITH THE APPROVED STRUCTURAL PLANS IN ACCORDANCE WITH SECTION 212.4 F.B.C.
 6. VERTICAL CELLS FOR MASONRY TO BE GROUTED SHALL HAVE VERTICAL ALIGNMENT SUFFICIENT TO MAINTAIN A CLEAR UNOBSTRUCTED CONT. CELL.
 7. CLEANOUT OPENINGS SHALL BE PROVIDED AT THE BOTTOM OF GROUTED CELLS AT EACH LIFT OVER 4'-0" HIGH. CLEANOUTS SHALL BE SEALED AFTER CLEANING AND INSPECTED AND BEFORE GROUTING.
- CONCRETE NOTES
1. CONCRETE SHALL CONFORM TO ASTM C 94-05, SHALL HAVE A MINIMUM WATER/CEMENT RATIO OF 0.65 AND SHALL HAVE 3000 PSI COMPRESSIVE STRENGTH IN 28 DAYS (UNLESS NOTED OTHERWISE). ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 318-05 AND ACI 301-05. ALL CONCRETE MASONRY WORK SHALL BE IN ACCORDANCE WITH ACI 330-05.
 2. MINIMUM CONCRETE COVER OVER REINFORCING SHALL BE SLABS ON VAPOR BARRIER 3/4" BEAMS AND COLLUMS-1/2" FORTED CONCRETE BELOW GRADE -2" UNFORTED CONCRETE BELOW GRADE -3"
 3. REINFORCING STEEL: GRADE 60 (Y= 60000) ASTM A618-04A.
 4. DETAIL OF CONCRETE REINFORCEMENT SHALL BE IN ACCORDANCE WITH THE MANUAL OF STANDARD PRACTICE FOR REINFORCED CONCRETE CONSTRUCTION AS PUBLISHED BY THE CONCRETE REINSTITUTE UNLESS OTHERWISE NOTED.
 5. ADEQUATE VERTICAL AND HORIZONTAL BRACING SHALL BE PROVIDED TO SAFELY SUPPORT ALL LOADS DURING CONSTRUCTION.

A NEW RESIDENCE @
451 NEPTUNE RD,
JUNO BEACH, FLORIDA 33408



J. SCOTT BARUCH
& ASSOCIATES
18360 SE LAKEVIEW DR.
JUPITER, FLORIDA
AR-0014964

DRAWN: G.R.G.
CHECKED: J.S.B.
DATE: 04-09-24
SCALE: AS SHOWN
JOB NO.
SHEET

S-10



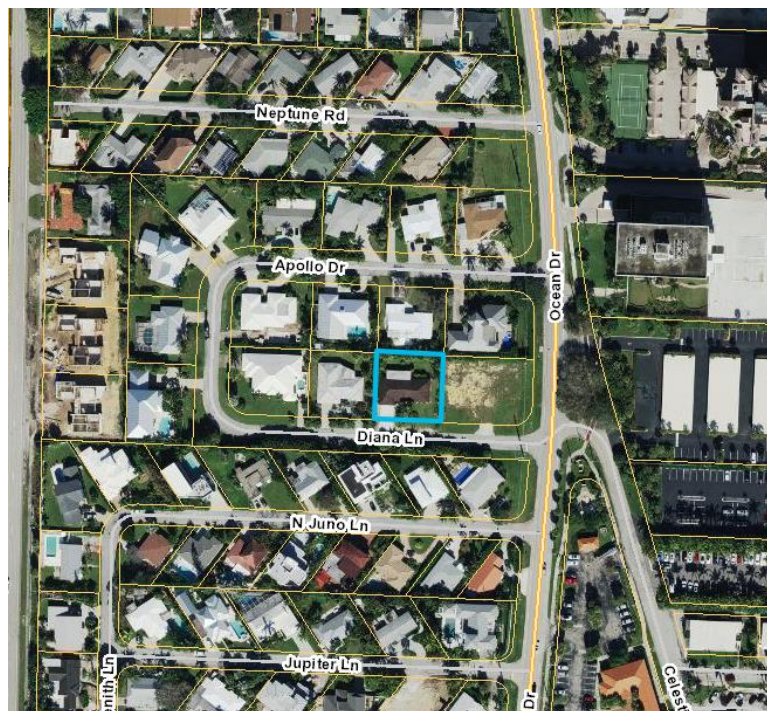
Item #2.



Meeting Name: Planning & Zoning Board
Meeting Date: January 6, 2025
Prepared By: Stephen Mayer
Item Title: Appearance Review – 401 Diana Lane

DISCUSSION:

The Town has received an application for Appearance Review from Adam J. Ginsburg (“Applicant”) and 401 Diana LLC (“Owner”) for the property located at 401 Diana Lane (“Property”). The Property is zoned Residential Single Family (RS-1) with a Future Land Use classification of Low Density Residential (LDR) (up to 5 DU/AC). The existing one-story home was built in 1971 and is approximately +/- 2,613 square feet in size (1,832 square feet under air), with a lot area of .23 acres or +/- 10,000 square feet. The Applicant is seeking to demolish the existing residence and construct a new 5,945 square foot residence (Total Square Footage). The difference between the existing and new structures will be an increase in the total building footprint from 2,613 square feet to 3,063 square feet, thereby increasing lot coverage from 26.1% to 30.6%.



Zoning Requirements

The area of the lot is +/- 10,000 sq. ft., or 0.23 acres, and the proposed lot coverage ratio of the 3,063 sq. ft. footprint would be 30.6%, which complies with the Town's Zoning Code requirement for lot coverage per Section 34-268 (Maximum 35%). The proposed home is a two-story structure and is +/- 28' 6" in height (maximum 30 feet) with a tower element that reaches 33', (a maximum ratio of 1.5 times the height of the eave of the principle structure, or 42' is permitted) These height element dimensions comply with the Town's Zoning Code requirement for height per Section 34-268. The setbacks of the new residence are 25' front, 14' side and 21' rear, which complies with Section 34-268 (25'front/10'side/10' rear). The applicant is providing 3 parking spaces (2 parking spaces are required) and 4,400 square feet of landscaping (25% or 2,500 square feet is required), complying with Section 34-268 of the Town's Zoning Code. As it pertains to the preceding elements of code, the applicant meets those requirements of the Zoning Code.

Tower Element Size

Per Section 34-4, the maximum tower element area is defined as 225 square feet in area and is measured relative to the "open air or enclosed structural feature which is an integral part of the principal structure, and whose floor area, from outside wall to outside wall, is limited in size".

The tower element was measured as only 53 square feet on the plans (please see the area calculations on A-1 and the detail of the tower and accessible terrace on A-2.1). However, the tower element is 9.33' by 17.33' in dimension from outside wall to outside wall and would therefore be 162 square feet. The accessible terrace may only be 63 square feet large (225 SF – 162 SF tower element = 63 SF). Therefore, the proposed accessible terrace area (measured at 167 square feet) is 104 square feet too large and must be reduced on the final plans prior to building permit application.

Appearance Review Criteria

Section 34-116(3) (b) (items 2 through 7) of the Town's Zoning Code requires the Planning and Zoning Board (acting as the Architectural Review Board) to determine whether the proposed addition meets the criteria below. For the Board's review and consideration, staff has provided its professional opinion to the Appearance Review Criteria (staff response is in **bold**).

2. Is of a design and proportion which enhances and is in harmony with the area. The concept of harmony shall not imply that buildings must look alike or be of the same style. Harmony can be achieved through the proper consideration of setback, scale, mass, bulk, proportion, overall height, orientation, site planning, landscaping, materials, and architectural components including but not limited to porches, roof types, fenestration, entrances, and stylistic expression. For the purpose of this section, the comparison of harmony between buildings shall consider the preponderance of buildings or structures within 300 feet from the proposed site of the same zoning district;

In the backup materials provided, staff notes photos of existing homes in the vicinity (Attachment 1 and the Applicant's narrative (Attachment 2), which demonstrates how applicant has provided a review of the residential structures in the context of the property and the applicant's justification for meeting Section 34-116(3).

Furthermore, using data from the Property Appraiser's Office, staff has created the following table summary for the Board's review (Subject property is shaded orange and on the top of the chart):

Table 1: Comparison of house sizes within 300 feet within the same zoning district

<i>Address</i>	<i>Year Built</i>	<i>Lot Size (Acres/Square Feet)</i>	<i>Tower Element</i>	<i>Lot Size to Total Square Feet ratio</i>	<i>Total Square Feet</i>	<i>Square Feet Under Air</i>	<i>Story</i>
<i>401 Diana Lane</i>	*	<i>0.23 acres/ 10,000 SF</i>	Yes	.59	5,945	5,311	2
<i>411 Diana Lane</i>	1974	<i>0.23 acres/ 10,000 SF</i>	No	.29	2,932	2,022	1
<i>451 Ocean Drive</i>	Vacant						
<i>400 Apollo Drive</i>	1959	<i>0.23 acres/ 10,000 SF</i>	No	.25	2,527	1,823	1
<i>370 Apollo Drive</i>	2003	<i>0.31 acres/ 13,503 SF</i>	Yes	.33	4,490	3,211	2
<i>410 Apollo Drive</i>	1960	<i>0.23 acres/ 10,000 SF</i>	No	.27	2,736	1,829	1
<i>440 Apollo Drive</i>	1973	<i>0.28 acres/ 12,196 SF</i>	No	.25	3,107	2,266	1
<i>470 Apollo Drive</i>	2004	<i>0.28 acres/ 12,196 SF</i>	No	.35	4,143	3,147	1
<i>471 Apollo Drive</i>	2013	<i>0.29 acres/ 12,632 SF</i>	No	.42	5,421	3,765	2
<i>461 Apollo Drive</i>	1961	<i>0.24 acres/ 10,454 SF</i>	No	.25	2,566	1,330	1
<i>451 Apollo Drive</i>	1966	<i>0.33 acres/ 14,375 SF</i>	No	.31	4,515	3,333	2
<i>441 Apollo Drive</i>	1968	<i>0.33 acres/ 14,375 SF</i>	No	.17	2,427	1,464	1
<i>431 Apollo Drive</i>	1965	<i>0.23 acres/ 10,000 SF</i>	No	.27	2,734	1,316	1
<i>411 Apollo Drive</i>	1959	<i>0.23 acres/ 10,000 SF</i>	No	.27	2,735	1,987	1
<i>401 Apollo Drive</i>	1962	<i>0.23 acres/ 10,000 SF</i>	No	.23	2,342	1,546	1
<i>371 Apollo Drive</i>	1963	<i>0.25 acres/ 10,890 SF</i>	No	.22	2,442	1,384	1

*The existing house was built in 1971

According to the table above, the total square footage of the proposed residence (at 5,945 total square feet and 0.59 FAR) would result in the applicant's residence being incompatible in total square footage (ranging between 2,527 sf and 5,421 sf) and FAR (between 0.17 and 0.42) within the other single-family homes within 300 feet of the property and within the same zoning district (RS-1).

3. Elevator and stairwell shafts and other modern operations and features of a building shall be either completely concealed or shall incorporate the elements of the architectural style

of the structure; rooftop equipment and elevator and mechanical penthouse protrusions shall be concealed; and parking garages and other accessory structures shall be designed with architectural features and treatments so that they are well proportioned and balanced and in keeping with the architectural style of the principal structure;

Because there are no proposed elevators or external stairs, this provision is not applicable.

4. Shall have all on-site structures and accessory features (such as, but not limited to, light fixtures, benches, litter containers, including recycling bins, traffic and other signs, letter boxes, and bike racks) compatible in design, materials, and color;

There are no additional accessory structures on this site. Any accessory structures would need to be compatible in design to the principle structure.

5. Shall have a design in which buildings over 40 feet in height shall appear more horizontal or nondirectional in proportion rather than vertical, accomplished by the use of architectural treatments as described in these criteria;

The height of the applicant's addition will comply with these criteria. The height of the proposed two-story single-family home will be 28.5 feet in height to the ridge of the proposed second story roof, with the tower element that measures 33' in height, which is less than 1.5 times the height of the principle structure.

6. Shall locate and design mechanical equipment with architectural treatments so that any noise or other negative impact is minimized;

Air conditioning, a future generator and pool equipment will be adequately screened on the side yard.

Harmony

In consideration of the term "harmony" staff believes that the proposed single-family home is NOT harmonious in all aspects of the definition (please see below). Harmony means a quality which produces an aesthetically pleasing whole as in an arrangement of varied architectural and landscape elements. Harmony can be achieved through the proper consideration of scale, mass, bulk, proportion, height, orientation, site planning landscaping, materials and architectural components including but not limited to porches, roof types, fenestration, entrances, and stylistic expression.

Bulk means the overall size and volume of a building or structure.

Staff's response: The proposed structure on 401 Diana is a total of 5,945 gross sq. ft., which is larger than all of the homes within a 300-foot radius of the property by 524 feet. The ratio of the total gross area of the building to the lot size is 59%. The proposed footprint is 3,063 sq. ft. and the overall lot coverage percentage is 30.6. The size and volume of the proposed single-family home is not compatible with adjacent structures. Please see table 1 for comparison of bulk with other properties.

Mass means the relationship and sizes between different volumes of a building or structure.

Staff's response: The total gross square footage for the other structures within 300 feet of the property range between 2,342 sq. ft. and 5,421 sq. ft. with the average size being 3,007 sf. ft. The proposed structure is 5,945 total gross sq. Therefore, the mass of the proposed single-family home is not compatible and well above (by 2,938 sq. ft.) the average in the context of the other

structures located within the radius of 300 feet of the property and within the same zoning district. The proposed addition is 524 sq. ft larger than the largest house adjacent to the property.

Proportion means the visual effect of relationship of one portion to another or of a portion to the whole. or of one thing to another.

Staff's response: The proportion (ratio) of the elements such as windows, doors, and garages are compatible with the façade (size) of the building.

Scale means the proportions of a building in relation to its surroundings, particularly other buildings in the surrounding context.

Staff's response: The scale of the proposed single-family home (proportion) is not compatible as the visual effect the applicant's proposed structure, specifically the vertical scale, constitutes a change far outside the surroundings in context. Staff notes that only 3 of the 15 (20%) of the homes within 300 feet and in the same district are currently two-story homes and only one other home in the same area has a tower element. The preponderance of the buildings within 300 feet and within the same zoning district do not have the vertical scale of the proposed home.

In summary, the proposed two-story home with a tower element will NOT be compatible with the preponderance of buildings or structures within 300 feet from the proposed site of the same zoning district (RS-1).

RECOMMENDATION:

Staff recommends that the Planning and Zoning Board (acting as the Architectural Review Board) review the information that has been provided, and consider approval or denial, or approval with modifications, considering a 5,945 square foot two-story residence with a tower element.

ATTACHMENTS:

401 Diana Lane Appearance Review Application and Backup Material



401 DIANA LANE JUNO BEACH, FLORIDA

SHT	DESCRIPTION
	COVER SHEET
SP-1	SITE PLAN
A-1	1ST FLOOR PLANS
A-2	2ND FLOOR PLANS
A-3	ELEVATIONS
A-4	ELEVATIONS
A-5	ROOF PLAN
D-1	TYPICAL WALL DETAILS
REN	TYPICAL WALL DETAILS

BUILDING AREA	
A	B
DESCRIPTION	AREA
1ST FLOOR A/C AREA	2261 SF
2nd FLOOR A/C AREA	2830 SF
GARAGE	802 SF
TOWER FLOOR AREA	53 SF
TOTAL AREA: 4	5945 SF

BLDG. DESIGN DATA	
CODES: FLORIDA RESIDENTIAL BLDG. CODE 2023 8TH EDITION ENERGY CONSERVATION, PLUMBING, MECHANICAL AND ELECTRICAL NFPA FL FIRE PREVENTION CODE 99 ED. NEC NATIONAL ELECTRIC CODE 2020 CARBON MONOXIDE DETECTORS REQUIREMENTS PER FL ADMINISTRATIVE CODE RULE 9B-3.0472 ACI 318-19, ASTM 47th ED.	
DESIGN CRITERIA	
CITY/COUNTY	JUNO BEACH, FL
OCCUPANCY GROUP	R-3
NUMBER OF STORIES	2
BUILDING CATEGORY	ENCLOSED
BASIC WIND SPEED, mph	170
WIND IMPORTANCE FACTOR	1.0
WIND EXPOSURE CATEGORY	C
INTERNAL PRESSURE COEFFICIENT	+/- .18
MINIMUM SOIL PRESSURE, psf	2500
FLOOR LOADS (LIVE & DEAD)	65
ROOF DEAD LOAD, psf	25
ROOF LIVE LOAD, psf	30
CONSTRUCTION TYPE	"V" B" UNPROTECTED

CLIENT INFORMATION

401 DIANA LANE, LLC
5301 N FEDERAL HWY SUITE 185
BOCA RATON, FLORIDA

ADAM J. GINSBURG, P.E.
STRUCTURAL ENGINEER
 Design & Analysis of
 Residential and Light
 Commercial Projects
 P.E. 51199
 2901 Clint Moore Road, #237
 BOCA RATON, FL 33496
 Phone: (561) 702-2435

SITE PLAN

SHEET INFORMATION

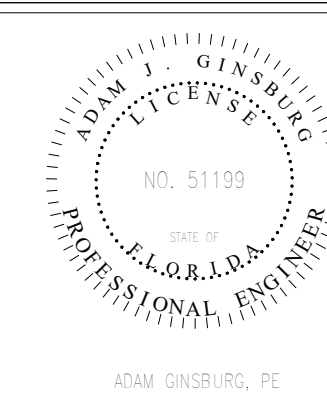
PROJECT INFORMATION
 401 DIANA LANE
 JUNO BEACH, FLORIDA

CLIENT INFORMATION
 401 DIANA LANE, LLC
 3050 CHATEAU LANE,
 PALM BEACH GARDENS, FLORIDA

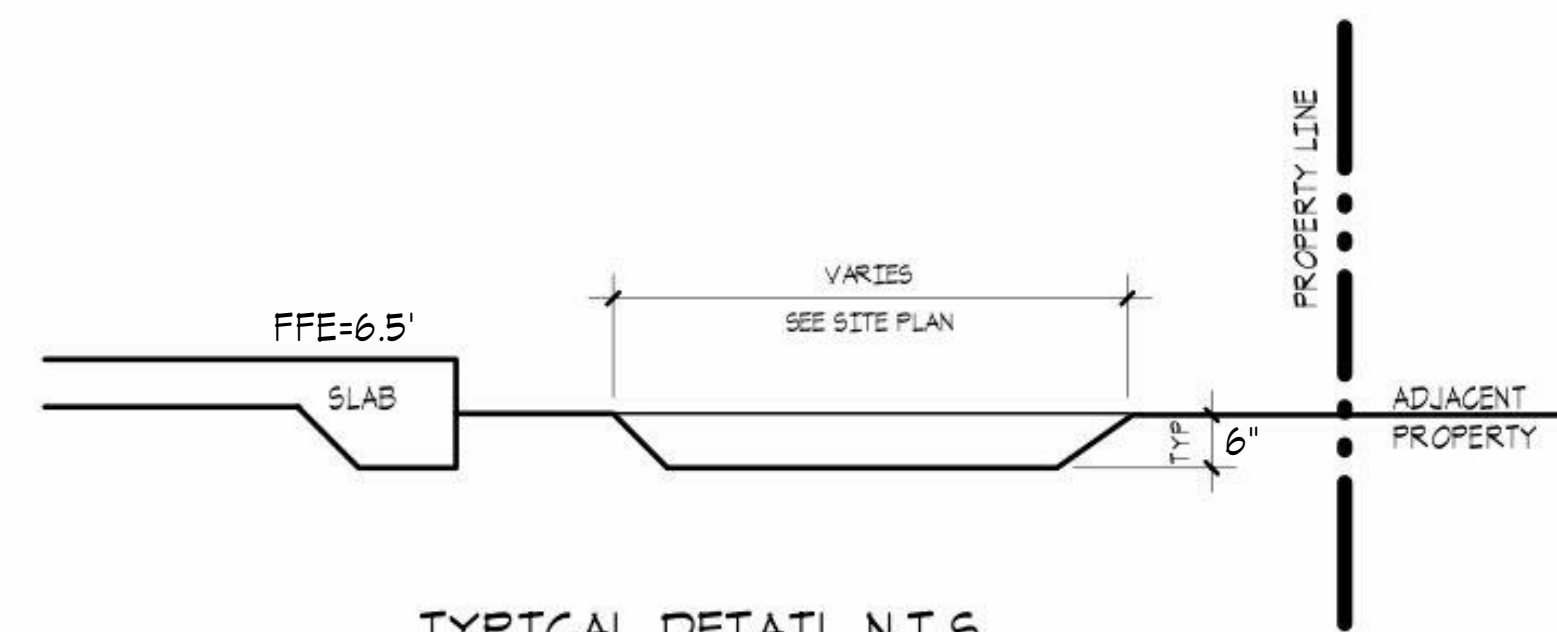
ADAM J. GINSBURG, P.E.
 STRUCTURAL ENGINEER
 2901 Clint Moore Road, #237
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 Design & Analysis of Residential and Light Commercial Projects
 Phone: (561) 702-2435
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FILE NAME:
 SCALE:
 DATE: 11/07/2024
 RVD. BY:
 DRWN. BY:

REVISION



SHEET #
SP-1



② SWALE
 1:36

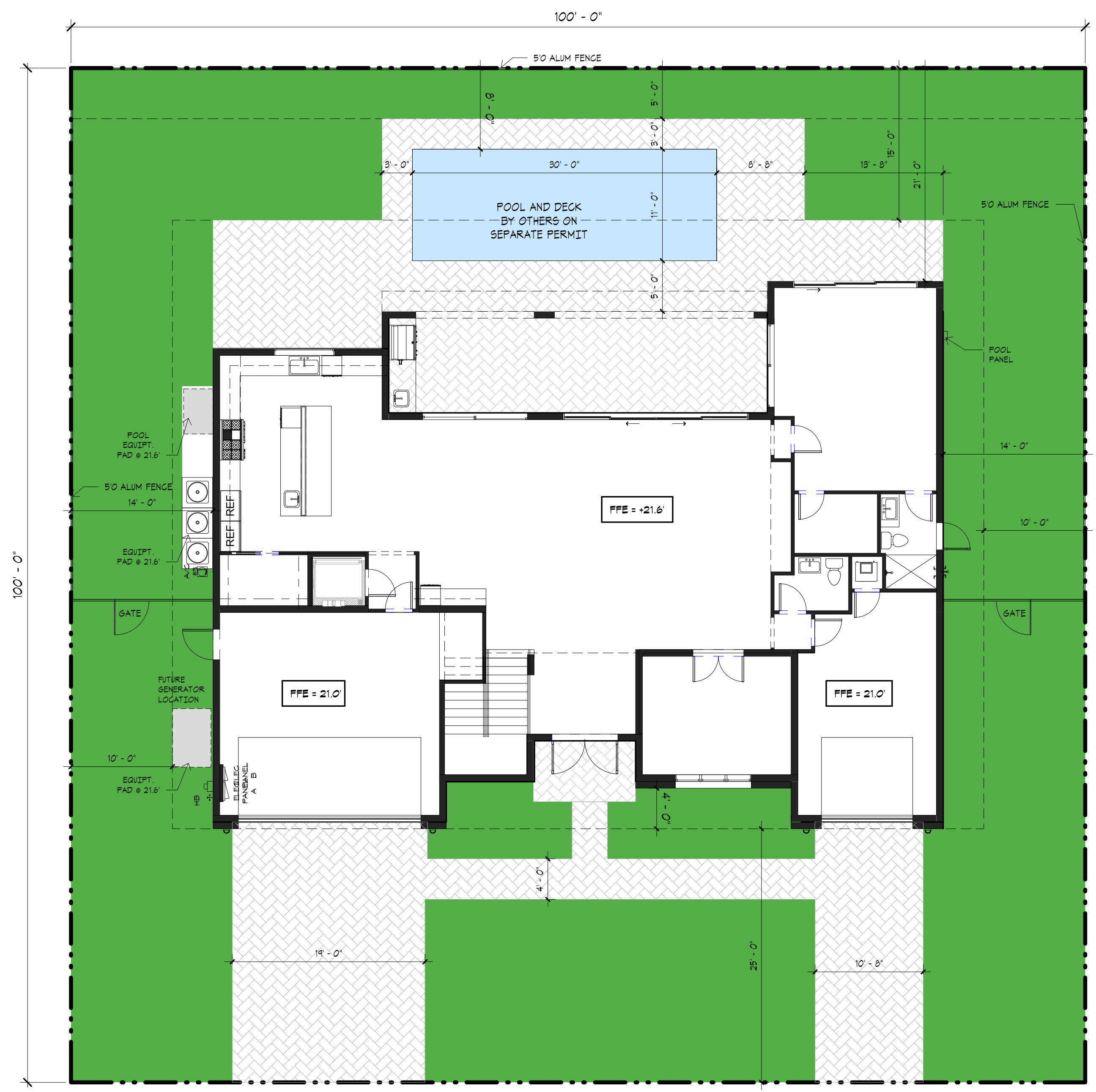
SITE DATA TABLE	
BUILDING FOOT PRINT	3,063 S.F.
1ST FLOOR AREA	2,261 S.F.
GARAGE AREA	802 S.F.
TOTAL SITE AREA	10,000 S.F.
LOT COVERAGE (MAX 35%)	3,500 S.F.

25% LANDSCAPE AREA = 2,500 S.F.
 PROVIDE = 4,400 SF

LANDSCAPE AREA

ZONING REQUIREMENT		
	REQUIRED	PROVIDED
MINIMUM FRONT SET-BACK	25'-0"	25'-0"
MINIMUM SIDE SET-BACK	10'-0"	14'-0"
MINIMUM REAR SET-BACK	10'-0"	21'-0"
MAXIMUM HEIGHT : 2-STORIES	30'-0"	28'-6"
MAXIMUM TOWER HEIGHT	NONE	35'-0"
MAXIMUM TOWER AREA	225 SF	220 SF
MAXIMUM COVERAGE	35% : 3,500 S.F.	3,063 S.F.
MAXIMUM BUILDING DIM	100 FT	72 FT
MINIMUM LANDSCAPE AREA	25% : 2,500 S.F.	4,400 S.F.
MINIMUM PARKING REQ	2 SPACES	3-SPACES

NOTE:
 1. NO ROOF DRAINS
 2. APPLICANT/OWNER SHALL BE RESPONSIBLE FOR CORRECTING AND ADVERSE IMPACTS CAUSED BY EXISTING AND PROPOSED CONDITIONS NO CAPTURED ON PLANS PRIOR TO C.O.
 3. NO WATER TO DRAIN ON TO ADJOINING PROPERTY.



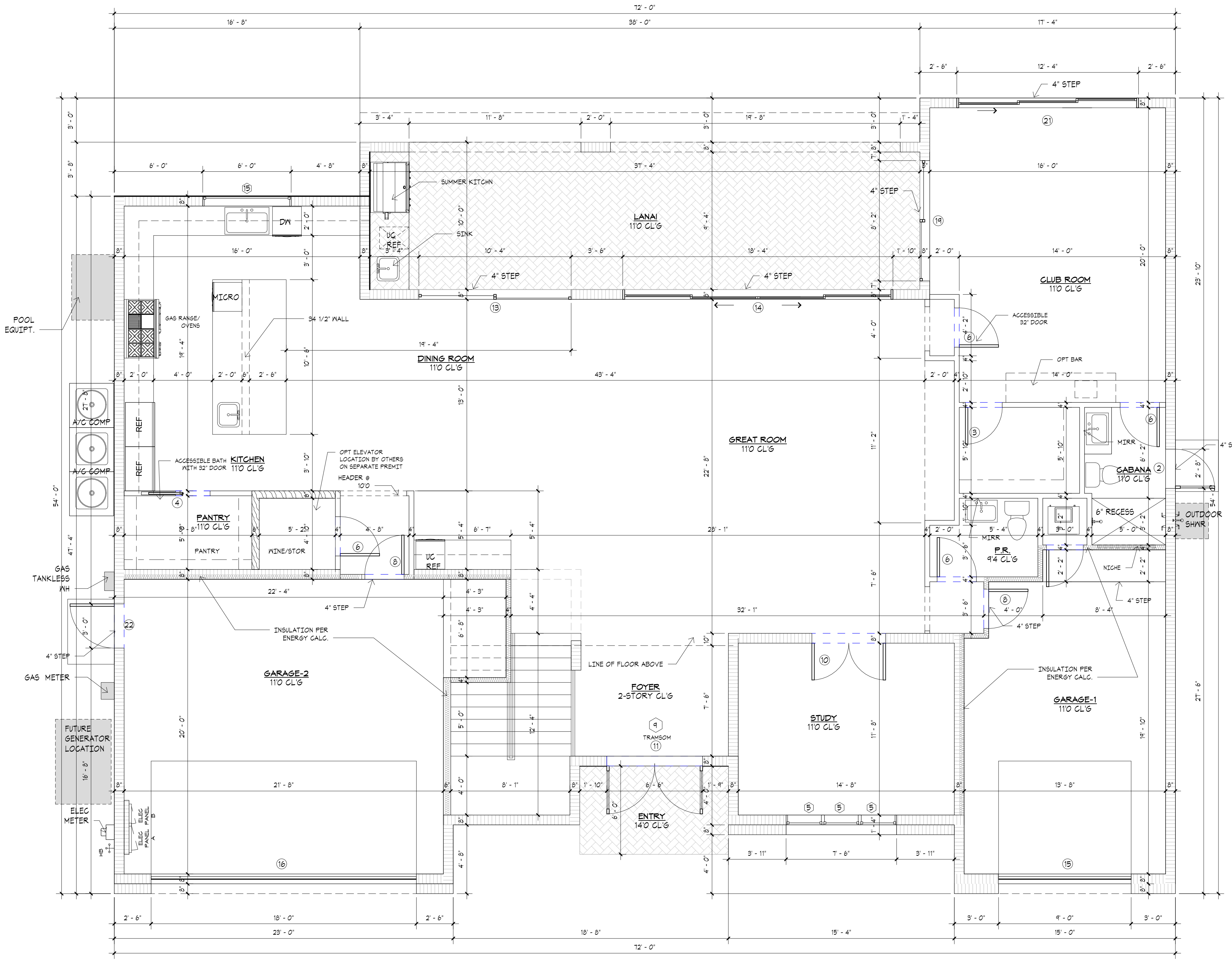
① SITE PLAN
 1/8" = 1'-0"

DOOR SCHEDULE				
Mark	Description	WIDTH	HEIGHT	Finish Comment
1	2080 INTERIOR DOOR	2' - 0"	8' - 0"	
2	2480 FRENCH 1-LITE	2' - 4"	8' - 0"	
3	2880 INTERIOR DOOR	2' - 8"	8' - 0"	
4	2880 POCKET DOOR	2' - 8"	8' - 0"	
5	2880 FRENCH 1 LITE	2' - 8"	8' - 0"	
6	2880 INTERIOR DOOR	2' - 8"	8' - 0"	
7	3080 POCKET DOOR	0' - 0"	0' - 0"	
8	2880 SC	2' - 8"	8' - 0"	DOOR TO GARAGE AUTO-CLOSURE/20 MIN RATING
9	2-2080 INTERIOR DOOR	4' - 0"	8' - 0"	
10	2-2680 INTERIOR DOOR	5' - 0"	8' - 0"	
11	2-3090 FRONT DOOR IMPACTED	6' - 4"	8' - 0"	
12	12080 XXX SGD	9' - 4"	8' - 0"	
13	10090 XXX SGD	10' - 4"	9' - 0"	
14	18090 OXXO SGD IMPACTED	18' - 4"	9' - 0"	
15	9080 ALUMINUM GARAGE DOOR	9' - 0"	8' - 0"	
16	18080 ALUMINUM GARAGE DOOR	18' - 0"	8' - 0"	
17	8080 XX SGD IMPACTED	8' - 2"	8' - 0"	
18	2880 FRENCH 1 LITE	2' - 8"	8' - 0"	
19	8090 XX SGD IMPACTED	8' - 2"	9' - 0"	
20	2880 INTERIOR DOOR	2' - 8"	8' - 0"	
21	12090 XXX SGD	9' - 4"	9' - 0"	
22	2880 MTL DOOR	3' - 0"	8' - 0"	
Grand total				

WINDOWS SCHEDULE				
Mark	Rough Opening		Description	
	Width	Height		
2	2' - 6"	2' - 6"	30" X 30" FIXED GLASS	
3	2' - 6"	6' - 0"	30" X 72" CASEMENT EGRESS	
4	2' - 6"	6' - 0"	30" X 72" FIXED GLASS	
5	2' - 6"	9' - 0"	30" X 108" FIXED GLASS	
7	3' - 0"	6' - 0"	36" X 72" CASEMENT EGRESS	
8	3' - 0"	6' - 0"	36" X 72" FIXED GLASS	
9	3' - 3"	4' - 2"	38" X 50" FIXED GLASS	
11	3' - 2"	8' - 8"	38" X 104" FIXED GLASS	
13	3' - 2"	6' - 0"	38" X 60" FIXED GLASS	
14	6' - 0"	3' - 0"	72" X 36" FIXED GLASS	
15	6' - 0"	6' - 0"	72" X 72" FIXED GLASS	
16	2' - 0"	4' - 0"	24" X 48" FIXED GLASS	
Grand total: 32				

AREA CALCULATION 1	
DESCRIPTION	AREA
1ST FLOOR A/C AREA	2261 SF
2nd FLOOR A/C AREA	2830 SF
	5091 SF
ENTRY	60 SF
LANAI	376 SF
GARAGE	802 SF
BALCONY	451 SF
	1690 SF
ACCESSIBLE TERRACE	167 SF
TOWER FLOOR AREA	53 SF
	220 SF
TOTAL AREA	7000 SF

- GENERAL NOTES**
- ALL WINDOWS AND SLIDING DOOR GLASS SHALL BE PER ENERGY CALC.
 - OMITTED
 - DRYER MUST VENT TO OUTSIDE.
 - SET HOTWATER HEATER AT FIN. FLR. LEVEL.
 - ALL MECHANICAL FANS MUST BE VENTED TO OUTSIDE.
 - ALL BATH ROOM FLOOR AND BASE SHALL BE IMPERVIOUS MATERIAL WHERE REQUIRED BY LOCAL BUILDING CODE.
 - HVAC CONTRACTOR TO PROVIDE ELECTRICAL BREAKERS IN AIR HANDLER.
 - ALL BATHROOM FIXTURE OUTLETS TO BE 86" AFF OR AS PER BUILDER SPECIFICATIONS.
 - PROVIDE RECEPTICAL FOR WAGO/WOOD FAN 65" A.F.F. CENTER RANGE SPACE.
 - SMOKE DETECTORS SHALL BE HARD WIRE 110V W/ BATTERY BACK UP. MULTIPLE DETECTORS SHALL BE INTERCONNECTED.
 - EGRESS WINDOWS SHALL HAVE A CLEAR OPENING OF NOT LESS THAN 20 INCHES IN WIDTH, 24 INCHES IN HEIGHT, AND 5.7 SQ. FT. IN AREA. THE BOTTOM OF THE OPENING SHALL BE NOT MORE THAN 44" OFF THE FLOOR.
- NOTE: CONTRACTORS MUST VERIFY OPENINGS WITH DOORS AND WINDOWS MANUFACTURERS.



1 1ST FLR PLAN
1/4" = 1'-0"

Item 83

SHEET INFORMATION

PROJECT INFORMATION

401 DIANA LANE
JUNO BEACH, FLORIDA

CLIENT INFORMATION

401 DIANA LANE, LLC
5301 N FEDERAL HWY SUITE 185
BOCA RATON, FLORIDA

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Phone: (561) 702-2435

Design & Analysis of
Residential and Light
Commercial Projects
P.E. 51199

FILE NAME:

SCALE:

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RV'D. BY:

DRWN. BY:

REVISION:

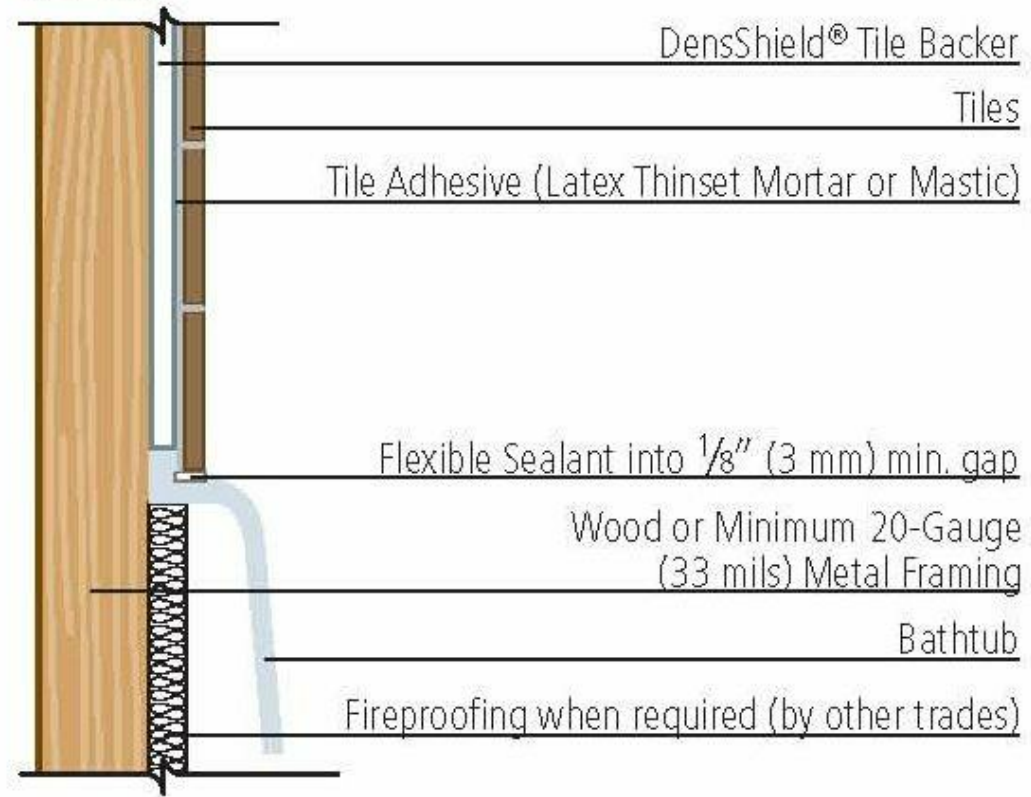
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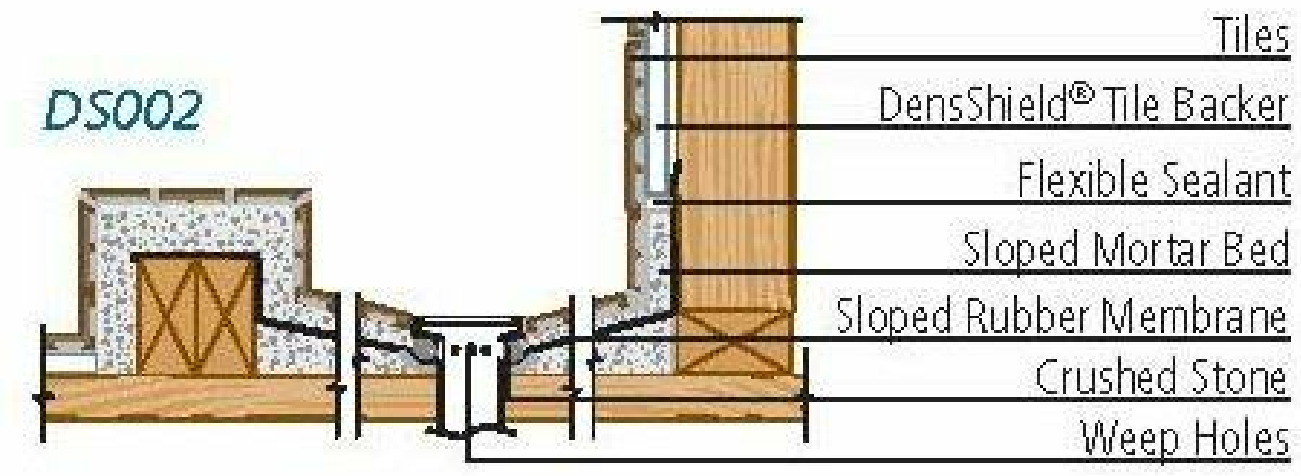
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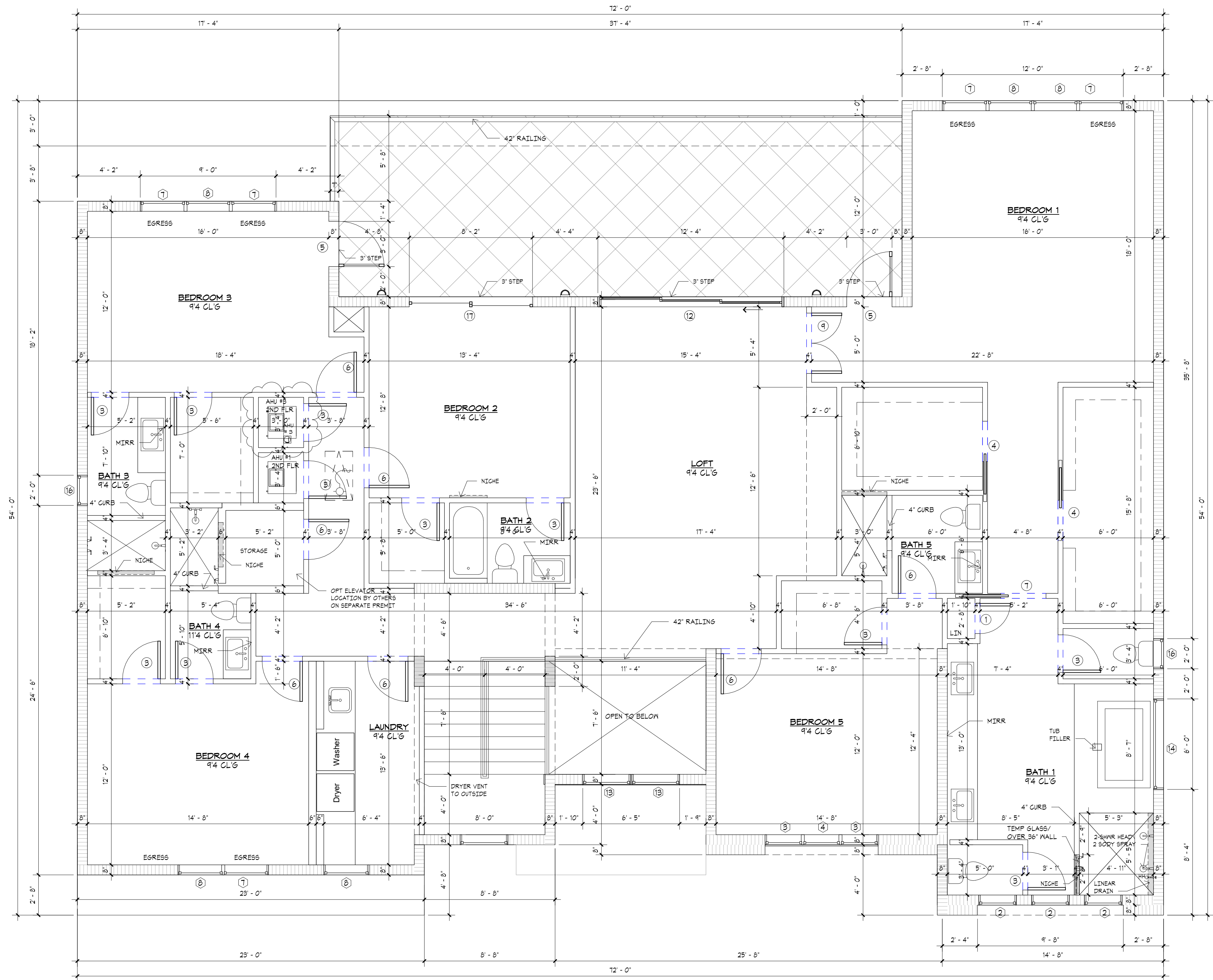
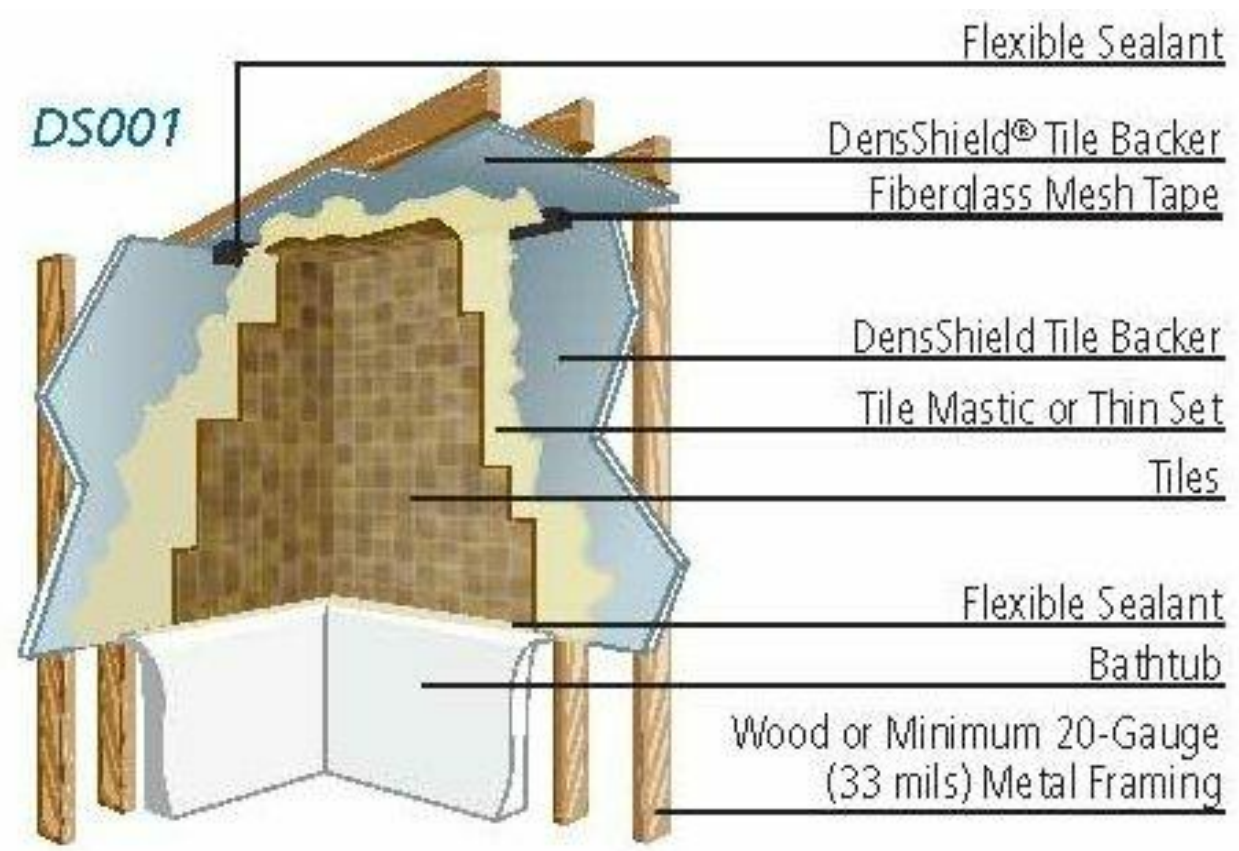
DS003



DS002



DS001



1 2ND FLR PLAN
1/4" = 1'-0"

2ND FLOOR PLAN

SHEET INFORMATION

PROJECT INFORMATION
401 DIANA LANE
JUNO BEACH, FLORIDA

CLIENT INFORMATION

401 DIANA LANE, LLC
5301 N FEDERAL HWY SUITE 185
BOCA RATON, FLORIDA

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Design & Analysis of Residential and Light Commercial Projects
P.E. 51199 Phone: (561) 702-2435

FILE NAME:

SCALE:

DATE 11/07/2024

RV'D. BY:

DRWN. BY:

REVISION

10/28/2024



SHEET #

A-2

TOWER PLAN

SHEET INFORMATION

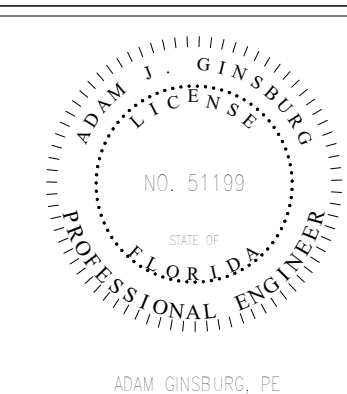
PROJECT INFORMATION
401 DIANA LANE
JUNO BEACH, FLORIDA

CLIENT INFORMATION
401 DIANA LANE, LLC
5301 N FEDERAL HWY SUITE 185
BOCA RATON, FLORIDA

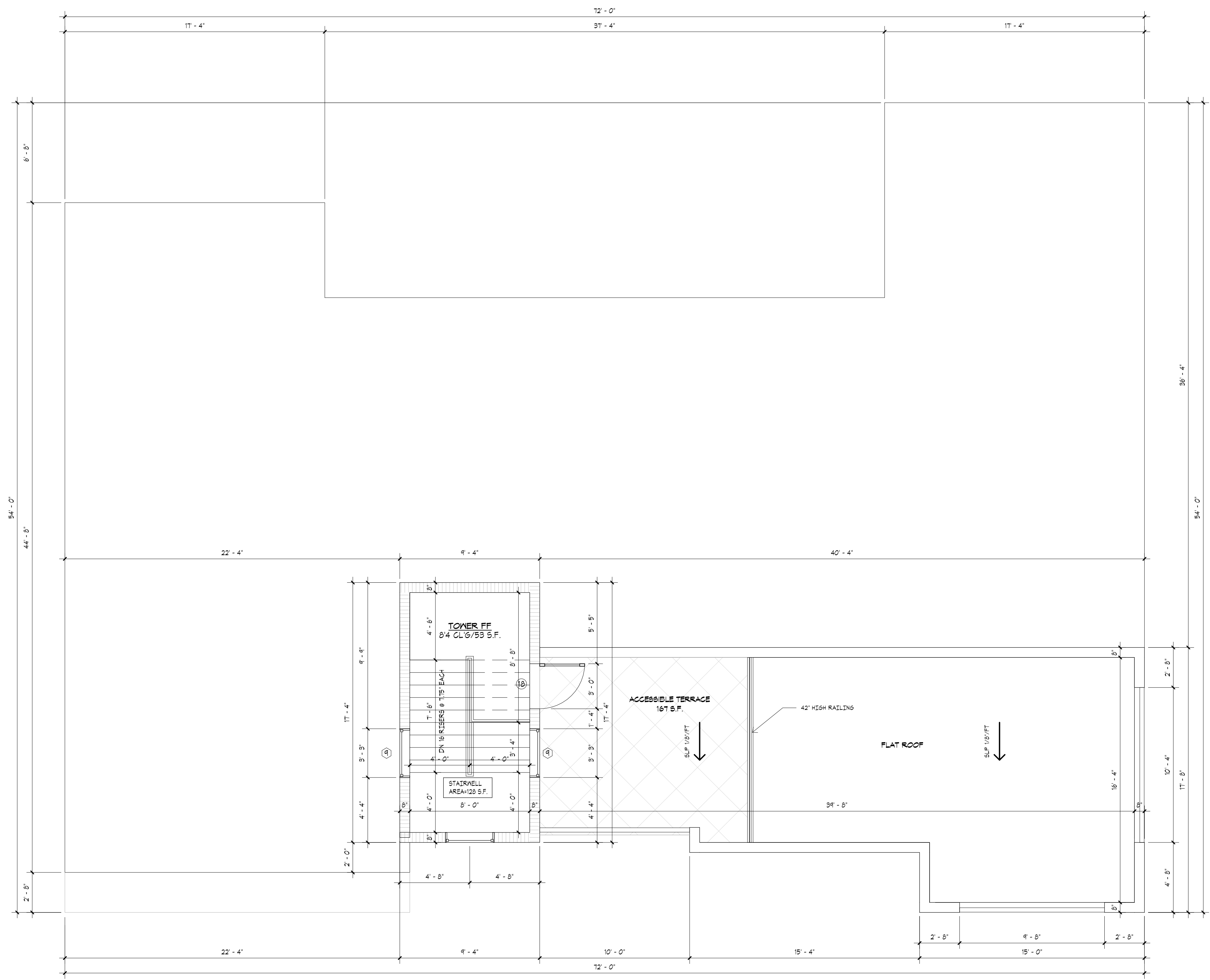
ADAM J. GINSBURG, P.E.
STRUCTURAL ENGINEER
Design & Analysis of
Residential and Light
Commercial Projects
P.E. 51199
2901 Clint Moore Road, #237
BOCA RATON, FL 33486
Phone: (561) 702-2435

FILE NAME:
SCALE:
DATE: 11/07/2024
RVD. BY:
DRWN. BY:

REVISION



SHEET #
A-2.1



1 TOWER FLOOR PLAN
1/4" = 1'-0"

I:\CRAIG\DELL\401 DIANA LANE\401 DIANA LANE-MASTER.rvt

SW 7032
Warm Stone

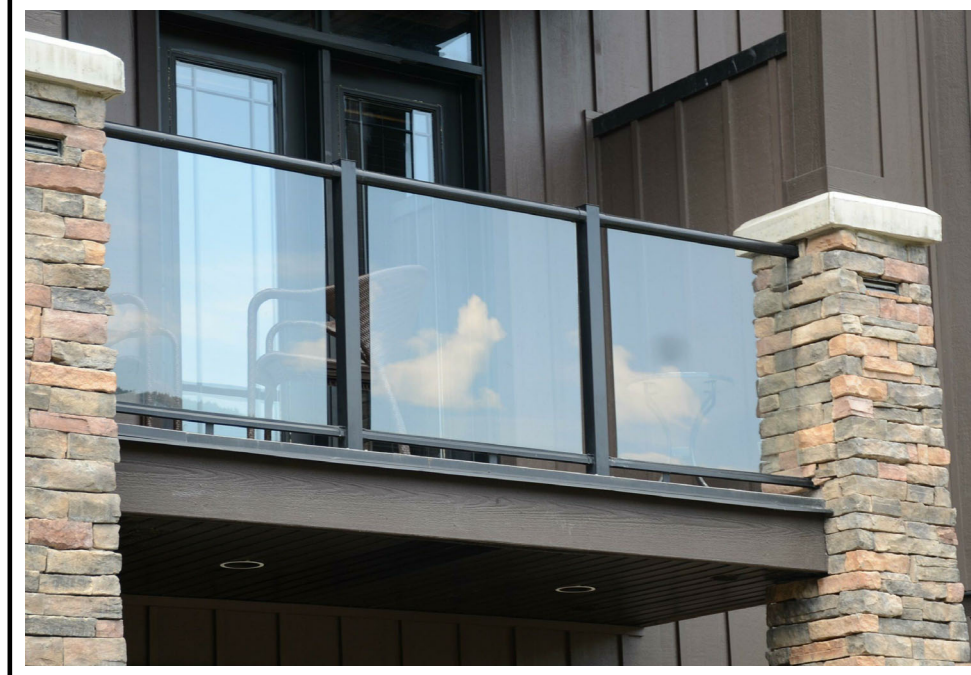
GARAGE DR : FLUSH PANEL H
WINDOWS : FLUSH PANEL
COLOR : WARM STONE
CONSTRUCTION : HERITAGE HR3000

SW 7021
Simple White

BODY COLOR
SW 7021
SIMPLE WHITE

SW 7032
Warm Stone

FASCIA COLOR
SW 7032
WARM STONE



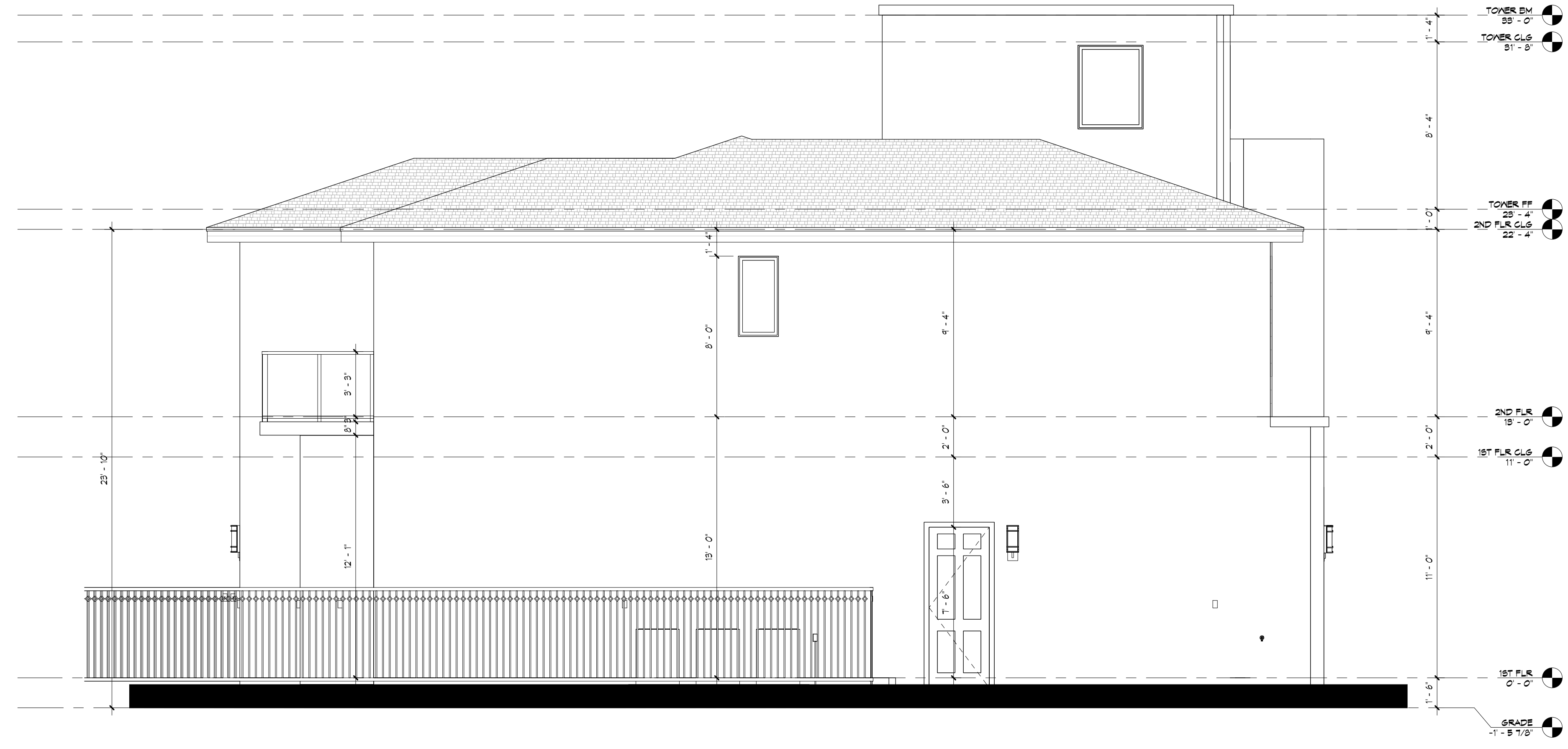
BALCONY RAILING
VIEWRAIL
CABLE RAILING

SW 7044
Amazing Gray

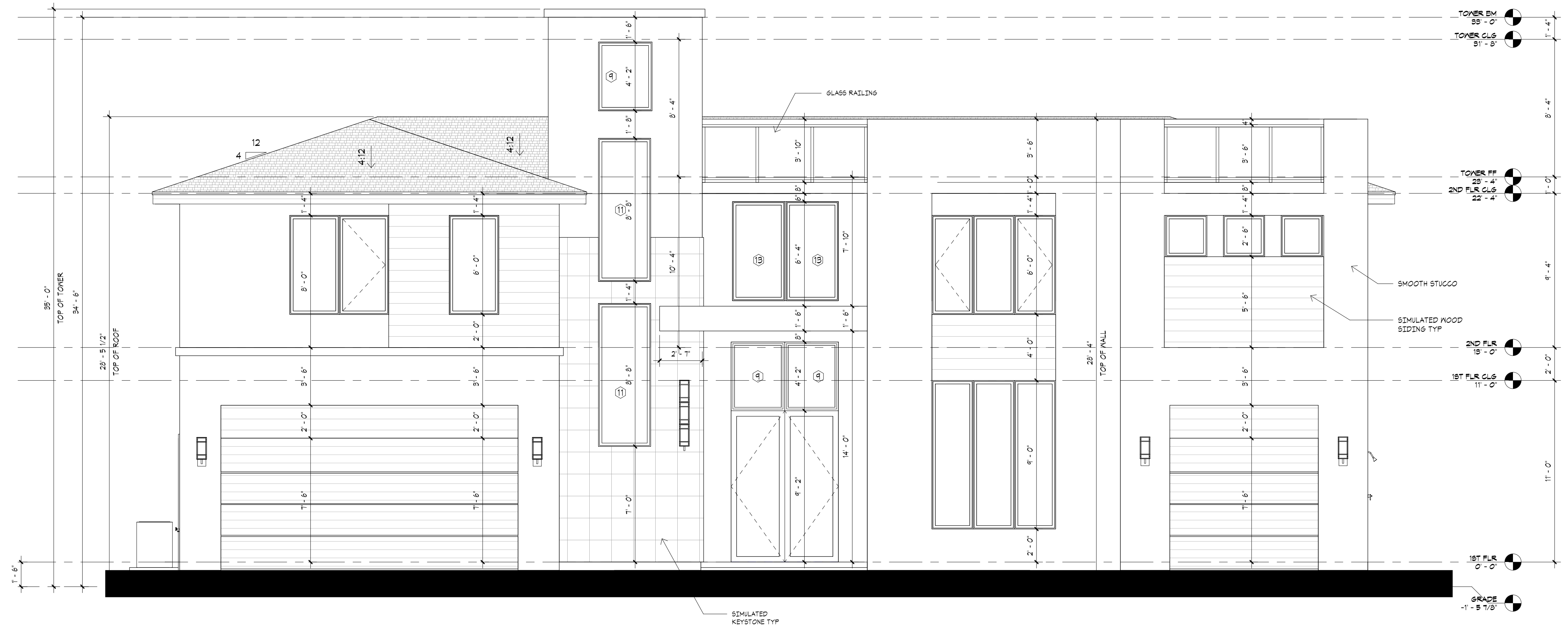
FRONT CENTER
COLUMN,
BALCONY,
FRONT DOOR,
DOOR/WINDOWS
FRONT CENTER
SW 7044
AMAZING GREY



SIMULATED WOODS SIDING



② LEFT ELEVATION
1/4" = 1'-0"



① FRONT ELEVATION
1/4" = 1'-0"

CLIENT INFORMATION

401 DIANA LANE, LLC
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BOCA RATON, FLORIDA

ADAM J. GINSBURG, P.E.
STRUCTURAL ENGINEER

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BOCA RATON, FL 33486
Design & Analysis of Residential and Light Commercial Projects
P.E. 51199
Phone: (561) 702-2435

FILE NAME:

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RV'D. BY:

DRWN. BY:

REVISION

10/28/2024



SHEET #

A-3

ELEVATIONS

SHEET INFORMATION

401 DIANA LANE
JUNO BEACH, FLORIDA



ROOF TILE :
BORAL SAXONY 9000 CHARCOAL



EXTERIOR LIGHT
SCONE
AVENUE
OUTDOOR
COLLECTION
AV3228-BLK



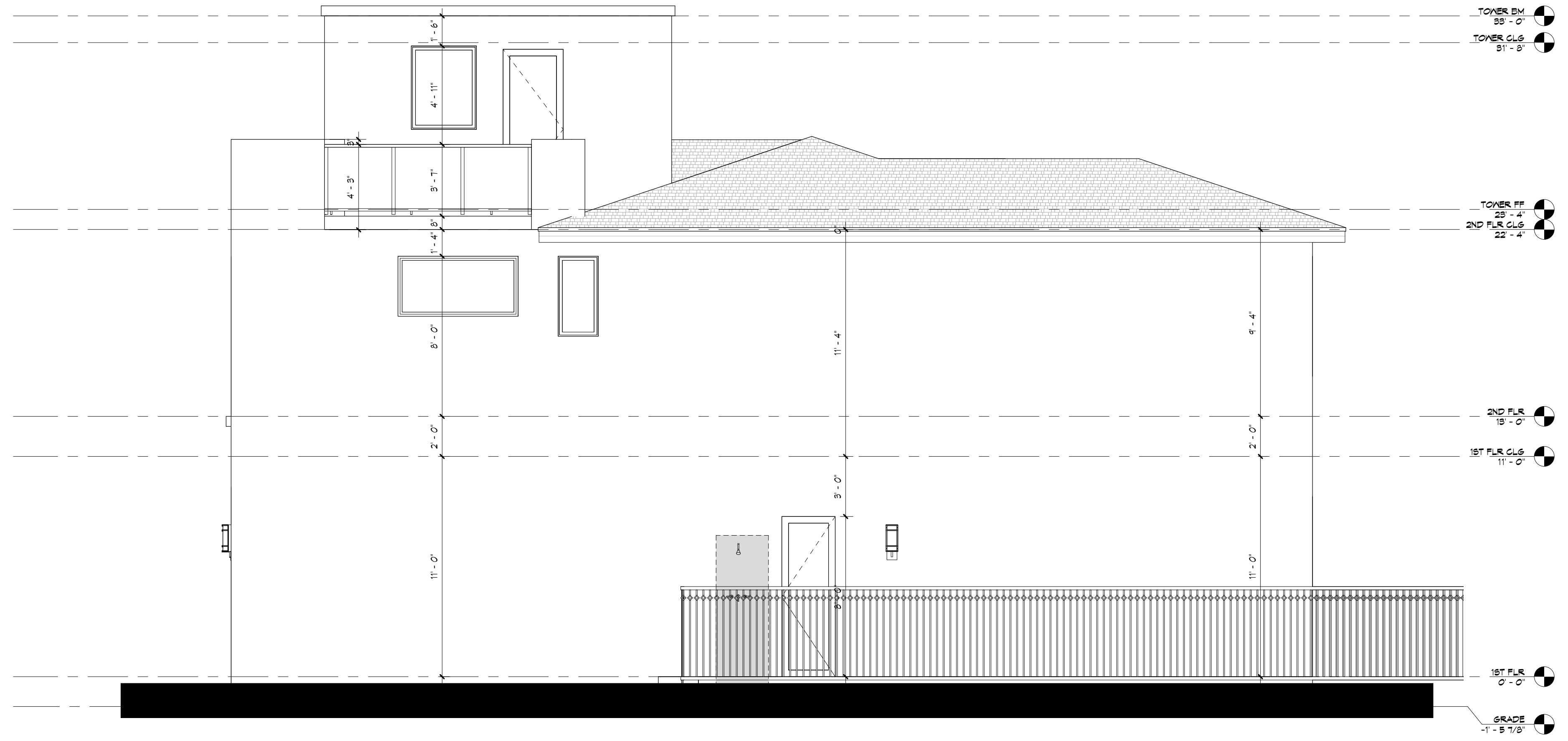
POOL DECK
WHITE AURORA LEATHERED



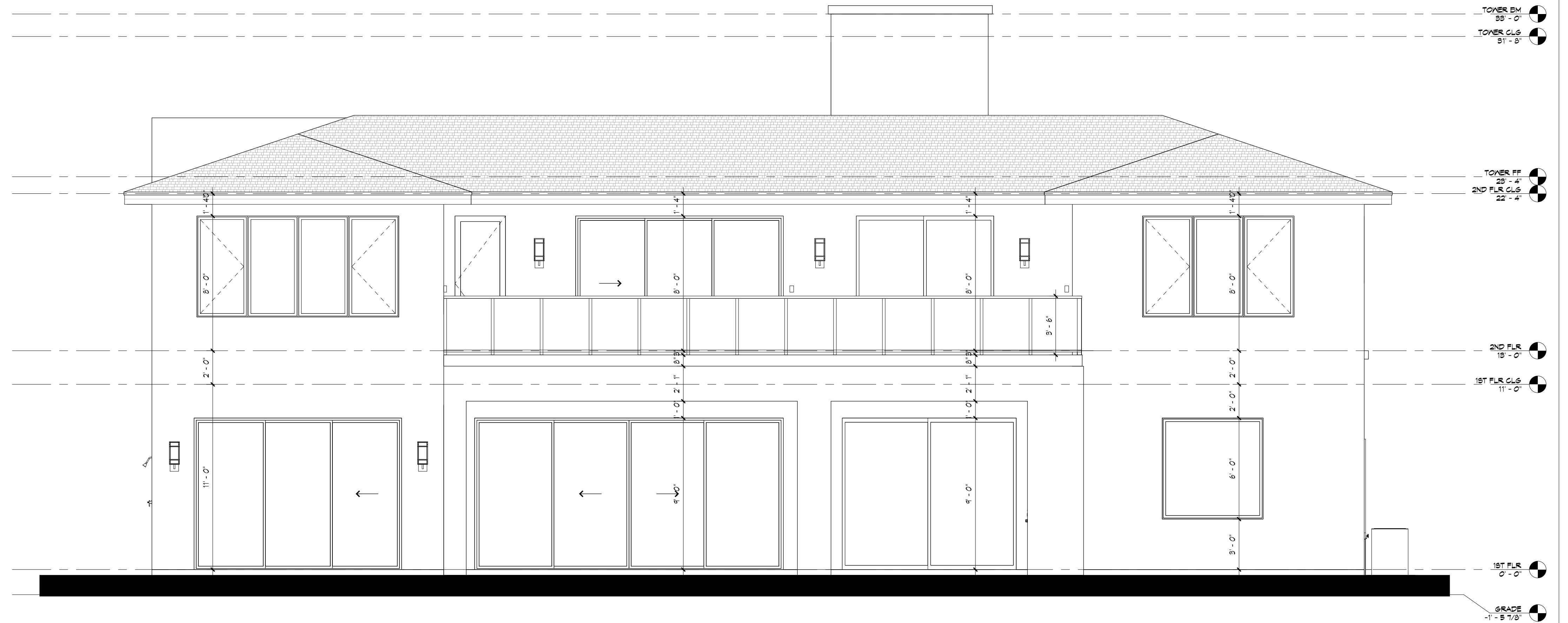
SIMULATED KEYSTONE



DRIVEWAY PAVERS



② RIGHT ELEVATION
1/4" = 1'-0"



① REAR ELEVATION
1/4" = 1'-0"

ELEVATIONS

SHEET INFORMATION

PROJECT INFORMATION
401 DIANA LANE
JUNO BEACH, FLORIDA

CLIENT INFORMATION
401 DIANA LANE, LLC
5301 N FEDERAL HWY SUITE 185
BOCA RATON, FLORIDA

ADAM J. GINSBURG, P.E.
STRUCTURAL ENGINEER
2901 Clint Moore Road, #237
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Design & Analysis of
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FILE NAME:
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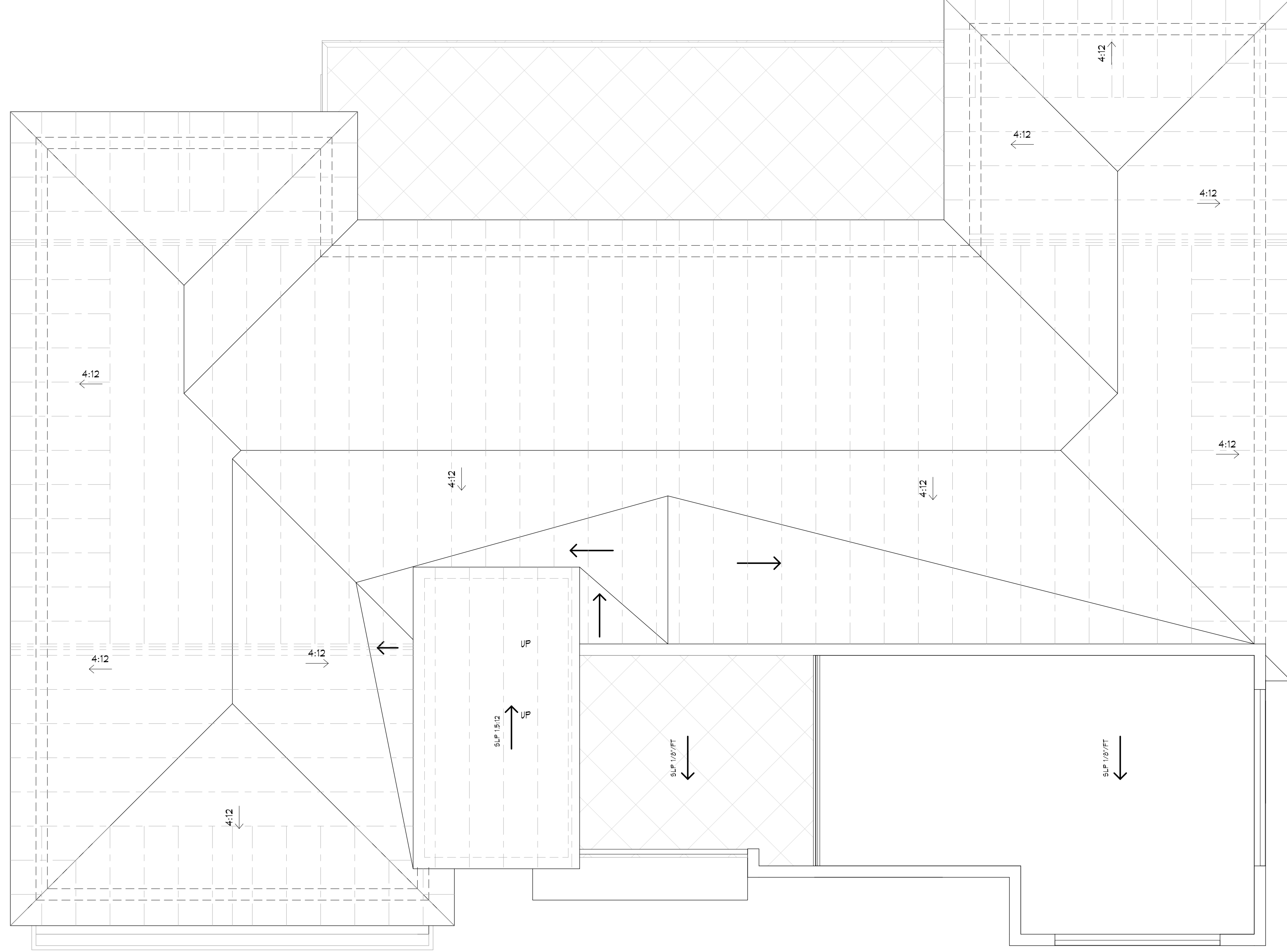
REVISION
10/28/2024



ADAM GINSBURG, PE

SHEET #

A-4



1 ROOF PLAN
1/4" = 1'-0"

ROOF PLAN		SHEET INFORMATION 401 DIANA LANE JUNO BEACH, FLORIDA
		PROJECT INFORMATION 401 DIANA LANE JUNO BEACH, FLORIDA
CLIENT INFORMATION 401 DIANA LANE, LLC 5301 N FEDERAL HWY SUITE 185 BOCA RATON, FLORIDA		ADAM J. GINSBURG, P.E. STRUCTURAL ENGINEER Design & Analysis of Residential and Light Commercial Projects P.E. 51199 2901 Clint Moore Road, #237 BOCA RATON, FL 33486 Phone: (561) 702-2435
FILE NAME: SCALE: DATE: 11/07/2024 RVD. BY: DRWN. BY:	REVISION 10/28/2024	
SHEET # A-5		51

TYPICAL DETAILS

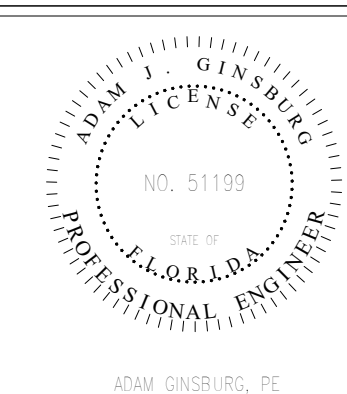
PROJECT INFORMATION
401 DIANA LANE
JUNO BEACH, FLORIDA

CLIENT INFORMATION
401 DIANA LANE, LLC
5301 N FEDERAL HWY SUITE 185
BOCA RATON, FLORIDA

ADAM J. GINSBURG, P.E.
STRUCTURAL ENGINEER
2901 Clint Moore Road, #237
BOCA RATON, FL 33486
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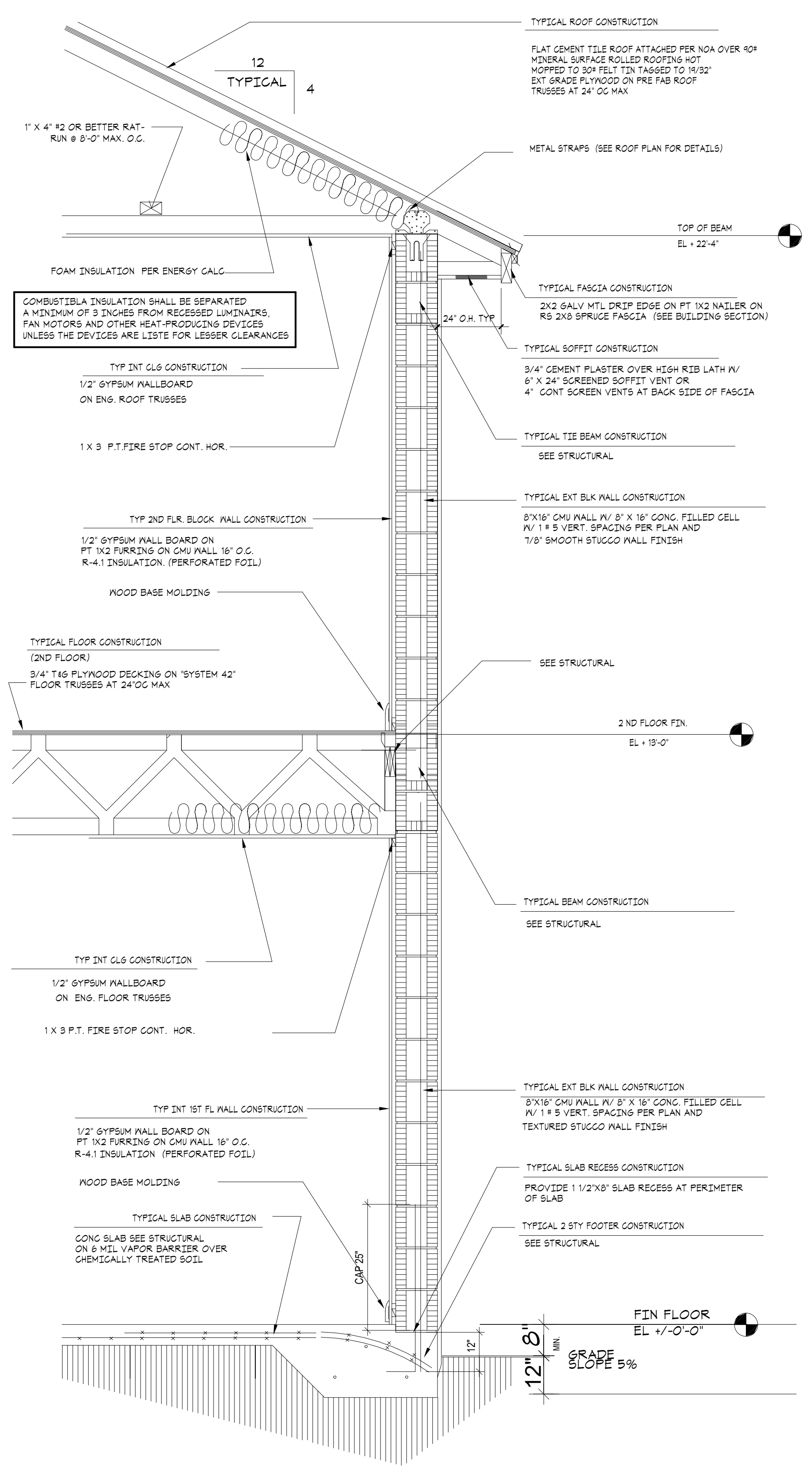
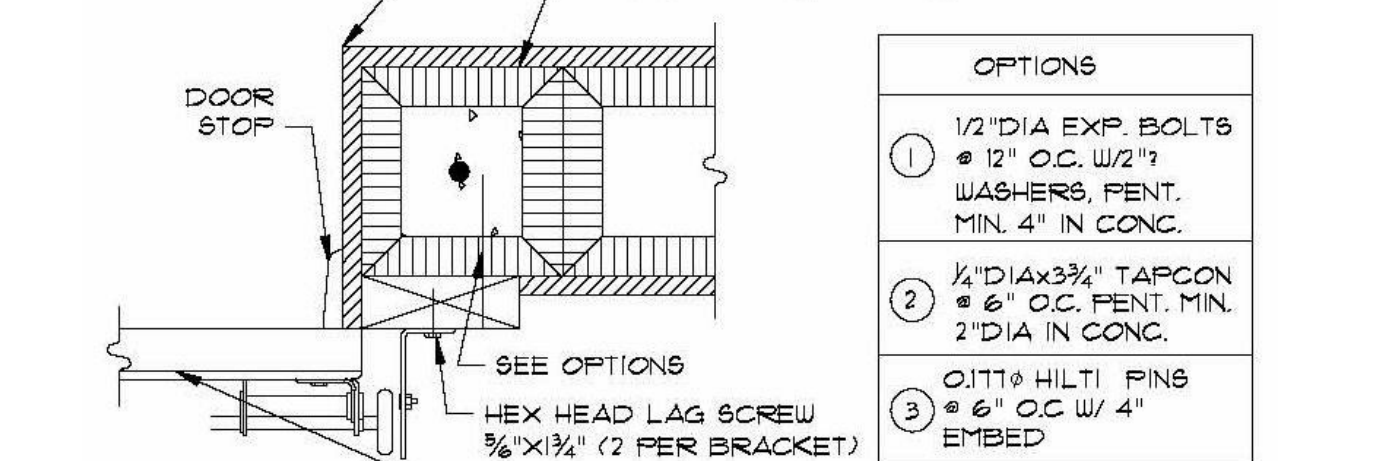
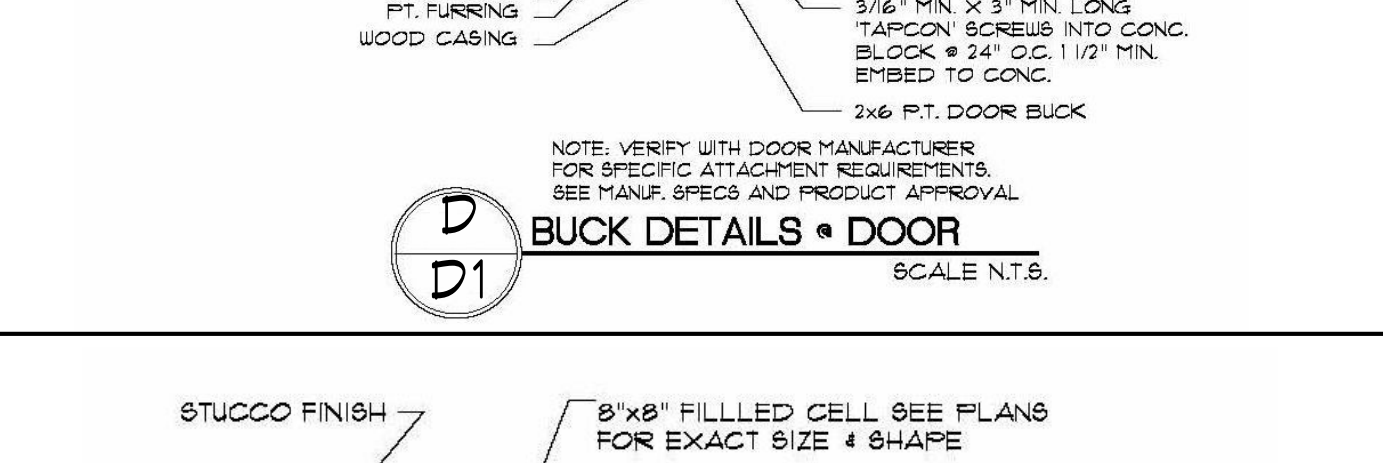
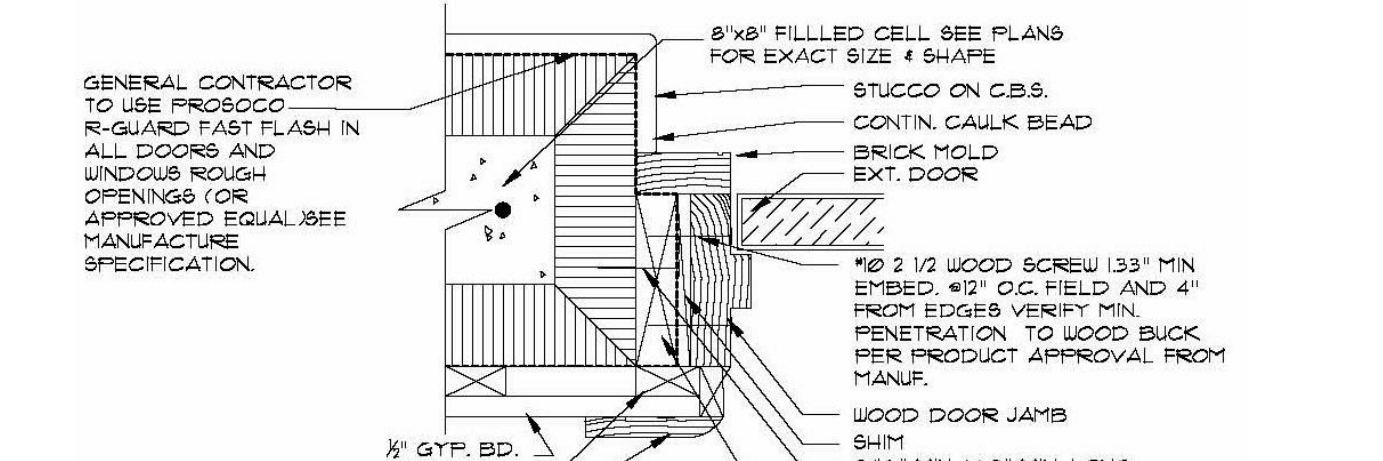
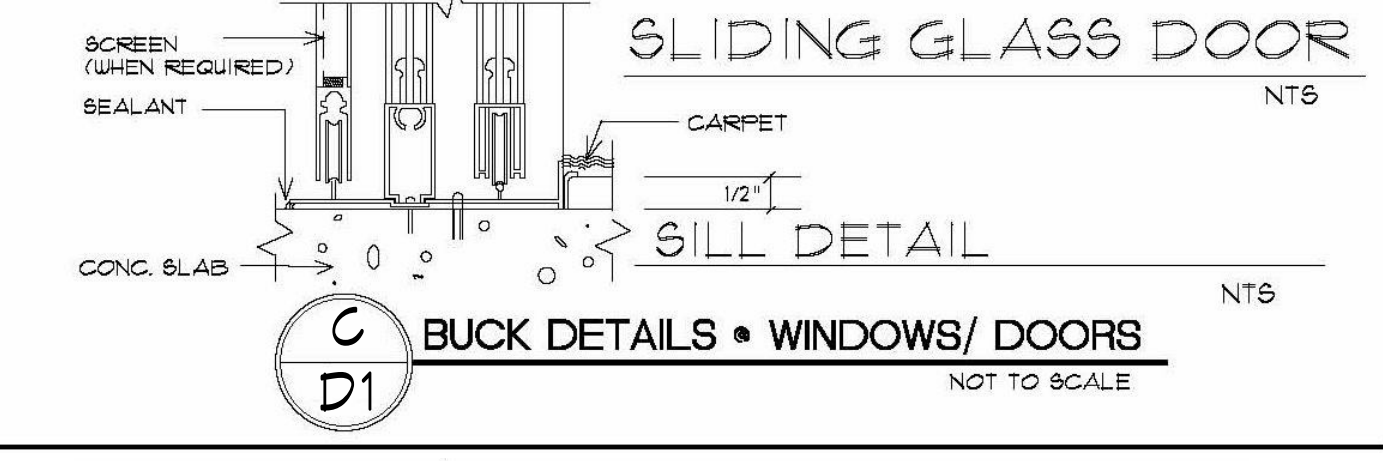
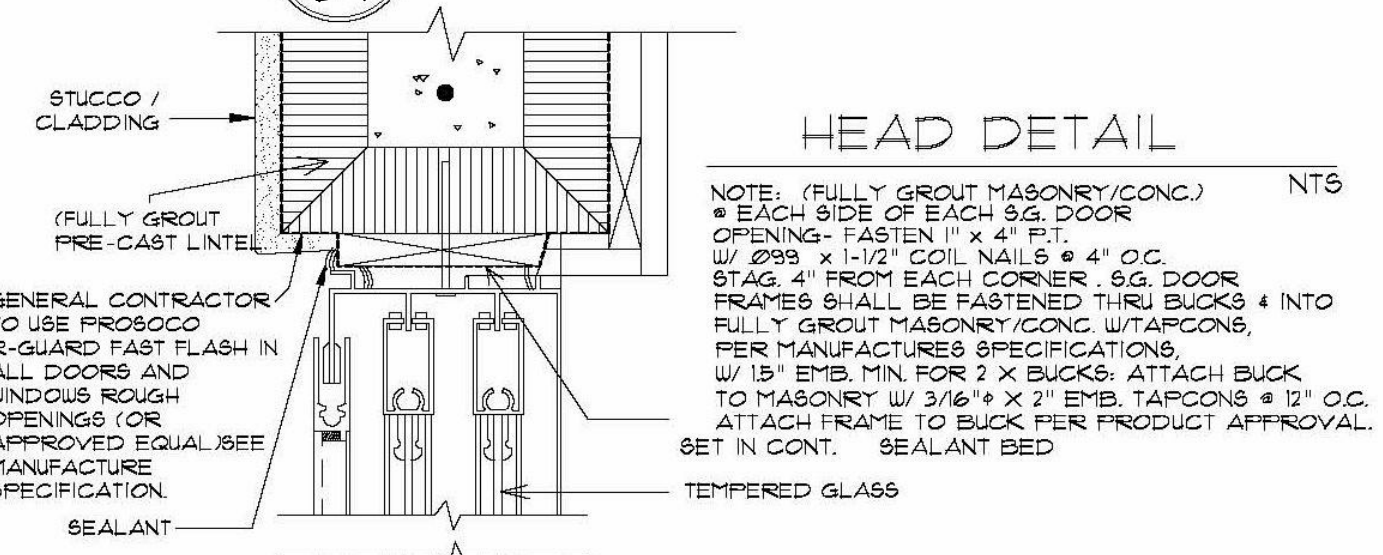
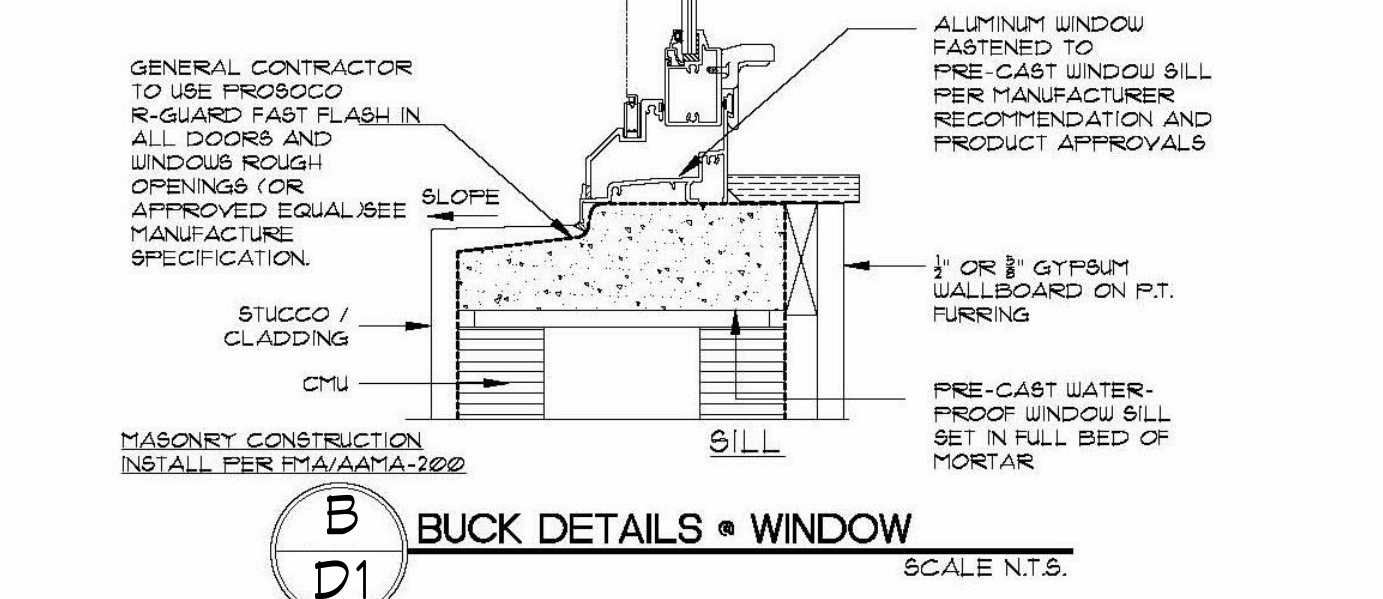
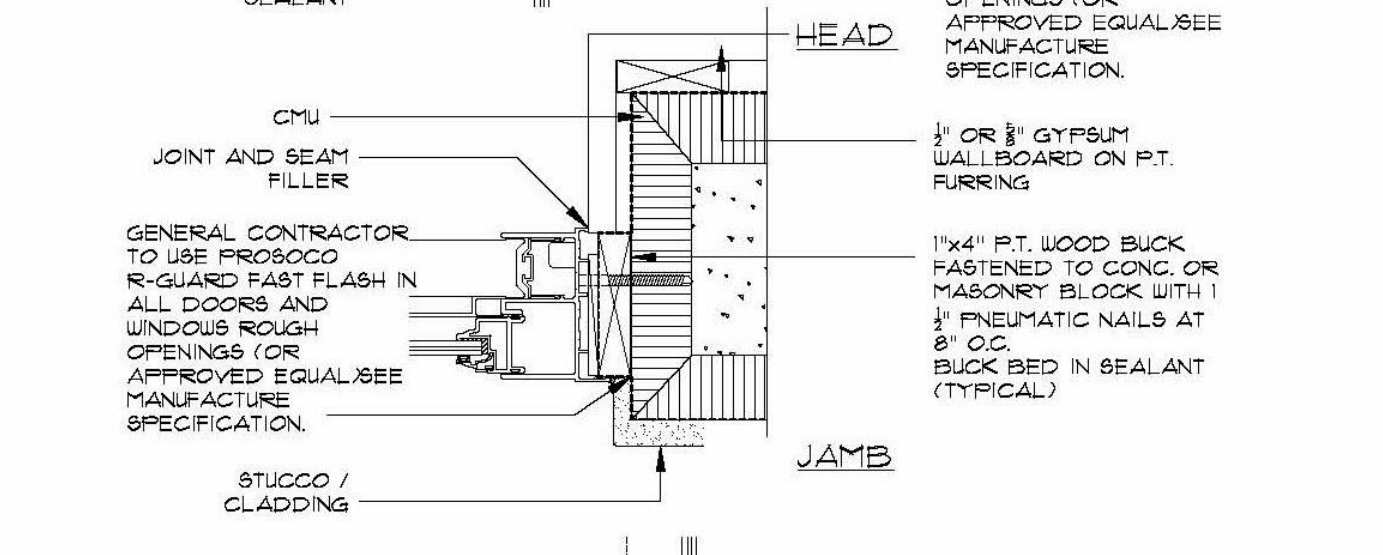
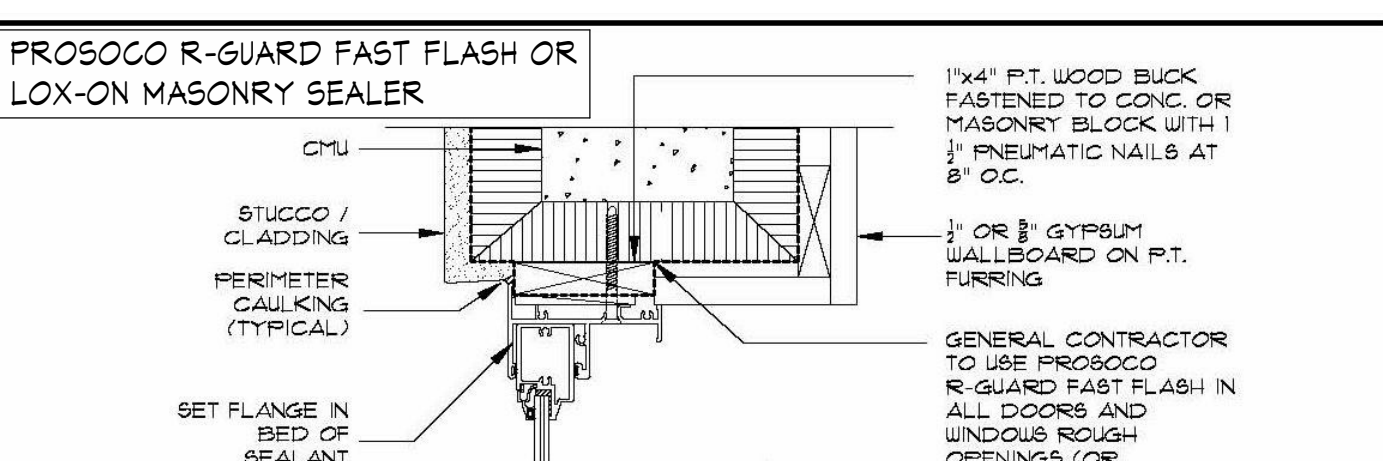
FILE NAME:
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DATE: 11/07/2024
RVD. BY:
DRWN. BY:

REVISION:



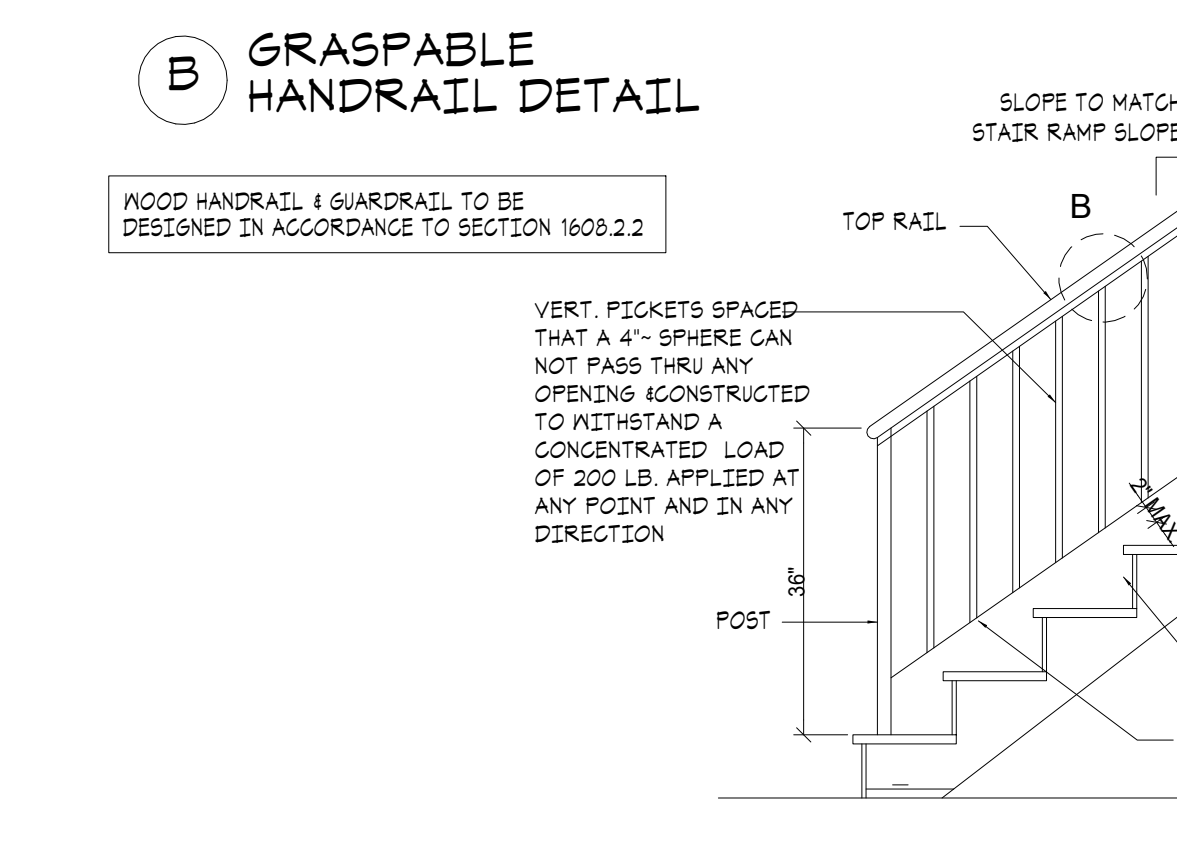
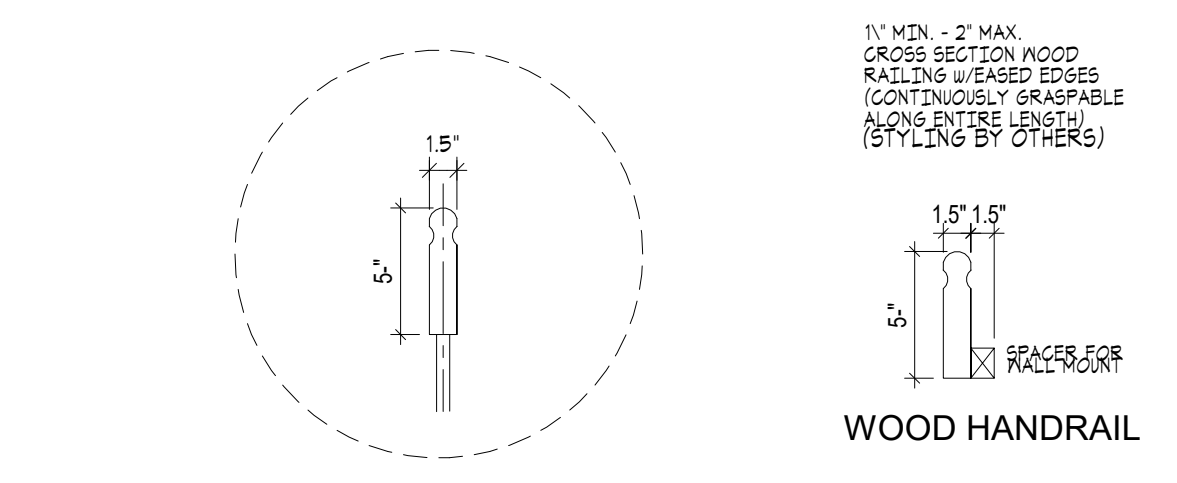
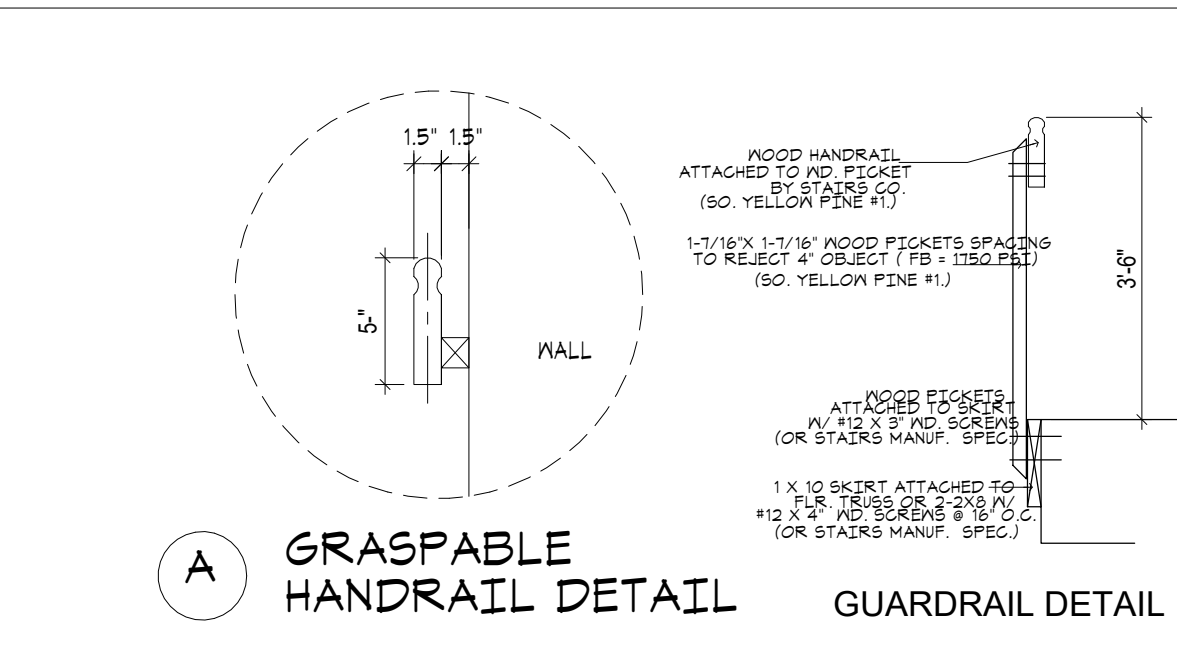
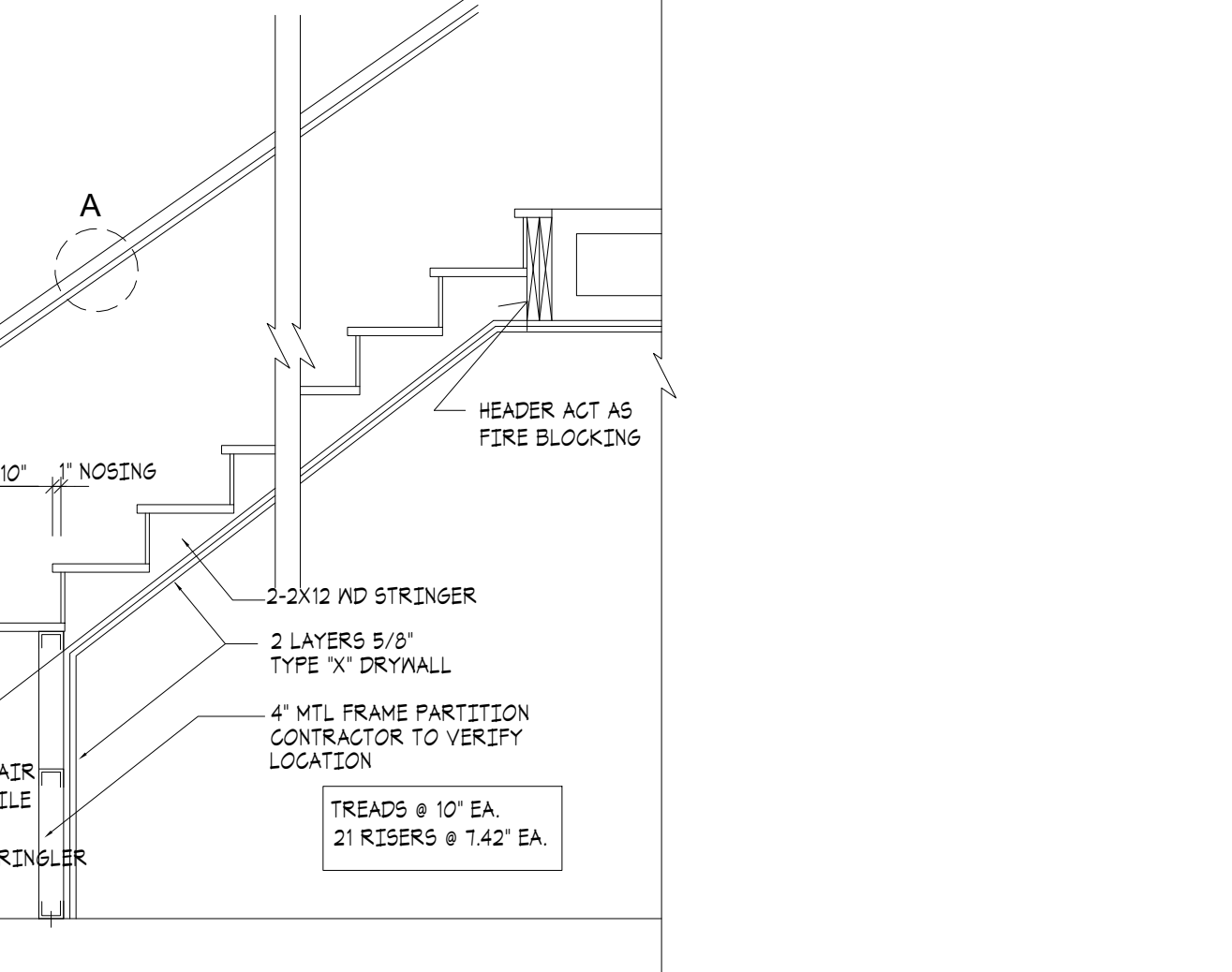
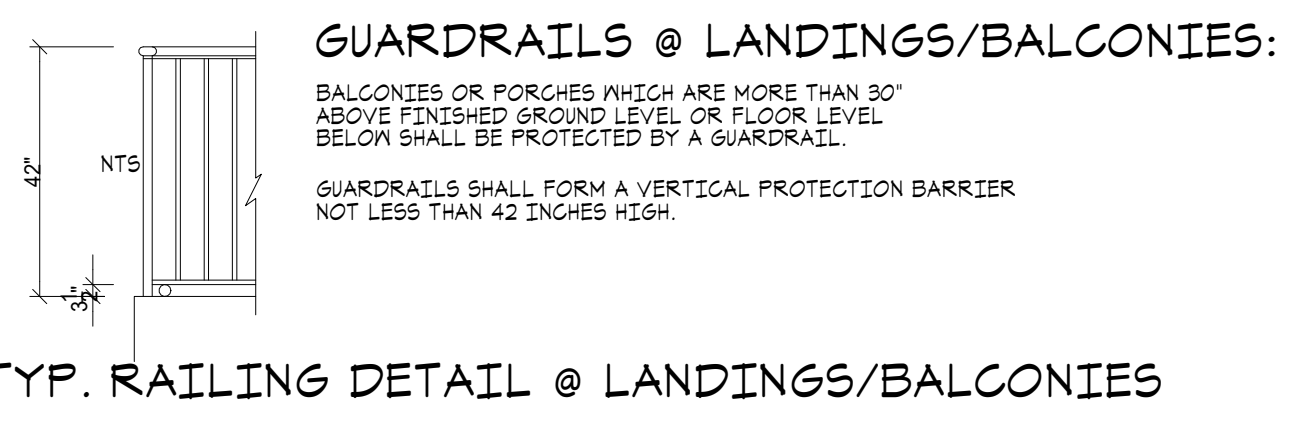
SHEET #
D-1

MASONRY CONSTRUCTION SEAL ALL OPENINGS WITH FLUID-APPLIED TO MEET AAMA T14 SPECIFICATION : INSTALL PER FMA/AAMA-200



GUARDRAIL NOTES:
1. ALL OPEN GUARDRAILS SHALL HAVE VERT. PICKETS OR ORNAMENTAL FILLER BELOW TOP RAIL WHICH WILL REJECT PASSAGE OF 4" @ 1/2" SPHERE.
2. BOTTOM RAIL CLEARANCE BETWEEN ADJACENT SURFACE NOT TO EXCEED 2" @ STAIR NOSING.
3. ALL HANDRAILING TO TERMINATE ON A POST OR RETURN INTO THE WALL. SEE PLAN FOR DESIGN / LAYOUT.

RAILING NOTES:
1. ALL RAILINGS TO MEET 2001 IMPACT LOAD W/ 50# / L.F. TOP RAIL AND 25# / L.F. AT PICKETS OR ORNAMENTAL FILLER.
2. SHOP DRAWINGS TO BE SUBMITTED TO ARCHITECT FOR REVIEW AND TO APPROPRIATE BLDG. DEPT. FOR APPROVAL.



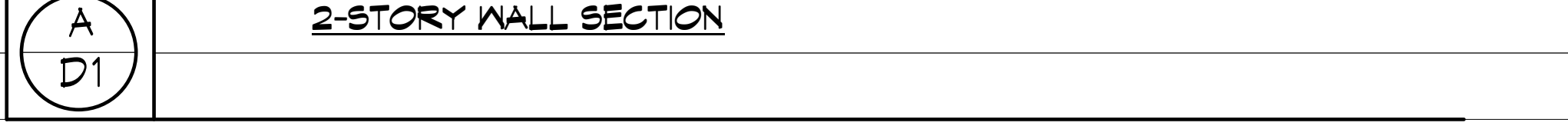
WOOD HANDRAIL & GUARDRAIL TO BE DESIGNED IN ACCORDANCE TO SECTION 1608.2.2

VERT. PICKETS SPACED THAT A 4" SPHERE CAN NOT PASS THRU ANY OPENING (CONSTRUCTED TO WITHSTAND A CONCENTRATED LOAD OF 200 LB. APPLIED AT ANY POINT AND IN ANY DIRECTION)

WOOD HANDRAIL 1 GUARDRAIL TO BE DESIGNED IN ACCORDANCE TO SECTION 1608.2.2



1-STORY WALL SECTION



2-STORY WALL SECTION

I:\CRAIG\DELL\401 DIANA LANE\401 DIANA LANE-MASTER.rvt

RENDERINGS

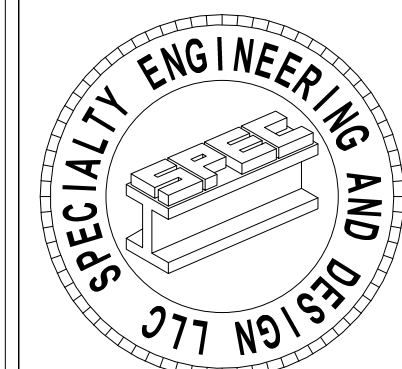
SHEET INFORMATION

PROJECT INFORMATION

401 DIANA LANE
JUNO BEACH, FLORIDA

CLIENT INFORMATION

401 DIANA LANE, LLC
3050 CHATEAU LANE,
PALM BEACH GARDENS, FLORIDA



SPECIALTY ENGINEERING CONSULTANTS, Inc

1599 SW 30th AVE.
SUITE #20
BOYNTON BEACH, FL 33426

DADE - BROWARD - PALM BEACH
FL. CA. #009217

561 - 752 - 5440 OFFICE
561 - 752 - 5542 FAX

FILE NAME:

SCALE

DATE 11/07/2024

RVD. BY

DRWN. BY

REVISION

SEAL
D. ADAM LeBLANC, PE FL #77012

SHEET #

REN



June Beach Homes – 401 Diana Lane – December 9, 2024

401 Diana Lane





Figure 1 – Vacant lot to East of 401 Diana Lane.



Figure 2 – 411 Diana Land – Property to the west of 401 Diana Lane. (2,528 Sq. Ft.)



Figure 3 – 401 Juno Lane – Property to the south of 401 Diana Lane.



Figure 4 – 470 Apollo Drive. (3,544 Sq. Ft.)



Figure 5 – Left – 461N Juno Drive (left) - 471 Apollo Drive (right)



Figure 6 – 461 N Juno Drive.



Figure 7 – 370 Apollo Drive. (4490 Sq. Ft.)



Figure 8 – 451 S Juno Drive. (5,326 Sq. Ft.)



Figure 9 – 190 Ocean Drive. (5,775 Sq. Ft.)



Figure 10 – 511 N Lyra Circle. (5,407 Sq. Ft.)



Figure 11 – Demo – 491 N Lyra Circle. (4,752 Sq. Ft.)



Figure 12 – 540 S Lyra Circle. (5,631 Sq. Ft.)



Figure 13 – 471 N Lyra Circle. (4,878 Sq. Ft.)



Figure 14 – 381 Ocean Drive. (4,992 Sq Ft)



Figure 15 – 430 Jupiter Lane. (4,678 Sq. Ft.)