



# PLANNING & ZONING BOARD MEETING AGENDA

August 05, 2024 at 4:00 PM

Council Chambers – 340 Ocean Drive and YouTube

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**NOTICE:** If any person decides to appeal any decision of the Planning & Zoning Board at this meeting, he or she will need a record of the proceedings and for that purpose, he or she may need to ensure that a verbatim record of the proceedings is made, such record includes the testimony and evidence upon which the appeal is to be based. The Town does not prepare or provide such record. ***Persons with disabilities requiring accommodations in order to participate in the meeting should contact Caitlin E. Copeland-Rodriguez, Town Clerk, at least 48 hours in advance to request such accommodations.***

The meeting will be broadcast live on The Town of Juno Beach YouTube page and can be viewed any time at: <https://www.youtube.com/@townofjuno-beach477/streams>

**HOW CITIZENS MAY BE HEARD:** Members of the public wishing to comment publicly on any matter, including items on the agenda may do so by: Submitting their comments through the Public Comments Webform at: [https://www.juno-beach.fl.us/towncouncil/webform/public-comments#\\_blank](https://www.juno-beach.fl.us/towncouncil/webform/public-comments#_blank) (all comments must be submitted by Noon on day of Meeting). Please be advised that all email addresses and submitted comments are public record pursuant to Chapter 119, Florida Statutes (Florida Public Records Law). The Town Clerk or designee will read public comments into the record at the appropriate time for no more than three (3) minutes; or make their comment in-person; or participate from a remote location using Zoom – please contact the Town Clerk at [ccopeland@juno-beach.fl.us](mailto:ccopeland@juno-beach.fl.us) by Noon on the day of the meeting to receive the Meeting ID and Access Code. (Please note that all members participating via Zoom must login at least 15 minutes prior to the meeting and will be muted upon entry until Public Comments is called).

***\*Please note that the Zoom meeting will lock for public comments at 4pm and no other entries will be permitted.***

*All matters listed under Consent Agenda, are considered to be routine by the Planning & Zoning Board and will be enacted by one motion in the form listed below. There will be no separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.*

**CALL TO ORDER**

**PLEDGE ALLEGIANCE TO THE FLAG**



**ADDITIONS, DELETIONS, SUBSTITUTIONS TO THE AGENDA**

**COMMENTS FROM THE TOWN ATTORNEY AND STAFF**

**COMMENTS FROM THE PUBLIC**

*All Non-Agenda items are limited to three (3) minutes. Anyone wishing to speak is asked to complete a comment card with their name and address prior to the start of the meeting as well as state their name and address for the record when called upon to speak (prior to addressing the Board). The Board will not discuss these items at this time.*

**CONSENT AGENDA**

1. Planning & Zoning Board Meeting Minutes for July 15, 2024

**BOARD ACTION/DISCUSSION ITEMS**

2. Resolution 2024-12 – Application for Right-of-Way Abandonment (Cocoanut Avenue) - Dunes at Juno Beach
3. Ord. No. 789 - Future Land Use (Map) Amendment Request by Juno Square LLP - The Dunes at Juno Beach
4. Ord. No. 790 - Rezoning Request by Juno Square LLP – The Dunes at Juno Beach
5. Resolution No. 2024-13 – Application for Development and Site Plan Review and Special Exception request – The Dunes at Juno Beach Development

**COMMENTS FROM THE BOARD**

**ADJOURNMENT**



# PLANNING & ZONING BOARD MEETING MINUTES

July 15, 2024 at 4:00 PM

Council Chambers – 340 Ocean Drive and YouTube

PRESENT: MICHAEL STERN, CHAIR  
 JIM EHRET, VICE CHAIR (*Via Zoom*)  
 LAURE SHEARER, BOARDMEMBER  
 JIM FERGUSON, BOARDMEMBER  
 CAROL RUDOLPH, BOARDMEMBER  
 JONATHAN BUTLER, ALTERNATE BOARDMEMBER

ALSO PRESENT: FRANK DAVILA, DIRECTOR OF PLANNING & ZONING  
 ISABELLA HICKEY, SENIOR PLANNER  
 CAITLIN E. COPELAND-RODRIGUEZ, TOWN CLERK  
 FABINNE AZEMAR, PLANNING TECHNICIAN  
 LEONARD RUBIN, TOWN ATTORNEY

AUDIENCE: 12

## CALL TO ORDER

## PLEDGE ALLEGIANCE TO THE FLAG

## ADDITIONS, DELETIONS, SUBSTITUTIONS TO THE AGENDA

Town Clerk Copeland-Rodriguez swore in Alternate Planning & Zoning Board Member Butler.

## COMMENTS FROM THE TOWN ATTORNEY AND STAFF - *None*

## COMMENTS FROM THE PUBLIC

*All Non-Agenda items are limited to three (3) minutes. Anyone wishing to speak is asked to complete a comment card with their name and address prior to the start of the meeting as well as state their name and address for the record when called upon to speak (prior to addressing the Board). The Board will not discuss these items at this time.*

*Public Comments Opened at 4:03pm.*

*Public Comments Closed at 4:06pm.*

## CONSENT AGENDA

1. Planning & Zoning Board Meeting Minutes for June 10, 2024

***MOTION:*** *Ferguson/Shearer made a motion to approve the consent agenda.*

***ACTION:*** *The motion passed unanimously.*

**BOARD ACTION/DISCUSSION ITEMS** (A Public Hearing Period was provided for each item below.)

Town Attorney Rubin swore in all parties wishing to give testimony on the items below and confirmed that there were no ex parte communications to disclose.

2. Variance Request – 791 Ocean Drive

***MOTION:*** *Ferguson/Shearer made a motion to recommend to the Board of Adjustment/Town Council denial of the requested variance reducing the minimum side setbacks for a proposed new structure from 10 ft. to 5ft.*

***ACTION:*** *The motion passed unanimously.*

3. Application for a Major Development and Site Plan Amendment to the 700 Ocean Drive Planned Unit Development (Recommendation to Town Council) (See attached presentations.)

***Due to technical difficulties with Zoom, Alternate Boardmember Butler became a regular voting member for this item.***

***MOTION:*** *Ferguson/Butler made a motion to recommend to the Town Council approval of the request for the Major Site Plan Amendment.*

***ACTION:*** *The motion passed unanimously.*

***MOTION:*** *Ferguson/Rudolph made a motion to recommend to the Town Council approval of the installation of the swimming pool between the CCCL and the Town's 50-foot setback west of the CCCL, subject to Department of Environmental Protection (DEP) approval.*

***ACTION:*** *The motion passed unanimously.*

**COMMENTS FROM THE BOARD**

**ADJOURNMENT**

Chair Stern adjourned the meeting at 5:06pm.

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Michael Stern, Chair

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Caitlin E. Copeland-Rodriguez, Town Clerk

**Property Detail**

**Location Address :** 791 OCEAN DR  
**Municipality :** JUNO BEACH  
**Parcel Control Number :** 28-43-41-28-10-003-0050  
**Subdivision :** NEW PALM BEACH HGTS  
**Official Records Book/Page :** 25494 / 1285  
**Sale Date :** SEP-2012  
**Legal Description :** NEW PALM BEACH HEIGHTS LT 5 BLK 3, PT OF ABND OCEAN DR LYG E OF & ADJ TO & SURFSIDE PARK NO 3 PB23P40 PT OF LT 7 LYG E OF & ADJ TO IN OR10197P966

**Owner Information**

<b>Owner(s)</b>	<b>Mailing Address</b>
WOODS GAYLE A	771 OCEAN DR JUNO BEACH FL 33408 1914

**Sales Information**

Sales Date	Price	OR Book/Page	Sale Type	Owner
FEB-2013	\$10	25907 / 01771	WARRANTY DEED	WOODS GAYLE A
SEP-2012	\$196,000	25494 / 01285	WARRANTY DEED	WOODS GAYLE A
DEC-1997	\$100	10197 / 00966	QUIT CLAIM	BURNS CHARLES H &
JAN-1997	\$235,000	09665 / 00687	WARRANTY DEED	
JUN-1991	\$100	06854 / 00359	WARRANTY DEED	
JAN-1973	\$40,000	02202 / 01736		

**Exemption Information**

No Exemption Information Available.

**Property Information**

**Number of Units :** 1  
**\*Total Square Feet :** 1283  
**Acres :** 0.2410  
**Property Use Code :** 0100—SINGLE FAMILY  
**Zoning :** RMT—MULTI-FAM' & TRANSIENT MODERATE (28-JUNO BEACH)

**Appraisals**

Tax Year	2023	2022	2021	2020	2019
Improvement Value	\$71,807	\$58,611	\$49,236	\$45,777	\$45,630
Land Value	\$1,418,700	\$1,289,750	\$938,000	\$763,000	\$728,000
Total Market Value	\$1,200,000	\$1,348,361	\$987,236	\$808,777	\$773,630

**Assessed and Taxable Values**

Tax Year	2023	2022	2021	2020	2019
Assessed Value	\$1,200,000	\$1,348,361	\$514,648	\$507,542	\$496,131
Exemption Amount	\$0	\$0	\$75,000	\$75,000	\$75,000
Taxable Value	\$1,200,000	\$1,348,361	\$439,648	\$432,542	\$421,131

**Taxes**

Tax Year	2023	2022	2021	2020	2019
AD VALOREM	\$21,974	\$25,267	\$8,958	\$8,938	\$8,8



Caitlin Copeland <ccopeland@juno-beach.fl.us>

**Fwd: 791 Ocean Variance Question**

1 message

**Caitlin Copeland** <ccopeland@juno-beach.fl.us>

Wed, Jul 10, 2024 at 1:45 PM

To: Michael Stern <mstern100@gmail.com>, Jim Ferguson <jimferguson001@gmail.com>, Laure Shearer <laureshearer@gmail.com>, Carol Rudolph <pbgsoccer@aol.com>, Jim Ehret <jim@ehret-consulting.com>, Jonathan Butler <jonathan@jbutlerlawgroup.com>

Cc: Frank Davila <fdavila@juno-beach.fl.us>, Len Rubin <len@torcivialaw.com>, Isabel Hickey <ihickey@juno-beach.fl.us>, Fabinne Azemar <fazemar@juno-beach.fl.us>

Good Afternoon Planning & Zoning Board Members:

For your information, please see the email comment below regarding Item #2 - Variance Request that is on the agenda. I will have hard copies available on the dais.

**Do Not Reply to All.**

**Caitlin E. Copeland-Rodriguez, MMC**

**Town Clerk**

Town of Juno Beach

340 Ocean Drive

Juno Beach, FL 33408

ccopeland@juno-beach.fl.us

Phone: (561)656-0316

**Please note:** Florida has a very broad public records law. Most written communications to or from local officials regarding town business are public records available to the public and media upon request. Your e-mail communications may therefore be subject to public disclosure.

----- Forwarded message -----

From: **Frank Davila** <fdavila@juno-beach.fl.us>

Date: Wed, Jul 10, 2024 at 1:41 PM

Subject: Re: 791 Ocean Variance Question

To: ALAN AND ANGELA FRESSLE <afressle@verizon.net>

Cc: <alanfrez81@gmail.com>, Caitlin Copeland <ccopeland@juno-beach.fl.us>

Hello Alan and Angela,

Thank you for the email, I will forward it to our Town Clerk.

Respectfully,

Frank Davila, CFM

Director of Planning and Zoning

Town of Juno Beach

340 Ocean Drive

Juno Beach, FL 33408

PH: (561)656-0306

FX: (561)775-0812

**Please note:** Florida has a very broad public records law. Most written communications to or from local officials regarding town business are public records available to the public and media upon request. Your e-mail communications may, therefore, be subject to public disclosure.



On Wed, Jul 10, 2024 at 12:14 PM ALAN AND ANGELA FRESSLE <afressle@verizon.net> wrote:

Hi Frank

Thank you for your time in explaining the variance issue at question. As noted, we have lived at 450 Surfside Lane for the past nine years and truly love Juno Beach and our block.

Unfortunately, we will be unable to attend the public hearing on July 15th in Juno Beach. The 791 Ocean Drive property is adjacent to our house more specifically our backyard and pool area. The current 3 foot "grandfathered" side setback is certainly not ideal given it is so close to our property line. Having said that, we purchased our home knowing the adjacent property was a one story bungalow and we decided we could live with the small three foot set back.

We are strongly opposed to allowing a side variance of five feet rather than the required ten foot setback. With a five foot setback, the owner could build a house that includes a second or possibly third floor that stands directly above my backyard and pool area. This would not only be a tremendous privacy issue for my family but also block our light and the air flow on our property. Providing the new owner with a "clean slate" to built a much larger house without meeting the required ten foot set back would have a direct and materially negative impact on my family's quality of life and property value. The code is there for a reason and should be adhered to especially in the case of new construction.

The applicant knew what they were purchasing and any perceived hardship is self created on their part. Any benefit to the applicant to set aside the side yard setback and provide only 50% of what is required would only be to the detriment of my family as well as adjoining neighbors adversely affected.

In an effort to be a good neighbor, we would be open to considering a five foot setback variance if the new home remained one story.

I trust the Juno Beach Planning and Zoning Board and the city council will seriously consider these points and weigh them accordingly when evaluating this variance question.

Sincerely

Alan and Angela Fressle  
450 Surfside Lane  
Juno Beach

Gmail

Caitlin Copeland &lt;ccopeland@juno-beach.fl.us&gt;

**Form submission from: PUBLIC COMMENTS**

1 message

Sun, Jul 14, 2024 at 1:18 PM

Town of Juno Beach Florida <juno-beach-fl@municodeweb.com>  
Reply-To: Town of Juno Beach Florida <ccopeland@juno-beach.fl.us>  
To: ccopeland@juno-beach.fl.us

Submitted on Sunday, July 14, 2024 - 1:18pm

Submitted by anonymous user: 172.58.130.23

Submitted values are:

First Name Larry  
Last Name Barron  
Address 780 Hibiscus Ave  
Email Address dyylbb4@icloud.com  
Agenda Item Number (Ex: 1, 2, 3) 2  
Public Comment / Question

In 2012 we approached the town for a variance on the setback for the RMT as our parcel was 150' by 46.5'. Our architect told us to design a home in compliance with the RMT was not impossible but challenging. We were denied both a 5' setback and an 8' setback. The Town approved a design with a structure that was a nominal 26' wide and 100' long. I estimate the 10' setback versus 5' setback required a premium in cost of at least 15% due to engineering, material and labor cost or in my case about \$150,000. This also created a later problem when the stair riser code went from 8" to 7", we did not have the space for the stairs as approved to get from the second floor to the roof deck. Another \$25,000 problem as an indirect result of complying with the RMT. But it all worked out in the end. As the board considers this variance request, I want it to be aware that if approved it would be totally unfair to me as I compiled at considerable expense to the code. I see no difference in the applicant's request and mine. If this were to be approved, it would create the likely hood of future requests for relief from the setback for additions, changes, or the vacant lot adjacent to mine, the precedent would have been set. I could have someone building to my north with a setback of 5' abutting my 10' setback. I strongly oppose the approval of this variance.

The results of this submission may be viewed at:

<https://www.juno-beach.fl.us/node/2951/submission/19683>



# 700 Ocean Drive Planned Unit Development

Major Development and Site Plan Amendment &  
Installation of Pool

PLANNING & ZONING BOARD MEETING 7/15/24

# Agenda

**Application Details & Request** 1-2

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**Site Plan & Project Data** 4-8

**Appearance Review** 9

**Renderings & Elevations** 10-13

**Harmony** 14-15

**Installation of a Pool** 16

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# Application Details

- Applicant - 700 Ocean Drive Homeowners Association
- Agent – Leslie Thomas of ET Thomas Construction
- Properties – 714 and 716 Ocean Drive
- Property Owners – Natasha and Boris Ivanov
- Planned Unit Development – 700 Ocean Drive Community (consisting of 10 properties)



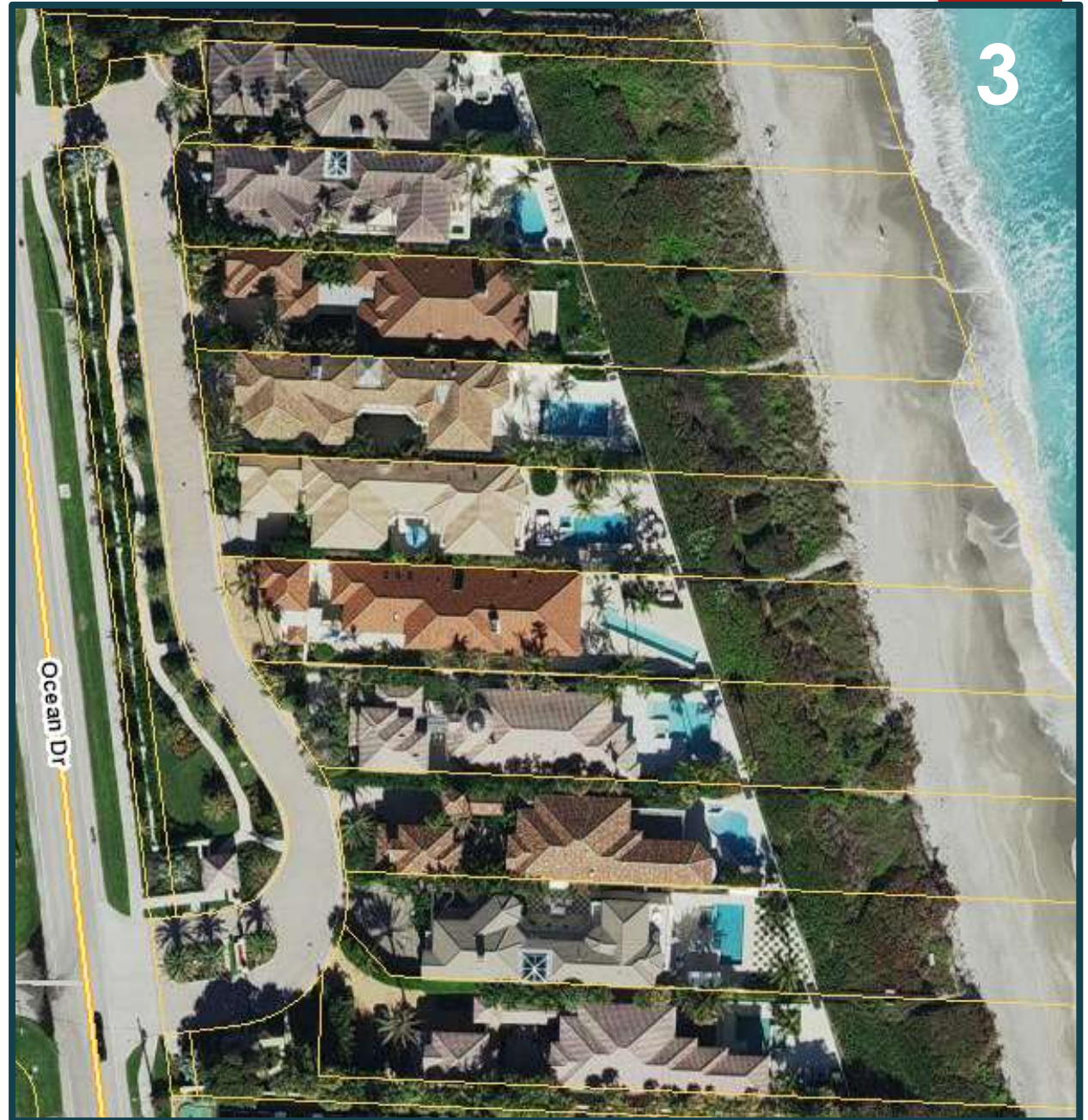
# Applicant's Requests

- Modifying the 700's Planned Unit Development (PUD) to go from 10 homes to 9 homes
- Demolish the homes on lot 714 and 716 to then combine both properties into one
- Construct one new single-family home on the combined lot



# Background

- Approval Date: January 18, 1989
- Location: 700 Ocean Dr, Juno Beach, FL 33408
- Approx. 5.37 acres, including 10 properties.
- Zoning District: RH - Multi-Family High Density
- Future Land Use: Moderate Density Residential  
(MODR up to 15 du/acre)
- Formerly known as the Ocean Plaza Planned Unit Development



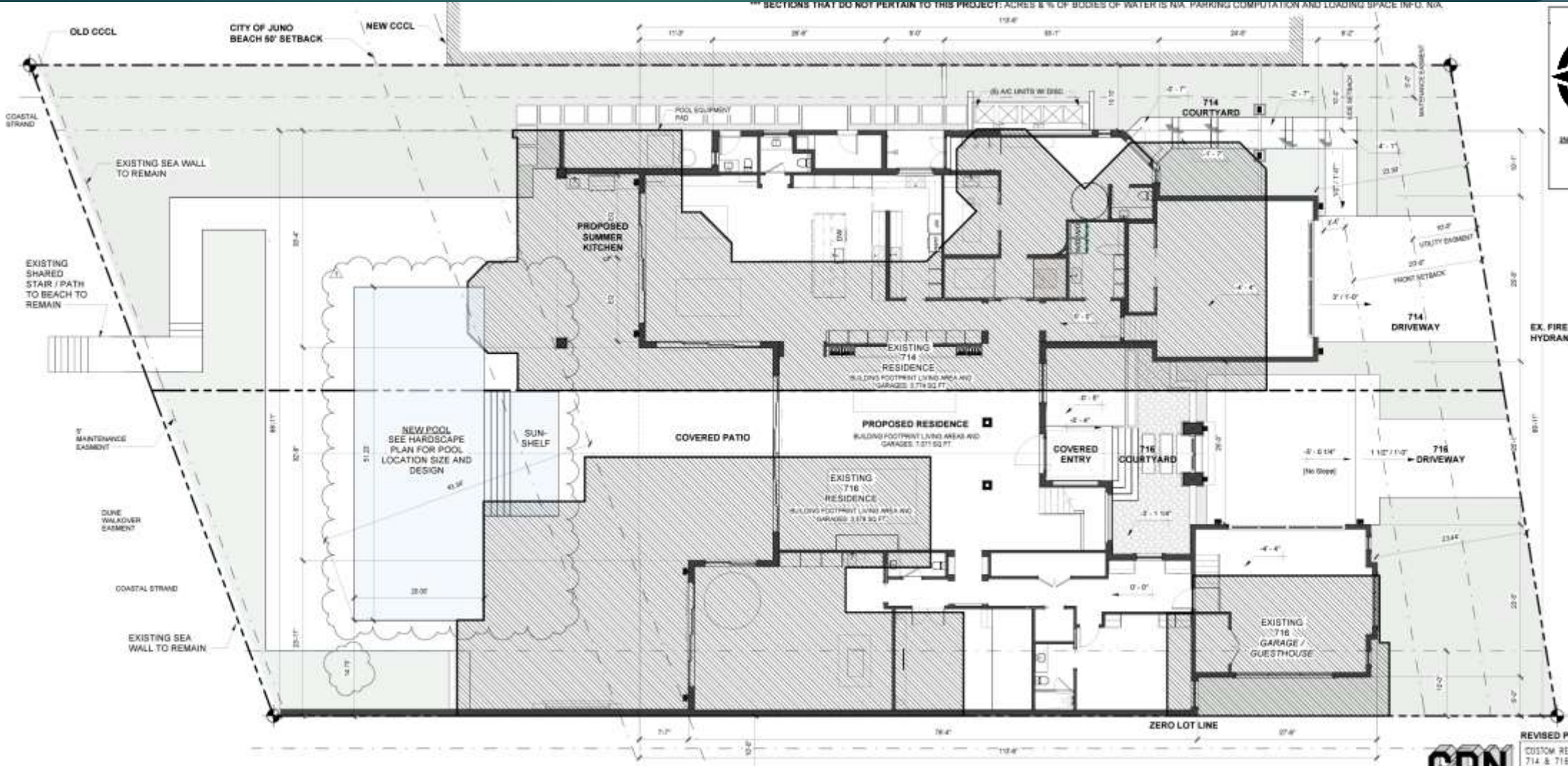


# Site Plan

Gross Building Footprint

Existing: 7,152 sq ft

Proposed: 7,071 sq ft



# Site Plan Data

	<u>EXISTING</u>	<u>EXISTING (COMBINING BOTH PROPERTIES)</u>	<u>PROPOSED (COMBINED PROPERTY)</u>
EXISTING / PROPOSED LAND USE AND ZONING	714: RESIDENTIAL MULTI-FAMILY 716: RESIDENTIAL MULTI-FAMILY ***PLANNED UNIT DEVELOPMENT (PUD) WITH UNDERLYING MULTI-FAMILY HIGH DENSITY (RH) RESIDENTIAL ZONING	PLANNED UNIT DEVELOPMENT (PUD) WITH UNDERLYING MULTI-FAMILY HIGH DENSITY (RH) RESIDENTIAL ZONING TO REMAIN	PLANNED UNIT DEVELOPMENT (PUD) WITH UNDERLYING MULTI-FAMILY HIGH DENSITY (RH) RESIDENTIAL ZONING TO REMAIN
TOTAL ACRES	714: 19,432 SQ. FT. = 0.4461 ACRES 716: 18,896 SQ. FT. = 0.4338 ACRES	38,328 SQ. FT. = 0.8799 ACRES	38,328 SQ. FT. = 0.8799 ACRES
INTENSITY (TOTAL GROSS BLD. SQ. FT.)	714: 7,987 SQ. FT. 716: 4,767 SQ. FT.	12,754 SQ. FT. COMBINED	14,665 SQ. FT.
GROSS BUILDING FOOTPRINT (SQ. FT.)	714: 3,774 SQ. FT. 716: 3,378 SQ. FT.	7,152 SQ. FT.	7,071 SQ. FT.
PERCENT OF OPEN SPACE/ LANDSCAPING, LOT, COVERAGE AND IMPERMIABLE SURFACE (SQ. FT.)	714: EXISTING 10,665 SQ. FT. BUILDING LOT COVERAGE: 4,552 SQ. FT. (42.7%) HARDSCAPE COVERAGE: 4,352 SQ. FT. (40.8%) LANDSCAPE COVERAGE: 1,761 SQ. FT. (16.5%) 716: 10,139 SQ. FT. BUILDING LOT COVERAGE: 4,369 SQ. FT. (43.1%) HARDSCAPE COVERAGE: 2,960 SQ. FT. (29.2%) LANDSCAPE COVERAGE: 2,810 SQ. FT. (27.7%)	EXISTING COMBINED LOTS 20,804 SQ. FT. BUILDING LOT COVERAGE: 8,921 SQ. FT. (42.9%) HARDSCAPE COVERAGE: 7,312 SQ. FT. (35.1%) LANDSCAPE COVERAGE: 2,810 SQ. FT. (22.0%)  *** ALL EXISTING COVERED PATIO CALCULATIONS ARE APPROXIMATED, AS FORMAL DRAWINGS OF EXISTING RESIDENCES ARE INACCESSIBLE.	PROPOSED COMBINED LOTS 20,804 SQ. FT. BUILDING LOT COVERAGE: 8,162 SQ. FT. (39.1%) HARDSCAPE COVERAGE: 6,358 SQ. FT. (30.7%) LANDSCAPE COVERAGE: 6,284 SQ. FT. (30.2%)  *** BUILDING LOT COVERAGE EXCLUDING PATIOS 7,071 SQ. FT. **33.99% OF BUILDABLE LOT SQ. FT.
DENSITY, NUMBER OF DWELLING UNITS (RESIDENTIAL)	714: 1 DWELLING UNIT 6,055 SQ. FT. LIVING AREA 716: 1 DWELLING UNIT 3,240 SQ. FT. LIVING AREA	2 DWELLING UNITS 9,295 SQ. FT. LIVING AREA	1 DWELLING UNIT 11,955 SQ. FT. LIVING AREA
BUILDING HEIGHT - TO CORRESPOND WITH DATA FROM SURVEY AND PROPOSED FINISH FLOOR ELEVATION	714: INSUFFICIENT DOCUMENTATION TO DETERMINE 716: INSUFFICIENT DOCUMENTATION TO DETERMINE	N/A	MAX. ROOF HEIGHT 35'-0" MEASURED FROM AVERAGE GRADE ON SITE (18.88' NAVD) TOP OF ROOF @ 31'-3" FROM PROPOSED FINISH FLOOR HEIGHT OR 53.88' NAVD.



# Lot Sizes

### Existing 716

Lot Size: 18,896 sq. ft.



### Existing 714

Lot Size: 19,432 sq. ft.



### Proposed 714-16

Lot Size: 38,328 sq. ft.








# Project Data

<b>Residential Multiple Family High Density (RH) Building Site Area Regulations</b>		
	<b>Required by the PUD</b>	<b>Applicant's proposal</b>
Maximum lot coverage	50%	<b>18.04%</b>
Building Height	Shall not exceed 40 feet above the highest point of the crown of the road along State Road AIA in front of the project site	<b>31' 3"</b>
Density	10	<b>9</b>
Front yard setback	20' to edge of street pavement	<b>23.3'</b>
Side yard setback	0' and 10'	<b>0' and 10'</b>
Rear yard setback	50 ft. west of CCCL	<b>60 ft. west of the CCCL</b>
Ocean setback	50 ft. west of CCCL	<b>60 ft. west of CCCL</b>
Landscaped Open Space	20%	<b>30.21%</b>
Minimum parking	2 spaces per dwelling unit	<b>9 spaces</b>

# Building Site Area Regulations

	Proposed
Maximum Lot Coverage 	18%
Building Height	31'3"
Front Setback	23.3'
Side Setback 	0' and 10'
Rear Setback 	60' west the CCCL
Landscape Open Space	30.21%
Gross Building Area (total)	14,665 sq ft
Gross Building Footprint	7,071 sq ft



**\*\*REFER TO LANDSCAPE PLAN FOR LANDSCAPE AND**

# Appearance Review Criteria

## ▶ Applicants Response

- **Style:** The Old Florida Style consisting of Key West Cracker Coastal and Mediterranean Vernacular
- **Harmony:** Will be kept in relation as setbacks, elevations from sea level, structure height, and materials will all be harmonious with the neighboring homes
- **Modern Operations:** Added stairwell will be an architectural element. Elevator shaft shall be hidden from public view
- **Accessory structures:** The pool, fireplace and outdoor bbq areas will be compatible in design



# Renderings



Proposed Rear



Proposed Street Elevation

# Renderings



Proposed Front



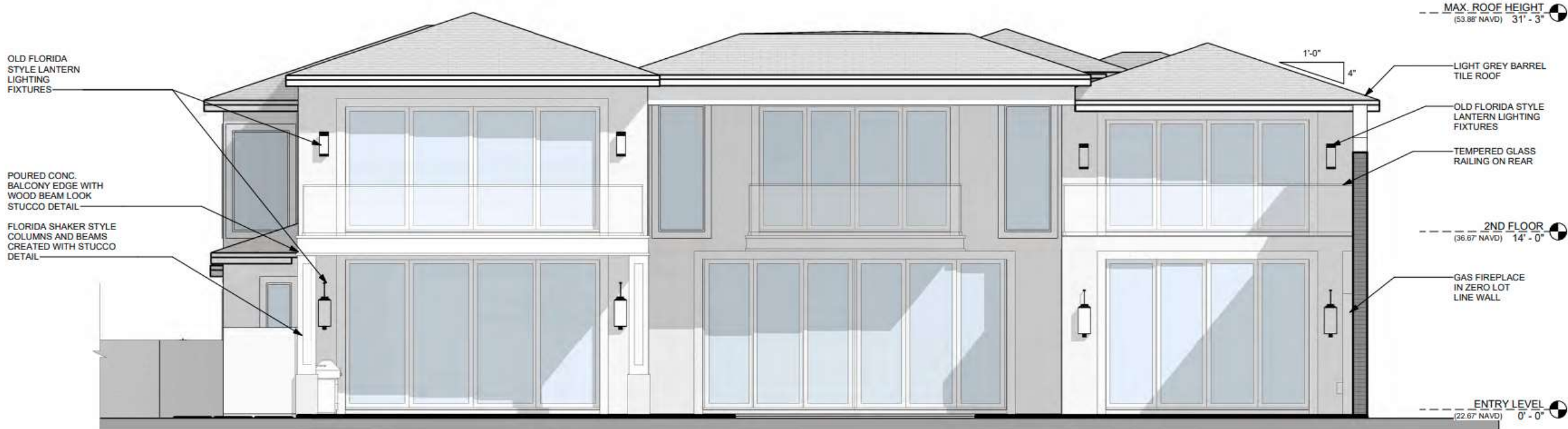
Rear Context



# Front Elevation



# Rear Elevation



# Harmony

- **Bulk** means the overall size and volume of a building or structure.

Staff's response: The structure on 714 Ocean Drive is 7,987 total gross sq. ft., the lot size is 19,432 sq. ft. with a ratio of 41.1%. The structure on 716 Ocean Drive is 4,767 total gross sq. ft., the lot size is 18,896 sq. ft. with a ratio of 25.2%. The new proposed home is 14,665 total gross sq. ft. and the combined lot size is 38,328 sq. ft. with a ratio of 38.26%. The size and volume of the proposed single family home is compatible with the newly increased lot size.

- **Mass** means the relationship and sizes between different volumes of a building or structure.

Staff's response: The total gross square footage for the other structures in the 700's at Ocean Drive ranges between 4,974 sq. ft. and 7,945 sq. ft., the proposed structure is 14,665 total gross sq. ft. The mass of the proposed single-family home is not compatible in the context of the other structures located within the Planned Unit Development

# Harmony

- **Proportion** means the visual effect of relationship of one portion to another or of a portion to the whole or of one thing to another.

Staff's response: The proportion (ratio) of the elements such as windows, doors, and garages are compatible with the façade (size) of the building.

- **Scale** means the proportions of a building in relation to its surroundings, particular other buildings in the surrounding context.

Staff's response: The scale of the proposed single-family home (proportion) is not compatible with the adjacent properties, specifically the width of the structure

# Installation of a Pool

- Located within the Town's 50-foot setback west of the CCCL
- Expansion of the pool will not impact the beach, dune system, mangroves, and other natural resources such as marine and wildlife habitats
- Physical features of the coastal area will not be impacted by the pool
- The FDEP Permit will ensure that all state-mandated regulations are met

# Applicant's Presentation





# Mass



571 Ocean Drive





571 Ocean Drive

Alicante  
Neighborhood

Item #1.







461 Venus Drive-  
Duplex



451 S Juno Lane





Item #1.







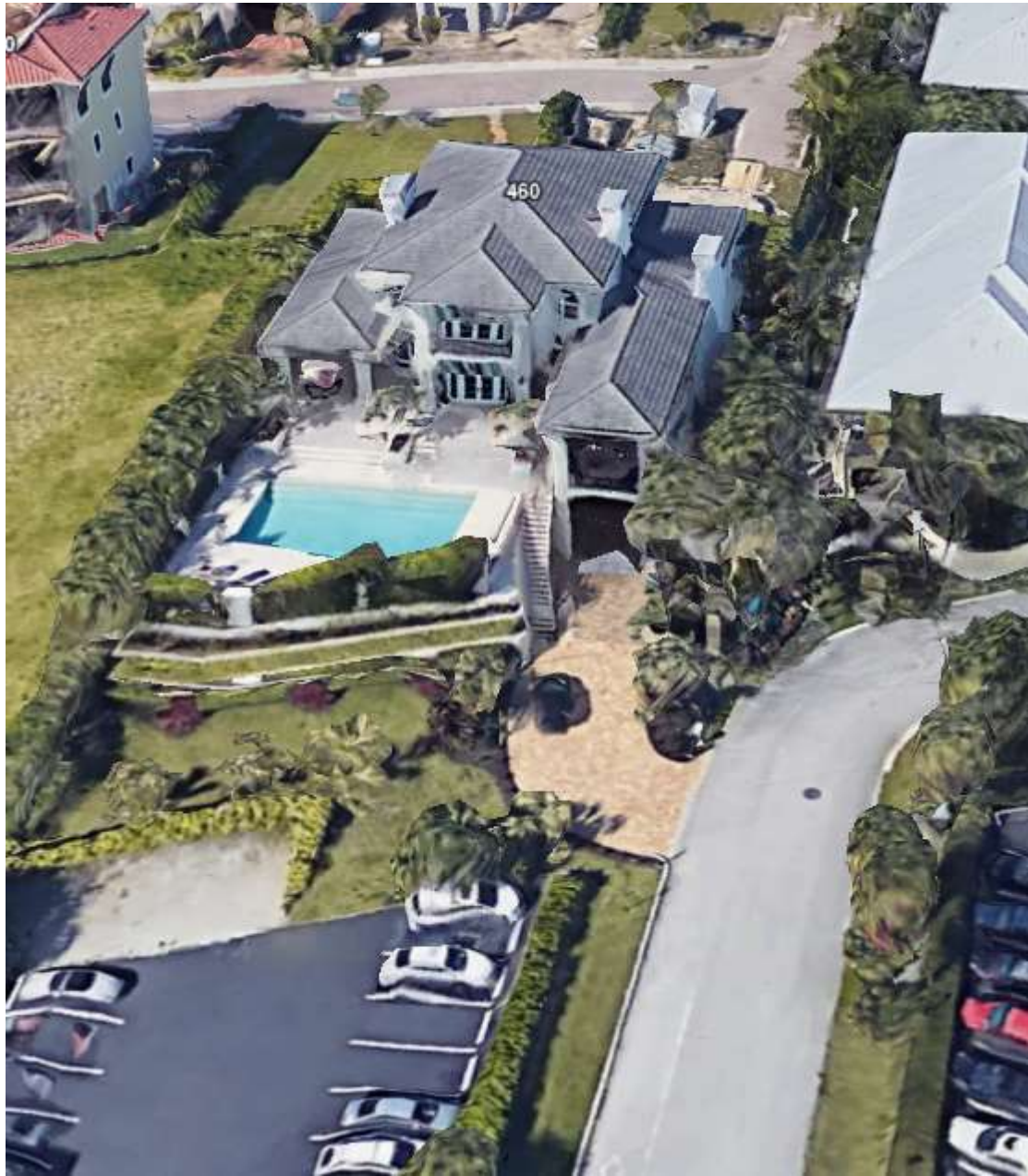












Item #1.



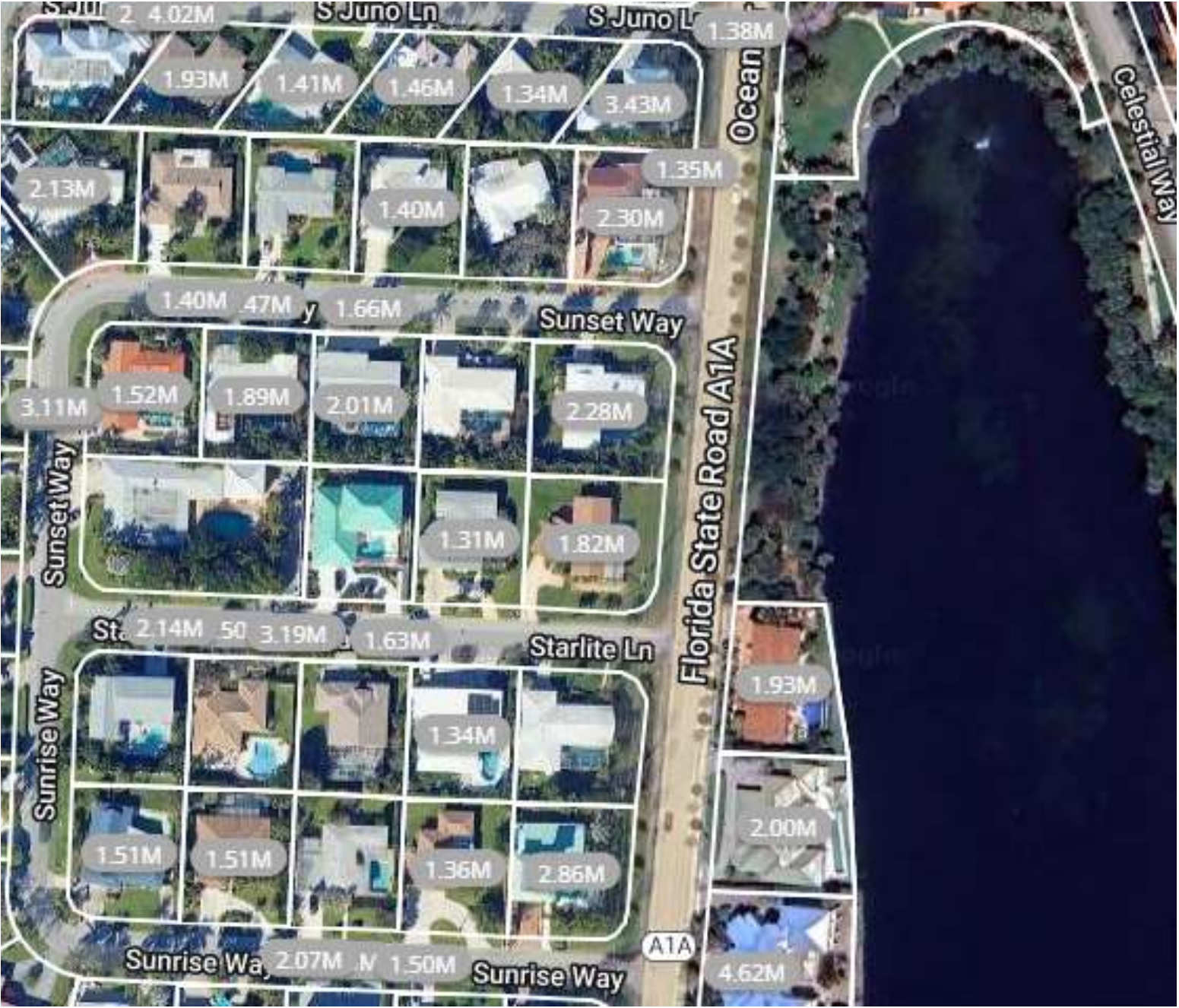
# Scale



Alicante Neighborhood

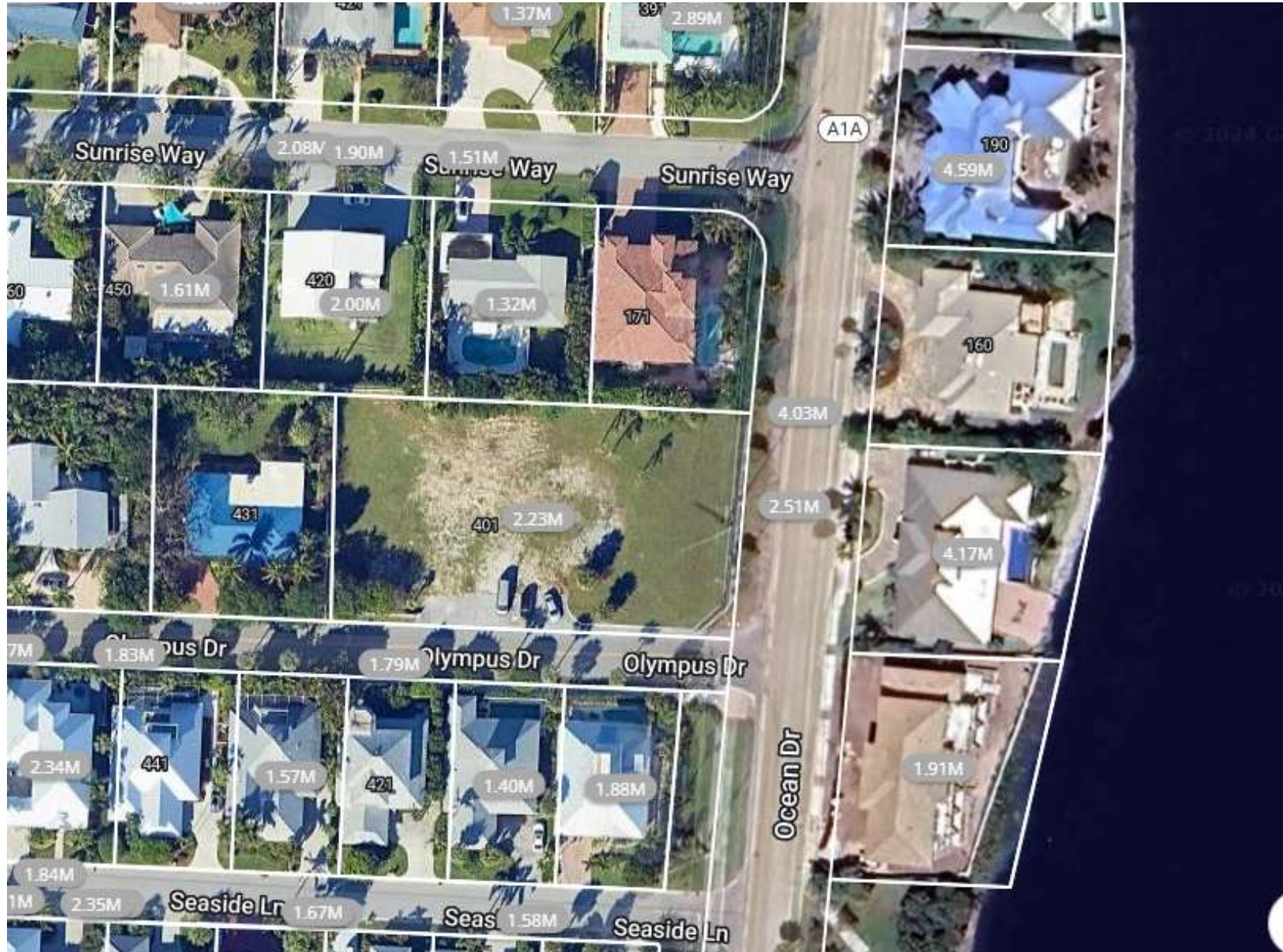


510 Sunset Way





401  
Olympus





Item #1.



DRAWING INDEX	
CV	COVER
A	FLOOR PLAN
B	SECOND FLOOR
C	ELEVATIONS
D	ELEV.
E	SITE
F	PERSE
G	EX. VS. PROP. RENDERS
H	RENDERS

















**Meeting Name:** Planning and Zoning Board  
**Meeting Date:** August 5, 2024  
**Prepared By:** Davila, F. CFM.  
**Item Title:** Resolution 2024-12 – Application for Right-of-Way Abandonment (Cocoanut Avenue)

### **BACKGROUND:**

Staff received an application for a right-of-way (“ROW”) abandonment from Pulte Home Company LLC. The subject property is a portion of the 50’ wide Cocoanut Avenue right-of-way lying north of the Floral Street and Cocoanut Avenue intersection and immediately west of Lots 1, 2, 3, 4, 10, 11, 12, 13, and 14 (Block 12) of New Palm Beach Heights, according to the plat thereof, as recorded in Plat Book 6, at Page 73, of the public records of Palm Beach County, Florida, said lands contains 16,506 square feet or .3789 acres, more or less (please see the attached application and survey). According to the survey, the property has a water line that will be abandoned and/or relocated as part of the Application for Development and Site Plan Review.

### **DISCUSSION:**

As mentioned above, the 50’ wide Cocoanut Avenue ROW lies immediately west of Lots 1, 2, 3, 4, 10, 11, 12, 13, and 14 (Block 12) of the New Palm Beach Heights Plat. These lots are owned by Juno Square LLP. If the Town is to abandon the ROW, the right-of-way will be incorporated into the properties owned by Juno Square LLP.

As justification for the request, the applicant states as follows: “As part of the proposed town home development known as The Dunes at Juno Beach (formally known as Juno Square Residential), the applicant is requesting to abandon the Cocoanut Avenue Right-of-Way, thus increasing the area of subject to parcel to allow for further flexibility in design and an additional townhome unit. As designed, the additional space thoroughly improves pedestrian connectivity within the project area while maintaining an adequate amount of open space.” Within the Application for Development and Site Plan Review, the applicant indicated that the proposed ROW is intended to include the following (see image below\*):

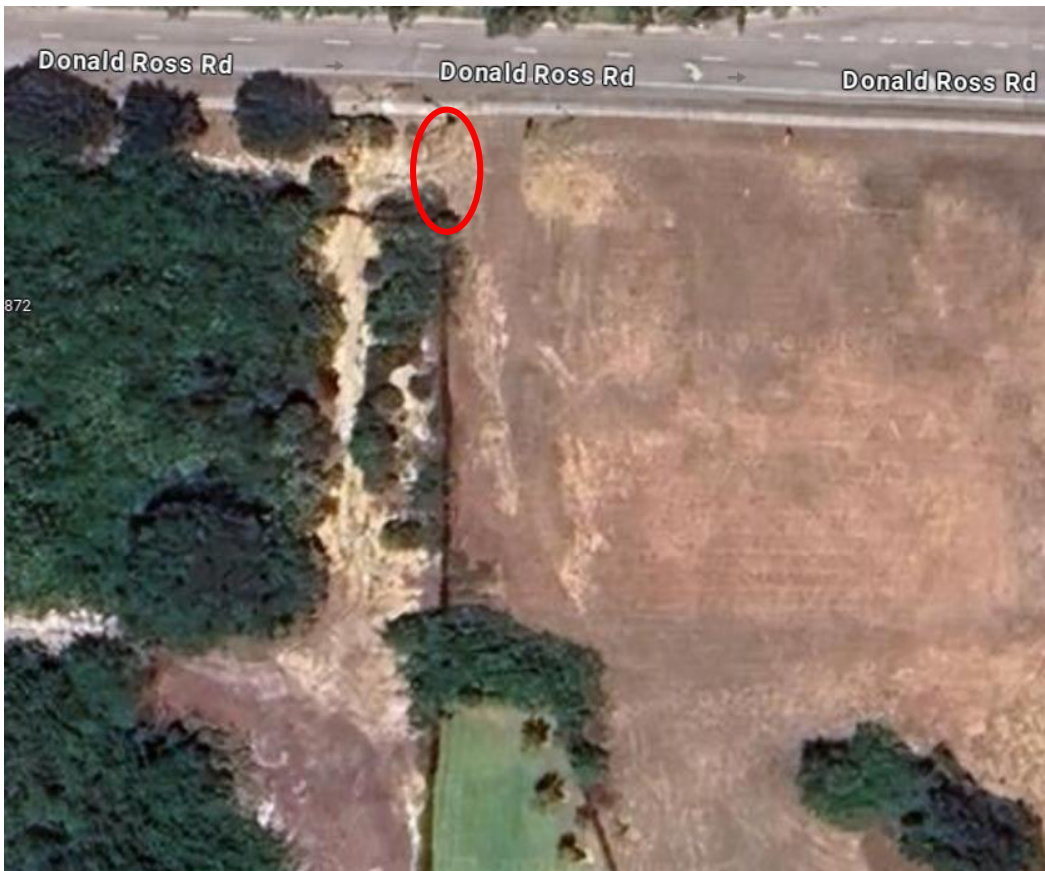
- Private Drive (to serve their residents and PBC ERM as means of egress and ingress).
- Stabilized Staging Area, shell rock (to serve PBC ERM for equipment staging).
- Two Maintenance Access Gates to the Palm Beach County Natural Area.
- Arm Gate with Free Entry/Exit Access to the residential project for their residents.
- Fences/Walls.





The Application for Development and Site Plan Review approval is contingent on the ROW abandonment approval by the Town Council. Please note that as part of the conditions of approval for the proposed Dunes at Juno Beach project, staff will recommend to Town Council that all applications (ROW Abandonment, Future Land Use Amendment, Rezoning Request, Development and Site Plan Review, and Special Exception Request) be contingent on each other, if the one application/request is denied, all previously approved applications be denied and/or revoked.

Finally, staff would like to note that PBC ERM uses the Cocoanut Avenue ROW as a means for ingress and egress into the Juno Dunes Natural Area (see aerial below). As part of the Development Review Committee (DRC) review process, PBC ERM has been provided the opportunity to provide comments regarding the abandonment of the ROW. The applicant has come to an agreement with PBC ERM to continue to provide them with access to the Juno Dunes Natural Area by means of an Access Easement that will be recorded with the Plat.



**RECOMMENDATION:**

Staff recommends that the Planning and Zoning Board consider Resolution No. 2024-12 abandoning a 50' wide unconstructed portion of the Cocoanut Avenue right-of-way as fully described above and in the accompanying survey.

Attachments:

- ROW Abandonment Application with survey
- Resolution 2024-12

**Town of Juno Beach**  
**340 Ocean Drive; Juno Beach, FL 33408**  
**Phone: (561) 626-1122; Fax: (561) 775-0812**

**Application for  
Easement Abandonment**

- Information regarding right-of-way abandonment petitions:

The procedure for filing an easement abandonment petition begins with obtaining an "Easement Abandonment Application" form and initiating a pre-application conference with an official from the Planning & Zoning Department. Following the pre-application conference, the Planning & Zoning official will inform the applicant of further options and/or whether the proposed abandonment could, or could not, take place based on the information provided by the applicant during the pre-application conference and current, applicable Town of Juno Beach regulations.

In all cases of a possible abandonment, the following application must be filled out completely by the applicant with the most current available data. This application will be distributed to other Town departments and officials for approval in order to continue the abandonment process.

- Please provide the following information regarding the easement being requested for abandonment:
  1. A letter requesting the abandonment, by the applicant or applicant's agent, including:
    - a. A complete reason for the requested abandonment;
    - b. Any other relevant information regarding the abandonment request;
    - c. A "Power of Attorney" form, attached to this application on page 2, authorizing an agent or representative for the applicant (only necessary if the applicant uses an agent or representative at any time for the petition/request).
  2. Scaled exhibits and documentation sufficient in scope to show:
    - a. Abandonment subject area (including a legal description for subject area);
    - b. Adjacent property owners (including names and addresses);
    - c. Letters of Consent from all appropriate utility companies (list provided on page 3 of this application).
    - d. Existing utilities or improvements, if any, in subject area. If utilities and improvements need to be relocated, all details regarding such activities should be identified, including dedication of new easement(s), legal description(s) and other actions, as required.



- 3. Six (6) copies of the complete application packet (including all of the required information indicated on this application form) must be submitted at least thirty (30) days prior to the public hearing date for which the easement abandonment petition will be heard by the Town Council. Each copy will be accompanied by a memorandum from the Planning & Zoning Department and will be distributed to various Town departments/officials, for administrative processing and review, and the Town Council.
  
- 4. Fee of \$1000.00, payable to the Town of Juno Beach.

Name of Applicant: Pulte Home Company LLC

Address: 3350 Peachtree Road NE, Suite 1500, Atlanta 30326

Contact Phone: 561.268.5821

Name of Right(s)-of-Way adjacent to or containing easement: Coconut Avenue

Reason for requested abandonment: The abandonment of the existing 50-foot Coconut Avenue Right-of-Way will allow for additional square footage and provide flexibility for design, which will benefit the subject property.

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**Power of Attorney for Easement Abandonment**

Name of Applicant: Pulte Home Company LLC Contact Phone 561.268.5821  
Mailing Address: 3350 Peachtree Road NE, Suite 1500, Atlanta 30326  
Property Address (description): 28434128100070111, 13951 US HWY 1  
Name of Agent: Cotleur & Hearing  
Contact Phone of Agent: 561.747.6336

The Undersigned, being the true Applicant for the real property described above, does hereby grant unto the Agent, stated above, the full right and power of attorney to make application to the Town of Juno Beach for an easement abandonment petition/request and act as the representing agent for any subsequent processes for said property. It is understood that limitations, conditions and restrictions may be placed upon the use or operation of the property. Misstatements upon application or in any hearing may result in the termination of any application/petition proceeding to limit the Applicant to only allow themselves the opportunity to apply for an abandonment petition/request. This power of attorney may be terminated only by a written and notarized statement of such termination effective upon receipt by the Planning & Zoning Department.

IN WITNESS WHEREOF THE UNDERSIGNED HAVE SET THEIR HANDS AND SEALS THIS 18<sup>th</sup> DAY OF October 20 23.

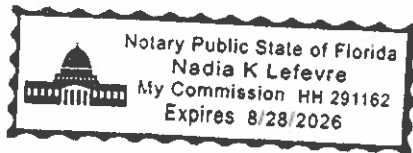
Aimee Carlson  
Applicant

[Signature]  
Witness

Before me the undersigned authority personally appeared the Applicant named above who upon being duly sworn acknowledged before me that they are the true Applicant for the real property described above and that they executed the power of attorney for the purposes stated therein. Sworn and subscribed this 18<sup>th</sup> day of October 20 23.

[Signature]  
Notary Public

SEAL







November 7, 2023

Frank Davila  
Planning and Zoning Director  
Planning and Zoning Department  
Town of Juno Beach  
340 Ocean Drive  
Juno Beach, FL 33408

**RE: Right of Way Abandonment – Juno Square Residential**

Dear Mr. Frank Davila,

On behalf of the applicant, Pulte Home Company LLC, please accept this letter as a formal request to abandon the existing Right-of-Way known as Coconut Avenue. Please reference the associated sketch and legal description, prepared by Caufield & Wheeler, Inc., included herein.

As part of the proposed town home development known as Juno Square Residential, the applicant is requesting to abandon the Coconut Avenue Right-of-Way, thus increasing the area of subject to parcel to allow for further flexibility in design and an additional townhome unit. As designed, the additional space thoroughly improves pedestrian connectivity within the project area while maintaining an adequate amount of open space. The applicant is enthusiastic to work alongside Town staff to address any comments that may arise throughout the forthcoming review process.

Should you require additional information, please contact me at 561-406-1033 or email [zciciera@cotleur-hearing.com](mailto:zciciera@cotleur-hearing.com).

Sincerely,



Zach Ciciera, Planner  
Cotleur & Hearing  
1934 Commerce Lane, Suite 1  
Jupiter, FL 33458

RESOLUTION 2024-12

A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF JUNO BEACH, FLORIDA, VACATING AND ABANDONING AN UNCONSTRUCTED PORTION OF THE COCOANUT AVENUE RIGHT-OF-WAY SOUTH OF DONALD ROSS ROAD AND NORTH OF FLORAL STREET WITHIN THE PLAT OF NEW PALM BEACH HEIGHTS AND AS MORE PARTICULARLY DESCRIBED HEREIN; PROVIDING FOR CONFLICTS; PROVIDING FOR AN EFFECTIVE DATE; AND PROVIDING FOR A REPEALER.

WHEREAS, Pulte Home Company, LLC, the contract purchaser of a 4.32 acre parcel of real property located at 13951 U.S. Highway One on the south side of Donald Ross Road west of U.S. Highway One (Blocks 7, 11 and 12 of New Palm Beach Heights PCN: 28-43-41-28-10-007-0111) ("Property") currently owned by Juno Square LLP, has filed an application with the Town to abandon the public interest in an unconstructed portion of the fifty-foot wide Cocoanut Avenue right-of-way, as more particularly described in Exhibit "A" attached hereto and incorporated herein ("Right-of-Way"); and

WHEREAS, upon abandonment by the Town, the entire Right-of-Way would become part of the Property by operation of law; and

WHEREAS; the Town Council determines that there is no Town, public utility or public need for the Right-of-Way, which was never improved, and a portion of which was previously abandoned by the Town through the adoption of Resolution 2002-1, recorded in Official Record Book 13604, Page 1893 of the public records of Palm Beach County, Florida; and

WHEREAS, the Town Council determines that the adoption of this Resolution benefits the health, safety, and welfare of the residents of the Town of Juno Beach.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF JUNO BEACH, as follows:

Section 1. The foregoing recitals are ratified and incorporated herein.

Section 2. The Town Council vacates and abandons the Town's and the public's interest in the unconstructed portion of the Cocoanut Avenue right-of-way south of Donald Ross Road and north of Floral Street, as more particularly described herein. The abandonment is expressly conditioned upon the applicant providing two maintenance access gates for Palm Beach County Department of Environmental Resource Management to access the Palm Beach County Natural Area, as well as a stabilized staging area.

Section 3. All resolutions or parts of resolutions in conflict with this Resolution are hereby repealed to the extent of such conflict.

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**Section 4.** This Resolution shall be effective immediately upon adoption; provided, however, that in the event the Town Council does not approve the Future Land Use Amendment, Rezoning and Site Plan/PUD Special Exception for the Property, this Resolution shall be automatically repealed.

RESOLVED AND ADOPTED this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
Peggy Wheeler, Mayor

ATTEST:

\_\_\_\_\_  
Caitlin E. Copeland-Rodriguez, MMC  
Town Clerk

APPROVED AS TO FORM AND  
LEGAL SUFFICIENCY:

\_\_\_\_\_  
Leonard G. Rubin, Town Attorney



**DESCRIPTION:**

BEING A PORTION OF COCOANUT AVENUE RIGHT-OF-WAY, NEW PALM BEACH HEIGHTS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 73 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LYING IN SECTION 28, TOWNSHIP 41 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 10, BLOCK 12, AS SHOWN ON SAID PLAT; THENCE ALONG THE WESTERLY PROLONGATION OF THE SOUTH LINE OF SAID BLOCK 12, N89°48'01"W, A DISTANCE OF 28.01 FEET TO A POINT OF INTERSECTION WITH THE EAST LINE OF THE ABANDONED LAND, AS DESCRIBED IN RESOLUTION NO. 2002-01, AS RECORDED IN OFFICIAL RECORDS BOOK 13604, PAGE 1893 OF SAID PUBLIC RECORDS; THENCE ALONG SAID EAST LINE, THE FOLLOWING TWO (2) COURSES AND DISTANCES: THENCE N23°15'15"W, A DISTANCE OF 162.05 FEET; THENCE N89°43'01"W, A DISTANCE OF 24.80 FEET TO A POINT OF INTERSECTION WITH A LINE 50.00 FEET WEST OF, AS MEASURED AT RIGHT ANGLES, AND PARALLEL WITH THE WEST LINE OF SAID BLOCK 12; THENCE ALONG SAID PARALLEL LINE, N00°16'59"E, A DISTANCE OF 251.36 FEET TO A POINT OF INTERSECTION WITH THE WESTERLY PROLONGATION OF THE SOUTH RIGHT-OF-WAY LINE OF OLIVE STREET, AS RECORDED IN OFFICIAL RECORDS BOOK 2584, PAGE 1012 OF SAID PUBLIC RECORDS; THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE, S89°48'01"E, A DISTANCE OF 50.00 FEET TO A POINT OF INTERSECTION WITH SAID WEST LINE OF BLOCK 12; THENCE ALONG SAID WEST LINE, THE FOLLOWING TWO (2) COURSES AND DISTANCES: THENCE S00°16'59"W, A DISTANCE OF 251.93 FEET; THENCE S24°14'14"E, A DISTANCE OF 162.70 FEET TO THE POINT OF BEGINNING.

CONTAINING 16,506 SQUARE FEET OR 0.3789 ACRES, MORE OR LESS.

**SURVEYOR'S NOTES:**

1. SURVEY MAPS OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND ORIGINAL SEAL, OR THE AUTHENTICATED ELECTRONIC SIGNATURE AND SEAL, OF A FLORIDA LICENSED PROFESSIONAL LAND SURVEYOR AND MAPPER.
2. ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
3. LANDS SHOWN HEREON WERE NOT ABSTRACTED, BY THE SURVEYOR, FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
4. BEARINGS SHOWN HEREON ARE RELATIVE TO A GRID BEARING OF S00°16'59"W, ALONG THE WEST LINE OF BLOCK 12, NEW PALM BEACH HEIGHTS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 73 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, RELATIVE TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, TRANSVERSE MERCATOR PROJECTION, NORTH AMERICAN DATUM OF 1983 (1990 ADJUSTMENT).
5. THE LAND DESCRIPTION SHOWN HEREON WAS PREPARED BY THE SURVEYOR.
6. DATA SHOWN HEREON WAS COMPILED FROM THE INSTRUMENTS OF RECORD RECORDED IN THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, AND DOES NOT CONSTITUTE A FIELD SURVEY AS SUCH.
7. INSTRUMENTS OF RECORD SHOWN HEREON ARE RECORDED IN THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, UNLESS OTHERWISE SHOWN.

**CERTIFICATE:**

I HEREBY CERTIFY THAT THE ATTACHED SKETCH AND DESCRIPTION OF THE HEREON DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS PREPARED UNDER MY DIRECTION ON NOVEMBER 06, 2023. I FURTHER CERTIFY THAT THIS SKETCH AND DESCRIPTION MEETS THE STANDARDS OF PRACTICE SET FORTH IN RULE 5J-17, FLORIDA ADMINISTRATIVE CODE, ADOPTED BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS PURSUANT TO FLORIDA STATUTES CHAPTER 472.027.

THIS IS NOT A SURVEY

SHEET 1 OF 4



CAULFIELD & WHEELER, INC.

CIVIL ENGINEERING - LAND SURVEYING

7301A W. PALMETTO PARK ROAD - SUITE 100A  
BOCA RATON, FLORIDA 33433  
PHONE (561)-392-1991 / FAX (561)-750-1452

DAVID P. LINDLEY  
REGISTERED LAND  
SURVEYOR NO. 5005  
STATE OF FLORIDA  
LB 3591

DATE 11-06-2023

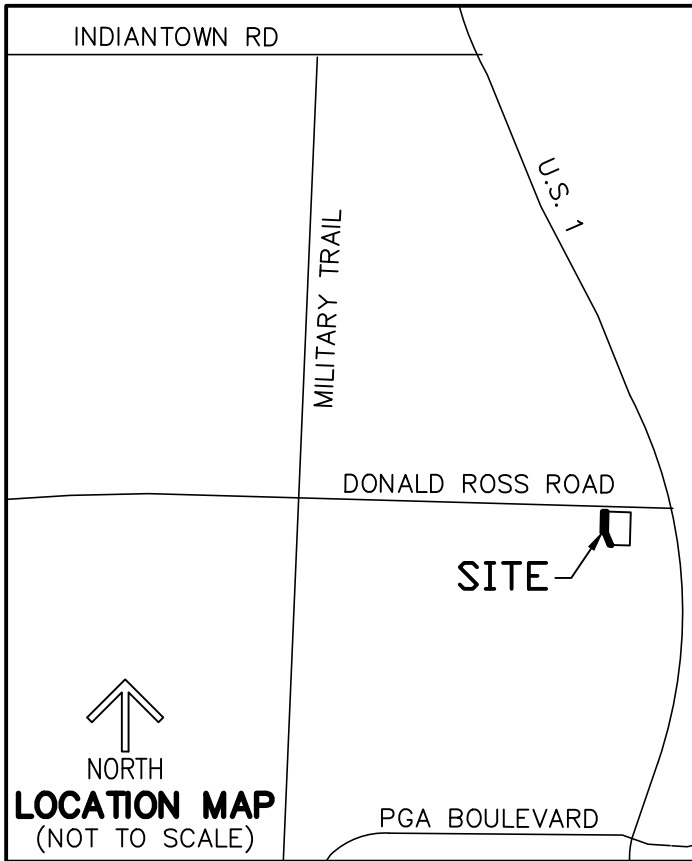
DRAWN BY SAS

F.B./ PG. N/A

SCALE NONE

JOB NO. 5441-RV

**COCOANUT AVENUE, NEW PALM BEACH HEIGHTS  
RIGHT-OF-WAY ABANDONMENT  
SKETCH AND DESCRIPTION**



**LEGEND/ABBREVIATIONS:**

- O.R.B. - OFFICIAL RECORD BOOK
- P.B. - PLAT BOOK
- P.O.B. - POINT OF BEGINNING
- PG(S). - PAGE(S)
- R/W - RIGHT-OF-WAY
- LB - LICENSED BUSINESS
- ⊕ - CENTERLINE
- 28-41-43 - SECTION 28, TOWNSHIP 41 SOUTH, RANGE 43 EAST

THIS IS NOT A SURVEY

SHEET 2 OF 4



**CAULFIELD & WHEELER, INC.**

CIVIL ENGINEERING - LAND SURVEYING

7301A W. PALMETTO PARK ROAD - SUITE 100A  
BOCA RATON, FLORIDA 33433

PHONE (561)-392-1991 / FAX (561)-750-1452

**COCOANUT AVENUE, NEW PALM BEACH HEIGHTS  
RIGHT-OF-WAY ABANDONMENT  
SKETCH AND DESCRIPTION**

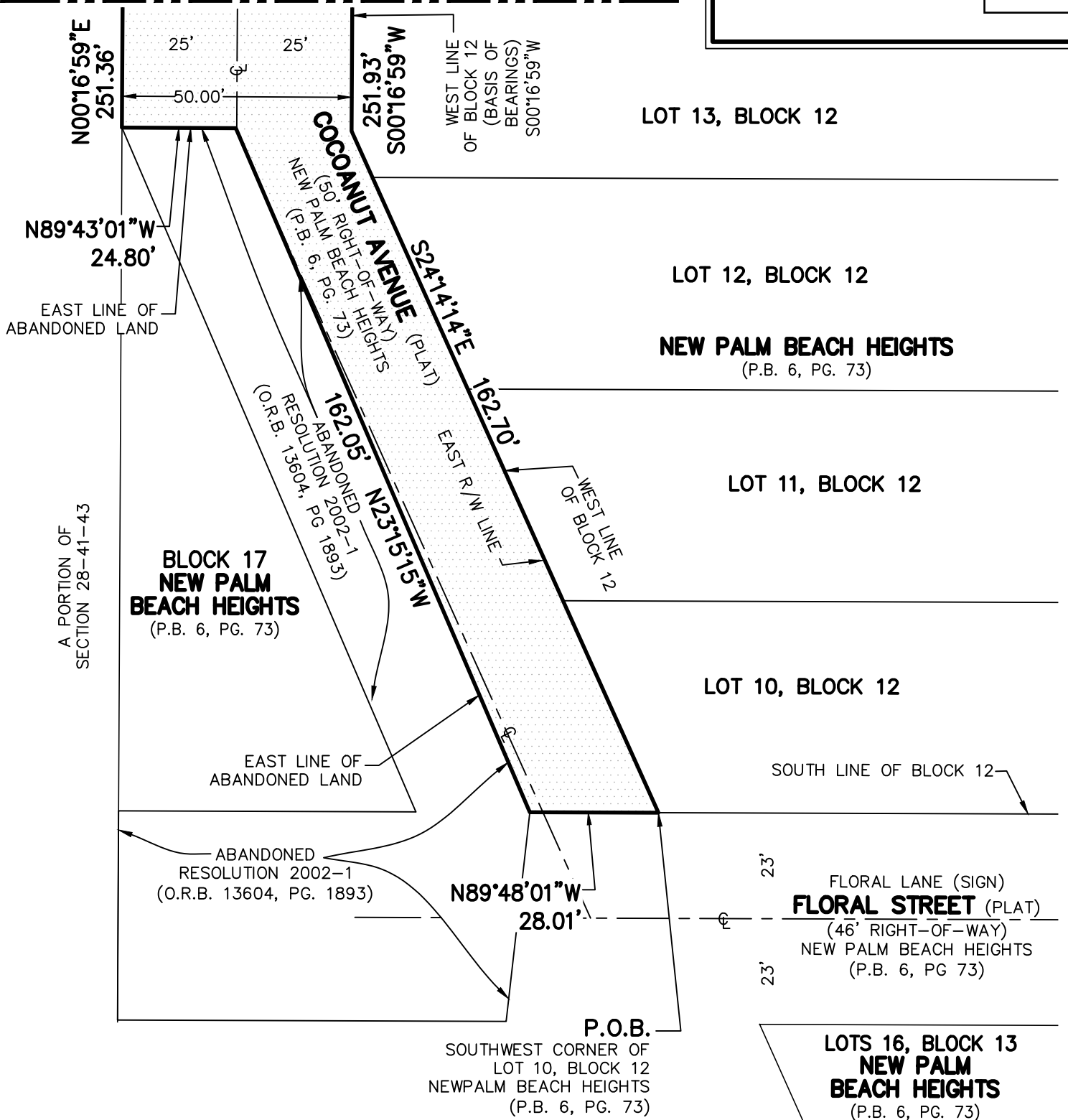
DATE 11-06-2023

DRAWN BY SAS

F.B./ PG. N/A

SCALE NONE

JOB NO. 5441-RV

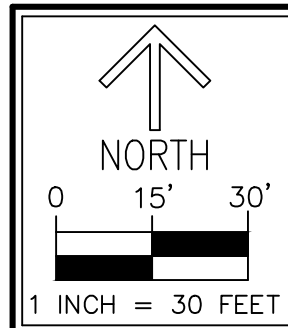


THIS IS NOT A SURVEY

SHEET 3 OF 4



**CAULFIELD & WHEELER, INC.**  
 CIVIL ENGINEERING - LAND SURVEYING  
 7301A W. PALMETTO PARK ROAD - SUITE 100A  
 BOCA RATON, FLORIDA 33433  
 PHONE (561)-392-1991 / FAX (561)-750-1452



DATE	11-06-2023
DRAWN BY	SAS
F.B./ PG.	N/A
SCALE	1" = 30'
JOB NO.	5441-RV

**COCOANUT AVENUE, NEW PALM BEACH HEIGHTS  
 RIGHT-OF-WAY ABANDONMENT  
 SKETCH AND DESCRIPTION**



DONALD ROSS ROAD (SIGN)  
**OLIVE STREET** (PLAT)  
 (120' RIGHT-OF-WAY)  
 NEW PALM BEACH HEIGHTS  
 (P.B. 6, PG. 73)

R/W DEED  
 (O.R.B. 2584,  
 PG. 1012)

Item #2.

S89°48'01"E  
 50.00'

SOUTH R/W LINE  
 (O.R.B. 2584, PG. 1012)

CONSTRUCTION SETBACK LINE  
 (O.R.B. 22, PG. 331)

LOT 1, BLOCK 12

LOT 2, BLOCK 12

**NEW PALM BEACH HEIGHTS**  
 (P.B. 6, PG. 73)

LOT 3, BLOCK 12

LOT 4, BLOCK 12

LOT 14, BLOCK 12

WEST LINE  
 OF BLOCK 12  
 (BASIS OF  
 BEARINGS)  
 S00°16'59"W

**COCOANUT AVENUE** (PLAT)  
 (50' RIGHT-OF-WAY)  
 NEW PALM BEACH HEIGHTS  
 (P.B. 6, PG. 73)

A PORTION OF  
 SECTION 28-41-43

N00°16'59"E 251.36'

S00°16'59"W 251.93'

50.00'

25' 25'

LOT 13, BLOCK 12

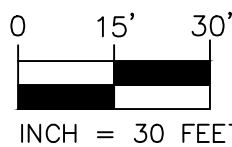
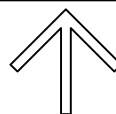
THIS IS NOT A SURVEY

MATCHLINE SEE SHEET 3

SHEET 4 OF 4



**CAULFIELD & WHEELER, INC.**  
 CIVIL ENGINEERING - LAND SURVEYING  
 7301A W. PALMETTO PARK ROAD - SUITE 100A  
 BOCA RATON, FLORIDA 33433  
 PHONE (561)-392-1991 / FAX (561)-750-1452



DATE	11-06-2023
DRAWN BY	SAS
F.B./ PG.	N/A
SCALE	1" = 30'
JOB NO.	5441-RV

**COCOANUT AVENUE, NEW PALM BEACH HEIGHTS  
 RIGHT-OF-WAY ABANDONMENT  
 SKETCH AND DESCRIPTION**



**Meeting Name:** Planning and Zoning Board  
**Meeting Date:** August 5, 2024  
**Prepared By:** Davila, F. CFM.  
**Item Title:** Future Land Use Amendment Request by Juno Square LLP – The Dunes at Juno Beach

### **Background**

Coutler and Hearing (Agent) has submitted a petition on behalf of Juno Square LLP (Owner) requesting to amend the Town of Juno Beach’s Future Land Use Map (FLUM) for a parcel under the ownership of Juno Square LLP and one public right-of-way (the Cocoanut Avenue ROW). The applicant has submitted a separate application requesting to amend the Town’s Zoning Designation for the parcel and the existing ROW. A copy of the petition to amend the Future Land Use Map is attached and labeled as “Attachment I” along with a copy of a map identifying the location of the parcel labeled as “Attachment II”.

The existing 4.32-acre subject site, known as “Juno Square,” is located at the southwest intersection of Donald Ross Road and U.S. Highway One at 13951 U.S. Highway One in the Town of Juno Beach. It presently consists of one parcel with a Parcel Control Number (PCN) of 28-43-41-28-10-007-0111. This parcel retains the Town of Juno Beach FLU classification of Commercial (COM), and a zoning district designation of Commercial General (CG). Juno Square is part of the Juno Square Commercial Plaza located at 13955 U.S. Highway One and it currently contains a vacant building (former location for Anchor Commercial Bank), parking, and a shared driveway.

Along with the Future Land Use Amendment request, the contract purchaser of the parcel is also requesting that the Town abandon the 50’ Cocoanut Avenue ROW (separate application). The Cocoanut ROW contains approximately .3789 acres and, if abandoned, the ROW will be incorporated into the parcel owned by Juno Square LLP, creating a new total site area of 4.70 acres.

The applicant is proposing to assign the Moderate Density Residential (MODR, up to 15 units per acre) Future Land Use (FLU) classification to the 4.7 acres of land (subject site and the Cocoanut Avenue ROW). As a separate application, the applicant is also proposing to down-zone the property from Commercial General (CG) to Residential Multiple-Family – Moderate Density (RM-2).

The following table outlines the site information in relation to each parcel that is part of the proposed Future Land Use Map Amendment request:

Table 1.

PCN	Owner Information	Address	FLU	Zoning	Area
28-43-41-28-10-007-0111	Juno Square LLP	13951 US Highway 1	COM	CG	4.32 AC.
Cocoanut Av. ROW	Town of Juno Beach	Unassigned	N/A	N/A	0.378 AC.
<b>Total</b>					<b>4.7 AC.</b>

The following is a summary of the uses surrounding the subject site.

Table 2.

	FLU	Zoning	Existing Use
<b>North</b>	Commercial (COM)	Commercial Office (CO)	Under Construction (mixed-use)
<b>South</b>	Low Density Residential (LDR), up to 5 Units Per Acre. Commercial (COM)	Residential Single-Family (RS-5), Residential Duplex (R-DUP), and Commercial General (CG)	Single Family Residential and Commercial Plaza
<b>East</b>	Commercial (COM)	Commercial General (CG)	Restaurant, Commercial Plaza, and Hotel
<b>West</b>	Low Density Residential (LDR), up to 5 Units Per Acre. Conservation (CON)	Residential Single-Family (RS-5), Environmental Sensitive Land (ESL)	Single Family Residential, and Preserve

### Discussion

The applicant submitted the following as justification for this request:

The project proposes 40 townhome units within the 4.70-acre parcel. To do so, the applicant is proposing to down-zone the property from Commercial General (CG) to Residential Multiple-Family-Moderate Density (RM-2) and amend the Future Land Use Map from Commercial (COM) to Moderate Density Residential (MODR), thus allowing a transitional density for the site, given its location to the single-family subdivision (Palm Beach Heights) located to the south. It should be noted that the maximum permitted density within this site is 56 units, however, the applicant's proposal of 40 total units is significantly less than the maximum permitted.

### Staff Analysis:

The subject parcels for this FLUM Amendment total approximately 4.7 acres and if approved by the Board and the Town Council, will adopt the FLU classification of Moderate Density Residential (MODR, up to 15 units per acre).

Based on the proposed FLUM amendment, Staff requests that the Board and Town Council review the criteria applicable to proposed amendments to the Town of Juno Beach Comprehensive Plan. The criteria for consideration of a proposed FLUM Amendment include, but are not limited to, the following (staff's responses are in **bold**, the applicant has provided their responses within their Statement of Use):

- Indicate whether proposed classifications would require text modifications (amendments) to existing classifications, or whether new future land use classifications are requested. If a text amendment or new classification is proposed, specify the proposed modification or classification. See Future Land Use Plan, Town of Juno Beach Comprehensive Development Plan for definitions of currently adopted future land use classifications.

**The proposed classification does not require any text amendment to any existing land use classification, and no new future land use classifications are being requested. The**



**applicant is seeking to assign an existing future land use classification currently applicable to other residential projects with an RM-2 Zoning Classification.**

- Describe how the proposed future land use is compatible with adjacent future land use classifications, the effect the amendment will have on the current distribution of residential and commercial future land uses, and if the proposed future land use is compatible with existing land uses, including those within and adjacent to the subject property.

**The applicant is proposing a Moderate Density Residential (MODR) FLU classification for the subject property, the adjacent FLU classifications surrounding the property are Commercial and Low Density Residential. As indicated by the applicant, the MODR designation creates an appropriate transition between adjacent land uses. The Town has approximately 126.22 acres (10.48%) of commercial land uses, with the proposed land use amendment, the total acres will be reduced to 121.52 acres (9.18%). The proposed residential future land use is compatible with adjacent residential uses and does not create incompatible land uses.**

- Indicate any other goals, objectives or policies in the Future Land Use Element of the Town of Juno Beach Comprehensive Plan that may require modification (amendment) as a result of the proposed amendment. Indicate the specific modifications requested, and the justification (including appropriate revisions to supporting data and analyses) for each modification. Also indicate any additional modifications required, and the justification for that modification, to other portions of the Future Land Use map series of the Comprehensive Plan. The Future Land Use map series includes: the Town of Juno Beach Future Land Use Map, Generalized Soils Distribution, Natural Resources, and Surface Water Bodies and Flood Plains.

**No additional modifications are required or needed as part of this request.**

- Indicate all goals, objectives or policies in other portions of the Town of Juno Beach Comprehensive Development Plan that may require modification (amendment) as a result of the proposed amendment. Indicate the specific modifications requested, and the justification (including appropriate revisions to supporting data and analyses) for each modification. Other portions of the adopted Town of Juno Beach Comprehensive Development Plan that could be affected include: Traffic Circulation Element, including the Future Traffic Circulation Map, functional classifications of roadways, number of lanes; Housing Element; Infrastructure Element, including Sanitary Sewer, Solid Waste, Drainage, Potable Water, and Natural Groundwater Aquifer Recharge; Conservation Element; Recreation and Open Space Element; Coastal Management Element; Intergovernmental Coordination Element; Capital Improvements Element; Five-Year Schedule a/Capital Improvements; Population Projections and Definitions.

**No additional modifications are required or needed as part of this request.**

- Analyze the impact of the proposed amendment on any existing blighted areas.

**The proposed parcels are not considered to be blighted areas by definition; consequently, there is no impact on any blighted areas.**

- Analyze the character of the developed and undeveloped land included in the amendment, including: the ability to be served by existing or proposed public water, sewer, transportation,

and drainage facilities; the types of soils and the ability to support the proposed amendment, topography; the impact of the proposed amendment on existing natural resources, including flood prone areas, wetlands, uplands, native vegetation and protected plant and animal species; and the impact of the proposed amendment on existing historic resources.

**During the Development Review Committee review process, all utility providers confirmed their ability to service the proposed area. In addition, the applicant has been working with Palm Beach County Department of Environmental Resources Management (PBC ERM) and have addressed PBC ERM's concerns regarding the proximity of the project to the Juno Dunes Natural Area regarding landscaping and lighting. The proposed amendment would not create an adverse impact on the topography of the land, existing natural resources, or existing historic resources.**

- Indicate how water and sewer will be provided. If from a public supply system, describe how an existing system will be expanded to provide service to the subject property. If from an expanded or from a new system, describe any facilities (including new treatment plants) that will be constructed to provide service, an approximation of the cost and the funding source(s).

**As indicated by the applicant, potable water service is provided by the Town of Jupiter Utilities. There is an existing 6" water main along U.S. Highway One and a 12" water main along Donald Ross Road. Connections will be made to both these mains and an 8" water main will be looped through the site.**

**Sanitary sewer service is provided by the Loxahatchee River District. There is an existing 8" gravity sewer line along the south side of the site that extends north through the site. A new 8" gravity sewer main will be extended from the southeast corner of the site through the project.**

- Describe the existing drainage pattern of the subject property. Describe the impacts the proposed amendment will have on the quality and quantity of storm water runoff, and the anticipated general approach to be taken regarding storm water management.

**The proposed Drainage Plans have been reviewed by the Town Engineer and have received technical approval to enable Board's review of the application.**

- Demonstrate that levels of service for public facilities and services can be met by development permissible because of the proposed amendment. Public facilities and services for which levels of service are established include transportation (roads), solid waste, recreation, public supply water, public supply sewer, and drainage.

**The proposed project does not affect or impact the Town of Juno Beach level of service standards. Palm Beach County Traffic Division has conducted a Traffic Performance Standard (TPS) review and has determined the proposed development will have insignificant impact on the area roadways, and therefore, meets the Palm Beach County TPS. Jupiter Water Utilities and Loxahatchee River District have confirmed their ability and capacity to provide water and sewer services.**

- Describe how the proposed amendment is consistent with state and regional goals (Treasure Coast Comprehensive Regional Policy Plan and the State Comprehensive Plan).

**In accordance with Section 187.201, Florida Statutes – State Comprehensive Plan adopted, the proposed future land use amendment supports and is consistent with the goals and policies contained within the plan, as outlined below:**

**PROPERTY RIGHTS.—**

**Goal.—Florida shall protect private property rights and recognize the existence of legitimate and often competing public and private interests in land use regulations and other government action.**

**LAND USE.—**

**Goal.—In recognition of the importance of preserving the natural resources and enhancing the quality of life of the state, development shall be directed to those areas which have in place, or have agreements to provide, the land and water resources, fiscal abilities, and service capacity to accommodate growth in an environmentally acceptable manner.**

**Enhance the livability and character of urban areas through the encouragement of an attractive and functional mix of living, working, shopping, and recreational activities.**

In addition to the State and Regional goals, the applicant included within their Statement of Use how the proposed amendment is consistent the Goals, Objectives, and Policies of the Town’s Comprehensive Development Plan.

The Application for Development and Site Plan Review approval is contingent on the Future Land Use Amendment approval by the Town Council. Please note that as part of the conditions of approval for the proposed Dunes at Juno Beach project, staff will recommend to Town Council that all applications (ROW Abandonment, Future Land Use Amendment, Rezoning Request, Development and Site Plan Review, and Special Exception Request) be contingent on each other – if one application/request is denied that all previously approved applications be denied and/or revoked.

**Recommendation**

Staff recommends that the Planning and Zoning Board review the Future Land Use amendment application and provide a recommendation to Town Council for the proposed Future Land Use Map amendment to change the Future Land Use classification from Commercial (COM) to Moderate Density Residential (MODR).

Attachments:

- I. Amendment to the Town of Juno Beach Comprehensive Plan (FLUM) Application
- II. Site Map
- III. Proposed Ordinance No. 789



*Please note that a copy of the Statement of Use is within the Development and Site Plan Application backup material.*

Applicant's Name: Pulte Home Company LLC  
FLUM From: COM To: MODR  
Application Number: \_\_\_\_\_  
(Check One) Large Scale: \_\_\_ Small Scale: x Text: \_\_\_

**Town of Juno Beach**  
**340 Ocean Drive; Juno Beach, FL 33408**  
**Phone: (561) 626-1122; Fax: (561) 775-0812**

**Application for an**  
**Amendment to the Town of Juno Beach Comprehensive Plan**

1. Name of Property Owner(s): Juno Square LLP
2. Mailing Address of Applicant: 3350 Peachtree Road NE. Suite 1500, Atlanta 30326
3. Phone of Applicant: 561.268.5821
4. Name of Agent/Contact: Coteleur & Hearing Phone: 561.747.6336
5. Mailing Address of Agent/Contact: 1934 Commerce Lane, Suite 1, Jupiter, Florida 33458
6. Parcel Number(s): 28434128100070111
7. Location of Parcel/Directions to Parcel (Describe and provide 8.5" x 11" map): The subject parcel is located at the southwest corner of the intersection at Donald Ross Road and US Highway One in Juno Beach, Florida.
8. Area of parcel (acres): 4.70
9. Current Future Land Use Classification: Commercial (COM)
10. Proposed Future Land Use Classification: Moderate Density Residential (MODR)
11. Current Zoning: Commercial (CG)
12. Provide a statement of intent describing why you are requesting the amendment.

13. Provide a map of the parcel that indicates generalized existing land uses, including: low density residential (0-5 units/acre); medium density residential (not to exceed 10 units/acre); moderate density residential (not to exceed units/acre); high density (not to exceed 22 units/acre); commercial; recreation; conservation; public buildings and grounds including educational facilities; historic resources; and vacant and undeveloped land. The map must also indicate the generalized existing land uses of all adjacent land.
14. Indicate, in tabular form, the approximate acreage and the general range of density of use (units per acre) or intensity of use of each existing land use.
15. Provide a map of the parcel that indicates generalized existing natural resources, including: beaches and shores, estuarine systems; rivers, floodplains, harbors, and wetlands.
16. Indicate, in tabular form, the acreage of each type of existing natural resources.
17. Provide a map that indicates the proposed future land uses including: Low Density Residential; Medium Density Residential; Moderate Density Residential; High Density Residential; Transient/Residential; Commercial; Public Buildings and Grounds; Other Public Facilities; Recreation/Open Space; Conservation; or any new future land use classifications not currently depicted on the town's Future Land Use Map. The map must also indicate the future land uses of all adjacent land.
18. Indicate whether proposed classifications would require text modifications (amendments) to existing classifications, or whether new future land use classifications are requested. If a text amendment or new classification is proposed, specify the proposed modification or classification. See Future Land Use Plan, Town of Juno Beach Comprehensive Development Plan for definitions of currently adopted future land use classifications.
19. Indicate in tabular form, the approximate acreage and the general range of density or intensity of each proposed future land use.
20. Describe how the proposed future land use is compatible with adjacent future land use classifications, the effect the amendment will have on the current distribution of residential and commercial future land uses, and if the proposed future land use is compatible with existing land uses, including those within and adjacent to the subject property.
21. In addition to policies that may be affected by #'s 17 and 18 above, indicate any other goals, objectives or policies in the Future Land Use Element of the Town of Juno Beach Comprehensive Plan that may require modification (amendment) as a result of the proposed amendment. Indicate the specific modifications requested, and the justification (including appropriate revisions to supporting data and analyses) for each modification. Also indicate any



additional modifications required, and the justification for that modification, to other portions of the Future Land Use map series of the Comprehensive Plan. The Future Land Use map series includes: the *Town of Juno Beach Future Land Use Map*, *Generalized Soils Distribution*, *Natural Resources*, and *Surface Water Bodies and Flood Plains*.

22. Indicate all goals, objectives or policies in other portions of the Town of Juno Beach Comprehensive Development Plan that may require modification (amendment) as a result of the proposed amendment. Indicate the specific modifications requested, and the justification (including appropriate revisions to supporting data and analyses) for each modification. Other portions of the adopted Town of Juno Beach Comprehensive Development Plan that could be affected include: *Traffic Circulation Element*, including the *Future Traffic Circulation Map*, functional classifications of roadways, number of lanes; *Housing Element*; *Infrastructure Element*, including *Sanitary Sewer*, *Solid Waste*, *Drainage*, *Potable Water*, and *Natural Groundwater Aquifer Recharge*; *Conservation Element*; *Recreation and Open Space Element*; *Coastal Management Element*; *Intergovernmental Coordination Element*; *Capital Improvements Element*; *Five-Year Schedule of Capital Improvements*; *Population Projections and Definitions*.

23. Describe how the proposed amendment is consistent with and furthers the Town of Juno Beach Comprehensive Development Plan. Indicate specific goals, objectives and polices that the proposed amendment furthers or with which the proposed amendment is consistent.

24. Analyze the impact of the proposed amendment on any existing blighted areas.

25. Analyze the character of the developed and undeveloped land included in the amendment, including: the ability to be served by existing or proposed public water, sewer, transportation, and drainage facilities; the types of soils and the ability to support the proposed amendment; topography; the impact of the proposed amendment on existing natural resources, including flood prone areas, wetlands, uplands, native vegetation and protected plant and animal species; and the impact of the proposed amendment on existing historic resources.

26. Indicate how water and sewer will be provided. If from a public supply system, describe how an existing system will be expanded to provide service to the subject property. If from an expanded or from a new system, describe any facilities (including new treatment plants) that will be constructed to provide service, an approximation of the cost and the funding source(s).

27. Describe the existing drainage pattern of the subject property. Describe the impacts the proposed amendment will have on the quality and quantity of stormwater runoff, and the anticipated general approach to be taken regarding stormwater management.

28. Demonstrate that levels of service for public facilities and services can be met by

development permissible because of the proposed amendment. Public facilities and services for which levels of service are established include transportation (roads), solid waste, recreation, public supply water, public supply sewer, and drainage.

**With regard to transportation impacts, indicate the Maximum number of net new trips that could be generated by the amendment if development occurred at the maximum density or intensity allowed by the requested future land use classification. Specifically state and justify any extenuating circumstances that would result in the number of new net trips being less than that otherwise permissible by the maximum density or intensity allowed. Demonstrate the impact this will have on existing and projected transportation levels of service for all impacted roadways. The analysis and methodology must be included. Existing and projected transportation level of service information is included in the attached worksheet.**

If construction of roadway improvements will be required to support the amendment of the development, indicate what the improvements are, the approximate cost and the funding source(s).

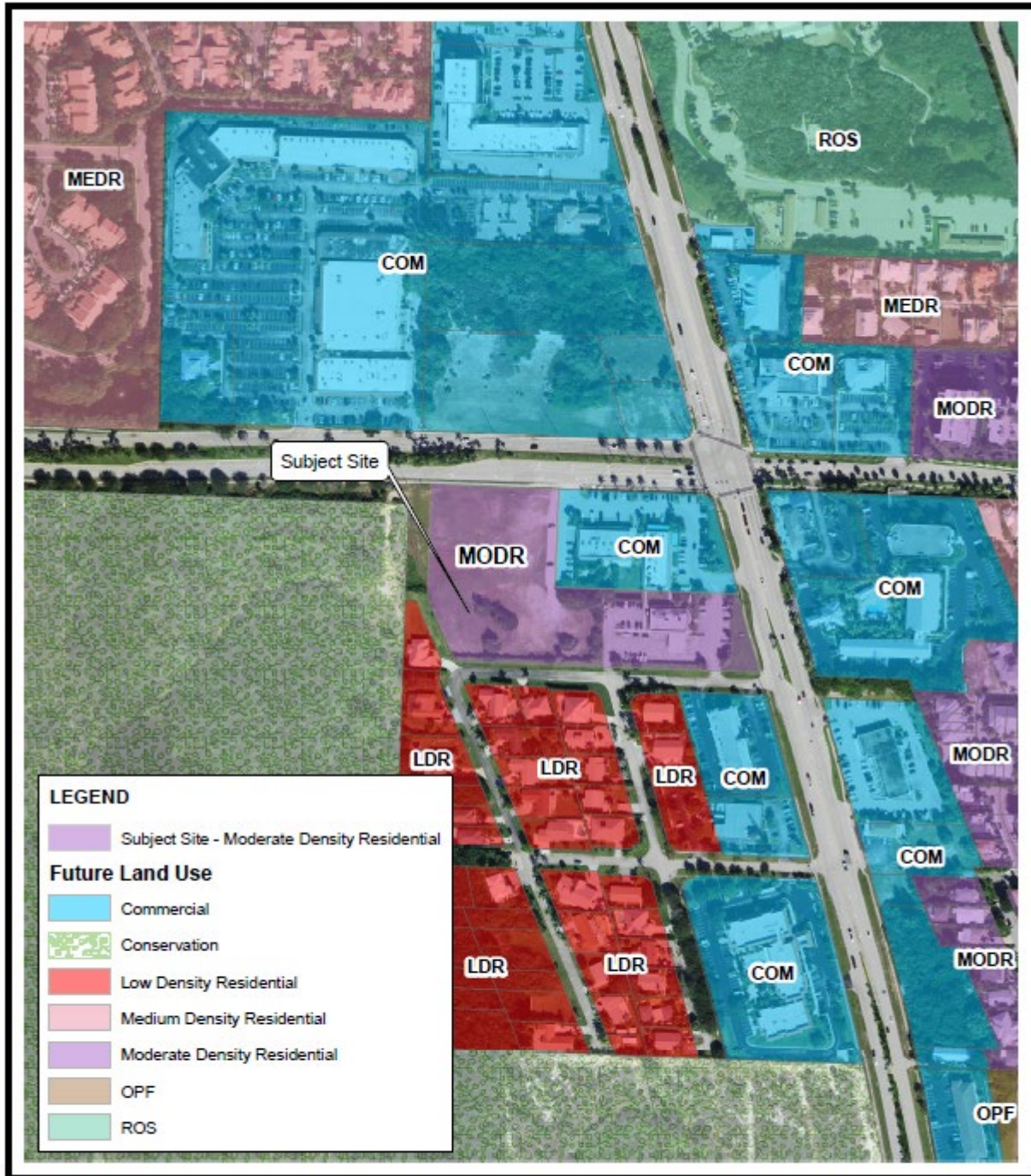
29. Provide copies of any permits, correspondence or other documentation you have received from other local, regional, state, or federal entities concerning development of the subject property.

30. Provide any information and drawings that you have developed as a concept plan for the property, such as the type and size of project, proposed roads and roadway improvements, location and types of public facilities, conceptual drainage information, or a development schedule. Also provide any other information, drawings, statements or materials that are relevant to, or provide justification for, the proposed amendment.

31. Describe how the proposed amendment is consistent with state and regional goals (*Treasure Coast Comprehensive Regional Policy Plan* and the *State Comprehensive Plan*).

32. Provide a copy of the property identification card(s) from the Palm Beach County Property Appraiser for all parcels included in the amendment.

**33. Submit your completed application, along with your application fee (\$2,500.00) to the Town of Juno Beach, 340 Ocean Drive, Juno Beach, FL 33408.**





1 inch = 300 feet  
 0 75 150 300 Feet

Map Document:  
 (F:\Projects\Active\22-0724 Pulls - Juno Beach - Donald Rose &  
 US1\Maps and Graphics\ArcMap\_Projects)  
 03/24/2023 - 1:30:00 PM (MAK)

## Proposed Future Land Use Map

### Juno Square Juno Beach, Florida



**Cotleur &  
 Hearing**  
1934 Commerce Lane - Suite 1 - Jupiter, FL - 33458  
 561.747.8338 - 561.747.1377



TOWN OF JUNO BEACH, FLORIDA

ORDINANCE NO. \_\_\_\_

AN ORDINANCE OF THE TOWN COUNCIL OF THE TOWN OF JUNO BEACH, FLORIDA, ADOPTING A SMALL-SCALE AMENDMENT TO THE TOWN'S COMPREHENSIVE DEVELOPMENT PLAN TO AMEND THE FUTURE LAND USE CLASSIFICATION OF A PARCEL OF PROPERTY LOCATED AT THE SOUTHWEST CORNER OF DONALD ROSS ROAD AND U.S. HIGHWAY ONE AND ADJACENT RIGHT-OF-WAY TOTALING APPROXIMATELY 4.70 ACRES, AS MORE PARTICULARLY DESCRIBED HEREIN, FROM THE TOWN'S COMMERCIAL (COM) LAND USE CLASSIFICATION TO THE TOWN'S MODERATE DENSITY RESIDENTIAL (MODR) LAND USE CLASSIFICATION; AMENDING THE FUTURE LAND USE MAP; PROVIDING FOR SEVERABILITY, CONFLICTS AND AN EFFECTIVE DATE.

WHEREAS, the Town received an application from Juno Square LLP, property owner, to amend the Future Land Use Map of the Town's Comprehensive Plan to change the land use classification of a parcel of property located at 13951 U.S. Highway One (PCN: 28-43-41-28-10-007-0111) and the adjacent Coconut Avenue right-of-way totaling approximately 4.70 acres, as more particularly described in Exhibit "A" attached hereto and incorporated herein ("Property"), from the Town's Commercial (COM) land use classification to the Town's Moderate Density Residential (MODR) land use classification; and

WHEREAS, the Planning and Zoning Board, sitting as the Local Planning Agency, conducted a public hearing on the proposed amendment to the Future Land Use Map of the Town's adopted Comprehensive Plan and provided a recommendation to the Town Council; and

WHEREAS, the Town Council determines that the Future Land Use Map Amendment is consistent with Section 163.3187, Florida Statutes; and

WHEREAS, the Town has received public input and participation through public hearings before the Local Planning Agency and the Town Council in accordance Section 163.3181, Florida Statutes; and

WHEREAS, the Town Council determines that the adoption of this Ordinance is in the best interests of the public health, safety, and welfare.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF JUNO BEACH, FLORIDA as follows:

**Section 1.** The foregoing "Whereas" clauses are hereby ratified as true and correct and are incorporated herein.

**Section 2.** The Town Council hereby amends the Future Land Use Map of the Comprehensive Development Plan of the Town of Juno Beach to change for the future land use classification of the parcel of property located at 13951 U.S. Highway One and the

1 adjacent Coconut Avenue right-of-way totaling approximately 4.70 acres, as identified in  
2 Exhibit "A" attached hereto and incorporated herein, from the Town's Commercial (COM)  
3 land use classification to the Town's Moderate Density Residential (MODR) land use  
4 classification.

5  
6 **Section 3.** All ordinances or parts of ordinances of the Town of Juno Beach,  
7 Florida, which are in conflict with this Ordinance, are hereby repealed to the extent of such  
8 conflict.

9  
10 **Section 4.** If any section, paragraph, sentence, clause, phrase, or word of this  
11 Ordinance is for any reason held by a court of competent jurisdiction to be unconstitutional,  
12 inoperative or void, such holding shall not affect the remainder of the Ordinance.

13  
14 **Section 5.** This Ordinance shall become effective thirty-one (31) days after  
15 adoption or, if timely challenged, this Ordinance shall be effective upon entry of a final order  
16 by the Department of Commerce or the Administration Commission determining the adopted  
17 amendment to be in compliance.

18  
19 FIRST READING this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

20  
21 SECOND, FINAL READING AND ADOPTION this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

22			
23			
24			
25	_____ AYE	_____ NAY	_____ PEGGY WHEELER, MAYOR
26			
27			
28	_____ AYE	_____ NAY	_____ DD HALPERN, VICE MAYOR
29			
30			
31	_____ AYE	_____ NAY	_____ MARIANNE HOSTA, VICE MAYOR PRO TEM
32			
33			
34	_____ AYE	_____ NAY	_____ JACOB ROSENGARTEN, COUNCILMEMBER
35			
36			
37	_____ AYE	_____ NAY	_____ DIANA DAVIS, COUNCILMEMBER

38			
39			
40	ATTEST:		APPROVED AS TO FORM AND LEGAL
41			SUFFICIENCY:
42			
43			
44	_____ CAITLIN COPELAND-RODRIGUEZ, MMC	_____ LEONARD G. RUBIN	
45	TOWN CLERK	TOWN ATTORNEY	

## EXHIBIT "A"

## LEGAL DESCRIPTION

A PORTION OF BLOCKS 11, 12 COCOANUT AVENUE, OLEANDER AVENUE AND PALM AVENUE, NEW PALM BEACH HEIGHTS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 73 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING ON THE NORTH CORNER OF BLOCK 17, AS SHOWN ON SAID PLAT; THENCE NORTH  $02^{\circ}10'49''$  EAST ALONG THE WEST RIGHT-OF-WAY LINE OF COCOANUT AVENUE, A DISTANCE OF 251.36 FEET TO A POINT OF INTERSECTION WITH THE WESTERLY PROJECTION OF THE SOUTH RIGHT-OF-WAY LINE OF DONALD ROSS ROAD, AS RECORDED IN OFFICIAL RECORD BOOK 2584, PAGE 1012 OF SAID PUBLIC RECORDS; THENCE SOUTH  $87^{\circ}54'11''$  EAST ALONG SAID WESTERLY PROJECTION AND SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 336.67 FEET; THENCE SOUTH  $02^{\circ}05'49''$  WEST, A DISTANCE OF 233.33 FEET; THENCE SOUTH  $87^{\circ}54'11''$  EAST, A DISTANCE OF 416.11 FEET TO A POINT OF INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE THAT 120.00 FOOT WIDE RIGHT-OF-WAY OF U.S. HIGHWAY NO. 1/STATE ROAD NO. 5, AS RECORDED IN ROAD PLAT BOOK 2, PAGE 114 OF SAID PUBLIC RECORDS; THENCE SOUTH  $15^{\circ}19'11''$  EAST ALONG SAID WEST RIGHT-OF-WAY LINE, A DISTANCE OF 185.22 FEET TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF FLORAL STREET AS SHOWN ON SAID PLAT; THENCE NORTH  $87^{\circ}54'11''$  WEST ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 719.29 FEET TO A POINT OF INTERSECTION WITH THE ASTY LINE OF THAT ABANDONED COCOANUT AVENUE RIGHT-OF-WAY, AS RECORDED IN OFFICIAL RECORD BOOK 13064, PAGE 1893 OF SAID PUBLIC RECORDS; THENCE NORTH  $21^{\circ}21'24''$  WEST ALON SAID EAST LINE, A DISTANCE OF 162.05 FEET; THENCE NORTH  $87^{\circ}49'11''$  WEST ALONG THE NORTH LINE OF SAID ABANDONED RIGHT-OF-WAY A DISTANCE OF 24.80 FEET TO THE POINT OF BEGINNING.

CONTAINING 204,743 SQUARE FEET/4.7003 ACRES, MORE OR LESS.





**Meeting Name:** Planning and Zoning Board  
**Meeting Date:** August 5, 2024  
**Prepared By:** Davila, F. CFM.  
**Item Title:** Rezoning Request by Juno Square LLP – The Dunes at Juno Beach

**Background**

Coutler and Hearing (Agent) has submitted a petition on behalf of Juno Square LLP (Owner) requesting to amend the Town of Juno Beach’s Zoning Map for a parcel under the ownership of Juno Square LLP and one public right of way (the Cocoanut Avenue ROW). A copy of the petition is attached and labeled as “Attachment I,” along with a copy of a map identifying the location of the parcel labeled as “Attachment II.”

The existing 4.32-acre subject site, known as “Juno Square,” is located at the southwest intersection of Donald Ross Road and U.S. Highway One at 13951 U.S. Highway One in the Town of Juno Beach. It presently consists of one parcel with a Parcel Control Number (PCN) of 28-43-41-28-10-007-0111. This parcel retains the Town of Juno Beach FLU classification of Commercial (COM), and a zoning district designation of Commercial General (CG). Juno Square is part of the Juno Square Commercial Plaza located at 13955 U.S. Highway One and currently contains a vacant building (former location for Anchor Commercial Bank), parking, and a shared driveway.

Along with the rezoning request, the owner has also requested to amend the Town’s Future Land Use Map and for the Town to abandon the 50’-wide Cocoanut Avenue ROW (previous applications). The Cocoanut ROW contains approximately .3789 acres and, if abandoned, the ROW will be incorporated into the property owned by Juno Square LLP, creating a new total site area of 4.70 acres. The applicant is proposing to rezone the parcel from the Commercial General (CG) zoning district to the Residential Multiple-Family – Moderate Density (RM-2) zoning district with a Planned Unit Development overlay (if the special exception request is approved).

The following table outlines site information in relation to each parcel that is part of the proposed rezoning request.

Table 1.

PCN	Owner Information	Address	FLU	Zoning	Area
28-43-41-28-10-007-0111	Juno Square LLP	13951 US Highway 1	COM	CG	4.32 AC.
Cocoanut Av. ROW	Town of Juno Beach	Unassigned	N/A	N/A	0.378 AC.
<b>Total</b>					<b>4.7 AC.</b>

The following is a summary of the uses surrounding the subject site.

Table 2.

	FLU	Zoning	Existing Use
North	Commercial (COM)	Commercial Office (CO)	Under Construction (mixed-use)
South	Low Density Residential (LDR), up to 5 Units Per Acre. Commercial (COM)	Residential Single-Family (RS-5), Residential Duplex (R-DUP), and Commercial General (CG)	Single Family Residential and Commercial Plaza
East	Commercial (COM)	Commercial General (CG)	Restaurant, Commercial Plaza, and Hotel
West	Low Density Residential (LDR), up to 5 Units Per Acre. Conservation (CON)	Residential Single-Family (RS-5), Environmental Sensitive Land (ESL)	Single Family Residential, and Preserve

**Discussion**

The applicant submitted the following as justification for this request.

The project proposes 40 townhome units within the 4.70-acre parcel. To do so, the applicant is proposing to down-zone the property from Commercial General (CG) to Residential Multiple-Family-Moderate Density (RM-2) and amend the Future Land Use Map from Commercial (COM) to Moderate Density Residential (MODR), thus allowing a transitional density for the site, given its location to the single-family subdivision (Palm Beach Heights) located to the south. It should be noted that the maximum permitted density within this site is 56 units, however, the applicant’s proposal of 40 total units is significantly less than the maximum permitted.

**Staff Analysis:**

The subject parcels for this Rezoning total approximately 4.7 acres and if approved by the Board and the Town Council, will be assigned a zoning designation of Residential Multiple-Family – Moderate Density (RM-2).

Based on the proposed Zoning Map amendment, Staff requests that the Board and the Town Council review the criteria set forth in Section 34-142 of the Town Code of Ordinances. The criteria for consideration of a proposed Zoning Map Amendment include, but are not limited to, the following (staff’s responses are in **bold**, the applicant has provided their responses within their Statement of Use):

- The proposed change is consistent with the established land use pattern.

**Staff Response: As part of the applications submitted by the applicant, the existing land use is also being changed to match the new proposed residential use. The existing parcel is immediately adjacent to and connected to the Juno Square Plaza (to the north and east of the subject parcel), and to single-family homes, duplexes, and a commercial plaza (to the south). The proposed zoning designation of RM-2 will create an appropriate transition between the adjacent commercial and residential (low density) zoning districts. Therefore, the proposed zoning amendment will be consistent with the existing land use pattern adjacent to the sites proposed for land use and rezoning.**

- The proposed change would create a related district to adjacent and nearby districts;

**Staff Response: The proposed amendment would create a related zoning district that emphasizes a sensible transition between existing zoning districts.**

- The proposed change would naturally alter the population density pattern and thereby reasonably maintain, or concurrently increase the availability of public facilities such as utilities, streets, etc.

**Staff Response: The current CG zoning district allows a maximum of 18 dwelling units per acre for mixed-use projects (most intense residential use), whereas the proposed zoning district (RM-2) allows a maximum of 12 dwelling units per acre for townhouse projects. The proposed amendment does not negatively alter the population density pattern and therefore would not require the need for additional public facilities.**

- The proposed change would be consistent with the comprehensive plan;

**Staff Response: The proposed rezoning change will be consistent with the proposed Moderate Density Residential (MODR) FLU. The proposed change is also consistent with the Future Land Use and Housing elements of the Town's Comprehensive Development Plan.**

- Changed or changing conditions make the passage of the proposed amendment necessary;

**Staff Response: The proposed rezoning request is required for the applicant to achieve 100% residential use within the subject property. Otherwise, under the existing CG zoning district, the applicant could not propose to build the townhouse project as submitted with 100% residential and no commercial space.**

- The proposed change will maintain or positively influence living conditions in the neighborhood

**Staff Response: The purpose of the proposed amendment is to allow the applicant to construct a townhouse project (100% residential use). As previously stated, the proposed zoning change will create a fluent transition between two significantly different zoning districts (single-family residential vs. commercial). This will positively influence the living conditions in the neighborhood.**

- The proposed change will maintain or improve traffic conditions, or otherwise address traffic-related public safety issues;

**Staff Response: The subject property is currently vacant and produces zero trips. The applicant has included, as part of their application, a traffic impact evaluation to determine the potential impacts of the proposed development. As indicated in the applicant's report and as verified by Palm Beach County Traffic Division and the Town's Traffic Engineer, the proposed development will result in an increase of 270 net new external daily trips. Based on the County's Traffic Division Traffic Performance Standards (TPS) Review, the proposed development will have insignificant impact on area roadways and therefore meets the Palm Beach County TPS.**



- The proposed change will maintain or improve drainage conditions;

**Staff Response:** In reviewing the Paving, Grading and Drainage plans submitted by the applicant, the Town's Engineer has indicated that the water management calculations for a change in land use intensity, storm attenuation, and water quality have been satisfied for site plan approval.

- The proposed change will relatively maintain, or allow for appropriate light and air conditions to adjacent areas

**Staff Response:** Staff has reviewed the proposed site plan to ensure that appropriate light and air conditions will be maintained for the adjacent areas, special consideration was taken for the adjacent Environmental Sensitive Land (east) and the residential homes (south).

- The proposed change will maintain or improve property values in the adjacent area;

**Staff Response:** The existing site is vacant, and a new townhouse (residential) project will improve property values within the adjacent area.

- The proposed change will promote the improvement of development of adjacent property in accordance with existing regulations;

**Staff Response:** With the approval of the proposed FLUM and rezoning, the applicant will be permitted to create a townhouse project that is compatible with the adjacent uses rather than having a commercial use. As indicated in the applicant's market study, the area in the vicinity of the project is in the process of becoming a mixed-use hub which currently includes all four quadrants of the U.S. Highway One and Donald Ross Road intersection. Existing hub components include hospitability, dining, and commercial components. A majority of the businesses within the quadrant have not been renovated in the recent past and with the addition of new residences (Caretta and Dunes at Juno Beach), it is probable that the adjacent businesses will benefit from such increase in population and thus promote improvement of the adjacent properties.

- The proposed change benefits the public welfare as opposed to resulting in a grant of special privilege to an individual owner;

**Staff Response:** The proposed rezoning (Commercial General to Residential Multiple-Family-Moderate Density) creates a better transition with the adjacent residential neighborhood (Residential Single-Family, Residential Duplex). The rezoning will both benefit the public and the individual owner because it allows the proposed townhouse project to be developed as proposed.

- There are substantial reasons why the property requires a change from existing zoning;

**Staff Response:** There are no substantial reasons why the property requires a change from the existing zoning – the parcel is zoned commercial and is a buildable lot as it stands today. At this time, the subject property requires a ROW Abandonment, a Future Land Use Map amendment, and a rezoning for the proposed site plan to be considered. Please note that without the Future Land Use amendment and rezoning, the parcel may be developed under

**a different set of land development regulations that would not be ideal due to the location of the property.**

- Whether the change suggested is to scale, or appropriately balanced with the needs of the neighborhood or the town;

**Staff Response: It is the Staff's professional opinion that the proposed rezoning will be to scale with the needs of the neighborhood.**

- After using reasonable diligence, the petitioner can demonstrate there is a reasonable lack of alternative sites available in the town for the proposed use.

**Staff Response: Within the Town of Juno Beach, there are three vacant sites (all in the Commercial General zoning district). The Town does not have a vacant parcel with a residential designation that could fit a project this size.**

The Application for Development and Site Plan Review approval is contingent on the Future Land Use Map Amendment and Rezoning approval by the Town Council. Please note that as part of the conditions of approval for the proposed Dunes at Juno Beach project, staff will recommend to Town Council that all applications (ROW Abandonment, Future Land Use Amendment, Rezoning Request, Development and Site Plan Review, and Special Exception Request) be contingent of each other, if the one application/request is denied that all previously approved applications be denied and/or revoked.

### **RECOMMENDATION:**

Staff recommends that the Planning and Zoning Board review the proposed Rezoning application to amend the Town's Zoning Map and provide a recommendation to Town Council for the proposed rezoning of the property from Commercial General (CG) to Residential Multiple-Family – Moderate Density (RM-2)

Attachments:

- I. Rezone Petition
- II. Site Map
- III. Proposed Ordinance No. 751



**TOWN OF JUNO  
BEACH**  
340 OCEAN DRIVE  
JUNO BEACH, FL 33048  
PHONE 561.626.1122 • FAX 561.775.0812

## Rezoning/Zoning Code Text Amendment Petitions

In seeking a *rezoning*, or *amendment* to the Town of Juno Beach Comprehensive Zoning Ordinance (Ordinance 207, and subsequent amendments):

"A Petition to designate a zoning classification or rezone any land within the Town may be filed by the Town Council, by the Planning and Zoning Board, or by the owner or authorized agent of the owner of property within the Town. After the Director has determined that a Petition has been properly filed and is complete with all required supporting materials, the Planning and Zoning Board shall set a date for a public hearing on the Petition. The public hearing shall take place within sixty (60) days of the determination by the Director that a Petition has been properly filed and is complete.

All requirements of Florida Statutes, Chapter 166 shall be followed in providing notice for a public hearing on such Petition."

"Upon receipt of recommendations of the Planning and Zoning Board, or upon failure to receive such recommendations within the period specified above, the Town Council shall set a date for its public hearing, which shall be no more than ninety (90) days from the date the recommendation is received or the date upon which the Town Council determines to take action in the absence of the recommendation due to failure of the Planning and Zoning Board to report."

### Section I

#### Instructions for Completion:

1. Complete Section II of this application, and respond (in written form) to the criteria listed in Section III. You may wish to attach a separate sheet of paper for this item.
2. Sign and date this application at the end of Section III. If appropriate, complete the power of attorney form on page 4 of this application.
3. Attach any information (maps, drawings, survey, letters, legal descriptions, etc.) that will help identify the petition subject, and that will help clarify your application.
4. A filing fee of \$1,600.00 must accompany each application upon submittal.

**Section II**

Please Complete the Following:

*Applicant/Agent Information:*

Name of Applicant: Pulte Home Company LLC Contact Phone #: 561.268.5821  
Address of Applicant: 3350 Peachtree Road NE, Suite 1500, Atlanta 30326

\*If the applicant has an agent, or will be represented by anyone other than the applicant.

\*Name of Agent: Cotleur & Hearing Contact Phone #: 561.747.6336  
\*Address of Agent: 1934 Commerce Lane Suite 1, Jupiter, Florida 33458

*Regarding the Subject Location (subject of petition):*

Street Location: 13951 US Highway 1

Name of Subdivision: New Palm Beach Heights

Block: 7, 11, 12 Lot: \_\_\_\_\_

If no formal address exists, please describe the subject property: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

*Regarding the Petition:*

Please describe the petition being requested (Include reason[s] for petition and intended uses for subject property. Also, include the specific existing classification[s] of the subject property and the proposed classification[s]): \_\_\_\_\_  
\_\_\_\_\_

We are requesting the subject 4.32 acre parcel (to include Coconut Avenue ROW abandonment, thus totaling 4.70 acres) located at 13951 US Highway 1, to be rezoned from Commercial (CG) zoning designation to RM,2 (Moderate Density Residential) zoning designation, to allow for the construction of 40 town home units.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



### Section III

Please address (in written form) the criteria listed below (items 1-15):

While considering a rezoning or Comprehensive Zoning Ordinance amendment petition, the Town Council/Planning and Zoning Board shall consider the following limitations on amendments:

- a. The Planning and Zoning Board shall not recommend, nor the Town Council pass, any amendment except on substantial proof that it is in accord with the Comprehensive Plan and sound zoning practice, and will serve to promote the purposes of zoning as provided by State law;
- b. No amendment to rezone property shall contain conditions, limitations, or requirements not applicable to all other property in the district to which the particular property is rezoned;
- c. Except where the proposal for the rezoning of property involves an extension of an existing use boundary, no change in the zoning classification of land shall be considered which involves less than forty thousand (40,000) square feet of area and two hundred feet of street frontage unless otherwise provided for herein;
- d. If the recommendation of the Planning and Zoning Board is adverse to any proposed change, such change shall not become effective except by the affirmative vote of a majority of the entire membership of the Town Council;
- e. Whenever the Town Council has changed the zoning classification of property, the Town Council shall not then accept or consider a petition for rezoning of all or any part of the same property for a period of one year from the effective date of the amendment changing the zoning classification;
- f. Whenever the Town Council has denied a petition for rezoning of property, the Town Council shall not thereafter:
  1. Accept or consider any further petition for substantially the same rezoning of all or part of the same property for a period of eighteen (18) months from the date of such denial; or
  2. Accept or consider any petition for any other kind of rezoning on all or any part of the same property for a period of one (1) year from the date of such action;
- g. Nothing contained in Section 34-142(e) or 34-142(f) shall prevent the initiation of amendments by the Town Council or the Planning and Zoning Board, provided that such amendments meet the requirements of Section 34-142(a) through 34-142(d);

The following items for an amendment or rezoning should also be considered by the Town Council/Planning and Zoning Board:

1. If the proposed change is consistent with the established land use pattern;  
*Applicant Response:* A zoning designation of RM-2 will create a seamless transition between the commercial uses along Donald Ross Road and the single family subdivision located to the south of the subject property.

2. If the proposed change would create a related district to adjacent and nearby districts;  
*Applicant Response:* The proposed zoning change will create a related district to the single family subdivision located to the south of the subject property.

3. If the proposed change would naturally alter the population density pattern and thereby reasonably maintain, or concurrently increase the availability of public facilities such as utilities, streets, etc.;  
*Applicant Response:* The proposed zoning change to RM-2 will appropriately increase population density by providing 40 town home units within the subject site.

4. If the proposed change would be consistent with the Comprehensive Plan;  
*Applicant Response:* This proposal is consistent with all applicable goals and objectives within the comprehensive plan, as well as consistency with the Future Land Use designation (please see attached statement of use).

5. If changed or changing conditions make the passage of the proposed amendment necessary;  
*Applicant Response:* This amendment is necessary to obtain the requested density while maintaining an adequate amount of open space.

6. If the proposed change will maintain or positively influence living conditions in the neighborhood;  
*Applicant Response:* This proposal will enhance the living conditions in the neighborhood by providing lush landscaping, appropriate architecture styles, and connectivity within the corridor.

7. If the proposed change will maintain or improve traffic conditions, or otherwise address traffic-related public safety issues;  
*Applicant Response:* The reduction in intensity given the established permitted use table between the existing commercial (CG) zoning designation and the proposed Residential-Multiple Family-Moderate Density (RM-2) will improve traffic conditions.

8. If the proposed change will maintain or improve drainage conditions;

*Applicant Response:* The reduction in intensity given the established permitted use table between the existing commercial(CG) zoning designation and the proposed Residential-Multiple Family-Moderate Density (RM-2) will improve drainage conditions based upon the a reduced impervious surface ratio.

9. If the proposed change will relatively maintain, or allow for appropriate light and air conditions to adjacent areas;

*Applicant Response:* The proposed rezoning will maintain and adequately provide for appropriate light and air conditions.

10. If the proposed change will maintain or improve property values in the adjacent area;

*Applicant Response:* The proposed rezoning will improve property values in the area.

11. If the proposed change will promote the improvement or development of adjacent property in accord with existing regulations;

*Applicant Response:* The proposed rezoning will promote the improvement of adjacent commercial properties to align with the Town of Juno Beach regulations.

12. If the proposed change benefits the public welfare as opposed to resulting in a grant of special privilege to an individual owner;

*Applicant Response:* The proposed rezoning will benefit the public welfare by providing housing to a primarily commercial corridor.

13. If there are substantial reasons why the property requires a change from existing zoning;

*Applicant Response:* The proposed site plan, as constructed, would not be permitted within a commercial zoning district. The proposed site plan is significantly less intense than that of a commercial zoning designation could allow.

14. Whether the change suggested is to scale, or appropriately balanced with the needs of the neighborhood or the Town;

*Applicant Response:* This proposal will provide the Town with additional housing which exceeds the landscape and architectural standards set forth in the Code of Ordinances.

15. After using reasonable diligence, the Petitioner can demonstrate there is a reasonable lack of alternative sites available in the Town for the proposed use;

*Applicant Response:* There is a lack of alternative sites for this proposed use, given the appropriate transition between residential and commercial uses, as well as walkability.

According to Ordinance 207, Town of Juno Beach, Florida, "following the public hearing, the Town Council may grant the petition, deny the petition, or grant the petition with conditions or modifications; provided, however, that:

- a. No land shall be rezoned that was not described in the public notice; and
- b. No land may be rezoned to a less restrictive use or different classification than that described in the public notice."

\*\*If an amendment to the Zoning Code is being requested, please attach all appropriate language changes to this application.

Aimee Carlson  
Applicant's Signature

10/18/23  
Date

Aimee Carlson  
Print Name Dir of Land Development

Amy Fleischer  
Witness Signature

10/18/2023  
Date

Amy Fleischer  
Print Name



Rezoning Land Use Power of Attorney

Name of Property Owner(s): Juno Square LLP  
Mailing Address: 3910 RCA Blvd, Suite 1015, Palm Beach Gardens, FL 33410  
Property Address: 13951 US Highway 1  
Property Control Number: 28-43-41-28-10-007-0111  
Name of Applicant: Pulte Home Company LLC, 3350 Peachtree Rd NE, Suite 1500, Atlanta, GA 30326  
Contact Phone Number: 561-268-5821

The Undersigned being the record title owner(s) of the real property described above does (do) hereby grant unto the Applicant stated above the full right and power of attorney to make application to the Town of Juno Beach to change the land use of said property. This land use change may include rezoning of the property, granting of special exceptions, variances or appeals of decisions of the Planning & Zoning Department. It is understood that conditions, limitations and restrictions may be placed upon the use of operation of the property. Misstatements upon application or in any hearing may result in the termination of any special exception and/or a proceeding to rezone the property to the original classification. This power of attorney may be terminated only by a written statement of such termination effective upon receipt by the Planning & Zoning Department.

In witness whereof the undersigned have set their hands and seals this 11<sup>th</sup> day of October 2023.

[Signature]  
Witness

[Signature]  
Owner

[Signature]  
Witness

\_\_\_\_\_  
Owner

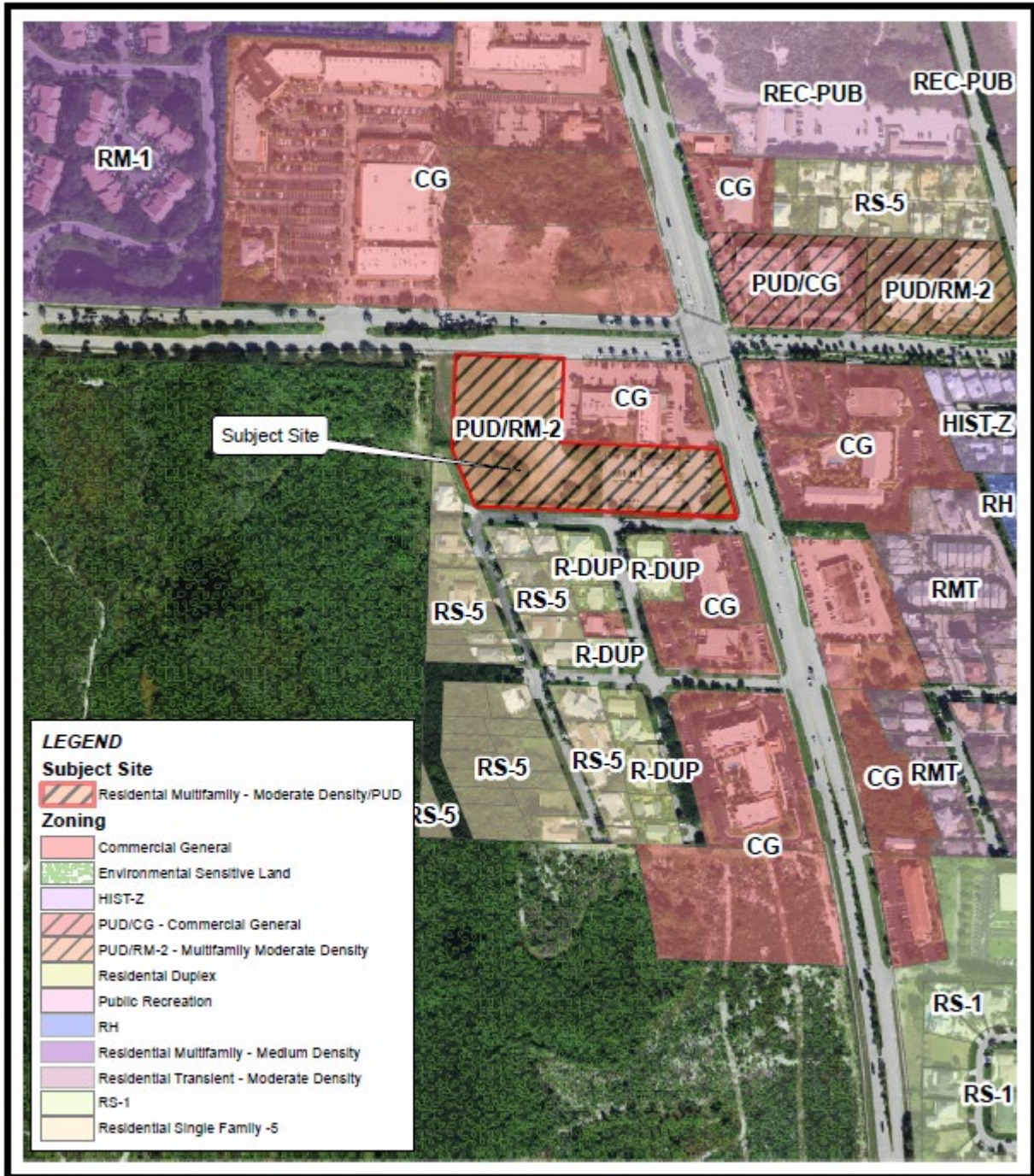
Before me the undersigned authority personally appeared the owner(s) named above who upon being duly sworn acknowledged before me that they are the owners of the real property described above and that they executed the power of attorney for the purposes stated therein, sworn and subscribed this

11<sup>th</sup> day of October 2023. [Signature]

Notary Public



Town of Juno Beach Application  
Rezone - 12/97, 2/15.



1 inch = 350 feet

0 75 150 300 Feet

Map Document:  
 (F:\Projects Active\22-0724 Pulls - Juno Beach - Donald Ross &  
 US1\Maps and Graphics\ArcMap\_Projects)  
 10/16/2023 -- 1:30:00 PM (MNN)

## Proposed Zoning Map

### Juno Square

Juno Beach, Florida

**Cotleur & Hearing**

1934 Commerce Lane - Suite 1 - Jupiter, FL - 33458  
 961.747.8336 - 961.747.1377



TOWN OF JUNO BEACH, FLORIDA

ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE OF THE TOWN COUNCIL OF THE TOWN OF JUNO BEACH, FLORIDA, REZONING A PARCEL OF PROPERTY LOCATED AT THE SOUTHWEST CORNER OF DONALD ROSS ROAD AND U.S. HIGHWAY ONE AND ADJACENT RIGHT-OF-WAY TOTALING APPROXIMATELY 4.70 ACRES, AS MORE PARTICULARLY DESCRIBED HEREIN, FROM THE TOWN'S COMMERCIAL GENERAL (CG) ZONING DISTRICT TO THE TOWN'S RESIDENTIAL MULTIPLE-FAMILY - MODERATE DENSITY (RM-2) ZONING DISTRICT; AMENDING THE TOWN ZONING MAP; PROVIDING FOR SEVERABILITY, CONFLICTS AND AN EFFECTIVE DATE.

WHEREAS, the Town received an application from Juno Square LLP, property owner, to amend the zoning designation of a parcel of property located at 13951 U.S. Highway One (PCN: 28-43-41-28-10-007-0111) and the adjacent Cocoanut Avenue right-of-way totaling approximately 4.70 acres, as more particularly described in Exhibit "A" attached hereto and incorporated herein ("Property"), from the Town's Commercial General (CG) Zoning District to the Town's Residential Multiple-Family - Moderate Density (RM-2) Zoning District; and

WHEREAS, the Planning and Zoning Board, sitting as the Local Planning Agency, conducted a public hearing on the proposed amendment to the Town's Zoning Map and provided a recommendation to the Town Council; and

WHEREAS, the Town Council determines that the rezoning of the Property is consistent with the Town's Comprehensive Plan and meets the criteria for amendments to the Town's Zoning Map as set forth in Article II, Division 5 of Chapter 34 of the Town Code of Ordinances; and

WHEREAS, the Town Council has determined that the adoption of this Ordinance is in the best interests of the public health, safety, and welfare.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF JUNO BEACH, FLORIDA as follows:

**Section 1.** The foregoing "Whereas" clauses are hereby ratified as true and correct and are incorporated herein.

**Section 2.** The Town Council hereby amends the zoning designation of the parcel of property located at 13951 U.S. Highway One and the adjacent Cocoanut Avenue right-of-way totaling approximately 4.70 acres, as identified in Exhibit "A" attached hereto and incorporated herein, from the Town's Commercial General (CG) Zoning District to the Town's Residential Multiple-Family - Moderate Density (RM-2) Zoning District.

**Section 3.** The Planning and Zoning Director is hereby directed ensure that the Town Zoning Map is amended to include and reflect the rezoning the Property.





## EXHIBIT "A"

## LEGAL DESCRIPTION

A PORTION OF BLOCKS 11, 12 COCOANUT AVENUE, OLEANDER AVENUE AND PALM AVENUE, NEW PALM BEACH HEIGHTS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 73 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING ON THE NORTH CORNER OF BLOCK 17, AS SHOWN ON SAID PLAT; THENCE NORTH  $02^{\circ}10'49''$  EAST ALONG THE WEST RIGHT-OF-WAY LINE OF COCOANUT AVENUE, A DISTANCE OF 251.36 FEET TO A POINT OF INTERSECTION WITH THE WESTERLY PROJECTION OF THE SOUTH RIGHT-OF-WAY LINE OF DONALD ROSS ROAD, AS RECORDED IN OFFICIAL RECORD BOOK 2584, PAGE 1012 OF SAID PUBLIC RECORDS; THENCE SOUTH  $87^{\circ}54'11''$  EAST ALONG SAID WESTERLY PROJECTION AND SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 336.67 FEET; THENCE SOUTH  $02^{\circ}05'49''$  WEST, A DISTANCE OF 233.33 FEET; THENCE SOUTH  $87^{\circ}54'11''$  EAST, A DISTANCE OF 416.11 FEET TO A POINT OF INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE THAT 120.00 FOOT WIDE RIGHT-OF-WAY OF U.S. HIGHWAY NO. 1/STATE ROAD NO. 5, AS RECORDED IN ROAD PLAT BOOK 2, PAGE 114 OF SAID PUBLIC RECORDS; THENCE SOUTH  $15^{\circ}19'11''$  EAST ALONG SAID WEST RIGHT-OF-WAY LINE, A DISTANCE OF 185.22 FEET TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF FLORAL STREET AS SHOWN ON SAID PLAT; THENCE NORTH  $87^{\circ}54'11''$  WEST ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 719.29 FEET TO A POINT OF INTERSECTION WITH THE ASTY LINE OF THAT ABANDONED COCOANUT AVENUE RIGHT-OF-WAY, AS RECORDED IN OFFICIAL RECORD BOOK 13064, PAGE 1893 OF SAID PUBLIC RECORDS; THENCE NORTH  $21^{\circ}21'24''$  WEST ALON SAID EAST LINE, A DISTANCE OF 162.05 FEET; THENCE NORTH  $87^{\circ}49'11''$  WEST ALONG THE NORTH LINE OF SAID ABANDONED RIGHT-OF-WAY A DISTANCE OF 24.80 FEET TO THE POINT OF BEGINNING.

CONTAINING 204,743 SQUARE FEET/4.7003 ACRES, MORE OR LESS.




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**Meeting Name:** Planning and Zoning Board  
**Meeting Date:** August 5, 2024  
**Prepared By:** Davila, F. CFM.  
**Item Title:** Resolution No. 2024-13 – Application for Development and Site Plan Review and Special Exception request – The Dunes at Juno Beach Development

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**BACKGROUND:**

The subject property is composed of 2 different parcels located at the southwest corner of U.S. Highway One and Donald Ross Road. It is currently owned by Juno Square LLP and has a vacant bank with a drive-thru and parking in the easternmost portion of the parcel. The agent for the owner, Cotleur & Hearing, has submitted an application/petition for a project consisting of a Development and Site Plan Review and Special Exception request for a clustered single-family dwelling (townhouse) development that will feature 40 townhome units. The subject property is ±4.7 acres (after the 50' Coconut Avenue ROW abandonment) and has a proposed future land use classification of Moderate Density Residential (MODR) and a zoning designation of Residential Multiple-Family – Moderate Density (RM-2).

Pursuant to Section 34-1333 of the Town Code, the applicant requested to classify the project as a Planned Unit Development (PUD), which provides for a special exception to develop the project with deviation(s) from certain development regulations. The purpose of the PUD classification, as set forth in Section 34-1328 of the Town Code, is to provide for a special exception to develop residential, commercial, and recreational uses in conformance with provisions and standards which ensure compatibility among all the land uses, foster innovation in site planning and development, and encourage sound design practices.

**A. Project Data**

The applicable Town Code requirements and the applicant's compliance with the requirements of the Residential Multiple-Family – Moderate Density (RM-2) zoning

district is summarized in the following table:

<b>Residential Multiple-Family – Moderate Density Building Site Area Regulations (Townhouse, Cluster)</b>		
	<b>Required</b>	<b>Applicant's proposal</b>
Minimum total area	20,000 sq. ft.	<b>204,827 sq. ft. (4.7 ac + or -)</b>
Minimum lot width	100 ft. total	<b>618.45 ft. (approximately)</b>
Minimum lot depth	150 ft.	<b>229.56 ft. (approximately)</b>
Maximum lot coverage	50%	<b>18.00%</b>
Building height	3 stories not to exceed 40 ft.	<b>3 stories, 40 ft.</b>
Density	12 dwelling units/gross acre	<b>8.51 dwelling units per acre</b>
Front yard setback	30 ft. from the street line (Donald Ross Road, US Highway 1, and Floral Drive).	<b>41 ft. along Donald Ross Road. 217.6 ft. along US Highway 1. 41.1 ft. along Floral Drive</b>
Side yard setback	35 ft. total with one side having a minimum of 15 ft. (West)	<b>35 ft. adjacent to Juno Square Plaza. 35.3 ft. adjacent to Juno Dunes Natural Area</b>
Rear yard setback	30 ft.	<b>Not Applicable *</b>
Ocean setback	50 ft. west of CCCL	<b>Not applicable</b>
Landscaped open space	15% of Lot Area	<b>41%</b>
Maximum building dimension	150 ft.	<b>154 ft. **</b>
Minimum building separation	30 ft.	<b>22.5 ft. ***</b>
Minimum floor space per dwelling unit	1-bedroom unit 1,000 sq. ft. habitable space. 2-bedroom unit 1,200 sq. ft. habitable space 3-(or more) bedroom unit 1,400 sq. ft. habitable space	<b>2,263 sq. ft. of total living area</b>
Maximum tower height	None, but must be in proportion with the rest of the building	<b>Not Applicable</b>
Maximum tower area	225 sq. ft.	<b>Not Applicable</b>
Minimum parking	**** 2 spaces per dwelling unit for the initial 20 units; 1.75 spaces for each from 21 through 50; 1.50 spaces for units 51 and more. In addition, one guest space shall be required for every 7 units.	<b>4 spaces per unit (2 in driveway and 2 in garage) <u>160 townhome parking spaces.</u> <u>9 guest parking spaces</u> <b>Total provided: 169 spaces</b>  <i>69 Shared Parking Spaces per agreement with Juno Square Plaza.*****</i></b>

\* No boundary is being treated as a rear yard due to the lot being classified as both a through lot and a corner lot. All boundaries are being treated as either front or side yards.

\*\* The applicant requested to use the Planned Unit Development Area Standard Modifications option to

exceed the maximum building dimension from 150 ft. to 154 ft. The Area Standard Modifications allows for up to 25% modification from the standard.

\*\*\* The applicant requested to use the Planned Unit Development Area Standard Modifications option to reduce the minimum building separation from 30 ft. to 22.5 ft. The Area Standard Modifications allows for up to 25% modification from the standard.

\*\*\*\* The standards used for parking were the standards established by the Town prior to the adoption of Ord. No. 785 as the Application for Development and Site Plan Review and Special Exception request for the Dunes at Juno Beach Development was submitted prior to approval of Ord. No. 785, and thus did not have to comply with the new standards for parking. Please note that although the applicant was following the previous parking criteria, the project meets the new parking standards as set by Ord. No. 785.

\*\*\*\*\*The shared parking agreement required 48 spaces to be provided with parcel 1 (subject site) to support Juno Square (retail) Plaza.

### B. Development History:

The subject property was part of unincorporated Palm Beach County and was annexed into the Town in 1981 (Ordinance No. 236).

The subject property is located at 13951 U.S. Highway One and has been known as the Christmas Tree Lot due to its use as a seasonal retail location for the sale of Christmas Trees. At the east portion of the parcel is a vacant bank (4,173 sq. ft) with a drive-thru and parking (former location for Anchor Commercial Bank).

The Town has received several informal proposals for possible developments at the site over the years, including, but not limited to, a storage facility, an outdoor tennis club, a restaurant, medical facility, and a car wash.

Adjacent to the subject site is Juno Square Plaza, and both parcels are currently owned by Juno Square LLP. Juno Square Plaza is a retail plaza with approximately 20,652 total building square footage area. Juno Square Plaza contains two buildings with restaurants, offices, and retail. Due to the popularity of the Thirsty Turtle restaurant, in 2021-2022, the property owner applied for a special exception to add a take-out restaurant and as a condition of approval was required to add parking spaces to meet the Town's current parking requirements. In response to the condition, the owner agreed to create a shared parking agreement for both parcels, where parcel 1 (subject property/ Dunes at Juno Beach) was to provide 48 parking spaces within its property for the use of Juno Square Plaza.

### C. Development Proposal:

The proposed residential plan proposes seven (7) 3-story buildings across the property, consisting of 40 townhome residential units with two (2) parking areas planned to serve as additional parking for the Juno Square (retail) Plaza, totaling 69 parking spaces. The parking component for the residential project includes 4 parking spaces per dwelling unit, (2 in the garage and 2 in the private driveways). There are 9 guest parking spaces. The total number of parking spaces for the residential component of the project is 169.

There are two entrances into the project – the main entrance is off Donald Ross Road (right in - right out), the second entrance is located off Floral Drive. The project proposes to eliminate an existing (westernmost) entrance off Floral Drive. The property will continue



to have an internal connection to the Juno Square Plaza on the easternmost portion of the project, the existing internal driveway connection is proposed to be upgraded.

D. Areas of Interest

The applicant requested to classify the project as a Planned Unit Development (PUD). The purpose of the PUD classification is to provide for a special exception to develop residential, commercial, and recreational uses in conformance with provisions and standards which ensure compatibility among all the land uses, foster innovation in site planning and development, and encourage sound design practices. Provisions are included for planned unit developments to permit establishment of areas in which diverse uses may be brought together in a compatible and unified plan of development which shall be in the interest of the general welfare of the public. Please note that Planned Unit Developments are treated as special exceptions in the RM-2 zoning district.

The purpose of the RM-2 Residential Multiple-Family—Moderate Density zoning district is to provide for a variety of housing types at a moderate population density which are compatible with neighboring housing areas of lower density. As a PUD, the Site Area Regulations applicable to the RM-2 zoning district may be permitted to be modified by 25 percent of the standard. The flexibility to the standards is intended to provide the necessary latitude for the developer to make creative and efficient use of the property.

As part of the project, the applicant requested to modify two of the RM-2 Site Area Regulations, to exceed the maximum building dimension and to reduce the minimum building separation.

The project is located along U.S. Highway One and Donald Ross Road, which serve as gateways to the Town. In order to foster quality development patterns and practices along these corridors, the Planning and Zoning Board and Town Council may consider modifications to the building site area regulations. The applicant’s detailed request for modifications is identified in the table below. As previously mentioned, the modification requests must be requested in the form of a special exception to the Town Council during Site Plan Review and shall be subject to any additional conditions necessary to address the Special Exception criteria.

Please note that no applicant shall be entitled to such modifications by right; rather, the applicant shall be required to demonstrate that the proposed project meets the requirements of a Planned Unit Development.

<b>Planned Unit Development Area Standard Modifications</b>			
	<b>RM-2 Building Site Area Regulations</b>	<b>Modification Allowance</b>	<b>Applicant’s request</b>
Maximum building dimension	<u>150 ft.</u> for all types of permitted principal structures.	25% of 150 ft. Maximum building dimension <u>187.5 ft.</u>	<u>154 ft.</u>
Distance between principal structures on same property	<u>30 ft.</u>	25% of 30 ft. Minimum distance between principal	<u>22.5 ft.</u>

		structures <u>22.5 ft.</u>	
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Within its statement of use, the applicant provides its opinion on how it complies with the Special Exception Criteria, specifics on the waivers being requested, and the public benefit the project provides (page 24-28).

**DISCUSSION:**

Section 34-116 of the Town Code provides that no construction may begin in any district prior to review and approval of the site plan and appearance by the Development Review Committee (DRC), the Planning and Zoning Board, and the Town Council.

The Development Review Committee (DRC) reviewed the proposed project on three different occasions, and moved the project forward once the Committee’s technical comments were addressed. Based on the DRC’s recommendation, Staff has determined that the application meets all technical requirements.

Below is the Planning and Zoning Staff’s determination of compliance with the Site Plan/Appearance Review Standards, regarding the proposed Site Plan/Special Exception **(in bold)**:

Site Plan Criteria:

1. is in conformity with the comprehensive plan and is not detrimental to the neighboring land use;

**As part of the applicant’s request, the FLUM is being changed from Commercial to Moderate Density Residential. The proposed change in land use creates an appropriate transition between neighboring properties and furthers the Town’s goals and objectives as set forth in the Town’s Comprehensive Development Plan.**

2. Has an efficient pedestrian and vehicular traffic system, including pedestrian, bicycle, and automotive linkages and proper means of ingress and egress to the streets;

**The proposed site plan provides efficient pedestrian and vehicular circulation. There are two ingress and egress points via Donald Ross Road (right in – right out), and Floral Drive. The location of the proposed access point on Donald Ross Road has been reviewed and approved by the Palm Beach County Department of Engineering and Public Works. The access point on Floral Drive is existing and no changes are being requested. The sidewalk on the U.S. Highway One will be replaced in its entirety, to include the area in front of Juno Square Plaza, with a 10 ft. meandering sidewalk, and the sidewalk on Donald Ross Road immediately adjacent to the project (not in front of the Juno Square Plaza) will also be replaced with a 10 ft. sidewalk. In addition, the applicant is proposing a new sidewalk on the north side of Floral Drive Right-of-Way (ROW). Finally, the project will continue to be connected internally to Juno Square Plaza, with both vehicular and pedestrian connections.**

3. Has adequate provision for public services, including but not limited to access for police, fire and solid waste collection;

**The Project has been reviewed by the Juno Beach Police Department and the Palm Beach County Fire Rescue Department to assure that adequate public services are provided. Waste Management has also indicated that it is able to service the proposed project.**

4. Complies with the provisions of chapter 20, article III, regarding potable water, sanitary sewer, solid waste, drainage, recreation and open space, and road facilities;

**On July 22, 2024, staff received a letter from Mr. Bryan Kelley, the Town's Engineer, approving the site plan and the preliminary engineering plans and traffic report for this project. In addition, Waste Management, the Loxahatchee River District, Palm Beach County Fire Rescue, the Juno Beach Police Department, and the Juno Beach Public Works Department have all reviewed the proposed plans to assure that the Town's Levels of Service as indicated in Article III of Chapter 20 of the Town Code are being met.**

5. Is planned in accordance with natural characteristics of the land, including but not limited to slope, elevation, drainage patterns (low areas shall be used for lakes or drainage easements), natural vegetation and habitats, and unique physical features;

**Most of the property was cleared prior to 1968 and remains vacant, and the easternmost portion of this parcel is currently developed (bank). The existing characteristics of the land have been taken into consideration by the applicant and the proposed project has been reviewed by the Town's Engineer to ensure all drainage patterns will not negatively impact the adjacent properties.**

6. Preserves environmental features and native vegetation to the maximum extent possible, and complies with the Environmentally Sensitive Lands Ordinance;

**As indicated above, most of the property was cleared prior to 1968, and the eastern portion of the site remains developed. The western portion of the site remains mostly clear of vegetation and maintained to date. There are approximately 50 +/- native trees present within the property with four inches diameter at breast height (DBH), and they range from poor to good condition, while some are invasive types. Due to the size of the project, approximately half of the overall trees will be removed, either due to their poor condition or being invasive to Florida (carrot woods).**

**As indicated in the Environmental Assessment Report, there are no wetlands or other surface waters identified in the property, and the subject property lacks the presence of any native upland habitat. There is low potential for the occurrence of state and/or federally listed wildlife species on the subject property. No listed wildlife species or signs of their presence were observed onsite.**

7. Protects estuarine areas when concerning marina siting, drainage plans, alteration of the shoreline, provisions for public access and other concerns related to water quality and habitat protection;

**There are no estuarine areas within the subject property.**

8. Complies with all sections of this chapter:

**If approved by the Planning and Zoning Board and Town Council, staff has proposed conditions of approval designed to alleviate or minimize any negative or secondary impacts to the surrounding areas.**

Appearance Review:

1. Is of an architectural style representative of or reflecting the vernacular of Old Florida style which is indigenous to the town and which is commonly known and identified by its late Victorian (Key West Cracker), Spanish revival (Mediterranean), Modern (early to mid-20th century), or combination thereof style of architecture. Summarized briefly, common features of the vernacular of Old Florida style that identify the Victorian (Key West Cracker), and Spanish revival (Mediterranean) architectural style include wood or concrete block with stucco siding; simple pitched roofs; tile, metal, or asphalt roofs; ornate details such as but not limited to exposed soffits, individualized vent and louver shapes, reliefs, and detailed window and door treatments; lush landscaping with private yards; and use of porches, balconies and patios. Common features of the vernacular of Old Florida Style that identify the Modern (early to mid-20th century) architectural style include clean geometric lines, often at right angles; an emphasis on function; materials such as glass, steel, iron, and concrete; and the use of natural light through large and expansive windows.

**The proposed architecture style for the Dunes at Juno Beach Townhomes is a Key West Cracker.**

**Key architectural features include:**

- **Low-pitched metal roofs with a main-body roof pitch of 5:12**
- **Wide porch overhangs with extensive use of outlookers and/or rafter tails on all facades for definition and embellishment**
- **Deep 1st floor porches**
- **Decorative 1st and 2nd floor balcony railings**
- **Diverse windows with a vertical emphasis**
- **1st and 3rd floor lap siding**
- **Vibrant louvered awnings and decorative shed roofs**
- **Two-stepped banding for enhanced facades**
- **Vertical grids and detailing on all windows and doors**

**The proposed color palette matches the architectural style being proposed.**

2. Is of a design and proportion which enhances and is in harmony with the area. The



concept of harmony shall not imply that buildings must look alike or be of the same style. Harmony can be achieved through the proper consideration of setback, scale, mass, bulk, proportion, overall height, orientation, site planning, landscaping, materials, and architectural components including but not limited to porches, roof types, fenestration, entrances, and stylistic expression.

**The proposed project is located within a predominant business corridor along U.S. Highway One and Donald Ross Road. The zoning districts included in the corridors consist of the Commercial General (CG) zoning district, which is the most intense zoning district (height and density) in the Town.**

**The adjacent shopping plazas range from one to two stories in height (Juno Square Plaza, Park Place, Plaza la Mer). The Caretta project is five stories. The Holiday Inn Express contains buildings at different heights, ranging from one to three stories. The single-family homes located at New Palm Beach Heights range from one story to two stories. All these projects were built before the Town adopted the current definition of the term harmony.**

**The Dunes at Juno Beach project is proposing a design that, in the staff's opinion, meets all the aspects for the term harmony.**

3. Elevator and stairwell shafts and other modern operations and features of a building shall be either completely concealed or shall incorporate the elements of the architectural style of the structure; rooftop equipment and elevator and mechanical penthouse protrusions shall be concealed; and parking garages and other accessory structures shall be designed with architectural features and treatments so that they are well proportioned and balanced and in keeping with the architectural style of the principal structure.

**The project is designed with no external elevator shafts or stairwells. Mechanical equipment will be screened from the public view.**

4. Shall have all on-site structures and accessory features (such as but not limited to light fixtures, benches, litter containers, including recycling bins, traffic and other signs, letter boxes, and bike racks) compatible in design, materials, and color.

**The proposed site plan indicates the use of accessory features such as light fixtures, benches, litter containers, and bicycle racks. The accessory structures are compatible with the proposed architectural style.**

5. Shall have a design in which buildings over 40 feet in height shall appear more horizontal or nondirectional in proportion rather than vertical, accomplished through the use of architectural treatments as described in these criteria.

**The proposed buildings are 3 stories tall and 40 ft. in height. The building dimensions range from 88 ft. to 154 ft. making the building appear more horizontal rather than vertical.**

6. Shall locate and design mechanical equipment with architectural treatments so that any noise or other negative impact is minimized.

**The applicant indicates that mechanical equipment is in the rear of each townhome unit (adjacent to the driveway). All mechanical equipment is set to be screened from public view.**

7. Complies with the town's community appearance standards (see article IV, division 14 of this chapter).

**With conditions imposed, staff and the applicant will ensure compliance with community appearance standards.**

Special Exception Request:

The applicant requested to classify the project as a Planned Unit Development (PUD) to use the flexibilities the PUD designation provides (25% of the standard). The flexibility to the standards is intended to provide the necessary latitude for the developer to make creative and efficient use of the property.

As part of the project, the applicant requested to modify two of the RM-2 Site Area Regulations, to exceed the maximum building dimension and to reduce the minimum building separation.

The modification requests must be requested in the form of a special exception to the Town Council during Site Plan Review and shall be subject to any additional conditions necessary to address the Special Exception criteria.

Please note that no applicant shall be entitled to such modifications by right; rather, the applicant shall be required to demonstrate that the proposed project meets the requirements of the Planned Unit Development.

Before taking action on any special exception request, the Planning and Zoning Board/Town Council shall make written findings of fact addressing the issue of whether the requirements of Section 34-93 have been met.

Below is the Planning and Zoning Staff's determination of compliance with the additional criteria as set within Section 34-93 (**staff's response in bold**):

a. Provide for ingress and egress to the property and structures with particular reference to automotive and pedestrian safety and convenience, traffic flow and access in case of fire or catastrophe;

**The proposed site plan provides efficient pedestrian and vehicular circulation. There are two ingress and egress points, via Donald Ross Road (right in – right out), and**

**Floral Drive.** The location of the proposed access point on Donald Ross Road has been reviewed and approved by the Palm Beach County Department of Engineering and Public Works. The access point on Floral Drive exists and no changes are being requested. The sidewalk on the US Highway 1 will be replaced in its entirety with a 10 ft. meandering sidewalk, and the sidewalk on Donald Ross Road immediately adjacent to the project (not in front of the Juno Square Plaza) will also be replaced with a 10 ft. sidewalk. In addition, the applicant is proposing a new sidewalk on a portion of the Floral Drive ROW (north side). Finally, the project will continue to be connected internally to Juno Square Plaza, with both vehicular and pedestrian connections.

b. Provide for parking and loading areas, refuse and service areas, with particular attention to subsection (4)a of this section and to their effects on surrounding property;

**This project is entirely residential, there are no refuse or service areas. The applicant carefully designed the location of the parking area that is planned to serve Juno Square Plaza. In the easternmost section of the parcel, the parking area is located immediately adjacent (North and South) to commercial plazas and in the East to US Highway One.**

c. Provide for screening and buffering with respect to type, dimensions and location;

**The applicant has provided special attention to the perimeter of the lot, and the proposed landscape provides a healthy buffer between the project and the residences to the south.**

d. Provide for signs, if any, and proposed lighting;

**Signs are being proposed at both entrances of the project, and the site plan contains a detailed depiction of the signs. The lighting plan has been reviewed by the Town's Engineer to confirm its compatibility with the adjacent uses (Residential and Environmental Sensitive Lands).**

e. Provide for required yards and other open space;

**All required yard regulations are being met; the landscape open space percentage provided is 41% (minimum requirement is 15%).**

f. Not adversely affect the public interest;

**The staff has reviewed this proposal, and other than the request to abandon the 50'-wide Coconut Avenue ROW, this project would not adversely impact the public interest. In 2020, the Town of Juno Beach provided permission for PBC ERM to use the ROW as means of egress and ingress. Please note that the applicant has been working with Palm Beach County Environmental Resources Management (PBC ERM) to address their concerns regarding the egress and ingress into the Juno Dunes**

**Natural Area.**

g. Comply with specific requirements governing the special exception requested;

**If approved, the Planning and Zoning staff will impose reasonable conditions of approval that will limit any adverse impacts the project may create upon the surrounding areas.**

h. with conditions and safeguards attached, be generally compatible with adjacent properties and or property within the district;

**The proposed project is compatible and provides an appropriate transition with the adjacent properties.**

i. Not generate excessive noise or traffic;

**No excessive noise will be created with this development; the propose use is less intense than potentially any commercial use that may have been built in its place. Additionally, the traffic statement (submitted with this application) states that there will be an insignificant impact on the existing roadway network. Please refer to the TPS Letter issued by Palm Beach County and included in this application. During the construction phase, staff is proposing to impose reasonable conditions of approval that will limit any adverse impacts the project may create upon the surrounding areas.**

j. Not tend to create fire, disease or other equally or greater dangerous hazard;

**The proposed development will not tend to create any dangerous hazards.**

k. be in harmony and compatible with the present and/or future developments of the area concerned;

**Due to the existing commercial and residential zoning districts around the property, the proposed development will create a harmonious transition between all uses.**

l. Conserve the value of buildings and encourage the most appropriate use of the land and water;

**The applicant is proposing the most appropriate use for the land given its location.**

m. Provide adequate light and air;

**The height of the proposed buildings is within the limits of the Town's RM-2 Zoning Code, thus allowing adequate light and air to be provided to the adjacent properties.**

n. Promote such distribution of population and such classification of land uses,



development and utilization as will tend to facilitate and provide adequate provisions for public requirements, including but not limited to transportation, water flowage, water supply, drainage, sanitation, educational opportunities, and recreation;

**With the site plan submittal, the applicant's project team solicited letters of understanding from the applicable agencies/authorities (Town of Jupiter Utilities Department, Loxahatchee River District, Palm Beach County Environmental Resources Management, Palm Beach County Traffic Division, etc.) to ensure that this development will not negatively impact the area and can receive services. As it relates to educational opportunities, the applicant has informed the Palm Beach County School District of their intent to develop the property and has been notified that no adverse impacts to the school system are anticipated with this development. In addition, there are recreational opportunities near this site with Loggerhead Park, Juno Beach Park, Ocean Cay Park, the Juno Dunes Natural Area, and the Atlantic Ocean beach located within walking distance.**

o. Conform to the character of the district and its peculiar suitability for particular uses;

**The site is currently vacant and has periodically served as a Christmas Tree Lot. The proposed project provides for appropriate transition between existing uses.**

p. Be consistent with the needs of the town for land areas for specific purposes to serve the population and economic activities;

**Prior to this submittal, the applicant conducted a workshop with the public to discuss the proposed project. The Town by design is mainly residential, and the proposed project will increase the Town's total residential area.**

q. Protect the tax base; and not create a financial burden on the town;

**With this submittal, the applicant has indicated that this development will not create a financial burden on Juno Beach and will enhance the Town's tax base by improving the long dormant land.**

r. Not be disruptive to the character of neighborhoods nor adverse to playgrounds, parks, schools, and recreation areas; nor adverse to the promotion of the public health, safety, comfort, convenience, order, appearance, prosperity, or general welfare.

**The applicant has worked with all the applicable agencies and residents to ensure that the development will not create a negative impact on the Town of Juno Beach.**

The proposed project is of reasonable, compatible use within the proposed Residential Multiple-Family – Moderate Density (RM-2) zoning district. The application is consistent with Staff's review of the project during the DRC review process. Based on Staff's and the DRC's review of the proposed project, Planning and Zoning Staff recommends that the Planning and Zoning Board review the project considering the applicable criteria for Site

Plan Review and for Special Exception review and provide a recommendation to the Town Council. If the Board recommends approval, Town staff requests that the project be subject to the conditions outlined below:

1. The Applicant shall comply with all requirements of Jupiter Utilities and Loxahatchee River District for water and sewer services.
2. The Applicant shall submit final civil engineering and utility/water management plans to the Town Engineer and the applicable utility providers prior to any land clearing or grading. The Applicant shall obtain all necessary surface water management permits and water use permits from the South Florida Water Management District and the Department of Environmental Protection. Additionally, the Applicant shall create all easements required by the utility providers and the permitting agencies.
3. To the extent not in existence, the Applicant shall execute appropriate Developer Agreements with utility service providers to reserve water and wastewater service capacity prior to the filing of any Building Permit application.
4. The Applicant shall adhere to the Town's Community Appearance Standards, as set forth in Sections 34-1302 through Section 34-1307 of the Town Code of Ordinances. If these standards cannot be met, the Applicant shall supply the Town with the necessary funds to provide the required infrastructure and incorporate such standards. The amount necessary to meet these standards shall be reviewed and approved by the Town Engineer/Landscape Architect. All areas of landscaped open space or improvements along any vehicular or pedestrian access, as well as maintenance of slope, vegetation and walkways associated with this project shall be perpetually and appropriately always maintained by the applicant and its successor(s) in interest.
5. The Applicant shall submit architectural elevations for any additional accessory structures to the Planning & Zoning Director for review and approval prior to the filing of any Building Permits applications.
6. The Applicant shall post sufficient surety for all infrastructure, landscaping, and public improvements by letter of credit, or some other adequate form of surety approved by the Town Attorney prior to any land clearing activities or filing of any building permit application. The Town Engineer and the Planning and Zoning Director shall determine the appropriate sum of such surety. The Applicant shall also provide the required deposit for site plan and project review in the amount of \$2,000.00 in accordance with existing Town policy.

7. The Applicant shall screen all utility/mechanical equipment features as required by Section 34-908 of the Town Code of Ordinances.
8. The Applicant shall minimize all off-site lighting impacts to adjacent properties to the south, west, east, and north sides of the project and shall adhere to the Town's adopted Turtle Protection Ordinance. A nighttime inspection of the property will be required prior to obtaining a Certificate of Occupancy.
9. In accordance with Section 34-1332 of the Town Code, approval of the development shall be valid for two years from the date of such approval. If the applicant has not commenced development within two years, this approval shall become null and void. For the purposes of this condition, "commencement and development" shall mean receipt of a validly issued building permit and first building inspection approval for a minimum of one principal structure or completion of 25 percent of the total cost of the infrastructure (water, sewer, roads, and drainage) on the site. Infrastructure costs for the project shall be reviewed and approved by the Town Engineer prior to final approval if the engineering plans.
10. As required by Section 6-24 of the Town Code (amendments to Chapter 1 of the Florida Building Code), a building permit for a project larger than 10,000 square feet in size or greater shall become invalid unless the work authorized by such permit is commenced and completed within thirty-six (36) months after the issuance of permit.
11. The property shall be replatted and the plat shall be recorded prior to the issuance of any building permit. The plat shall include all required easements, including the easement providing Palm Beach County Environmental Resources access to the Juno Dunes Natural Area, and the use of the 69 parking spaces for the benefit of Juno Square Plaza.
12. The Applicant shall include within the Homeowner's (or Property Owner's) Association (HOA) documents language that specifies the maintenance responsibility for the parking areas (69 total parking spaces) that are part of the shared parking agreement with Juno Square LLP, Juno Square Plaza. The applicant shall submit all HOA documents to the Town Attorney for review and approval prior to building permit submission for vertical construction. These documents must be approved and recorded prior to the issuance of the first certificate of occupancy and the Applicant shall bear the costs of legal review.
13. The Applicant shall first complete perimeter screening of the construction site to maintain acceptable visual impacts during the construction phase of the project and shall comply with all OSHA and other applicable minimum safety requirements for

- perimeter treatments during demolition activities and throughout construction of the project.
14. Prior to the filing of any building permit application, the Applicant shall commission a gopher tortoise survey meeting all Florida Fish and Wildlife Conservation Commission requirements and take all remedial actions, if any, required as a result of the survey.
  15. In accordance with Section 34-1084 of the Town Code, the Applicant shall notify the Town three weeks prior to the removal of native vegetation from the Property.
  16. The Applicant shall meet the Florida Department of Environmental Protection (FDEP) standards for Best Management Practices for Stormwater, Erosion and Sedimentation Control.
  17. The Applicant shall adhere to the Town's Construction Site Standards, as set forth in Sections 6-109 of the Town Code of Ordinances, included but not limited to, conditions of the Right-of-Way, parking of vehicles within the site or on the adjacent Right-of-Way, proposed road closures, wind mitigation, and erosion control, screening of toilet facilities, and use of generators and temporary power.
  18. All areas of landscaped open space or public or private improvements along any vehicular or pedestrian access, as well as maintenance of slope, vegetation and walkways associated with this project (including the ROW), shall be perpetually and appropriately maintained by the Applicant and its successor(s) in interest. The maintenance of landscape material below or near power lines shall be the responsibility of the Applicant and its successor(s). The applicant shall submit all HOA documents to the Town Attorney for review and approval prior to building permit submission for vertical construction. These documents must be approved and recorded prior to the issuance of the first certificate of occupancy and the Applicant shall bear the costs of legal review.
  19. The Applicant shall use Donald Ross Road, U.S. Highway One, and the easternmost entrance of Floral Drive as means of ingress and egress to the construction site. No construction vehicles shall use the roads (Cocoanut Avenue, Oleander Avenue, or Park Street) within the New Palm Beach Heights neighborhood.
  20. The Applicant shall conduct construction vibration monitoring at the perimeter of the construction site. A pre-construction meeting with the Town's Building Official and Code Enforcement Officer is required prior to the issuance of any building permit.
  21. Prior to the Town Council meeting, the Applicant shall submit an updated



- landscape plan addressing Palm Beach County Department of Environmental Management (PBC ERM) comments regarding the location of a vinyl fence located in the eastern boundary outside of the access easement granted to PBC ERM, and the replacement of existing vegetation at the south end of the access easement with a native species that is satisfactory to PBC ERM and the Town.
22. The Applicant shall provide written confirmation from Juno Square LLP, owners of Juno Square Plaza, that it will be responsible for the ongoing maintenance of proposed landscape improvements within their property.
  23. The Applicant shall adhere to Section 12-127 of the Town Code, Permissible Time for Construction Activity. Due to the proximity of single-family homes, there shall be no deviation from the standard construction hours of Monday through Friday between the hours of 7:00 a.m. and 6:00 p.m. and Saturday between the hours of 9:00 a.m. and 5:30 p.m.
  24. In granting this approval, the Town relied upon the oral and written representations of the Applicant both on the record and as part of the application process. Any deviations from such representations will be addresses in accordance with Sections 34-34 and 34-35 of the Town Code.
  25. The applicant shall provide all approved plans in digital form prior to Building Permit submission.

### **Staff Recommendation**

Staff recommends that the Planning and Zoning Board provide a recommendation to the Town Council for the request of an Application for Development and Site Plan Review and Special Exception request for The Dunes at Juno Beach Development.

#### Attachments:

1. Resolution 2024-13
2. Development and Site Plan Application with backup material

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**RESOLUTION NO. 2024-13**

**A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF JUNO BEACH, FLORIDA, APPROVING A PLANNED UNIT DEVELOPMENT SPECIAL EXCEPTION FOR THE CONSTRUCTION OF SEVEN THREE-STORY TOWNHOME BUILDINGS WITH A TOTAL OF FORTY UNITS ON 4.70 ACRES OF REAL PROPERTY MORE PARTICULARLY DESCRIBED HEREIN TO BE KNOWN AS THE DUNES AT JUNO BEACH; PROVIDING FOR APPROVAL OF A DEVELOPMENT PLAN; PROVIDING FOR CONDITIONS OF APPROVAL; PROVIDING FOR CONFLICTS; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the Town Council has received and reviewed an application from Pulte Home Company LLC (“Applicant”) to develop a parcel of property approximately 4.70 acres in size, as more particularly described in Exhibit “A” attached hereto and incorporated herein (“Property”), as a Planned Unit Development special exception to be known as The Dunes at Juno Beach (“Project”); and

**WHEREAS**, the Planning and Zoning Board reviewed the application for a Planned Unit Development special exception and determined that it met each of the requirements set forth in Section 34-1330 of the Town Code of Ordinances; and

**WHEREAS**, having considered the recommendation of the Planning and Zoning Board, the Town Council has determined that the application meets all applicable Comprehensive Plan and Town Code requirements, including Section 34-93 of the Town Code of Ordinances, and seeks to approve a Planned Unit Development special exception for the construction of seven (7) three-story buildings with forty (40) townhome units in accordance with the development plans submitted to the Town; and

**WHEREAS**, the Town Council’s approval of the Planned Unit Development special exception is subject to, and expressly conditioned upon, the conditions of approval set forth in this Resolution; and

**WHEREAS**, the Town Council determines that the approval of this Resolution is in the best interests of the residents of the Town of Juno Beach.

**NOW THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF JUNO BEACH, FLORIDA, as follows:**

**Section 1.** The foregoing recitals are hereby ratified as true and correct and are incorporated herein.

**Section 2.** The Town Council hereby approves a Planned Unit Development special exception for seven (7) three-story buildings with forty (40) townhome units for a project to be known as The Dunes at Juno Beach on property more particularly described in Exhibit “A” attached hereto and incorporated herein. Said Planned Unit Development

1 shall be constructed in accordance with the development plans submitted by the Applicant  
2 and on file with the Town.

3  
4 **Section 3.** The Town Council's approval of the site plan is expressly subject to  
5 the following conditions:

- 6  
7 1. The Applicant shall adhere to the conditions of approval provided by the  
8 Loxahatchee River District and the Town of Jupiter Water Utilities.  
9  
10 2. The Applicant shall submit final civil engineering and utility/water  
11 management plans to the Town Engineer and the appropriate utility  
12 providers for review and approval prior to any land clearing or grading  
13 activities. The Applicant shall obtain all necessary surface water  
14 management permits, water use permits and NPDES permits from the  
15 appropriate governmental agencies and shall adhere to all requirements  
16 thereof. All necessary easements shall be subject to all requirements and  
17 conditions imposed by such agencies.  
18  
19 3. To the extent not already in existence, the Applicant shall execute  
20 appropriate Development Agreements with utility service providers to  
21 reserve water and wastewater service capacity prior to the filing of any  
22 building permit application.  
23  
24 4. The Applicant shall adhere to the Town's Community Appearance  
25 Standards, as set forth in Section 34-1302 through 34-1307 of the Town's  
26 Code of Ordinances. If these standards cannot be met, the Applicant shall  
27 supply the Town with the necessary funds to provide the required  
28 infrastructure and incorporate such standards. The amount necessary to  
29 meet these standards shall be reviewed and approved by the Town  
30 Engineer. All areas of landscaped open space or improvements along any  
31 vehicular or pedestrian access, as well as maintenance of slope, vegetation,  
32 and walkways associated with this project shall be perpetually and  
33 appropriately maintained by the Applicant and its successors in interest.  
34  
35 5. The Applicant shall submit architectural elevations for any accessory  
36 structures to the Planning and Zoning Director for review and approval prior  
37 to the filing of any building permit application  
38  
39 6. The Applicant shall post sufficient surety for all infrastructure and  
40 landscaping improvements by letter of credit or some other adequate form  
41 of surety approved by the Town Attorney prior to any land clearing activities  
42 or the filing of any building permit application. The Town Engineer and the  
43 Planning and Zoning Director shall determine the appropriate amount of

- 1 such surety. Additionally, the Applicant shall provide the required deposit  
2 for site plan and project review/approval (\$2,000.00) in accordance with  
3 Town policies and procedures.  
4
- 5 7. The Applicant shall screen all utility/mechanical equipment features as  
6 required by Section 34-908 of the Town Code of Ordinances.  
7
- 8 8. The Applicant shall minimize all off-site lighting impacts to the adjacent  
9 properties to the north, south, east, and west and shall adhere to the Town's  
10 adopted Turtle Protection Ordinance. A nighttime inspection of the Property  
11 will be required prior to the Town's issuance of a Certificate of Occupancy.  
12
- 13 9. In accordance with Section 34-1332 of the Town Code of Ordinances,  
14 approval of the Project shall be valid for two years from the date of such  
15 approval. If the Applicant has not commenced development within two  
16 years, this approval shall become null and void. For the purposes of this  
17 condition, "commencement and development" shall mean receipt of a  
18 validly issued building permit and first building inspection approval for a  
19 minimum of one principal structure or completion of twenty-five percent  
20 (25%) of the total cost of the infrastructure (water, sewer, roads, and  
21 drainage) on the site. Infrastructure costs for the project shall be reviewed  
22 and approved by the Town Engineer prior to final approval if the engineering  
23 plans.  
24
- 25 10. As required by Section 6-24 of the Town Code of Ordinances (Amendments  
26 to Chapter 1 of the Florida Building Code), a building permit for a project  
27 larger than 10,000 square feet in size or greater shall become invalid unless  
28 the work authorized by such permit is commenced and completed within  
29 thirty-six (36) months after the issuance of permit.  
30
- 31 11. The property shall be replatted and the plat shall be recorded prior to the  
32 issuance of any building permit. The plat shall include all required  
33 easements, including the easement providing Palm Beach County's  
34 Department of Environmental Resources access to the Juno Dunes Natural  
35 Area, and the use of the sixty-nine (69) parking spaces for the benefit of  
36 Juno Square Plaza.  
37
- 38 12. The Applicant shall include within the Homeowner's (or Property Owner's)  
39 Association ("HOA") documents language that specifies the maintenance  
40 responsibility for the parking area (69 total parking spaces) that are part of  
41 the shared parking agreement with Juno Square LLP, Juno Square Plaza.  
42 The applicant shall submit all HOA documents to the Town Attorney for  
43 review and approval prior to building permit submission for vertical



1 construction. These documents must be approved and recorded prior to the  
2 issuance of the first Certificate of Occupancy, and the Applicant shall bear  
3 the costs of legal review.  
4

5 13. The Applicant shall first complete perimeter screening of the construction  
6 site to maintain acceptable visual impacts during the construction phase of  
7 the Project and shall comply with all OSHA and other applicable minimum  
8 safety requirements for perimeter treatments during demolition activities  
9 and throughout the construction of the Project.  
10

11 14. Prior to the filing of any building permit application, the Applicant shall  
12 commission a gopher tortoise survey meeting all Florida Fish and Wildlife  
13 Conservation Commission requirements and take all remedial actions, if  
14 any, required as a result of the survey.  
15

16 15. In accordance with Section 34-1084 of the Town Code of Ordinances, the  
17 Applicant shall notify the Town three (3) weeks prior to the removal of native  
18 vegetation from the Property.  
19

20 16. The Applicant shall meet the Florida Department of Environmental  
21 Protection ("FDEP") standards for Best Management Practices for  
22 Stormwater, Erosion and Sedimentation Control.  
23

24 17. The Applicant shall adhere to the Town's Construction Site Standards, as  
25 set forth in Section 6-109 of the Town Code of Ordinances, included but not  
26 limited to, conditions of the Right-of-Way, parking of vehicles within the site  
27 or on the adjacent Right-of-Way, proposed road closures, wind mitigation,  
28 and erosion control, screening of toilet facilities, and use of generators and  
29 temporary power.  
30

31 18. All areas of landscaped open space or improvements along any vehicular  
32 or pedestrian access, as well as maintenance of slope, vegetation and  
33 walkways associated with the Project, shall be perpetually and  
34 appropriately maintained at all times by the Applicant and the successor  
35 Homeowner's (or Property Owner's) Association ("HOA"). The Applicant  
36 shall submit all HOA documents to the Town Attorney for review and  
37 approval prior to building permit submission for vertical construction. These  
38 documents must be approved and recorded prior to the issuance of the first  
39 Certificate of Occupancy, and the Applicant shall bear the costs of legal  
40 review.  
41

42 19. The Applicant shall use Donald Ross Road, U.S. Highway One, and the  
43 easternmost entrance of Floral Drive as means of ingress and egress to the

1 construction site. No construction vehicles shall use the roads (Cocoanut  
2 Avenue, Oleander Avenue, or Park Street) within the New Palm Beach  
3 Heights neighborhood.  
4

5 20. The Applicant shall conduct construction vibration monitoring at the  
6 perimeter of the construction site. A pre-construction meeting with the  
7 Town's Building Official and Code Enforcement Officer is required prior to  
8 the issuance of any building permit.  
9

10 21. Prior to the Town Council meeting, the Applicant shall submit an updated  
11 landscape plan addressing Palm Beach County Department of  
12 Environmental Management ("PBC ERM") comments regarding the location  
13 of a vinyl fence located in the eastern boundary outside of the access  
14 easement granted to PBC ERM, and the replacement of existing vegetation  
15 at the south end of the access easement with a native species that is  
16 satisfactory to PBC ERM and the Town.  
17

18 22. The Applicant shall provide written confirmation from Juno Square LLP,  
19 owners of Juno Square Plaza, that it will be responsible for the ongoing  
20 maintenance of proposed landscape improvements within their property.  
21

22 23. The Applicant shall adhere to Section 12-127 of the Town Code,  
23 Permissible Time for Construction Activity. Due to the proximity of single-  
24 family homes, there shall be no deviation from the standard construction  
25 hours of Monday through Friday between the hours of 7:00 a.m. and 6:00  
26 p.m. and Saturday between the hours of 9:00 a.m. and 5:30 p.m.  
27

28 24. In granting this approval, the Town Council relied upon the oral and written  
29 representations of the Applicant both on the record and as part of the  
30 application process and such representations shall be binding on the  
31 Applicant and are expressly incorporated into this Resolution.  
32

33 25. The Applicant shall provide all approved plans in digital form prior to the  
34 filing of any building permit application.  
35

36 **Section 4.** Should the Applicant fail to meet the conditions of approval set forth  
37 in Section 3 of this Resolution, this approval shall be revoked and no additional work shall  
38 proceed on site until such time as this Resolution is renewed or amended by the Town  
39 Council. The conditions of approval shall be binding on the Applicant and its successors  
40 and assigns and violation of such conditions shall constitute a violation of the  
41 development approval, which may be enforced by the Town as set forth in the Town Code  
42 of Ordinances or as otherwise authorized by law.  
43



## EXHIBIT "A"

## LEGAL DESCRIPTION

A PORTION OF BLOCKS 11, 12 COCOANUT AVENUE, OLEANDER AVENUE AND PALM AVENUE, NEW PALM BEACH HEIGHTS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 73 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING ON THE NORTH CORNER OF BLOCK 17, AS SHOWN ON SAID PLAT; THENCE NORTH  $02^{\circ}10'49''$  EAST ALONG THE WEST RIGHT-OF-WAY LINE OF COCOANUT AVENUE, A DISTANCE OF 251.36 FEET TO A POINT OF INTERSECTION WITH THE WESTERLY PROJECTION OF THE SOUTH RIGHT-OF-WAY LINE OF DONALD ROSS ROAD, AS RECORDED IN OFFICIAL RECORD BOOK 2584, PAGE 1012 OF SAID PUBLIC RECORDS; THENCE SOUTH  $87^{\circ}54'11''$  EAST ALONG SAID WESTERLY PROJECTION AND SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 336.67 FEET; THENCE SOUTH  $02^{\circ}05'49''$  WEST, A DISTANCE OF 233.33 FEET; THENCE SOUTH  $87^{\circ}54'11''$  EAST, A DISTANCE OF 416.11 FEET TO A POINT OF INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE THAT 120.00 FOOT WIDE RIGHT-OF-WAY OF U.S. HIGHWAY NO. 1/STATE ROAD NO. 5, AS RECORDED IN ROAD PLAT BOOK 2, PAGE 114 OF SAID PUBLIC RECORDS; THENCE SOUTH  $15^{\circ}19'11''$  EAST ALONG SAID WEST RIGHT-OF-WAY LINE, A DISTANCE OF 185.22 FEET TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF FLORAL STREET AS SHOWN ON SAID PLAT; THENCE NORTH  $87^{\circ}54'11''$  WEST ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 719.29 FEET TO A POINT OF INTERSECTION WITH THE ASTY LINE OF THAT ABANDONED COCOANUT AVENUE RIGHT-OF-WAY, AS RECORDED IN OFFICIAL RECORD BOOK 13064, PAGE 1893 OF SAID PUBLIC RECORDS; THENCE NORTH  $21^{\circ}21'24''$  WEST ALON SAID EAST LINE, A DISTANCE OF 162.05 FEET; THENCE NORTH  $87^{\circ}49'11''$  WEST ALONG THE NORTH LINE OF SAID ABANDONED RIGHT-OF-WAY A DISTANCE OF 24.80 FEET TO THE POINT OF BEGINNING.

CONTAINING 204,743 SQUARE FEET/4.7003 ACRES, MORE OR LESS.



**Town of Juno Beach  
340 Ocean Drive; Juno Beach, FL 33408  
Phone: (561) 626-1122; Fax: (561) 775-0812**

**Application for  
Special Exception Petitions**

A *Special Exception* is a use which may be allowed within a zoning district subject to the provisions of the Town of Juno Beach Comprehensive Zoning Ordinance (Ordinance 207 and subsequent amendments).

**Section I**

**Instructions for Completion:**

1. Complete Section II of this application, and respond (in written form) to the criteria listed in Section III. You may wish to attach a separate sheet of paper for this item.
2. Sign and date the application under Section III. If appropriate, complete the power of attorney form on page 6 of this application.
3. Attach any information (maps, drawings, survey, letters, legal descriptions, etc.) in order to clarify your petition/application.
4. A filing fee of \$1,500.00 (other than single family), \$250.00 (single family) must accompany each application upon submittal.

**Section II**

**Please Complete the Following:**

*Applicant/Agent Information:*

Name of Applicant: Pulte Home Company LLC Contact Phone #: 561.268.5821  
 Address of Applicant: 3350 Peachtree Road NE, Suite 1500, Atlanta 30326

\*If the applicant has an agent, or will be represented by anyone other than the applicant.

\*Name of Agent: Cottleur & Hearing Contact Phone #: 561.747.6336  
 \*Address of Agent: 1934 Commerce Lane, Suite 1, Jupiter, Florida 33458

*Regarding the Subject Location (where the special exception is being requested):*

Street Location: 13951 US Highway 1

Name of Subdivision: New Palm Beach Heights

Block: 7, 11, 12

Lot: \_\_\_\_\_

*Regarding the Special Exception Petition:*

Please describe the special exception being requested: We are requesting to exceed the 150-foot maximum permitted building dimension, pursuant to Section 34-314(12), by 3-feet, totaling a maximum of 153-feet of building length. Additionally, we are requesting to reduce the minimum 30-foot distance required between principle structures, pursuant to Section 34-314(13), by 10-feet, resulting in a minimum building separation of 20-feet.

### Section III

**Please address (in written form) the criteria listed below:**

Before taking action on any special exception request, the Planning & Zoning Board/Town Council shall make written findings of fact addressing the issues of whether the requirements of the section of the ordinance described (herein) have been met, and whether, satisfactory provision and arrangement has been made that the special exception use will, where applicable:

1. Provide for ingress and egress to the property and structures with particular reference to automotive and pedestrian safety and convenience, traffic flow and access in case of fire or catastrophe;

*Applicant Response:* The site provides for an entrance and exit along Donald Ross Road, and a secondary access along Floral Drive. Pedestrian paths have been incorporated into the entirety of the site, including a perimeter path connecting to the existing sidewalks along US Highway 1 and Donald Ross Road.

2. Provide for parking and loading areas, refuse and service areas, with particular attention to item (1) above and to effects on surrounding property;

*Applicant Response:* Garage parking has been provided at each unit with additional parallel parking spaces and parking lot located at the southeast corner of the site

3. Provide for screening and buffering-type, dimensions and location;

*Applicant Response:* The site will be heavily landscaped with canopy trees, shrubs, hedges, groundcover, walls, etc.,

to screen the site appropriately from surrounding land uses. Four sided architecture has been implemented in the building design.

4. Provide for signs, if any, and proposed lighting;

*Applicant Response:* All signs and lighting are to be in compliance with all applicable sign and lighting requirements set forth in the Juno Beach Code of Ordinances.

5. Provide for required yards and other open space;

*Applicant Response:* A significant amount of open space has been provided throughout the entirety of the site, including an open park area centrally located within the development.

6. Not adversely affect the public interest;

*Applicant Response:* This proposal will not adversely affect the public interest. This proposal will provide economic growth to the Town of Juno Beach and enhance the aesthetic of the Donald Ross and US Highway 1 corridor.

7. Comply with specific requirements governing the special exception requested;

*Applicant Response:* The aforementioned special exceptions requested are minimal and in compliance with Section 34-1333(3)(b)

8. With conditions and safeguards attached, would be generally compatible with adjacent properties and or property within the district;

*Applicant Response:* This proposal is compatible with adjacent properties and similar uses within the district.

9. Not generate excessive noise or traffic;

*Applicant Response:* This proposal will not generate excessive noise or traffic impacts on adjacent roadways.

10. Not tend to create fire, disease or other equally or greater dangerous hazard;

*Applicant Response:* This proposal will not cause or create a dangerous hazard. The proposed 20-foot building separation provides adequate space for fire prevention and evacuation.

11. Be in harmony and compatible with the present and/or future developments of the area concerned;

*Applicant Response:* This proposal is compatible with present developments in the area and has been designed to create harmony between residential and commercial uses.

12. Conserve the value of buildings and encourage the most appropriate use of the land and water;

*Applicant Response:* This proposal is an appropriate transition between the single family uses to the south and commercial uses along Donald Ross Road.

13. Provide adequate light and air;

*Applicant Response:* The entirety of the site will provide adequate light and air

14. Promote such distribution of population and such classification of land uses, development and utilization as will tend to facilitate and provide adequate provisions for public requirements, including be not limited to transportation, water flowage, water supply, drainage, sanitation, educational opportunities, and recreation;

*Applicant Response:* All aforementioned public requirements are to be provided for within this proposal.

15. Conform to the character of the district and its peculiar suitability for particular uses;

*Applicant Response:* This proposal will enhance the character of the district with the addition of lush landscaping, appropriate architecture consistent with the vision of Juno Beach.

16. Be consistent with the needs of the Town for land areas for specific purposes to serve population and economic activities;

*Applicant Response:* Given the surrounding uses along Donald Ross Road, this proposal is consistent with the corridor and will enhance population growth and economic activities.

17. Protect the tax base; and not create a financial burden on the Town; and

*Applicant Response:* This proposal will not create a financial burden on the Town of Juno Beach.

18. Not be disruptive to the character of neighborhoods nor adverse to playgrounds, parks, schools and recreation areas; nor adverse to the promotion of the public health, safety, comfort,

convenience, order, appearance, prosperity or general welfare;

*Applicant Response:* This proposal will seamlessly complement the character of the neighborhood, creating synergy between residential and commercial uses.

According to Ordinance 207, Town of Juno Beach, Florida, in granting any variance, the Board of Adjustment shall prescribe appropriate conditions and safeguards in conforming with the Zoning Ordinance. The Board of Adjustment may also prescribe a reasonable time limit within which the action for which the variance is required shall commence, be completed, or both.

Among other conditions and safeguards, the Town Council may prescribe reasonable time limits within which actions shall commence, be completed, or both.

Aimee Carlson  
Applicant's Signature  
Aimee Carlson  
Print Name Dir of Land Development

10/18/23  
Date

Amy Fleischer  
Witness Signature  
Amy Fleischer  
Print Name

10/18/2023  
Date



**Special Exception Land Use Power of Attorney**

Name of Property Owner(s): Juno Square LLP  
Mailing Address: 3350 Peachtree Road NE, Suite 1500, Atlanta 30326 3910 PCA BLD, #1015, PBGALEDEN, FL 33410  
Property Address: 13951 US Highway 1  
Property Control Number: 28434128100070111  
Name of Applicant: Pulte Home Company LLC  
Contact Phone Number: 561.268.5821

The Undersigned being the record title owner(s) of the real property described above does (do) hereby grant unto the Applicant stated above the full right and power of attorney to make application to the Town of Juno Beach to change the land use of said property. This land use change may include rezoning of the property, granting of special exceptions, variances or appeals of decisions of the Planning & Zoning Department. It is understood that conditions, limitations and restrictions may be placed upon the use of operation of the property. Misstatements upon application or in any hearing may result in the termination of any special exception and/or a proceeding to rezone the property to the original classification. This power of attorney may be terminated only by a written statement of such termination effective upon receipt by the Planning & Zoning Department.

In witness whereof the undersigned have set their hands and seals this 11<sup>th</sup> day of OCTOBER 19 2023

[Signature]  
Witness

[Signature]  
Owner

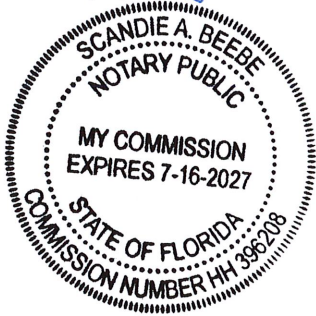
[Signature]  
Witness

Owner

Before me the undersigned authority personally appeared the owner(s) named above who upon being duly sworn acknowledged before me that they are the owners of the real property described above and that they executed the power of attorney for the purposes stated therein, sworn and subscribed this 11<sup>th</sup> day of October 19 2023

[Signature]  
Notary Public

SEAL



Town of Juno Beach Application  
Special Exception - 8/97

Town of Juno Beach  
340 Ocean Drive; Juno Beach, FL 33408  
Phone: (561) 626-1122; Fax: (561) 775-0812

Application for Development and Site Plan Review

Applicant: Pulte Home Company LLC  
Project: Clustered single family (TH) development known as Juno Square Residential  
Location: 13951 US Highway 1, Juno Beach, Florida 33410  
PCN: 28434128100070111  
Owner(s): Juno Square LLP

Signature(s): Applicant: *Aimee Carlson*  
Owner(s): *[Signature]*  
Agent (if other than Applicant/Owner): *[Signature]*

Mailing Address

Applicant: Pulte Home Company LLC Phone: 561.268.5821  
Owner(s): Juno Square LLP Phone: 561.827.4000  
Agent: Colleur & Hearing Phone: 561.747.6336

Architect: Pulte Architecture Phone: 561.268.5821  
Engineer: Schnars Engineering Corporation Phone: 561.241.6455  
Planner: Colleur & Hearing Phone: 561.747.6336  
Landscape Architect: Colleur & Hearing Phone: 561.747.6336

(I) (We) affirm and certify that (I) (We) understand and will comply with the provisions and regulations of the Town of Juno Beach Zoning Code. (I) (We) further certify that the above statements and the statements made in any paper or plans submitted herewith are true to the best of (my) (our) knowledge and belief. Further, (I) (We) understand that this application, attachments and fees become part of the Official Records of the Planning Department and are not returnable.

10/18/23  
Date

*Aimee Carlson*  
Signature of Applicant *Dir of Land Devp*

THE APPLICANT (OR REPRESENTATIVE) MUST SCHEDULE A MEETING WITH THE PLANNING & ZONING DIRECTOR TO SUBMIT THE MATERIALS NECESSARY FOR EACH APPLCIATION. ALL SITE PLANS SUBMITTED MUST BE BOUND AND ROLLED.

Site Plan and Appearance Approval Checklist

The following checklist is designed to assist applicants in preparing required materials for review. The applicant should check off each item to insure that it is included. Items omitted will delay review procedures. All plans must be bound and rolled: letters must be submitted separately and collated in complete sets.

**Eight (8) 24" x 36" sets of detailed plans drawn to scale. An engineering scale with adequate resolution for verification of measurement should be used. The site plan shall include the following:**

- (a) Name of proposed project.
- (b) Date, north arrow, and graphic scale.
- (c) Vicinity map showing property in relation to adjacent area.
- (d) Adjacent land uses, including footprints of any structures or vehicular uses areas on adjacent areas.
- (e) Location of property line, right-of-way, proposed/existing easements, water sources, dune crestline, vegetation line, Coastal Construction Control Line, and other essential features.
- (f) Streets, bike lanes, sidewalks, driveways, intersections, curb cuts and turning lanes adjacent to and across from the subject property, and means of access to site.
- (g) Location and dimensions of all perimeter treatment (sidewalks, bike paths, fences, walls and berms).
- (h) The footprints of all buildings showing their proposed uses, setbacks, dimensions, floor area, number of stories, height, points of access, and finished floor elevation in relation to mean sea level.
- (i) Location, height, colors, materials and dimensions of all signs, retaining walls and other accessory structures.
- (j) Phasing Plan of the site, including any temporary facilities or treatments such as landscaping and accesses.

- X (k) Location and width of any proposed dedication of property for public or private road right-of-way and any other form of easement.
- X (l) Layout and location of all on-street and off-street parking, loading and other vehicular use areas, including where applicable, distance from the principle uses.
- X (m) Location and dimensions of all parking and handicap spaces, bicycle parking facilities, driveways and aisled, dumpsters, and loading zones.
- X (n) Loading Demand Statement for all non-residential uses, detailing the land use's projected normal demands for loading and unloading.
- X (o) Statement of estimated need for bicycle parking facilities for all uses.
- X (p) Location, height and detail of all outdoor illuminations.
- X (q) Location of existing and proposed fire hydrants (or operational equivalents) on and near site.
- X (r) Location, percentage, and size of acres to be conveyed, dedicated or reserves as open space, public parks, recreational, and similar uses.
- X (s) Location and screening of all garbage/trash features including recycling bins, mechanical equipment, satellite dishes, and other accessory structures.
- X (t) Supply a site data table which indicates the following:
1. Existing/proposed land use and zoning.
  2. Total acres of project.
  3. Intensity, total gross building square footage.
  4. Gross building footprint square footage.
  5. Percent of open space/landscaping, lot coverage and impermeable surface.
  6. Acres and percent of water bodies.
  7. Density, number of dwelling units (residential), and total living area per unit.
  8. Parking computations (parking required, parking provided, parking ratio, & handicap spaces provided).
  9. Building Height – to correspond with data from survey and proposed finished floor elevation.
  10. Loading spacing required & provided.

(u) NPDES permit, if required (required when subject property has an area of 1 acre or greater). For projects/sites requiring such permit, the applicant must also include a binding letter from the developer/applicant, which will provide that the storm drain system shall be monitored and maintained (and produce a corresponding report) on an annual basis, according to the standards identified in the NPDES permit. Such annual reports shall be made available upon completion to the Town of Juno Beach Public Works Director.

½ acre or less (exempt)

greater than ½ acre (requires permit through Department of Environmental Protection).

(v) Landscape plan, including the following:

1. Location and number of all proposed landscaping and location of landscape buffers;
2. A separate list of both the species and common name of proposed landscaping;
3. Native and non-native plant designation, and percentage of native plant material utilized for each type of plant, including trees, shrubs, and groundcover;
4. Size, as appropriate, of all proposed landscaping;
5. Total square feet of landscaping and pervious surface;
6. Percentage of landscaping and pervious surface of the total site area;
7. Statement that all landscape areas will be provided with permanent, automatic irrigation where needed; and
8. Calculations for provision of landscaping for vehicular parking and circulation areas.

(w) Engineering plans, including water and sewer, drainage, paving, and grading. High and low points must be shown on drainage, paving and grading plans. Cross sections are required at all perimeter conditions. Coordination with the Landscape Plans is required.

(x) Survey; signed and sealed by a Professional Land Surveyor registered in the State of Florida.

(y) Preliminary Plat, if re-plat or subdivision is required.

(z) School Concurrency application, analysis and School District Approval.



***Eight (8) copies of the following items must also be submitted:***

- 1. 8 ½" x 11" location map showing site and uses adjacent to and across from site.
- 2. Front, side and rear elevations of all buildings.
- 3. Typical floor plans.
- 4. Graphic survey of existing vegetation, delineating all viable native vegetation and all trees greater than four (4) inches in diameter (caliper) at 4 feet above ground, on site. (An individual single family dwelling or duplex on less than four (4) acres are exempt from this requirement).
- 5. Traffic Impact Study:
  - a) A traffic Impact Study is required that is in compliance with the Palm Beach Countywide Traffic performance Standards Ordinance;
  - b) The Palm Beach County Department of Engineering and Public works shall have completed a review of the traffic study for the proposed project, pursuant to the countywide traffic performance standards and the minimum review thresholds established therein, prior to submission of the application to the Town. Appropriate written verification of the completion of the review by that department shall be submitted with the application.
- 6. Market Study may be required by the Director of Planning & Zoning.
- 7. Letter from applicant stating the following:
  - a) General description of request.
  - b) General Background information on project and site.
  - c) Justification (special reasons or basis for the request).
- 8. Written confirmation of the provision of all necessary facilities and systems for water supply, sewage treatment, storm drainage, garbage collection, and Fire Rescue and the ability of these services to be delivered with the proposed site plan.
- 9. Warranty deed, copy of purchase contract or written consent of owner.
- 10. Letter authorizing agent to represent developer/owner.
- 11. Environmental Impact Study, if required by the Town's Environmental Sensitive Lands Ordinance.
- 12. Adequate Facilities Determination must be made by Planning & Zoning Director.
- 13. Color and Material samples will be required by the Director of Planning & Zoning.
- 14. Written responses to the Town's Zoning Code Sections dealing with Site Plan criteria, appearance, etc.
- 15. A school concurrency application and study, accordingly, if any portion of the project involves residential use. This item shall also be the applicant's responsibility to obtain a sufficient determination from the Director of Planning & Zoning.



# The Dunes at Juno Beach

## Juno Beach, Florida

### Statement of Use

**October 27, 2023**

**Revised March 29, 2024**

**Revised May 22, 2024**

Project Control Number (PCN) 28-43-41-28-10-007-0111

Legal Description: NEW PALM BEACH HEIGHTS BLKS 7, 11 & 12 LYG W OF SR 5 R/W & ABND R/W'S OF PALM AVE & OLEANDER AVE LYG BETWEEN (LESS SLY 233.33 FT OF NLY 247.33 FTOF ELY 416.11 FT & N 14 FT DONALD ROSS RD R/W)

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## I. Project Overview

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### Introduction

On behalf of the applicant, Pulte Home Company LLC, we are requesting approval of a new clustered single-family (TH) development consisting of up to 40 town home units, formally known as The Dunes at Juno Beach. As part of this request, five (5) separate applications have been submitted to the Town of Juno Beach, which include 1.) Zoning Map Amendment 2.) Comprehensive Plan Amendment 3.) Development and Site Plan 4.) Special Exception, and 5.) Easement Abandonment.

The Subject Property is located at Project Control Number (PCN) 28-43-41-28-10-007-0111 in the Town of Juno Beach, Florida. The Subject Property (Parcel 1) is situated on approximately 4.32 acres of land, conveniently located near the southwest intersection of Donald Ross Road and US Highway 1. Currently, the easternmost portion of the property along US Highway 1 comprises a vacant bank with a drive-thru and parking (to be demolished as part of this proposal), while the remainder of the property is vacant. It is important to note that the proposed plan includes abandoning the existing 50-foot Coconut Avenue Right-of-Way (ORB 27585, PG 1656) immediately to the west parcel boundary of the Subject Property. For purpose of remaining consistent with the proposed development plan, the subject property will be referred to as 4.70 acres (including Coconut Ave ROW) throughout the rest of this analysis.

The proposed development aims to provide a complimentary use to the adjacent commercial parcel located to the north, which spans approximately 1.95 acres and features retail and restaurant uses. Additionally, the applicant seeks to provide shared parking spaces, accessible to the public outside of the gated area, to accommodate the aforementioned commercial property. Please refer to the Location Map at the end of this report for reference. While the Subject Property has been used for Christmas tree sales in the past, it has otherwise remained vacant. This proposed clustered single-family (TH) development will not only fill the void of a long-vacant parcel but also inject new life and vitality into the area, serving as a valuable addition to the community.

On August 17, 2023, Cotleur & Hearing and Pulte Home Company LLC held a public workshop meeting at Town Hall Council Chambers, inviting the residents of Juno Beach to discuss the project in its entirety and provide feedback. During the meeting, the residents in attendance spoke thoroughly on the site's proposed architecture and landscaping. Following the meeting, the applicant has revised the site and architectural plan, based on resident feedback, to include a perimeter fence, prioritizing lush landscaping along Floral Drive, as well as implementing a lighter yet neutral color palette consisting of browns, greys, and whites.

### Project Contact

All correspondence in connection with this request should be directed to:



The Dunes at Juno Beach  
 Statement of Use  
 October 27, 2023, Revised March 29, 2024, Revised May 22, 2024

### **Cotleur & Hearing**

Donaldson Hearing, ASLA, PLA, LEED, Principal  
 Zach Ciciera, Land Planner  
 1934 Commerce Lane, Suite 1  
 Jupiter, Florida 33458  
 Tel: (561) 747-6336  
 Fax: (561) 747- 1377  
 Email: [dhearing@cotleur-hearing.com](mailto:dhearing@cotleur-hearing.com)  
 Email: [zciciera@cotleur-hearing.com](mailto:zciciera@cotleur-hearing.com)

### **Project Team**

#### **Pulte Home Company, LLC**

Aimee Craig Carlson, Director  
 Andrew Maxey, VP  
 1475 Centrepark Blvd, Suite 140  
 West Palm Beach, FL 33401  
 Phone: (561) 268-5821  
 Email: [Aimee.Carlson@Pulte.com](mailto:Aimee.Carlson@Pulte.com)  
 Email: [Andrew.maxey@pultegroup.com](mailto:Andrew.maxey@pultegroup.com)

#### **Cotleur & Hearing**

Donaldson Hearing, ASLA, PLA, LEED  
 Zach Ciciera, Land Planner  
 1934 Commerce Lane, Suite 1  
 Jupiter, FL 33458  
 Phone: (561) 747-6336  
 Email: [dhearing@cotleur-hearing.com](mailto:dhearing@cotleur-hearing.com)  
 Email: [zciciera@cotleur-hearing.com](mailto:zciciera@cotleur-hearing.com)

#### **Kimley-Horn & Associates, Inc.**

Adam B. Kerr, P.E.  
 1615 S. Congress Avenue, Suite 201  
 Delray Beach, FL 33445  
 Phone: (561) 330-2345  
 Email: [adam@kerr@kimley-horn.com](mailto:adam@kerr@kimley-horn.com)

#### **Schnars Engineering Corporation**

Jeffrey T. Schnars, P.E.  
 947 Clint Moore Road  
 Boca Raton, FL 33487  
 Phone: (561) 241-6455  
 Email: [jeff@schnars.com](mailto:jeff@schnars.com)

#### **EW Consultants, Inc**

Edward R. Weinberg, President  
 1000 SE Monterey Commons Blvd, Su. 208  
 Stuart, FL 34996  
 Phone: (772) 287-8771  
 Email: [eweinberg@ewconsultants.com](mailto:eweinberg@ewconsultants.com)

## **II. Rezoning and FLUM Amendment**

---

The project proposes 40 town home units within the 4.70-acre parcel. To do so, the applicant is proposing to down-zone the property from Commercial General (CG) to Residential Multiple-Family-Moderate Density (RM-2) and amend the Future Land Use Map from Commercial (COM) to Moderate Density Residential (MODR), thus allowing a transitional density for the site, given

The Dunes at Juno Beach  
 Statement of Use  
 October 27, 2023, Revised March 29, 2024, Revised May 22, 2024

its location to the single-family subdivision (Palm Beach Heights) located to the south. It should be noted that the maximum permitted density within this site is 56 units, however, the applicant’s proposal of 40 total units is significantly less than the maximum permitted.

*Sec. 34-309. - Purpose.*

*The purpose of the RM-2 residential multiple-family—moderate density district is to provide for a variety of housing types at a moderate population density which are compatible with neighboring housing areas of lower density.*

The Subject Property is currently zoned as Commercial General (CG) and has an existing land use designation of Commercial (COM). Its boundaries are marked by Juno Square and US Highway 1 to the east, Donald Ross Road to the north, and Floral Drive to the south. A Future Land Use Map and Zoning Map are included at the end of this report for reference.

To the west, the property is bordered by conservation land and a single-family residential unit. Meanwhile, the south property boundary contains a commercial area and additional low-density residential units. On the east side of the property, there is a commercial zoning district with a corner strip center with restaurants and retail, and on the east side of US Highway 1, a restaurant and hotel, while the north is currently vacant but is approved for a new multifamily residential project called “Caretta”, which is in a commercial zoning district.

SURROUNDING PROPERTIES			
DIRECTION	PROJECT	LAND USE	ZONING
NORTH	Vacant	COM	CG
SOUTH	Single-Family Homes & Commercial, Medical, & Retail	LDR & COM	RS-5, R-DUP, & CG
EAST	Restaurant, Retail, & Hotel	COM	CG
WEST	Preserve & Single-Family Home	CON & LDR	REC-PRIV & RS-5

**Rezoning Criteria**

*The following items for an amendment or rezoning should also be considered by the Town Council/Planning and Zoning Board:*

- If the proposed change is consistent with the established land use pattern;*  
***Applicant Response: A zoning designation of RM-2 will create a seamless transition between the commercial uses along Donald Ross Road and the adjacent single-family subdivision located south of the subject property. This proposal is consistent with the existing land use conditions of the surrounding area.***
- If the proposed change would create a related district to adjacent and nearby districts;*

**Applicant Response: A zoning designation of RM-2 will complement the single-family subdivision south of the subject property, creating synergy between the existing commercial and residential uses.**

3. *If the proposed change would naturally alter the population density pattern and there by reasonably maintain, or concurrently increase the availability of public facilities such as utilities, streets, etc.;*

**Applicant Response: The proposed zoning district will allow for a de minimis increase of population density while considering the density of Palm Beach Heights subdivision and adds an appropriate amount of public facilities to serve the added population and provide additional facilities to serve the neighbors.**

4. *If the proposed change would be consistent with the Comprehensive Plan;*

**Applicant Response: This proposal is consistent with all applicable goals and objectives within the comprehensive plan, as well as remaining consistent with the surrounding environment. (Detailed comprehensive plan compatibility on page 9)**

5. *If changed or changing conditions make the passage of the proposed amendment necessary;*

**Applicant Response: This amendment is necessary to achieve the required density for the proposed multifamily development while maintaining an adequate amount of open space and being mindful of adjacent uses.**

6. *If the proposed change will maintain or positively influence living conditions in the neighborhood;*

**Applicant Response: This proposal will enhance the living conditions in the neighborhood by providing lush landscaping, appropriate architecture styles, and connectivity within the corridor, thus promoting pedestrian circulation.**

7. *If the proposed change will maintain or improve traffic conditions, or otherwise address traffic-related public safety issues;*

**Applicant Response: Reduced traffic counts compared to commercial uses will significantly improve traffic conditions.**

8. *If the proposed change will maintain or improve drainage conditions;*

**Applicant Response: Downzoning the subject parcel to RM-2 will reduce the maximum permitted impervious surface percentage, thus improving drainage conditions.**

9. *If the proposed change will relatively maintain, or allow for appropriate light and air conditions to adjacent areas;*

**Applicant Response: Improved light and air conditions will be provided, as compared to commercial uses currently permitted.**

10. *If the proposed change will maintain or improve property values in the adjacent area;*  
**Applicant Response: Rezoning the subject parcel to RM-2 will improve property values within the surrounding area, by creating a more transitional use to the adjacent residential area, and provide more exclusivity and potential customers for the adjacent commercial area.**
  
11. *If the proposed change will promote the improvement or development of adjacent property in accord with existing regulations;*  
**Applicant Response: This proposal will enhance and promote the improvement of adjacent properties by allowing new high value residential product to buffer the existing adjacent residential and commercial uses and support the existing commercial uses to further align with the Town of Juno Beach regulations.**
  
12. *If the proposed change benefits the public welfare as opposed to resulting in a grant of special privilege to an individual owner;*  
**Applicant Response: The proposed rezoning will benefit the public welfare by providing a better transitional zoning between the residential and commercial district with many public enhancements such as a meandering path connecting to the existing sidewalk, accompanied by lush landscaping, as well as providing housing within a primarily commercial corridor.**
  
13. *If there are substantial reasons why the property requires a change from existing zoning;*  
**Applicant Response: The proposed site plan, as designed, would not be permitted within a commercial zoning district (CG).**
  
14. *Whether the change suggested is to scale, or appropriately balanced with the needs of the neighborhood or the Town;*  
**Applicant Response: This proposal will provide the Town with an appropriate opportunity to create an effective transition between low density residential uses and commercial uses.**
  
15. *After using reasonable diligence, the Petitioner can demonstrate there is a reasonable lack of alternative sites available in the Town for the proposed use;*  
**Applicant Response: After reasonable due diligence, it has been determined that there is a lack of alternative sites for the proposed use, given the transition between residential and commercial uses, including walkability.**

### Comprehensive Plan Amendment Criteria

In addition, responses to the following criteria related to the aforementioned comprehensive plan amendment are as follows: *\*Please note, criteria responses #1 through #12 have been provided within the attached Comprehensive Plan Amendment application\**

13. *Provide a map of the parcel that indicates generalized existing land uses, including: low density residential (0-5 units/acre); medium density residential (not to exceed 10*

*units/acre); moderate density residential (not to exceed units/acre); high density (not to exceed 22 units/acre); commercial; recreation; conservation; public buildings and grounds including educational facilities; historic resources; and vacant and undeveloped land. The map must also indicate the generalized existing land uses of all adjacent land.*

***Applicant Response: This has been indicated in the attached Future Land Use Map.***

14. *Indicate, in tabular form, the approximate acreage and the general range of density of use (units per acre) or intensity of use of each existing land use.*

***Applicant Response: This has been indicated in the attached Site Plan.***

15. *Provide a map of the parcel that indicates generalized existing natural resources, including: beaches and shores, estuarine systems; rivers, floodplains, harbors, and wetlands.*

***Applicant Response: This has been indicated in the attached FIRM, wetland map, and wellfield map.***

16. *Indicate, in tabular form, the acreage of each type of existing natural resources.*

***Applicant Response: This has been indicated in the attached environmental analysis and soils map.***

17. *Provide a map that indicates the proposed future land uses including: Low Density Residential; Medium Density Residential; Moderate Density Residential; High Density Residential; Transient/Residential; Commercial; Public Buildings and Grounds; Other Public Facilities; Recreation/Open Space; Conservation; or any new future land use classifications not currently depicted on the town's Future Land Use Map. The map must also indicate the future land uses of all adjacent land.*

***Applicant Response: This has been indicated in the attached Proposed Future Land Use Map.***

18. *Indicate whether proposed classifications would require text modifications (amendments) to existing classifications, or whether new future land use classifications are requested. If a text amendment or new classification is proposed, specify the proposed modification or classification. See Future Land Use Plan, Town of Juno Beach Comprehensive Development Plan for definitions of currently adopted future land use classifications.*

***Applicant Response: The applicant is proposing to amend the Future Land Use Map to change the existing designation within the subject parcel from Commercial (COM) to Moderate Density Residential (MODR).***

19. *Indicate in tabular form, the approximate acreage and the general range of density or intensity of each proposed future land use.*

***Applicant Response: This has been indicated in the attached site plan and Future Land Use Map.***



20. Describe how the proposed future land use is compatible with adjacent future land use classifications, the effect the amendment will have on the current distribution of residential and commercial future land uses, and if the proposed future land use is compatible with existing land uses, including those within and adjacent to the subject property.

**Applicant Response: The proposed Future Land Use Designation of MODR provides an appropriate transition between the Low Density Residential and Commercial districts surrounding the site.**

21. In addition to policies that may be affected by #'s 17 and 18 above, indicate any other goals, objectives or policies in the Future Land Use Element of the Town of Juno Beach Comprehensive Plan that may require modification (amendment) as a result of the proposed amendment. Indicate the specific modifications requested, and the justification (including appropriate revisions to supporting data and analyses) for each modification. Also indicate any additional modifications required, and the justification for that modification, to other portions of the Future Land Use map series of the Comprehensive Plan. The Future Land Use map series includes: the Town of Juno Beach Future Land Use Map, Generalized Soils Distribution, Natural Resources, and Surface Water Bodies and Flood Plains.

**Applicant Response: No additional amendments to the Comprehensive Plan are required by this scope of work.**

22. Indicate all goals, objectives or policies in other portions of the Town of Juno Beach Comprehensive Development Plan that may require modification (amendment) as a result of the proposed amendment. Indicate the specific modifications requested, and the justification (including appropriate revisions to supporting data and analyses) for each modification. Other portions of the adopted Town of Juno Beach Comprehensive Development Plan that could be affected include: Traffic Circulation Element, including the Future Traffic Circulation Map, functional classifications of roadways, number of lanes; Housing Element; Infrastructure Element, including Sanitary Sewer, Solid Waste, Drainage, Potable Water, and Natural Groundwater Aquifer Recharge; Conservation Element; Recreation and Open Space Element; Coastal Management Element; Intergovernmental Coordination Element; Capital Improvements Element; Five-Year Schedule a/Capital Improvements; Population Projections and Definitions.

**Applicant Response: No additional amendments to the Comprehensive Plan are required by this scope of work.**

23. Describe how the proposed amendment is consistent with and furthers the Town of Juno Beach Comprehensive Development Plan. Indicate specific goals, objectives and policies that the proposed amendment furthers or with which the proposed amendment is consistent.

#### **FUTURE LAND USE**

*GOAL: Promote future growth by supporting development and redevelopment that is sustainable, and enhances historical values and architectural styles that will preserve, enhance, and promote the established character of the Town, encourage sustainability and protect natural environmental ecosystem.*

***Applicant Response: The applicant has prioritized the alignment of the architectural styles, sustainability, and historic values implemented within this proposal with the vision and history of the Town of Juno Beach.***

*Policy 2.6: Ensure safe, efficient, and convenient traffic flow (both vehicular and pedestrian) and vehicle parking needs.*

***Applicant Response: In addition to access from Donald Ross Road and Floral Drive, this project has prioritized pedestrian circulation within the corridor by implementing public multi-modal paths in connection with existing sidewalks, as well as cross access provided to the adjacent commercial property.***

*Policy 2.10: Land development regulations adopted to implement this Comprehensive Development Plan shall be based on and be consistent with the following standards for residential land use densities as indicated below:*

- a. Low density residential -not to exceed 5.0 residential units per gross acre.*
- b. Medium density residential -not to exceed 10.0 residential units per gross acre.*
- c. Moderate density residential -not to exceed 15.0 residential units per gross acre.*
- d. High density residential -not to exceed 22.0 residential units per gross acre.*

***Applicant Response: The proposed density of 8.5 du/ac is significantly less than the maximum permitted density within the Moderate Density Residential land use designation.***

*Policy 10.2: The Town will continue to support walkways, bike lanes, pedestrian interconnectivity and other design elements that encourage walkable communities and transit readiness.*

***Applicant Response: Pedestrian interconnectivity has been prioritized through a creative design process implementing a green meandering multi-modal path and architectural elements promoting walkability while providing transit readiness.***

*Objective 11: Encourage redevelopment while promoting strong sense of community, and consistent quality of design that protects neighborhood integrity and historic and environmental resources.*

***Applicant Response: The proposed architecture for The Dunes at Juno Beach townhomes presents a fresh interpretation of the Key West Cracker style while incorporating historical features of Juno Beach to further protect and align with the integrity of the surrounding neighborhoods.***

## **TRAFFIC CIRCULATION**

*Objective 1: To provide an efficient interrelationship between the traffic circulation system and various land use activities.*

***Applicant Response: The proposed public multi-modal path along the perimeter of the site will provide pedestrian interconnectivity between a multitude of uses within the district. The unique location of the site allows for adequate circulation, given its frontages on multiple roadways.***

*Objective 2: To establish traffic circulation that is safe and offers controlled movement of vehicular and non-vehicular, motorized and non-motorized traffic.*

***Applicant Response: Providing cross access to the adjacent commercial site will create a safer environment, circulating traffic appropriately while delineating pedestrian pathways for biking and walking traffic.***

*Objective 8: To maintain a transportation system that provides for alternative modes of travel.*

***Applicant Response: The proposed green meandering path provides for alternative modes of travel and connectivity to a variety of uses within the corridor.***

## **HOUSING**

*GOAL: A residential environment that: provides safe, sanitary and otherwise adequate housing and living conditions to its residents and supports county-wide affordable housing policies; embraces creative and innovative architecture and reflects styles characteristic of Juno Beach and South Florida history.*

***Applicant Response: This proposal aligns this provision by implementing innovative architecture styles consistent with the Town's vision and creating a safe and enhanced environment for Juno Beach residents.***

*Objective 1: To maintain a high quality housing inventory in Juno Beach and to ensure that new construction is of the same high quality.*

***Applicant Response: This proposal is of the highest quality while remaining considerate of the site's surrounding environment and existing conditions.***

*Objective 2: To promote residential design of all types that complements and is in concert with efficient provision of community facilities.*

***Applicant Response: The proposed clustered single-family townhome development will provide variety to the surrounding housing types while promoting design consistent with the Town's vision.***

*Policy 2.2: Provide for a broad range of housing types and styles which encourage clustered developments and which maintain the Planned Unit Development concept for major residential development areas and develop other innovative residential development concepts, as necessary, that embrace a strong community identification,*

*which is consistent with the FUTURE LAND USE and HOUSING GOALS of this Plan, and which provides for efficient urban services.*

***Applicant Response: The proposed clustered single-family townhome development will provide variety to the surrounding housing types while promoting pedestrian circulation by enhancing the walkability of the Donald Ross/US HWY 1 district.***

*Objective 9: To require architectural styles of all future housing and other structures that reflects the “Old Florida” theme sought by the Town.*

***Applicant Response: The proposed architecture style utilized in this project is an innovative representation of Key West Cracker, further aligning with the Town’s “Old Florida” theme.***

24. *Analyze the impact of the proposed amendment on any existing blighted areas.*

***Applicant Response: This project will have no impact on any existing blighted areas but will allow a long existing vacant parcel to become useful and better contribute to the tax base of the Town.***

25. *Analyze the character of the developed and undeveloped land included in the amendment, including: the ability to be served by existing or proposed public water, sewer, transportation, and drainage facilities; the types of soils and the ability to support the proposed amendment; topography; the impact of the proposed amendment on existing natural resources, including flood prone areas, wetlands, uplands, native vegetation and protected plant and animal species; and the impact of the proposed amendment on existing historic resources.*

***Applicant Response: The subject site is currently able to be served by existing utilities and public facilities. The proposed amendment will have no impact on natural resources, flood prone areas, wetlands, uplands, native vegetation, and protected plant and animal species, as indicated in the attached Environmental Analysis, Drainage Statement, and Traffic Generation Analysis.***

26. *Indicate how water and sewer will be provided. If from a public supply system, describe how an existing system will be expanded to provide service to the subject property. If from an expanded or from a new system, describe any facilities (including new treatment plants) that will be constructed to provide service, an approximation of the cost and the funding source(s).*

***Applicant Response: Potable water service is provided from the Town of Jupiter Utilities. There is an existing 6” water main along US 1 and a 12” water main along Donald Ross Road. Connections will be made to both these mains and an 8” water main will be looped through the site.***

***Sanitary sewer service is provided by the Loxahatchee River District. There is an existing 8” gravity sewer line along the south side of the site that extends north***

**through the site. A new 8" gravity sewer main will be extended from the southeast corner of the site through the project.**

27. Describe the existing drainage pattern of the subject property. Describe the impacts the proposed amendment will have on the quality and quantity of stormwater runoff, and the anticipated general approach to be taken regarding stormwater management.

**Applicant Response: The proposed reduction in intensity given the established permitted uses and impervious surface ratio will thus improve the drainage efficiency and quality of stormwater runoff.**

28. Demonstrate that levels of service for public facilities and services can be met by development permissible because of the proposed amendment. Public facilities and services for which levels of service are established include transportation (roads), solid waste, recreation, public supply water, public supply sewer, and drainage.

**Applicant Response: The proposed reduction in intensity will allow for adequate public facilities and services as previously provided for within the current commercial designation.**

With regard to transportation impacts, indicate the Maximum number of net new trips that could be generated by the amendment if development occurred at the maximum density or intensity allowed by the requested future land use classification. Specifically state and justify any extenuating circumstances that would result in the number of new net trips being less than that otherwise permissible by the maximum density or intensity allowed. Demonstrate the impact this will have on existing and projected transportation levels of service for all impacted roadways. The analysis and methodology must be included. Existing and projected transportation level of service information is included in the attached worksheet.

If construction of roadway improvements will be required to support the amendment of the development, indicate what the improvements are, the approximate cost and the funding source(s).

29. Provide copies of any permits, correspondence or other documentation you have received from other local, regional, state, or federal entities concerning development of the subject property.

**Applicant Response: Documents provided by outside agencies have been included in this application.**

30. Provide any information and drawings that you have developed as a concept plan for the property, such as the type and size of project, proposed roads and roadway improvements, location and types of public facilities, conceptual drainage information, or a development schedule. Also provide any other information, drawings, statements or materials that are relevant to, or provide justification for, the proposed amendment.



***Applicant Response: All applicable plans and drawings have been included in this application.***

31. Describe how the proposed amendment is consistent with state and regional goals (Treasure Coast Comprehensive Regional Policy Plan and the State Comprehensive Plan).

***Applicant Response: The proposed amendment aligns with the State of Florida's desired future as outlined in the State Comprehensive Plan, as well as the Treasure Coast Comprehensive Regional Policy Plan.***

32. Provide a copy of the property identification card(s) from the Palm Beach County Property Appraiser for all parcels included in the amendment.

***Applicant Response: A copy of the property identification card has been provided within this application.***

### III. Development and Site Plan Criteria

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Pulte Home Company, LLC, is proposing a development plan for the Subject Property that involves constructing seven (7) buildings, consisting of a total of 40 town home units. Each building will have two garage spaces per unit, and the proposed height is 3 stories not to exceed 40-feet. Additional parking spaces will be provided within the Subject Parcel to accommodate the parking needs of the residents, exceeding the minimum spaces required pursuant to the Town of Juno Beach Zoning Code.

Vehicular egress is proposed on Donald Ross Road, providing entry into the Subject Parcel separately from the adjacent commercial parcel. A second vehicular access way will be provided from Floral Drive. This has been strategically located east of Oleander Avenue to mitigate any potential traffic impacts on the adjacent single-family subdivision.

Pedestrian access is proposed throughout the entirety of the Subject Parcel, connecting to Donald Ross Road, Floral Drive, and the US Interstate 1 Right of Way, including connectivity to the adjacent commercial parcel. Improvements are also proposed for the pedestrian sidewalk along all three (3) roads including widening, meandering, and landscaping.

#### Density

The Applicant, Pulte Home Company LLC, is proposing 40 clustered single-family town home units within the Subject Parcel. As mentioned earlier in this report, the applicant is proposing to abandon the Coconut Avenue Right-of-Way, thus accruing additional square footage, totaling 4.70 acres. Based on this, the project's density is estimated to be about 8.51 dwelling units per acre (DU/AC) as permitted in the Moderate Density Residential zoning district and future land use designation (Max. 12 DU/AC). It's worth noting that Moderate Density Residential (RM-2) is the least intense district to accommodate the project's proposed density.

### Architecture

The proposed architecture for The Dunes at Juno Beach townhomes presents a fresh interpretation of the Key West Cracker style. Drawing inspiration from Juno Beach's coastal setting, the design incorporates historical features that early settlers used for heat relief. Key architectural features include:

- Low-pitched metal roofs with a main-body roof pitch of 5:12
- Wide porch overhangs with extensive use of outlookers and/or rafter tails on all facades for definition and embellishment
- Deep 1st floor porches
- Decorative 1st and 2nd floor balcony railings
- Diverse windows with a vertical emphasis
- 1st and 3rd floor lap siding
- Vibrant louvered awnings and decorative shed roofs
- Two-stepped banding for enhanced facades
- Vertical grids and detailing on all windows and doors.

The proposed architecture has equilibrium with the surrounding area through three distinct areas within the overall concept of Harmony:

- Mass & Bulk
- Proportion & Scale
- Height & Orientation

Mass & Bulk – Having these elevations be three-stories in size helps to provide a natural transition between the existing one & two-story single family residential communities to the South, and the larger/bulkier four & five-story Caretta condominiums to the North. To keep from feeling overly heavy or massive, designing open porches and balconies down at the pedestrian level and stepping back at the upper level, makes a supporting connection to the structure seen in nature (the taller/larger the element, the larger/wider the base becomes).

Proportion & Scale – Within the three-story buildings there is an established rhythm of two main features: The double-stacked covered porches and appropriately sized coastal brackets in the roof eaves. Both design intentions help strengthen the connection to the human scale. This affords a larger structure to feel lighter and more proportionate to the landscape and surrounding environment.

Height & Orientation – The positioning and overall height of the three-story buildings provide a buffer for the surrounding single family residential communities from the neighboring commercial projects. The intentional use of open-air porches on the first level, rather than having the body of the structure built right up against the property line, provides a softer and more pleasant experience to the sidewalk traveler.

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The chosen color palette is gentle, evoking the ocean and mirroring Juno's coastal character. The front façade offers both horizontal and vertical articulation, providing visual appeal, relief, and a distinct character.

Together with the site layout, the proposed architecture integrates seamlessly with the streets, evoking a small-town, walkable atmosphere. The landscape design complements and accentuates the architecture. Together, the home, landscape and site design enhance and are in harmony with the surrounding area.

### Landscape

The landscaping Plan has been designed to meet and exceed the requirements of Section 34-1084 of the Town code. The design exemplifies the implementing criteria identified in Section 34-1079. Special attention has been given to the streetscape frontages along Donald Ross Road, US Highway 1 and Floral Drive which will result in an improved aesthetic appearance of the town. The applicant proposes to install meandering multi-modal sidewalks with landscaping along all the road frontages. The design increases pedestrian safety and promotes walkability. The perception of noise along the busy arterial roads is diminished by beautiful coastal plantings. Royal Palms are used along Donald Ross Road to complement the Royal Palms proposed as a part of the Caretta project on the north side of road. The landscaping along US Highway 1 screens the existing parking areas servicing Juno Square and enhances the most significant intersection in the town.

The coastal landscape palette has been carefully selected to ensure long term viability, reduce maintenance, and encourage water conservation. The palette consists of predominantly native species naturalized to coastal areas of northern Palm Beach County. The proposed design utilizes xeriscape and Florida Friendly design principles. Palms are used to provide scale for the proposed residential townhome buildings however the landscape design emphasizes the use of native canopy trees. Ornamental plant material is utilized in select areas to provide focal points, color variation and flowers.

The landscape design provides a dense buffer to the existing single-family homes at the southwest corner of the site. Quality buffering is also provided along Floral Drive to ensure compatibility while at the same time incorporating CEPTED principals. Every aspect of the landscape from the species selection to the placement of material is extremely intentional. The irrigation will be designed to meet the requirements of Section 34-1088 of the Town code. Turf areas will be isolated on separate zones where practical to promote water conservation.

### Environmental Analysis

The Juno Square property has been cleared and maintained as a grassy field maintained since the early 1970s with some small patches of mostly non-native trees as well as some native vegetation. There are no wetlands located on the property. The subject property lacks the presence of any native upland habitat. There is low potential for the occurrence of state and/or federally listed wildlife species on the subject property. No listed wildlife species or signs of their

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presence were observed onsite. Please find the referenced Environmental Analysis, prepared by EW Consultants, Inc, included herein.

### **Traffic Analysis**

The traffic impacts from the proposed future land use amendment were analyzed based on the procedures outlined in Policy 3.5-d of the Palm Beach County Comprehensive Plan. An overall net **decrease** in trip potential has been determined, given the proposed future land use designation. Currently, the site has a Commercial General future land use classification. Juno Beach does not utilize FAR in its comprehensive plan; the standards are based off lot coverage. The maximum lot coverage for the commercial general land use is 40%. The proposed future land use designation is Moderate Density Residential, which permits 15 dwelling units per acre. It should be noted that the proposed zoning district for this project is Moderate Density Residential (RM-2) which permits a maximum density of 12 dwelling units per acre. This analysis was conducted following short-range and long-range analysis procedures used to evaluate comprehensive plan amendments in the town of Juno Beach. This report summarizes the findings of the comprehensive plan land use amendment traffic analysis.

### **Existing Site Development**

This scenario represents the current trip generation occurring on site. The site is currently vacant hence, no trips have been generated for current daily, AM peak hour and PM peak hour conditions.

### **Existing Future Land Use Potential Development**

This scenario represents the maximum development potential for the site under the existing FLU designation. For the Trip Generation Comparison shown in Table 1, Shop Plaza (40-150k) was used for the land use. The maximum intensity of development under the currently adopted future land use designation has the potential to generate 3,102 net new external daily trips, 79 net new external AM peak hour trips (+49 inbound, +30 outbound), 239 net new external PM peak hour trips (+117 inbound, +122 outbound).

### **Proposed Future Land Use Potential Development**

This scenario represents the maximum development permitted on site under the proposed FLU designation, which equates to 65 dwelling units of residential use. As indicated in Table 1, the maximum density of development under the proposed future land use designation has the potential to generate 438 net new external daily trips, 26 net new external AM peak hour trips (+6 inbound, +20 inbound), 33 net new external PM peak hour trips (+21 inbound, +12 outbound). Because the proposed amendment for the subject site results in an overall net decrease in the trip generation potential of the site on a daily, AM and PM peak hour basis in comparison to the existing uses on site, no further analysis is required.

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**Table 1: Trip Generation Calculations Summary**

Land Use	Intensity	Daily Trips	AM Peak Hour			PM Peak Hour		
			Total	In	Out	Total	In	Out
<b>Existing Site Development</b>								
Vacant		0	0	0	0	0	0	0
Pass-By Capture								
Vacant	0.0%	0	0	0	0	0	0	0
Driveway Volumes		0	0	0	0	0	0	0
Net New External Trips		0	0	0	0	0	0	0
<b>Existing FLU Maximum Intensity</b>								
Shop Plaza (40-150k) w/o Sup Market	75,308 ksf	5,085	130	81	49	391	192	199
Subtotal		0	0	0	0	0	0	0
Pass-By Capture								
Shop Plaza (40-150k) w/o Sup Market	39.0%	1,983	51	32	19	152	75	77
Driveway Volumes		5,085	130	81	49	391	192	199
Net New External Trips		3,102	79	49	30	239	117	122
<b>Proposed FLU Maximum Intensity</b>								
Multifamily Low-Rise	65 DU	438	26	6	20	33	21	12
Pass-By Capture								
Multifamily Low-Rise	0.0%	0	0	0	0	0	0	0
Driveway Volumes		438	26	6	20	33	21	12
Net New External Trips		438	26	6	20	33	21	12
Proposed FLU Maximum Trips - Existing Development Trips (Short-range)		438	26	6	20	33	21	12
Short-Radius of Development Influence:			0.5 miles					
Proposed FLU Maximum Trips - Existing FLU Maximum Trips (Long-range)		-2,664	-53	-43	-10	-206	-96	-110
Radius of Development Influence:			No Significant Impact					
<u>Land Use</u>	<u>Daily</u>	<u>AM Peak Hour</u>			<u>PM Peak Hour</u>			<u>Pass By</u>
Multifamily Low-Rise	6.74 trips/DU	0.4 trips/DU (24% in, 76% out)			0.51 trips/DU (63% in, 37% out)			0.0%
Shop Plaza (40-150k) w/o Sup Market	67.52 trips/ksf	1.73 trips/ksf (62% in, 38% out)			5.19 trips/ksf (49% in, 51% out)			39.0%

The foregoing comprehensive plan traffic analysis has been conducted to evaluate the proposed future land use designation change from the existing Commercial General to Moderate Density Residential. The project is located on the southwest corner of Donald Ross Road & US-1, in Juno Beach, Florida. Due to the overall decrease in trip generation potential, no further analysis is required.

**Drainage Analysis**

According to the geotechnical report prepared by UES and the survey, the site topography, the underlying soil characteristics, and the low water table are consistent with coastal ridge areas that are suitable for the required groundwater bleed down and flood protection purposes of stormwater runoff utilizing an exfiltration trench system. The 4.70-acre parcel will have sufficient proposed sub-surface exfiltration dry retention to satisfy the predevelopment flood stages of the existing 1.95-acre to remain. The surface water management calculations conservatively include the entire 6.65 acres. Please find the referenced Storm Drainage Report, prepared by Schnars Engineering Corp., attached herein.

**Parking Analysis**

The Town of Juno Beach is committed to minimizing the visibility of parking lots along US Highway 1 to enhance the aesthetic appeal of the area. To comply with this objective, the applicant has proposed a heavy landscape buffer along US Highway 1, thus screening all vehicle



parking from the public right-of-way. Furthermore, the project formalizes and protects the parking solution of shared parking between the proposed use and the existing adjacent parcel uses to efficiently park the combined parcels and reduce the overall number of spaces that would not be used. Pursuant to the Town of Juno Beach’s Parking Code Requirements, this project is required to provide a minimum of 86 parking spaces (2 spaces per unit, and 1 guest space per 7 units). The applicant has significantly exceeded this requirement by providing 169 parking spaces designated for tenant and guest parking, and an additional 69 shared parking spaces to accommodate the adjacent commercial property located to the north. Providing additional parking spaces accessible to the public will allow the legal nonconforming commercial property to attain code compliance with the Town’s parking requirements pursuant to the existing Shared Parking Agreement.

**Site Plan Criteria**

The criteria to be used in this review shall be to ascertain that the proposed site plan for new development meets the following criteria:

**Sec. 34-116(3)a. Site Plan Criteria.**

1. *Is in conformity with the comprehensive plan and is not detrimental to the neighboring land use;*

***Applicant Response: This proposal is in conformity with the goals and objectives set forth in the comprehensive plan and is not detrimental to the adjacent land uses consisting of low density residential, commercial, and conservation. The proposed project enhances the neighboring land uses by providing transitional multifamily use as a buffer of existing neighboring single family use and in support of the existing neighboring commercial use.***

2. *Has an efficient pedestrian and vehicular traffic system, including pedestrian, bicycle, and automotive linkages and proper means of ingress and egress to the streets;*

***Applicant Response: The site provides for an entrance and exit along Donald Ross Road, and secondary access along Floral Drive. Pedestrian paths have been incorporated into the entirety of the site promoting walkability, including a perimeter path connecting to the existing sidewalks along the adjacent arterial roadways.***

***Two (2) garage parking spaces have been provided at each unit with additional parallel parking spaces. The parking lot located at the southeast corner of the site will accommodate guest parking and allow the adjacent commercial lot to conform with the Town’s parking regulations through additional shared parking, including interior cross access.***

3. *Has adequate provision for public services, including, but not limited to, access for police, fire and solid waste collection;*

***Applicant Response: The unique location of the site abutting two arterial roadways allows for adequate access as well as interior circulation providing ease for waste collection.***

4. *Complies with the provisions of [chapter 20](#), article III, regarding potable water, sanitary sewer, solid waste, drainage, recreation and open space, and road facilities;*  
***Applicant Response: Compliance with the provisions of Chapter 20, article III, have been met as indicated in the attached Drainage Statement, Traffic Generation Analysis, and Utility Letters.***
  
5. *Is planned in accordance with natural characteristics of the land, including, but not limited to, slope, elevation, drainage patterns (low areas shall be used for lakes or drainage easements), natural vegetation and habitats, and unique physical features;*  
***Applicant Response: The current property generally slopes from north to south. The property will be graded to accommodate the proposed project and existing drainage patterns.***
  
6. *Preserves environmental features and native vegetation to the maximum extent possible, and complies with the Environmentally Sensitive Lands Ordinance;*  
***Applicant Response: This site is vacant with no material environmental features or native vegetation and the proposal thoroughly enhances the environmental features within the site and surrounding area through the use of native vegetation as indicated in the attached landscape plan.***
  
7. *Protects estuarine areas when concerning marina siting, drainage plans, alteration of the shoreline, provisions for public access and other concerns related to water quality and habitat protection;*  
***Applicant Response: There are no estuarine areas within the subject property.***
  
8. *Complies with all sections of this chapter.*  
***Applicant Response: This proposal meets and exceeds all sections of this chapter.***

#### Appearance Review Criteria

##### *b. Appearance review criteria.*

1. *Is of an architectural style representative of or reflecting the vernacular of Old Florida style which is indigenous to the town and which is commonly known and identified by its late Victorian (Key West Cracker), Spanish revival (Mediterranean), Modern (early to mid-20th century), or combination thereof style of architecture. Summarized briefly, common features of the vernacular of Old Florida style that identify the Victorian (Key West Cracker), and Spanish revival (Mediterranean) architectural style include wood or concrete block with stucco siding; simple pitched roofs; tile, metal, or asphalt roofs; ornate details such as, but not limited to, exposed soffits, individualized vent and louver shapes, reliefs, and detailed window and door treatments; lush landscaping with private yards; and use of porches, balconies and patios. Common features of the vernacular of Old Florida Style that identify the Modern (early to mid-20th century) architectural style include clean geometric lines, often at right angles; an emphasis on function; materials*

*such as glass, steel, iron, and concrete; and the use of natural light through large and expansive windows;*

***Applicant Response: The proposed architecture for The Dunes at Juno Beach townhomes presents a fresh interpretation of the Key West Cracker style. Drawing inspiration from Juno Beach's coastal setting, the design incorporates historical features that early settlers used for heat relief. Key architectural features include:***

- ***Low-pitched metal roofs with a main-body roof pitch of 5:12***
- ***Wide porch overhangs with extensive use of outlookers and/or rafter tails on all facades for definition and embellishment***
- ***Deep 1<sup>st</sup> floor porches***
- ***Decorative 1<sup>st</sup> and 2<sup>nd</sup> floor balcony railings***
- ***Diverse windows with a vertical emphasis***
- ***1<sup>st</sup> and 3<sup>rd</sup> floor lap siding***
- ***Vibrant louvered awnings and decorative shed roofs***
- ***Two-stepped banding for enhanced facades***
- ***Vertical grids and detailing on all windows and doors***

***The chosen color palette is gentle, evoking the ocean and mirroring Juno's coastal character. The front façade offers both horizontal and vertical articulation, providing visual appeal, relief, and a distinct character.***

***Together with the site layout, the proposed architecture integrates seamlessly with the streets, evoking a small-town, walkable atmosphere. The landscape design complements and accentuates the architecture. Together, the home, landscape and site design enhance and are in harmony with the surrounding area.***

2. *Is of a design and proportion which enhances and is in harmony with the area;*  
***Applicant Response: The proposed architecture has equilibrium with the surrounding area through three distinct areas within the overall concept of Harmony:***

- ***Mass & Bulk***
- ***Proportion & Scale***
- ***Height & Orientation***

***Mass & Bulk – Having these elevations be three-stories in size helps to provide a natural transition between the existing one & two-story single family residential communities to the South, and the larger/bulkier four & five-story Caretta condominiums to the North. To keep from feeling overly heavy or massive, designing open porches and balconies down at the pedestrian level and stepping back at the upper level, makes a supporting connection to the structure seen in nature (the taller/larger the element, the larger/wider the base becomes).***

***Proportion & Scale – Within the three-story buildings there is an established rhythm of two main features: The double-stacked covered porches and appropriately sized coastal brackets in the roof eaves. Both design intentions help strengthen the connection to the human scale. This affords a larger structure to feel lighter and more proportionate to the landscape and surrounding environment.***

***Height & Orientation – The positioning and overall height of the three-story buildings provide a buffer for the surrounding single family residential communities from the neighboring commercial projects. The intentional use of open-air porches on the first level, rather than having the body of the structure built right up against the property line, provides a softer and more pleasant experience to the sidewalk traveler.***

3. *Elevator and stairwell shafts and other modern operations and features of a building shall be either completely concealed or shall incorporate the elements of the architectural style of the structure; rooftop equipment and elevator and mechanical penthouse protrusions shall be concealed; and parking garages and other accessory structures shall be designed with architectural features and treatments so that they are well proportioned and balanced and in keeping with the architectural style of the principal structure;*

***Applicant Response: Not Applicable***

4. *Shall have all on-site structures and accessory features (such as, but not limited to, light fixtures, benches, litter containers, including recycling bins, traffic and other signs, letter boxes, and bike racks) compatible in design, materials, and color;*

***Applicant Response: Benches, Bike Racks, and Trash Cans have all been included on-site with careful consideration to the color selection and theme of the project. The black decorative aluminum fence proposed within the interior of the site is compatible with the theme and landscape palette.***

5. *Shall have a design in which buildings over 40 feet in height shall appear more horizontal or nondirectional in proportion rather than vertical, accomplished by the use of architectural treatments as described in these criteria;*

***Applicant Response: Each building within this proposal will not exceed 40-feet in height.***

6. *Shall locate and design mechanical equipment with architectural treatments so that any noise or other negative impact is minimized;*

***Applicant Response: All mechanical equipment will be screened to complement the building's architecture, while mitigating any potential negative impact to surrounding properties.***

7. *Complies with the town's community appearance standards (see article IV, division 14 of this chapter).*

***Applicant Response: Special attention has been given to the streetscape frontages along Donald Ross Road, US Highway 1 and Floral Drive which will result in an improved aesthetic appearance of the town. Shade trees have been implemented to further comply with Sec. 34-1302. The applicant proposes to install meandering multi-modal sidewalks with landscaping along all the road frontages.***

#### **IV. Moderate Density Residential (RM-2) District Standards**

The Subject Property is currently zoned as Commercial General (CG). As part of this request, the applicant is proposing to down-zone the subject property to Moderate Density Residential (RM-2). The Code of Ordinances for the Town of Juno Beach describes the purpose of the RM-2 moderate density residential district in Division 4, Section 34-309 as follows: *“The purpose of the RM-2 residential multiple-family—moderate density district is to provide for a variety of housing types at a moderate population density which are compatible with neighboring housing areas of lower density.”*

As noted above, this district provides for a variety of housing types which include clustered single-family dwellings (townhouses) as indicated in Sec. 34-310. This district aligns with the applicant’s proposal of up to 40 town home units within the 4.70 acre site while remaining significantly under the maximum permitted density, outlined in Sec. 34-314.

#### **Permitted Uses**

<b>Div 4, Sec. 34-310: RM-2 Permitted Uses</b>	
(1)	Single Family detached dwellings
(2)	Two-family dwellings.
(3)	Multiple-family dwellings.
(4)	Clustered single-family dwellings (townhouses).
(5)	Group homes (see article IV, division 11 of this chapter).
(6)	Community residential homes (see article IV, division 11 of this chapter).
(7)	Public safety facilities such as fire and/or police stations.
<b>Sec. 34-312. – Special Exception Uses.</b>	
(1)	Planned unit development—residential (see article V of this chapter).
(2)	Public and private utility structures.
(3)	Public or private academic schools.
(4)	Churches, synagogues and other houses of worship.
(5)	Satellite dish antennas (see article IV, division 13 of this chapter).

#### **Development Regulations**



BUILDING AREA SITE REGULATIONS		
MODERATE DENSITY RESIDENTIAL (RM-2) ZONING DISTRICT		
	RM-2 Building Site Area Regulations	Subject Property
Minimum total area	20,000 SF	204,827 SF (4.70 AC)
Minimum lot width	100 Feet	618.45 Feet
Minimum lot depth	150 feet	229.56 Feet
Max Density	12 DU/AC	8.51 DU/AC
Min Front Setback	30 Feet	41 Feet
Min Side Setback	35 Feet Total (Min 15 ft.)	35 Feet (EAST) / 35.3 Feet (WEST)
Min Rear Setback	30 Feet	41.1 Feet
Max Building Height	40 Feet	40 Feet
Max Stories	3 Stories	3 Stories
Max Building Dimension	150 Feet	154 Feet
Min Building Separation	30 Feet	22.5 feet
Max Lot Coverage	50%	18%
Min landscaped open space	15%	41%

## V. Special Exception

### Special Exception Criteria

The following criteria are required to be met to be considered for Town Council approval:

#### **Division 3 Sec. 34-93(4) Special Exception Criteria**

- a. Provide for ingress and egress to the property and structures with particular reference to automotive and pedestrian safety and convenience, traffic flow and access in case of fire or catastrophe;  
***Applicant Response: The site provides for an entrance and exit along Donald Ross Road, and secondary access along a very limited section of Floral Drive near US Highway 1. This design provides for multiple avenues of access for first responders. Pedestrian paths have been incorporated into the entirety of the site promoting walkability, including a perimeter path connecting to the existing sidewalks along the adjacent arterial roadways. The paths will greatly enhance the pedestrian experience and safety of the neighborhood.***
- b. Provide for parking and loading areas, refuse and service areas, with particular attention to subsection (4)a of this section and to their effects on surrounding property;

**Applicant Response: Two (2) garage parking spaces have been provided at each unit with additional parallel parking spaces. The parking lot located at the southeast corner of the site will accommodate guest parking and allow the adjacent commercial lot to conform with and exceed the Town's parking regulations through additional shared parking, including interior cross access.**

- c. Provide for screening and buffering with respect to type, dimensions and location;  
**Applicant Response: The site will be heavily landscaped with canopy trees, shrubs, hedges, groundcover, walls, etc., to screen the site appropriately from surrounding land uses. Four-sided architecture has been implemented in the building design.**
- d. Provide for signs, if any, and proposed lighting;  
**Applicant Response: One (1) monument sign will be installed at the corner of US1 and Floral Drive, and adequate site lighting have been provided and in compliance with all applicable sign and lighting requirements set forth in the Juno Beach Code of Ordinances. Additionally, lettering mounted on the proposed landscape wall will be provided at the Donald Ross entrance to alert drivers on Donald Ross.**
- e. Provide for required yards and other open space;  
**Applicant Response: A significant amount of open space has been provided throughout the entirety of the site, including an open park area centrally located within the development.**
- f. Not adversely affect the public interest;  
**Applicant Response: This proposal will provide economic growth and enhance the aesthetic of the Donald Ross corridor.**
- g. Comply with specific requirements governing the special exception requested;  
**Applicant Response: This request is in compliance with all applicable standards set forth in Article III Division 4, Article IV, and Article V. As part of this request, two (2) waivers are proposed to Sec. 34-313 as follows: 1.) Exceed the maximum permitted building dimension by 3 feet (proposed 153 ft. total), and 2.) Reduce the minimum principal structure separation by 7.5 feet (proposed 22.5 ft.).**
- h. With conditions and safeguards attached, be generally compatible with adjacent properties and or property within the district;  
**Applicant Response: This proposal is compatible with adjacent properties and similar uses within the district.**
- i. Not generate excessive noise or traffic;  
**Applicant Response: This proposal will not generate excessive noise or traffic to surrounding properties as indicated on the attached traffic generation analysis. The proposed residential use will generate less noise and traffic than a commercial project.**

- j. Not tend to create fire, disease or other equally or greater dangerous hazard;  
***Applicant Response: This proposal will not cause or create a dangerous hazard. The proposed 22.5-foot building separation provides adequate space for fire prevention and evacuation.***
  
- k. Be in harmony and compatible with the present and/or future developments of the area concerned;  
***Applicant Response: This proposal is compatible with the existing development in the area and has been designed to create harmony between residential and commercial uses.***
  
- l. Conserve the value of buildings and encourage the most appropriate use of the land and water;  
***Applicant Response: This proposal is an appropriate transition between the low density residential and commercial uses within the district.***
  
- m. Provide adequate light and air;  
***Applicant Response: The site has been carefully designed to provide adequate light and air.***
  
- n. Promote such distribution of population and such classification of land uses, development and utilization as will tend to facilitate and provide adequate provisions for public requirements, including but not limited to transportation, water flowage, water supply, drainage, sanitation, educational opportunities, and recreation;  
***Applicant Response: All aforementioned public requirements are to be provided for within this proposal.***
  
- o. Conform to the character of the district and its peculiar suitability for particular uses;  
***Applicant Response: This proposal will enhance the character of the district with the addition of lush landscaping, sidewalks, and appropriate architecture.***
  
- p. Be consistent with the needs of the town for land areas for specific purposes to serve the population and economic activities;  
***Applicant Response: Given the surrounding uses along Donald Ross Road, this proposal is consistent with the corridor and will provide a transitional housing alternative and serve to support existing economic activities.***
  
- q. Protect the tax base; and not create a financial burden on the town; and  
***Applicant Response: This proposal will not create a financial burden on the Town of Juno Beach and will enhance the tax base by improving the long dormant land.***

- r. Not be disruptive to the character of neighborhoods nor adverse to playgrounds, parks, schools and recreation areas; nor adverse to the promotion of the public health, safety, comfort, convenience, order, appearance, prosperity or general welfare.

***Applicant Response: This proposal will seamlessly complement the character of the neighborhood, creating synergy between residential and commercial uses.***

**Waivers Requested**

As part of this request, two (2) waivers are proposed to Sec. 34-313 as follows: 1.) Exceed the maximum permitted building dimension by 4 feet (proposed 154 ft. total), and 2.) Reduce the minimum principal structure separation by 7.5 feet (proposed 22.5 ft.), as indicated in Table A. The site consists of seven (7) principal structures, two (2) of which contain 7-units within the cluster. These 7-unit clusters have a length of 154 ft, located on the southernmost portion of the site. The unique shape of the site has required a creative design process to carefully place the proposed townhome clusters while maximizing potential. Given that the south boundary line measures 690 feet, these 7-unit buildings are located appropriately and buffered from Floral Drive.

The requested reduction in building separation is needed to accommodate the aforementioned 7-unit clusters, as well as the two (2) buildings fronting Donald Ross Road. These two (2) locations utilizing a 22.5-foot building separation are needed to provide adequate open space, roadway width, and setbacks, while maintaining the proposed density. The proposed 22.5-foot building separation provides adequate space for fire prevention and evacuation.

TABLE A		
	RM-2 Building Site Area Regulations	Proposal
Maximum Building Dimension	Maximum 150 ft.	154 ft
Principal Structure Separation	Minimum 30 ft.	22.5 ft.

**Public Benefit**

This project aims to provide multiple public benefits, beyond its own scope. It provides a more transitional use to protect the single-family neighborhood to the south from a harsher commercial use as currently zoned. The plan removes the threat of a Right of Way running adjacent to the single-family home in the Southwest corner of the project, that could also be used to allow unwanted traffic into the neighborhood. The proposed use removes the possibility of much less desirable development from occurring on the property based on current zoning and state laws.

Another key feature of this proposal is the implementation of a “green” meandering path along the adjacent roadways. The path is to be beautifully landscaped and extend beyond the boundary of the subject property, thus tying into the existing sidewalk to create a walkable corridor. Pedestrian circulation remains a theme within the site design by not only providing interior connectivity, but also along the adjacent arterial roadways, consistent with the Town’s vision for this district.

The applicant has prioritized protecting the single-family subdivision south of the site by utilizing heavy landscape buffers, four-sided architecture, and a reduced building height. Also, the entrance to the site along Floral Drive has been strategically located east of Oleander Avenue to mitigate any potential traffic impacts circulating through the adjacent neighborhood. Additional attention has been given to the single-family home located adjacent to the southwest corner of the site, providing a lush landscape buffer utilizing native species to create a natural screen in harmony with the existing environment throughout the neighborhood.

Additionally, the site is situated adjacent to a conservation area maintained by Palm Beach County. The conservation area has been previously accessed by County officials from the subject parcel, off of Donald Ross Road without any apparent legal authority. As part of the redevelopment's public benefit, the applicant is proposing to permit an ingress and egress easement for the benefit of TIFF to gain access to the preserve area through a designated area of the Property. Additionally, the applicant commits to enhancing this area to provide further public benefit and allowing ERM greater flexibility to maintain and patrol the conservation. Furthermore, providing ERM access through the subject site is a benefit as their legal access via Donald Ross Road presents challenges for them given the turning radii, unstable sugar sand present at the entrance, and vegetation obstructing the drive aisles.

The current shared parking agreement with Juno Square commercial plaza requires the applicant to provide 48 parking spaces available for use of Juno Square guests. The applicant has committed to significantly exceed this requirement by providing 69 parking spaces available to Juno Square. Given the current limited parking availability within Juno Square during peak hours, this commitment by the applicant provides a significant public benefit to this high traffic site by creating additional parking.

This project has been carefully constructed to align with the character of the surrounding neighborhood while implementing design features to represent the vision of Juno Beach.

## VI. Conclusion

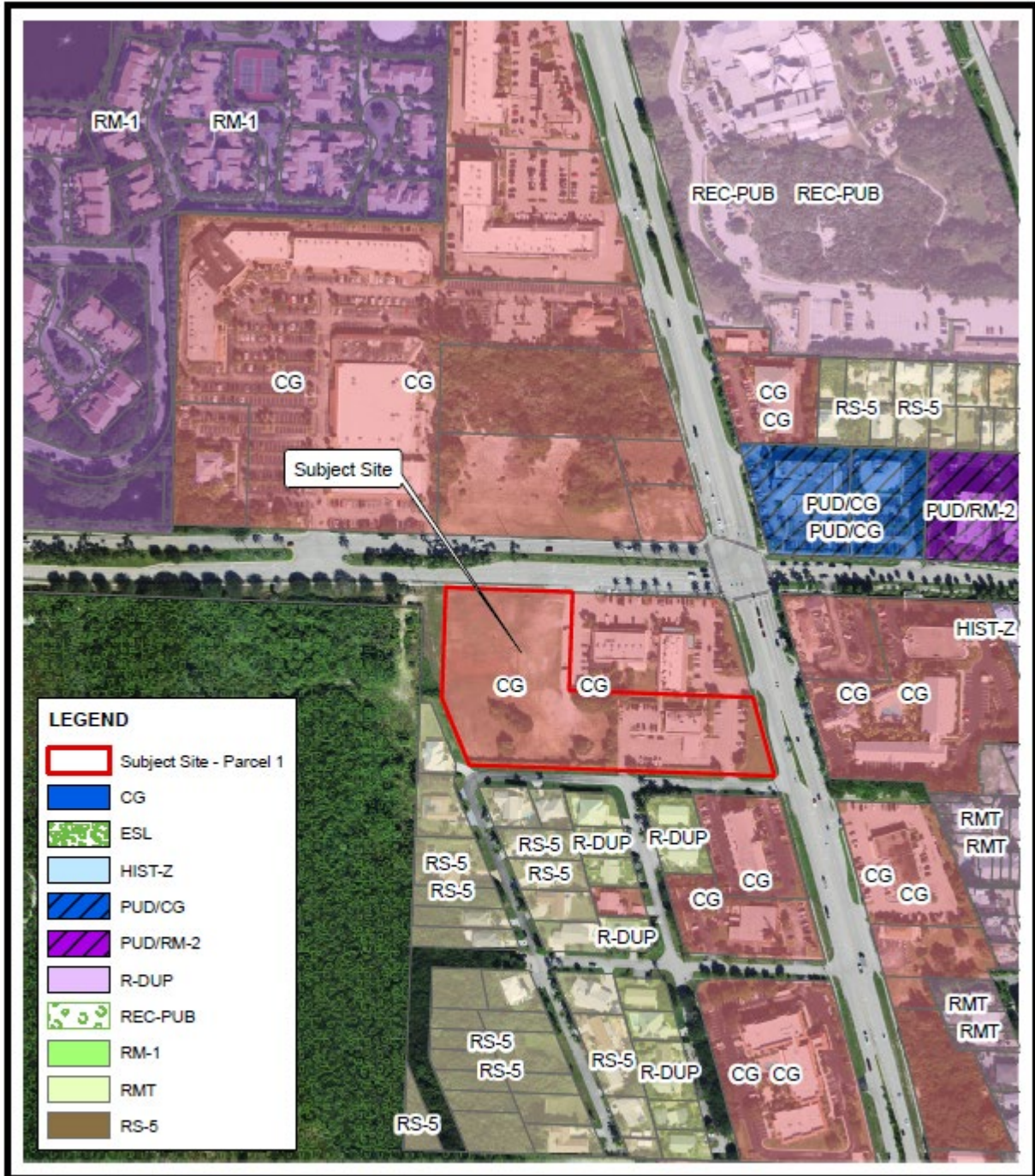
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In conclusion, the project is well-suited for the community, and enhances and supports the attributes of the existing neighboring uses. Extensive feedback from the community and staff has resulted in evolving the plans to the currently well received proposal, with a focus on high-quality architecture and public benefits. PulteGroup's proposal meets the high standard of development and improvements to this corner of the Town.

PulteGroup is proactive in working with the community throughout the process and is continuing to do so with a notification to residents via the "NextDoor" app to inform them of the project's progress. Overall, the project will bring significant and synergistic value to the area.



VII. Exhibits






1 inch = 300 feet  
 0 75 150 300 Feet

Map Document:  
 (F:\Projects Active\22-0724 Pulte - Juno Beach - Donald Rose &  
 US1\Maps and Graphics\ArcMap\_Projects)  
 03/24/2023 - 1:30:00 PM (MAK)

## Zoning Map Juno Square

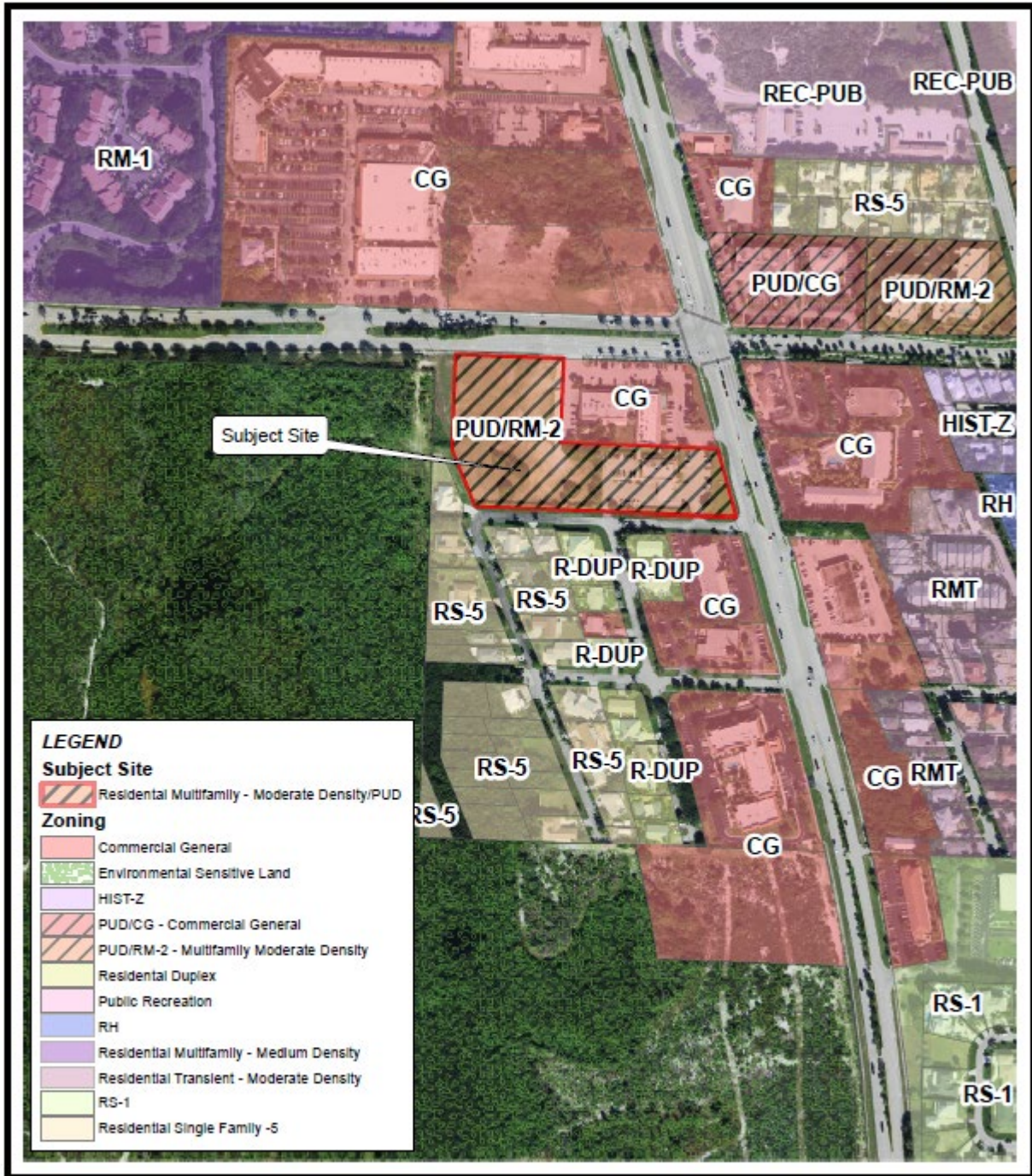
Juno Beach, Florida



**Cotleur &  
 Hearing**

1934 Commerce Lane - Suite 1 - Jupiter, FL - 33458  
 961.747.8336 - 961.747.1377





1 inch = 350 feet

0 75 150 300 Feet

Map Document:  
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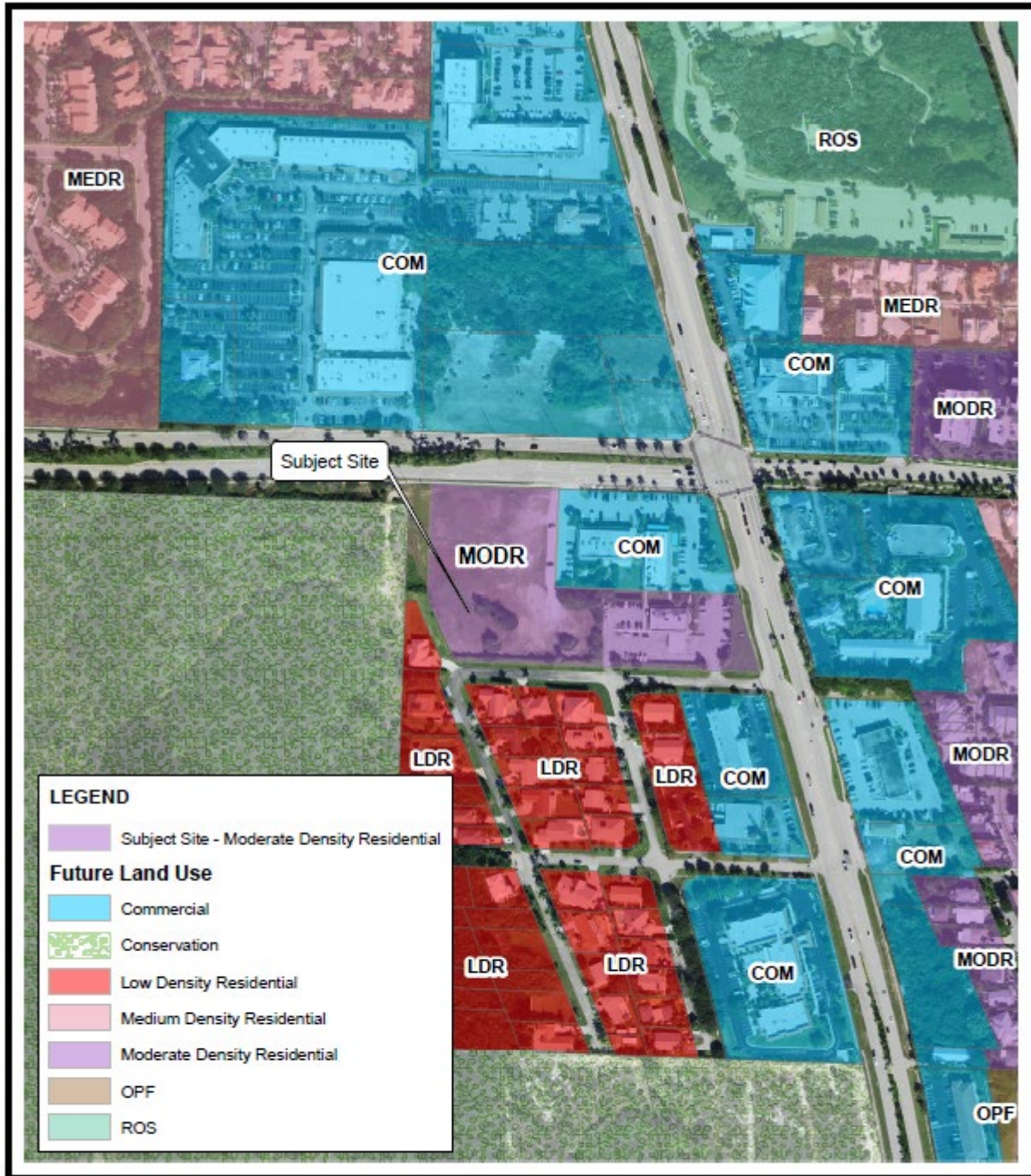
## Proposed Zoning Map

### Juno Square

Juno Beach, Florida

**Cotleur & Hearing**  
1934 Commerce Lane - Suite 1 - Jupiter, FL - 33458  
 961.747.8336 - 961.747.1377





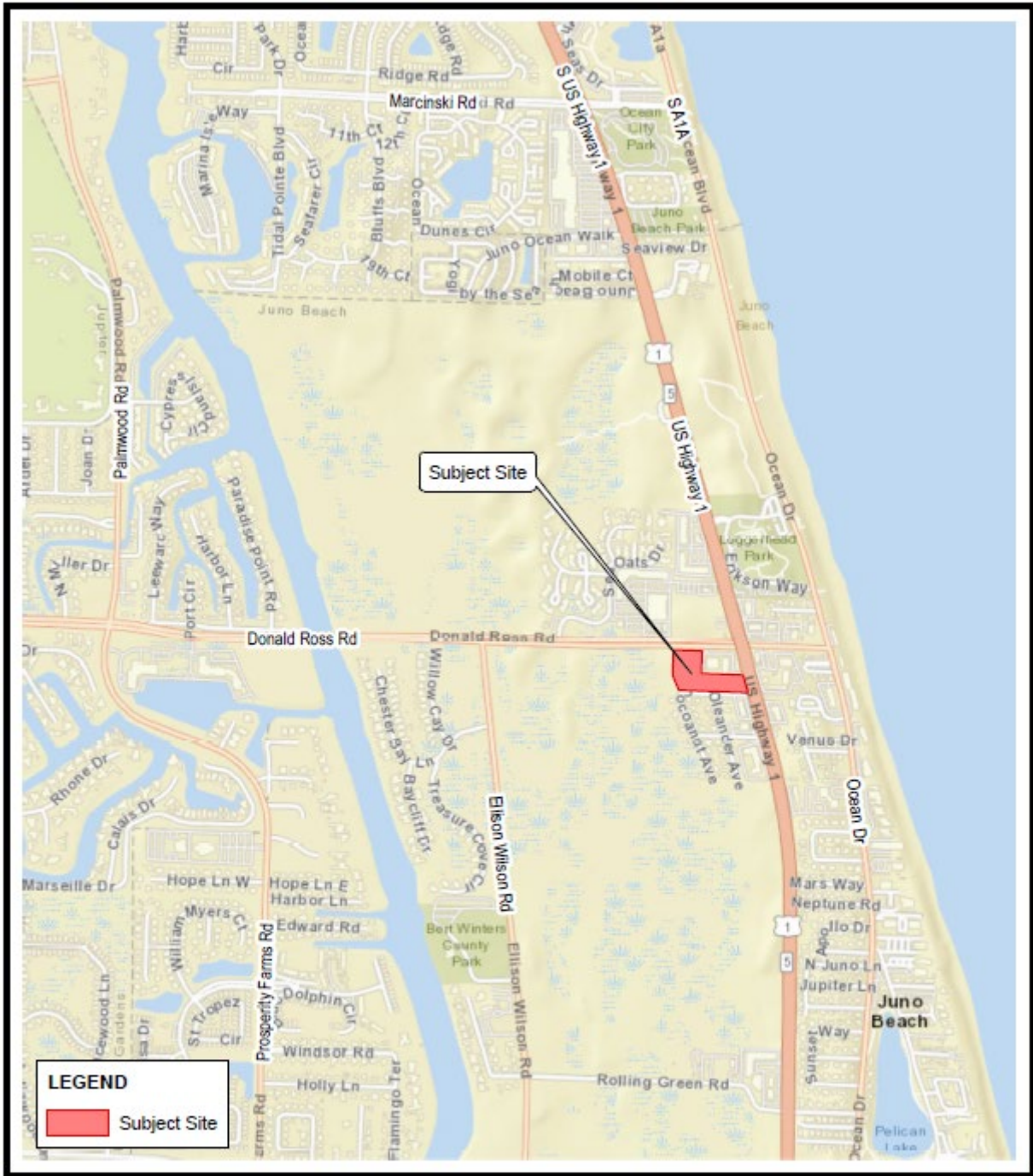
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## Proposed Future Land Use Map

### Juno Square Juno Beach, Florida

**Cotleur &  
 Hearing**  
1934 Commerce Lane - Suite 1 - Jupiter, FL - 33458  
 561.747.8338 - 561.747.1377



1 inch equals 0.25 miles  
0 0.125 0.25 Miles

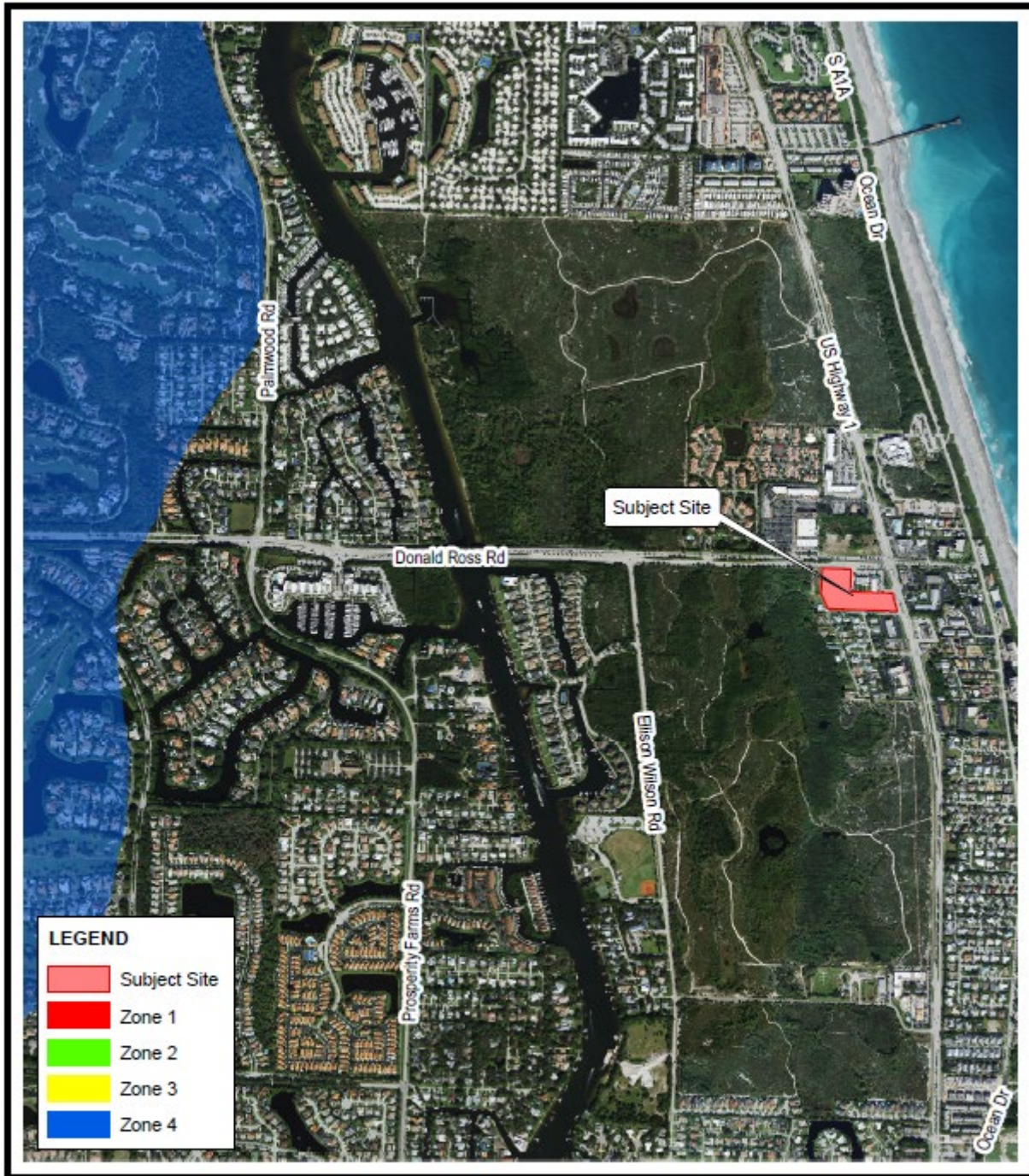
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### Location Map Juno Square Juno Beach, Florida



**Cotleur & Hearing**  
1934 Commerce Lane - Suite 1 - Jupiter, FL - 33458  
901.747.6336 - 901.747.1377





1 inch equals 0.25 miles  
0 0.125 0.25 Miles

Map Document:  
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### Wellfield Zone Map

#### Juno Square

Juno Beach, Florida

1934 Commerce Lane - Suite 1 - Jupiter, FL - 33408  
901.747.8336 - 901.747.1377





1 inch = 150 feet

0 75 150 Feet

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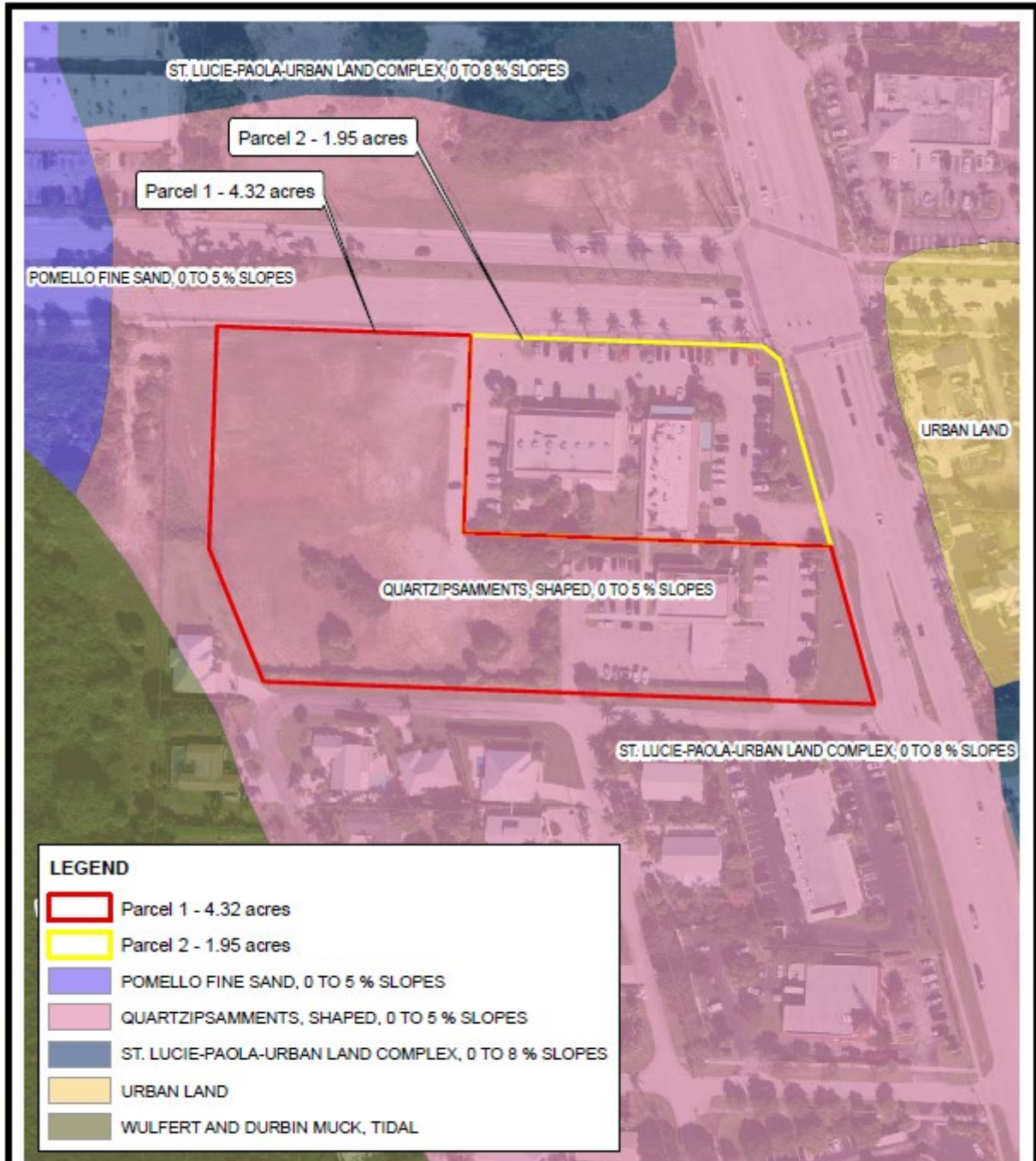
### Flood Map Juno Square

Juno Beach, Florida

Cotleur & Hearing  
1934 Commerce Lane - Suite 1 - Jupiter, FL - 33458  
901.747.8336 - 901.747.1377



The Dunes at Juno Beach  
Statement of Use  
October 27, 2023, Revised March 29, 2024, Revised May 22, 2024



1 inch = 150 feet

0 75 150 Feet

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**Soils Map  
Juno Square**  
Juno Beach, Florida

**Coteleur & Hearing**  
1934 Commerce Lane - Suite 1 | Jupiter, FL - 33458  
961.747.8336 | 961.747.1377



# THE DUNES AT JUNO BEACH

Juno Beach, Florida





# THE DUNES AT JUNO BEACH

*Juno Beach, Florida*



3D MODEL VIEW 6 - On Floral Drive looking North East



# THE DUNES AT JUNO BEACH

*Juno Beach, Florida*



3D MODEL VIEW 5 - On corner of US Highway 1 and Floral Drive looking North West



# THE DUNES AT JUNO BEACH

*Juno Beach, Florida*



3D MODEL VIEW 3 - On US Highway 1 looking South West



# THE DUNES AT JUNO BEACH

*Juno Beach, Florida*



3D MODEL VIEW 4 - On corner of US Highway 1 and Floral Drive looking North West



# THE DUNES AT JUNO BEACH

*Juno Beach, Florida*



3D MODEL VIEW 2 - On Donald Ross Road looking South East



# THE DUNES AT JUNO BEACH

*Juno Beach, Florida*



3D MODEL VIEW 2 EVENING - On Donald Ross Road looking South East



# THE DUNES AT JUNO BEACH

*Juno Beach, Florida*



3D MODEL VIEW 1 - On Donald Ross Road looking South East



## ***Juno Square***

### ***School Concurrency Narrative***

**October 9, 2023**

**Project Summary:**

The Juno Square project consists of approximately 4.32 acres of land located southwest of the intersection of Donald Ross and US1. The site is mostly vacant, with the only developed area being the southeast portion containing only a bank and parking spaces. The project has approximately 288 feet of frontage along Donald Ross and 182 feet of frontage on US1. The subject site is within the X flood zone and is not located within the Palm Beach County wellfield protection zone. The applicant requests approval of a residential project, which will produce 40 Townhome units within the Town of Juno Beach.

**Project Location:**

Juno Square currently consists of two parcels, to the east are two commercial buildings containing restaurants and retail. The area subject to development is the vacant western/southeastern parcel, the owner, PCN, and year/month acquired are provided below.

Owner	PCN	Date Acquired
Juno Square LLP	28-43-41-28-10-007-0111	02/2006

**Requests:**

To accomplish the applicant’s goals of providing additional housing that fits the needs of Juno Beach, the applicant, Juno Square LLC (“Applicant”), is proposing a series of development requests:

- 1) Development and Site Plan
- 2) Zoning Map Amendment
- 3) Comprehensive Plan Amendment
- 4) Special Exception
- 5) Easement Abandonment

**Project Contact**

Donaldson Hearing/Zach Ciciara  
1934 Commerce Lane, Suite 1  
Jupiter, FL 33458  
Phone : (561) 406-1033  
Email : [zciciara@cotleur-hearing.com](mailto:zciciara@cotleur-hearing.com)



# School Capacity Availability Determination (SCAD) Application

At least 30 days prior to seeking approval from county/local government, scan and email a completed application to [joyce.cai@palmbeachschools.org](mailto:joyce.cai@palmbeachschools.org) and [arielle.harrell@palmbeachschools.org](mailto:arielle.harrell@palmbeachschools.org).

A determination will be provided within twenty (20) days of receipt of a complete application. A determination is not transferable and is valid for one year from the date of issuance. Once a Development Order (DO) is issued, the SCAD determination shall be valid for the life of the DO.

**Select type(s) of application:**

- Future Land Use Atlas (FLUA) Amendment     Rezoning     Development Order (D.O.) or Amendment to D.O.     No Impact

**Application Review Fee(s):**

- For each type of application - \$200.00 for 20 units & more or \$100 for under 20 units.
- The SCAD review fee is non-refundable and shall be paid online through the District's SchoolCashOnline at <https://palmbeach.schoolcashonline.com/>

**PART I. PROJECT INFORMATION**

Project Name Juno Square		Municipality Juno Beach	
Property Control Number(s) 28434128100070111			SAC #(s)
Property Address 13951 US Highway 1		City Juno Beach	Zip Code 33410
General Location On the south side of Donald Ross, 400' west of the intersection of Donald Ross and US1.			Property Acreage 4.32

Complete the following table(s). Refer to the Sufficiency Checklist and provide all the required documents.

For more info, go to <https://www.palmbeachschools.org/Page/785>

**For Future Land Use Atlas (FLUA) Amendment**

CURRENT DESIGNATION		PROPOSED DESIGNATION	
Existing use of land	Vacant	Proposed use of land	Residential
Current FLUA designation	Commercial	Proposed FLUA designation	Moderate Density Residential
Maximum # of units permitted		Maximum # of units permitted	15 du/ac

**For Rezoning**

CURRENT DESIGNATION		PROPOSED DESIGNATION	
Existing use of land		Proposed use of land	
Current zoning designation		Proposed zoning designation	
Maximum # of units permitted		Maximum # of units permitted	

**For Development Order (D.O.) or Amendment to D.O.**

PROJECT INFORMATION		UNIT TYPE	NUMBER OF UNITS
Total # of units proposed	40	Single-Family	
		Multi-Family	
# of stories for each building	3	Apartments (3 stories or less)	40
		Mid-Rise Apt/Condo (4 - 8 stories)	
Are there previous approval(s)*	No	High-Rise Apt/Condo (9 stories or more)	
Will the project be phased?***	No	Mobile Home Park	

\* If applicable, please attach previous approval letter(s).

\*\* An executed Restrictive Covenant is required for age restricted communities.

\*\*\* If applicable, please attach a Phasing Plan showing the number and type of units to receive certificate of occupancy yearly.

**Owner / Agent Information**

Owner's Name Juno Square LLP		Owner's Email		Owner's Phone # 561.627.4000	
Agent's Name Zach Ciciera (Cotleur & Hearing)		Agent's Email zciciera@cotleur-hearing.com		Agent's Phone # 561.406.1033	
Mailing Address 1934 Commerce Lane, Suite 1			City Jupiter	State FL	Zip Code 33458

I hereby certify the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge.

Zach Ciciera  
Owner or Owner's Agent Signature

10/16/2023  
Date





THE SCHOOL DISTRICT OF PALM BEACH COUNTY  
 Planning and Intergovernmental Relations  
**School Capacity Availability Determination (SCAD)**  
 Application *continued*

Item #5.

Project Name <i>The Dunes of Juno Beach</i>	Owner's Name <i>Juno Square LLP</i>	Agent's Name <i>Zach Ciciera</i>
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**PART II. LOCAL GOVERNMENT REVIEW**

Date Application Filed <i>10/18/23</i>	Petition # - FLUA <i>Ord - 789</i>	Petition # - Rezoning <i>Ord - 790</i>	Petition # - D.O. <i>Res. 2024-08</i>	Petition # - No Impact <i>N/A</i>
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Reviewed By (Print Name) <i>Isabella Hickey</i>	Reviewed By Email <i>ihickey@juno-beach.fl.us</i>
--	--

*Isabella Hickey*  
 \_\_\_\_\_  
 Government Representative Signature

*Senior Planner*  
 \_\_\_\_\_  
 Government Representative Title

*5/31/24*  
 \_\_\_\_\_  
 Date

**PART III. SCHOOL DISTRICT REVIEW**

Case Type	Case Number	Date Application Received	Date Application Completed	Date SCAD Letter Issued
FLUA				
Rezoning				
D.O.				
No Impact				

Additional Information

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SCAD Fees Paid

Amount Paid \$ \_\_\_\_\_ Date Paid \_\_\_\_\_ SchoolCashOnline Receipt # \_\_\_\_\_

Notes

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The School District of Palm Beach County  
 Planning and Intergovernmental Relations  
 3661 Interstate Park Rd North, Suite 200  
 Riviera Beach, FL 33404

joyce.cai@palmbeachschools.org  
 561-882-1941

172



THE SCHOOL DISTRICT OF PALM BEACH COUNTY  
PLANNING AND INTERGOVERNMENTAL RELATIONS

**School Capacity Availability Determination (SCAD)  
Owner/Agent Consent**

Today's Date 10/09/2023

STATE OF FLORIDA

COUNTY OF Palm Beach

BEFORE ME THIS DAY JOHN CLARK BILLS PERSONALLY APPEARED WHO BEING DULY SWORN, DEPOSES AND SAYS THAT:

- He/she is the owner or has the authority to sign this form on behalf of the owner of the real property legally described in the Deed recorded in Official Record Book 19949 Page 0180 (the "Deed");
- He/she authorizes and designates Cotleur & Hearing to act in his/her behalf for the purposes of seeking a School Capacity Availability Determination on the real property legally described in the Deed;
- He/she has examined the foregoing School Capacity Availability Determination application and he/she understands how the proposed change may affect the real property legally described in the Deed.

**FURTHER AFFIANT SAYETH NOT**

The foregoing instrument was acknowledged before me this 17<sup>th</sup> day of October 20 23 by JOHN CLARK BILLS (name of person acknowledging) who is personally known to me or ~~who has produced~~ (type of identification) as identification and who

Did  Did not take an oath.

[Signature]  
Signature of Owner  
10/17/23  
Date

[Signature]  
Signature of Person Taking Acknowledgement  
10/17/23  
Date

JOHN CLARK BILLS  
Print Name of Owner

SCANDIE A. BEEB  
Print, Type or Stamp Name of Person Taking Acknowledgement

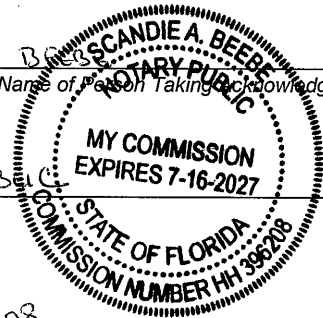
3910 PCA BLD, #1015  
Street Address

NOTARY PUBLIC  
Title or Rank

PALM BEACH GARDENS, FL 33410  
City, State, Zip Code

HH 396208  
Serial Number, if any

561-627-4000 X 228  
Telephone



(Notary's Seal)

External Sender

Item #5.



# PURCHASE

Aimee Carlson

SCAD - 2023/2024

Receipt #:

SCO67529886

No Cost

---

**Total:**

**\$600.00**



Purchased By: Aimee Carlson  
2377 Crawford Ct  
Lantana, Florida 33462  
UNITED STATES

Tender: CreditCard  
XXXX XXXX XXXX 3491  
Reference #: 56285964  
Purchase Date: Oct 16, 2023

<https://palmbeach.schoolcashionline.com>

This email was sent by KEV Software, Inc. (O/A KEV Group Inc.) located at 3000 S Hulen Street, Suite 124-562, Fort Worth, TX 76109 in the United States and 1167 Caledonia Road, Suite 200, Toronto, ON M6A 2X1 in Canada. For





CFN 20060100694  
OR BK 19949 PG 0180  
RECORDED 02/17/2006 16:06:48  
Palm Beach County, Florida  
AMT 445,000.00  
Doc Stamp 3,115.00  
Sharon R. Bock, CLERK & COMPTROLLER  
Pgs 0180 - 185; (6pgs)

PREPARED BY AND RETURN TO:  
Larry B. Alexander, Esq.  
JONES, FOSTER, JOHNSTON & STUBBS, P.A.  
Post Office Box 3475  
West Palm Beach, Florida 33402-3475

WILL CALL #85

PROPERTY CONTROL NO.: 28-43-41-28-10-007-0111  
28-43-41-28-10-007-0140

This **Special Warranty Deed** Made the 7<sup>th</sup> day of February, A.D. 2006, by: **Louis B. Bills, Individually and as Trustee of the Louis B. Bills Trust Indenture of March 31, 1987**, with full power and authority either to protect, conserve, and to sell, or to lease, or to encumber or otherwise to manage and dispose of the hereinafter described real property, and **Betsy N. Bills, Individually and as Trustee of the Betsy N. Bills Trust Indenture of December 21, 1989**, with full power and authority either to protect, conserve, and to sell, or to lease, or to encumber or otherwise to manage and dispose of the hereinafter described real property, and **F. Theodore Brown, Jr., Individually and as Trustee**, with full power and authority either to protect, conserve, and to sell, or to lease, or to encumber or otherwise to manage and dispose of the hereinafter described real property, and **H. Adams Weaver, Individually and as Trustee of the Brackett Land Trust dated April 28, 1993**, with full power and authority either to protect, conserve, and to sell, or to lease, or to encumber or otherwise to manage and dispose of the hereinafter described real property whose address is 513 U.S. Highway One, Suite 107, North Palm Beach, Florida 33408, hereinafter called the Grantor, to **JUNO SQUARE, LLP, a Florida limited liability partnership**, whose post office address is 513 U.S. Highway One, Suite 107, North Palm Beach, Florida 33408, hereinafter called the Grantee:

(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth: That the Grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, by these presents does grant, bargain, sell, alien, remise, release, convey and confirm unto the Grantee, all that certain land situate in Palm Beach County, Florida, viz:

SEE EXHIBIT "A" ATTACHED HERETO AND INCORPORATED HEREIN.

Documentary Stamp Taxes are being paid based upon the balance of the outstanding mortgage, which is \$444,914.18, since there is no change in the beneficial ownership of the subject property as Grantor is conveying their interest to a limited liability partnership, in which Grantor owns the beneficial interest.

SUBJECT TO restrictions, reservations, conditions, dedications, limitations and easements of record, and taxes for the current year and all subsequent years.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

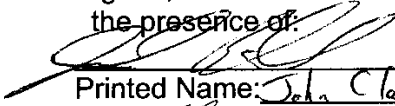
To Have and to Hold, the same in fee simple forever.

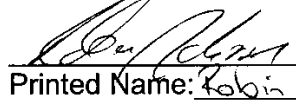
And the Grantor hereby covenants with said Grantee that it is lawfully seized of said land in fee simple; that it has good right and lawful authority to sell and convey said land; that it hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under the said Grantor.

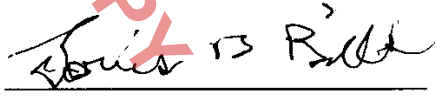
Grantor warrants that at the time of this conveyance, the subject property is commercial property and not the Grantor's homestead within the meaning set forth in the constitution of the state of Florida, nor is it contiguous to or a part of homestead property.

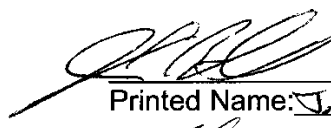
In Witness Whereof the Grantor has caused these presents to be executed in its name, the day and year first above written.

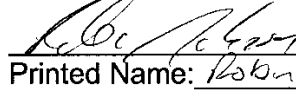
Signed, sealed and delivered in the presence of:

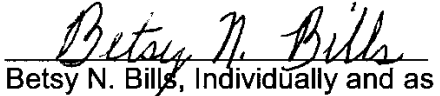
  
Printed Name: John Clark Bills

  
Printed Name: Robin Johnson

  
Louis B. Bills, Individually and as Trustee of the Louis B. Bills Trust Indenture of March 31, 1987

  
Printed Name: John Clark Bills

  
Printed Name: Robin Johnson

  
Betsy N. Bills, Individually and as Trustee of the Betsy N. Bills Trust Indenture of December 21, 1989

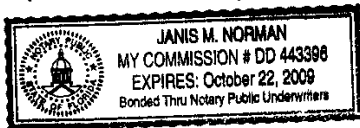
STATE OF FLORIDA  
COUNTY OF PALM BEACH

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared Louis B. Bills, Individually and as Trustee of the Louis B. Bills Trust Indenture of March 31, 1987, who is  personally known to me or who [NA] produced \_\_\_\_\_ as identification.

WITNESS my hand and official seal in the County and State last aforesaid this 3<sup>rd</sup> day of February, A.D. 2006.

Janis M. Norman  
Notary Public

(NOTARY SEAL)



My commission expires:  
10.22.09

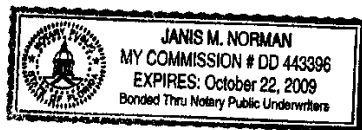
STATE OF FLORIDA  
COUNTY OF PALM BEACH

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared Betsy N. Bills, Individually and as Trustee of the Betsy N. Bills Trust Indenture of December 21, 1989, who is  personally known to me or who [NA] produced NA as identification.

WITNESS my hand and official seal in the County and State last aforesaid this 3<sup>rd</sup> day of February, A.D. 2006.

Janis M. Norman  
Notary Public

(NOTARY SEAL)



My commission expires:



Signed, sealed and delivered in the presence of:

Michele Jackson  
Printed Name: MICHELLE JACKSON

F. Theodore Brown, Jr.  
F. Theodore Brown, Jr.,  
Individually and as Trustee

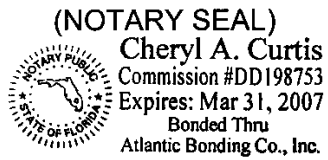
Cheryl A. Curtis  
Printed Name: Cheryl A. Curtis

STATE OF FLORIDA  
COUNTY OF PALM BEACH

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared F. Theodore Brown, Jr., Individually and as Trustee, who is [] personally known to me or who [] produced \_\_\_\_\_ as identification.

WITNESS my hand and official seal in the County and State last aforesaid this 7<sup>th</sup> day of February, A.D. 2006.

Cheryl A. Curtis  
Notary Public  
My commission expires: 3-31-2007



Signed, sealed and delivered in the presence of:

Margaret Kieta  
Printed Name: MARGARET L. KIETA

H. Adams Weaver

H. Adams Weaver, Individually and as Trustee of the Brackett Land Trust dated April 28, 1993

Mary T. Macfarlane  
Printed Name: MARY T. MACFARLANE

STATE OF FLORIDA  
COUNTY OF PALM BEACH

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared H. Adams Weaver, Individually and as Trustee of the Brackett Land Trust dated April 28, 1993, who is  personally known to me or who  produced \_\_\_\_\_ as identification.

WITNESS my hand and official seal in the County and State last aforesaid this 7 day of February, A.D. 2006.

Mary T. Macfarlane  
Notary Public

(NOTARY SEAL)

My commission expires:



Mary T. Macfarlane  
MY COMMISSION # DD136315 EXPIRES  
September 23, 2006  
BONDED THRU TROY FAIN INSURANCE, INC.

N:\lba\16415-3\Special Warranty Deed.doc

**EXHIBIT "A"**

A parcel of land in Section 28, Township 41 South, Range 43 East, Palm Beach County, Florida, more particularly described as follows:

That portion of Palm Avenue, lying between the south line of Olive Street and the north line of Floral Street, as shown on Plat of NEW PALM BEACH HEIGHTS, as recorded in Plat Book 6, Page 73, in the Office of the Clerk of the Circuit Court in and for Palm Beach County, Florida, Excepting Therefrom the part thereof which lies within 60 feet on each side of, measured at right angles to, the center line of Survey of State Road No. 5, Section 9304-112, as shown on Right-of-Way map recorded in Road Plat Book 2, page 114, Public Records of Palm Beach County, Florida; that certain portion of a street designated as OLEANDER AVENUE in New Palm Beach Heights, which portion of said street is bounded by Lots 10 through 18, Block 11, on its easterly side, by Lots 1 through 9, Block 12, on its westerly side, by the South line of Olive Street on the North, and by the north line of Floral Street on the South, all as shown on plat of New Palm Beach Heights on file in the office of the Clerk of the Circuit Court in and for Palm Beach County, Florida, recorded in Plat Book 6, page 73; those parts of Lots 11 to 18, inclusive, in Block 7, lying westerly of the westerly right-of-way line of State Road No. 5, as shown on Right-of-Way map recorded in Road Plat Book 2, Page 114, Public Records of Palm Beach County, Florida; Lots 1 to 18 inclusive, in Block 11; and Lots 1 to 14, inclusive in Block 12; all in NEW PALM BEACH HEIGHTS according to the Plat thereof on file in the Office of the Clerk of the Circuit Court in and for Palm Beach County, Florida, recorded in Plat Book 6, Page 73.

Less that portion taken by Order Of Taking recorded on O.R. Book 9635, Page 393, Public Records of Palm Beach County, Florida.

N:\ba\16415-3\Legal Description.RTF





**PULTE GROUP**

**JUNO SQUARE**

**ENVIRONMENTAL ASSESSMENT REPORT**

**PREPARED FOR:**

**Pulte Group**

**PREPARED BY:**

**EW Consultants, Inc.**

**October 2023**

## **INTRODUCTION -**

This Environmental Assessment Report has been prepared to document current natural resource and environmental site conditions on the Juno Square property. The subject property is 4.2+/- acres located in the Town of Juno Beach, Florida. The subject site is located west of US Highway 1 adjacent to retail shops and restaurants, east of Juno Dunes Natural Area and residential properties, south of Donald Ross Road and north of Flora Drive. The subject property is located in Section 28, Township 41 South, Range 43 East. Please refer to the Location Map, Quadrangle Map, and Aerial Photo Map provided in the Appendix.

## **GENERAL PROPERTY DESCRIPTION –**

A review of historic aerial photographs indicates that the majority of the property was cleared prior to 1968. Development of the eastern portion of the site began approximately in 1968 and remains developed currently with various retail stores, restaurants, and parking lots. The western portion of the site remained mostly clear of vegetation and maintained to date. There is occasional use of the grassy undeveloped portion of the site by retail vendors during certain times of the year (Christmas tree sales).

There are no wetlands or other surface waters identified on the property. There are no intact native habitat communities onsite. The eastern portion has been developed since the early 1970s and the entire site has been manipulated and maintained since the late 1960s.

## **SOILS TYPES –**

A Custom Soil Resource Report for the subject property is provided in the Appendix. This report, prepared by the United States Department of Agriculture (USDA) Natural Resource Conservation Service (NRCS) provides descriptions of the soil types within the subject property along with acreage summaries for each soil type.

## **EXISTING LAND COVER TYPES –**

The following is a summary of the land cover types and vegetative communities found on the subject site. Land cover and vegetative community classifications are mapped based on the Florida Land Use, Cover and Forms Classification System (FLUCFCS) developed by the Florida Department of Transportation. Field reconnaissance and aerial imagery interpretation were employed in the mapping of the vegetative communities on the subject property.

The FLUCFCS classifications observed on the site are described below. A land cover map of the observed vegetation community types is included as Figure 4 in the Appendix of this report. The land cover types observed on the property are described as follows:

191 – Undeveloped Land in Urban Area – 2.9 +/- acres

The western portion of the site is an open mowed field with patches of primarily shrubby vegetation. This area is primarily native and non-native grasses and ruderal weeds. The patchy vegetation consists of a mix of native and non-native species including cabbage palms, sand live oaks, carrotwood, Brazilian pepper, ficus microcarpa, ficus benjamina, schefflera, sea grape, queen palm, castor bean, puncture vine, Florida snow, pink purslane, Madagascar periwinkle, and Simpson stopper. There are signs of vehicle disturbances throughout this area as well as utility hookups and debris.

141 – Retail Sales and Services – 1.3 +/- acres

The eastern portion of the site is developed. There is a paved parking area, light poles, utility connections, an existing building, as well as landscape vegetation that is maintained regularly. The parking lot is actively used for overflow parking from the adjacent retail shops and restaurants.

**WILDLIFE AND LISTED SPECIES EVALUATION –**

In February and September 2023, observations were made for the presence and/or indicators of wildlife (common and listed) on the subject site. Listed species of wildlife are those found in *Florida's Endangered and Threatened Species*, (Florida Fish and Wildlife Conservation Commission (FFWCC) Updated June 2021). A series of pedestrian and vehicular surveys were employed to assess the relative quality and wildlife utilization of the property.

Non-listed Wildlife

A variety of common avian species were observed within the property and several others are likely to occur on a resident, seasonal, or migratory basis. Although not an exhaustive list of possible species for the site, common avian species observed during site reconnaissance on the property included mourning dove, common grackle, boat-tailed grackle, blue jay, and several species of warblers. No species of raptors were observed on site. No wading birds were observed during reconnaissance, and none are expected due to the lack of foraging opportunities on the site.

Direct observations and signs of utilization by mammals indicate the presence of grey squirrels, and rodents.

Reptile and amphibian observations included brown anole.



Listed Species Inventory and Evaluation –

The survey methodologies used for determining the status of state and/or federally listed wildlife occurrence on the site followed generally accepted protocols as specified in state and Federal guidance documents. The geographic range of the property and its associated habitats, vegetative cover types, and natural or disturbed status were the primary considerations in assessing potential occurrence of listed species.

The protected species evaluations and survey methodologies have been, and will continue to be, addressed on a species-specific basis in accordance with the Florida Fish and Wildlife Conservation Commission (FFWCC) and U.S. Fish and Wildlife Service (USFWS) protocols and techniques relative to the species under consideration.

The state and/or federally listed wildlife species with potential to occur on the subject site are summarized in the following table. Likelihood of occurrence has been indicated based on species-specific evaluations and best professional judgement, and noted as either observed during site review or likelihood of occurrence as high, medium, or low.

**Table 1. Known and Potentially Occurring Listed Faunal Species**

Common Name	Scientific Name	Preferred Habitat	Sampling Method	Occurrence*	Listed Status
					State/Federal
American alligator	<i>Alligator mississippiensis</i>	Wetland and aquatic habitat	Pedestrian and vehicular transects	L	FT/SA
Bald eagle	<i>Haliaeetus leucocephalus</i>	Nest in tall trees (usually pine) near coasts, rivers, lakes and wetlands	Pedestrian and vehicular transects	L	No longer listed Nest trees protected
Burrowing owl	<i>Athene cunicularia</i>	Sandhills, ruderal communities, dry prairies	Pedestrian and vehicular transects	L	ST
Eastern indigo snake	<i>Drymarchon corais couperi</i>	A diversity of upland/low land habitat	Pedestrian and vehicular transects	L	FT
Florida bonneted bat	<i>Eumops floridanus</i>	A diversity of forested habitats	Acoustic and roost surveys	L	FE
Florida Sandhill crane	<i>Grus canadensis pratensis</i>	Breed in emergent palustrine wetlands; forage in pastures/prairies	Pedestrian and vehicular transects; aerial nest survey	L	ST

Common Name	Scientific Name	Preferred Habitat	Sampling Method	Occurrence*	Listed Status
Gopher tortoise	<i>Gopherus polyphemus</i>	Sandhills, xeric oak scrub, sand pine scrub, scrubby flatwoods; agricultural lands	Burrow survey 100% of suitable habitat	M	ST
Little blue heron	<i>Egretta caerulea</i>	Breeding: marshes, swamps, ponds, estuaries, rivers; nest in shrubs and small trees	Pedestrian and vehicular transects	L	ST
Red-cockaded woodpecker	<i>Picoides borealis</i>	Mature pine woodlands	Pedestrian and vehicular transects	L	FE
Roseate spoonbill	<i>Ajaia ajaja</i>	Breeding: marshes, swamps, ponds, estuaries, rivers; nest in shrubs and small trees	Pedestrian and vehicular transects	L	ST
Southeast American kestrel	<i>Falco sparverius paulus</i>	Sandhill and open rangeland nest in cavities of dead trees and abandoned woodpecker nests	Pedestrian and vehicular transects	L	ST
Tricolored heron	<i>Egretta tricolor</i>	Breeding: marshes, swamps, ponds, nest in shrubs and small trees	Pedestrian and vehicular transects	L	ST
Wood stork	<i>Mycteria americana</i>	Estuarine or freshwater wetlands; nest in tops of trees in cypress or mangrove swamps	Pedestrian and vehicular transects	L	FT
Audubon's crested caracara	<i>Caracara cheriway</i>	Dry prairie, open rangeland	Pedestrian and vehicular transects	L	FT

<sup>1</sup> Observed transient    <sup>2</sup> Observed nesting and/or resident  
 \*O= Observed; H= High probability; M= Medium; L= Low;

FE = Federally-designated Endangered; FT = Federally-designated Threatened; FXN = Federally-designated Threatened Nonessential Experimental Population; FT(S/A) = Federally-designated Threatened species due to similarity of appearance;  
 ST = State-designated Threatened; SSC = State Species of Special Concern

The preferred nesting habitat for Florida Sandhill cranes is native freshwater marsh habitat, which does not occur on the property. There are no wetlands present onsite. No Sandhill cranes or Sandhill crane nests were observed on the subject property during site reconnaissance and none are expected.

Bald eagles, while no longer listed, remain protected under the Bald and Golden Eagle Protection Act. No bald eagles or bald eagle nests were observed on site. According to the FFWCC database there is a nest (PB012) approximately 2.5 miles west of the site. This nest was last reported as occupied during the 2014 nesting season. Due to the lack of suitable nesting trees, there is a low chance of utilization by this species.

The subject site is outside the U.S. Fish and Wildlife Service (USFWS) designated consultation area for Audubon's crested caracara. The lack of open prairie and rangeland on the site as well as lack of typical nest tree opportunities in an overall urbanized landscape indicates little if any potential habitat for foraging or nesting by Audubon's crested caracara. No crested caracara or caracara nests were observed on site and none are expected.

The wood stork is a federally listed threatened species. No wood storks were observed on the subject property. The preferred nesting habitat for wood storks are mangrove or cypress swamps where they form large rookeries with nests frequently located in the upper branches of cypress trees or in mangroves on islands. There are no wetlands, ditches or other surface waters found onsite, therefore no foraging or nesting opportunities for wading birds. No wood stork nests or nests of any other colonial nesting wading birds have been observed on the property. No listed wading bird nest or signs of nesting were observed during the site visits.

Florida burrowing owls are listed as Threatened by the State of Florida. They are a ground dwelling species that is often found in open, treeless fields, spending most of their time on the ground or perched on posts, fences, and short shrubs. Burrowing owls are listed as Threatened by the State of Florida. While not observed on this site, the preliminary survey revealed that the open grass field offers potential habitat for burrowing owls. Based on publicly available information, there are no known burrowing owl nesting sites or population in the immediate vicinity of the subject site. Site reconnaissance did not reveal the presence or indicators of the presence of burrowing owls. While no burrows or burrowing owls were observed during site reconnaissance and the amount of suitable habitat is limited to the undeveloped grass field area, the subject site, in its current state, has the potential to attract burrowing owls from offsite areas in the future.

The site includes no native habitat, but is considered suitable for gopher tortoises due to sandy soils and existing herbaceous vegetative cover. During the February 2023 site reconnaissance, no potentially occupied or abandoned gopher tortoise burrows were observed on the site, and no indicators of gopher tortoise activity were observed (scat and/or tracks). Given the current land use of the property, favorable soil conditions on the site, and the adjacent scrub preserve to the west, the likelihood of gopher tortoise presence is considered moderate.

The adjacent Palm Beach County Natural Area (Juno Dunes) to the west is known to have a large population of gopher tortoises. Although the property is separated by fencing, it is possible that



gopher tortoises could migrate onto the project site. In accordance with FFWCC gopher tortoise permitting guidelines, prior to any land clearing or site work, a 100% habitat survey must be completed.

A 100% gopher tortoise survey of the subject property was conducted in accordance with the Florida Fish and Wildlife Conservation Commission (FFWCC) *Gopher Tortoise Permitting Guidelines* (revised July 2020) to assess the potential presence, and if present, the quantity of gopher tortoises present. Gopher tortoises are listed as a threatened species by the Florida Fish and Wildlife Conservation Commission (FFWCC) and thus are protected by law from “taking” due to the impacts of development. The 100% gopher tortoise survey, conducted by Peter Fastuca (Licensed Gopher Tortoise Agent #GTA-21-00060) during September 2023, did not reveal the presence of any potentially occupied gopher tortoise burrows on the site. No signs of gopher tortoise activity or potentially occupied burrows were found during the 100% habitat survey.

A listed reptile species that was not observed, but has some potential to occur on the site is the threatened eastern indigo snake. The eastern indigo snake ranges widely over a diversity of upland and wetland habitats and is known to occur in the region. No eastern indigo snakes were observed on the property. While their presence on site is possible, the potential is low due to the property size, and urban development in the surrounding landscape. Regardless, standardized and specific construction awareness and notification procedures will be implemented for the protection of this species during site development.

The American alligator is listed as Federally Threatened due to similarity of appearance with the American crocodile. Alligators are relatively common throughout the region in wetland and aquatic systems. The American Alligator is not likely to occur on this site due to the lack of suitable habitat on the subject property. There were no alligators or signs of their presences observed on-site.

The Florida bonneted bat is listed as endangered by the U.S. Fish and Wildlife Service (USFWS). This species preferred habitat for roosting and nesting includes a variety of forested habitats and man-made structures. The property is located outside of the designated consultation area for this species, thus its potential for occurrence is considered low.

### Trees –

As part of the initial site evaluation, a preliminary projection of the number of native trees was conducted by Peter Fastuca, Certified Arborist (ISA FL-9368A), in accordance with standard forestry practices. This projection indicates that there are approximately fifty native trees present within the property with four inches diameter at breast height (DBH) and native palms. Species include cabbage palms, sand live oak, pigeon plum, coco plum and seagrape. Most of these trees have been planted and maintained within the eastern portion of the site. Other trees found on site includes Brazilian pepper, schefflera, Ficus macrocarpa, Ficus benjamina, carrotwood, Christmas palm, queen palm, and areca palms.

**Cultural Resource Assessment Survey –**

A Cultural Resource Assessment Survey (CRAS) has been completed for the subject Property. Field work and data collection were completed in February, 2023, and no resources considered eligible for listing in the National Registry and no archaeological resources were documented to be present on the site.

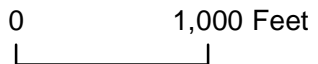
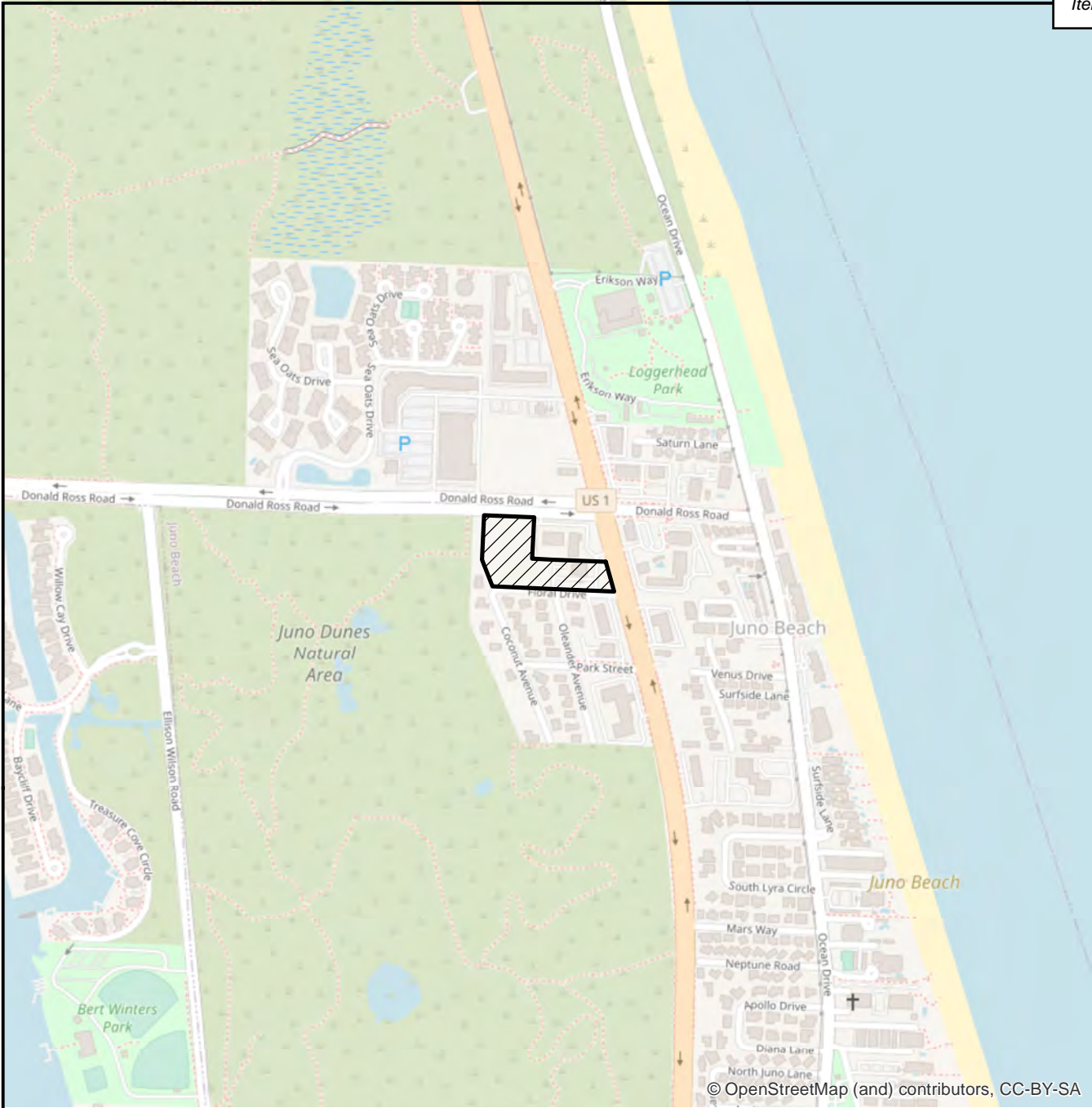
**Summary –**


The Juno Square property has been partially developed and maintained since the early 1970s. The eastern portion has been developed and landscaped with both native and non-native tree species. The western portion has been cleared and maintain as a grassy field with some small patches of mostly non-native trees as well as some native vegetation. There are no wetlands located on the property. The subject property lacks the presence of any native upland habitat.

There is low potential for the occurrence of state and/or federally listed wildlife species on the subject property. No listed wild life species or signs of their presence were observed onsite.

# APPENDIX





**LEGEND**  
 - SITE (4.2+/- AC)

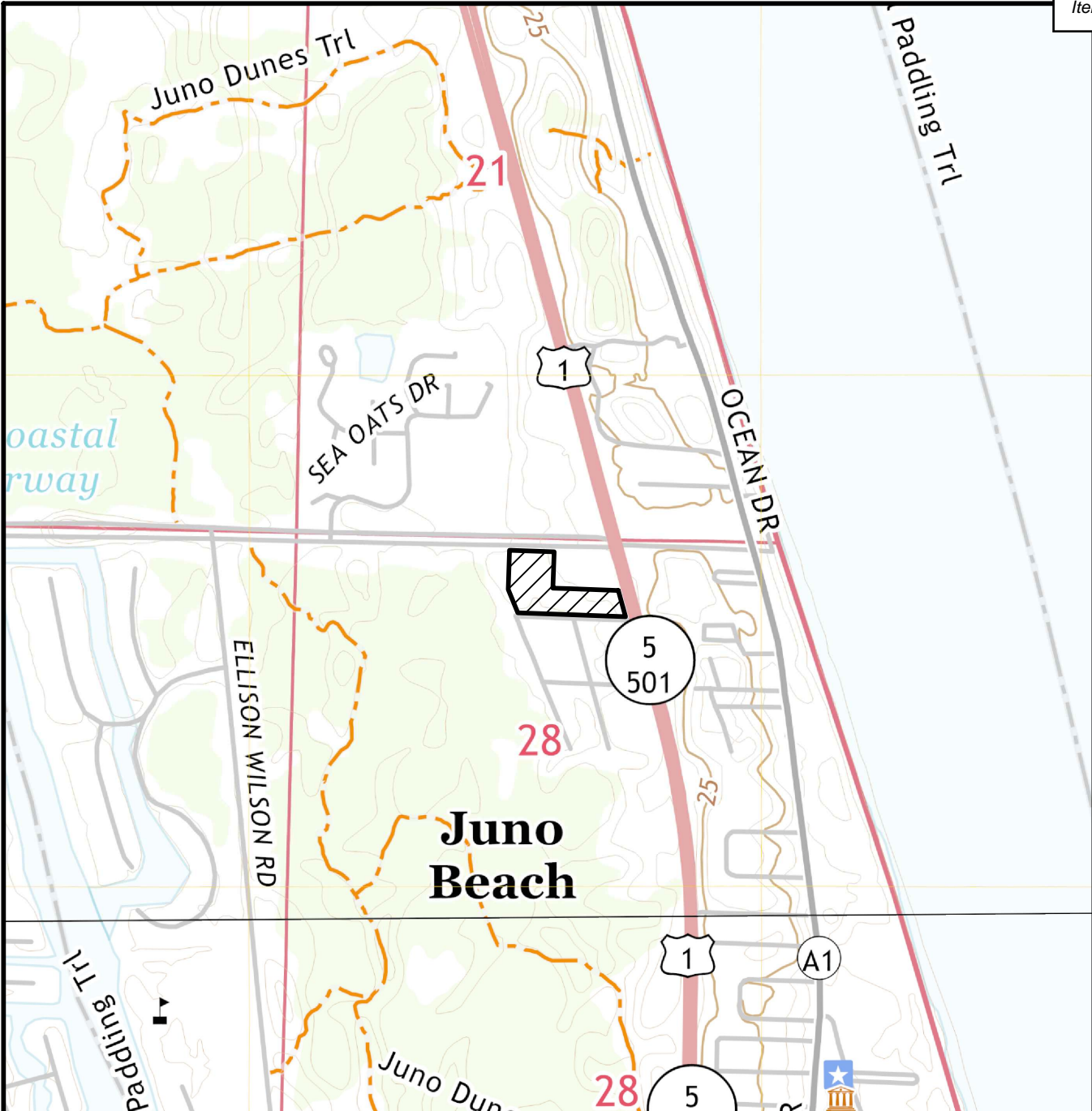


# JUNO SQUARE LOCATION



**EW CONSULTANTS, INC.**  
 1000 SE MONTEREY COMMONS BLVD., SUITE 208  
 STUART, FL 34996  
 772-287-8771 FAX 772-287-2988  
 WWW.EWCONSULTANTS.COM

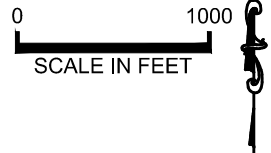
**OCT 2023**  
 FIGURE  
**1**



USGS QUAD MAP "RIVIERA BEACH", SECTION 28, TOWNSHIP 41 SOUTH, RANGE 43 EAST, TOWN OF JUNO BEACH, PALM BEACH COUNTY, FLORIDA, LATITUDE 26°52'50.89" LONGITUDE -80°03'28.77"

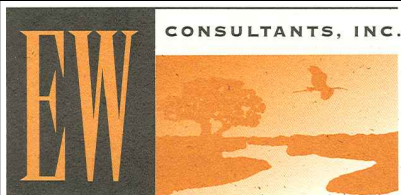
**LEGEND**

 - SITE (4.2± AC)



**JUNO SQUARE  
QUAD**

Juno\_Square.dwg QUAD



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STUART, FL 34996  
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**OCT 2023**

FIGURE

**2**





DONALD ROSS RD

US 1

PALM BEACH COUNTY AERIAL DATED 2023



# JUNO SQUARE AERIAL

Juno\_Square.dwg AERIAL



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**OCT 2023**

**FIGURE**

**3**



DONALD ROSS RD

US 1

191

191

191

141

141

PALM BEACH COUNTY AERIAL DATED 2023

**LEGEND**  
 141 - RETAIL SALES AND SERVICES (1.3± AC)  
 191 - UNDEVELOPED LANDS WITHIN URBAN AREAS (2.9± AC)  
 TOTAL SITE (4.2± AC)



**JUNO SQUARE  
FLUCFCS**



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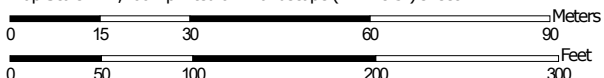
OCT 2023  
FIGURE



Soil Map—Palm Beach County Area, Florida  
(Juno Square)



Map Scale: 1:1,260 if printed on A landscape (11" x 8.5") sheet.




Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 17N WGS84




### MAP LEGEND

**Area of Interest (AOI)**

 Area of Interest (AOI)




















**Soils**







 Soil Map Unit Polygons

 Soil Map Unit Lines


 Soil Map Unit Points

**Special Point Features**






-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot

-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features


**Water Features**

 Streams and Canals

**Transportation**

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

**Background**

 Aerial Photography

### MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

**Warning:** Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
Web Soil Survey URL:  
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Palm Beach County Area, Florida  
Survey Area Data: Version 20, Aug 28, 2023

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

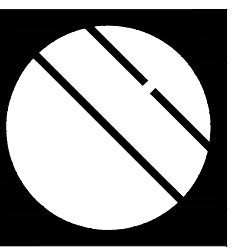
Date(s) aerial images were photographed: Dec 10, 2022—May 1, 2023

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.



## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
35	Quartzipsamments, shaped, 0 to 5 percent slopes	4.2	100.0%
<b>Totals for Area of Interest</b>		<b>4.2</b>	<b>100.0%</b>




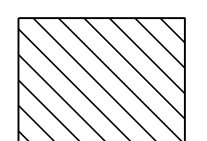
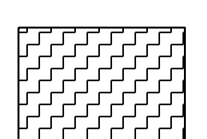
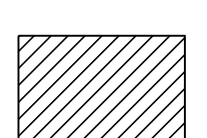

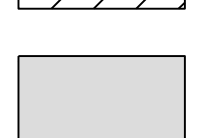
# Cotleur & Hearing

Landscape Architects  
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Jupiter, Florida 33458  
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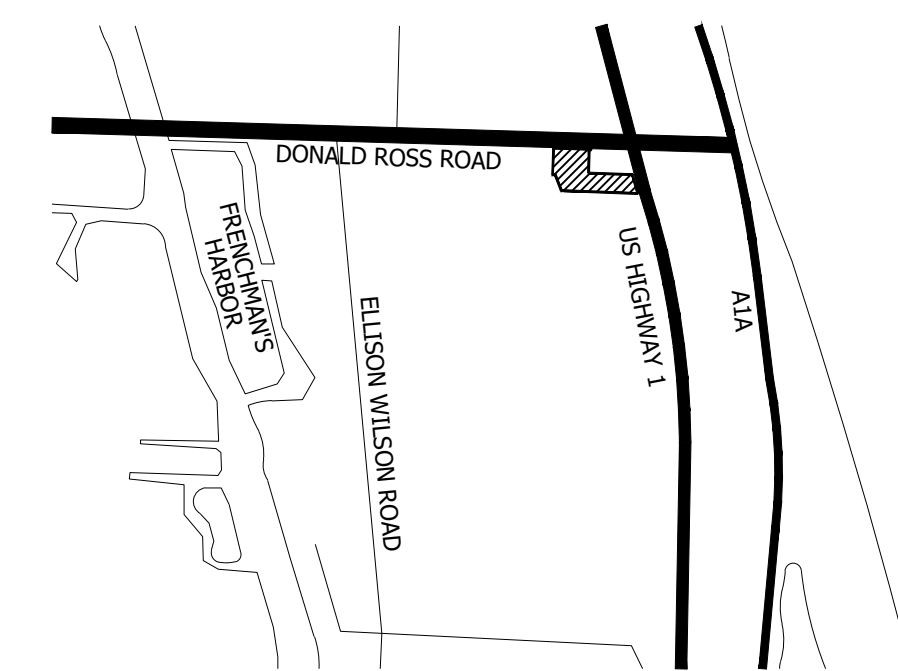
## The Dunes at Juno Beach

Pulte Homes  
US1 & Donald Ross Rd., Juno Beach, Florida



-  LANDSCAPE BUFFER
-  WATER EASEMENT
-  SEWER EASEMENT
-  UTILITY EASEMENT
-  ACCESS EASEMENT AND STABILIZED STAGING AREA
-  PUBLIC SIDEWALK EASEMENT

### LOCATION MAP



### Easement Exhibit

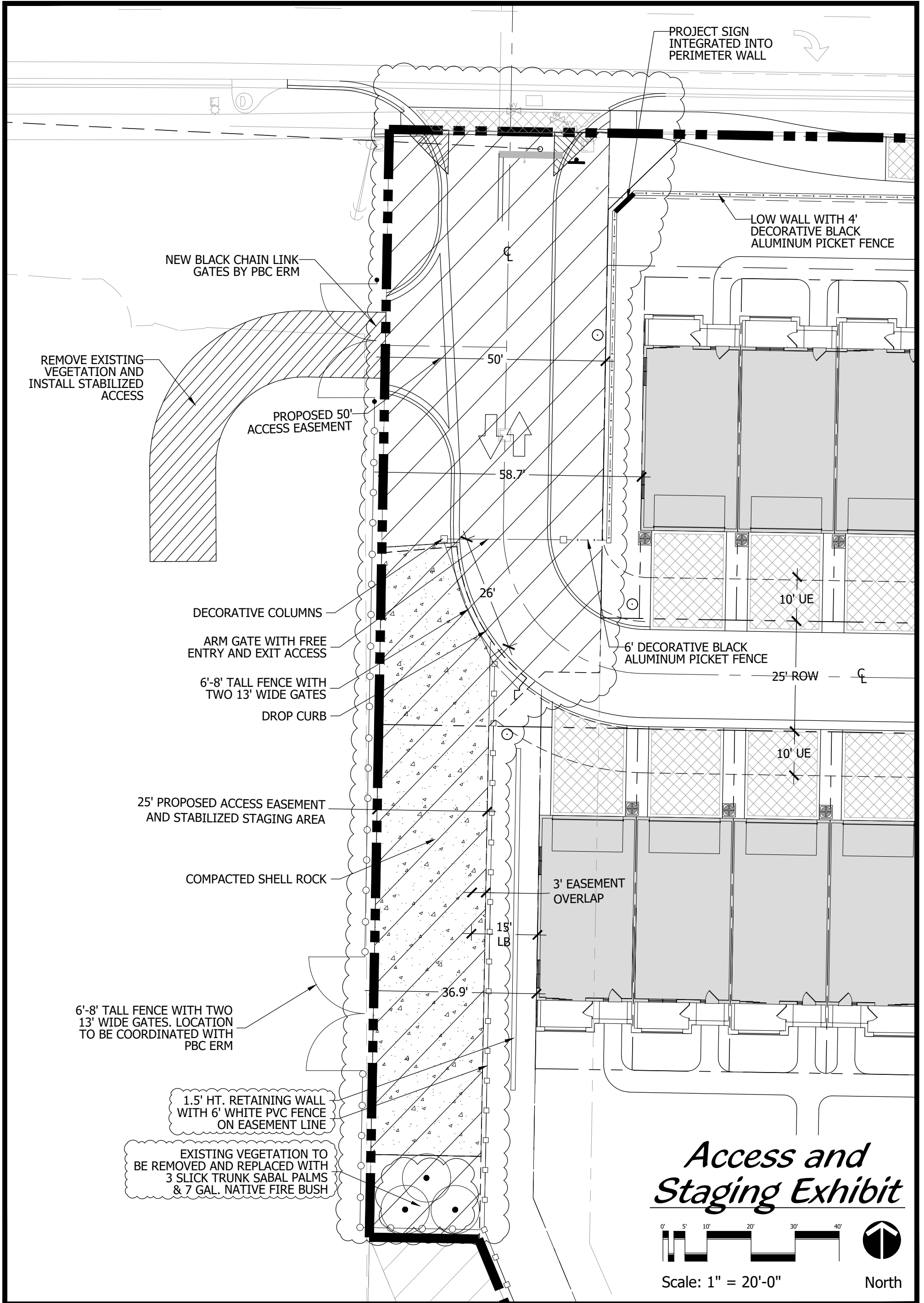
0' 20' 40' 80' 120' 160'

Scale: 1" = 40'-0"

North

DESIGNED	DEH
DRAWN	RO
APPROVED	DEH
JOB NUMBER	22-0724
DATE	03-25-24
REVISIONS	06-17-24 07-09-24

July 09, 2024 3:38:35 p.m.  
Drawing: 22-0724 SP - EEDWG



1934 Commerce Lane · Suite 1 · Jupiter · Florida · 33458  
561.747.6336 · Fax 561.747.1377 · Lic.# LC-26000535

Landscape Architects | Land Planners | Environmental Consultants

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# The Dunes at Juno Beach

## Pulte Homes

US1 & Donald Ross Rd., Juno Beach, Florida

DESIGNED \_\_\_\_\_ DEH  
DRAWN \_\_\_\_\_ RO  
APPROVED \_\_\_\_\_ DEH  
JOB NUMBER 03-25-24 22-0724  
DATE 05-13-24 04-18-24  
REVISIONS 06-12-24 07-09-24

July 09, 2024 3:02:57 p.m.  
Drawing: 22-0724.SP.DWG

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# Surface Water Management Calculations

For:

## Juno Square

Town of Juno Beach, Florida

**Date: October 16, 2023**

**Project No. 23108**

**Prepared By:**

**Jeffrey T. Schnars, P.E.**

Civil Engineer

Florida Reg. No. 6640

(FOR THE FIRM)

**SCHNARS**  
ENGINEERING CORPORATION

947 Clint Moore Road, Boca Raton, Florida 33487

Phone: 561-241-6455

Fax: 561-241-5182

**PROJECT:** Juno Square  
**ENGINEER:** Schnars Engineering Corp., Project No. 23108  
**DATE:** October 16, 2023

## STORM DRAINAGE REPORT

This proposed project is a development of the subject property into a new 40-unit townhome community. The gross site area totals 6.65 acres of land which includes vacant property and the existing Juno Square shopping center located at the southwest corner of Donald Ross Road and U.S. 1 in the Town of Juno Beach. The NE portion of the existing center will remain totaling 1.95 acres. The remaining 4.70-acre portion of the site is partially developed consisting of a bank building, parking area, and underground utility/drainage infrastructure is anticipated to be demolished and removed to accommodate the new community.

This surface water management responsibility for the property lies within the governmental jurisdictional agencies of South Florida Water Management District (SFWMD), the Florida Department of Transportation, Palm Beach County, and the City of Juno Beach. The site is located within the SFWMD Intracoastal Basin. Based on our field visit and review of the recent survey, the elevation of Donald Ross Road is significantly higher than the site elevation and the site topography descends from north to south. There is an existing 15" RCP located on the north side of the property that appears directly connected to the Donald Ross Road drainage system unrestricted without water quality detention for a small portion of the existing parking area. The developed SE portion of the site is dependent on sub-surface exfiltration trench with no off-site discharge. According to our research, there are no available SFWMD Permits for the existing commercial center. According to the geotechnical report prepared by UES and the survey, the site topography, the underlying soil characteristics, and the low water table are consistent with coastal ridge areas that are suitable for the required groundwater bleed down and flood protection purposes of stormwater runoff utilizing an exfiltration trench system. The 4.70-acre parcel will have sufficient proposed sub-surface exfiltration dry retention to satisfy the predevelopment flood stages of the existing 1.95-acre to remain. The surface water management calculations conservatively include the entire 6.65 acres.

### Design Flood Criteria

**FEMA Requirements** - in accordance with the Flood Insurance Rate Map Community Panel Number 1201920765 F, dated October 5, 2017, as published by the Federal Emergency Management Agency (FEMA), the site contains the following flood designation: Zone X.

**Finished Floor Elevations** - the minimum finished floor elevation will be above the calculated 100 year-3 day zero discharge storm elevation, the elevation specified by FEMA (Zone X) + 1 foot, or 18" above the adjacent road crown, whichever is higher.

**Minimum Perimeter Berm Elevations** - the minimum perimeter berm will be above the 25 year – 3 day zero discharge elevation.

**Road and Parking Lot Elevations** - the minimum crown of road will be above the 5 year – 1 day zero discharge elevation.

**Stormwater Treatment and Retention**

**Water Quality** - detention for water quality purposes shall be provided in the amount of 2.5 inches times the percentage of imperviousness or the first inch of runoff, whichever is greater. The wet detention volume will be provided in the proposed on-site exfiltration trench and will have no discharge. There is a small existing parking area at the NE corner of the property directly connected to the existing Donald Ross Road drainage system within the existing shopping center that will remain that has no water quality detention. The site is in the SFWMD Intracoastal Basin, an impaired water discharge area, per the attached map. The 4.70-acre portion has full onsite dry retention and will therefore satisfy the requirement for a pre-post nutrient analysis for impaired water discharge.

**Water Quantity** – adequate stormwater retention will be provided in the proposed on-site exfiltration trench and will have no discharge to store runoff for the following: 1) 100 year-3day calculated zero discharge storm event below the lowest finished floor elevation, 2) 25 year-3 day zero discharge storm event below the perimeter berm elevation, 3) 5 year-1 day zero discharge storm event below the minimum roadway crown elevation. The on-site drainage system will be designed for the 3-year storm event.

**Allowable Discharge** - off-site discharge will be unlimited to for (SFWMD Intracoastal Drainage Basin) at the 25 year – 3 day storm event but is generally limited to the pre-development runoff rate. No discharge is being proposed off-site.

**Preliminary Site Development Criteria**  
(Based on 40 TH units)

Gross Site Area	=	6.65 AC
Net Site Area (Developed Area)	=	4.70 AC
Design Water Level	=	2.00' NAVD
Minimum Road Crown	=	10.75' NAVD
Min. Perimeter Berm	=	10.75' NAVD
Minimum Finished Floor	=	14.40' NAVD
Minimum FEMA base elevation	=	Zone X
Minimum exfil length	=	850 LF
Allowable off-site discharge	=	Unlimited / Pre-Development rate
Receiving canal	=	Intracoastal basin/ No-discharge

**WELLFIELD PROTECTION ZONES**

The site is not located in the Palm Beach County wellfield protection zone, see the attached map.



# Juno Square

Town of Juno Beach, Florida  
Schnars Engineering Corp. Project No. 23108

## SOUTH FLORIDA WATER MANAGEMENT DISTRICT SURFACE WATER MANAGEMENT CALCULATIONS

<u>1) SITE DATA:</u>	<u>ACREAGE:</u>	<u>2) STAGE ELEVATIONS (NAVD):</u>		
<u>Land Use</u>		<u>Percent:</u>	<u>From:</u>	<u>To:</u>
Building	1.31 Ac.	19.7%	14.40	up
Pave On	1.39 Ac.	20.9%	10.75	15.50
Side On	0.47 Ac.	7.1%	13.00	15.95
Green On	1.86 Ac.	28.0%	12.30	15.95
Pav Off	0.90 Ac.	13.5%	12.05	18.68
Side Off	0.18 Ac.	2.7%	17.00	18.16
Green Off	0.54 Ac.	8.1%	12.05	19.10
Exfil.	<u>0.00 Ac.</u>	<u>0.0%</u>	3.50	7.50
<b>TOTAL AREA:</b>	<b>6.65 Ac.</b>	<b>100%</b>		

Total Impervious:	4.25 63.91%	Average Existing Grade:	8.1 NAVD
		Average Proposed Grade:	14.4 NAVD
		Lake, Water Table:	13.00 NAVD
Total Pervious:	2.40 36.09%	Depth to Water Table:	1.4 Ft.

### 2) FLOOD AND RAINFALL CRITERIA:

24 Hour Rainfall:			
3 Year	5.50 in.		
5 Year	7.00 in.	Min. Road Crown (NAV	10.75 NAVD
25 Year	9.93 in.		
100 Year	12.14 in.	Min. Floor Elev. (NAVD	14.40 NAVD
Maximum Available Soil Storage, SFWMD:		8.18 in. (Coastal)	

### 3) COMPUTE STAGE STORAGE: (Stage = FT, NAVD; Storage = AC-FT)

<u>Stage:</u>	<u>Pave On</u>	<u>Pav Off</u>	<u>Side Off</u>	<u>Side On</u>	<u>Green Off</u>	<u>Exfil.</u>	<u>Green On</u>	<u>Total:</u>
7.00	0.00	0.00	0.00	0.00	0.00	2.28	0.00	2.28
7.50	0.00	0.00	0.00	0.00	0.00	2.76	0.00	2.76
8.00	0.00	0.00	0.00	0.00	0.00	3.25	0.00	3.25
8.50	0.00	0.00	0.00	0.00	0.00	3.74	0.00	3.74
9.00	0.00	0.00	0.00	0.00	0.00	4.23	0.00	4.23
9.50	0.00	0.00	0.00	0.00	0.00	4.72	0.00	4.72
10.00	0.00	0.00	0.00	0.00	0.00	5.21	0.00	5.21
10.50	0.00	0.00	0.00	0.00	0.00	5.70	0.00	5.70
11.00	0.01	0.00	0.00	0.00	0.00	5.94	0.00	5.95
11.50	0.08	0.00	0.00	0.00	0.00	5.94	0.00	6.02
12.00	0.23	0.00	0.00	0.00	0.00	5.94	0.00	6.17
12.50	0.45	0.01	0.00	0.00	0.01	5.94	0.01	6.42
13.00	0.74	0.06	0.00	0.00	0.03	5.94	0.12	6.89
13.50	1.11	0.14	0.00	0.02	0.08	5.94	0.37	7.66
14.00	1.55	0.26	0.00	0.08	0.15	5.94	0.74	8.72
14.50	2.06	0.41	0.00	0.18	0.23	5.94	1.23	10.05
15.00	2.64	0.59	0.00	0.32	0.33	5.94	1.86	11.68

# Juno Square

Town of Juno Beach, Florida  
Schnars Engineering Corp. Project No. 23108

## SOUTH FLORIDA WATER MANAGEMENT DISTRICT SURFACE WATER MANAGEMENT CALCULATIONS

### 4) WATER QUALITY:

Greater of the following (5A. & 5B.)  
Store the first inch for the entire site or the amount  
of 2.5 times the percentage of imperviousness.

#### A. First Inch:

$V = 1 \text{ in.} \times \text{Total Area} \times 1 \text{ ft./12 in.}$

$$\begin{array}{r} \text{Total (Ac.): } V = (\text{ac-ft}) \\ 6.65 \quad 0.55 \end{array}$$

#### B. 2.5 Times Percent Impervious:

1. Site Area = Total Area - (Lake Area + Bldg. Area)

$$\begin{array}{r} \text{Total (Ac.):} \quad \text{Lake:} \quad \text{Bldg.:} \quad \text{Site (Ac.):} \\ 6.65 \quad 0.47 \quad 1.31 \quad 4.87 \end{array}$$

2. Impervious Area = Site Area - Pervious Area

$$\begin{array}{r} \text{Site (Ac.):} \quad \text{Pervious:} \quad \text{Imperv.:} \\ 4.87 \quad 2.40 \quad 2.47 \end{array}$$

3. 2.5 in. x Imperv./Site x Total Area x 1 ft./12 in.

$$\begin{array}{r} \text{Imperv.:} \quad V=(\text{ac-ft}) \\ 2.47 \quad 0.70 \end{array}$$

#### C. Total Required Detention:

1. The total required detention for water quality is either the first inch or 2.5 times the percent imperv whichever is greater. The total required detention

$$\begin{array}{r} \text{Water Quality (ac-ft):} \quad \text{Water Quality (Elev.):} \\ 0.70 \quad \mathbf{5.40 \text{ NAVD}} \end{array}$$

2. Allowable discharge thru bleed down device is 1/2" per day of the required detention volume:

$$\begin{array}{r} \text{Req'd ac-ft} \quad \text{ac-ft / day} \quad \text{Allow.CFS} \\ 0.70 \quad 0.26 \quad 0.36 \end{array}$$

3. Allowable Hillsboro Basin: 35.0 CSM

$$\begin{array}{r} \text{Total (Ac.):} \quad \text{Allow CFS} \\ 6.65 \quad 0.36 \end{array}$$

### 5) RUNOFF (ZERO DISCHARGE)

#### A. Soil Storage

1. Soil Storage (S) = Available Soil Storage x Pervious Area/Total Area  
(See C-35, SFWMD Vol.IV)

$$\begin{array}{r} \text{Av. Soil St.} \quad \text{Pervious:} \quad \text{Total (Ac.):} \quad \text{S = (in.):} \\ 8.18 \quad 2.40 \quad 6.65 \quad 2.95 \end{array}$$

# Juno Square

Town of Juno Beach, Florida  
Schnars Engineering Corp. Project No. 23108

## SOUTH FLORIDA WATER MANAGEMENT DISTRICT SURFACE WATER MANAGEMENT CALCULATIONS

### B. 100 Yr.-3 Day Storm Event (Min. Finished Floor)

Finished Floor Elevation: 14.40 NAVD

1. Rainfall - 3 Day Duration (P):

$$P_{72} = P_{24} \times 1.359$$

$$P_{24} = 12.14 \text{ in.}$$

$$P_{72} = 16.50 \text{ in.}$$

2. Runoff, Q (in.)

$$Q = \{(P - 0.2 \times S)^2\} / (P + 0.8 \times S)$$

<u>P72 (in.):</u>	<u>S = (in.):</u>	<u>Q (in.):</u>
16.50	2.95	13.42

3. Total Runoff Volume, V (ac-ft.)

$$V = Q \times \text{Total Area} \times 1 \text{ ft.} / 12 \text{ in.}$$

<u>Q (in.):</u>	<u>Total (Ac.):</u>	<u>V=(ac-ft):</u>
13.42	6.65	7.44

4. From the Stage - Storage Curve, the zero discharge elevation is:

Interpolate Stage between... 13.00 13.50

**Stage: 13.36 NAVD**

The stage is at or below the Minimum Finished Floor Elevation.

### C. 25 Yr.-3 Day Storm Event (Perimeter Berm)

1. Rainfall - 3 Day Duration (P):

$$P_{72} = P_{24} \times 1.359$$

$$P_{24} = 9.93 \text{ in.}$$

$$P_{72} = 13.49 \text{ in.}$$

2. Runoff, Q (in.)

$$Q = \{(P - 0.2 \times S)^2\} / (P + 0.8 \times S)$$

<u>P72 (in.):</u>	<u>S = (in.):</u>	<u>Q (in.):</u>
13.49	2.95	10.50

3. Total Runoff Volume, V (ac-ft.)

$$V = Q \times \text{Total Area} \times 1 \text{ ft.} / 12 \text{ in.}$$

<u>Q (in.):</u>	<u>Total (Ac.):</u>	<u>V = (ac-ft):</u>
10.50	6.65	5.82

4. From the Stage - Storage Curve, the zero discharge elevation is:

Interpolate Stage between... 10.50 11.00

Interpolate Runoff between... 5.70 5.95

**Stage: 10.74 NAVD**



**Juno Square**  
 Town of Juno Beach, Florida  
 Schnars Engineering Corp. Project No. 23108

**SOUTH FLORIDA WATER MANAGEMENT DISTRICT  
 SURFACE WATER MANAGEMENT CALCULATIONS**

**D. 5 Yr.-1 Day Storm Event (Parking Lot Criteria)**

Min. Road Elevation 10.75 NAVD

1. Rainfall - 1 Day Duration (P):

P24 = 7.00 in.

2. Runoff, Q (in.)

$$Q = \{(P - 0.2 \times S)^2\} / (P + 0.8 \times S)$$

<u>P24 (in.):</u>	<u>S = (in.):</u>	<u>Q (in.):</u>
7.00	2.95	4.39

3. Total Runoff Volume, V (ac-ft.)

$$V = Q \times \text{Total Area} \times 1 \text{ ft.} / 12 \text{ in.}$$

<u>Q (in.):</u>	<u>Total (Ac.):</u>	<u>V = (ac-ft):</u>
4.39	6.65	2.43

4. From the Stage - Storage Curve, the zero discharge elevation is:

Interpolate Stage between...	7.00	7.50
Interpolate Runoff between...	2.28	2.76

**Stage: 7.16 NAVD**

The stage is at or below the Minimum Road Crown Elevation.

**6) SUMMARY**

Required Water Quality Storage:	0.70 ac-ft	
Site Soil Storage:	2.95 in	
Allowable Detention Discharge:	0.26 ac-ft/day	
Detention Discharge Provided:	0.10 ac-ft	Full retention of the water quality volume
Allow. Intracoastal Basin Discharge	0.36 CFS	
Discharge Provided:	0 CFS	

**POST DEVELOPMENT ZERO DISCHARGE**

5 Yr.-1 Day Storm:	2.43 ac-ft	7.16 NAVD Stage Elevation
25 Yr.-3 Day Storm:	5.82 ac-ft	10.74 NAVD Stage Elevation
100 Yr.-3 Day Storm:	7.44 ac-ft	13.36 NAVD Stage Elevation

**FLOOD ROUTINGS**

5 Yr.-1 Day Storm:	NAVD	cfs Disch.	See Cascade Analysis
25 Yr.-3 Day Storm:	NAVD	cfs Disch.	See Cascade Analysis

**Juno Square**  
Town of Juno Beach, Florida  
Schnars Engineering Corp. Project No. 23108

**SOUTH FLORIDA WATER MANAGEMENT DISTRICT  
SURFACE WATER MANAGEMENT CALCULATIONS**

**7) SITE AREA DATA BREAKDOWN:**

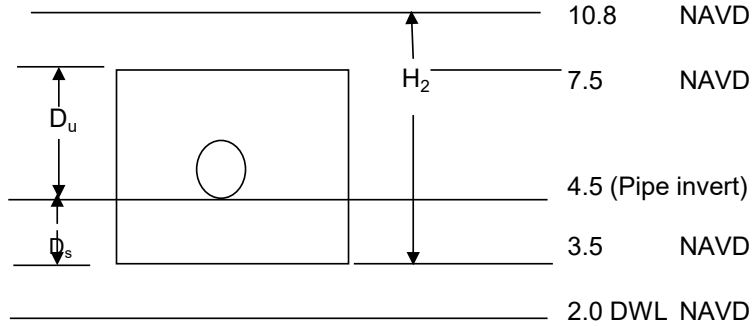
<u>Land Use</u>	<u>Pervious</u>	<u>Impervious</u>	<u>Total</u>
Building	0.00 Ac.	1.31 Ac.	1.31 Ac.
Pave On	0.00 Ac.	1.39 Ac.	1.39 Ac.
Side On	0.00 Ac.	0.47 Ac.	0.47 Ac.
Green On	1.86 Ac.	0.00 Ac.	1.86 Ac.
Pav Off	0.00 Ac.	0.90 Ac.	0.90 Ac.
Side Off	0.00 Ac.	0.18 Ac.	0.18 Ac.
Green Off	0.54 Ac.	0.00 Ac.	0.54 Ac.
Exfil.	0.00 Ac.	0.00 Ac.	0.00 Ac.
<b>Totals:</b>	<b>2.40</b> Ac.	<b>4.25</b> Ac.	<b>6.65</b> Ac.

# Juno Square

Town of Juno Beach, Florida

Schnars Engineering Corp. Project No. 23108

## Stage vs Storage in Exfiltration Trench Calculation



### Variables:

$W = 4.0$  (ft)  $D_s = 0.0$  (ft)  
 $D_u = 4.0$  (ft) max.  $H_2 = \text{varies}$   
 $k_{avg} = 1.15E-03$  cfs/ft<sup>2</sup>-ft head --- from geotechnical report

$$X = k_{avg}(H_2W + 2H_2D_u - D_u^2 + 2H_2D_s) + 1.39e-4WD_u$$

$$L = \frac{V}{X}$$

Solve for V:  $L = 850$  ft --- from plans  
 $V = 71.29$  ac in  
 $V = 5.94$  ac ft

The capacity of the exfiltration trench increases as the head increases ( $H_2$ )

Elev.	$H_2$ (feet)	V (ac ft)
3.50	0.00	0.00
4.00	0.50	0.20
4.50	1.00	0.45
5.00	1.50	0.73
5.50	2.00	1.06
6.00	2.50	1.42
6.50	3.00	1.83
7.00	3.50	2.28
7.50	4.00	2.76
8.00	4.50	3.25
8.50	5.00	3.74
9.00	5.50	4.23
9.50	6.00	4.72
10.00	6.50	5.21
10.50	7.00	5.70
11.00	7.50	5.94
11.50	8.00	5.94
12.00	8.50	5.94
12.50	9.00	5.94
13.00	9.50	5.94



Prepared by and return to:  
 Scott Clements  
 Area General Counsel  
 Pulte Home Company, LLC  
 2301 Lucien Way, Suite 155  
 Maitland, Florida 32751

### AFFIDAVIT

#### STATE OF FLORIDA COUNTY OF ORANGE

BEFORE ME, the undersigned officer authorized to administer oaths, on this day personally appeared **Scott M. Clements**, who upon being duly sworn, deposes and says:

1. He is over the age of eighteen (18) years and has personal knowledge of the facts stated herein.
2. He is Area General Counsel, Vice President, and Assistant Secretary of **Pulte Home Company, LLC**, a Michigan limited liability company (the "LLC"), successor by conversion of **Pulte Home Corporation**, a Michigan corporation, which has never been dissolved.
3. The individuals identified below have been duly authorized to execute documents on behalf of the LLC in accordance with the Signing Power Resolutions adopted by the LLC as of January 1, 2017, currently in effect and attached hereto in pertinent part as Exhibit "A" (the "Signing Powers Resolution"), and such documents, properly executed by the individuals identified below, on behalf of the LLC are binding upon the LLC:

<b>Richard McCormick</b>	Area President (Florida)
<b>Brian Yonaley</b>	Area Vice President – Finance (Florida)
<b>Brent Baker</b>	Division President (Southeast Florida)
<b>Christopher Long</b>	Vice President – Finance (Southeast Florida)
<b>Daniel Bryce Langen</b>	Vice President – Finance and Treasurer
<b>Gregory S. Rives</b>	Assistant Treasurer
<b>Patrick Gonzalez</b>	Vice President – Land Development (Southeast Florida)
<b>Garrett Dinsmore</b>	Director – Land Development (Southeast Florida)
<b>Aimee Carlson</b>	Director – Land Development (Southeast Florida)
<b>Andrew Maxey</b>	Vice President – Land Acquisition (Southeast Florida)
<b>Adam Garon</b>	Vice President – Construction Operations (Southeast Florida)
<b>Scott Clements</b>	Vice President and Assistant Secretary
<b>Bridjette Shelfo</b>	Vice President – Sales (Southeast Florida)
<b>Brian Brook</b>	Vice President – Purchasing (Southeast Florida)
<b>Travis Hucks</b>	Director of Product (Florida Zone)
<b>Michael Blake Lapinsky</b>	Assistant Secretary (North Florida, West Florida, Southeast Florida, and Southwest Florida)
<b>Joshua S. Graeve</b>	Assistant Secretary (North Florida, West Florida, Southeast Florida, and Southwest Florida)
<b>Justin Wood</b>	Assistant Secretary (North Florida, West Florida, Southeast Florida, and Southwest Florida)
<b>Craig Russo</b>	Assistant Secretary (North Florida, West Florida, Southeast Florida, and Southwest Florida)


4. Additionally and specifically, **Heather Overmyer**, as **Division Controller**; **Anita Hernandez**, **Andrea Ferrer**, **Lidia Rom**, and **Carrie Vazquez**, as **Closing/Homebuyer Coordinators**, and **Joey Hartman**, **Jeremy Needelman**, and **Christian Domeck**, as **General Sales Managers**, have been duly authorized to execute (i) contracts for the sale of residential homes or lots to consumers (not to another business), and (ii) deeds of conveyance and all other documents that are relevant or incident to the sale and closing of residential homes or lots to consumers (not to another business), including any mortgage-related documents, such as buydown agreements or other relevant documents, on behalf of the LLC, and such documents, properly executed by such individuals on behalf of the LLC, are binding upon the LLC.

Further, **Daniel Bryce Langen**, as **Vice President-Finance and Treasurer**, and **Gregory S. Rives**, as **Assistant Treasurer**, have been and are duly authorized to execute bonds and any other bond-related documents on behalf of the LLC, and such documents, properly executed on behalf of the LLC are binding upon the LLC.

5. The Signing Powers Resolution, Paragraph C., RESOLUTIONS, I-V, VII, and VIII, identifies certain titles in the Division Specific Signing Power sections, which titles are clarified and shall correspond as set forth below:
  - A. Omission of the words "Gulf Coast," "North Florida," "West Florida," "Florida," "Southeast" or "Southwest" after an officer's name does not constitute improper, incomplete or incorrect execution and does not affect or limit the authority of the otherwise duly authorized officer in any way;
  - B. Division VP/Director of Finance shall mean either a Division-level (i.e., Southeast Florida-level) Vice President – Finance or a Director of Finance;
  - C. Division VP/Director of Land Development/Acquisition shall mean either a Division-level (i.e., a Southeast Florida-level) Vice President – Land Development or Vice President – Land Acquisition; or either a Director of Land Development or a Director of Land Acquisition;
  - D. Division VP/Director of Construction Operations shall also mean either a Division-level (i.e., Southeast Florida-level) Vice President – Construction Operations or a Director of Construction Operations;
  - E. Division/Project Controller shall also mean either Division Controller or Project Controller;
  - F. Division VP of Sales shall also mean Vice President – Sales.
6. The LLC is not now and has never been a debtor in a bankruptcy proceeding during the existence of the LLC.
7. This Affidavit is given for the purposes of evidencing incumbency and authority of the employees named above and pursuant to the provisions of Section 689.045, Florida Statutes.

  
 \_\_\_\_\_  
 Scott M. Clements

Sworn to and subscribed before me by means of  physical presence or  online notarization this 20<sup>th</sup> day of August, 2021, by Scott M. Clements, Area General Counsel, Vice President, and Assistant Secretary of Pulte Home Company, LLC, a Michigan limited liability company, on behalf of the LLC, who is personally known to me.

  
 \_\_\_\_\_  
 Print Name: Kelly V. Costantino  
 Notary Public, State of Florida  
 Commission No.: GG929396  
 Commission Expires: 01/23/2024



**EXHIBIT A**  
**SIGNING POWER RESOLUTIONS**



**CERTIFIED RESOLUTIONS  
OF THE BOARD OF DIRECTORS OF  
PULTE HOME COMPANY, LLC**

I, Scott M. Clements, hereby certify that I am a duly elected and acting Assistant Secretary of PULTE HOME COMPANY, LLC, a limited liability company authorized and existing under the laws of the State of Michigan; that attached is a true copy of the resolutions adopted by the Board of Directors of the limited liability company to be effective January 1, 2017; and that such resolutions have not been rescinded or modified, and do not contravene any provisions of the Articles of Organization or Operating Agreement of said limited liability company.


IN WITNESS WHEREOF, I have here unto set my hand this 3<sup>rd</sup> day of January, 2017.

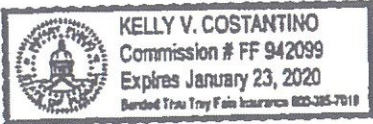
  
Scott M. Clements, Assistant Secretary

STATE OF FLORIDA     )  
  )  
COUNTY OF ORANGE    )

On January 3, 2017, before me, Kelly V. Costantino, a Notary Public in and for said State, personally appeared Scott M. Clements, personally known to me to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument the entity upon behalf of which the person acted, executed the instrument.

WITNESS my hand and official seal.

  
Kelly V. Costantino, Notary Public  
Orange County, Florida  
My Commission Expires: 01/23/2020



**EXHIBIT A****PULTE HOME COMPANY, LLC SIGNING  
POWER RESOLUTIONS****A. DEFINITIONS.**

As used in these resolutions:

"signing power" means the power and authority to execute and deliver an agreement, instrument or other document.

"General Signing Power" means signing power relating to the ordinary course of business of PULTE HOME COMPANY, LLC (the "Company") generally, without restriction to a particular Division or project, both in the Company's own capacity and in any instances where it is the managing partner or managing member of a joint venture (the "Partnership").

"Division Specific Signing Power" means signing power relating only to the ordinary course of business of a Division over which the officer, manager, or employee in question has management responsibility, both in the Company's own capacity and as managing partner or managing member of the Partnership.

**B. PURPOSE.**

The purpose of these resolutions is to establish the signing power of certain employees of the Company, both in the Company's own capacity and as managing partner or managing member of the Partnership. Copies of these resolutions may be delivered to title companies and other parties who require evidence of the signing power of an employee. No employee of the Company may subdelegate his or her signing power except as expressly provided in these resolutions by use of the words: "Other title(s) or person(s) designated in writing by . . .".

**C. RESOLUTIONS.**

RESOLVED, that the following officers, managers, or employees of the Company shall have the General Signing Power or the Division Specific Signing Power, as indicated in the charts below:

# EXHIBIT A

## Development of Real Property

I. General Development. Applications, tentative and final subdivision plats and maps, development agreements, land development agreements, amenity contractor agreements and all other documents that are relevant or incident to the development of real property in which the Company or the Partnership has any interest, other than documents contemplated in part VI below:

<i>General Signing Power</i>	<i>Division Specific Signing Power</i>
Chairman of the Board	Area President
Chief Executive Officer	Area VP Finance
President	Area VP Land
Executive Vice President	Division President
Senior Vice President	Division VP/Director Finance
Vice President	Division VP/Director of Land Development/Acquisition

House Construction Agreements. Contractor agreements, construction agreements, contracts, purchase orders, pricing schedules, scopes of work and all other documents that are relevant or incident to the construction of residential homes and amenities thereto in which the Company or the Partnership has any interest, other than documents contemplated in the paragraph immediately above this one:

<i>General Signing Power</i>	<i>Division Specific Signing Power</i>
Chairman of the Board	Area President
Chief Executive Officer	Area VP Finance
President	Area VP Construction Operations
Executive Vice President	Area Purchasing Director
Senior Vice President	Division President
Vice President	Division VP/Director Finance
	Division VP/Director of Construction Operations
	Division Purchasing Director/Manager

## Storm Water Management

II. Notices of intent, notices of termination, storm water pollution prevention plans, reports, certifications or other documentation that is relevant or incident to storm water



management and erosion control in the development of real property and/or construction of homes in which the Company or the Partnership has any interest.

<i>General Signing Power</i>	<i>Division Specific Signing Power</i>
Chairman of the Board	Area President
Chief Executive Officer	Area VP Finance
President	Area VP Land
Executive Vice President	Division President
Senior Vice President	Division VP/Director Finance
Vice President	Division VP/Director of Land Development/Acquisition
	Division Storm Water Compliance Representative

**Sale and Closing of Residential Homes or Lots**

III. Contracts for the sale of residential homes or lots to consumers (not to another business).

<i>General Signing Power</i>	<i>Division Specific Signing Power</i>
Chairman of the Board	Area President
Chief Executive Officer	Area VP Finance
President	Division President
Executive Vice President	Division VP/Director Finance
Senior Vice President	Division Controller
Vice President	Division VP of Sales
	General Sales Manager
	Closing/Homebuyer Coordinator
	Any of the following employees of either Pulte Mortgage LLC: Vice President, Branch Manager and Assistant Secretary
	Any of the following employees of either Sun City Title Agency, Inc. or PGP Title, Inc. or PGP Title of Florida, Inc.: Vice President, Escrow Manager, Escrow Supervisor, Director-Closing Services, and Title Officer

**EXHIBIT A**

	Other title(s) or person(s) designated in writing by either the Area President or Area VP Finance
--	---

IV. Deeds of conveyance and all other documents that are relevant or incident to the sale and closing of residential homes or lots to consumers (not to another business), including any mortgage-related documents, such as buydown agreements or other relevant documents.

<i>General Signing Power</i>	<i>Division Specific Signing Power</i>
Chairman of the Board	Area President
Chief Executive Officer	Area VP Finance
President	Division President
Executive Vice President	Division VP/Director Finance
Senior Vice President	Division Controller
Vice President	Division VP of Sales
	General Sales Manager
	Closing/Homebuyer Coordinator
	Any of the following employees of either Pulte Mortgage LLC: Vice President and Branch Manager
	Any of the following employees of either Sun City Title Agency, Inc. or PGP Title, Inc. or PGP Title of Florida, Inc.: Vice President, Escrow Manager, Escrow Supervisor, Director-Closing Services, and Title Officer
	Other title(s) or person(s) designated in writing by either the Area President or Area VP Finance

**Closing of the Purchase and Sale of Real Property**

V. Contracts, deeds and all other closing documents for the purchase or sale of real property (other than the sale and closing of residential homes or lots to consumers).

<i>General Signing Power</i>	<i>Division Specific Signing Power</i>
Chairman of the Board	Area President
Chief Executive Officer	Area VP Finance
President	Area VP Land

Executive Vice President	Division President
Senior Vice President and General Counsel	Division VP/Director of Finance
Other title(s) or person(s) designated in writing by resolution(s) of the Board of Directors	Division VP of Land Development/Acquisition

**Real Property Financing and Land Banking Transactions**

VI. Documents related to any of the following real property financings and land banking transactions:

- a. **Traditional Financing.** Loan agreements, security agreements, promissory notes, deeds of trust and all other documents that are relevant or incident to the financing of the purchase and/or development of real property.
- b. **Special Taxing District Financing.** Loan agreements, security agreements, promissory notes, deeds of trust and all other documents under which the Company or the Partnership is a party that are relevant or incident to a Special Taxing District Financing (defined below), other than documents contemplated in Guarantees and Environmental Indemnities.

“**Special Taxing District Financing**” means a financing through the issuance of bonds by a community development district, community facilities district, municipal utility district, county or municipal improvement district, tax incremental district or other similar special purpose unit of local government.

- c. **Guarantees and Environmental Indemnities.** Guarantees of payment or performance of the obligations of another entity (whether in the form of a payment guaranty, indemnity or other document), maintenance or remarking guarantees and environmental indemnities in connection with development financing.
- d. **Land Banking Transactions.** Assignments of contracts to purchase real property, options to purchase real property, development agreements and other documents evidencing arrangements with an intermediary, such as a land banker, to purchase or develop real property.

<i>General Signing Power</i>	<i>Division Specific Signing Power</i>
Chief Financial Officer of the publicly traded ultimate parent	
Treasurer of the publicly traded ultimate parent	



**Licenses**

VII. Documents necessary to obtain licenses and department of real estate public reports or similar documents in California and other states (such as, without limitation, Arizona and Nevada).

<i>General Signing Power</i>	<i>Division Specific Signing Power</i>
Chairman of the Board	Area President
Chief Executive Officer	Area VP Finance
President	Area VP Land
Executive Vice President	Division President
Senior Vice President	Division VP/Director of Finance
Vice President	Division VP/Director Sales
	Division VP of Construction Operations
	Area VP/Division VP/Director Land Acquisition/Development

**CC&Rs**

VIII. Restrictive covenants, conditions, restrictions, easements and other similar rights or restrictions, commonly known as CC&Rs, affecting real property or improvements on real property, and documents relating to CC&Rs, such as the organizational documents for the related homeowners' or property owners' association.

<i>General Signing Power</i>	<i>Division Specific Signing Power</i>
Chairman of the Board	Area President
Chief Executive Officer	Area VP Finance
President	Area VP Land
Executive Vice President	Division President
Senior Vice President	Division VP/Director Finance
Vice President	Division VP/Director Land Acquisition/Development

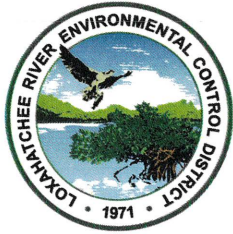
RESOLVED FURTHER, that all lawful acts specifically described in the immediately preceding resolution, undertaken prior to the adoption of these resolutions, in the Company's own capacity or as managing partner or managing member of the Partnership, are hereby ratified, confirmed and adopted by the Company.

**EXHIBIT A**

**RESOLVED FURTHER**, that any **Signing Power Resolutions or Powers of Attorney and Grants of Agency** previously issued or adopted by the **Company** are hereby **terminated, revoked and superseded** in their entirety by these resolutions.

Effective as of **January 1, 2017**.

\* \* \* \* \*



# LOXAHATCHEE RIVER DISTRICT

Item #5.

2500 JUPITER PARK DRIVE, JUPITER, FLORIDA 33458

TEL: (561) 747-5700

FAX: (561) 747-9929

D. Albrey Arrington, Ph.D. EXECUTIVE DIRECTOR

[loxahatcheeriver.org](http://loxahatcheeriver.org)

May 14th, 2024

Juno Square LLP  
Pulte Home Company LLC  
1475 Centre Park Blvd #140  
West Palm Beach FL 33401-7406

Attn: Mr. Patrick Gonzalez

Re: Developer Agreement – Juno Square LLP-D23006

Dear Mr. Patrick Gonzalez:

Pursuant to the terms of the agreement between the Loxahatchee River Environmental Control District and Juno Square LLP, quarterly payments of the Monthly Service Availability Standby Charges are due and payable upon billing.

Service Availability Standby Charges are calculated at the rate of 68% of the normal monthly service charge in accordance with District Rules, Chapter 31-10 F.A.C. The amount now due for the 66.00 Equivalent Connections is \$1,384.80. This payment is for the 2nd Quarter 2024 from the execution of the Developer Agreement through the end of the billing quarter (June 30<sup>th</sup> 2024).

Hereafter, you will receive a statement at the beginning of each billing quarter (January, April, July, October).

To ensure prompt handling of your SAS payment, please send your payments to:

L.R.E.C.D.  
2500 Jupiter Park Drive  
Jupiter, FL 33458-8964

Should you have any questions, please do not hesitate to contact our office at (561) 401-4096. Thank you for your attention to this matter.

Best regards,

Cindy Denton  
Project Coordinator  
[cindy.denton@lrecd.org](mailto:cindy.denton@lrecd.org)

**Stephen B. Rockoff**  
CHAIRMAN

**Kevin L. Baker**  
BOARD MEMBER

**Gordon M. Boggie**  
BOARD MEMBER

**Dr. Matt H. Rostock**  
BOARD MEMBER

**Clinton R. Yerkes**  
BOARD MEMBER





**Loxahatchee River District**

2500 Jupiter Park Drive  
Jupiter, FL 33458  
(561)747-5700 Ext: 2

Item #5.

**SAS BILL**

**ACCOUNT INFORMATION**

ACCOUNT NO: 49374820-0  
LOCATION: 13951 US HWY 1  
BILLING DATE: 05/14/24  
DUE DATE: 05/31/24  
BILLING PERIOD: 04/01/24 to 06/30/24

**AMOUNT DUE**

SEWER PREVIOUS BALANCE: 524.64-  
CURRENT CHARGES: 1,909.44  
PENALTY: 0.00  
TOTAL DUE: 1,384.80

**CURRENT CHARGES DETAIL**

DESCRIPTION	UNITS	FLAT	USAGE	TOTAL
SAS DEVELOPMENT	66.00	1,909.44	0.00	1,909.44

**SPECIAL MESSAGE**

For questions about your Service Availability Standby(SAS)bill, please contact Cindy Denton at (561)401-4096. You may also email: [cindy.denton@lrecd.org](mailto:cindy.denton@lrecd.org)

2024 2nd Quarter SAS Billing  
April, May & June

**PAYMENT COUPON - PLEASE DETACH AND RETURN THIS PORTION ALONG WITH YOUR PAYMENT**

**ACCOUNT INFORMATION**

ACCOUNT NO: 49374820-0  
LOCATION: 13951 US HWY 1  
BILLING DATE: 05/14/24

**AMOUNT DUE**

DUE DATE: 05/31/24  
CURRENT DUE: 1,384.80  
PENALTY: 0.00  
TOTAL DUE: 1,384.80



**AMOUNT ENCLOSED**

**MAKE CHECKS PAYABLE TO:**

Loxahatchee River District  
2500 Jupiter Park Dr  
Jupiter, FL 33458  
[www.loxahatcheeriver.org](http://www.loxahatcheeriver.org)

JUNO SQUARE LLP  
PULTE HOME COMPANY LLC  
1475 CENTRE PARK BLVD #140  
WEST PALM BEACH FL 33401-7406

Item #5

LRECD - 102 dated 08-05-2019  
Prepared By & Return To:  
Kris Dean, P.E.  
Loxahatchee River District  
2500 Jupiter Park Drive  
Jupiter, Florida 33458

STANDARD DEVELOPER AGREEMENT  
P#D23006

THIS AGREEMENT MADE AND ENTERED INTO this 14<sup>th</sup> day of May, 2024, by and between LOXAHATCHEE RIVER ENVIRONMENTAL CONTROL DISTRICT, hereinafter referred to as the "District" and the undersigned, hereinafter referred to as "Developer", with regard to the property described in Exhibit "A", attached hereto and made a part hereof, (the "Property"). References herein to the "Rule" or "Rules" shall mean the Rules of the Loxahatchee River Environmental Control District as same may be amended from time to time hereafter, which are hereby incorporated by reference.

IN CONSIDERATION of the covenants and agreements herein set forth, the parties agree as follows:

1. PROVISION OF RESERVE AVAILABILITY

The District shall provide Reserve Service Availability, as same is defined in Rule 31-10, in the Regional Wastewater System of the District to the extent of 66 equivalent connections, as same are defined in Rule 31-10, for the Property.  
40 Units x 1.75 EC's = 70 EC's - 4.00 EC's credit = 66 EC's

2. TERMS OF ACCEPTANCE

Upon signing this Agreement, Developer shall pay to the District the sum of One Hundred Four Thousand Six Hundred Twenty Eight Dollars and 48/100ths (\$104,628.48) Dollars. This sum represents the following charges:

- (a) The Administrative, Legal, Engineering and Inspection expenses of \$180.16 per equivalent connection. \$ 11,890.56
- (b.1) The equivalent of Four (4) quarterly service availability standby charges for the equivalent connections of Paragraph 1 \$159.12/eq. yr Residential \$ 10,501.92

- (c) The Regional Transmission System Line  
Charges per Rule 31.10.005(2) of \$1,246.00  
per equivalent connection. \$ 82,236.00

3. QUARTERLY SERVICE AVAILABILITY STANDBY CHARGE

Additional Quarterly Service Availability Standby Charges, as defined in Rule 31-10 for each equivalent connection shall be collected quarterly from the Developer until the Plant Connection Charges have been paid as provided for in Paragraph 4.

4. PLANT CONNECTION CHARGES AND COMMENCEMENT OF QUARTERLY SERVICE CHARGES

Prior to making actual physical connection of a building on the Property to the Regional Wastewater System the Developer shall pay the Plant Connection Charge per Rule 31.10.005(2) of \$1,918.00 per equivalent connection. Immediately upon such physical connection, the Developer shall begin paying the Quarterly Service Charge in effect at that time. If a Property Owner's Association, or equivalent has been, or is to be formed, that association will be responsible for payment of the Quarterly Service Charges for all units constructed under this agreement. Prepaid Quarterly Sewer Service Availability Standby Charges shall be prorated as of the time of physical connection, so that (a) the Developer shall receive either a credit against the Plant Connection Charge, or other fees and charges due to the District, otherwise a cash payment back to the Developer, equal to the unexpired prepaid Quarterly Service Availability Standby Charges, or 10 1/2 Months of Prepaid Quarterly Service Availability Standby Charges, whichever is less, and (b) the District shall retain the remaining portion of the Quarterly Service Availability Standby Charges.

5. DEFAULT

(1) Upon failure of the Developer to pay any monies due under this Agreement for any period greater than ninety (90) days from the date they become due, this Agreement shall be deemed in default, and shall become null and void; and in that event any Quarterly Service Availability Standby Charges or Regional Transmission System Line Charges paid or prepaid shall be retained by the District, and the provision of reserve service availability to the extent of the number of equivalent connections set forth in Paragraph 1 hereof for the Property shall terminate.

(2) This Agreement may be reinstated after default for failure to make the quarterly service availability standby charge payment(s) if:

- (a) Sewer capacity exists for this Agreement at the time of such reinstatement, and
- (b) The missed quarterly service availability standby charge payments do not extend beyond the existing twelve (12) months of prepaid service availability standby charges; and
- (c) The missed service availability standby charge payments, a reinstatement fee equal to two and one-quarter (2.25) times the missed Service Availability Standby Charge payments, and the Plant Connection Charge at the rate set forth in paragraph 4 above, shall all be paid in full before the expiration of said twelve (12) months referenced in 5(2)(b) above.



6. TRANSFERABILITY OF RESERVE SERVICE AVAILABILITY

Any assignment of any part or all of Developer's interest in this Agreement shall only be in the form LRECD-106 dated 1-1-98 incorporated herein by reference. The assignment of Reserve Service Availability for an undeveloped lot which is to be sold shall be in the form of the prepayment of the estimated Plant Connection Charge at or prior to the time of sale of the lot. The Reserve Service Availability under this Agreement may not be transferred from the Property to any other property.

7. ALLOCATION OF SERVICE AVAILABILITY

In the event that, from time to time, in the opinion of the District, Reserve Service Availability shall be insufficient to meet the expected demand, therefore, then the District shall proportionately allocate such Reserve Service Availability.

8. ATTORNEY'S FEES

In the event litigation is necessary to enforce the provisions of this Agreement, the District shall be entitled to an award of its reasonable attorney's fees and costs provided it is determined to be the prevailing party by the court.

9. RECORDATION

A copy of this Agreement may be filed in the records of the county where the Property is located without the plans and specifications referred to below.

10. ADDITIONAL FACILITIES

Any new wastewater facilities constructed by the Developer and connected to the District's Regional Wastewater System shall be constructed at the Developer's expense in accordance with final plans and specifications approved by the District, a copy of which shall be kept on file at the office of the District; and shall, upon completion, be conveyed to the District by provision of the following items in a form acceptable to the District: 1.) Bill of Sale 2.) Grant of Easement 3.) Maintenance Bond or Letter of Credit 4.) As-Built Drawings 5.) Certification by Project Engineer 6.) Plat of the Project. The aforesaid final construction plans and specifications shall be prepared and carried out in accordance with District Rules, and published procedures as contained in the District Manual of "Construction Standards and Technical Specifications", form LRECD-123 dated April, 2012 incorporated herein by reference.

11. DEDICATION OF LAND

Developer agrees that, upon demand, it shall grant and convey to the District, without additional consideration, all required easements and rights-of-way in the Property as the District may, from time to time hereafter request, based upon the criteria of utilization for utility purposes related to water, wastewater, I.Q. water, and stormwater.

12. PROPERTY LIEN RIGHTS

The District shall have a lien on the Property and premises serviced by it for all charges, until paid, for services provided to the Property or premises by the District, or connection fees associated therewith, which lien shall be prior to all other liens, except that such lien shall be on parity with the lien of the state, county and municipal taxes, and any lien for charges for services created pursuant to Section 159.17, Florida Statutes. Such lien shall be perfected by the District by recording in the official records of the county in which the property is located a claim of lien in form substantially as provided in Section 713.08, Florida Statutes. A copy of the claim of lien shall be served as provided in Section 713.18, Florida Statutes, within ten (10) days after the claim of lien is recorded. If 30 days after service has been made liens created under this section remain delinquent, such liens may be foreclosed by the District in the manner provided by the laws of Florida for the foreclosure of mortgages on real property, and the District shall be entitled to reasonable interest and attorney's fees and other court costs.

IN WITNESS WHEREOF, the Developer has hereunto set his hand and seal on the date of

May 10 2024

Signed, sealed and delivered  
in the presence of:

Jenessa Blown  
WITNESS SIGNATURE

Print Name: Jenessa Blown  
Address: 1475 Centrepark Blvd. #305  
West Palm Beach, FL 33401

Humberto C. Martinez  
WITNESS SIGNATURE

Print Name: Humberto C. Martinez  
Address: 1475 Centrepark Blvd. #305  
West Palm Beach, FL 33401

DEVELOPER: Pulte Home Company LLC

By: [Signature]  
Print Name: PATRICK A. GONZALEZ  
Title: Vice President  
Land Development

FOR PURPOSES OF THIS AGREEMENT  
THE OFFICIAL ADDRESS OF THE  
DEVELOPER SHALL BE AS FOLLOWS:

Pulte Home Company LLC  
Company Name  
1475 CENTREPARK BLVD STE 140  
Street Address  
WEST PALM BEACH FL 33401  
City, State, Zip

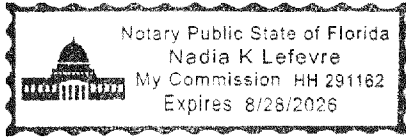
EMAIL: P.GONZALEZ@PULTE.COM

PHONE: (904) 206 1458

STATE OF FL  
COUNTY OF Palm Beach

The foregoing instrument was acknowledged before me by means of  physical presence or  
 online notarization, this 10<sup>th</sup> day of May, 2024, by Patrick Gonzalez,  
who is/are personally known to me or who has/have produced \_\_\_\_\_ as identification.

Notary Seal



*Nadia K Lefevre*  
\_\_\_\_\_  
Notary Signature

Witnesses As To The District:

LOXAHATCHEE RIVER ENVIRONMENTAL  
CONTROL DISTRICT

*S. Fateh*  
\_\_\_\_\_  
Print Name: SHEETAH FATEH

*D. Albrey Arrington*  
\_\_\_\_\_  
D. Albrey Arrington, Ph.D.  
Executive Director

Address: 2500 JUPITER PARK DRIVE  
JUPITER, FL 33458

*Carrie Russell*  
\_\_\_\_\_  
Print Name: Carrie Russell

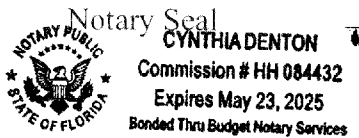
Address: 2500 Jupiter Park Dr  
Jupiter FL 33458

FOR PURPOSES OF THIS AGREEMENT  
THE OFFICIAL ADDRESS OF THE  
DISTRICT SHALL BE AS FOLLOWS:

LOXAHATCHEE RIVER ENVIRONMENTAL  
CONTROL DISTRICT  
2500 JUPITER PARK DRIVE  
JUPITER, FLORIDA 33458-8964

STATE OF FLORIDA  
COUNTY OF PALM BEACH

The foregoing instrument was acknowledged before me by means of physical presence  
this 14 day of May, 2024, by D. ALBREY ARRINGTON, Ph.D.,  
Executive Director of the Loxahatchee River Environmental Control District,  
on behalf of L.R.E.C.D., who is personally known to me.



*Cynthia Denton*  
\_\_\_\_\_  
Notary Signature



**EXHIBIT "A"**

The Land referred to herein below is situated in the County of PALM BEACH, State of Florida, and is described as follows:

A portion of: (Legal to be supplied by the client)

A parcel of land in Section 28, Township 41 South, Range 43 East, Palm Beach County, Florida, more particularly described as follows:

That portion of Palm Avenue, lying between the South line of Olive Street and the North line of Floral Street, as shown on Plat of NEW PALM BEACH HEIGHTS, as recorded in Plat Book 6, Page 73, in the Office of the Clerk of the Circuit Court in and for Palm Beach County, Florida, Excepting Therefrom the part thereof which lies within 60 feet on each side of, as measured at right angles to, the center line of Survey of State Road No. 5, Section 9304-112, as shown on Right-of-Way map recorded in Road Plat Book 2, Page 114, Public Records of Palm Beach County, Florida; that certain portion of a street designated as Oleander Avenue in NEW PALM BEACH HEIGHTS, which portion of said Street is bounded by Lots 1 through 9, Block 12, on its Westerly side, by the South line of Olive Street on the North, and by the North line of Floral Street on the South, all as shown on plat of NEW PALM BEACH HEIGHTS on file in the Office of the Clerk of the Circuit Court in and for Palm Beach County, Florida, recorded in Plat Book 6, Page 73; those parts of Lots 11 to 18, inclusive, in Block 7, lying Westerly of the Westerly right-of-way line of State Road No. 5, as shown on Right-of-Way map recorded in Road Plat Book 2, Page 114, Public Records of Palm Beach County, Florida; Lots 1 to 18, inclusive, in Block 11; and Lots 1 to 14, inclusive, in Block 12; all in NEW PALM BEACH HEIGHTS according to the Plat thereof on file in the Office of the Clerk of the Circuit Court in and for Palm Beach County, Florida, recorded in Plat Book 6, Page 73.

Less that portion taken by Order of Taking recorded in Official Records Book 9635, Page 393, Public Records of Palm Beach County, Florida.



# LOXAHATCHEE RIVER DISTRICT

Item #5.

2500 JUPITER PARK DRIVE, JUPITER, FLORIDA 33458

TEL: (561) 747-5700

FAX: (561) 747-9929

D. Albrey Arrington, Ph.D. EXECUTIVE DIRECTOR

[loxahatcheeriver.org](http://loxahatcheeriver.org)

May 14, 2024

Jupiter Square  
Pulte Home Company LLC  
1475 Centre Park Blvd Ste 140  
West Palm Beach FL 33401

Attn: Patrick Gonzalez

Re: Developer Agreement – Jupiter Square

Dear Patrick Gonzalez

This letter is provided as confirmation of receipt of your payment in the amount of \$104,628.48 for 66 equivalent connections (EC's). This amount represents payment of the following:

Administrative, Legal, Engineering and Inspection Fees	\$	11,890.56
12 Months Service Availability charge (SAS)	\$	10,501.92
Regional Transmission Line Charges	\$	82,236.00

Enclosed is the recorded Developers Agreement dated 05/14/2024 between the Loxahatchee River Environmental Control District and Jupiter Medical Center. We hope your project will be successful and a benefit to our community.

Sincerely,

  
D. Albrey Arrington, Ph.D.,  
Executive Director

DAA

Enclosure

**Stephen B. Rockoff**  
CHAIRMAN

**Kevin L. Baker**  
BOARD MEMBER

**Gordon M. Boggie**  
BOARD MEMBER

**Dr. Matt H. Rostock**  
BOARD MEMBER

**Clinton R. Yerkes**  
BOARD MEMBER

THE ORIGINAL DOCUMENT HAS A WHITE REFLECTIVE WATERMARK ON THE BACK. HOLD AT AN ANGLE TO VIEW. DO NOT CASH IF NOT PRES

Item #5.



FL-34134

Check Number 0090432582

Check Date 05/10/24

64-1278  
0611

Void After 180 Days

PAY

ONE HUNDRED FOUR THOUSAND SIX HUNDRED TWENTY EIGHT AND  
48/100 DOLLARS

\$\*\*\*\*104,628.48

Bank of America  
Customer Connection  
Atlanta, Dekalb County,GA

TO THE LOXAHATCHEE RIVER DISTRICT  
ORDER OF PO BOX 8800  
JUPITER, FL 33468-880

*Blair*



LOXAHATCHEE RIVER DISTRICT

Vendor Number 7060207

Check Number 0090432582

Check Date 05/10/24

Invoice	Date	Co	Lot	Lot Address	Opt	Acct Cat	Acct Cat Description	Amount
PD23006-	05/07/24						comm-9926 Juno Square Condos (	104,628.48+
**** TOTAL ****								104,628.48

228

104,628.48





# UTILITIES DEPARTMENT

May 13, 2024

Pulte Group  
Attn: Patrick Gonzalez  
1475 Centrepark Blvd Ste 140  
West Palm Beach, FL 33401

Re: Allocation of Capacity– Juno Square Townhomes

Dear Mr. Gonzalez,

This letter shall confirm that the referenced property has reserved capacity for 40.0 ERCs. This reservation shall be in effect until 02/27/2025, during which either:

1. The site plan is approved. At this time, a formal Water Service Agreement (WSA) and connection fees will be due within 60 days or prior to issuance of development permits, or
2. Continue payment of annual concurrency until such reservation can be converted into a formal Water Service Agreement (WSA).

NO INDEFINITE RESERVATION OF CAPACITY IS PROVIDED WITH THIS LETTER, NOR IS THE AVAILABILITY OF CAPACITY IMPLIED AT ANY FUTURE TIME PERIOD BEYOND THAT SPECIFIED ABOVE.

Sincerely,

Dana Shelley  
Utilities Accountant  
Email: [danas@jupiter.fl.us](mailto:danas@jupiter.fl.us)

cc: Brittany George - Utilities Business Administrator  
Travis Sanders - Customer Service & Billing Manager, Utilities



June 11, 2024

Adam B. Kerr, P.E.  
Kimley-Horn and Associates, Inc.,  
477 S Rosemary Ave, Suite 215  
West Palm Beach, FL 33401

**Department of Engineering  
and Public Works**

P.O. Box 21229

West Palm Beach, FL 33416-1229

(561) 684-4000

FAX: (561) 684-4050

www.pbcgov.com



**Palm Beach County  
Board of County  
Commissioners**

Maria Sachs, Mayor

Maria G. Marino, Vice Mayor

Gregg K. Weiss

Michael A. Barnett

Marci Woodward

Sara Baxter

Mack Bernard

**County Administrator**

Verdenia C. Baker

**RE: Juno Square Townhomes  
Project #: 240508  
Traffic Performance Standards (TPS) Review**

Dear Mr. Kerr:

The Palm Beach County Traffic Division has reviewed the above referenced project Traffic Impact Statement, dated October 9, 2023, pursuant to the Traffic Performance Standards in Article 12 of the Palm Beach County (PBC) Unified Land Development Code (ULDC). The project is summarized as follows:

<b>Municipality:</b>	Juno Beach
<b>Location:</b>	SWC of Donald Ross Rd and US-1
<b>PCN:</b>	28-43-41-28-10-007-0111
<b>Access:</b>	1 Right-in/Right-out on Donald Ross Rd, 1 full on Floral Dr <u>(As used in the study and is NOT necessarily an approval by the County through this TPS letter)</u>
<b>Existing Uses:</b>	Vacant
<b>Proposed Uses:</b>	Multi-Family Low Rise=40 DU
<b>New Daily Trips:</b>	270
<b>New Peak Hour Trips:</b>	16 (4/12) AM; 20 (13/7) PM
<b>Build-out:</b>	December 3, 2028

Based on our review, the Traffic Division has determined the proposed development will have insignificant impact on the area roadways, and therefore, meets the Palm Beach County TPS.

Please note the receipt of a TPS approval letter does not constitute the review and issuance of a Palm Beach County Right-of-Way (R/W) Construction Permit nor does it eliminate any requirements that may be deemed as site related. For work within Palm Beach County R/W, a detailed review of the project will be provided upon submittal for a R/W permit application. The project is required to comply with all Palm Beach County standards and may include R/W dedication.

The County traffic concurrency approval is subject to the Project Aggregation Rules set forth in the Traffic Performance Standards Ordinance.

The approval letter shall be valid no longer than one year from date of issuance, unless an application for a Site Specific Development Order has been approved, an application for a Site Specific Development Order has been submitted, or the approval letter has been superseded by another approval letter for the same property.

"An Equal Opportunity  
Affirmative Action Employer"



Adam B. Kerr, P.E.  
June 11, 2024  
Page 2

If you have any questions regarding this determination, please contact me at 561-684-4030 or email [QBari@pbc.gov](mailto:QBari@pbc.gov).

Sincerely,

A handwritten signature in blue ink that reads "Quazi Bari".

Quazi Bari, P.E., PTOE  
Manager, Growth Management  
Traffic Division

QB:jb

cc: Addressee  
Frank Davila, Director, P&Z, Town of Juno Beach  
Alberto Lopez, Technical Assistant III, Traffic Division

File: General - TPS - Mun - Traffic Study Review  
F:\TRAFFIC\HAMUNICIPALITIES\APPROVALS\2024\240508 - JUNO SQUARE TOWNHOMES.DOCX



October 9, 2023

Mr. Eliot Goldstein  
 Land Acquisition Manager  
 Pulte Home Company, LLC  
 1475 Centrepark Boulevard, Suite 305  
 West Palm Beach, Florida 33401

**RE: Juno Square Townhomes  
 Traffic Performance Standards Statement  
 Juno Beach, Florida  
 Kimley-Horn #**

Dear Eliot

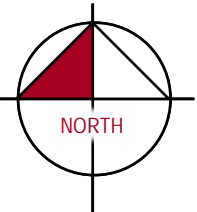
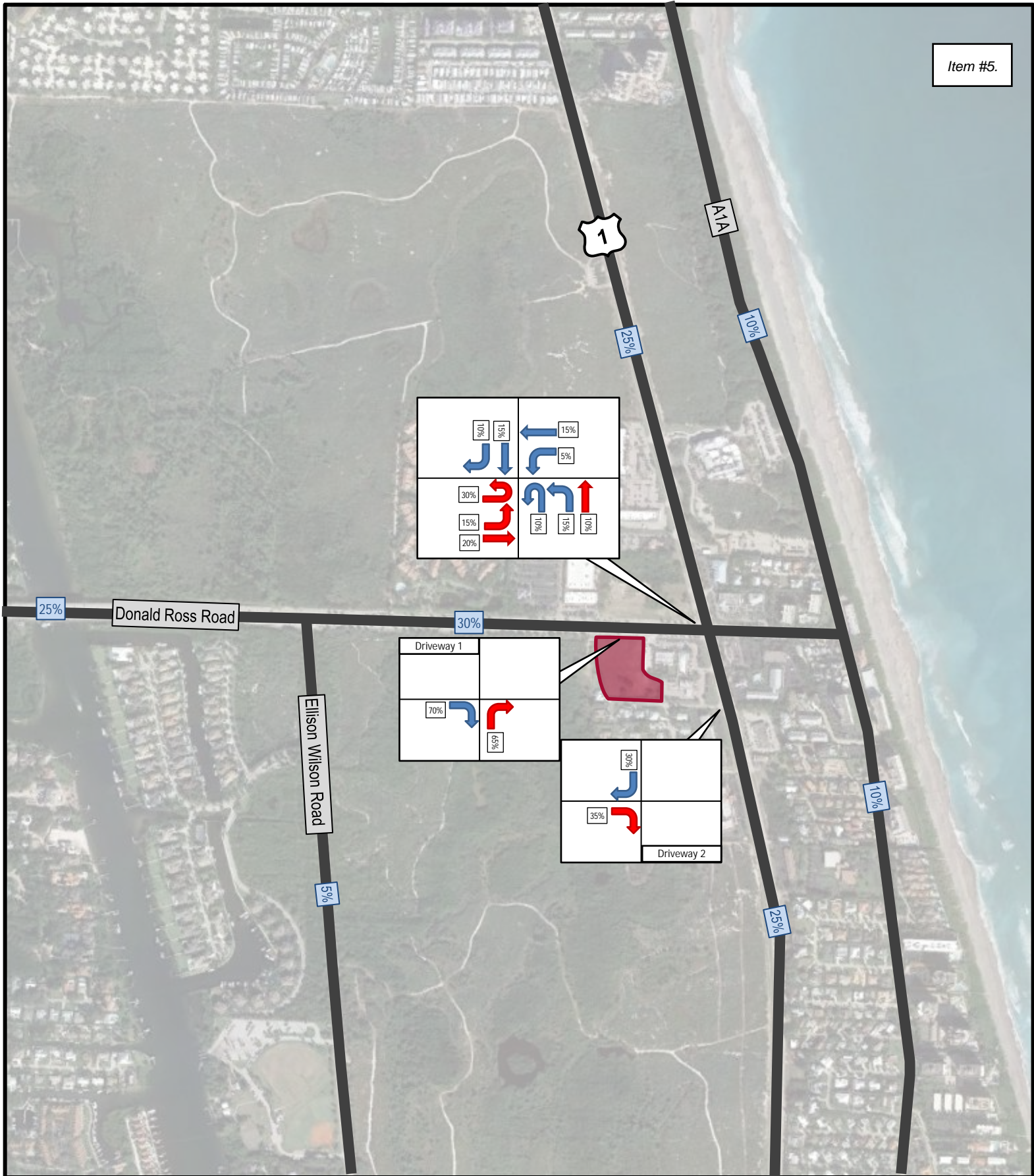
Kimley-Horn and Associates, Inc. has been retained to perform a traffic impact evaluation for the proposed redevelopment of the site located on the southwest quadrant of US 1 & Donald Ross Road intersection in Juno Beach, Florida. The existing site is vacant. The proposed development includes the construction of 40 multi-family low rise units. The Parcel Control Number (PCN) for the site is 28-43-41-28-10-007-0111. A buildout out date of 2028 was analyzed. This analysis was conducted to evaluate compliance with the Traffic Performance Standards (TPS) of Palm Beach County, as defined in Article 12 of the County’s Unified Land Development Code (ULDC).

**TRIP GENERATION DETERMINATION**

A trip generation determination was prepared to determine the potential impacts of the proposed development. Rates and equations published by Palm Beach County Traffic Division, which are based on *ITE Trip Generation Manual 11<sup>th</sup> Edition* for Multi-Family Low Rise land use was used for the daily, AM peak hour, and PM peak hour trip generation calculations for the proposed site. As shown in Table 1, the proposed redevelopment will result in an increase of 270 net new external daily trips, 16 net new external AM peak hour trips (+4 inbound, +12 outbound), and 20 net new external PM peak hour trips (+13 inbound, +7 outbound).

*Table 1: Trip Generation Calculations*

Land Use	Intensity	Daily Trips	AM Peak Hour			PM Peak Hour		
			Total	In	Out	Total	In	Out
<b>Proposed Scenario</b>								
Multifamily Low-Rise	40 DU	270	16	4	12	20	13	7
	<i>Subtotal</i>	270	16	4	12	20	13	7
Driveway Volumes		270	16	4	12	20	13	7
Net New External Trips		270	16	4	12	20	13	7
Proposed Net External Trips-Existing Net New External Trips		270	16	4	12	20	13	7
Radius of Development Influence:		Directly Accessed Links						
<u>Land Use</u>	<u>Daily</u>	<u>AM Peak Hour</u>	<u>PM Peak Hour</u>	<u>Pass By</u>				
Multifamily Low-Rise	6.74 trips/DU	0.4 trips/DU (24% in, 76% out)	0.51 trips/DU (63% in, 37% out)	0.0%				



**LEGEND**

- Site Location
- Project Traffic %

**FIGURE 1**  
Pulte Juno  
KH#  
Site Location

## SIGNIFICANCE ANALYSIS

Based on the traffic generation for this site, it was determined that the radius of developmental influence (RDI) for this project is the directly accessed links. The project traffic was distributed across the links within the RDI based on the distribution illustrated in Figure 1, to determine if the addition of project traffic will significantly impact the roadway links, based on Palm Beach County TPS methodology. Per Palm Beach County standards, all the links on which the project impact is greater than 1% of the level of service (LOS) D generalized service volume are considered significantly impacted links.

Table 2 and Table 3 summarize the AM peak hour and PM peak hour significance analyses, respectively.

*Table 2: Test 1 AM Peak Hour Significance Analysis*

ROADWAY	FROM	TO	EXISTING NUMBER OF LANES	LOS D GENERAL SVC. VOLUME	PROJECT % ASSIGNMENT	NB/EB IN/OUT?	PROJECT TRIPS					
							AM PEAK HOUR					
							TRIPS		% IMPACT			
NB/EB	SB/WB	NB/EB	Sig?	SB/WB	Sig?							
Donald Ross Road	Ellison Wilson Road	Driveway 1	4LD	1,770	30%	i	1	4	0.06%	No	0.23%	No
Donald Ross Road	Driveway 1	US 1	4LD	1,770	65%	o	8	3	0.45%	No	0.17%	No
US 1	Universe Boulevard	Driveway 2	4LD	1,960	35%	i	1	4	0.05%	No	0.20%	No
US 1	Driveway 2	Donald Ross Road	4LD	1,960	30%	i	1	4	0.05%	No	0.20%	No

*Table 3: Test 1 PM Peak Hour Significance Analysis*

ROADWAY	FROM	TO	EXISTING NUMBER OF LANES	LOS D GENERAL SVC. VOLUME	PROJECT % ASSIGNMENT	NB/EB IN/OUT?	PROJECT TRIPS					
							PM PEAK HOUR					
							TRIPS		% IMPACT			
NB/EB	SB/WB	NB/EB	Sig?	SB/WB	Sig?							
Donald Ross Road	Ellison Wilson Road	Driveway 1	4LD	1,770	30%	i	4	2	0.23%	No	0.11%	No
Donald Ross Road	Driveway 1	US 1	4LD	1,770	65%	o	5	8	0.28%	No	0.45%	No
US 1	Universe Boulevard	Driveway 2	4LD	1,960	35%	i	5	2	0.26%	No	0.10%	No
US 1	Driveway 2	Donald Ross Road	4LD	1,960	30%	i	4	2	0.20%	No	0.10%	No

As shown in the tables above, none of the analyzed links are expected to be significantly impacted by the addition of project traffic. Therefore, no further link or intersection analysis is required.



**DRIVEWAY CLASSIFICATION**

Access to the site is proposed to be maintained via two driveways: a driveway on Donald Ross Road and a driveway on Floral Drive. Driveway Descriptions are as follows:

<u>Driveway</u>	<u>Description</u>	<u>Location</u>
1	Right-in/Right-out	Donald Ross Road
2	Full-Access	Floral Drive

According to the Palm Beach County “Guide to Parking Lot and Street Access Design Criteria and Standards”, it is necessary to classify project driveways as minor, intermediate, or major according to the following criteria:

- Minor – Services a maximum daily volume of 500 vehicles.
- Intermediate – Services a daily volume ranging from 501 to 2000 vehicles.
- Major – Services a daily volume of more than 2000 vehicles.

Figure 2 illustrates the expected project traffic driveway volumes for the site driveway after full buildout. Using the above criteria, the driveways are classified as follows:

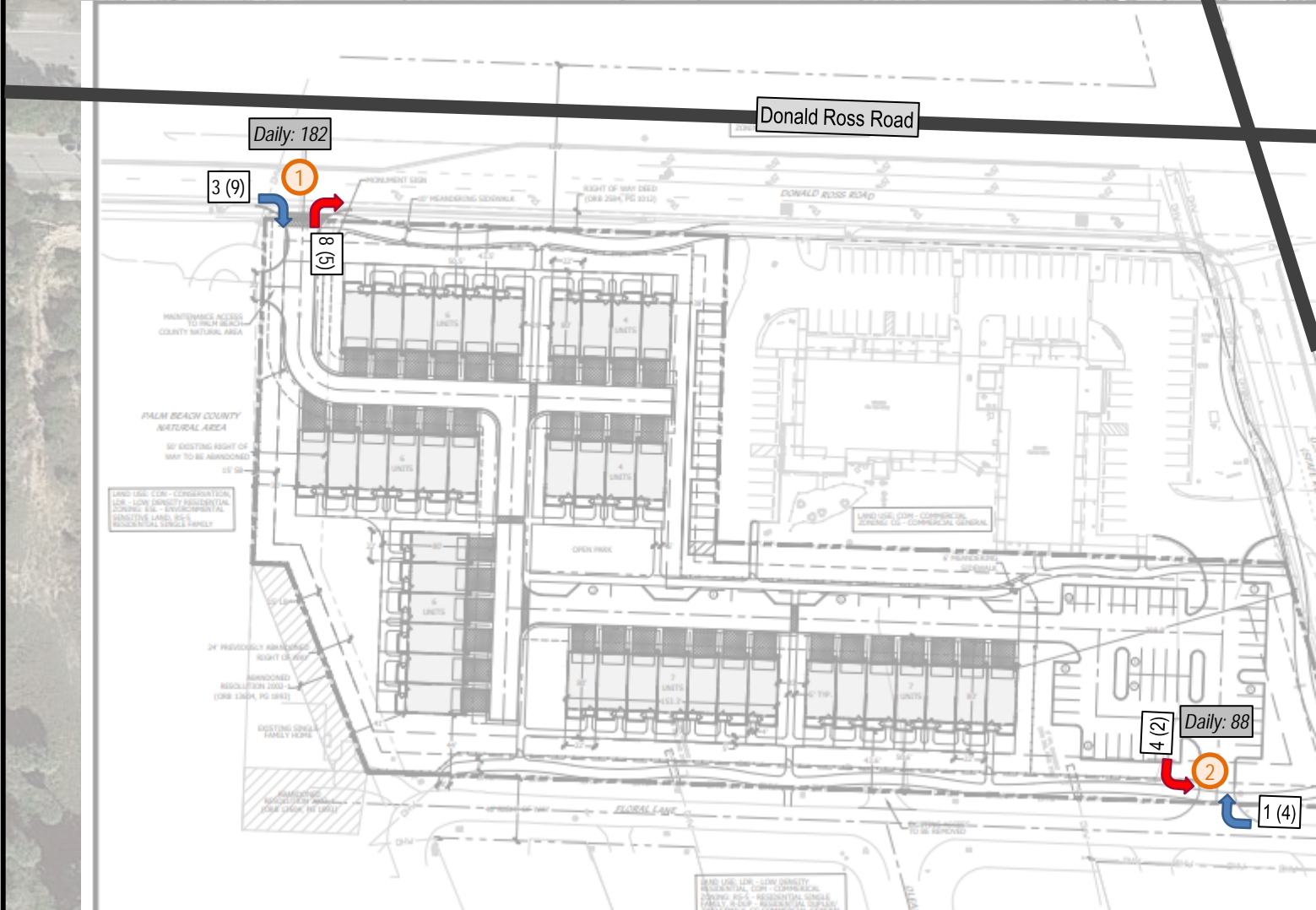
<u>Driveway</u>	<u>Classification</u>
1	Minor
2	Minor

**TURN LANE REQUIREMENTS**

The Palm Beach County “Guide to Parking Lot and Street Access Design Criteria and Standards” provides guidance on the provisions of turn lanes at site driveways. According to the standards noted in this document, the volume thresholds for providing exclusive turn lanes are as follows:




- Right Turn Lane: 75 peak hour right turns, with driveway volumes that exceed 1,000 trips per day and average
- Left Turn Lane: 30 peak hour left turns

Based on these requirements, and the configuration of the existing driveways, the criteria for additional turn lanes are not met.



**LEGEND**



-  Site Location
-  XX(XX) AM Inbound (PM Inbound)
-  XX(XX) AM Outbound (PM Outbound)

**FIGURE 2**

Pulte Juno  
KH#

Driveway Volumes

## CONCLUSION

Kimley-Horn and Associates, Inc. has prepared a traffic study to evaluate the potential impact of redevelopment of the project site located on the southwest corner of Donald Ross Road & US 1 in Juno Beach, Florida. The existing site is vacant. The proposed development includes the construction of 40 multi-family low rise units. As shown in the analysis, the site meets the TPS requirements defined in Article 12 of the Palm Beach County Unified Land Development Code.

Please contact me via telephone at (561) 840-0874 or via e-mail at [adam.kerr@kimley-horn.com](mailto:adam.kerr@kimley-horn.com) should you have any questions regarding this evaluation.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.

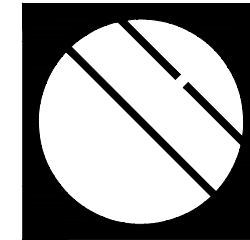
Adam B. Kerr, P.E.  
Transportation Engineer

Florida Registration  
Number 64773  
Registry No. 35106

k:\wpb\_tpto\leid\projects\07-23\_07-24\october\_2023\juno square townhomes\tia report\2023-10-05 tps.docX



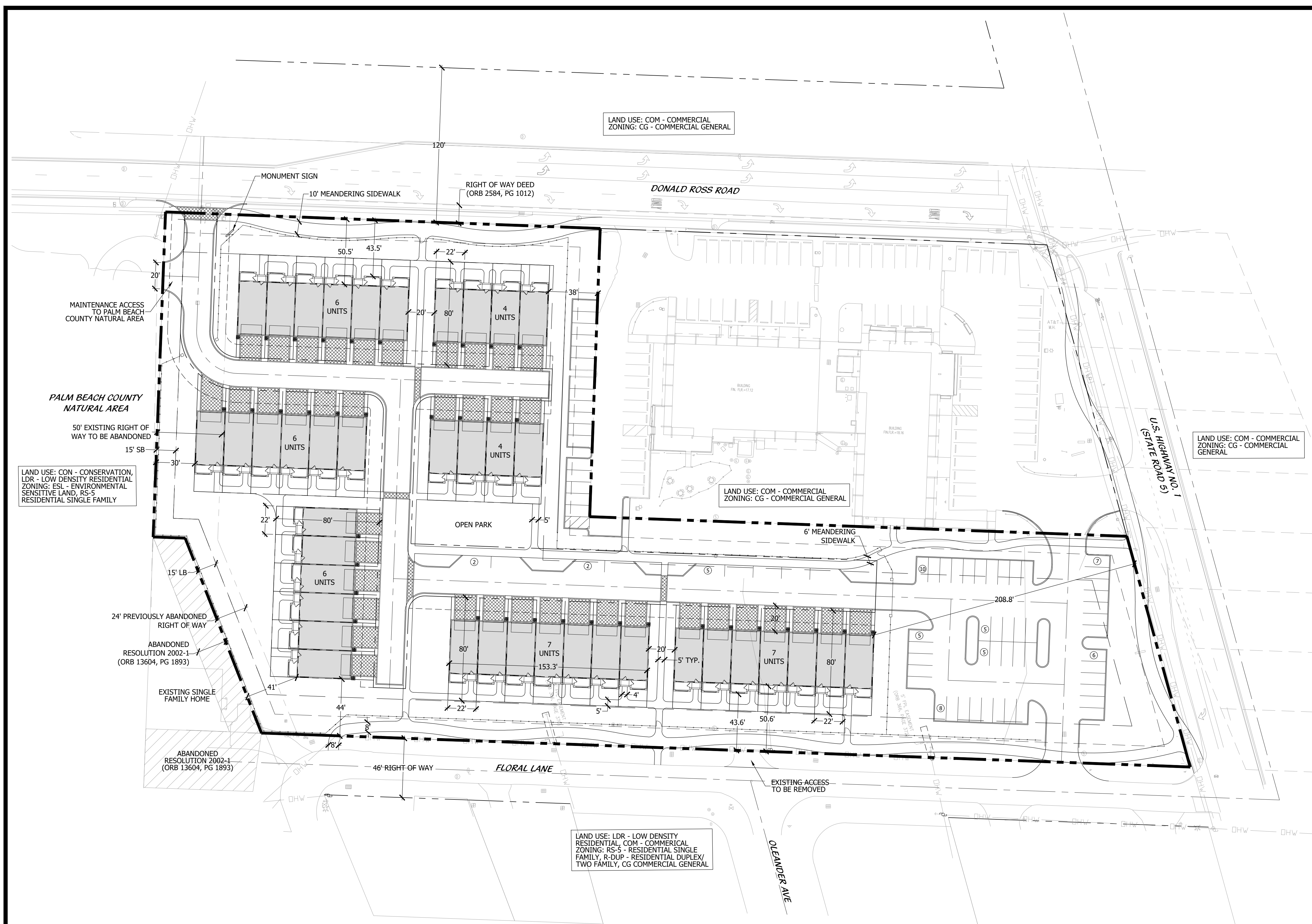
**APPENDIX**



# Cotleur & Hearing

Landscape Architects  
Land Planners  
Environmental Consultants  
1934 Commerce Lane  
Suite 1  
Jupiter, Florida 33458  
561.747.6336 · Fax 747.1377  
www.cotleurhearing.com  
Lic# LC-26000535

## Juno Square Pulte Homes US1 & Donald Ross Rd., Palm Beach Gardens, Florida



### SITE DATA

PARCEL 1 PCN	28434128100070100
PARCEL 2 PCN	28434128100070100

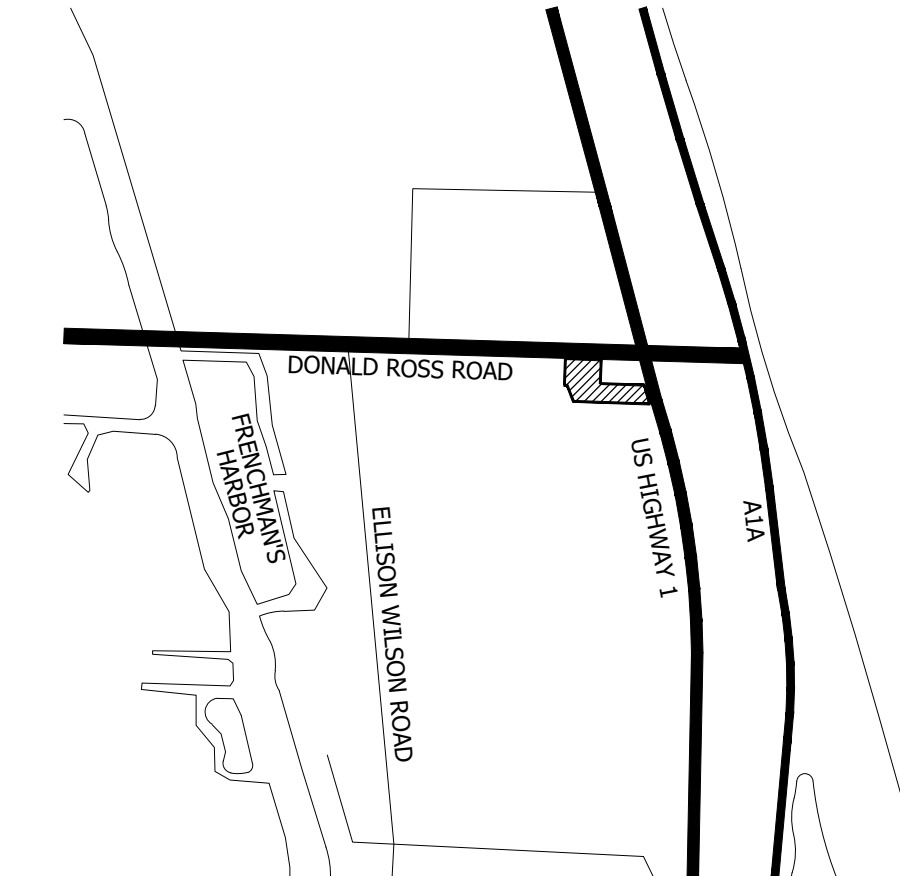
PARKING DATA		REQ.
BANK	1 PER 300 SQ.FT.	4173 14
RETAIL	1 PER 200 SQ.FT.	4096 21
RESTAURANT	1 PER 90 SQ.FT.	10079 112
OFFICE	1 PER 300 SQ.FT.	768 3
PERSONAL SERVICES	1 PER 200 SQ.FT.	1536 8
<b>TOTAL</b>		<b>158 SPACES</b>

EXISTING PARKING	PARCEL 1	EXISTING
	33	
PROPOSED SITE PLAN	PARCEL 1	PROPOSED
	15	
PARCEL 2	EXISTING	
	77	
<b>TOTAL</b>	<b>125</b>	

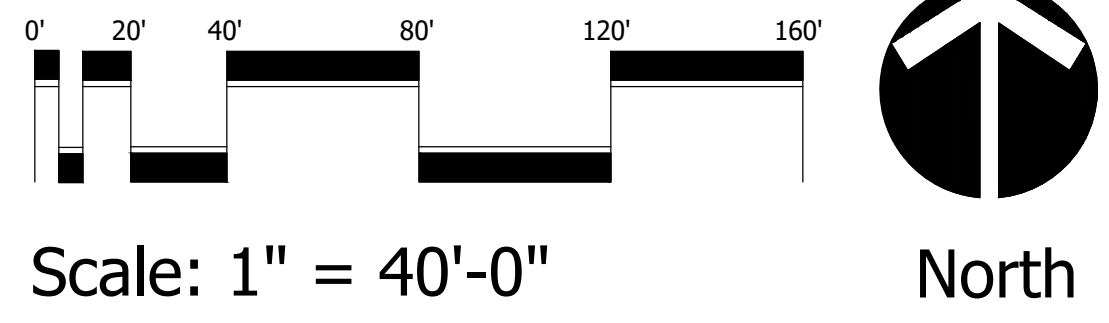
RESIDENTIAL REQUIRED	UNITS	REQ.	PROV.
TOWNHOUSE	2 PER UNIT	40	80
GUEST SPACES	1 PER 7 UNITS		6
PROVIDED			
TANDEM GARAGE/DRIVEWAY			80
GRADE/GUEST			9
<b>TOTAL</b>		<b>86</b>	<b>89</b>

COMMERCIAL REQUIRED		REQ.	PROV.
COMMERCIAL	1 PER 250 SQ.FT.	5000	20
RETAIL	1 PER 200 SQ.FT.	4096	21
RESTAURANT	1 PER 90 SQ.FT.	10079	112
OFFICE	1 PER 300 SQ.FT.	768	3
PERSONAL SERVICES	1 PER 200 SQ.FT.	1536	8
PROVIDED			
PARCEL 1 EXISTING PARKING			77
PARCEL 2 SHARED PARKING AREA 1			17
PARCEL 2 SHARED PARKING AREA 2			70
<b>TOTAL</b>		<b>164</b>	<b>164</b>
<b>GRAND TOTAL</b>		<b>250</b>	<b>253</b>

### LOCATION MAP



## Conceptual Site Plan 1



DESIGNED	EPB
DRAWN	EPB
APPROVED	DEH
JOB NUMBER	22-0724
DATE	05-17-2023
REVISIONS	

July 25, 2023 3:20:08 p.m.  
Drawing: 22-0724 SP.DWG

© COTLEUR & HEARING, INC.  
These drawings are the property of the architect and are not to be used for extensions or on other projects except by agreement in writing with the architect. A liability report any discrepancies to the architect. A signed copy is to be provided to a governmental entity upon public records requirement under Florida law.

**Property Detail**

Parcel Control Number: 28-43-41-28-10-007-0111      Location Address: 13951 US HIGHWAY 1  
 Owners: JUNO SQUARE LLP  
 Mailing Address: JOHN C BILLS PROPERTIES LLC C/O 3910 RCA BLVD STE 1015, PALM BEACH GARDENS FL 33410 4284  
 Last Sale: FEB-2006      Book/Page#: 19949 / 180      Price: \$445,000  
 Property Use Code: 2300 - FINANCIAL      Zoning: CG - COMMERCIAL GENERAL ( 28-JUNO BEACH )  
 Legal Description: NEW PALM BEACH HEIGHTS BLKS 7, 11 & 12 LYG W OF SR 5 R/W & ABND R/W'S OF PALM AVE & OLEANDER AVE LYG BETWEEN (LESS SLY 233.33 FT OF NLY 247.33 FTOF ELY 416.11 FT & N 14 FT DONALD ROSS RD R/W)      Total SF: 4041      Acres 4.3221

Owner: JUNO SQUARE LLP PCN: 28434128100070111 1 of 1

**2023 Values (Preliminary)**

Improvement Value \$356,086  
 Land Value \$3,577,149  
 Total Market Value \$3,933,235  
 Assessed Value \$3,461,539  
 Exemption Amount \$0  
 Taxable Value \$3,461,539

**2023 Taxes (Preliminary)**

Ad Valorem \$66,521  
 Non Ad Valorem \$881  
 Total Tax \$67,402

**2023 Qualified Exemptions**

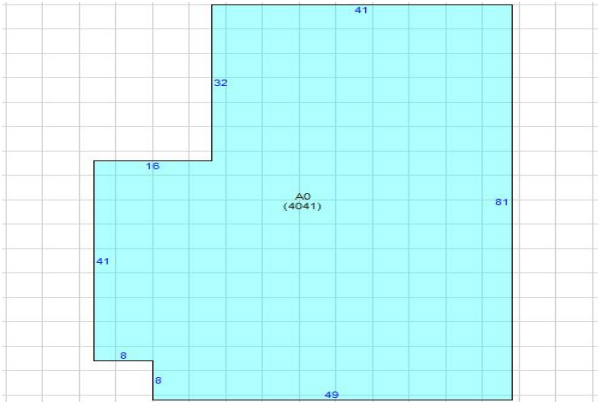
No Details Found

**Applicants**

No Details Found

All values are as of January 1st each year.

**Building Footprint (Building 1)**



**Subarea and Square Footage (Building 1)**

Description	Area Sq. Footage
BRANCH BANK	4041
Total Square Footage : 4041	

**Extra Features**

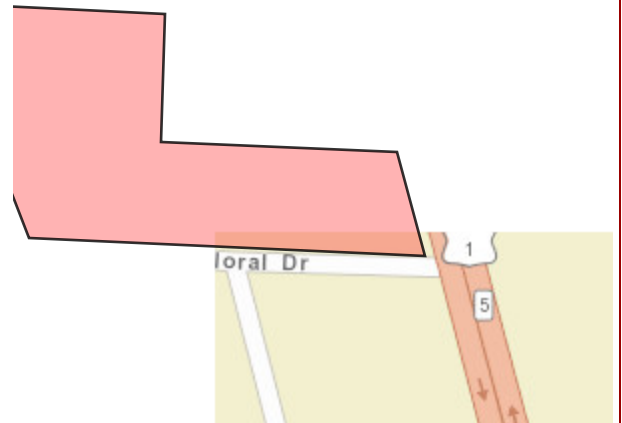
Description	Year Built	Unit
Wall	2000	180
Paving- Asphalt	1978	1556
Paving- Asphalt	1978	30313

Unit may represent the perimeter, square footage, linear footage, total number or other measurement.

**Structural Details (Building 1)**

Description	
1. Year Built	1978
2. NEIGHBORHOOD BANK	4041

**MAP**





# LAND RESEARCH MANAGEMENT, Inc.

Item #5.

2240 Palm Beach Lakes Blvd., Suite 103, West Palm Beach, FL 33409 Tel: (561)686-2481; Fax: (561) 681-1551

**TO:** — Aimee Craig Carlson, AICP -  
Pulte Group Director of Land Planning & Entitlement

**FROM:** Jim Fleischmann, Vice President  
Land Research Management, Inc.

**RE:** Market Study Memorandum 4.7 acre 40 unit Juno Square Residential, Juno Beach, Florida

**DATE:** October 20, 2023

---

## MEMORANDUM

### OBJECTIVE

The objective of this analysis is to assess market-based support for the proposed 4.7 acre Juno Square Residential Moderate Density Residential (MODR) Land Use Map Amendment located at the intersection of Donald Ross Road and U.S. Highway 1.

### PROPOSED LAND USE AMENDMENT

The site currently has a Commercial (COM) Future Land Use (FLU) designation. An MODR designation is proposed to allow development of 40 luxury single-family attached (townhouse) residential units.

### SITE LOCAION

The subject property, a 4.7 acre parcel, is located at the southwest corner of Donald Ross Road and U.S. Highway 1 in the Town of Juno Beach (Ref: Exhibit 1). The L-shaped property has frontage on both Donald Ross Road and U.S. Highway 1.

The proposed Juno Square Residential community (Ref: Exhibit 2) will have access from both Donald Ross Road and U.S. Highway 1. U. S. Highway 1, an Urban Principal Arterial and Donald Ross Road, an Urban Minor Arterial, provide access to major employment, commercial and entertainment centers in Palm Beach County and beyond. This location also provides residents and visitors with convenient access to the Atlantic Ocean beaches along Alternate A-1-A and pedestrian public beach access locations in Juno Beach conveniently located within walking distance east of U.S. Highway 1.

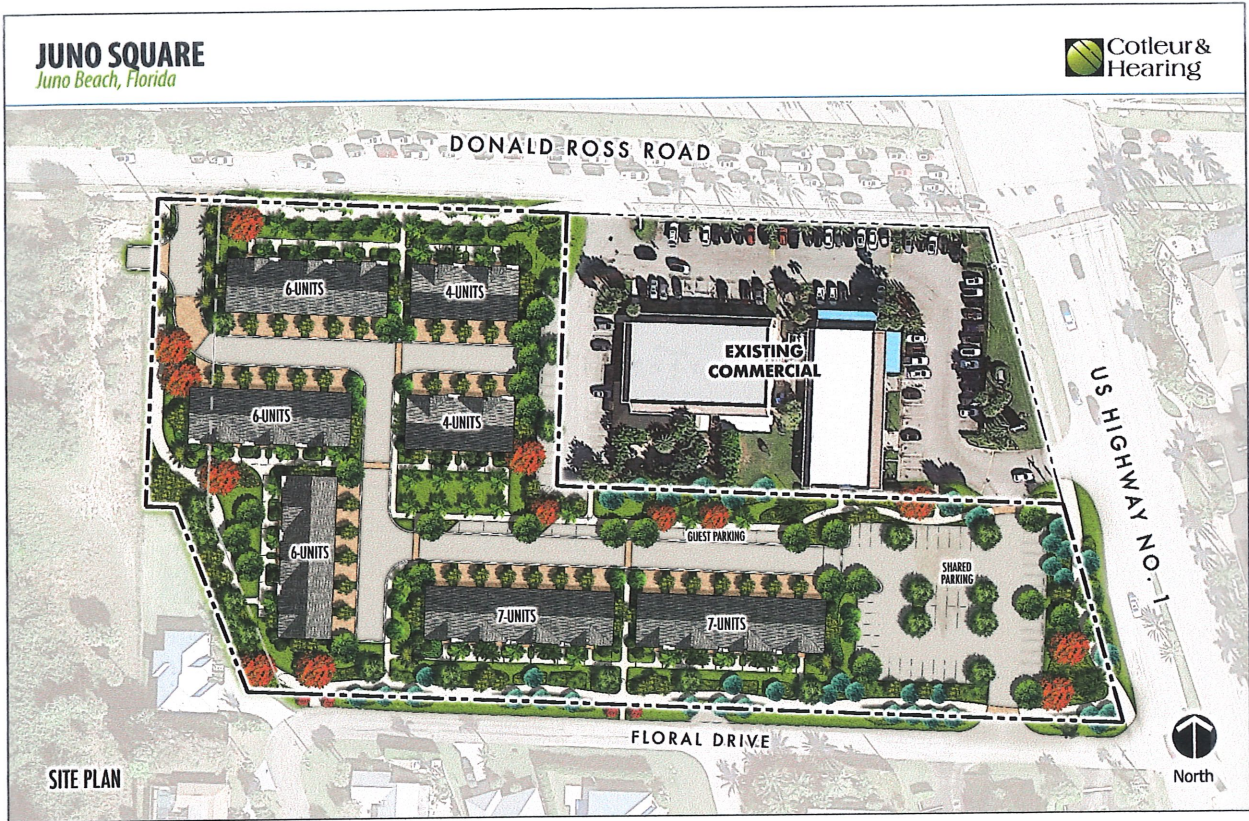
### NEIGHBORHOOD COMPATIBILITY

With the advent of the Caretta Project, the intersection of Donald Ross Road and U.S, Highway 1 is in the process of becoming a mixed-use hub in Juno Beach. The Caretta approval, currently under construction, includes 94 multiple-family units, 13, 978 sq. ft. of retail and 2,000 sq. ft. of office, and 9,612 sq. ft. of restaurant space, including 2,500 sq. ft. of outdoor seating area. The proposed Juno Square Residential development will add another residential component to the mixed-use hub which currently includes all four quadrants of the intersection. Existing hub components include hospitality, dining and commercial components.

EXHIBIT 1 – JUNO SQUARE RESIDENTIAL PROPERTY



EXHIBIT 2 –PROPOSED JUNO SQUARE RESIDENTIAL DEVELOPMENT





## **MARKET OVERVIEW**

The subject site is located east of the Intracoastal Waterway on U.S. Highway 1, a north-south Principal Arterial roadway. U.S. Highway 1 intersections with three major east-west arterial roads (PGA Boulevard, Donald Ross Road and Indiantown Road) span the Intracoastal Waterway and provide direct access to regional transportation arteries (I-95 and Florida's Turnpike) located to the west. In addition, bridges span the Jupiter Inlet to the north and North Palm Beach Waterway to the south.

Bridge access to the "mainland" in all directions supports the observation that the area bounded by the Jupiter Inlet (north), North Palm Beach Waterway (south), Atlantic Ocean (east) and Intracoastal Waterway (west) exhibits characteristics of an island and can be considered a distinctive residential market area. For the purposes of this analysis, the area is termed the "North Beach Market Area". Juno Beach is considered a Sub-Market Area component of the Market Area. Both are illustrated on Exhibit 3.

The Juno Beach Sub-Market Area serves both year-round permanent residents, seasonal residents and short-term visitors who come for the winter season or a vacation stay. As a result, the proposed Juno Square Residential community will attract both year-round and part-time residents looking for the location benefits of proximity to the ocean beaches.

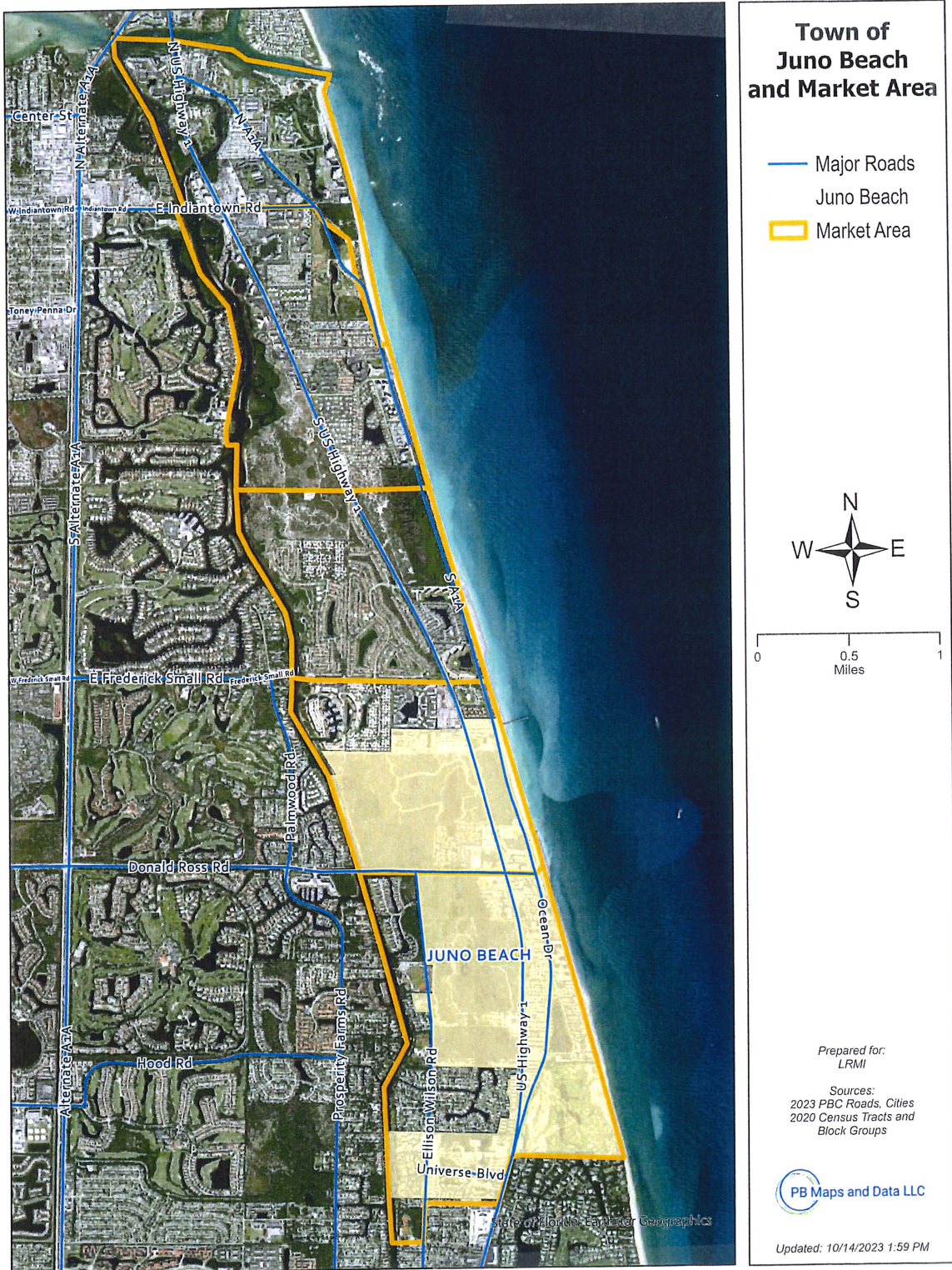
One of the unique attributes of the North Beach Market Area is the absence of recently built competitive product. A search of recent townhouse sales in the North Beach Market and the Juno Beach Sub-Market Areas supports this conclusion. As a result, competition in the immediate future for the proposed townhouse product will likely come primarily from the resales market.

## **NORTH BEACH MARKET AND JUNO BEACH SUB-MARKET DEMOGRAPHIC SUMMARY**

A brief summary of North Beach Market Area and Juno Beach Sub-Market demographic characteristics is presented in Table 1. Exhibit 2 illustrates the boundaries of the North Beach Market and Juno Beach Sub-Market Areas. The following general observations are made from the data presented in Table 1:

1. Low percentages of dwelling units in both the North Beach Market and Juno Beach Sub-Market Areas (61%) are occupied by resident households, substantially lower than the countywide (83%) rate. The lower rate indicates a large percentage of non-resident owners in the North Beach Market and Juno Beach Sub-Market Areas.
2. Resident population per dwelling unit in both the North Beach Market (1.15 persons/unit) and the Juno Beach Sub-Market (1.03 persons/unit) Areas are substantially lower than the countywide rate (2.16 persons/unit). This is another indicator that there is a substantial percentage of non-resident owners in the North Beach Market and Juno Beach Sub-Market Areas.
3. The median annual household income in the North Beach Market Area (\$95,979) is substantially higher than the County (\$68,874), while the median in the Juno Beach Sub-Market Area (465,638) is similar to the countywide rate.
4. Projected 2022 to 2035 resident population growth in both the North Beach Market Area (418 residents) and the Juno Beach Sub-Market Area (157 residents) is projected to be minimal. A principal reason for this is the lack of recent and planned residential construction. Availability of additional housing stock would impact resident growth in a positive manner.

EXHIBIT 3  
NORTH BEACH MARKET AREA AND JUNO BEACH SUB-MARKET AREA



**TABLE 1**  
**Demographic Characteristics Summary**

<b>Characteristic</b>	<b>Juno Beach Sub-Market</b>	<b>North Beach Market Area</b>	<b>Palm Beach County</b>
BEBR 2022 Population	3,793	10,395	1,518,152
PBC TAZ-Based 2025 Projection	3,863	10,496	1,568,300
PBC TAZ-Based 2035 Projection	3,950	10,813	1,641,900
ACS 2021 Dwelling Units	3,681	9,021	702,877
ACS 2021 One Unit Per Structure Units (Detached)	311	1,450	322,681
ACS 2021 One Unit Per Structure Units (Townhouses)	287	1,670	77,831
2021 ACS Households	2,324	6,298	581,119
2021 ACS Median Household Income (\$)	65,638	95,979	68,874

Sources: Bureau of Economic and Business Research (BEBR), Palm Beach County (PBC), and American Community Survey (ACS) Estimate

From Table 2, the great majority of townhouses in the North Beach Market (92.67%) and the Juno Beach Sub-Market Areas (70.3%) were built during the 1980 to 1999 period. No townhouse construction has occurred since the 2010 to 2019 period.

**TABLE 2**  
**Townhouse 2020 – 2023 Sales by Year Built**

<b>Year Built</b>	<b>North Beach Market</b>	<b>Juno Beach Sub-Market</b>
No year	22	22
1980 - 1989	446	31
1990 - 1999	69	35
2000 - 2009	29	22
2010 - 2019	11	11
2000 +	0	0
<b>Totals</b>	<b>577</b>	<b>121</b>

Source: Palm Beach County Property Appraiser Data; August 2023

### **RECENT VILLAGE MARKET AND WELLINGTON SUB-MARKET AREAS SALES ACTIVITY**

Tables 3 and 4 contain recent townhouse sales data for the North Beach Market and Juno Beach Sub-Market Areas, as illustrated in Exhibit 2.



Per Table 3, Sales for complete years during the 2020 – 2022 period in the North Palm Beach Market Area averaged 15.25 units per month and the Juno Beach Sub-Market Area averaged 3.3 units per month. A partial reason for the difference in sales rates is the disparity in the total townhouse stock in the North Beach Market Area (1,670 units) versus the Juno Beach Sub-Market Area (287 units).

**TABLE 3**  
**Townhouse 2020 – 2022 Sales by Year**

Sale Year	North Beach Market	Juno Beach Sub-Market
2020	143	27
2021	209	42
2022	197	49
<b>Totals</b>	<b>549</b>	<b>118</b>

Source: Palm Beach County Property Appraiser Data; August 2023

Additional detail regarding townhouse sales activity for the North Beach Market and Juno Beach Sub-Market Areas during the 2000 to 2023 period is presented in Table 4. Observations regarding sales price in the Juno Beach Sub-Market Area are as follows:

1. The median sales price for the three-year 2020 – 2022 period was \$673,000.
2. Of the total sales 38.8% were \$700,000 and above and 24.7% were \$1,000,000 and above.

**TABLE 4**  
**Townhouse 2020 – 2023 Sales by Selling Price Range**

Sale Price Range	North Beach Market	Juno Beach Sub-Market
Less than \$300,000	272	28
\$300K - \$499K	160	27
\$500K - \$699K	73	19
\$700K - \$999K	31	17
\$1M +	41	30
<b>Totals</b>	<b>577</b>	<b>121</b>

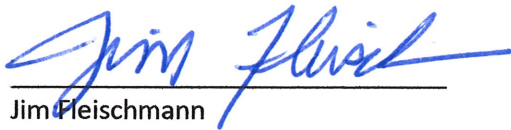
Source: Palm Beach County Property Appraiser Data; August 2023

## **CONCLUSION**

The proposed MODR Future Land Use Map Amendment will allow for the development of a 40-unit luxury single family residential community consisting of townhomes within the Juno Beach Sub-Market Area of the North Beach Market Area. The proposal is consistent with the emerging mixed-use hub, including residential and commercial components, located at the Donald Ross Road/U.S. Highway 1 intersection.

Data and analysis presented herein support the conclusion that demand within the North Beach Market and Juno Beach Sub-Market Areas has historically consisted of both resident and non-resident buyers. Further, the lack of recent townhouse construction and planned supply, along with increasing annual sales (i.e. resales) activity in the Juno Beach Sub-Market Area, indicate market support for the development concept.

Assuming the maintenance of recent existing home sales trends, supplemented by projected population growth and the availability of new product, it is concluded that the proposed MODR Future Land Use Map Amendment allowing for the 40 unit community can be supported by demand for townhomes within the Juno Beach Sub-Market Area.

  
\_\_\_\_\_  
Jim Fleischmann

Date: 10/20/2023

# **JUNO SQUARE** **PALM BEACH COUNTY, FL**

## **FUTURE LAND USE PLAN** **AMENDMENT TRAFFIC ANALYSIS**



# FUTURE LAND USE PLAN AMENDMENT TRAFFIC ANALYSIS

## JUNO SQUARE PALM BEACH COUNTY, FL

Prepared by:  
Kimley-Horn and Associates, Inc.  
West Palm Beach, Florida



October 9, 2023  
Kimley-Horn Project #  
Registry No. 64773  
Kimley-Horn and Associates, Inc.  
477 S Rosemary Avenue, Suite 215  
West Palm Beach, Florida 33409  
561/845-0665 TEL

---

Adam B. Kerr, P.E.  
Florida Registration Number 64773

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    Trip Generation ..... 5

        Existing Site Development ..... 5

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## INTRODUCTION

Kimley-Horn and Associates, Inc. has been retained to prepare a Future Land Use (FLU) Amendment traffic analysis for a 4.32-acre site located on the southwest corner of Donald Ross Road & US-1, in the Town of Juno Beach, Florida. **Figure 1** illustrates the location of the project site. The site currently has a FLU designation of Commercial General. The proposed FLU designation that is the subject of this analysis Moderate Density Residential.

The parcel control numbers for this site are:

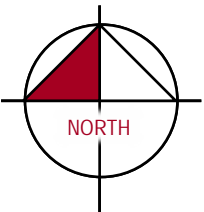
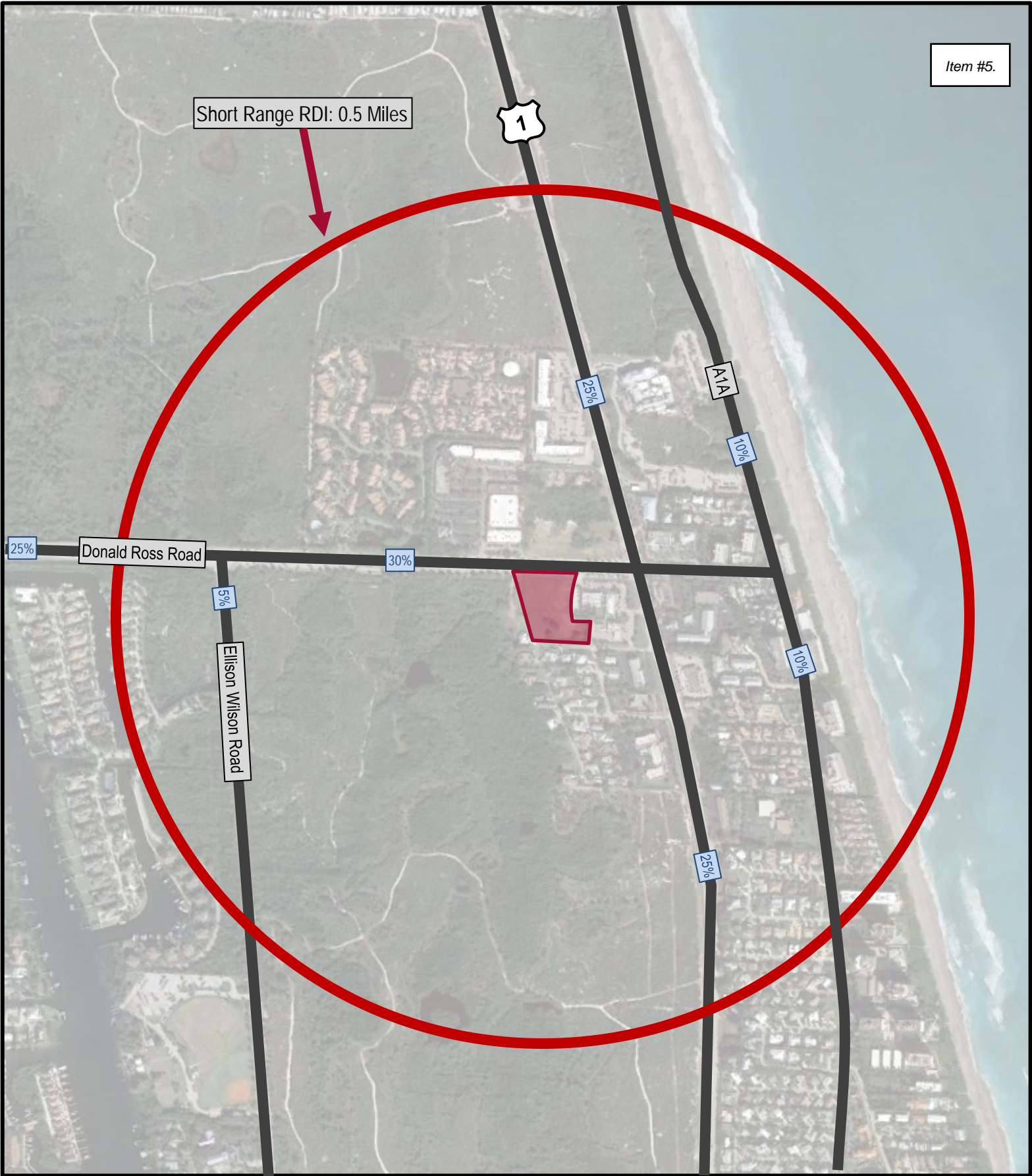
- 28-43-41-28-10-007-0111

The traffic impacts from the proposed future land use amendment were analyzed based on the procedures outlined in Policy 3.5-d of the Palm Beach County Comprehensive Plan. Currently, the site has a Commercial General future land use classification, Juno Beach does not utilize FAR in their comprehensive plan; the standards are based off lot coverage. The maximum lot coverage for the commercial general land use is 40%. The proposed future designation is Moderate Density Residential, which permits 15 dwelling units per acre.

This analysis was conducted following short-range and long-range analysis procedures used to evaluate comprehensive plan amendments in the town of Juno Beach. This report summarizes the finding of the comprehensive plan land use amendment traffic analysis.



Short Range RDI: 0.5 Miles



**LEGEND**

- Site Location
- Project Traffic %

**FIGURE 1**  
 Pulte Juno  
 KH#  
 Site Location

## PROJECT TRAFFIC

The project traffic volumes evaluated in this analysis are defined as the vehicle trips expected to be generated by the project, and the distribution and assignment of that traffic over the study roadway network.

### Trip Generation

The trip generation calculations are based on the trip generation rates published by Palm Beach County. Trip generation calculations have been performed for three scenarios:

#### Existing Site Development

This scenario represents the currently trip generation occurring on site. The site is currently vacant hence, no trips have been generated for current daily, AM peak hour and PM peak hour conditions.

#### Existing Future Land Use Potential Development

This scenario represents the maximum development potential for the site under the existing FLU designation. For the Trip Generation Comparison shown in **Table 1**, Shop Plaza (40-150k) was used for the land use. The maximum intensity of development under the currently adopted future land use designation has the potential to generate 3,102 net new external daily trips, 79 net new external AM peak hour trips (+49 inbound, +30 outbound), 239 net new external PM peak hour trips (+117 inbound, +122 outbound).

#### Proposed Future Land Use Potential Development

This scenario represents the maximum development permitted on site under the proposed FLUE designation, which equates to 65 dwelling units of residential use. As indicated in **Table 1**, the maximum density of development under the proposed future land use designation has the potential to generate 438 net new external daily trips, 26 net new external AM peak hour trips (+6 inbound, +20 inbound), 33 net new external PM peak hour trips (+21 inbound, +12 outbound).

Because the proposed amendment for the subject site results in an overall net decrease in the trip generation potential of the site on a daily, AM and PM peak hour basis in comparison to the existing uses on site, no further analysis is required.

**Table 1: Trip Generation Calculations Summary**

Land Use	Intensity	Daily Trips	AM Peak Hour			PM Peak Hour		
			Total	In	Out	Total	In	Out
<b>Existing Site Development</b>								
Vacant		0	0	0	0	0	0	0
Pass-By Capture								
Vacant	0.0%	0	0	0	0	0	0	0
Driveway Volumes		0	0	0	0	0	0	0
Net New External Trips		0	0	0	0	0	0	0
<b>Existing FLU Maximum Intensity</b>								
Shop Plaza (40-150k) w/o Sup Market	75.308 ksf	5,085	130	81	49	391	192	199
<i>Subtotal</i>		<i>0</i>	<i>0</i>	<i>0</i>	<i>0</i>	<i>0</i>	<i>0</i>	<i>0</i>
Pass-By Capture								
Shop Plaza (40-150k) w/o Sup Market	39.0%	1,983	51	32	19	152	75	77
Driveway Volumes		5,085	130	81	49	391	192	199
Net New External Trips		3,102	79	49	30	239	117	122
<b>Proposed FLU Maximum Intensity</b>								
Multifamily Low-Rise	65 DU	438	26	6	20	33	21	12
Pass-By Capture								
Multifamily Low-Rise	0.0%	0	0	0	0	0	0	0
Driveway Volumes		438	26	6	20	33	21	12
Net New External Trips		438	26	6	20	33	21	12
Proposed FLU Maximum Trips - Existing Development Trips (Short-range)		438	26	6	20	33	21	12
Short-Radius of Development Influence:			<b>0.5 miles</b>					
Proposed FLU Maximum Trips - Existing FLU Maximum Trips (Long-range)		-2,664	-53	-43	-10	-206	-96	-110
Radius of Development Influence:			<b>No Significant Impact</b>					
<u>Land Use</u>	<u>Daily</u>	<u>AM Peak Hour</u>			<u>PM Peak Hour</u>			<u>Pass By</u>
Multifamily Low-Rise	6.74 trips/DU	0.4 trips/DU (24% in, 76% out)			0.51 trips/DU (63% in, 37% out)			0.0%
Shop Plaza (40-150k) w/o Sup Market	67.52 trips/ksf	1.73 trips/ksf (62% in, 38% out)			5.19 trips/ksf (49% in, 51% out)			39.0%

## CONCLUSION

The foregoing comprehensive plan traffic analysis has been conducted to evaluate the proposed future land use designation change from the existing Commercial General to Moderate Density Residential. The project is located on the southwest corner of Donald Ross Road & US-1, in Juno Beach, Florida. Due to the overall decrease in trip generation potential, no further analysis is required.



**APPENDIX**

**Property Detail**

Parcel Control Number: 28-43-41-28-10-007-0111 Location Address: 13951 US HIGHWAY 1  
 Owners: JUNO SQUARE LLP  
 Mailing Address: JOHN C BILLS PROPERTIES LLC C/O 3910 RCA BLVD STE 1015, PALM BEACH GARDENS FL 33410 4284  
 Last Sale: FEB-2006 Book/Page#: 19949 / 180 Price: \$445,000  
 Property Use Code: 2300 - FINANCIAL Zoning: CG - COMMERCIAL GENERAL ( 28-JUNO BEACH )  
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 Total Tax \$67,402

**2023 Qualified Exemptions**

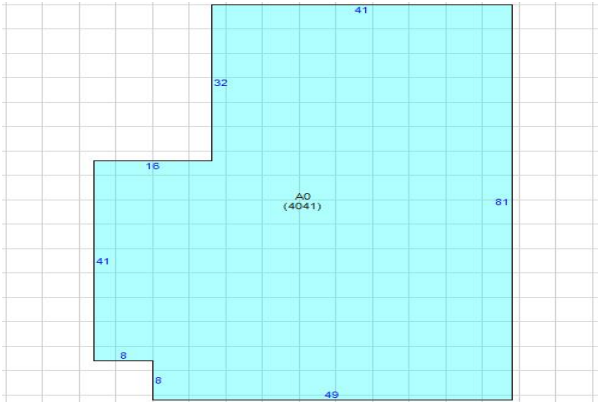
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**Applicants**

No Details Found

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**Building Footprint (Building 1)**



**Subarea and Square Footage (Building 1)**

Description	Area Sq. Footage
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Total Square Footage : 4041	

**Extra Features**

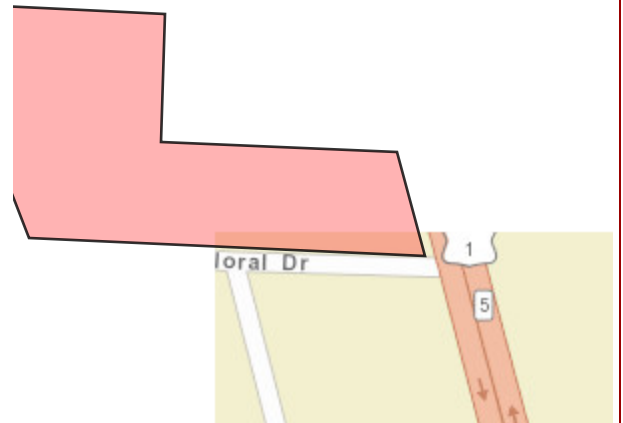
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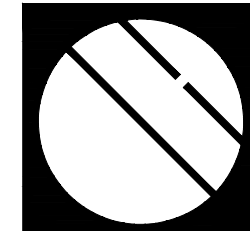
Unit may represent the perimeter, square footage, linear footage, total number or other measurement.

**Structural Details (Building 1)**

Description	
1. Year Built	1978
2. NEIGHBORHOOD BANK	4041

**MAP**

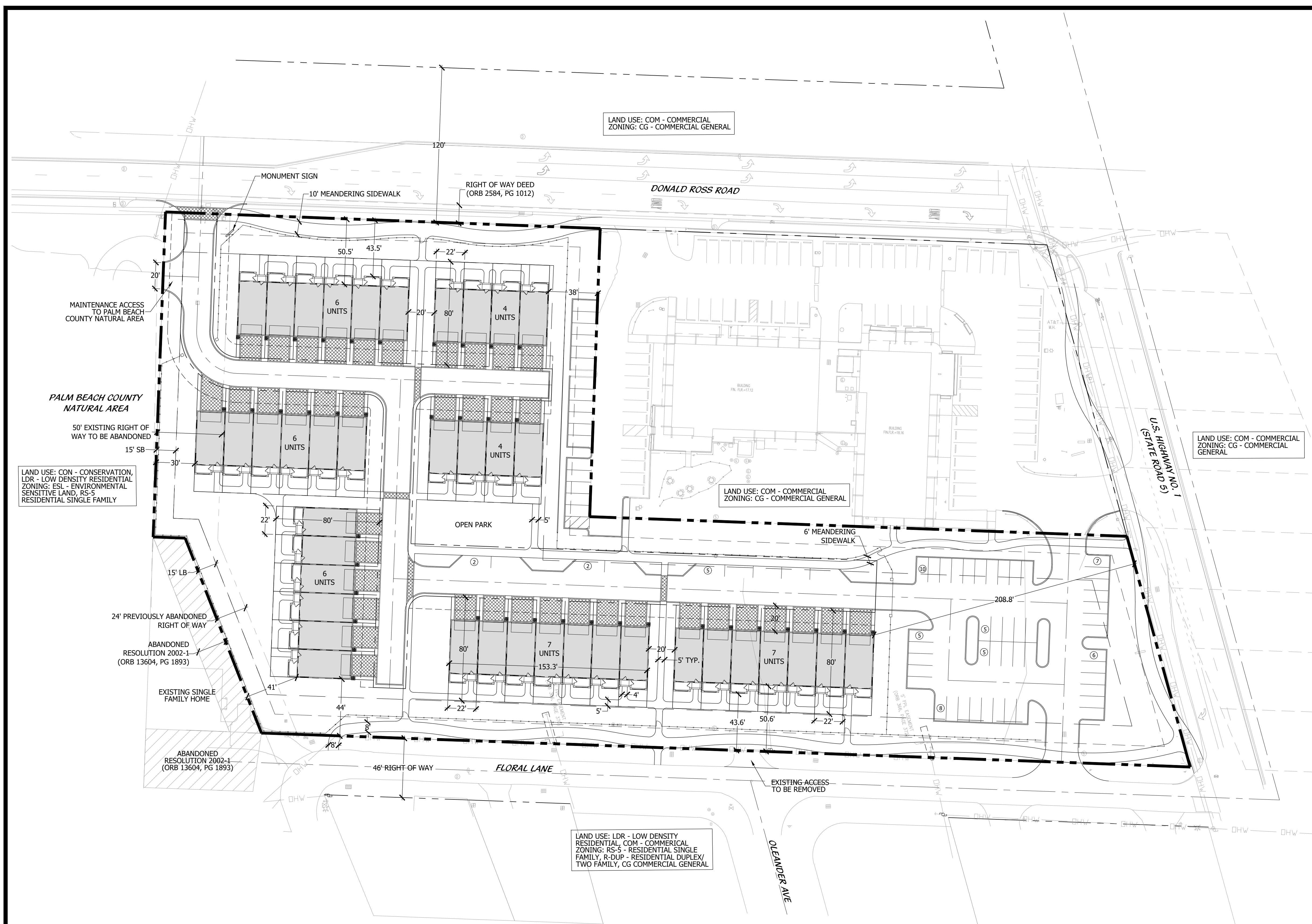




# Cotleur & Hearing

Landscape Architects  
Land Planners  
Environmental Consultants  
1934 Commerce Lane  
Suite 1  
Jupiter, Florida 33458  
561.747.6336 · Fax 747.1377  
www.cotleurhearing.com  
Lic# LC-26000535

## Juno Square Pulte Homes US1 & Donald Ross Rd., Palm Beach Gardens, Florida



### SITE DATA

PARCEL 1 PCN 28434128100070100  
PARCEL 2 PCN 28434128100070100

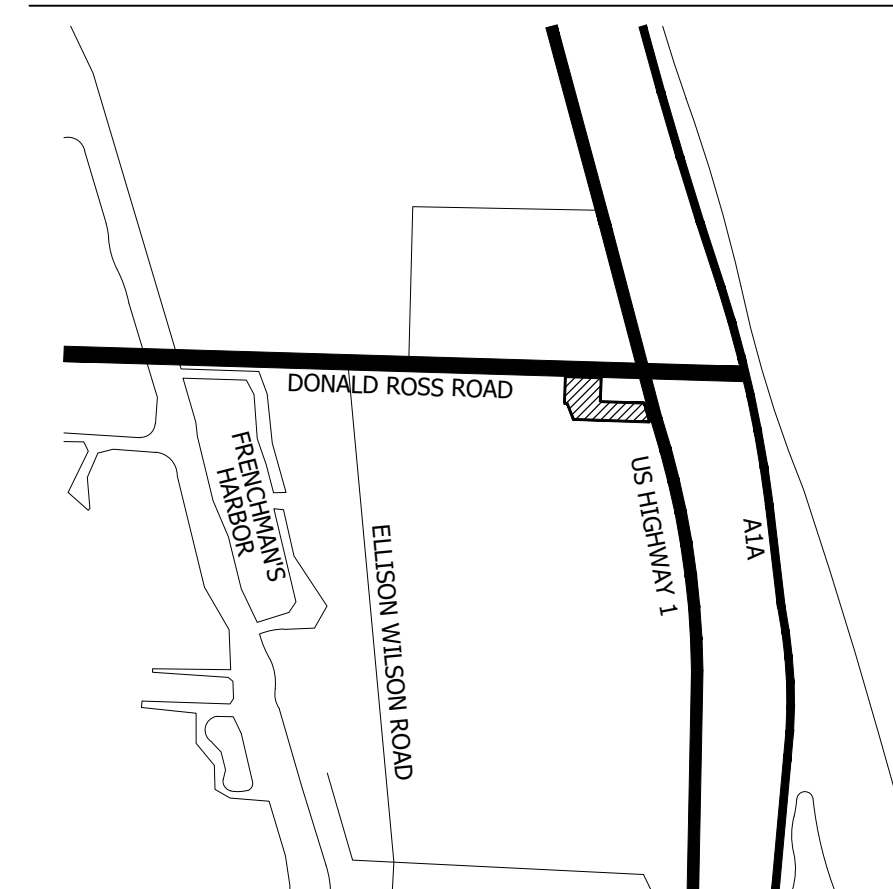
PARKING DATA		REQ.
BANK	1 PER 300 SQ.FT.	4173 14
RETAIL	1 PER 200 SQ.FT.	4096 21
RESTAURANT	1 PER 90 SQ.FT.	10079 112
OFFICE	1 PER 300 SQ.FT.	768 3
PERSONAL SERVICES	1 PER 200 SQ.FT.	1536 8
<b>TOTAL</b>		<b>158 SPACES</b>

EXISTING PARKING		REQ.	PROV.
PARCEL 1	33	EXISTING	
PARCEL 1	15	PROPOSED	
PARCEL 2	77	EXISTING	
<b>TOTAL</b>	<b>125</b>		

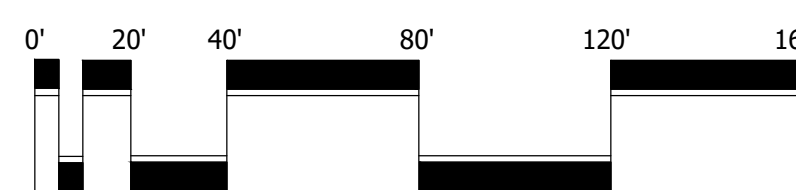
PROPOSED SITE PLAN RESIDENTIAL		UNITS	REQ.	PROV.
REQUIRED	40 UNITS	40	80	6
PROVIDED	TOWNHOUSE 2 PER UNIT			
	GUEST SPACES 1 PER 7 UNITS			
	TANDEM GARAGE/DRIVEWAY GRADE/GUEST		80	9
<b>TOTAL</b>		<b>86</b>	<b>89</b>	

COMMERCIAL		REQ.
REQUIRED	COMMERCIAL 1 PER 250 SQ.FT.	5000 20
	RETAIL 1 PER 200 SQ.FT.	4096 21
	RESTAURANT 1 PER 90 SQ.FT.	10079 112
	OFFICE 1 PER 300 SQ.FT.	768 3
	PERSONAL SERVICES 1 PER 200 SQ.FT.	1536 8
PROVIDED	PARCEL 1 EXISTING PARKING	77
	PARCEL 2 SHARED PARKING AREA 1	17
	PARCEL 2 SHARED PARKING AREA 2	70
<b>TOTAL</b>		<b>164</b>
<b>GRAND TOTAL</b>		<b>250</b>

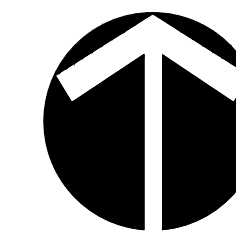
### LOCATION MAP



## Conceptual Site Plan 1



Scale: 1" = 40'-0"



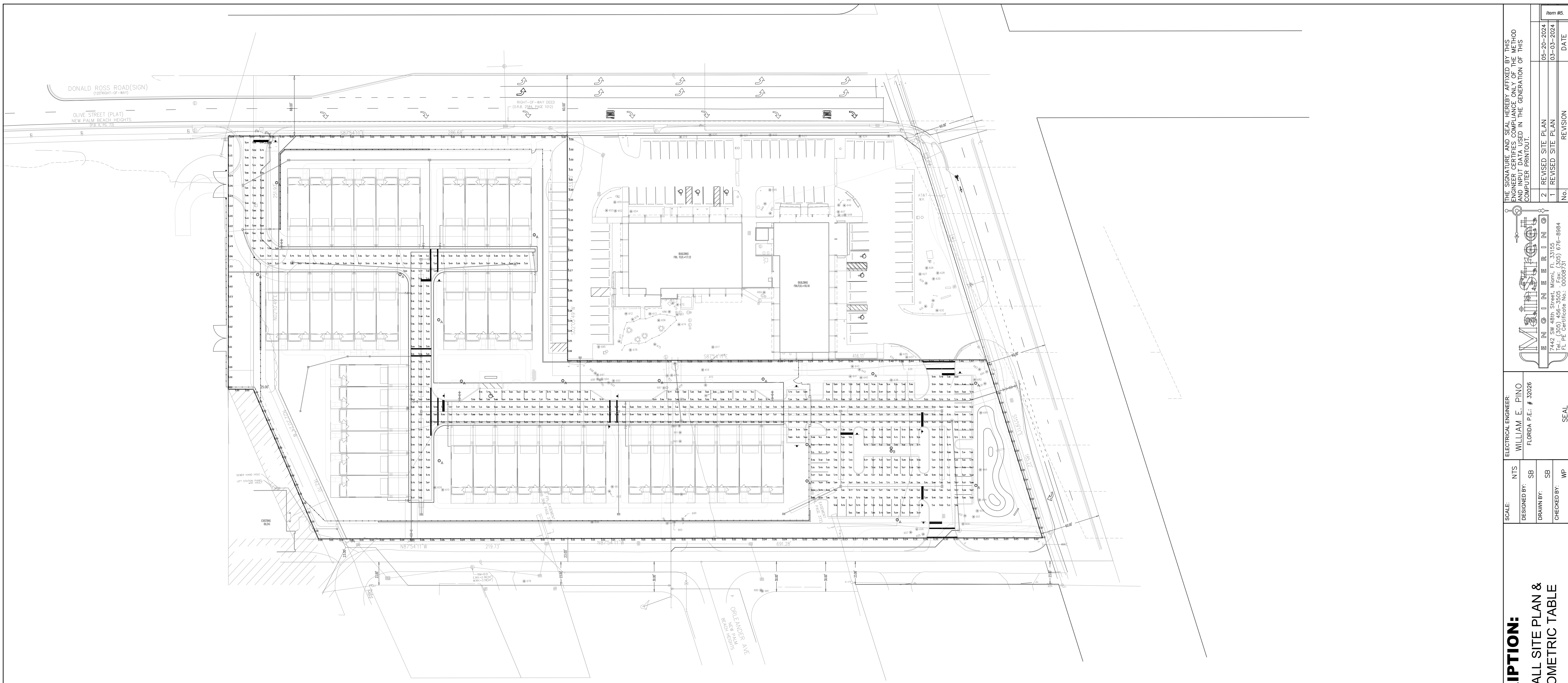
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DESIGNED EPB  
DRAWN EPB  
APPROVED DEH  
JOB NUMBER 22-0724  
DATE 05-17-2023  
REVISIONS

July 25, 2023 3:20:08 p.m.  
Drawing: 22-0724 SP.DWG

SHEET 1 OF 1

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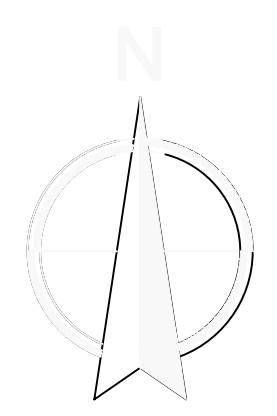
**PHOTOMETRIC TABLE:**

Symbol	Qty	Label	Arrangement	Description	File Name	LLF	Lum. Volts	Arm	MHL
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	36	A	Single	CDOPER_FPL-ARB-B3-LED-DI-T3-7030	ARB-B3-LED-DI-T3-7030 (3)ies	0.950	99	0	17.5

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ROADWAY	Illuminance	Fc	1.15	4.60	0.18	6.39	25.56
STREET PARKING	Illuminance	Fc	1.71	4.32	0.50	3.42	8.64
PARKING LOT	Illuminance	Fc	1.76	4.71	0.53	3.32	8.89
SPILLAGE	Illuminance	Fc	0.17	1.97	0.00	NA	NA

LumNo	Label	X	Y	Z	Orient
1	A	842.05	324.62	17.5	270
2	A	534.03	317.63	17.5	270
3	A	433.28	317.25	17.5	270
4	A	411.25	238.22	17.5	180
5	A	410.73	378.1	17.5	180
6	A	372.33	423.05	17.5	90
7	A	505.71	442.49	17.5	270
8	A	944.16	315.18	17.5	180
9	A	866.28	179.55	17.5	90
10	A	776.6	254.32	17.5	90
11	A	944.38	213.68	17.5	180
12	A	776.6	218.11	17.5	0
13	A	238.8	423.05	17.5	90
14	A	249.69	514.25	17.5	180
15	A	629.81	317.76	17.5	270
16	A	733	319.29	17.5	270
17	B	866.28	249.34	17.5	90

**NOTES:**  
**POLES AND FIXTURES TO BE SUPPLIED BY FPL.**  
**FOR LIGHTING QUESTIONS, PLEASE CONTACT:**  
**MAINOR PINO AT 561-373-9004**



# PHOTOMETRIC PLAN

**TABLE OF CONTENTS:**

- PH-01**
- PH-02**
- PH-03**

**OVERALL SITE PLAN & PHOTOMETRIC TABLE ENLARGED PXP VALUES POLE AND FIXTURE DETAILS**

**PROJECT:**  
THE DUNES AT JUNO BEACH  
JUNO BEACH, FLORIDA

**DESCRIPTION:**  
OVERALL SITE PLAN & PHOTOMETRIC TABLE

**SCALE:**  
NTS  
DESIGNED BY: SB  
DRAWN BY: SB  
CHECKED BY: WP

**ELECTRICAL ENGINEER:**  
WILLIAM E. PINO  
FLORIDA P.E. # 32026

**SEAL**

DATE  
11/01/2023  
PROJECT NO.  
M23027

REVISION  
2 REVISED SITE PLAN  
1 REVISED SITE PLAN

DATE  
05-20-2024  
03-03-2024

SHEET NUMBER  
**PH-01**

Item #5.  
05-20-2024  
03-03-2024

REVISION  
DATE



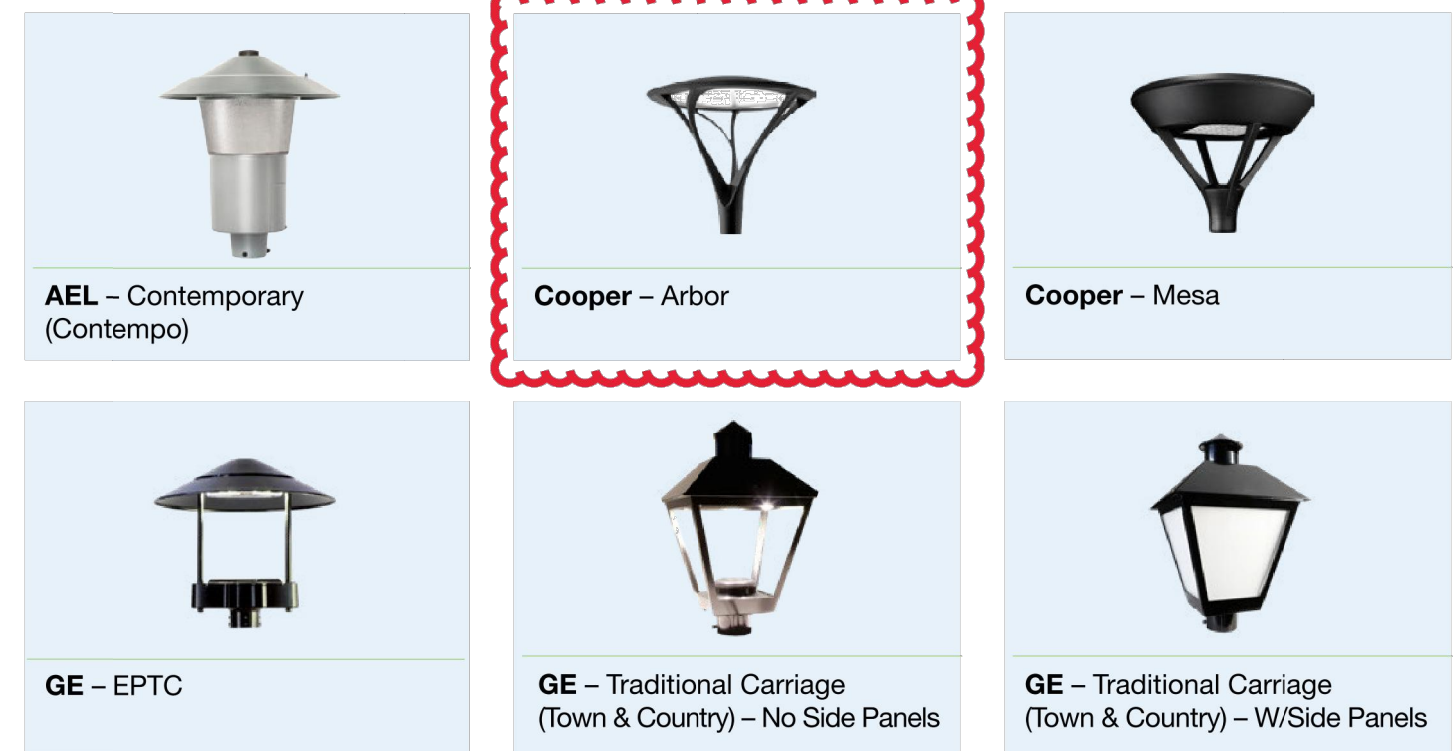




**FPL** LED Lighting Solutions

# Post Top Lighting

Making a Great First Impression



**POST TOP LIGHTING (Page 1 of 2)**

Manufacturer	Style	Fixture	Pole Options	Bracket Pattern	Light NEMA Label	Line Watts/Temp	Color Temp	Lumens	Glare Rating (BUG)	.ies File	Billing Tier
AEL	Contemporary (Contempo)		1 (20'), 2, 8	NA	3	38/40	3000K	3,358	B1-U3-G2	245L_P30_XX_30K_R3_RNA_FP095.ies	C2
			1 (20'), 2, 8	NA	3	72/70	3000K	6,385	B2-U3-G2	245L_P55_XX_30K_R3_RNA_FP095_SPECIAL.ies	E3
			1 (20'), 2, 8	NA	3	38/40	4000K	3,615	B1-U3-G2	245L_P30_XX_40K_R3_RNA_FP095.ies	C2
			1 (20'), 2, 8	NA	3	72/70	4000K	6,874	B2-U3-G2	245L_P55_XX_40K_R3_RNA_FP095_SPECIAL.ies	E3
Cooper	Arbor		1 (20'), 2", 5, 8	NA or 6	3	48	3000K	4,173	B1-U0-G2	ARB-B2-LED-D1-T3-7030	D6
			1 (20'), 2", 5, 8	NA or 6	3	48	4000K	4,534	B1-U0-G2	ARB-B2-LED-D1-T3-7040	D6
Cooper	Mesa		1 (20'), 2", 5, 8	NA or 6	3	99	3000K	7,779	B2-U0-G3	ARB-B3-LED-D1-T3-7030	G6
			1 (20'), 2", 5, 8	NA or 6	3	99	4000K	8,451	B2-U0-G3	ARB-B3-LED-D1-T3-7040	G6
Cooper	Mesa		1 (20'), 2", 5, 8, 9	NA or 6	3	75/80	4000K	7,456	B2-U0-G2	PMMSA2A740UT3-75W	E5
			1 (20'), 2", 5, 8, 9	NA or 6	3	150/150	4000K	14,911	B3-U0-G3	PMMSA4A740UT3-150W PMMSA4A-740UT3-150W	J6
Cooper	Mesa		1 (20'), 2", 5, 8, 9	NA or 6	5	258	4000K	28,336	B5-U0-G4	PMMSA4D740U5WQ-258W	O6
			1 (20'), 2, 8	NA or 6	3	65/70	4000K	7,300	B3-U0-G1	EPTC02_07A40_____ies	E4
GE	Traditional Carriage (Town & Country) - No Side Panels		1 (20'), 2, 8	NA or 6	3	39/40	3000K	4,090	B1-U0-G2	EPTT01_F4BN30_____120-277V.IES	C3
			1 (20'), 2, 8	NA or 6	3	39/40	4000K	4,110	B1-U0-G2	EPTT01_F4BN40_____120-277V.IES	C3
			1 (20'), 2, 8	NA or 6	3	73/70	3000K	7,425	B2-U0-G2	EPTT01_F7DN30_____120-277V.IES	E3
			1 (20'), 2, 8	NA or 6	3	73/70	4000K	7,660	B2-U0-G2	EPTT01_F7DN40_____120-277V.IES	E3
GE	Traditional Carriage (Town & Country) - W/Side Panels		1 (20'), 2, 8	NA or 6	3	39/40	3000K	3,500	B1-U3-G3	EPTT01_F4BA30_____120-277V.IES	C3
			1 (20'), 2, 8	NA or 6	3	39/40	4000K	3,600	B1-U3-G3	EPTT01_F4BA40_____120-277V.IES	C3
			1 (20'), 2, 8	NA or 6	3	73/70	3000K	6,450	B2-U4-G3	EPTT01_F7DA30_____120-277V.IES	E3
			1 (20'), 2, 8	NA or 6	3	73/70	4000K	6,750	B2-U4-G3	EPTT01_F7DA40_____120-277V.IES	E3

**NOTES:**  
**POLES AND FIXTURES TO BE SUPPLIED BY FPL.**  
**FOR LIGHTING QUESTIONS, PLEASE CONTACT:**  
**MAINNOR PINO AT 561-373-9004**

**FPL** LED Lighting Solutions

# Brackets and Poles

Discover a New Road to Efficiency

**BRACKETS (Page 2 of 2)**

Style	Color
Decorative Double Bracket Tenon Mounted Arm	Black Green
Multiple Fixture Configurations Available	Black Gray Bronze
Decorative Double Modern Bracket Tenon Mounted Arm	Black
14'6" bracket with 15'6" upsweep rise for special applications only. Pole 10 only	Silver

**TYPE B**

**POLES**

1 Standard Concrete Tenon Mount 20' (13' MH) 35' (27'6" MH)	2 Standard Black Fiberglass Tenon Mount 13' (10' MH) 20' (15'6" MH)	3 Black Washington Concrete Tenon Mount 23' (16' MH)	4 Black Octagonal Concrete Tenon Mount 37' (30' MH)	5 Black or Green Washington Concrete Tenon Mount 18.5' (14'6" MH)
6 Standard Wood Arm Mount 35' (29' MH) 40' (33'6" MH) 45' (38" MH)	7 Standard Concrete Arm Mount 30' (22'6" MH) 35' (27'6" MH) 40' (30" MH) 45' (35" MH)	8 Black Tapered Concrete Tenon Mount 14'6" (10' MH) 21'15" (16" MH) 33' (24" MH)	9 Grey or Black Round Concrete Pole on Concrete Base (Non-robust Only) 22' pole 25' MH	10 Unfinished Round Tapered Concrete Arm Mount 28' pole 35' MH (for use with bracket 7 only)

**TYPE A**  
**TYPE B**

\*MH = Approximate Mounting Height

**DESCRIPTION:**  
**FPL POLE & FIXTURE DETAILS**

**PROJECT:**  
**THE DUNES AT JUNO BEACH**  
**JUNO BEACH, FLORIDA**

**DATE:** 11/01/2023  
**PROJECT NO.:** M23027  
**SHEET NUMBER:** PH-01

**ELECTRICAL ENGINEER:** WILLIAM E. PINO  
 FLORIDA P.E. # 32026  
 7442 SW 48th Street, Miami, FL 33155  
 (305) 555-0050  
 FL PE Certificate No.: 00008731

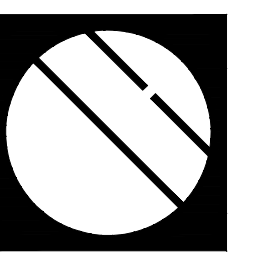
**SCALE:** NTS  
**DESIGNED BY:** SB  
**DRAWN BY:** SB  
**CHECKED BY:** WP

**REVISION:**

No.	REVISION	DATE
2	REVISED SITE PLAN	05-20-2024
1	REVISED SITE PLAN	03-03-2024

THE SIGNATURE AND SEAL HEREBY AFFIXED BY THIS ENGINEER CERTIFIES COMPLIANCE ONLY OF THE METHOD AND INPUT DATA USED IN THE GENERATION OF THIS COMPUTER PRINTOUT.





# Cotleur & Hearing

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Land Planners  
Environmental Consultants  
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www.cotleurhearing.com  
Lic# LC-26000535

# The Dunes at Juno Beach

## Pulte Homes

US1 & Donald Ross Rd., Juno Beach, Florida

### SITE DATA

PETITION NUMBER	TBD
PARCEL CONTROL NUMBER	28-43-41-28-10-007-0111
TOTAL SITE AREA*	4.70 AC
EXISTING LAND USE	COMMERCIAL
PROPOSED LAND USE	MODERATE DENSITY RESIDENTIAL
EXISTING ZONING	CG GENERAL COMMERCIAL
PROPOSED ZONING	RM-2/PUD
PROPOSED TOWNHOMES DENSITY	40 8.51

SITE AREA CALCULATIONS		
TOTAL AREA	REQUIRED 20,000 SF MIN.	PROVIDED 204,827 SF
LOT WIDTH	100 FT MIN.	618.45 FT
LOT DEPTH	150 FT MIN.	229.56 FT
DENSITY	12 MAX.	8.51

BUILDING DATA		
BUILDING LOT COVERAGE	REQUIRED 50%	PROVIDED 18%
MAXIMUM BUILDING HEIGHT	40 FEET	40 FEET
MAXIMUM STORIES	3	3
BEDROOMS		3
MAXIMUM BUILDING LENGTH	150 FEET	154 FEET
BUILDING SEPARATION	30 FEET	22.5 FEET
FEE SIMPLE TH LOTS (22' X 75')	750 SF	1,650 SF
FEE SIMPLE LOT COVERAGE	80%	64%

TOTAL LIVING AREA PER FLOOR		
FIRST FLOOR		450
SECOND FLOOR		911
THIRD FLOOR		902

GROSS BUILDING AREA		
4 UNIT BUILDING		3,696 SF
6 UNIT BUILDING		5,543 SF
7 UNIT BUILDING		6,468 SF

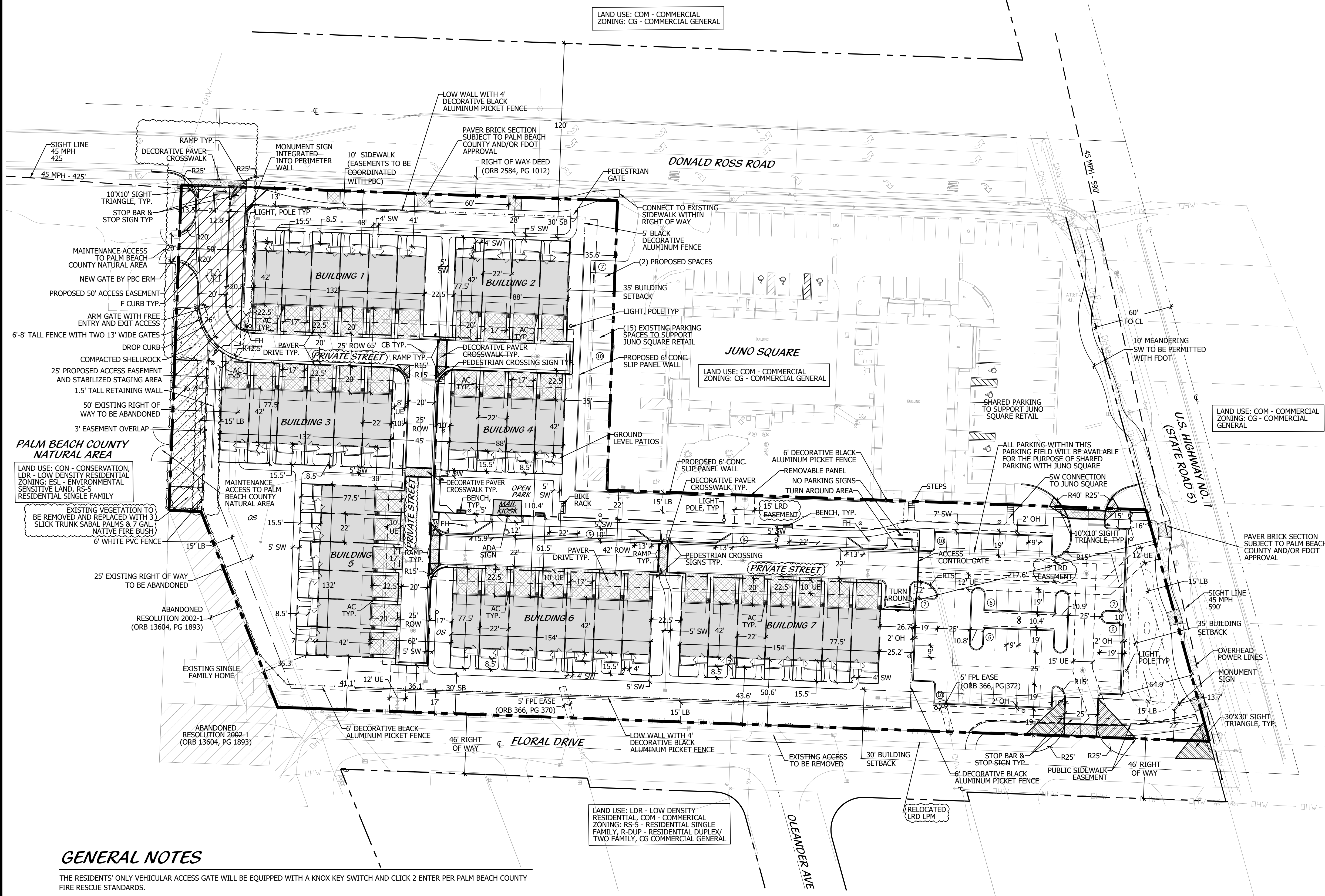
OPEN SPACE CALCULATIONS		
IMPERVIOUS		
BUILDING LOT COVERAGE	0.85 ACRES	18% PERCENT
VEHICULAR USE AREAS	1.40 ACRES	30%
SIDEWALKS	0.53 ACRES	11%
SUB TOTAL	2.78 ACRES	59%
PERVIOUS		
OPEN SPACE & BUFFERS	1.93 ACRES	41%
SUB TOTAL	1.93 ACRES	41%
TOTAL	4.70 ACRES	100%

PARKING		
TOWN HOMES (2 PER UNIT)	REQUIRED 80	PROVIDED 80
GARAGE		80
TANDUM- DRIVEWAY		80
GUEST (1 PER 7 DU)	6	9
TOTAL	86	169
SHARED PARKING TO SUPPORT ADJ. COMMERCIAL	67	69

BOUNDARY SETBACKS		
NORTH- DONALD ROSS ROAD	REQUIRED 30 FEET	PROVIDED 41 FEET
SOUTH-FLORAL DR	30 FEET	41.1 FEET
EAST- JUNO SQ/US HIGHWAY 1	35 FEET	35 & 217.6 FEET
WEST- PBC PRESERVE	15 FEET	35.3 FEET

TH LOT SETBACKS		
FRONT	15.5 FEET	8.5 FEET
REAR	17.5 FEET	N/A
SIDE	0 FEET	N/A

\* SITE AREA INCLUDES THE RIGHT OF WAY TO BE ABANDONED (0.38 AC) AND SUBJECT PARCEL (4.32 AC)



### GENERAL NOTES

- THE RESIDENTS' ONLY VEHICULAR ACCESS GATE WILL BE EQUIPPED WITH A KNOX KEY SWITCH AND CLICK 2 ENTER PER PALM BEACH COUNTY FIRE RESCUE STANDARDS.
- LIGHTING WITHIN THE VEHICULAR USE AREAS WILL CONFORM TO THE TOWN OF JUNO BEACH PHOTOMETRIC STANDARDS.
- TRASH & RECYCLING WILL BE TRADITIONAL RESIDENTIAL CURB SIDE SERVICES.
- PEDESTRIAN ACCESS EASEMENTS WILL BE PROVIDED TO THE TOWN OF JUNO BEACH, PALM BEACH COUNTY, AND THE FDOT TO ACCOMMODATE THE MEANDERING SIDEWALKS.
- PAVEMENT MARKINGS AND STRIPING SHALL BE INSTALLED WITH THERMOPLASTIC MATERIAL. CONTRASTING BRICK PAVERS OF THE APPROPRIATE COLOR SHALL BE USED IN BRICK PAVEMENT AREAS IN LIEU OF THERMOPLASTIC MATERIAL.
- ALL SIGNAGE SHALL CONFORM TO THE REQUIREMENTS OF THE TOWN OF JUNO BEACH.
- RAMPS SHALL BE PROVIDED AT ALL INTERSECTIONS WITH DRIVE AISLES IN ACCORDANCE WITH ADA AND THE FLORIDA HANDICAP ACCESSIBILITY CODE.
- PHASING: ALL LAND DEVELOPMENT WORK WILL BE CONDUCTED WITHIN A SINGLE PHASE OF DEVELOPMENT. THE BUILDINGS WILL BE CONSTRUCTED INDIVIDUALLY BASED ON MARKET CONDITIONS.
- PER SECTION 34-981(5)(e)(2) GARAGES FOR INDIVIDUAL RESIDENTIAL UNITS SHALL BE ADEQUATELY SIZED TO PROVIDE FOR BICYCLE STORAGE.
- MAINTENANCE OF ERM FENCE AND GATE WILL BE MAINTAINED BY ERM.
- NO INVASIVE NONNATIVE VEGETATION SHALL BE PLANTED WITHIN FIVE HUNDRED FEET (500') OF THE JUNO DUNES ENVIRONMENTALLY SENSITIVE LAND (ESL) AREA.
- EXISTING NATIVE VEGETATION ON SITE WILL BE PRESERVED OR RELOCATED TO THE MAXIMUM EXTENT POSSIBLE. ANY NATIVE VEGETATION THAT IS NOT PROPOSED TO PRESERVED OR RELOCATED WILL BE MADE AVAILABLE TO TOWN RESIDENTS IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF JUNO BEACH.
- CROSS ACCESS AND PARKING EASEMENTS SHALL BE PROVIDED ON THE PLAT TO FACILITATE CONNECTIVITY AND SHARED PARKING FOR JUNO SQUARE.
- PURSUANT TO SEC. 6-24 OF THE TOWN OF JUNO BEACH CODE OF ORDINANCES, THE SUBJECT CONSTRUCTION PERIOD CANNOT EXCEED 36 MONTHS FROM THE DATE OF THE INITIAL BUILDING PERMIT UNLESS EXTENDED BY THE TOWN.
- THIS PROJECT WILL BE CONSTRUCTED IN A SINGLE PHASE OF DEVELOPMENT. CONSTRUCTION WILL NOT EXCEED 36 MONTHS.
- THE TOWN OF JUNO WATER UTILITY EASEMENTS WILL BE RECORDED BY SEPARATE INSTRUMENT.

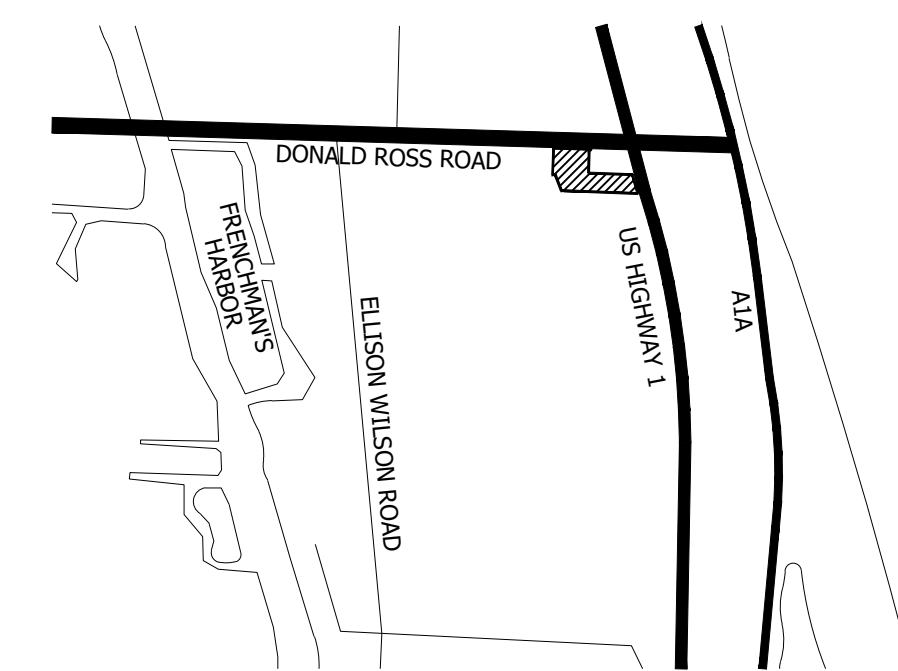
### LEGEND

- ADA AMERICANS W DISABILITIES ACT
- LB LANDSCAPE BUFFER
- R RADIUS
- SB SETBACK
- SW SIDEWALK
- TYP TYPICAL
- OS OPEN SPACE
- ROW RIGHT OF WAY
- FH FIRE HYDRANT
- CB CATCH BASIN
- C CENTER LINE
- UE UTILITY EASEMENT
- LRD LOXAHATCHEE RIVER DISTRICT
- LPM LOW PRESSURE MAIN
- STOP SIGN
- PEDESTRIAN CROSSING
- LIGHT POLE

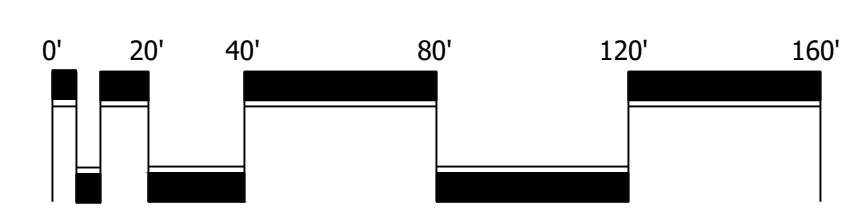
### FENCE AND WALL LEGEND

- 6" CONCRETE SLIP PANEL WALL
  - LOW WALL WITH 4" DECORATIVE BLACK ALUMINUM PICKET FENCE
  - 6" DECORATIVE BLACK ALUMINUM PICKET FENCE
  - 6" WHITE PVC FENCE
  - 6" BLACK VINYL CHIN LINK FENCE WITH GATES
- WALLS ALONG DONALD ROSS ROAD AND FLORAL DRIVE SHALL NOT EXCEED 4 FEET IN HEIGHT.

### LOCATION MAP



## Site Development Plan



Scale: 1" = 40'-0"



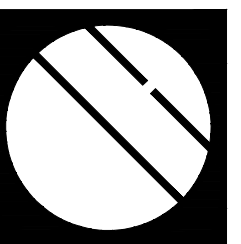
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DRAWN	RO
APPROVED	DEH
JOB NUMBER	22-0724
DATE	10-23-23
REVISIONS	03-25-24
	04-18-24
	05-13-24
	06-12-24
	07-09-24

July 09, 2024 3:02:57 p.m.  
Drawing: 22-0724 SP.DWG

SHEET 1 OF 2

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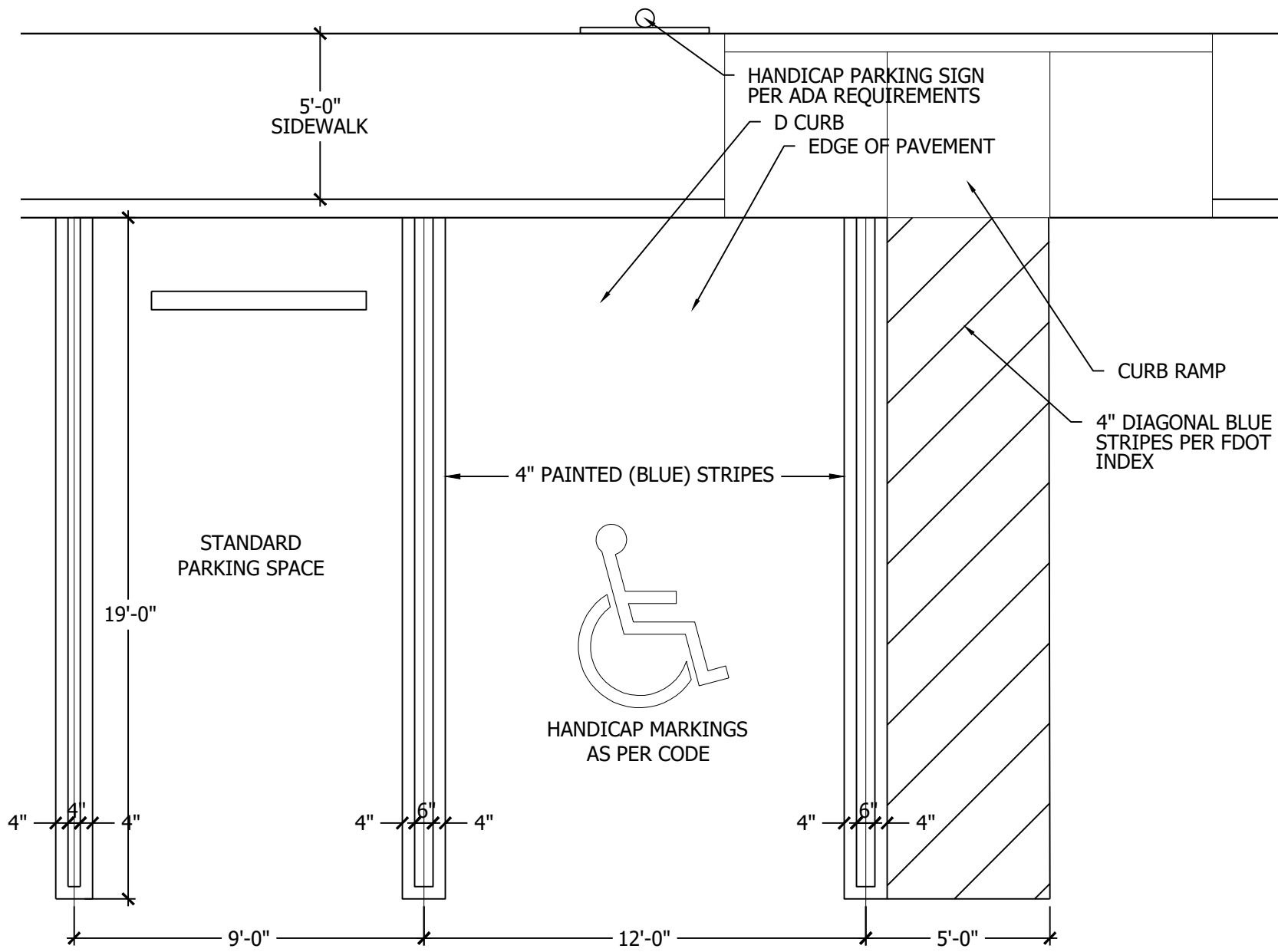
1934 Commerce Lane  
Suite 1  
Jupiter, Florida 33458  
561.747.6336 • Fax 747.1377  
www.cotleurhearing.com  
Lic# LC-26000535

# The Dunes at Juno Beach

Pulte Homes  
US1 & Donald Ross Rd., Juno Beach, Florida

## STANDARD AND HANDICAP PARKING DETAIL

NTS



## BIKE RACK DETAIL

OR EQUAL NTS



## ACCESS GATE DETAIL

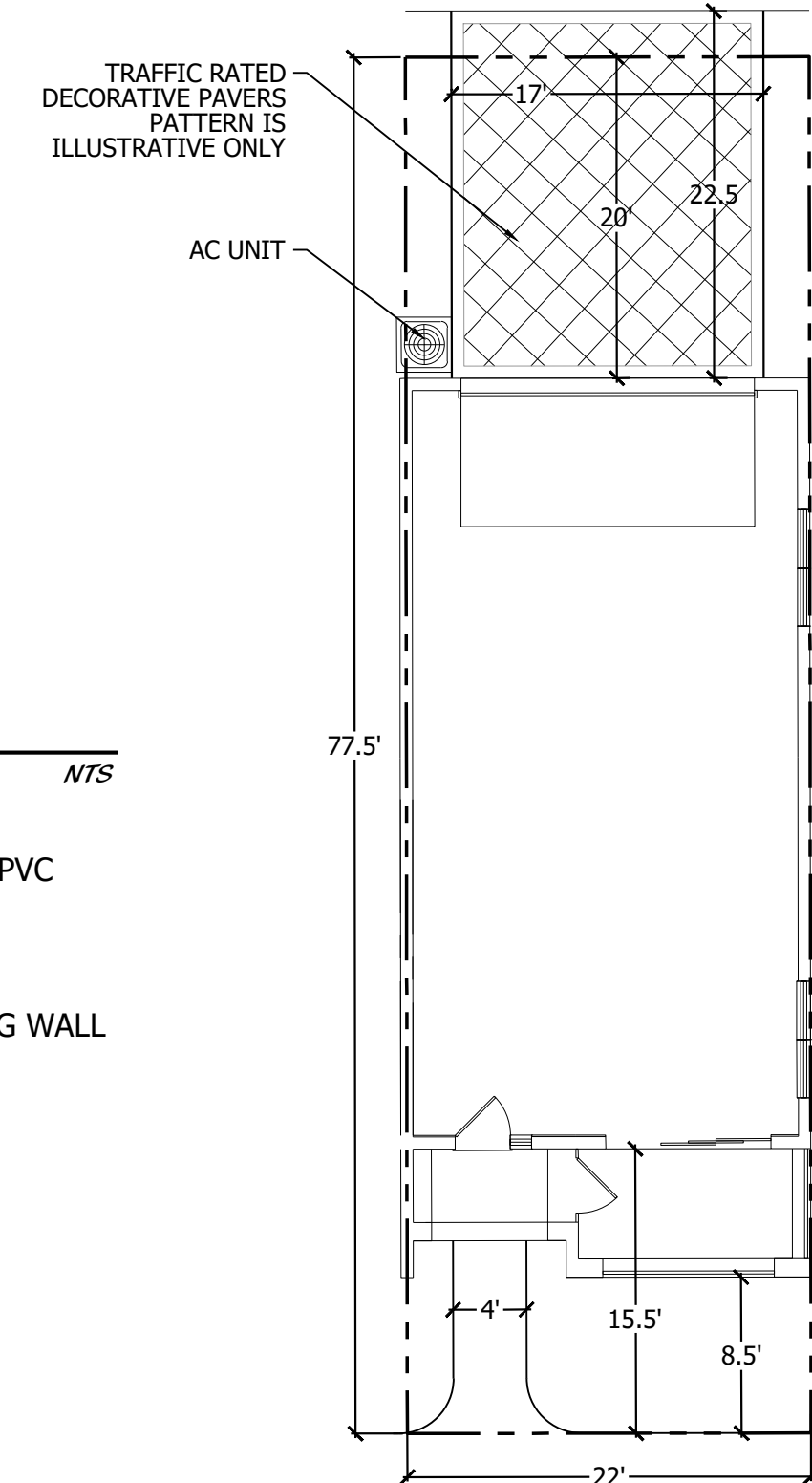
OR EQUAL PCB ERM NATURAL AREA NTS



CHAIN LINK FENCE TO BE BLACK VINYL

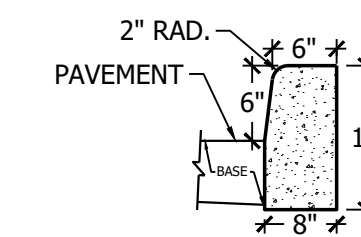
## TYPICAL LOT LAYOUT

1"=10'



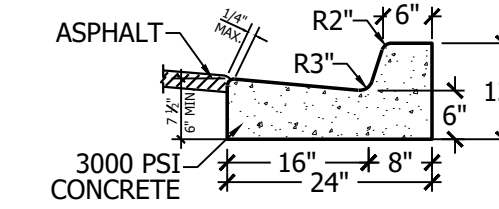
## D CURB DETAIL

NTS



## F CURB DETAIL

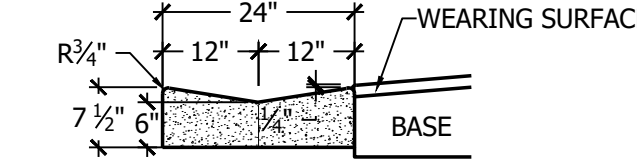
NTS



NOTE: WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE SLOPE OF ADJACENT PAVEMENT AND THICKNESS OF THE LIP SHALL BE 6 INCHES.

## VALLEY CURB DETAIL

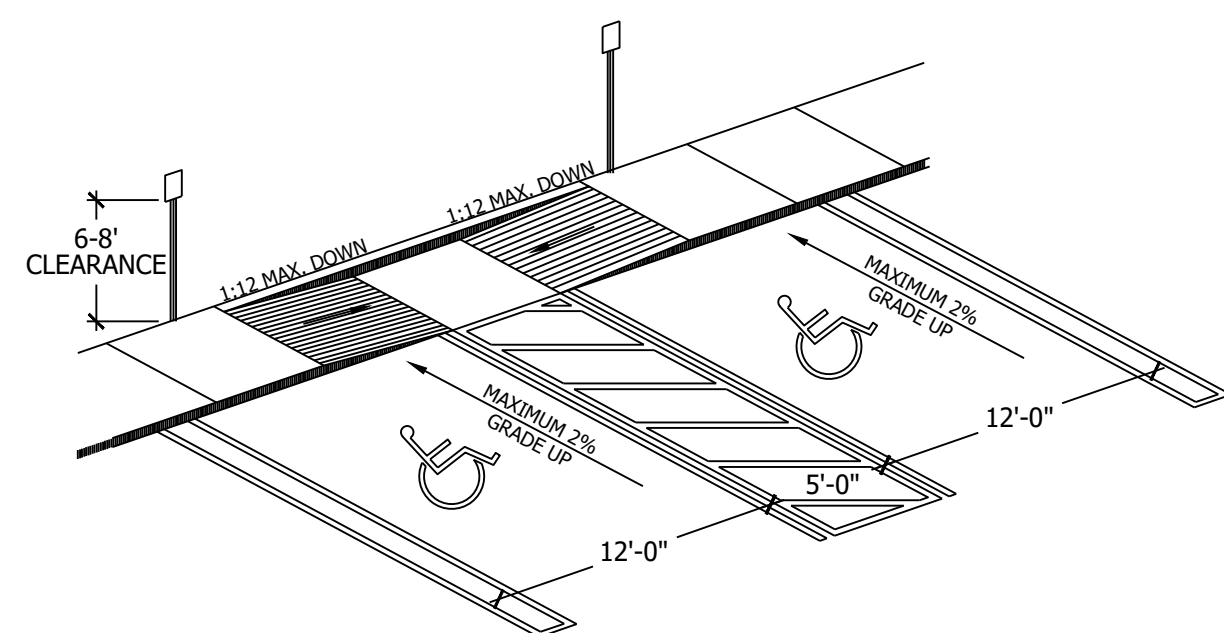
NTS



NOTE: SAWCUTS REQUIRED AT 10' CENTERS

## HANDICAP RAMP DETAIL

NTS



NOTE: IN THIS APPLICATION RAMPS CAN BE SEPARATED AND SIDEWALK CAN BE FLUSH ACROSS ALL HC SPACES  
NOTE: HCR#3-MOD MEANS ONLY 1 RAMP BUILT TO REQUIRED SIDE OF SIDEWALK. OR RAMPS SEP. TO ENDS OF HC SPACES

## TRASH CAN DETAIL

OR EQUAL NTS



## MAIL KIOSK DETAIL

OR EQUAL NTS



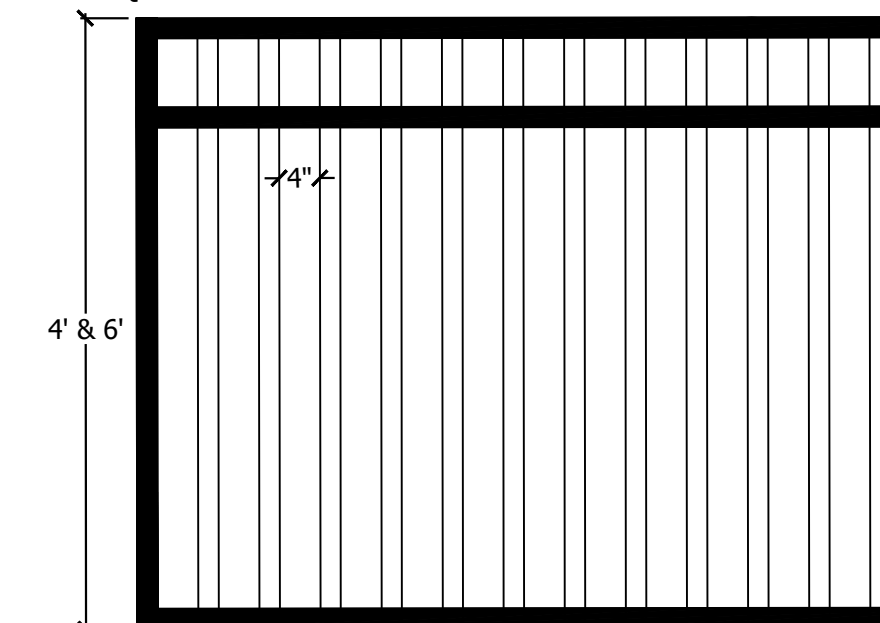
## ARM GATE DETAIL

OR EQUAL NTS



## ALUMINUM FENCE DETAIL

OR EQUAL NTS



DECORATIVE BLACK ALUMINUM FENCE  
4' ON LOW WALL AND 6'

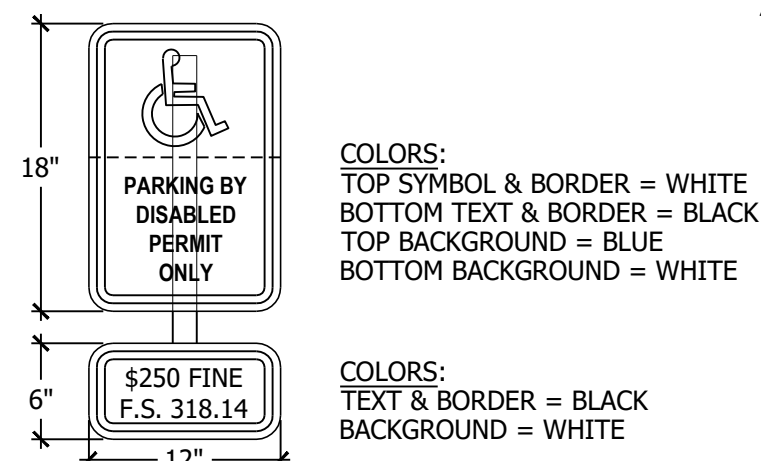
## BENCH DETAIL

OR EQUAL NTS



## HANDICAP SIGN DETAIL

NTS

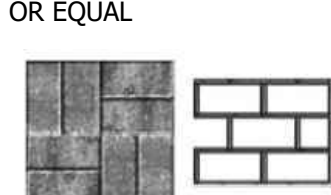


COLORS:  
TOP SYMBOL & BORDER = WHITE  
BOTTOM TEXT & BORDER = BLACK  
TOP BACKGROUND = BLUE  
BOTTOM BACKGROUND = WHITE

COLORS:  
TEXT & BORDER = BLACK  
BACKGROUND = WHITE

## PAVER DETAIL

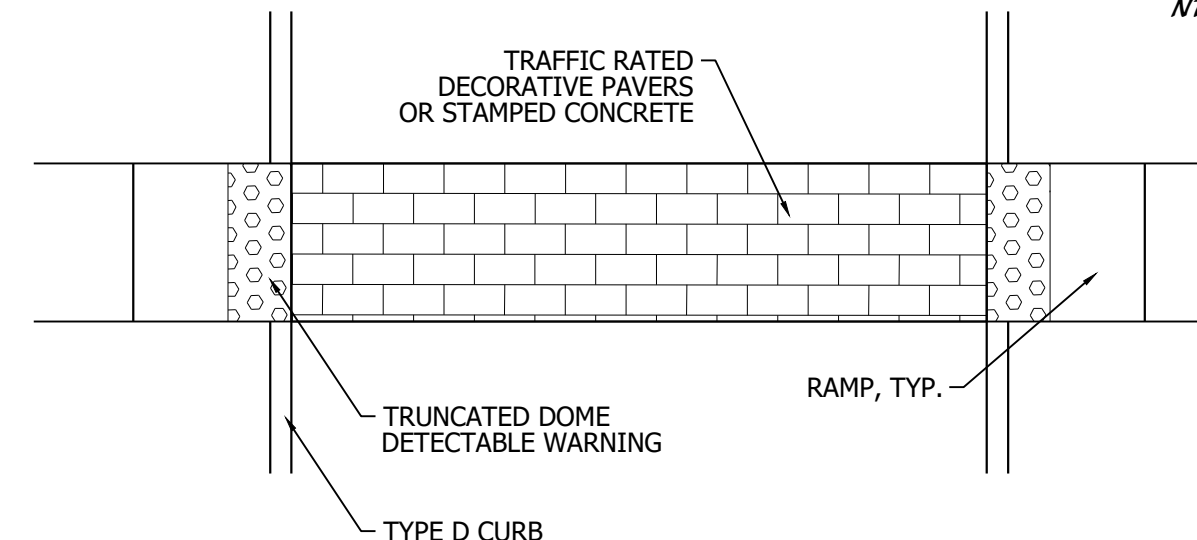
OR EQUAL NTS



TREMORON  
4 X 8  
COLOR: GLACIER  
PATTERN: RUNNING BOND

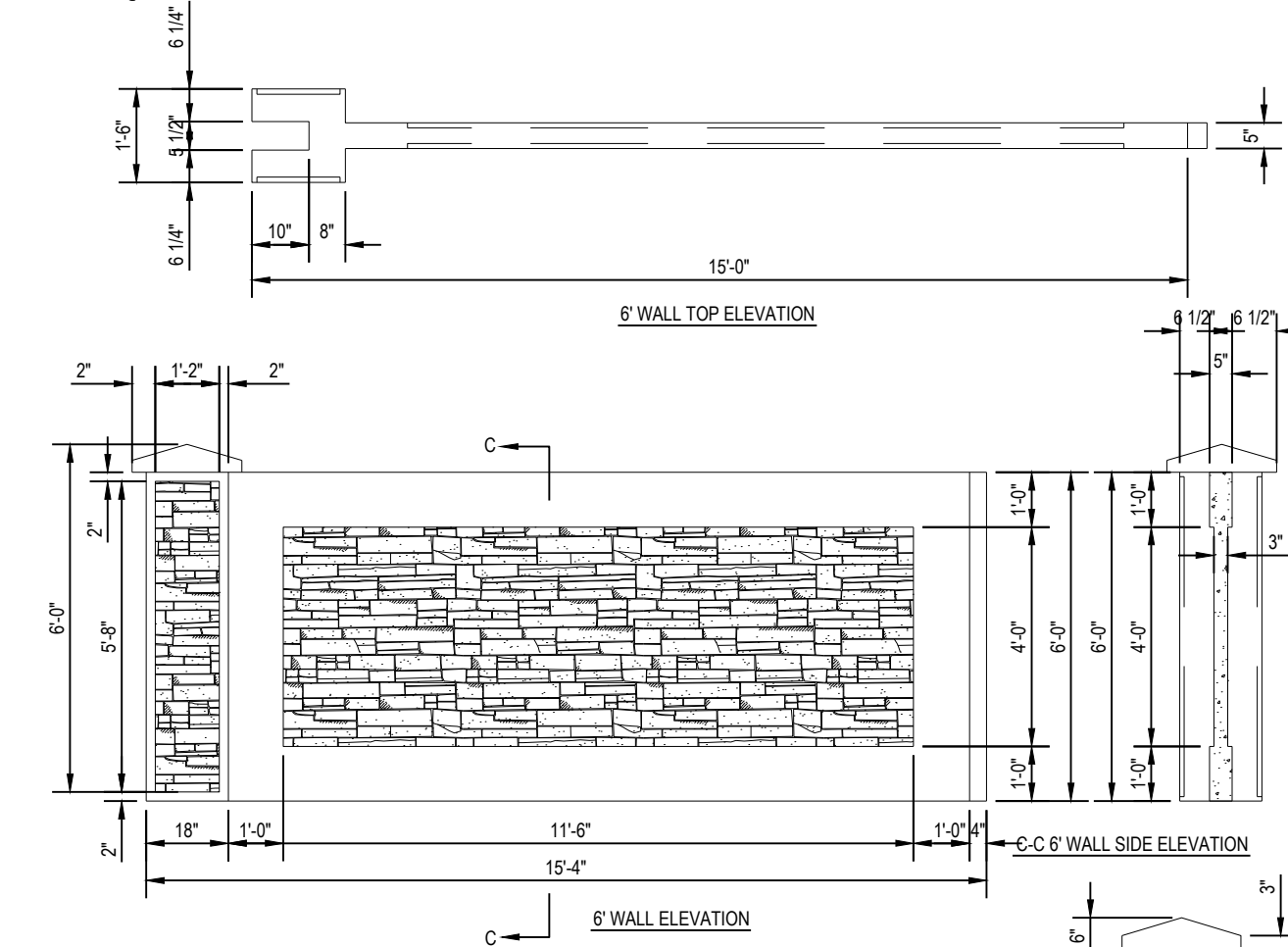
## CROSSWALK DETAIL

NTS



## SLIP PANEL WALL DETAIL

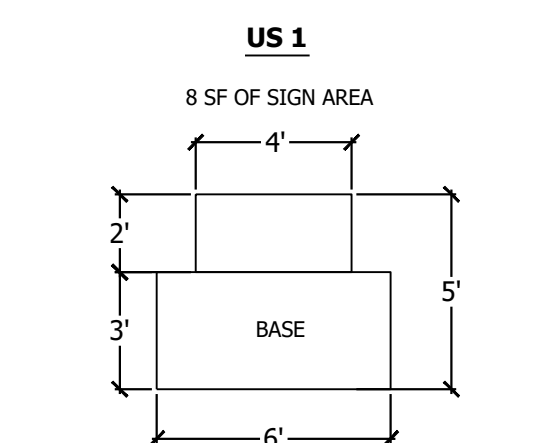
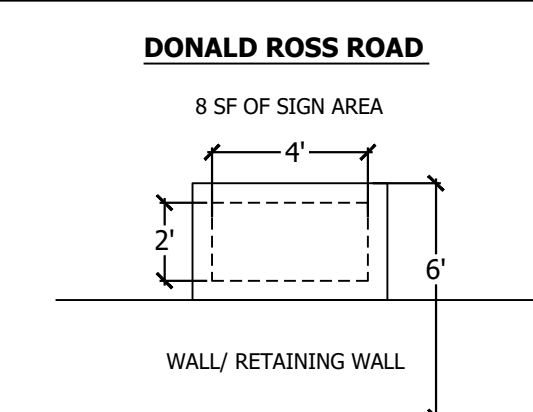
OR EQUAL NTS



NOTES:  
1. INSTALLATION TO COMPLY WITH ENGINEERING FOR WIND LOADS BASED ON JOB SITE LOCATION.  
2. DRAWINGS NOT TO SCALE.  
3. VARIOUS TEXTURED FINISHES ARE AVAILABLE. CONTACT COASTAL CONCRETE PRODUCTS, LLC FOR FURTHER INFORMATION.  
3921 PROSPECT AVE. NAPLES, FL 34104 • 239-263-9700 • WWW.COASTALCONCRETEPROD.COM.  
4. FOOTING DIMENSIONS VARY ACCORDING TO WALL HEIGHT AND JOB SITE CONDITIONS.

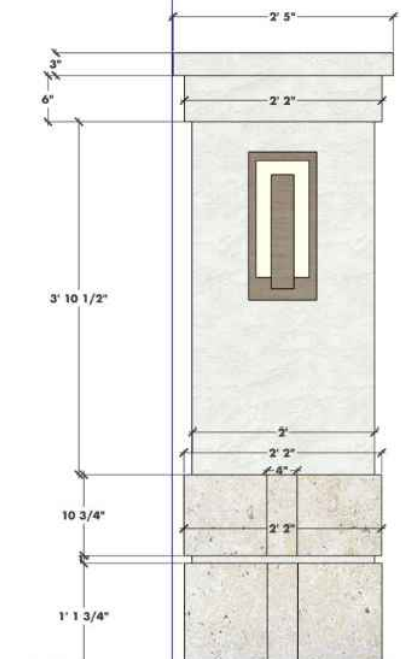
## MONUMENT SIGN DETAIL

NTS



## COLUMN DETAIL

NTS



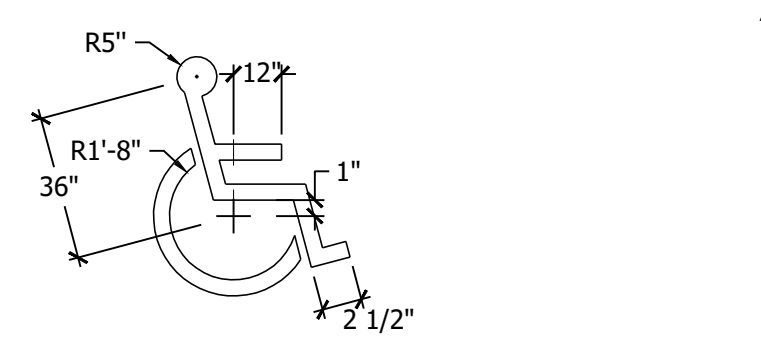
## GATE DETAIL (ACCESS GATE FROM PARKING AREA)

OR EQUAL NTS



## HANDICAP SYMBOL DETAIL

NTS



NOTE: SYMBOL TO BE 4" WIDE WHITE TRAFFIC PAINT ON PAVEMENT OR COLORED PAVERS TYPICAL AT ALL HANDICAP SPACES

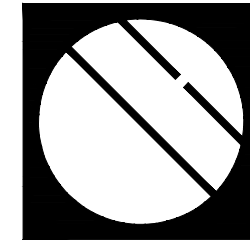
# Site Details

DESIGNED	DEH
DRAWN	RO
APPROVED	DEH
JOB NUMBER	22-0724
DATE	10-23-23
REVISIONS	03-25-24
	05-13-24
	06-12-24
	07-09-24

July 09, 2024 3:02:57 p.m.  
Drawing: 22-0724 SP.DWG

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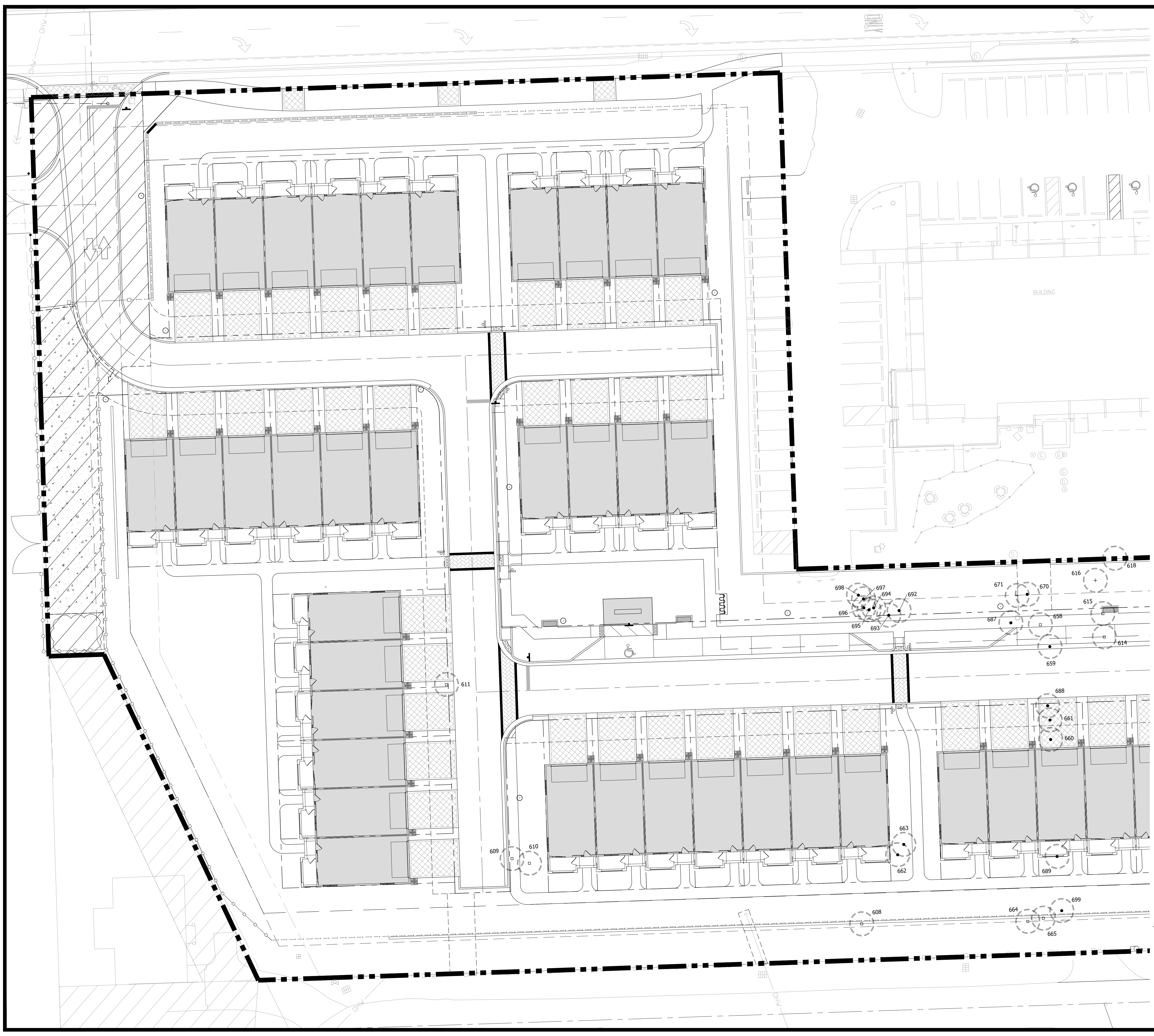
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## The Dunes at Juno Beach

Pulte Homes

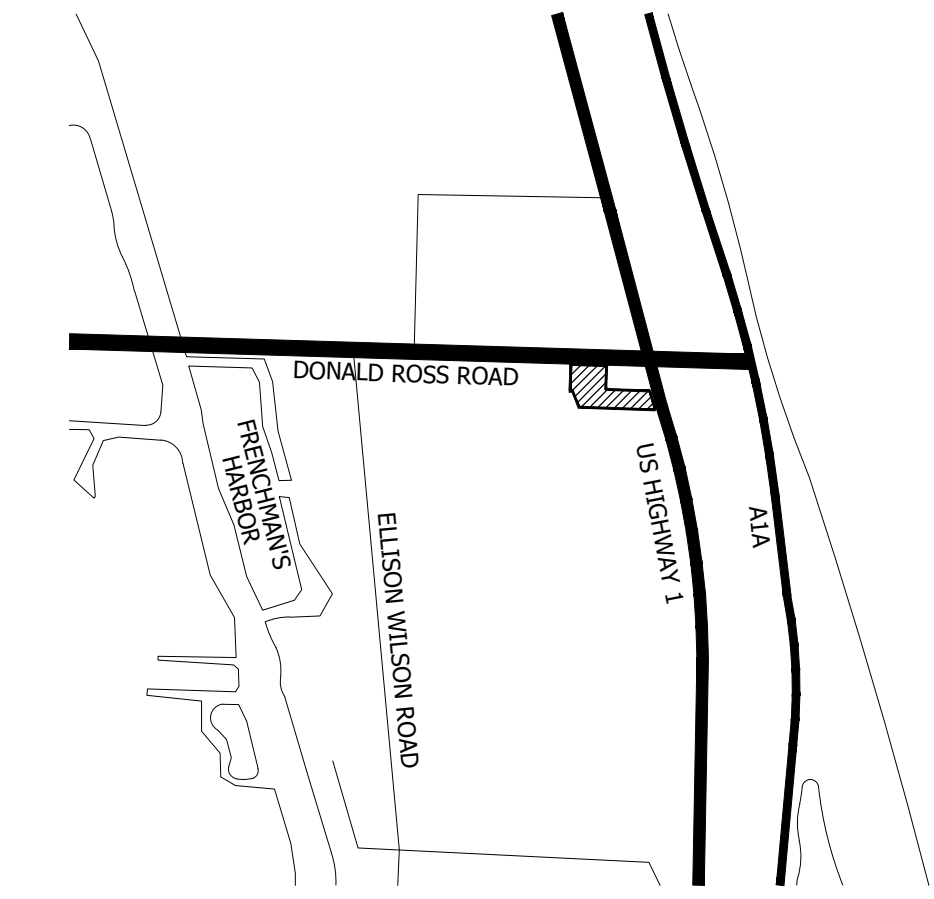
US1 & Donald Ross Rd., Juno Beach, Florida



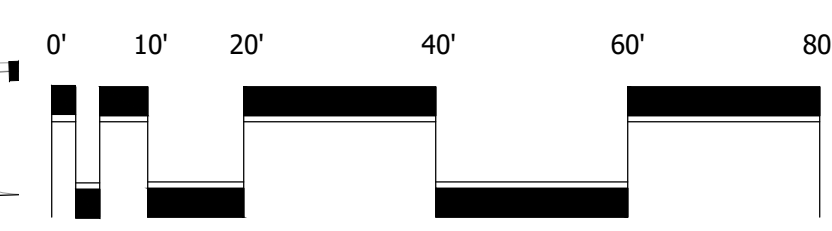
NOTE: TREE DISPOSITION PLAN DEPICTS ALL VIABLE NATIVE TREES AND PALMS AS REQUIRED BY THE TOWN OF JUNO BEACH CODE OF ORDINANCES (SECTION 34-1084)

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO BE RELOCATED

### LOCATION MAP



## Tree Disposition Plan



Scale: 1" = 20'-0"

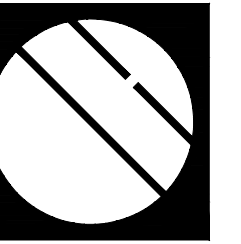


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APPROVED	DEH
JOB NUMBER	22-0724
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REVISIONS	03-25-24
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June 14, 2024 11:39:27 a.m.  
Drawing: 22-0724\_TDP.DWG

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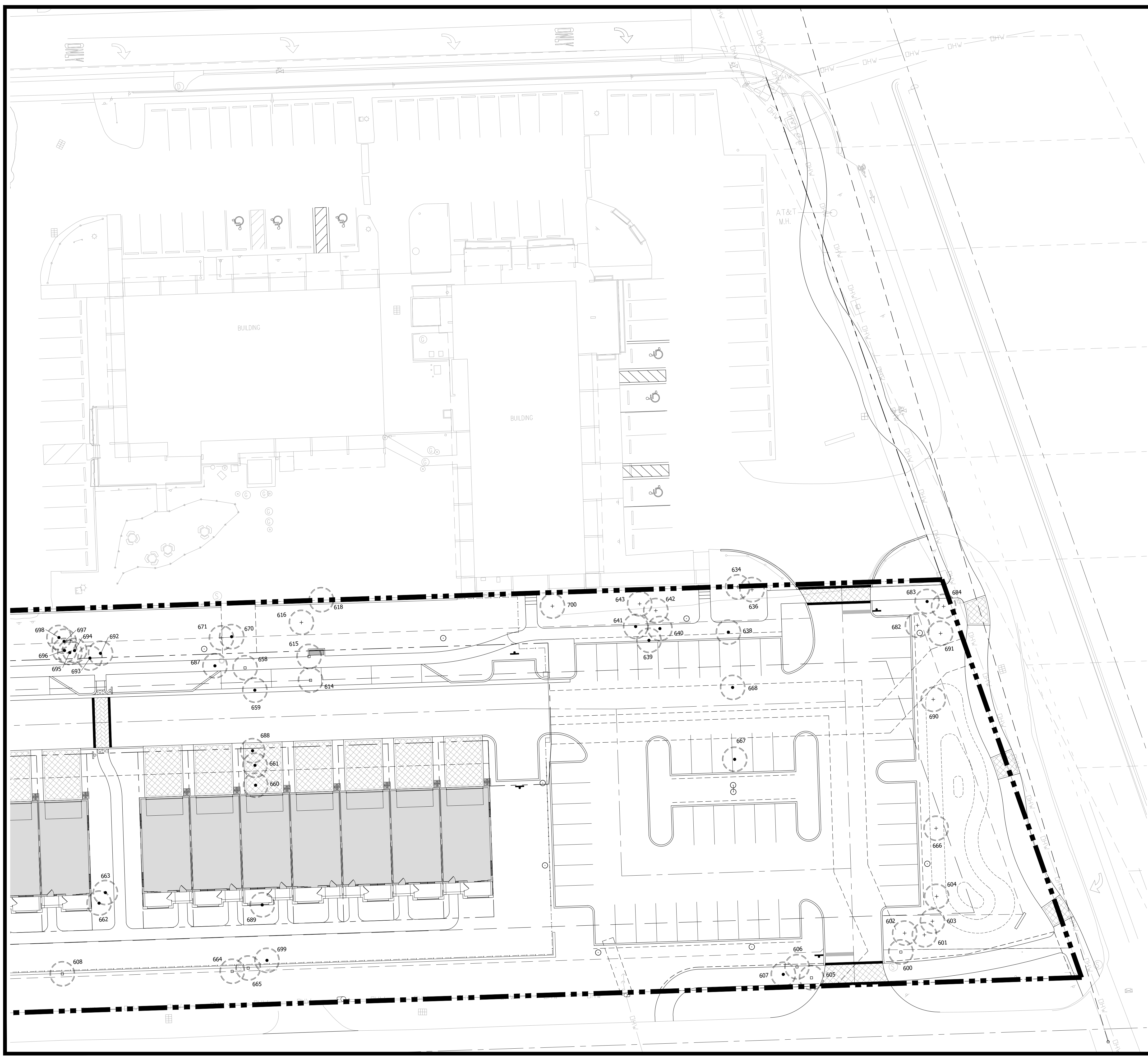
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## The Dunes at Juno Beach

Pulte Homes

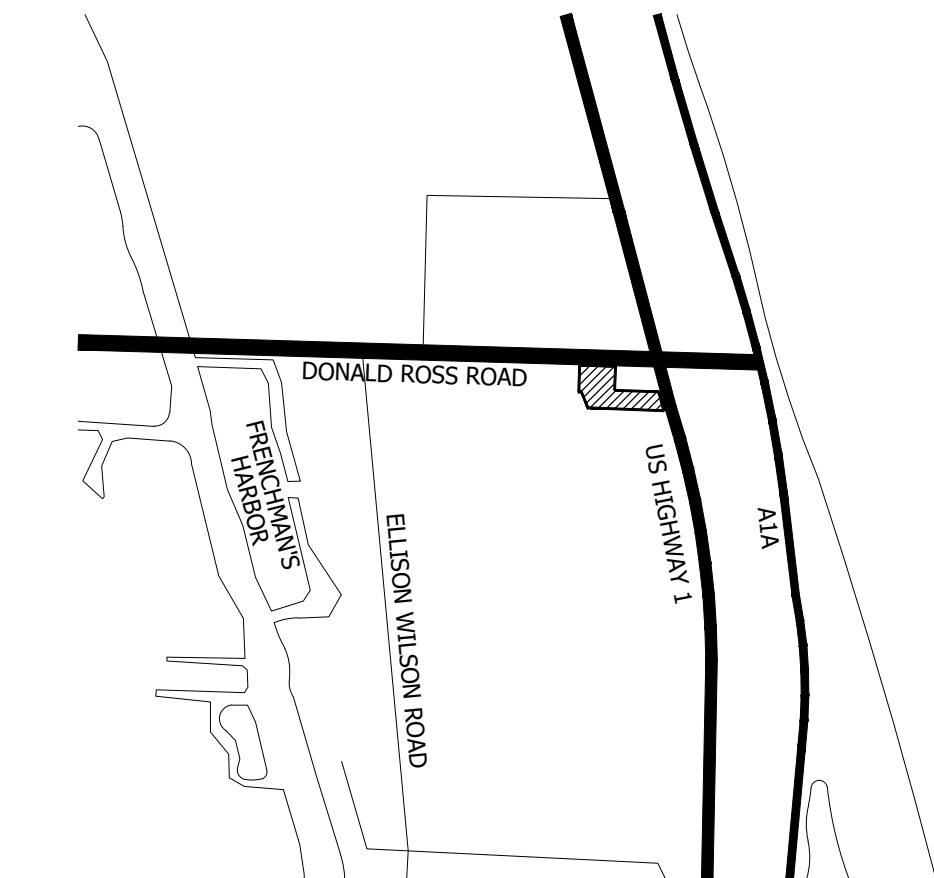
US1 & Donald Ross Rd., Juno Beach, Florida



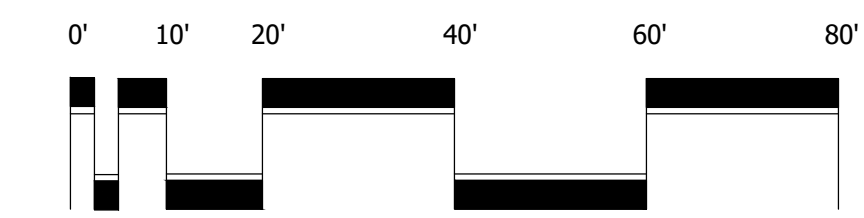
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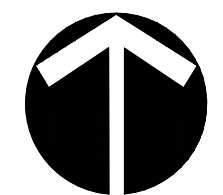
### LOCATION MAP



### Tree Disposition Plan



Scale: 1" = 20'-0"



North

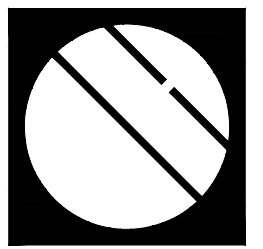
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*The Dunes at Juno Beach*

Pulte Homes

US1 & Donald Ross Rd., Juno Beach, Florida

#	Type	DBH	Quality	Actions	Notes
1 (600)	Sabal Palm	10.5	Good	Relocate	
2 (601)	Sabal Palm	9.86	Good	Remain	
3 (602)	Sabal Palm	11.46	Good	Remain	
4 (603)	Sabal Palm	12.4	Good	Remain	
5 (604)	Sabal Palm	11	Good	Remain	
6 (605)	Sabal Palm	11	Fair	Relocate	
7 (606)	Sabal Palm	10	Fair	Relocate	
8 (607)	Sabal Palm	8	Fair	Remove	Weak Center
9 (608)	Sabal Palm	14.3	Good	Relocate	
10 (609)	Sabal Palm	12	Fair	Relocate	
11 (610)	Sabal Palm	12.7	Poor	Relocate	
12 (611)	Sabal Palm	10	Good	Relocate	Covered by heavy shrubs
13 (614)	Sabal Palm	12	Good	Relocate	
14 (615)	Sabal Palm	12	Good	Relocate	
15 (616)	Sabal Palm	12	Poor	Remain	
16 (618)	Sabal Palm	10	Poor	Remove	Dying/Dead
17 (634)	Sabal Palm	10	Good	Remain	
18 (636)	Sabal Palm	10	Good	Remain	
19 (638)	Triple Christmas	6	Poor	Remove	Multi Trunk X3
20 (639)	Sabal Palm	12	Fair	Remove	
21 (640)	Sabal Palm	10	Fair	Remove	
22 (641)	Sabal Palm	10	Fair	Remove	
23 (642)	Sabal Palm	12	Fair	Remain	
24 (643)	Sabal Palm	10	Fair	Remain	
25 (658)	Sabal Palm	15	Good	Relocate	
26 (659)	Sabal Palm	14	Poor	Remove	
27 (660)	Sabal Palm	16.5	Good	Remove	Leaning
28 (661)	Sabal Palm	16.5	Good	Remove	Leaning
29 (662)	Sabal Palm	14	Poor	Remove	
30 (663)	Sabal Palm	14	Poor	Remove	
31 (664)	Sabal Palm	17.1	Good	Relocate	
32 (665)	Sabal Palm	18	Good	Relocate	
33 (666)	Sabal Palm	9.5	Good	Remain	
34 (667)	Triple Christmas	7.3	Fair	Remove	Multi Trunk X3
35 (668)	Double Christmas	7.3	Fair	Remove	Multi Trunk X2
36 (670)	Sabal Palm	7.64	Poor	Remove	
37 (671)	Sabal Palm	7.64	Poor	Remain	
38 (682)	Sabal Palm	11	Poor	Remain	
39 (683)	Sabal Palm	10	Poor	Remove	
40 (684)	Sabal Palm	7	Poor	Remain	
687	Carrot Wood	10	Good	Remove	
41 (688)	Ficus	7	Poor	Remove	
42 (689)	Ficus/Strangler??	Multi	Poor	Remove	
43 (690)	Sabal Palm	9.5	Fair	Remain	Previous tree survey sign on tree.
44 (691)	Sabal Palm	11	Poor	Remain	
45 (692)	Queen Palm	8	Good	Remove	
46 (693)	Carrot Wood	8	Poor	Remove	Multi Trunk
47 (694)	Queen Palm	9.8	Good	Remove	
48 (695)	Carrot Wood	9.7	Good	Remove	Invasive
49 (696)	Queen Palm	10.8	Fair	Remove	
50 (697)	Queen Palm	9.5	Good	Remove	
51 (698)	Carrot Wood	10	Good	Remove	
699	Ficus	7	Poor	Remove	
52 (700)	Sabal Palm	10	Fair	Remain	

NOTE: TREE DISPOSITION PLAN DEPICTS ALL VIABLE NATIVE TREES AND PALMS AS REQUIRED BY THE TOWN OF JUNO BEACH CODE OF ORDINANCES (SECTION 34-1084)

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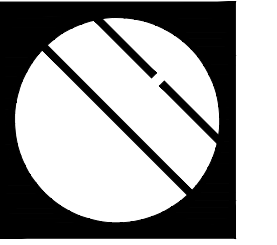
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*Tree Disposition Plan*

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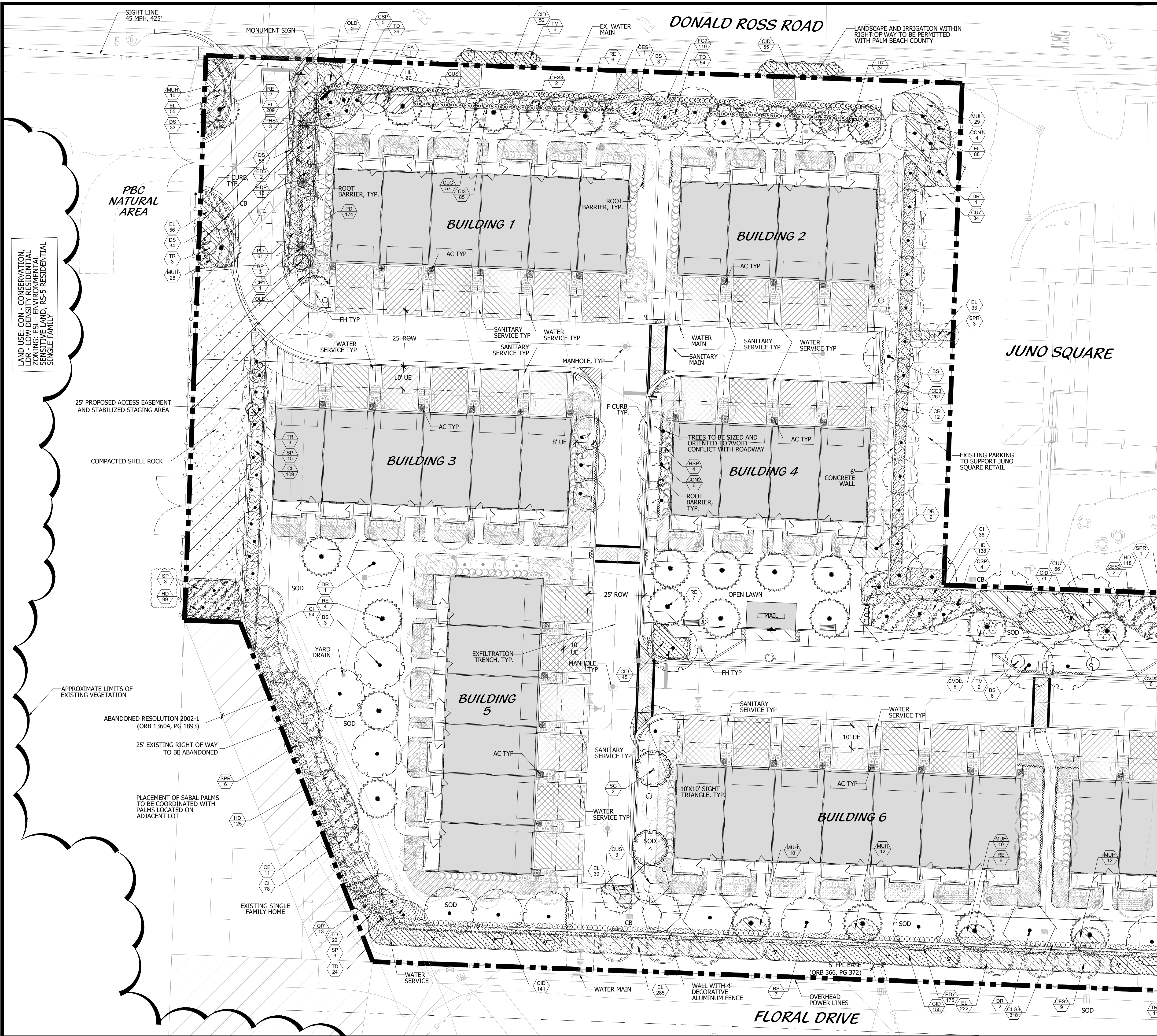
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# The Dunes at Juno Beach

## Pulte Homes

US1 & Donald Ross Rd., Juno Beach, Florida

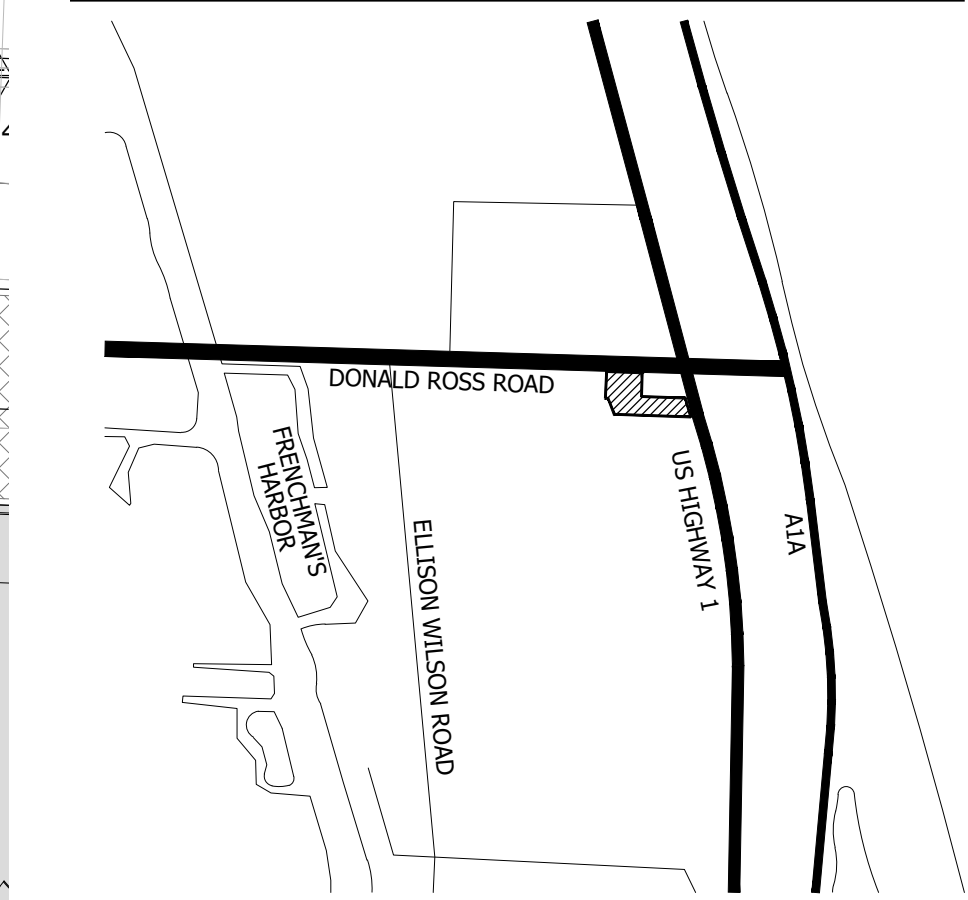


LRD SECTION 20.07 SEPARATION REQUIREMENTS  
NO LANDSCAPING OR SURFACE FEATURES (I.E., WALLS, FENCES, FOUNTAINS, ETC.) SHALL BE PLACED IN A MANNER THAT WOULD ADVERSELY AFFECT ACCESS TO UTILITY EASEMENTS OR DISTRICT INFRASTRUCTURE. TREES SHALL BE A MINIMUM OF 10' AWAY FROM ANY GRAVITY SEWER MAIN OR SERVICE LINE/LATERAL. THIS MAY BE REDUCED TO 7' WITH THE USE OF AN APPROVED ROOT BARRIER SYSTEM.

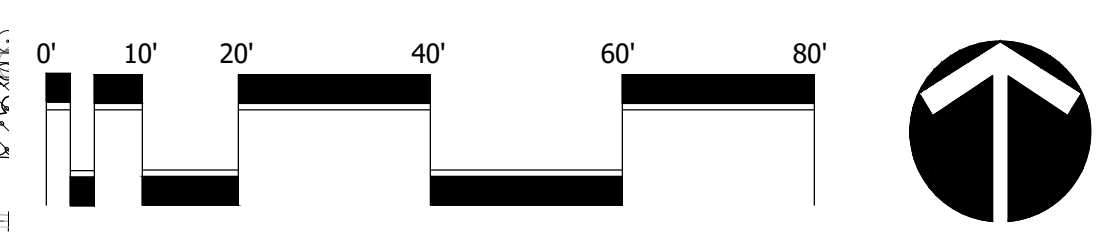
### LANDSCAPE NOTES

LANDSCAPING WILL CONFORM TO THE REQUIREMENTS OF THE TOWN OF JUNO BEACH LANDSCAPE CODE.  
ALL LANDSCAPING SHALL BE FULLY IRRIGATED WITH 100% OVERLAP COVERAGE.  
THE IRRIGATION WATER SOURCE WILL BE FROM A PRIVATE WELL PERMITTED THROUGH SRWMD.  
LANDSCAPE SHALL BE INSTALLED TO AVOID CONFLICTS WITH SIGHT VISIBILITY, SIGNAGE AND LIGHTING. LARGER TREES OR PALMS SHALL BE USED WHERE NECESSARY.  
LANDSCAPING SHALL CONFORM TO THE STANDARD REQUIREMENTS OF THE TOWN OF JUPITER WATER DEPARTMENT AND LOXAHATCHEE RIVER DISTRICT. ROOT BARRIERS SHALL BE UTILIZED ADJACENT TO WATER AND SANITARY MAIN LINES IN ACCORDANCE WITH THE 2023 STANDARD DETAILS.  
ALL PLANTING AREAS AND PLANTING ISLANDS WITH IN AND ADJACENT TO VEHICULAR USE AREAS SHALL BE EXCAVATED TO A DEPTH OF 30" TO ENSURE THE REMOVAL OF ROAD BASE AND DEBRIS. EXCAVATED AREAS SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT PRIOR TO BACK FILLING. BACKFILL SHALL CONSIST OF CLEAN TOP SOIL OR APPROVED ATLAS PLANTING MIXTURE.  
NO INVASIVE NONNATIVE VEGETATION SHALL BE PLANTED WITHIN FIVE HUNDRED FEET (500') OF THE JUNO DUNES ENVIRONMENTALLY SENSITIVE LAND (ESL) AREA.  
EXISTING NATIVE VEGETATION ON SITE WILL BE PRESERVED OR RELOCATED TO THE MAXIMUM EXTENT POSSIBLE. ANY NATIVE VEGETATION THAT IS NOT PROPOSED TO BE PRESERVED OR RELOCATED WILL BE MADE AVAILABLE TO TOWN RESIDENTS IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF JUNO BEACH.  
ALL LANDSCAPING WITHIN THE SIGHT TRIANGLES SHALL PROVIDE UNOBSTRUCTED CROSS VISIBILITY AT A LEVEL BETWEEN 30 INCHES AND SIX FEET.

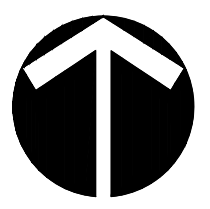
### LOCATION MAP



## Landscape Plan



Scale: 1" = 20'-0"



North

LAND USE: CON - CONSERVATION, DOMESTIC, ENVIRONMENTAL SENSITIVE LAND, RS-5 RESIDENTIAL SINGLE FAMILY

25' PROPOSED ACCESS EASEMENT AND STABILIZED STAGING AREA

COMPACTED SHELL ROCK

APPROXIMATE LIMITS OF EXISTING VEGETATION

ABANDONED RESOLUTION 2002-1 (ORB 13604, PG 1893)

25' EXISTING RIGHT OF WAY TO BE ABANDONED

PLACEMENT OF SABAL PALMS TO BE COORDINATED WITH PALMS LOCATED ON ADJACENT LOT

EXISTING SINGLE FAMILY HOME

DONALD ROSS ROAD

LANDSCAPE AND IRRIGATION WITHIN RIGHT OF WAY TO BE PERMITTED WITH PALM BEACH COUNTY

JUNO SQUARE

FLORAL DRIVE

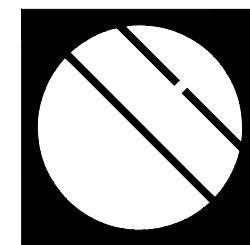
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Drawing: 22-0724 LP.DWG

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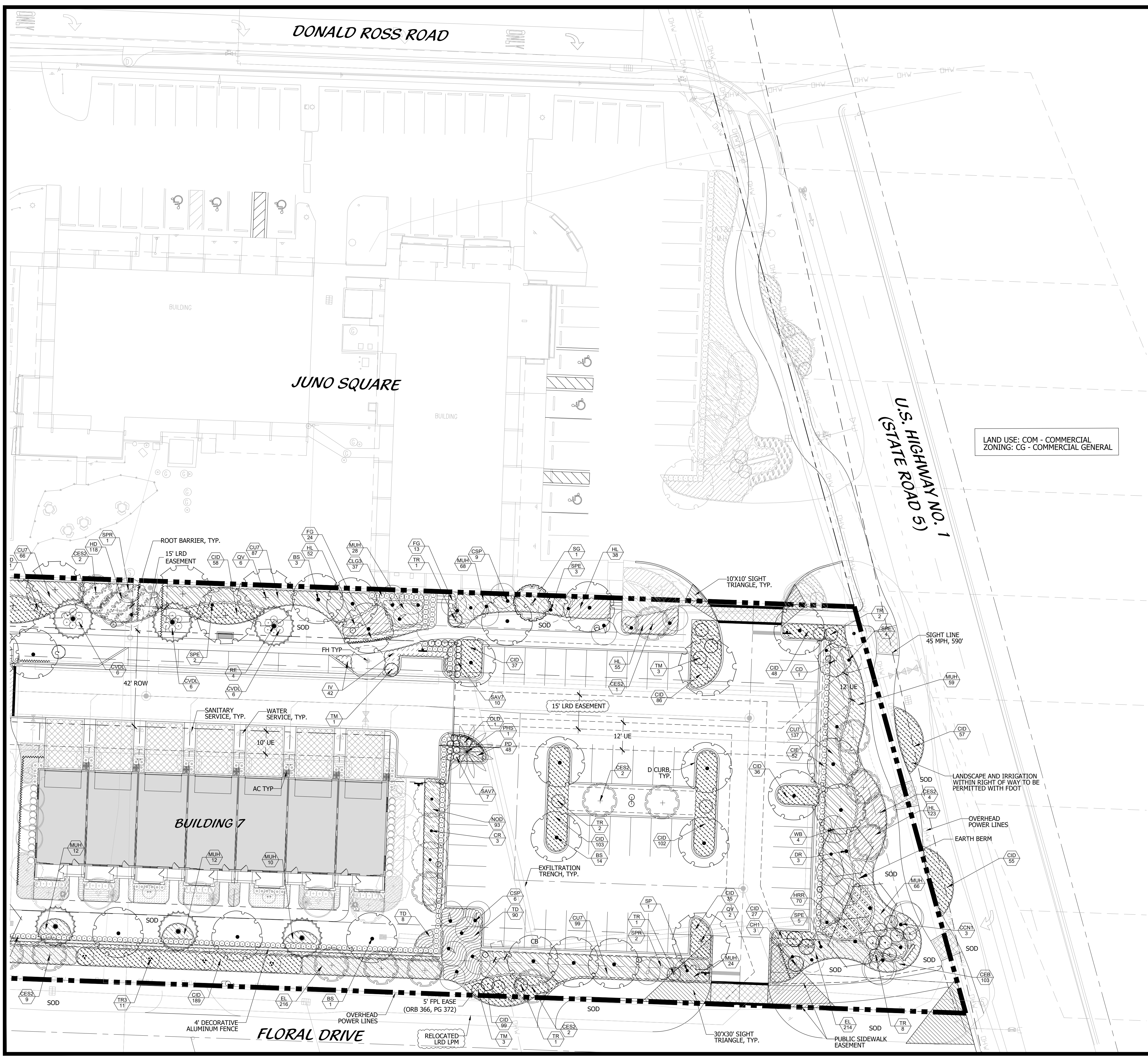


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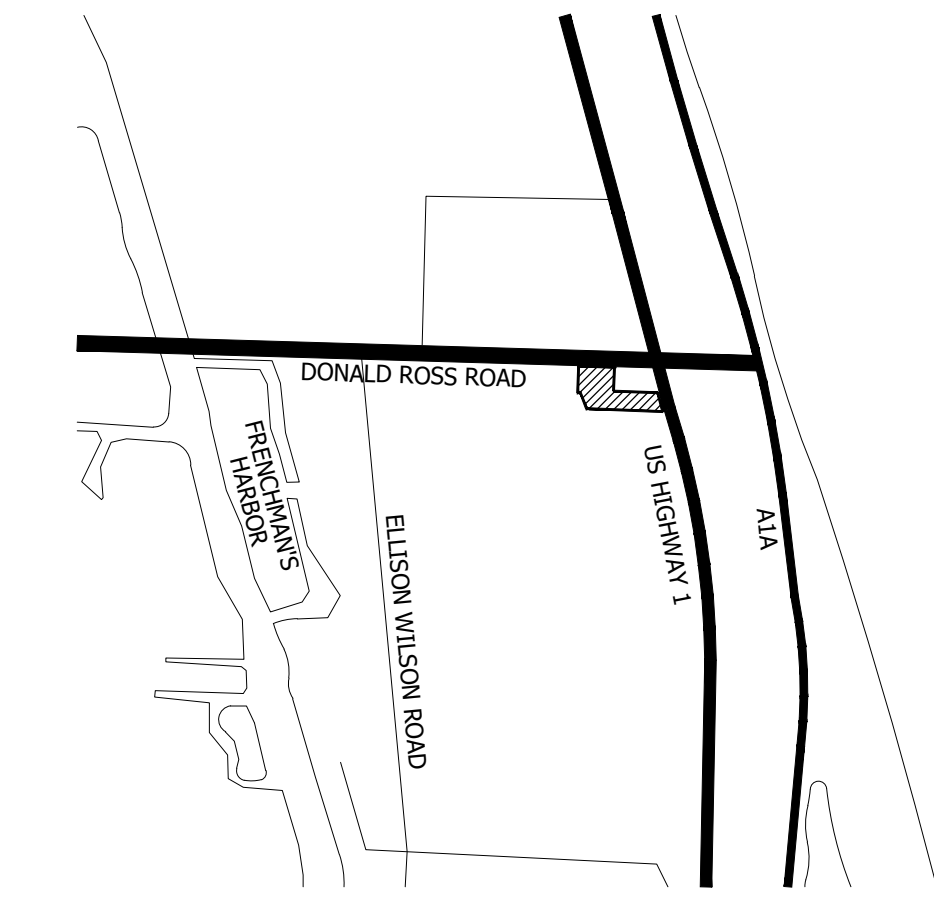
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# The Dunes at Juno Beach

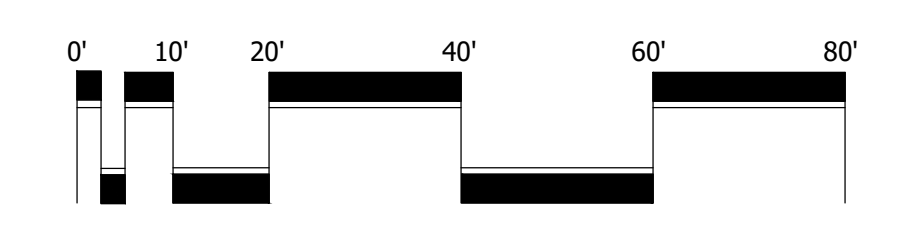
Pulte Homes  
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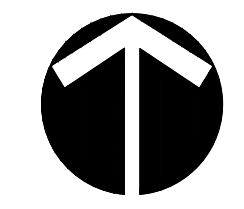
LOCATION MAP



## Landscape Plan



Scale: 1" = 20'-0"



North

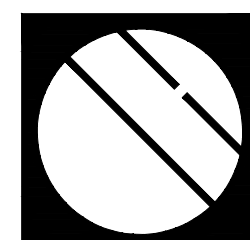
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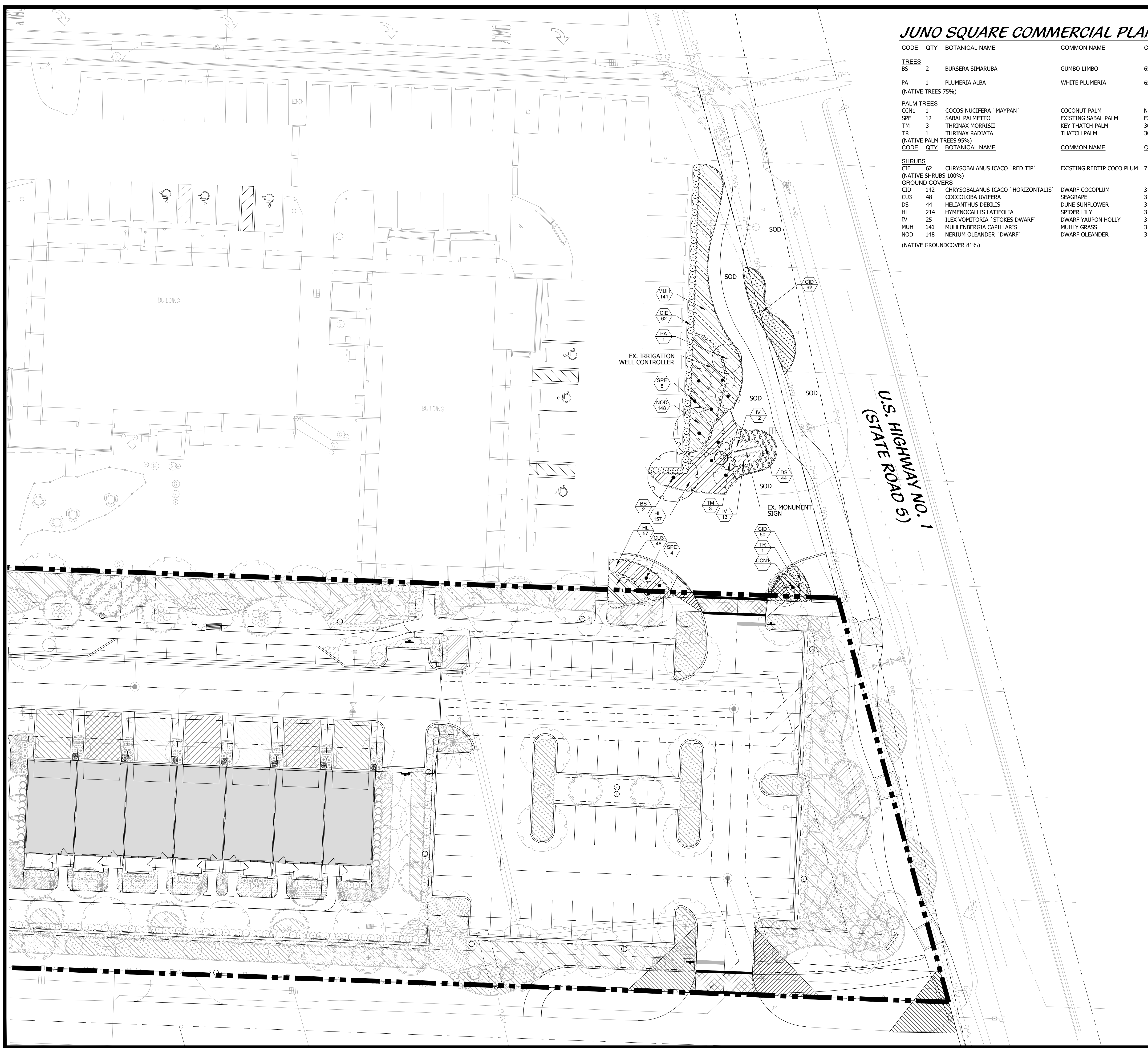
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## The Dunes at Juno Beach

Pulte Homes  
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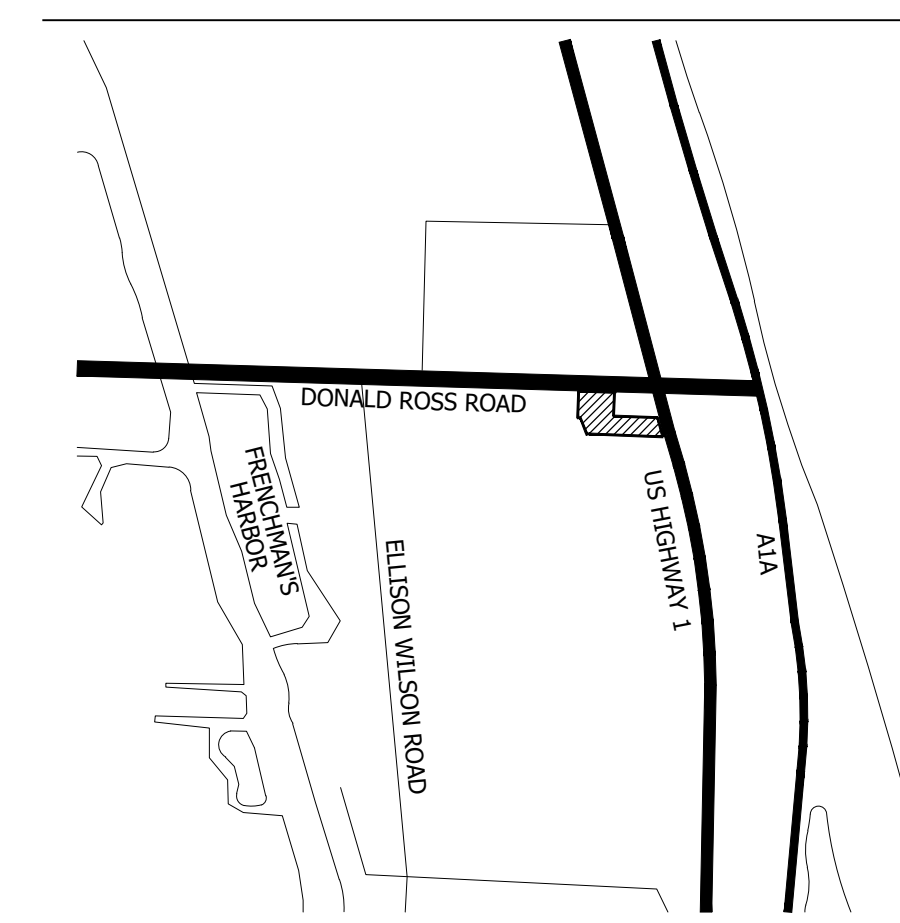
### JUNO SQUARE COMMERCIAL PLANT LIST

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	REMARKS
<b>TREES</b>								
BS	2	BURSERA SIMARUBA	GUMBO LIMBO	65 GAL	3" CAL	12'-14' HT, 6'-8" SPRD	Y	SINGLE, STRAIGHT TRUNK, FULL CANOPY, SYMMETRICAL, 6' CT MIN.
PA	1	PLUMERIA ALBA (NATIVE TREES 75%)	WHITE PLUMERIA	65 GAL	N.A.	8' HT X 8' SPRD	N	FULL CANOPY, GOOD BRANCHING STRUCTURE, MATCHED
<b>PALM TREES</b>								
CCN1	1	COCOS NUCIFERA 'MAYPAN'	COCONUT PALM	N.A.	N.A.	6'-8" GW	N	FULL CANOPY, CURVED TRUNK
SPE	12	SABAL PALMETTO	EXISTING SABAL PALM	EXISTING	N.A.	14'-18" C.T.	Y	EXISTING ON SITE
TM	3	THRINAX MORRISII	KEY THATCH PALM	30 GAL	N.A.	5' HT X 5' SPRD	Y	FULL & THICK
TR	1	THRINAX RADIATA (NATIVE PALM TREES 95%)	THATCH PALM	30 GAL	N.A.	5' HT X 5' SPRD	Y	FULL & THICK
<b>SHRUBS</b>								
CIE	62	CHRYSOBALANUS ICACO 'RED TIP' (NATIVE SHRUBS 100%)	EXISTING REDTIP COCO PLUM	7 GAL	3' X 2'	2' O.C.	Y	EXISTING, FULL & THICK
<b>GROUND COVERS</b>								
CID	142	CHRYSOBALANUS ICACO 'HORIZONTALIS'	DWARF COCOPLUM	3 GAL	12" X 18"	24" O.C.	Y	FULL & THICK
CU3	48	COCCOLoba UVIFERA	SEAGRAPE	3 GAL	2' X 2'	24" O.C.	Y	FULL & THICK
DS	44	HELIANTHUS DEBILIS	DUNE SUNFLOWER	3 GAL	18" X 18"	24" O.C.	Y	FULL & THICK
HL	214	HYMENOCALLIS LATIFOLIA	SPIDER LILY	3 GAL	12" O.A.	24" O.C.	Y	FULL & THICK
IV	25	ILEX VOMITORIA 'STOKES DWARF'	DWARF YAUPON HOLLY	3 GAL	12" X 12"	24" O.C.	Y	FULL & THICK
MUH	141	MUHLENBERGIA CAPILLARIS	MUHLY GRASS	3 GAL	18" X 18"	30" O.C.	Y	FULL & THICK
NOD	148	NERIUM OLEANDER 'DWARF' (NATIVE GROUNDCOVER 81%)	DWARF OLEANDER	3 GAL	24" X 24"	24" O.C.	N	FULL & THICK

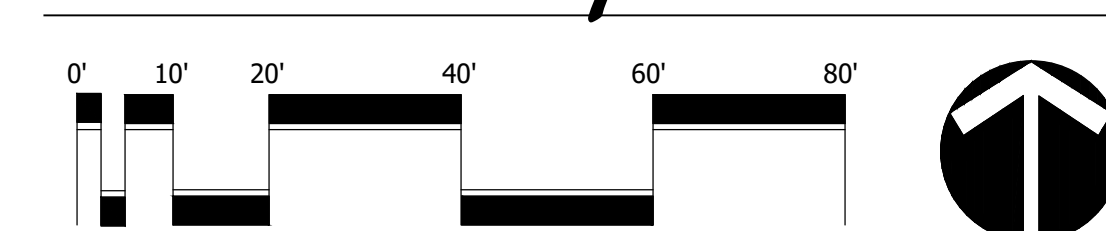


U.S. HIGHWAY NO. 1  
(STATE ROAD 5)

#### LOCATION MAP



### Juno Square Commercial Landscape Plan



Scale: 1" = 20'-0"

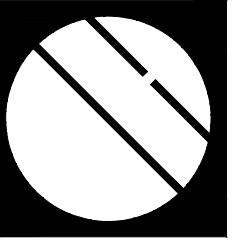
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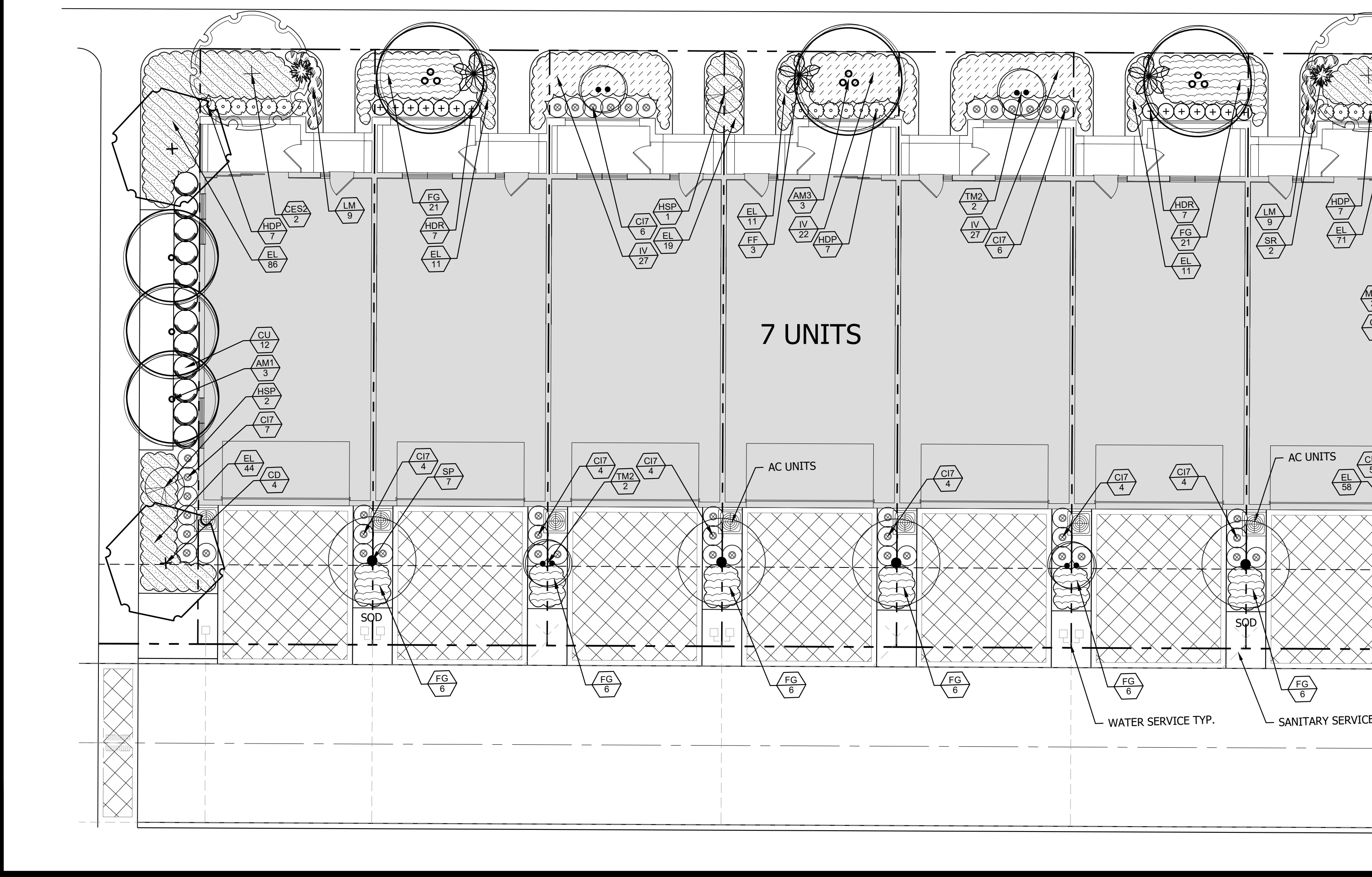
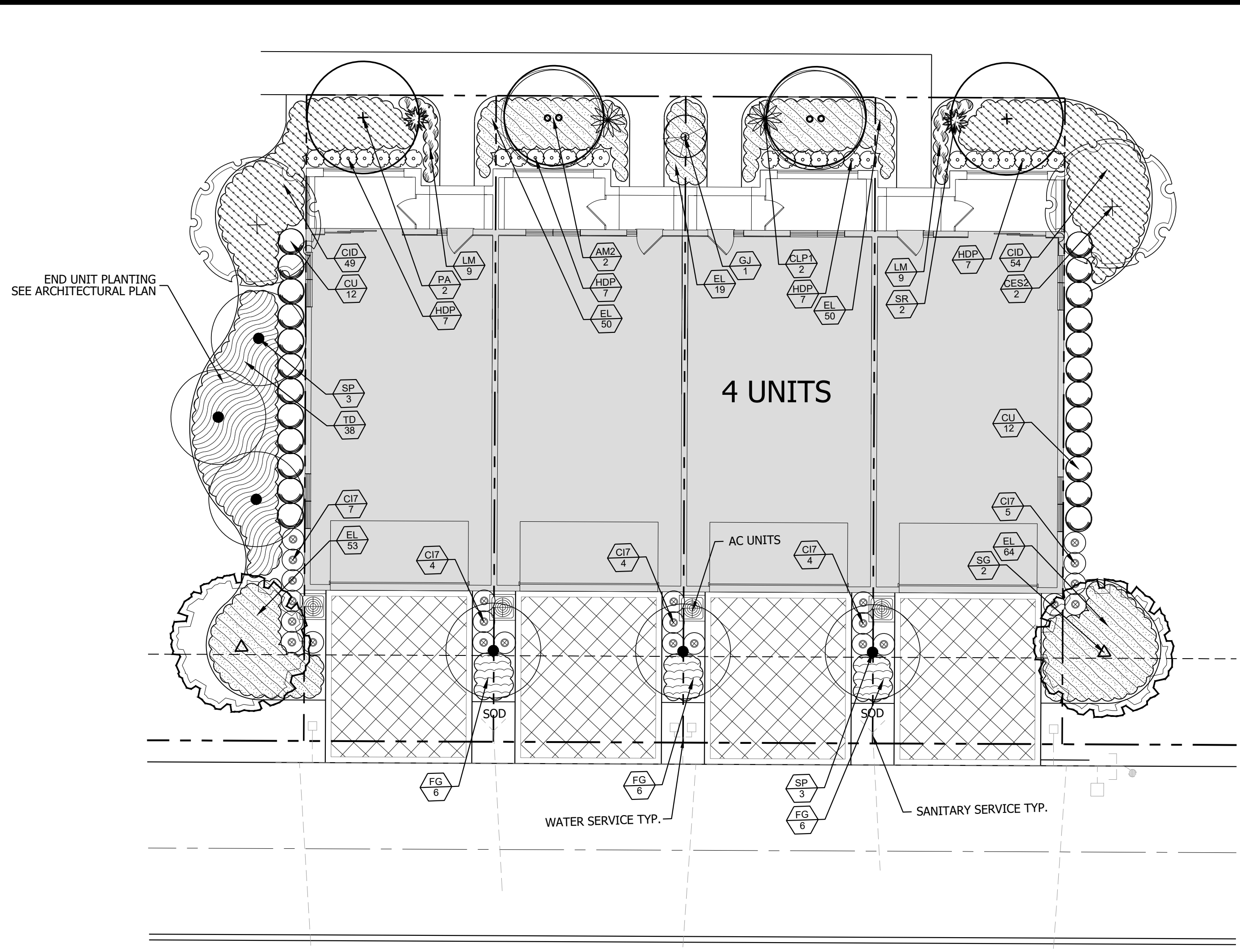
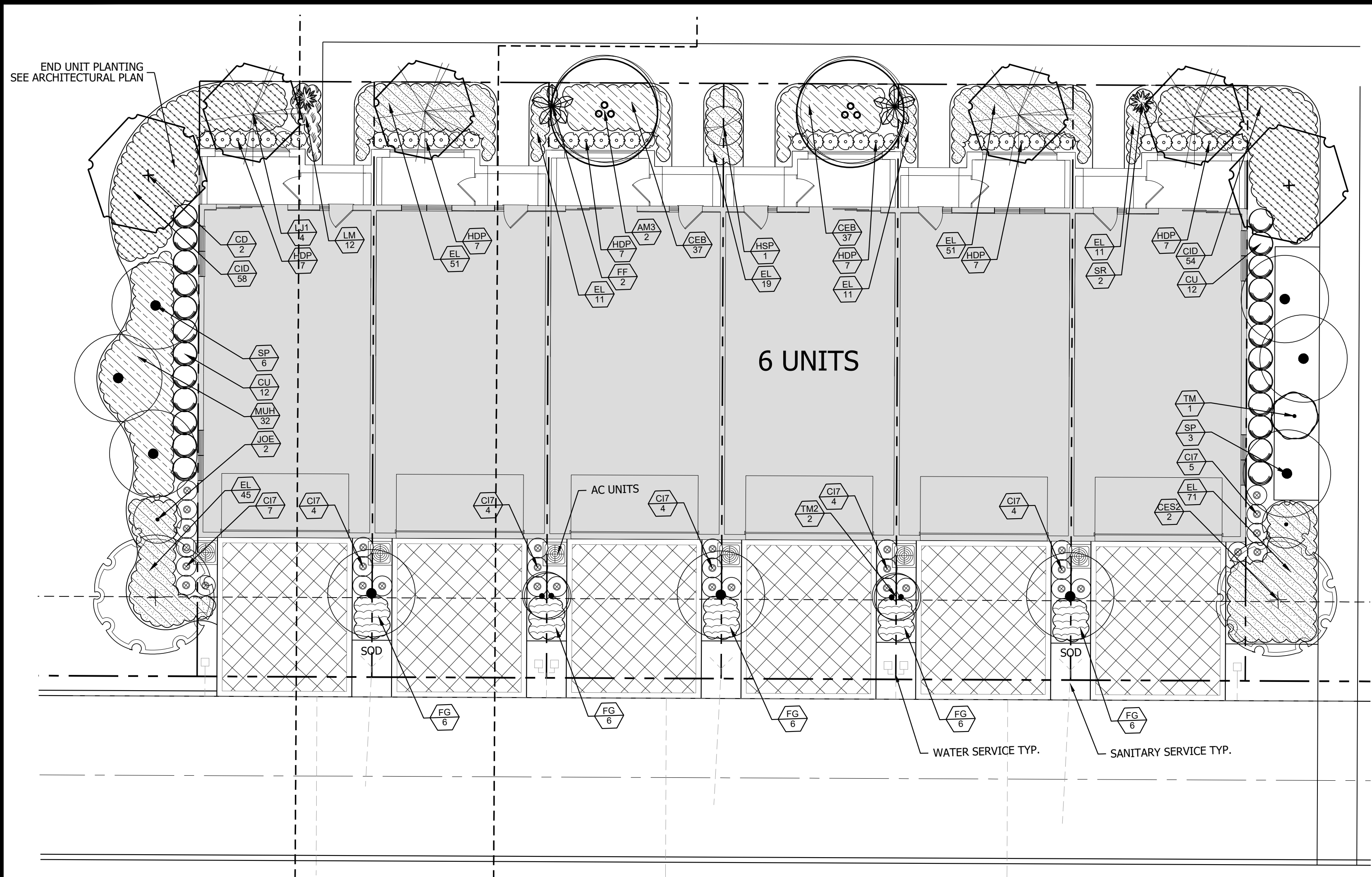
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# The Dunes at Juno Beach

Pulte Homes  
US1 & Donald Ross Rd., Juno Beach, Florida



**PLANT SCHEDULE 7 UNIT**

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	HT	NATIVE	REMARKS
CD	4	COCOLUBA DIVERSIFOLIA	PIGEON PLUM	45 GAL	2" CAL	12"	12'	Y	SINGLE STRAIGHT TRUNK, FULL CANOPY
CESS	2	CONCARBUS ERECTUS SERVICUS	SILVER BUTTWOOD TREE	30 GAL	2" CAL	8"	10' HT., 6'-8" SPD.	Y	FULL CANOPY, SINGLE STRAIGHT TRUNK.
HSP	3	HIBISCUS ROSA-SINENSIS 'SEMINOLE PINK'	SEMINOLE PINK HIBISCUS STANDARD	15 GAL	1.5" CAL	4'-5"	HT., 2'-3' SPD.	N	FULL & THICK, FLORIDA FANCY
<b>(NATIVE TREES 4%)</b>									
<b>PALM TREES</b>									
AM2	2	ADONDISA MERILLII	CHRISTMAS PALM	FIELD GROWN	N.A.	10'	0.0 A.	N	FULL CANOPY, TRIPLE TRUNK.
AM3	3	ADONDISA MERILLII	CHRISTMAS PALM	FIELD GROWN	N.A.	10'	0.0 A.	N	FULL CANOPY, SINGLE TRUNK.
SP	7	SABAL PALMETTO	SABAL PALM	FIELD GROWN	N.A.	14'-18"	C.T.	Y	SLEEK, STRAIGHT TRUNK
TM2	4	THURMAY HORRISII	DOUBLE KEY THATCH PALM	FIELD GROWN	N.A.	4'-5"	GA.	Y	DOUBLE, FULL & THICK
<b>(NATIVE PALM TREES 60%)</b>									
<b>SHRUBS</b>									
CU	24	COCOLUBA IVIFERA	SEA GRAPE	3 GAL	2"	2' X 2'	3' O.C.	Y	FULL AND THICK
FF	3	FURCRAEA FOETIDA	FALSE AGAVE	15 GAL	3" X 3"	A.S.		N	FULL & THICK
HSP	21	HIBISCUS ROSA-SINENSIS 'DOUBLE PEACH'	DOUBLE PEACH HIBISCUS	3 GAL	1.8" X 1.8"	2' O.C.		N	FULL & THICK
HBR	14	HIBISCUS ROSA-SINENSIS 'DOUBLE RED'	DOUBLE RED HIBISCUS	3 GAL	1.8" X 1.8"	2' O.C.		N	FULL & THICK
SR	2	STRELTIZIA REGINAE	ORANGE BIRD OF PARADISE	7 GAL	2.5' X 2.5'	A.S.		N	FULL & THICK
<b>(NATIVE SHRUBS 64%)</b>									
<b>GROUND COVERS</b>									
CD	112	CHRYSOBLANUS ICACO 'HORIZONTALIS'	GOLDEN CREEPER	3 GAL	12" X 12"	24" O.C.		Y	FULL & THICK
CEB	78	PELUS MACROPHYLLA 'GREEN ISLAND'	GREEN ISLAND FICUS	3 GAL	12" X 12"	24" O.C.		Y	FULL & THICK
IV	76	BELX KOWALSKA 'STONES DWARF'	DWARF FAKAHATCHEE GRASS	3 GAL	12" X 12"	24" O.C.		Y	FULL & THICK
LM	18	LIRIOPE MUSCARI 'EV. GIANT'	LIRIOPE	1 GAL	12" X 12"	18" O.C.		Y	FULL & THICK
TMH	32	MULLENBERGIA CAPILLARIS	MURLEY GRASS	3 GAL	18" X 18"	30" O.C.		Y	FULL & THICK
<b>(NATIVE GROUNDCOVER 81%)</b>									

**PLANT SCHEDULE 6 UNIT**

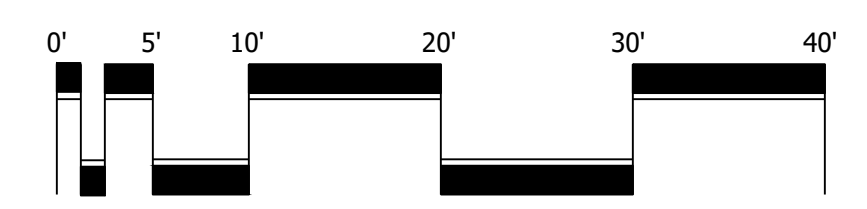
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	HT	NATIVE	REMARKS
CD	4	COCOLUBA DIVERSIFOLIA	PIGEON PLUM	45 GAL	2" CAL	12"	12'	Y	SINGLE STRAIGHT TRUNK, FULL CANOPY
CESS	2	CONCARBUS ERECTUS SERVICUS	SILVER BUTTWOOD TREE	30 GAL	2" CAL	8"	10' HT., 6'-8" SPD.	Y	FULL CANOPY, SINGLE STRAIGHT TRUNK.
HSP	1	HIBISCUS ROSA-SINENSIS 'SEMINOLE PINK'	SEMINOLE PINK HIBISCUS STANDARD	15 GAL	1.5" CAL	4'-5"	HT., 2'-3' SPD.	N	FULL & THICK, FLORIDA FANCY
LM	2	JACQUINUM KEYENSE	JACKWOOD TREE	15 GAL	1" CAL	4'-5"	HT., 3' SPD.	Y	FULL CANOPY
LI	4	LIGUSTRUM JAPONICUM	JAPANESE PRIVET	65 GAL	3.5" CAL	8'-9"	0.0 A.	Y	FULL CANOPY, MULTI-STEM, LIMB UP
<b>(NATIVE TREES 5%)</b>									
<b>PALM TREES</b>									
AM2	2	ADONDISA MERILLII	CHRISTMAS PALM	FIELD GROWN	N.A.	10'	0.0 A.	N	FULL CANOPY, TRIPLE TRUNK.
AM3	3	ADONDISA MERILLII	CHRISTMAS PALM	FIELD GROWN	N.A.	10'	0.0 A.	N	FULL CANOPY, SINGLE TRUNK.
SP	7	SABAL PALMETTO	SABAL PALM	FIELD GROWN	N.A.	14'-18"	C.T.	Y	SLEEK, STRAIGHT TRUNK
TM2	4	THURMAY HORRISII	DOUBLE KEY THATCH PALM	FIELD GROWN	N.A.	4'-5"	GA.	Y	DOUBLE, FULL & THICK
TMH	1	THURMAY HORRISII	KEY THATCH PALM	30 GAL	N.A.	5' HT X 5' SPD		Y	FULL & THICK
<b>(NATIVE PALM TREES 60%)</b>									
<b>SHRUBS</b>									
CU	24	COCOLUBA IVIFERA	SEA GRAPE	3 GAL	2"	2' X 2'	3' O.C.	Y	FULL AND THICK
FF	3	FURCRAEA FOETIDA	FALSE AGAVE	15 GAL	3" X 3"	A.S.		N	FULL & THICK
HSP	21	HIBISCUS ROSA-SINENSIS 'DOUBLE PEACH'	DOUBLE PEACH HIBISCUS	3 GAL	1.8" X 1.8"	2' O.C.		N	FULL & THICK
SR	2	STRELTIZIA REGINAE	ORANGE BIRD OF PARADISE	7 GAL	2.5' X 2.5'	A.S.		N	FULL & THICK
<b>(NATIVE SHRUBS 59%)</b>									
<b>GROUND COVERS</b>									
CD	112	CHRYSOBLANUS ICACO 'HORIZONTALIS'	GOLDEN CREEPER	3 GAL	12" X 12"	24" O.C.		Y	FULL & THICK
CEB	78	PELUS MACROPHYLLA 'GREEN ISLAND'	GREEN ISLAND FICUS	3 GAL	12" X 12"	24" O.C.		Y	FULL & THICK
IV	76	BELX KOWALSKA 'STONES DWARF'	DWARF FAKAHATCHEE GRASS	3 GAL	12" X 12"	24" O.C.		Y	FULL & THICK
LM	18	LIRIOPE MUSCARI 'EV. GIANT'	LIRIOPE	1 GAL	12" X 12"	18" O.C.		Y	FULL & THICK
TMH	32	MULLENBERGIA CAPILLARIS	MURLEY GRASS	3 GAL	18" X 18"	30" O.C.		Y	FULL & THICK
<b>(NATIVE GROUNDCOVER 81%)</b>									

**PLANT SCHEDULE 4 UNIT**

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	HT	NATIVE	REMARKS
CD	4	COCOLUBA DIVERSIFOLIA	PIGEON PLUM	45 GAL	2" CAL	12"	12'	Y	SINGLE STRAIGHT TRUNK, FULL CANOPY
CESS	2	CONCARBUS ERECTUS SERVICUS	SILVER BUTTWOOD TREE	30 GAL	2" CAL	8"	10' HT., 6'-8" SPD.	Y	FULL CANOPY, SINGLE STRAIGHT TRUNK.
LM	1	GARDENIA JACQUINIANA 'NANA SUPREME'	MEANE SUPREME GARDENIA	15 GAL	1.5" CAL	5' O.A.		N	FULL & THICK
PA	2	PLUMERIA ALBA	WHITE PLUMERIA	65 GAL	N.A.	8' HT X 8' SPD		Y	FULL CANOPY, GOOD BRANCHING
<b>(NATIVE TREES 5%)</b>									
<b>PALM TREES</b>									
AM2	2	ADONDISA MERILLII	CHRISTMAS PALM	FIELD GROWN	N.A.	10'	0.0 A.	N	FULL CANOPY, DOUBLE TRUNK
AM3	3	ADONDISA MERILLII	CHRISTMAS PALM	FIELD GROWN	N.A.	10'	0.0 A.	N	FULL CANOPY, SINGLE TRUNK
SP	7	SABAL PALMETTO	SABAL PALM	FIELD GROWN	N.A.	14'-18"	C.T.	Y	SLEEK, STRAIGHT TRUNK
<b>(NATIVE PALM TREES 75%)</b>									
<b>SHRUBS</b>									
CU	24	COCOLUBA IVIFERA	SEA GRAPE	3 GAL	2"	2' X 2'	3' O.C.	Y	FULL AND THICK
CUF	2	CRinum MAGNIFOLIA	GOLDEN BIRD OF PARADISE	25 GAL	4" X 4"	A.S.		N	FULL & THICK
HSP	28	HIBISCUS ROSA-SINENSIS 'DOUBLE PEACH'	DOUBLE PEACH HIBISCUS	3 GAL	1.8" X 1.8"	2' O.C.		N	FULL & THICK
SR	2	STRELTIZIA REGINAE	ORANGE BIRD OF PARADISE	7 GAL	2.5' X 2.5'	A.S.		N	FULL & THICK
<b>(NATIVE SHRUBS 60%)</b>									
<b>GROUND COVERS</b>									
CD	112	CHRYSOBLANUS ICACO 'HORIZONTALIS'	GOLDEN CREEPER	3 GAL	12" X 12"	24" O.C.		Y	FULL & THICK
CEB	78	PELUS MACROPHYLLA 'GREEN ISLAND'	GREEN ISLAND FICUS	3 GAL	12" X 12"	24" O.C.		Y	FULL & THICK
IV	76	BELX KOWALSKA 'STONES DWARF'	DWARF FAKAHATCHEE GRASS	3 GAL	12" X 12"	24" O.C.		Y	FULL & THICK
LM	18	LIRIOPE MUSCARI 'EV. GIANT'	LIRIOPE	1 GAL	12" X 12"	18" O.C.		Y	FULL & THICK
TMH	32	MULLENBERGIA CAPILLARIS	MURLEY GRASS	3 GAL	18" X 18"	30" O.C.		Y	FULL & THICK
<b>(NATIVE GROUNDCOVER 81%)</b>									

## Typical Unit Landscape Plan



Scale: 1" = 10'

DESIGNED	DEH
DRAWN	RO
APPROVED	DEH
JOB NUMBER	22-0724
DATE	10-23-23
REVISIONS	03-25-24
	05-13-24
	06-12-24
	07-09-24

July 09, 2024 3:22:52 p.m.  
Drawing: 22-0724 LP.DWG

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# JUNO SQUARE RESIDENTIAL PLANT LIST

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	REMARKS
<b>TREES</b>								
BS	38	BURSERA SIMARUBA	GUMBO LIMBO	65 GAL	3" CAL	12"-14" HT, 6'-8" SPRD	Y	SINGLE, STRAIGHT TRUNK, FULL CANOPY, SYMMETRICAL, 6' CT MIN.
CR	15	CLUSIA ROSA	FITCH APPLE	65 GAL	3" CAL	12"-14" HT X 6" SPRD	Y	SINGLE STRAIGHT TRUNK, FULL CANOPY.
CD	1	COCOLUBA DIVERSIFOLIA	PIGEON PLUM	45 GAL	2" CAL	12" HT	Y	SINGLE STRAIGHT TRUNK, FULL CANOPY.
CUS	10	COCOLUBA UNIFERA	SEA GRAPE TREE	45 GAL	2.5" CAL	12"-14" HT, 6'-8" SPRD	Y	SINGLE STRAIGHT TRUNK, FULL CANOPY.
CE	11	CONOCARPUS ERECTUS 'MOMBA'	GREEN BUTTWOOD TREE	65 GAL	3.5" CAL	14" HT. X 7" SPRD	Y	FULL CANOPY, SINGLE STRAIGHT TRUNK, MATCHED
CE52	20	CONOCARPUS ERECTUS SERVICUS	SILVER BUTTWOOD TREE	30 GAL	2" CAL	8'-10" HT, 6'-8" SPD.	Y	FULL CANOPY, SINGLE STRAIGHT TRUNK.
CE53	2	CONOCARPUS ERECTUS SERVICUS	SILVER BUTTWOOD BUSH FORM	30 GAL	N.A.	8" X 8"	Y	FULL CANOPY, BUSH FORM, FTB, MULTI
CE51	1	CONOCARPUS ERECTUS SERVICUS	SILVER BUTTWOOD TREE	45 GAL	2.5" CAL	12"-14" HT X 6'-8" SPRD	Y	FULL CANOPY, SINGLE STRAIGHT TRUNK
DR	9	DELONIX REGIA	JAPANESE POKINCA	65 GAL	2.5" CAL	12"-14" HT, 6'-8" SPRD	N	SINGLE STRAIGHT TRUNK, FULL CANOPY, FLORIDA FANCY.
ED5	2	ELADOCARPUS DECIPENS	ROYALE BLUEBERRY TREE	65 GAL	3.5" CAL	12" - 14" O.A.	N	FULL & THICK CANOPY, SINGLE STRAIGHT TRUNK, TREE FORM, FLORIDA FANCY, MATCHED
HSP	4	HIBISCUS ROSA-SINENSIS 'SEMINOLE PINK'	SEMINOLE PINK HIBISCUS STANDARD	15 GAL	1.5" CAL	4'-5" HT, 2'-3" SPRD	N	FULL & THICK, FLORIDA FANCY
PA	1	PLUMERIA ALBA	WHITE PLUMERIA	65 GAL	N.A.	8" HT X 8" SPRD	N	FULL CANOPY, GOOD BRANCHING STRUCTURE, MATCHED
QV	8	QUERCUS VIRGINIANA	LIVE OAK	100 GAL	4" CAL	14"-16" HT, 6'-8" SPRD	Y	SINGLE STRAIGHT TRUNK, FULL CANOPY, SYMMETRICAL, 6' CT MIN.
WB	4	WICKSTROEMIA SALICIFOLIUM	WILLOW BUSTIC	45 GAL	2" CAL	8" HT X 8" SPRD	Y	SINGLE STRAIGHT TRUNK, FULL CANOPY
SG	3	SIMARUBA GLAUCA	PARADISE TREE	45 GAL	2.5" CAL	12" HT X 5" SPRD	Y	FULL CANOPY, SINGLE STRAIGHT TRUNK, STANDARD
<b>(NATIVE TREES 88%)</b>								
<b>PALM TREES</b>								
CH1	4	CHAMEROPS HUMILIS 'SILVER SELECT'	SILVER EUROPEAN FAN PALM	45 GAL	N.A.	5' HT X 5' SPRD	N	MULTI TRUNK, FULL CANOPY.
OLD	5	COCOTHRINAX CRINITA BREVICORNIS	SHORT HAIR OLD MAN PALM	30 GAL	N.A.	4'-5' O.A.	N	FULL CANOPY, FLORIDA FANCY, MATCHED
CN2	4	COCOS NUCIFERA 'MAYPAN'	COCONUT PALM	45 GAL	N.A.	14" GW	N	FULL CANOPY, CURVED TRUNK
CN1	7	COCOS NUCIFERA 'MAYPAN'	COCONUT PALM	N.A.	N.A.	6'-8" GW	N	FULL CANOPY, CURVED TRUNK
PH5	4	PHOENIX SYLVESTRIS	SYLVESTER DATE PALM	FIELD GROWN	N.A.	10" C.T.	Y	STRAIGHT TRUNK, FULL CANOPY, MATCHED, DIAMOND CUT
RE	29	ROYSTONIA REGIA	ROYAL PALM	N.A.	N.A.	14" GW	Y	HEAVY CALIPER, MATCHED
SPE	14	SABAL PALMETTO	EXISTING SABAL PALM	EXISTING	N.A.	14'-18" C.T.	Y	EXISTING ON SITE
SPR	12	SABAL PALMETTO	RELOCATED SABAL PALM	EXISTING	N.A.	14'-18" C.T.	Y	RELOCATED FROM ON SITE
SP2	2	SABAL PALMETTO	SABAL PALM	FIELD GROWN	N.A.	14'-18" C.T.	Y	SLICK STRAIGHT TRUNK
CSF	24	SABAL PALMETTO	CURVED SABAL PALMETTO	N.A.	N.A.	10'-28" CT	Y	SLOTT, CURVED TRUNK, STRONG CURVES
TR1	15	THRINAX MORRESEI	KEY THATCH PALM	30 GAL	N.A.	5' HT X 5' SPRD	Y	FULL & THICK
TR	11	THRINAX RADIATA	THATCH PALM	30 GAL	N.A.	5' HT X 5' SPRD	Y	FULL & THICK
TR3	11	THRINAX RADIATA	TRIPLE THATCH PALM	30 GAL	N.A.	8' O.A.	Y	FULL & THICK, TRIPLE
<b>(NATIVE PALM TREES 87%)</b>								
<b>SHRUBS</b>								
BU1	3	BOUGAINVILLEA IMPERIAL THAI DELIGHT'	THAI DELIGHT BOUGAINVILLEA	15 GAL	8" O.A.	A.S.	N	FULL & THICK, ON TRELIS, ESPALIER TO PALM
CI8	85	CHRYSOBALANUS ICACO 'RED TIP'	REDDIP COCO PLUM	3 GAL	2' X 2'	2' O.C.	Y	FULL AND THICK
CI7	13	CHRYSOBALANUS ICACO 'RED TIP'	REDDIP COCO PLUM	7 GAL	3' X 2'	2' O.C.	Y	FULL AND THICK
CI5	52	CHRYSOBALANUS ICACO 'RED TIP'	EXISTING REDTIP COCO PLUM	7 GAL	3' X 2'	2' O.C.	Y	EXISTING, FULL & THICK
CL3	355	CLUSIA GUTTIFERA	SMALL-LEAF CLUSIA	3 GAL	2' X 2'	2' O.C.	Y	FULL & THICK
CL6	57	CLUSIA GUTTIFERA	SMALL-LEAF CLUSIA	7 GAL	3' X 2'	2' O.C.	Y	FULL & THICK
CDG	24	CORDIAEUM VAR. 'DREADLOCK'	DREADLOCK CROTON	7 GAL	2.5' X 2.5'	A.S.	N	FULL & THICK
FG7	119	FICUS MACROPHYLLA 'GREEN ISLAND'	GREEN ISLAND FIGUS	7 GAL	24" X 24"	24" O.C.	N	FULL & THICK
HSP	12	HIBISCUS ROSA-SINENSIS 'DOUBLE BEACON'	DOUBLE BEACH HIBISCUS	3 GAL	18" X 18"	24" O.C.	N	FULL & THICK
SAV7	17	SCHOFFERIA ARBORICOLA 'TRINETTE'	VARIATED SCHEFFERA	7 GAL	24" X 24"	2' O.C.	N	FULL & THICK
<b>(NATIVE SHRUBS 76%)</b>								
<b>SHOULDER COVERS</b>								
CE8	103	CARISSA MACROCARPA 'EMERALD BLANKET'	EMERALD BLANKET NATAL PLUM	3 GAL	12" X 12"	24" O.C.	N	FULL & THICK
CID	1,451	CHRYSOBALANUS ICACO 'HORIZONTALIS'	REDDIP COCONUT PALM	3 GAL	12" X 18"	24" O.C.	Y	FULL & THICK
CI	279	CHRYSOBALANUS ICACO 'RED TIP'	RED TIP COCONUT PALM	7 GAL	2' X 2'	30" O.C.	Y	FULL & THICK
CI7	423	COCOLUBA UNIFERA	SEAGRAPE	7 GAL	3' X 2'	3' O.C.	Y	FULL & THICK
CE3	267	CONOCARPUS ERECTUS SERVICUS	SILVER BUTTWOOD	3 GAL	18" X 18"	24" O.C.	Y	FULL & THICK
EL	1,417	ERNODEA LITTORALIS	GOLDEN CREEPER	3 GAL	12" X 12"	18" O.C.	Y	FULL & THICK
FC	37	FICUS MACROPHYLLA 'GREEN ISLAND'	GREEN ISLAND FIGUS	3 GAL	12" X 12"	24" O.C.	N	FULL & THICK
HD	480	HAMELIA PATENS 'COMPACTA'	DWARF FIREBUSH	3 GAL	18" X 18"	24" O.C.	Y	FULL & THICK
DS	122	RELBUNTHOS DEBILIS	DOME-SHAPED BUSH	3 GAL	18" X 18"	24" O.C.	Y	FULL & THICK
HRR	70	HIBISCUS ROSA-SINENSIS 'DOUBLE RED'	DOUBLE RED HIBISCUS	3 GAL	18" X 18"	24" O.C.	N	FULL & THICK
HL	305	HYMENOCALLIS LATIFOLIA	SPIDER LILY	3 GAL	12" X 24"	24" O.C.	Y	FULL & THICK
HL	42	ILEX VOMITORIA 'STOKES DWARF'	DWARF YAUPOIN HOLLY	3 GAL	12" X 12"	24" O.C.	Y	FULL & THICK
MUH	378	MUHLENBERGIA CAPILLARIS	MULHY GRASS	3 GAL	18" X 18"	30" O.C.	Y	FULL & THICK
ND	93	NERIUM OLANDER 'DWARF'	DWARF OLANDER	3 GAL	24" X 24"	24" O.C.	N	FULL & THICK
PD	283	PODOCARPUS MACR. 'PRINGLES' OR 'META'	DWARF PODOCARPUS	3 GAL	18" X 18"	18" O.C.	Y	FULL & THICK
PD7	175	PODOCARPUS MACR. 'PRINGLES' OR 'META'	DWARF PODOCARPUS	7 GAL	24" X 24"	24" O.C.	N	FULL & THICK
TD	258	TRIPSAcium FLORIDANA	DWARF FAKOCHAEER GRASS	3 GAL	24" X 24"	30" O.C.	Y	FULL & THICK
<b>(NATIVE GROUNDCOVERS 87%)</b>								

## LANDSCAPE SPECIFICATIONS

### 1. GENERAL LANDSCAPE REQUIREMENTS

LANDSCAPE CONTRACT WORK INCLUDES, BUT IS NOT LIMITED TO, SOIL PREPARATION, GUYING OR FINISH GRADING, FURNISHING AND INSTALLING PLANT MATERIAL, WATERING, STAKING, FINISHING AND MULCHING.

#### PLANT SIZE AND QUALITY

TREES, PALMS, SHRUBS, GROUNDCOVERS: PLANT SPECIES AND SIZES SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARD PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS PARTS 1 & 2, LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. UNLESS SPECIFIED OTHERWISE, ALL PLANTS SHALL BE FLORIDA GRADE NUMBER 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY.

ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS OF GOOD QUALITY AND BE IN A HEALTHY GROWING CONDITION.

AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER.

STANDARD PLANTING MIXTURE SHALL BE ONE (1) PART RECYCLED ORGANIC MATERIAL ADDED TO THREE (3) PARTS EXISTING NATIVE SOIL.

REPLACEMENT SOIL SHALL BE USED AS SPECIFIED TO REPLACE EXISTING SOILS THAT ARE DETERMINED BY THE LANDSCAPE ARCHITECT TO BE UNSUITABLE FOR PLANTING, I.E. ROAD BASE, PAVEMENT, ETC. REPLACEMENT SOIL MIX SHALL CONTAIN 60% SAND AND 40% MUCK. SAND SHALL BE 100% CLEAN NATIVE SAND SCREENED TO 1/4" AND MUCK SHALL BE 100% CLEAN ORGANIC NATIVE MUCK SCREENED TO 1/2". ALL SOIL SHALL BE MIXED PRIOR TO DELIVERY ON SITE.

MULCH SHALL BE SHREDDED MELALEUCA, EUCALYPTUS OR GRADE "A" RECYCLED. ALL MULCH IS TO BE APPLIED TO A DEPTH OF 3", EXCEPT AS OTHERWISE NOTED.

FERTILIZER IN BACKFILL MIXTURE FOR ALL PLANTS SHALL CONSIST OF MORGANITE ACTIVATED SLUDGE MIXED WITH THE BACKFILL AT A RATE OF NOT LESS THAN 50 LBS. PER CUBIC YARD.

FERTILIZER FOR TREES AND SHRUBS MAY BE TABLET FORM OR GRANULAR. GRANULAR FERTILIZER SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE-FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED BAGS, EACH BEARING THE MANUFACTURER'S STATEMENT OF ANALYSIS, AND SHALL MEET THE FOLLOWING REQUIREMENTS: 16% NITROGEN, 7% PHOSPHORUS, 12% POTASSIUM PLUS IRON. TABLET FERTILIZER (AGRIFORM OR EQUAL) IN 21 GRAM SIZE SHALL MEET THE FOLLOWING REQUIREMENTS: 20% NITROGEN, 10% PHOSPHORUS AND 5% POTASSIUM.

#### FERTILIZER WILL BE APPLIED AT THE FOLLOWING RATES:

PLANT SIZE	16-7-12	AGRIFORM TABLETS (21 GRAM)
1 GAL.	1/4 LB.	1
3 GAL.	1/2 LB.	3
7-15 GAL.	1 LB.	7
1"-6" CALIPER	2 LBS./1" CALIPER	2 PER 1" CALIPER
6" AND LARGER	3 LBS./1" CALIPER	2 PER 1" CALIPER

\*FLORIDA EAST COAST PALM SPECIAL\* SHALL BE APPLIED TO ALL PALMS AT INSTALLATION AT A RATE OF 1/4 LB. PER INCH OF TRUNK UNLESS OTHERWISE SPECIFIED.

FIELD GROWN TREES AND PALMS PREVIOUSLY ROOT PRUNED SHALL OBTAIN A ROOT BALL WITH SUFFICIENT ROOTS FOR CONTINUED GROWTH WITHOUT RESULTING SHOCK.

CONTRACTOR SHALL NOT MARK OR SCAR TRUNK IN ANY FASHION.

PLANTS SHALL BE WATERED AS NECESSARY OR WITHIN 24 HOURS AFTER NOTIFICATION BY THE LANDSCAPE ARCHITECT.

THE LOCATIONS OF PLANTS, AS SHOWN IN THESE PLANS, ARE APPROXIMATE. THE FINAL LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE FIELD CONDITIONS. MAJOR ADJUSTMENTS TO THE LAYOUT ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT.

ALL PLASTIC FABRIC SHALL BE REMOVED FROM PLANT MATERIAL AT TIME OF INSTALLATION.

ALL TREES MUST BE STAKED AS SHOWN ON THE PLANTING DETAILS WITHIN 24 HOURS OF PLANTING. STAKES TO REMAIN FOR A MINIMUM OF 9 MONTHS, BUT NO LONGER THAN 18 MONTHS. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND REMOVAL OF THE STAKES.

ALL TREES MUST BE PRUNED AS PER LANDSCAPE ARCHITECT'S DIRECTION. SABAL PALMS MAY BE HURRICANE CUT.

ALL SHRUBS, TREES AND GROUND COVER WILL HAVE IMPROVED SOIL AS PER PLANTING SOIL NOTES. THE SOILS SHALL BE PLACED IN THE HOLE DURING PLANTING. TOP DRESSING ONLY IS NOT ACCEPTABLE.

DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING. ALL TREES SHALL BE SPIKED IN UTILIZING WATER AND A TREE BAR.

THE LANDSCAPE CONTRACTOR SHALL WATER, MULCH, WEED, PRUNE, AND OTHERWISE MAINTAIN ALL PLANTS, INCLUDING SOIL, UNTIL COMPLETION OF CONTRACT OR ACCEPTANCE BY LANDSCAPE ARCHITECT. SETTLED PLANTS SHALL BE RESET TO PROPER GRADE, PLANTING SAUCERS RESTORED, AND DEFECTIVE WORK CORRECTED.

THE LANDSCAPE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR DEBRIS CAUSED BY HIS CREWS DURING THE PERFORMANCE OF THE WORK. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS, DEBRIS, UNUSED PLANT MATERIAL, EMPTY PLANT CONTAINERS AND ALL EQUIPMENT FROM THE PROJECT SITE.

UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND REQUEST A FINAL INSPECTION. ANY ITEMS THAT ARE JUDGED INCOMPLETE OR UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHALL BE CORRECTED BY THE LANDSCAPE CONTRACTOR WITHIN 14 DAYS.

ALL LABOR AND MATERIAL FOR SOIL AMENDMENTS AND FERTILIZER THAT IS REQUIRED TO INSURE THE SUCCESSFUL ESTABLISHMENT AND SURVIVAL OF THE PROPOSED VEGETATION, AS WELL AS ALL LABOR AND MATERIAL FOR CONSULTATION OR EXCESS BACKFILL OR EXCESS MULCH, SHALL BE INCLUDED IN THE CONTRACTOR'S BID TO PERFORM THE WORK REPRESENTED IN THIS PLAN SET.

### 2. PLANTING TREES

EXCAVATE PIT AS PER PLANTING DETAILS.

BACKFILL AROUND BALL WITH STANDARD PLANTING MIXTURE AND SLIGHTLY COMPACT. WATER THOROUGHLY OVER 5 LAYERS TO ELIMINATE VOIDS AND AIR POCKETS. BUILD A 6" HIGH BERM OF STANDARD PLANTING MIXTURE BEYOND EDGE OF EXCAVATION. APPLY 3" (AFTER SETTLEMENT) OF MULCH EXCEPT WITHIN 6" OF TRUNK.

PRUNE TREE TO REMOVE DAMAGED BRANCHES, IMPROVE NATURAL SHAPE AND THIN OUT STRUCTURE. DO NOT REMOVE MORE THAN 15% OF BRANCHES. DO NOT PRUNE BACK TO BUCK TERMINAL LEAF.

GUY AND STAKE TREE IN ACCORDANCE WITH THE STAKING DETAILS IMMEDIATELY AFTER PLANTING.

### 3. PLANTING SHRUBS

LAYOUT SHRUBS TO CREATE A CONTINUOUS SMOOTH FRONT LINE AND FILL IN BEHIND.

EXCAVATE PIT OR TRENCH TO 1-1/2 TIMES THE DIAMETER OF THE BALLS OR CONTAINERS OR 1'-0" DEEPER THAN THE SPREAD OF ROOTS FOR POSITIONING AT PROPER HEIGHT. BACKFILL AROUND PLANTS WITH STANDARD PLANTING MIXTURE, COMPACTED TO ELIMINATE VOIDS AND AIR POCKETS. WATER SOIL SLIGHTLY DISHED AND BERMED AT EDGES OF EXCAVATION. APPLY 3" OF MULCH EXCEPT WITHIN 3" OF STEMS.

PRUNE SHRUBS TO REMOVE DAMAGED BRANCHES, IMPROVE NATURAL SHAPE AND THIN OUT STRUCTURE. DO NOT REMOVE MORE THAN 15% OF BRANCHES.

### 4. PLANTING GROUND COVER

LOOSEN SUBGRADE TO DEPTH OF 4" IN AREAS WHERE TOPSOIL HAS BEEN STRIPPED AND SPREAD SMOOTH.

SPACE PLANTS AS OTHERWISE INDICATED. DIG HOLES LARGE ENOUGH TO ALLOW SPREADING OF ROOTS. COMPACT BACKFILL TO ELIMINATE VOIDS AND LEAVE GRADE SLIGHTLY DISHED AT EACH PLANT. WATER THOROUGHLY. APPLY 3" OF MULCH OVER ENTIRE PLANTING BED, LIFTING PLANT FOLIAGE ABOVE MULCH.

DURING PERIODS OF HOT SUN AND/OR WIND AT TIME OF PLANTING, PROVIDE PROTECTIVE COVER FOR SEVERAL DAYS OR AS NEEDED.

### 5. PLANTING LAWN

SODDING: SOO TYPE SPECIFIED ON PLANT LIST SHALL BE MACHINE STRIPPED NOT MORE THAN 24 HOURS PRIOR TO LAYING.

LOOSEN SUBGRADE TO DEPTH OF 4" AND GRADE WITH TOPSOIL EITHER PROVIDED ON SITE OR IMPORTED STANDARD PLANTING MIX TO FINISH DESIGN ELEVATIONS. ROLL PREPARED LAWN SURFACE. WATER THOROUGHLY, BUT DO NOT CREATE MUDDY SOIL CONDITION.

FERTILIZE SOIL AT THE RATE OF APPROXIMATELY 10 LBS. PER 1,000 S.F. SPREAD FERTILIZER OVER THE AREA TO RECEIVE GRASS BY USING AN APPROVED DISTRIBUTION DEVICE CALIBRATED TO DISTRIBUTE THE APPROPRIATE QUANTITY. DO NOT FERTILIZE WHEN WIND VELOCITY EXCEEDS 15 M.P.H. THOROUGHLY MIX FERTILIZER INTO THE TOP 2" OF TOPSOIL.

LAY SOO STRIPS WITH TIGHT JOINTS. DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. WORK SIFTED STANDARD PLANTING MIXTURE INTO MINOR CRACKS BETWEEN PIECES OF SOO AND REMOVE EXCESS SOO DEPOSITS FROM SODDED AREAS. SOO ON SLOPES GREATER THAN 3:1 SHALL BE STAKED IN PLACE. ROLL OR STAMP LIGHTLY AND WATER THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING.

### 6. MISCELLANEOUS LANDSCAPE WORK

#### LANDSCAPE MAINTENANCE

THE MAINTAIN LANDSCAPE WORK UNTIL FINAL ACCEPTANCE IS ISSUED BY THE OWNER'S REPRESENTATIVE. INCLUDING WATERING, WEEDING, CULTIVATING, RESTORATION OF GRADE, MOWING AND TRIMMING GRASS, PRUNING TREES AND SHRUBS, PROTECTION FROM INSECTS AND DISEASES, FERTILIZING AND SIMILAR OPERATIONS AS NEEDED TO INSURE NORMAL GROWTH AND GOOD HEALTH FOR LIVE PLANT MATERIAL.

#### PLANT MATERIAL SUBSTITUTION

NO SUBSTITUTION OF PLANT MATERIAL, TYPE OR SIZES WILL BE PERMITTED WITHOUT AUTHORIZATION FROM THE LANDSCAPE ARCHITECT.

#### PLANTING BED PREPARATION

ALL PLANTING BEDS SHALL BE PROPERLY PREPARED PRIOR TO THE COMMENCEMENT OF ANY PLANTING. PLANTING AREAS, INCLUDING LAWN, SHALL BE FREE OF ALL WEEDS AND NUISANCE VEGETATION. IF TORPEDO GRASS (PANICUM REPENS) IS PRESENT OR ENCOUNTERED DURING PLANTING, THE LANDSCAPE CONTRACTOR SHALL STOP ALL PLANTING UNTIL IT CAN BE DEMONSTRATED THAT IT HAS BEEN COMPLETELY REMOVED OR ERADICATED. THERE SHALL BE NO EXCEPTIONS TO THIS PROVISION.

ALL LANDSCAPE ISLANDS AND BEDS WILL BE FREE OF SHELL ROCK AND CONSTRUCTION DEBRIS AND WILL BE EXCAVATED TO A DEPTH OF 30 INCHES OR TO CLEAN, NATIVE SOIL AND FILLED WITH THE SPECIFIED REPLACEMENT MIX.

#### LANDSCAPE WARRANTY

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF SIX (6) MONTHS FROM THE DATE OF CONDITIONAL ACCEPTANCE IN WRITING FROM THE ARCHITECT. AT THE TIME OF CONDITIONAL ACCEPTANCE, THE SIX (6) MONTH PERIOD SHALL COMMENCE. UNACCEPTABLE MATERIALS WHICH HAVE DIED OR DECLINED DURING THIS PERIOD SHALL NO LONGER MEET FLORIDA #1 CONDITION DURING THIS PERIOD SHALL BE PROMPTLY REPLACED WITH SPECIMENS THAT MEET THE MINIMUM REQUIREMENTS CALLED FOR ON THE DRAWINGS. THE LANDSCAPE CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR THE DEATH OR DAMAGE RESULTING FROM ACTS OF GOD SUCH AS LIGHTNING, VANDALISM, AND AUTOMOBILES OR FROM NEGLIGENCE BY THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING AND OTHER OTHERWISE NOTED PLANTS UP TO THE CONDITIONAL ACCEPTANCE PERIOD, UNLESS A WRITTEN AGREEMENT WITH THE LANDSCAPE ARCHITECT PROVIDES FOR A DIFFERENT ARRANGEMENT.

## LANDSCAPE NOTES

LANDSCAPING WILL CONFORM TO THE REQUIREMENTS OF THE TOWN OF JUNO BEACH LANDSCAPE CODE.

ALL LANDSCAPING SHALL BE FULLY IRRIGATED WITH 100% OVERLAP COVERAGE.

THE IRRIGATION WATER SOURCE WILL BE FROM A PRIVATE WELL PERMITTED THROUGH SFWMD.

LANDSCAPE SHALL BE INSTALLED TO AVOID CONFLICTS WITH SIGHT VISIBILITY, SIGNAGE AND LIGHTING. LARGER TREES OR PALMS SHALL BE USED WHERE NECESSARY.

LANDSCAPING SHALL CONFORM THE STANDARD REQUIREMENTS OF THE TOWN OF JUNO BEACH WATER DEPARTMENT AND LOXAHATCHEE RIVER DISTRICT. ROOT BARRIERS SHALL BE UTILIZED ADJACENT TO WATER AND SANITARY MAIN LINES IN ACCORDANCE WITH THE 2023 STANDARD DETAILS.

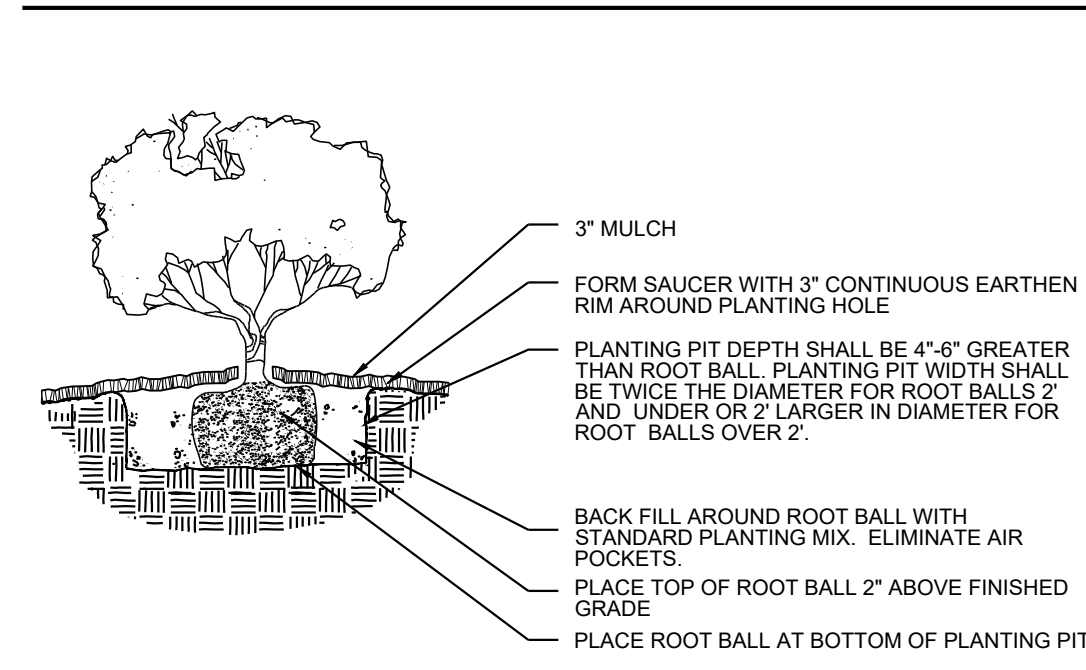
ALL PLANTING AREAS AND PLANTING ISLANDS WITH IN AND ADJACENT TO VEHICULAR USE AREAS SHALL BE EXCAVATED TO A DEPTH OF 30" TO ENSURE THE REMOVAL OF ROAD BASE AND DEBRIS. EXCAVATED AREAS SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT PRIOR TO BACK FILLING. BACKFILL SHALL CONSIST OF CLEAN TOP SOIL OR APPROVED ATLAS PLANTING MIXTURE.

NO INVASIVE NONNATIVE VEGETATION SHALL BE PLANTED WITHIN FIVE HUNDRED FEET (500') OF THE JUNO DUNES ENVIRONMENTALLY SENSITIVE LAND (ESL) AREA.

EXISTING NATIVE VEGETATION ON SITE WILL BE PRESERVED OR RELOCATED TO THE MAXIMUM EXTENT POSSIBLE. ANY NATIVE VEGETATION THAT IS NOT PROPOSED TO PRESERVED OR RELOCATED WILL BE MADE AVAILABLE TO TOWN RESIDENTS IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF JUNO BEACH.

ALL LANDSCAPING WITHIN THE SIGHT TRIANGLES SHALL PROVIDE UNOBSTRUCTED CROSS VISIBILITY AT A LEVEL BETWEEN 30 INCHES AND SIX FEET.

## PLANTING DETAILS















DATE	3/25/23
REVISIONS	UPDATE PER COMMENTS
BY	RW
FILE NAME	5441_S4R4

**CAULFIELD & WHEELER, INC.**  
 CIVIL ENGINEERING - LAND SURVEYING  
 7301A W. PALMETTO PARK ROAD - SUITE 100A  
 BOCA RATON, FLORIDA 33433  
 PHONE (305) 592-1991 / FAX (305) 750-1452

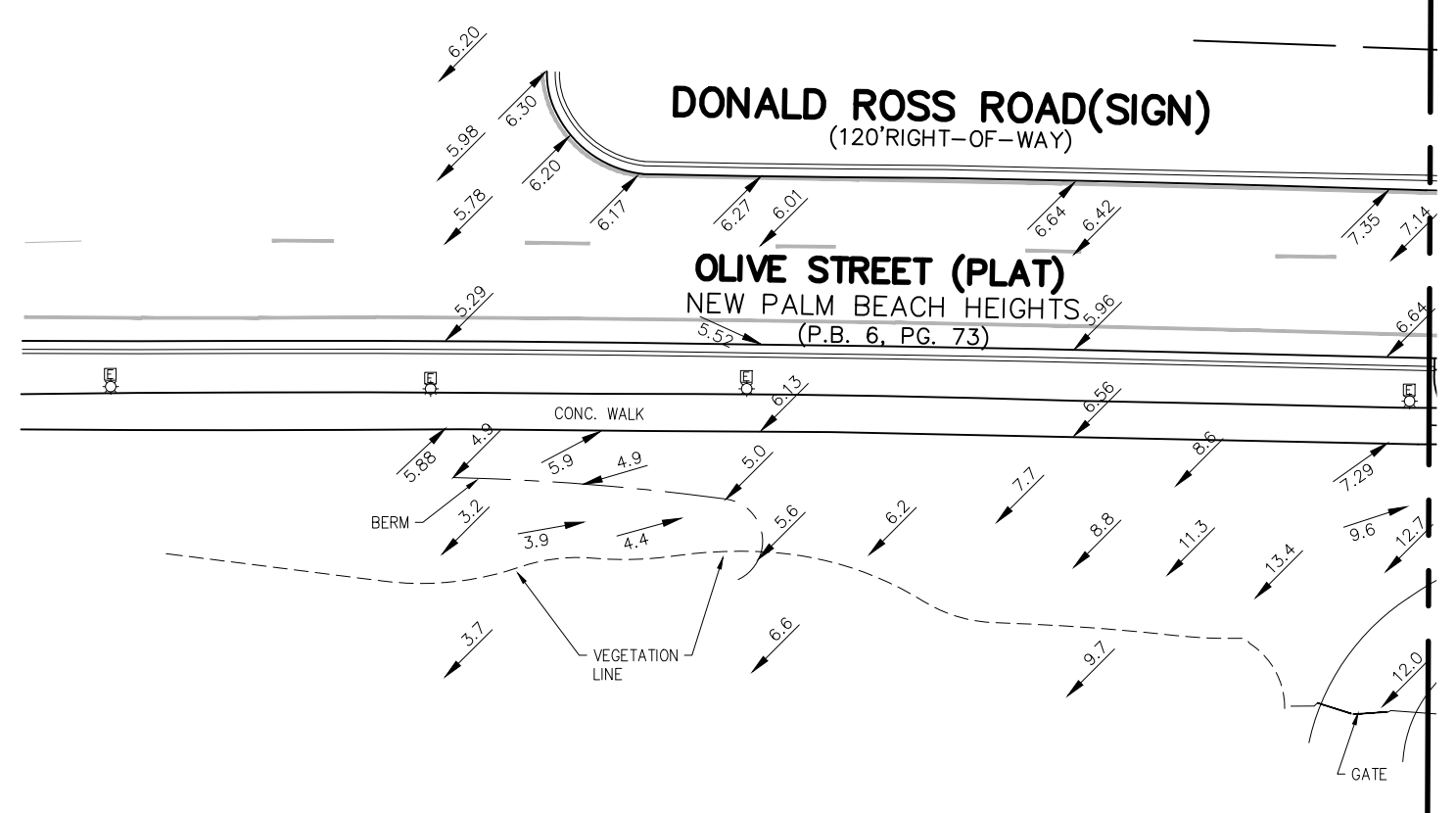


**JUNO SQUARE  
 BOUNDARY, TOPOGRAPHIC, &  
 TREE SURVEY**

DATE 03/08/23  
 DRAWN BY TKM  
 F.B./ PG. HDS  
 SCALE 1" = 30'

DAVID P. LINDLEY  
 REGISTERED LAND  
 SURVEYOR NO. 5005  
 STATE OF FLORIDA  
 L.B. 3591

JOB # 5441  
 SHT. NO. 4  
 OF 4 SHEETS



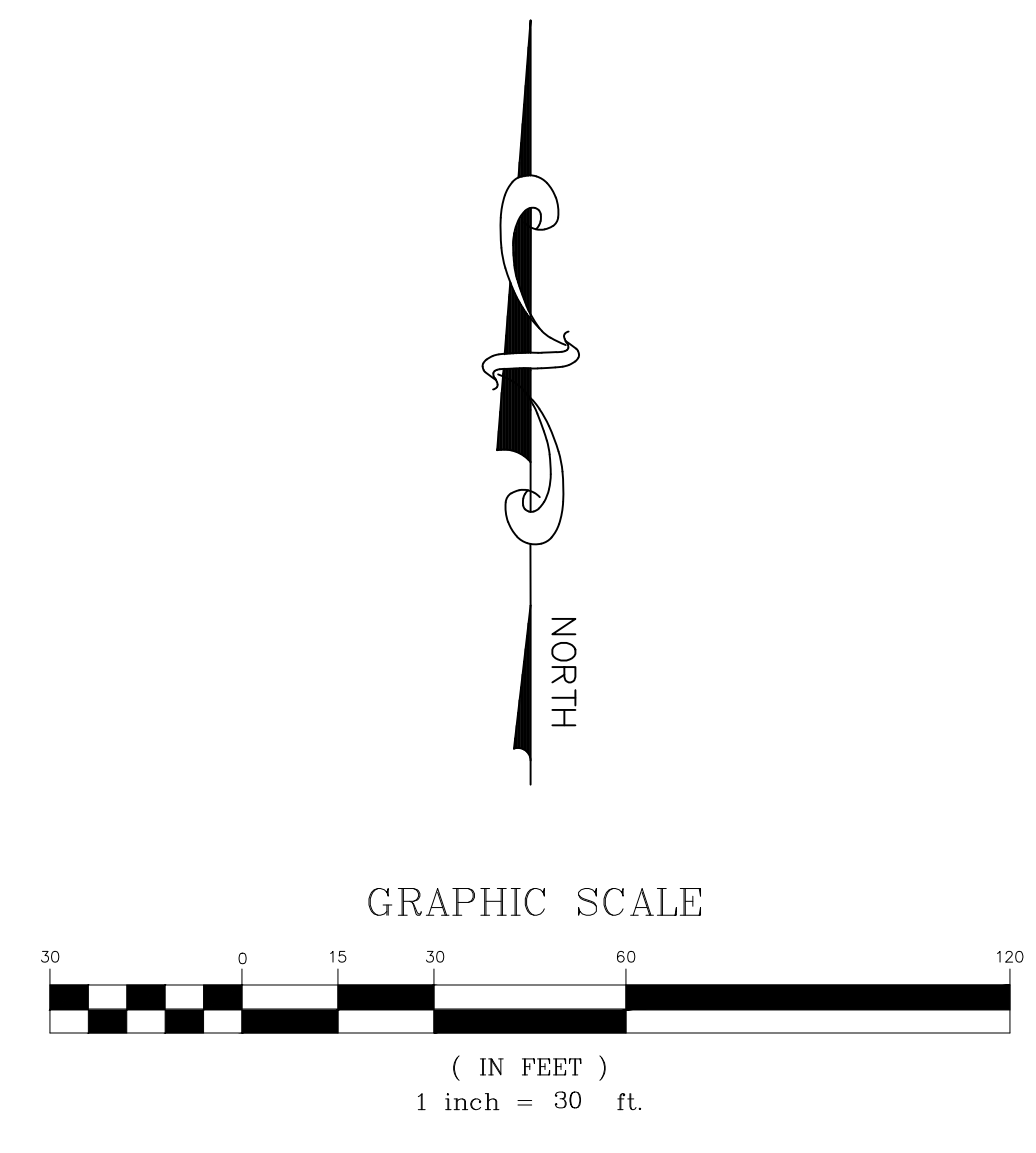
MATCHLINE - SHEET 3  
 MATCHLINE - SHEET 4

TREE TABLE				
TREE ID	TREE TYPE with TRUNK DIAMETER (IN INCHES)	PALM TREE HEIGHT (IN FEET)	NORTHING	EASTING
600	PALM 10	13	926828	963724
601	PALM11	10	926835	963735
602	PALM 9	12	926836	963726
603	PALM 11	18	926841	963739
604	PALM 10	16	926851	963741
605	PALM 11	13	926820	963684
606	PALM 12	16	926825	963678
607	PALM 8	10	926822	963672
608	PALM 14	16	926844	963356
609	PALM 20	16	926884	963201
610	PALM 14	10	926882	963209
611	PALM 11	14	926964	963177
612	MULTI-PALM 5	10	927050	963397
613	MULTI-PALM 5	11	927049	963421
614	PALM 18	8	926965	963474
615	PALM 11	16	926976	963474
616	PALM 12	15	926991	963471
617	PALM 8	9	927013	963482
618	PALM 9	8	927000	963481
619	PALM 10	22	927223	963458
620	PALM 11	24	927224	963488
621	PALM 10	18	927222	963519
622	PALM 10	23	927221	963547
623	PALM 9	19	927219	963577
624	PALM 8	21	927216	963637

TREE TABLE				
TREE ID	TREE TYPE with TRUNK DIAMETER (IN INCHES)	PALM TREE HEIGHT (IN FEET)	NORTHING	EASTING
625	PALM 8	19	927216	963665
626	PALM 8	14	927084	963698
627	PALM 9	21	927078	963691
628	PALM 10	20	927078	963708
629	PALM 10	16	927088	963697
630	PALM 11	21	927072	963704
631	PALM 9	15	927045	963695
632	PALM 9	18	927041	963706
633	PALM 9	17	927051	963703
634	PALM 11	16	926993	963664
635	PALM 12	8	926999	963669
636	PALM 9	11	926991	963670
637	PALM 10	11	926996	963675
638	MULTI-PALM 6	15	926974	963658
639	PALM 18	14	926972	963623
640	PALM 17	15	926977	963628
641	PALM 19	13	926979	963618
642	PALM 21	6	926985	963627
643	PALM 16	9	926989	963620
644	PALM 17	7	927153	963540
645	PALM 6	13	927167	963545
646	PALM 11	23	927139	963613
647	PALM 7	15	927143	963612
648	PALM 10	19	927139	963619
649	PALM 12	31	927149	963618

TREE TABLE				
TREE ID	TREE TYPE with TRUNK DIAMETER (IN INCHES)	PALM TREE HEIGHT (IN FEET)	NORTHING	EASTING
650	PALM 12	20	927149	963613
651	PALM 9	22	927144	963544
652	PALM 11	26	927152	963391
653	PALM 9	19	927153	963382
654	PALM 9	19	927151	963406
655	PALM 11	15	927161	963391
656	PALM 12	16	927042	963430
657	MULTI-PALM 5	11	927047	963448
658	PALM 16	16	926973	963445
659	PALM 16	12	926963	963449
660	PALM 16	5	926921	963446
661	PALM 14	9	926930	963447
662	PALM 14	14	926874	963374
663	PALM 14	12	926878	963377
664	PALM 14	10	926840	963430
665	PALM 18	12	926841	963438
666	PALM 12	16	926881	963743
667	MULTI-PALM 6	17	926918	963657
668	MULTI-PALM 6	17	926949	963658
669	TABEBUIA 15"		927065	963535
670	PALM 9	14	926987	963440
671	PALM 8	12	926987	963436
672	PALM 7	18	927057	963449
673	MULTI-PALM 5	12	927058	963444
674	PALM 12	18	927037	963450

TREE TABLE				
TREE ID	TREE TYPE with TRUNK DIAMETER (IN INCHES)	PALM TREE HEIGHT (IN FEET)	NORTHING	EASTING
675	PALM 5	10	927018	963425
676	ROBELLINI 5"		927044	963404
677	MULTI-PALM 5	8	927022	963390
678	MULTI-PALM 3	8	927013	963400
679	PALM 11	14	926788	963286
680	PALM 11	25	926770	963521
681	PALM 9	7	926769	963522
682	PALM12	7	926971	963741
683	PALM 10	15	926981	963746
684	PALM 7	16	926978	963753
685	FICUS 10	0	927018	963369
686	PALM 9	13	927050	963441
687	FICUS 19		926974	963432
688	FICUS 7		926936	963446
689	FICUS 21		926868	963446
690	PALM 9	16	926938	963746
691	PALM 12	17	926967	963751
692	FICUS 6		926983	963382
693	FICUS 7		926982	963378
694	FICUS 11		926985	963371
695	FICUS 12		926985	963369
696	FICUS 11		926986	963367
697	FICUS 8		926990	963367
698	FICUS 10		926992	963365
699	FICUS 7		926844	963446



**LEGEND**

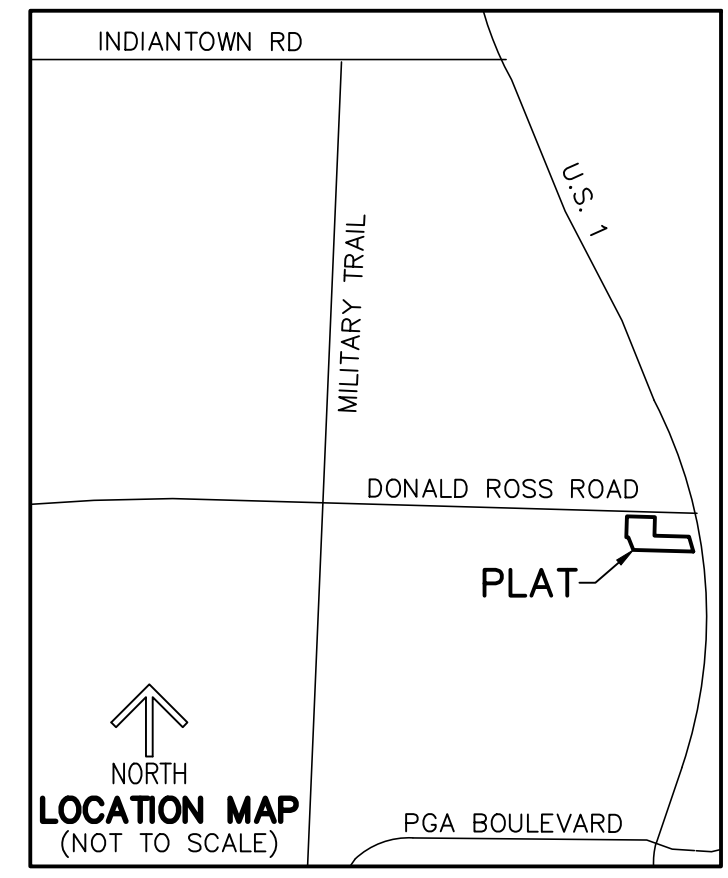
- A/C - AIR CONDITIONER
- L - ARC LENGTH
- ALUM. - ALUMINUM
- B.E. - BUFFER EASEMENT
- C.O. - CLEANOUT
- CLF - CHAIN LINK FENCE
- CONC. - CONCRETE
- COV. COVERED
- D.E. - DRAINAGE EASEMENT
- ELEC. - ELECTRIC
- ELEV. - ELEVATION
- EQUIP. - EQUIPMENT
- ESMT. - EASEMENT
- EXIST. - EXISTING
- F.P.L. - FLORIDA POWER & LIGHT
- FIN. - FINISHED
- FLR. - FLOOR
- FND. - FOUND
- I.R./CAP - IRON ROD & CAP
- INV. - INVERT
- IRR. - IRRIGATION
- L.A.E. - LIMITED ACCESS EASEMENT
- O/S - BUILDING OFFSET
- O.R.B. - OFFICIAL RECORD BOOK
- P.B. - PLAT BOOK
- P.B.C.R. - PALM BEACH COUNTY RECORD
- P.O.B. - POINT OF BEGINNING
- P.O.C. - POINT OF COMMENCEMENT
- POS. - PAGE(S)
- P.R.M. - PERMANENT REFERENCE MONUMENT
- PROP. - PROPOSED
- R - RADIUS
- R/W - RIGHT-OF-WAY
- RGE. - RANGE
- SEC - SECTION
- Δ - DELTA (CENTRAL ANGLE)
- V — BLUE PAINT STRIPE (WATER)
- SAN — GREEN PAINT STRIPE (FORCE MAIN)
- AT&T — ORANGE PAINT STRIPE (AT&T)
- FPL — RED PAINT STRIPE (FPL)
- GAS — YELLOW PAINT STRIPE (GAS)
- CATV — ORANGE PAINT STRIPE (FIBER OPTIC VAULT)
- SQ. FT. - SQUARE FEET
- TWP. - TOWNSHIP
- TYP. - TYPICAL
- U.E. - UTILITY EASEMENT
- W.M. - WATER METER
- W.E. - WATER EASEMENT
- S.E. - SANITARY EASEMENT
- ☆ - LIGHT POLE
- ⊙ - FIRE HYDRANT
- ⊞ - CATCH BASIN
- ⊞ - WATER VALVE
- ⊙ - SET 5/8" IR/CAP LB 3591
- ⊙ - SANITARY MANHOLE
- ⊙ - DRAINAGE MANHOLE
- ⊙ - WOOD POWER POLE (UNLESS NOTED)
- ⊙ - CENTER LINE
- — — — — EXISTING ELEVATION
- ⊞ - TRAFFIC SIGN
- — — — — ELECTRICAL WIRES OVERHEAD
- ⊞ - ANCHOR
- ⊞ - WATER METER
- ⊞ - RPZ
- ⊞ - GROUND LIGHT
- ⊞ - ELECTRIC HAND HOLE
- ⊞ - IRRIGATION CONTROL VALVE
- ⊞ - CONCRETE POWER POLE
- ⊞ - FIRE DEPARTMENT CONNECTION
- ⊙000 - TREE ID#

"NOTICE" THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF PALM BEACH COUNTY.

# DUNES AT JUNO BEACH

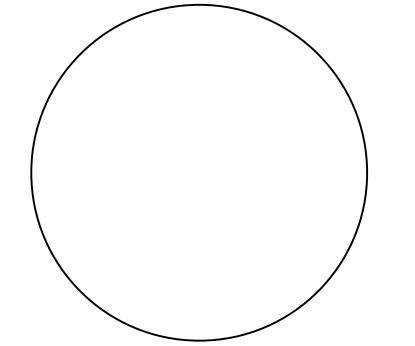
BEING A REPLAT OF A PORTION OF BLOCK 11 AND BLOCK 12, COCOANUT AVENUE, OLEANDER AVENUE AND PALM AVENUE, NEW PALM BEACH HEIGHTS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 73 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LYING IN SECTION 28, TOWNSHIP 41 SOUTH, RANGE 43 EAST, TOWN OF JUNO BEACH, PALM BEACH COUNTY, FLORIDA.

THIS INSTRUMENT PREPARED BY  
DAVID P. LINDLEY  
OF  
**CAULFIELD & WHEELER, INC.**  
SURVEYORS - ENGINEERS - PLANNERS  
7900 GLADES ROAD, SUITE 100  
BOCA RATON, FLORIDA 33434 - (561)392-1991  
JUNE - 2024



STATE OF FLORIDA  
COUNTY OF PALM BEACH  
THIS PLAT WAS FILED FOR  
RECORD AT \_\_\_\_\_ M.  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
A.D. 202\_\_\_\_ AND DULY RECORDED  
IN PLAT BOOK \_\_\_\_\_ ON  
PAGES \_\_\_\_\_ AND \_\_\_\_\_  
JOSEPH ABRUZZO,  
CLERK OF THE CIRCUIT COURT  
& COMPTROLLER  
BY: \_\_\_\_\_  
DEPUTY CLERK

CLERK OF THE CIRCUIT COURT  
& COMPTROLLER



**SHEET 1 OF 4**

### DEDICATIONS AND RESERVATIONS:

STATE OF FLORIDA)  
COUNTY OF PALM BEACH)  
TOWN OF JUNO BEACH)

KNOW ALL MEN BY THESE PRESENTS THAT PULTE HOME COMPANY, LLC, A MICHIGAN LIMITED LIABILITY COMPANY, AUTHORIZED TO DO BUSINESS IN FLORIDA, OWNER OF THE LAND SHOWN HEREON AS DUNES AT JUNO BEACH, BEING A REPLAT OF A PORTION OF BLOCK 11 AND BLOCK 12, COCOANUT AVENUE, OLEANDER AVENUE AND PALM AVENUE, NEW PALM BEACH HEIGHTS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 73 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LYING IN SECTION 28, TOWNSHIP 41 SOUTH, RANGE 43 EAST, TOWN OF JUNO BEACH, PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT THE NORTH CORNER OF BLOCK 17, AS SHOWN ON SAID PLAT; THENCE ALONG THE WEST RIGHT-OF-WAY LINE OF SAID COCOANUT AVENUE, N02°10'49"E, A DISTANCE OF 251.36 FEET TO A POINT OF INTERSECTION WITH THE WESTERLY PROLONGATION OF THE SOUTH RIGHT-OF-WAY LINE OF DONALD ROSS ROAD, AS RECORDED IN OFFICIAL RECORDS BOOK 2584, PAGE 1012 OF SAID PUBLIC RECORDS; THENCE ALONG SAID WESTERLY PROLONGATION LINE AND SAID SOUTH RIGHT-OF-WAY LINE OF DONALD ROSS ROAD, S87°54'11"E, A DISTANCE OF 336.67 FEET; THENCE S02°05'49"W, A DISTANCE OF 223.33 FEET; THENCE S87°54'11"E, A DISTANCE OF 416.11 FEET TO A POINT OF INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 1 (STATE ROAD NO. 5), AS RECORDED IN ROAD PLAT BOOK 2, PAGE 114 OF SAID PUBLIC RECORDS; THENCE ALONG SAID WEST RIGHT-OF-WAY LINE, S15°19'11"E, A DISTANCE OF 185.22 FEET TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF FLORAL DRIVE, AS SHOWN ON SAID PLAT; THENCE ALONG SAID NORTH RIGHT-OF-WAY LINE, N87°54'11"W, A DISTANCE OF 719.29 FEET TO A POINT OF INTERSECTION WITH THE EAST LINE OF THAT ABANDONED COCOANUT AVENUE RIGHT-OF-WAY, AS DESCRIBED IN RESOLUTION NO. 2002-01, AS RECORDED IN OFFICIAL RECORD BOOK 13604, PAGE 1893 OF SAID PUBLIC RECORDS; THENCE ALONG SAID EAST LINE, N21°21'24"W, A DISTANCE OF 162.05 FEET; THENCE ALONG THE NORTH LINE OF SAID ABANDONED RIGHT-OF-WAY, N87°49'11"W, A DISTANCE OF 24.80 FEET TO THE POINT OF BEGINNING.

CONTAINING 204,743 SQUARE FEET/ 4.7003 ACRES, MORE OR LESS.

HAVE CAUSED THE SAME TO BE SURVEYED AND PLATTED AS SHOWN HEREON AND DO HEREBY DEDICATE AS FOLLOWS:

- TRACT R, AS SHOWN HEREON, IS HEREBY DEDICATED IN FEE SIMPLE OBSOLETE TO THE DUNES AT JUNO BEACH HOMEOWNERS ASSOCIATION, INC., A FLORIDA CORPORATION NOT-FOR-PROFIT, ITS SUCCESSORS AND ASSIGNS IN PERPETUITY FOR PRIVATE STREET PURPOSES, PUBLIC UTILITIES, DRAINAGE AND OTHER PURPOSES NOT INCONSISTENT WITH THIS DEDICATION AND IS THE PERPETUAL MAINTENANCE OBLIGATION OF THE DUNES AT JUNO BEACH HOMEOWNERS ASSOCIATION, INC., A FLORIDA CORPORATION NOT-FOR-PROFIT, ITS SUCCESSORS AND ASSIGNS, WITHOUT RECOURSE TO THE TOWN OF JUNO BEACH.
- TRACTS L AND L1, AS SHOWN HEREON, ARE HEREBY DEDICATED IN PERPETUITY TO THE DUNES AT JUNO BEACH HOMEOWNERS ASSOCIATION, INC., A FLORIDA CORPORATION NOT-FOR-PROFIT, ITS SUCCESSORS AND ASSIGNS FOR OPEN SPACE PURPOSES, FENCES, WALLS, SIDEWALKS, MAIL KIOSK, DRAINAGE AND PEDESTRIAN ACCESS PURPOSES AND ARE THE PERPETUAL MAINTENANCE OBLIGATION OF THE DUNES AT JUNO BEACH HOMEOWNERS ASSOCIATION, INC., A FLORIDA CORPORATION NOT-FOR-PROFIT, ITS SUCCESSORS AND ASSIGNS, WITHOUT RECOURSE TO THE TOWN OF JUNO BEACH, FLORIDA.
- TRACTS P AND P1, AS SHOWN HEREON, ARE HEREBY DEDICATED IN PERPETUITY TO THE DUNES AT JUNO BEACH HOMEOWNERS ASSOCIATION, INC., A FLORIDA CORPORATION NOT-FOR-PROFIT, ITS SUCCESSORS AND ASSIGNS, WITHOUT RECOURSE TO THE TOWN OF JUNO BEACH, FLORIDA.
- THE TOWN OF JUNO BEACH, FLORIDA, ITS SUCCESSORS AND ASSIGNS, SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION, TO MAINTAIN ANY PORTION OF THE DRAINAGE SYSTEM ENCOMPASSED BY THIS PLAT WHICH IS ASSOCIATED WITH THE DRAINAGE OF PUBLIC STREETS, INCLUDING THE RIGHT TO UTILIZE FOR PROPER PURPOSES ANY AND ALL DRAINAGE EASEMENTS.
- THE UTILITY EASEMENTS (UE), AS SHOWN HEREON, ARE HEREBY DEDICATED IN PERPETUITY FOR THE CONSTRUCTION AND MAINTENANCE OF UTILITY FACILITIES, INCLUDING CABLE TELEVISION SYSTEMS. THE INSTALLATION OF CABLE TELEVISION SYSTEMS SHALL NOT INTERFERE WITH THE CONSTRUCTION AND MAINTENANCE OF OTHER UTILITIES. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES.  
ALL TRACTS FOR PRIVATE STREET PURPOSES, AS SHOWN HEREON, ARE HEREBY SUBJECT TO AN OVERLYING NON-EXCLUSIVE EASEMENT DEDICATED IN PERPETUITY TO THE PUBLIC FOR THE INSTALLATION, OPERATION, MAINTENANCE, REPAIR, EXPANSION AND REPLACEMENT OF UTILITIES, BOTH PUBLIC AND PRIVATE, INCLUDING, BUT NOT LIMITED TO, POTABLE WATER PIPELINES, RAW WATER PIPELINES, WASTEWATER PIPELINES, RECLAIMED WATER PIPELINES, ELECTRIC POWER LINES, TELECOMMUNICATION LINES, CABLE TELEVISION LINES, GAS LINES, AND RELATED APPURTENANCES.  
THE UTILITY EASEMENTS RUNNING ADJACENT AND PARALLEL TO THE TRACTS FOR PRIVATE ROAD PURPOSES, AS SHOWN HEREON, ARE NON-EXCLUSIVE EASEMENTS AND ARE HEREBY DEDICATED IN PERPETUITY TO THE PUBLIC FOR THE INSTALLATION, OPERATION, MAINTENANCE, REPAIR, EXPANSION AND REPLACEMENT OF UTILITIES, BOTH PUBLIC AND PRIVATE, INCLUDING, BUT NOT LIMITED TO, POTABLE WATER PIPELINES, RAW WATER PIPELINES, WASTEWATER PIPELINES, RECLAIMED WATER PIPELINES, ELECTRIC POWER LINES, TELECOMMUNICATIONS LINES, CABLE TELEVISION LINES, GAS LINES, AND RELATED APPURTENANCES. IF OTHERWISE APPROVED BY THE TOWN OF JUNO BEACH, FLORIDA, NO BUILDINGS, STRUCTURES, IMPROVEMENTS, TREES, WALLS OR FENCES SHALL BE INSTALLED WITHIN THESE EASEMENTS WITHOUT THE PRIOR WRITTEN APPROVAL OF THE PALM BEACH COUNTY WATER UTILITIES DEPARTMENT, ITS SUCCESSORS AND ASSIGNS.
- THE LOXAHATCHEE RIVER DISTRICT UTILITY EASEMENT, AS SHOWN HEREON, IS HEREBY DEDICATED IN PERPETUITY TO THE LOXAHATCHEE RIVER ENVIRONMENTAL CONTROL DISTRICT, ITS SUCCESSORS AND ASSIGNS, FOR INSTALLATION, OPERATION AND MAINTENANCE OF SANITARY SEWER FACILITIES, SAID LAND ENCUMBERED BY SAID EASEMENT BEING THE PERPETUAL MAINTENANCE OBLIGATION OF THE DUNES AT JUNO BEACH HOMEOWNERS ASSOCIATION, INC., A FLORIDA CORPORATION NOT-FOR-PROFIT, ITS SUCCESSORS AND ASSIGNS, WITHOUT RECOURSE TO THE TOWN OF JUNO BEACH, FLORIDA.
- THE SAFE SIGHT EASEMENTS (SSE), AS SHOWN HEREON, ARE HEREBY DEDICATED IN PERPETUITY TO THE TOWN OF JUNO BEACH, FLORIDA, ITS SUCCESSORS AND ASSIGNS, FOR THE PURPOSE OF CONTROL AND JURISDICTION ON CONSTRUCTION RIGHTS WITHIN SAID EASEMENTS. NO CONSTRUCTION, BUILDING OR ANY KIND OF LANDSCAPING SHALL BE PLACED IN SAID EASEMENTS WITHOUT PRIOR WRITTEN APPROVAL FROM THE TOWN OF JUNO BEACH, FLORIDA.
- THE LANDSCAPE BUFFER EASEMENTS (LBE), AS SHOWN HEREON, ARE HEREBY DEDICATED IN PERPETUITY TO THE DUNES AT JUNO BEACH HOMEOWNERS ASSOCIATION, INC., A FLORIDA CORPORATION NOT-FOR-PROFIT, ITS SUCCESSORS AND ASSIGNS, FOR BUFFER PURPOSES AND ARE THE PERPETUAL MAINTENANCE OBLIGATION OF THE DUNES AT JUNO BEACH HOMEOWNERS ASSOCIATION, INC., A FLORIDA CORPORATION NOT-FOR-PROFIT, ITS SUCCESSORS AND ASSIGNS.
- THE PUBLIC SIDEWALK EASEMENTS (PSWE), AS SHOWN HEREON, ARE HEREBY DEDICATED IN PERPETUITY TO THE PUBLIC FOR SIDEWALK PURPOSES AND ARE THE PERPETUAL MAINTENANCE OBLIGATION OF THE DUNES AT JUNO BEACH HOMEOWNERS ASSOCIATION, INC., A FLORIDA CORPORATION NOT-FOR-PROFIT, ITS SUCCESSORS AND ASSIGNS, WITHOUT RECOURSE TO THE TOWN OF JUNO BEACH, FLORIDA.
- THE FLORIDA DEPARTMENT OF TRANSPORTATION SIDEWALK EASEMENT (FDOTSWE), AS SHOWN HEREON, IS HEREBY DEDICATED AND GRANTED TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION FOR THE PERPETUAL USE OF THE PUBLIC FOR PUBLIC ROADWAY PURPOSES.

### DEDICATION AND RESERVATION CONTINUED:

IN WITNESS WHEREOF, THE ABOVE-NAMED PULTE HOME COMPANY, LLC, A MICHIGAN LIMITED LIABILITY COMPANY, HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS VICE PRESIDENT LAND - DEVELOPMENT, AND ITS COMPANY SEAL TO BE AFFIXED HERETO BY AND WITH THE AUTHORITY OF ITS BOARD OF DIRECTORS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 202\_\_\_\_.

WITNESS: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

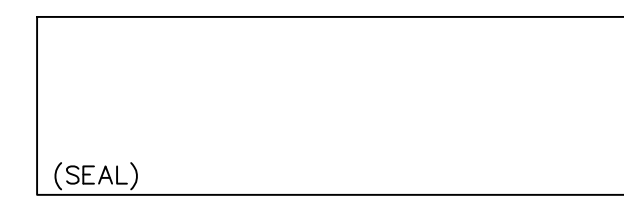
WITNESS: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

### ACKNOWLEDGEMENT:

STATE OF FLORIDA  
COUNTY OF PALM BEACH

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY MEANS OF [ ] PHYSICAL PRESENCE OR [ ] ONLINE NOTARIZATION, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 202\_\_\_\_, BY PATRICK GONZALEZ AS THE VICE PRESIDENT LAND - DEVELOPMENT OF PULTE HOME COMPANY, LLC, A MICHIGAN LIMITED LIABILITY COMPANY, AUTHORIZED TO DO BUSINESS IN FLORIDA, ON BEHALF OF THE LIMITED LIABILITY COMPANY, WHO IS \_\_\_ PERSONALLY KNOWN TO ME OR HAS PRODUCED \_\_\_\_\_ AS IDENTIFICATION.



\_\_\_\_\_  
NOTARY PUBLIC  
\_\_\_\_\_  
PRINT NAME  
MY COMMISSION EXPIRES: \_\_\_\_\_  
COMMISSION NUMBER: \_\_\_\_\_

### LOXAHATCHEE RIVER ENVIRONMENTAL CONTROL DISTRICT ACCEPTANCE OF RESERVATIONS:

STATE OF FLORIDA  
COUNTY OF PALM BEACH

THE LOXAHATCHEE RIVER ENVIRONMENTAL CONTROL DISTRICT, HEREBY ACCEPTS THE LOXAHATCHEE RIVER DISTRICT UTILITY EASEMENT AS STATED AND SHOWN HEREON, FOR ACCESS AND MAINTENANCE PURPOSES, DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 202\_\_\_\_.

BY: \_\_\_\_\_  
D. ALBREY ARRINGTON, PH.D.

ATTEST: \_\_\_\_\_

### TABULAR DATA

RESIDENTIAL LOTS	1,5657 ACRES
TRACT R	0.8137 ACRES
TRACTS L AND L1	1.4169 ACRES
TRACTS P AND P1	0.9040 ACRES
<b>TOTAL AREA THIS PLAT</b>	<b>4.7003 ACRES</b>

### APPROVAL OF PLAT AND ACCEPTANCE OF DEDICATION BY THE TOWN OF JUNO BEACH

STATE OF FLORIDA)  
COUNTY OF PALM BEACH)  
TOWN OF JUNO BEACH)

THIS PLAT IS HEREBY APPROVED FOR RECORD PURSUANT TO ORDINANCES OF THE TOWN OF JUNO BEACH, AND IN ACCORDANCE WITH SECTION 177.071(2), FLORIDA STATUTES. THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024, AND HAS BEEN REVIEWED BY A PROFESSIONAL SURVEYOR UNDER CONTRACT WITH THE TOWN OF JUNO BEACH, IN ACCORDANCE WITH SECTION 177.081 (1), FLORIDA STATUTES.

ATTEST: \_\_\_\_\_  
CAITLIN E. COPELAND-RODRIGUEZ  
TOWN CLERK

TOWN OF JUNO BEACH  
A POLITICAL SUBDIVISION OF THE  
STATE OF FLORIDA

BY: \_\_\_\_\_  
PEGGY WHEELER  
MAYOR

BY: \_\_\_\_\_  
PAUL A. BURI, P.E.  
SIMMONS & WHITE, INC.  
TOWN CONSULTING ENGINEER

BY: \_\_\_\_\_  
LEONARD G. RUBIN, ESQUIRE  
TORCOVIA, DONLON, GODDEAU & RUBIN, P.A.  
FLORIDA BAR NO. 861995  
TOWN ATTORNEY

BY: \_\_\_\_\_  
KENNETH J. BUCHANON, PSM  
LIDBERG LAND SURVEYING, INC.  
TOWN CONSULTING SURVEYOR AND MAPPER

### SURVEYOR & MAPPER'S CERTIFICATE:

THIS IS TO CERTIFY THAT THE PLAT SHOWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION; THAT SAID SURVEY IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF; THAT PERMANENT REFERENCE MONUMENTS (P.R.M.'S) HAVE BEEN PLACED AS REQUIRED BY LAW AND THAT PERMANENT CONTROL POINTS (P.C.P.'S) AND MONUMENTS ACCORDING TO SEC. 177.091(9), F.S., WILL BE SET UNDER THE GUARANTEES POSTED WITH THE TOWN OF JUNO BEACH FOR THE REQUIRED IMPROVEMENTS; AND, FURTHER, THAT THE SURVEY DATA COMPLIES WITH ALL THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AS AMENDED, AND THE ORDINANCES OF THE TOWN OF JUNO BEACH, FLORIDA.

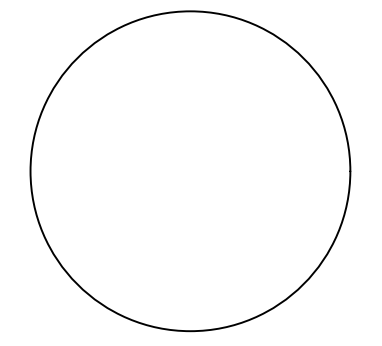
DATED: \_\_\_\_\_

\_\_\_\_\_  
DAVID P. LINDLEY  
PROFESSIONAL LAND SURVEYOR #5005  
STATE OF FLORIDA  
LB #3591

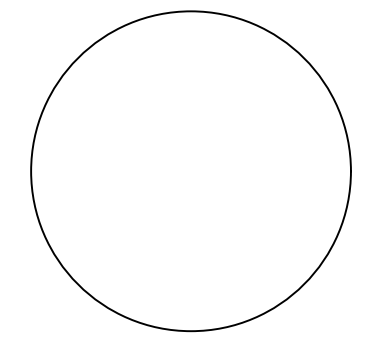
PULTE HOME COMPANY, LLC



TOWN  
ENGINEER



SURVEYOR



# DUNES AT JUNO BEACH

BEING A REPLAT OF A PORTION OF BLOCK 11 AND BLOCK 12, COCOANUT AVENUE, OLEANDER AVENUE AND PALM AVENUE, NEW PALM BEACH HEIGHTS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 73 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LYING IN SECTION 28, TOWNSHIP 41 SOUTH, RANGE 43 EAST, TOWN OF JUNO BEACH, PALM BEACH COUNTY, FLORIDA.

THIS INSTRUMENT PREPARED BY  
DAVID P. LINDLEY  
OF  
**CAULFIELD & WHEELER, INC.**  
SURVEYORS – ENGINEERS – PLANNERS  
7900 GLADES ROAD, SUITE 100  
BOCA RATON, FLORIDA 33434 – (561)392-1991  
JUNE – 2024

**SHEET 2 OF 4**

### ACCEPTANCE OF RESERVATIONS:

STATE OF FLORIDA)  
COUNTY OF PALM BEACH)

THE DUNES AT JUNO BEACH HOMEOWNERS ASSOCIATION, INC., A FLORIDA CORPORATION NOT FOR PROFIT HEREBY ACCEPTS THE DEDICATIONS AND/OR RESERVATIONS TO SAID ASSOCIATION AS STATED AND SHOWN HEREON, AND HEREBY ACCEPTS ITS MAINTENANCE OBLIGATIONS FOR SAME AS STATED HEREON, DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 202\_\_.

DUNES AT JUNO BEACH HOMEOWNERS ASSOCIATION, INC.  
A FLORIDA CORPORATION NOT FOR PROFIT

WITNESS: \_\_\_\_\_

BY: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

PRESIDENT

WITNESS: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

### ACKNOWLEDGEMENT:

STATE OF FLORIDA)  
COUNTY OF PALM BEACH)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY MEANS OF [ ] PHYSICAL PRESENCE OR [ ] ONLINE NOTARIZATION, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 202\_\_, BY \_\_\_\_\_ AS PRESIDENT OF THE DUNES AT JUNO BEACH HOMEOWNERS ASSOCIATION, INC., A FLORIDA CORPORATION NOT FOR PROFIT, ON BEHALF OF THE CORPORATION, WHO IS \_\_\_\_\_ PERSONALLY KNOWN TO ME OR HAS PRODUCED \_\_\_\_\_ AS IDENTIFICATION.

\_\_\_\_\_  
(SEAL)

\_\_\_\_\_  
NOTARY PUBLIC  
\_\_\_\_\_  
PRINT NAME  
MY COMMISSION EXPIRES: \_\_\_\_\_  
COMMISSION NUMBER: \_\_\_\_\_

### TITLE CERTIFICATION:

STATE OF FLORIDA)  
COUNTY OF \_\_\_\_\_)

I, KRISTILEE M. CHIHOS, A DULY LICENSED ATTORNEY IN THE STATE OF FLORIDA, DO HEREBY CERTIFY THAT I HAVE EXAMINED THE TITLE TO THE HEREON DESCRIBED PROPERTY; THAT I FIND THE TITLE TO THE PROPERTY IS VESTED IN PULTE HOME COMPANY, LLC, A MICHIGAN LIMITED LIABILITY COMPANY, AUTHORIZED TO DO BUSINESS IN FLORIDA; THAT THE CURRENT TAXES HAVE BEEN PAID; THAT ALL PALM BEACH COUNTY SPECIAL ASSESSMENT ITEMS, AND ALL OTHER ITEMS HELD AGAINST SAID LANDS HAVE BEEN SATISFIED; THAT THERE ARE NO MORTGAGES OF RECORD; AND THAT THERE ARE ENCUMBRANCES OF RECORD BUT THOSE ENCUMBRANCES DO NOT PROHIBIT THE CREATION OF THE SUBDIVISION DEPICTED BY THIS PLAT.

DATED: \_\_\_\_\_

\_\_\_\_\_  
KRISTILEE M. CHIHOS  
ATTORNEY AT LAW  
LICENSED IN FLORIDA  
FLORIDA BAR NO. 1002713

### SURVEY AND MAPPER NOTES:

1. IN THOSE CASES WHERE EASEMENTS OF DIFFERENT TYPES CROSS OR OTHERWISE COINCIDE, DRAINAGE EASEMENTS SHALL HAVE FIRST PRIORITY, UTILITY EASEMENTS SHALL HAVE SECOND PRIORITY, ACCESS EASEMENTS SHALL HAVE THIRD PRIORITY, AND ALL OTHER EASEMENTS SHALL BE SUBORDINATE TO THESE WITH THEIR PRIORITIES BEING DETERMINED BY USE RIGHTS GRANTED.
2. BUILDING SETBACK LINES SHALL BE AS REQUIRED BY CURRENT TOWN OF JUNO BEACH ZONING REGULATIONS.
3. NO BUILDINGS OR ANY KIND OF CONSTRUCTION OR TREES OR SHRUBS SHALL BE PLACED ON AN EASEMENT WITHOUT PRIOR WRITTEN CONSENT OF ALL EASEMENT BENEFICIARIES AND ALL APPLICABLE COUNTY APPROVALS OR PERMITS AS REQUIRED FOR SUCH ENCROACHMENTS.
4. APPROVAL OF LANDSCAPING ON UTILITY EASEMENT, (EXCLUDING WATER AND SEWER) SHALL ONLY BE WITH APPROVAL OF ALL UTILITIES OCCUPYING SAID EASEMENT.
5. BEARINGS SHOWN HEREON ARE RELATIVE TO A GRID BEARING OF S87°54'11"E, ALONG THE NORTH LINE OF SECTION 28, TOWNSHIP 41 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, RELATIVE TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, TRANSVERSE MERCATOR PROJECTION, NORTH AMERICAN DATUM OF 1983 (1990 ADJUSTMENT), AS PUBLISHED BY PALM BEACH COUNTY, FLORIDA.
6. "NOTICE" THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF PALM BEACH COUNTY.
7. LINES INTERSECTING CURVES ARE NON-RADIAL, UNLESS SHOWN OTHERWISE.
8. CROSSHATCHING ON SHEET 3 REPRESENTS, THE PALM BEACH COUNTY ACCESS EASEMENT, AS RECORDED IN OFFICIAL RECORDS BOOK \_\_\_\_\_, PAGE \_\_\_\_\_ OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

THE DUNES AT JUNO BEACH  
HOMEOWNERS ASSOCIATION, INC.





# DUNES AT JUNO BEACH

BEING A REPLAT OF A PORTION OF BLOCK 11 AND BLOCK 12, COCOANUT AVENUE, OLEANDER AVENUE AND PALM AVENUE,  
NEW PALM BEACH HEIGHTS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN  
PLAT BOOK 6, PAGE 73 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA,  
LYING IN SECTION 28, TOWNSHIP 41 SOUTH, RANGE 43 EAST,  
TOWN OF JUNO BEACH, PALM BEACH COUNTY, FLORIDA.

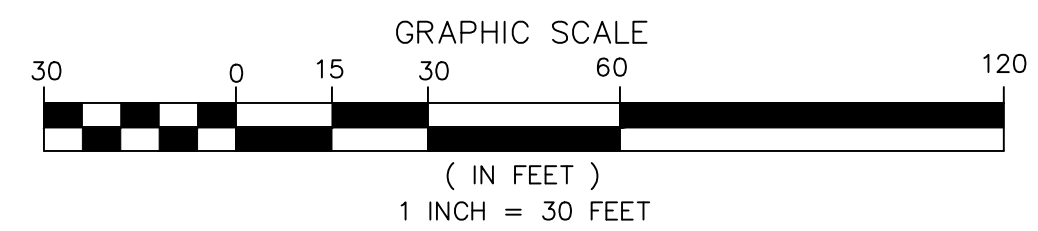
THIS INSTRUMENT PREPARED BY  
DAVID P. LINDLEY  
OF  
**CAULFIELD & WHEELER, INC.**  
SURVEYORS - ENGINEERS - PLANNERS  
7900 GLADES ROAD, SUITE 100  
BOCA RATON, FLORIDA 33434 - (561)392-1991  
JUNE - 2024

**SHEET 3 OF 4**

### LEGEND/ABBREVIATIONS

- P.O.B. - POINT OF BEGINNING
- CL - CENTERLINE
- Δ - DELTA (CENTRAL ANGLE)
- L - ARC LENGTH
- R - RADIUS
- LB - LICENSED BUSINESS
- O.R.B. - OFFICIAL RECORD BOOK
- P.B. - PLAT BOOK
- PBC - PALM BEACH COUNTY
- PG - PAGE
- SF - SQUARE FEET
- FPL - FLORIDA POWER & LIGHT COMPANY
- UE - UTILITY EASEMENT
- FDOTSW - FLORIDA DEPARTMENT OF TRANSPORTATION
- SSE - SAFE SIGHT EASEMENT
- LBE - LANDSCAPE BUFFER EASEMENT
- PSWE - PUBLIC SIDEWALK EASEMENT
- LRDUE - LOXAHATCHEE RIVER DISTRICT UTILITY EASEMENT
- R/W - RIGHT-OF-WAY
- E - EASTING (WHEN USED WITH COORDINATES)
- N - NORTHING (WHEN USED WITH COORDINATES)
- 28-41-43 - SECTION 28, TOWNSHIP 41 SOUTH, RANGE 43 EAST
- R/W - RIGHT-OF-WAY
- SET PCP - INDICATES PERMANENT CONTROL POINT NAIL AND DISK STAMPED LB3591
- PRM ■ - DENOTES SET PERMANENT REFERENCE MONUMENT 5/8" IRON ROD AND CAP STAMPED "C&W PRM LB#3591" UNLESS OTHERWISE NOTED
- PRM ▲ - DENOTES SET PERMANENT REFERENCE MONUMENT NAIL AND DISK STAMPED "PRM" LB 3591

**NOTES**  
**COORDINATES, BEARINGS AND DISTANCES**  
 COORDINATES SHOWN ARE GRID  
 DATUM = NAD 83 1990 ADJUSTMENT  
 ZONE = FLORIDA EAST  
 LINEAR UNIT = U.S. SURVEY FOOT  
 COORDINATE SYSTEM 1983 STATE PLANE  
 TRANSVERSE MERCATOR PROJECTION  
 ALL DISTANCES ARE GROUND UNLESS OTHERWISE NOTED  
 SCALE FACTOR = 1.000048198  
 GROUND DISTANCE X SCALE FACTOR = GRID DISTANCE  
 BEARINGS AS SHOWN HEREON ARE GRID DATUM,  
 NAD 83 1990 ADJUSTMENT, FLORIDA EAST ZONE.



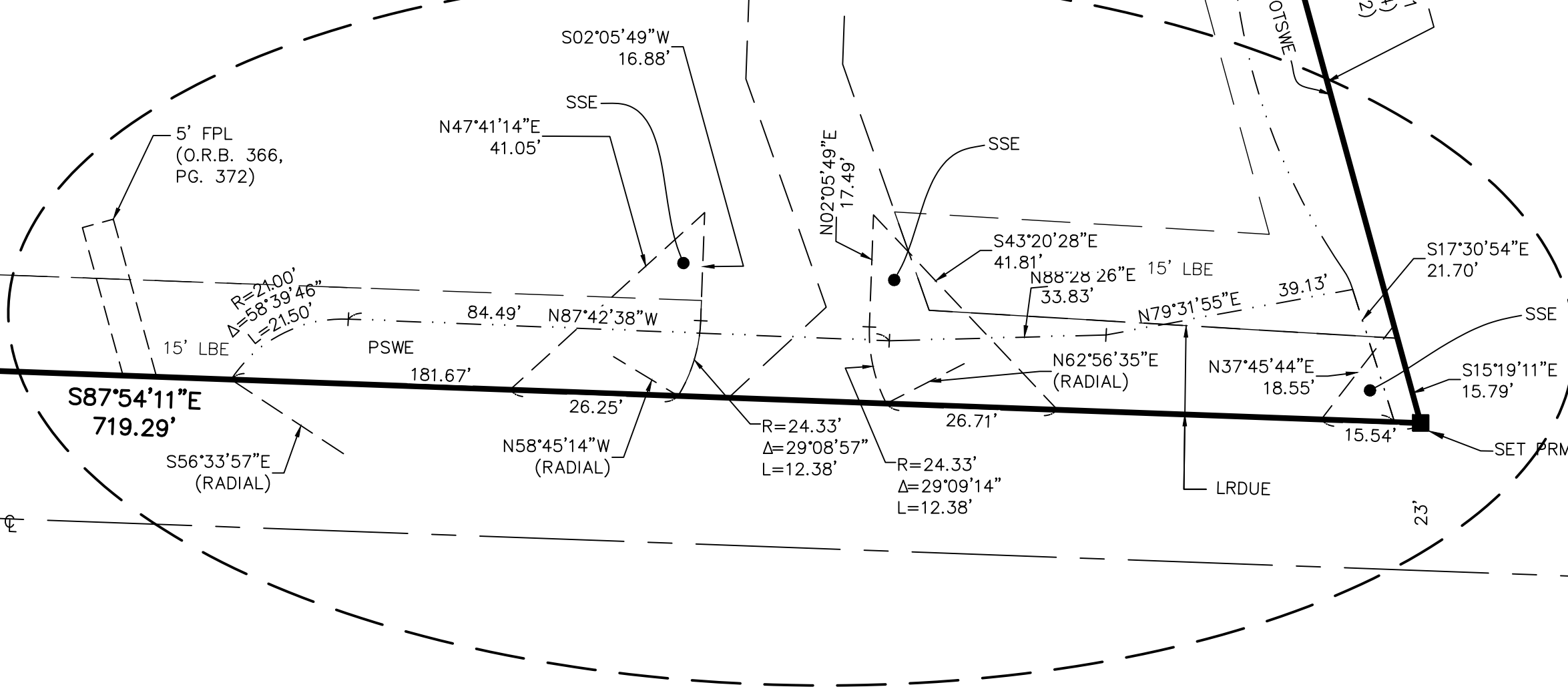
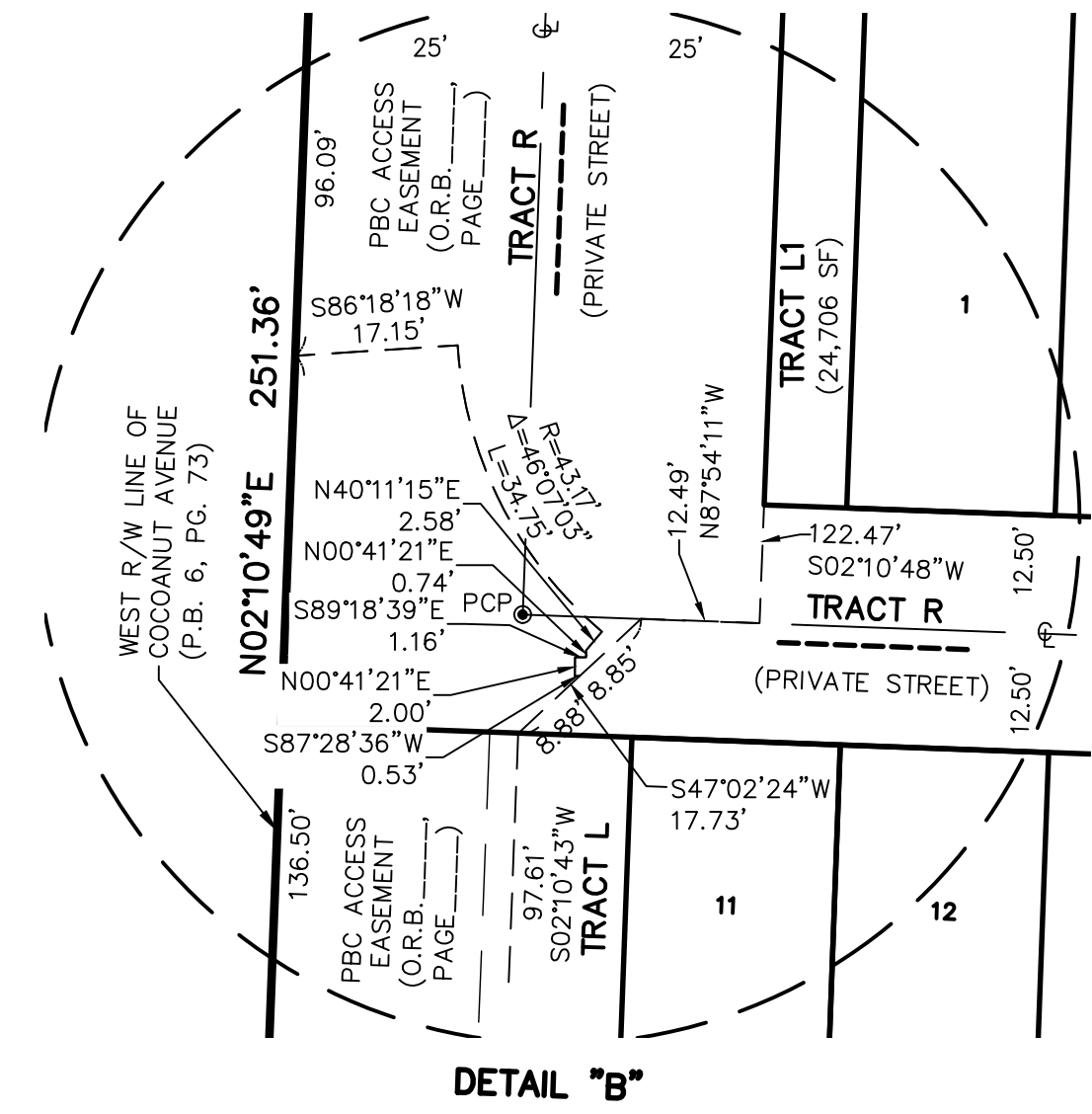
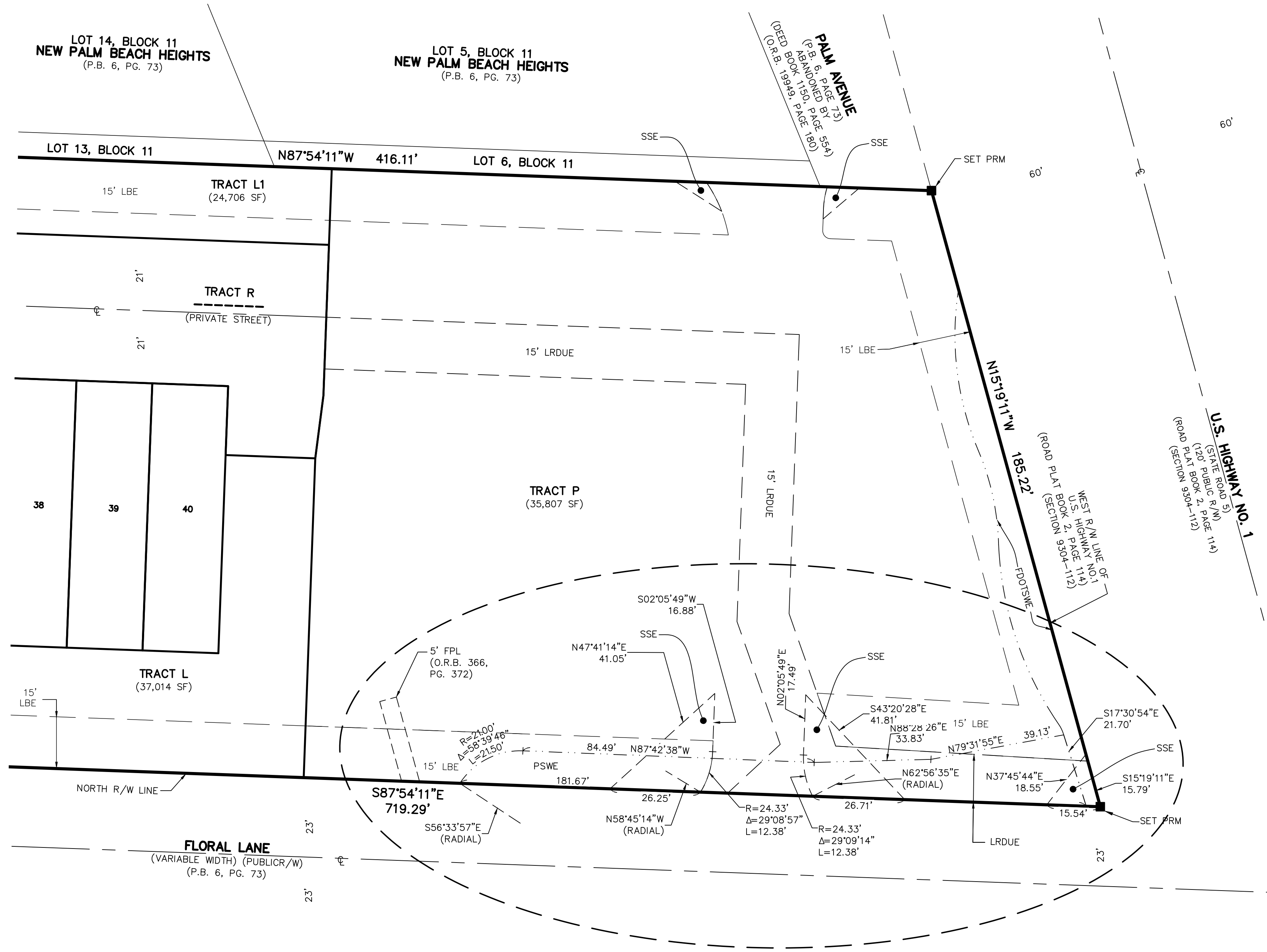
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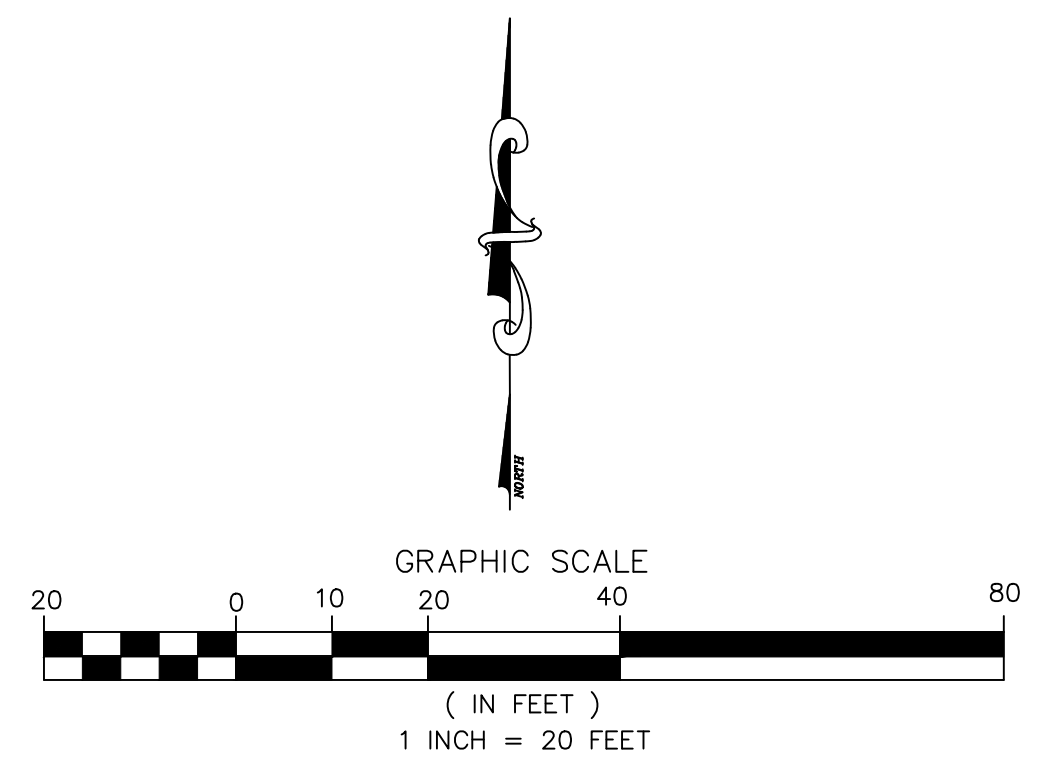
SHEET 4 OF 4

**NOTES**  
COORDINATES, BEARINGS AND DISTANCES  
COORDINATES SHOWN ARE GRID  
DATUM = NAD 83 1990 ADJUSTMENT  
ZONE = FLORIDA EAST  
LINEAR UNIT = U.S. SURVEY FOOT  
COORDINATE SYSTEM 1983 STATE PLANE  
TRANSVERSE MERCATOR PROJECTION  
ALL DISTANCES ARE GROUND UNLESS OTHERWISE NOTED  
SCALE FACTOR = 1.000048198  
GROUND DISTANCE X SCALE FACTOR = GRID DISTANCE  
BEARINGS AS SHOWN HEREON ARE GRID DATUM,  
NAD 83 1990 ADJUSTMENT, FLORIDA EAST ZONE.



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- PRM ▲ - DENOTES SET PERMANENT REFERENCE MONUMENT NAIL AND DISC STAMPED "PRM" LB 3591



PRELIMINARY ENGINEERING PLANS  
FOR

# The Dunes at Juno Beach

## Town of Juno Beach, Florida

### LEGAL DESCRIPTION

DESCRIPTION

A PARCEL OF LAND IN SECTION 28, TOWNSHIP 41 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THAT PORTION OF PALM AVENUE LYING BETWEEN THE SOUTH LINE OF OLIVE STREET AND THE NORTH LINE OF FLORAL STREET; AS SHOWN ON PLAT OF NEW PALM BEACH HEIGHTS, AS RECORDED IN PLAT BOOK 6, PAGE 73, IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, EXCEPTING THEREFROM THE PART THEREOF WHICH LIES WITHIN 60 FEET ON EACH SIDE OF, MEASURED AT RIGHT ANGLES TO, THE CENTER LINE OF SURVEY OF STATE ROAD NO.5, SECTION 9304-112, AS SHOWN ON RIGHT-OF-WAY MAP RECORDED IN ROAD PLAT BOOK 2, PAGE 114, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; THAT CERTAIN PORTION OF A STREET DESIGNATED AS OLEANDER AVENUE IN NEW PALM BEACH HEIGHTS, WHICH PORTION OF SAID STREET IS BOUNDED BY LOTS 10 THROUGH 18, BLOCK 11, ON ITS EASTERLY SIDE, BY LOTS 1 THROUGH 9, BLOCK 12, ON ITS WESTERLY SIDE, BY THE SOUTH LINE OF OLIVE STREET ON THE NORTH, AND BY THE NORTH LINE OF FLORAL STREET ON THE SOUTH ALL AS SHOWN ON PLAT OF NEW PALM BEACH HEIGHTS ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, RECORDED IN PLAT BOOK 6, PAGE 73; THOSE PARTS OF LOTS 11 TO 18, INCLUSIVE, IN BLOCK 7, LYING WESTERLY OF THE WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO.5, AS SHOWN ON RIGHT-OF-WAY MAP RECORDED IN ROAD PLAT BOOK 2, PAGE 114, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; LOTS 1 TO 18 INCLUSIVE, IN BLOCK 11; AND LOTS 1 TO 14, INCLUSIVE IN BLOCK 12, ALL IN NEW PALM BEACH HEIGHTS ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, RECORDED IN PLAT BOOK 6, PAGE 73.

LESS AND EXCEPT THE FOLLOWING,

THAT PORTION OF PALM AVENUE LYING BETWEEN THE SOUTH LINE OF OLIVE STREET AND THE NORTH LINE OF FLORAL STREET, AS SHOWN ON PLAT OF NEW PALM BEACH HEIGHTS, AS RECORDED IN PLAT BOOK 6, PAGE 73, IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, EXCEPTING THEREFROM THE PART THEREOF WHICH LIES WITHIN 60 FEET ON EACH SIDE OF, AS MEASURED AT RIGHT ANGLES TO, THE CENTER LINE OF SURVEY OF STATE ROAD NO. 5, SECTION 9304-112, AS SHOWN ON RIGHT-OF-WAY MAP RECORDED IN ROAD PLAT BOOK 2, PAGE 114, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; THAT CERTAIN PORTION OF A STREET DESIGNATED AS OLEANDER AVENUE IN NEW PALM BEACH HEIGHTS, WHICH PORTION OF SAID STREET IS BOUNDED BY LOTS 1 THROUGH 9, BLOCK 12, ON ITS WESTERLY SIDE, BY THE SOUTH LINE OF OLIVE STREET ON THE NORTH, AND BY THE NORTH LINE OF FLORAL STREET ON THE SOUTH, ALL AS SHOWN ON PLAT OF NEW PALM BEACH HEIGHTS ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, RECORDED IN PLAT BOOK 6, PAGE 73; THOSE PARTS OF LOTS 11 TO 18, INCLUSIVE, IN BLOCK 7, LYING WESTERLY OF THE WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 5, AS SHOWN ON RIGHT-OF-WAY MAP RECORDED IN ROAD PLAT BOOK 2, PAGE 114, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; LOTS 1 TO 18, INCLUSIVE, IN BLOCK 12; ALL IN NEW PALM BEACH HEIGHTS ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, RECORDED IN PLAT BOOK 6, PAGE 73.

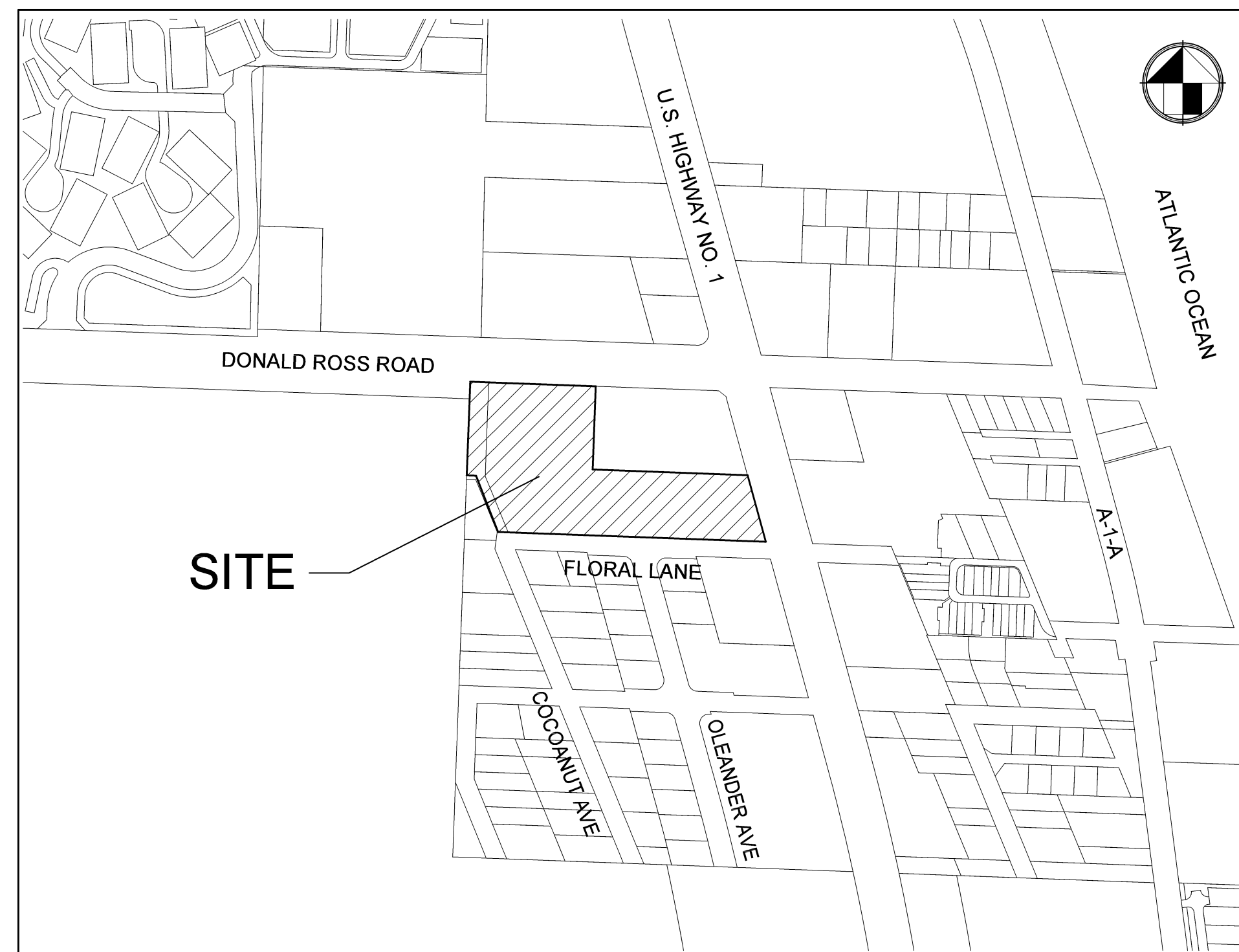
LESS THAT PORTION TAKEN BY ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 9635, PAGE 393, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

SAID LANDS SITUATE IN THE TOWN OF JUNO BEACH, PALM BEACH COUNTY, FLORIDA AND CONTAINING 4.32 ACRES, MORE OR LESS.

SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS, COVENANTS, AND RIGHTS-OF-WAY OF RECORD.

### OWNER:

Pulte Home Group, LLC  
1475 Centrepark Boulevard, Suite 140  
West palm Beach, Florida 33401



**LOCATION MAP**  
S 28, T 41S, R 43E  
NOT TO SCALE

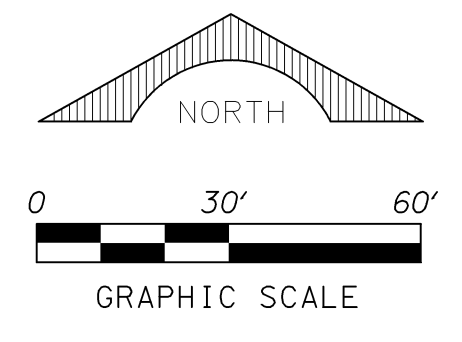
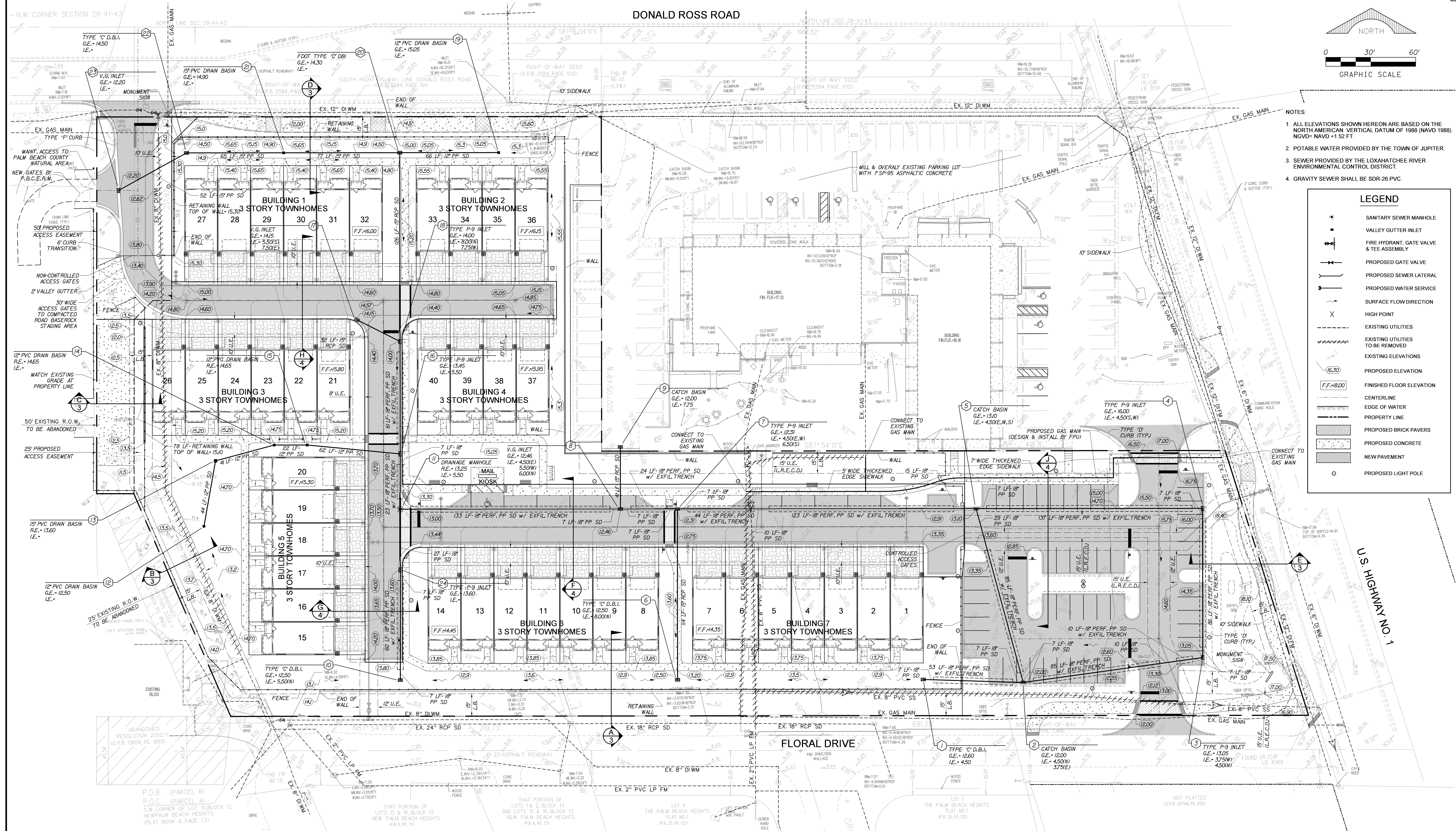
### INDEX OF SHEETS

<u>SHEET DESCRIPTION</u>	<u>SHEET NO.</u>
PRELIMINARY PAVING, GRADING & DRAINAGE PLAN .....	1
PRELIMINARY WATER & SEWER PLAN .....	2
CONSTRUCTION DETAILS .....	3 - 4
FIRE TRUCK EXHIBIT .....	5
CONSTRUCTION PERIOD STORMWATER POLLUTION PREVENTION PLAN .....	6
CONSTRUCTION PERIOD STORMWATER POLLUTION PREVENTION DETAILS .....	7
DEMOLITION PLAN .....	8



947 CLINT MOORE ROAD • BOCA RATON, FLORIDA 33487  
TEL: (561) 241-6455 • FAX: (561) 241-5182





- NOTES**
1. ALL ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988) NGVD - NAVD +1.52 FT.
  2. POTABLE WATER PROVIDED BY THE TOWN OF JUNIPER.
  3. SEWER PROVIDED BY THE LOKAHATCHEE RIVER ENVIRONMENTAL CONTROL DISTRICT.
  4. GRAVITY SEWER SHALL BE SDR-26 PVC.

**LEGEND**

	SANITARY SEWER MANHOLE
	VALLEY GUTTER INLET
	FIRE HYDRANT, GATE VALVE & TEE ASSEMBLY
	PROPOSED GATE VALVE
	PROPOSED SEWER LATERAL
	PROPOSED WATER SERVICE
	SURFACE FLOW DIRECTION
	HIGH POINT
	EXISTING UTILITIES
	EXISTING UTILITIES TO BE REMOVED
	EXISTING ELEVATIONS
	PROPOSED ELEVATION
	FINISHED FLOOR ELEVATION
	CENTERLINE
	EDGE OF WATER
	PROPERTY LINE
	PROPOSED BRICK PAVERS
	PROPOSED CONCRETE
	NEW PAVEMENT
	PROPOSED LIGHT POLE

**SCHNARS**  
ENGINEERING CORPORATION

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BOCA RATON, FLORIDA 33487

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FAX: (561) 241-5182

OWNER:  
**PULTE HOME GROUP, LLC**  
1475 CENTRE PARK BOULEVARD, SUITE 140  
WEST PALM BEACH, FLORIDA 33401

PROJECT:  
**THE DUNES AT JUNO BEACH**  
TOWN OF JUNO BEACH  
FLORIDA

TASK:  
**PRELIMINARY  
PAVING, GRADING & DRAINAGE PLAN**

ORIGINAL: OCTOBER 2023  
REVISIONS:  
1 2/29/24 SITE PLAN REVISION  
2 3/6/24 REV. DRAINAGE FOR LANDSCAPE  
3 3/27/24 SITE PLAN REVISION  
4 4/29/24 SFVMD  
5 5/20/24 TOWN OF JUNO BEACH

6 6/14/24 LREC COMMENTS  
7 7/8/24 ERM COMMENTS

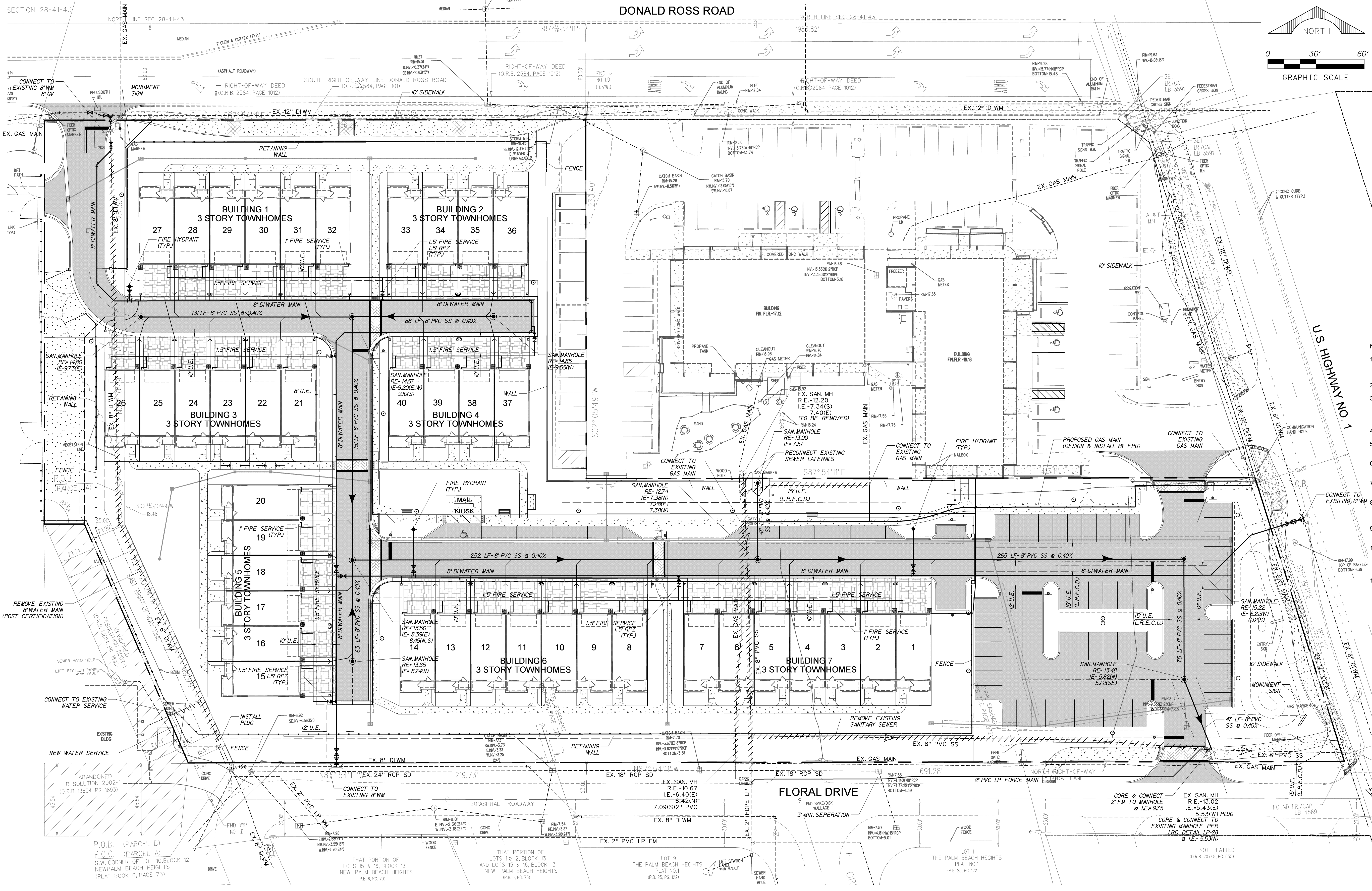
JOB NO. 23108  
DRAWN RAD  
DESIGNED JTS  
CHECKED JWM  
Q.C. JTS

JEFFREY T. SCHNARS, P.E.  
Civil Engineer  
Florida Registration No. 46697  
(FOR THE FIRM)

SHEET 1 of 8

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### LEGEND

- SANITARY SEWER MANHOLE
- VALLEY GUTTER INLET
- FIRE HYDRANT, GATE VALVE & TEE ASSEMBLY
- PROPOSED GATE VALVE
- PROPOSED SEWER LATERAL
- SURFACE FLOW SERVICE
- HIGH POINT
- EXISTING UTILITIES
- EXISTING UTILITIES TO BE REMOVED
- EXISTING ELEVATIONS
- PROPOSED ELEVATION
- FINISHED FLOOR ELEVATION
- CENTERLINE
- EDGE OF WATER
- PROPERTY LINE
- PROPOSED BRICK PAVERS
- PROPOSED CONCRETE
- NEW PAVEMENT
- PROPOSED LIGHT POLE

- ### NOTES:
- 1 ALL ELEVATIONS SHOWN HEREIN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988) NGVD - NAVD +1.52 FT.
  - 2 POTABLE WATER PROVIDED BY THE TOWN OF JUNIPER.
  - 3 SEWER TO BE CONSTRUCTED PER THE LATEST EDITION OF THE LOXAHATCHEE RIVER ENVIRONMENTAL CONTROL DISTRICT MANUAL OF MINIMUM CONSTRUCTION STANDARDS AND TECHNICAL SPECIFICATIONS.
  - 4 GRAVITY SEWER SHALL BE SDR-26 PVC.
  - 5 3 STORY TOWNHOME UNITS SHALL BE PROTECTED WITH A NFPA 13 D FIRE SPRINKLER SYSTEM.
  - 6 SINGLE WATER SERVICES SHALL HAVE A 1.5" WATER SERVICE LINE AND 1" METER.
  - 7 DOUBLE WATER SERVICES SHALL HAVE A 2" WATER SERVICE LINE AND 1" METERS.
  - 8 DETAILED CONSTRUCTION DRAWINGS WILL BE REQUIRED TO BE SUBMITTED AFTER A TOWN OF JUNIPER WATER SERVICE AGREEMENT AND FEES HAVE BEEN PAID.
  - 9 WATER CONCURRENCY PAYMENT IS DUE PRIOR TO PUBLIC HEARING AND/OR APPROVAL OF SITE PLAN.
  - 10 WATER SERVICE AGREEMENT AND PAYMENT OF CONNECTION FEES WILL BE DUE WITHIN 60 DAYS OF SITE PLAN APPROVAL OR PRIOR TO THE ISSUANCE OF PERMITS, WHICHEVER OCCURS FIRST.
  - 11 LANDSCAPING SHALL NOT BE INSTALLED LESS THAN 5' FROM THE OUTSIDE EDGE OF WATER MAINS AND ROOT BARRIER IS REQUIRED. LANDSCAPING GREATER THAN 10' FROM THE OUTSIDE EDGE OF THE WATER MAIN WILL NOT REQUIRE A ROOT BARRIER. ROOT BARRIER SHALL BE A MINIMUM OF 42" DEEP.

# SCHNARS

ENGINEERING CORPORATION

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OWNER:

**PULTE HOME GROUP, LLC**

1475 CENTREPARK BOULEVARD, SUITE 140

WEST PALM BEACH, FLORIDA 33401

PROJECT:

**THE DUNES AT JUNO BEACH**

TOWN OF JUNO BEACH

FLORIDA

TASK:

**PRELIMINARY**

**WATER & SEWER PLAN**

ORIGINAL: OCTOBER 2023

REVISIONS:

1	1/2/24 REV. EAST W.M. CONNECTION, ADD NOTES 5 THRU 7.
2	1/3/24 ADD NOTES 8 THRU 10.
3	2/29/24 ADD FIRE SERVICES & SITE PLAN REVISIONS
4	3/27/24 SITE PLAN REVISION
5	5/20/24 TOWN OF JUNO BEACH

6	6/14/24 LREC COMMENTS
7	7/8/24 LREC COMMENTS
8	
9	
10	
11	
12	

JOB NO. 23108

DRAWN RAD

DESIGNED JTS

CHECKED JWM

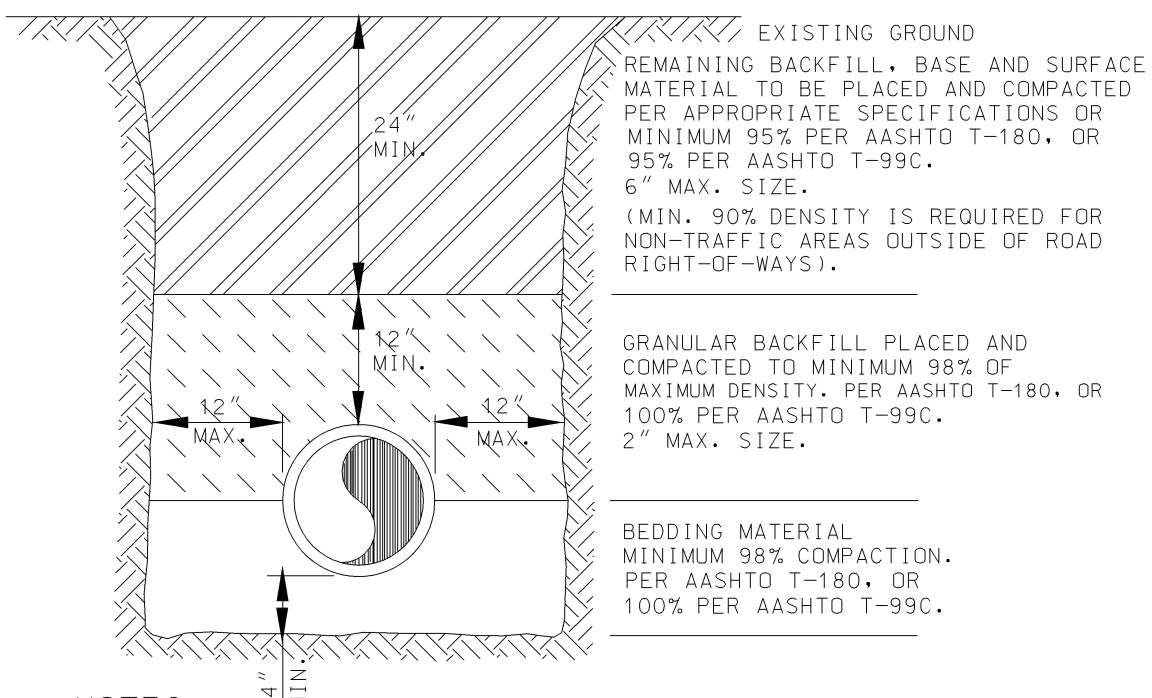
Q.C. JTS

SHEET 2 of 8

Jeffrey T. Schnars, P.E.  
Civil Engineer  
Florida Registration No. 46697  
(FOR THE FIRM)

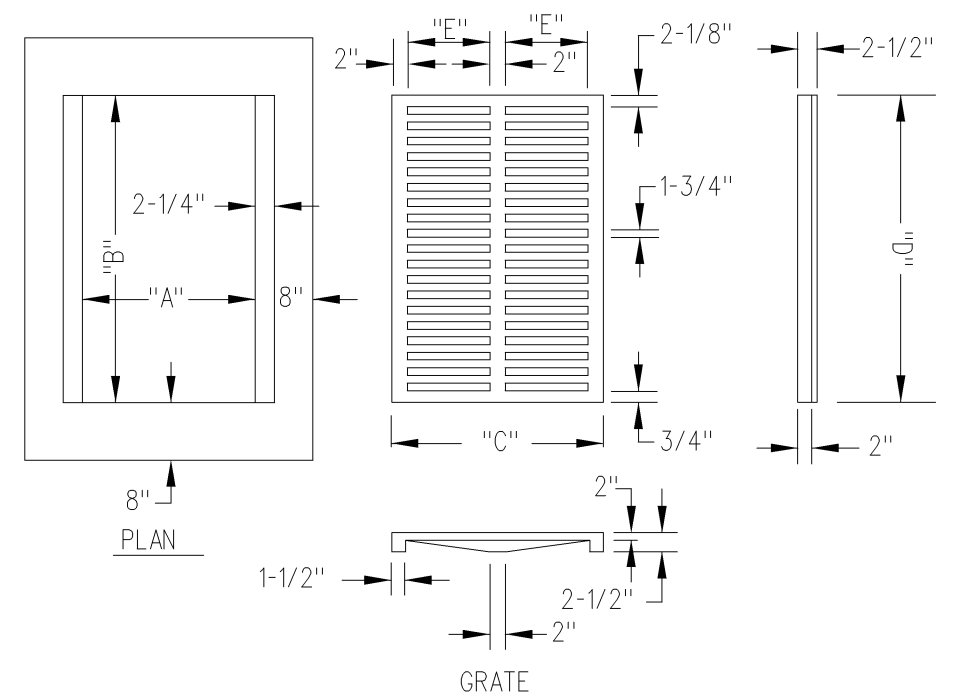
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- NOTES:**
- BEDDING SHALL CONSIST OF IN-SITU GRANULAR MATERIAL OR WASHED AND GRADED LIMEROCK 3/8"-7/8" SIZING, ONLY AT THE DIRECTION OF THE ENGINEER. UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGER ROCKS SHALL BE REMOVED.
  - THE PIPE SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH WITH APPROPRIATE COMPACTION UNDER THE PIPE HAUNCHES.
  - THE PIPE SHALL BE PLACED IN A DRY TRENCH.
  - BACKFILL SHALL BE FREE OF UNSUITABLE MATERIAL SUCH AS LARGE ROCK, MULCH AND DEBRIS.
  - DENSITY TESTS ARE REQUIRED IN 1 FOOT ( 8 INCHES IN BROWARD COUNTY 40" CANAL R/W) LIFTS ABOVE THE PIPE AT INTERVALS OF 150" MAXIMUM.
  - THE DEVELOPER/CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE TRENCH SAFETY LAWS AND REGULATIONS.
  - SEE SEPARATE DETAIL FOR "PAVEMENT REPLACEMENT/PIPE INSTALLATION UNDER EXISTING ROADWAY - OPEN CUT."
  - THE AFFECTED AREA SHALL BE RESTORED TO EQUAL OR BETTER CONDITION AS REQUIRED.

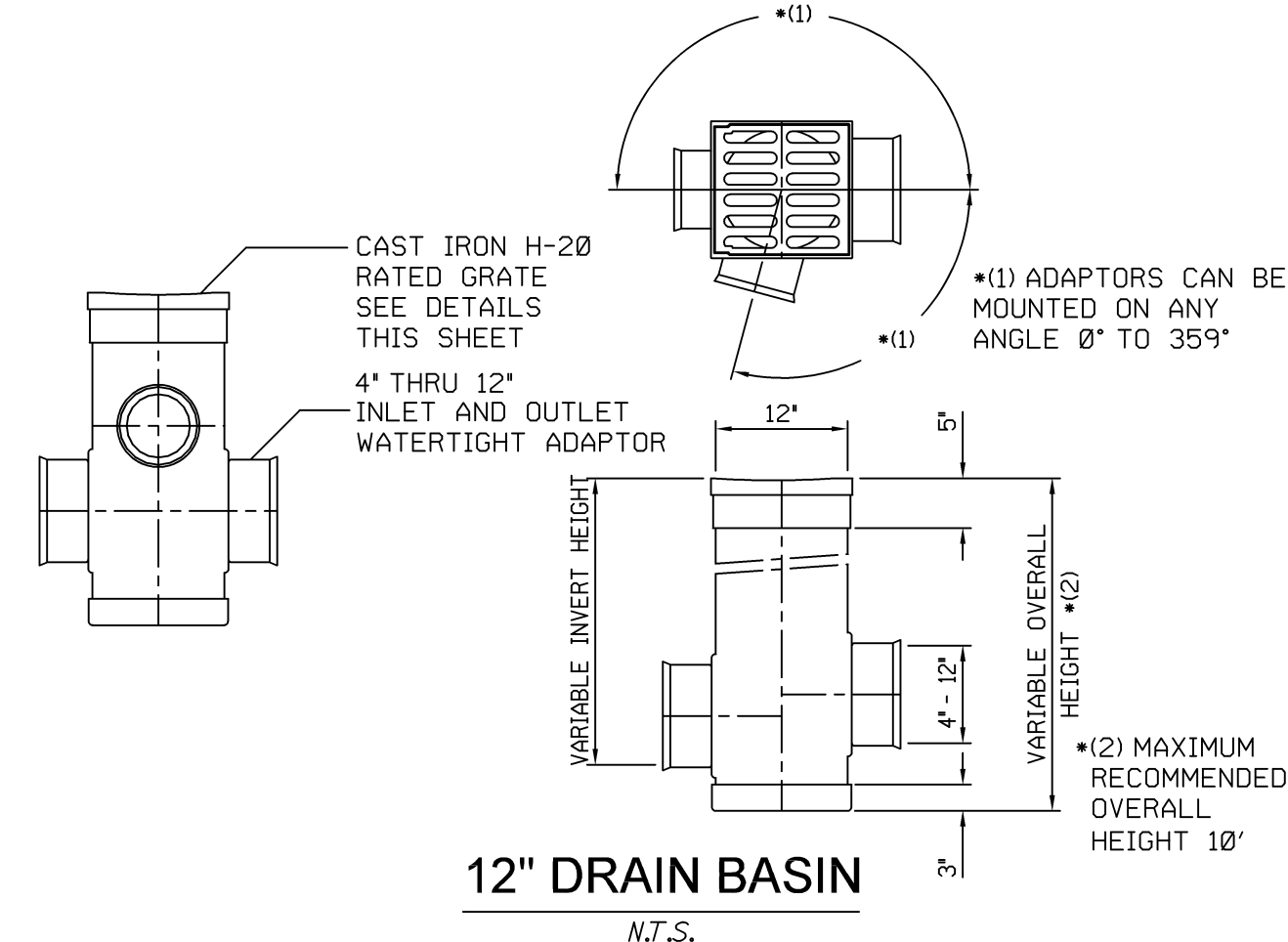
**TYPICAL TRENCH DETAIL**  
N.T.S.



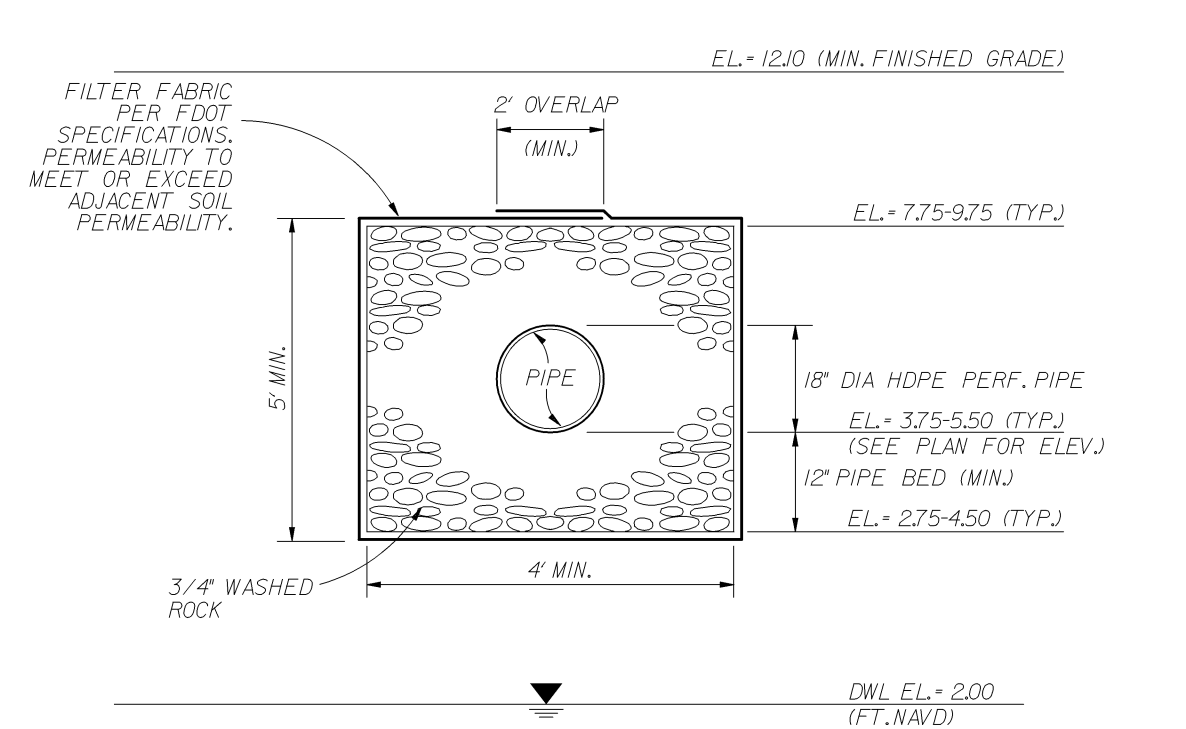
**DITCH BOTTOM INLET DETAIL**  
N.T.S.

TYPE INLET	"A"	"B"	"C"	"D"	"E"	MAX. SIZE R.C.P.
"C"	2'-0"	3'-1"	2'-4"	3'-0"	1"	18"
"E"	3'-0"	4'-6"	3'-4"	4'-4"	1'-5"	30"
"E MOD"	3'-0"	4'-6"	3'-4"	4'-4"	1'-5"	48"

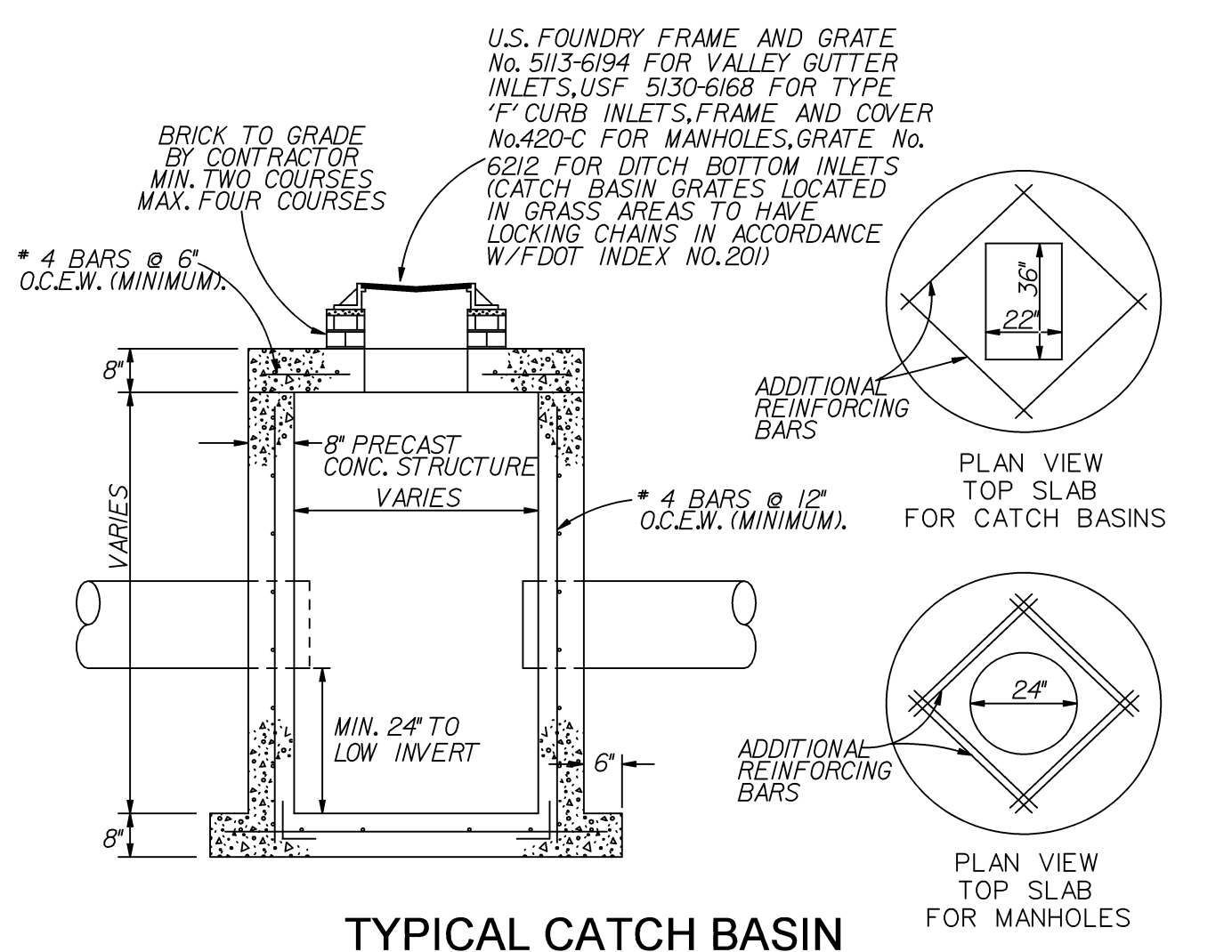
- GENERAL NOTES**
- BEVELED EDGES: ALL EXPOSED CORNERS AND EDGES TO BE CHAMFERED 3/4".
- FOUNDATION MATERIAL: WHERE MATERIAL UNSATISFACTORY FOR FOUNDATION IS ENCOUNTERED AT FLOW LINE OMIT FLOOR AND CARRY WALLS DOWN TO SATISFACTORY FOUNDATION BACKFILL TO FLOW LINE WITH CLEAN SAND.
- GRATES: CAST IRON GRATES IN ACCORDANCE WITH FLA. D.O.T. SPECS.
- INLET TYPES: INLETS ARE TO BE AS SHOWN HEREON. TYPE "E MOD" IS A TYPE "E" TURNED 90° TO RECEIVE R.C.P. UP TO 48" DIA. INLETS RECEIVING R.C.P. LARGER THAN 48" DIA. SHALL BE IN ACCORDANCE WITH FLA. D.O.T. STANDARDS.
- MATERIAL: INLET WALLS AND FOOTING MAY EITHER POURED-IN-PLACE 2500 LB. CONC. OR PRECAST CLASS "A" 3000 LB. CONC.
- ALL INLET CONSTRUCTION IS IN ACCORDANCE WITH THE CURRENT F.D.O.T. STANDARDS INDEX NO. 425.
- ALL INLET GRATES TO BE SECURED WITH A LOCKING CHAIN PER F.D.O.T. INDEX 425-001.



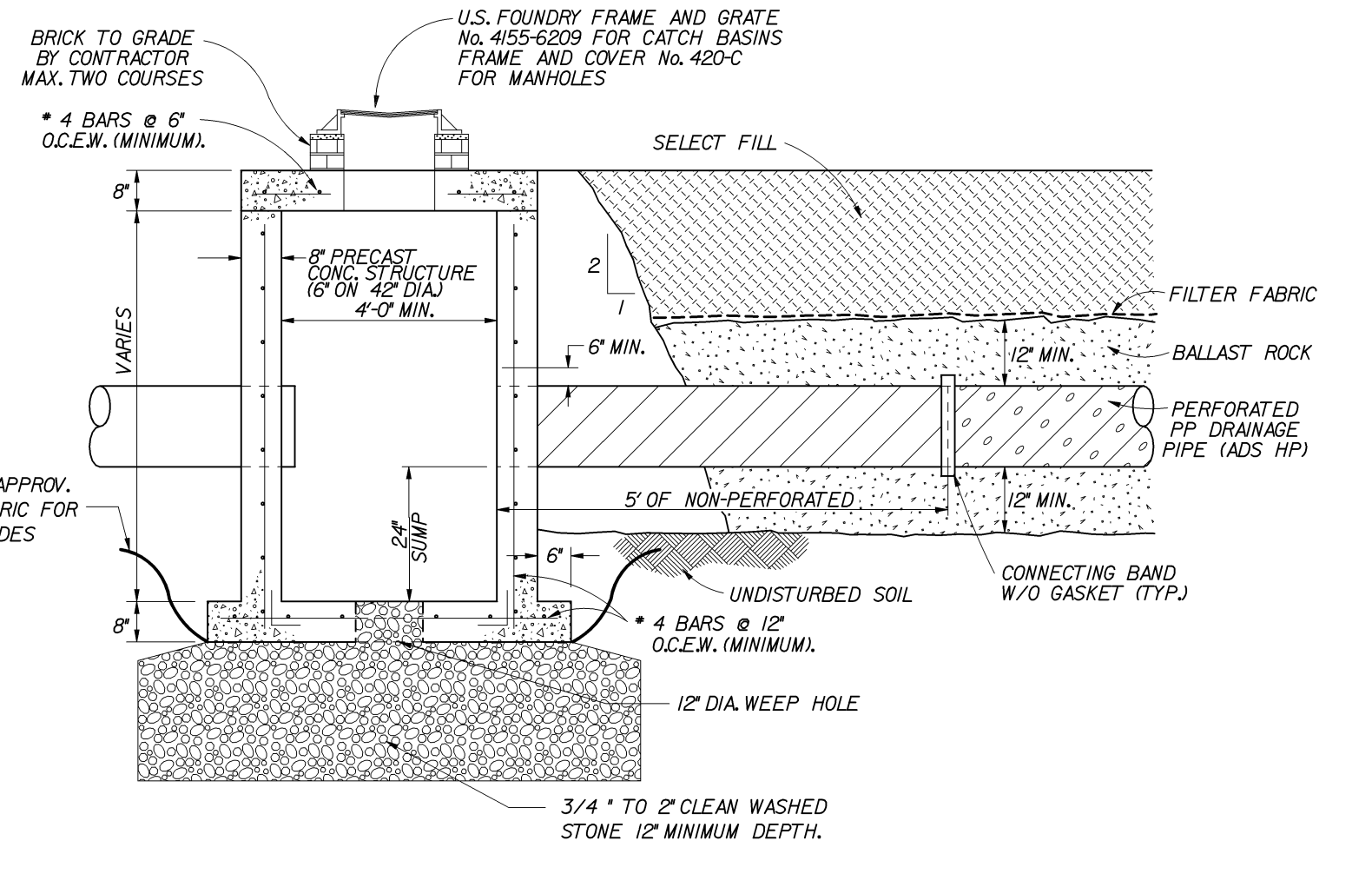
- NOTE: A 6" THICK, 18" WIDE CONCRETE COLLAR SHALL BE PLACED AROUND EACH GRATE
- NOTE: ALL ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.



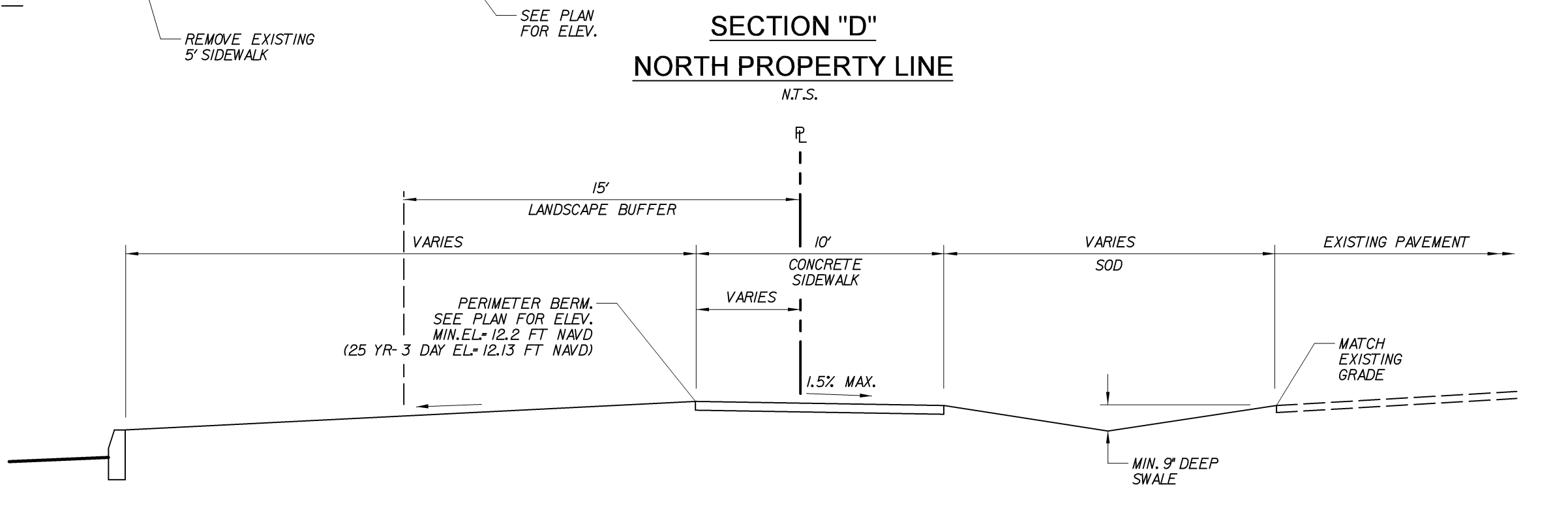
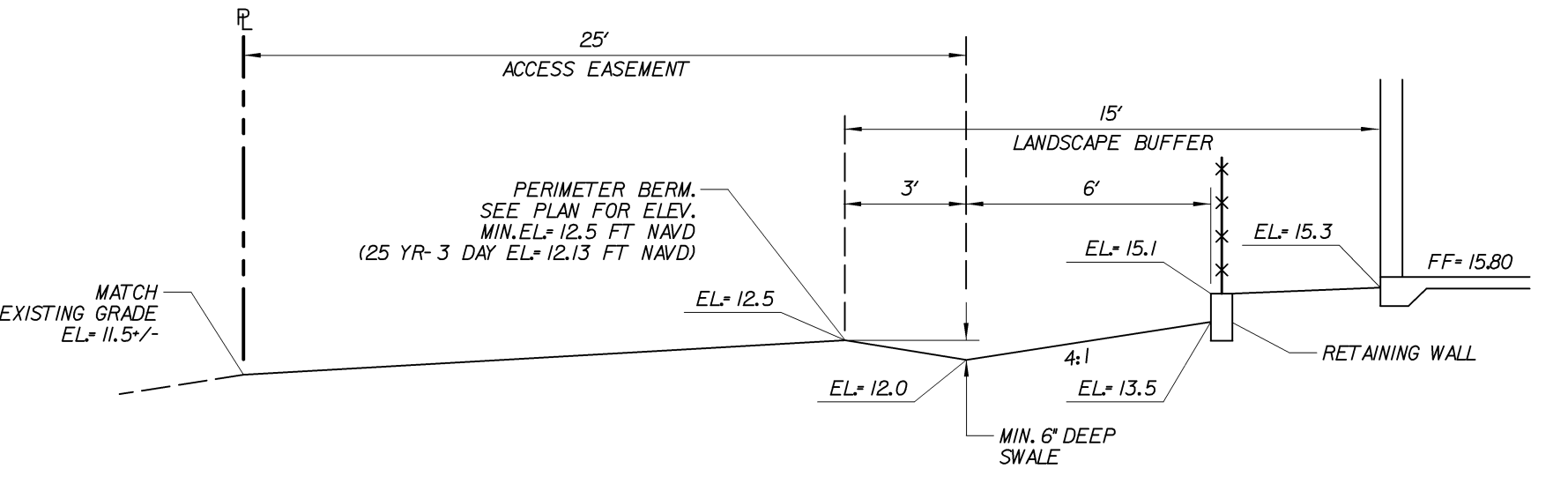
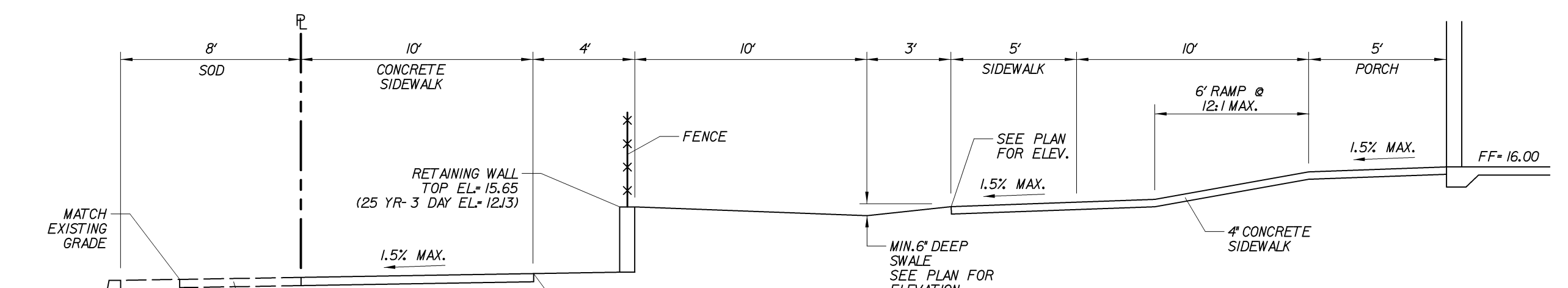
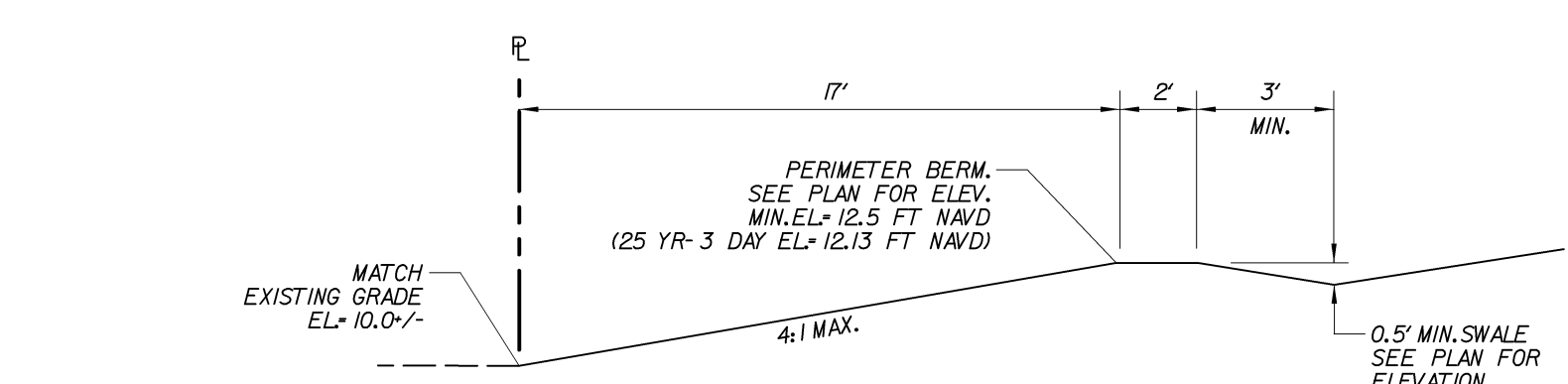
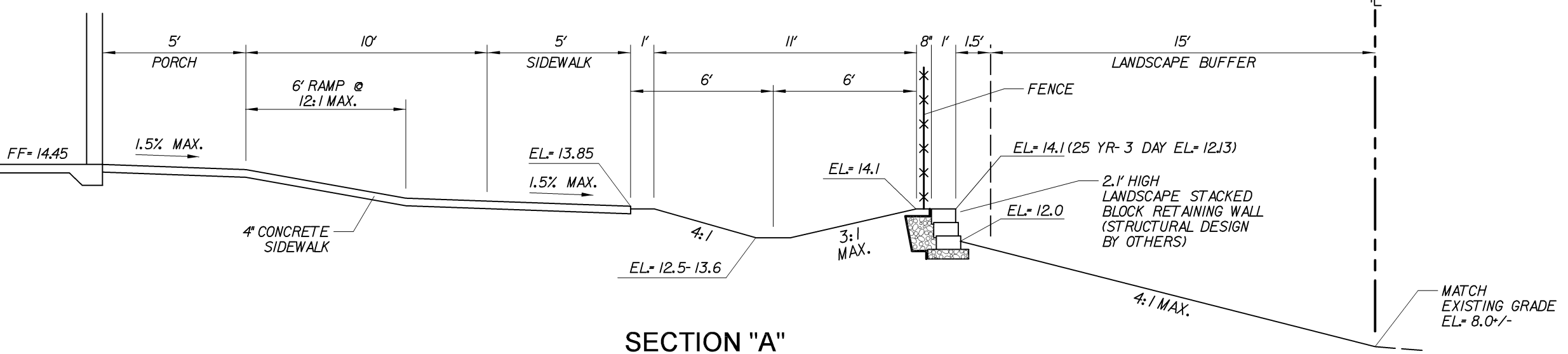
**EXFILTRATION TRENCH SECTION**  
N.T.S.



- NOTES:**
- ONLY ROUND STRUCTURES SHALL BE USED FOR CURB INLETS.  
ALL STRUCTURES SHALL COMPLY WITH FDOT STANDARD PLANS INDEX 425.



- NOTE: ALL CURB INLETS SHALL BE ROUND



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OWNER:  
**PULTE HOME GROUP, LLC**  
1475 CENTREPARK BOULEVARD, SUITE 140  
WEST PALM BEACH, FLORIDA 33401

PROJECT:  
**THE DUNES AT JUNO BEACH**  
TOWN OF JUNO BEACH  
FLORIDA

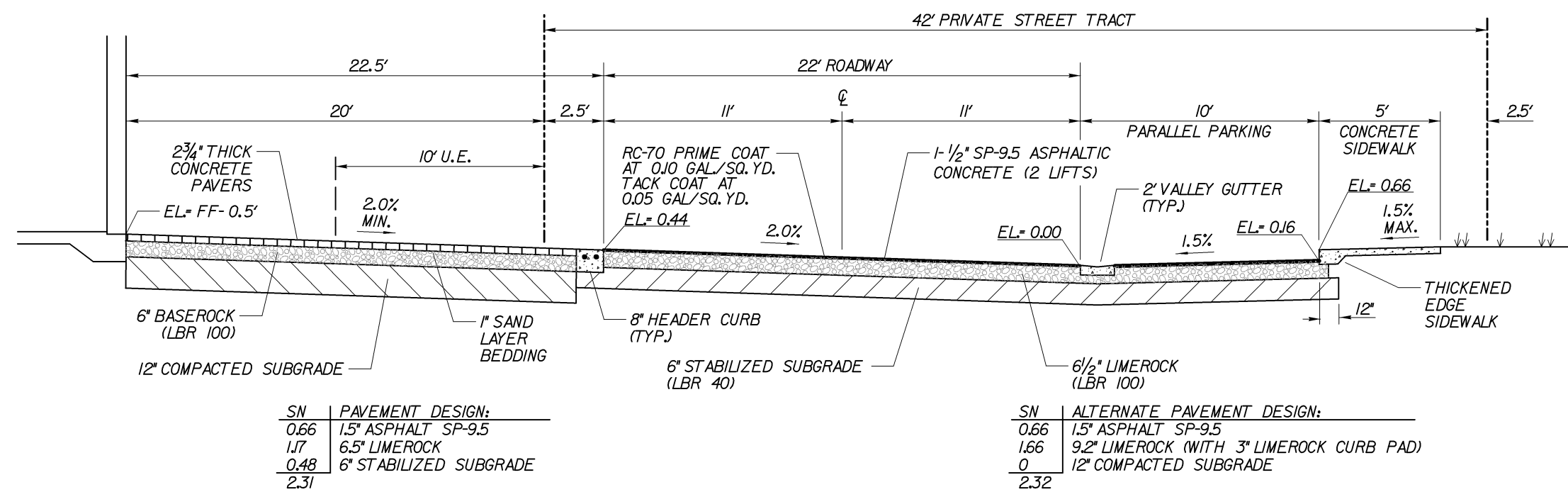
TASK:  
**CONSTRUCTION DETAILS**

ORIGINAL: OCTOBER 2023  
REVISIONS:  
1 2/22/24 ADD SECTION A  
2 3/6/24 REV. SECTION A  
3 4/29/24 SFWMD  
4 5/14/24 LREC COMMENTS  
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JOB NO. 23108  
DRAWN RAD  
DESIGNED JTS  
CHECKED JWM  
Q.C. JTS  
SHEET 3 OF 8





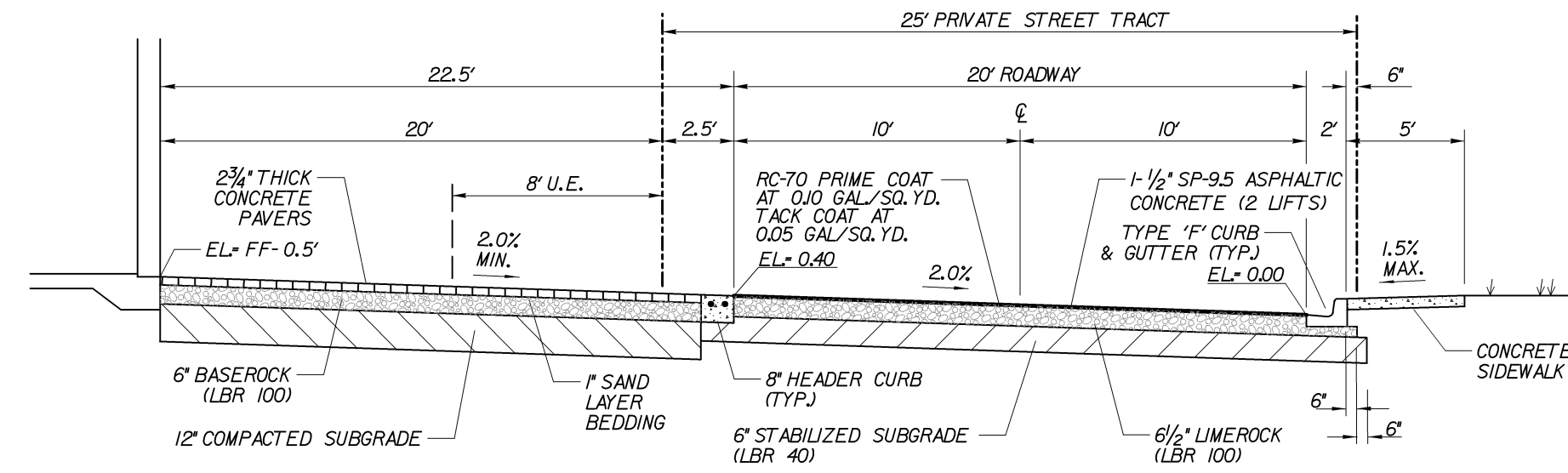
**SECTION "F"**  
N.T.S.

SN PAVEMENT DESIGN:

0.66	1.5" ASPHALT SP-9.5
1.17	6.5" LIMEROCK
0.48	6" STABILIZED SUBGRADE
2.31	

SN ALTERNATE PAVEMENT DESIGN:

0.66	1.5" ASPHALT SP-9.5
1.66	9.2" LIMEROCK (WITH 3" LIMEROCK CURB PAD)
0	12" COMPACTED SUBGRADE
2.32	



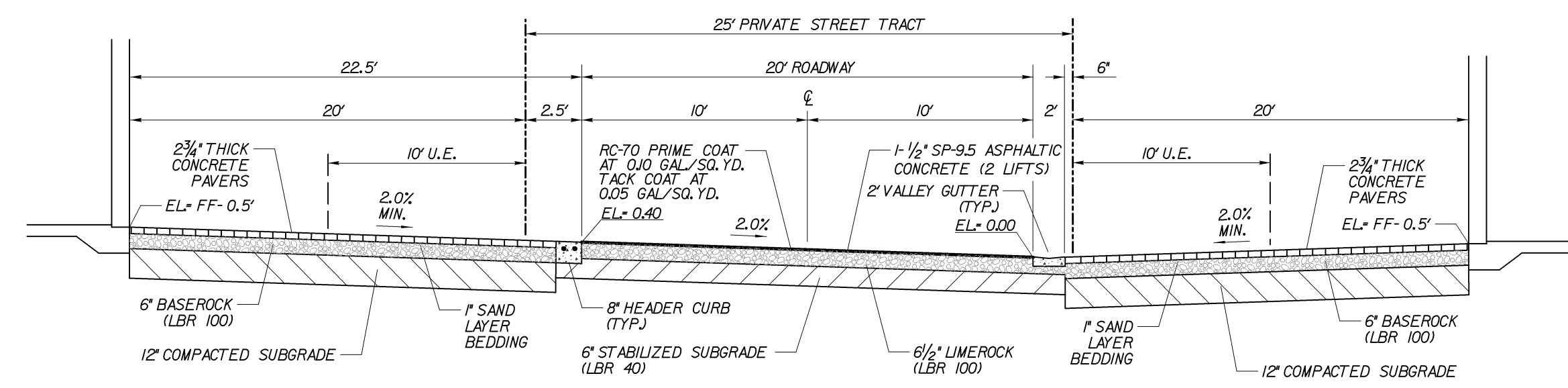
**SECTION "G"**  
N.T.S.

SN PAVEMENT DESIGN:

0.66	1.5" ASPHALT SP-9.5
1.17	6.5" LIMEROCK
0.48	6" STABILIZED SUBGRADE
2.31	

SN ALTERNATE PAVEMENT DESIGN:

0.66	1.5" ASPHALT SP-9.5
1.66	9.2" LIMEROCK (WITH 3" LIMEROCK CURB PAD)
0	12" COMPACTED SUBGRADE
2.32	



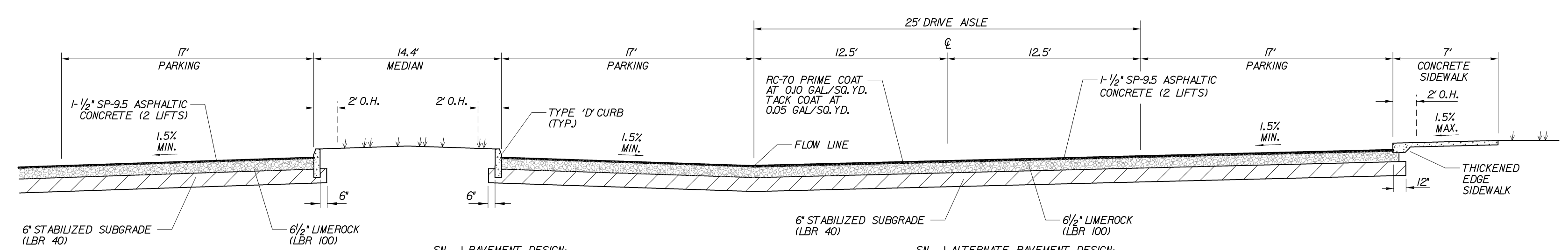
**SECTION "H"**  
N.T.S.

SN PAVEMENT DESIGN:

0.66	1.5" ASPHALT SP-9.5
1.17	6.5" LIMEROCK
0.48	6" STABILIZED SUBGRADE
2.31	

SN ALTERNATE PAVEMENT DESIGN:

0.66	1.5" ASPHALT SP-9.5
1.66	9.2" LIMEROCK (WITH 3" LIMEROCK CURB PAD)
0	12" COMPACTED SUBGRADE
2.32	



**SECTION "J"**  
N.T.S.

SN PAVEMENT DESIGN:

0.66	1.5" ASPHALT SP-9.5
1.17	6.5" LIMEROCK
0.48	6" STABILIZED SUBGRADE
2.31	

SN ALTERNATE PAVEMENT DESIGN:

0.66	1.5" ASPHALT SP-9.5
1.66	9.2" LIMEROCK (WITH 3" LIMEROCK CURB PAD)
0	12" COMPACTED SUBGRADE
2.32	

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PROJECT:  
**THE DUNES AT JUNO BEACH**  
TOWN OF JUNO BEACH  
FLORIDA

TASK:  
**CONSTRUCTION DETAILS**

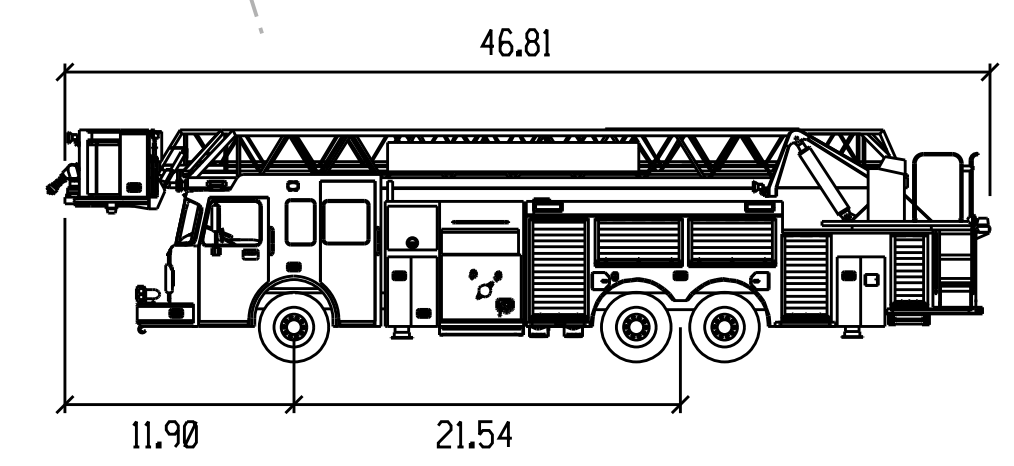
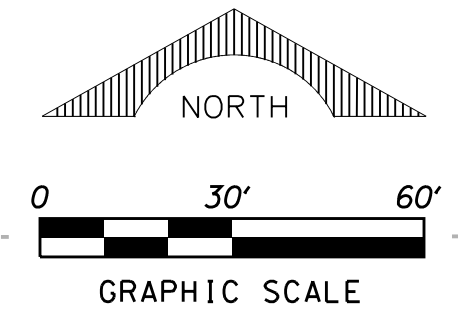
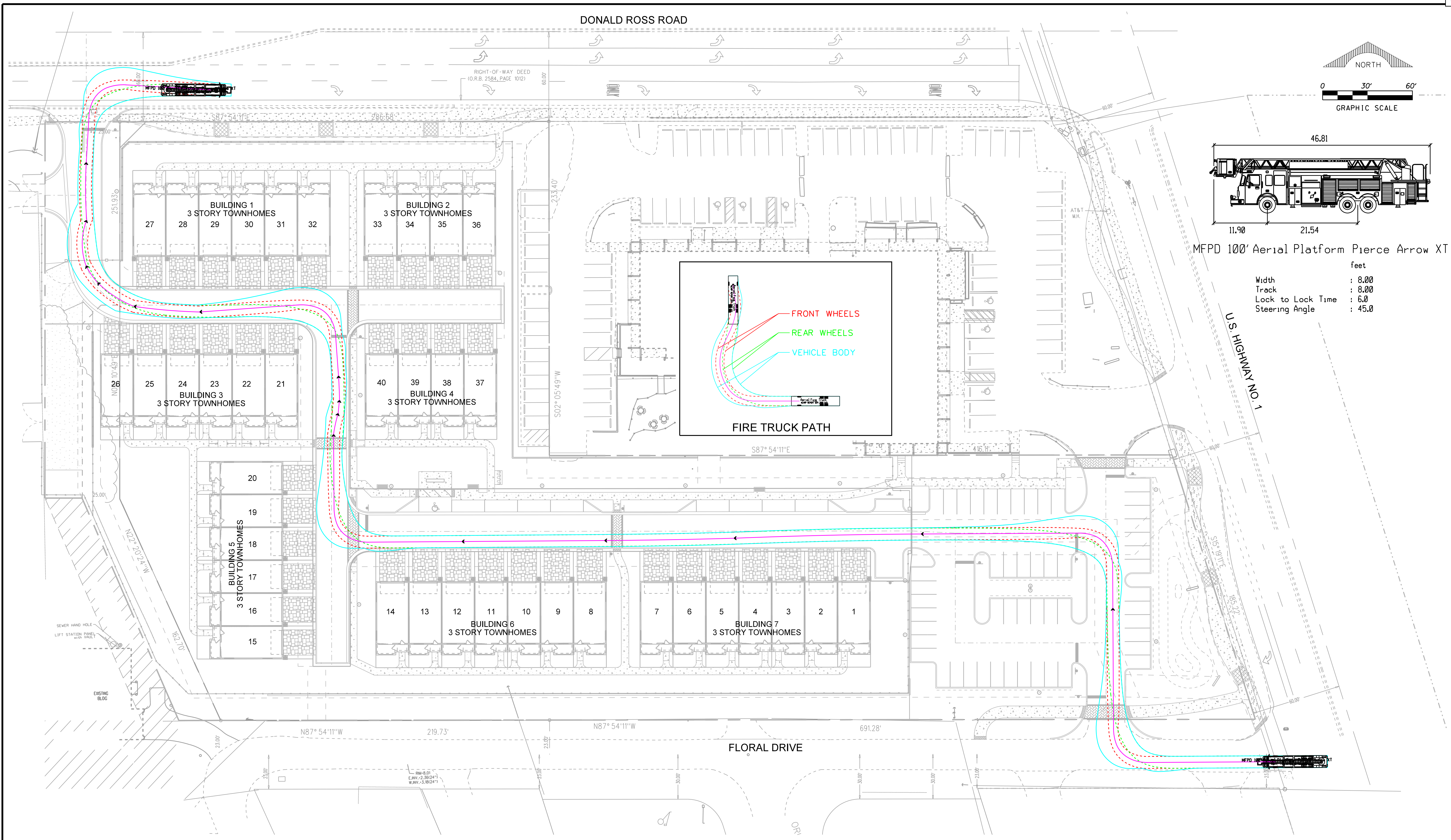
ORIGINAL: OCTOBER 2023  
REVISIONS:  
1 6/14/24  
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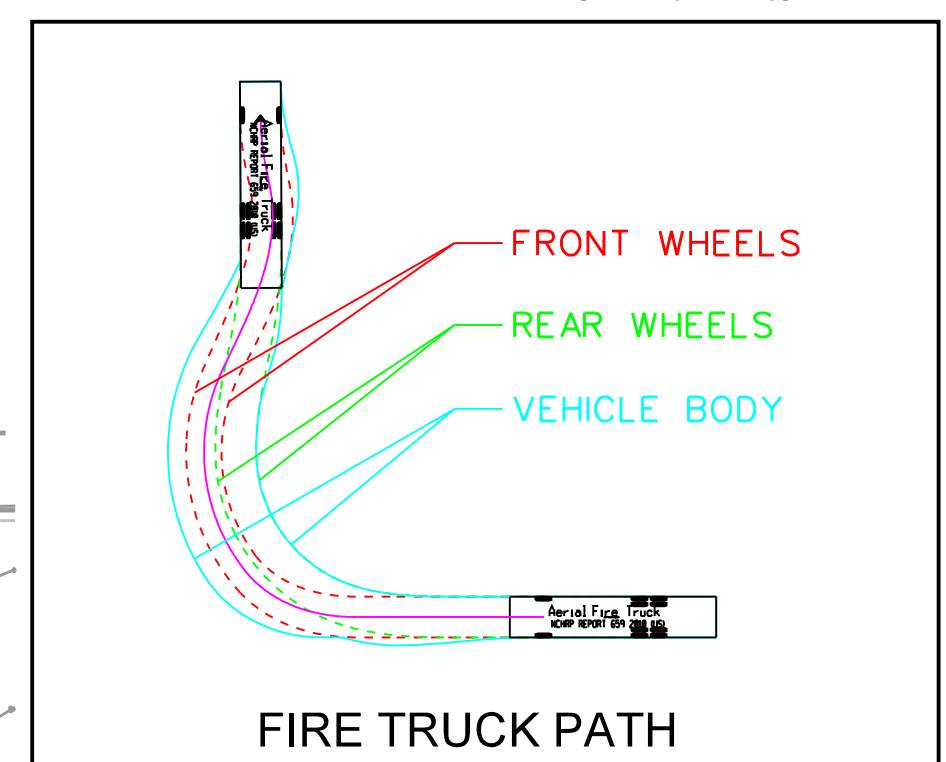
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Q.C. JTS  
SHEET 4 OF 8

Jeffrey T. Schnars, P.E.  
Civil Engineer  
Florida Registration No. 46697  
(FOR THE FIRM)

9/17/24 6:35:32 AM



MFPD 100' Aerial Platform Pierce Arrow XT  
 feet  
 Width : 8.00  
 Track : 8.00  
 Lock to Lock Time : 6.0  
 Steering Angle : 45.0



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PROJECT:  
**THE DUNES AT JUNO BEACH**  
 TOWN OF JUNO BEACH  
 FLORIDA

TASK:  
**FIRE TRUCK EXHIBIT**

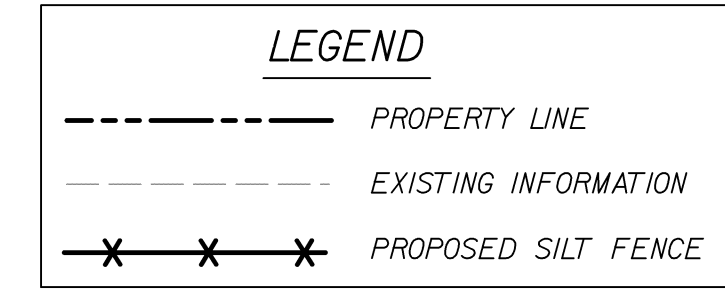
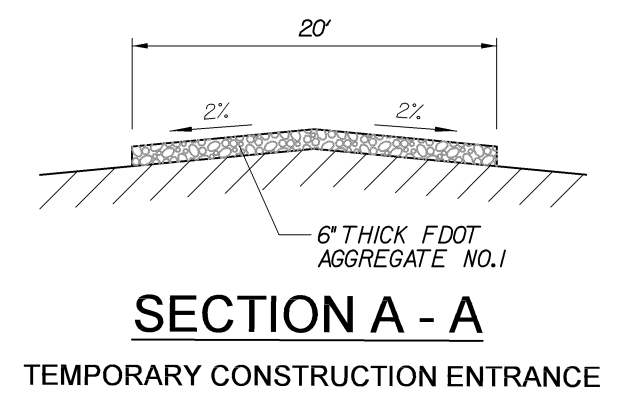
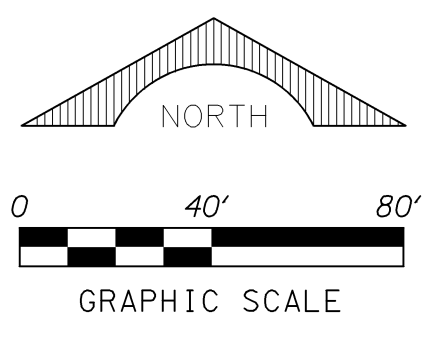
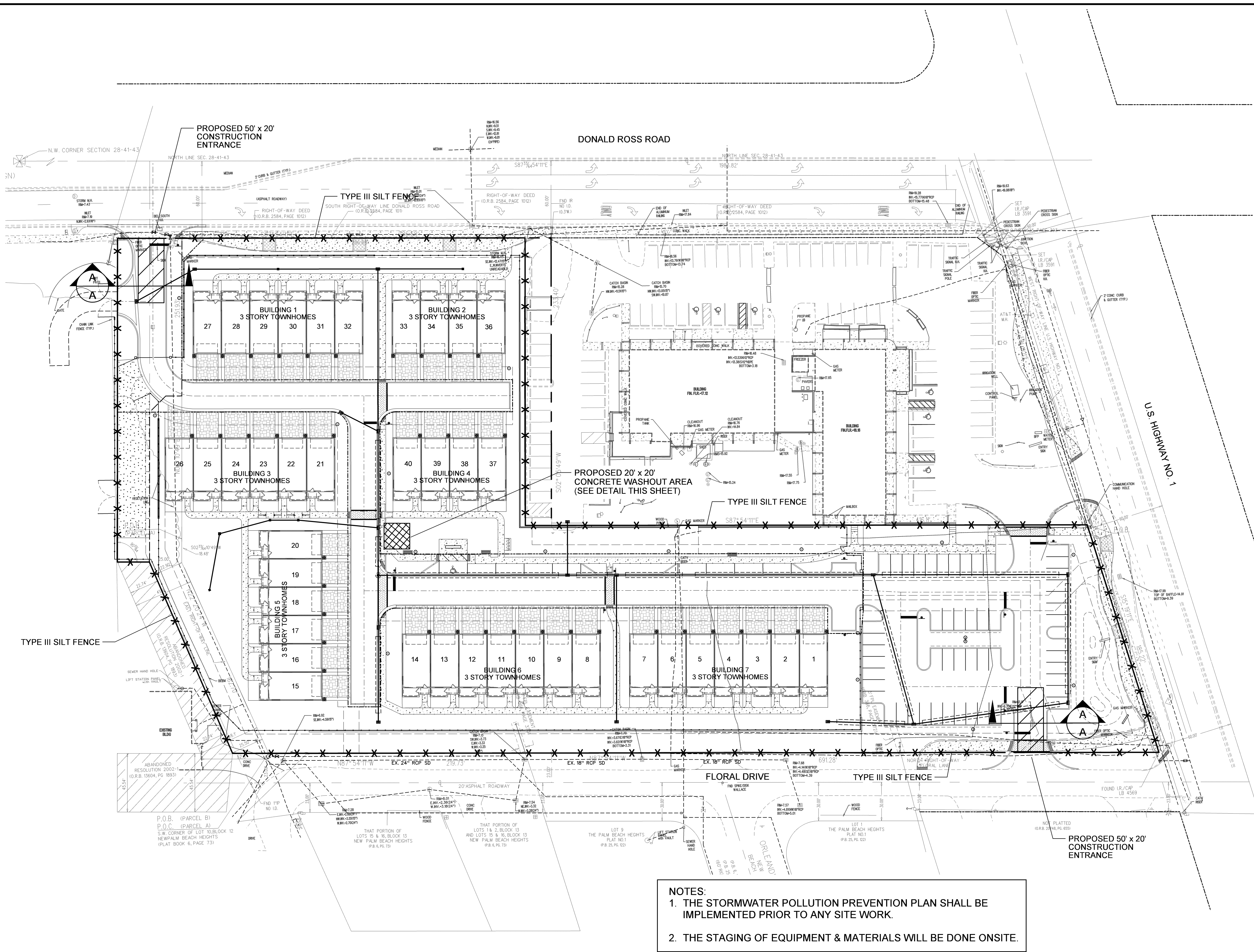
ORIGINAL: OCTOBER 2023  
 REVISIONS:  
 1 2/29/24 SITE PLAN REVISIONS  
 2 3/27/24 SITE PLAN REVISIONS  
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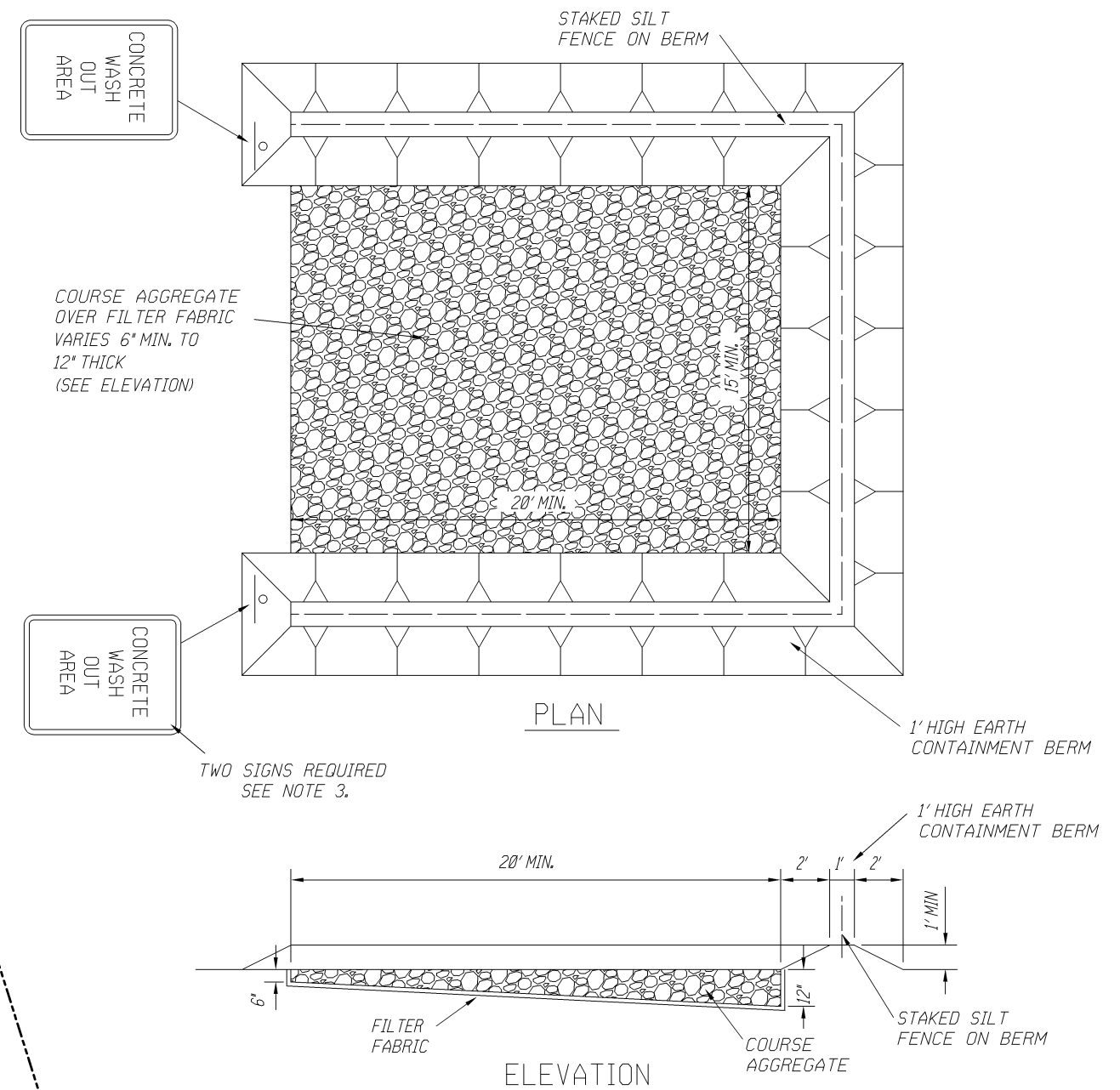
Jeffrey T. Schnars, P.E.  
 Civil Engineer  
 Florida Registration No. 46697  
 (C.R. 145-FRM)

JOB NO. 23108  
 DRAWN RAD  
 DESIGNED JTS  
 CHECKED JWM  
 Q.C. JTS  
 SHEET 5 OF 8





**CONCRETE WASHOUT AREA NOTE:**  
CONCRETE WASHOUT AREAS SHALL BE CONSTRUCTED SIMILAR TO TEMPORARY GRAVEL CONSTRUCTION ENTRANCES WITH A WIDTH OF 15 TO 20 FEET AND A DEPTH OF 20 FEET. SIX INCHES OF AGGREGATE OVER FILTER FABRIC IS REQUIRED ON THE BOTTOM OF THE WASHOUT AREA. THIS AREA SHALL BE SURROUNDED ON THREE SIDES BY A SILT FENCE OR EARTHEN DAM WITH THE BACK END A MINIMUM OF 12 INCHES LOWER TO ALLOW FOR WATER TO POOL AT BACK OF AREA. A SIGN STATING CONCRETE WASHOUT AREA SHALL BE PLACED AT THE SITE.



- NOTES:
1. ALL MATERIAL SHALL BE REMOVED FROM THE SITE AT THE END OF THE PROJECT.
  2. AGGREGATE SHALL BE REPLACED AS DIRECTED BY THE ENGINEER OF RECORD AND/OR THE CITY WHEN EXCESSIVE MATERIALS BUILDUP RENDERS THE WASH OUT AREA NO LONGER FUNCTIONAL.
  3. SIGNS SHALL BE 18" X 12" MIN. SIZE WITH 2" BLACK LETTERING ON A WHITE BACKGROUND AND MOUNTED A MINIMUM OF 7 FEET ABOVE GRADE FROM THE LOWEST EDGE OF THE SIGN FACE.

- NOTES:
1. THE STORMWATER POLLUTION PREVENTION PLAN SHALL BE IMPLEMENTED PRIOR TO ANY SITE WORK.
  2. THE STAGING OF EQUIPMENT & MATERIALS WILL BE DONE ONSITE.

**SCHNARS**  
ENGINEERING CORPORATION  
947 CLINT MOORE ROAD  
BOCA RATON, FLORIDA 33487  
TEL: (561) 241-6455  
FAX: (561) 241-5182

OWNER:  
**PULTE HOME GROUP, LLC**  
1475 CENTREPARK BOULEVARD, SUITE 140  
WEST PALM BEACH, FLORIDA 33401

PROJECT:  
**THE DUNES AT JUNO BEACH**  
TOWN OF JUNO BEACH  
FLORIDA

TASK:  
**CONSTRUCTION PERIOD STORMWATER POLLUTION PREVENTION PLAN**

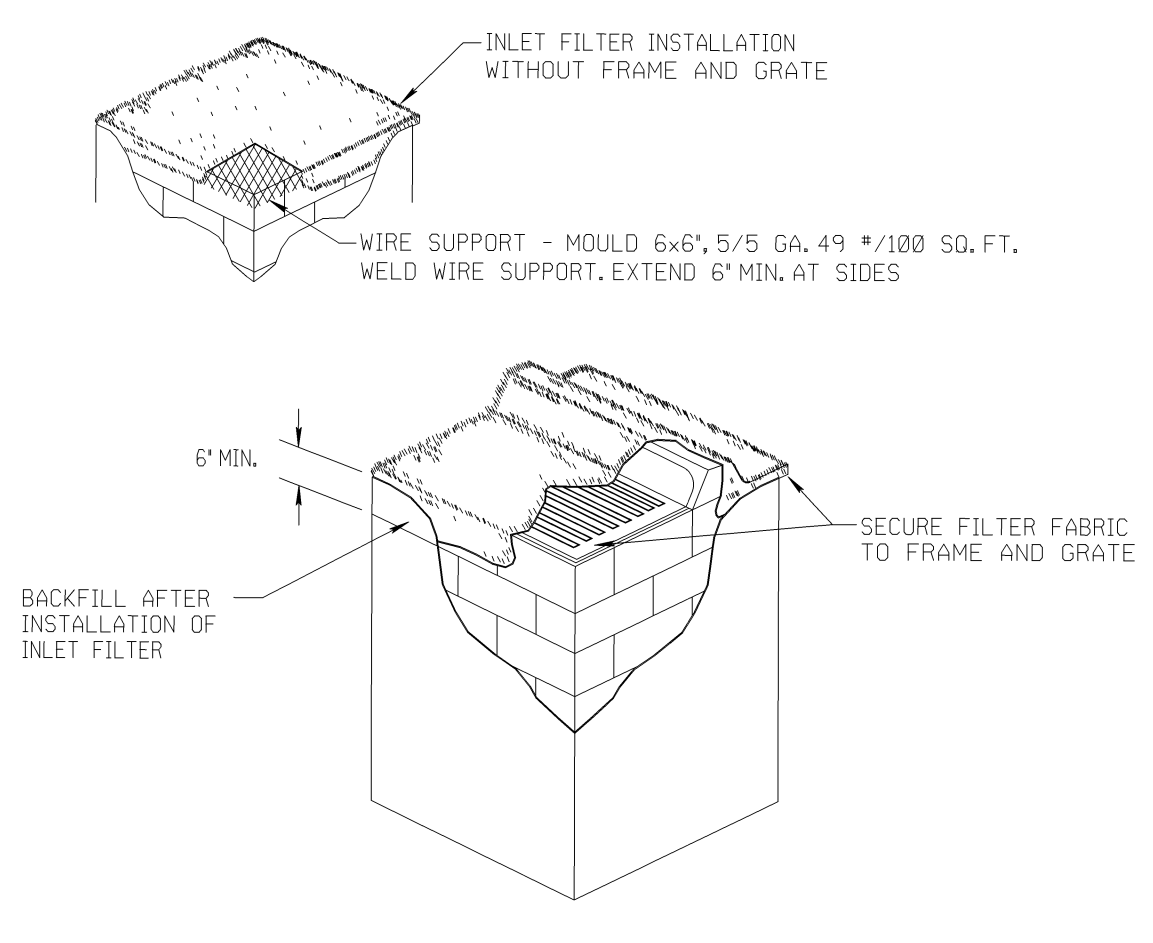
ORIGINAL: OCTOBER 2023  
REVISIONS:  
1 2/22/24 SITE PLAN COMMENTS  
2 3/27/24 SITE PLAN REVISION  
3 5/20/24 TOWN OF JUNO BEACH  
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JOB NO. 23108  
DRAWN RAD  
DESIGNED JTS  
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Q.C. JTS  
SHEET 6 OF 8

Jeffrey T. Schnars, P.E.  
Civil Engineer  
Florida Registration No. 46697  
(FOR THE FIRM)





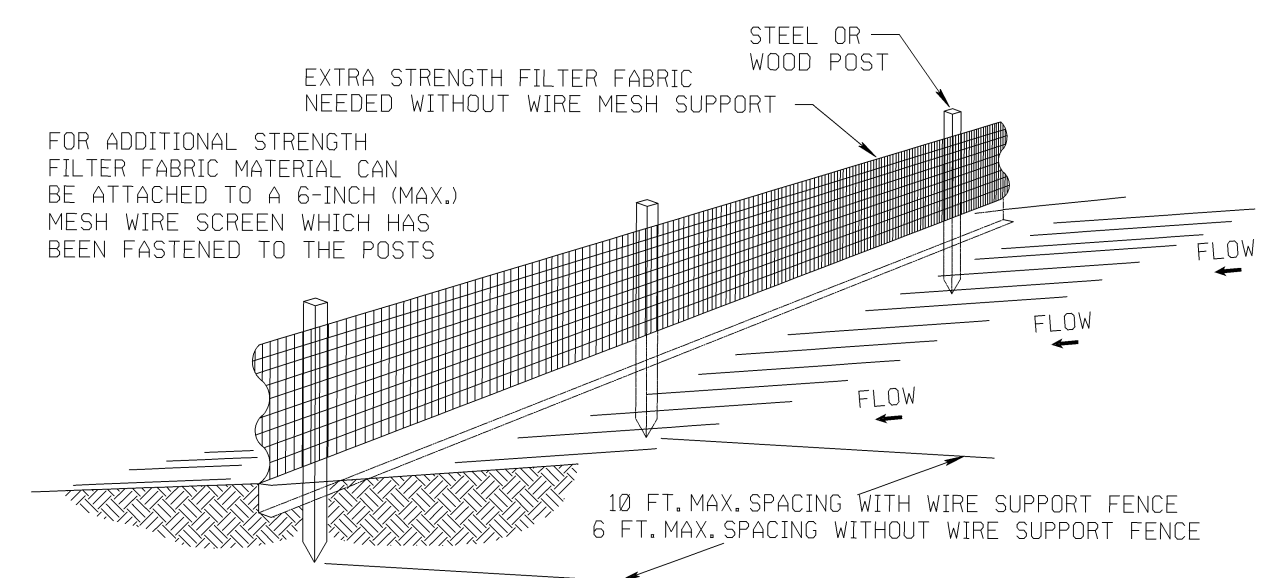
NOTES:

- CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
- CONTRACTOR TO REMOVE FABRIC JUST PRIOR TO PAVING.

A SEDIMENT TRAP WILL BE EXCAVATED BEHIND THE CURB AT THE INLET. THE BASIN SHALL BE AT LEAST 12 TO 14 INCHES IN DEPTH, APPROXIMATELY 36 INCHES IN WIDTH, AND APPROXIMATELY 7 TO 10 FEET IN LENGTH PARALLEL TO THE CURB.

STORM WATER WILL REACH THE SEDIMENT TRAP VIA CURB CUTS ADJACENT TO EACH SIDE OF THE INLET STRUCTURE. THESE OPENINGS SHALL BE AT LEAST 12 INCHES IN LENGTH. STORM WATER MAY ALSO REACH THE BASIN VIA OVERLAND FLOW LAND AREA BEHIND THE CURB. THE CURB CUTS SHALL BE REPAIRED WHEN THE SEDIMENT TRAP IS REMOVED.

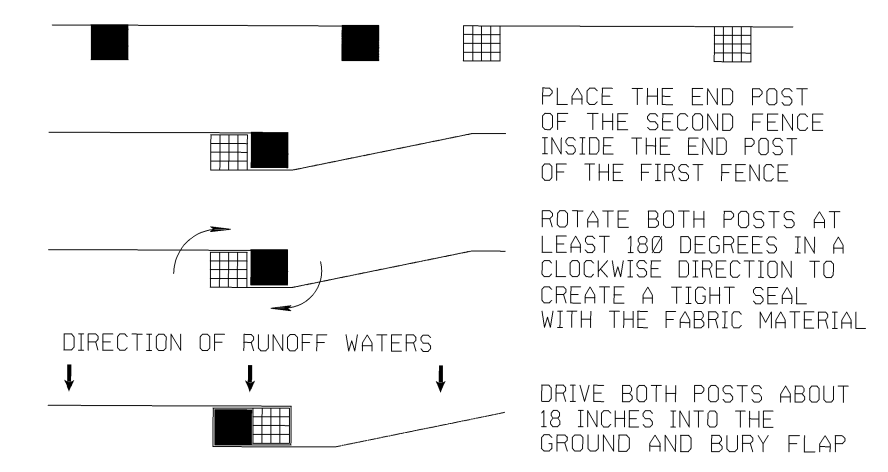
**INLET FILTER DETAIL**



NOTES:

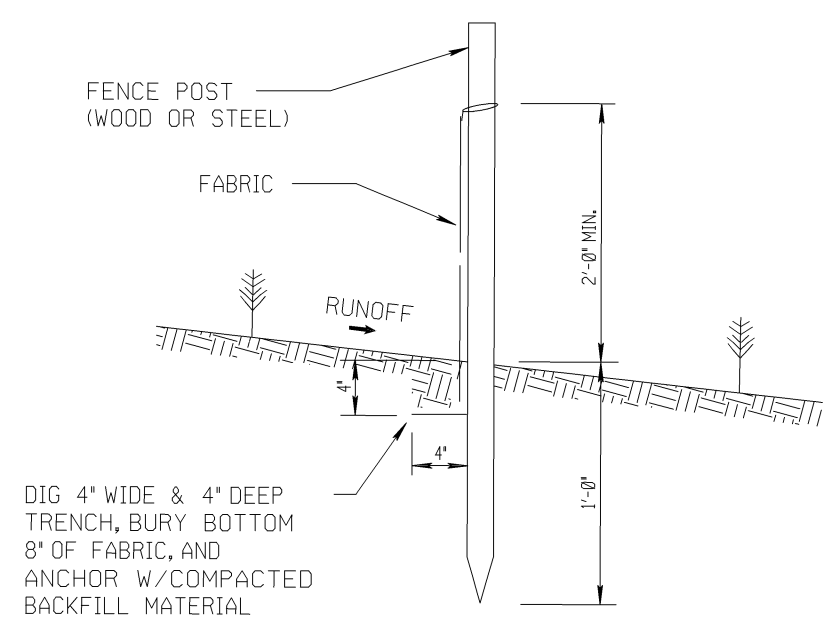
- THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (90 CM).
- THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
- POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 M) APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES (30 CM). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET (1.8 M).
- A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10 CM) WIDE AND 4 INCHES (10 CM) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
- WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25 MM) LONG, TIE WIRES, OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES (5 CM) AND SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
- THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES (20 CM) OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
- THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
- ALL PROJECTS REQUIRE SUBMITTAL OF POLLUTION PREVENTION PLAN (PPP).
- ALL PROJECTS 1 AC. OR MORE MUST SUBMIT NOTICE OF INTENT (NOI) TO FDEP.

**SILT FENCE INSTALLATION DETAIL**

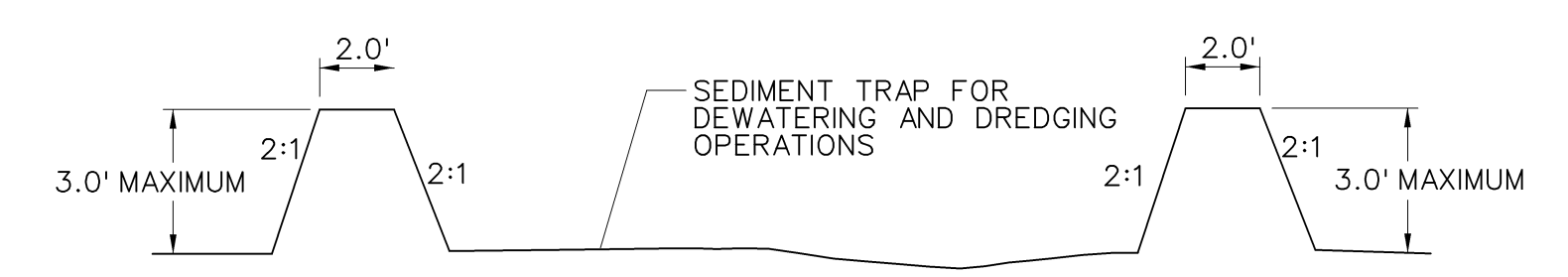


**ATTACHING TWO SILT FENCES**

**SILT FENCE INSTALLATION DETAIL**



**SILT FENCE SECTION**



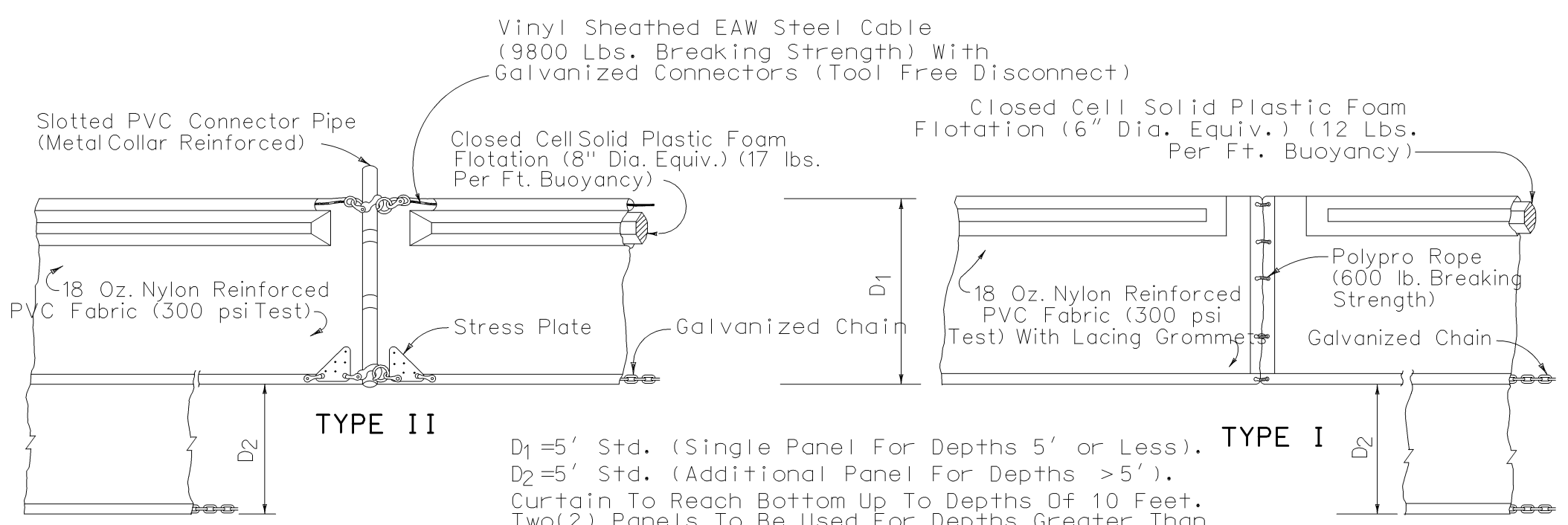
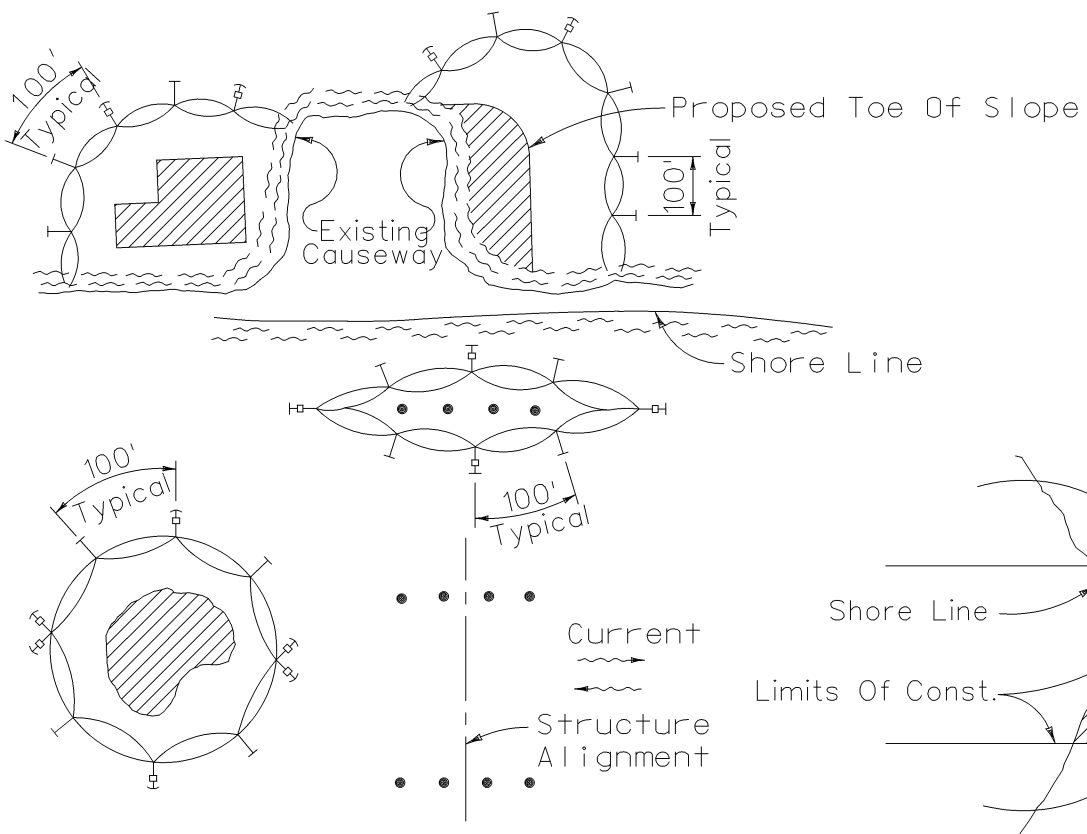
**LOCATION OF TEMPORARY SEDIMENT TRAPS TO BE DETERMINED BY CONTRACTOR**

**EROSION AND SEDIMENTATION CONTROL NOTES**

- ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
- SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR CHANNEL. ALL STORM SEWER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
- BEFORE TEMPORARY OR NEWLY CONSTRUCTED STORMWATER CONVEYANCE CHANNELS ARE MADE OPERATIONAL, ADEQUATE OUTLET PROTECTION AND ANY REQUIRED TEMPORARY OR PERMANENT CHANNEL LINING SHALL BE INSTALLED IN BOTH THE CONVEYANCE CHANNEL AND RECEIVING CHANNEL.
- PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT LEAVING THE PROPERTY. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
- WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND-DISTRIBUTING ACTIVITIES.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. IN THE OPINION OF THE REVIEWER, DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.
- PROPERTIES AND WATERWAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DISPOSITION AND EROSION.
- EROSION CONTROL DESIGN AND CONSTRUCTION SHALL FOLLOW THE REQUIREMENTS IN INDEC NOS. 101, 102 AND 103 OF FDOT ROWWAY AND TRAFFIC DESIGN STANDARDS.
- THE ENGINEER MAY APPROVE MODIFICATIONS OR ALTER PLANS TO THESE EROSION CONTROL CRITERIA DUE TO SITE SPECIFIC CONDITIONS.
- FILTER FABRIC SHALL BE INSTALLED ON ALL DRAINAGE INLET TOPS AND SOD SHALL BE PLACED AROUND DITCH BOTTOM INLETS TO PREVENT DEBRIS AND SILTATION FROM ENTERING DRAINAGE SYSTEM DURING CONSTRUCTION.
- SILT FENCES OR STRAW BALES SHALL BE UTILIZED AT INLETS AND ALONG PROPERTY LINES TO RETAIN SEDIMENT ON THE SITE. A TRENCH SHALL BE EXCAVATED THE WIDTH OF A BALE AND FOUR INCHES DEEP. EACH BALE SHALL BE ANCHORED BY AT LEAST TWO STAKES.
- WATER TRUCKS SHALL BE UTILIZED TO MINIMIZE WIND EROSION.
- A CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AND CONTAIN AN AGGREGATE LAYER (FDOT AGGREGATE NO. 1) AT LEAST SIX INCHES THICK. IT MUST EXTEND TO THE FULL WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA. THE LENGTH OF THE ENTRANCE MUST BE AT LEAST 50 FEET.
- IF THE CONDITIONS ON THE SITE ARE SUCH THAT MUD IS NOT REMOVED BY THE VEHICLES TRAVELING OVER THE GRAVEL ENTRANCE ROAD, THEN THE TIRES OF THE VEHICLES MUST BE WASHED BEFORE ENTERING A PUBLIC ROAD. WASH WATER MUST BE CARRIED AWAY FROM THE ENTRANCE TO A SETTLING AREA TO REMOVE SEDIMENT.
- THE LIMEROCK SHALL BE INSTALLED IMMEDIATELY AFTER THE FINISHED GRADING IS COMPLETE ON THE ROAD AND PARKING LOT SUBGRADE.
- LAKE BANKS SHALL BE SEED AND MULCHED OR SODDED IMMEDIATELY AFTER FINAL GRADING.
- TRUCKS ENTERING AND EXITING THE SITE WITH FILL MATERIAL SHALL BE COVERED.
- DISCHARGE FROM DEWATERING OPERATIONS SHALL BE RETAINED ONSITE IN A CONTAINMENT AREA.
- EXPOSED SOIL SHALL BE PLANTED WITH VEGETATIVE MATERIAL OR COVERED WITH PROTECTIVE GROUND COVER AS SOON AS PRACTICAL UPON COMPLETION OF CONSTRUCTION ACTIVITIES.

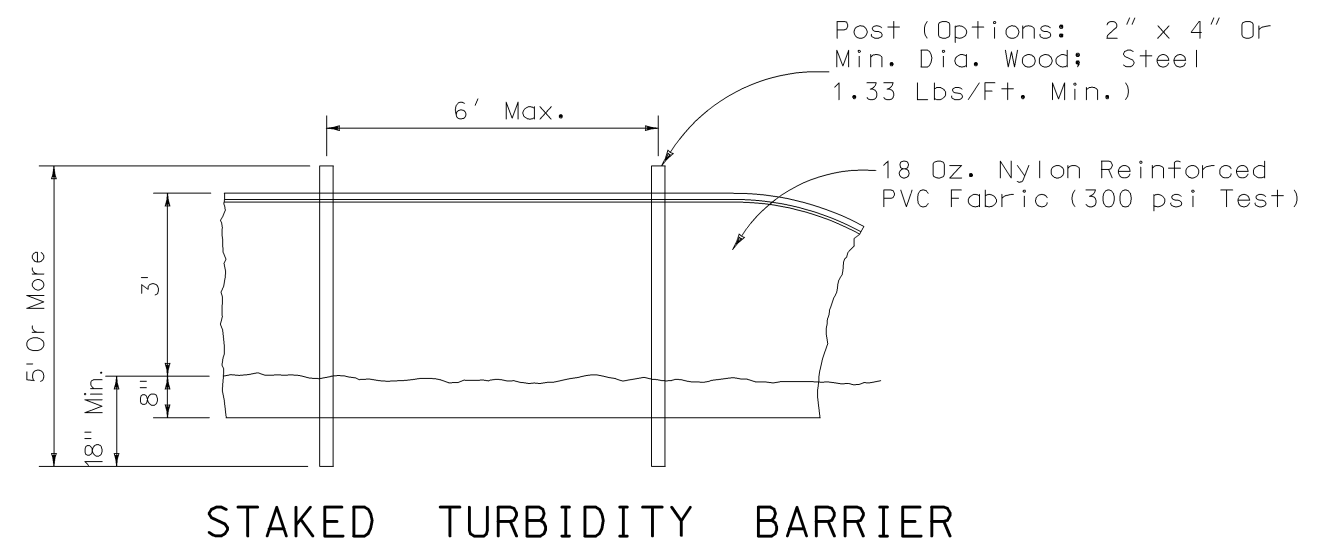
**GENERAL NOTES**

- Floating turbidity barriers are to be paid for under the contract unit price for Floating Turbidity Barrier, LF.
- Staked turbidity barriers are to be paid for under the contract unit price for Staked Turbidity Barrier, LF.



NOTICE: COMPONENTS OF TYPES I AND II MAY BE SIMILAR OR IDENTICAL TO PROPRIETARY DESIGNS. ANY INFRINGEMENT ON THE PROPRIETARY RIGHTS OF THE DESIGNER SHALL BE THE SOLE RESPONSIBILITY OF THE USER. SUBSTITUTIONS FOR TYPES I AND II SHALL BE AS APPROVED BY THE ENGINEER.

**STAKED TURBIDITY BARRIER**



- NOTES:
- Turbidity barriers are to be used in all permanent bodies of water regardless of water depth.
  - Number and spacing of anchors dependent on current velocities.
  - Deployment of barrier around pile locations may vary to accommodate construction operations.
  - Navigation may require segmenting barrier during construction operations.
  - For additional information see Section 104 of the Standard Specifications.
- LEGEND:
- Pile Locations
  - Dredge Or Fill Area
  - Mooring Buoy w/Anchor
  - Anchor
  - Barrier Movement Due To Current Action

Note: Turbidity barriers for flowing streams and tidal creeks may be either floating, or staked, types or any combinations of types that will suit site conditions and meet erosion control and water quality requirements. The barrier type(s) will be at the Contractor's option unless otherwise specified in the plans, however payment will be under the pay item(s) established in the plans for Floating Turbidity Barrier and/or Staked Turbidity Barrier. Posts in staked turbidity barriers to be installed in vertical position unless otherwise directed by the Engineer.

**TURBIDITY BARRIER APPLICATIONS**

**TURBIDITY BARRIER DETAILS PER FDOT INDEX NO. 103**

**SCHNARS**  
ENGINEERING CORPORATION

947 CLINT MOORE ROAD  
BOCA RATON, FLORIDA 33487

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FAX: (561) 241-5182

OWNER:

**PULTE HOME GROUP, LLC**

1475 CENTREPARK BOULEVARD, SUITE 140

WEST PALM BEACH, FLORIDA 33401

PROJECT:

**THE DUNES AT JUNO BEACH**

TOWN OF JUNO BEACH FLORIDA

TASK:

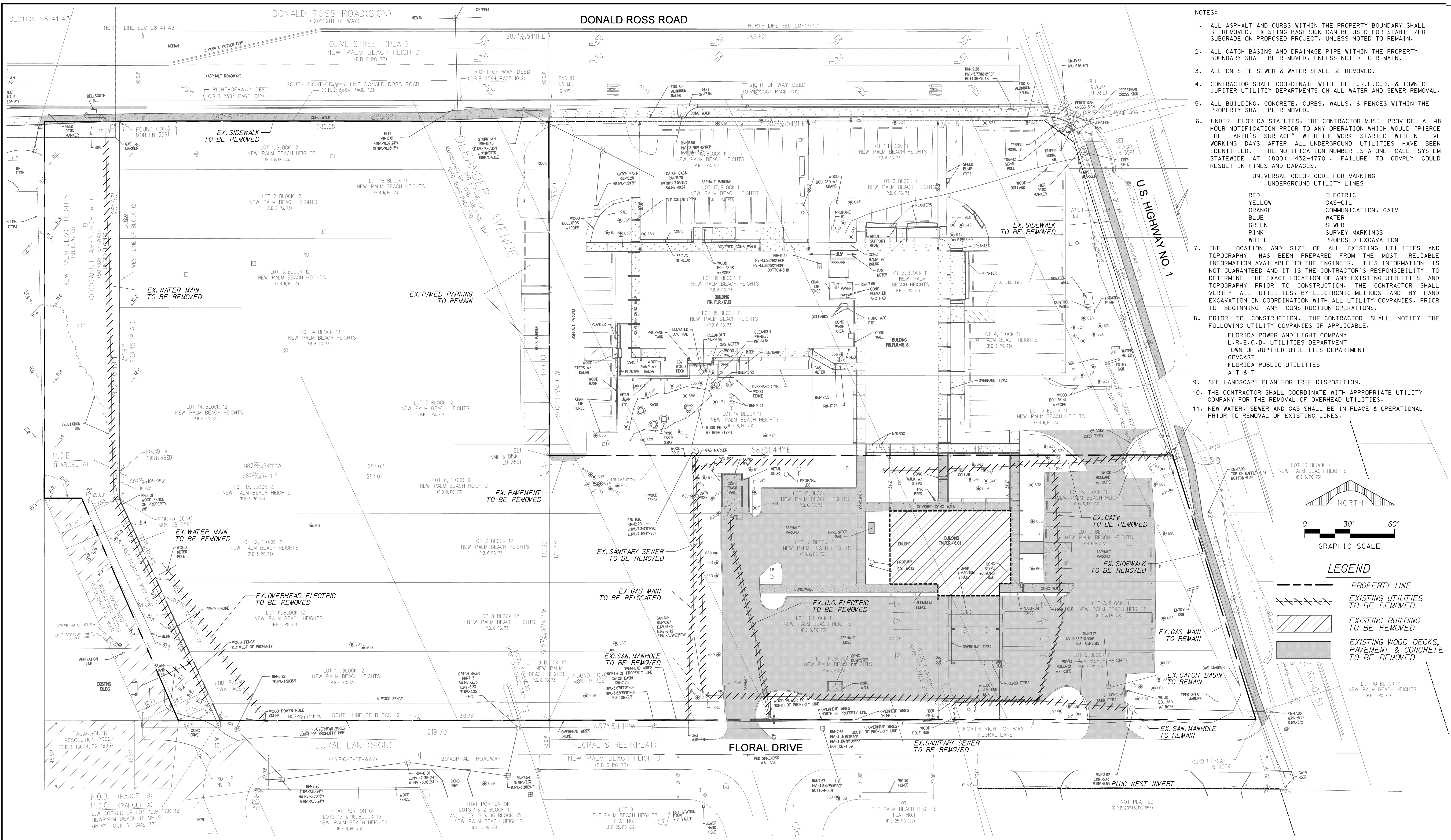
**CONSTRUCTION PERIOD STORMWATER POLLUTION PREVENTION DETAILS**

ORIGINAL: OCTOBER 2023	6
REVISIONS:	7
1	8
2	9
3	10
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JOB NO. 23108
DRAWN RAD
DESIGNED JTS
CHECKED JWM
Q.C. JTS
SHEET 7 OF 8

Jeffrey T. Schnars, P.E.  
Civil Engineer  
Florida Registration No. 46697  
(FOR THE FIRM)

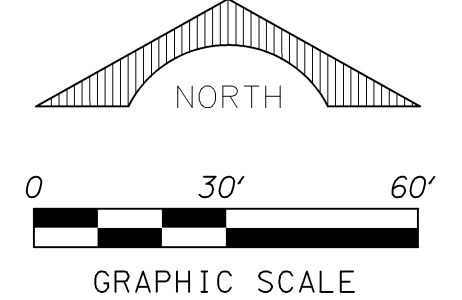




- NOTES:**
1. ALL ASPHALT AND CURBS WITHIN THE PROPERTY BOUNDARY SHALL BE REMOVED. EXISTING BASEROCK CAN BE USED FOR STABILIZED SUBGRADE ON PROPOSED PROJECT, UNLESS NOTED TO REMAIN.
  2. ALL CATCH BASINS AND DRAINAGE PIPE WITHIN THE PROPERTY BOUNDARY SHALL BE REMOVED, UNLESS NOTED TO REMAIN.
  3. ALL ON-SITE SEWER & WATER SHALL BE REMOVED.
  4. CONTRACTOR SHALL COORDINATE WITH THE L.R.E.C.D. & TOWN OF JUPITER UTILITY DEPARTMENTS ON ALL WATER AND SEWER REMOVAL.
  5. ALL BUILDING, CONCRETE, CURBS, WALLS, & FENCES WITHIN THE PROPERTY SHALL BE REMOVED.
  6. UNDER FLORIDA STATUTES, THE CONTRACTOR MUST PROVIDE A 48 HOUR NOTIFICATION PRIOR TO ANY OPERATION WHICH WOULD "PIERCE THE EARTH'S SURFACE" WITH THE WORK STARTED WITHIN FIVE WORKING DAYS AFTER ALL UNDERGROUND UTILITIES HAVE BEEN IDENTIFIED. THE NOTIFICATION NUMBER IS A ONE CALL SYSTEM STATEWIDE AT (800) 432-4770. FAILURE TO COMPLY COULD RESULT IN FINES AND DAMAGES.
  7. THE LOCATION AND SIZE OF ALL EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ANY EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS.
  8. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES IF APPLICABLE.  
FLORIDA POWER AND LIGHT COMPANY  
L.R.E.C.D. UTILITIES DEPARTMENT  
TOWN OF JUPITER UTILITIES DEPARTMENT  
COMCAST  
FLORIDA PUBLIC UTILITIES  
A T & T
  9. SEE LANDSCAPE PLAN FOR TREE DISPOSITION.
  10. THE CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANY FOR THE REMOVAL OF OVERHEAD UTILITIES.
  11. NEW WATER, SEWER AND GAS SHALL BE IN PLACE & OPERATIONAL PRIOR TO REMOVAL OF EXISTING LINES.

UNIVERSAL COLOR CODE FOR MARKING UNDERGROUND UTILITY LINES

- RED ELECTRIC
- YELLOW GAS-OIL
- ORANGE COMMUNICATION, CATV
- BLUE WATER
- GREEN SEWER
- PINK SURVEY MARKINGS
- WHITE PROPOSED EXCAVATION



- LEGEND**
- PROPERTY LINE
  - EXISTING UTILITIES TO BE REMOVED
  - EXISTING BUILDING TO BE REMOVED
  - EXISTING WOOD DECKS, PAVEMENT & CONCRETE TO BE REMOVED

**SCHNARS**  
ENGINEERING CORPORATION

947 CLINT MOORE ROAD  
BOCA RATON, FLORIDA 33487

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**OWNER:**

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1475 CENTREPARK BOULEVARD, SUITE 140

WEST PALM BEACH, FLORIDA 33401

**PROJECT:**

**THE DUNES AT JUNO BEACH**

TOWN OF JUNO BEACH

FLORIDA

**TASK:**

**DEMOLITION PLAN**

**ORIGINAL:** OCTOBER 2023

**REVISIONS:**

1	6/14/24 LREC COMMENTS
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JOB NO. 23108  
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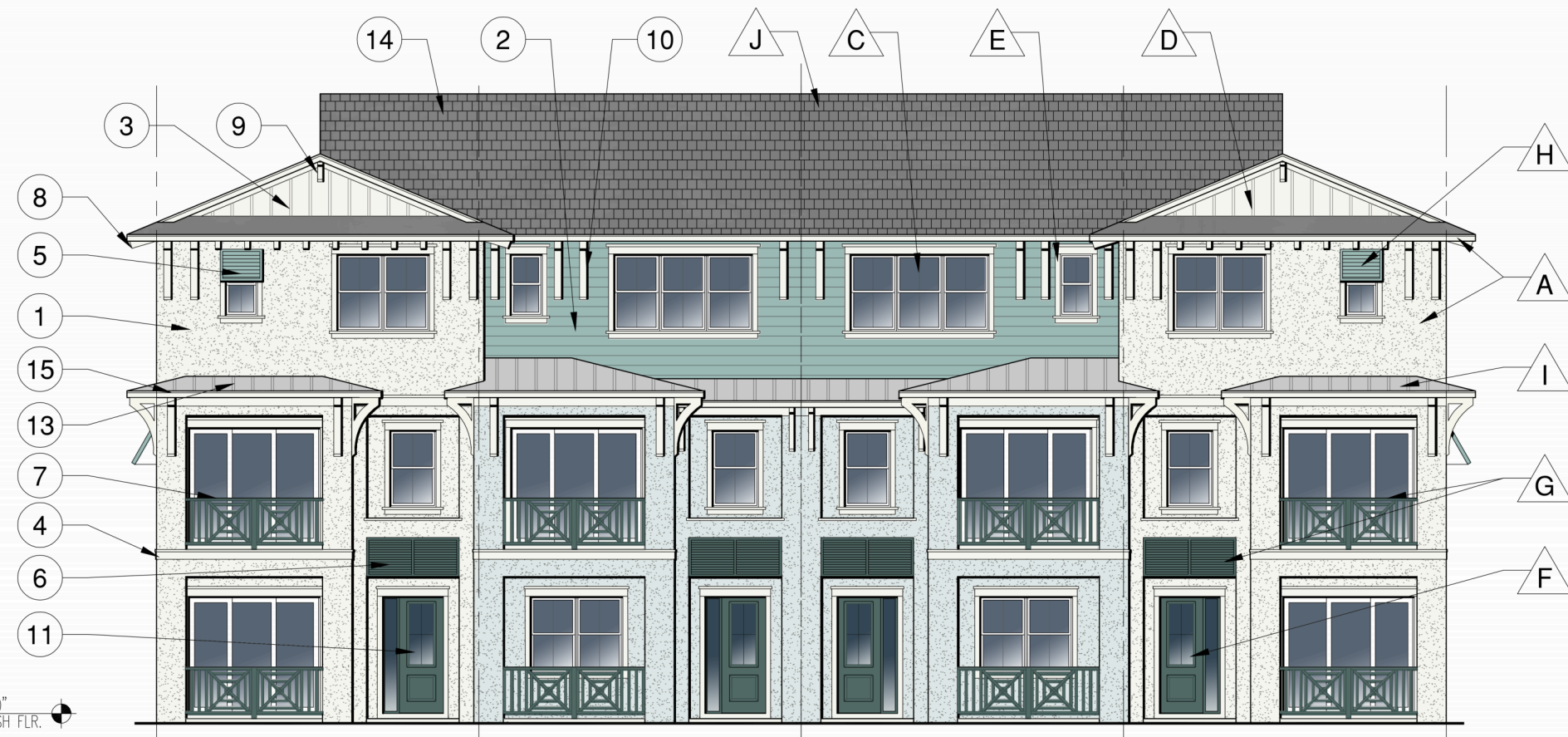


**PAINT/ MASONRY/ ROOFING COLORS**

- A.  STUCCO BODY/SOFFIT/FASCIA - HIGH REFLECTIVE WHITE (SW7757)
- B.  STUCCO BODY - SNOWDROP (SW6511)
- C.  LAP SIDING - FESTOON AQUA (SW0019)
- D.  BOARD & BATTEN SIDING - HIGH REFLECTIVE WHITE (SW7757)
- E.  TRIM - HIGH REFLECTIVE WHITE (SW7757)
- F.  EXTERIOR FRONT DOOR/ GARAGE DOOR - ROOKWOOD SASH (SW2810)
- G.  LOUVERS/RAILINGS - ROOKWOOD SASH (SW2810)
- H.  AWNINGS - FESTOON AQUA (SW0019)
- I.  METAL ROOF - GRAY
- J.  TILE ROOF - EAGLE LIGHT GREY

**LEGEND**

1. 5/8" TEXTURED STUCCO
2. 8" CEMENTITIOUS LAP SIDING
3. CEMENTITIOUS BOARD & BATTEN SIDING
4. SAND FINISHED RAISED BANDING
5. ALUMINUM AWNING
6. ALUMINUM LOUVER
7. ALUMINUM RAILING
8. 4"X6" FOAM EXPOSED RAFTER TAIL
9. 10"x16" FOAM GABLE BRACKET
10. 22"x48" FOAM BRACKET
11. 36"X96" FIBERGLASS FRONT DOOR W/ 12" SIDELIGHT
12. 16'X7' STEEL GARAGE DOOR
13. METAL STANDING SEAM ROOF
14. CONCRETE TILE ROOF
15. SUSPENDED ROOF



**FRONT ELEVATION-4-UNIT BUILDING-CO2**  
SCALE: NTS (KEY WEST CRACKER STYLE)

PLOTTED: March 13, 2024 / Toan Nguyen / 22' NEW TOWNHOMES-ARCH-2024-03-13.DWG

FLORIDA ZONE  
 24311 Walden Center Dr., Suite  
 Bonita Springs, Florida 34134 (239) 495-  
 Item #5.




22' New Townhomes  
 4-UNIT ELEVATIONS  
 3 STORY - 4 UNIT

PRODUCTION MANAGER	
CONTROL DATE:	23/04/08
REV # / DATE / DESCRIPTION	

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS









PROJECT TYPE	SF ATTACHED
COMMUNITY NAME	
LAWSON COMMUNITY ID	
GARAGE HANDING	
VERSION NUMBER	1.0
PLAN NAME / NPC	Plan 1 3066.500
	Plan 2 3067.500
LAWSON PLAN ID	
LEGACY PLAN NUMBER / NAME	
SHEET	MATERIALS-PAINT
29	



**BRENNAN ENGINEERING INC.**  
 1000 S. GULF HWY. STE. 200  
 BOCA RATON, FLORIDA 33433  
 (561) 392-5768  
 E.O. 7 1508 "E" & 72501  
 VICTOR HERNANDEZ  
 P.E. # 7686 P.E. NO. 72387

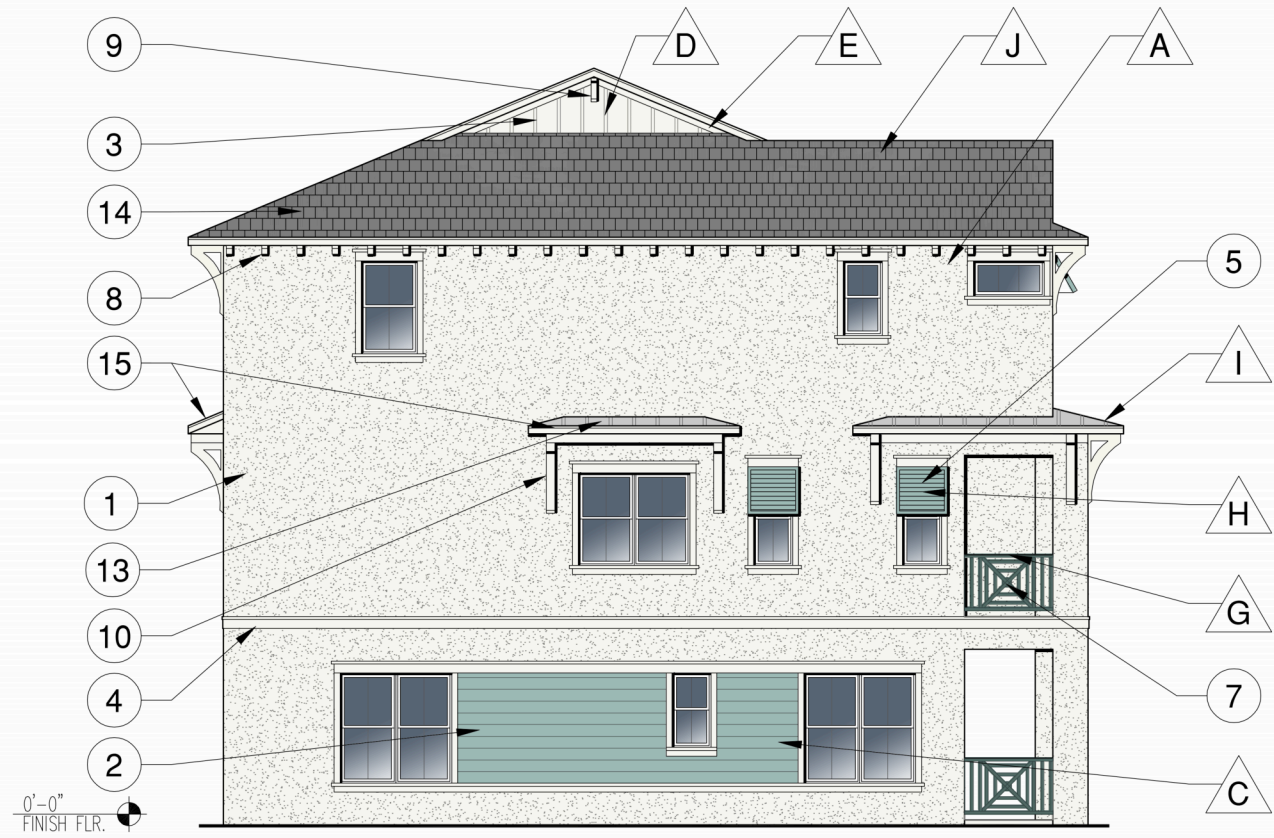


**PAINT/ MASONRY/ ROOFING COLORS**

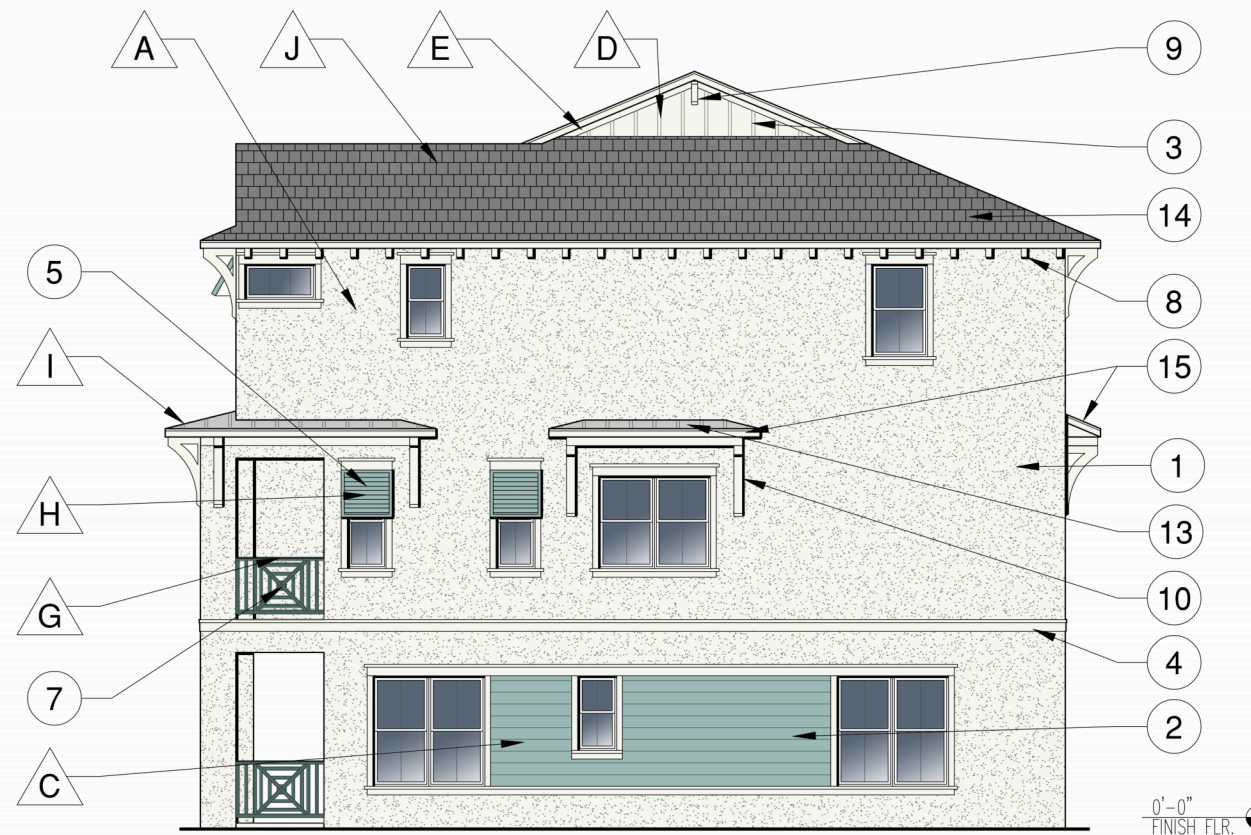
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12. 16'X7' STEEL GARAGE DOOR
13. METAL STANDING SEAM ROOF
14. CONCRETE TILE ROOF
15. SUSPENDED ROOF



**LEFT ELEVATION-4-UNIT BUILDING**  
SCALE: NTS (KEY WEST CRACKER STYLE)



**RIGHT ELEVATION-4-UNIT BUILDING**  
SCALE: NTS (KEY WEST CRACKER STYLE)

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**FLORIDA ZONE**  
Item #5.  
24311 Walden Center Dr., Suite  
Borita Springs, Florida 34134 (239) 495-



22' New Townhomes  
4-UNIT ELEVATIONS  
3 STORY - 4 UNIT

PRODUCTION MANAGER
CONTROL DATE: 23/04/08
REV # / DATE / DESCRIPTION

PROJECT TYPE  
**SF ATTACHED**

COMMUNITY NAME

LAWSON COMMUNITY ID

GARAGE HANDING

VERSION NUMBER  
**1.0**

PLAN NAME / NPC  
**Plan 1**  
3066.500  
**Plan 2**  
3067.500

LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME


SHEET  
**MATERIALS**



PLOTTED: March 13, 2024 / Toan Nguyen / 22' NEW TOWNHOMES-ARCH-2024-03-13.DWG

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

**PAINT/ MASONRY/ ROOFING COLORS**

- A.  STUCCO BODY/SOFFIT/FASCIA - HIGH REFLECTIVE WHITE (SW7757)
- B.  STUCCO BODY - SNOWDROP (SW6511)
- C.  LAP SIDING - FESTOON AQUA (SW0019)
- D.  BOARD & BATTEN SIDING - HIGH REFLECTIVE WHITE (SW7757)
- E.  TRIM - HIGH REFLECTIVE WHITE (SW7757)
- F.  EXTERIOR FRONT DOOR/ GARAGE DOOR - ROOKWOOD SASH (SW2810)
- G.  LOUVERS/RAILINGS - ROOKWOOD SASH (SW2810)
- H.  AWNINGS - FESTOON AQUA (SW0019)
- I.  METAL ROOF - GRAY
- J.  TILE ROOF - EAGLE LIGHT GREY

**LEGEND**

1. 5/8" TEXTURED STUCCO
2. 8" CEMENTITIOUS LAP SIDING
3. CEMENTITIOUS BOARD & BATTEN SIDING
4. SAND FINISHED RAISED BANDING
5. ALUMINUM AWNING
6. ALUMINUM LOUVER
7. ALUMINUM RAILING
8. 4"X6" FOAM EXPOSED RAFTER TAIL
9. 10"x16" FOAM GABLE BRACKET
10. 22"x48" FOAM BRACKET
11. 36"X96" FIBERGLASS FRONT DOOR W/ 12" SIDELIGHT
12. 16'X7' STEEL GARAGE DOOR
13. METAL STANDING SEAM ROOF
14. CONCRETE TILE ROOF
15. SUSPENDED ROOF



**REAR ELEVATION-4-UNIT BUILDING**  
SCALE: NTS (KEY WEST CRACKER STYLE)

PLOTTED: March 13, 2024 / Toan Nguyen / 22' NEW TOWNHOMES-ARCH-2024-03-13.DWG

FLORIDA ZONE  
 24311 Walden Center Dr., Suite  
 Bonita Springs, Florida 34134 (239) 495-  
 Item #5.



22' New Townhomes  
 4-UNIT ELEVATIONS  
 3 STORY - 4 UNIT

PRODUCTION MANAGER
CONTROL DATE: 23/04/08
REV # / DATE / DESCRIPTION

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

PROJECT TYPE  
**SF ATTACHED**

COMMUNITY NAME

LAWSON COMMUNITY ID

GARAGE HANDING

VERSION NUMBER  
1.0


PLAN NAME / NPC  
**Plan 1**  
3066.500

**Plan 2**  
3067.500

LAWSON PLAN ID

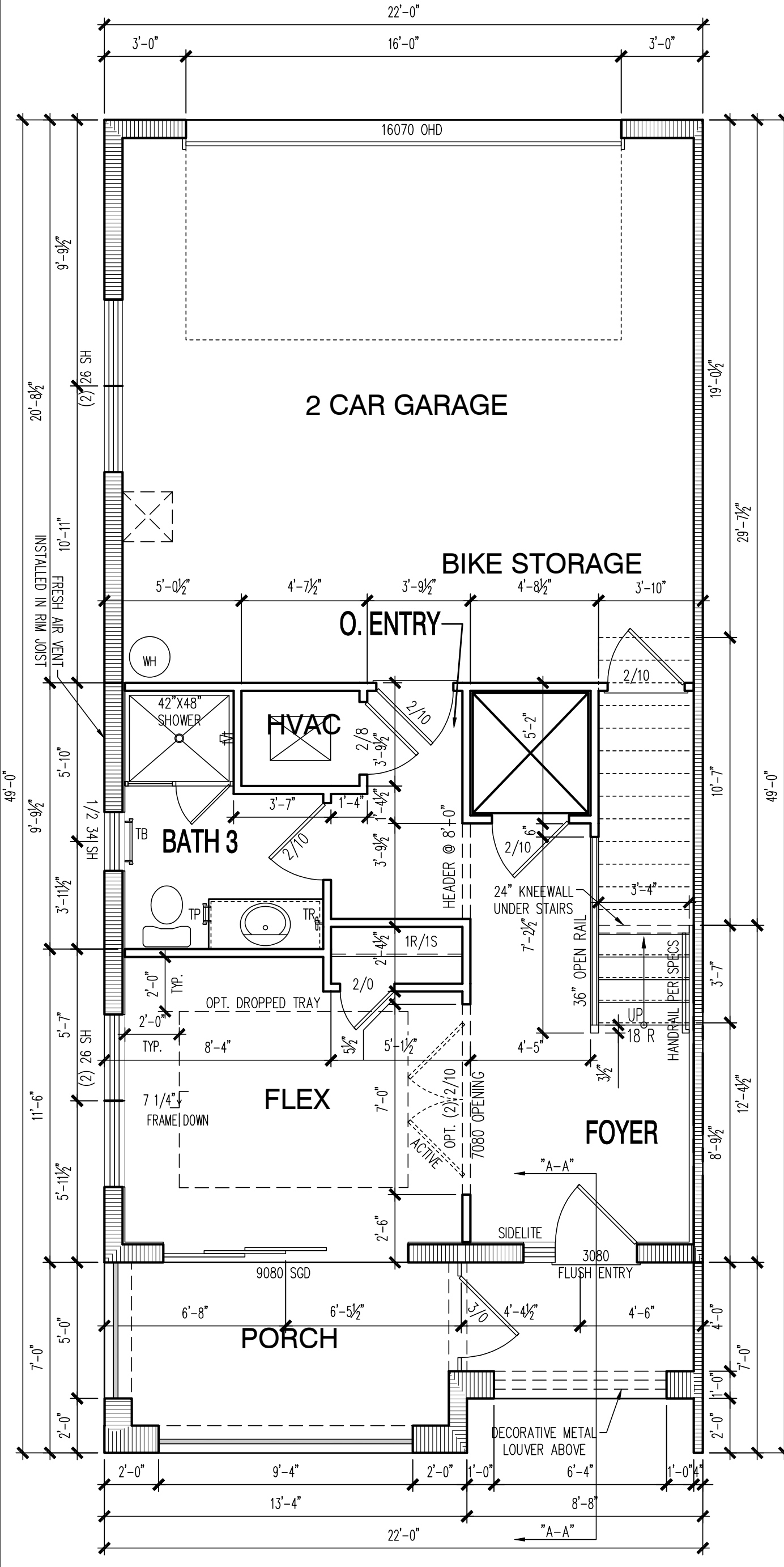
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SHEET  
**MATERIALS**

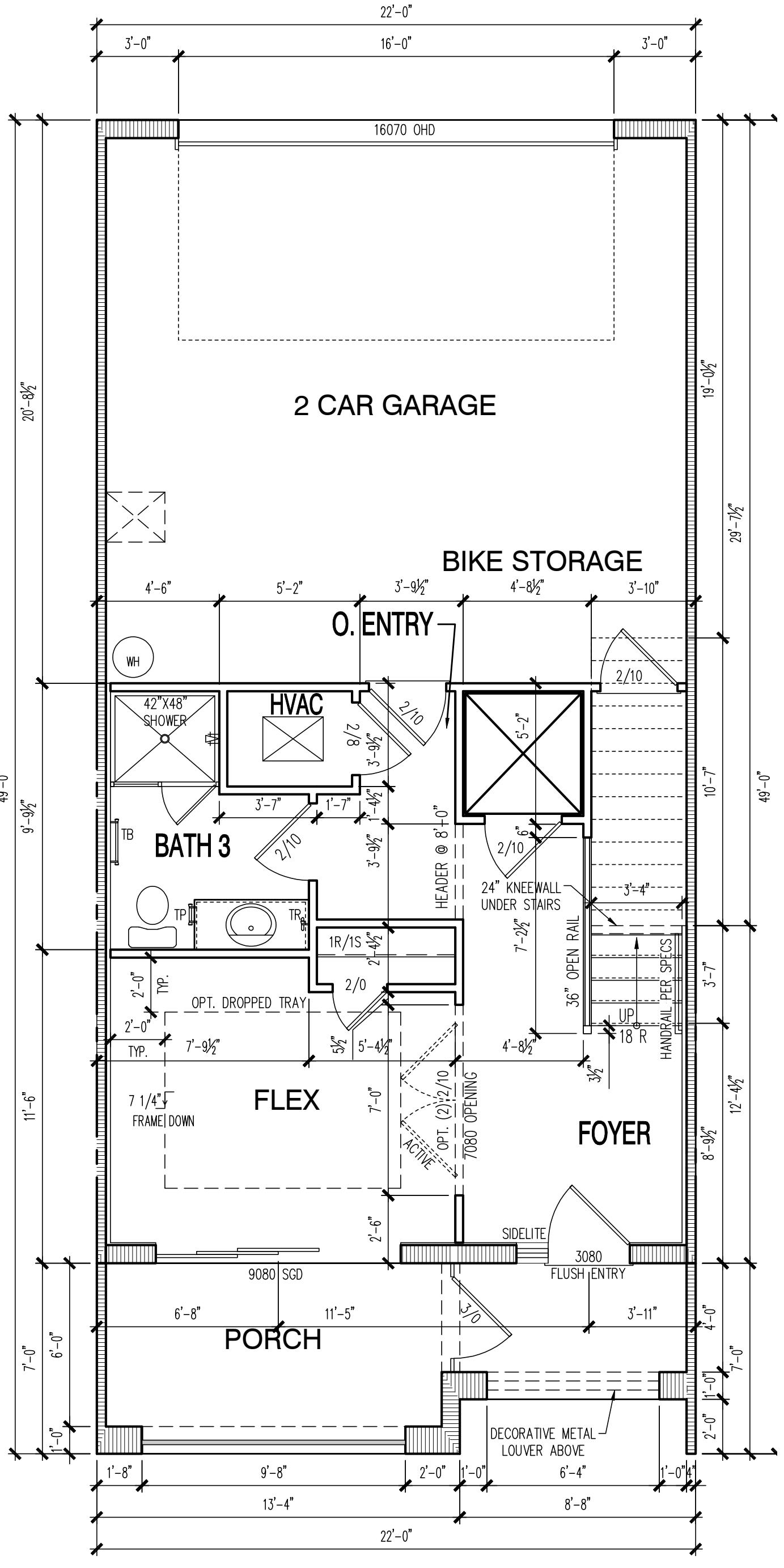
  
**BRENNAN**  
 ENGINEERING INC.  
1000 S. DIXIE HWY., SUITE 200  
 BOCA RATON, FLORIDA 33432  
 (561) 392-0748  
 U.S. # 7086 / P.E. # 72357  
 VICTOR HERNANDEZ  
FOR ARCHITECTURAL USE ONLY



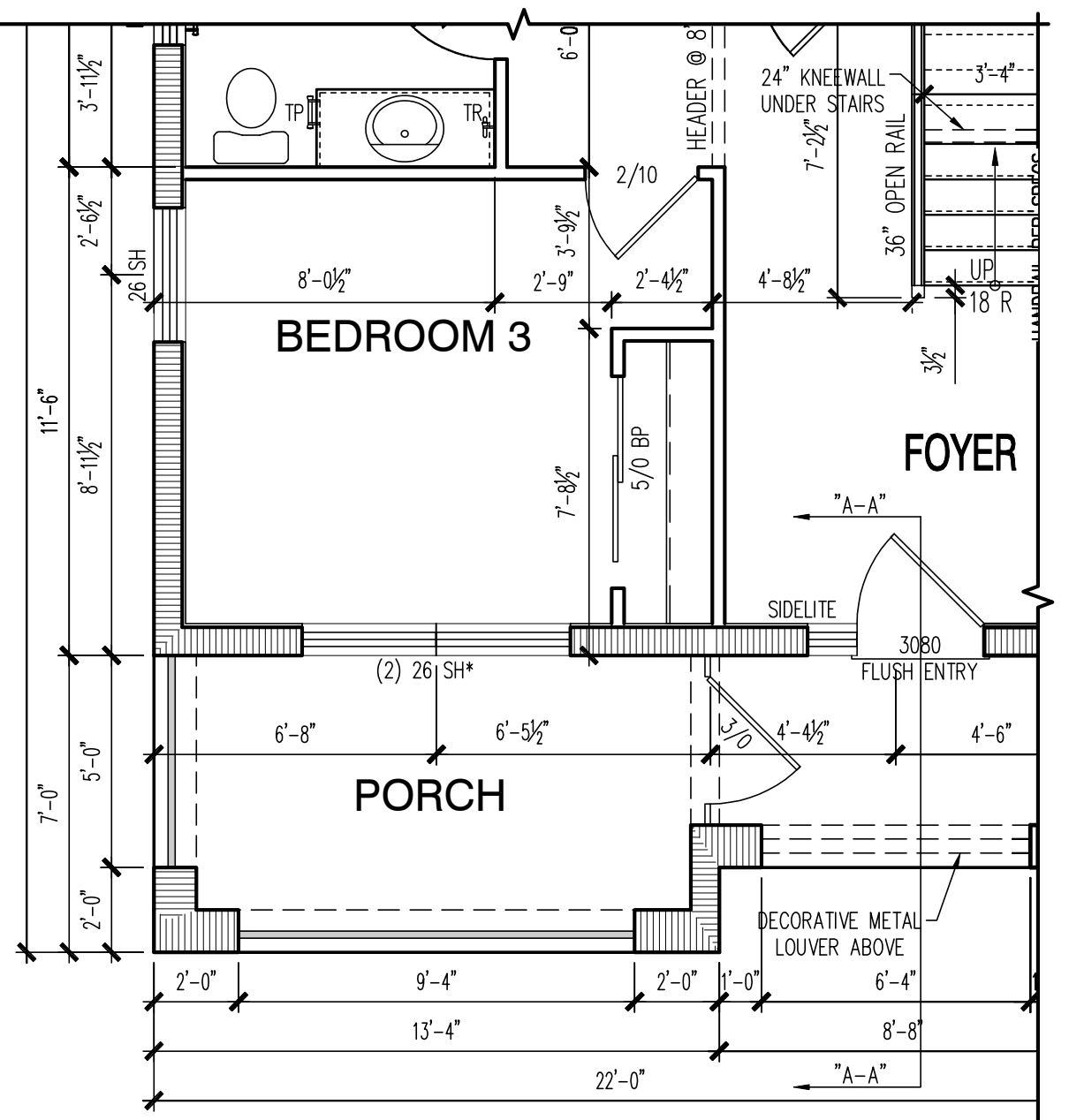
PLOTTED: May 17, 2024 / Mark Anderson / 22' NEW TOWNHOMES-ARCH-2024-05-17.DWG



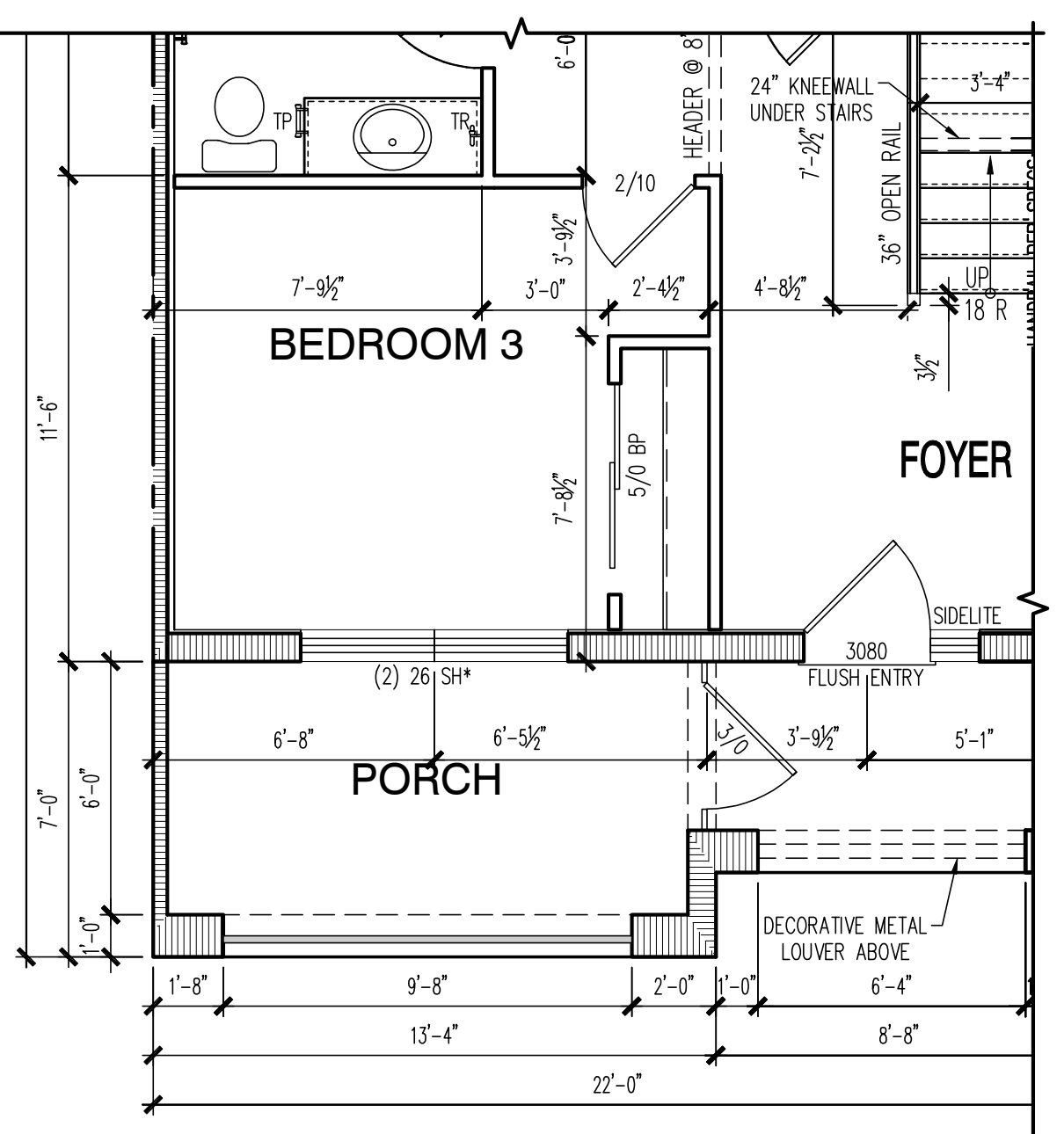
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SCALE: 1/4"=1'-0"



**1ST FLOOR PLAN - INT. UNIT**  
SCALE: 1/4"=1'-0"

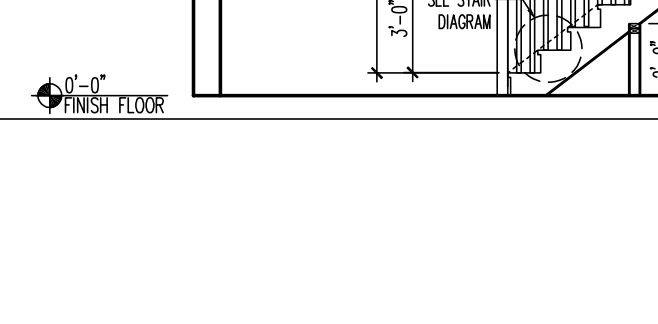
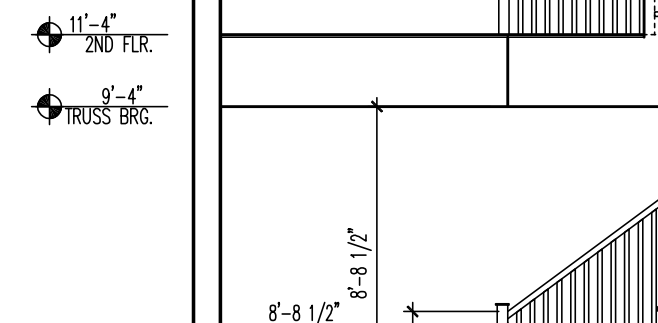
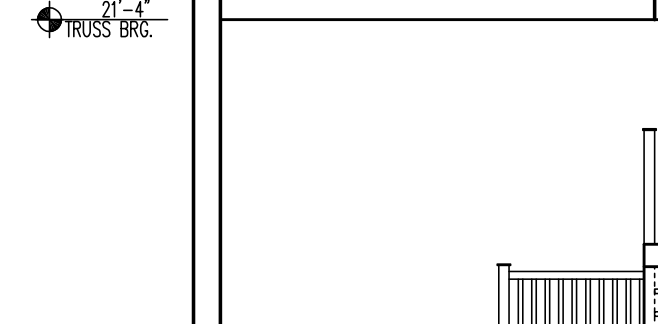
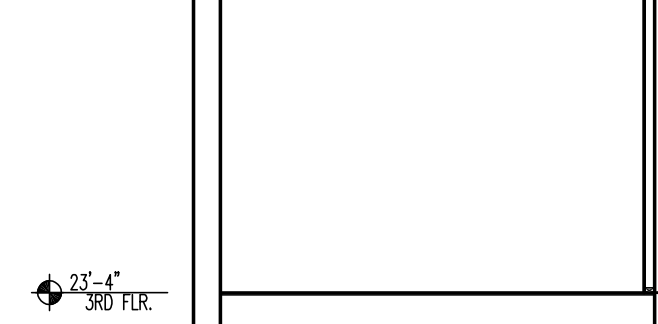
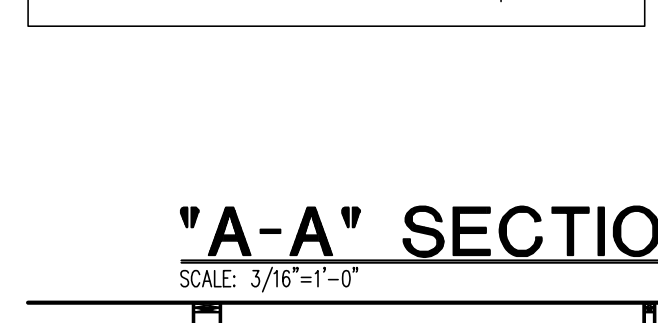
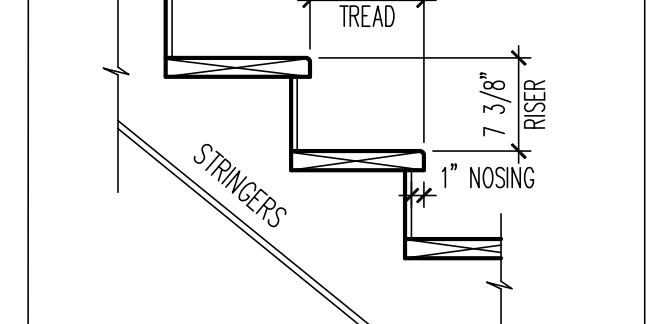
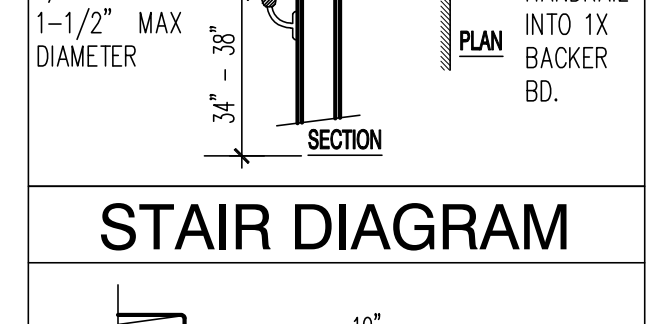
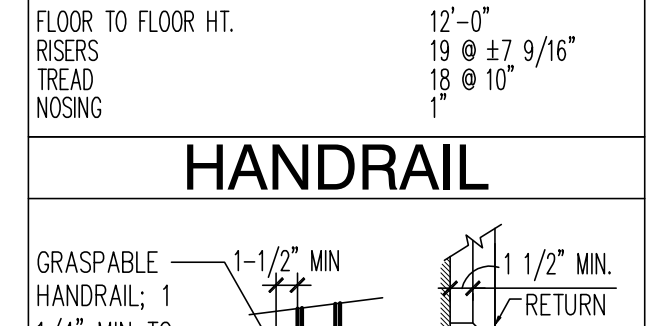
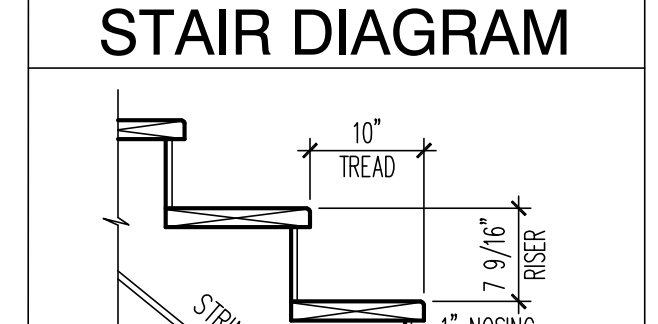
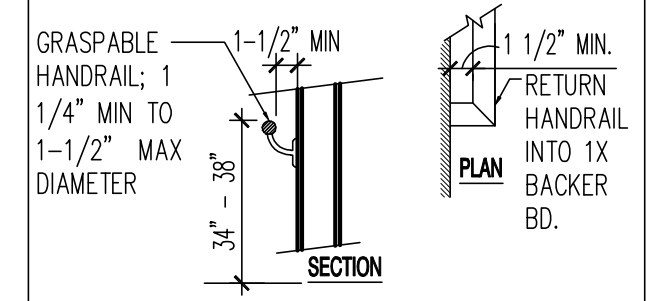
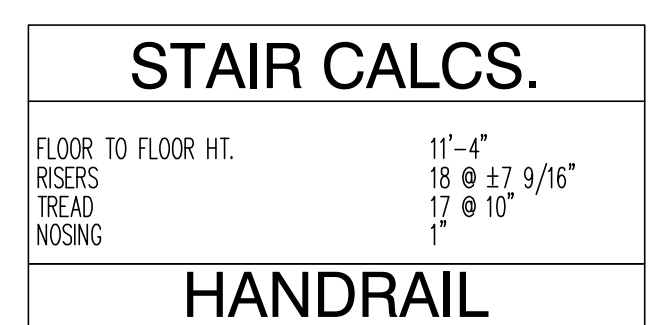


**OPT. SGD @ BEDROOM 3**  
SCALE: 1/4"=1'-0"



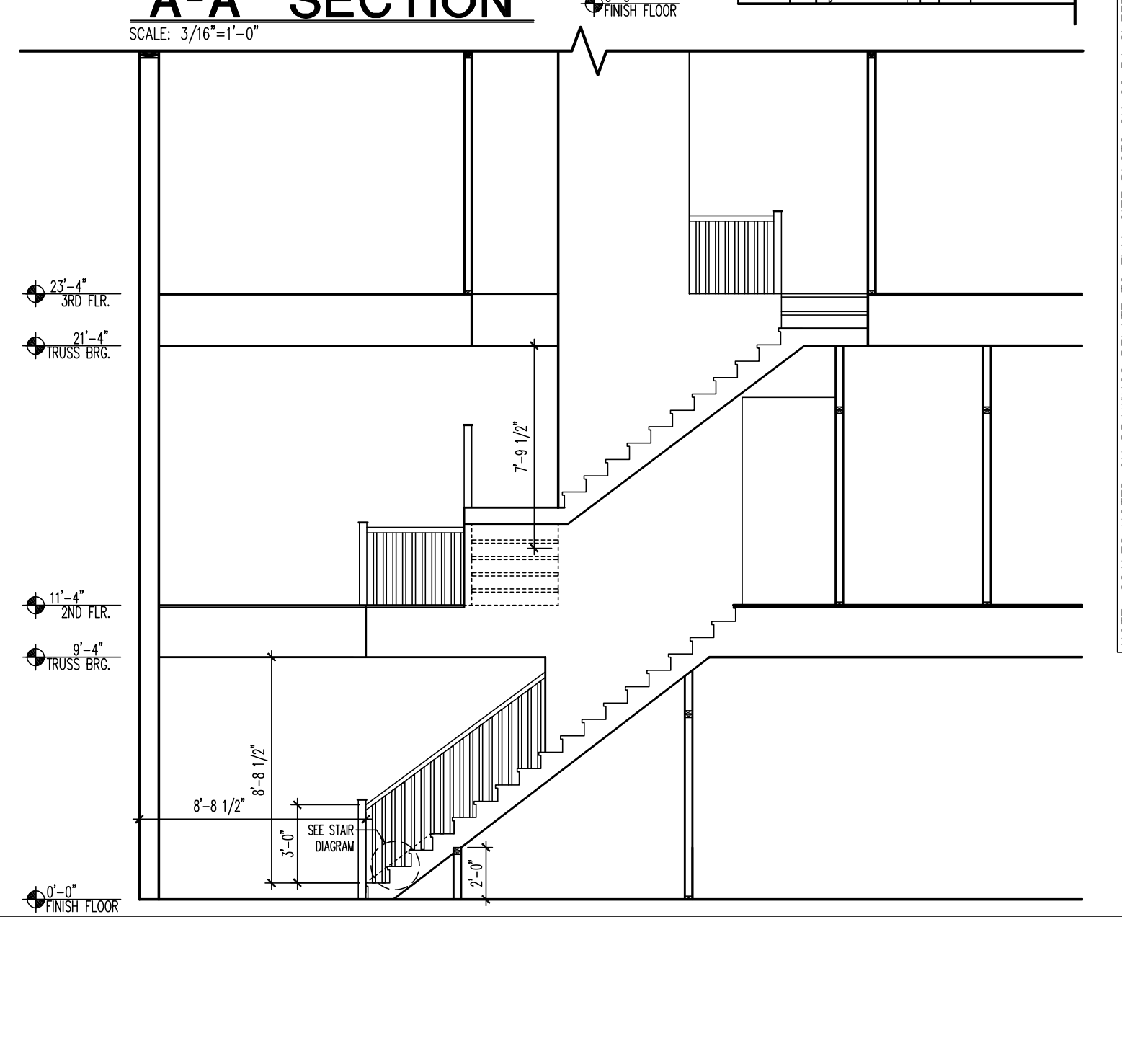
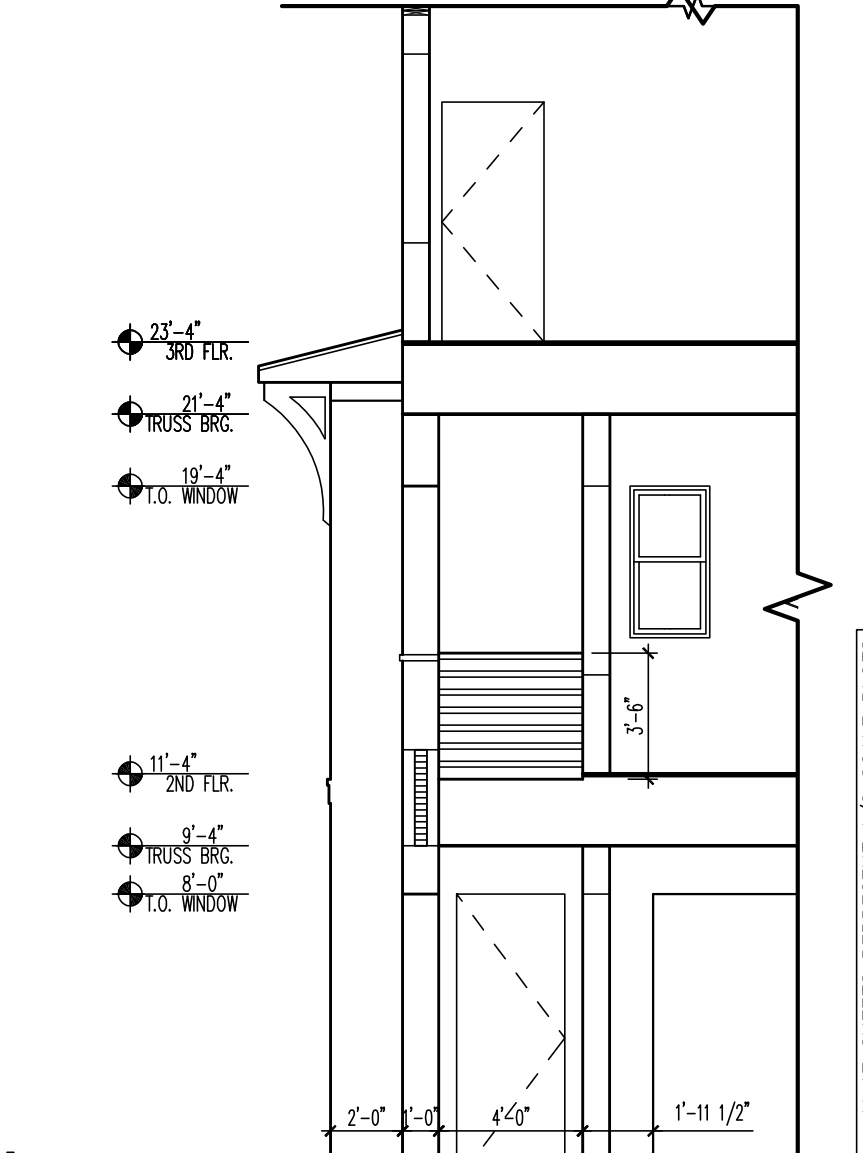
**OPT. BEDROOM 3 - END UNIT**  
SCALE: 1/4"=1'-0"

**OPT. BEDROOM 3 - INT. UNIT**  
SCALE: 1/4"=1'-0"



**LEGEND SYMBOLS**

- MASONRY - CONC. BLOCK OR BRICK WALL
- 2X FRAME WALL PER PLAN
- ELEVATION INDICATOR - ELEVATION NOTED IS RELATIVE TO FINISH FLOOR DATUM = 0'-0"
- 7-1/4" FRAME DOWN
- NOTES:
  - 1-FIELD SHALL VERIFY ALL MASONRY OPINGS.
  - 2-2ND FLOOR WINDOWS; ANY OPERABLE WINDOW THAT IS MORE THAN 7' ABOVE GRADE MUST COMPLY WITH R312.2.1 - MIN. 24" SILL HEIGHT.
  - 3-THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE, AS PER F.B.C. 302.6 AND IT SHOULD BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE THE GARAGE NOT LESS THAN 3/8" TYPE "X" GYP. BOARD OR EQUIVALENT. ALL WALLS AND CEILINGS WHICH ARE ADJACENT TO AIR CONDITIONED SPACE SHALL BE INSULATED PER ENERGY CALCULATIONS.
  - 4-INSTALL DRAFTSTOPPING IN FLOOR SYSTEM PER FBC R302.12. DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET AND SHALL DIVIDE THE AREA IN APPROXIMATELY EQUAL AREAS.
  - 5-SHOWER ENCLOSURES ARE REQUIRED TO BE TEMPERED PER FBC R308.4.5
  - 6-ALL GUARDRAILS TO BE MIN. 36" AFF W/MAXIMUM SPINDLE SPACING OF 4" PER FBC R312.
  - 7- EXTERIOR FRAME WALLS: 2x6 W/ TOP PLATE @ 9' HIGH OR 2x4 W/ TOP PLATE @ 8' HIGH
  - 8- ALL STANDARD INTERIOR HEADER HEIGHT SHALL BE 8'-0" A.F.F. (9' CEILING HT.) OR 6'-8" A.F.F. (8'-0" CEILING HEIGHT)
  - 9- PROVIDE MIN. 1/2" GYP. BOARD ON BOTTOM SIDE OF STAIRS PER FBC R302.7
  - 10- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20-MINUTES FIRE-RATED DOORS, AS PER R302.5.1.
  - 11- CEILINGS WITHOUT HABITABLE SPACE ABOVE: 1/2"-INCH SAG-RESISTANT GYPSUM CEILING BOARD SHALL BE USED FOR SPANS 24" O.C. PER R702.3.5



**STAIR SECTION**  
SCALE: 3/16"=1'-0"

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 NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

**FLORIDA ZONE**  
24311 Walden Center Dr., Suite 300  
Bonita Springs, Florida 34134 (239) 495-4800



22' New Townhomes  
FIRST FLOOR PLANS  
3 STORY

PRODUCTION MANAGER  
CONTROL DATE: 23/04/06  
REV # / DATE / DESCRIPTION

PROJECT TYPE  
**SF ATTACHED**

COMMUNITY NAME  
LAWSON COMMUNITY D

GARAGE HANDING

VERSION NUMBER  
10

PLAN NAME / NPC  
**Plan 1**  
3066.500  
**Plan 2**  
3067.500

LAWSON PLAN ID  
LEGACY PLAN NUMBER / NAME

SHEET  
**A1.1**

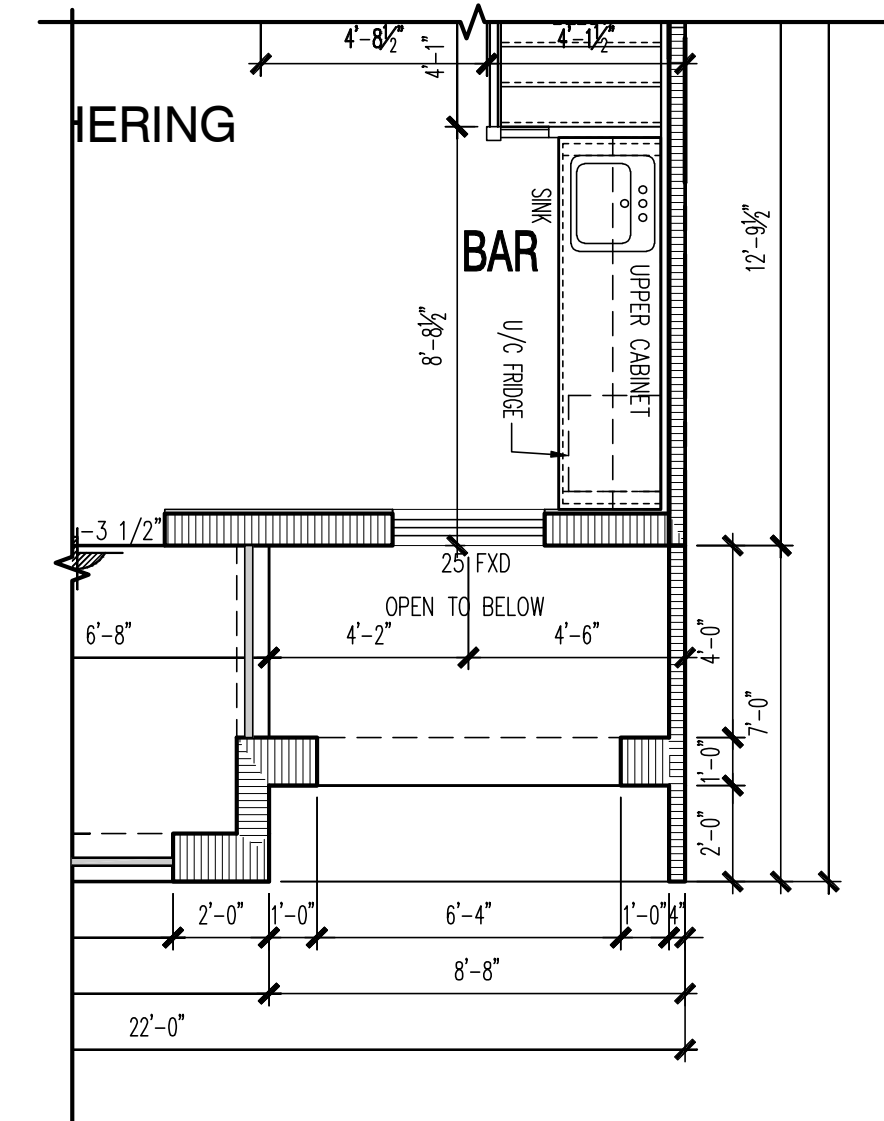
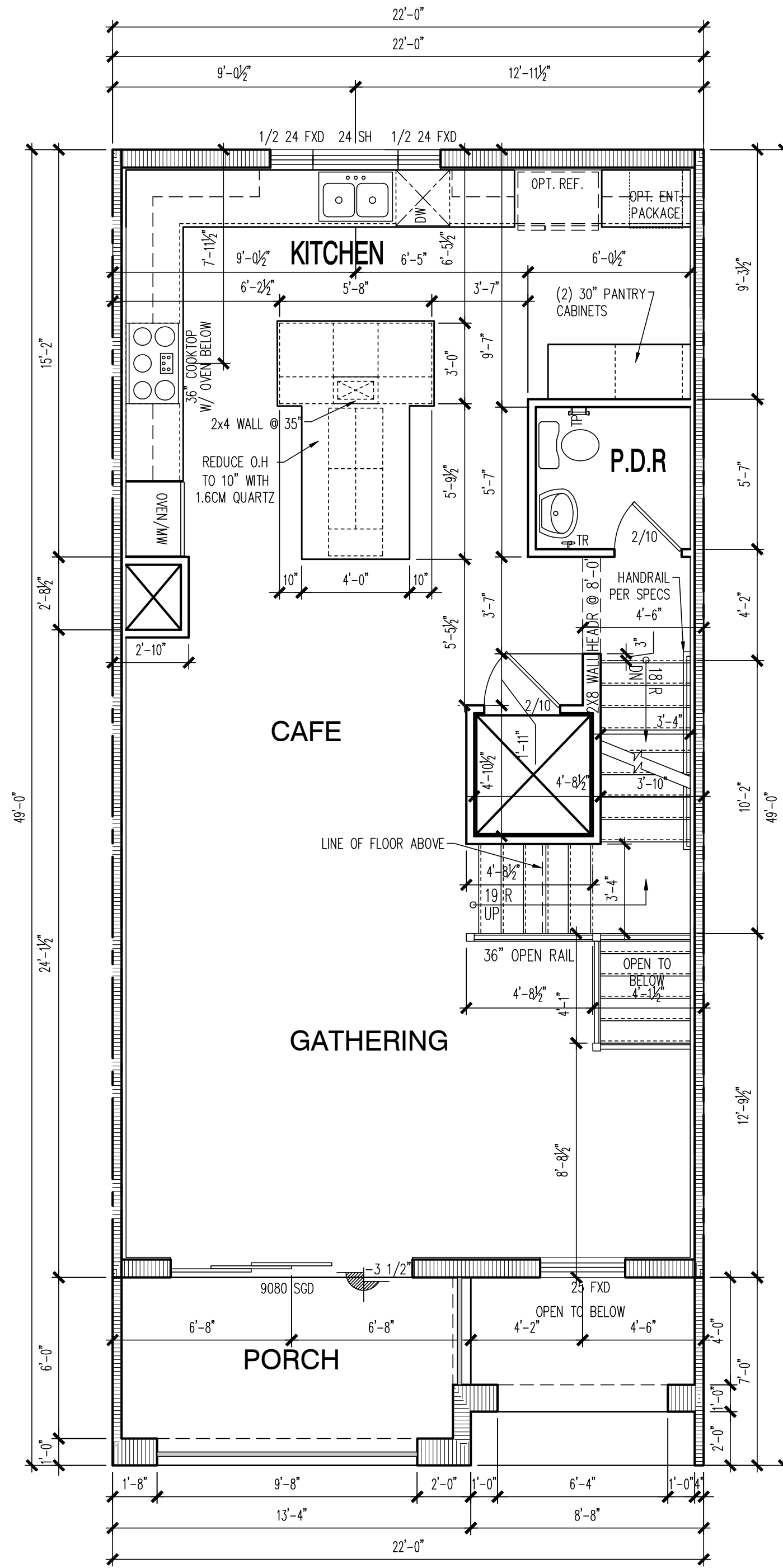
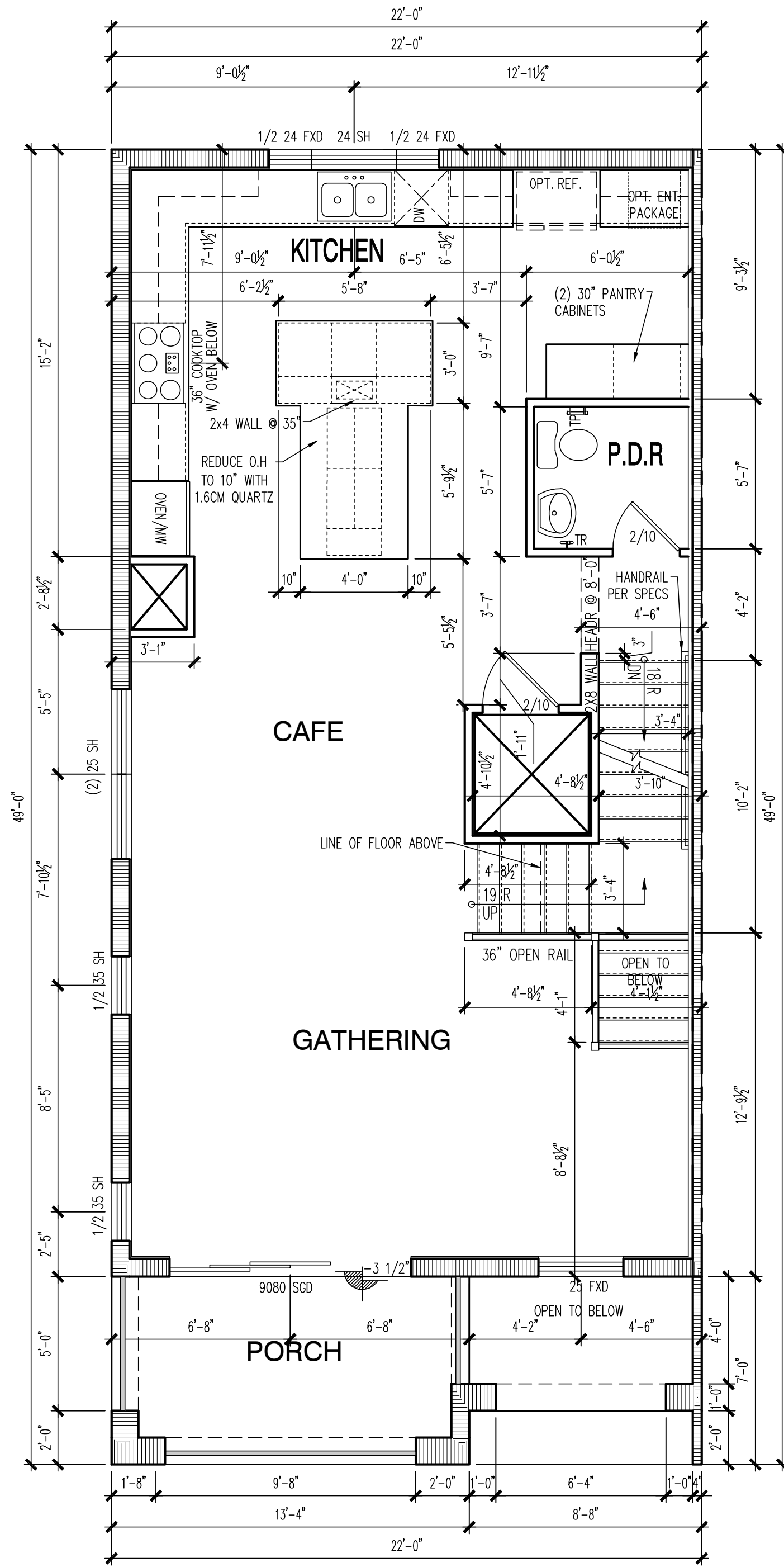
**BRENNAN ENGINEERING INC.**  
1600 S. DIXIE HWY. STE. 400  
BOCA RATON, FLORIDA 33432  
(561) 392-3748  
E.B. # 7686 P.E. # 72387

**VICTOR HERNANDEZ**  
FOR STRUCTURAL USE ONLY

E.B. # 7686 P.E. NO. 72387



PLOTTED: May 17, 2024 / Mark Anderson / 22' NEW TOWNHOMES-ARCH-2024-05-17.DWG



### LEGEND SYMBOLS

- MASONRY - CONC. BLOCK OR BRICK WALL
- 2X FRAME WALL PER PLAN
- ELEVATION INDICATOR - ELEVATION NOTED IS RELATIVE TO FINISH FLOOR DATUM = 0'-0"
- \* DENOTES EMERGENCY ESCAPE & RESCUE OPENING
- 7-1/4" DROPPED CEILING ARE TO BE FIELD FRAMED DOWN FROM THE BOTTOM OF THE TRUSSES 7-1/2" U.N.O.

NOTES:

- 1-FIELD SHALL VERIFY ALL MASONRY OPNGS.
- 2-2ND FLOOR WINDOWS; ANY OPERABLE WINDOW THAT IS MORE THAN 72" ABOVE GRADE MUST COMPLY WITH R312.2.1 - MIN. 24" SILL HEIGHT.
- 3-THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE, AS PER F.B.C. 302.6 AND IT SHOULD BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE THE GARAGE NOT LESS THAN 1" TYPE "X" GYP. BOARD OR EQUIVALENT. ALL WALLS AND CEILING WHICH ARE ADJACENT TO AIR CONDITIONED SPACE SHALL BE INSULATED PER ENERGY CALCULATIONS.
- 4-INSTALL DRAFTSTOPPING IN FLOOR SYSTEM PER FBC R302.12. DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET AND SHALL DIVIDE THE AREA IN APPROXIMATELY EQUAL AREAS.
- 5-SHOWER ENCLOSURES ARE REQUIRED TO BE TEMPERED PER FBC R308.4.5
- 6-ALL GUARDRAILS TO BE MIN. 36" AFF w/MAXIMUM SPINDLE SPACING OF 4" PER FBC R312.
- 7- EXTERIOR FRAME WALLS: 2x6 W/ TOP PLATE @ 9' HIGH OR 2x4 W/ TOP PLATE @ 8' HIGH
- 8- ALL STANDARD INTERIOR HEADER HEIGHT SHALL BE 8'-0" A.F.F. (9' CEILING HT.) OR 6'-8" A.F.F. (8'-0" CEILING HEIGHT)
- 9- PROVIDE MIN. 1/2" GYP. BOARD ON BOTTOM SIDE OF STAIRS PER FBC R302.7
- 10- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20-MINUTES FIRE-RATED DOORS, AS PER R302.5.1.
- 11- CEILING WITHOUT HABITABLE SPACE ABOVE: 1/2"-INCH SAG-RESISTANT GYPSUM CEILING BOARD SHALL BE USED FOR SPANS 24" O.C. PER R702.3.5

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

**FLORIDA ZONE**  
 24311 Walden Center Dr., Suite 300  
 Bonita Springs, Florida 34134 (239) 495-4800



22' New Townhomes  
 SECOND FLOOR PLANS  
 3 STORY

REV #	DATE / DESCRIPTION

PROJECT TYPE  
**SF ATTACHED**

COMMUNITY NAME  
 LAWSON COMMUNITY D

GARAGE HANDING

VERSION NUMBER  
**10**

PLAN NAME / NPC  
**Plan 1 3066.500**  
**Plan 2 3067.500**

LAWSON PLAN ID  
 LEGACY PLAN NUMBER / NAME

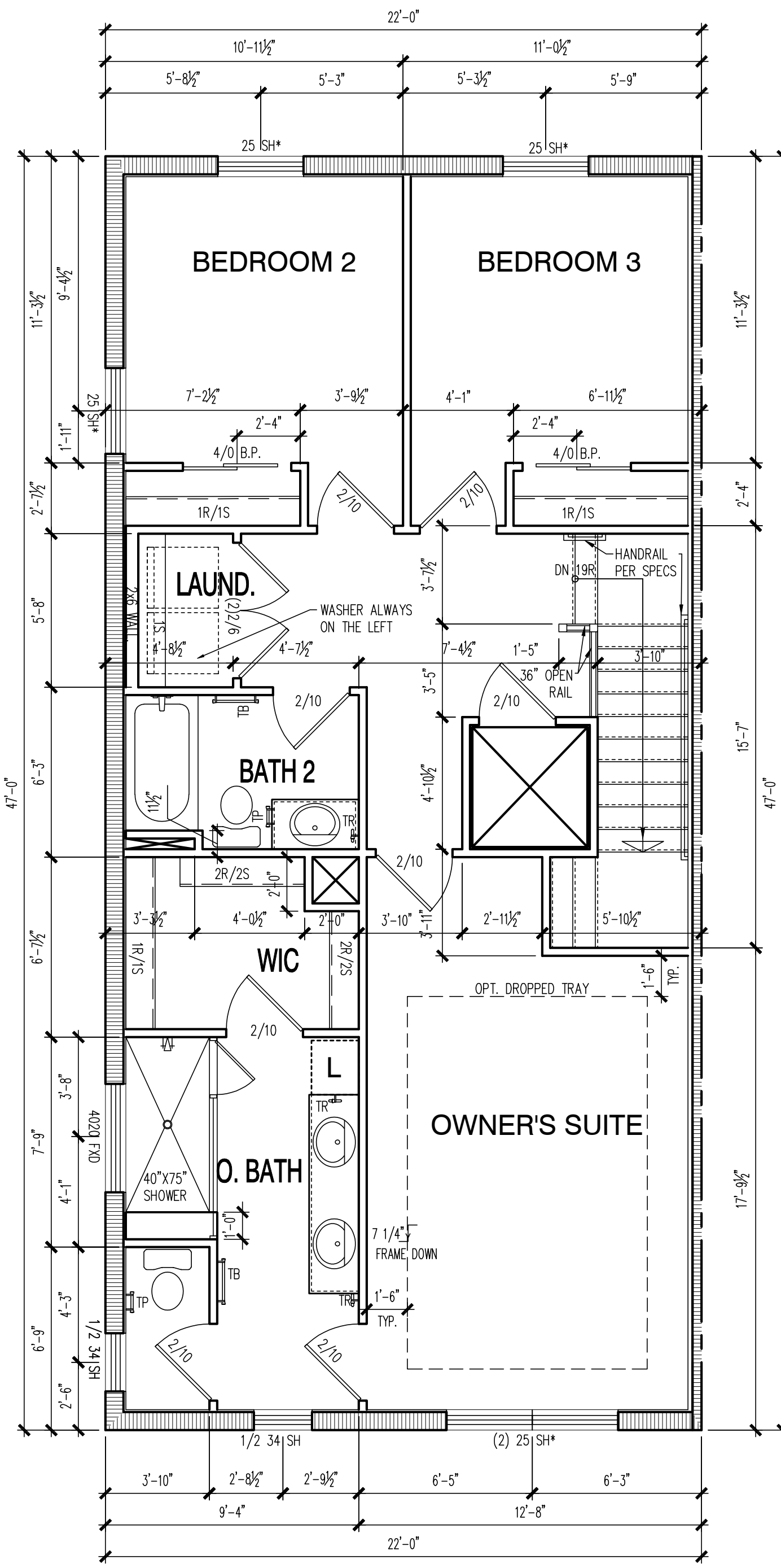
SHEET  
**A1.2**

**BRENNAN ENGINEERING INC.**  
 1620 S. DIKE HWY. STE 400  
 BOCA RATON, FLORIDA 33432  
 (561) 392-3748  
 E.B. # 7686 P.E. # 72387

**VICTOR HERNANDEZ**  
 FOR STRUCTURAL USE ONLY

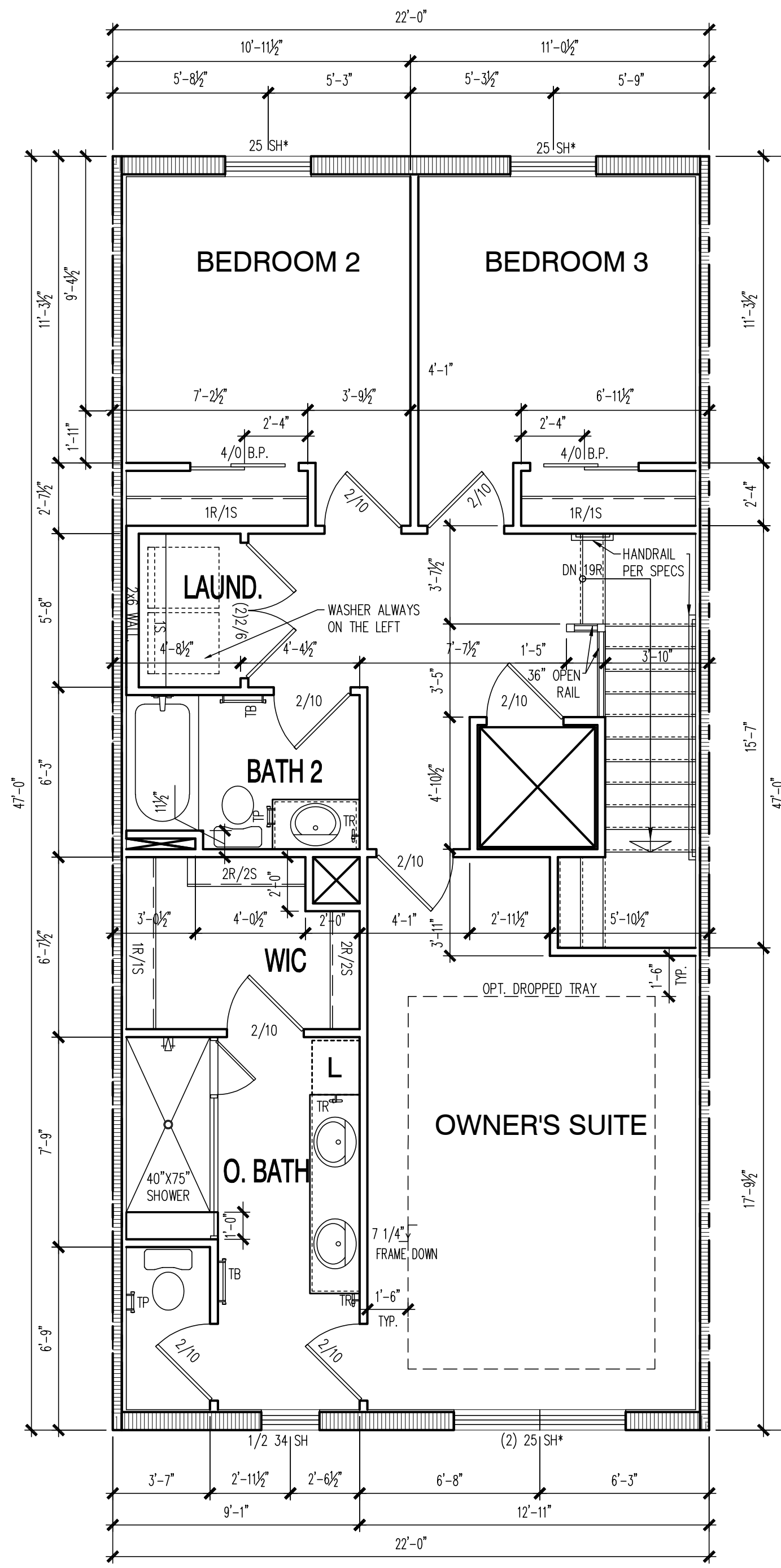
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PLOTTED: May 17, 2024 / Mark Anderson / 22' NEW TOWNHOMES-ARCH-2024-05-17.DWG



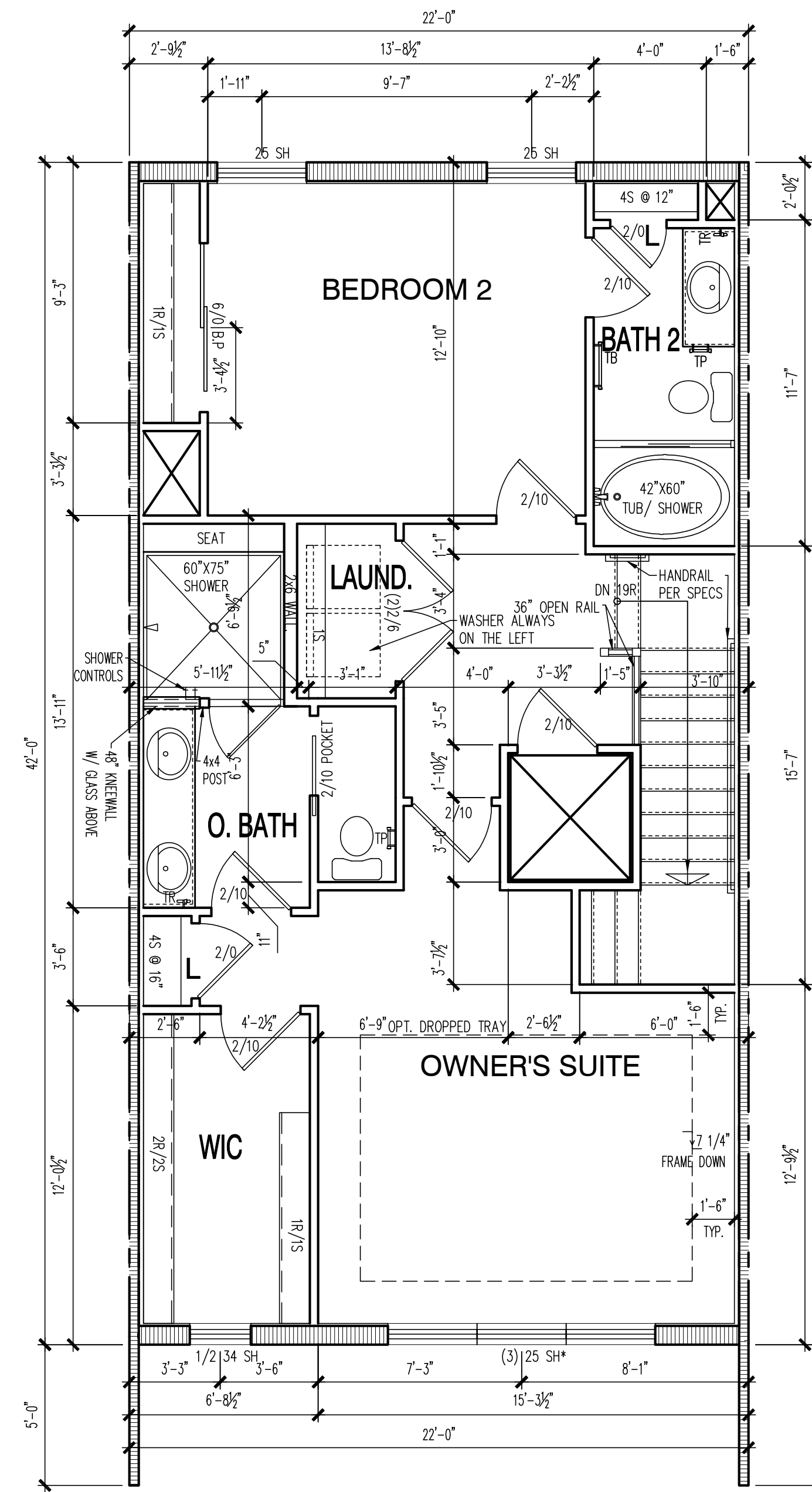
3RD FLOOR PLAN (PLAN #2 - END UNIT)

SCALE: 1/4"=1'-0"



3RD FLOOR PLAN (PLAN #2 - INTERIOR UNIT)

SCALE: 1/4"=1'-0"



3RD FLOOR (PLAN #1 - INTERIOR UNIT)

SCALE: 1/4"=1'-0"

LEGEND SYMBOLS

- MASONRY - CONC. BLOCK OR BRICK WALL
- 2X FRAME WALL PER PLAN
- ELEVATION INDICATOR - ELEVATION NOTED IS RELATIVE TO FINISH FLOOR DATUM = 0'-0"
- 7-1/4" FRAME DOWN
- DROPPED CEILINGS ARE TO BE FIELD FRAMED DOWN FROM THE BOTTOM OF THE TRUSSES 7-1/2" U.N.O.
- DENOTES EMERGENCY ESCAPE & RESCUE OPENING

- NOTES:
- FIELD SHALL VERIFY ALL MASONRY OPNGS.
  - 2ND FLOOR WINDOWS: ANY OPERABLE WINDOW THAT IS MORE THAN 72" ABOVE GRADE MUST COMPLY WITH R312.2.1 - MIN. 24" SILL HEIGHT.
  - THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE, AS PER F.B.C. 302.6 AND IT SHOULD BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE THE GARAGE NOT LESS THAN 1" TYPE "X" GYP. BOARD OR EQUIVALENT. ALL WALLS AND CEILINGS WHICH ARE ADJACENT TO AIR CONDITIONED SPACE SHALL BE INSULATED PER ENERGY CALCULATIONS.
  - INSTALL DRAFTSTOPPING IN FLOOR SYSTEM PER FBC R302.12. DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET AND SHALL DIVIDE THE AREA IN APPROXIMATELY EQUAL AREAS.
  - SHOWER ENCLOSURES ARE REQUIRED TO BE TEMPERED PER FBC R308.4.5
  - ALL GUARDRAILS TO BE MIN. 36" AFF W/MAXIMUM SPINDLE SPACING OF 4" PER FBC R312.
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  - CEILINGS WITHOUT HABITABLE SPACE ABOVE: 1/2"-INCH SAG-RESISTANT GYPSUM CEILING BOARD SHALL BE USED FOR SPANS 24" O.C. PER R702.3.5

**FLORIDA ZONE**  
 24311 Walden Center Dr., Suite 300  
 Bonita Springs, Florida 34134 (239) 495-4800



22' New Townhomes  
 THIRD FLOOR PLANS  
 3 STORY

PRODUCTION MANAGER
CONTROL DATE: 23/04/06
REV # / DATE / DESCRIPTION

PROJECT TYPE: SF ATTACHED

COMMUNITY NAME: LAWSON COMMUNITY D

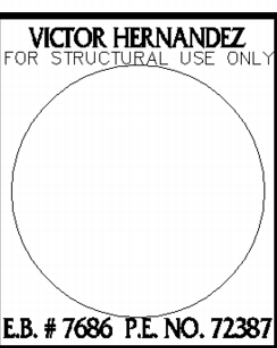
GARAGE HANDING: -

VERSION NUMBER: 1.0

PLAN NAME / NPC  
 Plan 1 3066.500  
 Plan 2 3067.500


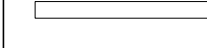
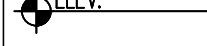

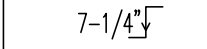
LAWSON PLAN ID: LEGACY PLAN NUMBER / NAME

SHEET: A1.3



E.B. # 7686 P.E. NO. 72387

### LEGEND SYMBOLS

-  MASONRY - CONC. BLOCK OR BRICK WALL
-  2X FRAME WALL PER PLAN
-  ELEV. ELEVATION INDICATOR - ELEVATION NOTED IS RELATIVE TO FINISH FLOOR DATUM = 0'-0"
-  \* DENOTES EMERGENCY ESCAPE & RESCUE OPENING
-  7-1/4" FRAME DOWN DROPPED CEILINGS ARE TO BE FIELD FRAMED DOWN FROM THE BOTTOM OF THE TRUSSES 7-1/2" U.N.O.

- NOTES:**
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  - 2-2ND FLOOR WINDOWS; ANY OPERABLE WINDOW THAT IS MORE THAN 72" ABOVE GRADE MUST COMPLY WITH R312.2.1 - MIN. 24" SILL HEIGHT.
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  - 4-INSTALL DRAFTSTOPPING IN FLOOR SYSTEM PER FBC R302.12. DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET AND SHALL DIVIDE THE AREA IN APPROXIMATELY EQUAL AREAS.
  - 5-SHOWER ENCLOSURES ARE REQUIRED TO BE TEMPERED PER FBC R308.4.5
  - 6-ALL GUARDRAILS TO BE MIN. 36" AFF W/MAXIMUM SPINDLE SPACING OF 4" PER FBC R312.
  - 7- EXTERIOR FRAME WALLS: 2x6 W/ TOP PLATE @ 9' HIGH OR 2x4 W/ TOP PLATE @ 8' HIGH
  - 8- ALL STANDARD INTERIOR HEADER HEIGHT SHALL BE 8'-0" A.F.F. (9' CEILING HT.) OR 6'-8" A.F.F. (8'-0" CEILING HEIGHT)
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  - 10- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20-MINUTES FIRE-RATED DOORS, AS PER R302.5.1.
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**FLORIDA ZONE**  
 24311 Walden Center Dr., Suite 300  
 Bonita Springs, Florida 34134 (239) 495-4800



22' New Townhomes  
 THIRD FLOOR PLANS  
 3 STORY

REV #	DATE / DESCRIPTION

PROJECT TYPE  
**SF ATTACHED**

COMMUNITY NAME  
 LAWSON COMMUNITY D

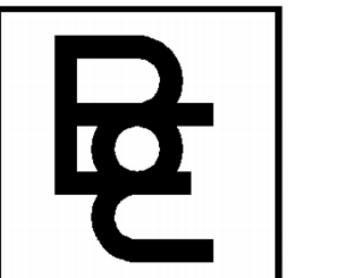
GARAGE HANDING  
 -

VERSION NUMBER  
**1.0**


PLAN NAME / NPC  
**Plan 1**  
 3066.500  
**Plan 2**  
 3067.500

LAWSON PLAN ID  
 LEGACY PLAN NUMBER / NAME

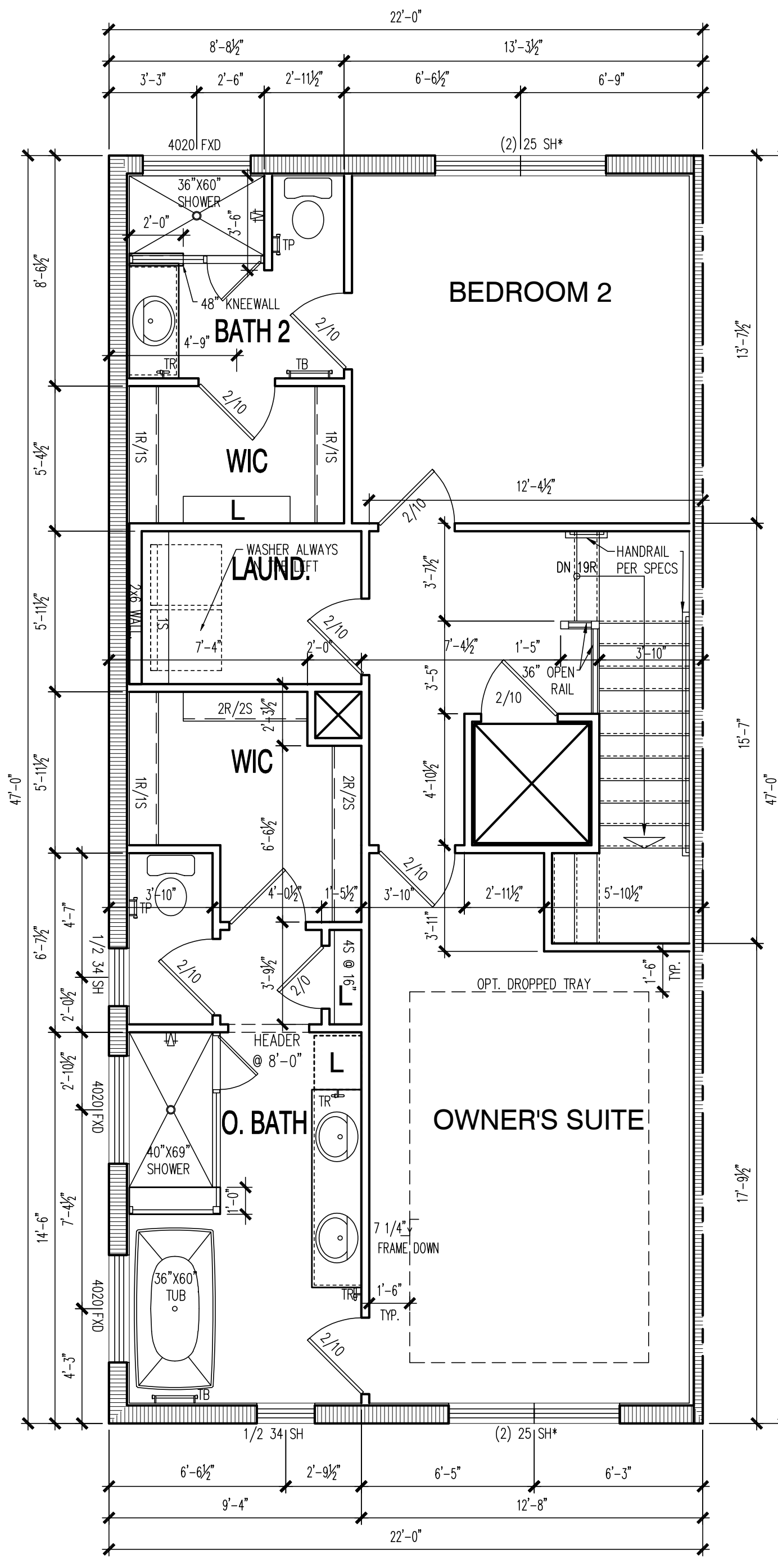
SHEET  
**A13.1**



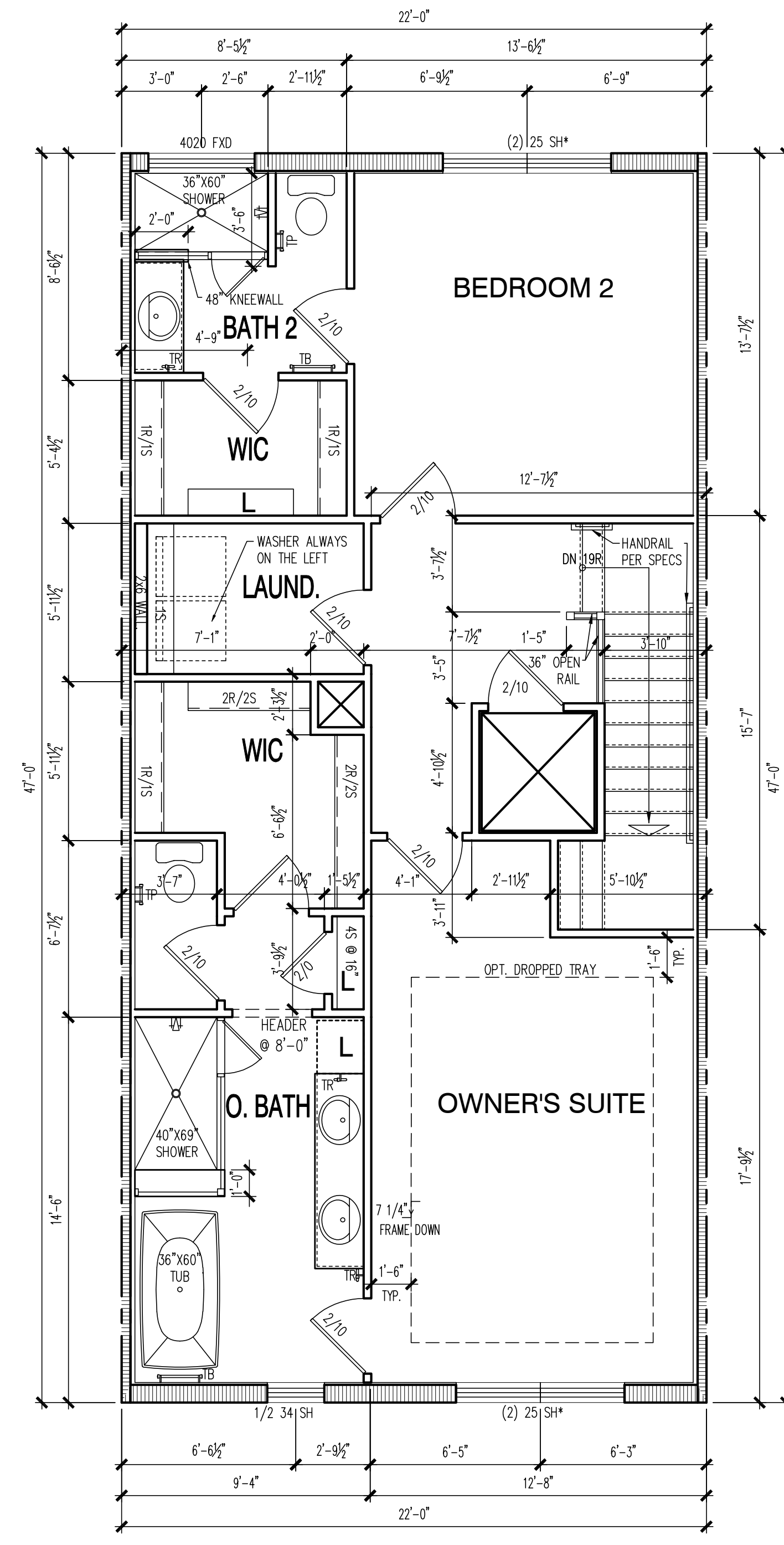
**BRENNAN ENGINEERING INC.**  
 1600 S. DIXIE HWY. STE. 400  
 BOCA RATON, FLORIDA 33432  
 (561) 392-3740  
 E.B. # 7688 P.E. # 72387



**VICTOR HERNANDEZ**  
 FOR ARCHITECTURAL USE ONLY  
 E.B. # 7686 P.E. NO. 72387



**OPT. DUAL OWNER'S SUITE (PLAN #2 - END UNIT)**  
 SCALE: 1/4"=1'-0"



**OPT. DUAL OWNER'S SUITE (PLAN #2 - INTERIOR UNIT)**  
 SCALE: 1/4"=1'-0"

PLOTTED: May 17, 2024 / Mark Anderson / 22' NEW TOWNHOMES-ARCH-2024-05-17.DWG

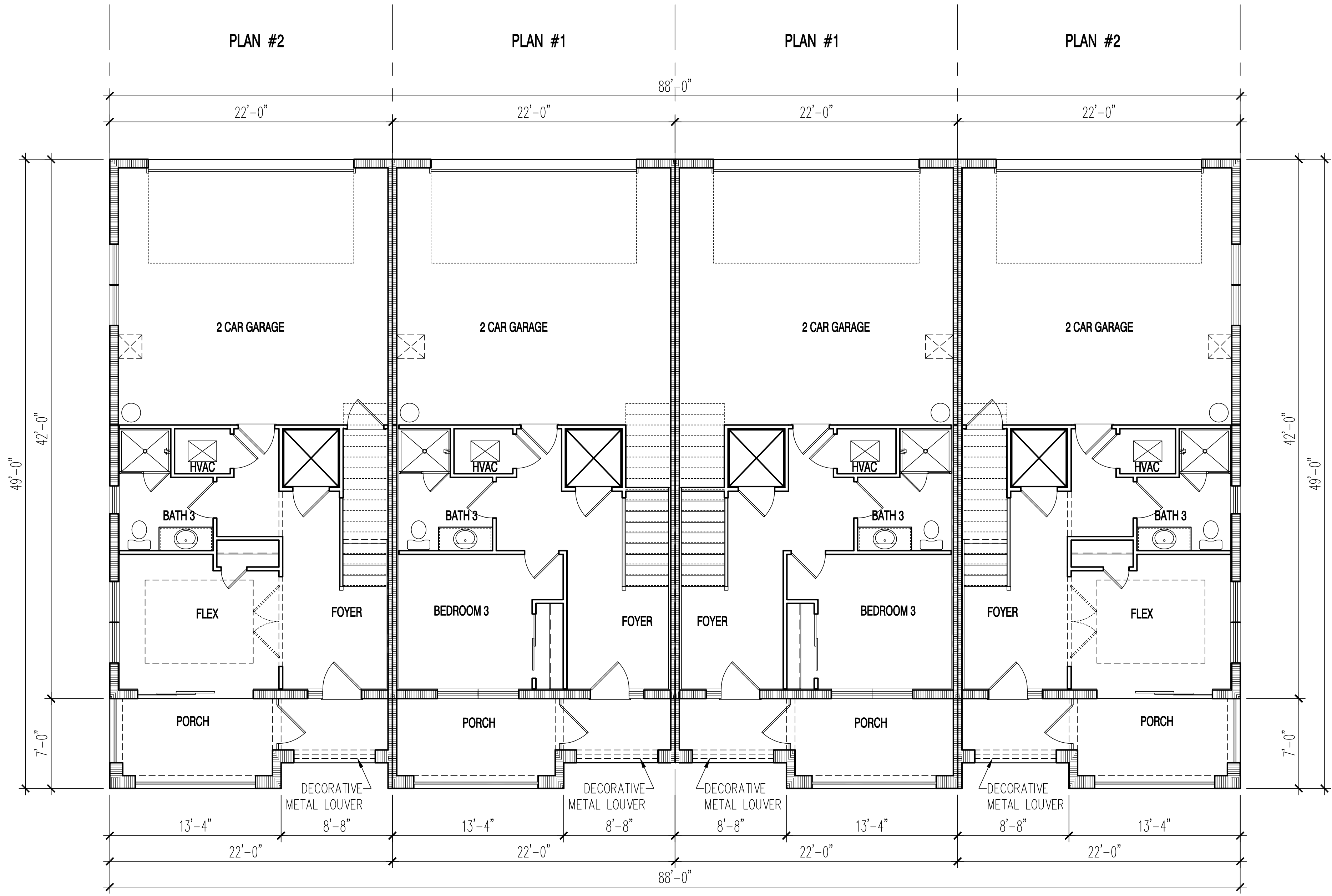
NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS  
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**LEGEND SYMBOLS**

- MASONRY - CONC. BLOCK OR BRICK WALL
- WOOD FRAME WALL
- 2-HOUR FIRE RATED WALL - SEE DETAIL
- ELEV. ELEVATION INDICATOR - ELEVATION NOTED IS RELATIVE TO FINISH FLOOR DATUM = 0'-0"

\* DENOTES EMERGENCY ESCAPE & RESCUE OPENING  
NOTE: FIELD SHALL VERIFY ALL MASONRY OPENINGS.



**FIRST FLOOR  
BUILDING PLAN (4-UNIT)**  
SCALE: 3/16"=1'-0"

**FLORIDA ZONE**  
24311 Walden Center Dr., Suite 300  
Bonita Springs, Florida 34134 (239) 495-4800



22' New Townhomes  
4-UNIT BUILDING PLAN  
3 STORY - 4 UNIT CONFIGURATION #2

REV #	DATE / DESCRIPTION

PROJECT TYPE  
**SF ATTACHED**

COMMUNITY NAME  
LAWSON COMMUNITY ID

CARAGE HANDING

VERSION NUMBER  
**1.0**

PLAN NAME / NPC  
**Plan 1**  
3066.500  
**Plan 2**  
3067.500

LAWSON PLAN ID  
LEGACY PLAN NUMBER / NAME

SHEET  
**B4.1-4 UNIT**

**BRENNAN  
ENGINEERING INC.**  
1620 S. DIXIE HWY. STE. 400  
BOCA RATON, FLORIDA 33432  
(561) 392-3748  
E.B. # 7686 P.E. # 72387

**VICTOR HERNANDEZ**  
FOR STRUCTURAL P.E. ONLY  
E.B. # 7686 P.E. NO. 72387

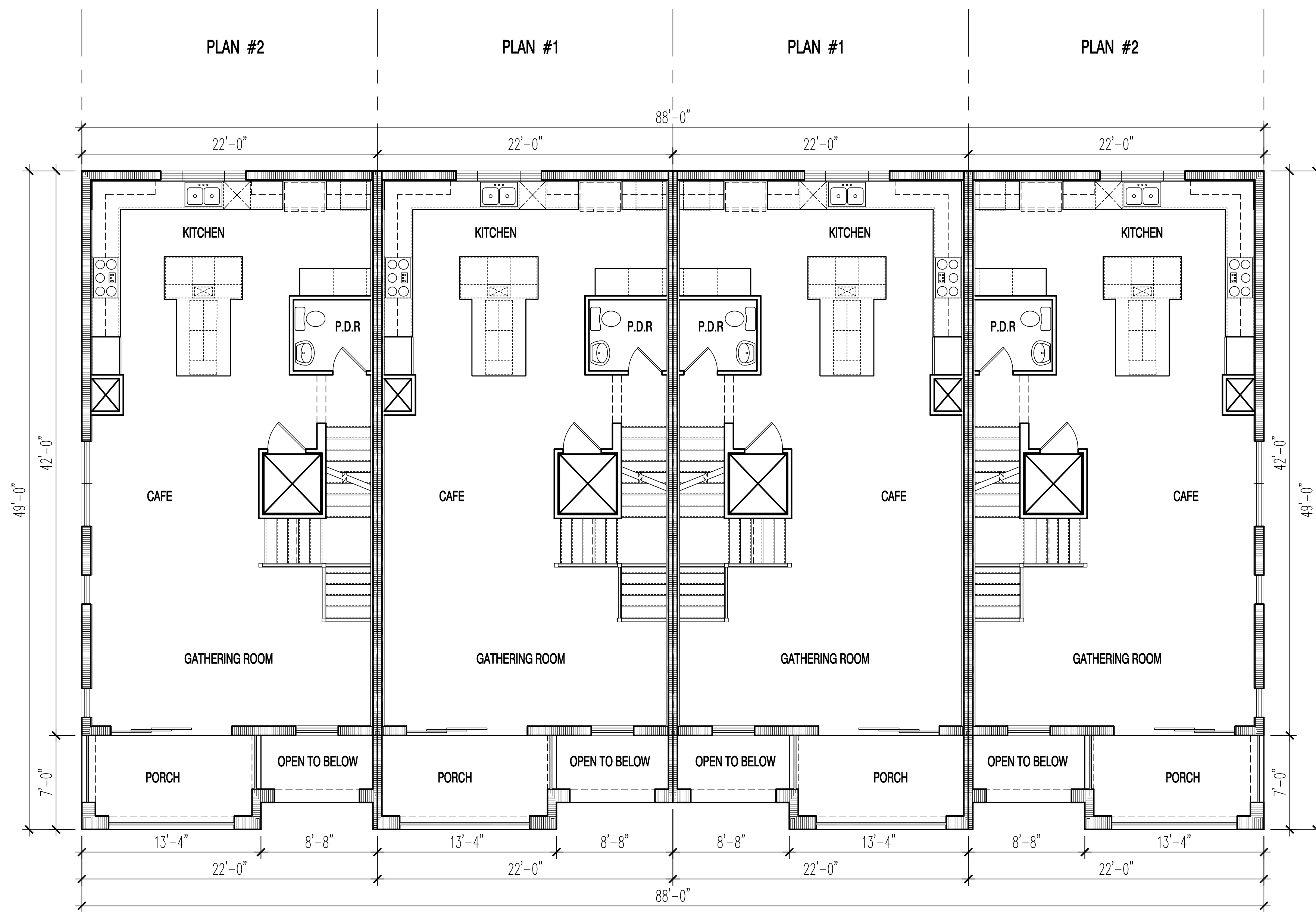
PLOTED: May 17, 2024 / Mark Anderson / 22' NEW TOWNHOMES-ARCH-2024-05-17.DWG

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

### LEGEND SYMBOLS

- MASONRY - CONC. BLOCK OR BRICK WALL
- WOOD FRAME WALL
- 2-HOUR FIRE RATED WALL - SEE DETAIL
- ELEVATION INDICATOR - ELEVATION NOTED IS RELATIVE TO FINISH FLOOR DATUM = 0'-0"

\* DENOTES EMERGENCY ESCAPE & RESCUE OPENING  
NOTE: FIELD SHALL VERIFY ALL MASONRY OPENINGS.



**SECOND FLOOR  
BUILDING PLAN (4-UNIT)**  
SCALE: 3/16" = 1'-0"

PLOTTED: May 17, 2024 / Mark Anderson / 22' NEW TOWNHOMES-ARCH-2024-05-17.DWG

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Bonita Springs, Florida 34134 (239) 495-4800



22' New Townhomes  
4-UNIT BUILDING PLAN  
3 STORY - 4 UNIT CONFIGURATION #2

PRODUCTION MANAGER  
CONTROL DATE: 23/04/06

REV #	DATE / DESCRIPTION

PROJECT TYPE  
**SF ATTACHED**

COMMUNITY NAME  
LAWSON COMMUNITY ID

CARAGE HANDING

VERSION NUMBER  
**1.0**

PLAN NAME / NPC  
**Plan 1**  
3066.500  
**Plan 2**  
3067.500

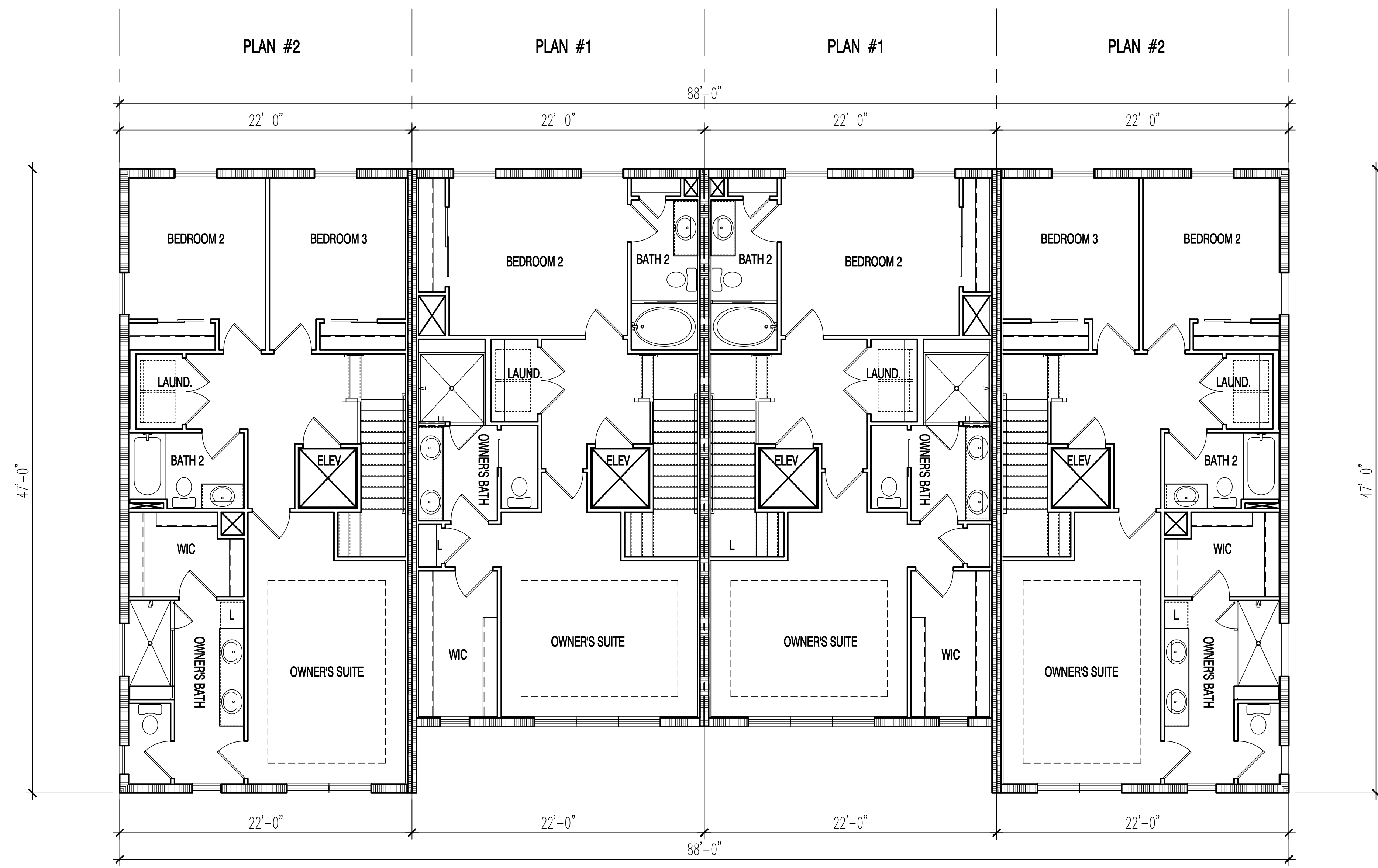
LAWSON PLAN ID  
LEGACY PLAN NUMBER / NAME

SHEET  
**B4.2-4 UNIT**

**BRENNAN  
ENGINEERING INC.**  
1620 S. DIXIE HWY. STE 400  
BOCA RATON, FLORIDA 33432  
(561) 392-3748  
E.B. # 7686 P.E. # 72387

**VICTOR HERNANDEZ**  
FOR STRUCTURAL P.E. ONLY  
E.B. # 7686 P.E. NO. 72387

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



**THIRD FLOOR  
BUILDING PLAN (4-UNIT)**

SCALE: 3/16"=1'-0"

PLOTTED: May 17, 2024 / Mark Anderson / 22' NEW TOWNHOMES-ARCH-2024-05-17.DWG

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Bonita Springs, Florida 34134 (239) 495-4800



22' New Townhomes  
4-UNIT ELEVATIONS  
3 STORY - 4 UNIT CONFIGURATION #1

PRODUCTION MANAGER
CONTROL DATE: 23/04/06
REV # / DATE / DESCRIPTION

PROJECT TYPE  
**SF ATTACHED**

COMMUNITY NAME  
LAWSON COMMUNITY D

CARAGE HANDING  
-

VERSION NUMBER  
1.0

PLAN NAME / NPC  
**Plan 1**  
3066.500  
**Plan 2**  
3067.500

LAWSON PLAN ID  
LEGACY PLAN NUMBER / NAME

SHEET  
**B4.3-4 UNIT**

**BRENNAN ENGINEERING INC.**  
1600 S. DIXIE HWY. STE 400  
BOCA RATON, FLORIDA 33432  
(561) 392-3748  
E.B. # 7686 P.E. # 72387

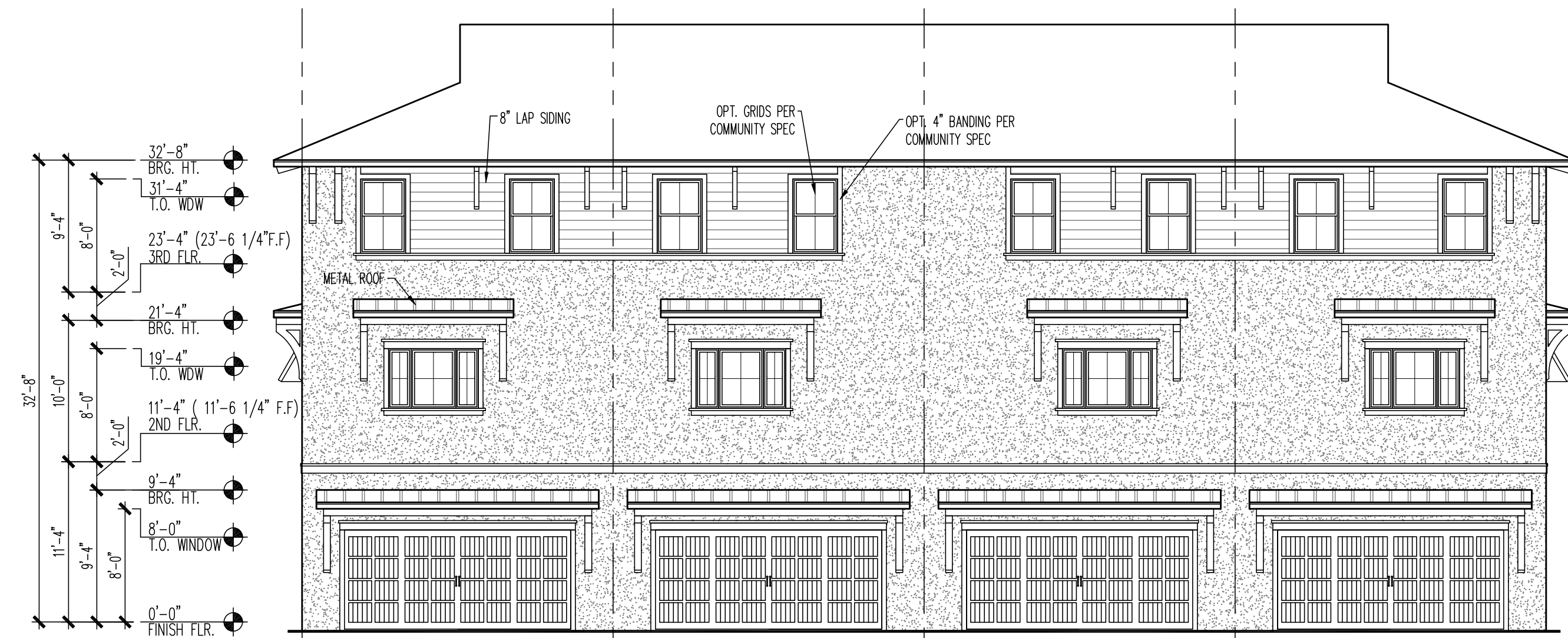
**VICTOR HERNANDEZ**  
FOR STRUCTURAL USE ONLY  
E.B. # 7686 P.E. NO. 72387





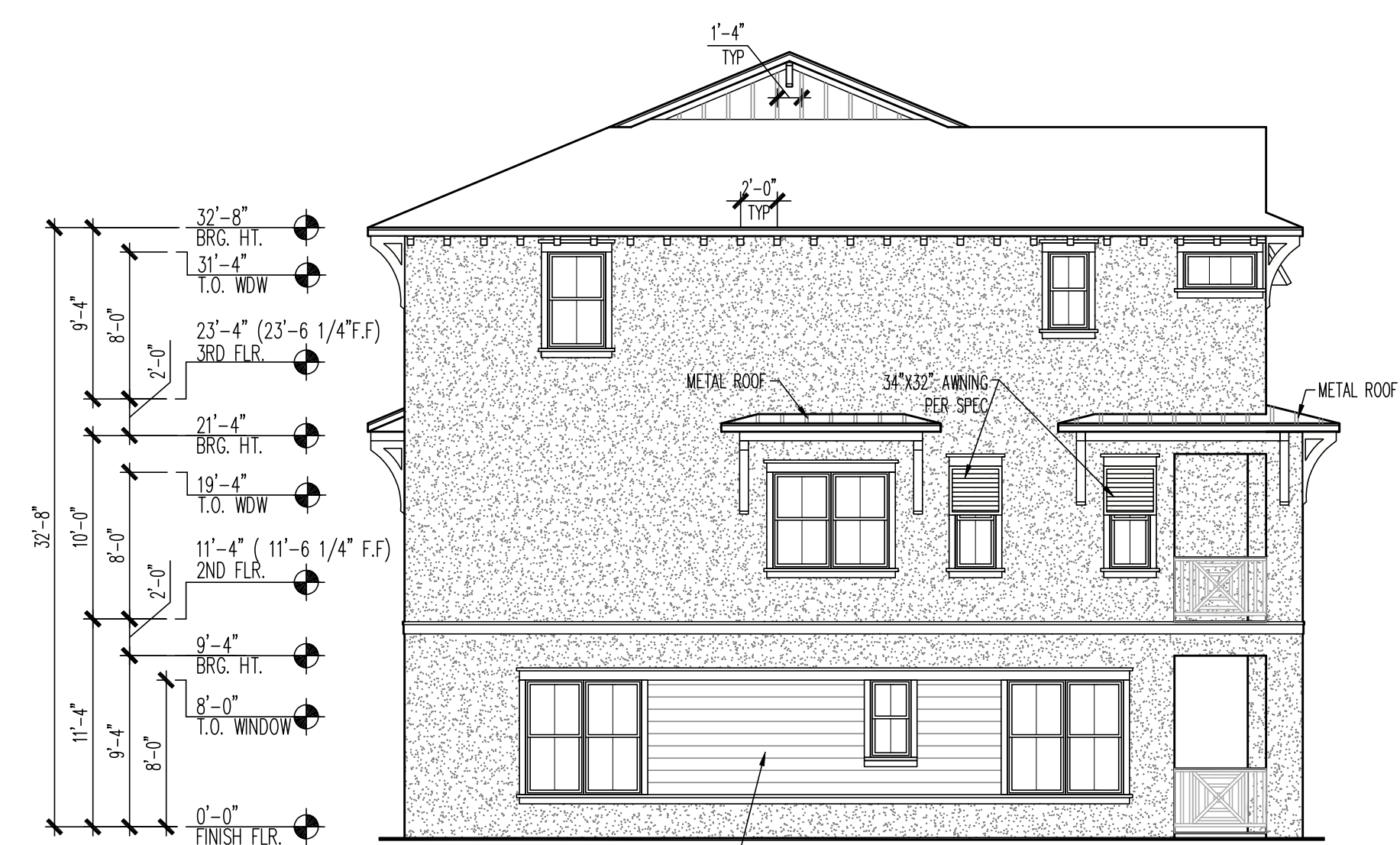
FRONT ELEVATION-4-UNIT BUILDING-CO2

SCALE: 1/8"=1'-0"



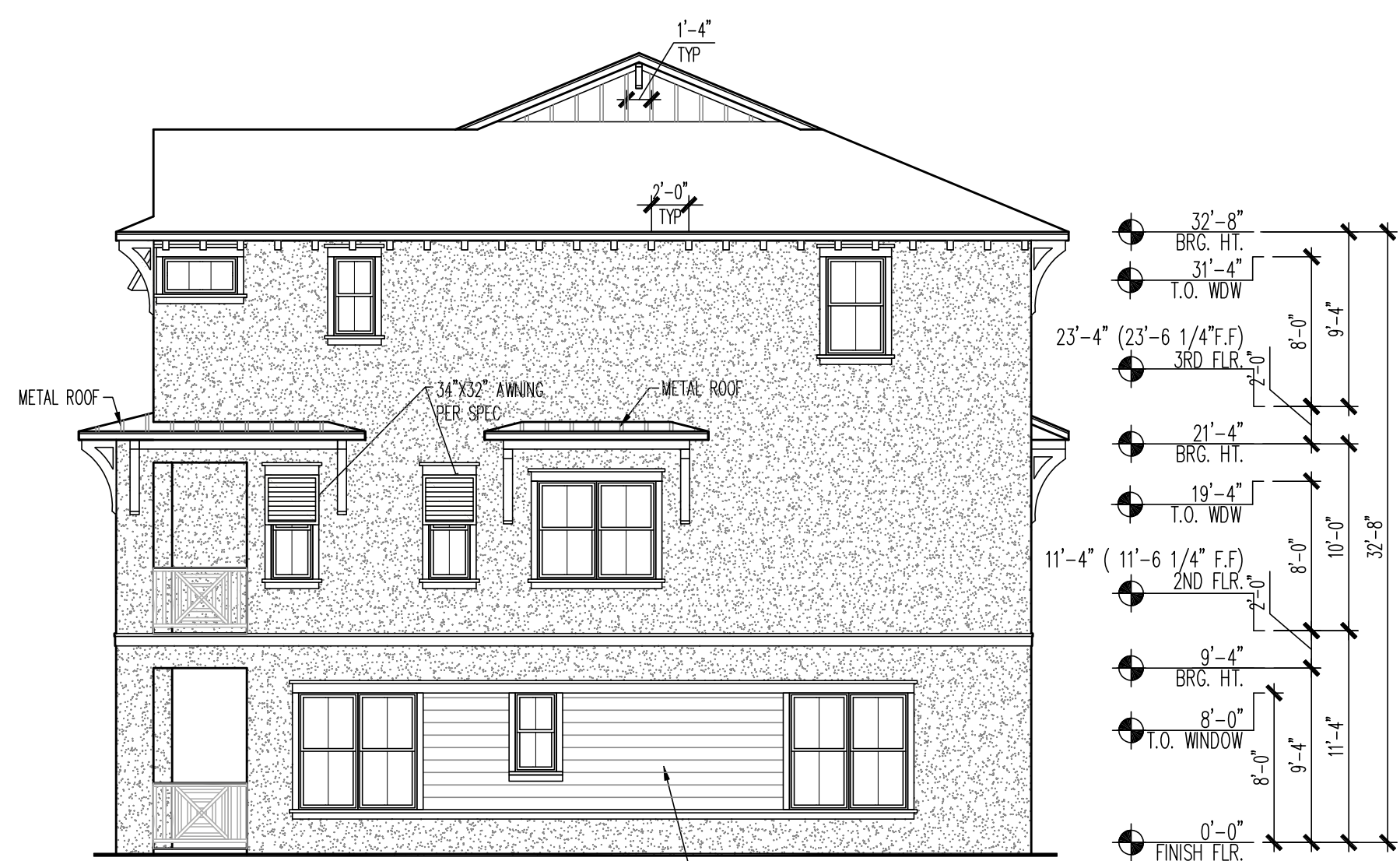
REAR ELEVATION-4-UNIT BUILDING

SCALE: 1/8"=1'-0"



LEFT ELEVATION-4-UNIT BUILDING

SCALE: 1/8"=1'-0"



RIGHT ELEVATION-4-UNIT BUILDING

SCALE: 1/8"=1'-0"

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22' New Townhomes  
 4-UNIT ELEVATIONS  
 3 STORY - 4 UNIT CONFIGURATION #2

PRODUCTION MANAGER	
CONTROL DATE:	23/04/06
REV #	DATE / DESCRIPTION

PROJECT TYPE

SF ATTACHED

COMMUNITY NAME

LAWSON COMMUNITY ID

GARAGE HANDING

VERSION NUMBER

1.0

PLAN NAME / NPC

3066.500

PLAN 2

3067.500

LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME

SHEET

B4.44 UNIT



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E.B. # 7686 P.E. # 72387

VICTOR HERNANDEZ  
FOR ARCHITECTURAL USE ONLY

E.B. # 7686 P.E. NO. 72387



-ATTIC VENTILATION ZONE 1-					
ACTUAL ATTIC AREA TOTAL			TOTAL FREE VENT REQUIRED (AREA/ 300)		
SQ. FT.	SQ. IN.		SQ. FT.	SQ. IN.	
924	133056		3.080	443.520	
ROOF VENTS REQUIRED		# OF VENTS	SOFFIT VENTS REQUIRED (S1/10.0)		
SQ. FT.	SQ. IN.		SQ. FT.	SQ. IN.	LN. FT.
1.232	177.408	2	1.848	266.112	27
ROOF TOP ATTIC VENT: SERIES			SOFFIT VENT TYPE: CONTINUOUS		
121 = 1 SQ. FT./ VENT (121 SQ. IN. VENT)			SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT.		
NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY					

-ATTIC VENTILATION ZONE 2-					
ACTUAL ATTIC AREA TOTAL			TOTAL FREE VENT REQUIRED (AREA/ 300)		
SQ. FT.	SQ. IN.		SQ. FT.	SQ. IN.	
93	13392		0.310	44.640	
ROOF VENTS REQUIRED		# OF VENTS	SOFFIT VENTS REQUIRED (S1/10.0)		
SQ. FT.	SQ. IN.		SQ. FT.	SQ. IN.	LN. FT.
0.124	17.856	0	0.186	26.784	3
ROOF TOP ATTIC VENT: SERIES			SOFFIT VENT TYPE: CONTINUOUS		
121 = 1 SQ. FT./ VENT (121 SQ. IN. VENT)			SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT.		
NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY					

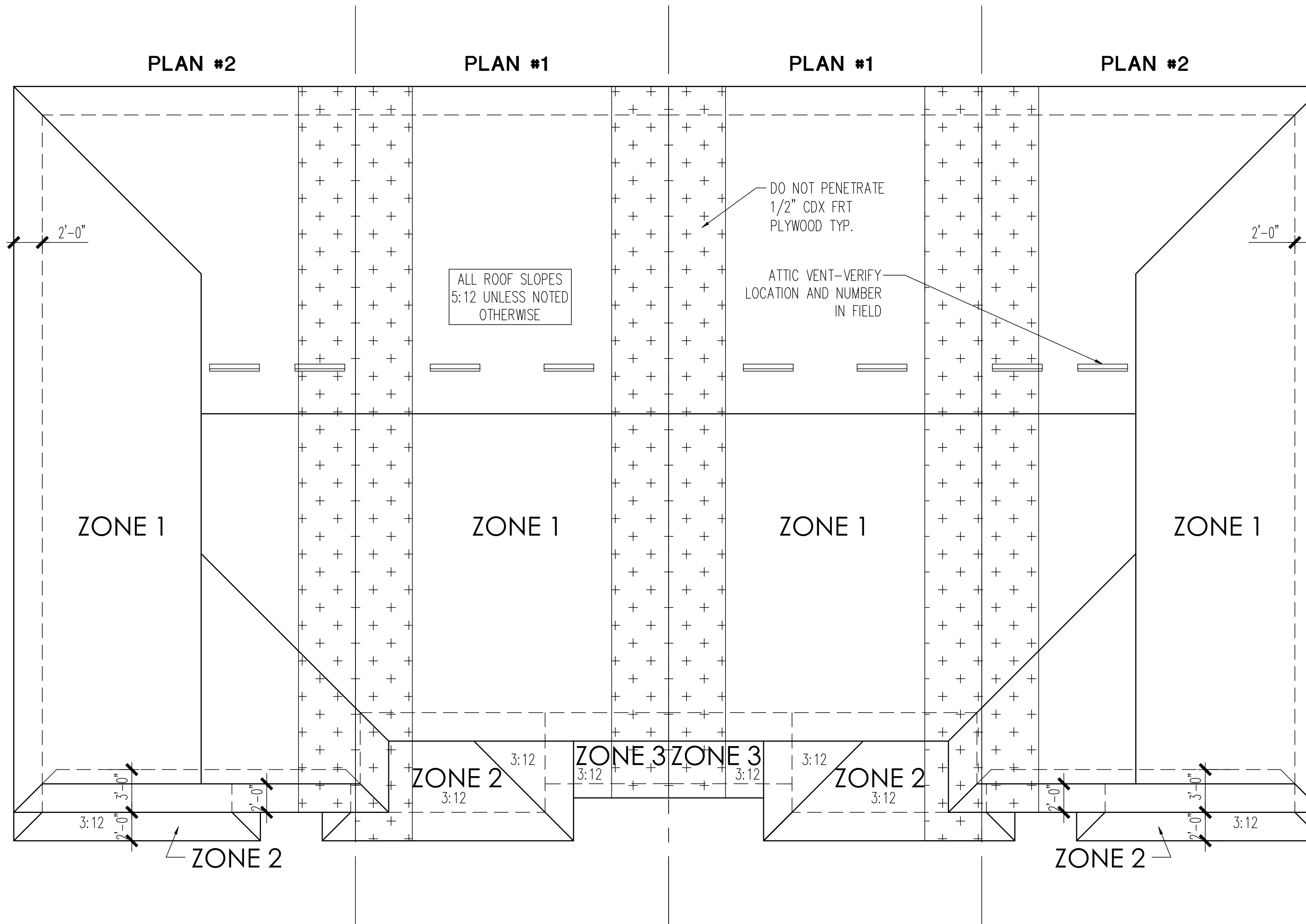
-ATTIC VENTILATION ZONE 3-					
ACTUAL ATTIC AREA TOTAL			TOTAL FREE VENT REQUIRED (AREA/ 300)		
SQ. FT.	SQ. IN.		SQ. FT.	SQ. IN.	
43	6192		0.143	20.640	
ROOF VENTS REQUIRED		# OF VENTS	SOFFIT VENTS REQUIRED (S1/10.0)		
SQ. FT.	SQ. IN.		SQ. FT.	SQ. IN.	LN. FT.
0.057	8.256	0	0.086	12.384	1
ROOF TOP ATTIC VENT: SERIES			SOFFIT VENT TYPE: CONTINUOUS		
121 = 1 SQ. FT./ VENT (121 SQ. IN. VENT)			SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT.		
NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY					

-ATTIC VENTILATION ZONE 1-					
ACTUAL ATTIC AREA TOTAL			TOTAL FREE VENT REQUIRED (AREA/ 300)		
SQ. FT.	SQ. IN.		SQ. FT.	SQ. IN.	
1034	148896		3.447	496.320	
ROOF VENTS REQUIRED		# OF VENTS	SOFFIT VENTS REQUIRED (S1/10.0)		
SQ. FT.	SQ. IN.		SQ. FT.	SQ. IN.	LN. FT.
1.379	198.528	2	2.068	297.792	30
ROOF TOP ATTIC VENT: SERIES			SOFFIT VENT TYPE: CONTINUOUS		
121 = 1 SQ. FT./ VENT (121 SQ. IN. VENT)			SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT.		
NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY					

-ATTIC VENTILATION ZONE 2-					
ACTUAL ATTIC AREA TOTAL			TOTAL FREE VENT REQUIRED (AREA/ 300)		
SQ. FT.	SQ. IN.		SQ. FT.	SQ. IN.	
27	3888		0.090	12.960	
ROOF VENTS REQUIRED		# OF VENTS	SOFFIT VENTS REQUIRED (S1/10.0)		
SQ. FT.	SQ. IN.		SQ. FT.	SQ. IN.	LN. FT.
0.036	5.184	0	0.054	7.776	1
ROOF TOP ATTIC VENT: SERIES			SOFFIT VENT TYPE: CONTINUOUS		
121 = 1 SQ. FT./ VENT (121 SQ. IN. VENT)			SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT.		
NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY					

**PLAN #1**

**PLAN #2**



**ROOF PLAN-4-UNIT BUILDING**

SCALE: 3/16"=1'-0"

PLOTED: May 17, 2024 / Mark Anderson / 22' NEW TOWNHOMES-ARCH-2024-05-17.DWG

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22' New Townhomes  
4-UNIT ROOF  
3 STORY - 4 UNIT CONFIGURATION #2

PRODUCTION MANAGER	
CONTROL DATE: 23/04/06	
REV # / DATE / DESCRIPTION	

PROJECT TYPE  
**SF ATTACHED**

COMMUNITY NAME

LAWSON COMMUNITY ID

CARAGE HANDING

VERSION NUMBER

10

PLAN NAME / NPC

**Plan 1**

3066.500

**Plan 2**

3067.500

LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME

SHEET

**B4.5-4 UNIT**

FOR STRUCTURAL USE ONLY

E.B. # 7686 P.E. NO. 72387

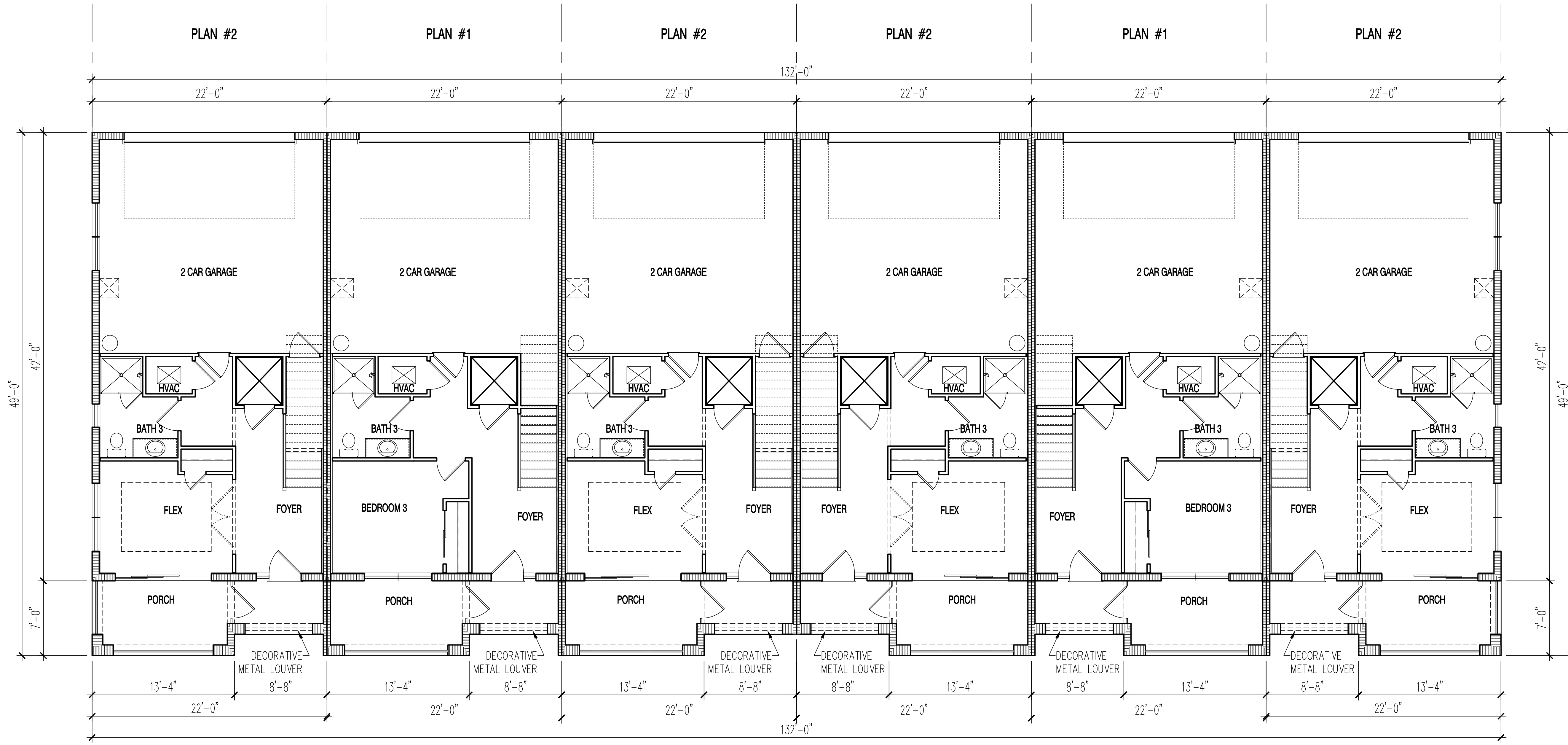


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BOCA RATON, FLORIDA 33432  
(561) 392-3748  
E.B. # 7686 P.E. # 72387

**LEGEND SYMBOLS**

- MASONRY - CONC. BLOCK OR BRICK WALL
- WOOD FRAME WALL
- 2-HOUR FIRE RATED WALL - SEE DETAIL
- ELEV. ELEVATION INDICATOR - ELEVATION NOTED IS RELATIVE TO FINISH FLOOR DATUM = 0'-0"

\* DENOTES EMERGENCY ESCAPE & RESCUE OPENING  
NOTE: FIELD SHALL VERIFY ALL MASONRY OPENINGS.



**FIRST FLOOR  
BUILDING PLAN (6-UNIT)**  
SCALE: 3/16"=1'-0"

**FLORIDA ZONE**  
24311 Walden Center Dr., Suite 300  
Bonita Springs, Florida 34134 (239) 495-4800



22' New Townhomes  
6-UNIT BUILDING PLAN  
3 STORY - 6 UNIT CONFIGURATION #2

PRODUCTION MANAGER
CONTROL DATE: 23/04/06
REV # / DATE / DESCRIPTION

PROJECT TYPE  
**SF ATTACHED**

COMMUNITY NAME

LAWSON COMMUNITY ID

GARAGE HANDING

VERSION NUMBER

10

PLAN NAME / NPC

**Plan 1**  
3066.500

**Plan 2**  
3067.500

LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME

SHEET

**B6.1-6 UNIT**

E.B. # 7686 P.E. NO. 72387

**BRENNAN ENGINEERING INC.**  
1600 S. DINE HWY. STE 400  
BOCA RATON, FLORIDA 33432  
(561) 392-3748  
E.B. # 7686 P.E. # 72387

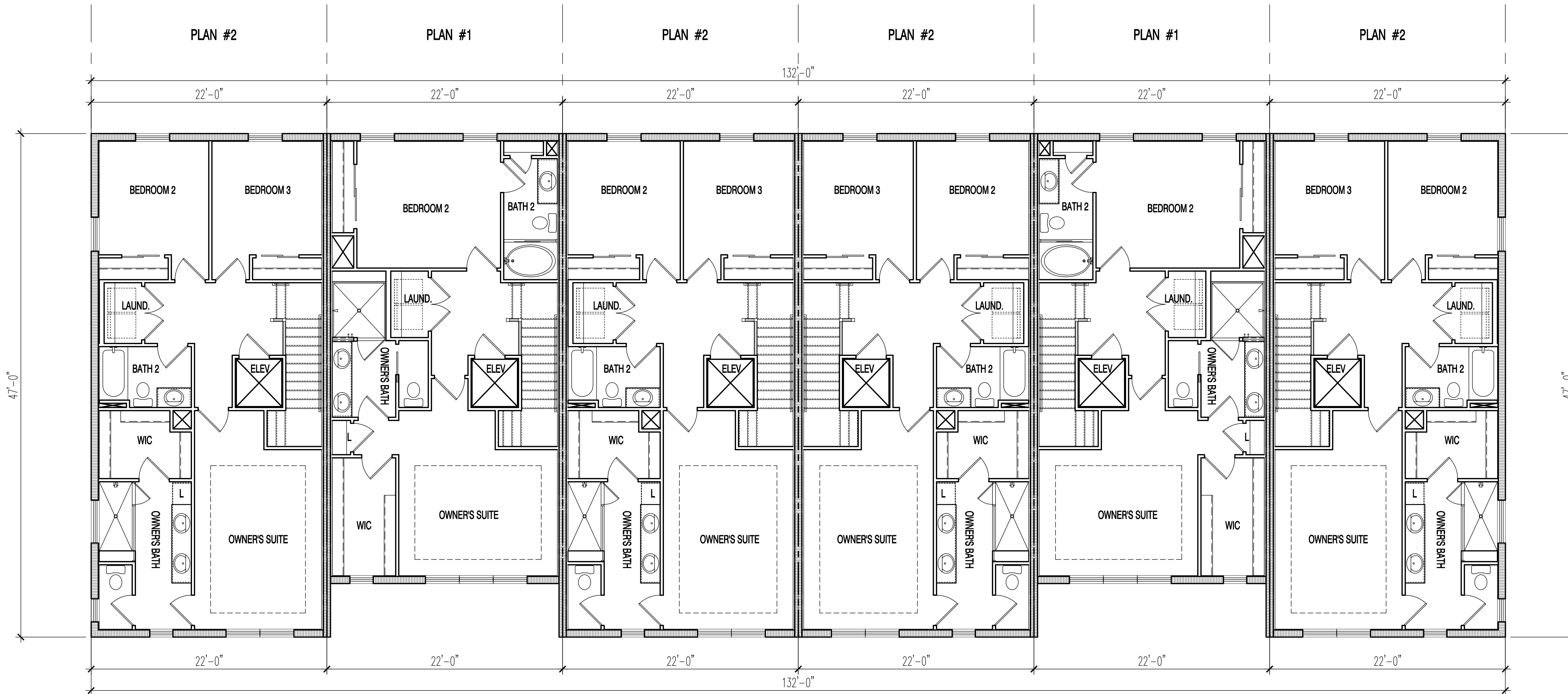
**VICTOR HERNANDEZ**  
FOR STRUCTURAL P.E. ONLY

PLOTTED: May 17, 2024 / Mark Anderson / 22' NEW TOWNHOMES-ARCH-2024-05-17.DWG

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS







**THIRD FLOOR  
BUILDING PLAN (6-UNIT)**

SCALE: 3/16"=1'-0"

PLOTTED: May 17, 2024 / Mark Anderson / 22' NEW TOWNHOMES-ARCH-2024-05-17.DWG

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22' New Townhomes  
6-UNIT ELEVATIONS  
3 STORY - 6 UNIT CONFIGURATION #1

PRODUCTION MANAGER
CONTROL DATE: 23/04/06
REV # / DATE / DESCRIPTION

PROJECT TYPE  
**SF ATTACHED**

COMMUNITY NAME  
LAWSON COMMUNITY ID

CARAGE HANDING

VERSION NUMBER  
**1.0**

PLAN NAME / NPC  
**Plan 1**  
3066.500  
**Plan 2**  
3067.500

LAWSON PLAN ID  
LEGACY PLAN NUMBER / NAME

SHEET  
**B6.3-6 UNIT**

**BRENNAN ENGINEERING INC.**  
1600 S. DIXIE HWY. STE. 400  
BOCA RATON, FLORIDA 33432  
(561) 392-3748  
E.B. # 7686 P.E. # 72387

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**FLORIDA ZONE**  
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Bonita Springs, Florida 34134 (239) 495-4800



22 New Townhomes  
6-UNIT ELEVATIONS  
3 STORY - 4 UNIT CONFIGURATION #2

PRODUCTION MANAGER	
CONTROL DATE:	23/04/06
REV #	DATE / DESCRIPTION

PROJECT TYPE  
**SF ATTACHED**

COMMUNITY NAME  
LAWSON COMMUNITY D

GARAGE HANDLING  
-

VERSION NUMBER  
1.0

PLAN NAME / NPC  
**Plan 1**  
3066.500  
**Plan 2**  
3067.500

LAWSON PLAN ID  
LEGACY PLAN NUMBER / NAME

SHEET  
**B6.4-6 UNIT**



**BRENNAN ENGINEERING INC.**  
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BOCA RATON, FLORIDA 33432  
(561) 392-3748  
E.B. # 7686 P.E. # 72387



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E.B. # 7686 P.E. NO. 72387



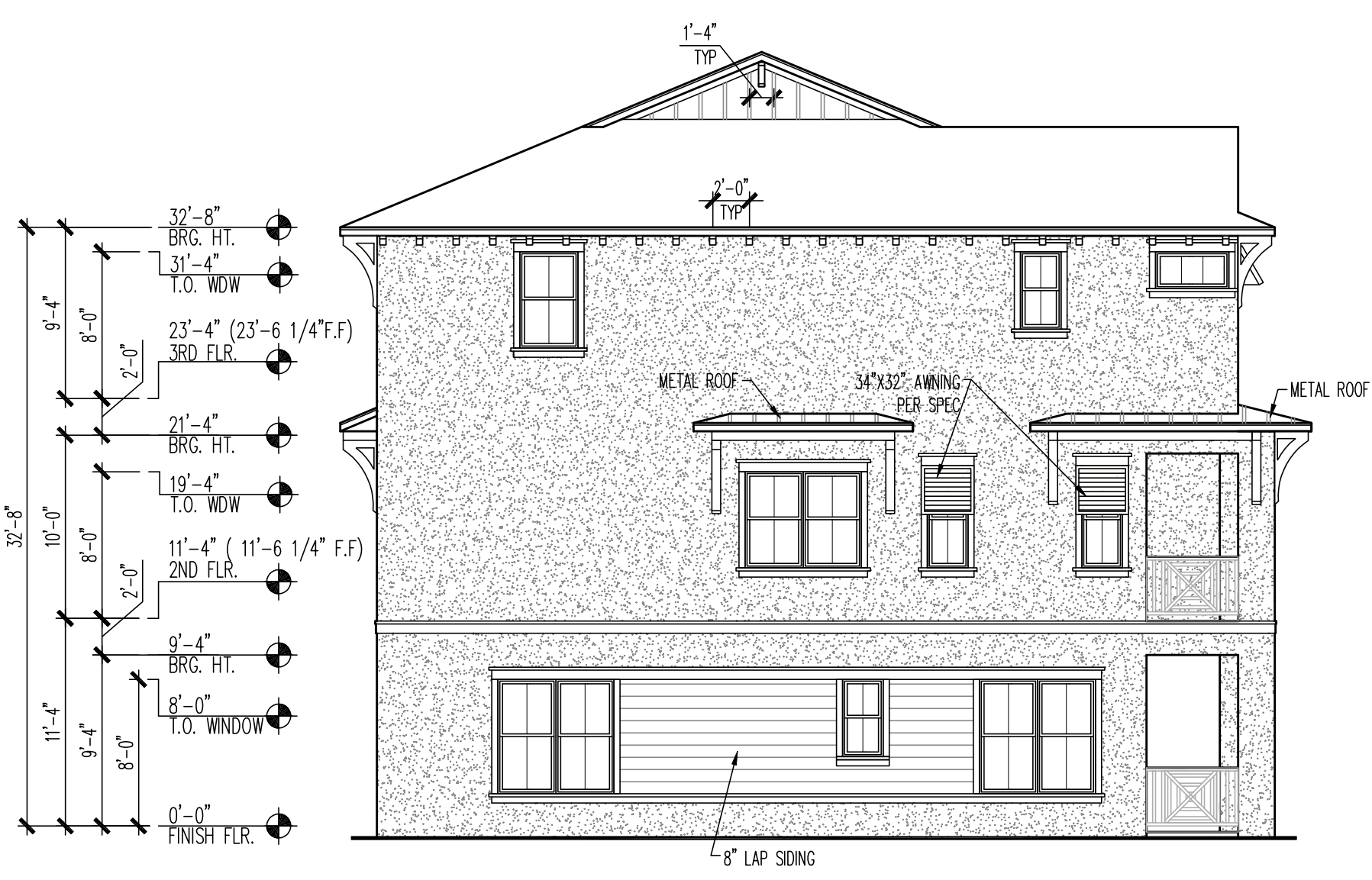
**FRONT ELEVATION-6-UNIT BUILDING**

SCALE: 1/8"=1'-0"



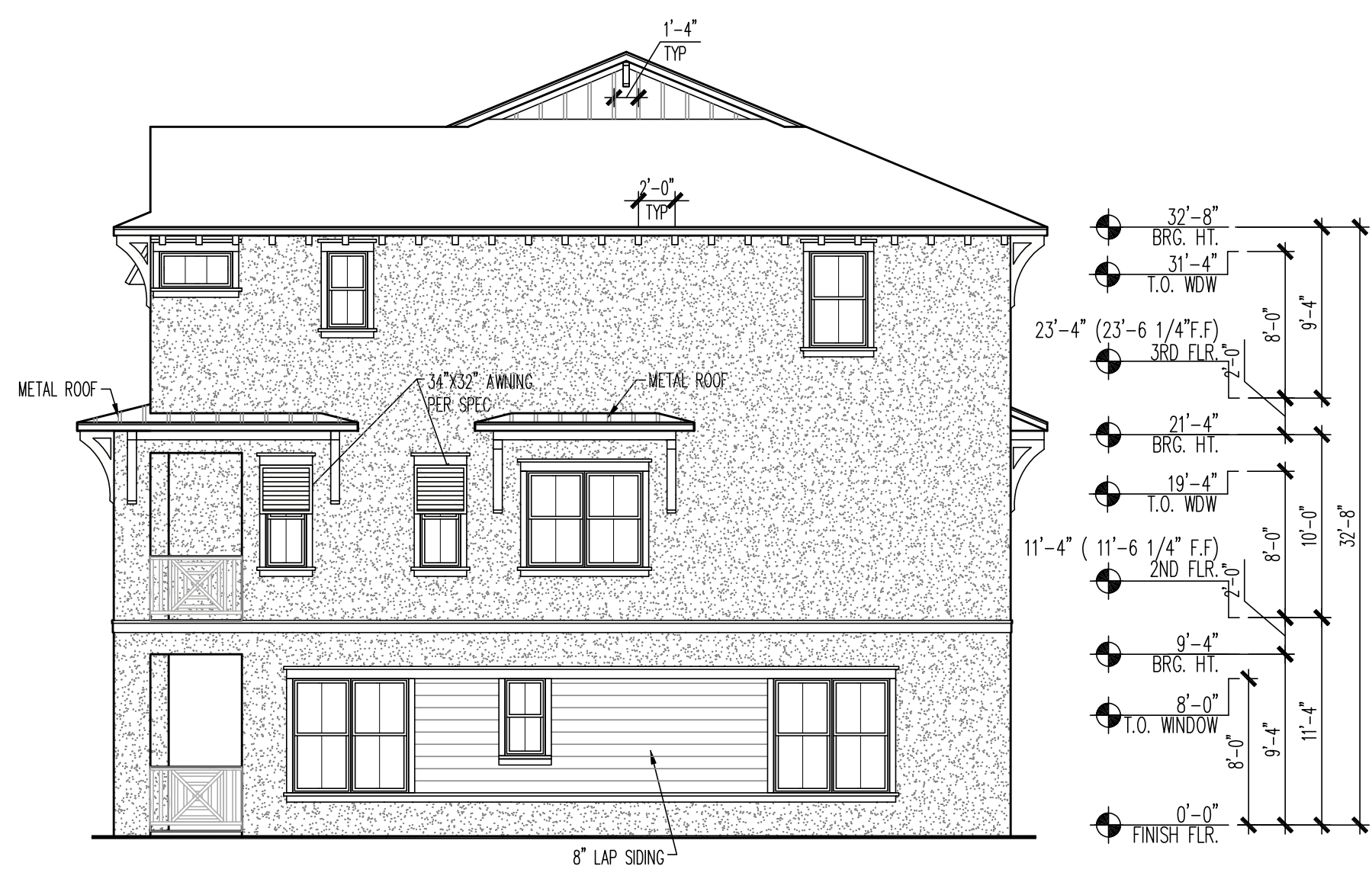
**REAR ELEVATION-6-UNIT BUILDING**

SCALE: 1/8"=1'-0"



**LEFT ELEVATION-6-UNIT BUILDING**

SCALE: 1/8"=1'-0"



**RIGHT ELEVATION-6-UNIT BUILDING**

SCALE: 1/8"=1'-0"

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

PLOTTED: May 17, 2024 / Mark Anderson / 22' NEW TOWNHOMES-ARCH-2024-05-17.DWG



-ATTIC VENTILATION ZONE 1-					
ACTUAL ATTIC AREA TOTAL		TOTAL FREE VENT REQUIRED (AREA/ 300)			
SQ. FT.	SQ. IN.	SQ. FT.	SQ. IN.		
924	133056	3.080	443.520		
ROOF VENTS REQUIRED		SOFFIT VENTS REQUIRED (SI/10.0)			
SQ. FT.	SQ. IN.	# OF VENTS	SQ. FT.	SQ. IN.	LN. FT.
1.232	177.408	2	1.848	266.112	27
ROOF TOP ATTIC VENT: SERIES 121 = 1 SQ. FT./ VENT (121 SQ. IN. VENT)		SOFFIT VENT TYPE: CONTINUOUS SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT.			
NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY					

-ATTIC VENTILATION ZONE 2-					
ACTUAL ATTIC AREA TOTAL		TOTAL FREE VENT REQUIRED (AREA/ 300)			
SQ. FT.	SQ. IN.	SQ. FT.	SQ. IN.		
93	13392	0.310	44.640		
ROOF VENTS REQUIRED		SOFFIT VENTS REQUIRED (SI/10.0)			
SQ. FT.	SQ. IN.	# OF VENTS	SQ. FT.	SQ. IN.	LN. FT.
0.124	17.856	0	0.186	26.784	3
ROOF TOP ATTIC VENT: SERIES 121 = 1 SQ. FT./ VENT (121 SQ. IN. VENT)		SOFFIT VENT TYPE: CONTINUOUS SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT.			
NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY					

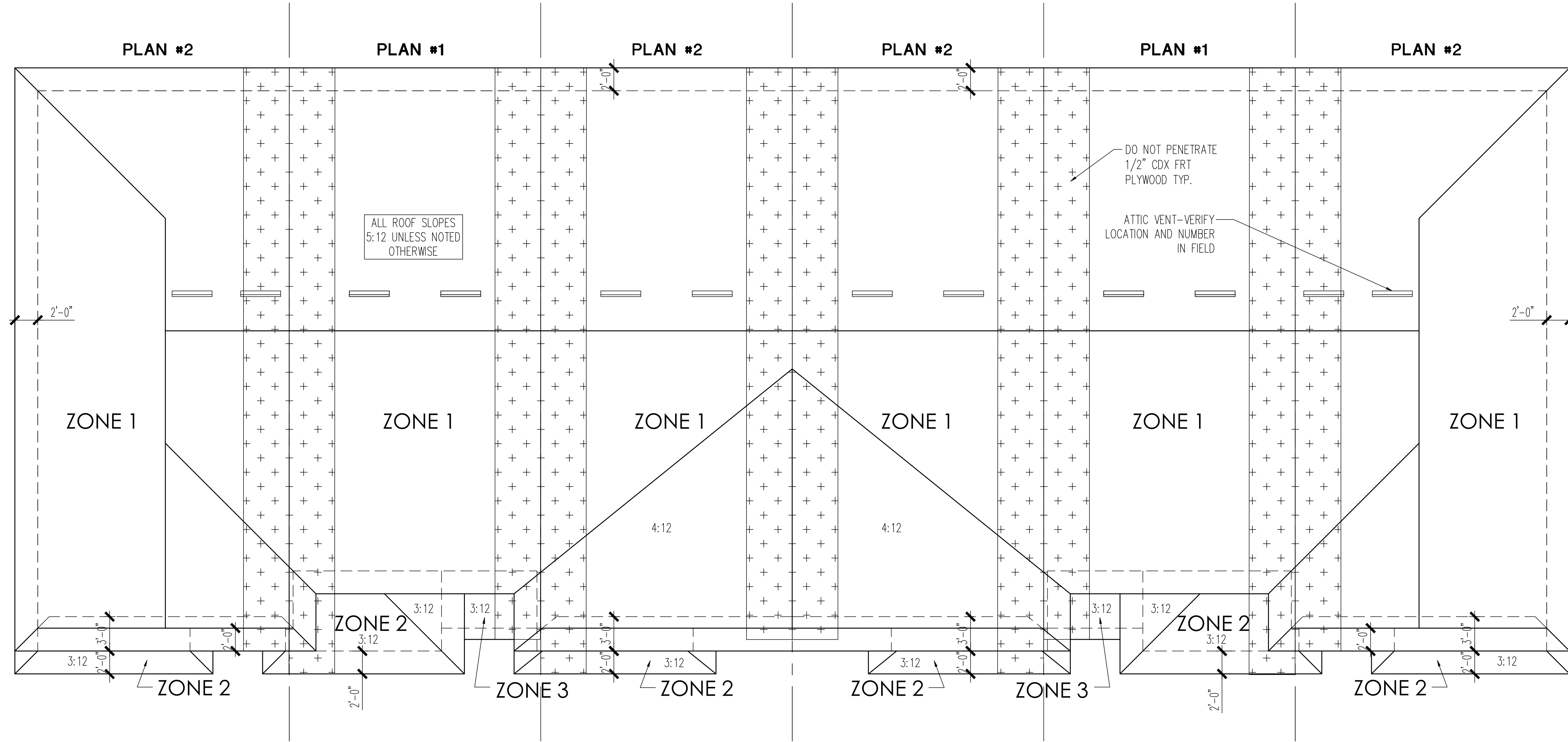
-ATTIC VENTILATION ZONE 3-					
ACTUAL ATTIC AREA TOTAL		TOTAL FREE VENT REQUIRED (AREA/ 300)			
SQ. FT.	SQ. IN.	SQ. FT.	SQ. IN.		
43	6192	0.143	20.640		
ROOF VENTS REQUIRED		SOFFIT VENTS REQUIRED (SI/10.0)			
SQ. FT.	SQ. IN.	# OF VENTS	SQ. FT.	SQ. IN.	LN. FT.
0.057	8.256	0	0.086	12.384	1
ROOF TOP ATTIC VENT: SERIES 121 = 1 SQ. FT./ VENT (121 SQ. IN. VENT)		SOFFIT VENT TYPE: CONTINUOUS SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT.			
NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY					

-ATTIC VENTILATION ZONE 1-					
ACTUAL ATTIC AREA TOTAL		TOTAL FREE VENT REQUIRED (AREA/ 300)			
SQ. FT.	SQ. IN.	SQ. FT.	SQ. IN.		
1034	148896	3.447	496.320		
ROOF VENTS REQUIRED		SOFFIT VENTS REQUIRED (SI/10.0)			
SQ. FT.	SQ. IN.	# OF VENTS	SQ. FT.	SQ. IN.	LN. FT.
1.379	198.528	2	2.068	297.792	30
ROOF TOP ATTIC VENT: SERIES 121 = 1 SQ. FT./ VENT (121 SQ. IN. VENT)		SOFFIT VENT TYPE: CONTINUOUS SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT.			
NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY					

-ATTIC VENTILATION ZONE 2-					
ACTUAL ATTIC AREA TOTAL		TOTAL FREE VENT REQUIRED (AREA/ 300)			
SQ. FT.	SQ. IN.	SQ. FT.	SQ. IN.		
27	3888	0.090	12.960		
ROOF VENTS REQUIRED		SOFFIT VENTS REQUIRED (SI/10.0)			
SQ. FT.	SQ. IN.	# OF VENTS	SQ. FT.	SQ. IN.	LN. FT.
0.036	5.184	0	0.054	7.776	1
ROOF TOP ATTIC VENT: SERIES 121 = 1 SQ. FT./ VENT (121 SQ. IN. VENT)		SOFFIT VENT TYPE: CONTINUOUS SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT.			
NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY					

PLAN #1

PLAN #2



ROOF PLAN-6-UNIT BUILDING

SCALE: 3/16"=1'-0"

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 Bonita Springs, Florida 34134 (239) 495-4800



22 New Townhomes  
 6-UNIT ROOF  
 3 STORY - 4 UNIT CONFIGURATION #2

PRODUCTION MANAGER  
 CONTROL DATE: 23/04/06  
 REV # DATE / DESCRIPTION

PROJECT TYPE  
**SF ATTACHED**

COMMUNITY NAME  
 LAWSON COMMUNITY D

GARAGE HANDLING

VERSION NUMBER  
**1.0**

PLAN NAME / NPC  
**Plan 1**  
 3066.500

**Plan 2**  
 3067.500

**BRENNAN ENGINEERING INC.**  
 1620 S. DIKE HWY. STE. 400  
 BOCA RATON, FLORIDA 33432  
 (561) 392-3740  
 E.B. # 7686 P.E. # 72387

LAWSON PLAN ID  
 LEGACY PLAN NUMBER / NAME

SHEET  
**B6.5-6 UNIT**

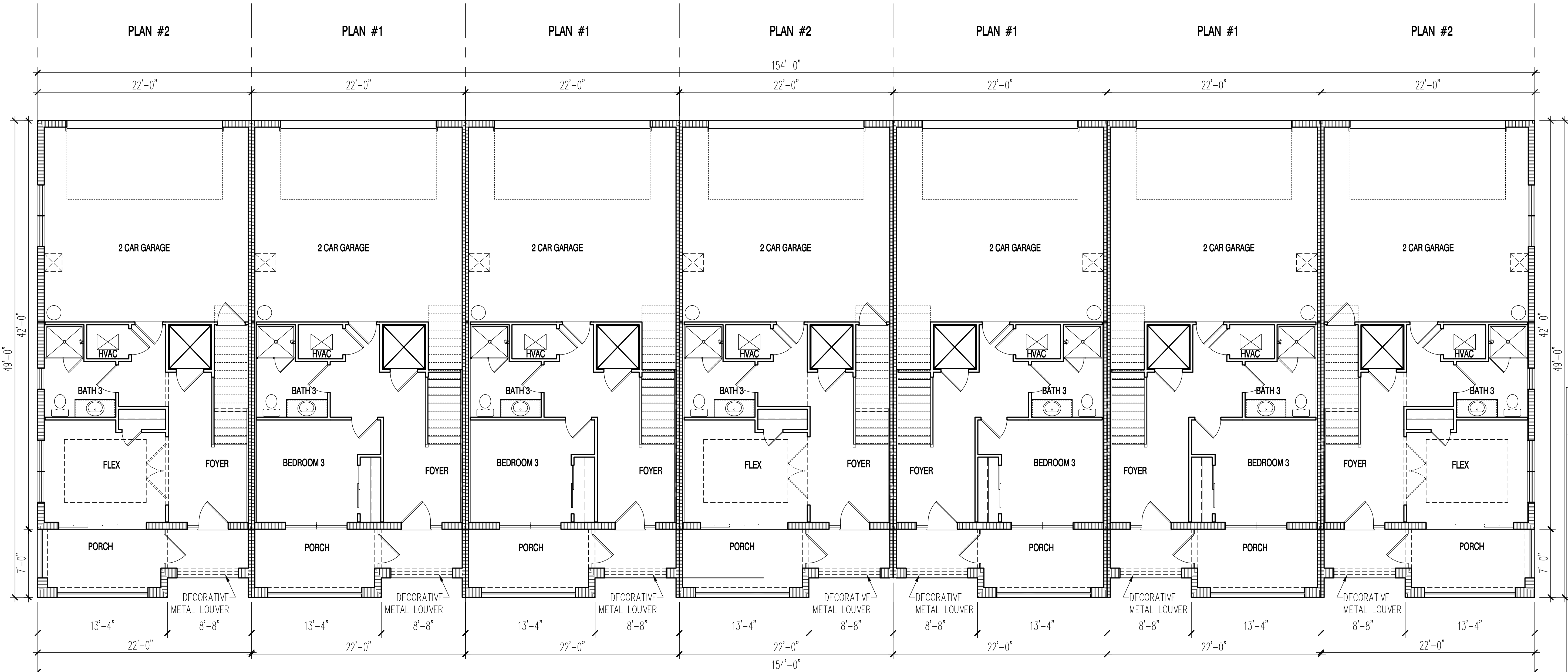
**VICTOR HERNANDEZ**  
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 E.B. # 7686 P.E. NO. 72387

PLOTTED: May 17, 2024 / Mark Anderson / 22' NEW TOWNHOMES-ARCH-2024-05-17.DWG

**LEGEND SYMBOLS**

- MASONRY - CONC. BLOCK OR BRICK WALL
- WOOD FRAME WALL
- 2-HOUR FIRE RATED WALL - SEE DETAIL
- ELEV. ELEVATION INDICATOR - ELEVATION NOTED IS RELATIVE TO FINISH FLOOR DATUM = 0'-0"

\* DENOTES EMERGENCY ESCAPE & RESCUE OPENING  
NOTE: FIELD SHALL VERIFY ALL MASONRY OPENINGS.



**FIRST FLOOR  
BUILDING PLAN (7-UNIT)**  
SCALE: 3/16"=1'-0"

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NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

**FLORIDA ZONE**  
24311 Walden Center Dr., Suite 300  
Bonita Springs, Florida 34134 (239) 495-4800



22' New Townhomes  
7-UNIT BUILDING PLAN  
3 STORY - 7 UNIT CONFIGURATION #2

PRODUCTION MANAGER
CONTROL DATE: 23/04/06
REV # / DATE / DESCRIPTION

PROJECT TYPE  
**SF ATTACHED**

COMMUNITY NAME

LAWSON COMMUNITY ID

GARAGE HANDING

VERSION NUMBER  
**1.0**

PLAN NAME / NPC  
**Plan 1**  
3066.500  
**Plan 2**  
3067.500

LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME

SHEET  
**B7.1-7 UNIT**

**BRENNAN  
ENGINEERING INC.**  
1600 S. DINE HWY. STE. 400  
BOCA RATON, FLORIDA 33432  
(561) 392-3748  
E.B. # 7686 P.E. # 72387

**VICTOR HERNANDEZ**  
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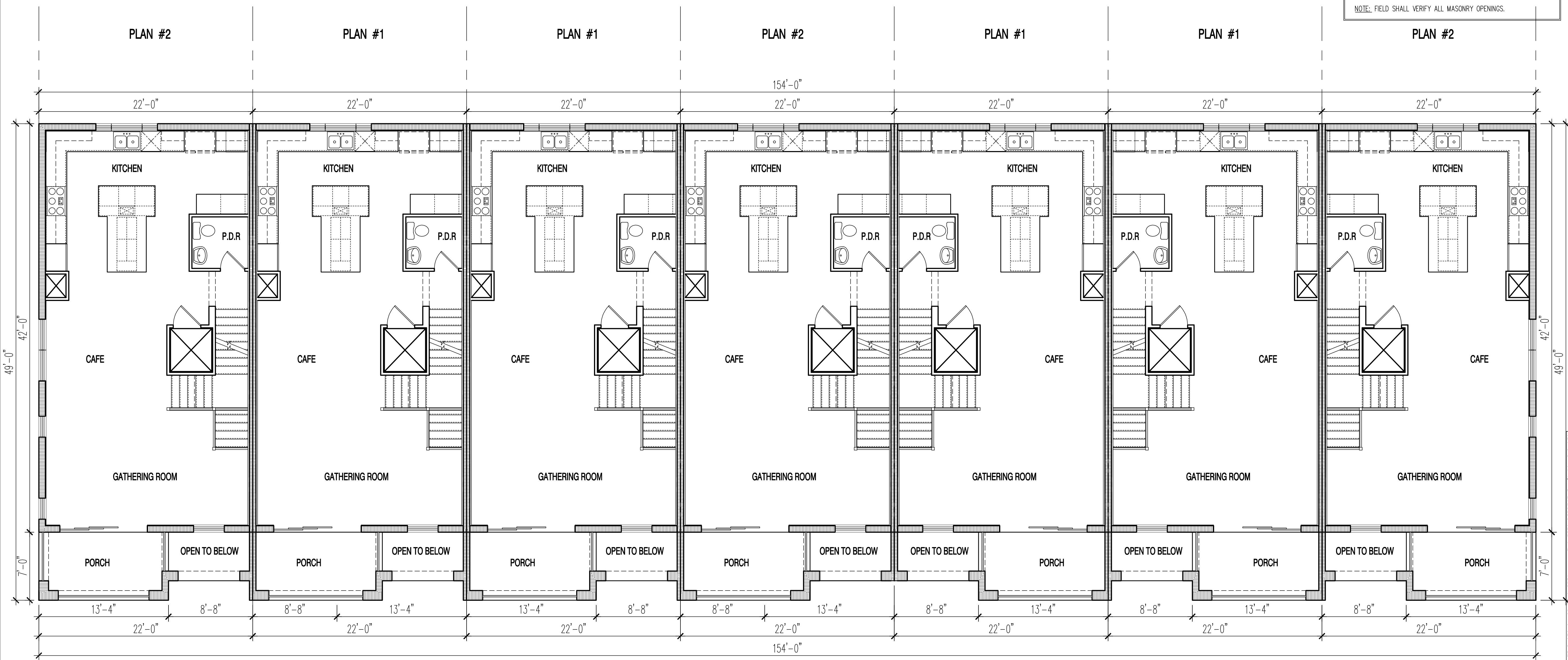
E.B. # 7686 P.E. NO. 72387

PLOTTED: May 17, 2024 / Mark Anderson / 22' NEW TOWNHOMES-ARCH-2024-05-17.DWG

**LEGEND SYMBOLS**

- MASONRY - CONC. BLOCK OR BRICK WALL
- WOOD FRAME WALL
- 2-HOUR FIRE RATED WALL - SEE DETAIL
- ELEV. ELEVATION INDICATOR - ELEVATION NOTED IS RELATIVE TO FINISH FLOOR DATUM = 0'-0"

\* DENOTES EMERGENCY ESCAPE & RESCUE OPENING  
NOTE: FIELD SHALL VERIFY ALL MASONRY OPENINGS.



**SECOND FLOOR  
BUILDING PLAN (7-UNIT)**  
SCALE: 3/16"=1'-0"

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 22x4 SHEETS REPRESENT 1/2 SCALE PLOTS  
 NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x4 SHEETS - 11x7 SHEETS REPRESENT 1/2 SCALE PLOTS

**FLORIDA ZONE**  
 24311 Walden Center Dr., Suite 300  
 Bonita Springs, Florida 34134 (239) 495-4800



22' New Townhomes  
 7-UNIT BUILDING PLAN  
 3 STORY - 7 UNIT CONFIGURATION #2

REV #	DATE / DESCRIPTION

PROJECT TYPE  
**SF ATTACHED**

COMMUNITY NAME  
 LAWSON COMMUNITY ID

CARAGE HANDING

VERSION NUMBER  
**1.0**

PLAN NAME / NPC  
**Plan 1**  
 3066.500  
**Plan 2**  
 3067.500

LAWSON PLAN ID  
 LEGACY PLAN NUMBER / NAME

SHEET  
**B7.2-7 UNIT**

**BRENNAN  
ENGINEERING INC.**  
 1620 S. DIXIE HWY. STE. 400  
 BOCA RATON, FLORIDA 33432  
 (561) 392-3748  
 E.B. # 7686 P.E. # 72387

**VICTOR HERNANDEZ**  
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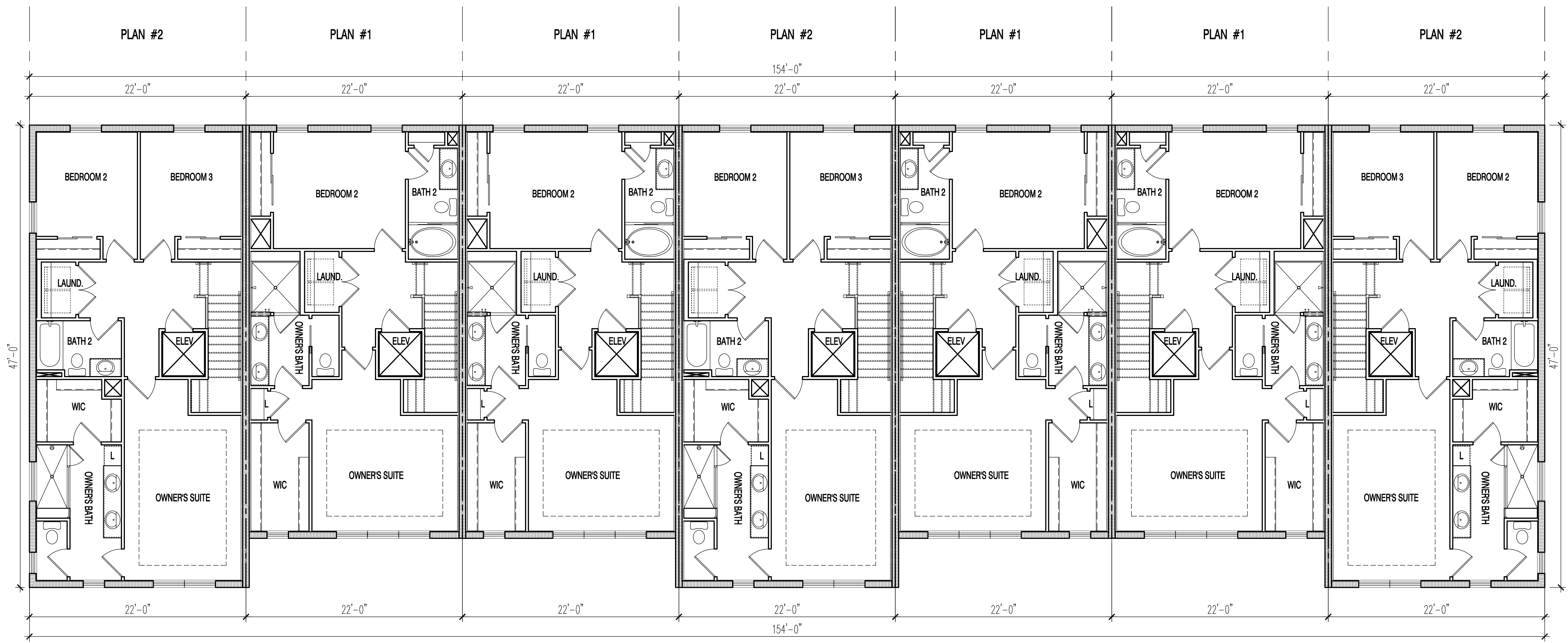
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**THIRD FLOOR  
BUILDING PLAN (7-UNIT)**  
SCALE: 3/16"=1'-0"

22' New Townhomes  
7-UNIT ELEVATIONS  
3 STORY - 7 UNIT CONFIGURATION #1

PRODUCTION MANAGER
CONTROL DATE: 23/04/06
REV # / DATE / DESCRIPTION

PROJECT TYPE  
**SF ATTACHED**

COMMUNITY NAME

LAWSON COMMUNITY ID

CARAGE HANDING

VERSION NUMBER  
**1.0**

PLAN NAME / NPC  
**Plan 1**  
3066.500  
**Plan 2**  
3067.500

LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME

SHEET  
**B7.3-7 UNIT**

**BRENNAN  
ENGINEERING INC.**  
1620 S. DIXIE HWY. STE. 400  
BOCA RATON, FLORIDA 33432  
(561) 392-3748  
E.B. # 7686 P.E. # 72387

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22 New Townhomes  
7-UNIT ELEVATIONS  
3 STORY - 4 UNIT CONFIGURATION #2

PRODUCTION MANAGER	
CONTROL DATE:	23/04/06
REV # / DATE / DESCRIPTION	

PROJECT TYPE  
**SF ATTACHED**

COMMUNITY NAME

LAWSON COMMUNITY ID

GARAGE HANDING

VERSION NUMBER  
**1.0**

PLAN NAME / NPC  
**Plan 1  
3066.500  
Plan 2  
3067.500**

LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME

SHEET  
**B7.4-7 UNIT**



**BRENNAN ENGINEERING INC.**  
1620 S. DIKE HWY. STE. 400  
BOCA RATON, FLORIDA 33432  
(561) 392-3748  
E.B. # 7686 P.E. # 72387

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E.B. # 7686 P.E. NO. 72387



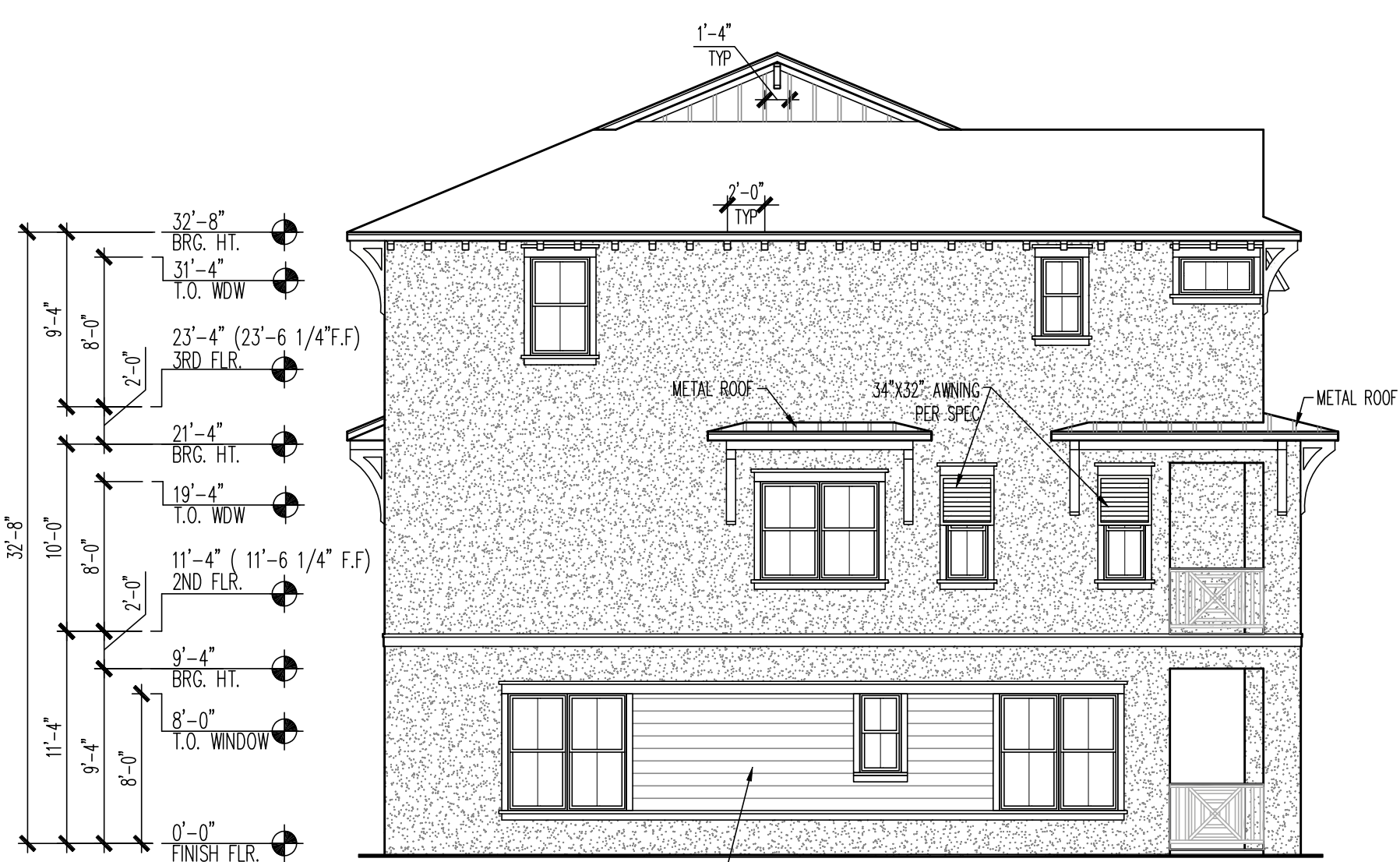
**FRONT ELEVATION-7-UNIT BUILDING**

SCALE: 1/8"=1'-0"



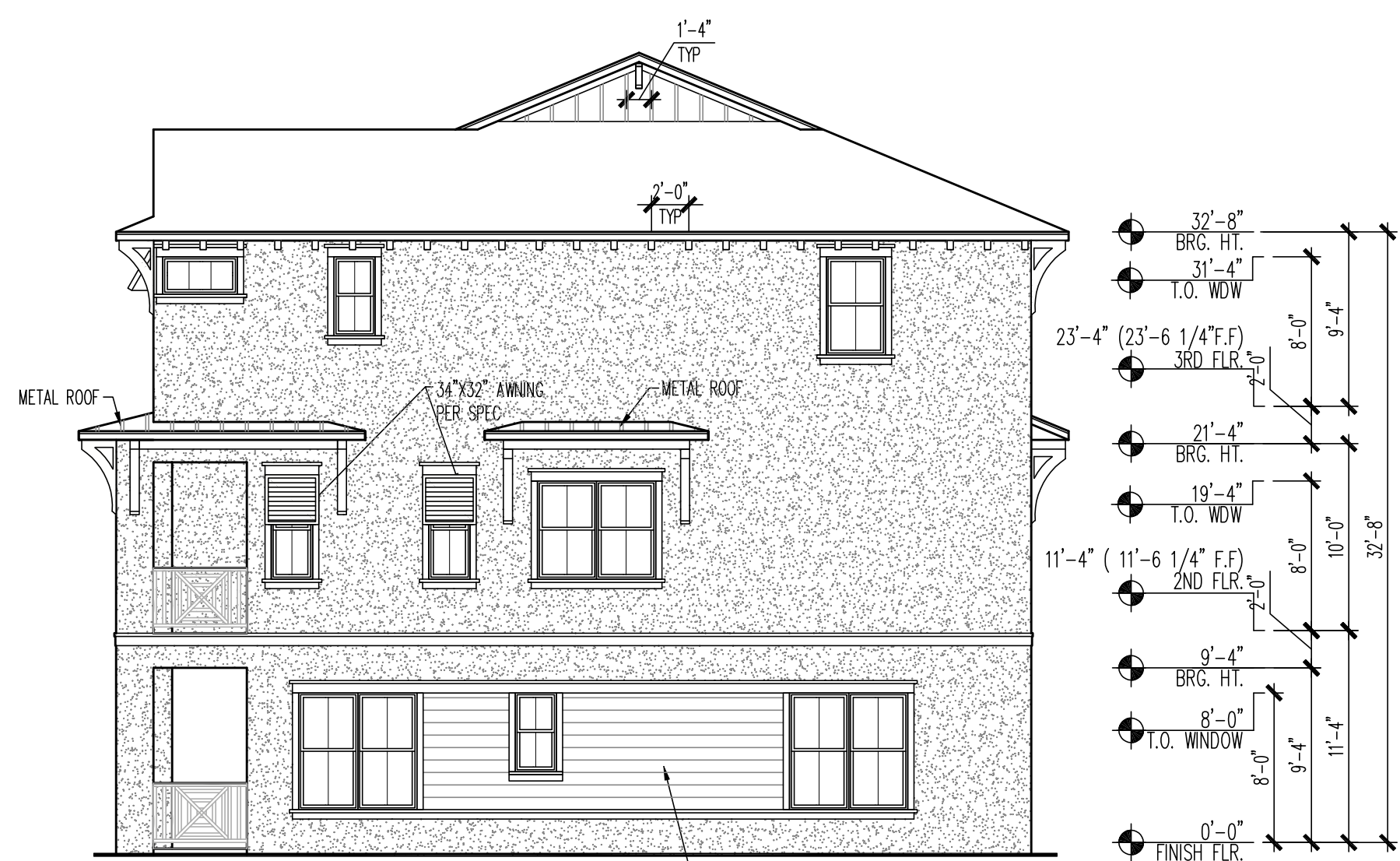
**REAR ELEVATION-7-UNIT BUILDING**

SCALE: 1/8"=1'-0"



**LEFT ELEVATION-7-UNIT BUILDING**

SCALE: 1/8"=1'-0"



**RIGHT ELEVATION-7-UNIT BUILDING**

SCALE: 1/8"=1'-0"

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

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-ATTIC VENTILATION ZONE 1-					
ACTUAL ATTIC AREA TOTAL		TOTAL FREE VENT REQUIRED (AREA/ 300)			
SQ. FT.	SQ. IN.	SQ. FT.	SQ. IN.		
924	133056	0.310	44.640		
ROOF VENTS REQUIRED		SOFFIT VENTS REQUIRED (SI/10.0)			
SQ. FT.	SQ. IN.	# OF VENTS	SQ. FT.	SQ. IN.	LN. FT.
1.232	177.408	2	1.848	266.112	27
ROOF TOP ATTIC VENT. SERIES 121 = 1 SQ. FT./ VENT (121 SQ. IN. VENT)		SOFFIT VENT TYPE: CONTINUOUS SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT.			
NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY					

-ATTIC VENTILATION ZONE 2-					
ACTUAL ATTIC AREA TOTAL		TOTAL FREE VENT REQUIRED (AREA/ 300)			
SQ. FT.	SQ. IN.	SQ. FT.	SQ. IN.		
93	13392	0.310	44.640		
ROOF VENTS REQUIRED		SOFFIT VENTS REQUIRED (SI/10.0)			
SQ. FT.	SQ. IN.	# OF VENTS	SQ. FT.	SQ. IN.	LN. FT.
0.124	17.856	0	0.186	26.784	3
ROOF TOP ATTIC VENT. SERIES 121 = 1 SQ. FT./ VENT (121 SQ. IN. VENT)		SOFFIT VENT TYPE: CONTINUOUS SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT.			
NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY					

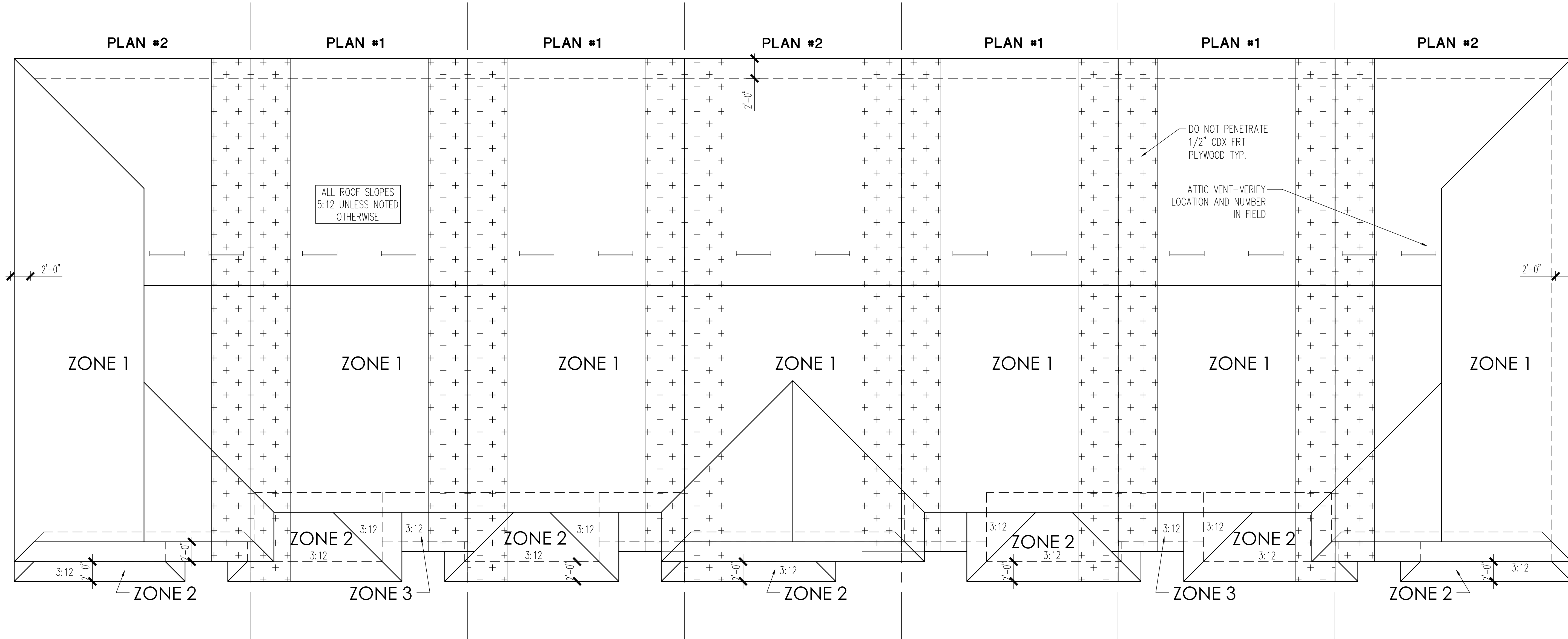
-ATTIC VENTILATION ZONE 3-					
ACTUAL ATTIC AREA TOTAL		TOTAL FREE VENT REQUIRED (AREA/ 300)			
SQ. FT.	SQ. IN.	SQ. FT.	SQ. IN.		
43	6192	0.143	20.640		
ROOF VENTS REQUIRED		SOFFIT VENTS REQUIRED (SI/10.0)			
SQ. FT.	SQ. IN.	# OF VENTS	SQ. FT.	SQ. IN.	LN. FT.
0.057	8.256	0	0.086	12.384	1
ROOF TOP ATTIC VENT. SERIES 121 = 1 SQ. FT./ VENT (121 SQ. IN. VENT)		SOFFIT VENT TYPE: CONTINUOUS SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT.			
NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY					

-ATTIC VENTILATION ZONE 1-					
ACTUAL ATTIC AREA TOTAL		TOTAL FREE VENT REQUIRED (AREA/ 300)			
SQ. FT.	SQ. IN.	SQ. FT.	SQ. IN.		
1034	148896	3.447	496.320		
ROOF VENTS REQUIRED		SOFFIT VENTS REQUIRED (SI/10.0)			
SQ. FT.	SQ. IN.	# OF VENTS	SQ. FT.	SQ. IN.	LN. FT.
1.379	198.528	2	2.068	297.792	30
ROOF TOP ATTIC VENT. SERIES 121 = 1 SQ. FT./ VENT (121 SQ. IN. VENT)		SOFFIT VENT TYPE: CONTINUOUS SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT.			
NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY					

-ATTIC VENTILATION ZONE 2-					
ACTUAL ATTIC AREA TOTAL		TOTAL FREE VENT REQUIRED (AREA/ 300)			
SQ. FT.	SQ. IN.	SQ. FT.	SQ. IN.		
27	3888	0.090	12.960		
ROOF VENTS REQUIRED		SOFFIT VENTS REQUIRED (SI/10.0)			
SQ. FT.	SQ. IN.	# OF VENTS	SQ. FT.	SQ. IN.	LN. FT.
0.036	5.184	0	0.054	7.776	1
ROOF TOP ATTIC VENT. SERIES 121 = 1 SQ. FT./ VENT (121 SQ. IN. VENT)		SOFFIT VENT TYPE: CONTINUOUS SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT.			
NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY					

PLAN #1

PLAN #2



ROOF PLAN-7-UNIT BUILDING

SCALE: 3/16"=1'-0"

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22' New Townhomes  
7-UNIT ROOF  
3 STORY - 4 UNIT CONFIGURATION #2

PRODUCTION MANAGER	
CONTROL DATE:	23/04/06
REV #	DATE / DESCRIPTION

PROJECT TYPE  
SF ATTACHED

COMMUNITY NAME  
LAWSON COMMUNITY ID

GARAGE HANDLING

VERSION NUMBER  
1.0

PLAN NAME / NPC  
Plan 1  
3066.500  
Plan 2  
3067.500

LAWSON PLAN ID  
LEGACY PLAN NUMBER / NAME

SHEET  
B7.5-7 UNIT

**BRENNAN ENGINEERING INC.**  
1620 S. DIKE HWY. STE 400  
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E.B. # 7686 P.E. # 72387

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