



PLANNING & ZONING BOARD MEETING MINUTES

September 15, 2025 at 4:00 PM

Council Chambers – 340 Ocean Drive and YouTube

PRESENT: MICHAEL STERN, CHAIR
JIM FERGUSON, VICE CHAIR
JAMES EHRET, BOARDMEMBER
JONATHAN BUTLER, BOARDMEMBER
BRIAN COLE, BOARDMEMBER
CAROL RUDOLPH, ALTERNATE BOARDMEMBER

ALSO PRESENT: FRANK M. DAVILA, DIRECTOR OF PLANNING & ZONING
LEONARD RUBIN, TOWN ATTORNEY
CAITLIN COPELAND-RODRIGUEZ, TOWN CLERK
STEPHEN MAYER, PRINCIPAL PLANNER

AUDIENCE: 36

CALL TO ORDER – 4:00PM

PLEDGE ALLEGIANCE TO THE FLAG

ADDITIONS, DELETIONS, SUBSTITUTIONS TO THE AGENDA - None

COMMENTS FROM THE TOWN ATTORNEY AND STAFF

PRESENTATIONS

1. Presentation by PBC ERM on Juno Dunes Natural Area *(See attached presentation.)*

COMMENTS FROM THE PUBLIC

All Non-Agenda items are limited to three (3) minutes. Anyone wishing to speak is asked to complete a comment card with their name and address prior to the start of the meeting as well as state their name and address for the record when called upon to speak (prior to addressing the Board). The Board will not discuss these items at this time.

Public Comments Opened at 4:23pm.

Public Comment Closed at 4:24pm.

CONSENT AGENDA

2. Planning & Zoning Board Meeting Minutes for July 7, 2025

MOTION: *Ferguson/Butler made a motion to approve the consent agenda.*

ACTION: *The motion passed unanimously.*

BOARD ACTION/DISCUSSION ITEMS *(A public comment period was provided for each item below.)*

3. The Waterford Major Amendment *(See attached presentations.)*

MOTION: *Ferguson/Ehret made a motion to recommend approval of the request for a Major Site Plan Amendment to a Special Exception Planned Unit Development (PUD) for the reconfiguration and modification of the existing senior living facility community, subject to the conditions outlined in staff's memorandum to the Town Council.*

ACTION: *The motion passed unanimously.*

4. Appearance Review – 451 Ocean Drive *(See attached presentation.)*

MOTION: *Ferguson made a motion to approve the application for appearance review for the proposed to the single-family residence located at 451 Ocean Drive.*

Chair Stern passed the gavel and seconded the motion.

ACTION: *The motion passed 3-2 with Boardmember Ehret and Boardmember Cole opposed.*

COMMENTS FROM THE BOARD - None

ADJOURNMENT

Chair Stern adjourned the meeting at 6:16pm.



Michael Stern, Chair



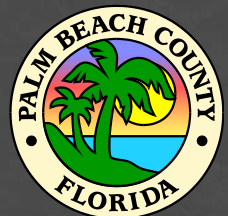
Caitlin Copeland-Rodriguez, Town Clerk

**Palm Beach County
Department of Environmental Resources Management
Juno Dunes Natural Area**



PALM BEACH COUNTY
**NATURAL
AREAS**

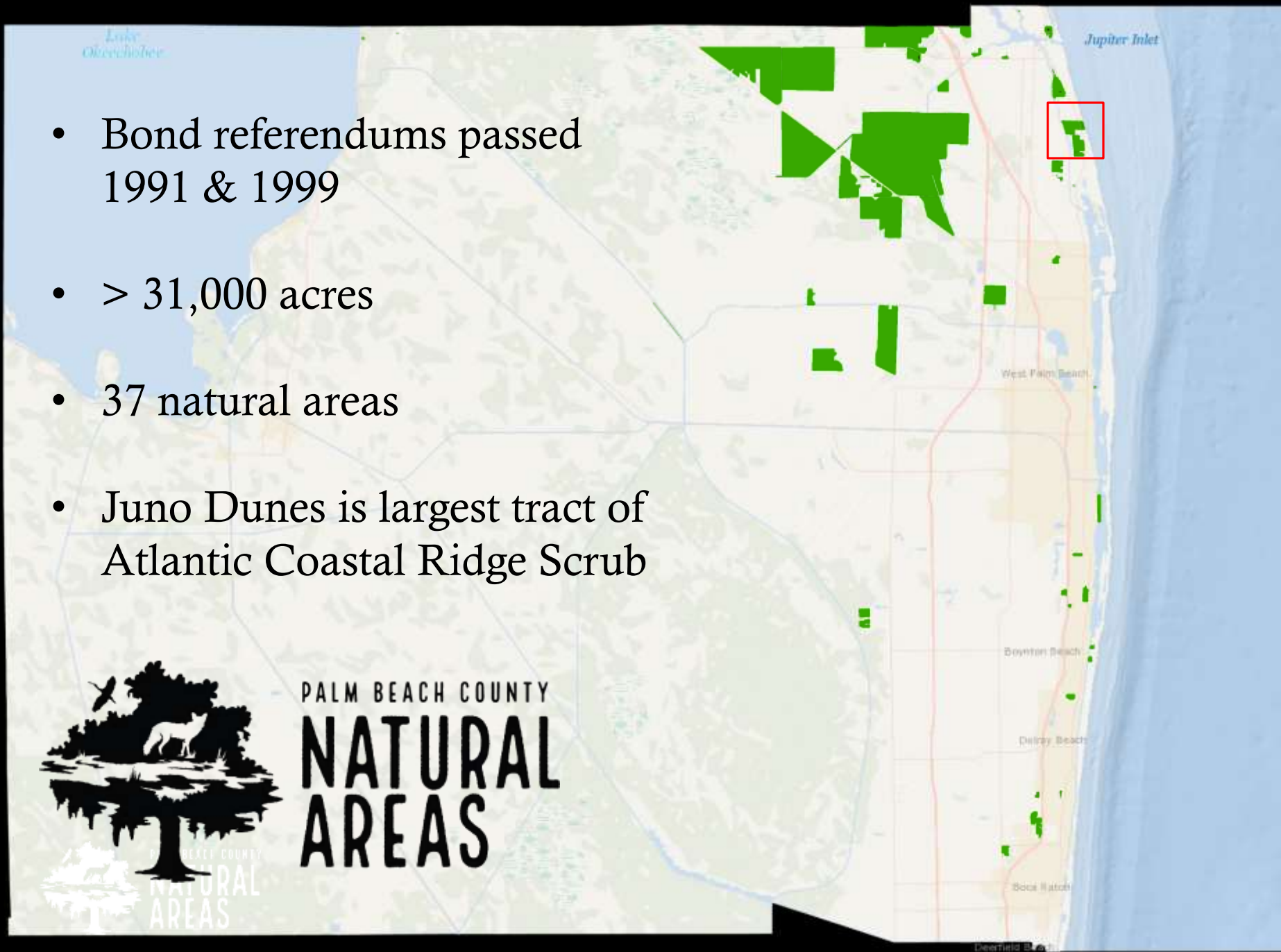
**Town of Juno Beach
Planning & Zoning Meeting
September 15, 2025**



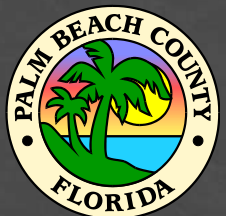
- Bond referendums passed 1991 & 1999
- > 31,000 acres
- 37 natural areas
- Juno Dunes is largest tract of Atlantic Coastal Ridge Scrub



PALM BEACH COUNTY
**NATURAL
AREAS**

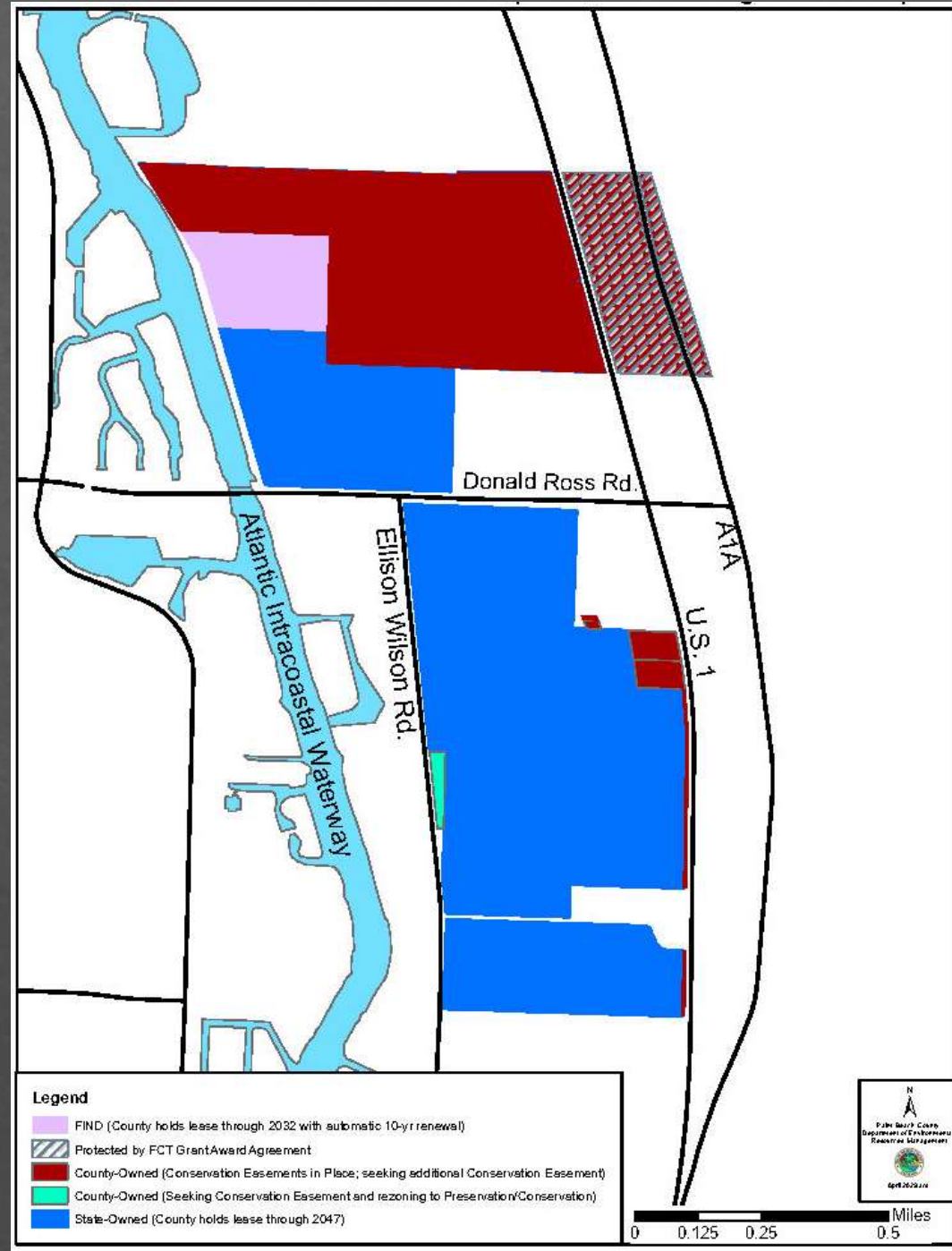


Our Mission: Acquire, preserve and protect environmentally sensitive lands in Palm Beach County and protect wildlife and endangered species on such lands.



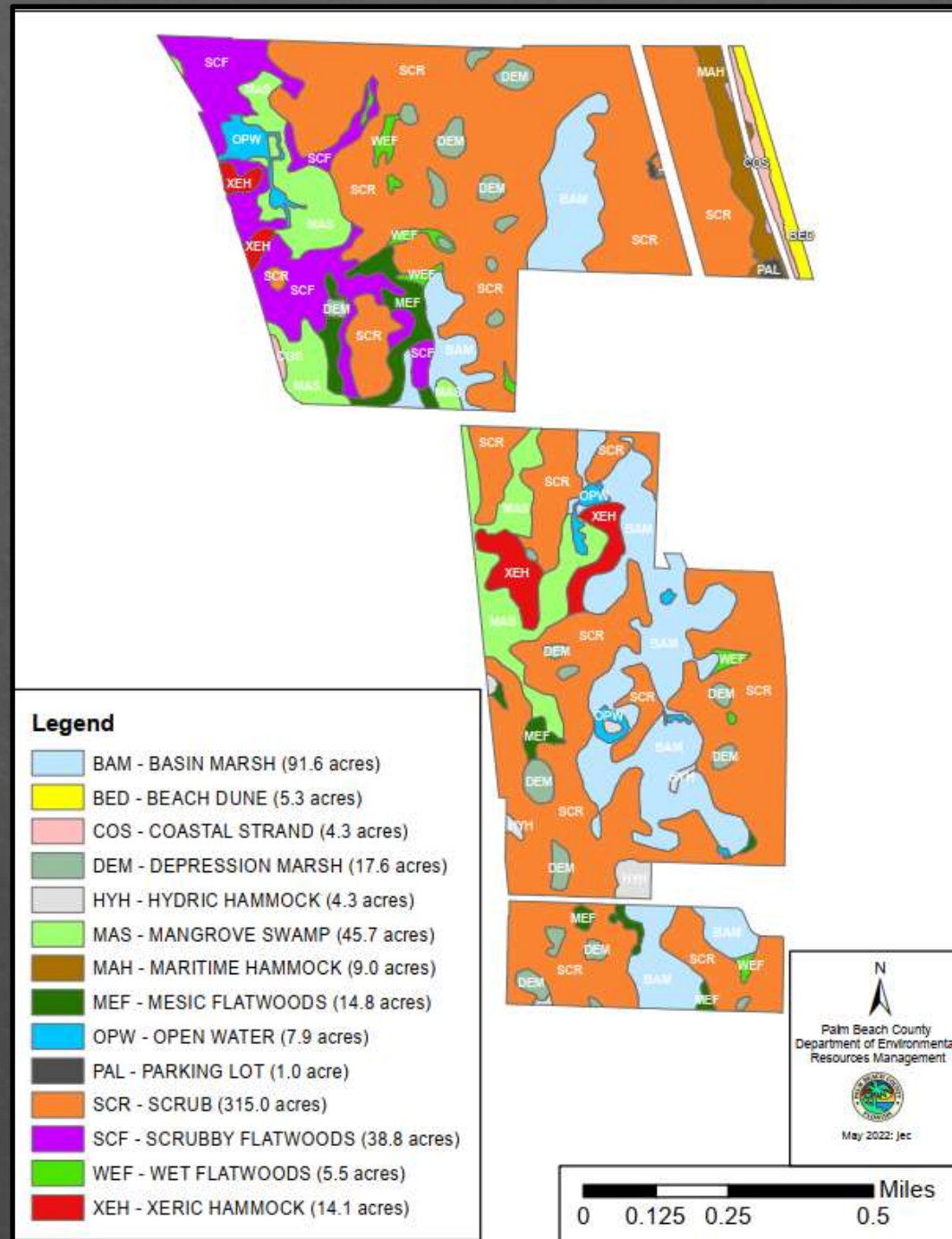
Tracts / Ownership

- Acquisition 1992-1999
- County owns 203 acres with conservation easements & FCT contributed matching funds for oceanfront tract
- 30 acres leased from Florida Inland Navigation District until 2032 with 10-year renewal
- 336 acres leased from the state until 2047



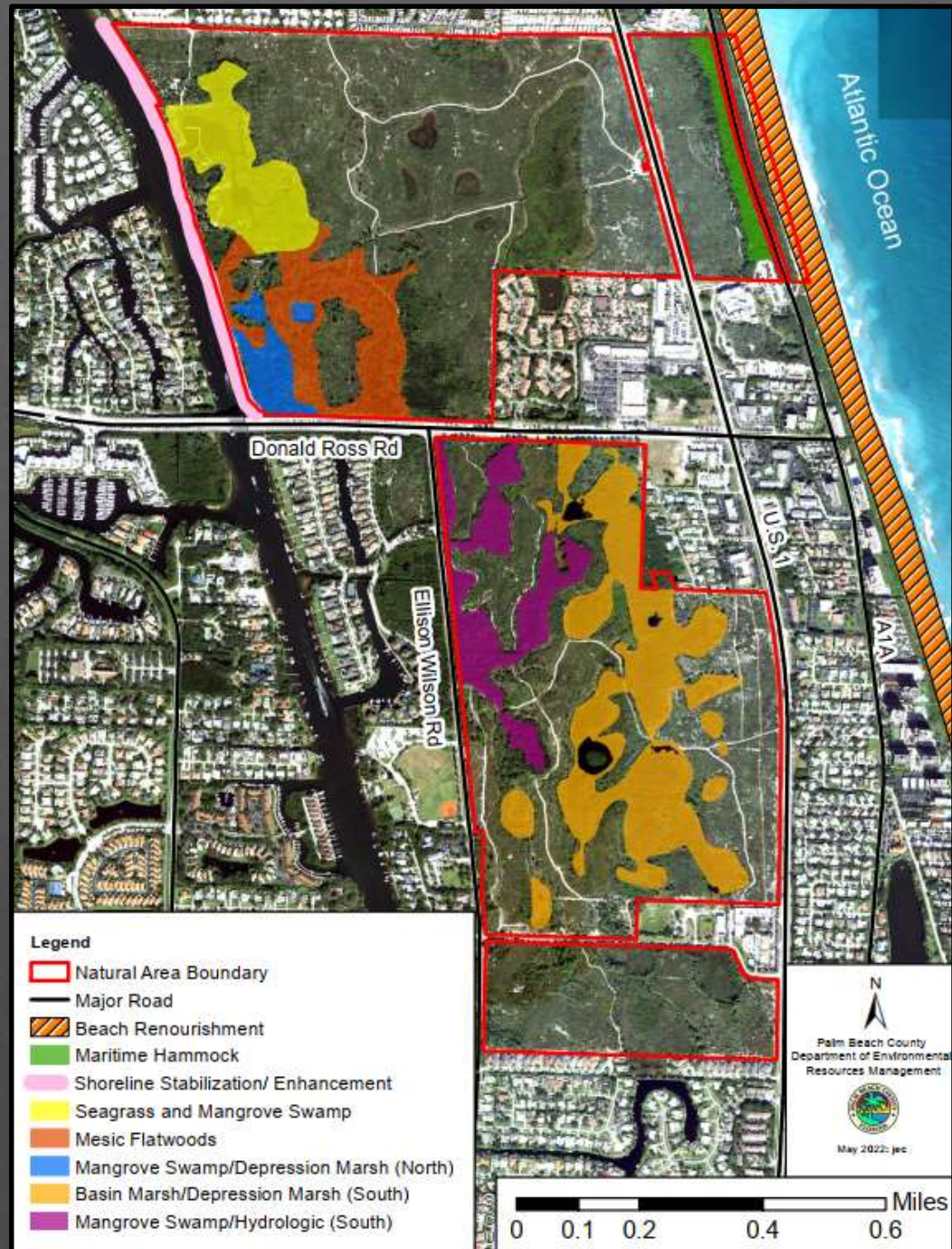
Vegetation Communities

- Diversity of habitats with scrub being dominant
- Many rare and/or endemic plant & animal species
- < 2% of scrub left in PBC
- ~50% of plants in scrub are endemic
- 667 plant species & 324 animal species have been documented



Restoration/ Enhancement

- 3 beach renourishments
- Maritime hammock restoration
- FIND mangrove & seagrass restoration
- ICW shoreline stabilization
- Mesic flatwoods restoration
- Hydrologic restoration north & south of Donald Ross Rd



26 Listed Planted Species



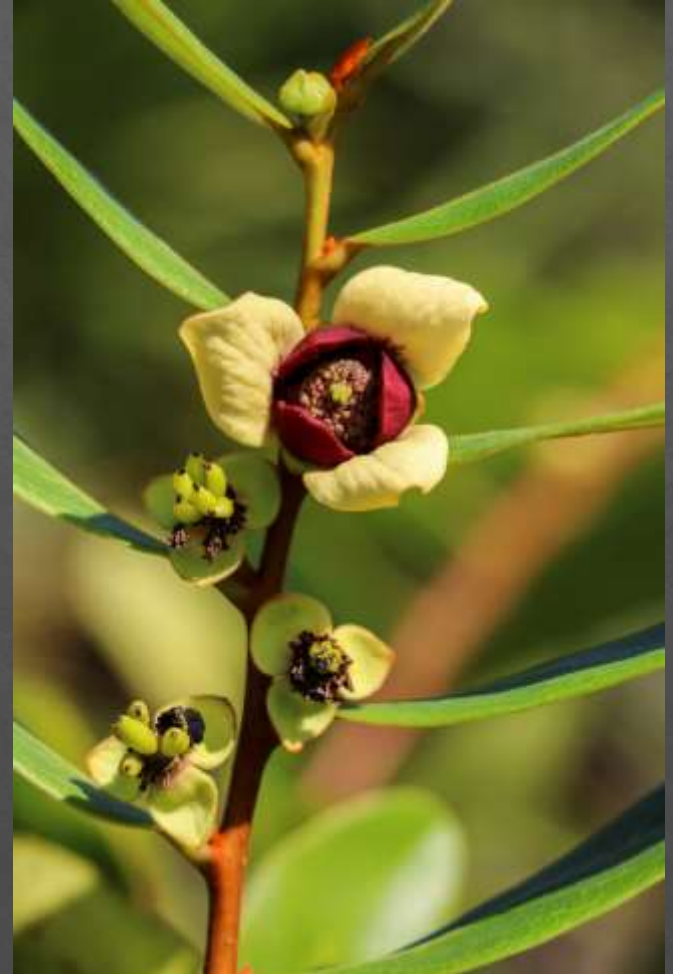
SCIENTIFIC NAME	COMMON NAME	STATUS/RANK DESIGNATIONS		
		USFWS	FDACS	FNAI
<i>Acrostichum aureum</i>	Golden leather fern	N	T	G5/S3
<i>Asclepias curtissii</i>	Curtiss's milkweed	N	E	N
<i>Asimina tetramera</i>	Four-petal pawpaw	E	E	G1/S1
<i>Conradina grandiflora</i>	Large-flowered rosemary	N	T	G3/S3
<i>Cyperus pedunculatus</i>	Beachstar	N	E	N
<i>Encyclia tampensis</i>	Butterfly orchid	N	CE	N
<i>Halophila johnsonii</i>	Johnson's seagrass	N	E	G2/S2
<i>Jacquemontia reclinata</i>	Beach jacquemontia	E	E	G1/S1
<i>Lantana depressa</i>	Pineland lantana	N	E	G2T1/S1
<i>Lechea cernua</i>	Scrub pinweed	N	T	G3/S3
<i>Lechea divaricata</i>	Spreading pinweed	N	E	G2/S2
<i>Linum carteri</i> var. <i>smallii</i>	Small's flax	N	E	G2T2/S2
<i>Lyccopodiella cernua</i>	Nodding club-moss	N	CE	N
<i>Okenia hypogaea</i>	Burrowing four-o'clock	N	E	G3?/S2
<i>Cphioglossum palmatum</i>	Hand fern	N	E	G4/S2
<i>Cpuntia stricta</i>	Shell-mound pricklypear	N	T	N
<i>Osmunda cinnamomeum</i>	Cinnamon fern	N	CE	N
<i>Osmunda regalis</i> var. <i>spectabilis</i>	Royal fern	N	CE	N
<i>Pithecellobium keyense</i>	Florida Keys' blackbead	N	T	N
<i>Scaevola plumieri</i>	Inkberry	N	T	N
<i>Serenoa repens</i>	Saw palmetto	N	CE	N
<i>Swietenia mahagoni</i>	Mahogany	N	T	G3G4/S3
<i>Tillandsia balbisiana</i>	Inflated & reflexed wild pine	N	T	N
<i>Tillandsia fasciculata</i>	Common wild pine	N	E	N
<i>Tillandsia flexuosa</i>	Banded airplant	N	T	G5/S3
<i>Tillandsia utriculata</i>	Giant wild pine	N	E	N

40 Listed Animal Species



		STATUS/RANK DESIGNATIONS		
SCIENTIFIC NAME	COMMON NAME	USFWS	FWC	FNAI
<i>Aethecerinus hornii</i>	Aethecerinus long-horned beetle	N	N	G2/S2
<i>Alligator mississippiensis</i>	American alligator	T(S/A)	FT(S/A)	G5/S4
<i>Antigone canadensis pratensis</i>	Florida sandhill crane	UR	ST	G5T2/S2
<i>Aphelocoma coerulescens</i>	Florida scrub-jay	T	FT	?G2/S2
<i>Aphrissa statira</i>	Statira sulphur	N	N	G5/S2S3
<i>Aramus guarauna</i>	Limpkin	N	N	G5/S3
<i>Athene cunicularia floridana</i>	Florida burrowing owl	N	ST	G4T3/S3
<i>Caretta caretta</i>	Loggerhead sea turtle	T	FT	G3/S3
<i>Chelonia mydas</i>	Green sea turtle	T	FT	G3/S2S3
<i>Copris gopheri</i>	Gopher tortoise copris beetle	N	N	G2/S2
<i>Crotalus adamanteus</i>	Eastern diamond-back rattlesnake	UR	N	G4/S3
<i>Dermochelys coriacea</i>	Leatherback sea turtle	E	FE	G2/S2
<i>Drymarchon couperi</i>	Eastern indigo snake	T	FT	G3/S3
<i>Egretta caerulea</i>	Little blue heron	N	ST	G5/S4
<i>Egretta thula</i>	Snowy egret	N	N	G5/S3
<i>Egretta tricolor</i>	Tricolored heron	N	ST	G5/S4
<i>Elanoides forficatus</i>	Swallow-tailed kite	N	N	G5/S2
<i>Falco columbarius</i>	Merlin	N	N	G5/S2
<i>Falco peregrinus</i>	Peregrine falcon	N	N	G4/S2
<i>Falco sparverius paulus</i>	Southeastern American kestrel	N	ST	G5T4/S3
<i>Fregata magnificens</i>	Magnificent frigatebird	N	N	G5/S1
<i>Gobiomorus dormitor</i>	Bigmouth sleeper	N	N	G4/S2
<i>Gopherus polyphemus</i>	Gopher tortoise	N	ST	G3/S3
<i>Haliaeetus leucocephalus</i>	Bald eagle	N	N	G5/S3
<i>Hemiarctus ceraunus antibubastus</i>	Ceraunus blue butterfly	T(S/A)	FT(S/A)	N
<i>Latrodectus bishopi</i>	Red widow spider	N	N	G2G3/S2S3
<i>Leptotes cassius theonius</i>	Cassius blue butterfly	T(S/A)	FT(S/A)	N
<i>Lithobates capito</i>	Gopher frog	UR	N	G3/S3
<i>Mycteria americana</i>	Wood stork	T	FT	G4/S2
<i>Nyctanassa violacea</i>	Yellow-crowned night-heron	N	N	G5/S3
<i>Nycticorax nycticorax</i>	Black-crowned night-heron	N	N	G5/S3
<i>Pandion haliaetus</i>	Osprey	N	SSC	G5/S3S4
<i>Passerina ciris ciris</i>	Painted bunting	N	N	G5T3/S3
<i>Platalea ajaja</i>	Roseate spoonbill	N	ST	G5/S2
<i>Plegadis falcinellus</i>	Glossy ibis	N	N	G5/S3
<i>Sceloporus woodi</i>	Florida scrub lizard	N	N	G2G3/S2S3
<i>Setophaga ruticilla</i>	American redstart	N	N	G5/S2
<i>Sterna antillarum</i>	Least tern	N	ST	G4/S3
<i>Thalasseus maximus</i>	Royal tern	N	N	G5/S3
<i>Thalasseus sandvicensis</i>	Sandwich tern	N	N	G5/S2
<i>Trichechus manatus</i>	West Indian manatee	T	FT	G2/S2

Federally Listed Species

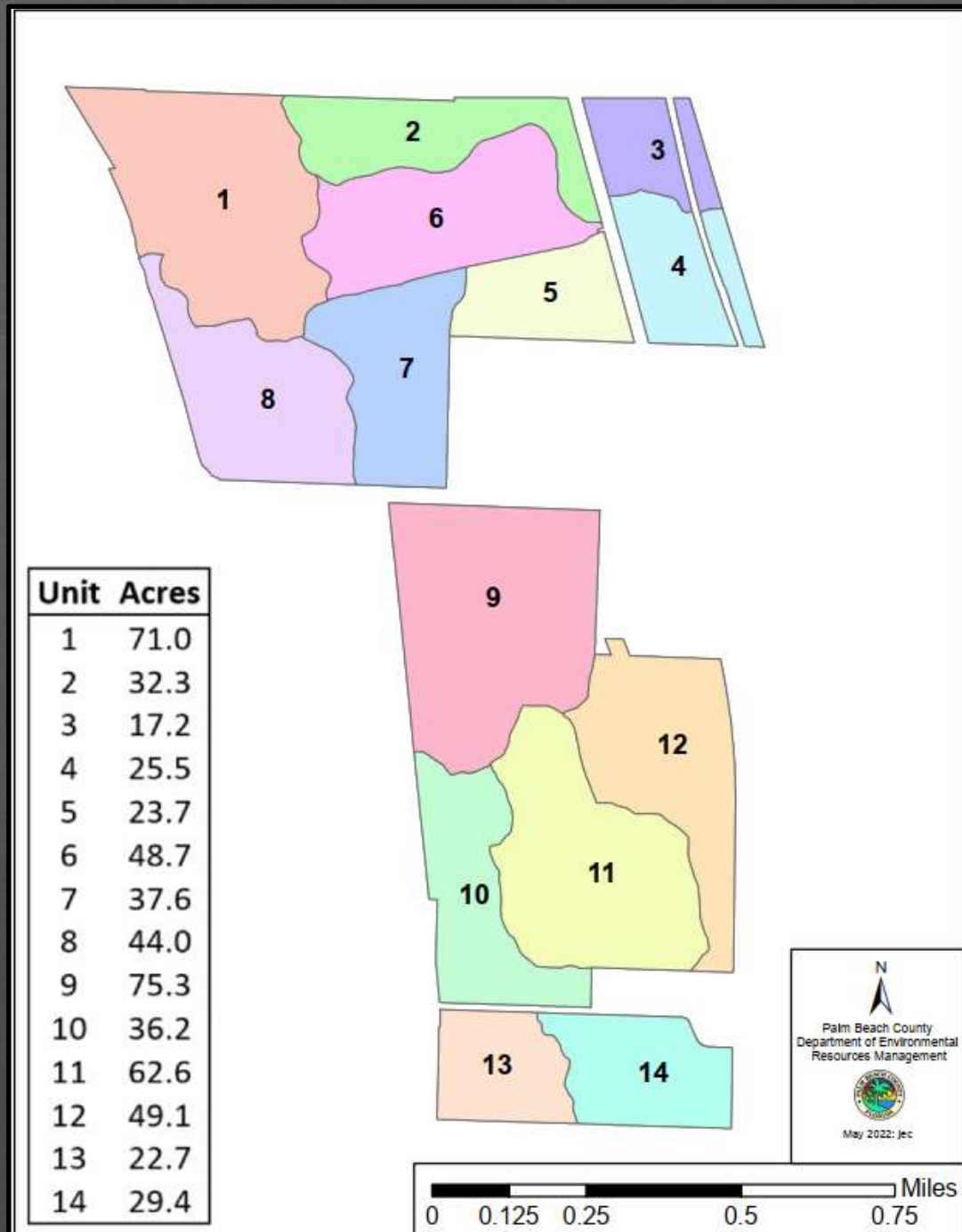




Examples of State Listed Species

Management Units

- There are 14 management units within the natural area; they are also considered “burn units”



Invasive/Nonnative Vegetation Removal

- A multi-phase, initial invasive/nonnative plant removal program began in 1997 and was completed in 2002
- Site is now in maintenance condition (coverage of invasive plant species does not exceed 1 percent of canopy or understory layer)
- Annual sweeps have been conducted since 2002



Invasive Species

- Juno Dunes is on a maintenance control schedule
- <5% invasive species coverage
- Yearly full site sweeps
- Quarterly weedy species aka Hotspot treatments
- Nuisance vine management, yearly removal and follow-up maintenance



Mechanical Vegetation Reduction

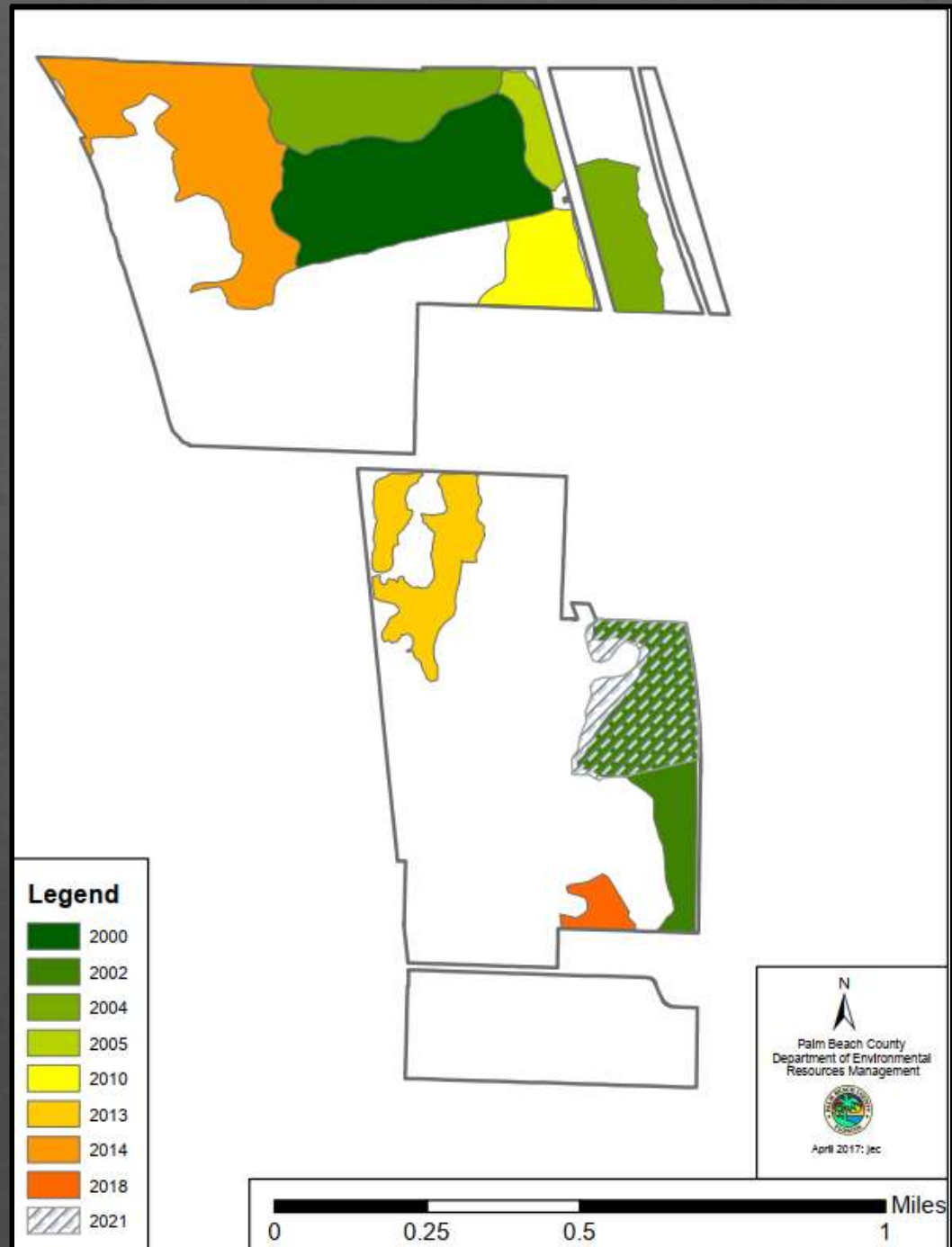
- Between 2010 & 2025:
mechanical reduction
methods were used for
upland restoration, WUI
maintenance and
prescribed fire preparation



Year	Reduction Type	Management Units
2010	Prescribed Fire Preparation	Unit 9
2011	Mechanical Vegetation Reduction	Units 9 & 10
2013	Prescribed Fire Preparation	Units 1 & 12
2014	Mechanical Vegetation Reduction	Units 13 & 14
2015	Pine Flatwoods Restoration	Unit 8
2016	Mechanical Vegetation Reduction	Units 7 & 11
2020	FEMA Firebreak Improvement	Units 1, 2, 5, 6, 9, 10 & 12
2022	Mechanical Vegetation Reduction	Units 10, 13 & 14
2023	FEMA Firebreak Maintenance	Units 1, 2, 6, 5, <u>7, 9</u> & 12
2025	Scrub Restoration, Wildfire rehab	Units 1, 8 & 9

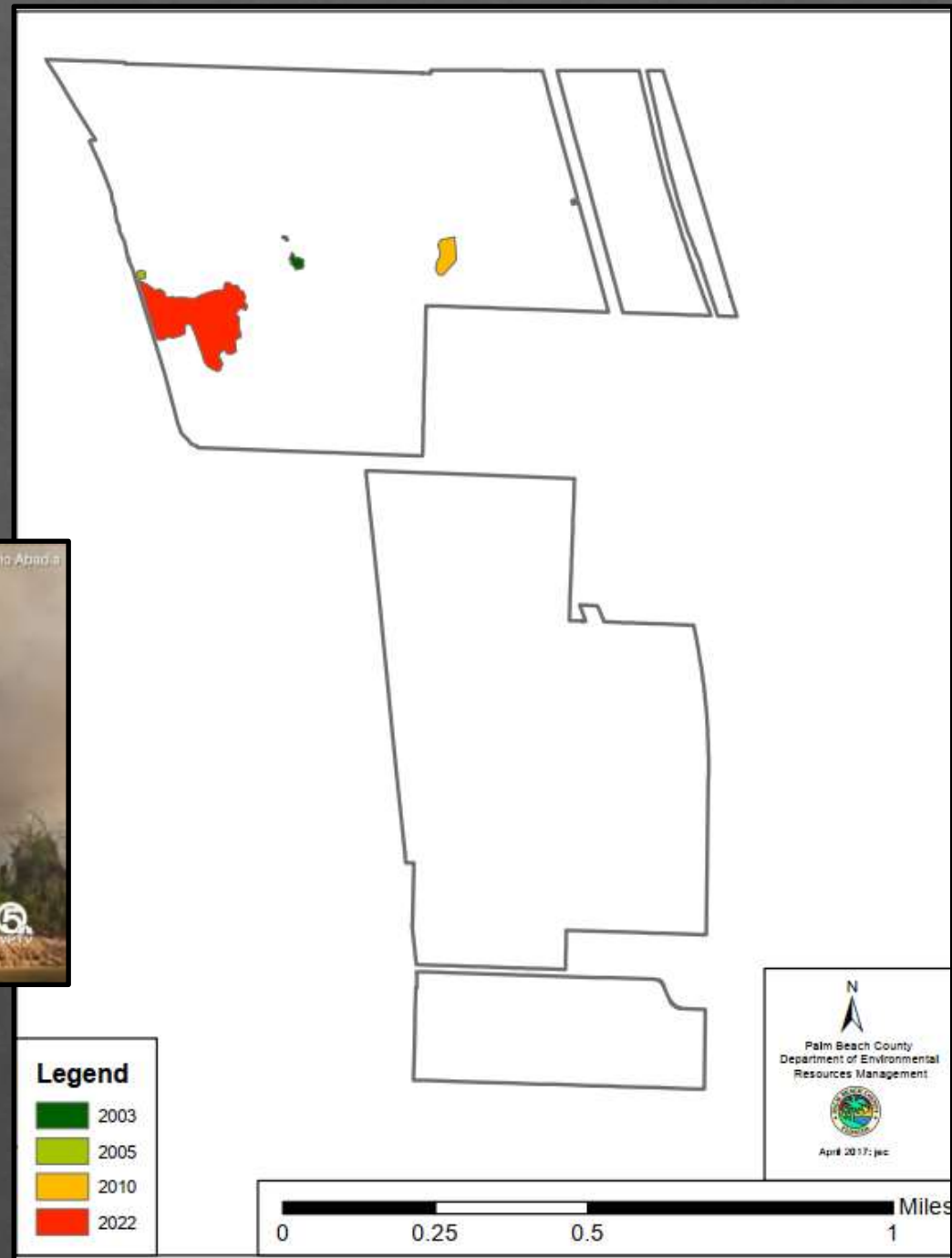
Prescribed Fire

- Ten prescribed burns to date between 2000 & 2022
- 234.25 total acres
- Urban location dictates extremely narrow weather conditions in which prescribed burning may take place. Mechanical fuel reduction may be used as a surrogate for fire



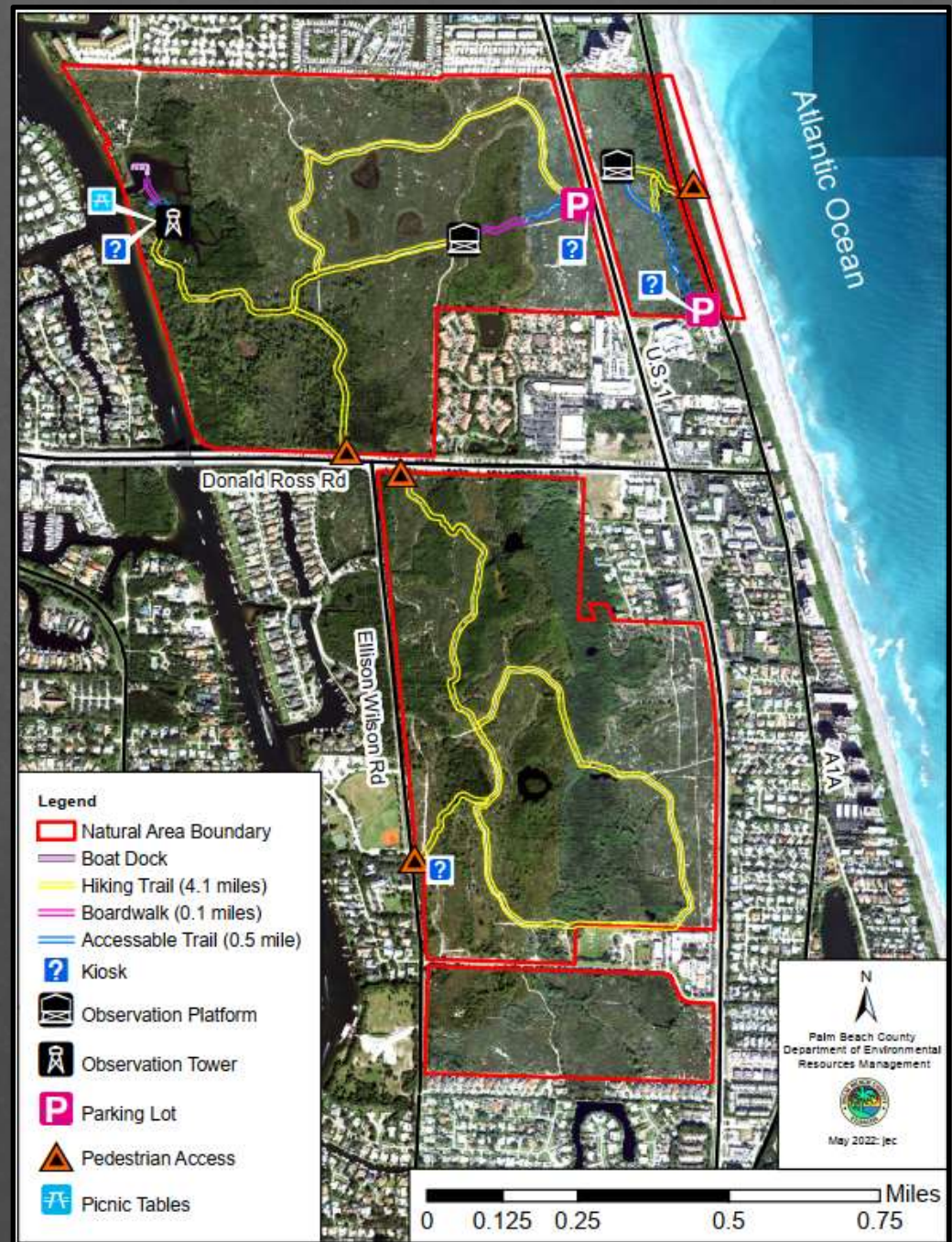
Wildfires

- Four wildfires have occurred on the site. The largest being 8.6 acres in March 2022



Existing Public Use Facilities

- East side of the site (east of US-1) opened to the public in August 2001 and the west side opened in April 2004
- 4.1-miles of natural-surfaced hiking trails
- 0.6-miles of accessible paved nature trails
- JUD receives between 1,000 – 2,000 visitors a month – this year we are on target to have >18,000 visitors



Oceanfront Public Use Facilities

Bike Rack



Nature Trail



Hiking Trail



Dune Overwalk



Observation Platform



Large Kiosk

Juno West Public Use Facilities

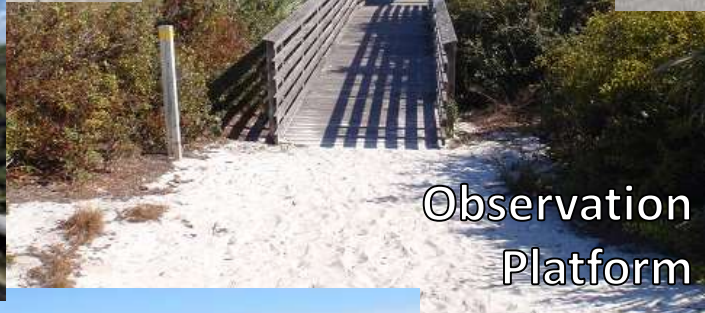
Kiosk &
Trail Head



Parking Lot



Observation
Platform



Bike Rack



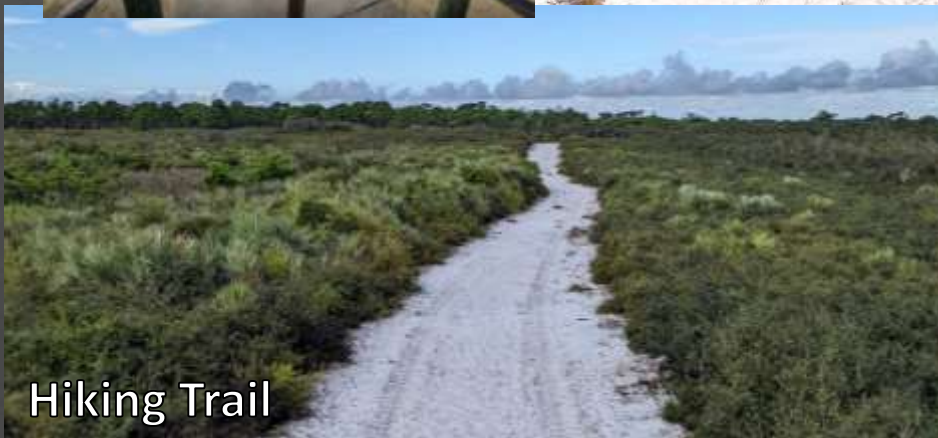
Boardwalk



Nature Trail



Hiking Trail



FIND Public Use Facilities



Boat Dock



Observation Tower



Picnic
Tables

Large Kiosk

Security Efforts & Issues

Management access gates, fencing, and signage have been installed.

Wildlands Task Force regularly patrols the site & issues citations

Environmental Tips Hotline
Posted at kiosk 561-616-BIRD

Common issues: palmetto berry poaching, trash, vandalism and graffiti.



Guided Hikes and Volunteer Clean-up Events



Palm Beach County ERM Volunteer Program Update



JUNO DUNES WEST WORKDAY - MAY 21, 2025

Volunteers helped the Palm Beach County Department of Environmental Resources Management remove 1,560 pounds of trash from this north county natural area. Total volunteer hours = 39



THANK YOU, VOLUNTEERS & STAFF!

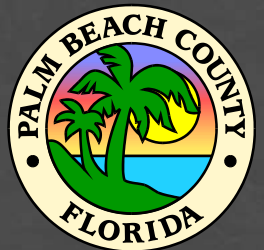


Palm Beach County Board of County Commissioners
Department of Environmental Resources Management

Questions?



PALM BEACH COUNTY
**NATURAL
AREAS**



The Waterford Planned Unit Development (PUD) / Special Exception (SE)

Major Modification to PUD/SE

Planning and Zoning Board

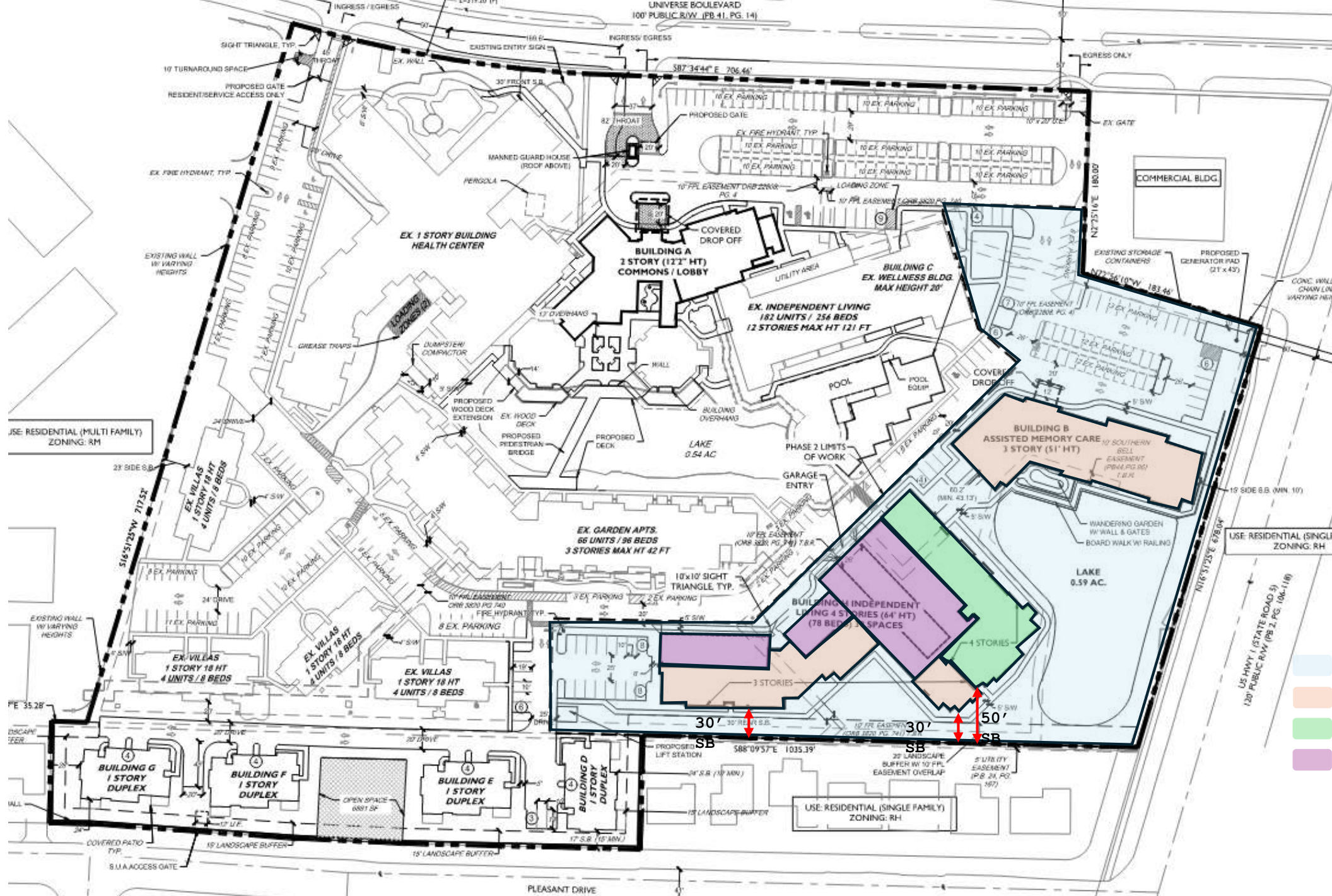
September 15, 2025

Development Proposal

- Special Exception – the approved use (Assisted Living Facility) is a special exception in the Professional Office Zoning District. There is no modification to the uses, but the special exception status remains
- Reconfigure approved Memory Care/Assisted Living and Independent Living Building
 - Break into two buildings (one with Memory Care, one with Independent Living)
 - Reduce the height of the Independent from seven stories to three stories
 - Increase the height of the Memory Care from three stories to four stories, stepping down to three on the south side near Pleasant Drive residential lots

Development Proposal

- Additional pedestrian connectivity around reconfigured buildings
- Removal of traffic circulation around the building and in the 2022 approved 50-foot rear setback, adjacent to Pleasant Drive residential
- Reduction of the 50-foot rear setback to 30 feet (min. required 25 ft)
- Reduction of parking spaces provided from 453 to 380 spaces
 - Applicant is requesting approval of a Parking Study, which demonstrates demand is 195 parking spaces. Code requires 345.



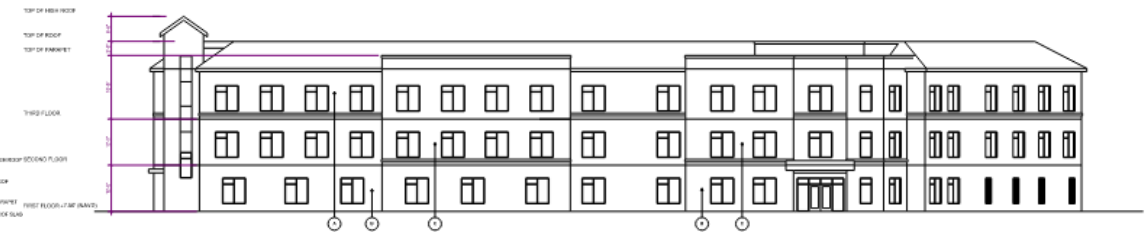
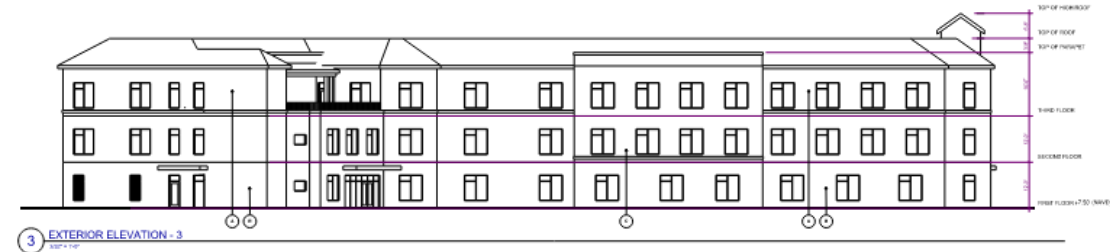


Elevations

Independent Living Building (South of Lake)

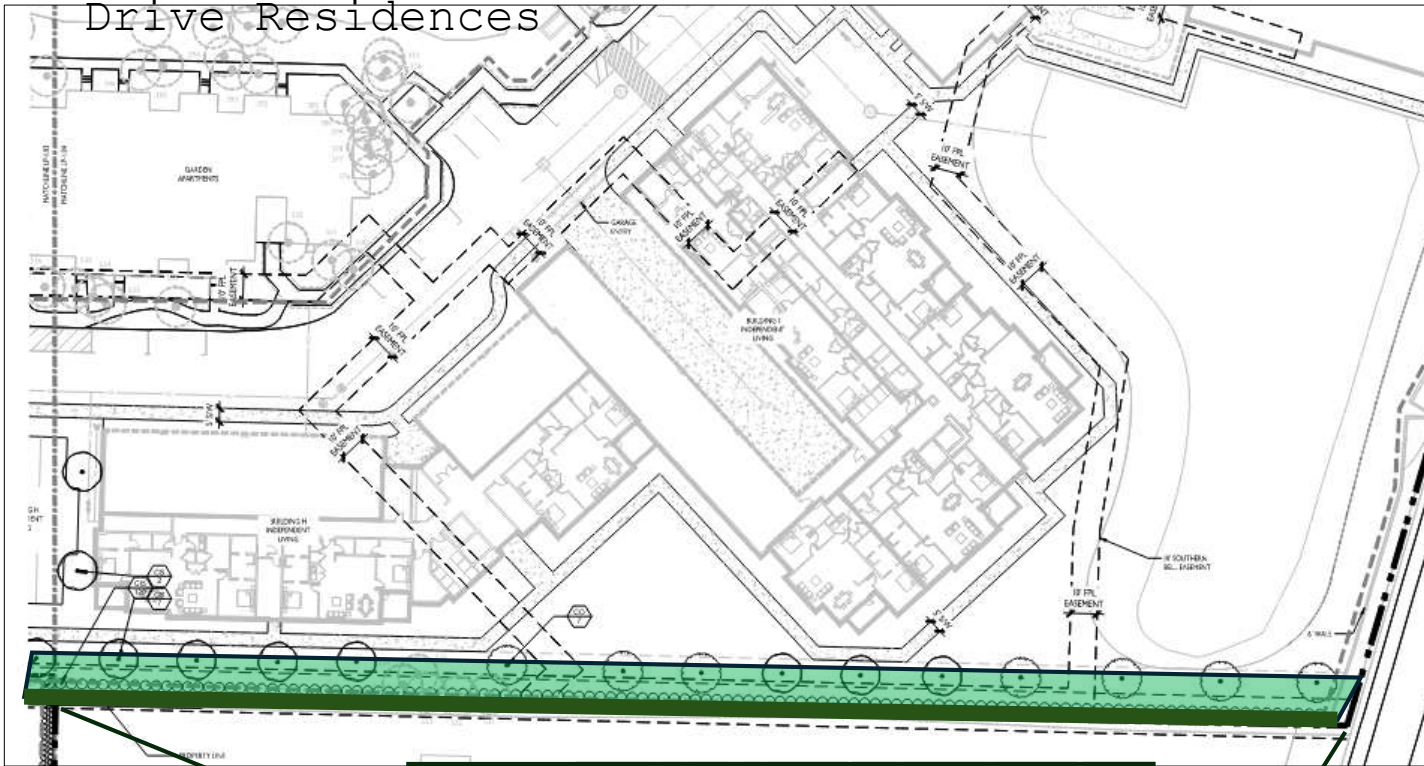


Memory Care Building (North of Lake)



Landscaping

Southern Property line, adjacent to Pleasant Drive Residences



Add 5' High Clusia Hedge
along this width

Existing Vegetation on
eastern side of Lake Feature
(Pond)



Preserve Existing Mature
Trees in this location

Staff Recommendations

- Additional/modified Conditions of Approval from 2022 Approval:
 - There shall be no parking within the Town's Right-of-Way (i.e. Universe Blvd.) and the Pleasant Drive ROW.
 - The applicant shall provide a modified landscape plan showing an enhanced landscaping buffer along the southern property line along the residences of Pleasant Drive, to consists of a minimum 5' high Clusia hedge row along the entire length of the residential lots.
 - Prior to Town Council approval, the applicant shall provide a modified tree disposition plan (sheets LD-1.00, and LD-1.04) and Landscape Plan, preserving

Applicant's Presentation



The Waterford Site Plan Amendment & Special Exception

Planning Board

September 15, 2025

THE WATERFORD | 

A LIFESPACE COMMUNITY®





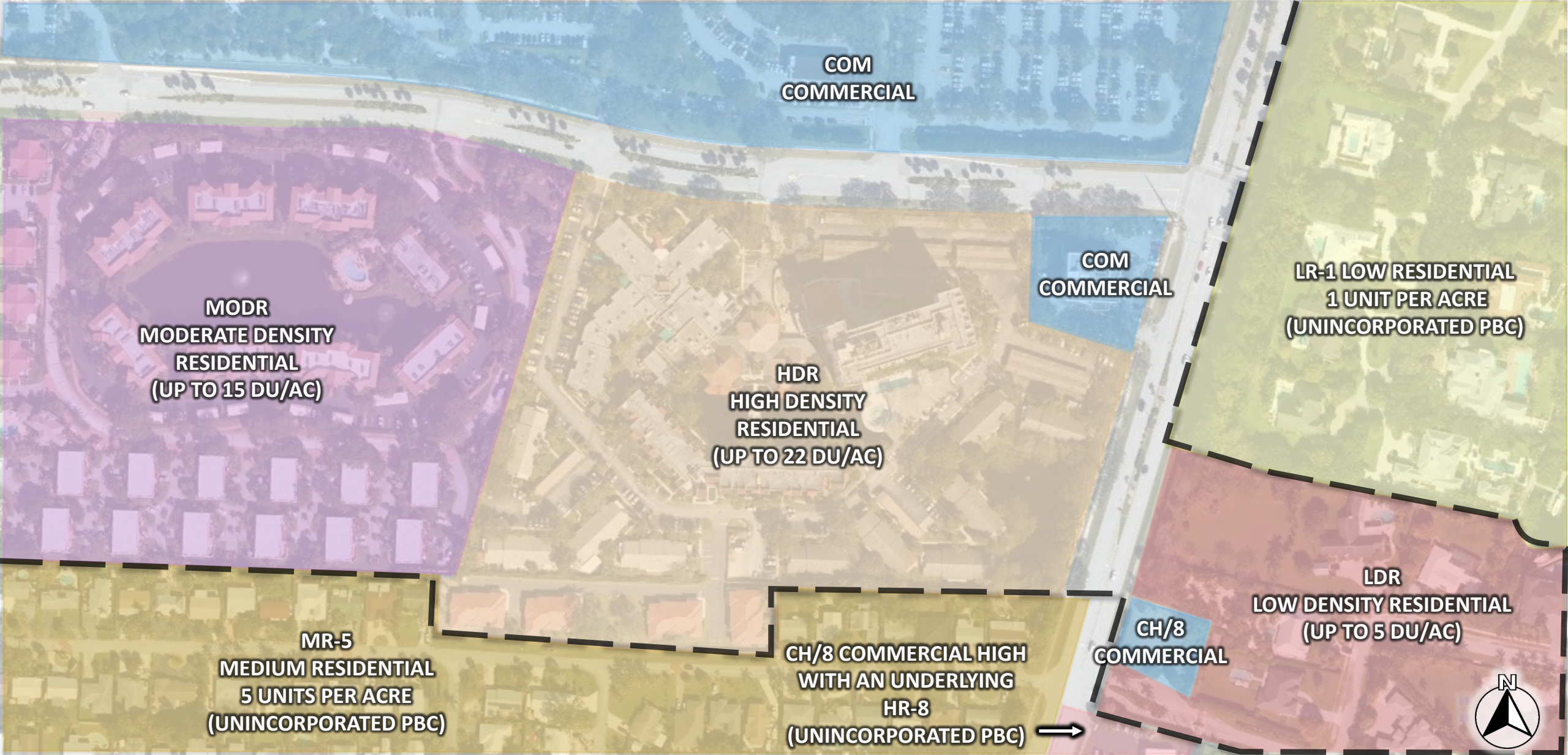
PROJECT LOCATION



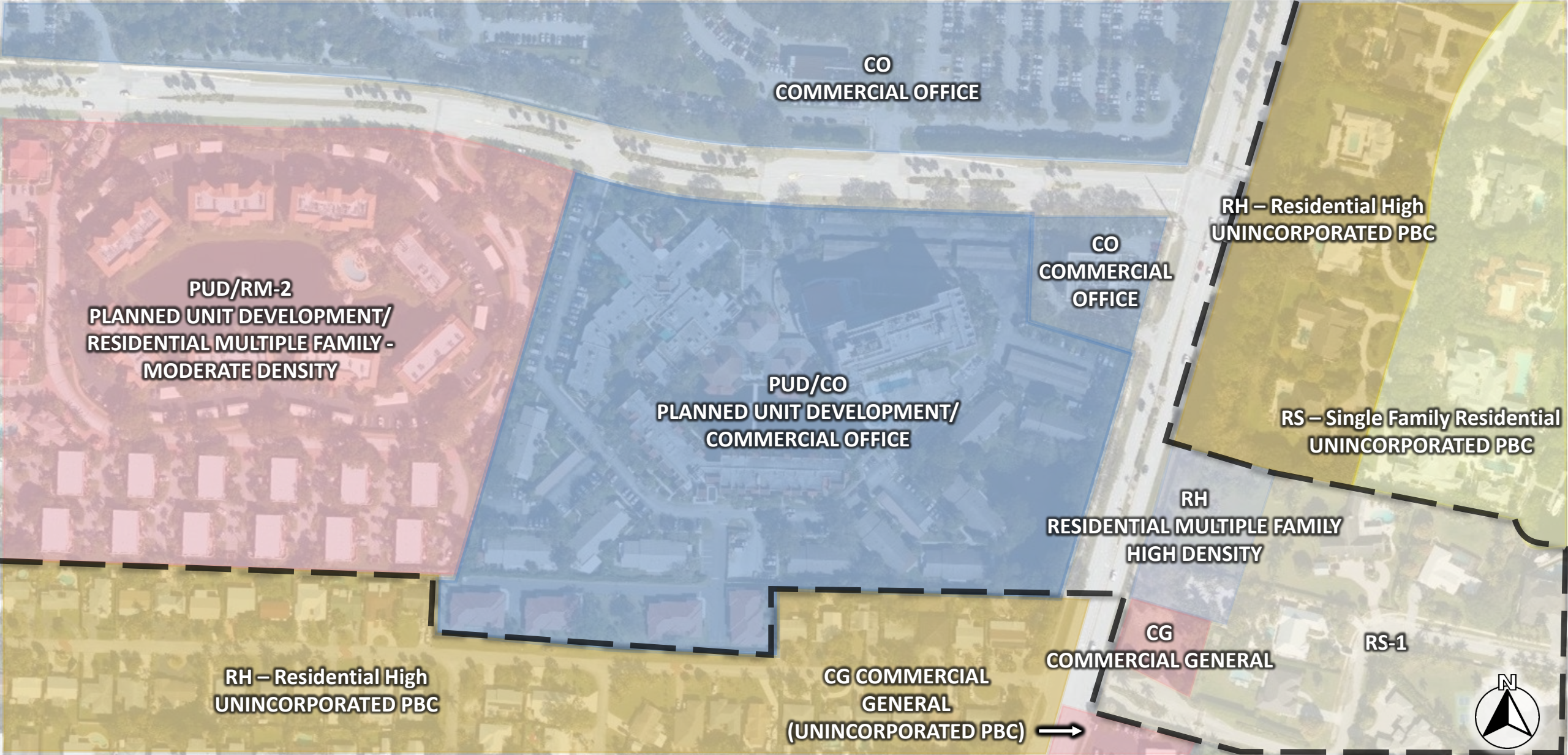
Site Plan Amendment & Special Exception

- Site Plan Amendment to modify the approved site plan package.
- Special Exception to allow for the reconfiguration of the approved development.
- There are no Variances or special considerations requested in this proposal.

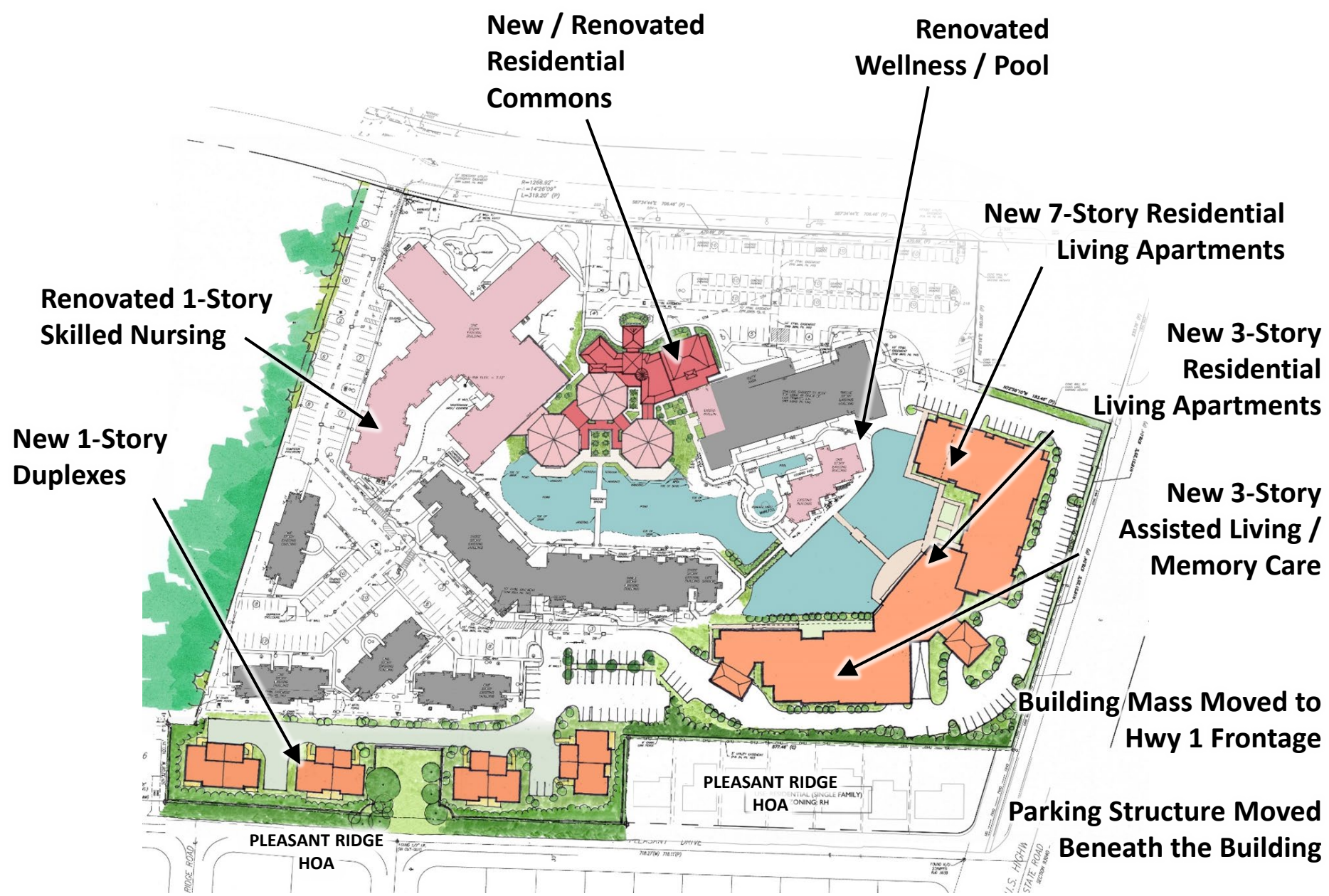
APPLICATION REQUESTS



Existing Future Land Use



Existing Zoning



Previously Approved Site Plan- 2022

- Interior modifications to commons and lobby area (Building A)
- Building reconfiguration (Buildings B and H)
- Reduction in overall number of beds from 638 to 578
- Density reduction from 16.71 DU/AC to 15.15 DU/AC
- Reduction of building height
- Improved pedestrian connectivity
- Modification to open space areas

Re-Design Summary

Proposed Building H – 64 feet (3 & 4 stories)



Sec. 34-116.a Site Plan Criteria



Is in conformity with the comprehensive plan and is not detrimental to the neighboring land use;



Has an efficient pedestrian and vehicular traffic system, including pedestrian, bicycle, and automotive linkages and proper means of ingress and egress to the streets;



Has adequate provision for public services, including, but not limited to, access for police, fire and solid waste collection;



Complies with the provisions of chapter 20, article III, regarding potable water, sanitary sewer, solid waste, drainage, recreation and open space, and road facilities;



Is planned in accordance with natural characteristics of the land, including, but not limited to, slope, elevation, drainage patterns (low areas shall be used for lakes or drainage easements), natural vegetation and habitats, and unique physical features;



Preserves environmental features and native vegetation to the maximum extent possible, and complies with the Environmentally Sensitive Lands Ordinance;



Protects estuarine areas when concerning marina siting, drainage plans, alteration of the shoreline, provisions for public access and other concerns related to water quality and habitat protection;



Complies with all sections of this chapter.

Site Plan & Appearance Review Standards

Sec. 34-116.b Appearance Review Criteria



Is of an architectural style representative of or reflecting the vernacular of Old Florida style which is indigenous to the town and which is commonly known and identified by its late Victorian (Key West Cracker), Spanish revival (Mediterranean), Modern (early to mid-20th century), or combination thereof style of architecture.



Is of a design and proportion which enhances and is in harmony with the area...



Elevator and stairwell shafts and other modern operations and features of a building shall be either completely concealed or shall incorporate the elements of the architectural style of the structure; rooftop equipment and elevator and mechanical penthouse protrusions shall be concealed; and parking garages and other accessory structures shall be designed with architectural features and treatments so that they are well proportioned and balanced and in keeping with the architectural style of the principal structure;



Shall have all on-site structures and accessory features (such as but not limited to light fixtures, benches, litter containers, including recycling bins, traffic and other signs, letter boxes, and bike racks) compatible in design, materials, and color;



Shall have a design in which buildings over 40 feet in height shall appear more horizontal or nondirectional in proportion rather than vertical, accomplished by the use of architectural treatments as described in these criteria;



Shall locate and design mechanical equipment with architectural treatments so that any noise or other negative impact is minimized;



Complies with the town's community appearance standards (see article IV, division 14 of this chapter).

Site Plan & Appearance Review Standards

Density

- The proposed density is compliant with the designated town density requirements.
- The proposed program has a reduction on total units from the previously approved amendment.

Building Height

Existing Building Height	Proposed Building Height
Existing Tower (to remain) – 121 feet (12 stories) Previous Approved Building – 90 feet (7 stories)	Building B – 51 feet (3 stories) Building H – 64 feet (3 & 4 stories)

Buffering

Required Landscape Buffer	Proposed Landscape Buffer
5 feet wide	Ranges from 15 to 20 feet

Access

- No new access points proposed as part of the applications.
- Three access points to the Campus are from Universe Blvd.

Setbacks

	Required By Code	Current Proposal
Front	30 feet	30 feet
Side	10 feet	28 feet (US Highway 1)
Rear (Classified as Front)	15 feet (Based on PUD Reduction)*	17 feet 30 feet at Independent Living Building

Traffic

- The Proposal meets the Traffic Performance Standards of Palm Beach County.



Engineering and Public Works Department
P.O. Box 21229
West Palm Beach, FL 33416-1229
(561) 684-4000
FAX: (561) 684-4050
www.pbc.gov

■

Palm Beach County Board of County Commissioners

Maria G. Marino, Mayor
Sara Baxter, Vice Mayor

Gregg K. Weiss

Joel Flores

Marci Woodward

Maria Sachs

Bobby Powell, Jr.

County Administrator

Verdenia C. Baker

"An Equal Opportunity Affirmative Action Employer"

printed on sustainable and recycled paper

May 1, 2025

Dr. Juan F. Ortega, PE
JFO Group Inc.
6671 W Indiantown Road, Suite 50-324
Jupiter, FL 33458

**RE: The Waterford
Project #: 250410 (Previously: 220113)
Traffic Performance Standards (TPS) Review**

Dear Dr. Ortega:

The Palm Beach County Traffic Division has reviewed the above referenced project Traffic Impact Statement, dated March 18, 2025, pursuant to the Traffic Performance Standards in Article 12 of the Palm Beach County Unified Land Development Code (ULDC). The project is summarized as follows:

Municipality: Juno Beach
Location: Southwest corner of US- 1 and Universe Blvd
PCN: 28-43-41-33-30-001-0000
Access: Two full and one egress-only access driveway connections onto Universe Blvd
(As used in the study and is NOT an approval by the County through this letter)

Existing Uses: Congregate Care Facility = 288 DUs
Assisted Living Facility = 60 Beds

Proposed Uses: Expand the existing site for a total of:
Congregate Care Facility = 290 DUs
Assisted Living Facility = 100 Beds

Net Daily Trips: 109 (Proposed – Existing)
Net Peak Hour Trips: 7 (4/3) AM; 10 (4/6) PM (Proposed – Existing)
New Daily Trips: 901
New Peak Hour Trips: 41 (24/17) AM; 76 (34/42) PM
Build-out: December 31, 2030

Based on the review, the Traffic Division has determined the proposed development generates less than 21 peak hour trips. Therefore, a detailed traffic study is not required. The project meets the Traffic Performance Standards (TPS) of Palm Beach County.

Please note the receipt of a TPS approval letter does not constitute the review and issuance of a Palm Beach County Right-of-Way (R/W) Construction Permit nor does it eliminate any requirements that may be deemed as site related. For work within Palm Beach County R/W, a detailed review of the project will be provided upon submittal for a R/W permit application. The project is required to comply with all Palm Beach County standards and may include R/W dedication.

No building permits are to be issued by the Town after the build-out date specified above, or as amended. The County traffic concurrency approval is subject to the



Dr. Juan F. Ortega, PE
May 1, 2025
Page 2

Project Aggregation Rules set forth in the Traffic Performance Standards Ordinance.

The approval letter shall be valid no longer than one year from date of issuance, unless an application for a Site Specific Development Order has been approved, an application for a Site Specific Development Order has been submitted, or the approval letter has been superseded by another approval letter for the same property.

If you have any questions regarding this determination, please contact me at 561-478-5755 or email MRahman@pbc.gov.

Sincerely,


Moshir Rahman, Ph.D., P.E.
Professional Engineer
Engineering and Public Works Dept.
Traffic Division

MR-QB:ep
cc: Addressce
Frank Davila, Director, P&Z, Town of Juno Beach
Quazi Bari, P.E., PTOE, Manager - Growth Management, Traffic Division
Alberto Lopez Tagle, Technical Assistant III, Traffic Division

File: General - TPS - Mun - Traffic Study Review
F:\TRAFFIC\MRM\UNAPPROVED\2025\250410 THE WATERFORD.DOCX

Parking

- **Parking Required by Code**

Component	Requirement	Quantity (Spaces)
Independent Living Unit (290 units/478 beds)	1 Sp./1 Unit	290
Assisted Living (24 Units/Beds)	Resident (1 Sp./4 beds)	6
Memory Care (16 Units/Beds)	Resident (1 Sp./4 beds)	4
Skilled Nursing (60 Units/Beds)	Resident (1 Sp./4 beds)	15
Staff	1 Sp./3 staff @ 114 staff*	38
Total		353

*24 hours/8 hour shifts = 3

- **Parking Demand by ITE Manual**

Component	Requirement	Quantity (Spaces)
Independent Living Unit (290 units/478 beds)	1 Sp./0.48 Units	140
Assisted Living (24 units/Beds)	1 Sp./0.55 Beds	13.2
Memory Care (16 units/beds)	1 Sp./0.55 Beds	8.8
Skilled Nursing (60 units/beds)	1 Sp./0.55 Beds	33
Total		195

- **Parking Provided**

Parking Type	Quantity (Spaces)
Proposed Surface Spaces	341
Proposed Garage Spaces	39
Handicap Spaces (Included in total)	8
Total	380

Parking

Operations-based Parking Demand Study

Parking Requirements: Lifespace Proposal

- Lifespace has long-term experience with resident's auto ownership ratios and parking utilization
 - Long sales period, extended permitting and remodeling timelines keeps level of occupancy when performing well at 90-93%
 - Many of our residents do not own cars (Lifespace FL communities – 56%, 65% & 68%)
- To adequately address likely parking lot performance, parking stalls exceeding the count defined by the parking study are being provided

Parking Requirements: Special Circumstances

- Parking management plan will be put in place to identify unused reserved spaces and re-sign as visitor spaces during term of apartment's vacancy
- Majority of spaces will be 9.5-10' wide to facilitate easier access

Proposed Parking - Initial State	
Existing Homes Prior to Stage 1 Construction	264
Reduction due to unit involved in combinations	(37)
Reduction due to removal of Villas	(24)
Existing Homes Prior Stage 2 Construction	203
Reduction for 93% Occupancy (high historical level)	(14)
Subtotal	189
Reduction for only 75% of residents (or less-56%, 65%, 68%) having cars	(47)
Stalls required for Existing IL Homes	142
New Homes	
Patio Homes (Second Space in Garage)	8
New Apartments	39
Units after Combination	18
Assumes 100% Occupancy - No Reduction	0
Subtotal	65
Assumes 100% car usage - No Reduction	0
Stalls required for New IL Homes	65
Total Stalls Calculated for IL Homes	207

Total Stalls Calculated for Occupied IL Homes	207
Total Stalls Calculated for Team Members	
Current FTE's	80
Added FTE's for new IL	9
Added FTE's for AL/MC	20
Subtotal	316
Total Stalls Provided	380
Stalls Available for Visitors	64

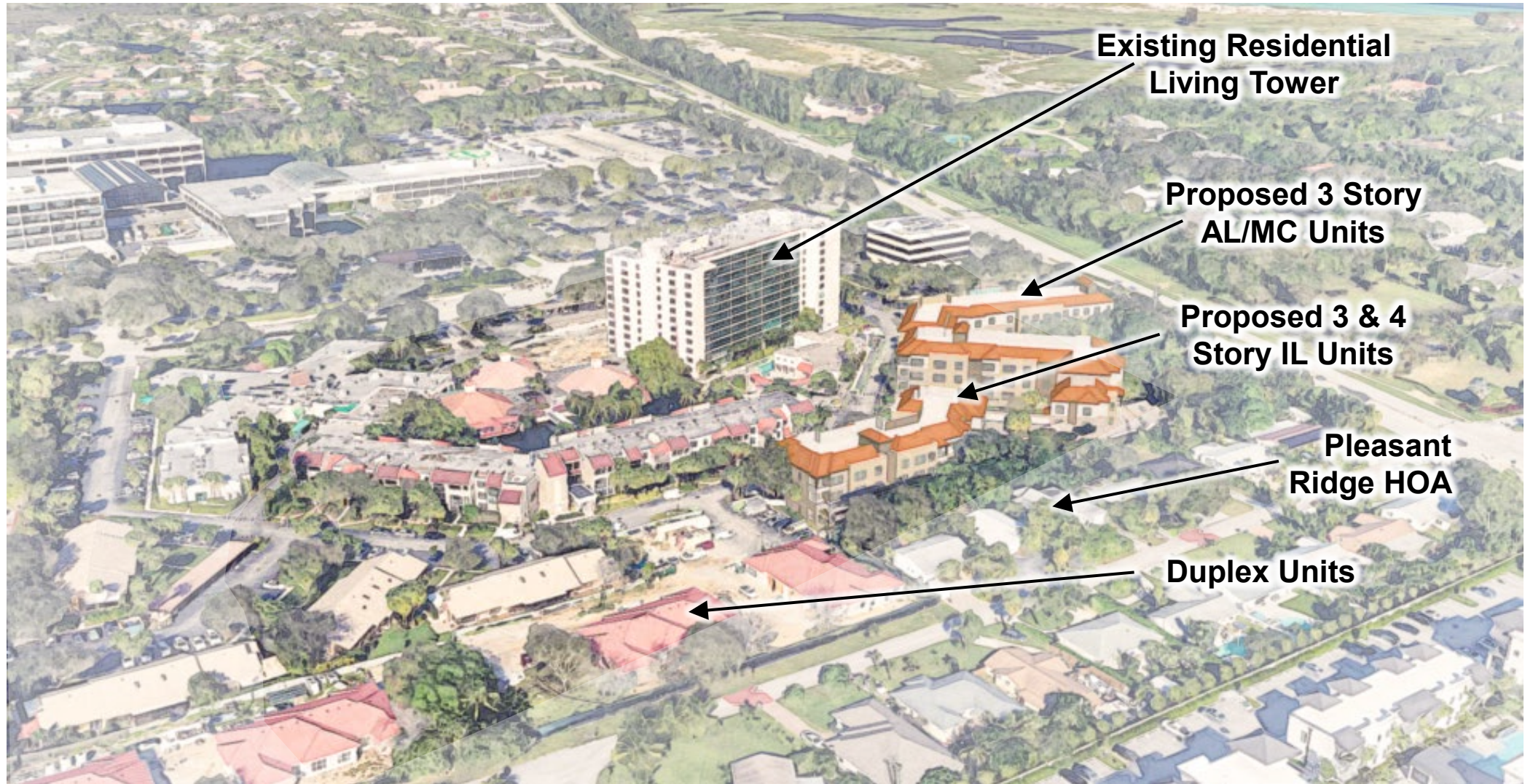
Proposed Parking - Future State	
Existing Homes Prior to Stage 1 Construction	264
Reduction due to unit involved in combinations	(37)
Reduction due to removal of Villas	(24)
Existing Homes Prior Stage 2 Construction	203
Reduction for 93% Occupancy (high historical level)	(14)
Subtotal	189
Reduction for only 75% of residents (or less-56%, 65%, 68%) having cars	(47)
Stalls required for Existing IL Homes	142
New Homes	
Patio Homes (Second Space in Garage)	8
New Apartments	39
Units after Combination	18
Reduction for 93% Occupancy (high historical level)	(5)
Subtotal	60
Reduction for only 75% of residents (or less-56%, 65%, 68%) having cars	(15)
Stalls required for New IL Homes	45
Total Stalls Calculated for IL Homes	187

Total Stalls Calculated for Occupied IL Homes	187
Total Stalls Calculated for Team Members	
Current FTE's	80
Added FTE's for new IL	9
Added FTE's for AL/MC	20
Subtotal	296
Total Stalls Provided	380
Stalls Available for Visitors	84

Design Compliance



Previous Site Rendering



Proposed Site Rendering



Building Elevations



Building Elevations



Building Elevations

18. Prior to Town Council approval, the applicant shall provide a modified landscape plan showing an enhanced landscaping buffer along the southern property line along the residences of Pleasant Drive, to consists of a minimum 5' high Clusia hedge row along the entire length of the residential lots; and



Conditions of Approval

Staff Assessment: Staff recommends that the Planning and Zoning Board consider the Request for a Major Site Plan Amendment to a Special Exception Planned Unit Development (PUD) for the reconfiguration and modification of the existing senior living facility community, subject to the conditions outlined above, and provide a recommendation to the Town Council.

Staff Recommendation

The Waterford Site Plan Amendment & Special Exception

Planning Board

September 15, 2025

451 Ocean Drive



Building Plans





PATTY AND TOM KELLEY

451 OCEAN DRIVE, JUNO BEACH, FL 33408

SHEET	DESCRIPTION		
	COVER SHEET		
A0	SITE PLAN		
A1	FIRST FLOOR PLAN		
A2	SECOND FLOOR PLAN		
A3	ELEVATIONS		
A4	ELEVATIONS		
A5	ROOF PLAN		

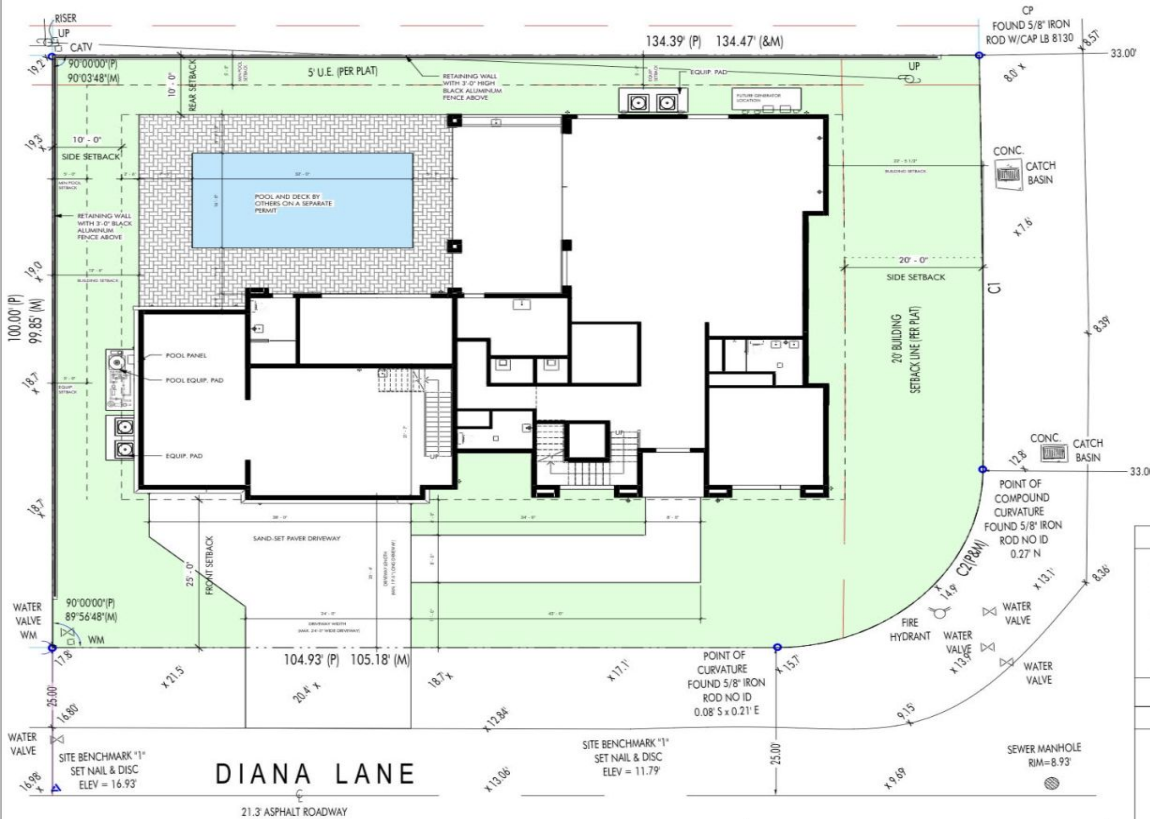
BUILDING DESIGN DATA

CODES: FLORIDA RESIDENTIAL BUILDING CODE 2023 8TH EDITION - RESIDENTIAL
ENERGY CONSERVATION, PLUMBING, MECHANICAL AND ELECTRICAL
NFPA FL. FIRE PREVENTION CODE 8th ED.
NEC NATIONAL ELECTRIC CODE 2023, NFPA 70
CARBON MONOXIDE DETECTORS REQUIREMENTS PER FL ADMINISTRATIVE CODE
RULE 9B-3.0472
ACI 318-19
ASTM 47th ED. E1527-21

DESIGN CRITERIA

CITY/COUNTY	JUNO BEACH, PALM BEACH, FL
OCCUPANCY GROUP	R-3
NUMBER OF STORIES	2
BUILDING CATEGORY	ENCLOSED
BASIC WIND SPEED, MPH	170
WIND IMPORTANCE FACTOR	1.0
WIND EXPOSURE FACTOR	C
INTERNAL PRESSURE COEFFICIENT	+/- .18
MINIMUM SOIL PRESSURE, PSF	2500
FLOOR LOAD, PSF	65
ROOF DEAD LOAD, PSF	25
ROOF LIVE LOAD, PSF	30
CONSTRUCTION TYPE	VB UNPROTECTED

OWNER: PATTY AND TOM KELLEY 451 OCEAN DRIVE JUNO BEACH, FL 33408	ARCHITECT: ARISE ARCHITECTURE LLC 13901 US-1 #2, JUNO BEACH, FL 33408	STRUCTURAL ENGINEER: ADAM GINSBERG, P.E. 2901 CLINT MOORE RD #237 BOCA RATON, FL 33496	CONTRACTOR: FIRST PREMIER HOMES 725 N A1A SUITE C111 JUPITER, FL 33477
--	---	--	--



1 SITE PLAN
1/8" = 1'-0"

SITE DATA TABLE	
BUILDING FOOTPRINT	4,262 SQ FT
1ST FLOOR AREA	3,107 SQ FT
GARAGE AREA	1,155 SQ FT
TOTAL SITE AREA	13,291 SQ FT
25% LANDSCAPE AREA = 3,323 SF PROVIDE = 3,500 SF	
LANDSCAPE AREA =	

ZONING REQUIREMENT PER THE CITY OF JUNO BEACH		
	REQUIRED	PROVIDED
MINIMUM FRONT SETBACK	25'-0"	25'-0"
MINIMUM SIDE SETBACK	10'-0"	12'-6"
MINIMUM SIDE SETBACK (OCEAN DR.)	20'-0"	22'-6"
MINIMUM REAR SETBACK	10'-0"	10'-0"
MAXIMUM HEIGHT: 2-STORIES	30'-0"	25'-10"
MAXIMUM COVERAGE	35%; 4,652 SF	4,262 SF
MAXIMUM BUILDING DIM.	100'-0"	100'-0"
MINIMUM LANDSCAPE AREA	25%; 3,323 SF	3,500 SF
MINIMUM PARKING REQUIRED	2 SPACES	4 SPACES

OCEAN DRIVE

PROJECT DESCRIPTION:

NEW TWO STORY, SINGLE FAMILY RESIDENCE LOCATED AT 451 OCEAN DRIVE, JUNO BEACH, FL., PALM BEACH COUNTY, FLORIDA.

TWO STORY SINGLE FAMILY RESIDENCE TO ACCOMMODATE: 6 BEDROOMS, 6 BATHS, FOYER, POWDER ROOM, LIVING ROOM, DINING ROOM, KITCHEN, ELEVATOR, LAUNDRY, 3-CAR GARAGE, COVERED ENTRY, ATTIC, COVERED LANAI.

APPLICABLE CODES/ACTS:

2023 F.B.C. - RESIDENTIAL 8TH EDITION

LOCAL MUNICIPALITY:

JUNO BEACH, PALM BEACH COUNTY, FL.

BUILDING AREA:

SQUARE FOOTAGE: TOTAL A/C BUILDING AREA: 5,736.00 SQ. FT.

BUILDING HEIGHT:

2 STORIES SINGLE FAMILY RESIDENCE.
ALLOWABLE ROOF HEIGHT = 30'-0" (MEASURED FROM 18" ABOVE THE CROWN OF ADJOINING ROADS)

PROPOSED ROOF HEIGHT = 27'-11"

USER GROUP:

GROUP R3 OCCUPANCY
TYPE "VB" CONSTRUCTION - UNPROTECTED AND UNSPRINKLERED

LEGAL DESCRIPTION

LOT 20, SEA VIEW RIDGE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 25, PAGE 126, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

ZONING

RS-1
RESIDENTIAL SINGLE FAMILY

SITE PLAN NOTES

- NO ROOF DRAINS
- APPLICANT/OWNER SHALL BE RESPONSIBLE FOR CORRECTING AND ADVERSE IMPACTS CAUSED BY EXISTING AND PROPOSED CONDITIONS NOT CAPTURED ON PLANS PRIOR TO C.O.
- NO WATER TO DRAIN ON TO ADJOINING PROPERTY
- CONTRACTOR TO VERIFY ALL UTILITY CONNECTIONS
- FINISH FLOOR TO BE MIN. 18" ABOVE THE CROWN OF ROAD
- POOL DESIGN & DRAWINGS BY OTHERS
- LANDSCAPE DESIGN & DRAWINGS BY OTHERS
- SOILS SHALL BE TERMITE TREATED
- G.C. SHALL COORDINATE ALL RIGHT-OF-WAY CONDITIONS W/ DRIVEWAYS
- ELEVATIONS SHOWN HEREIN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988
- SEE CIVIL DRAWINGS FOR DRAINAGE FLOW SLOPES

BUILDING TO COMPLY WITH ALL PROVISIONS OF ORDINANCE 5418 FLOOD DAMAGE PREVENTION AND PROTECTION

REFER TO CIVIL ENGINEER PLANS FOR SITE DRAINAGE CALC'S

FLOOD ZONE INFORMATION

PROPOSED TOP OF SLAB ELEV. = 18.5 N.A.V.D.

FEMA FLOOD ZONE: X

AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) NUMBER 12099C/1177G, COMMUNITY NUMBER 12099C 0381 G, DATED DECEMBER 20, 2024.

FEMA FLOOD ZONE: X

MINIMUM ALLOWED FINISH FLOOR ELEVATION = 18" ABOVE THE CROWN OF THE ROAD

FEMA MAP: 12099C 0381 G

DATE OF FIRM: DECEMBER 20, 2024

TERMITE PROTECTION STATEMENT

PER FLORIDA BUILDING CODE - RESIDENTIAL / SECTION 318

TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION. SEE SECTION 302, REGISTERED TERMITICIDE - UPON COMPLETION OF THE APPLICATION OF THE TERMITE PROTECTIVE TREATMENT, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINED THE FOLLOWING STATEMENT: THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.



ARISE ARCHITECTURE, LLC

www.arisearch.com

ARISE ARCHITECTURE, LLC
561.846.2718 TEL
www.arisearch.com

451 OCEAN DRIVE

PROJECT FOR:

PATTY AND
TOM KELLEY

451 OCEAN DRIVE, JUNO BEACH, FL
33408

SEAL/SIGNATURE/DATE:

LIC# 18103116

PROJECT NUMBER: 20250001

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODE AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY LOCAL AUTHORITY IN ACCORDANCE WITH SECTION 118, FLORIDA BUILDING CODE AND CHAPTER 633, FLORIDA STATUTES.

TO THE BEST OF THE STRUCTURAL ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH CHAPTER 633, FLORIDA STATUTES.

ALL DESIGNS INDICATED IN THESE DRAWINGS ARE THE PROPERTY OF ARISE ARCHITECTURE, LLC. ALL COPYRIGHTS RESERVED. NO COPIES, TRANSMISSIONS, REPRODUCTIONS OR ELECTRONIC HANDLING OF ANY PORTION OF THESE DRAWINGS IN WHOLE OR IN PART ARE TO BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF ARISE ARCHITECTURE, LLC.

No.	Description	Date

NOT FOR CONSTRUCTION

SITE PLAN

Date: AUG 20, 2025
Drawn By: MLY
Checked By: CL

A0

Scale: As indicated

SITE DATA TABLE	
BUILDING FOOTPRINT	4,262 SQ FT
1ST FLOOR AREA	3,107 SQ FT
GARAGE AREA	1,155 SQ FT
TOTAL SITE AREA	13,291 SQ FT
25% LANDSCAPE AREA = 3,323 SF PROVIDE = 3,500 SF	
LANDSCAPE AREA =	

ZONING REQUIREMENT		
PER THE CITY OF JUNO BEACH		
	REQUIRED	PROVIDED
MINIMUM FRONT SETBACK	25'-0"	25'-0"
MINIMUM SIDE SETBACK	10'-0"	12'-6"
MINIMUM SIDE SETBACK (OCEAN DR.)	20'-0"	22'-6"
MINIMUM REAR SETBACK	10'-0"	10'-0"
MAXIMUM HEIGHT: 2-STORIES	30'-0"	25'-10"
MAXIMUM COVERAGE	35%: 4,652 SF	4,262 SF
MAXIMUM BUILDING DIM	100'-0"	100'-0"
MINIMUM LANDSCAPE AREA	25%: 3,323 SF	3,500 SF
MINIMUM PARKING REQUIRED	2 SPACES	4 SPACES



ARISE ARCHITECTURE, LLC

www.arisearch.com

ARISE ARCHITECTURE, LLC
561.866.2717 TDS
www.arisearch.com

451 OCEAN DRIVE

PROJECT FOR:

**PATTY AND
TOM KELLEY**

451 OCEAN DRIVE, JUNO BEACH, FL
33408

SEAL/SIGNATURE/DATE:
LICENSE # A0103314

PROJECT NUMBER: 202305001

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE PLANS
AND SPECIFICATIONS COMPLY WITH THE MINIMUM
BUILDING CODES AND THE APPLICABLE FIRE SAFETY
STANDARDS AS DETERMINED BY LOCAL AUTHORITY IN
ACCORDANCE WITH SECTION 115, FLORIDA BUILDING
CODE AND CHAPTER 633, FLORIDA STATUTES.

TO THE BEST OF THE STRUCTURAL ENGINEER'S
KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY
WITH THE APPLICABLE FIRE SAFETY STANDARDS AS
DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE
AND CHAPTER 633, FLORIDA STATUTES.

ALL DESIGNS INDICATED IN THESE DRAWINGS ARE THE
PROPERTY OF ARISE ARCHITECTURE, LLC. ALL COPYRIGHTS,
RESERVING AND CONSENTS, TRANSMISSIONS, REPRODUCTIONS
OR ELECTRONIC TRANSMISSIONS OF ANY PORTION OF
THESE DRAWINGS IN WHOLE OR IN PART ARE TO BE MADE
WITHOUT THE EXPRESS WRITTEN PERMISSION OF ARISE
ARCHITECTURE, LLC.

No.	Description	Date

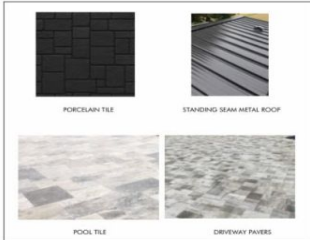
NOT FOR CONSTRUCTION

ELEVATIONS

Date: **AUG 20, 2025**
Drawn By: **MLY**
Checked By: **CL**

A3

Scale: As indicated





1 REAR ELEVATION MATERIAL
1/4" = 1'-0"



2 EAST ELEVATION MATERIAL
1/4" = 1'-0"



ARISE ARCHITECTURE, LLC

www.arisearch.com

ARISE ARCHITECTURE, LLC
561.866.2719 TEL
www.arisearch.com

451 OCEAN DRIVE

PROJECT FOR:

**PATTY AND
TOM KELLEY**

451 OCEAN DRIVE, JUNO BEACH, FL
33408

SEAL/SIGNATURE/DATE
LICENSE # : AR100314

PROJECT NUMBER: 20230501

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE PLANS
AND SPECIFICATIONS COMPLY WITH THE MINIMUM
BUILDING CODES AND THE APPLICABLE FIRE SAFETY
STANDARDS AS DETERMINED BY LOCAL AUTHORITY IN
ACCORDANCE WITH SECTION 116, FLORIDA BUILDING
CODE AND CHAPTER 633, FLORIDA STATUTES.

TO THE BEST OF THE STRUCTURAL ENGINEER'S
KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY
WITH THE APPLICABLE FIRE SAFETY STANDARDS AS
DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE
AND CHAPTER 633, FLORIDA STATUTES.

ALL DESIGNS INDICATED IN THESE DRAWINGS ARE THE
PROPERTY OF ARISE ARCHITECTURE, LLC. ALL COPYRIGHTS
RESERVED. NO COPIES, TRANSMISSIONS, REPRODUCTIONS
OR ELECTRONIC MANIPULATION OF ANY PORTION OF
THESE DRAWINGS IN WHOLE OR IN PART ARE TO BE MADE
WITHOUT THE EXPRESS WRITTEN PERMISSION OF ARISE
ARCHITECTURE, LLC.

No.	Description	Date

NOT FOR CONSTRUCTION

ELEVATIONS

Date: **AUG 20, 2025**

Drawn By: **MLY**

Checked By: **CL**

A4

Scale: **As indicated**

Landscape Plans



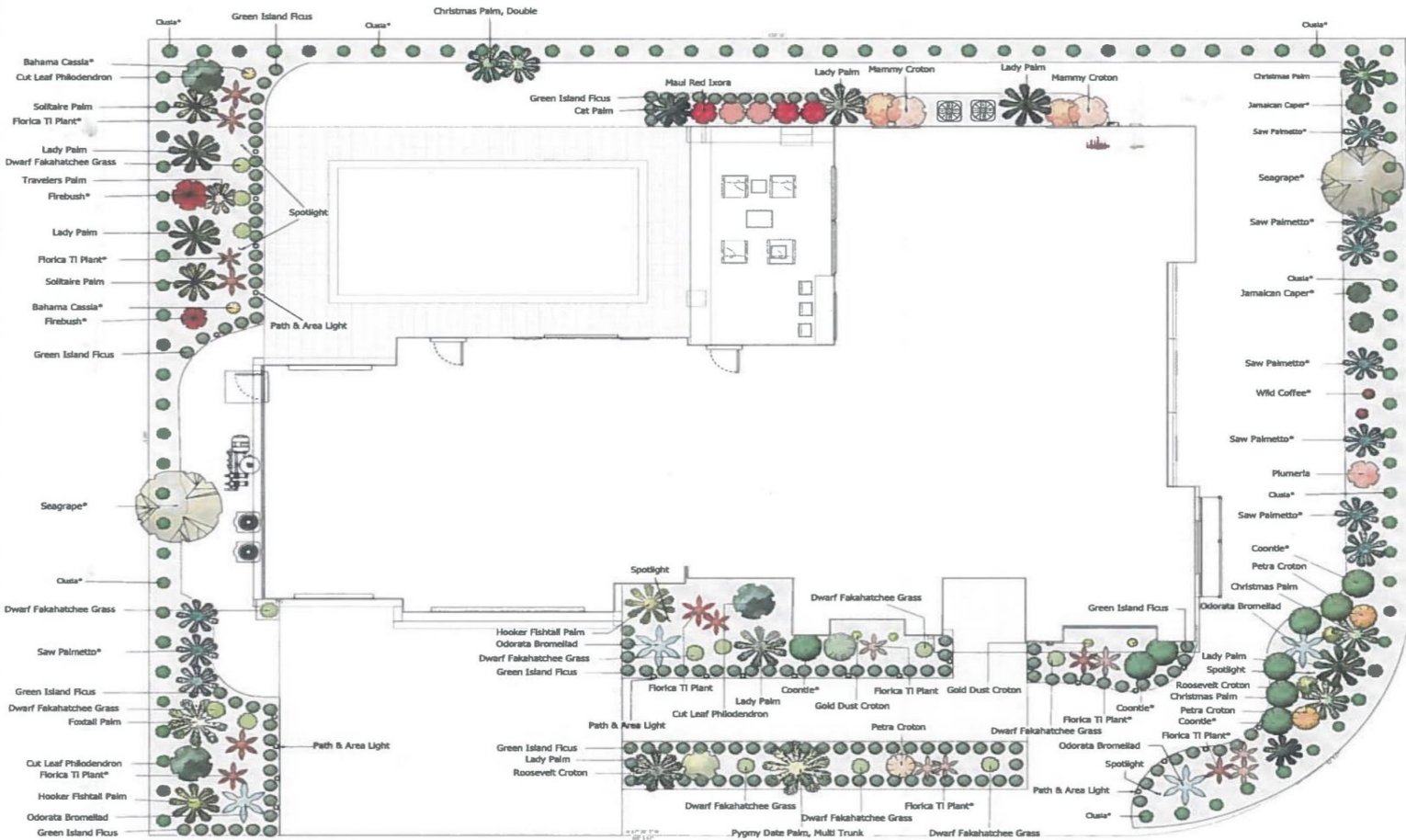
BUILD PLAN

$$\frac{3}{16}'' = 1 \text{ ft}$$

Property Description:
PCN 00-42-47-07-16-003

9225 451 Ocean Drive
-0070

Oak Design Group
West Palm Beach, FL
33405
(561) 933-7446
info@oakdesigngroup.com



Native Plant Legend							
Symbol	City	Common Name	Scientific Name	Regional	City	Common Name	Scientific Name
	1	Brown Sage*	Sage wattlewren (marginal)	1	Brown Sage*	Common throughout	
	2	Shrub	Grey Gumbi	2	Shrub	Extinct	
	3	Shrub	Grey Gumbi	3	Shrub	Extinct	
	4	Shrub	Shrub Gumbi	4	Shrub	Extinct	
	5	Shrub	Shrub Gumbi	5	Shrub	Extinct	
	6	Shrub	Shrub Gumbi	6	Shrub	Extinct	

1. *What is the purpose of the study?* The purpose of the study is to determine the effect of the use of a computer-based simulation on the learning of the concepts of the cell and the cell cycle.

2. *What is the research question?* The research question is: What is the effect of the use of a computer-based simulation on the learning of the concepts of the cell and the cell cycle?

3. *What is the hypothesis?* The hypothesis is that the use of a computer-based simulation will have a positive effect on the learning of the concepts of the cell and the cell cycle.

4. *What is the independent variable?* The independent variable is the use of a computer-based simulation.

5. *What is the dependent variable?* The dependent variable is the learning of the concepts of the cell and the cell cycle.

6. *What is the control group?* The control group is the group of students who did not use the computer-based simulation.

7. *What is the experimental group?* The experimental group is the group of students who used the computer-based simulation.

8. *What is the data collection method?* The data collection method is a pre-test and post-test design.

9. *What is the data analysis method?* The data analysis method is a t-test.

10. *What is the conclusion?* The conclusion is that the use of a computer-based simulation has a positive effect on the learning of the concepts of the cell and the cell cycle.

WILLIAM SHAPIRO AND DAVID SHAPIRO, JR.

1. GENERAL LANDSCAPE REQUIREMENTS

MATERIAL, GATHERING, STAINING AND MOUNTING

ALL CONTAINER MATERIAL SHALL BE HEALTHY AND WELL ROOTED

1995. C.M. 844.611. 800. C.X. 800.800. 800. C.M. 184. 800. 842.800. 800. 800.800.800.

PAUL BRASS, DE CITTÀ DI PAUL BRASS NOTED STRENGTH

ALL PLANTS AND TREES SHALL BE WATERED PROPERLY AND NOT ABSENT. THE ABSENCE OF IRRIGATION SHALL VOID ALL WARRANTIES.

THE LANDSCAPE CONTRACTOR SHALL NOT MAKE ANY SUBSTITUTIONS WITHOUT NOTIFYING LANDSCAPE D

ALL WORK TO CONFORM WITH LOCAL LANDSCAPE CODE.

ALL PLANTING BEDS SHALL BE PROPERLY PREPPED PRIOR TO THE COMMENCEMENT OF ANY PLANTING.

ALL PLANTING BEDS TO HAVE GOOD SOIL AND SHALL BE FREE OF ROCKS. ANY SOIL ADDED SHALL BE

HEALTHY TOP SOIL OR SPECIAL BLEND

SOODING: SOO TYPE SPECIFIED SHALL NOT BE OLD AND LAYED WITHIN 24 HOURS OF BEING CUT IT IS T

LAYED IN OVERLAPPING TIGHT PATTERN.

FOR COMPANIES THAT CONTROL THEIR OWN IRRIGATION, IT IS THE OWNER'S RESPONSIBILITY TO TALK TO COMPANY PROVIDER REGARDING IRRIGATION.

ALL BOTTLED BY ANTARCA ARE TO BE HAND WASHED

ALL POTTED PLANTINGS ARE TO BE FIRM WATER.

Source	Country	Year
...	...	...



1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 2680, 26

— 213 —

 KCI

A

1018



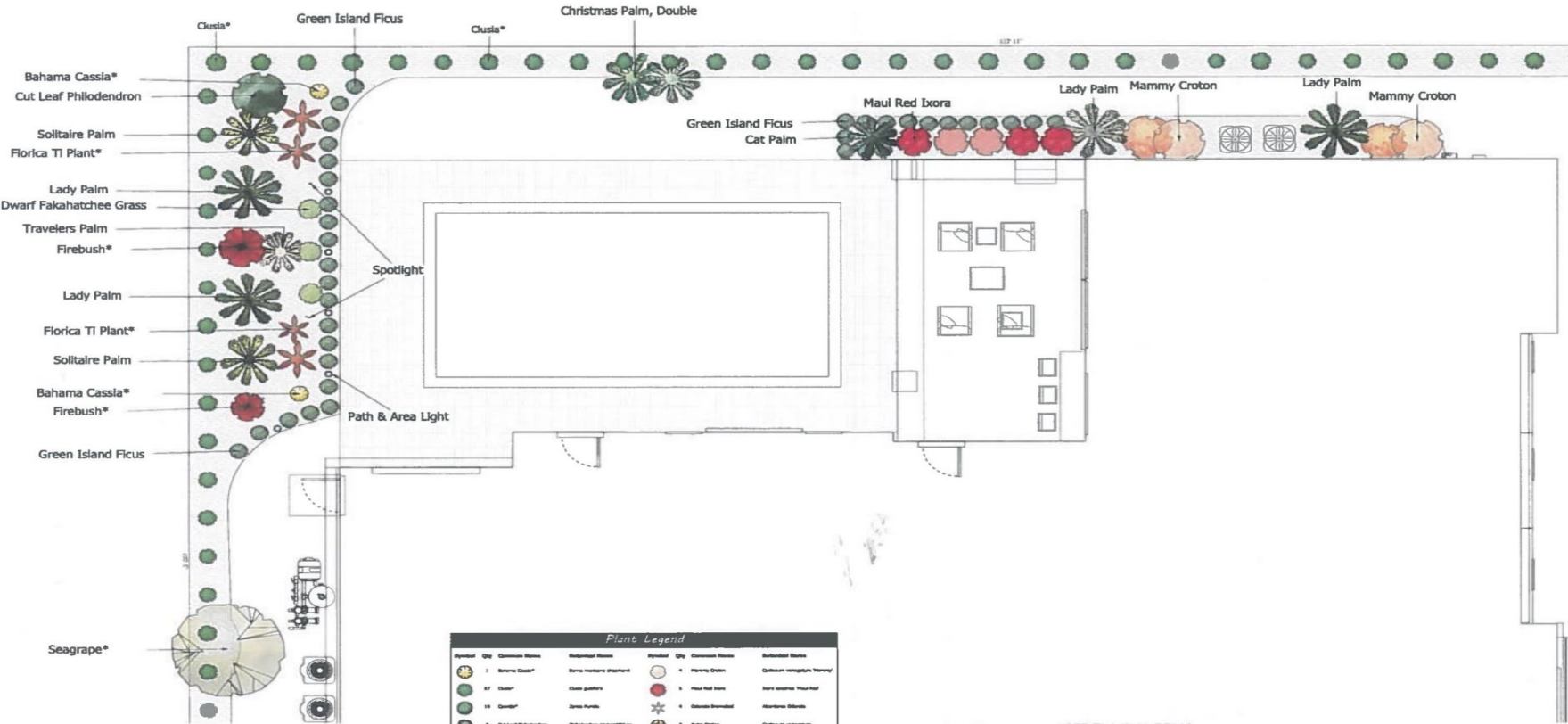
Designer: MJD
 Drawn: RJC
 Job: 7225
 Date: 8/1/25
 Revision: 0

BUILD PLAN

3/16" = 1 ft

Property Description:
 PCN 00-42-47-07-16-003
 -0070

Oak Design Group
 West Palm Beach, FL
 33405
 (561) 933-7446
 info@oakdesigngroup.com



PLANTING INFORMATION

GENERAL LANDSCAPE REQUIREMENTS

LANDSCAPE CONTRACTOR SHALL VERIFY THAT ALL PLANTS ARE NOT LISTED AS INVASIVE. PLANT SPECIES, INCLUDING PLANT MATERIAL, SHALL BE VERIFIED AS NON-INVASIVE.

PLANT SIZE AND SPACING

PLANT SPECIES AND SIZE SHALL BE VERIFIED AS NOT LISTED AS INVASIVE. PLANT SPECIES, INCLUDING PLANT MATERIAL, SHALL BE VERIFIED AS NON-INVASIVE. PLANT SPECIES, INCLUDING PLANT MATERIAL, SHALL BE VERIFIED AS NON-INVASIVE. PLANT SPECIES, INCLUDING PLANT MATERIAL, SHALL BE VERIFIED AS NON-INVASIVE.

PLANT SPECIES, INCLUDING PLANT MATERIAL, SHALL BE VERIFIED AS NON-INVASIVE. PLANT SPECIES, INCLUDING PLANT MATERIAL, SHALL BE VERIFIED AS NON-INVASIVE. PLANT SPECIES, INCLUDING PLANT MATERIAL, SHALL BE VERIFIED AS NON-INVASIVE.

PLANT SPECIES, INCLUDING PLANT MATERIAL, SHALL BE VERIFIED AS NON-INVASIVE. PLANT SPECIES, INCLUDING PLANT MATERIAL, SHALL BE VERIFIED AS NON-INVASIVE. PLANT SPECIES, INCLUDING PLANT MATERIAL, SHALL BE VERIFIED AS NON-INVASIVE.

PLANT SPECIES, INCLUDING PLANT MATERIAL, SHALL BE VERIFIED AS NON-INVASIVE. PLANT SPECIES, INCLUDING PLANT MATERIAL, SHALL BE VERIFIED AS NON-INVASIVE. PLANT SPECIES, INCLUDING PLANT MATERIAL, SHALL BE VERIFIED AS NON-INVASIVE.

PLANT SPECIES, INCLUDING PLANT MATERIAL, SHALL BE VERIFIED AS NON-INVASIVE. PLANT SPECIES, INCLUDING PLANT MATERIAL, SHALL BE VERIFIED AS NON-INVASIVE. PLANT SPECIES, INCLUDING PLANT MATERIAL, SHALL BE VERIFIED AS NON-INVASIVE.

Plant Legend

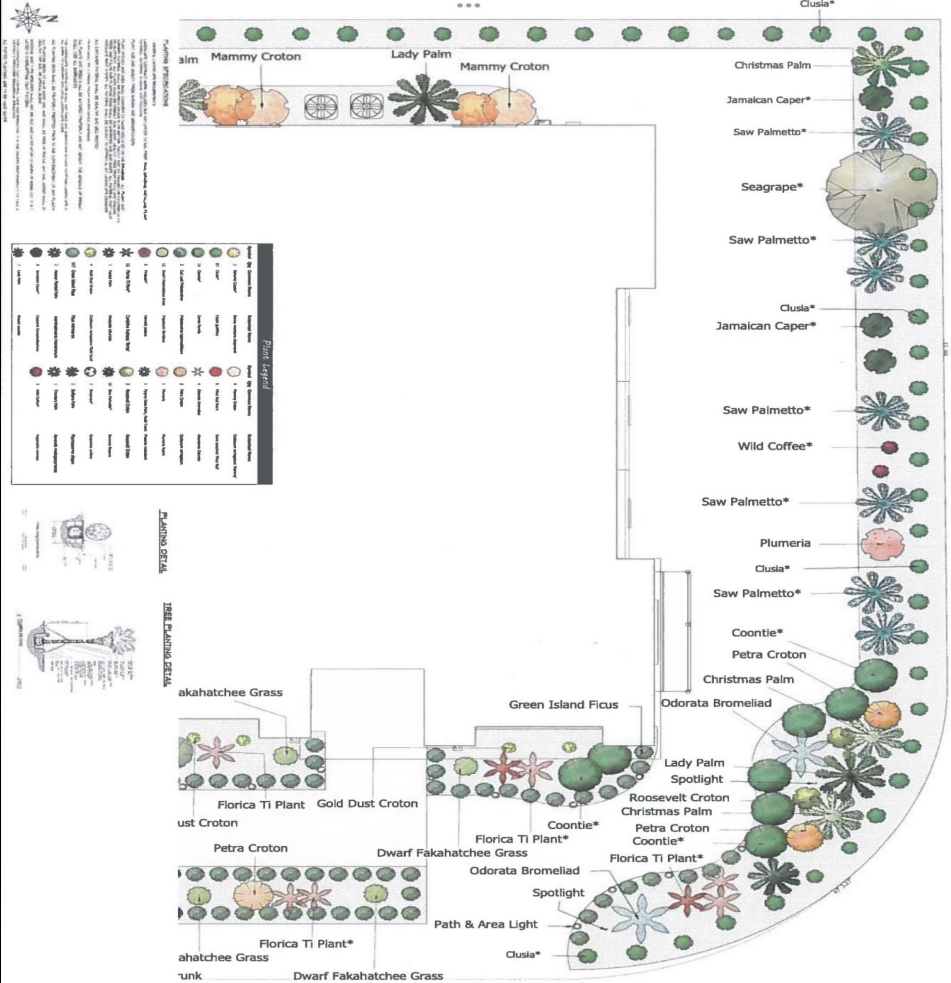
Symbol	Qty	Common Name	Botanical Name	Symbol	Qty	Common Name	Botanical Name
	1	Bahama Cassia*	Suriana maritima		4	Maul Red Ixora	Clusia rosea
	1	Cut Leaf Philodendron	Philodendron bipinnatifidum		3	Lady Palm	Chlorophytum comosum
	1	Solitaire Palm	Chlorophytum comosum		2	Mammy Croton	Croton tigris
	1	Florica TI Plant*	Clusia rosea		1	Green Island Ficus	Ficus benjamina
	1	Lady Palm	Chlorophytum comosum		1	Cat Palm	Chlorophytum comosum
	1	Dwarf Fakahatchee Grass	Tripsacum daniellii		1	Spotlight	Clusia rosea
	1	Travelers Palm	Chlorophytum comosum		1	Path & Area Light	Clusia rosea
	1	Firebush*	Hamamelis virginica		1	Seagrave*	Clusia rosea
	1	Solitaire Palm	Chlorophytum comosum				
	1	Bahama Cassia*	Suriana maritima				
	1	Firebush*	Hamamelis virginica				
	1	Green Island Ficus	Ficus benjamina				

PLANTING DETAIL



TREE PLANTING DETAIL





Lot Considerations

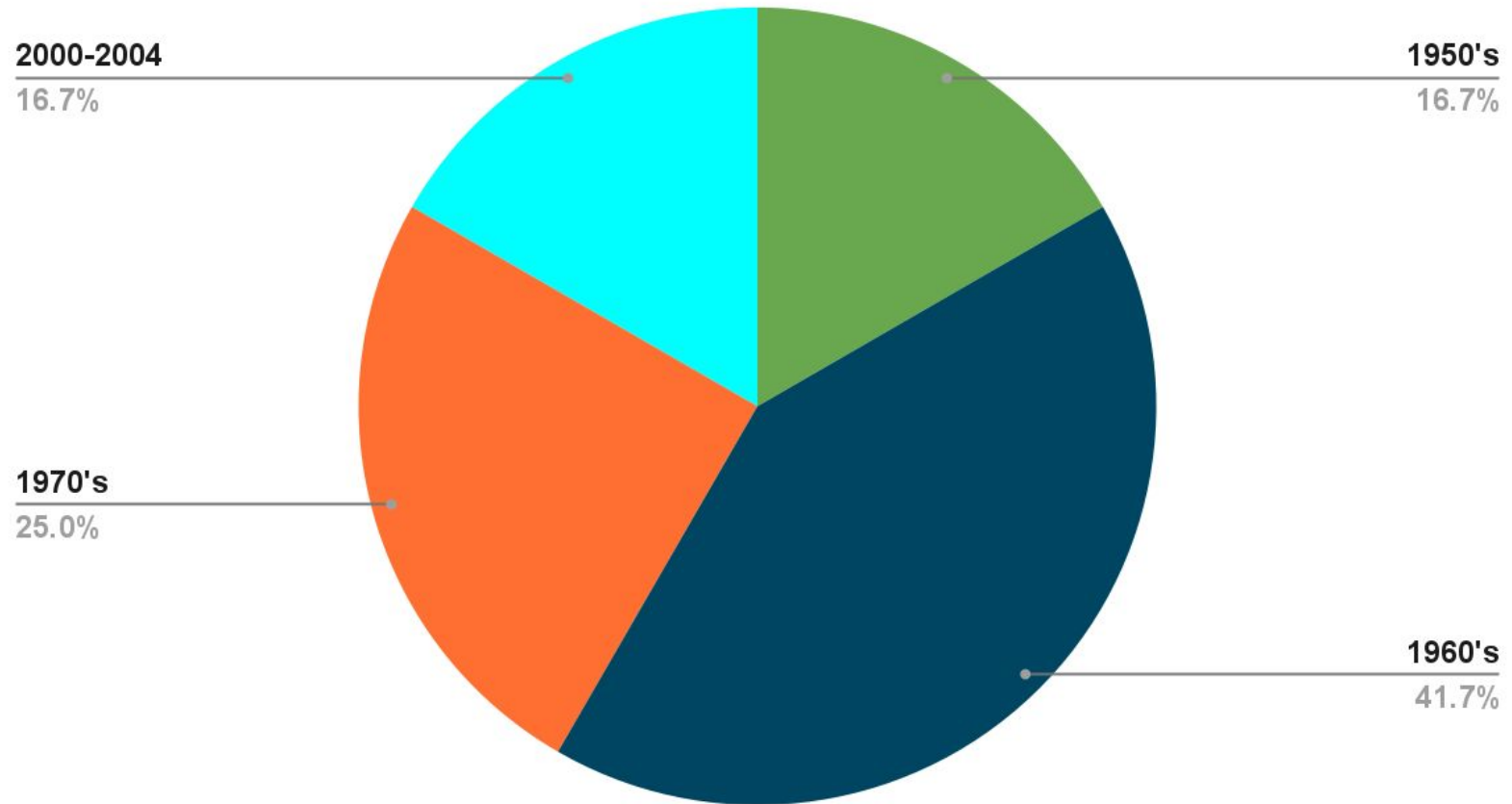


- Total Proposed Building Footprint is 4,262 Square Feet
 - Equating to 32.1% lot coverage, 2.9% less than the maximum lot coverage restriction
- As seen on the previous slides, great consideration has been given to privacy to the Western and Northern Neighbors, since no neighbors are to the East.
- Decreased privacy concerns from neighboring lots by not creating a living structure above the garage on the East, eliminating any windows on the 2nd floor north side of the primary bedroom, as well as no sidewalk on the east side of the lot.
- Greatly enhancing the landscaping to provide privacy and to increase visual appeal to the community. Excess expense of \$100,000 plus.

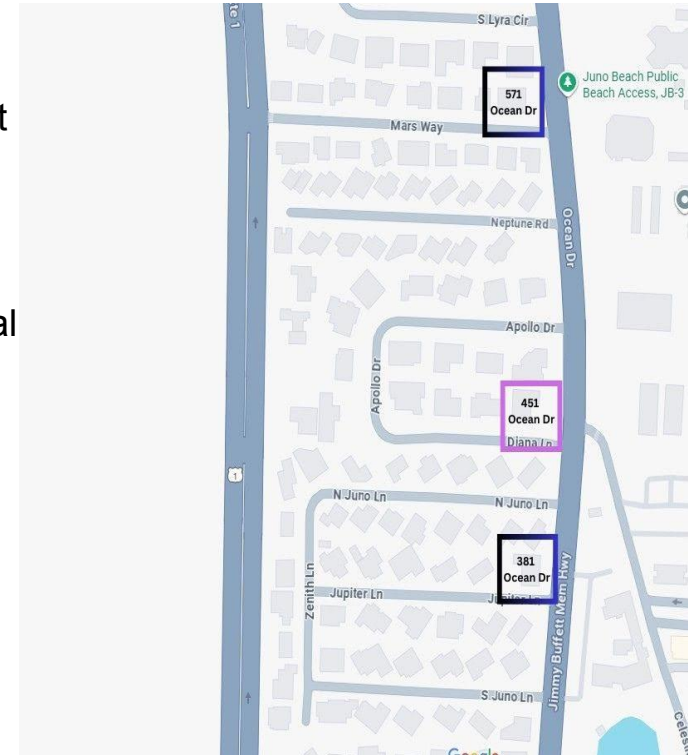
Community Statistics



Year of the Homes the Town of Juno Beached Used as Comparables



- The Majority of the homes are built between 1959-1974
- The total square foot average of the homes are 2,969 sq ft
- Homes approved to build in the comparisons from 2004-2025, excluding the subject property, are averaging 5,386 square feet.
- The newly approved to build homes are 370 Apollo at 5,255 sq ft and having a .39 FAR and 401 Diana Lane at 5,421 sq ft and having a .55 FAR.
- The homes NOT being considered as a comparable due to a zoning difference, but are of like build, are 381 Ocean Drive, total land 11,264.62 sq ft, total building sq ft of 6,715 and 571 Ocean Drive total land 10,053 sq ft, total building sq ft of 9138.



Lot Sizes of Homes Within the Proximity of the Subject Property



Reasons to Approve



Testimonial From The Architect

“The Mass of this building is broken up to created a thoughtful and interesting facade.

What distinguishes this design from the large, boxy modern houses we’ve seen approved in the past is the way the massing has been carefully broken down into distinct, readable volumes. Rather than presenting a single monolithic block, this home is composed of interlocking forms that step forward and back, creating depth, shadow, and interest.

The garage wing, for example, is set apart and steps forward, giving hierarchy and balance while allowing the entry volume to stand as a focal point. The central two-story glass element framed by vertical columns adds proportion and anchors the composition, while the interplay of horizontal rooflines and vertical openings ensures that no single element overwhelms the whole.

Material choices further reinforce this balance. The use of lighter stucco against darker stone creates contrast that clearly defines volumes and prevents the home from reading as one large mass. This creates a relationship between the different parts of the building that is both harmonious and dynamic.

Overall, the design provides variety, articulation, and a more human scale, avoiding the flatness and bulkiness that have sometimes characterized more box-like modern houses. This approach results in a home that feels refined, approachable, and visually balanced within its setting.”

- The proposed build complies with ALL setbacks, height restrictions and lot coverage.
- Architecture and style have been carefully considered to include stone, scored stucco, banded stucco, and recessed elements.
- We have worked closely with the Town of Juno Beach Staff to outline elements and mindful changes to provide the Architectural Review Board positive consideration of the application. Such as, providing additional landscaping, mindful orientation of the second story, and diversity of building materials to provide visual interest.



TOWN OF JUNO BEACH

PUBLIC COMMENT CARD

ANY CITIZEN WISHING TO SPEAK SHOULD COMPLETE THIS CARD AND GIVE IT TO THE TOWN CLERK PRIOR TO THE START OF THE MEETING.

AGENDA ITEM #: 3 DATE: 9-15-2025

NAME: CHARLES HOLLINGS PHONE NO.: 561 282-8933

REPRESENTING (IF APPLICABLE): Pleasant Ridge

ADDRESS: 1679 Pleasant Drive

CHECK WHAT MAY APPLY:

☐ SUPPORT

☐ OPPOSE

☒ I WISH TO SPEAK



TOWN OF JUNO BEACH

PUBLIC COMMENT CARD

ANY CITIZEN WISHING TO SPEAK SHOULD COMPLETE THIS CARD AND GIVE IT TO THE TOWN CLERK PRIOR TO THE START OF THE MEETING.

AGENDA ITEM #: 3 DATE: 9/15/25

NAME: Jeff Jennings PHONE NO.: 561-818-2662

REPRESENTING (IF APPLICABLE): Pleasant Ridge

ADDRESS: 1667 Pleasant Dr. NPB, 33408

CHECK WHAT MAY APPLY:

☐ SUPPORT

☐ OPPOSE

☒ I WISH TO SPEAK



Caitlin Copeland <ccopeland@juno-beach.fl.us>

Some comments for the record

1 message

'Scott Shaw' via Council <town_council@juno-beach.fl.us>

Thu, Sep 11, 2025 at 2:05 PM

Reply-To: Scott Shaw <shaw4098@bellsouth.net>

To: "mstern100@gmail.com" <mstern100@gmail.com>, "jimferguson001@gmail.com" <jimferguson001@gmail.com>, "jim@ehret-consulting.com" <jim@ehret-consulting.com>, "jonathan@jbutlerlawgroup.com" <jonathan@jbutlerlawgroup.com>, "bcoolski@yahoo.com" <bcoolski@yahoo.com>, "pbgsoccer@aol.com" <pbgsoccer@aol.com>, "fdavila@juno-beach.fl.us" <fdavila@juno-beach.fl.us>, "smayer@juno-beach.fl.us" <smayer@juno-beach.fl.us>, "fazemar@juno-beach.fl.us" <fazemar@juno-beach.fl.us>, "rcole@juno-beach.fl.us" <rcole@juno-beach.fl.us>, "len@torcivialaw.com" <len@torcivialaw.com>, Peggy Wheeler <pwheeler@juno-beach.fl.us>, "town_council@juno-beach.fl.us" <town_council@juno-beach.fl.us>

Hello All:

I sent email to Caitlin and asked her to distribute it to Council and PZ. Got her out-of-office reply. She won't be back until Monday, so here is the email I sent to her.

Scott Shaw

Hello Caitlin:

Can you forward these comments to Council, PZ, and PZ Staff? The comments touch on two topics. In any event I want them to be part of the record.

The plan for 451 Ocean shows a building that is too large by more than 25%, and exceeds harmony provisions. I request the owner be required to downsize to bring the plan compliant with all the harmony provisions.

On page 108 of the Sept. 15 PZ agenda packet, the plan for 401 Diana is referenced in the Appearance Review material for 451 Ocean. Since 401 is oversized, the average of nearby homes is raised. The maneuver of including 401, an unbuilt and non-compliant design, still does not make 451 Ocean compliant.

In the May 19 PZ packet, 401 Diana is repeatedly invoked in Appearance Review material for 370 Apollo. The text is more revealing. It says that 401 Diana cannot be used as a reference or comparable because 401 Diana has not been built. What is revealed here is that the Planner is trying to sell approval of 370 by telling a story. If it were worded honestly, it might go like this; "We are not allowed to use information about 401 Diana, but we are using it here to tell a good story to get 470 approved."

Could you please modify the Appearance Review material for 451 Ocean by removing references to 401 Diana, and not use 401 Diana for comparison? I am learning that a response to the writ of certiorari, or further litigation, may take a long time.

Also, can you revoke the approval of 370 Apollo, and remove the references to 401 Diana in the report (lots of them, I stopped counting). That will cause no harm because no permits are issued. Then, review and approve the plan for 370 Apollo. It is reasonable in my opinion.

Using 401 Diana in the report, followed by a statement that 401 Diana cannot be considered is nonsensical, and is not a wise choice since it creates a dependency on a property that is not compliant and not approved.

As I look into my complaint regarding unethical behavior at the April 7 PZ meeting, I find more material proving the complaint. It just gets more troubling.

On Saturday April 5, 2025, Brian Cole wrote a polite email to apologize for not attending a swearing-in to the PZ board. He is a pilot and had another flight to finish up. He requested a delay in the 401 Diana decision because he learned "there are several areas with regard to the Towns "Harmony" criteria" that are not met. (See a copy of the email in PZ Agenda packet, May 19, on page 5.)

His request for delay would be about a month, until after the next Council workshop on architectural and appearance review. His appeal was to "...help the P&Z board have better path of checks and balances to either approve or not approve ...". This appeal was in line with Jon Butler's suggestion at the meeting to postpone. An uninformed PZ Board then approved the plan without further discussion for 401.

Caitlin forwarded Brian's email on Monday morning at 9:33 am, just 6 ½ hours BEFORE the start of the April 7 PZ meeting. I suppose people in our Town government might ignore email from a griping citizen. But an email from the Town Clerk and/or a new member of the PZ Board should be viewed. Nevertheless, there was total silence when Jon Butler asked if there were complaints. Everyone had Brian's email in hand, plus a plethora of other evidence objecting to the plan for 401. So in addition to the troubling withholding of information, we see a lack of respect and courtesy shown towards the new PZ member.

I am not generating any interest among Town officials to dig in to the unethical behavior. This leaves me to go searching for someone who wants to hear about it. Someone who is interested in unethical behavior.

Scott Shaw
400 Apollo Dr.
561-801-2748



TOWN OF JUNO BEACH

PUBLIC COMMENT CARD

ANY CITIZEN WISHING TO SPEAK SHOULD COMPLETE THIS CARD AND GIVE IT TO THE TOWN CLERK PRIOR TO THE START OF THE MEETING.

AGENDA ITEM #: 4 DATE: 9-15-25

NAME: Craig Dell PHONE NO.: _____

REPRESENTING (IF APPLICABLE): _____

ADDRESS: 401 Diana Lane (owner)

CHECK WHAT MAY APPLY:

☒ SUPPORT

☐ OPPOSE

☒ I WISH TO SPEAK



TOWN OF JUNO BEACH

PUBLIC COMMENT CARD

ANY CITIZEN WISHING TO SPEAK SHOULD COMPLETE THIS CARD AND GIVE IT TO THE TOWN CLERK PRIOR TO THE START OF THE MEETING.

AGENDA ITEM #: _____ DATE: _____

NAME: Anne Bossa PHONE NO.: _____

REPRESENTING (IF APPLICABLE): _____

ADDRESS: _____

CHECK WHAT MAY APPLY:

☐ SUPPORT

☐ OPPOSE

☐ I WISH TO SPEAK