



DEVELOPMENT REVIEW COMMITTEE MEETING - JUNO SQUARE RESIDENTIAL (2ND MEETING)

MINUTES

May 8, 2024 at 10:30 AM

Council Chambers – 340 Ocean Drive

PRESENT: Frank Davila, Director of Planning and Zoning
Curt Thompson, Principal Planner
Isabella Hickey, Senior Planner
Fabinne Azemar, Planning Technician
Steven J. Hallock, Director of Public Works
Mark Saloio, Major
Caitlin E. Copeland-Rodriguez, Town Clerk

ALSO PRESENT: *(See attached Sign-in Sheet)*

Public Audience: 11

Director of Planning and Zoning Davila called the Development Review Committee Meeting to order at 10:36a.m.

I. **PROJECT** – Juno Square Residential – *(See attached comments that were discussed.)*

Director of Planning & Zoning Davila encouraged the applicants to have a follow up meeting with staff to clarify some of the comments and stated that as soon as all the comments have been addressed, staff will submit the date for the Planning & Zoning Board Meeting.

II. **ADJOURNMENT**

Director of Planning and Zoning Davila adjourned the meeting at 11:15AM.


Frank Davila, Director of Planning & Zoning

ATTEST: 
Caitlin E. Copeland-Rodriguez, Town Clerk



**Town of Juno Beach
Development Review Committee
Juno Square Residential (2nd Meeting)
May 8, 2024, at 10:30 a.m.**

SIGN-IN SHEET

NAME	REPRESENTING	EMAIL
Frank Davila	Director of Planning & Zoning TJB	fdavila@juno-beach.fl.us
Isabella Hickey	Town of Juno Beach	ihickey@juno-beach.fl.us
T.J. Wilkerson	PBC ERM	Wwilkerson@Pbc.gov
Melissa Tolbert	PBC ERM	mtolbert@pbc.gov
Steven Mather		srmathermaw@emaw.com
Eileen Mather		eileenjlacey@gmail.com
Jacob Rosenblatt	Council/Juno Beach	Juno@mail.com
Fabienne Azemar	Town of JB	fazemar@juno-beach.fl.us
Terri Anderson	Juno Beach Cafe	tmhgator@yahoo.com
STEVEN HALLOCK	TOWN OF JUNO BEACH	shallock@juno-beach.fl.us
Mark Solis	TJBD	msolis@juno-beach.pd.com
Jesus Tejeda		JVtejeda@comcast.net
ANDO - CAROL ROVERE	UNO LAGO	ZAKREUS@AOL.COM
Aimee Carlson	Pulte	aimee.carlson@pulte.com

Development Review Committee Comments Planning and Zoning

May 8, 2024

Donaldson Hearing, ASLA, PLA, LEED, Principal
Zach Ciciera, Land Planner
Cotleur & Hearing
1934 Commerce Ln #1,
Jupiter, FL 33458

Re: The Dunes at Juno Beach (formerly known as Juno Square Residential) Second Development Review Committee - Site Plan Review and Special Exception Application

Dear Mr. Hearing and Mr. Ciciera:

It is the intent of this letter to inform you of deficiencies in the Site Plan Review and Special Exception Application resubmittal for the proposed project named The Dunes at Juno Beach. All comments outlined below and those provided by the Development Review Committee (DRC) members must be addressed and determined satisfactory prior to us moving forward in the approval process.

Please note: All comments are preliminary/advisory comments and have been reviewed per the proposed Zoning District of Residential Multiple Family – Moderate Density (RM-2). These comments may not address all other applications submitted to the Town including the Easement Abandonment, Comprehensive Plan Amendment, and Zoning Map Amendment. All comments are subject to change based on forthcoming applications.

Please review and address the following comments:

Statement of Use:

- 1) On Page 20, Number 1, please expand on the proposed Key West Cracker architecture style. The rendering provided shall describe the key elements utilized that represent Key West Cracker, for example, roof materials, wide porches, overhangs, exterior finish material, railing types, and decorative details on doors and windows. Indicate how the proposed color palette meets the Key West Cracker Architecture Style.
Response: The Statement of Use has been updated to expand on the architectural style for the proposed community and residential townhomes.

Staff Response: Addressed.

- 2) On Page 20, Number 2, address the Town's entire definition of Harmony. Indicate how all elements of Harmony (including mass, scale, bulk, height, proportion, and orientation) are in compliance with the proposal. Please see Ordinance No. 763 attached.

Response: The mass, scale, bulk, height and proportion of the proposed architecture are in harmony with the surrounding area. The three story elevations provide a natural transition in terms of bulk, mass, scale, height and proportion between the one and two-story single family residential to the south and the larger, bulkier, four and five story Caretta condominiums to the north. Our three story buildings also provide a buffer for the single family from the commercial uses. The use of key architectural features ensures harmony as well.

Staff Response: Not Addressed. The applicant shall address each individual element (including mass, scale, bulk, height, proportion, and orientation) of the Harmony criteria.

- 3) On Page 25, under the heading "Waivers Requested", the principal structure separation reduction request from 30 to 20 is a 33 percent difference, whereas, a Planned Unit Development (PUD) Special Exception, allows a maximum 25 percent difference.

Response: The applicant has revised the waiver requests, such that they do not exceed 25%.

Staff Response: Not Addressed. On page 26 Table A indicates the proposed maximum building dimension is 153 feet. On the Site Development Plan Sheet 1 of 2, Buildings 6 and 7 have a building dimension of 154 feet. Please clarify.

- 4) Address the proposed phasing plan as indicated in the Site Plan Application.

Response: A note has been added on the site plan to clarify that the land development activities will be developed in one single phase of development. Individual residential buildings will be constructed as market demand occurs.

Staff Response: Not Addressed. The applicant shall indicate the timeframe for all phases of construction. Construction shall not exceed 36 months.

- 5) On Page 22, under the heading "Development Regulations", the table labeled "Building Area Regulations", should be placed on Sheet 1 of the Site Plan.

Response: As requested, the table provided on page 22, "Development Regulations" for "Building Area Regulations" has been included on Sheet 1 of the Site Plan.

Staff Response: Addressed. See item #20 for further comments.

- 6) On January 26, 2022, the Juno Beach Town Council approved a Special Exception for the establishment of a take-out restaurant associated with the existing Thirsty Turtle Restaurant (located at 13963 U.S. Highway 1). A condition of approval required a

shared parking statement/parking utilization study (“study”) that included both Parcel 1 and Parcel 2 and a shared parking agreement applicable to both Parcel 1 and Parcel 2. The study relied on the use of Building A on Parcel 1 (formerly known as the Anchor Bank). Consequently, Building A shall only be used as a bank or a less intense use as determined by Town Staff. Please document how the applicant plans to continue the use of the shared parking agreement In order for the shared parking agreement to be considered compliant the Property Owner must take all actions necessary to ensure that sufficient parking exists on each parcel for the businesses/uses within that parcel(s). (Please see the attached Special Exception Approval and Shared Parking Agreement).

Response: The January 26, 2022 Special Exception required a total of 48 parking spaces on Parcel 1 (the subject of this application) and 77 parking spaces on Parcel 2 (Juno Square retail) for a total of 125 parking spaces. 15 of the 48 spaces were to be added and 33 were existing at the time of the approval. The 125 assumed 14 spaces for the Anchor Bank on Parcel 1. The Anchor Bank will be demolished as part of the applicant’s proposed site plan and are no longer needed, leaving a total of 34 required on Parcel 1. The proposed site plan reflects 78 parking spaces on Parcel 1 consisting of the 15 spaces added in 2022 as part of the Special Exception approval, a remainder of the 34 required spaces (post bank demolition) and 44 additional spaces. Two additional ADA spaces have been added to Parcel 2 (see comment 22 below) resulting in a total of 75 parking spaces on Parcel 2. In conclusion, the site plan is consistent with the Special Exception and Shared Parking Agreement. This requirement can be included as a condition of approval for the site plan as well.

Staff Response: Not Addressed. Indicate on the Site Plan the specific location of the 48 parking spaces that are part of the shared parking agreement (48 of the 78 provided parking spaces).

Survey:

- 7) The survey shall be signed and sealed by a Florida Licensed Land Surveyor.

Response: An electronically signed and sealed survey is included with this resubmittal.

Staff Response: Not Addressed.

- 8) Include Finished Grade in NAVD 88, show elevations used to arrive to that Number (or other method).

Response: The Finished Grade in NAVD 88, for the crown of the adjacent platted street (Donald Ross) has been provided on the survey.

Staff Response: Not Addressed. Indicate which elevation is being used for the crown of the road.

- 9) The “Survey Description” heading, in the 4th paragraph, “Said lands situated in the City of Sunrise”, is incorrect. Please substitute this with “The Town of Juno Beach, Palm Beach County, Florida” located on Page 1.

Response: The “Survey Description” has been corrected as noted.

Staff Response: Addressed.

- 10) The tree survey shall indicate viable native trees. According to Division 7: Landscape Requirements, Section 34-1084. - Landscape requirements (b) states “A graphic survey of existing vegetation, delineating all viable native vegetation and all trees greater than four inches in diameter (caliper) at four feet above ground, shall be submitted. Such graphic survey shall be prepared by a Landscape Architect or Land Surveyor registered in the state and be of the same scale as the landscape plan.”

Response: A Tree Disposition Plan has been prepared to identify the disposition of the proposed vegetation. This Tree Disposition Plan identified the trees to remain, to be relocated or to be removed. Please note that the Environmental Assessment, prepared by Ed Weinberg, confirms there is no native vegetation on the site.

Staff Response: Not Addressed. Include notation that the Tree Disposition Plan refers to viable trees as defined by the Town.

- 11) The surveyor boundary does not include the proposed 50-foot abandon road/ right-of-way (ROW). Please clarify.

Response: The survey provided by the applicant is for property currently owned and under contract for purchase. The applicant has prepared a separate sketch and legal for the area of right-of-way to be abandoned.

Staff Response: Addressed.

- 12) All proposed easements shall be called out on the Plat (including parking, ingress and egress). The shared parking/cross access agreement may not be adequate. Please clarify.

Response: The proposed easements are reflected on the site plan. A separate easement exhibit has also been prepared for legibility purposes.

Staff Response: Not Addressed. Please note that as part of the Application for Development Site Plan Review a plat is required at time of submittal. All proposed easements shall be called out on the Plat (including parking, ingress and egress). Please note that the Plat and Easement Exhibit shall include a cross access easement for the driveway ingress and egress into Juno Square and the proposed project, and for the 17 proposed parking spaces located west of Juno Square.

Site Plan:

- 13) All plans shall be signed and sealed by a Florida Licensed Architect or Engineer.

Response: Signed and sealed plans will be provided at time of building permit in accordance with Town code.

Staff Response: Not Addressed. A state registered Architect, Engineer and landscape Architect seal is required on all corresponding plans submitted with the applications for review by the Planning and Zoning Board, other than plans submitted for single family or duplex construction.

- 14) Site plan comments are pending the approval of the proposed Future Land Use change and Rezoning.

Response: Acknowledged.

Staff Response: Addressed.

- 15) The review of the Site Plan is pending the proposed ROW abandonment and Palm Beach County Environmental Resources Management (PBC-ERM) relinquishing the right to their 25-foot ROW.

Response: Following the review of the DRC's comment letter, the applicant met with ERM on numerous occasions to discuss their current access challenges and how to provide the best solution for both parties. As part of the redevelopment's public benefit, Pulte is proposing to permit an ingress and egress easement for the benefit of TIFF to gain access to the preserve area through a designated area of the Property. Additionally, Pulte commits to enhancing this area to provide further public benefit and allowing ERM greater flexibility to maintain and patrol the conservation. The proposed access area is identified in the attached site plan submitted to the Town. Furthermore, providing ERM access through the subject site is a benefit as their legal access via Donald Ross Road presents challenges for them given the turning radii, unstable sugar sand present at the entrance, and vegetation obstructing the drive aisles.

It is important to note that PBC-ERM is not legally entitled to ½ of the abandoned ROW abutting the adjacent preservation land owned by the Board of Trustees of the Internal Improvement Trust Fund of the State of Florida ("TIFF") as the preservation land is not within the New Palm Beach Heights plat.

("Plat") creating the ROW. The Town's counsel and Applicant's counsel both agree that Florida law is clear that TIFF/ERM have no rights to the abandoned road.

Staff Response: Addressed. Please note: The Town will review the proposed ROW abandonment request as a separate agenda item, in addition the Town Council has the right to approve, approve with conditions, or deny the request.

- 16) Review the Shared Parking Agreement between both properties and indicate how the parking agreement is addressed – see comment 6 under the Statement of Use section.

Response: The shared parking agreement will be consistent with the previous approvals for Juno Square. The proposed site plan is in compliance with the existing Shared Parking Agreement. Please see the response under comment 6.

Staff Response: Addressed.

- 17) The access located along the northern property line (Donald Ross) does not have Palm Beach County approval. Please verify this access has been approved.

Response: Palm Beach County has confirmed the location to be acceptable (see attached correspondence).

Staff Response: Not Addressed. Please produce written confirmation from Palm Beach County.

- 18) Expand on the traditional garbage pickup, i.e. how garbage cans will be screened from public view.

Response: The garages for individual homes accommodate the storage of garbage cans. Please refer to the Exhibit included with the Architectural Plans package.

Staff Response: Addressed.

- 19) Indicate the visibility triangle (sight) for all entrances: 1) Donald Ross Road, 2) Juno Square Parking Lot, and 3) Floral Drive. Please see Section 34-898. - Intersection and Section 34-1089. - Landscaping at street intersections. Please note FDOT standards are applicable as well.

Response: Site visibility triangles in accordance with the Florida Department of Transportation Standards have been identified at the street intersections at Donald Ross Road and US Highway One. Site visibility triangles, as required by Section 34-898 and 34-1089 have been identified on the plan.

Staff Response: Not Addressed. Floral Drive entrance shall have a 30' x 30' sight visibility triangle. The access control gate shall have a 10' x 10' sight visibility triangle. The connection to Juno Square shall have a 10' x 10' sight visibility triangle. Please clarify.

- 20) The Site Data Table provided should call out proposed and permitted RM-2 Building Site Area Regulations. All elements on Page 3 of the Site Plan Application shall be documented. Including but not limited to:
- a) gross building footprint square footage.
 - b) total square footage (for each floor).
 - c) lot coverage.
 - d) landscape open space.
 - e) total living area per unit.
 - f) building height.
 - g) lot depth and width

Response: The Site Data Table on the Site Plan has been expanded to include the information, as requested.

Staff Response: Not Addressed. The setbacks on the Site Development Slan Sheet 1 of 2 do not correlate with the setbacks provided on the site data table (North Donald Ross Road, East Juno Square/ US Highway 1, West PBC Preserve). Please clarify.

The Table in the Statement of Use should be on the Site Plan/Data Table. See comment 5 under the Statement of Use section.

Response: The Site Data on the Site Plan has been revised to reflect all information listed in comment #20 and to maintain consistency with the statement of use.

Staff Response: Addressed.

21) The parking total (including shared parking) provided needs to be clarified.

Response: The parking identified on the site plan has been clarified within the Statement of Use. The site plan details the number of garage spaces, driveway spaces and guest spaces for the residential component. In addition, consistent with the existing Shared Parking Agreement, 34 parking spaces are included in the proposed site plan.

Staff Response: Addressed.

22) Indicate the proposed location for handicap/ADA parking, if any.

Response: As discussed with the Building Official, two additional ADA spaces will be added on the north and east sides of the existing retail shops. The grades in the shared parking lot do not facilitate ADA parking. The proposed locations represent the shortest and more convenient accessible routes. One ADA space has been added at the mail kiosk.

Staff Response: Addressed. All striping on adjacent property shall require a separate building permit.

23) Indicate the location of all mechanical equipment and include methods for screening.

Response: The location of mechanical equipment has been designated on the site plan. Mechanical equipment is identified on the typical townhome landscape plan. Mechanical equipment is fully screened with landscape materials.

Staff Response: Addressed.

24) Provide a detailed signage plan with the (front/side) setbacks and sign face square footage. Signs shall comply with the Town's Sign regulations Division 6. - Signs. Please note: new signs shall require separate building permit.

Response: A Signage Plan for the proposed monument sign and lettering mounted to the landscape wall has been included with this resubmittal. Additional marketing signs have been included as well.

Staff Response: Addressed.

- 25) Provide a detailed illustration for the “decorative paver crosswalk typical” as indicated on the site plan.

Response: A detail has been provided for the proposed decorative paver crosswalk as identified on the site plan. Specifications for the pattern and color of the crosswalk paver materials is also included.

Staff Response: Addressed.

- 26) Section 34-981 (5) (e) (2) states “All multifamily and three or more attached single-family residential developments shall be required to provide bicycle storage facilities. Such storage facilities shall be fully enclosed within a structure and shall be of a sufficient size to accommodate expected storage needs.”

Response: The applicant proposes to satisfy the requirements of Section 34-981 (5) (e) (2) within the garage of the residential townhome. Please refer to the exhibit detailing bike storage location in the architectural plan set.

Staff Response: Addressed.

- 27) Provide a detailed illustration for the 6’ high concrete wall indicated on Sheet 1 of the site plan.

Response: A detail for the proposed 6’ high concrete wall has been provided within the detail sheet of the site plan package.

Staff Response: Not Addressed. Please note: Walls located on the frontages on Donald Ross Road and Floral Drive shall be a maximum height of 4 feet.

- 28) Provide detailed illustration for the pedestrian gate indicated on Sheet 1.

Response: An illustration of the proposed pedestrian gate has been provided on the detail sheet included with the site plan package.

Staff Response: Addressed.

- 29) The width of the drive aisle shall be a minimum of 25’ where parking is provided on the road.

Response: As discussed at the DRC meeting, a 25’ drive aisle is required where 90° parking is proposed. The drive aisle containing the parallel parking is required to be 22’ in accordance with the Town Code.

Staff Response: Addressed.

- 30) Wheel stop dimensions shall be included in typical drawings. Section 34-1088 (b) states, "Wheel stops and/or curbs shall be placed at least two feet from the edge of such landscaped area. Where a wheel stop or curb is utilized, the paved area between the wheel stop or curb and the end of the parking space may be omitted, provided it is landscaped with ground cover in addition to the required landscaping as set forth herein."

Response: The layout of the parking areas has been revised to clearly identify where wheel stops are proposed. The plan also identified where curbing is proposed, allowing the vehicular overhang to occur over a non-paved area.

Staff Response: Addressed.

- 31) Provide detailed illustration for the sliding access gate as indicated on Sheet *Response: A detail of the access gate has been provided on the detail sheets included with the site plan package.*

Staff Response: Addressed.

- 32) Provide detailed illustration for the decorative column located on the northwest entrance along Donald Ross Road as indicated on Sheet 1.

Response: A detailed illustration for the column located on Donald Ross Road has been included on a detailed sheet included with the site plan package.

Staff Response: Not Addressed. Although the applicant indicates the location of the decorative columns on the "Access and Staging Exhibit", there is no detailed illustration describing the columns.

- 33) Indicate the proposed location(s) for all benches and bike racks on Sheet 1.

Response: A detailed location for bike racks and benches has been identified on the site plan.

Staff Response: Addressed

- 34) Please note that all parallel parking spaces shall have a 9' by 15' no parking zone/area for egress and ingress.

Response: The applicant has modified the site plan to include the 9' by 15' no parking zone/area as discussed during the DRC meeting.

Staff Response: Addressed.

- 35) Provide the building dimensions for all buildings.

Response: The dimensions of all proposed buildings are identified on the site plans.

Staff Response: Addressed.

36) Provide the distance (building separation) between all buildings on site.

Response: The distance separating individual buildings have been provided on the site plans.

Staff Response: Addressed.

Landscape Plan:

37) Plans shall be signed and sealed by a professional Florida Licensed Landscape Architect.

Response: The landscape plans have been electronically signed and sealed by a Florida Registered Landscape Architect in accordance with the requirements of State Law.

Staff Response: Not Addressed. The plans have not been electronically signed and sealed.

38) Provide color renderings of the proposed landscape from different points of view (south, west, east, north, etc.)

Response: Color renderings have been provided to help visually communicate the aesthetic design of the community.

Staff Response: Addressed.

39) As stated in the Town's Landscape Regulations, include "The percentage of native plant material utilized for each type of plant including trees, shrubs, and ground cover..."

Response: As requested, the plant list has been revised to provide the percentage of native plant materials of each type of plant material, trees, shrubs and ground covers.

Staff Response: Not Addressed. Please refer to sheet 505, Native Calculations, Shrubs and Groundcovers shall be separate categories.

40) As shown on Donald Ross and U.S. 1 along the meandering sidewalk, the utilization/installation of shade trees is preferred over palm trees.

Response: The applicant has proposed a landscape design that includes both shade trees and palms. It is the applicant's intent to respond to the landscape design provided for the Coretta Project on the north side of Donald Ross Road, which utilized Royal palms as a theme tree along Donald Ross Road. The applicant has incorporated large Royal palms, and utilized shade trees within the understory. Along US Highway One, the applicant has attempted to preserve and retain existing native Sabal palms that exist along the US Highway One corridor. Additional trees have been provided to provide for diversity and additional canopy. The trees utilized have been selected to meet Florida Power & Light's Right Tree Right Place Guidelines. Please note that the overall landscape design provides a significant

number of native canopy trees and does not overly rely on palm trees to support the landscape design.

Staff Response: Addressed.

- 41) No invasive or nonnative vegetation shall be planted immediately adjacent to Environmentally Sensitive Land (ESL) area. Please provide a notation in landscape notes.

Response: The applicant is in agreement with this request. A note has been added to the site plan and landscape plans accordingly. The existing landscape plan submitted consists of native Florida plant material naturalized to the Juno Beach Coastal environment.

Staff Response: Not Addressed. The proposed plans included arcihes glabrata (ground cover) and Pheonix sylvetris (palms) immediately adjacent to the ESL.

- 42) Please note: The proposed landscape improvements to Juno Square Plaza (shown on Sheet 2) will require a separate updated landscape plan for that property.

Response: As requested, the applicant has prepared a separate landscape plan sheet for the landscape improvements associated with the Juno Square Plaza. Please note the landscaping within these areas only shows the subject affected area landscaping. This landscaping is also "ghosted" on the landscape plans for the residential development for consistency purposes.

Staff Response: Addressed. Please clarify the landscape maintenance responsibility for this section of the property.

- 43) All conditions of the Environmentally Sensitive Land (ESL) Ordinance as indicated shall be complied with. See Section 34-1080. - Landscape plan submission and approval.

Response: The proposed landscape design is fully consistent with the requirements of Section 34-1080.

Staff Response: Not Addressed. Also, please address how the landscape plan will comply with the ESL ordinance.

- 44) Provide shields to all light poles that are immediately adjacent to the New Palm Beach Heights subdivision.

Response: The photometric plans have been reviewed and coordinated to avoid glare. The lighting design has been coordinated to be consistent with the Standards of Juno Beach.

Staff Response: Not Addressed. The applicant did not submit a photometric plan or light pole detail illustrating the method that will be used to provide shielding to all light poles adjacent to the New Palm Beach Heights subdivision.

Architectural Plans:

45) Plans shall be signed and sealed by a Florida Licensed Professional.

Response: The architectural plans have been certified by a Florida Licensed Professional.

Staff Response: Not Addressed. Signed and seal architectural plans were not received with the applicant's second submittal.

46) According to the Zoning Code, building height shall be measured from finished grade, not finished floor. See the definition of *Finished Grade* in Section 34-4. - Definitions.

Response: As noted, the architectural plans are noted to be measured from finished grade, as opposed to finished floor elevation. An exhibit has been included with this resubmittal.

Staff Response: Addressed.

47) Please note: The plans are not properly scaled, the plans indicate a scale of 3/16 inches. Please review and revise.

Response: The scale of the plans has been revised.

Staff Response: Not Addressed. The architectural plans do not possess a measurement scale.

48) Please provide detailed renderings of the frontage along U.S. 1 & Donald Ross Road illustrating the entire project.

Response: Detailed renderings of the buildings and landscaping have been prepared to help communicate the visual aesthetic and design of the proposed community.

Staff Response: Not Addressed. The detailed renderings of the buildings and landscaping do not identify the building location and landscape rendering frontage along U.S. 1 and Donald Ross Road.

49) As indicated in the Statement of Use, renderings shall provide the proposed architectural style, color palette, description of window and door fenestration, the type and style of balcony railings, porches, roof types and entrances.

Response: The renderings provided are intended to accurately reflect the architectural colors, styles, materials, fenestration, details and landscaping consistent with the design plans.

Staff Response: Addressed. Label Architectural Plans sheet Materials-Front with the proposed architectural style (Key West Cracker Style) as indicated in the Statement of Use.

Additional Comments:

50) Please review and proofread all errors.

Response: Acknowledged.

51) Complete the School Capacity Availability Determination (SCAD) Application.

Response: The (SCAD) School Capacity Availability Determination application has been submitted to the Town of Juno Beach for transmittal to Palm Beach County.

Staff Response: Addressed.

52) All fence(s), sign(s), and generator(s) will require separate building permit applications.

Response: Acknowledged.

53) According to Section 34-1087 (d)(3): "Landscaped divider medians shall be used to meet interior landscape requirements. The divider medians shall form a continuous landscaped strip between abutting rows of parking spaces. The minimum width of a divider median shall be five feet. One tree shall be planted for each 30 lineal feet of divider median or fraction thereof. Trees in a divider median may be planted singularly or in clusters. The maximum spacing of trees shall be 40 feet".

There is no divider median for the additional parking located east of the residential area at the southeast corner of the site between the abutting rows of parking spaces.

54) According to Section 34-1087 (d)(2): No more than ten parking spaces may occur in a row without a landscape island. In the area adjacent to Juno Square (southeast corner of the site) there is a row of 11 parking spaces.

55) Please clarify the use of the stabilized staging area located immediately adjacent to the ESL.

56) Please indicate the location and height of the emergency gate detail on the site plan. Expand on the use of a chain link fence as opposed to the other materials used for the project.

57) As part of the Application for Development Site Plan Review a plat /re-plat shall be required as part of the submission.

Once you have submitted the aforementioned material(s) in an acceptable form, the review process shall proceed. Please note that additional comments may follow upon review of additionally submitted materials. Should you have any questions regarding this matter, please do not hesitate to contact (561) 656-0306.

Sincerely,



Frank Davila, CFM
Director of Planning and Zoning

cc: David Dyess, Town Manager

PBC ERIM



Isabella Hickey <ihickey@juno-beach.fl.us>

Juno Square Residential : DRC - PBC Environmental Resources Management

Melissa Tolbert <MTolbert@pbc.gov>

Fri, Apr 26, 2024 at 3:45 PM

To: Isabella Hickey <ihickey@juno-beach.fl.us>

Cc: Frank Davila <fdavila@juno-beach.fl.us>, Deborah Drum <DDrum@pbc.gov>, "Michael Stahl R." <MStahl@pbc.gov>, Brenda Hovde <BHovde@pbc.gov>, Steven Pisano <SPisano@pbc.gov>, William Wilkerson <WWilkerson@pbc.gov>

Good afternoon,

After reviewing the resubmittal of the site plans to the Town of Juno, we noticed a couple discrepancies to what was discussed with Cotleur & Hearing. We worked with Cotleur & Hearing and requested some minor changes (see revised attachments).

1. The width of the gate opening and the specific size of the double gates was not listed in the resubmittal. Given the angle of this entrance to our staging area, we requested a wider opening of 24'. It will still be challenging to get heavy equipment into our staging area, but will be able to make it work with the 24' gate opening.
2. We requested that the *Pheonix sylvetris* palms (not native) directly adjacent to the natural area be replaced with native trees. The landscape plans were revised and replaced the Sylvester palms with royal palms.

All of our comments have been addressed however we will need to have the details of the Access Agreement worked out. The County requests it be memorialized in the Platt to clearly define maintenance responsibilities.

Have a great weekend.

Melissa Tolbert

Environmental Program Supervisor

Palm Beach County

Department of Environmental Resources Management

Natural Resources Stewardship - *Protecting historic native habitats & biological diversity*

561-233-2562



From: Isabella Hickey <ihickey@juno-beach.fl.us>
Sent: Thursday, April 11, 2024 2:44 PM
To: Melissa Tolbert <MTolbert@pbcgov.org>
Cc: Frank Davila <fdavila@juno-beach.fl.us>; Deborah Drum <DDrum@pbcgov.org>; Michael Stahl R. <MStahl@pbcgov.org>; Brenda Hovde <BHovde@pbcgov.org>; Steven Pisano <SPisano@pbcgov.org>; William Wilkerson <WWilkerson@pbcgov.org>
Subject: Re: Juno Square Residential : DRC - PBC Environmental Resources Management

Good afternoon Melissa,


Please see the attached memo from the Town and review the submission for the Dunes at Juno Beach (formerly known as Juno Square Residential) .

Provide a response to the attached packet by May 2nd as the second DRC meeting is tentatively scheduled for May 8th at 10:30am.

If you or anyone on your team has any issues downloading or accessing the zipped folder, please let me know and I will send the packet in a different format. Also, if you'd like a hard copy of the plans please let me know and I will deliver them to your office.

If you have any questions please do not hesitate to ask me or Frank.

Thank you,

 [Dunes at Juno Beach.zip \[drive.google.com\]](#)

[Quoted text hidden]

[Quoted text hidden]

[Quoted text hidden]

[Quoted text hidden]

 [Site Plan Review Application.zip \[drive.google.com\]](#)

--



Simmons & White

Isabella Hickey <ihickey@juno-beach.fl.us>

Juno Square Residential : Development Review Committee

Bryan Kelley <bryan@simmonsandwhite.com>

Mon, Apr 29, 2024 at 5:28 PM

To: Isabella Hickey <ihickey@juno-beach.fl.us>

Cc: Paul Buri <buri@simmonsandwhite.com>, Frank Davila <fdavila@juno-beach.fl.us>, Curt Thompson <cthompson@juno-beach.fl.us>, Fabinne Azemar <fazemar@juno-beach.fl.us>, Daniel Cole <cole@simmonsandwhite.com>

Isabella,

Attached is our review letter for the Juno Square project. Comments that have been addressed have been removed from the letter with only a couple of outstanding comments. Let us know if you have any questions.

Thanks,

Bryan G. Kelley, P.E.

Senior Traffic Engineer



O: 561.478.7848 x112 | C: 561.371.2285

2581 Metrocentre Blvd West, Ste 3

West Palm Beach, FL 33407

simmonsandwhite.com

From: Isabella Hickey <ihickey@juno-beach.fl.us>
Sent: Tuesday, April 9, 2024 4:54 PM
To: Bryan Kelley <bryan@simmonsandwhite.com>

[Quoted text hidden]

[Quoted text hidden]

[Quoted text hidden]

[Quoted text hidden]

[Quoted text hidden]

[Quoted text hidden]

[Quoted text hidden]

Dunes at Juno Beach.zip

[Quoted text hidden]

[Quoted text hidden]

[Quoted text hidden]

[Quoted text hidden]

[Quoted text hidden]

[Quoted text hidden]

Site Plan Review Application.zip

[Quoted text hidden]

[Quoted text hidden]

[Quoted text hidden]

2 attachments



23004.18.davilacmnt2.pdf
163K



23004.18.davilacmnt2.docx
377K

April 29, 2024

Town of Juno Beach
340 Ocean Drive
Juno Beach, Florida 33408

Attention: Mr. Frank Davila

Reference: The Dunes at Juno Beach
Town of Juno Beach, Florida

Dear Mr. Davila:

Our office has reviewed the submitted preliminary plans, calculations and Site Plan application package for the above referenced project dated March 26, 2024. Based on our review (2nd review) of the submitted preliminary plans, water management calculations, responses to comments, and Site Plan approval package, our office has the following comments:

Traffic Study

1. Provide Traffic Performance Standards approval letter once obtained.

Applicant Response: Acknowledged.

Comment: The PBC TPS approval letter will be required prior to the Town Council meeting.

Site Plan

2. Provide an AutoTurn Analysis for a fire truck and garbage truck through the site.

Applicant Response: As requested, an AutoTurn Analysis has been prepared and is included in the Site Conceptual Engineering Plans.

Comment: The fire truck appears to be running over a section of gate in the provided AutoTurn plans. Additionally, a garbage truck AutoTurn was not provided.

Mr. Frank Davila
April 29, 2024 – Page 2

Please note that once the above referenced items are addressed and found acceptable for Site Plan approval, an approval letter will be provided to the Town of Juno Beach. The acknowledged advisory comments provided in our original review letter dated December 28, 2023

If you have any questions or require any additional information, please contact our office.

Sincerely,

SIMMONS & WHITE, INC.



Bryan G. Kelley, P.E.





Loxahatchee
River District

Isabella Hickey <ihickey@juno-beach.fl.us>

The Dunes at Juno Beach (formerly known as Juno Square Residential)

Courtney Jones <courtney.jones@lrecd.org>

Tue, Apr 23, 2024 at 4:12 PM

To: Isabella Hickey <ihickey@juno-beach.fl.us>

Cc: Kris Dean <Kris.Dean@lrecd.org>, Cindy Denton <Cindy.Denton@lrecd.org>

Good Afternoon Isabella,

The previous comment from 11/27/23 in the attached still has not yet been addressed.

The developer for the subject project has been in correspondence with the District. The District has requested that the developer engage in a developer's agreement as part of the District's development review process (<https://loxahatcheeriver.org/sewer-iq/guidelines/>). To date, the developer has not yet engaged in a developer's agreement with the District, which is required in order to proceed with plan review.

At this time, the District can only offer the following to the Town in regards to comments on this project:

1. Project / developer needs to engage in a developer's agreement with the District. Once a developer's agreement is entered into and associated fees paid to the District, then the District will complete review of the plans for this project. Developer will be required to address all District comments provided during the plan review process in order to obtain District approval.

Thank you,

Courtney Jones, P.E.

Director of Engineering

Loxahatchee River District

2500 Jupiter Park Drive

Jupiter, FL 33458

Office: 561-401-4094; Cell: 561-339-2547

courtney.jones@lrecd.org

From: Isabella Hickey <ihickey@juno-beach.fl.us>

Sent: Thursday, April 11, 2024 3:34 PM

To: Courtney Jones <courtney.jones@lrecd.org>

Cc: Kris Dean <Kris.Dean@lrecd.org>

Subject: The Dunes at Juno Beach (formerly known as Juno Square Residential)

You don't often get email from ihickey@juno-beach.fl.us. [Learn why this is important](#)

Good afternoon Courtney,

Please see the attached memo from the Town, comments provided by the Loxahatchee River District (Lox availability letter), and review the submission for the Dunes at Juno Beach (attached as the zip file).

Provide a response to the attached packet by May 2nd as the second DRC meeting is tentatively scheduled for May 8th at 10:30am.

If you or anyone on your team has any issues downloading or accessing the zipped folder, please let me know and I will send the packet in a different format. Also, if you'd like a hard copy of the plans please let me know and I will deliver them to your office.

If you have any questions please do not hesitate to ask me.

[Quoted text hidden]

 **Dunes at Juno Beach - CL Lox River District FINAL.pdf**
144K

Jupiter WATER UTILITIES



Isabella Hickey <ihickey@juno-beach.fl.us>

Fwd: Juno Square - Town of Jupiter Utilities DRC Comments

Travis Sanders <TravisS@jupiter.fl.us>
To: Isabella Hickey <ihickey@juno-beach.fl.us>
Cc: Amanda Barnes <amandab@jupiter.fl.us>


Fri, Apr 26, 2024 at 5:02 PM

Hi Isabella,

Please see our comments on the attached plans. In addition, our original comments on the memo you sent are still applicable, which we also added to the attached plans.

Please let me know if there are any questions.

[Quoted text hidden]

 **5. Engineering.PDF Dunes at Juno Pulte TOJ Review.pdf**
27217K

Town of Jupiter review comments
related to water service are noted
here on. 4/25/2024

PRELIMINARY ENGINEERING PLANS
FOR

The Dunes at Juno Beach

Town of Juno Beach, Florida

LEGAL DESCRIPTION

DESCRIPTION

A PARCEL OF LAND IN SECTION 28, TOWNSHIP 41 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THAT PORTION OF PALM AVENUE, LYING BETWEEN THE SOUTH LINE OF OLIVE STREET AND THE NORTH LINE OF FLORAL STREET; AS SHOWN ON PLAT OF NEW PALM BEACH HEIGHTS, AS RECORDED IN PLAT BOOK 6, PAGE 73, IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, EXCEPTING THEREFROM THE PART THEREOF WHICH LIES WITHIN 60 FEET ON EACH SIDE OF, MEASURED AT RIGHT ANGLES TO, THE CENTER LINE OF SURVEY OF STATE ROAD NO. 5, SECTION 9304-112, AS SHOWN ON RIGHT-OF-WAY MAP RECORDED IN ROAD PLAT BOOK 2, PAGE 114, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; THAT CERTAIN PORTION OF A STREET DESIGNATED AS OLEANDER AVENUE IN NEW PALM BEACH HEIGHTS, WHICH PORTION OF SAID STREET IS BOUNDED BY LOTS 10 THROUGH 18, BLOCK 11, ON ITS EASTERLY SIDE, BY LOTS 1 THROUGH 9, BLOCK 12, ON ITS WESTERLY SIDE, BY THE SOUTH LINE OF OLIVE STREET ON THE NORTH, AND BY THE NORTH LINE OF FLORAL STREET ON THE SOUTH ALL AS SHOWN ON PLAT OF NEW PALM BEACH HEIGHTS ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, RECORDED IN PLAT BOOK 6, PAGE 73; THOSE PARTS OF LOTS 11 TO 18, INCLUSIVE, IN BLOCK 7, LYING WESTERLY OF THE WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 5, AS SHOWN ON RIGHT-OF-WAY MAP RECORDED IN ROAD PLAT BOOK 2, PAGE 114, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; LOTS 1 TO 18 INCLUSIVE, IN BLOCK 11; AND LOTS 1 TO 14, INCLUSIVE, IN BLOCK 12, ALL IN NEW PALM BEACH HEIGHTS ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, RECORDED IN PLAT BOOK 6, PAGE 73.

LESS AND EXCEPT THE FOLLOWING,

THAT PORTION OF PALM AVENUE, LYING BETWEEN THE SOUTH LINE OF OLIVE STREET AND THE NORTH LINE OF FLORAL STREET, AS SHOWN ON PLAT OF NEW PALM BEACH HEIGHTS, AS RECORDED IN PLAT BOOK 6, PAGE 73, IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, EXCEPTING THEREFROM THE PART THEREOF WHICH LIES WITHIN 60 FEET ON EACH SIDE OF, AS MEASURED AT RIGHT ANGLES TO, THE CENTER LINE OF SURVEY OF STATE ROAD NO. 5, SECTION 9304-112, AS SHOWN ON RIGHT-OF-WAY MAP RECORDED IN ROAD PLAT BOOK 2, PAGE 114, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; THAT CERTAIN PORTION OF A STREET DESIGNATED AS OLEANDER AVENUE IN NEW PALM BEACH HEIGHTS, WHICH PORTION OF SAID STREET IS BOUNDED BY LOTS 1 THROUGH 9, BLOCK 12, ON ITS WESTERLY SIDE, BY THE SOUTH LINE OF OLIVE STREET ON THE NORTH, AND BY THE NORTH LINE OF FLORAL STREET ON THE SOUTH, ALL AS SHOWN ON PLAT OF NEW PALM BEACH HEIGHTS ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, RECORDED IN PLAT BOOK 6, PAGE 73; THOSE PARTS OF LOTS 11 TO 18, INCLUSIVE, IN BLOCK 7, LYING WESTERLY OF THE WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 5, AS SHOWN ON RIGHT-OF-WAY MAP RECORDED IN ROAD PLAT BOOK 2, PAGE 114, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; LOTS 1 TO 18, INCLUSIVE, IN BLOCK 11; AND LOTS 1 TO 14, INCLUSIVE, IN BLOCK 12; ALL IN NEW PALM BEACH HEIGHTS ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, RECORDED IN PLAT BOOK 6, PAGE 73.

LESS THAT PORTION TAKEN BY ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 9635, PAGE 393, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

SAID LANDS SITUATE IN THE TOWN OF JUNO BEACH, PALM BEACH COUNTY, FLORIDA AND CONTAINING 4.32 ACRES, MORE OR LESS.

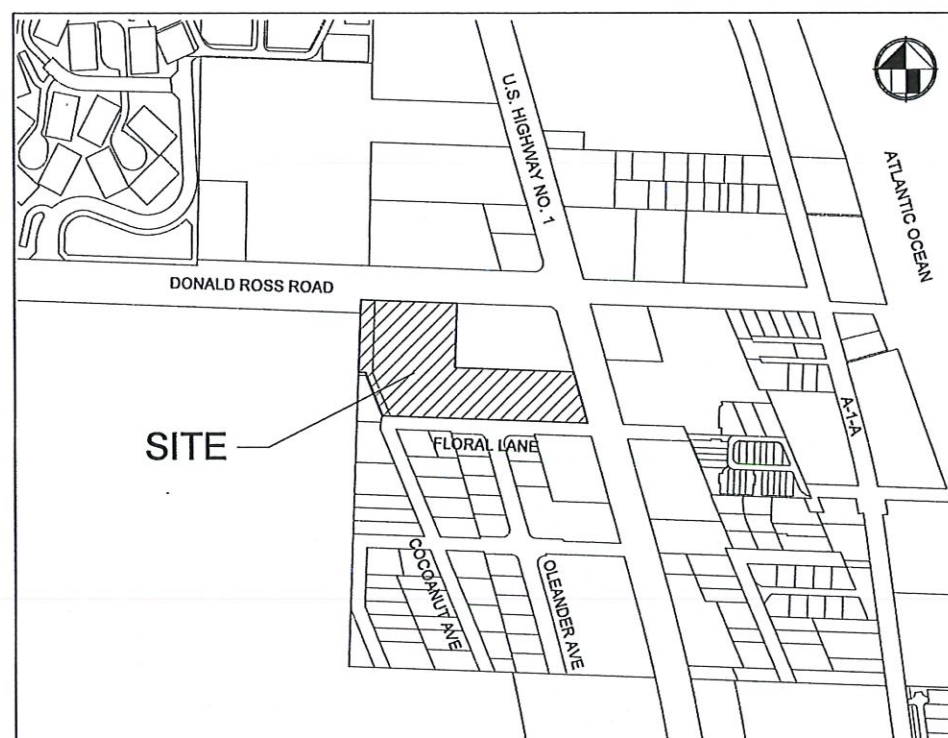
SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS, COVENANTS, AND RIGHTS-OF-WAY OF RECORD.

OWNER:

Pulte Home Group, LLC
1475 Centrepark Boulevard, Suite 140
West palm beach, Florida 33401

INDEX OF SHEETS

<u>SHEET DESCRIPTION</u>	<u>SHEET NO.</u>
PRELIMINARY PAVING, GRADING & DRAINAGE PLAN	1
PRELIMINARY WATER & SEWER PLAN	2
CONSTRUCTION DETAILS	3
FIRE TRUCK EXHIBIT	4
CONSTRUCTION PERIOD STORMWATER POLLUTION PREVENTION PLAN	5
CONSTRUCTION PERIOD STORMWATER POLLUTION PREVENTION DETAILS	6

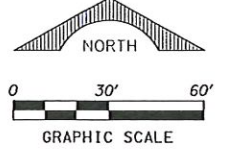
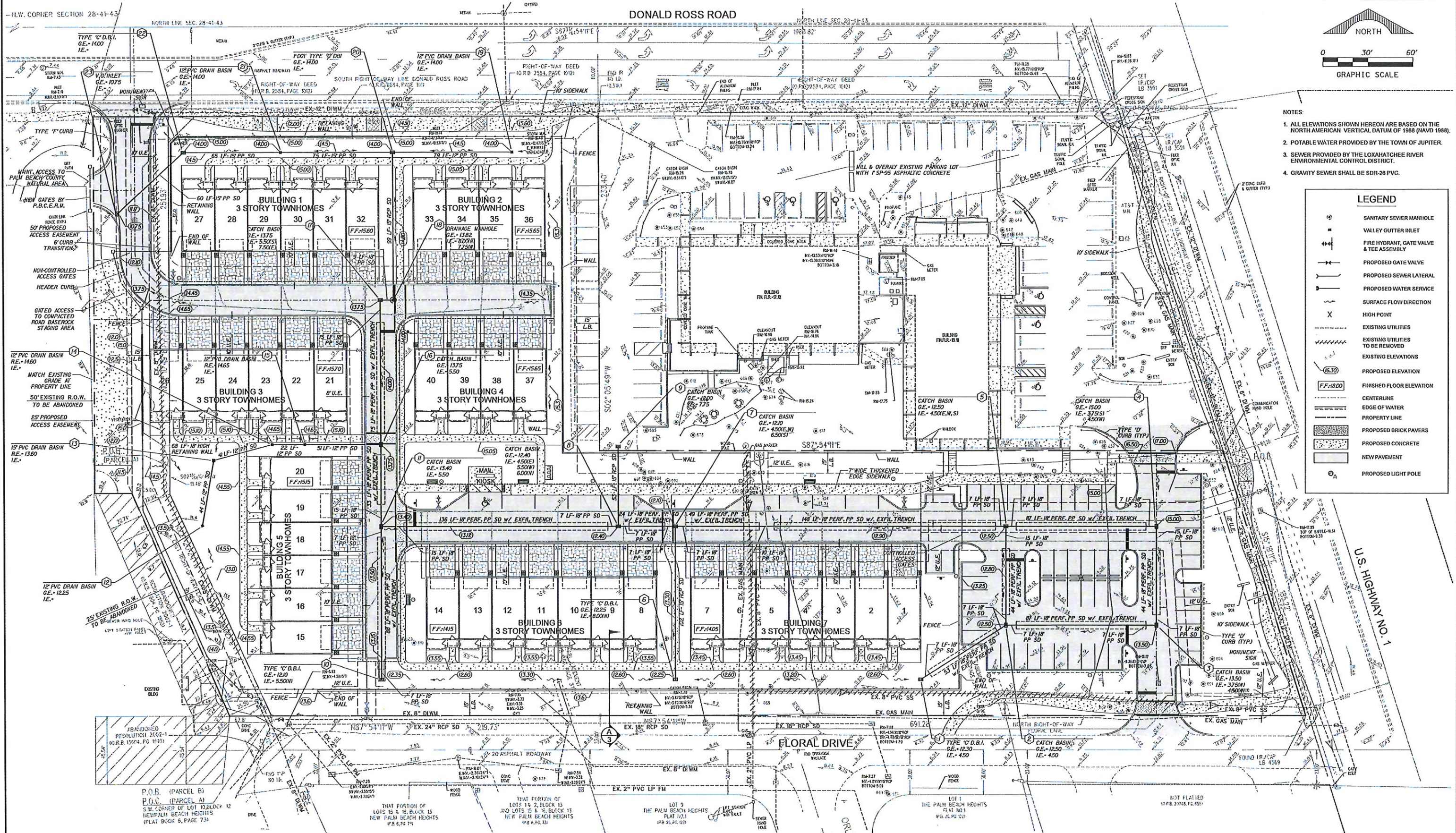


LOCATION MAP
S 28, T 41S, R 43E
NOT TO SCALE

SCHNARS
ENGINEERING CORPORATION

947 CLINT MOORE ROAD • BOCA RATON, FLORIDA 33487

TEL: (561) 241-6455 • FAX: (561) 241-5182



- NOTES:
1. ALL ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988).
 2. POTABLE WATER PROVIDED BY THE TOWN OF JUNIPER.
 3. SEWER PROVIDED BY THE LOXAHATCHEE RIVER ENVIRONMENTAL CONTROL DISTRICT.
 4. GRAVITY SEWER SHALL BE SDR-28 PVC.

LEGEND	
	SANITARY SEWER MANHOLE
	VALLEY GUTTER INLET
	FIRE HYDRANT, GATE VALVE & TEE ASSEMBLY
	PROPOSED GATE VALVE
	PROPOSED SEWER LATERAL
	PROPOSED WATER SERVICE
	SURFACE FLOW DIRECTION
	HIGH POINT
	EXISTING UTILITIES
	EXISTING UTILITIES TO BE REMOVED
	EXISTING ELEVATIONS
	PROPOSED ELEVATION
	FINISHED FLOOR ELEVATION
	CENTERLINE
	EDGE OF WATER
	PROPERTY LINE
	PROPOSED BRICK PAVERS
	PROPOSED CONCRETE
	NEW PAVEMENT
	PROPOSED LIGHT POLE

SCHNARS
ENGINEERING CORPORATION

947 CLINT MOORE ROAD
BOCA RATON, FLORIDA 33487

TEL: (561) 241-6455
FAX: (561) 241-5182

OWNER:
PULTE HOME GROUP, LLC
1475 CENTREPARK BOULEVARD, SUITE 140
WEST PALM BEACH, FLORIDA 33401

PROJECT:
THE DUNES AT JUNO BEACH
TOWN OF JUNO BEACH
FLORIDA

TASK:
**PRELIMINARY
PAVING, GRADING & DRAINAGE PLAN**

ORIGINAL: OCTOBER 2023

REVISIONS:

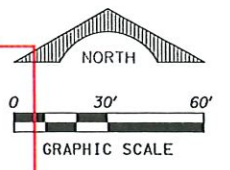
1	2/29/24 SITE PLAN REVISION
2	3/6/24 REV. DRAINAGE FOR LANDSCAPE
3	3/27/24 SITE PLAN REVISION
4	
5	

6	
7	
8	
9	
10	
11	
12	

JOB NO. 23108
DRAWN RAD
DESIGNED JTS
CHECKED JWM
O.C. JTS

Jeffrey T. Schnars, P.E.
Civil Engineer
Florida Registration No. 46697
10/23, THE FIRM

SHEET 1 of 6



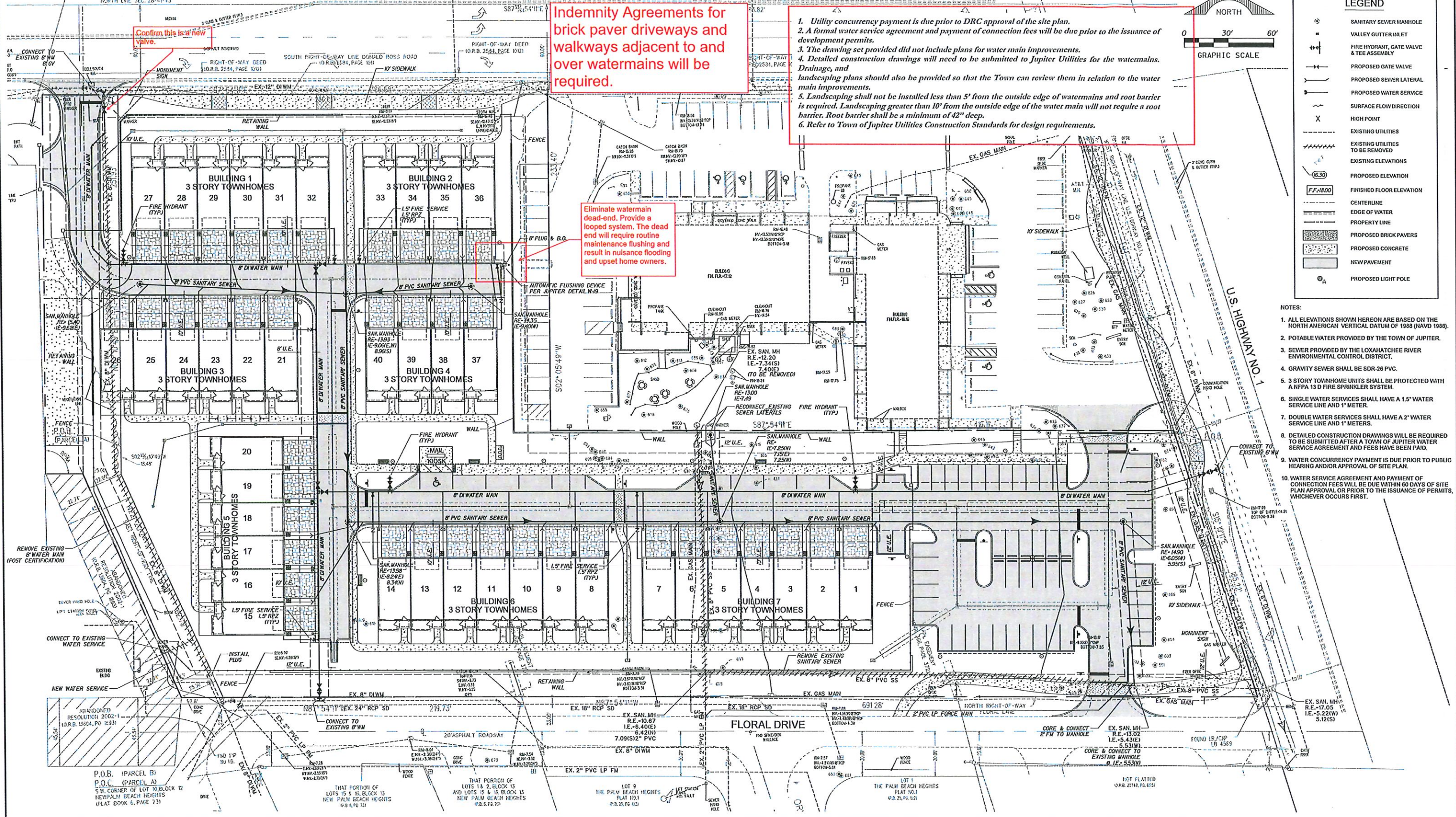
LEGEND	
	SANITARY SEWER MANHOLE
	VALLEY GUTTER INLET
	FIRE HYDRANT, GATE VALVE & TEE ASSEMBLY
	PROPOSED SEWER VALVE
	PROPOSED SEWER LATERAL
	PROPOSED WATER SERVICE
	SURFACE FLOW DIRECTION
	HIGH POINT
	EXISTING UTILITIES
	EXISTING UTILITIES TO BE REMOVED
	EXISTING ELEVATIONS
	PROPOSED ELEVATION
	FINISHED FLOOR ELEVATION
	CENTERLINE OF WATER
	EDGE OF WATER
	PROPERTY LINE
	PROPOSED BRICK PAVERS
	PROPOSED CONCRETE
	NEW PAVEMENT
	PROPOSED LIGHT POLE

- NOTES:
- ALL ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988).
 - POTABLE WATER PROVIDED BY THE TOWN OF JUPITER.
 - SEWER PROVIDED BY THE LOXAHATCHEE RIVER ENVIRONMENTAL CONTROL DISTRICT.
 - GRAVITY SEWER SHALL BE SDR-26 PVC.
 - 3 STORY TOWNHOME UNITS SHALL BE PROTECTED WITH A NFPA 13 D FIRE SPRINKLER SYSTEM.
 - SINGLE WATER SERVICES SHALL HAVE A 1.5" WATER SERVICE LINE AND 1" METER.
 - DOUBLE WATER SERVICES SHALL HAVE A 2" WATER SERVICE LINE AND 1" METERS.
 - DETAILED CONSTRUCTION DRAWINGS WILL BE REQUIRED TO BE SUBMITTED AFTER A TOWN OF JUPITER WATER SERVICE AGREEMENT AND FEES HAVE BEEN PAID.
 - WATER CONCURRENCY PAYMENT IS DUE PRIOR TO PUBLIC HEARING AND/OR APPROVAL OF SITE PLAN.
 - WATER SERVICE AGREEMENT AND PAYMENT OF CONNECTION FEES WILL BE DUE WITHIN 60 DAYS OF SITE PLAN APPROVAL OR PRIOR TO THE ISSUANCE OF PERMITS, WHICHEVER OCCURS FIRST.

Indemnity Agreements for brick paver driveways and walkways adjacent to and over watermains will be required.

- Utility concurrency payment is due prior to DRC approval of the site plan.
- A formal water service agreement and payment of connection fees will be due prior to the issuance of development permits.
- The drawing set provided did not include plans for water main improvements.
- Detailed construction drawings will need to be submitted to Jupiter Utilities for the watermains. Drainage, and landscaping plans should also be provided so that the Town can review them in relation to the water main improvements.
- Landscaping shall not be installed less than 5' from the outside edge of watermains and root barrier is required. Landscaping greater than 10' from the outside edge of the water main will not require a root barrier. Root barrier shall be a minimum of 42" deep.
- Refer to Town of Jupiter Utilities Construction Standards for design requirements.

Eliminate watermain dead-end. Provide a looped system. The dead end will require routine maintenance flushing and result in nuisance flooding and upset home owners.



SCHNARS
ENGINEERING CORPORATION

947 CLINT MOORE ROAD
BOCA RATON, FLORIDA 33487

TEL: (561) 241-6455
FAX: (561) 241-5182

OWNER:
PULTE HOME GROUP, LLC
1475 CENTREPARK BOULEVARD, SUITE 140
WEST PALM BEACH, FLORIDA 33401

PROJECT:
THE DUNES AT JUNO BEACH
TOWN OF JUNO BEACH
FLORIDA

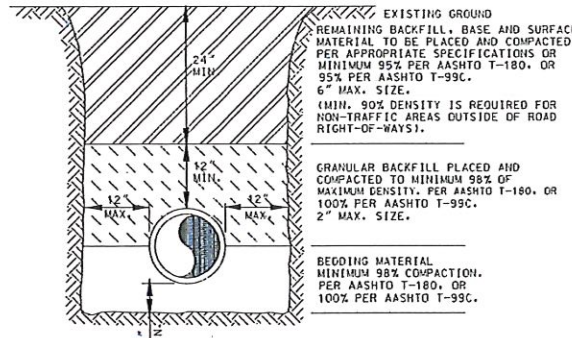
TASK:
**PRELIMINARY
WATER & SEWER PLAN**

ORIGINAL: OCTOBER 2023	6
REVISIONS:	7
1 1/2/24 REV. EAST W.M. CONNECTION, ADD NOTES 9 THRU 11	8
2 1/3/24 ADD NOTES 8 THRU 10, 2/29/24 ADD FIRE SERVICES & SITE PLAN REVISIONS	9
3 3/27/24 SITE PLAN REVISION	10
5	11
	12

JOB NO. 23108
DRAWN RAD
DESIGNED JTS
CHECKED JWM
O.C. JTS

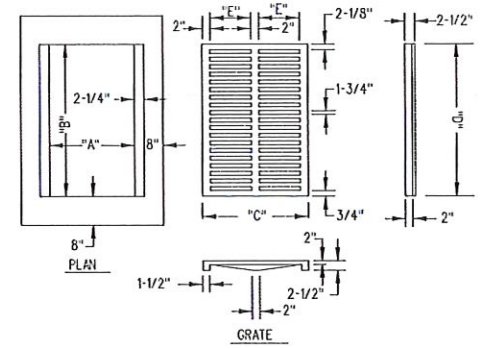
SHEET 2 of 6

Jeffrey T. Schnars, P.E.
Civil Engineer
Florida Registration No. 48697
(FOR THE FPM)



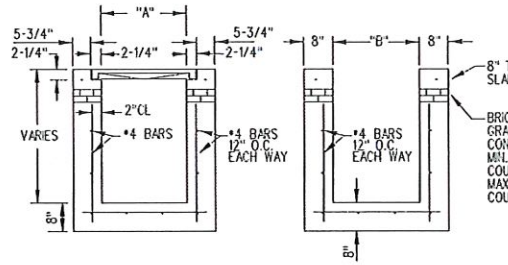
- NOTES:
- BEDDING SHALL CONSIST OF IN-SITU GRANULAR MATERIAL OR WASHED AND GRADED LIMEROCK 1/2"-7/8" SIZING, ONLY AT THE DIRECTION OF THE ENGINEER. UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGER ROCKS SHALL BE REMOVED.
 - THE PIPE SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH WITH APPROPRIATE COMPACTION UNDER THE PIPE HAUNCHES.
 - THE PIPE SHALL BE PLACED IN A DRY TRENCH.
 - BACKFILL SHALL BE FREE OF UNSUITABLE MATERIAL SUCH AS LARGE ROCK, MULCH AND DEBRIS.
 - DENSITY TESTS ARE REQUIRED IN 1 FOOT (8 INCHES IN BROWARD COUNTY 40" CANAL RUN) LIFTS ABOVE THE PIPE AT INTERVALS OF 150' MAXIMUM.
 - THE DEVELOPER/CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE TRENCH SAFETY LAWS AND REGULATIONS.
 - SEE SEPARATE DETAIL FOR "PAVEMENT REPLACEMENT/PIPE INSTALLATION UNDER EXISTING ROADWAY" - OPEN CUT.
 - THE AFFECTED AREA SHALL BE RESTORED TO EQUAL OR BETTER CONDITION AS REQUIRED.

TYPICAL TRENCH DETAIL
N.T.S.

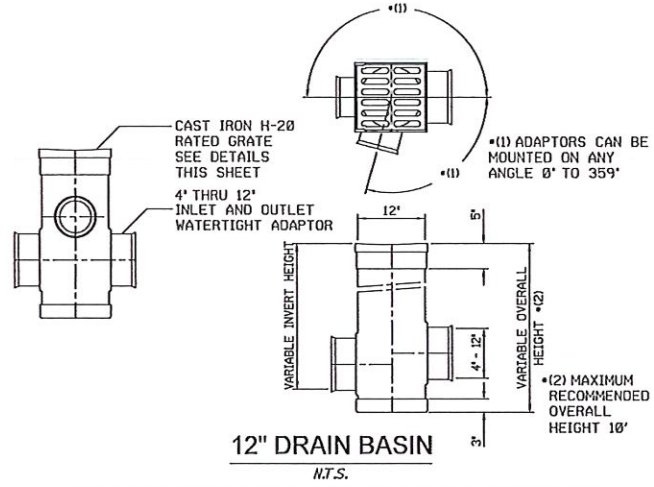


TYPE INLET	MAX. SIZE R.C.P.				
	"A"	"B"	"C"	"D"	"E"
"C"	2'-0"	3'-1"	2'-4"	3'-0"	11"
"E"	3'-0"	4'-6"	3'-4"	4'-4"	1'-5"
"E MOD"	3'-0"	4'-6"	3'-4"	4'-4"	1'-5"

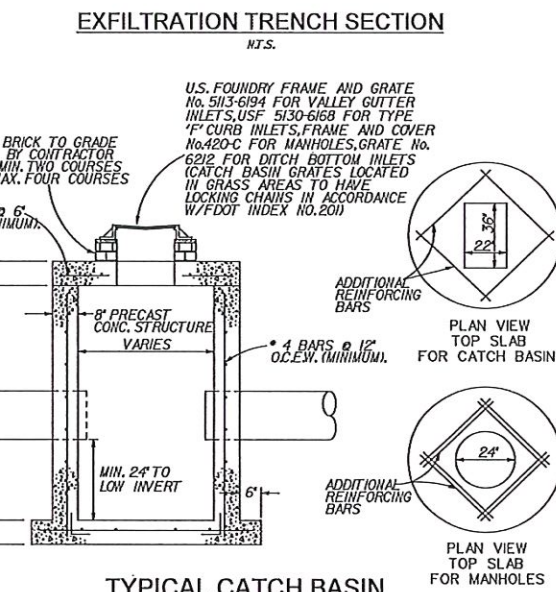
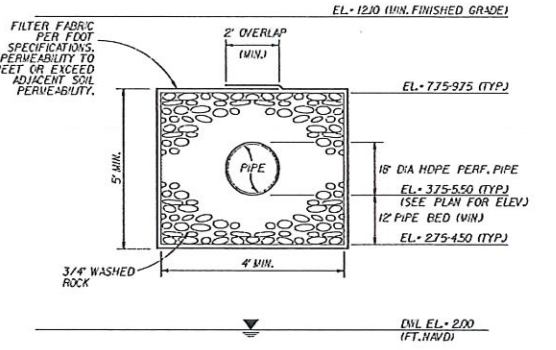
- GENERAL NOTES:
BEVELED EDGES: ALL EXPOSED CORNERS AND EDGES TO BE CHAMFERED 3/4".
FOUNDATION MATERIAL: WHERE MATERIAL UNSATISFACTORY FOR FOUNDATION IS ENCOUNTERED AT FLOW LINE OMIT FLOOR AND CARRY WALLS DOWN TO SATISFACTORY FOUNDATION BACKFILL TO FLOW LINE WITH CLEAN SAND.
- GRATES: CAST IRON GRATES IN ACCORDANCE WITH FLA D.O.T. SPECS.
- INLET TYPES: INLETS ARE TO BE AS SHOWN HEREON. TYPE "E MOD" IS A TYPE "E" TURNED 90° TO RECEIVE R.C.P. UP TO 48" DIA INLETS RECEIVING R.C.P. LARGER THAN 48" DIA SHALL BE IN ACCORDANCE WITH FLA D.O.T. STANDARDS.
- MATERIAL: INLET WALLS AND FOOTING MAY EITHER POURED-IN-PLACE 2500 LB. CONC. OR PRECAST CLASS "A" 3000 LB. CONC.
- ALL INLET CONSTRUCTION IS IN ACCORDANCE WITH THE CURRENT F.D.O.T. STANDARDS INDEX NO. 425.
- ALL INLET GRATES TO BE SECURED WITH A LOCKING CHAIN PER F.D.O.T. INDEX 425-001.



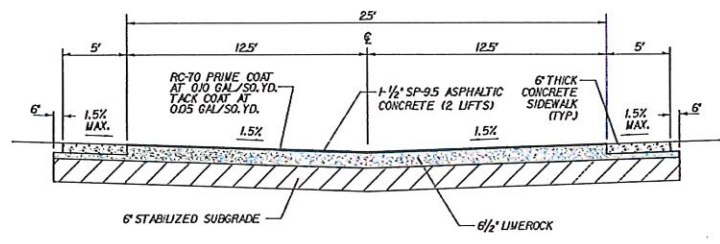
DITCH BOTTOM INLET DETAIL
N.T.S.



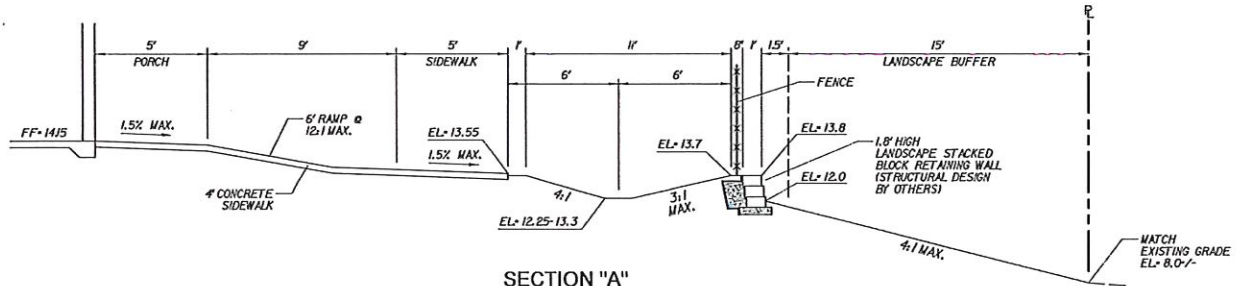
- GENERAL NOTES:
BEVELED EDGES: ALL EXPOSED CORNERS AND EDGES TO BE CHAMFERED 3/4".
FOUNDATION MATERIAL: WHERE MATERIAL UNSATISFACTORY FOR FOUNDATION IS ENCOUNTERED AT FLOW LINE OMIT FLOOR AND CARRY WALLS DOWN TO SATISFACTORY FOUNDATION BACKFILL TO FLOW LINE WITH CLEAN SAND.
- GRATES: CAST IRON GRATES IN ACCORDANCE WITH FLA D.O.T. SPECS.
- INLET TYPES: INLETS ARE TO BE AS SHOWN HEREON. TYPE "E MOD" IS A TYPE "E" TURNED 90° TO RECEIVE R.C.P. UP TO 48" DIA INLETS RECEIVING R.C.P. LARGER THAN 48" DIA SHALL BE IN ACCORDANCE WITH FLA D.O.T. STANDARDS.
- MATERIAL: INLET WALLS AND FOOTING MAY EITHER POURED-IN-PLACE 2500 LB. CONC. OR PRECAST CLASS "A" 3000 LB. CONC.
- ALL INLET CONSTRUCTION IS IN ACCORDANCE WITH THE CURRENT F.D.O.T. STANDARDS INDEX NO. 425.
- ALL INLET GRATES TO BE SECURED WITH A LOCKING CHAIN PER F.D.O.T. INDEX 425-001.



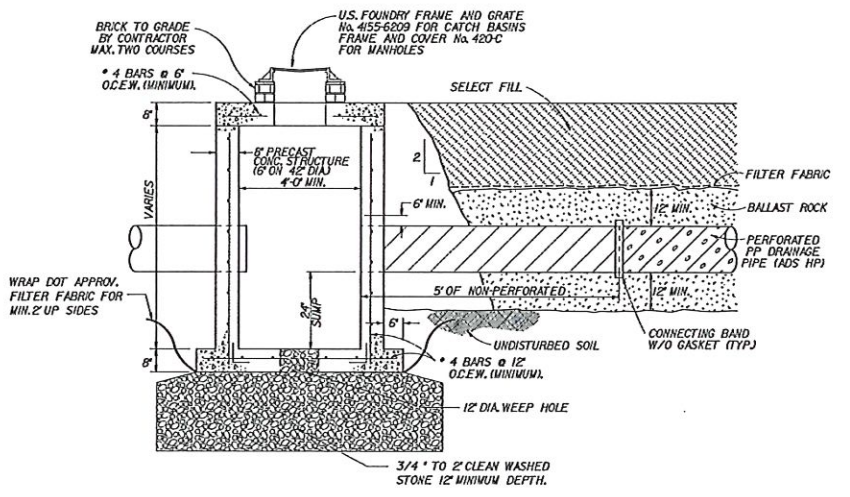
- GENERAL NOTES:
BEVELED EDGES: ALL EXPOSED CORNERS AND EDGES TO BE CHAMFERED 3/4".
FOUNDATION MATERIAL: WHERE MATERIAL UNSATISFACTORY FOR FOUNDATION IS ENCOUNTERED AT FLOW LINE OMIT FLOOR AND CARRY WALLS DOWN TO SATISFACTORY FOUNDATION BACKFILL TO FLOW LINE WITH CLEAN SAND.
- GRATES: CAST IRON GRATES IN ACCORDANCE WITH FLA D.O.T. SPECS.
- INLET TYPES: INLETS ARE TO BE AS SHOWN HEREON. TYPE "E MOD" IS A TYPE "E" TURNED 90° TO RECEIVE R.C.P. UP TO 48" DIA INLETS RECEIVING R.C.P. LARGER THAN 48" DIA SHALL BE IN ACCORDANCE WITH FLA D.O.T. STANDARDS.
- MATERIAL: INLET WALLS AND FOOTING MAY EITHER POURED-IN-PLACE 2500 LB. CONC. OR PRECAST CLASS "A" 3000 LB. CONC.
- ALL INLET CONSTRUCTION IS IN ACCORDANCE WITH THE CURRENT F.D.O.T. STANDARDS INDEX NO. 425.
- ALL INLET GRATES TO BE SECURED WITH A LOCKING CHAIN PER F.D.O.T. INDEX 425-001.

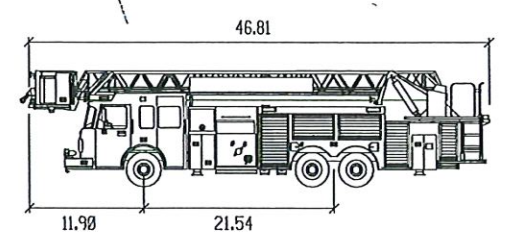
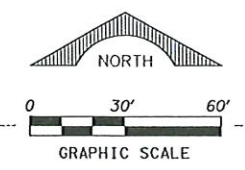
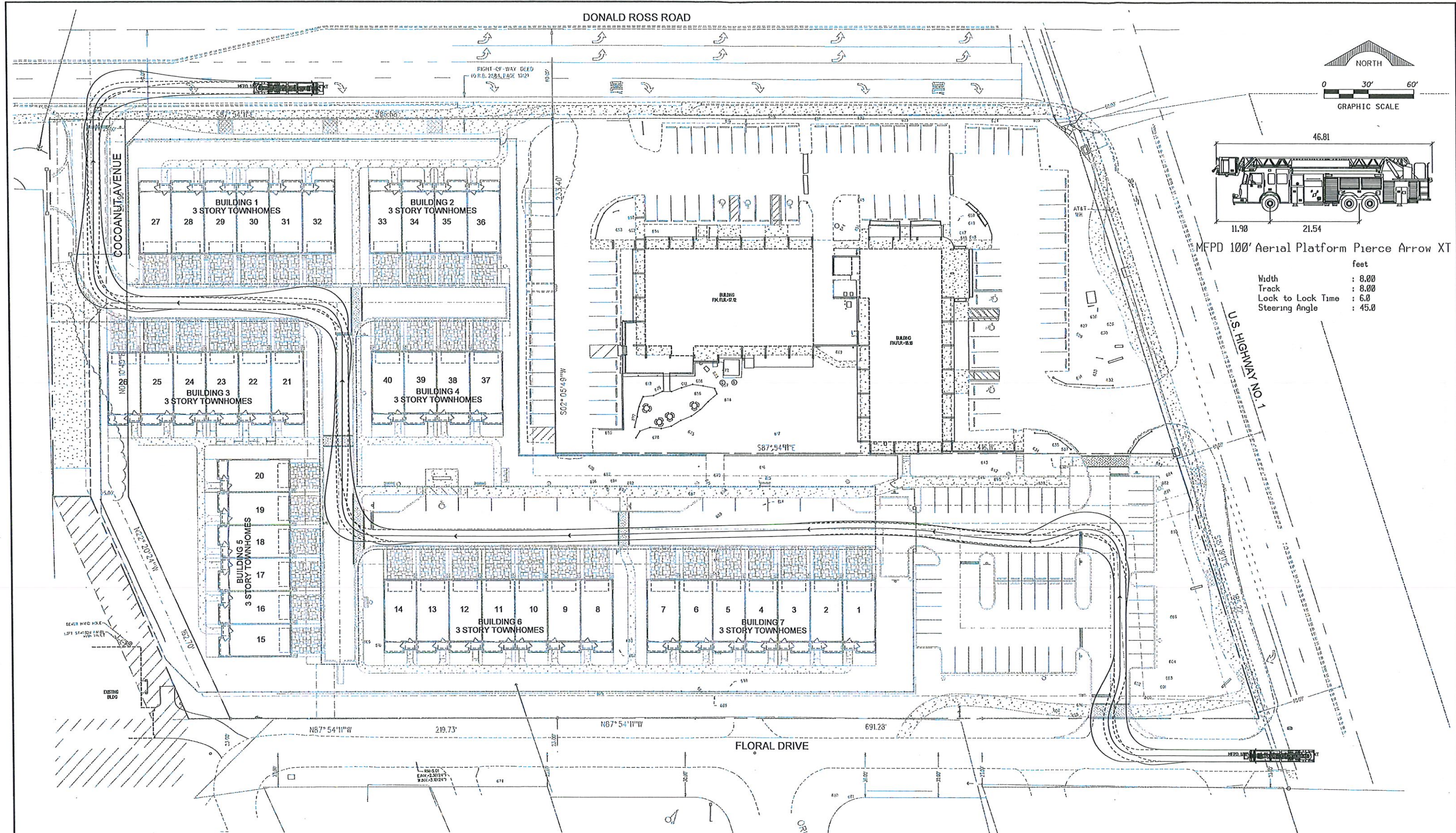


- PAVEMENT DESIGN:
0.66 1.5" ASPHALT SP-9.5
1.17 6.5" LIMEROCK
0.48 6" STABILIZED SUBGRADE
2.31
- ALTERNATE PAVEMENT DESIGN:
0.66 1.5" ASPHALT SP-9.5
1.66 9.2" LIMEROCK WITH 3" LIMEROCK CURB PAD
0 12" COMPACTED SUBGRADE
2.32



Add Town of Jupiter Water System Standard Details.





MFPD 100' Aerial Platform Pierce Arrow XT

	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 45.0

SCHNARS
ENGINEERING CORPORATION
947 CLINT MOORE ROAD
BOCA RATON, FLORIDA 33487
TEL: (561) 241-6455
FAX: (561) 241-5182

OWNER:
PULTE HOME GROUP, LLC
1475 CENTRE PARK BOULEVARD, SUITE 140
WEST PALM BEACH, FLORIDA 33401

PROJECT:
THE DUNES AT JUNO BEACH
TOWN OF JUNO BEACH
FLORIDA

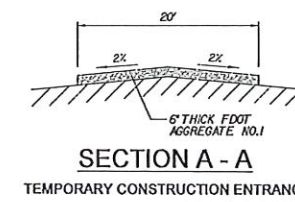
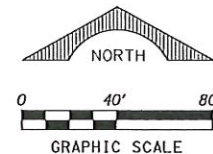
TASK:
FIRE TRUCK EXHIBIT

ORIGINAL: OCTOBER 2023
REVISIONS:
1 2/29/24 SITE PLAN REVISIONS
2 3/27/24 SITE PLAN REVISIONS
3
4
5

6	
7	
8	
9	
10	
11	
12	

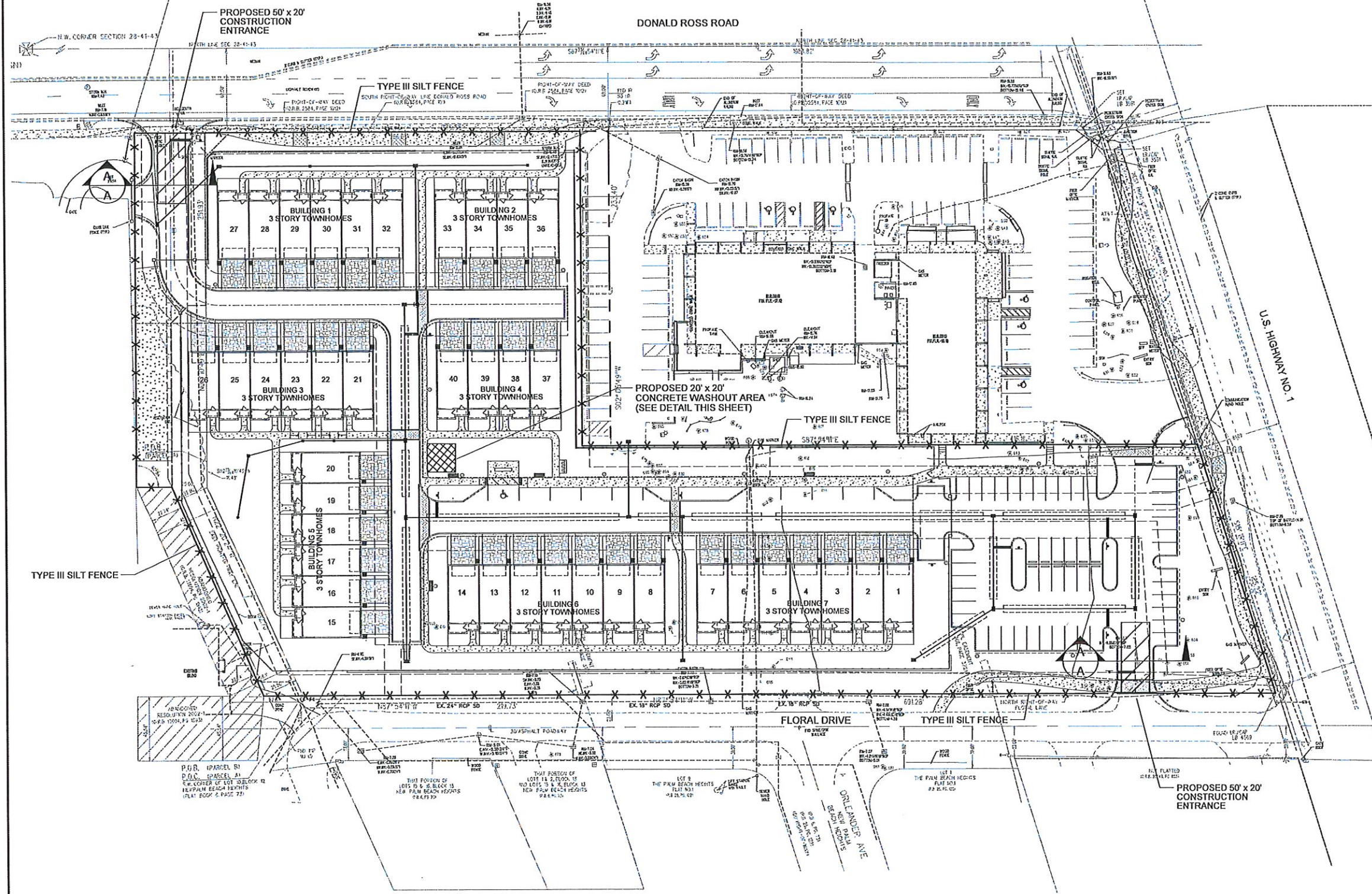
JOB NO. 23108
DRAWN RAD
DESIGNED JTS
CHECKED JWM
Q.C. JTS
SHEET 4 OF 6

Jeffrey T. Schnars, P.E.
Civil Engineer
Florida Registration No. 46897
FOR THE FIRM

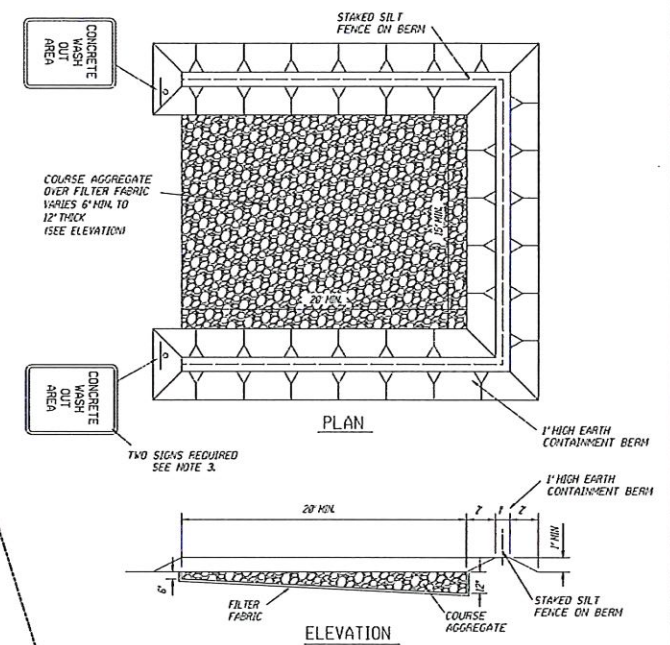


LEGEND

- PROPERTY LINE
- - - EXISTING INFORMATION
- * * * * * PROPOSED SILT FENCE



CONCRETE WASHOUT AREA NOTE:
 CONCRETE WASHOUT AREAS SHALL BE CONSTRUCTED SIMILAR TO TEMPORARY GRAVEL CONSTRUCTION ENTRANCES WITH A WIDTH OF 15 TO 20 FEET AND A DEPTH OF 80 FEET SIX INCHES OF AGGREGATE OVER FILTER FABRIC IS REQUIRED ON THE BOTTOM OF THE WASHOUT AREA THIS AREA SHALL BE SURROUNDED ON THREE SIDES BY A SILT FENCE OR EARTHEN DAM WITH THE BACK END A MINIMUM OF 12-INCHES LOWER TO ALLOW FOR WATER TO POOL AT BACK OF AREA. A SIGN STATING 'CONCRETE WASHOUT AREA' SHALL BE PLACED AT THE SITE.



- NOTES:**
1. ALL MATERIAL SHALL BE REMOVED FROM THE SITE AT THE END OF THE PROJECT.
 2. AGGREGATE SHALL BE REPLACED AS DIRECTED BY THE ENGINEER OF RECORD AND/OR THE CITY WHEN EXCESSIVE MATERIALS BUILDUP RENDERS THE WASH OUT AREA NO LONGER FUNCTIONAL.
 3. SIGNS SHALL BE 18" X 12" MIN. SIZE WITH 2" BLACK LETTERING ON A WHITE BACKGROUND AND MOUNTED A MINIMUM OF 7 FEET ABOVE GRADE FROM THE LOWEST EDGE OF THE SIGN FACE.

CONCRETE TRUCK WASH OUT AREA
 N.T.S.

SCHNARS
 ENGINEERING CORPORATION
 947 CLINT MOORE ROAD
 BOCA RATON, FLORIDA 33487
 TEL: (561) 241-6455
 FAX: (561) 241-5182

OWNER:
 PULTE HOME GROUP, LLC
 1475 CENTREPARK BOULEVARD, SUITE 140
 WEST PALM BEACH, FLORIDA 33401

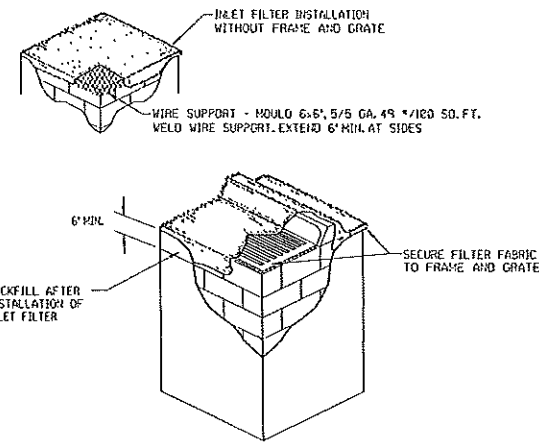
PROJECT:
 THE DUNES AT JUNO BEACH
 TOWN OF JUNO BEACH
 FLORIDA

TASK:
 CONSTRUCTION PERIOD STORMWATER
 POLLUTION PREVENTION PLAN

ORIGINAL: OCTOBER 2023
REVISIONS:
 1 2/22/24 SITE PLAN COMMENTS
 2 3/27/24 SITE PLAN REVISION
 3
 4
 5

6	
7	
8	
9	
10	
11	
12	

JOB NO. 23108
DRAWN RAD
DESIGNED JTS
CHECKED JWM
O.C. JTS
SHEET 5 of 6



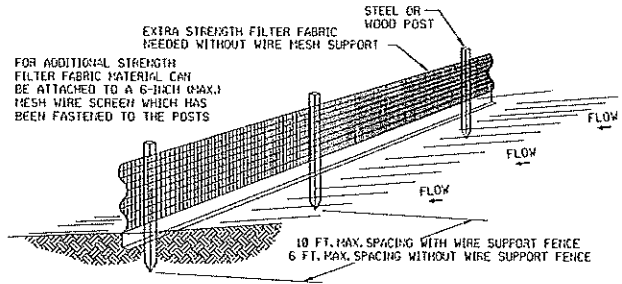
NOTES:

- CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
- CONTRACTOR TO REMOVE FABRIC JUST PRIOR TO PAVING.

A SEDIMENT TRAP WILL BE EXCAVATED BEHIND THE CURB AT THE INLET. THE BASIN SHALL BE AT LEAST 12 TO 14 INCHES IN DEPTH, APPROXIMATELY 36 INCHES IN WIDTH, AND APPROXIMATELY 7 TO 10 FEET IN LENGTH PARALLEL TO THE CURB.

STORM WATER WILL REACH THE SEDIMENT TRAP VIA CURB CUTS ADJACENT TO EACH SIDE OF THE INLET STRUCTURE. THESE OPENINGS SHALL BE AT LEAST 12 INCHES IN LENGTH. STORM WATER MAY ALSO REACH THE BASIN VIA OVERLAND FLOW LAND AREA BEHIND THE CURB. THE CURB CUTS SHALL BE REPAIRED WHEN THE SEDIMENT TRAP IS REMOVED.

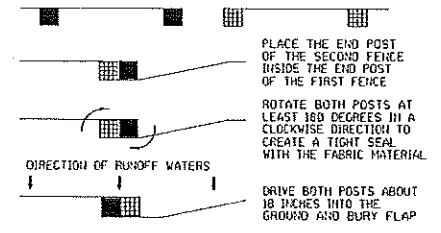
INLET FILTER DETAIL



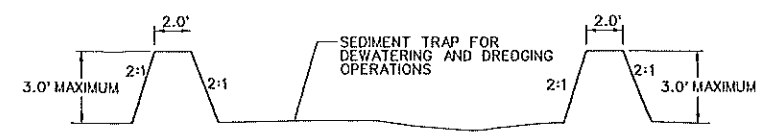
NOTES:

- THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (90 CM).
- THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
- POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 M) APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES (30 CM). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET (1.8 M).
- A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10 CM) WIDE AND 4 INCHES (10 CM) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
- WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25 MM) LONG, THE WIRES, OR HOE RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES (5 CM) AND SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
- THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES (20 CM) OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
- THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
- ALL PROJECTS REQUIRE SUBMITTAL OF POLLUTION PREVENTION PLAN (PPP).
- ALL PROJECTS I.C. OR MORE MUST SUBMIT NOTICE OF INTENT (NOI) TO FDEP.

SILT FENCE INSTALLATION DETAIL

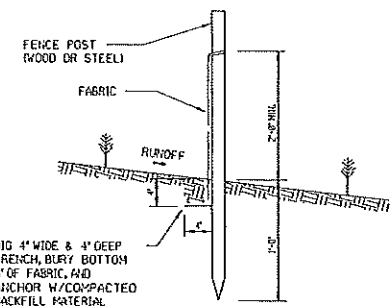


ATTACHING TWO SILT FENCES



LOCATION OF TEMPORARY SEDIMENT TRAPS TO BE DETERMINED BY CONTRACTOR

SILT FENCE INSTALLATION DETAIL



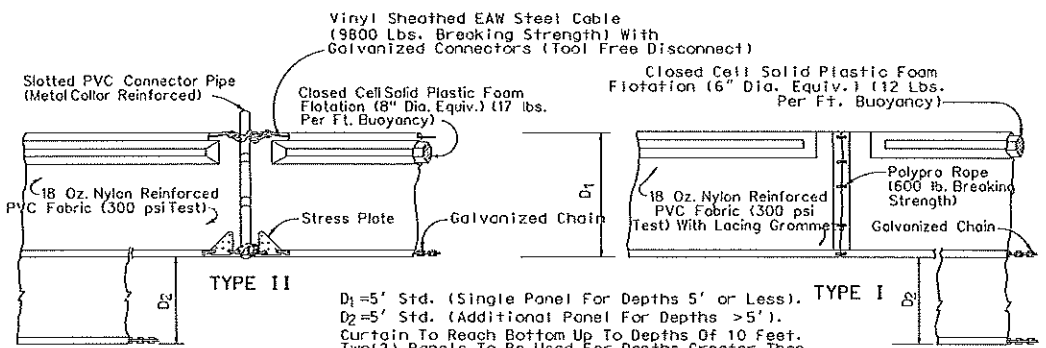
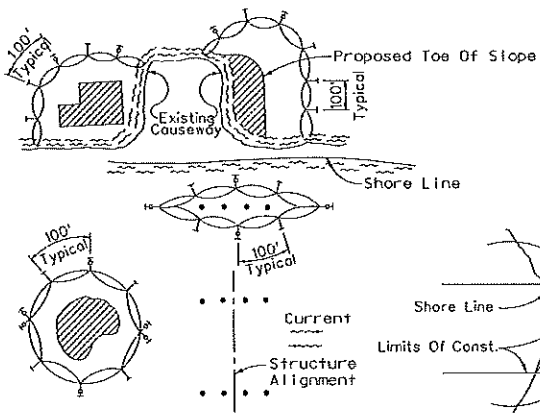
SILT FENCE SECTION

EROSION AND SEDIMENTATION CONTROL NOTES

- ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
- SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM DRAIN SYSTEM, DITCH OR CHANNEL. ALL STORM SEWER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
- BEFORE TEMPORARY OR NEWLY CONSTRUCTED STORMWATER CONVEYANCE CHANNELS ARE MADE OPERATIONAL, ADEQUATE OUTLET PROTECTION AND ANY REQUIRED TEMPORARY OR PERMANENT CHANNEL LINING SHALL BE INSTALLED IN BOTH THE CONVEYANCE CHANNEL AND RECEIVING CHANNEL.
- PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT LEAVING THE PROPERTY. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
- WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE, WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND-DISTRIBUTING ACTIVITIES.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED, IN THE OPINION OF THE REVIEWER. DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.
- PROPERTIES AND WATERWAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DISPOSITION AND EROSION.
- EROSION CONTROL DESIGN AND CONSTRUCTION SHALL FOLLOW THE REQUIREMENTS IN INDEC NOS. 101, 102 AND 103 OF FDOT ROWWAY AND TRAFFIC DESIGN STANDARDS.
- THE ENGINEER MAY APPROVE MODIFICATIONS OR ALTER PLANS TO THESE EROSION CONTROL CRITERIA DUE TO SITE SPECIFIC CONDITIONS.
- FILTER FABRIC SHALL BE INSTALLED ON ALL DRAINAGE INLET TOPS AND SOD SHALL BE PLACED AROUND DITCH BOTTOM INLETS TO PREVENT DEBRIS AND SILTATION FROM ENTERING DRAINAGE SYSTEM DURING CONSTRUCTION.
- SILT FENCES OR STRAW BALES SHALL BE UTILIZED AT INLETS AND ALONG PROPERTY LINES TO RETAIN SEDIMENT ON THE SITE. A TRENCH SHALL BE EXCAVATED THE WIDTH OF A BALE AND FOUR INCHES DEEP. EACH BALE SHALL BE ANCHORED BY AT LEAST TWO STAKES.
- WATER TRUCKS SHALL BE UTILIZED TO MINIMIZE WIND EROSION.
- A CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AND CONTAIN AN AGGREGATE LAYER (FDOT AGGREGATE NO. 1) AT LEAST SIX INCHES THICK. IT MUST EXTEND TO THE FULL WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA. THE LENGTH OF THE ENTRANCE MUST BE AT LEAST 50 FEET.
- IF THE CONDITIONS ON THE SITE ARE SUCH THAT MUD IS NOT REMOVED BY THE VEHICLES TRAVELING OVER THE GRAVEL ENTRANCE ROAD, THEN THE TIRES OF THE VEHICLES MUST BE WASHED BEFORE ENTERING A PUBLIC ROAD. WASH WATER MUST BE CARRIED AWAY FROM THE ENTRANCE TO A SETTLING AREA TO REMOVE SEDIMENT.
- THE LIMEROCK SHALL BE INSTALLED IMMEDIATELY AFTER THE FINISHED GRADING IS COMPLETE ON THE ROAD AND PARKING LOT SUBGRADE.
- LAKE BANKS SHALL BE SEED AND MULCHED OR SODDED IMMEDIATELY AFTER FINAL GRADING.
- TRUCKS ENTERING AND EXITING THE SITE WITH FILL MATERIAL SHALL BE COVERED.
- DISCHARGE FROM DEWATERING OPERATIONS SHALL BE RETAINED ONSITE IN A CONTAINMENT AREA.
- EXPOSED SOIL SHALL BE PLANTED WITH VEGETATIVE MATERIAL OR COVERED WITH PROTECTIVE GROUND COVER AS SOON AS PRACTICAL UPON COMPLETION OF CONSTRUCTION ACTIVITIES.

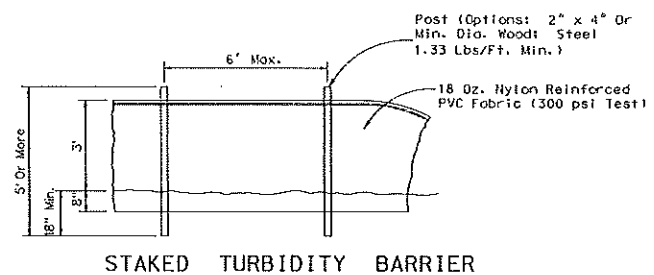
GENERAL NOTES

- Floating turbidity barriers are to be paid for under the contract unit price for Floating Turbidity Barrier, LF.
- Staked turbidity barriers are to be paid for under the contract unit price for Staked Turbidity Barrier, LF.



NOTICE: COMPONENTS OF TYPES I AND II MAY BE SIMILAR OR IDENTICAL TO PROPRIETARY DESIGNS. ANY INFRINGEMENT ON THE PROPRIETARY RIGHTS OF THE DESIGNER SHALL BE THE SOLE RESPONSIBILITY OF THE USER. SUBSTITUTIONS FOR TYPES I AND II SHALL BE AS APPROVED BY THE ENGINEER.

FLOATING TURBIDITY BARRIERS



STAKED TURBIDITY BARRIER

- NOTES:**
- Turbidity barriers are to be used in all permanent bodies of water regardless of water depth.
 - Number and spacing of anchors dependent on current velocities.
 - Deployment of barrier around pile locations may vary to accommodate construction operations.
 - Navigation may require segmenting barrier during construction operations.
 - For additional information see Section 104 of the Standard Specifications.

LEGEND

- Pile Locations
- Dredge Or Fill Area
- Mooring Buoy w/Anchor
- Anchor
- Barrier Movement Due To Current Action

Note: Turbidity barriers for flowing streams and tidal creeks may be either floating, or staked types or any combinations of types that will suit site conditions and meet erosion control and water quality requirements. The barrier type(s) will be at the Contractor's option unless otherwise specified in the plans, however payment will be under the pay item(s) established in the plans for Floating Turbidity Barrier and/or Staked Turbidity Barrier. Posts in staked turbidity barriers to be installed in vertical position unless otherwise directed by the Engineer.

TURBIDITY BARRIER APPLICATIONS

TURBIDITY BARRIER DETAILS PER FOOT INDEX NO. 103

SCHNARS ENGINEERING CORPORATION
 947 CLINT MOORE ROAD
 BOCA RATON, FLORIDA 33487
 TEL: (561) 241-8455
 FAX: (561) 241-5182

OWNER:
PULTE HOME GROUP, LLC
 1475 CENTREPARK BOULEVARD, SUITE 140
 WEST PALM BEACH, FLORIDA 33401

PROJECT:
THE DUNES AT JUNO BEACH
 TOWN OF JUNO BEACH
 FLORIDA

TASK:
CONSTRUCTION PERIOD STORMWATER POLLUTION PREVENTION DETAILS

ORIGINAL: OCTOBER 2023

6
7
8
9
10
11
12

JOB NO. 23108
DRAWN RAD
DESIGNED JTS
CHECKED JWM
J.C. JTS
SHEET 6 OF 6

John T. Sorenson, P.E.
 Civil Engineer
 Florida Registration No. 44697
 1/20/2024