

Regional Planning Commission / Board of Zoning Appeals Meeting Agenda

April 28, 2025 at 5:30 PM

Jefferson City Municipal Building

- 1. Call to Order
- 2. Approval of Minutes from Previous Meetings
 - a. Minutes from 03 24 2025 Meeting
- 3. Citizen Comments (Citizens should state their name, address, and limit comments to five minutes.)
- 4. Old Business

5. New Business

- a. Jeff Miller Plat Review/Approval for a 3 Lot Subdivide Located in the Battle Ridge Subdivision
- **b.** Larry Pinkston Plat Review/Approval for 2 Lot Subdivide Located off Forgety Rd.
- **<u>c.</u>** Clint Harrison Site Plan Review/ Approval for Outdoor Storage facility Located off Highway 92 and Hinchey Hollow Rd.
- <u>d.</u> Matt McQueen/ Crafted Milestone LLC Site Plan Review/ Approval for a Two Parcel Subdivide into Eleven Additional Lots Located in the Battle Ridge Subdivision

6. Other Items for Discussion

- a. Food City Entrance off Broadway Blvd.
- **b.** May 2025 Regional Planning Commission Meeting moved to May 19th due to Holiday
- 7. Adjourn

Minutes

Jefferson City Regional Planning Commission

March 24th, 2025

5:30 P.M.

Members' Present

Spencer Gatlin, Chairman

Mayor Cain

Vice Mayor Bunch

Jeff Chitwood, Secretary

Scott McMinn

Kyle Cutshaw

Others Present

Jeff Houston, Building Official Will Kurtz, Codes Enforcement Officer Mark Brown, Standard Banner Libby Moser James Gallup, City Manager Ekem Amonoo-Lartsen, ETDD Planner Eugene Coleman Ryan Peirce Glen Lichlyter Stephanie Rustin, County Zoning

Chairman Gatlin called the meeting to order at 5:32 P.M. Motion by Mr. Chitwood, second by Mr. Cain to approve February 24th, 2025, Planning Commission minutes (unanimous).

Citizens Comments

None.

Old Business

<u>Jeff Houston – Review/ Approval for TDOT Recommended ingress/ egress for the New Food</u> <u>City – Located Off Broadway Blvd. and N. Highway 92</u>

Initial Discussion centered around the entrance, possibly hampering development on the North side of E. Broadway Blvd. and the potential for people to exit through the Banks parking lot to be able to make a left turn onto Broadway Blvd. Mr. Cutshaw asked what impact this would have on Mossy Creek Mining Operations Access. Ms. Moser delivered a statement that they are not happy with it, and it would require them to make a primary ingress/ egress off Flat Gap Rd. and they are already having issues with people cutting through their Flat Gap Rd. thoroughfare to avoid the traffic at 84 Lumber which will also require them to gate their entrance. Mr. Cain questioned the option previously mentioned, having a Traffic Light installed at the median cut across from the Bank at Sizer Ave. and that being the entrance to Food City. Mr. Coleman stated that the light was always a phase two plan, and that Food City does not currently have the access rights needed from the Bank to proceed with that. The discussion then went back to the hampering of existing businesses and future developments. Mr. Amonoo-Lartsen spoke of a similar situation in Louden where the neighboring interests and the City worked with TDOT engineering to best meet every affected Parties needs. With all the concerns mentioned, a motion to deny the proposed ingress/egress was made by Mr. Chitwood and a Second by Mr. Cain. The Item was Denied Unanimously.

<u>Justin Cameron – Site Plan Review/ Approval for Shed Sales Location – Located in the B-3</u> <u>District off Highway 11-E</u>

This item was suspended from a previous meeting due to concerns over a TDOT approved ingress/ egress. Mr. Cameron did receive a concept approval from TDOT with the requirement that the entrance must be located at a minimum of one hundred feet away from the median opening. It was pointed out that the original plans do not show the entrance as required but will be installed per TDOT's requirement. Mr. Cain asked how the entrance will be designed with it entering a gravel parking lot. Mr. Houston stated that TDOT has requirements to how an entrance/ exit is designed and believed it to be a minimum of Thirty feet of distance of asphalt or concrete away from the highway to the gravel parking lot. Contingent upon the approval of a special exception during the Board of Zoning Appeals meeting, the item was approved unanimously, on a motion by Mr. McMinn and a second by Mr. Bunch.

<u>Glen Lichlyter – Site Plan Review/ Approval for a Construction Office/ Shop – Located off</u> <u>Highway 11-E.</u>

The discussion centered around the updated set of plans with the correct parking space sizing from 8' x 18' to the city required 9' x 19', and utilities are shown on the updated plans. The Flood Certification provided by the Tennessee State Licensed Engineer addresses the flood requirements set forth for areas with unmapped streams in the Floodplain Zoning Ordinance. The certification also indicates that the storage area for flood waters will be increased post development. With the plans and flood certification meeting all the Jefferson City Floodplain and Zoning Requirements a motion to approve is offered by Mr. Chitwood, and a second by Mr. Cutshaw. Mr. Bunch wanted to put forth his concern about the flooding potential and make note that even with the Certification from the Licensed engineer, he was not comfortable approving plans that could potentially increase flooding risk to neighboring properties. With a motion and a second being given a vote was taken. Five votes yes, one vote no, Motion passes.

New Business

<u>Ryan Peirce – Plan Review/ Approval for an Addition to an Existing Building – Located off N.</u> <u>Highway 92 and Mt. Horeb Rd.</u>

Mr. Peirce represented the item and stated there had been a slight change to the plans. The existing building will be demolished and replaced with a 108' x 60' building with a 24' loading dock. The building will be used as a cooler for produce. The new building will not encroach on the set-back requirements and is in conformance with all Zoning requirements. The item was approved unanimously on a motion by Mr. McMinn and a second by Mr. Bunch.

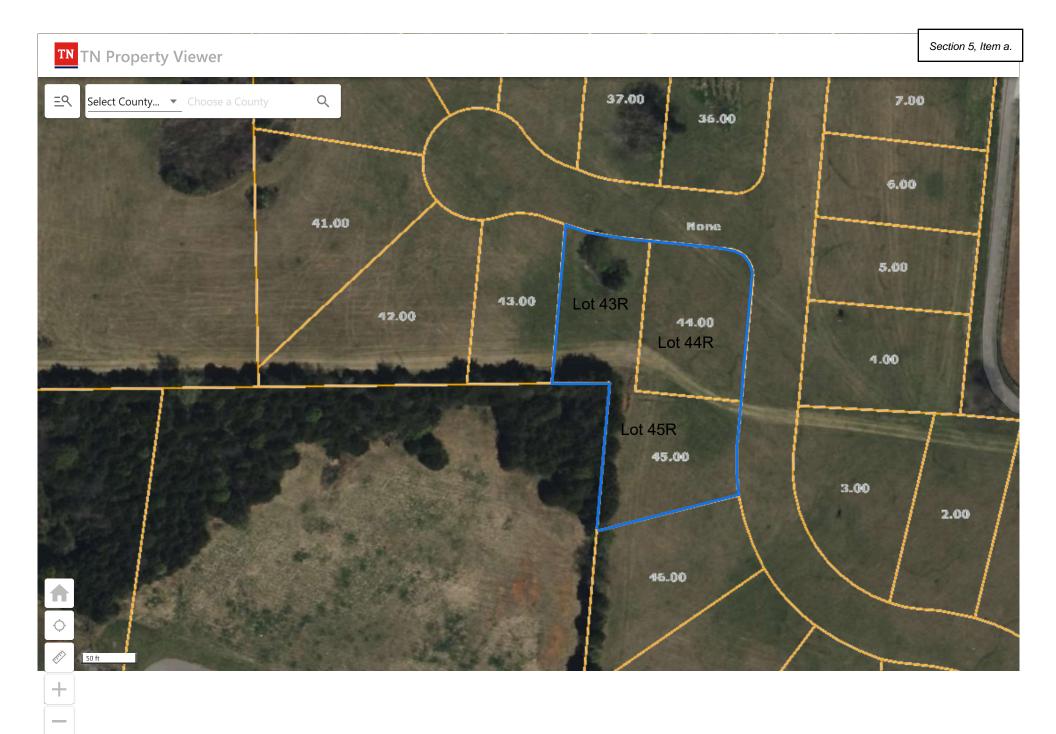
<u>Jefferson County – Consider Resolution 2025-14. – A Resolution Amending the</u> <u>Zoning Resolution of Jefferson County, Tennessee to Reflect Certain Prohibited</u> <u>Uses and Permitted Uses in the A-1 and C-2 Zoning Districts.</u>

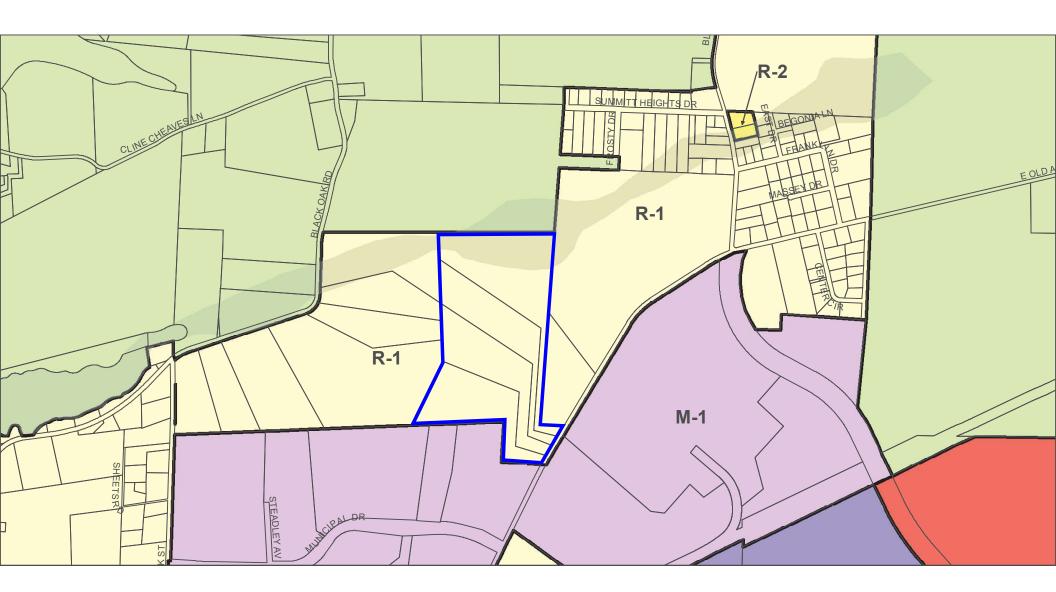
Ms. Rustin explained that the resolution would remove campgrounds from the Counties A-1 Zoning District and allow it in the C-2 Zoning District. The primary discussion was how this could affect Jefferson City and its growth boundary. Mr. Gatlin asked for more clarification regarding the specific uses being removed from the A-1 Zoning District and how it seems this would restrict the use in the most desired areas for those uses. It would then place the uses to be allowed in the C-2 Zoning District, which generally doesn't correlate with the most appropriate areas for the uses. The commission agrees that this resolution could potentially limit future economic development in areas that would be desirable for the uses this resolution seeks to deny. With multiple concerns a Motion to deny was offered by Mr. Bunch and seconded by Mr. Chitwood. The item

was denied unanimously.

<u>Adjourn</u>

Having no further business, the meeting was adjourned at 6:23 P.M.





Jefferson County - Parcel: 046 046.00

Section 5, Item b.



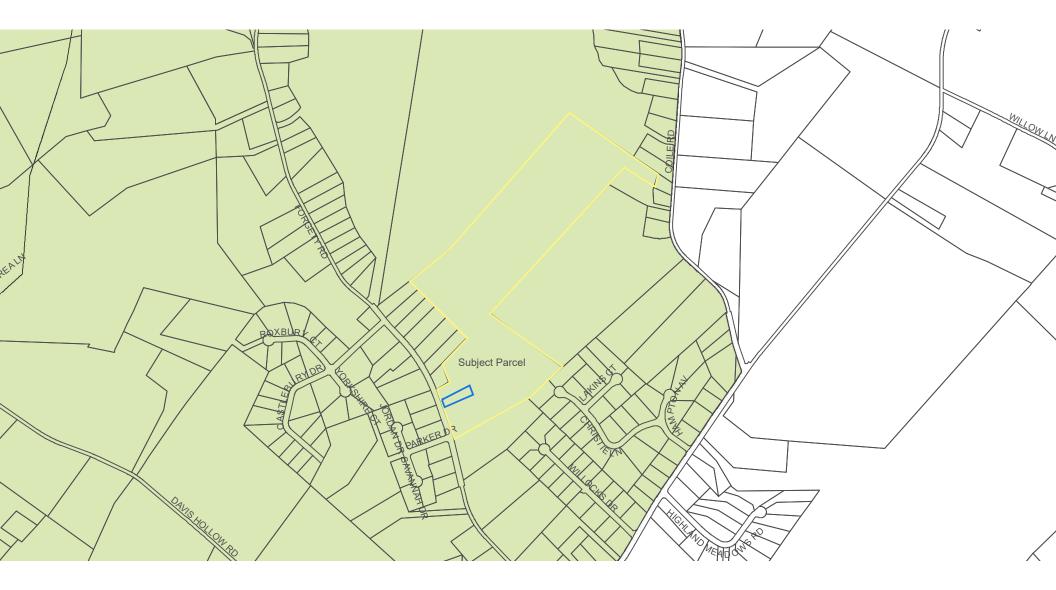
Date: April 15, 2025

County: JEFFERSON Owner: PINKSTON LARRY & KEENE DARRELL Address: FORGETY RD Parcel ID: 046 046.00 Deeded Acreage: 0 Calculated Acreage: 46 Vexcel Imagery Date: 2023

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0	0.05	0.1	0.2 km

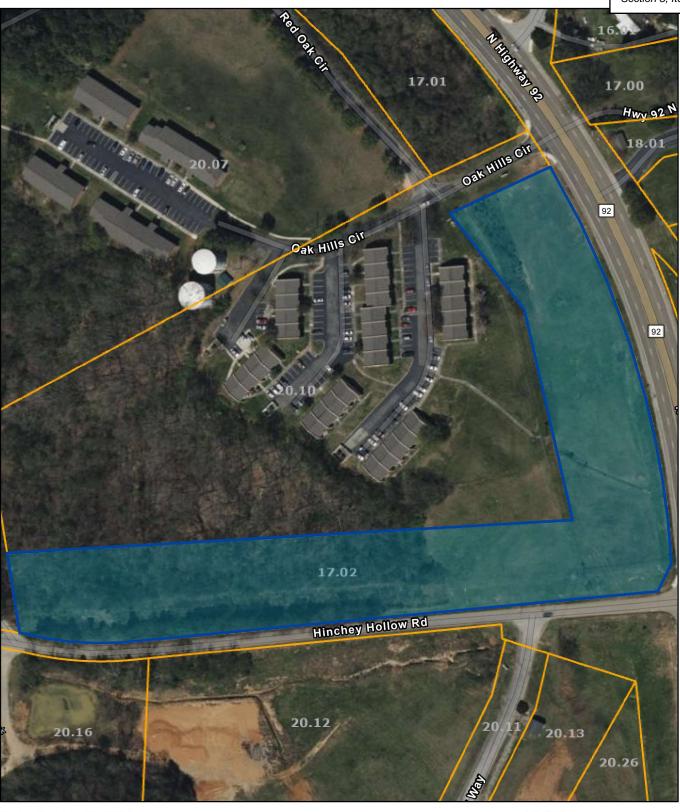
State of Tennessee, Comptroller of the Treasury, Division of Property Assessments (DPA), Esri Community Maps Contributors, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/ NASA, USGS, EPA, NPS, US Census Bureau, USDA, USFWS

The property lines are compiled from information maintained by your local county Assessor's office but are not conclusive evidence of property ownership in any court of law.



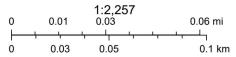
Jefferson County - Parcel: 035 017.02

Section 5, Item c.



Date: October 16, 2024

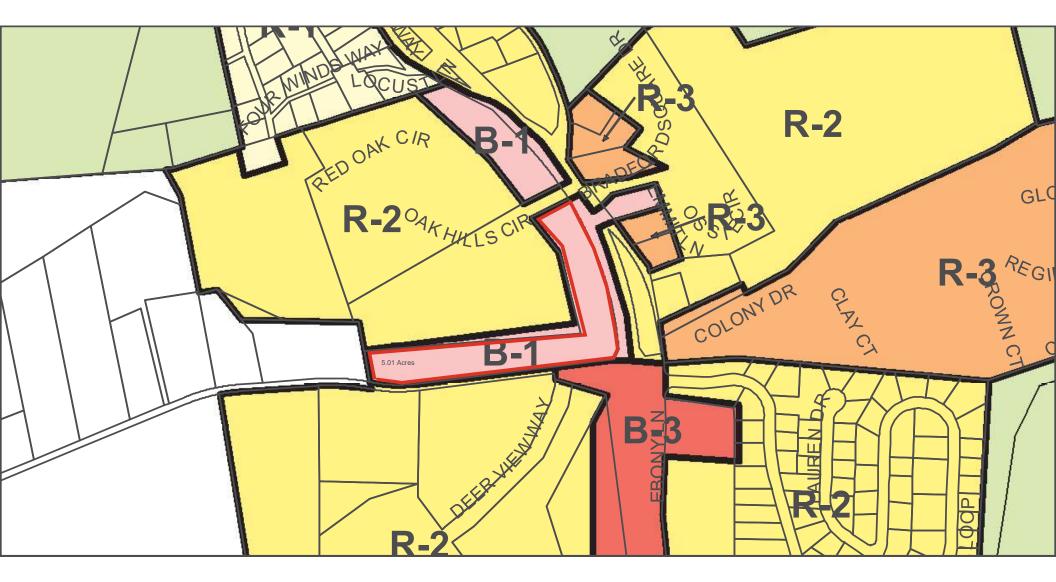
County: Jefferson Owner: RASNICK RYAN & LAUREL Address: HWY 92 N Parcel Number: 035 017.02 Deeded Acreage: 5.01 Calculated Acreage: 0 Date of TDOT Imagery: 2019 Date of Vexcel Imagery: 2023



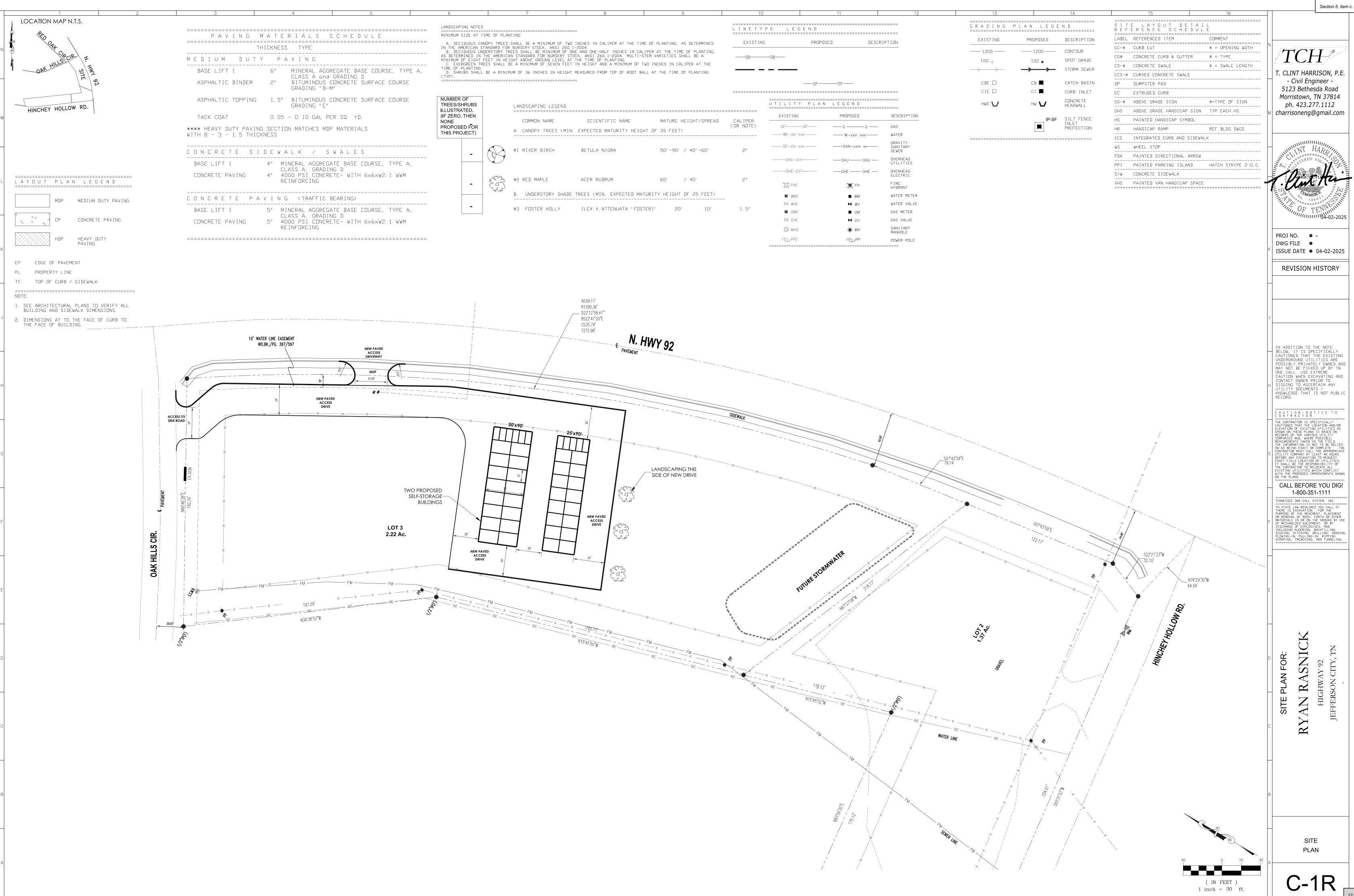
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Section 5, Item c.



11



)F RUBS	LANDSCAPING LEGEND				UTILITY PLA	N LEGEND	=====
ED. THEN					EXISTING	PROPOSED	:
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-	#2 RED MAPLE	ACER RUBRUM	60' / 40'	2″	🔆 FHE	FH	F
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					⋈ GVE	► GV	(



MEMO

T. Clint Harrison, P.E. Civil Engineer 5123 Bethesda Road Morristown, TN 37814 Phone 423.277.1112 charrisoneng@gmail.com

<u>To:</u> Jefferson City Planning Commission Members, State Planner and Jeff Houston, Jefferson City, TN

From: T. Clint Harrison, P.E.

Date: April 1, 2025

RE: Ryan Rasnick site plan

I'm writing to provide information regarding drainage at the proposed storage building site on Highway 92 as shown on my submitted site plan.

The owner proposes to only install 2 new storage buildings on the site. Future buildings might be added, but for now, the small amount of new impervious and gravel area does not warrant a full stormwater facility design.

Approximately ½ acre will be disturbed with essentially all the disturbed area being stripping and compacting the area for the buildings and drive aisles. No mass grading is needed as the site grades are essentially at the elevation needed for construction.

There is an existing, well established drainage ditch along Lot 2 near Hinchey Hollow Rd. that conveys stormwater from the subject Lot 3 to an existing storm inlet and storm pipe under Hinchey Hollow Road.

My recommendation is to keep the current drainage system in place for the two new buildings. If the owner proceeds with future buildings on this site, I would propose an updated design to include detention between Lots 2 and 3 to account for the new runoff generated from additional buildings.

Sincerely,

T. Pin their

T. Clint Harrison, P.E.

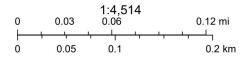


Jefferson County - Parcel: 015 014.16

Byrd Spring Branch 14.04 Byrd Baring Branch 14.15 10.00 14.12 otole 14.11 14.17 14.00 11.00 14.21 00 14.01 12.01

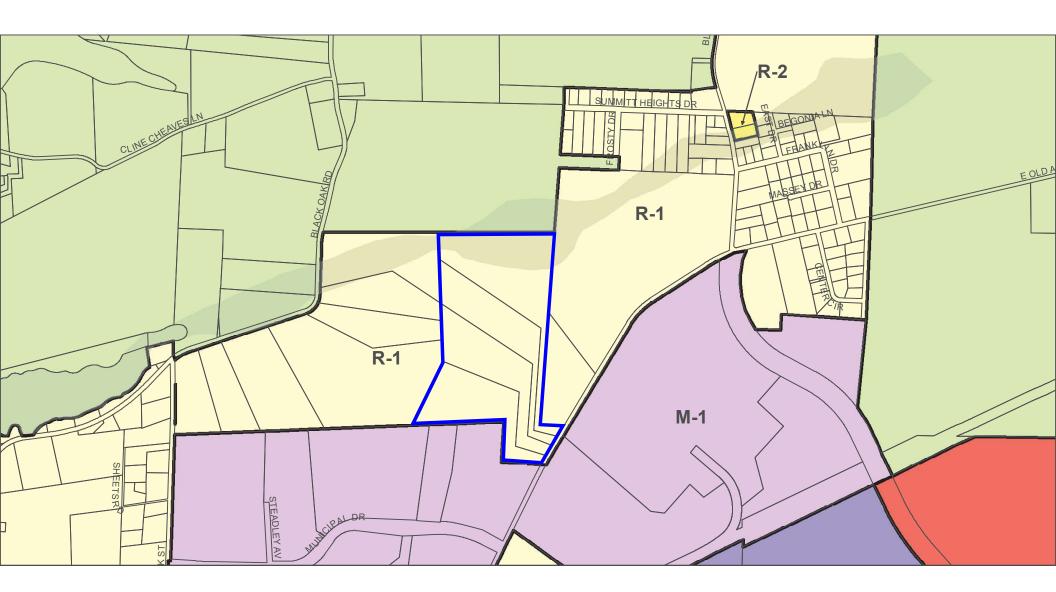
Date: August 19, 2024

County: Jefferson Owner: CRAFTED MILESTONE LLC Address: OLD A J HWY E Parcel Number: 015 014.16 Deeded Acreage: 8.33 Calculated Acreage: 0 Date of TDOT Imagery: 2019 Date of Vexcel Imagery: 2023



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LOCATION MAP N.T.S.



C-0.1	EXISTING SURVEY & PHASE 1 - EROSION CONTROL PLA
C-1.0	PHASE 2- FINAL GRADING AND DRAINAGE PLAN (SWPP
C-2.0	SWPPP, GRADING, & DRAINAGE DETAIL SHEET
C-2.1	SITE SPECIFICATION SHEET
C-3.0	SITE LAYOUT & PAVING
C-4.0	SITE WATERLINE PLAN
C-5.0	SANITARY SEWER PLAN & PROFILE (LINE "A")
C-5.1	SANITARY SEWER DETAIL SHEET

ROAD PLAN & PROFILE

GRADING AND STORMWATER NOTES:

1. CURB INLETS, JUNCTION BOXES and CATCH BASINS TO HAVE BOUCHARD NUMBER FRAME AND GRATES AS SPECIFIED IN THE SCHEDULE OR APPROVED EQUAL.

2. STORM SEWER CALCULATIONS WERE BASED ON SPECIFIC PIPE MATERIALS AND ROUGHNESS CDEFFICIENTS, ENGINEER MUST BE CONTACTED IF CONTRACTOR WISHES TO USE PIPE MATERIAL DIFFERENT THAN SHOWN.

3. FOR SLOPES GREATER THAN 3:1, SEE STABILIZATION REQUIREMENTS IN EXCAVATION AND GRADING NOTES ON C-2.1; "EROSION CONTROL" SECTION.

4. IN ALL CASES, AREAS SURROUNDING A CURB INLET OR CATCH BASIN IS INTENDED TO DRAIN SURFACE RUNDFF FROM THE AREA AND AS SUCH, THE STORM STRUCTURE SHALL BE THE LOWEST POINT.

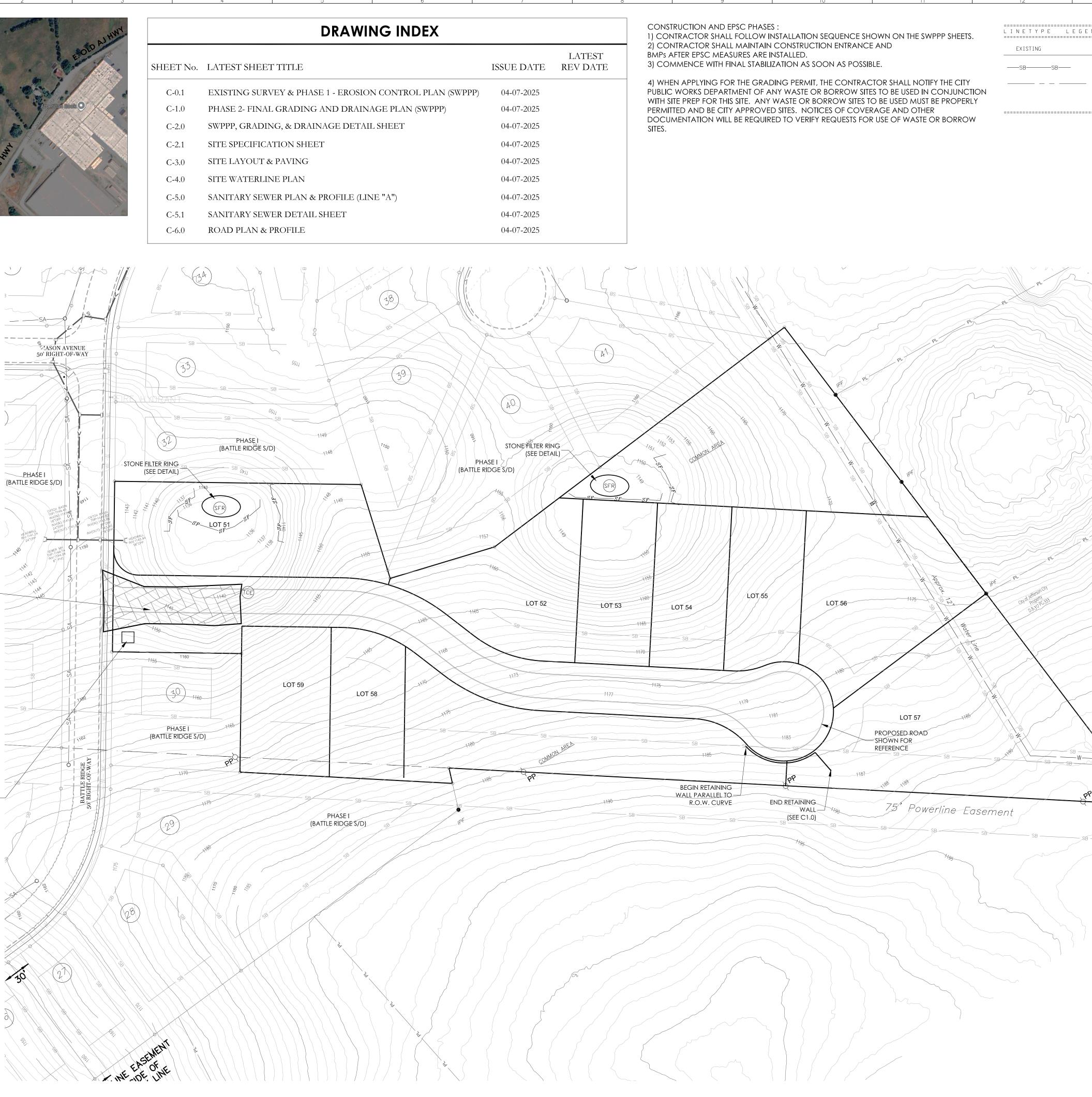
5. ALL EMBANKMENTS SHALL BE 2:1 SLOPES UNLESS NOTED OTHERWISE.

6. CURRENT E&SC HANDBOOK SHALL BE USED FOR THE PROJECT AND THE TNGCP TRACKING ND. IS TNR ============

EROSION CONTROL LEGEND

(TM) TEMPORARY MULCH W/SEEDING (CE) CONSTRUCTION ENTRY/EXIT (GR) GRAVEL / STONE PAD ICE (SF) SILT FENCE (SEE DETAIL) (SD) SLOPE DRAIN (TSB) TEMP. SEDIMENT BASIN (PS) PERMANENT SEEDING W/ MULCH (IP) INLET PROTECTION - RRA (CD) CHECK DAM (TST) TEMP. SEDIMENT TRAP (MA) EROSION CONTROL MATTING (WB) WATER BAR (DB) DIVERSION BERM (DP) DUTLET PROTECTION - RRA (SFR) STONE FILTER RING CONCRETE WASHOUT (TO BE MAINTAINED THROUGHOUT EACH PHASE OF

CONSTRUCTION. (SEE DETAIL)



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		SETBACK		100 +	100 🖕	SPOT GRADE

PROPERTY

LINES

FENCE

_____SF______SF_____

STORM SEWER \rightarrow CBE 🗌 CATCH BASIN СВ 📉 CIE 🗌 CI 🗖 CURB INLET CONCRETE HWE 🔽 ни 🔽 HEADWALL

> IP-SF SILT FENCE INLE' PROTECTION

UTILITY PLAN LEGEND

		==
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		WATER
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OHE-EX	OHE OHE	DVERHEAD ELECTRIC
S FHE	💢 FH	FIRE HYDRAN
	·	WATER METER
MME WME	∠ WM	WATER VALVE
₩VE	₩V	GAS METER
I GME	■ GM	
⊠ GVE	► GV	GAS VALVE
© MHE	 MH 	SANITARY MANHOLE
CPPE	CD_PP	POWER POLE

EROSION CONTROL NOTES

A SPECIFIC INDIVIDUAL SHALL BE DESIGNATED TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS ON EACH SITE. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND

FUNCTIONAL BEFORE EARTH MOVING OPERATIONS BEGIN AND MUST BE CONSTRUCTED AND MAINTAINED THROUGHT THE CONSTRUTION PERIOD. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORK DAY, BUT MUST BE REPLACED AT THE END OF THE WORK DAY. --PERMANENT OR TEMPORARY SOIL STABILIZATION MUST BE APPLIED TO DISTURBED AREAS TO THE EXTENT FEASIBLE WITHIN SEVEN DAYS ON AREAS THAT WILL REMAIN UNFINISHED FOR MORE THAN THIRTY

(30) CALENDAR DAYS. --TO THE EXTENT NECESSARY, SEDIMENT IN RUNDFF WATER MUST BE TRAPPED BY THE USE OF DEBRIS BASINS, SEDIMENT BASINS, SILT TRAPS OR SIMILAR MEASURES UNTIL THE DISTURBED AREA IS STABILIZED.

--ALL CONTROL MEASURES SHALL BE CHECKED, AND REPAIRED AS NECESSARY, WEEKLY IN DRY PERIODS AND WITHIN 24 HOURS AFTER ANY RAINFALL OF 0.5 INCHES WITHIN A 24 HOUR PERIOD. DURING PROLONGED RAINFALL, CHECK MEASURES DAILY AND REPAIR AS NECESSARY.

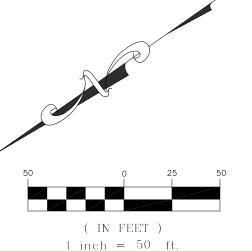
SITE GRADING, DRAINAGE & EROSION CONTROL DETAIL REFERENCE LEGEND

REFE	ERENCE LEGEND	
LABEL	REFERENCED ITEM	COMMENT
СВ	CATCH BASIN	
CC-#	CURB CUT	#=OPENING WIDTH
CI	CURB INLET	
CS-#	CONCRETE SWALE	#=SWALE LENGTH
DS	DOWNSPOUT	
Н₩	PRECAST HEADWALL	
RRA-#	RIP RAP APRON	#=APRON LENGTH
TCE	TEMPORARY CONSTRUCTION ENTRANCE	
CD	STONE CHECK DAM	
JB	JUNCTION BOX	

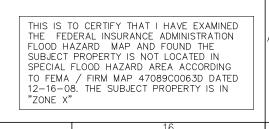
TST TEMPORARY SEDIMENT TRAP

PHASING NOTES: ------

1. ONCE THE SITE IS STABILIZED, TEMPORARY BMP CONTROLS SHOWN IN PHASES 1-2 CAN BE REMOVED. 2. AS A LAST LINE OF PROTECTION, LEAVE SILT FENCE IN PLACE AS LONG AS PRACTICAL.







L	T. CLINT HARRISON, P.E. - Civil Engineer - 5123 Bethesda Road Morristown, TN 37814 ph. 423.277.1112 charrisoneng@gmail.com
K	TRICULTURE
J	PROJ NO. • - DWG FILE • ISSUE DATE • 04-07-2025 REVISION HISTORY
I	
H	
G	C A U T I D N - N D T I C E T D C D N T A C T D R THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/CR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT DR COMPLETE. THE CONTRACTOR MUST CALL THE APROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESEDONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
F	1-800-351-1111 TENNESSEE DNE-CALL SYSTEM, INC. TN STATE LAW REQUIRES YDU CALL IF THERE IS EXCAVATIONFOR THE PURPOSE OF THE MUYMENT, PLACEMENT OR REMOVAL OF ROCK, EARTH OR OTHER MATERIALS IN OR ON THE GROUND BY USE OF MECHANIZED EQUIPMENT, OR BY DISCHARGE OF EXPLOSIVES, AND INCLUDING AUGERING, BACKFILLING, DIGGING, DITCHING, DRILLING, GRADING, PLOYING-IN, PULLING-IN, RIPPING SCRAPING, TRENCHING, AND TUNNELING.
E	SUBDIVISION: HASE II EE :, LLC
D	AILY RESIDENTIAL SI RIDGE PH BATTLE RIDGE SON CITY, TENNESSEI RAFTED MILESTONE,
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Section 5, Item d.

EXISTING SURVEY and PHASE 1 EROSION CONTROL PLAN (SWPPP)

C-0.1

LOCATION MAP N.T.S.



S	STORM SEWER SCHEDULE						
		Structure	feet	Pipe	Pipe	PIPE	Structure
RATE # BY	TOP of	I.D.	INVERT	Dia. (in)	Material	Length (ft)	I.D.
BOUCHARD	CASTING						
3080	1149.14	CI-2	1146.00	18	HDPE	20	CI-4
3080	1149.06	CI-4	1145.70	18	HDPE	22	CI-8
3080	1149.06	CI-8	1145.30	18	HDPE	78	CI-10
3080	1150.80	CI-10	1142.33	18	HDPE	33	HW-12
•							
3080	1149.14	CI-6	1146.00	18	HDPE	20	CI-8

_____1149.14 ____CI-6 ____1146.00 ____18 ____HDPE ____20 ___CI-8

GRADING AND STORMWATER NOTES:

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2. STORM SEWER CALCULATIONS WERE BASED ON SPECIFIC PIPE MATERIALS AND ROUGHNESS CDEFFICIENTS, ENGINEER MUST BE CONTACTED IF CONTRACTOR WISHES TO USE PIPE MATERIAL DIFFERENT THAN SHOWN.

3. FOR SLOPES GREATER THAN 3:1, SEE STABILIZATION REQUIREMENTS IN EXCAVATION AND GRADING NOTES ON C-2.1; "EROSION CONTROL" SECTION.

4. IN ALL CASES, AREAS SURROUNDING A CURB INLET OR CATCH BASIN IS INTENDED TO DRAIN SURFACE RUNDFF FROM THE AREA AND AS SUCH, THE STORM STRUCTURE SHALL BE THE LOWEST POINT.

5. ALL EMBANKMENTS SHALL BE 2:1 SLOPES UNLESS NOTED OTHERWISE. 6. CURRENT E&SC HANDBOOK SHALL

BE USED FOR THE PROJECT AND THE TNGCP TRACKING ND. IS TNR

EROSION CONTROL LEGEND

(TM) TEMPORARY MULCH W/SEEDING (CE) CONSTRUCTION ENTRY/EXIT (GR) GRAVEL / STONE PAD (SF) SILT FENCE (SD) SLOPE DRAIN (TSB) TEMP. SEDIMENT BASIN (PS) PERMANENT SEEDING W/ MULCH (IP) INLET PROTECTION - RRA (CD) CHECK DAM (TST) TEMP. SEDIMENT TRAP (MA) EROSION CONTROL MATTING (WB) WATER BAR (DB) DIVERSION BERM (DP) DUTLET PROTECTION - RRA (SFR) STONE FILTER RING CONCRETE WASHOUT (TO BE MAINTAINED THROUGHOUT EACH PHASE OF — CONSTRUCTION. (SEE DETAIL)



CONSTRUCTION AND EPSC PHASES :

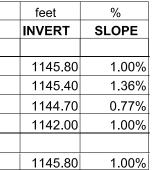
1) CONTRACTOR SHALL INSTALL EPSC ITEMS SHOWN ON PREVIOUS SHEETS AND THIS SHEET BEFORE COMMENCING GRADING THE REST OF THE SITE 2) CONTRACTOR SHALL MAINTAIN CONSTRUCTION ENTRANCE AND BMPs AFTER EPSC MEASURES ARE INSTALLED.

3) ONCE ALL ADDITIONAL EPSC MEASURES ARE INSTALLED PER THIS SHEET and PERMIT IS ISSUED, CONTRACTOR CAN COMMENCE EXCAVATING FOR THE SPOIL SITE.

4) COMMENCE WITH FINAL STABILIZATION AS SOON AS POSSIBLE.

5) UNLESS NOTED OTHERWISE, ALL DISTURBED AREAS NOT COVERED WITH PAVING OR OTHER HARD SURFACE SHALL RECEIVE MIN. 5" TOPSOIL WITH MATTING or FESCUE SEED.

6) DRAINAGE FACILITIES FOR STORMWATER DETENTION ARE ACCOUNTED FOR THE IN STORMWATER BASINS DESIGNED AND CONSTRUCTED DURING PHASE I OF BATTLE RIDGE.



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EXISTING	PROPOSED	DESCRIPTION
SBSB		SETBACK
		PROPERTY LINES
	SFS	FSILT FENCE
		====================

LINETYPE

G R A D I N G P	L A N L E G E N I ===================================) :==========
EXISTING	PROPOSED DE	SCRIPTION
1200		CONTOUR
100 +	100 🖕	SPOT GRADE
$\rightarrow \rightarrow \rightarrow$	$\rightarrow \rightarrow$	STORM SEWER
CBE 🗆	СВ	CATCH BASIN
CIE 🗌	CI 🗖	CURB INLET
HWE 🔽	ни 🗸	CONCRETE HEADWALL
	IP-SF	SILT FENCE INLET PROTECTION

UTILITY PLAN LEGEND

EXISTING	PROPOSED	DESCRIPTION
GEGE	G G -	GAS
— WE-xin xxx ——	W-xxin xxx-	WATER
— SE-xin xxx ——	——————————————————————————————————————	GRAVITY SANITARY SEWER
OHU_EX	OHU OHU	J — DVERHEAD UTILITIES
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		WATER METER
WME	WM	WATER VALVE
₩VE	M WV	GAS METER
🔟 GME	⊠ GM	GAS VALVE
I GVE	► GV	SANITARY
O MHE	MH	MANHOLE
TO PPE	T PP	POWER POLE

EROSION CONTROL NOTES

A SPECIFIC INDIVIDUAL SHALL BE DESIGNATED TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS ON EACH SITE. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND

FUNCTIONAL BEFORE EARTH MOVING OPERATIONS BEGIN AND MUST BE CONSTRUCTED AND MAINTAINED THROUGHT THE CONSTRUTION PERIOD. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORK DAY, BUT MUST BE REPLACED AT THE END OF THE WORK DAY. --PERMANENT OR TEMPORARY SOIL STABILIZATION MUST BE APPLIED TO DISTURBED AREAS TO THE EXTENT FEASIBLE WITHIN SEVEN DAYS ON AREAS THAT WILL REMAIN UNFINISHED FOR MORE THAN THIRTY

(30) CALENDAR DAYS. --TO THE EXTENT NECESSARY, SEDIMENT IN RUNDFF WATER MUST BE TRAPPED BY THE USE OF DEBRIS BASINS, SEDIMENT BASINS, SILT TRAPS OR SIMILAR MEASURES UNTIL THE DISTURBED AREA IS

--ALL CONTROL MEASURES SHALL BE CHECKED, AND REPAIRED AS NECESSARY, WEEKLY IN DRY PERIODS AND WITHIN 24 HOURS AFTER ANY RAINFALL OF 0.5 INCHES WITHIN A 24 HOUR PERIOD. DURING PROLONGED RAINFALL, CHECK MEASURES DAILY AND REPAIR AS NECESSARY.

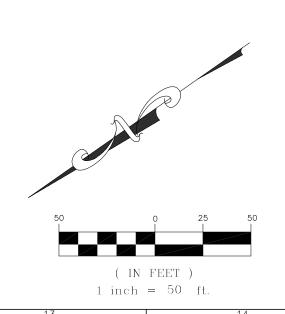
SITE GRADING, DRAINAGE & EROSION CONTROL DETAIL REFERENCE LEGEND

STABILIZED.

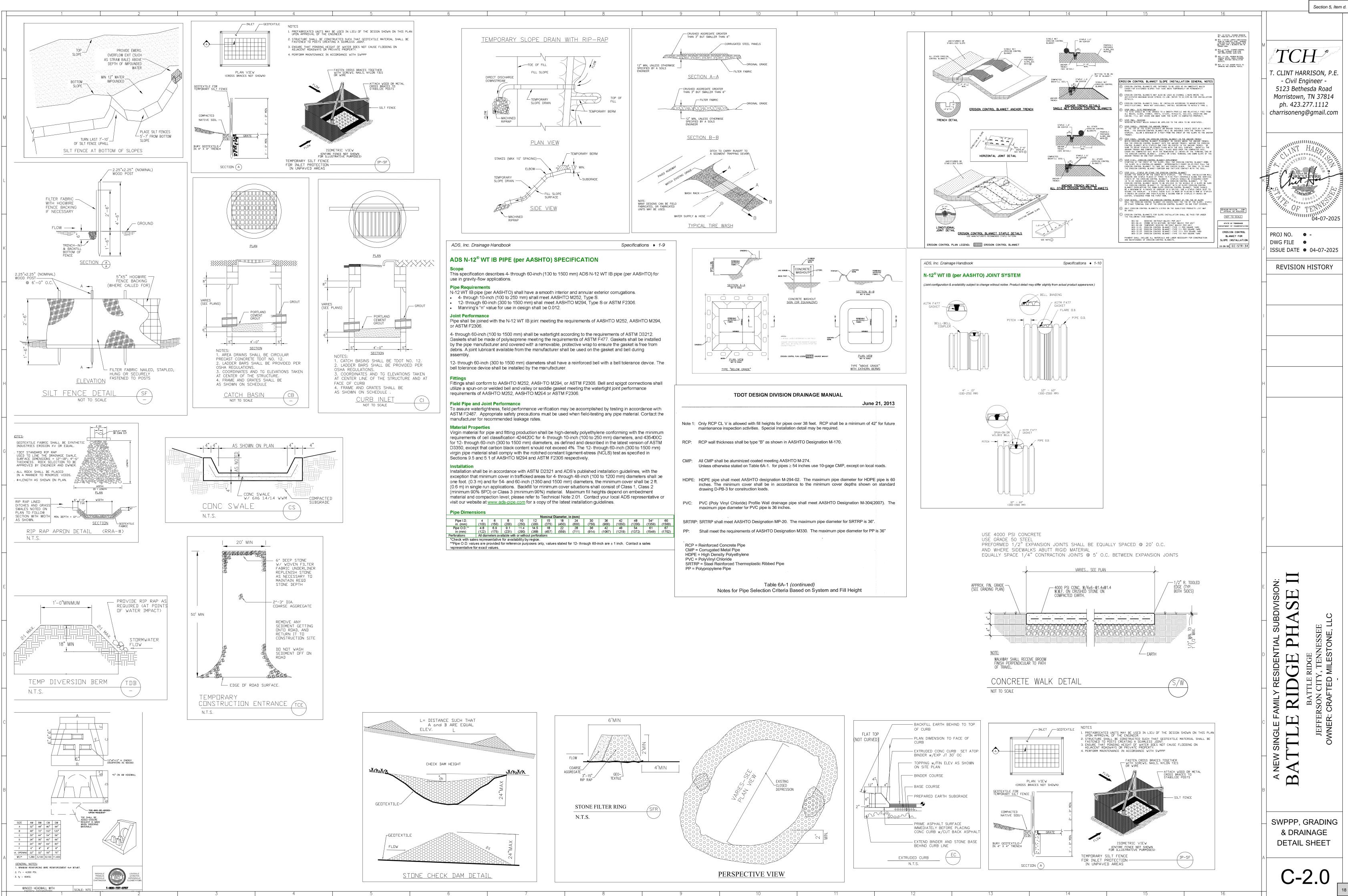
REFE	RENCE LEGEND	
LABEL	REFERENCED ITEM	COMMENT
СВ	CATCH BASIN	
CC-#	CURB CUT	#=OPENING WIDTH
CI		
CS-#	CONCRETE SWALE	#=SWALE LENGTH
DS	DOWNSPOUT	
HW	PRECAST HEADWALL	
RRA-#	RIP RAP APRON	#=APRON LENGTH
TCE	TEMPORARY CONSTRUCTION	
	ENTRANCE	
CD	STONE CHECK DAM	
CD JB	STONE CHECK DAM	

PHASING NOTES: _____

1. ONCE THE SITE IS STABILIZED, TEMPORARY BMP CONTROLS SHOWN IN PHASES 1-2 CAN BE REMOVED. 2. AS A LAST LINE OF PROTECTION, LEAVE SILT FENCE IN PLACE AS LONG AS PRACTICAL.







1	2	7
I	2	3
SITE UTILITY	N D T E S	======================================
G E N E R A L The requirements listed be of general requirements. in the project manual. Co requirements of the project	Additional requirements ontractor is cautioned to	are set forth
G D V E R N M E N T A U Contractor shall obtain a required installation and impact fees.	ll necessary permits and	
Before beginning installa utility purveyor that uti construction documents are	lity systems as indicate	d on the [
Location dimensions shown verified and coordinated of allowed due to lack of coo	with other trades. Extr	
As-built plans must be ma furnished to Owner's Repre Consult project specifica requirements.	esentative after complet	ion of work.
easement, or other lo authority. An "on-site" line is and not within a uti	made to "on-site" or "o s a line in a right-of-w ocation under control of a line within project b lity easement or right-o buildings and inside ref	ay, utility 5 a governing 7 oundary lines 7 f-way. For lines
Any line that is designate utility authority shall be directed by that authority	e of materials and insta	llation as
E X I S T I N G U T I L Contact utility company for size, depth, etc of all un commencement of work.	or on-site verification	C I of location, M or to S I I I I I
Taps into public utilities utility company requiremen		accordance with s
Refer to existing topo and existing utilities. Existence mechanical plan for conver	ting utilities reproduce	d on site E
Relocation of existing ut the Contractor with all go repairs, charges, etc. Co	overning authorities as	to timing, ^T
S U B M I T T A L S Prior to order, submit man and fittings for Owner's F		on line, valve, M
SANITARY SEWE Site sewer shall have min and larger lines and .0065 smaller lines unless noted	imum slope per foot of . 5 feet on 6″ lines and 1	004 feet on 8" I /8" on 4" and F

Provide top elevation of manholes as required to be flush with finish grade. See grading plan for finish elevation of grade. Ton elevations were indicated on mechanical site plan are approximate. Contractor shall coordinate to ensure flush top.

In force mains provide thrust blocks of 3000 PSI concrete at all ells, tees, crosses, and other changes in direction of line. See thrust block detail.

WATER MAIN SYSTEM AWWA C508 check valves 150 PSI working pressure.

AWWA C500 gate valves 175 PSI working pressure.

Cement lined ductile iron pipe shall comply with ANSI/AWWA C151/A21.51 and ANSI/AWWA C104/A21.4 for cement lining.

Cement lined mechanical joint ductile iron fittings shall comply with ANSI/AWWA C110/A21.10.

Provide thrust blocks of 3000 PSI concrete at all ells, and other changes in direction of water line. See thrust block detail. DOMESTIC WATER SYSTEM

All local shops shall have individual water meters whether shown specifically or noted as typical.

Domestic water line occurs from point of "take-off" on water line up to water meter, refer to water meter detail. Domestic water lines shall use fittings of same material as line

unless otherwise required by code authorities. Line material shall be per site mechanical materials schedule.

LINE CLEARANCES Horizontal distance of 10 feet shall be maintained between water and sewer mains. A minimum separation of 18" vert and horiz shall be maintained between all pipes.

If a vertical distance between water main and sewer is less than 18" when water main crosses over sewer or anytime a water main crosses under sewer, the sewer main must be ductile iron pipe for a distance of 20 feet centered on the crossing. No joint shall be within 9 feet of the crossing.

EXCAVATION AND BACKFILL Earth backfill where specified shall be of same material and compaction as approved material generally used for structural fill elsewhere on this site (see excavation notes this sheet.)

Pipe bedding shall be as scheduled. Stone bedding or backfill where required shall be 3/4'' to 1-1/2'' diameter compacted to 93%modified proctor. Sand shall be clean and without deleterious material.

Refer to trench detail on drawings for limits of bed and backfill. Testing of trench bedding compaction shall not be required unless noted otherwise.

Testing of trench backfill compaction shall be 1 field density test per 500 CY or 100 LF of backfill.

TESTING AND SANITIZATION All site mechanical lines must be tested and approved by local inspectors or utility authorities as applicable prior to covering of such lines. Copies of utility approval must be submitted to Owner's Representative before payment for work can be authorized.

Any line that is to be maintained by the utility authority shall also be tested in accordance with the requirements and under the supervision of the utility authority.

The following tests shall be performed on the site mechanical systems in the presence of the Owner's Representative and in accordance with the methods which are set forth in the project specifications manual:

-- Water and fire piping - hydrostatic (200 PSI) and sterilization

-- Sanitary sewer force main - hydrostatic (125 PSI) -- Gravity sanitary sewer main - a.) Mirror/lamp test & air pressure test, and b.) Mandrel test 30 days after backfilling sanitize fire and water lines before placing any such line in service.

Sanitize with a chlorine solution of at least 50 PPM in the water for a period of 24 hours or as directed to meet the requirements of local and state health departments.

Duration of each waterline pressure test shall be not less than 2

hours.

SITE STORM SYSTEM NOTES CMP = CORRUGATED METAL PIPE ACCMP = ASPHALT COATED CORRUGATED METAL PIPE

RCP = REINFORCED CONCRETE PIPE HDPE = HIGH DENSITY POLYETHYLENE PIPE

CORRUGATED METAL PIPE 12" - 15" CMP TO BE GALVANIZED 16 GAUGE .064" THICKNESS WITH HELICAL 2-2/3" X 1/2" CORRUGATIONS

18" - 30" CMP TO BE GALVANIZED 16 GAUGE .064" THICKNESS WITH 2-2/3" X 1/2" CORRUGATIONS.

36" DIAMETER THROUGH 48" DIAMETER SHALL BE GALVANIZED 14 GAUGE .079" THICKNESS WITH 3" X 1" CORRUGATIONS.

OVER 48" DIAMETER SHALL BE 14 GAUGE . 079" GALVANIZED THICKNESS WITH 3" X 1" HELICAL CORRUGATIONS.

ALL PIPING SHALL HAVE "RE-ROLLED ANNULAR ENDS" FOR CONNECTIONS AND USE HUGGER BANDS AT JOINTS BETWEEN PIPES.

HIGH DENSITY POLYETHYLENE PIPE HIGH DENSITY POLYETHYLENE PIPE SHALL BE THE N-12 CLASS PIPE MANUFACTURED

BY ADVANCED DRAINAGE SYSTEMS (ADS) OR EQUAL

A. REFERENCES 1. AASHTO M294-98: STANDARD SPECIFICATIONS FOR CORRUGATED POLYETHELENE

PIPE, 12" TO 48" DIAMETER. 2. ASTM D2321-89: STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF

THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY-FLOW APPLICATIONS. 3. ASTM D3350: STANDARD SPECIFICATION FOR POLYETHYLENE PLASTIC PIPE AND FITTINGS MATERIALS.

4. ASTM F477-93: SPECIFICATION FOR ELASTOMERIC SEALS (GASKETS) FOR JOINING PLASTIC PIPE.

JDINTS AND FITTINGS JOINTS SHALL CONSIST OF A BELL AND SPIGOT TYPE JOINT WITH AN O-RING

RUBBER GASKET MEETING ASTM F477 PLACED ON THE SPIGOT END. AT LEAST TWO (2) CORRUGATIONS OF THE SPIGOT END MUST INSERT INTO THE BELL END. 2. PIPE FITTINGS SHALL CONFORM TO AASHTO M294 OR AS DESIGNATED BY THE ENGINEER.

INSTALLATION: INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM D2321 EXCEPT THAT THE MINIMUM COVER SHALL BE 12" OR AS DIRECTED BY THE ENGINEER. BACKFILL SHALL CONSIST OF CLASS I OR II MATERIAL AS SHOWN IN ASTM D2321 OR AS DESIGNATED BY THE ENGINEER. MINIMUM TRENCH WIDTH SHALL BE 1.25 X DUTSIDE

DIAMETER PLUS 12" OR AS DESIGNATED BY THE ENGINEER. BACKFILL SHALL BE

PLACED IN 8" LOOSE LIFTS AND COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY OR AS DESIGNATED BY THE ENGINEER. CONCRETE PIPE

REINFORCED CONCRETE PIPE (RCP) SHALL CONFORM TO ASTM C76 CLASS III, WALL B OR ASTM C-507-84A FOR ELLIPTICAL CONCRETE PIPE UNLESS OTHERWISE NOTED ON THE DRAWINGS. ROUND PIPE SHALL HAVE BELL AND SPIGOT JOINTS WITH COMPRESSION TYPE RUBBER GASKETS. ELLIPTICAL PIPE JOINTS SHALL HAVE A CONCRETE BUTYL SEALER MATERIAL WHICH SHALL MEET OR EXCEED

THE REVISED AASHTO M-198 SPECIFICATION.

FLEXIBLE GASKET JOINTS IN ACCORDANCE WITH ASTM C443 SHALL BE INSTALLED.

MINIMUM COVER MINIMUM COVER FROM TOP OF PIPE TO FINISH GRADE SHALL BE 1'-O".

GENERAL HEADWALLS SHALL BE CONSTRUCTED AND/OR INSTALLED IMMEDIATELY FOLLOWING

INSTALLATION OF PIPE TO MINIMIZE POSSIBLE PIPE DAMAGE AND FACILITATE FINAL GRADING.

CONCRETE HEADWALLS A MINIMUM OF 150 SF OF RIP-RAP STONE FOR EROSION PROTECTION SHALL BE PROVIDED AT ALL HEADWALLS, UNLESS NOTED OTHERWISE.

CONCRETE HEADWALLS NOT OTHERWISE REINFORCED SHALL HAVE 6X6 10/10 WWM REINFORCEMENT.

HEADWALL CONCRETE MIN. STRENGTH SHALL BE 3000 P.S.I. @ 28 DAYS REINFORCEMENT BARS SHALL BE 60,000 P.S.I.'S YIELD ON DEFORMED BARS.

CHAMFER ALL EXPOSED EDGES OF CONCRETE.

FIELD APPLIED COATINGS ALL FERROUS METALS SHALL BE EITHER FACTORY COATED.

TOUCH UP ALL ABRADED FACTORY COATINGS WITH SIMILAR MATERIALS SUCH AS COLD GALVANIZING PAINT FOR GALVANIZED COATINGS.

FIELD APPLY AN ASPHALT BITUMINOUS PAINT COATING 10 MILS THICK FOR

ALL NON-GALVANIZED STEEL. CONFLICTS WITH WATERMAINS

WHERE WATERMAINS MUST BE CONSTRUCTED BENEATH THE STORM SEWER DUE TO LACK OF DEPTH ABOVE THE STORM SEWER (WATERLINES MUST BE LOCATED 18" ABOVE THE STORM SEWER AND SHALL HAVE 3'-6" OF COVER OVER THE WATERMAIN) THEN "O-RING" GASKETS SHALL BE USED WITH THE HUGGER BAND COUPLING FOR A DISTANCE OF 10' ON EITHER SIDE OF THE WATERLINE.

SITE LAYDUT

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SITE PAVING NOTES PAVING FLEVATION TOLERANCI FINAL SUBGRADE SHALL BE INSPECTED BY PAVING CONTRACTOR FOR REQUIRED ELEVATION AND ADEQUATE COMPACTION BEFORE COMMENCING ANY PAVING ACTIVITY. PAVING ELEVATION SHALL NOT HAVE MORE THAN 1/4" DEVIATION IN ANY 10' INCREMENT.

PAVING THICKNESS TOLERANCE PAVING THICKNESS AT ANY ONE CORE SHALL NOT BE LESS THAN 90% OF SPECIFIED THICKNESS. THE AVERAGE OF ALL APPROVED TESTS MUST BE AT LEAST EQUAL TO THE SPECIFIED THICKNESS FOR EACH MATERIAL. NOT MORE THAN 20% OF ALL APPROVED TEST MAY FALL BELOW SPECIFIED MINIMUMS. ANY AREA FOUND TO BE LESS THAN 90% SPECIFIED THICKNESS SHALL BE OVERLAIN WITH ASPHALT AS DIRECTED BY T. CLINT HARRISON,

TESTING DURING PLACEMENT GENERAL CONTRACTOR SHALL PERFORM SEVERAL SPOT CHECKS OF PAVING BASE THICKNESS PRIOR TO INSTALLATION OF ANY ASPHALTIC OR CONCRETE PAVING. DENSITY TESTS SHALL BE PERFORMED ON EACH LIFT AT THE RATE OF ONE TEST PER 10,000 SQUARE FEET.

CONTRACTOR SHALL PROVIDE FOR TESTING OF COMPLETED PAVING NSTALLATION FOR COMPLIANCE WITH DESIGN CRITERIA AND REQUIRED THICKNESS. CONTRACTOR SHALL REPLACE ALL NON-CONFORMING MATERIAL AT HIS DWN EXPENSE.

TESTING SHALL BE PERFORMED ONLY BY AN INDEPENDENT TESTING AGENT APPROVED BY T.CLINT HARRISON, P.E. TEST HOLES NOT SPOTTED BY T. CLINT HARRISON, P.E. MAY NOT BE CONSIDERED ACCEPTABLE.

ALLOW A MINIMUM OF SIXTEEN CORE TESTS TO BE LOCATED ONLY BY WRITTEN INSTRUCTION BY T. CLINT HARRISON, P. E.

THE PAVING CONTRACTOR SHALL REPAIR ALL CORING HOLES BY FILLING HOLES WITH CONCRETE FLUSH TO TOP OF PAVEMENT.

ASPHALTIC PAVING MATERIALS MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SPECIFICATION OF THE HIGHWAY DEPARTMENT OF THE STATE IN WHICH THE PROJECT IS LOCATED. REFER TO PAVING MATERIALS LEGEND.

CONCRETE PROVIDE TODLED EXPANSION JOINTS @ 20' D.C. (MAX) AND EXPANSION JOINTS @ 50' O.C.

CONCRETE CURBING SHALL BE 4000 PSI 28 DAY STRENGTH 2" - 3" SLUMP, (ND CURB DEFORMATION) 3% - 5% AIR ENTRAINED. INSTALL WITH RC-70 TACK COAT EMULSION OVER ASPHALT. PROVIDE CYLINDER BREAK TEST - 3/500 L.F. OF CURBING OR 1-DAY POUR WITH BREAKS - 1 @ 7-DAYS, 2 @ 28-DAYS. COMPLY WITH ASTM C-31 AND ASTM C-39. ALSO PROVIDE ONE SLUMP TEST PER 500 L.F. OF CURBING OR 1-DAY POUR.

PROVIDE EXPANSION JOINT @ 50' D.C. AND CONTROL JOINTS @ 20' D.C. (MAX) AT ALL CONCRETE PAVING AREA.

REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.

IVERNING AUTHORITIES TO BE YELLOW.

PAVEMENT MARKING PAINT PROVIDE PAVEMENT MARKING AS SHOWN ON THE DRAWINGS. STRIPING SHALL BE 4" WIDE. PAINT SHALL BE SHERWIN-WILLIAMS PROMAR ALKYD TRAFFIC MARKING PAINT SERIES B-29Y2 OR APPROVED EQUAL. PAINT SHALL BE APPLIED IN ONE COAT ACHIEVING A MINIMUM DRY FILM THICKNESS OF 9 MILS. IN ALL CASES, THE MARKING SHALL BE SUFFICIENT TO TOTALLY COVER THE PAVEMENT. USE YELLOW PAINT FOR ALL MARKINGS. FIRE LANE AND DTHER MARKINGS ARE REQUIRED BY

COMPLY WITH LOCAL AND STATE ORDINANCES REGARDING DISPOSAL OF DEBRIS. DO NOT BURN DEBRIS ON SITE

THE REQUIREMENTS LISTED BELOW ARE INTENDED TO SERVE AS AN OUTLINE OF GENERAL REQUIREMENTS.

WITHOUT SPECIFIC WRITTEN APPROVAL OF BOTH T. CLINT HARRISON, P.E. AND LOCAL AUTHORITY.

CONSIDER ALL REQUIREMENTS OF THE PROJECT MANUAL DURING THE BIDDING PROCESS.

ADDITIONAL REQUIREMENTS MAY BE SET FORTH IN THE PROJECT MANUAL. CONTRACTOR IS CAUTIONED TO

GENERAL

CIFARING

OR INCONSISTENCIES TO T. CLINT HARRISON, P.E. BEFORE COMMENCEMENT OF WORK. TEMPORARY DIVERSION SWALES TEMPORARY DIVERSION SWALES SHALL BE CONSTRUCTED PRIOR TO STRIPPING OR ANY OTHER GRADING ACTIVITY. ALSO, TEMPORARY SEDIMENT TRAPS AND/OR PERMANENT DETENTION BASINS SHALL BE CONSTRUCTED PRIOR TO

EXCAVATION AND GRADING NOTES

STRIPPING OR OTHER GRADING ACTIVITY. SEDIMENT CONTROL PERMANENT AND TEMPORARY DIVERSION SWALES SHALL BE CONSTRUCTED PRIOR TO STRIPPING OR ANY OTHER GRADING ACTIVITY.

ALSO, PERMANENT STORM DETENTION BASINS AND TEMPORARY SEDIMENT TRAPS WHERE CALLED FOR SHALL BE CONSTRUCTED PRIOR TO STRIPPING OR OTHER GRADING ACTIVITY. EXISTING TOPO ACCURACY

EXIST CONTOURS SHOWN ARE INTENDED TO FORM A GENERAL DESCRIPTION OF SURFACE GROUND ELEVATIONS. TOPOGRAPHIC INFORMATION SHOWN HEREIN SHALL BE CONSIDERED TO HAVE NOT MORE THAN THE FOLLOWING PLUS OR MINUS LIMITS OF ACCURACY: 0.10 FEET AT BENCHMARKS, 0.25 FEET AT SPOT GRADES, 1.0 FEET AT CONTOUR LINES.

CONTRACTOR IS CAUTIONED THAT STRAIGHT LINE INTERPOLATION BETWEEN CONTOURS MAY NOT EXACTLY REFLECT EXISTING CONDITIONS. AREAS OF RELATIVELY QUICK CHANGES IN CONTOURS SHOULD NOT BE ALLOWED TO UNDULY INFLUENCE INTERPRETATION OF CONTOURS. REPORT ANY ERRORS OR INCONSISTENCIES TO T. CLINT HARRISON, P.E. BEFORE

COMMENCEMENT OF WORK, ANY ERROR NOT SO REPORTED CANNOT BE CONSIDERED FOR ADJUSTMENT IN CONTRACT PRICE

STRIPPING & SPREADING TOPSOII TOPSOIL SHALL BE STRIPPED AND TEMPORARILY STOCK PILED FOR LATER REUSE. IF NO STOCK PILE AREA IS NOTED ON GRADING PLAN, STOCK PILE SHALL BE IN SUCH PLACE TO PROVIDE FOR READY ACCESS TO NECESSARY AREAS OF SITE BY OTHER TRADES THROUGHOUT PROGRESS OF WORK. PARTICULAR ATTENTION SHALL BE PAID TO FINELY TEXTURED TOPSOIL THAT WILL BE REUSED BY LANDSCAPE CONTRACTOR, GENERAL TOPSOIL RESPREADING WILL BE BY GRADING CONTRACTOR TO A MINIMUM DEPTH OF 6" AT ANY POINT EXCEPT ON SLOPE OF 2-1/2 TO 1 OR STEEPER WHERE TOPSOIL DEPTH SHALL BE 2" MIN. AT ANY POINT NOT RECEIVING SOD.

PRDDF-RDLLINGALL AREAS TO RECEIVE NEW STRUCTURAL FILL OR OTHER NEW CONSTRUCTION SHALL BE PROOF ROLLED WITH A 10,000# VIBRATORY DRUM ROLLER IN PRESENCE OF SOILS TESTING AGENT BEFORE COMMENCING ANY CONSTRUCTION ACTIVITY. ALL AREAS TO BE COMPACTED SHALL RECEIVE 8 PASSES WITH COMPACTION ROLLER. SUIL ENGINEER SHALL NOTIFY T. CLINT HARRISON, P.E. THAT ALL AREAS HAVE PASSED PROOF ROLL INSPECTION PRIOR TO COMMENCEMENT OF CUT & FILL OF GRADING. DO NOT COMMENCE GRADING PRIOR TO SUCH NOTIFICATION, I((((((

UNDERCUT-BACKFIL UNDERCUT SHALL MEAN EXCAVATION OR OTHER REMOVAL OF UNSUITABLE MATERIAL BELOW ELEVATION OF PROPOSED FINAL SUBGRADE. IN NO CASE SHALL THE TERM UNDERCUT BE USED TO DESCRIBE MATERIAL DCCURRING ABOVE FINAL SUBGRADE ELEVATION. EXTENT OF UNDERCUT OF UNSUITABLE MATERIALS, IF ANY MUST BE RECOMMENDED BY THE SOIL ENGINEER FOR THE DWNER'S APPROVAL. SOIL ENGINEER SHALL NOT HAVE UNILATERAL AUTHORITY TO DIRECT UNDERCUT ACTIVITIES WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. SDIL ENGINEER'S WRITTEN FIELD NOTES WILL BE REQUIRED TO SUBSTANTIATE AMOUNTS OF UNDERCUT. BACKFILL SHALL BE OF APPROVED MATERIAL ONLY. MONEY FOR REQUIRED TESTING SHALL BE INCLUDED IN QUOTED PRICES CONCERNING UNDERCUT AND BACKFILL.

WHERE TERMS OF BIDDING CALL FOR AN UNCLASSIFIED CONTRACT NO PAYMENTS FOR UNDERCUT/BACKFILL WILL BE CONSIDERED. SUCH QUOTES SHALL BE INCLUDED IN THE CONTRACTOR'S BASE BID. UNDERCUT & BACKFILL SHALL NOT CONSTITUTE AN EXTRA TO THE CONTRACT IN UNCLASSIFIED CONTRACTS.

STRUCTURAL FILL STRUCTURAL FILL SHALL BE COMPACTED AS SPECIFIED IN EXCAVATION AND GRADING SCHEDULE WITHIN +/- 2% OF OPTIMUM MOISTURE CONTENT. OFF SITE BORROW AREAS SHALL BE APPROVED BY T. CLINT HARRISON, P.E.. PLACE FILL AND BACKFILL IN LAYERS AS SPECIFIED IN EXCAVATION AND GRADING NOTES. USE DELETERIOUS MATERIAL, ORGANIC, OR ROCK LARGER THAN 6". IN-SITU SOILS MAY REQUIRE ADDITIONAL WATER OR MAY REQUIRE ADDITIONAL DRYING TO REACH OPTIMUM MOISTURE CONTENT FOR COMPACTION.

GRADING TOLERANCE GRADING CONTRACTOR SHALL BRING SUBGRADE TO WITHIN AN AVERAGE OF 1/10 OF ONE FOOT OF REQUIRED ELEVATION TO OBTAIN FINISHED GRADE INDICATED ON DRAWINGS EXCEPT AT LOCATIONS WHERE SPOT ELEVATIONS ARE SHOWN AND WHERE FLOOR ELEVATIONS ARE SHOWN WHICH SHALL BE WITHIN 1/10 OF 1 FOOT OF REQUIRED ELEVATIONS. FINAL SUBGRADE SHALL BE SPOT CHECKED BY A LICENSED SURVEYOR WITH NOT LESS THAN 1 SHOT PER 1.5 ACRES AND AT EACH FINISHED FLOOR ELEVATION AND A DRAWING PREPARED AND FORWARDED TO T. CLINT HARRISON, P.E. FOR APPROVAL PRIOR TO COMMENCING FINE GRADE OR PAVING OR BUILDING CONSTRUCTION.

CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR ADJUSTMENTS IN GRADES AS DIRECTED BY T. CLINT HARRISON P.E. SUCH CHANGES SHALL BE LIMITED TO 1500 CUBIC YARDS TOTAL. NO ADDITIONAL COST WILL BE ALLOWED FOR THIS WORK. JST

CONTRACTOR SHALL INCLUDE PRICE OF ALL REQUIRED TESTING AS SET FORTH HEREIN TO BE PREFORMED BY AN INDEPENDENT QUALIFIED GEDTECHNICAL TESTING AGENT SUITABLE TO THE T. CLINT HARRISON, P.E. TEST REPORTS MUST USE GRAPHIC LOCATION MAP AT 1" = 200' SCALE FOR LOCATION OF DENSITY TESTS, DRIGINAL COPIES OF ALL TESTS SHALL BE FORWARDED DIRECTLY TO T. CLINT HARRISON, P. F. FROM TESTING AGENT. ALL TESTS SHALL SPECIFICALLY STATE THAT THE TEST EITHER PASSES OR FAILS TO MEET SPECIFICATIONS, CONTRACTOR SHALL INCLUDE IN HIS BASE BID 10 (TEN) SOIL COMPACTION TESTS AFTER COMPLETION OF THE WORK, LOCATED PER T. CLINT HARRISON, P.E.

SUBSURFACE INVESTIGATION COPIES OF THE DWNER'S SUBSURFACE INVESTIGATION ARE AVAILABLE TO BIDDERS UPON REQUEST. SUCH INFORMATION IS PROVIDED ONLY FOR THE BIDDERS CONVENIENCE. NO WARRANTIES ARE MADE OR IMPLIED CONCERNING ACCURACY OR EXTENT OF SUBSURFACE ROCK OR OTHER CONCEALED CONDITIONS. ANY ADDITIONAL INFORMATION REQUIRED FOR PROPER ESTIMATING SHALL BE OBTAINED BY THE BIDDER. NO GUARANTEES ARE GIVEN OR IMPLIED AS TO SUITABILITY OF EXISTING SUBSURFACE MATERIAL FOR REUSE AS STRUCTURAL FILL. SOIL BORING LOCATIONS, SHOWN IN SOILS REPORT, ARE APPROXIMATE LOCATIONS ONLY, AND ACTUAL LOCATIONS MAY VARY WIDELY. CONTRACTOR SHALL MAKE ON-SITE FIELD INSPECTION TO DETERMINE EXACT LOCATIONS OF BORING FOR BIDDING PURPOSES. BORING NUMBERS ARE KEYED TO SOIL REPORT.

WATER C((ONTROL THE CONTRACTOR SHALL FURNISH ALL LABOR. MATERIALS AND EQUIPMENT NECESSARY TO KEEP THE WORK FREE OF WATER EITHER FROM SURFACE SOURCES OR FROM UNDERGROUND SOURCES OR BOTH. SELECTION OF EQUIPMENT AND METHODS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE AND IS RESPONSIBLE FOR ALL DAMAGE INCURRED IN HANDLING WATER CONDITIONS. ADDITIONALLY, THE CONTRACTOR SHALL PROVIDE MEANS NECESSARY TO AVOID DIRECT RUN-OFF FROM THIS PROJECT ONTO ADJACENT PROPERTY

GRASSING & SDDING GRASSING AND MULCHING OF ALL DISTURBED AREAS NOT PAVED OR BUILT UPON SHALL BE THE RESPONSIBILITY OF THE GRADING CONTRACTOR UNLESS NOTED OTHERWISE HARDENED SOIL SHALL BE LODSENED TO A DEPTH OF 6" AND TOPSOIL RESPREAD AS NOTED BEFORE SEEDING.

SUDDING OF RETENTION BASIN AREAS IF NOTED ON DETAILS SHALL BE THE RESPONSIBILITY OF THE GRADING CONTRACTOR. GRADING CONTRACTOR SHALL ACT TO KEEP ALL INSTALLED SOD AREAS MOIST AS REQUIRED TO PROMOTE ROOTING OF SOD UNTIL STABLE GROWTH IS MAINTAINED. TYPE OF SOD USED SHALL BE CONSISTENT WITH TYPE OF SOIL EXISTING AT SITE.

GRASS AND SODDING SHALL BE AS SPECIFIED ON THE DRAWINGS.

EROSION CONTROL EXPOSE MINIMUM AMOUNT OF SUBGRADE POSSIBLE AT ONE TIME TO ALLOW FOR EFFICIENT PROCEEDING OF THE WORK. GRASSING AND OTHER EROSION CONTROL MEANS SHALL BE EMPLOYED, MAINTAINED AND RECONSTRUCTED AS REQUIRED IF DESTROYED BY EROSION.

SEDIMENT DEPOSITED ON STREETS BY CONSTRUCTION ACTIVITIES SHALL BE CLEANED-UP IMMEDIATELY.

GRASSING OF SWALES SHALL BE PERFORMED AS SOON AS ROUGH GRADING IS DONE. GRASSING AND/OR SODDING AS APPLICABLE OF STORM WATER BASIN MUST BE PERFORMED AT LEAST 45 DAYS PRIOR TO BASIN BEING PLACED IN SERVICE TO ALLOW TIME FOR RODTING TO TAKE PLACE. GRASSING OF OTHER AREAS SHALL BE PERFORMED AS SOON AS FINE GRADING IS COMPLETED. IN ALL CASES GRASSING SHALL BE PERFORMED TWO MONTHS PRIOR TO COMPLETION.

TEMPORARY SEDIMENT TRAPS, TEMP. DIVERSION SWALES, AND TEMP. SEDIMENT FENCES SHALL BE CONSTRUCTED AND/OR INSTALLED PRIOR TO STRIPPING OF TOPSOIL. PERMANENT AND/OR TEMPORARY STORM WATER DETENTION BASINS SHALL BE CONSTRUCTED DURING INITIAL PHASE OF CONSTRUCTION.

EROSION CONTROL FABRIC SHALL BE INSTALLED USING A MINIMUM OF TOP SOIL ON SLOPES STEEPER THAN 3: 1. NOMINAL TOP SOIL DEPTH SHALL BE TWO INCHES AT SUCH EMBANKMENT. EROSION CONTROL FABRIC SHALL BE INSTALLED OVER THE SOIL. GRASS SHALL BE SOWN THROUGH EROSION CONTROL FABRIC. FOR 2:1 SLOPES, EROSION CONTROL FABRIC SHALL BE TENSAR MODEL ROLLMAX ERONET S-150 OR APPROVED EQUAL. FOR 1.5 : 1 SLOPES EROSION CONTROL FABRIC SHALL BE EAST COAST EROSION CONTROL MODEL ECSC-2B OR APPROVED EQUAL.

PROVIDE AND MAINTAIN INLET PROTECTION AROUND CATCH BASINS AND INLET HEADWALLS TO PREVENT SILTATION THROUGHOUT CONSTRUCTION. PROVIDE AND MAINTAIN CHECK DAMS IN NEWLY CONSTRUCTED TEMPORARY AND PERMANENT DIVERSION SWALES TO SLOW RUNDEF VELOCITIES TO PREVENT EROSION.

RE-TOPSOIL OR REWORK TOPSOIL AND RESED IN AREAS THAT EXPERIENCE EROSION THROUGHOUT CONSTRUCTION.

DO NOT REMOVE EROSION CONTROL MEASURES UNTIL ENTIRE SITE IS STABILIZED.

SAFETY SCREENS

SAFETY SCREENS HAVING A MAXIMUM OPENING OF 4" SHALL BE PROVIDED FOR ANY PIPE OR OPENING TO PREVENT CHILDREN OR LARGE ANIMALS FROM CRAWLING INTO THE STRUCTURES. SCREENS SHALL BE WELDED 3/8" BARS @ 6" D. C. EACH WAY.

PFRMIT CONTRACTOR SHALL PAY ALL GRADING PERMIT FEES AND POST GRADING BOND, IF REQUIRED.

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ABBREVIATIONS LEGEND This list is not intended to be a complete list of all abbreviations used in these documents. They are shown as a convienence. ACRES ACI AMERICAN CONCRETE INSTITUTE ADJ ADJUSTABLE AFF ABOVE FINISHED FLOOR ALT ALTERNATE AMPERAGE AMP ANG ANGL F APPL I APPLICABLE APPROX APPROXIMATE APRVD APPROVED ARCHITECTURAL DR ARCHITECT ARCH AMERICAN SOCIETY OF TESTING OF ASTM MATERIALS BOTTOM OF CURB BDARD BELOW FINISH FLR BLDG BUILDING ВІ ПСК BLK BENCHMARK BOTTOM BEARING CURB CUT CUBIC FFF CURB & GUTTER CONTROL JOINT CENTERLINE CLEAR CLR CLG CEILING CONCRETE MASONRY UNIT СМИ COL COLUMN СОМР COMPACTED CONCRETE CUNC COND CONDENSAT CONT CONTINUOUS CONSTRUCTIO CONST CONTR CONTRACTOR CTR CENTER COLD WATER CW CUBIC YARD СҮ DETL DETAIL DIAMETER DIMENSION DIM DOWN DOWNSPOUT DWG DRAWING FACH EXTERIOR INSULATION & FINISH EIFS MATEM ЕJ EXPANSION JOINT ELEC ELECTRICAL ELEV ELEVATION FP EDGE DF PAVEMENT et cetera ЕТC EACH WAY exist EXISTING EXPANSION FХР FXTR FXTERINR FDN FOUNDATION FFE FINISH FLOOR ELEVATION FIN FINISH FIXT FIXTURE FI DDR FLR FR FIRE RESISTANT FRMG FRAMING FEET FTG FOOTING GА GAUGE GRAB BAR GENERAL CONTRACTOR GYPSUM HORZ HORIZONTAL ΗT HEIGHT HNT WATER ΗW HEATING VENTILATING & AIR HVAC CONDITIONING INVERT ELEVATION ΤN INCH TNCH INTERIOR INTR INV INVERT JEIST JEINT LINEAR FEET LAVATORY LONG MASHNRY MATI MATERIAL MAX ΜΑΧΤΜΗΜ MECH MECHANICAL MFG MANUFACTURE MIN MINIMUM MIR MIRROR MR MDISTURE RESISTANT MTL METAL MTR METER NIC NOT IN CONTRACT NΠ NUMBER ΝΠΜ ΝΠΜΙΝΑΙ NTS NOT TO SCALE ON CENTER OVERHEAD PARTN PARTITION PН PHASE POST INDICATOR VALVE ΡIV PLYWD PLYWOOD PR PRIDR PROP PROPERTY POUNDS PER SQUARE FOOT PSE PSI POUNDS PER SQUARE INCH PTD PAINTED PVC POLYVINYL CHLORIDE RISER REFER/REFERENCE RFF REINF REINFORCING RELOC RELOCATE REQUIRED REQD RIGHT-DF-WAY RDW SEWER SCHED SCHEDULE SHEET MIZ SIMILAR SPEC SPECIFICATIONS SOLIARE SQUARE FEET STEEL STOREFRONT STRUCT STRUCTURAL SUSP SUSPENDED SEWER SWR SYS SYSTEM THP HE CURB TEXTURED THICKNESS TDILET TOP OF JOINT THP OF MASONRY THP OF STUD TOP OF WALL TOP OF BOND BEAM TOBB ТΠВ TOP OF BEAM TISSUE DISPENSER TYPICAL TYP ΤW TOP OF WALL UNDERGROUND UNLESS NOTED OTHERWISE UTIL UTILITY νπι τ VERT VERTICAL WITH WORK BY DTHERS WBD WATER CLOSE WALL CONTROL JOINT WCJ WOOD OR WIDTH WEATHER PROOF WEIGHT WTR WATER WELDED WIRE MESH WWM

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SPECIFICATION SHEET

THE SPECIFICATIONS FOR GRASSING LISTED BELOW MEET REQUIREMENTS OF THE T. D. E. C. GRADING PERMIT ISSUE THE EXCAVATOR SHALL ADHERE TO THESE SPECIFICATION DURING CONSTRUCTION. GRASSING AND TURF INSTALLATE LANDSCAPING AND/OR FINE GRADING SHALL USE SPECIFE BY THE LANDSCAPE ARCHITECT.	ED FOR THE SITE. NS AT A MINIMUM ION FOR ICATIONS PROVIDED
GRASSING SCHEDULE	
SEPT-JAN BROWN TOP MILLET SEPT-JAN TALL FESCUE (KY-31) 	30-40 LB/AC 20-30 LB/AC 60 LB/AC 35 LB/AC 70 LB/AC 25 LB/AC 10/10/10 20% SUPERPHDSPHATE
PURITY GERM.	BINDER ON MAX. WEED
RED FESCUE	
- ALL LIME & FERTILIZER AMOUNTS SHOWN IN THE F SECTION ABOVE ARE MINIMUM AND SHALL BE VERIF	

ANALYSIS IS ACCOMPLISHED. - ALL SOD SHALL BE BY LANDSCAPE CONTRACTOR, ALL OTHER GRASSING SHALL BE BY GRADING CONTRACTOR,

SITE LAYOUT

SITE LAYOUT NOTES

PROPERTY LINE STAKEOUT ALL PROPERTY LINES SHALL BE MARKED FOR ROUGH LOCATION WITH CONTINUOUS SURVEYOR FLAGGING TAPE,

ALL PROPERTY CORNERS AND ALL OUTLOT CORNERS SHALL BE ROUGH PINNED WITH 2' HIGH METAL ROD OR EQUIVALENT AND FLAGGED WITH SURVEYOR TAPE AT COMPLETION OF ROUGH GRADING AND MAINTAINED THROUGHOUT COURSE OF

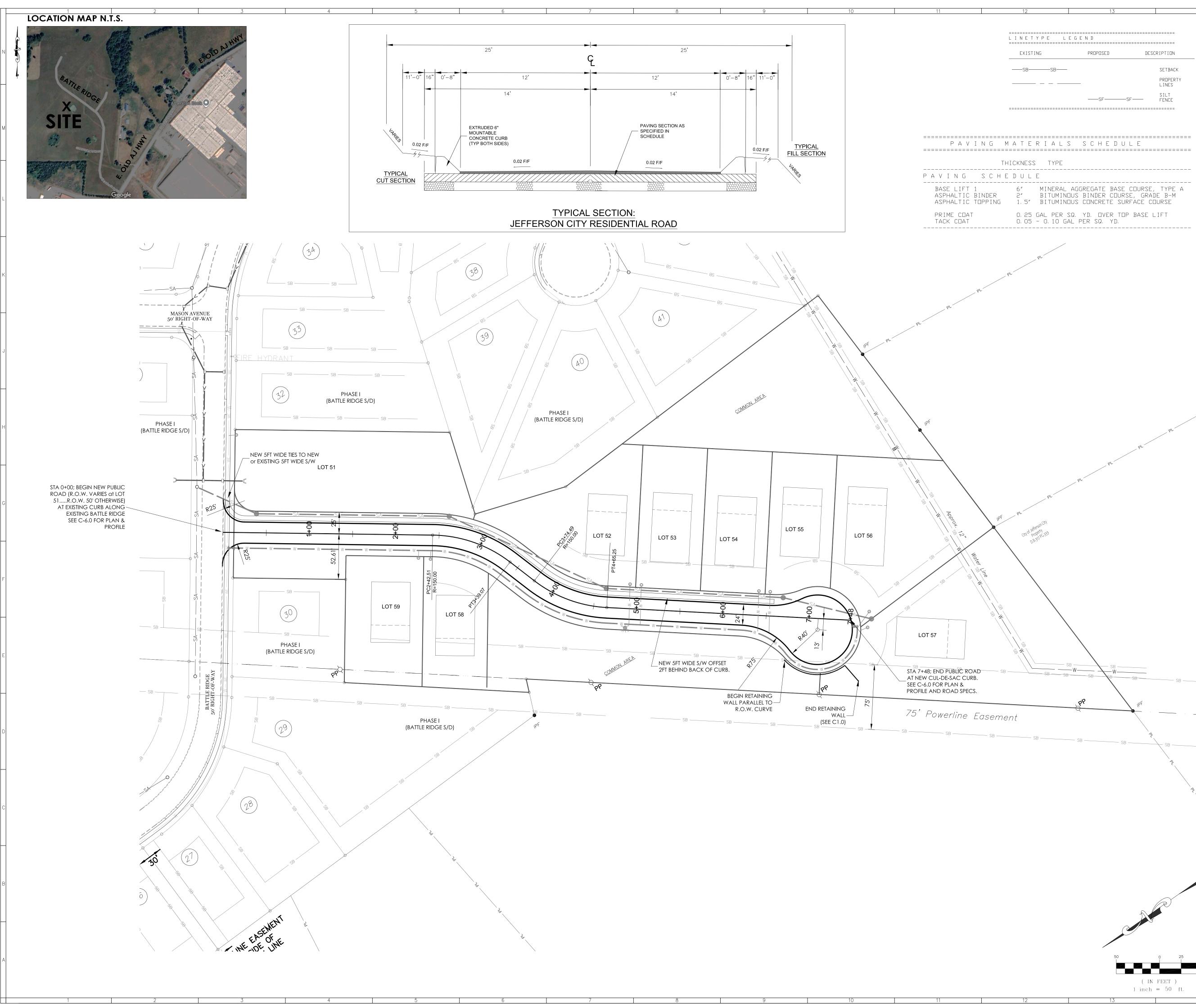
ROUGH LOCATION SHALL MEAN ACCURATE WITHIN 2' HORIZONTALLY. DO NOT ERR DUTSIDE PROPERTY LINE IN ANY CASE.

BUILDING STAKEDUT BUILDING DIMENSIONS SHOWN ON-SITE PLAN ARE NOMINAL DIMENSIONS ONLY INTENDED FOR USE IN DETERMINE APPROXIMATE SQUARE FOOTAGES. SEE FOUNDATION PLAN FOR ACTUAL DIMENSIONS OF CONSTRUCTION.

A SURVEYOR LICENSED IN THE STATE OF THE PROJECT LOCATION MUST BE USED IN LOCATING ALL BUILDINGS ON-SITE BEFORE WORK IS BEGUN ON FOOTINGS OF ANY BUILDINGS. T. CLINT HARRISON, P. E. SHALL BE NOTIFIED BY THE SURVEYOR UPON COMPLETION OF THIS WORK.

SITE WORK STAKEDUT CONSULT T. CLINT HARRISON, P. E. FOR ALL DIMENSIONS AND OTHER ITEMS LABELLED VFRIFY" UR "FIELD VERIFY" PRIUR IU INSTALLATIUN UF THAT WURK UR ANY RELATED WORK.

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С	A NEW SINGLE FAMILY	BATTLE RII	BAT	JEFFERSON C	OWNER: CRAFT	
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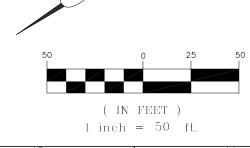
PROPOSED DESCRIPTION SETBACK PROPERTY LINES

O, 25 GAL PER SQ. YD. OVER TOP BASE LIFT

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EXISTING	PROPOSED DE	SCRIPTION
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HWE 🔽	ни 🔽	CONCRETE HEADWALL
	IP-SF	SILT FENCE INLET PROTECTION

UTILITY PLAN LEGEND

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⊠ GVE	► GV	SANITARY
◎ MHE	● MH	MANHOLE
- PPE	∽_ <i>PP</i>	POWER POLE

Section 5, Item d. TCH T. CLINT HARRISON, P.E - Civil Engineer -5123 Bethesda Road Morristown, TN 37814 ph. 423.277.1112 charrisoneng@gmail.com

04-07-2025

PROJ NO. 🔹 -DWG FILE 🔹 🔹 ISSUE DATE • 04-07-2025 **REVISION HISTORY** C A U T I O N - N O T I C E T O C O N T R A C T O R THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR LEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CDNFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. SHOWN ON THE PLANS. CALL BEFORE YOU DIG! 1-800-351-1111 TENNESSEE DNE-CALL SYSTEM, INC. TN STATE LAW REQUIRES YOU CALL IF THERE IS EXCAVATION...FOR THE PURPOSE OF THE MUVEMENT, PLACEMENT OR REMOVAL OF RUCK, EARTH OR OTHER MATERIALS IN DR ON THE GROUND BY USE OF MECHANIZED EQUIPMENT, OR BY DISCHARGE OF EXPLOSIVES, AND INCLUDING AUGERING, BACKFILLING, DIGGING, DITCHING, DRILLING, GRADING, PLOWING-IN, PULLING-IN, RIPPING SCRAPING, TRENCHING, AND TUNNELING. A NEW SINGLE FAMILY RESIDENTIAL SUBDIVISION: BATTLE RIDGE PHASE II BATTLE RIDGE JEFFERSON CITY, TENNESSEE OWNER: CRAFTED MILESTONE, LLC

SITE LAYOUT & PAVING PLAN

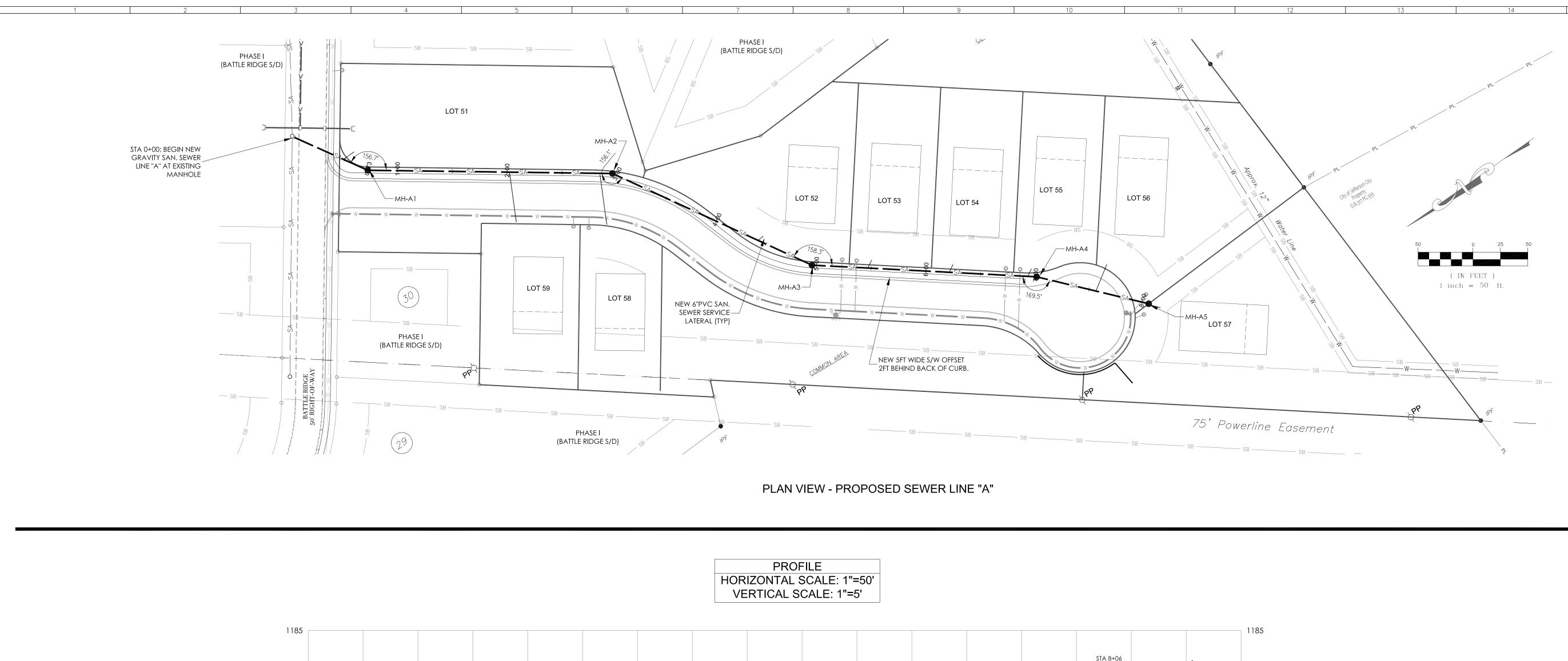
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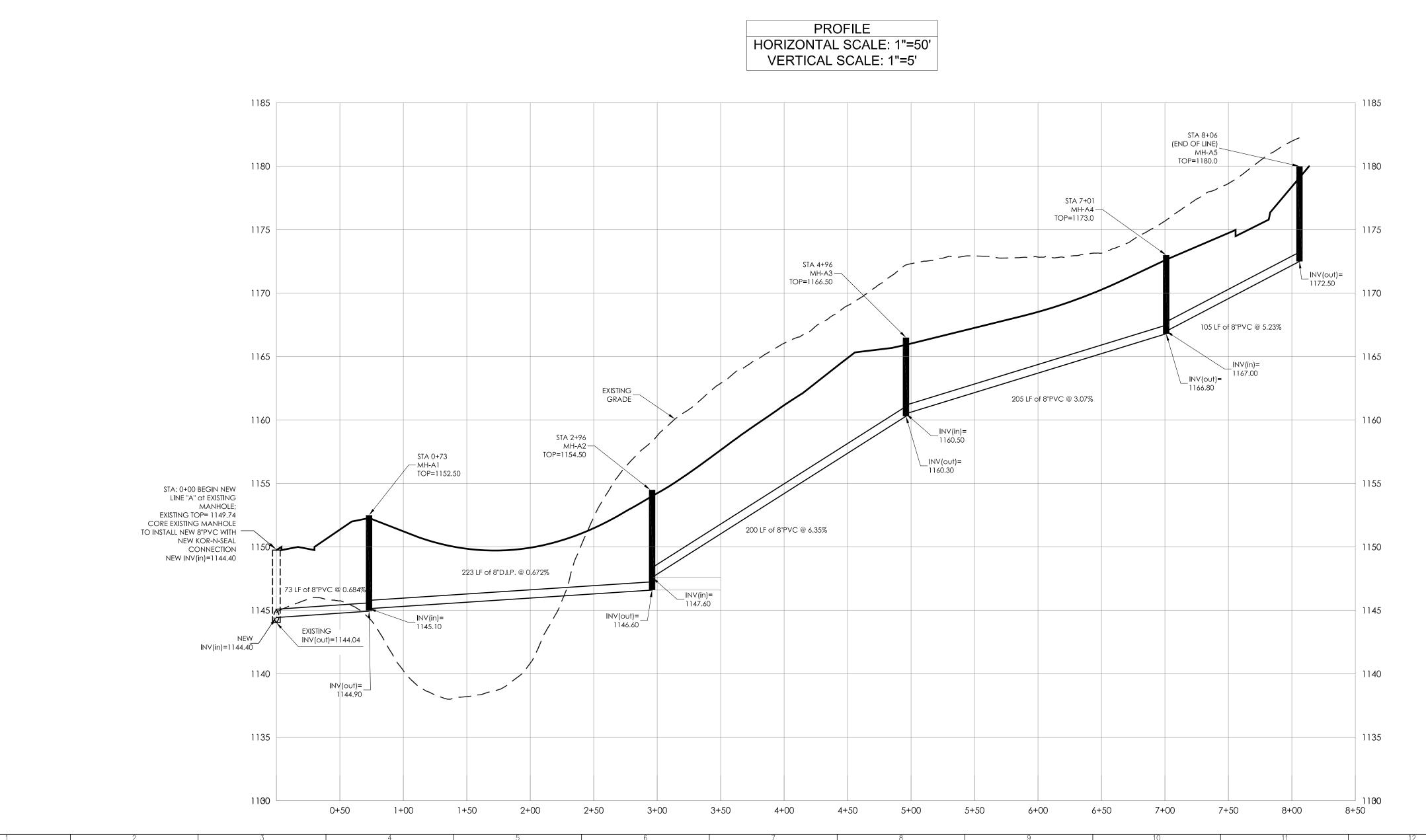
LOCATION MAP N.T.S.





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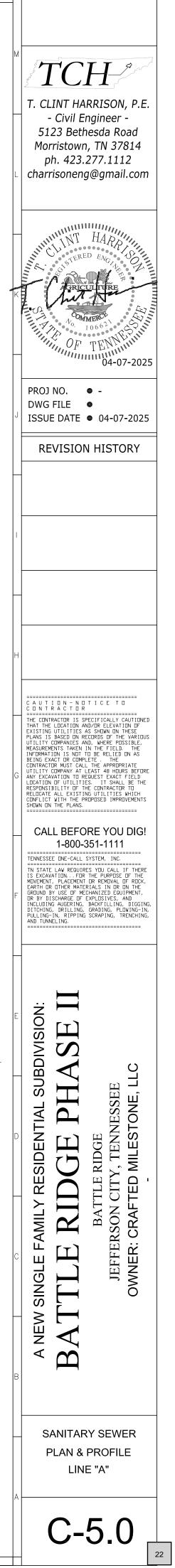




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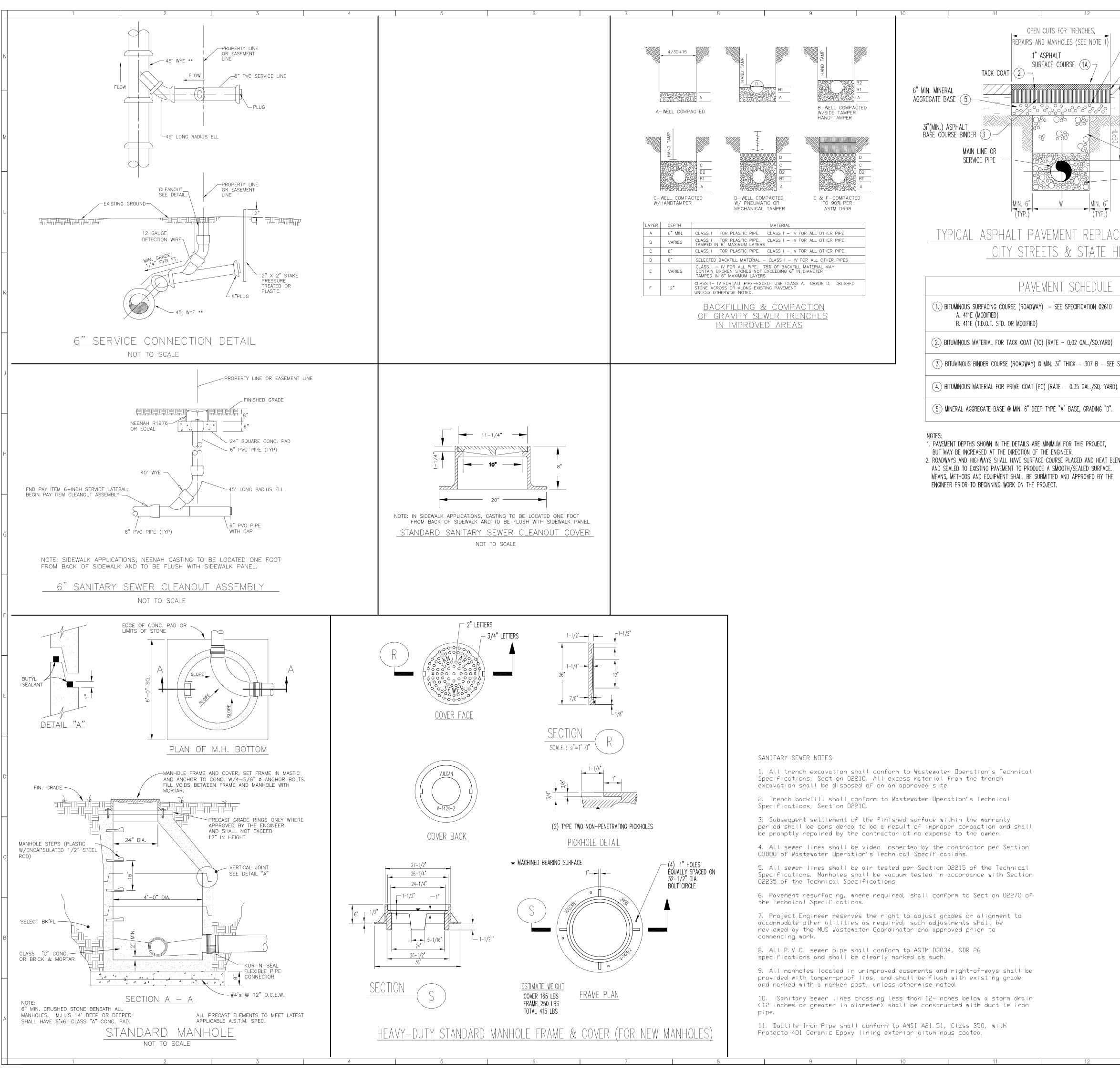
SYMBOL LEGEND	
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- W WATER LINE
- G GAS LINE
- S SANITARY SEWER
- ST STORM SEWER
- T TELEPHONE



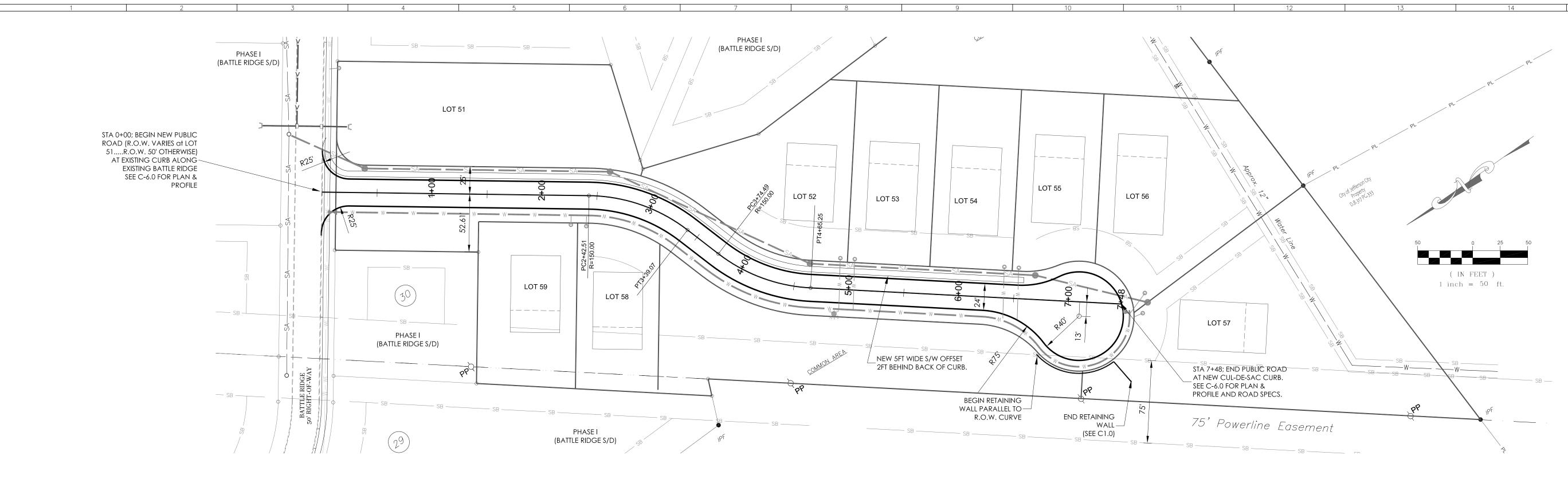
Section 5, Item d.

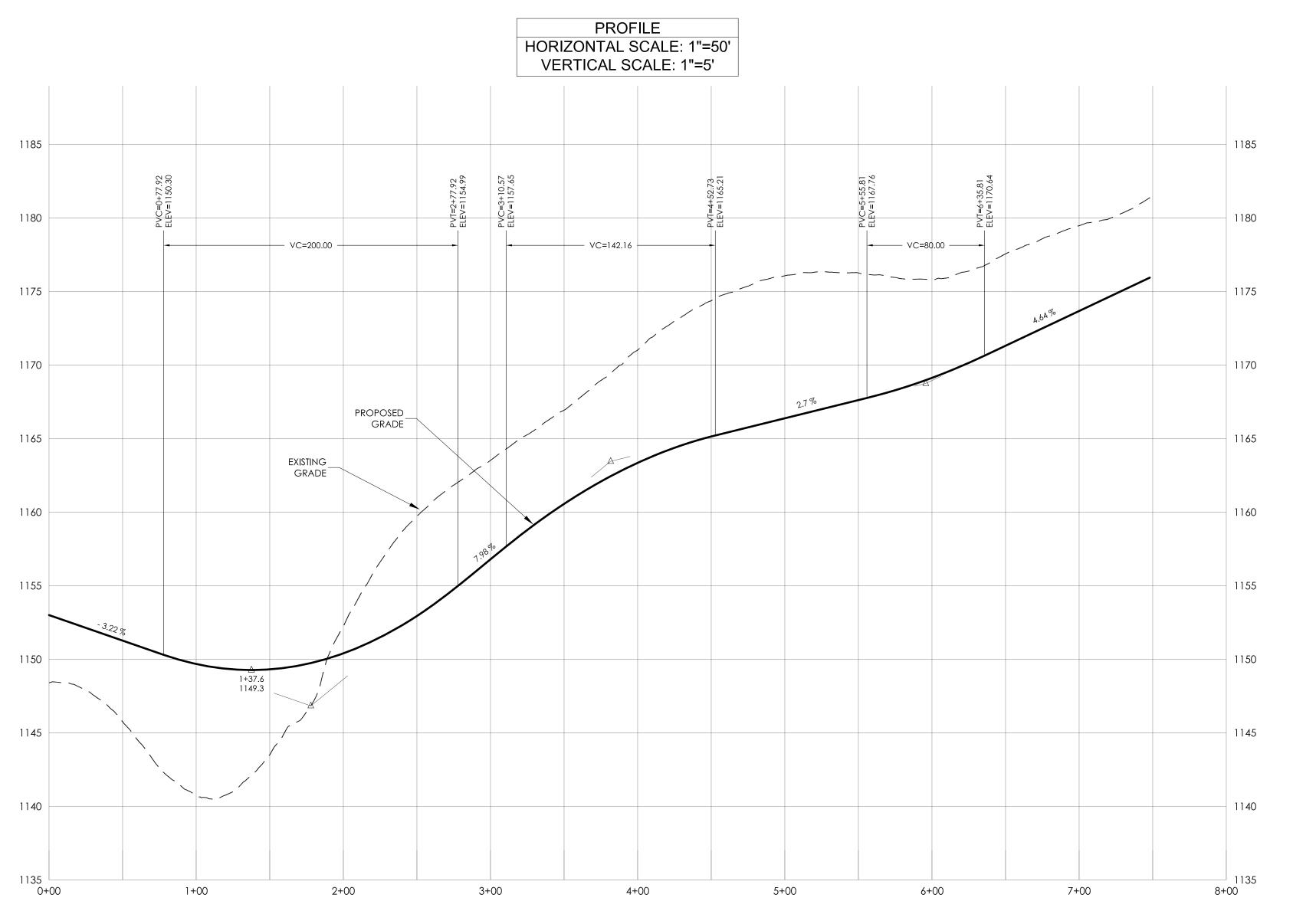
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47				Section 5, Item d.
13	14 15 16 SECTION IV Standard Construction Notes GENERAL NUTES:		·	
PRIMECOAT 4 EXIST. SURFACE TO BE SAW CUT EXIST. PAVEMENT EXIST. BASE BACKFILL MATERIAL AS SPECIFIED IN SECTION 02221 CRUSHED STONE" BEDDING MATERIAL AS SPECIFIED IN SECTION 02221 CRUENT - TYPE "1" HGH WAYS SPECIFICATION 02610 N ENDED	 GENERAL NOTES I. Alt work and retaringly shall conform to the Utility Systems Vastewster Department Standard Specifications C. Contractor shall verify all utility locations or on to construction and shall enough for the nelocation of any in conflict with the processe construction. A Dity business likense is required. C. Contractor shall beta mill nequired permits and likenses before stanting construction. A Dity business likense is required. C. Contractor shall beta mill nequired permits and likenses before stanting construction. A Dity business likense is required. C. Stating and Dity business likense and shall have demonstrated experiment in Nucleums shaps are subrashnaw only and have be verified by the contractor. Add Honel unsergnound utilities may exist. C. Stating and Dity business starting construction and 24 hours before requiring ack other shutdown, extept for normal results in net back for the like standards. Subrash of the laws. Contractor shall have here and for any standards. Subrash of have laws. Contractor shall have here requiring ack other shutdown, extept for normal results in net back for the laws. C. Stractor shull note: A the construction site. Tour of construction whiches shall period of these, stupps, and h. roots, e- redicated on the place. Nater at shall be disposed of in such a namer as to next used in guardamilia. The negligible data may for the projet of part (2000) Add to 0000000. Note: A the construction site. Tour of construction whiches shall cank on the construction site. Tour of construction shall be 2000. Add to 0000000000000000000000000000000000		TCI T. CLINT HARR - Civil Eng 5123 Bethes Morristown, T ph. 423.27 charrisoneng@ PROJ NO. DWG FILE ISSUE DATE REVISION H	ineer - da Road TN 37814 7.1112 Ogmail.com
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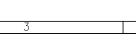


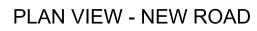








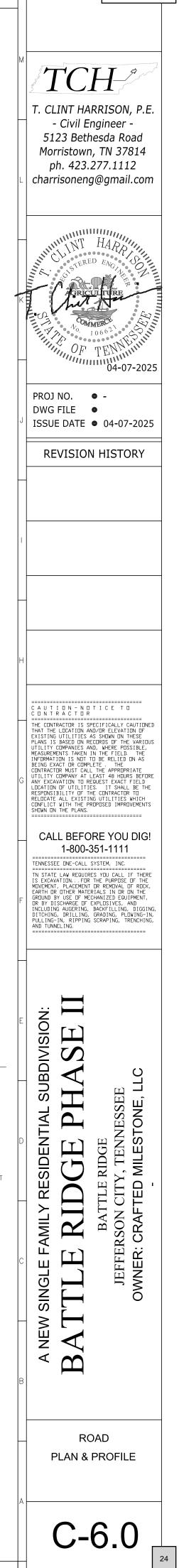




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SYMBOL LEGEND	
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- W WATER LINE
- G GAS LINE
- S SANITARY SEWER
- ST STORM SEWER
- T TELEPHONE E ELECTRIC
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T. Clint Harrison, P.E. Civil Engineer 5123 Bethesda Road Morristown, TN 37814 Phone 423.277.1112 charrisoneng@gmail.com

<u>To:</u> Jefferson City Planning Commission Members, State Planner and Jeff Houston, Jefferson City, TN

From: T. Clint Harrison, P.E.

Date: April 15, 2025

RE: Battle Ridge PHASE II

I'm writing to provide information regarding drainage at the proposed Battle Ridge Phase II as shown on my submitted site plan.

All of the runoff from Phase II enters the existing drainage system that was designed and installed as part of Battle Ridge Phase I.

Phase I drainage calculations apply to this part of the property for the proposed Phase II addition. Construction of the Phase I drainage facilities are complete and operational, so no new drainage facilities are proposed for Phase II.

Sincerely,

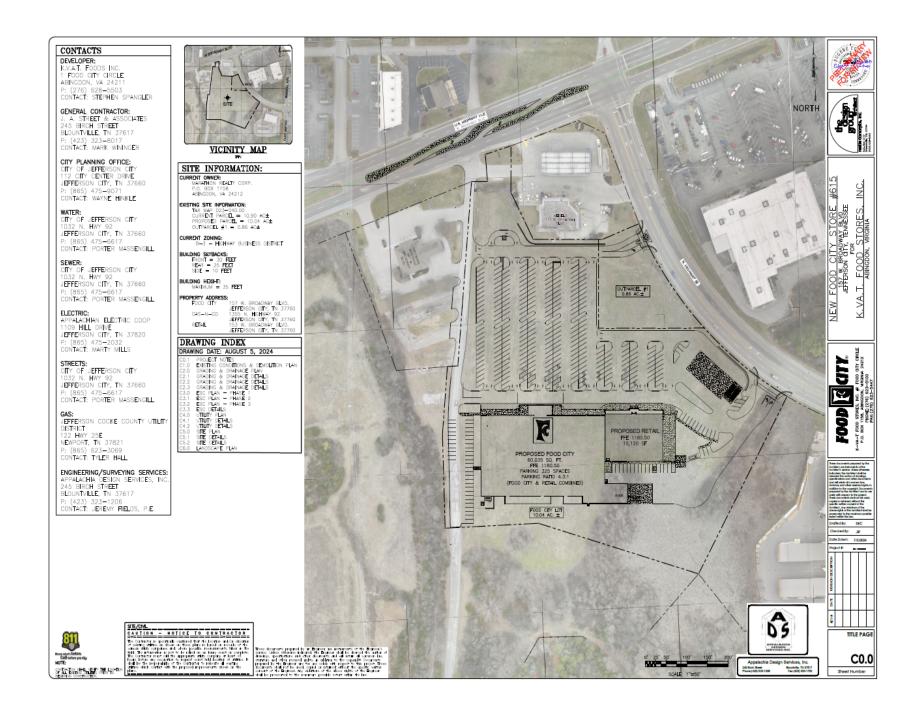
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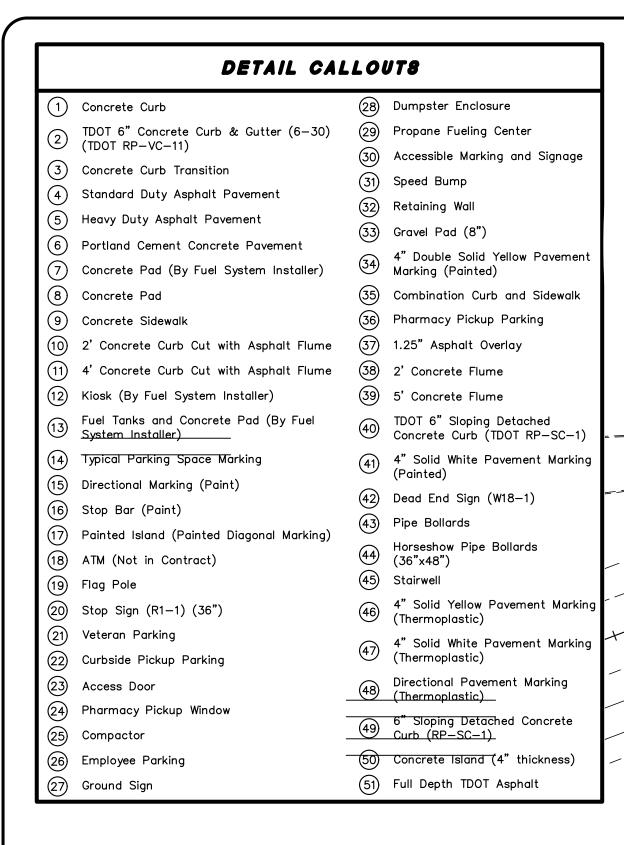
T. Clint Harrison, P.E.



Section 5, Item d.

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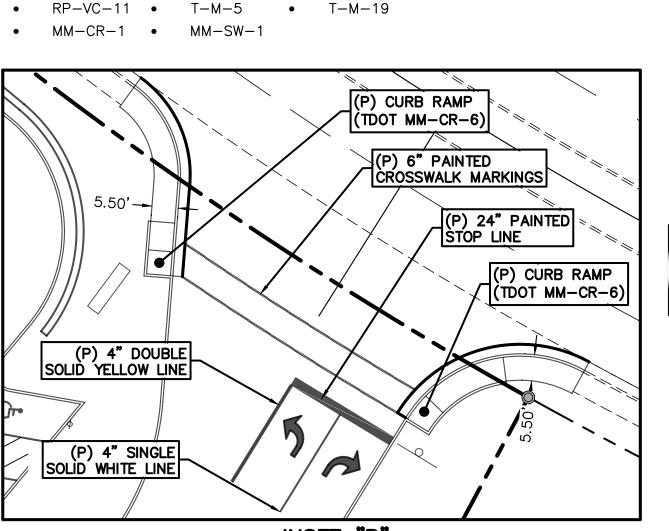




APPLICABLE TDOT STANDARD DRAWINGS

MM-CR-5 •

RP-SC-1



RP-DHO-2

INSET "B" 1''=20'

PARKING RATIO CALCULATION

VEHICLE PARKING RATIO REQUIRED = 1 PER 200 SF OTAL BUILDING SQUARE FOOTAGE = 75,155 SF BUILDING RETAIL SQUARE FOOTAGE = 59,772 SF DTAL VEHICLE PARKING SPACES REQUIRED = 376 SPACES VEHICLE PARKING SPACES PROVIDED = 325PARKING RATIO PROVIDED = 1 PER 231 SF EHICLE CCESSIBLE SPACE REQUIRED (301 TO 400) = 8CCESSIBLE SPACE PROVIDED = 11

LEGEND		
► ► ► ► ► ► ► ► ► ► ► ► ► ► ► ► ► ► ►	CONCRETE SURFACE	
	EDGE OF CURB	
	EDGE OF SIDEWALK/CONCRETE	
	EDGE OF PAVEMENT	
-00	FENCE	
	OVERLAY/FULL DEPTH ASPHALT	
	FULL DEPTH ASPHALT	

PHASE 2 IMPROVEMENTS (CONTINGENT UPON AGREEMENT WITH ADJACENT PROPERTY OWNERS)

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CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.

SITE/CIVIL CAUTION - NOTICE TO CONTRACTOR The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans

