



Regional Planning Commission / Board of Zoning Appeals Meeting Agenda

April 28, 2025 at 5:30 PM

Jefferson City Municipal Building

- 1. Call to Order**
- 2. Approval of Minutes from Previous Meetings**
 - a. Minutes from 03 24 2025 Meeting
- 3. Citizen Comments (Citizens should state their name, address, and limit comments to five minutes.)**
- 4. Old Business**
- 5. New Business**
 - a. Jeff Miller - Plat Review/Approval for a 3 Lot Subdivide - Located in the Battle Ridge Subdivision
 - b. Larry Pinkston - Plat Review/Approval for 2 Lot Subdivide - Located off Forgety Rd.
 - c. Clint Harrison - Site Plan Review/ Approval for Outdoor Storage facility - Located off Highway 92 and Hinchey Hollow Rd.
 - d. Matt McQueen/ Crafted Milestone LLC - Site Plan Review/ Approval for a Two Parcel Subdivide into Eleven Additional Lots - Located in the Battle Ridge Subdivision
- 6. Other Items for Discussion**
 - a. Food City Entrance off Broadway Blvd.
 - b. May 2025 Regional Planning Commission Meeting moved to May 19th due to Holiday
- 7. Adjourn**

Minutes

Jefferson City Regional Planning Commission

March 24th, 2025

5:30 P.M.

Members' Present

Spencer Gatlin, Chairman

Mayor Cain

Vice Mayor Bunch

Jeff Chitwood, Secretary

Scott McMinn

Kyle Cutshaw

Others Present

Jeff Houston, Building Official

Will Kurtz, Codes Enforcement Officer

Mark Brown, Standard Banner

Libby Moser

James Gallup, City Manager

Ekem Amonoo-Lartsen, ETDD Planner

Eugene Coleman

Ryan Peirce

Glen Lichlyter

Stephanie Rustin, County Zoning

Chairman Gatlin called the meeting to order at 5:32 P.M. Motion by Mr. Chitwood, second by Mr. Cain to approve February 24th, 2025, Planning Commission minutes (unanimous).

Citizens Comments

None.

Old Business**Jeff Houston – Review/ Approval for TDOT Recommended ingress/ egress for the New Food City – Located Off Broadway Blvd. and N. Highway 92**

Initial Discussion centered around the entrance, possibly hampering development on the North side of E. Broadway Blvd. and the potential for people to exit through the Banks parking lot to be able to make a left turn onto Broadway Blvd. Mr. Cutshaw asked what impact this would have on Mossy Creek Mining Operations Access. Ms. Moser delivered a statement that they are not happy with it, and it would require them to make a primary ingress/ egress off Flat Gap Rd. and they are already having issues with people cutting through their Flat Gap Rd. thoroughfare to avoid the traffic at 84 Lumber which will also require them to gate their entrance. Mr. Cain questioned the option previously mentioned, having a Traffic Light installed at the median cut across from the Bank at Sizer Ave. and that being the entrance to Food City. Mr. Coleman stated that the light was always a phase two plan, and that Food City does not currently have the access rights needed from the Bank to proceed with that. The discussion then went back to the hampering of existing businesses and future developments. Mr. Amonoo-Lartsen spoke of a similar situation in Loudon where the neighboring interests and the City worked with TDOT engineering to best meet every affected Parties needs. With all the concerns mentioned, a motion to deny the proposed ingress/egress was made by Mr. Chitwood and a Second by Mr. Cain. The Item was Denied Unanimously.

Justin Cameron – Site Plan Review/ Approval for Shed Sales Location – Located in the B-3 District off Highway 11-E

This item was suspended from a previous meeting due to concerns over a TDOT approved ingress/ egress. Mr. Cameron did receive a concept approval from TDOT with the requirement that the entrance must be located at a minimum of one hundred feet away from the median opening. It was pointed out that the original plans do not show the entrance as required but will be installed per TDOT's requirement. Mr. Cain asked how the entrance will be designed with it entering a gravel parking lot. Mr. Houston stated that TDOT has requirements to how an entrance/ exit is designed and believed it to be a minimum of Thirty feet of distance of asphalt or concrete away from the highway to the gravel parking lot. Contingent upon the approval of a special exception during the Board of Zoning Appeals meeting, the item was approved unanimously, on a motion by Mr. McMinn and a second by Mr. Bunch.

Glen Lichlyter – Site Plan Review/ Approval for a Construction Office/ Shop – Located off Highway 11-E.

The discussion centered around the updated set of plans with the correct parking space sizing from 8' x 18' to the city required 9' x 19', and utilities are shown on the updated plans. The Flood Certification provided by the Tennessee State Licensed Engineer addresses the flood requirements set forth for areas with unmapped streams in the Floodplain Zoning Ordinance. The certification also indicates that the storage area for flood waters will be increased post development. With the plans and flood certification meeting all the Jefferson City Floodplain and Zoning Requirements a motion to approve is offered by Mr. Chitwood, and a second by Mr. Cutshaw. Mr. Bunch wanted to put forth his concern about the flooding potential and make note that even with the Certification from the Licensed engineer, he was not comfortable approving plans that could potentially increase flooding risk to neighboring properties. With a motion and a second being given a vote was taken. Five votes yes, one vote no, Motion passes.

New Business

Ryan Peirce – Plan Review/ Approval for an Addition to an Existing Building – Located off N. Highway 92 and Mt. Horeb Rd.

Mr. Peirce represented the item and stated there had been a slight change to the plans. The existing building will be demolished and replaced with a 108' x 60' building with a 24' loading dock. The building will be used as a cooler for produce. The new building will not encroach on the set-back requirements and is in conformance with all Zoning requirements. The item was approved unanimously on a motion by Mr. McMinn and a second by Mr. Bunch.

Jefferson County – Consider Resolution 2025-14. – A Resolution Amending the Zoning Resolution of Jefferson County, Tennessee to Reflect Certain Prohibited Uses and Permitted Uses in the A-1 and C-2 Zoning Districts.

Ms. Rustin explained that the resolution would remove campgrounds from the Counties A-1 Zoning District and allow it in the C-2 Zoning District. The primary discussion was how this could affect Jefferson City and its growth boundary. Mr. Gatlin asked for more clarification regarding the specific uses being removed from the A-1 Zoning District and how it seems this would restrict the use in the most desired areas for those uses. It would then place the uses to be allowed in the C-2 Zoning District, which generally doesn't correlate with the most appropriate areas for the uses. The commission agrees that this resolution could potentially limit future economic development in areas that would be desirable for the uses this resolution seeks to deny. With multiple concerns a Motion to deny was offered by Mr. Bunch and seconded by Mr. Chitwood. The item

was denied unanimously.

Adjourn

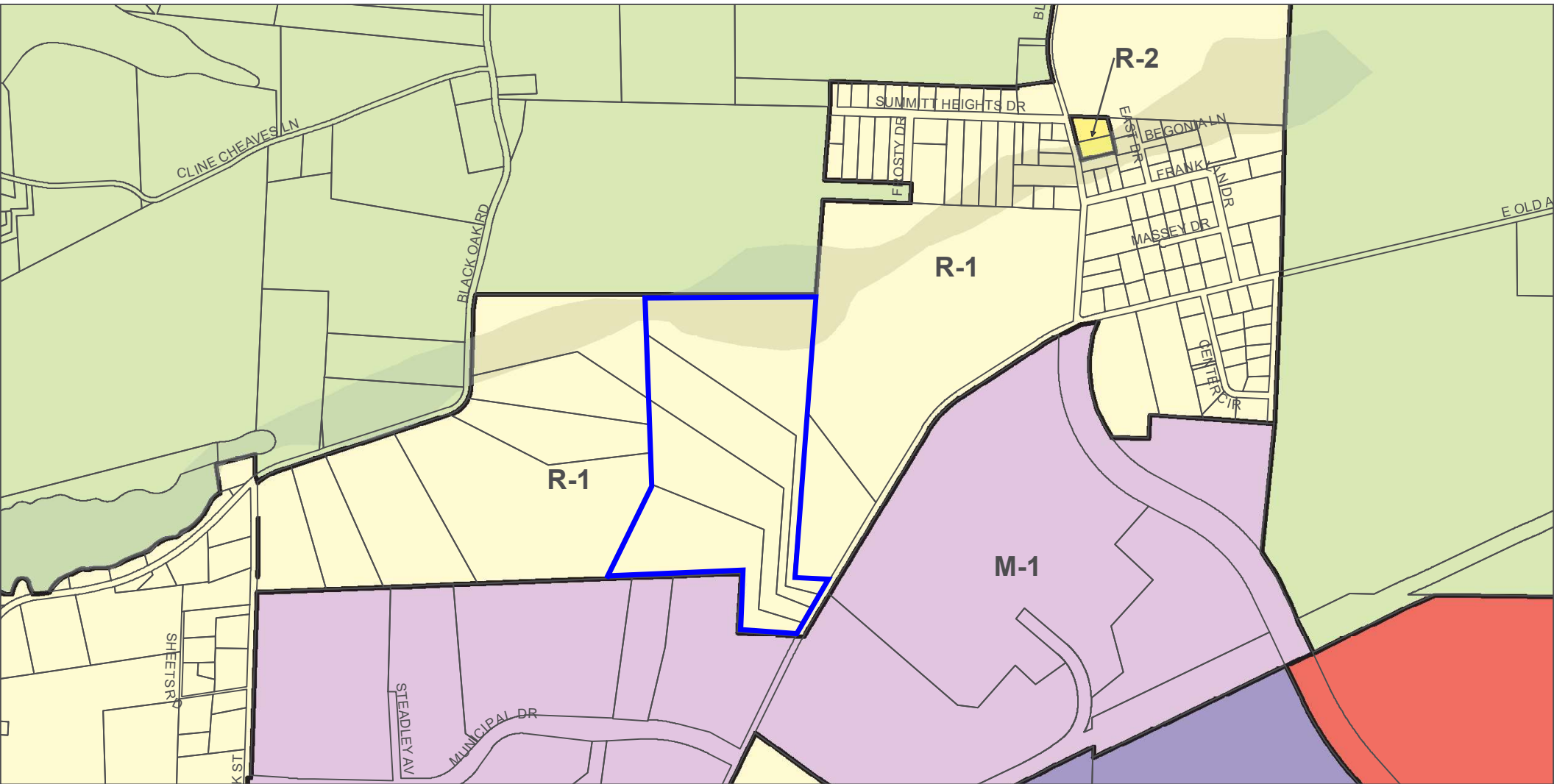
Having no further business, the meeting was adjourned at 6:23 P.M.



Select County...

Choose a County

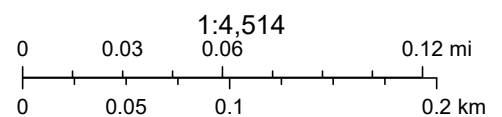






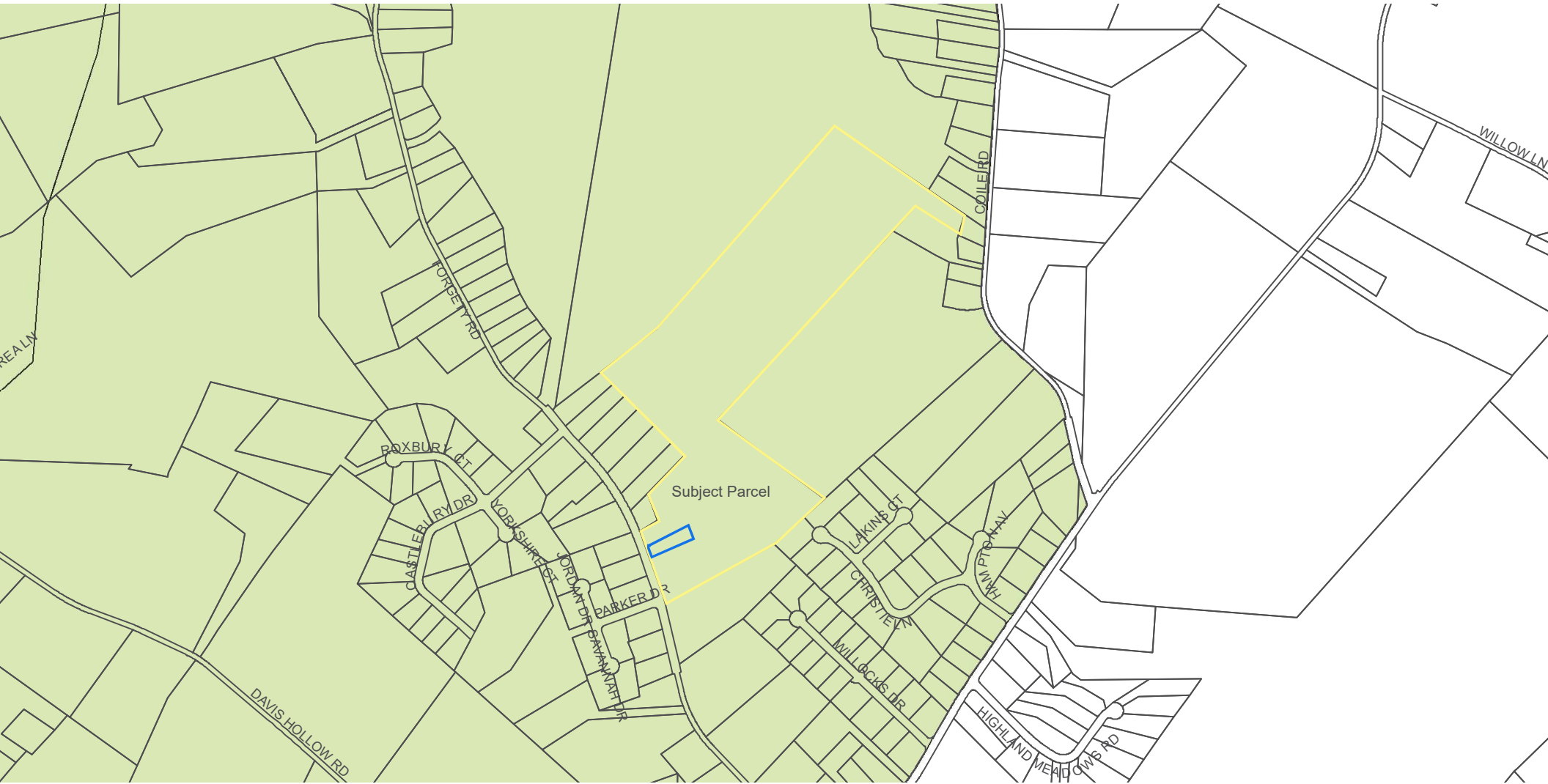
Date: April 15, 2025

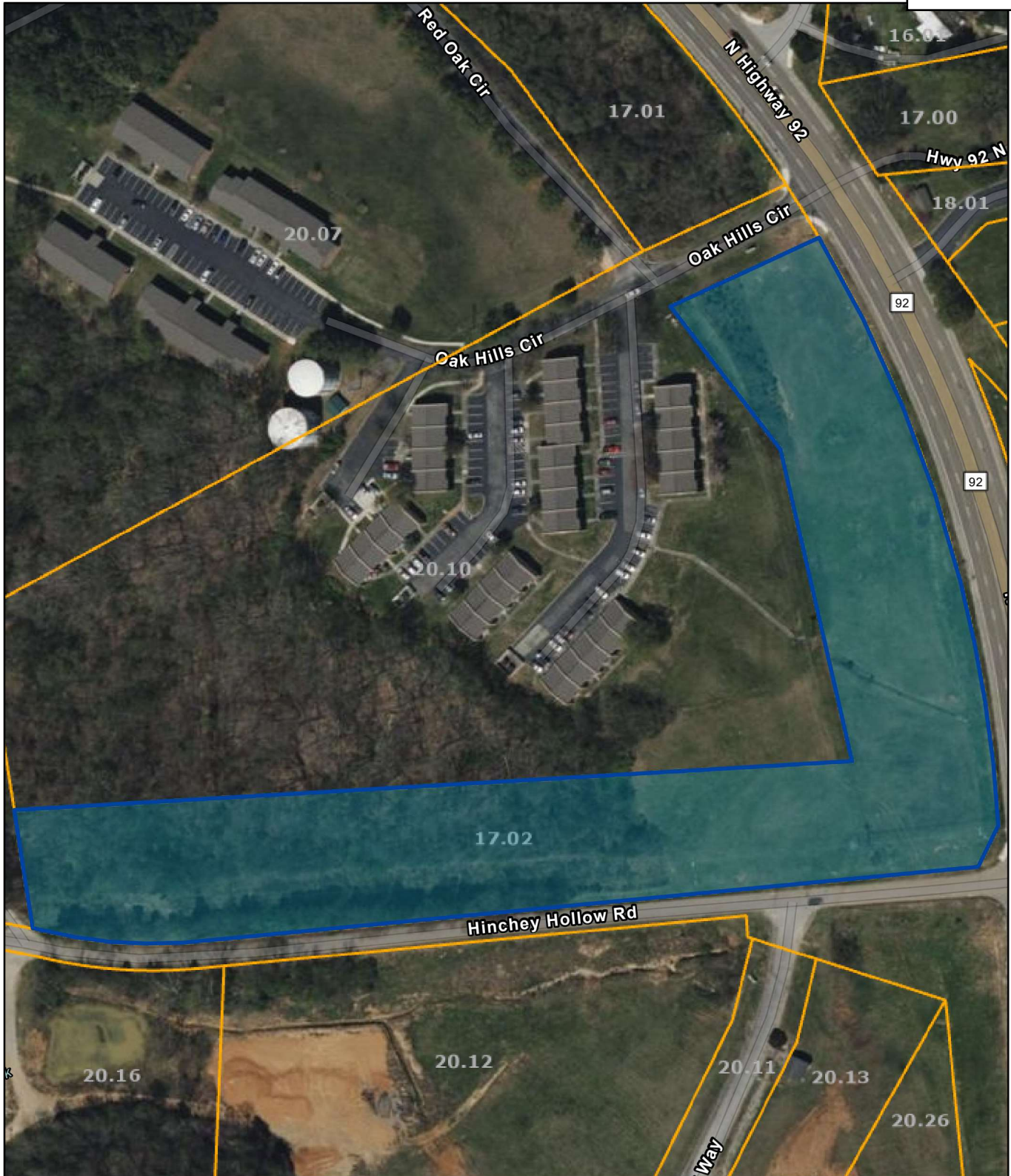
County: JEFFERSON
Owner: PINKSTON LARRY & KEENE DARRELL
Address: FORGETY RD
Parcel ID: 046 046.00
Deeded Acreage: 0
Calculated Acreage: 46
Vexcel Imagery Date: 2023



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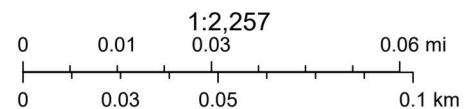
The property lines are compiled from information maintained by your local county Assessor's office but are not conclusive evidence of property ownership in any court of law.





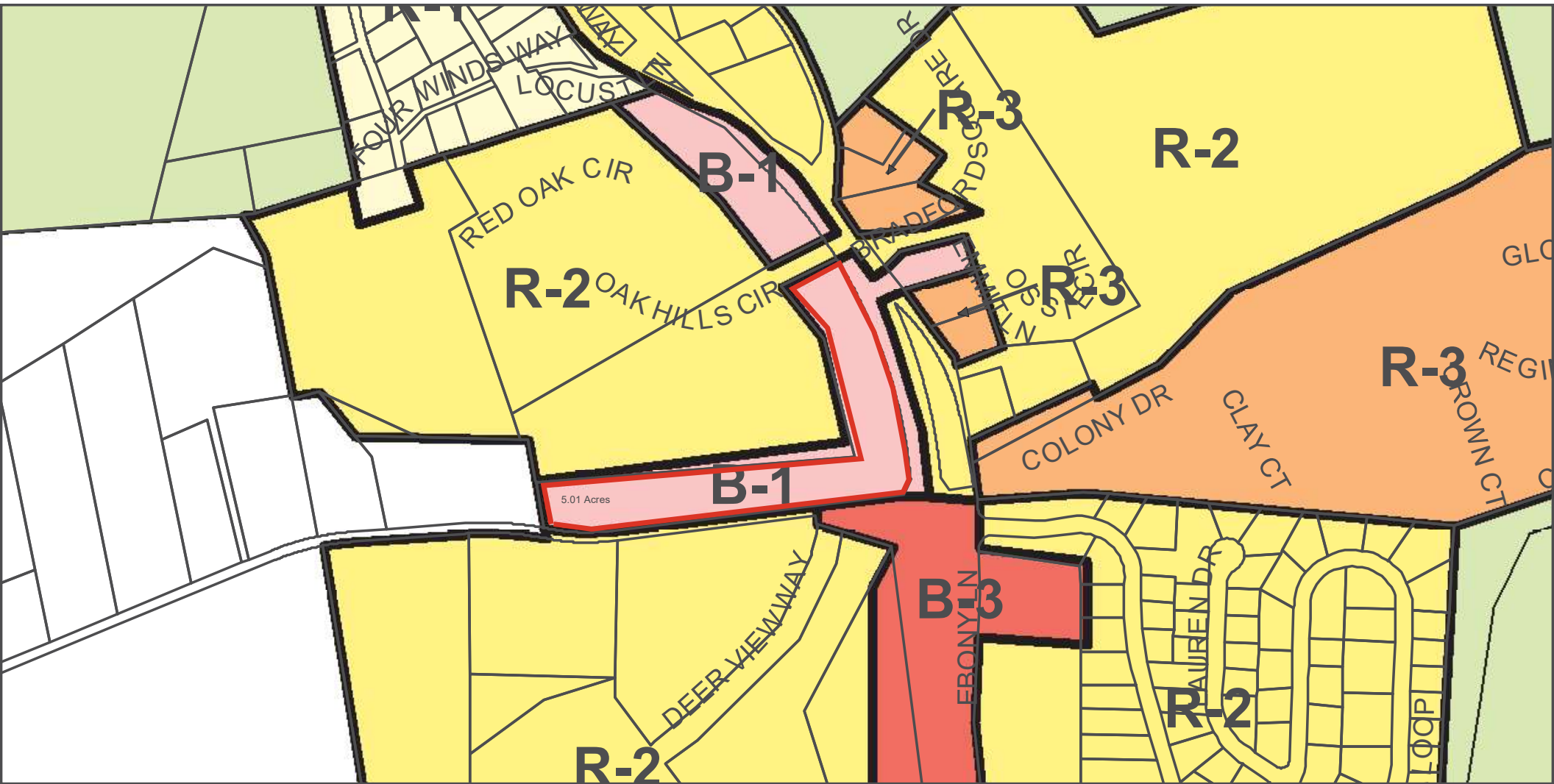
Date: October 16, 2024

County: Jefferson
 Owner: RASNICK RYAN & LAUREL
 Address: HWY 92 N
 Parcel Number: 035 017.02
 Deeded Acreage: 5.01
 Calculated Acreage: 0
 Date of TDOT Imagery: 2019
 Date of Vexcel Imagery: 2023



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MEMO

T. Clint Harrison, P.E.
Civil Engineer
5123 Bethesda Road
Morristown, TN 37814
Phone 423.277.1112
charrisoneng@gmail.com

To: Jefferson City Planning Commission Members, State Planner and Jeff Houston, Jefferson City, TN

From: T. Clint Harrison, P.E.

Date: April 1, 2025

RE: Ryan Rasnick site plan

I'm writing to provide information regarding drainage at the proposed storage building site on Highway 92 as shown on my submitted site plan.

The owner proposes to only install 2 new storage buildings on the site. Future buildings might be added, but for now, the small amount of new impervious and gravel area does not warrant a full stormwater facility design.

Approximately ½ acre will be disturbed with essentially all the disturbed area being stripping and compacting the area for the buildings and drive aisles. No mass grading is needed as the site grades are essentially at the elevation needed for construction.

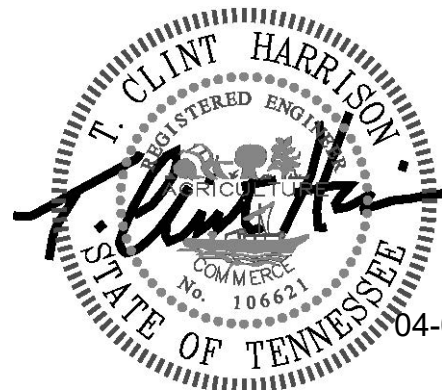
There is an existing, well established drainage ditch along Lot 2 near Hinchey Hollow Rd. that conveys stormwater from the subject Lot 3 to an existing storm inlet and storm pipe under Hinchey Hollow Road.

My recommendation is to keep the current drainage system in place for the two new buildings. If the owner proceeds with future buildings on this site, I would propose an updated design to include detention between Lots 2 and 3 to account for the new runoff generated from additional buildings.

Sincerely,



T. Clint Harrison, P.E.

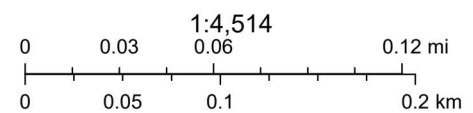


04-01-2025



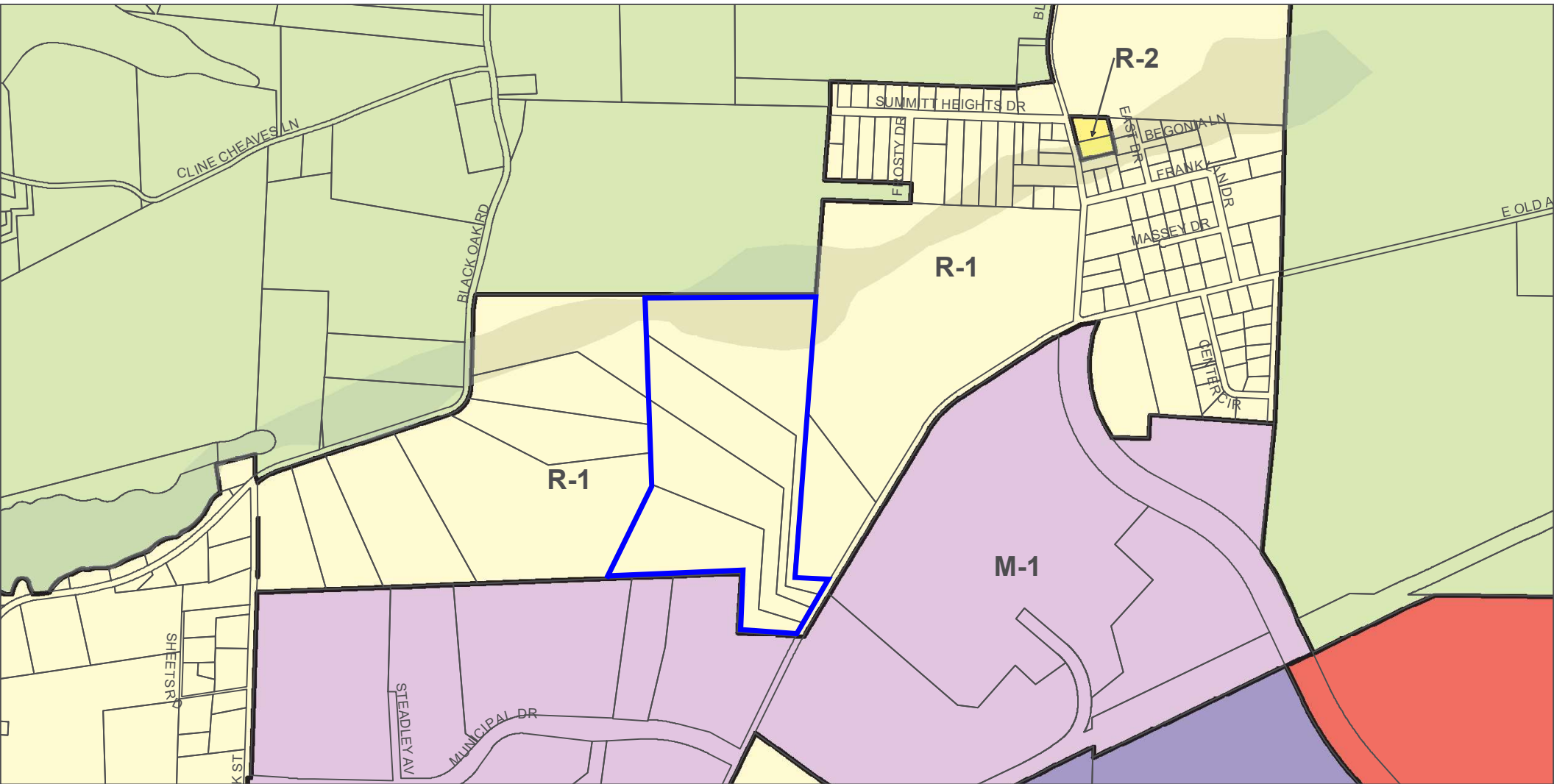
Date: August 19, 2024

County: Jefferson
 Owner: CRAFTED MILESTONE LLC
 Address: OLD A J HWY E
 Parcel Number: 015 014.16
 Deeded Acreage: 8.33
 Calculated Acreage: 0
 Date of TDOT Imagery: 2019
 Date of Vexcel Imagery: 2023



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LOCATION MAP N.T.S.



DRAWING INDEX

SHEET No.	LATEST SHEET TITLE	ISSUE DATE	LATEST REV DATE
C-0.1	EXISTING SURVEY & PHASE 1 - EROSION CONTROL PLAN (SWPPP)	04-07-2025	
C-1.0	PHASE 2- FINAL GRADING AND DRAINAGE PLAN (SWPPP)	04-07-2025	
C-2.0	SWPPP, GRADING, & DRAINAGE DETAIL SHEET	04-07-2025	
C-2.1	SITE SPECIFICATION SHEET	04-07-2025	
C-3.0	SITE LAYOUT & PAVING	04-07-2025	
C-4.0	SITE WATERLINE PLAN	04-07-2025	
C-5.0	SANITARY SEWER PLAN & PROFILE (LINE "A")	04-07-2025	
C-5.1	SANITARY SEWER DETAIL SHEET	04-07-2025	
C-6.0	ROAD PLAN & PROFILE	04-07-2025	

CONSTRUCTION AND EPSC PHASES :

1) CONTRACTOR SHALL FOLLOW INSTALLATION SEQUENCE SHOWN ON THE SWPPP SHEETS.

2) CONTRACTOR SHALL MAINTAIN CONSTRUCTION ENTRANCE AND BMPs AFTER EPSC MEASURES ARE INSTALLED.

3) COMMENCE WITH FINAL STABILIZATION AS SOON AS POSSIBLE.

4) WHEN APPLYING FOR THE GRADING PERMIT, THE CONTRACTOR SHALL NOTIFY THE CITY PUBLIC WORKS DEPARTMENT OF ANY WASTE OR BORROW SITES TO BE USED IN CONJUNCTION WITH SITE PREP FOR THIS SITE. ANY WASTE OR BORROW SITES TO BE USED MUST BE PROPERLY PERMITTED AND BE CITY APPROVED SITES. NOTICES OF COVERAGE AND OTHER DOCUMENTATION WILL BE REQUIRED TO VERIFY REQUESTS FOR USE OF WASTE OR BORROW SITES.

EXISTING	PROPOSED	DESCRIPTION
SB	SB	SETBACK
---	---	PROPERTY LINES
---	SF	SILT FENCE

EXISTING	PROPOSED	DESCRIPTION
1200	1200	CONTOUR
100 +	100	SPOT GRADE
→	→	STORM SEWER
CBE	CB	CATCH BASIN
CIE	C	CURB INLET
HWE	HW	CONCRETE HEADWALL
	IP-SF	SILT FENCE INLET PROTECTION

EXISTING	PROPOSED	DESCRIPTION
GE	G	GAS
WE-xin xxx	W-xxin xxx	WATER
SE-xin xxx	SAN-xxin xx	GRAVITY SANITARY SEWER
OHU-EX	OHU	OVERHEAD UTILITIES
OHE-EX	OHE	OVERHEAD ELECTRIC
FHE	FH	FIRE HYDRANT
WM	WM	WATER METER
WV	WV	WATER VALVE
GM	GM	GAS METER
GV	GV	GAS VALVE
MH	MH	SANITARY MANHOLE
PP	PP	POWER POLE

EROSION CONTROL NOTES

A SPECIFIC INDIVIDUAL SHALL BE DESIGNATED TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS ON EACH SITE.

EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE EARTH MOVING OPERATIONS BEGIN AND MUST BE CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORK DAY, BUT MUST BE REPLACED AT THE END OF THE WORK DAY.

--PERMANENT OR TEMPORARY SOIL STABILIZATION MUST BE APPLIED TO DISTURBED AREAS TO THE EXTENT FEASIBLE WITHIN SEVEN DAYS (IN AREAS THAT WILL REMAIN UNFINISHED FOR MORE THAN THIRTY (30) CALENDAR DAYS.

--TO THE EXTENT NECESSARY, SEDIMENT IN RUNOFF WATER MUST BE TRAPPED BY THE USE OF DEBRIS BASINS, SEDIMENT BASINS, SILT TRAPS OR SIMILAR MEASURES UNTIL THE DISTURBED AREA IS STABILIZED.

--ALL CONTROL MEASURES SHALL BE CHECKED, AND REPAIRED AS NECESSARY, WEEKLY IN DRY PERIODS AND WITHIN 24 HOURS AFTER ANY RAINFALL OF 0.5 INCHES WITHIN A 24 HOUR PERIOD. DURING PROLONGED RAINFALL, CHECK MEASURES DAILY AND REPAIR AS NECESSARY.

EXISTING	PROPOSED	DESCRIPTION
CC	CC	CURB CUT
C1	C1	CURB INLET
CS	CS	CONCRETE SWALE
DS	DS	DRAINAGE
HW	HW	PRECAST HEADWALL
RGA	RGA	RIP RAP APRON
TC	TC	TEMPORARY CONSTRUCTION ENTRANCE
CD	CD	STONE CHECK DAM
JB	JB	JUNCTION BOX
TB	TB	TEMPORARY SEDIMENT TRAP

PHASING NOTES:

1. ONCE THE SITE IS STABILIZED, TEMPORARY BMP CONTROLS SHOWN IN PHASES 1-2 CAN BE REMOVED.

2. AS A LAST LINE OF PROTECTION, LEAVE SILT FENCE IN PLACE AS LONG AS PRACTICAL.

GRADING AND STORMWATER NOTES:

1. CURB INLETS, JUNCTION BOXES and CATCH BASINS TO HAVE BOUCHARD NUMBER FRAME AND GRATES AS SPECIFIED IN THE SCHEDULE OR APPROVED EQUAL.

2. STORM SEWER CALCULATIONS WERE BASED ON SPECIFIC PIPE MATERIALS AND ROUGHNESS COEFFICIENTS. ENGINEER MUST BE CONTACTED IF CONTRACTOR WISHES TO USE PIPE MATERIAL DIFFERENT THAN SHOWN.

3. FOR SLOPES GREATER THAN 3:1, SEE STABILIZATION REQUIREMENTS IN EXCAVATION AND GRADING NOTES ON C-2.1, "EROSION CONTROL" SECTION.

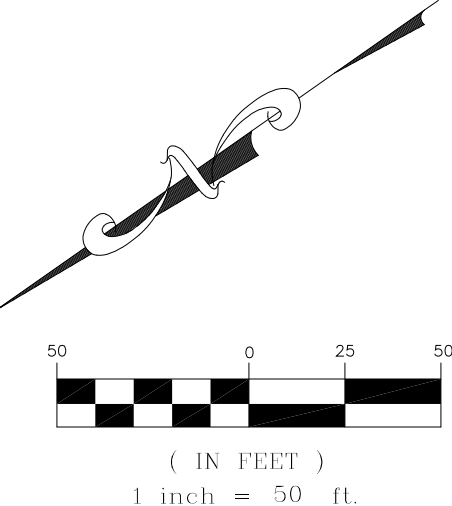
4. IN ALL CASES, AREAS SURROUNDING A CURB INLET OR CATCH BASIN IS INTENDED TO DRAIN SURFACE RUNOFF FROM THE AREA AND AS SUCH, THE STORM STRUCTURE SHALL BE THE LOWEST POINT.

5. ALL EMBANKMENTS SHALL BE 2:1 SLOPES UNLESS NOTED OTHERWISE.

6. CURRENT E&S HANDBOOK SHALL BE USED FOR THE PROJECT AND THE TNGDP TRACKING NO. IS TNR

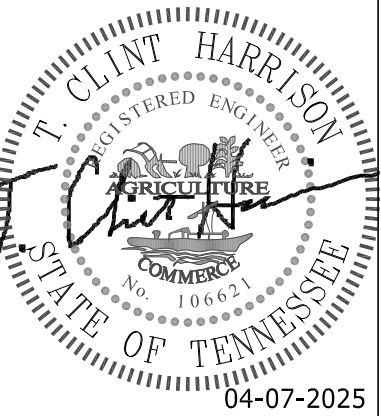
EROSION CONTROL LEGEND	
TM	TEMPORARY MULCH W/SEEDING
CE	CONSTRUCTION ENTRY/EXIT
GR	GRAVEL / STONE PAD
SF	SILT FENCE
SD	SLOPE DRAIN
TSD	TEMP. SEDIMENT BASIN
PS	PERMANENT SEEDING W/ MULCH
IP	INLET PROTECTION - RRA
CD	CHECK DAM
TST	TEMP. SEDIMENT TRAP
MA	EROSION CONTROL MATTING
WB	WATER BAR
DB	DIVERSION BERM
OP	OUTLET PROTECTION - RRA
SFR	STONE FILTER RING

CONCRETE WASHOUT (TO BE MAINTAINED THROUGHOUT EACH PHASE OF CONSTRUCTION. (SEE DETAIL))



THIS IS TO CERTIFY THAT I HAVE EXAMINED THE FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD MAP AND FOUND THE SUBJECT PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA ACCORDING TO FEMA / FIRM MAP 470803003S DATED 12-16-08. THE SUBJECT PROPERTY IS IN "ZONE X"

TCH
T. CLINT HARRISON, P.E.
Civil Engineer -
5123 Bethesda Road
Morristown, TN 37814
ph. 423.277.1112
charrisoneng@gmail.com



PROJ NO. -
DWG FILE -
ISSUE DATE - 04-07-2025

REVISION HISTORY

CALL BEFORE YOU DIG!
1-800-351-1111

IN STATE LAW REQUIRES YOU CALL IF THERE IS EXCAVATION. FOR THE PURPOSE OF THE MOVEMENT, PLACEMENT OR REMOVAL OF ROCK, GRADING BY USE OF MECHANIZED EQUIPMENT, OR BY ANY MEANS OF EXCAVATION, INCLUDING ASBESTOS, BACKFILLING, EROSION, EROSION, DRILLING, GRADING, TRENCHING, PULLING-IN, RIPPING, SCRAPING, TRENCHING, AND TUNNELING.

A NEW SINGLE FAMILY RESIDENTIAL SUBDIVISION:
BATTLE RIDGE PHASE II
BATTLE RIDGE
JEFFERSON CITY, TENNESSEE
OWNER: CRAFTED MILESTONE, LLC

EXISTING SURVEY
and PHASE 1 EROSION
CONTROL PLAN (SWPPP)

C-0.1

LOCATION MAP N.T.S.



STORM SEWER SCHEDULE

GRATE # BY J. BOUCHARD	TOP OF CASTING	Structure I.D.	feet INVERT	Pipe Dia. (in)	Pipe Material	PIPE Length (ft)	Structure I.D.	feet INVERT	% SLOPE
3080	1149.14	CI-2	1146.00	18	HDPE	20	CI-4	1145.80	1.00%
3080	1149.06	CI-4	1145.70	18	HDPE	22	CI-8	1145.40	1.36%
3080	1149.06	CI-8	1145.30	18	HDPE	78	CI-10	1144.70	0.77%
3080	1150.80	CI-10	1142.33	18	HDPE	33	HW-12	1142.00	1.00%
3080	1149.14	CI-6	1146.00	18	HDPE	20	CI-8	1145.80	1.00%

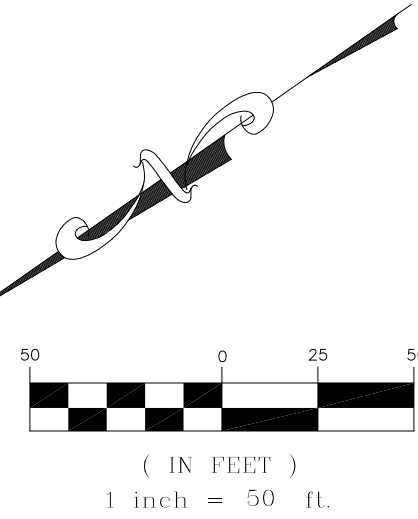
GRADING AND STORMWATER NOTES:

1. CURB INLETS, JUNCTION BOXES and CATCH BASINS TO HAVE BOUCHARD NUMBER FRAME AND GRATES AS SPECIFIED IN THE SCHEDULE OR APPROVED EQUAL.
2. STORM SEWER CALCULATIONS WERE BASED ON SPECIFIC PIPE MATERIALS AND ROUGHNESS COEFFICIENTS. ENGINEER MUST BE CONTACTED IF CONTRACTOR WISHES TO USE PIPE MATERIAL DIFFERENT THAN SHOWN.
3. FOR SLOPES GREATER THAN 3:1, SEE STABILIZATION REQUIREMENTS IN EXCAVATION AND GRADING NOTES ON C-2.1; "EROSION CONTROL" SECTION.
4. IN ALL CASES, AREAS SURROUNDING A CURB INLET OR CATCH BASIN IS INTENDED TO DRAIN SURFACE RUNOFF FROM THE AREA AND AS SUCH, THE STORM STRUCTURE SHALL BE THE LOWEST POINT.
5. ALL EMBANKMENTS SHALL BE 2:1 SLOPES UNLESS NOTED OTHERWISE.
6. CURRENT E&S HANDBOOK SHALL BE USED FOR THE PROJECT AND THE TNGDP TRACKING NO. IS TNR

EROSION CONTROL LEGEND

- TM TEMPORARY MULCH W/SEEDING
- CE CONSTRUCTION ENTRY/EXIT
- GR GRAVEL / STONE PAD
- SF SILT FENCE
- SD SLOPE DRAIN
- TSB TEMP. SEDIMENT BASIN
- PS PERMANENT SEEDING W/ MULCH
- IP INLET PROTECTION - RRA
- CD CHECK DAM
- TST TEMP. SEDIMENT TRAP
- MA EROSION CONTROL MATTING
- WB WATER BAR
- DB DIVERSION BERM
- OP OUTLET PROTECTION - RRA
- SFR STONE FILTER RING

CONCRETE WASHOUT (TO BE MAINTAINED THROUGHOUT EACH PHASE OF CONSTRUCTION. (SEE DETAIL)



CONSTRUCTION AND EPSC PHASES :

- 1) CONTRACTOR SHALL INSTALL EPSC ITEMS SHOWN ON PREVIOUS SHEETS AND THIS SHEET BEFORE COMMENCING GRADING THE REST OF THE SITE.
- 2) CONTRACTOR SHALL MAINTAIN CONSTRUCTION ENTRANCE AND BMPs AFTER EPSC MEASURES ARE INSTALLED.
- 3) ONCE ALL ADDITIONAL EPSC MEASURES ARE INSTALLED PER THIS SHEET AND PERMIT IS ISSUED, CONTRACTOR CAN COMMENCE EXCAVATING FOR THE SPOIL SITE.
- 4) COMMENCE WITH FINAL STABILIZATION AS SOON AS POSSIBLE.

5) UNLESS NOTED OTHERWISE, ALL DISTURBED AREAS NOT COVERED WITH PAVING OR OTHER HARD SURFACE SHALL RECEIVE MIN. 5" TOPSOIL WITH MATTING or FESCUE SEED.

6) DRAINAGE FACILITIES FOR STORMWATER DETENTION ARE ACCOUNTED FOR THE IN STORMWATER BASINS DESIGNED AND CONSTRUCTED DURING PHASE I OF BATTLE RIDGE.

EXISTING	PROPOSED	DESCRIPTION
SB	SB	SETBACK
---	---	PROPERTY LINES
---	SF	SILT FENCE

EXISTING	PROPOSED	DESCRIPTION
1200	1200	CONTOUR
100 +	100	SPOT GRADE
→	→	STORM SEWER
CBE	CB	CATCH BASIN
CIE	CI	CURB INLET
HWE	HW	CONCRETE HEADWALL
	IP-SF	SILT FENCE INLET PROTECTION

EXISTING	PROPOSED	DESCRIPTION
GE	G	GAS
WE-xin xxx	W-xxin xxx	WATER
SE-xin xxx	SAN-xxin xx	GRAVITY SANITARY SEWER
OHU-EX	OHU	OVERHEAD UTILITIES
OHE-EX	OHE	OVERHEAD ELECTRIC
FHE	FH	FIRE HYDRANT
WM	WM	WATER METER
WV	WV	WATER VALVE
GM	GM	GAS METER
GV	GV	GAS VALVE
MH	MH	SANITARY MANHOLE
PP	PP	POWER POLE

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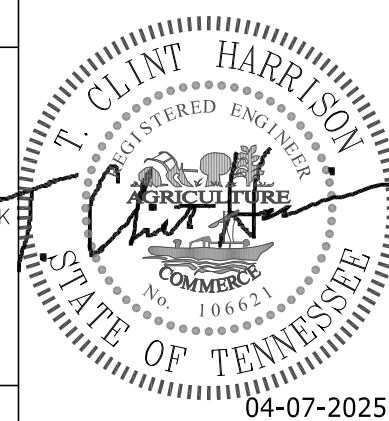
CONSTRUCTION AND DRAINAGE EROSION CONTROL DETAIL

ITEM	DESCRIPTION	REFERENCE
CC-1	CURB CUT	*OPENING WIDTH
CI	CURB INLET	*SCALE LENGTH
CS-1	CONCRETE SWALE	*SCALE LENGTH
DS	DRAINAGE	
HW	PRECAST HEADWALL	
RAP	RIP RAP APRON	*APRON LENGTH
TC	TEMPORARY CONSTRUCTION ENTRANCE	
CD	STONE CHECK DAM	
JB	JUNCTION BOX	
TST	TEMPORARY SEDIMENT TRAP	

PHASING NOTES:

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Civil Engineer -
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PROJ NO. -
DWG FILE -
ISSUE DATE - 04-07-2025

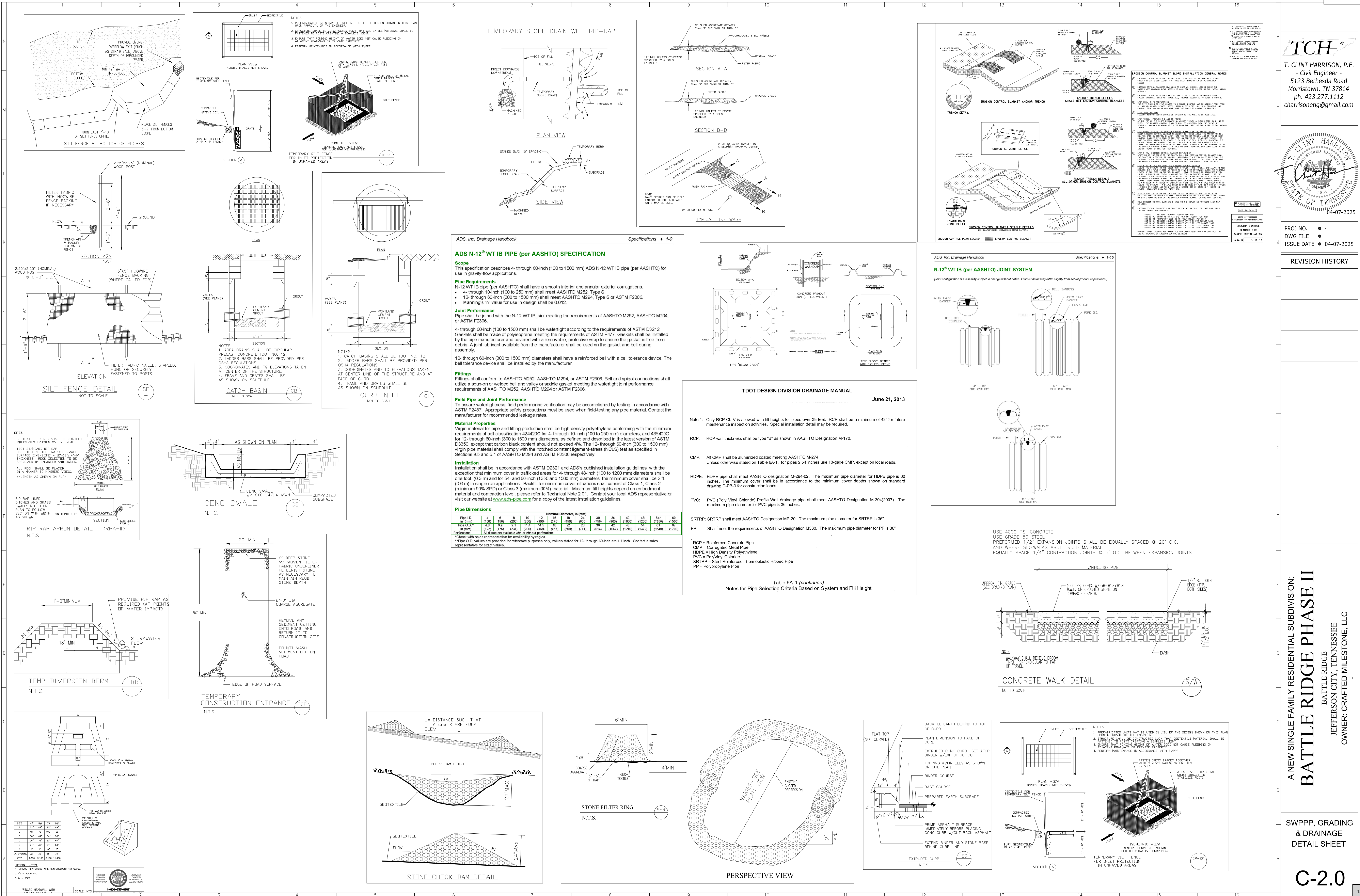
REVISION HISTORY

CALL BEFORE YOU DIG!
1-800-351-1111

A NEW SINGLE FAMILY RESIDENTIAL SUBDIVISION:
BATTLE RIDGE PHASE II
BATTLE RIDGE
JEFFERSON CITY, TENNESSEE
OWNER: CRAFTED MILESTONE, LLC

PHASE 2- FINAL
GRADING & DRAINAGE
PLAN (SWPPP)

C-1.0



TCH

T. CLINT HARRISON, P.E.
Civil Engineer -
5123 Bethesda Road
Morristown, TN 37814
ph. 423.277.1112
charrisoneng@gmail.com



PROJ NO. -
DWG FILE -
ISSUE DATE - 04-07-2025

REVISION HISTORY

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	04-07-2025

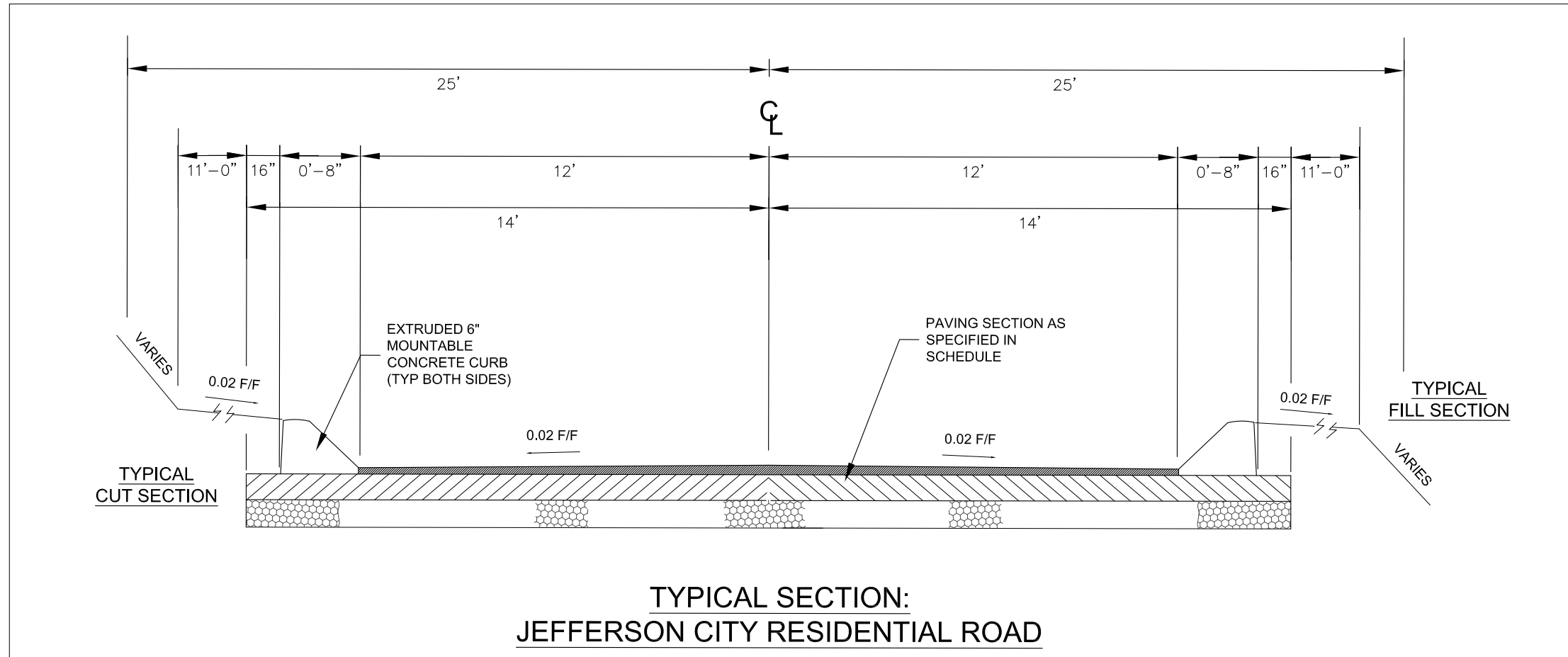
A NEW SINGLE FAMILY RESIDENTIAL SUBDIVISION:
BATTLE RIDGE PHASE II
BATTLE RIDGE
JEFFERSON CITY, TENNESSEE
OWNER: CRAFTED MILESTONE, LLC

SWPPP, GRADING
& DRAINAGE
DETAIL SHEET

C-2.0

[illegible]

LOCATION MAP N.T.S.



TYPICAL SECTION:
JEFFERSON CITY RESIDENTIAL ROAD

LINE TYPE LEGEND		
EXISTING	PROPOSED	DESCRIPTION
—SB—SB—	—SB—SB—	SETBACK
---	---	PROPERTY LINES
---	---	SILT FENCE

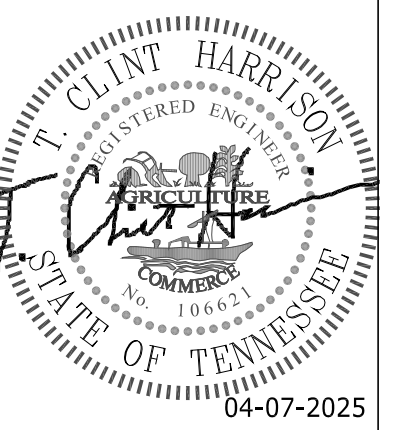
PAVING MATERIALS SCHEDULE

THICKNESS	TYPE
PAVING SCHEDULE	
BASE LIFT 1	6" MINERAL AGGREGATE BASE COURSE, TYPE A
ASPHALTIC BINDER	2" BITUMINOUS BINDER COURSE, GRADE B-M
ASPHALTIC TOPPING	1.5" BITUMINOUS CONCRETE SURFACE COURSE
PRIME COAT	0.25 GAL PER SQ. YD. OVER TOP BASE LIFT
TACK COAT	0.05 - 0.10 GAL PER SQ. YD.

GRADING PLAN LEGEND		
EXISTING	PROPOSED	DESCRIPTION
1200	1200	CONTOUR
100 +	100	SPOT GRADE
→	→	STORM SEWER
CBE □	CB ■	CATCH BASIN
CIE □	C1 ■	CURB INLET
HWE V	HW V	CONCRETE HEADWALL
	IP-SF ■	SILT FENCE INLET PROTECTION

UTILITY PLAN LEGEND		
EXISTING	PROPOSED	DESCRIPTION
GE—GE—	G—G—	GAS
WE—xin xxx	W—xxin xxx	WATER
SE—xin xxx	SAN—xxin xx	GRAVITY SANITARY SEWER
OHU—EX	OHU—OHU	OVERHEAD UTILITIES
OHE—EX	OHE—OHE	OVERHEAD ELECTRIC
FHE	FH	FIRE HYDRANT
WM	WM	WATER METER
WV	WV	WATER VALVE
GM	GM	GAS METER
GV	GV	GAS VALVE
MH	MH	SANITARY MANHOLE
PP	PP	POWER POLE

TCH
T. CLINT HARRISON, P.E.
Civil Engineer -
5123 Bethesda Road
Morristown, TN 37814
ph. 423.277.1112
charrisoneng@gmail.com



PROJ. NO. -
DWG. FILE -
ISSUE DATE 04-07-2025

REVISION HISTORY

A NEW SINGLE FAMILY RESIDENTIAL SUBDIVISION:
BATTLE RIDGE PHASE II
BATTLE RIDGE
JEFFERSON CITY, TENNESSEE
OWNER: CRAFTED MILESTONE, LLC

SITE LAYOUT &
PAVING
PLAN

C-3.0

LOCATION MAP N.T.S.

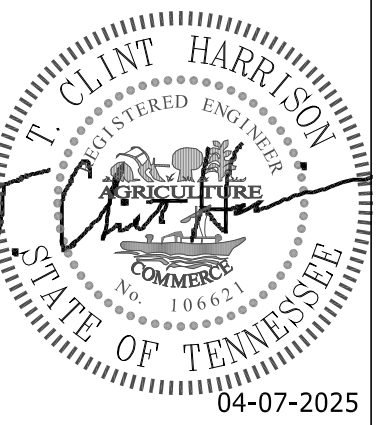


LINE TYPE LEGEND		
EXISTING	PROPOSED	DESCRIPTION
—SB—SB—		SETBACK
---		PROPERTY LINES
	—SF—SF—	SILT FENCE

GRADING PLAN LEGEND		
EXISTING	PROPOSED	DESCRIPTION
—1200—	—1200—	CONTOUR
100 +	100 •	SPOT GRADE
→	→	STORM SEWER
CBE □	CB ■	CATCH BASIN
CIE □	C1 ■	CURB INLET
HWE ∩	HW ∩	CONCRETE HEADWALL
	■	SILT FENCE INLET PROTECTION

UTILITY PLAN LEGEND		
EXISTING	PROPOSED	DESCRIPTION
GE—GE—	G—G—	GAS
WE—xin xxx	W—xxin xxx	WATER
SE—xin xxx	SAN—xxin xx	GRAVITY SANITARY SEWER
OHU—EX	OHU—OHU	OVERHEAD UTILITIES
OHE—EX	OHE—OHE	OVERHEAD ELECTRIC
FHE	FH	FIRE HYDRANT
WM	WM	WATER METER
WV	WV	WATER VALVE
GM	GM	GAS METER
GV	GV	GAS VALVE
MH	MH	SANITARY MANHOLE
PP	PP	POWER POLE

TCH
T. CLINT HARRISON, P.E.
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Morristown, TN 37814
ph. 423.277.1112
charrisoneng@gmail.com



PROJ. NO. -
DWG. FILE -
ISSUE DATE 04-07-2025

REVISION HISTORY

CAUTION - NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ELUCIDATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

CALL BEFORE YOU DIG!
1-800-351-1111
TENNESSEE ONE-CALL SYSTEM, INC.
IN STATE LAW REQUIRES YOU CALL IF THERE IS EXCAVATION. FOR THE PURPOSE OF THE MOVEMENT, PLACEMENT OR REMOVAL OF ROCK, EARTH OR OTHER MATERIALS IN OR ON THE GROUND BY USE OF MECHANIZED EQUIPMENT, INCLUDING ASBESTOS, BACKFILLING, DREDGING, BOTTING, DRILLING, GRADING, TRENCHING, PULLING-IN, RIPPING, SCRAPING, TRENCHING, AND TUNNELING.

A NEW SINGLE FAMILY RESIDENTIAL SUBDIVISION:
BATTLE RIDGE PHASE II
BATTLE RIDGE
JEFFERSON CITY, TENNESSEE
OWNER: CRAFTED MILESTONE, LLC

SITE
WATERLINE
PLAN

C-4.0



PROJ NO. ● -
DWG FILE ●
ISSUE DATE ● 04-07-2025

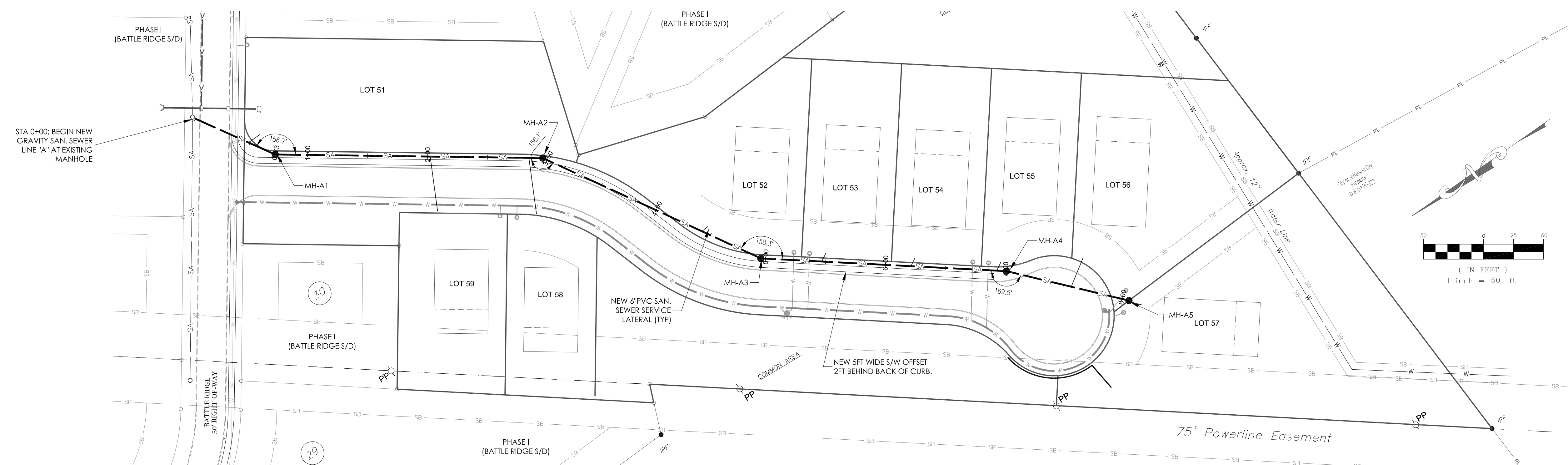
REVISION HISTORY

CALL BEFORE YOU DIG!
1-800-351-1111
 =====
 TENNESSEE ONE-CALL SYSTEM, INC.
 =====
 TN STATE LAW REQUIRES YOU CALL IF THERE
 IS EXCAVATION...FOR THE PURPOSE OF
 THE MOVEMENT, PLACEMENT OR REMOVAL OF ROCK,
 EARTH OR OTHER MATERIALS; OR ON THE
 GROUND BY USE OF MECHANIZED EQUIPMENT,
 OR BY DISCHARGE OF EXPLOSIVES, AND
 INCLUDING AUGERING, BACKFILLING, DIGGING,
 BITCHING, DRILLING, GRADING, PLOWING-IN,
 PULLING-IN, RIPPING, SCRAPING, TRENCHING,
 AND TUNNELING.
 =====

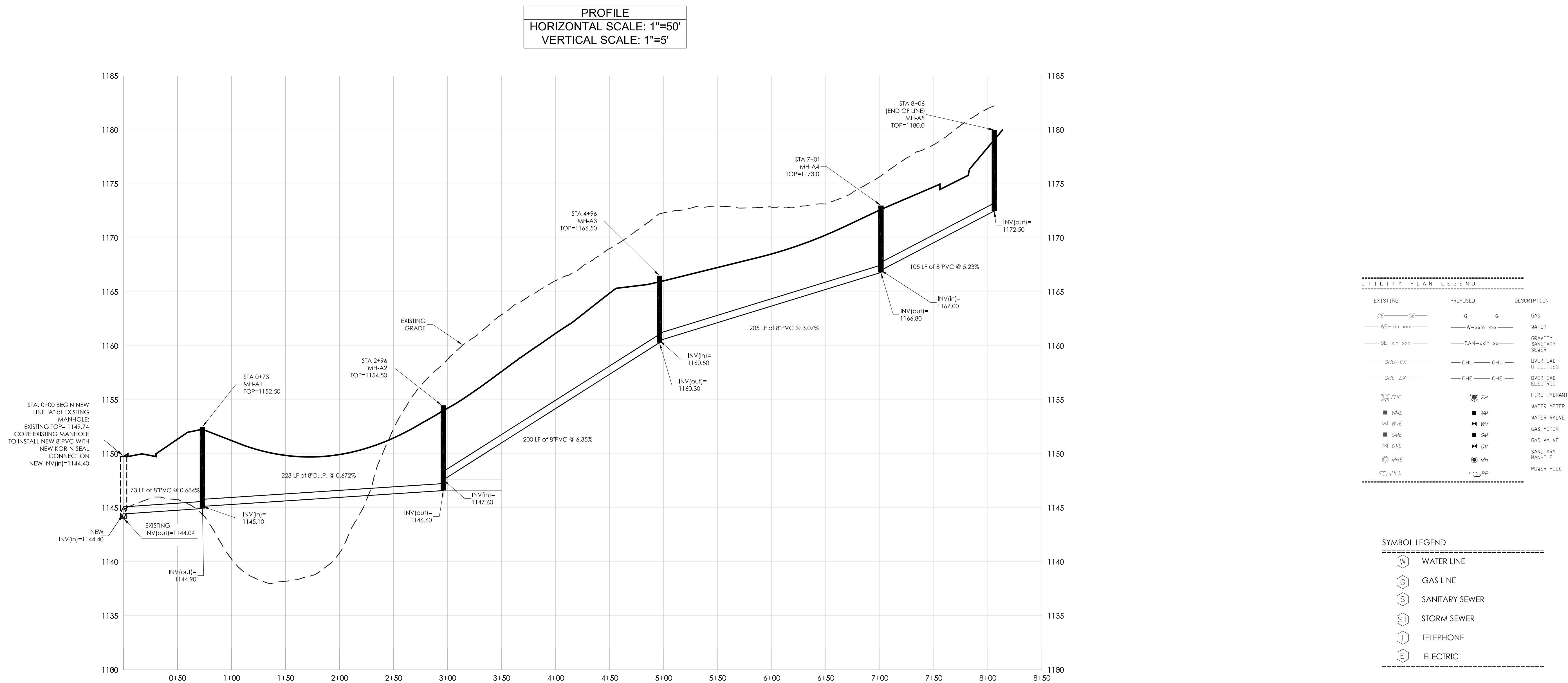
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BATTLE RIDGE
JEFFERSON CITY, TENNESSEE
OWNER: CRAFTED MILESTONE, LLC

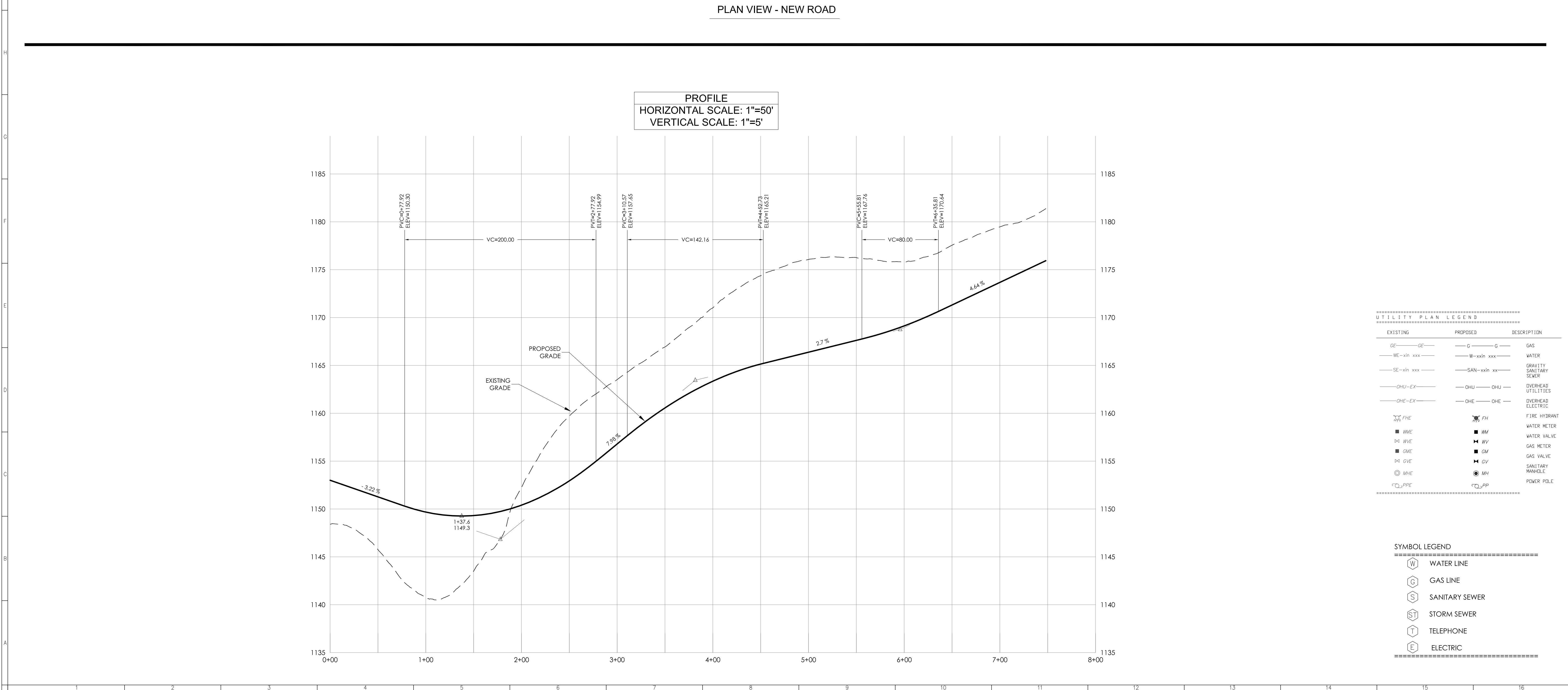
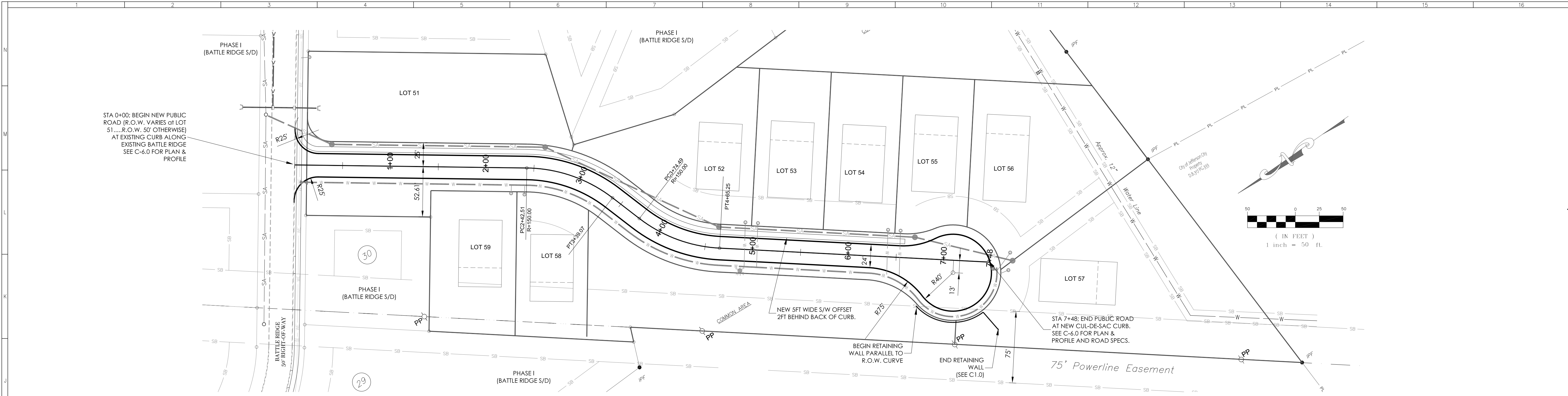
SANITARY SEWER
PLAN & PROFILE
LINE "A"

C-5.0



PLAN VIEW - PROPOSED SEWER LINE "A"





UTILITY PLAN LEGEND		
EXISTING	PROPOSED	DESCRIPTION
GE—xin xxx	G—xin G	GAS
WE—xin xxx	W—xin xxx	WATER
SE—xin xxx	SAN—xin xx	GRAVITY SANITARY SEWER
OHU—EX	OHU—OHU	OVERHEAD UTILITIES
OHE—EX	OHE—OHE	OVERHEAD ELECTRIC
FH	FH	FIRE HYDRANT
WM	WM	WATER METER
WM	WM	WATER VALVE
GM	GM	GAS METER
GM	GM	GAS VALVE
MH	MH	SANITARY MANHOLE
PP	PP	POWER POLE

SYMBOL LEGEND	
W	WATER LINE
G	GAS LINE
S	SANITARY SEWER
ST	STORM SEWER
T	TELEPHONE
E	ELECTRIC

T. CLINT HARRISON, P.E.
Civil Engineer
5123 Bethesda Road
Morristown, TN 37814
ph. 423.277.1112
charrisoneng@gmail.com

PROJ NO. -
DWG FILE -
ISSUE DATE 04-07-2025

REVISION HISTORY

CAUTION - NOTICE
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CALL BEFORE YOU DIG!
1-800-351-1111

TENNESSEE ONE-CALL SYSTEM, INC.
IN STATE LAW REQUIRES YOU CALL IF THERE IS EXCAVATION. FOR THE PURPOSE OF THE MOVEMENT, PLACEMENT OR REMOVAL OF ROCKS, EARTH OR OTHER MATERIALS IN OR ON THE GROUND BY USE OF MECHANIZED EQUIPMENT, OR BY ANY OTHER MEANS OR METHODS, INCLUDING ASBESTOS, BACKFILLING, DREDGING, BULKING, DRILLING, GRADING, PILING-IN, PULLING-IN, RIPPING, SCRAPING, TRENCHING, AND TUNNELING.

A NEW SINGLE FAMILY RESIDENTIAL SUBDIVISION:
BATTLE RIDGE PHASE II
BATTLE RIDGE
JEFFERSON CITY, TENNESSEE
OWNER: CRAFTED MILESTONE, LLC

ROAD
PLAN & PROFILE

C-6.0

MEMO

T. Clint Harrison, P.E.
Civil Engineer
5123 Bethesda Road
Morristown, TN 37814
Phone 423.277.1112
charrisoneng@gmail.com

To: Jefferson City Planning Commission Members, State Planner and Jeff Houston, Jefferson City, TN

From: T. Clint Harrison, P.E.

Date: April 15, 2025

RE: Battle Ridge PHASE II

I'm writing to provide information regarding drainage at the proposed Battle Ridge Phase II as shown on my submitted site plan.

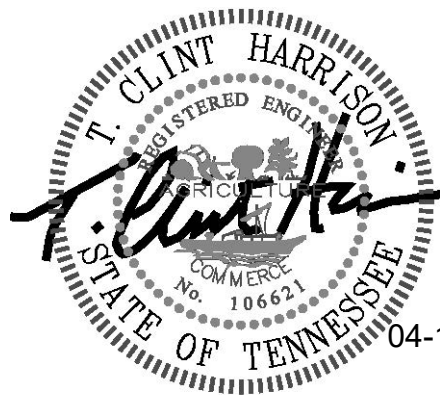
All of the runoff from Phase II enters the existing drainage system that was designed and installed as part of Battle Ridge Phase I.

Phase I drainage calculations apply to this part of the property for the proposed Phase II addition. Construction of the Phase I drainage facilities are complete and operational, so no new drainage facilities are proposed for Phase II.

Sincerely,



T. Clint Harrison, P.E.



04-15-2025

CONTACTS

DEVELOPER:
K.V.A.T. FOODS, INC.
1 FOOD CITY CIRCLE
ABINGDON, VA 24211
P: (276) 628-5503
CONTACT: STEPHEN SPANGLER

GENERAL CONTRACTOR:
J. A. STREET & ASSOCIATES
245 BIRCH STREET
BLOUNTVILLE, TN 37617
P: (423) 323-8017
CONTACT: MARK WINNER

CITY PLANNING OFFICE:
CITY OF JEFFERSON CITY
112 CITY CENTER DRIVE
JEFFERSON CITY, TN 37660
P: (865) 475-9071
CONTACT: WAYNE HINKLE

WATER:
CITY OF JEFFERSON CITY
1032 N. HWY 92
JEFFERSON CITY, TN 37660
P: (865) 475-6617
CONTACT: PORTER MASSENGILL

SEWER:
CITY OF JEFFERSON CITY
1032 N. HWY 92
JEFFERSON CITY, TN 37660
P: (865) 475-6617
CONTACT: PORTER MASSENGILL

ELECTRIC:
APPALACHIAN ELECTRIC COOP
1109 HILL DRIVE
JEFFERSON CITY, TN 37820
P: (865) 475-2032
CONTACT: MARTY MILLS

STREETS:
CITY OF JEFFERSON CITY
1032 N. HWY 92
JEFFERSON CITY, TN 37660
P: (865) 475-6617
CONTACT: PORTER MASSENGILL

GAS:
JEFFERSON COCKE COUNTY UTILITY
DISTRICT
122 HWY 25E
NEWPORT, TN 37821
P: (865) 623-3069
CONTACT: TYLER HALL

ENGINEERING/SURVEYING SERVICES:
APPALACHIA DESIGN SERVICES, INC.
245 BIRCH STREET
BLOUNTVILLE, TN 37617
P: (423) 323-1206
CONTACT: JENEMY REIDS, P.E.



VICINITY MAP

SITE INFORMATION:

CURRENT OWNER:
MARATHON REALTY CORP.
P.O. BOX 1158
ABINGDON, VA 24212

EXISTING SITE INFORMATION:
TAX MAP: 02-25-00-00
CURRENT PARCEL: 10.90 AC±
PROPOSED PARCEL: 10.04 AC±
OUTPARCEL #1: 0.86 AC±

CURRENT ZONING:
D-3 - HIGHWAY BUSINESS DISTRICT

BUILDING SETBACKS:
FRONT - 30 FEET
REAR - 25 FEET
SIDE - 10 FEET

BUILDING HEIGHT:
MAXIMUM = 35 FEET

PROPERTY ADDRESS:
FOOD CITY: 107 W. BROADWAY BLVD.
JEFFERSON CITY, TN 37760
CAS-N-20: 1032 N. HWY 92
JEFFERSON CITY, TN 37760
RETAIL: 153 W. BROADWAY BLVD.
JEFFERSON CITY, TN 37760

DRAWING INDEX

DRAWING DATE: AUGUST 5, 2024

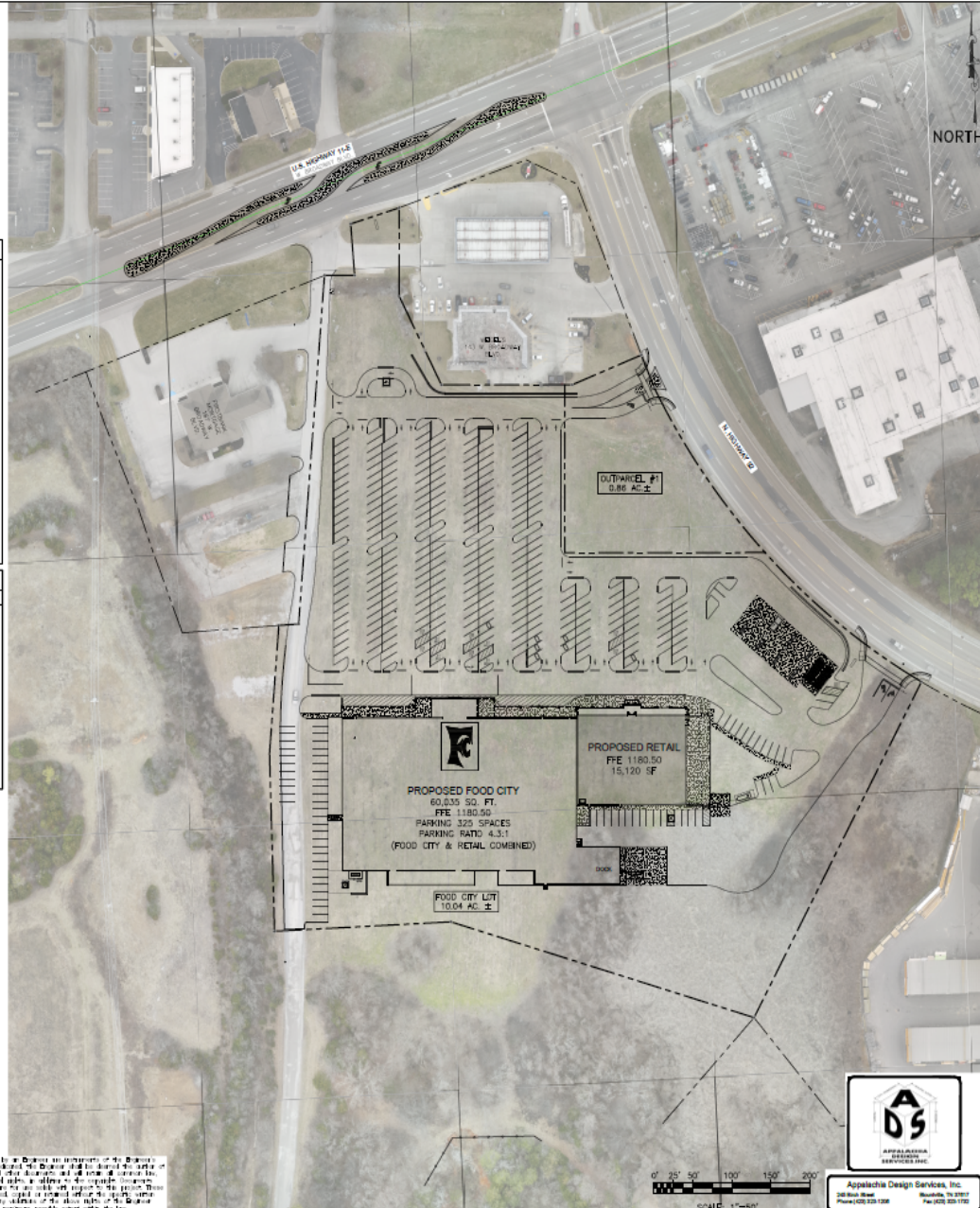
C0.1 PROJECT NOTES
C1.0 EXISTING CONDITIONS & EVOLUTION PLAN
C2.0 GRADING & DRAINAGE PLAN
C2.1 GRADING & DRAINAGE DETAILS
C2.2 GRADING & DRAINAGE DETAILS
C2.3 GRADING & DRAINAGE DETAILS
C3.0 ESC PLAN - PHASE 1
C3.1 ESC PLAN - PHASE 2
C3.2 ESC PLAN - PHASE 3
C3.3 ESC DETAILS
C4.0 UTILITY PLAN
C4.1 UTILITY DETAILS
C4.2 UTILITY DETAILS
C5.0 SITE PLAN
C5.1 SITE DETAILS
C5.2 SITE DETAILS
C6.0 LANDSCAPE PLAN

SITE/CIVIL

CAUTION - NOTICE TO CONTRACTOR

The information is provided for your information only. It is not to be used for construction purposes. The information is provided for your information only. It is not to be used for construction purposes. The information is provided for your information only. It is not to be used for construction purposes.

These documents are prepared by the Designer as a representation of the Designer's professional opinion and are not to be used for construction purposes. The information is provided for your information only. It is not to be used for construction purposes.



NEW FOOD CITY STORE #615
107 W. BROADWAY BLVD.
JEFFERSON CITY, TENNESSEE
FOR
K.V.A.T. FOOD STORES, INC.
ABINGDON, VIRGINIA



These documents are prepared by the Designer as a representation of the Designer's professional opinion and are not to be used for construction purposes. The information is provided for your information only. It is not to be used for construction purposes.

DATE	REVISION	DESCRIPTION

TITLE PAGE

C0.0
Sheet Number



NOTE: SEE THE 811 CALL FOR THE LOCATION OF ALL UTILITIES.



Appalachia Design Services, Inc.
245 Birch Street
Blountville, TN 37617
Phone: (423) 323-1206 Fax: (423) 323-1702

0' 25' 50' 100' 150' 200'
SCALE: 1"=50'

DETAIL CALLOUTS

- | | | | |
|----|--|----|--|
| 1 | Concrete Curb | 28 | Dumpster Enclosure |
| 2 | TDOT 5" Concrete Curb & Gutter (6-30) | 29 | Propane Fueling Center |
| 3 | TDOT RP--VC-11) | 30 | Accessible Marking and Signage |
| 4 | Concrete Curb Transition | 31 | Speed Bump |
| 5 | Standard Duty Asphalt Pavement | 32 | Retaining Wall |
| 6 | Heavy Duty Asphalt Pavement | 33 | Gravel Pad (8") |
| 7 | Portland Cement Concrete Pavement | 34 | "4" Double Solid Yellow Pavement Marking (Painted) |
| 8 | Concrete Pad (By Fuel System Installer) | 35 | Combination Curb and Sidewalk |
| 9 | Concrete Pad | 36 | Pharmacy Pickup Parking |
| 10 | Concrete Sidewalk | 37 | 1.25" Asphalt Overlay |
| 11 | 2' Concrete Curb Cut with Asphalt Flume | 38 | 2' Concrete Flume |
| 12 | 4' Concrete Curb Cut with Asphalt Flume | 39 | 5' Concrete Flume |
| 13 | Kiosk (By Fuel System Installer) | 40 | TDOT 6" Sloping Detached Concrete Curb (TDOT RP--SC-1) |
| 14 | Fuel Tanks and Concrete Pad (By Fuel System Installer) | 41 | 4" Solid White Pavement Marking (Painted) |
| 15 | Typical Parking Space Marking | 42 | Dead End Sign (W18-1) |
| 16 | Directional Marking (Paint) | 43 | Pipe Bollards |
| 17 | Stop Bar (Paint) | 44 | Horsehoe Pipe Bollards (36"x48") |
| 18 | Painted Island (Painted Dagonal Marking) | 45 | Stairwell |
| 19 | ATM (Not in Contract) | 46 | 4" Solid Yellow Pavement Marking (Thermoplastic) |
| 20 | Flag Pole | 47 | 4" Solid White Pavement Marking (Thermoplastic) |
| 21 | Stop Sign (R1-1) (36") | 48 | Directional Pavement Marking (Thermoplastic) |
| 22 | Veteran Parking | 49 | 6" Sloping Detached Concrete Curb (RP--SC-1) |
| 23 | Curbside Pickup Parking | 50 | Concrete Island (4" thickness) |
| 24 | Access Door | 51 | Full Depth TDOT Asphalt |
| 25 | Pharmacy Pickup Window | | |
| 26 | Compactor | | |
| 27 | Employee Parking | | |
| 28 | Ground Sign | | |

APPLICABLE TDOT STANDARD DRAWINGS

- RP-SC-1
- MM-CR-5
- RP-DHO-2
- RP-VC-11
- T-M-5
- T-M-19
- MM-CR-1
- MM-SW-1

INSET "B"

PARKING RATIO CALCULATION

VEHICLE PARKING RATIO REQUIRED = 1 PER 200 SF
TOTAL BUILDING SQUARE FOOTAGE = 75,155 SF
TOTAL BUILDING RETAIL SQUARE FOOTAGE = 59,772 SF
VEHICLE PARKING SPACES REQUIRED = 376 SPACES
VEHICLE PARKING SPACES PROVIDED = 325
VEHICLE PARKING RATIO PROVIDED = 1 PER 231 SF
ACCESSIBLE SPACE REQUIRED (301 TO 400) = 8
ACCESSIBLE SPACE PROVIDED = 11

LEGEND

	CONCRETE SURFACE
	EDGE OF CURB
	EDGE OF SIDEWALK/CONCRETE
	EDGE OF PAVEMENT
	FENCE
	OVERLAY/FULL DEPTH ASPHALT
	FULL DEPTH ASPHALT

SITE / CIVIL

CAUTION - NOTICE TO CONTRACTOR

The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.

These documents prepared by an Engineer are instruments of the Engineer's service. Unless otherwise indicated, the Engineer shall be deemed the author of drawings, specifications and other documents and will retain all common law, statutory and other reserved rights, in addition to the copyright, in the documents prepared by the Engineer or exclusively with respect to this project. These documents shall not be used, copied or retained without the specific written consent of the Engineer. Any violations of the above rights of the Engineer shall be prosecuted to the maximum possible extent within the law.

SR034

POSTED SPEED 40 MPH
EB AADT 10300 (2023)
WB AADT 10034 (2023)

MATCHLINE SEE THIS SHEET

PERMANEN
DRAINAG
EASEMEN

(P) CHAIN LINK
FENCE (MATCH
HEIGHT AND TYPE)

TEMPORARY INSTALLATION,
PERMANENT MAINTENANCE
EASEMENT

CONNECT TO EXISTING
CHAIN LINK FENCE

EXISTING
SIGNAL

NORTH

the design group architect
matin concepts, inc.
P.O. Box 1177
Greeneville, TN 37744

NEW FOOD CITY STORE #615

157 W. BROADWAY BLVD.
JEFFERSON CITY, TENNESSEE

FOR
K.V.A.T. FOOD STORES, INC.
ARINGTON VIRGINIA

SR092

POSTED SPEED 45 MPH
EB AADT 4719 (2023)
WB AADT 4685 (2023)

NOTE
All driveways meet TDOT intersection sight distance standards."

OUTPARCEL #1
0.86 AC.±

INSET "A"

1-20

The Food City logo, featuring the word "FOOD" in a large, bold, sans-serif font, followed by a stylized "C" that incorporates a face with a wide smile, and the word "CITY" in a smaller, bold, sans-serif font to the right.

KVA-T FOOD STORES, INC. #1 FOOD CITY CIRCLE
P.O. BOX 1158, ABINGDON, VIRGINIA 24212
PHONE: (276) 623-5100

These documents prepared by the Architect are instruments of the Architect's service. Unless otherwise indicated, the Architect shall be deemed the author of drawings, specifications and other documents and will retain all common law, statutory and other reserved rights in addition to the copyright. Documents prepared by the Architect are for use solely with respect to this project. These documents shall not be used, copied or retained without the specific written consent of the Architect. Any violations of the above rights of the Architect shall be prosecuted to the maximum possible extent within the law.

Drafted By: DEC

Checked By: JSF

Date Drawn: 7/5/20

Project #:

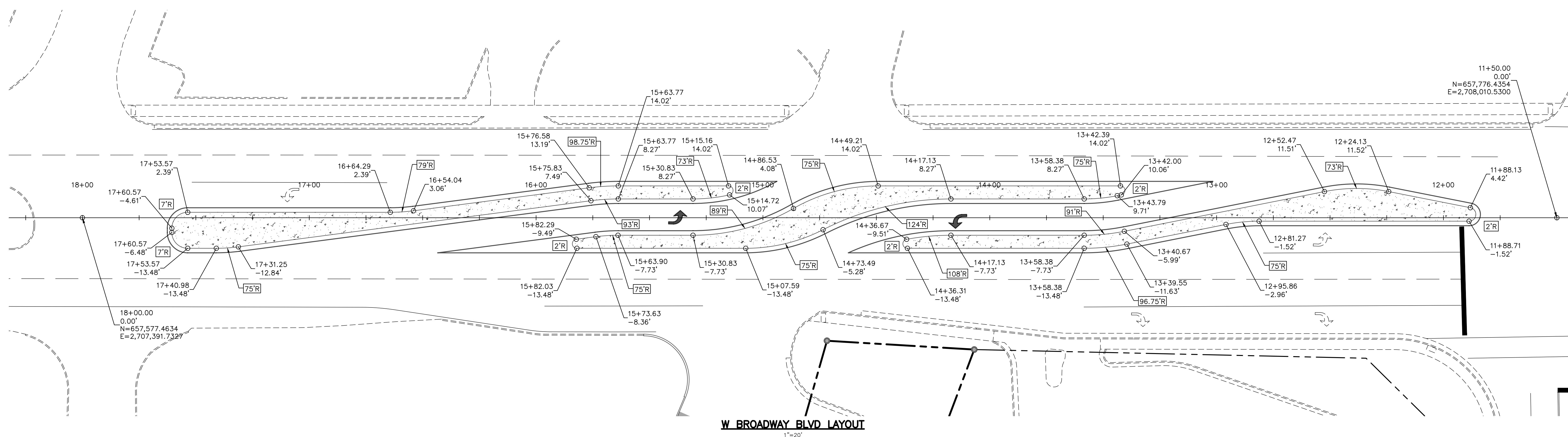
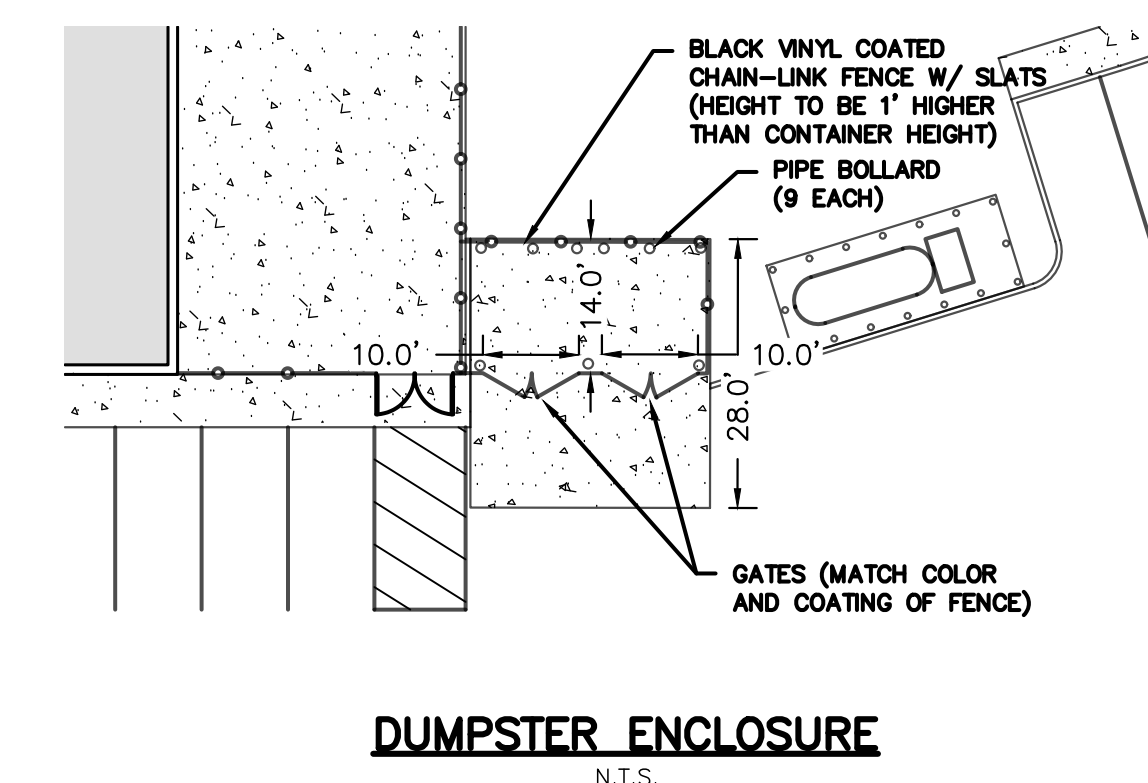
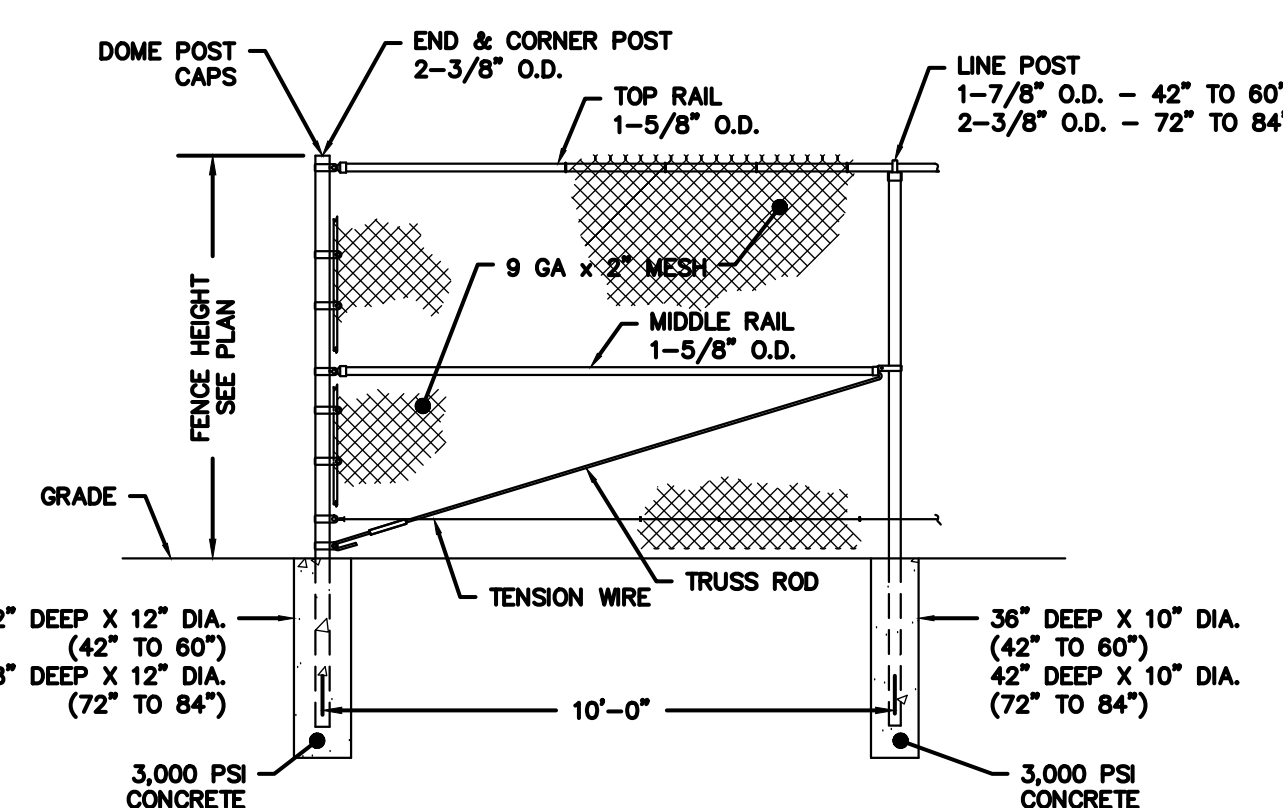
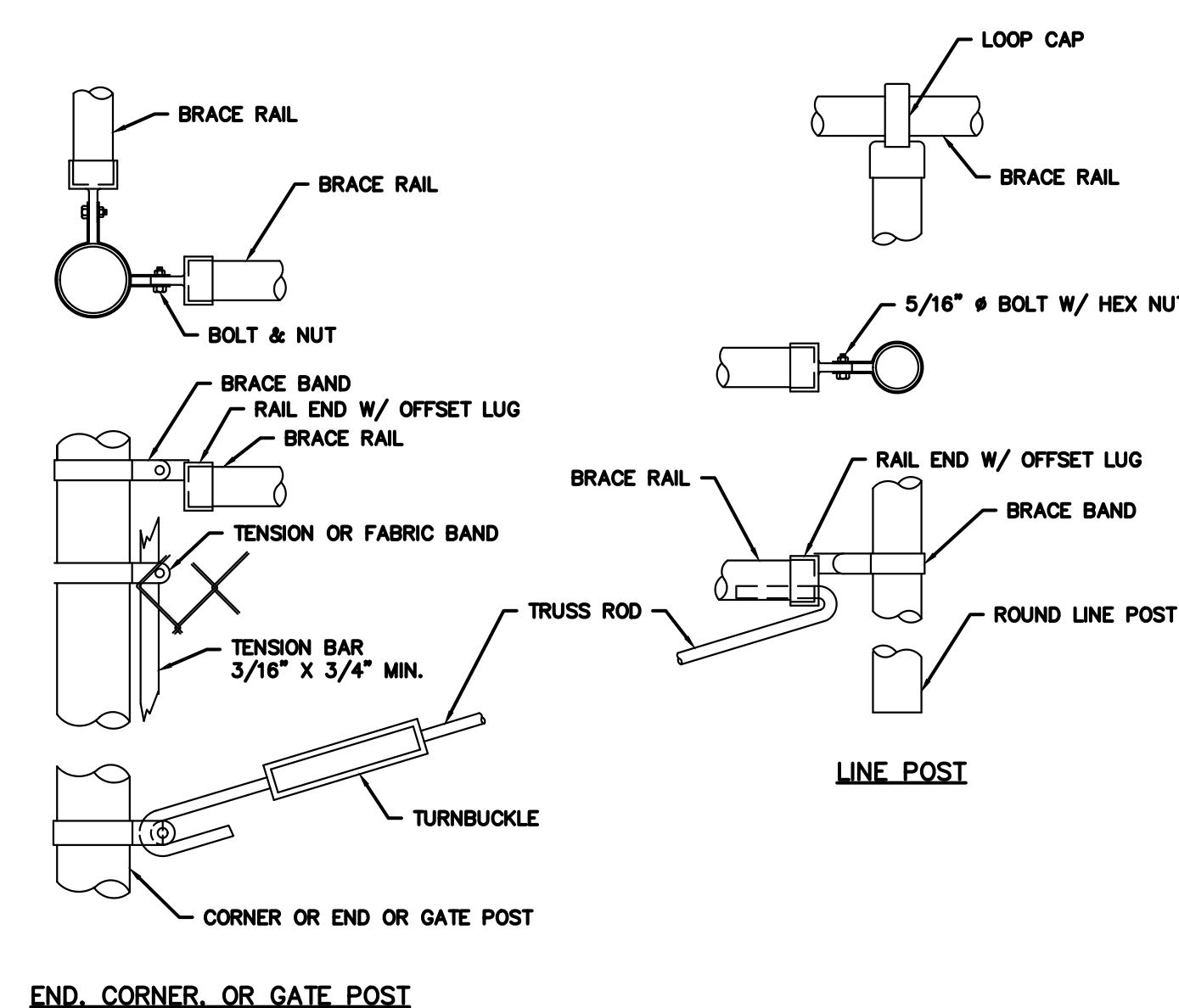
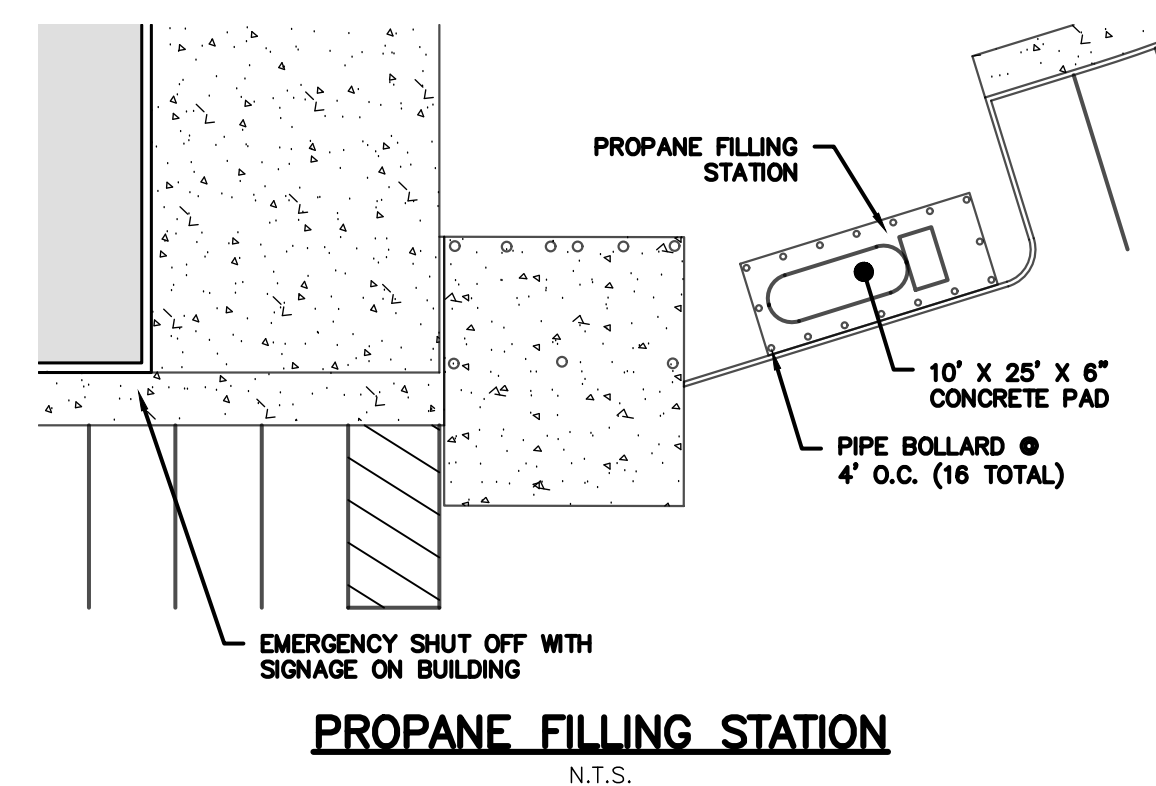
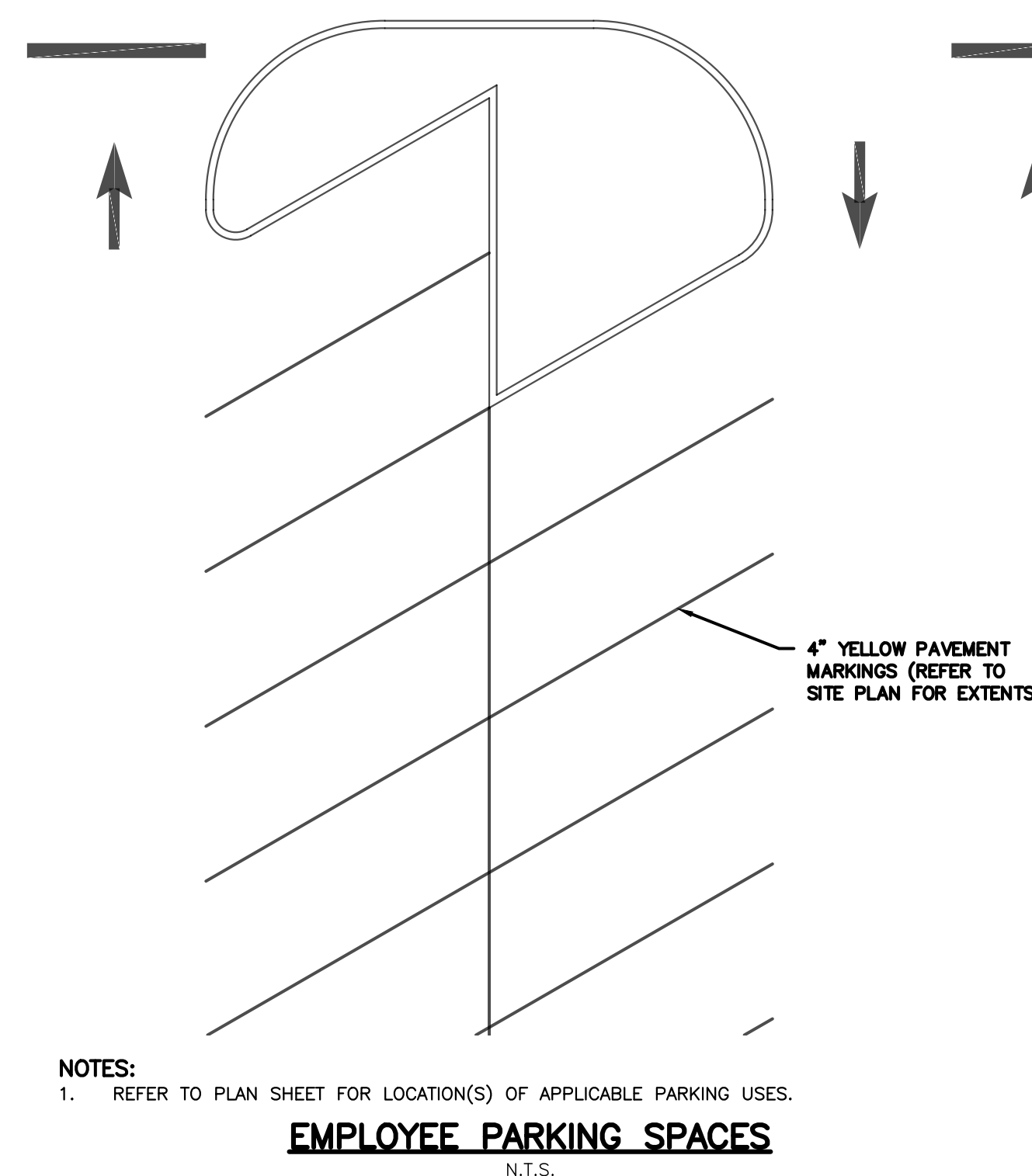
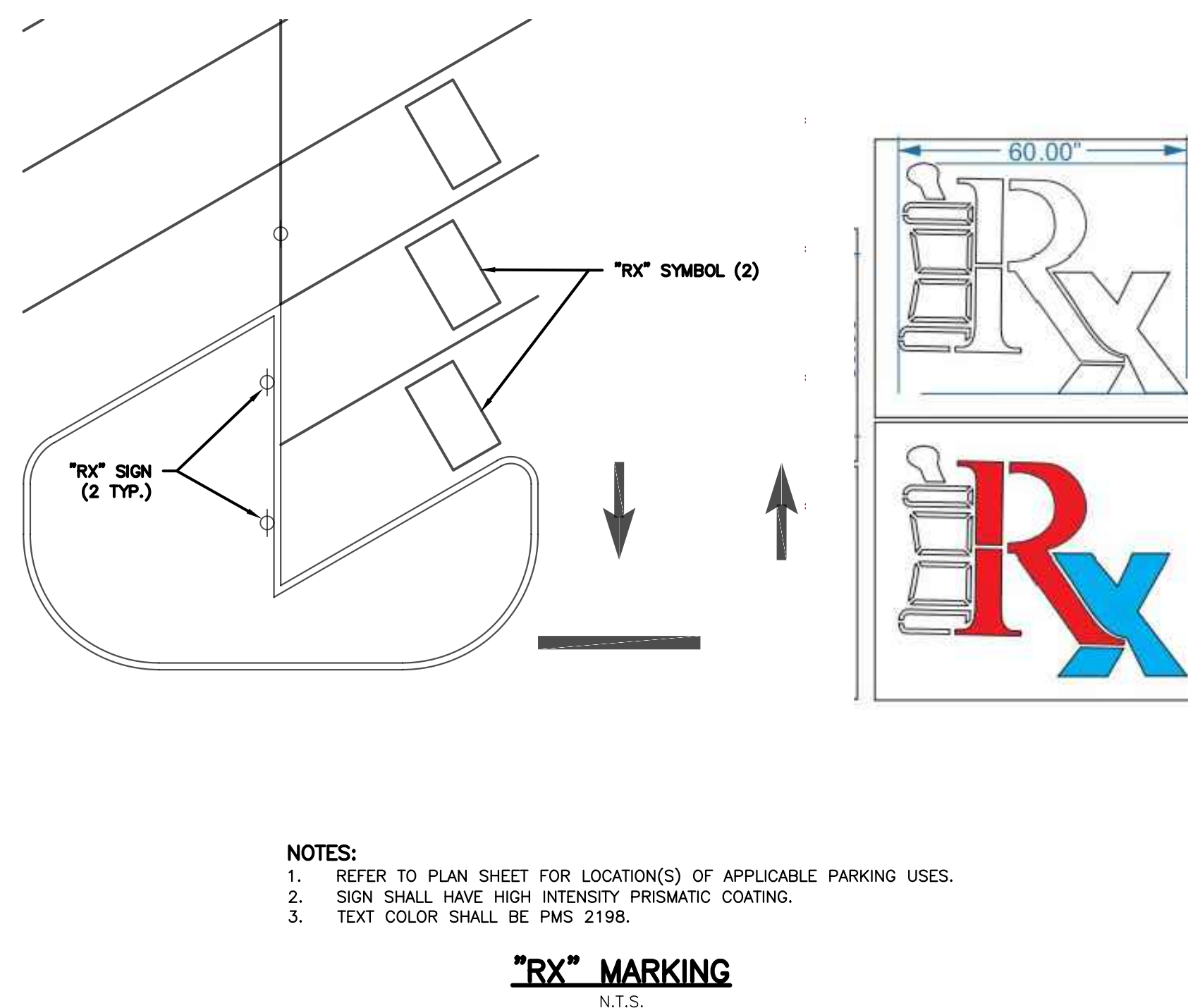
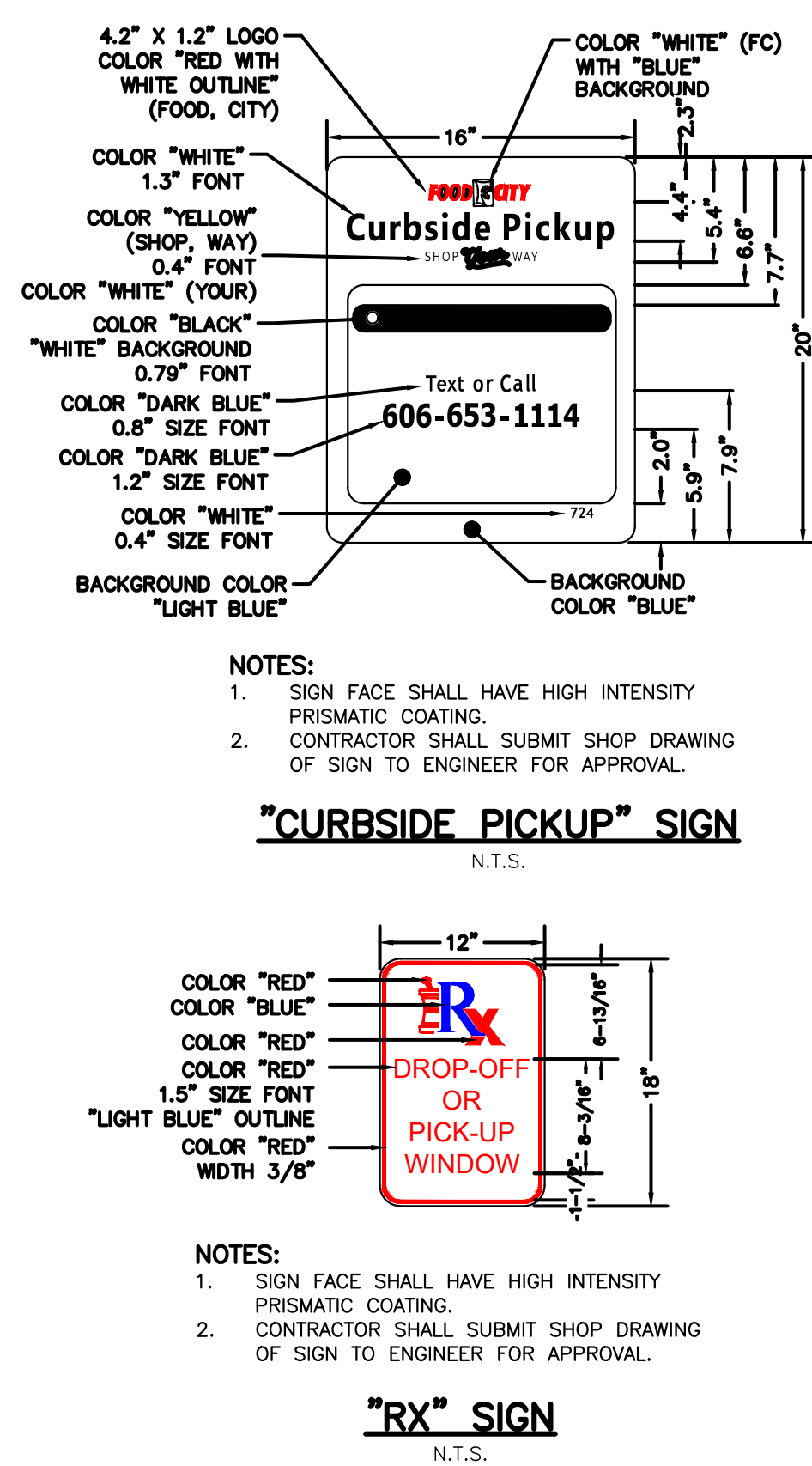
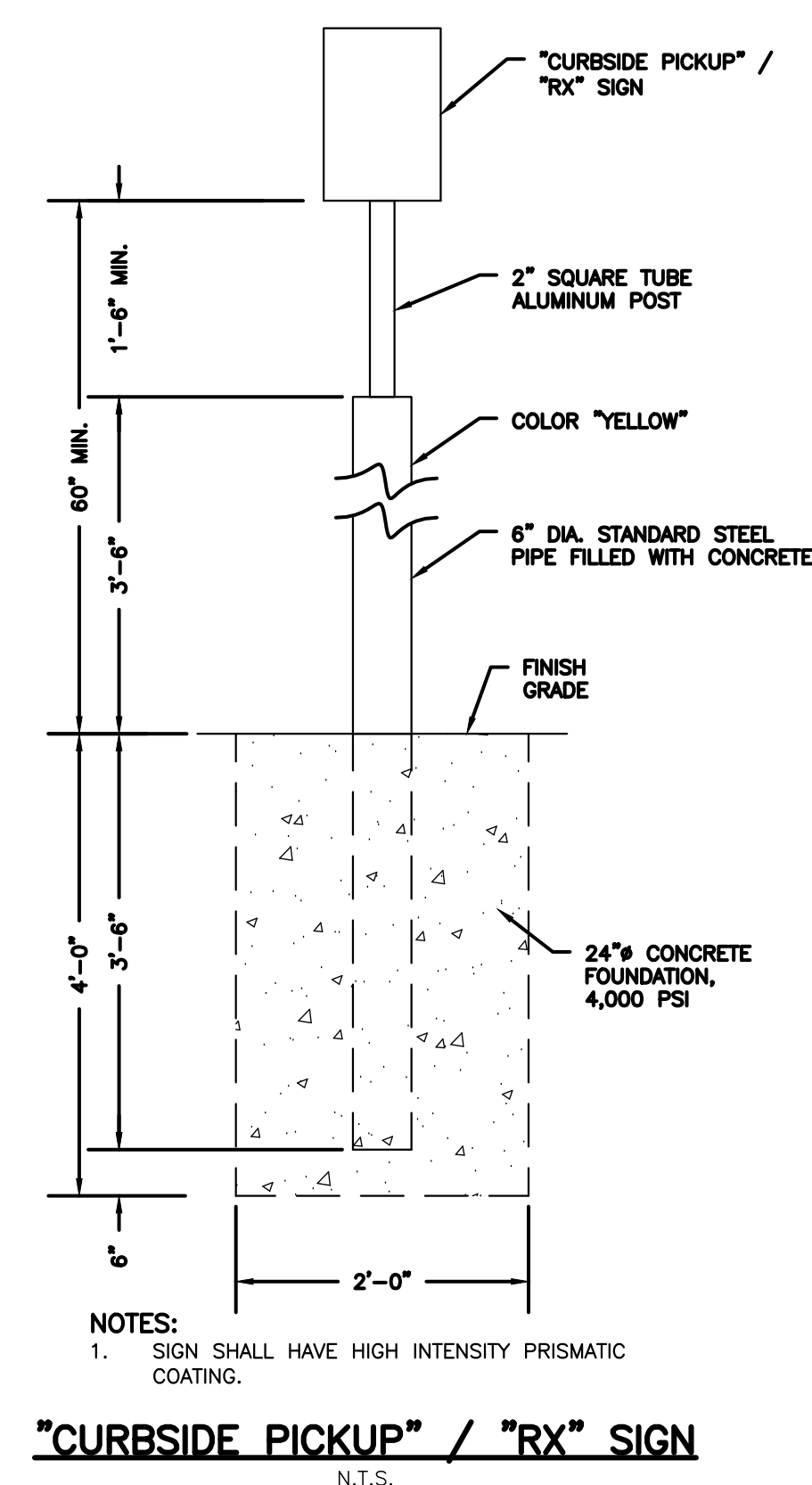
REV #	DATE	REVISION DESCRIPTION
1	12/22/24	ADDED W BROADWAY BLVD WORK

SITE PLAN

C5.0

Sheet Number

27




NEW FOOD CITY STORE #615

157 W. BROADWAY BLVD.
JEFFERSON CITY, TENNESSEE

157 W. BROADWAY BLVD.
JEFFERSON CITY, TENNESSEE

JEFFERSON CITY, TENNESSEE
FOR
K. VA. T. FOOD STORES, INC.
AT BIRMINGHAM, ALABAMA

FOOD STONE
ABINGDON VIRGINIA



FOOD CITY

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Drafted By: DEC

Checked By: JSF

Date Drawn: 7/15/20

Project #:

REV #	DATE	REVISION DESCRIPTION
1	12/22/24	ADDED W BROADWAY BLVD WORK

SITE DETAILS

C5.2

Sheet Number

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