



Metropolitan Development Commission (December 20, 2023) Meeting Notice

Meeting Details

Notice is hereby given that the Metropolitan Development Commission of Indianapolis-Marion County, IN, will hold public hearings on:

Date: Wednesday, December 20, 2023 **Time:** 1:00 PM

Location: Public Assembly Room, 2nd Floor, City-County Building, 200 E. Washington Street, Indianapolis, IN

Business:

Adoption of Meeting Minutes:

11-15-2023

12-6-2023

Presentation:

TIF Annual Presentation

Policy Resolutions:

REAL ESTATE:

1. 2023-R-037

Metropolitan Development Commission authorizes DMD to enter into a contract with KennMar LLC to cover property management and operational expenses at Union Station for an initial annual not-to-exceed amount of one million one hundred thousand dollars (\$1,100,000).

2. 2023-R-038

Metropolitan Development Commission authorizes DMD to enter into a contract for the maintenance and operation of City-owned properties for an overall not-to-exceed amount of one million two hundred thousand dollars (\$1,200,000) through 2025.

ECONOMIC DEVELOPMENT / INCENTIVES:

3. 2023-E-041

Resolution authorizes an expenditure of Fall Creek HOTIF funds to support alley and sidewalk improvements to the 1800 and 1900 block adjacent to College Avenue.

4. 2023-E-047

Declaratory Resolution and Economic Development Area Plan for the South Post Road Economic Development Area and Allocation Area, Council Districts #18 & 19, Warren Township.

5. 2023-E-048

Declaratory resolution to amend the Irvington TIF Allocation Area to include additional parcels.

6. 2023-E-049

Authorizes and approves a grant of unobligated funds on deposit in the Airport Economic Development Area TIF Fund to the Metropolitan School District of Wayne Township, to continue providing an Adult Education and Training Program for Wayne Adult Education, in an amount not to exceed three hundred thousand dollars (\$300,000.00).

7. 2023-E-050

Authorizes acceptance and appropriation of grant funds totaling sixteen million dollars (\$16,000,000) provided by the Central Indiana Community Foundation and Lilly Endowment, Inc. towards the Connected Communities Initiative for the expansion and enhancement of the Indianapolis Greenway and Trail System.

8. 2023-E-051

Declaratory Resolution to create the Augusta Heights HOTIF Economic Development and Allocation Area.

9. 2023-E-052 (For Public Hearing)

Confirmatory resolution to create an additional Professional Sports Development Area and approving a Development Area Plan.

10. 2023-E-053 (For Public Hearing)

Confirmatory Resolution to create the Alabama Street Redevelopment Project Area and the Alabama Street Allocation Area therein, and adopting a redevelopment plan in accordance therewith, Council District #11, Center Township.

11. 2023-E-054

Authorizes a pledge of tax increment from the Alabama Street Allocation Area to the payment of certain economic development revenue bonds for the TWG Development Old City Hall Project, Council District #11, Center Township.

12. 2023-A-041 (For Public Hearing) (Continued)

Final Economic Revitalization Area Resolution for DJ BCG Monon 22, LLC, located at 1011 East 22nd Street, Council District #17, Center Township. (Recommend approval of ten (10) years real property tax abatement.)

13. 2023-A-042 (For Public Hearing) (Continued)

Final Economic Revitalization Area Resolution for Patch Washington Street, LLC, located at 8501, 8505, 8509, 8517 and 8609 West Washington Street, Council District #22, Wayne Township. (Recommend approval of up to seven (7) years real property tax abatement.)

BOND BANK:

14. 2023-BB-010

Authorizes the President of the Commission, the Director of the City of Indianapolis Department of Metropolitan Development, the Executive Director of The Indianapolis Local Public Improvement Bond Bank (the "Bond Bank"), and any deputy general counsel of the Bond Bank (collectively, the "Authorized Officers") to serve as public hearing officers with respect to hearings required by Section 147(f) of the Code and the U.S. Treasury Regulations.

PLANNING:

15. 2023-P-019

Authorizes the Director of DMD to enter into agreement with Judy Weerts Hall as Hearing Examiner.

Zoning Petitions:

Special Requests

PETITIONS FOR PUBLIC HEARING:

PETITIONS OF NO APPEAL (RECOMMENDED FOR APPROVAL):

16. 2023-ZON-068 (Amended) | 510 and 555 Fairfield Avenue

Center Township, Council District #9
GDR Equity, LLC / Arnold Meyere Group, LLC, by David Kingen

Rezoning of 1.338 acres from the D-5 district to the C-3 district to provide for neighborhood commercial uses.

17. 2023-ZON-095 | 2936 North Mitthoefer Road

Warren Township, Council District #14
KC Brothers, Inc., Joseph D. Calderon

Rezoning of 0.855 acres from the C-3 district to the C-4 district to legally establish an automobile fueling station.

18. 2023-ZON-099 | 1339 Madison Avenue and 217 Orange Street

Center Township, Council District #16
1339 Madison, LLC, by Ed Williams

Rezoning of 0.34 acre from the I-4 and D-5 districts to the MU-2 district to provide for mixed-use development.

19. 2023-ZON-103 | 1647 Cornell Avenue

Center Township, Council District #11
Megan & Christopher McCarty

Rezoning of 0.11 acre from the I-3 district to the D-8 district.

Petitions for Public Hearing

20. MODIFICATION PETITION RECOMMENDED FOR APPROVAL BY THE HEARING EXAMINER, APPEAL FILED REMONSTRATOR:

2023-MOD-019 | 5320 & 5340 East Southport Road

Franklin Township, Council District #25
C-S
Greenwood IH Hotel, by Russell L. Brown

Modification of commitments related to 2001-ZON-070, to modify Commitment #19, to provide for a 38 foot-tall hotel (current commitment limits the building height to 35 feet).

21. MODIFICATION PETITION RECOMMENDED FOR DENIAL BY THE HEARING EXAMINER, APPEAL FILED BY PETITIONER:

2023-MOD-020 | 1855 North Shadeland Avenue

Warren Township, Council District #19
C-4
MG Oil, Inc., by Pat Rooney

Modification of Commitments related to 2021-ZON-105 to modify Commitment #5, to have development compliant with the site plan filed with this petition (current commitment requires compliance with a site plan dated July 17, 2021) and to modify Commitment #6 to provide for a pedestrian signal and crosswalk running north/south across Pleasant Run Parkway, South Drive (current commitment requires the crosswalk running across Shadeland Avenue).

22. REZONING PETITION SCHEDULED FOR INITIAL HEARING:

2023-ZON-094 | 6729 Westfield Boulevard

Washington Township, Council District #2
J.C. Hart Company, Inc., Chase Development, Inc. and Evergreen, LLC, by Michael Rabinowitch

Rezoning of 21.44 acres from the SU-34 (FF) and D-P (FF) district to the D-P (FF) district to provide for a multi-family and townhome development. Modification of Commitments, related to 2003-ZON-100, to allow development in accordance the DP Statement, Site Plan, Landscape Plan, Elevations and Renderings filed with this petition.

Additional Business:

**The addresses of the proposals listed above are approximate and should be confirmed with the Division of Planning. Copies of the proposals are available for examination prior to the hearing by emailing planneroncall@indy.gov. Written objections to a proposal are encouraged to be filed via email at dmdpubliccomments@indy.gov before the hearing and such objections will be considered. At the hearing, all interested persons will be given an opportunity to be heard in reference to the matters contained in said proposals. The hearing may be continued from time to time as may be found necessary. For accommodations needed by persons with disabilities planning to attend this public hearing, please call the Office of Disability Affairs at (317) 327-5654, at least 48 hours prior to the meeting. Department of Metropolitan Development - Current Planning Division.

Union Station
KennMar LLC
Property Management Agreement

**METROPOLITAN DEVELOPMENT COMMISSION
OF
MARION COUNTY, INDIANA
Resolution No. 2023-R-037**

WHEREAS, the Metropolitan Development Commission of Marion County, Indiana (“MDC”) serves as the Redevelopment Commission of the City of Indianapolis, Indiana (“City”) under IC 36-7-15.1 (“Redevelopment Act”); and

WHEREAS, in that capacity, the MDC serves as the governing body of the City of Indianapolis Redevelopment District (the “District”); and

WHEREAS, the MDC, by and through the City of Indianapolis, Department of Metropolitan Development (“DMD”), has engaged in redevelopment activities supporting the Union Station (“Union Station”) Local Public Improvements Project (“the Project”); and

WHEREAS, in furtherance of said redevelopment activities within Union Station, DMD conducted a Request for Proposals, RFP-13DMD-2023-1 (“RFP”) and selected KennMar LLC (“Contractor”) as the qualified and responsive contractor to provide the required property management and maintenance services (“Services”) for the Project; and

WHEREAS, DMD desires to enter in to a three (3)-year contract for Services (“Agreement”) for an annual amount \$57, 000 per year for such Services with an overall not-to exceed amount of \$171,000 for such Services payable from all sources of funding available; and

WHEREAS, In addition, Contractor’s Services will include payment, on the City’s behalf, of certain agreed operating expenses for Union Station including, but not limited to utilities and necessary repairs (“Expenses”) in an initial annual amount of up to \$1.043 million, for a total of \$1.1 million for both Services and Expenses for year one with subsequent years’ amounts to be determined and approved by the MDC in the future.

NOW, THEREFORE, BE IT RESOLVED THAT:

1. The Metropolitan Development Commission hereby authorizes the DMD to enter in to a three (3)-year contract with KennMar LLC to provide Services for property management and maintenance at Union Station as described above for an initial annual amount of \$1.1 million for both Services and Expenses, payable from all sources of funding available, with subsequent years’ amounts to be determined and approved by the MDC in the future.
2. The Director of the Department of Metropolitan Development is hereby authorized to execute the necessary documents to enter into the Agreement in accordance with this resolution and to do all acts and execute all other documents and instruments deemed necessary or appropriate by such official on behalf of the Commission so as to best accomplish the objectives set forth herein, and all actions heretofore taken by any such official toward the completion thereof are hereby ratified, confirmed and approved

Approved as to Adequacy & Legal Form
Sheila Kinney sek
Sheila Kinney, Asst. Corporation Counsel
Date: 12/13/2023

Metropolitan Development Commission

John J. Dillon III, President
Date: _____

**METROPOLITAN DEVELOPMENT COMMISSION
MARION COUNTY, INDIANA
RESOLUTION NO. 2023-R-038**

WHEREAS, the Metropolitan Development Commission of Marion County, Indiana (“MDC”) serves as the Redevelopment Commission of the City of Indianapolis, Indiana (“City”) under IC 36-7-15.1 (the “Redevelopment Act”); and

WHEREAS, in that capacity the Commission serves as the governing body of the City of Indianapolis Redevelopment District (the “District”); and

WHEREAS, MDC previously authorized the Department of Metropolitan Development (“DMD”) to enter into agreements with the Indianapolis-Marion County Building Authority (“Building Authority”) for the maintenance and operation of City-owned properties (specifically contracts ##16571 and 18871/199894); and

WHEREAS, effective January 1, 2024, DMD wishes to supersede and consolidate the existing Building Authority agreements into a single contract for maintenance and operation of City-owned properties with an annual amount of \$600,000 per year for the initial two- years for an overall not-to-exceed amount of \$1,200,000 through 2025.

NOW, THEREFORE, BE IT RESOLVED by the Metropolitan Development Commission of Marion County as follows:

- 1.The MDC hereby authorizes DMD to supersede and consolidate the existing Building Authority agreements into a single contract for maintenance and operation of City-owned properties with an annual amount of \$600,000 per year for the initial two-years for an overall not-to-exceed amount of \$1,200,000 through 2025.
2. The DMD Director is hereby authorized and directed to take further actions and to execute documents as such Director deems necessary or advisable to effectuate the authorizations set forth in this Resolution.
- 3.This Resolution shall take effect immediately upon adoption by the Commission.

Approved as to Legal Form and Adequacy:

Metropolitan Development Commission:

Sheila Kinney *sek*

Sheila Kinney, Asst. Corp. Counsel

John J. Dillon III, President

Date: 12/12/2023

Date: _____

**METROPOLITAN DEVELOPMENT COMMISSION
MARION COUNTY, INDIANA
RESOLUTION NO. 2023-E-041**

**RESOLUTION APPROPRIATING EXPENDITURE
OF TAX INCREMENT FINANCE REVENUE FUNDS**

WHEREAS, the Metropolitan Development Commission of Marion County, Indiana (the “Commission”) serves as the Redevelopment Commission of the City of Indianapolis, Indiana (the “City”) under IC 36-7-15.1 (the “Redevelopment Act”); and

WHEREAS, in that capacity the Commission serves as the governing body of the City of Indianapolis Redevelopment District (the “District”); and

WHEREAS, the Redevelopment Act permits the Commission to designate allocation areas in the District for the purposes of capturing and allocating property taxes commonly known as tax increment finance revenues (“TIF Revenues”); and

WHEREAS, the Commission has previously established the Fall Creek-Citizens Consolidated Redevelopment Area (the “Fall Creek-Citizens Consolidated RDA”), has designated the Fall Creek-Citizens Consolidated RDA as an allocation area (the “Fall Creek-Citizens Consolidated HOTIF Allocation Area”) for the purposes of capturing TIF Revenues, has created an allocation fund (the “Fall Creek-Citizens Consolidated Area Fund”) for the Fall Creek-Citizens Consolidated HOTIF Allocation Area into which TIF Revenues are deposited, and has approved the Fall Creek-Citizens Consolidated RDA Plan, (the “Plan”); and

WHEREAS, the DMD has identified 19th Street public sidewalks and Alley 750 East, which is a public alley running parallel to and east of College Avenue and which extends from 19th Street on the north to 18th Street on the south, as areas in need of routine repair and reconstruction; and

WHEREAS, the Department of Public Works (“DPW”) has expended funds to carry out the routine repair and reconstruction on the 19th Street public sidewalks and Alley 750 East (“Project”); and

WHEREAS, IC 36-7-15.1-35 authorizes the Redevelopment Commission to reimburse DPW with HOTIF revenue for reasonable expenditures associated with the construction, reconstruction, or repair of infrastructure (such as streets, sidewalks, and sewers) within or serving the allocation area;

WHEREAS, the Project will serve the Fall Creek-Citizens Consolidated HOTIF Allocation Area and DPW’s expenditures for the Project is a reasonable expenditure associated with the construction, reconstruction, or repair of infrastructure (such as streets, sidewalks, and sewers) serving the allocation area;

NOW, THEREFORE, BE IT RESOLVED by the Metropolitan Development Commission of Marion County, Indiana acting as the Redevelopment Commission of the City of Indianapolis, Indiana, as follows:

- 1. That the Commission approves an expenditure in the amount of \$134,283.24 from the Fall Creek-Citizens Consolidated Area Fund to pay for the Project. The Commission hereby finds and determines the Project will further the objectives of the Fall Creek-Citizens Consolidated HOTIF Allocation Area.
- 2. The City Controller is hereby authorized to disburse moneys from the Fall Creek-Citizens Consolidated Allocation Area Fund to reimburse DPW for the local public improvement expenditures noted above.
- 3. This Resolution shall take effect immediately upon adoption by the Commission.

METROPOLITAN DEVELOPMENT COMMISSION OF MARION COUNTY, INDIANA, acting as the Redevelopment Commission of the City of Indianapolis, Indiana

John J. Dillon III, President

Date

Approved as to Legal Form and Adequacy

/s/ Toae Kim
Toae Kim,
Deputy Chief Counsel

Approved as the Availability of Funding

Sarah Riordan, Controller

**RESOLUTION NO. 2023-E-047
DECLARATORY RESOLUTION OF THE
METROPOLITAN DEVELOPMENT COMMISSION OF
MARION COUNTY, INDIANA,
CREATING THE SOUTH POST ROAD ECONOMIC
DEVELOPMENT AND ALLOCATION AREAS**

WHEREAS, the Metropolitan Development Commission of Marion County, Indiana, acting as the Redevelopment Commission of the City of Indianapolis, Indiana (“Commission”), organized and acting pursuant to the provisions of Indiana Code 36-7-15.1, as amended (the “Act”), has investigated, studied and surveyed economic development within the consolidated city boundaries of the City of Indianapolis and County of Marion, Indiana (“City”); and

WHEREAS, the Commission has identified an area in need of economic development, to be known as the South Post Road Economic Development Area (the “Economic Development Area”), in accordance with its powers and duties under the Act, a map and list of parcels of which area are attached hereto as Exhibit A, and has prepared a plan for development of the Economic Development Area (the “Economic Development Plan”) and additional findings, which Economic Development Plan and additional findings are attached hereto as Exhibit B; and

WHEREAS, the Commission now desires to adopt this Declaratory Resolution and Economic Development Plan, and to designate certain parcels of property within the Economic Development Area, as identified in Exhibits A & B, as an allocation area to be known as the “South Post Road Allocation Area” (the “Allocation Area”) pursuant to Section 39 of the Act; and

WHEREAS, the Commission has caused to be prepared:

- (1) A map and plat showing: the boundaries of the Economic Development Area and Allocation Area in which property would be acquired for, or otherwise affected by, the establishment of an economic development area; the location of various parcels of property, streets, alleys, and other features affecting the acquisition, clearance, remediation, replatting, replanning, rezoning, or redevelopment of the Economic Development Area and Allocation Area, and any parcels of property to be excluded from the acquisition or otherwise excluded from the effects of the establishment of the Economic Development Area and Allocation Area; the parts of the Economic Development Area and Allocation Area acquired, if any, that are to be devoted to public ways, levees, sewerage, parks playgrounds, and other public purposes under the Economic Development Plan; and
- (2) List of the various parcels of property that may be affected, including the parcels of the project not in the Economic Development Area and Allocation Area, other than by acquisition, by the establishment of the Economic Development Plan; and
- (3) An estimate of the cost of acquisition, redevelopment and economic development.

WHEREAS, the Economic Development Plan, additional findings and supporting data were reviewed and considered by the Commission at this meeting; and

WHEREAS, Sections 29 and 30 of the Act permit the creation of “economic development areas” and provides all of the rights, powers, privileges and immunities that may be exercised by this Commission in a redevelopment area or urban renewal area may be exercised in an economic development area, subject to the conditions set forth in the Act; and

WHEREAS, Section 26 of the Act permits the creation of “allocation areas” to provide for the allocation and distribution of property taxes for the purposes and in the manner provided in said section.

NOW, THEREFORE, BE IT RESOLVED by the Metropolitan Development Commission of Marion County, Indiana, governing body of the City of Indianapolis Redevelopment District, as follows:

Section 1. The foregoing recitals are hereby incorporated by reference.

Section 2. It will be of public utility and benefit to adopt the Declaratory Resolution and the Economic Development Plan for the Economic Development Area in the manner provided for in the Resolution and to develop the Economic Development Area pursuant to the Act.

Section 3. The Economic Development Plan conforms to other development and redevelopment plans of the City of Indianapolis.

Section 4. The Declaratory Resolution is reasonable and appropriate when considered in relation to the Economic Development Plan, as well as the purposes of the Act.

Section 5. The Commission created the Economic Development Plan and finds that the Economic Development Plan for the Economic Development Area:

- (A) Assists in the promotion of significant opportunities for the gainful employment of the citizens of the City;
- (B) Assists in the attraction of major new business enterprises to the City;
- (C) Benefits the public health, safety, morals and welfare of the citizens of the City;
- (D) Increases the economic well-being of the City and the State of Indiana; or
- (E) Serves to protect and increase property values in the City and the State of Indiana.

Section 6. The Commission finds that the Economic Development Plan cannot be achieved by regulatory processes or by the ordinary operation of private enterprise without resort to the powers allowed the Commission under the Act because of:

- (A) The lack of local public improvement necessary to achieve the level of quality of development described in the Economic Development Plan;
- (B) Existence of improvements or conditions that lower the value of the land below that of nearby land;
- (C) Multiple ownership of land; or
- (D) Other similar conditions, specifically, challenges resulting from existing private party easements and other land conditions.

Section 7. The Commission finds that the accomplishment of the Economic Development Plan will be of public utility and benefit as measured by:

- (A) The attraction of construction and retention of permanent jobs;
- (B) An increase in the property tax base;
- (C) Improved diversity of the economic base; or
- (D) Other similar benefits, specifically, accomplishment of the Economic Development Plan will serve as a basis for making future public improvements.

Section 8. The Economic Development Plan for the Economic Development Area and Allocation Area conforms to the comprehensive plan of development for the consolidated city.

Section 9. The current estimated costs to the Commission of implementing the Economic Development Plan will not exceed \$15,000,000.

Section 10. The Commission finds that the current assessed value for the Allocation Area is \$213,254,788.00 and the estimated annual tax increment revenue applicable to such property is \$2,865,173.00 based on projected plans at this time.

Section 11. The Commission finds that no residents of the Economic Development Area will be displaced by any project resulting from the Economic Development Plan and, therefore, the Commission finds that it does not need to give consideration to transitional and permanent provisions for adequate housing for the residents.

Section 12. In support of the findings and determinations set forth above, the Commission hereby adopts the specific findings set forth in the Economic Development Plan and the additional findings attached hereto as Exhibit B.

Section 13. The Commission does not at this time propose to acquire any specific parcel of land or interests in land within the boundaries of the Economic Development Area. If at any time the Commission proposed to acquire specific parcels of land, the required procedures for amending the Plan under the Act will be followed, including notice by publication and to affected property owners and a public hearing.

Section 14. The parcels described in Exhibits A & B are hereby designated as an “allocation area” pursuant to Section 26 of the Act to be known as the “South Post Road Allocation Area” for purposes of the allocation and distribution of property taxes for the purposes and in the manner provided by Section 26 of the Act. Any taxes imposed under IC 6-1.1 on real property subsequently levied by or for the benefit of any public body entitled to a distribution of property taxes on taxable property in the Allocation Area shall be allocated and distributed in accordance with Section 26 of the Act as follows:

Except as otherwise provided in Section 26, the proceeds of taxes attributable to the lesser of the assessed value of the property for the assessment date with respect to which the allocation and distribution is made, or the base assessed value, shall be allocated to and when collected paid into the funds of the respective taxing units. Except as otherwise provided in said Section 26, property tax proceeds in excess of those described in the previous sentence shall be allocated to the redevelopment district and when collected paid into an allocation fund for the Allocation Area hereby designated as the “South Post Road Allocation Fund” and may be used by the redevelopment district to do one or more of the things specified in Section 26(b)(3) of the Act, as the same may be amended from time to time. Said allocation fund may not be used for operating expenses of this Commission. Except as otherwise provided in the Act, before June 15 of each year, the Commission shall take the actions set forth in Section 26(b)(4) of the Act.

Section 15. The base assessment date of the Allocation Area shall be January 1, 2023.

Section 16. The provisions of this resolution shall be subject in all respects to the Act and any amendments hereto and the allocation provision herein relating to the Allocation Area shall expire on the date that is twenty-five (25) years after the date on which the first obligation is incurred to pay principal and interest on bonds or lease rentals on leases payable from tax increment revenues derived in the Allocation Area. The Commission shall notify the Indiana Department of Local Government Finance of the designation of the Allocation Area as an allocation area.

Section 17. All of the rights, powers, privileges, and immunities that may be exercised by the Commission in a redevelopment area or urban renewal area may be exercised by the Commission in the Economic Development Area, subject to the limitations in IC 36-7-15.1-30.

Section 18. The Commission shall cause to be prepared a statement disclosing the impact of the Allocation Area, including the following:

- (A) The estimated economic benefit and costs incurred by the Allocation Area, as measured by increased employment and anticipated growth of real property, personal property and inventory assessed values; and
- (B) The anticipated impact on tax revenues of each taxing unit that is either wholly or partly located within the Allocation Area. A copy of this statement shall be forwarded to each such taxing unit with a copy of the notice required under Section 10 of the Act at least ten (10) days before the date of the public hearing described in this resolution.

Section 19. The Commission hereby finds that the adoption of the foregoing allocation provisions will result in new property taxes that would not have been generated but for the adoption of the allocation provisions. Specifically, the capture of new property taxes in the Allocation Area as tax increment will assist the Commission in its capacity to fund or bond for future projects, including, without limitation, public infrastructure improvements to support the development of the Allocation Area, and the surrounding Economic Development Area, which will generate new property taxes.

Section 20. The Declaratory Resolution is hereby in all respects approved, and shall be effective as of the date of its adoption.

Section 21. This resolution and the Economic Development Plan shall be submitted to the City-County Council for its approval of the Economic Development Plan and the establishment of the Economic Development Area and Allocation Area as provided in the Act.

Section 22. The Commission hereby directs the presiding officer of the Commission, after receipt of approval by the City-County Council, to publish notice of the adoption and substance of this resolution in accordance with IC 5-3-1-4 and to file notice with the office of the Commission, board of zoning appeals, works board, park board, and any other departments, bodies or officers of the City having to do with planning, zoning variances, land use or the issuance of building permits. The notice must state that maps and plats have been prepared and can be inspected at the office of the City's department of redevelopment and must establish a date when the Commission will receive and hear remonstrances and objections from persons interested in or affected by the proceedings pertaining to the proposed project and will determine the public utility and benefit of the proposed project.

Section 23. The Commission further directs the presiding officer to submit this resolution to the City-County Council for its approval of the establishment of the Economic Development Area and Allocation Area.

Section 24. If any section, paragraph or provision of this resolution shall be held to be invalid or unenforceable for any reason, the invalidity or unenforceability of such section, paragraph or provision shall not affect any of the remaining provisions of this resolution.

Section 25. This resolution shall be effective as of its date of adoption.

ADOPTED AND APPROVED at a meeting of the Metropolitan Development Commission of Marion County, Indiana, held on December 20, 2022, 1:00 p.m. at the City-County Building, 2nd floor, Public Assembly Room (Room 230), Indianapolis, Indiana.

METROPOLITAN DEVELOPMENT COMMISSION OF
MARION COUNTY, INDIANA, acting as the
Redevelopment Commission of the City of Indianapolis,
Indiana

John J. Dillon III, President

Approved for Legal Adequacy:

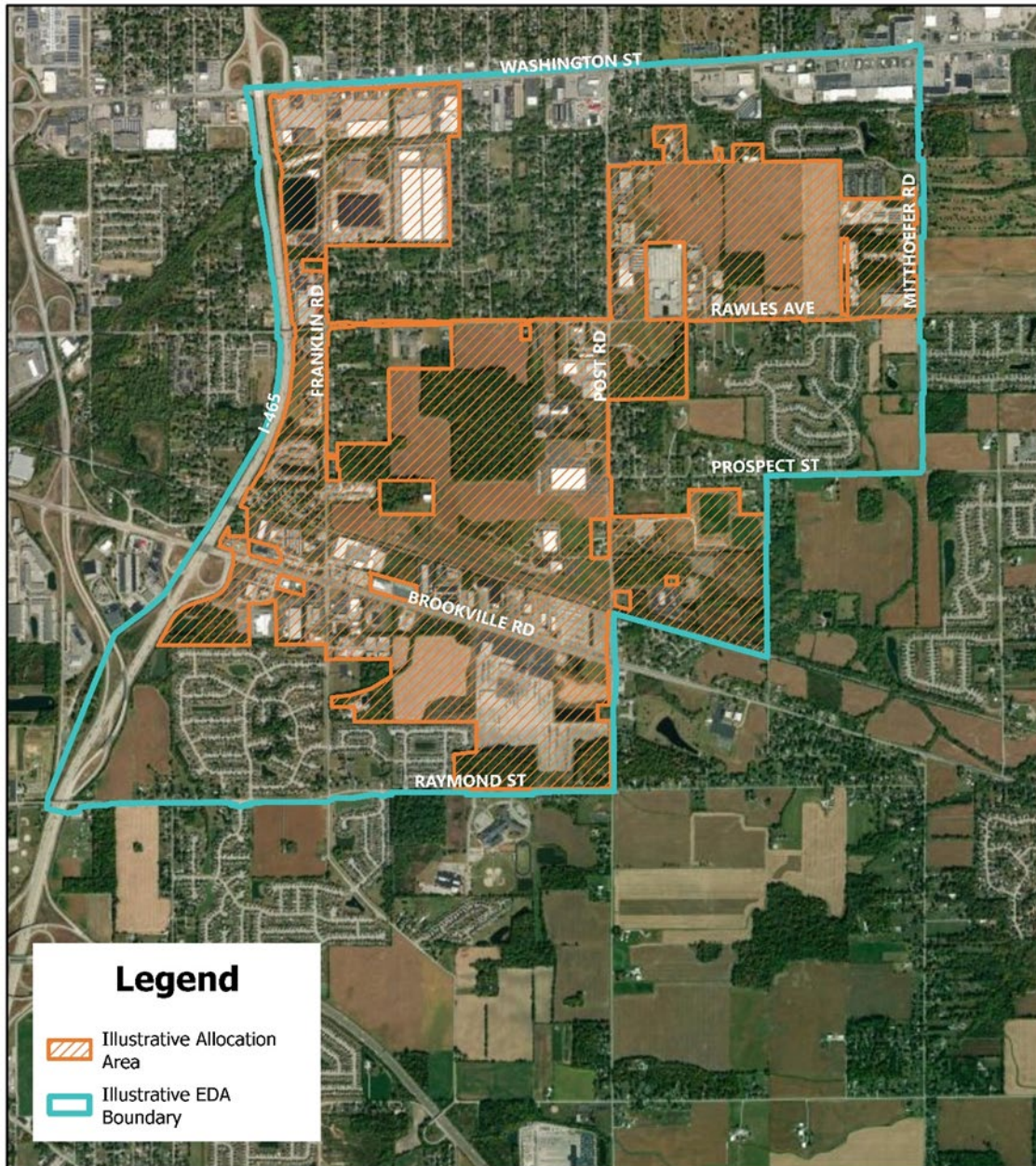
Office of Corporation Counsel

By: /s/Toae Kim
Toae Kim

EXHIBIT A

SOUTH POST ROAD ECONOMIC DEVELOPMENT AREA MAP AND PARCELS

Illustrative Allocation Area and EDA Boundary



Allocation Area Parcels

7000115	7014325	7034119	7036716	7046991
7000431	7014417	7034257	7038805	7047007
7000432	7014418	7034267	7039049	7047188
7000555	7014420	7034275	7039055	7047190
7000610	7014438	7034276	7039244	7047191
7000814	7015833	7034277	7039871	7047209
7000915	7017431	7034434	7039895	7047372
7001008	7022059	7034435	7039896	7047605
7001064	7022774	7034467	7039897	7047606
7001065	7022910	7034603	7040914	7047607
7001138	7025308	7034937	7040915	7047608
7003198	7029141	7034938	7040916	7047611
7003317	7030589	7034941	7040924	7047674
7003393	7030590	7034950	7041126	7047675
7004192	7030748	7034951	7041915	7048043
7004194	7030757	7035078	7041916	7048044
7004197	7030768	7035079	7042446	7048045
7004200	7030769	7035301	7042447	7048046
7004215	7030820	7035305	7042448	7048047
7004218	7030821	7035306	7042449	
7004223	7031541	7035319	7042792	
7004248	7031544	7035324	7043810	
7004334	7031979	7035530	7043811	
7004449	7032019	7035532	7043927	
7004476	7032235	7035548	7044092	
7004836	7032240	7035549	7045124	
7005287	7032304	7035577	7045125	
7005317	7032899	7035578	7045153	
7005326	7032907	7035639	7045158	
7005327	7032913	7035865	7045159	
7005600	7032933	7035876	7045360	
7005602	7032944	7035884	7045528	
7006082	7032945	7036014	7045529	
7006139	7032946	7036071	7045530	
7006140	7032947	7036074	7046028	
7006155	7032948	7036081	7046029	
7006252	7032958	7036229	7046721	
7006253	7032959	7036233	7046755	
7006527	7033464	7036448	7046812	
7007753	7033465	7036449	7046902	
7008117	7033504	7036456	7046905	
7014112	7033505	7036493	7046907	
7014305	7033530	7036694	7046978	

EDA Parcels

7000024	7001255	7001316	7003166	7004766
7000025	7001257	7001324	7003167	7004767
7000026	7001258	7001325	7003168	7004768
7000057	7001260	7001328	7003169	7004794
7000060	7001261	7001329	7003170	7004805
7000074	7001262	7001330	7003198	7004832
7000115	7001263	7001331	7003285	7004836
7000149	7001264	7001332	7003305	7004924
7000275	7001266	7001333	7003317	7004928
7000314	7001267	7001335	7003364	7004958
7000431	7001269	7001336	7003365	7005047
7000432	7001270	7001337	7003382	7005102
7000555	7001271	7001338	7003385	7005134
7000556	7001273	7001339	7003393	7005287
7000593	7001274	7001340	7003578	7005317
7000610	7001275	7001341	7003667	7005322
7000622	7001276	7001342	7003717	7005326
7000623	7001277	7001343	7003995	7005327
7000808	7001278	7001344	7004067	7005328
7000814	7001279	7001345	7004080	7005356
7000817	7001281	7001347	7004092	7005370
7000830	7001282	7001348	7004192	7005382
7000852	7001283	7001349	7004194	7005469
7000898	7001284	7001350	7004197	7005502
7000915	7001286	7001351	7004200	7005503
7000943	7001287	7001352	7004213	7005535
7000945	7001288	7001353	7004215	7005578
7001008	7001289	7001358	7004218	7005580
7001064	7001291	7001359	7004223	7005600
7001065	7001292	7001360	7004239	7005602
7001138	7001293	7001361	7004243	7005791
7001208	7001295	7001362	7004248	7005812
7001231	7001296	7001400	7004333	7005814
7001233	7001297	7001401	7004334	7005815
7001234	7001298	7001403	7004406	7005856
7001236	7001299	7001817	7004413	7005858
7001237	7001300	7002829	7004449	7005859
7001238	7001301	7003032	7004451	7006029
7001239	7001303	7003141	7004476	7006045
7001240	7001304	7003142	7004514	7006082
7001241	7001305	7003156	7004520	7006138
7001242	7001306	7003157	7004525	7006139
7001243	7001307	7003158	7004537	7006140
7001245	7001308	7003159	7004578	7006155
7001247	7001309	7003160	7004587	7006182
7001248	7001310	7003161	7004631	7006191
7001249	7001311	7003162	7004679	7006192
7001250	7001312	7003163	7004742	7006193
7001251	7001313	7003164	7004763	7006249
7001253	7001314	7003165	7004764	7006252

EDA Parcels, Continued

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7006278	7007904	7014531	7016310	7018366
7006286	7007905	7014532	7016311	7018367
7006291	7007906	7014533	7016312	7018368
7006502	7007907	7014534	7016313	7018369
7006503	7007908	7014536	7016314	7018370
7006504	7007927	7014537	7016316	7018371
7006506	7007988	7014544	7016317	7018372
7006508	7007989	7014546	7016318	7018373
7006509	7007990	7014836	7016320	7018558
7006510	7008061	7014837	7016321	7018697
7006511	7008117	7014838	7016322	7018698
7006512	7008133	7014839	7016323	7018701
7006513	7013552	7014840	7016409	7018915
7006514	7013562	7014841	7016417	7018916
7006516	7013842	7014842	7016418	7018917
7006527	7013843	7014843	7016563	7018918
7006596	7013844	7014844	7016564	7018919
7006816	7013845	7014845	7016565	7018922
7006831	7014068	7014846	7016909	7019123
7006855	7014073	7014847	7016910	7019208
7006857	7014074	7014938	7016911	7019276
7006875	7014075	7014946	7016912	7019337
7006880	7014088	7014993	7016913	7019338
7006885	7014089	7015005	7016914	7019339
7006886	7014112	7015166	7016915	7019340
7006887	7014293	7015735	7016918	7019341
7006888	7014294	7015736	7016919	7019342
7006889	7014295	7015737	7016920	7019343
7006890	7014296	7015738	7016922	7019344
7006891	7014297	7015739	7016924	7019346
7006892	7014302	7015740	7016925	7019347
7006893	7014305	7015741	7016926	7019348
7006973	7014306	7015742	7016927	7019688
7006988	7014323	7015743	7016943	7020279
7006989	7014324	7015744	7017278	7020549
7007020	7014325	7015745	7017371	7020566
7007146	7014411	7015750	7017420	7020567
7007153	7014413	7015777	7017421	7020568
7007176	7014416	7015833	7017422	7020569
7007370	7014417	7015873	7017423	7020571
7007636	7014418	7016300	7017424	7020920
7007677	7014419	7016301	7017425	7020921
7007712	7014420	7016302	7017426	7020923
7007753	7014421	7016303	7017427	7020924
7007768	7014437	7016304	7017431	7020925
7007769	7014438	7016305	7017471	7020926
7007813	7014451	7016306	7017478	7020927
7007900	7014528	7016307	7018363	7020928
7007901	7014529	7016308	7018364	7021115

EDA Parcels, Continued

7021116	7023038	7028036	7030768	7032909
7021117	7023039	7028038	7030769	7032913
7021118	7023040	7028199	7030800	7032933
7021119	7023041	7028205	7030811	7032939
7021121	7023042	7028423	7030820	7032943
7021122	7023043	7028424	7030821	7032944
7021124	7023179	7028425	7030960	7032945
7021125	7023247	7028426	7031117	7032946
7021126	7023254	7028691	7031145	7032947
7021127	7023255	7029049	7031146	7032948
7021151	7023256	7029073	7031147	7032958
7021164	7023257	7029074	7031149	7032959
7021354	7023287	7029090	7031155	7032995
7021357	7023323	7029141	7031156	7033464
7021951	7023723	7029318	7031224	7033465
7022057	7023732	7029528	7031343	7033504
7022059	7023787	7029550	7031356	7033505
7022133	7023900	7029551	7031371	7033530
7022134	7025146	7029552	7031541	7033531
7022147	7025152	7029561	7031544	7033615
7022149	7025163	7029566	7031937	7034119
7022176	7025308	7029567	7031963	7034257
7022177	7025309	7029572	7031964	7034267
7022178	7025310	7029573	7031965	7034268
7022203	7025311	7029577	7031966	7034275
7022759	7025312	7029578	7031972	7034276
7022760	7025542	7029579	7031979	7034277
7022765	7025762	7029581	7032019	7034388
7022774	7025764	7029614	7032138	7034434
7022910	7025765	7029961	7032140	7034435
7022970	7025766	7029984	7032141	7034467
7023018	7025767	7029985	7032143	7034592
7023019	7025768	7029986	7032144	7034603
7023020	7025769	7030202	7032145	7034916
7023021	7025770	7030237	7032146	7034937
7023022	7025854	7030238	7032147	7034938
7023023	7025962	7030240	7032148	7034939
7023024	7026532	7030428	7032149	7034941
7023025	7026534	7030521	7032150	7034950
7023026	7026603	7030523	7032151	7034951
7023027	7026604	7030586	7032152	7035010
7023028	7026605	7030587	7032153	7035036
7023029	7026606	7030589	7032154	7035050
7023030	7026607	7030590	7032155	7035060
7023031	7026632	7030622	7032156	7035078
7023033	7027438	7030628	7032235	7035079
7023034	7027888	7030629	7032240	7035085
7023035	7027890	7030706	7032304	7035252
7023036	7028010	7030748	7032899	7035253
7023037	7028022	7030757	7032907	7035254

EDA Parcels, Continued

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7035272	7036351	7039811	7040128	7040178
7035273	7036352	7039812	7040129	7040179
7035274	7036382	7039813	7040130	7040180
7035275	7036384	7039814	7040131	7040181
7035301	7036442	7039815	7040132	7040182
7035303	7036446	7039816	7040133	7040183
7035305	7036447	7039817	7040134	7040184
7035306	7036448	7039818	7040135	7040185
7035319	7036449	7039819	7040136	7040186
7035320	7036456	7039820	7040137	7040187
7035321	7036493	7039821	7040138	7040188
7035322	7036494	7039822	7040139	7040189
7035324	7036519	7039823	7040140	7040190
7035517	7036522	7039824	7040141	7040191
7035518	7036564	7039825	7040142	7040192
7035519	7036565	7039826	7040143	7040193
7035520	7036674	7039827	7040144	7040194
7035521	7036693	7039828	7040145	7040195
7035522	7036694	7039829	7040146	7040196
7035523	7036716	7039830	7040147	7040197
7035530	7036724	7039831	7040148	7040198
7035532	7037055	7039832	7040149	7040199
7035548	7037105	7039833	7040150	7040200
7035549	7037642	7039834	7040151	7040201
7035575	7037909	7039835	7040152	7040202
7035577	7038493	7039836	7040153	7040203
7035578	7038805	7039837	7040154	7040204
7035590	7038878	7039838	7040155	7040205
7035591	7038943	7039839	7040156	7040206
7035639	7038944	7039840	7040157	7040207
7035781	7038945	7039841	7040158	7040208
7035783	7039049	7039842	7040159	7040209
7035788	7039050	7039843	7040160	7040210
7035790	7039055	7039844	7040161	7040211
7035862	7039244	7039845	7040162	7040212
7035865	7039745	7039846	7040163	7040213
7035876	7039746	7039847	7040164	7040214
7035880	7039798	7039848	7040165	7040215
7035884	7039799	7039871	7040166	7040216
7035892	7039800	7039888	7040167	7040217
7036014	7039801	7039895	7040168	7040218
7036068	7039802	7039896	7040169	7040219
7036071	7039803	7039897	7040170	7040220
7036074	7039804	7040121	7040171	7040221
7036081	7039805	7040122	7040172	7040222
7036138	7039806	7040123	7040173	7040223
7036144	7039807	7040124	7040174	7040224
7036222	7039808	7040125	7040175	7040225
7036229	7039809	7040126	7040176	7040226

EDA Parcels, Continued

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7040228	7040793	7040843	7040916	7041105
7040229	7040794	7040844	7040924	7041106
7040230	7040795	7040845	7040930	7041107
7040231	7040796	7040846	7040931	7041108
7040232	7040797	7040847	7041058	7041109
7040233	7040798	7040848	7041059	7041110
7040234	7040799	7040849	7041060	7041111
7040235	7040800	7040850	7041061	7041112
7040236	7040801	7040851	7041062	7041113
7040237	7040802	7040852	7041063	7041114
7040238	7040803	7040853	7041064	7041115
7040239	7040804	7040854	7041065	7041116
7040240	7040805	7040855	7041066	7041117
7040241	7040806	7040856	7041067	7041118
7040242	7040807	7040857	7041068	7041119
7040243	7040808	7040858	7041069	7041120
7040244	7040809	7040859	7041070	7041121
7040245	7040810	7040860	7041071	7041122
7040246	7040811	7040861	7041072	7041126
7040247	7040812	7040862	7041073	7041360
7040248	7040813	7040863	7041074	7041361
7040249	7040814	7040864	7041075	7041362
7040250	7040815	7040865	7041077	7041363
7040251	7040816	7040866	7041078	7041364
7040252	7040817	7040886	7041079	7041365
7040253	7040818	7040887	7041080	7041366
7040254	7040819	7040888	7041081	7041367
7040255	7040820	7040889	7041082	7041368
7040256	7040821	7040890	7041083	7041369
7040257	7040822	7040891	7041084	7041370
7040258	7040823	7040892	7041085	7041371
7040259	7040824	7040893	7041086	7041372
7040260	7040825	7040894	7041087	7041373
7040261	7040826	7040895	7041088	7041374
7040262	7040827	7040896	7041089	7041375
7040263	7040828	7040897	7041090	7041376
7040264	7040829	7040898	7041091	7041377
7040265	7040830	7040899	7041092	7041378
7040266	7040831	7040900	7041093	7041379
7040267	7040832	7040901	7041094	7041380
7040268	7040833	7040902	7041095	7041381
7040269	7040834	7040903	7041096	7041382
7040270	7040835	7040904	7041097	7041383
7040272	7040836	7040905	7041098	7041384
7040787	7040837	7040906	7041099	7041385
7040788	7040838	7040907	7041100	7041386
7040789	7040839	7040908	7041101	7041387
7040790	7040840	7040912	7041102	7041388
7040791	7040841	7040914	7041103	7041389

EDA Parcels, Continued

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7041391	7041554	7041604	7041654	7042280
7041392	7041555	7041605	7041655	7042281
7041393	7041556	7041606	7041656	7042282
7041394	7041557	7041607	7041657	7042283
7041395	7041558	7041608	7041658	7042284
7041396	7041559	7041609	7041659	7042285
7041397	7041560	7041610	7041660	7042286
7041398	7041561	7041611	7041661	7042287
7041399	7041562	7041612	7041662	7042288
7041400	7041563	7041613	7041663	7042289
7041401	7041564	7041614	7041664	7042290
7041402	7041565	7041615	7041665	7042291
7041403	7041566	7041616	7041666	7042292
7041404	7041567	7041617	7041667	7042293
7041405	7041568	7041618	7041668	7042294
7041406	7041569	7041619	7041669	7042295
7041407	7041570	7041620	7041670	7042296
7041408	7041571	7041621	7041671	7042297
7041409	7041572	7041622	7041672	7042298
7041410	7041573	7041623	7041673	7042299
7041411	7041574	7041624	7041674	7042300
7041412	7041575	7041625	7041675	7042301
7041413	7041576	7041626	7041676	7042302
7041414	7041577	7041627	7041677	7042303
7041415	7041578	7041628	7041678	7042304
7041416	7041579	7041629	7041679	7042305
7041417	7041580	7041630	7041680	7042306
7041418	7041581	7041631	7041681	7042307
7041419	7041582	7041632	7041682	7042308
7041420	7041583	7041633	7041683	7042309
7041421	7041584	7041634	7041684	7042310
7041422	7041585	7041635	7041685	7042311
7041423	7041586	7041636	7041686	7042312
7041424	7041587	7041637	7041687	7042313
7041425	7041588	7041638	7041688	7042314
7041426	7041589	7041639	7041689	7042315
7041427	7041590	7041640	7041690	7042316
7041428	7041591	7041641	7041915	7042317
7041429	7041592	7041642	7041916	7042318
7041430	7041593	7041643	7042091	7042319
7041431	7041594	7041644	7042270	7042320
7041432	7041595	7041645	7042271	7042321
7041433	7041596	7041646	7042272	7042322
7041434	7041597	7041647	7042273	7042323
7041435	7041598	7041648	7042274	7042324
7041436	7041599	7041649	7042275	7042325
7041437	7041600	7041650	7042276	7042326
7041438	7041601	7041651	7042277	7042327
7041439	7041602	7041652	7042278	7042328

EDA Parcels, Continued

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7042330	7042380	7042449	7043947	7044175
7042331	7042381	7042792	7043948	7044176
7042332	7042382	7042828	7043949	7044177
7042333	7042383	7042829	7043950	7044178
7042334	7042384	7042830	7043951	7044179
7042335	7042385	7043485	7043952	7044180
7042336	7042386	7043486	7043953	7044181
7042337	7042387	7043487	7043954	7044182
7042338	7042388	7043488	7043955	7044183
7042339	7042389	7043489	7043956	7044184
7042340	7042390	7043490	7043957	7044185
7042341	7042391	7043491	7043958	7044186
7042342	7042392	7043492	7043959	7044187
7042343	7042393	7043493	7043960	7044188
7042344	7042394	7043494	7043961	7044189
7042345	7042395	7043495	7043962	7044190
7042346	7042396	7043496	7043963	7044191
7042347	7042397	7043497	7044057	7044192
7042348	7042398	7043498	7044058	7044193
7042349	7042399	7043499	7044059	7044194
7042350	7042400	7043500	7044060	7044195
7042351	7042401	7043501	7044061	7044196
7042352	7042402	7043502	7044062	7044197
7042353	7042403	7043503	7044063	7044198
7042354	7042404	7043504	7044064	7044199
7042355	7042405	7043505	7044065	7044200
7042356	7042406	7043506	7044066	7044201
7042357	7042407	7043507	7044067	7044202
7042358	7042408	7043508	7044068	7044203
7042359	7042409	7043509	7044069	7044204
7042360	7042410	7043510	7044070	7044205
7042361	7042411	7043511	7044071	7044206
7042362	7042412	7043512	7044072	7044207
7042363	7042413	7043534	7044073	7044208
7042364	7042414	7043810	7044074	7044209
7042365	7042415	7043811	7044075	7044210
7042366	7042416	7043875	7044076	7044211
7042367	7042417	7043925	7044077	7044212
7042368	7042418	7043927	7044078	7044213
7042369	7042419	7043936	7044079	7044214
7042370	7042420	7043937	7044080	7044215
7042371	7042421	7043938	7044092	7044216
7042372	7042422	7043939	7044167	7044217
7042373	7042423	7043940	7044168	7044218
7042374	7042424	7043941	7044169	7044219
7042375	7042425	7043942	7044170	7044220
7042376	7042426	7043943	7044171	7044221
7042377	7042446	7043944	7044172	7044469
7042378	7042447	7043945	7044173	7044470

EDA Parcels, Continued

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7044472	7044995	7045143	7045215	7045863
7044473	7044996	7045144	7045216	7045864
7044474	7044997	7045145	7045217	7045865
7044475	7044998	7045146	7045218	7045866
7044476	7044999	7045147	7045219	7045867
7044477	7045000	7045148	7045220	7045868
7044478	7045001	7045149	7045221	7045869
7044479	7045002	7045150	7045222	7045870
7044480	7045003	7045151	7045223	7045871
7044481	7045004	7045152	7045224	7045872
7044482	7045005	7045153	7045225	7045873
7044483	7045006	7045158	7045226	7045874
7044484	7045007	7045159	7045227	7045875
7044485	7045008	7045175	7045360	7045876
7044486	7045009	7045179	7045528	7045877
7044487	7045010	7045180	7045529	7045878
7044488	7045011	7045181	7045530	7045879
7044489	7045012	7045182	7045531	7045880
7044490	7045013	7045183	7045534	7045881
7044491	7045014	7045184	7045535	7045882
7044492	7045015	7045185	7045833	7045883
7044493	7045016	7045186	7045834	7045884
7044494	7045017	7045187	7045835	7045885
7044495	7045018	7045188	7045836	7045886
7044496	7045019	7045189	7045837	7045887
7044970	7045020	7045190	7045838	7045888
7044971	7045021	7045191	7045839	7045889
7044972	7045022	7045192	7045840	7045890
7044973	7045023	7045193	7045841	7045891
7044974	7045024	7045194	7045842	7045892
7044975	7045025	7045195	7045843	7045893
7044976	7045026	7045196	7045844	7045894
7044977	7045027	7045197	7045845	7045895
7044978	7045119	7045198	7045846	7045896
7044979	7045124	7045199	7045847	7045897
7044980	7045125	7045200	7045848	7045898
7044981	7045129	7045201	7045849	7045899
7044982	7045130	7045202	7045850	7045971
7044983	7045131	7045203	7045851	7046028
7044984	7045132	7045204	7045852	7046029
7044985	7045133	7045205	7045853	7046297
7044986	7045134	7045206	7045854	7046301
7044987	7045135	7045207	7045855	7046317
7044988	7045136	7045208	7045856	7046318
7044989	7045137	7045209	7045857	7046319
7044990	7045138	7045210	7045858	7046320
7044991	7045139	7045211	7045859	7046321
7044992	7045140	7045212	7045860	7046322
7044993	7045141	7045213	7045861	7046323

EDA Parcels, Continued

7046324	7046374	7046480	7048046
7046325	7046375	7046481	7048047
7046326	7046376	7046482	7048054
7046327	7046377	7046483	7048055
7046328	7046378	7046484	
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7046330	7046380	7046486	
7046331	7046381	7046487	
7046332	7046382	7046719	
7046333	7046383	7046721	
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7046360	7046466	7047192	
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7046362	7046468	7047209	
7046363	7046469	7047372	
7046364	7046470	7047605	
7046365	7046471	7047606	
7046366	7046472	7047607	
7046367	7046473	7047608	
7046368	7046474	7047611	
7046369	7046475	7047674	
7046370	7046476	7047675	
7046371	7046477	7048043	
7046372	7046478	7048044	
7046373	7046479	7048045	

EXHIBIT B

SOUTH POST ROAD ECONOMIC DEVELOPMENT PLAN AND ADDITIONAL FINDINGS

South Post Road Economic Development Area Plan RESOLUTION NO. 2023-E-047

December 20, 2023

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Section 2: Economic Development Area

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Appendix B: South Post Road Economic Development Area

Introduction

This plan describes existing conditions and plans for the South Post Road Economic Development Area (EDA), including the South Post Road Allocation Area (TIF).

The South Post Road Economic Development Area is centered at approximately Washington Street and Post Road on the east side of Indianapolis.

East Side Industrial TIF

Illustrative Allocation Area and EDA Boundary

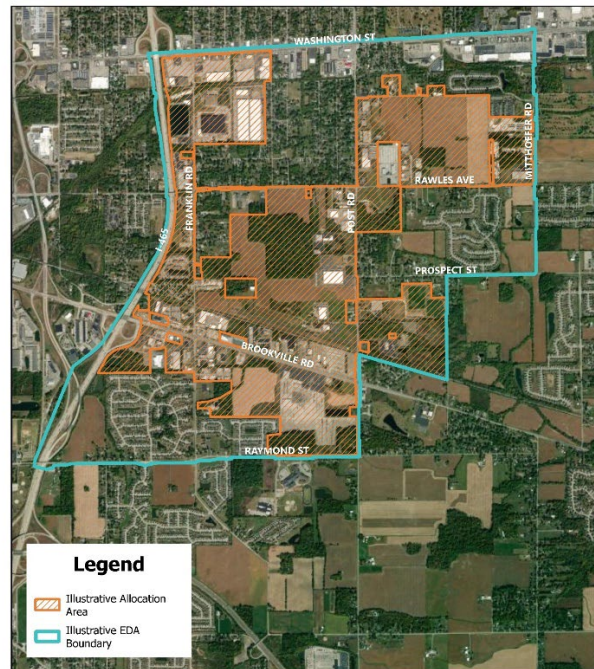


Figure 1 Proposed Redevelopment Area

Designation as an economic development area will allow reinvestment to occur within the EDA's boundaries. The reinvestment could support industrial growth in and near the EDA boundary area. This plan contains information about the sites and the surrounding area. The plan includes maps and descriptions of existing conditions and the future allocation area.

Section 1: Existing Conditions

The following section includes a brief description of the area and existing conditions in and around the area.

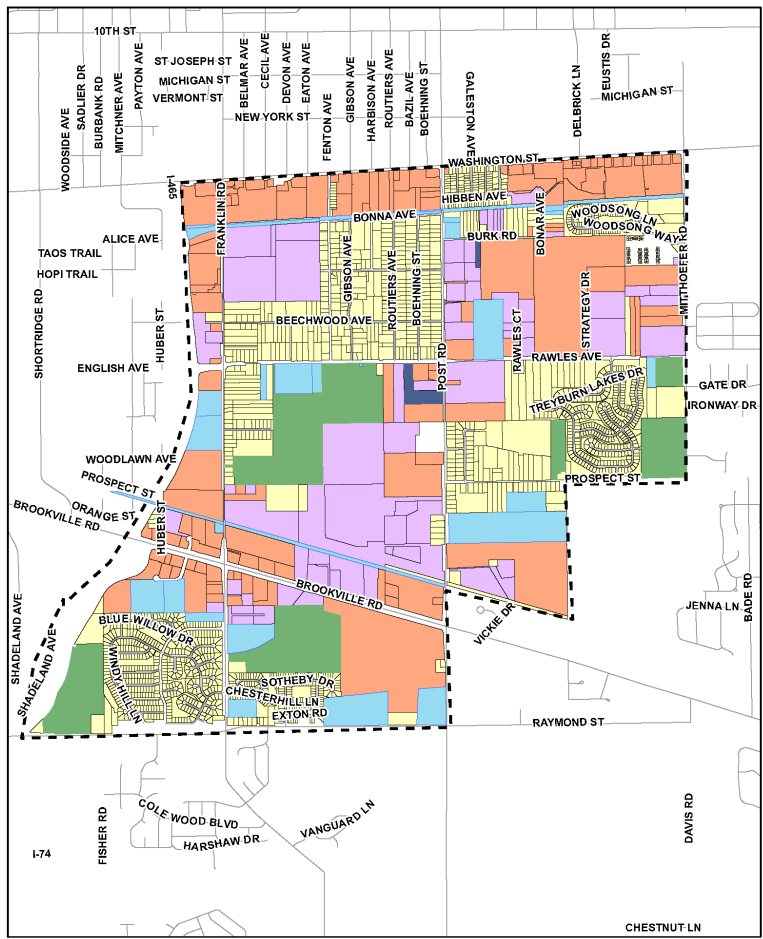
The South Post Road corridor is lightly developed area with several large agricultural parcels, legacy industrial uses, single-family housing dating from the 1960-70s, and the Indianapolis World Sports Park. In the last several years, new industrial uses have been proposed in this area, and several buildings are under construction. Despite this intensification of land use in the area, the portion of Post Road south of Washington Street is primarily a rural roadway, featuring an 18-foot-wide pavement cross section, typified by a lack of paved shoulder, no sidewalks, and open drainage.

Existing Land Uses

The existing land use map shows the conditions without regard to occupancy. The land in the EDA includes light and heavy industrial throughout the Post Road corridor. Along the Brookville Road Corridor there are Light Industrial and Heavy Commercial classifications. Residential land uses including Rural or Estate Neighborhood and Suburban neighborhood are located throughout the EDA.

Other Amenities

In addition, the EDA includes the Post Aire Airport and Indy World Sports Park, both located on the Post Road corridor. Lastly, the area includes two schools, Hawthorne Elementary, on the North end of the EDA, and Raymond Park Middle School, on the South end.



Existing Land Use

- AGRICULTURAL
- COMMERCIAL
- EXEMPT
- INDUSTRIAL
- RESIDENTIAL
- UTILITIES-REAL

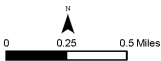


Figure 2 Existing Land Use in the Proposed Redevelopment Area

Transportation

The South Post Road TIF area has motor vehicle access to downtown Indianapolis, Interstate 465 and the surrounding area. The major east-west corridors are Brookville Road and Washington Street, and north-south corridors are Franklin, Post and Mitthoeffer Roads. Traffic patterns show that industrial truck traffic tends to use Brookville Road to get to the growing industrial corridor on Post & Franklin Roads. The area is also served by a railroad line parallel to Brookville Road.

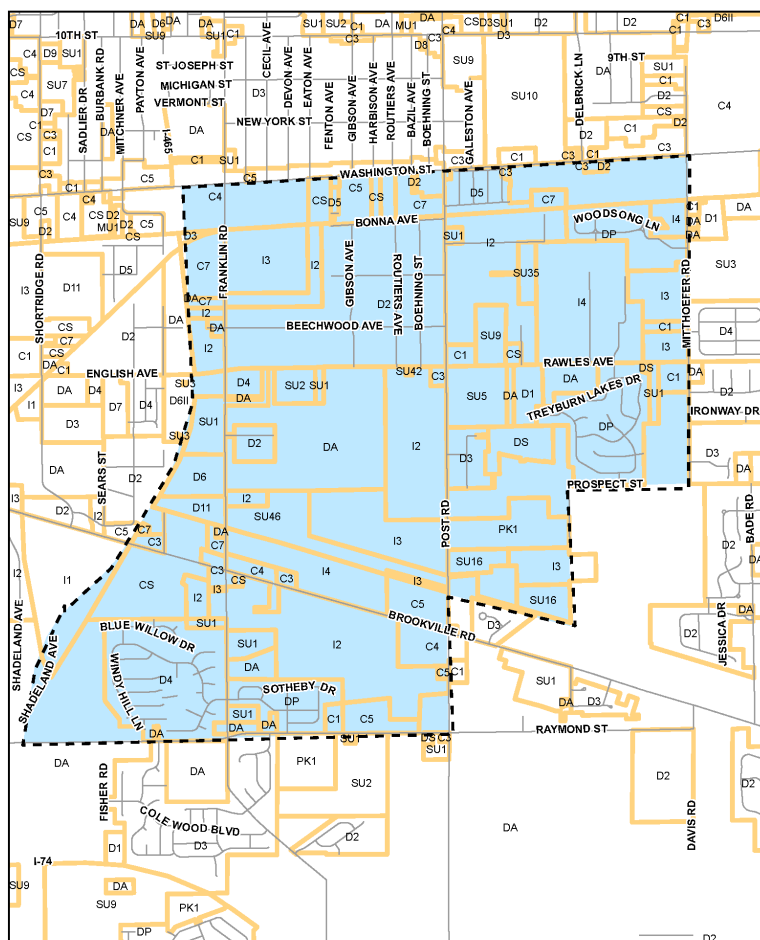
The Indianapolis Public Transportation Corporation (IndyGo) provides bus service in the area. As of November 2023, there is one key mass transportation route in the area, Route 8, which runs east-west on Washington Street, with cross-county service from the Indianapolis International Airport, through downtown and to the 'included town' of Cumberland, Indiana.

In the near future, IndyGo Route 8 will be replaced by the Blue Line, Indianapolis' third Bus Rapid Transit (BRT). The Blue Line will improve bus headways to every 10 minutes and add improvements to the sidewalk network along the Blue Line route.

As part of the improved mass transportation that is coming to Washington Street there is a planned, but not funded, multi-use path connecting the future Blue Line (BRT) stop at Post and Washington to the Pennsy Trail, and the growing industrial corridor further south on Post Road, to Brookville Road. This multi-use path is an extension of the planned and funded multi-use path that will run from the future 38th and Post Road Purple Line stop down to the future Washington and Post Blue Line Stop, thereby connecting two of the three Bus Rapid Transit lines in the city.

Existing Zoning

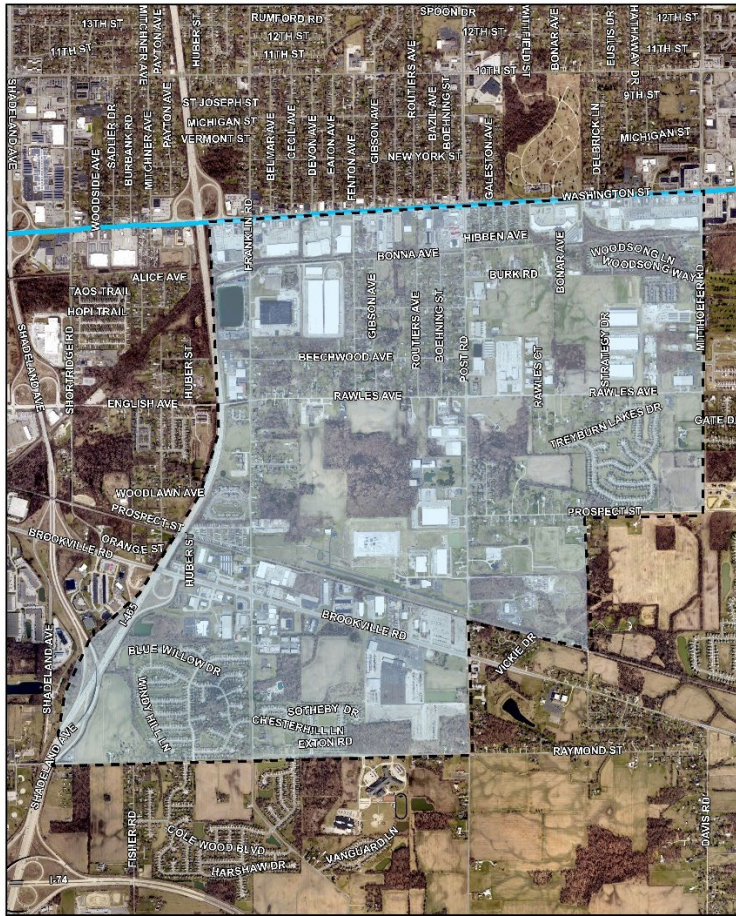
There is a mixture of zoning throughout the South Post Road EDA. Throughout much of the area, parcels are zoned for industrial uses or commercial use. Primary zoning in this area is I-2, I-3, I-4, C-3, C-4, and C-5. Throughout the EDA area, there are also several commercial parcels that are zoned SU-1 and SU-2. In addition to these zoning patterns there is also residential classified as D-1, D-2, D-3, D-4, and DA



South Post Road EDA
Figure 3 Existing Zoning in the proposed Redevelopment area

Section 2: Redevelopment Area

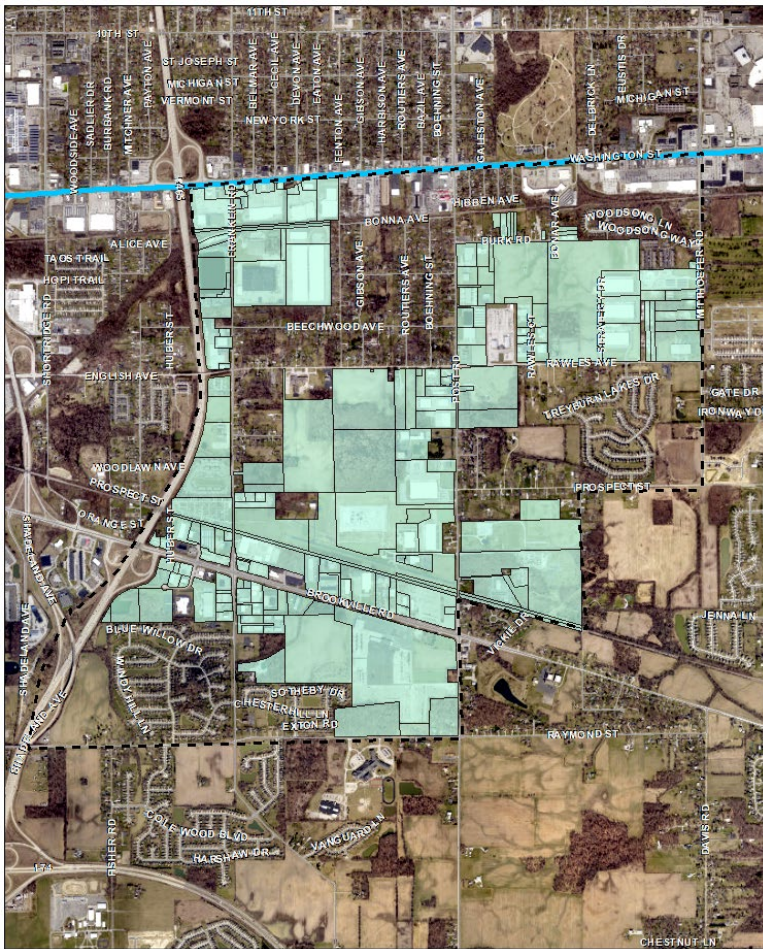
This section contains maps, data, and information that confirms the need for a Economic Development Area.



South Post Road EDA



Figure 4 The proposed Redevelopment Area includes access to mass transportation on Washington Street



South Post Road Allocated Area

Figure 5 South Post Road Allocated Area

The South Post Road Allocated area is centered around the Post Road Corridor from Washington Street to the north and Raymond Street to the south and stretches from I-465 to Mitthoffer Rd from west to east on the city’s southeast side. The proposed boundaries of the EDA are approximately I-465 to the west, Raymond to the south, with the eastern border consisting of Raymond St, Prospect St, and Mitthoffer Rd. going north to Washington Street the northern border of the EDA. A list of the parcel addresses, numbers, and owners included in the allocation area and EDA can be found in Appendix A and B .

Need for Development

In order to accommodate new industrial traffic, as well as existing residential vehicular traffic and pedestrian mobility, the Department of Public Works has provided several recommends for area improvements, which include street, curb, sidewalk, trail, bridge, traffic signalization, and utility

construction or reconstruction within the public rights-of-way or within or necessary to serve private development projects. Industrial projects under development include Scannell Properties investment of \$30,000,000 to develop two industrial buildings adjacent to the Post Aire Airport, and Jones' Development's \$70MM investment the 1,000,000-square foot East Indy Exchange industrial park. Other sites on Post Road have been considered for redevelopment as well, such as a \$10MM proposal to build two industrial buildings in the 800 block of South Post Road, and the subdivision of 553 South Post Road to allow for industrial re-use. Additionally, there are several large agricultural tracts that could be developed with one or more industrial buildings

A proposed new Allocation Area would be established in order to capture Tax Increment to fund a portion of the cost of the needed public infrastructure improvements in the Post Road corridor. The total non-land cost of the improvements is estimated at approximately \$15,000,000, comprised of the following projects:

- Mitthoeffer Road and Rawles Avenue
- Post Road and Prospect Street Intersection
- Post Rd from Pennsy to World Sports Park
- Post Rd from Brookville to Washington
- Pennsy to Mitthoeffer Trail Connection
- Mitthoeffer Neighborhoods Pedestrian Improvements

The identified infrastructure projects are not currently programmed or funded in the Department of Public Works Capital Improvement Plan and therefore there is currently no timeline to implement these projects. However, TIF increment should start to accumulate in an Allocation Area fund as soon as the payable 2024 taxes. Within the next five years, sufficient funding should be available to advance engineering and design on the highest priority projects, with implementation to follow.

TIF funds in excess of those needed for the priority capital projects may be provided to nonprofits and charitable organizations in the form of grants to carry out eligible efficiency projects or eligible projects that accomplish objectives of the EDA plan.

Finally, the proposed Allocation Area also includes the Indianapolis World Sports Park, a regional Department of Parks and Recreation facility, which is currently constructing a \$1.3MM restroom and concession building and will construct a \$850K playground and shelter at the site in 2024. The Indy Greenways Plan and the Indy Moves Transportation Plan both identify "Post Road Multi-Use Path" as a necessary transportation improvement to connect residents to the Pennsy Trail and the World Sport Park, as well as emerging employment centers in the corridor.

Appendix A - South Post Road Allocation Area

Item 4.

PARCEL	STATE PARCEL	OWNERSHIP	Address	PRE_DI R	STREET NAME	CITY	STATE	ZIPCODE
7000115	49-09-06-105-011.000-700	SHIV REAL ESTATE 14 LLC	8201	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7000431	49-10-12-107-011.000-700	M & K WAREHOUSE SERVICES LLC	430	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7000432	49-10-12-107-013.000-700	M & K WAREHOUSE,SERVICES, LLC	430	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7000555	49-10-12-107-012.000-700	M & K WAREHOUSE SERVICES LLC	450	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7000610	49-10-12-115-002.000-700	MINNIE B RAPP LLC,% GREGORY B PRITZ	360	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7000814	49-10-13-116-015.000-700	SHAW, GENE F & PATRICIA,E (H&W)	7422	E	RAYMOND ST	INDIANAPOLIS	IN	46239
7000915	49-09-18-101-010.000-700	TARBERT PROPERTIES LLC	8800	S	BROOKVILLE RD	INDIANAPOLIS	IN	46239
7001008	49-09-06-105-002.000-700	C & J PROPERTIES LLC,% CENTRE PROPERTIES	45	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7001064	49-09-17-110-021.000-700	CIN INDPLS & WESTN RY CO,% B & O RR CO,BOX 307,AD VALOREM TAX DEPT	0		RAILROAD ROW		IN	
7001065	49-09-18-101-035.000-700	CIN INDPLS & WESTN RY CO,% B & O RR CO,BOX 307,AD VALOREM TAX DEPT	0		RAILROAD ROW		IN	
7001138	49-10-12-107-009.000-700	SMITH, BRADLEY R & ,MARY E (H&W)	410	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7003198	49-09-06-105-007.000-700	C & J PROPERTIES LLC,% CENTRE PROPERTIES	8011	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7003317	49-09-06-105-014.000-700	K 1 REAL ESTATE LLC	8007	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7003393	49-10-13-101-003.000-700	STANDARD BROOKVILLE LLC,%CARROLS LEASING #00861	7730		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7004192	49-09-07-109-017.000-700	FUSON DEVELOPMENT LLC	1111	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7004194	49-09-07-110-004.000-700	HAWTHORNE DEVELOPMENT,CORPORATION	8201		RAWLES AVE	INDIANAPOLIS	IN	46239
7004197	49-09-18-114-002.000-700	CANADA, ROBERT F & ,L. ANN CANADA H & W	1515	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7004200	49-09-18-114-005.000-700	CA LTD LLC	1701	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7004215	49-09-08-120-006.000-700	SODI TRANSPORT INC	350	S	MITTHOEFER RD	INDIANAPOLIS	IN	46229
7004218	49-09-08-119-001.000-700	SHERRILL, ERIC & ,KIMBERLY	268	S	MITTHOEFER RD	INDIANAPOLIS	IN	46229
7004223	49-09-08-120-005.000-700	RAWLES INVESTMENT LLC	9808		RAWLES AVE	INDIANAPOLIS	IN	46229
7004248	49-09-18-112-001.000-700	GOINS-RYAN, KAREN L & ,KATHLEEN L GOINS- MYERS	8405		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7004334	49-09-17-116-003.000-700	RIOS, JESSICA LYNNE	1730		WISHMEYER LN	INDIANAPOLIS	IN	46239
7004449	49-09-08-110-005.000-700	CAPITAL TIRE INC	351	S	POST RD	INDIANAPOLIS	IN	46219
7004476	49-09-06-106-001.000-700	TR HOLDING GROUP LLC	8401	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7004836	49-09-17-108-001.000-700	INDIANAPOLIS, CITY OF,DEPARTMENT OF PARKS & RECREATION	1313	S	POST RD	INDIANAPOLIS	IN	46239
7005287	49-09-06-107-002.000-700	BROADSTONE TRP INDIANA LLC,%THE ROOM PLACE	8301	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7005317	49-09-06-111-248.000-700	INDIANAPOLIS, DEPARTMENT OF PARKS & ,RECREATION	171	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7005326	49-10-01-108-008.000-700	INDIANAPOLIS, DEPARTMENT OF PARKS & ,RECREATION	180	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7005327	49-09-06-111-249.000-700	INDIANAPOLIS, DEPARTMENT OF PARKS & ,RECREATION	181	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7005600	49-09-07-115-001.000-700	EAT-1612 LLC UNDIV 59.1579% INT & ,CPA FRANKLIN INDUSTRIAL DST 40.8421%,%CORE REALTY HOLDINGS MANAGEMENT INC	221	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7005602	49-10-01-108-005.000-700	KEITH HOCKETT RE HOLDINGS LLC (80% INT) & ,KP HOCKETT RE HOLDINGS I LLC (10% INT) & ,KP HOCKETT RE HOLDINGS II LLC (10% INT)	234	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7006082	49-09-17-102-005.000-700	PALADEN PROPERTIES III LLC	1519	S	POST RD	INDIANAPOLIS	IN	46239
7006139	49-09-08-114-004.000-700	CCB REAL ESTATE LLC	553	S	POST RD	INDIANAPOLIS	IN	46239
7006140	49-09-07-113-010.000-700	FMG INDIANAPOLIS LLC,%REAGAN OUTDOOR ADVERTISING	530	S	POST RD	INDIANAPOLIS	IN	46239
7006155	49-09-07-112-003.000-700	WOLTER INVESTMENT COMPANY LLC	820	S	POST RD	INDIANAPOLIS	IN	46239
7006252	49-09-07-113-002.000-700	WOLTER INVESTMENT COMPANY LLC	8801		RAWLES AVE	INDIANAPOLIS	IN	46219
7006253	49-09-07-113-006.000-700	BHARGAVA, MADHU	8745		RAWLES AVE	INDIANAPOLIS	IN	46239
7006527	49-09-18-106-009.000-700	DOGWOOD DEVELOPMENT LLC & ,MARTIN KENRIC FALL TRUSTEE						
7007753	49-09-08-114-003.000-700	MARTIN KENRIC,FALL LIVING TRUST 4/16/03	1538	S	POST RD	INDIANAPOLIS	IN	46239
7008117	49-09-08-114-003.000-700	CCB REAL ESTATE LLC	553	S	POST RD	INDIANAPOLIS	IN	46239
7008117	49-09-07-111-001.000-700	DOGWOOD DEVELOPMENT LLC	8641		RAWLES AVE	INDIANAPOLIS	IN	46239
7014112	49-10-12-109-003.000-700	CHRISTIAN TABERNACLE,APOSTOLIC FAITH INC	802	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7014305	49-09-05-107-044.000-700	A&L PROPERTY MANAGEMENT LLC	143	S	BONAR AVE	INDIANAPOLIS	IN	46229
7014325	49-09-05-107-014.000-700	DOWLING SONS INC	9320		BURK RD	INDIANAPOLIS	IN	46219
7014417	49-09-05-107-049.000-700	A&L PROPERTY MANAGEMENT LLC	135	S	BONAR AVE	INDIANAPOLIS	IN	46229
7014418	49-09-05-107-048.000-700	A&L PROPERTY MANAGEMENT LLC	135	S	BONAR AVE	INDIANAPOLIS	IN	46229
7014420	49-09-05-107-017.000-700	HORSLEY, JERRY & ,BRENDA MARIE BURK & TAMMY LEE ROBINSON & ,MARK DANIEL HORSLEY	9440		BURK RD	INDIANAPOLIS	IN	46219
7014438	49-09-05-107-013.000-700	DOWLING SONS INC	9322		BURK RD	INDIANAPOLIS	IN	46219
7015833	49-09-05-107-015.000-700	DOWLING SONS INC	9322		BURK RD	INDIANAPOLIS	IN	46219
7017431	49-09-05-107-016.000-700	CONCRETE CONTRACTORS INC	9310		BURK RD	INDIANAPOLIS	IN	46219
7022059	49-09-08-120-001.000-700	RAWLES INVESTMENT LLC	9810		RAWLES AVE	INDIANAPOLIS	IN	46229
7022774	49-10-13-108-012.000-700	PALACIOS COMERCIAL INC	1102	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7022910	49-09-18-104-002.000-700	JOHN F POPP BUSINESS CORP	8211		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7025308	49-09-07-109-006.000-700	DARLING, LOIS J	1025	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7029141	49-09-08-114-002.000-700	LLO HOLDINGS LLC	507	S	POST RD	INDIANAPOLIS	IN	46239
7030589	49-09-07-103-004.000-700	MTP 245 S FRANKLIN ROAD LLC,%SOMERA ROAD INC	245	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7030590	49-09-07-103-010.000-700	MTP 245 S FRANKLIN ROAD LLC,%SOMERA ROAD INC	245	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7030748	49-10-13-108-004.000-700	INDPLS, CITY OF	1302	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7030757	49-09-18-101-032.000-700	TARBERT PROPERTIES LLC	8640		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7030768	49-09-17-111-003.000-700	CIN INDPLS & WESTN RY CO,% B & O RR CO BOX 307,AD VALOREM TAX DEPT	0		RAILROAD ROW		IN	
7030769	49-10-13-111-025.000-700	CIN INDPLS & WESTN RY CO,% B & O RR CO BOX 307,AD VALOREM TAX DEPT	0		RAILROAD ROW		IN	
7030820	49-09-07-113-001.000-700	CARDINAL CONTAINER CORP	750	S	POST RD	INDIANAPOLIS	IN	46239
7030821	49-09-07-113-007.000-700	INDIANA BELL TELEPHONE CO INC,C/O SBC COMMUNICATIONS INC	630	S	POST RD	INDIANAPOLIS	IN	46239
7031541	49-10-13-108-003.000-700	ETI CORP	1310	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7031544	49-10-13-108-005.000-700	SPEEDWAY SUPERAMERICA LLC,% PROPERTY TAX	7940		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7031979	49-09-06-105-010.000-700	BASIL PROPERTY LLC	8105	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7032019	49-09-07-103-008.000-700	FRANKLIN IN LP	333	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7032235	49-09-07-109-002.000-700	ADEBOMOJO, OPE ADENIKE	945	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7032240	49-09-07-113-003.000-700	CITIZENS BY-PRODUCTS,COAL CO	8833		RAWLES AVE	INDIANAPOLIS	IN	46219
7032304	49-09-07-112-001.000-700	COFFEY ESTATE LLC	1014	S	POST RD	INDIANAPOLIS	IN	46239

7032899	49-09-06-104-001.000-700	EAT-1612 LLC UNDIV 59.1579% INT &,CPA FRANKLIN INDUSTRIAL DST	221	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7032907	49-09-06-107-003.000-700	DORH DEVELOPMENT CO,% SANDOR DEVELOPMENT COMPANY	8311	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7032913	49-09-06-108-004.000-700	S & I EAST,% SANDOR DEVELOPMENT COMPANY	8235	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7032933	49-09-18-101-011.000-700	TARBERT PROPERTIES LLC	8800		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7032944	49-10-13-114-005.000-700	ADKINS, RANDAL S &,CHRISTOPHER JAY BURKERT	1690	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7032945	49-09-18-114-001.000-700	GALILEO PROPERTIES LLC	1555	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7032946	49-09-18-114-010.000-700	A B CANADA INCORPORATED	8049		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7032947	49-09-18-114-011.000-700	D. J. HAYS REAL ESTATE,,LLC	8101		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7032948	49-09-18-114-015.000-700	1611 SOUTH FRANKLIN LLC	1611	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7032958	49-10-12-115-001.000-700	KEITH HOCKETT RE HOLDINGS LLC (80% INT) &,KP HOCKETT RE HOLDINGS I LLC (10% INT) &,KP HOCKETT RE HOLDINGS II LLC (10% INT)	234	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7032959	49-10-12-115-003.000-700	KEITH HOCKETT RE HOLDINGS LLC (80% INT) &,KP HOCKETT RE HOLDINGS I LLC (10% INT) &,KP HOCKETT RE HOLDINGS II LLC (10% INT)	234	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7033464	49-09-06-105-004.000-700	JCA PROPERTIES INDIANAPOLIS LLC	25	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7033465	49-09-06-105-015.000-700	M & W INVESTMENTS	8015	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7033504	49-10-13-114-002.000-700	BUSSELL, CAROL A	1604	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7033505	49-09-18-114-013.000-700	FATHERS HOUSE INC	1551	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7033530	49-09-07-113-004.000-700	INDIANA BELL TELEPHONE CO INC,PROPERTY TAX DEPARTMENT,SBC COMMUNICATIONS INC	8900		RAWLES AVE	INDIANAPOLIS	IN	46219
7034119	49-10-12-115-007.000-700	KEITH HOCKETT RE HOLDINGS LLC (80% INT) &,KP HOCKETT RE HOLDINGS I LLC (10% INT) &,KP HOCKETT RE HOLDINGS II LLC (10% INT)	234	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7034257	49-09-07-113-008.000-700	HDR REALTY LLC,%SHOOSIER GLASS	562	S	POST RD	INDIANAPOLIS	IN	46239
7034267	49-09-17-103-008.000-700	INDPLS, CITY OF,DEPARTMENT OF PARKS AND RECREATION	9200		PROSPECT ST	INDIANAPOLIS	IN	46239
7034275	49-10-12-115-006.000-700	KEITH HOCKETT RE HOLDINGS LLC (80% INT) &,KP HOCKETT RE HOLDINGS I LLC (10% INT) &,KP HOCKETT RE HOLDINGS II LLC (10% INT)	350	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7034276	49-10-12-115-009.000-700	KEITH HOCKETT RE HOLDINGS LLC (80% INT) &,KP HOCKETT RE HOLDINGS I LLC (10% INT) &,KP HOCKETT RE HOLDINGS II LLC (10% INT)	350	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7034277	49-09-18-101-006.000-700	M & D BROOKVILLE LLC	8502		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7034434	49-09-18-101-009.000-700	TARBERT PROPERTIES LLC	8800		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7034435	49-09-18-101-008.000-700	TARBERT PROPERTIES LLC	8800		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7034467	49-09-18-101-001.000-700	FOUNDATION BUILDING MATERIALS LLC	1477	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7034603	49-09-18-106-004.000-700	FALL LLC,% MAXWELL S FALL	1410	S	POST RD	INDIANAPOLIS	IN	46239
7034937	49-09-08-110-004.000-700	GREAT MOON INC	361	S	POST RD	INDIANAPOLIS	IN	46219
7034938	49-09-18-106-003.000-700	MSM FALL PARTNERSHIP,PO BOX 39100	1410	S	POST RD	INDIANAPOLIS	IN	46239
7034941	49-09-06-105-006.000-700	ACACIA INVESTMENTS LLC 1/2INT &,TEXIN LLC 1/2%INT	49	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7034950	49-09-07-109-016.000-700	FUSON DEVELOPMENT LLC	1113	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7034951	49-09-18-101-012.000-700	JORDAN FISHERS LLC	8320		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7035078	49-09-18-101-002.000-700	ROBINSON REAL ESTATE ENTERPRISES LLC	8494		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7035079	49-09-18-101-004.000-700	BROOKVILLE P-52 L L C	8402		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7035301	49-09-18-101-003.000-700	FIRST INVESTMENT GROUP,CORPORATION	8494		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7035305	49-10-13-114-004.000-700	BUSSELL, CAROL A	1604	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7035306	49-10-13-114-006.000-700	BUSSELL, CAROL A	1604	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7035319	49-09-07-113-005.000-700	THORINSON LLC &,DONALD P RUUD & ANNETTE D RUUD CO TRUSTEES,OF RUUD FAMILY TRUST 7/22/2000	8905		RAWLES AVE	INDIANAPOLIS	IN	46219
7035324	49-09-07-109-015.000-700	FUSON DEVELOPMENT LLC	1113	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7035530	49-09-18-110-001.000-700	ABC CHARITIES INC	8880	E	RAYMOND ST	INDIANAPOLIS	IN	46239
7035532	49-09-18-109-001.000-700	ABC CHARITIES INC	8600	E	RAYMOND ST	INDIANAPOLIS	IN	46239
7035548	49-10-12-109-002.000-700	CHRISTIAN TABERNACLE, INC	802	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7035549	49-10-12-109-001.000-700	PHEASANT RUN INDIANAPOLIS LLC	7925		PALAWAN DR	INDIANAPOLIS	IN	46239
7035577	49-09-18-104-001.000-700	GOINS, CHESTER L & PATRICIA J &,KATHLEEN L GOINS & KAREN L GOINS,%AUTO DEALERS EXCHANGE	8405		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7035578	49-10-13-114-003.000-700	SCP2009-C32-033 LLC,% CVS CORP 5423-01,ATTN ACCOUNTING	7935		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7035639	49-09-18-113-001.000-700	STEWART, JOSEPH LARRY &,RHONDA ROCHELLE STEWART,(H&W)	1917	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7035865	49-10-12-109-004.000-700	STONEHENGE APARTMENTS,OF INDIANAPOLIS, LTD,%ELON PROPERTY MANAGEMENT	7980		DUNSTON DR	INDIANAPOLIS	IN	46239
7035876	49-09-17-102-002.000-700	YODHA LOGISTICS INC	1405	S	POST RD	INDIANAPOLIS	IN	46239
7035884	49-09-08-107-001.000-700	SUBCARRIER COMMUNICATIONS INC	9301		BURK RD	INDIANAPOLIS	IN	46219
7036014	49-09-18-104-009.000-700	AGREE SB LLC,ATTN DANIELLE SPEHAR	8135		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7036071	49-09-08-120-008.000-700	EDR LIMITED PARTNERSHIP	470	S	MITTHOEFER RD	INDIANAPOLIS	IN	46229
7036074	49-09-18-111-004.000-700	GOINS, CHESTER,%AUTO DEALERS EXCHANGE	8635		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7036081	49-09-18-108-001.000-700	FALL, MARTIN KENRIC,TRUSTEE OR SUCCESSOR IN TRUST UNDER,MARTIN KENRIC FALL LIVING TRUST 4/1/2003	1215	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7036229	49-10-01-108-002.000-700	INDIANAPOLIS, CITY OF,DEPARTMENT OF PARKS & RECREATION	170	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7036233	49-09-18-101-007.000-700	FULTZ REALTY LLC	8498		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7036448	49-09-08-120-007.000-700	MANLEY PROPERTIES LLC	370	S	MITTHOEFER RD	INDIANAPOLIS	IN	46229
7036449	49-09-08-120-009.000-700	WOLF, ANTHONY C D.C. &,MICHELLE M TRUSTEES OF,THE ANTHONY C WOLF D.C. &,MICHELLE M JOINT	410	S	MITTHOEFER RD	INDIANAPOLIS	IN	46229
7036456	49-09-18-108-002.000-700	FUSON DEVELOPMENT LLC	1113	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7036493	49-09-06-105-009.000-700	FCPT RESTAURANT PROPERTIES LLC	8155	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7036694	49-09-18-111-001.000-700	HOCKETT, DAVID MICHAEL	8800	E	RAYMOND ST	INDIANAPOLIS	IN	46239
7036716	49-09-08-123-002.000-700	T&S KIDS, INC	310	S	MITTHOEFER RD	INDIANAPOLIS	IN	46229
7038805	49-09-18-104-010.000-700	JOHNSONS COMMERCIAL FLOORING INC	8155		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7039049	49-09-05-107-041.000-700	DOWLING SONS INC	9230		BURK RD	INDIANAPOLIS	IN	46219
7039055	49-09-08-110-001.000-700	WESTEL-INDIANAPOLIS CO	9223		BURK RD	INDIANAPOLIS	IN	46219
7039244	49-09-17-102-006.000-700	MIDWEST LOGISTICS INC	1509	S	POST RD	INDIANAPOLIS	IN	46239

7039871	49-09-08-110-002.000-700	JENSON PROPERTIES LLC	255	S	POST RD	INDIANAPOLIS	IN	46219
7039895	49-09-18-101-034.000-700	RAHI PETROLEUM INC	8020		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7039896	49-09-18-101-016.000-700	RAHI PETROLEUM INC	8020		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7039897	49-09-18-106-012.000-700	MSM FALL PARTNERSHIP	1410	S	POST RD	INDIANAPOLIS	IN	46239
7040914	49-09-18-104-003.000-700	CTC02 LLC	1715	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7040915	49-09-18-114-003.000-700	1707 SOUTH FRANKLIN LLC	1707	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7040916	49-09-18-114-004.000-700	LEWIS TESTING SERVICES INC	1727	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7040924	49-09-18-101-015.000-700	IBC MEDICAL DEVELOPMENT,LLC,% THOMAS EDGERTON	8150		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7041126	49-09-08-110-013.000-700	INSTANTWHIP-INDIANAPOLIS INC	9125		BURK RD	INDIANAPOLIS	IN	46219
7041915	49-09-08-110-010.000-700	WORRELL HOLDINGS LLC	305	S	POST RD	INDIANAPOLIS	IN	46219
7041916	49-09-08-110-007.000-700	KTB REAL ESTATE HOLDINGS LLC	305	S	POST RD	INDIANAPOLIS	IN	46219
7042446	49-09-08-110-012.000-700	CAPITAL TIRE INC	345	S	POST RD	INDIANAPOLIS	IN	46219
7042447	49-09-08-110-011.000-700	EXETER 365 411 S POST LP	365	S	POST RD	INDIANAPOLIS	IN	46219
7042448	49-09-08-110-009.000-700	DOUBLE ELEVEN CREDIT,UNION	445	S	POST RD	INDIANAPOLIS	IN	46219
7042449	49-09-08-110-008.000-700	EXETER 365 411 S POST LP	411	S	POST RD	INDIANAPOLIS	IN	46219
7042792	49-09-08-110-006.000-700	GOODLE BOY LLC	351	S	POST RD	INDIANAPOLIS	IN	46219
7043810	49-09-08-111-001.000-700	TYZAC REALTY PARTNERS LLC,C/O DAVID DAY	460		RAWLES CT	INDIANAPOLIS	IN	46229
7043811	49-09-08-111-002.000-700	MAI HOLDINGS LLC	425		RAWLES CT	INDIANAPOLIS	IN	46229
7043927	49-10-13-114-011.000-700	MOORE, ERIC	7705		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7044092	49-10-13-114-014.000-700	SPEEDWAY LLC,% PROPERTY TAX RECORDS	7805		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7045124	49-09-08-111-005.000-700	JOHNSON, ROLLAND L TRUSTEE OF THE JOHNSON,FAMILY TRUST 9/21/90	402		RAWLES CT	INDIANAPOLIS	IN	46229
7045125	49-09-08-111-004.000-700	HANGAR, LLC	405		RAWLES CT	INDIANAPOLIS	IN	46229
7045153	49-10-13-114-015.000-700	J&K CAPITAL PROPERTY LLC	1515		BROOKVILLE CROSSING WAY	INDIANAPOLIS	IN	46239
7045158	49-09-07-113-009.000-700	WILSON PROPERTY MANAGEMENT LLC	510	S	POST RD	INDIANAPOLIS	IN	46239
7045159	49-09-18-101-031.000-700	BG LEASING LLC	8630		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7045360	49-09-07-111-003.000-700	INDPLS, CITY OF,DEPARTMENT OF PUBLIC WORKS	8601		RAWLES AVE	INDIANAPOLIS	IN	46239
7045528	49-09-07-113-012.000-700	HDR REALTY LLC	562	S	POST RD	INDIANAPOLIS	IN	46239
7045529	49-09-08-111-007.000-700	M & T LIVINGSTON,PROPERTIES LLC	420		RAWLES CT	INDIANAPOLIS	IN	46229
7045530	49-09-08-111-008.000-700	CTC02 LLC	440		RAWLES CT	INDIANAPOLIS	IN	46229
7046028	49-10-13-114-017.000-700	JKS HOTEL COMPANY	1540		BROOKVILLE CROSSING WAY	INDIANAPOLIS	IN	46239
7046029	49-10-13-114-018.000-700	NORTH LAND PROPERTIES LLC	7735		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7046721	49-09-08-111-006.000-700	WATSON PROPERTIES LLC	455		RAWLES CT	INDIANAPOLIS	IN	46229
7046755	49-09-17-102-007.000-700	PALADEN PROPERTIES III LLC	1519	S	POST RD	INDIANAPOLIS	IN	46239
7046812	49-10-13-114-019.000-700	LDME ENTERPRISES, INC	1520		BROOKVILLE CROSSING WAY	INDIANAPOLIS	IN	46239
7046902	49-10-13-114-021.000-700	WF INDUSTRIAL PROPERTIES VI LLC	1530		BROOKVILLE CROSSING WAY	INDIANAPOLIS	IN	46239
7046905	49-09-07-113-013.000-700	CONSTELLATION CNG LLC	516	S	POST RD	INDIANAPOLIS	IN	46239
7046907	49-10-13-108-014.000-700	BROOKVILLE ROAD SELF STORAGE INC	1251		INTERCHANGE WAY	INDIANAPOLIS	IN	46239
7046978	49-10-13-108-015.000-700	MOJO REAL ESTATE LLC	1250		INTERCHANGE WAY	INDIANAPOLIS	IN	46239
7046991	49-10-12-115-011.000-700	JAW ENTERPRISES LLC,KEITH HOCKETT	370	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7047007	49-10-13-101-051.003-700	STANDARD BROOKVILLE LLC,%DREW WARNER	7650		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7047188	49-10-13-108-016.000-700	ADA PARTNERS LLC	1260		INTERCHANGE WAY	INDIANAPOLIS	IN	46239
7047190	49-10-13-114-022.000-700	PLUMBERS & STEAMFITTERS LOCAL UNION NO 440	1535		BROOKVILLE CROSSING WAY	INDIANAPOLIS	IN	46239
7047191	49-10-13-114-022.001-700	PLUMBERS & STEAMFITTERS LOCAL UNION NO 440	1529		BROOKVILLE CROSSING WAY	INDIANAPOLIS	IN	46239
7047209	49-09-07-101-002.001-700	ET III INDY BOTTLING LLC	1104	S	POST RD	INDIANAPOLIS	IN	46239
7047372	49-09-08-106-002.000-700	EIX PARTNERS LLC	9720		RAWLES AVE	INDIANAPOLIS	IN	46229
7047605	49-09-18-106-015.000-700	SCANNELL PROPERTIES 526 LLC	1220	S	POST RD	INDIANAPOLIS	IN	46239
7047606	49-09-18-106-015.001-700	SCANNELL PROPERTIES #593 LLC	1230	S	POST RD	INDIANAPOLIS	IN	46239
7047607	49-09-18-106-015.002-700	DOGWOOD DEVELOPMENT LLC &,MARTIN KENRIC FALL TRUSTEE MARTIN KENRIC,FALL LIVING TRUST 4/16/03	1402	S	POST RD	INDIANAPOLIS	IN	46239
7047608	49-09-18-106-015.003-700	DOGWOOD DEVELOPMENT LLC &,MARTIN KENRIC FALL TRUSTEE MARTIN KENRIC,FALL LIVING TRUST 4/16/03	1224	S	POST RD	INDIANAPOLIS	IN	46239
7047611	49-09-08-106-003.000-700	EIXP 2 LLC	365		STRATEGY DR	INDIANAPOLIS	IN	46229
7047674	49-09-08-123-003.000-700	GARVEY REAL ESTATE LLC	340	S	MITTTHOEFER RD	INDIANAPOLIS	IN	46229
7047675	49-09-08-123-003.001-700	ACM REAL ESTATE HOLDINGS LLC	316	S	MITTTHOEFER RD	INDIANAPOLIS	IN	46229
7048043	49-10-01-108-015.000-700	EAST WASHINGTON STATION LLC	7815	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7048044	49-10-01-108-015.001-700	EAST WASHINGTON PLAZA,LLC,% CENTRE PROPERTIES	7955	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7048045	49-10-01-108-015.002-700	EAST WASHINGTON PLAZA,LLC,% CENTRE PROPERTIES	7803	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7048046	49-09-08-106-004.000-700	EIXP 3 LLC	335		STRATEGY DR	INDIANAPOLIS	IN	46229
7048047	49-09-08-106-004.001-700	EIX PARTNERS LLC	9350		RAWLES AVE	INDIANAPOLIS	IN	46229

Appendix B - South Post Economic Development Area

Item 4.

PARCEL	STATE PARCEL	OWNERSHIP	ADDRESS	PRE_DIR	STREET NAME	CITY	STATE	ZIPCODE
7028691	49-09-07-106-047.000-700	MARCHAL, LINLEY	247	S	GIBSON AVE	INDIANAPOLIS	IN	46219
7036351	49-09-07-107-004.000-700	SNAY, GARY M &, JUDITH A (H&W)	8102		RAWLES AVE	INDIANAPOLIS	IN	46219
7003365	49-09-07-106-077.000-700	HENSON, NANCY A	330	S	GIBSON AVE	INDIANAPOLIS	IN	46219
7045132	49-09-08-119-090.000-700	LUND, RICHARD A &, LESLEY D	230		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7014089	49-09-05-114-002.000-700	HART, GABRIEL J	9209		HIBBEN AVE	INDIANAPOLIS	IN	46229
7044198	49-09-08-100-041.000-700	DUVALLE, MICHAEL V	732		FREESTONE DR	INDIANAPOLIS	IN	46239
7044185	49-09-08-100-037.000-700	SFR JV 1 2020 1 BORROWER LLC,%TRICOM AMERICAN HOMES LLC	817		FREESTONE DR	INDIANAPOLIS	IN	46239
7047606	49-09-18-106-015.001-700	SCANNELL PROPERTIES #593 LLC	1230	S	POST RD	INDIANAPOLIS	IN	46239
7047605	49-09-18-106-015.000-700	SP MIM INDIANAPOLIS LLC	1220	S	POST RD	INDIANAPOLIS	IN	46239
7047608	49-09-18-106-015.003-700	DOGWOOD DEVELOPMENT LLC &, MARTIN KENRIC FALL TRUSTEE MARTIN KENRIC, FALL LIVING TRUST 4/16/03	1224	S	POST RD	INDIANAPOLIS	IN	46239
7001288	49-09-05-102-035.000-700	SCARLETT, PAUL,% TRUE PROPERTY MANAGEMENT GROUP	57	S	GALESTON AVE	INDIANAPOLIS	IN	46229
7023043	49-09-08-105-013.000-700	TORKILDSON, JAMES &, SUSAN	9108		LEXINGTON AVE	INDIANAPOLIS	IN	46239
7006831	49-09-07-106-028.000-700	VB ONE LLC	312	S	FENTON AVE	INDIANAPOLIS	IN	46219
7040155	49-10-13-118-055.000-700	EVANS, MICHELE S	2132		CROSS WILLOW LN	INDIANAPOLIS	IN	46239
7041114	49-10-13-102-039.000-700	TAH HOLDINGS LP	7906		LOFTON CT	INDIANAPOLIS	IN	46239
7006514	49-09-07-108-016.000-700	COLLINS, DAVID	539	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7035892	49-09-08-113-010.000-700	HANSEN, JOHN E	9338		PROSPECT ST	INDIANAPOLIS	IN	46239
7044480	49-09-08-119-060.000-700	CURRY, JEFFREY A	239		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7046377	49-09-18-103-001.009-700	AMH 2014-3 BORROWER LLC,%AMERICAN HOMES 4 RENT,ATTN:PROPERTY TAX DEPARTMENT	8357		SOTHEBY DR	INDIANAPOLIS	IN	46239
7047675	49-09-08-123-003.001-700	ACM REAL ESTATE HOLDINGS LLC	316	S	MITTHOEFER RD	INDIANAPOLIS	IN	46229
7030757	49-09-18-101-032.000-700	TARBERT PROPERTIES LLC	8640		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7045843	49-09-18-100-057.000-700	MARTINEZ, MARIA GUERRERO R	8303		EXTON RD	INDIANAPOLIS	IN	46239
7045219	49-09-05-106-009.000-700	HANSEN, DOUGLAS C	9552		WOODSONG WAY	INDIANAPOLIS	IN	46229
7041611	49-10-13-103-040.000-700	CUNNINGHAM, LARRY T &, BRENDA SUE CUNNINGHAM	7550		STOCKARD ST	INDIANAPOLIS	IN	46239
7041075	49-10-13-107-008.000-700	WILLOW LAKES & WILLOW,OAKS HOMEOWNERS ASSOC,,INC	0		COMMON PROPERTY		IN	
7041616	49-10-13-103-097.000-700	OVERSTREET, JESSILYN L	1833		WINDY HILL LN	INDIANAPOLIS	IN	46239
7043925	49-10-13-114-010.000-700	FORUM CREDIT UNION	7855		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7034950	49-09-07-109-016.000-700	FUSON DEVELOPMENT LLC	1113	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7041385	49-09-08-115-026.000-700	AMH 2014-2 BORROWER LLC,%AMERICAN HOMES 4 RENT,ATTN: PROPERTY TAX DEPARTMENT	723		TREYBURN LAKES WAY	INDIANAPOLIS	IN	46239
7001313	49-09-05-102-062.000-700	BURDINE, SCOTT M	53		ROSEMERE AVE	INDIANAPOLIS	IN	46229
7035254	49-09-08-113-016.000-700	JOHNSON, GERLAD D	9270		PROSPECT ST	INDIANAPOLIS	IN	46239
7045199	49-09-05-106-029.000-700	WHITNEY, KENNETH D &, RUTH M	9520		WOODSONG LN	INDIANAPOLIS	IN	46229
7045133	49-09-08-119-089.000-700	NEITHAL LLC	230		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7025962	49-10-13-116-004.000-700	GRAY, MICHAEL S	7520	E	RAYMOND ST	INDIANAPOLIS	IN	46239
7016913	49-09-07-102-053.000-700	GREER, PATRICIA A	336	S	POST RD	INDIANAPOLIS	IN	46219
7046396	49-09-08-125-010.000-700	NGWA, AHTA FAR &, AH NYI LAH TAW	9434		TREYBURN LAKES DR	INDIANAPOLIS	IN	46229
7040201	49-10-13-105-028.000-700	SUDDUTH, RACHELLE M	7830		SOFTWOOD CT	INDIANAPOLIS	IN	46239
7035523	49-09-07-105-001.000-700	BENNETT, DENNIS L &, GAIL LYNN	8670		RAWLES AVE	INDIANAPOLIS	IN	46219
7039823	49-10-13-100-044.000-700	PROGRESS RESIDENTIAL BORROWER 23 LLC	7737		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7001343	49-09-05-102-005.000-700	WEILHAMER, DONALD L JR & LISA K TRUSTEES, OF THE WEILHAMER FAMILY REVOCABLE LIVING, TRUST DATED AUGUST 18 2016	9119		HIBBEN AVE	INDIANAPOLIS	IN	46229
7035271	49-09-05-107-029.000-700	SEDD REALTY CT LLC,% SANDOR DEVELOPMENT COMPANY	9529	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7046483	49-09-08-119-134.000-700	JESKE, HANNAH	9820		LEGENDS CREEK DR	INDIANAPOLIS	IN	46229
7043491	49-09-08-119-024.000-700	NOTTINGHAM PROPERTIES LLC	232		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7038945	49-09-08-122-004.000-700	COOPER, JEFF S &, DARLENE M	9355		RAWLES AVE	INDIANAPOLIS	IN	46229
7043946	49-09-08-108-009.000-700	STONE, THOMAS L	9604		GULL LAKE DR	INDIANAPOLIS	IN	46239
7045883	49-09-18-100-017.000-700	CHATMAN, SHATOYA	8337		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7023255	49-09-07-102-046.000-700	HABITAT FOR HUMANITY OF, GREATER INDIANAPOLIS INC	370	S	POST RD	INDIANAPOLIS	IN	46219
7001332	49-09-05-102-056.000-700	GATTO, DANIEL J	9183		HIBBEN AVE	INDIANAPOLIS	IN	46229
7023787	49-09-17-105-007.000-700	ARMOUR, MARJORIE M	1129	S	POST RD	INDIANAPOLIS	IN	46239
7003168	49-09-07-106-007.000-700	HICKS, GREGORY A &, SUZANNE M WALTON (JTROS)	415	S	GIBSON AVE	INDIANAPOLIS	IN	46219
7025765	49-09-17-105-008.000-700	THAYER, FRED F III &, DEBRA S	1139	S	POST RD	INDIANAPOLIS	IN	46239
7041102	49-10-13-102-027.000-700	FKH SFR PROPCO B-HLD LP,%FIRST KEY HOMES LLC	7845		LOFTON CT	INDIANAPOLIS	IN	46239
7044483	49-09-08-119-107.000-700	MCGAUGHY, EURYDICE SAMONE &, MARLAND HALL	239		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7046917	49-10-13-114-020.000-700	MDC COAST 26 LLC,% REALTY INCOME CORP	7835		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7040798	49-10-13-119-055.000-700	AMH 2015-2 BORROWER LLC,%AMERICAN HOMES 4 RENT,ATTN:PROPERTY TAX DEPARTMENT	1916		WINDY HILL LN	INDIANAPOLIS	IN	46239
7006140	49-09-07-113-010.000-700	FMG INDIANAPOLIS LLC,%REAGAN OUTDOOR ADVERTISING	530	S	POST RD	INDIANAPOLIS	IN	46239
7036522	49-09-08-122-008.000-700	SUMNER, JOSHUA M &, CIERRA	9423		RAWLES AVE	INDIANAPOLIS	IN	46229
7041650	49-10-13-103-058.000-700	PROGRESS RESIDENTIAL BORROWER 16 LLC	7645		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7000943	49-09-07-106-029.000-700	ROARK, VICKI L	320	S	FENTON AVE	INDIANAPOLIS	IN	46219
7040794	49-10-13-119-051.000-700	TURNER, KEENAN O	1940		WINDY HILL LN	INDIANAPOLIS	IN	46239
7041603	49-10-13-103-004.000-700	MOORE, JAMES	7639		STOCKARD ST	INDIANAPOLIS	IN	46239
7025542	49-09-07-106-010.000-700	MENDOZA, ISIDRO &, LAURA LICEA	8605		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7046476	49-09-08-119-127.000-700	LONCAREVIC, BORKO	9812		LEGENDS CREEK DR	INDIANAPOLIS	IN	46229
7016927	49-09-06-109-018.000-700	CRAFT, CRYSTAL L	115	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7046342	49-09-18-103-022.000-700	RAY, DAVID J	8360		SOTHEBY DR	INDIANAPOLIS	IN	46239
7042336	49-09-08-102-033.000-700	WEATHERSPOON, JIMMY L &, MARGARITE T	859		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7043927	49-10-13-114-011.000-700	MOORE, ERIC	7705		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7006890	49-09-06-110-027.000-700	WARD, JAYNE	47	S	FENTON AVE	INDIANAPOLIS	IN	46219
7001817	49-09-06-103-027.000-700	GAZCON AUTO LLC	8809	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7043944	49-09-08-108-011.000-700	ADAMS, SHARON	9616		GULL LAKE DR	INDIANAPOLIS	IN	46239
7041555	49-09-08-101-001.000-700	WOODSONG HOMEOWNERS, ASSOCIATION LLC,%DICK HARGROVE	0		COMMON PROPERTY		IN	
7042335	49-09-08-102-035.000-700	MUEX-MABON, LASHAWN	853		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7043943	49-09-08-108-028.000-700	KYRYK, OLEKSANDR &, LYUDMYLA KYRYK	9622		GULL LAKE DR	INDIANAPOLIS	IN	46239
7040904	49-10-13-104-003.000-700	REX RESIDENTIAL PROPERTY OWNER II LLC	1943		CROSS WILLOW LN	INDIANAPOLIS	IN	46239
7000149	49-09-07-108-018.000-700	COLLINS, DAVID	539	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7039897	49-09-18-106-012.000-700	MSM FALL PARTNERSHIP	1410	S	POST RD	INDIANAPOLIS	IN	46239
7041406	49-09-08-115-065.000-700	RAMIREZ PADILLA, MARGARITO	632		SWEET CREEK DR	INDIANAPOLIS	IN	46239
7006892	49-09-06-110-015.000-700	WATTS, ROBERT C & KAREN,S (H&W)	57	S	FENTON AVE	INDIANAPOLIS	IN	46219

7044191	49-09-08-100-031.000-700	PANAK, DAVID	9544		LORTON CIR	INDIANAPOLIS	IN	46239
7001361	49-09-05-102-168.000-700	LOWER, ALICE S	21		ROSEMERE AVE	INDIANAPOLIS	IN	46229
7031937	49-09-18-113-002.000-700	JESUS MINISTRIES,INC	1825	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7041062	49-10-13-107-002.000-700	HALL, ROBERT T &,KENDRA P HALL (H&W)	1926		ALVEE CIR	INDIANAPOLIS	IN	46239
7006193	49-09-07-108-010.000-700	DFC ESTATES LLC	507	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7014532	49-09-07-102-059.000-700	SCHRIMPshire , DOUGHLAS EUGENE	302	S	POST RD	INDIANAPOLIS	IN	46219
7040159	49-10-13-118-002.000-700	AMH 2014-2 BORROWER LLC,%AMERICAN HOMES 4 RENT,ATTN: PROPERTY TAX DEPARTMENT	7701		WINDY HILL WAY	INDIANAPOLIS	IN	46239
7042348	49-09-08-102-005.000-700	GREENE, DANIEL J	738		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7041639	49-10-13-103-078.000-700	POOLE, LISA RAMONA	7610		WOOD STREAM DR	INDIANAPOLIS	IN	46239
7039810	49-10-13-100-037.000-700	COPASS, ALVIN II	7824		CROSS WILLOW BLVD	INDIANAPOLIS	IN	46239
7000026	49-09-05-102-159.000-700	HALL, KELLY R	29		ROSEMERE AVE	INDIANAPOLIS	IN	46229
7001341	49-09-05-102-007.000-700	BARNES, CINDY J	9131		HIBBEN AVE	INDIANAPOLIS	IN	46229
7029581	49-09-07-107-002.000-700	GIBSON, SEAN T	8101		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7045196	49-09-05-106-032.000-700	SMITH, KENNETH L &,BIRGITT A (H&W)	9507		WOODSONG WAY	INDIANAPOLIS	IN	46229
7041105	49-10-13-102-030.000-700	BAKER, STEVEN L	7917		LOFTON CT	INDIANAPOLIS	IN	46239
7042273	49-09-08-103-011.000-700	TREYBURN LAKES HOMEOWNERS ASSOC INC	0		COMMON PROPERTY		IN	
7045129	49-09-08-119-093.000-700	GARRISON, LLOYD	230		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7042360	49-09-08-102-024.000-700	ROCHESTER SMITH, PHYLLIS P	805		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7045007	49-09-05-102-197.000-700	BAKER, COLLIER A &,YANG LU	8144		CHESTERHILL WAY	INDIANAPOLIS	IN	46239
7023028	49-09-08-105-014.000-700	WYNN, KAREN A	1032	S	BRENTWOOD AVE	INDIANAPOLIS	IN	46239
7042364	49-09-08-102-026.000-700	SUMMERS, ROBERT	838		TREYBURN LAKES WAY	INDIANAPOLIS	IN	46239
7003285	49-09-08-117-001.000-700	RUTLAND-CARTER, SHIRLEY J &,RODNEY ALEXANDER JR	820	S	MITTHOEFER RD	INDIANAPOLIS	IN	46239
7041634	49-10-13-103-068.000-700	SPOONEMORE, KAREN S	7640		WOOD STREAM DR	INDIANAPOLIS	IN	46239
7041429	49-09-08-115-059.000-700	KANNAN, SRIKANTH &,VISHNUPRIYA TIRUMALA KUMARA RAGHUNATHA	704		TREYBURN LAKES WAY	INDIANAPOLIS	IN	46239
7044212	49-09-08-100-009.000-700	GARCIA, JOSE I &,RUTH I	9517		TREYBURN GREEN WAY	INDIANAPOLIS	IN	46239
7001279	49-09-05-102-100.000-700	PFITZINGER, SCOTT G & EVE L PFITZINGER,FAMILY TRUST 08/03/2013,%BEST CHOICE SOLUTIONS LLC ATTN CATHERINE FRANCIS	9119	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7040211	49-10-13-105-006.000-700	O'MALIA, SEAN M	7928		WILLOW WIND CIR	INDIANAPOLIS	IN	46239
7040808	49-10-13-119-008.000-700	BARKER, MARTIN M	7637		HIDDEN VALLEY LN	INDIANAPOLIS	IN	46239
7016409	49-09-05-107-042.000-700	LUCAS, DAVID L &,DEBORA S (H&W)	9230		BURK RD	INDIANAPOLIS	IN	46219
7040850	49-10-13-119-073.000-700	AMH 2014-2 BORROWER LLC,%AMERICAN HOMES 4 RENT,ATTN: PROPERTY TAX DEPARTMENT	7650		SCATTER WOODS LN	INDIANAPOLIS	IN	46239
7020571	49-09-06-109-011.000-700	ROMERO-MENDOZA, ALEJANDRO &,ANGELICA MARIA DIAZ CHAVEZ	203	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7042426	49-09-05-116-008.000-700	GOSS, MORRIS N &,SHARON K	9639		WOODSONG LN	INDIANAPOLIS	IN	46229
7015735	49-09-07-117-026.000-700	BRYAN, CAROL	460	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7015777	49-09-07-102-037.000-700	HAMILTON, FRANK L III	320	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7041119	49-10-13-102-043.000-700	THOMAS, STEPHEN B &,CATHY MARIE BEASLEY THOMAS	7828		LOFTON CT	INDIANAPOLIS	IN	46239
7041120	49-10-13-102-042.000-700	HENSLEY, YOLANDA R	7822		LOFTON CT	INDIANAPOLIS	IN	46239
7035590	49-09-05-107-067.000-700	KFC US PROPERTIES INC,C/O KFC X314020	9899	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7023024	49-09-08-105-018.000-700	BANISTER, JOHN D	932		BRENTWOOD AVE	INDIANAPOLIS	IN	46239
7001261	49-09-05-102-015.000-700	CSMA FT LLC,% RYAN LLC	47	S	BRENTWOOD AVE	INDIANAPOLIS	IN	46229
7042424	49-09-05-116-010.000-700	GABLE, SANDRA R	9651		WOODSONG LN	INDIANAPOLIS	IN	46229
7043953	49-09-08-108-008.000-700	KENO, BRITTANY	9619		GULL LAKE DR	INDIANAPOLIS	IN	46239
7043489	49-09-08-119-026.000-700	BRUCE, JUMAN	232		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7041580	49-09-05-101-007.000-700	ALLEN, BEN &,JOANNE	9666		WOODSONG WAY	INDIANAPOLIS	IN	46229
7046372	49-09-18-103-051.000-700	BUTLER, SAHSA M	2020		SOTHEBY LN	INDIANAPOLIS	IN	46239
7040900	49-10-13-104-009.000-700	BROWN, RACHEL T &,JOSEPH LAMONTE WITTY	1921		CROSS WILLOW LN	INDIANAPOLIS	IN	46239
7039848	49-10-13-100-024.000-700	WORPELL, DANNY E &,ELIZABETH A WORPELL	7941		CROSS WILLOW BLVD	INDIANAPOLIS	IN	46239
7041682	49-10-13-103-094.000-700	CRAFTON, RICKEY &,SHEILA CRAFTON	1814		WINDY HILL LN	INDIANAPOLIS	IN	46239
7004406	49-09-07-106-071.000-700	GOGER, DONALD R &,DARLA	320	S	GIBSON AVE	INDIANAPOLIS	IN	46219
7015741	49-09-07-102-028.000-700	GRAVES, WESLEY M &,NANCY C GRAVES	330	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7042331	49-09-08-102-031.000-700	TREYBURN LAKES HOMEOWNERS ASSOC INC	0		COMMON PROPERTY		IN	
7044487	49-09-08-119-105.000-700	TREASURED JOY LLC	239		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7001241	49-09-05-102-036.000-700	KERNS, DAVID J &,TERESA L,(H&W)	9030		HIBBEN AVE	INDIANAPOLIS	IN	46229
7034951	49-09-18-101-012.000-700	JORDAN FISHERS LLC	8320		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7045895	49-09-18-100-005.000-700	GROCE, FELCIA &,STEPHEN	8316		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7045188	49-09-05-106-040.000-700	MANN, CARLTON H JR &,DIANA P	9557		WOODSONG WAY	INDIANAPOLIS	IN	46229
7046321	49-09-18-103-008.000-700	BROWN, GREGORY V	2016		ST CLIFFORD DR	INDIANAPOLIS	IN	46239
7036693	49-09-08-118-003.000-700	RANDHAWA, RAJDEEP KAUR &,GAGANDEEP SINGH	500	S	MITTHOEFER RD	INDIANAPOLIS	IN	46239
7044176	49-09-08-100-021.000-700	LI, FENG RU	9532		TREYBURN GREEN WAY	INDIANAPOLIS	IN	46239
7044197	49-09-08-100-054.000-700	VILLALPANDO, ELIZABETH	735		FREESTONE DR	INDIANAPOLIS	IN	46239
7045853	49-09-18-100-047.000-700	HERRON, CHRISTOPHER E	8361		EXTON RD	INDIANAPOLIS	IN	46239
7041661	49-10-13-103-016.000-700	GALBREATH, JAMES &,LONYA A THOMPSON	7632		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7044994	49-09-18-102-026.000-700	MACLIN, CHANTEY A &,BRIAN	8105		CHESTERHILL WAY	INDIANAPOLIS	IN	46239
7001325	49-09-05-102-167.000-700	CHAN, AMY CHOW &,GERALD YING KIT CHAN	121	S	WITTFIELD ST	INDIANAPOLIS	IN	46229
7042338	49-09-08-102-009.000-700	AMH 2014-3 BORROWER LLC,%AMERICAN HOMES 4 RENT,ATTN:PROPERTY TAX DEPARTMENT	854		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7042277	49-09-08-103-015.000-700	MASSA, JERRY G	9729		TREYBURN GREEN WAY	INDIANAPOLIS	IN	46239
7045530	49-09-08-111-008.000-700	CTC02 LLC	440		RAWLES CT	INDIANAPOLIS	IN	46229
7034275	49-10-12-115-006.000-700	KEITH HOCKETT RE HOLDINGS LLC (80% INT) &,KP HOCKETT RE HOLDINGS I LLC (10% INT) &,KP HOCKETT RE HOLDINGS II LLC (10% INT)	350	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7001308	49-09-05-102-139.000-700	BROWN, RONNA L	37		ROSEMERE AVE	INDIANAPOLIS	IN	46229
7014325	49-09-05-107-014.000-700	DOWLING SONS INC	9320		BURK RD	INDIANAPOLIS	IN	46219
7040270	49-10-13-117-026.000-700	WILLOW LAKES AND WILLOW,OAKS HOMEOWNERS,ASSOCIATION, INC	0		COMMON PROPERTY		IN	
7044066	49-09-08-119-042.000-700	HOLMAN, NANCY A &,MARGARET A HOLMAN (JTRS)	241		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7045012	49-09-18-102-044.000-700	SPEARS, CRAIG WILLIAM	8150		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7005322	49-09-06-103-010.000-700	INDIANAPOLIS, DEPARTMENT OF PARKS &,RECREATION	8602		BONNA AVE	INDIANAPOLIS	IN	46219
7045534	49-09-18-105-013.000-700	PETTY, KELSEY JO	8124	E	RAYMOND ST	INDIANAPOLIS	IN	46239
7035577	49-09-18-104-001.000-700	GOINS, CHESTER L &,PATRICIA J &,KATHLEEN L GOINS &,KAREN L GOINS,%AUTO DEALERS EXCHANGE	8405		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7040834	49-10-13-119-021.000-700	CHEATHAM, OCKETA	7613		SCATTER WOODS LN	INDIANAPOLIS	IN	46239

7044988	49-09-18-102-020.000-700	TAYLOR, JENNIFER A &, WILLIAM L	8128		CHESTERHILL WAY	INDIANAPOLIS	IN	46239
7045222	49-09-05-106-006.000-700	PUCKETT, LARRY &, SHERRI H/W	156		WOODSONG PL	INDIANAPOLIS	IN	46229
7046394	49-09-08-125-008.000-700	MONTGOMERY, PAMELA R	9474		TREYBURN LAKES DR	INDIANAPOLIS	IN	46229
7036352	49-09-07-107-006.000-700	TUTTLE, HUGH M &, MARTHA E	8026		RAWLES AVE	INDIANAPOLIS	IN	46219
7001307	49-09-05-102-162.000-700	MALDONADO, CANDE &, MARIA E LEON BANUELOS	35		ROSEMERE AVE	INDIANAPOLIS	IN	46229
7044488	49-09-08-119-104.000-700	FAKHRY, AYA &, AHMED HANIAH	239		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7015744	49-09-06-109-008.000-700	BUTLER, SHIRLEY	206	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7014846	49-09-07-102-042.000-700	MORNINGSIDE RESIDENTIAL LLC	8902		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7042328	49-09-08-103-059.000-700	YOUNG, ELISABETH &, JORDAN YOUNG	9649		TREYBURN GREEN WAY	INDIANAPOLIS	IN	46239
7041069	49-10-13-107-014.000-700	FKH SFR PROPCO G LP	1911		ALVEE CIR	INDIANAPOLIS	IN	46239
7001344	49-09-05-102-004.000-700	FOGOLIN, TAMMIE L	9113		HIBBEN AVE	INDIANAPOLIS	IN	46229
7032150	49-09-07-100-009.000-700	HUDSON, HARVEY D	8121		SYCAMORE SPRINGS TRL	INDIANAPOLIS	IN	46239
7014324	49-09-05-107-005.000-700	J A V CONCRETE LLC	9120		BURK RD	INDIANAPOLIS	IN	46219
7043488	49-09-08-119-027.000-700	FRAME-BAILEY, SUZANNE	232		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7022059	49-09-08-120-001.000-700	RAWLES INVESTMENT LLC	9810		RAWLES AVE	INDIANAPOLIS	IN	46229
7019348	49-09-06-109-010.000-700	CAPPS, KENLIO E &, SABRINA F	205	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7006889	49-09-06-110-029.000-700	CONTINENTAL PROPERTIES, LLC, ATTN ROBERT P THOMAS,%CAPITOL CITY FORD	39	S	FENTON AVE	INDIANAPOLIS	IN	46219
7022910	49-09-18-104-002.000-700	JOHN F POPP BUSINESS CORP	8211		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7043490	49-09-08-119-025.000-700	ZHANG, JIE &, KE YANG	232		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7030748	49-10-13-108-004.000-700	INDPLS, CITY OF	1302	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7045848	49-09-18-100-052.000-700	ROSS, MARTI DE ANN &, JEREMIAH LOUIS ROSS	8333		EXTON RD	INDIANAPOLIS	IN	46239
7045870	49-09-18-100-030.000-700	ELAM, MEREDITH & GABRIEL	8338		EXTON RD	INDIANAPOLIS	IN	46239
7001335	49-09-05-102-018.000-700	HAMMONS, TERESA D	9169		HIBBEN AVE	INDIANAPOLIS	IN	46229
7043512	49-09-08-119-003.000-700	GIBSON, SHERRY	248		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7001353	49-09-05-102-038.000-700	BLAKE, CHRISTIAN TIMOTHY ROBERT	9001		HIBBEN AVE	INDIANAPOLIS	IN	46229
7014839	49-09-07-117-012.000-700	BRYAN, CAROL	460	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7045863	49-09-18-100-037.000-700	CARLISLE, BEVERLY	2039		SOTHEBY LN	INDIANAPOLIS	IN	46239
7018366	49-09-07-117-030.000-700	WATSON, DELMAR C SR &, HELEN ROSE	8855		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7003032	49-09-07-106-054.000-700	YONTS, HAROLD R &, MINERVA J	8540		RAWLES AVE	INDIANAPOLIS	IN	46219
7035320	49-09-08-122-006.000-700	PETTY, JEFFREY W &, ANNA M PETTY (H&W)	9525		RAWLES AVE	INDIANAPOLIS	IN	46229
7045136	49-09-08-119-086.000-700	PISAREVICH, ALEKSANDR &, ELENA	230		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7041675	49-10-13-103-093.000-700	GANT, CHARLES E	7511		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7046379	49-09-18-103-056.000-700	SIMMONS, CHANTA	8345		SOTHEBY DR	INDIANAPOLIS	IN	46239
7040176	49-10-13-118-040.000-700	WOODROUGH, JACK &, REBECCA	2046		WINDY HILL LN	INDIANAPOLIS	IN	46239
7032144	49-09-07-100-003.000-700	FLORES, MARIO HERNANDEZ	8112		SYCAMORE SPRINGS TRL	INDIANAPOLIS	IN	46239
7041664	49-10-13-103-028.000-700	SMITH, JAMIE L	7614		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7046907	49-10-13-108-014.000-700	BROOKVILLE ROAD SELF STORAGE INC	1251		INTERCHANGE WAY	INDIANAPOLIS	IN	46239
7006286	49-09-06-103-018.000-700	AAA HOLDINGS GROUP, LLC,%RANDY L HOOD	8727	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7001251	49-09-05-102-112.000-700	ROWE, EBONY DENISE	9025	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7045194	49-09-05-106-034.000-700	WEIKER, LEAH J	9519		WOODSONG WAY	INDIANAPOLIS	IN	46229
7041562	49-09-05-101-012.000-700	FISCHER, FRANCES M	9745		WOODSONG WAY	INDIANAPOLIS	IN	46229
7040816	49-10-13-119-037.000-700	MARTINIE, PAULA	7648		HIDDEN VALLEY LN	INDIANAPOLIS	IN	46239
7048055	49-09-05-107-088.001-700	PRD PROPERTIES LTD, ATTN RANGA GORREPATI	9503	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7048054	49-09-05-107-088.000-700	PRD PROPERTIES LTD, ATTN RANGA GORREPATI	9503	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7007900	49-09-06-112-009.000-700	GRANT, DANIEL B	227	S	GIBSON AVE	INDIANAPOLIS	IN	46219
7045211	49-09-05-106-017.000-700	FORTE, JENNIFER D &, MICHAEL A	9559		WOODSONG LN	INDIANAPOLIS	IN	46229
7014437	49-09-05-107-002.000-700	FEATHERSTON, MERLIN A &, CATHY	9220		BURK RD	INDIANAPOLIS	IN	46219
7041586	49-09-05-101-003.000-700	ALLSOP, JERRY &, JANE	9734		WOODSONG WAY	INDIANAPOLIS	IN	46229
7042358	49-09-08-102-007.000-700	GARCIA, EDWIN	741		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7046467	49-09-08-119-140.000-700	COLEMAN, GARY L	9804		LEGENDS CREEK DR	INDIANAPOLIS	IN	46229
7018373	49-09-07-102-012.000-700	MILLER, BLACKSTONE R &, ELLEN S (H&W)	364	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7036138	49-09-07-111-002.000-700	WININGER, MARVIN G &, LEAH M WININGER	8641		RAWLES AVE	INDIANAPOLIS	IN	46239
7041360	49-09-08-115-005.000-700	TREYBURN LAKES HOMEOWNERS ASSOC INC	0		COMMON PROPERTY		IN	
7041084	49-10-13-102-002.000-700	HALL, MICHELE	7829		WAYFOREST CT	INDIANAPOLIS	IN	46239
7041378	49-09-08-115-018.000-700	MOTES, IAN ROBERT	627		TREYBURN LAKES WAY	INDIANAPOLIS	IN	46239
7041404	49-09-08-115-072.000-700	FRAZER, ANGELA D	644		SWEET CREEK DR	INDIANAPOLIS	IN	46239
7041372	49-09-08-115-017.000-700	AGUILERA PINEDA, KEVIN J	541		TREYBURN LAKES WAY	INDIANAPOLIS	IN	46239
7046395	49-09-08-125-009.000-700	BOARDEN, ELLIOTT	9450		TREYBURN LAKES DR	INDIANAPOLIS	IN	46229
7046367	49-09-18-103-046.000-700	BROSCH, ASHLEY	2007		SOTHEBY LN	INDIANAPOLIS	IN	46239
7048085	49-10-13-119-005.000-700	MORRISEY, KEVIN M	7617		HIDDEN VALLEY LN	INDIANAPOLIS	IN	46239
7039846	49-10-13-100-022.000-700	YAMASA CO LTD	7927		CROSS WILLOW BLVD	INDIANAPOLIS	IN	46239
7004679	49-09-05-102-184.000-700	ANDIAN 2 LLC	9045	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7016919	49-09-07-102-027.000-700	PORTER, DAVID K &, TAMMY C	338	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7018369	49-09-07-116-031.000-700	BRAGG, DALTON &, OKSANA	220	S	POST RD	INDIANAPOLIS	IN	46219
7040229	49-10-13-117-021.000-700	DENHAM, KEARSTON &, SEAN P DENHAM	2025		COLDWATER CT	INDIANAPOLIS	IN	46239
7039819	49-10-13-100-002.000-700	SAFARI TWO ASSET COMPANY LLC	1718		BLUE WILLOW CIR	INDIANAPOLIS	IN	46239
7045839	49-09-18-100-061.000-700	KOCH, KEITH	2114		ST CLIFFORD DR	INDIANAPOLIS	IN	46239
7041676	49-10-13-103-095.000-700	WORK, JASON ALAN &, CHRISTY LYNN	7515		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7039834	49-10-13-100-008.000-700	MCCORMACK, DAVID E &, MARGARET M MCCORMACK H&W	7814		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7044189	49-09-08-100-033.000-700	SMITH, DEMIKA C	9539		LORTON CIR	INDIANAPOLIS	IN	46239
7046347	49-09-18-103-026.000-700	WINSTON, DANNIKA T	8420		SOTHEBY DR	INDIANAPOLIS	IN	46239
7042291	49-09-08-103-024.000-700	GRIDER, DONALD R JR &, WHITNEY PETTIT	9704		PIPER LAKE DR	INDIANAPOLIS	IN	46239
7046393	49-09-08-125-007.000-700	FUTRELL, ROSIE &, CHRISTINE FUTRELL	9482		TREYBURN LAKES DR	INDIANAPOLIS	IN	46229
7041077	49-10-13-102-007.000-700	WILSON, ANDREW DAVID &, WHITNEY MARIE	7809		WOOD STREAM DR	INDIANAPOLIS	IN	46239
7040139	49-10-13-118-026.000-700	NELSON, NELS L	7633		DANCY DR	INDIANAPOLIS	IN	46239
7046387	49-09-18-103-063.000-700	CHESHER, FADALE LAMONTE	2017		ST CLIFFORD DR	INDIANAPOLIS	IN	46239
7041599	49-10-13-103-007.000-700	JONES, VIONTA L	7615		STOCKARD ST	INDIANAPOLIS	IN	46239
7041554	49-09-08-101-002.000-700	WOODSONG HOMEOWNERS ASSOCIATION LLC	0		COMMON PROPERTY		IN	
7041614	49-10-13-103-054.000-700	AMH 2014-3 BORROWER LLC,%AMERICAN HOMES 4 RENT, ATTN:PROPERTY TAX DEPARTMENT	7532		STOCKARD ST	INDIANAPOLIS	IN	46239
7007768	49-09-07-107-008.000-700	WEBB, JOHN WILLIAM &, DARCY J MILLER	431	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7044981	49-09-18-102-013.000-700	JACKSON, STEPHANO A SR	8048		CHESTERHILL WAY	INDIANAPOLIS	IN	46239
7045888	49-09-18-100-012.000-700	LANE, LAQUISHA	8358		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7041648	49-10-13-103-060.000-700	BTH RESIDENTIAL LLC	7633		BLUE WILLOW DR	INDIANAPOLIS	IN	46239

7047088	49-09-05-107-087.000-700	CHERRY TREE OUTPARCEL II LLC	9875	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7001292	49-09-05-102-021.000-700	BAUE, JONATHAN	60		ROSEMERE AVE	INDIANAPOLIS	IN	46229
7001271	49-09-05-102-089.000-700	DARLAND, PATRICIA ANN	40	S	GALESTON AVE	INDIANAPOLIS	IN	46229
7045217	49-09-05-106-011.000-700	AYRES, RICHARD L	9540		WOODSONG WAY	INDIANAPOLIS	IN	46229
7044070	49-09-08-119-046.000-700	MCCLURE, WILLIAM C	241		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7021122	49-09-08-109-012.000-700	MARTIN, YESENIA	909	S	POST RD	INDIANAPOLIS	IN	46239
7042425	49-09-05-116-009.000-700	O'MALLEY, MARY I	9645		WOODSONG LN	INDIANAPOLIS	IN	46229
7042375	49-09-08-116-007.000-700	MCCLENDON, MARCUS	9633		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7023900	49-09-07-106-016.000-700	WORLAND, MICHAEL E &,CAROLE A WORLAND (H&W)	8718		IVANHOE ST	INDIANAPOLIS	IN	46219
7029573	49-09-07-103-002.000-700	SMITH, BILLY JOE	8050		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7032907	49-09-06-107-003.000-700	DORI DEVELOPMENT CO,% SANDOR DEVELOPMENT COMPANY	8311	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7041591	49-10-13-103-013.000-700	EZEMUOKWE, JOYCE	1861		WINDY HILL LN	INDIANAPOLIS	IN	46239
7041362	49-09-08-115-078.000-700	TREYBURN LAKES HOMEOWNERS ASSOC INC	0		COMMON PROPERTY		IN	
7042282	49-09-08-103-008.000-700	PROGRESS RESIDENTIAL BORROWER 12 LLC	931		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7016918	49-09-07-102-010.000-700	BUTLER, VICKI O &,W/LIFE ESTATE RSVD TO,HERMAN O GRIDER &,S EVELYN GRIDER	8750		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7039808	49-10-13-100-035.000-700	RAKITIC, IVO &,SNJEZANA RAKITIC	7836		CROSS WILLOW BLVD	INDIANAPOLIS	IN	46239
7040124	49-10-13-118-044.000-700	PQT RENOVATION LLC	7646		DANCY DR	INDIANAPOLIS	IN	46239
7042391	49-09-08-104-016.000-700	AMERICAN HOMES 4 RENT PROPERTIES ONE LLC	9507		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7031343	49-09-08-113-009.000-700	MITCHELL, SCOTT E &,TREVA JEAN JULIE MITCHELL,H & W	9206		PROSPECT ST	INDIANAPOLIS	IN	46239
7035272	49-09-05-107-051.000-700	TWO TIME VENTURES LLC	9501	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7032155	49-09-07-100-015.000-700	HAZELWOOD, BRANDON	8021		SYCAMORE SPRINGS TRL	INDIANAPOLIS	IN	46239
7021124	49-09-08-109-008.000-700	SENTMAN, GERALD K	831	S	POST RD	INDIANAPOLIS	IN	46239
7041061	49-10-13-107-001.000-700	BOWLING, LARRY M	1920		ALVEE CIR	INDIANAPOLIS	IN	46239
7016565	49-09-07-109-007.000-700	DARLING, LOIS J	1025	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7032156	49-09-07-108-025.000-700	SMITH, DENVER &,JEANIE	720		CECIL ST	INDIANAPOLIS	IN	46239
7041373	49-09-08-115-016.000-700	MNSF T3 SPE LLC	547		TREYBURN LAKES WAY	INDIANAPOLIS	IN	46239
7028199	49-09-07-107-012.000-700	TANDY, BENJAMIN A	8039		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7004092	49-09-07-103-007.000-700	WE CARE TREE SERVICE LLC	385	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7042292	49-09-08-103-025.000-700	FITTS, CHARLES L &,MELISSA S (H&W)	9668		PIPER LAKE DR	INDIANAPOLIS	IN	46239
7041659	49-10-13-103-014.000-700	STEVENS, JAMES D	7644		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7045027	49-09-18-102-059.000-700	RUCKER, ADAM &,ASHLYN	8153		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7001248	49-09-05-102-124.000-700	DICK, DANIEL LEWIS &,NANCY L	28	S	BRENTWOOD AVE	INDIANAPOLIS	IN	46229
7001336	49-09-05-102-017.000-700	SLONE, JAMES E	9161		HIBBEN AVE	INDIANAPOLIS	IN	46229
7001255	49-09-05-102-113.000-700	MANNING, B LOUISE	15	S	BRENTWOOD AVE	INDIANAPOLIS	IN	46229
7046397	49-09-08-125-011.000-700	SHEARD, PATRICIA A &,PERRY	9424		TREYBURN LAKES DR	INDIANAPOLIS	IN	46229
7041113	49-10-13-102-038.000-700	EDWARDS, DIANE M	7912		LOFTON CT	INDIANAPOLIS	IN	46239
7025312	49-09-07-109-001.000-700	FLEENOR, DARREL R &,WANDA J FLEENOR, TRUSTEES,OF DARREL R & WANDA J FLEENOR JOINT REVOCABLE	1015	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7045845	49-09-18-100-055.000-700	HANNAN, ALEXA JEAN &,ERIC ROBERT	8315		EXTON RD	INDIANAPOLIS	IN	46239
7046755	49-09-17-102-007.000-700	PALADEN PROPERTIES III LLC	1519	S	POST RD	INDIANAPOLIS	IN	46239
7042293	49-09-08-103-026.000-700	BRILES, JUDY &,MICHAEL	9660		PIPER LAKE DR	INDIANAPOLIS	IN	46239
7039049	49-09-05-107-041.000-700	DOWLING SONS INC	9230		BURK RD	INDIANAPOLIS	IN	46219
7006253	49-09-07-113-006.000-700	BHARGAVA, MADHU	8745		RAWLES AVE	INDIANAPOLIS	IN	46239
7040818	49-10-13-119-035.000-700	AMH 2015-2 BORROWER LLC,%AMERICAN HOMES 4 RENT,ATTN:PROPERTY TAX DEPARTMENT	7636		HIDDEN VALLEY LN	INDIANAPOLIS	IN	46239
7036144	49-09-08-113-013.000-700	JOHNSON, DAVID TUNIS &,JONI E (H&W)	9310		PROSPECT ST	INDIANAPOLIS	IN	46239
7044974	49-09-18-102-006.000-700	HINKLE, TIA	8010		CHESTERHILL WAY	INDIANAPOLIS	IN	46239
7039835	49-10-13-100-012.000-700	MEYER, CHRISTINE R	7810		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7003170	49-09-07-106-070.000-700	SCOTT, WILLIAM E &,KANDI D	309	S	GIBSON AVE	INDIANAPOLIS	IN	46219
7035522	49-09-07-105-003.000-700	ARTERBURN, JANET L &,BRANDON N NESS	8624		RAWLES AVE	INDIANAPOLIS	IN	46219
7028205	49-09-05-102-195.001-700	CAPLINGER, MARGARET E	16	S	GALESTON AVE	INDIANAPOLIS	IN	46229
7017426	49-09-07-102-025.000-700	ECKEL, BARBARA J	312	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7028038	49-09-08-113-008.000-700	MITCHELL, SCOTT E &,TREVA JEAN JULIE MITCHELL,H & W	9206		PROSPECT ST	INDIANAPOLIS	IN	46239
7001310	49-09-05-102-076.000-700	ATHERTON, DAVID &,CHRISIE	45		ROSEMERE AVE	INDIANAPOLIS	IN	46229
7006973	49-09-07-104-004.000-700	SMITH, DONALD R &,ELSIE M SMITH TRUSTEE	8240		RAWLES AVE	INDIANAPOLIS	IN	46219
7042346	49-09-08-102-003.000-700	STATON, WILLIAM G	750		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7041620	49-10-13-103-046.000-700	LYNCH, JEFFREY A &,JENNIFER R LYNCH (H&W)	7547		WOOD STREAM DR	INDIANAPOLIS	IN	46239
7018364	49-09-06-109-001.000-700	KMCNEAL, DUANE &,CRYSTAL COMBS	218	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7030521	49-09-17-103-005.000-700	KREMILLER, EVELYN E	9331		PROSPECT ST	INDIANAPOLIS	IN	46239
7035274	49-09-05-107-073.000-700	MCDONALD'S USA LLC	9851	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7046407	49-09-08-125-015.000-700	COLBERT, TRILANDA K	9483		TREYBURN LAKES DR	INDIANAPOLIS	IN	46229
7018363	49-09-07-102-031.000-700	WILLIAMS, DAVID M &,CHRISTY L WILLIAMS (H&W)	333	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7028424	49-09-18-105-003.000-700	NECKER, ALEX &,AMY HITE	8040	E	RAYMOND ST	INDIANAPOLIS	IN	46239
7014323	49-09-05-107-003.000-700	JAV CONCRETE LLC	9210		BURK RD	INDIANAPOLIS	IN	46219
7041579	49-09-05-101-008.000-700	JACKSON, TAI	9660		WOODSONG WAY	INDIANAPOLIS	IN	46229
7040803	49-10-13-119-003.000-700	MCH SFR PROPERTY OWNER 4 LLC	7605		HIDDEN VALLEY LN	INDIANAPOLIS	IN	46239
7042449	49-09-08-110-008.000-700	EXETER 365 411 S POST LP	411	S	POST RD	INDIANAPOLIS	IN	46219
7045019	49-09-18-102-051.000-700	BONITZ, EVAN	8047		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7006249	49-10-13-112-001.000-700	WILLIAMS, GLENDA A	7702	E	RAYMOND ST	INDIANAPOLIS	IN	46239
7035521	49-09-07-117-003.000-700	GLUMAC, MILAN &,ZDRAVKA GLUMAC (H&W)	432	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7044173	49-09-08-100-003.000-700	WASHINGTON, CATRINA	9556		TREYBURN GREEN WAY	INDIANAPOLIS	IN	46239
7045838	49-09-18-100-062.000-700	COLLINS, KEVIN J &,PENNY D	2108		ST CLIFFORD DR	INDIANAPOLIS	IN	46239
7022760	49-09-07-102-003.000-700	GRAVES, WESLEY M &,NANCY,C GRAVES REVOCABLE LIVING,TRUST	8719		IVANHOE ST	INDIANAPOLIS	IN	46219
7042378	49-09-08-116-010.000-700	GOMEZ, GEORGE &,LISA,(H&W)	9657		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7045841	49-09-18-100-059.000-700	DURHAM, WILLIAM A JR	2126		ST CLIFFORD DR	INDIANAPOLIS	IN	46239
7004449	49-09-08-110-005.000-700	CAPITAL TIRE INC	351	S	POST RD	INDIANAPOLIS	IN	46219
7040238	49-10-13-117-003.000-700	COLON, SHARLENE &,ERIC DE JESUS MENDOZA HERNANDEZ	2127		DANCY CT	INDIANAPOLIS	IN	46239
7040259	49-10-13-117-036.000-700	AMH 2014-2 BORROWER LLC,%AMERICAN HOMES 4 RENT,ATTN:PROPERTY TAX DEPARTMENT	7818		BENT WILLOW DR	INDIANAPOLIS	IN	46239
7039830	49-10-13-100-011.000-700	MARKLAND, ANGELA D	7805		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7016922	49-09-07-116-007.000-700	MYERS, WILLIAM D	237	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7030811	49-09-07-102-001.000-700	HURT, JAMES E &,SHARON B	8730		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7015740	49-09-07-117-035.000-700	KUCHLER, CAM	8960		RAWLES AVE	INDIANAPOLIS	IN	46219
7039837	49-10-13-100-014.000-700	FLEMING, DAVID C	7821		CROSS WILLOW BLVD	INDIANAPOLIS	IN	46239

7027438	49-10-12-115-010.000-700	M & K WAREHOUSE SERVICES LLC	7950		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7041610	49-10-13-103-036.000-700	BAF ASSETS 3 LLC	7602		STOCKARD ST	INDIANAPOLIS	IN	46239
7045858	49-09-18-100-042.000-700	LOWERY, ANTHONY	2115		SOTHEBY LN	INDIANAPOLIS	IN	46239
7040221	49-10-13-105-014.000-700	JIMISON, DEBRA	7942		BENT WILLOW DR	INDIANAPOLIS	IN	46239
7042091	49-09-18-101-018.000-700	C52 HOLDINGS INC,ATTN PASTOR PERRY MEADE	8220		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7046756	49-09-06-103-029.000-700	OREILLY AUTOMOTIVE INC	8819	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7029985	49-09-07-106-090.000-700	PHIPPS, SCOTT	221	S	FENTON AVE	INDIANAPOLIS	IN	46219
7041067	49-10-13-107-007.000-700	HIMES, KENNETH M &,KATHLEEN A (H&W)	1923		ALVEE CIR	INDIANAPOLIS	IN	46239
7023040	49-09-08-105-009.000-700	ATCHISON, STEVEN J &,LISA M	827	S	BRENTWOOD AVE	INDIANAPOLIS	IN	46239
7041431	49-09-08-115-053.000-700	RATLIFF, JAMES &,BETH	640		TREYBURN LAKES WAY	INDIANAPOLIS	IN	46239
7028036	49-09-07-110-002.000-700	SCHOOL, MSD OF WARREN TOWNSHIP VISION 2005,SCHOOL BUILDING CORPORATION	8301		RAWLES AVE	INDIANAPOLIS	IN	46239
7040790	49-10-13-119-049.000-700	SCHROEDER, DAVE T	2010		WINDY HILL LN	INDIANAPOLIS	IN	46239
7045004	49-09-18-102-036.000-700	ARNOLD, SARA M &,MICHAEL D	8155		CHESTERHILL WAY	INDIANAPOLIS	IN	46239
7046320	49-09-18-103-066.000-700	GILLILAND-SAUER, SEAN &,JOSHUA EDWARDS	2022		ST CLIFFORD DR	INDIANAPOLIS	IN	46239
7014938	49-09-05-107-018.000-700	SELVIDGE, TONIA L	9410		BURK RD	INDIANAPOLIS	IN	46219
7020928	49-09-07-117-001.000-700	ROBERTSON, SUZANNE	8920		RAWLES AVE	INDIANAPOLIS	IN	46219
7041560	49-09-05-101-029.000-700	LOPEZ, FERNANDO	9805		WOODSONG WAY	INDIANAPOLIS	IN	46229
7001264	49-09-05-102-012.000-700	RADFORD, EMILY	9040		HIBBEN AVE	INDIANAPOLIS	IN	46229
7004766	49-09-07-106-036.000-700	LOCKARD, BOE	422	S	FENTON AVE	INDIANAPOLIS	IN	46219
7040134	49-10-13-118-021.000-700	LINDER, DAVID C &,CAROLYN F H&W	7663		DANCY DR	INDIANAPOLIS	IN	46239
7042388	49-09-08-104-008.000-700	FKH SFR PROPCO I LP	9522		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7005356	49-09-05-102-145.000-700	BURKEEN, LESTER R &,DELORES C ARBUCKLE (H&W)	116	S	WITFIELD ST	INDIANAPOLIS	IN	46229
7045837	49-09-18-100-063.000-700	SOUSA, JOSHUA J &,ELIZABETH D	2102		ST CLIFFORD DR	INDIANAPOLIS	IN	46239
7042322	49-09-08-103-053.000-700	TOURE, ANOH BROU &,ABOUBACAR TOURE (H&W)	9648		TREYBURN GREEN WAY	INDIANAPOLIS	IN	46239
7046343	49-09-18-103-001.007-700	KAUR, GURPREET &,GURPREET KAUR	8366		SOTHEBY DR	INDIANAPOLIS	IN	46239
7014993	49-09-07-106-064.000-700	MITCHELL, JAMES	344	S	GIBSON AVE	INDIANAPOLIS	IN	46219
7044195	49-09-08-100-027.000-700	WALLACE, CHRISTOPHER D &,DIANNA MICHELLE PAYTON,(JTRS)	9522		LORTON CIR	INDIANAPOLIS	IN	46239
7040827	49-10-13-119-016.000-700	HICKS, PEGGY A	2003		WINDY HILL LN	INDIANAPOLIS	IN	46239
7045131	49-09-08-119-091.000-700	LIS, KEVIN	230		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7000915	49-09-18-101-010.000-700	TARBERT PROPERTIES LLC	8800	S	BROOKVILLE RD	INDIANAPOLIS	IN	46239
7041606	49-10-13-103-048.000-700	CSMA BLT LLC,%FIRSTKEY HOMES LLC	7626		STOCKARD ST	INDIANAPOLIS	IN	46239
7033504	49-10-13-114-002.000-700	BUSSELL, CAROL A	1604	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7044473	49-09-08-119-113.000-700	KIMURA, YOKO	231		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7021151	49-09-06-112-004.000-700	WEST, MICHAEL & DEBORAH	200	S	FENTON AVE	INDIANAPOLIS	IN	46219
7044071	49-09-08-119-047.000-700	WALDRON, SIMON	241		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7041064	49-10-13-107-004.000-700	KELLY, ROBERT M,ROSEMARIE S (H&W)	1934		ALVEE CIR	INDIANAPOLIS	IN	46239
7040171	49-10-13-118-016.000-700	MCCLAIN, ROGER ALAN	2111		COLDWATER CIR	INDIANAPOLIS	IN	46239
7041646	49-10-13-103-062.000-700	PROGRESS RESIDENTIAL BORROWER 8 LLC	7621		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7045835	49-09-18-100-065.000-700	MAYFAIR VILLAGE, LLC	0		COMMON PROPERTY		IN	
7040820	49-10-13-119-029.000-700	VANDEMARK, MARY J	7624		HIDDEN VALLEY LN	INDIANAPOLIS	IN	46239
7046319	49-09-18-103-007.000-700	TRAN, CHARLIE VAN &,HUONG THI HUYNH	2028		ST CLIFFORD DR	INDIANAPOLIS	IN	46239
7045138	49-09-08-119-084.000-700	TARIQ, MUHAMMAD &,SAMINA	238		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7001286	49-09-05-102-087.000-700	PRESWICK PROPERTIES LLC	41	S	GALESTON AVE	INDIANAPOLIS	IN	46229
7005134	49-09-06-103-001.000-700	ZEPHYR PROPERTIES, LLC	8623	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7042316	49-09-08-103-048.000-700	ANDERSON, CRYSTAL S	1012		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7045130	49-09-08-119-092.000-700	BURTON, PHILIP JAMES II	230		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7045842	49-09-18-100-058.000-700	COLVARD, MINDY	2132		ST CLIFFORD DR	INDIANAPOLIS	IN	46239
7046862	49-09-05-107-081.000-700	SEDD REALTY CT LLC,%SANDOR DEVELOPMENT COMPANY	9701	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7040250	49-10-13-117-014.000-700	SHERRILL, JUDITH A &,CLAUDIA C PRANKE	7815		BENT WILLOW DR	INDIANAPOLIS	IN	46239
7036447	49-09-08-122-007.000-700	AUBLE-CLAVIN, TONY J	9427		RAWLES AVE	INDIANAPOLIS	IN	46229
7040824	49-10-13-119-025.000-700	ROBBINS, FRED H &,JUNE B ROBBINS (H&W)	7550		HIDDEN VALLEY LN	INDIANAPOLIS	IN	46239
7038493	49-09-07-118-009.000-700	SLB ASSETS IX LLC	8210		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7004223	49-09-08-120-005.000-700	RAWLES INVESTMENT LLC	9808		RAWLES AVE	INDIANAPOLIS	IN	46229
7044985	49-09-18-102-017.000-700	PROGRESS RESIDENTIAL BORROWER 9 LLC	8110		CHESTERHILL WAY	INDIANAPOLIS	IN	46239
7041572	49-09-05-101-021.000-700	MERCER, WILLIAM C &,LORI J	9647		WOODSONG WAY	INDIANAPOLIS	IN	46229
7045874	49-09-18-100-026.000-700	GUMM, ADEA	8314		EXTON RD	INDIANAPOLIS	IN	46239
7029073	49-09-18-105-001.000-700	HALL, JUAN A	8140	E	RAYMOND ST	INDIANAPOLIS	IN	46239
7041571	49-09-05-101-020.000-700	HARMEYER, ANTHONY &,KAREN A	9653		WOODSONG WAY	INDIANAPOLIS	IN	46229
7041433	49-09-08-115-051.000-700	AMH 2015-1 BORROWER LLC,%AMERICAN HOMES 4 RENT,ATTN:PROPERTY TAX DEPARTMENT	628		TREYBURN LAKES WAY	INDIANAPOLIS	IN	46239
7041400	49-09-08-115-074.000-700	SUNJIC, VEDRAN	716		SWEET CREEK DR	INDIANAPOLIS	IN	46239
7014529	49-09-07-116-024.000-700	COLLINS, DAVID	8940		IVANHOE ST	INDIANAPOLIS	IN	46219
7046468	49-09-08-119-121.000-700	HAYES, GINA B	9804		LEGENDS CREEK DR	INDIANAPOLIS	IN	46229
7040847	49-10-13-119-077.000-700	HENRY, LILLIAN KAY	1920		CROSS WILLOW LN	INDIANAPOLIS	IN	46239
7045200	49-09-05-106-028.000-700	MICKLE, WENDY L	9526		WOODSONG LN	INDIANAPOLIS	IN	46229
7040843	49-10-13-119-041.000-700	RAY, JULIE A	1944		CROSS WILLOW LN	INDIANAPOLIS	IN	46239
7001296	49-09-05-102-095.000-700	LEWIS, JONATHAN	44		ROSEMERE AVE	INDIANAPOLIS	IN	46229
7042412	49-09-05-116-015.000-700	MINGO, DEIRDRE L	9759		WOODSONG LN	INDIANAPOLIS	IN	46229
7035324	49-09-07-109-015.000-700	FUSON DEVELOPMENT LLC	1113	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7042371	49-09-08-116-003.000-700	CULLOP, MARGARET A	9668		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7015166	49-10-13-114-001.000-700	FREE PRESBYTERIAN CHURCH,OF INDIANAPOLIS	1702	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7032143	49-09-07-100-004.000-700	KISHWAR, NAHEED	8102		SYCAMORE SPRINGS TRL	INDIANAPOLIS	IN	46239
7040235	49-10-13-117-029.000-700	FRENCH, RICHARD N III &,JULIE A H&W	2042		COLDWATER CT	INDIANAPOLIS	IN	46239
7016304	49-09-07-102-009.000-700	KELLO, DAVID &,ASHLEY	355	S	ROUSSIERS AVE	INDIANAPOLIS	IN	46219
7039826	49-10-13-100-048.000-700	FKH SFR PROPCO B-HLD LP,%FIRST KEY HOMES LLC	7750		CROSS WILLOW BLVD	INDIANAPOLIS	IN	46239
7008133	49-09-05-102-117.000-700	GETTUM, PHILLIP &,MARGARET	9001	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7040832	49-10-13-119-019.000-700	HARRIS, NORA	7551		SCATTER WOODS LN	INDIANAPOLIS	IN	46239
7019340	49-09-07-116-018.000-700	DECKER, EDWIN DERRICK	220	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7045531	49-09-08-113-020.000-700	KING, JERRY M & JENNIE A,H&W	9410		PROSPECT ST	INDIANAPOLIS	IN	46239
7041553	49-09-08-101-003.000-700	WOODSONG HOMEOWNERS ASSOCIATION INC	0		COMMON PROPERTY		IN	
7035275	49-09-05-107-072.000-700	TRIDENT FOODS II LLC,%WENDYS PROPERTY TAX DEPARTMENT	9799	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7014531	49-09-07-117-036.000-700	SCHMIDT, ZACHARY ETHAN,& JOHN WILBUR SCHMIDT JR &,DONNA MARIE SCHMIDT LIFE ESTATE	430	S	POST RD	INDIANAPOLIS	IN	46219
7046318	49-09-18-103-006.000-700	MAYFAIR VILLAGE, LLC	0		COMMON PROPERTY		IN	
7001282	49-09-05-102-116.000-700	RUSSELL, CHANNING	7	S	GALESTON AVE	INDIANAPOLIS	IN	46229

7045223	49-09-05-106-005.000-700	BISORE, BAJENI	150		WOODSONG PL	INDIANAPOLIS	IN	46229
7035306	49-10-13-114-006.000-700	BUSSELL, CAROL A	1604	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7040800	49-10-13-119-057.000-700	MARCUM, RICKY A AND,TONI A (H&W)	1904		WINDY HILL LN	INDIANAPOLIS	IN	46239
7040787	49-10-13-119-044.000-700	BOSCO, HASAN &,SAFI MERIANA	2028		WINDY HILL LN	INDIANAPOLIS	IN	46239
7045189	49-09-05-106-039.000-700	MARQUES, JULIE &,LELAND WATSON	9551		WOODSONG WAY	INDIANAPOLIS	IN	46229
7017420	49-09-07-102-022.000-700	KELSHAW, RANDY K &,ELIZABETH A	340	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7048043	49-10-01-108-015.000-700	EAST WASHINGTON STATION LLC	7815	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7004194	49-09-07-110-004.000-700	HAWTHORNE DEVELOPMENT,CORPORATION	8201		RAWLES AVE	INDIANAPOLIS	IN	46239
7046398	49-09-08-125-012.000-700	ELLIOTT, AMOS W &,TOIA L ELLIOTT	9414		TREYBURN LAKES DR	INDIANAPOLIS	IN	46229
7025854	49-09-18-105-004.000-700	FOSTER, COURTNEY L	8042	E	RAYMOND ST	INDIANAPOLIS	IN	46239
7041374	49-09-08-115-015.000-700	CONREX RESIDENTIAL PROPERTY GROUP 2013-2,OPERATING COMPANY LLC,%KLM PROPERTY SOLUTIONS LLC	603		TREYBURN LAKES WAY	INDIANAPOLIS	IN	46239
7042386	49-09-08-104-006.000-700	THOMAS, SHIRLEY ANN	9542		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7042404	49-09-05-116-024.000-700	ARMSTRONG, ANDREA	9664		WOODSONG LN	INDIANAPOLIS	IN	46229
7046386	49-09-18-103-069.000-700	KLEU, MINH	2011		ST CLIFFORD DR	INDIANAPOLIS	IN	46239
7004631	49-09-05-107-034.000-700	W-M DEVELOPMENT CO,% SANDOR DEVELOPMENT COMPANY	9701	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7041072	49-10-13-107-016.000-700	CARNAGUA, GWYNN S	7752		WOOD STREAM DR	INDIANAPOLIS	IN	46239
7001360	49-09-05-102-096.000-700	GREVER, GARY W &,BARBARA J	29	S	POST RD	INDIANAPOLIS	IN	46219
7046399	49-09-08-125-003.000-700	FAGAN, FLORIS V	9404		TREYBURN LAKES DR	INDIANAPOLIS	IN	46229
7040839	49-10-13-119-032.000-700	SIMMONS, ERIC D	7645		SCATTER WOODS LN	INDIANAPOLIS	IN	46239
7014302	49-09-05-107-022.000-700	COOPER, TENA	110	S	BONAR AVE	INDIANAPOLIS	IN	46229
7046329	49-09-18-103-013.000-700	KNOX, NIKKI	8224		ST CLIFFORD CT	INDIANAPOLIS	IN	46239
7042446	49-09-08-110-012.000-700	CAPITAL TIRE INC	345	S	POST RD	INDIANAPOLIS	IN	46219
7042418	49-09-05-116-004.000-700	MCCULLOUGH, EMMANUEL DAVID JR &,CAROL ANNE	9723		WOODSONG LN	INDIANAPOLIS	IN	46229
7001237	49-09-05-102-047.000-700	SIMPSON, JAMES RAY JR &,ALISON	37	S	POST RD	INDIANAPOLIS	IN	46219
7016323	49-09-06-109-004.000-700	BENGE, AARON M	210	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7040930	49-09-08-122-001.000-700	DOWDY, DEBRA J	9395		RAWLES AVE	INDIANAPOLIS	IN	46229
7025311	49-09-07-108-023.000-700	HOMAN, MELISSA D	745	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7044067	49-09-08-119-043.000-700	HERRINGTON, LARRY DEAN	241		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7041107	49-10-13-102-032.000-700	GRAY, LARRY G JR &,KELLY M GRAY (H&W)	7927		LOFTON CT	INDIANAPOLIS	IN	46239
7042295	49-09-08-103-028.000-700	RAINEY, MALCOLM N &,MARY R	9644		PIPER LAKE DR	INDIANAPOLIS	IN	46239
7041382	49-09-08-115-023.000-700	HINSHAW, VANESSA A	705		TREYBURN LAKES WAY	INDIANAPOLIS	IN	46239
7044172	49-09-08-100-002.000-700	SEXTON, LINDA L &,ROY A	9608		TREYBURN GREEN WAY	INDIANAPOLIS	IN	46239
7043951	49-09-08-108-006.000-700	AMH 2014-2 BORROWER LLC,%AMERICAN HOMES 4 RENT,ATTN: PROPERTY TAX DEPARTMENT	9553		GULL LAKE DR	INDIANAPOLIS	IN	46239
7041398	49-09-08-115-075.000-700	FKH SFR PROPCO A LP,%FIRST KEY HOMES LLC	728		SWEET CREEK DR	INDIANAPOLIS	IN	46239
7014533	49-09-07-102-049.000-700	BURRESS, SUZANNE M	337	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7041584	49-09-05-101-033.000-700	RING, CONNIE S &,BELLA R RING	9722		WOODSONG WAY	INDIANAPOLIS	IN	46229
7018370	49-09-07-116-017.000-700	DECKER, EDWIN DERRICK	220	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7040141	49-10-13-118-028.000-700	SABATKA, JAMES	7621		DANCY DR	INDIANAPOLIS	IN	46239
7042376	49-09-08-116-008.000-700	TRIPLET, CARMEN E	9641		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7044494	49-09-08-119-100.000-700	STANBACK, COURTNEY R	247		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7031155	49-09-17-107-002.000-700	CARTER, MARITA C &,NANCY L RUSCHHAUPT &,DWAYNE H CARTER	9225		PROSPECT ST	INDIANAPOLIS	IN	46239
7041621	49-10-13-103-045.000-700	DAY, LETTY J &,DANIEL P DAY	7601		WOOD STREAM DR	INDIANAPOLIS	IN	46239
7007989	49-09-06-112-006.000-700	BURRIN, MORGAN	202	S	FENTON AVE	INDIANAPOLIS	IN	46219
7005858	49-09-07-106-089.000-700	ZUNIGA, MIGUEL ANGEL	219	S	FENTON AVE	INDIANAPOLIS	IN	46219
7046339	49-09-18-103-068.000-700	NUGENT, BROOKE	8342		SOTHEBY DR	INDIANAPOLIS	IN	46239
7001064	49-09-17-110-021.000-700	CIN INDPLS & WESTN RY CO,% B & O RR CO,BOX 307,AD VALOREM TAX DEPT	0		RAILROAD ROW		IN	
7031965	49-09-07-100-011.000-700	FULTON, JOHN H	8041		SYCAMORE SPRINGS TRL	INDIANAPOLIS	IN	46239
7042395	49-09-08-104-011.000-700	HERRING, APRIL T	9541		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7040205	49-10-13-105-001.000-700	MELLING, DYLAN J &,ASHLEE	1942		WINDY HILL DR	INDIANAPOLIS	IN	46239
7041066	49-10-13-107-006.000-700	GREEN, CHARLES ERIC	1927		ALVEE CIR	INDIANAPOLIS	IN	46239
7033464	49-09-06-105-004.000-700	JCA PROPERTIES INDIANAPOLIS LLC	25	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7040163	49-10-13-118-006.000-700	FLETCHER, LEONARD W	2123		WINDY HILL CT	INDIANAPOLIS	IN	46239
7020924	49-09-07-102-016.000-700	TUNNY, DEBRA	343	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7041371	49-09-08-115-007.000-700	MOORE, DINENA S	9756		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7042382	49-09-08-104-002.000-700	TREYBURN LAKES HOMEOWNERS ASSOC INC	0		COMMON PROPERTY		IN	
7006886	49-09-06-110-043.000-700	CONTINENTAL PROPERTIES,LLC	25	S	FENTON AVE	INDIANAPOLIS	IN	46219
7040899	49-10-13-104-008.000-700	FOX, MARLENA S &,GLEN	1915		CROSS WILLOW LN	INDIANAPOLIS	IN	46239
7041087	49-10-13-102-012.000-700	SCHIEBELHUT, ROSE A &,CLAIRE L SCHIEBELHUT	7907		PALMARO CIR	INDIANAPOLIS	IN	46239
7005328	49-09-06-103-011.000-700	INDIANAPOLIS, DEPARTMENT OF PARKS &,RECREATION	8802		BONNA AVE	INDIANAPOLIS	IN	46219
7041595	49-10-13-103-009.000-700	HESS, DAVID A	7543		STOCKARD ST	INDIANAPOLIS	IN	46239
7042320	49-09-08-103-051.000-700	COLLINS, JEFFREY ALBERT JR	9664		TREYBURN GREEN WAY	INDIANAPOLIS	IN	46239
7044469	49-09-08-119-067.000-700	PIPPEP, SUSAN M LIVING TRUST DTD 1/13/2015	231		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7001239	49-09-05-102-055.000-700	SCHMIDT, JOHN W II &,JAN,E SCHMIDT	9002		HIBBEN AVE	INDIANAPOLIS	IN	46229
7034119	49-10-12-115-007.000-700	KEITH HOCKETT RE HOLDINGS LLC (80% INT) &,KP HOCKETT RE HOLDINGS I LLC (10% INT) &,KP HOCKETT RE HOLDINGS II LLC (10% INT)	234	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7015005	49-09-05-107-020.000-700	WEST, STEVEN R	9340		BURK RD	INDIANAPOLIS	IN	46219
7045971	49-09-07-118-023.001-700	BUILLEE, HANH D	8210		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7022774	49-10-13-108-012.000-700	PALACIOS COMERCIAL INC	1102	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7014836	49-09-07-102-052.000-700	ROSS, DEBRA J	350	S	POST RD	INDIANAPOLIS	IN	46219
7025762	49-09-17-105-009.000-700	JOYNER, WILLIE L	1221	S	POST RD	INDIANAPOLIS	IN	46239
7040912	49-09-06-103-019.000-700	MARK MOTORS, INC	8623	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7006138	49-09-17-107-004.000-700	MORENO LOPEZ, DARIO &,CARINA	9141		PROSPECT ST	INDIANAPOLIS	IN	46239
7000432	49-10-12-107-013.000-700	M & K WAREHOUSE,SERVICES, LLC	430	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7018365	49-09-07-102-058.000-700	SHAW, NORMAN W &,BRENDA L	320	S	POST RD	INDIANAPOLIS	IN	46219
7040815	49-10-13-119-040.000-700	Y&D ENTERPRISES LLC	7654		HIDDEN VALLEY LN	INDIANAPOLIS	IN	46239
7041383	49-09-08-115-022.000-700	MORRISON, AMANDA	711		TREYBURN LAKES WAY	INDIANAPOLIS	IN	46239
7045025	49-09-18-102-057.000-700	SKIRVIN, JEFFREY SCOTT &,ADRIANNE	8141		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7001297	49-09-05-102-093.000-700	SPIRSTERSBACH, ROBERT W	40		ROSEMERE AVE	INDIANAPOLIS	IN	46229
7039050	49-09-05-107-040.000-700	REYNOLDS, WENDELL R	9224		BURK RD	INDIANAPOLIS	IN	46219
7014421	49-09-05-107-025.000-700	RC UNDERGROUND LLC	130	S	BONAR AVE	INDIANAPOLIS	IN	46229
7042321	49-09-08-103-052.000-700	GANN, RICHARD	9656		TREYBURN GREEN WAY	INDIANAPOLIS	IN	46239

7021121	49-09-08-109-004.000-700	GIBSON, HAROLD JR &, ROICE	931	S	POST RD	INDIANAPOLIS	IN	46239
7045195	49-09-05-106-033.000-700	MARTIN, JILL E	9513		WOODSONG WAY	INDIANAPOLIS	IN	46229
7020925	49-09-07-116-001.000-700	RENFRO, PAUL H & LINDA R	8732		IVANHOE ST	INDIANAPOLIS	IN	46219
7021115	49-09-08-109-005.000-700	PHINISEE, FRED E JR	9022		PROSPECT ST	INDIANAPOLIS	IN	46239
7041434	49-09-08-115-050.000-700	SANTOS, LOURDES R	622		TREYBURN LAKES WAY	INDIANAPOLIS	IN	46239
7006139	49-09-08-114-004.000-700	CCB REAL ESTATE LLC	553	S	POST RD	INDIANAPOLIS	IN	46239
7003163	49-09-07-106-003.000-700	PATTON, JANET LUCETTE	465	S	GIBSON AVE	INDIANAPOLIS	IN	46219
7001329	49-09-05-102-059.000-700	BEHLING, JOHN	9201		HIBBEN AVE	INDIANAPOLIS	IN	46229
7000074	49-09-05-102-069.000-700	SHAW, JESSICA C	135	S	WITTFIELD ST	INDIANAPOLIS	IN	46229
7044206	49-09-08-100-049.000-700	WHITSEY, ROLAND	852		FREESTONE DR	INDIANAPOLIS	IN	46239
7046341	49-09-18-103-021.000-700	WRIGHT, BRITTANEY R	8354		SOTHEBY DR	INDIANAPOLIS	IN	46239
7045212	49-09-05-106-016.000-700	CHARLES, DONALD L SR &, EDITH F	9553		WOODSONG LN	INDIANAPOLIS	IN	46229
7040149	49-10-13-118-035.000-700	ROMO, JUAN PABLO &, MONICA DIAZ	7650		WINDY HILL WAY	INDIANAPOLIS	IN	46239
7046391	49-09-08-125-005.000-700	TREYBURN LAKES HOMEOWNERS ASSOCIATION	0		COMMON PROPERTY		IN	
7041112	49-10-13-102-037.000-700	BORUFF, ASHLEE	7918		LOFTON CT	INDIANAPOLIS	IN	46239
7036233	49-09-18-101-007.000-700	FULTZ REALTY LLC	8498		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7025309	49-09-07-108-024.000-700	SANDERS, ROBERT V JR &, SANDRA S SANDERS (H&W)	723	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7016322	49-09-06-109-022.000-700	VB ONE LLC	180	S	POST RD	INDIANAPOLIS	IN	46219
7040200	49-10-13-105-029.000-700	PINARD, NANCY M &, MORRIS N	7826		SOFTWOOD CT	INDIANAPOLIS	IN	46239
7040185	49-10-13-105-046.000-700	FOLGER, ANDREW P &, CHERE A	2117		WILLOW WIND CT	INDIANAPOLIS	IN	46239
7032019	49-09-07-103-008.000-700	FRANKLIN IN LP	333	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7022057	49-09-08-120-004.000-700	RAWLES INVESTMENT LLC	9732		RAWLES AVE	INDIANAPOLIS	IN	46229
7046388	49-09-18-103-064.000-700	DE MADRID, SECUNDINA RIVERA, JOSE JESUS VERASTEGUI	2023		ST CLIFFORD DR	INDIANAPOLIS	IN	46239
7044471	49-09-08-119-065.000-700	HATHORN, NICHOLAS A &, CHRISTIN J	231		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7042407	49-09-05-116-027.000-700	LAKE, JOYCE C	9718		WOODSONG LN	INDIANAPOLIS	IN	46229
7045861	49-09-18-100-039.000-700	CLARK, NIKIA L	2051		SOTHEBY LN	INDIANAPOLIS	IN	46239
7046996	49-09-05-106-049.001-700	INDPLS, CITY OF DPR	112	S	MITTHOEFFER RD	INDIANAPOLIS	IN	46229
7035783	49-09-05-107-027.000-700	INDIANAPOLIS PARKS, FOUNDATION, CITY/CTY BLDG	105	S	POST RD	INDIANAPOLIS	IN	46219
7045144	49-09-08-119-078.000-700	FOX, ALEXANDRA R	238		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7016912	49-09-07-116-006.000-700	HUNT, JANET S	257	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7035050	49-09-18-105-007.000-700	INDIANA ASSOCIATION OF SEVENTH DAY ADVENTIST INC	2101	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7046987	49-09-06-103-035.000-700	INDPLS, CITY OF DPR	8902		BONNA AVE	INDIANAPOLIS	IN	46219
7041402	49-09-08-115-070.000-700	VANTREES, JAMES B &, KAREN A QUINTERO (TIC)	704		SWEET CREEK DR	INDIANAPOLIS	IN	46239
7040145	49-10-13-118-031.000-700	JACOME, CESAR F	7626		WINDY HILL WAY	INDIANAPOLIS	IN	46239
7041662	49-10-13-103-017.000-700	ALLENSWORTH, JULIA A	7626		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7044973	49-09-18-102-005.000-700	MAYFAIR VILLAGE, LLC	0		COMMON PROPERTY		IN	46239
7044490	49-09-08-119-102.000-700	CUNNINGHAM, JAMES W	247		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7042829	49-09-08-118-004.000-700	BOOE, TINKA M TRUSTEE	810	S	MITTHOEFFER RD	INDIANAPOLIS	IN	46239
7023021	49-09-08-105-020.000-700	DAVIS, WILLIAM L AND, MICHELE A DAVIS (H&W)	844	S	BRENTWOOD AVE	INDIANAPOLIS	IN	46239
7041080	49-10-13-102-010.000-700	MCWRIGHT, JANICE N	7838		WAYFOREST CT	INDIANAPOLIS	IN	46239
7000431	49-10-12-107-011.000-700	M & K WAREHOUSE SERVICES LLC	430	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7042393	49-09-08-104-009.000-700	HUTCHINGS, KIM M DORSEY	9525		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7001262	49-09-05-102-016.000-700	GARDNER, DAWN S &, SHIRLEY L ALLEN LIFE ESTATE	51	S	BRENTWOOD AVE	INDIANAPOLIS	IN	46229
7044207	49-09-08-100-048.000-700	LOCKETT, MARVIN G &, ELSA M (H&W)	906		FREESTONE DR	INDIANAPOLIS	IN	46239
7040226	49-10-13-117-018.000-700	BOLING, NICHOLAS T &, ELIZABETH M	2041		COLDWATER CT	INDIANAPOLIS	IN	46239
7044203	49-09-08-100-052.000-700	SPURRIER, CHAD J &, AMY L	828		FREESTONE DR	INDIANAPOLIS	IN	46239
7041567	49-09-05-101-016.000-700	GILDEA, MARY LOU	9709		WOODSONG WAY	INDIANAPOLIS	IN	46229
7042276	49-09-08-103-014.000-700	PARMAN, DIANA K	9723		TREYBURN GREEN WAY	INDIANAPOLIS	IN	46239
7014544	49-09-05-107-084.000-700	INDIANAPOLIS, CONSOLIDATED CITY OF, DEPARTMENT OF PARKS & RECREATION	105	S	BONAR AVE	INDIANAPOLIS	IN	46229
7040217	49-10-13-105-018.000-700	KLINGSTEIN, DAVID B &, PATRICIA A (H&W)	2011		WINDY HILL DR	INDIANAPOLIS	IN	46239
7045187	49-09-05-106-041.000-700	ADAMS, TERRIAN M	9605		WOODSONG WAY	INDIANAPOLIS	IN	46229
7001284	49-09-05-102-084.000-700	MAKI, DENNIS L &, EARLINE H	25	S	GALESTON AVE	INDIANAPOLIS	IN	46229
7001233	49-09-05-102-180.000-700	KNEIP, DYLAN	31	S	POST RD	INDIANAPOLIS	IN	46219
7032944	49-10-13-114-005.000-700	ADKINS, RANDAL S &, CHRISTOPHER JAY BURKERT	1690	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7045833	49-09-18-100-066.000-700	MAYFAIR VILLAGE, LLC	0		COMMON PROPERTY		IN	
7040858	49-10-13-119-065.000-700	ROBERTS, MATTHEW &, CATHERINE PARTON	7552		SCATTER WOODS LN	INDIANAPOLIS	IN	46239
7001242	49-09-05-102-044.000-700	WEINGART, MEREDITH	50	S	BRENTWOOD AVE	INDIANAPOLIS	IN	46229
7040222	49-10-13-105-008.000-700	CROUSE, JORDAN	7948		BENT WILLOW DR	INDIANAPOLIS	IN	46239
7042416	49-09-05-116-002.000-700	WILSON, PATRICIA ANN TRUSTEE, PATRICIA ANN WILSON REVOCABLE LIVING TRUST 2/11/2003 & LIFE ESTATE FOR SAME	9735		WOODSONG LN	INDIANAPOLIS	IN	46229
7005469	49-09-07-106-038.000-700	HERNANDEZ SOLIS, RUTH E	444	S	FENTON AVE	INDIANAPOLIS	IN	46219
7045852	49-09-18-100-048.000-700	YOUNG, JAMES R	8357		EXTON RD	INDIANAPOLIS	IN	46239
7044998	49-09-18-102-030.000-700	HICKS, EVELYN	8009		CHESTERHILL WAY	INDIANAPOLIS	IN	46239
7041672	49-10-13-103-030.000-700	SUNFIRE 3 LLC	7522		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7045226	49-09-05-106-002.000-700	HICKS, DAVID JASON &, BRINSLEY, STEPHANIE	159		WOODSONG PL	INDIANAPOLIS	IN	46229
7046473	49-09-08-119-124.000-700	JILL & MO'S REAL ESTATE LLC	9812		LEGENDS CREEK DR	INDIANAPOLIS	IN	46229
7042406	49-09-05-116-026.000-700	MENORTON, MARY L	9712		WOODSONG LN	INDIANAPOLIS	IN	46229
7039840	49-10-13-100-017.000-700	DAVIS, J	7843		CROSS WILLOW BLVD	INDIANAPOLIS	IN	46239
7016305	49-09-07-116-015.000-700	ADAMS GROUP CONSTRUCTION SERVICES LLC	231	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7041613	49-10-13-103-050.000-700	BOENIGK, BRIAN W	7538		STOCKARD ST	INDIANAPOLIS	IN	46239
7022177	49-09-18-106-005.000-700	HAZLETT, MICHAEL H	1336	S	POST RD	INDIANAPOLIS	IN	46239
7044971	49-09-18-102-003.000-700	MAYFAIR VILLAGE LLC	0		COMMON PROPERTY		IN	
7022203	49-09-05-102-086.000-700	MARQSAL REALTY LLC	33	S	GALESTON AVE	INDIANAPOLIS	IN	46229
7031149	49-09-07-108-022.000-700	FLETCHER, HUNTER &, BETHANY	703	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7001311	49-09-05-102-060.000-700	PHILLIPS, LISA A	49		ROSEMERE AVE	INDIANAPOLIS	IN	46229
7004958	49-09-18-111-003.000-700	SUPERIOR TACTICAL RESPONSE LLC	1940	S	POST RD	INDIANAPOLIS	IN	46239
7001347	49-09-05-102-001.000-700	PATRICK, KIMBERLY L	9101		HIBBEN AVE	INDIANAPOLIS	IN	46229
7032995	49-09-05-107-052.000-700	CHERRY TREE OUTPARCEL I, LLC, % SANDOR DEVELOPMENT COMPANY	9515	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7045882	49-09-18-100-018.000-700	PROGRESS RESIDENTIAL BORROWER 12 LLC	8331		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7001287	49-09-05-102-094.000-700	ROGERS, GARLAND P &, DONNA JO	49	S	GALESTON AVE	INDIANAPOLIS	IN	46229
7000814	49-10-13-116-015.000-700	SHAW, GENE F &, PATRICIA, E (H&W)	7422	E	RAYMOND ST	INDIANAPOLIS	IN	46239
7014420	49-09-05-107-017.000-700	HORSLEY, JERRY &, BRENDA MARIE BURK & TAMMY LEE ROBINSON &, MARK DANIEL HORSLEY	9440		BURK RD	INDIANAPOLIS	IN	46219
7003167	49-09-07-106-009.000-700	GARCIA, EUCLIDES MORENO	425	S	GIBSON AVE	INDIANAPOLIS	IN	46219
7044175	49-09-08-100-005.000-700	HERNANDEZ, ANNA &, JULIETA HERNANDEZ	9540		TREYBURN GREEN WAY	INDIANAPOLIS	IN	46239

7040123	49-10-13-118-043.000-700	BENIC, FILIP &,ANDA BENIC (H&W)	7652		DANCY DR	INDIANAPOLIS	IN	46239
7040857	49-10-13-119-066.000-700	SFR JV 2 NTL BORROWER LLC	7608		SCATTER WOODS LN	INDIANAPOLIS	IN	46239
7040804	49-10-13-119-004.000-700	MUEHL, REINHART M	7611		HIDDEN VALLEY LN	INDIANAPOLIS	IN	46239
7041060	49-10-13-107-012.000-700	MCCOY, TIMOTHY E &,ROBIN L	1914		ALVEE CIR	INDIANAPOLIS	IN	46239
7036081	49-09-18-108-001.000-700	FALL, MARTIN KENRIC,TRUSTEE OR SUCCESSOR IN TRUST UNDER,MARTIN KENRIC FALL LIVING TRUST 4/1/2003	1215	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7040165	49-10-13-118-008.000-700	MARSHALL, JAMES R	2133		WINDY HILL CT	INDIANAPOLIS	IN	46239
7039816	49-10-13-100-001.000-700	STEPHENS, LAWRENCE L &,ROBIN L (H&W)	1713		BLUE WILLOW CIR	INDIANAPOLIS	IN	46239
7040253	49-10-13-117-031.000-700	GUTIERREZ GONZALEZ ALEJANDRO, BLAS	7860		BENT WILLOW DR	INDIANAPOLIS	IN	46239
7046403	49-09-08-125-014.000-700	CHOIS, JAIRO	9435		TREYBURN LAKES DR	INDIANAPOLIS	IN	46229
7020921	49-09-07-102-024.000-700	DODD, GAYLON J &,CHARLOTTE A	302	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7044992	49-09-18-102-024.000-700	SHARP, VICKI ANN	8117		CHESTERHILL WAY	INDIANAPOLIS	IN	46239
7041401	49-09-08-115-069.000-700	LJM1 LLC	710		SWEET CREEK DR	INDIANAPOLIS	IN	46239
7040848	49-10-13-119-078.000-700	FAULK, CYNTHIA A	1926		CROSS WILLOW LN	INDIANAPOLIS	IN	46239
7041684	49-10-13-103-090.000-700	DEBOLT, BRAD ALLEN	1826		WINDY HILL LN	INDIANAPOLIS	IN	46239
7020566	49-09-07-116-023.000-700	DECKER, CARL R	225	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7044986	49-09-18-102-018.000-700	WAMPLER, JAMES R	8116		CHESTERHILL WAY	INDIANAPOLIS	IN	46239
7040158	49-10-13-118-053.000-700	PIESZCHALA, JENNIFER M	7707		WINDY HILL WAY	INDIANAPOLIS	IN	46239
7040792	49-10-13-119-048.000-700	PRATHER, JAMES A	1952		WINDY HILL LN	INDIANAPOLIS	IN	46239
7040931	49-09-08-118-002.000-700	TREYBURN LAKES,HOMEOWNERS ASSOCIATION INC	9631		RAWLES AVE	INDIANAPOLIS	IN	46229
7016564	49-09-07-106-068.000-700	GREEN, CHRISTOPHER W &,JENNIFER L (H&W)	342	S	GIBSON AVE	INDIANAPOLIS	IN	46219
7040239	49-10-13-117-002.000-700	EMBER, JONATHAN T,NICOLE M	2131		DANCY CT	INDIANAPOLIS	IN	46239
7040142	49-10-13-118-019.000-700	TALBOTT, KEVIN A	7604		WINDY HILL WAY	INDIANAPOLIS	IN	46239
7005815	49-09-07-106-076.000-700	KOCH, CHRISTINE	333	S	FENTON AVE	INDIANAPOLIS	IN	46219
7046358	49-09-18-103-037.000-700	WESSELING, LUKE J	8528		SOTHEBY DR	INDIANAPOLIS	IN	46239
7017427	49-09-06-109-007.000-700	CASH, ALLENE	196	S	POST RD	INDIANAPOLIS	IN	46219
7042311	49-09-08-103-044.000-700	LINN, JUNE HADEN	9713		PIPER LAKE DR	INDIANAPOLIS	IN	46239
7029566	49-09-07-108-027.000-700	HAMPTON, PAUL C	711	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7001359	49-09-05-102-127.000-700	IRA CLUB FBO,ESTELA DAVILA IRA 1000470	21	S	POST RD	INDIANAPOLIS	IN	46219
7044076	49-09-08-119-052.000-700	GILKERSON, TED LAMONE	249		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7001312	49-09-05-102-061.000-700	GRANT, DAVID F &,FRANCES JEAN HEISHMAN GRANT	51		ROSEMERE AVE	INDIANAPOLIS	IN	46229
7040833	49-10-13-119-020.000-700	AMH 2014-2 BORROWER LLC,%AMERICAN HOMES 4 RENT,ATTN: PROPERTY TAX DEPARTMENT	7607		SCATTER WOODS LN	INDIANAPOLIS	IN	46239
7013845	49-09-05-107-010.000-700	BROWN, STEVEY R &,DEREK C BROWN	125	S	POST RD	INDIANAPOLIS	IN	46219
7044078	49-09-08-119-054.000-700	LEE, CHARLES E JR	249		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7041656	49-10-13-103-021.000-700	SCAGGS, RALYNN L	7718		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7044987	49-09-18-102-019.000-700	SANDERS, DERIKA	8122		CHESTERHILL WAY	INDIANAPOLIS	IN	46239
7045868	49-09-18-100-032.000-700	WILLIAMS, SHAUN	8350		EXTON RD	INDIANAPOLIS	IN	46239
7023037	49-09-08-105-011.000-700	CURTIS, MARK A &,KRISTEN A LEFFERT	913	S	BRENTWOOD AVE	INDIANAPOLIS	IN	46239
7028022	49-09-07-106-014.000-700	BOLTON, LINDA SUE &,MICHAEL KELLY BOLTON	8602		IVANHOE ST	INDIANAPOLIS	IN	46219
7007677	49-09-07-107-013.000-700	ROEGNER, BRIAN F &,MIRANDA	405	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7044073	49-09-08-119-049.000-700	MAJUMDAR, MONALISA	249		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7045889	49-09-18-100-011.000-700	ELMORE, RICKY D	8352		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7042296	49-09-08-103-029.000-700	MASON, ESROM OSHEA	9636		PIPER LAKE DR	INDIANAPOLIS	IN	46239
7044168	49-09-08-103-061.000-700	TREYBURN LAKES HOMEOWNERS ASSOC INC	0		COMMON PROPERTY	INDIANAPOLIS	IN	
7032154	49-09-07-100-010.000-700	WADE, ROBERT G	8031		SYCAMORE SPRINGS TRL	INDIANAPOLIS	IN	46239
7045881	49-09-18-100-019.000-700	LATHAM, JEREMIAH L &,ERIN	8325		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7043496	49-09-08-119-019.000-700	SWEENEY, DIANE	240		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7043494	49-09-08-119-021.000-700	ESPICH, IAN J &,SARA D	240		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7041681	49-10-13-103-100.000-700	WITHANACHCHI, CHANDIKA A	1808		WINDY HILL LN	INDIANAPOLIS	IN	46239
7014305	49-09-05-107-044.000-700	A&L PROPERTY MANAGEMENT LLC	143	S	BONAR AVE	INDIANAPOLIS	IN	46229
7036564	49-09-07-107-007.000-700	YOUNG, ERIC D &,KIMBERLY K (H&W)	8018		RAWLES AVE	INDIANAPOLIS	IN	46219
7004476	49-09-06-106-001.000-700	TR HOLDING GROUP LLC	8401	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7042363	49-09-08-102-022.000-700	TRUEBLOOD, CHRISTOPHER &,ALARI A TRUEBLOOD (H&W)	825		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7046340	49-09-18-103-020.000-700	ALLEN, MARSHAY L	8348		SOTHEBY DR	INDIANAPOLIS	IN	46239
7040915	49-09-18-114-003.000-700	1707 SOUTH FRANKLIN LLC	1707	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7040789	49-10-13-119-046.000-700	WEISEL, JOHN	2016		WINDY HILL LN	INDIANAPOLIS	IN	46239
7031146	49-09-07-109-004.000-700	BRUMMETT, LINDA S	923	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7044210	49-09-08-100-045.000-700	MURR, BRITTANY &,JASON YOUNG	928		FREESTONE CT	INDIANAPOLIS	IN	46239
7040197	49-10-13-105-024.000-700	PRATT, KIMBERLY &,JEREMY PATTON	7841		SOFTWOOD CT	INDIANAPOLIS	IN	46239
7039814	49-10-13-100-041.000-700	BIRDWELL, THOMAS L &,CYNTHIA B	1727		BLUE WILLOW CIR	INDIANAPOLIS	IN	46239
7041122	49-10-13-102-001.000-700	WILLOW LAKES & WILLOW OAKS,HOMESOWNERS ASSOCIATION INC	0		COMMON PROPERTY	INDIANAPOLIS	IN	
7000852	49-09-07-102-051.000-700	DECKARD, JOYCE FAYE	325	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7041425	49-09-08-115-061.000-700	MOODY, JASMINE N	749		SWEET CREEK DR	INDIANAPOLIS	IN	46239
7032146	49-09-07-100-001.000-700	COFFEY, RON G &,MARCIA A COFFEY	8132		SYCAMORE SPRINGS TRL	INDIANAPOLIS	IN	46239
7042414	49-09-05-116-014.000-700	KERSAGE, GUNTA	9747		WOODSONG LN	INDIANAPOLIS	IN	46229
7005503	49-09-07-118-006.000-700	ABUNDANT LIFE INTERNATIONAL CHURCH INC	8125		RAWLES AVE	INDIANAPOLIS	IN	46239
7018367	49-09-07-117-045.000-700	LOO, RAYMOND F & OFELIA L TRUSTEES,OF RAYMOND F & OFELIA L LOO LIVING TRUST 5/3/1999	405	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7040245	49-10-13-117-009.000-700	KIRTZ, DANA	7845		BENT WILLOW DR	INDIANAPOLIS	IN	46239
7042318	49-09-08-103-049.000-700	AMH 2015-2 BORROWER LLC,%AMERICAN HOMES 4 RENT,ATTN:PROPERTY TAX DEPARTMENT	9718		TREYBURN GREEN WAY	INDIANAPOLIS	IN	46239
7032148	49-09-07-100-018.000-700	FOLEY, DANNY R &,CHERYL L SMITH (H&W) &,ORVILLE H SMITH (UTRS)	8141		SYCAMORE SPRINGS TRL	INDIANAPOLIS	IN	46239
7041096	49-10-13-102-026.000-700	HATTON, SHARA LYNN	7916		PALMARO CIR	INDIANAPOLIS	IN	46239
7045836	49-09-18-100-064.000-700	MAYFAIR VILLAGE, LLC	0		COMMON PROPERTY	INDIANAPOLIS	IN	
7046370	49-09-18-103-049.000-700	SCOTT, HANNAH MARIE	2025		SOTHEBY LN	INDIANAPOLIS	IN	46239
7044181	49-09-08-100-026.000-700	HUNTER, ALYSSA	907		FREESTONE DR	INDIANAPOLIS	IN	46239
7001337	49-09-05-102-011.000-700	SLONE, KRISTI M &,ROBERT C	9155		HIBBEN AVE	INDIANAPOLIS	IN	46229
7042397	49-09-08-104-014.000-700	ROSE, STEVEN R &,JOYCELYN Y	9607		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7006513	49-09-07-118-013.000-700	ROWLETT, JEFFREY R &,PATRICIA A ROWLETT	8228		RAWLES AVE	INDIANAPOLIS	IN	46219
7035060	49-09-08-113-015.000-700	LIMBACH, THOMAS T &,BRENDA C LIMBACH (H&W)	9262		PROSPECT ST	INDIANAPOLIS	IN	46239
7046478	49-09-08-119-129.000-700	SHINAULT, LINDA	9812		LEGENDS CREEK DR	INDIANAPOLIS	IN	46229
7019276	49-09-07-106-058.000-700	ORO INVESTORS INDIANA LLC	420	S	GIBSON AVE	INDIANAPOLIS	IN	46219

7042398	49-09-08-104-013.000-700	DAVIS, ANGELA TINEA	9615		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7042315	49-09-08-103-047.000-700	HEINEMANN, BRIAN W	1002		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7004451	49-09-08-113-019.000-700	ESKEW, DARIN J & TERRIE A BEESON (JTRS)	9150		PROSPECT ST	INDIANAPOLIS	IN	46239
7046991	49-10-12-115-011.000-700	JAW ENTERPRISES LLC, KEITH HOCKETT	370	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7041065	49-10-13-107-005.000-700	TATE, DONALD D & LISA M	1931		ALVEE CIR	INDIANAPOLIS	IN	46239
7019688	49-09-07-102-018.000-700	HIZER, BRUCE J & CLARA M	8854		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7042319	49-09-08-103-050.000-700	SFR JV 2 2022 1 BORROWER LLC,% TRICON AMERICAN HOMES LLC	9710		TREYBURN GREEN WAY	INDIANAPOLIS	IN	46239
7045840	49-09-18-100-060.000-700	JACKSON, TERRY L JR & LATOYA L	2120		ST CLIFFORD DR	INDIANAPOLIS	IN	46239
7034257	49-09-07-113-008.000-700	HDR REALTY LLC,% HOOSIER GLASS	562	S	POST RD	INDIANAPOLIS	IN	46239
7044479	49-09-08-119-061.000-700	ROULETTE, FRANK M	239		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7005791	49-09-07-114-001.000-700	HOSKINS, SHANNON MARIE	8436		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7033465	49-09-06-105-015.000-700	M & W INVESTMENTS	8015	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7014418	49-09-05-107-048.000-700	A&L PROPERTY MANAGEMENT LLC	135	S	BONAR AVE	INDIANAPOLIS	IN	46229
7043508	49-09-08-119-007.000-700	WITT-PERNO, SHARON K	248		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7046333	49-09-18-103-017.000-700	HENRY, ROBERT L TRUSTEE, ROBERT L HENRY LIVING TRUST DATED 7/10/2023	8306		SOTHEBY DR	INDIANAPOLIS	IN	46239
7006509	49-09-07-118-005.000-700	ROUSE, FRANK W & MARY JO ROUSE	8119		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7044218	49-09-08-100-017.000-700	SKINNER, ARTHUR L & LAQUITA DENISE	9605		TREYBURN GREEN WAY	INDIANAPOLIS	IN	46239
7045202	49-09-05-106-026.000-700	HOOKS, GERALDINE A & CLARENCE C HOOKS, SR	9538		WOODSONG LN	INDIANAPOLIS	IN	46229
7039811	49-10-13-100-038.000-700	STILLEY, ADAM	7818		CROSS WILLOW BLVD	INDIANAPOLIS	IN	46239
7006508	49-09-07-118-003.000-700	FLORES, MIGUEL & MARGARITA F BAKER	8125		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7042354	49-09-08-102-018.000-700	RUFFIN, EDWARD J	719		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7041118	49-10-13-102-045.000-700	BUTLER, ERIC C	7834		LOFTON CT	INDIANAPOLIS	IN	46239
7026632	49-09-07-103-001.000-700	MONCEL, GENE B	8118		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7045015	49-09-18-102-047.000-700	CALLADO, JANNELL RAY & MARGIE A (H&W)	8023		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7046301	49-09-05-107-074.000-700	CHERRY TREE OUTPARCEL III, LLC,% SANDOR DEVELOPMENT COMPANY	9961	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7042369	49-09-08-116-001.000-700	UN, CHON	9684		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7005502	49-09-07-118-021.000-700	HAWTHORNE DEVELOPMENT, CORP	8201		RAWLES AVE	INDIANAPOLIS	IN	46239
7029141	49-09-08-114-002.000-700	LLO HOLDINGS LLC	507	S	POST RD	INDIANAPOLIS	IN	46239
7043938	49-09-08-108-024.000-700	WATSON, THERESA	9654		GULL LAKE DR	INDIANAPOLIS	IN	46239
7023287	49-09-06-103-009.000-700	INTEGRITY ELECTRIC & MACHINE LLC	8949	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7016308	49-09-07-102-062.000-700	MILLER, BRIAN H	315	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7042396	49-09-08-104-012.000-700	LEWIS, ROBERT S JR	9551		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7041598	49-10-13-103-008.000-700	MOORE, AMY L	7609		STOCKARD ST	INDIANAPOLIS	IN	46239
7029318	49-09-18-105-008.000-700	FREEMAN, BRANDEN R	8020	E	RAYMOND ST	INDIANAPOLIS	IN	46239
7032140	49-09-07-100-006.000-700	LUCAS, JERRY R & CATHY D	8040		SYCAMORE SPRINGS TRL	INDIANAPOLIS	IN	46239
7042410	49-09-05-116-017.000-700	THORNBURG, JEANNE D	9736		WOODSONG LN	INDIANAPOLIS	IN	46229
7031147	49-09-07-108-026.000-700	MOREHEAD, SARAH	719	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7004514	49-09-07-106-012.000-700	HUERTA, BRANDO CARCANO	333	S	GIBSON AVE	INDIANAPOLIS	IN	46219
7005327	49-09-06-111-249.000-700	INDIANAPOLIS, DEPARTMENT OF PARKS & RECREATION	181	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7041625	49-10-13-103-034.000-700	RODGERS, GREGORY J	7631		WOOD STREAM DR	INDIANAPOLIS	IN	46239
7026606	49-09-07-109-013.000-700	IBARRA, SERAFIN AGUILERA	805	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7032945	49-09-18-114-001.000-700	GALILEO PROPERTIES LLC	1555	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7046322	49-09-18-103-009.000-700	RIVAS, AMALIA F	2010		ST CLIFFORD DR	INDIANAPOLIS	IN	46239
7041666	49-10-13-103-023.000-700	BRADDOCK, KAYLA N	7602		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7023179	49-09-06-109-003.000-700	FRYMAN, LOIS E	209	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7015736	49-09-07-116-014.000-700	CLARK, BENJAMIN	230	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7034941	49-09-06-105-006.000-700	ACACIA INVESTMENTS LLC 1/2INT & TEXIN LLC 1/2%INT	49	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7040251	49-10-13-117-015.000-700	MILLER, VIVAN L & LEON RAMSEY	7811		BENT WILLOW DR	INDIANAPOLIS	IN	46239
7034938	49-09-18-106-003.000-700	MSM FALL PARTNERSHIP, PO BOX 39100	1410	S	POST RD	INDIANAPOLIS	IN	46239
7041397	49-09-08-115-076.000-700	WEST, DANIEL D & LISA M, (H&W)	734		SWEET CREEK DR	INDIANAPOLIS	IN	46239
7042302	49-09-08-103-035.000-700	ALLGOOD, PHILIP R & SUE, C (H&W)	9617		PIPER LAKE DR	INDIANAPOLIS	IN	46239
7042323	49-09-08-103-054.000-700	HESS, DARRELL A	9640		TREYBURN GREEN WAY	INDIANAPOLIS	IN	46239
7045867	49-09-18-100-033.000-700	COFFIN, ROBERT & MICHELE	8356		EXTON RD	INDIANAPOLIS	IN	46239
7045854	49-09-18-100-046.000-700	NELLENBACK, FRANCESCA	8365		EXTON RD	INDIANAPOLIS	IN	46239
7045137	49-09-08-119-085.000-700	STETLER, KAREN L	238		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7040831	49-10-13-119-018.000-700	NELSON, WILL T & LAUREN N	7545		SCATTER WOODS LN	INDIANAPOLIS	IN	46239
7039839	49-10-13-100-016.000-700	FKH SFR PROPCO H LP	7837		CROSS WILLOW BLVD	INDIANAPOLIS	IN	46239
7045149	49-09-08-119-073.000-700	BROWNING, DENNIS L	246		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7040174	49-10-13-118-010.000-700	FKH SFR PROPCO D LP	2112		COLDWATER CIR	INDIANAPOLIS	IN	46239
7040830	49-10-13-119-017.000-700	ABEL, JANICE M	7539		SCATTER WOODS LN	INDIANAPOLIS	IN	46239
7042392	49-09-08-104-018.000-700	ASHER, RONALD & NEISHA NICCOLINI	9517		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7030706	49-10-13-116-017.000-700	TOON, DALE L	7420	E	RAYMOND ST	INDIANAPOLIS	IN	46239
7042423	49-09-05-116-011.000-700	DRAKE, LOUISE A	9657		WOODSONG LN	INDIANAPOLIS	IN	46229
7019344	49-09-07-102-023.000-700	GARRETT, ROBERT T SR & THELMA R (H&W)	334	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7036449	49-09-08-120-009.000-700	WOLF, ANTHONY C D.C. & MICHELLE M TRUSTEES OF, THE ANTHONY C WOLF D.C. & MICHELLE M JOINT	410	S	MITTHOEFER RD	INDIANAPOLIS	IN	46229
7004200	49-09-18-114-005.000-700	CA LTD LLC	1701	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7040914	49-09-18-104-003.000-700	CTC02 LLC	1715	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7016920	49-09-07-102-019.000-700	BAYS, JOEL & BRITTANY A	370	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7040860	49-10-13-119-063.000-700	MCH SFR PROPERTY OWNER 4 LLC	7540		SCATTER WOODS LN	INDIANAPOLIS	IN	46239
7040898	49-10-13-104-007.000-700	SCHLEMMER, GEORGE E	1905		CROSS WILLOW LN	INDIANAPOLIS	IN	46239
7046365	49-09-18-103-044.000-700	DYCUS, WHENDI M & RONALD L WARD JR	8421		SOTHEBY DR	INDIANAPOLIS	IN	46239
7016914	49-09-07-117-032.000-700	SCHMIDT, JOHN W III & JOHN W JR & DONNA SCHMIDT, LIFE ESTATE	424	S	POST RD	INDIANAPOLIS	IN	46219
7019346	49-09-07-102-029.000-700	GRAVES, WESLEY M & NANCY C - TRUSTEES	336	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7045151	49-09-08-119-071.000-700	CHRISTNER, VELDA D LIFE ESTATE & STARLA L MILLER	246		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7040865	49-10-13-119-058.000-700	BAF ASSETS LLC	1903		WINDY HILL LN	INDIANAPOLIS	IN	46239
7004537	49-09-07-107-019.000-700	WHEELER, RUSSELL R	403	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7040886	49-10-13-115-010.000-700	LYONS, KATHLEEN M	7727		BRIGHT LEAF CIR	INDIANAPOLIS	IN	46239
7045535	49-09-18-105-013.001-700	JUDKINS, LARRY PAUL SR	8130	E	RAYMOND ST	INDIANAPOLIS	IN	46239
7043505	49-09-08-119-010.000-700	ZHANG, JIE	248		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7040863	49-10-13-119-060.000-700	WASHINGTON, KIMBERLY	1917		WINDY HILL LN	INDIANAPOLIS	IN	46239
7040825	49-10-13-119-024.000-700	MYERS, LAURA M	7544		HIDDEN VALLEY LN	INDIANAPOLIS	IN	46239

7044996	49-09-18-102-028.000-700	BASS, MILTON E & CORINA	8045		CHESTERHILL WAY	INDIANAPOLIS	IN	46239
7007927	49-09-06-112-002.000-700	GRANT, DANIEL B	227	S	GIBSON AVE	INDIANAPOLIS	IN	46219
7042390	49-09-08-104-015.000-700	MILLER, KEITH L & TAMARA L FISHER	9502		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7045152	49-09-08-119-070.000-700	REID, PHILLIP B	246		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7041653	49-10-13-103-055.000-700	FULTON, ROBERT K & KATHLEEN A FULTON (H&W)	7711		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7041419	49-09-08-115-037.000-700	THOMPSON, COLE A	643		SWEET CREEK DR	INDIANAPOLIS	IN	46239
7041587	49-09-05-101-002.000-700	CHAPMAN, DAVID R & RITA A	9740		WOODSONG WAY	INDIANAPOLIS	IN	46229
7041409	49-09-08-115-068.000-700	NIXON, QIANDRA N	614		SWEET CREEK DR	INDIANAPOLIS	IN	46239
7018371	49-09-07-116-013.000-700	JOB ASSETS VI LLC	234	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7006510	49-09-07-118-002.000-700	LEE, AHRAN & SANG W LEE	8130		RAWLES AVE	INDIANAPOLIS	IN	46219
7045872	49-09-18-100-028.000-700	GUY, PHILLIP & LATASHA	8326		EXTON RD	INDIANAPOLIS	IN	46239
7046384	49-09-18-103-061.000-700	MORGAN, JOHN & TONIA COOK	8315		SOTHEBY DR	INDIANAPOLIS	IN	46239
7044065	49-09-08-119-041.000-700	BIGSBEE, LORRAINE	241		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7042325	49-09-08-103-056.000-700	DAVILA, JONATHAN JOSE	9631		TREYBURN GREEN WAY	INDIANAPOLIS	IN	46239
7001260	49-09-05-102-078.000-700	SPURLIN, AMANDA K	43	S	BRENTWOOD AVE	INDIANAPOLIS	IN	46229
7031371	49-09-17-107-003.000-700	RIGGLES, ROGER K & RIGGLES, TERRY L	9145		PROSPECT ST	INDIANAPOLIS	IN	46239
7045884	49-09-18-100-016.000-700	VUSSE, NICOLE K VANDE & NOAH DENKER	8343		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7006155	49-09-07-112-003.000-700	WOLTER INVESTMENT COMPANY LLC	820	S	POST RD	INDIANAPOLIS	IN	46239
7001351	49-09-05-102-049.000-700	OVERTON, DELBERT L & JOYCE Y	9011		HIBBEN AVE	INDIANAPOLIS	IN	46229
7032899	49-09-06-104-001.000-700	EAT-1612 LLC UNDIV 59.1579% INT & CPA FRANKLIN INDUSTRIAL DST 40.8421% CORE REALTY HOLDINGS MANAGEMENT INC	221	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7043945	49-09-08-108-010.000-700	RONEY, SANDRA K TRUSTEE UNDER, SANDRA K RONEY LIVING TRUST DTD 02/10/17	9610		GULL LAKE DR	INDIANAPOLIS	IN	46239
7004243	49-09-07-106-078.000-700	GREEN, JUSTIN W	340	S	GIBSON AVE	INDIANAPOLIS	IN	46219
7000057	49-09-07-102-002.000-700	OWNEZ ASSET MANAGEMENT LLC	8732		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7014844	49-09-07-117-043.000-700	BREWER, DEBORAH K	410	S	POST RD	INDIANAPOLIS	IN	46219
7040212	49-10-13-105-007.000-700	DYSON, SHELBY	7929		WILLOW WIND CIR	INDIANAPOLIS	IN	46239
7028423	49-09-18-105-005.000-700	PETTY, KELSEY JO	8124	E	RAYMOND ST	INDIANAPOLIS	IN	46239
7045201	49-09-05-106-027.000-700	WOLF, DOUGLAS W & CAROLYN S (H&W)	9532		WOODSONG LN	INDIANAPOLIS	IN	46229
7046404	49-09-08-125-001.002-700	SUTTON, DEOTTA	9445		TREYBURN LAKES DR	INDIANAPOLIS	IN	46229
7040893	49-10-13-115-003.000-700	WATTS, ALEXIS	7738		BRIGHT LEAF CIR	INDIANAPOLIS	IN	46239
7042345	49-09-08-102-012.000-700	HILL, ARETHA R	804		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7046472	49-09-08-119-123.000-700	COLLETT, VANESSA LEIGH	9812		LEGENDS CREEK DR	INDIANAPOLIS	IN	46229
7007905	49-09-07-106-015.000-700	BREWER, SANDRA & WILLIAM BREWER	8716		IVANHOE ST	INDIANAPOLIS	IN	46219
7039820	49-10-13-100-003.000-700	AGAG, STEVEN V	1726		BLUE WILLOW CIR	INDIANAPOLIS	IN	46239
7040175	49-10-13-118-011.000-700	SARGENT, GLENN A & ELIZABETH A (H&W)	2102		COLDWATER CIR	INDIANAPOLIS	IN	46239
7036074	49-09-18-111-004.000-700	GOINS, CHESTER, %AUTO DEALERS EXCHANGE	8635		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7006988	49-09-07-118-004.000-700	PHELPS, IRENE	8170		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7042308	49-09-08-103-041.000-700	BROWNE, PATRICIA P	9663		PIPER LAKE DR	INDIANAPOLIS	IN	46239
7040240	49-10-13-117-004.000-700	BALDWIN, RONNIE	2134		DANCY CT	INDIANAPOLIS	IN	46239
7041594	49-10-13-103-010.000-700	LEPPER, KATHLEEN W	7537		STOCKARD ST	INDIANAPOLIS	IN	46239
7046381	49-09-18-103-058.000-700	SNORTEN, CHRISTINA L	8333		SOTHEBY DR	INDIANAPOLIS	IN	46239
7045022	49-09-18-102-054.000-700	SANDERS, DERESSA	8115		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7029614	49-09-07-114-002.000-700	HARRIS, MICHAEL J & GERALDINE L (H&W)	8425		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7007020	49-09-07-106-032.000-700	ANDRES, MIGUEL ANGEL SEVILLA & ANA LILIA SANCHEZ PEREZ	334	S	FENTON AVE	INDIANAPOLIS	IN	46219
7039813	49-10-13-100-040.000-700	BAIRD, WILLIAM E JR	7802		CROSS WILLOW BLVD	INDIANAPOLIS	IN	46239
7040172	49-10-13-118-017.000-700	POPP, JENNIFER LYNN	2115		COLDWATER CIR	INDIANAPOLIS	IN	46239
7042350	49-09-08-102-014.000-700	GODWIN, JEREMY F	726		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7018698	49-09-18-106-007.000-700	BRAY, KIMBERLY S	1308	S	POST RD	INDIANAPOLIS	IN	46239
7041094	49-10-13-102-024.000-700	SMITH, DA'ONNA MARIE	7928		PALMARO CIR	INDIANAPOLIS	IN	46239
7043495	49-09-08-119-020.000-700	REIER, DONNA R	240		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7044196	49-09-08-100-008.000-700	GOMEZ, DAVID	9516		LORTON CIR	INDIANAPOLIS	IN	46239
7041583	49-09-05-101-024.000-700	GREGORY, RICHARD A & PATRICIA R GREGORY (H&W)	9716		WOODSONG WAY	INDIANAPOLIS	IN	46229
7001289	49-09-05-102-022.000-700	ANDIAN 2 LLC	65	S	GALESTON AVE	INDIANAPOLIS	IN	46229
7041630	49-10-13-103-072.000-700	Occupant	7702		WOOD STREAM DR	INDIANAPOLIS	IN	46239
7030586	49-09-05-107-031.000-700	URTON, C WAYNE & BILLIE JO H&W	260	S	MITTHOEFER RD	INDIANAPOLIS	IN	46229
7006503	49-09-07-118-014.000-700	JONES, JAMES G & BETTY E	8225		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7003169	49-09-07-106-074.000-700	WILKERSON, JAMES E	327	S	GIBSON AVE	INDIANAPOLIS	IN	46219
7005102	49-09-07-114-007.000-700	ORELLANA, GERARDO ROMERO	8420		RAWLES AVE	INDIANAPOLIS	IN	46219
7006891	49-09-06-110-012.000-700	CONTINENTAL PROPERTIES, LLC, ATTN ROBERT P THOMAS, %CAPITOL CITY FORD	51	S	FENTON AVE	INDIANAPOLIS	IN	46219
7035010	49-09-07-106-066.000-700	HUERTA, BRANDO CARCANO	8720		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7046297	49-10-13-108-013.000-700	BMSL PROPERTIES INDIANA INC	7802		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7045857	49-09-18-100-043.000-700	FRANZONE, GREG	2121		SOTHEBY LN	INDIANAPOLIS	IN	46239
7045000	49-09-18-102-032.000-700	HALL, LLOYD II	8046		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7041416	49-09-08-115-040.000-700	REAGAN, JOSEPH P & DEBORAH K REAGAN (H&W)	625		SWEET CREEK DR	INDIANAPOLIS	IN	46239
7040122	49-10-13-118-042.000-700	GOMEZ, PEDRO T SALAS	7658		DANCY DR	INDIANAPOLIS	IN	46239
7047674	49-09-08-123-003.000-700	GARVEY REAL ESTATE LLC	340	S	MITTHOEFER RD	INDIANAPOLIS	IN	46229
7041628	49-10-13-103-067.000-700	BANKS, ELROY	7710		WOOD STREAM DR	INDIANAPOLIS	IN	46239
7040854	49-10-13-119-069.000-700	HARLAN, ZACHARIAH & NATALIA MENENDEZ SOTO	7626		SCATTER WOODS LN	INDIANAPOLIS	IN	46239
7040220	49-10-13-105-013.000-700	MASSEY, BRENT E	7936		BENT WILLOW DR	INDIANAPOLIS	IN	46239
7045142	49-09-08-119-080.000-700	V3A PROPERTIES LLC 401K PSP	238		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7042333	49-09-08-102-036.000-700	RPG LEGACY ASSETS LLC	841		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7032147	49-09-07-100-017.000-700	SMITH, DENVER & WILMA JEAN	8142		SYCAMORE SPRINGS TRL	INDIANAPOLIS	IN	46239
7043506	49-09-08-119-009.000-700	MEYER, JOSHUA & AMY MEYER	248		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7004213	49-09-08-118-001.000-700	BOOE, TINKA M, (TRUSTEE) TINKA M BOOE, TRUST	810	S	MITTHOEFER RD	INDIANAPOLIS	IN	46239
7006512	49-09-07-118-015.000-700	WELLS, SHERRI R	8218		RAWLES AVE	INDIANAPOLIS	IN	46219
7001253	49-09-05-102-114.000-700	STONE, DALE B & JOYCE	9035	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7044983	49-09-18-102-015.000-700	AMH 2014-3 BORROWER LLC, %AMERICAN HOMES 4 RENT, ATTN: PROPERTY TAX DEPARTMENT	8060		CHESTERHILL WAY	INDIANAPOLIS	IN	46239
7044201	49-09-08-100-043.000-700	MARTIN, KEVIN A	812		FREESTONE DR	INDIANAPOLIS	IN	46239
7045203	49-09-05-106-025.000-700	LOPER, JUDY	9544		WOODSONG LN	INDIANAPOLIS	IN	46229
7040902	49-10-13-104-001.000-700	RELFORD, LATEASA	1933		CROSS WILLOW LN	INDIANAPOLIS	IN	46239
7045180	49-09-05-106-048.000-700	WOODSONG HOMEOWNERS ASSOCIATION LLC	0		COMMON PROPERTY	INDIANAPOLIS	IN	46239
7041617	49-10-13-103-053.000-700	CSMA BLT LLC, % RYAN LLC	1821		WINDY HILL LN	INDIANAPOLIS	IN	46239

7045859	49-09-18-100-041.000-700	MCGILL, TIMOTHY C	2109		SOTHEBY LN	INDIANAPOLIS	IN	46239
7040810	49-10-13-119-010.000-700	CRAYCRAFT, DREW K & ELIZABETH L (H&W)	7649		HIDDEN VALLEY LN	INDIANAPOLIS	IN	46239
7007176	49-10-13-116-013.000-700	TOON, DALE L	7420	E	RAYMOND ST	INDIANAPOLIS	IN	46239
7015745	49-09-06-109-020.000-700	RENNIER, CARL & MARY ANN	129	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7045869	49-09-18-100-031.000-700	WRIGHT, BRANDY NICOLE & MAXWELL E	8344		EXTON RD	INDIANAPOLIS	IN	46239
7044177	49-09-08-100-006.000-700	ORNELAS, JESUS FIDEL	9522		TREYBURN GREEN WAY	INDIANAPOLIS	IN	46239
7003995	49-09-07-106-049.000-700	RUSSELL, JEANE PATRICE	255	S	FENTON AVE	INDIANAPOLIS	IN	46219
7016910	49-09-07-102-067.000-700	COFFIN, DAVID PAUL	319	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7033531	49-10-13-116-007.000-700	PITTAWAY, JAMES & PATRICIA	7622	E	RAYMOND ST	INDIANAPOLIS	IN	46239
7046995	49-09-17-105-012.000-700	JACKSON, JAMES W & DIETRICH	9055		PROSPECT ST	INDIANAPOLIS	IN	46239
7046345	49-09-18-103-024.000-700	RAHI PETROLEUM INC	8408		SOTHEBY DR	INDIANAPOLIS	IN	46239
7042289	49-09-08-103-022.000-700	DIXON, BARRY & JOYCE A DIXON (H&W)	9720		PIPER LAKE DR	INDIANAPOLIS	IN	46239
7041367	49-09-08-115-009.000-700	KOCH, NANCY C	9732		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7028426	49-09-18-105-002.000-700	JUDKINS, LARRY PAUL SR	8130	E	RAYMOND ST	INDIANAPOLIS	IN	46239
7031979	49-09-06-105-010.000-700	BASIL PROPERTY LLC	8105	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7040842	49-10-13-119-043.000-700	COCHRAN, JEFFREY L	1938		CROSS WILLOW LN	INDIANAPOLIS	IN	46239
7016924	49-09-06-109-023.000-700	HANSON, JOSEPH & DEBRA L (H&W)	140	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7001358	49-09-05-102-132.000-700	BIRKLE, KENNETH J AND LORETTA F BIRKLE	15	S	POST RD	INDIANAPOLIS	IN	46219
7030590	49-09-07-103-010.000-700	MTP 245 S FRANKLIN ROAD LLC, % SOMERA ROAD INC	245	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7042344	49-09-08-102-002.000-700	MESSER, JOYCE A	810		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7004794	49-09-07-118-020.000-700	DENNEY, DELBERT G JR	8134		RAWLES AVE	INDIANAPOLIS	IN	46219
7040853	49-10-13-119-070.000-700	FKH SFR M L P	7632		SCATTER WOODS LN	INDIANAPOLIS	IN	46239
7044061	49-09-08-119-037.000-700	ERVIN, LASHONDA R	233		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7026607	49-09-07-109-010.000-700	JOHNSON, LARRY & PATRICK HOBBS	905	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7041577	49-09-05-101-010.000-700	FRYMIER, JOHN H & LINDA S FRYMIER (H&W)	9648		WOODSONG WAY	INDIANAPOLIS	IN	46229
7031964	49-09-07-108-028.000-700	SMITH, DENVER & JEANIE (H&W)	720		CECIL ST	INDIANAPOLIS	IN	46239
7006875	49-09-06-110-003.000-700	CONTINENTAL PROPERTIES, LLC	8503		HIBBEN AVE	INDIANAPOLIS	IN	46219
7044991	49-09-18-102-023.000-700	JOHNSON, LATONYA C	8131		CHESTERHILL WAY	INDIANAPOLIS	IN	46239
7042417	49-09-05-116-003.000-700	ROBERTS, WILLIAM J & SIGRUN ROBERTS (H&W)	9729		WOODSONG LN	INDIANAPOLIS	IN	46229
7003198	49-09-06-105-007.000-700	C & J PROPERTIES LLC, % CENTRE PROPERTIES	8011	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7022147	49-09-07-117-005.000-700	CUMMINGS, KAY	8826		RAWLES AVE	INDIANAPOLIS	IN	46219
7034388	49-09-07-106-086.000-700	ALLEN, DOROTHY BLEDSOE, % SHARON SUE ALLEN CLARK	231	S	FENTON AVE	INDIANAPOLIS	IN	46219
7035252	49-09-08-113-002.000-700	OWENS, ROOSEVELT JR & MARSHA F	9134		PROSPECT ST	INDIANAPOLIS	IN	46239
7016312	49-09-07-102-063.000-700	DUNNUCK, LAWRENCE E II & NANCY J DUNNUCK (H&W)	324	S	POST RD	INDIANAPOLIS	IN	46219
7045210	49-09-05-106-018.000-700	GOLDEN, BEVERLY ANN & PAMELS JO CHARLES & RICHARD MICHAEL YOUNG, LIFE ESTATE RICHARD YOUNG & JOANNE YOUNG	9607		WOODSONG LN	INDIANAPOLIS	IN	46229
7032947	49-09-18-114-011.000-700	D. J. HAYS REAL ESTATE, LLC	8101		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7041569	49-09-05-101-018.000-700	SIMPSON, JASON & SHARON HALL	9665		WOODSONG WAY	INDIANAPOLIS	IN	46229
7041687	49-10-13-103-087.000-700	RUCKER, TIA	1844		WINDY HILL LN	INDIANAPOLIS	IN	46239
7016909	49-09-07-102-044.000-700	TAYLOR, MARCIA N	365	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7041637	49-10-13-103-064.000-700	DENTON, RHONDA L	7622		WOOD STREAM DR	INDIANAPOLIS	IN	46239
7042324	49-09-08-103-055.000-700	JONES, LYNN L & PHILLIP C JONES SR (H&W)	9632		TREYBURN GREEN WAY	INDIANAPOLIS	IN	46239
7041651	49-10-13-103-057.000-700	BARBER, KEVIN LAMONT SR	7651		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7041071	49-10-13-107-015.000-700	DOCKERY, SANDRA S	7804		WOOD STREAM DR	INDIANAPOLIS	IN	46239
7001342	49-09-05-102-006.000-700	GERHOLT, KEITH J & STEPHANIE LYNN GERHOLT	9125		HIBBEN AVE	INDIANAPOLIS	IN	46229
7040133	49-10-13-118-020.000-700	VILLALPANDO, ROSE M	7703		DANCY DR	INDIANAPOLIS	IN	46239
7001278	49-09-05-102-108.000-700	CRUZ, VICENTE DAVID SANCHEZ & YAQUELIN HERNANDEZ	9115	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7041082	49-10-13-102-006.000-700	SCHILLING, MICHELLE	7824		WAYFOREST CT	INDIANAPOLIS	IN	46239
7047607	49-09-18-106-015.002-700	DOGWOOD DEVELOPMENT LLC & MARTIN KENRIC FALL TRUSTEE MARTIN KENRIC FALL LIVING TRUST 4/16/03	1402	S	POST RD	INDIANAPOLIS	IN	46239
7040821	49-10-13-119-028.000-700	CALVILLO, FRANCISCO	7618		HIDDEN VALLEY LN	INDIANAPOLIS	IN	46239
7041626	49-10-13-103-035.000-700	LOVE, BRYAN K	7639		WOOD STREAM DR	INDIANAPOLIS	IN	46239
7041388	49-09-08-115-028.000-700	COLIP, LINDA G & LINDA C TEAGUE	741		TREYBURN LAKES WAY	INDIANAPOLIS	IN	46239
7039847	49-10-13-100-023.000-700	ADAIR, CYNTHIA E	7933		CROSS WILLOW BLVD	INDIANAPOLIS	IN	46239
7045221	49-09-05-106-007.000-700	WELLMANN, DONALD A & DIANNE H	9606		WOODSONG WAY	INDIANAPOLIS	IN	46229
7044990	49-09-18-102-022.000-700	HO, KHANH	8136		CHESTERHILL WAY	INDIANAPOLIS	IN	46239
7045847	49-09-18-100-053.000-700	GOODLOE, RENITA D	8327		EXTON RD	INDIANAPOLIS	IN	46239
7042272	49-09-08-103-005.000-700	TREYBURN LAKES HOMEOWNERS ASSOC INC	0		COMMON PROPERTY		IN	
7045190	49-09-05-106-038.000-700	DAVIS, JANET	9545		WOODSONG WAY	INDIANAPOLIS	IN	46229
7041597	49-10-13-103-001.000-700	WILLIAMS, BLAKE J & JULIE K	7603		STOCKARD ST	INDIANAPOLIS	IN	46239
7040262	49-10-13-117-039.000-700	HERATH-MUDIYANSELAGE, ASUNDA & ANUSHA M BASNAYAKA	2115		CROSS WILLOW LN	INDIANAPOLIS	IN	46239
7007769	49-09-07-114-006.000-700	SCHUMERTH, ANGELA J	8410		RAWLES AVE	INDIANAPOLIS	IN	46219
7003141	49-09-07-106-079.000-700	THOMAS, JEFFERY A	304	S	GIBSON AVE	INDIANAPOLIS	IN	46219
7046913	49-09-06-103-034.000-700	BRAM REAL STATE LLC	8833	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7042274	49-09-08-103-012.000-700	JOHNSON, DANIELLE N	9711		TREYBURN GREEN WAY	INDIANAPOLIS	IN	46239
7022759	49-09-07-106-052.000-700	VANCE, FRANCES	433	S	FENTON AVE	INDIANAPOLIS	IN	46219
7041644	49-10-13-103-081.000-700	TRICON SFR 2023 2 BORROWER LLC	7609		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7042327	49-09-08-103-058.000-700	WENNING, CARL F & MARILYN A WENNING (H&W)	9643		TREYBURN GREEN WAY	INDIANAPOLIS	IN	46239
7035085	49-09-07-106-042.000-700	SEELEY, SHARON L	8511		IVANHOE ST	INDIANAPOLIS	IN	46219
7041602	49-10-13-103-005.000-700	KIPP, KENNETH W TRUSTEE, OF KENNETH W KIPP LIVING TRUST 1/22/2014	7633		STOCKARD ST	INDIANAPOLIS	IN	46239
7046978	49-10-13-108-015.000-700	MOJO REAL ESTATE LLC	1250		INTERCHANGE WAY	INDIANAPOLIS	IN	46239
7032939	49-10-13-116-011.000-700	GRAY, MICHAEL S	7520	E	RAYMOND ST	INDIANAPOLIS	IN	46239
7046348	49-09-18-103-027.000-700	KNIGHT-NELLIS, CALVIN R	8426		SOTHEBY DR	INDIANAPOLIS	IN	46239
7037642	49-09-08-113-003.000-700	CALDWELL, DAVID E	9138		PROSPECT ST	INDIANAPOLIS	IN	46239
7032304	49-09-07-112-001.000-700	COFFEY ESTATE LLC	1014	S	POST RD	INDIANAPOLIS	IN	46239
7041365	49-09-08-115-003.000-700	DANIELS, JASHAD	9714		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7035530	49-09-18-110-001.000-700	ABC CHARITIES INC	8880	E	RAYMOND ST	INDIANAPOLIS	IN	46239
7041673	49-10-13-103-031.000-700	ROSS, JONATHAN & BRITTANY	7516		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7046465	49-09-08-119-119.000-700	SINGH, KEVIN	9804		LEGENDS CREEK DR	INDIANAPOLIS	IN	46229
7004333	49-09-17-102-001.000-700	CAPITAL CITY LEASING INC	1529	S	POST RD	INDIANAPOLIS	IN	46239
7042297	49-09-08-103-030.000-700	FKH SFR PROP CO B-HLD LP, % FIRST KEY HOMES LLC	9626		PIPER LAKE DR	INDIANAPOLIS	IN	46239
7043954	49-09-08-108-016.000-700	DIAZ, JAIME L	9629		GULL LAKE DR	INDIANAPOLIS	IN	46239
7021951	49-09-06-112-014.000-700	HICKMAN, DARRYL E	8535		BONNA AVE	INDIANAPOLIS	IN	46219
7041116	49-10-13-102-041.000-700	MARTIN, MICHAEL F & NANCY JO MARTIN (H&W)	7846		LOFTON CT	INDIANAPOLIS	IN	46239
7042284	49-09-08-103-018.000-700	SFR JV-2 2023-1 BORROWER LLC	911		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239

7015743	49-09-07-116-027.000-700	MERRIMAN, CHELSEA	197	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7041578	49-09-05-101-009.000-700	BROOKS, MICHAEL L &,CAROLE D	9654		WOODSONG WAY	INDIANAPOLIS	IN	46229
7043952	49-09-08-108-007.000-700	VB SIX LLC	9607		GULL LAKE DR	INDIANAPOLIS	IN	46239
7001306	49-09-05-102-166.000-700	HALE, SHIRLEY &,SARAN J WESTCOTT	33		ROSEMERE AVE	INDIANAPOLIS	IN	46229
7004928	49-10-13-101-019.000-700	WILLIAMS, JAMES R	1222	S	HUBER ST	INDIANAPOLIS	IN	46239
7042349	49-09-08-102-013.000-700	DUCKING, KELLY	732		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7041588	49-09-05-101-001.000-700	WINTERS, DARVIN E &,MARY E (H&W)	9746		WOODSONG WAY	INDIANAPOLIS	IN	46229
7007146	49-09-06-103-015.000-700	STORAGE EQUITIES INC,DEPT PT-IN20186	8651	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7019338	49-09-07-116-019.000-700	DECKER, CARL R	210	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7046360	49-09-18-103-039.000-700	GONZALES, JANET B	8533		SOTHEBY DR	INDIANAPOLIS	IN	46239
7042312	49-09-08-103-045.000-700	LOCKHART, ALISHA	9721		PIPER LAKE DR	INDIANAPOLIS	IN	46239
7041600	49-10-13-103-002.000-700	CLARK, CHRISTOPHER T &,CARLETTA D CLARK	7621		STOCKARD ST	INDIANAPOLIS	IN	46239
7030768	49-09-17-111-003.000-700	CIN INDPLS & WESTN RY CO,% B & O RR CO BOX 307,AD VALOREM TAX DEPT	0		RAILROAD ROW		IN	
7041636	49-10-13-103-065.000-700	LOGAN, ZACHARY &,SHARON	7628		WOOD STREAM DR	INDIANAPOLIS	IN	46239
7042271	49-09-08-103-010.000-700	TREYBURN LAKES HOMEOWNERS ASSOC INC	0		COMMON PROPERTY		IN	
7040232	49-10-13-117-024.000-700	FKH SFR PROP CO A LP,%FIRST KEY HOMES LLC	2026		COLDWATER CT	INDIANAPOLIS	IN	46239
7040896	49-10-13-115-011.000-700	WILLOW LAKES & WILLOW,OAKS HOMEOWNERS,ASSOCIATION, INC	0		COMMON PROPERTY		IN	
7045020	49-09-18-102-052.000-700	AMERICAN HOMES 4 RENT PROPERTIES SIX LLC,ATTN:PROPERTY TAX DEPARTMENT	8103		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7041369	49-09-08-115-010.000-700	LOPEZ, MARLENE D &,YANET MARTINEZ	9744		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7046905	49-09-07-113-013.000-700	CONSTELLATION CNG LLC	516	S	POST RD	INDIANAPOLIS	IN	46239
7041379	49-09-08-115-021.000-700	HOBBS, JASON &,CINDY HOBBS (H&W)	633		TREYBURN LAKES WAY	INDIANAPOLIS	IN	46239
7039801	49-10-13-100-028.000-700	KUMFER, SAMANTHA A	7928		CROSS WILLOW BLVD	INDIANAPOLIS	IN	46239
7040836	49-10-13-119-023.000-700	DYER, JOSEPH M &,TONYA R DYER	7627		SCATTER WOODS LN	INDIANAPOLIS	IN	46239
7040170	49-10-13-118-015.000-700	SEELE, WYATT	2101		COLDWATER CIR	INDIANAPOLIS	IN	46239
7040811	49-10-13-119-011.000-700	FKH SFR C2 L P,% FIRST KEY HOMES LLC	7655		HIDDEN VALLEY LN	INDIANAPOLIS	IN	46239
7046477	49-09-08-119-128.000-700	NGUYEN, THAO	9812		LEGENDS CREEK DR	INDIANAPOLIS	IN	46229
7041418	49-09-08-115-038.000-700	ROMAN, ROBERTO T &,LUCILA	637		SWEET CREEK DR	INDIANAPOLIS	IN	46239
7004218	49-09-08-119-001.000-700	SHERRILL, ERIC &,KIMBERLY	268	S	MITTHOFFER RD	INDIANAPOLIS	IN	46229
7040266	49-10-13-117-043.000-700	MONDAY, SHIRLEY A	2043		CROSS WILLOW LN	INDIANAPOLIS	IN	46239
7021118	49-09-08-109-003.000-700	NOBLE, BRENDA	1011	S	POST RD	INDIANAPOLIS	IN	46239
7043940	49-09-08-108-019.000-700	WEAVER, COURTNEY &,DANNY M COLLIER	9640		GULL LAKE DR	INDIANAPOLIS	IN	46239
7018922	49-09-07-117-020.000-700	SCHUMAKER, CODY	404	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7044491	49-09-08-119-099.000-700	BLANKENSHIP, TONY R	247		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7040892	49-10-13-115-004.000-700	PRESTON, LARRY	7742		BRIGHT LEAF CIR	INDIANAPOLIS	IN	46239
7041643	49-10-13-103-082.000-700	WOODS, DAVID &,PAMELA WOODS (H&W)	7601		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7044475	49-09-08-119-111.000-700	PATTERSON, LESLIE M	231		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7031972	49-09-05-107-053.000-700	WINKAL HOLDINGS, L.L.C.,% WIN PROPERTIES, INC	9509	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7040837	49-10-13-119-030.000-700	PROGRESS RESIDENTIAL BORROWER 4 LLC	7633		SCATTER WOODS LN	INDIANAPOLIS	IN	46239
7016418	49-09-05-107-019.000-700	WELLS, BRET	9400		BURK RD	INDIANAPOLIS	IN	46219
7019339	49-09-07-102-045.000-700	FROST, ELLIOT J &,JADE	345	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7041631	49-10-13-103-071.000-700	HOGG, MATTHEW &,ANDREA	7658		WOOD STREAM DR	INDIANAPOLIS	IN	46239
7040268	49-10-13-117-045.000-700	MATHIS, JAMES	2031		CROSS WILLOW LN	INDIANAPOLIS	IN	46239
7044975	49-09-18-102-007.000-700	LEON, JESUS	8016		CHESTERHILL WAY	INDIANAPOLIS	IN	46239
7032235	49-09-07-109-002.000-700	ADEBOMOJO, OPE ADENIKE	945	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7001274	49-09-05-102-090.000-700	GREEN CHARIOT INVESTMENTS LLC	24	S	GALESTON AVE	INDIANAPOLIS	IN	46229
7025146	49-09-06-103-003.000-700	HOBBS, DAVID L	104	S	POST RD	INDIANAPOLIS	IN	46219
7046402	49-09-08-125-001.001-700	PRICE, ELY TRUSTEE,PRICE LIVING TRUST 06/24/2005	9425		TREYBURN LAKES DR	INDIANAPOLIS	IN	46229
7041615	49-10-13-103-098.000-700	POFFENBERGER, DAVID JOHN & KELLY MICHELLE,TRUSTEES OF THE FAMILY TRUST OF DAVID JOHN,POFFENBERGER & KELLY MICHELLE	1841		WINDY HILL LN	INDIANAPOLIS	IN	46239
7021119	49-09-08-109-009.000-700	LEE, KAREN	1003	S	POST RD	INDIANAPOLIS	IN	46239
7040838	49-10-13-119-031.000-700	YAMASA CO LTD	7639		SCATTER WOODS LN	INDIANAPOLIS	IN	46239
7004413	49-09-07-106-013.000-700	PLASTERER, DANIEL JAMES &,OLIVIA PEYTON	301	S	GIBSON AVE	INDIANAPOLIS	IN	46219
7006893	49-09-06-110-017.000-700	LINK, MIKE	67	S	FENTON AVE	INDIANAPOLIS	IN	46219
7006252	49-09-07-113-002.000-700	WOLTER INVESTMENT COMPANY LLC	8801		RAWLES AVE	INDIANAPOLIS	IN	46219
7044202	49-09-08-100-053.000-700	WANG, DI &,YANG LI	820		FREESTONE DR	INDIANAPOLIS	IN	46239
7016301	49-09-07-117-023.000-700	WITT, CHUCK E & KARLA L	425	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7045224	49-09-05-106-004.000-700	BROWN, DANIELLE R	147		WOODSONG PL	INDIANAPOLIS	IN	46229
7041570	49-09-05-101-019.000-700	BAILEY, BRENDA	9659		WOODSONG WAY	INDIANAPOLIS	IN	46229
7039831	49-10-13-100-010.000-700	FKH SFR C2 L P,% FIRST KEY HOMES LLC	7809		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7021357	49-09-05-102-024.000-700	STALLCUP, BRITTANY VALDEZ &,DEVIN JILES STALLCUP	73	S	GALESTON AVE	INDIANAPOLIS	IN	46229
7043960	49-09-08-108-023.000-700	GALE, ARTHUR	9665		GULL LAKE DR	INDIANAPOLIS	IN	46239
7016417	49-09-05-107-001.000-700	REYNOLDS, WENDELL R	9224		BURK RD	INDIANAPOLIS	IN	46219
7004836	49-09-17-108-001.000-700	INDIANAPOLIS, CITY OF,DEPARTMENT OF PARKS & RECREATION	1313	S	POST RD	INDIANAPOLIS	IN	46239
7046029	49-10-13-114-018.000-700	NORTH LAND PROPERTIES LLC	7735		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7045159	49-09-18-101-031.000-700	BG LEASING LLC	8630		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7041632	49-10-13-103-070.000-700	WOLFORD, COLLEEN A	7652		WOOD STREAM DR	INDIANAPOLIS	IN	46239
7041665	49-10-13-103-029.000-700	SAFARI ONE ASSET COMPANY LLC	7608		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7044192	49-09-08-100-030.000-700	BAF ASSETS 5 LLC	9540		LORTON CIR	INDIANAPOLIS	IN	46239
7041088	49-10-13-102-011.000-700	CRAIG, KATHY D	7915		PALMARO CIR	INDIANAPOLIS	IN	46239
7003385	49-09-07-106-087.000-700	MURRAY, PATRICK THOMAS III	240	S	GIBSON AVE	INDIANAPOLIS	IN	46219
7043487	49-09-08-119-028.000-700	BELLMON, SHARON	232		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7045864	49-09-18-100-036.000-700	PROGRESS RESIDENTIAL BORROWER 12 LLC	2033		SOTHEBY LN	INDIANAPOLIS	IN	46239
7041585	49-09-05-101-004.000-700	ENGLERTH, MARILYN J	9728		WOODSONG WAY	INDIANAPOLIS	IN	46229
7046923	49-09-08-113-021.000-700	ESKEW, DARIN J &,TERRIE A BEESON (JTRS)	9150		PROSPECT ST	INDIANAPOLIS	IN	46239
7040182	49-10-13-105-044.000-700	WILSON, QUIANA C	7927		BENT WILLOW DR	INDIANAPOLIS	IN	46239
7032152	49-09-07-100-014.000-700	MINGS, NORMA D TRUSTEE FOR PATRICIA L,BISSONETTE TESTAMENTARY TRUST 1/2 INT &,NORMA D MINGS COMPANION	8061		SYCAMORE SPRINGS TRL	INDIANAPOLIS	IN	46239
7042405	49-09-05-116-025.000-700	YODER, ADELINE K	9706		WOODSONG LN	INDIANAPOLIS	IN	46229
7039244	49-09-17-102-006.000-700	MIDWEST LOGISTICS INC	1509	S	POST RD	INDIANAPOLIS	IN	46239
7032948	49-09-18-114-015.000-700	1611 SOUTH FRANKLIN LLC	1611	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7001401	49-09-07-118-010.000-700	GOODNIGHT, JOHNNY D &,ANNY GOODNIGHT H&W	8330		RAWLES AVE	INDIANAPOLIS	IN	46219
7041108	49-10-13-102-033.000-700	SHILSON, CHRISTOPHER A &,CIERRA MILLIGAN	7931		LOFTON CT	INDIANAPOLIS	IN	46239

7046392	49-09-08-125-006.000-700	NSELE, CARINE IPAKA &, ISMAEL MAZAZA VELANY	9490		TREYBURN LAKES DR	INDIANAPOLIS	IN	46229
7043955	49-09-08-108-017.000-700	SFR JV 1 2020 1 BORROWER LLC,%TRICOM AMERICAN HOMES LLC	9635		GULL LAKE DR	INDIANAPOLIS	IN	46239
7041623	49-10-13-103-037.000-700	ALFARO, ELIAS O	7617		WOOD STREAM DR	INDIANAPOLIS	IN	46239
7040162	49-10-13-118-005.000-700	WILLIS, WALTER S	2113		WINDY HILL CT	INDIANAPOLIS	IN	46239
7015737	49-09-07-116-004.000-700	MADDOX, MICHAEL L &, ESTHER M	238	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7044080	49-09-08-119-056.000-700	SZEIBERT, ROBERT & CRISTINA	249		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7040817	49-10-13-119-036.000-700	Occupant	7642		HIDDEN VALLEY LN	INDIANAPOLIS	IN	46239
7013842	49-09-05-107-004.000-700	JAV CONCRETE LLC	9116		BURK RD	INDIANAPOLIS	IN	46219
7005370	49-09-07-114-005.000-700	HENSON, GARY T	8435		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7041413	49-09-08-115-034.000-700	HOME SFR BORROWER IV LLC,% HAVENBROOK HOMES	607		SWEET CREEK DR	INDIANAPOLIS	IN	46239
7036494	49-09-08-118-005.000-700	CUMBERLAND CHURCH OF GOD	9801		RAWLES AVE	INDIANAPOLIS	IN	46229
7001277	49-09-05-102-122.000-700	VIOLA, CHRISTOPHER &, RICHARD LEWIS	7	S	GALESTON AVE	INDIANAPOLIS	IN	46229
7045150	49-09-08-119-072.000-700	KERNODLE, MARLA H	246		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7040252	49-10-13-117-016.000-700	BUTLER, HAROLD V JR &, TERRI J H&W	7801		BENT WILLOW DR	INDIANAPOLIS	IN	46239
7036456	49-09-18-108-002.000-700	FUSON DEVELOPMENT LLC	1113	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7015833	49-09-05-107-015.000-700	DOWLING SONS INC	9322		BURK RD	INDIANAPOLIS	IN	46219
7045225	49-09-05-106-003.000-700	ABBOTT, LEANN K &, JOHN D ABBOTT JR (H&W)	153		WOODSONG PL	INDIANAPOLIS	IN	46229
7040126	49-10-13-118-046.000-700	LAMCO ASSET COMPANY 1 LLC	7634		DANCY DR	INDIANAPOLIS	IN	46239
7000817	49-09-06-112-012.000-700	GASCON, RAFAEL &, KARLA ABSALOM	8565		BONNA AVE	INDIANAPOLIS	IN	46219
7040887	49-10-13-115-009.000-700	SILVIA, ALICIA	7733		BRIGHT LEAF CIR	INDIANAPOLIS	IN	46239
7030240	49-09-17-103-001.000-700	NAJERA, MARGO I	9261		PROSPECT ST	INDIANAPOLIS	IN	46239
7046355	49-09-18-103-034.000-700	ALUMS, DANIELLE	8510		SOTHEBY DR	INDIANAPOLIS	IN	46239
7022176	49-09-18-106-010.000-700	PEDUE, RODNEY &, NADINE	1344	S	POST RD	INDIANAPOLIS	IN	46239
7001208	49-09-07-106-031.000-700	HIZER, BRUCE J JR	336	S	FENTON AVE	INDIANAPOLIS	IN	46219
7039888	49-09-18-110-002.000-700	FALL, MARTIN KENRIC, TRUSTEE OR SUCCESSOR IN TRUST UNDER, MARTIN KENRIC FALL LIVING TRUST 4/1/2003	1215	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7045876	49-09-18-100-024.000-700	CAMPBELL, WILLIAM &, CHERIE	8302		EXTON RD	INDIANAPOLIS	IN	46239
7043939	49-09-08-108-014.000-700	MORRIS, ORIN L &, IMELDA GERONA MORRIS H&W	9646		GULL LAKE DR	INDIANAPOLIS	IN	46239
7034939	49-09-08-113-012.000-700	KING, JERRY M &, JENNIE A KING (H&W)	9410		PROSPECT ST	INDIANAPOLIS	IN	46239
7040224	49-10-13-105-030.000-700	WILLOW LAKES AND WILLOW, OAKS HOMEOWNERS, ASSOCIATION, INC	0		COMMON PROPERTY		IN	
7022765	49-09-07-110-001.000-700	LIGHTHOUSE COMMUNITY CHURCH	8401		RAWLES AVE	INDIANAPOLIS	IN	46239
7041405	49-09-08-115-064.000-700	BRYAN, PATRICK J &, BRENDA L BRYAN (JTRS)	638		SWEET CREEK DR	INDIANAPOLIS	IN	46239
7023029	49-09-08-105-017.000-700	BARTLEY, PHILIP &, KIMBERLY K BARTLEY (H&W)	9040		PROSPECT ST	INDIANAPOLIS	IN	46239
7044217	49-09-08-100-018.000-700	HILL, MELISSA D	9553		TREYBURN GREEN WAY	INDIANAPOLIS	IN	46239
7042377	49-09-08-116-009.000-700	ROBEY, RUSSELL KENNETH &, PATRICIA L ROBEY (H&W)	9649		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7026532	49-09-07-102-036.000-700	CHUBBA LLC, ATTN DENNIS R BRACKENRIDGE JR	322	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7044481	49-09-08-119-109.000-700	RADOS, MARIN	239		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7041582	49-09-05-101-005.000-700	HEUMANN, JOHN W TRUSTEE, JOHN W HEUMANN & CHARLOTTE M HEUMANN, REVOCABLE LIVING TRUST &, JOHN W HEUMANN LIFE EST	9710		WOODSONG WAY	INDIANAPOLIS	IN	46229
7003162	49-09-07-106-051.000-700	RIPPSTEIN, S WAYNE &, AMY J	434	S	GIBSON AVE	INDIANAPOLIS	IN	46219
7041390	49-09-08-115-031.000-700	STOKES, THOMAS CASANOVA	809		TREYBURN LAKES WAY	INDIANAPOLIS	IN	46239
7045010	49-09-18-102-042.000-700	YOUNG, ERIC D &, SHARON L (H&W)	8134		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7046405	49-09-08-125-001.003-700	CRAIG, DENNIS M &, DONNA L CRAIG (H&W)	9455		TREYBURN LAKES DR	INDIANAPOLIS	IN	46229
7041683	49-10-13-103-091.000-700	HARVEY, MARK A &, MELISSA, E (H&W)	1820		WINDY HILL LN	INDIANAPOLIS	IN	46239
7020569	49-09-07-102-043.000-700	FURLOUGH, BRENDA J	369	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7006816	49-09-05-102-097.000-700	GREVER, GARY W &, BARBARA J	29	S	POST RD	INDIANAPOLIS	IN	46219
7015750	49-09-05-107-045.000-700	HERRERA, MARIA ROSARIO RODRIGUEZ &, RODRIGO RODRIGUEZ ESPINO	119	S	BONAR AVE	INDIANAPOLIS	IN	46229
7023732	49-09-18-105-010.000-700	KIMMEL, DENNY &, KATHERINE KIMMEL	8202	E	RAYMOND ST	INDIANAPOLIS	IN	46239
7041685	49-10-13-103-089.000-700	GOSMAN, JUDITH &, CLETA GOSMAN	1832		WINDY HILL LN	INDIANAPOLIS	IN	46239
7040258	49-10-13-117-035.000-700	DAHL, NANCY L	7824		BENT WILLOW DR	INDIANAPOLIS	IN	46239
7042279	49-09-08-103-017.000-700	CHISHOLM, ELI J	1013		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7001339	49-09-05-102-009.000-700	PARVIN, JAMES	9143		HIBBEN AVE	INDIANAPOLIS	IN	46229
7046371	49-09-18-103-050.000-700	SCHWENCK, DANIEL C &, DORICE A H/W	2026		SOTHEBY LN	INDIANAPOLIS	IN	46239
7016303	49-09-07-116-005.000-700	COCHRAN, TERENCE A &, MICHAEL L COCHRAN & DENISE E COCHRAN, TRUSTEES UNDER THE MICHAEL L COCHRAN &, DENISE E COCHRAN JOINT REVOCABLE TRUST 6/3/19	8802		IVANHOE ST	INDIANAPOLIS	IN	46219
7045148	49-09-08-119-074.000-700	FERNANDO, CASTRO U &, VICTORIA J URIBE	246		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7016311	49-09-07-117-039.000-700	OTTE, JOHN L	420	S	POST RD	INDIANAPOLIS	IN	46219
7017278	49-09-06-112-015.000-700	GUTIERREZ, ALVARO J	217	S	FENTON AVE	INDIANAPOLIS	IN	46219
7042313	49-09-08-103-002.000-700	MERIDA, STEPHEN THOMAS &, SANDRA ELAINE	9729		PIPER LAKE DR	INDIANAPOLIS	IN	46239
7029986	49-10-13-116-009.000-700	WILSON, JAMES A	7506	E	RAYMOND ST	INDIANAPOLIS	IN	46239
7003382	49-10-13-101-021.000-700	SFS LLC	1202	S	HUBER ST	INDIANAPOLIS	IN	46239
7042334	49-09-08-102-034.000-700	LOZANO, AURELIA	847		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7041083	49-10-13-102-005.000-700	HARRIS, MATTHEW D &, JENNIFER N	7825		WAYFOREST CT	INDIANAPOLIS	IN	46239
7045011	49-09-18-102-043.000-700	SOMERS, MICHAEL D &, TAMMY S (H&W)	8142		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7035305	49-10-13-114-004.000-700	BUSSELL, CAROL A	1604	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7046380	49-09-18-103-057.000-700	DAVIS, CYNTHIA D	8339		SOTHEBY DR	INDIANAPOLIS	IN	46239
7041667	49-10-13-103-024.000-700	PETERSON, LAMAR R &, LAMAR PETERSON JR	7552		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7038944	49-09-08-122-002.000-700	CRISWELL, DENNY A &, SUNDAY L (H&W)	9375		RAWLES AVE	INDIANAPOLIS	IN	46229
7046350	49-09-18-103-029.000-700	BOYD, JAMIE	8438		SOTHEBY DR	INDIANAPOLIS	IN	46239
7043948	49-09-08-108-003.000-700	SFR JV 1 2019 1 BORROWER LLC,%TRICOM AMERICAN HOMES LLC	9546		GULL LAKE DR	INDIANAPOLIS	IN	46239
7040905	49-10-13-104-004.000-700	COOPER, JENNI E	1949		CROSS WILLOW LN	INDIANAPOLIS	IN	46239
7040903	49-10-13-104-002.000-700	DECKER, JAMIE R	1939		CROSS WILLOW LN	INDIANAPOLIS	IN	46239
7025163	49-09-17-105-006.000-700	EVERTS, BRIAN K &, TINA LOUISE (H&W)	1217	S	POST RD	INDIANAPOLIS	IN	46239
7042303	49-09-08-103-036.000-700	BROWN, DEBRA	9625		PIPER LAKE DR	INDIANAPOLIS	IN	46239
7042310	49-09-08-103-043.000-700	REED, MARK A &, DEBRA S REED (H&W)	9705		PIPER LAKE DR	INDIANAPOLIS	IN	46239
7029528	49-10-13-113-003.000-700	WIGGINGTON, CHRISTOPHER P &, SANDRA B WIGGINGTON H&W	2136	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7001316	49-09-05-102-063.000-700	YOUNG, MARY F &, STOMM, RICHARD L	136	S	WITTFIELD ST	INDIANAPOLIS	IN	46229
7001400	49-09-07-118-011.000-700	CASH, JEFFERY L &, SONDR A E	8331		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7007813	49-09-07-108-017.000-700	COLLINS, DAVID &, TIMOTHY SCOTT COLLINS	533	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7042275	49-09-08-103-013.000-700	PAULSON, CRYSTAL D	9717		TREYBURN GREEN WAY	INDIANAPOLIS	IN	46239

7046357	49-09-18-103-036.000-700	JIMENEZ, KAREN	8522		SOTHEBY DR	INDIANAPOLIS	IN	46239
7004525	49-09-08-113-018.000-700	KING, JERRY &,JENNIE	9440		PROSPECT ST	INDIANAPOLIS	IN	46239
7041408	49-09-08-115-067.000-700	CORREA, RUBY N PINA & ROBERTO PEREZ	620		SWEET CREEK DR	INDIANAPOLIS	IN	46239
7042353	49-09-08-102-017.000-700	YEKINNI, ABIDEEN O	715		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7007907	49-09-07-106-093.000-700	WHITTINGTON, BETH A	8724		IVANHOE ST	INDIANAPOLIS	IN	46219
7040125	49-10-13-118-045.000-700	CAREY, BRANDON W &,ALISHA MORTON	7640		DANCY DR	INDIANAPOLIS	IN	46239
7041604	49-10-13-103-049.000-700	SFR JV 1 2019 1 BORROWER LLC,%TRICON AMERICAN HOMES LLC	7645		STOCKARD ST	INDIANAPOLIS	IN	46239
7040161	49-10-13-118-004.000-700	TRICON SFR 2020-2 BORROWER LLC,%TRICON AMERICAN HOMES LLC	7649		WINDY HILL WAY	INDIANAPOLIS	IN	46239
7039818	49-10-13-100-006.000-700	DICK, DANIEL L &,SHERRI L	1714		BLUE WILLOW CIR	INDIANAPOLIS	IN	46239
7003164	49-09-07-106-002.000-700	SCARLETT, PAUL AARON,% TRUE PROPERTY MANAGEMENT GROUP	8604		RAWLES AVE	INDIANAPOLIS	IN	46219
7042351	49-09-08-102-015.000-700	CLARDY, CHARLES A &,DELORES CLARDY (H&W)	720		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7040219	49-10-13-105-012.000-700	RICHARDSON, THOMAS MATTHEW &,JOHN DAVID PATRICK	7930		BENT WILLOW DR	INDIANAPOLIS	IN	46239
7040866	49-10-13-119-079.000-700	WILLOW LAKES & WILLOW,OAKS HOMEOWNERS,ASSOCIATION, INC	0		COMMON PROPERTY		IN	
7004192	49-09-07-109-017.000-700	FUSON DEVELOPMENT LLC	1111	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7006516	49-09-07-106-020.000-700	SFR3 010 LLC	8720		IVANHOE ST	INDIANAPOLIS	IN	46219
7044219	49-09-08-100-015.000-700	BASHAM, BARBARA	9611		TREYBURN GREEN WAY	INDIANAPOLIS	IN	46239
7025768	49-09-17-105-002.000-700	COLOMBO, MICHAEL J	9119		PROSPECT ST	INDIANAPOLIS	IN	46239
7046359	49-09-18-103-038.000-700	HYDEN, WILLIAM &,HEATHER	8534		SOTHEBY DR	INDIANAPOLIS	IN	46239
7044492	49-09-08-119-098.000-700	FRAME, JAMES	247		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7041660	49-10-13-103-015.000-700	ROJAS, AMANDA M	7638		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7045175	49-09-06-103-022.000-700	LISHA LLC	8829	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7042372	49-09-08-116-004.000-700	HUSEMAN, CHRISTINA	9658		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7040169	49-10-13-118-014.000-700	JOYNER, CAMERON B & JENNA D	7617		WINDY HILL WAY	INDIANAPOLIS	IN	46239
7001275	49-09-05-102-115.000-700	ARKELL, BEN	16	S	GALESTON AVE	INDIANAPOLIS	IN	46229
7046366	49-09-18-103-045.000-700	HAPPI, HONORINE N	8415		SOTHEBY DR	INDIANAPOLIS	IN	46239
7016306	49-09-07-102-026.000-700	BRIGGS, MICHAEL &,VICKI LYNCH	318	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7015873	49-09-05-102-068.000-700	YOUNG, JOHN R &,MARY F	136	S	WITTFIELD ST	INDIANAPOLIS	IN	46229
7041414	49-09-08-115-042.000-700	HUDSON, JOYCE A	613		SWEET CREEK DR	INDIANAPOLIS	IN	46239
7039829	49-10-13-100-050.000-700	MANSHIP, MEGAN	7728		CROSS WILLOW BLVD	INDIANAPOLIS	IN	46239
7001240	49-09-05-102-048.000-700	KERNS, DAVID J & TERESA L,(H&W)	9030		HIBBEN AVE	INDIANAPOLIS	IN	46229
7041090	49-10-13-102-015.000-700	WILSON, SHERRI L	7929		PALMARO CIR	INDIANAPOLIS	IN	46239
7039803	49-10-13-100-030.000-700	CORNETT, SUMMER J	7916		CROSS WILLOW BLVD	INDIANAPOLIS	IN	46239
7039800	49-10-13-100-027.000-700	O'BRIEN, COLLEEN	7934		CROSS WILLOW BLVD	INDIANAPOLIS	IN	46239
7006888	49-09-06-110-024.000-700	CLARK, JEAN L	33	S	FENTON AVE	INDIANAPOLIS	IN	46219
7040246	49-10-13-117-010.000-700	HALL, KENNETH L JR &,BONNIE M H&W	7839		BENT WILLOW DR	INDIANAPOLIS	IN	46239
7042419	49-09-05-116-005.000-700	MAILLET, GERALD J &,MARY A GONDECK	9717		WOODSONG LN	INDIANAPOLIS	IN	46229
7045887	49-09-18-100-013.000-700	AMERICAN HOMES 4 RENT,ATTN: PROPERTY TAX DEPARTMENT	8364		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7044474	49-09-08-119-112.000-700	HOLLOWAY, PATRICIA A,#206	231		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7001269	49-09-05-102-032.000-700	GARCIA, SALVADOR &,ROSALIA CASTILLO	56	S	GALESTON AVE	INDIANAPOLIS	IN	46229
7040859	49-10-13-119-064.000-700	SMYTHE, PATRICIA Y	7546		SCATTER WOODS LN	INDIANAPOLIS	IN	46239
7043942	49-09-08-108-012.000-700	BYRD, CASEY	9628		GULL LAKE DR	INDIANAPOLIS	IN	46239
7023034	49-09-08-105-006.000-700	LUNDY, CHARLOTTE W	1003	S	BRENTWOOD AVE	INDIANAPOLIS	IN	46239
7032943	49-09-08-113-006.000-700	TORKILDSON, JAMES &,SUSAN H/W	9110		LEXINGTON AVE	INDIANAPOLIS	IN	46239
7039806	49-10-13-100-033.000-700	SAFARI ONE ASSET COMPANY LLC	7848		CROSS WILLOW BLVD	INDIANAPOLIS	IN	46239
7035253	49-09-08-113-001.000-700	FIELDS, CHARLES G &,SHARON S	9120		PROSPECT ST	INDIANAPOLIS	IN	46239
7043492	49-09-08-119-023.000-700	WILLIAMS, VICTORIA L	232		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7040223	49-10-13-105-009.000-700	TORRES, CECILIA REYES	7956		BENT WILLOW DR	INDIANAPOLIS	IN	46239
7046378	49-09-18-103-055.000-700	HOPSON, ERIC	8351		SOTHEBY DR	INDIANAPOLIS	IN	46239
7020568	49-09-07-116-016.000-700	COLE, GERALD D	229	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7045218	49-09-05-106-010.000-700	MAHON, RAYMOND H &,ANNA M	9546		WOODSONG WAY	INDIANAPOLIS	IN	46229
7045873	49-09-18-100-027.000-700	HILL, ANITA M	8320		EXTON RD	INDIANAPOLIS	IN	46239
7044980	49-09-18-102-012.000-700	MARTINEZ, DESIREE	8042		CHESTERHILL WAY	INDIANAPOLIS	IN	46239
7041605	49-10-13-103-074.000-700	BELL, KAYLA L &,NATHAN T KREILEIN	7651		STOCKARD ST	INDIANAPOLIS	IN	46239
7023041	49-09-08-105-025.000-700	PATTERSON, DANIEL B &,BETTY A H/W	9044		LEXINGTON AVE	INDIANAPOLIS	IN	46239
7044079	49-09-08-119-055.000-700	CARPENTER, RONALD J	249		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7042342	49-09-08-102-011.000-700	JENKINS, LOIS B	822		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7040841	49-10-13-119-039.000-700	WARD, ANTONIO R	7657		SCATTER WOODS LN	INDIANAPOLIS	IN	46239
7040888	49-10-13-115-008.000-700	HERNANDEZ HERNANDEZ, VICTOR J	7739		BRIGHT LEAF CIR	INDIANAPOLIS	IN	46239
7035578	49-10-13-114-003.000-700	SCP2009-C32-033 LLC,% CVS CORP 5423-01,ATTN ACCOUNTING	7935		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7029551	49-09-17-103-009.000-700	LANUM, MARK & TAMELA A,(H&W)	9409		PROSPECT ST	INDIANAPOLIS	IN	46239
7046334	49-09-18-103-001.004-700	WIMBS, VICKI E	8312		SOTHEBY DR	INDIANAPOLIS	IN	46239
7001249	49-09-05-102-128.000-700	SCHILLING, JON	24	S	BRENTWOOD AVE	INDIANAPOLIS	IN	46229
7033615	49-09-17-106-007.000-700	ARROYO, SILVERIO PEDRAZA	1134		LICHTENBURG RD	INDIANAPOLIS	IN	46239
7039807	49-10-13-100-034.000-700	FINNEY, DENISE	7842		CROSS WILLOW BLVD	INDIANAPOLIS	IN	46239
7014536	49-09-07-117-014.000-700	MICHAEL, ROBERT	8844		RAWLES AVE	INDIANAPOLIS	IN	46219
7041619	49-10-13-103-051.000-700	KNIGHT, MARGARET	7541		WOOD STREAM DR	INDIANAPOLIS	IN	46239
7041370	49-09-08-115-012.000-700	JETER, SHAWN & THERESA	9750		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7042379	49-09-08-116-011.000-700	AMH 2014-3 BORROWER LLC,%AMERICAN HOMES 4 RENT,ATTN:PROPERTY TAX DEPARTMENT	9665		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7041655	49-10-13-103-022.000-700	LACY, ROSE M	7724		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7045862	49-09-18-100-038.000-700	SCHRADER, RYAN	2045		SOTHEBY LN	INDIANAPOLIS	IN	46239
7047206	49-10-13-116-020.000-700	SCHILLER GREGORY A &,KIMBERLY F	7310	E	RAYMOND ST	INDIANAPOLIS	IN	46239
7042415	49-09-05-116-013.000-700	NORTON, MARLEEN W	9741		WOODSONG LN	INDIANAPOLIS	IN	46229
7042294	49-09-08-103-027.000-700	COLE, MARK C &,KYLE I COLE (H&W)	9652		PIPER LAKE DR	INDIANAPOLIS	IN	46239
7043959	49-09-08-108-022.000-700	AMH 2014-3 BORROWER LLC,%AMERICAN HOMES 4 RENT,ATTN:PROPERTY TAX DEPARTMENT	9659		GULL LAKE DR	INDIANAPOLIS	IN	46239
7042385	49-09-08-104-005.000-700	PETERSON, VICKIE	9552		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7014074	49-09-05-107-047.000-700	INDIANAPOLIS, CONSOLIDATED CITY OF,DEPARTMENT OF PARKS & RECREATION	115	S	BONAR AVE	INDIANAPOLIS	IN	46229
7031117	49-09-18-105-009.000-700	KUNER, LORETTA K	8010	E	RAYMOND ST	INDIANAPOLIS	IN	46239
7035520	49-09-07-105-007.000-700	NORTON, RJ III & AMBER R	8711		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7040916	49-09-18-114-004.000-700	LEWIS TESTING SERVICES INC	1727	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7001243	49-09-05-102-053.000-700	EVANS, JEFFREY D &,DARRELL V ALLEN	48	S	BRENTWOOD AVE	INDIANAPOLIS	IN	46229

7044193	49-09-08-100-029.000-700	CATLETT, LARRY D JR	9534		LORTON CIR	INDIANAPOLIS	IN	46239
7046325	49-09-18-103-011.000-700	ACH, KEVIN	8219		ST CLIFFORD CT	INDIANAPOLIS	IN	46239
7014073	49-09-05-107-039.000-700	SANTNER, ELLIOT &, JULIA	9450		BURK RD	INDIANAPOLIS	IN	46219
7030589	49-09-07-103-004.000-700	MTP 245 S FRANKLIN ROAD LLC,%SOMERA ROAD INC	245	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7046481	49-09-08-119-132.000-700	CARAG, MIKHAIL C	9820		LEGENDS CREEK DR	INDIANAPOLIS	IN	46229
7021126	49-09-08-109-010.000-700	WALKER, GEOFFREY T	813	S	POST RD	INDIANAPOLIS	IN	46239
7045220	49-09-05-106-008.000-700	MILLER, LARRY &, DEBORAH	9558		WOODSONG WAY	INDIANAPOLIS	IN	46229
7045135	49-09-08-119-087.000-700	LENEAR, JURLDINE	230		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7042285	49-09-08-103-019.000-700	GALAN, JUAN D &, DEBORAH M GALAN (H&W)	903		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7044200	49-09-08-100-042.000-700	ASHE, JEREMIAH LINCOLN	804		FREESTONE DR	INDIANAPOLIS	IN	46239
7042367	49-09-08-116-015.000-700	TREYBURN LAKES HOMEOWNERS ASSOC INC	0		COMMON PROPERTY		IN	
7045134	49-09-08-119-088.000-700	TAYLOR, KAI LEA	230		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7045191	49-09-05-106-037.000-700	CAM PROPERTY MANAGEMENT LLC	9539		WOODSONG WAY	INDIANAPOLIS	IN	46229
7041435	49-09-08-115-049.000-700	JOHNSON, TAMMI	616		TREYBURN LAKES WAY	INDIANAPOLIS	IN	46239
7004239	49-09-07-106-043.000-700	FROST, WALTER &, NORA JANE FROST	323	S	FENTON AVE	INDIANAPOLIS	IN	46219
7018918	49-09-07-102-068.000-700	GOODNIGHT, WILLIAM H	342	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7018697	49-09-18-106-008.000-700	THOMAS, PATTIE L &, ROBERT L THOMAS	1240	S	POST RD	INDIANAPOLIS	IN	46239
7006029	49-09-05-102-137.000-700	WILSON, ROBERT R	25		ROSEMERE AVE	INDIANAPOLIS	IN	46229
7020927	49-09-07-117-031.000-700	MCKENNA, AARON R	8940		RAWLES AVE	INDIANAPOLIS	IN	46219
7001267	49-09-05-102-027.000-700	CAUDILL, GREGORY S &, SHANNA L (H&W)	72	S	GALESTON AVE	INDIANAPOLIS	IN	46229
7042370	49-09-08-116-002.000-700	STRAUB, MARIA PAULA	9676		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7035321	49-09-08-122-005.000-700	HUGHES, MABEL B & SANDRA, LYNN MAHIN, TRUSTEES OF, HUGHES LIVING TRUST	9527		RAWLES AVE	INDIANAPOLIS	IN	46229
7040799	49-10-13-119-056.000-700	HAYES, BRETT A &, MI JUNG HAYES (H&W)	1910		WINDY HILL LN	INDIANAPOLIS	IN	46239
7028425	49-09-18-105-006.000-700	EAST, GLENN E & PENNY A	8106	E	RAYMOND ST	INDIANAPOLIS	IN	46239
7040164	49-10-13-118-007.000-700	DAY, ROBERT L	2129		WINDY HILL CT	INDIANAPOLIS	IN	46239
7026534	49-09-07-116-002.000-700	TONEY, FRANKLIN W JR	250	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7044472	49-09-08-119-064.000-700	GONZALEZ, ANGELA L	231		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7043499	49-09-08-119-016.000-700	MILLER, MELISSA RENEE	240		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7001270	49-09-05-102-031.000-700	ZAVALA, NEY G	48	S	GALESTON AVE	INDIANAPOLIS	IN	46229
7046353	49-09-18-103-032.000-700	GRIFFIN, DAVID &, SHELIA	8456		SOTHEBY DR	INDIANAPOLIS	IN	46239
7040228	49-10-13-117-020.000-700	CHAMBERS, JIMMY ROGER &, CAROL ODEAN CHAMBERS	2029		COLDWATER CT	INDIANAPOLIS	IN	46239
7014068	49-09-07-117-008.000-700	DE LA CRUZ, JOHN &, GENESIS MABEL CATANO SANCHEZ	465	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7013552	49-09-05-107-009.000-700	CHURCH OF THE LIVING WATER INC	133	S	POST RD	INDIANAPOLIS	IN	46219
7006182	49-09-06-112-003.000-700	COLLINS, TIMOTHY SCOTT	201	S	HARBISON AVE	INDIANAPOLIS	IN	46219
7040208	49-10-13-105-005.000-700	SAWTELL, KATHLEEN M	7914		WILLOW WIND CIR	INDIANAPOLIS	IN	46239
7040137	49-10-13-118-024.000-700	WILLIAMS, KAY A	7645		DANCY DR	INDIANAPOLIS	IN	46239
7045893	49-09-18-100-007.000-700	ADAMS, SYREETA D	8328		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7004764	49-09-07-106-040.000-700	RAYMOND, SHIRLEY A	454	S	FENTON AVE	INDIANAPOLIS	IN	46219
7032138	49-09-07-100-016.000-700	VANVELSE, REGINALD P &, NANCY A	8020		SYCAMORE SPRINGS TRL	INDIANAPOLIS	IN	46239
7042300	49-09-08-103-033.000-700	GAINES, ALVIN H &, JULIE A	9602		PIPER LAKE DR	INDIANAPOLIS	IN	46239
7035575	49-09-08-122-011.000-700	JOHNSON, VALERIE SUZANN &, DAVID M JOHNSON JR	9539		RAWLES AVE	INDIANAPOLIS	IN	46229
7018917	49-09-07-116-010.000-700	HUNT, MICHAEL E	200	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7041576	49-09-05-101-011.000-700	HOLLINS, EVELYN A	9642		WOODSONG WAY	INDIANAPOLIS	IN	46229
7000275	49-09-07-106-022.000-700	BECKHAM, TAMMY M &, JULIE A GERARD	230	S	FENTON AVE	INDIANAPOLIS	IN	46219
7042307	49-09-08-103-040.000-700	ARTALINA PROPERTIES LLC	9655		PIPER LAKE DR	INDIANAPOLIS	IN	46239
7014416	49-09-05-107-046.000-700	RAYO VIVAR INVESTMENTS CORP	125	S	BONAR AVE	INDIANAPOLIS	IN	46229
7044214	49-09-08-100-019.000-700	WEBSTER, DELIA	9529		TREYBURN GREEN WAY	INDIANAPOLIS	IN	46239
7020279	49-09-05-102-136.000-700	SALGADO PROPERTIES LLC	9355	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7019343	49-09-07-102-040.000-700	BERLING, BARBARA J	8899		IVANHOE ST	INDIANAPOLIS	IN	46219
7016318	49-09-06-109-009.000-700	ANDERSON, TODD EDWARD	204	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7045198	49-09-05-106-030.000-700	BROWN, JAMES R	9514		WOODSONG LN	INDIANAPOLIS	IN	46229
7014088	49-09-05-114-010.000-700	JONES, DANIEL	9215		HIBBEN AVE	INDIANAPOLIS	IN	46229
7027888	49-09-07-104-002.000-700	CORDI, CRAIG R &, SUSIE LYONS (H&W)	8244		RAWLES AVE	INDIANAPOLIS	IN	46219
7042288	49-09-08-103-001.000-700	COOKS, DAVID E &, BERTHA COOKS (H&W)	9728		PIPER LAKE DR	INDIANAPOLIS	IN	46239
7023033	49-09-08-105-005.000-700	ROBERTS, JAMES E &, DONNA M (H & W)	1013	S	BRENTWOOD AVE	INDIANAPOLIS	IN	46239
7039896	49-09-18-101-016.000-700	RAHI PETROLEUM INC	8020		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7045529	49-09-08-111-007.000-700	M & T LIVINGSTON, PROPERTIES LLC	420		RAWLES CT	INDIANAPOLIS	IN	46229
7017422	49-09-07-116-021.000-700	SAFEWRIGHT, DENIECE, ROGERS	255	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7040160	49-10-13-118-003.000-700	RABY, MARY LOU	7655		WINDY HILL WAY	INDIANAPOLIS	IN	46239
7043493	49-09-08-119-022.000-700	POLLARD, MELISSA R	240		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7001345	49-09-05-102-002.000-700	MONROE, MARK A &, LINDA L	9107		HIBBEN AVE	INDIANAPOLIS	IN	46229
7041581	49-09-05-101-006.000-700	ADKINS, JOSHUA F &, DANIELLE N	9704		WOODSONG WAY	INDIANAPOLIS	IN	46229
7001362	49-09-05-102-146.000-700	WILCOX, REBECCA L &, STEVEN R	112	S	WITTFIELD ST	INDIANAPOLIS	IN	46229
7046344	49-09-18-103-023.000-700	CARMONA, GABRIEL ARIZA &, ILIANA OSORIA	8372		SOTHEBY DR	INDIANAPOLIS	IN	46239
7030800	49-10-13-116-010.000-700	GRAY, MICHAEL S	7520	E	RAYMOND ST	INDIANAPOLIS	IN	46239
7044075	49-09-08-119-051.000-700	DIXON, TRACY LYNN	249		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7022178	49-09-18-106-006.000-700	HAZLETT, MICHAEL H	1336	S	POST RD	INDIANAPOLIS	IN	46239
7036382	49-09-05-102-133.000-700	TRIANGLE PLUS 1 LLC	9251	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7041110	49-10-13-102-035.000-700	DELLACCA, RONALD J &, ANDREA HITTLE (ITRS)	7930		LOFTON CT	INDIANAPOLIS	IN	46239
7041081	49-10-13-102-003.000-700	STIFFLER, ELMER R &, DEBORAH J STIFFLER (H&W)	7830		WAYFOREST CT	INDIANAPOLIS	IN	46239
7017431	49-09-05-107-016.000-700	CONCRETE CONTRACTORS INC	9310		BURK RD	INDIANAPOLIS	IN	46219
7046475	49-09-08-119-126.000-700	AGNEW, SHURON A	9812		LEGENDS CREEK DR	INDIANAPOLIS	IN	46229
7035788	49-10-13-116-005.000-700	WILLIAMS, GLENDA A	7602	E	RAYMOND ST	INDIANAPOLIS	IN	46239
7016302	49-09-07-116-025.000-700	ROBERTS, DEBORAH &, JAMES E SCHWIMMER JR	240	S	POST RD	INDIANAPOLIS	IN	46219
7016313	49-09-07-102-030.000-700	BRANDENBURG, CHRISTINA LYNN	323	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7015739	49-09-07-117-042.000-700	KRIEBS, ROBERT J JR	8901		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7041393	49-09-08-115-081.000-700	BEECHLER, DAVID M AND, TAMARA A (H&W)	827		TREYBURN LAKES WAY	INDIANAPOLIS	IN	46239
7045013	49-09-18-102-045.000-700	GANT, BRITTNEY	8011		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7035865	49-10-12-109-004.000-700	STONEHENGE APARTMENTS, OF INDIANAPOLIS, LTD, %ELON PROPERTY MANAGEMENT	7980		DUNSTON DR	INDIANAPOLIS	IN	46239
7037105	49-09-05-107-011.000-700	INDPLS, CITY OF, DEPARTMENT OF PARKS & RECREATION	103	S	POST RD	INDIANAPOLIS	IN	46219
7027890	49-09-07-104-003.000-700	JACKSON, MARVIN K &, JUDITH ANNE (H&W)	8305		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7026604	49-09-07-109-012.000-700	REX RESIDENTIAL PROPERTY OWNER A LLC	815	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7044167	49-09-08-100-012.000-700	TREYBURN LAKES HOMEOWNERS ASSOC INC	0		COMMON PROPERTY		IN	
7035781	49-09-08-122-010.000-700	RIGGIN, DONALD O &, PAMELA	9351		RAWLES AVE	INDIANAPOLIS	IN	46229

7032240	49-09-07-113-003.000-700	CITIZENS BY-PRODUCTS,COAL CO	8833			RAWLES AVE	INDIANAPOLIS	IN	46219
7030428	49-09-07-106-004.000-700	COMPTON, RAYMOND K	441	S		GIBSON AVE	INDIANAPOLIS	IN	46219
7041430	49-09-08-115-055.000-700	NGUYEN, ANH HOA PHAM	646			TREYBURN LAKES WAY	INDIANAPOLIS	IN	46239
7045360	49-09-07-111-003.000-700	INDPLS, CITY OF,DEPARTMENT OF PUBLIC WORKS	8601			RAWLES AVE	INDIANAPOLIS	IN	46239
7040180	49-10-13-105-042.000-700	HIGGINS, JOYCE A	7947			BENT WILLOW DR	INDIANAPOLIS	IN	46239
7034267	49-09-17-103-008.000-700	INDPLS, CITY OF,DEPARTMENT OF PARKS AND RECREATION	9200			PROSPECT ST	INDIANAPOLIS	IN	46239
7018919	49-09-07-102-050.000-700	HALE, STEPHEN &,RYAN HALE	329	S		BOEHNING ST	INDIANAPOLIS	IN	46219
7039815	49-10-13-100-042.000-700	DAVIDS, STEVEN R	1719			BLUE WILLOW CIR	INDIANAPOLIS	IN	46239
7001350	49-09-05-102-039.000-700	ARMITAGE, BEN V &,ROXANNA L ARMITAGE	9015			HIBBEN AVE	INDIANAPOLIS	IN	46229
7045871	49-09-18-100-029.000-700	SINGH, BALJINDER &,SWARANJIT KAUR	8332			EXTON RD	INDIANAPOLIS	IN	46239
7013844	49-09-05-107-012.000-700	CHURCH, DAVID L	9330			BURK RD	INDIANAPOLIS	IN	46219
7023025	49-09-08-105-015.000-700	HABERKON, MICHAEL J	1004	S		BRENTWOOD AVE	INDIANAPOLIS	IN	46239
7041375	49-09-08-115-014.000-700	BEST, AUSTIN &,HEESOO	609			TREYBURN LAKES WAY	INDIANAPOLIS	IN	46239
7044970	49-09-18-102-002.000-700	MAYFAIR VILLAGE LLC	0			COMMON PROPERTY		IN	
7045878	49-09-18-100-022.000-700	TERRY, ANGELIA	8307			CHESTERHILL LN	INDIANAPOLIS	IN	46239
7040189	49-10-13-105-036.000-700	CARTWRIGHT, JOHN T JR &,CHRISTINE H&W	2114			WILLOW WIND CT	INDIANAPOLIS	IN	46239
7034434	49-09-18-101-009.000-700	TARBERT PROPERTIES LLC	8800			BROOKVILLE RD	INDIANAPOLIS	IN	46239
7036694	49-09-18-111-001.000-700	HOCKETT, DAVID MICHAEL	8800	E		RAYMOND ST	INDIANAPOLIS	IN	46239
7039845	49-10-13-100-021.000-700	GOREE, KENNETH N &,ERICA R	7921			CROSS WILLOW BLVD	INDIANAPOLIS	IN	46239
7046349	49-09-18-103-028.000-700	BARNETT, MARY LYN	8432			SOTHEBY DR	INDIANAPOLIS	IN	46239
7016307	49-09-07-117-011.000-700	GLUMAC, MILAN &,ZDRAVKA GLUMAC (H&W)	432	S		ROUTIERS AVE	INDIANAPOLIS	IN	46219
7045890	49-09-18-100-010.000-700	ROBINSON, MELODY R	8346			CHESTERHILL LN	INDIANAPOLIS	IN	46239
7042387	49-09-08-104-007.000-700	BROWN, ANTHONY SR &,ALICIA (H&W)	9532			TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7001276	49-09-05-102-118.000-700	ARTHUR, HEATHER L	8	S		GALESTON AVE	INDIANAPOLIS	IN	46229
7040247	49-10-13-117-011.000-700	BAKER, ZANE C &,LAURA B	7833			BENT WILLOW DR	INDIANAPOLIS	IN	46239
7025770	49-09-17-105-003.000-700	KISKADEN, PHILLIP GREGORY	9139			PROSPECT ST	INDIANAPOLIS	IN	46239
7043502	49-09-08-119-013.000-700	HERNANDEZ, LUCINDA	240			LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7001330	49-09-05-102-058.000-700	CONREX RESIDENTIAL PROPERTY GROUP 2013-6,OPERATING COMPANY LLC	9197			HIBBEN AVE	INDIANAPOLIS	IN	46229
7040244	49-10-13-117-008.000-700	CASSIDY, MICHAEL A &,KRISTINE A CASSIDY H & W	7849			BENT WILLOW DR	INDIANAPOLIS	IN	46239
7046466	49-09-08-119-120.000-700	MCGRUDER, NORRICE A	9804			LEGENDS CREEK DR	INDIANAPOLIS	IN	46229
7023018	49-09-08-105-026.000-700	CHANEY, DEBORAH L	812	S		BRENTWOOD AVE	INDIANAPOLIS	IN	46239
7000115	49-09-06-105-011.000-700	SHIV REAL ESTATE 14 LLC	8201	E		WASHINGTON ST	INDIANAPOLIS	IN	46219
7016321	49-09-06-109-024.000-700	PINNICK, LARRY & DIXIE	165	S		BOEHNING ST	INDIANAPOLIS	IN	46219
7044993	49-09-18-102-025.000-700	ROBINSON, JOHNELLE	8111			CHESTERHILL WAY	INDIANAPOLIS	IN	46239
7006291	49-09-07-109-008.000-700	JONES, SHARLA M	8151			SYCAMORE SPRINGS TRL	INDIANAPOLIS	IN	46239
7043963	49-09-08-108-021.000-700	TREYBURN LAKES HOMEOWNERS ASSOC INC	0			COMMON PROPERTY		IN	
7041392	49-09-08-115-033.000-700	PHILLIPS, TASHIA K	821			TREYBURN LAKES WAY	INDIANAPOLIS	IN	46239
7043949	49-09-08-108-004.000-700	DELIA WEBSTER ESTATE,% ESTATE GOLD LLC	9541			GULL LAKE DR	INDIANAPOLIS	IN	46239
7041101	49-10-13-102-022.000-700	COLLINS, ROY JR &,LAIN R COLLINS	7835			LOFTON CT	INDIANAPOLIS	IN	46239
7040809	49-10-13-119-009.000-700	PROGRESS RESIDENTIAL BORROWER 7 LLC	7643			HIDDEN VALLEY LN	INDIANAPOLIS	IN	46239
7046997	49-09-18-110-003.000-700	FALL, MARTIN KENRIC TRUSTEE OR SUCCESSOR,UNDER MARTIN KENRIC FALL LIVING TRUST 4/16/03,%MARTIN & MICHELLE FALL	1215	S		FRANKLIN RD	INDIANAPOLIS	IN	46239
7014413	49-09-07-117-029.000-700	WATSON, DELMAR C SR &,HELEN ROSE	8855			BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7046361	49-09-18-103-040.000-700	GONZALES, JANET B	8527			SOTHEBY DR	INDIANAPOLIS	IN	46239
7043509	49-09-08-119-006.000-700	FULFORD, JEREMY DALTON	248			LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7041618	49-10-13-103-052.000-700	BURMEISTER, CASSANDRA	1805			WINDY HILL LN	INDIANAPOLIS	IN	46239
7042270	49-09-08-103-004.000-700	TREYBURN LAKES HOMEOWNERS ASSOC INC	0			COMMON PROPERTY		IN	
7041680	49-10-13-103-076.000-700	NARVA, JEFFREY P	1744			WINDY HILL LN	INDIANAPOLIS	IN	46239
7041086	49-10-13-102-013.000-700	WHITE, ALEXANDER A JR &,BREANNA WHORTON	7901			PALMARO CIR	INDIANAPOLIS	IN	46239
7045017	49-09-18-102-049.000-700	RUIZ, CLAUDIA I	8035			CHESTERHILL LN	INDIANAPOLIS	IN	46239
7041688	49-10-13-103-086.000-700	PARKS, JOHN R	1850			WINDY HILL LN	INDIANAPOLIS	IN	46239
7019337	49-09-07-102-007.000-700	THOMAS, DALE J &,LAURA J THOMAS	369	S		ROUTIERS AVE	INDIANAPOLIS	IN	46219
7001331	49-09-05-102-057.000-700	WAGGONER, JACQUELYN E	9193			HIBBEN AVE	INDIANAPOLIS	IN	46229
7045891	49-09-18-100-009.000-700	GRANGER, CHRISTINE	8340			CHESTERHILL LN	INDIANAPOLIS	IN	46239
7018701	49-09-07-106-006.000-700	8625 BEECHWOOD LLC	8625			BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7007153	49-09-05-102-163.000-700	HOBSON, DAWN M &,AMY L MCQUADE	131	S		WITTFIELD ST	INDIANAPOLIS	IN	46229
7014297	49-09-07-102-060.000-700	BURBRINK, JACOB M &,HILARI A	310	S		POST RD	INDIANAPOLIS	IN	46219
7023039	49-09-08-105-008.000-700	ROBEY, KALEB &,ELIZABETH WATERMAN	837	S		BRENTWOOD AVE	INDIANAPOLIS	IN	46239
7017421	49-09-07-102-048.000-700	ROSS, DEBRA JO	356	S		POST RD	INDIANAPOLIS	IN	46219
7001008	49-09-06-105-002.000-700	C & J PROPERTIES LLC,% CENTRE PROPERTIES	45	S		FRANKLIN RD	INDIANAPOLIS	IN	46219
7044484	49-09-08-119-106.000-700	CAMPOS, ARMANDO	239			LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7041671	49-10-13-103-033.000-700	SUNJIC, LJUBAN &,ANA SUNJIC (H&W)	7528			BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7041642	49-10-13-103-083.000-700	FKH SFR C1 LP,% FIRST KEY HOMES LLC	7551			BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7006596	49-09-07-107-010.000-700	HAM, BRANDON LEE	427	S		FRANKLIN RD	INDIANAPOLIS	IN	46219
7014293	49-09-07-117-007.000-700	SAMPSON, STACY &,JEFFREY SAMPSON	8840			RAWLES AVE	INDIANAPOLIS	IN	46219
7040260	49-10-13-117-037.000-700	WILLIAMS, MICHAEL L	7812			BENT WILLOW DR	INDIANAPOLIS	IN	46239
7032141	49-09-07-100-005.000-700	ARMSTRONG, MICHAEL A &,NGA T	8056			SYCAMORE SPRINGS TRL	INDIANAPOLIS	IN	46239
7014843	49-09-07-117-040.000-700	GRIPPALDI, SHAD M	416	S		POST RD	INDIANAPOLIS	IN	46219
7005382	49-09-07-106-084.000-700	BAILEY, ROSS E	239	S		GIBSON AVE	INDIANAPOLIS	IN	46219
7037055	49-09-05-102-160.000-700	FIFTH THIRD BANK	9365	E		WASHINGTON ST	INDIANAPOLIS	IN	46229
7044485	49-09-08-119-059.000-700	FAULKNER, DEBORAH L	239			LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7039844	49-10-13-100-020.000-700	LOTT, DAMON	7915			CROSS WILLOW BLVD	INDIANAPOLIS	IN	46239
7042792	49-09-08-110-006.000-700	GOODLE BOY LLC	351	S		POST RD	INDIANAPOLIS	IN	46219
7001281	49-09-05-102-111.000-700	MEYER, GREGORY ALEN &,KIMBERLY KAY	9125	E		WASHINGTON ST	INDIANAPOLIS	IN	46229
7023247	49-09-07-118-017.000-700	THOMPSON, JAMES H &,VIVIAN C THOMPSON (H&W)	8211			BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7040861	49-10-13-119-062.000-700	HANEY, ROBERT L AND,KARRI J (H&W)	7534			SCATTER WOODS LN	INDIANAPOLIS	IN	46239
7041638	49-10-13-103-077.000-700	FOX, KIMBERLY A	7616			WOOD STREAM DR	INDIANAPOLIS	IN	46239
7040846	49-10-13-119-076.000-700	MILLIKEN, MARY B	1914			CROSS WILLOW LN	INDIANAPOLIS	IN	46239
7016300	49-09-07-102-055.000-700	MAXWELL, STEVEN K	311	S		BOEHNING ST	INDIANAPOLIS	IN	46219
7042394	49-09-08-104-010.000-700	MARTINEZ, MARCO A &,NELLY E	9533			TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7039802	49-10-13-100-029.000-700	MONCRIEF, KENNETH E &,SUSAN O	7922			CROSS WILLOW BLVD	INDIANAPOLIS	IN	46239
7013562	49-09-05-102-025.000-700	WILLSON, NANCY	81	S		GALESTON AVE	INDIANAPOLIS	IN	46229
7044972	49-09-18-102-004.000-700	MAYFAIR VILLAGE, LLC	0			COMMON PROPERTY		IN	
7016314	49-09-07-102-008.000-700	GRIFFIN, WILLIAM T	365	S		ROUTIERS AVE	INDIANAPOLIS	IN	46219

7041403	49-09-08-115-071.000-700	WILLIAMS, KIMBERLY KAY	650		SWEET CREEK DR	INDIANAPOLIS	IN	46239
7036519	49-09-08-122-012.000-700	CARDER, ROBERT E & EMMA M	9515		RAWLES AVE	INDIANAPOLIS	IN	46229
7045850	49-09-18-100-050.000-700	JONES, JASON	8345		EXTON RD	INDIANAPOLIS	IN	46239
7040190	49-10-13-105-035.000-700	RENT, JACOBI D	2110		WILLOW WIND CT	INDIANAPOLIS	IN	46239
7041095	49-10-13-102-025.000-700	NORTON, BRIAN & LACHELLE	7922		PALMARO CIR	INDIANAPOLIS	IN	46239
7014528	49-09-07-117-037.000-700	BEVINGTON, ROBERT L III	450	S	POST RD	INDIANAPOLIS	IN	46219
7044989	49-09-18-102-021.000-700	WALTHERS, CHRISTOPHER K & KIMBERLY K	8132		CHESTERHILL WAY	INDIANAPOLIS	IN	46239
7023035	49-09-08-105-004.000-700	BROOKS, ROBERT A & MARGARET A (H&W)	933	S	BRENTWOOD AVE	INDIANAPOLIS	IN	46239
7039833	49-10-13-100-007.000-700	GARRETT, TINA L	7815		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7040144	49-10-13-118-030.000-700	HARSTON, REBECCA J	7620		WINDY HILL WAY	INDIANAPOLIS	IN	46239
7042304	49-09-08-103-037.000-700	FARROW, CLARA B	9631		PIPER LAKE DR	INDIANAPOLIS	IN	46239
7046368	49-09-18-103-047.000-700	WARFIELD, TERENCE J & TARA R P	2013		SOTHEBY LN	INDIANAPOLIS	IN	46239
7014417	49-09-05-107-049.000-700	A&L PROPERTY MANAGEMENT LLC	135	S	BONAR AVE	INDIANAPOLIS	IN	46229
7046362	49-09-18-103-041.000-700	DINARTE, GERARD	8521		SOTHEBY DR	INDIANAPOLIS	IN	46239
7014847	49-09-06-109-006.000-700	SPD HOLDINGS LLC	136	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7042281	49-09-08-103-007.000-700	HOME SFR BORROWER LLC,% HAVENBROOK HOMES	1001		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7032153	49-09-07-100-013.000-700	WYSONG, CHAD & MEGAN BERESKY	8051		SYCAMORE SPRINGS TRL	INDIANAPOLIS	IN	46239
7033530	49-09-07-113-004.000-700	INDIANA BELL TELEPHONE CO INC,PROPERTY TAX DEPARTMENT,SBC COMMUNICATIONS INC	8900		RAWLES AVE	INDIANAPOLIS	IN	46219
7042411	49-09-05-116-016.000-700	SCHOOLEY, J BRADLEY & ELIZABETH SCHOOLEY (H&W)	9742		WOODSONG LN	INDIANAPOLIS	IN	46229
7041092	49-10-13-102-019.000-700	MORGAN, VERONIKA	7936		PALMARO CIR	INDIANAPOLIS	IN	46239
7004215	49-09-08-120-006.000-700	SODI TRANSPORT INC	350	S	MITTHOEFER RD	INDIANAPOLIS	IN	46229
7008061	49-10-13-116-002.000-700	MURILLO REAL ESTATE CORPORATION	7226	E	RAYMOND ST	INDIANAPOLIS	IN	46239
7030587	49-09-05-107-032.000-700	SEGOVIA, MARIA	250	S	MITTHOEFER RD	INDIANAPOLIS	IN	46229
7001338	49-09-05-102-010.000-700	MAUPIN, DELBERT R & KATHRYN LUCILLE	9149		HIBBEN AVE	INDIANAPOLIS	IN	46229
7016943	49-09-05-107-024.000-700	EDWARDS, JAMES C	120	S	BONAR AVE	INDIANAPOLIS	IN	46229
7035880	49-09-08-113-004.000-700	LUNDY, CHARLOTTE W	1003	S	BRENTWOOD AVE	INDIANAPOLIS	IN	46239
7044995	49-09-18-102-027.000-700	CUMBERLANDER, SONJA	8061		CHESTERHILL WAY	INDIANAPOLIS	IN	46239
7041421	49-09-08-115-043.000-700	SFR JV 1 2020 1 BORROWER LLC,%TRICOM AMERICAN HOMES LLC	703		SWEET CREEK DR	INDIANAPOLIS	IN	46239
7041111	49-10-13-102-036.000-700	WILLIAMS, DINO & DORREL D (H&W)	7924		LOFTON CT	INDIANAPOLIS	IN	46239
7040894	49-10-13-115-002.000-700	APPLEGATE, EMMA	7732		BRIGHT LEAF CIR	INDIANAPOLIS	IN	46239
7045185	49-09-05-106-043.000-700	CARRETHERS, LADONNA S	9629		WOODSONG WAY	INDIANAPOLIS	IN	46229
7043956	49-09-08-108-015.000-700	TURK, KIMBERLY	9641		GULL LAKE DR	INDIANAPOLIS	IN	46239
7044976	49-09-18-102-008.000-700	LINCOLN, JOHN E & LAURIE J	8022		CHESTERHILL WAY	INDIANAPOLIS	IN	46239
7000555	49-10-12-107-012.000-700	M & K WAREHOUSE SERVICES LLC	450	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7032149	49-09-07-100-008.000-700	POYNTER, MICHAEL L JR	8131		SYCAMORE SPRINGS TRL	INDIANAPOLIS	IN	46239
7034277	49-09-18-101-006.000-700	M & D BROOKVILLE LLC	8502		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7025766	49-09-17-105-010.000-700	DEERBERG, DAVID WAYNE & ERWIN EDWARD DEERBERG LIFE ESTATE	9045		PROSPECT ST	INDIANAPOLIS	IN	46239
7045139	49-09-08-119-083.000-700	TIMM, JOHN & HEATHER	238		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7000556	49-09-07-108-002.000-700	GODSEY, DENNIS JAMES & LYNN MACHELLE GODSEY	8101		RAWLES AVE	INDIANAPOLIS	IN	46239
7040168	49-10-13-118-013.000-700	JONES, BETH A	7623		WINDY HILL WAY	INDIANAPOLIS	IN	46239
7019342	49-09-07-102-006.000-700	HIZER, BRUCE J SR	8810		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7040121	49-10-13-118-050.000-700	PEDEN, PHYLLIS	2020		CROSS WILLOW LN	INDIANAPOLIS	IN	46239
7001303	49-09-05-102-147.000-700	HANZEL, ROBERT G	9171	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7040822	49-10-13-119-027.000-700	STANLEY, CHRISTOPHER M & MAHSA SERVATI	7612		HIDDEN VALLEY LN	INDIANAPOLIS	IN	46239
7040152	49-10-13-118-059.000-700	MITCHELL, JAY S	7708		WINDY HILL WAY	INDIANAPOLIS	IN	46239
7040851	49-10-13-119-072.000-700	KNAUSS, JOHN K & CHERYL A	7644		SCATTER WOODS LN	INDIANAPOLIS	IN	46239
7041361	49-09-08-115-054.000-700	TREYBURN LAKES HOMEOWNERS ASSOC INC	0		COMMON PROPERTY		IN	
7029572	49-09-07-103-003.000-700	JETT, PAUL S	8108		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7045024	49-09-18-102-056.000-700	DAVIS, JAMES	8135		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7030769	49-10-13-111-025.000-700	CIN INDPLS & WESTN RY CO,% B & O RR CO BOX 307,AD VALOREM TAX DEPT	0		RAILROAD ROW		IN	
7040153	49-10-13-118-057.000-700	THOMPSON, NICHOLAS G & JENNIFER N	7718		WINDY HILL WAY	INDIANAPOLIS	IN	46239
7020920	49-09-07-117-027.000-700	CHAFTON, MARY JO	444	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7046470	49-09-08-119-116.000-700	LONCAREVIC, DANIEL	9804		LEGENDS CREEK DR	INDIANAPOLIS	IN	46229
7043510	49-09-08-119-005.000-700	BENZ, HANNA M	248		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7007988	49-09-07-106-023.000-700	LANDES, WILLIAM J & NANNETTE L (H&W)	220	S	FENTON AVE	INDIANAPOLIS	IN	46219
7046486	49-09-08-119-137.000-700	BLACK, KIERRA	9820		LEGENDS CREEK DR	INDIANAPOLIS	IN	46229
7040173	49-10-13-118-018.000-700	STUCK, BONNIE	2116		COLDWATER CIR	INDIANAPOLIS	IN	46239
7043498	49-09-08-119-017.000-700	EVANS, JASMYNE & ANGELA EVERETT	240		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7001293	49-09-05-102-020.000-700	AMMONS, DENNIS L & BEVERLY J (H&W)	56		ROSEMERE AVE	INDIANAPOLIS	IN	46229
7029049	49-09-07-107-001.000-700	QUICK CLOSERS LLC	8111		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7014295	49-09-07-116-028.000-700	BEASLEY, THOMAS G	195	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7004334	49-09-17-116-003.000-700	RIOS, JESSICA LYNNE	1730		WISHMEYER LN	INDIANAPOLIS	IN	46239
7040906	49-10-13-104-005.000-700	HOWELL, KERRY LANE	1955		CROSS WILLOW LN	INDIANAPOLIS	IN	46239
7035591	49-09-05-107-069.000-700	BURGER KING COMPANY LLC	9971	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7044493	49-09-08-119-101.000-700	ELLOTT, STEPHEN & LINDA	247		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7046337	49-09-18-103-018.000-700	WASHINGTON, JASMINE	8330		SOTHEBY DR	INDIANAPOLIS	IN	46239
7003160	49-09-07-106-061.000-700	CARTER, JAMES H	430	S	GIBSON AVE	INDIANAPOLIS	IN	46219
7006511	49-09-07-118-018.000-700	BURGESS, HAZEL	8204		RAWLES AVE	INDIANAPOLIS	IN	46219
7014294	49-09-07-116-032.000-700	LISBY, STEVEN E JR	200	S	POST RD	INDIANAPOLIS	IN	46219
7041574	49-09-05-101-023.000-700	BENNETT, WILLIAM E TRUSTEE,UNDER DECLARATION OF TRUST KNOWN AS,WILLIAM E BENNETT LIVING TRUST 6/30/2021	9635		WOODSONG WAY	INDIANAPOLIS	IN	46229
7003158	49-09-07-106-059.000-700	DURHAM, CLIFTON J, JR & SANDRA J	8535		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7039805	49-10-13-100-032.000-700	CSMA BLT LLC,%FIRSTKEY HOMES LLC	7904		CROSS WILLOW BLVD	INDIANAPOLIS	IN	46239
7045192	49-09-05-106-036.000-700	MEACHAM, DONALD P	9533		WOODSONG WAY	INDIANAPOLIS	IN	46229
7046721	49-09-08-111-006.000-700	WATSON PROPERTIES LLC	455		RAWLES CT	INDIANAPOLIS	IN	46229
7017371	49-09-07-102-004.000-700	GRAVES, WESLEY M & NANCY,C GRAVES REVOCABLE LIVING,TRUST	8721		IVANHOE ST	INDIANAPOLIS	IN	46219
7020549	49-09-07-117-013.000-700	GILBERT, HARRY & SHIRLEY D H&W	458	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7046485	49-09-08-119-136.000-700	BIEHL, ROGER	9820		LEGENDS CREEK DR	INDIANAPOLIS	IN	46229
7007906	49-09-07-106-018.000-700	BAILEY, ROSS E	239	S	GIBSON AVE	INDIANAPOLIS	IN	46219
7046482	49-09-08-119-133.000-700	NICHOLAS, MATTHEW A	9820		LEGENDS CREEK DR	INDIANAPOLIS	IN	46229

7030628	49-09-17-103-006.000-700	REEVES, SHERMAN L &,CHARLENE	9321		PROSPECT ST	INDIANAPOLIS	IN	46239
7040269	49-10-13-117-046.000-700	CASTILLO, MARIA	7721		BRIGHT LEAF CIR	INDIANAPOLIS	IN	46239
7045227	49-09-05-106-001.000-700	QUTBUDDIN, SHABBIR	9636		WOODSONG WAY	INDIANAPOLIS	IN	46229
7045877	49-09-18-100-023.000-700	KNIGHT, LEA	8301		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7001348	49-09-05-102-046.000-700	MILLENNIUM TRUST COMPANY LLC CUSTODIAN FBO,CHARLES H THOMPSON JR TRADITIONAL IRA	9021		HIBBEN AVE	INDIANAPOLIS	IN	46229
7044174	49-09-08-100-004.000-700	HALL, SHELLY	9548		TREYBURN GREEN WAY	INDIANAPOLIS	IN	46239
7036493	49-09-06-105-009.000-700	FCPT RESTAURANT PROPERTIES LLC	8155	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7045851	49-09-18-100-049.000-700	DIETZ, GREGORY &,ISABELLE JOLICOEUR	8351		EXTON RD	INDIANAPOLIS	IN	46239
7005859	49-09-07-106-092.000-700	CALLAHAN, CRAIG S &,MICHELE D CALLAHAN (H&W)	234	S	GIBSON AVE	INDIANAPOLIS	IN	46219
7000593	49-09-07-108-007.000-700	WEST, MICHAEL R &,DEBORAH L	8015		RAWLES AVE	INDIANAPOLIS	IN	46239
7039798	49-10-13-100-049.000-700	WILLOW LAKES AND WILLOW,OAKS HOMEOWNERS,ASSOCIATION, INC	0		COMMON PROPERTY		IN	
7005600	49-09-07-115-001.000-700	EAT-1612 LLC UNDIV 59.1579% INT &,CPA FRANKLIN INDUSTRIAL DST 40.8421%,%CORE REALTY HOLDINGS MANAGEMENT INC	221	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7044211	49-09-08-100-044.000-700	QUANG, THO N &,THANH T NGUYEN	934		FREESTONE DR	INDIANAPOLIS	IN	46239
7043936	49-09-08-108-027.000-700	RICHARDSON, KEVIN &,VESTONIA DAVIS	9704		GULL LAKE DR	INDIANAPOLIS	IN	46239
7044057	49-09-08-119-033.000-700	MCDONALD, E JEAN &,VIKKI L WIDGREN,UNIT #101	233		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7041690	49-10-13-103-012.000-700	SCHOENING, JON P &,RENAE D	1862		WINDY HILL LN	INDIANAPOLIS	IN	46239
7045006	49-09-05-102-196.000-700	ROLLINS, OTHA L SR &,RAYNATH ROLLINS &,AARON M ROLLINS	8140		CHESTERHILL WAY	INDIANAPOLIS	IN	46239
7003161	49-09-07-106-060.000-700	GONZALEZ, RENE	429	S	FENTON AVE	INDIANAPOLIS	IN	46219
7040143	49-10-13-118-029.000-700	REININGA, KENDRA	7612		WINDY HILL WAY	INDIANAPOLIS	IN	46239
7041563	49-09-05-101-013.000-700	ZINGRAF, KEITH R	9739		WOODSONG WAY	INDIANAPOLIS	IN	46229
7039809	49-10-13-100-036.000-700	SHARP, JEFFREY	7830		CROSS WILLOW BLVD	INDIANAPOLIS	IN	46239
7040198	49-10-13-105-023.000-700	J & J INVESTMENTS I LLC	7835		SOFTWOOD CT	INDIANAPOLIS	IN	46239
7040272	49-10-13-118-038.000-700	WILLOW LAKES & WILLOW,OAKS HOMEOWNERS,ASSOCIATION, INC	0		COMMON PROPERTY		IN	
7043810	49-09-08-111-001.000-700	TYZAC REALTY PARTNERS LLC,C/O DAVID DAY	460		RAWLES CT	INDIANAPOLIS	IN	46229
7022149	49-09-07-117-021.000-700	SCHUMAKER, CODY	404	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7040209	49-10-13-105-004.000-700	STEINER, AMY	7920		WILLOW WIND CIR	INDIANAPOLIS	IN	46239
7042361	49-09-08-102-027.000-700	HAYES, WILLIAM L III &,CHARNITA M HAYES (H&W)	811		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7025769	49-09-17-105-004.000-700	WESSELING, DONALD J &,VALERIE R	9123		PROSPECT ST	INDIANAPOLIS	IN	46239
7006045	49-09-07-107-014.000-700	LOHRMAN, GENE V	435	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7006192	49-09-07-118-007.000-700	ADCOCK, MARION K	8416		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7041079	49-10-13-102-009.000-700	TERHEIDE, PAUL	7823		WOOD STREAM DR	INDIANAPOLIS	IN	46239
7045885	49-09-18-100-015.000-700	BARCZYK, BENJAMIN	8349		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7044058	49-09-08-119-034.000-700	ASHER, JENNIFER M	233		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7040195	49-10-13-105-021.000-700	BANEGAS, GELIN O	2036		WINDY HILL DR	INDIANAPOLIS	IN	46239
7040146	49-10-13-118-032.000-700	WILLIAMS, LOSSIE J III &,TALECIA L WILLIAMS	7632		WINDY HILL WAY	INDIANAPOLIS	IN	46239
7040138	49-10-13-118-025.000-700	PROGRESS RESIDENTIAL BORROWER 12 LLC	7639		DANCY DR	INDIANAPOLIS	IN	46239
7029550	49-09-17-106-003.000-700	ROSEMEYER, VIRGINIA L	9429		PROSPECT ST	INDIANAPOLIS	IN	46239
7046400	49-09-08-125-013.000-700	JETT, JAMES G &,AUNYA L	9405		TREYBURN LAKES DR	INDIANAPOLIS	IN	46229
7014112	49-10-12-109-003.000-700	CHRISTIAN TABERNACLE,APOSTOLIC FAITH INC	802	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7040188	49-10-13-105-037.000-700	GERVELIS, CARLA A	2118		WILLOW WIND CT	INDIANAPOLIS	IN	46239
7001304	49-09-05-102-161.000-700	QUINTON RESIDENTIAL LIVING INC	9179	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7032933	49-09-18-101-011.000-700	TARBERT PROPERTIES LLC	8800		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7042332	49-09-08-102-032.000-700	TREYBURN LAKES HOMEOWNERS ASSOC INC	0		COMMON PROPERTY		IN	
7040828	49-10-13-119-015.000-700	WILLIAMS, TREVOR JA'MAAL	1951		WINDY HILL LN	INDIANAPOLIS	IN	46239
7006527	49-09-18-106-009.000-700	DOGWOOD DEVELOPMENT LLC &,MARTIN KENRIC FALL TRUSTEE MARTIN KENRIC FALL LIVING TRUST 4/16/03	1538	S	POST RD	INDIANAPOLIS	IN	46239
7040849	49-10-13-119-074.000-700	WOOTEN, DANITA JO	7656		SCATTER WOODS LN	INDIANAPOLIS	IN	46239
7041396	49-09-08-115-077.000-700	SQUIRE, DEBRA L AND,JOHN W SQUIRE (W&H)	740		SWEET CREEK DR	INDIANAPOLIS	IN	46239
7031356	49-09-05-107-050.000-700	PRD PROPERTIES LTD,ATTN RANGA GORREPATI	0		COMMON PROPERTY		IN	
7003156	49-09-07-106-067.000-700	JOLLIFFE, PATTI L	337	S	FENTON AVE	INDIANAPOLIS	IN	46219
7046356	49-09-18-103-035.000-700	LEDFORD, BRANDON	8516		SOTHEBY DR	INDIANAPOLIS	IN	46239
7040243	49-10-13-117-007.000-700	FRANKLIN, ROBERT C JR	2120		DANCY CT	INDIANAPOLIS	IN	46239
7035548	49-10-12-109-002.000-700	CHRISTIAN TABERNACLE, INC	802	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7046335	49-09-18-103-001.005-700	TAYLOR, DEBORAH J	8318		SOTHEBY DR	INDIANAPOLIS	IN	46239
7006082	49-09-17-102-005.000-700	PALADEN PROPERTIES III LLC	1519	S	POST RD	INDIANAPOLIS	IN	46239
700898	49-09-07-108-009.000-700	WRIGHT, PAUL W II &,PAULA K (H&W)	513	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7041635	49-10-13-103-066.000-700	DOMINGUEZ, PAUL J &,JULIA A DOMINGUEZ (H&W)	7634		WOOD STREAM DR	INDIANAPOLIS	IN	46239
7035517	49-09-07-105-005.000-700	CRAFT, CHRISTOPHER R &,MEAGAN E	8635		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7040203	49-10-13-105-026.000-700	HOLMES, MICHAEL J &,JOCELYN M	7840		SOFTWOOD CT	INDIANAPOLIS	IN	46239
7000314	49-10-13-101-016.000-700	GATTO, DANIEL J	1216	S	HUBER ST	INDIANAPOLIS	IN	46239
7041645	49-10-13-103-080.000-700	PROGRESS RESIDENTIAL BORROWER 3 LLC	7615		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7044199	49-09-08-100-040.000-700	SAFARI ONE ASSET COMPANY LLC	740		FREESTONE DR	INDIANAPOLIS	IN	46239
7040206	49-10-13-105-020.000-700	MCDANIEL, DENISE	7902		WILLOW WIND CIR	INDIANAPOLIS	IN	46239
7023042	49-09-08-105-012.000-700	PATTERSON, DANIEL B &,BETTY A	9044		LEXINGTON AVE	INDIANAPOLIS	IN	46239
7046471	49-09-08-119-122.000-700	BARNES, CARMEN LORENA &,LEE H	9804		LEGENDS CREEK DR	INDIANAPOLIS	IN	46229
7036384	49-09-05-107-033.000-700	HEIDNER/HOFFMANN LLC,% HEIDNER PROPERTY MANAGEMENT	9605	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7021125	49-09-08-109-007.000-700	DUGAN, ASHLEY	821	S	POST RD	INDIANAPOLIS	IN	46239
7041678	49-10-13-103-099.000-700	MARTENS, JACOB A &,KATHY R MARTENS (H&W)	7529		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7042317	49-09-08-103-003.000-700	WRIGHT, DEANNA M	9726		TREYBURN GREEN WAY	INDIANAPOLIS	IN	46239
7030622	49-09-17-106-005.000-700	MILLER, NICHOLAS E	1212		LICHTENBURG RD	INDIANAPOLIS	IN	46239
7041410	49-09-08-115-063.000-700	HOME SFR BORROWER LLC,% HAVENBROOK HOMES	608		SWEET CREEK DR	INDIANAPOLIS	IN	46239
7041381	49-09-08-115-024.000-700	DIENG, ABDLOU LAYE &,ADAMA DIENG	645		TREYBURN LAKES WAY	INDIANAPOLIS	IN	46239
7025308	49-09-07-109-006.000-700	DARLING, LOIS J	1025	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7046331	49-09-18-103-015.000-700	CLARK, EDNA E	8236		ST CLIFFORD CT	INDIANAPOLIS	IN	46239
7041564	49-09-05-101-028.000-700	COLLINS, CARLA K	9733		WOODSONG WAY	INDIANAPOLIS	IN	46229
7003157	49-09-07-106-065.000-700	GREEN, CHRISTOPHER W &,JENNIFER L (H&W)	342	S	GIBSON AVE	INDIANAPOLIS	IN	46219
7030202	49-09-17-103-007.000-700	ROBBINS, JON C &,ROBIN M ROBBINS (H&W)	9351		PROSPECT ST	INDIANAPOLIS	IN	46239
7040148	49-10-13-118-034.000-700	PROGRESS RESIDENTIAL BORROWER 3 LLC	7644		WINDY HILL WAY	INDIANAPOLIS	IN	46239
7034435	49-09-18-101-008.000-700	TARBERT PROPERTIES LLC	8800		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7003165	49-09-07-106-005.000-700	ARTERBURN, JANET L &,BRANDON N NESS	8624		RAWLES AVE	INDIANAPOLIS	IN	46219
7040802	49-10-13-119-001.000-700	GARNER, CAROL	7547		HIDDEN VALLEY LN	INDIANAPOLIS	IN	46239

7007902	49-09-07-106-048.000-700	MUNOZCANO, FULGENCIO	235	S	FENTON AVE	INDIANAPOLIS	IN	46219
7041428	49-09-08-115-056.000-700	MCCOY, CURTIS J III	712		TREYBURN LAKES WAY	INDIANAPOLIS	IN	46239
7046324	49-09-18-103-010.000-700	SMITH, RILEY Z & JESSICA M	8225		ST CLIFFORD CT	INDIANAPOLIS	IN	46239
7020926	49-09-06-109-017.000-700	MANN HOLDINGS LLC	139	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7007908	49-09-07-106-017.000-700	GRANT, DANIEL B	200	S	HARBISON AVE	INDIANAPOLIS	IN	46219
7014841	49-09-07-117-044.000-700	GRAVES, WESLEY M & NANCY C, GRAVES REVOC LIVING TRUST	402	S	POST RD	INDIANAPOLIS	IN	46219
7041117	49-10-13-102-044.000-700	MCCLAIN, JILL R	7840		LOFTON CT	INDIANAPOLIS	IN	46239
7045214	49-09-05-106-014.000-700	GORDON, FREEMAN JR, PHYLLIS ANN GORDON	9541		WOODSONG LN	INDIANAPOLIS	IN	46229
7041575	49-09-05-101-034.000-700	DIGBIE, VINCENT	9803		WOODSONG LN	INDIANAPOLIS	IN	46229
7045899	49-09-18-100-001.000-700	STERLING, SAMANTHA R	2034		ST CLIFFORD DR	INDIANAPOLIS	IN	46239
7034592	49-09-07-106-062.000-700	HIZER, ROBERT A	339	S	FENTON AVE	INDIANAPOLIS	IN	46219
7040215	49-10-13-105-016.000-700	WEDDLE, MARVIN & TIFFANY R WEDDLE (H&W)	7911		WILLOW WIND CIR	INDIANAPOLIS	IN	46239
7001340	49-09-05-102-008.000-700	JAG INVESTMENT GROUP	9137		HIBBEN AVE	INDIANAPOLIS	IN	46229
7043962	49-09-08-108-001.000-700	TREYBURN LAKES HOMEOWNERS ASSOC INC	0		COMMON PROPERTY		IN	
7040788	49-10-13-119-045.000-700	510 SFR IN OPERATIONS I LLC	2022		WINDY HILL LN	INDIANAPOLIS	IN	46239
7045886	49-09-18-100-014.000-700	WARREN, DEANNA	8355		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7044194	49-09-08-100-028.000-700	QUIETT, JASON E & LAURA D QUIETT (H&W)	9528		LORTON CIR	INDIANAPOLIS	IN	46239
7045860	49-09-18-100-040.000-700	DAVIDSON, KORY R	2103		SOTHEY LN	INDIANAPOLIS	IN	46239
7034467	49-09-18-101-001.000-700	FOUNDATION BUILDING MATERIALS LLC	1477	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7040835	49-10-13-119-022.000-700	HOLMES, LARRY LORENZO	7619		SCATTER WOODS LN	INDIANAPOLIS	IN	46239
7044062	49-09-08-119-038.000-700	PINKSTON, GERAL & THERESA & WESLEY PINKSTON	233		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7040135	49-10-13-118-022.000-700	ROSE, MICHAEL J	7657		DANCY DR	INDIANAPOLIS	IN	46239
7046390	49-09-08-125-004.000-700	TREYBURN LAKES HOMEOWNERS ASSOCIATION	0		COMMON PROPERTY		IN	
7041559	49-09-05-101-030.000-700	WOODSONG HOMEOWNERS, ASSOCIATION INC	0		COMMON PROPERTY		IN	
7041070	49-10-13-107-009.000-700	WHITE, KILEY	1903		ALVEE CIR	INDIANAPOLIS	IN	46239
7017423	49-09-07-116-003.000-700	MADDOX, MICHAEL & ESTHER	238	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7004587	49-09-07-106-093.001-700	EGGERS, HOMER W	8717		IVANHOE ST	INDIANAPOLIS	IN	46219
7041649	49-10-13-103-059.000-700	GREENE, DEBRA DARLENE	7639		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7022970	49-09-07-117-006.000-700	CARMACK, COY & SHARI SUZANNE JOHNSON	8836		RAWLES AVE	INDIANAPOLIS	IN	46219
7039836	49-10-13-100-013.000-700	DEUSER, NICOLE	7803		CROSS WILLOW BLVD	INDIANAPOLIS	IN	46239
7044220	49-09-08-100-016.000-700	MOORE, KENYATTA	9617		TREYBURN GREEN WAY	INDIANAPOLIS	IN	46239
7041063	49-10-13-107-003.000-700	BAXTER, BRIAN ANDREW & ROBIN CAROL BAXTER (H&W)	1930		ALVEE CIR	INDIANAPOLIS	IN	46239
7046479	49-09-08-119-130.000-700	NIELSEN, KEITH D & MARY B	9812		LEGENDS CREEK DR	INDIANAPOLIS	IN	46229
7035532	49-09-18-109-001.000-700	ABC CHARITIES INC	8600	E	RAYMOND ST	INDIANAPOLIS	IN	46239
7041058	49-10-13-107-011.000-700	SFR JV2 DDTL BORROWER LLC	7733		WOOD STREAM DR	INDIANAPOLIS	IN	46239
7045186	49-09-05-106-042.000-700	FROST, GRAT A & SHARLENE H FROST TRUSTEES OF, GRANT AND SHARLENE FROST TRUST 11/21/2008	9611		WOODSONG WAY	INDIANAPOLIS	IN	46229
7044477	49-09-08-119-063.000-700	SINGLA, NISHA	239		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7044216	49-09-08-100-011.000-700	SEGURA, KATHLEEN A	9545		TREYBURN GREEN WAY	INDIANAPOLIS	IN	46239
7001231	49-09-05-102-121.000-700	DOTSON, DEMARKES	9009	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7040225	49-10-13-117-017.000-700	MARTIN, CARLOS E GUTIERREZ	2047		COLDWATER CT	INDIANAPOLIS	IN	46239
7042362	49-09-08-102-021.000-700	510 SFR IN OPERATIONS I LLC	817		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7025764	49-09-17-105-005.000-700	NOLAN, LARRY	1207	S	POST RD	INDIANAPOLIS	IN	46239
7046464	49-09-08-119-139.000-700	ELITE PROCESS SERVICES LLC	9804		LEGENDS CREEK DR	INDIANAPOLIS	IN	46229
7041565	49-09-05-101-014.000-700	KELLY, TIMOTHY S & TERRY L KELLY (H&W)	9727		WOODSONG WAY	INDIANAPOLIS	IN	46229
7039804	49-10-13-100-031.000-700	SFR JV 1 2019 1 BORROWER LLC, %TRICON AMERICAN HOMES LLC	7910		CROSS WILLOW BLVD	INDIANAPOLIS	IN	46239
7040829	49-10-13-119-014.000-700	RENDER, WANDA	7529		SCATTER WOODS LN	INDIANAPOLIS	IN	46239
7045207	49-09-05-106-021.000-700	LYNAM, SHARON M	9610		WOODSONG LN	INDIANAPOLIS	IN	46229
7043485	49-09-08-119-030.000-700	JIMENEZ, EVORA	232		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7004805	49-09-18-111-002.000-700	SUPERIOR TACTICAL RESPONSE LLC	1940	S	POST RD	INDIANAPOLIS	IN	46239
7040129	49-10-13-118-049.000-700	PENA, JOSE M	7614		DANCY DR	INDIANAPOLIS	IN	46239
7046469	49-09-08-119-115.000-700	MATHIS, ANTHONY S	9804		LEGENDS CREEK DR	INDIANAPOLIS	IN	46229
7019347	49-09-06-109-019.000-700	JAMES, RONALD	119	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7042374	49-09-08-116-006.000-700	LYONS, ALBERT JR	9625		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7001250	49-09-05-102-110.000-700	GONZALES, ANDRES A & EMILIA CASTILLO (H&W)	16	S	BRENTWOOD AVE	INDIANAPOLIS	IN	46229
7025310	49-09-07-109-009.000-700	ZALKIN, IRENE	941		FRANKLIN RD	INDIANAPOLIS	IN	46239
7023038	49-09-08-105-007.000-700	MILLER, JERRY J AS TRUSTEE OF THE, MILLER LIVING TRUST DATED 01/07/94	903	S	BRENTWOOD AVE	INDIANAPOLIS	IN	46239
7046976	49-09-17-103-010.000-700	DOBBS, DANNY & DIANA	9277		PROSPECT ST	INDIANAPOLIS	IN	46239
7000025	49-09-05-102-107.000-700	DAVIDSON, GARY LYNN	20		ROSEMERE AVE	INDIANAPOLIS	IN	46229
7023254	49-09-07-102-038.000-700	FULK, ANDREA	318	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7045119	49-09-08-122-014.000-700	GALAN, J CARLOS & KERISSA JO	9347		RAWLES AVE	INDIANAPOLIS	IN	46229
7045849	49-09-18-100-051.000-700	DREAM HOME PROPERTY LLC	8339		EXTON RD	INDIANAPOLIS	IN	46239
7023031	49-09-08-105-002.000-700	HOLMES, RYAN	1025	S	BRENTWOOD AVE	INDIANAPOLIS	IN	46239
7045179	49-09-05-106-049.000-700	WOODSONG HOMEOWNERS ASSOCIATION LLC	0		COMMON PROPERTY		IN	46229
7042330	49-09-08-102-030.000-700	TREYBURN LAKES HOMEOWNERS ASSOC INC	0		COMMON PROPERTY		IN	
7001295	49-09-05-102-034.000-700	BURDINE, STEPHEN M	48		ROSEMERE AVE	INDIANAPOLIS	IN	46229
7014075	49-09-05-107-006.000-700	ROCKEL, FRANKLIN SCOTT & ANDREA K (H & W)	115	S	POST RD	INDIANAPOLIS	IN	46219
7046330	49-09-18-103-014.000-700	BIGBEE, JAMAR DEWAYNE & SHANISE L SMITH	8230		ST CLIFFORD CT	INDIANAPOLIS	IN	46239
7040241	49-10-13-117-005.000-700	SNORTEN, CORNELIUS LEWIS JR	2130		DANCY CT	INDIANAPOLIS	IN	46239
7005814	49-09-07-106-030.000-700	BAKER, GERALD & ROBERTA J HENRY TRUSTEES OF JOINT REVOCABLE TRUST AGREEMENT OF GERALD & ROBERTA BAKER, DATED 8/23/2023	328	S	FENTON AVE	INDIANAPOLIS	IN	46219
7035303	49-09-05-102-134.000-700	FLYNN & ZINKAN PROPERTIES II LLC	9369	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7036071	49-09-08-120-008.000-700	EDR LIMITED PARTNERSHIP	470	S	MITTHOEFFER RD	INDIANAPOLIS	IN	46229
7044205	49-09-08-100-050.000-700	WHITE, LILLIAN M	844		FREESTONE DR	INDIANAPOLIS	IN	46239
7041424	49-09-08-115-058.000-700	SKILLMAN, TAMARA	743		SWEET CREEK DR	INDIANAPOLIS	IN	46239
7007712	49-09-07-106-044.000-700	LONCAREVIC, DANE & LJILJA LONCAREVIC (H&W)	8505		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7044984	49-09-18-102-016.000-700	HIGH, DAKOTA J & CORI M	8104		CHESTERHILL WAY	INDIANAPOLIS	IN	46239
7046719	49-09-07-102-065.000-700	MENDOZA, GUSTAVO	8901		IVANHOE ST	INDIANAPOLIS	IN	46219
7003364	49-09-07-106-075.000-700	SCHWIMMER, JAMES E	329	S	FENTON AVE	INDIANAPOLIS	IN	46219
7032959	49-10-12-115-003.000-700	KEITH HOCKETT RE HOLDINGS LLC (80% INT) & KP HOCKETT RE HOLDINGS I LLC (10% INT) & KP HOCKETT RE HOLDINGS II LLC (10% INT)	234	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7007370	49-09-07-106-056.000-700	HIZER, BRUCE J JR	339	S	FENTON AVE	INDIANAPOLIS	IN	46219
7041387	49-09-08-115-029.000-700	ULLRICH, ANDREW W	735		TREYBURN LAKES WAY	INDIANAPOLIS	IN	46239

7044188	49-09-08-100-034.000-700	PARKS, DONALD S &,ANN M	9531		LORTON CIR	INDIANAPOLIS	IN	46239
7041657	49-10-13-103-020.000-700	PIEL, JEFFERY GLENN	7712		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7044213	49-09-08-100-020.000-700	BROWN, BRIAN A &,LAWANNA L STOTT (JTRS)	9523		TREYBURN GREEN WAY	INDIANAPOLIS	IN	46239
7001349	49-09-05-102-042.000-700	GALLIGAN, STEVEN M	9017		HIBBEN AVE	INDIANAPOLIS	IN	46229
7045880	49-09-18-100-020.000-700	CLAY, MONICA	8319		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7041663	49-10-13-103-018.000-700	CASAS, BLANCA &,GABRIEL CASAS	7620		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7043507	49-09-08-119-008.000-700	GALLAGHER, RICHARD L &,DELORES J GALLAGHER	248		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7039838	49-10-13-100-015.000-700	SPURLOCK, DEANNA L	7831		CROSS WILLOW BLVD	INDIANAPOLIS	IN	46239
7003667	49-10-13-101-017.000-700	PHILLABAUM, BRENDA S & DAVID A	1210	S	HUBER ST	INDIANAPOLIS	IN	46239
7035036	49-09-06-103-023.000-700	HOBBS RENTAL CO LLC	46	S	POST RD	INDIANAPOLIS	IN	46219
7001333	49-09-05-102-070.000-700	ARVM 5 LLC	9175		HIBBEN AVE	INDIANAPOLIS	IN	46229
7044179	49-09-08-100-024.000-700	VARGAS, BERNARDO &,MARISOL DIEGO	923		FREESTONE DR	INDIANAPOLIS	IN	46239
7021127	49-09-08-109-011.000-700	AMICK, JOHN E &,RONDA S	805	S	POST RD	INDIANAPOLIS	IN	46239
7045855	49-09-18-100-045.000-700	HAWN, LINDA & STEPHEN NOE	8369		EXTON RD	INDIANAPOLIS	IN	46239
7040263	49-10-13-117-040.000-700	DOWNER, BRYAN H &,JANNA C H&W	2109		CROSS WILLOW LN	INDIANAPOLIS	IN	46239
7046369	49-09-18-103-048.000-700	ROBERTS, JACOB M	2019		SOTHEBY LN	INDIANAPOLIS	IN	46239
7044979	49-09-18-102-011.000-700	AMH 2014-3 BORROWER LLC,%AMERICAN HOMES 4 RENT,ATTN:PROPERTY TAX DEPARTMENT	8036		CHESTERHILL WAY	INDIANAPOLIS	IN	46239
7044183	49-09-08-100-039.000-700	LEAVELL, TERRELL A &,KENDRA M NELSON	831		FREESTONE DR	INDIANAPOLIS	IN	46239
7040132	49-10-13-118-058.000-700	SNOWDEN, ANDRE JERMAINE	2032		CROSS WILLOW LN	INDIANAPOLIS	IN	46239
7046373	49-09-18-103-052.000-700	MEDINA, JOSE RUBIO &,ANABEL GOMEZ H/W	2014		SOTHEBY LN	INDIANAPOLIS	IN	46239
7006191	49-09-07-118-022.000-700	OSBORNE, SUZANNE L	8410		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7042421	49-09-05-116-007.000-700	STRONG, THOMAS L &,NORMA L	9705		WOODSONG LN	INDIANAPOLIS	IN	46229
7041689	49-10-13-103-085.000-700	CLOUD, MARK E	1856		WINDY HILL LN	INDIANAPOLIS	IN	46239
7038878	49-10-13-113-002.000-700	MOEDA REALTY	7700	E	RAYMOND ST	INDIANAPOLIS	IN	46239
7007990	49-09-06-112-005.000-700	BURRIN, MORGAN	202	S	FENTON AVE	INDIANAPOLIS	IN	46219
7040823	49-10-13-119-026.000-700	KELLY, ANTHONY L	7606		HIDDEN VALLEY LN	INDIANAPOLIS	IN	46239
7040845	49-10-13-119-075.000-700	WHITE, GENE B &,LINDA K	1908		CROSS WILLOW LN	INDIANAPOLIS	IN	46239
7041399	49-09-08-115-073.000-700	WEST, ZACHARY D &,KARLA I WEST (H&W)	722		SWEET CREEK DR	INDIANAPOLIS	IN	46239
7014451	49-09-07-114-008.000-700	CARBAL, SOTERO SANCHEZ &,MARIA DOMINGUEZ	8440		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7040901	49-10-13-104-010.000-700	ROBINSON, HOPE LELAIN &,JAMES ANTHONY (H&W)	1927		CROSS WILLOW LN	INDIANAPOLIS	IN	46239
7029561	49-09-17-106-002.000-700	PREWITT, PHILLIP JR &,BOBBIE	9439		PROSPECT ST	INDIANAPOLIS	IN	46239
7040207	49-10-13-105-015.000-700	BURTON, STEPHANIE D	7908		WILLOW WIND CIR	INDIANAPOLIS	IN	46239
7045898	49-09-18-100-002.000-700	PLUMMER, TONINETTE & MARK JR	2040		ST CLIFFORD DR	INDIANAPOLIS	IN	46239
7039843	49-10-13-100-019.000-700	MAYS, SAHALIA RENE	7909		CROSS WILLOW BLVD	INDIANAPOLIS	IN	46239
7044068	49-09-08-119-044.000-700	VANDERPAN, MARTIN SCOTT	241		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7040924	49-09-18-101-015.000-700	IBC MEDICAL DEVELOPMENT,,LLC,% THOMAS EDGERTON	8150		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7042408	49-09-05-116-019.000-700	PENLEY, DOUGLAS A &,MICHAEL R & JEFFREY S & GREGORY W PENLEY	9724		WOODSONG LN	INDIANAPOLIS	IN	46229
7040826	49-10-13-119-038.000-700	CONREX RESIDENTIAL PROPERTY GROUP 2013-10,LLC	7538		HIDDEN VALLEY LN	INDIANAPOLIS	IN	46239
7035319	49-09-07-113-005.000-700	THORINSON LLC &,DONALD P RUUD & ANNETTE D RUUD CO TRUSTEES,OF RUUD FAMILY TRUST 7/22/2000	8905		RAWLES AVE	INDIANAPOLIS	IN	46219
7035078	49-09-18-101-002.000-700	ROBINSON REAL ESTATE ENTERPRISES LLC	8494		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7002829	49-09-05-107-036.000-700	SUMMIT BANK OF INDPLS,% ICG-ORE	9991	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7040864	49-10-13-119-059.000-700	TOOLE, DENNIS E &,YEVONNE CORPENING-TOOLE	1909		WINDY HILL LN	INDIANAPOLIS	IN	46239
7039827	49-10-13-100-047.000-700	LOBB, ALLEN	7740		CROSS WILLOW BLVD	INDIANAPOLIS	IN	46239
7041568	49-09-05-101-017.000-700	AHAUS, BERNARD &,SANDRA K	9703		WOODSONG WAY	INDIANAPOLIS	IN	46229
7029578	49-09-08-113-005.000-700	Occupant	9115		LEXINGTON AVE	INDIANAPOLIS	IN	46239
7040156	49-10-13-118-056.000-700	GREEN, ROBERT &,VIRGINIA	2126		CROSS WILLOW LN	INDIANAPOLIS	IN	46239
7043958	49-09-08-108-013.000-700	SHECK, JEFFREY &,ERIKA	9653		GULL LAKE DR	INDIANAPOLIS	IN	46239
7041366	49-09-08-115-008.000-700	ZHANG, RU LING &,TSZ EN CHEUNG (JTRS)	9720		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7040862	49-10-13-119-061.000-700	MICHAEL, MARY JOHNSON &,ROBERT G	7528		SCATTER WOODS LN	INDIANAPOLIS	IN	46239
7029552	49-09-17-106-001.000-700	WILLIAMS, RICHARD L	9419		PROSPECT ST	INDIANAPOLIS	IN	46239
7043501	49-09-08-119-014.000-700	ALFORD, LATASHA R	240		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7035639	49-09-18-113-001.000-700	STEWART, JOSEPH LARRY &,RHONDA ROCHELLE STEWART,(H&W)	1917	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7034916	49-09-06-103-002.000-700	HOBBS, DAVID L	30	S	POST RD	INDIANAPOLIS	IN	46219
7041422	49-09-08-115-045.000-700	LEGGINS, JOSEPH A &,MARY F LEGGINS (H&W)	709		SWEET CREEK DR	INDIANAPOLIS	IN	46239
7043947	49-09-08-108-002.000-700	BELL, CHRISTOPHER	9552		GULL LAKE DR	INDIANAPOLIS	IN	46239
7045158	49-09-07-113-009.000-700	WILSON PROPERTY MANAGEMENT LLC	510	S	POST RD	INDIANAPOLIS	IN	46239
7014845	49-09-07-116-008.000-700	BLAGBURN, CHRISTY J	233	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7032946	49-09-18-114-010.000-700	A B CANADA INCORPORATED	8049		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7000945	49-09-06-112-007.000-700	PIERCE, SAMUEL R & JEAN G	8501		BONNA AVE	INDIANAPOLIS	IN	46219
7021354	49-09-05-102-030.000-700	ZAVALA, ROBERTO M &,ALEJANDRINA ZAVALA &,SANDRA D ZAVALA	64	S	GALESTON AVE	INDIANAPOLIS	IN	46229
7044187	49-09-08-100-035.000-700	TURNER, SHARON A	9523		LORTON CIR	INDIANAPOLIS	IN	46239
7041566	49-09-05-101-015.000-700	BRINSLEY, RICHARD F &,SUSAN Y BRINSLEY	9715		WOODSONG WAY	INDIANAPOLIS	IN	46229
7046383	49-09-18-103-060.000-700	WANVOIKE, SAMUEL W	8321		SOTHEBY DR	INDIANAPOLIS	IN	46239
7045197	49-09-05-106-031.000-700	COMBS, LISA A &,MARK A	9508		WOODSONG LN	INDIANAPOLIS	IN	46229
7040840	49-10-13-119-033.000-700	ELLIOTT, TAMARA	7651		SCATTER WOODS LN	INDIANAPOLIS	IN	46239
7044208	49-09-08-100-047.000-700	ANDERS, MICHAEL &,MICHELA ANDERS	914		FREESTONE DR	INDIANAPOLIS	IN	46239
7036014	49-09-18-104-009.000-700	AGREE SB LLC,ATTN DANIELLE SPEHAR	8135		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7044059	49-09-08-119-035.000-700	KILLILEA, DEBRA K	233		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7042400	49-09-05-116-020.000-700	PRILLER, STEPHEN &,KATHLEEN	9640		WOODSONG LN	INDIANAPOLIS	IN	46229
7045141	49-09-08-119-081.000-700	UMANA, WALTER	238		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7023026	49-09-08-105-016.000-700	EAGAN, HEATHER A	1014	S	BRENTWOOD AVE	INDIANAPOLIS	IN	46239
7045896	49-09-18-100-004.000-700	CSMA FT LLC,% RYAN LLC	8310		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7001273	49-09-05-102-092.000-700	ADAMS, KENNETH A &,TERRI A	32	S	GALESTON AVE	INDIANAPOLIS	IN	46229
7040191	49-10-13-105-034.000-700	STONE, JOE JR & ANITA M,(H&W)	2104		WILLOW WIND CT	INDIANAPOLIS	IN	46239
7039824	49-10-13-100-045.000-700	PROGRESS RESIDENTIAL BORROWER 23 LLC	7745		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7005812	49-09-07-106-027.000-700	VERNON, ZEHNER L III	304	S	FENTON AVE	INDIANAPOLIS	IN	46219
7040177	49-10-13-118-041.000-700	NORRIS, CHRISTINA L	2040		WINDY HILL LN	INDIANAPOLIS	IN	46239
7031541	49-10-13-108-003.000-700	ETI CORP	1310	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7045894	49-09-18-100-006.000-700	WOOLRIDGE, CRYSTAL LYNN	8322		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7013843	49-09-05-107-007.000-700	PITCOCK, SUSAN E	9114		BURK RD	INDIANAPOLIS	IN	46219
7043957	49-09-08-108-018.000-700	HARRIS, ANTHONY L &,TIONDA L HARRIS (H&W)	9647		GULL LAKE DR	INDIANAPOLIS	IN	46239
7014419	49-09-05-107-021.000-700	JERRY HORSLEY CONSTRUCTION COMPANY INC	9430		BURK RD	INDIANAPOLIS	IN	46219

7045897	49-09-18-100-003.000-700	COOPER, RAMONE	8304		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7044170	49-09-08-100-014.000-700	PROGRESS RESIDENTIAL BORROWER 10 LLC	9624		TREYBURN GREEN WAY	INDIANAPOLIS	IN	46239
7045146	49-09-08-119-076.000-700	MORIN, FULLJAHAN ALI	246		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7025152	49-09-07-106-088.000-700	NONNENBERG, SHANE E	236	S	GIBSON AVE	INDIANAPOLIS	IN	46219
7041121	49-10-13-102-046.000-700	HO, KHUYEN	7812		WOOD STREAM DR	INDIANAPOLIS	IN	46239
7035862	49-09-07-106-011.000-700	HUERTA, BRANDO CARCANO	333	S	GIBSON AVE	INDIANAPOLIS	IN	46219
7044074	49-09-08-119-050.000-700	KELLY, ELIZABETH A	249		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7028010	49-09-06-103-020.000-700	LOR CORPORATION	8975	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7041091	49-10-13-102-016.000-700	SCOTT, MICHAEL JOHN AND,LINDA JEAN SCOTT (H&W)	7933		PALMARO CIR	INDIANAPOLIS	IN	46239
7001283	49-09-05-102-103.000-700	SUMMERS, JINA L &,DENNIS MAKI (JTRS)	19	S	GALESTON AVE	INDIANAPOLIS	IN	46229
7031145	49-09-07-109-005.000-700	COLLINS, DAVID &,SCOTT COLLINS	933	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7001300	49-09-05-102-120.000-700	SLB ASSETS III LLC	28		ROSEMERE AVE	INDIANAPOLIS	IN	46229
7044182	49-09-08-100-007.000-700	DUGGER, JERRAD M &,ALESHA J ACTON	845		FREESTONE DR	INDIANAPOLIS	IN	46239
7039832	49-10-13-100-009.000-700	VILLALTA, ANDREA	7811		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7046924	49-09-08-113-022.000-700	ESKEW, DARIN J &,TERRIE A BEESON (JTRS)	9150		PROSPECT ST	INDIANAPOLIS	IN	46239
7040255	49-10-13-117-032.000-700	ESPARZA-ROBERSON, CARLOS IGA &,TRAVIS ALLAN ESPARZA-ROBERSON	7846		BENT WILLOW DR	INDIANAPOLIS	IN	46239
7001305	49-09-05-102-154.000-700	PALACIOS INC	9181	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7000830	49-09-07-107-011.000-700	HOLDER, REDA A	421	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7040154	49-10-13-118-054.000-700	HECK, DINAH	2142		CROSS WILLOW LN	INDIANAPOLIS	IN	46239
7042422	49-09-05-116-012.000-700	COOKE, NANCY L	9663		WOODSONG LN	INDIANAPOLIS	IN	46229
7004520	49-09-07-114-004.000-700	HOWARD, BRANDON CEDRIC	8441		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7020923	49-09-07-117-041.000-700	MARTIN, STEVEN L II &,CARRIE PEREIRA	415	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7032145	49-09-07-100-002.000-700	FOLEY, DORIS ILENE	8122		SYCAMORE SPRINGS TRL	INDIANAPOLIS	IN	46239
7044184	49-09-08-100-038.000-700	MCGHEE, KRISTINA L	825		FREESTONE DR	INDIANAPOLIS	IN	46239
7016310	49-09-07-116-022.000-700	KEYES, BETHANY A &,KARMEN	245	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7042290	49-09-08-103-023.000-700	CROOK, RANDY	9712		PIPER LAKE DR	INDIANAPOLIS	IN	46239
7039812	49-10-13-100-039.000-700	SCOTT, LAWRENCE T & JANELLE	7812		CROSS WILLOW BLVD	INDIANAPOLIS	IN	46239
7023257	49-09-07-117-025.000-700	ALEXANDER, LARRY DAVID &,PATRICIA L HARMON ALEXANDER	8805		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7035549	49-10-12-109-001.000-700	PHEASANT RUN INDIANAPOLIS LLC	7925		PALAWAN DR	INDIANAPOLIS	IN	46239
7045002	49-09-18-102-034.000-700	ADAMS, DANIELLE	8108		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7005580	49-09-07-102-005.000-700	GRAVES, WESLEY M & NANCY,C GRAVES REVOCABLE LIVING,TRUST	8721		IVANHOE ST	INDIANAPOLIS	IN	46219
7041100	49-10-13-102-021.000-700	CROPPER, GREGORY &,ROSE CROPPER	1903		WINDY HILL DR	INDIANAPOLIS	IN	46239
7016317	49-09-07-102-032.000-700	AGUIRRE, VIRGINA	325	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7042402	49-09-05-116-022.000-700	LOGAN, MICHAEL B &,MARGARET J LOGAN	9652		WOODSONG LN	INDIANAPOLIS	IN	46229
7004742	49-09-17-105-011.000-700	EDWARDS, TODD	1119	S	POST RD	INDIANAPOLIS	IN	46239
7040795	49-10-13-119-052.000-700	TEDDERS, JIMMY D	1934		WINDY HILL LN	INDIANAPOLIS	IN	46239
7001324	49-09-05-102-143.000-700	TAYLOR, CARLA J	111	S	WITTFIELD ST	INDIANAPOLIS	IN	46229
7014537	49-09-06-109-021.000-700	JENKINS, JEFFREY	120	S	POST RD	INDIANAPOLIS	IN	46219
7042299	49-09-08-103-032.000-700	SHAW, BRIAN K &,APRIL R	9608		PIPER LAKE DR	INDIANAPOLIS	IN	46239
7023020	49-09-08-105-019.000-700	PRYOR, STEVEN E &,BARBARA L	834	S	BRENTWOOD AVE	INDIANAPOLIS	IN	46239
7035079	49-09-18-101-004.000-700	BROOKVILLE P-52 L L C	8402		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7005578	49-09-07-108-014.000-700	ARNOLD, WILLIAM H &,PATRICIA M	525	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7042447	49-09-08-110-011.000-700	EXETER 365 411 S POST LP	365	S	POST RD	INDIANAPOLIS	IN	46219
7001266	49-09-05-102-028.000-700	SCHULTZ, EMIL H	80	S	GALESTON AVE	INDIANAPOLIS	IN	46229
7029090	49-09-07-109-014.000-700	CONREX ML PORTFOLIO 2019-01,OPERATING COMPANY LLC	915	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7042337	49-09-08-102-010.000-700	FKH SFR PROPCO A LP,%FIRST KEY HOMES LLC	860		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7041629	49-10-13-103-073.000-700	DANIELS, DARIUS D	7706		WOOD STREAM DR	INDIANAPOLIS	IN	46239
7039822	49-10-13-100-046.000-700	VANHORN, CHRISTY	7729		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7043504	49-09-08-119-011.000-700	CANATSEY, LAURIE M	240		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7045213	49-09-05-106-015.000-700	NIEVES, MATTIE &,JONATHAN GRAY	9547		WOODSONG LN	INDIANAPOLIS	IN	46229
7016925	49-09-06-109-014.000-700	OSBORNE, RITA J	201	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7040813	49-10-13-119-013.000-700	GESWEIN, SHARON &,MICHAEL P	2014		CROSS WILLOW LN	INDIANAPOLIS	IN	46239
7046484	49-09-08-119-135.000-700	DANHOFF, ALI S	9820		LEGENDS CREEK DR	INDIANAPOLIS	IN	46229
7046351	49-09-18-103-030.000-700	SOWDERS, DELMAR	8444		SOTHEBY DR	INDIANAPOLIS	IN	46239
7043811	49-09-08-111-002.000-700	MAI HOLDINGS LLC	425		RAWLES CT	INDIANAPOLIS	IN	46229
7041640	49-10-13-103-079.000-700	FKH SFR PROPCO H L P	7604		WOOD STREAM DR	INDIANAPOLIS	IN	46239
7039825	49-10-13-100-043.000-700	MORGAN, ALEX	7751		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7042830	49-09-07-116-030.000-700	TORRES, ADRIAN CARPIO	235	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7003317	49-09-06-105-014.000-700	K 1 REAL ESTATE LLC	8007	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7014306	49-09-07-106-035.000-700	TWYFORD, DONALD W &,KATHY S	350	S	FENTON AVE	INDIANAPOLIS	IN	46219
7007904	49-09-07-106-083.000-700	ARGUETA AJTUN, DONALDO FREDY &,BLANCA ESTHELA ORTIZ SALAZAR	246	S	GIBSON AVE	INDIANAPOLIS	IN	46219
7041104	49-10-13-102-029.000-700	SHAW, KEVIN L &,PAULA M SHAW	7911		LOFTON CT	INDIANAPOLIS	IN	46239
7035322	49-09-08-122-013.000-700	TYLER, DUSTIN L &,MARY A CLARK	9623		RAWLES AVE	INDIANAPOLIS	IN	46229
7044977	49-09-18-102-009.000-700	BOGGAN, SHMOINE I	8028		CHESTERHILL WAY	INDIANAPOLIS	IN	46239
7035519	49-09-07-105-004.000-700	MAYER, AMANDA K &,THOLJ CECIL MAYER	8631		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7040264	49-10-13-117-041.000-700	RM1 SFR PROPCO B LP	2103		CROSS WILLOW LN	INDIANAPOLIS	IN	46239
7016911	49-09-07-117-019.000-700	KESSLER, STEPHEN E AND,DONNA L KESSLER (H&W)	418	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7029567	49-09-07-108-020.000-700	FITZGERALD, JAMES L	645	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7029577	49-09-07-103-006.000-700	HARRIS, TONY	8044		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7041368	49-09-08-115-006.000-700	BRANDON, HEATHER K	9738		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7000622	49-09-07-106-025.000-700	RUIZ, MARIA DEL MAR	252	S	FENTON AVE	INDIANAPOLIS	IN	46219
7005856	49-09-06-112-010.000-700	CRUZ, RICHARD DELA &,JENNIFER DELA CRUZ	230	S	GIBSON AVE	INDIANAPOLIS	IN	46219
7042326	49-09-08-103-057.000-700	YOUNG, HALEIGH N	9637		TREYBURN GREEN WAY	INDIANAPOLIS	IN	46239
7043500	49-09-08-119-015.000-700	HUTCHESON, LORI ANN,#208	240		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7040196	49-10-13-105-025.000-700	PRATT, DAVID B & EDELINA,R (H&W)	2030		WINDY HILL DR	INDIANAPOLIS	IN	46239
7041386	49-09-08-115-025.000-700	HASKINS, KEIA R	729		TREYBURN LAKES WAY	INDIANAPOLIS	IN	46239
7041915	49-09-08-110-010.000-700	WORRELL HOLDINGS LLC	305	S	POST RD	INDIANAPOLIS	IN	46219
7040889	49-10-13-115-007.000-700	BECKER, DONNA L	7743		BRIGHT LEAF CIR	INDIANAPOLIS	IN	46239
7001263	49-09-05-102-014.000-700	DAVIES, DAKOTTA B	55	S	BRENTWOOD AVE	INDIANAPOLIS	IN	46229
7040210	49-10-13-105-003.000-700	DEER BRYSON, SAMANTHA K &,JONATHAN A BRYSON	7924		WILLOW WIND CIR	INDIANAPOLIS	IN	46239
7046389	49-09-18-103-065.000-700	BRITAIN, ANTIONETTE M	2029		ST CLIFFORD DR	INDIANAPOLIS	IN	46239
7046336	49-09-18-103-001.006-700	RAYFORD, BRENT	8324		SOTHEBY DR	INDIANAPOLIS	IN	46239
7044496	49-09-08-119-096.000-700	CARSON, SHAVONNE	247		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229

7039842	49-10-13-100-018.000-700	RADOS, VINKO & MALINA,(H&W)	7903		CROSS WILLOW BLVD	INDIANAPOLIS	IN	46239
7045008	49-09-18-102-040.000-700	POWER, LARRY &,ANDREA (H&W)	8148		CHESTERHILL WAY	INDIANAPOLIS	IN	46239
7045204	49-09-05-106-024.000-700	BRAKEFIELD, ANGELA M	9550		WOODSONG LN	INDIANAPOLIS	IN	46229
7041573	49-09-05-101-022.000-700	HENDERSON, F LARRY &,CATHERINE	9641		WOODSONG WAY	INDIANAPOLIS	IN	46229
7003717	49-09-07-106-053.000-700	PARKER, RUSTY L &,MARTHA A	8536		RAWLES AVE	INDIANAPOLIS	IN	46219
7003142	49-09-07-106-081.000-700	JASKIEWICZ, CURTIS J	8515		IVANHOE ST	INDIANAPOLIS	IN	46219
7046328	49-09-18-103-001.002-700	MARTIN, CLARENCE JR	8218		ST CLIFFORD CT	INDIANAPOLIS	IN	46239
7003166	49-09-07-106-008.000-700	GARCIA, EUCLIDES MORENO	435	S	GIBSON AVE	INDIANAPOLIS	IN	46219
7018558	49-09-07-106-024.000-700	MORAN, KENNETH	222	S	FENTON AVE	INDIANAPOLIS	IN	46219
7042389	49-09-08-104-017.000-700	BROWNING, GLENDA	9512		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7007636	49-09-05-107-026.000-700	W-M DEVELOPMENT CO,% SANDOR DEVELOPMENT COMPANY	9500	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7041686	49-10-13-103-088.000-700	WHITTINGTON, JOHN &,TAMI WHITTINGTON (H&W)	1838		WINDY HILL LN	INDIANAPOLIS	IN	46239
7014296	49-09-07-102-066.000-700	COLLINS, DAVID &,TIMOTHY	8902		IVANHOE ST	INDIANAPOLIS	IN	46219
7045009	49-09-18-102-041.000-700	MCPEEK, BEVERLY &,BRUCE ROGIAN	8152		CHESTERHILL WAY	INDIANAPOLIS	IN	46239
7042366	49-09-08-116-013.000-700	TREYBURN LAKES HOMEOWNERS ASSOC INC	0		COMMON PROPERTY		IN	
7042309	49-09-08-103-042.000-700	YOUNG, SHARITA A	9671		PIPER LAKE DR	INDIANAPOLIS	IN	46239
7044470	49-09-08-119-066.000-700	EMERSON, GILLIAN E	231		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7040231	49-10-13-117-023.000-700	HOOD, PAT JAY &,JENNIFER ANN HOPWOOD	2022		COLDWATER CT	INDIANAPOLIS	IN	46239
7040127	49-10-13-118-047.000-700	FITZPATRICK, DENISE	7628		DANCY DR	INDIANAPOLIS	IN	46239
7044077	49-09-08-119-053.000-700	JENNINGS, ALYSSA T	249		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7021164	49-09-07-108-011.000-700	RALSTON, BRENT M	521	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7004767	49-09-07-106-037.000-700	DENTON, MICHAEL NEAL &,VICKI LYNNE DENTON (H&W)	406	S	FENTON AVE	INDIANAPOLIS	IN	46219
7001138	49-10-12-107-009.000-700	SMITH, BRADLEY R &,MARY E (H&W)	410	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7041097	49-10-13-102-020.000-700	AMERICAN HOMES 4 RENT PROPERTIES SIX LLC,ATTN:PROPERTY TAX DEPARTMENT	7910		PALMARO CIR	INDIANAPOLIS	IN	46239
7041380	49-09-08-115-020.000-700	TAYLOR, TASHA L	639		TREYBURN LAKES WAY	INDIANAPOLIS	IN	46239
7030238	49-09-17-103-002.000-700	DOBBS, DANNY &,DIANA	9277		PROSPECT ST	INDIANAPOLIS	IN	46239
7016563	49-09-08-113-017.000-700	KINNEAR, ROBERT C	9510		PROSPECT ST	INDIANAPOLIS	IN	46239
7040150	49-10-13-118-036.000-700	D & K REAL ESTATE LLC	7656		WINDY HILL WAY	INDIANAPOLIS	IN	46239
7045016	49-09-18-102-048.000-700	ROBERTSON, ROBBIE II	8029		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7001258	49-09-05-102-080.000-700	GODDARD, JAMES	39	S	BRENTWOOD AVE	INDIANAPOLIS	IN	46229
7041669	49-10-13-103-026.000-700	OLMSTED, FRED G & REBECCA,E (H&W)	7540		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7040249	49-10-13-117-013.000-700	JOHNSON, KENNETH MARCEL &,DONNA G JOHNSON (H&W)	7821		BENT WILLOW DR	INDIANAPOLIS	IN	46239
7045846	49-09-18-100-054.000-700	CHILTON, JORDIN A,AKA JORDIN CHILTON	8321		EXTON RD	INDIANAPOLIS	IN	46239
7039821	49-10-13-100-005.000-700	PERTLER, ANDREW S	7730		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7040192	49-10-13-105-033.000-700	BRINEGAR, CHRISTINE	7867		BENT WILLOW DR	INDIANAPOLIS	IN	46239
7046382	49-09-18-103-059.000-700	TAMER, TAMER R	8327		SOTHEBY DR	INDIANAPOLIS	IN	46239
7040213	49-10-13-105-010.000-700	FKH SFR L LP	7925		WILLOW WIND CIR	INDIANAPOLIS	IN	46239
7045216	49-09-05-106-012.000-700	WONG, SHALAH	9506		WOODSONG WAY	INDIANAPOLIS	IN	46229
7040852	49-10-13-119-071.000-700	TAYLOR, AMBAR &,TREY	7638		SCATTER WOODS LN	INDIANAPOLIS	IN	46239
7045145	49-09-08-119-077.000-700	JONES, JANE L	246		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7032958	49-10-12-115-001.000-700	KEITH HOCKETT RE HOLDINGS LLC (80% INT) &,KP HOCKETT RE HOLDINGS I LLC (10% INT) &,KP HOCKETT RE HOLDINGS II LLC (10% INT)	234	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7000808	49-09-05-102-150.000-700	JONES, JACK & CANDY (H&W)	106	S	WITTFIELD ST	INDIANAPOLIS	IN	46229
7040855	49-10-13-119-068.000-700	MARACIC, ANA	7620		SCATTER WOODS LN	INDIANAPOLIS	IN	46239
7046994	49-09-05-102-201.000-700	FLYNN & ZINKAN PROPERTIES II LLC	9369	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7042365	49-09-08-102-023.000-700	SUMMERS, ROBERT	830		TREYBURN LAKES WAY	INDIANAPOLIS	IN	46239
7023036	49-09-08-105-010.000-700	SANDERS, JOHN M	923	S	BRENTWOOD AVE	INDIANAPOLIS	IN	46239
7005047	49-09-07-107-009.000-700	MERRIMAN, ERIC M	8112		RAWLES AVE	INDIANAPOLIS	IN	46219
7040181	49-10-13-105-043.000-700	SCOTT, JACOB &,JESSICA SCOTT	7937		BENT WILLOW DR	INDIANAPOLIS	IN	46239
7044180	49-09-08-100-025.000-700	FLETCHER, CYNTHIA N	915		FREESTONE DR	INDIANAPOLIS	IN	46239
7046480	49-09-08-119-131.000-700	HARVEY, CHRISTINE W	9820		LEGENDS CREEK DR	INDIANAPOLIS	IN	46229
7041608	49-10-13-103-042.000-700	BARRUELAS, ROBERTO MARQUEZ	7614		STOCKARD ST	INDIANAPOLIS	IN	46239
7041417	49-09-08-115-039.000-700	HUGHEY, DENNIS R &,DARLENE M HUGHEY (H&W)	631		SWEET CREEK DR	INDIANAPOLIS	IN	46239
7001291	49-09-05-102-026.000-700	WILLSON, NANCY	81	S	GALESTON AVE	INDIANAPOLIS	IN	46229
7008117	49-09-07-111-001.000-700	DOGWOOD DEVELOPMENT LLC	8641		RAWLES AVE	INDIANAPOLIS	IN	46239
7001301	49-09-05-102-131.000-700	HIATT, LEONIDA U	9135	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7001298	49-09-05-102-083.000-700	PETERSON, MATTHEW K	36		ROSEMERE AVE	INDIANAPOLIS	IN	46229
7041059	49-10-13-107-010.000-700	KIMBLE, ARLENE	7741		WOOD STREAM DR	INDIANAPOLIS	IN	46239
7014530	49-09-06-109-016.000-700	MOORE, MELONEY	186	S	POST RD	INDIANAPOLIS	IN	46219
7034276	49-10-12-115-009.000-700	KEITH HOCKETT RE HOLDINGS LLC (80% INT) &,KP HOCKETT RE HOLDINGS I LLC (10% INT) &,KP HOCKETT RE HOLDINGS II LLC (10% INT)	350	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7040895	49-10-13-115-001.000-700	ANGLEMEYER, MATTHEW D	7732		BRIGHT LEAF CIR	INDIANAPOLIS	IN	46239
7044063	49-09-08-119-039.000-700	REVAIC, MIROSLAV &,GORAN REVAIC	233		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7045147	49-09-08-119-075.000-700	AGNEW, SHURON A	246		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7030523	49-09-06-112-011.000-700	MERRITT, JOHN E	214	S	GIBSON AVE	INDIANAPOLIS	IN	46219
7040265	49-10-13-117-042.000-700	AIMERY, CHRISTOPHER	2049		CROSS WILLOW LN	INDIANAPOLIS	IN	46239
7035790	49-09-08-113-011.000-700	HANSEN, TERRY L (TRUSTEE),TERRY L HANSEN LIVING,TRUST	9370		PROSPECT ST	INDIANAPOLIS	IN	46239
7046338	49-09-18-103-019.000-700	MOSS, EDDIE &,CHERYL MOSS	8336		SOTHEBY DR	INDIANAPOLIS	IN	46239
7042357	49-09-08-102-006.000-700	TEALER, CHERYL D	735		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7038943	49-09-08-122-003.000-700	WERT, GREGORY D &,ANNA C	9339		RAWLES AVE	INDIANAPOLIS	IN	46229
7026603	49-09-07-109-011.000-700	CARTWRIGHT, JEFFREY W	823	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7044482	49-09-08-119-108.000-700	STARK ENTERPRISES LLC	239		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7040814	49-10-13-119-042.000-700	LONCAREVIC, NEDELJKO &,ZELJKA	1954		CROSS WILLOW LN	INDIANAPOLIS	IN	46239
7044997	49-09-18-102-029.000-700	DEAN, JENNIE	8019		CHESTERHILL WAY	INDIANAPOLIS	IN	46239
7043950	49-09-08-108-005.000-700	VAZQUEZ, ROSA F	9547		GULL LAKE DR	INDIANAPOLIS	IN	46239
7040856	49-10-13-119-067.000-700	SFR JV 1 2021 1 BORROWER LLC	7614		SCATTER WOODS LN	INDIANAPOLIS	IN	46239
7031156	49-09-17-107-001.000-700	HEARS, PAUL &,VICTOR MANUEL GIRALDO	9207		PROSPECT ST	INDIANAPOLIS	IN	46239
7040136	49-10-13-118-023.000-700	FKH SFR PROPCO H L P	7651		DANCY DR	INDIANAPOLIS	IN	46239
7041609	49-10-13-103-041.000-700	POTEET, TERESA A	7608		STOCKARD ST	INDIANAPOLIS	IN	46239
7041561	49-09-05-101-027.000-700	BUCHANAN, PAMELA K	9751		WOODSONG WAY	INDIANAPOLIS	IN	46229
7040140	49-10-13-118-027.000-700	JOEST, DONALD R	7627		DANCY DR	INDIANAPOLIS	IN	46239
7046326	49-09-18-103-012.000-700	PENDERGRASS, DARYL M	8206		ST CLIFFORD CT	INDIANAPOLIS	IN	46239
7045205	49-09-05-106-023.000-700	HARGROVE, RICHARD L	9634		WOODSONG LN	INDIANAPOLIS	IN	46229
7034268	49-09-07-108-021.000-700	SMITH, DENVER &,WILMA J SMITH	703	S	FRANKLIN RD	INDIANAPOLIS	IN	46239

7044064	49-09-08-119-040.000-700	POE, MIKALA	233		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7040267	49-10-13-117-044.000-700	FRENCH, JAMES &,GABRIELLE GHREICHI	2037		CROSS WILLOW LN	INDIANAPOLIS	IN	46239
7040791	49-10-13-119-047.000-700	MORROW, ROBERT J	2004		WINDY HILL LN	INDIANAPOLIS	IN	46239
7045003	49-09-18-102-035.000-700	SLAYTON, SHARON G	8114		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7004080	49-09-07-108-015.000-700	PHAP AN TEMPLE OF INDIANA INC &,DEBORAH DIEP NGUYEN	549	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7045021	49-09-18-102-053.000-700	BIZARRO MARTINEZ, SERGIO IVAN &,CONNIE CARILLO	8109		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7043961	49-09-08-108-026.000-700	DORELUS, NICSON & CLAUDETTE VICTOR	9671		GULL LAKE DR	INDIANAPOLIS	IN	46239
7045209	49-09-05-106-019.000-700	SCOTT, JONATHAN &,KRISTEN	9556		WOODSONG LN	INDIANAPOLIS	IN	46229
7045206	49-09-05-106-022.000-700	LYONS, JOSEPH &,KATHLEEN	9616		WOODSONG LN	INDIANAPOLIS	IN	46229
7004832	49-09-07-106-080.000-700	SEXTON, PORSHA E	250	S	GIBSON AVE	INDIANAPOLIS	IN	46219
7040187	49-10-13-105-038.000-700	SALAZAR, LEIXA MOLINA	2122		WILLOW WIND CT	INDIANAPOLIS	IN	46239
7041115	49-10-13-102-040.000-700	BLACK, STEPHEN D II	7852		LOFTON CT	INDIANAPOLIS	IN	46239
7041670	49-10-13-103-027.000-700	HOME SFR BORROWER II LLC,% HAVENBROOK HOMES	7534		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7041103	49-10-13-102-028.000-700	BROWN, FLOYD DALE JR &,LAURA S BROWN (H&W)	7905		LOFTON CT	INDIANAPOLIS	IN	46239
7001403	49-10-13-101-020.000-700	KERNS, DONALD A	1206	S	HUBER ST	INDIANAPOLIS	IN	46239
7042306	49-09-08-103-039.000-700	LANTZ, ERIC V	9647		PIPER LAKE DR	INDIANAPOLIS	IN	46239
7005317	49-09-06-111-248.000-700	INDIANAPOLIS, DEPARTMENT OF PARKS &,RECREATION	171	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7029579	49-09-08-113-007.000-700	HANSEN, TERRA LEE	9320		PROSPECT ST	INDIANAPOLIS	IN	46239
7044072	49-09-08-119-048.000-700	WILSON, LATOYA D	241		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7039841	49-10-13-100-025.000-700	BREWINGTON, JULIE ANN	7849		CROSS WILLOW BLVD	INDIANAPOLIS	IN	46239
7017471	49-09-07-106-057.000-700	BULLOCK, NANETTE	8544		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7019208	49-09-07-117-015.000-700	GILBERT, HARRY &,SHIRLEY D H&W	458	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7042278	49-09-08-103-016.000-700	UNDERWOOD, DAVID L &,PEGGY M UNDERWOOD	1019		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7001328	49-09-05-102-066.000-700	HASHMAN, RUSSELL C	139	S	WITTFIELD ST	INDIANAPOLIS	IN	46229
7045215	49-09-05-106-013.000-700	WARD, VERNON &,LINDA D	9509		WOODSONG LN	INDIANAPOLIS	IN	46229
7004578	49-09-06-111-029.000-700	KOCH, CHRISTINE	335	S	FENTON AVE	INDIANAPOLIS	IN	46219
7041654	49-10-13-103-063.000-700	SMITH, PATRICIA A	7717		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7006504	49-09-07-118-016.000-700	CRAFT, CRYSTAL L	8215		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7045143	49-09-08-119-079.000-700	JARVIS, DANIEL S	238		LEGENDS CREEK WAY	INDIANAPOLIS	IN	46229
7025767	49-09-17-105-001.000-700	LARA, LUPITA DE &,MANUAL LARA ANGELES & LUPITA DE LARA	9105		PROSPECT ST	INDIANAPOLIS	IN	46239
7001236	49-09-05-102-051.000-700	BURD, DUSTIN &,PHYLCIA	35	S	POST RD	INDIANAPOLIS	IN	46219
7041677	49-10-13-103-092.000-700	BAKER, RICKY LYNN JR &,ISABELLA R	7523		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7047611	49-09-08-106-003.000-700	EIXP 2 LLC	365		STRATEGY DR	INDIANAPOLIS	IN	46229
7015738	49-09-07-117-034.000-700	WILSON, ROBERT W	455	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7041364	49-09-08-115-002.000-700	TREC INDY LLC	9708		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7045844	49-09-18-100-056.000-700	TERRELL, TRINA L	8309		EXTON RD	INDIANAPOLIS	IN	46239
7032151	49-09-07-100-012.000-700	BUDD, THOMAS D &,SHARON K BUDD (H&W)	8111		SYCAMORE SPRINGS TRL	INDIANAPOLIS	IN	46239
7018916	49-09-07-117-038.000-700	SOTUS, JOSHUA M	445	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7040908	49-10-13-104-011.000-700	WILLOW LAKES & WILLOW,OAKS HOMEOWNERS ASSOC,,INC,	0		COMMON PROPERTY		IN	
7038805	49-09-18-104-010.000-700	JOHNSONS COMMERCIAL FLOORING INC	8155		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7040178	49-10-13-118-039.000-700	MARSHALL, LAVON M	2034		WINDY HILL LN	INDIANAPOLIS	IN	46239
7040807	49-10-13-119-007.000-700	PROGRESS RESIDENTIAL BORROWER 14 LLC	7631		HIDDEN VALLEY LN	INDIANAPOLIS	IN	46239
7044060	49-09-08-119-036.000-700	HOWARD, JOYCE A	233		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7045014	49-09-18-102-046.000-700	HOUSTON, BARBARA A	8017		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7030629	49-09-17-103-004.000-700	KING,CEDRIC &,COURTNEY RYAN	9311		PROSPECT ST	INDIANAPOLIS	IN	46239
7006885	49-09-06-110-041.000-700	WISCHMEYER, RICHARD WAYNE	21	S	FENTON AVE	INDIANAPOLIS	IN	46219
7014838	49-09-07-102-064.000-700	MARTIN, STEVEN L & JAYLENE A	330	S	POST RD	INDIANAPOLIS	IN	46219
7023723	49-10-13-116-003.000-700	LUFY, ROBERT D JR &,MARGARET A LUFY (H&W)	7546	E	RAYMOND ST	INDIANAPOLIS	IN	46239
7041078	49-10-13-102-008.000-700	MEYER, ROBERT E &,NANCY R MEYER (H&W)	7815		WOOD STREAM DR	INDIANAPOLIS	IN	46239
7016309	49-09-07-117-002.000-700	WEILHAMER, DON L	8750		RAWLES AVE	INDIANAPOLIS	IN	46219
7014837	49-09-07-102-035.000-700	BERLING, BARBARA J	8815		IVANHOE ST	INDIANAPOLIS	IN	46219
7021116	49-09-08-109-006.000-700	HICKLE, STEVE & SANDY M,(H&W)	1031	S	POST RD	INDIANAPOLIS	IN	46239
7045856	49-09-18-100-044.000-700	WHALEN, MARY ANN	2127		SOTHEBY LN	INDIANAPOLIS	IN	46239
7000623	49-09-07-106-026.000-700	WYNN, ANNE	254	S	FENTON AVE	INDIANAPOLIS	IN	46219
7021117	49-09-08-109-002.000-700	ATNIP, JAMES R	1021	S	POST RD	INDIANAPOLIS	IN	46239
7046332	49-09-18-103-016.000-700	SHOVAN, KEITH	8242		ST CLIFFORD CT	INDIANAPOLIS	IN	46239
7006989	49-09-07-118-001.000-700	HOWELL, JEFFREY	8180		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7040179	49-10-13-105-041.000-700	POPE, JACK M REVOCABLE LIVING TRUST 6/20/20	7955		BENT WILLOW DR	INDIANAPOLIS	IN	46239
7044982	49-09-18-102-014.000-700	RUTSKI, TIFFANY R	8054		CHESTERHILL WAY	INDIANAPOLIS	IN	46239
7020567	49-09-07-117-033.000-700	WORLAND, NOLAN E &,SHIRLEY A	422	S	POST RD	INDIANAPOLIS	IN	46219
7014546	49-09-05-107-023.000-700	COOPER, TENA	110	S	BONAR AVE	INDIANAPOLIS	IN	46229
7039828	49-10-13-100-051.000-700	BENGIE, JERRY R & JEANNIE,M H&W	7734		CROSS WILLOW BLVD	INDIANAPOLIS	IN	46239
7029961	49-09-05-107-054.000-700	PAGAN, JUAN J	9525	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7043511	49-09-08-119-004.000-700	HORAN, TIMOTHY &,EDIE J	248		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7022134	49-09-07-102-021.000-700	GRIMES, CLARENCE &,ROSEMARY	342	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7014411	49-09-07-117-009.000-700	CONOVER, ROBERT M	441	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7016915	49-09-07-117-028.000-700	ZABALA, JUAN	420	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7044215	49-09-08-100-010.000-700	RADFORD, JAMES D &,KAREN L (H&W)	9537		TREYBURN GREEN WAY	INDIANAPOLIS	IN	46239
7041432	49-09-08-115-052.000-700	RIOS, BRYAN J &,KASSIDI	634		TREYBURN LAKES WAY	INDIANAPOLIS	IN	46239
7001065	49-09-18-101-035.000-700	CIN INDPLS & WESTN RY CO,% B & O RR CO,BOX 307,AD VALOREM TAX DEPT	0		RAILROAD ROW		IN	
7030237	49-09-17-106-004.000-700	SMITH, HARRY D &,PAULA M	9449		PROSPECT ST	INDIANAPOLIS	IN	46239
7036674	49-09-05-107-071.000-700	TACO BELL OF AMERICA, INC,% TBC TAX	9755	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7031224	49-09-07-106-034.000-700	COMPTON, BRANDI M	344	S	FENTON AVE	INDIANAPOLIS	IN	46219
7046860	49-09-05-107-079.000-700	AVG CLUB 7 LLC,% FITNESS INTERNATIONAL LLC	9535	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7035301	49-09-18-101-003.000-700	FIRST INVESTMENT GROUP,CORPORATION	8494		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7041624	49-10-13-103-044.000-700	DENHAM, PATRICIA A	7625		WOOD STREAM DR	INDIANAPOLIS	IN	46239
7039895	49-09-18-101-034.000-700	RAHI PETROLEUM INC	8020		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7044204	49-09-08-100-051.000-700	BIBLE, GEORGE III	836		FREESTONE DR	INDIANAPOLIS	IN	46239
7004067	49-09-07-107-005.000-700	BRINEGAR, HENRY A &,PENELOPE K	8080		RAWLES AVE	INDIANAPOLIS	IN	46219
7001257	49-09-05-102-077.000-700	WILLIAMSMAR.RE1LLC	19	S	BRENTWOOD AVE	INDIANAPOLIS	IN	46229
7016320	49-09-06-109-013.000-700	COLLINS, DAVID &,SCOTT COLLINS (TIC)	202	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7041612	49-10-13-103-039.000-700	DIDION, RICKY GENE	7544		STOCKARD ST	INDIANAPOLIS	IN	46239
7031966	49-09-07-108-019.000-700	FITZGERALD, JAMES L	645	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7006506	49-09-07-118-023.000-700	GILBERT, MARY I &,JULIA R WOODS (JTWRs)	8209		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7040819	49-10-13-119-034.000-700	YOUNG, ELIZABETH A	7630		HIDDEN VALLEY LN	INDIANAPOLIS	IN	46239

7035518	49-09-07-105-006.000-700	WAGERS, LINDSAY & ALEY	8651		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7044190	49-09-08-100-032.000-700	CLEGG, JAMES P & JANE.(H&W)	9545		LORTON CIR	INDIANAPOLIS	IN	46239
7017425	49-09-07-102-017.000-700	ELLIS, DWAYNE BRYAN	337	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7015742	49-09-07-116-009.000-700	COLLINS, DAVID	260	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7042409	49-09-05-116-018.000-700	DUPREE, B JEANETTE TRUSTEE	9730		WOODSONG LN	INDIANAPOLIS	IN	46229
7046474	49-09-08-119-125.000-700	SMITH, LAUREN E	9812		LEGENDS CREEK DR	INDIANAPOLIS	IN	46229
7041089	49-10-13-102-014.000-700	BALSAMO, GEORGE P & PATRICIA A	7923		PALMARO CIR	INDIANAPOLIS	IN	46239
7048046	49-09-08-106-004.000-700	EIXP 3 LLC	335		STRATEGY DR	INDIANAPOLIS	IN	46229
7040147	49-10-13-118-033.000-700	ALLISON, JENNIFER D	7638		WINDY HILL WAY	INDIANAPOLIS	IN	46239
7035876	49-09-17-102-002.000-700	YODHA LOGISTICS INC	1405	S	POST RD	INDIANAPOLIS	IN	46239
7034937	49-09-08-110-004.000-700	GREAT MOON INC	361	S	POST RD	INDIANAPOLIS	IN	46219
7043486	49-09-08-119-029.000-700	SMALL, JANE E & HOLLY A TIERNEY,%JANE SMALL	232		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7030820	49-09-07-113-001.000-700	CARDINAL CONTAINER CORP	750	S	POST RD	INDIANAPOLIS	IN	46239
7030960	49-09-07-106-033.000-700	LONG, PATRICIA	340	S	FENTON AVE	INDIANAPOLIS	IN	46219
7044495	49-09-08-119-097.000-700	MCCROY, FRANKIE J	247		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7041633	49-10-13-103-069.000-700	CLINE, DAVID R & SHARI L CLINE (H&W)	7646		WOOD STREAM DR	INDIANAPOLIS	IN	46239
7040236	49-10-13-117-030.000-700	ROBINSON, TABATHA R	2048		COLDWATER CT	INDIANAPOLIS	IN	46239
7016926	49-09-06-109-015.000-700	OSBORN, THOMAS A	120	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7006855	49-09-06-110-034.000-700	SHAH P&N.8501 PROPERTIES LLC	8501	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7041073	49-10-13-107-017.000-700	TOLLEY, LAWRENCE R & DARLENE MAY-TOLLEY	7744		WOOD STREAM DR	INDIANAPOLIS	IN	46239
7036716	49-09-08-123-002.000-700	T&S KIDS, INC	310	S	MITTHOEFER RD	INDIANAPOLIS	IN	46229
7044169	49-09-08-100-001.000-700	TREYBURN LAKES HOMEOWNERS ASSOC INC	0		COMMON PROPERTY		IN	
7023256	49-09-07-102-039.000-700	SHELTON, ZACHARY D	304	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7043503	49-09-08-119-012.000-700	PRICE, JUANITA	240		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7000610	49-10-12-115-002.000-700	MINNIE B RAPP LLC,% GREGORY B PRITZ	360	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7005535	49-09-07-103-005.000-700	CASAS, CARMEN L GOMEZ	375	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7041377	49-09-08-115-019.000-700	BARNES, MAURICE & NATOSHA BARNES	621		TREYBURN LAKES WAY	INDIANAPOLIS	IN	46239
7036068	49-09-08-122-009.000-700	HARPER, DARREN J AND,CYNTHIA K HARPER (H&W)	9239		RAWLES AVE	INDIANAPOLIS	IN	46229
7006278	49-09-07-108-006.000-700	FRAZIER, HAROLD DEAN JR	8029		RAWLES AVE	INDIANAPOLIS	IN	46219
7039799	49-10-13-100-026.000-700	ARGUELLES, ANGEL CARMONA	7942		CROSS WILLOW BLVD	INDIANAPOLIS	IN	46239
7043941	49-09-08-108-020.000-700	ANDERSON, DAWNITA D	9634		GULL LAKE DR	INDIANAPOLIS	IN	46239
7004763	49-09-18-113-003.000-700	STEWART, JOSEPH L & RHONDA R (H&W)	1917	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7023027	49-09-08-105-022.000-700	KONERMAN, COURTNEY	1024	S	BRENTWOOD AVE	INDIANAPOLIS	IN	46239
7018372	49-09-07-102-047.000-700	MCINTIRE, SANDRA K & EDWARD M MCINTIRE	360	S	POST RD	INDIANAPOLIS	IN	46219
7042403	49-09-05-116-023.000-700	COSTIN, DAVID E & RITA A COSTIN	9658		WOODSONG LN	INDIANAPOLIS	IN	46229
7040157	49-10-13-118-052.000-700	WEST, KRISTY L	7717		WINDY HILL WAY	INDIANAPOLIS	IN	46239
7042355	49-09-08-102-019.000-700	JOHNSON, IRA E & RUTH A JOHNSON (H&W)	723		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7046375	49-09-18-103-001.008-700	FEICK, WYLAN GRAY	8369		SOTHEBY DR	INDIANAPOLIS	IN	46239
7041412	49-09-08-115-035.000-700	WHITE, MARK & DEVONA	601		SWEET CREEK DR	INDIANAPOLIS	IN	46239
7042356	49-09-08-102-020.000-700	BROWN, DOMINIQUE & MITCHELL W	729		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7041641	49-10-13-103-084.000-700	CHARNSTROM, MICHELLE SHEPPARD	7548		WOOD STREAM DR	INDIANAPOLIS	IN	46239
7040237	49-10-13-117-001.000-700	ZHONGMING LIANG HUANLING GAO LLC	2119		DANCY CT	INDIANAPOLIS	IN	46239
7046317	49-09-18-103-005.000-700	MAYFAIR VILLAGE, LLC	0		COMMON PROPERTY		IN	
7047190	49-10-13-114-022.000-700	PLUMBERS & STEAMFITTERS LOCAL UNION NO 440	1535		BROOKVILLE CROSSING WAY	INDIANAPOLIS	IN	46239
7046406	49-09-08-125-001.004-700	BRENTS PROPERTIES LLC	9471		TREYBURN LAKES DR	INDIANAPOLIS	IN	46229
7042286	49-09-08-103-020.000-700	BANNISTER, ANGELA M & AJA M COBB	867		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7041395	49-09-08-115-079.000-700	HUMPHREY, RAYMONDIA	808		TREYBURN LAKES WAY	INDIANAPOLIS	IN	46239
7032909	49-09-05-107-030.000-700	JPM LOGISTICS INC	130	S	MITTHOEFER RD	INDIANAPOLIS	IN	46229
7042399	49-09-05-116-028.000-700	WOODSONG HOMEOWNERS ASSOCIATION,% DICK HARGROVE	0		COMMON PROPERTY		IN	
7041556	49-09-05-101-032.000-700	WOODSONG HOMEOWNERS,ASSOCIATION INC	0		COMMON PROPERTY		IN	
7042340	49-09-08-102-029.000-700	GAMBRELL, JAMES B & ERIKA M GAMBRELL (H&W)	842		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7041363	49-09-08-115-011.000-700	SABA, NABIL N & REEM SABA,TRUSTEES OF THE FAMILY TRUST OF NABIL N SABA,& REEM SABA	9702		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7006880	49-09-06-110-028.000-700	COLONY PARK ESTATES MHP LLC,% MIKE LINK	77	S	FENTON AVE	INDIANAPOLIS	IN	46219
7040194	49-10-13-105-031.000-700	AMH 2014-2 BORROWER LLC,%AMERICAN HOMES 4 RENT,ATTN: PROPERTY TAX DEPARTMENT	2053		COLDWATER CT	INDIANAPOLIS	IN	46239
7045153	49-10-13-114-015.000-700	J&K CAPITAL PROPERTY LLC	1515		BROOKVILLE CROSSING WAY	INDIANAPOLIS	IN	46239
7041437	49-09-08-115-046.000-700	DOODY, BARBARA J	546		TREYBURN LAKES WAY	INDIANAPOLIS	IN	46239
7046323	49-09-18-103-067.000-700	BLAKE, NICOLE A	8233		ST CLIFFORD CT	INDIANAPOLIS	IN	46239
7040254	49-10-13-117-027.000-700	NORTHCOTE, THOMAS JAMES & ABIGAIL M	7854		BENT WILLOW DR	INDIANAPOLIS	IN	46239
7041592	49-10-13-103-096.000-700	SMITTY, ARNOLD	1855		WINDY HILL LN	INDIANAPOLIS	IN	46239
7042298	49-09-08-103-031.000-700	AMH 2014-2 BORROWER LLC,%AMERICAN HOMES 4 RENT,ATTN: PROPERTY TAX DEPARTMENT	9616		PIPER LAKE DR	INDIANAPOLIS	IN	46239
7040897	49-10-13-104-012.000-700	PEDIGO, STEPHEN E & LISA	7722		WOOD STREAM DR	INDIANAPOLIS	IN	46239
7040261	49-10-13-117-038.000-700	HUMES, LAWRENCE E & PAMELA A	2127		CROSS WILLOW LN	INDIANAPOLIS	IN	46239
7040218	49-10-13-105-019.000-700	MOORE, JERRME W & DONNA T	2021		WINDY HILL DR	INDIANAPOLIS	IN	46239
7042347	49-09-08-102-004.000-700	BELLAMY-SLAYTON, KENNTRIA	744		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7045184	49-09-05-106-044.000-700	WOODSONG HOMEOWNERS ASSOCIATION LLC	0		COMMON PROPERTY		IN	
7042329	49-09-08-103-060.000-700	TYLER, CAROL	9655		TREYBURN GREEN WAY	INDIANAPOLIS	IN	46239
7041558	49-09-05-101-035.000-700	WOODSONG HOMEOWNERS,ASSOCIATION INC	0		COMMON PROPERTY		IN	
7044178	49-09-08-100-023.000-700	TARIGAN, ARTHUR	931		FREESTONE DR	INDIANAPOLIS	IN	46239
7043875	49-10-13-108-008.000-700	MCDONALD'S REAL ESTATE CO,% MCDONALD'S CORPORATION,(L/C:013-1096)	7822		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7042368	49-09-08-116-014.000-700	WELLS, LAETICIA A	9692		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7045124	49-09-08-111-005.000-700	JOHNSON, ROLLAND L TRUSTEE OF THE JOHNSON,FAMILY TRUST 9/21/90	402		RAWLES CT	INDIANAPOLIS	IN	46229
7045865	49-09-18-100-035.000-700	FATORMAH, FATMATA A & CHRISTIAN R FATORMAH,(JTRS)	2104		SOTHEBY LN	INDIANAPOLIS	IN	46239
7040812	49-10-13-119-012.000-700	CUATLACUATL, JOSE	7705		HIDDEN VALLEY LN	INDIANAPOLIS	IN	46239
7040242	49-10-13-117-006.000-700	BELL, CREIGH A SR & DEBORAH C	2126		DANCY CT	INDIANAPOLIS	IN	46239
7041093	49-10-13-102-023.000-700	MASSEY, JOHN	7932		PALMARO CIR	INDIANAPOLIS	IN	46239
7041106	49-10-13-102-031.000-700	MEYER, BRYAN M & HALEY S INMAN	7923		LOFTON CT	INDIANAPOLIS	IN	46239
7005326	49-10-01-108-008.000-700	INDIANAPOLIS, DEPARTMENT OF PARKS & RECREATION	180	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7046028	49-10-13-114-017.000-700	JKS HOTEL COMPANY	1540		BROOKVILLE CROSSING WAY	INDIANAPOLIS	IN	46239
7042314	49-09-08-103-046.000-700	MOORE, RODNEY L	9737		PIPER LAKE DR	INDIANAPOLIS	IN	46239

7042380	49-09-08-116-012.000-700	WAGER, ROBERT L &,KAREN P WAGER (H&W)	9681		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7045182	49-09-05-106-046.000-700	WOODSONG HOMEOWNERS ASSOCIATION LLC	0		COMMON PROPERTY		IN	
7023030	49-09-08-105-001.000-700	YELEY, STEVEN M & MARY JO	9102		PROSPECT ST	INDIANAPOLIS	IN	46239
7041126	49-09-08-110-013.000-700	INSTANTWHIP-INDIANAPOLIS INC	9125		BURK RD	INDIANAPOLIS	IN	46219
7014946	49-09-05-102-075.000-700	MONARCH PROPERTIES LLC	9461	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7035273	49-09-05-107-037.000-700	W-M DEVELOPMENT CO,% SANDOR DEVELOPMENT COMPANY	9701	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7039055	49-09-08-110-001.000-700	WESTEL-INDIANAPOLIS CO	9223		BURK RD	INDIANAPOLIS	IN	46219
7006857	49-09-06-110-036.000-700	CONTINENTAL PROPERTIES LLC	8531	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7040230	49-10-13-117-022.000-700	COLES, MATTIE E	2021		COLDWATER CT	INDIANAPOLIS	IN	46239
7042828	49-09-08-112-001.000-700	MSD WARREN TOWNSHIP,ATTN: SUPERINTENDENT	9150		RAWLES AVE	INDIANAPOLIS	IN	46229
7040199	49-10-13-105-022.000-700	COLLINS, JANA	7831		SOFTWOOD CT	INDIANAPOLIS	IN	46239
7023019	49-09-08-105-024.000-700	JOB ASSETS VI LLC	822	S	BRENTWOOD AVE	INDIANAPOLIS	IN	46239
7004924	49-09-05-102-138.000-700	PARSONS, GARRETT A	105	S	WITTFIELD ST	INDIANAPOLIS	IN	46229
7042343	49-09-08-102-001.000-700	GOURDOUZE, AARON &,KIMBERLY M	816		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7042283	49-09-08-103-009.000-700	MARTINEZ, FERNANDO	925		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7042339	49-09-08-102-008.000-700	RINGO, MAURICE D &,LEESTHER RINGO	848		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7046812	49-10-13-114-019.000-700	LDME ENTERPRISES, INC	1520		BROOKVILLE CROSSING WAY	INDIANAPOLIS	IN	46239
7040844	49-10-13-119-080.000-700	PORTER, ANDRE L	7711		WOOD STREAM DR	INDIANAPOLIS	IN	46239
7041674	49-10-13-103-032.000-700	AO PROPCO 1 LLC	7510		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7041411	49-09-08-115-036.000-700	FKH SFR PROPCO B-HLD LP,%FIRST KEY HOMES LLC	602		SWEET CREEK DR	INDIANAPOLIS	IN	46239
7046902	49-10-13-114-021.000-700	WF INDUSTRIAL PROPERTIES VI LLC	1530		BROOKVILLE CROSSING WAY	INDIANAPOLIS	IN	46239
7041098	49-10-13-102-018.000-700	GILMAN, DAVID S &,JUDITH	1919		WINDY HILL DR	INDIANAPOLIS	IN	46239
7041099	49-10-13-102-017.000-700	RUSSELL, DEBRA D	1911		WINDY HILL DR	INDIANAPOLIS	IN	46239
7045866	49-09-18-100-034.000-700	HINRICH, RONALD J &,KATE M HINRICH	2116		SOTHEBY LN	INDIANAPOLIS	IN	46239
7045005	49-09-18-102-037.000-700	WALTHERS, JENNIFER R TRUSTEE,JENNIFER R WALTHERS TRUST	8145		CHESTERHILL WAY	INDIANAPOLIS	IN	46239
7041438	49-09-08-115-047.000-700	SHAKE, LAURA NICOLE	9745		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7041389	49-09-08-115-032.000-700	BARNETT, ASYA	803		TREYBURN LAKES WAY	INDIANAPOLIS	IN	46239
7040167	49-10-13-118-012.000-700	SUNFIRE 3 LLC	7631		WINDY HILL WAY	INDIANAPOLIS	IN	46239
7040184	49-10-13-105-045.000-700	AH4R I IN LLC	2113		WILLOW WIND CT	INDIANAPOLIS	IN	46239
7031544	49-10-13-108-005.000-700	SPEEDWAY SUPERAMERICA LLC,% PROPERTY TAX	7940		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7044186	49-09-08-100-036.000-700	BARNETT, MIA NICOLE	9515		LORTON CIR	INDIANAPOLIS	IN	46239
7040202	49-10-13-105-027.000-700	MOSS, DAVID A & ELNA F,(H&W)	7834		SOFTWOOD CT	INDIANAPOLIS	IN	46239
7048047	49-09-08-106-004.001-700	EIX PARTNERS LLC	9350		RAWLES AVE	INDIANAPOLIS	IN	46229
7023022	49-09-08-105-021.000-700	GAIZAT, CHRISTOPHER	908	S	BRENTWOOD AVE	INDIANAPOLIS	IN	46239
7040183	49-10-13-105-039.000-700	ABEL, SUE ANN	7915		BENT WILLOW DR	INDIANAPOLIS	IN	46239
7045125	49-09-08-111-004.000-700	HANGAR, LLC	405		RAWLES CT	INDIANAPOLIS	IN	46229
7046385	49-09-18-103-062.000-700	NAYLOR, TIMOTHY LEE &,HEATHER MARIE (H&W)	2005		ST CLIFFORD DR	INDIANAPOLIS	IN	46239
7035884	49-09-08-107-001.000-700	SUBCARRIER COMMUNICATIONS INC	9301		BURK RD	INDIANAPOLIS	IN	46219
7003578	49-09-05-102-156.000-700	LESTER, FRANCES G	9201	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7036229	49-10-01-108-002.000-700	INDIANAPOLIS, CITY OF,DEPARTMENT OF PARKS & RECREATION	170	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7032913	49-09-06-108-004.000-700	S & I EAST,% SANDOR DEVELOPMENT COMPANY	8235	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7040186	49-10-13-105-040.000-700	STURDIVANT, JARIE R	2121		WILLOW WIND CT	INDIANAPOLIS	IN	46239
7036724	49-09-07-107-015.000-700	LOHRMAN, GENE V	435	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7046364	49-09-18-103-043.000-700	MCCLUNG, JOYCELYN T	8435		SOTHEBY DR	INDIANAPOLIS	IN	46239
7040216	49-10-13-105-017.000-700	MCKAY, SCOTT D &,CATHERINE C MCKAY (JTRS)	7901		WILLOW WIND CIR	INDIANAPOLIS	IN	46239
7041085	49-10-13-102-004.000-700	NIKIC, IVICA &,MARICA	1930		WINDY HILL DR	INDIANAPOLIS	IN	46239
7045834	49-09-18-103-004.000-700	MAYFAIR VILLAGE, LLC	0		COMMON PROPERTY		IN	
7047192	49-10-13-114-022.002-700	PLUMBERS & STEAMFITTERS LOCAL UNION NO 440	1521		BROOKVILLE CROSSING WAY	INDIANAPOLIS	IN	46239
7042341	49-09-08-102-028.000-700	SFR JV 1 2020 1 BORROWER LLC,%TRICOM AMERICAN HOMES LLC	828		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7039817	49-10-13-100-004.000-700	CANNON, JEROD W JR &,SHELLY D (H&W)	1710		BLUE WILLOW CIR	INDIANAPOLIS	IN	46239
7047188	49-10-13-108-016.000-700	ADA PARTNERS LLC	1260		INTERCHANGE WAY	INDIANAPOLIS	IN	46239
7036565	49-09-07-107-017.000-700	MOSS, LISA	8008		RAWLES AVE	INDIANAPOLIS	IN	46219
7040193	49-10-13-105-032.000-700	HELPS, ANDREA L	2054		COLDWATER CT	INDIANAPOLIS	IN	46239
7047007	49-10-13-101-051.003-700	STANDARD BROOKVILLE LLC,%DREW WARNER	7650		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7045181	49-09-05-106-047.000-700	WOODSONG HOMEOWNERS ASSOCIATION LLC	0		COMMON PROPERTY		IN	
7040801	49-10-13-119-002.000-700	AMH 2014-3 BORROWER LLC,%AMERICAN HOMES 4 RENT,ATTN:PROPERTY TAX DEPARTMENT	7539		HIDDEN VALLEY LN	INDIANAPOLIS	IN	46239
7046363	49-09-18-103-042.000-700	CURRY, KATHY A	8515		SOTHEBY DR	INDIANAPOLIS	IN	46239
7042287	49-09-08-103-021.000-700	VELAZQUEZ, ENRIQUE	9736		PIPER LAKE DR	INDIANAPOLIS	IN	46239
7023023	49-09-08-105-023.000-700	WARTHEN, ROGER D &,LINDA S (H&W)	922	S	BRENTWOOD AVE	INDIANAPOLIS	IN	46239
7039746	49-09-05-102-171.000-700	EXTRA SPACE PROPERTIES TWO LLC	9499	E	WASHINGTON ST	INDIANAPOLIS	IN	46229
7041590	49-09-05-101-026.000-700	BROWN, WILLIE JR &,PATSY S	9815		WOODSONG LN	INDIANAPOLIS	IN	46229
7005602	49-10-01-108-005.000-700	KEITH HOCKETT RE HOLDINGS LLC (80% INT) &,KP HOCKETT RE HOLDINGS I LLC (10% INT) &,KP HOCKETT RE HOLDINGS II LLC (10% INT)	234	S	FRANKLIN RD	INDIANAPOLIS	IN	46219
7042301	49-09-08-103-034.000-700	SCOTT, SOLOMON L	9607		PIPER LAKE DR	INDIANAPOLIS	IN	46239
7039745	49-09-05-107-038.000-700	INDPLS, CITY OF P&R	110	S	MITTHOEFER RD	INDIANAPOLIS	IN	46229
7040166	49-10-13-118-009.000-700	IMARS, JEFFREY D & CARRIE,E (H&W)	2139		WINDY HILL CT	INDIANAPOLIS	IN	46239
7003393	49-10-13-101-003.000-700	STANDARD BROOKVILLE LLC,%CARROLLS LEASING #00861	7730		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7005287	49-09-06-107-002.000-700	BROADSTONE TRP INDIANA LLC,%THE ROOM PLACE	8301	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7042373	49-09-08-116-005.000-700	JACKSON, HENRY F &,MARCELLA K (H&W)	9642		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7040131	49-10-13-118-001.000-700	TG2 LLC	2045		WINDY HILL LN	INDIANAPOLIS	IN	46239
7041415	49-09-08-115-041.000-700	SFR JV 2 2022 1 BORROWER LLC,% TRICOM AMERICAN HOMES LLC	619		SWEET CREEK DR	INDIANAPOLIS	IN	46239
7041557	49-09-05-101-031.000-700	WOODSONG HOMEOWNERS,ASSOCIATION INC	0		COMMON PROPERTY		IN	
7041679	49-10-13-103-075.000-700	TAVAGLIONE, RENA	7537		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7041426	49-09-08-115-060.000-700	JONES, DIONNE	755		SWEET CREEK DR	INDIANAPOLIS	IN	46239
7041423	49-09-08-115-062.000-700	RICHERT, METRA ANGELICA	725		SWEET CREEK DR	INDIANAPOLIS	IN	46239
7046354	49-09-18-103-033.000-700	MAXEY, BOBBY E	8504		SOTHEBY DR	INDIANAPOLIS	IN	46239
7039871	49-09-08-110-002.000-700	JENSON PROPERTIES LLC	255	S	POST RD	INDIANAPOLIS	IN	46219
7017478	49-09-07-107-016.000-700	DARLING, LINDSAY E &,GALEN M PEJEAU	8002		RAWLES AVE	INDIANAPOLIS	IN	46219
7047191	49-10-13-114-022.001-700	PLUMBERS & STEAMFITTERS LOCAL UNION NO 440	1529		BROOKVILLE CROSSING WAY	INDIANAPOLIS	IN	46239

7047209	49-09-07-101-002.001-700	ET III INDY BOTTLING LLC	1104	S	POST RD	INDIANAPOLIS	IN	46239
7004197	49-09-18-114-002.000-700	CANADA, ROBERT F &,L. ANN CANADA H & W	1515	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7004248	49-09-18-112-001.000-700	GOINS-RYAN, KAREN L &,KATHLEEN L GOINS- MYERS	8405		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7003159	49-09-07-106-055.000-700	BOUGHAN, KRISTEN &,RANDY	8545		BEECHWOOD AVE	INDIANAPOLIS	IN	46219
7001352	49-09-05-102-040.000-700	OVERTON, DELBERT L &,JOYCE Y	9011		HIBBEN AVE	INDIANAPOLIS	IN	46229
7001234	49-09-05-102-099.000-700	IRWIN, SAMANTHA	33	S	POST RD	INDIANAPOLIS	IN	46219
7001238	49-09-05-102-043.000-700	JACKSON, JARRON DEANDRE	41	S	POST RD	INDIANAPOLIS	IN	46219
7001314	49-09-05-102-064.000-700	YOUNG, MARY F &,STOMM, RICHARD L	136	S	WITTFIELD ST	INDIANAPOLIS	IN	46229
7007901	49-09-07-106-085.000-700	CASTILLO, HECTOR ENRIQUE JR	225	S	FENTON AVE	INDIANAPOLIS	IN	46219
7007753	49-09-08-114-003.000-700	CCB REAL ESTATE LLC	553	S	POST RD	INDIANAPOLIS	IN	46239
7019341	49-09-07-102-015.000-700	GOODNIGHT, WILLIAM H	342	S	ROUTIERS AVE	INDIANAPOLIS	IN	46219
7019123	49-09-07-108-001.000-700	BOWERS, GREG &,JOLYN	8115		RAWLES AVE	INDIANAPOLIS	IN	46239
7014840	49-09-07-116-011.000-700	RICHARDSON, BARBARA J	250	S	BOEHNING ST	INDIANAPOLIS	IN	46219
7016316	49-09-07-116-026.000-700	ROBERTS, DEBORAH &,JAMES E SCHWIMMER JR	230	S	POST RD	INDIANAPOLIS	IN	46219
7029984	49-09-17-103-003.000-700	COE, TODD M &,TERESA L COE	9341		PROSPECT ST	INDIANAPOLIS	IN	46239
7026605	49-09-17-109-003.000-700	ALAO, AKIBOU	1005	S	FRANKLIN RD	INDIANAPOLIS	IN	46239
7036222	49-09-17-102-003.000-700	GALENO, HUMBERTO &,MAGDALENA FLORES	1507	S	POST RD	INDIANAPOLIS	IN	46239
7030821	49-09-07-113-007.000-700	INDIANA BELL TELEPHONE CO INC,C/O SBC COMMUNICATIONS INC	630	S	POST RD	INDIANAPOLIS	IN	46239
7042413	49-09-05-116-001.000-700	STEWART, DONALD J &,BARBARA J	9753		WOODSONG LN	INDIANAPOLIS	IN	46229
7044978	49-09-18-102-010.000-700	DUCHESNE, MICHAEL &,MICHELE	8032		CHESTERHILL WAY	INDIANAPOLIS	IN	46239
7045208	49-09-05-106-020.000-700	NEWHOUSE, ROBERT L &,LAURA F	9604		WOODSONG LN	INDIANAPOLIS	IN	46229
7044069	49-09-08-119-045.000-700	WILSON, THOMASINA	241		LEGENDS CREEK PL	INDIANAPOLIS	IN	46229
7044999	49-09-18-102-031.000-700	LEMUS, FRANCISCO GOMEZ &,MARICELA GOMEZ, &,JOSE FRANCISCO GOMEZ,(JTRS)	8040		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7044092	49-10-13-114-014.000-700	SPEEDWAY LLC,% PROPERTY TAX RECORDS	7805		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7045023	49-09-18-102-055.000-700	DOUGAN, PATRICK D &,DONNA R DOUGAN	8125		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7045026	49-09-18-102-058.000-700	AMH 2014-3 BORROWER LLC,%AMERICAN HOMES 4 RENT,ATTN:PROPERTY TAX DEPARTMENT	8147		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7042359	49-09-08-102-025.000-700	SFR JV 1 2020 1 BORROWER LLC,%TRICOM AMERICAN HOMES LLC	747		TREYBURN GREEN DR	INDIANAPOLIS	IN	46239
7042401	49-09-05-116-021.000-700	WILSON, BERNADETTE	9646		WOODSONG LN	INDIANAPOLIS	IN	46229
7043534	49-09-18-101-017.000-700	IBC MEDICAL DEVELOPMENT,LLC	8150		BROOKVILLE RD	INDIANAPOLIS	IN	46239
7040214	49-10-13-105-011.000-700	BTH RESIDENTIAL LLC	7921		WILLOW WIND CIR	INDIANAPOLIS	IN	46239
7040248	49-10-13-117-012.000-700	FRANKLIN, JANNEL L	7827		BENT WILLOW DR	INDIANAPOLIS	IN	46239
7040793	49-10-13-119-050.000-700	BYERS, JODY E	1946		WINDY HILL LN	INDIANAPOLIS	IN	46239
7040796	49-10-13-119-053.000-700	AMERICAN HOMES 4 RENT PROPERTIES ONE LLC	1928		WINDY HILL LN	INDIANAPOLIS	IN	46239
7041074	49-10-13-107-018.000-700	FULTON, TRISTON &,KAYLA FULTON	7736		WOOD STREAM DR	INDIANAPOLIS	IN	46239
7041109	49-10-13-102-034.000-700	MORTON, WILBUR &,OZELL	7934		LOFTON CT	INDIANAPOLIS	IN	46239
7040130	49-10-13-118-051.000-700	WORD, DAVID &,KAMILAH C,H&W	7608		DANCY DR	INDIANAPOLIS	IN	46239
7041589	49-09-05-101-025.000-700	COX, RONALD R &,SANDRA A LIVING TRUST	9754		WOODSONG WAY	INDIANAPOLIS	IN	46229
7041596	49-10-13-103-003.000-700	ENEIX, JENNIFER J	7549		STOCKARD ST	INDIANAPOLIS	IN	46239
7041622	49-10-13-103-038.000-700	ROBERTSON, MARY PATRICIA	7607		WOOD STREAM DR	INDIANAPOLIS	IN	46239
7041407	49-09-08-115-066.000-700	BANNISTER, KENYATA	626		SWEET CREEK DR	INDIANAPOLIS	IN	46239
7041420	49-09-08-115-044.000-700	STURM, JONATHAN C &,CHRISTINA A	649		SWEET CREEK DR	INDIANAPOLIS	IN	46239
7041658	49-10-13-103-019.000-700	SFR JV 1 2020 1 BORROWER LLC,%TRICOM AMERICAN HOMES LLC	7706		BLUE WILLOW DR	INDIANAPOLIS	IN	46239
7041436	49-09-08-115-048.000-700	VAYKO, KATHLEEN ANNE	610		TREYBURN LAKES WAY	INDIANAPOLIS	IN	46239
7041439	49-09-08-119-117.000-700	NGUYEN, SON VAN	9735		TREYBURN LAKES DR	INDIANAPOLIS	IN	46239
7045875	49-09-18-100-025.000-700	AMH 2014-2 BORROWER LLC,%AMERICAN HOMES 4 RENT,ATTN: PROPERTY TAX DEPARTMENT	8308		EXTON RD	INDIANAPOLIS	IN	46239
7045879	49-09-18-100-021.000-700	WILLIAMS, RICHARD II	8313		CHESTERHILL LN	INDIANAPOLIS	IN	46239
7046352	49-09-18-103-031.000-700	RUBALCAVA, PEDRO &,ERICA H/W	8450		SOTHEBY DR	INDIANAPOLIS	IN	46239
7046487	49-09-08-119-138.000-700	CURTIS, KYRSTEN ANN	9820		LEGENDS CREEK DR	INDIANAPOLIS	IN	46229
7047372	49-09-08-106-002.000-700	EIX PARTNERS LLC	9720		RAWLES AVE	INDIANAPOLIS	IN	46229
7048044	49-10-01-108-015.001-700	EAST WASHINGTON PLAZA,LLC,% CENTRE PROPERTIES	7955	E	WASHINGTON ST	INDIANAPOLIS	IN	46219
7048045	49-10-01-108-015.002-700	EAST WASHINGTON PLAZA,LLC,% CENTRE PROPERTIES	7803	E	WASHINGTON ST	INDIANAPOLIS	IN	46219

**RESOLUTION NO. 2023-E-048
DECLARATORY RESOLUTION OF THE
METROPOLITAN DEVELOPMENT COMMISSION OF
MARION COUNTY, INDIANA, ENLARGING THE BROOKVILLE
ROAD/IRVINGTON PLAZA ECONOMIC DEVELOPMENT AREA
AND THE IRVINGTON – BROOKVILLE ROAD ALLOCATION AREA**

WHEREAS, the Metropolitan Development Commission of Marion County, Indiana, acting as the Redevelopment Commission of the City of Indianapolis, Indiana (“Commission”), organized and acting pursuant to the provisions of Indiana Code 36-7-15.1, as amended (the “Act”), has investigated, studied and surveyed economic development within the consolidated city boundaries of the City of Indianapolis and County of Marion, Indiana (“City”); and

WHEREAS, on March 6, 2019, the Commission adopted its Resolution No. 2019-E-005 (the “Original Declaratory Resolution”) which declared an area of the City an economic development area known as the “Brookville Road/Irvington Plaza Economic Development Area” (the “Original Area”), and approved a development plan for the Original Area (the “Original Plan”) pursuant to the Act; and

WHEREAS, on December 7, 2022, the Commission adopted its Resolution No. 2022-E-053 (the “First Amended Declaratory Resolution” and collectively with the Original Declaratory Resolution, the “Current Declaratory Resolution”) which included an enlarged area (the “First Enlarged Area” and collectively with the Original Area, the “Current Area”) in the Original Area, created the Irvington-Brookville Road Allocation Area (the “Current Allocation Area”) and approved a First Amendment (the “First Plan Amendment” and collectively with the Original Plan, the “Current Plan”) to the Original Plan; and

WHEREAS, a map of the Current Area is attached hereto as Exhibit A, and incorporated herein by reference; and

WHEREAS, the Commission has selected an area as reflected in the map and parcel list in Exhibit B attached hereto (the “Enlarged Area” and collectively with the Current Area, the “Amended Area”), to be included in the Current Area and to be developed pursuant to the Act; and

WHEREAS, a map of the Current Area as expanded to include to the Enlarged Area is attached hereto as Exhibit C and incorporated herein by reference and shall hereafter be referred to collectively as the Brookville Road/Irvington Plaza Economic Development Area; and

WHEREAS, the Commission has determined that the Current Allocation Area be expanded for purposes of Section 26 of the Act in the Area, as reflected on the maps and parcel lists attached hereto as Exhibit D and Exhibit E, respectively and shall hereafter be referred to collectively as the Enlarged Irvington-Brookville Road Allocation Area (the “Enlarged Allocation Area” and collectively with the Current Allocation Area, the “Amended Allocation Area”); and

WHEREAS, the Current Plan is attached hereto as Exhibit F and the Commission has prepared a Second Plan Amendment to the Current Plan (the “Plan Amendment” and collectively with the Current Plan, the “Amended Plan”) attached hereto as Exhibit G; and

WHEREAS, the Commission directed City staff and its municipal advisor to begin the collection of certain data, materials and estimates as required by the Act to expand the Current Allocation Area, and such data, materials and estimates have been assembled and distributed to the Commission; and

WHEREAS, the Commission has caused to be prepared maps and plats showing (i) the new boundaries of the Amended Area, the location of various parcels of property, streets, alleys and other features affecting the acquisition, clearance, replatting, replanning, rezoning or redevelopment of the Amended Area, indicating that all parcels of property in the Amended Area are currently to be excluded from the acquisition list and (ii) the parts of the Amended Area, if any, that are to be devoted to public ways, levees, sewerage, parks, playgrounds, and other public purposes under the Amended Plan; and

WHEREAS, the Commission has caused to be prepared an estimate of the cost of redevelopment of the Amended Area; and

WHEREAS, the Enlarged Allocation Area shall have a base assessment date of January 1, 2023; and

WHEREAS, the amendment of the Current Allocation Area and the supporting data related thereto have been reviewed and considered at this meeting; and

WHEREAS, the Plan Amendment, and supporting data were reviewed and considered by the Commission at this meeting;

WHEREAS, Section 26 of the Act permits the creation and expansion of “allocation areas” to provide for the allocation and distribution of property taxes for the purposes and in the manner provided in said section; and

WHEREAS, Sections 29 and 30 of the Act permit the creation of “economic development areas” and provides all of the rights, powers, privileges and immunities that may be exercised by this Commission in a redevelopment area or urban renewal area may be exercised in an economic development area, subject to the conditions set forth in the Act; and

NOW, THEREFORE, BE IT RESOLVED by the Metropolitan Development Commission of Marion County, Indiana, governing body of the City of Indianapolis Redevelopment District, as follows:

Section 1. The Current Area as reflected in the map in Exhibit A attached hereto and incorporated herein by reference, is hereby amended to include the Enlarged Area as more particularly described and reflected in the map and parcel list in Exhibit B attached hereto and incorporated herein by reference. The Current Area, as hereby expanded to include the Enlarged

Area, shall continue to be designated as the “Brookville Road/Irvington Plaza Economic Development Area” and is hereby reflected in the map attached hereto as Exhibit C.

Section 2. The Commission has previously identified certain parcels within the Current Area in the redevelopment district of the City, which the Commission designated as the Current Allocation Area, and the Commission hereby amends the Current Allocation Area to include new parcels in the Enlarged Allocation Area identified on Exhibit E hereof and the Amended Allocation Area be referred to as the “Enlarged Irvington-Brookville Road Allocation Area.”

Section 3. The Commission finds that the Amended Plan:

- (A) Catalyzes future development in and around Irvington and east side neighborhoods;
- (B) Assists in the promotion of significant opportunities for the gainful employment of the citizens of the City;
- (C) Facilitates funding of infrastructure and other projects that will further the goals set forth in the Amended Plan.
- (D) Assists in the attraction of major new business enterprises to the City;
- (E) Benefits the public health, safety, morals and welfare of the citizens of the City;
- (F) Increases the economic well-being of the City and the State of Indiana; or
- (G) Serves to protect and increase property values in the City and the State of Indiana.

Section 4. The Commission finds that the Amended Plan cannot be achieved by regulatory processes or by the ordinary operation of private enterprise without resort to the powers allowed the Commission under the Act because of:

- (A) The lack of local public improvement necessary to achieve the level of quality of development described in the Amended Plan;
- (B) Existence of improvements or conditions that lower the value of the land below that of nearby land;
- (C) Multiple ownership of land; or
- (D) Other similar conditions, specifically, challenges resulting from existing private party easements and other land conditions.

Section 5. The Commission finds that the accomplishment of the Amended Plan will be of public utility and benefit as measured by:

- (A) The attraction of construction and retention of permanent jobs;
- (B) An increase in the property tax base;
- (C) Improved diversity of the economic base; or
- (D) Other similar benefits, specifically, accomplishment of the Amended Plan will serve as a basis for making future public improvements.

Section 6. The Amended Plan conforms to the comprehensive plan of development for the consolidated city.

Section 7. The current estimated costs to the Commission of implementing the Amended Plan will not exceed approximately \$73,143,811 non-land costs and approximately \$10,000,000 - \$20,000,000 in street, sidewalk and parks projects.

Section 8. The Commission finds that no residents of the Current Area will be displaced by any project resulting from the Amended Plan, and, therefore, the Commission finds that it does not need to give consideration to transitional and permanent provisions for adequate housing for the residents.

Section 9. In support of the findings and determinations set forth in Section 1 through 8 above, the Commission hereby adopts the specific findings set forth in the Amended Plan.

Section 10. The Commission does not at this time propose to acquire any specific parcel of land or interests in land within the boundaries of the Amended Area. If at any time the Commission proposed to acquire specific parcels of land, the required procedures for further amending the Amended Plan under the Act will be followed, including notice by publication and to affected property owners and a public hearing.

Section 11. The Amended Allocation Area described in Exhibit D and Exhibit E is hereby designated as an “allocation area” pursuant to Section 26 of the Act to be known as the “Enlarged Irvington – Brookville Road Allocation Area” for purposes of the allocation and distribution of property taxes for the purposes and in the manner provided by Section 26 of the Act. Any taxes imposed under IC 6-1.1 on real property subsequently levied by or for the benefit of any public body entitled to a distribution of property taxes on taxable property in the Allocation Area shall be allocated and distributed in accordance with Section 26 of the Act as follows:

Except as otherwise provided in Section 26, the proceeds of taxes attributable to the lesser of the assessed value of the property for the assessment date with respect to which the allocation and distribution is made, or the base assessed value, shall be allocated to and when collected paid into the funds of the respective taxing units. Except as otherwise provided in said Section 26, property tax proceeds in excess of

those described in the previous sentence shall be allocated to the redevelopment district and when collected paid into an allocation fund for the Allocation Area hereby designated as the “Enlarged Irvington – Brookville Road Allocation Fund” and may be used by the redevelopment district to do one or more of the things specified in Section 26(b)(3) of the Act, as the same may be amended from time to time. Said allocation fund may not be used for operating expenses of this Commission. Except as otherwise provided in the Act, before June 15 of each year, the Commission shall take the actions set forth in Section 26(b)(4) of the Act.

Section 12. The base assessment date of the Enlarged Allocation Area shall be January 1, 2023.

Section 13. The Current Plan is hereby amended by the Plan Amendment, and the Amended Plan is shown in Exhibit F and Exhibit G attached hereto and incorporated herein by reference.

Section 14. The Commission hereby finds that it will be of public utility and benefit to further amend the Current Plan in conformance with this Resolution. Therefore, the Current Plan is hereby amended by the Plan Amendment to continue to redevelop the entire Current Area and make other amendments in the Current Plan, subject to the hearings and further approvals required by the Act.

Section 15. The Commission finds that the current assessed value for the Enlarged Allocation Area is \$6,381,700 and the estimated annual tax increment revenue applicable to such property is unknown at this time but are expected to increase once the projects that the Commissions knows are under construction or planned are fully completed and assessed.

Section 16. The amendments hereby made to the Current Plan are reasonable and appropriate when considered in relation to the Current Area and the Current Allocation Area, and the purposes of the Act.

Section 17. The provisions of this resolution shall be subject in all respects to the Act and any amendments hereto and the allocation provision herein relating to the Enlarged Allocation Area shall expire on the date that is twenty-five (25) years after the date on which the first obligation is incurred to pay principal and interest on bonds or lease rentals on leases payable from tax increment revenues derived in the Enlarged Allocation Area. The Commission shall notify the Indiana Department of Local Government Finance of the designation of the Enlarged Allocation Area as an allocation area.

Section 18. The Commission shall cause to be prepared a statement disclosing the impact of the Enlarged Allocation Area, including the following:

- (A) The estimated economic benefit and costs incurred by the Enlarged Allocation Area, as measured by increased employment and anticipated growth of real property, personal property and inventory assessed values; and

- (B) The anticipated impact on tax revenues of each taxing unit that is either wholly or partly located within the Enlarged Allocation Area. A copy of this statement shall be forwarded to each such taxing unit with a copy of the notice required under Section 10 of the Act at least ten (10) days before the date of the public hearing described in Section 14 of this resolution.

Section 19. This resolution and the Amended Plan shall be submitted to the City-County Council of the City and Marion County, Indiana (the “City-County Council”) for its approval of the Amended Plan and the establishment of the Enlarged Allocation Area as provided in the Act.

Section 20. The Commission hereby directs the presiding officer of the Commission, after receipt of approval by the City-County Council, to publish notice of the adoption and substance of this resolution in accordance with IC 5-3-1-4 and to file notice with the office of the Commission, board of zoning appeals, works board, park board, and any other departments, bodies or officers of the City having to do with planning, zoning variances, land use or the issuance of building permits. The notice must state that maps and plats have been prepared and can be inspected at the office of the City’s department of redevelopment and must establish a date when the Commission will receive and hear remonstrances and objections from persons interested in or affected by the proceedings and will determine the public utility and benefit of the proposed project.

Section 21. The Commission further directs the presiding officer to submit this resolution to the City-County Council for its approval of the establishment of the Amended Allocation Area.

Section 22. All resolutions and parts of resolutions in conflict herewith are hereby repealed. The Current Declaratory Resolution is hereby amended to incorporate the provisions of this resolution, including specifically the expansion of the Current Allocation Area, the addition of the Thunderbird/English Avenue Irvington Project (as described in the Plan Amendment) and other amendments in the Amended Plan, and the creation of the Amended Allocation Area. The provisions of the Current Declaratory Resolution, not amended hereby, shall remain in full force and effect.

Section 23. The amendments hereby made to the Current Declaratory Resolution are reasonable and appropriate when considered in relation to the amendment of the Current Area, the Current Plan, the Current Allocation Area and the purposes of the Act.

Section 24. If any section, paragraph or provision of this resolution shall be held to be invalid or unenforceable for any reason, the invalidity or unenforceability of such section, paragraph or provision shall not affect any of the remaining provisions of this resolution.

Section 25. This resolution shall be effective as of its date of adoption.

ADOPTED AND APPROVED at a meeting of the Metropolitan Development Commission of Marion County, Indiana, held on December 20, 2023, 1:00 p.m. at the City-County Building, 2nd floor, Public Assembly Room (Room 230), Indianapolis, Indiana.

METROPOLITAN DEVELOPMENT COMMISSION OF
MARION COUNTY, INDIANA, acting as the
Redevelopment Commission of the City of Indianapolis,
Indiana

John J. Dillon III, President

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.

/s/ Scott A. Krapf

Scott A. Krapf
Frost Brown Todd LLP

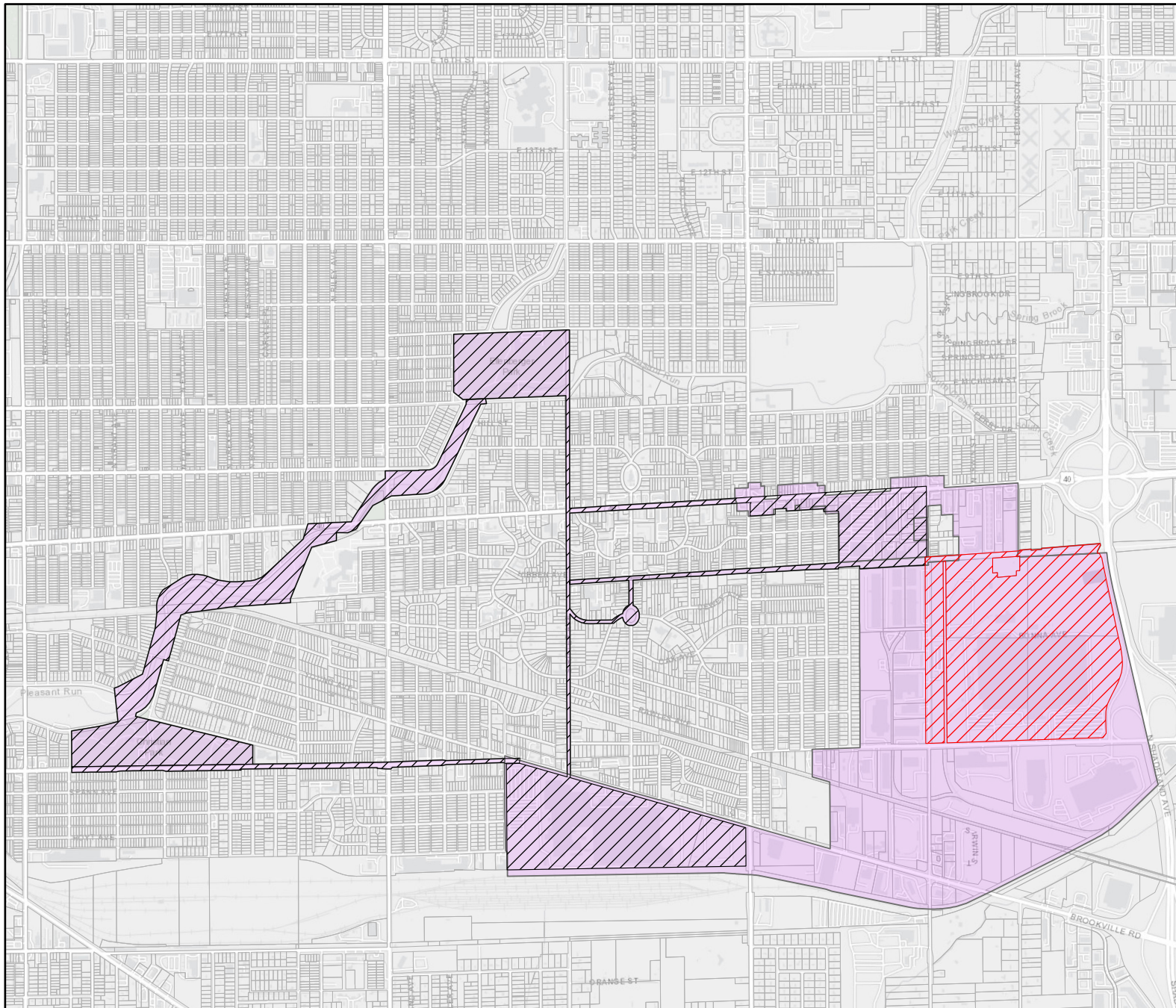
This Resolution prepared by Scott A. Krapf, Frost Brown Todd LLP, 111 Monument Circle, Suite 4500, Indianapolis, Indiana 46244-0961.

EXHIBIT A
CURRENT AREA MAP

Brookville Road/Irvington Plaza TIF

Item 5.

Proposed Allocation Area

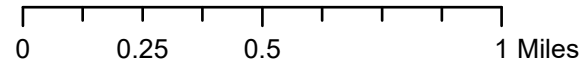


 Irvington Plaza Allocation Area

 Proposed Irvington Plaza Allocation Area Expansion

 Parcels

 Brookville Road/Irvington Plaza EDA



Date: 12/4/2023

Version: 3.1

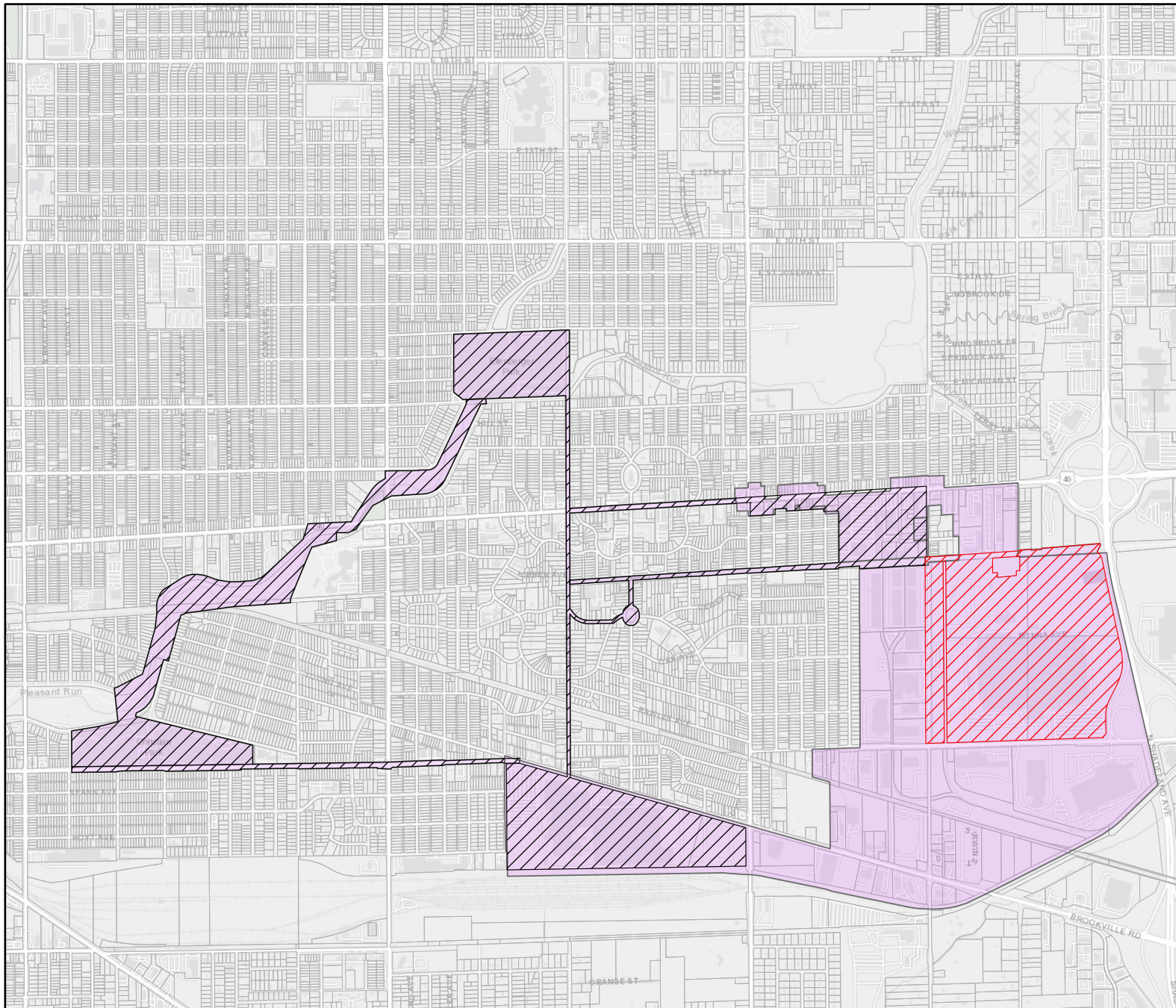
EXHIBIT B

ENLARGED AREA MAP AND PARCEL LIST


Brookville Road/Irvington Plaza TIF

Item 5.


Proposed Allocation Area



 Irvington Plaza Allocation Area

 Proposed Irvington Plaza Allocation Area Expansion

 Parcels

 Brookville Road/Irvington Plaza EDA

0 0.25 0.5 1 Miles

Date: 12/4/2023

Version: 3.1

City of Indianapolis, Esri, HERE, Garmin, USGS, EPA, NPS

ENLARGED AREA PARCEL LIST

7035074
7047776
7047777
7047778
7047779

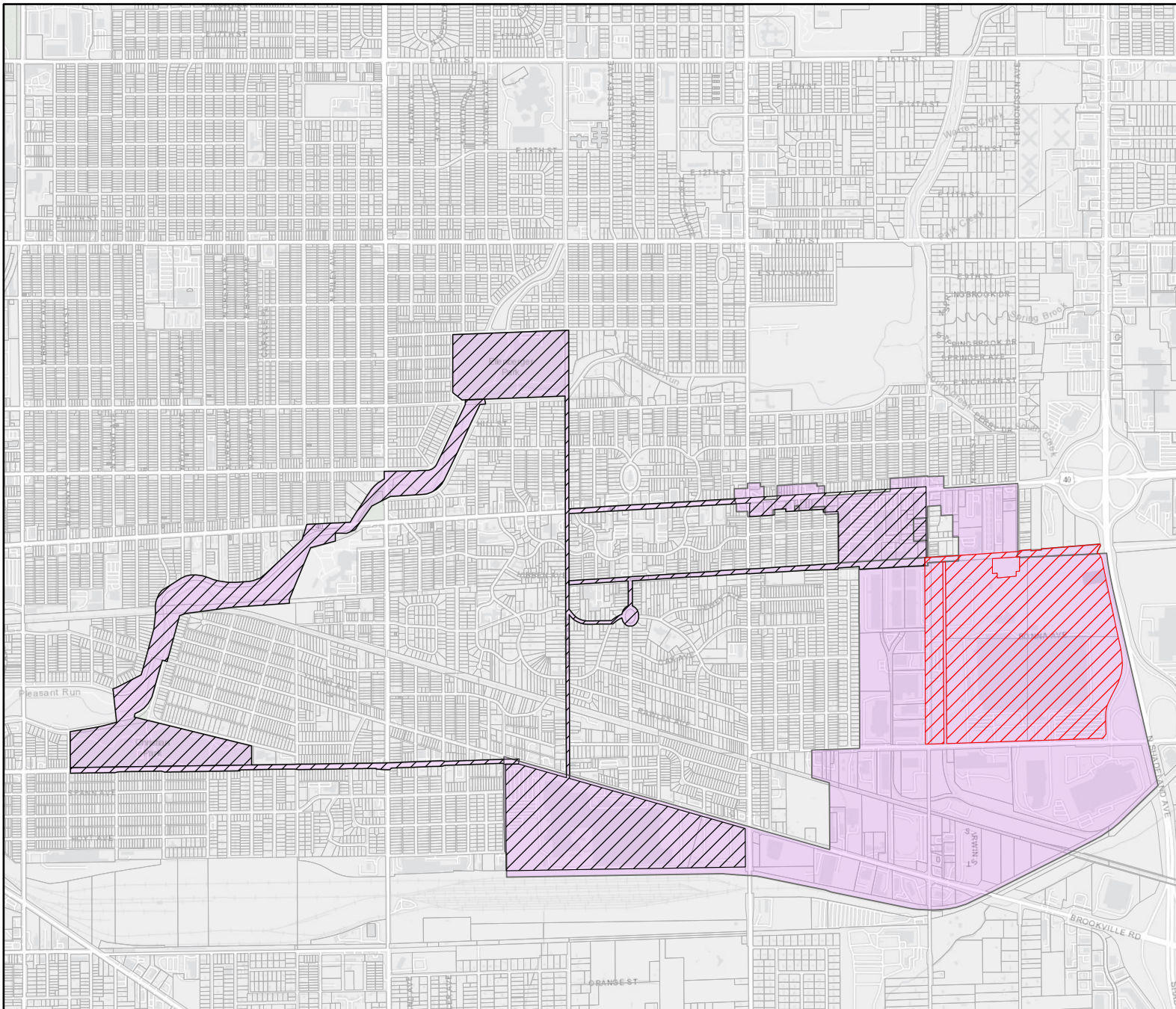
EXHIBIT C

CURRENT AREA AND ENLARGED AREA MAP


Brookville Road/Irvington Plaza TIF

Item 5.

Proposed Allocation Area

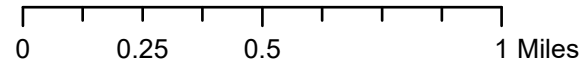


 Irvington Plaza Allocation Area

 Proposed Irvington Plaza Allocation Area Expansion

 Parcels

 Brookville Road/Irvington Plaza EDA



Date: 12/4/2023

Version: 3.1

City of Indianapolis, Esri, HERE, Garmin, USGS, EPA, NPS

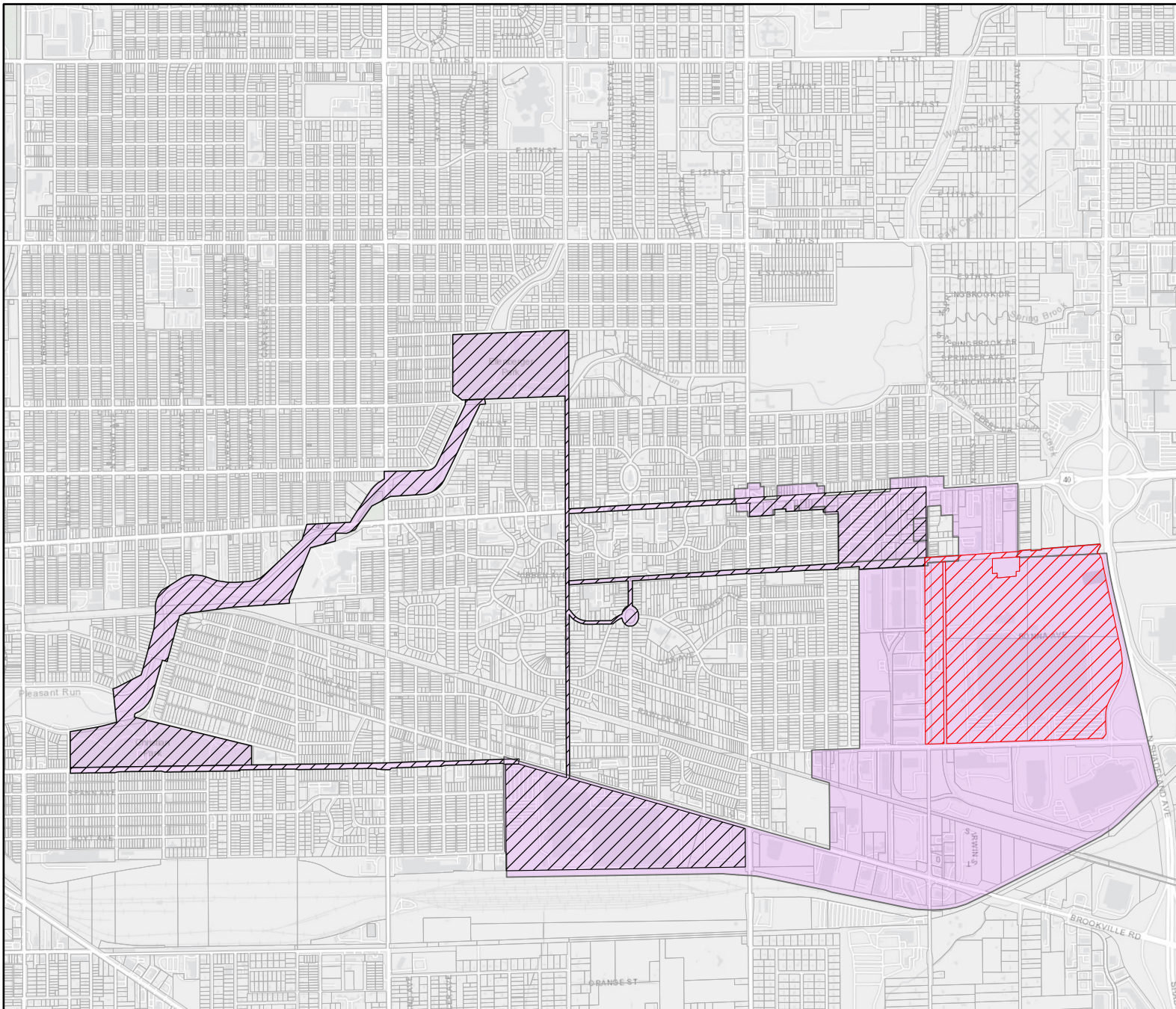
EXHIBIT D

CURRENT ALLOCATION AREA MAP AND PARCEL LIST

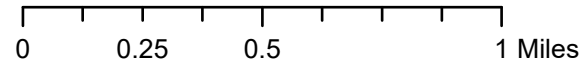
Brookville Road/Irvington Plaza TIF


Item 5.

Proposed Allocation Area



 Irvington Plaza Allocation Area



 Proposed Irvington Plaza Allocation Area Expansion

 Parcels

 Brookville Road/Irvington Plaza EDA

Date: 12/4/2023

Version: 3.1

IRVINGTON PLAZA ALLOCATION AREA

Local Parcel No.	State Parcel No.	Owner Name	Parcel Address
1097681	49-10-09-172-001.000-101		4230 ENGLISH AVE
7012022	49-10-02-110-096.000-701	MARR WILLIAM E	6053 WASHINGTON ST
7012959	49-10-02-110-002.000-701	YOUNG GORUP LLC	6201 WASHINGTON ST
7010343	49-10-10-186-003.000-701	AOZI BROOKVILLE LLC	5565 BROOKVILLE RD
7011707	49-10-02-110-010.000-701	ST JOHN JUSTIN W	22 SHERIDAN AVE
7012016	49-10-02-110-157.000-701	SENTINEL PROPERTY GROUP LLC	6101 WASHINGTON ST
7011215	49-10-02-110-156.000-701	A-1 GLASS BLOCK INC	6107 WASHINGTON ST
7012892	49-10-02-110-100.000-701	NIMRI BISHAR	6033 WASHINGTON ST
7012783	49-10-10-186-004.000-701	AOZI BROOKVILLE LLC	5565 BROOKVILLE RD
7013088	49-10-02-110-164.000-701	EAST WASHINGTON	6005 WASHINGTON ST
7012123	49-10-02-111-044.000-701	MANSFIELD KING LLC	6501 JULIAN AVE
7011396	49-10-02-110-011.000-701	SENTINEL PROPERTY GROUP LLC	6117 WASHINGTON ST
7011896	49-10-02-110-095.000-701	READLE JOHN H	16 CATHERWOOD AVE
7012393	49-10-02-110-009.000-701	SEGOVIA MARIA	6113 WASHINGTON ST
7012395	49-10-02-111-030.000-701	SPEARS RICHARD A	84 KITLEY AVE
7012396	49-10-02-111-028.000-701	GRAFF MICHAEL A &	86 KITLEY AVE
7012397	49-10-02-111-027.000-701	HOFFMEYER KENNETH K	88 KITLEY AVE
7012857	49-10-10-186-010.000-701	AOZI BROOKVILLE LLC	5565 BROOKVILLE RD
7012866	49-10-02-110-043.000-701	THE PILGRIM HOLINESS CHURCH OF INDIANAPOLIS	6031 WASHINGTON ST
7012263	49-10-02-111-039.000-701	IRVINGTON COMMUNITY SCHOOL INC	6500 JULIAN AVE
7012399	49-10-02-111-031.000-701	SPANGLER DONNA &	6502 JULIAN AVE
7012273	49-10-02-111-009.000-701	SOUTHERN EQUITY & ASSET TRUST LLC	75 KENYON ST
7013137	49-10-02-110-097.000-701	YOUNG GROUP LLC	6049 WASHINGTON ST
7012251	49-10-02-111-008.000-701	NATIONAL RETAIL PROPERTIES LP	6501 WASHINGTON ST
7012255	49-10-02-111-006.000-701	AREC RW MS LLC	6525 WASHINGTON ST
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7009464	49-10-02-111-026.000-701	SEXSON PAUL E	80 KITLEY AVE
7009462	49-10-02-111-022.000-701	ARGUETA MARIA F	74 KITLEY AVE
7010215	49-10-03-227-004.000-701		5301 ST CLAIR ST
7003982	49-10-10-186-015.000-701	AOZI BROOKVILLE LLC	5505 BROOKVILLE RD
7015303	49-10-02-111-032.000-701	DUNGAN VELMA	82 KITLEY AVE
7027869	49-10-02-111-044.002-701	SOUTHERN EQUITY &	75 KENYON ST
7019213	49-10-02-110-001.000-701		15 SHERIDAN AVE
7018766	49-10-02-122-006.000-701	H&S GOLD LLC	6433 WASHINGTON ST
7020900	49-10-02-122-003.000-701	IRVINGTON PLAZA	6243 WASHINGTON ST
7036614	49-10-10-118-004.000-701	UP THE PUNX LLC	201 AUDUBON RD
7039227	49-10-01-115-002.000-700		155 ARLINGTON AVE
7034596	49-10-02-122-007.000-701	MANSFIELD KING LLC	6455 WASHINGTON ST
7036079	49-10-10-118-003.000-701	LATHROP KEVIN J &	135 AUDUBON RD
7036016	49-10-10-187-002.000-701	AOZI BROOKVILLE LLC	5955 BROOKVILLE RD
7036194	49-10-02-111-021.000-701	SOUTHERN EQUITY & ASSET TRUST LLC	75 KENYON ST
7037765	49-10-10-118-001.000-701		140 AUDUBON RD
7036078	49-10-10-118-006.000-701		203 GOOD AVE
7036080	49-10-10-118-005.000-701		5750 BONNA AVE
7036152	49-10-10-118-002.000-701		5543 BONNA AVE
7045966	49-10-02-111-044.003-701	REHILL OLGA	85 KENYON ST

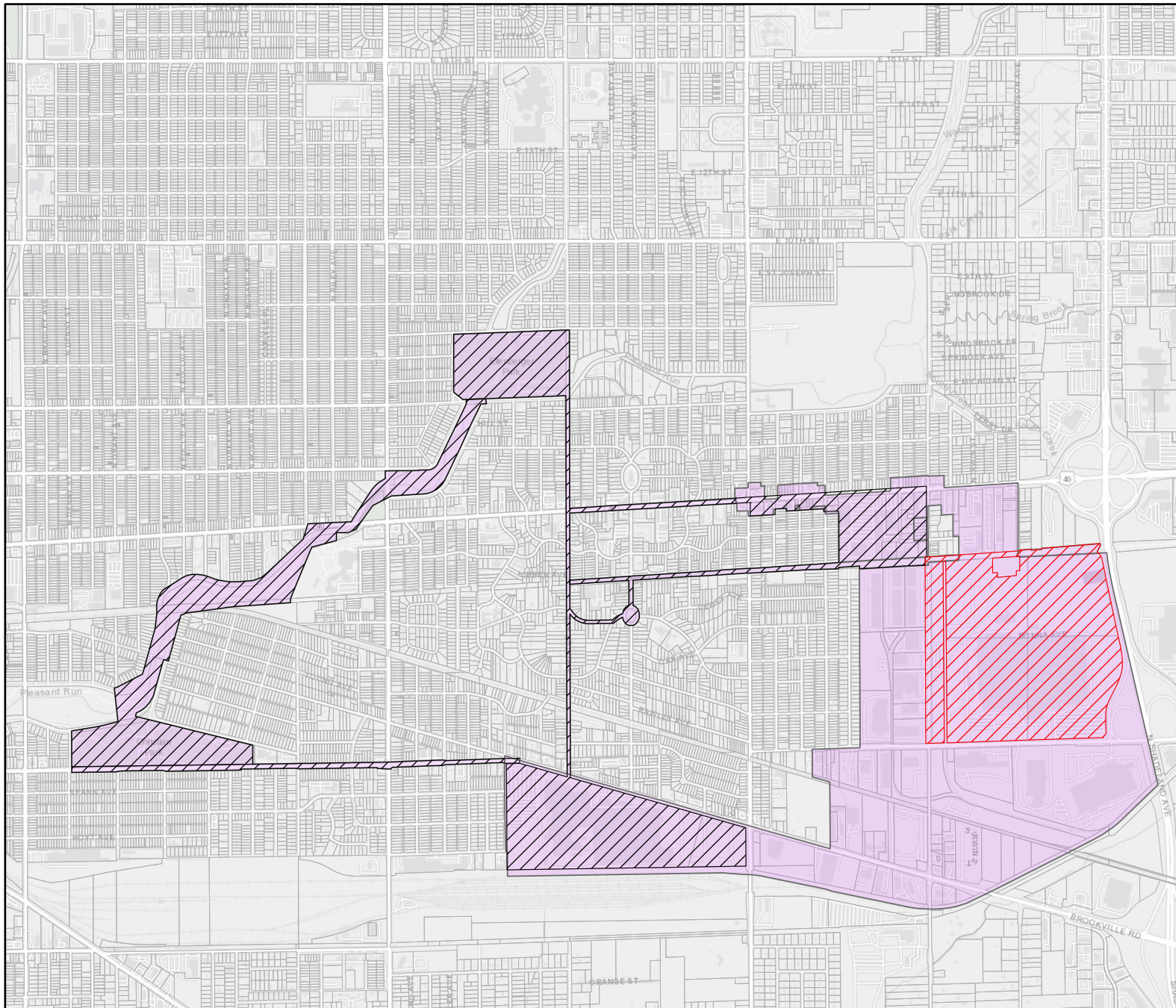
EXHIBIT E

ENLARGED ALLOCATION AREA MAP AND PARCEL LIST


Brookville Road/Irvington Plaza TIF

Item 5.

Proposed Allocation Area

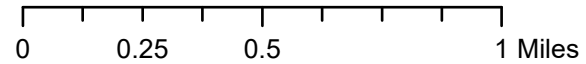


 Irvington Plaza Allocation Area

 Proposed Irvington Plaza Allocation Area Expansion

 Parcels

 Brookville Road/Irvington Plaza EDA



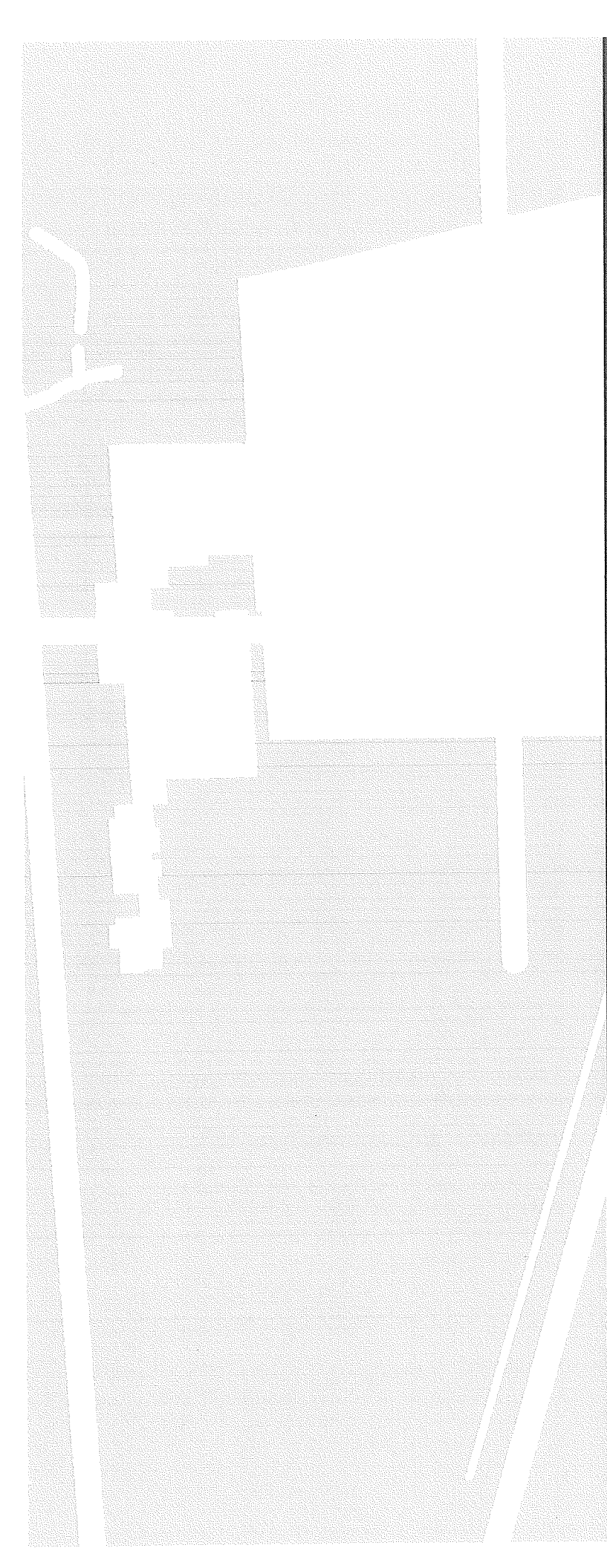
Date: 12/4/2023

Version: 3.1

ENLARGED ALLOCATION AREA PARCEL LIST

7035074
7047776
7047777
7047778
7047779

EXHIBIT F
CURRENT PLAN



BROOKVILLE ROAD INDUSTRIAL CORRIDOR/IRVINGTON PLAZA

ECONOMIC DEVELOPMENT AREA

**PREPARED BY THE CITY OF INDIANAPOLIS
DEPARTMENT OF METROPOLITAN DEVELOPMENT
ADOPTED BY THE METROPOLITAN DEVELOPMENT COMMISSION
DECLARATORY RESOLUTION 2019-E-003 EXHIBIT A | 3/6/2019**

ABOUT THIS PLAN

This plan describes the need for a Brookville Road Industrial Corridor/Irvington Plaza Economic Development Area (EDA).

The area within the EDA was once an important manufacturing center in eastern Indianapolis. However, the area has suffered for a number of years from closed factory buildings and lack of investment in a number of area properties. The overall condition of properties within the EDA harms neighboring businesses and residential areas, and normal economic activity cannot take place without additional government action.

Designation as an EDA is an important step in helping the area attract new investment and in increasing area employment and the county's tax base.

This plan contains documentation of existing conditions, descriptions of factors that pose challenges to the economic development of the area, and assets valuable for future revitalization.

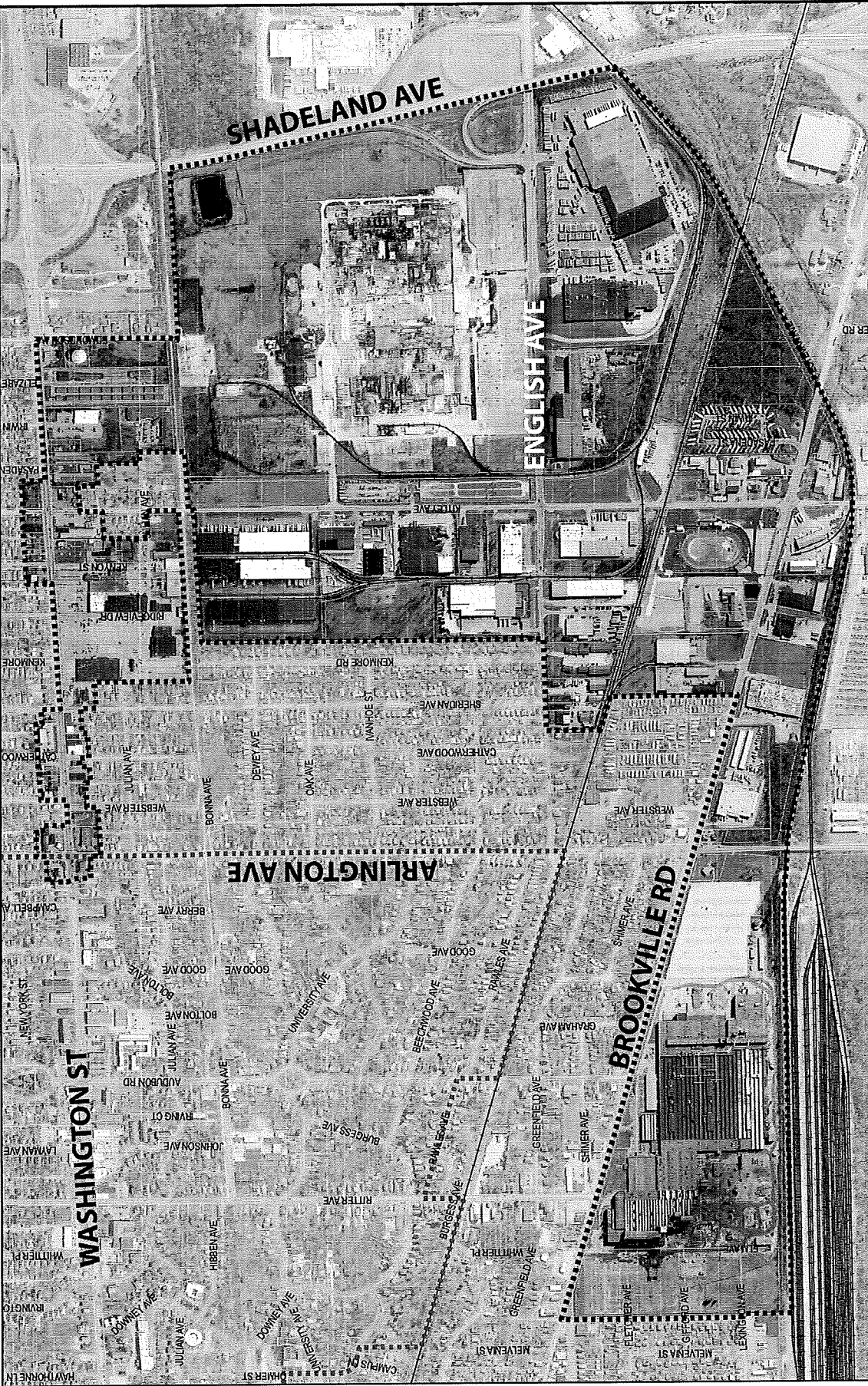
AREA BACKGROUND

Conditions in the Brookville Road Industrial Corridor/Irvington Plaza EDA reflect two important development trends that occurred on the eastside of Indianapolis during the last century: 1) suburban commercial development as exists along Washington St and 2) suburban industrial development such as the former Ford and Navistar plants that located close to rail lines and roadway interchanges at the periphery of the then urbanized area. In their peak production eras, the Ford plant and the Navistar engine plant and foundry employed thousands of workers.

Commercial uses originally flocked to the area due to growth in the east side, relatively high incomes of nearby residents, and excellent accessibility to the surrounding region provided by Washington St., Interstate 465, and the Shadeland Avenue Expressway. Eastgate Mall, located north of Washington St, was a major shopping destination. Washington Square Mall, approximately three miles further east, became an even greater draw. Irvington's historic commercial district is west of the proposed EDA and is centered on Washington St. and Audubon Ave.

In recent years, however, economic trends have shifted so as to challenge the viability of many businesses in the area. As a result, a number of developments such as Irvington Plaza are significantly vacant, and other sites such as the former Ford and Navistar plants are completely vacant. Factors that contributed to the economic decline of the area include competition from nearby areas and changes in customer shopping habits that have dealt blows to many traditional retail service providers.

Mirroring national trends, industry has suffered as companies have restructured or moved operations as a result of globalization and automation. Ford and Navistar have reduced the number of their U.S. plants and employees, including here in Indianapolis. Navistar closed its engine plant in 2009 and then closed its foundry in 2015. Ford closed its plant in 2011.



BROOKVILLE ROAD INDUSTRIAL CORRIDOR / IRVINGTON PLAZA EDAs

Brookville Road Industrial Corridor / Irvington Plaza EDAs Boundary

 Irvington Historic District

0
 0.125
 0.25 Miles



ECONOMIC DEVELOPMENT AREA PARCELS

The parcels that are included in the Brookville Road Industrial Corridor/ Irvington Plaza Economic Development Area are defined by the parcel numbers included on this page.

7003466	7012251	7015768	7023880	7033476	7006056	7030778	7012402	7012016	7023786
7003982	7029777	7003146	7017751	7009731	7031302	7030781	7012022	7011723	7010164
7023044	7000119	7010735	7010431	7009502	7006057	7006599	7019152	7008804	7014156
7010095	7035074	7034596	7022768	7010413	7038940	7030777	7040923	7012998	7008956
7045081	7027668	7005465	7005470	7045966	7005311	7030779	7012263	7023871	7011878
7023045	7003241	7012871	7031303	7025846	7010437	7030780	7012826	7025848	7008506
7032250	7023177	7012783	7012959	7023397	7019213	7045082	7012661	7012866	7027669
7035874	7003145	7012656	7008511	7031484	7021660	7008362	7011124	7019940	7022959
7018766	7012399	7005466	7023253	7036016	7035871	7006590	7027831	7011396	7004046
7036394	7000034	7046296	7007026	7009224	7035871	7046294	7010736	7029512	7011785
7020900	7027670	7031217	7023140	7012273	7001561	7029842	7012357	7034213	7012255
7020885	7012123	7005464	7011716	7031557	7009743	7034236	7019689	7013137	7015931
7025547	7005467	7010343	7008392	7014445	7036194	7004920	7012393	7029112	7006588
7030251	7027869	7012857	7012154	7035075	7005476	7041452	7010869	7013088	7018699
7022161	7023178	7033475	7040922	7020841	7005330	7011215	7012892	7014393	

THE SURROUNDING AREA

The Brookville Road Industrial Corridor/Irvington Plaza EDA is adjacent to established residential areas to the northern, southern, and western sides.

Though few properties within the EDA are located within a local historic district, the EDA is adjacent to the Irvington Historic Area. There are a number of individually listed National Register properties nearby as well as other notable historic properties.

Data shown in the table on this page is taken from the IndyVitals Data Portal. It includes selected data that compares the three neighborhood areas in and around the EDA to that of Marion County. In particular, the housing density in the Irvington Neighborhood Area is significantly higher than Marion County; redevelopment of the EDA would give people in this higher density area greater opportunities.

TRANSPORTATION

The EDA has excellent motor vehicle access to both downtown Indianapolis and the surrounding area. Washington St. connects to downtown, and both Washington St. and Brookville Rd. have access ramps onto the interstate. Kitley Ave. is an important north-south collector street through the area. Shadeland Expressway and Interstate 465 are immediately east of the proposed EDA, with interchanges at Washington St, English Ave, and Brookville Rd.

The Indianapolis Public Transportation Corporation (IndyGo) provides bus service in the area. The Blue Bus Rapid Transit (BRT) line is planned to replace existing bus service along Washington Street, with stations planned at Ridgeview Dr./Irvington Plaza and Arlington Ave.

The Penny Trail extends west and east of the area in the right-of-way of the former Pennsylvania Railroad line along the southern side of Irvington Plaza and the northern side of the Ford property.

Two CSX rail lines are in the southern portion of the proposed EDA - a CSX through line and a CSX rail connection to the Hawthorne Rail Yard (along the southern side of the Navistar site). A number of industrial sites have rail spurs including the Ford site and the Kitley Industrial Park (on South Kitley west of Ford).

Table 1. Median Household Income, Unemployment Rate, Housing Density, and Housing Cost Burdened for the Brookville Road Industrial Corridor/Irvington Plaza Neighborhoods and Marion County (2010-2017)

	Irvington	Southeast	East Gate	Marion County
Median Household Income	\$48,900	\$52,200	\$40,300	\$43,400
Unemployment Rate	7%	8%	7%	9%
Housing Density (Units/Acre)	3.1	.7	1.6	1.6
Housing Cost Burdened	29%	23%	40%	34%

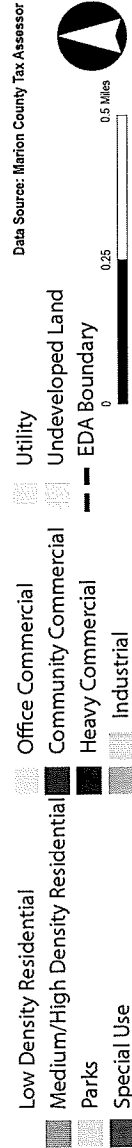
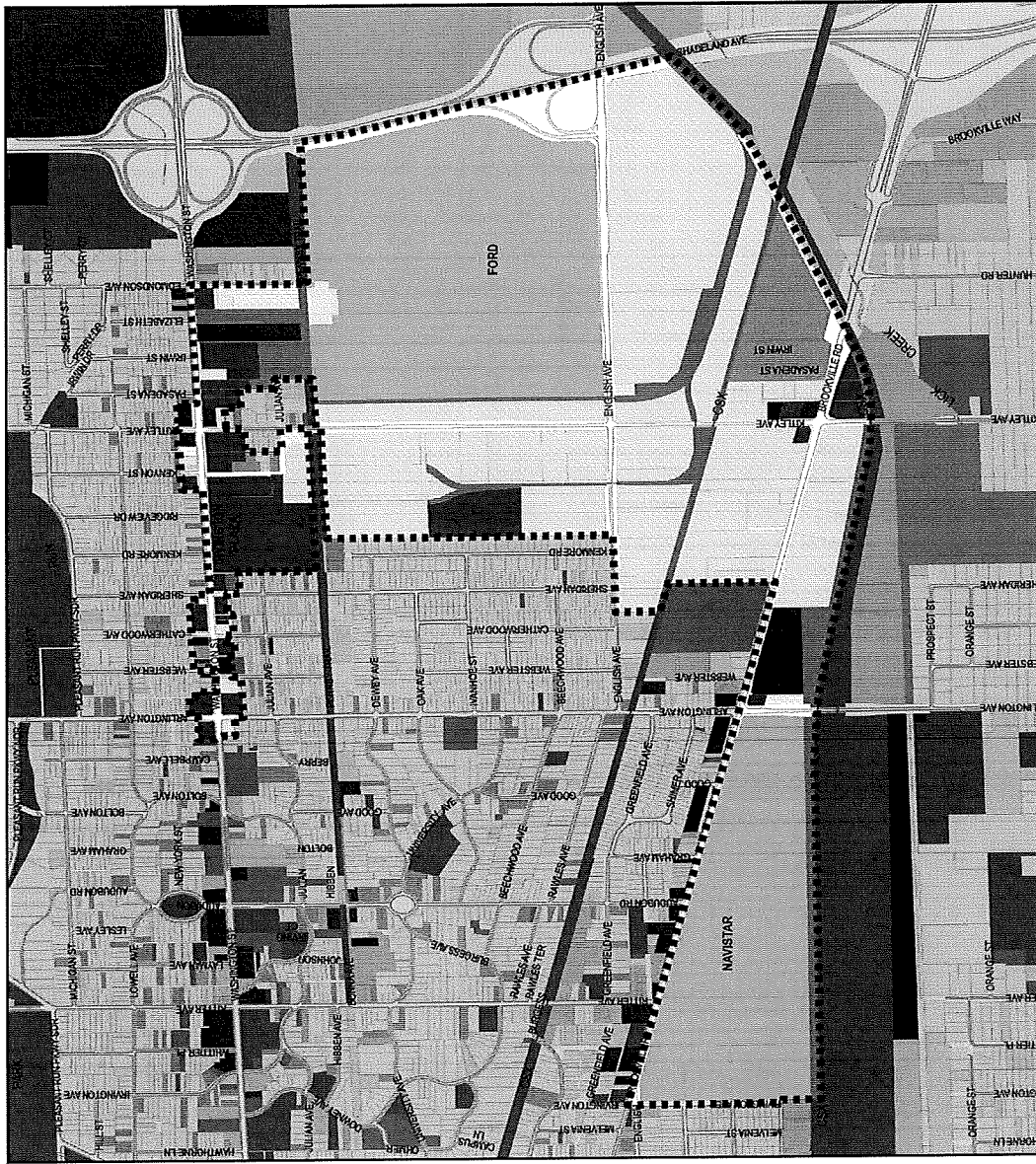
Data Source: IndyVitals Data Portal (indyvitals.org)

EXISTING LAND USE

The EDA covers 650.9 gross acres (including public rights-of-way) and 581.8 net acres (which includes all parcels and parts of the Penny Rail-Trail greenway and railroad lines).

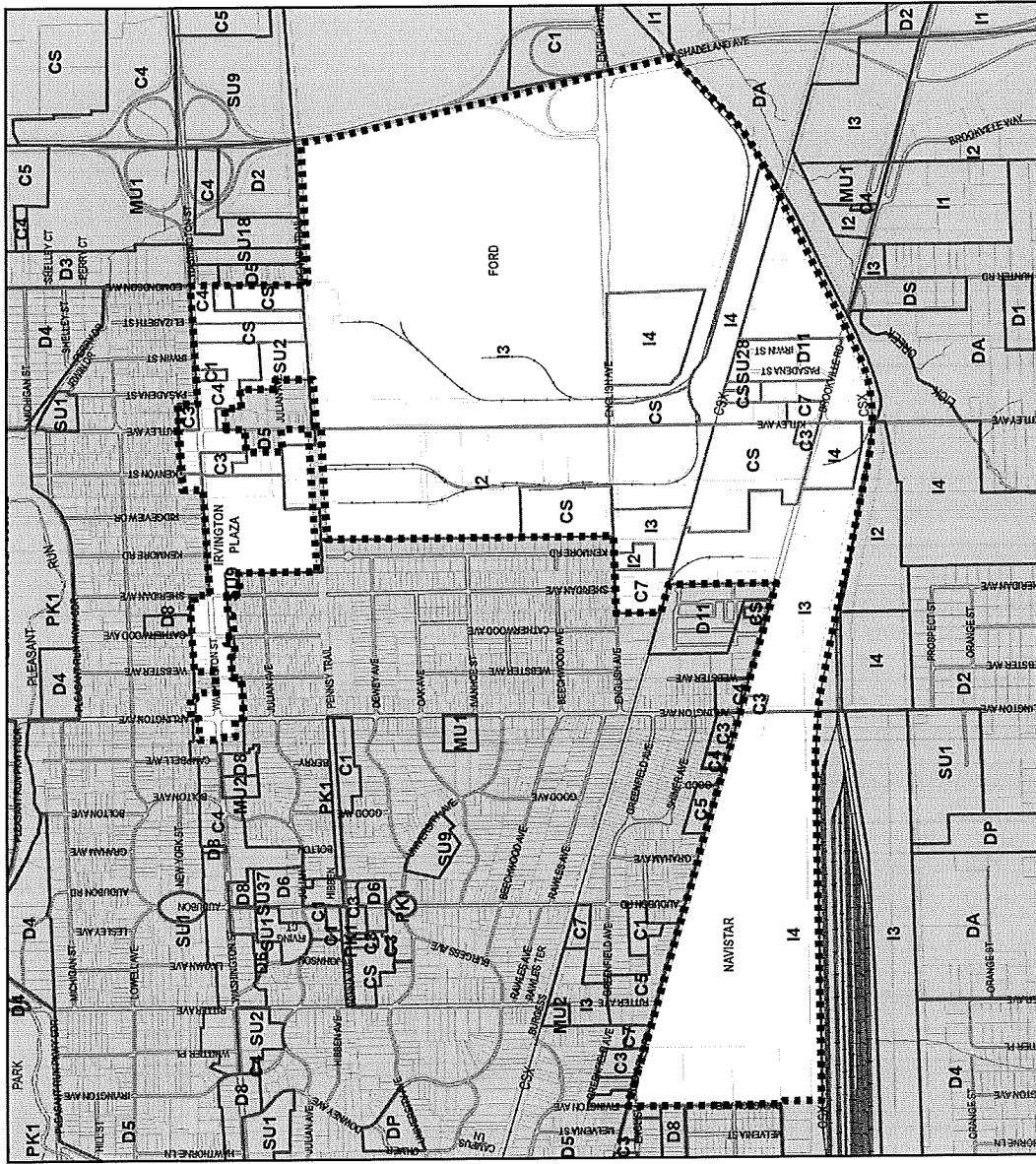
The existing land use map shows conditions without regard to occupancy. As such, a majority of the land in the EDA is classified as industrial, and land along Washington St is classified as commercial.

However, the Ford and Navistar sites are vacant, and the Irvington Plaza site is largely underutilized. If these parcels were classified as vacant as opposed to their former use, vacant land would account for 46.95% of the land in the EDA.



EXISTING ZONING

Industrial zoning in the proposed EDA is I2 (Light Industrial), I3 (Medium Industrial), or I4 (Heavy Industrial). The former Ford site is zoned I3, and the former Navistar site is zoned I4 (Navistar included the foundry). C7 (Commercial/Industrial uses) can include heavy commercial uses such as contractors. C5 (Special Commercial) also can have industrial or heavy commercial uses permitted. Irvington Plaza is zoned C4 and permits uses typically found in a shopping center.



- D** Dwelling Districts
- C** Commercial Districts
- I** Industrial Districts
- MU** Mixed-Use Districts
- SU** Special Use Districts
- PK** Park Districts
- EDA Boundary



EVIDENCE OF NEED FOR ECONOMIC DEVELOPMENT

The following section contains analyses that confirm the need for an Economic Development Area within the Brookville Road Industrial Corridor/Irvington Plaza area.

ESTABLISHING AN ECONOMIC DEVELOPMENT AREA

Indiana state law allows the Metropolitan Development Commission (MDC) to establish an EDA if it finds that doing so will help:

- Promote significant opportunities for gainful area employment,
- Attract major new business enterprises to the area, and
- Retain or expand a significant business enterprise existing in the boundaries of the area.

Additionally, state law allows the MDC to establish an EDA if it finds that the area's revitalization cannot be achieved by regulatory processes or by the ordinary operation of private enterprise because of conditions such as the following:

- Lack of local public improvement,
- Existence of improvements or conditions that lower the value of the land below that of nearby land, or
- Multiple ownership of land.

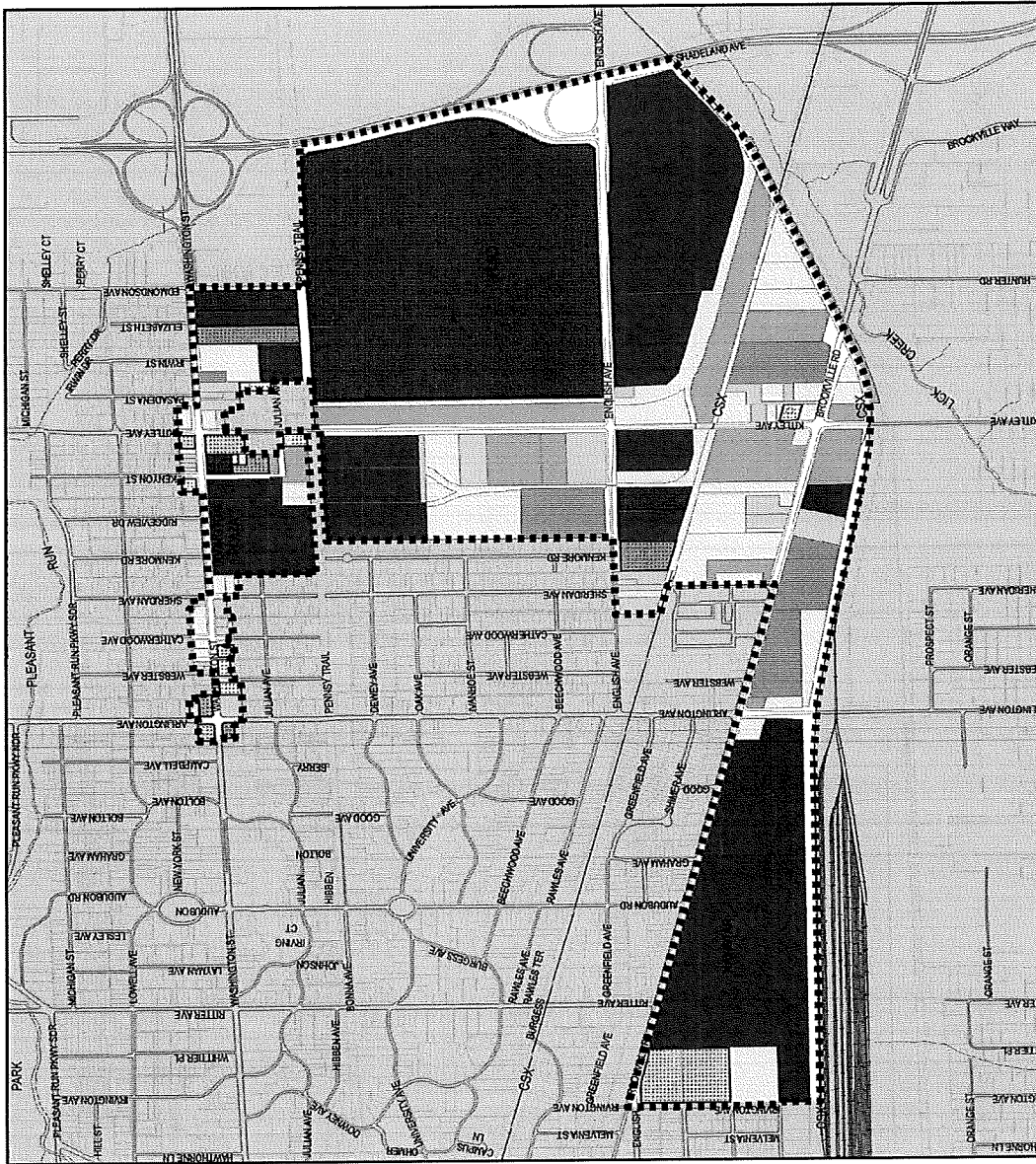
EDA projects that would be stimulated in part by the designation of the EDA will help:

- Attract or retain permanent jobs,
- Increase the property tax base, and
- Improve the diversity of the economic base.

ASSESSED VALUE CHANGES

Since 2008, the assessed value for many properties within the Brookville Road Industrial Corridor/Irvington Plaza EDA have significantly decreased. This map shows changes in value that occurred between 2008 and 2018.

During this period, the assessed value for the former Ford plant site is down \$19,899,800, and the assessed value for the former Navistar site is down \$11,441,900. The assessed value for Irvington Plaza is also down \$404,900.



Greater Than -\$250,000
 -\$250,000 to -\$100,000
 \$1 to \$100,000
 Greater Than \$100,000
 Indicates parcel boundaries have changed since 2008;
 color indicates assessed value change for overall shaded area rather than for each individual parcel
 EDA Boundary

Data Source: Marion County Tax Assessor



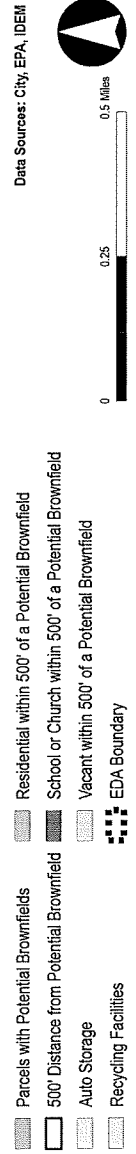
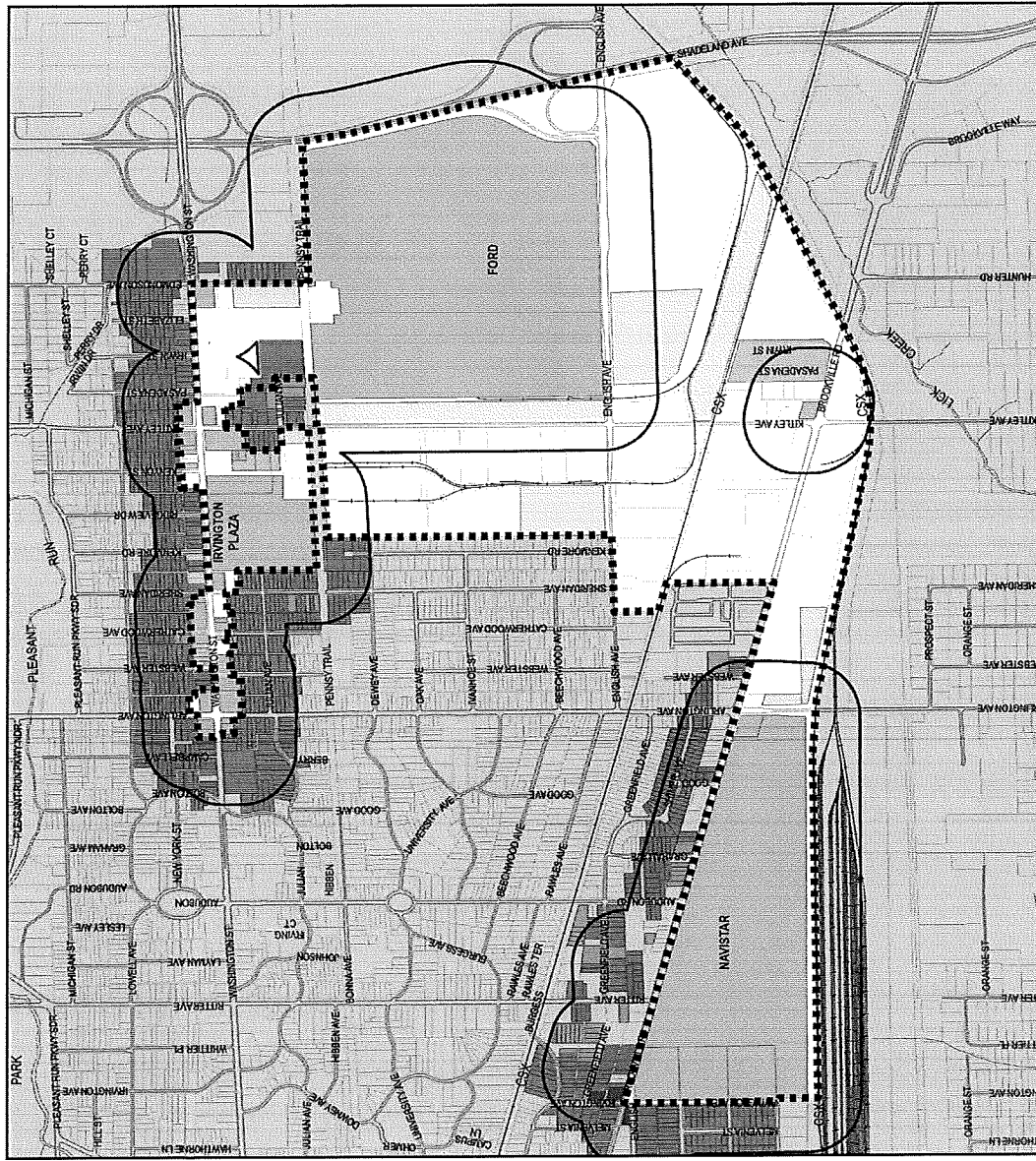
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0.25

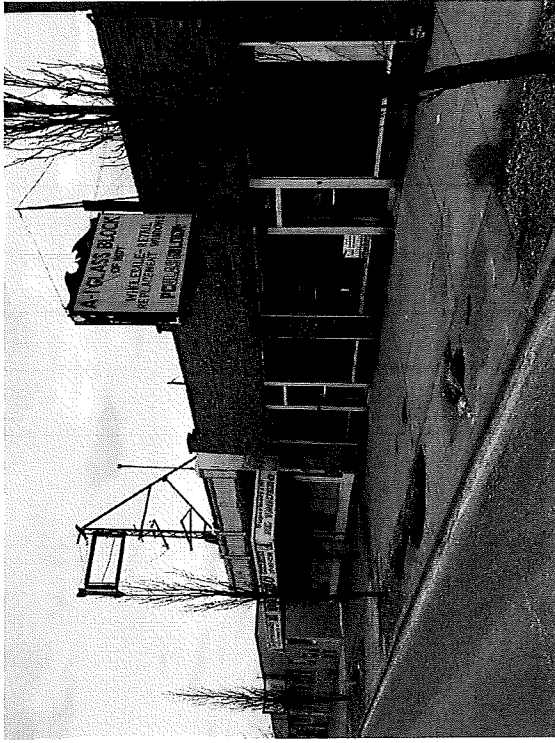
POTENTIAL BROWNFIELDS

Though no comprehensive survey has been conducted, there are a number of potential brownfields in the area which will need to be investigated further. This map shows parcels that have potential brownfields as well as residential, school, church, or vacant parcels within 500 feet. The data used for this map predates when the Ford plant closed; however, it is assumed that, similar to the other closed city auto plants, there are conditions on the Ford site that would qualify it as a brownfield. Therefore, this site has been added to the map as a potential brownfield.

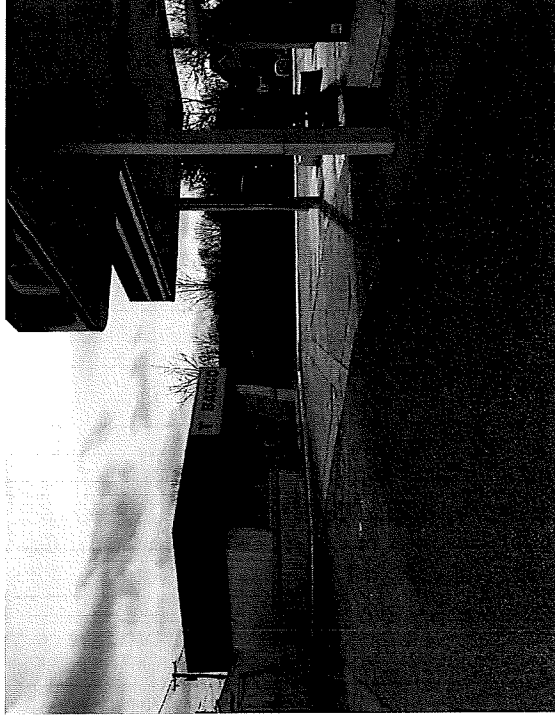
Recycling operations and auto storage yards are also shown for reference, though they have not been identified as potential brownfields.



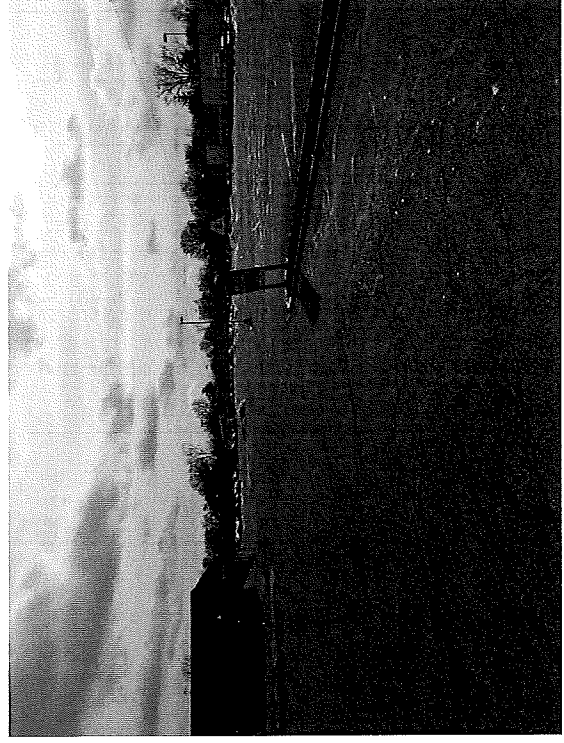
SITE CONDITION PHOTOGRAPHS - EXISTING CONDITIONS



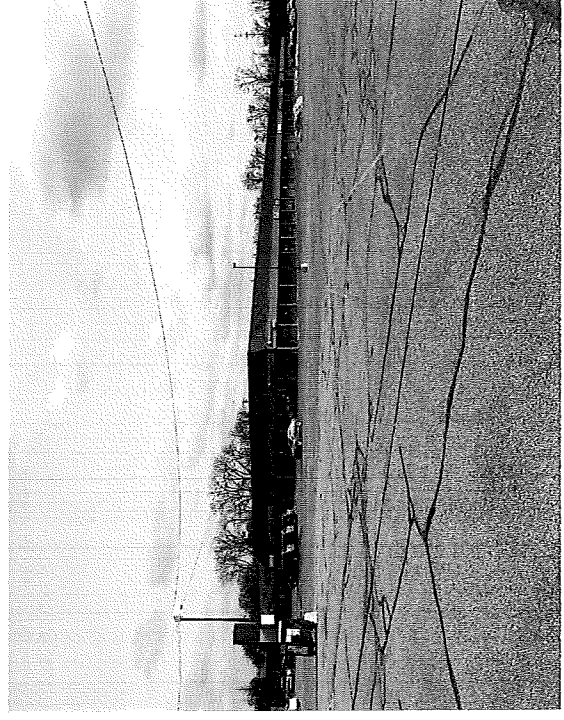
Vacant retail buildings along Washington St



A vacant gas station along Washington St

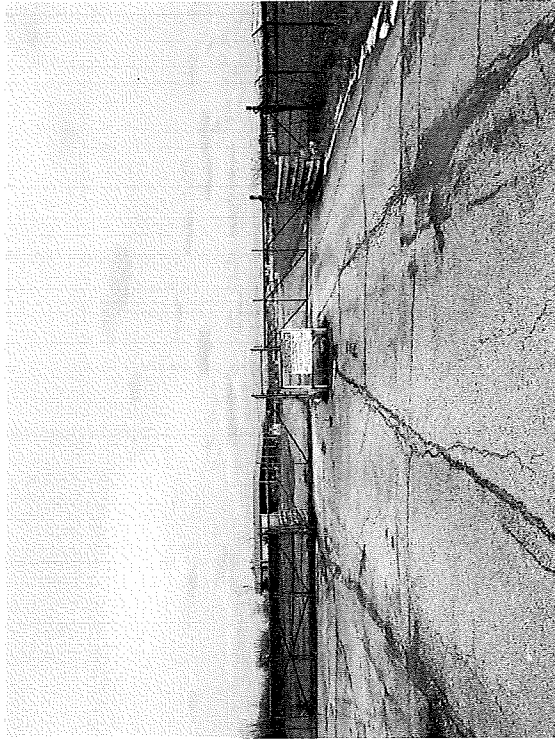


A view from the entrance of Irvington Plaza towards the southwest, showing extensive, underutilized parking.



A view of the southeastern portion of Irvington Plaza

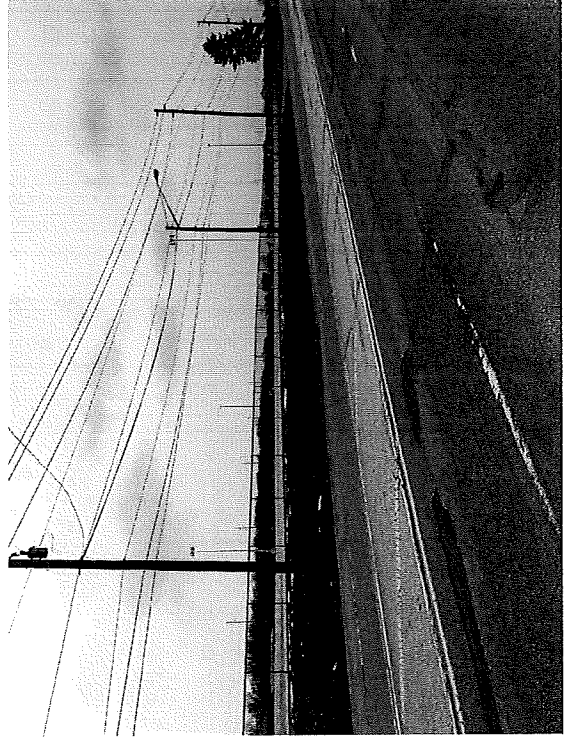
SITE CONDITION PHOTOGRAPHS - EXISTING CONDITIONS



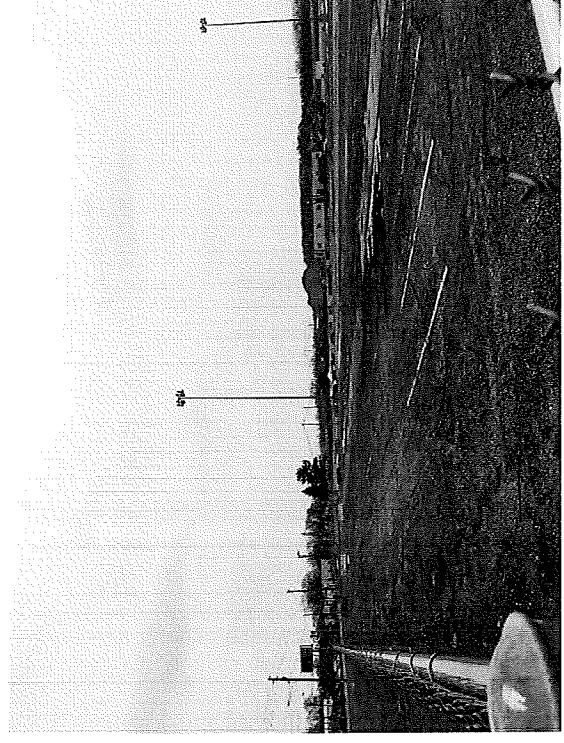
The former western entrance of the Ford plant



The southern portion of the former Ford plant site



The northern border of the former Navistar plant site



The western border of the former Navistar plant site

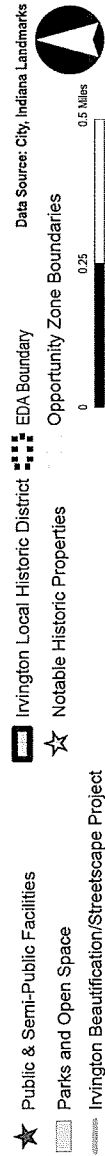
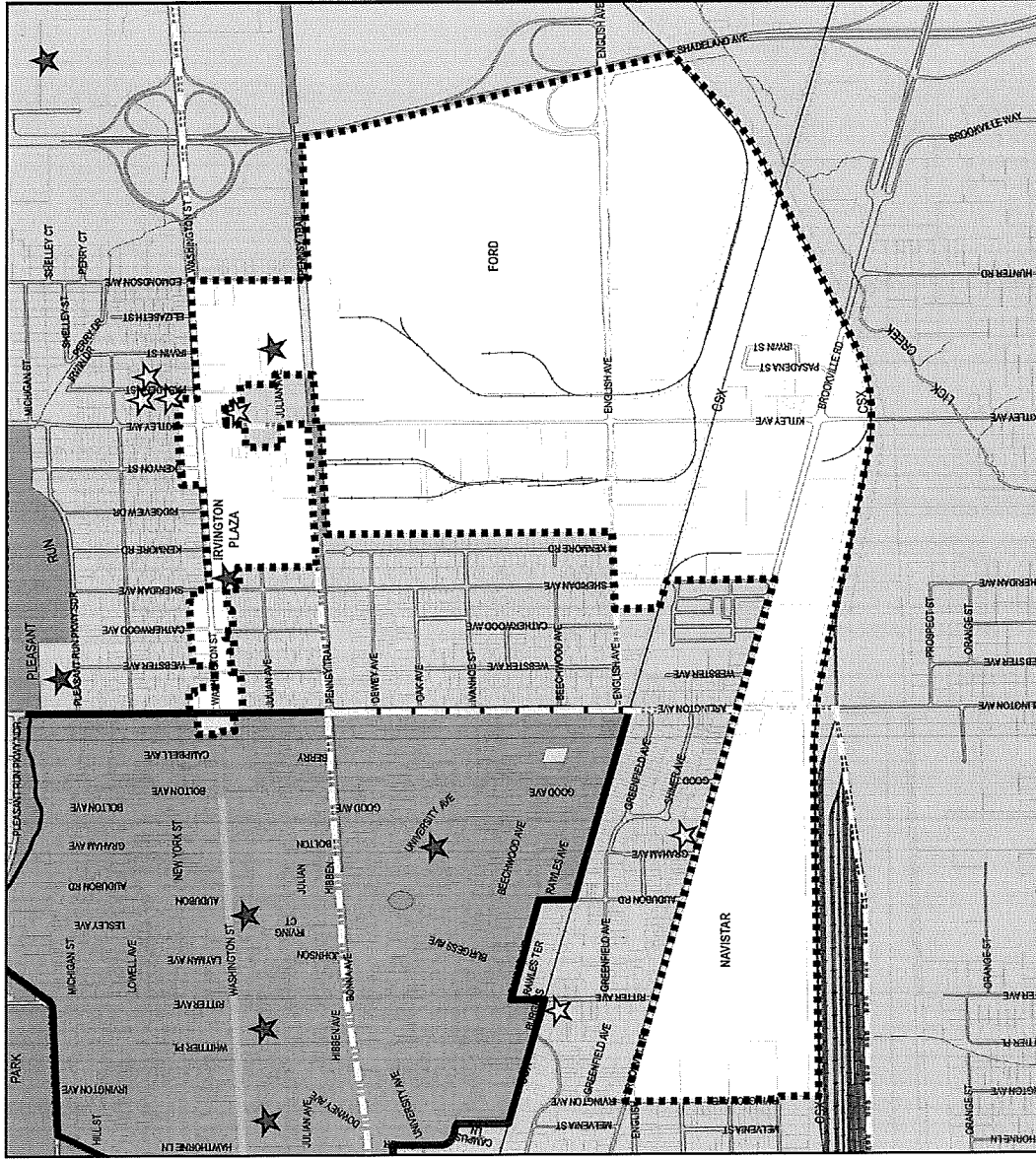
TOWARDS THE FUTURE

The following section provides a framework for future development in the Brookville Road Industrial Corridor/Irvington Plaza Economic Development Area.

The map on the right shows important facilities and features in the vicinity of the EDA.

In particular, the EDA is adjacent to the Irvington Local Historic Area, which received this designation due to its distinct, historical character. There are also a number of notable historic properties near the northern portion of the EDA.

Many parcels, including the sites of the former Ford and Navistar plants, are located in Opportunity Zones. Opportunity Zones are federally-designated areas eligible for certain federal capital gains tax benefits under the Tax Cuts and Jobs Act of 2017, and they are intended to attract capital investment into areas that are economically distressed.



BROOKVILLE ROAD INDUSTRIAL CORRIDOR/IRVINGTON PLAZA - AREA ASSETS

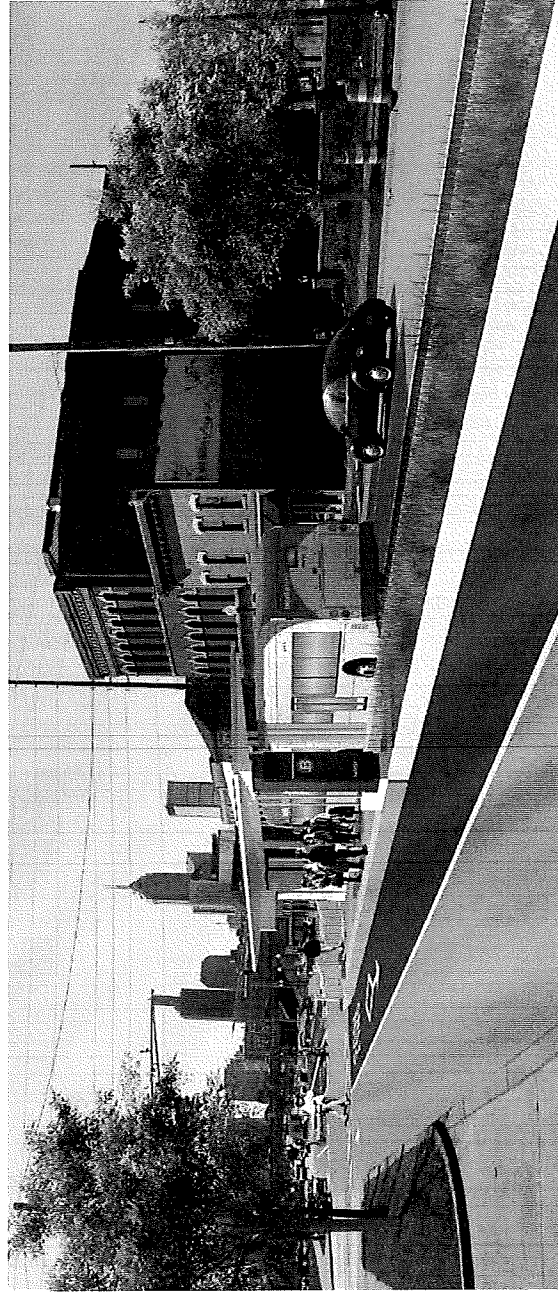


The **Pennsy Trail** is a 5.5 mile bicycle and pedestrian trail that connects the EDA to the greater Indianapolis area.

The **Blue BRT Line** will travel along Washington St, with stops planned at Arlington Ave and Ridgeview Dr. The Blue Line will provide convenient, reliable access to both downtown and the airport.

The photo to the right shows a rendering of a Blue BRT Line stop near downtown at the corner of Washington St and Southeastern Ave.

Photo Source: IndyGo



ECONOMIC DEVELOPMENT AREA PLAN OBJECTIVES

Objectives of the Brookville Road Industrial Corridor/Irvington Plaza Economic Development Area are to:

- Maximize new and existing opportunities for development that are consistent with adopted plans for the area,
- Benefit the public health and welfare by stimulating an increase in the property tax base,
- Benefit the public health and welfare by protecting the economic value of surrounding properties,
- Encourage and stimulate economic development in the Brookville Road Industrial Corridor/Irvington Plaza Economic Development Area, and
- Encourage the economic resiliency of the area by increasing mixed-use development to supplement existing commercial activities.

RELATIONSHIP TO LOCAL OBJECTIVES

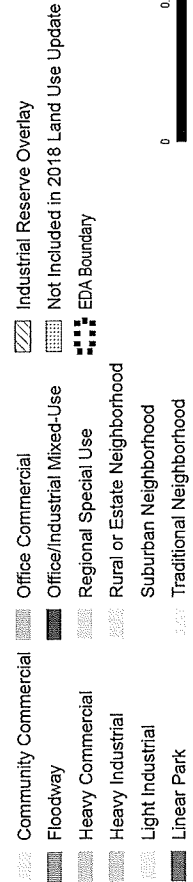
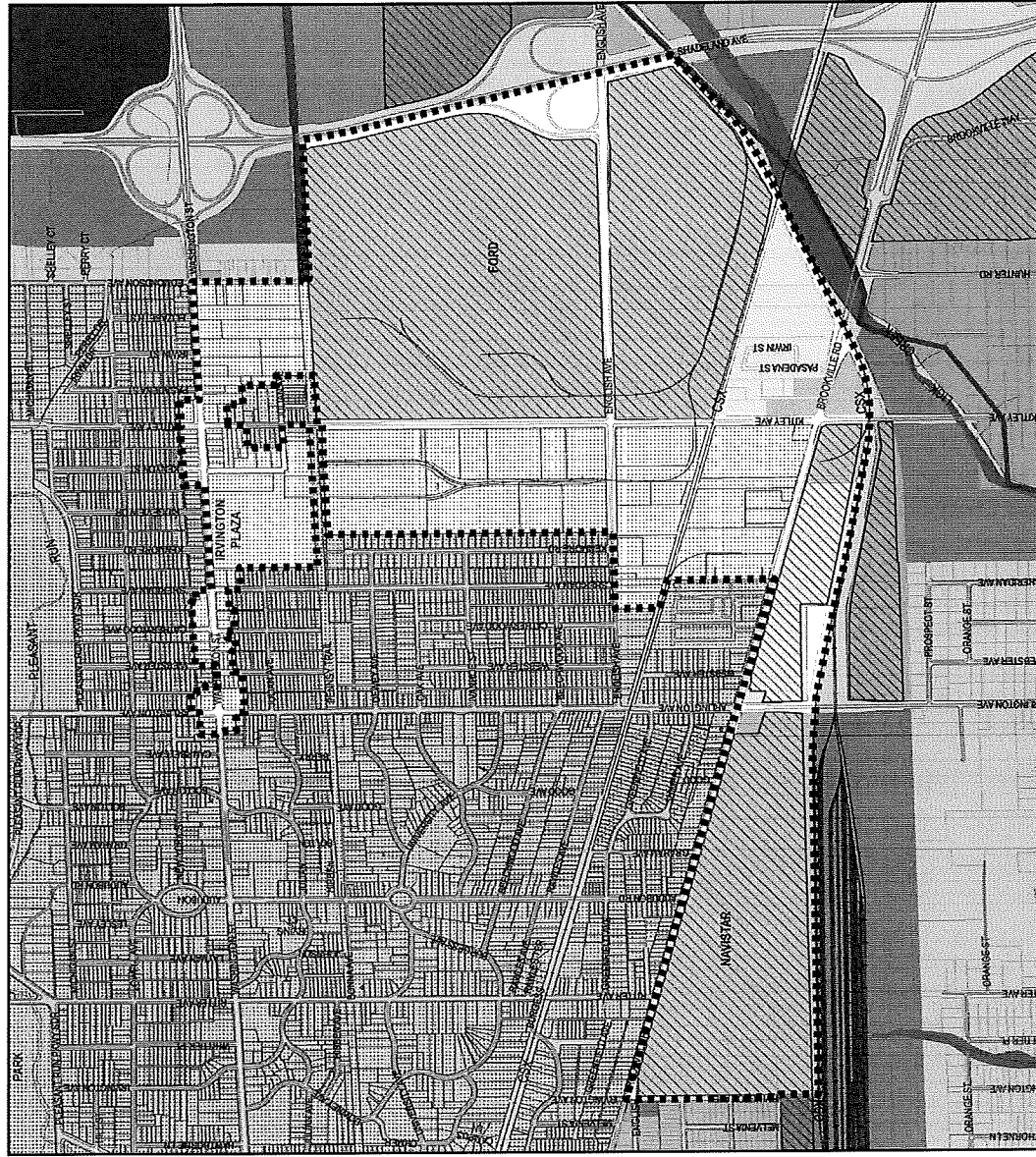
1. The improvements within the Brookville Road Industrial Corridor/Irvington Plaza EDA will revitalize growth in this area of the city.
2. The improvement of public ways, streets, multi-modal facilities, utility connections, and other public or semi-public facilities within the EDA will stimulate growth and rehabilitate the area, which will benefit public health and welfare.
3. The revitalization and encouragement of growth within the Economic Development Area will increase the property tax base.
4. The improvements within the EDA will serve to protect the economic value of surrounding properties and maximize land uses.
5. Redevelopment will reduce "grey space" associated with underutilized parking space and will aim to replace these areas with commercial and residential uses, industrial uses, parks and open spaces.

LAND USE PLAN

In November and December 2018, the Metropolitan Development Commission recommended land use maps for most of all nine townships in Marion County. These land use maps cover over 90% of Marion County.

A majority of the land within the Brookville Road Industrial Corridor/Irvington Plaza EDA was included in the newly mapped areas. As can be seen in the map on the right, much of the area is designated as part of the Light Industrial and Heavy Industrial typologies.

The sites of the former Ford and Navistar plants are also located within the Industrial Reserve Overlay, indicating that these areas are prime for industrial development due to large parcel size, proximity to compatible uses, and interstate access.

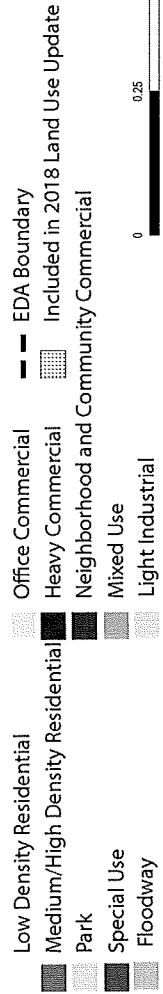
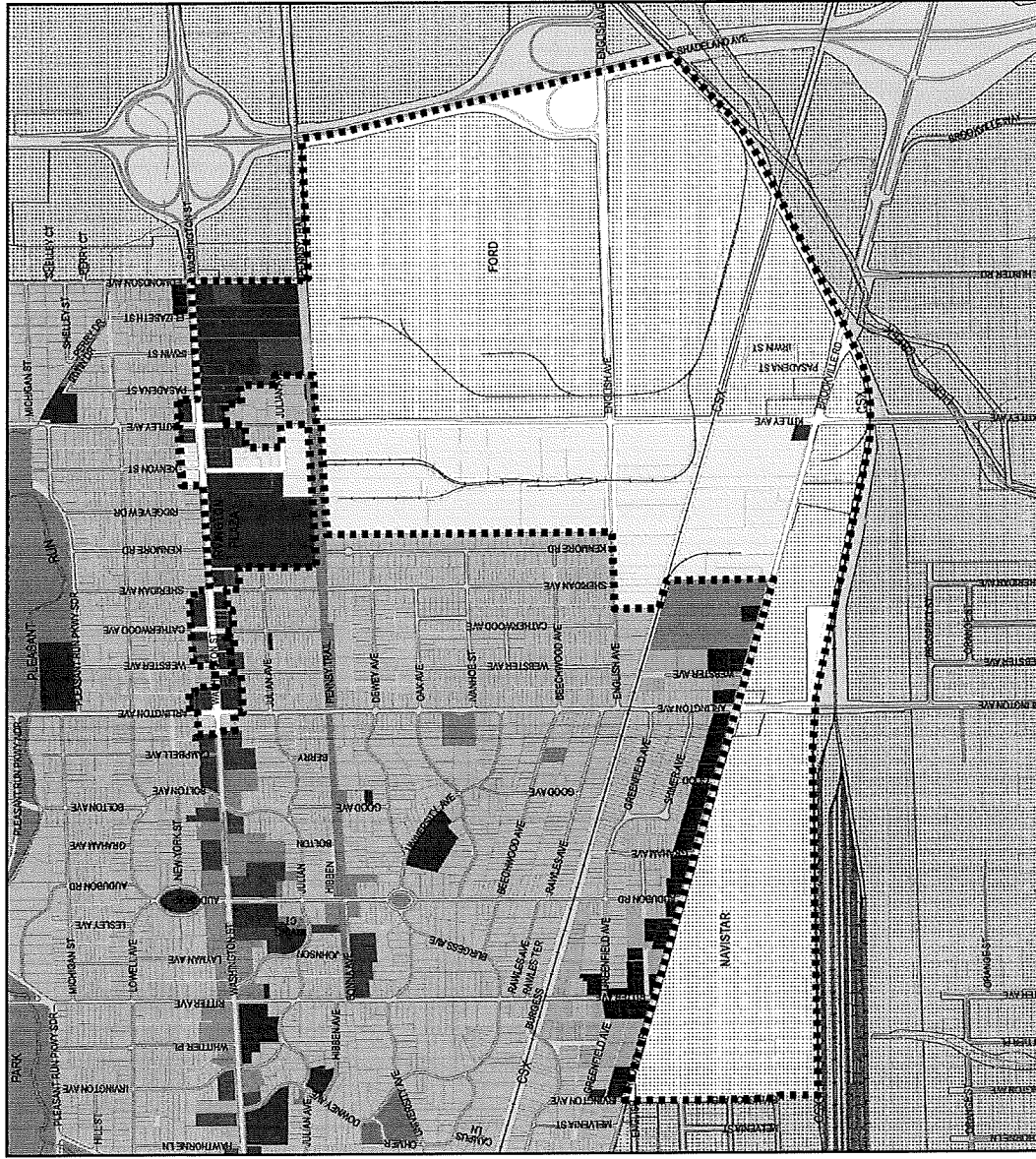


IRVINGTON NEIGHBORHOOD PLAN

Areas that had undergone small-area plans since 2008 were not included as part of the 2018 countywide land use plan update and use a different recommended land use classification system. This is because these communities underwent recent community engagement, and these plans generally reflect the changing real estate dynamic and market preferences since the Great Recession.

The northern and western portions of the EDA were included in the Irvington Neighborhood Plan (MDC, 2008).

Parcels along the western boundary of the EDA are classified for light industrial uses. Parcels along Washington St, with accessibility to the future Blue BRT Line, are generally classified for commercial uses.



ADDITIONAL PLANS

Additional plans and studies that cover area within the Brookville Road Industrial Corridor/Irvington Plaza EDA include:

- The **Irvington Historic Area Plan** (IHPC & MDC, 2006) establishes a framework for revitalizing Irvington in a way that retains the historic fabric of the area.
- The **Blue Line TOD Strategic Plan** (MDC, 2018) identified the potential of transit-oriented development districts. TODs are higher intensity development areas, often mixed-use, created around transit stations to take advantage of improved access. The Ridgeview Dr./Irvington Plaza bus rapid transit station is seen as a potential area for transit-oriented development.
- **Indy FastTrack** (DMD, 2014) recommends the reuse of the Ford property for an industrial/business park and reuse of the Navistar property for distribution and industrial uses.

- The **Irvington Innovation Zone Revitalization Master Plan** (a community-based study, 2011) contains recommendations for the area bounded by Emerson Ave., 21 St., Post Rd., Raymond St., and Southeastern Ave. For the area of the proposed EDA, recommendations included a mixed-use redevelopment of Irvington Plaza (remodeled retail, new retail, and new apartments), an industrial/distribution park for the Ford site, renovation of the Navistar site (at the time of the IIZ study a business was planning on reusing the site), and widening and beautifying South Kitley Ave., English Ave., and Brookville Rd.

PROPOSED ACTIVITIES

In addition to the policies and guidelines outlined in the Comprehensive Plan for Indianapolis and Marion County, the following activities are planned or are likely necessary to support economic development.

1. Public Infrastructure: This may include street, curb, sidewalk, trail, bridge, public transportation, and utility construction or reconstruction within the public rights-of-way or within or necessary to serve private development projects.
2. Rezoning
3. Site Preparation Necessary for Economic Development
4. Environmental Remediation
5. Public Park or Public Facility Development
6. Establishment of Tax Increment Financing Districts

ANTICIPATED PROJECTS

The following project could occur within the Economic Development Area:

- Acquisition of 6900 English Ave for redevelopment, reuse and/or public facilities.

ECONOMIC DEVELOPMENT AREA PROJECT & BUDGET

Table 2. Brookville Road Industrial Corridor/Irvington Plaza Economic Development Area Budget

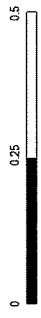
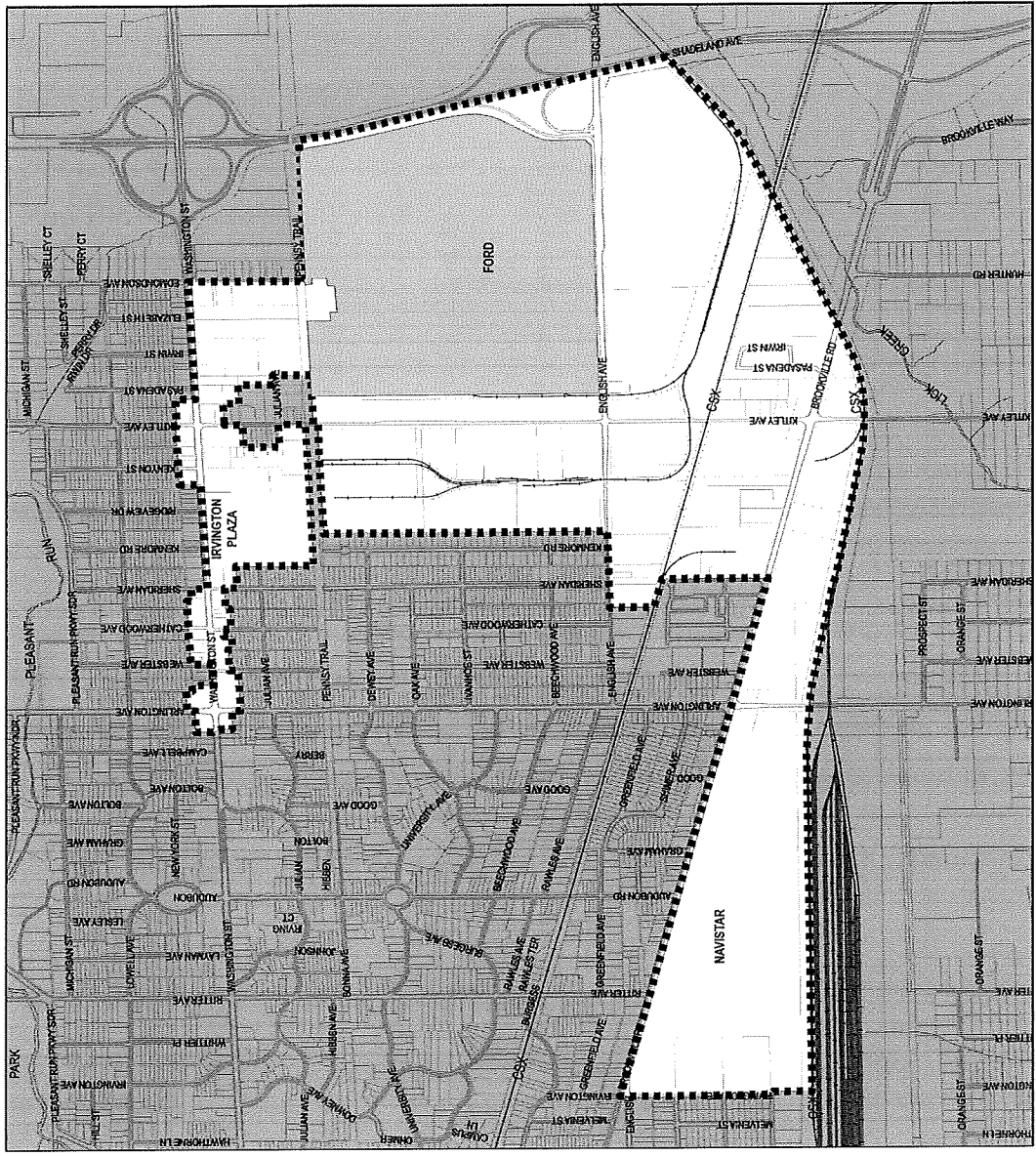
Development Activities	Budget (Estimated Total Project Cost)
Acquisition of 6900 English Ave	\$7.39 million (\$50,000 per acre for 147.81 acres)

ACQUISITION LIST

Address: 6900 English Ave

Parcel: 7003466

Owner: FORD MOTOR COMPANY



Parcels to Acquire --- EDA Boundary

**FIRST AMENDMENT TO
BROOKVILLE ROAD INDUSTRIAL CORRIDOR/IRVINGTON PLAZA ECONOMIC
DEVELOPMENT AREA PLAN**

**METROPOLITAN DEVELOPMENT COMMISSION OF MARION COUNTY,
INDIANA**

The Economic Development Plan (the “Plan”) for the Brookville Road Industrial Corridor/Irvington Plaza Economic Development Area (the “Area”) is hereby amended pursuant to the resolution of the Metropolitan Development Commission of Marion County, Indiana (the “Commission”), of which these amendments to the Plan (the “Plan Amendment”) are a part (the “Amendatory Resolution”) as follows:

Allocation Area

The Plan is hereby amended to include parcels therein in the Irvington – Brookville Allocation Area (the “TIF Area”), which TIF Area is as described in the Amendatory Resolution, included in the map and parcel list attached thereto as Exhibit D and Exhibit E, respectively. The TIF Area is being established pursuant to the Plan to facilitate the implementation of the Plan for the Area, as amended by this Plan Amendment.

Project Description

The “Irvington Project” includes public infrastructure, which may include street, curb, sidewalk, trail, bridge, public transportation, and utility construction or reconstruction within the public rights-of-way or within or necessary to serve private development projects. Potential projects include townhomes, apartments, grocery, retail space, office/flex, site prep and a plaza. AOZI — Brookville Road Build I, LLC, an entity of Ambrose Property Group, is investing \$48,000,000 at the former Navistar plant at 5565 Brookville Road. The company’s investment includes two phases: the construction of a 585,000 square foot speculative industrial building with a second phase of an additional 616,000 square feet. The full 1,201,000 square foot project is expected to be completed by December 31, 2023. The total non-land cost of the Irvington Project is estimated at approximately \$90,000,000.

Effective Date

These amendments to the Plan shall take effect upon adoption by the Commission of its confirming resolution confirming the Amendatory Resolution. Any provisions of the Plan not amended hereby shall remain in full force and effect.

EXHIBIT G

**SECOND AMENDMENT TO
BROOKVILLE ROAD INDUSTRIAL CORRIDOR/IRVINGTON PLAZA ECONOMIC
DEVELOPMENT AREA PLAN**

**METROPOLITAN DEVELOPMENT COMMISSION OF MARION COUNTY,
INDIANA**

The Economic Development Plan (the “Plan”) for the Brookville Road Industrial Corridor/Irvington Plaza Economic Development Area (the “Area”) is hereby amended pursuant to the resolution of the Metropolitan Development Commission of Marion County, Indiana (the “Commission”), of which these amendments to the Plan (the “Second Plan Amendment”) are a part (the “Amendatory Resolution”) as follows:

Allocation Area

The Plan is hereby amended to include parcels therein in the enlarged Allocation Area (the “TIF Area”), which TIF Area is as described in the Amendatory Resolution, included in the map and parcel lists attached thereto as Exhibit D and Exhibit E, respectively. The TIF Area is being established pursuant to the Plan to facilitate the implementation of the Plan for the Area, as amended by this Second Plan Amendment.

Project Description

The “Project” includes the “Thunderbird/English Avenue Project” and the “Irvington Project” as described herein. The “Thunderbird/English Avenue Project” is a continuation of the TIF expansion established in 2022 that included the “Irvington Project.” The original “Irvington Project” includes public infrastructure, which may include street, curb, sidewalk, trail, bridge, public transportation, and utility construction or reconstruction within the public rights-of-way or within or necessary to serve private development projects. Potential Irvington Projects and Thunderbird/English Avenue Projects include townhomes, apartments, grocery, retail space, office/flex, site prep and a plaza. Potential additional projects for the Thunderbird/English Avenue Project include projects developed by Reyes Holdings, LLC, including a new 442,000-square foot industrial facilities for beverage bottling and distribution. Reyes purchased the land for \$8,825,630 and anticipates investing \$73,143,811 in building improvements, infrastructure and equipment on the site at 6900 English Avenue. In addition, the City anticipates spending approximately \$500,000 for planning, \$750,000 for paving and \$1,000,000 for drainage related to a sidewalk project. The Irvington Project and the Thunderbird/English Avenue Project are anticipated to be complete by December 31, 2024. In addition to the projects developed by Reyes Holdings, LLC, additional vacant space on the former industrial site is anticipated to be marketed to other businesses producing additional outcomes in future years.

Use of TIF Funds

TIF funds may be provided to nonprofits in the form of grants to carry out eligible efficiency projects or eligible projects that accomplish objectives of the Economic Development Area Plan.

Effective Date

These amendments to the Plan shall take effect upon adoption by the Commission of its confirming resolution confirming the Amendatory Resolution. Any provisions of the Plan not amended hereby shall remain in full force and effect.

LR02314.0758415 4889-7601-3203v10

METROPOLITAN DEVELOPMENT COMMISSION

MARION COUNTY, INDIANA

RESOLUTION NO. 2023-E-049

METROPOLITAN SCHOOL DISTRICT OF WAYNE TOWNSHIP INTERLOCAL AGREEMENT

WHEREAS, the Metropolitan Development Commission of Marion County, Indiana, serves as the Redevelopment Commission of the City of Indianapolis, Indiana, under Indiana Code chapter 36-7-15.1; and

WHEREAS, in that capacity, the Commission serves as the governing body of the City of Indianapolis Redevelopment District; and

WHEREAS, the Commission, in Resolution No. 2018-E-047, authorized the expenditure of unobligated revenues in the Airport Economic Development Area TIF District Allocation Fund to allow the Department of Metropolitan Development ("DMD") to enter into an interlocal cooperation agreement with the Metropolitan School District of Wayne Township ("MSD Wayne Township") for the purpose of collaborating and supporting adult education programs (the "Project"); and

WHEREAS, the Commission, in Resolution No. 2021-E-001, authorized an extension of the Project through the year 2021; and

WHEREAS, the Commission, in Resolution No. 2022-E-006, authorized an extension of the Project through the year 2022; and

WHEREAS, the Commission, in Resolution No. 2023-E-001, authorized an extension of the Project through the year 2023; and

WHEREAS, DMD and MSD Wayne Township wish to continue the Project for the year 2024; and

WHEREAS, continuation of the Project will directly serve and benefit the Airport Economic Development Area.

NOW, THEREFORE, BE IT RESOLVED by the Metropolitan Development Commission of Marion County, Indiana, acting as the Redevelopment Commission of the City of Indianapolis, Indiana, as follows:

1. The Commission hereby authorizes the expenditure of unobligated revenues in the Airport Economic Development Area TIF District Allocation Fund in an amount not to exceed \$300,000.00 for the continued funding of adult education programs as detailed in the agreement between the parties.
2. The Director of the Department of Metropolitan Development is hereby authorized and directed to take such further action and execute such documents as she deems necessary to effectuate the authorizations set forth in this Resolution.
3. This Resolution shall take effect immediately upon adoption by the Commission.

METROPOLITAN DEVELOPMENT COMMISSION

John J. Dillon III, President

Date

Approved as to Legal Form and Adequacy
on this 11th day of December 2023, by

By: /s/ Toae Kim
Toae Kim,
Deputy Chief Counsel

Approved as to the availability of funding:

By: _____
Sarah Riordan, City Controller

**METROPOLITAN DEVELOPMENT COMMISSION
MARION COUNTY, INDIANA
RESOLUTION NO. 2023-E-050**

WHEREAS, the Metropolitan Development Commission of Marion County, Indiana (the "Commission") serves as the Redevelopment Commission of the City of Indianapolis, Indiana (the "City") under IC 36-7-15.1 (the "Redevelopment Act"); and

WHEREAS, in that capacity, the Commission serves as the governing body of the City of Indianapolis Redevelopment District (the "District"); and

WHEREAS, Section 7 of the Redevelopment Act provides that the Commission may accept grants of funds to assist in the exercise of its powers and duties; and

WHEREAS, in April of 2022, the Lilly Foundation, Inc provided the Central Indiana Community Foundation ("CIFC") with a grant award of \$25,000,000 to support the Connected Communities Initiative in the pursuit of the expansion and enhancement of the Indianapolis Greenway and Trail System ("the Program"); and

WHEREAS, the CIFC wishes to grant to the Commission up to \$16,000,000 (the "Grant Funds") to fund local public improvements as identified in the Program; and

WHEREAS, the Commission further wishes to accept the Grant Funds and enter into a Grant Agreement with CIFC and the Department of Public Works outlining the terms of the receipt and use of the Grant Funds in pursuit of the Program; and.

NOW, THEREFORE, BE IT RESOLVED by the Metropolitan Development Commission of Marion County, Indiana acting as the Redevelopment Commission of the City of Indianapolis, Indiana, as follows:

1. The Commission authorizes the Department of Metropolitan Development to enter into a Grant Agreement on behalf of the Commission outlining the terms of the receipt and use of up to \$16,000,000 in funds from the CIFC.
2. The Commission authorizes the use of Grant Funds to be provided to the Department of Public Works, as outlined by the Grant Agreement, in pursuit of the Program.
3. The Director of the Department of Metropolitan Development is hereby authorized to execute any documents necessary to effectuate the authorizations set forth in this Resolution.
4. This Resolution shall become effective immediately upon adoption by the Commission.

METROPOLITAN DEVELOPMENT COMMISSION OF
MARION COUNTY, INDIANA, acting as the
Redevelopment Commission of the City of Indianapolis,
Indiana

John J. Dillon III, President

Date

Approved as to Legal Form
and Adequacy this 20th day
of December, 2023.

/s/ Toae Kim
Toae Kim,
Deputy Chief Counsel

RESOLUTION NO. 2023-E-051

RESOLUTION OF THE METROPOLITAN DEVELOPMENT COMMISSION OF MARION COUNTY, INDIANA, ESTABLISHING A PROGRAM FOR HOUSING, DECLARING AN AREA IN THE CITY OF INDIANAPOLIS, INDIANA AN ECONOMIC DEVELOPMENT AREA AND APPROVING AN ECONOMIC DEVELOPMENT PLAN FOR THE AUGUSTA HEIGHTS ECONOMIC DEVELOPMENT AREA

WHEREAS, the Metropolitan Development Commission of Marion County, Indiana, acting as the Redevelopment Commission of the City of Indianapolis, Indiana (the “Commission”), has investigated, studied, and surveyed economic development within the consolidated city boundaries of the City of Indianapolis, County of Marion, Indiana (the “City”);

WHEREAS, the Commission has selected an economic development area to be developed under Indiana Code 36-7-15.1, as amended (the “Act”);

WHEREAS, the Commission has prepared an economic development plan (the “Plan”) for the selected economic development area, which Plan is attached to and incorporated by reference in this resolution;

WHEREAS, the Commission has caused to be prepared:

- (1) Maps and plats showing:
 - (A) the boundaries of the area in which property would be acquired for, or otherwise affected by, the establishment of an economic development area;
 - (B) the location of the various parcels of property, streets, alleys, and other features affecting the acquisition, clearance, remediation, replatting, replanning, rezoning, or redevelopment of the area, and any parcels of property to be excluded from the acquisition or otherwise excluded from the effects of the establishment of the economic development area;
 - (C) the parts of the area acquired, if any, that are to be devoted to public ways, levees, sewerage, parks, playgrounds, and other public purposes under the Plan (as defined herein); and
- (2) Lists of the owners of the various parcels of property proposed to be acquired;
- (3) An estimate of the cost of acquisition, redevelopment, and economic development.

WHEREAS, the Plan and supporting data were reviewed and considered by the Commission at this meeting;

WHEREAS, Section 26 of the Act permits the creation of “allocation areas” to provide for the allocation and distribution of property taxes for the purposes and in the manner provided in said section;

WHEREAS, Sections 29 and 30 of the Act permit the creation of “economic development areas” and provides all of the rights, powers, privileges and immunities that may be exercised by this Commission in a redevelopment area or urban renewal area may be exercised in an economic development area, subject to the conditions set forth in the Act;

WHEREAS, Sections 31-34 of the Act permit the Commission to establish a program for housing (the “Housing Program”), which may include elements as the Commission considers appropriate, and adopt the Housing Program as part of the Plan for the hereinafter defined Area;

WHEREAS, pursuant to Section 32(c) of the Act, the City’s Department of Metropolitan Development (the “Department”) on December 11, 2023, held a meeting, notice of which was published in accordance with Indiana Code 5-3-1-4, to consult with persons interested in or affected by the proposed program and provide the affected neighborhood associations, residents, township assessors (if any), and the county assessor with an adequate opportunity to participate in an advisory role in planning, implementing, and evaluating the proposed Housing Program;

NOW, THEREFORE, BE IT RESOLVED BY THE COMMISSION, THAT:

1. The Commission has selected as an economic development area an area within the redevelopment district of the City, which area the Commission hereby designates as the “Augusta Heights Economic Development Area” (the “Area”), and which Area is described in Exhibit A attached hereto and incorporated herein by reference.

2. The Commission finds that the Plan for the Area:

- A. Promotes significant opportunities for the gainful employment of the citizens of the City;
- B. Attracts major new business enterprises to the City;
- C. Benefits the public health, safety, morals and welfare of the citizen of the City;
- D. Increases the economic well-being of the City and the State of Indiana; or
- E. Serves to protect and increase the property values in the City and State of Indiana.

3. The Commission finds that the Plan cannot be achieved by regulatory processes or by the ordinary operation of private enterprise without resort to the powers allowed the Commission under Indiana Code 36-7-15.1 because of:

- A. The lack of local public improvement necessary to achieve the level of quality of development described in the Plan;
- B. Existence of improvements or conditions that lower the value of the land below that of nearby land;
- C. Multiple ownership of land; or

D. Other similar conditions, specifically, challenges resulting from existing private party easements and other land conditions.

4. The Commission finds that the accomplishment of the Plan will be of public utility and benefit as measured by:

- A. The attraction of construction and retention of permanent jobs;
- B. An increase in the property tax base;
- C. Improved diversity of the economic base; or
- D. Other similar benefits that specifically serve as a basis for making future public capital expenditures.

5. The Plan for the Area attached hereto as Exhibit B conforms to other development and redevelopment plans for the City.

6. The current estimated cost to the Commission of implementing the Plan is not to exceed \$6,727,000.

7. The Commission finds that no residents of the Area will be displaced by any project resulting from the Plan and, therefore, the Commission finds that it does not need to give consideration to transitional and permanent provisions for adequate housing for the residents.

8. In support of the findings and determinations set forth in Section 1 through 7 above, the Commission hereby adopts the specific findings set forth in the Plan.

9. The Commission does not at this time propose to acquire any specific parcel of land or interests in land within the boundaries of the Area. If at any time the Commission proposed to acquire specific parcels of land, the required procedures for amending the Plan under the Act will be followed, including notice by publication and to affected property owners and a public hearing.

10. The entire Area described in Exhibit A is hereby designated as an “allocation area” pursuant to Section 26 of the Act to be known as the “Augusta Heights Allocation Area” (herein, the “Augusta Heights Allocation Area”) for purposes of the allocation and distribution of property taxes for the purposes and in the manner provided by Section 26 of the Act. Any taxes imposed under Indiana Code 6-1.1 on real property subsequently levied by or for the benefit of any public body entitled to a distribution of property taxes on taxable property in the Augusta Heights Allocation Area shall be allocated and distributed in accordance with Section 26 of the Act as follows:

Except as otherwise provided in Section 26, the proceeds of taxes attributable to the lesser of the assessed value of the property for the assessment date with respect to which the allocation and distribution is made, or the base assessed value, shall be allocated to and when collected paid into the funds of the respective taxing units. Except as otherwise provided in said Section 26, property tax proceeds in excess of those described in the previous sentence shall be allocated to the redevelopment district and when collected paid into an allocation fund for the Augusta Heights Allocation Area hereby designated as the “Augusta Heights Allocation Fund” and

may be used by the redevelopment district to do one or more of the things specified in Section 26(b)(3) of the Act, as the same may be amended from time to time. Said allocation fund may not be used for operating expenses of this Commission. Except as otherwise provided in the Act, before June 15 of each year, the Commission shall take the actions set forth in Section 26(b)(4) of the Act.

The base assessment date for property in the Augusta Heights Allocation Area shall be January 1, 2023.

11. The provisions of this resolution shall be subject in all respects to the Act and any amendments hereto and the allocation provision herein relating to the Augusta Heights Allocation Area shall expire on the date that is twenty-five (25) years after the date on which the first obligation is incurred to pay principal and interest on bonds or lease rentals on leases payable from tax increment revenues derived in the Augusta Heights Allocation Area. The Commission shall notify the Indiana Department of Local Government Finance of the designation of the Area as an allocation area.

12. All of the rights, powers, privileges, and immunities that may be exercised by the Commission in a redevelopment area or urban renewal area may be exercised by the Commission in the Area, subject to the limitations in Indiana Code 36-7-15.1-30.

13. The Commission shall cause to be prepared a statement disclosing the impact of the Augusta Heights Allocation Area, including the following:

- A. The estimated economic benefit and costs incurred by the Augusta Heights Allocation Area, as measured by increased employment, and anticipated growth of real property, personal property and inventory assessed values; and
- B. The anticipated impact on tax revenues of each taxing unit that is either wholly or partly located within the Augusta Heights Allocation Area. A copy of this statement shall be forwarded to each such taxing unit with a copy of the notice required under Section 10 of the Act at least ten (10) days before the date of the public hearing described in Section 15 of this resolution.

14. This resolution and the Plan shall be submitted to the City-County Council of the City of Indianapolis and of Marion County, Indiana (the "City-County Council") for its approval of the Plan and the establishment of the Augusta Heights Allocation Area as provided in the Act.

15. The Commission hereby directs the presiding officer of the Commission, after receipt of approval by the City-County Council, to publish notice of the adoption and substance of this resolution in accordance with Indiana Code 5-3-1-4 and to file notice with the office of the Commission, board of zoning appeals, works board, park board, and any other departments, bodies or officers of the City having to do with planning, zoning variances, land use or the issuance of building permits. The notice must state that maps and plats have been prepared and can be inspected at the office of the City's department or redevelopment and must establish a date when the Commission will receive and hear remonstrances and objections from persons interested in or affected by the proceedings pertaining to the proposed project and will determine the public utility and benefit of the proposed project.

16. The Commission, based solely upon the application submitted to the Department by Apex Realty Group LLC and/or any affiliate thereof (the “Developer”) and other representations made, information presented, and testimony given by the Developer, and without independent verification by the Commission finds that:

- A. The Housing Program meets the purposes of Section 31 of the Act.
- B. The Housing Program cannot be accomplished by regulatory processes or by the ordinary operation of private enterprise because of:
 - i. lack of public improvements;
 - ii. existence of improvements or conditions that lower the value of the land below that of nearby land; or
 - iii. other similar conditions.
- C. The public health and welfare will be benefited by accomplishment of the Housing Program.
- D. The accomplishment of the Housing Program will be of public utility and benefit as measured by:
 - i. provision of adequate housing for low and moderate income persons;
 - ii. increase in the property tax base; or
 - iii. other similar public benefits.
- E. At least three-fourths (3/4) of the Augusta Heights Allocation Area is used for residential purposes or is planned to be used for residential purposes.
- F. At least one-third (1/3) of the residential units in the Augusta Heights Allocation Area were constructed more than fifty (50) years before the date of this resolution.
- G. A total of at least one-third (1/3) of the parcels in the Augusta Heights Allocation Area have one (1) or more of the following characteristics:
 - i. The dwelling unit on the parcel is not permanently occupied.
 - ii. The parcel is the subject of a governmental order, issued under a statute or ordinance, requiring the correction of a housing code violation or unsafe building condition.
 - iii. Two (2) or more property tax payments on the parcel are delinquent.
 - iv. The parcel is owned by local, state, or federal government.
 - v. The parcel is vacant.

ADOPTED AND APPROVED at a meeting of the Metropolitan Development Commission of Marion County, Indiana, held on December 20, 2023, 1:00 p.m. at the City-County Building, 2nd floor, Public Assembly Room (Room 230), Indianapolis, Indiana.

METROPOLITAN DEVELOPMENT COMMISSION OF
MARION COUNTY, INDIANA, acting as the
Redevelopment Commission of the City of Indianapolis,
Indiana

John J. Dillon III, President

This Resolution prepared by Cullen Cochran, Dentons Bingham Greenebaum LLP, 10 West Market Street, Suite 2700, Indianapolis, Indiana 46204.

EXHIBIT A**MAP OF AUGUSTA HEIGHTS ECONOMIC DEVELOPMENT AREA AND
ALLOCATION AREA**Address: North Michigan Road & West 79th Street, Indianapolis, IN 46268

Local Parcel #:

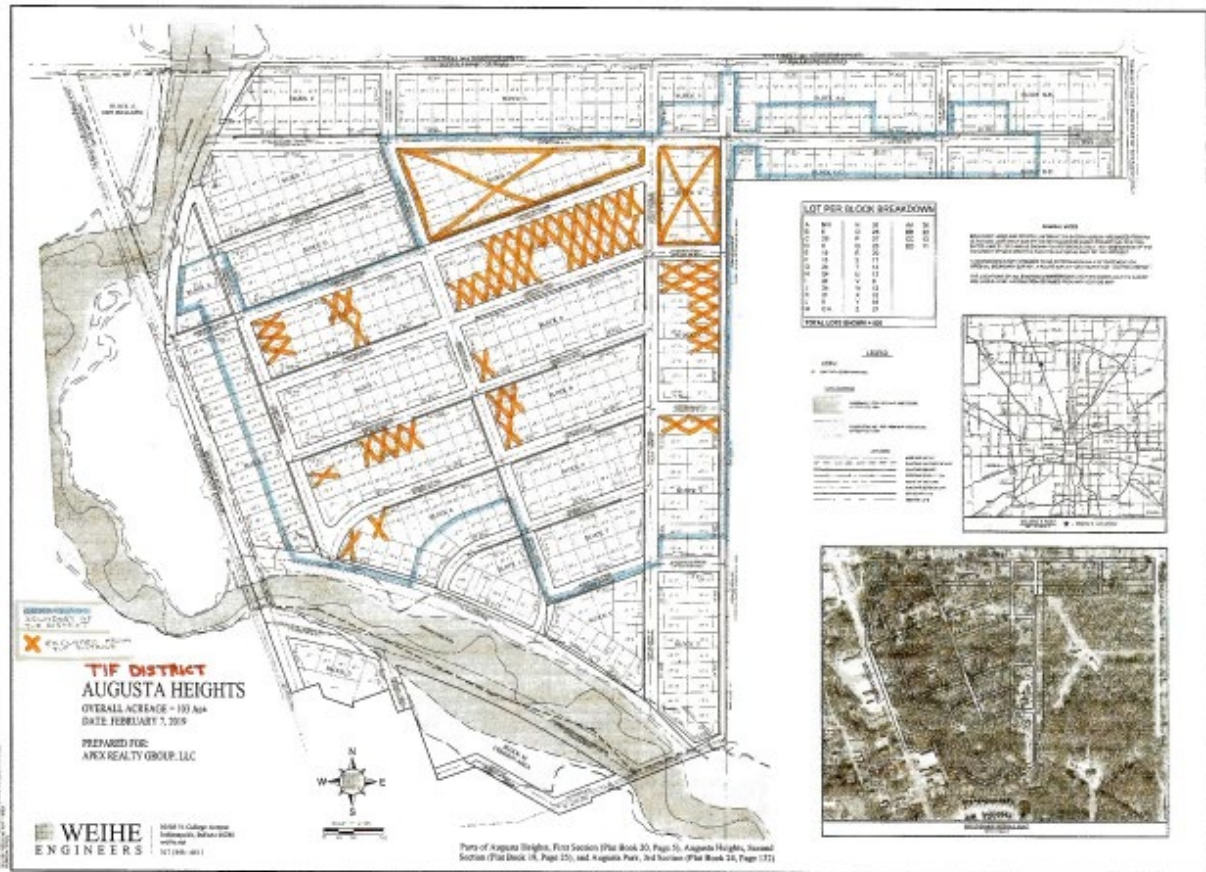
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State Parcel #:

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* The parcels crossed out in orange above are anticipated to be excluded from the Allocation Area.

EXHIBIT B

METROPOLITAN DEVELOPMENT COMMISSION OF MARION COUNTY, INDIANA

ECONOMIC DEVELOPMENT PLAN FOR THE AUGUSTA HEIGHTS ECONOMIC DEVELOPMENT AREA

Purpose and Introduction

The Metropolitan Development Commission of Marion County, Indiana, acting as the Redevelopment Commission of the City of Indianapolis, Indiana (the “Commission”) proposes to designate and declare an economic development area within the City of Indianapolis, Indiana (the “City”) to be known as the Augusta Heights Economic Development Area (the “Area”). This document is the plan for the Area (the “Plan”), provided that this Plan may be amended in the future as provided in Indiana Code 36-7-15.1, as amended from time to time (the “Act”), and in this Plan.

Pursuant to the Act, the Plan must be approved by the Commission and the City-County Council of the City and of Marion County, Indiana (the “City-County Council”). Upon such approvals, the Commission will hold a public hearing on the Plan as required under Section 10 of the Act, before confirming (or modifying and confirming) the designation of the Area and the approval of the Plan.

The Commission also proposes that pursuant to the provisions of Section 26 of the Act, the Area shall constitute a tax increment financing “allocation area” for purposes of the Act. Such allocation area shall be designated as the “Augusta Heights Allocation Area” (hereinafter referred to as the “Allocation Area”) for purposes of distribution and allocation of taxes on real property in the Allocation Area.

The Commission also proposes that, in connection with the Plan and Area, it establish a program for housing (the “Housing Program”) pursuant to Sections 31-34 of the Act.

Project Objectives

The purposes of the Plan are to provide affordable housing for persons of low or moderate income and that the planning, replanning, development, and redevelopment of such housing within the Area needing redevelopment will benefit the health, safety, morals, and welfare of Marion County, Indiana (the “County”) and the State of Indiana (the “State”), serve to protect and increase property values in the County and the State, benefit persons of low and moderate income by making affordable housing available to them, reduce public expenditures required for governmental functions such as police and fire protection and other services. The planning, replanning, development, and redevelopment of such affordable housing within the Area needing redevelopment necessary are in the public interest public uses and purposes for which public money may be spent and private property may be acquired.

Description of the Area

The Area is generally located at the area geographically confined south of West 79th Street, east of Michigan Road, north of Crooked Creek and west of Walnut Drive in the City. The Project (as defined herein) will benefit or serve the Area. A map of the Area with a list of parcels within the Area are attached to this Plan as Exhibit A.

Project Description

Apex Realty Group LLC and/or any affiliate thereof (the “Developer”) is a real estate investment and development firm based in the City. The Developer has represented to the City that it will (i) over a three year period, develop and partner with Arbor Homes to construct a minimum of 205 new affordable single-family homes located at the “Augusta Heights” neighborhood located in the Area and (ii) construct certain public improvements that include, but are not limited to, the construction of new streets to serve the new homes, install sanitary and storm sewers and water mains to serve the new homes, perform earthwork necessary for construction of the new homes, and to the extent feasible perform certain repaving of existing City streets in the August Heights neighborhood (collectively, the “Project”).

The total cost of the Project is estimated to be \$68,000,000.

Acquisition List

In connection with the accomplishment of the Plan, the Commission has no present plans to acquire any interests in real property. In the event the Commission determines to acquire interests in real property in the future, it shall follow procedures set forth in Section 12 of the Act. The Commission may not exercise the power of eminent domain in an economic development area.

Estimate of the Cost of Acquisition and Economic Development

Because the Commission does not intend to acquire property for the Project, the Commission will not incur any costs of acquisition. However, the Commission will incur certain costs in connection with the development of the Project. The estimated cost of the Project is \$68,000,000, with the Commission providing an amount not to exceed \$6,727,000 to fund the Project.

Disposal of Property

The Commission may dispose of any real property acquired in the future by sale or lease to the public pursuant to procedures set forth in Section 15 of the Act.

Statutory Findings Relative to the Plan

The Plan for the Area meets the following required findings under 34 of the Act:

1. The Plan for the Area promotes significant opportunities for the gainful employment of the citizens of the City, attracts a major new business enterprise to the City, retains or expands a significant business enterprise existing in the City, or meets other purposes of Sections 28 and 30 of the Act.

Implementing the Plan and constructing the Project provide make available a minimum of 205 new affordable single-family homes located at Augusta Heights, which will benefit the health, safety, morals, and welfare, increase the economic well-being of the county and the state and serve to protect and increase property values in the County and the State.

Based on the most recent Project information available, the currently estimated future gross assessed value of the Project at full build-out and assuming no deductions are applied, based on the estimated home value provided by the Developer, is \$68,385,000 (the estimated net assessed value is \$37,430,250 after deductions are applied). The estimated base assessed value is \$3,055,000 (based on Pay Year 2024 net assessed value). The currently estimated annual gross tax revenue, calculated based on the future net assessed value and estimated property tax rates is approximately \$374,303 as calculated by Crowe LLP, as municipal advisers to the City. The currently estimated annual tax increment revenues, calculated based on the future incremental assessed value and estimated property tax rates is approximately \$343,753 as calculated by Crowe LLP, as municipal advisers to the City.¹

The number of estimated permanent jobs created by the Project is 0. However, it is anticipated that the acquisition, development, construction, and equipping of the Project will require 570 temporary full-time equivalent employees during the approximately 36-month period of construction of the Project.

2. The Plan for the Area cannot be achieved by regulatory processes or by the ordinary operation of private enterprise without resort to the powers allowed under Sections 28 and 30 of the Act because of a lack of local public improvements, the existence of improvements or conditions that lower the value of the land below that of nearby land, multiple ownership of land, or other similar conditions.

The use of tax increment financing from the Allocation Area is necessary to construct the improvements that comprise the Project. The Project could not occur without the availability of tax increment revenues.

3. The public health and welfare will be benefited by accomplishment of the Plan for the Area.

¹ Estimated future assessed values and estimated property tax revenues/tax increment revenues assumes full build-out of the Project and represent net assessed value after deductions are applied. It is likely the Project is completed in phases and the value of each respective phase will be assessed as it is complete.

Implementing the Plan and constructing the Project will make available a minimum of 205 new affordable single-family homes located at Augusta Heights and will increase the tax base of the City. But for such Project, the Area would continue to have a limited beneficial use and depressed assessed value and therefore provide little opportunity to create economic development, job growth and / or affordable housing units.

4. The accomplishment of the Plan for the Area will be a public utility and benefit as measured by the attraction or retention of permanent jobs, an increase in the property tax base, improved diversity of the economic base, or other similar public benefits.

As noted above, the Project will increase the tax base of the City and benefit the City by making a minimum of 205 new affordable single-family homes located at Augusta Heights available to the residents of the City.

5. The Plan for the Area conforms to other development and redevelopment plans for the City.

The Plan conforms to the goals of the other development and redevelopment plans for the City in that it is designed to enhance the economic well-being of the City and its citizens.

Financing of the Project

It will be necessary to issue bonds to provide funds for financing costs and the construction of the Project in the Area. The Commission intends to pledge incremental *ad valorem* property taxes allocated under Indiana Code 36-7-15.1-26 to support the issuance of bonds, which may be issued by the City upon recommendation by the Indianapolis Economic Development Commission (the “EDC”) pursuant to Indiana Code 36-7-11.9 and Indiana Code 36-7-12. The bonds issued will be purchased or guaranteed by the Developer who will receive payments over the term of the bonds derived from the pledge of incremental *ad valorem* property taxes of the allocation area, but which amount shall not be in excess of eighty percent (80%) of such incremental property taxes. The benefit of utilizing this bond structure is that the City is largely removed from the financial risk associated with this development.

The amount of these bonds may not exceed the total, as estimated by the Commission or the EDC, of all expenses reasonably incurred in connection with the Project, including:

- (1) The total cost of all land, rights-of-way, and other property to be acquired and developed;
- (2) All reasonable and necessary architectural, engineering, construction, equipment, legal, financing, accounting, advertising, bond discount, and supervisory expenses related to the acquisition and development of the Project or the issuance of bonds;

(3) Interest on the bonds and a debt service reserve for the bonds to the extent that the Commission determines that a reserve is reasonably required; and

(4) Expenses that the Commission is required or permitted to pay under Indiana Code 36-7-15.1.

In the issuance of bonds, the Commission will comply with Indiana Code 36-7-15.1.

Amendment of the Plan

This Plan may be amended by following the procedures described in Indiana Code 36-7-15.1-8 of the Act.

**MAP OF AUGUSTA HEIGHTS ECONOMIC DEVELOPMENT AREA AND
ALLOCATION AREA**

Address: North Michigan Road & West 79th Street, Indianapolis, IN 46268

Local Parcel #:

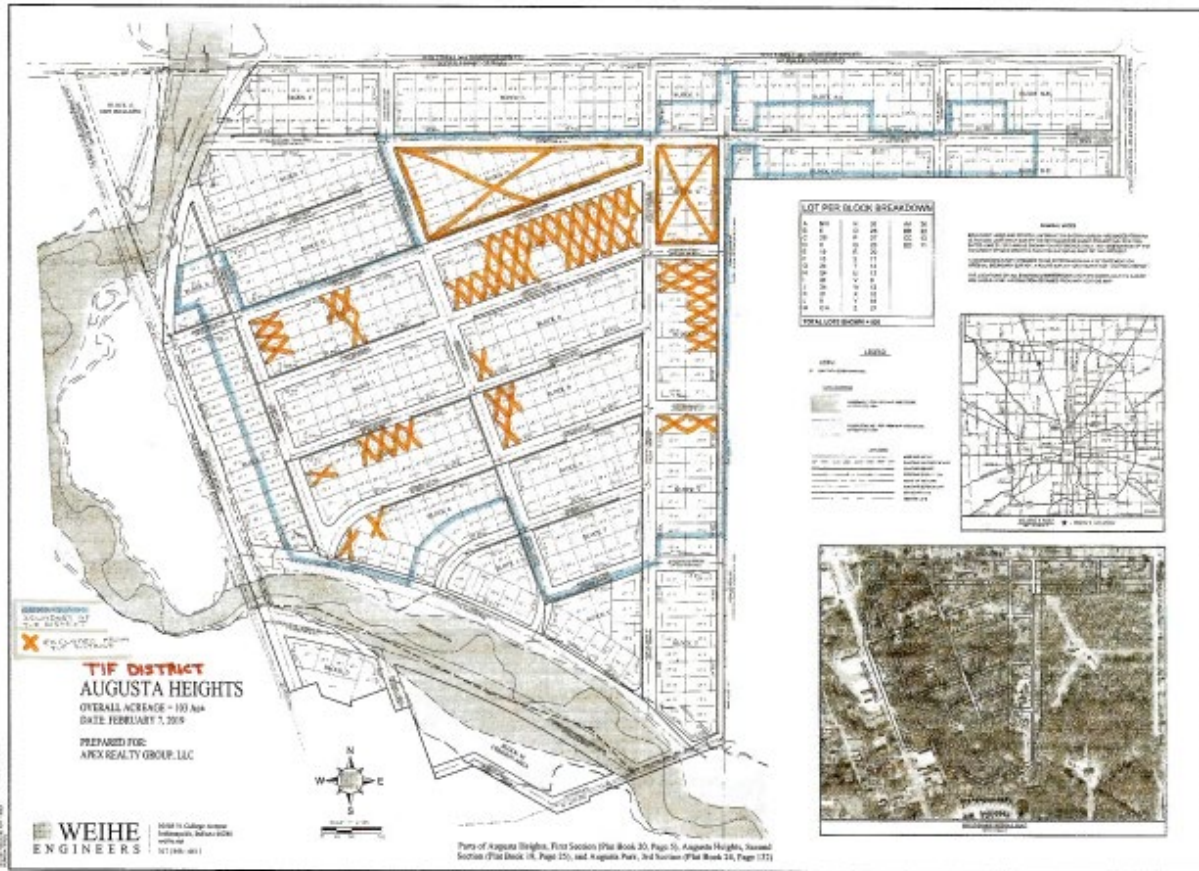
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49-03-29-100-045.000-600; 49-03-29-100-046.000-600; 49-03-29-100-056.000-600;
49-03-29-100-057.000-600; 49-03-29-100-051.000-600; 49-03-29-100-052.000-600;
49-03-29-100-053.000-600; 49-03-29-100-050.000-600; 49-03-29-100-054.000-600;
49-03-29-100-055.000-600; 49-03-29-100-058.000-600; 49-03-29-100-059.000-600;
49-03-29-100-060.000-600; 49-03-29-100-061.000-600; 49-03-29-100-063.000-600;
49-03-29-100-064.000-600; 49-03-29-100-002.000-600; 49-03-29-100-003.000-600;
49-03-29-100-004.000-600; 49-03-29-100-001.000-600



* The parcels crossed out in orange above are anticipated to be excluded from the Allocation Area.

RESOLUTION NO. 2023-E-052**CONFIRMATORY RESOLUTION OF THE METROPOLITAN DEVELOPMENT COMMISSION OF MARION COUNTY, INDIANA, RELATED TO THE ADDITIONAL PROFESSIONAL SPORTS DEVELOPMENT AREA**

WHEREAS, on November 1, 2023, the Metropolitan Development Commission of Marion County, Indiana, acting as the Redevelopment Commission of the City of Indianapolis, Indiana (the “Commission”), approved an Additional Marion County Professional Sports Development Area Plan (the “Area Plan”) for Additional Professional Sports Development Area (the “Tax Area”) in the City of Indianapolis, Indiana (the “City”);

WHEREAS, in approving the Area Plan for the Tax Area, the Commission adopted Declaratory Resolution No. 2023-E-044 (the “Declaratory Resolution”), on November 1, 2023, (i) declaring that the Tax Area is an additional professional sports development area pursuant to Indiana Code 36-7-31.5 *et seq.*, and all acts supplemental and amendatory thereto (collectively, the “Act”), which declaration was supported by a factual report and findings contained within the Declaratory Resolution;

WHEREAS, the Area Plan contained specific recommendations to designate certain facilities or complex of facilities that are or are expected to be (A) located within the Tax Area and (B) (i) used to hold a professional sporting event, and which in addition, may be used to hold other entertainment events, including any publicly owned parking garage, plaza, or infrastructure that is constructed or renovated in connection with the construction of the facility used to hold a professional sporting event; (ii) used in the training of a team engaged in professional sporting events; (iii) used in whole or in part to manage and operate the professional team that would participate in the facility used to hold a professional sporting event; or (iv) a mixed use development, consisting, in part, of retail space, office space, apartment dwelling units, and one or more hotels (collectively, the “Designated Facilities”);

WHEREAS, the Area Plan further contained specific recommendations that, in order to make available certain funds to the Capital Improvement Board of Managers of Marion County, Indiana (the “Board”) to pay any costs related to the facility described in (b)(i) in the preceding paragraph, and hereinafter referred to as the “Stadium Project”, including such costs provided in Section 15 of the Act, it is contemplated that the Board will establish a mechanism consistent with the Act whereby certain Covered Taxes (as defined in and limited by the Declaratory Resolution), attributable to taxable events or Covered Taxes from income earned in the Tax Area as thereby allocated to the Marion County Additional Professional Sports Development Area Fund will be held and made available for the foregoing purposes;

WHEREAS, the City-County Council of the City of Indianapolis and of Marion County, Indiana (the “City-County Council”) has approved the establishment of the Tax Area, the Area Plan, and the actions of the Commission establishing the Tax Area pursuant to the Act;

WHEREAS, the Commission published notice on December 8, 2023, of the adoption and substance of the Declaratory Resolution in accordance with the Act and Indiana Code 5-3-1 which public notice also gave notice of a public hearing that was held on December 20, 2023, on the

proposed adoption of the Declaratory Resolution by the Commission at which public hearing the opportunity to have remonstrances and objections heard by the Commission was provided;

WHEREAS, prior to the adoption of the resolutions hereinafter set forth, and at such meeting, the Commission conducted a public hearing at which the Commission heard all persons interested in the proceedings and considered all written remonstrances and objections that were filed;

WHEREAS, after being fully advised in the matter,

NOW, THEREFORE, BE IT RESOLVED by the Commission, as follows:

1. The Commission has considered the evidence presented and now finds and determines that it will be of public utility and benefit to proceed with the Stadium Project, with the establishment of the Tax Area, and with the inclusion of Designated Facilities in the Tax Area, as shown or described on the map set forth on the attached Schedule 1. Each of the Designated Facilities has been determined and is recited herein to include (i) the facilities set forth on the attached Schedule 2, each of which are in service and operating prior to the date of adoption of the Declaratory Resolution and (ii) upon their respective completion, the facilities set forth on the attached Schedule 3, each of which are anticipated to be initially placed in service and operating after the date of adoption of the Declaratory Resolution.

2. The Commission hereby finds that:

- a. the Tax Area is a special taxing district authorized by the general assembly to enable Marion County, Indiana to provide special benefits to taxpayers in the Tax Area and is supported by the finding of fact, evidence, testimony and other information provided to the Commission as part of its determination to establish the Tax Area pursuant to the Declaratory Resolution and the Act; and
- b. each of the Designated Facilities to be undertaken or that has been undertaken in the Tax Area (A) is all or any part of one (1) or more buildings, structures, or improvements constituting a capital improvement (as defined in the Act), (B) will benefit the public health and welfare and will be of public utility and benefit and (C) will protect or increase state and local tax bases and tax revenues.

3. The Declaratory Resolution and Area Plan approved by the Commission on November 1, 2023, are hereby confirmed as described in the Act and are incorporated herein and shall be kept on file with the Secretary of the Commission and the Clerk of the City.

4. The Secretary of the Commission is hereby directed to record this Confirmatory Resolution with the Marion County Recorder and to file this Confirmatory Resolution with the Marion County Auditor.

5. This Confirmatory Resolution shall be effective upon passage.

ADOPTED AND APPROVED at a meeting of the Metropolitan Development Commission of Marion County, Indiana, held on December 20, 2023, at the City-County Building, 2nd floor, Public Assembly Room (Room 230), Indianapolis, Indiana.

**METROPOLITAN DEVELOPMENT
COMMISSION OF MARION COUNTY,
INDIANA**, acting in its capacity as the
Redevelopment Commission of the City of
Indianapolis, Indiana

By: _____
John J. Dillon III, President

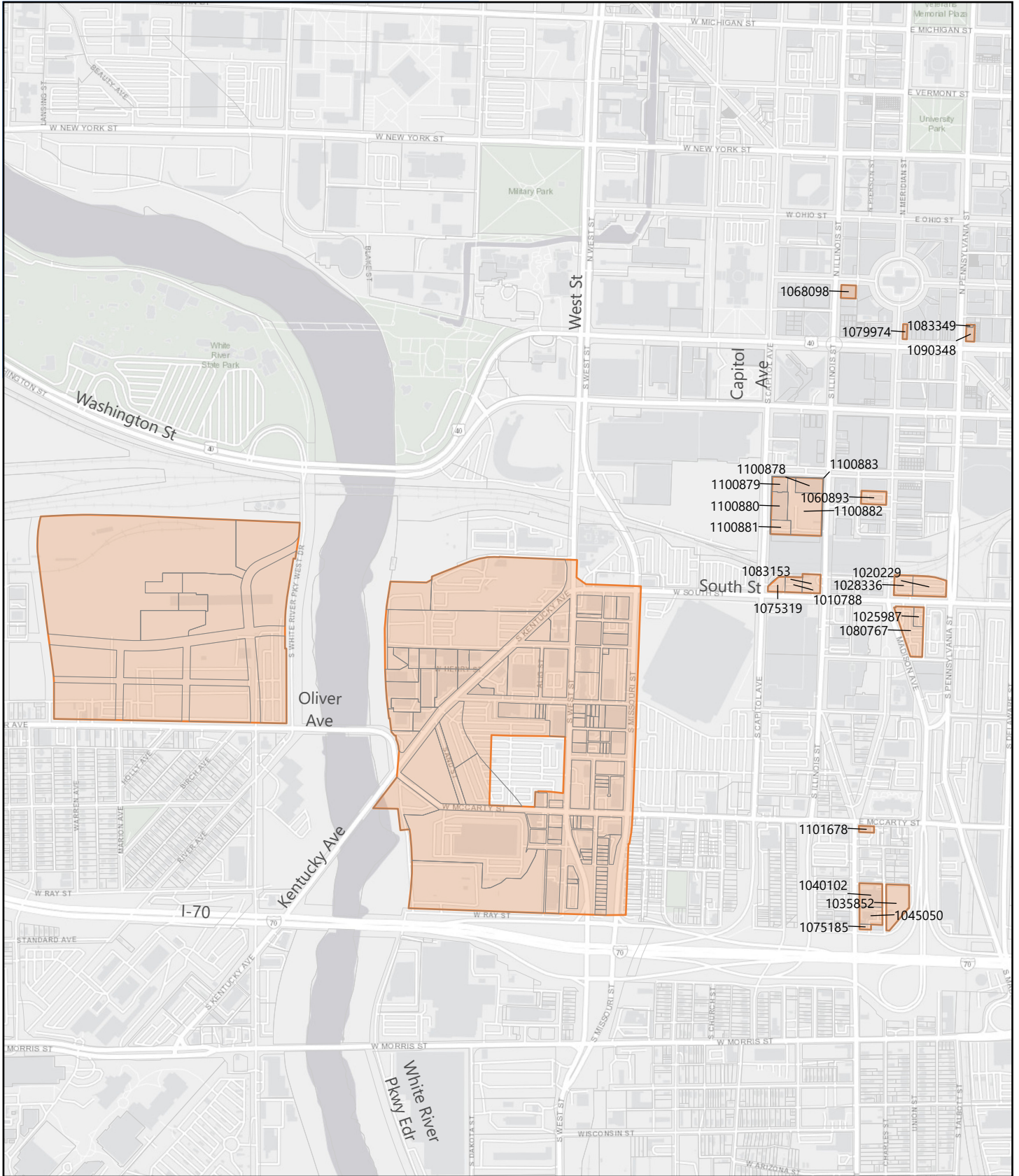
This Resolution prepared by Cullen Cochran, Dentons Bingham Greenebaum LLP, 10 West Market Street, Suite 2700, Indianapolis, Indiana 46204.

Schedule 1

MAP OF THE TAX AREA

[See attached.]

Proposed Professional Sports Development Area Boundary



Schedule 2

**Name, Approximate Street Address and Specific Local Parcel # of
Designated Facilities
In Additional Marion County Professional Sports Development Area
For an Allocation Established Pursuant IC 36-7-31.5-4
Operating Prior to the Date of Adoption of Resolution No. 23-E-044**

220 N. Meridian Street
Indianapolis, Indiana 46204
Local Parcel #: 1017865

Schedule 3

**Name, Approximate Street Address and Specific Local Parcel # of Designated Facilities
In Additional Marion County Professional Sports Development Area
For an Allocation Established Pursuant IC 36-7-31.5-4
Anticipated to be Initially Placed in Service and Operating
After the Date of Adoption of Resolution No. 23-E-044**

Eleven Park

402 Kentucky Avenue

Indianapolis, Indiana 46225

Local Parcel #: 1027884, 1082546, 1107179, 1104767, 1107180, 1104766, 1104765, 1105073, 1105072, 1104774, 1104775, 1104764, 1104768, 1104769, 1104776, 1104770, 1104771, 1104773, 1104772, 1023196, 1045339, 1039716, 1045349, 1045340, 1034181, 1066772, 1081761, 1010827, 1026421, 1026445, 1045294, 1010353, 1071535, 1027443, 1076970, 1027444, 1076972, 1003003, 1107587, 1043777, 1020677, 1013085, 1020688, 1076815, 1026745, 1054237, 1004601, 1034418, 1028309, 1104221, 1060379, 1076949, 1041864, 1011359, 1064683, 1055551, 1010823, 1052179, 1023783, 1062292, 1041865, 1037052, 1062451, 1105303, 1076948, 1052249, 1097636, 1105302, 1080528, 1080529, 1080530, 1099830, 1076951, 1023795, 1007972, 1007991, 1017001, 1053890, 1053891, 1060772, 1060773, 1053340, 1066528, 1014213, 1014434, 1051217, 1066126, 1007978, 1066790, 1044356, 1031372, 1004619, 1076956, 1034059, 1034057, 1066937, 1059074, 1003633, 1034060, 1034050, 1087885, 1073589, 1037609, 1007980, 1018354, 1051219, 1043351, 1023192, 1004698, 1028790, 1036218, 1037767, 1038203, 1044367, 1057711, 1099496, 1102085

Certain developments located at the following approximate street addresses and specific Local Parcel #:

365 S. Meridian Street

Indianapolis, Indiana 46225

Local Parcel #: 1028336

20 E South Street

Indianapolis, Indiana 46225

Local Parcel #: 1020229

25 E South Street

Indianapolis, Indiana 46225

Local Parcel #: 1025987

16 E Henry Street

Indianapolis, Indiana 46225

Local Parcel #: 1080767

201 S Capitol Ave

Indianapolis, Indiana 46225
Local Parcel #: 1100882, 1100880, 1100881, 1100879, 1100878

350 South Illinois Street
Indianapolis, Indiana 46225
Local Parcel #: 1083153, 1010788, 1075319

340 S White River Pky
Indianapolis, Indiana 46204
Local Parcel #: 1107342, 1107415, 1107333, 1107416, 1107418, 1107346, 1107334,
1107335, 1107336, 1107337, 1107338, 1107339, 1107347, 1107417

17 W Market Street
Indianapolis, Indiana 46204
Local Parcel #: 1068098

1 N Meridian Street
Indianapolis, Indiana 46204
Local Parcel #: 1079974

1 N. Pennsylvania Street
Indianapolis, Indiana 46204
Local Parcel #: 1090348, 1083349

801 S Meridian Street
Indianapolis, Indiana 46225
Local Parcel #: 1101678

230 S Meridian Street
Indianapolis, Indiana 46225
Local Parcel #: 1060893

915 S Meridian Street
Indianapolis, Indiana 46225
Local Parcel #: 1040102, 1045050, 1075185, 1035852

RESOLUTION NO. 2023-E-053

RESOLUTION OF THE METROPOLITAN DEVELOPMENT COMMISSION OF MARION COUNTY, INDIANA, ACTING AS THE REDEVELOPMENT COMMISSION OF THE CITY OF INDIANAPOLIS, INDIANA, CONFIRMING A RESOLUTION (I) DECLARING AN AREA IN THE CITY OF INDIANAPOLIS, INDIANA A REDEVELOPMENT PROJECT AREA, (II) DECLARING SAID REDEVELOPMENT PROJECT AREA AS AN ALLOCATION AREA AND (III) APPROVING A REDEVELOPMENT PLAN FOR SAID REDEVELOPMENT PROJECT AREA

WHEREAS, on October 4, 2023, the Metropolitan Development Commission of Marion County, Indiana, acting as the Redevelopment Commission of the City of Indianapolis, Indiana (the “Commission”), the governing body of the Redevelopment District of the City of Indianapolis, Indiana (the “City”), adopted its Resolution No. 2023-E-039 (the “Declaratory Resolution”) in accordance with Indiana Code 36-7-15.1, as amended (the “Act”), declaring an area of the City as the “Alabama Street Redevelopment Project Area” (the “Redevelopment Area”) to be an area needing redevelopment within the meaning of the Act, designating the entire Redevelopment Area as an allocation area known as the “Alabama Street Allocation Area” (the “Allocation Area”) for purposes of Indiana Code 36-7-15.1-26, and approving a Redevelopment Plan for the Redevelopment Area (the “Plan”); and

WHEREAS, in connection with the establishment of the Redevelopment Area and Allocation Area, the Declaratory Resolution removed the territory within the Redevelopment Area and Allocation Area from the Consolidated Area and Consolidated Allocation Area (each as defined in the Declaratory Resolution), and also amended the Consolidated Area Resolutions and Consolidated Area Plan (each as defined in the Declaratory Resolution) to reflect said removal; and

WHEREAS, on December 4, 2023, pursuant to Section 9 of the Act, the City-County Council for the City and for Marion County, Indiana (the “City-County Council”), adopted its General Resolution No. 36, 2023 which approved the Declaratory Resolution and the Plan; and

WHEREAS, pursuant to Sections 10(a) and 10(b) of the Act, the Commission caused to be published and filed a Notice of Public Hearing with respect to the Declaratory Resolution; and

WHEREAS, pursuant to Section 10(c) of the Act, the Commission also filed with each taxing unit located wholly or partially within the Allocation Area a copy of the Notice of Public Hearing and a statement disclosing the impact of the Allocation Area; and

WHEREAS, at the hearing (the “Public Hearing”) held by the Commission on December 20, 2023, the Commission heard all persons interested in the proceedings and considered any written remonstrances that were filed and all evidence presented; and

WHEREAS, the Commission now desires to take final action determining the public utility and benefit of the Declaratory Resolution and the Plan, in accordance with Section 10 of the Act.

NOW, THEREFORE, BE IT RESOLVED by the Metropolitan Development Commission of Marion County, Indiana, acting as the Redevelopment Commission of the City of Indianapolis, Indiana, that:

SECTION 1. After considering the evidence presented at the Public Hearing, the Commission hereby confirms the findings, determinations, designations and approving and adopting actions contained in the Declaratory Resolution.

SECTION 2. After considering the evidence presented at the Public Hearing, the Commission hereby finds and determines that it will be of public utility and benefit to proceed with the proposed projects set forth in the Plan. The Plan is hereby approved in all respects.

SECTION 3. The Declaratory Resolution attached hereto as Exhibit A and incorporated herein by reference is hereby confirmed in all respects.

SECTION 4. This Resolution constitutes final action, pursuant to Section 10(d) of the Act, by the Commission determining the public utility and benefit of the Declaratory Resolution and the Plan, and confirming the Declaratory Resolution. The Secretary of the Commission is directed to (i) record the final action taken by the Commission pursuant to the requirements of Section 10(d) of the Act and (ii) to file this Resolution with the Marion County Auditor and the Indiana Department of Local Government Finance in accordance with Section 10(e) of the Act.

SECTION 5. This Resolution shall take effect immediately upon its adoption by the Commission.

Adopted at a regular meeting of the Metropolitan Development Commission of Marion County, Indiana, held on the 20th day of December, 2023, at the City-County Building, Public Assembly Room, Indianapolis, Indiana.

METROPOLITAN DEVELOPMENT
COMMISSION OF MARION COUNTY, INDIANA,
acting as the Redevelopment Commission of the City of
Indianapolis, Indiana

John J. Dillon, III, President

This Resolution prepared by Dennis H. Otten, Bose McKinney & Evans, LLP, 111 Monument Circle, Suite 2700, Indianapolis, Indiana 46204.

I, Dennis H. Otten, affirm under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law. /s/ Dennis H. Otten

EXHIBIT A

Declaratory Resolution



RESOLUTION NO. 2023-E-039

RESOLUTION OF THE METROPOLITAN DEVELOPMENT COMMISSION OF MARION COUNTY, INDIANA DECLARING AN AREA IN THE CITY OF INDIANAPOLIS, INDIANA A REDEVELOPMENT PROJECT AREA AND APPROVING A REDEVELOPMENT PLAN FOR THE REDEVELOPMENT PROJECT AREA

WHEREAS, the Metropolitan Development Commission of Marion County, Indiana, acting as the Redevelopment Commission of the City of Indianapolis, Indiana (the “Commission”), has investigated, studied and surveyed those areas within the consolidated city boundaries of the City of Indianapolis, County of Marion, Indiana (the “City”) that may be areas needing redevelopment pursuant to the provisions of Indiana Code 36-7-15.1, as amended (the “Act”); and

WHEREAS, the Commission has determined that there exists in the City an area needing redevelopment (the “Area”) to be redeveloped pursuant to the Act; and

WHEREAS, the Commission finds that normal development and occupancy of the Area is undesirable or impossible because of lack of development, cessation of growth, deterioration of improvements, environmental contamination, character of occupancy, age, obsolescence, substandard buildings, and other factors that impair the values or prevent the normal use or development of the Area; and

WHEREAS, the Commission has prepared a redevelopment plan (the “Plan”) for the Area, which Plan is attached to and incorporated by reference in this resolution; and

WHEREAS, the Commission has caused to be prepared:

(1) Maps and plats showing:

- (A) the boundaries of the area in which property would be acquired for, or otherwise affected by, the establishment of an redevelopment area;
- (B) the location of the various parcels of property, streets, alleys, and other features affecting the acquisition, clearance, remediation, replatting, replanning, rezoning, or redevelopment of the area, and any parcels of property to be excluded from the acquisition or otherwise excluded from the effects of the establishment of the Area;
- (C) the parts of the Area acquired, if any, that are to be devoted to public ways, levees, sewerage, parks, playgrounds, and other public purposes under the Plan (as defined herein); and

(2) Lists of the owners of the various parcels of property proposed to be acquired, if any;

(3) An estimate of the cost of acquisition, redevelopment and economic development.

WHEREAS, the Plan and supporting data were reviewed and considered by the Commission at this meeting; and

WHEREAS, Section 26 of the Act permits the creation of “allocation areas” to provide for the allocation and distribution of property taxes for the purposes and in the manner provided in said section; and

WHEREAS, the Area is currently in the Consolidated/Harding Street Redevelopment Project Area (the “Consolidated Area”) and Consolidated Redevelopment Project Allocation Area (Market East Expansion Area) (the “Consolidated Allocation Area”) as established and amended from time to time by the Commission pursuant to its declaratory resolutions and confirmatory resolutions related thereto, as adopted and in effect as of the date of this resolution (such resolutions, collectively, the “Consolidated Area Resolutions”); and

WHEREAS, in connection with the establishment of the Area, the Commission has determined that the territory within the Area to be established pursuant to this resolution should be removed from the Consolidated Area and Consolidated Allocation Area and that the Consolidated Area Resolutions and the Redevelopment Plan for the Consolidated Area, as approved and amended from time to time by the Consolidated Area Resolutions (the “Consolidated Area Plan”), should be amended to reflect such removal;

NOW, THEREFORE, BE IT RESOLVED BY THE COMMISSION THAT:

1. The Commission hereby finds that the Area is an “area needing redevelopment” pursuant to the provisions of the Act. The Commission hereby designates as the “Alabama Street Redevelopment Project Area” (the “Area”), which Area is described in Exhibit A attached hereto and incorporated herein by reference. In connection with the establishment of the Area, the territory within the Area is hereby removed from the Consolidated Area and the Consolidated Allocation Area. The Consolidated Area Resolutions and Consolidated Area Plan are hereby amended to reflect such removal.

2. The Commission finds that the Area is a menace to the social and economic interest of the City and its inhabitants, and that it will be of public utility and benefit to redevelop the Area pursuant to the Act.

3. The Commission finds that the Plan cannot be achieved by regulatory processes or by the ordinary operation of private enterprise without resort to the powers allowed the Commission under Indiana Code 36-7-15.1 because of:

- a. The lack of local public improvement necessary to achieve the level of quality of development described in the Plan;
- b. Existence of improvements or conditions that lower the value of the land below that of nearby land;
- c. Multiple ownership of land; and

- d. Other similar conditions, specifically, challenges resulting from existing private party easements and other land conditions.

4. The Commission finds that the accomplishment of the Plan will be of public utility and benefit as measured by:

- a. The attraction of construction and retention of permanent jobs;
- b. An increase in the property tax base;
- c. Improved diversity of the economic base; and
- d. Other similar benefits that specifically serve as a basis for making future public capital expenditures.

5. The Plan for the Area attached hereto as Exhibit B conforms to other development and redevelopment plans for the City.

6. The Commission estimates that the cost of implementing the Plan will not exceed \$18,000,000.

7. The Commission finds that no residents of the Area will be displaced by any project resulting from the Plan and, therefore, the Commission finds that it does not need to give consideration to transitional and permanent provisions for adequate housing for the residents.

8. In support of the findings and determinations set forth in Section 1 through 7 above, the Commission hereby adopts the specific findings set forth in the Plan.

9. The Commission does not at this time propose to acquire any specific parcel of land or interests in land within the boundaries of the Area. If at any time the Commission proposes to acquire specific parcels of land, the required procedures for amending the Plan under the Act will be followed, including notice by publication and to affected property owners and a public hearing.

10. The entire Area described in Exhibit A is hereby designated as an “allocation area” pursuant to Section 26 of the Act to be known as the “Alabama Street Allocation Area” (herein, the “Alabama Street Allocation Area”) for purposes of the allocation and distribution of property taxes for the purposes and in the manner provided by Section 26 of the Act. Any taxes imposed under Indiana Code 6-1.1 on real property subsequently levied by or for the benefit of any public body entitled to a distribution of property taxes on taxable property in the Alabama Street Allocation Area shall be allocated and distributed in accordance with Section 26 of the Act as follows:

Except as otherwise provided in Section 26, the proceeds of taxes attributable to the lesser of the assessed value of the property for the assessment date with respect to which the allocation and distribution is made, or the base assessed value, shall be allocated to and when collected paid into the funds of the respective taxing units. Except as otherwise provided in said Section 26, property tax proceeds in excess of those described in the previous sentence shall be

allocated to the redevelopment district and when collected paid into an allocation fund for the Alabama Street Allocation Area hereby designated as the “Alabama Street Allocation Fund” and may be used by the redevelopment district to do one or more of the things specified in Section 26(b)(3) of the Act, as the same may be amended from time to time. Said allocation fund may not be used for operating expenses of this Commission. Except as otherwise provided in the Act, before June 15 of each year, the Commission shall take the actions set forth in Section 26(b)(4) of the Act.

The base assessment date for property in the Alabama Street Allocation Area shall be January 1, 2023.

11. The provisions of this resolution shall be subject in all respects to the Act and any amendments hereto and the allocation provision herein relating to the Alabama Street Allocation Area shall expire on the date that is twenty-five (25) years after the date on which the first obligation is incurred to pay principal and interest on bonds or lease rentals on leases payable from tax increment revenues derived in the Alabama Street Allocation Area. The Commission shall notify the Indiana Department of Local Government Finance of the designation of the Area as an allocation area.

12. The Commission shall cause to be prepared a statement disclosing the impact of the Alabama Street Allocation Area, including the following:

A. The estimated economic benefit and costs incurred by the Alabama Street Allocation Area, as measured by increased employment and anticipated growth of real property, personal property and inventory assessed values; and

B. The anticipated impact on tax revenues of each taxing unit that is either wholly or partly located within the Alabama Street Allocation Area. A copy of this statement shall be forwarded to each such taxing unit with a copy of the notice required under Section 10 of the Act at least ten (10) days before the date of the public hearing described in Section 15 of this resolution.


13. The Commission finds that the removal of the territory in the Area from the Consolidated Area and Consolidated Allocation Area for the purpose of enabling the creation of the Area as a separate redevelopment project area and allocation area is in accordance with the Act and is necessary and appropriate to carry out the purposes of this resolution. The Commission, having been advised by its staff and consultants, finds that the removal of the Area from the Consolidated Area and Consolidated Allocation Area will not adversely affect the rights of the holders of any obligations of the City or the redevelopment district thereof payable from a pledge of tax increment revenues derived from the Consolidated Allocation Area.

14. This resolution and the Plan shall be submitted to the City-County Council of the City of Indianapolis and of Marion County, Indiana (the “City-County Council”) for its approval of the establishment of the Area as provided in the Act.

15. The Commission hereby directs the presiding officer of the Commission, after receipt of approval by the City-County Council, to publish notice of the adoption and substance of this resolution in accordance with Indiana Code 5-3-1-4 and to file notice with the office of the Commission, board of zoning appeals, works board, park board, and any other departments, bodies or officers of the City having to do with planning, zoning variances, land use or the issuance of building permits. The notice must state that maps and plats have been prepared and can be inspected at the office of the City's department of redevelopment and must establish a date when the Commission will receive and hear remonstrances and objections from persons interested in or affected by the proceedings pertaining to the proposed project and will determine the public utility and benefit of the proposed project.

ADOPTED AND APPROVED at a meeting of the Metropolitan Development Commission of Marion County, Indiana, held on October 4, 2023, at the City-County Building, 2nd floor, Public Assembly Room (Room 230), Indianapolis, Indiana

METROPOLITAN DEVELOPMENT
COMMISSION OF MARION COUNTY,
INDIANA, acting as the Redevelopment
Commission of the City of Indianapolis,
Indiana



John J. Dillon III, Chairperson

EXHIBIT A**DESCRIPTION AND MAP OF ALABAMA STREET
REDEVELOPMENT AREA AND ALLOCATION AREA****Description:**

The Area is located downtown at 222 North Alabama Street and 202 North Alabama Street and includes local parcel numbers 1029552, 1097670 and 1075317. Currently, the old City Hall and parking lot are located in the Area. The Area is bounded on the north by New York Street, on the east by Alabama Street, on the south by Ohio Street and on the west by Hudson Street.

Parcels:

1029552

1097670

1075317

A map of the Area follows on the next page.

Map of Area



**** The Area is bounded in blue on the map above ****

EXHIBIT B

REDEVELOPMENT PLAN FOR THE ALABAMA STREET REDEVELOPMENT PROJECT AREA

Purpose and Introduction

The Metropolitan Development Commission of Marion City, Indiana, acting as the Redevelopment Commission of the City of Indianapolis, Indiana (the “Commission”) proposes to designate and declare an area needing redevelopment area within the City of Indianapolis, Indiana (the “City”) to be known as the “Alabama Street Redevelopment Project Area” (the “Area”). This document is the plan for the Area (the “Plan”), provided that this Plan may be amended in the future as provided in Indiana Code 36-7-15.1, as amended from time to time (the “Act”), and in this Plan.

Pursuant to the Act, the Plan must be approved by the Commission and the City-City Council of the City of Indianapolis and of Marion City, Indiana (the “City-City Council”). Upon such approvals, the Commission will hold a public hearing on the Plan as required under Section 10 of the Act, before confirming (or modifying and confirming) the designation of the Area and the approval of the Plan.

The Commission also proposes that pursuant to the provisions of Section 26 of the Act, the Area shall constitute a tax increment financing “allocation area” for purposes of the Act. Such allocation area shall be designated as the “Alabama Street Allocation Area” (hereinafter referred to as the “Allocation Area”) for purposes of distribution and allocation of taxes on real property in the Allocation Area.

Project Objectives

The purposes of the Plan are, through the redevelopment of the Area, to benefit the public health, safety, morals and welfare of the citizens of the City; increase the economic well-being of the City and the State of Indiana; and serve to protect and increase property values in the City and the State of Indiana. The Commission has identified the Area as an area needing redevelopment pursuant to the Act. The Plan is designed to redevelopment the Area which is in need of redevelopment because of (i) lack of development, (ii) cessation of growth, (iii) deteriorating improvements and (iv) other factors that impair the normal use or development of the Area. The Commission anticipates the Plan will (i) promote significant opportunities for the gainful employment of citizens of the City, (ii) assist in the attraction of major new business enterprises to the City, (iii) provide for local public improvements in the Area, (iv) attract and retain jobs, (v) increase the property tax base, and (vi) improve the diversity of the economic base of the City.

Description of the Area

The Area is located downtown at 222 North Alabama Street and 202 North Alabama Street and includes local parcel numbers 1029552, 1097670 and 1075317. Currently, the old City Hall and parking lot are located in the Area. The Area is bounded on the north by New York Street, on the east by Alabama Street, on the south by Ohio Street and on the west by Hudson Street.

Project Description

The project consists of the acquisition, construction, renovation, installation and equipping of a mixed-use, 32-floor tower that will include (i) approximately 190 new multi-family residential units occupying approximately 13 floors, (ii) a hotel occupying approximately 8 floors with approximately 150 keys that may be inclusive of a curated art venue open to the general public, (iii) approximately 24 condominium units occupying approximately 4 floors, (iv) approximately 8,000 square feet of curated retail and hospitality space occupying the ground floor and (v) structured parking creating approximately 300 spaces and occupying approximately 4 floors. The total investment in the project is estimated to be \$140,900,000 with completion of the project by December 31, 2028.

Acquisition List

In connection with the accomplishment of the Plan, the Commission has no present plans to acquire any interests in real property. In the event the Commission determines to acquire interests in real property in the future, it shall follow procedures set forth in Section 12 of the Act.

Estimate of the Cost of Acquisition and Redevelopment

Because the Commission does not intend to acquire property for the project, the Commission will not incur any costs of acquisition. However, the Commission will incur certain costs in connection with the development of the project. The estimated cost of the project to be supported by the Commission is \$18,000,000 to provide funding for a portion of the costs of the project. The project is expected to result in the following public and community benefits, among others:

- provide density and commercial activity to an underutilized surface parking lot
- strengthen downtown as a livable neighborhood, destination and place for business
- serve as a bridge between Market East and Mass Ave neighborhoods
- potentially activate the currently dormant old City Hall
- support a preliminary estimated 850 temporary full-time construction jobs during the development of the project and a preliminary estimated 16 permanent jobs (note some of these jobs may be shared for certain retail components of the project) upon completion of the project
- incorporate public art, per Public Art for Neighborhoods Ordinance

- include 10 total units of affordable housing at 30% AMI

Disposal of Property

The Commission may dispose of any real property acquired in the future by sale or lease to the public pursuant to procedures set forth in Section 15 of the Act.

Statutory Findings

The Plan for the Area meets the following required findings under the Act:

1. The Plan for the Area promotes significant opportunities for the gainful employment of the citizens of the City, attracts a major new business enterprise to the City, retains or expands a significant business enterprise existing in the City, or meets other purposes of the Act.

Implementing the Plan and constructing the project will have significant benefit to the surrounding community in terms of the redevelopment of the existing site, including aesthetic improvement, and improvements to the surrounding infrastructure that will foster and promote future development. The total investment in the project is estimated to be \$140,900,000 with completion of the project by December 31, 2028. The project will activate an existing parking lot with a mixed-use, 32-floor tower that will include (i) approximately 190 new multi-family residential units occupying approximately 13 floors, (ii) a hotel occupying approximately 8 floors with approximately 150 keys that may be inclusive of a curated art venue open to the general public, (iii) approximately 24 condominium units occupying approximately 4 floors, (iv) approximately 8,000 square feet of curated retail and hospitality space occupying the ground floor and (v) structured parking creating approximately 300 spaces and occupying approximately 4 floors. The project is expected to:

- provide density and commercial activity to an underutilized surface parking lot
- strengthen downtown as a livable neighborhood, destination and place for business
- serve as a bridge between Market East and Mass Ave neighborhoods
- potentially activate the currently dormant old City Hall
- support a preliminary estimated 850 temporary full-time construction jobs during the development of the project and a preliminary estimated 16 permanent jobs (note some of these jobs may be shared for certain retail components of the project) upon completion of the project
- incorporate public art, per Public Art for Neighborhoods Ordinance
- include 10 total units of affordable housing at 30% AMI

Additionally, the project investment creates redevelopment, economic development, job growth, and will increase the property tax base of the City. The estimated assessed value of the project is \$84,633,000 and the estimated annual tax increment revenue is approximately \$1,872,924 based upon the project and financial analysis prepared by Crowe LLP as municipal advisers to the City.

The number of estimated construction jobs and permanent jobs is 850 (construction jobs) and 16, respectively.

2. The Plan for the Area cannot be achieved by regulatory processes or by the ordinary operation of private enterprise without resort to the powers allowed under the Act because of a lack of local public improvements, the existence of improvements or conditions that lower the value of the land below that of nearby land, multiple ownership of land, or other similar conditions.

The use of tax increment financing from the Allocation Area is necessary to construct the local public improvements that comprise the project. The project could not occur without the availability of tax increment revenues.

3. The public health and welfare will be benefited by accomplishment of the Plan for the Area.

Implementing the Plan and constructing the project will attract a major new business enterprise to the City and create redevelopment, economic development, job growth, and will increase the tax base of the City. But for such development, the Area would continue to have a depressed assessed value and provide little opportunity to create economic development and job growth.

4. The accomplishment of the Plan for the Area will be a public utility and benefit as measured by the attraction or retention of permanent jobs, an increase in the property tax base, improved diversity of the economic base, or other similar public benefits.

As noted above, the project will bring new jobs to the City and will increase the tax base of the City. The Plan will improve the diversity of the economic base of the City and spur development in the Area.

5. The Plan for the Area conforms to other development and redevelopment plans for the City.

The Plan conforms to the goals of the other development and redevelopment plans for the City in that it is designed to enhance the economic well-being of the City and its citizens.

Financing of the Project

It will be necessary to issue bonds to raise money for the completion of the project in the Area. The Commission intends to pledge incremental *ad valorem* property taxes allocated under Indiana Code 36-7-15.1-26 to support the issuance of bond anticipation notes or bonds, which may be issued by either the Commission or the Indianapolis Economic Development Commission (the "EDC"). The amount of these bonds may not exceed the total, as estimated by the Commission or the EDC, of all expenses reasonably incurred in connection with the Project, including:

- (1) The total cost of all land, rights-of-way, and other property to be acquired and developed;

(2) All reasonable and necessary architectural, engineering, construction, equipment, legal, financing, accounting, advertising, bond discount and supervisory expenses related to the acquisition and development of the project or the issuance of bonds;

(3) Interest on the bonds (not to exceed five (5) years from the date of issuance) and a debt service reserve for the bonds to the extent that the Commission determines that a reserve is reasonably required; and

(4) Expenses that the Commission is required or permitted to pay under Indiana Code 36-7-15.1.

In the issuance of bonds, the Commission will comply with IC 36-7-15.1.

Amendment of the Plan

This Plan may be amended by following the procedures described in Section 36-7-15.1-8 of the Act.

RESOLUTION NO. 2023-E-054

A RESOLUTION OF THE METROPOLITAN DEVELOPMENT COMMISSION OF MARION COUNTY, INDIANA, ACTING AS THE REDEVELOPMENT COMMISSION OF THE CITY OF INDIANAPOLIS, INDIANA, PLEDGING TAX INCREMENT REVENUES FROM THE ALABAMA STREET ALLOCATION AREA TO THE PAYMENT OF CERTAIN ECONOMIC DEVELOPMENT TAX INCREMENT REVENUE BONDS (TWG DEVELOPMENT OLD CITY HALL PROJECT) OF THE CITY OF INDIANAPOLIS, INDIANA

WHEREAS, the Metropolitan Development Commission of Marion County, Indiana, acting as the Redevelopment Commission of the City of Indianapolis, Indiana (the “Commission”), being the governing body of the Redevelopment District of the City of Indianapolis, Indiana (the “District”), exists and operates pursuant to the provisions of Indiana Code 36-7-15.1, as amended (the “Act”), and certain other provisions of Indiana law; and

WHEREAS, the Commission, on behalf of the District has previously adopted and confirmed its Resolution 2023-E-039 (the “Declaratory Resolution”) which (i) declared and confirmed an area of the City of Indianapolis, Indiana (the “City”), known as the Alabama Street Redevelopment Project Area (the “Redevelopment Area”), to be an area needing redevelopment within the meaning of the Act, (ii) designated within such Redevelopment Area an allocation area known as the Alabama Street Allocation Area (the “Alabama Street Allocation Area”), for purposes of Section 26 of the Act, and (iii) created the Alabama Street Allocation Fund (the “Allocation Fund”), pursuant to Section 26 of the Act, into which taxes on real property located in the Alabama Street Allocation Area are to be deposited in accordance with, and for the purposes stated in, the Act (the “Tax Increment”) and the Declaratory Resolution, and adopted a redevelopment plan for the Redevelopment Area (the “Plan”); and

WHEREAS, TWG Development, LLC, or a subsidiary or affiliate thereof (“TWG”), desires to finance certain projects, additions or improvements within the Alabama Street Allocation Area, including all or any portion of the Project (as defined herein); and

WHEREAS, the City intends to enter into a Loan Agreement with TWG (the “Loan Agreement”) and a Project Agreement (the “Project Agreement”) in connection with TWG’s development and construction of the Project; and

WHEREAS, TWG desires to finance and construct a development consisting of a mixed-use, 32-floor tower that will include (i) approximately 190 new multi-family residential units occupying approximately 13 floors, (ii) a hotel occupying approximately 8 floors with approximately 150 keys that may be inclusive of a curated art venue open to the general public, (iii) approximately 24 condominium units occupying approximately 4 floors, (iv) approximately 8,000 square feet of curated retail and hospitality space occupying the ground floor and (v) structured parking creating approximately 300 spaces and occupying approximately 4 floors (collectively, the “Project”); and

WHEREAS, the Commission has been advised that the City intends to authorize and issue certain economic development revenue bonds of the City, in one or more series, designated as the “City of Indianapolis, Indiana, Taxable Economic Development Tax Increment Revenue Bonds, Series 202__ (TWG Development Old City Hall Project)” (to be completed with the year in which issued and with such further series or other designation as determined to be necessary), in an aggregate principal amount not to exceed Eighteen Million Dollars (\$18,000,000) (the “Bonds”), for the purposes of providing funds to pay for (a) the financing of all or a portion of the Project, in accordance with the terms of the Loan Agreement, the Project Agreement, and other such documents as deemed necessary, (b) funding a reserve for the Bonds, if necessary, (c) funding capitalized interest on the Bonds, if necessary, and (d) costs and expenses incurred in connection with or on account of the issuance of the Bonds, and the proceeds of the Bonds will be deposited with a financial institution serving as trustee (the “Trustee”) pursuant to a trust indenture (the “Indenture”) between the City and such Trustee and disbursed to TWG during construction of the Project, as provided for in the Indenture, the Loan Agreement and the Project Agreement; and

WHEREAS, the Bonds will be payable in each year from Tax Increment in the amount of the lesser of (i) eighty percent (80%) of the Tax Increment or (ii) the debt service due on the Bonds in such year and considering any prior year shortfalls (the “TIF Revenues”); and

WHEREAS, to the extent the Bonds are not paid in each year from TIF Revenues, TWG will be obligated under the Loan Agreement to make such payments on the Bonds; and

WHEREAS, pursuant to Section 26(b)(3)(D) of the Act and Indiana Code 5-1-14-4, the Commission now desires to pledge the TIF Revenues to the payment of the principal of, premium (if any), and interest on the Bonds as the same becomes due.

NOW, THEREFORE, BE IT RESOLVED BY THE METROPOLITAN DEVELOPMENT COMMISSION OF MARION COUNTY, INDIANA, ACTING AS THE REDEVELOPMENT COMMISSION OF THE CITY OF INDIANAPOLIS, INDIANA, AS FOLLOWS:

1. The Commission hereby finds that the pledge of the TIF Revenues to the payment of principal of and interest on the Bonds to finance the Project, will help accomplish the Plan for the Redevelopment Area and will promote the redevelopment and economic development of the City and the Redevelopment Area.
2. Pursuant to Section 26(b)(3)(D) of the Act and Indiana Code 5-1-14-4, the Commission hereby irrevocably pledges the TIF Revenues (representing in each year the lesser of (i) eighty percent (80%) of the Tax Increment or (ii) the debt service due on the Bonds in such year and considering any prior year shortfalls) to the payment of principal of and interest on the Bonds. There are no other prior liens, encumbrances or other restrictions on the Commission’s ability to pledge the TIF Revenues. The remaining Tax Increment not pledged by the Commission hereunder (such non-pledged Tax Increment, herein the “Surplus Tax Increment”) shall be used by the Commission for any purpose permitted by law, including the release of such Surplus Tax Increment to the taxing units in the Alabama Street Allocation Area as provided under the Act.

3. There is hereby created within the Alabama Street Allocation Fund an Alabama Street Project Bond Account (the “Bond Account”). On or before each January 15 and July 15, beginning July 15, 2030, TIF Revenues in an amount which, together with any amounts already on deposit in the Bond Fund (as defined in the Indenture) for the Bonds, is sufficient to pay the maximum debt service coming due on the Bonds plus Annual Fees (as defined in the Indenture) during the following six (6) month period, shall be deposited in the Bond Account and immediately transferred to the Trustee for deposit into the Bond Fund established and held under the Indenture.

4. On or before each January 15 and July 15, after satisfying the requirements of Section 3 above, any available TIF Revenues shall be deposited to the Alabama Street Project General Account of the Allocation Fund (the “General Account”) hereby created. The TIF Revenues held in the General Account shall be used (i) first, if necessary, to reimburse the holders of the Bonds for any unpaid debt service thereon due to any prior shortfalls in TIF Revenues and/or shortfall in payments due by TWG under the Loan Agreement and the Indenture, or by any taxpayers under any taxpayer agreements in connection with the Bonds, and (ii) second, if necessary, to reimburse TWG for any payments it has paid on the Bonds under the terms of the Loan Agreement and Indenture and any taxpayers for any payments they have made on the Bonds under the terms of any taxpayer agreements in connection with the Bonds. Any TIF Revenues deposited in the General Account shall be immediately transferred to the Trustee for deposit into the Bond Fund established and held under the Indenture.

5. There is hereby created within the Alabama Street Allocation Fund, a Surplus Account (the “Surplus Account”). All Surplus Tax Increment shall be deposited in the Surplus Account of the Alabama Street Allocation Fund and shall be used by the Commission for any purposes permitted by the Act, including the release of the Surplus Tax Increment to the taxing units in the Alabama Street Allocation Area.

6. So long as the Bonds remain outstanding, the Commission shall not make any further pledges of the TIF Revenues without the prior written consent of the holders of the Bonds. As set forth in Section 5, the Commission may use the Surplus Tax Increment for any purposes permitted by the Act, including making pledges thereof to obligations, without the consent of the holders of the Bonds.

7. In connection with the Project, the Commission hereby authorizes any officer of the Commission or the Department of Metropolitan Development (“DMD”) to enter into a one or more project, taxpayer and financing agreements with the Developer and/or such other entities or taxpayers as may be necessary, desirable or appropriate, in form and substance and on terms and conditions acceptable to such officer of the Commission or DMD, together with any and all changes as may be necessary, desirable or appropriate, which shall be evidence by such officer’s execution thereof. In the event any taxpayer agreements are entered into in connection with the Project and the Bonds, any payments due to the DMD under any such taxpayer agreements are hereby pledged to the payment of the Bonds in accordance with Indiana Code 5-1-14-4.

8. This Resolution shall take effect immediately upon its adoption by the Commission.

Adopted at a regular meeting of the Metropolitan Development Commission of Marion County, Indiana, held on the 20th day of December, 2023, at the City-County Building, Public Assembly Room, Indianapolis, Indiana.

METROPOLITAN DEVELOPMENT
COMMISSION OF MARION COUNTY, INDIANA,
acting as the Redevelopment Commission of the City of
Indianapolis, Indiana

John J. Dillon, III, President

This Resolution prepared by Dennis H. Otten, Bose McKinney & Evans, LLP, 111 Monument Circle, Suite 2700, Indianapolis, Indiana 46204.

**METROPOLITAN DEVELOPMENT COMMISSION OF
MARION COUNTY, INDIANA
FINAL ECONOMIC REVITALIZATION AREA RESOLUTION
RESOLUTION NO. 2023-A-041
REAL PROPERTY TAX ABATEMENT**

DJ BCG Monon 22, LLC
1011 East 22nd Street

WHEREAS, I.C. 6-1.1-12.1 allows a partial abatement of property taxes attributable to "redevelopment or rehabilitation" activities (hereinafter "Project") in "Economic Revitalization Areas"; and

WHEREAS, I.C. 6-1.1-12.1 empowers the Metropolitan Development Commission (hereinafter "Commission") to designate Economic Revitalization Areas and determine the length of the abatement period and annual abatement schedule during the term of the abatement for such property, and to limit the dollar amount of the deduction that will be allowed with respect to a project, by following a procedure involving adoption of a preliminary resolution, provision of public notice, conducting of a public hearing, and adoption of a resolution confirming the preliminary resolution or a modified version of the preliminary resolution; and

WHEREAS, the Commission has established in Resolution No. 01-A-041, 2001, certain standards and procedures for the designation of Economic Revitalization Areas for the partial abatement of property taxes attributable to redevelopment or rehabilitation activities; and

WHEREAS, I.C. 6-1.1-12.1 empowers the Commission, at the time an Economic Revitalization Area is designated, to limit the dollar amount of the deduction that will be allowed with respect to a project; and

WHEREAS, I.C. 6-1.1-12.1 requires an applicant for Economic Revitalization Area designation to provide a statement of benefits and requires the Commission, before it makes a decision to designate such an area as an Economic Revitalization Area, to determine that the Project can be reasonably expected to yield the benefits identified in the statement of benefits and determine that the totality of benefits arising from the Project is sufficient to justify Economic Revitalization Area designation; and

WHEREAS, a business (hereinafter "Applicant") named in the attachment to this Resolution, which is incorporated herein by reference, has an ownership interest in the geographical area (hereinafter "Subject Real Estate") described in such attachment; and

WHEREAS, the Applicant has requested the Subject Real Estate be designated as an Economic Revitalization Area for the purpose of achieving property tax savings in connection with the Project set forth in the attachment to this Resolution and occurring on the Subject Real Estate; and

WHEREAS, during a preliminary hearing at 1:00 p.m. on Wednesday, November 15, 2023, the Commission received evidence about whether the Subject Real Estate should be designated as an Economic Revitalization Area and recommended the appropriate length of the abatement period for such Area, and the Commission adopted **Preliminary Resolution No. 2023-A-039**, preliminarily designating the Subject Real Estate as an Economic Revitalization Area for an abatement period of ten (10) years

(“Preliminary Resolution”); and it fixed 1:00 p.m. on Wednesday, **December 6, 2023**, for the public hearing of remonstrances and objections from persons interested in whether the Subject Real Estate should be designated as an Economic Revitalization Area; and

WHEREAS, a copy of such Preliminary Resolution was properly filed with the Marion County Assessor and proper legal notices were published indicating the adoption and substance of such Preliminary Resolution and stating when and where such final hearing would be held; and

WHEREAS, pursuant to Commission Resolution No. 01-A-041, 2001, the Applicant and City have entered into a Memorandum of Agreement which shall be utilized to measure compliance with the proposed Project described in the attachment to this resolution; and

WHEREAS, at the Commission meeting on December 6, 2023, the Applicant and Staff had requested the final hearing on the Economic Revitalization Area designation and approval of the tax abatement be delayed until December 20, 2023; and

WHEREAS, the Commission granted the request to continue the hearing until December 20, 2023, without additional publication of legal notice.

WHEREAS, at such final Hearing, evidence and testimony, and Factual Assertions 1 through 6 stated on the attachment to the Preliminary Resolution were considered by the Commission.

NOW, THEREFORE, IT IS RESOLVED:

1. The Commission now amends, confirms, adopts and approves such Preliminary Resolution and thereby finds and establishes the area as an Economic Revitalization Area subject to the conditions that designation as an Economic Revitalization Area allows the abatement of property taxes only relative to the Project and the effectiveness of the designation can be terminated by action of the Commission if:
 - A. The Applicant is unable to secure approval of the necessary variance or rezoning petition to provide for the proposed development.
 - B. Construction on the Subject Real Estate is not in substantial conformance with the Project description contained in the final resolutions as supplemented by information in the application, site plan and elevations; or
 - C. Construction of the Project is not initiated within one (1) year of the date a final resolution designating the Subject Real Estate as an Economic Revitalization Area is adopted.
2. The Economic Revitalization Area designation terminates (hereinafter the “ERA”) designation terminates December 31, 2025; however, relative to redevelopment or rehabilitation completed before the end of the ERA period, this termination does not limit the period of time the Applicant or successor owner is entitled to receive a partial abatement of property taxes to a period of less than **ten (10) years**.
3. In the event the investment period, as identified on the Statement of Benefits form, covers more than one assessment cycle, it is the intention of the Commission that Marion County Auditor shall treat each year of partial assessment as the first year of the abatement deduction schedule outlined

in this abatement resolution. Each new increment of assessment that occurs during the approved investment period will trigger its own deduction schedule, ensuring that the Applicant is eligible to receive the full, intended abatement savings associated with its forecasted investment, provided that the Applicant timely files with Marion County a separate deduction application (State Forms CF-1 and 322/RE) for each new increment of assessment for which it seeks an abatement deduction.

4. This Economic Revitalization Area designation is limited to allowing the partial abatement of property taxes attributable to redevelopment or rehabilitation activities: **This designation does not allow abatement of property taxes for installation of new manufacturing equipment under I.C. 6-1.1-12.1-4.5.** Pursuant to IC 6-1.1-12.1-2 (i), the Commission hereby limits the dollar amount of the deduction that will be allowed, with respect to redevelopment in the ERA, to those respective tax savings attributable to the redevelopment of the Subject Real Estate, as described in this Resolution and as depicted in the Site Plan and Conceptual Elevations attached hereto, and the Memorandum of Agreement, incorporated herein by reference.
5. The Commission has determined that the Project can be reasonably expected to yield the benefits identified in the attached "statement of benefits" and the "statement of benefits" is sufficient to justify the partial abatement of property taxes requested, based on the following findings:
 - A. The estimate of the value of the proposed Project is reasonable for projects of that nature.
 - B. The estimate of the number of individuals who will be employed or whose employment will be retained can reasonably be expected to result from the proposed Project.
 - C. The estimate of the annual salaries of those individuals who will be employed or whose employment will be retained can reasonably be expected to result from the proposed Project.
 - D. Other benefits about which information was requested are benefits which can reasonably be expected to result from the proposed Project.
 - E. The "Totality of Benefits" is sufficient to justify the deduction.
6. Under the authority of I.C. 6-1.1-12.1, the Commission directs the Department of Metropolitan Development to survey projects receiving Economic Revitalization Area designation for compliance with job creation/retention figures, salaries associated with these figures, the committed rents, and investment figures contained in the applicant's approved Final Economic Revitalization Area Resolution, the Memorandum of Agreement executed by and between the applicant and the City, and/or the statement of benefits form. The Commission may reduce the dollar amount, or rescind the deduction in its entirety, and/or require repayment of all or a portion of the deductions received by the applicant for failure to achieve the benefits identified in the Memorandum of Agreement and/or "statement of benefits", or for failure to respond to the mandatory survey.
6. The Commission directs the Department of Metropolitan Development to survey the Project described in the attachment to this Resolution annually for at least twenty-two (22) years. The dates of the initial twenty-two (22) surveys shall be on or about the following dates: 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044 and 2045.
7. The Subject Real Estate and Project area are approved for an abatement period of **ten (10) years**.

8. The real property tax abatement shall utilize the following abatement schedule:

REAL PROPERTY TAX ABATEMENT

YEAR OF DEDUCTION	PERCENTAGE
1 st	85%
2 nd	85%
3 rd	85%
4 th	85%
5 th	85%
6 th	85%
7 th	85%
8 th	85%
9 th	85%
10 th	85%

9. A copy of this Resolution shall be filed with the Marion County Auditor.

METROPOLITAN DEVELOPMENT COMMISSION

John J. Dillon III, President

Date

Approved as to Legal Form
and Adequacy this 21st day
of November, 2023.

/s/ Toae Kim
Toae Kim,
Deputy Chief Counsel

STAFF ANALYSIS
REAL PROPERTY TAX ABATEMENT

Area Surrounding Subject Real Estate: The site is located at the southwest corner of 22nd Street and the Monon Trail, in an urban neighborhood comprise of low and mid-density housing and legacy industrial uses.

Current Zoning:.....D-P

New Jobs Created:2

Jobs Retained:None.

Estimated Cost of proposed project: \$17,780,144.00

STAFF ANALYSIS

DJ BGC Monon 22, LLC has proposed redevelopment of the former Habitat for Humanity ReStore, an architectural salvage and building supply facility. The proposed Project includes the demolition of existing industrial buildings and the construction multi-family residential development, consisting of three, three-story apartment buildings that would be comprised of 111 residential units, 57 units of which reserved for households earning less than Area Median Income (AMI). Construction of the Project is scheduled to commence in Q1 2024, with delivery of the units by Q1 2025.

For the Workforce Support Commitments for the Project, the applicant will be required to set aside 51% of units with rental restrictions. These units shall be provided in the following proportions: 57 units must be affordable at an 80% AMI level (workforce housing). In addition, 29 of these 80% AMI units must maintain this affordability level for 20 years, while 28 must remain affordable for 10 years.

Staff believes this project does comply with the requirements of Metropolitan Development Commission Resolution No. 01-A-041, 2001 concerning the granting of property tax abatement.

RECOMMENDATION: Staff recommends approval of ten (10) years real property tax abatement.

TOTALITY OF BENEFITS

PETITIONER: DJ BCG MONON 22, LLC

INVESTMENT: Staff estimates that the proposed investment of \$17,780,144.00 should result in an increase to the tax base of approximately \$14,375,100.00 of assessed value. Staff estimates that over the ten (10) year real property tax abatement period the petitioner will realize savings of up to \$2,768,552.02 (an 82.7% savings). During the abatement period, the petitioner is expected to pay an estimated \$577,250.61 in real property taxes on the project. This is in addition to the current taxes being paid on the property in the amount of \$17,157.84 annually (pay 2023 taxes). After the tax abatement expires, the petitioner can be expected to pay an estimated \$353,965.84 in real property taxes annually on the new improvements, in addition to the annual taxes attributable to the current value of the property.

EMPLOYMENT: The petitioner estimates that this project will create at least two (2) positions at a minimum wage of not less than \$27.00/hr. Staff finds these figures to be reasonable for a project of this nature.

OTHER BENEFITS: Staff believes this project is significant for Center Township in terms of new taxes and potential job creation and retention. Furthermore, staff believes the petitioner's project will lead to continued future investment and development in Marion County.

STAFF COMMENT: Staff believes the "Totality of Benefits" arising from the project are sufficient to justify the granting of the tax abatement.

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PROJECT SUMMARY

Applicant: DJ BCG Monon 22, LLC

Subject Real Estate: 1011 East 22nd Street

Center Township Parcel Number: 1027413

Project Description:

DJ BCG Monon 22, LLC is a redevelopment partnership formed by two local real estate development companies, Chase Development and Brown Capital Group. The proposed development would consist of the demolition of existing warehouse structures and construction three new three-story multi-family residential buildings, comprising 111 residential units, 57 units of which reserved for households earning less than Area Median Income (AMI). Construction of the Project is scheduled to commence in Q1 2024, with delivery of the units by Q1 2025. The development will create two new full-time permanent positions at or over \$27.00 per hour by the end of 2025.

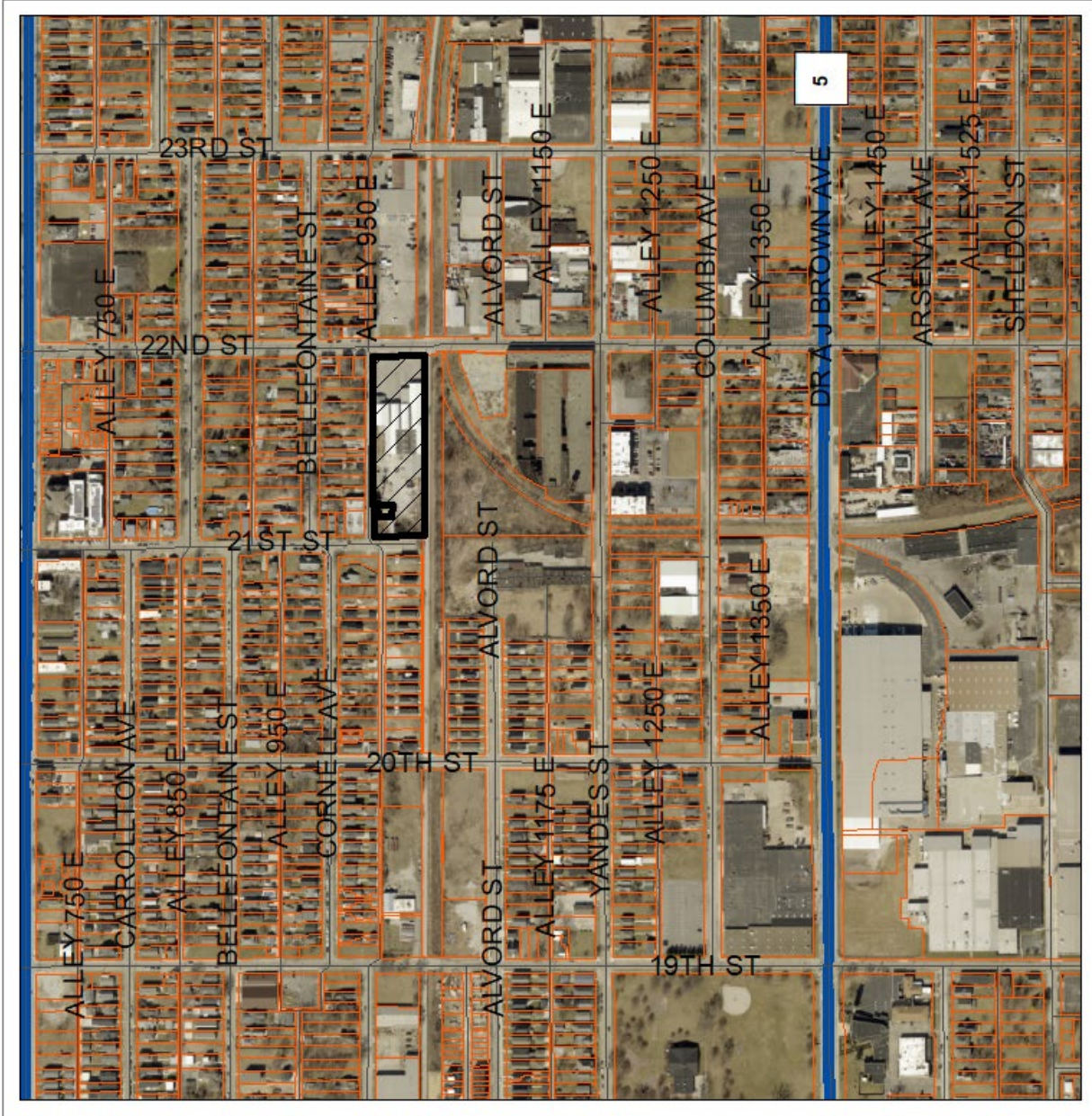
New Jobs Created: 2 at \$27.00/hr.

Jobs Retained: None.

Estimated Cost of Project: \$17,780,144.00

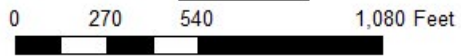
RECOMMENDATION: Staff recommends approval of ten (10) years real property tax abatement.

DJ BCG Monon 22, LLC
22nd & Monon Apartments - 1011 East 22nd Street



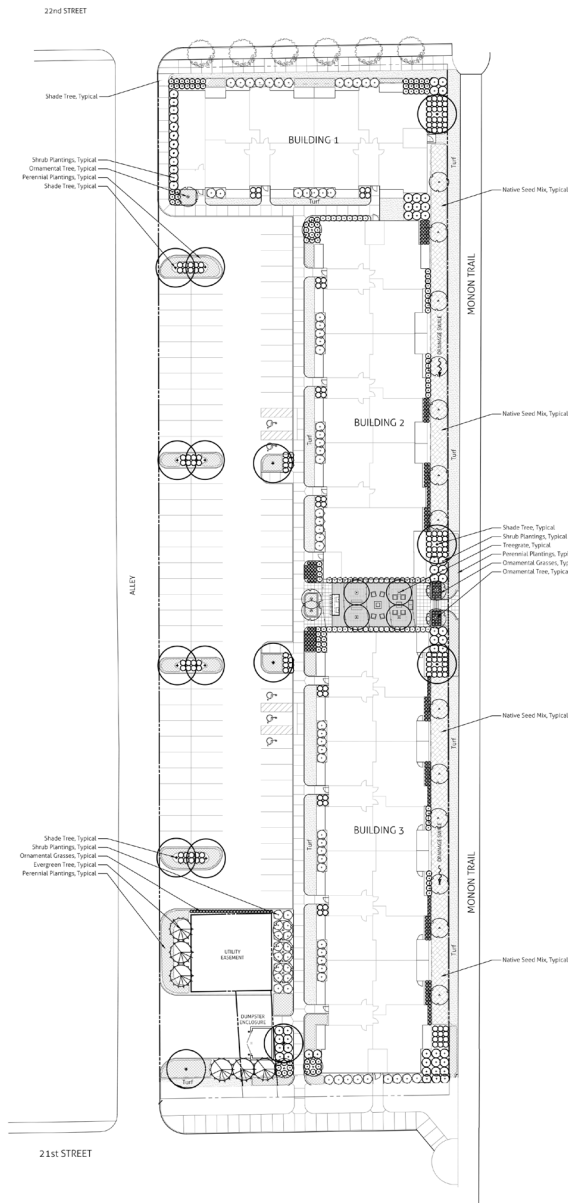
Legend

- IndyGo Transit Routes
- ▭ Parcels
- ▨ Project Site



Produced by: DMD REED October 24, 2023

Site Plan



LEGEND - PLANTING

- Shade Tree, Typical
- Ornamental Tree, Typical
- Evergreen Tree, Typical
- Shrubs, Typical
- Perennial & Groundcover, Typical.
- Areas to Receive Seed or Sod
- Native Vegetation Seed Mix



1054 Virginia Ave, Suite 210
 Indianapolis, Indiana 46203
 www.andersonbohlander.com

PREPARED FOR
Brown Development Group

PROJECT
22nd & MONON DEVELOPMENT

Indianapolis, Indiana

CONSULTANTS

ISSUED FOR ZONING REVIEW
 August 16, 2023

DRAWN BY:
 CAR
 CHECKED BY:
 JBB

REVISIONS
 No. Date Issue

SHEET TITLE
PRELIMINARY PLANTING PLAN

NORTH SCALE: 1" = 30'-0"

SHEET NUMBER
L2.00
 © 2023 Anderson + Bohlander, LLC

Conceptual Elevations



**METROPOLITAN DEVELOPMENT COMMISSION OF
MARION COUNTY, INDIANA
FINAL ECONOMIC REVITALIZATION AREA RESOLUTION
RESOLUTION NO. 2023-A-042
REAL PROPERTY TAX ABATEMENT**

Patch Washington Street, LLC
8501, 8505, 8509, 8517 and 8609 West Washington Street

WHEREAS, I.C. 6-1.1-12.1 allows a partial abatement of property taxes attributable to "redevelopment or rehabilitation" activities (hereinafter "Project") in "Economic Revitalization Areas"; and

WHEREAS, I.C. 6-1.1-12.1 empowers the Metropolitan Development Commission (hereinafter "Commission") to designate Economic Revitalization Areas and determine the length of the abatement period and annual abatement schedule during the term of the abatement for such property, and to limit the dollar amount of the deduction that will be allowed with respect to a Project, by following a procedure involving adoption of a preliminary resolution, provision of public notice, conducting of a public hearing, and adoption of a resolution confirming the preliminary resolution or a modified version of the preliminary resolution; and

WHEREAS, the Commission has established in Resolution No. 01-A-041, 2001, certain standards and procedures for the designation of Economic Revitalization Areas for the partial abatement of property taxes attributable to redevelopment or rehabilitation activities; and

WHEREAS, I.C. 6-1.1-12.1 empowers the Commission, at the time an Economic Revitalization Area is designated, to limit the dollar amount of the deduction that will be allowed with respect to a project; and

WHEREAS, I.C. 6-1.1-12.1 requires an applicant for Economic Revitalization Area designation to provide a statement of benefits and requires the Commission, before it makes a decision to designate such an area as an Economic Revitalization Area, to determine that the Project can be reasonably expected to yield the benefits identified in the statement of benefits and determine that the totality of benefits arising from the Project is sufficient to justify Economic Revitalization Area designation; and

WHEREAS, a business (hereinafter "Applicant") named in the attachment to this Resolution, which is incorporated herein by reference, has an ownership interest in the geographical area (hereinafter "Subject Real Estate") described in such attachment; and

WHEREAS, I.C. 6-1.1-12.1-11.3 empowers the Commission, by resolution and following a public hearing, to waive the requirement that an area be designated as an economic revitalization area before initiation of the redevelopment; and

WHEREAS, the Applicant is requesting, pursuant to the provisions of I.C. 6-1.1-12.1-11.3, that the Commission waive the requirement that an area be designated as an economic revitalization area before the initiation of the redevelopment (the "Waiver"); and

WHEREAS, the Applicant has requested the Subject Real Estate be designated as an Economic Revitalization Area for the purpose of achieving property tax savings in connection with the Project set forth in the attachment to this Resolution and occurring on the Subject Real Estate; and

WHEREAS, during a preliminary hearing at 1:00 p.m. on Wednesday, November 15, 2023, the Commission received evidence about whether the Subject Real Estate should be designated as an Economic Revitalization Area and recommended the appropriate length of the abatement period for such Area, and the Commission adopted **Preliminary Resolution No. 2023-A-040**, preliminarily designating the Subject Real Estate as an Economic Revitalization Area for an abatement period of up to seven (7) years (“Preliminary Resolution”); and

WHEREAS, pursuant to Commission Resolution No. 01-A-041, 2001, the Applicant and the City have entered into a Memorandum of Agreement which shall be utilized to measure compliance with the proposed Project described in the attachment to this Resolution; and

WHEREAS, proper legal notices were published indicating the adoption of such Preliminary Resolution and stating when and where such final public hearing would be held, and

WHEREAS, at the Commission meeting on December 6, 2023, the Applicant and Staff had requested the final hearing on the Economic Revitalization Area designation and approval of the tax abatement be delayed until December 20, 2023; and

WHEREAS, the Commission granted the request to continue the hearing until December 20, 2023, without additional publication of legal notice.

NOW, THEREFORE, IT IS RESOLVED:

1. The Commission now amends, confirms, adopts and approves such Preliminary Resolution and Waiver and thereby finds and establishes the area as an Economic Revitalization Area subject to the conditions that designation as an Economic Revitalization Area allows the abatement of property taxes only relative to the Project and the effectiveness of the designation can be terminated by action of the Commission if:
 - A. The Applicant is unable to secure approval of the necessary variance or rezoning petition to provide for the proposed development.
 - B. Construction on the Subject Real Estate is not in substantial conformance with the Project description contained in the final resolutions as supplemented by information in the application, site plan and elevations; or
 - C. Construction of the Project is not initiated within one (1) year of the date a final resolution designating the Subject Real Estate as an Economic Revitalization Area is adopted.
2. The Economic Revitalization Area designation terminates two (2) years after the date a final resolution is adopted; however, relative to redevelopment or rehabilitation completed before the end of the two (2) year period, this termination does not limit the period of time the Applicant or successor owner is entitled to receive a partial abatement of property taxes to a period of not less than five (5) and up to seven (7) years.

3. In the event the investment period, as identified on the Statement of Benefits form, covers more than one assessment cycle, it is the intention of the Commission that Marion County Auditor shall treat each year of partial assessment as the first year of the abatement deduction schedule outlined in this abatement resolution. Each new increment of assessment that occurs during the approved investment period will trigger its own deduction schedule, ensuring that the Applicant is eligible to receive the full, intended abatement savings associated with its forecasted investment, provided that the Applicant timely files with Marion County a separate deduction application (State Forms CF-1 and 322/RE) for each new increment of assessment for which it seeks an abatement deduction.
4. This Economic Revitalization Area designation is limited to allowing the partial abatement of property taxes attributable to redevelopment or rehabilitation activities: **This designation does not allow abatement of property taxes for installation of new manufacturing equipment under I.C. 6-1.1-12.1-4.5.** Pursuant to IC 6-1.1-12.1-2 (i), the Commission hereby limits the dollar amount of the deduction that will be allowed, with respect to redevelopment in the ERA, to those respective tax savings attributable to the development of a building not greater than 106,000 square feet of leasable area.
5. The Commission has determined that the Project can be reasonably expected to yield the benefits identified in the attached "statement of benefits" and the "statement of benefits" is sufficient to justify the partial abatement of property taxes requested, based on the following findings:
 - A. The estimate of the value of the proposed Project is reasonable for projects of that nature.
 - B. The estimate of the number of individuals who will be employed or whose employment will be retained can reasonably be expected to result from the proposed Project.
 - C. The estimate of the annual salaries of those individuals who will be employed or whose employment will be retained can reasonably be expected to result from the proposed Project.
 - D. Other benefits about which information was requested are benefits which can reasonably be expected to result from the proposed Project.
 - E. The "Totality of Benefits" is sufficient to justify the deduction.
6. Under the authority of I.C. 6-1.1-12.1, the Commission directs the Department of Metropolitan Development to survey projects receiving Economic Revitalization Area designation for compliance with job creation/retention figures, salaries associated with these figures, Workforce Support Commitments and investment figures contained in the applicant's approved Final Economic Revitalization Area Resolution, the Memorandum of Agreement executed by and between the applicant and the City, and/or the statement of benefits form. The Commission may reduce the dollar amount, or rescind the deduction in its entirety, and/or require repayment of all or a portion of the deductions received by the applicant for failure to achieve the benefits identified in the Memorandum of Agreement and/or "statement of benefits", or for failure to respond to the mandatory survey.
7. The Commission directs the Department of Metropolitan Development to survey the Project described in the attachment to this Resolution annually for at least eleven (11) years. The dates of

the initial eleven (11) surveys shall be on or about the following dates: 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033 and 2034.

- 8. The Subject Real Estate and Project areas are approved for an abatement period of **up to seven (7) years.**
- 9. The real property tax abatement shall utilize the following abatement schedules:

REAL PROPERTY TAX ABATEMENT

(Schedule if conditions are not met for "Enhanced Abatement," pursuant to MOA)

YEAR OF DEDUCTION	PERCENTAGE
1 st	100%
2 nd	80%
3 rd	60%
4 th	40%
5 th	20%

REAL PROPERTY OPPORTUNITY BUSINESS ENHANCED TAX ABATEMENT

(Must be invoked by third year of deduction)

YEAR OF DEDUCTION	PERCENTAGE
1 st	100%
2 nd	80%
3 rd	60%
4 th	55%
5 th	45%
6 th	35%
7 th	25%

- 10. A copy of this Resolution shall be filed with the Marion County Auditor.

METROPOLITAN DEVELOPMENT COMMISSION

John J. Dillon III, President

Date

Approved as to Legal Form
and Adequacy this 9th day
of November, 2023.

/s/ Toae Kim
Toae Kim
Deputy Chief Counsel

PROJECT SUMMARY
REAL PROPERTY TAX ABATEMENT
PATCH WASHINGTON STREET, LLC

Project Address:8501, 8505, 8509, 8517 and 8609 West Washington Street

Current Zoning:.....I-2

Qualified Jobs Created:21

Qualified Jobs Retained:None.

Estimated Cost of Proposed Project: \$12,500,000.00

STAFF ANALYSIS

Patch Washington Street, LLC, through its parent company, Patch Development, will soon complete construction of a speculative industrial building of approximately 105,000 square feet in leasable area. Patch had obtained an offer of support for tax abatement from the City and Develop Indy in late 2022. Subsequently, Patch acquired the 8.71-acre site from the Indianapolis International Airport, began construction of the \$12,500,000 project shortly thereafter. Since the project was initiated prior to the submittal of the Statement of Benefits, a Waiver is required. Staff recommends approval of the Waiver, as we believe Patch began the project in good faith, and the project was, and is, aligned with the City’s incentives policy on industrial development.

Petitioner has agreed to target “Opportunity Industries” as tenants for the project. Opportunity Industries are defined as those business sectors that provide for worker advancement without requiring a bachelor’s degree. If an Opportunity Industry tenant or tenants are secured, two additional years of real property tax abatement would be authorized.

The petitioner’s Inclusivity Plan will require donation of five percent of estimated abatement savings to the Indianapolis Housing Trust Fund, to support the development and preservation of affordable housing in the City.

The applicant is requesting tax abatement to assist in off-setting the high costs of investment associated with this proposed project. The granting of property tax abatement will assist in making this project more economically feasible by phasing in the increased tax liability resulting from the investments. In staff’s opinion, a project such as this would not be economically feasible without incentives. Staff believes that the use of tax abatement is an appropriate tool to assist with this project and support continued development within Marion County. For these reasons, staff believes tax abatement to be an appropriate tool for development.

Staff believes this project does comply with the requirements of Metropolitan Development Commission Resolution No. 01-A-041, 2001 concerning the granting of property tax abatement.

RECOMMENDATION: Staff recommends approval of up to seven (7) years real property tax abatement.

TOTALITY OF BENEFITS

- PETITIONER:** Patch Washington Street, LLC
- INVESTMENT:** Staff estimates that the proposed investment of \$12,500,000.00 should result in an increase to the tax base of approximately \$9,375,000.00 of assessed value. Staff estimates that over the initial five (5) year real property tax abatement period the petitioner will realize savings of approximately \$849,530.52 (a 54.1% savings). During the abatement period, the petitioner is expected to pay an estimated \$720,781.98 in real property taxes relative to the new investment. No taxes are currently being paid on the property, as it has been owned by a tax-exempt entity (pay 2023 taxes). After the tax abatement expires, the petitioner can be expected to pay an estimated \$317,127.75 in real property taxes annually on the new improvements, in addition to annual taxes attributable to value of the land as industrial ground.
- OPPORTUNITY
INDUSTRY
INCENTIVE:** The petitioner has agreed to target Opportunity Industries in their marketing effort to lease or sell the developed property. If petitioner successful in leasing at least 51% of the gross leasable area of the building to such an industry, then the petitioner will be entitled to an alternate deduction schedule, including two (2) more years of deduction on the building(s) thus occupied. Staff estimates that if the building qualifies for the enhanced real property tax abatement, the petitioner will realize an additional tax savings of approximately \$267,954.71, in addition to the tax savings realized during the initial abatement term. The petitioner would also pay an additional \$360,170.29 in real property taxes during the enhanced abatement term.
- EMPLOYMENT:** The petitioner estimates that this project will create a minimum of twenty-one (21) positions at a minimum wage of not less than \$18.00/hr. Staff finds these figures to be reasonable for a project of this nature.
- OTHER BENEFITS:** Staff believes this project is significant for Wayne Township in terms of new taxes and potential job creation and retention. Furthermore, staff believes the petitioner's project will lead to continued future investment and development in Marion County.
- STAFF COMMENT:** Staff believes the "Totality of Benefits" arising from the project are sufficient to justify the granting of the tax abatement.

PROJECT SUMMARY

Applicant: Patch Washington Street, LLC

Subject Real Estate: 8501, 8505, 8509, 8517 and 8609 West Washington Street

Wayne Township Parcel Numbers: 9000815, 9027899, 9031589, 9006277, 9010822 and 9025581

PROJECT DESCRIPTION

Patch Washington Street, LLC is a single-purpose business entity created by Westfield-based Patch Development to construct, own and manage a proposed 105,000-square foot, speculative industrial building on the far west side of Indianapolis. The subject site is comprised of six parcels along West Washington Street, totaling 8.71 acres. Prior to acquisition by Patch, the property was tax-exempt and owned by the Indianapolis Airport Authority (“IAA”).

In late 2022, Patch received an offer of tax abatement from the City and its economic development partners, Develop Indy, a unit of the Indy Chamber. Having not previously participated in the City’s tax abatement program, Patch was under the impression that the offer letter represented the ‘approval’ of the abatement.

Moving forward with an assumption of the tax incentive having been approved, Patch closed on the purchase of the real estate from the IAA, Patch subsequently obtained building permits and began construction of the project at a cost of \$12,500,000.00. Shell construction is anticipated to be completed by end of year, and the tenant improvements in spring of 2024. Additionally, Patch has been in negotiations with three potential tenants for the building, which collectively would create not less than 21 new jobs at the site.

New Jobs Created: 21 at \$18.00/hr.

Jobs Retained: None.

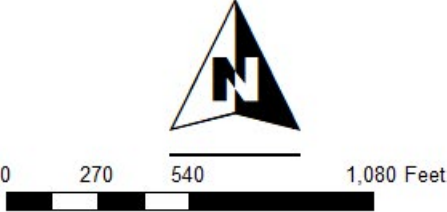
Estimated Cost of Project: \$12,500,000.00

Patch Washington Street, LLC
8501, 8505, 8509, 8517 and 8609 West Washington Street



Legend

- IndyGo Transit Routes
- ▭ Parcels
- ▨ Project Site



Produced by: DMD REED November 6, 2023

RESOLUTION NO. 2023-BB-10

RESOLUTION OF THE METROPOLITAN DEVELOPMENT COMMISSION OF MARION COUNTY, INDIANA, APPOINTING PUBLIC HEARING OFFICERS

WHEREAS, the Metropolitan Development Commission of Marion County, Indiana, acting as the Redevelopment Commission of the City of Indianapolis, Indiana (the "Commission"), being the governing body of the Redevelopment District of the City of Indianapolis, Indiana (the "District"), exists and operates under the provisions of Indiana Code 36-7-15.1, as amended from time to time; and

WHEREAS, the Commission has determined that, in connection with the issuance of any "qualified 501(c)(3) bonds" (as defined in Section 145 of the Internal Revenue Code of 1986, as amended (the "Code")) by the District, it is necessary and appropriate for the Commission to appoint one or more public hearing officers to conduct hearings required by Section 147(f) of the Code and the U.S. Treasury Regulations promulgated thereunder; and

WHEREAS, the Commission desires to authorize the President of the Commission, the Director of the City of Indianapolis Department of Metropolitan Development, the Executive Director of The Indianapolis Local Public Improvement Bond Bank (the "Bond Bank"), and any deputy general counsel of the Bond Bank (collectively, the "Authorized Officers") to serve as public hearing officers with respect to such hearings;

NOW, THEREFORE, BE IT RESOLVED by the Metropolitan Development Commission of Marion County, Indiana, as follows:

1. The Authorized Officers are, and each of them is, hereby authorized, for and on behalf of the Commission, the District and the City of Indianapolis, Indiana (the "City"), to serve as public hearing officer with respect to, and to notice, call and conduct a public hearing for, the issuance of any "qualified 501(c)(3) bonds" (as defined in Section 145 of the Code) of the District, to the extent required with respect to Section 147(f) of the Code and the U.S. Treasury Regulations promulgated thereunder. Any such service, notice, call or conduct heretofore effected is hereby ratified and approved.

2. The President, the Vice President and the Secretary of the Commission and the Mayor and the Controller of the City are, and each of them is, hereby authorized to take all such actions and to execute all such instruments, certificates or other documents as are desirable to carry out the transactions contemplated by this Resolution, in such forms as the President, the Vice President and the Secretary of the Commission and the Mayor and the Controller of the City executing the same shall deem proper, to be evidenced by the execution thereof.

* * * * *

ADOPTED AND APPROVED at a meeting of the Metropolitan Development Commission of Marion County, Indiana held on the 20th day of December, 2023.

METROPOLITAN DEVELOPMENT
COMMISSION OF MARION COUNTY

President

ATTEST:

Secretary

**METROPOLITAN DEVELOPMENT COMMISSION
MARION COUNTY, INDIANA
RESOLUTION NO. 2023-P-019**

WHEREAS, the Metropolitan Development Commission of Marion County, Indiana (the “Commission”) serves as the Plan Commission of the Consolidated City of Indianapolis and Marion County, Indiana under IC 36-7-4-202; and

WHEREAS, under IC 36-7-4-402, the Commission is empowered to designate Hearing Examiners to conduct any public hearing required to be held by the Commission or make any decision required to be made by the Commission, or both; and

WHEREAS, on December 6, 2023, the Commission adopted Resolution No. 2023-P-018, appointing Judy Weerts Hall as Hearing Examiner for the year 2024; and

WHEREAS, the Department of Metropolitan Development (“DMD”) wishes to compensate the Hearing Examiner for services performed in the year 2024.

NOW THEREFORE BE IT RESOLVED THAT:

1. The Commission hereby authorizes DMD to enter into an agreement with Judy Weerts Hall to compensate her for her services as Hearing Examiner for the year of 2024 in an amount not to exceed twenty thousand dollars (\$20,000).
2. The Director of DMD is hereby authorized and directed to take such further actions and execute such documents as he deems necessary or advisable to effectuate the authorizations set forth in this Resolution.
3. This Resolution shall take effect immediately upon adoption by the Commission.

Approved as to legal form and adequacy:

Metropolitan Development Commission:

By: /s/ Toae Kim
Toae Kim, Deputy Chief Counsel

By: _____
John Dillon III, President

Date: 12/6/23

Date: _____

STAFF REPORT

Item 20.

Department of Metropolitan Development Division of Planning Current Planning Section

Case Number: 2023-MOD-019
Address: 5320 & 5340 East Southport Road (*Approximate Address*)
Location: Franklin Township, Council District #25
Zoning: C-S
Petitioner: Greenwood IH Hotel, by Russell L. Brown
Request: Modification of commitments related to 2001-ZON-070, to modify Commitment #19, to provide for a 38-foot tall hotel (current commitment limits the building height to 35 feet).

ADDENDUM FOR DECEMBER 20, 2023, METROPOLITAN DEVELOPMENT COMMISSION

This petition was heard by the Hearing Examiner on NOVEMBER 16, 2023. After a full hearing, the Hearing Examiner recommended approval of the modification. Subsequently, the remonstrator's representative filed an appeal of the Hearing Examiner's decision. A memorandum of her recommendation is attached.

November 16, 2023

RECOMMENDATIONS

Staff **recommends approval** of this modification request.

SUMMARY OF ISSUES

The following issues were considered in formulating the recommendation:

LAND USE

- ◇ This 3.18-acre site, zoned C-S, is comprised of two undeveloped parcels. It is surrounded by multi-family dwellings to the north, commercial uses to the south, undeveloped land to the east and west, all zoned C-S.
- ◇ Petition 2001-ZON-070 rezoned the site from a D-A district to the C-S classification to provide for multi-family dwellings and a commercial / retail center with C-1, C-2, C-3 and C-4 uses.

MODIFICATION

- ◇ This request would modify Commitment #19 related to 2002-ZON-070 to provide for a 38-foot-tall hotel when the commitments limited building height to 35 feet.

(Continued)

- ◇ The Comprehensive Plan recommends community commercial typology. “The Community Commercial typology provides for low-intensity commercial, and office uses that serve nearby neighborhoods. These uses are usually in freestanding buildings or small, integrated centers. Examples include small-scale shops, personal services, professional and business services, grocery stores, drug stores, restaurants, and public gathering spaces.”
- ◇ The Pattern Book lays out a land use classification system that guides the orderly development of the county, protects the character of neighborhoods and serves as a policy guide for development or redevelopment of a site.
- ◇ The following elements of the Pattern Book apply to this site:

Conditions for All Land Use Types

- All land use types except small-scale parks and community farms/gardens in this typology must have adequate municipal water and sanitary sewer.
- All development should include sidewalks along the street frontage.

Large-Scale Offices, Retailing, and Personal or Professional Services (defined as commercial uses with minimal outdoor operations, storage, or display on lots of more than 1.5 acres and a height of more than 35 feet.)

- Should be located along an arterial street.
- Outdoor display of merchandise should be limited.
- If adjacent to residential uses or a Living Typology, outdoor display of merchandise is not recommended.
- If proposed within one-half mile along an adjoining street of an existing or approved residential development, then connecting, continuous pedestrian infrastructure between the proposed site and the residential development (sidewalk, greenway, or off-street path) should be in place or provided.
- Should be no larger than 25 acres with 125,000 square feet of floor space and no more than three out lots.

Planning Analysis

- ◇ The request would be consistent with the Comprehensive Plan recommendation of community commercial typology as a large-scale commercial development.
- ◇ The development would provide for a 38-foot tall, 121-room hotel with 124 parking spaces. Site access would be from a private street that is located north of and parallel to East Southport Road that intersects Valley Ridge Road to the west of the site.
- ◇ The Pattern Book defines large-scale development with building heights that exceed 35 feet. The proposed 38-foot-tall building would be a three-foot increase from the permitted height allowed in the 2001 commitments but would be consistent with the Pattern Book recommendations.
- ◇ Staff supports this request for a taller building because it would be a small height increase and compatible with the surrounding land uses with minimal impact on those uses.

(Continued)

GENERAL INFORMATION

EXISTING ZONING AND LAND USE

C-S Undeveloped land

SURROUNDING ZONING AND LAND USE

North - C-S Multi-family dwelling
South - C-S Commercial uses
East - C-S Undeveloped land
West - C-S Undeveloped land

COMPREHENSIVE PLAN The Comprehensive Land Use Plan for Indianapolis and Marion County (2018) recommends community commercial typology. Marion County Land Use Pattern Book (2019).

THOROUGHFARE PLAN This portion of East Southport Road is designated in the Marion County Thoroughfare Plan as a primary arterial with an existing 142-foot right-of-way and a proposed 102-foot right-of-way.

CONTEXT AREA This site is located within the metro context area.

OVERLAY There is no overlay for this site.

SITE PLAN File-dated October 10, 2023

ELEVATIONS File-dated October 10, 2023

ZONING HISTORY

2021-MOD-007; 5310 East Southport Road, requested modification of commitments related to 2001-ZON-070, as modified by 2011-MOD-003, to provide for light general retail uses including a retail paint store on Lot Five in the BG Valley Ridge Commercial Subdivision, recorded as Instrument # A202100063572 (limited to C-1 buffer uses in the eastern 125 feet of the commercial area), **approved**.

2021-PLT-007; 5310 East Southport Road, requested Approval of a Subdivision Plat to be known as BG Valley Ridge Commercial Subdivision, dividing 6.277 acres into 5 lots, **approved**.

2011-MOD-003; 6810 Valley Ridge Drive, requested modification of commitments related to Petition 2001-ZON-070 to modify: a. Commitment Twelve, to provide for certain C-3 uses in the C-1 Buffer area (the easternmost 125 of this site located south of the multifamily section), including personal services uses, rental or leasing uses, retail uses, accessory uses and temporary structures, to provide for drive-through lanes on the east side of any building, between the building and the landscape yard, and to require that any buildings substantially conform to elevations submitted with this petition (C-3 uses not permitted in the C-1 buffer area, no parking or maneuvering area permitted east of the C-1 buildings), and b. Commitment Five, to allow for direct access from the parcel abutting to the east (direct access from the east-abutting parcel prohibited), **approved**.

(Continued)

2001-ZON-070; 5330 East Southport Road, requested rezoning of 45 acres from D-A (FF)(FW) to C-S (FF)(FW) to provide for a mixed-use development with multifamily residential, commercial and industrial uses, **approved**.

VICINITY

2019-ZON-042; 5325 East Southport Road (south of site), requested rezoning of 0.81 acre from the C-S district to the C-S classification to provide for a stand-alone outdoor freezer, **approved**. -

2018-ZON-084; 5219 East Southport Road (south of site), requested rezoning of 1.74 acres from the C-S district to the C-S classification to provide for an automotive service business in addition to the previously permitted uses, **approved**.

2010-CZN-820, 2010-CAP-820 and 2010-CVR-820; 5325 East Southport Road (south of site), requested rezoning of 0.811 acre from the C-S District to the C-S classification to provide for C-3 and C-1 uses; a variance of development standards to provide for an outdoor seating area and to provide for two drive-through lanes, with both lanes having only one stacking space at the exit of the drive-through, and with one drive-through lane having seven stacking spaces before the drive-through unit; and a modification of the Commitments and Site Plan related to 91-Z-41 to provide for the site plan submitted with this file and to terminate Commitment Seven, which prohibited additional out lots, **approved and granted**.

2004-ZON / APP-824; 5325 East Southport Road (south of site), requested rezoning of 1.17 acres from C-S to C-S to provide for a 16,000-square foot commercial building with C-3 uses, **approved**, and modification of commitments related to 91-Z-41 to terminate Commitment Seven to provide for an out lot, **approved**.

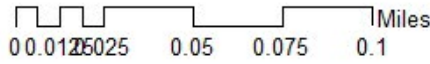
91-Z-41; 5301 East Southport Road (south of site), requested rezoning of 34 acres from I-2-S to C-S to provide for commercial development, **approved**.

91-Z-41, 5301 East Southport Road (south of site), requested rezoning of 36.99 acres to provide for retail commercial development, **approved**.

kb



5320 and 5340 East Southport Road



MEMORANDUM OF EXAMINER'S DECISION**2023-MOD-019****5320, 5340 E. Southport Road**

The petition requests a modification of commitments for 2001-ZON-070 to allow for a 38-foot-tall hotel (current commitment limits building height to 35 feet).

Your Hearing Examiner visited the undeveloped site prior to the hearing and noted the multi-family development north of it and commercial uses south of it. The commercially zoned sites east and west of the subject site are undeveloped.

The petitioner's representative explained that the majority of the proposed hotel would not exceed 35 feet in height, with only parapets and cornices extending an additional three feet. The proposed parapets would screen rooftop equipment. In an attempt to appease a property owner to the east, a commitment was offered to prohibit illuminated signs on the north and east facades of the building.

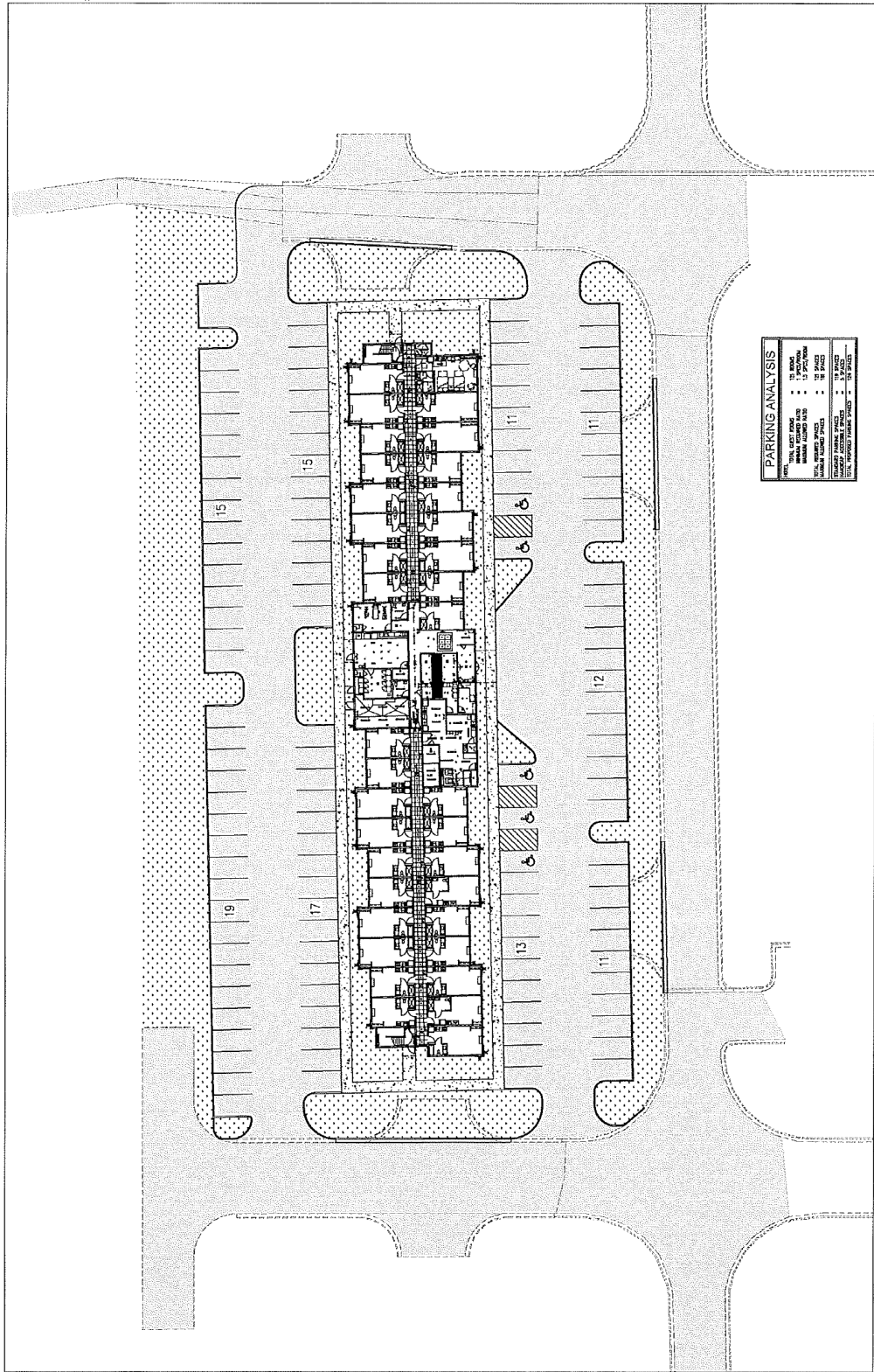
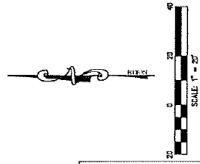
The representative of a property owner to the east opined that the proposed hotel is a multi-family dwelling, which is prohibited by the commitments. It was stated that no other buildings in the area exceed 35 feet in height, additional sign limitations were requested, and it was suggested that modifying the commitment would lead to the entire building being 38 feet in height.

Staff stated that the proposed development was consistent with the Comprehensive Plan and the Pattern Book and found that the proposed increase in height would have minimal impact on surrounding uses.

In your Hearing Examiner's opinion, the sole issue of this petition is allowing an additional three feet of height on specific portions of the building. Because the site is zoned C-S, it must be developed in substantial compliance with the site plan and elevations filed. Approval of this petition was recommended.

For Metropolitan Development Commission Hearing on December 20, 2023

PRELIMINARY SITE LAYOUT BG VALLEY LOTS 2 & 3 EXTENDED STAY AMERICA: INDIANAPOLIS

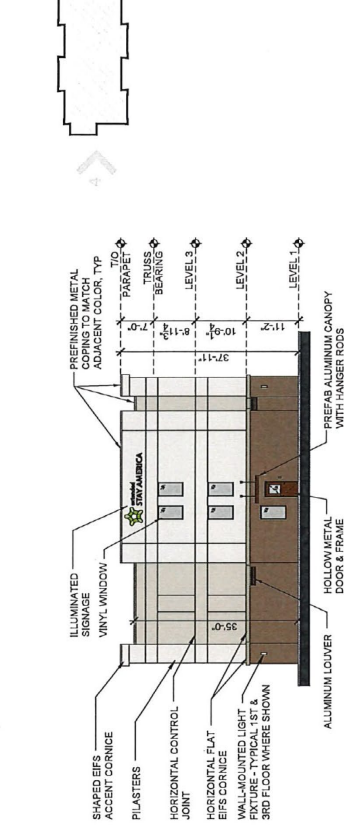
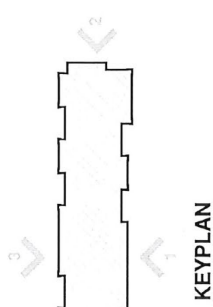


PARKING ANALYSIS	
TOTAL	15 SPACES
STANDARD	11 SPACES
MINIMUM REQUIRED	11 SPACES
ADDITIONAL	4 SPACES
TOTAL REMAINING SPACES	4 SPACES
MINIMUM REQUIRED SPACES	11 SPACES
ADDITIONAL SPACES	4 SPACES
TOTAL REMAINING SPACES	4 SPACES

PREPARED BY:



Professional Engineers &
Development Consultants
144 West 10th Street, Suite 100
Indianapolis, IN 46204
OCTOBER 3, 2023



- COLOR / MATERIAL LEGEND**
- EIFS: PPG 1021-6 "CURLLEW"
 - EIFS: PPG 1025-1 "COMMERCIAL WHITE"
 - EIFS: PPG 1025-3 "WHISKERS"
 - EIFS: PPG 1025-4 "SHARKSKIN"
 - EXTERIOR TRIM: OP410 "BRONZETONE"
 - KINGSIZE DOVE GRAY BRICK BY ACME BRICK

2 SIDE ELEVATION
Scale: 3/32" = 1'-0"
35'-0" = 33%
37'-11" = 67%

1 FRONT ELEVATION
Scale: 3/32" = 1'-0"
35'-0" = 62%
37'-11" = 38%



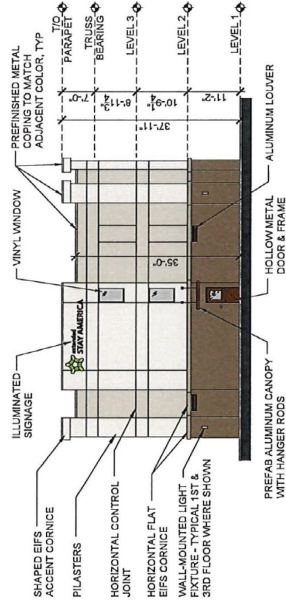
BASK
DEVELOPMENT & MANAGEMENT

INDIANAPOLIS
EXTENDED STAY AMERICA

Alameda
ARCHITECTURE
October 16, 2023

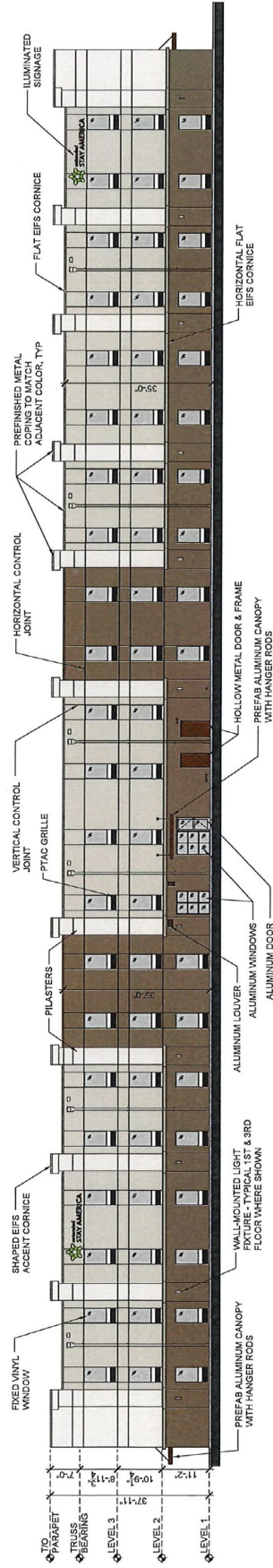
COLOR / MATERIAL LEGEND

- EIFS: PPG 1021-6 "CURLIEW"
- EIFS: PPG 1025-1 "COMMERCIAL WHITE"
- EIFS: PPG 1025-3 "WHISKERS"
- EIFS: PPG 1025-4 "SHARKSKIN"
- EXTERIOR TRIM: CP410 "BRONZETONE"
- KINGSIZE DOVE GRAY BRICK BY ACME BRICK



4 SIDE ELEVATION
Scale: 3/32" = 1'-0"

35'-0" = 42%
37'-11" = 58%



3 REAR ELEVATION
Scale: 3/32" = 1'-0"

35'-0" = 79%
37'-11" = 21%

BASK
DEVELOPMENT & MANAGEMENT

INDIANAPOLIS
EXTENDED STAY AMERICA

Alameda
ARCHITECTURE
October 16, 2023



View looking east along private east / west street - site on left



View looking west along private east / west street – site on right



View of site looking north across private street



View of site looking north across private street



View of site looking north



View looking north at street connection to the north (along the eastern boundary)



View looking northwest of commercial to the west of site.



View looking north across road and undeveloped land to the west of site

STAFF REPORT

**Department of Metropolitan Development
Division of Planning
Current Planning Section**

Case Number: 2023-MOD-020
Address: 1855 North Shadeland Avenue (*Approximate Address*)
Location: Warren Township, Council District #19
Zoning: C-4
Petitioner: MG Oil, Inc., by Pat Rooney
Request: Modification of Commitments related to 2021-ZON-105 to modify Commitment #5, to have development compliant with the site plan filed with this petition (current commitment requires compliance with a site plan dated July 17, 2021) and to modify Commitment #6 to provide for a pedestrian signal and crosswalk running north/south across Pleasant Run Parkway, South Drive (current commitment requires the crosswalk running across Shadeland Avenue).

ADDENDUM FOR DECEMBER 20, 2023, METROPOLITAN DEVELOPMENT COMMISSION

This petition was heard by the Hearing Examiner on November 16, 2023. After a full hearing, the Hearing Examiner recommended denial of the modification request. Subsequently, the petitioner filed an appeal of the Hearing Examiner’s decision. A memorandum of her recommendation is attached.

November 16, 2023

RECOMMENDATIONS

Staff **recommends denial** of this request.

SUMMARY OF ISSUES

The following issues were considered in formulating the recommendation:

LAND USE

EXISTING ZONING AND LAND USE

C-4 Compact Gas Station

SURROUNDING ZONING AND LAND USE

North D-4 Pleasant Run
South D-4 Residential (Single-family dwelling)
East D-4 Residential (Single-family dwelling)
West C-5 Automobile Dealership

COMPREHENSIVE PLAN

The Comprehensive Plan recommends community commercial development on most of the site and office commercial along the southern property boundary.

(Continued)

STAFF REPORT 2023-MOD-020 (Continued)

- ◇ The 0.39-acre subject site is developed with a gas station and pole sign. The site abuts a single-family dwelling to the east, southeast, and south with a commercial use to the west.

MODIFICATION OF COMMITMENTS

- ◇ The grant of the request would allow for the Modification of Commitments related to 2021-ZON-105 to modify Commitment #5, to have development compliant with the site plan filed with this petition, Exhibit B, and to modify Commitment #6 to provide for a pedestrian signal and crosswalk running north/south across Pleasant Run Parkway South Drive, Exhibit C.
- ◇ Commitment #5 related to 2021-ZON-105 notes that “Construction, including, the installation of landscaping and privacy fence, shall all be done pursuant to the Site Plan prepared by Hamilton Designs last revised January 17, 2021.
- ◇ Commitment #6 related to 2021-ZON-105 notes that “A pedestrian safety island and a pedestrian-activated crossing signal shall be installed on Shadeland Avenue at the intersection of Shadeland Avenue and Pleasant Run Parkway, South Drive. The installation shall be to the standards and specifications of the Department of Public Works.”

Staff Analysis

- ◇ It is staff’s understanding that the petitioner and their representative were not clearly understanding the wording of Commitment #6 and now wish to no longer follow through with the commitment that was agreed upon and recorded for the rezone petition, 2021-ZON-105.
- ◇ When 2021-ZON-105 went through the rezoning process, the petitioner agreed to the written commitment language in the staff report.
- ◇ Because Shadeland Avenue is a six-lane road with a middle turn lane, there should be safety measures put in place. The installation of a pedestrian safety island and pedestrian-activated crossing signal on Shadeland Avenue would ensure safe pedestrian crossings could occur at this intersection.
- ◇ While it is true that no sidewalks exist at the dealership west of the subject site, that is simply due to public sidewalks being installed when new development on sites trigger the sidewalk requirement of the Zoning Ordinance. There is a section of sidewalk along the pedestrian bridge just north of Pleasant Run Parkway South Drive on the west side of Shadeland Avenue that future sidewalk installations would tie into, see Staff Exhibit 1. There are also sections of sidewalks installed on the west side of Shadeland Avenue when traveling further south toward 17th Street and north towards 21st Street.

(Continued)

STAFF REPORT 2023-MOD-020 (Continued)

◇ The Department of Public Works stated the following:

“In 2021-ZON-105, DPW requested that staff include Commitment #6 to provide for a pedestrian-activated crosswalk signal across Shadeland Ave. The purpose of this request is to mitigate the impacts of increased traffic due to the intensification of the commercial use upon rezoning from C-3 to C-4. Specifically, the anticipated increase in pedestrian traffic is concerning, due to the lack of safe pedestrian infrastructure at this location and history of pedestrian crashes nearby.

The existing convenience store measures 416 square feet, according to tax records. The proposed building is 1012 square feet, while the gas pumps stay the same. The increase in store size is expected to increase both vehicle and pedestrian traffic to the store. The existing conditions on Shadeland Avenue from 10th St to 21st St include continuous sidewalk on the east side of the street. The west side has intermittent sidewalks plus an informal network of interconnected parking lots. IndyGo Route 30 traverses Shadeland in this area with stops at 17th St and 21st St. There are signalized crosswalks at 10th St, 16th St, and 21st St, but no marked crosswalks in between. Shadeland Ave is 7 lanes wide at the Pleasant Run Parkway intersection.

Crash history: A pedestrian crash occurred at Shadeland Ave and Pleasant Run Parkway on 2/1/23, resulting in incapacitating injury. According to the police report, the pedestrian attempted to cross Shadeland from the east side to the west side and was struck by a northbound vehicle. This is the type of crash we are concerned will increase with the expansion of the convenience store.

The table below summarizes pedestrian and bicycle crashes in the vicinity of the subject convenience store within the last 10 years, as reported to the ARIES crash database.

Intersection	Pedestrian Crashes	Bicycle Crashes
21st St & Shadeland Ave	10	1
21st St & Rama Pl	1	0
Shadeland Ave & Rama Dr	4	0
Shadeland Ave & Pleasant Run Pkwy	1	0
Shadeland Ave & 16th St	1	0
Shadeland Ave & 10th St	4	2

The commitment includes a refuge island and pedestrian activated high intensity signal (HAWK), which stops traffic and allows the pedestrian to have the right of way while crossing. These are also known as Pedestrian Hybrid Beacons. The crosswalk would provide connectivity between the subject convenience store and numerous west side businesses through the network of interconnected parking lots and a striped shoulder across the Pleasant Run Bridge. A HAWK or pedestrian hybrid beacon has been shown to reduce pedestrian crashes by 69% according to [a] study [by the Federal Highway Administration].”

(Continued)

STAFF REPORT 2023-MOD-020 (Continued)

- ◇ In conclusion, staff is not supportive of the modification of commitments request since it would be in the public's best interest to have the pedestrian-activated crossing signal installed across Shadeland Avenue.

GENERAL INFORMATION

THOROUGHFARE PLAN	Shadeland Avenue is classified in the Official Thoroughfare Plan for Marion County, Indiana as a primary arterial street, with a 149-foot existing right-of-way and a 104-foot proposed right-of-way.
THOROUGHFARE PLAN	Pleasant Run Parkway South Drive is classified in the Official Thoroughfare Plan for Marion County, Indiana as a local street, with a 70-foot existing right-of-way and a 48-foot proposed right-of-way.
SITE PLAN	File-dated October 11, 2023.
STATEMENT OF MODIFICATION	File-dated October 11, 2023.

ZONING HISTORY – SITE**EXISTING VIOLATIONS**

None.

PREVIOUS CASES

2023-DV3-011; 1855 North Shadeland Avenue (subject site), Variance of Development Standards of the Consolidated Zoning and Subdivision Ordinance to provide for a 21-foot-tall pole sign (maximum height of 20 feet permitted), **granted**.

2021-ZON-105; 1855 North Shadeland Avenue (subject site), Rezoning of 0.415 acre from the C-3 district to the C-4 district, **approved**.

97-V3-92; 1855 North Shadeland Avenue (subject site), Variance of Development Standards of the Commercial Zoning Ordinance to provide for the placement of an illuminated canopy, measuring 24 by 71 feet, with a front setback of 1 foot along Shadeland Avenue (minimum 10 feet from the proposed right-of-way required), **granted**.

93-V3-41; 1855 North Shadeland Avenue (subject site), Variance of development standards of the Sign Regulations of Marion County to permit the placement of a pole sign with gasoline pricing panels (not permitted) located 4 feet from the right-of-way of Shadeland Avenue, **denied**.

(Continued)

STAFF REPORT 2023-MOD-020 (Continued)

92-V3-62; 1855 North Shadeland Avenue (subject site), Variance of development standards of the Sign Regulations of Marion County to permit the placement of a pole identification sign 3 feet from the right-of-way of North Shadeland Avenue (15 feet required) with pricing panels (not permitted), **granted with the condition that the pole sign be located 15 feet from North Shadeland Avenue right-of-way.**

70-Z-204; 1855 North Shadeland Avenue (subject site), rezoning of 0.45 acre from the D-4 district to the C-3 district, **approved.**

70-V2-80; 1855 North Shadeland Avenue (subject site), Variance of use and setback requirements to permit construction of a gasoline station with identification and display signs, **withdrawn.**

ZONING HISTORY – VICINITY

2023-DV3-003; 1739 and 1795 North Shadeland Avenue (south of site), Variance of development standards of the Consolidated Zoning and Subdivision Ordinance to provide for the location of an enclosed dumpster within the front yard of 18th Street (not permitted); a drive-through within 18 feet of a protected district without the required transitional yard landscaping and screening of service units (25-foot separation required, landscaping required), a stacking space within the front yard of 18th Street (not permitted) and zero-stacking spaces provided at the exit of the service unit (two stacking spaces required); a building with a 28-foot front setback from 18th street, a 12.8% front building line along 18th Street (maximum 25-foot front setback and 60% front building line required along Connector Frontage,), and a 23.9-foot front building line along Shadeland Avenue (40% front building line required along Buffer/Suburban Frontages); on a lot with deficient landscaping, **withdrawn.**

2012-HOV-015; 1752 North Shadeland Avenue (southwest of site), Variance of Development Standards of the Sign Regulations to replace the cabinet of an existing freestanding sign (original approved by 97-HOV-12), with a 10-foot front setback along Shadeland Avenue, being within 80 feet of a freestanding sign to the north and 105 feet of a freestanding sign to the south, being the seventh sign along an approximately 750-foot long integrated frontage (300 feet of separation required, 300 feet of frontage required per sign), **granted.**

2009-DV1-031; 6830 Industry Place and 6926 East 16th Street (southwest of site), Variance of Development Standards of the Sign Regulations to provide for a 26.02-foot tall, 80-square foot Pole Sign with a ten-foot front setback from the existing right-of-way of Shadeland Avenue (minimum fifteen-foot front setback required), within 105 feet of a pole sign to the north within the same integrated center (minimum 300-foot separation between signs required), **granted.**

2004-DV1-035; 1739 North Shadeland Avenue (south of site), Variance of Development Standards of the Dwelling Districts Zoning Ordinance to provide for the temporary location of the required handicapped parking space in an existing asphalt driveway (not permitted) until the construction of the proposed parking area is completed, **dismissed.**

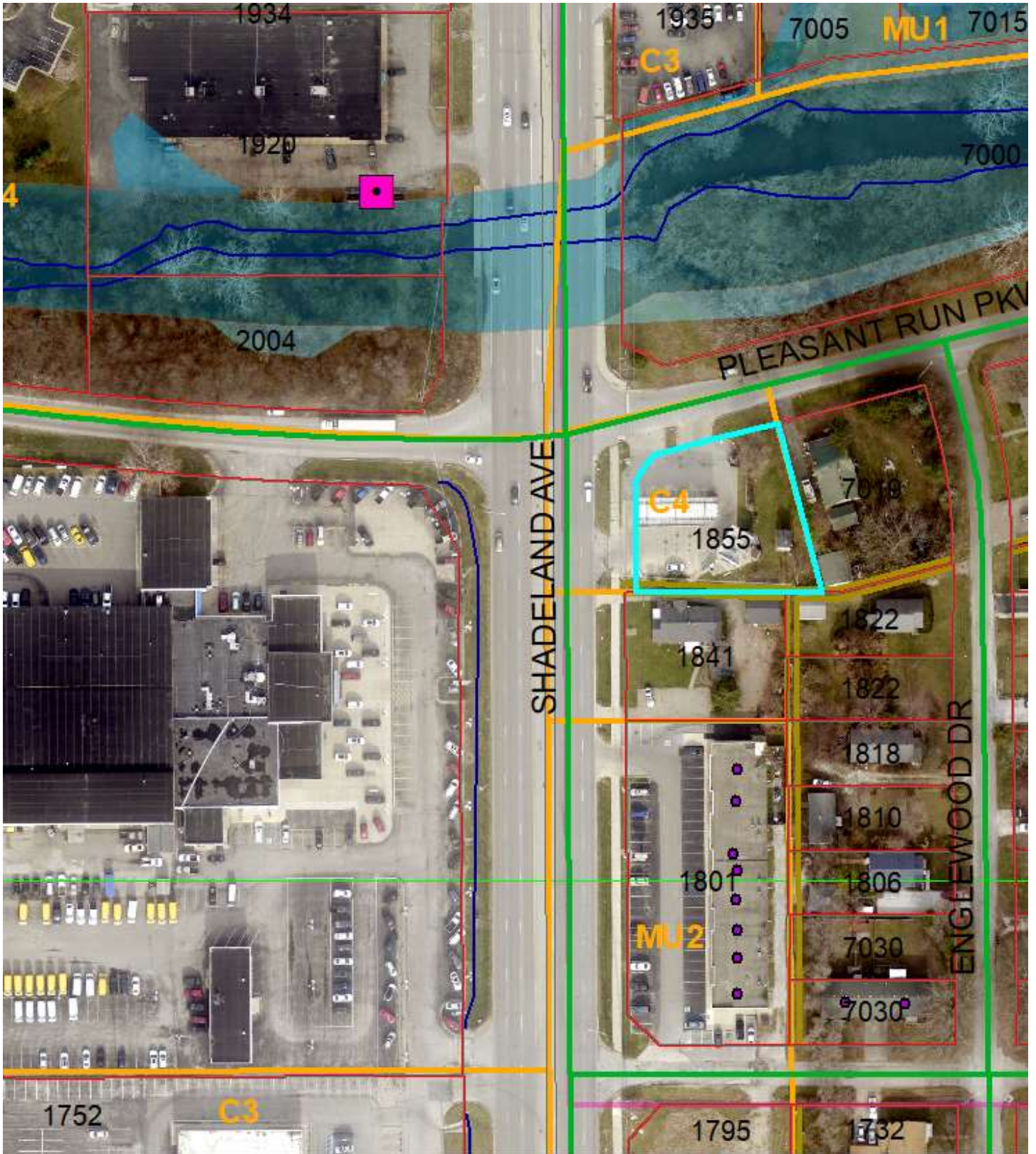
(Continued)

STAFF REPORT 2023-MOD-020 (Continued)

97-HOV-12; 1752 North Shadeland Avenue (southwest of site), Variance of Development Standards of the Sign Regulations to provide for a 9.5 by 21-foot sign, 40 feet in height, being located 10 feet from the right-of-way of Shadeland Avenue, in C-3, **granted.**

72-UV3-76; 1811 to 1815 North Shadeland Avenue (south of site), Variance of use to provide for a restaurant and retail sales in a D-4 district and a variance of development standards to provide for deficient setbacks and transitional yard, **granted.**

MI



MEMORANDUM OF EXAMINER'S DECISION

2023-MOD-020

1855 N. Shadeland Avenue

The petition requests a modification of commitments for 2021-ZON-105 to allow for a revised site plan and to allow a pedestrian signal and crosswalk running north/south across Pleasant Run Parkway instead of east/west across Shadeland Avenue.

Your Hearing Examiner visited the site prior to the hearing and noted residences east and south of the site and Pleasant Run north of it. Auto related uses are west of Shadeland Avenue.

The petitioner's representative stated that the crosswalk and pedestrian signal across Shadeland Avenue are not warranted because residential development is all east of Shadeland Avenue, there are no sidewalks along Pleasant Run Parkway west of Shadeland, a drainage ditch along the west side of Shadeland is problematic for sidewalk installation, and the cost is prohibitive to this small business owner. He also stated that the intent of the 2021 commitments was misunderstood. Letters of support were presented from the Warren Township Development Association and adjacent property owners, and a petition of support from business patrons was submitted.

There were no remonstrators.

Staff opined that the original commitments were clearly written in the staff report, as requested by the Department of Public Works (DPW). DPW made the request due to the anticipated increase in pedestrian traffic, the lack of safe pedestrian infrastructure, and the history of pedestrian crashes nearby.

In your Hearing Examiner's opinion, there is a need for safe pedestrian infrastructure. While the proposed crosswalk and signal across Pleasant Run Parkway would be helpful, potential future redevelopment along the west side of Shadeland Avenue warrants the original commitment. Denial of this petition was recommended.

For Metropolitan Development Commission Hearing on December 20, 2023

Exhibit B



- CONCRETE AND ALUMINUM DETAIL AND SPECIFICATIONS (R-10)**
- ALUMINUM**
1. ALUMINUM SHALL BE TYPE 6061-T6 ALUMINUM, ANODIZED TO A MINIMUM OF 0.0005 INCHES.
 2. ALUMINUM SHALL BE TYPE 6061-T6 ALUMINUM, ANODIZED TO A MINIMUM OF 0.0005 INCHES.
 3. ALUMINUM SHALL BE TYPE 6061-T6 ALUMINUM, ANODIZED TO A MINIMUM OF 0.0005 INCHES.
 4. ALUMINUM SHALL BE TYPE 6061-T6 ALUMINUM, ANODIZED TO A MINIMUM OF 0.0005 INCHES.
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 16. ALUMINUM SHALL BE TYPE 6061-T6 ALUMINUM, ANODIZED TO A MINIMUM OF 0.0005 INCHES.
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 19. ALUMINUM SHALL BE TYPE 6061-T6 ALUMINUM, ANODIZED TO A MINIMUM OF 0.0005 INCHES.
 20. ALUMINUM SHALL BE TYPE 6061-T6 ALUMINUM, ANODIZED TO A MINIMUM OF 0.0005 INCHES.

- SEE LAYOUT GENERAL NOTES**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO, ILLINOIS, ORDINANCES AND CODES.
 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO, ILLINOIS, ORDINANCES AND CODES.
 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO, ILLINOIS, ORDINANCES AND CODES.
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 20. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO, ILLINOIS, ORDINANCES AND CODES.

PROJECT DATA

PROJECT NO. 2023-MOD-020
 DATE: 08/15/2023
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: AS SHOWN
 SHEET NO. 1 OF 1

OWNER INFORMATION

OWNER: [Name]
 ADDRESS: [Address]
 CITY: [City]
 STATE: [State]
 ZIP: [ZIP]



SE Engineering

CONVENIENCE STORE
 SITE REDEVELOPMENT PLANS
 1000 N SHORELAND AVE, CHICAGO, IL 60642

SE Engineering

1000 N SHORELAND AVE, CHICAGO, IL 60642

DATE: 08/15/2023

SCALE: AS SHOWN

SHEET NO. C200

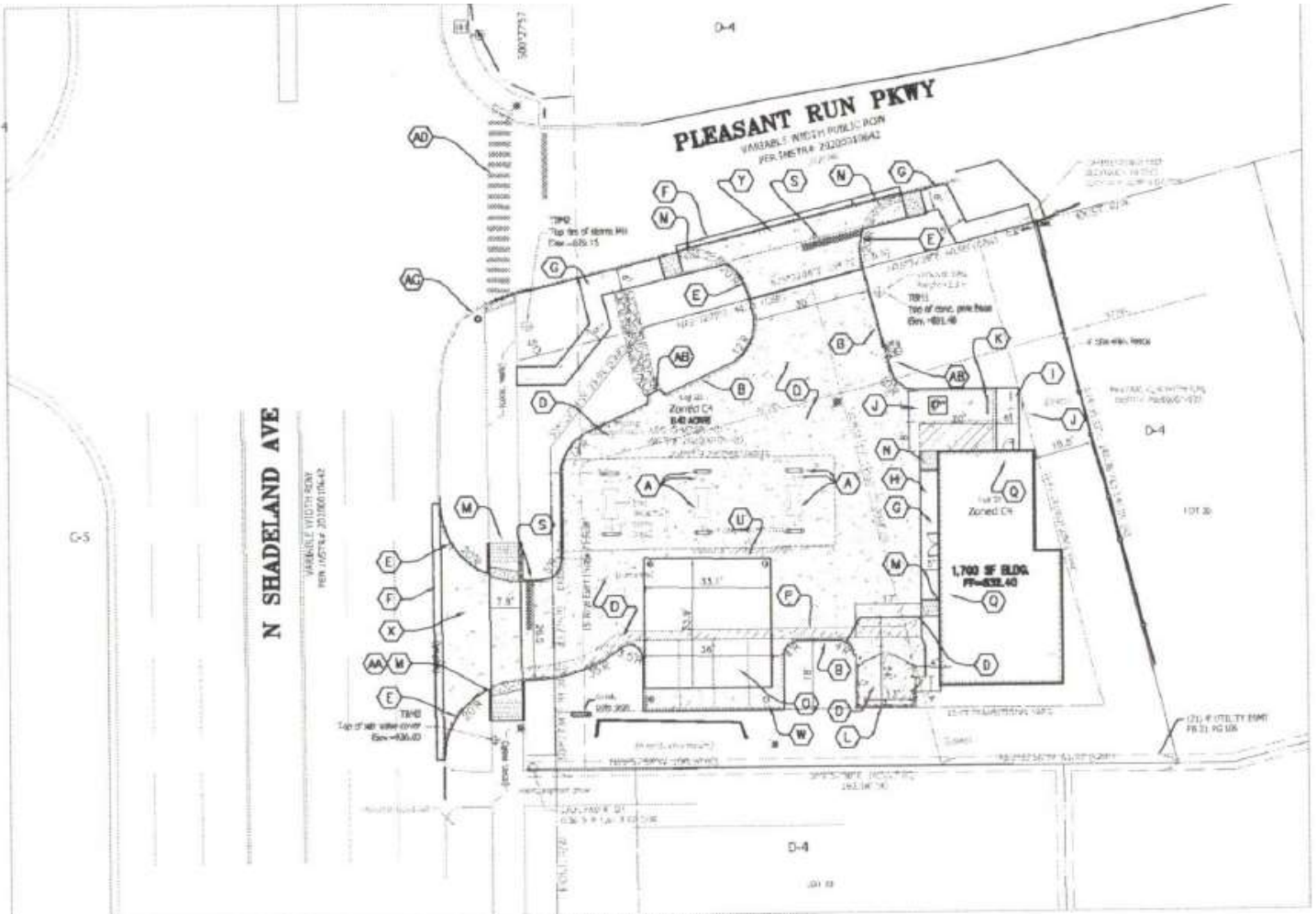


Exhibit C

PIPE BOLLARD

HANDICAPPED PARKING STALLS

ADA RESERVED PARKING SIGN

UNDERDRAIN CLEANOUT

CURB GAP TURNOUT/FLUME DETAIL

CRACK CONTROL JOINT

8" REINFORCED CONCRETE PAVEMENT

STRAIGHT CURB

TURNDOWN SIDEWALK AT PAVED/ST

PERFORATED PIPE SUBSURFACE DRAIN (UNDERDRAIN)

RIPRAP FLUME

7" REINFORCED CONCRETE PAVEMENT

8" CONCRETE CURB & GUTTER - 'A'

REINFORCED CONCRETE PIPE (RCP) BEDDING DETAIL

PEDESTRIAN-ACTIVATED CROSSING SIGNAL BY ELTEC / ELECTROTECHNICS CORPORATION

HEAVY DUTY ASPHALT PAVEMENT SECTION

EXPANSION JOINT AT BLDG

CONCRETE WALK SECTION (PRIVATE)

DUMPSTER AREA ENCLOSURE

TRAFFIC BEACON POLE FOUNDATION

SE Splars Engineering

CONVENIENCE STORE SITE REDEVELOPMENT PLANS

CONSTRUCTION DETAILS

C500

A202200030692

03/11/2022 02:55 PM

**KATHERINE SWEENEY BELL
MARION COUNTY IN RECORDER**

FEE: \$ 35.00

PAGES: 5

By: KS

KLH

STATEMENT OF COMMITMENTS

**COMMITMENTS CONCERNING THE USE OR DEVELOPMENT OF REAL ESTATE
MADE IN CONNECTION WITH A REZONING OF PROPERTY OR PLAN APPROVAL**

In accordance with I.C. 36-7-4-1015, the owner of the real estate located in Marion County, Indiana, which is described below, makes the following COMMITMENTS concerning the use and development of that parcel of real estate commonly known as 1855 N. Shadeland Ave, Indianapolis, Indiana, being more particularly described as follows:

Legal Description: See attached Exhibit A.

Statement of COMMITMENTS:

1. The owner agrees to abide by the Open Occupancy and Equal Employment Opportunity Commitments required by Metropolitan Development Commission Resolution No. 85-R-69, 1985, which commitments are attached hereto and incorporated herein by reference as Attachment "A".
2. Hours of operation for the Property shall be from 5 am to midnight Monday through Saturday, and 6 am to 11 pm on Sundays.
3. As part of the construction, LED lighting shall be added with lenses or covers that provide downward lighting designed to reduce light dispersion and/or glares.
4. The Owner agrees that the property will not be used for any other use except for the retail gas station and convenience store unless a formal amendment to these Commitments is approved by MDC.
5. Construction, including, the installation of landscaping and privacy fence, shall all be done pursuant to the Site Plan prepared by Hamilton Designs last revised January 17, 2021.
6. A pedestrian safety island and a pedestrian-activated crossing signal shall be installed on Shadeland Avenue at the intersection of Shadeland Avenue and Pleasant Run Parkway, South Drive. The installation shall be to the standards and specifications of the Department of Public Works

These COMMITMENTS shall be binding on the owner, subsequent owners of the real estate and other persons acquiring an interest therein; provided that Commitment #1 (Open Occupancy and Equal

MDC's Exhibit B -- page 1 of 5



5

2023-MOD-020; Proposed Modified Commitments

**COMMITMENTS MODIFYING OR TERMINATING EXISTING COMMITMENTS
CONCERNING THE USE OR DEVELOPMENT OF REAL ESTATE MADE IN
CONNECTION WITH VARIANCE OR SPECIAL EXCEPTION GRANT.**

In accordance with I.C. 36-7-4-1015, the owner of the real estate located in Marion County, Indiana, which is described below, makes the following modification(s) or termination(s) of commitment(s) concerning the use and development of the parcel of real estate:

Legal Description: See attached Exhibit A.

Statement of Modification or Termination of COMMITMENTS:

5. Redevelopment and construction of the subject property will be completed pursuant to the site plan submitted with the Petition and prepared by Spiars Engineering, dated August 8, 2023, referred to as sheet C-200, and labelled as Exhibit B.

6. A crosswalk will be installed running north/south across Pleasant Run Parkway pursuant to the Site Plan prepared by Spiars Engineering, dated August 8, 2023, referred to as sheet C-200, and labelled as Exhibit B with the pedestrian traffic signal being further detailed in the construction sheet C-500 prepared by Spiars Engineering, dated July 6, 2023, and labelled as Exhibit C.

These modified COMMITMENTS shall be binding on the owner, subsequent owners, and other persons acquiring an interest therein. These modified COMMITMENTS may be further modified or terminated by a decision of the Metropolitan Board of Zoning Appeals made at a public hearing after proper notice has been given.

Modified COMMITMENTS contained in this instrument shall be effective upon the adoption of modification or termination approved by the Metropolitan Board of Zoning Appeals in petition #_____.

These COMMITMENTS may be enforced jointly and severally by:

1. The Metropolitan Development Commission; and
2. Owners of all parcels of ground adjoining the real estate to a depth of two (2) ownerships, but not exceeding six hundred sixty (660) feet from the perimeter of the real estate. Owners of real estate entirely located outside Marion County are not included, however. The identity of owners shall be determined from the records in the offices of the

BZA's Exhibit B - - page 1 of 3

2023-MOD-020; Staff Exhibit 1



Google Streetview image of pedestrians walking on the (right) west side of Shadeland. Subject convenience store is on the (left) east side.

2023-MOD-020; Staff Exhibit 2



Photo example of a HAWK signal, aka Pedestrian Hybrid Beacon.



Photo of the Subject Property: 1855 North Shadeland Avenue



Location where a pedestrian safety island and pedestrian-activated crossing signal was proposed.



View of Pleasant Run Parkway South Drive looking east on the subject site's northern boundary.



View of Shadeland Avenue looking south.



View looking west towards Pleasant Run Parkway South Drive and vacant lot.



View of Shadeland Avenue looking north.

STAFF REPORT

Item 22.

Department of Metropolitan Development Division of Planning Current Planning Section

Case Number: 2023-ZON-094
Address: 6729 Westfield Boulevard (*Approximate Address*)
Location: Washington Township, Council District #2
Petitioner: J.C. Hart Company, Inc., Chase Development, Inc. and Evergreen, LLC, by Michael Rabinowitch
Requests: Rezoning of 21.44 acres from the SU-34 (FF) and D-P (FF) district to the D-P (FF) district to provide for a multi-family and townhome development.
Modification of Commitments, related to 2003-ZON-100, to allow development in accordance the DP Statement, Site Plan, Landscape Plan, Elevations and Renderings filed with this petition.

The Metropolitan Development Commission acknowledged a timely automatic continuance filed by a registered neighborhood organization that continued these petitions from the November 15, 2023 hearing, to the December 20, 2023 hearing.

RECOMMENDATIONS

Staff **recommends approval** of this request, subject to the D-P Statement, site plan, landscaping plan, sign program, pedestrian plan, green infrastructure plan, elevations, TIS recommendations and proposed commitments.

SUMMARY OF ISSUES

The following issues were considered in formulating the recommendation:

LAND USE

- ◇ This 21.44-acre site, zoned SU-34 (FF) and D-P (FF), is developed with an event center and associated parking lots. It is surrounded by an entrance drive to the north, zoned D-P (FF); single-family dwellings to the south, zoned D-P (FF); multi-family dwellings to the east, zoned D-P (FF); and townhomes to the west, across Westfield Boulevard, zoned D-6 (FF).
- ◇ Petition 2021-ZON-149 requested rezoning from the SU-34 (FF) and D-P(FF) Districts to the D-P classification to provide for multi-family and townhome development. This petition was withdrawn.

(Continued)

REZONING

- ◇ This request would rezone the site from the SU-34 (FF) and D-P (FF) Districts to the D-P classification to provide for multi-family and townhome development.
- ◇ The established purpose of the D-P District follows:
 1. To encourage a more creative approach in land and building site planning.
 2. To encourage and efficient, aesthetic, and desirable use of open space.
 3. To encourage variety in physical development pattern.
 4. To promote street layout and design that increases connectivity in a neighborhood and improves the directness of routes for vehicles, bicycles, pedestrians, and transit on an open street and multi-modal network providing multiple routes to and from destinations.
 5. To achieve flexibility and incentives for residential, non-residential, and mixed-use developments which will create a wider range of housing types as well as amenities to meet the ever-changing needs of the community.
 6. To encourage renewal of older areas in the metropolitan region where new development and restoration are needed to revitalize areas.
 7. To permit special consideration of property with outstanding features, including but not limited to historical significance, unusual topography, environmentally sensitive areas and landscape amenities.
 8. To provide for a comprehensive review and processing of development proposals for developers and the Metropolitan Development Commission by providing for concurrent review of land use, subdivision, public improvements, and siting considerations.
 9. To accommodate new site treatments not contemplated in other kinds of districts.
- ◇ “Development plans should incorporate and promote environmental and aesthetic considerations, working within the constraints and advantages presented by existing site conditions, including vegetation, topography, drainage, and wildlife.
- ◇ Densities and development of a D-P are regulated and reviewed by the Metropolitan Development Commission. Creative site planning, variety in physical development, and imaginative uses of open space are objectives to be achieved in a D-P district. The D-P district is envisioned as a predominantly residential district, but it may include supportive commercial and/or industrial development.”
- ◇ The Comprehensive Plan recommends Suburban Neighborhood. “The Suburban Neighborhood typology is predominantly made up of single-family housing but is interspersed with attached and multifamily housing where appropriate. This typology should be supported by a variety of neighborhood-serving businesses, institutions, and amenities. Natural Corridors and natural features such as stream corridors, wetlands, and woodlands should be treated as focal points or organizing systems for development. Streets should be well connected, and amenities should be treated as landmarks that enhance navigability of the development. This typology generally has a residential density of 1 to 5 dwelling units per acre, but a higher density is recommended if the development is within a quarter mile of a frequent transit line, greenway, or park.”

(Continued)

- ◇ This site is also located within an overlay, specifically the Environmentally Sensitive Areas (ES) Overlay. “Overlays are used in places where the land uses that are allowed in a typology need to be adjusted. They may be needed because an area is environmentally sensitive, near an airport, or because a certain type of development should be promoted. Overlays can add uses, remove uses, or modify the conditions that are applied to uses in a typology.”
- ◇ The Environmentally Sensitive Areas (ES) Overlay is intended for areas containing high quality woodlands, wetlands, or other natural resources that should be protected. The purpose of this overlay is to prevent or mitigate potential damage to these resources caused by development. This overlay is also appropriate for areas that present an opportunity to create a new environmental asset. This overlay is not intended for the preservation of open space.
- ◇ The entire site is located within the 100-year floodplain of the White River.
- ◇ The Pattern Book serves as a policy guide as development occurs. Below are the relevant policies related to this request:

Conditions for All Land Use Types

- All land use types except small-scale parks and community farms/gardens in this typology must have adequate municipal water and sanitary sewer.
- All development should include sidewalks along the street frontage.
- Hydrological patterns should be preserved wherever possible.
- Curvilinear streets should be used with discretion and should maintain the same general direction.
- In master-planned developments, block lengths of less than 500 feet, or pedestrian cut-throughs for longer blocks, are encouraged.

Conditions for All Housing

- A mix of housing types is encouraged.
- Developments of more than 30 housing units must have access to at least one arterial street of three or more continuous travel lanes between the intersections of two intersecting arterial streets.
- Should be within a one-mile distance (using streets, sidewalks, and/or off-street paths) of a school, playground, library, public greenway, or similar publicly accessible recreational or cultural amenity that is available at no cost to the user.
- Should be oriented towards the street with a pedestrian connection from the front door(s) to the sidewalk. Driveways/parking areas do not qualify as a pedestrian connection.
- Developments with densities higher than five dwelling units per acre should have design character compatible with adjacent properties. Density intensification should be incremental with higher density housing types located closer to frequent transit lines, greenways or parks.

(Continued)

Attached Housing

- Duplexes should be located on corner lots, with entrances located on different sides of the lot or otherwise interspersed with detached housing.
- Duplexes should be architecturally harmonious with adjacent housing.
- Townhomes should be organized around intersections of neighborhood collector streets, greenways, parks or public squares, or neighborhood-serving retail.

Multi-family Housing

- Should be located along arterial or collector streets, parks, or greenways.
- Parking should be either behind or interior to the development.
- Individual building height, massing, and footprint should gradually transition from adjacent developments. Specifically, buildings located adjacent to existing residential developments should be no more than one and a half times the height and no more than twice the average footprint of the existing adjacent residential buildings.

Floodway Fringe

- ◇ This site has a secondary zoning classification of a Floodway Fringe (FF), which is the portion of the regulatory floodplain that is not required to convey the 100-year frequency flood peak discharge and lies outside of the floodway.
- ◇ The designation of the FF District is to guide development in areas subject to potential flood damage, but outside the Floodway (FW) District. Unless otherwise prohibited, all uses permitted in the primary zoning district (D-P in this request) are permitted, subject to certain development standards of the Flood Control Secondary Zoning Districts Ordinance.
- ◇ The site and surrounding properties are all within the floodway fringe. This is the area where water is likely to sit during a flood of such intensity that there is a 1% chance of it occurring in any given year. This compares to the floodway where floodwater would flow during a flood of the same intensity. Generally, buildings are not permitted in the floodway, while, with exception of certain land uses, they are permitted in the floodway fringe, but must be constructed at least two feet above the base flood elevation.

Stream Protection Corridor

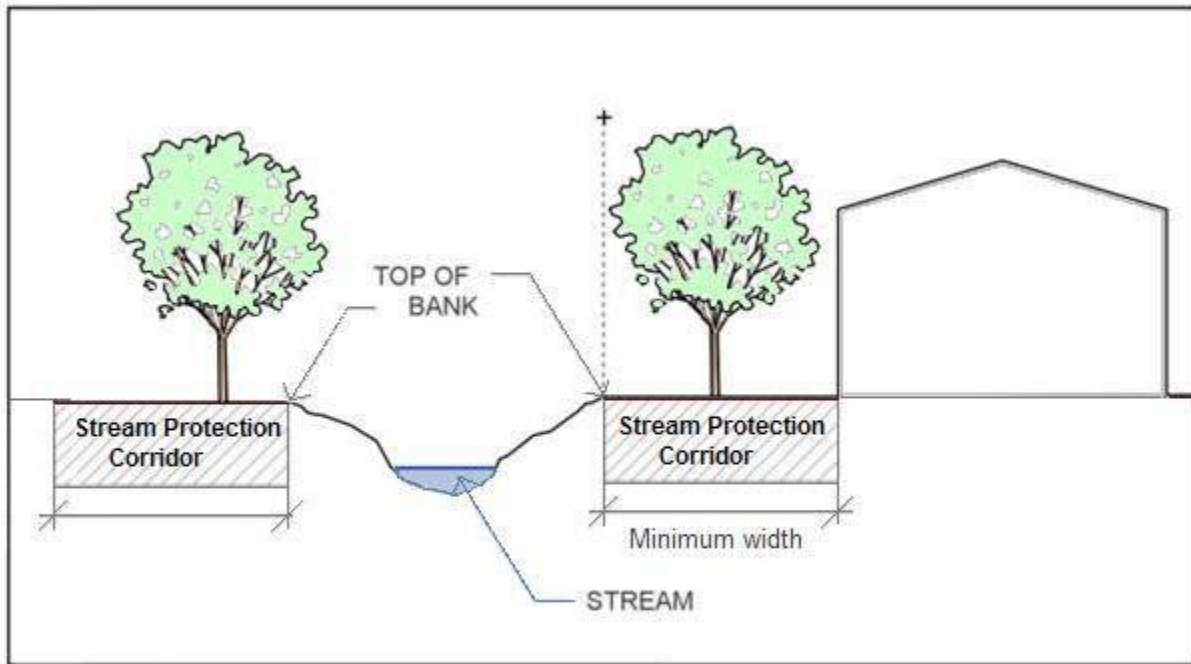
- ◇ A stream protection corridor consists of a strip of land, extending along both sides of all streams, with measurements taken from the top of the bank on either side. The width of the corridor is based upon whether the stream is designated as a Category One or Category Two. Category One streams have a corridor width of 60 feet in the compact context area and 100 feet in the metro context area. Category Two streams have a corridor width of 25 feet in the compact context area and 50 feet in the metro context area.

(Continued)

- ◇ The vegetative target for the Stream Protection Corridor is a variety of mature, native riparian tree and shrub species that can provide shade, leaf litter, woody debris, and erosion protection to the stream, along with appropriate plantings necessary for effective stream bank stabilization.
- ◇ The Stream Protection Corridor is defined as:

“A vegetated area, including trees, shrubs, and herbaceous vegetation, that exists or is established to protect a stream system, lake, or reservoir, and where alteration is strictly limited. Functionally, stream protection corridors provide erosion control, improve water quality (lower sedimentation and contaminant removal) offer flood water storage, provide habitat, and improve aesthetic value.”
- ◇ Stream is defined as “a surface watercourse with a well-defined bed and bank, either natural or artificial that confines and conducts continuous or periodic flowing water.”
- ◇ Stream Bank is defined as “the sloping land that contains the stream channel and the normal flows of the stream.”
- ◇ Stream Channel is defined as “part of a watercourse that contains an intermittent or perennial base flow of groundwater origin.”
- ◇ There are two types of categories of Streams: Category One Streams and Category Two Streams. White River is listed as a Category One Stream, which is defined as: “A perennial stream that flows in a well-defined channel throughout most of the year under normal climatic conditions. Some may dry up during drought periods or due to excessive upstream uses. Aquatic organism such as some fish are normally present and easily found in these streams. The Category One Streams are listed in Table 744-205-2: Category One Streams.”
- ◇ Category Two Stream is defined as: “An intermittent stream that flows in a well-defined channel during wet seasons of the year but not necessarily for the entire year. These streams generally exhibit signs of water velocity sufficient to move soil, material, litter, and fine debris. Aquatic organisms, such as fish, are often difficult to find or not present at all in these streams. These streams are identified on the United States Geological Survey (USGS) topographic maps and on the Department of Natural Resources Conservation Service (NRCS) soils maps.”
- ◇ There are 32 Category One streams listed in the Ordinance. The stream protection corridor is a strip of land on both sides of the stream whose width varies according to whether it is within the Compact or Metro Context Area and whether it is a Category One or Category Two Stream.
- ◇ As a Category One Stream within the Compact Context Area, White River is required to have a 60-foot stream protection corridor on both sides of the stream, as measured parallel from the top of the bank. Top of the bank is not defined by the Ordinance, other than by Diagram UU, Stream Protection Corridor Cross-section, as shown below.

(Continued)



Stream Protection Corridor

- ◇ The site property boundary that is adjacent to the Stream Protection Corridor is approximately 55 feet from the required 60-foot Corridor, with the nearest proposed buildings approximately 64 feet from the Corridor. Consequently, the proposed development would not affect or negatively impact the Stream Protection Corridor.

Environmental Assessment

- ◇ The petitioner engaged the services of consultant to conduct an environmental assessment of the impact of the proposed development on management of stormwater runoff. See Exhibit A.
- ◇ The study concluded that reduction of the impervious surface footprint would increase stormwater infiltration, provide additional green space, and improve water quality of stormwater runoff. The planned green infrastructure (bioswales / vegetative stormwater filters) would provide passive water quality treatment of runoff, along with selectively placed mechanical separators would improve water quality. Additionally, removal of invasive ornamental pear trees and use of deep-rooted native landscaping would further reduce stormwater runoff and improve stormwater quality entering the lake.
- ◇ “The proposed development will vastly improve the current ability of this site to manage and treat stormwater runoff. As a result, redevelopment will benefit to the overall health and quality of the lake and ultimately the White River.”

(Continued)

Traffic Impact Study (TIS) - Updated

- ◇ A TIS was prepared for petition (2021-ZON-149) and concluded that the proposed development would not have a significant negative effect on vehicular traffic, with certain improvements to include ingress and egress lanes at each of the site access drives and trim vegetation along the western side of Westfield Boulevard, south of the proposed development to provide adequate sight distance looking left from the proposed site driveway. See Exhibit B.
- ◇ An updated TIS, file-dated September 8, 2023, that “redevelopment of the existing Willows Event Center will have a negligible impact on the adjacent intersections” and would not require the installation of traffic signal controls or the construction of a northbound lane at the intersection of Westfield Boulevard and the existing Willows Event Center.
- ◇ The TIS, however, recommends the following:
 - Trim the existing vegetation within the right-of-way on the western side of Westfield Boulevard, south of the proposed Willows redevelopment driveway, in order to provide adequate sight distance looking left from the proposed site driveway.
 - Construct the proposed site driveway to Westfield Boulevard to provide one (1) lane for ingress traffic and one (1) lane for egress traffic only. The site egress should be controlled by a Stop sign.

D-P Statement

- ◇ The D-P Statement, file-dated September 8, 2023, describes the project as an apartment community offering 192 residential units in four buildings and “for sale” townhomes consisting of eight buildings with two residential units per building for a total of 16 units.
- ◇ The two different housing types would have a similar material palette to include earth tone siding in dark blues and greens, combined with brick and wood tones.
- ◇ The Statement also addresses development standards / setback, drainage / storm water management, signage, and landscaping.
- ◇ Amenities would include a wildflower garden, outdoor gathering spaces, pool, fitness center and a walking path around the perimeter of the lake.
- ◇ Parking would consist of 124 garage parking spaces and 140 surface parking spaces for the multi-family portion of the site. Each townhome would have a two-car garage, with two additional parking spaces on the drive for a total of 32 parking spaces. Additionally, 30 bicycles parking spaces, 18 of which would be located within the garage, would be provided.
- ◇ A pedestrian plan supporting connectivity would include internal sidewalks and installation of sidewalks along Westfield Boulevard right-of-way that would provide crosswalks and ultimately connectivity to the Monon Trail to the west.
- ◇ Site access would be provided via one entrance along Westfield Boulevard and an emergency barrier-controlled access at the southern end of the site.

(Continued)

MODIFICATION

- ◇ This request would modify commitments related to 2003-ZON-100, to allow development in accordance with the D-P Statement, Site Plan, Landscape Plan, Elevations and Renderings. See Exhibit C.
- ◇ The 2003 commitments also included petitions 2000-ZON-001 / 2000-DP-001 that rezoned the Spirit Lake site (east of this site) to the D-P district to provide for condominium development.
- ◇ Staff supports the modification because the commitments are no longer applicable since the condominium community has been constructed and occupied for nearly 20 years.
- ◇ This modification would permit redevelopment of this site for residential development.

Planning Analysis

- ◇ The previous petition (2021-ZON-149) initially proposed 238 apartment units within three multi-family buildings consisting of three and four stories over a floor of parking. Eight, three- and four-story buildings provided for 18 townhomes, resulting in a total of 256 dwelling units. Ultimately, plans were amended that reduced the total number of dwelling units to 225, consisting of 209 apartments and 16 townhomes, thereby reducing the overall density.
- ◇ Following withdrawal of the 2021 petition, this petition was filed to provide for 192 apartment units and 16 townhomes for a total of 208 dwelling units. Four buildings consisting of four stories over a level of parking would be provided for the apartments. Eight two-family dwellings would provide for sixteen townhomes.
- ◇ Housing density on the site would be 9.7 units per acre. If the eight-acre lake would be removed from the equation, the density would be 13.48 units per acre. This compares to six units per acre for the multi-family structures to the east and four units per acre for the townhomes to the west. Staff would note that the Ordinance provides that “densities and development of a D-P are regulated and reviewed by the Metropolitan Development Commission.”
- ◇ As proposed, 328 parking spaces would be available, consisting of 124 garage parking spaces and 140 surface parking spaces for the apartments. The townhomes would have 32 garage parking spaces and 32 surface parking spaces. The Ordinance requires 0.75 parking space per dwelling unit if the building is over three stories and one parking space per townhome for a total of 160 minimum required parking spaces.
- ◇ The request would be generally consistent with the Comprehensive Plan recommendation of suburban neighborhood typology and comply with the guidelines outlined in the Pattern Book including but not limited to a mixture of housing types, permitted uses, compatible design character (building height / massing / footprint) with adjacent land uses, located along an arterial street, located near the Monon Trail (publicly accessible greenway) and pedestrian connectivity (both internal to the site and off-site connections to nearby amenities).

(Continued)

- ◇ As previously noted, the proposed redevelopment of the site would be more consistent with the Comprehensive Plan recommendation than the current use as an event center. Event centers are more intense and considered to be a community regional use that serves a wide area, generates significant traffic peaks, and creates noise and activity.
- ◇ The updated TIS concludes that the proposed development would not have a significant negative impact on adjacent intersections.
- ◇ The Environmental Assessment concludes that the proposed development would vastly improve the current ability of the site to manage and treat stormwater runoff.
- ◇ For all these reasons, staff supports the rezoning request, subject to the D-P Statement, site plan, landscaping plan, sign program, pedestrian plan, green infrastructure plan, elevations, TIS recommendations and proposed commitments.

GENERAL INFORMATION

EXISTING ZONING AND LAND USE

SU-34(FF) Event Center
/ D-P (FF)

SURROUNDING ZONING AND LAND USE

North - D-P Entrance drive to multi-family dwellings
South - D-P Single-family dwellings
East - D-P Multi-family dwelling
West - D-6 Multi-family dwellings (Townhomes)

COMPREHENSIVE PLAN The Comprehensive Land Use Plan for Indianapolis and Marion County (2018) recommends suburban neighborhood typology. Marion County Land Use Pattern Book (2019).

THOROUGHFARE PLAN This portion of Westfield Boulevard is designated in the Marion County Thoroughfare Plan as a secondary arterial, with an existing 65-257-foot right-of-way and a proposed 56-foot right-of-way.

CONTEXT AREA This site is located within the compact context area.

OVERLAY This site is located within an environmentally sensitive area (100-year floodplain).

D-P STATEMENT File-dated September 8, 2023

SITE PLAN File-dated September 8, 2023

ELEVATIONS / RENDERINGS File-dated September 8, 2023

(Continued)

ZONING HISTORY

2021-ZON-149; 6729 Westfield Boulevard, requested Rezoning of 21.44 acres from the SU-34 (FF) and DP (FF) districts to the DP (FF) district to provide for a multifamily and townhome development, **withdrawn**.

2003-ZON-100; 6720 Spirit Lake Drive, requested the rezoning of 29.7 acres from the D-P district to the D-P district to provide for a single-family dwelling and for condominium development, **approved**.

2000-ZON-001 / 2000-DP-001; 6759 Westfield Boulevard, requested the rezoning of 26.28 acres from the SU-34 and D-P districts to the D-P district to provide for condominium development, **approved**.

88-Z-196; 6591 Westfield Boulevard, requested the rezoning of 20.8 acres from the SU-34, SU-3 and SU-16 districts to the SU-34 district, **approved**.

87-Z-113; 6801 Westfield Boulevard, requested the rezoning of 26.2 acres from the SU-34, D-2, SU-3, and SU-15 districts to the D-9 district, **withdrawn**.

60-Z-112; 6400-6600 Westfield Boulevard, requested the rezoning of 41.7 acres from the R-3 district to the SU-16 and SU-3 districts to provide for a recreation and amusement park, **approved**.

60-Z-111; 6600 Westfield Boulevard, requested the rezoning of 3.3 acres from the R-3 district to the B-2 district to provide for a restaurant, **approved**.

VICINITY

2003-ZON-818 / 2003-DP-10; 6720 Spirit Lake Drive north of site, requested the rezoning of 1.17 acre from the D-P district to the D-P district to provide for a single-family dwelling, **approved**.

2002-ZON-823; 6720 Spirit Lake Drive (north of site), requested the rezoning of 29.7 acres from the D-P district to the D-P district to provide for condominium development, **approved**.

91-Z-52, DP-6; 6709 Westfield Boulevard (south of site), requested the rezoning of 70 acres from the D-5 and D-A districts to the D-P district to provide for single-family dwellings, **approved**.

88-Z-195; 6891 Westfield Boulevard (north of site), requested the rezoning of three acres from the SU-34 district to the D-4 district, **approved**.

87-UV1-53; 6801 Westfield Boulevard (north of site), requested a variance of use to provide for a residential garage in a SU-34 district, **approved**.

86-UV3-76; 6702 Westfield Boulevard (west of site), requested a variance of use to provide for a residential accessory structure larger than the primary residential structure, **approved**.

(Continued)

85-Z-90; 6701 Westfield Boulevard (south of site), requested the rezoning of 40 acres from the C-3, D-S, A-2, SU-3 and SU-16 districts to the D-2 district, **approved**.

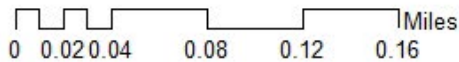
60-Z-110; 6600 Westfield Boulevard (west of site), requested the rezoning of 2.1 acres from the R-3 district to the B-5 district to provide for lawnmower repair, **approved**.

60-Z-109; 6600 Westfield Boulevard (west of site), requested the rezoning of 20.8 acres from the R-3 district to the SU-34 district to provide for a private fishing club, **approved**.

kb



6729 Westfield Boulevard



DEVELOPMENT STATEMENT **6729 WESTFIELD BLVD.**

SITE CHARACTERISTICS

The property is located at 6729 Westfield Blvd. (the "Property"). The approximately 21.44 acre Property includes a 13 acre lake and 8 acres of land to be developed. Since 1988, the Property has been operated as an event center, most recently known as "The Willows." The Willows has two buildings: an approximately 25,000 sq. ft. Event Center located at the access from Westfield Blvd. and an approximately 13,000 sq. ft. Lodge located at the southern end of the Property. Both buildings will be demolished in connection with the project.

The Property is located west of the White River but is over 100 feet from the river bank at its nearest point at the southeastern end of the Property. The proposed development falls outside of the Stream Protection Corridor (as defined in the Marion County Zoning Ordinance) by in excess of 40 feet. No development shall be allowed within the Stream Protection Corridor. Other developments surrounding or adjacent to the Property include the Oxbow neighborhood to the south, the Island Woods Condominiums and the Reserve at Broad Ripple to the west, Spirit Lake Condominiums and Shore Acres of Broad Ripple Apartments to the east, and single family residential development to the north.

PROJECT DESCRIPTION

J.C. Hart Company proposes to redevelop the Property as an apartment community which will offer 192 residential living units in four buildings with parking located on the first level and along Westfield Blvd. as depicted in the filed site plan and as shown on the elevations. The Marion County Land Use Plan Pattern Book (the "Pattern Book") states that multifamily housing should be part of the housing mix in a suburban neighborhood and should be located along arterial or collector streets, parks or greenways.

The townhome section of the project, which units will be "for-sale," will be developed by Chase Development at the southern end of the Property. In accordance with the Pattern Book, this area is designed to create a transition in scale between the apartments and the Oxbow Estates residential neighborhood. The townhomes shall consist of eight (8) separate buildings with two (2) units per building, for a total of sixteen (16) townhomes. The townhomes shall be three and four stories with a two-car garage and parking for two additional vehicles in each unit's driveway. A similar material palette to the apartments is used to create a cohesive development.

The multifamily section of the development separates the apartment units into four buildings. Each building complies with the Pattern Book recommendations that: (1) multifamily buildings have a footprint no greater than twice the size of existing residential structures; and (2) the height of each building be no more than one and a half times the height of existing residential structures. Moreover, the Pattern Book recommends that "[d]ensity intensification should be incremental with higher density housing types located closer to frequent transit lines, greenways, or parks." Pattern Book, p. 27.

Buildings are configured to maximize the amount of available green space and to provide residents with the best views of the lake and surrounding forested area. Aesthetically, the exterior design uses modern vocabulary and takes cues from the natural, park-like setting. The development name “Elements” is derived from this idea. Earth tone siding colors in dark blues and greens are used in combination with brick and wood tones to reinforce the *elements* concept. Large balconies encourage residents to extend their living spaces outdoors and enjoy the views.

The project will add additional green space to the Property. Landscape improvements seek to enhance the natural features of the site using prairie grasses, drought-tolerant native plants, a wildflower garden, and a green roof over the 3,000sf Leasing Office and Fitness Center. Other site amenities include an outdoor pool and covered outdoor gathering spaces. The lake is the other key amenity and residents will be able to view the water via a walking path around the water. There shall be no motorized boats allowed on the lake, except for electric trolling motors.

Each building has a clear sense of entry from Westfield Blvd. The garage level sits approximately 6.5’ below Westfield Blvd which limits visibility of cars coming in and out of the garage. Additionally, decorative screens, retaining walls, and plantings are used at the parking level to limit the visibility of cars in the garage. Earthtone porous pavers are used at the site entry to assist with storm-water runoff and reduce the visual impact of asphalt.

The development will be constructed in substantial compliance with the approved site plan and elevations.

PERMITTED USES

Permitted use of the Property shall be limited to multifamily dwellings and single family attached dwellings as depicted on the approved site plan and elevations.

DEVELOPMENT STANDARDS/SETBACKS

Building and other structures constructed on the Property shall be located as depicted on the approved site plan, including building locations and setbacks shown thereon.

UTILITIES DRAINAGE

All utilities are available to the site. Storm drainage will be professionally engineered to meet the City of Indianapolis requirements with respect to run-off rate, quantity, and water quality. Storm water run-off from the project will flow through a filtration system that will capture the vast majority of particulate matter before release.

SIGNAGE

Project and building identification signage shall be located in substantial conformity with the approved sign plan and subject to final approval by the Administrator. No off-premises outdoor advertising signs shall be permitted.

LANDSCAPING

Landscaping shall be located in substantial compliance with the approved landscape plan. Native, non-invasive and drought tolerant trees and shrubs will be used throughout the landscape design.

SIDEWALKS/CONNECTIVITY

Improving connectivity, both within the development, and in the surrounding area shall be an important aspect of the development. Pedestrian walkways and sidewalks shall be constructed within the development and along public right-of-ways as depicted on the approved site plan. The developer shall work with the Department of Public Works to bring necessary improvements along Westfield Blvd. for pedestrian access and cross-walks ultimately providing connectivity to the Monon Trail.

ACCESS AND PARKING

Primary access to the apartments and townhomes shall be via the existing access point off of Westfield Blvd., with only emergency ingress/egress permitted through a barrier controlled access point at the southern end of the Property to Westfield Road.

The project shall be fully self-parked and meet all municipal parking ratio requirements. Parking for the multifamily building shall consist of 124 parking spaces in the garage and 140 parking spaces at surface level as shown on the site plan for a total of 264 parking spaces. Also, there shall be 30 bicycle parking spaces, with 18 located in the garage. Each townhome unit shall be constructed with a dedicated two car garage for a total of 32 parking spaces and can accommodate two additional parking spaces within each townhome driveway for a total of 64 parking spaces for the 16 townhomes.



Architectural Site Plan

SCALE: NTS



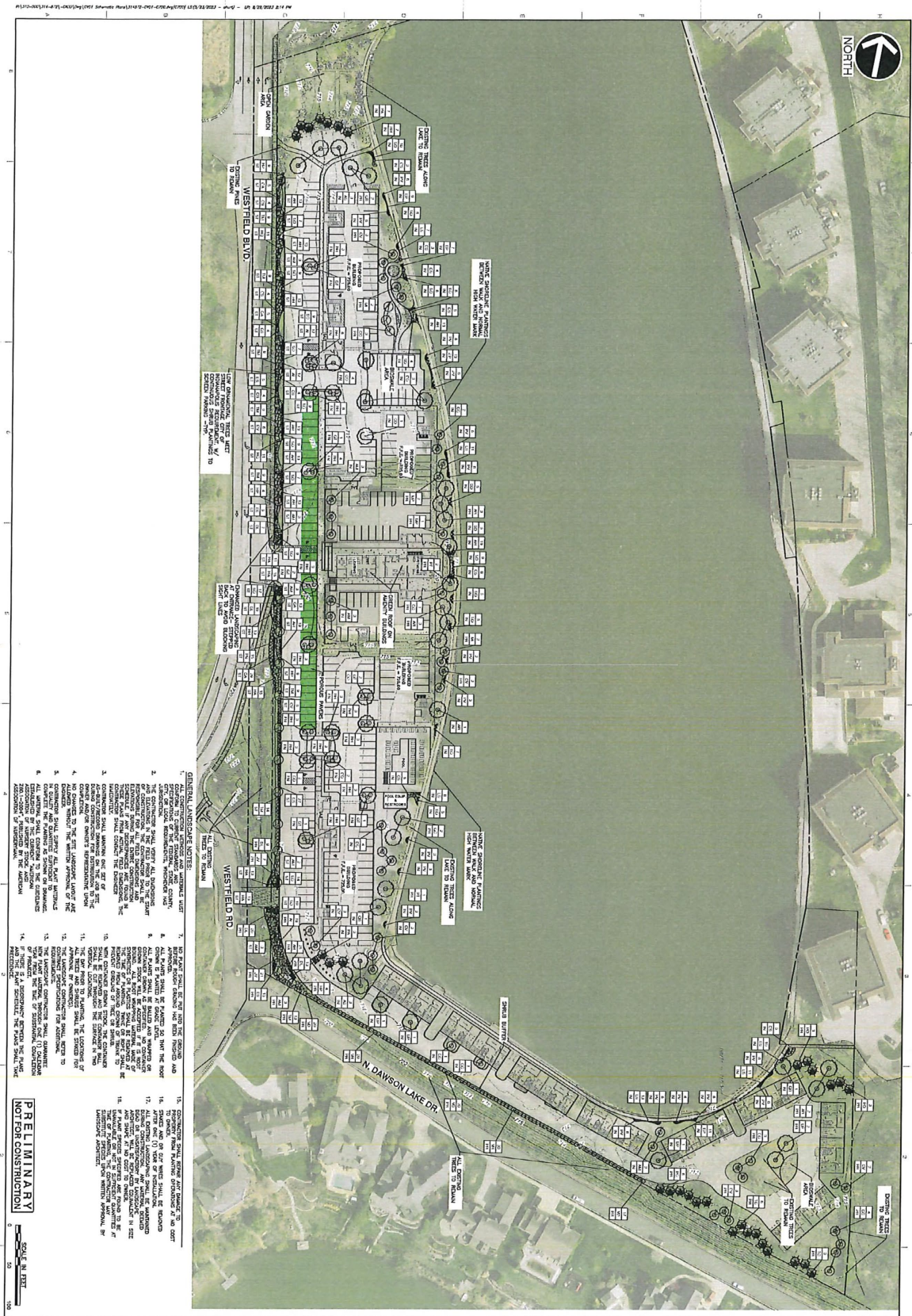
A5

AUG 1, 2023

Architectural Site Plan

Elements
 Broadripple Apartments
 on the Water
 Indianapolis, Indiana





- GENERAL LANDSCAPE NOTES:**
1. ALL PLANTING SHALL BE INSTALLED AND MAINTAINED UNTIL THE CONTRACTOR HAS RECEIVED FINAL APPROVAL FROM THE CITY OF INDIANAPOLIS.
 2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF PLANTING ARE AS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF INDIANAPOLIS.
 3. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND STRUCTURES ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF INDIANAPOLIS.
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 15. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND STRUCTURES ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF INDIANAPOLIS.

PRELIMINARY
NOT FOR CONSTRUCTION

SCALE IN FEET
1" = 50'

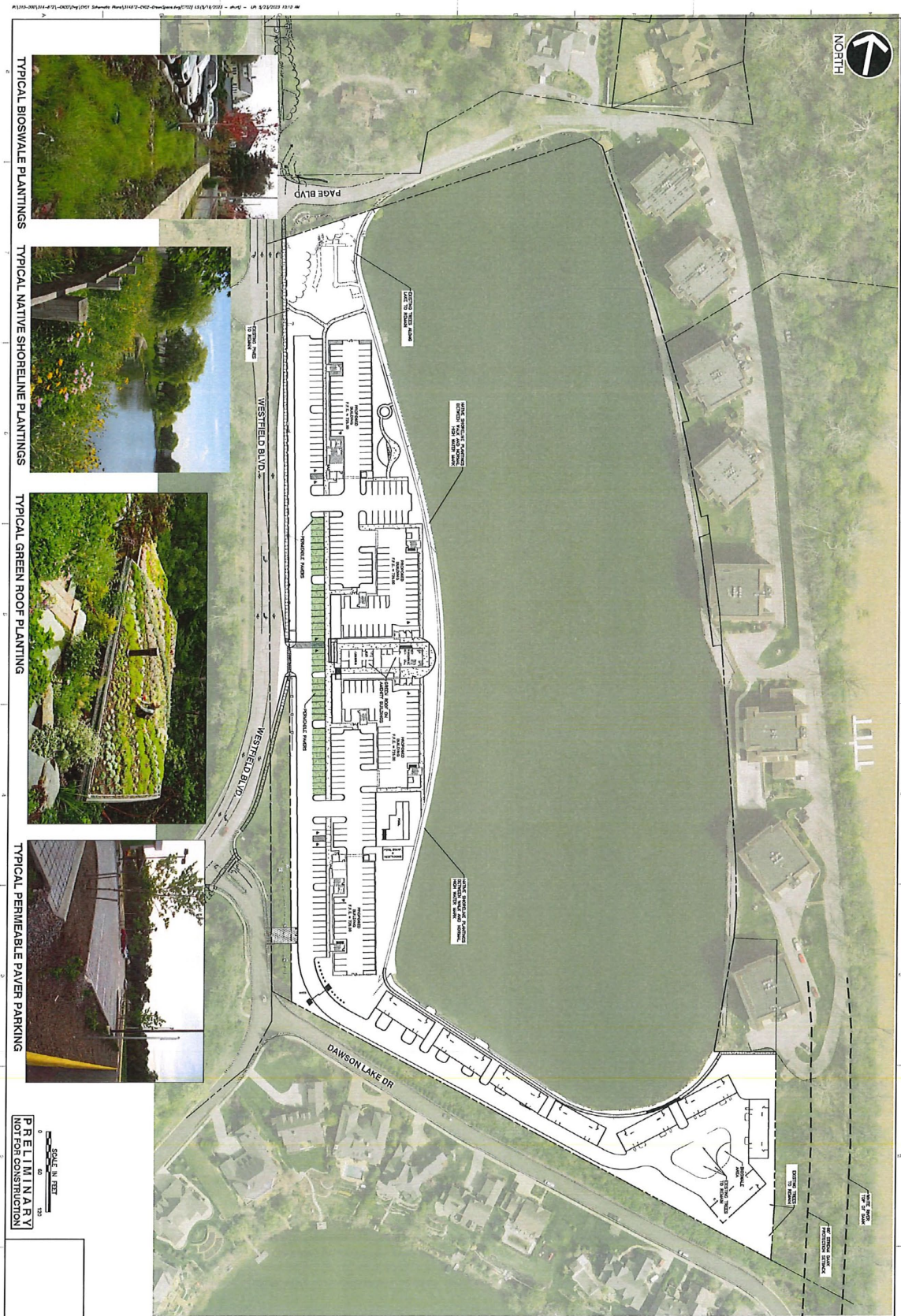
DATE: August 28, 2023
DRAWN BY: JCS
CHECKED BY: ACH
PROJECT NO: 314872
APPROVED BY: [Signature]

LANDSCAPE PLAN
C700

J.C. HART
ELEMENTS
6729 WESTFIELD BOULEVARD
INDIANAPOLIS, INDIANA

CEC
Civil & Environmental Consultants, Inc.
500 E. Ohio Street - Suite G - Indianapolis, IN 46204
317-655-7777 • 877-740-0749
www.cecinc.com

REVISION RECORD		
NO.	DATE	DESCRIPTION



SCALE: 1/8" = 1'-0"

0 50 100

PRELIMINARY
NOT FOR CONSTRUCTION

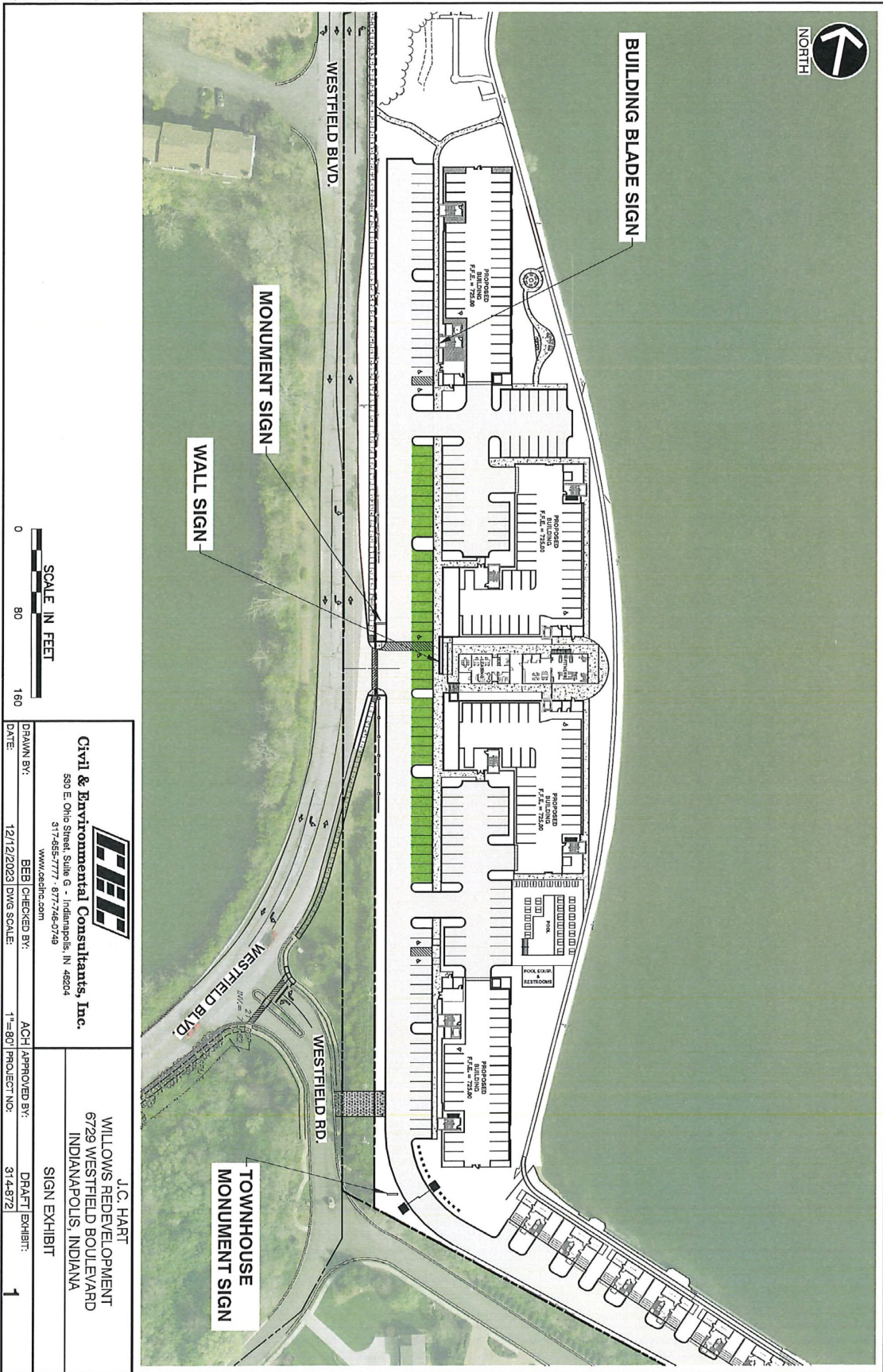
DATE: MAY 22, 2023 DRAWN BY: JCB
 CHECKED BY: ACI
 PROJECT NO: 315-472
 APPROVED BY: [Signature]


GREEN INFRASTRUCTURE PLAN

J.C. HART ELEMENTS
 6729 WESTFIELD BOULEVARD
 INDIANAPOLIS, INDIANA

CEC
Civil & Environmental Consultants, Inc.
 530 E. Ohio Street - Suite G - Indianapolis, IN 46204
 317-655-7177 - 317-749-0749
 www.cecinc.com

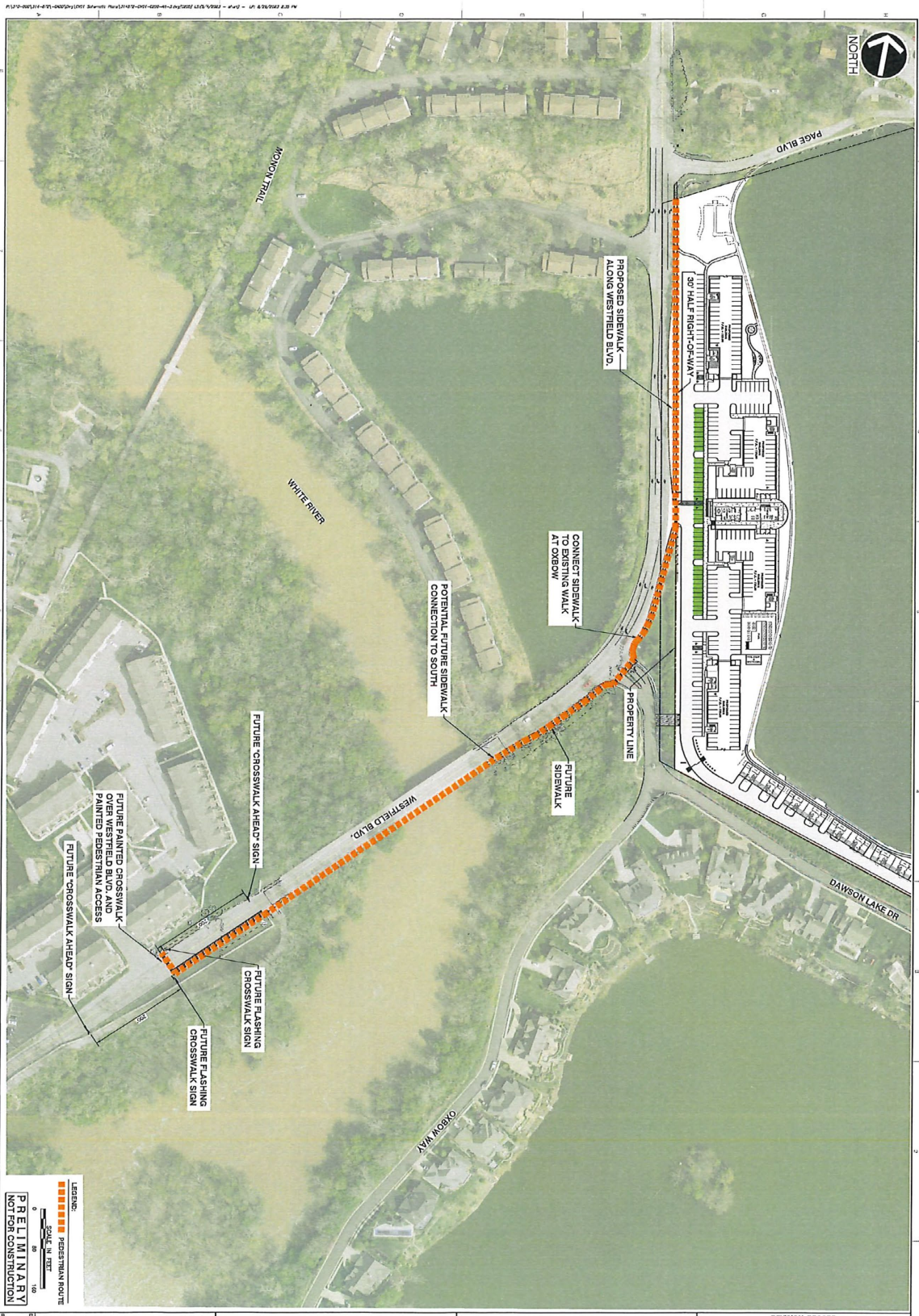
REVISION RECORD	
NO.	DESCRIPTION



 Civil & Environmental Consultants, Inc. 500 E. Ohio Street, Suite G-1, Indianapolis, IN 46204 317.585.7777 877.746.0749 www.eeec.com		J.C. HART WILLOWS REDEVELOPMENT 6729 WESTFIELD BOULEVARD INDIANAPOLIS, INDIANA SIGN EXHIBIT	
DRAWN BY: BEB DATE: 12/12/2023	CHECKED BY: BEB DWG SCALE:	ACH APPROVED BY:	DRAFT EXHIBIT: 1

Pedestrian Connection

Item 22.



LEGEND:

- PEDESTRIAN ROUTE
- 30' HALF RIGHT-OF-WAY
- PROPERTY LINE

PRELIMINARY
NOT FOR CONSTRUCTION

OVERALL SITE PEDESTRIAN AREA PLAN

DATE:	August 29, 2023	DRAWN BY:	JCS
DATE SCALE:	1" = 80'	CHECKED BY:	ACR
PROJECT NO.:	314.872	DRAWN BY:	DRK
DATE PLOTTED:			

J.C. HART ELEMENTS
6729 WESTFIELD BOULEVARD
INDIANAPOLIS, INDIANA

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REVISION RECORD	
NO.	DESCRIPTION

LIST OF COMMITMENTS
6729 WESTFIELD BLVD.

1. **Site Development.** Development of the site shall be in substantial conformity with the Development Statement, Site Plan, Building Elevations, landscape plan, Green Infrastructure Plan, and renderings approved by the Metropolitan Development Commission (“Project”).

2. **Access.** Access to the Project shall be via the existing access drive and curb cut off of Westfield Blvd. Emergency access only shall be permitted via the “Emergency Access” area via Westfield Road in substantially the same location as the existing Westfield Road access to the property, provided such access can be improved in a manner that complies with all applicable codes, ordinances, and with the approval of pertinent City agencies. In the alternative, such Westfield Road access shall be as shown on the approved site plan. Wherever sited, the Westfield Road access shall be used only as an emergency access. Non-emergency vehicles are strictly prohibited from accessing the site via Westfield Road and a gate or barrier operable by emergency service providers will be installed at Westfield Road emergency access point.

3. **Environmental.** The Project shall include the following environmental protections:
 - a. Developer shall obtain all applicable permits and approvals in connection with the development of the Project relating to the environment, including all appropriate internal reviews by City agencies.

 - b. There shall be no development or land disturbance in connection with the development of the Project inside of or within 60 feet of the Stream Protection Corridor, as that term is defined in the Marion County Zoning Ordinance.

 - c. An onsite stormwater drainage filtration system, including bioswales as shown on the approved Green Infrastructure Plan (“Filtration System”) shall be installed in connection with the development of the Project and shall be subject to review and approval by the Department of Public Works (“DPW”) based upon its design standards at the date of approval of these Commitments by the Metropolitan Development Commission (“Commission”).

 - d. The existing bank of the pond shall not be disturbed during development of the Project, except as necessary to install the Filtration System or to maintain damaged or eroded sea wall areas adjacent to the Project improvements.

 - e. Developer shall utilize natural-fiber erosion control blankets, coir fiber logs, and other materials during construction.

- f. There shall be no motorized boats allowed on the pond, except for boats with electric trolling or similar sized motors.
- g. The landscaping plan for the Project, which shall be subject to approval by the Administrator of the Department of the Department of Metropolitan Development Department (“Administrator”), shall include species that are native to or thrive in Indiana and are not invasive. The approved Landscape Plan shall include a native prairie buffer between any water feature which captures stormwater runoff and any lawn or structure.
- h. In connection with the approved landscape plan, Developer shall remove existing invasive plant species, including but not limited to Callery/Bradford Pear and cultivars (*Pyrus calleryana*) and Bush Honeysuckle (*Lonicera S.*). Erosion control grasses shall be exempt from this requirement.
- i. Developer shall maintain a lake maintenance plan which shall include use of eco-friendly fertilizer as a mechanism to ensure clarity of water in Spirit Lake, understanding that other adjacent property owners’ use of chemicals in the area around Spirit Lake also impacts water quality. Developer shall restrict use of pesticides and herbicides to only those approved for use in wetland areas.

4. **Parking.** The Project shall include and continue to maintain a maximum of 264 onsite parking spaces for the apartment units and each townhome shall have a dedicated two car garage. Bicycle parking shall be provided for the apartment units as shown on the approved site plan.

5. **Connectivity.** As shown on the Pedestrian Area Plan file dated August 30, 2023 (“Sidewalk Plan”), the following improvements (“Sidewalk Improvements”) shall be installed before any dwelling units on the subject property are occupied by residents, or, in the event installation of the Sidewalk Improvements is delayed by reason of Force Majeure, as soon thereafter as reasonably possible:

- a. A sidewalk meeting the standards of DPW shall be installed in the right-of-way of Westfield Boulevard along:
 - i. the frontage of the subject property;
 - ii. to the south of the subject property along Westfield Boulevard that is currently without a sidewalk; and
- b. Crosswalk striping shall be installed on Westfield Road at the intersection of Westfield Boulevard.
- c. Two (2) crosswalk with RRFBs (rectangular rapid flashing beacons) shall be installed per the Sidewalk Plan or in other nearby locations along Westfield Boulevard designated by DPW.

- d. ADA curb ramps, continental markings and pedestrian protection shall be installed to DPW standards.
 - e. The Sidewalk Improvements shall, as installed, be the property of DPW and developer shall execute any reasonable documents of dedication as requested by DPW. Future maintenance, repair or replacement of the Sidewalk Improvements shall be the responsibility of DPW and not the developer.
6. **Signage.** Project and building identification signage shall be located in substantial conformity with the approved sign plan and subject to final approval by the Administrator.

**REVISED TRAFFIC IMPACT STUDY
FOR THE PROPOSED
WILLOWS REDEVELOPMENT
City of Indianapolis, Marion County, Indiana
EXECUTIVE SUMMARY**

General Overview of the Development

- The approved TIS which was dated November 15, 2021 has been updated to reflect a change in the number of units, the removal of a site driveway on Westfield Road, and a projected opening year of 2025. This revised TIS reflects the results of the updated analyses.
- Development to occur on the eastern side of Westfield Boulevard, on the site of the existing Willows Event Center, in the City of Indianapolis, Marion County, Indiana.
- Development to consist of the razing of the existing Willows Event Center and the construction of the following:
 - 192 apartment units; and
 - 16 residential townhouse units.
- Access to the development is proposed via one (1) site driveway;
 - the reconstruction of the existing driveway to Westfield Boulevard serving the existing Willows Event Center, the centerline of which is located approximately 315 feet north of the centerline of Westfield Road; and

Study Intersections

- Westfield Boulevard with 75th Street (existing signalized);
- Westfield Boulevard with the Willows Event Center driveway/site driveway (existing unsignalized/proposed);
- Westfield Boulevard with Westfield Road (existing unsignalized);
- Westfield Boulevard with 64th Street (existing unsignalized); and
- Winthrop Avenue with Broad Ripple Avenue (existing signalized).

Trip Generation and Distribution

- Trip generation of the proposed development was determined using rates and equations contained in the Institute of Transportation Engineers (ITE) publication *Trip Generation*, Tenth Edition, 2017. The tenth edition was utilized to remain consistent with the approved study.
 - Land Use Code 221, *Multifamily Housing (Mid-Rise)*, was used to determine the trip generation of the proposed 192 apartment units; and

- Land Use Code 220, *Multifamily Housing (Low-Rise)*, was used to determine the trip generation of the proposed 16 townhouse units.
- Estimated Trip Generation of the proposed development:
 - A.M. Peak Hour: 19 Entering/54 Exiting/73 Total
 - P.M. Peak Hour: 59 Entering/36 Exiting/95 Total
- Primary trip distribution based on an average of the existing peak hour traffic distributions in the following locations
 - Westfield Boulevard – north of 75th Street;
 - 75th Street – west of Westfield Boulevard;
 - 64th Street – west of Westfield Boulevard;
 - Winthrop Avenue – south of Broad Ripple Avenue;
 - Broad Ripple Avenue – east of Winthrop Avenue; and
 - Broad Ripple Avenue – west of Winthrop Avenue.
- Primary trip distribution also compared to the distribution of traffic into and out from Westfield Road at its intersection with Westfield Boulevard.

Capacity Calculations

- No decreases in overall intersection Level of Service are anticipated at any of the existing study intersections following the redevelopment of the existing Willows Event Center.
- The proposed site driveway intersection with Westfield Boulevard can be anticipated to operate at an overall intersection Level of Service A during both the weekday A.M. and weekday P.M. peak hours, with all movements into and out from the proposed site driveway anticipated to operate at a Level of Service C or better during each of the peak periods analyzed.

Traffic Signal Installation Warrants

- Warrants for the installation of traffic signal control are not anticipated to be satisfied at the intersection of Westfield Boulevard with the proposed site driveway.
- Warrants for the installation of traffic signal control are not anticipated to be satisfied at the intersection of Westfield Boulevard with Westfield Road.

Auxiliary Turn Lane Installation Guidelines

- Guidelines for the construction of a northbound right turn lane on Westfield Boulevard at its intersection with the proposed site driveway are not anticipated to be satisfied.

Mitigation Measures to be Constructed Concurrent with Development

- Trim the existing vegetation within the right-of-way on the western side of Westfield Boulevard, south of the proposed Willows redevelopment driveway, in order to provide adequate sight distance looking left from the proposed site driveway.
- Construct the proposed site driveway to Westfield Boulevard to provide one (1) lane for ingress traffic and one (1) lane for egress traffic only. The site egress should be controlled by a Stop sign.

CONCLUSIONS/RECOMMENDATIONS

The study concluded that the redevelopment of the existing Willows Event Center will have a negligible impact on the adjacent intersections.

Warrants for the installation of traffic signal control are not anticipated to be satisfied at any of the existing unsignalized study intersections following the redevelopment of the existing Willows Event Center.

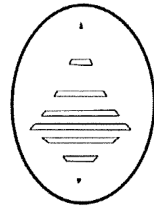
Warrants for the construction of a northbound right turn lane on Westfield Boulevard are not anticipated to be satisfied at the intersection Westfield Boulevard with the Willows redevelopment driveway following the redevelopment of the existing Willows Event Center.

Therefore, based on the results of these analyses, CEC recommends the following:

- Trim the existing vegetation within the right-of-way on the western side of Westfield Boulevard, south of the proposed Willows redevelopment driveway, in order to provide adequate sight distance looking left from the proposed site driveway.
- Construct the proposed site driveway to Westfield Boulevard to provide one (1) lane for ingress traffic and one (1) lane for egress traffic only. The site egress should be controlled by a Stop sign.

This concludes CEC's Revised Traffic Impact Study for the redevelopment of the existing Willows Event Center, which is located on the eastern side of Westfield Boulevard, north of Westfield Road, in the City of Indianapolis, Marion County, Indiana.

Included with this report is a Technical Appendix containing all counts, analyses and calculations.



Earth-Source Inc

Committed to Excellence in Land Stewardship & Design for over 30 years

ENVIRONMENTAL ASSESSMENT REPORT: WILLOWS REDEVELOPMENT

6729 Westfield Boulevard
Indianapolis, IN 46220

Site Investigation: November 16, 2022

Initial Report: January 9, 2023

Final Report: October 5, 2023

Prepared for:

Dinsmore & Shohl, LLP
211 North Pennsylvania Street, Suite 1800
Indianapolis, IN 46204

Summary and Conclusions

- The proposed development will vastly improve the current ability of this site to manage and treat stormwater runoff. As a result, redevelopment will benefit to the overall health and quality of the lake and ultimately the White River.

Site History

- The site known as Spirit Lake began as a gravel quarry, which was in active operation between 1930 and 1950.
- Between 1960 and 1990 the site was utilized for limited recreation, single dwellings and boat dock.
- In 1990 the site began its current use as an event center.
- In 2002, development of condominiums began on the eastern portion of the site.

Existing Site Conditions and Observations

Spirit Lake

- The shoreline is primarily either hard armored with stone or concrete seawall.
- Existing greenspace or wildlife/aquatic habitat is extremely limited.
- Stormwater runoff from the condominiums and/or nearby home occurs via pipe discharge to the lake.
- Stormwater runoff from the event center is comprised largely of sheet flow from paved parking areas which runs through a narrow greenspace lawn around the lake.
- Current conditions provide limited stormwater treatment prior to discharge to the lake.

Earth Source, Inc.

14921 Hand Road, Fort Wayne, IN 46818

Page 1 of 3; (10/5/2023)

PH: (260) 489-8511 FAX: (260) 489-8607

landscape architecture • land planning • wetland science & ecological services
native seed nursery • installation • management

**WILLOWS REDEVELOPMENT
ENVIRONMENTAL ASSESSMENT REPORT**

Event Center

- Stormwater runoff sheet drains from the parking lot with limited greenspace treatment.
- Impervious surfaces, including roof areas, parking and other pavements totals approximately 3.0 acres, excluding existing development on the south side of the lake. The proposed development includes approximately 2.6 acres of impervious surface.
- Under current ownership for over 30 years.
- Stable seawall shoreline. No evidence of erosion or bank failure.
- Ornamental Pear trees line the current shoreline. These invasive trees offer little to no water quality benefit. Removal and replacement with deep-rooted native species would benefit habitat and further enhance water quality.
- Downspouts from roof surfaces directly discharge into the lake.
- Native herbaceous plantings do exist in a few limited locations along walkways and the shoreline, providing some stormwater quality benefit.

Condominiums

- Constructed approximately 20 years ago, after the Event Center was already in place.
- Shoreline in front of condominiums is hard armored with riprap and shotcrete. Erosion is evident beneath these armored areas, resulting in soil loss and deposition into the lake.
- No water quality buffering of runoff from hard surface areas is provided.
- No edge or shoreline habitat.
- Downspouts from roof surfaces directly discharge into the lake.

Response to Ecosystems Connections Institute letter dated 3.7.2022

- Characterization as “historic gravel excavation” and “unique natural system” is oxymoronic. The site is a gravel pit located within an urban landscape and has been surrounded by commercial and residential development for 30 years.
- The statement, “it is easy to over develop a lake basin”, implies the gravel pit is a natural system with associated ecosystems to provide water treatment, flow abatement and infiltration such as wetlands, green space and riparian buffers.
- Cultural Eutrophication, human caused export of nutrients to an aquatic system, is a factor in Indiana lakes typically attributed to watershed agricultural practices, fertilizer runoff, livestock and septic effluent. The Spirit Lake basin or watershed is nearly entirely developed with hard surfaces. The proposed development actually reduces impervious surface areas, provides active and passive water quality treatment and green infrastructure and will not use phosphorus based fertilizer, thereby improving water quality and the environmental footprint.
- The planned redevelopment of the Willows site does not contemplate activities within the lake or White River. Section 404 permits are not required for land-based activities.

WILLOWS REDEVELOPMENT
ENVIRONMENTAL ASSESSMENT REPORT

- Population density regarding the perceived “sense of place” is not the issue, nor is it one to be regulated or controlled in this instance, outside of the current zoning regulations. Green space will actually increase with the proposed development, thereby effectively decreasing, not increasing the ecological footprint.

Conclusion - Proposed Site Development

Based upon current plans, the proposed site development effectively reduces the impervious surface footprint by approximately 0.4 acres. This reduction results in an effective increase in stormwater infiltration when compared to the existing site. The additional green space, resulting from this decrease in pavement, provides opportunities for increased water quality and thermal treatment of stormwater runoff. In conjunction, the planned Green Infrastructure including Bioswales and Vegetative Stormwater Filters provides passive water quality treatment of this runoff. In addition, the ability to pre-treat point source discharges utilizing selectively placed Mechanical Separator(s) will further improve water quality. Removal of invasive ornamental pear trees and the overall use of deep-rooted native landscaping, as well as the potential incorporation of green roof system(s) further reduces stormwater runoff and improves stormwater quality entering the lake.

In summary, the proposed development will vastly improve the current ability of this site to manage and treat stormwater runoff. As a result, redevelopment will benefit to the overall health and quality of the lake and ultimately the White River.

Site investigation and report prepared by:
Earth Source Inc

Eric P. Ellingson, C.P.G., S.P.W.S.
President

Daniel L. Ernst, PLA, ASLA
Vice President

WILLOWS REDEVELOPMENT
ENVIRONMENTAL ASSESSMENT REPORT



1. Riprap extends along entire shoreline at Condominiums.



3. Turf at shoreline allows easy lake access for geese.



2. Concrete seawall along Event Center is stable.



4. Event Center parking lot stormwater runoff into lake.

Earth Source, Inc.
14921 Hand Road, Fort Wayne, IN 46818

PH: (260) 489-8511 FAX: (260) 489-8607

WILLOWS REDEVELOPMENT
ENVIRONMENTAL ASSESSMENT REPORT



5. Minimal existing natural shoreline.



7. Native plantings providing some stormwater treatment.



6. Roadside drain inlet draining to White River.



8. Stone at toe of bank on adjacent White River.

**EXHIBIT B
(12.20.2021)**

**TRAFFIC IMPACT STUDY
FOR THE PROPOSED
WILLOWS REDEVELOPMENT
City of Indianapolis, Marion County, Indiana**

EXECUTIVE SUMMARY

General Overview of the Development

- Development to occur on the eastern side of Westfield Boulevard, on the site of the existing Willows Event Center, in the City of Indianapolis, Marion County, Indiana.
- Development to consist of the razing of the existing Willows Event Center and the construction of the following:
 - 243 apartment units; and
 - 16 residential townhouse units.
- Access to the development is proposed via two (2) site driveways;
 - the reconstruction of the existing driveway to Westfield Boulevard serving the existing Willows Event Center, the centerline of which is located approximately 315 feet north of the centerline of Westfield Road; and
 - the construction of a new site driveway to Westfield Road, the centerline of which will be located approximately 180 feet east of the centerline of Westfield Boulevard. This driveway will provided access to the proposed 16 residential townhouse units and will be controlled by a card reader to provide access to the driveway.

Study Intersections

- Westfield Boulevard with 75th Street (existing signalized);
- Westfield Boulevard with the Willows Event Center driveway/site driveway (existing unsignalized/proposed);
- Westfield Boulevard with Westfield Road (existing unsignalized);
- Westfield Boulevard with 64th Street (existing unsignalized); and
- Winthrop Avenue with Broad Ripple Avenue (existing signalized).

Trip Generation and Distribution

- Trip generation of the proposed development was determined using rates and equations contained in the Institute of Transportation Engineers (ITE) publication *Trip Generation*, Tenth Edition, 2017:
 - Land Use Code 221, *Multifamily Housing (Mid-Rise)*, was used to determine the trip generation of the proposed 243 apartment units; and

- Land Use Code 220, *Multifamily Housing (Low-Rise)*, was used to determine the trip generation of the proposed 16 townhouse units.
- Estimated Trip Generation of the proposed development:
 - A.M. Peak Hour: 23 Entering/67 Exiting/90 Total
 - P.M. Peak Hour: 71 Entering/45 Exiting/116 Total
- Primary trip distribution based on an average of the existing peak hour traffic distributions in the following locations
 - Westfield Boulevard – north of 75th Street;
 - 75th Street – west of Westfield Boulevard;
 - 64th Street – west of Westfield Boulevard;
 - Winthrop Avenue – south of Broad Ripple Avenue;
 - Broad Ripple Avenue – east of Winthrop Avenue; and
 - Broad Ripple Avenue – west of Winthrop Avenue.
- Primary trip distribution also compared to the distribution of traffic into and out from Westfield Road at its intersection with Westfield Boulevard.

Capacity Calculations

- No decreases in overall intersection Level of Service are anticipated at any of the existing study intersections following the redevelopment of the existing Willows Event Center.
- The proposed site driveway intersection with Westfield Boulevard can be anticipated to operate at an overall intersection Level of Service A during both the weekday A.M. and weekday P.M. peak hours, with all movements into and out from the proposed site driveway anticipated to operate at a Level of Service C or better during each of the peak periods analyzed.
- The intersection of Westfield Boulevard with Westfield Road, which currently operates at an overall intersection Level of Service A during both the weekday A.M. and weekday P.M. peak hours, can be anticipated to continue operate at an overall intersection Level of Service A during both the weekday A.M. and weekday P.M. peak hours, with all movements into and out from Westfield Road anticipated to operate at a Level of Service B or better during each of the peak periods analyzed.

Traffic Signal Installation Warrants

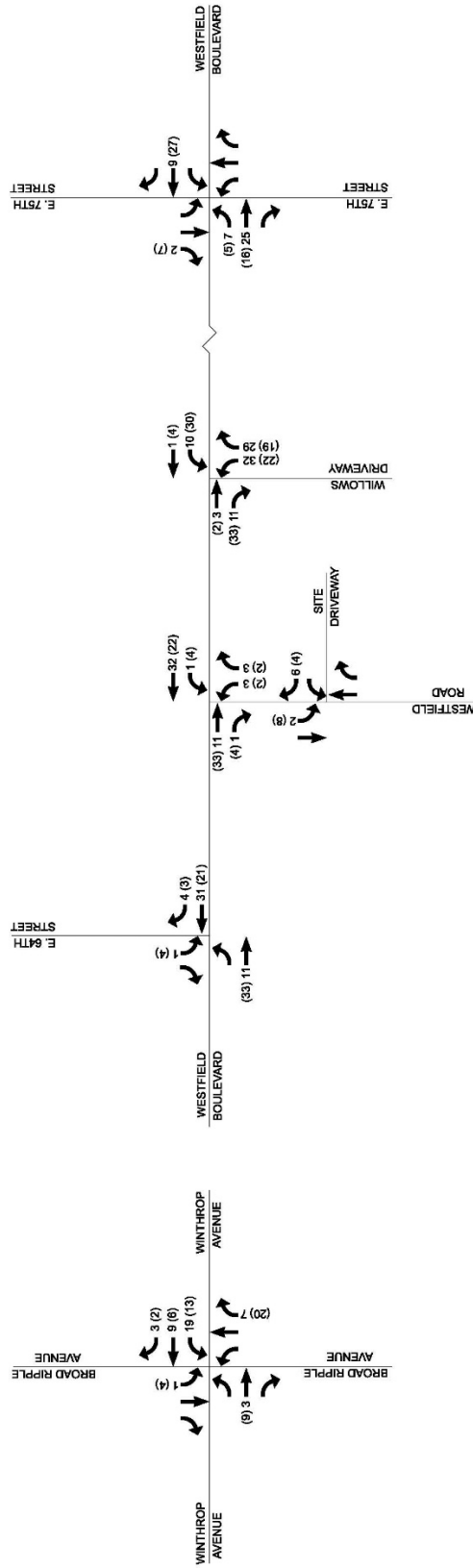
- Warrants for the installation of traffic signal control are not anticipated to be satisfied at the intersection of Westfield Boulevard with the proposed site driveway.
- Warrants for the installation of traffic signal control are not anticipated to be satisfied at the intersection of Westfield Boulevard with Westfield Road.

Auxiliary Turn Lane Installation Guidelines

- Guidelines for the construction of a northbound right turn lane on Westfield Boulevard at its intersection with the proposed site driveway are not anticipated to be satisfied.
- Guidelines for the construction of a northbound right turn lane on Westfield Boulevard at its intersection with Westfield Road are not anticipated to be satisfied.

Mitigation Measures to be Constructed Concurrent with Development

- Trim the existing vegetation within the right-of-way on the western side of Westfield Boulevard, south of the proposed Willows redevelopment driveway, in order to provide adequate sight distance looking left from the proposed site driveway.
- Construct the proposed site driveway to Westfield Boulevard to provide one (1) lane for ingress traffic and one (1) lane for egress traffic only. The site egress should be controlled by a Stop sign.
- Construct the proposed site driveway to Westfield Road to provide one (1) lane for ingress traffic and one (1) lane for egress traffic only. The site egress should be controlled by a Stop sign.



Civil & Environmental Consultants, Inc.
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J.C. HART - WILLOWS REDEVELOPMENT
TRAFFIC IMPACT STUDY
CITY OF INDIANAPOLIS
MARION COUNTY, INDIANA

FORECASTED TRIP ADDITIONS

DRAWN BY:	ANL	CHECKED BY:	JMD
DATE:	NOVEMBER 2021	DWG SCALE:	NOT TO SCALE
		PROJECT NUMBER:	314-872
		FIGURE NO.:	15

LEGEND
123 AM PEAK HOUR TRAFFIC VOLUMES
(123) PM PEAK HOUR TRAFFIC VOLUMES

P.A.

STATEMENT OF COMMITMENTS

2003-0212590
2003-20N-100

NOTE: Article VIII, Section 3(b) of the rules of the Metropolitan Development Commission requires use of this form in recording commitments made with respect to zoning and approval cases in accordance with I.C. 36-7-4-605. Resolution No. 85-R-69, 1985 and Article III, Section 4 of the rules of the Metropolitan Development Commission require the owner to make Commitment #1.

COMMITMENTS CONCERNING THE USE OR DEVELOPMENT OF REAL ESTATE MADE IN CONNECTION WITH A REZONING OF PROPERTY OR PLAN APPROVAL

In accordance with I.C. 36-7-4-605, the owner of the real estate located in Marion County, Indiana, which is described below, makes the following COMMITMENTS concerning the use and development of that parcel of real estate:

Legal Description:

ATTACHED HERETO

Statement of COMMITMENTS:

1. The owner agrees to abide by the Open Occupancy and Equal Employment Opportunity Commitments required by Metropolitan Development Commission Resolution No. 85-R-69, 1985, which commitments are attached hereto and incorporated by reference as Attachment "A".
2. **Density:** The proposed density shall include no more than 60 units on 30.98 acres, thus creating a maximum gross density of 1.94 units per acre.
3. **Structure Height:** The proposed structures shall not exceed forty-five (45) feet above the existing grade of the Boardman Levee.
4. **Landscape and Tree Preservation:** A landscape plan and tree preservation plan has been approved by the Department of Metropolitan Development and is on file for reference. The landscape materials and plantings shall be maintained at all times thereafter.
5. **Access:** The proposed development shall gain access from the north entrance of the site and shall not utilize the Oxbow entrance as a primary means of ingress and egress.
6. **Drainage:** Drainage plans have been approved by the Department of Capital Asset Management (DCAM) and is on file for reference.
7. **Architectural Design:** The final architectural design and structural plans have been filed with the Department of Metropolitan Development and is on file for reference.

8. **Environmental:** The landscape design and planting materials around the lake, structures and common areas shall be designed and selected in a manner to compliment the existing vegetation and tree species along the White River and surrounding wooded areas. Natural wooded areas along the White River shall be limited to passive recreational use only.
9. **Development Standards:** The minimum livable floor area shall be 2,300 square feet; Perimeter yards shall be a minimum of 85 feet to the nearest northern property line (adjacent to Jaffe property); 90 feet to river's edge, except for 45 feet for the clubhouse building; 10 feet to the west (lake's east waterline); and, 285 feet to the southern property line. There shall be a minimum of 50 feet between buildings. Buildings shall be no higher than forty-five (45') feet above the existing level of the levee.
10. **Lake:** There shall be no motorized boats allowed on the lake, except for electric trolling motors.
11. **Dedication of Right-Of-Way:** A 60 foot half-right-of-way shall be dedicated along Westfield Boulevard, as per the request of the Department of Capital Asset Management, Transportation Section, (DCAM). Additional easements shall not be dedicated to third parties within the area to be dedicated as public right-of-way, prior to acceptance of all grants of right-of-way by the DCAM. The DCAM has request that the right-of-way be dedicated within 60 days of approval.
12. The developer shall participate in the dedication of reasonable rights-of-way to the DCAM for the improvement of the entrance to the Oxbow Estates subdivision. The developer shall participate any meeting that required the taking of the developer's property for said improvements, prior to agreeing to the actual dedication.
13. **INTENTIONALLY OMITTED**
14. **INTENTIONALLY OMITTED**
15. No condominiums will be constructed north of the access road and east of the property currently known as 6813 Westfield Boulevard (Jaffe property).
16. None of the trees south of the Jaffe property and north of the lake will be removed unless required by a public safety agency.
17. **INTENTIONALLY OMITTED**
18. A maximum of one (1) foot candle of light will be generated from exterior lighting to extend beyond the subject real estate. No floodlights, spotlights, pole lights or lights that will adversely affect navigation of watercraft on the river will be permitted. Both lights shall be no taller than three (3) feet, except for entrance along Spirit Lake Drive.

These COMMITMENTS shall be binding on the owner, subsequent owners of the real estate and

other persons acquiring an interest therein; provided that Commitment #1 (Open Occupancy and Equal Opportunity Commitments) shall not be binding on an owner, subsequent owners or other persons acquiring an interest therein if such persons are exempt persons or are engaged in an exempt activity as defined on Attachment "A", which is attached hereto and incorporated herein by reference. These COMMITMENTS may be modified or terminated by a decision of the Metropolitan Development Commission made at a public hearing after proper notice has been given.

COMMITMENTS contained in this instrument shall be effective upon the adoption of rezoning petition #2000-ZON-001, 2000-CP-001, 2003-ZON-100, and 2003-DP-014 by the City-County Council changing the zoning classification of the real estate from a D-A zoning classification to a D-P zoning classification and shall continue in effect for as long as the above described parcel of real estate remains zoned to the D-P zoning classification or until such other time as may be specified herein.

These COMMITMENTS may be enforced jointly or severally by:

1. The Metropolitan Development Commission;
2. Owners of all parcels of ground adjoining the real estate to a depth of two (2) ownerships, but not exceeding six-hundred-sixty (660) feet from the perimeter of the real estate, and all owners of real estate within the area included in the petition who were not petitioners for the rezoning or approval. Owners of real estate entirely located outside Marion County are not included, however. The identity of owners shall be determined from the records at the office of the various Township Assessors of Marion County which list the current owners of record. (This paragraph defines the category of persons entitled to receive personal notice of the rezoning or approval under the rules in force at the time the commitment was made);
3. Any person who is aggrieved by a violation of either of the Commitments contained in Commitment #1 (Open Occupancy and Equal Employment Opportunity Commitments);
4. Nora Northside Community Council; and
5. Ox Box Homeowner's Association.

The undersigned hereby authorizes the Neighborhood and Development Services Division of the Department of Metropolitan Development to record this Commitment in the office of the Recorder of Marion County, Indiana, upon final approval of petition #2000-ZON-001, 2000-DP-001, 2003-ZON-100, and 2003-DP-014.

IN WITNESS WHEREOF, owner has executed this instrument this 17th day of August, 2003.
SPIRIT LAKE, LLC

BY: Signature [Handwritten Signature] (Seal)

Signature _____ (Seal)

Printed: T. Paul J. Foy

Printed _____

ATTACHMENT "A"

OPEN OCCUPANCY AND EQUAL EMPLOYMENT OPPORTUNITY COMMITMENT

- (a.) **The owner commits that he shall not discriminate against any person on the basis of race, color, religion, ancestry, national origin, handicap or sex in the sale, rental, lease or sublease, including negotiations for the sale, rental, lease or sublease, of the real estate or any portion thereof, including, but not limited to:**
- (1.) **any building, structure, apartment, single room or suite of rooms or other portion of a building, occupied as or designed or intended for occupancy as living quarters by one or more families or a single individual;**
 - (2.) **any building, structure, or portion thereof, or any improved or unimproved land utilized or designed or intended for utilization, for business, commercial, industrial or agricultural purposes;**
 - (3.) **any vacant or unimproved land offered for sale or lease for any purpose whatsoever.**
- (b.) **The owner commits that in the development, sale, rental or other disposition of the real estate or any portion thereof, neither he nor any person engaged by him to develop, sell, rent or otherwise dispose of the real estate, or portion thereof shall discriminate against any employee or applicant for employment, employed or to be employed in the development, sale rental or other disposition of real estate, or portion thereof with respect to hire, tenure, conditions or privileges of employment because of race, color, religion, ancestry, national origin, handicap or sex.**

EXEMPT PERSONS AND EXEMPT ACTIVITIES

An exempt person shall mean the following:

1. **With respect to commitments (a) and (b) above:**
 - (a) **any not-for-profit corporation or association organized exclusively for fraternal or religious purposes;**
 - (b) **any school, educational, charitable or religious institution owned or conducted by, or affiliated with, a church or religious institution;**
 - (c) **any exclusively social club, corporation or association that is not organized for profit and is not in fact open to the general public;**

provided that no such entity shall be exempt with respect to a

housing facility owned and operated by it if such a housing facility is open to the general public;

- 2. With respect to commitment b, a person who employs fewer than six (6) employees within Marion County.

An exempt activity with respect only to commitment (a) shall mean the renting of rooms in a boarding house or rooming house or single-family residential unit; provided, however, the owner of the building unit actually maintains and occupies a unit or room in the building as his residence, and, at the time of the rental the owner intends to continue to so occupy the unit or room therein for an indefinite period subsequent to the rental.

STATE OF)
)SS: ACKNOWLEDGMENT
COUNTY OF)

Before me, a Notary Public in and for said County and State, personally appeared _____ who acknowledged the execution of the foregoing, and who, having been duly sworn, stated that any representations therein contained are true.

Witness my hand and Notarial Seal this 14 day of Aug., 2003

My Commission Expires: 11/15/07

Signature: [Handwritten Signature]
Printed: [Handwritten Name]
Resident of IN County, Marion

A6

EXCER 1.8m

Looking North-East From
Westfield Blvd

Elements
Broad Ripple Apartments
on the Water
Indianapolis, Indiana

JC HART

STUDIO M
ARCHITECTURE & PLANNING



A7

Aug 1, 2023

Enlarged View of the
Leasing Office

Elements
Broad Ripple Apartments
on the Water
Indianapolis, Indiana

JC HART

STUDIO M
ARCHITECTURE & PLANNING



AS

Aug 1, 2023

Model Views

Elements
on the Water
Broad Ripple Apartments
Indianapolis, Indiana

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Top: Aerial Looking South West.
 Bot Right: Elevation Detail Bldg 1
 Bot Left: Fiber Cement Detail from American
 Fiber Cement Co.



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Model Views



Above: Looking South-East at Bldg 1
Right: Materials Detail Bldg 1



Elements
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Sheet 1 of 2
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Model Views

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Top: Looking North-East along Westfield Blvd
 Bot Left: Looking East at Leasing Office
 Bot Right: Planted Screen Wall in Parking Lot

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Top: Schematic Pool Area
Bot: View from Covered Shelter



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Top: Looking West over the Lake
Bottom: View of the Clubhouse from the Lake

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Townhome Model Views

Elements
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Top: Looking South at 3 and 4 Story Townhomes from the Lake
Bot Left: 4 Story Townhome, Garage Side
Bot Right: 3 Story Townhome, Garage Side



View looking south along Westfield Boulevard



View looking north along Westfield Boulevard



View of site looking south



View of site looking east



View of site looking northeast



View of site looking north



View from site looking west across Westfield Boulevard