



CITY COUNCIL MEETING

Thursday, February 02, 2023 at 6:30 PM
Council Chambers, 60 West Main, Hyrum, Utah

AGENDA

Public notice is hereby given of a Hyrum City Council Meeting to be held in the Council Chambers, 60 West Main, Hyrum, Utah at 6:30 PM, February 02, 2023. The proposed agenda is as follows:

1. **ROLL CALL**
2. **CALL TO ORDER**
3. **WELCOME**
4. **PLEDGE OF ALLEGIANCE**
5. **INVOCATION**
6. **APPROVAL OF MINUTES**
7. **AGENDA ADOPTION**
8. **PUBLIC COMMENT**
9. **PUBLIC HEARING**
 - A. [To receive public comment pertaining to the revision of Hyrum City's General Plan.](#)
10. **SCHEDULED DELEGATIONS**
 - A. [Austin Freeman - To request a Home Occupation Business License for Personal Strength Training and Nutrition Coaching at 1050 West 370 North.](#)
 - B. **Maria Olague** - To request rental of the Elite Hall in December for a reduced rate.
 - C. [Martin Felix, Hyrum City's IPA Representative - To present an update on Intermountain Power Agency \(IPA\).](#)
 - D. **Tony Stauffer, Hyrum Fire Chief** - To discuss future needs for Hyrum Fire Department.
 - E. **Cache County Sheriff Chad Jensen** - To present the Cache County's Sheriff report for 2022 and to discuss the 2023-2024 Law Enforcement Contract.
 - F. [Jared Hymas, Honey Badger Properties - To request Site Plan approval for a building and storage facility located at 1620 Anvil Road.](#)
 - G. [Roy Savage, Savage Subdivision - To request Final Plat approval for Savage Subdivision located at approximately 900 West 85 South for a 13 lot single family subdivision on 34 acres.](#)

11. INTRODUCTION AND APPROVAL OF RESOLUTIONS AND ORDINANCES

- A. [Resolution 23-02 - A resolution approving the continuation of the Participant's Entitlement Share under the Carbon Free Power Project Power Sales Contract for Phase 1B of the licensing period for the Carbon Free Power Project; and related matters.](#)
- B. [Resolution 23-03 - A resolution amending Chapter 7 Housing of the Hyrum City General Plan.](#)

12. OTHER BUSINESS

- A. [Consideration and approval of a contract amendment with JUB Engineering for GIS & Grant Services.](#)
- B. [Budget Report.](#)
- C. Closed Session - To discuss the purchase, exchange, sale, or lease of real property.
- D. Consideration and approval of purchase of real property.
- E. Mayor and City Council Reports.

13. ADJOURNMENT

Stephanie Fricke
City Recorder

Council Members may participate in the meeting via telephonic communication. If a Council Member does participate via telephonic communication, the Council Member will be on speakerphone. The speakerphone will be amplified so that the other Council Members and all other persons present in the Council Chambers will be able to hear all discussions. In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify Hyrum City at 435-245-6033 at least three working days before the meeting.

CERTIFICATE OF POSTING - The undersigned, duly appointed and acting City Recorder of Hyrum City, Utah, does hereby certify that a copy of the foregoing Notice was emailed to The Herald Journal, Logan, Utah, posted on the Utah Public Notice Website and Hyrum City's Website, provided to each member of the governing body, and posted at the City Offices, 60 West Main, Hyrum, Utah, this **23rd day of January, 2023**. Stephanie Fricke, MMC, City Recorder.

HYRUM CITY
GENERAL PLAN UPDATE
CITY COUNCIL MEETING
JANUARY 12, 2023

Summary: The Hyrum City General Plan requires an update to the Moderate Income Housing strategies and implementation plan. This update is to bring this portion of the plan into conformance with changes to state code. Updating the Plan will allow the City to keep its eligibility to receive certain state funding opportunities.

ZONING: All allowing residential units

NOTES: Recommendations to the Hyrum City Council for the Moderate Income Housing Plan portion of the Hyrum City General Plan.

Staff discussions with the State review team have determined that the strategies are acceptable as long as they meet the wording as stated in state code. The items that need updating are the portions of the implementation plan. The implementation plan needs to include benchmarks for the implementation of the strategies used by the City to provide for moderate income housing.

Moderate housing is defined to be affordable housing for those making 80% of the median income. To be affordable all housing costs are to be no more than 30% of the moderate income amount. These costs as defined by Census.gov are:

Selected monthly owner costs are the sum of payments for mortgages, deeds of trust, contracts to purchase, or similar debts on the property (including payments for the first mortgage, second mortgages, home equity loans, and other junior mortgages); real estate taxes; fire, hazard, and flood insurance on the property; utilities (electricity, gas, and water and sewer); and fuels (oil, coal, kerosene, wood, etc.). It also includes, where appropriate, the monthly condominium fee for condominiums and mobile home costs (personal property taxes, site rent, registration fees, and license fees).

The Planning Commission makes the following recommendations for the update of the General Plan to meet the requirements set in Utah State Code.

- Update the strategies of the moderate income housing portion of Chapter 7 to reflect the wording as provided in the Utah State Code for strategies A through E of Goal 2.
- For strategies A through D, evaluate the current zoning for applicability and effectiveness in providing opportunities for moderate income housing. A workshop is recommended to evaluate the code and discuss possible changes to allow a greater variety of development opportunities. This could include work with a consultant, a selection of citizens to participate in the committee, and involvement with the Countywide Planner.
 - Set implementation benchmarks to provide a timeline for the workshop and adoption of any appropriate changes to zoning. The workshopping should be completed in six months and approved changes should be made within one year.
- For strategy E, evaluate single room occupancy developments. Look at the zoning needs for this kind of development.
 - This benchmark for this evaluation is recommended to be within one year. Any changes would be made in the following year.

Hyrum City General Plan



CHAPTER 7: Housing



7.1. INTRODUCTION

This chapter focuses on the need for varied housing opportunities in Hyrum. In Hyrum the median housing value is estimated at \$256,900, per the 2020 Census. The housing market in Hyrum is currently comprised of approximately 75% single-family detached homes, 21% multiple-unit attached homes and 4% mobile homes. The median monthly mortgage is \$1091, and the median rent is \$832. Nearly 80% of the homes in Hyrum have been built since 1970.

Addressing housing issues, the City has identified objectives to 1) maintain the current housing density mix, 2) provide for mixed-use and mixed-density developments with a rural atmosphere, 3) encourage quality senior housing projects, 4) review the need for more moderate income housing options, and 5) promote infill housing development.



Key Points

- Introduction
- Housing Density Mix
- Maintaining the Rural Atmosphere
- Senior Housing
- Moderate Income Housing
- Housing Goals

Hyrum City General Plan



CHAPTER 7: Housing

Hyrum's housing mix is 75% single-family and 25% multiple-unit

7.2. HOUSING DENSITY MIX

Single-family homes currently comprise 75% of the housing in Hyrum. The remaining housing stock, represented in various types of attached, mobile or multi-family housing units, provides most of the affordable housing options in the community. It is the City's desire to preserve existing areas of low-density housing, while at the same time allowing for increased medium to high density housing needs, such as senior and other quality attached housing in mixed-density developments. While the importance of providing affordable housing has increased in recent years, the concept of providing a healthy balance of quality mid-level and higher-end housing is being recognized as an increasingly important goal.

7.3. PRESERVING RURAL HERITAGE

In an effort to meet the City's objective to preserve elements of the rural heritage of the community, it is imperative that plans for future housing developments meet guidelines and requirements to achieve that objective. Ordinances should be put into place which will provide new developments direction to preserve Hyrum's rural heritage. Various elements important to the overall atmosphere should be included in development design requirements, including trees, landscaping, benches, fencing, mailboxes, dark-sky lighting, trails, open spaces, and rural street design.



Single-family home developments throughout the city should be required to provide variety in size and quality in architectural design, steering away from cookie-cutter type developments. Open spaces, landscaping, and other elements promoting a rural atmosphere should be incorporated into all residential neighborhoods.

Hyrum City General Plan



CHAPTER 7: Housing

Low density, rural housing developments are appropriate in various outlying areas of the community which promote larger estate homes with architectural design guidelines, open spaces, and animal rights.

Planned residential developments with mixed-use and mixed densities should be encouraged in certain areas of the community (see Chapter 2) which apply development design requirements for well-planned mixed-use and mixed-density housing, including interspersed open spaces and parks, homes clustering, trails, rural street design elements, and other rural design elements.

Multiple-family unit projects, developed in designated areas, should be regulated with design requirements for architecture and landscaping, as well as other elements consistent with the community's rural heritage.

7.4. SENIOR CITIZEN HOUSING

Seniors are a growing faction of Hyrum's population and play an important role in the community. More quality senior housing developments need to be encouraged, which will integrate within the single-family low-density zones, as well as in a specified senior housing high density zone located near the Senior Center and become an asset to the community. Assisted living residential projects are encouraged in facilities constructed for that purpose.



7.5. MODERATE INCOME HOUSING

Standards for moderate income housing appear to have been met through the development of both single-family homes and multiple-

Hyrum City General Plan



CHAPTER 7: Housing

family units during recent years, as well as in other existing low-cost housing options in existing older homes and mobile homes.

The State of Utah defines moderate income housing as “housing occupied or reserved for occupancy by households with a gross household income equal to or less than 80% of the median gross income of the metropolitan statistical area (MSA) for households of the same size.” In other words, moderate income housing is a function of the particular circumstances and income levels of the community, rather than a type of housing.

A Moderate Income Housing Plan has been prepared and updated to meet the requirements of Utah State Code, Section 10-9a-403, as an effort to determine community needs for moderate income housing and to establish guidance for future decision making with housing issues in Hyrum (see Appendix 7A). Several important goals are listed which will help the community to maintain a healthy balance of moderate income housing.

It is recommended that the Moderate Income Housing Plan be reviewed and updated regularly.



Hyrum City General Plan



CHAPTER 7: Housing

Goals	Strategies	Actions	Timing	Agency
<p>1. Provide for an attractive mix of housing types and densities that maintain the community's rural atmosphere.</p>	<p>A. Provide areas for residential development with rural densities that ensure compatibility with open spaces and environmentally sensitive areas.</p>	<p>i. Plan and maintain rural density zones near and outside of the current city boundaries.</p>	<p>0-2 years</p>	<p>City Council, Planning Commission, Zoning Administrator</p>
	<p>B. Require single-family home developments to provide variety in size and quality in architectural design.</p>	<p>i. Adopt zoning requirements for homes in all residential zones that provide for architectural variety.</p>	<p>0-2 years</p>	<p>City Council, Planning Commission, Zoning Administrator</p>
	<p>C. Provide for low and rural density housing developments which promote larger estate homes</p>	<p>i. Establish rural estate homes architectural design guidelines, open space requirements and animal rights.</p>	<p>0-2 years</p>	<p>City Council, Planning Commission, Zoning Administrator</p>
	<p>D. Prepare zoning to allow for planned residential developments with mixed-use and mixed densities.</p>	<p>i. Adopt zoning requirements for mixed-used and density zones, including homes clustering and rural design elements.</p>	<p>0-2 years</p>	<p>City Council, Planning Commission, Zoning Administrator</p>
	<p>E. Provide for multiple-family unit projects with design requirements.</p>	<p>i. Adopt zoning requirements for multi-family unit projects that provide for architectural variety.</p>	<p>0-2 years</p>	<p>City Council, Planning Commission, Zoning Administrator</p>
<p>2. Provide a reasonable opportunity for moderate income housing.</p>	<p>A. Rezone for densities necessary to facilitate the production of moderate income housing. (A)</p>	<p>i. Current City Code has implemented moderate income housing opportunities through planned unit developments. ii. Evaluate the code to determine other opportunities to allow for additional development opportunities.</p>	<p>i. Completed ii. Evaluation to take place in 6 months, applicable changes to be made with 1 year.</p>	<p>Planning Commission, City Council, Zoning Administrator</p>

Hyrum City General Plan



CHAPTER 7: Housing

Goals	Strategies	Actions	Timing	Agency
	B. Create or allow for, and reduce regulations related to, internal or detached accessory dwelling units in residential zones. (E)	i. City Code has current provisions for ADU's. ii. Review current number of ADU's iii. Evaluate the code to determine the possibility to allow detached ADU's.	i. Completed ii. Annually iii. Evaluation to take place in 6 months, applicable changes to be made with 1 year.	City Council, Planning Commission, Zoning Administrator
	C. Zone or rezone for higher density or moderate income residential development in commercial or mixed-use zones near major transit investment corridors, commercial centers, or employment centers. (F)	i. City Code has provisions for higher density developments in commercial areas along transit corridors. ii. Evaluate the code to study the current requirements for planned unit developments in mixed use zones.	i. Completed ii. Evaluation to take place in 6 months, applicable changes to be made with 1 year.	Planning Commission, City Council, Zoning Administrator
	D. Amend land use regulations to allow for higher density or new moderate income residential development in commercial or mixed-use zones near major transit investment corridors. (G)	i. City Code has provisions for higher density developments in commercial areas along transit corridors. ii. Review development in commercial zones to monitor higher density development.	i. Completed ii. Evaluation to take place in 6 months, applicable changes to be made with 1 year.	Planning Commission, City Council, Zoning Administrator
	E. Amend land use regulations to allow for single room occupancy developments. (I)	i. City Code allows for single room occupancy in commercial zones. ii. Evaluate the availability and usage of single room developments.	i. Completed ii. Evaluation to take place in 12 months	

Hyrum City General Plan



CHAPTER 7: Housing

Goals	Strategies	Actions	Timing	Agency
3. Encourage the orderly development of housing for senior citizens in locations which blend well into the surrounding neighborhoods.	A. Encourage the development of senior housing projects which meet the needs of the community.	i. Provide for quality senior housing developments in a specialized high-density zone which compliments a low-density, rural environment.	0-2 year	Planning Commission, Zoning Administrator
		ii. Encourage the location of assisted living residential facilities throughout the community.	0-20 years	Planning Commission, Zoning Administrator

DRAFT



60 West Main Street
Hyrum, Utah 84319
435-245-6033
www.hyrumcity.com

HOME OCCUPATION BUSINESS LICENSE

Name: Austin Freeman

Date Submitted: 01/03/2023

Address: 1050 W 370 N Hyurm UT. 84319

Telephone Number: 5034359645

Name of Business: Legacy Fitness

1. What is the proposed home occupation? Personal Training Strength & Nutriton Coaching

2. How many clients will be coming to the home at any one time during a daily interval?
5

3. What provisions are available for off street parking? The clients park in my drive way

4. What type of equipment, materials, machinery, tools, and merchandise stock are involved in the home occupation? Weightlifting equipment

5. What type of modifications to the residential structure are anticipated because of the home occupation? None

ALL HOME OCCUPATIONS MUST COMPLY WITH THE FOLLOWING REQUIREMENTS OF ZONING ORDINANCE 17.04.470 (please initial)

yes A. "Home occupation" means an occupation performed wholly within a residence or the yard and accessory buildings being a part of such residence. Home occupations shall not change the character of the residence or the residential neighborhood. A business license is required for some home occupations. They shall be issued for a one-year period and are renewable. The City Council may review a license in reaction to neighbor's complaints and may revoke it if evidence warrants this action.

yes B. Two levels of home occupations exist. Both are required to maintain all of the standards of a home occupation business license.

- yes C. Level one applicants are in occupation categories that the City Council has determined have virtually no negative impact on residential neighborhoods. Level one applicants do not require a license. Occasional businesses operated by a minor are not required to obtain a business license.
- yes D. All applicants whose home occupations receive commercial delivery service, has signage advertising the business, performs services in view or hearing of the public, or has customers coming to the residence, are considered level two home occupations and require a license. They also may be required to meet with the City Council and explain how their home occupation is in conformance with the home occupation standards. The City Council may attach limitations or conditions to their licenses.
- yes E. Home occupation standards:
 - yes 1. The exterior of the home will not be modified in any way to accommodate the home occupation (i.e. loading ramps, loading doors, etc).
 - yes 2. The occupation will be conducted entirely within the house, yard, and existing outbuildings.
 - yes 3. The home occupation license covers only residents of the home.
 - yes 4. No outside storage of goods or materials is permitted.
 - yes 5. Pedestrian and vehicular traffic will not be in excess of that normally associated with a residential neighborhood.
 - yes 6. One sign will be permitted on the property. It must meet the requirements of 17.72.010 "Name Plate".
 - yes 7. The home occupation must be operated in full conformity with fire, health, building, electrical, plumbing codes, and all State and City laws and ordinances.
 - yes 8. No noise, odor, light, vibrations or dust in excess of that normally associated with a residential neighborhood shall pass beyond the premises.
 - yes 9. Business shall be conducted only between the hours of 7:00 a.m. and 9:00 p.m.
 - yes 10. State licenses will be required for "Professional Child Care".
- yes F. The City Council may, at their discretion, waive certain of the above standards for the elderly or handicapped.

In order to guarantee that the Home Occupation, once authorized, will not become a nuisance to the neighbors, the City Council may impose other reasonable conditions initially and also subsequently to protect the public health, safety, peace, and welfare of the residents of the surrounding area.

Applicant's Affidavit: I (we), Austin Freeman, affirm that I (we) am (are) the owner(s) or authorized agent(s) of the owner of property involved in the attached application and that the statements and answers therein contained and the information provided in the attached plans and other exhibits are complete, to the best of my (our) knowledge and, that the statements and information above referred to are in all respects true and correct to the best of my (our) knowledge and belief.

Property Owner(s) Signature: Austin Freeman

Applicants Signature: Austin Freeman



Intermountain Power Agency

- Organized in 1977 by 23 Utah Municipalities
- Governed by 7-member Board of Directors
- Owns the Intermountain Power Project (IPP)

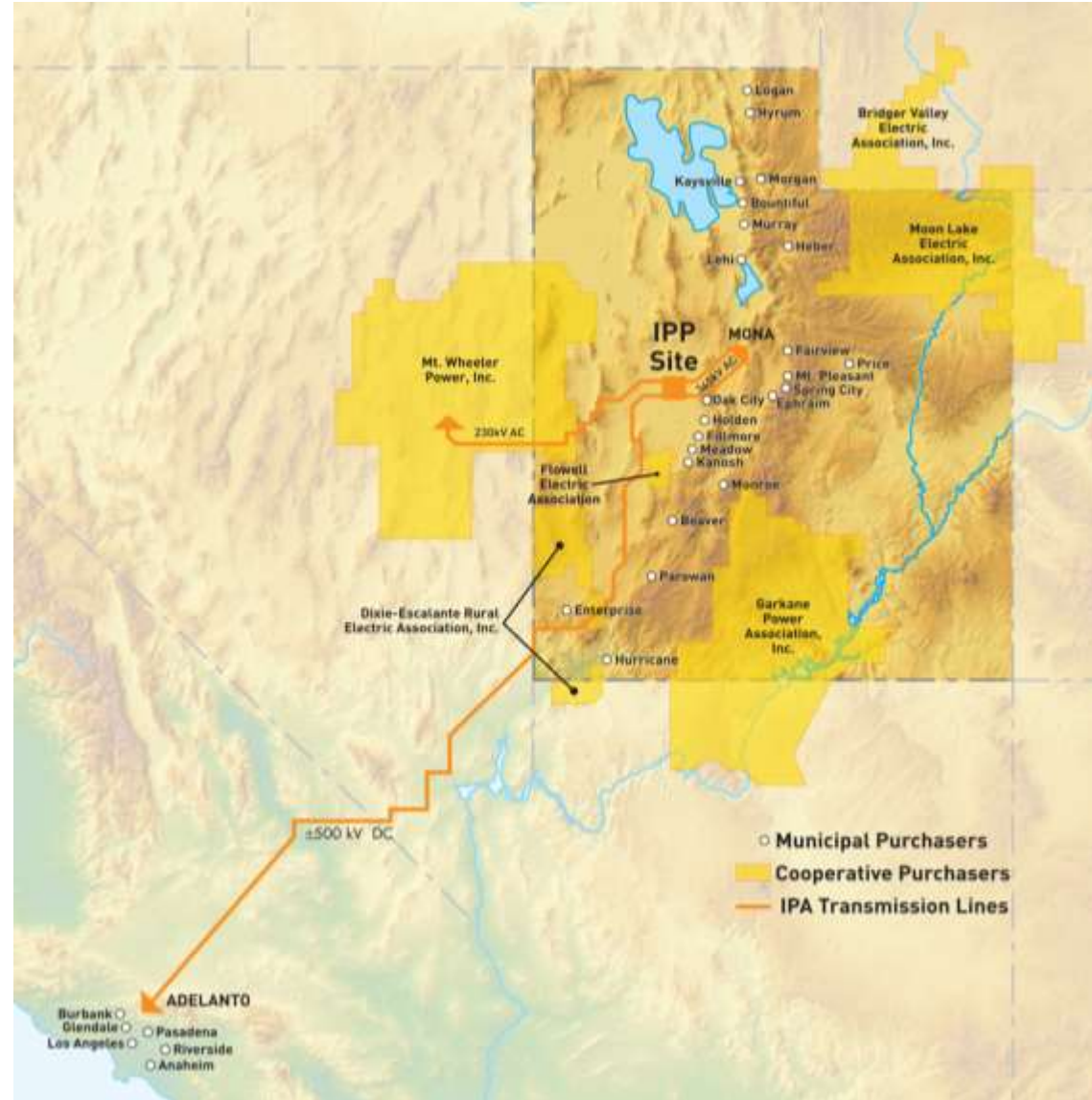
Intermountain Power Project

- **Electrical generating and transmission properties and facilities**
 - Generating capacity to serve 1.5 million households
 - Two transmission systems
 - Commenced commercial operations in 1986



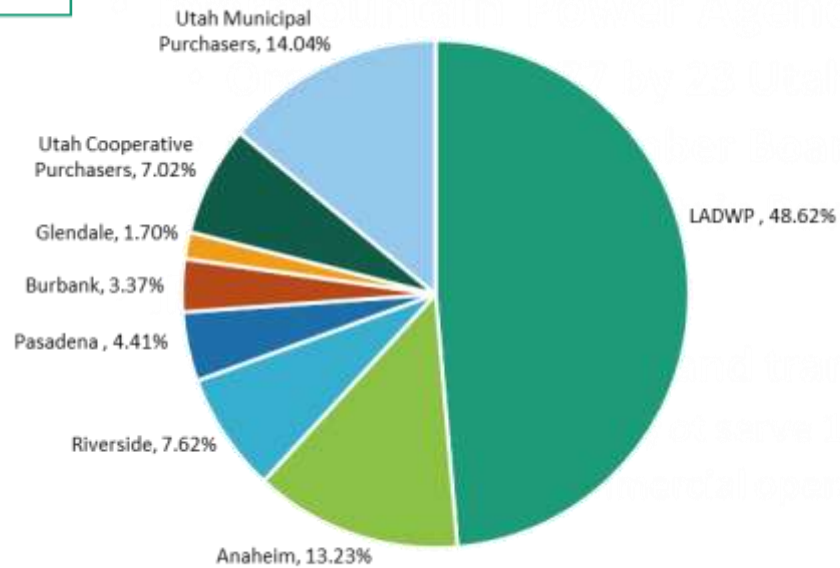
Project Participants

- Capacity Contracts to 2027
- Utah Purchasers
 - 23 IPA Members
 - 6 REA's
- 6 California Purchasers



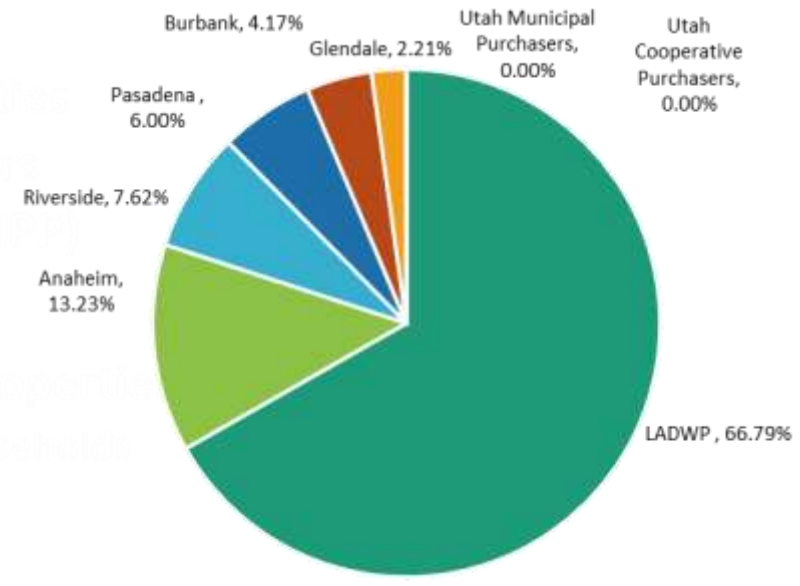
Project Participants and Entitlement Shares

Utah Purchasers
21.06%



Percentages of Capability of Generation 100% Utah Layoff to California

Utah Purchasers
0.00%



California Purchasers
100.00%

IPA Member City Power Call-back Benefits

- Summer 2022 proved the value...
- Utah member city power call-backs from IPP resulted in more than \$6 million in savings

Description	MWh	Dollars	Avg Rate
IPP	121,707	\$7,165,098	58.9
Equivalent at Pool Price	"	\$13,299,562	109.3

Project Economic Benefits

- Average annual direct employment of 400 highly skilled and compensated workforce for over 35 years
- Most recent annual payroll of over \$45 million
- From inception:
 - \$6 billion paid to Utah coal suppliers
 - \$1.5 billion paid for transportation services
 - \$250 million in royalties paid to Utah public entities
- Annual indirect Utah economic multiplier effect
 - \$866 million in economic activity to the State
 - \$222 million in household earnings

Project Tax Benefits

- Agreement to pay taxes uncharacteristic of an Interlocal entity
- From inception:
 - Fee in lieu of ad valorem tax (property tax) >\$500 million
 - Gross receipts tax (State income tax) ≈ \$154 million
 - Sales and use tax ≈ \$64 million
 - Total taxes ≈ \$720 million
 - \$45 million paid to address construction impacts on communities and school districts
- No tax or other economic incentives offered by or received from the State of Utah

Loss of Existing Customers

- California Senate Bill 1368
 - Limits electrical generating sources both within and imported to California to an Emissions Greenhouse Standard for CO₂e of 1,100 pounds per megawatt hour
 - IPP coal generation produces approximately 2,000 pounds per megawatt hour
 - Power Sales Contracts grandfathered in until expiration in 2027
 - California Purchasers could not renew power sales contracts beyond 2027 for coal fueled energy

Weak Market for Coal-fueled Electricity

- Purchasers for IPP coal-fueled electricity beyond 2027 could not be found
 - Other regional utilities unwilling or unable to invest in additional coal energy
 - Magnitude IPP capacity (sufficient to power 1.5 million households)
 - Transmission constraints
 - Increasing Renewable Portfolio Standards and weak regional load growth
 - Persistently low natural gas prices and declining cost for renewable energy

Regulatory Obstacles to Continuing Coal

- EPA efforts to require significant additional investments in environmental controls at IPP
- EPA regulations for Coal Combustion Residuals
- Continuing federal regulatory efforts to limit greenhouse gases emissions

A Tale of Two Plants

Coal-fueled power plants of similar age, size, rural location, and customer composition.

Intermountain Power Project

- Opportunity to leverage existing infrastructure to provide energy sources desired by customers and continue project benefits to state.



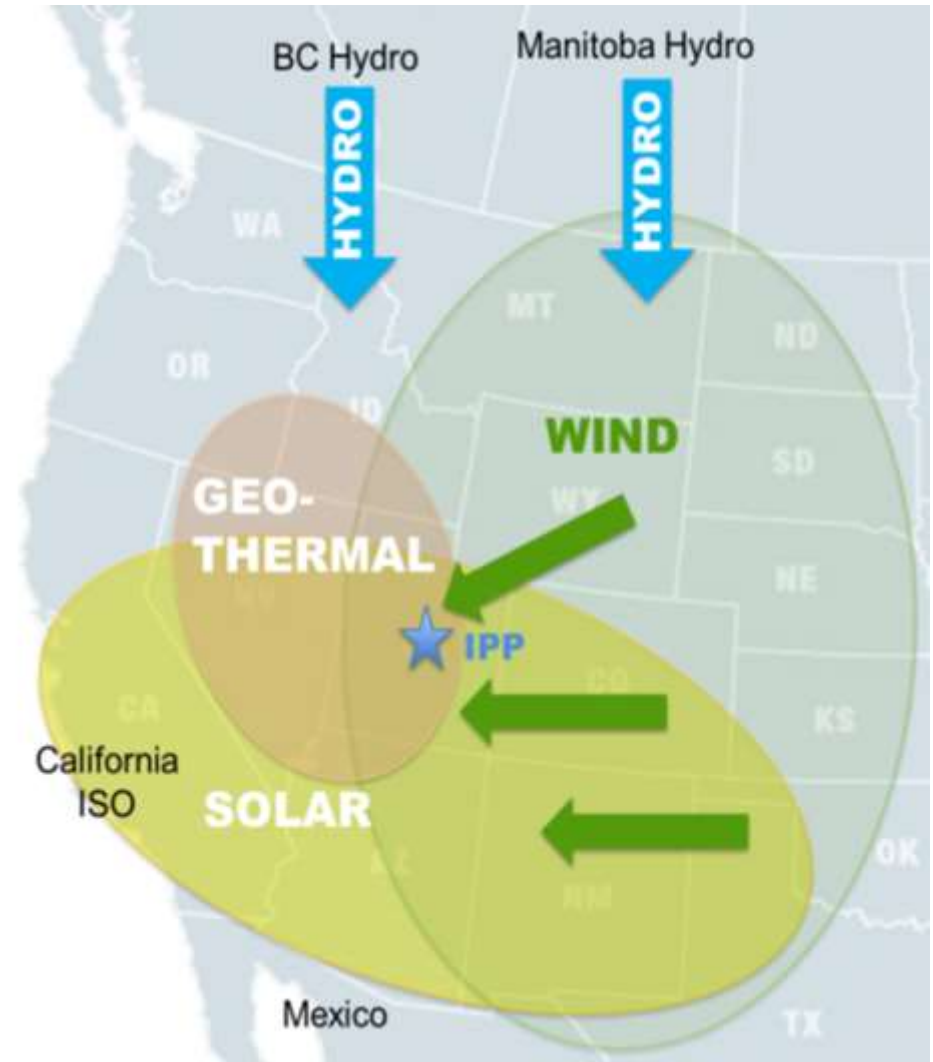
Navajo Generating Station

- Already demolished. Employees offered transfer to Phoenix.



Unlocking IPP's Potential

- Proximity to regional renewables
- Existing transmission systems
- Over 4,000 acres of land
- Unique underground salt formation ideal for energy storage
- Highly skilled workforce at IPP
- History of successful regional energy cooperation



Extending IPP's Life with IPP Renewed

- Decision to shutter coal-fuel generation in 2025 announced in May 2017
- Successful approval of amendment to Power Sales Contracts for reconfiguring the Project to natural gas combined cycle units in replacement of coal-fueled generation
- Execution of Renewal Power Sales Contracts terminating in 2077
- New contracts retain favorable excess power sales terms for Utah participants
- New contracts allow coal unit dismantling costs to be recovered through future power billings

IPP Renewed

- Over \$2 billion investment for construction of new natural gas-fueled electricity generating units and upgrades to transmission facilities
- Facilitate development of hydrogen production and long-term storage capabilities attracting further development

Energy Hub at IPP

- Milford Wind
 - Additional renewables development likely
- Advanced Clean Energy Storage (ACES) project for hydrogen production and seasonal storage
 - Additional \$2 billion+ investment
 - Already attracted DOE loan guarantee support



Hydrogen Use Attracting International Attention

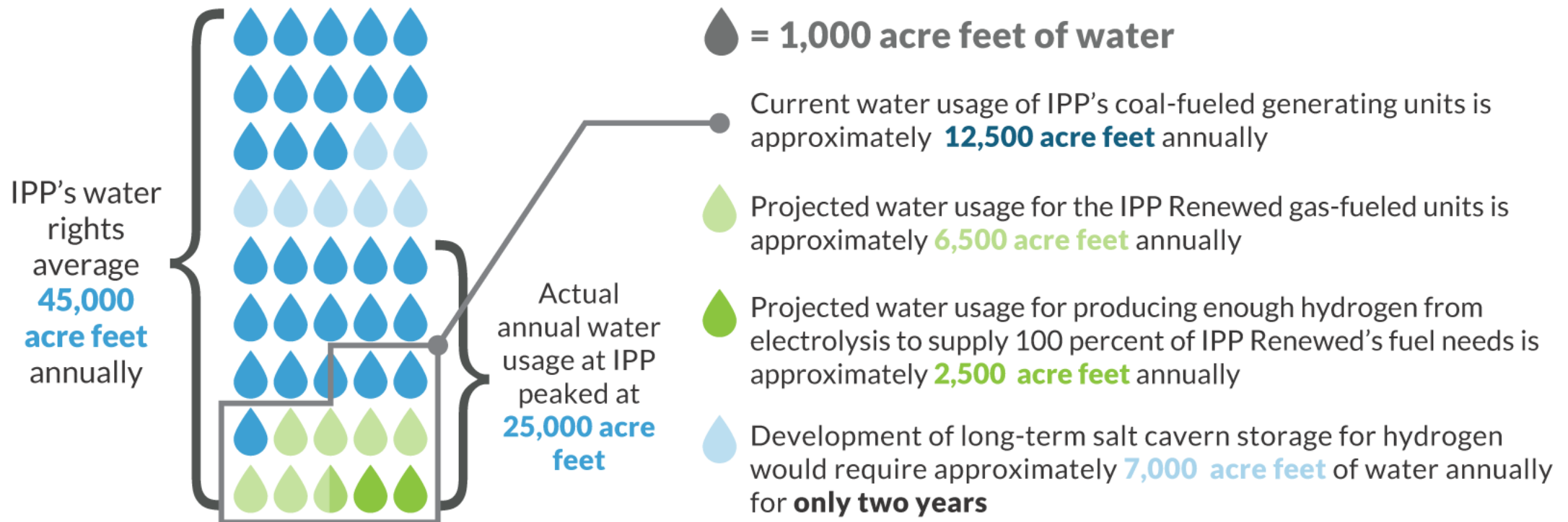
- IPP Renewed generating units will operate on 70% natural gas / 30% green hydrogen at start up in 2025; transitioning to 100% green hydrogen by 2045
- Contracts in place with ACES for green hydrogen production and storage
- **Initial financing completed and construction has commenced on both IPP Renewed and ACES components of the project!**

Hydrogen by the Colors

- **Grey hydrogen** – Most common production method today using steam methane reforming of natural gas
 - Water demand 16.3 liters per 1 kg. hydrogen
- **Blue hydrogen** – Production from fossil fuels with carbon capture and storage added
 - Water demand additional for carbon capture processes
- **Green hydrogen** – Production using electrolysis powered by renewable energy to split water molecules
 - Water demand 9.1 liters per 1 kg. hydrogen

Reducing consumption of one of Utah's most precious resources

In 1979, prior to construction of the Intermountain Power Project, the Project acquired water rights averaging 45,000 acre feet annually at a cost significantly above its agricultural value. Because IPP eventually constructed only two of the originally anticipated four coal-fueled generating units, the project has never consumed all of its water directly. Instead, IPP has acted as a diligent steward of the resource by leasing excess water to local farmers and beneficially using it in every year of the Project's history.



Construction is Under Way!

- Site preparation complete
- Underground installations under way
- Salt cavern construction under way



Conclusions

- IPP Renewed leverages existing infrastructure to provide energy products desired by the Intermountain Power Project's customers
- No state tax support or economic development incentives
- Continues positive economic contributions to state and local entities
- **Continues favorable entitlement "layoff" structure for Utah municipalities**
- **Provides for coal unit dismantling costs to be covered in future power billings**
- Significant reductions in carbon emissions and solid waste
- **Significant reductions in water use**
- Provides an "anchor tenant" supporting additional energy development



HONEY BADGER PROPERTIES
SITE PLAN
1620 ANVIL ROAD
CITY COUNCIL MEETING
FEBRUARY 2, 2022

Summary: Jared Hymas of Honey Badger Properties is seeking site plan approval for a building and storage facility. This property will be developed for a landscaping business.

Tax ID: 01-144-0021, 01-144-0022

ZONING: M-2 Industrial

UTILITIES:

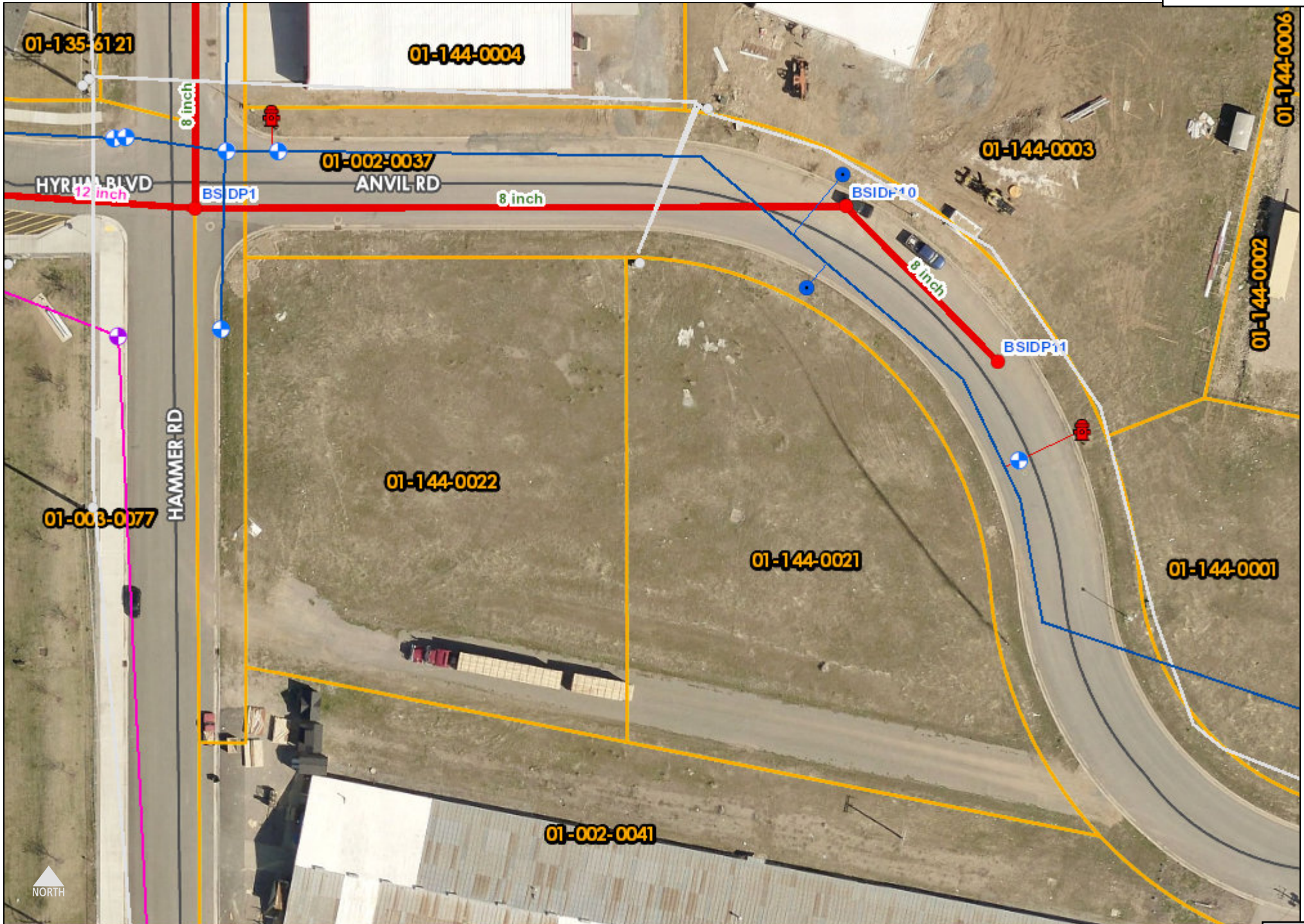
Power: Subject to transformer availability
Culinary: Available
Sewer: Available
Irrigation: Not Available

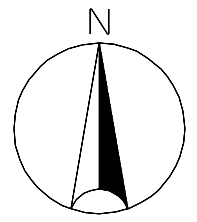
PARKING & ROADS: Paved roads are existing.

NOTES: The 60-foot by 80-foot building will contain an office and storage for equipment and materials. Vehicles and larger equipment will be stored in the fenced yard.

Planning Commission recommended approval without condition.

Electrical component delays for equipment not already ordered are estimated to be up to 2.5 years.

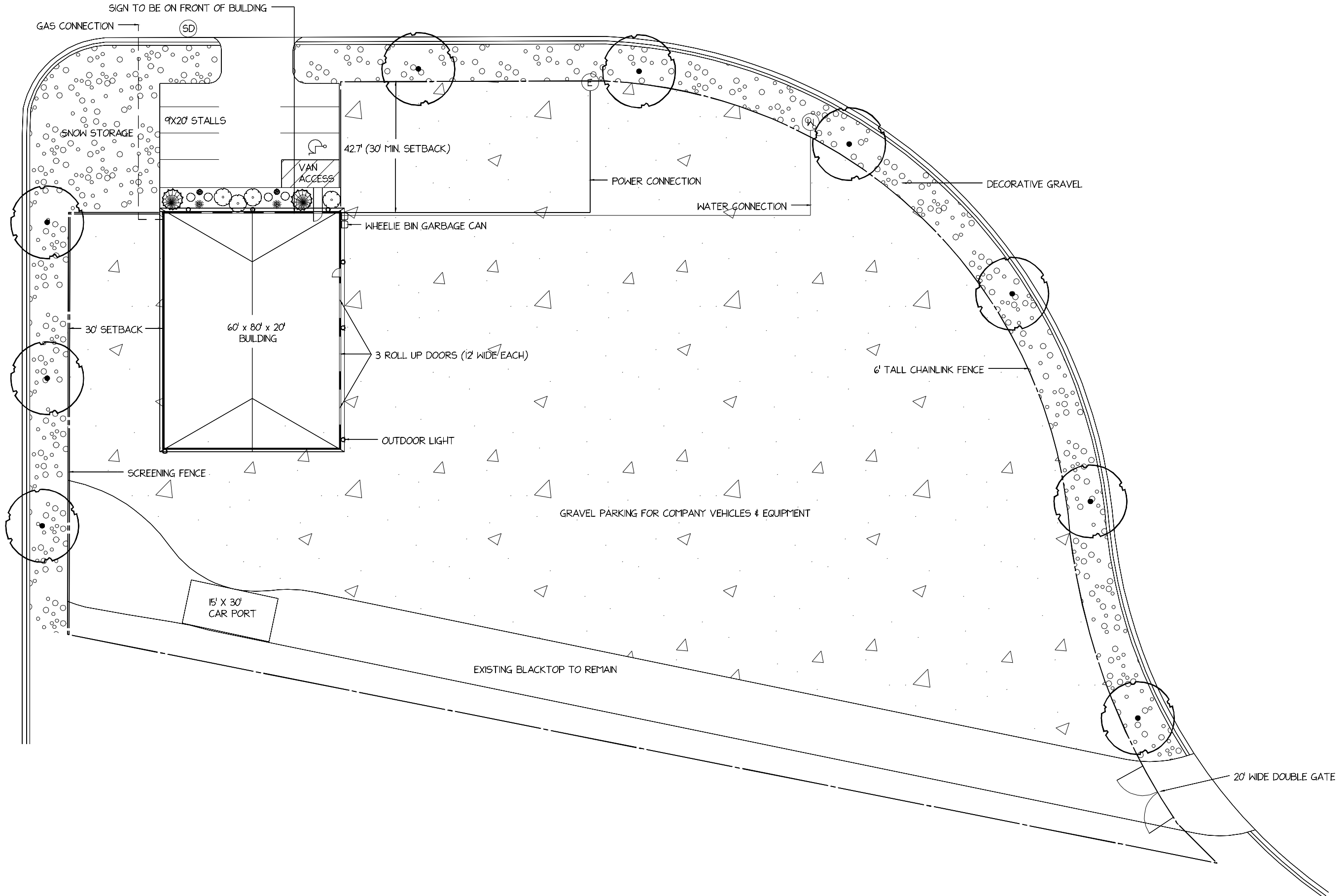


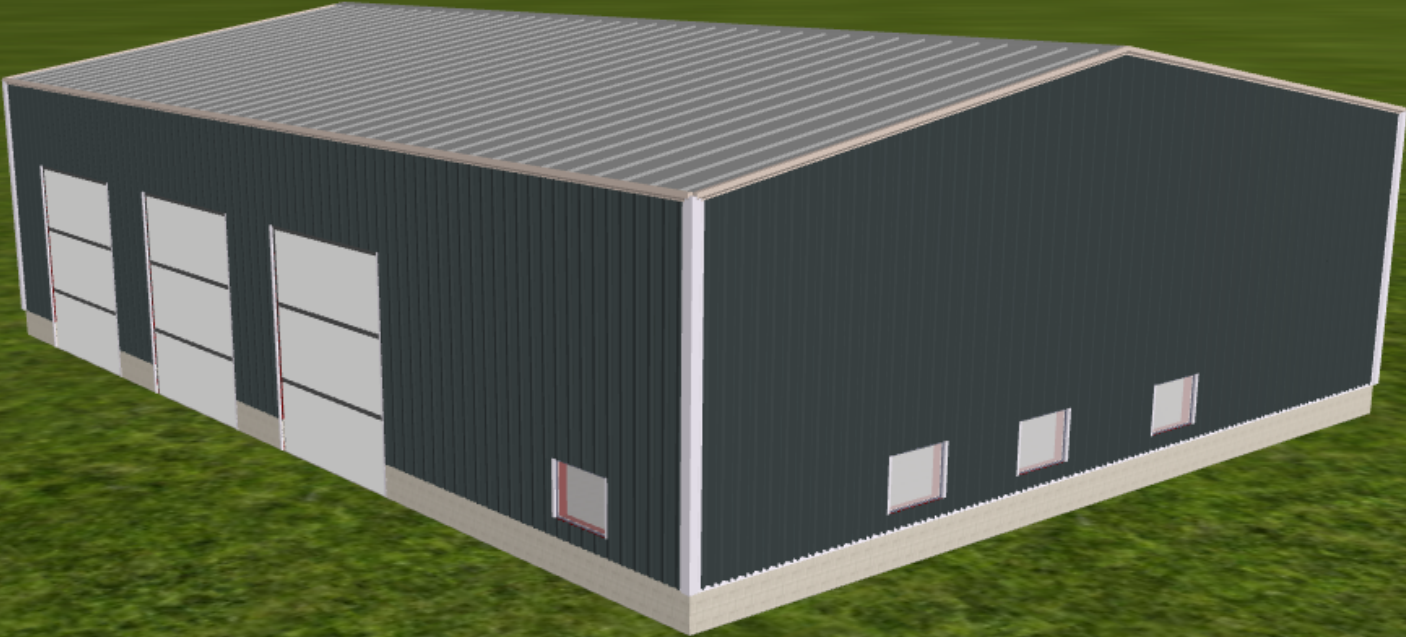


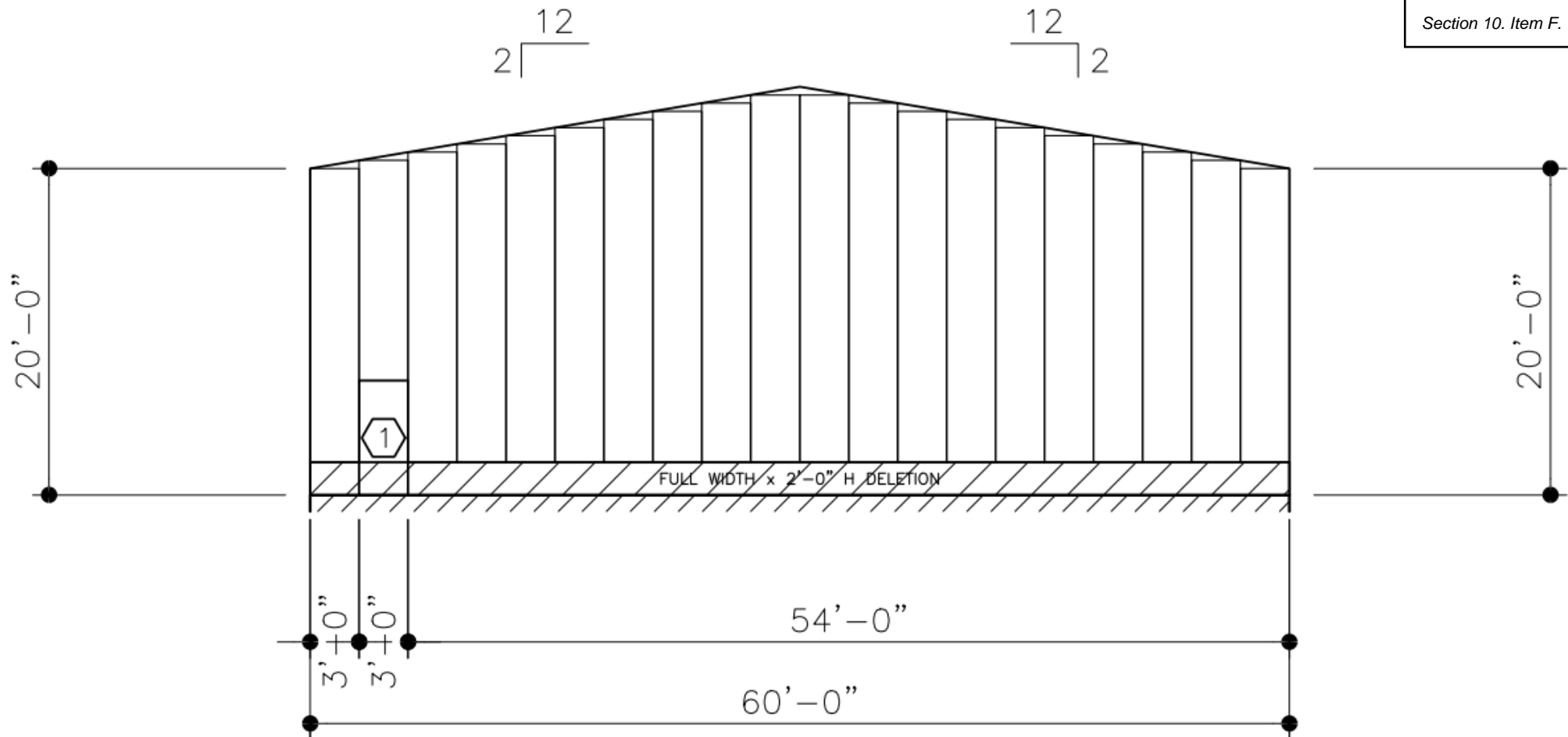
SCALE: 1" = 32'

HONEY BADGER PROPERTIES
10750 S HWY 165

* ALL PLANTER BEDS TO BE IRRIGATED WITH DRIP IRRIGATION
* NO STORAGE OF COMBUSTIBLE LIQUIDS ON SITE







SAVAGE SUBDIVISION – PRELIMINARY PLAT
900 W 85 SOUTH
CITY COUNCIL MEETING
FEBRUARY 2, 2023

Summary: Leon and Roy Savage are seeking Final Plat approval for a 13-lot subdivision on approximately 34 acres. The proposed lots will range in size from 1.25 to 6 acres.

ZONING: R-2 Residential (minimum area 9,900 sq. ft., frontage 82.5 ft.)

UTILITIES:

- Power: Developer to provide
- Culinary: Developer to provide
- Sewer: Septic Systems
- Irrigation: Developer to provide

NOTES:

PLAT SHEET 1

SHOW MONUMENTS AT KEY POINTS IN ALIGNMENT

SHOW EASEMENT FOR EXISTING DRAIN PIPE FROM BASIN TO RIVER

WHAT IS GOING TO HAPPEN WITH PARCEL A? IS THIS A PRIVATE PARK? HOA/MAINTENANCE.

FENCE ALONG CANAL OR PIPE CANAL IS NEEDED PER CITY CODE.

DETAIL SHOWS 12 FOOT SETBACK, CHANGE TO 10 FOOT

NEED WATER AND SEWER AUTHORITY BLOCK, REPLACE REDUNDANT ATTORNEY BLOCK.

NOTE ON TREES NEAR CANAL, CHANGE INSIDE EDGE TO TOE OF SLOPE

CONSTRUCTION DRAWINGS

SHEET C001

ANY STANDARD NOT CONTAINED IN THE HYRUM CITY STANDARDS MUST BE APPROVED AND SHOWN ON PLANS.

ADD HYRUM POWER, WATER, SEWER, ENGINEER, WELLSVILLE CANAL INFO TO PROJECT CONTACTS

SHEET C101

ADD SIZE AND TYPE INFO FOR EX LAND DRAIN

SHEET C201

NOTE 7 CHANGE K TYPE COPPER OR APPROVED EQUAL (POLY)

SHEET C302

OWNERSHIP OF PARCEL A/ MAINTENANCE

UTILITY CONNECTION? POWER FOR FLAGPOLE AND SIGN?

FENCING/GATE OVER CANAL AND BRIDGE

C401

EROSION CONTROLS MUST BE USED FOR ALL AREAS DISTURBED INCLUDING THE INSTALLED DRAIN PIPE.

HAS 50 FOOT VEGETATED BUFFER BEEN CONSIDERED FOR CONTROLS?

ANIMAL/TODDLER RACK IS NEEDED AT OUTLET OF PIPE

C602

NEED DRAIN FOR IRRIGATION MAIN. THIS NEEDS TO BE AT THE LOW POINT. CAN THE SLOPE OF THE IRRIGATION BE CHANGED TO PROVIDE A LOW POINT WHERE IT CAN TIE INTO THE DRAIN?

C702

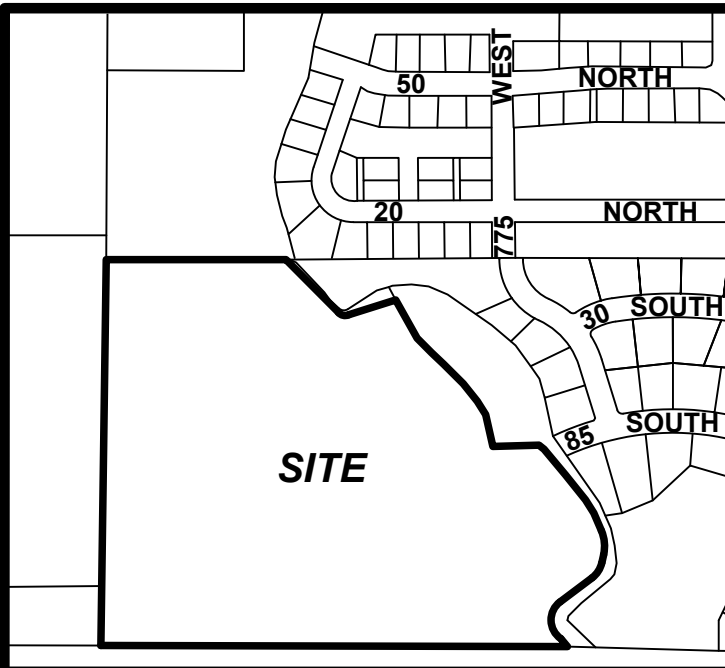
WILL A 12' DRIVE BE WIDE ENOUGH? THIS IS NOT ENOUGH FOR A TRUCK WITH TRAILER TO NAVIGATE WELL, OR INCOMING AND OUT GOING CARS TO NEGOTIATE THIS WELL.

C801

SWALES ARE ALMOST ENTIRELY IN SLOPE. HOW IS STORAGE TO BE OBTAINED? DRIVES ARE TO BE ASSUMED AS CHECK DAMS, BUT DO NOT APPEAR TO DETAIN ENOUGH WATER. IF A FLASH STORM HITS, WHAT IS THE EMERGENCY FLOW PATH?

Canal deed has not been checked yet.

Electrical component delays are estimated to be 2.5 years. If this development needs any upgrades to the existing services, coordination with the Hyrum City Power Department should be started immediately.



VICINITY MAP

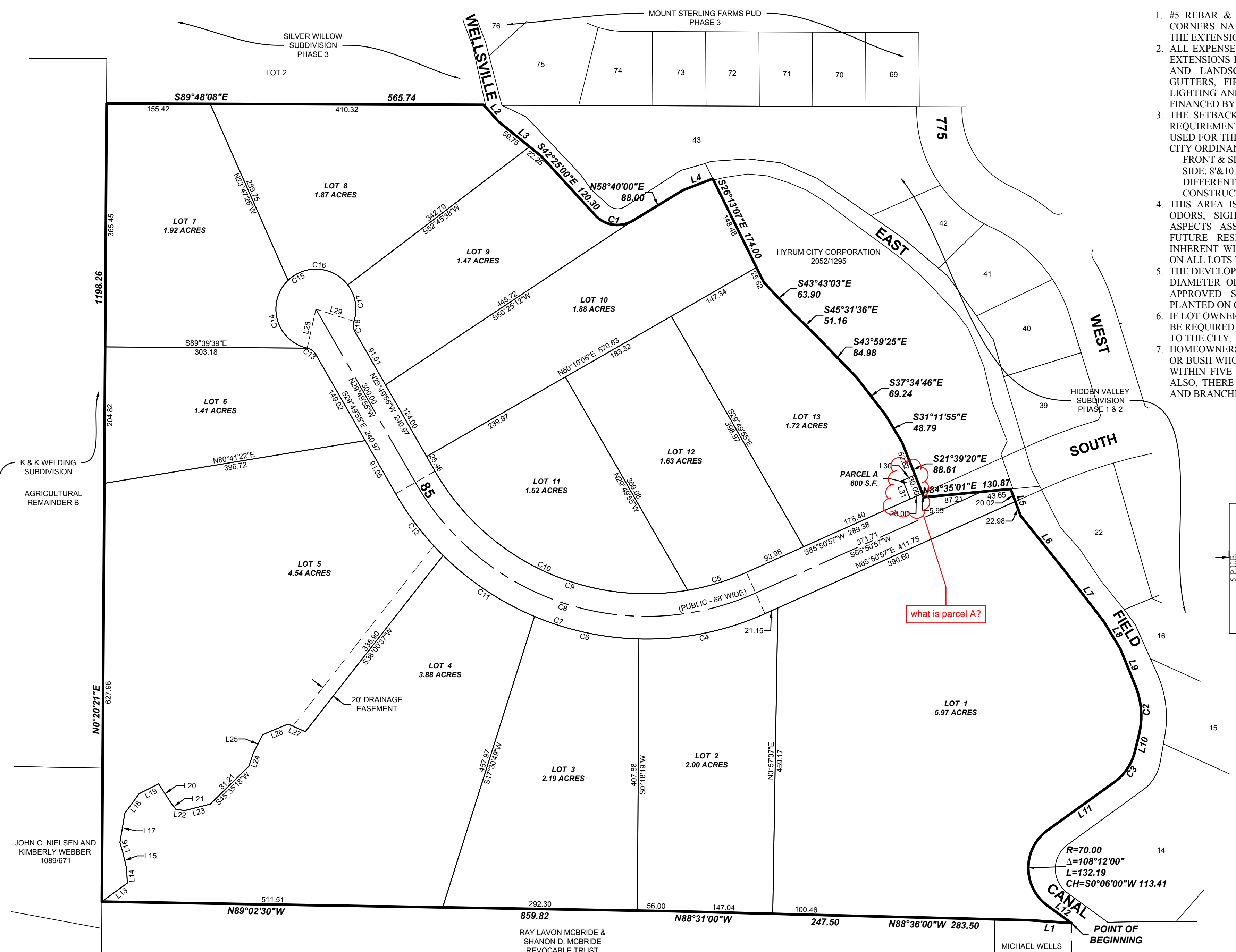
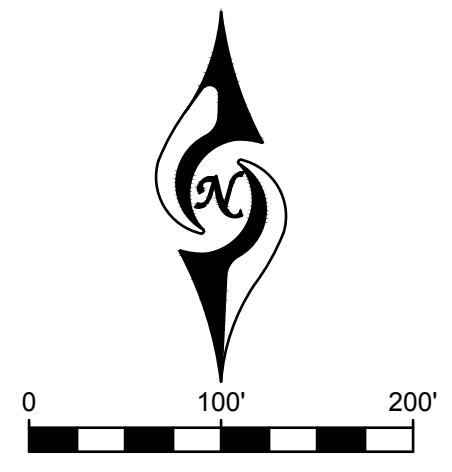
Table with 3 columns: LINE #, BEARING, DISTANCE. Lists line data for L1 through L12.

Table with 3 columns: LINE #, BEARING, DISTANCE. Lists line data for L13 through L31.

Table with 5 columns: CURVE #, RADIUS, DELTA, LENGTH, CHORD. Lists curve data for C1 through C18.

FINAL PLAT OF SAVAGE SUBDIVISION

LOCATED IN THE SE1/4 & NE1/4 OF SECTION 6, T10N, R1E, SLB&M HYRUM, UTAH



NOTES:

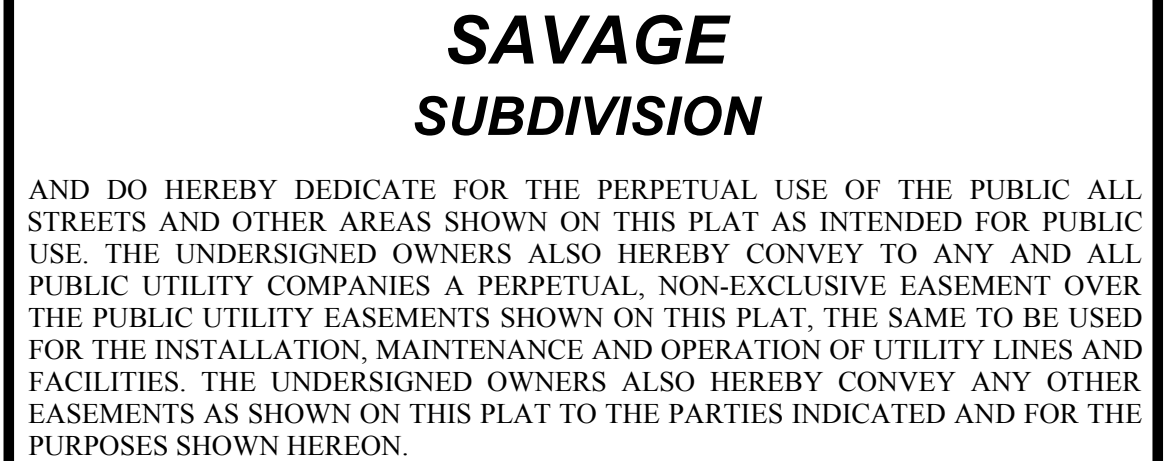
- 1. #5 REBAR & CAP AND T-POST TO BE SET AT ALL REAR LOT CORNERS...
2. ALL EXPENSES INVOLVING THE NECESSARY IMPROVEMENTS OR EXTENSIONS FOR GAS SERVICE...
3. THE SETBACK LINES SHOWN HEREON REFLECT CURRENT CITY REQUIREMENTS...
4. THIS AREA IS SUBJECT TO THE NORMAL EVERYDAY SOUNDS, ODORS, SIGHTS, EQUIPMENT, FACILITIES...
5. THE DEVELOPER WILL PLANT TWO (2) TREES HAVING A MINIMUM DIAMETER OF ONE AND ONE HALF (1 1/2) INCHES...
6. IF LOT OWNERS DESIRE TO CONSTRUCT A BASEMENT, THEY WILL BE REQUIRED TO SUBMIT A HISTORIC HIGH WATER TABLE STUDY TO THE CITY.
7. HOMEOWNERS OF LOTS 1 AND 8-10 SHALL NOT PLANT ANY TREE OR BUSH WHOSE ROOT ZONES AT MATURITY WOULD EXTEND TO WITHIN FIVE FEET OF THE INSIDE EDGE OF THE CANAL BANK.

SURVEYOR'S CERTIFICATE
I, CURTIS BOWN, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 12606452-2201 IN ACCORDANCE WITH TITLE 58, CHAPTER 22 OF UTAH STATE CODE...

CURTIS BOWN
PROFESSIONAL LAND SURVEYOR
CERTIFICATE NO. 12606452-2201

BOUNDARY DESCRIPTION
A portion of the SE1/4 & NE1/4 of Section 6, Township 10 North, Range 1 East, Salt Lake Base & Meridian, located in Hyrum, Utah, more particularly described as follows:
Beginning at a point on the westerly bank of the Wellsville East Field Canal located N89°44'00"W along the Section line 1,176.56 feet and North 1,804.04 feet from the Southeast Corner of Section 6, T10N, R1E, S.L.B.&M. then along an old wire fence line, and extension thereof, the following 4 (four) courses and distances: N86°09'00"W 64.50 feet; then N88°36'00"W 283.50 feet; then N88°31'00"W 247.50 feet; then N89°02'30"W 859.82 feet; then N0°20'21"E (plat: N0°19'53"E) 1,198.26 feet along the extension of, and along the easterly line of Agricultural Remainder B, OF K & K WELDING Subdivision, according to the Official Plat thereof on file in the Office of the Cache County Recorder's Office; then S89°48'08"E (plat: S89°48'24"E) 565.74 feet to the westerly bank of said Wellsville East Field Canal; then along said westerly bank the following 6 (six) courses and distances: S41°41'00"E 34.00 feet; then S51°00'00"E 82.00 feet; then S42°25'00"E 120.30 feet; then along the arc of a 45.00 foot radius curve to the left 61.98 feet through a central angle of 78°55'00" (chord: S81°52'30"E 57.20 feet); then N58°40'00"E 88.00 feet; then N68°54'00"E 47.80 feet to the westerly line of that Real Property recorded in Deed Book 2052 Page 1295 of the Official Records of Cache County; then along said deed the following 8 (eight) courses and distances: S26°13'07"E 174.00 feet; then S43°43'03"E 63.90 feet; then S45°31'36"E 51.16 feet; then S43°59'25"E 84.98 feet; then S37°34'46"E 69.24 feet; then S31°11'55"E 48.79 feet; then S21°39'20"E 88.61 feet; then N84°35'01"E 130.87 feet to the westerly bank of said Canal; then along said westerly bank the following 11 (eleven) courses and distances: S20°25'00"E 43.00 feet; then S38°44'00"E 103.00 feet; then S37°34'00"E 99.00 feet; then S31°11'00"E 48.00 feet; then S22°10'00"E 59.47 feet; then along the arc of a 120.00 foot radius curve to the right 75.26 feet through a central angle of 35°56'00" (chord: S4°12'00"E 74.03 feet); then S13°39'20"E 25.90 feet; then along the arc of an 80.00 foot radius curve to the right 56.46 feet through a central angle of 40°26'00" (chord: S33°59'00"W 55.29 feet); then S54°12'00"W 123.15 feet; then along the arc of a 70.00 foot radius curve to the left 132.19 feet through a central angle of 108°12'00" (chord: S0°06'00"W 113.41 feet); then S54°00'00"E 44.22 feet to the point of beginning.
Contains: 34.13 +/- acres

OWNER'S DEDICATION
KNOW ALL MEN BY THESE PRESENTS THAT WE, THE UNDERSIGNED ARE THE OWNERS OF THE ABOVE DESCRIBED TRACT OF LAND, AND HEREBY CAUSE THE SAME TO BE DIVIDED INTO LOTS, PARCELS AND STREETS, TOGETHER WITH EASEMENTS AS SET FORTH TO BE HEREAFTER KNOW AS:



IN WITNESS WHEREOF WE HAVE HERETO SET OUR HANDS THIS ___ DAY OF ___, 20___.
LEON H. SAVAGE, TRUSTEE (SIGNATURE) PAULA SAVAGE, TRUSTEE (SIGNATURE)
BY: _____ (PRINTED NAME)
ITS: _____

TRUSTEES ACKNOWLEDGMENT
ON THIS ___ DAY OF ___, 20___ PERSONALLY APPEARED BEFORE ME, LEON H. SAVAGE AND PAULA F. SAVAGE, WHOSE IDENTITIES ARE PERSONALLY KNOWN TO ME (OR PROVEN ON THE BASIS OF SATISFACTORY EVIDENCE) AND WHO BY ME DULY SWORE/AFFIRMED, DID SAY THAT THEY ARE THE TRUSTEES OF THE LEON H. SAVAGE AND PAULA SAVAGE FAMILY TRUST, DATED OCTOBER 9, 2012. THE SIGNERS OF THE WITHIN INSTRUMENT, WHO DULY ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME PURSUANT TO, AND IN ACCORDANCE WITH, THE POWERS VESTED IN THEM BY THE TERMS OF SAID TRUST AGREEMENT.

MY COMMISSION EXPIRES: _____ NOTARY PUBLIC (SIGNATURE) RESIDING IN _____ COUNTY
MY COMMISSION No. _____ PRINTED FULL NAME OF NOTARY

FINAL PLAT OF SAVAGE SUBDIVISION
LOCATED IN THE SE1/4 & NE1/4 OF SECTION 6, T10N, R1E, SLB&M HYRUM, UTAH

RECORDED #
STATE OF UTAH, COUNTY OF CACHE, RECORDED AND FILED AT THE REQUEST OF:
DATE: _____ TIME: _____ BOOK: _____ PAGE: _____
\$ _____
FEE _____ CACHE COUNTY RECORDER

PLANNING AND ZONING CERTIFICATE OF APPROVAL
THIS PLAT HAS BEEN REVIEWED AND APPROVE BY THE HYRUM CITY PLANNING AND ZONING COMMISSION.

CHAIRPERSON _____ DATE _____

civilsolutionsgroup inc.
CACHE VALLEY | P: 435.213.3762
SALT LAKE | P: 801.216.3192
UTAH VALLEY | P: 801.874.1432
info@civilsolutionsgroup.net
www.civilsolutionsgroup.net

UTILITY COMPANIES
THE UTILITY EASEMENTS SHOWN ON THIS PLAT HAVE BEEN REVIEWED AND ARE APPROVED.
DOMINION ENERGY* _____ DATE _____ HYRUM CITY POWER _____ DATE _____
COMCAST CABLE _____ DATE _____ CENTURYLINK COMMUNICATIONS _____ DATE _____
*QUESTAR GAS COMPANY, dba DOMINION ENERGY UTAH, HEREBY APPROVES THIS PLAT SOLELY FOR THE PURPOSES OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY UTAH MAY REQUIRE ADDITIONAL EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES INCLUDING PRESCRIPTIVE RIGHTS AND OTHER RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THIS PLAT, INCLUDING THOSE SET FORTH IN THE OWNER DEDICATION OR IN THE NOTES, AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OR CONDITIONS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY UTAH'S RIGHT-OF-WAY DEPARTMENT AT 1-800-366-8532.

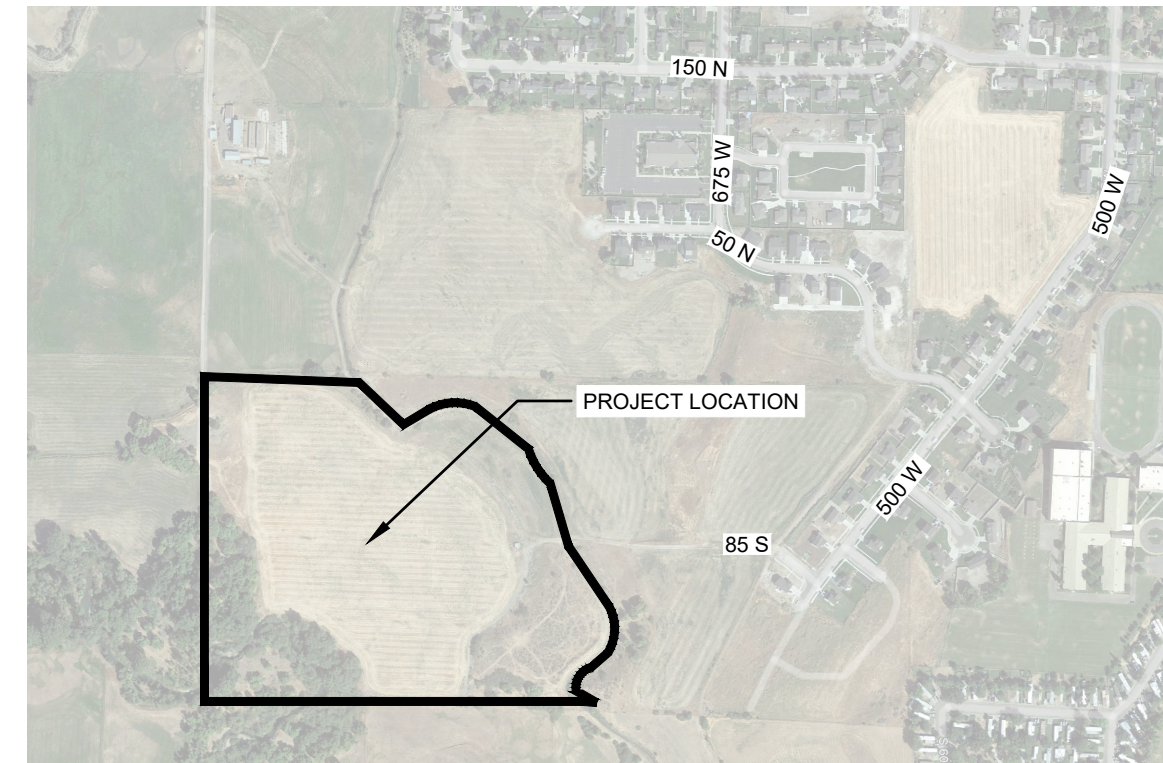
ATTORNEY APPROVAL
APPROVED AS TO FORM THIS _____ DAY OF _____, 20___.
CITY ATTORNEY _____ DATE _____
CITY COUNCIL'S CERTIFICATE APPROVAL
THE ABOVE PLAT IS HERBY APPROVED AND ACCEPTED BY THE HYRUM CITY COUNCIL ON THIS _____ DAY OF _____, 20___.
MAYOR _____ ATTEST: _____

CITY ATTORNEY'S CERTIFICATE OF APPROVAL
I HAVE REVIEWED THIS PLAT AND APPROVE IT FOR ACCEPTANCE BY HYRUM CITY.
CITY ATTORNEY _____ DATE _____
CITY ENGINEER'S CERTIFICATE OF APPROVAL
I HEREBY APPROVE THE ABOVE PLAT HAVING REVIEWED IT FOR CONFORMITY WITH STANDARD ENGINEERING PRACTICE AND HYRUM CITY'S SUBDIVISION ORDINANCE.
CITY ENGINEER _____ DATE _____

SAVAGE SUBDIVISION CONSTRUCTION DOCUMENTS

1/4/22

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 SALT LAKE | P: 801.216.3192
 UTAH VALLEY | P: 801.874.1432
 info@civilsolutionsgroup.net
 www.civilsolutionsgroup.net



GENERAL NOTES:

- APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A NOTICE TO PROCEED HAS BEEN ISSUED.
- THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CITY OF HYRUM DOES NOT AUTHORIZE THE SUBDIVIDER AND OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. A SURVEY CREW MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR VERTICAL CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, A SURVEY CREW SHALL REPLACE SUCH MONUMENTS WITH APPROPRIATE VERTICAL CONTROLLING MONUMENTS. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION.
- CONTRACTOR SHALL CONTACT "BLUE STAKES" PRIOR TO START OF CONSTRUCTION ACTIVITIES BY CALLING 811 OR SUBMITTING AN ONLINE UTILITY LOCATION REQUEST AT WWW.BLUESTAKES.ORG.
- CONTRACTOR SHALL IMPLEMENT AN EROSION AND SEDIMENT CONTROL PROGRAM DURING THE PROJECT GRADING AND/OR CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL MEET ALL APPLICABLE REQUIREMENTS OF THE STATE OF UTAH AND HYRUM CITY.
- "PUBLIC IMPROVEMENT SUBJECT TO DESUETUDE OR DAMAGE." IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, THE OWNER SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT- ISSUING AUTHORITY.
- ALL EXISTING AND/OR PROPOSED PUBLIC UTILITY SYSTEM AND SERVICE FACILITIES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH THE HYRUM CITY STANDARDS AND SPECIFICATIONS.
- PRIOR TO ANY DISTURBANCE TO THE SITE, EXCLUDING UTILITY MARK-OUTS AND SURVEYING, THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRE-CONSTRUCTION MEETING WITH THE CITY OF HYRUM.
- DEVIATIONS FROM THESE SIGNED PLANS WILL NOT BE ALLOWED UNLESS A CONSTRUCTION CHANGE IS APPROVED BY THE CITY ENGINEER OR THE CHANGE IS REQUIRED BY THE CITY INSPECTOR.

PROJECT CONTACTS:

- DEVELOPER:
ROY SAVAGE
RSAVAGE@CACHEVALLEYBANK.COM
P. 435.753.3020
- CIVIL ENGINEER:
MICHAEL TAYLOR
540 W. GOLF COURSE RD., STE. B1
PROVIDENCE, UT 84332
MTAYLOR@CSG.WORK
P. 435.213.3762
- SURVEYOR:
DENNIS CARLISLE
669 NORTH 1890 WEST SUITE 47B
PROVO, UT 84601
DCARLISLE@CSG.WORK
P. 801.874.4132 EXT. 712

STANDARD SPECIFICATIONS:

- HYRUM CITY CORPORATION DEPARTMENT OF PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
- STORM WATER SPECIFICATIONS ARE PER THE EPA NATIONAL MENU OF STORMWATER BEST MANAGEMENT PRACTICES UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND THE UTAH DEPARTMENT OF WATER QUALITY STORMWATER MANAGEMENT PROGRAM.
- THE SPECIFICATIONS MENTIONED IN ITEMS ONE AND TWO SHALL SUPERSEDE ANY CONFLICTING SPECIFICATIONS CONTAINED WITHIN THESE PLANS.

STANDARD DRAWINGS:

- HYRUM CITY CORPORATION DEPARTMENT OF PUBLIC WORKS STANDARD CONSTRUCTION DRAWINGS.

HYRUM CITY ENGINEERING DEPARTMENT APPROVAL:

THE IMPROVEMENT FOR THIS SUBDIVISION HAVE BEEN REVIEWED BY THE CITY ENGINEER FOR GENERAL CONFORMANCE WITH THE REQUIREMENTS OF THE CITY SUBDIVISION ORDINANCE. THIS SET OF CITY-APPROVED DRAWINGS SHALL BE USED FOR CONSTRUCTION OF THE REQUIRED SUBDIVISION IMPROVEMENTS. THE DEVELOPER'S ENGINEER, WHOSE STAMP IS ON THESE DRAWINGS, IS RESPONSIBLE FOR THE ENGINEERING DESIGN, DRAFTING, AND RELATED FIELD INFORMATION. THE CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR DIMENSIONS WHICH SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE; FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION; COORDINATION OF HIS OR HER WORK WITH THAT OF ALL OTHER TRADES; AND THE SATISFACTORY PERFORMANCES OF HIS OR HER WORK.

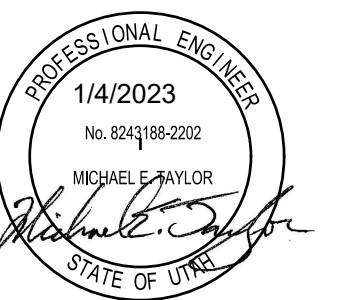
BY: _____ DATE: _____

Sheet List Table	
Sheet Number	Sheet Title
C001	COVER
C002	LEGEND
C101	DEMO PLAN
C201	SITE OVERVIEW
C301	GRADING OVERVIEW
C302	GRADING - PLAN AND PROFILE STA 0+00-7+00
C303	GRADING - PLAN AND PROFILE STA 7+00-13+50
C401	STORMWATER PLAN & PROFILE
C501	WATER - PLAN AND PROFILE STA 0+00-7+00
C502	WATER - PLAN AND PROFILE STA 7+00-14+00
C601	IRRIGATION - PLAN AND PROFILE STA 0+00-7+00
C602	IRRIGATION - PLAN AND PROFILE STA 7+00-14+00
C701	UTILITY DETAILS
C702	SITE DETAILS
C801	CALCULATIONS

SAVAGE SUBDIVISION
 900 W 85 S
 HYRUM, UTAH 84319

MARK	DATE	DESCRIPTION

PROJECT #: 21-260
 DRAWN BY: B. LUD
 PROJECT MANAGER: M. TAYLOR
 ISSUED: 1/4/2023



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COVER
C001



SAVAGE SUBDIVISION
900 W 85 S
HYRUM, UTAH 84319

* ALL LOTS WILL BE SERVICED BY INDIVIDUAL SEPTIC SYSTEMS.

GENERAL NOTES:

1. CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND CONTACT ENGINEER IF DIFFERENT FROM LOCATIONS DISPLAYED ON THESE PLANS.
2. MINIMUM 18" OF VERTICAL SEPARATION REQUIRED BETWEEN WATER MAIN AND 48" SEWER MAIN WHERE LINES INTERSECT.
3. MINIMUM OF 10' FROM OUTSIDE-OF-PIPE TO OUTSIDE-OF-PIPE REQUIRED BETWEEN CULINARY WATER LINE AND ALL OTHER WET UTILITIES.
4. ALL SEWER, IRRIGATION, STORM DRAIN AND CULINARY WATER LINES SHALL BE INSTALLED PER UTILITY TRENCHING DETAIL FOUND IN STANDARD DRAWING 04 ON SHEET C-501.
5. ALL CULINARY WATER AND IRRIGATION LINES SHALL BE AWWA C900 DR18. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 5' OF COVER, AND IRRIGATION LINES WITH A MINIMUM OF 3' OF COVER.
6. ALL SEWER AND WATER SERVICES SHALL BE INSTALLED IN FRONT CENTER OF LOT UNLESS OTHERWISE NOTED. PROVIDE 11-FT HORIZONTAL SEPARATION BETWEEN CENTERLINES OF WATER & SEWER, 6-FT HORIZONTAL SEPARATION BETWEEN SECONDARY IRRIGATION AND SEWER.
7. ALL WATER SERVICES SHALL BE INSTALLED PER STANDARD DETAIL 3 ON SHEET C-701. 1" WATER SERVICES SHALL BE TYPE K COPPER WITH 24" "WHITE" BARRELS. THE CITY WILL PROVIDE AND SET THE METERS. ALL OTHER PARTS (SERVICE LATERAL PIPING, SETTERS, BARRELS, ETC.) SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR. PRIOR TO INSTALLATION OF BARRELS, LOCATIONS SHALL BE DETERMINED USING CONSTRUCTION STAKING METHODS.
8. ALL SECONDARY IRRIGATION SERVICES SHALL BE INSTALLED PER STANDARD DETAIL 3 ON SHEET C-701.
9. ALL IRRIGATION MAIN PIPE SHALL BE "PURPLE PIPE" FOR USE WITH RECLAIMED WATER SYSTEMS AS IS REQUIRED BY STATE REGULATIONS. CONTRACTOR SHALL PLACE CONCRETE THRUST BLOCKS ON ALL TEES, WYES, BENDS, ANGLES, ETC ON ALL WATER AND IRRIGATION LINES AS SHOWN IN DETAIL 07 ON SHEET C-701.
10. POWER - CONTRACTOR SHALL COORDINATE WITH OWNER AND ROCKY MOUNTAIN POWER TO DETERMINE PRECISE LOCATION AND LAYOUT OF POWER LINES THROUGH DEVELOPMENT. CONTRACTOR SHALL BE RESPONSIBLE TO TRENCH, BED, INSTALL AND FILL IN THE POWER TRENCH AND PROVIDE THE REQUIRED PVC SCHEDULE 40 CONDUIT.
11. TELEPHONE AND CABLE - CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR LOCATION OF CONDUIT CROSSINGS AND SHALL INSTALL ALL CONDUITS.
12. GAS - CONTRACTOR SHALL COORDINATE INSTALLATION OF GAS WITH QUESTAR GAS.
13. CONTRACTOR SHALL INSTALL WIRING JUNCTION FOR STREET LIGHTS AT LOCATIONS PER CITY REQUIREMENTS AND ROCKY MOUNTAIN POWER. STREET LIGHTS SHALL BE INSTALLED BY ROCKY MOUNTAIN POWER AND HYRUM CITY.
14. CONTRACTOR SHALL NOT EXCAVATE ROAD SIDE SWALES UNTIL ALL UTILITIES HAVE BEEN INSTALLED.
15. CONSTRUCT ALL DRIVEWAYS PER DETAIL 2 ON SHEET C-702.

STORMWATER FLOW ARROW

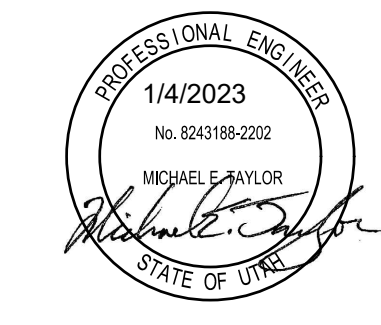


0 60' 120'

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MARK	DATE	DESCRIPTION

PROJECT #: 21-260
DRAWN BY: B. LUD
PROJECT MANAGER: M. TAYLOR
ISSUED: 1/4/2023



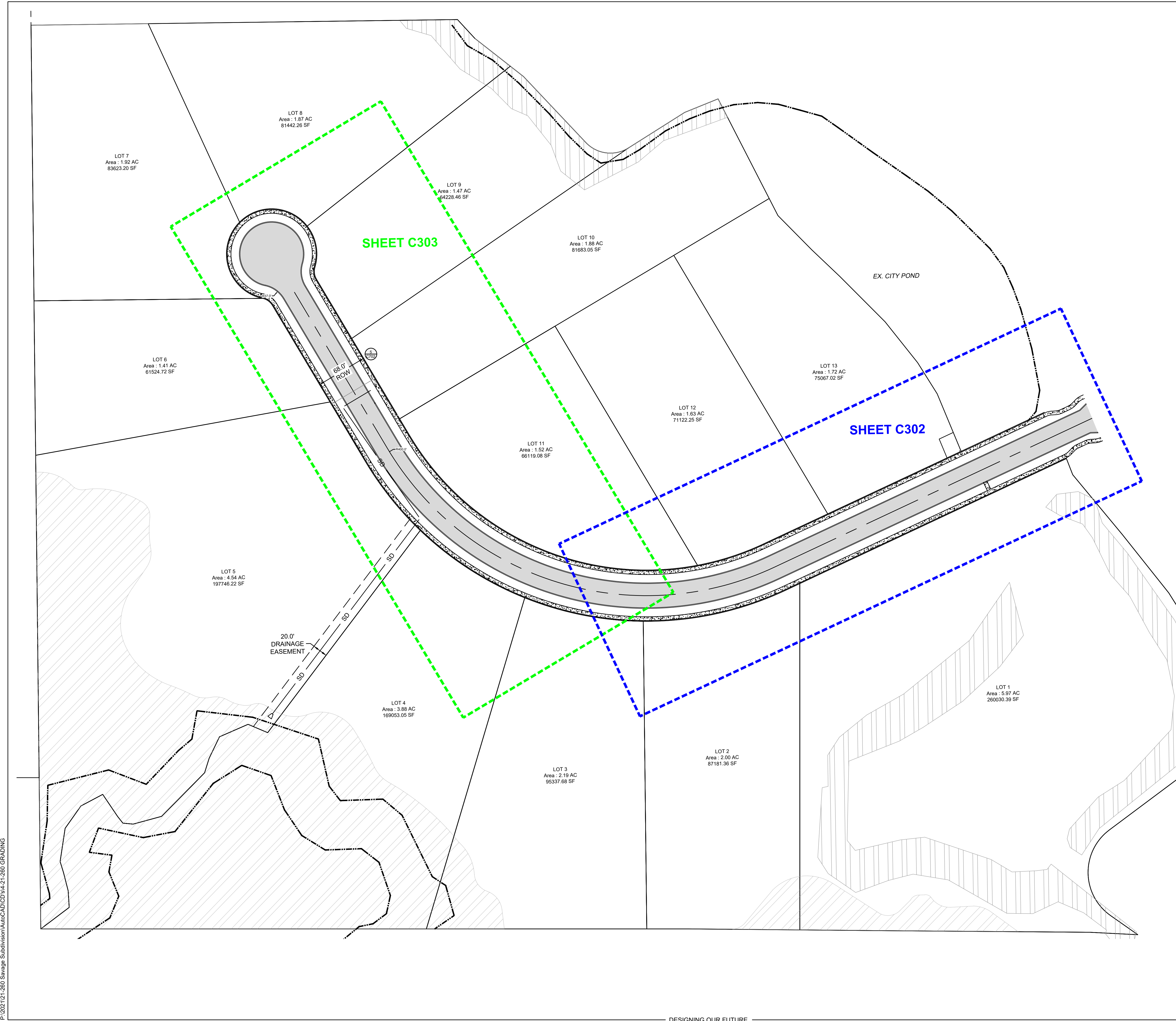
SITE OVERVIEW

C201

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P:\2022\121-260 Savage Subdivision\AutoCAD\CD\3-21-2020 SITE

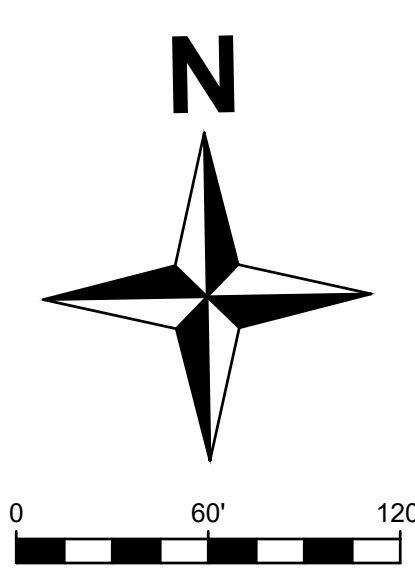


GRADING GENERAL NOTES:

1. ALL TBC CALLOUTS ARE AT FULL HEIGHT AT BACK OF CURB.
2. MAINTAIN A MINIMUM OF 0.5% LONGITUDINAL SLOPE IN ALL GUTTERS.
3. MAINTAIN A MAXIMUM OF 2.0% CROSS-SLOPE ON ALL SIDEWALKS AND AT ALL BUILDING DOORWAY ENTRANCES AND EXITS.
4. CONTRACTOR TO VERIFY LOCATION OF UTILITIES PRIOR TO EXCAVATION.
5. INSTALL 88 ROW PER HYRUM CITY STANDARD. SEE SHEET C702
6. INSTALL 12' DRIVEWAY. SEE DETAIL SHEET C702
7. MATCH EXISTING GROUND AT SLOPE NO GREATER THAN 3:1

GRADING LEGEND:

- FG = FINISHED GRADE
- EG = EXISTING GRADE
- ME = MATCH EXISTING
- TA = TOP OF ASPHALT
- TC = TOP OF CONCRETE
- TBC = TOP BACK OF CURB
- FL = FLOW LINE
- GB = GRADE BREAK



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 www.civilsolutionsgroup.net

SAVAGE SUBDIVISION
 900 W 85 S
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MARK	DATE	DESCRIPTION

PROJECT #: 21-260
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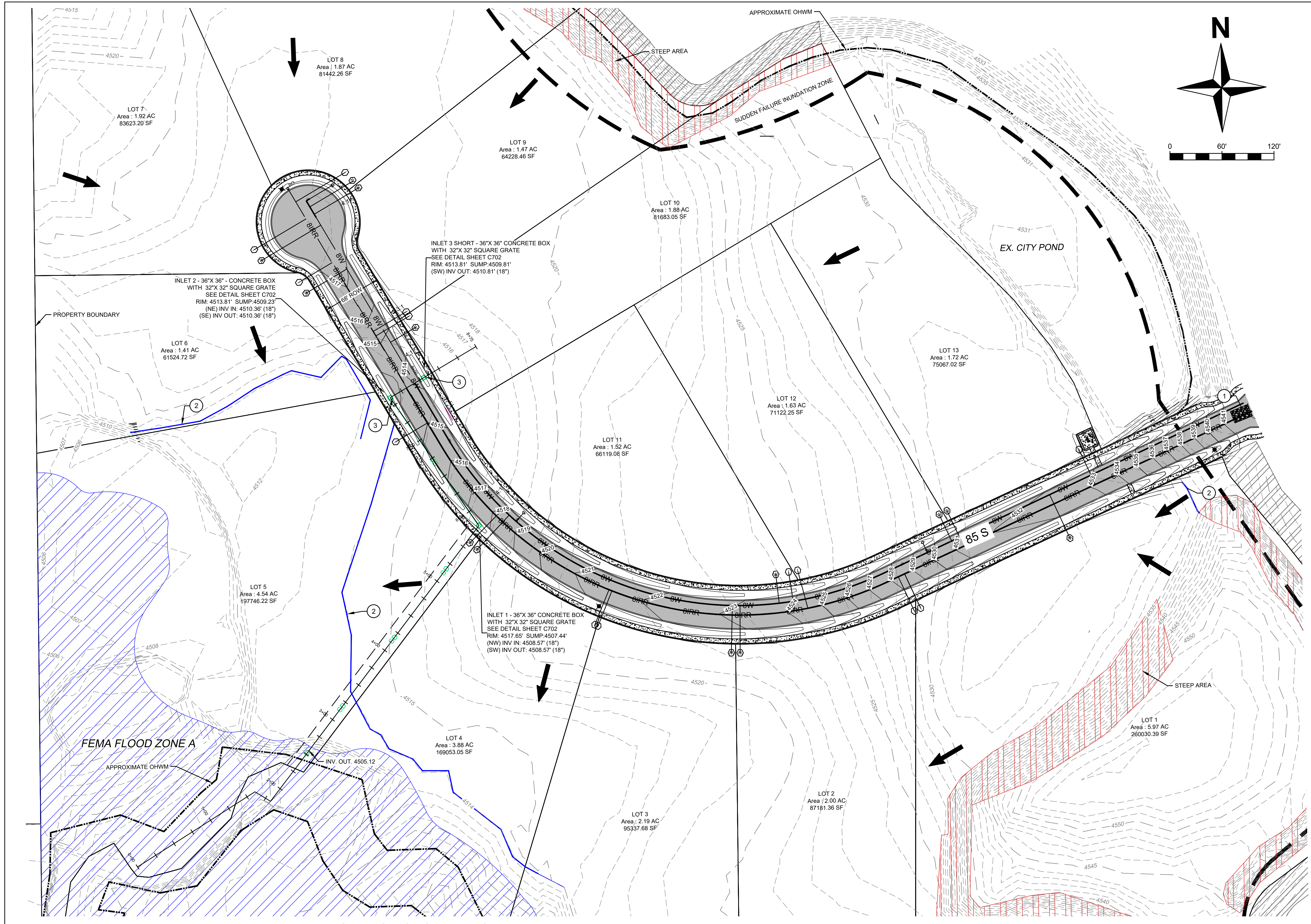
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GRADING OVERVIEW

C301

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- ① EROSION CONTROL PLAN SHEET KEY NOTES:**
 PROVIDE, INSTALL, AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
1. VEHICLE TRACK OUT PAD
 2. 1' TALL EARTHEN BERM
 3. ALL STORMWATER DRAIN INLETS TO HAVE A GRAVEL SOCK
- GENERAL NOTES:**
1. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO EXCAVATING
 2. MATCH EXISTING GROUND AT SLOPE NO GREATER THAN 3:1
 3. REVEGETATE STORMWATER SWALES WITH NATIVE GRASSES
 4. PLACE 6" OF TOPSOIL IN ALL LANDSCAPED AREAS AND REVEGETATE WITH SUITABLE GRASS
 5. ALL STORMWATER PIPES TO BE CORRUGATED HDPE
 6. ALL OPEN ENDED PIPES TO BE INSTALLED WITH FLARED END SECTIONS AND TRASH GUARDS
 7. DRIVEWAYS HAVE BEEN ASSUMED TO ACT AS CHECK DAMS
 8. CALCULATIONS ON SHEET C801

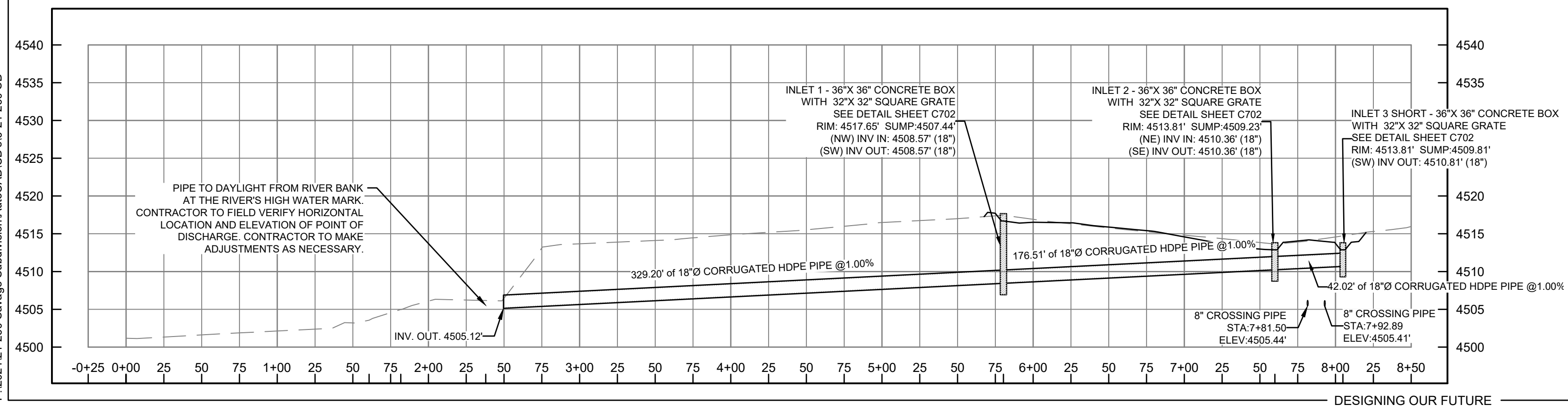
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 www.civilsolutionsgroup.net

Savage Subdivision
 900 W 85 S
 HYRUM, UTAH 84319

MARK	DATE	DESCRIPTION

PROJECT #: 21-260
 DRAWN BY: B. LUD
 PROJECT MANAGER: M. TAYLOR
 ISSUED: 1/4/2023



Know what's below. **811** before you dig.

BLUE STAKES OF UTAH
 UTILITY NOTIFICATION CENTER, INC.
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 1-800-662-4111



STORMWATER PLAN & PROFILE

C401

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SAVAGE SUBDIVISION
900 W 85 S
HYRUM, UTAH 84319

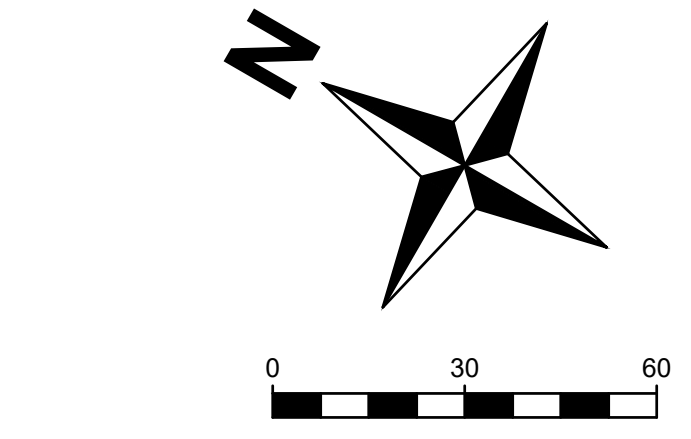
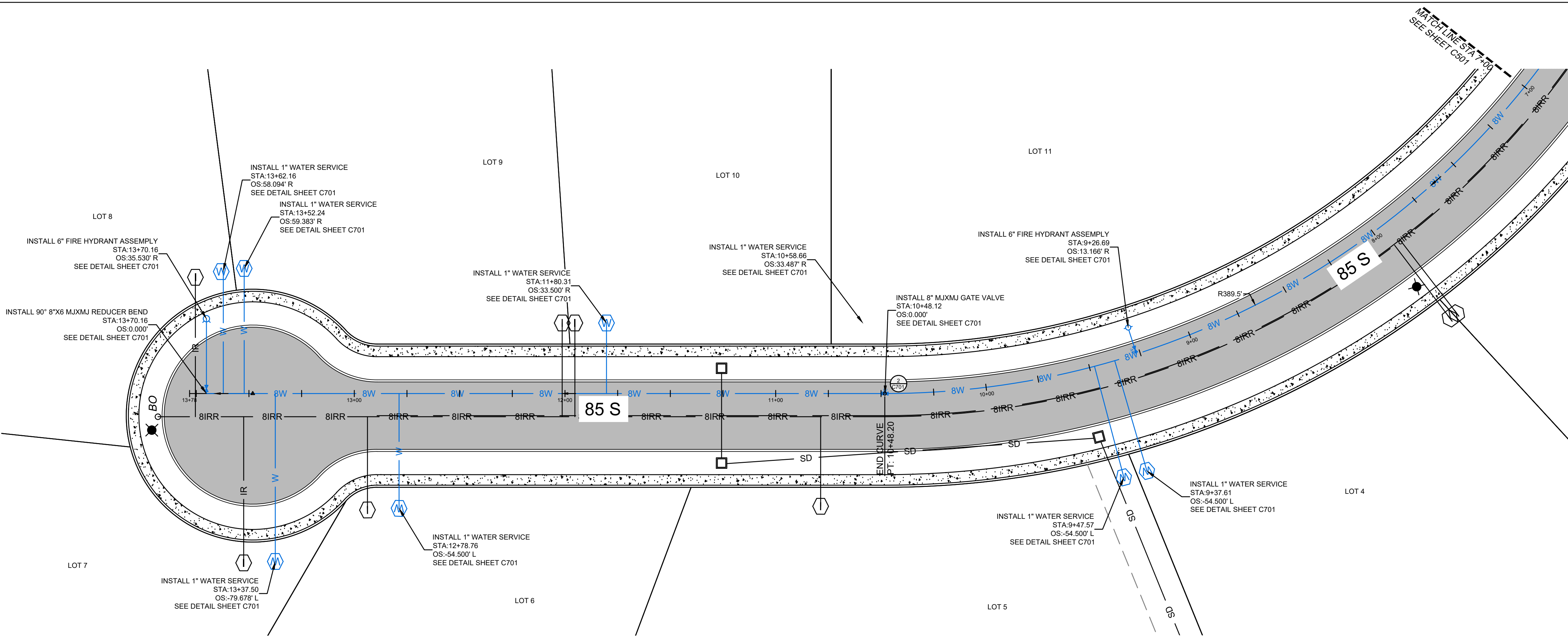
MARK	DATE	DESCRIPTION

PROJECT #: 21-260
DRAWN BY: B. LUD
PROJECT MANAGER: M. TAYLOR
ISSUED: 1/4/2023



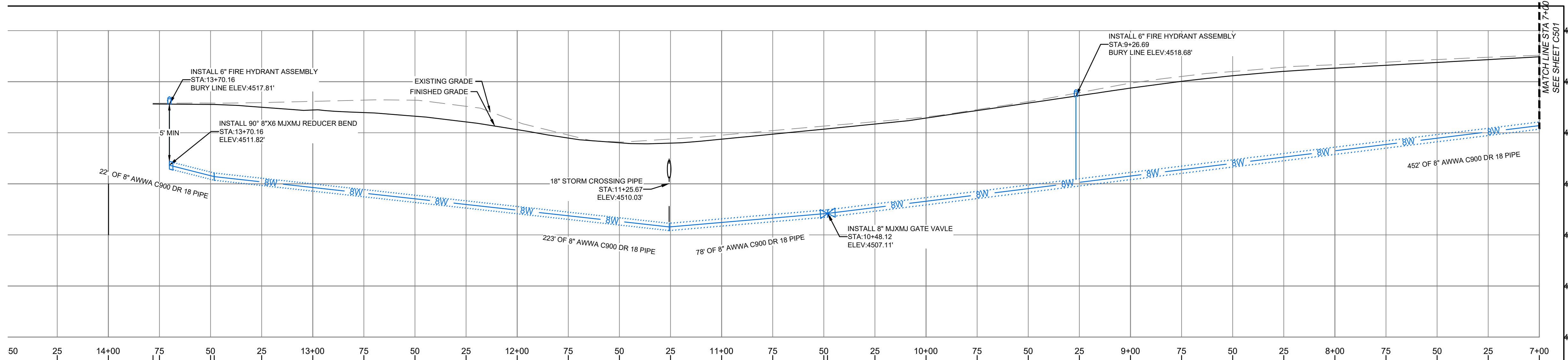
**WATER - PLAN
AND PROFILE**
STA 7+00-14+00

C502



- GENERAL NOTES:**
- CONTRACTOR TO ENSURE 18" MINIMUM VERTICAL SEPARATION TO CONFLICTING WET UTILITY.
 - 8" AWWA C900 DR 18 CULINARY WATER MAIN.
 - CONTRACTOR TO LOCATE EXISTING 8" WATER MAIN ON EAST SIDE OF CULVERTS. WATER MAIN TO BE VERTICALLY CENTERED BETWEEN TOP OF CULVERT AND PROPOSED ROADWAY GRADE AND INSULATED PER CITY STANDARD TO COMPENSATE FOR SUB-STANDARD COVER. WATER MAIN COVER TO BE 5' HEADING WEST OF THE CULVERT.

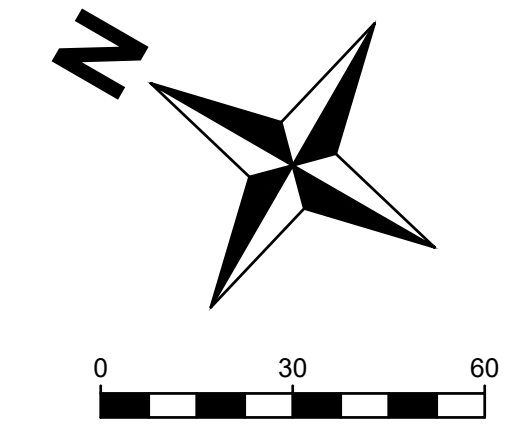
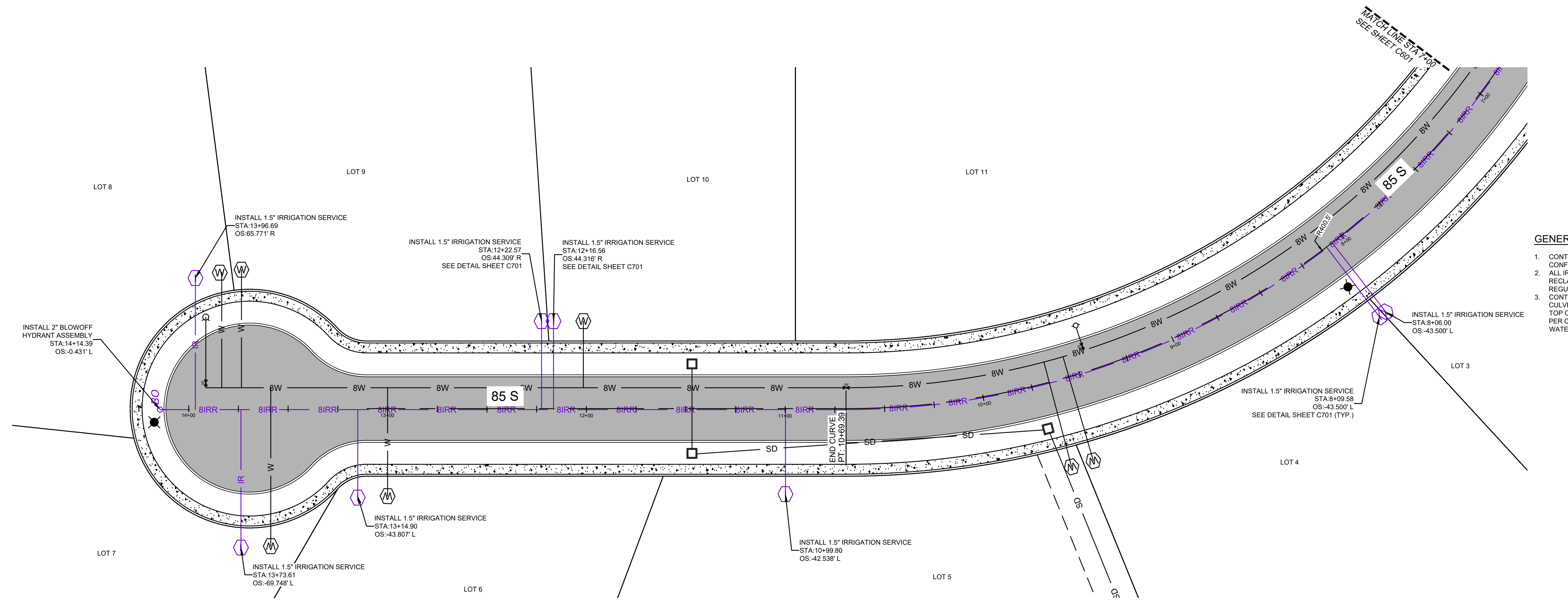
WATER PROFILE



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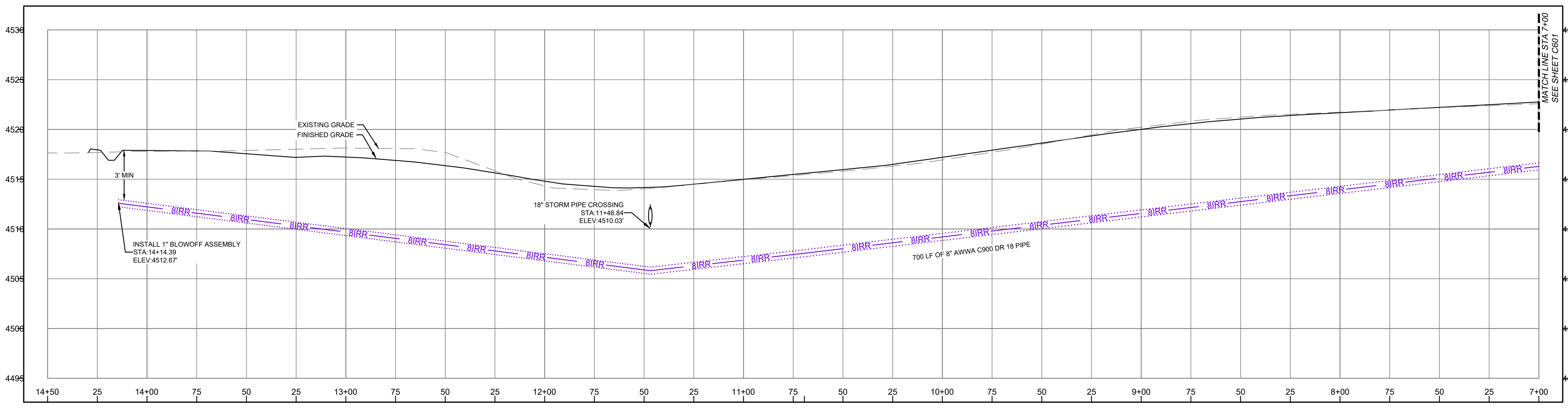
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SAVAGE SUBDIVISION
 900 W 85 S
 HYRUM, UTAH 84319



- GENERAL NOTES:**
- CONTRACTOR TO ENSURE 18" MINIMUM VERTICAL SEPARATION TO CONFLICTING WET UTILITY.
 - ALL IRRIGATION MAIN PIPE SHALL BE "PURPLE PIPE" FOR USE WITH RECLAIMED WATER SYSTEMS AS IS REQUIRED BY STATE REGULATIONS.
 - CONTRACTOR TO LOCATE EXISTING 8" WATER MAIN ON EAST SIDE OF CULVERTS. WATER MAIN TO BE VERTICALLY CENTERED BETWEEN TOP OF CULVERT AND PROPOSED ROADWAY GRADE AND INSULATED PER CITY STANDARD TO COMPENSATE FOR SUB-STANDARD COVER. WATER MAIN COVER TO BE 5' HEADING WEST OF THE CULVERT.

IRR PROFILE



MARK	DATE	DESCRIPTION

PROJECT #: 21-260
 DRAWN BY: B. LUD
 PROJECT MANAGER: M. TAYLOR
 ISSUED: 1/4/2023

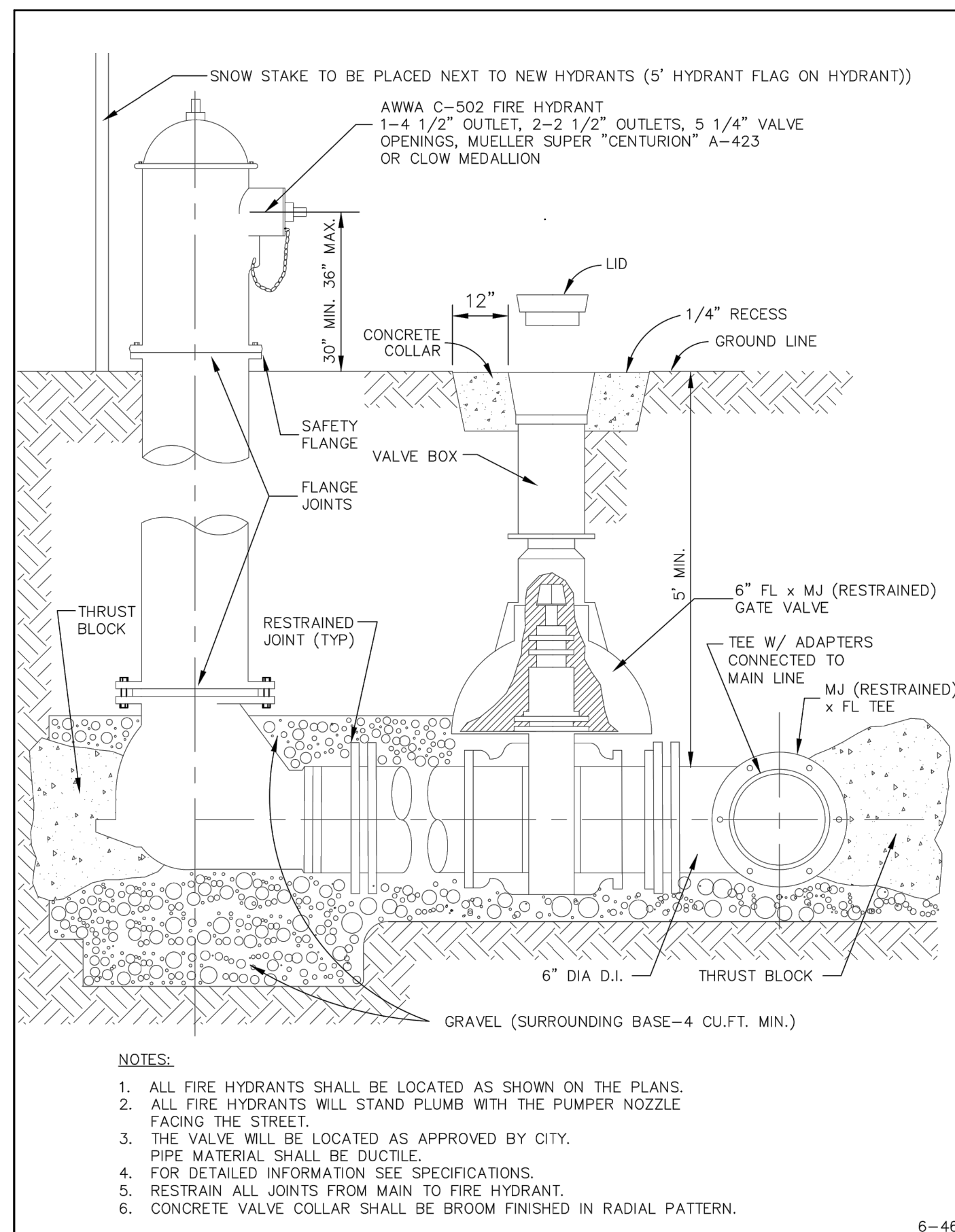
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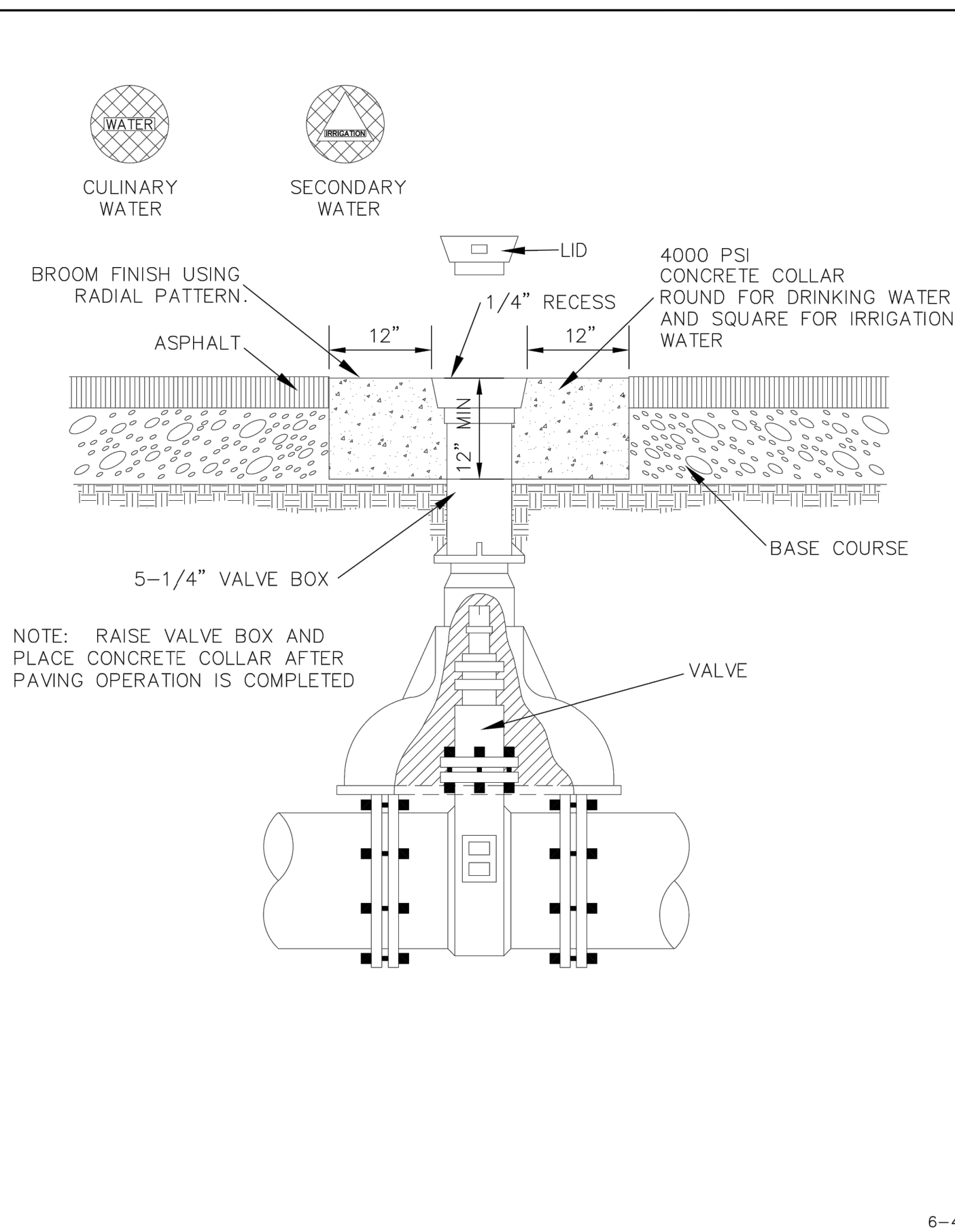
**IRRIGATION PLAN
 AND PROFILE
 STA 7+00 - 14+00**

C602

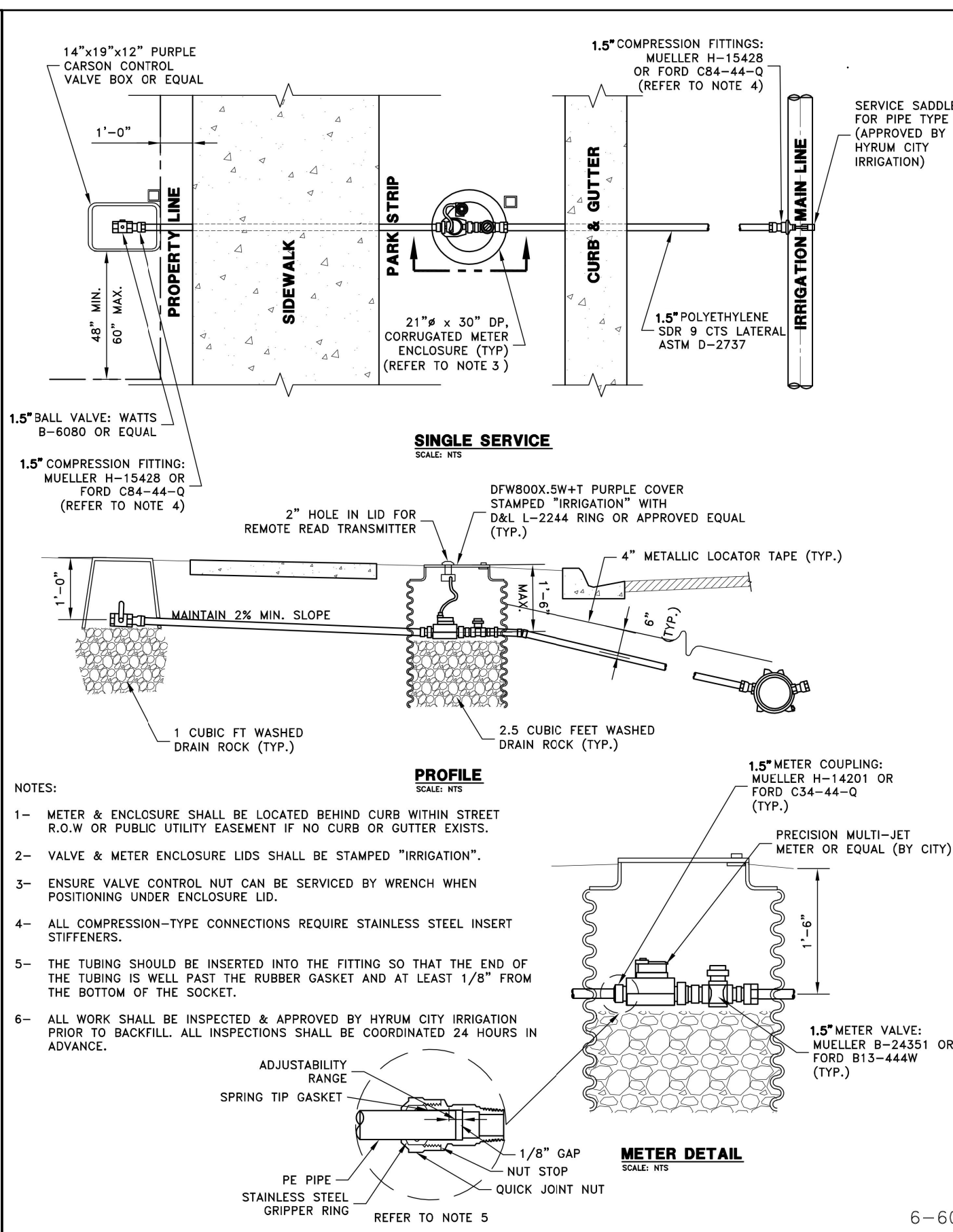
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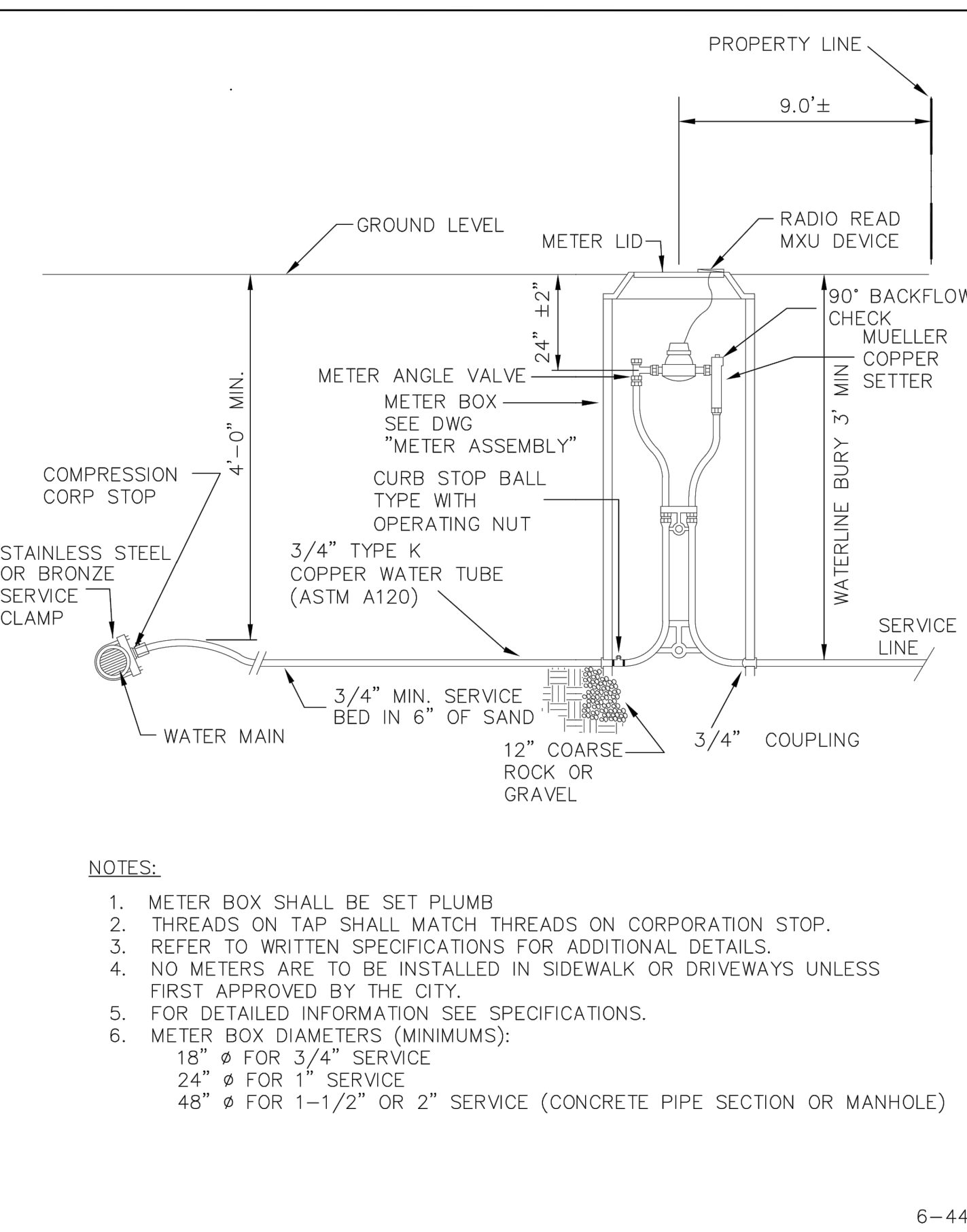
FIRE HYDRANT ASSEMBLY
 NOT TO SCALE
 REV. 07-08



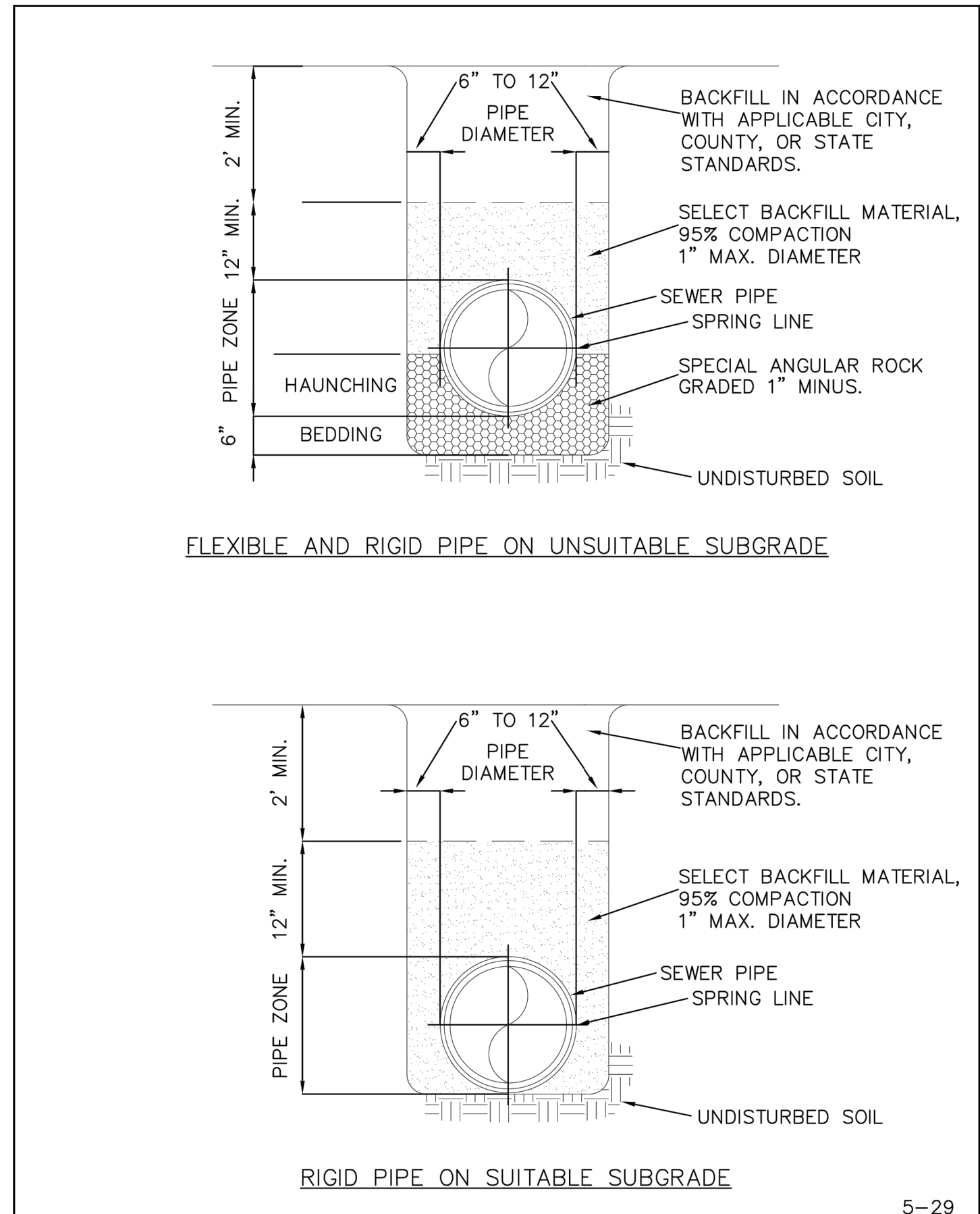
VALVE BOX COLLAR DETAIL
 REV. 07-08



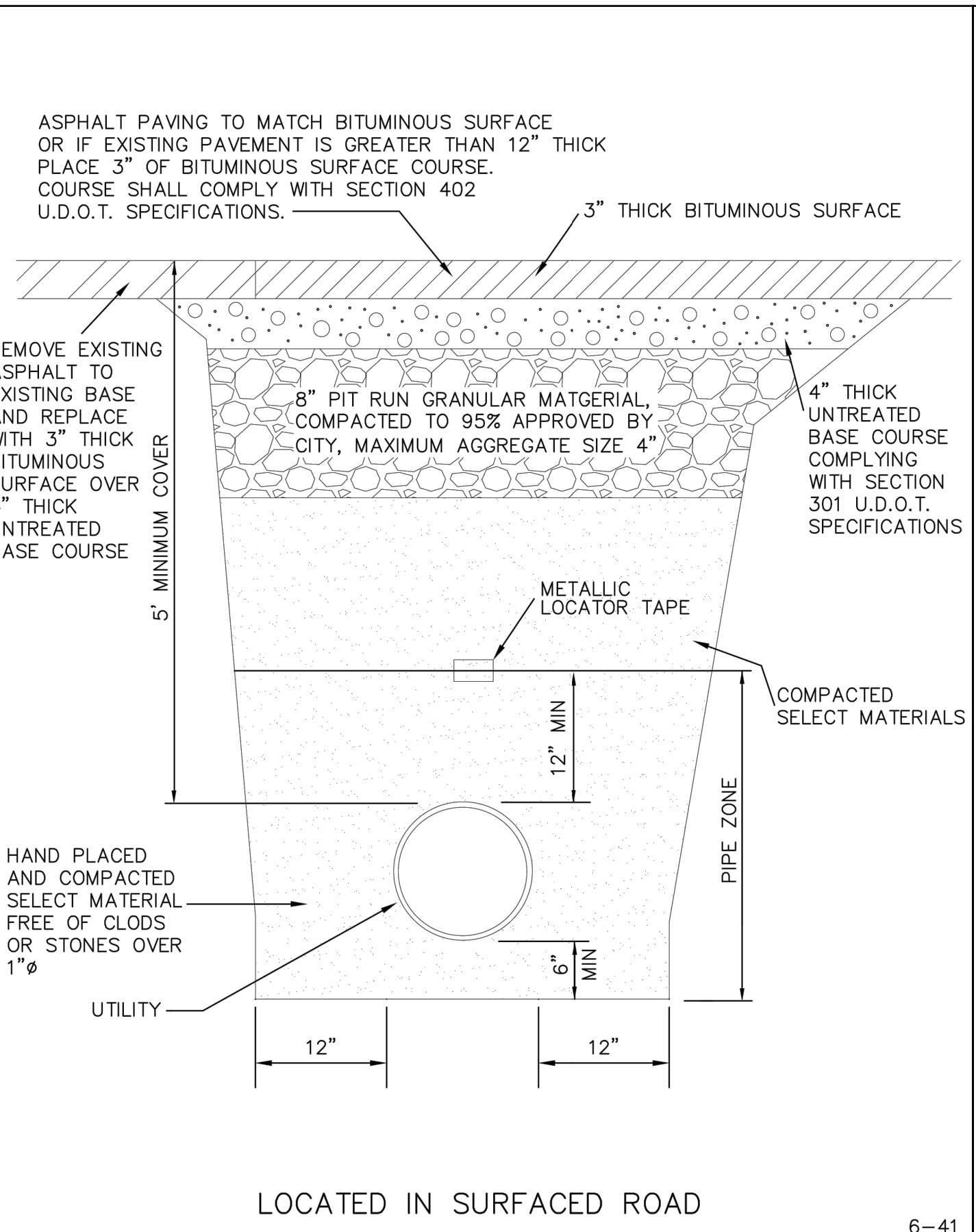
SINGLE IRRIGATION SERVICE
 NOT TO SCALE
 REV. 09-13



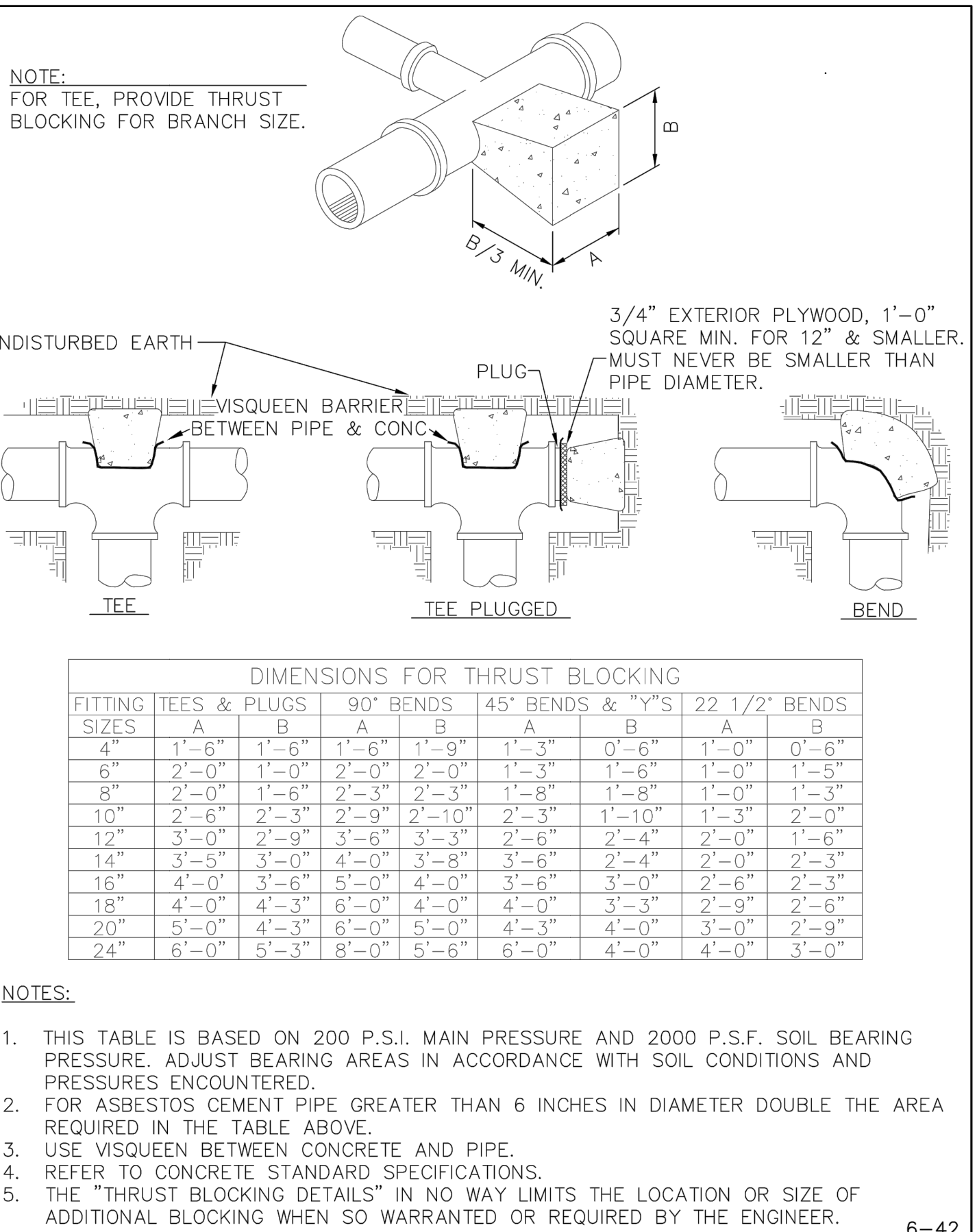
SERVICE CONNECTION & METER ASSEMBLY
 NOT TO SCALE
 REV. 04-07



PIPE INSTALLATION DETAIL
 NOT TO SCALE
 5-29



UTILITY TRENCH
 NOT TO SCALE
 REV. 04-07



THRUST BLOCK DETAIL
 NOT TO SCALE
 6-42

MARK	DATE	DESCRIPTION

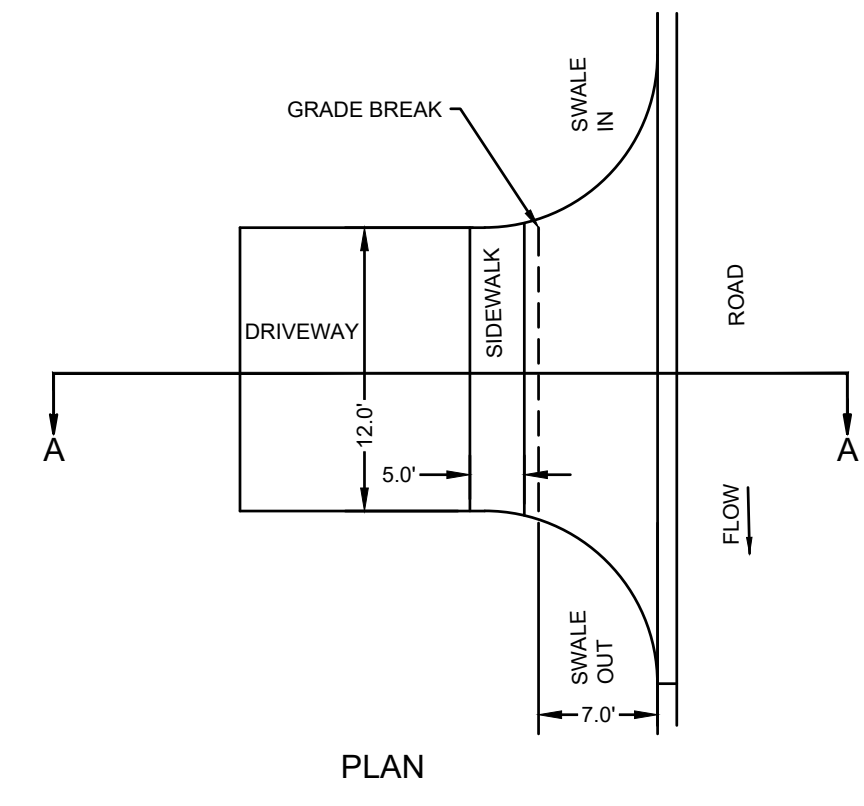
PROJECT #: 21-260
 DRAWN BY: B. LUD
 PROJECT MANAGER: ###
 ISSUED: 1/14/2023



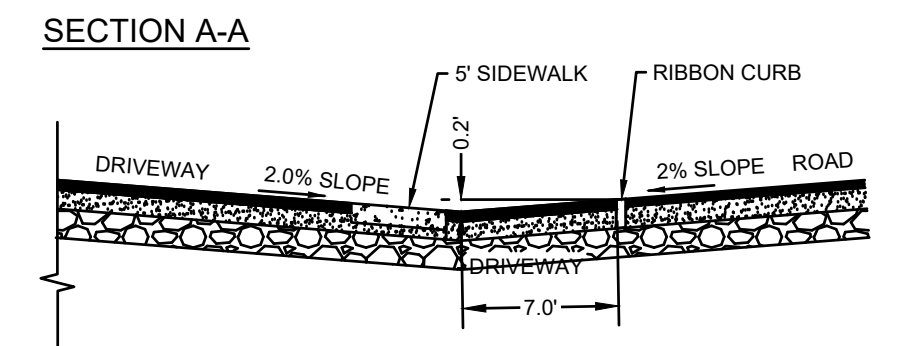
UTILITY DETAILS

C701

SAVAGE SUBDIVISION
 900 W 85 S
 HYRUM, UTAH 84319



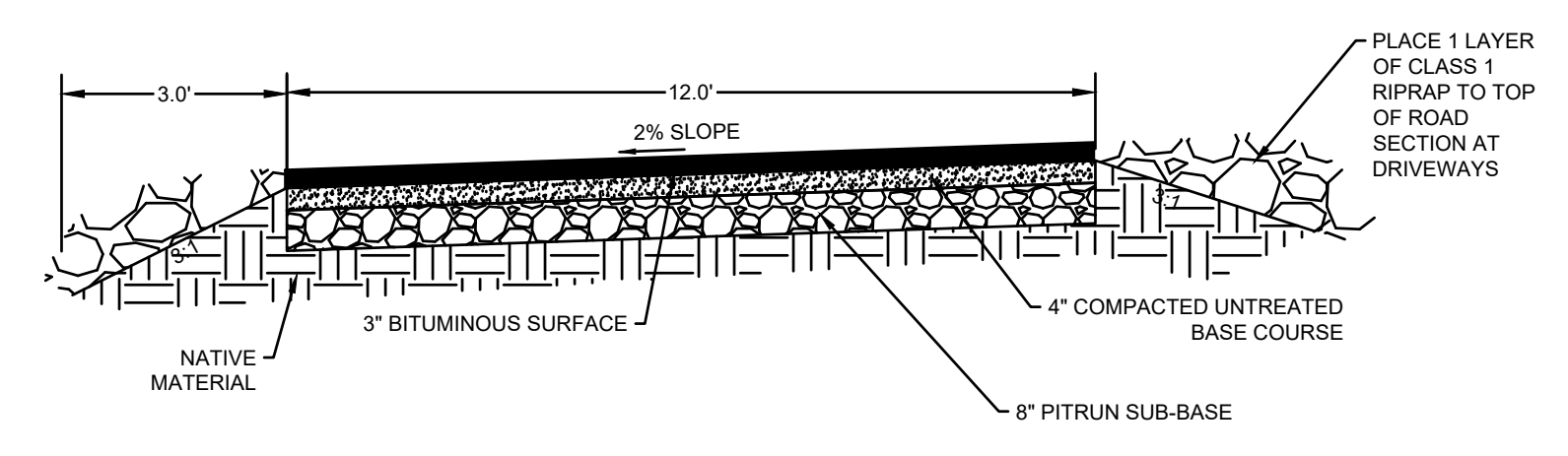
PLAN



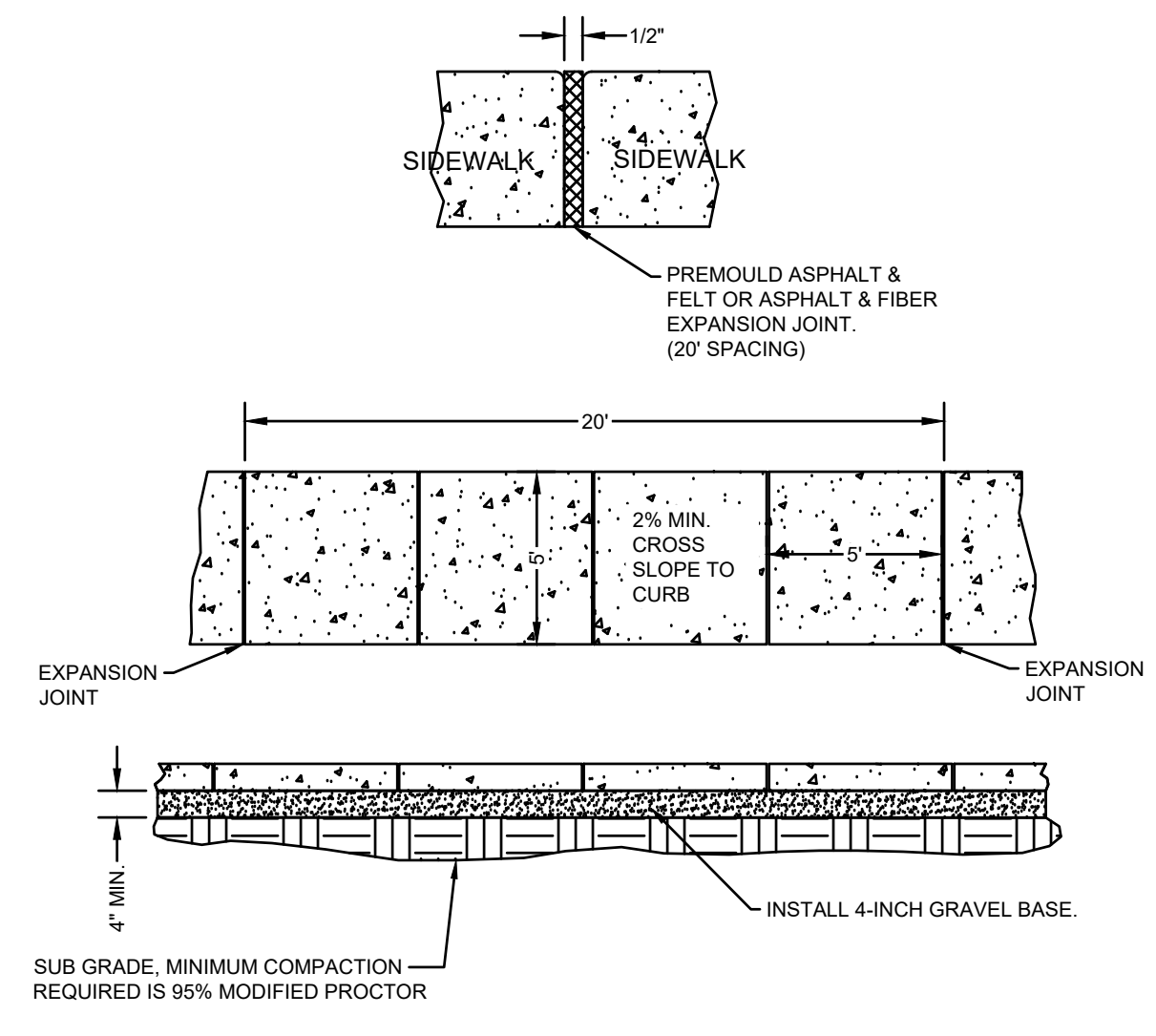
SECTION A-A



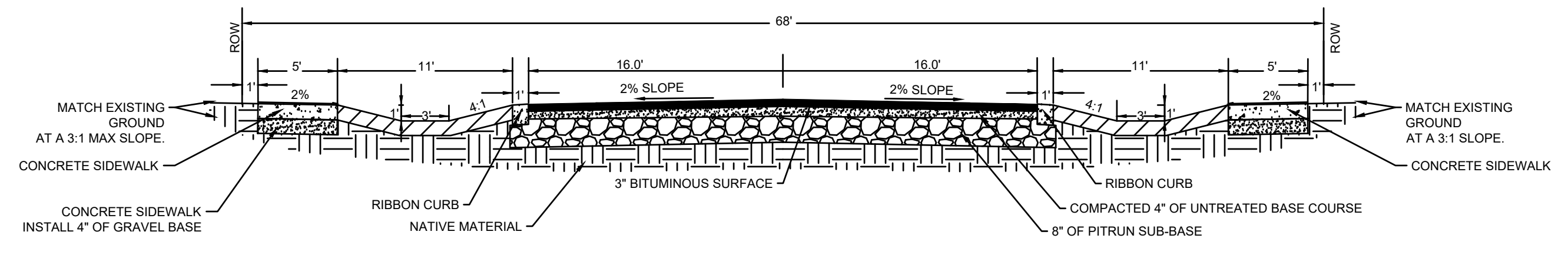
DRIVEWAY DRAIN TO SWALE
NOT TO SCALE



DRIVEWAY CROSS SECTION
NOT TO SCALE

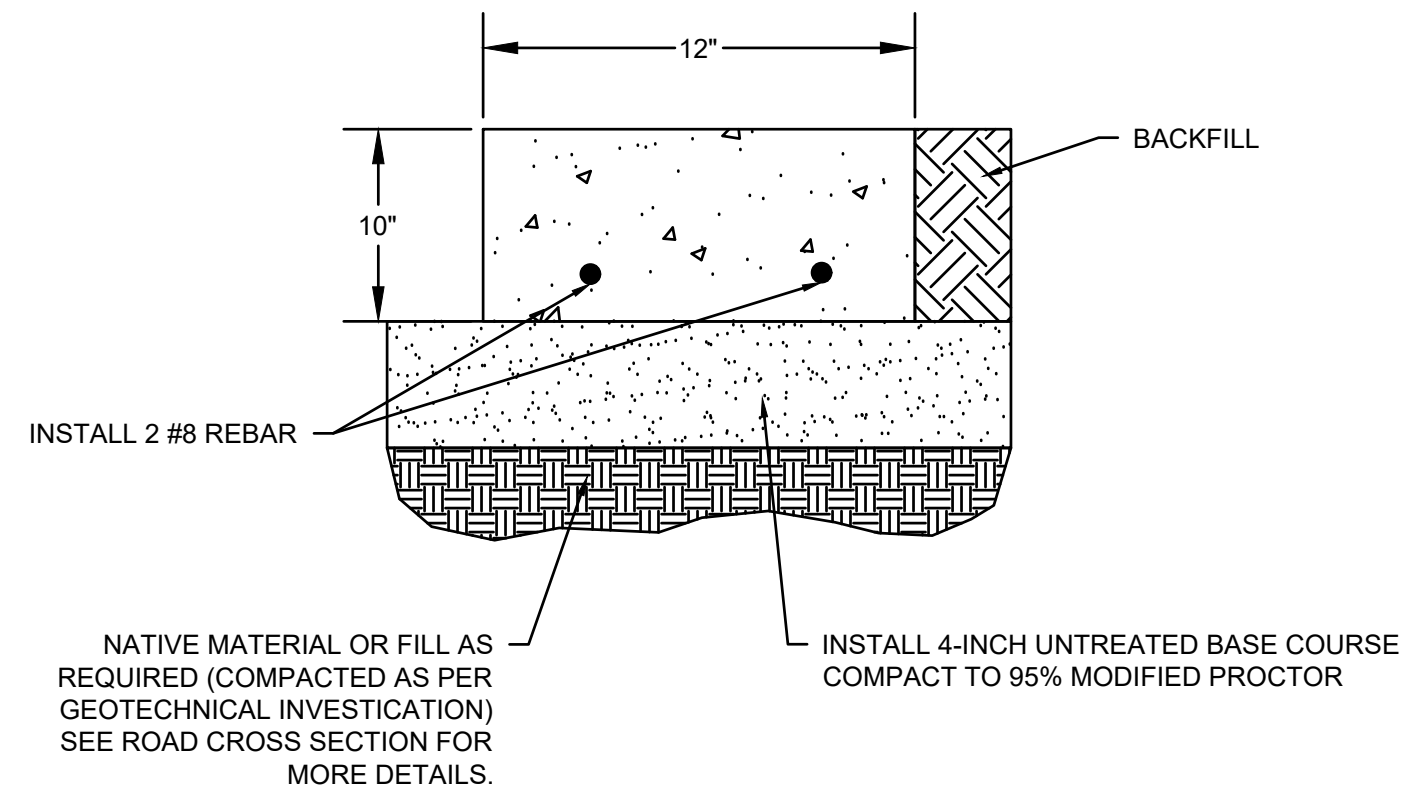


5' SIDEWALK
NOT TO SCALE



- NOTES:
 1. CONTRACTOR SHALL COMPACT ALL IMPORTED MATERIAL TO 95% MODIFIED PROCTOR.
 2. CONTRACTOR SHALL INSTALL CROSS SECTION ACCORDING TO THE CONSTRUCTION PLAN ELEVATIONS AS PROVIDED BY CONSTRUCTION STAKING METHODS.

68' ROW CROSS SECTION
NOT TO SCALE



1' RIBBON CURB
NOT TO SCALE

- NOTES:
 1. CONCRETE SHALL BE 4000 PSI, 28 DAY STRENGTH.
 2. PROVIDE CONTRACTION JOINTS @ 10' - 0\"/>

MARK	DATE	DESCRIPTION

PROJECT #: 21-260
 DRAWN BY: B. LUD
 PROJECT MANAGER: ###
 ISSUED: 1/4/2023

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SITE DETAILS

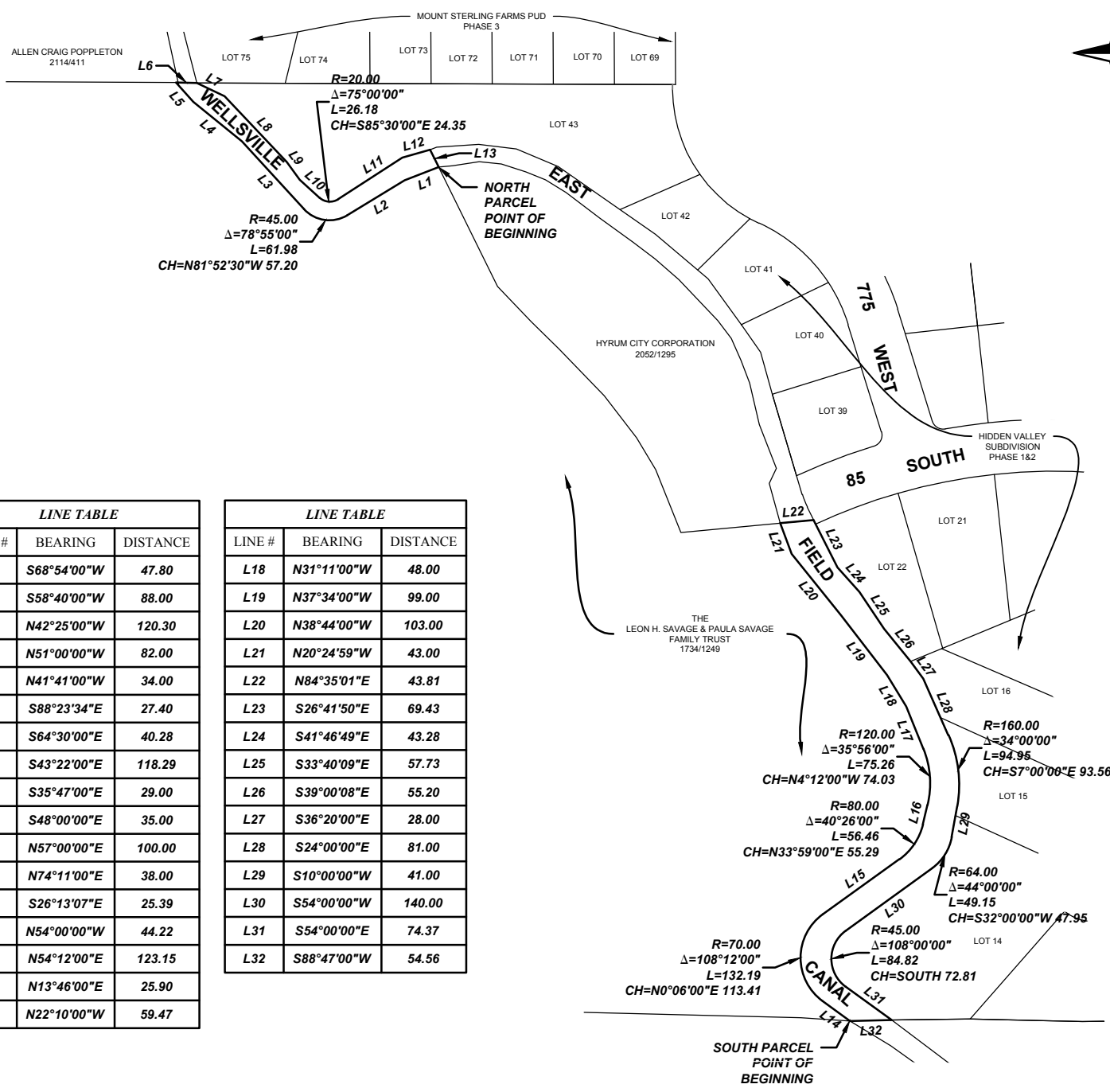
C702

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 SALT LAKE CITY | P: 801.216.3192
 info@civilsolutionsgroup.net
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LINE TABLE		
LINE #	BEARING	DISTANCE
L1	S68°54'00\" W	47.80
L2	S58°40'00\" W	88.00
L3	N42°25'00\" W	120.30
L4	N51°00'00\" W	82.00
L5	N41°41'00\" W	34.00
L6	S88°23'34\" E	27.40
L7	S64°30'00\" E	40.28
L8	S43°22'00\" E	118.29
L9	S35°47'00\" E	29.00
L10	S48°00'00\" E	35.00
L11	N57°00'00\" E	100.00
L12	N74°11'00\" E	38.00
L13	S26°13'07\" E	25.39
L14	N54°00'00\" W	44.22
L15	N54°12'00\" E	123.15
L16	N13°46'00\" E	25.90
L17	N22°10'00\" W	59.47

LINE TABLE		
LINE #	BEARING	DISTANCE
L18	N31°11'00\" W	48.00
L19	N37°34'00\" W	99.00
L20	N38°44'00\" W	103.00
L21	N20°24'59\" W	43.00
L22	N84°35'01\" E	43.81
L23	S26°41'50\" E	69.43
L24	S41°46'49\" E	43.28
L25	S33°40'09\" E	57.73
L26	S39°00'08\" E	55.20
L27	S36°20'00\" E	28.00
L28	S24°00'00\" E	81.00
L29	S10°00'00\" W	41.00
L30	S54°00'00\" W	140.00
L31	S54°00'00\" E	74.37
L32	S88°47'00\" W	54.56

**WELLSVILLE EAST FIELD CANAL
 EXHIBIT FOR
 SAVAGE SUBDIVISION**

LOCATION: SE1/4 & NE1/4 OF SECTION 6, T10, R1E, SLB&M

HYRUM, UTAH

PREPARED FOR: LEON H. AND PAULA F. SAVAGE

SCALE: NTS	DRAWN BY: A. BOWN
DATE: 8-1-2022	PROJECT #: 21-260



civilsolutionsgroup inc.

**LEGAL DESCRIPTIONS
PREPARED FOR
SAVAGE SUBDIVISION
HYRUM, UTAH
November 15, 2022
(Project No. 21-260)**

WELLSVILLE EAST FIELD CANAL PARCELS

NORTH CANAL PARCEL

A portion of the Wellsville East Field Canal located in the SE1/4 & the NE1/4 of Section 6, Township, Township 10 North, Range 1 East, Salt Lake Base & Meridian, located in Hyrum, Utah, more particularly described as follows:

Beginning at a point on the westerly line of that Real Property described in Deed Book 2052 Page 1295 of the Official Records of Cache County, located N89°44'00"W along the Section line 1,714.76 feet and North 2,918.94 feet from the Southeast Corner of Section 6, T10N, R1E, S.L.B.& M.; thence S68°54'00"W 47.80 feet; thence S58°40'00"W 88.00 feet; thence along the arc of a 45.00 foot radius curve to the right 61.98 feet through a central angle of 78°55'00" (chord: N81°52'30"W 57.20 feet); thence N42°25'00"W 120.30 feet; thence N51°00'00"W 82.00 feet; thence N41°41'00"W 34.00 feet to the south line of MOUNT STERLING FARMS PUD, Phase 3, according to the Official Plat thereof on file in the Office of the Cache County Recorder; thence S88°23'34"E along said Plat 27.40 feet to the westerly line of HIDDEN VALLEY Subdivision, Phase 2, according to the Official Plat thereof on file in the Office of the Cache County Recorder; thence along said Plat the following 7 (seven) courses and distances: S64°30'00"E 40.28 feet; thence S43°22'00"E 118.29 feet; thence S35°47'00"E 29.00 feet; thence S48°00'00"E 35.00 feet; thence along the arc of a 20.00 foot radius curve to the left 26.18 feet through a central angle of 75°00'00" (chord: S85°30'00"E 24.35 feet); thence N57°00'00"E 100.00 feet; thence N74°11'00"E 38.00 feet to the northwest corner of said Deed 2052/1295; thence S26°13'07"E along said deed 25.39 feet to the point of beginning.

Contains: 10,362 +/- s.f.

SOUTH CANAL PARCEL

A portion of the Wellsville East Field Canal located in the SE1/4 of Section 6, Township, Township 10 North, Range 1 East, Salt Lake Base & Meridian, located in Hyrum, Utah, more particularly described as follows:

Beginning at a point on the westerly line of the Hyrum Feeder Canal located N89°44'00"W along the Section line 1176.56 feet and North 1,804.04 feet from the Southeast Corner of Section 6, T10N, R1E, S.L.B.& M.; thence N54°00'00"W 44.22 feet; thence along the arc of a 70.00 foot radius curve to the right 132.19 feet through a central angle of 108°12'00" (chord: N0°06'00"E 113.41 feet); thence N54°12'00"E 123.15 feet; thence along the arc of a 80.00 foot radius curve to the left 56.46 feet through a central angle of 40°26'00" (chord: N33°59'00"E 55.29 feet); thence N13°46'00"E 25.90 feet; thence along the arc of a 120.00 foot radius curve to the left 75.26 feet through a central angle of 35°56'00" (chord: N4°12'00"W 74.03 feet); thence N22°10'00"W 59.47 feet; thence N31°11'00"W 48.00 feet; thence N37°34'00"W 99.00 feet; thence N38°44'00"W 103.00 feet; thence N20°24'59"W 43.00 feet to the south line of that Real Property described in Deed Book 2052 Page 1295 of the Official Records of Cache County;



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thence N84°35'01"E along said deed 43.81 feet to the westerly line of HIDDEN VALLEY Subdivision, Phase 1, according to the Official Plat thereof on file in the Office of the Cache County Recorder; thence along said Phase 1, and also along Phase 2 the following 12 (twelve) courses and distances: S26°41'50"E 69.43 feet; thence S41°46'49"E 43.28 feet; thence S33°40'09"E 57.73 feet; thence S39°00'08"E 55.20 feet; thence S36°20'00"E 28.00 feet; thence S24°00'00"E 81.00 feet; thence along the arc of a 160.00 foot radius curve to the right 94.95 feet through a central angle of 34°00'00" (chord: S7°00'00"E 93.56 feet); thence S10°00'00"W 41.00 feet; thence along the arc of a 64.00 foot radius curve to the right 49.15 feet through a central angle of 44°00'00" (chord: S32°00'00"W 47.95 feet); thence S54°00'00"W 140.00 feet; thence along the arc of a 45.00 foot radius curve to the left 84.82 feet through a central angle of 108°00'00" (chord: South 72.81 feet); thence S54°00'00"E 74.37 feet; thence S88°47'00"W 54.56 feet to the point of beginning.

Contains: 0.69 +/- acres

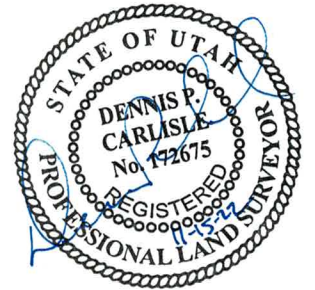


EXHIBIT C

FORM OF CONTINUATION RESOLUTION

RESOLUTION 23-02

A RESOLUTION APPROVING THE CONTINUATION OF THE PARTICIPANT'S ENTITLEMENT SHARE UNDER THE CARBON FREE POWER PROJECT POWER SALES CONTRACT FOR PHASE 1B OF THE LICENSING PERIOD FOR THE CARBON FREE POWER PROJECT; AND RELATED MATTERS.

***** ***** *****

WHEREAS, the entity named below (the "*Participant*") is a member of Utah Associated Municipal Power Systems ("*UAMPS*") pursuant to the provisions of the Utah Associated Municipal Power Systems Amended and Restated Agreement for Joint and Cooperative Action, as amended (the "*Joint Action Agreement*");

WHEREAS, the Participant has previously approved, executed and delivered the Carbon Free Power Sales Contract dated as of April 1, 2018 (the "*Power Sales Contract*") with UAMPS, with a current Entitlement Share and a current Development Cost Share shown on Schedule I attached hereto (initially capitalized terms used and not defined herein have the meanings assigned to them in the Power Sales Contract);

WHEREAS, at the direction of the Project Management Committee, UAMPS has delivered a notice dated January 4, 2023 (the "*UAMPS Notice*") to the Participant of (a) the delivery of the Class 3 Project Cost Estimate for the Project and the results of the related run of the economic competitiveness test, (b) the proposed adoption of an amendment to the Budget and Plan of Finance for the Project (the "*Amended BPF*"), and (c) the Participant's right to deliver a Notice of Withdrawal or a Notice of Reduction or to continue with its current Entitlement Share in the Project during the term of the Amended BPF, with any such withdrawal, reduction or continuation to be effective immediately before the Amended BPF takes effect;

WHEREAS, the Amended BPF is expected to be in effect from approximately March 1, 2023 until approximately January 31, 2024 (such period is referred to herein as "*Phase 1B of the Licensing Period*") and pursuant to the Power Sales Contract, the Participant will have the additional right to deliver a Notice of Withdrawal or a Notice of Reduction or to continue with its current Entitlement Share in the Project at the end of Phase 1B of the Licensing Period; and

WHEREAS, the Governing Body has determined that the Participant should continue with its current Entitlement Share during Phase 1B of the Licensing Period;

NOW, THEREFORE, BE IT RESOLVED by the Governing Body of the Participant, as follows:

Section 1. Continuation of Entitlement Share for Phase 1B of the Licensing Period. (a) The Participant hereby authorizes and approves maintaining and continuing its current Entitlement Share in the Project as shown on Schedule I attached hereto. The Participant acknowledges and agrees that Schedule I shows its correct Entitlement Share and its correct Development Cost Share as of the date hereof.

(b) The Participant acknowledges that its Development Cost Share for Phase 1B of the Licensing Period (as shown on the attached Schedule I) would, by operation of the provisions of the Power Sales Contract, increase if other Participants determine to withdraw from the Project or reduce their Entitlement Shares as provided in the UAMPS Notice. Upon receipt of notice from UAMPS of any such withdrawals or reductions, the Participant’s Representative is hereby authorized by and on behalf of the Participant, and is hereby delegated full authority, to give notice to UAMPS of the Participant’s election to (i) reduce its current Entitlement Share in such amount as shall be necessary to maintain its current Development Cost Share or (ii) maintain its current Entitlement Share, which will result in an increase in its current Development Cost Share, *provided that* the Participant’s current Development Cost Share may not be increased by more than ten percent without the approval of the Governing Body.

Section 2. Miscellaneous; Effective Date. (a) All prior resolutions that conflict with the provisions of this resolution respecting the Participant’s Entitlement Share or Development Cost Share are, to the extent of such conflict, hereby repealed.

(b) In case any provision in this resolution shall be invalid, illegal or unenforceable, the validity, legality and enforceability of the remaining provisions shall not in any way be affected or impaired thereby.

(c) This resolution shall take effect immediately upon its adoption and approval.

ADOPTED AND APPROVED this 2nd day of February 2023.

HYRUM CITY

By _____
Stephanie Miller
Mayor

ATTEST:

Stephanie Fricke
City Recorder

[SEAL]

Dated November 1, 2021

SCHEDULE I
SCHEDULE OF PARTICIPANTS, ENTITLEMENT SHARES
AND DEVELOPMENT COST SHARES

PARTICIPANT	ENTITLEMENT SHARE (KW)	DEVELOPMENT COST SHARE (%)
Beaver	2,155	1.8600
Blanding	2,500	2.1578
Brigham City	15,250	13.1626
Enterprise	392	0.3383
Ephraim	8,000	6.9049
Fairview	900	0.7768
Fallon	2,000	1.7262
Fillmore	3,019	2.6058
Holden	500	0.4316
Hurricane	20,000	17.2624
Hyrum	10,000	8.6312
Idaho Falls	5,000	4.3156
Kanosh	300	0.2589
Los Alamos	2,155	1.8600
Monroe	1,200	1.0357
Morgan	1,398	1.2066
Mt. Pleasant	3,000	2.5894
Oak City	500	0.4316
Paragonah	200	0.1726
Parowan	3,000	2.5894
Payson	5,000	4.3156
Santa Clara	5,000	4.3156
SESD	3,000	2.5894
Spring City	400	0.3452
Washington	17,990	15.5275
Weber Basin	2,000	1.7262
Wells REC	<u>1,000</u>	<u>0.8631</u>
	<u>115,859</u>	<u>100.0000</u>

RESOLUTION 23-03

A RESOLUTION AMENDING CHAPTER 7 HOUSING OF THE HYRUM CITY GENERAL PLAN.

WHEREAS, Utah State Code, Section 10-9-301 requires each municipality to prepare and adopt a comprehensive, long range general plan for: (a) present and futures needs of the municipality, and (b) growth and development of the land within the municipality; and

WHEREAS, the Hyrum City Council approved Resolution 08-21 adopting the revised Hyrum City General Plan on June 5, 2008;

WHEREAS, the Hyrum City General Plan has been prepared to act as an advisory guide for land use decisions, to guide the growth, development, and improvement of the City; and

WHEREAS, the Hyrum City General Plan focuses on improving the physical environment of the City as well as the quality of life of the citizens; and

WHEREAS, the Utah State Law requires communities to include a plan for moderate income housing as an element in their General Plans; and

WHEREAS, Utah State Law recently changed and Hyrum City's Housing Plan needs to be revised to include benchmarks for the implementation of strategies used to provide moderate income housing in Hyrum City.

WHEREAS, the Hyrum City Council supports the concepts and guidelines for planning and land use as set forth in the Hyrum City General Plan.

NOW, THEREFORE, upon two public hearings held and a recommendation of the Planning Commission, and following a public hearing held by the Hyrum City Council on February 2, 2023 as required by Utah State Law, the Hyrum City Council hereby amends Chapter 7 Housing of the Hyrum City General Plan as attached hereto as Exhibit "A".

This resolution shall be effective upon adoption.

ADOPTED AND PASSED by the Hyrum City Council this 2nd day of February, 2023.

HYRUM CITY

BY: _____
Stephanie Miller
Mayor

ATTEST:

Stephanie Fricke
City Recorder

HYRUM CITY
GENERAL PLAN UPDATE
CITY COUNCIL MEETING
JANUARY 12, 2023

Summary: The Hyrum City General Plan requires an update to the Moderate Income Housing strategies and implementation plan. This update is to bring this portion of the plan into conformance with changes to state code. Updating the Plan will allow the City to keep its eligibility to receive certain state funding opportunities.

ZONING: All allowing residential units

NOTES: Recommendations to the Hyrum City Council for the Moderate Income Housing Plan portion of the Hyrum City General Plan.

Staff discussions with the State review team have determined that the strategies are acceptable as long as they meet the wording as stated in state code. The items that need updating are the portions of the implementation plan. The implementation plan needs to include benchmarks for the implementation of the strategies used by the City to provide for moderate income housing.

Moderate housing is defined to be affordable housing for those making 80% of the median income. To be affordable all housing costs are to be no more than 30% of the moderate income amount. These costs as defined by Census.gov are:

Selected monthly owner costs are the sum of payments for mortgages, deeds of trust, contracts to purchase, or similar debts on the property (including payments for the first mortgage, second mortgages, home equity loans, and other junior mortgages); real estate taxes; fire, hazard, and flood insurance on the property; utilities (electricity, gas, and water and sewer); and fuels (oil, coal, kerosene, wood, etc.). It also includes, where appropriate, the monthly condominium fee for condominiums and mobile home costs (personal property taxes, site rent, registration fees, and license fees).

The Planning Commission makes the following recommendations for the update of the General Plan to meet the requirements set in Utah State Code.

- Update the strategies of the moderate income housing portion of Chapter 7 to reflect the wording as provided in the Utah State Code for strategies A through E of Goal 2.
- For strategies A through D, evaluate the current zoning for applicability and effectiveness in providing opportunities for moderate income housing. A workshop is recommended to evaluate the code and discuss possible changes to allow a greater variety of development opportunities. This could include work with a consultant, a selection of citizens to participate in the committee, and involvement with the Countywide Planner.
 - Set implementation benchmarks to provide a timeline for the workshop and adoption of any appropriate changes to zoning. The workshopping should be completed in six months and approved changes should be made within one year.
- For strategy E, evaluate single room occupancy developments. Look at the zoning needs for this kind of development.
 - This benchmark for this evaluation is recommended to be within one year. Any changes would be made in the following year.

Hyrum City General Plan



CHAPTER 7: Housing



7.1. INTRODUCTION

This chapter focuses on the need for varied housing opportunities in Hyrum. In Hyrum the median housing value is estimated at \$256,900, per the 2020 Census. The housing market in Hyrum is currently comprised of approximately 75% single-family detached homes, 21% multiple-unit attached homes and 4% mobile homes. The median monthly mortgage is \$1091, and the median rent is \$832. Nearly 80% of the homes in Hyrum have been built since 1970.

Addressing housing issues, the City has identified objectives to 1) maintain the current housing density mix, 2) provide for mixed-use and mixed-density developments with a rural atmosphere, 3) encourage quality senior housing projects, 4) review the need for more moderate income housing options, and 5) promote infill housing development.



Key Points

- Introduction
- Housing Density Mix
- Maintaining the Rural Atmosphere
- Senior Housing
- Moderate Income Housing
- Housing Goals

Hyrum City General Plan



CHAPTER 7: Housing

Hyrum's housing mix is 75% single-family and 25% multiple-unit

7.2. HOUSING DENSITY MIX

Single-family homes currently comprise 75% of the housing in Hyrum. The remaining housing stock, represented in various types of attached, mobile or multi-family housing units, provides most of the affordable housing options in the community. It is the City's desire to preserve existing areas of low-density housing, while at the same time allowing for increased medium to high density housing needs, such as senior and other quality attached housing in mixed-density developments. While the importance of providing affordable housing has increased in recent years, the concept of providing a healthy balance of quality mid-level and higher-end housing is being recognized as an increasingly important goal.

7.3. PRESERVING RURAL HERITAGE

In an effort to meet the City's objective to preserve elements of the rural heritage of the community, it is imperative that plans for future housing developments meet guidelines and requirements to achieve that objective. Ordinances should be put into place which will provide new developments direction to preserve Hyrum's rural heritage. Various elements important to the overall atmosphere should be included in development design requirements, including trees, landscaping, benches, fencing, mailboxes, dark-sky lighting, trails, open spaces, and rural street design.



Single-family home developments throughout the city should be required to provide variety in size and quality in architectural design, steering away from cookie-cutter type developments. Open spaces, landscaping, and other elements promoting a rural atmosphere should be incorporated into all residential neighborhoods.

Hyrum City General Plan



CHAPTER 7: Housing

Low density, rural housing developments are appropriate in various outlying areas of the community which promote larger estate homes with architectural design guidelines, open spaces, and animal rights.

Planned residential developments with mixed-use and mixed densities should be encouraged in certain areas of the community (see Chapter 2) which apply development design requirements for well-planned mixed-use and mixed-density housing, including interspersed open spaces and parks, homes clustering, trails, rural street design elements, and other rural design elements.

Multiple-family unit projects, developed in designated areas, should be regulated with design requirements for architecture and landscaping, as well as other elements consistent with the community's rural heritage.

7.4. SENIOR CITIZEN HOUSING

Seniors are a growing faction of Hyrum's population and play an important role in the community. More quality senior housing developments need to be encouraged, which will integrate within the single-family low-density zones, as well as in a specified senior housing high density zone located near the Senior Center and become an asset to the community. Assisted living residential projects are encouraged in facilities constructed for that purpose.



7.5. MODERATE INCOME HOUSING

Standards for moderate income housing appear to have been met through the development of both single-family homes and multiple-

Hyrum City General Plan



CHAPTER 7: Housing

family units during recent years, as well as in other existing low-cost housing options in existing older homes and mobile homes.

The State of Utah defines moderate income housing as “housing occupied or reserved for occupancy by households with a gross household income equal to or less than 80% of the median gross income of the metropolitan statistical area (MSA) for households of the same size.” In other words, moderate income housing is a function of the particular circumstances and income levels of the community, rather than a type of housing.

A Moderate Income Housing Plan has been prepared and updated to meet the requirements of Utah State Code, Section 10-9a-403, as an effort to determine community needs for moderate income housing and to establish guidance for future decision making with housing issues in Hyrum (see Appendix 7A). Several important goals are listed which will help the community to maintain a healthy balance of moderate income housing.

It is recommended that the Moderate Income Housing Plan be reviewed and updated regularly.



Hyrum City General Plan



CHAPTER 7: Housing

Goals	Strategies	Actions	Timing	Agency
<p>1. Provide for an attractive mix of housing types and densities that maintain the community's rural atmosphere.</p>	<p>A. Provide areas for residential development with rural densities that ensure compatibility with open spaces and environmentally sensitive areas.</p>	<p>i. Plan and maintain rural density zones near and outside of the current city boundaries.</p>	<p>0-2 years</p>	<p>City Council, Planning Commission, Zoning Administrator</p>
	<p>B. Require single-family home developments to provide variety in size and quality in architectural design.</p>	<p>i. Adopt zoning requirements for homes in all residential zones that provide for architectural variety.</p>	<p>0-2 years</p>	<p>City Council, Planning Commission, Zoning Administrator</p>
	<p>C. Provide for low and rural density housing developments which promote larger estate homes</p>	<p>i. Establish rural estate homes architectural design guidelines, open space requirements and animal rights.</p>	<p>0-2 years</p>	<p>City Council, Planning Commission, Zoning Administrator</p>
	<p>D. Prepare zoning to allow for planned residential developments with mixed-use and mixed densities.</p>	<p>i. Adopt zoning requirements for mixed-used and density zones, including homes clustering and rural design elements.</p>	<p>0-2 years</p>	<p>City Council, Planning Commission, Zoning Administrator</p>
	<p>E. Provide for multiple-family unit projects with design requirements.</p>	<p>i. Adopt zoning requirements for multi-family unit projects that provide for architectural variety.</p>	<p>0-2 years</p>	<p>City Council, Planning Commission, Zoning Administrator</p>
<p>2. Provide a reasonable opportunity for moderate income housing.</p>	<p>A. Rezone for densities necessary to facilitate the production of moderate income housing. (A)</p>	<p>i. Current City Code has implemented moderate income housing opportunities through planned unit developments.</p> <p>ii. Evaluate the code to determine other opportunities to allow for additional development opportunities.</p>	<p>i. Completed</p> <p>ii. Evaluation to take place in 6 months, applicable changes to be made with 1 year.</p>	<p>Planning Commission, City Council, Zoning Administrator</p>

Hyrum City General Plan



CHAPTER 7: Housing

Goals	Strategies	Actions	Timing	Agency
	B. Create or allow for, and reduce regulations related to, internal or detached accessory dwelling units in residential zones. (E)	i. City Code has current provisions for ADU's. ii. Review current number of ADU's iii. Evaluate the code to determine the possibility to allow detached ADU's.	i. Completed ii. Annually iii. Evaluation to take place in 6 months, applicable changes to be made with 1 year.	City Council, Planning Commission, Zoning Administrator
	C. Zone or rezone for higher density or moderate income residential development in commercial or mixed-use zones near major transit investment corridors, commercial centers, or employment centers. (F)	i. City Code has provisions for higher density developments in commercial areas along transit corridors. ii. Evaluate the code to study the current requirements for planned unit developments in mixed use zones.	i. Completed ii. Evaluation to take place in 6 months, applicable changes to be made with 1 year.	Planning Commission, City Council, Zoning Administrator
	D. Amend land use regulations to allow for higher density or new moderate income residential development in commercial or mixed-use zones near major transit investment corridors. (G)	i. City Code has provisions for higher density developments in commercial areas along transit corridors. ii. Review development in commercial zones to monitor higher density development.	i. Completed ii. Evaluation to take place in 6 months, applicable changes to be made with 1 year.	Planning Commission, City Council, Zoning Administrator
	E. Amend land use regulations to allow for single room occupancy developments. (I)	i. City Code allows for single room occupancy in commercial zones. ii. Evaluate the availability and usage of single room developments.	i. Completed ii. Evaluation to take place in 12 months	

Hyrum City General Plan



CHAPTER 7: Housing

Goals	Strategies	Actions	Timing	Agency
3. Encourage the orderly development of housing for senior citizens in locations which blend well into the surrounding neighborhoods.	A. Encourage the development of senior housing projects which meet the needs of the community.	i. Provide for quality senior housing developments in a specialized high-density zone which compliments a low-density, rural environment.	0-2 year	Planning Commission, Zoning Administrator
		ii. Encourage the location of assisted living residential facilities throughout the community.	0-20 years	Planning Commission, Zoning Administrator

DRAFT



Gateway Mapping, Inc.

Authorization for Contract Amendments

CLIENT: Hyrum City Corporation
Project Name: Hyrum City: Routine GIS Services 2020
GMI Project Number: 55-20-042

- 1. Amendments. The following amendments to Attachment 1 – Scope of Services, Basis of Fee and Schedule to the project referenced above have been or will be performed by Gateway Mapping, Inc. (GMI). These Amendments are a supplement to the scope of services contained in GMI's existing Agreement for Professional Services for this Project, dated 1/24/2023. All other TERMS AND CONDITIONS of said Agreement remain in full force and effect.

Amendments:

Write and submit a technical assistance grant (TAG) under the Pipeline and Hazardous Materials Safety Administration (PHMSA) for GIS funding and a hazardous pipeline safety analysis.

- 2. Verbal Authorization by CLIENT, if Applicable. GMI was verbally authorized by the CLIENT to provide these Amendments by:

Stephanie Miller 1/18/2023
Name Date

- 3. Payment for Amendments. Unless otherwise noted below, GMI will provide these Amendments on a time and materials basis, using GMI's standard billing rates or, if applicable, the billing rates established in the initial Agreement for Professional Services.

Other Basis for Payment:

\$2,500 lump sum for grant writing services.

- 4. Schedule of Services. Due to the Amendments, the Schedule of Services to be performed under the original Agreement for Professional Services is modified as follows:

Grant to be prepared and submitted by the grant deadline, assumed to be by May 2023.

Dated this 24th day January of, 2023

CLIENT

Gateway Mapping, Inc.

By: Project Representative or Authorized Signatory for CLIENT

By: [Signature] Project Representative or Authorized Signatory for GMI

Print or Type Name and Title

Kasey Hansen, Gateway Mapping General Manager
Print or Type Name and Title

HYRUM CITY CORPORATION
 COMBINED CASH INVESTMENT
 DECEMBER 31, 2022

COMBINED CASH ACCOUNTS

01-1111000	GENERAL CHECKING ACCT	1,127,443.81
01-1112000	XPRESS DEPOSIT ACCOUNT	71,509.52
01-1113000	PAYROLL CHECKING ACCOUNT	92,764.66
01-1151000	UNDESIGNATED CASH - PTIF	1,048,189.99
01-1151100	BANK OF UTAH	2,661,922.56
01-1151500	CACHE VALLEY BANK SAVINGS	10,030,556.58
01-1151710	PTIF SWR DEBT SERVICE #4099	178,858.05
01-1151720	PTIF-SWR O&M RESERVE #4100	216,365.00
01-1175000	UTILITY CASH CLEARING	(1,737.82)
	TOTAL COMBINED CASH	15,425,872.35
01-1801110	DESIGNATED CASH - SENIOR	(36,036.74)
01-1801120	DESIGNATED CASH - MUSEUM	(15,934.81)
01-1801130	DESIGNATED CASH - FIRST RESP.	(5,601.44)
01-1801140	DESIGNATED CASH - FIRE DEPT	(277,569.47)
01-1801155	DESIGNATED CASH - ELITE HALL	(3,603.89)
01-1801240	REST CASH-SEWER DEBT SERVICE	(259,879.55)
01-1801250	REST CASH-SEWER O&M RESERVE	(129,939.77)
01-1010000	CASH ALLOCATED TO OTHER FUNDS	(14,697,306.68)
	TOTAL UNALLOCATED CASH	.00

CASH ALLOCATION RECONCILIATION

10	ALLOCATION TO GENERAL FUND	3,407,825.59
45	ALLOCATION TO CAPITAL PROJECTS FUND	893,683.64
51	ALLOCATION TO WATER UTILITY FUND	3,292,280.30
52	ALLOCATION TO SEWER UTILITY FUND	3,304,952.81
53	ALLOCATION TO ELECTRIC UTILITY FUND	2,322,470.72
54	ALLOCATION TO IRRIGATION UTILITY FUND	780,475.20
55	ALLOCATION TO STORMWATER FUND	719,619.93
72	ALLOCATION TO COURT TRUST FUND	(24,001.51)
	TOTAL ALLOCATIONS TO OTHER FUNDS	14,697,306.68
	ALLOCATION FROM COMBINED CASH FUND - 01-1010000	(14,697,306.68)
	ZERO PROOF IF ALLOCATIONS BALANCE	.00

HYRUM CITY CORPORATION
BALANCE SHEET
DECEMBER 31, 2022

GENERAL FUND

ASSETS

10-1010000	CASH IN COMBINED FUND	3,407,825.59
10-1131000	PETTY CASH	400.00
10-1311000	ACCTS REC - UTILITIES	103,649.53
10-1311001	ACCTS REC - PRIOR PERIOD	91,623.07
10-1311410	LEVIED PROP TAXES RECEIVABLE	716,350.00
10-1311411	LEVIED PROP TAXES REC 5 YEAR	6,417.85
10-1312000	ALLOW FOR BAD UTILITY ACCOUNTS	(874.49)
10-1561100	PPD EXPENSE	24,462.06
10-1561101	PPD EXPENSE - STAMPS	228.10
10-1571000	DEFERRED OUTFLOW OF RESOURCES	166,531.00
10-1611000	LAND - GENERAL MUNICIPAL	912,193.55
10-1621000	BUILDINGS - GENERAL MUNICIPAL	7,821,150.79
10-1622000	DEPRECIATION - BUILDINGS	(5,537,120.10)
10-1631000	IMPROVE - GEN MUNICIPAL	3,907,725.43
10-1632000	DEPRECIATION - IMPROVEMENTS	(2,046,968.72)
10-1651000	EQUIPMENT - GENERAL MUNICIPAL	4,059,703.58
10-1652000	DEPRECIATION - EQUIPMENT	(2,733,798.55)
10-1661000	INFRASTRUCTURE - ROADS	8,541,020.82
10-1662000	DEPRECIATION - ROADS	(4,959,735.46)
10-1671000	INFRASTRUCTURE-SIDEWALKS	2,019,271.33
10-1672000	DEPRECIATION - SIDEWALKS	(1,756,793.54)
10-1681000	INFRASTRUCTURE-CURB & GUTTER	1,242,632.31
10-1682000	DEPRECIATION - CURB & GUTTER	(1,135,164.34)
10-1711000	CONSTRUCTION IN PROGRESS	5,837,546.01
10-1801110	DESIGNATED CASH - SENIOR	35,993.74
10-1801120	DESIGNATED CASH - MUSEUM	15,934.81
10-1801130	DESIGNATED CASH - FIRST RESP.	5,601.44
10-1801140	DESIGNATED CASH - FIRE DEPT	277,569.47
10-1801155	DESIG CASH - ELITE HALL	3,603.89
10-1841000	SPEC FUND AMTS TO BE PROVIDED	262,298.77
		21,289,277.94
	TOTAL ASSETS	21,289,277.94

LIABILITIES AND EQUITY

HYRUM CITY CORPORATION
BALANCE SHEET
DECEMBER 31, 2022

GENERAL FUND

LIABILITIES

10-2131000	ACCTS PAY - GENERAL	(	100.00)	
10-2131110	ACCTS PAY - CONTRACTOR DEP		638,269.72	
10-2131130	ACCTS PAY - PARK DEPOSITS		1,850.00	
10-2131140	ACCTS PAY - DISPATCH		1,254.45	
10-2131150	ACCTS PAY - OTHER		6,379.63	
10-2131160	ZONING/SUBDIVISION DEPOSITS		1,122,265.40	
10-2220000	INSURANCE - CITY PORTION		.16	
10-2220200	ULGT INSURANCE - CITY PORTION		.11	
10-2222000	DISABILITY INSURANCE PAYABLE	(	.08)	
10-2224000	WORKER'S COMPENSATION PAYABLE	(	21,692.18)	
10-2227000	TRUST INSURANCE-EMPLOYEE		.51	
10-2228000	ACCRUED VAC PAY - GENERAL		78,664.90	
10-2228001	DEFERRED INFLOWS OF RESOURCES		513,396.00	
10-2228002	UNFUNDED PENSION PAYABLE	(	376,207.00)	
10-2228003	DEFERRED REVENUE ARPA		510,032.00	
10-2229000	CONSECO INSURANCE PAYABLE	(	.04)	
10-2230100	ACCRUED SICK LEAVE - GENERAL		154,432.87	
10-2240000	UNEARNED PROPERTY TAXES		716,350.00	
10-2411050	STATE ASSESSMENT PAYABLE	(	645.88)	
10-2411105	NON-UTILITY SALES TAX		602.59	
	TOTAL LIABILITIES			3,344,853.16

FUND EQUITY

UNAPPROPRIATED FUND BALANCE:				
10-2951000	GEN FUND - PRIOR YR UNAPPROP		459,456.89	
10-2951060	GENERAL FUND - DESIGNATED		338,746.35	
10-2971000	INVEST IN GENERAL FIXED ASSETS		16,171,663.11	
10-2971001	UNFUNDED PENSION ADJ.	(	40,533.00)	
10-2972100	UNCOLLECTED PROPERTY TAX		105,493.85	
	REVENUE OVER EXPENDITURES - YTD		909,597.58	
	BALANCE - CURRENT DATE		17,944,424.78	
	TOTAL FUND EQUITY			17,944,424.78
	TOTAL LIABILITIES AND EQUITY			21,289,277.94

HYRUM CITY CORPORATION
REVENUES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING DECEMBER 31, 2022

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>TAXES</u>					
10-3110 GEN PROPERTY TAXES - CURRENT	546,284.66	547,420.50	716,350.00	168,929.50	76.4
10-3115 FEE IN LIEU	3,457.58	20,004.26	50,000.00	29,995.74	40.0
10-3120 GEN PROP TAXES - DELINQUENT	1.00	1,178.08	15,000.00	13,821.92	7.9
10-3130 GENERAL SALES TAX	154,933.23	1,030,414.31	1,800,000.00	769,585.69	57.3
10-3140 FRANCHISE TAXES	570.20	15,110.33	55,000.00	39,889.67	27.5
10-3145 ENERGY SALES AND USE TAX	64,386.63	326,940.43	510,000.00	183,059.57	64.1
10-3150 MASS TRANSIT TAX	164,813.30	164,813.30	310,000.00	145,186.70	53.2
TOTAL TAXES	934,446.60	2,105,881.21	3,456,350.00	1,350,468.79	60.9
<u>LICENSES AND PERMITS</u>					
10-3210 BUSINESS LICENSES	6,225.75	7,485.75	17,000.00	9,514.25	44.0
10-3221 BUILDING PERMITS	4,511.53	37,257.57	50,000.00	12,742.43	74.5
10-3225 ANIMAL LICENSES	504.00	1,344.52	11,000.00	9,655.48	12.2
TOTAL LICENSES AND PERMITS	11,241.28	46,087.84	78,000.00	31,912.16	59.1
<u>INTERGOVERNMENTAL REVENUES</u>					
10-3340 STATE - FEDERAL GRANTS	.00	392,613.16	605,000.00	212,386.84	64.9
10-3342 ARPA- FEDERAL GRANTS	.00	510,032.00	.00	(510,032.00)	.0
10-3356 CLASS C ROAD ALLOTMENT	15,625.28	264,680.24	600,000.00	335,319.76	44.1
TOTAL INTERGOVERNMENTAL REVENUES	15,625.28	1,167,325.40	1,205,000.00	37,674.60	96.9
<u>CHARGES FOR SERVICES</u>					
10-3413 ZONING & SUBDIVISION FEES	1,450.00	46,320.84	50,000.00	3,679.16	92.6
10-3415 SALE OF MAPS & PUBLICATIONS	.00	28.14	1,000.00	971.86	2.8
10-3422 SPECIAL PROTECTIVE SERVICES	3,412.50	123,569.50	120,000.00	(3,569.50)	103.0
10-3440 SOLID WASTE COLLECTION	86,286.80	514,070.04	1,000,000.00	485,929.96	51.4
10-3441 EMERGENCY MEDICAL SERVICES	15,895.04	94,525.08	200,000.00	105,474.92	47.3
10-3455 ANIMAL CONTROL FEES	135.00	1,225.00	3,000.00	1,775.00	40.8
10-3473 RECREATION REVENUES	.00	3,542.83	20,000.00	16,457.17	17.7
10-3474 COMMUNITY PROGRESS REVENUES	.00	.00	2,000.00	2,000.00	.0
10-3475 YOUTH COUNCIL ACTIVITIES	.00	1,777.83	3,000.00	1,222.17	59.3
10-3476 LIBRARY USE FEES	574.00	3,117.00	55,000.00	51,883.00	5.7
10-3477 ROAD IMPACT FEES	6,232.00	24,928.00	77,900.00	52,972.00	32.0
10-3479 PARK IMPACT FEES	13,302.00	93,114.00	221,700.00	128,586.00	42.0
10-3480 CEMETERY	5,750.00	34,050.00	60,000.00	25,950.00	56.8
10-3490 MISCELLANEOUS	4,335.00	13,323.65	100,000.00	86,676.35	13.3
TOTAL CHARGES FOR SERVICES	137,372.34	953,591.91	1,913,600.00	960,008.09	49.8

HYRUM CITY CORPORATION
REVENUES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING DECEMBER 31, 2022

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>FINES AND FORFEITURES</u>					
10-3510 COURT FINES	7,237.13	42,901.91	100,000.00	57,098.09	42.9
10-3512 LIBRARY FINES	431.21	2,420.06	6,500.00	4,079.94	37.2
10-3513 PARKING TICKETS	80.00	240.00	400.00	160.00	60.0
TOTAL FINES AND FORFEITURES	7,748.34	45,561.97	106,900.00	61,338.03	42.6
<u>MISCELLANEOUS REVENUES</u>					
10-3610 INTEREST EARNINGS	8,885.03	29,319.93	20,300.00	(9,019.93)	144.4
10-3620 BUILDING & FACILITY RENTS	1,455.00	18,563.25	30,000.00	11,436.75	61.9
10-3622 LIBRARY ROOM RENTAL FEES	.00	.00	100.00	100.00	.0
10-3640 SALE OF FIXED ASSETS	.00	.00	35,000.00	35,000.00	.0
10-3650 SALE OF MATERIAL & SUPPLIES	11,212.13	12,367.72	10,000.00	(2,367.72)	123.7
10-3651 SALE OF LIBRARY MAT'L & BOOKS	155.00	929.00	1,000.00	71.00	92.9
10-3652 LIBRARY COPY & LAMINATING FEES	193.00	785.45	2,000.00	1,214.55	39.3
TOTAL MISCELLANEOUS REVENUES	21,900.16	61,965.35	98,400.00	36,434.65	63.0
<u>CONTRIBUTIONS AND TRANSFERS</u>					
10-3869 CONTRIBUTIONS - SENIOR CENTER	.00	117.73	.00	(117.73)	.0
10-3870 CONTRIBUTIONS - PRIVATE	152.69	2,249.67	10,000.00	7,750.33	22.5
10-3871 CONTRIBUTIONS - SR. CIT. TRIPS	68.00	422.00	10,000.00	9,578.00	4.2
10-3872 CONTRIBUTIONS - NEW LIBRARY	569.70	2,999.18	2,000.00	(999.18)	150.0
10-3874 DONATIONS - ELITE HALL	.00	.00	10,000.00	10,000.00	.0
10-3875 CONTRIBUTIONS - MUSEUM	56.00	16,660.00	20,000.00	3,340.00	83.3
10-3876 CONTRIBUTIONS - MISC.	.00	902.82	7,000.00	6,097.18	12.9
10-3891 CONTRIBUTIONS - DESIGNATED GF	.00	.00	30,500.00	30,500.00	.0
10-3893 TRANS FM/TO GEN FUND UNAPPROP	.00	.00	659,282.00	659,282.00	.0
TOTAL CONTRIBUTIONS AND TRANSFERS	846.39	23,351.40	748,782.00	725,430.60	3.1
TOTAL FUND REVENUE	1,129,180.39	4,403,765.08	7,607,032.00	3,203,266.92	57.9

HYRUM CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING DECEMBER 31, 2022

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>CITY COUNCIL</u>					
10-4110-110 SALARY & WAGES	2,500.00	15,000.00	30,000.00	15,000.00	50.0
10-4110-130 EMPLOYEE BENEFITS	191.25	1,147.50	3,300.00	2,152.50	34.8
10-4110-230 TRAVEL & MEETINGS	.00	3,661.92	10,000.00	6,338.08	36.6
10-4110-510 INSURANCE	403.99	403.99	300.00	(103.99)	134.7
10-4110-610 MISCELLANEOUS	.00	.00	300.00	300.00	.0
TOTAL CITY COUNCIL	3,095.24	20,213.41	43,900.00	23,686.59	46.0
<u>J. P. COURT</u>					
10-4120-110 SALARY & WAGES	6,998.15	44,456.09	89,500.00	45,043.91	49.7
10-4120-115 OVERTIME	.00	.00	100.00	100.00	.0
10-4120-130 EMPLOYEE BENEFITS	1,703.36	10,825.01	22,600.00	11,774.99	47.9
10-4120-210 BOOKS, SUBSCRIP & MEMBERSHIPS	.00	118.59	700.00	581.41	16.9
10-4120-230 TRAVEL & TRAINING	.00	837.12	4,000.00	3,162.88	20.9
10-4120-240 OFFICE SUPPLIES & EXPENSE	.00	573.59	1,500.00	926.41	38.2
10-4120-250 EQUIP SUPPLIES & MAINTENANCE	.00	246.87	1,400.00	1,153.13	17.6
10-4120-280 TELEPHONE	40.01	240.06	1,000.00	759.94	24.0
10-4120-510 INSURANCE	807.31	807.31	700.00	(107.31)	115.3
10-4120-620 WITNESS, JURY & BALIFF FEES	200.00	1,015.50	1,800.00	784.50	56.4
TOTAL J. P. COURT	9,748.83	59,120.14	123,300.00	64,179.86	48.0
<u>MAYOR</u>					
10-4130-110 SALARY & WAGES	4,500.13	18,734.33	18,400.00	(334.33)	101.8
10-4130-130 EMPLOYEE BENEFITS	574.14	2,232.99	5,600.00	3,367.01	39.9
10-4130-210 BOOKS, SUBSCRIP & MEMBERSHIPS	350.00	350.00	500.00	150.00	70.0
10-4130-230 TRAVEL & MEETINGS	.00	1,685.04	4,500.00	2,814.96	37.5
10-4130-240 OFFICE SUPPLIES & EXPENSE	.00	35.23	100.00	64.77	35.2
10-4130-510 INSURANCE	212.54	212.54	200.00	(12.54)	106.3
10-4130-610 MISCELLANEOUS	.00	.00	500.00	500.00	.0
TOTAL MAYOR	5,636.81	23,250.13	29,800.00	6,549.87	78.0

HYRUM CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING DECEMBER 31, 2022

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>ADMINISTRATION</u>						
10-4140-110	SALARY & WAGES	7,840.67	46,130.19	91,800.00	45,669.81	50.3
10-4140-115	OVERTIME	158.72	736.20	3,000.00	2,263.80	24.5
10-4140-130	EMPLOYEE BENEFITS	3,304.02	19,817.43	40,400.00	20,582.57	49.1
10-4140-210	BOOKS, SUBSCRIP & MEMBERSHIPS	35.00	335.00	1,000.00	665.00	33.5
10-4140-220	PUBLIC NOTICES	106.28	147.44	1,000.00	852.56	14.7
10-4140-230	TRAVEL & TRAINING	.00	799.70	2,500.00	1,700.30	32.0
10-4140-240	OFFICE SUPPLIES & EXPENSE	299.71	1,690.01	5,000.00	3,309.99	33.8
10-4140-250	EQUIP SUPPLIES & MAINTENANCE	19.79	1,853.80	4,500.00	2,646.20	41.2
10-4140-280	TELEPHONE	173.32	1,045.56	2,000.00	954.44	52.3
10-4140-285	INTERNET SERVICE	.00	.00	1,000.00	1,000.00	.0
10-4140-310	PROFESSIONAL SERVICES	2,632.08	15,846.65	35,000.00	19,153.35	45.3
10-4140-510	INSURANCE & BONDS	1,794.18	1,794.18	1,500.00	(294.18)	119.6
10-4140-610	MISCELLANEOUS	500.96	674.39	500.00	(174.39)	134.9
	TOTAL ADMINISTRATION	16,864.73	90,870.55	189,200.00	98,329.45	48.0
<u>NON DEPARTMENTAL</u>						
10-4150-210	MEMBERSHIPS	.00	4,902.20	5,000.00	97.80	98.0
10-4150-220	PUBLIC NOTICES	394.40	1,855.34	8,000.00	6,144.66	23.2
10-4150-310	PROFESSIONAL SERVICES	5,000.00	5,000.00	5,000.00	.00	100.0
10-4150-510	INSURANCE & BONDS	.00	.00	200.00	200.00	.0
	TOTAL NON DEPARTMENTAL	5,394.40	11,757.54	18,200.00	6,442.46	64.6
<u>GENERAL GOVERNMENT BUILDINGS</u>						
10-4160-110	SALARY & WAGES	1,960.39	6,480.69	13,900.00	7,419.31	46.6
10-4160-130	EMPLOYEE BENEFITS	707.95	2,268.15	4,800.00	2,531.85	47.3
10-4160-250	EQUIP SUPPLIES & MAINTENANCE	1,633.74	1,633.74	2,000.00	366.26	81.7
10-4160-260	BLDG & GROUNDS SUP & MAINT	5,159.67	10,783.70	13,000.00	2,216.30	83.0
10-4160-270	UTILITIES	861.28	1,202.13	.00	(1,202.13)	.0
10-4160-280	TELEPHONE	.00	.00	13,000.00	13,000.00	.0
10-4160-510	INSURANCE	7,948.50	7,948.50	6,800.00	(1,148.50)	116.9
10-4160-610	MISCELLANEOUS	.00	85.00	1,000.00	915.00	8.5
10-4160-620	MISCELLANEOUS SERVICES	.00	.00	1,500.00	1,500.00	.0
10-4160-720	BUILDING IMPROVEMENTS	2,230.00	204,874.09	200,000.00	(4,874.09)	102.4
	TOTAL GENERAL GOVERNMENT BUILDINGS	20,501.53	235,276.00	256,000.00	20,724.00	91.9
<u>ELECTION</u>						
10-4170-220	PUBLIC NOTICES	.00	.00	500.00	500.00	.0
10-4170-240	ELECTION SUPPLIES	.00	.00	500.00	500.00	.0
10-4170-620	ELECTION SERVICES	.00	.00	500.00	500.00	.0
	TOTAL ELECTION	.00	.00	1,500.00	1,500.00	.0

HYRUM CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING DECEMBER 31, 2022

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>PLANNING COMMISSION</u>					
10-4180-110 SALARY & WAGES	3,649.55	21,345.79	48,600.00	27,254.21	43.9
10-4180-115 OVERTIME	.00	.00	200.00	200.00	.0
10-4180-130 EMPLOYEE BENEFITS	1,324.85	7,969.51	17,700.00	9,730.49	45.0
10-4180-220 PUBLIC NOTICES	35.26	35.26	1,000.00	964.74	3.5
10-4180-230 TRAVEL & TRAINING	35.00	1,249.00	1,500.00	251.00	83.3
10-4180-240 OFFICE SUPPLIES & EXPENSE	.00	28.73	200.00	171.27	14.4
10-4180-250 EQUIPMENT SUPPLIES & MAINTENAN	97.51	574.41	1,000.00	425.59	57.4
10-4180-280 TELEPHONE	53.20	319.48	600.00	280.52	53.3
10-4180-310 PROFESSIONAL SERVICES	340.00	390.00	17,000.00	16,610.00	2.3
10-4180-510 INSURANCE	667.04	667.04	550.00	(117.04)	121.3
TOTAL PLANNING COMMISSION	6,202.41	32,579.22	88,350.00	55,770.78	36.9
<u>LAW ENFORCEMENT</u>					
10-4210-310 CONTRACT SERVICES	.00	147,627.00	295,500.00	147,873.00	50.0
TOTAL LAW ENFORCEMENT	.00	147,627.00	295,500.00	147,873.00	50.0
<u>EMERGENCY MANAGMENT SERVICES</u>					
10-4212-110 SALARY & WAGES	.00	854.00	5,600.00	4,746.00	15.3
10-4212-130 EMPLOYEE BENEFITS	.00	65.32	700.00	634.68	9.3
10-4212-220 PUBLIC NOTICES	.00	.00	100.00	100.00	.0
10-4212-230 TRAVEL & TRAINING	516.98	546.98	1,000.00	453.02	54.7
10-4212-240 OFFICE SUPPLIES & EXPENSE	.00	.00	200.00	200.00	.0
10-4212-250 EQUIP SUPPLIES & MAINTENANCE	125.90	791.67	2,000.00	1,208.33	39.6
10-4212-310 PROFESSIONAL SERVICES	.00	77,528.00	130,000.00	52,472.00	59.6
10-4212-510 INSURANCE	134.30	134.30	150.00	15.70	89.5
10-4212-610 MISCELLANEOUS	.00	.00	200.00	200.00	.0
10-4212-740 EQUIPMENT	.00	.00	5,000.00	5,000.00	.0
TOTAL EMERGENCY MANAGMENT SERVICE	777.18	79,920.27	144,950.00	65,029.73	55.1

Section 12. Item B.

HYRUM CITY CORPORATION
 EXPENDITURES WITH COMPARISON TO BUDGET
 FOR THE 6 MONTHS ENDING DECEMBER 31, 2022

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>FIRST RESPONDERS</u>					
10-4215-110 SALARY & WAGES	.00	7,758.00	19,600.00	11,842.00	39.6
10-4215-130 EMPLOYEE BENEFITS	.00	593.49	2,300.00	1,706.51	25.8
10-4215-210 BOOKS, SUBSCRIP & MEMBERSHIPS	.00	.00	200.00	200.00	.0
10-4215-230 TRAVEL & TRAINING	.00	5,073.66	10,300.00	5,226.34	49.3
10-4215-240 OFFICE SUPPLIES & EXPENSE	.00	.00	150.00	150.00	.0
10-4215-250 EQUIP SUPPLIES & MAINTENANCE	.00	1,040.87	6,000.00	4,959.13	17.4
10-4215-280 TELEPHONE	.00	180.02	1,200.00	1,019.98	15.0
10-4215-310 PROFESSIONAL SERVICES	.00	190.00	300.00	110.00	63.3
10-4215-510 INSURANCE	3,568.65	3,568.65	3,000.00	(568.65)	119.0
10-4215-610 MISCELLANEOUS	.00	.00	400.00	400.00	.0
10-4215-740 EQUIPMENT	.00	.00	5,000.00	5,000.00	.0
TOTAL FIRST RESPONDERS	3,568.65	18,404.69	48,450.00	30,045.31	38.0
<u>FIRE DEPARTMENT</u>					
10-4220-110 SALARY & WAGES	.00	34,721.62	74,100.00	39,378.38	46.9
10-4220-130 EMPLOYEE BENEFITS	.00	2,656.15	8,900.00	6,243.85	29.8
10-4220-210 BOOKS, SUBSCRIP & MEMBERSHIPS	.00	.00	1,000.00	1,000.00	.0
10-4220-230 TRAVEL & TRAINING	116.51	306.28	10,000.00	9,693.72	3.1
10-4220-240 OFFICE SUPPLIES & EXPENSE	32.31	547.37	500.00	(47.37)	109.5
10-4220-250 EQUIP SUPPLIES & MAINTENANCE	4,598.62	14,953.32	25,000.00	10,046.68	59.8
10-4220-260 BLDG & GROUNDS SUPPLIES & MAIN	225.00	315.00	2,500.00	2,185.00	12.6
10-4220-270 UTILITIES	1,985.42	2,906.71	5,000.00	2,093.29	58.1
10-4220-280 TELEPHONE	255.07	1,493.67	2,500.00	1,006.33	59.8
10-4220-285 INTERNET SERVICE	.00	.00	1,600.00	1,600.00	.0
10-4220-310 PROFESSIONAL SERVICES	.00	.00	1,000.00	1,000.00	.0
10-4220-510 INSURANCE	17,025.69	17,025.69	15,000.00	(2,025.69)	113.5
10-4220-610 MISCELLANEOUS	.00	336.94	1,500.00	1,163.06	22.5
10-4220-740 EQUIPMENT	.00	.00	3,000.00	3,000.00	.0
TOTAL FIRE DEPARTMENT	24,238.62	75,262.75	151,600.00	76,337.25	49.7
<u>ANIMAL CONTROL</u>					
10-4253-110 SALARY & WAGES	2,715.36	15,293.96	29,000.00	13,706.04	52.7
10-4253-130 EMPLOYEE BENEFITS	204.65	1,151.59	2,800.00	1,648.41	41.1
10-4253-210 MEMBERSHIPS	.00	.00	80.00	80.00	.0
10-4253-220 PUBLIC NOTICES	.00	.00	100.00	100.00	.0
10-4253-230 TRAVEL & TRAINING	303.13	1,485.64	3,500.00	2,014.36	42.5
10-4253-250 EQUIP SUPPLIES & MAINTENANCE	3.54	3.54	500.00	496.46	.7
10-4253-280 TELEPHONE	40.00	240.00	1,000.00	760.00	24.0
10-4253-310 PROFESSIONAL SERVICES	537.80	1,565.05	3,500.00	1,934.95	44.7
10-4253-480 SPECIAL DEPARTMENTAL SUPPLIES	.00	215.35	350.00	134.65	61.5
10-4253-510 INSURANCE	357.16	357.16	390.00	32.84	91.6
10-4253-620 MISCELLANEOUS SERVICES	.00	.00	490.00	490.00	.0
TOTAL ANIMAL CONTROL	4,161.64	20,312.29	41,710.00	21,397.71	48.7

FOR ADMINISTRATION USE ONLY

50 % OF THE FISCAL YEAR HAS ELAPSED

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HYRUM CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING DECEMBER 31, 2022

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>ROADS</u>					
10-4410-110 SALARY & WAGES	7,942.61	45,420.86	116,100.00	70,679.14	39.1
10-4410-115 OVERTIME	2,237.23	3,300.41	10,000.00	6,699.59	33.0
10-4410-120 SEASONAL/TEMPORARY EMPLOYEES	613.86	4,829.51	6,200.00	1,370.49	77.9
10-4410-130 EMPLOYEE BENEFITS	3,911.14	18,962.77	60,500.00	41,537.23	31.3
10-4410-230 TRAVEL	.00	128.50	2,000.00	1,871.50	6.4
10-4410-240 OFFICE SUPPLIES & EXPENSE	.00	.00	100.00	100.00	.0
10-4410-250 EQUIP SUPPLIES & MAINTENANCE	1,916.02	13,354.75	30,000.00	16,645.25	44.5
10-4410-260 BLDG & GROUNDS SUP & MAINT	.00	660.00	5,000.00	4,340.00	13.2
10-4410-270 UTILITIES	.00	.00	500.00	500.00	.0
10-4410-280 TELEPHONE	71.14	239.45	800.00	560.55	29.9
10-4410-310 PROFESSIONAL SERVICES	.00	.00	2,500.00	2,500.00	.0
10-4410-410 ROAD MAINTENANCE	8,722.55	41,380.59	35,000.00	(6,380.59)	118.2
10-4410-450 PUBLIC SAFETY SUPPLIES	9,972.87	23,081.82	40,000.00	16,918.18	57.7
10-4410-480 SIDEWALK CONST & MAINT	2,160.00	213,420.03	235,000.00	21,579.97	90.8
10-4410-481 STREET TREE MAINTENANCE	.00	16,887.00	25,000.00	8,113.00	67.6
10-4410-482 CURB & GUTTER CONST & MAINT	.00	2,297.51	20,000.00	17,702.49	11.5
10-4410-510 INSURANCE	11,132.43	11,132.43	9,500.00	(1,632.43)	117.2
10-4410-610 MISCELLANEOUS SUPPLIES	.00	.00	500.00	500.00	.0
10-4410-620 MISCELLANEOUS SERVICES	.00	.00	100.00	100.00	.0
10-4410-740 EQUIPMENT	.00	66,951.94	130,200.00	63,248.06	51.4
10-4410-750 OTHER IMPROVEMENTS	468,565.06	740,548.83	1,906,000.00	1,165,451.17	38.9
TOTAL ROADS	517,244.91	1,202,596.40	2,635,000.00	1,432,403.60	45.6
<u>SOLID WASTE COLLECTION</u>					
10-4420-240 OFFICE SUPPLIES & EXPENSE	150.00	150.00	3,000.00	2,850.00	5.0
10-4420-310 CONTRACT SERVICES	155,907.37	465,928.24	900,000.00	434,071.76	51.8
10-4420-311 COMMUNITY CLEAN UP	.00	.00	7,000.00	7,000.00	.0
TOTAL SOLID WASTE COLLECTION	156,057.37	466,078.24	910,000.00	443,921.76	51.2
<u>SHOP</u>					
10-4440-110 SALARY & WAGES	1,132.81	6,408.81	12,700.00	6,291.19	50.5
10-4440-115 OVERTIME	.00	.00	100.00	100.00	.0
10-4440-130 EMPLOYEE BENEFITS	636.58	3,913.07	8,700.00	4,786.93	45.0
10-4440-250 EQUIP SUPPLIES & MAINTENANCE	1,520.17	4,143.49	10,000.00	5,856.51	41.4
10-4440-280 TELEPHONE	6.25	37.50	600.00	562.50	6.3
10-4440-480 SPECIAL DEPARTMENTAL SUPPLIES	.00	1,075.68	1,000.00	(75.68)	107.6
10-4440-510 INSURANCE	528.29	528.29	500.00	(28.29)	105.7
10-4440-610 MISCELLANEOUS	.00	39.84	100.00	60.16	39.8
10-4440-740 EQUIPMENT	.00	.00	50,000.00	50,000.00	.0
TOTAL SHOP	3,824.10	16,146.68	83,700.00	67,553.32	19.3

HYRUM CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING DECEMBER 31, 2022

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>PARKS</u>					
10-4510-110 SALARY & WAGES	12,074.78	72,102.30	138,700.00	66,597.70	52.0
10-4510-115 OVERTIME	827.74	3,029.41	2,800.00	(229.41)	108.2
10-4510-120 SEASONAL/TEMPORARY EMPLOYEES	.00	33,870.60	50,000.00	16,129.40	67.7
10-4510-130 EMPLOYEE BENEFITS	6,714.15	42,248.74	86,100.00	43,851.26	49.1
10-4510-230 TRAVEL & TRAINING	.00	.00	300.00	300.00	.0
10-4510-250 EQUIPMENT SUPPLIES & MAINT	925.67	12,810.29	20,000.00	7,189.71	64.1
10-4510-260 BLDG & GROUNDS SUP & MAINT	3,880.55	26,141.46	60,000.00	33,858.54	43.6
10-4510-280 TELEPHONE	78.20	469.48	1,200.00	730.52	39.1
10-4510-310 PROFESSIONAL SERVICES	5,184.00	14,635.00	40,000.00	25,365.00	36.6
10-4510-510 INSURANCE	8,545.10	8,545.10	7,300.00	(1,245.10)	117.1
10-4510-610 MISCELLANEOUS SUPPLIES	.00	187.98	400.00	212.02	47.0
10-4510-620 MISCELLANEOUS SERVICES	.00	.00	500.00	500.00	.0
10-4510-720 BUILDING IMPROVEMENTS	.00	20,145.95	20,000.00	(145.95)	100.7
10-4510-730 PARK IMPROVEMENTS	.00	33,242.25	200,000.00	166,757.75	16.6
10-4510-740 EQUIPMENT	.00	108,756.71	162,000.00	53,243.29	67.1
TOTAL PARKS	38,230.19	376,185.27	789,300.00	413,114.73	47.7
<u>ENGINEERING</u>					
10-4550-110 SALARY & WAGES	1,628.41	10,085.66	19,600.00	9,514.34	51.5
10-4550-130 EMPLOYEE BENEFITS	723.53	4,423.28	9,500.00	5,076.72	46.6
10-4550-230 TRAVEL & MEETINGS	265.00	265.00	1,500.00	1,235.00	17.7
10-4550-240 OFFICE SUPPLIES & EXPENSE	.00	203.12	100.00	(103.12)	203.1
10-4550-250 EQUIP SUPPLIES & MAINTENANCE	100.32	4,210.19	800.00	(3,410.19)	526.3
10-4550-280 TELEPHONE	53.20	319.48	700.00	380.52	45.6
10-4550-310 PROFESSIONAL SERVICES	.00	.00	5,000.00	5,000.00	.0
10-4550-510 INSURANCE	1,457.94	1,491.31	1,300.00	(191.31)	114.7
10-4550-610 MISCELLANEOUS	.00	.00	50.00	50.00	.0
TOTAL ENGINEERING	4,228.40	20,998.04	38,550.00	17,551.96	54.5
<u>RECREATION</u>					
10-4561-120 SEASONAL/TEMPORARY EMPLOYEES	.00	1,400.00	8,600.00	7,200.00	16.3
10-4561-130 EMPLOYEE BENEFITS	.00	107.10	900.00	792.90	11.9
10-4561-220 PUBLIC NOTICES	.00	.00	200.00	200.00	.0
10-4561-240 OFFICE SUPPLIES & EXPENSE	.00	.00	100.00	100.00	.0
10-4561-250 EQUIPMENT SUPPLIES & EXPENSE	.00	289.41	7,000.00	6,710.59	4.1
10-4561-480 SPECIAL DEPARTMENTAL SUPPLIES	.00	.00	12,950.00	12,950.00	.0
10-4561-481 FIELD PREPARATION SUPPLIES	.00	.00	9,000.00	9,000.00	.0
10-4561-510 INSURANCE	2,262.85	2,262.85	1,950.00	(312.85)	116.0
10-4561-609 TOURNAMENT REGISTRATION	.00	.00	1,000.00	1,000.00	.0
10-4561-610 MISCELLANEOUS SUPPLIES	.00	.00	800.00	800.00	.0
10-4561-620 MISCELLANEOUS SERVICES	.00	.00	10,000.00	10,000.00	.0
TOTAL RECREATION	2,262.85	4,059.36	52,500.00	48,440.64	7.7

Section 12. Item B.

HYRUM CITY CORPORATION
 EXPENDITURES WITH COMPARISON TO BUDGET
 FOR THE 6 MONTHS ENDING DECEMBER 31, 2022

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>MUSEUM</u>						
10-4562-110	SALARY & WAGES	4,657.43	27,634.75	48,800.00	21,165.25	56.6
10-4562-130	EMPLOYEE BENEFITS	968.29	5,492.65	8,900.00	3,407.35	61.7
10-4562-210	BOOKS, SUBSCRIP & MEMBERSHIPS	.00	405.00	600.00	195.00	67.5
10-4562-220	MUSEUM PROMOTION	.00	262.87	600.00	337.13	43.8
10-4562-230	TRAVEL	.00	7,549.13	2,500.00	(5,049.13)	302.0
10-4562-240	OFFICE SUPPLIES	63.27	132.83	500.00	367.17	26.6
10-4562-250	EQUIP SUPPLIES & MAINTENANCE	.00	571.27	750.00	178.73	76.2
10-4562-260	BLDG & GRNDS SUPPLIES & MAINT	84.76	294.76	100.00	(194.76)	294.8
10-4562-280	TELEPHONE	52.00	312.00	650.00	338.00	48.0
10-4562-310	CONTRACT SERVICES	.00	20.96	.00	(20.96)	.0
10-4562-480	MUSEUM ARTIFACTS & MATERIALS	99.98	202.70	1,000.00	797.30	20.3
10-4562-510	INSURANCE	667.57	667.57	600.00	(67.57)	111.3
10-4562-610	MISCELLANEOUS	75.00	791.32	1,000.00	208.68	79.1
10-4562-720	BUILDING IMPROVEMENTS	634.34	5,118.40	10,000.00	4,881.60	51.2
	TOTAL MUSEUM	7,302.64	49,456.21	76,000.00	26,543.79	65.1
<u>YOUTH COUNCIL</u>						
10-4563-210	MEMBERSHIPS	.00	.00	50.00	50.00	.0
10-4563-230	TRAVEL & TRAINING	.00	1,535.44	5,000.00	3,464.56	30.7
10-4563-250	EQUIP SUPPLIES & MAINTENANCE	.00	.00	500.00	500.00	.0
10-4563-610	MISCELLANEOUS SUPPLIES	161.04	1,659.92	4,500.00	2,840.08	36.9
10-4563-620	MISCELLANEOUS SERVICES	.00	.00	500.00	500.00	.0
	TOTAL YOUTH COUNCIL	161.04	3,195.36	10,550.00	7,354.64	30.3
<u>SENIOR CITIZENS</u>						
10-4564-110	SALARY & WAGES	4,897.50	30,241.52	72,100.00	41,858.48	41.9
10-4564-115	OVERTIME	.00	.00	1,000.00	1,000.00	.0
10-4564-130	EMPLOYEE BENEFITS	1,107.22	6,256.25	16,100.00	9,843.75	38.9
10-4564-220	PUBLIC NOTICES	.00	.00	200.00	200.00	.0
10-4564-230	TRAVEL & TRAINING	289.00	755.35	10,500.00	9,744.65	7.2
10-4564-240	OFFICE SUPPLIES	16.98	126.59	500.00	373.41	25.3
10-4564-250	EQUIP SUPPLIES & MAINTENANCE	58.00	3,397.82	6,000.00	2,602.18	56.6
10-4564-260	BLDG & GROUNDS SUP & MAINT	665.00	1,462.58	2,000.00	537.42	73.1
10-4564-270	UTILITIES	332.01	487.75	1,500.00	1,012.25	32.5
10-4564-280	TELEPHONE	53.20	319.74	1,000.00	680.26	32.0
10-4564-285	INTERNET SERVICE	208.76	1,043.79	1,500.00	456.21	69.6
10-4564-480	FOOD COST	321.60	2,932.23	7,000.00	4,067.77	41.9
10-4564-510	INSURANCE	4,659.18	4,659.18	4,000.00	(659.18)	116.5
10-4564-610	CRAFT FAIR	1,141.52	6,067.67	10,000.00	3,932.33	60.7
10-4564-620	MISCELLANEOUS SERVICES	264.00	1,028.03	5,500.00	4,471.97	18.7
10-4564-720	BUILDINGS	.00	.00	10,500.00	10,500.00	.0
	TOTAL SENIOR CITIZENS	14,013.97	58,778.50	149,400.00	90,621.50	39.3

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HYRUM CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING DECEMBER 31, 2022

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>LIBRARY DEPARTMENT</u>					
10-4580-110 SALARY & WAGES	18,345.45	106,100.63	175,000.00	68,899.37	60.6
10-4580-130 EMPLOYEE BENEFITS	3,211.53	18,430.57	39,000.00	20,569.43	47.3
10-4580-210 BOOKS, SUBSCRIP & MEMBERSHIPS	.99	515.41	2,500.00	1,984.59	20.6
10-4580-220 LIBRARY PROMOTION	72.93	2,777.65	8,000.00	5,222.35	34.7
10-4580-230 TRAVEL	.00	.00	750.00	750.00	.0
10-4580-240 OFFICE SUPPLIES & EXPENSE	229.46	3,335.04	6,000.00	2,664.96	55.6
10-4580-250 EQUIPMENT SUPPLIES & MAINT	679.96	5,138.36	10,000.00	4,861.64	51.4
10-4580-260 BLDG SUPPLIES & MAINT	3,044.54	13,214.84	11,500.00	(1,714.84)	114.9
10-4580-270 UTILITIES	1,896.88	3,117.24	6,000.00	2,882.76	52.0
10-4580-280 TELEPHONE	184.80	1,225.64	3,000.00	1,774.36	40.9
10-4580-285 INTERNET SERVICE	.00	.00	3,500.00	3,500.00	.0
10-4580-310 PROFESSIONAL SERVICES	34.00	136.00	200.00	64.00	68.0
10-4580-480 LIBRARY BOOKS & MATERIALS	2,333.38	16,605.53	30,000.00	13,394.47	55.4
10-4580-481 LIBRARY TAPES	346.61	4,385.65	10,000.00	5,614.35	43.9
10-4580-510 INSURANCE	13,109.47	13,109.47	11,100.00	(2,009.47)	118.1
10-4580-609 STATE GRANT	2,002.26	8,704.57	6,500.00	(2,204.57)	133.9
10-4580-610 MISCELLANEOUS SUPPLIES	.00	.00	500.00	500.00	.0
10-4580-620 MISCELLANEOUS SERVICES	.00	.00	500.00	500.00	.0
10-4580-740 EQUIPMENT	8,395.07	13,095.82	10,000.00	(3,095.82)	131.0
TOTAL LIBRARY DEPARTMENT	53,887.33	209,892.42	334,050.00	124,157.58	62.8
<u>CEMETERY</u>					
10-4590-110 SALARY & WAGES	1,617.70	9,032.93	27,000.00	17,967.07	33.5
10-4590-115 OVERTIME	175.23	1,112.25	3,000.00	1,887.75	37.1
10-4590-120 SEASONAL/TEMPORARY EMPLOYEES	.00	.00	8,000.00	8,000.00	.0
10-4590-130 EMPLOYEE BENEFITS	933.55	5,691.53	10,900.00	5,208.47	52.2
10-4590-240 OFFICE SUPPLIES & EXPENSE	.00	.00	300.00	300.00	.0
10-4590-250 EQUIPMENT SUPPLIES & MAINT	.00	.00	7,000.00	7,000.00	.0
10-4590-260 BLDG & GROUNDS SUP & MAINT	121.00	3,507.93	6,000.00	2,492.07	58.5
10-4590-280 TELEPHONE	7.50	45.00	90.00	45.00	50.0
10-4590-310 PROFESSIONAL SERVICES	1,600.00	25,200.00	26,000.00	800.00	96.9
10-4590-510 INSURANCE	1,525.10	1,525.10	1,300.00	(225.10)	117.3
10-4590-610 MISCELLANEOUS	.00	300.00	500.00	200.00	60.0
10-4590-720 BUILDING IMPROVEMENTS	4,750.00	7,466.05	20,000.00	12,533.95	37.3
10-4590-740 EQUIPMENT	.00	50,000.00	50,000.00	.00	100.0
TOTAL CEMETERY	10,730.08	103,880.79	160,090.00	56,209.21	64.9

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HYRUM CITY CORPORATION
 EXPENDITURES WITH COMPARISON TO BUDGET
 FOR THE 6 MONTHS ENDING DECEMBER 31, 2022

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>COMMUNITY PROGRESS</u>						
10-4620-210	NIGHT OUT AGAINST CRIME	.00	819.92	1,000.00	180.08	82.0
10-4620-211	EASTER EGG HUNT	.00	.00	1,000.00	1,000.00	.0
10-4620-212	BUSINESS CONFERENCE	.00	.00	1,000.00	1,000.00	.0
10-4620-220	HOLIDAY AT HARDWARE	164.64	704.91	1,000.00	295.09	70.5
10-4620-240	PHOTOGRAPHY & SCRAPBOOK	.00	.00	600.00	600.00	.0
10-4620-250	PARADE FLOAT SUPPLIES & PULL	.00	.00	1,000.00	1,000.00	.0
10-4620-510	INSURANCE	314.64	314.64	300.00	(14.64)	104.9
10-4620-610	MISCELLANEOUS SUPPLIES	40.00	440.00	3,000.00	2,560.00	14.7
10-4620-611	4TH OF JULY	.00	760.27	20,000.00	19,239.73	3.8
10-4620-612	ROYALTY PAGEANT	.00	73.20	2,500.00	2,426.80	2.9
10-4620-614	MASS TRANSIT-CVT	164,813.30	164,813.30	310,000.00	145,186.70	53.2
10-4620-615	KILGORE TAX 50% TAX	.00	.00	81,000.00	81,000.00	.0
10-4620-620	MISCELLANEOUS SERVICES	.00	380.00	1,000.00	620.00	38.0
10-4620-621	HYRUM HORNETS	.00	.00	2,000.00	2,000.00	.0
	TOTAL COMMUNITY PROGRESS	165,332.58	168,306.24	425,400.00	257,093.76	39.6
<u>DEPARTMENT 4900</u>						
10-4900-921	TRANSFER TO ENTERPRISE FUNDS	.00	.00	510,032.00	510,032.00	.0
	TOTAL DEPARTMENT 4900	.00	.00	510,032.00	510,032.00	.0
	TOTAL FUND EXPENDITURES	1,073,465.50	3,494,167.50	7,607,032.00	4,112,864.50	45.9
	NET REVENUE OVER EXPENDITURES	55,714.89	909,597.58	.00	(909,597.58)	.0

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HYRUM CITY CORPORATION
 BALANCE SHEET
 DECEMBER 31, 2022

CAPITAL PROJECTS FUND

<u>ASSETS</u>			
45-1010000	CASH IN COMBINED FUND		893,683.64
			<u>893,683.64</u>
	TOTAL ASSETS		<u>893,683.64</u>
 <u>LIABILITIES AND EQUITY</u>			
 <u>FUND EQUITY</u>			
UNAPPROPRIATED FUND BALANCE:			
45-2951000	CAP PROJ - UNAPPROPRIATED	1,794,996.46	
	REVENUE OVER EXPENDITURES - YTD	(901,312.82)	
			<u>893,683.64</u>
	BALANCE - CURRENT DATE		<u>893,683.64</u>
	TOTAL FUND EQUITY		<u>893,683.64</u>
	TOTAL LIABILITIES AND EQUITY		<u>893,683.64</u>

Section 12. Item B.

HYRUM CITY CORPORATION
 REVENUES WITH COMPARISON TO BUDGET
 FOR THE 6 MONTHS ENDING DECEMBER 31, 2022

CAPITAL PROJECTS FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>MISCELLANEOUS REVENUES</u>					
45-3620 INTEREST EARNINGS	2,737.98	13,513.71	9,300.00	(4,213.71)	145.3
TOTAL MISCELLANEOUS REVENUES	2,737.98	13,513.71	9,300.00	(4,213.71)	145.3
<u>INTERGOVERNMENTAL REVENUE</u>					
45-3889 TRANS TO DESIG FND-FIRE ENGINE	.00	.00	150,000.00	150,000.00	.0
45-3895 TRANS FROM CAPITAL PROJ UNAP	.00	.00	1,042,500.00	1,042,500.00	.0
TOTAL INTERGOVERNMENTAL REVENUE	.00	.00	1,192,500.00	1,192,500.00	.0
TOTAL FUND REVENUE	2,737.98	13,513.71	1,201,800.00	1,188,286.29	1.1

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HYRUM CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING DECEMBER 31, 2022

CAPITAL PROJECTS FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>FIRE DEPARTMENT</u>					
45-4220-720 NEW FIRE STATION	70.11	1,635.70	50,000.00	48,364.30	3.3
45-4220-740 NEW FIRE ENGINE	.00	.00	150,000.00	150,000.00	.0
TOTAL FIRE DEPARTMENT	70.11	1,635.70	200,000.00	198,364.30	.8
<u>PARKS</u>					
45-4510-730 BLACKSMITH FORK PARK	95,481.71	913,190.83	1,001,800.00	88,609.17	91.2
TOTAL PARKS	95,481.71	913,190.83	1,001,800.00	88,609.17	91.2
TOTAL FUND EXPENDITURES	95,551.82	914,826.53	1,201,800.00	286,973.47	76.1
NET REVENUE OVER EXPENDITURES	(92,813.84)	(901,312.82)	.00	901,312.82	.0

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HYRUM CITY CORPORATION
BALANCE SHEET
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WATER UTILITY FUND

ASSETS

51-1010000	CASH IN COMBINED FUND	3,292,280.30	
51-1311000	ACCTS REC - UTILITIES	96,143.00	
51-1311001	ACCTS REC - PRIOR PERIOD	99,387.59	
51-1312000	ALLOW FOR BAD UTILITY ACCOUNTS	(2,458.44)	
51-1511510	INVENTORY - WATER	67,944.77	
51-1561100	PPD EXPENSE-CHLORINE DEPOSIT	2,250.00	
51-1571000	DEFERRED OUTFLOW OF RESOURCES	37,463.00	
51-1611000	LAND & STOCK - WATER UTILITY	1,008,142.00	
51-1621000	BUILDINGS - WATER UTILITY	440,701.72	
51-1622000	DEPRECIATION - WATER BUILDINGS	(250,516.69)	
51-1631000	WATER STORAGE & DIST SYSTEM	11,738,408.88	
51-1632000	DEPREC - WATER DIST SYSTEM	(7,767,865.54)	
51-1651000	EQUIPMENT - WATER UTILITY	2,041,843.96	
51-1652000	DEPRECIATION - WATER EQUIPMENT	(1,123,460.82)	
51-1711000	CONSTRUCTION IN PROGRESS	81,862.75	
	TOTAL ASSETS		9,762,126.48

LIABILITIES AND EQUITY

LIABILITIES

51-2228000	ACCRUED VACATION - WATER	32,434.37	
51-2228001	DEFERRED INFLOWS OF RESOURCES	115,507.00	
51-2228002	UNFUNDED PENSION PAYABLE	(84,659.00)	
51-2230100	ACCRUED SICK LEAVE - WATER	59,151.42	
	TOTAL LIABILITIES		122,433.79

FUND EQUITY

UNAPPROPRIATED FUND BALANCE:			
51-2951000	WATER FUND - UNAPPROPRIATED	9,371,205.55	
51-2971001	UNFUNDED PENSION ADJ.	(76,159.00)	
	REVENUE OVER EXPENDITURES - YTD	344,646.14	
	BALANCE - CURRENT DATE	9,639,692.69	
	TOTAL FUND EQUITY		9,639,692.69
	TOTAL LIABILITIES AND EQUITY		9,762,126.48

HYRUM CITY CORPORATION
REVENUES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING DECEMBER 31, 2022

WATER UTILITY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>UTILITY REVENUES</u>					
51-3711 METERED WATER SALES	109,980.72	747,761.20	1,400,000.00	652,238.80	53.4
51-3714 NEW CONNECTION FEES	2,544.00	18,232.00	42,400.00	24,168.00	43.0
51-3718 SALE OF MATERIALS	.00	.00	1,000.00	1,000.00	.0
51-3719 MISCELLANEOUS REVENUES	.00	1,158.16	5,000.00	3,841.84	23.2
51-3721 INTEREST EARNINGS	9,098.43	34,335.93	15,300.00	(19,035.93)	224.4
51-3725 IMPACT FEE - "BUY-IN"	1,032.00	7,497.73	17,200.00	9,702.27	43.6
51-3726 IMPACT FEE - STORAGE	5,346.00	38,847.77	89,100.00	50,252.23	43.6
51-3727 IMPACT FEE - DISTRIBUTION	8,544.00	62,086.92	142,400.00	80,313.08	43.6
51-3729 IMPACT FEE - PROFESSIONAL SERV	66.00	512.58	1,100.00	587.42	46.6
51-3743 BOND/LOAN FUNDS	.00	(33.00)	.00	33.00	.0
TOTAL UTILITY REVENUES	136,611.15	910,399.29	1,713,500.00	803,100.71	53.1
TOTAL FUND REVENUE	136,611.15	910,399.29	1,713,500.00	803,100.71	53.1

Section 12. Item B.

HYRUM CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING DECEMBER 31, 2022

WATER UTILITY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>WATER DEPARTMENT</u>					
51-5100-110 SALARIES AND WAGES	20,012.77	119,094.16	261,900.00	142,805.84	45.5
51-5100-115 OVERTIME	163.27	1,832.64	4,000.00	2,167.36	45.8
51-5100-116 STANDBY TIME	861.50	5,192.75	10,000.00	4,807.25	51.9
51-5100-120 SEASONAL	.00	.00	14,400.00	14,400.00	.0
51-5100-130 EMPLOYEE BENEFITS	9,315.11	57,086.96	133,000.00	75,913.04	42.9
51-5100-210 BOOKS, SUBSCRIP & MEMBERSHIPS	.00	.00	1,500.00	1,500.00	.0
51-5100-220 PUBLIC NOTICES	.00	.00	250.00	250.00	.0
51-5100-230 TRAVEL & TRAINING	600.00	1,467.70	5,000.00	3,532.30	29.4
51-5100-240 OFFICE SUPPLIES AND EXPENSE	1,642.04	4,348.34	5,000.00	651.66	87.0
51-5100-250 EQUIP SUPPLIES & MAINTENANCE	4,959.53	21,698.44	35,000.00	13,301.56	62.0
51-5100-255 DISTRIB SYSTEM MAINTENANCE	19,351.91	80,712.12	260,000.00	179,287.88	31.0
51-5100-260 BLDG & GROUNDS SUP & MAINT	.00	1,121.14	3,000.00	1,878.86	37.4
51-5100-270 UTILITIES	12,832.61	70,393.09	100,000.00	29,606.91	70.4
51-5100-280 TELEPHONE	286.55	1,503.91	2,500.00	996.09	60.2
51-5100-310 PROFESSIONAL SERVICES	3,546.00	9,541.06	20,000.00	10,458.94	47.7
51-5100-510 INSURANCE	8,003.68	8,003.68	7,000.00	(1,003.68)	114.3
51-5100-610 MISCELLANEOUS SUPPLIES	.00	.00	1,000.00	1,000.00	.0
51-5100-740 EQUIPMENT	48,890.00	134,209.50	150,000.00	15,790.50	89.5
51-5100-750 NEW CONSTRUCTION	1,665.00	49,547.66	1,131,000.00	1,081,452.34	4.4
51-5100-950 CONTRIBUTION - RESTRICTED FB	.00	.00	142,400.00	142,400.00	.0
TOTAL WATER DEPARTMENT	132,129.97	565,753.15	2,286,950.00	1,721,196.85	24.7
TOTAL FUND EXPENDITURES	132,129.97	565,753.15	2,286,950.00	1,721,196.85	24.7
NET REVENUE OVER EXPENDITURES	4,481.18	344,646.14	(573,450.00)	(918,096.14)	60.1

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HYRUM CITY CORPORATION
BALANCE SHEET
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SEWER UTILITY FUND

ASSETS

52-1010000	CASH IN COMBINED FUND	3,304,952.81	
52-1311000	ACCTS REC - UTILITIES	117,730.82	
52-1311001	ACCTS REC - PRIOR PERIOD	113,400.20	
52-1311002	LEASE RECEIVABLE	267,009.00	
52-1312000	ALLOW FOR BAD UTILITY ACCOUNTS	(858.97)	
52-1561103	PPD EXPENSE - CHLORINE DEPOSIT	3,000.00	
52-1571000	DEFERRED OUTFLOW OF RESOURCES	62,438.00	
52-1611000	LAND - SEWER UTILITY	587,937.49	
52-1621000	PLANT & EQUIP - SEWER UTILITY	13,982,352.21	
52-1622000	DEPRECIATION - SEWER PLANT	(7,341,340.34)	
52-1631000	SEWERAGE COLLECTION SYSTEM	3,283,195.77	
52-1632000	DEPREC - SEWER COLLECT SYSTEM	(3,139,163.78)	
52-1651000	EQUIPMENT - SEWER UTILITY	430,424.71	
52-1652000	DEPRECIATION - SEWER EQUIPMENT	(322,173.19)	
52-1711000	CONSTRUCTION IN PROGRESS	10,686.25	
52-1801240	RESTRICTED CASH-DEBT SERVICE	259,879.55	
52-1801250	RESTRICTED CASH-O&M RESERVE	129,939.77	
	TOTAL ASSETS		11,749,410.30

LIABILITIES AND EQUITYLIABILITIES

52-2131000	ACCTS PAY - SEWER FUND	(67.00)	
52-2228000	ACCRUED VACATION - SEWER	53,865.89	
52-2228001	DEFERRED INFLOWS OF RESOURCES	192,512.00	
52-2228002	UNFUNDED PENSION PAYABLE	(141,099.00)	
52-2228003	DEFERRED INFLOWS OF RESOURCES-	244,033.00	
52-2230100	ACCRUED SICK LEAVE - SEWER	117,466.71	
52-2500001	BONDS PAYABLE-WWTP	2,353,059.67	
52-2551100	ACCRUED INT PAY - NEW PLANT	451.27	
	TOTAL LIABILITIES		2,820,222.54

FUND EQUITY

UNAPPROPRIATED FUND BALANCE:			
52-2951000	SEWER FUND - UNAPPROPRIATED	8,333,763.03	
52-2951522	SEWER FUND - RESTRICTED	389,819.32	
52-2971001	UNFUNDED PENSION ADJ.	(101,846.00)	
	REVENUE OVER EXPENDITURES - YTD	307,451.41	
	BALANCE - CURRENT DATE		8,929,187.76
	TOTAL FUND EQUITY		8,929,187.76
	TOTAL LIABILITIES AND EQUITY		11,749,410.30

Section 12. Item B.

HYRUM CITY CORPORATION
 REVENUES WITH COMPARISON TO BUDGET
 FOR THE 6 MONTHS ENDING DECEMBER 31, 2022

SEWER UTILITY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>UTILITY REVENUES</u>					
52-3731 SEWER SERVICE	167,762.04	1,070,183.82	1,975,000.00	904,816.18	54.2
52-3740 CUSTOMER SERVICE FEES	300.00	1,950.00	5,000.00	3,050.00	39.0
52-3741 INTEREST EARNINGS	10,615.68	40,895.41	12,700.00	(28,195.41)	322.0
52-3742 RENT - NON-OPERATING PROPERTY	.00	17,361.94	17,400.00	38.06	99.8
52-3744 MISCELLANEOUS REVENUES	207.00	1,742.30	5,000.00	3,257.70	34.9
52-3747 IMPACT FEE - COLLECTION	2,616.00	19,194.57	43,700.00	24,505.43	43.9
52-3748 IMPACT FEE - TREATMENT	10,622.52	77,005.34	165,700.00	88,694.66	46.5
TOTAL UTILITY REVENUES	192,123.24	1,228,333.38	2,224,500.00	996,166.62	55.2
TOTAL FUND REVENUE	192,123.24	1,228,333.38	2,224,500.00	996,166.62	55.2

FOR ADMINISTRATION USE ONLY

50 % OF THE FISCAL YEAR HAS ELAPSED

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HYRUM CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING DECEMBER 31, 2022

SEWER UTILITY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>SEWER DEPARTMENT</u>					
52-5200-110 SALARIES AND WAGES	32,034.20	275,164.43	354,200.00	79,035.57	77.7
52-5200-115 OVERTIME	631.96	4,243.86	10,000.00	5,756.14	42.4
52-5200-116 ON CALL PAY	827.00	4,997.75	10,000.00	5,002.25	50.0
52-5200-120 SEASONAL/TEMPORARY EMPLOYEES	.00	.00	2,000.00	2,000.00	.0
52-5200-130 EMPLOYEE BENEFITS	16,374.87	111,698.80	199,800.00	88,101.20	55.9
52-5200-210 BOOKS, SUBSCRIPTIONS & MEMBERS	.00	120.00	2,000.00	1,880.00	6.0
52-5200-220 PUBLIC NOTICES	.00	.00	500.00	500.00	.0
52-5200-230 TRAVEL & TRAINING	171.98	1,904.80	5,000.00	3,095.20	38.1
52-5200-240 OFFICE SUPPLIES & EXPENSE	425.00	4,764.42	5,000.00	235.58	95.3
52-5200-250 LAB SUPPLIES	1,229.24	6,722.66	5,000.00	(1,722.66)	134.5
52-5200-251 WATER REUSE EQUIP SUP & MAINT	.00	.00	1,000.00	1,000.00	.0
52-5200-254 PLANT EQUIP SUP & MAINT	17,961.36	67,593.23	250,000.00	182,406.77	27.0
52-5200-255 COLLECTION SYSTEM MAINTENANCE	400.00	50,780.63	50,000.00	(780.63)	101.6
52-5200-256 MBR CLEANING CHEMICALS	.00	4,288.00	130,000.00	125,712.00	3.3
52-5200-257 ALUMINUM SULFATE	.00	32,552.45	30,000.00	(2,552.45)	108.5
52-5200-260 BLDG & GROUNDS SUP & MAINT	.00	.00	500.00	500.00	.0
52-5200-270 UTILITIES	19,423.06	111,506.10	240,000.00	128,493.90	46.5
52-5200-280 TELEPHONE	284.45	1,197.94	4,500.00	3,302.06	26.6
52-5200-285 INTERNET SERVICE	442.40	2,256.37	6,000.00	3,743.63	37.6
52-5200-310 PROFESSIONAL SERVICES	8,475.55	24,483.82	30,000.00	5,516.18	81.6
52-5200-510 INSURANCE	20,318.89	20,318.89	17,500.00	(2,818.89)	116.1
52-5200-610 MISCELLANEOUS	(67.00)	1,069.68	2,000.00	930.32	53.5
52-5200-700 AMORTIZATION OF BOND COSTS	.00	.00	2,500.00	2,500.00	.0
52-5200-740 EQUIPMENT	.00	.00	50,000.00	50,000.00	.0
52-5200-753 ARPA FUNDS	143,458.39	153,422.14	510,032.00	356,609.86	30.1
52-5200-812 DEBT SERVICE-WWTP	3,560.31	21,284.24	142,800.00	121,515.76	14.9
52-5200-822 DEBT SERVICE-INT. WWTP	3,405.69	20,511.76	40,900.00	20,388.24	50.2
52-5200-840 DEBT SERVICE - TRUSTEE FEES	.00	.00	1,000.00	1,000.00	.0
TOTAL SEWER DEPARTMENT	269,357.35	920,881.97	2,102,232.00	1,181,350.03	43.8
TOTAL FUND EXPENDITURES	269,357.35	920,881.97	2,102,232.00	1,181,350.03	43.8
NET REVENUE OVER EXPENDITURES	(77,234.11)	307,451.41	122,268.00	(185,183.41)	251.5

HYRUM CITY CORPORATION
BALANCE SHEET
DECEMBER 31, 2022

ELECTRIC UTILITY FUND

ASSETS

53-1010000	CASH IN COMBINED FUND	2,322,470.72	
53-1311000	ACCTS REC - UTILITIES	707,654.81	
53-1311001	ACCTS REC - PRIOR PERIOD	640,919.91	
53-1311710	DEFERRED COLL. COST	(9,560.91)	
53-1312000	ALLOW FOR BAD UTILITY ACCOUNTS	(6,470.18)	
53-1511510	INVENTORY - ELECTRIC	2,157,011.91	
53-1565530	RIGHT OF USE ASSET	32,311.00	
53-1565531	ACCUMULATED AMORTIZATION	(10,536.00)	
53-1571000	DEFERRED OUTFLOW OF RESOURCES	137,364.00	
53-1611000	LAND - ELECTRIC UTILITY	823,439.55	
53-1621000	BUILDINGS - ELECTRIC UTILITY	1,494,900.33	
53-1621100	SAN JUAN POWER PURCHASE	1,784,730.20	
53-1621500	PAYSON POWER PURCHASE	101,111.59	
53-1622000	DEPRECIATION - ELEC BUILDINGS	(547,292.72)	
53-1631000	ELEC POWER DISTRIBUTION SYSTEM	9,299,387.63	
53-1632000	DEPREC - POWER DIST SYSTEM	(5,895,034.94)	
53-1651000	EQUIPMENT - ELECTRIC UTILITY	2,794,570.90	
53-1652000	DEPRECIATION - ELEC EQUIPMENT	(1,654,509.51)	
53-1711000	CONSTRUCTION IN PROGRESS	2,440,951.72	
		<hr/>	
	TOTAL ASSETS		16,613,420.01
			<hr/> <hr/>

LIABILITIES AND EQUITY

LIABILITIES

53-2131000	ACCTS PAY - ELECTRIC	603,194.46	
53-2131500	ACCTS PAY - UTILITY DEPOSITS	444,633.93	
53-2228000	ACCRUED VACATION - ELECTRIC	111,121.35	
53-2228001	DEFERRED INFLOWS OF RESOURCES	423,527.00	
53-2228002	UNFUNDED PENSION PAYABLE	(310,416.00)	
53-2228003	LEASE LIABILITY	21,775.00	
53-2230100	ACCRUED SICK LEAVE - ELECTRIC	143,255.44	
53-2411100	STATE SALES TAX PAYABLE	14,006.90	
53-2411101	SALES TAX PAY - NON CURRENT	8,958.47	
53-2411102	SALES TAX - NON CITY	299.95	
		<hr/>	
	TOTAL LIABILITIES		1,460,356.50

FUND EQUITY

UNAPPROPRIATED FUND BALANCE:			
53-2951000	ELECTRIC FUND - UNAPPROPRIATED	16,164,228.44	
53-2971001	UNFUNDED PENSION ADJ.	(183,539.00)	
	REVENUE OVER EXPENDITURES - YTD	(827,625.93)	
		<hr/>	
	BALANCE - CURRENT DATE		15,153,063.51
			<hr/>
	TOTAL FUND EQUITY		15,153,063.51

HYRUM CITY CORPORATION
BALANCE SHEET
DECEMBER 31, 2022

ELECTRIC UTILITY FUND

TOTAL LIABILITIES AND EQUITY

16,613,420.01

HYRUM CITY CORPORATION
REVENUES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING DECEMBER 31, 2022

ELECTRIC UTILITY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>UTILITY REVENUES</u>					
53-3751 METERED ENERGY SALES	776,317.87	5,614,395.87	10,450,000.00	4,835,604.13	53.7
53-3752 ENERGY DISCOUNTS	(5,374.05)	(30,339.00)	(90,000.00)	(59,661.00)	(33.7)
53-3755 NEW CONNECTION FEES	11,500.00	109,715.15	85,000.00	(24,715.15)	129.1
53-3757 SALE OF MATERIALS	.00	300.00	.00	(300.00)	.0
53-3758 CUSTOMER SERVICE & MISC	6,110.90	101,213.43	500,000.00	398,786.57	20.2
53-3761 INTEREST EARNINGS	7,654.69	33,738.16	13,200.00	(20,538.16)	255.6
53-3767 IMPACT FEE - DISTRIBUTION	7,590.00	93,326.00	126,500.00	33,174.00	73.8
TOTAL UTILITY REVENUES	803,799.41	5,922,349.61	11,084,700.00	5,162,350.39	53.4
<u>SOURCE 38</u>					
53-3860 BOND PROCEEDS	.00	.00	3,000,000.00	3,000,000.00	.0
TOTAL SOURCE 38	.00	.00	3,000,000.00	3,000,000.00	.0
TOTAL FUND REVENUE	803,799.41	5,922,349.61	14,084,700.00	8,162,350.39	42.1

Section 12. Item B.

HYRUM CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING DECEMBER 31, 2022

ELECTRIC UTILITY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>ELECTRIC DEPARTMENT</u>					
53-5300-110 SALARIES AND WAGES	68,537.56	407,862.61	799,100.00	391,237.39	51.0
53-5300-115 OVERTIME	2,806.05	26,563.43	55,000.00	28,436.57	48.3
53-5300-116 STANDBY TIME	858.50	4,568.00	10,000.00	5,432.00	45.7
53-5300-120 SEASONAL/TEMPORARY EMPLOYEES	.00	2,800.00	20,000.00	17,200.00	14.0
53-5300-130 EMPLOYEE BENEFITS	31,710.50	191,825.86	390,200.00	198,374.14	49.2
53-5300-210 BOOKS, SUBSCRIP & MEMBERSHIPS	.00	.00	200.00	200.00	.0
53-5300-220 PUBLIC NOTICES	.00	.00	300.00	300.00	.0
53-5300-230 TRAVEL & TRAINING	2,059.68	5,020.75	25,000.00	19,979.25	20.1
53-5300-240 OFFICE SUPPLIES AND EXPENSE	355.36	3,984.54	10,000.00	6,015.46	39.9
53-5300-250 EQUIP SUPPLIES & MAINTENANCE	7,390.16	60,753.32	125,000.00	64,246.68	48.6
53-5300-255 GEN & DIST SYSTEM MAINTENANCE	29,294.53	253,039.41	750,000.00	496,960.59	33.7
53-5300-256 TREE CITY/CONSUMER ED.	7,250.00	53,728.00	85,000.00	31,272.00	63.2
53-5300-257 DIESEL GENERATOR COSTS	736.97	125,863.91	730,000.00	604,136.09	17.2
53-5300-258 CHRISTMAS DECORATIONS	.00	.00	10,000.00	10,000.00	.0
53-5300-259 HYDRO PLANT MAINTENANCE	819.50	1,319.50	10,000.00	8,680.50	13.2
53-5300-260 BLDGS & GROUNDS SUP & MAINT	970.90	13,131.10	35,000.00	21,868.90	37.5
53-5300-270 UTILITIES	2,543.74	3,177.98	8,000.00	4,822.02	39.7
53-5300-280 TELEPHONE	606.21	3,077.94	6,000.00	2,922.06	51.3
53-5300-285 INTERNET SERVICE	97.08	485.40	500.00	14.60	97.1
53-5300-310 PROFESSIONAL SERVICES	9,410.84	29,169.50	65,000.00	35,830.50	44.9
53-5300-510 INSURANCE	25,475.06	25,475.06	25,000.00	(475.06)	101.9
53-5300-610 MISCELLANEOUS SUPPLIES	766.97	21,582.09	10,000.00	(11,582.09)	215.8
53-5300-620 MISCELLANEOUS SERVICES	4,533.01	25,954.48	30,000.00	4,045.52	86.5
53-5300-630 POWER PURCHASE	758,546.76	4,584,628.06	7,600,000.00	3,015,371.94	60.3
53-5300-735 CANYON PARK IMPROVEMENTS	571.66	571.66	5,000.00	4,428.34	11.4
53-5300-740 EQUIPMENT	.00	49,594.16	318,700.00	269,105.84	15.6
53-5300-750 NEW CONSTRUC, SPECIAL PROJECTS	98,622.32	855,798.78	2,900,000.00	2,044,201.22	29.5
TOTAL ELECTRIC DEPARTMENT	1,053,963.36	6,749,975.54	14,023,000.00	7,273,024.46	48.1
TOTAL FUND EXPENDITURES	1,053,963.36	6,749,975.54	14,023,000.00	7,273,024.46	48.1
NET REVENUE OVER EXPENDITURES	(250,163.95)	(827,625.93)	61,700.00	889,325.93	(1341.

FOR ADMINISTRATION USE ONLY

50 % OF THE FISCAL YEAR HAS ELAPSED

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HYRUM CITY CORPORATION
BALANCE SHEET
DECEMBER 31, 2022

IRRIGATION UTILITY FUND

ASSETS

54-1010000	CASH IN COMBINED FUND	780,475.20	
54-1311000	ACCTS REC - UTILITIES	25,258.50	
54-1311001	ACCTS REC - PRIOR PERIOD	18,475.01	
54-1312000	ALLOW FOR BAD UTILITY ACCOUNTS	(379.55)	
54-1511510	INVENTORY - IRRIGATION	2,407.70	
54-1571000	DEFERRED OUTFLOW OF RESOURCES	8,325.00	
54-1611000	LAND & STOCK - IRR UTILITY	1,245,261.09	
54-1631000	IRRIGATION DISTRIBUTION SYSTEM	6,731,732.39	
54-1632000	DEPRECIATION - IRRIG DIST SYS	(5,182,733.95)	
54-1651000	EQUIPMENT - IRRIGATION UTILITY	146,095.47	
54-1652000	DEPRECIATION - IRRI EQUIPMENT	(89,370.34)	
54-1711000	CONSTRUCTION IN PROGRESS	795.00	
	TOTAL ASSETS		<u>3,686,341.52</u>

LIABILITIES AND EQUITYLIABILITIES

54-2228000	ACCRUED VAC PAY - IRRIGATION	6,970.89	
54-2228001	DEFERRED INFLOWS OF RESOURCES	25,668.00	
54-2228002	UNFUNDED PENSION PAYABLE	(18,812.00)	
54-2230100	ACCRUED SICK LEAVE - IRRIGATION	10,750.37	
	TOTAL LIABILITIES		24,577.26

FUND EQUITY

54-2811540	CONTRIBUTED CAPITAL	4,101,602.62	
	UNAPPROPRIATED FUND BALANCE:		
54-2951000	IRR FUND - UNAPPROPRIATED	(449,844.07)	
54-2971001	UNFUNDED PENSION ADJ.	(14,791.00)	
	REVENUE OVER EXPENDITURES - YTD	24,796.71	
	BALANCE - CURRENT DATE	(439,838.36)	
	TOTAL FUND EQUITY		<u>3,661,764.26</u>
	TOTAL LIABILITIES AND EQUITY		<u>3,686,341.52</u>

HYRUM CITY CORPORATION
REVENUES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING DECEMBER 31, 2022

IRRIGATION UTILITY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
54-3340 STATE - FEDERAL GRANTS	.00	.00	805,000.00	805,000.00	.0
TOTAL SOURCE 33	.00	.00	805,000.00	805,000.00	.0
<u>UTILITY REVENUES</u>					
54-3771 IRRIGATION SERVICE	31,334.54	175,483.05	350,000.00	174,516.95	50.1
54-3775 NEW CONNECTION FEES	794.00	794.00	1,000.00	206.00	79.4
54-3779 MISCELLANEOUS REVENUES	.00	.00	5,000.00	5,000.00	.0
54-3781 INTEREST EARNINGS	2,149.13	8,515.17	3,300.00	(5,215.17)	258.0
54-3785 IMPACT FEE - "BUY-IN"	3,176.00	23,026.00	59,550.00	36,524.00	38.7
TOTAL UTILITY REVENUES	37,453.67	207,818.22	418,850.00	211,031.78	49.6
<u>CONTRIBUTIONS AND TRANSFERS</u>					
54-3830 TRANSFER FROM GENERAL FUND	.00	.00	510,032.00	510,032.00	.0
TOTAL CONTRIBUTIONS AND TRANSFERS	.00	.00	510,032.00	510,032.00	.0
TOTAL FUND REVENUE	37,453.67	207,818.22	1,733,882.00	1,526,063.78	12.0

HYRUM CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING DECEMBER 31, 2022

IRRIGATION UTILITY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>IRRIGATION DEPARTMENT</u>					
54-5400-110 SALARIES AND WAGES	3,621.63	21,386.07	87,400.00	66,013.93	24.5
54-5400-115 OVERTIME	.00	166.64	2,000.00	1,833.36	8.3
54-5400-130 EMPLOYEE BENEFITS	1,752.93	10,727.32	57,900.00	47,172.68	18.5
54-5400-220 PUBLIC NOTICES	.00	.00	500.00	500.00	.0
54-5400-240 OFFICE SUPPLIES AND EXPENSE	.00	2,701.20	4,500.00	1,798.80	60.0
54-5400-250 EQUIP SUPPLIES & MAINTENANCE	.00	.00	10,000.00	10,000.00	.0
54-5400-255 DISTRIB SYSTEM MAINTENANCE	(61,377.57)	4,959.01	30,000.00	25,040.99	16.5
54-5400-260 BLDGS & GROUNDS SUP & MAINT	.00	900.00	1,000.00	100.00	90.0
54-5400-270 UTILITIES	394.66	34,838.59	55,000.00	20,161.41	63.3
54-5400-280 TELEPHONE	32.50	82.50	50.00	(32.50)	165.0
54-5400-310 PROFESSIONAL SERVICES	3,498.04	4,715.84	10,000.00	5,284.16	47.2
54-5400-510 INSURANCE	4,087.03	4,087.03	3,500.00	(587.03)	116.8
54-5400-540 IRRIGATION ASSESSMENTS	69,627.88	83,560.63	80,000.00	(3,560.63)	104.5
54-5400-750 NEW CONSTRUCTION	14,332.50	14,896.68	1,214,000.00	1,199,103.32	1.2
TOTAL IRRIGATION DEPARTMENT	35,969.60	183,021.51	1,555,850.00	1,372,828.49	11.8
TOTAL FUND EXPENDITURES	35,969.60	183,021.51	1,555,850.00	1,372,828.49	11.8
NET REVENUE OVER EXPENDITURES	1,484.07	24,796.71	178,032.00	153,235.29	13.9

HYRUM CITY CORPORATION
BALANCE SHEET
DECEMBER 31, 2022

STORMWATER FUND

ASSETS

55-1010000	CASH IN COMBINED FUND		719,619.93
55-1311000	ACCTS REC - STORMWATER		13,433.85
55-1311001	ACCTS REC - PRIOR PERIOD		15,927.75
55-1312000	ALLOW FOR BAD UTILITY ACCOUNTS	(	66.80)
55-1571000	DEFERRED OUTFLOW OF RESOURCES		4,204.00
55-1611000	LAND & STOCK - STORM WATER		40,566.00
55-1631000	STORM WATER IMPROVEMENTS		1,030,414.19
55-1632000	DEPRECIATION - STORM WATER	(	342,818.32)
55-1651000	EQUIPMENT - STORMWATER UTILITY		225,244.55
55-1652000	DEPRECIATION - STORM WATER EQU	(	176,545.92)
	TOTAL ASSETS		<u>1,529,979.23</u>

LIABILITIES AND EQUITYLIABILITIES

55-2228000	ACCRUED VACATION - STORMWATER		3,718.37
55-2228001	DEFERRED INFLOWS OF RESOURCES		12,962.00
55-2228002	UNFUNDED PENSION PAYABLE	(	9,501.00)
55-2230100	ACCRUED SICK LEAVE - STORMWATE		7,528.18
	TOTAL LIABILITIES		<u>14,707.55</u>

FUND EQUITY

UNAPPROPRIATED FUND BALANCE:			
55-2951000	STORMWATER FUND-UNAPPROPRIATED	1,411,754.68	
55-2971001	UNFUNDED PENSION ADJ.	(	4,347.00)
	REVENUE OVER EXPENDITURES - YTD	<u>107,864.00</u>	
	BALANCE - CURRENT DATE		<u>1,515,271.68</u>
	TOTAL FUND EQUITY		<u>1,515,271.68</u>
	TOTAL LIABILITIES AND EQUITY		<u>1,529,979.23</u>

Section 12. Item B.

HYRUM CITY CORPORATION
REVENUES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING DECEMBER 31, 2022

STORMWATER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>UTILITY REVENUES</u>					
55-3740 STORM WATER INSPECTION FEES	900.00	6,000.00	15,000.00	9,000.00	40.0
55-3781 STORMWATER FEES	25,371.37	151,371.01	325,000.00	173,628.99	46.6
55-3791 INTEREST EARNINGS	1,925.23	7,284.14	2,750.00	(4,534.14)	264.9
	<u>28,196.60</u>	<u>164,655.15</u>	<u>342,750.00</u>	<u>178,094.85</u>	<u>48.0</u>
TOTAL UTILITY REVENUES					
	<u>28,196.60</u>	<u>164,655.15</u>	<u>342,750.00</u>	<u>178,094.85</u>	<u>48.0</u>
TOTAL FUND REVENUE					

FOR ADMINISTRATION USE ONLY

50 % OF THE FISCAL YEAR HAS ELAPSED

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HYRUM CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING DECEMBER 31, 2022

STORMWATER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>STORMWATER DEPARTMENT</u>					
55-5500-110 SALARIES AND WAGES	1,666.77	9,897.32	18,300.00	8,402.68	54.1
55-5500-115 OVERTIME	65.33	403.74	1,000.00	596.26	40.4
55-5500-130 EMPLOYEE BENEFITS	774.57	4,729.36	9,500.00	4,770.64	49.8
55-5500-220 PUBLIC NOTICES	39.66	39.66	500.00	460.34	7.9
55-5500-230 TRAVEL & TRAINING	.00	470.00	1,000.00	530.00	47.0
55-5500-250 EQUIP SUPPLIES & MAINTENANCE	.00	.00	2,500.00	2,500.00	.0
55-5500-255 COLLECTION SYSTEM	.00	500.00	15,000.00	14,500.00	3.3
55-5500-280 TELEPHONE	17.50	42.50	.00	(42.50)	.0
55-5500-310 PROFESSIONAL SERVICES	3,829.00	8,015.25	30,000.00	21,984.75	26.7
55-5500-450 FLOOD CONTROL	133.64	133.64	3,000.00	2,866.36	4.5
55-5500-510 INSURANCE	488.34	488.34	500.00	11.66	97.7
55-5500-750 NEW CONSTRUCTION	.00	32,071.34	314,500.00	282,428.66	10.2
TOTAL STORMWATER DEPARTMENT	7,014.81	56,791.15	395,800.00	339,008.85	14.4
TOTAL FUND EXPENDITURES	7,014.81	56,791.15	395,800.00	339,008.85	14.4
NET REVENUE OVER EXPENDITURES	21,181.79	107,864.00	(53,050.00)	(160,914.00)	203.3

HYRUM CITY CORPORATION
BALANCE SHEET
DECEMBER 31, 2022

COURT TRUST FUND

ASSETS

72-1010000	CASH IN COMBINED FUND	(	24,001.51)	
72-1111000	COURT BANK ACCOUNT		65,884.91	
72-1111001	FINES RECEIVABLE		10,057.00	
72-1311000	ACCTS REC - COURT FINES		48,659.00	
				<u>100,599.40</u>
	TOTAL ASSETS			<u>100,599.40</u>

LIABILITIES AND EQUITY

LIABILITIES

72-2131110	ACCTS PAY - OTHER		48,754.00	
72-2131151	ACCTS PAY - J.P. COURT		26,592.73	
72-2131154	ACCTS PAY - TRUST ACCOUNT BAIL		15,195.67	
72-2140000	PAYABLES TO OTHER ENTITIES		10,057.00	
				<u>100,599.40</u>
	TOTAL LIABILITIES			<u>100,599.40</u>
	TOTAL LIABILITIES AND EQUITY			<u>100,599.40</u>