

PLANNING COMMISSION MEETING

Thursday, April 14, 2022 at 6:30 PM Council Chambers, 60 West Main, Hyrum, Utah

AGENDA

Public notice is hereby given of a Hyrum Planning Commission Meeting to be held in the Council Chambers, 60 West Main, Hyrum, Utah at 6:30 PM, April 14, 2022. The proposed agenda is as follows:

- 1. ROLL CALL
- 2. PLEDGE OF ALLEGIANCE
- 3. INVOCATION
- 4. APPROVAL OF MINUTES
 - A. 02/24/2022
- 5. AGENDA APPROVAL
- 6. SCHEDULED DELEGATIONS
 - A. Ricky Andersen, BluWatersports To request Site Plan approval to place a temporary/seasonal business next to Manning Short Stop at approximately 340 West Main Street to rent water sports equipment.
 - <u>Blaine Andersen</u> To request approval of a three-lot mini subdivision located at approximately 135 North 200 East.
 - <u>C.</u> <u>Chris Scholle with ZX investments</u> To request approval of a three-lot mini subdivision located at approximately 470 West 400 North.
 - <u>D.</u> <u>Terra Alta Ventures</u> To request Concept Plan approval of Harvest Valley Court for a 3.75 acre Planned Unit Developement. This development is proposed as a senior living community locates at 43 North 300 East.
- 7. ADJOURNMENT

Shalyn Maxfield Secretary

Commission Members may participate in the meeting via telephonic communication. If a Commission Member does participate via telephonic communication, the Commission Member will be on speakerphone. The speakerphone will be amplified so that the other Commission

Members and all other persons present in the Commission Chambers will be able to hear all discussions. In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify Hyrum City Planning Commission at 435-245-6033 at least three working days before the meeting.

CERTIFICATE OF POSTING - The undersigned, duly appointed and acting City Secretary of Hyrum City, Utah, does hereby certify that a copy of the foregoing Notice was emailed to The Herald Journal, Logan, Utah, posted on the Utah Public Notice Website and Hyrum City's Website, provided to each member of the governing body, and posted at the City Offices, 60 West Main, Hyrum, Utah, this 12th day of April, 2022. Shalyn Maxfield, Secretary

MINUTES OF A SPECIAL MEETING OF THE HYRUM CITY PLANNING COMMISSION HELD FEBRUARY 24, 2022 AT THE HYRUM CITY COUNCIL CHAMBERS, 60 WEST MAIN, HYRUM, UTAH.

CONVENED: 6:30 P.M.

CONDUCTING: Chairman Brian Carver

PRESENT: Chairman Brian Carver and Commissioners Angi Bair, Blake Foster, Paul Willardson, and Alternate Member Dixie Schwartz.

EXCUSED: Commissioner Terry Mann

CALL TO ORDER: There being five members present and five members representing a quorum, Chairman Brian Carver called the meeting to order.

OTHERS PRESENT: Zoning Administrator Matt Holmes and 19 citizens. Secretary Shalyn Maxfield recorded the minutes.

PLEDGE OF ALLEGIANCE: Commissioner Paul Willardson led the governing body and the citizens in the Pledge of Allegiance.

INVOCATION: Commissioner Angi Bair

APPROVAL OF MINUTES:

The minutes of a regular meeting held on January 13, 2022 were approved as written.

ACTION

Commissioner Angi Bair made a motion to approve the minutes of January 13, 2022 as written. Commissioner Paul Willardson seconded the motion and Commissioners Bair, Carver, Foster, Schwartz, and Willardson voted aye.

AGENDA APPROVAL:

A copy of the notice and agenda for this meeting was EMAILED to The Herald Journal, posted on the Utah Public Notice Website and Hyrum City's website, distributed to each member of the Planning Commission, and posted at the City Offices more than forty-eight hours before meeting time.

ACTION

Commissioner Paul Willardson made a motion to approve the Agenda for February 24, 2022 as written. Commissioner Angi Bair seconded the motion and Commissioners Bair, Carver, Foster, Schwartz, and Willardson voted aye.

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6. SCHEDULED DELEGATIONS:

- A. Terra Alta Venture To request Concept Plan approval of Harvest Valley Court for a 3.75 acre Planned Unit Development. This Development is proposed as a senior living community located at 43 North 300 East.
- B. <u>Mikhail Maxfield</u> To request an exception from setback requirements for an accessory structure.
- C. <u>Sunray Properties</u> To request Site Plan approval for a 39,200 square foot building located at approximately 230 North Center Street.
- 8. ADJOURNMENT

SCHEDULED DELEGATIONS:

Commissioner Brian Carver stated that the community was informed that there would be a public hearing regarding a senior living community. It was unintentionally left off the agenda, so the planning commission decided to allow public comment.

Tony Ekins stated that he wants to continue to see animal rights and rural density for the community. The addition of vertical scale housing or apartments would increase the density and take away from the spirit of the zoning. The presented senior living units seem to be better suited. Units 11-17 would look better facing main street to beautify the street. The access for units four and five could be switched with a drainage pond instead of curbing to help with safety. The senior living center would be beneficial in that area as they would have close access to Emergency services.

Pat Hansen expressed concern about the apartments and was more in favor of the 28 units. She also questioned if these units would be rented or individually owned.

Commissioner Brian Carver advised that at this step in the process that information is not required.

Ryan Smith said that he was drawn to this area because of the farmland but is open to growth. His concern would be the lighting and how it will affect his yard and home. He also expressed concern about flooding and drainage.

Gail Bates expressed concern about the potential of increased traffic in that area.

Commissioner Brian Carver closed public comment.

TERRA ALTA VENTURE - TO REQUEST CONCEPT PLAN APPROVAL OF HARVEST

VALLEY COURT FOR A 3.75 ACRE PLANNED UNIT DEVELOPMENT. THIS DEVELOPMENT IS PROPOSED AS A SENIOR LIVING COMMUNITY LOCATED AT 43 NORTH 300 EAST.

Matt Lee with Terra Alta Venture stated that he appreciated the public comments and feedback. This project is meant to be a 55 and older community with limited occupancy to maintain a tranquil community. It will be fully landscaped with 50 percent greenspace, a retention pond, walking paths, and an activity gazebo. The two-story apartments would run along main street. There will be four patio home structures, like the Blacksmith Fork Villas, which are single level. This leaves them under the maximum of ten units per acre. There will be plenty of parking along the street, in garages, and driveways which comes out to about 2.6 spaces per unit.

Annette Francis a real estate agent with the project said that there is a lack of senior housing everywhere. She stated the importance of the apartments as an option for those who are unable to take care of a yard but not completely dependent on others to care for them.

Matt Lee said the apartments are one to two bedrooms, 850 square feet, luxury space that are affordable and provide independence. There will also be a social room or common space.

Commissioner Angi Bair asked if there will be an elevator.

Commissioner Brian Carver asked if there will be both interior and exterior entrances to the units.

Matt Lee expressed that there will be an elevator and that he would like to have both interior and exterior entrances.

Annette Francis stated that one entrance is more secure and easier to maintain when dealing with ice removal.

Matt Lee also said that they are flexible with the number of units. The patio homes will be 2000 square feet with the option of a bonus room above the garage. The traffic flow has shown to be substantially lower in a community like this as well.

A discussion took place between the Planning Commission and Zoning Administrator Matt Holmes to ensure that all the city codes were being met or abided by. It was determined that as this is the first step in the process of approval that a lot of the questions such as fencing, garbage removal, snow removal, lighting, and landscaping would be discussed in future meetings if the item is allowed to move forward.

Commissioner Brain Carver allowed for any additional public

comments.

Wayne Bachman expressed concern about any 5G antennas that may be installed as they cause him pain to be around.

Gale Bates stated that at 55 their young kids will be driving and was concerned where they will park. Also, if the 55 and older have kids living with them how would that affect if they can live there.

Commissioner Angi Bair stated that the community is limited to a minimum age of 55 but it is unlikely that they will move in until they are older.

Pat Hansen reiterated the need to preserve the ruralness of the city and that the apartments do not do that, she also expressed that if this project is to move forward that she would be more in favor of the patio housing.

Celest Huss stated that she is a real estate agent but is not linked to this project at all. The need for the apartments is there and it would serve the community well. She also stated that she feels this is a well thought out project that would help with the lack of housing.

Tony Ekins expressed that usually in a senior living community of this scale there is an assisted living or nurses available. He is concerned that initially the project didn't include apartments and would hate to see people getting burned on their rent for a studio type apartment.

Another discussion took place amongst the Planning Commission to make sure processes are being followed.

Commissioner Angi Bair made a motion to recommend approval of the item. There was no second so the motion died and discussion continued.

Commissioner Angi Bair stated that each of the concerns were addressed by the project. There is a shortage in all types of housing for families and older couples ready to retire. This type of community will help both. By providing housing and apartments for the older generation that are no longer in need of large houses with yards they in turn move out of their homes with yards providing that for young families that need the space. The location is good because it is close to bus stops, the senior center, EMS, City offices, banks, and the grocery store. As the project moves forward more things can be cleared up and become more detailed.

The Planning Commission continued discussion and expressed the importance of making sure everything is looked at and discussed

before recommending the project to the City Council.

ACTION

Commissioner Angi Bair made a motion to recommend Concept Plan approval of Harvest Valley Court for a 3.75 acre Planned Unit Development proposed as a senior living community located at 43 North 300 East as presented. Commissioner Blake Foster seconded the motion and Commissioners Bair, Carver, Foster, Schwartz, and Willardson voted aye.

MIKHAIL MAXFIELD - TO REQUEST AN EXCEPTION FROM SETBACK REQUIREMENTS FOR AN ACCESSORY STRUCTURE.

Mikhail Maxfield said when planning out the landscaping for the yard he was unaware of the 25-foot setback along the roadside of the fence. He asked for an exception to allow for shed five feet away from the fence as it will be behind a six-foot vinyl fence in the back yard.

ACTION

Commissioner Paul Willardson made a motion to recommend approval of an exception to setback requirements for an accessory structure as presented. Commissioner Angi Bair seconded the motion and Commissioners Bair, Carver, Foster, Schwartz, and Willardson voted aye.

SUNRAY PROPERTIES - TO REQUEST SITE PLAN APPROVAL FOR A 39,200 SQUARE FOOT BUILDING LOCATED AT APPROXIMATELY 230 NORTH CENTER STREET.

Randy Godfrey stated that he sent the plans for a dumpster enclosure and information for signage this morning, so it wasn't included in the initial folder but has been addressed. There will be 80 parking stalls and 4 handicap stalls.

Commissioner Paul Willardson asked how many businesses would be able to occupy the building in total.

Randy Godfrey said that there could be up to 11 different businesses but that most of the businesses he has heard from are interested in occupying multiple bays or the majority of the building.

The Planning Commission agreed that it is a sharp looking design that fits in the area and will be a great addition.

Commissioner Paul Willardson asked if there was a plan for the landscaping and trees.

Commissioner Angi Bair asked what type of signage would be used.

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Randy Godfrey said that there are spaces for bushes and trees in the park strip and would be willing to do grass or rocks. There will be one sign that says, "Sunray Properties", but the individual businesses would have to supply their own signage for their bays.

Commissioner Paul Willardson asked about a lighting plan.

Randy Godfrey stated that there will be building lighting on the entrances and two poles with lighting and cameras for security.

ACTION

Commissioner Paul Willardson made a motion to recommend Site Plan approval for a 39,200 square foot building located at approximately 230 North Center Street with the following conditions: 1. The lighting plan be detailed on the Site Plan; 2. A landscaping plan be provided along sidewalk and street; 3. The driveway will be altered as per the notes; 4. Include the required number of ADA stalls; and 5. The garbage and dumpsters will be shown on the Site Plan. Commissioner Blake Foster seconded the motion and Commissioners Bair, Carver, Foster, Schwartz, and Willardson voted aye.

ANNUAL PLANNING COMMISSION REVIEW:

Election of Planning Commission Chairman and Vice Chairman.

ACTION

Commissioner Blake Foster made a motion to appoint Commissioner Terry Mann as Planning Commission Chairman for 2022. Commissioner Angi Bair seconded the motion and Commissioners Bair, Carver, Foster, Schwartz, and Willardson voted aye.

ACTION

Commissioner Brian Carver made a motion to appoint Commissioner Blake Foster as Planning Commission Vice Chairman for 2022. Commissioner Paul Willardson seconded the motion and Commissioners Bair, Carver, Foster, Schwartz, and Willardson voted aye.

Review appointment terms of Planning Commission Members.

Zoning Administrator Matt Holmes advised of the appointment terms for each member.

Set meeting schedule for the year.

The Planning Commission agreed to keep the regular Planning Commission Meetings on the second Thursday of each month at 6:30

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p.m.

Review past years work - conducted by Chairman.

Zoning Administrator Matt Holmes conducted the review and gave updates on the progress of previously approved subdivisions.

ADJOURNMENT:

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There being no further business before the Planning Commission, the meeting adjourned at 8:48 p.m.

	Brian Carver Chairman
ATTEST:	
Shalyn Mafield Secretary	
Approved: As Written	

BLU WATERSPORTS - SITE PLAN ~340 W MAIN STREET PLANNING COMMISSION MEETING APRIL 14, 2022

Summary: Ricky Andersen is seeking site plan approval to place a temporary-seasonal business next to the Manning Short Stop. The business will rent water-sports equipment. The business was approved by the City Council for a trial run last year. Applicant plans to use a tent for equipment storage with expectation to build a large shed in the future.

ZONING: C-2 Commercial - Downtown

UTILITIES:

Power: Culinary: Sewer: Irrigation:

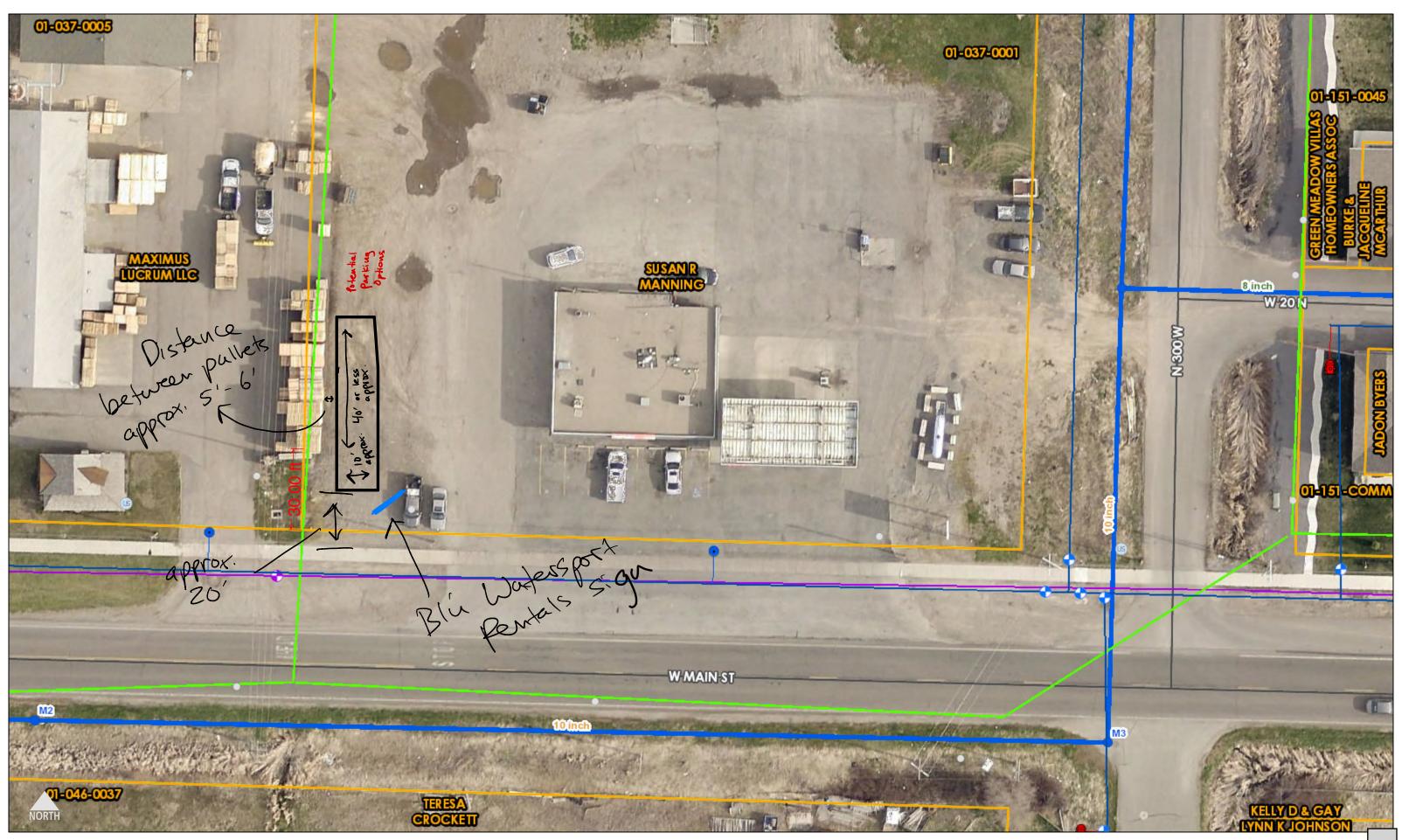
PARKING & ROADS: Parking is to be onsite near the tent. Parking and tent should be located to not block visibility of traffic onsite or in adjacent driveways.

NOTES: Employees are sharing toilet facilities with the Short Stop. Transactions will be done via cellular technology.

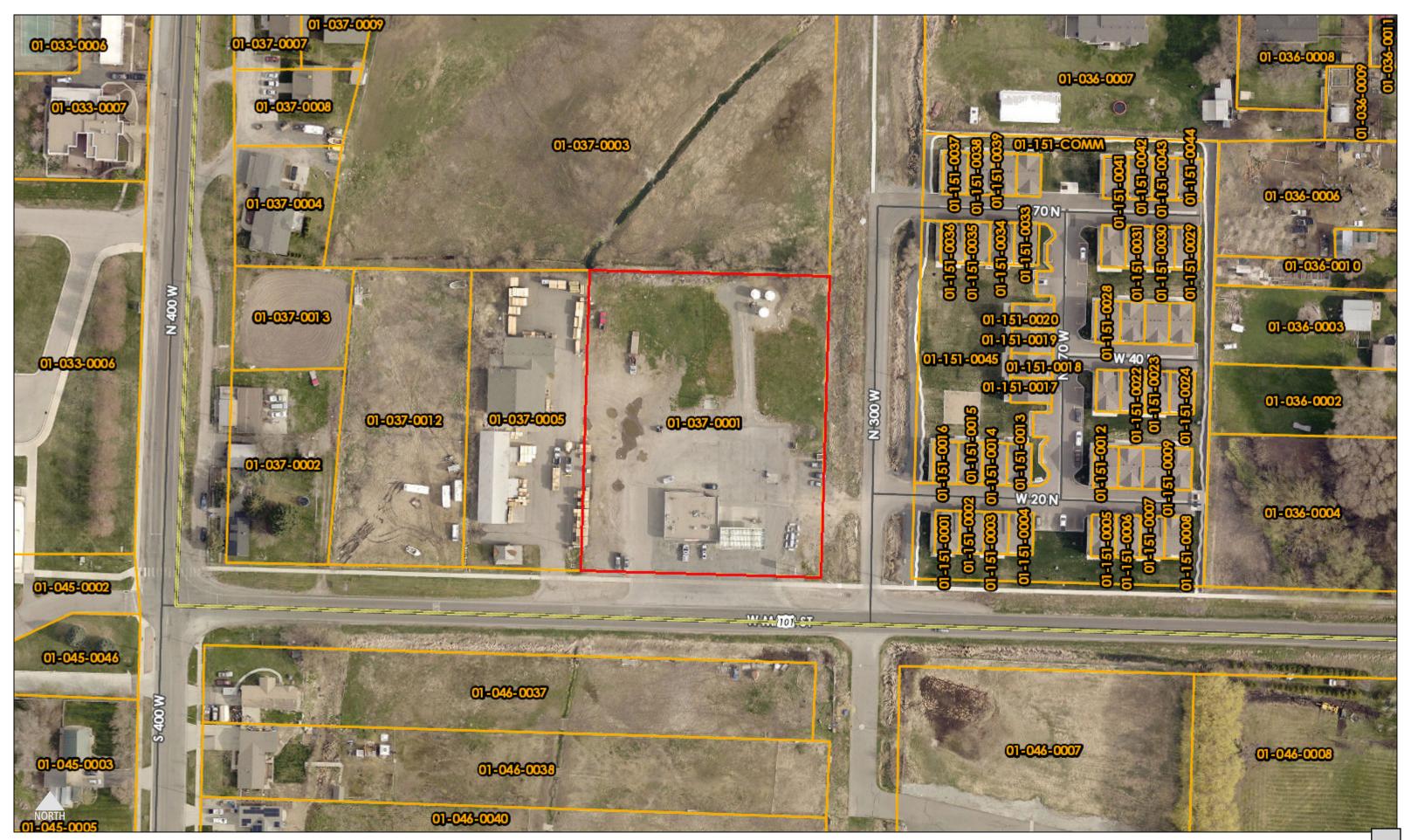
Signage should be discussed as type of sign may require Planning Commission approval.

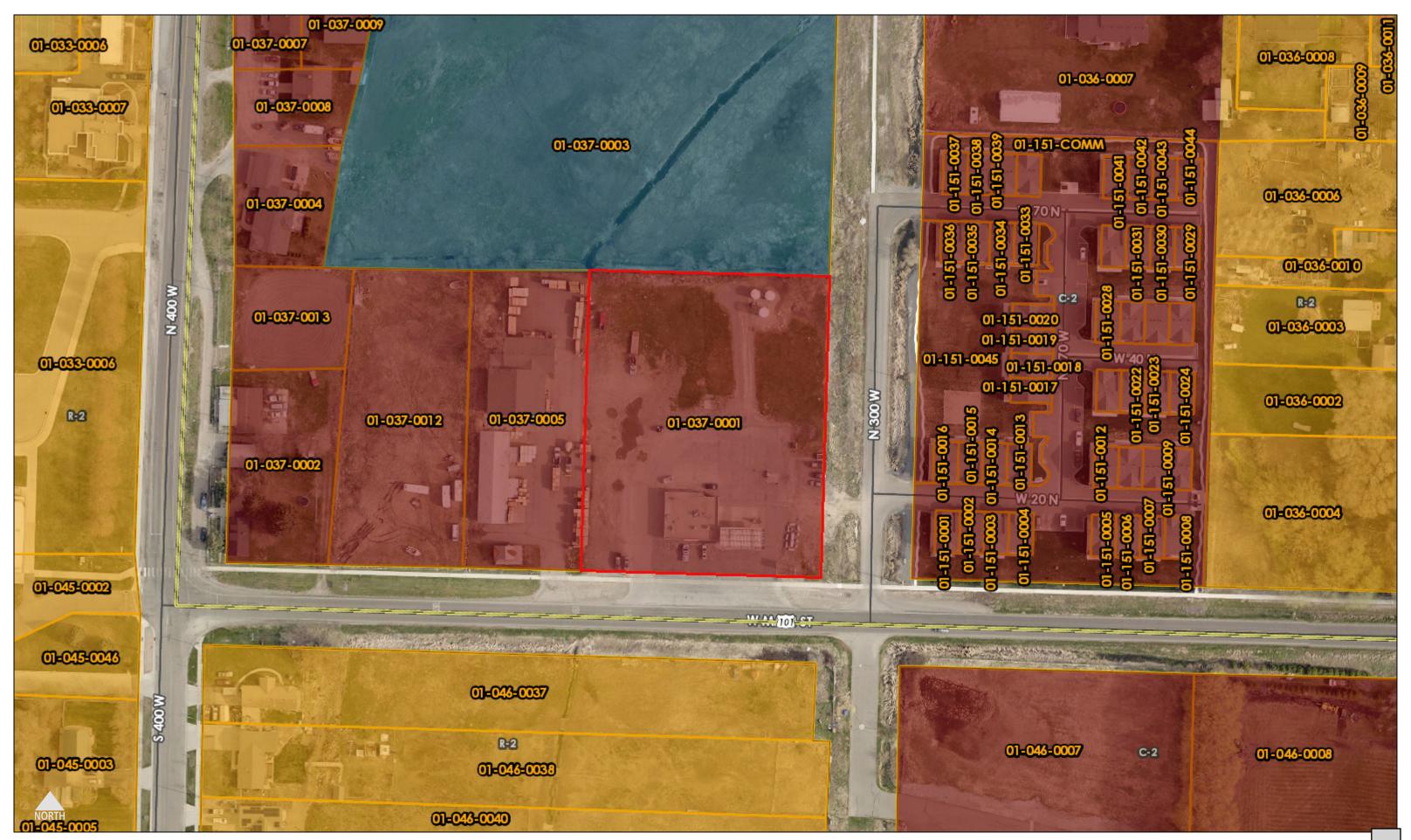
Distance between pallets and tents/structures should be coordinated/approved by fire marshal/building official.

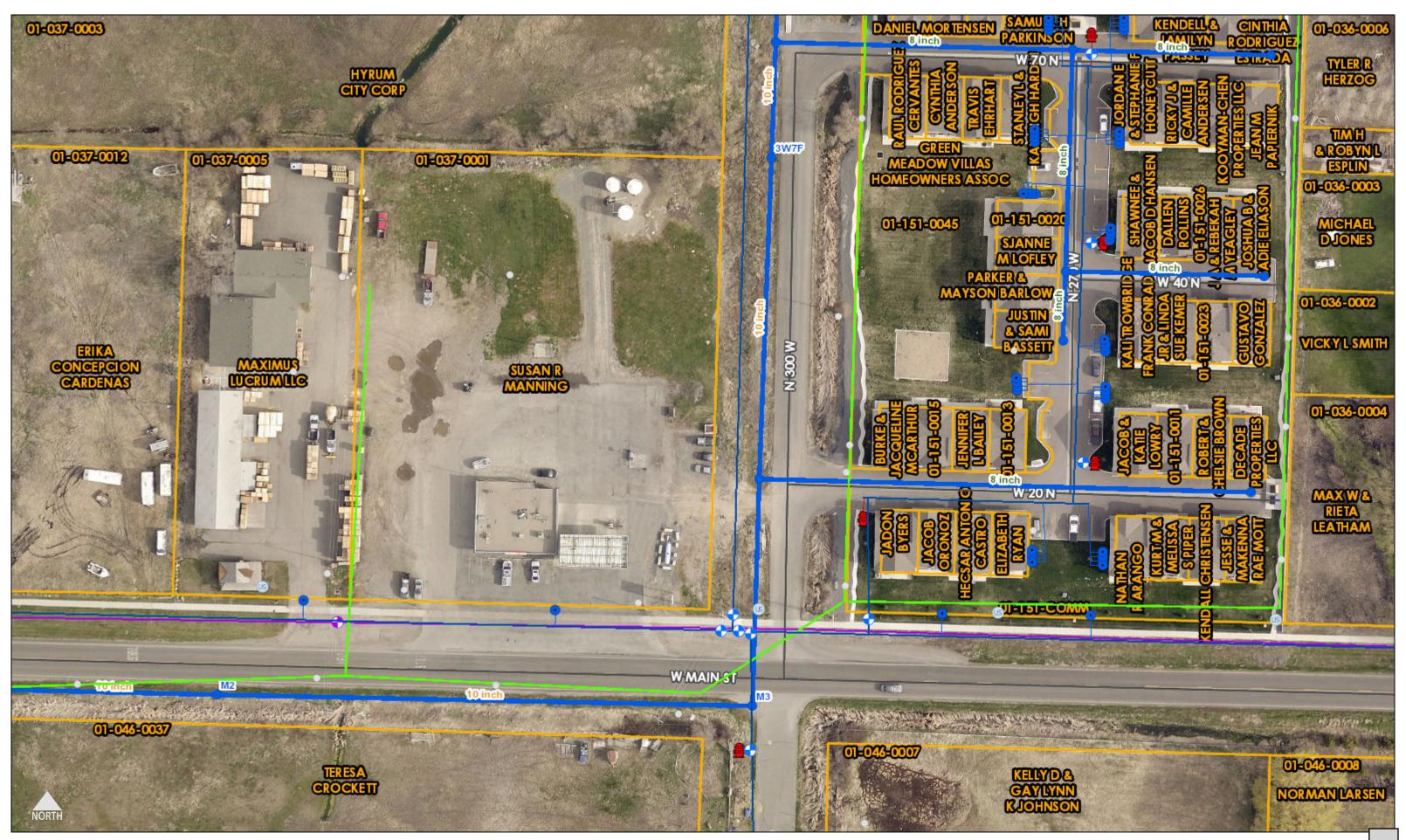
Electrical component delays for equipment not already ordered are estimated to be 2.5 years.



Date: 4/1/2022







ANDERSEN MINI-SUBDIVISION ADDRESS

PLANNING COMMISSION MEETING APRIL 14, 2022

Summary: 2 Lot Mini-Subdivision

ZONING: R-2 Residential

UTILITIES:

Power: Subject to transformer/appurtenance availability

Culinary: Available

Sewer: NOT Available

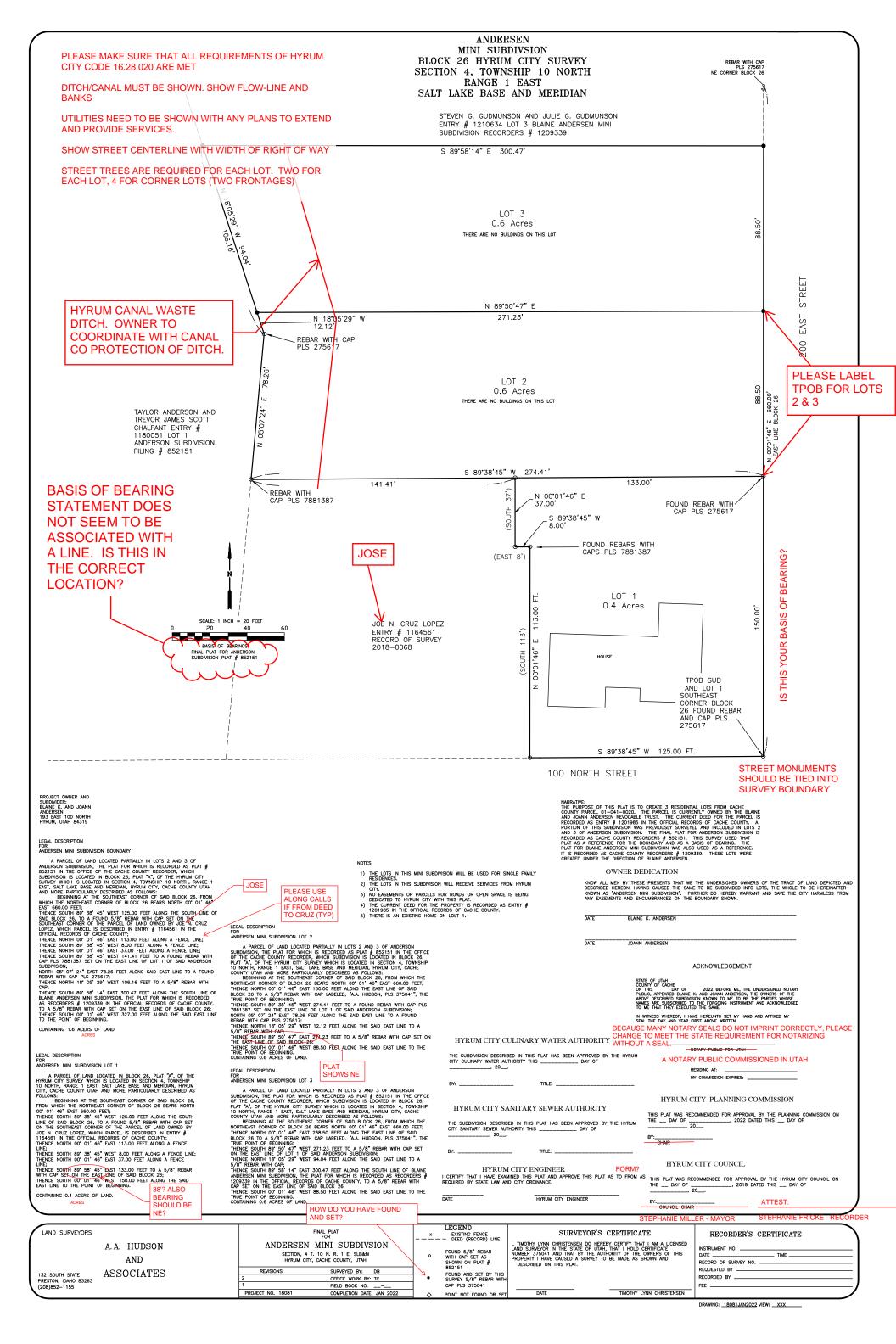
Irrigation: Available

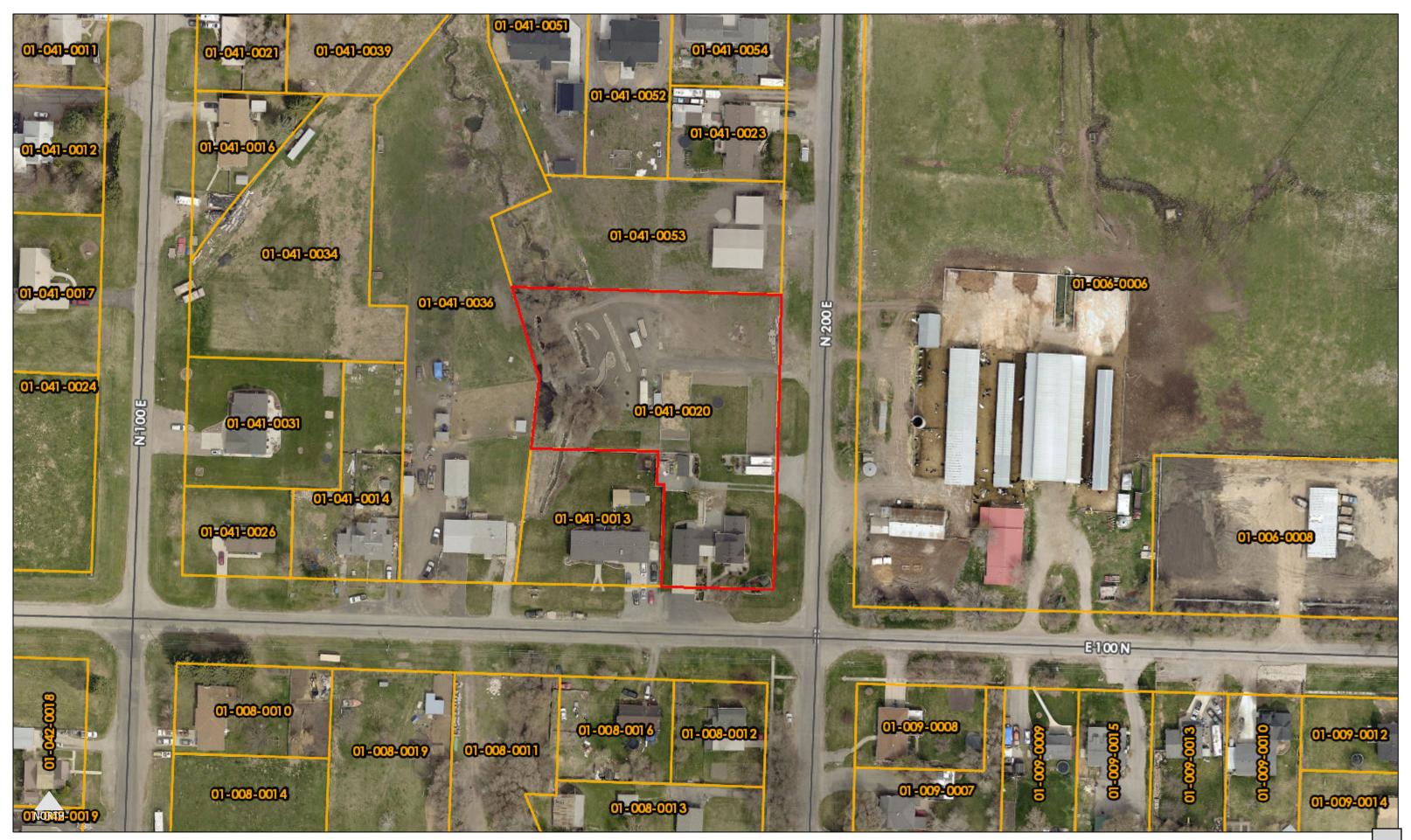
PARKING & ROADS: Paved roads, no curb

NOTES: Ditch/Canal needs to be shown. Hyrum Canal is reviewing plat and is working on recommendations.

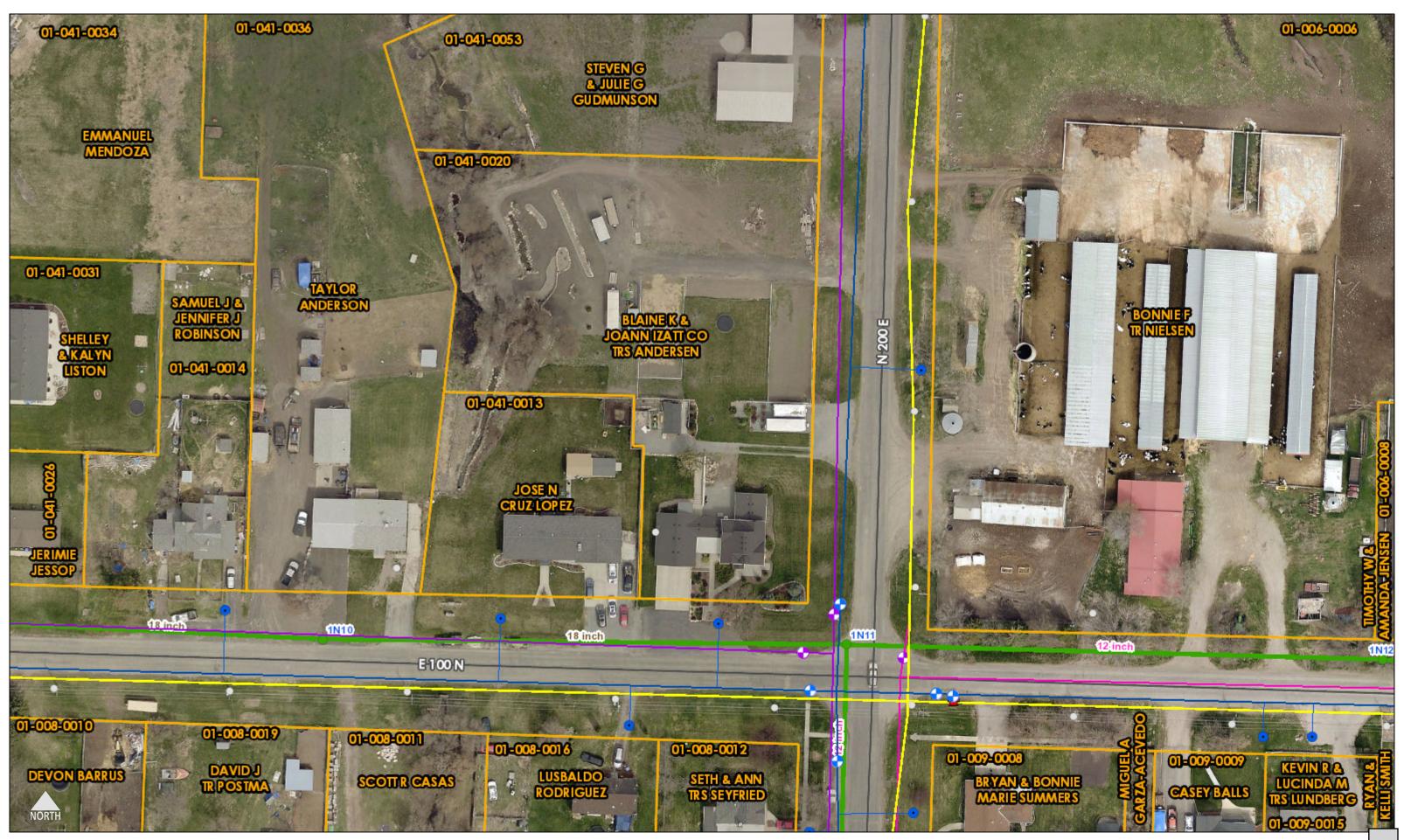
Various survey/plat corrections to be addressed by the surveyor. Road right of way should be shown and street monuments should be tied in.

Electrical component delays for equipment not already ordered are estimated to be 2.5 years.









ZX Investments "MINI" Subdivision 2

A PART OF THE SOUTHWEST QUARTER OF SECTION 32, T11N, R1E, S.L.B.&M. HYRUM, CACHE COUNTY, UTAH Containing 3.00 Acres and 3 Lots

Oregon Short Line Railroad

BLOCK WALL

51783 Sq Ft

SETRACK (TYPICAL) 247.50'-



January 22, 2018

GRAPHIC SCALE

GRAPHIC SCALE NEEDS ADJUSTED TO MATCH **DRAWING**

16.28.020 (I) ROAD RIGHT OF WAY DOES NOT MEET A STANDARD WIDTH. 6.2 FEET OF DEDICATION WILL BRING THIS SIDE OF THE STREET TO A 34-FOOT HALF-WIDTH.

500 E THE FIRE HYDRANT IS WITHIN PRIVATE PROPERTY AND ADDITIONAL RIGHT OF WAY IS SUGGESTED. PAVEMENT ENCROACHES ON PROPERTY, RECOMMEND 12-13 FEET OF DEDICATION.

UTILITIES NEED TO BE SHOWN AND ANY PLAN TO

- HYRUM CITY STREET MONUMENT 400 NORTH 400 WEST

Survey Natrative

The purpose of this survey was to create a three lot subdivision on parcel 03–060–0026. The survey was ordered by Chris Scholle. The control used to establish the property corners was the survey monumentation found within this and the surrounding blocks. The basis of bearings for this survey was the line between the Hyrum City street monuments found at the intersections of 400 North Street and 400 West Street and 400 West Street and 300 North Streets and was assumed to bear South 02'47'53" West, a distance of 1360.10 feet.

Record Owners: ZX Investments LLC P.O Box 278 Providence, Utah 84332

Survey Narrative

PLEASE ADD ADDRESS BOX TO LEGEND OR NOTE: BUILDING SETBACKS WILL BE THOSE REQUIRED FOR THE ZONE AT THE TIME THE BUILDING LABEL AS ADDRESS IN LOT LEGEND:

(TERROR T

ADVANCED R/C

5/8" REBAR

=164.72"

1013 38306 Sq Ft 0.88 Acres 460

125.01

18.76

(HELD) 404.80

7223.80 B.R

PROPERTY LINE LOT LINE REPLACE THIS ONE THAT SETBACK ARE SET BY SETBACK _____ PUBLIC LITHITY FASEMENT CURRENT CODE AND IT IS THE APPLICANT'S **FENCE** FORE OF PAVEMENT FOUND REBAR STREET MONUMENT

WHY ARE MONUMENTS BEING SET AT

THESE POINTS?

UTILITY COMPANY APPROVALS THE UTILITY EASEMENTS SHOWN ON THIS PLAT ARE APPROVED

HYRUM CITY STREET MONUMENT

HYRUM CITY CULINARY WATER AUTHORITY	DATE
HYRUM CITY SANITARY SEWER AUTHORITY	DATE
HYRUM CITY POWER	DATE
COMCAST	DATE
QUESTAR GAS	DATE

1.35 01

FELIPE & MARIA MARTINEZ 03-060-0061

OWNERS DEDICATION

THE UNDERSIONED, BEING ALL OWNERS OF RECORD OF THE ABOVE-DESCRIBED PARCEL OF LAND TO BE SUBDIVIDED AND KNOWN AS: ZX INVESTMENTS "MINI" SUBDIVISION 2 AND DO HEREBY DEDICATE THE STREETS AND PUBLIC AREAS SHOWN ON THIS PLAT FOR THE PERPETUAL USE OF THE PUBLIC AND DO HEREBY VEST THE FEE TITLE OF SUCH DEDICATED PARCELS IN AND TO HYRUM CITY, CACHE COUNTY, UTAH.

I/WE, HAVE EXECUTED THIS	PLAT AND
DEDICATION THE	DAY OF, 2022.
SIGN	SIGN
PRINT	PRINT
TITLE (OWNER)	TITLE (OWNER)

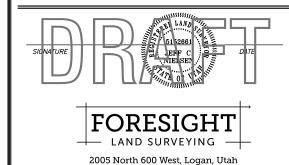
SURVEYOR'S CERTIFICATE

. DO HEREBY CERTIFY THAT I AM A JEEF C NIFLSEN REGISTERED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 5152661 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH, I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS HEREAFTER TO BE KNOWN AS: ZX INVESTMENTS "MINI" SUBDIVISION 2 AND THE SAME HAS BEEN CORRECTLY SURVEYED AND ALL STREETS ARE THE DIMENSIONS SHOWN.

Boundary Descriptions

A PART OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 11 NORTH, RANGE 1 EAST, OF THE SALT LAKE BASE AND MERIDIAN MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE NORTH RIGHT—OF—WAY LINE OF 400 NORTH STREET BEING LOCATED NORTH 82'58'33' WEST, A DISTANCE OF 258.31 FEET FROM THE HYRUM STREET MONUMENT IN THE INTERSECTION OF 400 NORTH AND 400 WEST FROM WHICH THE HYRUM STREET MONUMENT IN THE INTERSECTION OF 300 NORTH AND 400 WEST BEARS SOUTH 02'47'53' WEST, A DISTANCE OF 1,360.10 FEET; THENCE NORTH 88'12'42' WEST, ALONG SAID RIGHT—OF—WAY A DISTANCE OF 660.00 FEET TO THE EAST RIGHT—OF—WAY LINE OF THE CONTROL OF SOLUTION FEET TO THE EAST MEDITION FOR THE PAST MEDITION FOR THE PAST ALONG SAID RIGHT-OF-WAY A DISTANCE OF 149.93 FEET; THENCE NORTH 85'21'28" EAST, A DISTANCE OF 258.95 FEET; THENCE NORTH 01'27'28" EAST, A DISTANCE OF 18.00 FEET; THENCE NORTH S5'21'28' EAST, A DISTANCE OF 404.80 FEET; THENCE SOUTH 01'27'34" WEST, A DISTANCE OF 24.2.7 FEET TO THE POINT OF BEGINNING. CONTAINING 3.00 ACRES.

HCC REQUIRES A METES AND BOUNDS DESCRIPTION OF EACH LOT.



435-753-1910 Project No. 21-253

Prepared by JH 2/21/22

ACKNOWLEDGMENT

STATE OF UTAH

COMMISSION NUMBER - EXPIRES

) SS.	
COUNTY OF CACHE	
THE FOREGOING INSTRUMENT WAS PERSO UNDERSIGNED NOTARY PUBLIC THIS	_DAY_OF
OF	AND IS SAID PERSON WHOSE NAME
SUBSCRIBED TO THIS INSTRUMENT AND T	THAT SAID DOCUMENT WAS SIGNED BY
HIM/HER ON BEHALF OF SAID	BY AUTHORITY
ITS BYLAWS.	
WITNESS MY HAND AND OFFICIAL SEAL.	
SIGNATURE	
A NOTARY PUBLIC COMMISSIONED IN UTA	

	COUNTY REC	ORDER'S NO.
STATE OF UTAH,	COUNTY OF	, RECORDED AND FILED
AT THE REQUEST	OF:	
DATE:	TIME:	FEE:
ABSTRACTED		
INDEX	OF PLATS	COUNTY RECORDER

(SEAL)

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ITY	COUN	ICIL A	PROVAL	AND	ACCEPTA	NCE
		US	SE		HIS	

Side along Roadway: 30.00' 25 ALONG ANY ERONTAGE

corner lots).

THIS SUBDIVISION WAS APPROVED AND ACCEPTED.

ATTEST

30.00' 10.00' 8' AND 10' ON SIDES

OVERHEAD ELECTRIC LINES EXIST, WHAT EASEMENTS

OR ACCOMMODATION HAS BEEN MADE FOR THESE

LINES? PLAN IS TO EVENTUALLY RELOCATE TO 500

IS THERE ANYTHING PROPOSED TO RECONCILE THE BLOCK WALL WITH THE

LOT 1 CONTAINS A SPRING LISTED AS WATER

BUILDING (WHITE CLAY).

GENERAL NOTES:

MAYOR

RIGHT 25-524. OWNER IS LISTED AS DEWEY H. NIELSEN OF HYRUM. WHAT IS PLAN FOR THE SPRING. CRAIG THORNLEY SAYS THAT THIS LOT IS VERY WET AND WATER FLOW CONSISTENTLY FROM THE WEST SIDE. FILL THAT HAS BEEN BROUGHT IN ON THIS LOT IS NOT SUITABLE FOR

W UNDERGROUND.

PROPERTY LINE?

PLANNING COMMISSION APPROVAL APPROVED THIS _____DAY OF _____A.D. 20_ BY THE HYRUM CITY PLANNING AND ZONING COMMISSION.

CHAIRPERSON

ADD: Two (2) street trees, having a minimum diameter of one and one half (1 ½) inches, are required per lot. (Four (4) on

RESPONSIBILITY TO COMPLY.

Dominion Energy approves this plat solely for the purpose of confirming that the plat contains public utility easements. Dominion Energy may require other easements in order to serve this development. This approval does not constitute abrogation or waiver of any other existing rights, obligations or liabilities provided by law or equity. This approval does not constitute acceptance, approval or acknowledgment of any terms contained in the plat, including those set in the owner's dedication and the notes and does not constitute a guarantee of particular terms of advances. For further information please contact Dominion Energy Heright NOTE STAND ALONE OR department at 1-800-366-8532.

Street B.R.).

West

N1°27'28"E 18.00

249.87

400 North Street

Lot 1

CITY ENGINEER'S CERTIFICATE

I CERTIFY THAT I HAVE HAD THIS PLAT EXAMINED AND THAT IT IS CORRECT AND IN ACCORDANCE WITH THE INFORMATION ON FILE IN THIS OFFICE.

SET %" REBAR W/CAP

OWEST DATE

ZX INVESTMENTS MINI-SUBDIVISION 2 ~470 W 400 NORTH PLANNING COMMISSION MEETING APRIL 14, 2022

Summary: Chris Scholle of ZX Investments is seeking approval of a three-lot mini subdivision of parcel 03-060-0024 located at approximately 470 West 400 North. The lot is currently vacant with no permanent structures.

ZONING: R-2 Residential

UTILITIES:

Power: Subject to availability of equipment. Underground conduit

will need to be provided for new services.

Culinary: Available Sewer: Available Irrigation: Available

PARKING & ROADS: Paved roads, no curb

NOTES:

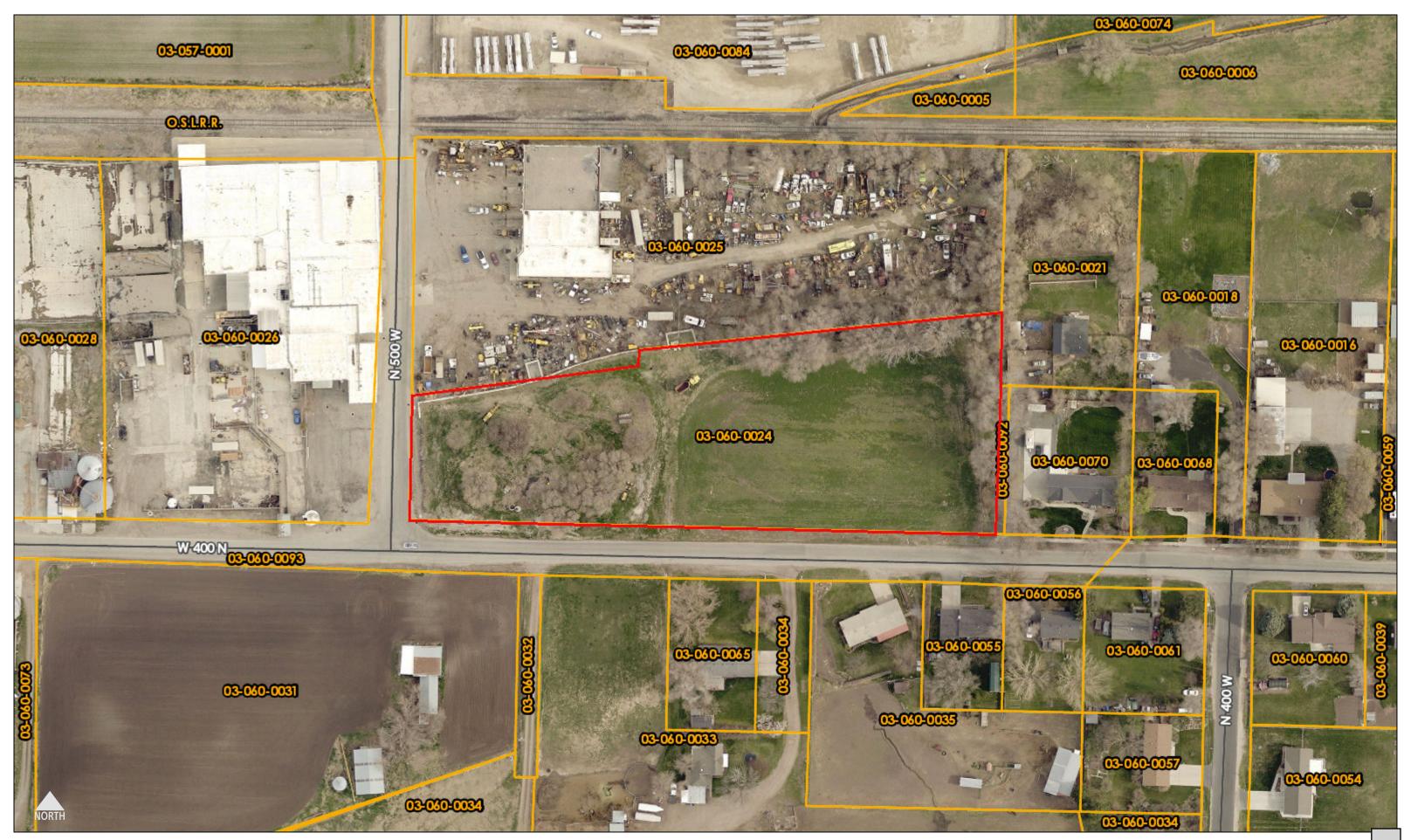
400 N does not have the full width of a standard city street. Additional right of way should be dedicated to meet the appropriate half width.

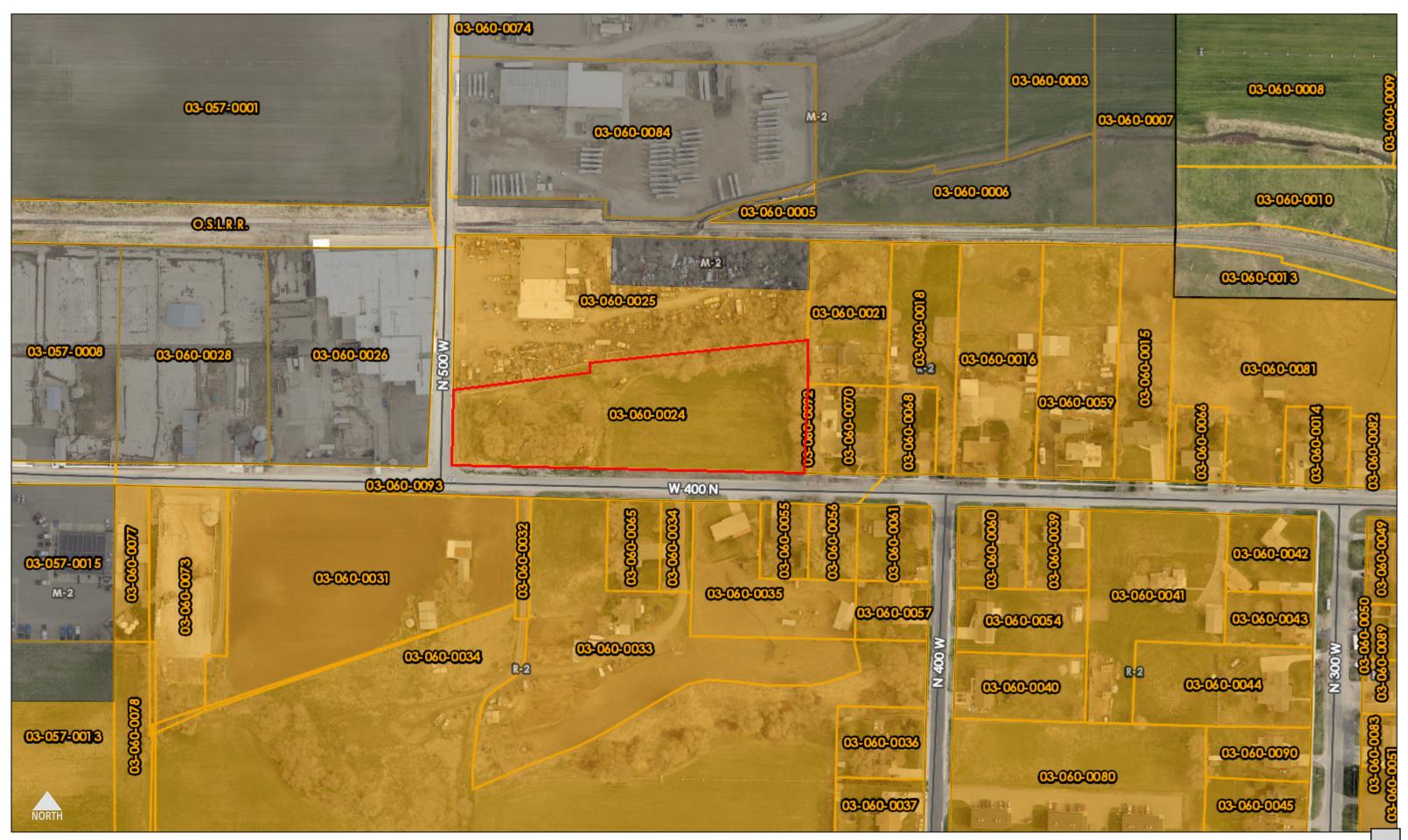
500 W has part of the existing pavement and utilities within the lot. Additional right of way should be dedicated to allow major utilities to be located within the street.

Power lines run through the lot. These lines are not in the permanent location. The plan is to move these to 500 West. Builders on these lots will be responsible to provide underground conduit along 400 North.

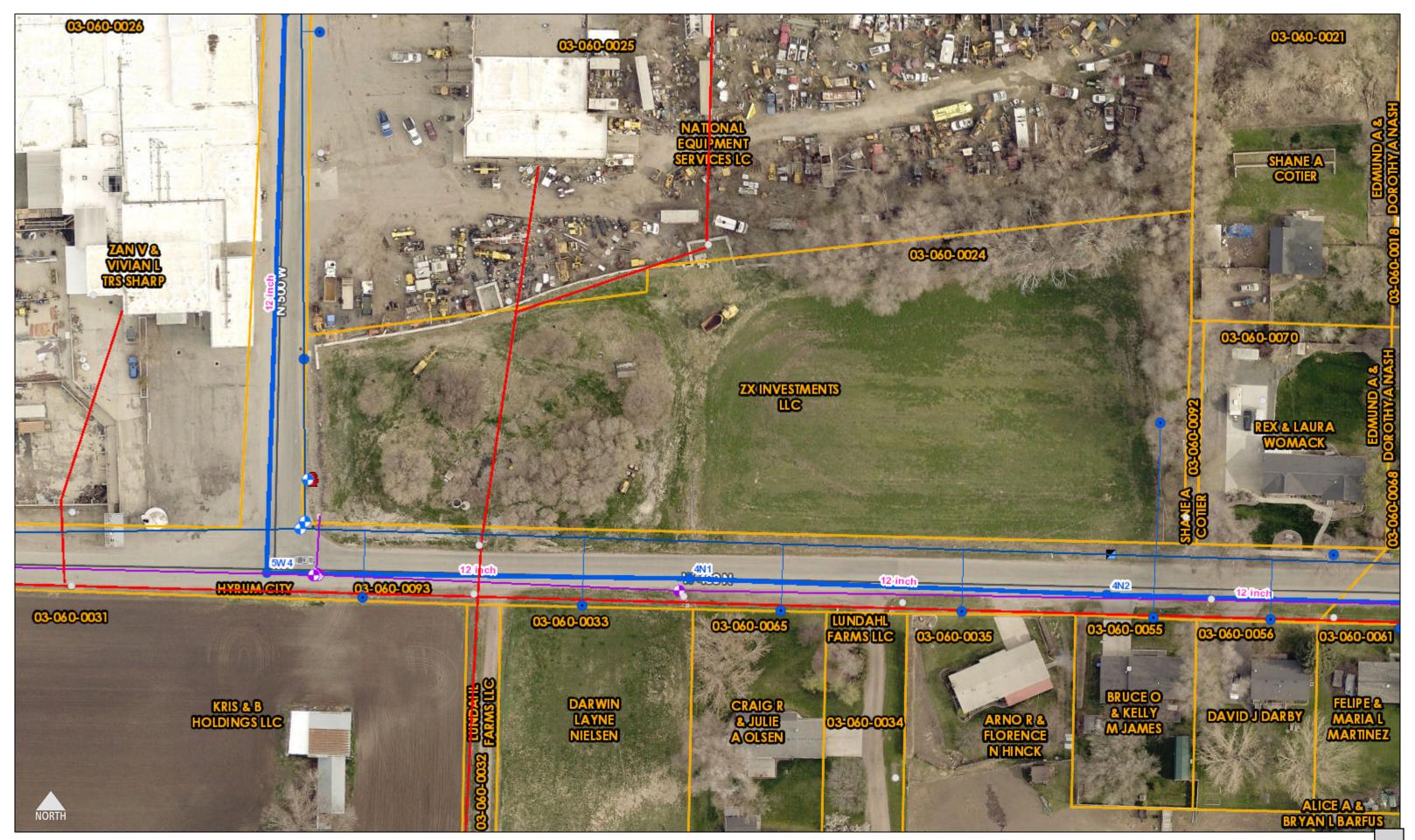
Groundwater level is unknown, existing spring on Lot 1.

Electrical component delays for equipment not already ordered are estimated to be 2.5 years.





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HARVEST VALLEY COURT, P.U.D. 43 NORTH 300 EAST

PLANNING COMMISSION MEETING

APRIL 14, 2022

SUMMARY: Terra Alta Ventures is seeking Concept Plan approval of a Planned Unit Development at 43 North 300 East. The proposed development is located on approximately 3.75 acres. This is proposed as a senior living community.

ZONING: R-2 Residential

UTILITIES:

Power: Available on 300 East

Culinary: Needs upsized to handle added demand, to be looped

through development

Sewer: Available on 300 East Irrigation: Available on 300 East

A piped irrigation canal runs through the property and will

need to be coordinated with the canal company.

PARKING & ROADS: Curb, gutter, sidewalk, road to be built to full width on the west side of 300 East. Road to be built to 68-foot width, 18.5 feet of pavement from the centerline of 300 East. Sidewalk along 300 E will be 5 feet wide.

NOTES: City Council referred this project back to Planning Commission with the understanding that this would not be accepted for consideration with apartments. City Council also directed the Planning Commission to make any recommendations that they feel would make this a project that will fit with the spirit of a planned unit development in Hyrum. The Planning Commission is allowed to make adjustments to the requirements in the Code as they deem appropriate for senior housing.

Electrical component delays for equipment not already ordered are estimated to be 2.5 years.

17.60.070 Commission Requirements and Recommendations

Follows the requirements of HCC 16.10.090, but adds: The Planning Commission will also act as an Architectural Review Committee and will evaluate the Site Plan and drawings for:

- A. A good mix of building materials, colors and architectural features to create an attractive, well-planned development;
- B. Sufficient public open spaces and amenities that will provides a safe, comfortable and pleasant environment;
- C. Appropriate building types in terms of density, site relationship and spacing.
- D. Well-planned site signage;
- E. Well-planned exterior lighting;
- F. Preservation of natural features including trees, drainage areas, and views.
- G. Good vehicular and pedestrian movement;
- H. Integrated parking;
- I. Landscaping plan showing existing and proposed, grass, shrubbery, trees and other planting and features for the entire site;
- J. Placement of fencing/walls and solid waste enclosures.
- K. PUD's with multi-family units to follow Multi-family Housing Design Standards requirements of HCC 17.30.070. (Ord. 13-02; Ord. 13-04)

17.30.070 Duplexes, Triplexes, Fourplexes/All Multi-Family Housing

Multi-family housing, unless approved as a PUD, will be limited to four (4) family units per City block (the full area of the block not linear). This can consist of two (2) duplexes or one (1) triplex or one (1) fourplex. The following criteria must be met for all multi-family housing of new construction, and conversion of existing structures into multi-family housing: (The City Council, with Planning Commission recommendation, may make adjustments to these requirements, as they deem appropriate, for senior housing developments)

- A. Front setback shall be a minimum of thirty (30) feet and shall be landscaped.
- B. Side yards must have landscaped strips a minimum of ten (10) feet in width.
- C. The front of the multi-family housing units shall face the street unless otherwise approved by the Planning Commission.
- D. Multi-family housing developments may not be located closer than 660 feet, as measured from the midpoint of the platted front property line to the midpoint of the

- platted front property line to any other duplex, triplex, or fourplex. Measurements are made from City plats following front property lines and include distances to cross streets at right angles as required.
- E. In considering a recommendation to the City Council for approval for multi-family housing, the Planning Commission will also act as an Architectural Review Committee, and will evaluate the Site Plan for meeting the following standards:
 - 1. Buildings.
 - a. A building's modulation, articulation, details, and materials shall be arranged to give the building the appearance of a large single-family detached home.
 - Multi-family residential buildings require the exterior building walls to be composed of the required brick or stone, equal to a minimum of one (1) times the square feet of the exterior building perimeter.
 - c. Buildings shall be attractive and durable. To ensure this, buildings shall be constructed of high-quality materials and require minimal maintenance. Exterior materials allowed for use on visual (from street) elevations of the building are: stone, cast stone, brick, synthetic stone, stucco, water-managed EIFS, cement board, and wood. Use of other materials is subject to approval by the Planning Commission.
 - d. Walls of buildings are to have relief features with a variety of different wall planes and roof planes, which may include pop-outs, recesses, columns, variation in materials, etc. Relief is to be seen at a minimum of every twenty-five feet (25') of wall length.
 - e. All exterior building material colors shall be earth tones.
 - f. Buildings shall have consistent detailing on all four elevations; a building shall have building details and proportions to ensure a "four-sided" architectural quality for the building with emphasis on the street visual sides.
 - g. Building design shall respect the context of adjacent residential neighborhoods, including the height, scale, form, and character of surrounding development.
 - h. Residential buildings shall limit the use of long, monotonous facades. The maximum length of multi-family buildings shall be 200 (two hundred) feet.
 - i. Roofs shall have a minimum 6" fascia, minimum 6/12 pitch on over 80% of roofs, no pitch flatter than 4½/12.
 - j. Building roofs shall be attractive and durable. To ensure this, roofs shall be constructed of high-quality materials and require minimal maintenance. Pitched roofs shall be finished with wood shingles, slate, clay tiles, concrete tiles, standing-seam metal, or composition shingles. Use of other materials is subject to approval by the Planning Commission.
 - k. Roofs shall be simple hip, shed, or gable configurations. Roofline offsets shall be provided to lend architectural interest and variety to the

- building and to relieve the effect of a single, long roof. The use of alternating dormers, stepped roofs, gables, or other roof elements can be used to add visual relief and articulation to the overall building form.
- I. Distinctive architectural features that positively enhance the structures, such as porches, patios, balcony, wrought iron railings, porticos, quoins, eaves, overhangs, canopies, etc. shall be included in the building design.
- m. Mechanical equipment on rooftops to be architecturally screened from view.
- n. Any portion of a building closer than 50 feet from a common property line that abuts a property developed as a single-family home shall be no higher than twelve (12) feet above the highest point of the closest existing residential structure.

2. Parking.

- a. A minimum 2.5 parking spaces per unit.
- b. Garages have 4 walls, roof, doorway at least 9 feet in width, and door that is lockable, and minimum interior dimension of 22 feet x 12 feet.
- c. Parking structures shall be made of similar materials and design as buildings.
- d. Parking lot to be asphalt or cement, to have poured concrete bumpers and curbs.
- e. Driveways and uncovered parking areas shall be paved and striped.
- f. Parking lot shall be located at rear of dwelling units. The Planning Commission may approve garages with front entrances for multifamily buildings.
- g. No tandem parking permitted unless both spaces reserved for the same dwelling unit.
- h. No recreational vehicle parking permitted on site whether inside or outside of a garage.
- i. No surface parking permitted within required setback or buffer, except access driveways.
- j. Bicycle parking racks to park bikes in the amount of minimum two (2) spaces per unit.

3. Landscaping.

- a. A landscape plan is required to be approved with the project site plan.
- b. A minimum of 50% of the lot must be open and landscaped.
- c. A minimum of 10% of the lot shall be provided as a children's playground, such as, a sandbox, open grass area, etc.
- d. All areas in the front, side, and rear yards that are not developed shall be landscaped, unless a unique natural vegetation or wetlands area is included, subject to approval.
- e. A minimum landscaped street buffer area shall be provided at a width of 30 feet.

- f. Landscaped street buffer area may not include paved surfaces, except for sidewalks, driveways, or trails.
- g. A minimum of 1 tree shall be planted per 1,000 square feet of required landscaped areas. At least 30% shall be evergreens.
- h. Landscaping shall include a mix of deciduous and evergreen trees, ground cover, and shrubs.
- i. Minimum plant sizes shall be as follows:
 - (1). Deciduous trees, 2-inch caliper
 - (2). Evergreen trees, 7 feet in height
 - (3). Shrubs, 5-gallon container
 - (4). Grass or ground cover, 10-foot square area
 - (5). Existing trees, native vegetation and rare plants shall be retained wherever possible.
- j. Maximum height of berms, fences, signs or ground cover within a clear vision sight triangle is 3 feet.
- k. Maintenance and replacement of required landscaping and screening shall be the responsibility of the property owner.

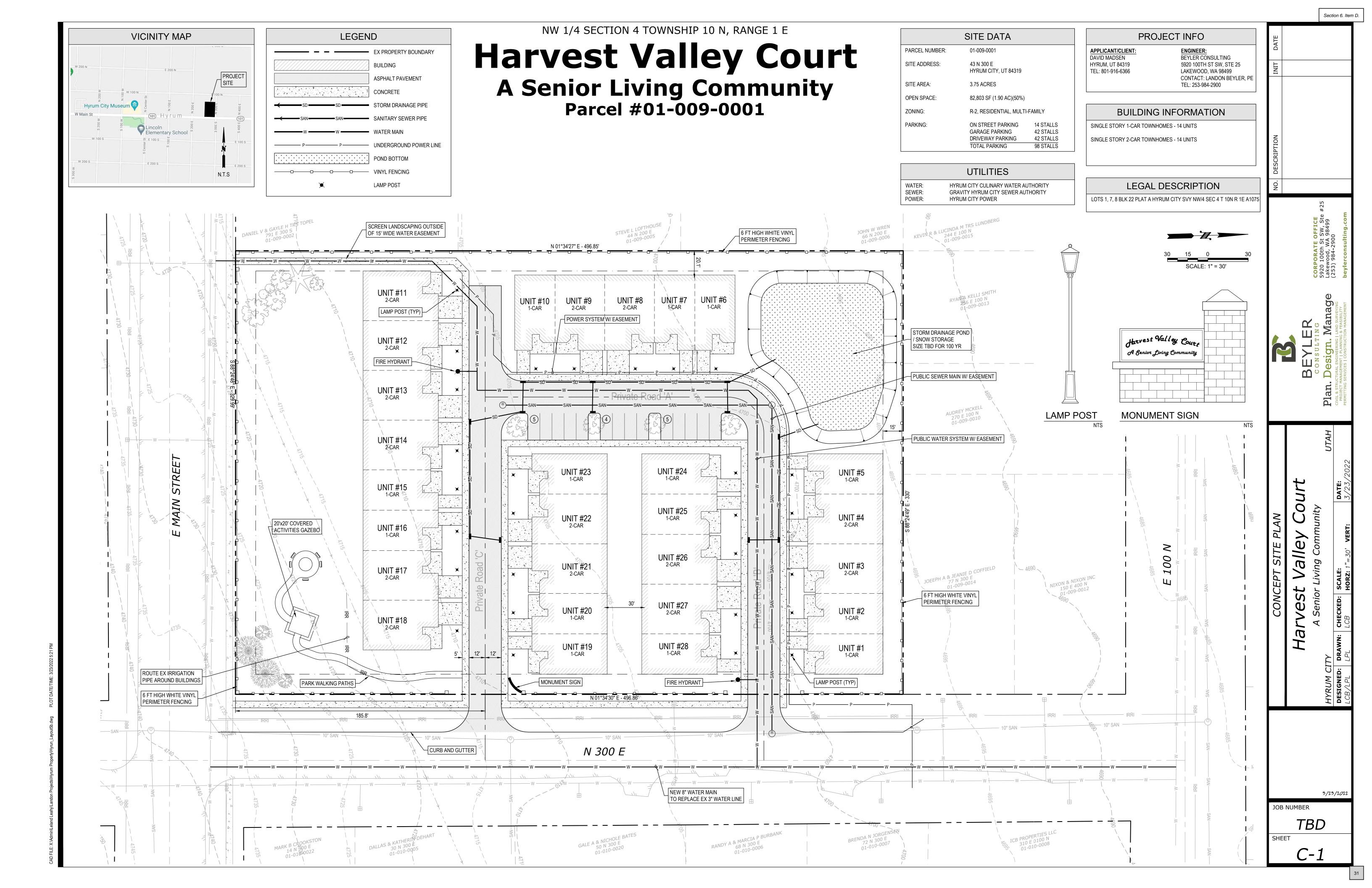
4. Other Features.

- a. Dumpsters shall be located behind a sight obscuring enclosure, built of materials complimenting the architectural style of the buildings.
- b. When practical, a minimum 5-foot landscaping area will be required around dumpster enclosures.
- c. A solid, sight obscuring fence or wall with a minimum height of six (6) feet shall be installed on all sides of the parking lot facing neighboring properties.
- d. The City may require the inclusion of a wall, fence or screen to mitigate noise or unsightly uses.
- e. Visual area (usually front yard) perimeter fencing shall match the building design, i.e., masonry columns or piers with same brick or stone as the buildings.
- f. Walls or fences with lengths greater than 100 feet shall be interrupted with offsets, landscaping or accents.
- g. Any areas which are to be screened shall be done with a solid, sightobscuring fence or wall, and landscaping to soften fence appearance.
- h. Utilities shall be located underground and above ground boxes screened.
- i. Exterior lighting fixtures that match the architectural design theme shall be included for street, walkways, parking areas, entrances and building exteriors. Exterior up lighting is encouraged to accent the structures and provide additional safety. Exterior lighting shall be dark-sky sensitive.
- j. Any developments with more than 12 dwelling units, such as PUD's, shall include playground equipment and may require other recreational amenities for residents, which may include swimming pools, spas,

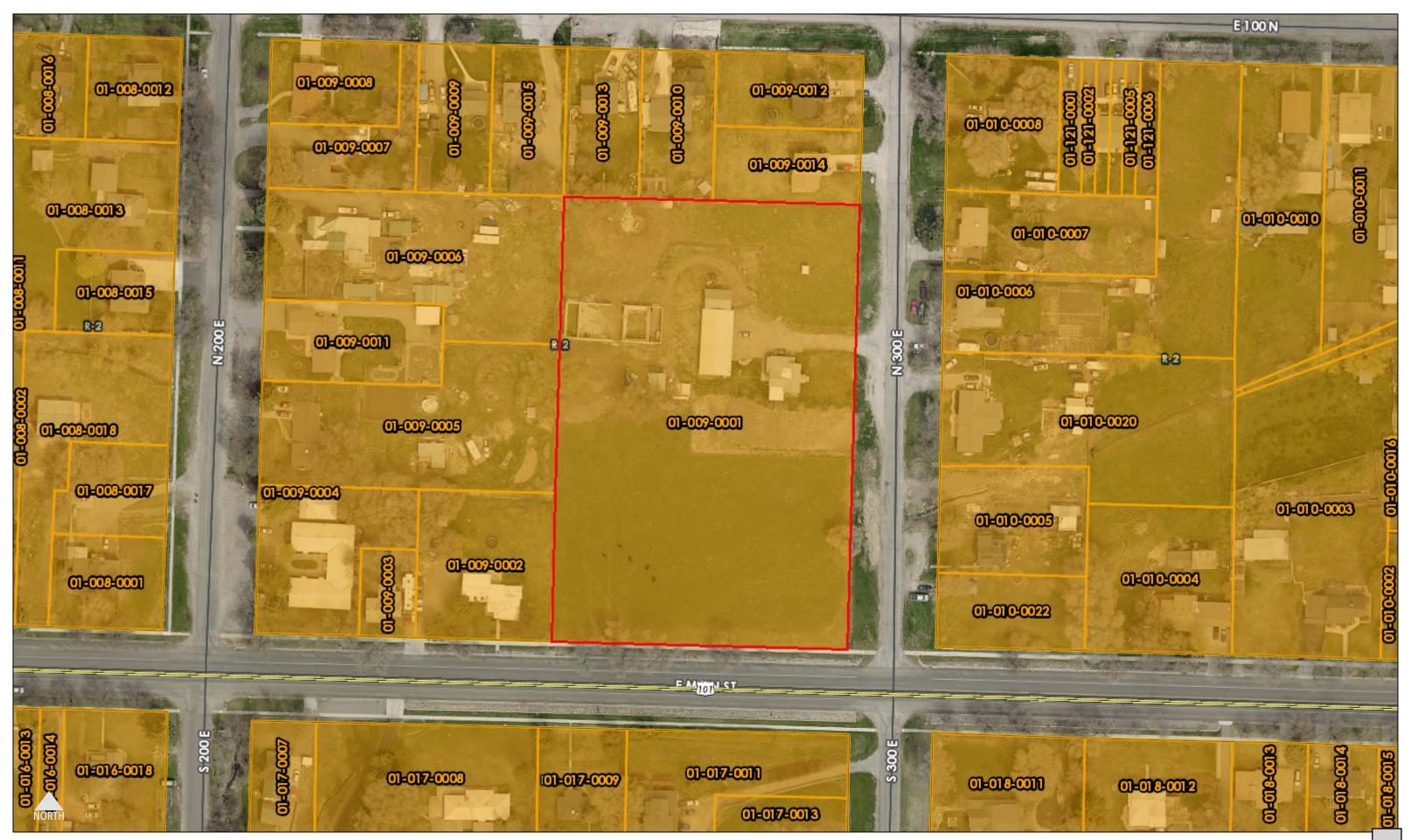
- sports courts, barbecue grills and picnic facilities, etc. (Adjustments to these requirements may be made to fit the needs of retirement communities, etc.)
- k. Any project signage shall be built of materials complimenting the architectural style of the buildings. (Must comply with existing sign ordinance requirements found in HCC 17.72).
- I. Curb, gutter, planting strip, and sidewalk shall be installed along public roadways where adjacent to existing curb, gutter, and sidewalks. (Ord. 13-04)

F. HISTORY

Amended by Ord. <u>19-04</u> on 3/7/2019







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