



## PLANNING COMMISSION MEETING

Thursday, June 13, 2024 at 6:30 PM  
Council Chambers, 60 West Main, Hyrum, Utah

### AGENDA

Public notice is hereby given of a Hyrum Planning Commission Meeting to be held in the Council Chambers, 60 West Main, Hyrum, Utah at 6:30 PM, June 13, 2024. The proposed agenda is as follows:

1. ROLL CALL
2. PLEDGE OF ALLEGIANCE
3. INVOCATION
4. APPROVAL OF MINUTES
  - A. [05/09/2024](#)
5. AGENDA APPROVAL
6. SCHEDULED DELEGATIONS
  - A. **Carl Green representing The Church of Jesus Christ of Latter-day Saints** - seeking site plan approval to expand the parking lot located at 125 North 400 West.
  - B. **Jesse Vega representing The Ebenezer Church of God** - is seeking approval to install a sign along State Route 165. This is located at 340 North 800 East
  - C. **Mandy Kapp (Phoenix Academy)** - seeking site plan approval to create a micro-educational facility at 471 East 600 South This is located on an existing residential parcel of approximately 0.46 acres.
7. ADJOURNMENT

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**Shara Toone**  
**Secretary**

Commission Members may participate in the meeting via telephonic communication. If a Commission Member does participate via telephonic communication, the Commission Member will be on speakerphone. The speakerphone will be amplified so that the other Commission Members and all other persons present in the Commission Chambers will be able to hear all discussions. In compliance with the Americans with Disabilities Act, individuals needing special

accommodations (including auxiliary communicative aids and services) during this meeting should notify Hyrum City Planning Commission at 435-245-6033 at least three working days before the meeting.

**CERTIFICATE OF POSTING** - The undersigned, duly appointed and acting City Secretary of Hyrum City, Utah, does hereby certify that a copy of the foregoing Notice was posted on the Utah Public Notice Website and Hyrum City's Website, provided to each member of the governing body, and posted at the City Offices, 60 West Main, Hyrum, Utah, this 10th day of June, 2024. Shara Toone, Secretary.

MINUTES OF A REGULAR MEETING OF THE HYRUM CITY PLANNING COMMISSION HELD May 9, 2024 AT THE HYRUM CITY COUNCIL CHAMBERS, 60 WEST MAIN, HYRUM, UTAH.

**CONVENED:** 6:30 P.M.

**CONDUCTING:** Chairman Brian Carver

**PRESENT:** Chairman Brian Carver, Vice Chairman Angi Bair, Commissioners Blake Foster, Paul Willardson, and Alternate Member Averie Wheeler.

**EXCUSED:**

**CALL TO ORDER:** There being five present and five representing a quorum, Chairman Brian Carver called the meeting to order.

**OTHERS PRESENT:** Zoning Administrator Matt Holmes and six citizens. Secretary Shara Toone recorded the minutes.

**PLEDGE OF ALLEGIANCE:** Commissioner Paul Willardson led the governing body and the citizens in the Pledge of Allegiance.

**INVOCATION:** Vice Chairman Angi Bair

**APPROVAL OF MINUTES:**

The minutes of a regular meeting held on March 14, 2024 were approved as written.

**ACTION** Commissioner Paul Willardson made a motion to approve the minutes of March 14, 2024 as written. Commissioner Blake Foster seconded the motion and Commissioners Bair, Carver, Foster, Wheeler, and Willardson voted aye.

**AGENDA APPROVAL:**

A copy of the notice and agenda for this meeting was posted on the Utah Public Notice Website and Hyrum City's website, distributed to each member of the Planning Commission, and posted at the City Offices more than forty-eight hours before meeting time.

**ACTION** Commissioner Angi Bair made a motion to approve the agenda for May 9, 2024 with the deletion of item 6B.

**Commissioner Paul Willardson seconded the motion and Commissioners Carver, Foster, Wheeler and Willardson voted aye.**

6. PUBLIC HEARING

A. The purpose of this hearing is to receive public comments regarding an amendment to Section 15.08.095 of Title 15 of Hyrum City Municipal Code to change the allowed location of garbage dumpsters used at construction sites. The change will propose that dumpsters will be required to be kept on private property and prohibit keeping them on the road in excess of 48 hours.

7. SCHEDULED DELEGATIONS

- A. The Church of Jesus Christ of Latter-day Saints- seeking site plan approval to enlarge their meeting house and expand the parking lot located at 95 North 675 West.
- B. Hyrum City- looking for Planning Commission recommendations for changes to the code.

***PUBLIC HEARING:***

**THE PURPOSE OF THIS HEARING IS TO RECEIVE PUBLIC COMMENTS REGARDING AN AMENDMENT TO SECTION 15.08.095 OF TITLE 15 OF HYRUM CITY MUNICIPAL CODE TO CHANGE THE ALLOWED LOCATION OF GARBAGE DUMPSTERS USED AT CONSTRUCTION SITES. THE CHANGE WILL PROPOSE THAT DUMPSTERS WILL BE REQUIRED TO BE KEPT ON PRIVATE PROPERTY AND PROHIBIT KEEPING THEM ON THE ROAD IN EXCESS OF 48 HOURS.**

**ACTION** Commissioner Paul Willardson made a motion to open the public hearing at 6:35 p.m. Commissioner Blake Foster seconded the motion and Commissioners Bair, Carver, Foster, Wheeler, and Willardson voted aye.

**ACTION** Commissioner Blake Foster made a motion to close the public hearing at 6:35 p.m. Vice Chairman Angi Bair seconded the motion and Commissioners Bair, Carver, Foster, Mann, Wheeler, and Willardson voted aye.



**SCHEDULED DELEGATIONS:****THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS- SEEKING SITE PLAN APPROVAL TO ENLARGE THEIR MEETING HOUSE AND EXPAND THE PARKING LOT LOCATED AT 95 NORTH 675 WEST.**

Chad Spencer said they are looking at constructing an approximately 2600 sq ft addition on the back of the existing meeting house and expanding the parking lot to the west.

Commissioner Paul Willardson commented on the plans to cover the retention pond and do underground retention. He said he is worried the ponds will fill up and the water will not have anywhere to go.

Chad Spencer said they have a geo-tech report, and the ground water is fine.

Chairman Brian Carver asked if they would use the same brick color.

Chad Spencer responded that they are trying to match it the best they can. He said the brick is coming out of Iowa. He added they will try and match the shingles the best they can.

Commissioner Paul Willardson asked if the underground retention was a percolation. He asked if it discharges anywhere or if stays and percolates into the ground.

Chad Spencer answered that it stays.

Commissioner Paul Willardson asked what the timeline for construction was.

Chad Spencer answered as soon as possible. He added as soon as they get through the approval process, they are ready to get started.

Commissioner Blake Foster asked if there will be more parking than it currently has.

Chad said when the church was built, they planned to have a road on the south side. He said there is an area for a future drive. He said they are taking that out and adding stalls and they will gain about 15 stalls.

**ACTION**

Vice Chairman Angi Bair made a motion to recommend approval to enlarge the meeting house and expand the parking lot located at 95 North 675 West. Commissioner Paul Willardson seconded the motion and Commissioners Bair, Carver, Foster, Wheeler, and Willardson voted aye.

**HYRUM CITY- LOOKING FOR PLANNING COMMISSION RECOMMENDATIONS FOR CHANGES TO THE CODE.**

Zoning Administrator Matt Holmes said Hyrum City is having a lot of issues with roll-off dumpsters. He said Hyrum City does not have a code to enforce that dumpsters be moved, and the dumpsters are causing problems for snowplows and emergency vehicles.

Commissioner Blake Foster asked if the city wants dumpsters in front yards, off the curb.

Zoning Administrator Matt Holmes answered the city wants them in the driveway section that they are already preparing.

Commissioner Paul Willardson asked where people could put a dumpster if they have their driveway, the curb, and sidewalk done. He said in February or March, when it's muddy, it could be very difficult for a roll-off truck to get behind the sidewalk without doing damage.

Zoning Administrator Matt Holmes responded that by the time the driveways are brought in, the houses are usually close to being finished and don't need as much dumpster space.

Commissioner Blake Foster added in those cases, the person would be allowed to have the dumpster on the city street for 48 hours.

Zoning Administrator Matt Holmes said he included the 48 hour exception for people who are ripping carpet out of their house or doing another small project. He said he didn't want to make them tear up their yard to put a dumpster there for a day. He added they could also require people to have a permit if they are going to have a dumpster on a city street for 48 hours.

Commissioner Blake Foster suggested allowing 48 hours without a permit, and if it is going to exceed 48 hours, then a permit is required.

Zoning Administrator Matt Holmes said if someone needs a dumpster longer than 48 hours, maybe they should find somewhere else to put it.

Vice Chairman Angi Bair said driveways may not be big enough for a dumpster, and a permit might allow for more control.

Commissioner Paul Willardson said his concern is in subdivisions, where many houses are being built.

Zoning Administrator Matt Holmes said each house should have their own dumpster, but a lot of developers use one big dumpster for many houses.

Vice Chairman Angi Bair said providers might not have the inventory to provide enough small dumpsters for each house.

Zoning Administrator Matt Holmes said it's possible that they have a roll-off dumpster for the heavy part of construction and then bring in a dump trailer that's easy to get in and out of the driveways.

Commissioner Paul Willardson asked what Hyrum City's biggest complaint with the dumpsters is.

Zoning Administrator Matt Holmes said, primarily, the blocking of roads. He said snowplows and emergency vehicles need to be able to get through the roads. He added another issue is dumpsters are put in the road without reflective markers or cones.

Commissioner Paul Willardson asked what the definition of an "accepted city street" is.

Zoning Administrator Matt Holmes said when a developer comes in, they dedicate the road, and the road isn't accepted into public maintenance until the city inspects the improvements and then accepts it. He said with that wording, a developer could have a dumpster in the road during the main portion of the construction.

Commissioner Paul Willardson asked what stage of development does the city accept streets. He asked if houses are built and done or only roads and sidewalks are done.

Zoning Administrator Matt Holmes said they usually construct for 18 to 20 months, and the city doesn't accept the street

until the one-year warranty has passed.

Commissioner Paul Willardson said that allows developers quite a bit of time to have a dumpster in the street.

Chairman Brian Carver asked if they need to include the definition of an "accepted city street" in the definitions section. People might be confused what accepted means.

Vice Chairman Angi Bair said she likes the idea of requiring cones or marking the dumpsters. She said sometimes it's a process to have the vender come pick up the dumpsters, so people might need more than 48 hours.

Zoning Administrator Matt Holmes said they can do permits if they are planning to store the dumpster on the street, and that allows the city to make sure it's placed right. He added fire code requires 20 ft of clear pavement and 26 ft if it's near a fire hydrant.

Chairman Brian Carver said the permit should start the day the dumpster is placed so everyone knows when the time starts.

Commissioner Paul Willardson asked how the city would motivate private homeowners to comply to get the dumpster out of the road.

Zoning Administrator Matt Holmes said they would need to add dumpsters to the "can't be stored on the street for more than 48 hours" section of city code.

Vice Chairman Angi Bair said most people wouldn't keep a dumpster that long, since they are paying per day.

Commissioner Paul Willardson said they probably don't need a regulation for private homeowners.

Chairman Brian Carver said he would like to see a recommendation that the contractor get a permit from the city so the city knows when the clock is starting and where the dumpster is going to be located, so they can ensure it has the appropriate traffic.

Vice Chairman Angi Bair asked if there is going to be an allowance with the permit for variation per circumstances. She added some streets have dead ends or it's not highly trafficked.

Commissioner Paul Willardson asked if a permit would allow some of those variations. He added some of those dead-end streets would be a perfect place for a dumpster to be stored.

Zoning Administrator Matt Holmes said the city might need to push snow to those dead ends. He asked if dumpsters should be allowed on some of the bigger right of ways, as long as they are not on the asphalt and not blocking the sidewalk. He added that a permit would still be needed.

Commission Paul Willardson said a permit would make it possible for the city to work with individual needs and circumstance and figure out a safe place, that works for the contractor to place the dumpster.

Vice Chairman Angi Bair said she likes the idea of allowing flexibility.

Commissioner Paul Willardson asked if a permit for every dumpster would be taxing for city staff.

Zoning Administrator Matt Holmes said it shouldn't be.

Chairman Brian Carver said he thinks requiring a permit, allowing negotiation for the timeframe needed and allowing flexibility with weather, location, and traffic is a good recommendation.

**ACTION**

Vice Chairman Angi Bair made a motion to recommend the following changes to city code 15.08C; 1. A permit is required for construction dumpsters stored on accepted city streets or public right of ways. 2. The city has the flexibility to determine the amount of time and location that the dumpster is stored. Commissioner Blake Foster seconded the motion and Commissioners Bair, Carver, Foster, Wheeler, and Willardson voted aye.

**ADJOURNMENT:****ACTION**

There being no further business before the Planning Commission, the meeting adjourned at 7:10 p.m.

\_\_\_\_\_  
Brian Carver  
Chairman

ATTEST:

\_\_\_\_\_  
Shara Toone  
Secretary

Approved: \_\_\_\_\_  
As Written

**THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS**  
**SITE PLAN**  
**PLANNING COMMISSION MEETING**  
**MAY 9, 2024**

Summary: Carl Green representing The Church of Jesus Christ of Latter-day Saints is seeking site plan approval to expand the parking lot located at 125 North 400 West.

ZONING: R-2 Residential

UTILITIES:

Power:	Existing
Culinary:	Existing
Sewer:	Existing
Irrigation:	N/A

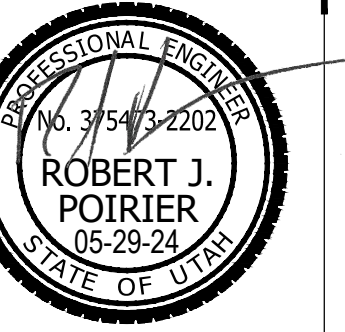
PARKING & ROADS: To be expanded

NOTES:

Applicant desires to expand the parking lot to provide parking on-site to alleviate street parking. This will include additional lighting and stormwater retention

# HYRUM 1, 5, 10 HYRUM UTAH WEST STAKE PARKING ADDITION

125 NORTH 400 WEST  
HYRUM, UTAH



**MCNEIL ENGINEERING**  
Economic and Sustainable Designs, Professionals You Know and Trust  
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HYRUM 1, 5, 10 PARKING ADDITION

125 NORTH 400 WEST  
HYRUM, UT 84319  
HYRUM UTAH WEST STAKE

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PROJECT NO: 24072  
DRAWN BY: BKL  
CHECKED BY: CEG  
DATE: 05/17/24  
PROP# 516922423010101

MAY, 2024

COVER SHEET

**G1.00**



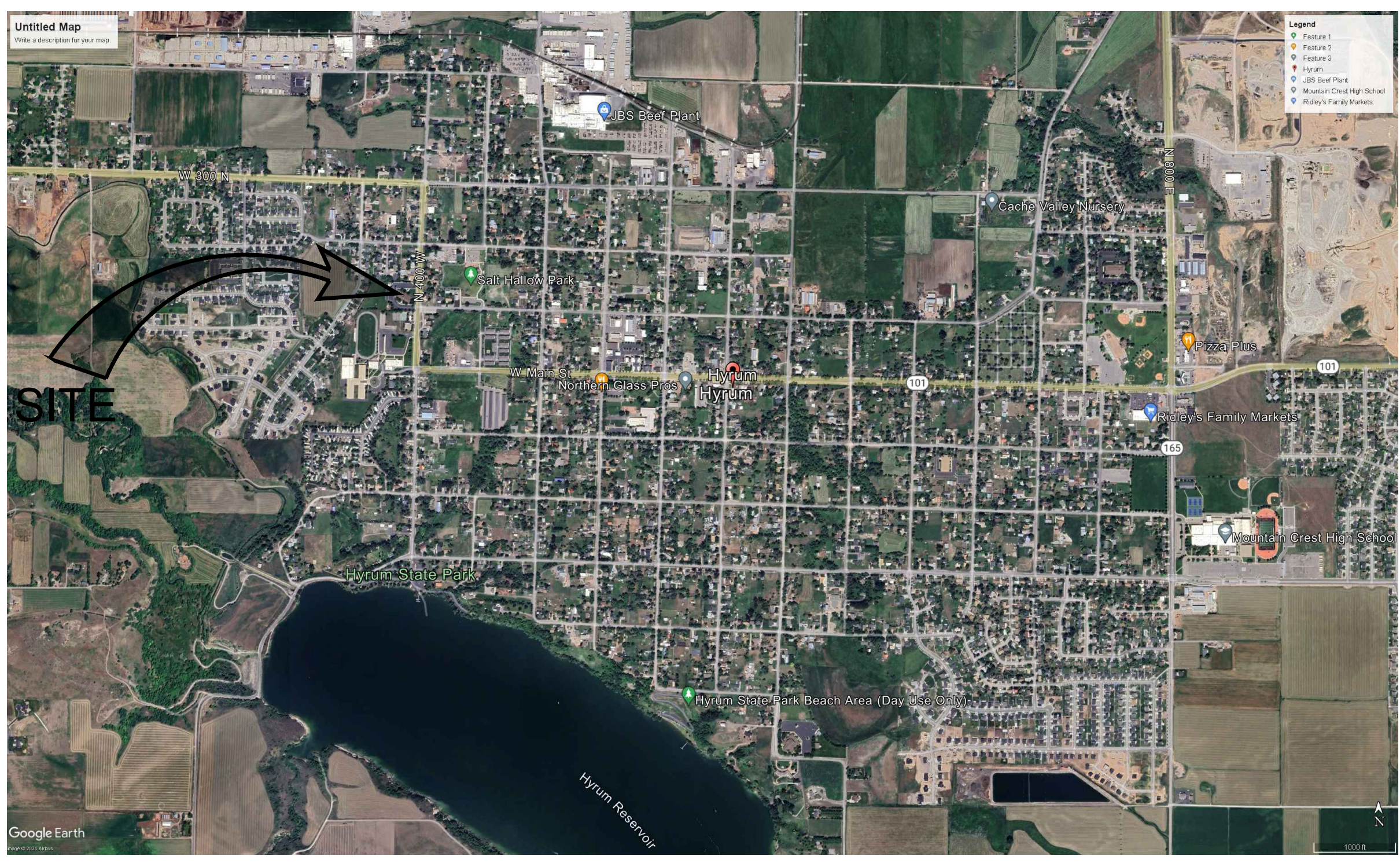
GENERAL NOTES

- 1.1 COMPLIANCE
1. ALL WORK TO CONFORM TO GOVERNING MUNICIPALITY'S STANDARDS, SPECIFICATIONS AND REQUIREMENTS.
2. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS AND THE MOST RECENT, ADOPTED EDITIONS OF THE FOLLOWING: INTERNATIONAL BUILDING CODE (IBC), THE INTERNATIONAL PLUMBING CODE, STATE DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS, ADA ACCESSIBILITY GUIDELINES.
3. ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS, ANY REVISIONS MUST HAVE PRIOR WRITTEN APPROVAL.
1.2 PERMITTING AND INSPECTIONS
1. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
2. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ARCHITECT/ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
3. ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE, CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD AND WITH APPROPRIATE INSPECTIONS.
1.3 COORDINATION & VERIFICATION
1. ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF NOT VERIFIED AND NOTIFICATION OF CONFLICTS HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
2. CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND. NO ALLOWANCE WILL BE MADE FOR DISCREPANCIES OR OMISSIONS THAT CAN BE EASILY OBSERVED.
3. CONTRACTOR TO COORDINATE WITH ALL OTHER DISCIPLINES, INCLUDING BUT NOT LIMITED TO: LANDSCAPE PLANS, SITE ELECTRICAL PLAN, SITE LIGHTING PLANS AND ELECTRICAL SERVICE TO THE BUILDING(S), MECHANICAL PLANS FOR LOCATION OF SERVICES TO THE BUILDING(S), INCLUDING FIRE PROTECTION, ARCHITECTURAL SITE PLAN FOR DIMENSIONS, ACCESSIBLE ROUTES, ETC., NOT SHOWN ON CIVIL PLANS.
4. CONTRACTOR IS TO COORDINATE LOCATION OF NEW TELEPHONE SERVICE, GAS SERVICE, CABLE, ETC. BUILDING WITH THE APPROPRIATE UTILITY COMPANY. FOR TELEPHONE, CONTRACTOR TO FURNISH CONDUIT, PLYWOOD BACKBOARD, AND GROUND WIRE, AS REQUIRED.
1.4 SAFETY AND PROTECTION
1. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF THE PROJECT AND SHALL MEET ALL OSHA REQUIREMENTS.
3. CONTRACTOR IS RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES, AND FOR THE PROTECTION OR WORKERS AND PUBLIC.
4. CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE PROPERTY, ROADWAYS, AND UTILITY IMPROVEMENTS. DAMAGE TO EXISTING IMPROVEMENTS CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID IMPROVEMENTS.
5. CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO, VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION.
6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNMENT AGENCY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
7. CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS. ALL CONSTRUCTION SIGNING, BARRICADING, AND TRAFFIC DELINEATION SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.
8. CONTRACTOR SHALL COMPLY WITH LOCAL NOISE ORDINANCE STANDARDS.
9. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS.
10. CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONNECTION WITH CONSTRUCTION. SUBMIT A STORM WATER POLLUTION PREVENTION PLAN, IF REQUIRED.
11. WORK IN PUBLIC STREETS, ONCE BEGUN, SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.
12. CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION.
13. NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED. CONSTRUCTION TRAFFIC SHALL BE LIMITED TO ONE APPROACH TO THE SITE. THE APPROACH SHALL BE DESIGNATED BY THE OWNER OR GOVERNING AGENCY.

- 14. THE CONTRACTOR SHALL TAKE REASONABLE MEASURE TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS DAMAGED BY THE CONTRACTOR'S OPERATION SHALL BE REPAIRED OR RECONSTRUCTED TO THE ENGINEER/OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
1.5 MATERIALS
1. SITE CONCRETE SHALL BE A MINIMUM 4500 P.S.I. @ 28 DAYS, 4" MAXIMUM SLUMP WITH 5 - OR - 1% AIR ENTRAINMENT, UNLESS SPECIFIED OTHERWISE. SEE SPECIFICATION.
A. SLABS-ON-GRADE WILL BE TYPICALLY SCORED (1/4 THE DEPTH) AT INTERVALS NOT TO EXCEED THEIR WIDTH OR 12 TIMES THEIR DEPTH, WHICHEVER IS LESS. SCORING WILL BE PLACED TO PREVENT RANDOM CRACKING. FULL DEPTH EXPANSION JOINTS WILL BE PLACED AGAINST ANY OBJECT DEEMED TO BE FIXED, CHANGES IN DIRECTION AND AT EQUAL INTERVALS NOT TO EXCEED 50 FEET.
B. CONCRETE WATERWAYS, CURB/WALLS, MOWSTRIPS, CURB AND GUTTER, ETC. WILL TYPICALLY BE SCORED (1/4 THE DEPTH AT INTERVALS NOT TO EXCEED 10 FEET AND HAVE FULL DEPTH EXPANSION JOINTS AT EQUAL SPACING NOT TO EXCEED 50 FEET).
C. UNLESS OTHERWISE NOTED, ALL SLABS-ON-GRADE WILL HAVE A MINIMUM 8" TURNED-DOWN EDGE TO HELP CONTROL FROST HEAVE.
D. UNLESS OTHERWISE NOTED, ALL ON-GRADE CONCRETE WILL BE PLACED ON A MINIMUM 4" BASE COURSE OVER A WELL COMPACTED (95%) SUBGRADE.
E. ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED OR BROOMED. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
F. ALL JOINTS (CONTROL, CONSTRUCTION OR EXPANSION JOINTS, ETC.) WILL BE SEALED WITH A ONE PART POLYURETHANE SEALANT (SEE SPECIFICATION).
2. ASPHALTIC CONCRETE PAVEMENT SHALL BE A MINIMUM 3" OVER 6" OF COMPACTED (95%) ROAD BASE OVER PROPERLY PREPARED AND COMPACTED (95%) SUBGRADE, UNLESS NOTED OTHERWISE. SEE SPECIFICATIONS, AND DETAIL 'D1' SHEET CS.01.
A. ASPHALT COMPACTION SHALL BE A MINIMUM 96% (MARSHALL DESIGN).
B. SURFACE COURSE SHALL BE 1/2" MINUS. MIX DESIGN TO BE SUBMITTED FOR APPROVAL AT LEAST TWO WEEKS PRIOR TO ANTICIPATED PAVING SCHEDULE.
C. AC PAVEMENT TO BE A 1/2" ABOVE LIP OF ALL GUTTER AFTER COMPACTION.
D. THICKNESSES OVER 3" WILL BE LAID IN TWO LIFTS WITH THE FIRST LIFT BEING AN APPROVED 3/4" MINUS DESIGN.
1.6 GRADING / SOILS
1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT, WHICH BY REFERENCE ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE, UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS, OR IN THE SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCY BETWEEN THE SOILS REPORT AND THESE PLANS AND SPECIFICATIONS.
2. PROCEDURE FOR UNSUITABLE MATERIALS:
A. EXCAVATE TO SUBGRADE.
B. SCARIFY A MINIMUM OF 12" DEEP AND ALLOW TO DRY. RESCARIFY EVERY 2-3 DAYS.
C. PROOFROLL AND COMPACT.
3. F. WHILE PROOFROLLING, SOFT SPOTS TURN UP, IT WILL BE RESCARIFIED AND ALLOWED TO DRY UP TO TWO WEEKS. AFTER TWO WEEKS, THE SOFT AREAS WILL BE MEASURED UP AND OVEREXCAVATED. THE OVEREXCAVATION WILL BE UNDER DIRECTION OF THE ARCHITECT/ENGINEER. THE SOFT MATERIAL WILL BE REMOVED AND REPLACED WITH SUITABLE MATERIALS. THE BOTTOM OF THE EXCAVATION WILL RECEIVE A STABILIZATION FABRIC, MIRAFI 160N OR APPROVED BY ARCHITECT/ENGINEER.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT.
5. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557, EXCEPT UNDER BUILDING FOUNDATIONS WHERE IT SHALL BE 98% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM.
6. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITH THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
7. SITE CLEARING SHALL INCLUDE THE LOGGING AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
8. ALL EXISTING VALVES, MANHOLES, ETC. SHALL BE RAISED OR LOWERED TO GRADE AS REQUIRED. PROVIDE CONCRETE RING OR APRON AROUND RAISED OR NEW ELEMENTS.
9. ALL ELEMENTS SUCH AS VALVES, MANHOLES, INLET COVERS, ETC. ARE REQUIRED TO HAVE A NEW 6" THICK x 2x DIA. WIDE CONCRETE APRON INSTALLED, UNLESS DETAILED OTHERWISE.
1.7 UTILITIES
1. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES EITHER DIRECT OR THROUGH BLUE STAKE TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION.
2. CONTRACTOR TO VERIFY BY POT-HOLING BOTH THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLING ANY NEW LINES. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
3. CONTRACTOR MUST START AT LOW END OF ALL NEW GRAVITY UTILITY LINES. MECHANICAL SUB-CONTRACTOR MUST BE PROVIDED CIVIL SITE DRAWINGS FOR COORDINATION AND TO CHECK THE FLOW FROM THE LOWEST POINT IN BUILDING TO THE FIELD VERIFIED CONNECTION AT THE EXISTING MAIN. NO EXTRA COMPENSATION IS TO BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO FAILURE TO COMPLY WITH THESE REQUIREMENTS.

- CONTRACTOR IS TO VERIFY LOCATION, DEPTH, SIZE, TYPE, AND OUTSIDE DIAMETERS OF UTILITIES IN THE FIELD BY POT-HOLING A MINIMUM OF 300 FEET AHEAD. PIPELINE CONFLICTS TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. EXISTING UTILITY INFORMATION SHOWN ON PLANS OR OBTAINED FROM UTILITY COMPANIES OR BLUE STAKED MUST BE ASSUMED AS APPROXIMATE, REQUIRING FIELD VERIFICATION.
5. CULINARY WATER AND FIRE SERVICE LINES TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
6. SANITARY SEWER MAINS AND LATERALS TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY SEWER DISTRICT STANDARDS AND SPECIFICATIONS.
7. STORM SEWER TO BE CONSTRUCTED IN ACCORDANCE WITH THE GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
8. ALL STORM DRAIN AND IRRIGATION CONDUITS SHALL BE INSTALLED WITH WATER TIGHT JOINTS AND CONNECTIONS.
9. ALL STORM DRAIN PIPE PENETRATIONS INTO BOXES SHALL BE CONSTRUCTED WITH WATER TIGHT SEALS ON THE OUTSIDE AND GROUTED SMOOTH WITH A NON-SHRINK GROUT ON THE INSIDE. CONDUITS SHALL BE CUT OFF FLUSH WITH THE INSIDE OF THE BOX.
10. NO CHANGE IN THE DESIGN OF UTILITIES AS SHOWN WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE GOVERNING MUNICIPALITY, OR OTHER AUTHORITY HAVING JURISDICTION OVER THAT UTILITY.
11. ALL STORM DRAIN CONDUITS AND BOXES SHALL BE CLEAN AND FREE OF ROCKS, DIRT, AND CONSTRUCTION DEBRIS PRIOR TO FINAL INSPECTION.
1.8 SURVEY CONTROL
1. CONTRACTOR MUST PROVIDE A REGISTERED LAND SURVEYOR OR PERSONS UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR TO SET STAKES FOR THE ALIGNMENT AND GRADE OF EACH MAIN AND/OR FACILITY AS SHOWN ON THE PLANS. THE STAKES SHALL BE MARKED WITH THE HORIZONTAL LOCATION (STATION) AND VERTICAL LOCATION (GRADE) WITH CUTS AND/OR FILLS TO THE APPROVED GRADE OF THE MAIN AND/OR FACILITY AS SHOWN ON THE PLANS.
2. THE CONTRACTOR SHALL PROTECT ALL STAKES AND MARKERS FOR VERIFICATION PURPOSES.
3. CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND REFERENCE MARKS WITHIN THE PROJECT SITE.
1.9 AMERICAN DISABILITIES ACT
1. PEDESTRIAN / ADA ROUTES SHALL MEET THE FOLLOWING SPECIFICATIONS:
\* ROUTES SHALL HAVE A 2.00% (1:50) MAXIMUM CROSS SLOPE.
\* ROUTES SHALL HAVE A 5.00% (1:20) MAXIMUM RUNNING SLOPE.
\* RAMPS SHALL HAVE A 8.33% (1:12) MAXIMUM RUNNING SLOPE.
2. ADA PARKING STALLS AND ADJACENT ROUTES SHALL HAVE A 2.00% MAXIMUM SURFACE SLOPE IN ANY DIRECTION.
3. THE CONTRACTOR SHALL ADHERE TO THE ABOVE SPECIFICATIONS. IN THE EVENT OF A DISCREPANCY IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO ANY CONSTRUCTION.

LEGEND table with columns for NEW and EXISTING symbols and their corresponding descriptions like MONUMENT LINE, CENTER LINE, SUBJECT PROPERTY LINE, etc.



VICINITY MAP N.T.S.

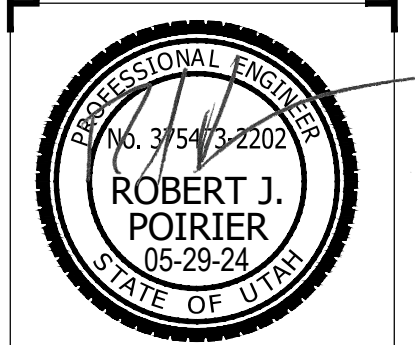
ABBREVIATIONS

Table of abbreviations with columns for symbol, description, and symbol, including ACRE, ADA, ATMS, B&C, BC, BFG, BLUE, BLUFO, BLUGC, BLUIRR, BLUSD, BLUSS, BLUT, BLUW, BM, BOF, BOB, BOL, BOT, BOV, BOW, BW, CATV, CB, CCR, CURB CUT, COL, COMM, CONC, CONST, CMP, CP, CTREE, CUFT, CUVD, DEL, DIAMETER, DUCTILE IRON PIPE, etc.

DRAWING INDEX

Table with columns for SHEET and DESCRIPTION, listing drawing sheets G1.00 through E6.2 and their descriptions like COVER SHEET, GENERAL NOTES, LEGEND AND ABBREVIATIONS, etc.

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HYRUM 1, 5, 10 PARKING ADDITION

125 NORTH 400 WEST HYRUM, UT 84319 HYRUM UTAH WEST STAKE

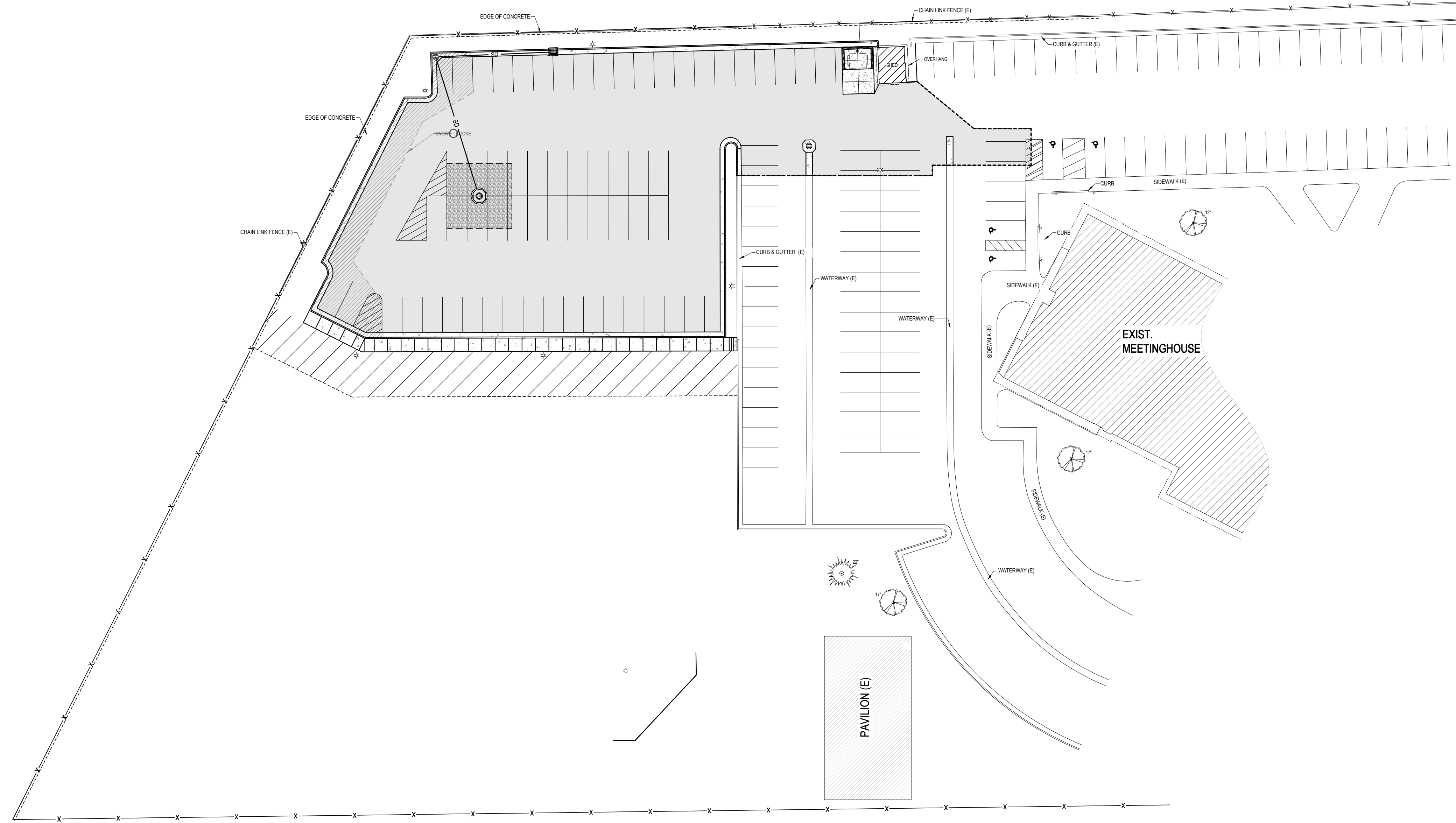
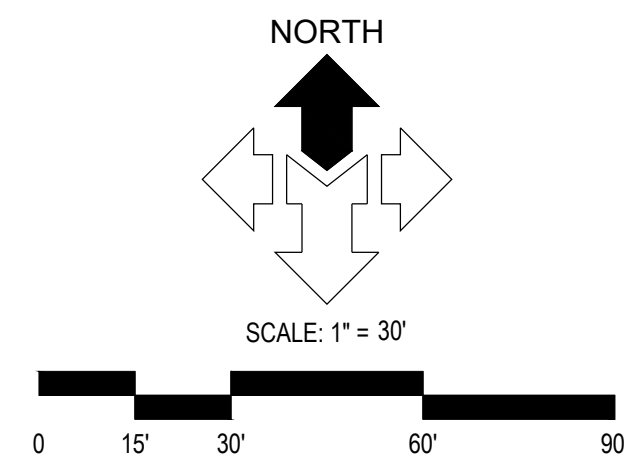
REVISIONS table with columns for REV, DATE, DESCRIPTION, and a grid for tracking revisions.

PROJECT NO: 24072 DRAWN BY: BKL CHECKED BY: CEG DATE: 05/17/24 PROPH 516922423010101

GENERAL NOTES, LEGEND, AND ABBREVIATIONS

G1.01





**SITE PLAN**  
SCALE: 1" = 30'-0"

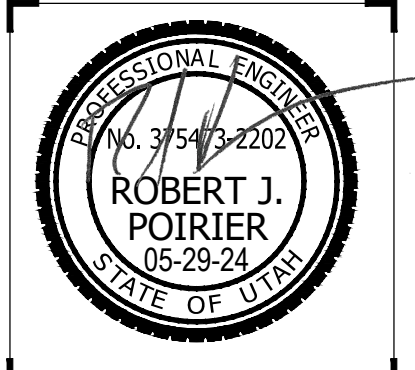
DESCRIPTION	AREA	%
HARDSCAPE	25,116 SQFT	18%
LANDSCAPE	70,308 SQFT	49%
BUILDINGS	46,756 SQFT	33%
<b>TOTAL</b>	<b>142,179 SQFT</b>	<b>100%</b>

EXIST STALLS	166
LOST STALLS	3
NEW STALLS	65
<b>TOTAL STALLS</b>	<b>228</b>



**NOTICE!**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

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**HYRUM 1, 5, 10 PARKING ADDITION**

**125 NORTH 400 WEST**  
HYRUM, UT 84319  
HYRUM UTAH WEST STAKE

REV	DATE	DESCRIPTION

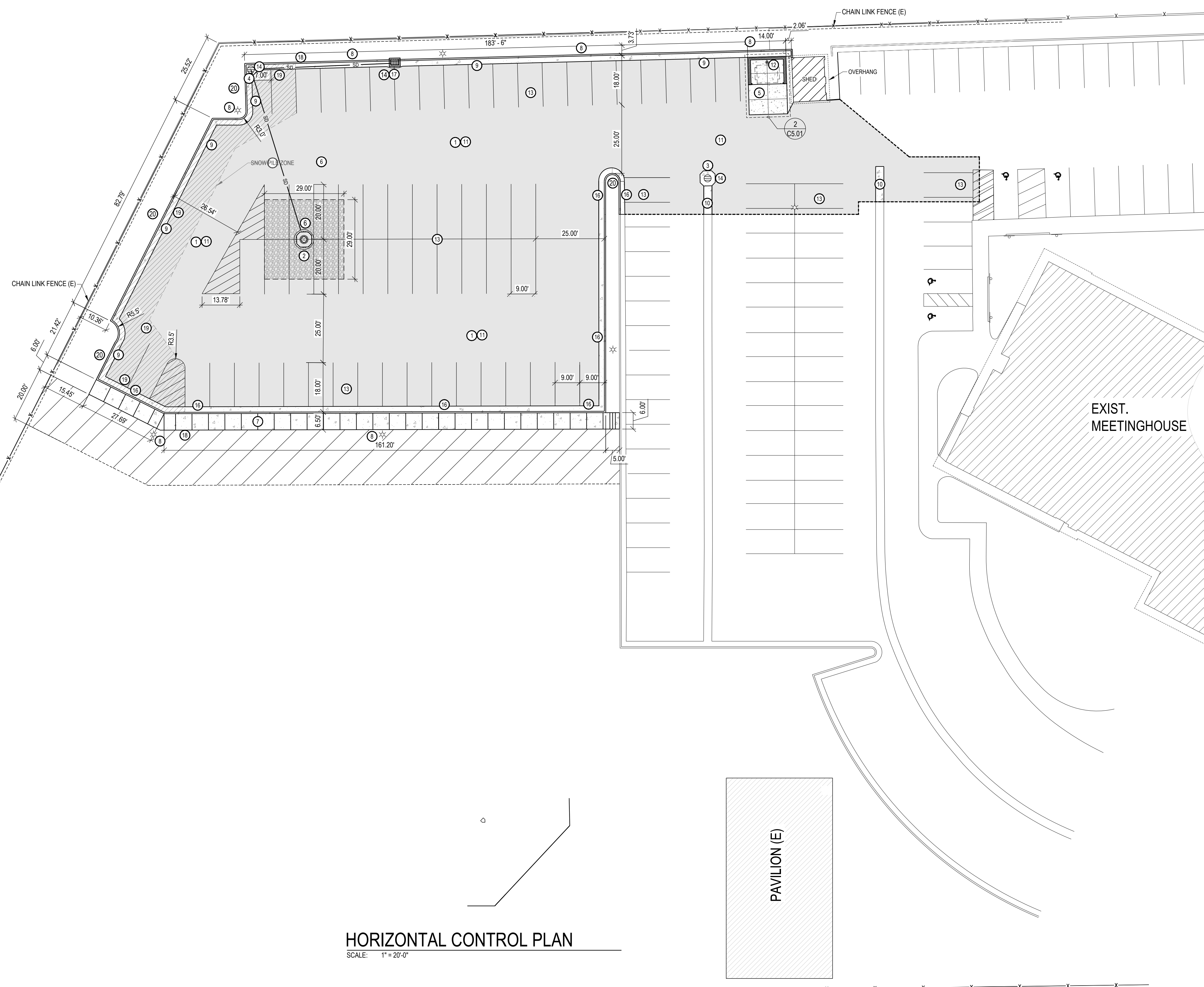
PROJECT NO: 24072  
DRAWN BY: BKL  
CHECKED BY: CEG  
DATE: 05/17/24  
PROPH 516922423010101

**SITE PLAN**  
**C0.01**

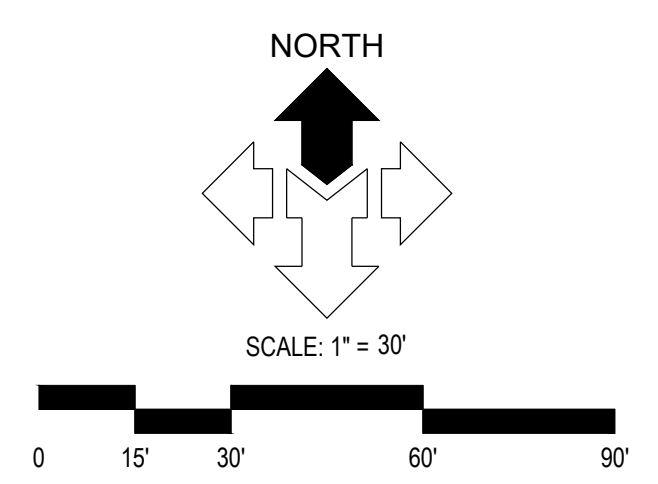




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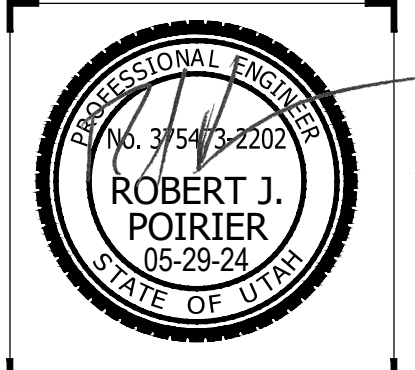
**HORIZONTAL CONTROL PLAN**  
SCALE: 1" = 20'-0"



**KEYED NOTES:**  
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 PROOF ROLL EXPOSED SUB-GRADE. IF ANY SOFT SPOTS DISCOVERED NOTIFY CONSULTANT AND OWNER. SCARIFY PER GENERAL NOTES. PROVIDE IN BASE BID TO OVEREXCAVATE 24,705 SQ. FT. OF SOFT SUBGRADE (APPROX. 12" DEEP), AND TO INSTALL 15,000 SQ. FT. OF STABILIZATION FABRIC (MIRAFI 600X) AND FILL WITH 12" OF PIT-RUN MATERIAL. COORDINATE ALL WORK WITH CONSULTANT.
- 2 INSTALL NEW (3) 6'-0" DIA. x 3'-0" TALL, PRE-CAST CONCRETE DRY WELL RINGS PER DETAIL 'C2' AND CALCUS. SHEET C5.02. INSTALL NEW SLOTTED HEAVY DUTY BICYCLE SAFE METAL GRATE. COMPACT AND CONTINUE TO FILL REMAINING EXCAVATED AREA WITH CLEAN, 2" WASHED STONE UNTIL LEVEL WITH TOP OF DRY WELL COVER INCLUDING FILTER FABRIC.
- 3 INSTALL NEW PRECAST STORM DRAIN APRON OVER EXIST. BOX WITH NEW HEAVY DUTY METAL, BICYCLE SAFE GRATE. SEE DETAIL 'C2', SHEET C5.01.
- 4 INSTALL NEW PRECAST STORM DRAIN CATCH BASIN WITH HEAVY DUTY METAL, BICYCLE SAFE GRATE. SEE DETAIL 'B1', SHEET C5.02. INSTALL NEW CONCRETE APRON / CONCRETE PAD OVER NEW STORM DRAIN CATCH BASIN. SEE DETAIL 'C4', SHEET C5.01.
- 5 INSTALL NEW CMU DUMPSTER ENCLOSURE & CONCRETE SLAB. SEE DETAILS 'A1, A2, & B3', SHEET C5.01
- 6 CONNECT NEW STORM DRAIN CATCH BASIN TO NEW DRY WELL SUMP WITH NEW 12" HDPE. GROUT SEAL CONNECTIONS WATER-TIGHT. SEE C5.01 FOR LENGTH AND SLOPE.
- 7 INSTALL NEW 4" THICK CONCRETE SIDEWALK WITH THICKENED EDGE OVER COMP ROAD BASE. SEE DETAIL '8', SHEET C5.01 AND GENERAL NOTES.
- 8 INSTALL NEW CONCRETE LIGHT POLE BASE & NEW POLE & LAMP SEE SHEET E1.01 & DETAIL 'B2' A5.01.
- 9 INSTALL STANDARD CURB AND GUTTER. SEE DETAIL 'B1', SHEET C5.01.
- 10 INSTALL NEW CONCRETE WATERWAY TO MATCH EXISTING PROFILE. SEE DETAIL 'B4', SHEET C5.01.
- 11 GRADE WITH UNIFORM SLOPE AND INSTALL 8" ROAD BASE WITH 3" ASPHALT PAVEMENT PER PLAN AND SPECIFICATION. SEE DETAIL 'D2', SHEET C5.02.
- 12 INSTALL NEW 4" DIA., CONCRETE FILLED, STEEL PIPE BOLLARD WITH NEW HIGH DENSITY POLYETHYLENE (HDPE) COVER. SEE DETAIL 'A3', SHEET C5.01.
- 13 NEW 4" WIDE SOLID YELLOW PARKING STALL STRIPE LINES PER PLAN AND SPECIFICATION.
- 14 CLEAN OUT ALL DEBRIS FROM NEW STORM DRAIN SYSTEM IN AREA OF CONSTRUCTION AT END OF PROJECT. CHECK ALL PIPE CONNECTIONS INTO BOXES THAT THEY ARE SEALED WATER-TIGHT. SEAL AS REQUIRED. CLEAN OUT EXISTING DRY WELL SUMP.
- 15 RELOCATE LIGHT POLE & LAMP AND INSTALL OVER NEW CONC. BASE SEE DETAIL 'B2' A5.01. RECONNECT TO EXISTING ELECTRICAL CIRCUIT.
- 16 INSTALL RELEASE TYPE CURB. SEE DETAIL 'D3', SHEET C5.02.
- 17 INSTALL NEW STORM DRAIN GUTTER INLET. SEE DETAIL 'A3', SHEET C5.02.
- 18 INSTALL 6" TALL "SNOW FLAG" BEHIND CURB AND WALK TO INDICATE LIMITS OF SNOW PILE DURING WINTER MONTHS.
- 19 EXCESSIVE SNOW SHALL NOT BE PUSHED BEYOND THE CURB TO PREVENT HYDRAULIC TRESPASS AND DAMAGE TO THE FENCE.
- 20 MARKERS FOR SNOW LIMITS TO BE MAINTAINED BY THE OWNER.

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**HYRUM 1, 5, 10 PARKING ADDITION**

**125 NORTH 400 WEST**  
HYRUM, UT 84319  
HYRUM UTAH WEST STAKE

REVISIONS	
REV	DESCRIPTION

PROJECT NO: 24072  
DRAWN BY: BKL  
CHECKED BY: CEG  
DATE: 05/17/24  
PROPH 516922423010101

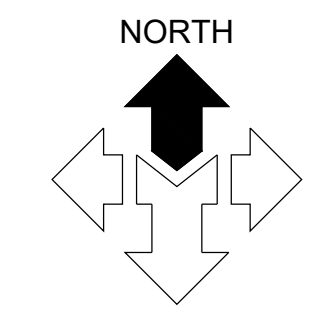
**HORIZONTAL CONTROL PLAN**

**C2.01**

**Blue Stakes of UTAH 811**  
bluestakes.org

**NOTICE!**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.





SCALE: 1" = 20'

**GENERAL NOTES:**

SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT (IF AVAILABLE). THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557 EXCEPT UNDER BUILDING FOUNDATION WHERE IT SHALL BE 98% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER. VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAID AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS & SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.

THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. SPECIFIC DETAILS SHOWN ON SHEET C2.10 SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.

EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.

ALL ELEVATIONS SHOWN AT TOP AND BOTTOM OF WALL(S), IF ANY, ARE ELEVATIONS AT FINISH GRADE, UNLESS OTHERWISE NOTED.

**KEYED NOTES:**

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 GRADE SITE TO ELEVATIONS AND CONTOURS SHOWN ON PLAN.
- 2 NEW CORNER STORM DRAIN CATCH BASIN WITH HEAVY DUTY BICYCLE SAFE GRATE. SEE SCOPE NOTE 4 SHEET C2.01 FOR ADDITIONAL INFORMATION. GRATE = 97.63 IE=94.63
- 3 60 LF 12" DIAMETER HDPE STORM DRAIN LINE @ 0.5%.
- 4 NEW GRAVEL SUMP FOR FULL ONSITE RETENTION. SEE SCOPE NOTE 2, SHEET C2.01. SOLID LID= 99.27 IE(N)=94.33 BOTTOM SUMP=89.27 BOTTOM GRAVEL = 87.77
- 5 NEW STORM DRAIN GUTTER INLET. SEE SCOPE NOTE SHEET C2.01. GRATE=97.90 IE=94.90
- 6 49 LF 12" DIAMETER HDPE STORM DRAIN LINE @ 0.55%.

**COMMON GRADING ABBREVIATIONS:**

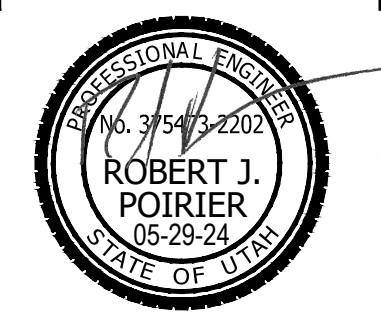
SEE SHEET C0.01 FOR ADDITIONAL ABBREVIATIONS

- BFE BASEMENT FLOOR ELEVATION
- BW FINISH GRADE AT BOTTOM OF WALL
- EX or EXIST EXISTING
- EOA EDGE OF ASPHALT
- EOC EDGE OF CONCRETE
- FFE FINISH FLOOR ELEVATION
- FG FINISH GRADE
- FL FLOW LINE
- GB GRADE BREAK
- HP HIGH POINT
- LP LOW POINT
- NG NATURAL GROUND
- SDCB STORM DRAIN CATCH BASIN
- SDDO STORM DRAIN CLEANOUT BOX
- SDOB STORM DRAIN BASIN
- SOMH STORM DRAIN MANHOLE
- TBC TOP BACK OF CURB
- TOA TOP OF ASPHALT
- TOC TOP OF CONCRETE
- TOG TOP OF GRATE
- TOW TOP OF WALL
- TW FINISH GRADE AT TOP OF WALL
- WW WATERWAY



**NOTICE!**  
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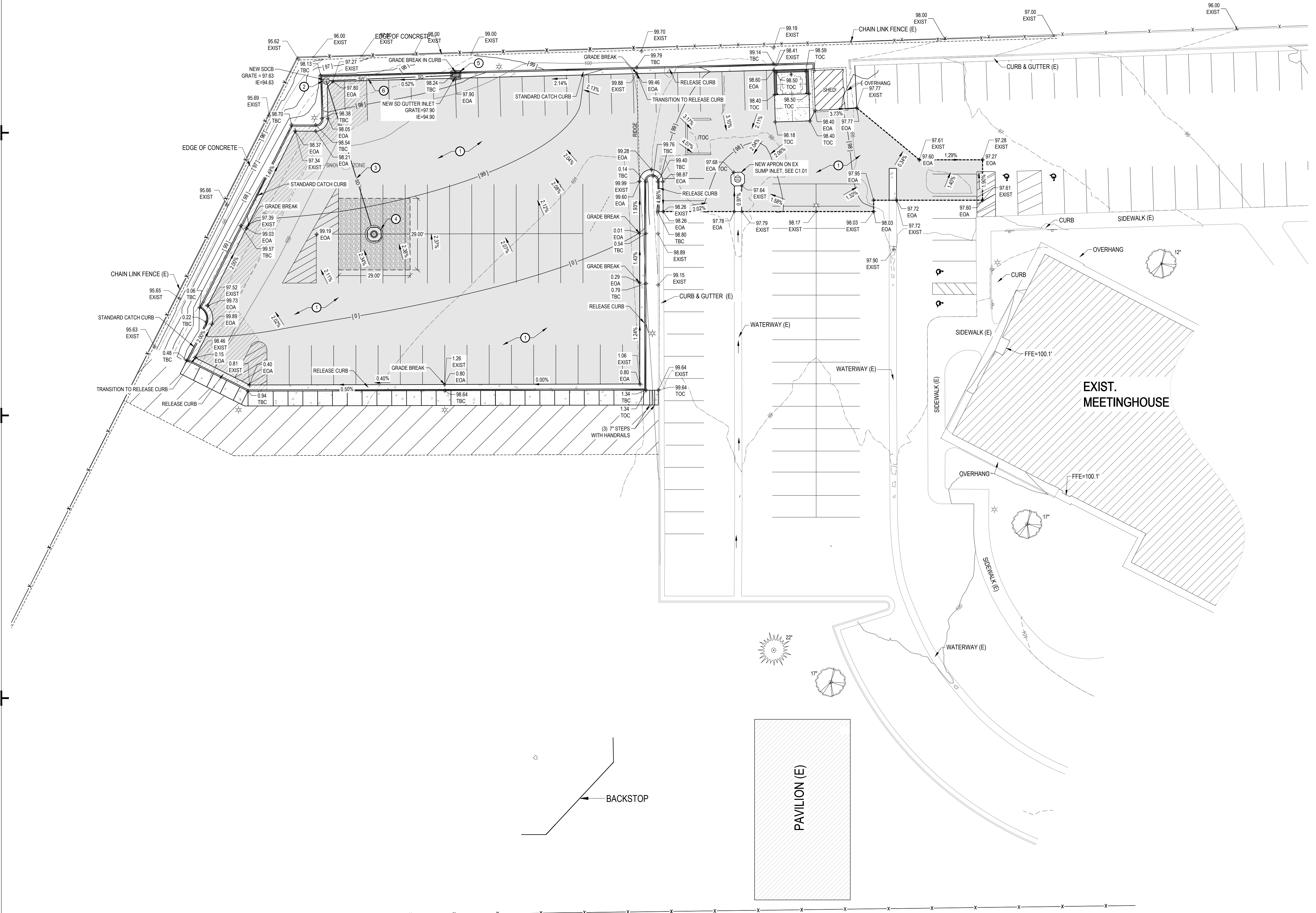
**HYRUM 1, 5 PARKING ADDITION**  
**125 NORTH 400 WEST**  
**HYRUM, UT 84319**

REV	DATE	DESCRIPTION

PROJECT NO: 24072  
DRAWN BY: RJP  
CHECKED BY: RJP  
DATE: 05-29-24

**GRADING AND DRAINAGE PLAN**

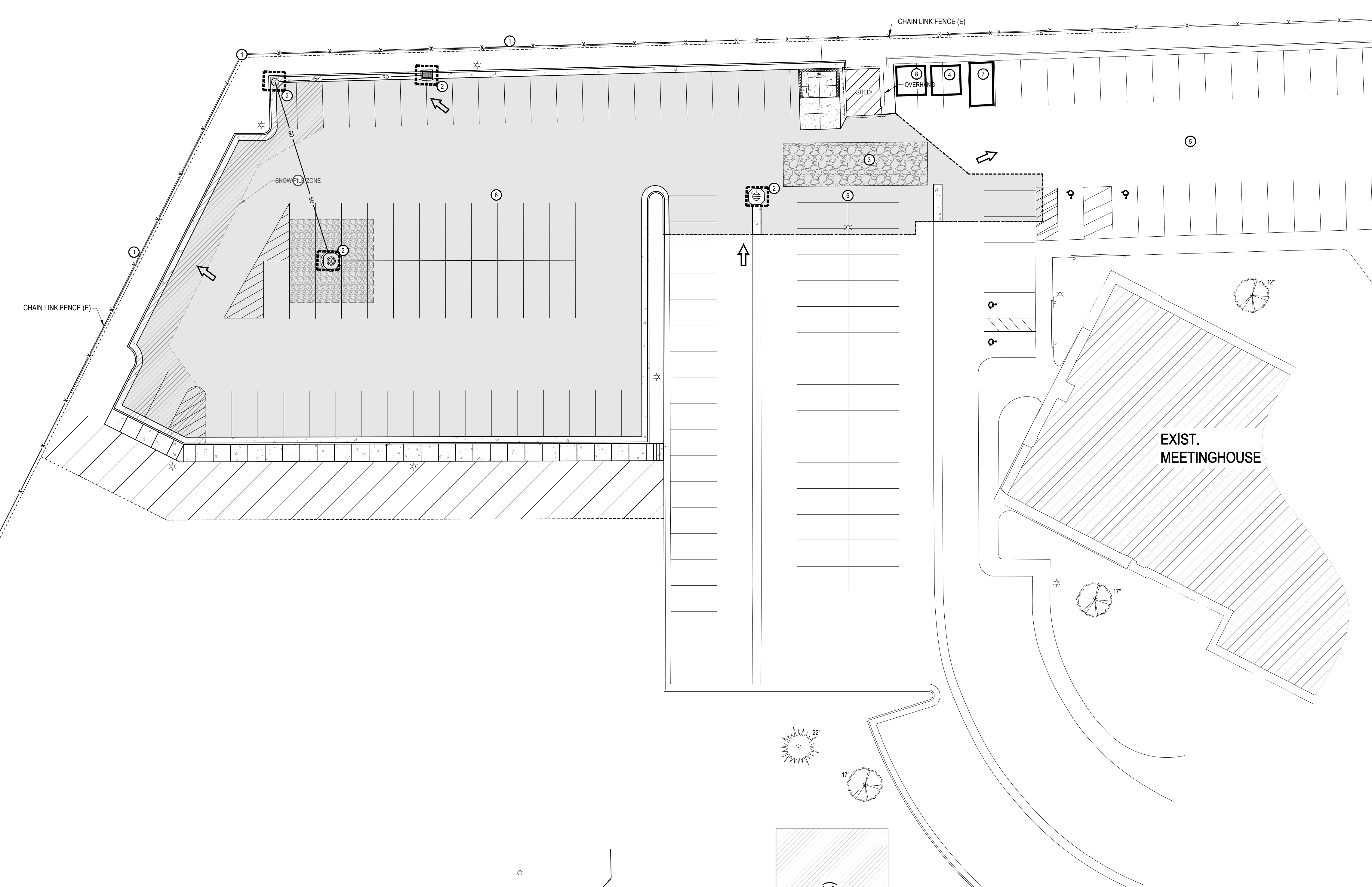
**C3.01**



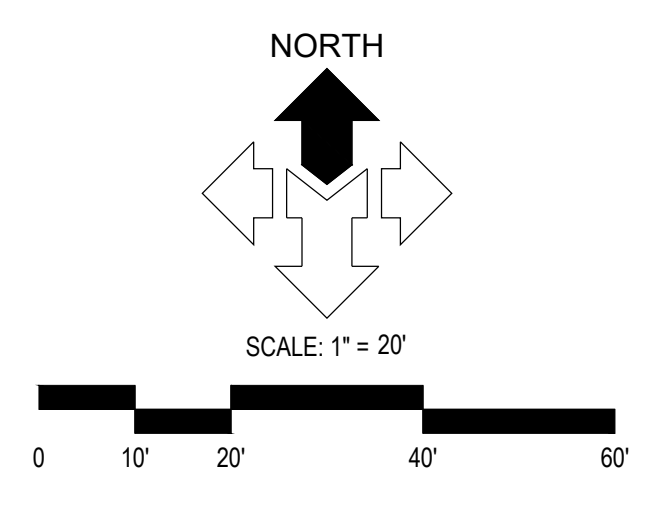
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**EROSION CONTROL PLAN**  
SCALE: 1" = 20'-0"



**GENERAL NOTES:**  
THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. SPECIFIC DETAILS SHOWN ON SHEET C5.02 SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.

ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LOCAL AGENCY'S EROSION CONTROL STANDARDS AND SPECIFICATIONS AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE AGENCY HAVING JURISDICTION. ALSO INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATIONS OF ALL EXISTING UTILITIES. IF CONFLICTS OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.

THE CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL.

WHEN GRADING OPERATIONS HAVE BEEN COMPLETED AND THE DISTURBED GROUND SHALL BE LEFT "OPEN" FOR 30 DAYS OR MORE THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS OF THE AREA.

THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.

**MAINTENANCE:**  
THE OWNER'S REPRESENTATIVE SHALL MAKE ROUTINE CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIRS OR SEDIMENT REMOVAL IS NECESSARY. DUE TO CONDITIONS THAT MAY ARISE IN THE FIELD, ADDITIONAL CONTROL MAY BE DETERMINED TO BE NECESSARY.

SILT FENCE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT THE LEAST DAILY DURING PROLONGED RAINFALL.

CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED SILT FENCES, END RUNS, AND UNDERCUTTING BENEATH SILT FENCING.

NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF SILT FENCING SHALL BE ACCOMPLISHED PROMPTLY.

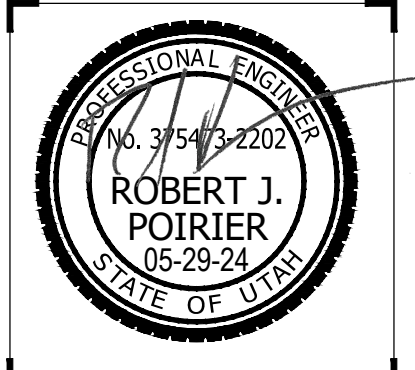
SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

**KEYED NOTES:**  
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- ① SILT FENCE AS SHOWN ON PLAN. SEE DETAIL '2', SHEET C5.02.
- ② INLET PROTECTION AROUND EXISTING OR NEW STORM DRAIN CATCH BASINS OR CURB INLETS. SEE DETAIL '4', SHEET C5.02.
- ③ TEMPORARY CONSTRUCTION ENTRANCE. SEE DETAIL '1', SHEET C5.02. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.
- ④ CONCRETE WASHOUT AREA. CREATE A MIN. 10'X10' AREA WITH A 1' HIGH BERM. LINE AREA WITH PLASTIC. DISCARD WASTE IN DUMPSTER WHEN FULL AND LEGALLY DISPOSE OF. SEE DETAIL '5', SHEET C5.02. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.
- ⑤ NO TRACKING OF MUD ONTO STREETS IS ALLOWED. ANY OCCURRENCE SHALL BE SWEEPED IMMEDIATELY.
- ⑥ WATER SITE AS NECESSARY TO PREVENT FUGITIVE DUST. ONLY DISTURB AREAS AS NEEDED TO PERFORM REQUIRED TASK. SEE DETAIL '3', SHEET C5.02.
- ⑦ CONSTRUCTION DUMPSTER. CHECK LEVEL DAILY. LEGALLY DISPOSE OF WASTE AS NEEDED. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.
- ⑧ PORTABLE CONSTRUCTION TOILET. TOILET TO BE PROPERLY SECURED TO PREVENT TIPPING. BUILD 6" BERM AROUND TOILET TO CONTAIN ANY SPILLS OR LEAKAGE. CHECK LEVEL DAILY. LEGALLY DISPOSE OF WASTE AS NEEDED. SEE DETAIL '9', SHEET C5.02. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.

⇨ FLOW PATH OF 100-YEAR STORM EVENT.

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**HYRUM 1, 5, 10 PARKING ADDITION**

**125 NORTH 400 WEST**  
HYRUM, UT 84319  
HYRUM UTAH WEST STAKE

REV	DATE	DESCRIPTION

PROJECT NO: 24072  
DRAWN BY: BKL  
CHECKED BY: CEG  
DATE: 05/17/24  
PROPH# 516922423010101

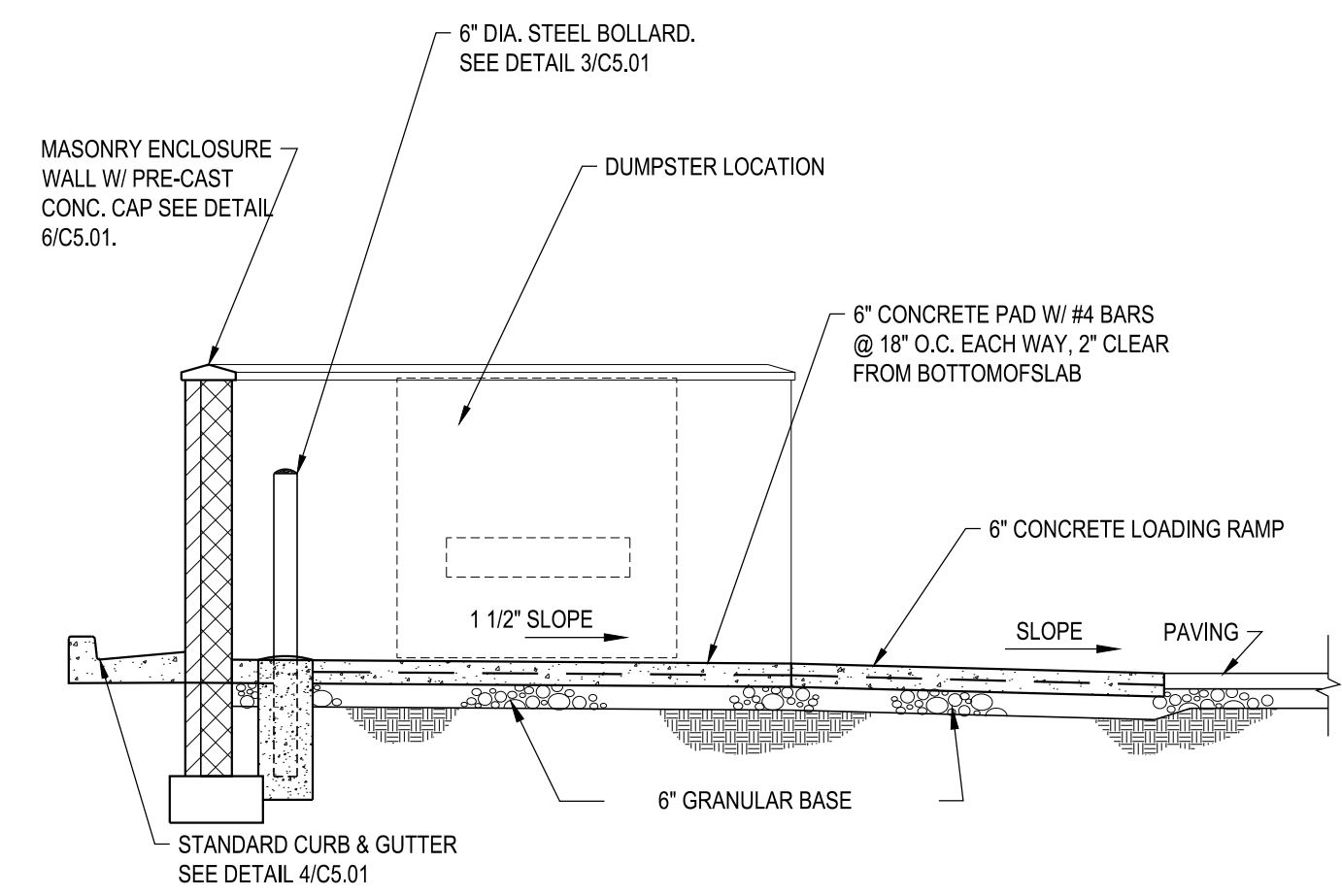
**EROSION CONTROL PLAN**

**C3.02**

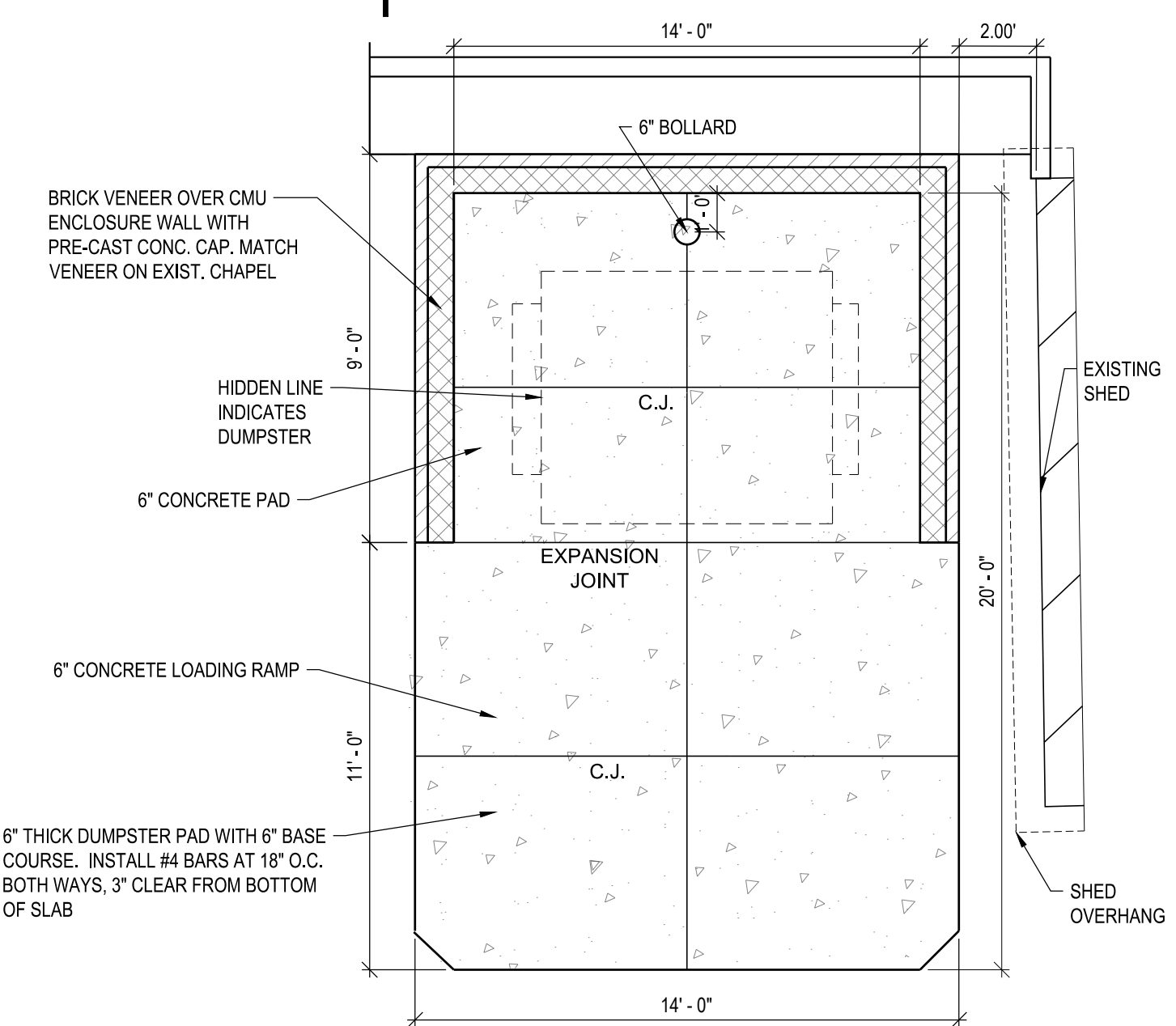
**Blue Stakes of UTAH811**  
Bluestakes.org

**NOTICE!**  
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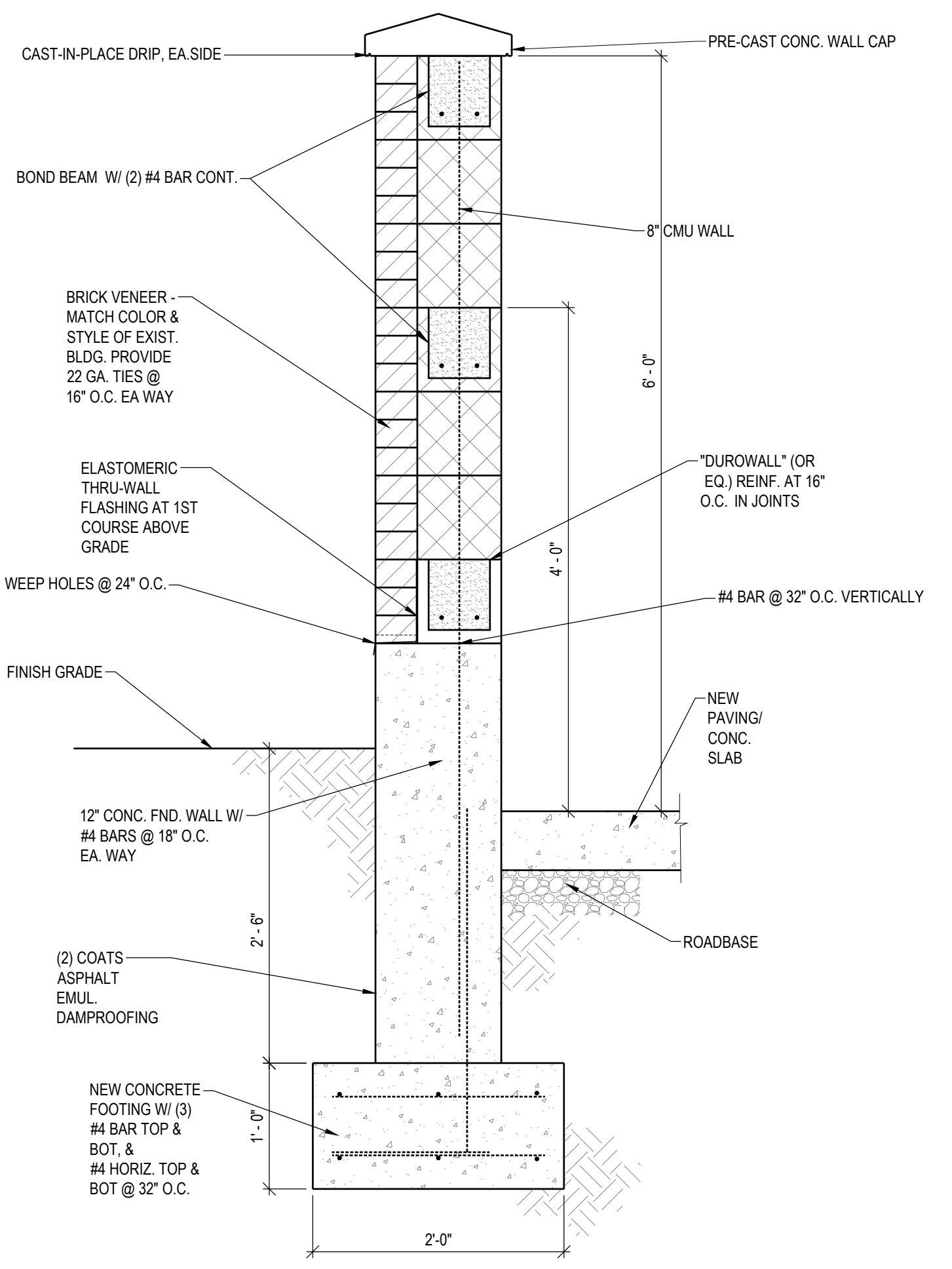




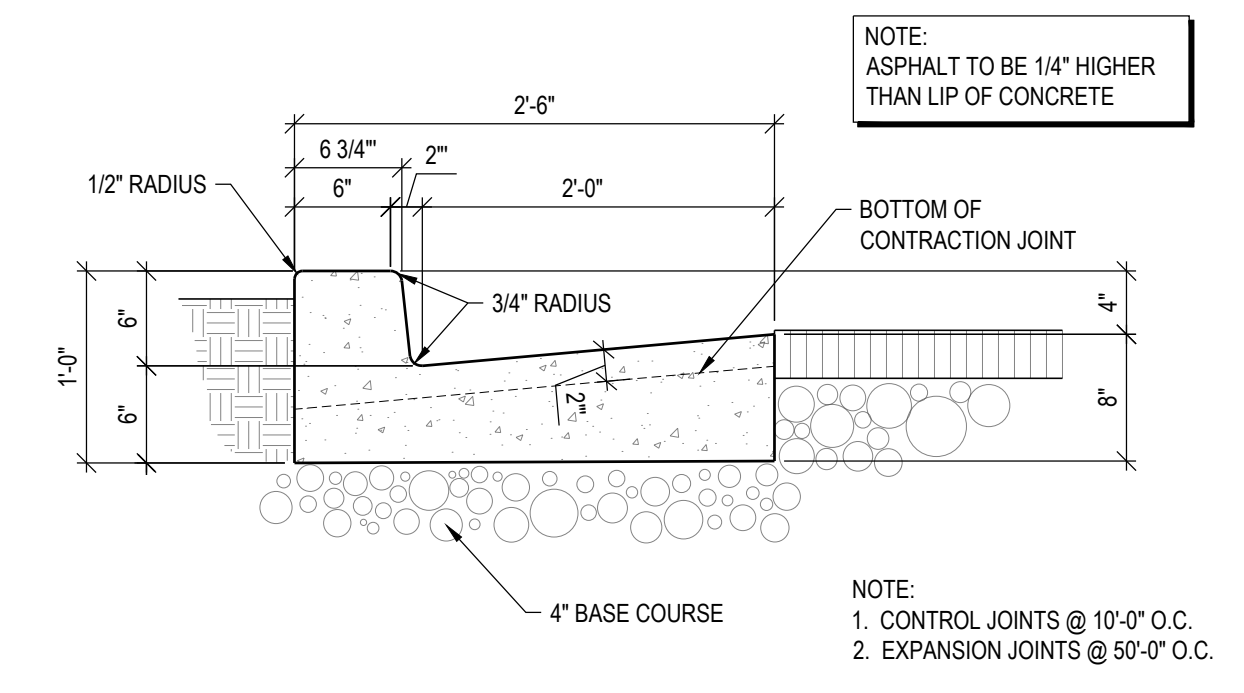
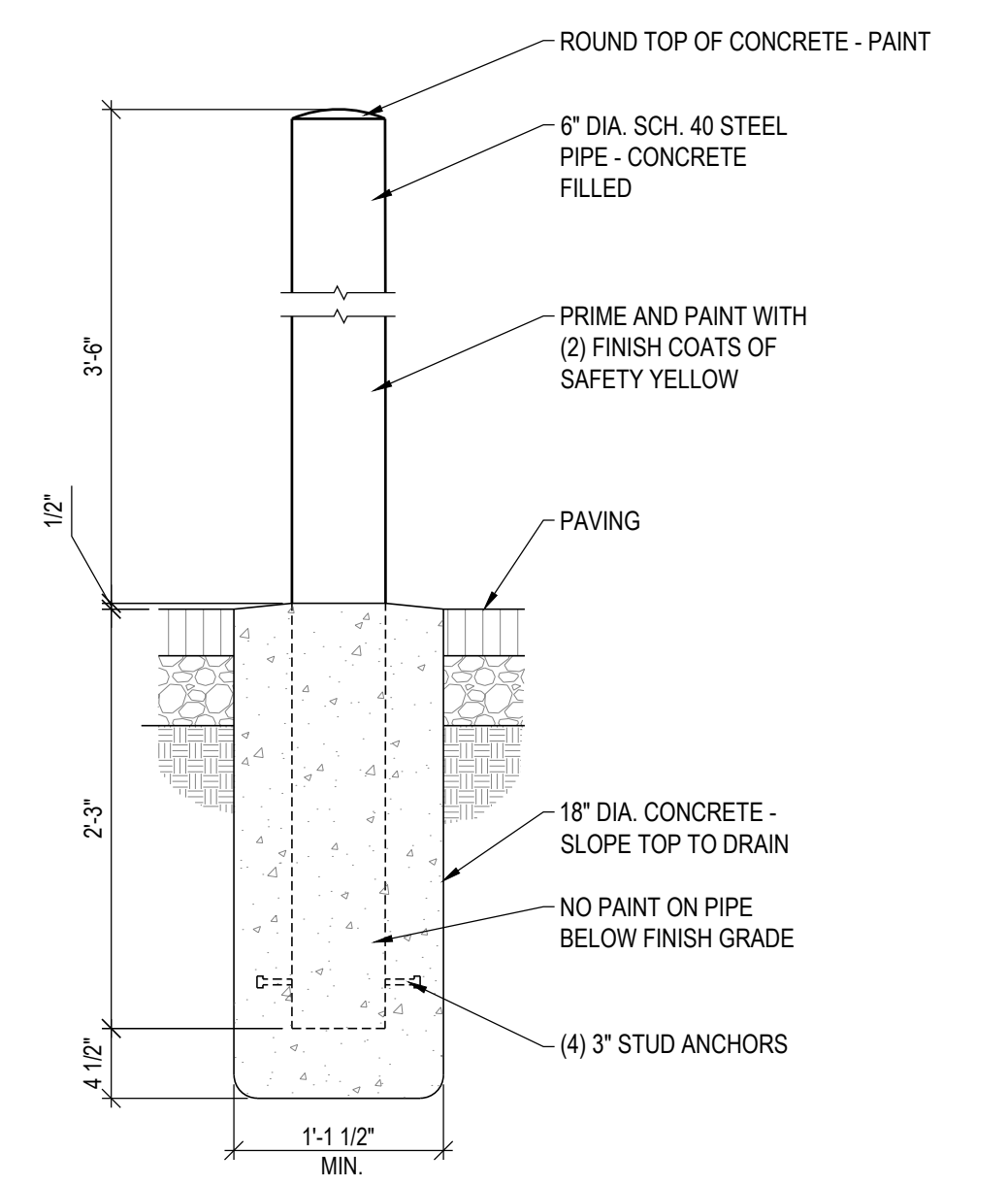
**A1 DUMPSTER PAD SECTION**  
SCALE: 1/4" = 1'-0"



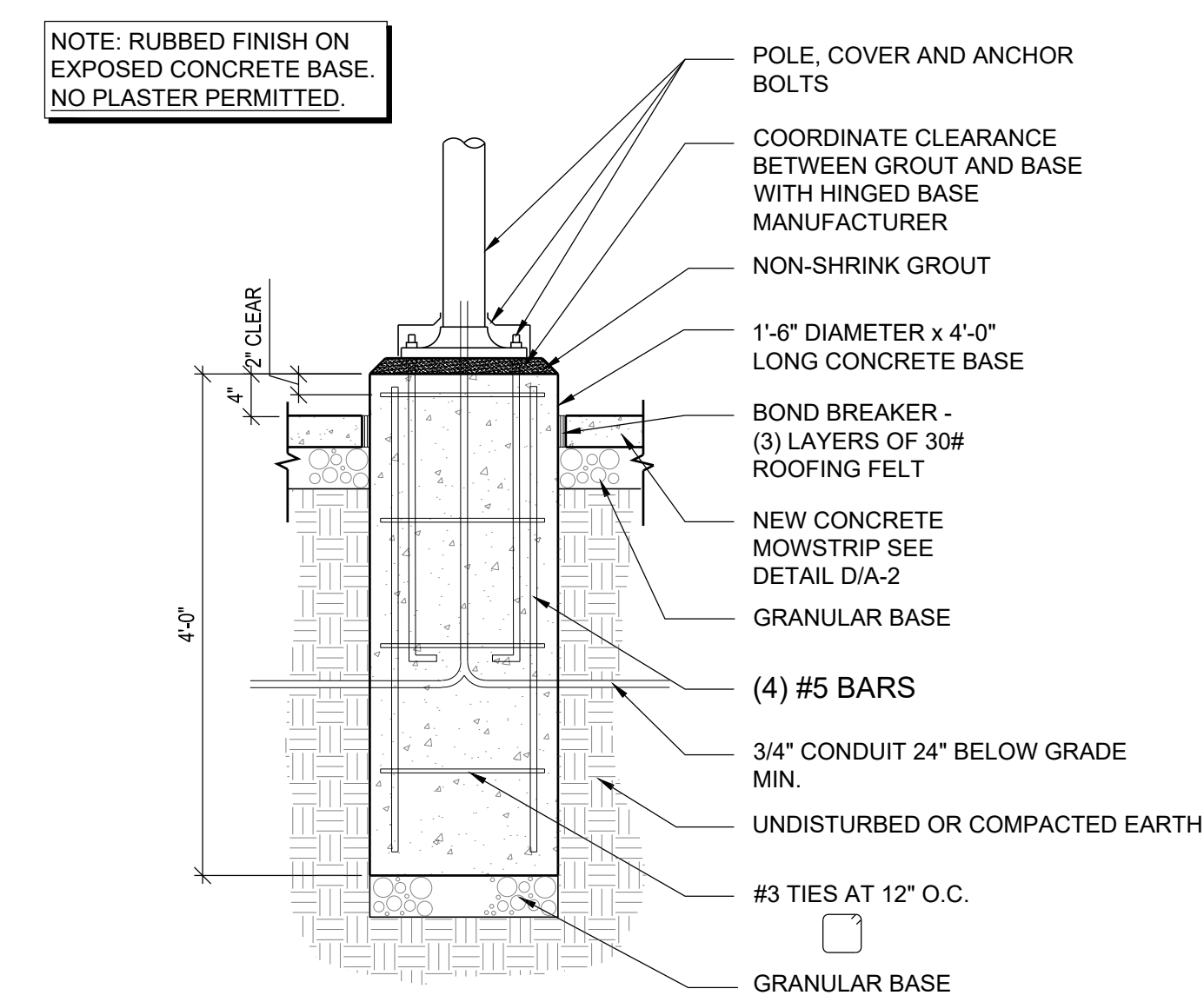
**A2 DUMPSTER PAD DETAIL**  
SCALE: N.T.S.



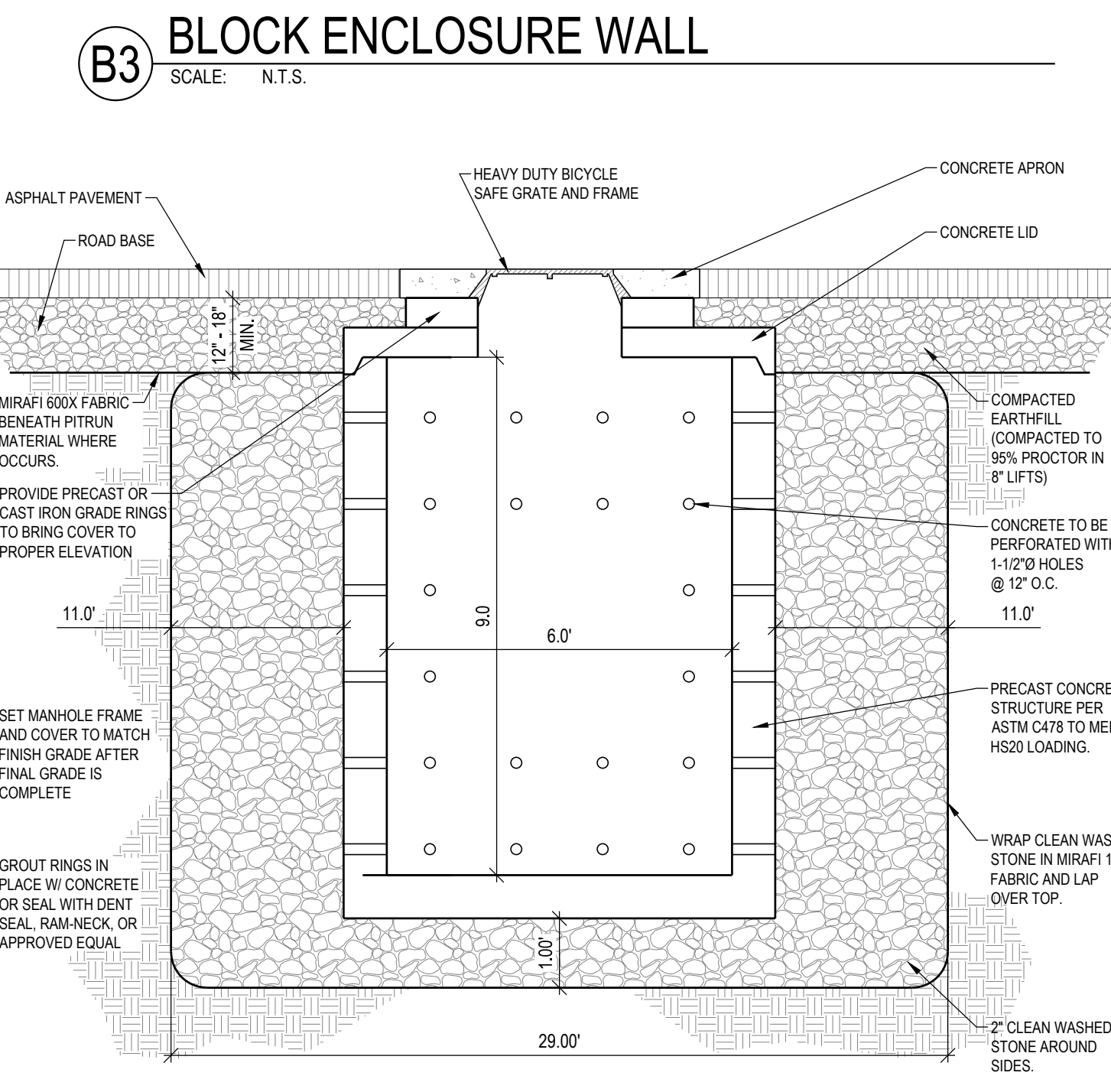
**A3 BOLLARD DETAIL**  
SCALE: N.T.S.



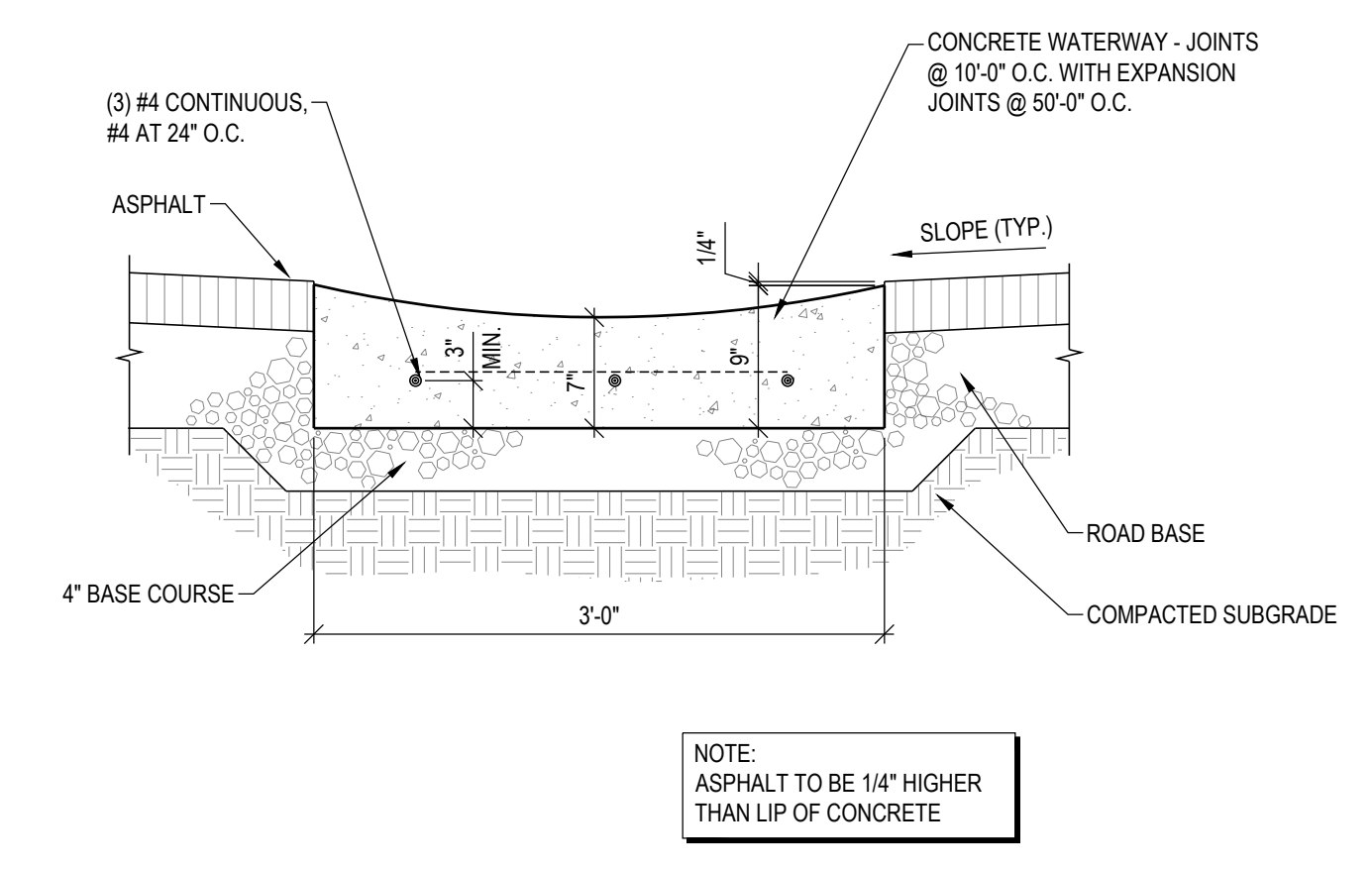
**B1 STD. CURB AND GUTTER**  
SCALE: N.T.S.



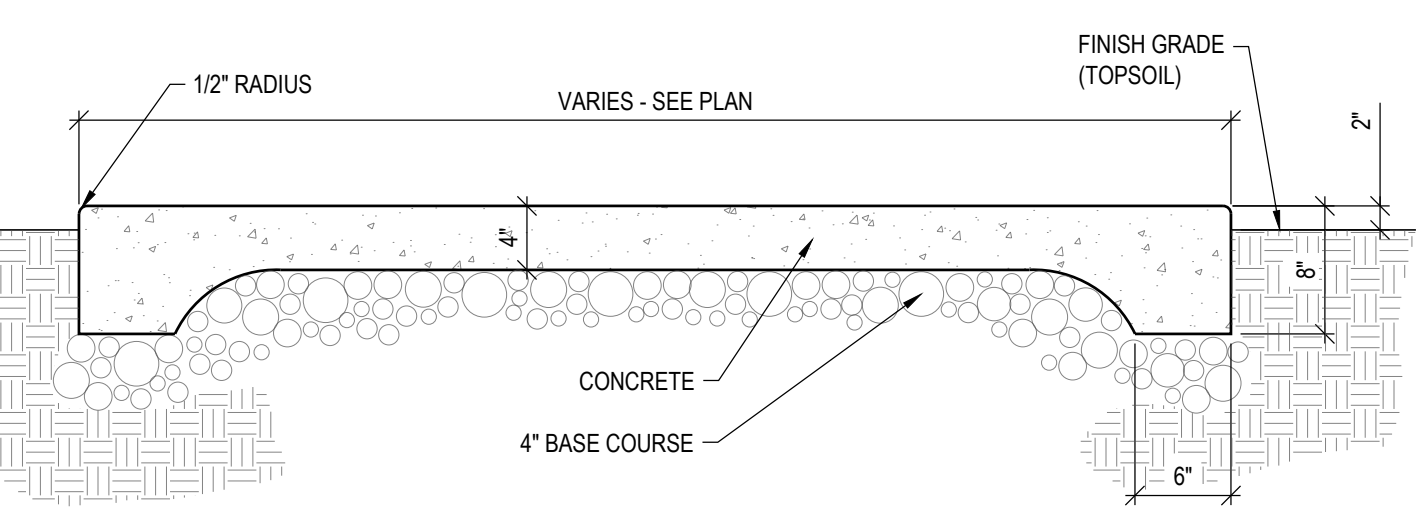
**B2 POLE BASE DETAIL**  
SCALE: N.T.S.



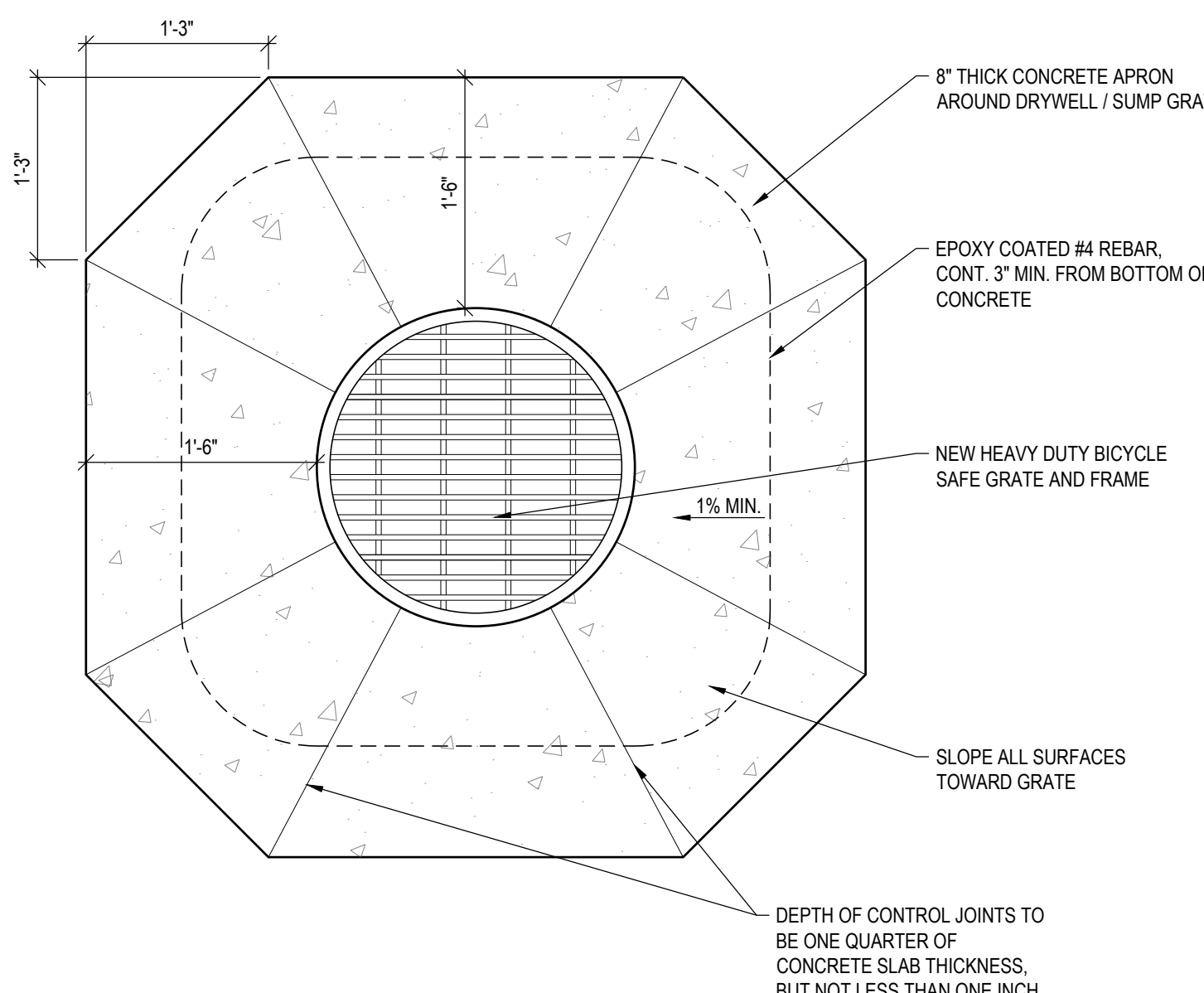
**B3 BLOCK ENCLOSURE WALL**  
SCALE: N.T.S.



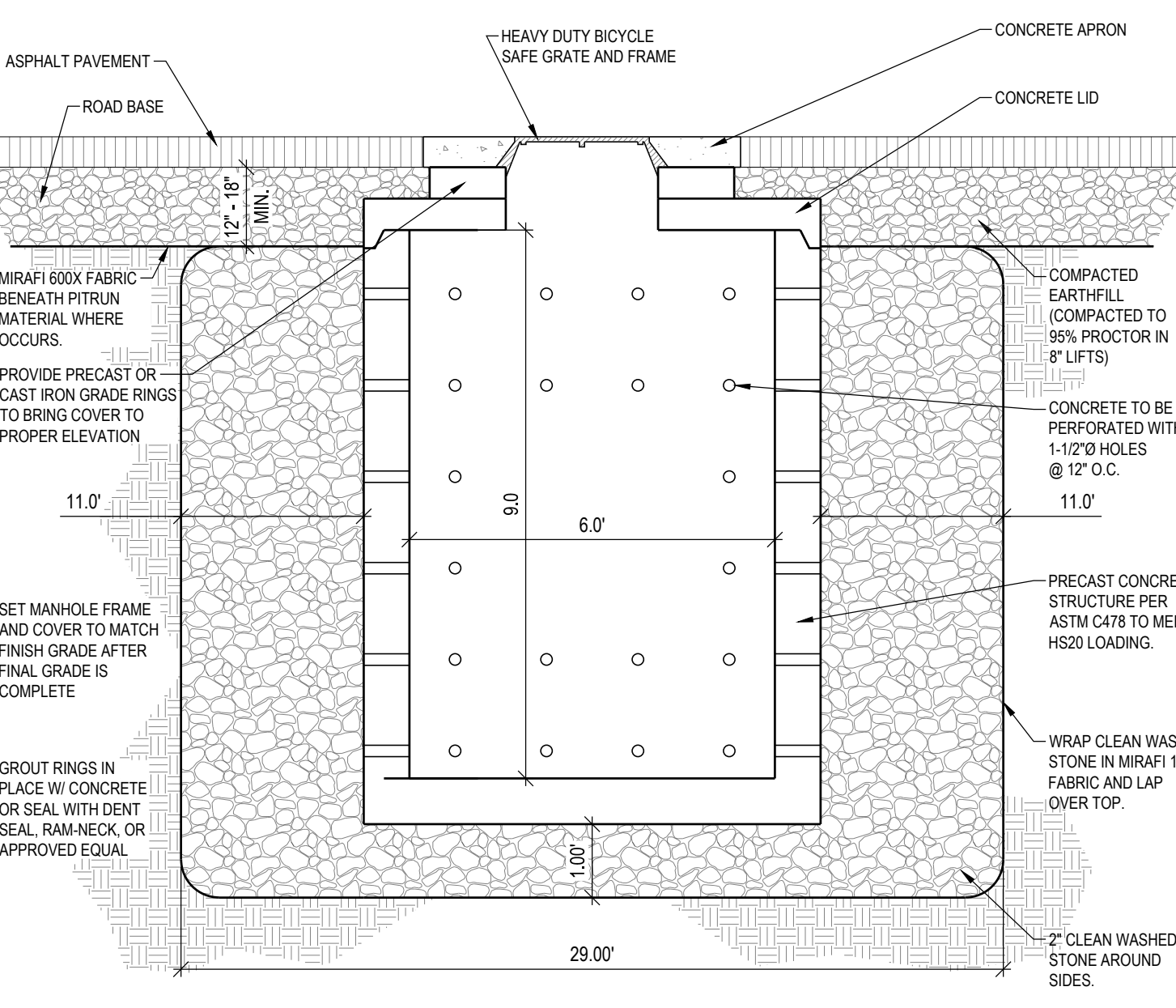
**B4 CONCRETE WATERWAY**  
SCALE: N.T.S.



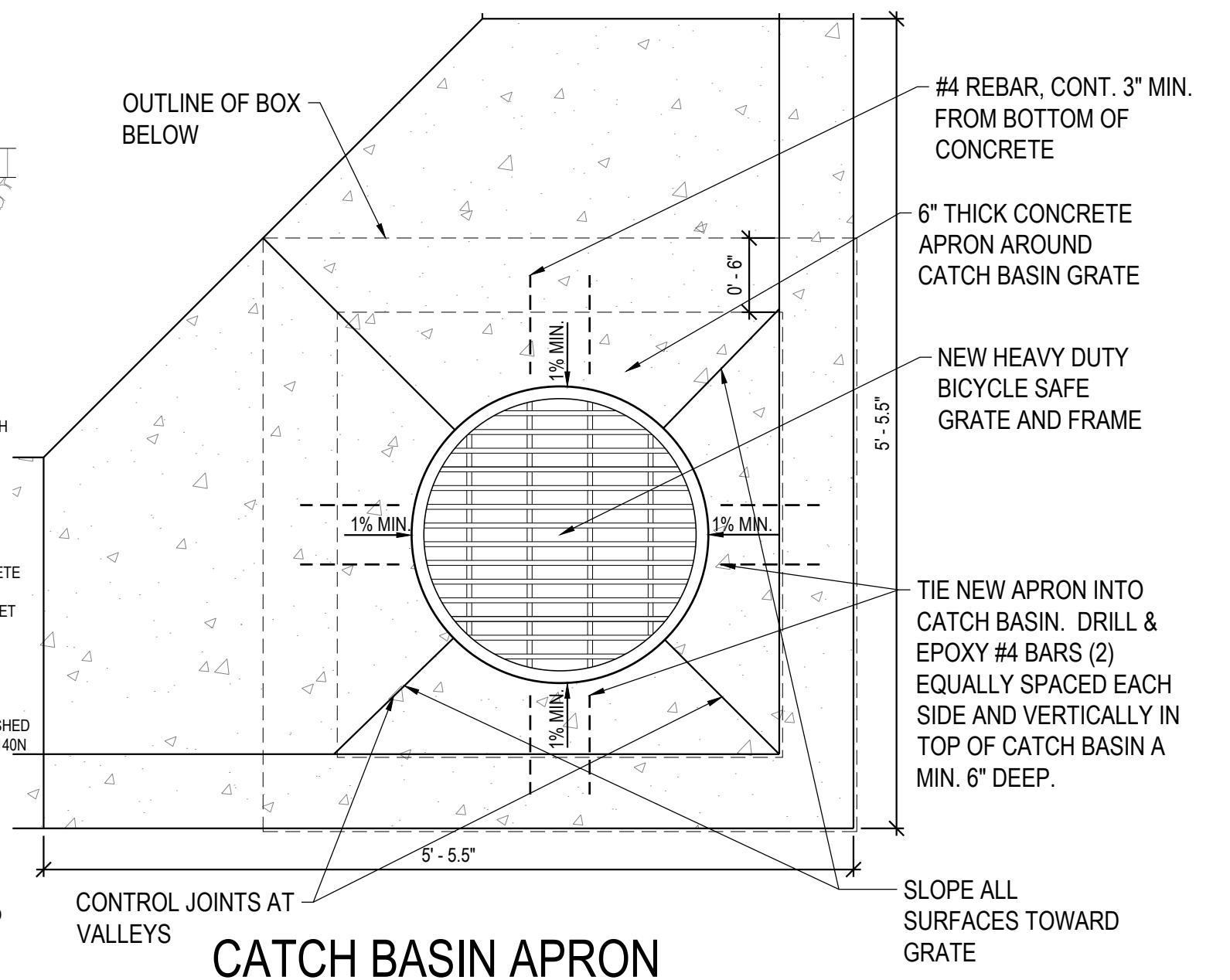
**C1 STD. SIDEWALK**  
SCALE: N.T.S.



**C2 DRYWELL / SUMP APRON**  
SCALE: N.T.S.

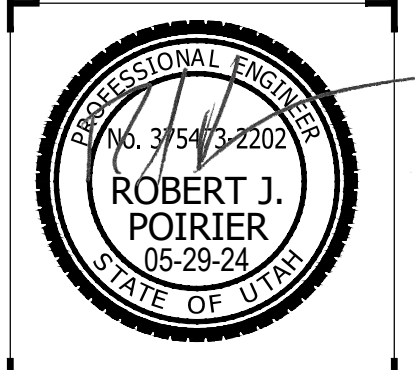


**C3 DRYWELL SUMP DETAIL**  
SCALE: N.T.S.



**C4 CATCH BASIN APRON @ CORNER**  
SCALE: N.T.S.

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**HYRUM 1, 5, 10 PARKING ADDITION**

125 NORTH 400 WEST  
HYRUM, UT 84319  
HYRUM UTAH WEST STAKE

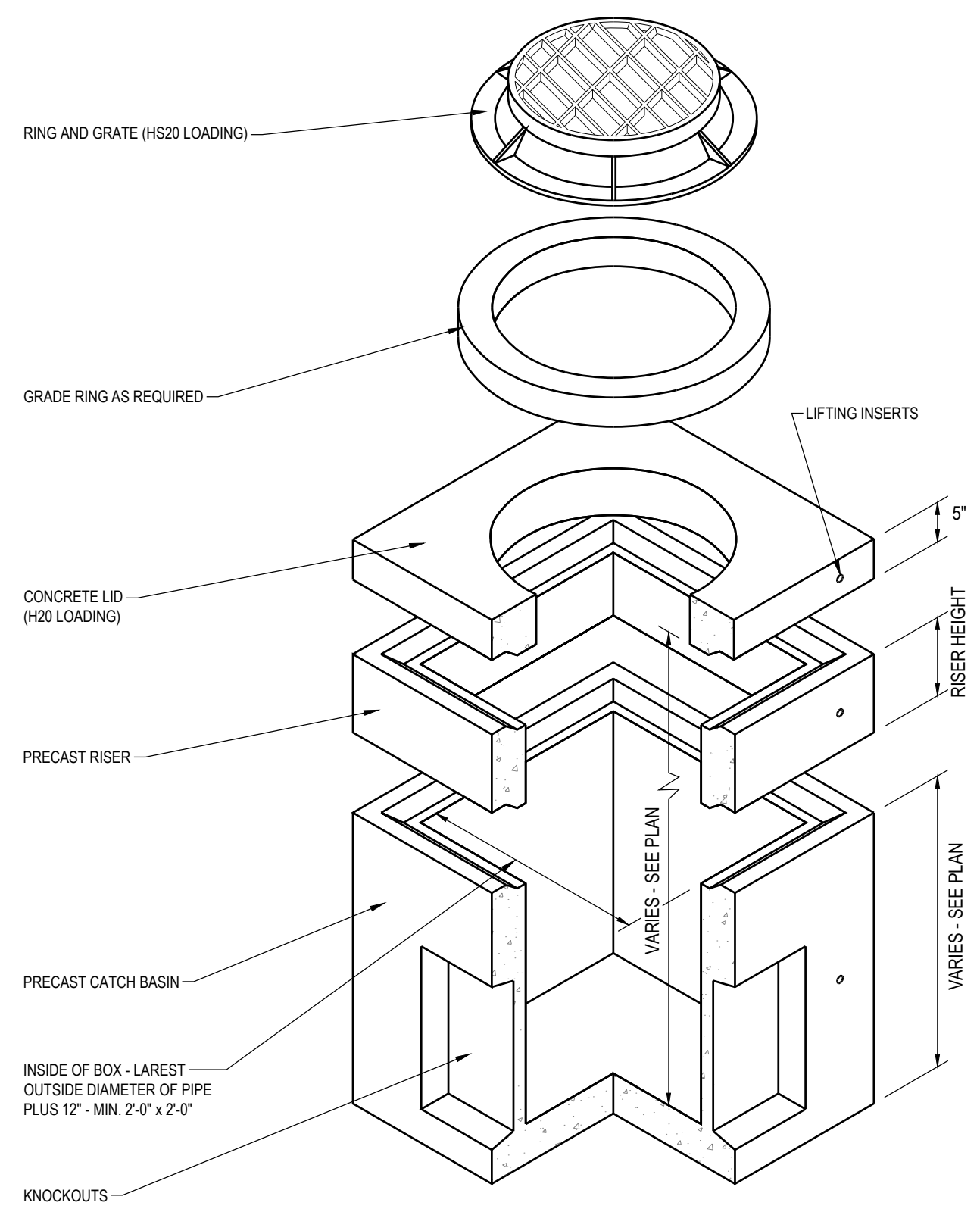
REV	DATE	DESCRIPTION

PROJECT NO: 24072  
DRAWN BY: BKL  
CHECKED BY: CEG  
DATE: 05/17/24  
PROPH 516922423010101

DETAIL SHEET

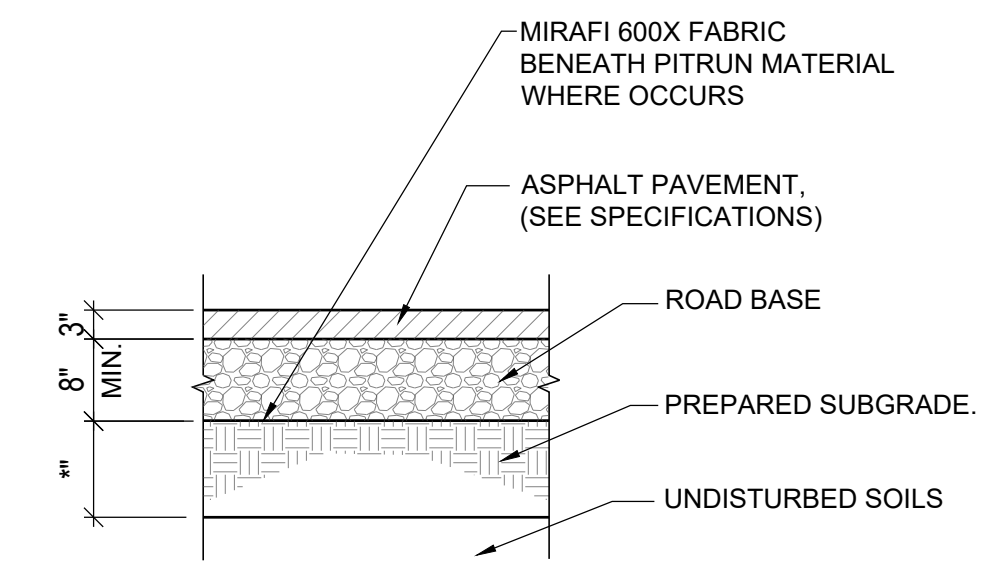
**C5.01**





- NOTES:
- CATCH BASINS SHALL BE DESIGNED TO MEET ASTM C658 WITH AASHTO HS-20 LOADING.
  - OPTIONAL GRATING OR COVER MATERIAL MAY BE CAST IN AS REQUIRED.
  - OPENINGS TO BE SIZED AND LOCATED AS REQUIRED.
  - DURACRETE, OR EQUAL.
  - CONNECTING PIPES TO BE GROUTED SMOOTH ON BOTH SIDES OF BOX OPENING.
  - PIPE CONNECTIONS TO BE SEALED WATER TIGHT.
  - IF DEPTH OF BOX IS OVER 3 1/2', MIN. 3'-0" X 3'-0" BOX IS TO BE USED.

**B1** STD CATCH BASIN  
SCALE: N.T.S.

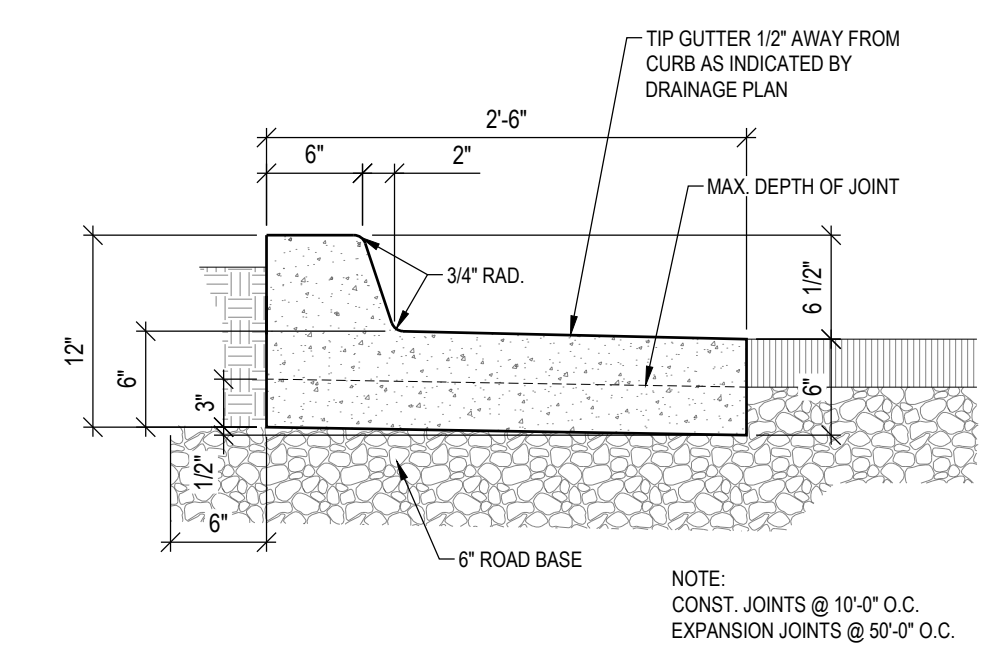


PARKING AREAS

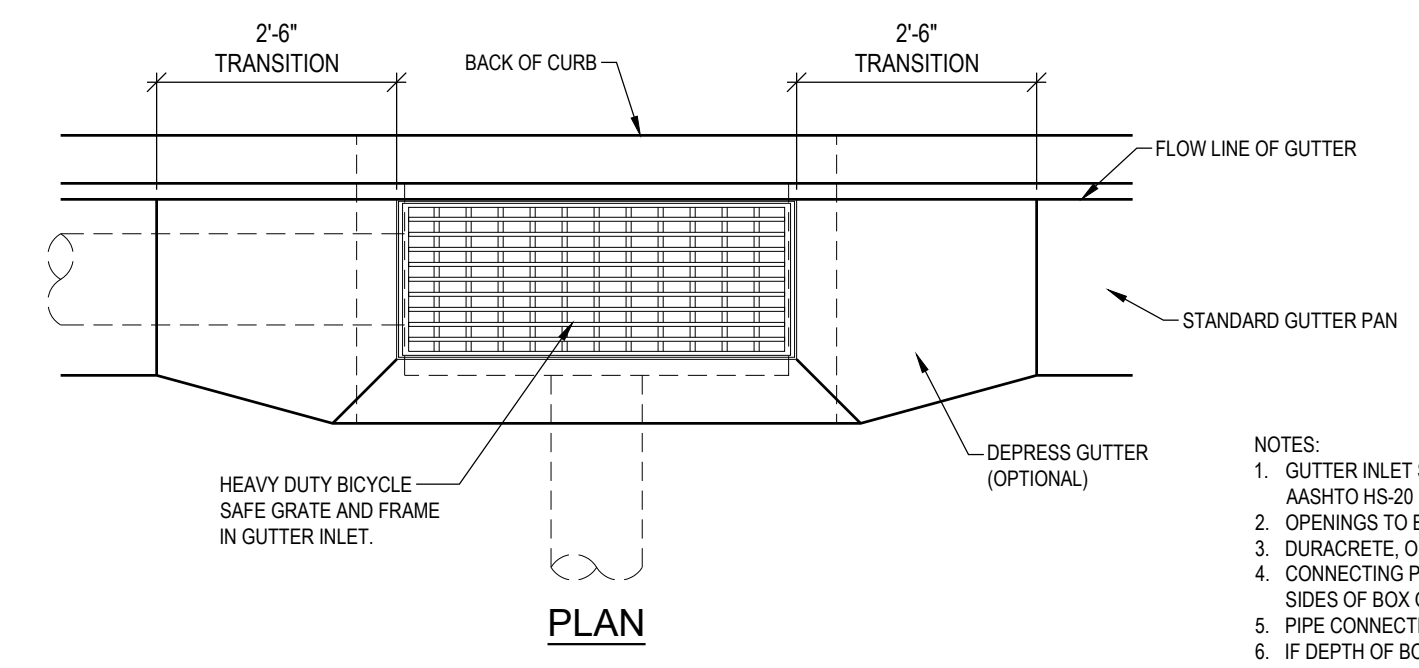
ASPHALT	3"
ROAD BASE	8"
PREPARED SUBGRADE	**

NOTE: REFER TO SOILS REPORT FOR PROJECT SECTION SOILS REPORT OVERRIDES.

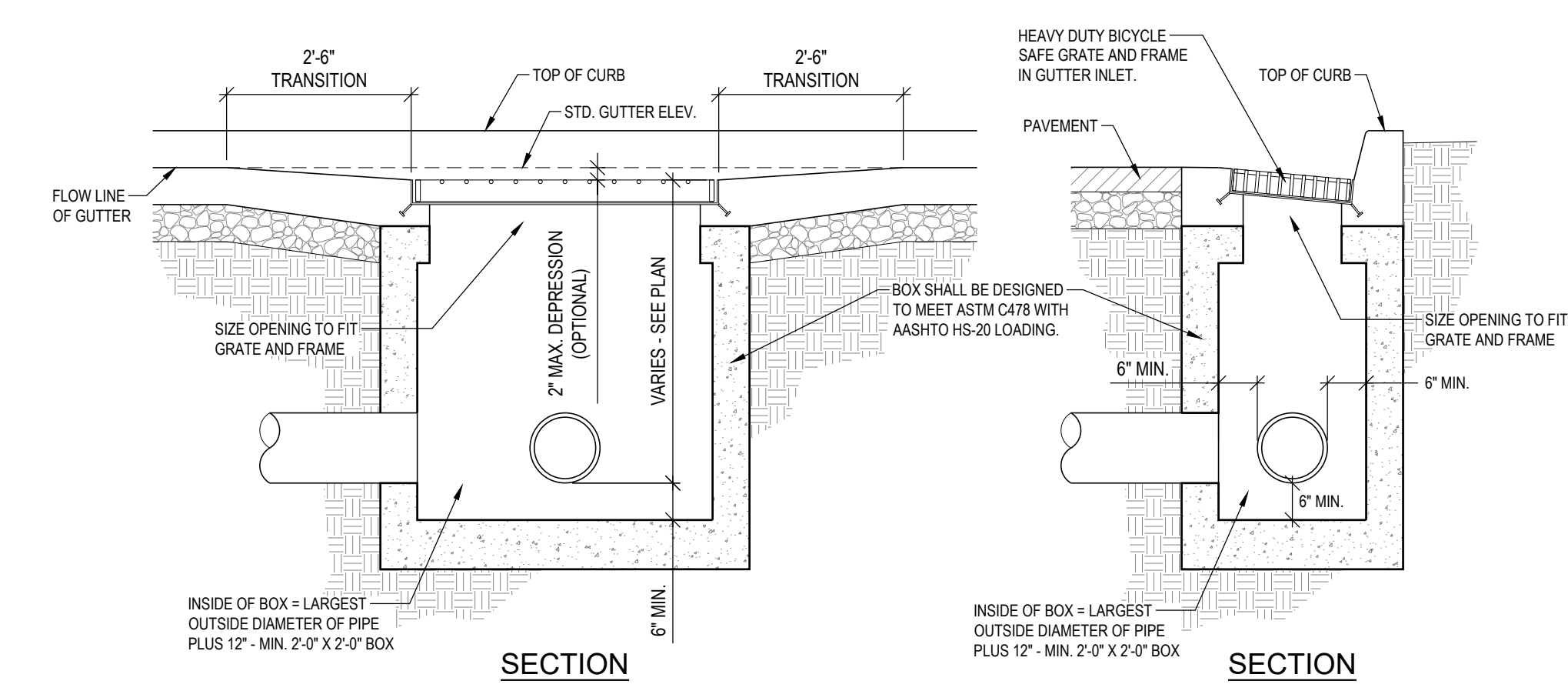
**D2** ASPHALTIC PAVEMENT SECTION  
SCALE: N.T.S.



**D3** 30" RELEASE CURB & GUTTER  
SCALE: N.T.S.



- NOTES:
- GUTTER INLET SHALL BE DESIGNED TO MEET ASTM C478 WITH AASHTO HS-20 LOADING.
  - OPENINGS TO BE SIZED AND LOCATED AS REQUIRED.
  - DURACRETE, OR EQUAL.
  - CONNECTING PIPES TO BE GROUTED SMOOTH ON BOTH SIDES OF BOX OPENING.
  - PIPE CONNECTIONS TO BE SEALED WATER TIGHT.
  - IF DEPTH OF BOX IS OVER 3 1/2', MIN. 3'-0" X 3'-0" BOX IS TO BE USED.



**A3** GUTTER INLET  
SCALE: N.T.S.

**HYRUM 1, 5, 10 PARKING LOT ADDITION**  
125 N 400 W HYRUM, UTAH

Design	
Percolation rate (min/inch)	60.00 min/inch
Discharge Rate Beneath Sumps	0.046 cfs
Design Storm	100 year
Rainfall Data from NOAA	

Storm water within the new parking lot will sheet flow to the northwest corner of the site where it will be collected by a pair catch basins and conveyed via 12" HDPE pipe to the new sump in the parking area. The runoff will infiltrate into the surrounding gravel. To be conservative pressure head was neglected in the calculations to increase longevity of the sump.

Solution using Rational Formula:

TRIBUTARY AREA 1

Q = CIA	where	
C <sub>roof</sub> =		0.85
C <sub>paved</sub> =		0.90
C <sub>landscaped</sub> =		0.15

I = Rainfall Intensity  
A = Tributary Area

Roof Area =	0
Paved Area =	26,893
Landscape Area =	0
<b>Total Tributary Area =</b>	<b>26,893</b>

Weighted Coefficient (C) = 0.90

C \* A = 24,204

100 yr Design Storm

Time (min)	Rate (in/hr)	Rainfall (Inches)	Accum. Flow (cu.ft)	Discharge (cu.ft)	Req'd Storage (cu.ft)
5	6.48	0.54	1,089	14	1,075
10	4.92	0.82	1,654	28	1,626
15	4.04	1.01	2,037	42	1,995
30	2.72	1.36	2,743	83	2,660
60	1.68	1.68	3,389	167	3,222
120	0.92	1.84	3,711	334	3,378
180	0.62	1.86	3,752	500	3,251
360	0.33	1.99	4,014	1,001	3,013
720	0.20	2.34	4,720	2,001	2,719
1,440	0.10	2.46	4,962	4,002	960

New Sump Capacity per Design

Diameter of Sump (ft)	6 ft	
Depth of sump (ft)	9	
Depth of Gravel (ft)	10 ft	Fraction of side wall considered
Storage in concrete sump=	254 cf	
depth of side considered for infiltration	9	1.00

Sump dimensions/vol

length (ft)	29	Width (ft)	29.0	Area (sq.ft)	841	Vol (cu.ft.)	8156 cuft	infil area s.f.	2,001
-------------	----	------------	------	--------------	-----	--------------	-----------	-----------------	-------

Water storage in gravel assuming (40% voids)

Vol (cu.ft.)	3262 cuft
--------------	-----------

Total Storage in sump and gravel=

Vol (cu.ft.)	3517 cuft
--------------	-----------

Total Storage in parking area

Vol (cu.ft.)	0
--------------	---

Total Storage

Vol (cu.ft.)	3517 cuft
--------------	-----------

Infiltration rate (cfs)

Infiltration rate	0.046 cfs
-------------------	-----------

Infiltration rate is based on infiltration through the bottom and sides. To be conservative head was neglected

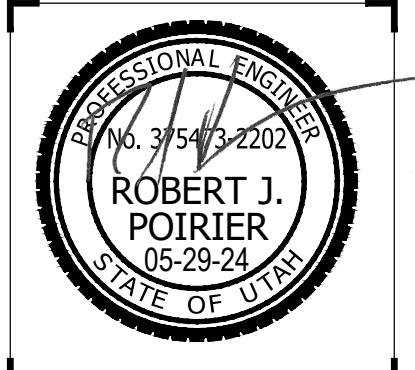
Storage Required:

Vol (cu.yds)	3,378
--------------	-------

Storage Available:

Vol (cu.yds)	3,517	okay
--------------	-------	------

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**HYRUM 1, 5, 10 PARKING ADDITION**

**125 NORTH 400 WEST  
HYRUM, UT 84319  
HYRUM UTAH WEST STAKE**

REV	DATE	DESCRIPTION

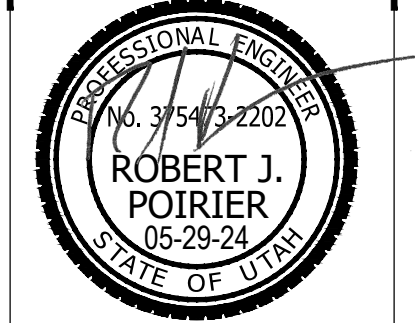
PROJECT NO:	24072
DRAWN BY:	BKL
CHECKED BY:	CEG
DATE:	05/17/24
PROPH#	516922423010101

**DETAIL SHEET**

**C5.02**



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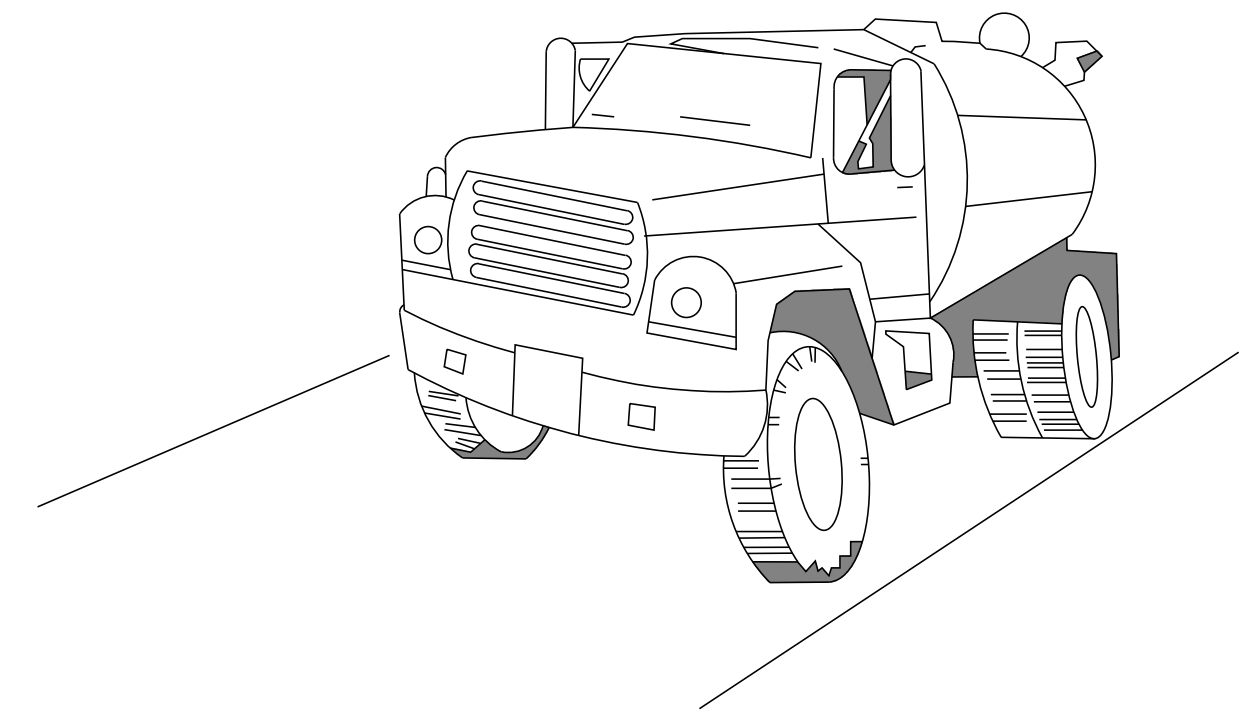
**HYRUM 1, 5, 10 PARKING ADDITION**  
 125 NORTH 400 WEST  
 HYRUM, UT 84319  
 HYRUM UTAH WEST STAKE

REV	DATE	DESCRIPTION

PROJECT NO: 24072  
 DRAWN BY: BKL  
 CHECKED BY: CEG  
 DATE: 05/17/24  
 PROPH 516922423010101

**EROSION CONTROL DETAIL SHEET**

**C5.03**



- OBJECTIVES**
- HOUSEKEEPING PRACTICES
  - CONTAIN WASTE
  - MINIMIZE DISTURBED AREA
  - STABILIZE DISTURBED AREA
  - PROTECT SLOPES/CHANNELS
  - CONTROL SITE PERIMETER
  - CONTROL INTERNAL EROSION

- TARGETED POLLUTANTS**
- SEDIMENT
  - NUTRIENTS
  - TOXIC MATERIALS
  - OIL & GREASE
  - FLOATABLE MATERIALS
  - OTHER WASTE

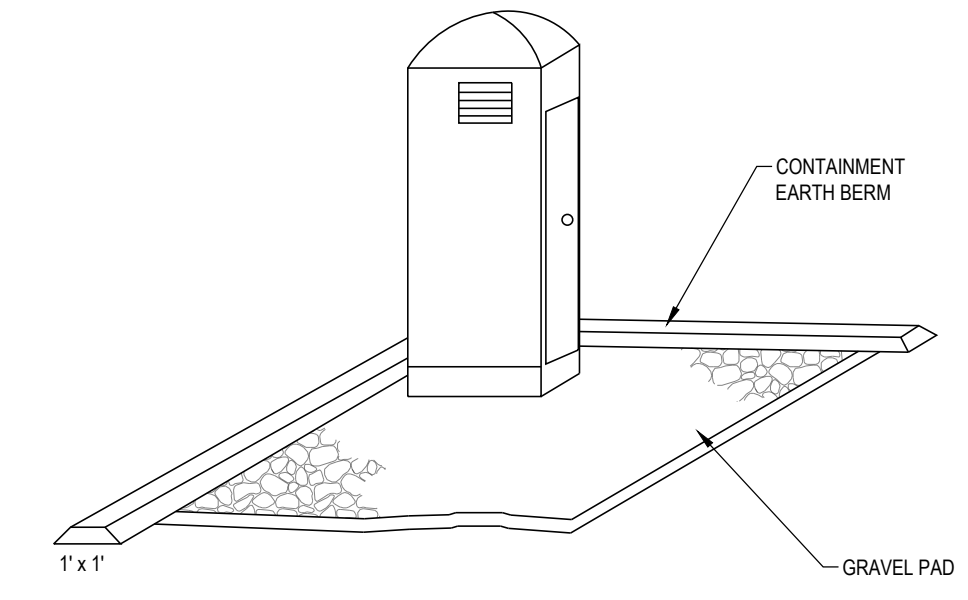
- IMPLEMENTATION REQUIREMENTS**
- HIGH IMPACT
  - MEDIUM IMPACT
  - LOW OR UNKNOWN IMPACT

- IMPLEMENTATION REQUIREMENTS**
- CAPITAL COSTS
  - O & M COSTS
  - MAINTENANCE
  - TRAINING
  - HIGH ■ MEDIUM □ LOW

**DUST CONTROLS**

- 1.0 DESCRIPTION:**  
 DUST CONTROL MEASURES ARE USED TO STABILIZE SOIL FROM WIND EROSION, AND REDUCE DUST BY CONSTRUCTION ACTIVITIES.
- 2.0 APPLICATION:**  
 1. DUST CONTROL IS USEFUL IN ANY PROCESS AREA, LOADING AND UNLOADING AREA, MATERIAL HANDLING AREAS, AND TRANSFER AREAS WHERE DUST IS GENERATED. STREET SWEEPING IS LIMITED TO AREAS THAT ARE PAVED.
- 3.0 INSTALLATION/APPLICATION CRITERIA:**  
 1. MECHANICAL DUST COLLECTION SYSTEMS ARE DESIGNED ACCORDING TO THE SIZE OF DUST PARTICLES AND THE AMOUNT OF AIR TO BE PROCESSED. MANUFACTURERS' RECOMMENDATIONS SHOULD BE FOLLOWED FOR INSTALLATION (AS WELL AS THE DESIGN OF THE EQUIPMENT).  
 2. TWO KINDS OF STREET SWEEPERS ARE COMMON: BRUSH AND VACUUM. VACUUM SWEEPERS ARE MORE EFFICIENT AND WORK BEST WHEN THE AREA IS DRY.  
 3. MECHANICAL EQUIPMENT SHOULD BE OPERATED ACCORDING TO THE MANUFACTURERS' RECOMMENDATIONS AND SHOULD BE INSPECTED REGULARLY.
- 4.0 LIMITATIONS:**  
 1. IS GENERALLY MORE EXPENSIVE THAN MANUAL SYSTEMS.  
 2. MAY BE IMPOSSIBLE TO MAINTAIN BY PLANT PERSONNEL, (THE MORE ELABORATE EQUIPMENT).  
 3. IS LABOR AND EQUIPMENT INTENSIVE AND MAY NOT BE EFFECTIVE FOR ALL POLLUTANTS (STREET SWEEPERS).
- 5.0 MAINTENANCE:**  
 1. IF WATER SPRAYER ARE USED, DUST-CONTAMINATED WATERS SHOULD BE COLLECTED AND TAKEN FOR TREATMENT. AREAS WILL PROBABLY NEED TO BE RE-SPRAYED TO KEEP DUST FROM SPREADING.

**3 DUST CONTROLS**  
 SCALE: N.T.S.



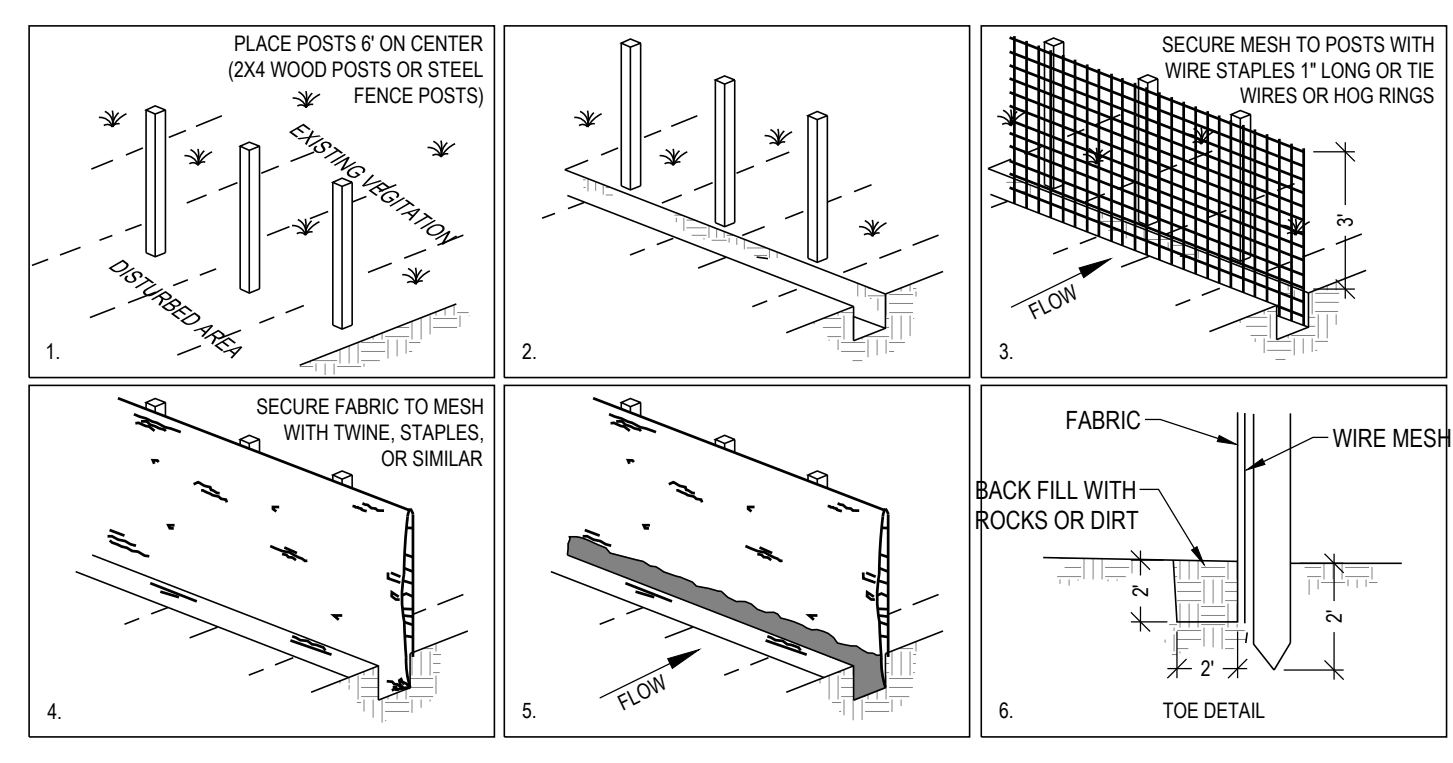
- OBJECTIVES**
- HOUSEKEEPING PRACTICES
  - CONTAIN WASTE
  - MINIMIZE DISTURBED AREA
  - STABILIZE DISTURBED AREA
  - PROTECT SLOPES/CHANNELS
  - CONTROL SITE PERIMETER
  - CONTROL INTERNAL EROSION

- TARGETED POLLUTANTS**
- SEDIMENT
  - NUTRIENTS
  - TOXIC MATERIALS
  - OIL & GREASE
  - FLOATABLE MATERIALS
  - OTHER WASTE

- IMPLEMENTATION REQUIREMENTS**
- HIGH IMPACT
  - MEDIUM IMPACT
  - LOW OR UNKNOWN IMPACT

- IMPLEMENTATION REQUIREMENTS**
- CAPITAL COSTS
  - O & M COSTS
  - MAINTENANCE
  - TRAINING
  - HIGH ■ MEDIUM □ LOW

**6 PORTABLE TOILETS**  
 SCALE: N.T.S.



- OBJECTIVES**
- HOUSEKEEPING PRACTICES
  - CONTAIN WASTE
  - MINIMIZE DISTURBED AREA
  - STABILIZE DISTURBED AREA
  - PROTECT SLOPES/CHANNELS
  - CONTROL SITE PERIMETER
  - CONTROL INTERNAL EROSION

- TARGETED POLLUTANTS**
- SEDIMENT
  - NUTRIENTS
  - TOXIC MATERIALS
  - OIL & GREASE
  - FLOATABLE MATERIALS
  - OTHER WASTE

- IMPLEMENTATION REQUIREMENTS**
- HIGH IMPACT
  - MEDIUM IMPACT
  - LOW OR UNKNOWN IMPACT

- IMPLEMENTATION REQUIREMENTS**
- CAPITAL COSTS
  - O & M COSTS
  - MAINTENANCE
  - TRAINING
  - HIGH ■ MEDIUM □ LOW

**2 SILT FENCE**  
 SCALE: N.T.S.

**DESCRIPTION:**  
 A TEMPORARY SEDIMENT BARRIER CONSISTING OF ENTRENCHED FILTER FABRIC STRETCHED ACROSS AND SECURED TO SUPPORTING POSTS.

**APPLICATIONS:**

- PERIMETER CONTROL: PLACE BARRIER AT DOWNGRADE LIMITS OF DISTURBANCE.
- SEDIMENT BARRIER: PLACE BARRIER AT TOE OF SLOPE OR SOIL STOCKPILE.
- PROTECTION OF EXISTING WATERWAYS: PLACE BARRIER AT TOP OF STREAM BANK.
- INLET PROTECTION: PLACE FENCE SURROUNDING CATCH BASINS.

**INSTALLATION/APPLICATION CRITERIA:**

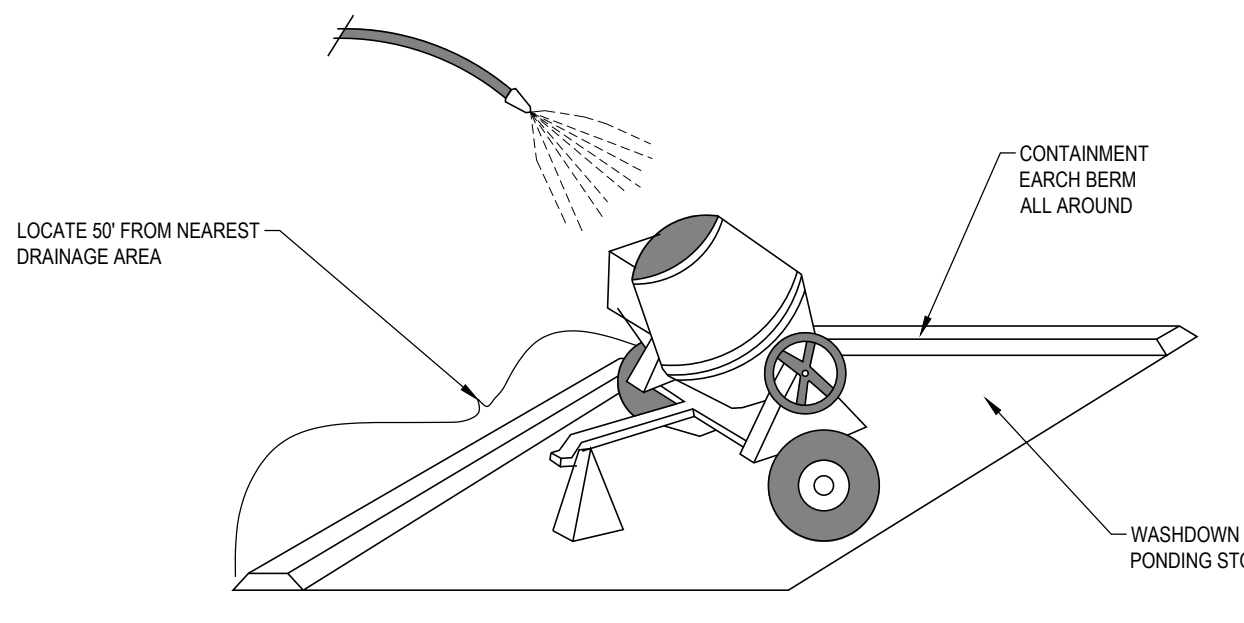
- PLACE POSTS 6 FEET APART ON CENTER ALONG CONTOUR (OR USE PRE-ASSEMBLED UNIT) AND DRIVE 2 FEET MINIMUM INTO GROUND. EXCAVATE AN ANCHOR TRENCH IMMEDIATELY UPGRADIENT OF POSTS.
- SECURE WIRE MESH (1/4 GAGE MIN. WITH 6 INCH OPENINGS) TO UPSLOPE SIDE OF POSTS. ATTACH WITH HEAVY DUTY 1 INCH LONG WIRE STAPLES, TIE WIRES OR HOG RINGS.
- CUT FABRIC TO REQUIRED WIDTH, UNROLL ALONG LENGTH OF BARRIER AND DRAPE OVER BARRIER. SECURE FABRIC TO MESH WITH TWINE, STAPLES, OR SIMILAR, WITH TRAILING EDGE EXTENDING INTO ANCHOR TRENCH.
- BACKFILL OVER FILTER FABRIC TO ANCHOR.

**LIMITATIONS:**

- RECOMMENDED MAXIMUM DRAINAGE AREA OF 0.5 ACRE PER 100 FEET OF FENCE.
- RECOMMENDED MAXIMUM UPGRADIENT SLOPE LENGTH OF 150 FEET.
- RECOMMENDED MAXIMUM UPHILL GRADE OF 2:1 (65%).
- RECOMMENDED MAXIMUM FLOW RATE OF 0.5 CFS.
- PONDING SHOULD NOT BE ALLOWED BEHIND FENCE.

**MAINTENANCE:**

- INSPECT IMMEDIATELY AFTER ANY RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
- LOOK FOR RUNOFF BYPASSING ENDS OF BARRIERS OR UNDERCUTTING BARRIERS.
- REPAIR OR REPLACE DAMAGED AREAS OF THE BARRIER AND REMOVE ACCUMULATED SEDIMENT.
- REANCHOR FENCE AS NECESSARY TO PREVENT SHORTCUTTING.
- REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES 1/2 THE HEIGHT OF THE FENCE.



- OBJECTIVES**
- HOUSEKEEPING PRACTICES
  - CONTAIN WASTE
  - MINIMIZE DISTURBED AREA
  - STABILIZE DISTURBED AREA
  - PROTECT SLOPES/CHANNELS
  - CONTROL SITE PERIMETER
  - CONTROL INTERNAL EROSION

- TARGETED POLLUTANTS**
- SEDIMENT
  - NUTRIENTS
  - TOXIC MATERIALS
  - OIL & GREASE
  - FLOATABLE MATERIALS
  - OTHER WASTE

- IMPLEMENTATION REQUIREMENTS**
- HIGH IMPACT
  - MEDIUM IMPACT
  - LOW OR UNKNOWN IMPACT

- IMPLEMENTATION REQUIREMENTS**
- CAPITAL COSTS
  - O & M COSTS
  - MAINTENANCE
  - TRAINING
  - HIGH ■ MEDIUM □ LOW

**5 CONCRETE WASTE MANAGEMENT**  
 SCALE: N.T.S.

**DESCRIPTION:**  
 PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORM WATER FROM CONCRETE WASTE BY CONDUCTING WASHOUT OFF-SITE, PERFORMING ON-SITE WASHOUT IN A DESIGNATED AREA, AND TRAINING EMPLOYEES AND SUBCONTRACTORS.

**APPLICATIONS:**

- THIS TECHNIQUE IS APPLICABLE TO ALL TYPES OF SITES.

**INSTALLATION/APPLICATION CRITERIA:**

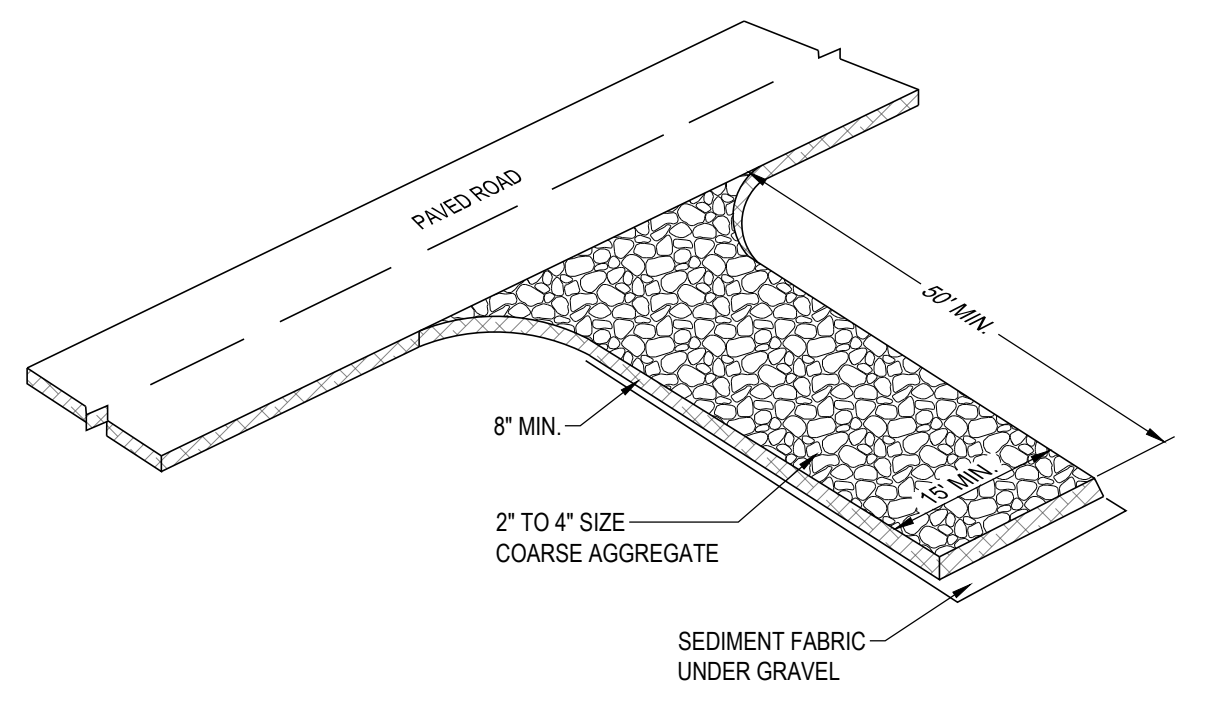
- STORE DRY AND WET MATERIALS UNDER COVER, AWAY FROM DRAINAGE AREAS.
- AVOID MIXING EXCESS AMOUNTS OF FRESH CONCRETE OR CEMENT ON-SITE.
- PERFORM WASHOUT OF CONCRETE TRUCKS OFF-SITE OR IN DESIGNATED AREAS ONLY.
- DO NOT WASH OUT CONCRETE TRUCKS INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS.
- DO NOT ALLOW EXCESS CONCRETE TO BE DUMPED ON-SITE, EXCEPT IN DESIGNATED AREAS.
- WHEN WASHING CONCRETE TO REMOVE FINE PARTICLES AND EXPOSE THE AGGREGATE, AVOID CREATING RUNOFF BY DRAINING THE WATER WITHIN A BERMED OR LEVEL AREA (SEE EARTH BERM BARRIER INFORMATION SHEET.)
- TRAIN EMPLOYEES AND SUBCONTRACTORS IN PROPER CONCRETE WASTE MANAGEMENT.

**LIMITATIONS:**

- OFF-SITE WASHOUT OF CONCRETE WASTES MAY NOT ALWAYS BE POSSIBLE.

**MAINTENANCE:**

- INSPECT SUBCONTRACTORS TENSURE THAT CONCRETE WASTES ARE BEING PROPERLY MANAGED.
- IF USING A TEMPORARY PIT, DISPOSE HARDENED CONCRETE ON A REGULAR BASIS.



- OBJECTIVES**
- HOUSEKEEPING PRACTICES
  - CONTAIN WASTE
  - MINIMIZE DISTURBED AREA
  - STABILIZE DISTURBED AREA
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- SEDIMENT
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  - OTHER WASTE

- IMPLEMENTATION REQUIREMENTS**
- HIGH IMPACT
  - MEDIUM IMPACT
  - LOW OR UNKNOWN IMPACT

- IMPLEMENTATION REQUIREMENTS**
- CAPITAL COSTS
  - O & M COSTS
  - MAINTENANCE
  - TRAINING
  - HIGH ■ MEDIUM □ LOW

**1 STABILIZED CONSTRUCTION ENTRANCE**  
 SCALE: N.T.S.

**DESCRIPTION:**  
 A STABILIZED PAD OF CRUSHED STONE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES THE SITE FROM OR TO PAVED SURFACE.

**APPLICATIONS:**  
 AT ANY POINT OF INGRESS OR EGRESS AT A CONSTRUCTION SITE WHERE ADJACENT TRAVELED WAY IS PAVED. GENERALLY APPLIES TO SITES OVER 2 ACRES UNLESS SPECIAL CONDITIONS EXIST.

**INSTALLATION/APPLICATION CRITERIA:**

- CLEAR GRUB AREA AND GRADE TO PROVIDE MAXIMUM SLOPE OF 2%.
- COMPACT SUB GRADE AND PLACE FILTER FABRIC IF DESIRED (RECOMMENDED FOR ENTRANCES TO REMAIN FOR MORE THAN 3 MONTHS).
- PLACE COARSE AGGREGATE, 1 TO 2-1/2 INCHES IN SIZE, TO A MINIMUM DEPTH OF 8 INCHES.

**LIMITATIONS:**

- REQUIRES PERIODIC TOP DRESSING WITH ADDITIONAL STONES.
- SHOULD BE USED IN CONJUNCTION WITH STREET SWEEPING ON ADJACENT PUBLIC RIGHT-OF-WAY.

**MAINTENANCE:**

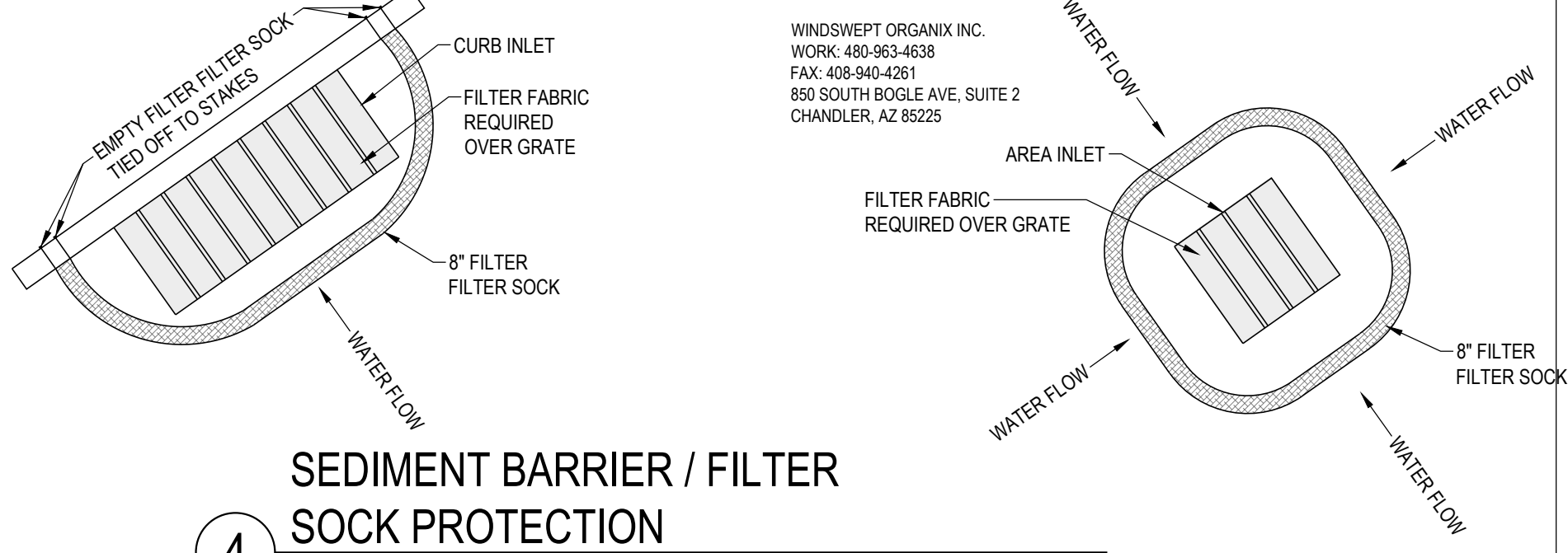
- INSPECT DAILY FOR LOSS OF GRAVEL OR SEDIMENT BUILDUP.
- INSPECT ADJACENT ROADWAY FOR SEDIMENT DEPOSIT AND CLEAN BY SWEEPING OR SHOVELING.
- REPAIR ENTRANCE AND REPLACE GRAVEL AS REQUIRED TO MAINTAIN CONTROL IN GOOD WORKING CONDITION.
- EXPAND STABILIZED AREA AS REQUIRED TO ACCOMMODATE TRAFFIC AND PREVENT EROSION AT DRIVEWAYS.

**FILTERSOCK SPECIFICATION:**

**FILTREXX FILTERSOCK INSTALLATION AND MAINTENANCE**

- 1.0 DESCRIPTION:**  
 THIS WORK SHALL CONSIST OF FURNISHING, INSTALLING, MAINTAINING AND DISPERSING (IF NEEDED) A WATER PERMEABLE COMPOST FILTER SOCK (FILTREXX FILTERSOCK) TO CONTAIN SOIL EROSION AND SEDIMENT BY REMOVING SOIL PARTICLES FROM WATER MOVING OFF SITE INTO ADJACENT WATERWAYS OR STORM WATER DRAINAGE SYSTEMS. FILTERSOCKS WILL BE USED AS A FORM OF INLET PROTECTION FOR OPERATIONAL STORM DRAINAGE SYSTEMS.
- 2.0 COMPOST PRODUCTS USED TO FILL FILTREXX FILTERSOCKS**
1. COMPOST: COMPOST USED FOR FILTREXX FILTERSOCKS SHALL BE WEED FREE AND DERIVED FROM A WELL-DECOMPOSED SOURCE OF ORGANIC MATTER. THE COMPOST SHALL BE PRODUCED USING AN AEROBIC COMPOSTING PROCESS MEETING CFR 503 REGULATIONS, INCLUDING TIME AND TEMPERATURE DATA INDICATING EFFECTIVE WEED SEED, PATHOGEN AND INSECT LARVAE KILL. THE COMPOST SHALL BE FREE OF ANY RESIDUE, CONTAMINANTS OR OTHER MATERIALS TOXIC TO PLANT GROWTH. NON-COMPOSTED PRODUCTS WILL NOT BE ACCEPTED. TEST METHODS FOR THE ITEMS BELOW SHOULD FOLLOW USDC TMECC GUIDELINES FOR LABORATORY PROCEDURES.
    - A. PH - 5.0-8.0 IN ACCORDANCE WITH TMECC 04.11-A, "ELECTROMETRIC PH DETERMINATIONS FOR COMPOST"
    - B. PARTICLE SIZE - 90% PASSING A 1/2" SIEVE AND A MINIMUM OF 70% GREATER THAN THE 3/8" SIEVE. A TOTAL OF 98 % SHALL NOT EXCEED 3 INCHES IN LENGTH, IN ACCORDANCE WITH TMECC 02.02-B, "SAMPLE SIEVING FOR AGGREGATE SIZE CLASSIFICATION"
    - C. MOISTURE CONTENT OF LESS THAN 60% IN ACCORDANCE WITH STANDARDIZED TEST METHODS FOR MOISTURE DETERMINATION.
    - D. MATERIAL SHALL BE RELATIVELY FREE (<1% BY DRY WEIGHT) OF INERT OR FOREIGN MAN MADE MATERIALS.
    - E. A SAMPLE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO BEING USED AND MUST COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
  2. CONSTRUCTION AND INSTALLATION OF FILTREXX FILTERSOCKS:
    1. FILTREXX FILTERSOCKS WILL BE USED AS A FORM OF INLET PROTECTION ON CONSTRUCTION SITES WHICH REQUIRE PROTECTION AGAINST SEDIMENT LADEN WATER AFTER STORM DRAINS BECOME OPERATIONAL.
    2. FILTREXX FILTERSOCKS WILL BE PLACED AT LOCATIONS INDICATED ON PLANS AS DIRECTED BY THE ENGINEER. FILTERSOCKS SHOULD BE INSTALLED IN A PATTERN THAT ALLOWS COMPLETE PROTECTION OF THE INLET AREA.
    3. INSTALLATION OF FILTREXX FILTERSOCKS WILL ENSURE A MINIMAL OVERLAP OF AT LEAST ONE FOOT ON EITHER SIDE OF THE OPENING BEING PROTECTED. THE FILTERSOCKS WILL BE ANCHORED TO THE SOIL BEHIND THE CURB USING STAPLES, STAKES OR OTHER DEVICES CAPABLE OF HOLDING THE FILTERSOCK IN PLACE.
    4. STANDARD SIZES OF FILTERSOCKS FOR INLET PROTECTION WILL BE 8" DIAMETER PRODUCTS. IN SEVERE FLOW SITUATIONS, LARGER FILTERSOCKS MAY BE RECOMMENDED BY THE ENGINEER.
    5. FILTERSOCKS SHALL BE CONSTRUCTED OF A WOVEN MATERIAL, AND FILLED WITH A COMPOST PRODUCT THAT PASSES THE CRITERIA LISTED IN SECTION 2.
    6. IF THE FILTERSOCKS BECOME CLOGGED WITH DEBRIS AND SEDIMENT, THEY SHALL BE MAINTAINED SO AS TO ASSURE A PROPER DRAINAGE AND WATER FLOW INTO THE STORM DRAIN. IN SEVERE STORM EVENTS, OVERFLOW OF THE FILTERSOCK MAY BE ACCEPTABLE IN ORDER TO KEEP THE AREA FROM FLOODING.

WINDSWEEP ORGANIX INC.  
 WORK: 408-943-4838  
 FAX: 408-940-4261  
 850 SOUTH BOGLE AVE, SUITE 2  
 CHANDLER, AZ 85225



**4 SEDIMENT BARRIER / FILTER SOCK PROTECTION**  
 SCALE: N.T.S.

© REPLENISH





**HYRUM 1, 5 PARKING EXPANSION**  
 125 NORTH 400 WEST  
 HYRUM, UTAH

Project For:

**THE CHURCH OF  
 JESUS CHRIST  
 OF LATTER-DAY SAINTS**

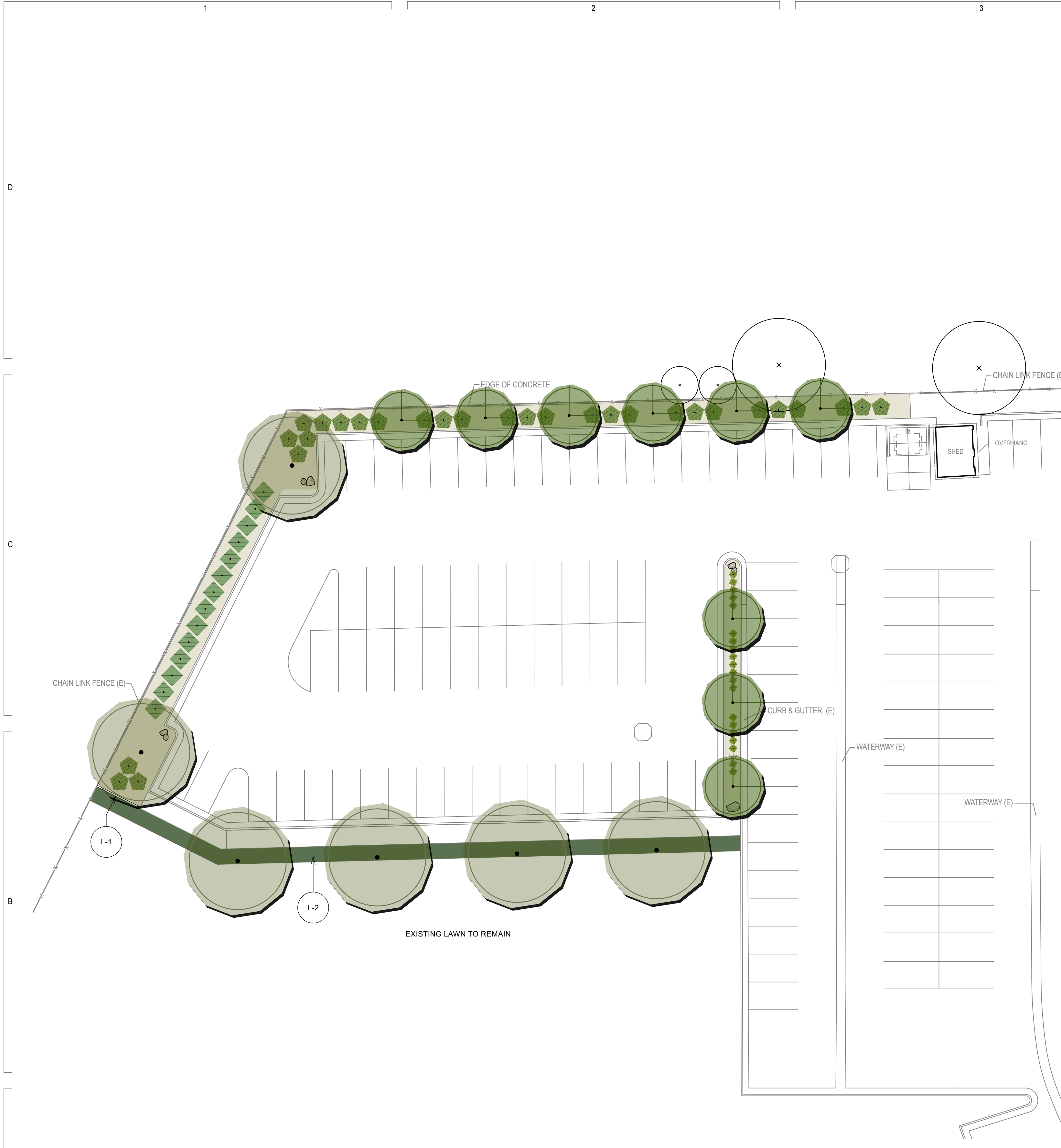
Property Number:  
 516-9224

**JOB NUMBER:** 24072  
**OWNER:** LDS CHURCH  
**DATE:** APRIL 2024

**REV DATE DESCRIPTION**

**LANDSCAPE  
 PLANTING PLAN**

**L111**



**LANDSCAPE SCHEDULE**

SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	DETAIL
<b>DECIDUOUS TREES</b>					
	9	AMERICAN HORNBEAM	CARPINUS CAROLINIANA	2" CAL.	D/L501
	6	ALLEE LACEBARK ELM	ULMUS PARVIFLORA 'ELMER II'	2" CAL.	D/L501
	4	EXISTING DECIDUOUS TREE TO REMAIN			
<b>EVERGREEN TREES</b>					
<b>SHRUBS</b>					
	14	HILLSIDE CREEPER SCOTCH PINE	PINUS SYLVESTRIS 'HILLSIDE CREEPER'	5 GAL.	B/L501
	29	PAWNEE BUTTES WESTERN SAND CHERRY	PRUNUS BESSEYI 'PAWNEE BUTTES'	5 GAL.	B/L501
<b>ORNAMENTAL GRASSES</b>					
	20	FOERSTER'S FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	5 GAL.	A/L501
<b>LAWN</b>					
	1,067 S.F.	"IMPERIAL BLUE" LAWN SOD	INSTALL OVER MINIMUM 5" TOPSOIL LAYER.	CHANSHARE FARMS (866) SOD-EASY OR APPROVED EQUAL	G/L501
<b>BOULDERS</b>					
	7	"BROWNS CANYON" BOULDERS	BURY 1/3 THE DEPTH OF THE BOULDER INTO FINISH GRADE. DO NOT USE BOULDERS THAT ARE LESS THAN 24" DIAMETER. BOULDER SHALL BE WASHED AND FREE OF DIRT AND OTHER FOREIGN DEBRIS	2'-4" DIAMETER IN ALL DIRECTIONS	B/L501
<b>CRUSHED ROCK</b>					
	3,629 S.F.	"BROWNS CANYON" CRUSHED ROCK	INSTALLED A MINIMUM 3" DEEP. INSTALL OVER DEWITTS 4.1 WEED BARRIER FABRIC. CRUSHED ROCK SHALL BE FREE OF DIRT & OTHER FOREIGN DEBRIS.	1" DIAMETER	F/L501
			ALWAYS PLANT ACCORDING TO CENTER POINT OF THE SYMBOL		

**REFERENCE NOTES**

- L-1. NEW CONCRETE MOWSTRIP  
 DETAIL H/L501
- L-2. PROVIDE A SMOOTH AND STRAIGHT GRADE FROM TOP OF NEW WALKWAY TO EXISTING LAWN. FEATHER GRADE AS NEEDED.



**HYRUM 1, 5 PARKING EXPANSION**  
 125 NORTH 400 WEST  
 HYRUM, UTAH

Project For:

**THE CHURCH OF  
 JESUS CHRIST  
 OF LATTER-DAY SAINTS**

Property Number:  
516-9224

**JOB NUMBER:** 24072  
**OWNER:** LDS CHURCH  
**DATE:** APRIL 2024

**REV DATE DESCRIPTION**

**LANDSCAPE  
 IRRIGATION PLAN**

**L121**

**IRRIGATION SCHEDULE**

SYMBOL	TYPE	MANUFACTURER	DETAIL	
o	NEW ROTOR HEAD TO MATCH EXISTING		AIL502	
<b>DRIP AREAS</b>				
[Symbol]	TREE DRIP RING AT NEW TREES SPACED @ 24" O.C.	NETAFIM	TLCV9-12 H/L502	
SYMBOL	TYPE	MANUFACTURER	DESCRIPTION	DETAIL
[Symbol]	DRIP CIRCUIT CONTROL VALVE	RAIN BIRD	XCZ-100-PRB-COM DRIP ZONE KIT WITH 100-PEB CONTROL VALVE AND BASKET FILTER WITH BUILT-IN PRV	E/L502
<b>OTHER EQUIPMENT</b>				
[Symbol]	EXISTING SMART CONTROLLER TO REMAIN			
[Symbol]	NEW FILTER ASSEMBLY AND ENCLOSURE			AIL503
SYMBOL	TYPE	MATERIAL	DETAIL	
[Symbol]	1" DRIP SUPPLY LINE, 1/2" FUNNY PIPE AND EMITTERS NOT SHOWN ON PLAN FOR GRAPHIC CLARITY.	SCHEDULE 40 PVC PIPE WITH SCHEDULE 40 PVC FITTINGS.	C/L502	
[Symbol]	2" MAIN LINE	SCHEDULE 40 PVC PIPE WITH SCHEDULE 80 PVC FITTINGS.	C/L502	
[Symbol]	1" LATERAL LINE	SCHEDULE 40 PVC PIPE WITH SCHEDULE 40 PVC FITTINGS.	C/L502	
[Symbol]	PIPE SLEEVE UNDER NEW PAVING	SCHEDULE 40 PVC	D/L502	

#	VALVE NUMBER
gpm	VALVE FLOW

**EMITTER SCHEDULE**

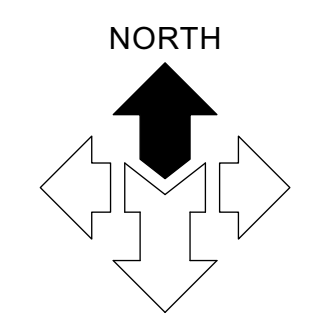
PLANT NAME	DRIP EMISSION DEVICE	MANUFACTURER	MODEL	DETAIL
ALLEE LACEBARK ELM	Tree Drip Ring (22 gph)	Netafim	TLCV9-12	H/L502
AMERICAN HORNBEE	Tree Drip Ring (22 gph)	Netafim	TLCV9-12	H/L502
FOERSTER'S FEATHER REED GRASS	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	I/L501
HILLSIDE CREEPER SCOTCH PINE	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	I/L501
PAWNEE BUTTES WESTERN SAND CHERRY	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	I/L501

**REFERENCE NOTES**

- I-1. REMOVE EXISTING FILTER ASSEMBLY AND FITTINGS AS NEEDED FOR PROPER INSTALLATION OF NEW AUTOMATIC FILTER ASSEMBLY, INCLUDING NEW DRAIN VALVE, QUICK COUPLER VALVE, AND ISOLATION VALVE - SEE DETAIL C/L503. CONNECT NEW 2" MAINLINE ONTO EXISTING 2" MAINLINE AS NEEDED.
- I-2. INSTALL NEW DRIP CONTROL VALVE ONTO THE NEW MAINLINE PRIOR TO CONNECTING BACK INTO THE EXISTING MAINLINE.
- I-3. EXISTING LATERAL LINE TO REMAIN - FIELD VERIFY LOCATION, SIZE, AND DEPTH.
- I-4. NEW ROTOR HEAD - TYPE TO MATCH EXISTING IN ORDER TO MATCH EXISTING PRECIPITATION RATE. CONNECT ONTO EXISTING LATERAL LINE AS NEEDED.
- I-5. CONTROL WIRES FOR NEW DRIP VALVE AND HYDROMETER HOUSED IN A 1" PVC CONDUIT TO BE CONNECTED TO EXISTING CONTROLLER LOCATED WITHIN PAVILLION. REPAIR DAMAGE TO EXISTING LANDSCAPE AND IRRIGATION AS NEEDED.

**GENERAL NOTE**

- I-1. REPROGRAM THE EXISTING SMART CONTROLLER AS NEEDED TO INCLUDE THE NEW DRIP IRRIGATION CONTROL VALVE AND HYDROMETER. ALL WORK REQUIRED FOR THE COMPLETE AND PROPER SETUP OF THE NEW HYDROMETER TO THE EXISTING SMART CONTROLLER SHALL BE A PART OF THIS CONTRACT.



**AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.**

**Call BEFORE YOU Dig**  
1-800-662-4111

**NOTICE!**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.





**HYRUM 1, 5 PARKING EXPANSION**  
 125 NORTH 400 WEST  
 HYRUM, UTAH

Project For:

**THE CHURCH OF  
 JESUS CHRIST  
 OF LATTER-DAY SAINTS**

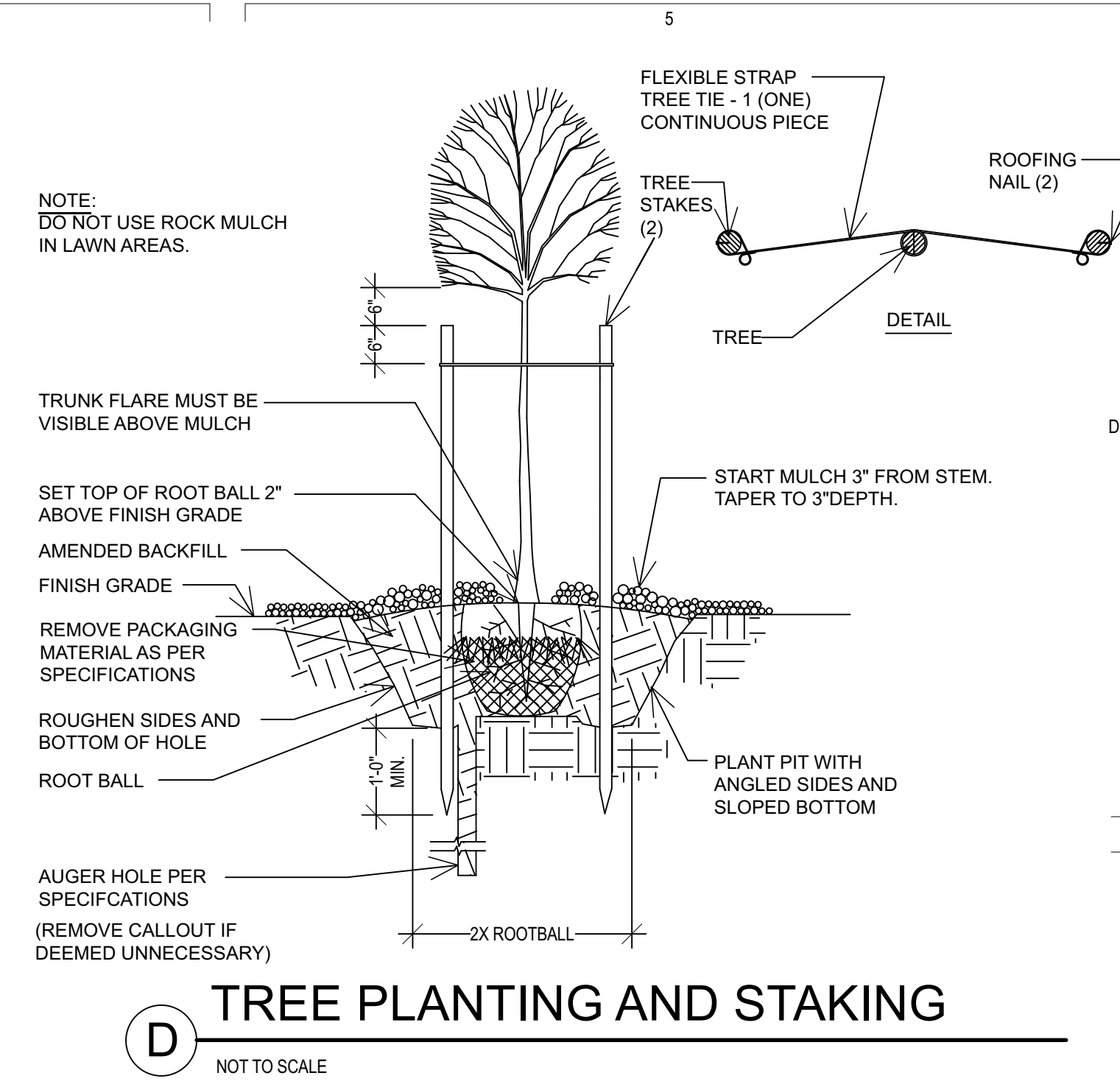
Property Number:  
 516-9224

JOB NUMBER: 24072  
 OWNER: LDS CHURCH  
 DATE: APRIL 2024

REV DATE DESCRIPTION

LANDSCAPE  
 DETAILS

**L501**

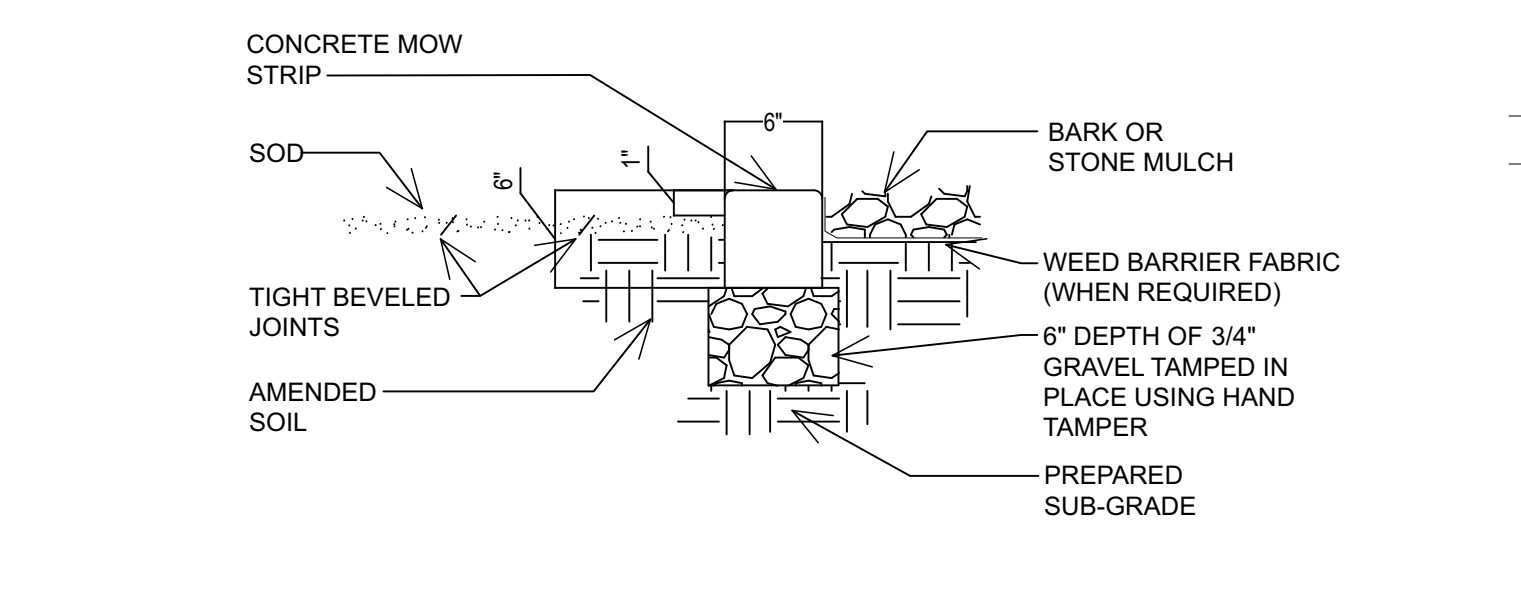


**D TREE PLANTING AND STAKING**

NOT TO SCALE

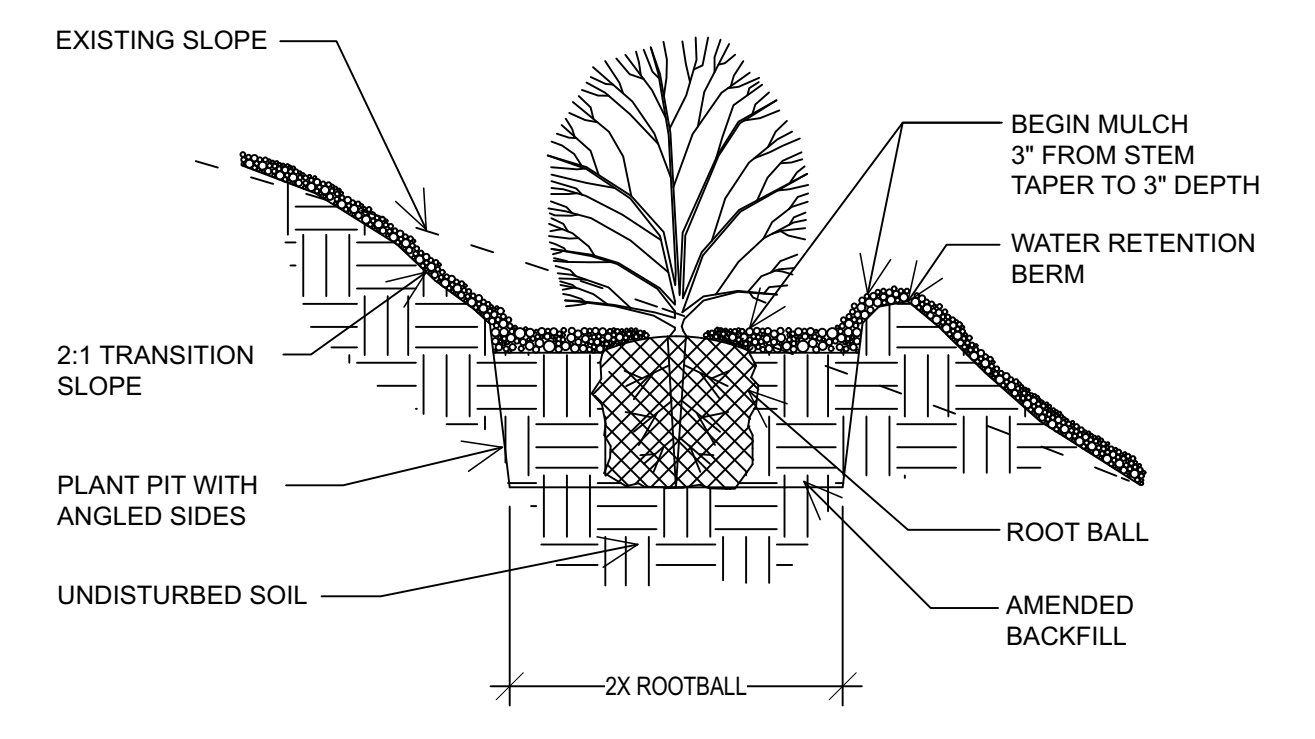
NOTES:

1. MOW STRIP TO BE 4,500 PSI CONCRETE WITH 6% AIR ± 1 1/2.
2. INSTALL EXPANSION AND CONTROL JOINTS AS PER SPECIFICATIONS.
3. PROVIDE POSITIVE DRAINAGE AROUND MOW STRIPS. DO NOT CREATE A DAM EFFECT WITH PLACEMENT OF MOW STRIP.
4. MAXIMUM 1/2" WIDTH VARIATION.
5. FOLLOW LAYOUT PLAN PRECISELY AS SHOWN ON MOW STRIP/EDGING DIMENSION PLAN.
6. RAISE THE LAWN GRADE 1" WHEN SEEDING.



**H CONCRETE MOW STRIP**

SCALE:

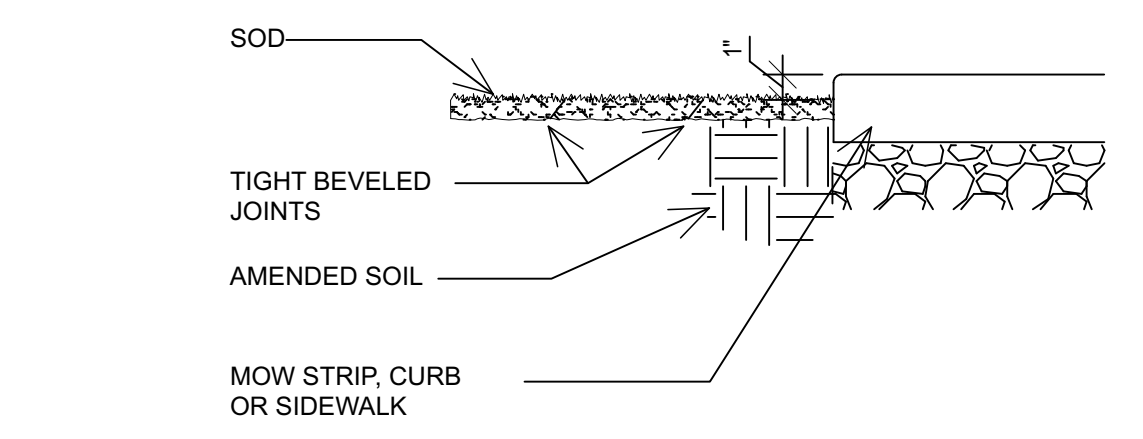


**C PLANTING ON SLOPE**

NOT TO SCALE

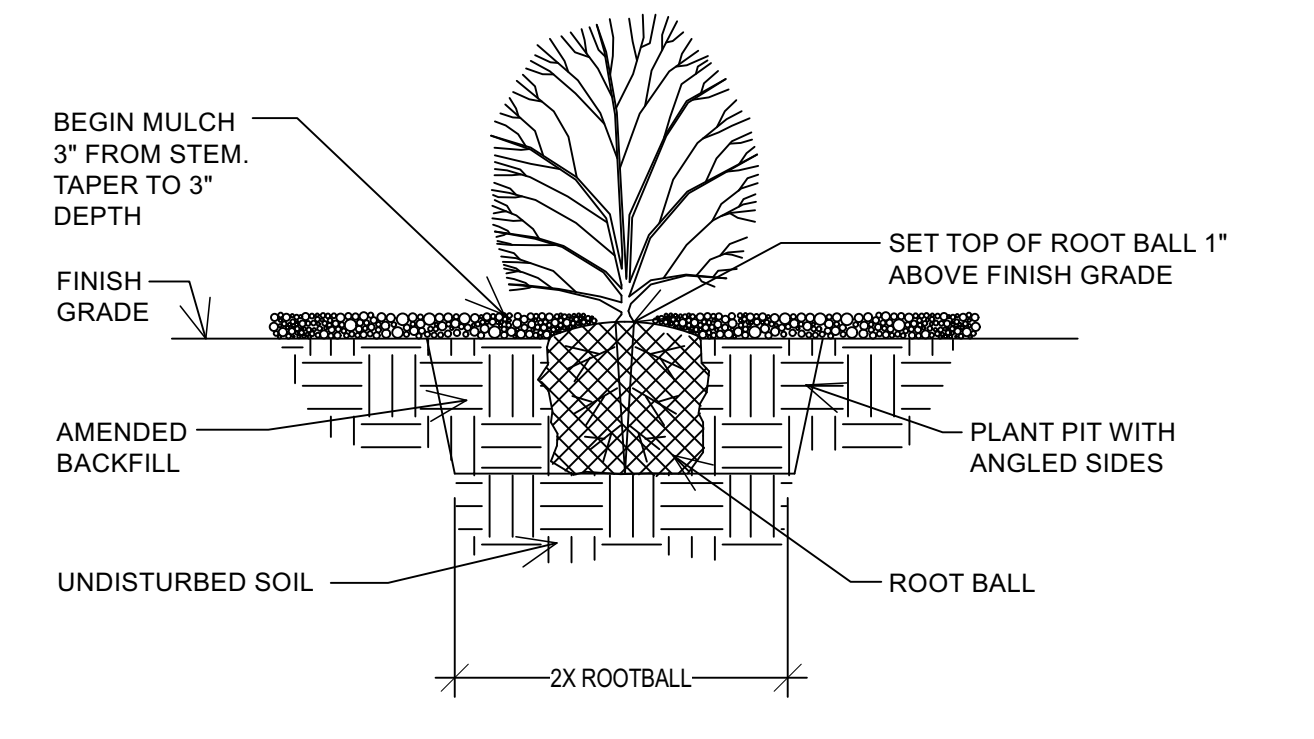
NOTES:

- A. LAYING OF SOD:
1. LAY SOD DURING GROWING SEASON AND WITHIN 48 HOURS OF BEING LIFTED.
  2. LAY SOD WHILE TOP 6 INCHES OF SOIL IS DAMP, BUT NOT MUDDY. SODDING DURING FREEZING TEMPERATURES OR OVER FROZEN SOIL IS NOT ACCEPTABLE.
  3. LAY SOD IN ROWS PERPENDICULAR TO SLOPE WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH A SHARP KNIFE.
  4. LAY SOD FLUSH WITH ADJOINING EXISTING SODDED SURFACES.
  5. DO NOT SOD SLOPES STEEPER THAN 3:1. CONSULT WITH ARCHITECT FOR ALTERNATE TREATMENT.
- B. AFTER LAYING OF SOD IS COMPLETE:
1. ROLL HORIZONTAL SURFACE AREAS IN TWO DIRECTIONS PERPENDICULAR TO EACH OTHER.
  2. REPAIR AND RE-ROLL AREAS WITH DEPRESSIONS, LUMPS, OR OTHER IRREGULARITIES. HEAVY ROLLING TO CORRECT IRREGULARITIES IN GRADE WILL NOT BE PERMITTED.
  3. WATER SODDED AREAS IMMEDIATELY AFTER LAYING SOD TO OBTAIN MOISTURE PENETRATION THROUGH SOD INTO TOP 6 INCHES OF TOPSOIL.



**G SOD INSTALLATION**

NO SCALE

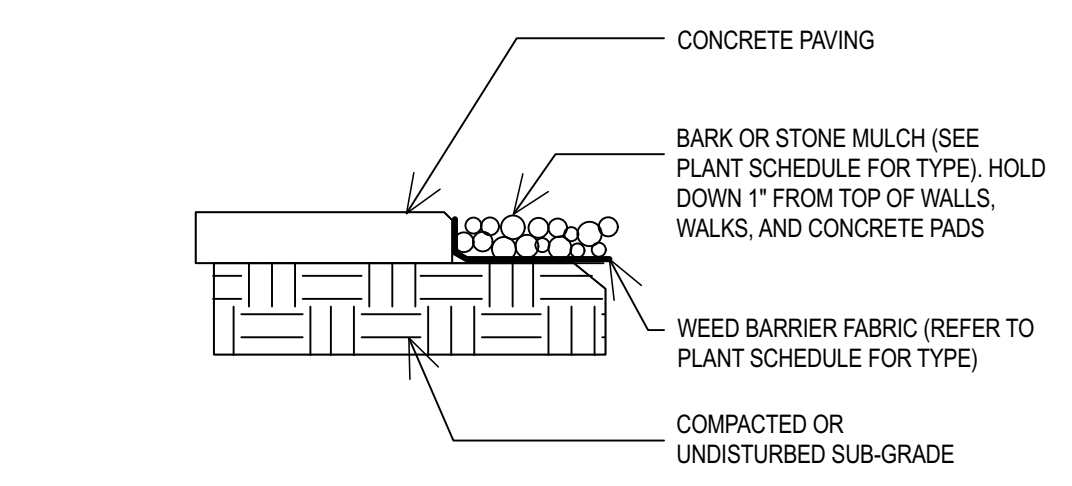


**B SHRUB PLANTING**

NOT TO SCALE

NOTES:

1. APPLY PRE-EMERGENT HERBICIDE TO SHRUB AND GROUND COVER PLANTING AREAS AND GRASS-FREE AREAS AT TREES IN LAWN PRIOR TO PLACEMENT OF WEED BARRIER FABRIC AND MULCH.
2. PRE-EMERGENT SHALL BE "SURFLAN AS" (LIQUID) BY UNITED PHOSPHORUS INC, TRENTON, NJ, OR APPROVED EQUAL.
3. INSTALL MULCH TO UNIFORM DEPTH AND RAKE TO NEAT FINISHED APPEARANCE FREE OF HUMPS AND DEPRESSIONS.

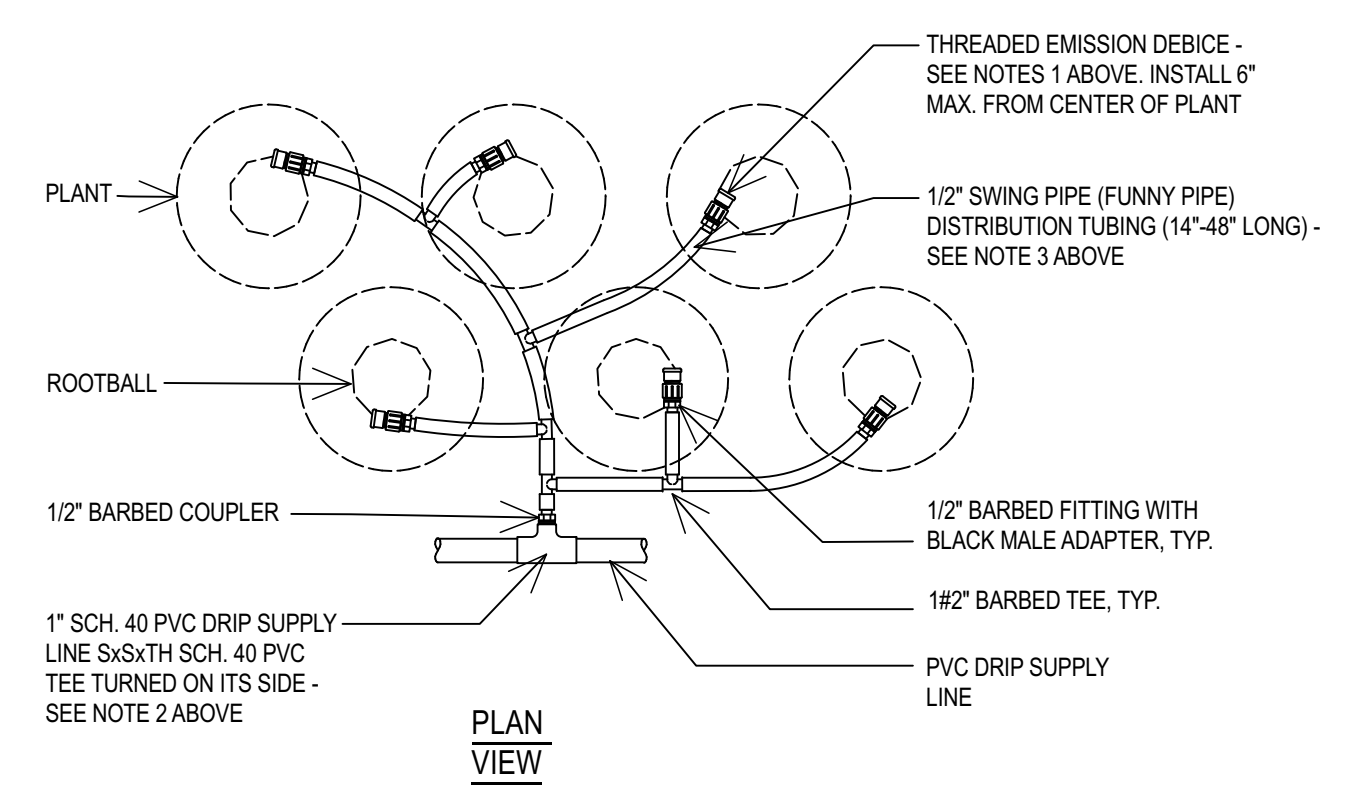


**F MULCH**

NO SCALE

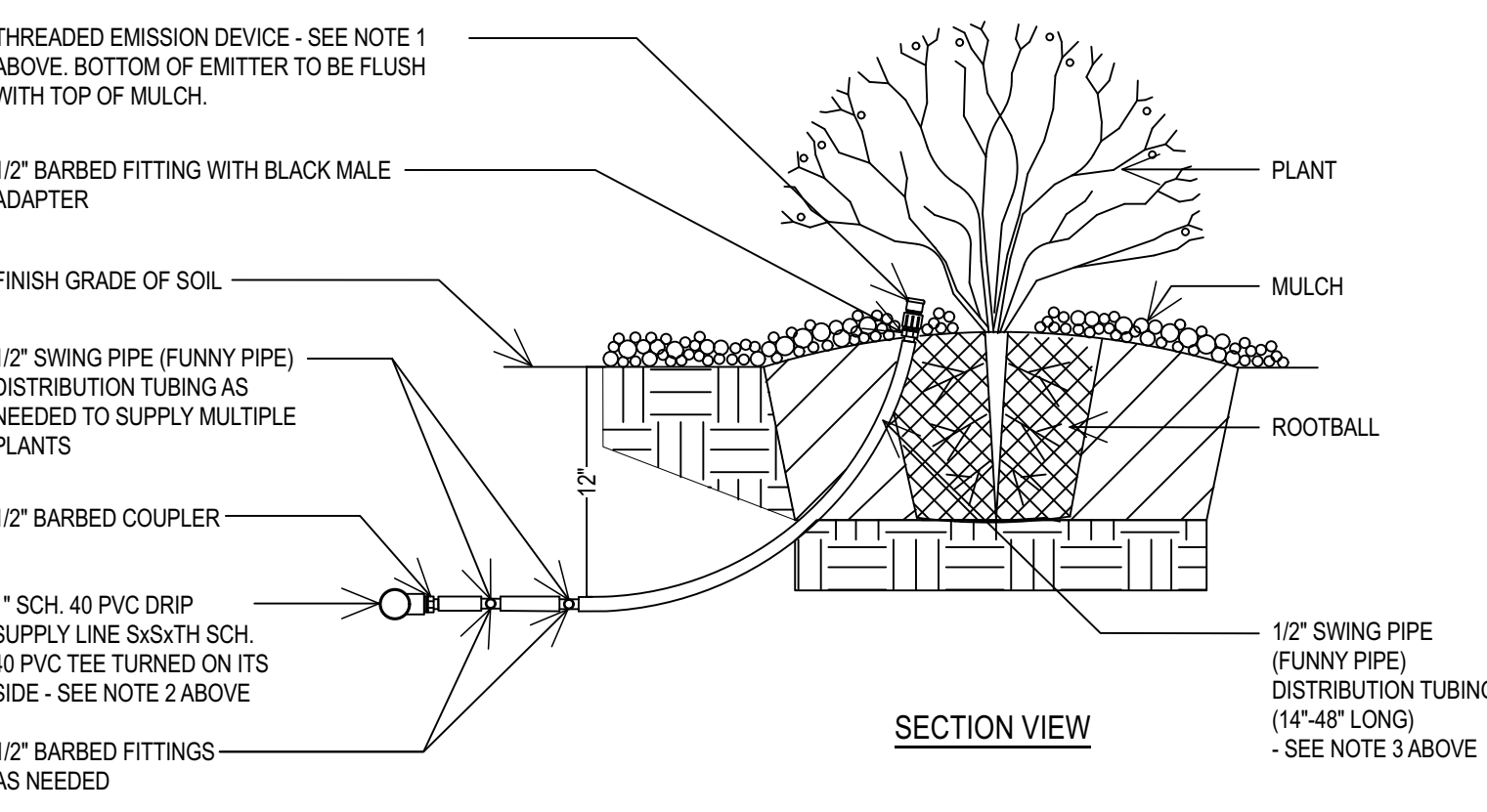
NOTES:

1. SEE EMISSION DEVICE SCHEDULE ON IRRIGATION PLAN FOR TYPE, QUANTITY AND SIZE OF EMISSION DEVICE PER PLANT.
2. INSTALL A MAX. OF (6) EMISSION DEVICES PER PVC CONNECTION.
3. DISTRIBUTION TUBING SHALL BE INSTALLED A MINIMUM OF 12" BELOW FINISHED GRADE AND ONLY BE BROUGHT TO THE SURFACE AT EACH PLANT.



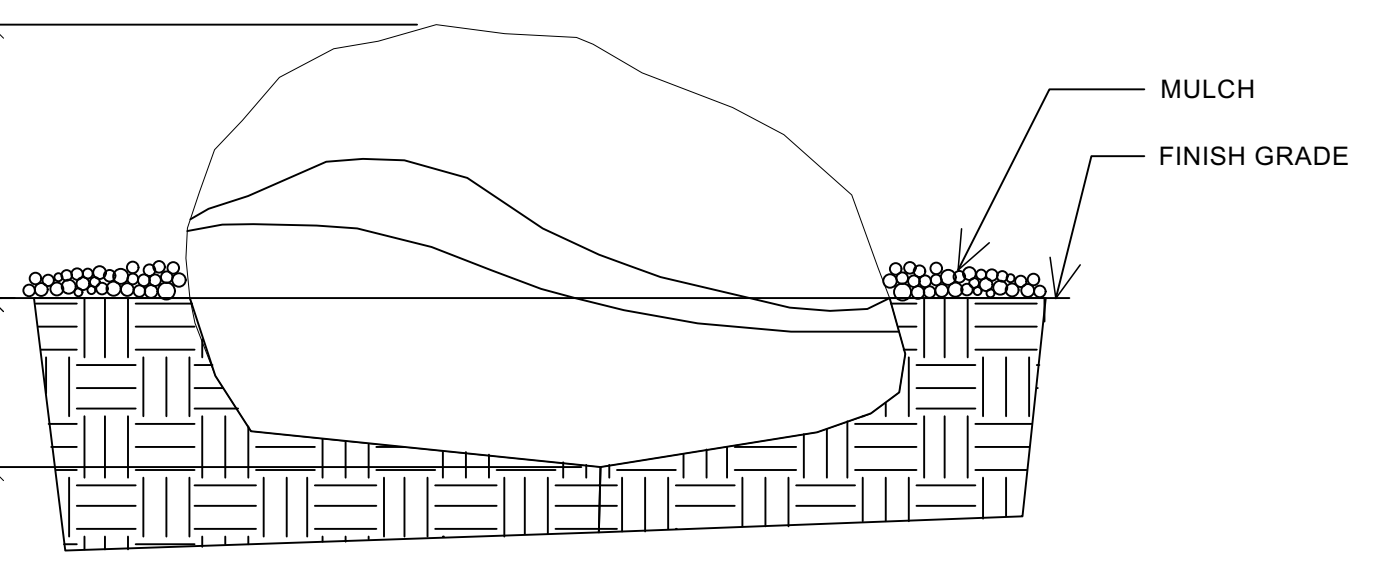
**I DRIP EMISSION DEVICE @ SHRUBS**

NO SCALE



**A ORNAMENTAL GRASSES PLANTING**

NOT TO SCALE



**E BOULDER PLACEMENT DETAIL**

NO SCALE





**HYRUM 1, 5 PARKING EXPANSION**  
125 NORTH 400 WEST  
HYRUM, UTAH

Project For:

**THE CHURCH OF  
JESUS CHRIST  
OF LATTER-DAY SAINTS**

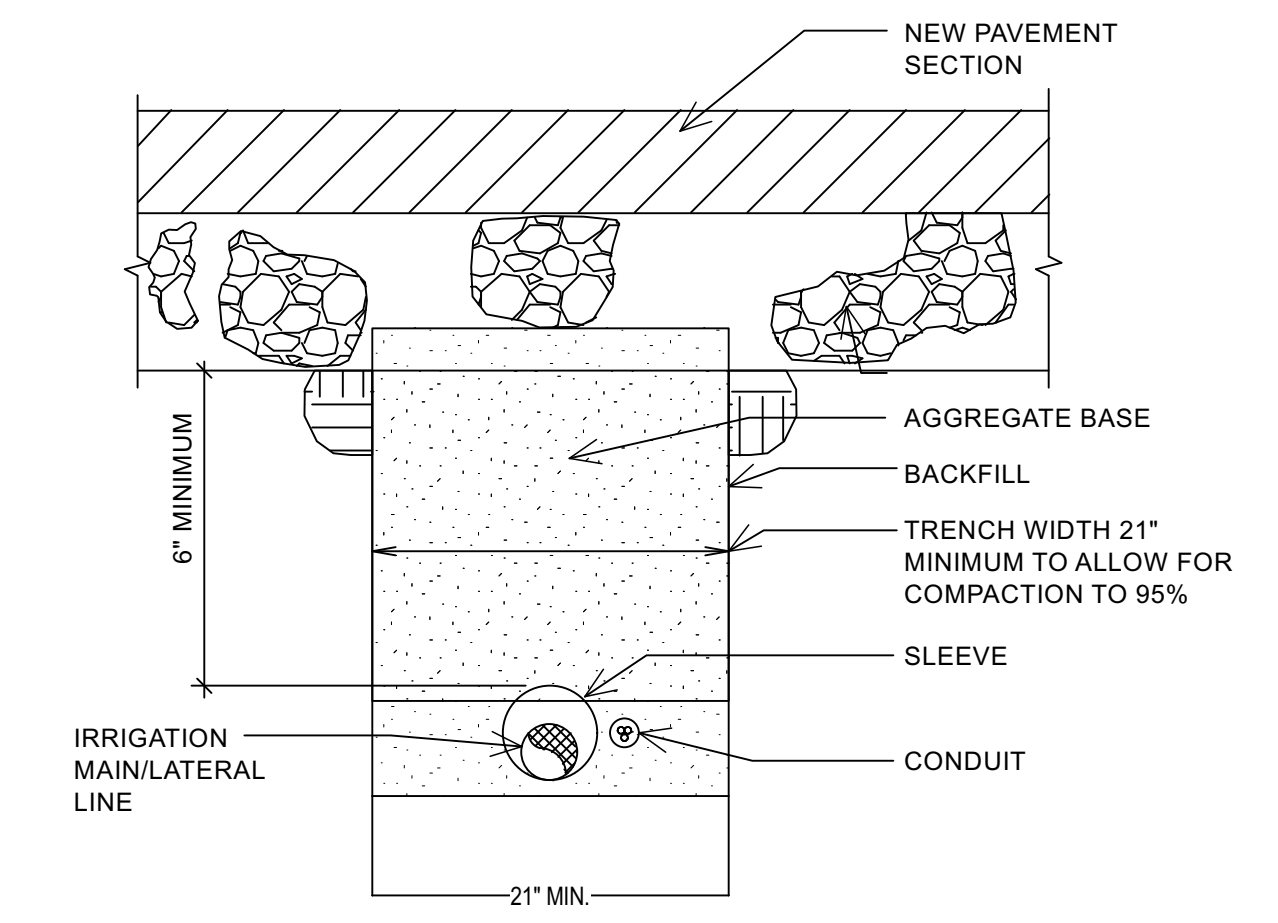
Property Number:  
516-9224

**JOB NUMBER:** 24072  
**OWNER:** LDS CHURCH  
**DATE:** APRIL 2024

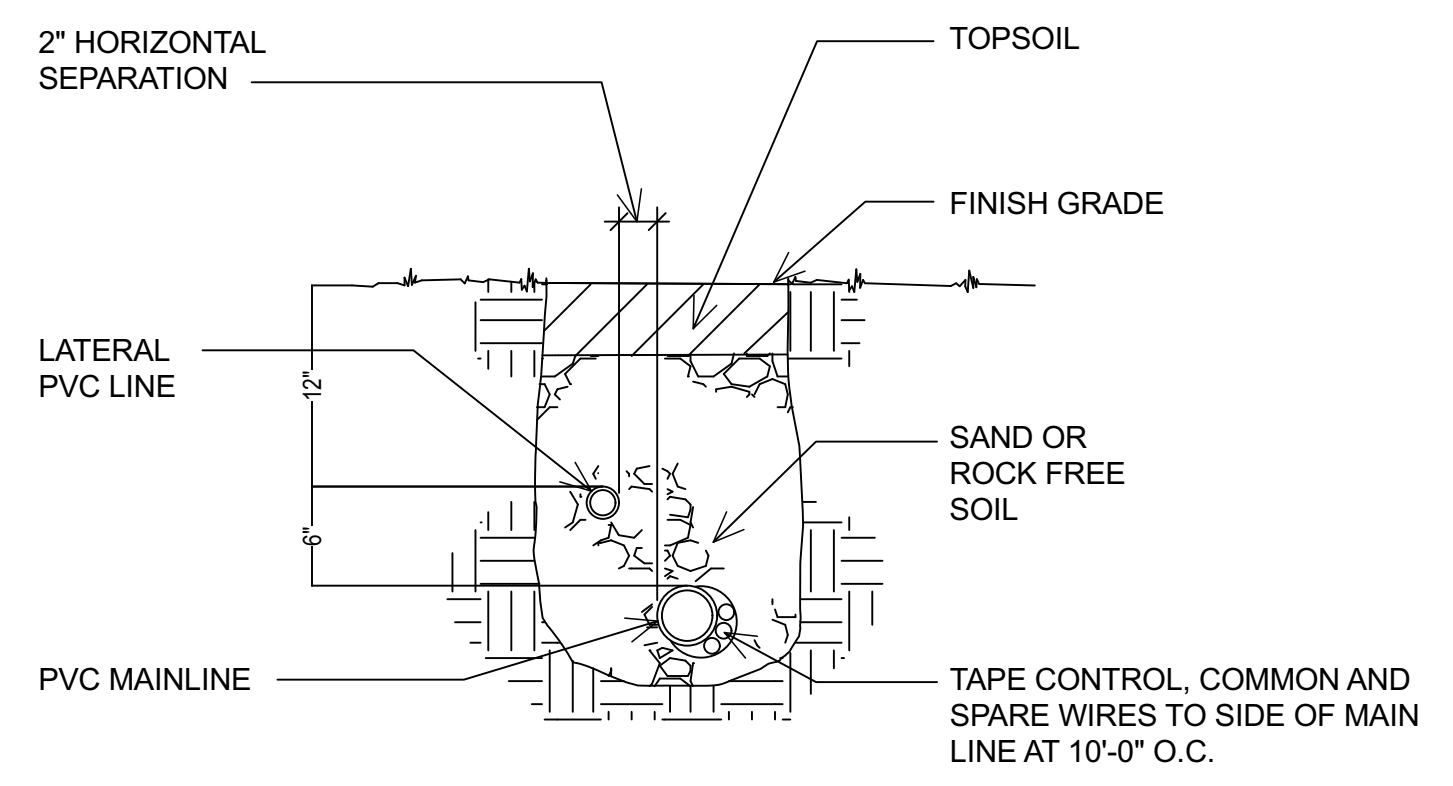
**REV DATE DESCRIPTION**

**LANDSCAPE  
IRRIGATION  
DETAILS**

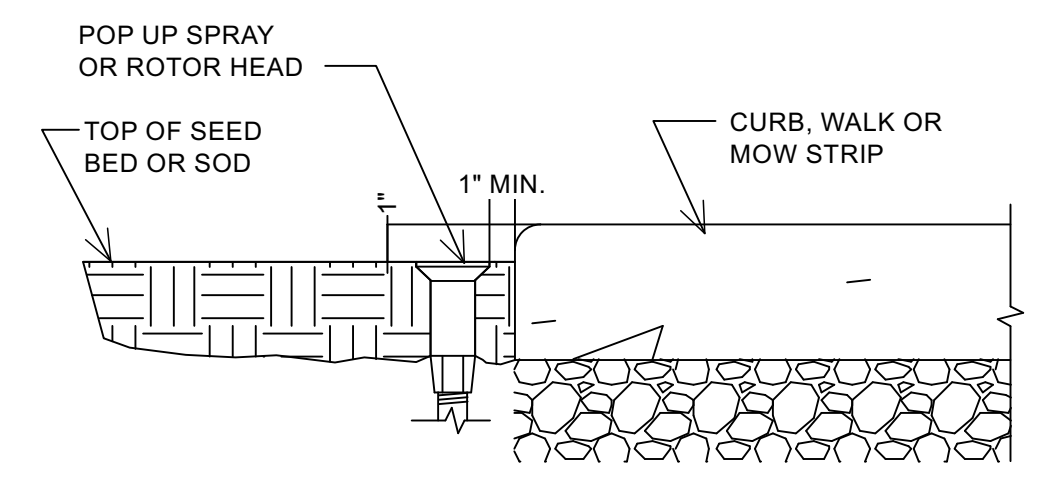
**L502**



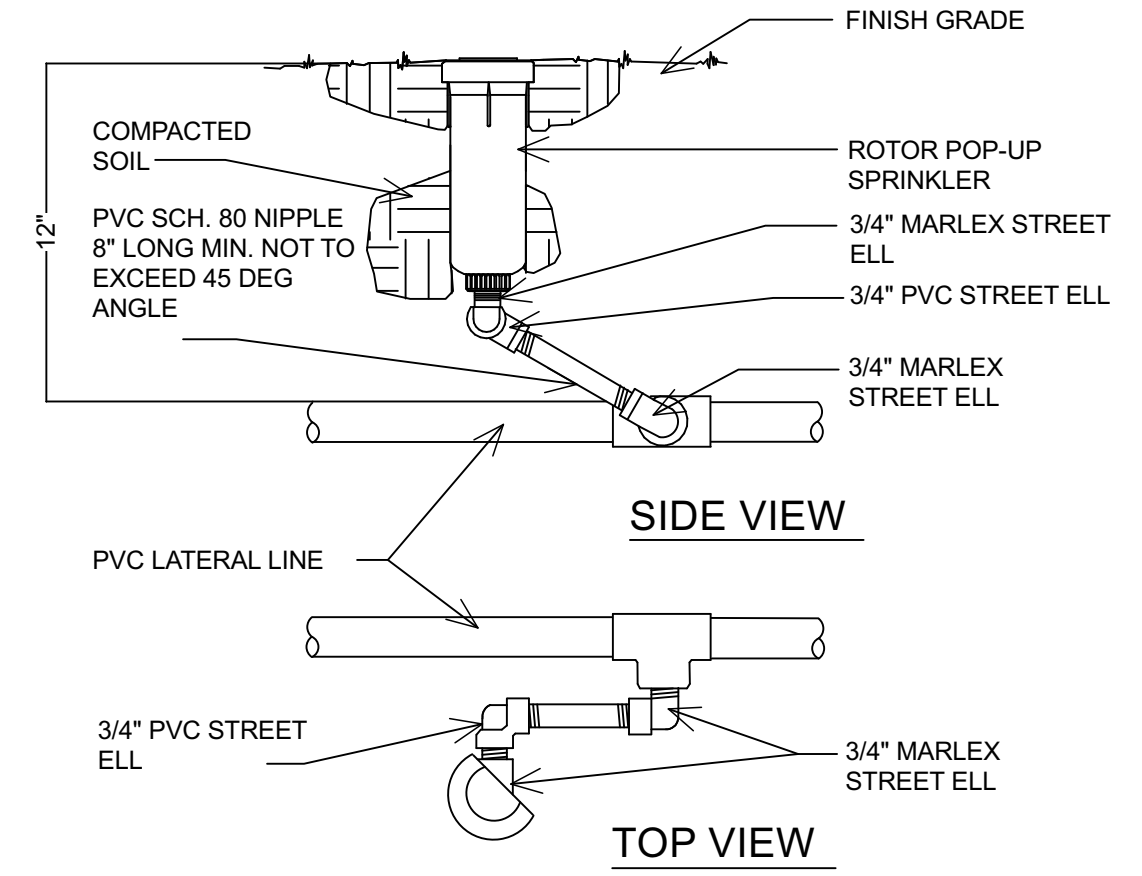
**D** MISC. PIPE TRENCH DETAIL  
NEW PAVEMENT AREAS  
NO SCALE



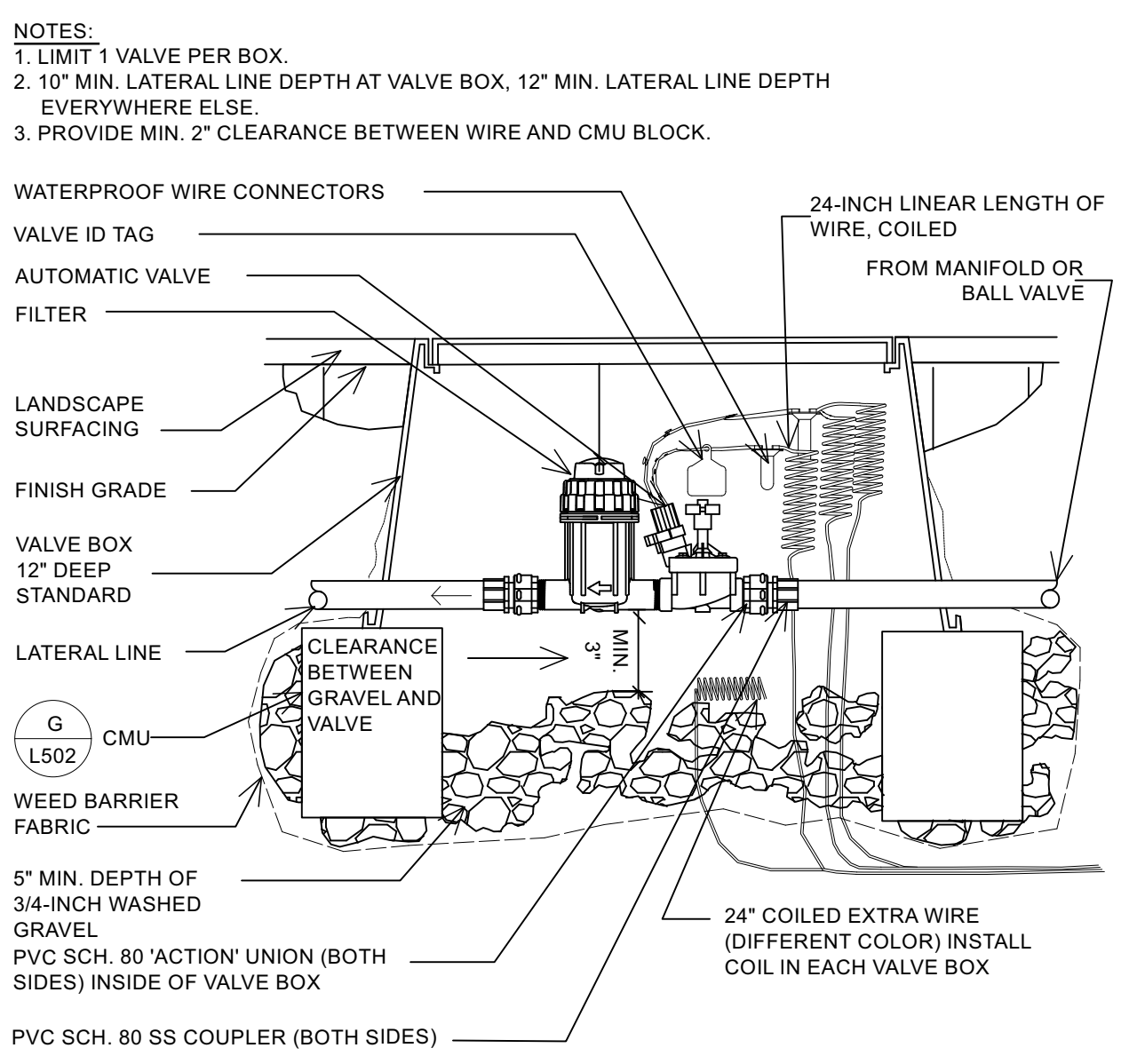
**C** TRENCH SECTION -  
CONVENTIONAL WIRE SYSTEM  
NO SCALE



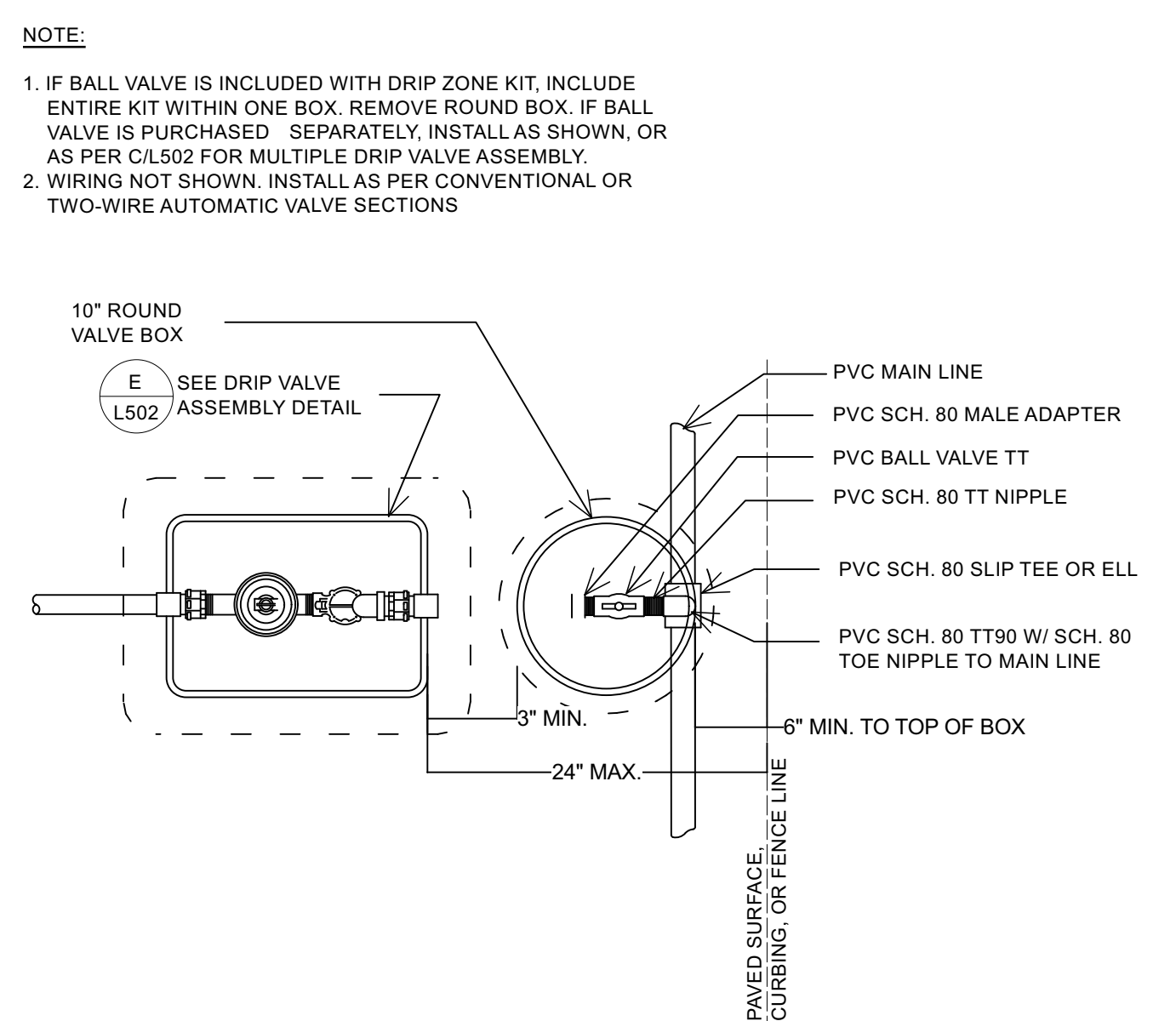
**B** SPRINKLER HEAD OR ROTOR  
NEXT TO CURB OR WALK  
NO SCALE



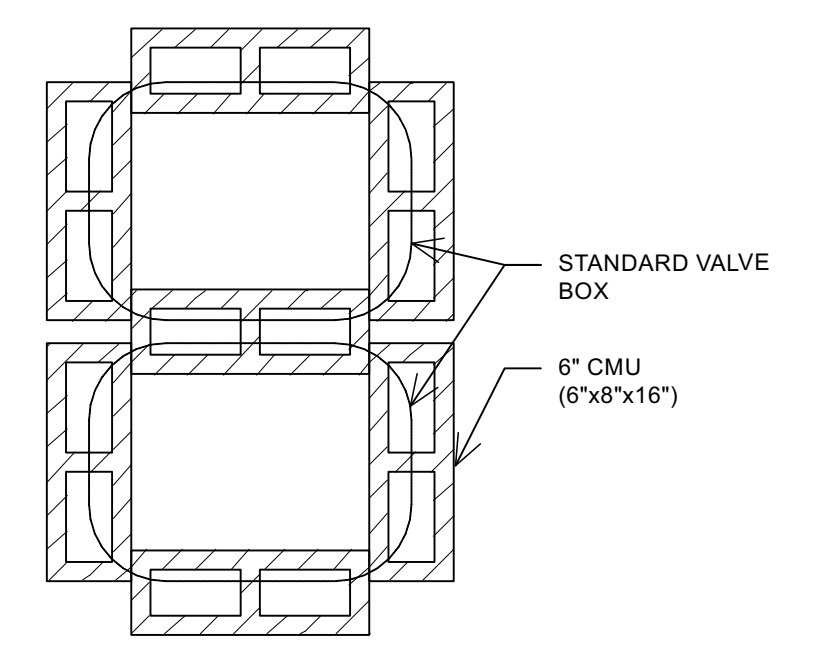
**A** ROTOR POP-UP HEAD  
NO SCALE



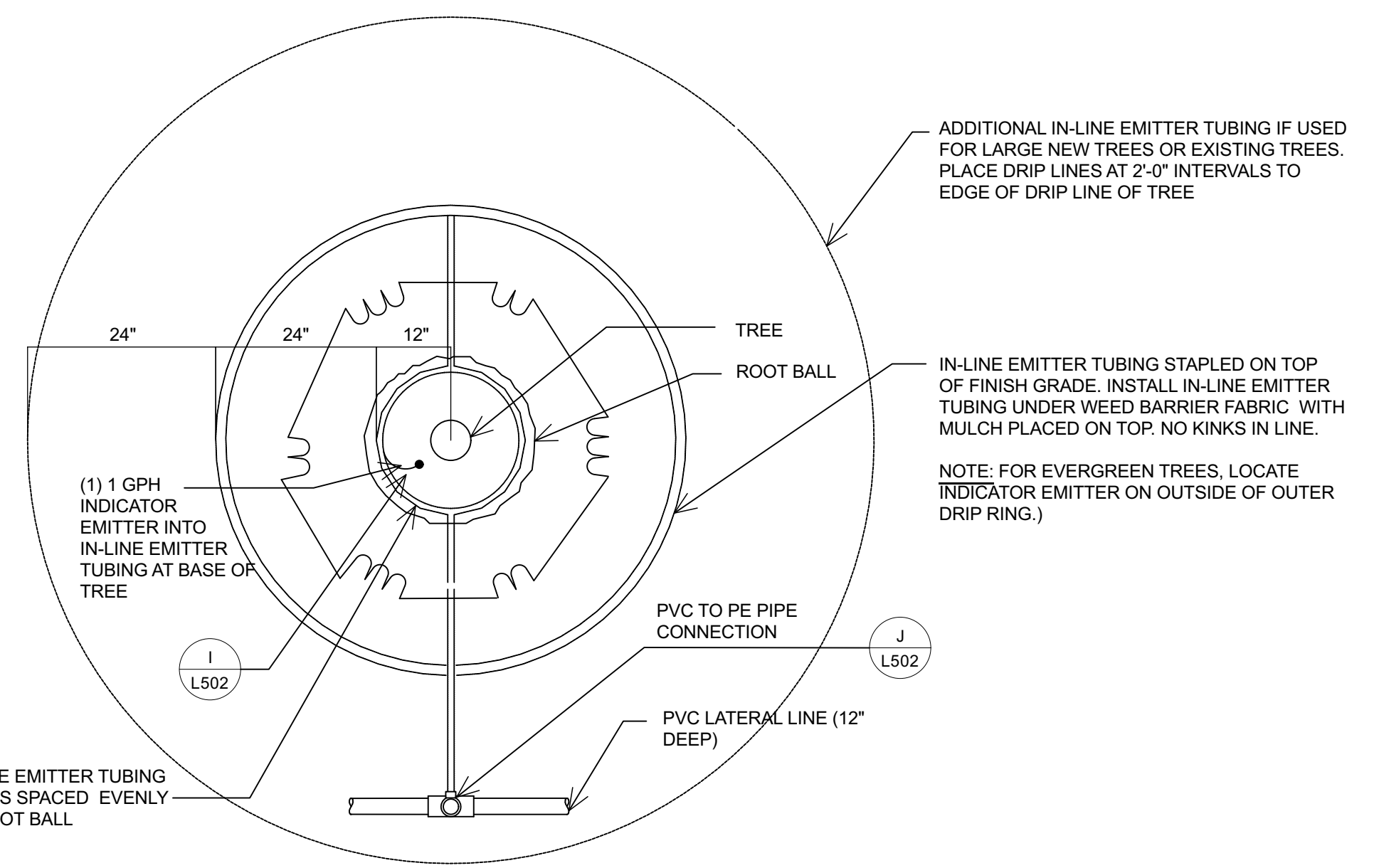
**E** DRIP VALVE ASSEMBLY-SECTION  
CONVENTIONAL WIRE SYSTEM  
NO SCALE



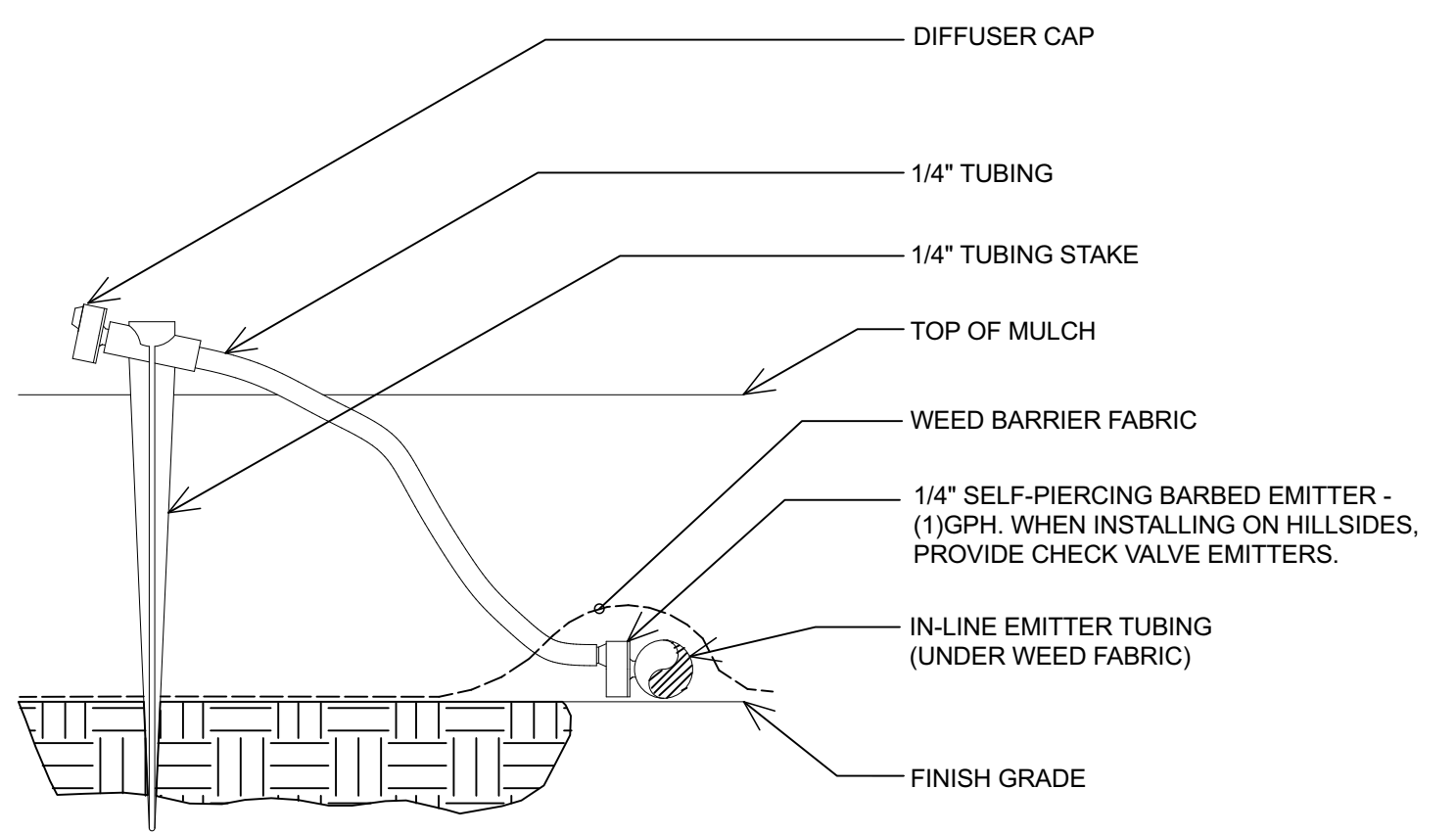
**F** DRIP VALVE ASSEMBLY  
NO SCALE



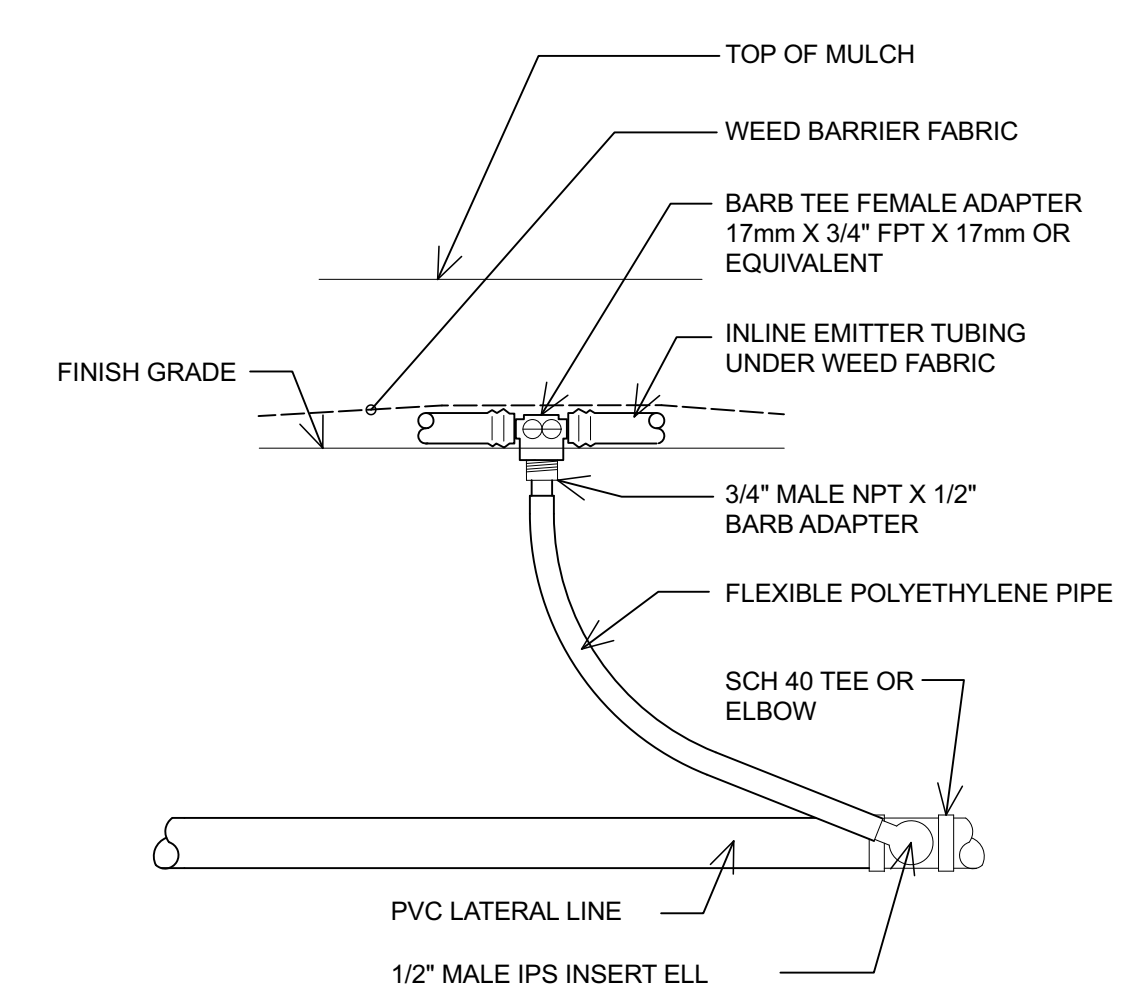
**G** CMU PLACEMENT  
NO SCALE



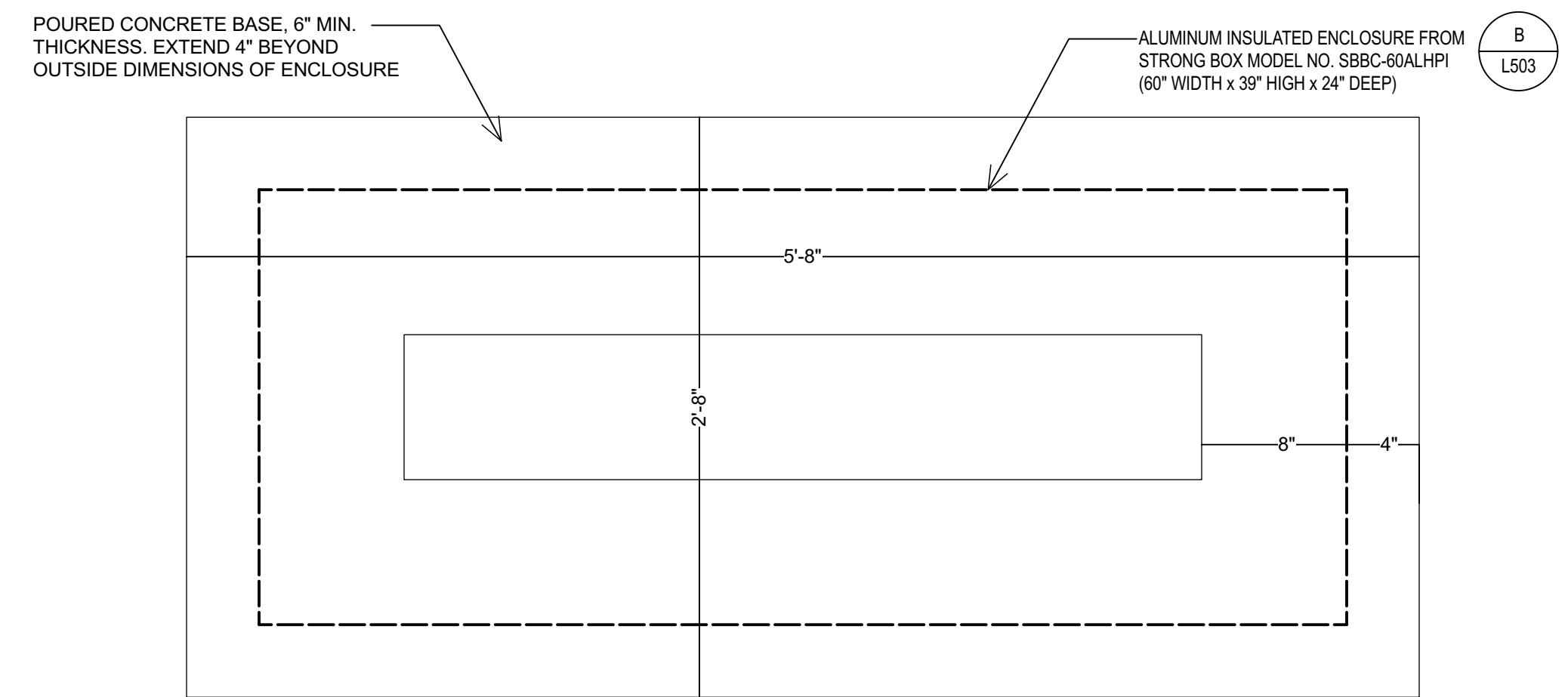
**H** TREE DRIFT - PLAN VIEW (Planter Areas)  
NO SCALE  
NOTE: FITTINGS TO INLINE DRIP TUBING TO BE INSERT FITTINGS. USE OETICKER CLAMPS FOR NON-NETAFIM FITTINGS.



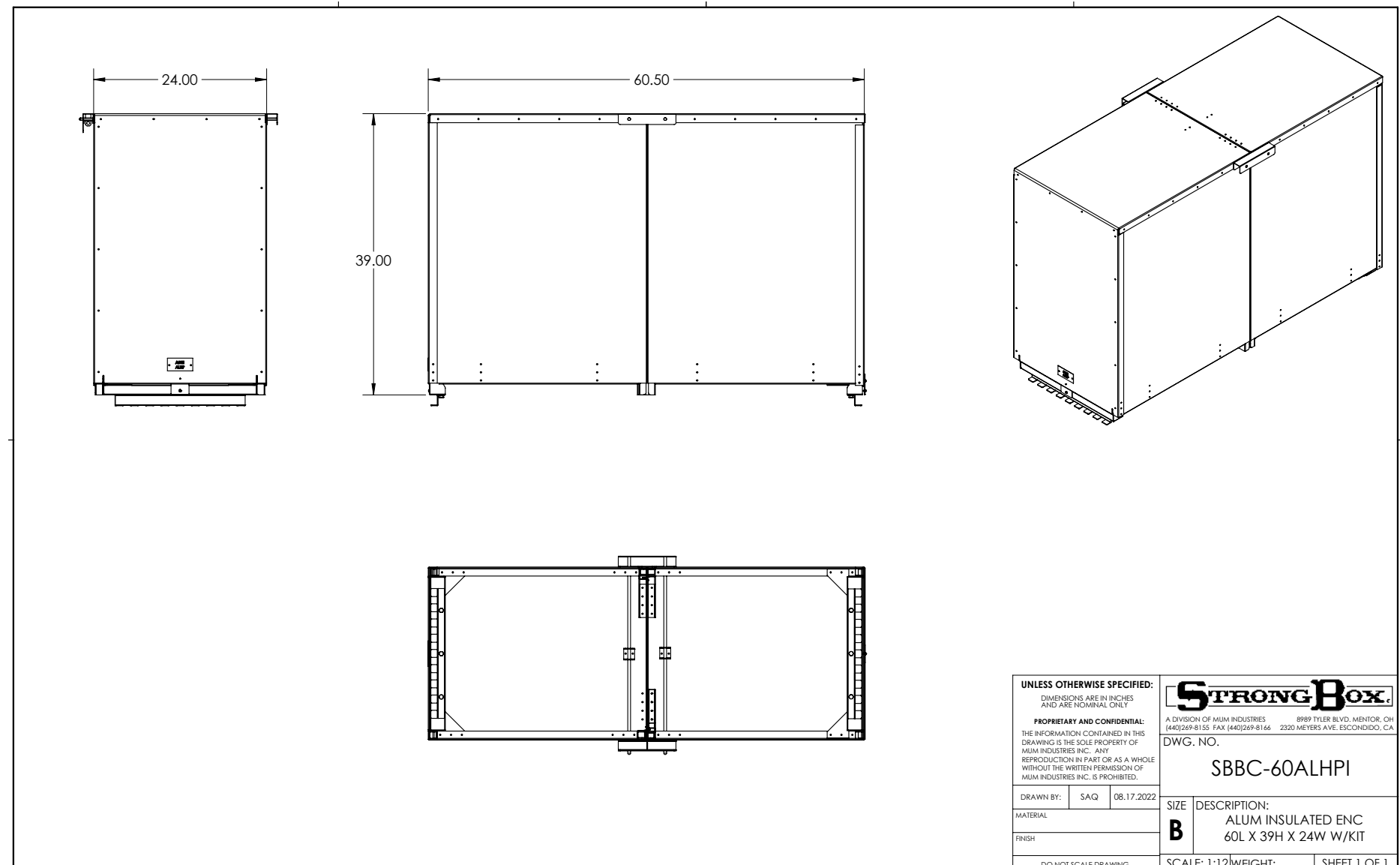
**I** INDICATOR EMITTER  
NO SCALE  
NOTE:  
1. CONNECT SELF-PIERCING EMITTER DIRECTLY INTO IN-LINE EMITTER TUBING.  
2. THIS IS AN INDICATOR ONLY EMITTER TO BE USED AT EACH TREE RING AND AREA WHERE IN-LINE EMITTER TUBING IS INSTALLED.  
3. 1/4" TUBING LENGTH: MINIMUM 14", MAXIMUM 24".



**J** PVC TO IN-LINE EMITTER  
NO SCALE  
NOTE:  
1. USE AT TREE RINGS AND AS CONNECTION FROM SUPPLY AND EXHAUST HEADERS  
2. DO NOT EXCEED (3) GPM FLOW THROUGH SINGLE CONNECTION.



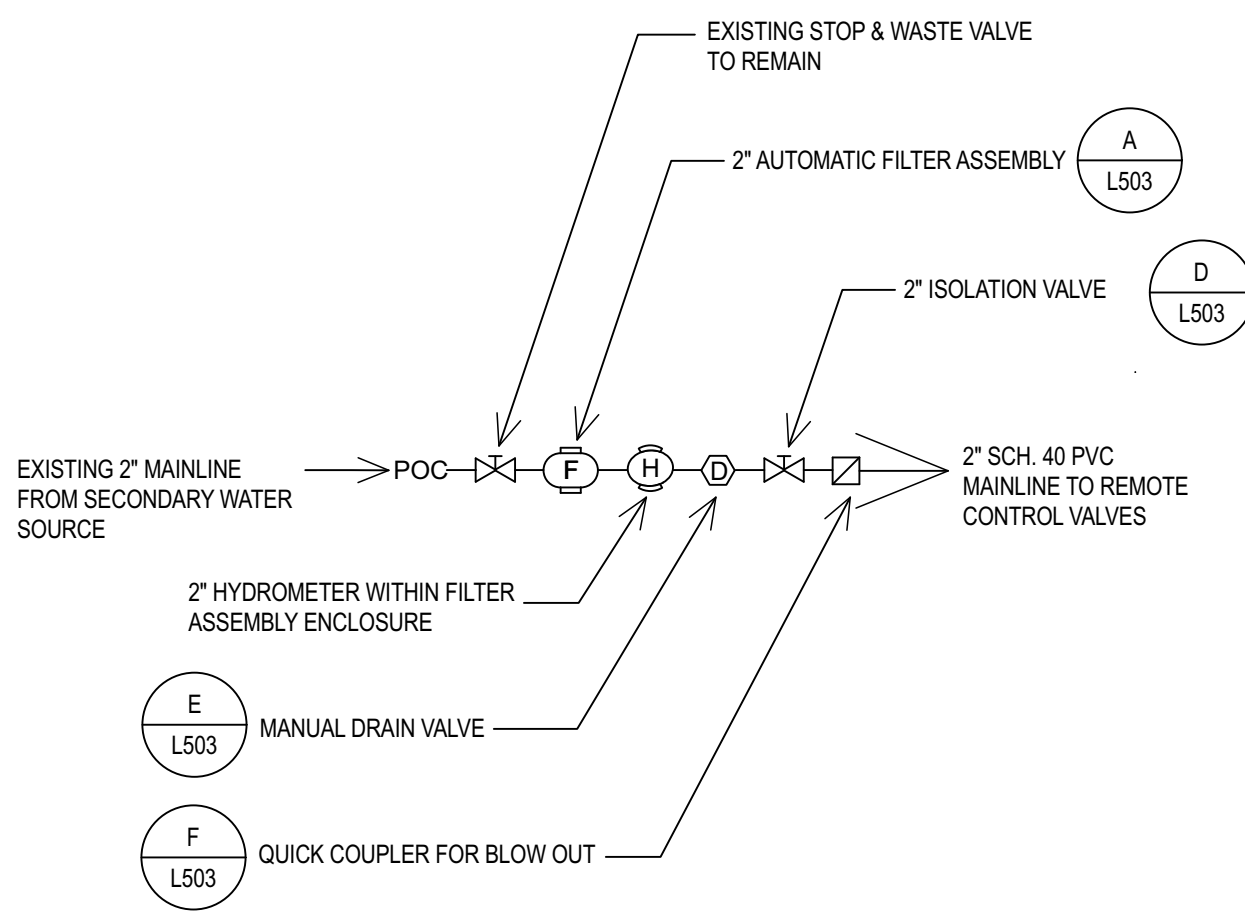
TOP VIEW



B FILTER ASSEMBLY ENCLOSURE

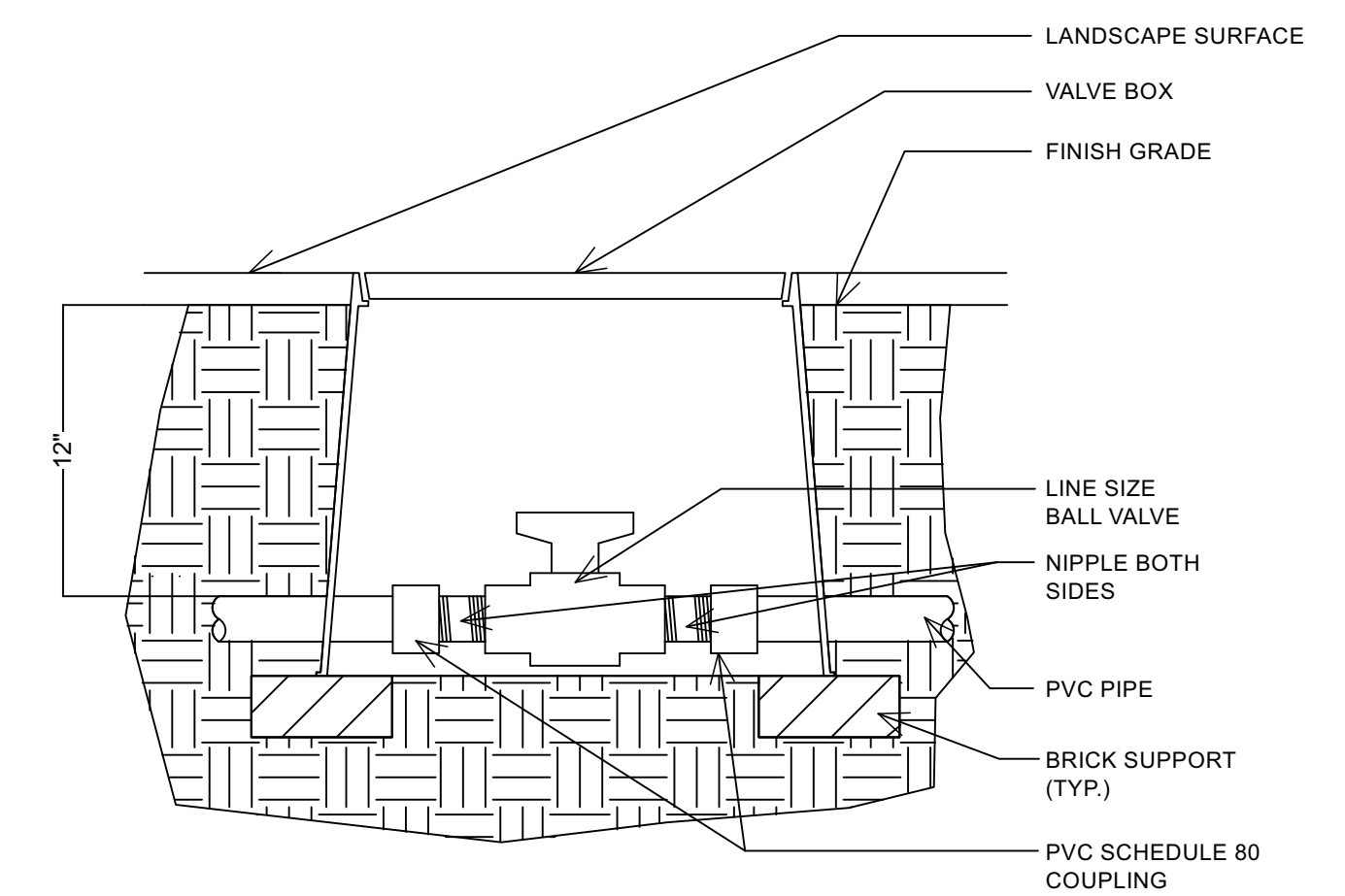
NO SCALE

NOTE:  
INSTALL ISOLATION VALVE AFTER THE HYDROMETER AND BEFORE THE QUICK COUPLER. THE FLOW SENSOR, MASTER VALVE, AND FILTER ASSEMBLY IS TO BE DRAINED MANUALLY.



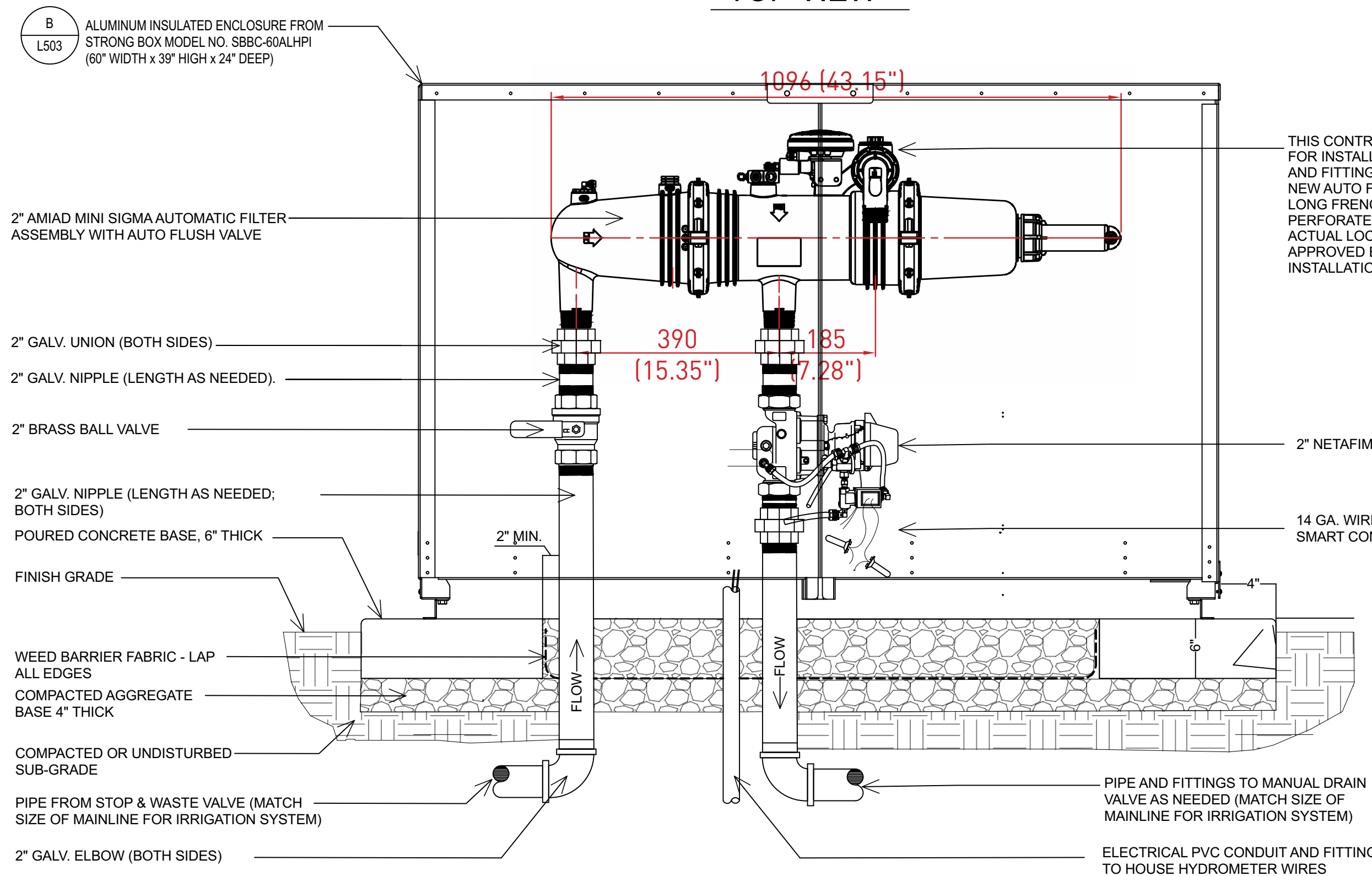
C POC SCHEMATIC LAYOUT

NO SCALE



D ISOLATION VALVE

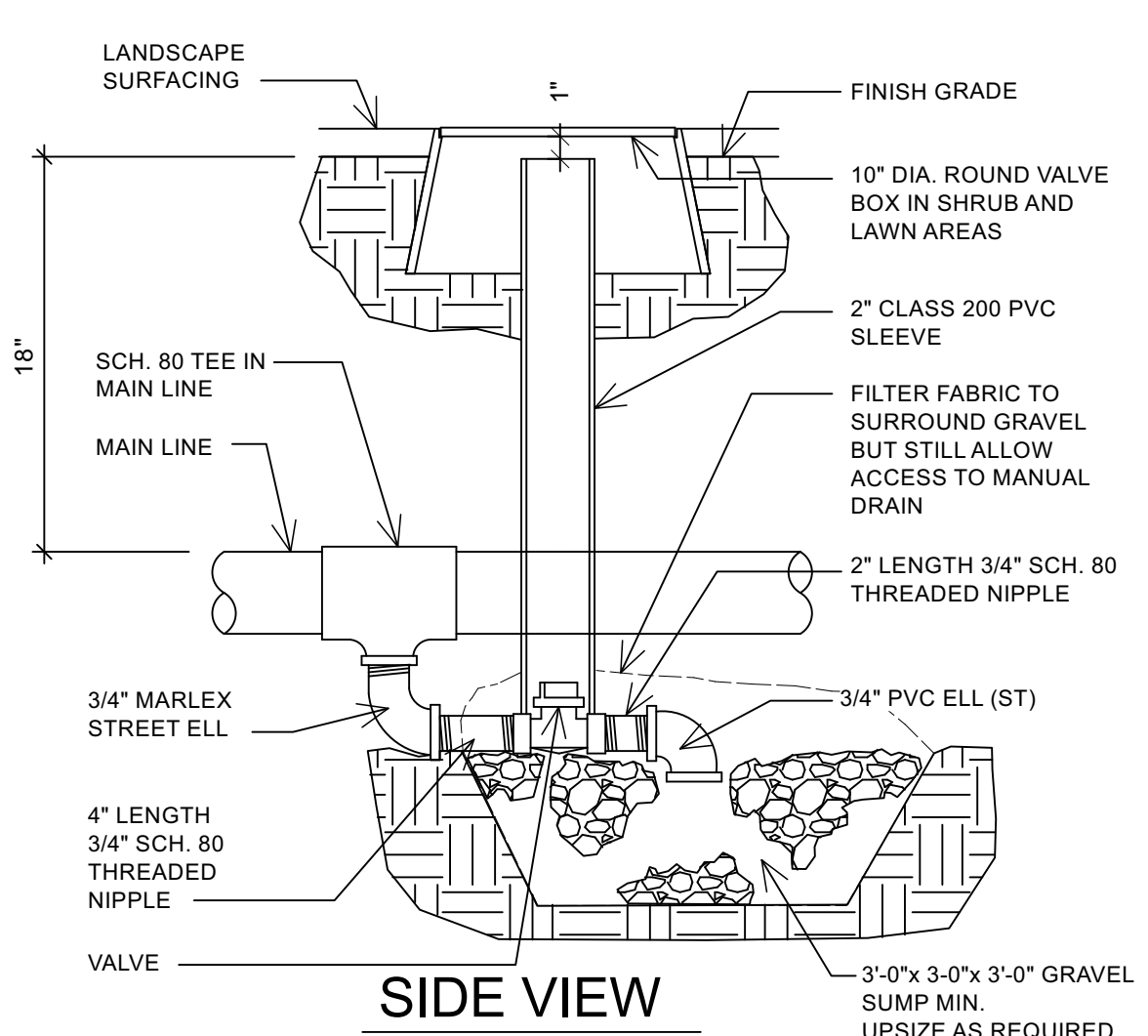
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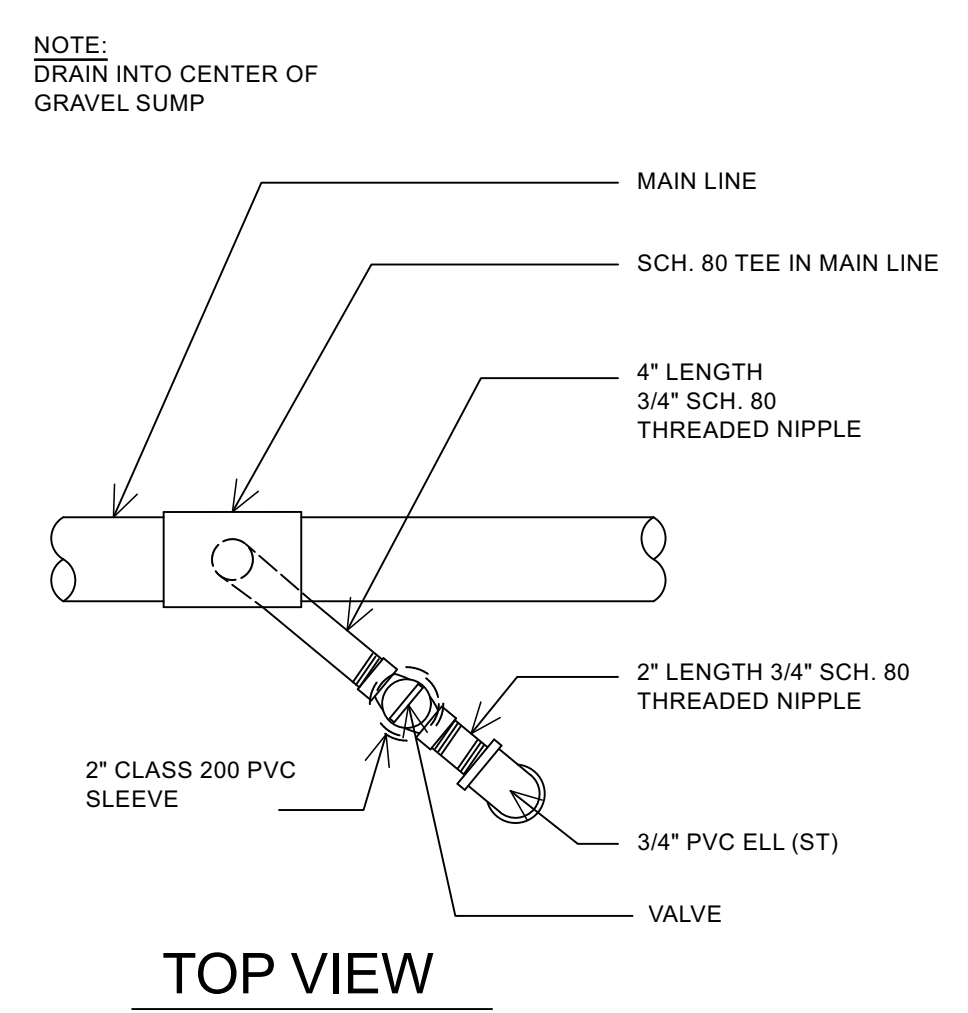
A AUTOMATIC FILTER ASSEMBLY WITH HYDROMETER

NO SCALE

THIS CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL NECESSARY PVC PIPE AND FITTINGS FROM THE FLUSH VALVE OF THE NEW AUTO FILTER TO A MIN. 20 LINEAL FEET LONG FRENCH DRAIN COMPLETE WITH 4" PERFORATED PIPE AND 3/4" GRAVEL SUMP. THE ACTUAL LOCATION OF THE SUMP TO BE APPROVED BY THE OWNER PRIOR TO INSTALLATION.

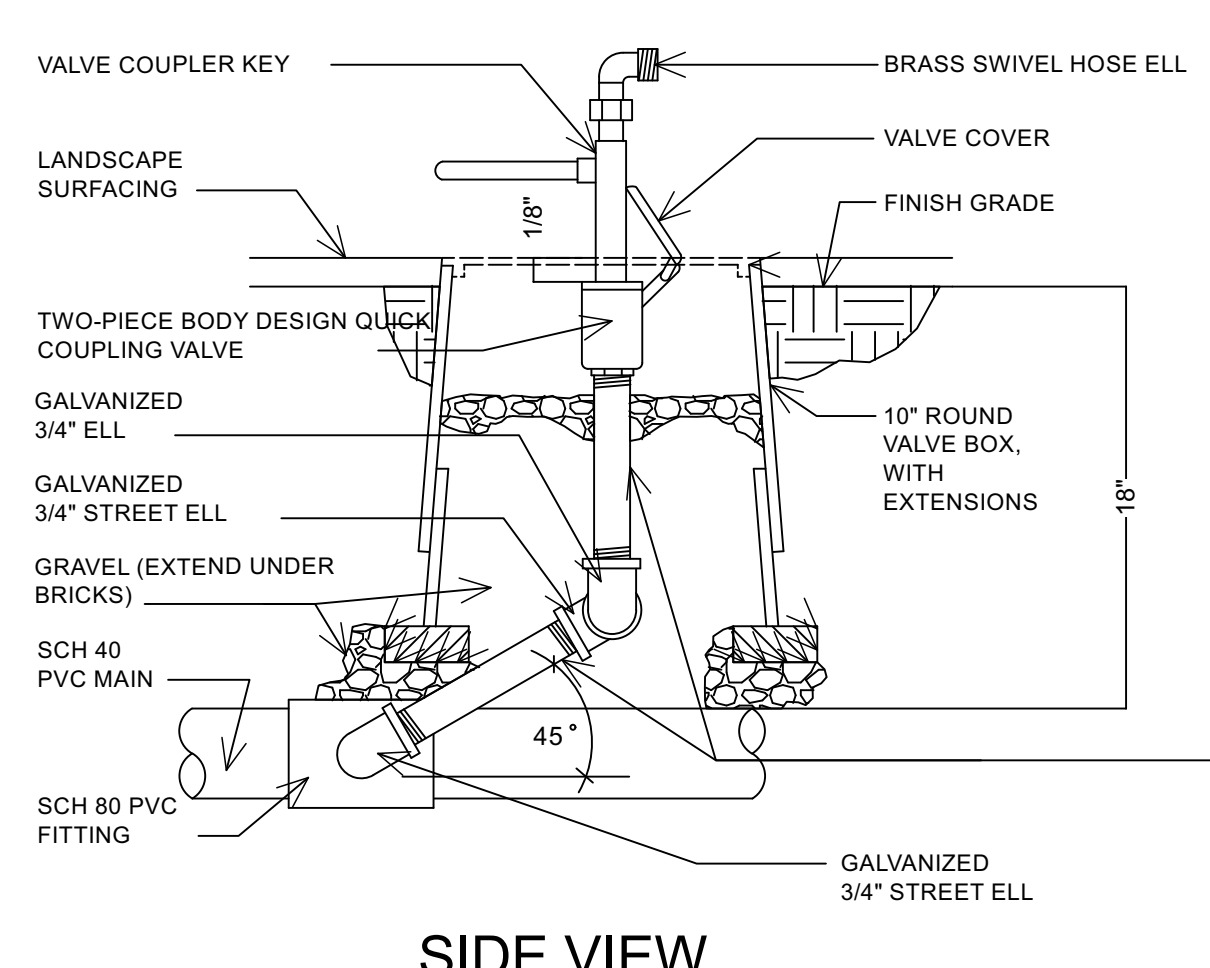


SIDE VIEW

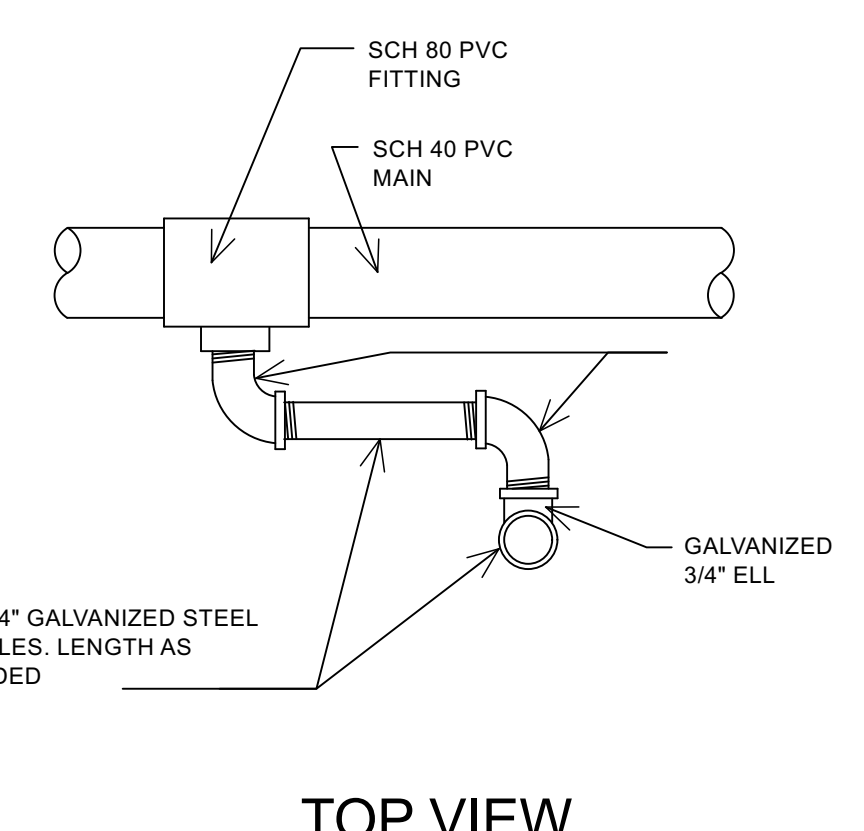


TOP VIEW

NOTE:  
DRAIN INTO CENTER OF GRAVEL SUMP



SIDE VIEW



TOP VIEW

F QUICK COUPLING VALVE

NO SCALE

HYRUM 1, 5 PARKING EXPANSION  
125 NORTH 400 WEST  
HYRUM, UTAH

Project For:  
THE CHURCH OF  
JESUS CHRIST  
OF LATTER-DAY SAINTS

Property Number:  
516-9224  
JOB NUMBER: 24072  
OWNER: LDS CHURCH  
DATE: APRIL 2024  
REV DATE DESCRIPTION

LANDSCAPE  
IRRIGATION  
DETAILS

L503



ELECTRICAL GENERAL NOTES:

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL FIELD ROUTING WITH EXISTING EQUIPMENT. PROVIDE ALL NECESSARY OFFSETS TO AVOID CONFLICTS WITH EXISTING EQUIPMENT OR OTHER OBSTRUCTIONS.
2. ELECTRICAL CONTRACTOR IS TO REFER TO THE ARCHITECTURAL DEMOLITION DRAWINGS. THE ARCHITECTURAL DEMOLITION DRAWINGS ARE PART OF THIS CONTRACT.
3. ELECTRICAL CONTRACTOR TO REFER TO THE CIVIL ENGINEER'S DRAWING AND COORDINATE ELECTRICAL INSTALLATION WITH ALL UTILITIES.
4. EVERY CIRCUIT AND CIRCUIT MODIFICATION SHALL BE LEGIBLY IDENTIFIED AS TO ITS CLEAR, EVIDENT, AND SPECIFIC PURPOSE OR USE PER NEC 408.4(A).
5. MULTI-WIRE BRANCH CIRCUITS: ELECTRICAL CONTRACTOR TO COMPLY WITH THE NATIONAL ELECTRICAL CODE, ARTICLE 210.4. MULTI-WIRE BRANCH CIRCUITS. ELECTRICAL CONTRACTOR TO ALLOW FOR MULTI-WIRE BRANCH CIRCUITS WIRE AMPACITY ADJUSTMENT AS PER ARTICLE 310, TABLE 310.15(B)(2)(A) OF THE NATIONAL ELECTRICAL CODE.
6. NEW INSTALLATION SHALL CONFORM TO THE NEC REVISION OBSERVED BY THE LOCAL AUTHORITY HAVING JURISDICTION.
7. CONTRACTOR SHALL INCLUDED PROVISIONS IN THE BASE BID FOR ALL MATERIAL & LABOR REQUIRED FOR THE EXTENSIONS, REROUTING & RELOCATION OF EXISTING SYSTEM COMPONENTS, EQUIPMENT, WIRING, CONDUITS & CABLING. COORDINATION SHALL BE DONE TO MAINTAIN OPERATION OF ALL SYSTEMS THROUGHOUT THE BUILDING DURING DEMOLITION & CONSTRUCTION PHASES.
8. MAINTAIN CIRCUIT INTEGRITY & CONTINUITY OF ALL EXISTING CIRCUITS, FEEDERS & SYSTEMS THAT INTERFERE WITH OR ARE INTERRUPTED BY REMODEL WORK. UNLESS THOSE CIRCUITS, FEEDERS & SYSTEMS ARE IN OPERATION DURING CONSTRUCTION. PROVIDE TEMPORARY PANELS, TEMPORARY WIRING & CONDUITS, ETC. AS REQUIRED.
9. ALL EXISTING FIXTURES, DEVICES, EQUIPMENT, ETC. IN PORTIONS OF THE BUILDING NOT BEING DEMOLED SHALL REMAIN IN WORKING CONDITION. RESTORE ALL INTERRUPTED BRANCH CIRCUITS, FEEDERS, ETC.
10. EXISTING ELECTRICAL DEVICES TO REMAIN UNLESS NOTED OTHERWISE.
11. WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER, PER INDUSTRY STANDARD AND TO THE SATISFACTION OF THE ARCHITECT AND ENGINEER.
12. WORK, MATERIALS AND EQUIPMENT SHALL CONFORM TO THE LATEST EDITIONS OF LOCAL, STATE AND NATIONAL CODES, STANDARDS AND ORDINANCES.
13. THE MINIMUM SIZE OF THE CONDUCTORS ARE TO BE #12 AWG THIN COPPER, UNLESS INDICATED OTHERWISE ON THE DRAWINGS. STRANDED CONDUCTORS ARE NOT ALLOWED IN THE CONDUCTORS SMALLER THAN #10 AWG.
14. DETAILS ARE SHOWN ON DIFFERENT SHEETS. THE CONTRACTOR SHALL REFER TO THOSE DETAILS WHETHER OR NOT CALLED IN REFERENCE NOTES.
15. ALL MATERIALS USED IN THIS INSTALLATION SHALL BE U.L. APPROVED AND NEW.
16. CONTRACTOR SHALL MEASURE STEADY STATE LOAD CURRENTS AT EACH PANEL BOARD FEEDER FOR ALL ALTERED PANEL BOARDS. SHOULD THE DIFFERENCE BETWEEN PHASES EXCEED 20 PERCENT AT ANY PANEL BOARD, REARRANGE CIRCUITS IN PANEL BOARD TO BALANCE THE PHASE LOAD WITHIN 20 PERCENT. TAKE CARE TO MAINTAIN PROPER PHASING FOR MULTI-WIRE BRANCH CIRCUITS. UPDATE DIRECTORIES ACCORDINGLY.
17. CONTRACTOR SHALL PROVIDE MINIMUM OF ONE WEEK NOTICE IN WRITING TO THE OWNER PRIOR TO ANY POWER OUTAGE. OUTAGES SHOULD BE PLANNED AROUND HOLIDAYS OR WEEKENDS. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ALL POWER OUTAGES PRIOR TO COMMENCING WORK.

ELECTRICAL SYMBOLS

Table with 3 columns: SYMBOL, EXPLANATION, SYMBOL, EXPLANATION, SYMBOL, EXPLANATION. Includes symbols for branch circuits, fixtures, emergency lighting, room numbers, mechanical equipment, keyed notes, feeder tags, lighting panels, disconnect switches, motor starters, variable frequency drives, conduit stubs, junction boxes, electric vehicle charging stations, single pole switches, two pole switches, 3-way switches, 4-way switches, dimmer switches, key switches, timer switches, manual starters, paddle fan speed controls, occupancy sensors, low voltage control switches, dual relay occupancy sensors, double gang switches, low voltage multi button control switches, controlling switches, occupancy sensors, dual technology occupancy sensors, passive infrared occupancy sensors, room controllers, daylight sensors, photocells, volume controls, wall speakers, ceiling speakers, surveillance cameras, surveillance digital video recorder, nurse call annunciator panels, nurse call emergency call devices, nurse call emergency call lights, smoke detectors, carbon monoxide detectors, carbon monoxide/nitrogen dioxide sensors, ADA two-way communications systems, access control key pads, access control card readers, access control door strikes, access control mag locks, access control door sensors, access control request to exit, pushbuttons, bells, and various other electrical symbols.

NOTE: ALL SYMBOLS MAY NOT BE USED.

ABBREVIATIONS INDEX

Table with 3 columns: # NUMBER, DC DIRECT CURRENT, KW KILOWATT, PT POTENTIAL TRANSFORMER. Lists abbreviations for various electrical terms such as phase, single phase, two-pole, three phase, four-pole, alternating current, above finished floor, above finished grade, arc fault protector, authority having jurisdiction, amp interrupting current, aluminum, amps meter, ampere, annunciator, automatic transfer switch, auxiliary, american wire gauge, bare copper, below finish grade, conduit, cabinet, community antenna television, cable television, contractor furnished contractor installed, circuit, ceiling, contractor, convenience outlet, computer terminal, current transformer, copper, conduit with, demolish/delete, decibel, direct current, dryer, dishwasher, drawing, empty conduit, emergency, emergency generator, electrical metallic tubing, emergency power off, electric water cooler, electric wall heater, existing, future, fire alarm, fire alarm control panel, fire alarm control panel, foot candle, full load amps, foot, freezer, fused switch, dual function gfci/afci circuit breaker, ground fault circuit interrupter, ground-fault equipment protection, ground fault protector, galvanized rigid conduit, ground, horse power, hertz, isolated ground, intermediate metallic conduit, inch, junction box, kilovolt, kilovolt amperes, kilovars, kilowatt, locked rotor amps, lighting, master antenna television, maximum, main bus, main circuit breaker, motor control center, 1000 circular mills, manhole, microphone, minimum, main lugs only, manufacturer, mounting, motor, microwave, new, not applicable, normally closed, national electrical code, national manufacturing association, national fire code, national fire protection association, non fused switch, not in contract, night light, normally open, not to scale, owner furnished contractor installed, owner furnished owner installed, outside screw and yoke, push button, power factor, phase failure relay, panel, potential transformer, photovoltaic, polyvinyl chloride, relocate, receptacle, refrigerator, required, rated load amps, root mean square, service entrance, surge protection device, specification, speaker, selector switch, switch, switchboard, switchgear, telephone terminal board, telephone terminal cabinet, television, typical, underground, unless noted otherwise, uninterruptible power supply, volt (kilovolt), volt-amps/reactive, volt meter, warts, with, washer, washhour, without, weather proof, transformer, transformer switch, explosion proof.

NOTE: THIS IS A TYPICAL ABBREVIATION LIST. NOT ALL ABBREVIATIONS MAY BE USED ON THIS PROJECT.

DESIGN CONTACTS

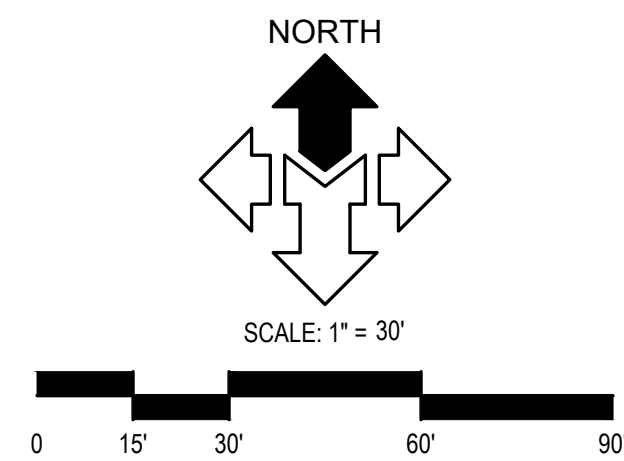
Table with 2 columns: ELECTRICAL ENGINEER: RYAN BEAGLES, ELECTRICAL TEAM LEAD: JOE HUTCHINGS, ELECTRICAL DESIGNER: RICH LARSEN

SHEET INDEX

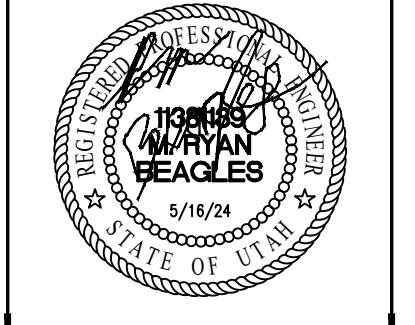
Table with 2 columns: SHEET NUMBER, SHEET TITLE. Lists sheets E0.1 through E6.2 and their titles: ELECTRICAL COVER SHEET, ELECTRICAL SITE PLAN, SITE PHOTOMETRICS PLAN, ELECTRICAL SCHEDULES, ELECTRICAL SCHEDULES.

COMMISSIONING NOTES:

- C408.3 LIGHTING SYSTEM FUNCTIONAL TESTING. CONTROLS FOR AUTOMATIC LIGHTING SYSTEMS SHALL COMPLY WITH SECTION C408.3.
C408.3.1 FUNCTIONAL TESTING. TESTING SHALL ENSURE THAT CONTROL HARDWARE AND SOFTWARE ARE CALIBRATED, ADJUSTED, PROGRAMMED AND IN PROPER WORKING CONDITION IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS. THE CONSTRUCTION DOCUMENTS SHALL STATE THE PARTY WHO WILL CONDUCT THE REQUIRED FUNCTIONAL TESTING, WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED PARTY INDEPENDENT FROM THE DESIGN OR CONSTRUCTION OF THE PROJECT SHALL BE RESPONSIBLE FOR THE FUNCTIONAL TESTING AND SHALL PROVIDE DOCUMENTATION TO THE CODE OFFICIAL CERTIFYING THAT THE INSTALLED LIGHTING CONTROLS MEET THE PROVISIONS OF SECTION C408.3, WHERE OCCUPANT SENSORS, TIME SWITCHES, PROGRAMMABLE SCHEDULE CONTROLS, PHOTOSENSORS OR DAYLIGHTING CONTROLS ARE INSTALLED, THE FOLLOWING PROCEDURES SHALL BE PERFORMED:
1. CONFIRM THAT THE PLACEMENT, SENSITIVITY AND TIME-OUT ADJUSTMENTS FOR OCCUPANT SENSORS YIELD ACCEPTABLE PERFORMANCE.
2. CONFIRM THAT THE PLACEMENT AND SENSITIVITY ADJUSTMENTS FOR PHOTOSENSOR CONTROLS REDUCE ELECTRIC LIGHT BASED ON THE AMOUNT OF USABLE DAYLIGHT IN THE SPACE AS SPECIFIED.



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HYRUM 1, 5, 10 PARKING ADDITION
125 NORTH 400 WEST
HYRUM, UT 84319
HYRUM UTAH WEST STAKE

ROYAL ENGINEERING logo and contact information: ELECTRICAL 1837 S. EAST BAY BLVD. PHONE: 801.375.2228, MECHANICAL PROVO, UTAH 84606. FAX: 801.375.2676

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Blue Stakes of UTAH811 logo and text: NOTICE! THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES. SHOWN OR NOT SHOWN ON THE PLANS.

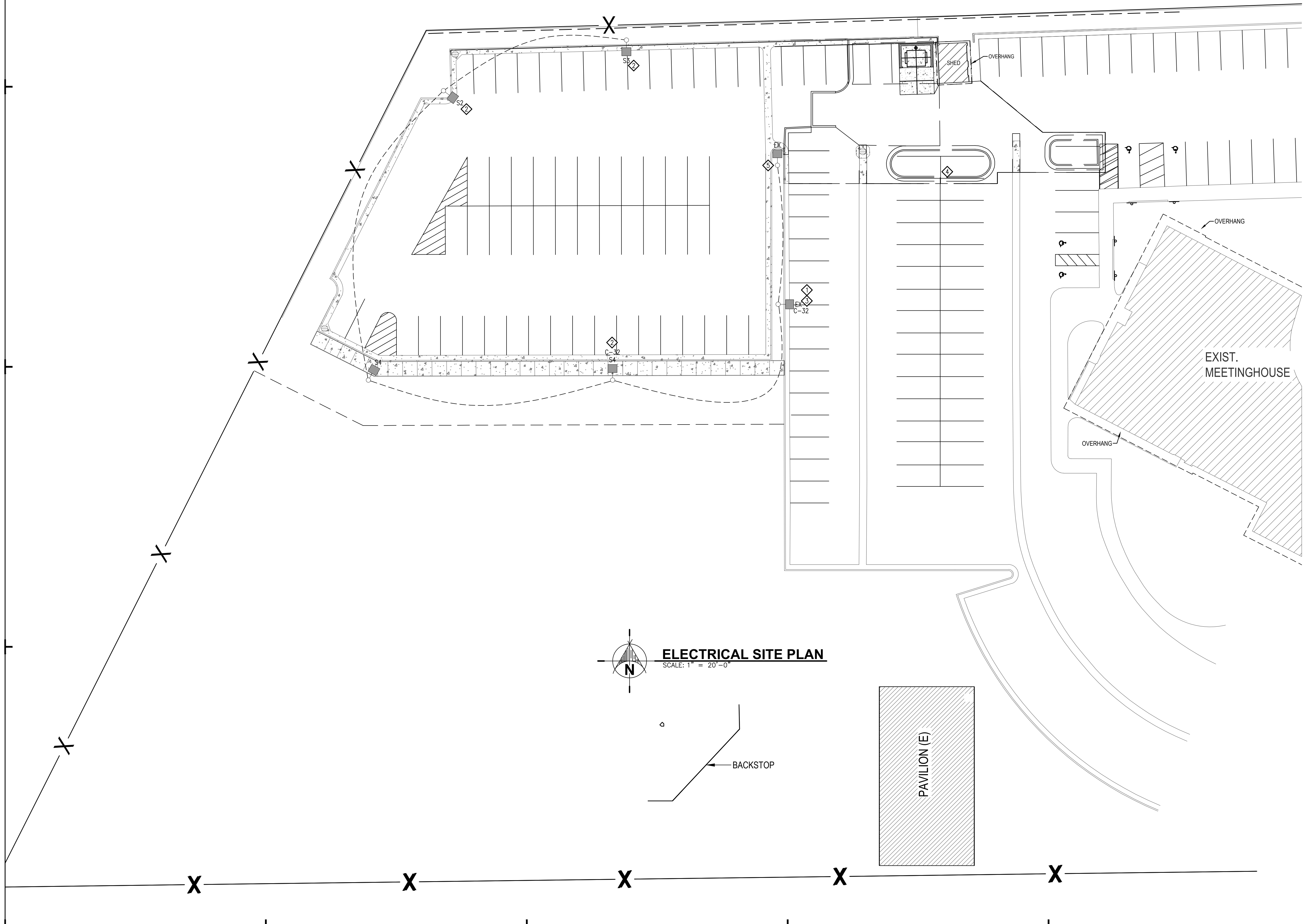
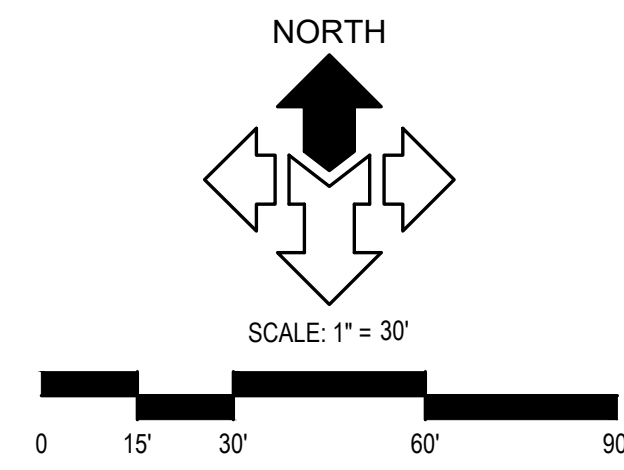
Table with 2 columns: REVISIONS, DESCRIPTION. Includes a grid for tracking revisions.

Table with 2 columns: PROJECT NO: 24072, DRAWN BY: RUL, CHECKED BY: MRB, DATE: 05/16/24, PROP# 516922423010101

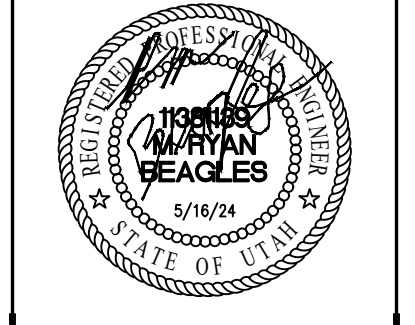
ELECTRICAL COVER SHEET
E0.1

**ELECTRICAL KEYED NOTES:**

- ◆ CONNECT NEW LIGHTING TO EXISTING PARKING LIGHTING CIRCUIT. CONNECT WITH 1" CONDUIT AND #10 COPPER CONNECTORS.
- ◆ NEW POLE LIGHT TO BE EQUIPPED WITH INTEGRAL PHOTOCELL AND OCCUPANCY SENSOR FOR CONTROL.
- ◆ EXISTING LIGHTING FIXTURE.
- ◆ REMOVE AND RELOCATE EXISTING LIGHT FIXTURE.
- ◆ NEW LOCATION OF RELOCATED LIGHT FIXTURE.



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**HYRUM 1, 5, 10 PARKING ADDITION**

125 NORTH 400 WEST  
 HYRUM, UT 84319  
 HYRUM UTAH WEST STAKE

REVISIONS	DESCRIPTION

PROJECT NO: 24072  
 DRAWN BY: RUL  
 CHECKED BY: MRB  
 DATE: 05/16/24  
 PROPH 516922423010101

**ELECTRICAL SITE PLAN**

**E0.2**

**ROYAL ENGINEERING**  
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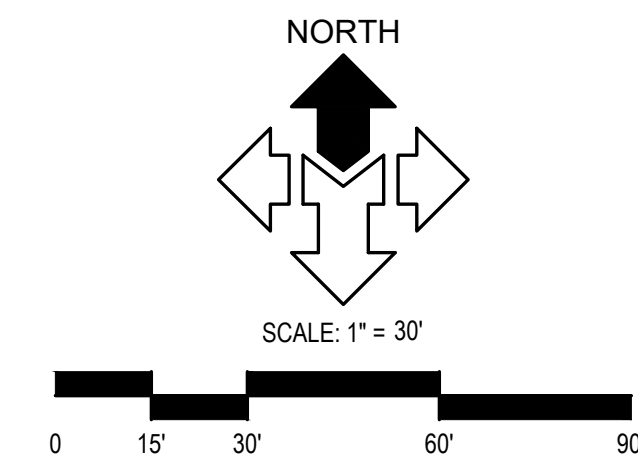


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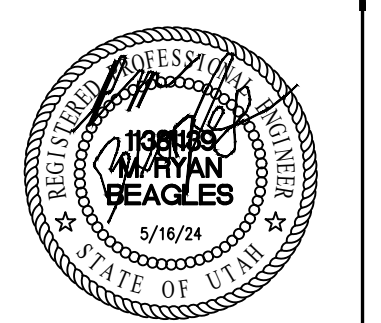


**ELECTRICAL KEYED NOTES:**

- ◇ ILLUMINATION LEVELS INDICATED IN FOOT-CANDELES.
- ◇ EXISTING LIGHT FIXTURE.



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**HYRUM 1, 5, 10 PARKING ADDITION**

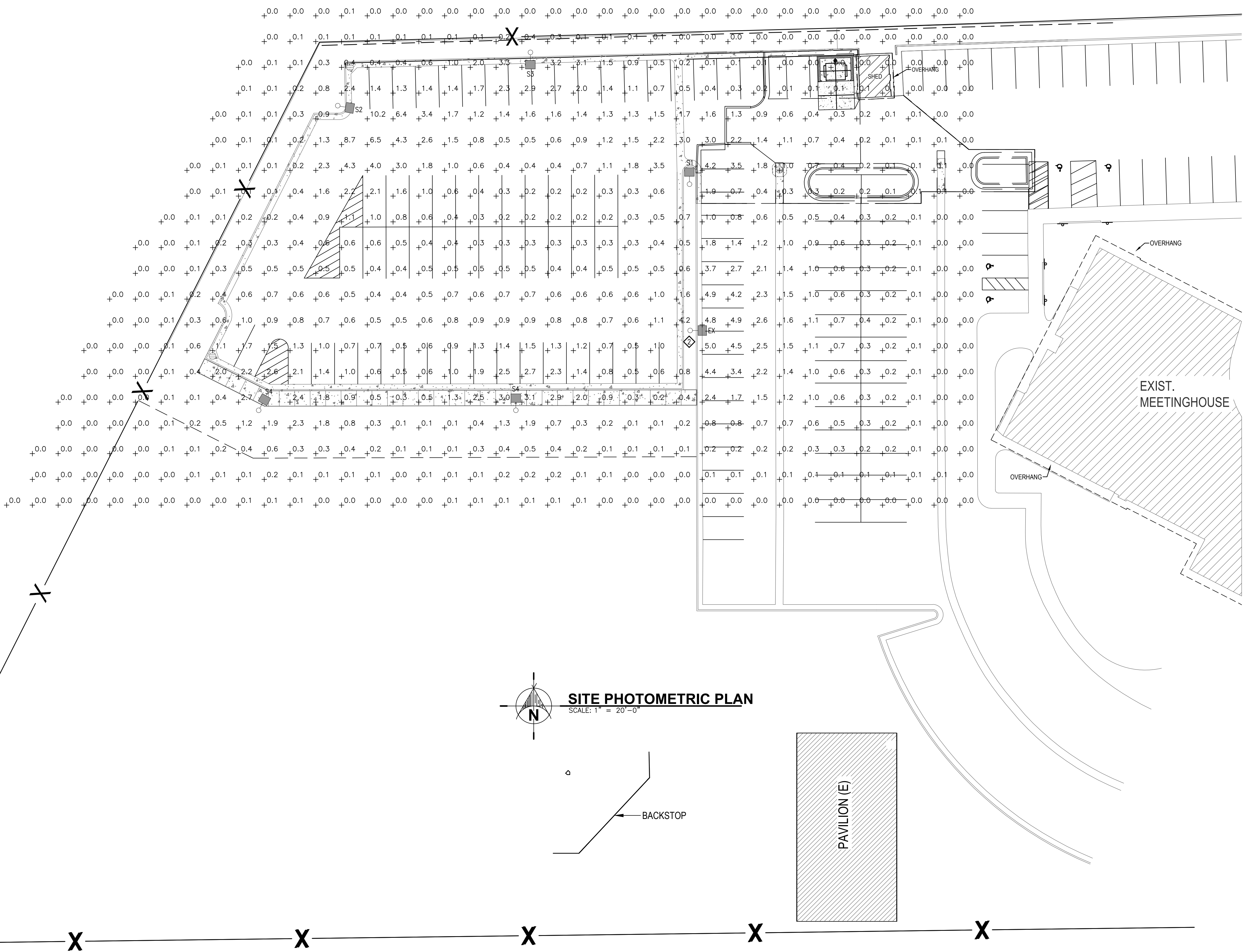
125 NORTH 400 WEST  
 HYRUM, UT 84319  
 HYRUM UTAH WEST STAKE

REVISIONS	DESCRIPTION

PROJECT NO: 24072  
 DRAWN BY: RUL  
 CHECKED BY: MRB  
 DATE: 05/16/24  
 PROPH 516922423010101

**SITE PHOTO-METRIC PLAN**

**E0.3**



**SITE PHOTOMETRIC PLAN**  
 SCALE: 1" = 20'-0"

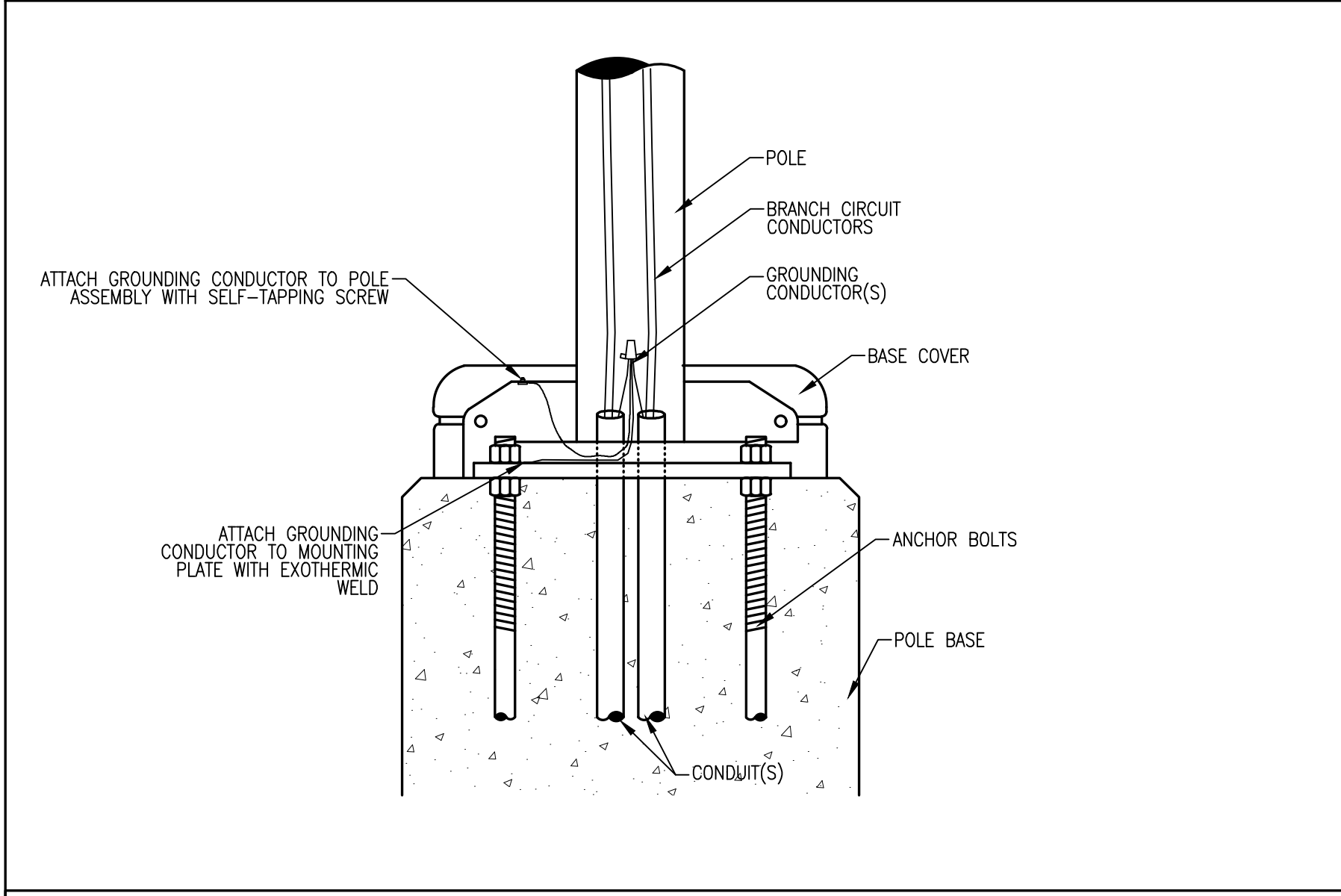
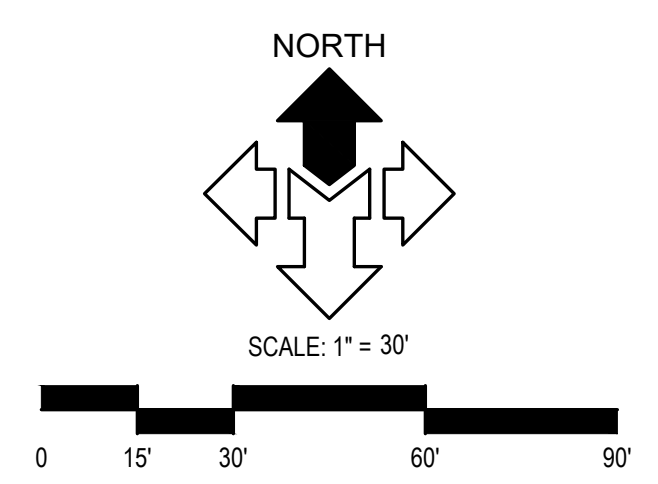
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 MECHANICAL 1837 S. EAST BAY BLVD. PROVO, UTAH 84606 FAX: 801.375.2676

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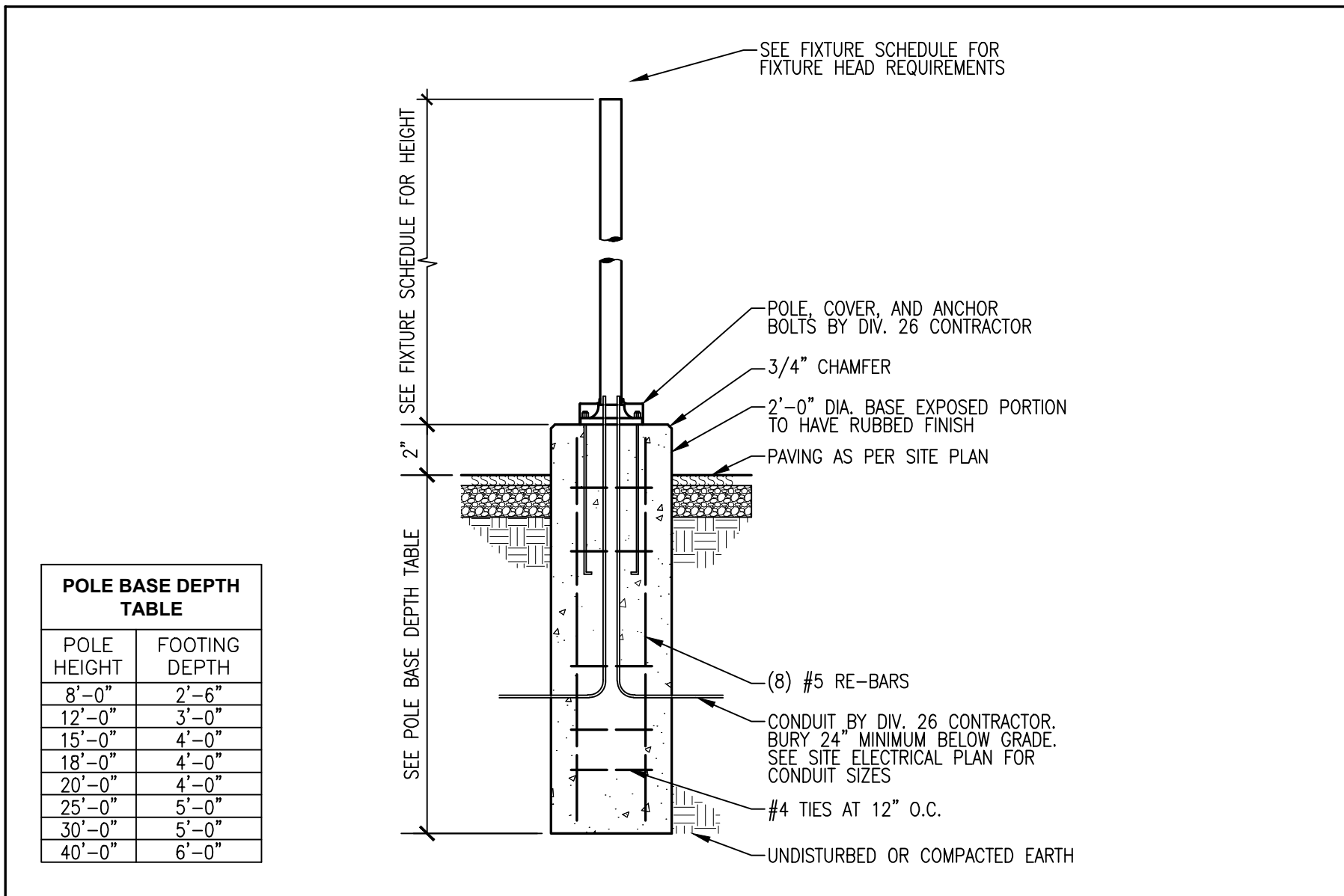


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SITE LIGHTING FIXTURE SCHEDULE													
FIXT #	MANUFACTURER	CATALOG #	FIXTURE					POLE					REMARKS
			VOLTS	#POLE	WATTS	MOUNTING	TYPE	QTY/FIXT.	MANUFACTURER	HEIGHT	CATALOG #		
S1	COOPER OR CHURCH APPROVED EQUAL	GLEON-SA1D-830-U-T2	120	1	67	POLE	LED 3,000 KELVIN 8,300 LUMENS 80 CRI	1	LITHONIA GARDCO McGRAW SPAULDING LTG CMT UNITED LSI	16'-0"	SSS 16 4C SSS-16-4-11 SSS-AA16-SFXXX SSS-16-40-1-SCBA ZA16-4-0-HS-PC-BC RPSQ-16-4-11 4SQBX-S11G-16-X-4BC	FIXTURE WITH INTEGRATED PHOTOCELL AND MOTION SENSOR.	
S2	COOPER OR CHURCH APPROVED EQUAL	GLEON-SA2D-830-U-SLR	120	1	129	POLE	LED 3,000 KELVIN 8,300 LUMENS 80 CRI	1	LITHONIA GARDCO McGRAW SPAULDING LTG CMT UNITED LSI	16'-0"	SSS 16 4C SSS-16-4-11 SSS-AA16-SFXXX SSS-16-40-1-SCBA ZA16-4-0-HS-PC-BC RPSQ-16-4-11 4SQBX-S11G-16-X-4BC	FIXTURE WITH INTEGRATED PHOTOCELL AND MOTION SENSOR.	
S3	COOPER OR CHURCH APPROVED EQUAL	GLEON-SA1D-830-U-T2-HSS	120	1	67	POLE	LED 3,000 KELVIN 8,300 LUMENS 80 CRI	1	LITHONIA GARDCO McGRAW SPAULDING LTG CMT UNITED LSI	16'-0"	SSS 16 4C SSS-16-4-11 SSS-AA16-SFXXX SSS-16-40-1-SCBA ZA16-4-0-HS-PC-BC RPSQ-16-4-11 4SQBX-S11G-16-X-4BC	FIXTURE WITH INTEGRATED PHOTOCELL AND MOTION SENSOR.	
S4	COOPER OR CHURCH APPROVED EQUAL	GLEON-SA1D-830-U-T4FT	120	1	67	POLE	LED 3,000 KELVIN 8,300 LUMENS 80 CRI	1	LITHONIA GARDCO McGRAW SPAULDING LTG CMT UNITED LSI	16'-0"	SSS 16 4C SSS-16-4-11 SSS-AA16-SFXXX SSS-16-40-1-SCBA ZA16-4-0-HS-PC-BC RPSQ-16-4-11 4SQBX-S11G-16-X-4BC	FIXTURE WITH INTEGRATED PHOTOCELL AND MOTION SENSOR.	



**1 POLE LIGHT GROUNDING DETAIL**  
SCALE: NTS



**2 POLE BASE DETAIL**  
SCALE: NTS

POLE BASE DEPTH TABLE	
POLE HEIGHT	FOOTING DEPTH
8'-0"	2'-6"
12'-0"	3'-0"
15'-0"	4'-0"
18'-0"	4'-0"
20'-0"	4'-0"
25'-0"	5'-0"
30'-0"	5'-0"
40'-0"	6'-0"

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**HYRUM 1, 5, 10 PARKING ADDITION**  
  
125 NORTH 400 WEST  
HYRUM, UT 84319  
HYRUM UTAH WEST STAKE

REVISIONS	DESCRIPTION
REV	DATE

PROJECT NO: 24072  
DRAWN BY: RUL  
CHECKED BY: MRB  
DATE: 05/16/24  
PROPH 516922423010101

**ELECTRICAL SCHEDULES**

**E6.1**

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GLEON Galleon

Mounting Details

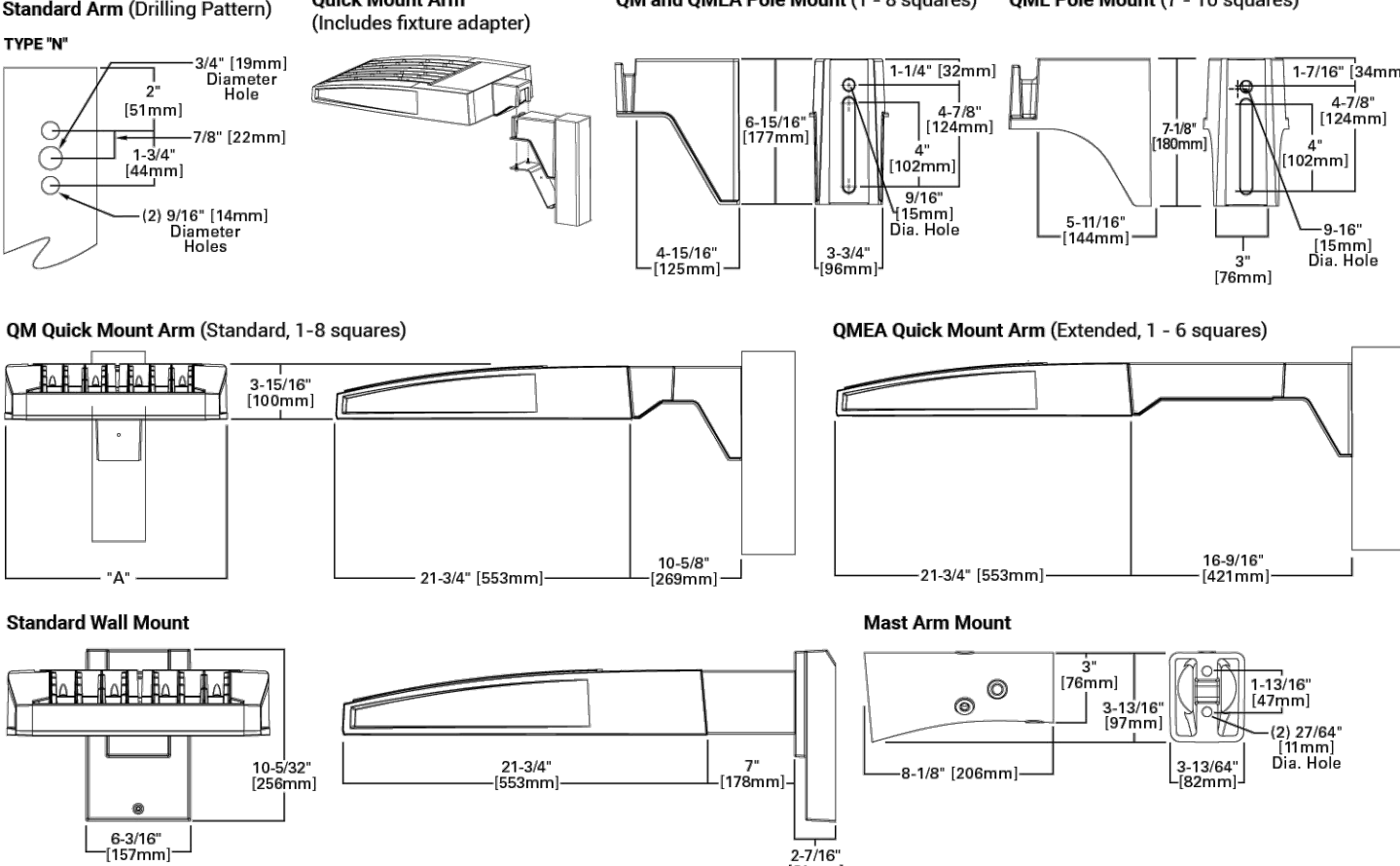


Table with 5 columns: Number of Light Spheres, Standard Arm @ 90° Apart, Standard Arm @ 120° Apart, Quick Mount Arm @ 90° Apart, Quick Mount Arm @ 120° Apart. Rows 1-10 show configurations for 1-10 light spheres.

Table with 8 columns: Number of Light Spheres, Weight with Standard and Extended Arm (lbs.), EPA with Standard and Extended Arm (Sq. Ft.), Weight with QM Arm (lbs.), EPA with QM Arm (Sq. Ft.), Weight with QML (lbs.), EPA with QML (Sq. Ft.), Weight with QMEA (lbs.), EPA with QMEA (Sq. Ft.). Rows 1-4 show configurations for 1-4 light spheres.

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GLEON Galleon

Ordering Information

Table with columns: Product Family, Configuration, Light Engine, Color, Voltage, Distribution, Mounting, Finish. Lists various GLEON Galleon models and their specifications.

Table with columns: Options (Add as Suffix), Controls and Systems Options (Add as Suffix), Accessories (Order Separately). Lists additional features and accessories for the lighting fixture.

NOTES: 1. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Note: 1. Not available with integrated wireless sensor. 2. Not available with color control option. 3. Not available with 70" height. 4. Not available with 10' mounting height. 5. Not available with 12' mounting height. 6. Not available with 14' mounting height. 7. Not available with 16' mounting height. 8. Not available with 18' mounting height. 9. Not available with 20' mounting height. 10. Not available with 22' mounting height. 11. Not available with 24' mounting height. 12. Not available with 26' mounting height. 13. Not available with 28' mounting height. 14. Not available with 30' mounting height. 15. Not available with 32' mounting height. 16. Not available with 34' mounting height. 17. Not available with 36' mounting height. 18. Not available with 38' mounting height. 19. Not available with 40' mounting height. 20. Not available with 42' mounting height. 21. Not available with 44' mounting height. 22. Not available with 46' mounting height. 23. Not available with 48' mounting height. 24. Not available with 50' mounting height. 25. Not available with 52' mounting height. 26. Not available with 54' mounting height. 27. Not available with 56' mounting height. 28. Not available with 58' mounting height. 29. Not available with 60' mounting height. 30. Not available with 62' mounting height. 31. Not available with 64' mounting height. 32. Not available with 66' mounting height. 33. Not available with 68' mounting height. 34. Not available with 70' mounting height. 35. Not available with 72' mounting height. 36. Not available with 74' mounting height. 37. Not available with 76' mounting height. 38. Not available with 78' mounting height. 39. Not available with 80' mounting height. 40. Not available with 82' mounting height. 41. Not available with 84' mounting height. 42. Not available with 86' mounting height. 43. Not available with 88' mounting height. 44. Not available with 90' mounting height. 45. Not available with 92' mounting height. 46. Not available with 94' mounting height. 47. Not available with 96' mounting height. 48. Not available with 98' mounting height. 49. Not available with 100' mounting height.

Table with columns: Product Family, Camera Type, Data Backhaul. Lists LumenSafe Integrated Network Security Camera Technology Options.

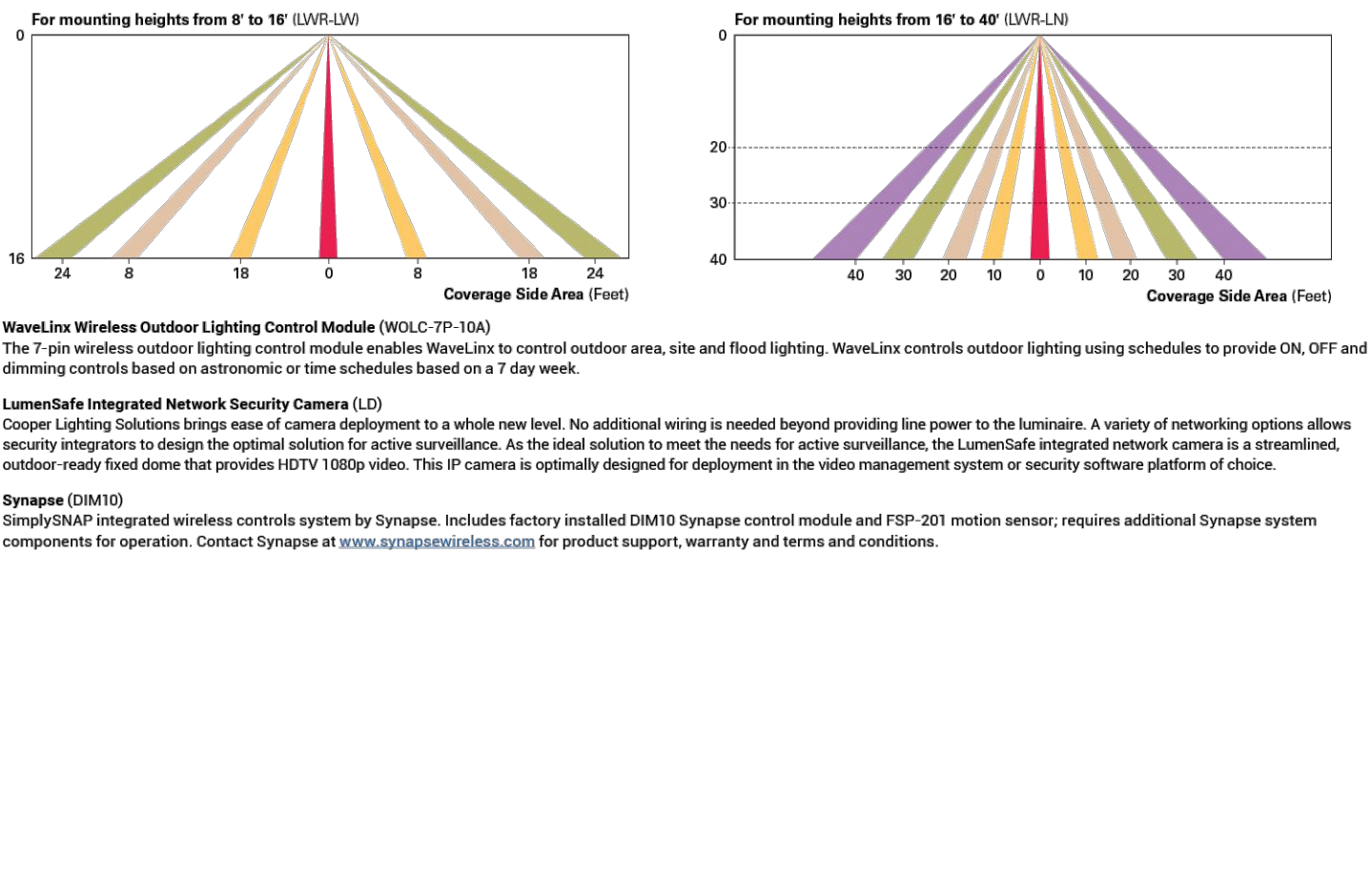
Table with columns: Product Family, Camera Type, Data Backhaul. Lists LumenSafe Integrated Network Security Camera Technology Options.

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GLEON Galleon

Control Options

0-10V (DM) This fixture is offered standard with 0-10V dimming driver(s). The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method. Photocentric (BPC, PR and PR7) Optional button-type photocentric (BPC) and photocentric receptacle (PR and PR7) provide a flexible solution to enable "dark-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7 pin standards can be utilized with the PR7 receptacle. After Hours Dim (AHD) This feature allows photocentric-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a "dark-to-dawn" period has been calculated from the photocentric input. Specify the desired dimming profile for a simple, factory-shipped dimming solution equating to external control wiring. Reference the After Hours Dim supplemental guide for additional information. Dimming Occupancy Sensor (SPS, MS-DIM, LXX, MS-X, LXX and MS-LXX) These sensors are factory-installed in the luminaire housing. When the SPS or MS-DIM sensor options are selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS-DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The MS-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity. The MS-X sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The SPS sensor requires the Sensor Configuration mobile application by Mattagross to change factory default dimming level, time delay, sensitivity and other parameters. Available for iOS and Android devices. The SPS sensor is factory preset to dim down to approximately 10% power with a time delay of five minutes. The MS-DIM occupancy sensors require the FSR-100 programming tool to adjust factory defaults. For mounting heights up to 8' (L08) For mounting heights up to 12' (L12) For mounting heights up to 16' (L16) For mounting heights up to 20' (L20) For mounting heights up to 24' (L24) For mounting heights up to 28' (L28) For mounting heights up to 32' (L32) For mounting heights up to 36' (L36) For mounting heights up to 40' (L40) For mounting heights up to 44' (L44) For mounting heights up to 48' (L48) For mounting heights up to 52' (L52) For mounting heights up to 56' (L56) For mounting heights up to 60' (L60) For mounting heights up to 64' (L64) For mounting heights up to 68' (L68) For mounting heights up to 72' (L72) For mounting heights up to 76' (L76) For mounting heights up to 80' (L80) For mounting heights up to 84' (L84) For mounting heights up to 88' (L88) For mounting heights up to 92' (L92) For mounting heights up to 96' (L96) For mounting heights up to 100' (L100)



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GLEON Galleon

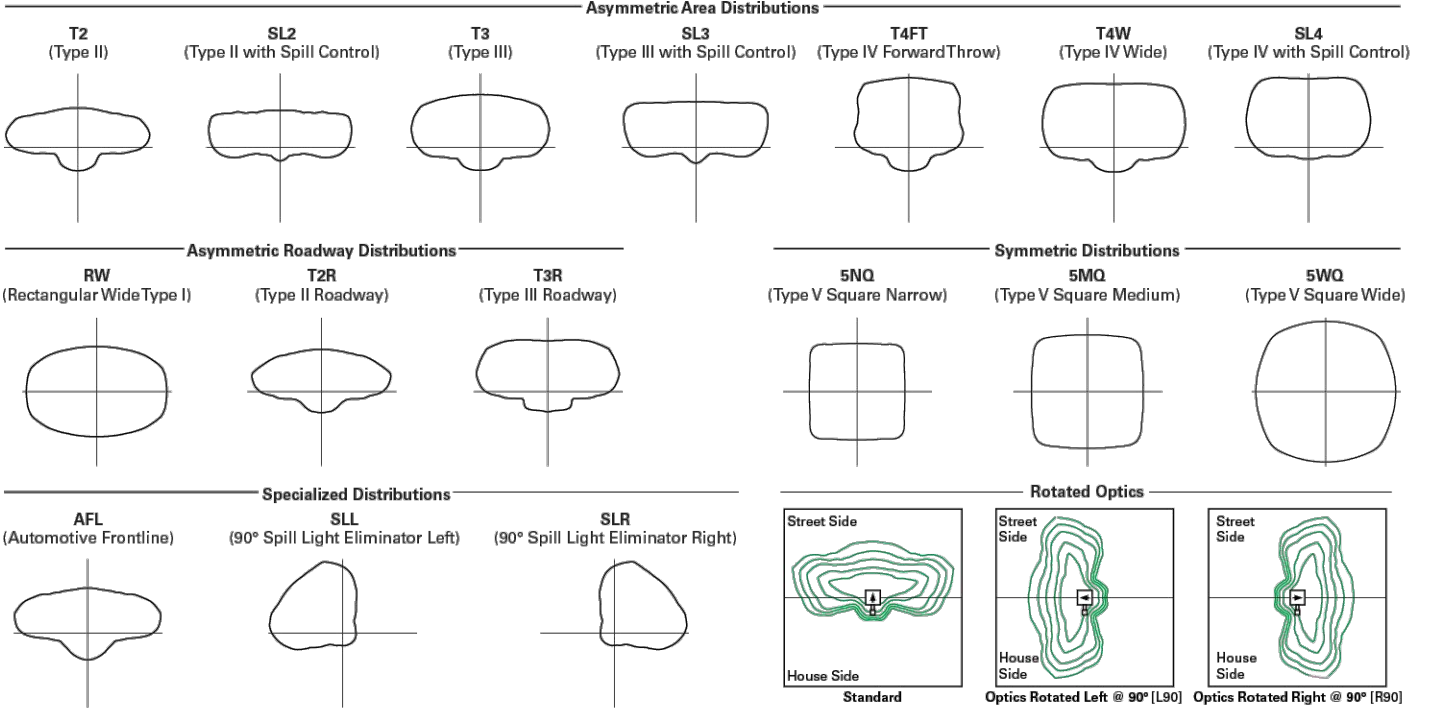
Nominal Power Lumens (1.2A)

Table with columns: Nominal Power (Watts), Input Current @ 120V (A), Input Current @ 208V (A), Input Current @ 277V (A), Input Current @ 480V (A). Rows 1-10 show configurations for 1-10 light spheres.

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GLEON Galleon

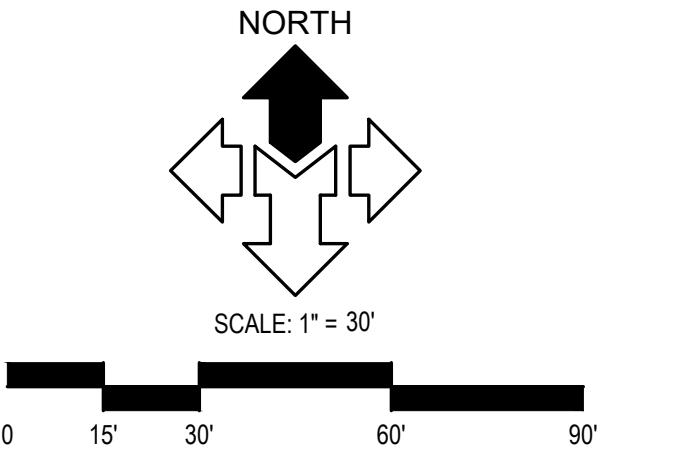
Optical Distributions



Product Specifications

Construction: Extruded aluminum driver enclosure, Heavy-wall, die-cast aluminum end caps, Die-cast aluminum heat sink, Patent pending interlocking housing and heat sink. Optics: Patented, high-efficiency injection-molded AccuLED Optics technology, 16 optical distributions, 3 shielding options including HSS, GRS and PFD, LED Certified (3000K CCT and warmer only). Electrical: LED drivers are mounted to removable tray, assembly for ease of maintenance, Standard with 0-10V dimming, Standard with Cooper Lighting Solutions proprietary circuit module designed to withstand 10kV of transient line surge, Suitable for operation in -40°C to 40°C ambient environments, Optional 50°C high ambient (H4), Mounting: Standard extruded arm includes internal bolt guides and round pole adapter, Extended arms (EA and QMEA) may be required in 90° or 120° pole mount configurations, see arm mounting requirements table. Finish: Most arm (AA) factory installed, Wall mount (WM) option available, Quick mount arm (QM and QMEA) includes pole adapter and factory installed fixture mount for fast installation to square or round poles, Super housing durable TGIC polyester powder coat paint, 2.5 mil nominal thickness, Heat sink is powder coated black, PFD and custom color matches available, Coastal Construction (CC) option available. Warranty: Five year warranty.

Table with columns: Drive Current, Ambient Temperature, 25,000 hour\*, 50,000 hour\*, 60,000 hour\*, 100,000 hour\*, Theoretical L70 hours\*. Rows 1-4 show configurations for 1-4 light spheres.



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GLEON Galleon

Area / Site Luminaire

Product Features: UL Listed, DLC Listed, BAA, 3G VIB, IP66. Product Certifications: IES, DLC, BAA, 3G VIB, IP66. Product Certifications: IES, DLC, BAA, 3G VIB, IP66.

Connected Systems

- WaveLix, Enlighted

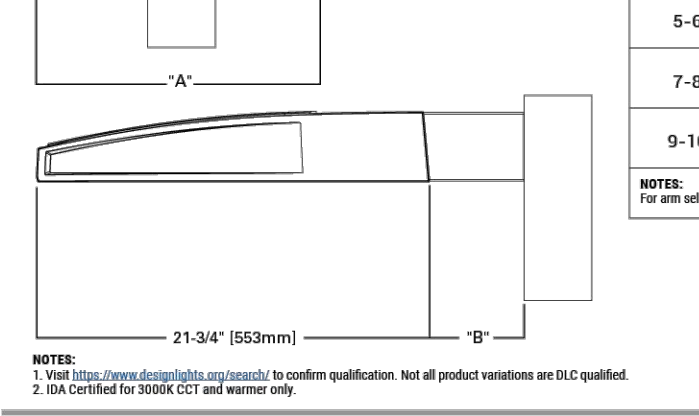
Interactive Menu

- Ordering Information page 2, Mounting Details page 3, Optical Distributions page 4, Product Specifications page 4, Energy and Performance Data page 4, Control Options page 9

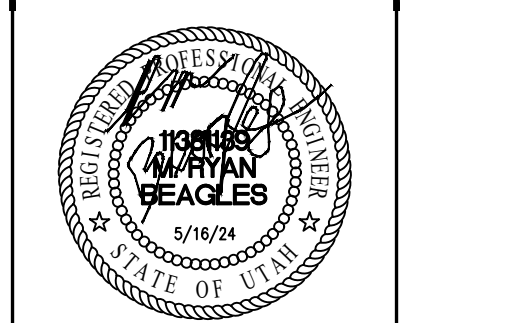
Quick Facts

- Lumen packages range from 4,200 - 80,800 (34W - 640W), Efficacy up to 156 lumens per watt, Options to meet Bay American and other domestic preference requirements

Dimensional Details



McNEIL ENGINEERING logo and contact information: 8410 South Sandy Parkway, Suite 200 Sandy, Utah 84070 801.257.7700 mcneilengineering.com. Civil Engineering • Consulting & Landscape Architecture, Structural Engineering • Land Surveying & HDS.



HYRUM 1, 5, 10 PARKING ADDITION, 125 NORTH 400 WEST HYRUM, UT 84319 HYRUM UTAH WEST STAKE

Table with columns: REVISIONS, DESCRIPTION, DATE, REV. Includes a grid for tracking revisions and a table for PROJECT NO: 24072, DRAWN BY: RUL, CHECKED BY: MRB, DATE: 05/16/24, PROP# 5169224230101.

ROYAL ENGINEERING logo and contact information: ELECTRICAL 1837 S. EAST BAY BLVD. PHONE: 801.375.2228. MECHANICAL PROVO, UTAH 84606. FAX: 801.375.2676.

Blue Stakes of UTAH811 logo and notice: NOTICE! THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.



**THE EBENEZER CHURCH OF GOD**  
**SIGN PERMIT**  
**PLANNING COMMISSION MEETING**  
**JUNE 13, 2024**

Summary: Jesse Vega representing The Ebenezer Church of God is seeking approval to install a sign along State Route 165. This is located at 340 North 800 East

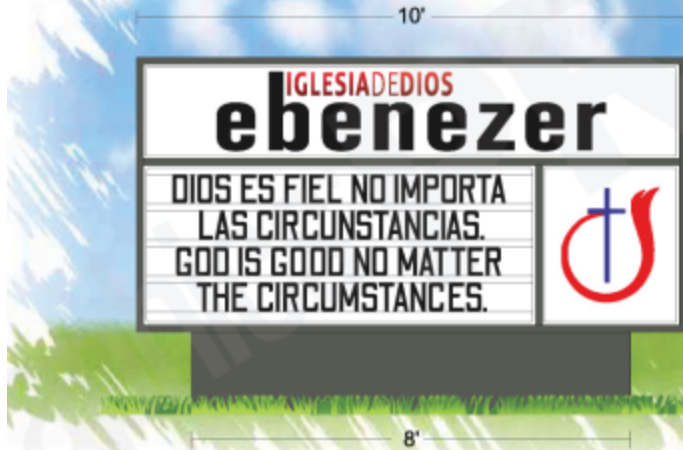
ZONING: C-1 Commercial

UTILITIES:

Power:	Existing
Culinary:	Existing
Sewer:	Existing
Irrigation:	N/A

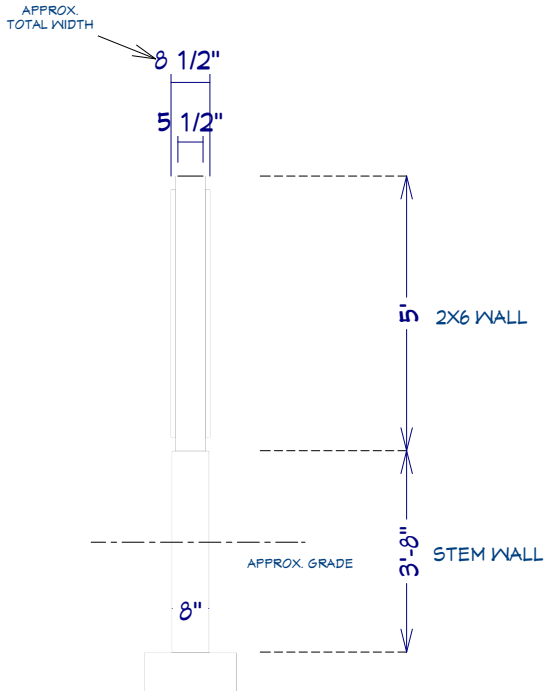
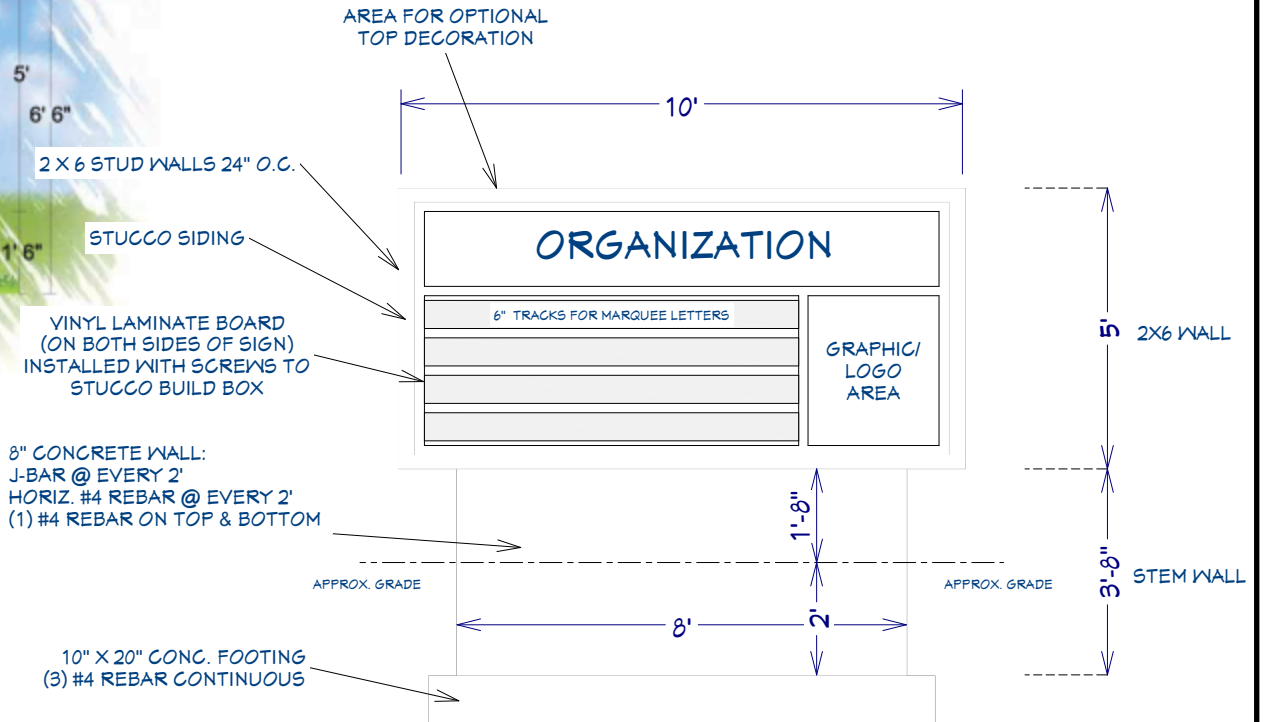
PARKING & ROADS: Existing

NOTES: The sign will be internally lighted and will be 10 feet wide and approximately 6.5 feet tall. This sign will be similar to the sign installed on the Emmanuel Baptist Church to the south. It will have a changeable text section for messages.



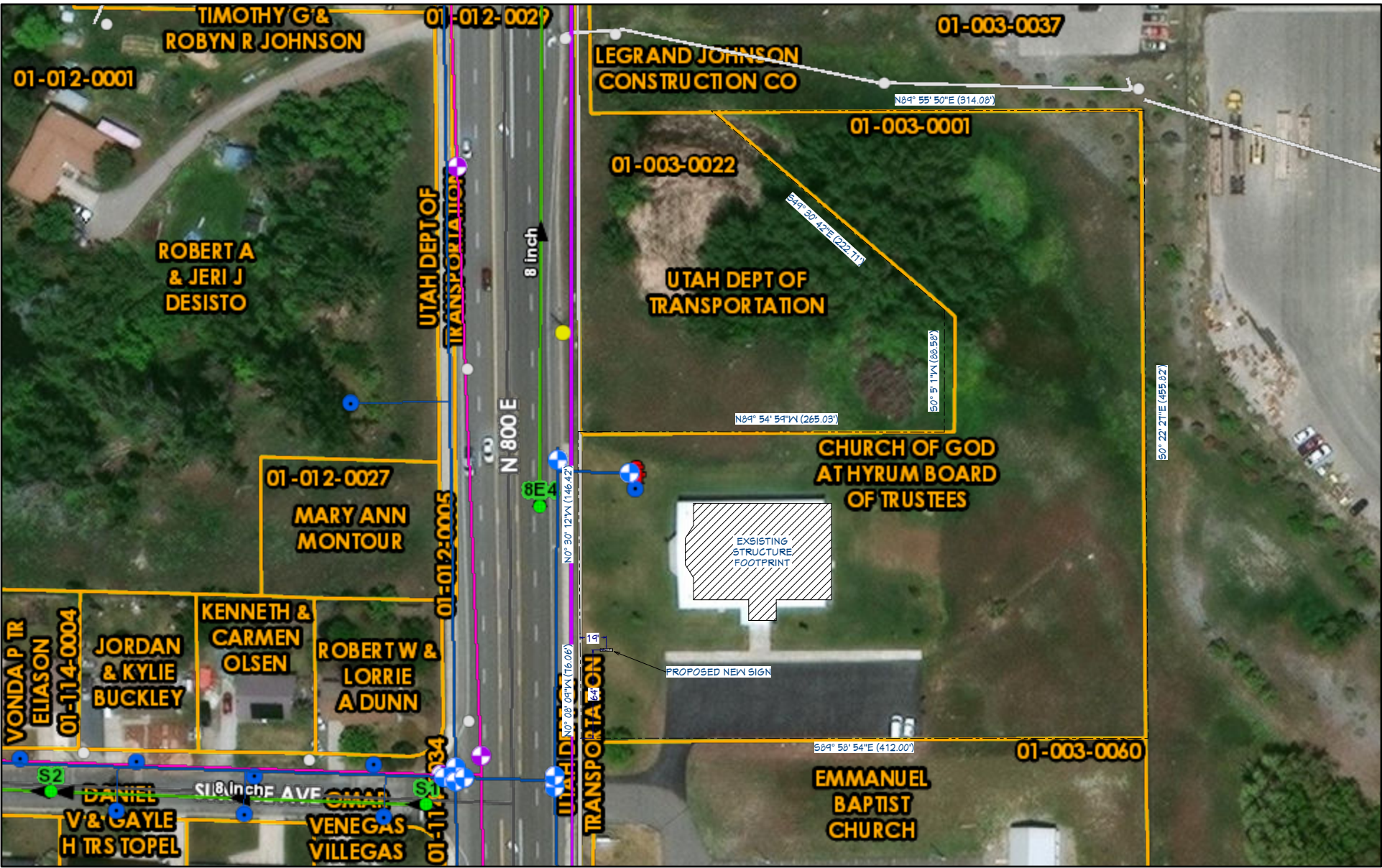
**SIDE VIEW**

**FRONT & BACK VIEW**



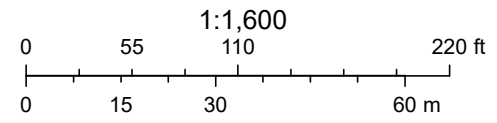
SHEET TITLE:									
SIGN DETAILS									
CLIENT:		JESSE VEGA			JOB #:		PLAN #:		
DRAWINGS PROVIDED BY:							REVISION		
NAME: KADE CARLISLE							#	REV. BY	NOTE
E-mail: CDHOUSEPLANS.CONTACT@GMAIL.COM							DATE:		5/8/2024
Contact: Phone: 435-890-0432 CALL OR TEXT							SCALE:		1" = 1'-0"
Web: FACEBOOK: C.D. HOUSEPLANS							SHEET:		
							1		

# Map

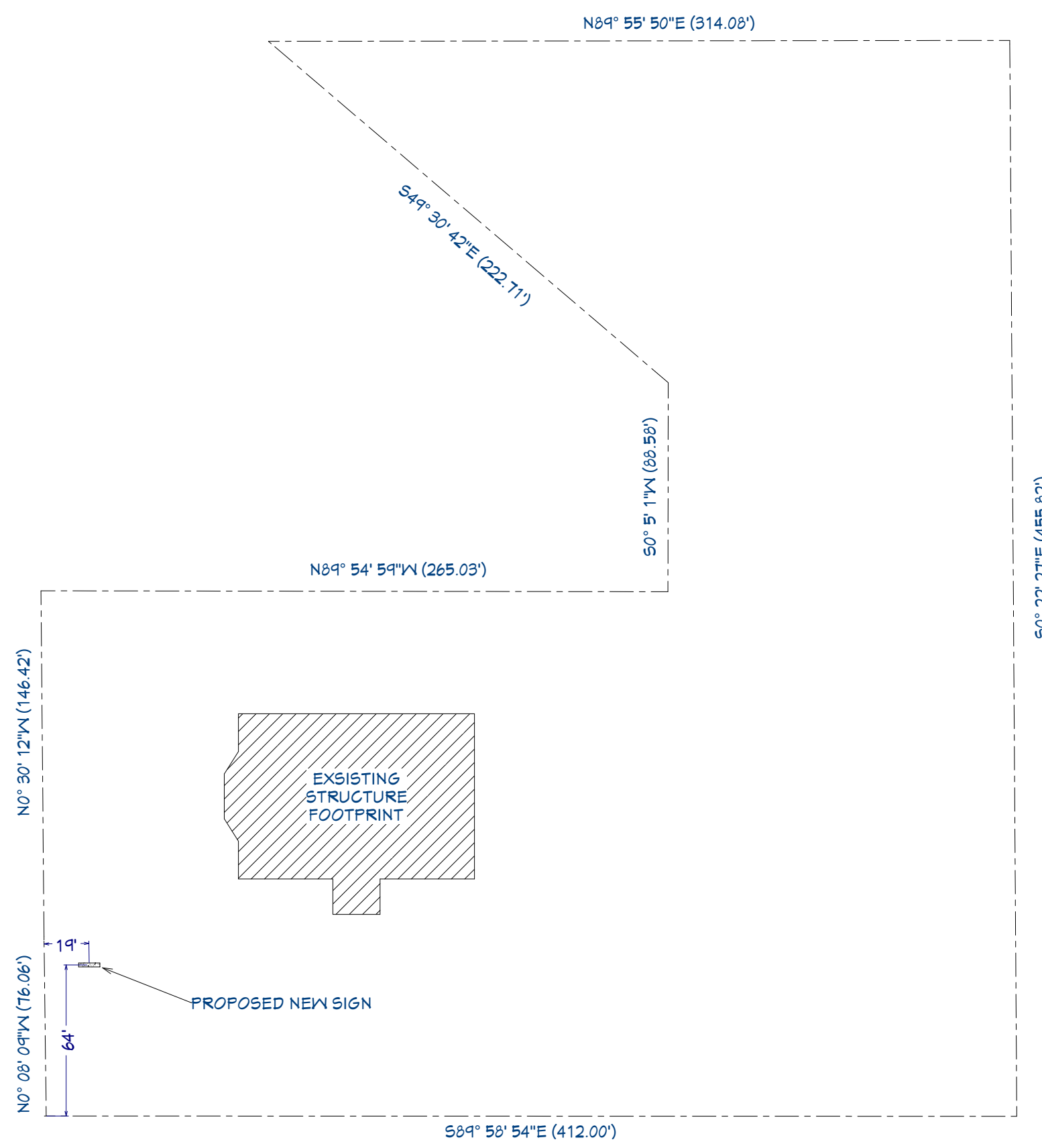


5/31/2024, 9:47:11 AM

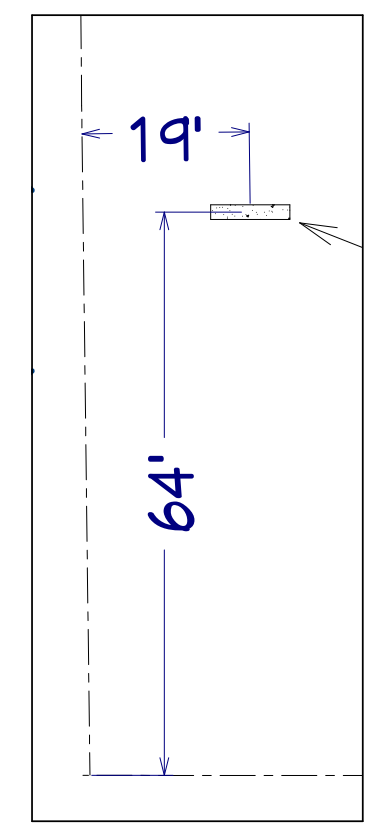
- |                 |                              |            |                                 |                           |                      |                   |                                |                   |       |
|-----------------|------------------------------|------------|---------------------------------|---------------------------|----------------------|-------------------|--------------------------------|-------------------|-------|
| PRV Station     | Water Valves                 | 100 North  | Sewer                           | Junction Box Secondary    | Power Pole Secondary | Pad               | Blow Out                       | Gravity           | Sewer |
| Culinary Leaks  | Powerlines Feeders           | 46 kV      | Secondary                       | Junction Box Single Phase | Reclosure            | Transmission Pole | Service Line                   | Irrigation Leaks  | 4"    |
| Service Line    | No Feeder cct Value Assigned | Canyon     | Locations                       | Pole Millers Private      | Regulators           | Sumps             | Pressurized Mains              | Irrigation Valves | 6"    |
| Fire Water Line | Hammer #1                    | Lincoln    | No Location Type Value Assigned | Pole Private              | Sub Station          | Storm Drain MH    | Irrigation Valves within Parks | Irrigation Valves | 8"    |
| Fire Hydrants   | Hammer #2                    | MC         | Building                        | Pole US West              | Switch Fuse          | Storm Drain CB    | Lift Station                   | Lift Station      | 10"   |
| Water Meters    | Hammer #3                    | RMP        | Decorative Pole                 | Power Meters              | Switch Gear          | Retention Basins  | Cleanout                       | Cleanout          | 12"   |
| Water Mains     | Hammer #4                    | Ridgecrest | Junction Box 3 Phase            | Power Pole Primary        | Transformer          | Outfalls          |                                |                   | 15"   |



Maxar, Microsoft, City and JUB engineering



**SITE PLAN**  
SCALE: 1" = 25'



**PROPOSED SIGN PLACEMENT**  
SCALE: 1" = 10'

IF PLANS ARE PRINTED ON 11 X 17 SHEETS (ARCH B) USE 1/2 THE SCALE NOTED

SHEET TITLE:					
SITE PLAN					
CLIENT:	JESSE VEGA	JOB #:		PLAN #:	
DRAWINGS PROVIDED BY:				REVISION	
NAME:	KADE CARLISLE			#	REV. BY
E-mail:	CDHOUSEPLANS.CONTACT@GMAIL.COM			DATE:	5/8/2024
Contact:	Phone:	435-890-0432 CALL OR TEXT		SCALE:	1" = 1'-0"
Web:	FACEBOOK: C.D. HOUSEPLANS			SHEET:	2

**PHOENIX ACADEMY**  
**SITE PLAN**  
**PLANNING COMMISSION MEETING**  
**MAY 9, 2024**

Summary: Mandy Kapp (Phoenix Academy) is seeking site plan approval to create a micro-educational facility at 471 East 600 South. This is located on an existing residential parcel of approximately 0.46 acres.

ZONING: R-2 Residential

UTILITIES:

Power:	Existing
Culinary:	Existing
Sewer:	Existing
Irrigation:	Existing

PARKING & ROADS: Existing

NOTES:

Site will provide off street parking for employees. Paving will need to be provided in any parking areas.

Limited hours of operation of daytime use are expected.

Site will require a new certificate of occupancy due to change in occupancy from a single family residence to educational facility.

Improvements and occupancy will need to be coordinated with the Fire Chief.



# Phoenix Academy Site Plan

## Introduction

We are creating a micro educational entity called Phoenix Academy. Our plan is to recreate a version of the one room school house - a place where kids of different ages can come to learn together and find joy in the learning process. We believe that all children are born with the tools and talents they need to be self-driven, think critically, and focus on their community. Education should provide an encouraging environment, real accountability, challenging tasks, materials to work with, tools to find correct information, freedom to work collaboratively, and most of all, the courage to act and accomplish their chosen goals. By creating a safe space for these intelligent minds to move, communicate, make big mistakes, and grow at their own pace, we hope to help them reach toward self-actualization—the process of rising toward their full potential as whole and confident human beings.

For more information on the school, visit <https://www.phoenixacademylearners.com/>

We are currently in negotiations to run the school out of a residential property in Hyrum Utah. The school will rent the property from the owner.

The images included below are included to give a better picture of what we are doing with the property for Phoenix Academy.

### 1. Location of Building

The property at 471 East 600 South Hyrum, Utah 84319 will be used as a micro educational entity. On average 30-45 students (maximum of 60) will be on the premises Monday-Friday from 9:00-3:30. These operating times may vary slightly depending on pick up, drop off, and times of activities; but the hours of operation will be close to these times. There will also be parents/guides on the premises during these times to teach/manage the school day. How many adults on site will be dependent on our final enrollment numbers.

### 2. Traffic Circulation

Parents will drop off/pick up students in the traffic pattern shown on Image A, and the location of drop off/pickup on Image C. Traffic for pickup and drop off will come west on 600 South. Parents will pull to the nearside curb in front of the home where one of our staff will greet the student. Parents will then continue west on 600 south, and turn north on 400 East to exit. We have instructions that will be communicated to parents to make this as quick as possible so we do not disrupt traffic for longer than necessary.

We are currently estimating 30-45 students total, with a maximum of 60 students. The founders of the school have 15 children between the four of us, which means those 15 will not be part of the pickup/drop off line. Pickup and drop off will include the additional 15-30 students being dropped off each day. Most of the families have multiple children, so the traffic will not be for that many individual cars coming/going each day.

### 3. Height and Bulk of Buildings

See Images D and E below for a front view of the house and landscaping.

#### 4. Provisions of off-street parking space

THIS WOULD PROBABLY REQUIRE PAINTED CURB WITH SIGNAGE FOR NO PARKING DURING DROP-OFF HOURS

This school will be one where parents drop their students off for the day, then pick them up at the allotted time. Therefore, off-street parking will only be needed for the staff of the school. The three car garage provides a large enough driveway for three vehicles. There is also a gravel patch next to the driveway to the east. This provides additional parking space for our employees. Our plan as founders is to carpool our kids as often as possible to reduce traffic and parking needs. The number of adults parking and staying at the building each day will depend on our final enrollment numbers. Two adults will always be present during business hours. Even at full capacity, the number of adults each day will not exceed four vehicles. So the parking currently in place is sufficient for the needs of the staff. See Image B For an overview of gravel parking to the right of the driveway.

GRAVEL PARKING SHALL BE PAVED 17.28.260

#### 5. Provisions for Driveways for ingress and egress

Driveways have been poured previously and have passed inspection.

#### 6. Provisions of Other Space on Site

The property has a large .46 acre lot that will accommodate the children during outside play/recess times. See Image C for some of the proposed improvements. The backyard will also be fully fenced which will keep the students on the property, and help with privacy for neighbors. The backyard will be landscaped with grass, fruit trees, a garden spot, possibly a small spot for smaller animals, such as chickens and bunnies (the property is zoned to allow such). There will be some sort of climbing structure, a mud kitchen, and possibly swings for the kids to play on.

#### 7. Display of Signs Theron

We are not currently planning on displaying a sign. At a future date, the children may design a flag to hang from the front of the house.

#### 8. Property Owner's Name & Address

The property is currently owned by Annette Francis. It is under contract with Mandy Kapp for purchase, dependent on business licensing for the school going through. The school will rent the property from Mandy Kapp.

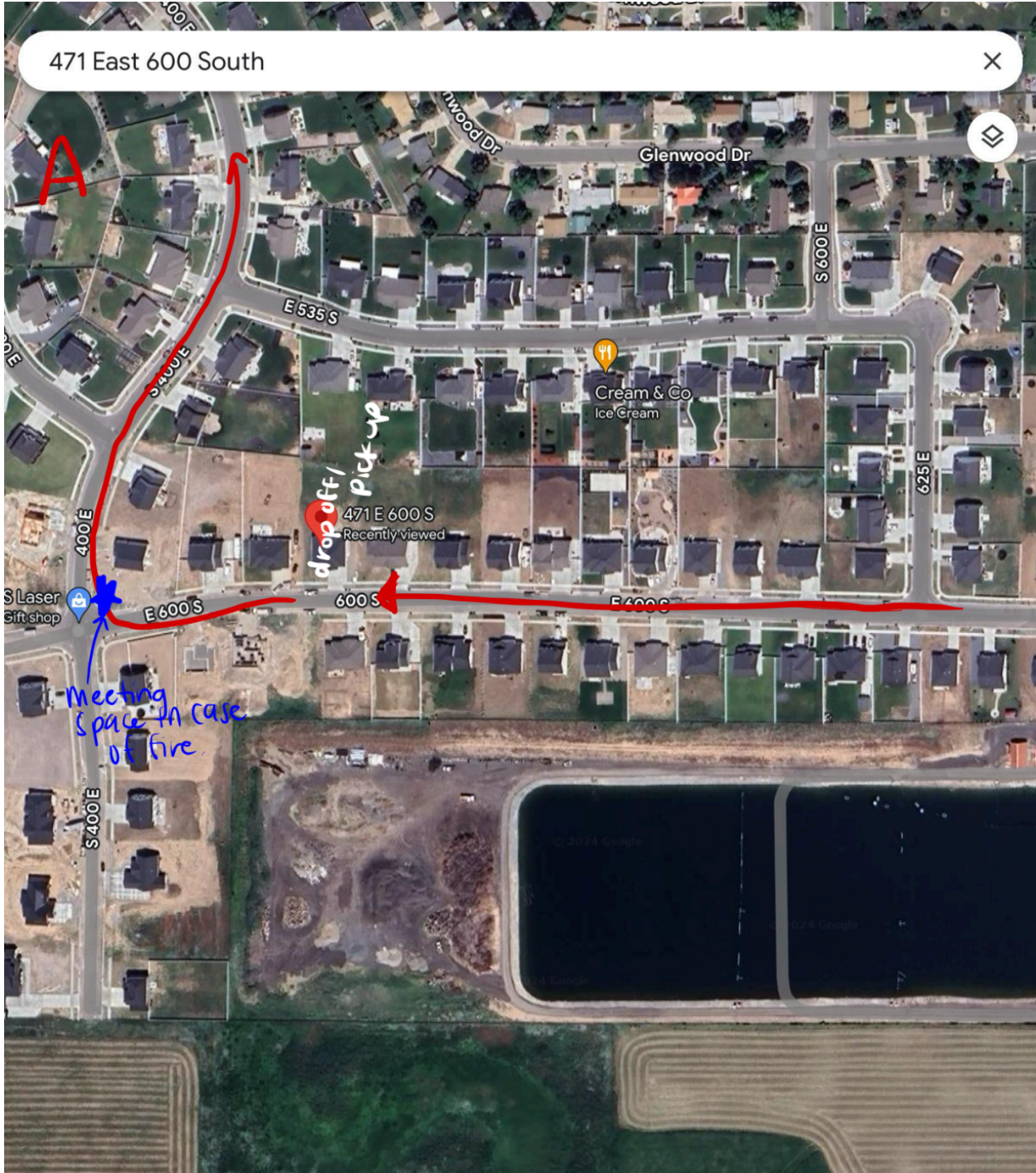
THE BUILDING WAS DESIGNED TO BE A HOME, APPLICANT WILL BE RESPONSIBLE TO CHECK IF OCCUPANCY CHANGE WILL REQUIRE ANY ADDITIONAL CHANGES TO THE STRUCTURE AS REQUIRED IN THE BUILDING OR FIRE CODE? **9. Provisions for Fire Officials**

The main building (the house) that will be used for the school was built in 2022 and is current with regard to all building and fire codes. (See Image F for floor plans and details). The house is equipped with CO<sub>2</sub> detectors and fire alarms in each room. All windows and doors are up to the current building and fire code standards. In the basement all lower level windows are large enough to crawl out of and the window wells have ladders to help the students get away from the property safely and quickly in the event of a fire. There is also an outside door in the basement that leads to stairs leading to the back yard. On the main floor there are multiple doors leading outside, and large windows in every room allowing the students to escape outside, in the event of a fire. Each adult employee of the school will have a cell phone that they are able to make a call to report fires or other emergencies.

Each employee of the school will be CPR, First Aid and AED trained and certified. In case of emergency, the point of contact will be Jessica Kapp, the school's director. Her phone number is (435) 890-9734. In the event of an emergency, students and employees will evacuate the building using the closest exit point. Everyone will meet at the northeast corner of 400 E and 600 S. This place is indicated on map A with a blue star. Attendance will then be taken to make sure that each child and employee are accounted for. We plan to utilize fire drills to practice this escape plan with our staff and students.

#### **10. Provisions for Snow Removal on Site**

Snow removal from the driveway and sidewalks in front of the school will be removed by the employees of the school. Snow removal from the road will be covered by Hyrum City, just as the normal procedure for residential areas.



**Image A:** Aerial view of the property and surrounding neighborhood, Direction of traffic for pickup/dropoff





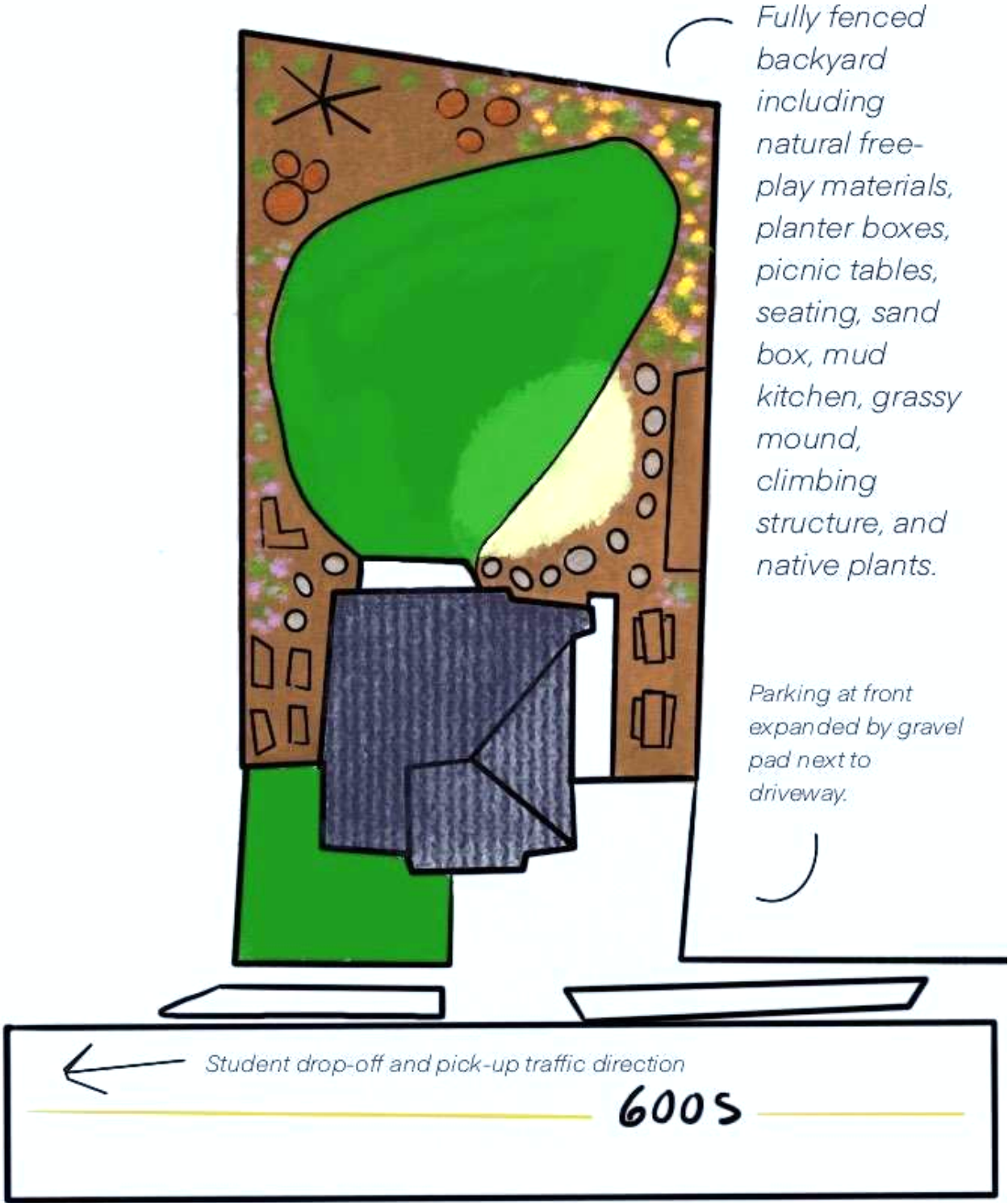
**Image B:** Satellite image overview of the lot. Front yard is fully landscaped already with a gravel pad next to the driveway for additional parking.

→ NO PARKING DURING DROP-OFF PICK-UP TIMES (8AM-4PM?) ←

ANY SPACE TO BE USED AS PARKING WILL NEED TO BE PAVED

HAVE ANY CONSIDERATIONS BEEN GIVEN TO ADA ACCESS? CAN SCHOOL EXCLUDE ADA STUDENTS, PARENTS, INSPECTORS, ETC.? STUDENTS WITH TEMPORARY INJURIES WILL STILL NEED ACCESS AS WELL.

ADA PARKING IS MINIMUM 1 STALL. VAN ACCESS/UNLOADING ZONE?



**Image C:** Property Site Plan - Proposed landscaping for backyard, Employee parking in front, Drop off/pickup site



**Image D:** Front View of House





**Image E:** Front yard landscaping



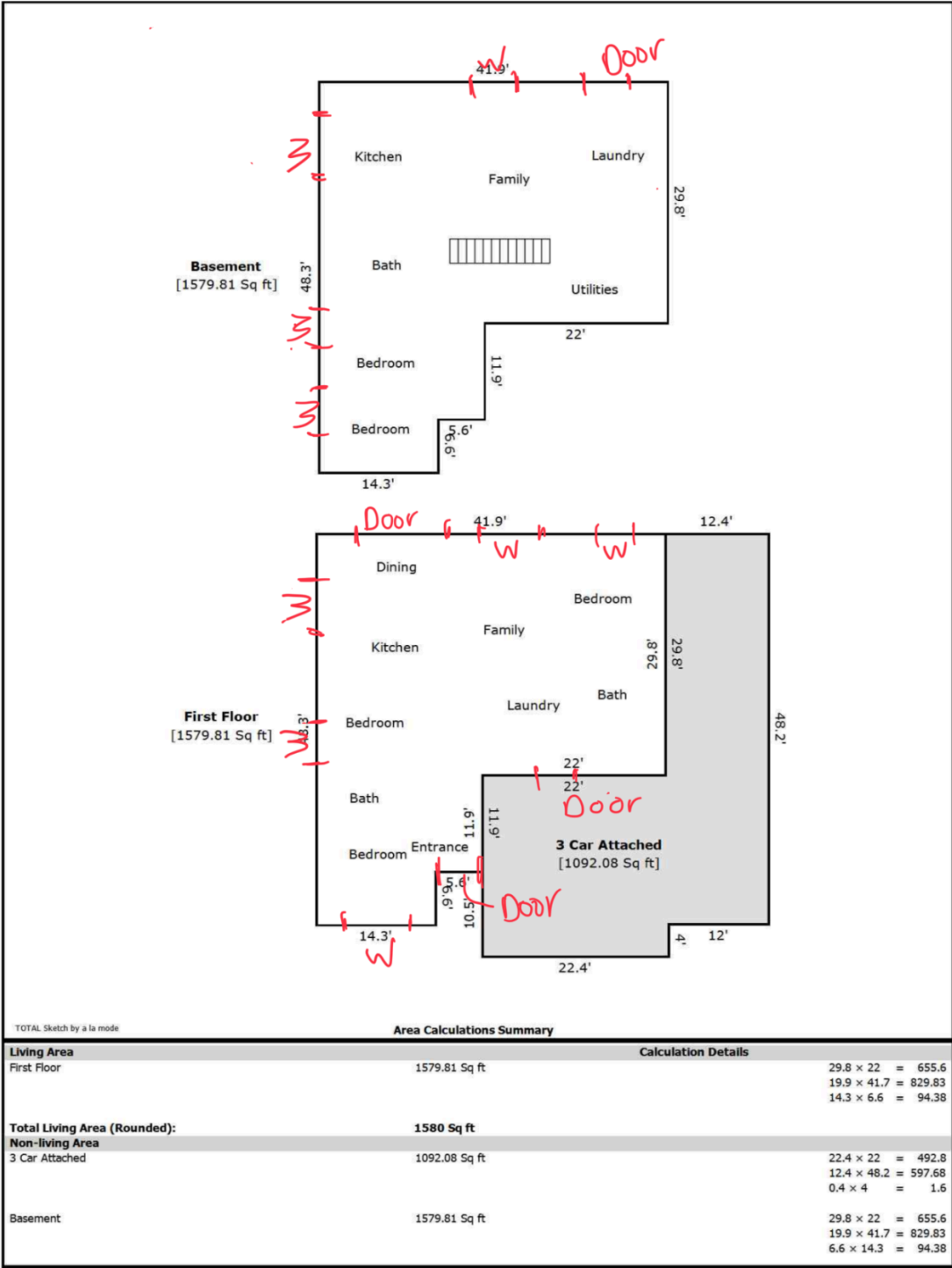


Image F: Floor plans of the house proposed for school