



PLANNING COMMISSION MEETING

Thursday, May 09, 2024 at 6:30 PM
Council Chambers, 60 West Main, Hyrum, Utah

AGENDA

Public notice is hereby given of a Hyrum Planning Commission Meeting to be held in the Council Chambers, 60 West Main, Hyrum, Utah at 6:30 PM, May 09, 2024. The proposed agenda is as follows:

1. **ROLL CALL**
2. **PLEDGE OF ALLEGIANCE**
3. **INVOCATION**
4. **APPROVAL OF MINUTES**
 - A. 03/14/2024
5. **AGENDA APPROVAL**
6. **PUBLIC HEARING**
 - A. The purpose of this hearing is to receive public comments regarding an amendment to Section 15.08.095 of Title 15 of Hyrum City Municipal Code to change the allowed location of garbage dumpsters used at construction sites. The change will propose that dumpsters will be required to be kept on private property and prohibit keeping them on the road in excess of 48 hours.
 - B. The purpose of this hearing is to receive public comments regarding a planned unit development located at approximately 470 West 400 North. The development proposes to construct 24 twin family homes on approximately 2.8 acres. The ground is currently vacant and has been used primarily for agricultural purposes.
7. **SCHEDULED DELEGATIONS**
 - A. The Church of Jesus Christ of Latter-day Saints- seeking site plan approval to enlarge their meeting house and expand the parking lot located at 95 North 675 West.
 - B. Hyrum City- looking for planning commission recommendations for changes to the code.
 - C. Todd Horman and Chris Scholle- seeking concept plan approval for a planned unit development located at approximately 470 West 400 North. The development proposes 24 twin-family homes on approximately 2.8 acres.

8. ADJOURNMENT

Shara Toone
Secretary

Commission Members may participate in the meeting via telephonic communication. If a Commission Member does participate via telephonic communication, the Commission Member will be on speakerphone. The speakerphone will be amplified so that the other Commission Members and all other persons present in the Commission Chambers will be able to hear all discussions. In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify Hyrum City Planning Commission at 435-245-6033 at least three working days before the meeting.

CERTIFICATE OF POSTING - The undersigned, duly appointed and acting City Secretary of Hyrum City, Utah, does hereby certify that a copy of the foregoing Notice was posted on the Utah Public Notice Website and Hyrum City's Website, provided to each member of the governing body, and posted at the City Offices, 60 West Main, Hyrum, Utah, this 6th day of May, 2024. Shara Toone, Secretary

MINUTES OF A REGULAR MEETING OF THE HYRUM CITY PLANNING COMMISSION HELD March 14, 2024 AT THE HYRUM CITY COUNCIL CHAMBERS, 60 WEST MAIN, HYRUM, UTAH.

CONVENED: 6:30 P.M.

CONDUCTING: Chairman Brian Carver

PRESENT: Chairman Brian Carver, Commissioners Blake Foster, Stephen Nelson, and Paul Willardson.

EXCUSED: Vice Chairman Angi Bair

CALL TO ORDER: There being four present and four representing a quorum, Chairman Brian Carver called the meeting to order.

OTHERS PRESENT: Zoning Administrator Matt Holmes and three citizens. Secretary Shara Toone recorded the minutes.

PLEDGE OF ALLEGIANCE: Commissioner Stephen Nelson led the governing body and the citizens in the Pledge of Allegiance.

INVOCATION: Commissioner Paul Willardson

APPROVAL OF MINUTES:

The minutes of a regular meeting held on February 8, 2024 were approved as written.

ACTION Commissioner Stephen Nelson made a motion to approve the minutes of February 8, 2024 as written. Commissioner Paul Willardson seconded the motion and Commissioners Carver, Foster, Nelson, and Willardson voted aye.

AGENDA APPROVAL:

A copy of the notice and agenda for this meeting was posted on the Utah Public Notice Website and Hyrum City's website, distributed to each member of the Planning Commission, and posted at the City Offices more than forty-eight hours before meeting time.

ACTION Commissioner Paul Willardson made a motion to approve the agenda for March 14, 2024 with the amendment to change the order of agenda items six and seven. Commissioner Blake Foster seconded the motion and

Commissioners Carver, Foster, Nelson, and Willardson voted aye.

6. OTHER BUSINESS

A. PC Terms - To review appointment terms of Planning Commission members.

7. SCHEDULED DELEGATIONS

A. Dominion Energy - Seeking site plan approval for a pressure regulation station to serve Hyrum for existing and future customers.

OTHER BUSINESS:

PC TERMS- TO REVIEW APPOINTMENT TERMS OF PLANNING COMMISSION MEMBERS.

Chairman Brian Carver advised the appointment terms for each member.

SCHEDULED DELEGATIONS:

DOMINION ENERGY- SEEKING SITE PLAN APPROVAL FOR A PRESSURE REGULATION STATION TO SERVE HYRUM FOR EXISTING AND FUTURE CUSTOMERS.

Zoning Administrator Matt Holmes said Dominion is bringing in a new 8 inch high-pressure gas line to replace the current 4 inch gas line that is in Hyrum. He said Dominion wants to get the new regulator station commissioned before the new heating season starts.

Commissioner Paul Willardson asked what the station does.

Melissa Dizdarebic said the regulator station takes high pressure natural gas and decreases that pressure to put it into homes and residential areas. She said it takes pressure off of one of their steel lines (a distribution line) and brings it to intermediate high pressure, which is below 45 pounds.

Kevin Mulvey said Hyrum City is growing and this updated station will help with that growth.

Zoning Administrator Matt Holmes said that this station will also help feed the city's new powerplant.

Melissa said this larger station will be able to accommodate the city growth and the powerplant.

Commissioner Paul Willardson asked how much noise should be expected.

Kevin said to expect ambient noise. He said he has seen these built in subdivisions.

Melissa added the noise is compared to ambient traffic noise. There are 8 ft walls that block out a lot of the noise. She said it is similar to living on a busy street, and if a neighbor were ever to deem the noise excessive, they could do a study and take measures to reduce the sound.

Commissioner Blake Foster asked if it will have a roof.

Melissa answered that it will.

Zoning Administrator Matt Holmes said the entire site will be walled.

Commissioner Stephen Nelson asked what the walls are made of.

Melissa responded that they are pre-cast concrete.

Commissioner Paul Willardson asked if there are any safety concerns.

Melissa said that she lives in Midvale, and that there is one right by the city park.

Commissioner Stephen Nelson said there are concerns about the concrete access drives.

Zoning Administrator Matt Holmes said the options are either build a curb, or bring it back a little bit with asphalt and then bring it back up.

Melissa said they will do concrete part of the way out and an asphalt approach before the concrete. She said they will decrease the water meter size to a $\frac{3}{4}$ inch water meter.

Commissioner Blake Foster asked if the area around the building will be paved or graveled.

Kevin said the yard will be graveled. He said there will be weed

barrier, and the weeds will be sprayed regularly.

Commissioner Stephen Nelson asked if a side triangle is okay for the 8 ft wall, where it is a corner on a busy intersection.

Zoning Administrator Matt Holmes said they usually measure 40 ft back from the curb or the edge of the pavement. He added that according to their plans, there shouldn't be any issues.

Commissioner Blake Foster asked if they were decommissioning the old station by tearing it down and flattening it out.

Melissa said they will probably sell it back to the original owner or sell it to someone else.

Zoning Administrator Matt Holmes said that according to his memory, the site was going to be all solar. He asked if there would be a light in the building.

Melissa said there usually is a light inside the building in case something happens during the night.

Chairman Brian Carver asked if there would be external lighting.

Kevin answered that there wouldn't be exterior lighting because they do not need it and they don't want to draw attention to the area.

Commissioner Blake Foster asked when they hope to have it up and running.

Melissa responded that they will definitely have it up and running by fall.

ACTION

Chairman Stephen Nelson made a motion to recommend approval for a pressure regulation station to serve Hyrum for existing and future customers, subject to the redlines that are listed on the drawings in the packet (asphalt, driveway, water meter). Commissioner Paul Willardson seconded the motion and Commissioners Carver, Foster, Nelson, and Willardson voted aye.

ADJOURNMENT:

ACTION

There being no further business before the Planning

Commission, the meeting adjourned at 7:00 p.m.

Brian Carver
Chairman

ATTEST:

Shara Toone
Secretary

Approved: _____
As Written

**15.08.095 CONSTRUCTION DEPOSITS – LOT
IDENTIFICATION**

CITY CODE AMENDMENT

PLANNING COMMISSION MEETING

MAY 9, 2024

Summary: Construction dumpsters have become an issue on public streets. City employees involved in code enforcement and road maintenance have expressed concerns over allowing dumpsters to be placed on city right of way.

ZONING: All Zones

Action: Staff is looking for planning commission recommendations for changes to the code.

NOTES: Dumpsters placed on the right of way interfere with maintenance issues such as resurfacing, plowing, cleaning, etc. Often contractors hired to resurface asphalt must work around obstructions causing them to return later to finish the work.

Poorly placed dumpsters can interfere with emergency vehicle access. When combined with construction parking and deliveries, access can be severely restricted.

Many dumpsters do not have markings allowing them to be easily seen during night or poor visibility conditions. Residents have reported near misses with dumpsters, especially when the new developments have changed the existing travel patterns.

The current code does not allow vehicles and trailers to remain in the same location for more than 48 hours. Dumpsters are often left for weeks to months.

15.08.095 Construction Deposits - Lot Identification

- A. To ensure repair of any and all damage to city property, including but not limited to, damage to sidewalks, curb and gutters, roadways, utility systems, etc., Hyrum City requires a construction deposit for new residential or new commercial construction and residential and commercial remodel. The Hyrum City Council sets the Construction Deposit fee by resolution and such deposit will be refunded in whole or in part following final inspection and completion of landscaping requirements as required in the landscaping ordinance. All or part of the deposit may be forfeited to repair damage to city infrastructure occurring during construction in addition to failure to supply waste containment and/or occupation of building prior to receiving certificate of occupancy.
- B. Before a building is occupied a final inspection must be made and a Certificate of Occupancy given. Violation of this item will result in the forfeiture of the Contractor Deposit. All subdivision improvements must be completed, or approval given by the City Engineer, before occupancy permits will be issued for any dwellings.
- C. A garbage dumpster is required at each construction site. This dumpster shall not be stored on an accepted city street in excess of 48 hours. The dumpster shall be stored on private property for any time exceeding this period. If stored in the public right of way, the dumpster shall possess reflective decals or be marked with traffic delineators sufficient to not constitute a driving hazard appropriate to the driving conditions. Under no circumstances is the dumpster allowed to obstruct traffic or be placed in the traveled way. Placement of the dumpster may never restrict the travel of emergency vehicles. Violation of this requirement will result in the forfeiture of all or a portion of the Contractors Deposit.
- D. The street address and lot number must be prominently posted on construction site. Construction may not begin and utility services will not be provided until address is posted. (Ord. 08-06; Ord. 05-16)

COUNTRY LIVING P.U.D.
CONCEPT PLAN
PLANNING COMMISSION MEETING
MAY 9, 2024

Summary: Todd Horman and Chris Scholle are seeking concept plan approval for a planned unit development located at approximately 470 West 400 North. The development proposes 24 twin-family homes on approximately 2.8 acres.

ZONING: R-2 Residential

UTILITIES:

Power:	Available
Culinary:	Available
Sewer:	Available
Irrigation:	Available

PARKING & ROADS: Developer would need provide curb, gutter, and sidewalk along the frontage and pave at the appropriate half-width.

NOTES: This property was approved as a three-lot mini-subdivision in 2022. This development is located near several industrial businesses.

As a legislative action, this development will not have vested rights until the final plat approval is issued by the City Council.

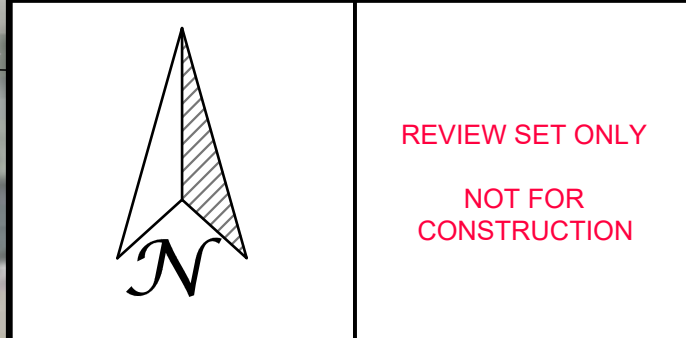


435-515-0126
jackson@whitepineeng.com
tom@whitepineeng.com
P.O. BOX 669
HYDE PARK, UTAH
84318

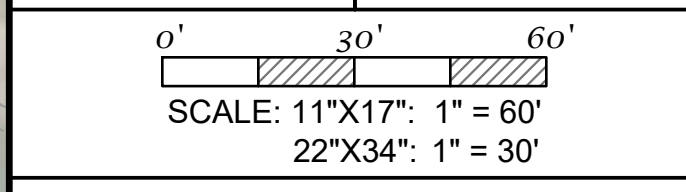
NO.	DESCRIPTION	DATE

COUNTRY LIVING P.U.D.
488 WEST 400 NORTH
HYRUM, UTAH

NEED NAME AND ADDRESS OF OWNER
NUMBER OF LOTS, ACREAGE, LOT SIZES, (THIS CAN BE A RANGE).
DESCRIPTION OF WATER SYSTEM (PRIVATE VS PUBLIC) WITH EXTENTS.
DESCRIPTION OF SEWER SYSTEM.
WRITTEN STATEMENT OF INTENT FOR DEVELOPMENT INCLUDING A SUMMARY OF THE FEASIBILITY, DESIGN AND IMPACT.
SOILS MAP
<https://websoilsurvey.nrcs.usda.gov/app/WebSoilSurvey.aspx>



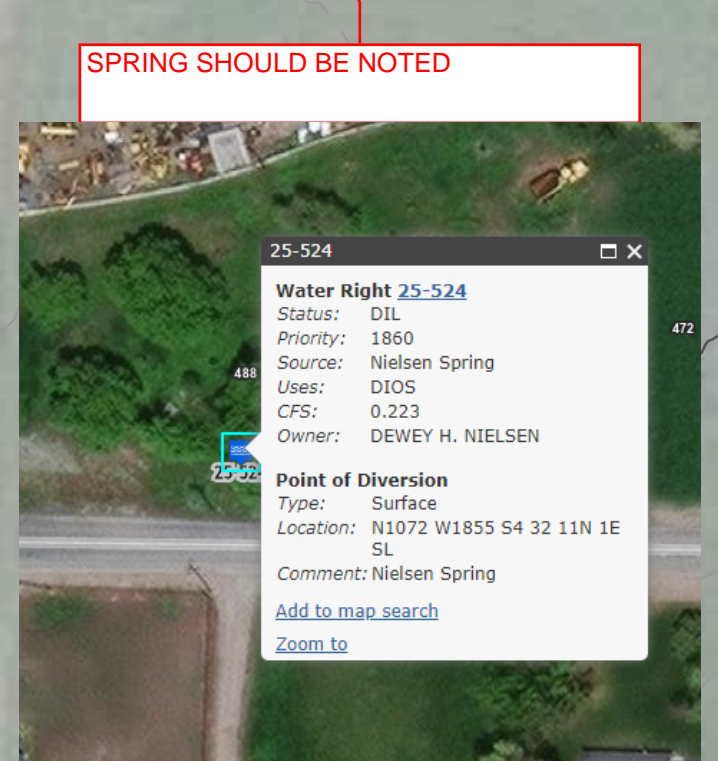
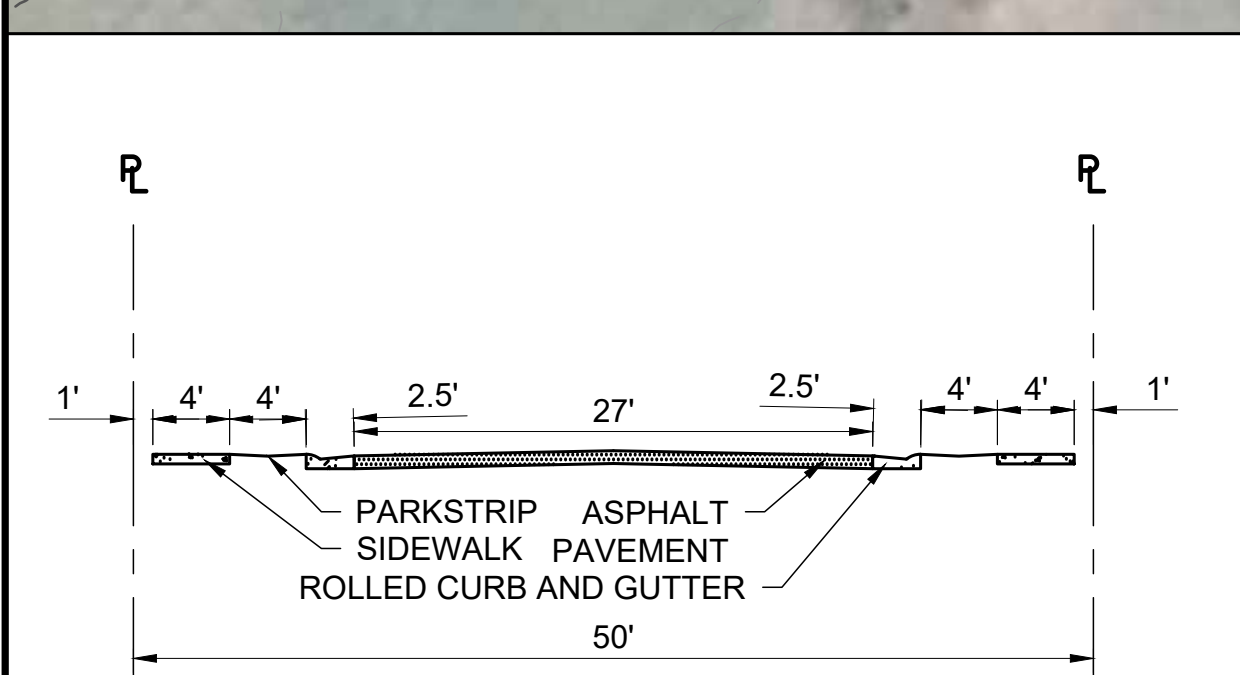
REVIEW SET ONLY
NOT FOR CONSTRUCTION



DESIGNED BY: T. HILL
CHECKED BY: J. SAGERS

SHEET TITLE:

SITE CONCEPT
C-101



A 50' ROW ROAD SECTION
NOT TO SCALE

2022-3434

Country Living on 400 North "MINI" Subdivision

A PART OF THE SOUTHWEST QUARTER OF SECTION 32, T11N, R1E, S.L.B.&M.
HYRUM, CACHE COUNTY, UTAH
Containing 3.00 Acres and 3 Lots



February 21, 2022

SURVEYOR'S CERTIFICATE

I, JEFF C. NIELSEN, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 5152661 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS HEREAFTER TO BE KNOWN AS: ZX INVESTMENTS "MINI" SUBDIVISION 2 AND THE SAME HAS BEEN CORRECTLY SURVEYED AND ALL STREETS ARE THE DIMENSIONS SHOWN.

Boundary Descriptions

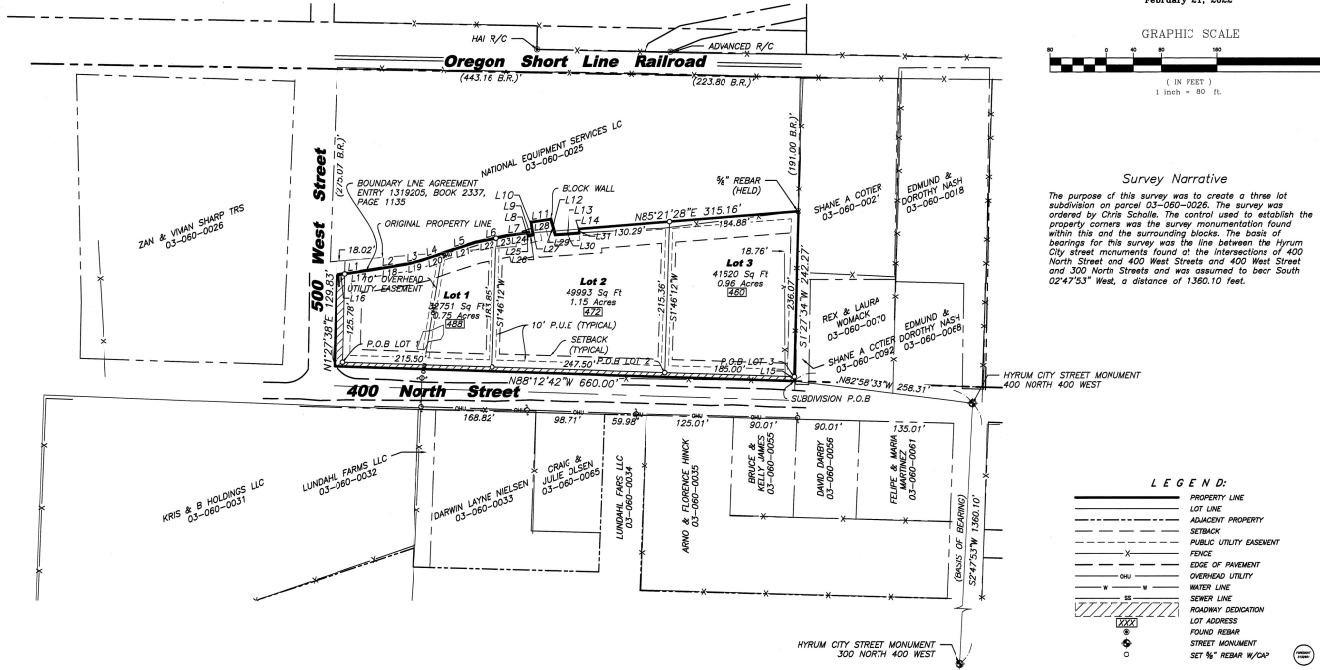
LOT 1
A PART OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 11 NORTH, RANGE 1 EAST, OF THE SALT LAKE BASE AND MERIDIAN MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF 400 NORTH STREET AND THE EAST RIGHT-OF-WAY LINE OF 500 WEST STREET POINT LOCATED NORTH 82°28'33" WEST, A DISTANCE OF 258.31 FEET AND NORTH 01°27'34" EAST, A DISTANCE OF 6.20 FEET; AND NORTH 88°12'42" WEST, A DISTANCE OF 648.00 FEET FROM THE HYRUM STREET MONUMENT IN THE INTERSECTION OF 400 NORTH AND 400 WEST FROM WHICH THE HYRUM STREET MONUMENT IN THE INTERSECTION OF 300 NORTH AND 400 WEST BEARS SOUTH 02°47'53" WEST, A DISTANCE OF 1,360.10 FEET; THENCE NORTH 01°27'38" EAST, A DISTANCE OF 125.78 FEET TO A BOUNDARY LINE AGREEMENT RUNNING ALONG THE SOUTH SIDE OF A CONCRETE BLOCK WALL, THENCE RUNNING ALONG SAID LINE THE FOLLOWING SIX (6) COURSES: (1) NORTH 81°37'52" EAST, A DISTANCE OF 38.27 FEET; (2) NORTH 80°39'11" EAST, A DISTANCE OF 30.15 FEET; (3) NORTH 76°48'00" EAST, A DISTANCE OF 22.80 FEET; (4) NORTH 70°54'57" EAST, A DISTANCE OF 38.39 FEET; (5) NORTH 72°22'21" EAST, A DISTANCE OF 43.96 FEET; (6) NORTH 78°16'36" EAST, A DISTANCE OF 49.53 FEET TO THE NORTHWEST CORNER OF LOT 2 OF THE ZX INVESTMENTS "MINI" SUBDIVISION 2; THENCE SOUTH 01°46'49" WEST, ALONG THE WEST LINE OF SAID LOT 1 A DISTANCE OF 188.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF 400 NORTH STREET; THENCE NORTH 88°12'42" WEST, ALONG SAID RIGHT-OF-WAY A DISTANCE OF 215.50 FEET TO THE POINT OF BEGINNING, CONTAINING 0.75 ACRES.

LOT 2
A PART OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 11 NORTH, RANGE 1 EAST, OF THE SALT LAKE BASE AND MERIDIAN MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE NORTH RIGHT-OF-WAY LINE OF 400 NORTH STREET POINT LOCATED NORTH 82°28'33" WEST, A DISTANCE OF 258.31 FEET AND NORTH 01°27'34" EAST, A DISTANCE OF 6.20 FEET; AND NORTH 88°12'42" WEST, A DISTANCE OF 185.00 FEET FROM THE HYRUM STREET MONUMENT IN THE INTERSECTION OF 400 NORTH AND 400 WEST FROM WHICH THE HYRUM STREET MONUMENT IN THE INTERSECTION OF 300 NORTH AND 400 WEST BEARS SOUTH 02°47'53" WEST, A DISTANCE OF 1,360.10 FEET; THENCE NORTH 82°58'33" WEST, A DISTANCE OF 247.50 FEET TO THE SOUTHWEST CORNER OF LOT 1 OF THE ZX INVESTMENTS "MINI" SUBDIVISION 2; THENCE NORTH 01°46'49" EAST, ALONG THE EAST LINE OF LOT 1 OF SAID SUBDIVISION A DISTANCE OF 183.85 FEET TO A BOUNDARY LINE AGREEMENT RUNNING ALONG THE SOUTH SIDE OF A CONCRETE BLOCK WALL, THENCE RUNNING ALONG SAID LINE THE FOLLOWING NINE (9) COURSES: (1) NORTH 78°16'36" EAST, A DISTANCE OF 18.66 FEET; (2) NORTH 82°58'33" EAST, A DISTANCE OF 28.85 FEET; (3) SOUTH 14°35'31" WEST, A DISTANCE OF 4.92 FEET; (4) NORTH 76°41'48" EAST, A DISTANCE OF 8.52 FEET; (5) NORTH 05°33'27" WEST, A DISTANCE OF 6.38 FEET; (6) NORTH 81°15'41" EAST, A DISTANCE OF 27.38 FEET; (7) SOUTH 15°34'54" EAST, A DISTANCE OF 23.24 FEET; (8) NORTH 85°51'47" EAST, A DISTANCE OF 35.88 FEET; (9) NORTH 04°38'32" WEST, A DISTANCE OF 6.18 FEET; THENCE NORTH 80°21'28" EAST, A DISTANCE OF 150.29 FEET TO THE NORTH RIGHT-OF-WAY LINE OF 400 NORTH STREET; THENCE SOUTH 01°46'12" WEST, ALONG THE WEST LINE OF SAID LOT 1 A DISTANCE OF 215.36 FEET TO THE POINT OF BEGINNING, CONTAINING 1.15 ACRES.

LOT 3
A PART OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 11 NORTH, RANGE 1 EAST, OF THE SALT LAKE BASE AND MERIDIAN MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE NORTH RIGHT-OF-WAY LINE OF 400 NORTH STREET POINT LOCATED NORTH 82°28'33" WEST, A DISTANCE OF 258.31 FEET AND NORTH 01°27'34" EAST, A DISTANCE OF 6.20 FEET FROM WHICH THE HYRUM STREET MONUMENT IN THE INTERSECTION OF 400 NORTH AND 400 WEST FROM WHICH THE HYRUM STREET MONUMENT IN THE INTERSECTION OF 300 NORTH AND 400 WEST BEARS SOUTH 02°47'53" WEST, A DISTANCE OF 1,360.10 FEET; THENCE NORTH 88°12'42" WEST, ALONG SAID RIGHT-OF-WAY A DISTANCE OF 185.00 FEET; TO THE SOUTHWEST CORNER OF LOT 1 OF THE ZX INVESTMENTS "MINI" SUBDIVISION 2; THENCE NORTH 01°46'12" EAST, ALONG THE EAST LINE OF SAID LOT 2 A DISTANCE OF 215.36 FEET; THENCE NORTH 80°21'28" EAST, A DISTANCE OF 184.88 FEET; THENCE SOUTH 01°27'34" WEST, A DISTANCE OF 236.07 FEET TO THE POINT OF BEGINNING, CONTAINING 0.9555 ACRES.

SHEET 1 OF 1

Parcel Line Table	Line #	Length	Direction
L1	50.45	N81°37'52"E	
L2	50.15	N80°39'11"E	
L3	22.80	N78°48'00"E	
L4	38.39	N70°54'57"E	
L5	43.96	N72°02'21"E	
L6	49.53	N78°16'36"E	
L7	25.85	N82°01'35"E	
L8	4.82	S10°43'38"E	
L9	8.52	N78°41'48"E	
L10	18.39	N85°27'27"W	
L11	27.38	N81°15'41"E	
L12	23.24	S15°34'54"E	
L13	35.88	N85°51'47"E	
L14	6.18	N4°38'32"W	
L15	6.20	N1°27'34"E	
L16	12.18	S81°37'52"W	
L17	38.27	N81°37'52"E	
L18	50.15	N80°39'11"E	
L19	22.80	N78°48'00"E	
L20	38.39	N70°54'57"E	
L21	43.96	N72°02'21"E	
L22	30.87	N78°16'36"E	
L23	18.66	N78°16'36"E	
L24	25.85	N82°01'35"E	
L25	4.82	S10°43'38"E	
L26	8.52	N78°41'48"E	
L27	18.39	N85°27'27"W	
L28	27.38	N81°15'41"E	
L29	23.24	S15°34'54"E	
L30	35.88	N85°51'47"E	
L31	6.18	N4°38'32"W	



LEGEND:

- PROPERTY LINE
- LOT LINE
- ADJACENT PROPERTY
- SETBACK
- PUBLIC UTILITY EASEMENT
- EDGE OF PAVEMENT
- OVERHEAD UTILITY
- WATER LINE
- SEWER LINE
- ROADWAY DEDICATION
- LOT ADDRESS
- FOUND REBAR
- STREET MONUMENT
- SET 3/4" REBAR W/CP

GENERAL NOTES:

- Dominion Energy approves this plat solely for the purpose of confirming that the plat contains public utility easements. Dominion Energy may require additional easements in order to serve this development. This approval does not constitute abrogation or waiver of any other existing rights, obligations or liabilities provided by law or equity. This approval does not constitute acceptance, approval or endorsement of any terms contained in the plat, including those set in the owner's dedication and the rules and does not constitute a guarantee of particular terms of natural gas approval. For further information please contact Dominion Energy's right-of-way department at 1-800-366-8333.
- Lot 1 contains a spring with water right 35-524 listed with Dewey H. Nielsen of Hyrum as owner. Builders will be responsible to provide underground consult along 400 North Street for electrical service.
- Two (2) street trees, having a minimum diameter of one and one half (1 1/2) inches, are required per lot. (Four (4) on corner lots).
- It is advised that a soils report be done on lot one before any construction is performed.
- Setback lines are for set by current code and its the applicants responsibility to comply. Setbacks are for primary buildings only.

Print: 25.00"
Sheet: 8.00" x 10.00"
Size: 24.25" x 36.00"
Date along Roadway: 25.00"

ACKNOWLEDGMENT

STATE OF UTAH)
COUNTY OF CACHE) SS.
THE FOREGOING INSTRUMENT WAS PERSONALLY ACKNOWLEDGED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC THIS 21st DAY OF February, 2022, BY Jeff C. Nielsen and Julie Nielsen WHO PROVED ON BASIS OF INDEX 1022-3434 AND IS SAID PERSON WHOSE NAME IS SUBSCRIBED TO THIS INSTRUMENT AND THAT SAID DOCUMENT WAS SIGNED BY HIM/HER ON BEHALF OF SAID Country Living on 400 North "MINI" Subdivision BY AUTHORITY OF ITS BYLAWS.
WITNESS MY HAND AND OFFICIAL SEAL.
SIGNATURE: Jeff C. Nielsen
NOTARY PUBLIC COMMISSIONED IN UTAH (PRINT NAME)
721116 11/22/2022
COMMISSION NUMBER - EXPIRES (SEAL)

COUNTY RECORDER'S NO. 1515660

STATE OF UTAH, COUNTY OF Cache RECORDED AND FILED
AT THE REQUEST OF: ZX Investments LLC
DATE: 5/10/22 TIME: 4:12 PM FEE: 850.00
ABSTRACTED: 1515660
INDEX: 1022-3434
FILED IN: FILE OF PLATS COUNTY RECORDER

FORESIGHT LAND SURVEYING
2005 North 600 West, Logan, Utah
435-753-1910
Project No. 21-253
Prepared by JH 2/21/22

UTILITY COMPANY APPROVALS
THE UTILITY EASEMENTS SHOWN ON THIS PLAT ARE APPROVED

HYRUM CITY WATER AUTHORITY DATE: 3/4/22
HYRUM CITY SANITARY SEWER AUTHORITY DATE: 2-1-2022
HYRUM CITY POWER DATE:
COMCAST DATE:
QUESTAR GAS DATE:
QWEST DATE:

OWNERS DEDICATION
THE UNDERSIGNED, BEING ALL OWNERS OF RECORD OF THE ABOVE-DESCRIBED PARCEL OF LAND TO BE SUBDIVIDED AND KNOWN AS: ZX INVESTMENTS "MINI" SUBDIVISION 2 AND DO HEREBY DEDICATE THE STREETS AND PUBLIC AREAS SHOWN ON THIS PLAT FOR THE PERPETUAL USE OF THE PUBLIC AND DO HEREBY VEST THE FEE TITLE OF SUCH DEDICATED PARCELS IN AND TO HYRUM CITY, CACHE COUNTY, UTAH.
I/WE, HAVE EXECUTED THIS PLAT AND DEDICATION THE 22 DAY OF July, 2022.
SIGNATURE: Jeff C. Nielsen
PRINT: Jeff C. Nielsen
TITLE (OWNER)
DATE: 7/22/22

LAND USE AUTHORITY
PRESENTED TO THE HYRUM CITY COUNCIL, THIS 11 DAY OF July, A.D. 2022, AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.
Signature: Michelle Nielsen
MAYOR
Signature: Nathan Brown
ATTEST

PLANNING COMMISSION APPROVAL
APPROVED THIS 11 DAY OF July, A.D. 2022, BY THE HYRUM CITY PLANNING AND ZONING COMMISSION.
Signature: Michelle Nielsen
BY: Michelle Nielsen

CITY ENGINEER'S CERTIFICATE
I CERTIFY THAT I HAVE HAD THIS PLAT EXAMINED AND THAT IT IS CORRECT AND IN ACCORDANCE WITH THE INFORMATION ON FILE IN THIS OFFICE.
DATE: Aug. 4, 2022
Signature: Michelle Nielsen
CITY ENGINEER

THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS
SITE PLAN
PLANNING COMMISSION MEETING
MAY 9, 2024

Summary: The Church of Jesus Christ of Latter-day Saints is seeking site plan approval to enlarge their meeting house and expand the parking lot located at 95 North 675 West.

ZONING: R-2 Residential

UTILITIES:

Power:	Existing
Culinary:	Existing
Sewer:	Existing
Irrigation:	N/A

PARKING & ROADS: Existing

NOTES:

Site will fill in the existing stormwater retention pond and provide a new underground retention facility.

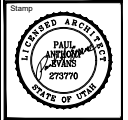
Site will increase the existing parking area.

Existing building addition will be approximately 2,600 square feet.

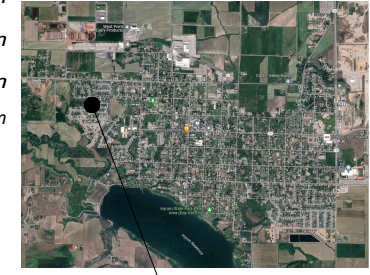
Parking lot expansion will be approximately 8,600 square feet.

Hyrum UT West Stake Suite Addition

Hyrum UT West Stake



Consultant	Consultant Name	Address	Contact	Phone	E-mail	Vicinity Map
ARCHITECT:	Evans & Associates Architecture	11576 South State Street #103B Draper, Utah 84020	Chad Spencer	(801) 553-8272	<i>chad@studio-ea.com</i>	
CIVIL ENGINEER:	Excel Engineering, Inc.	12 West 100 North #201 American Fork, Utah 84003	David Peterson	(801) 756-4504	<i>david@excelcivil.com</i>	
LANDSCAPE ARCHITECT:	In Site Design Group	17 North 470 West American Fork, Utah 84003	Darren Wilson	(801) 756-5043	<i>darren@isdgllc.com</i>	
ELECTRICAL ENGINEER:	Envision Engineering	240 East Morris Avenue, Suite 200 Salt Lake City, Utah 84115	Scott Kingery	(801) 534-1130	<i>skingery@envisioneng.com</i>	



SITE

Hyrum UT West Stake Suite Addition
Hyrum UT West Stake
98 North 67.5 West
Hyrum, Utah

Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

CODE INFORMATION

Code Item	IBC Reference Code Requirement	Actual Building Design
Occupancy Classification	Chapter 3	Assembly Group A-3
Construction Type	602.5	Type V-B
Fire Sprinklers		Yes, NFPA-13
Allowable Building Height	Table 504.3 Assembly Group A-3: 60 feet	27'-10"
Allowable Stories Above Grade	Table 504.4 Assembly Group A-3: 2	1
Allowable Area	Table 506.2 Assembly Group A-3: 24,000 sf	Existing: 16,558 sf Addition: 2,500 sf Total: 19,163 sf
Total Occupant Load	Table 1004.1.2	See Egress Floor Plan
Common Path of Travel	Table 1006.2.1 Assembly Group A-3: 75 feet	See Egress Floor Plan
Maximum Travel Distance	Table 1017.2 Assembly Group A-3: 250 feet	See Egress Floor Plan
Egress Information	1005.3.1 Stairways: 0.3" per Occupant 1005.3.2 Others: 0.2" per Occupant	56" Stairways = 186 occupants (1) Lower Level Doors = 180 occupants (7) Main Level Doors = 1,120 occupants
	36" door = 32" clear = 160 people at 0.20" per person Pair of 36" doors = 64" clear = 320 people at 0.20" per person	

PARKING INFORMATION

Requirement	Required	Provided
1.0 Stalls per 4.0 seats	292 stalls / 4 = 73 stalls	253 stalls

DEFERRED SUBMITTALS

- NFPA 13 Fire Sprinkler System
- NFPA 72 Fire Alarm System

DRAWING INDEX

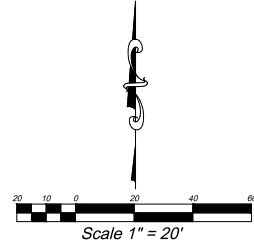
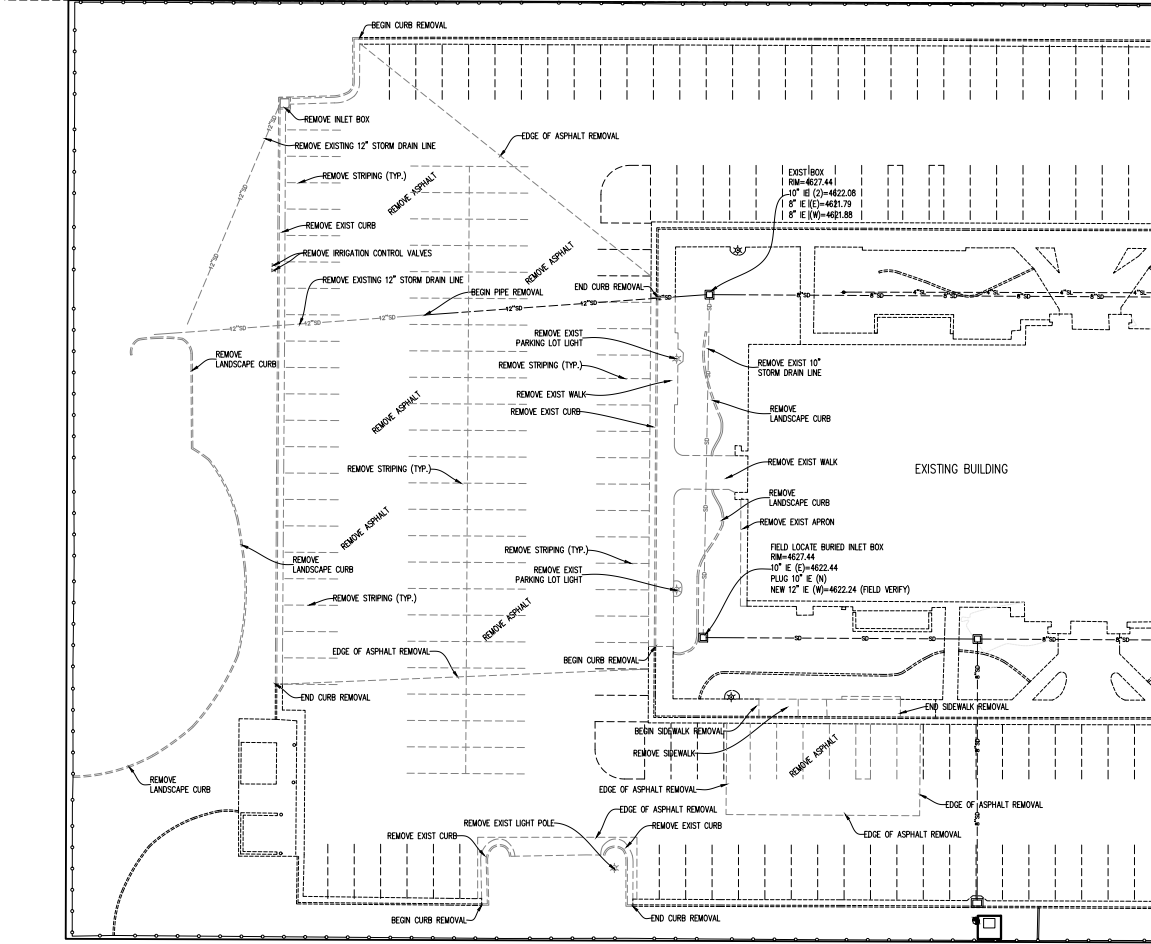
- General
 - G001 Cover Sheet
- Site Development
 - C201 Demolition Site Plan
 - C202 Grading and Drainage Plan
 - C203 Utility Plan
 - C204 Storm Drain Details
 - C205 Ejector Pump Details
 - C206 Erosion Control Plan
 - C207 BMP Details
 - C301 Electrical Site Demolition Plan
 - C302 Electrical Site Plan
 - C401 Demolition Site Plan
 - C411 Architectural Site Plan
 - CS11 Site Details
- Landscape
 - LS1.0 Demolition Plan
 - LS1.1 Landscape Plan
 - LS3.0 Schematic Irrigation Plan
 - LS4.0 Landscape Details
 - LS5.0 Irrigation Details
- Architectural
 - A101 Demolition Floor Plan and New Floor Plan
 - A201 Demolition Exterior Elevations and New Exterior Elevations
 - A202 Demolition Exterior Elevations and New Exterior Elevations

Revisions	Description

Project Number: 24-10
Plan Series: State Suite Addition
Property Number: 599-1645-230.0101
Date: June 3, 2024

Sheet Title: COVER SHEET

Sheet: G001



BEGINS + ASSOCIATES ARCHITECTS
 1170 S. 1200 WEST, SUITE 200, SALT LAKE CITY, UT 84119
 PHONE: 801.533.1827 FAX: 801.533.8273



Stamp
 David W. Peterson
 PROFESSIONAL ENGINEER
 STATE OF UTAH
 License No. 4822.08
 Project: Hyrum UT West Stake Suite Addition
 Hyrum, Utah
 88 Main Street, Suite 200
 Hyrum, Utah

Project for:
THE CHURCHES OF JESUS CHRIST OF LATTER-DAY SAINTS

Mark	Date	Description

Project Number: 24-10
 Plan Series: Stake Suite Addition
 Property Number: 209-1045-23010101
 Title: February 24, 2024

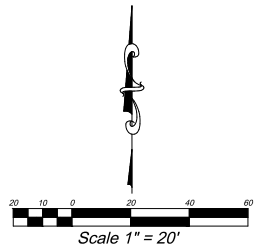
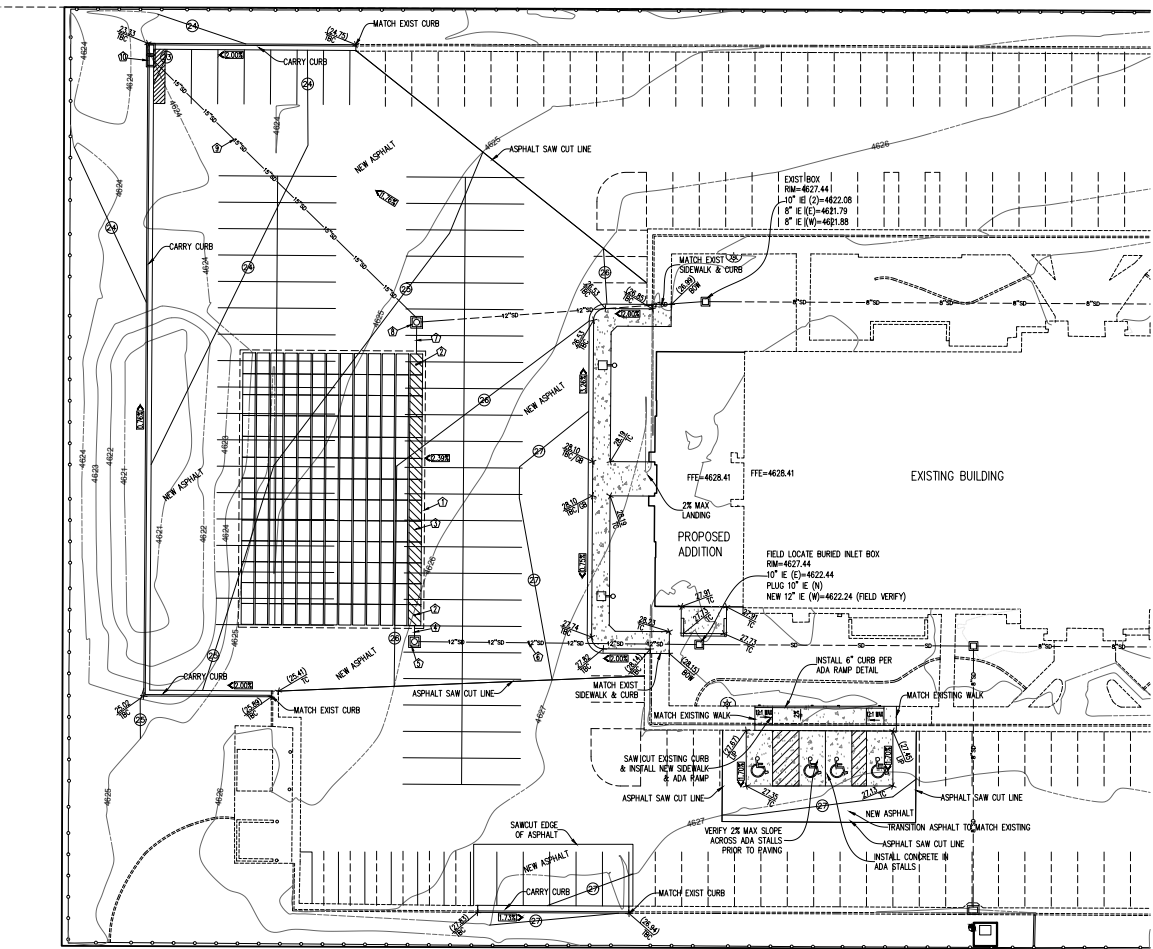
Sheet Title:
 DEMOLITION PLAN

Sheet:
C201



STORM DRAIN KEYED NOTES

1. INSTALL STORMTECH CHAMBER SYSTEM (13,397 C.F.) INSTALL (48) 5C-740 CHAMBERS (13 ROWS OF 13 CHAMBERS) WITH 6" STONE ABOVE, BELOW AND BETWEEN CHAMBERS. 12" STONE AROUND THE PERIMETER OF THE SYSTEM. TOP OF CHAMBER=4622.75, TOP OF CHAMBER=4622.25, BOTTOM OF CHAMBER=4619.75, 15' E IN CHAMBER=4619.86, BOTTOM OF GRAVEL=4619.25, 24" INSTALL PER STORMTECH STANDARD DETAILS AND SPECIFICATIONS.
2. INSTALL INSPECTION PORT
3. INSTALL ISOLATOR ROW
4. INSTALL 4 L.F. 15' ADS N-12 PIPE Ø S=3%
5. INSTALL 3'X3' CONCRETE BOX WITH 2' DIAMETER CIRCULAR LID, RM=4626.14, 12' E IN=4620.75, 15' E OUT=4620.23, IE BOX=4616.64, INSTALL SNOTT TYPE 18" OVER 15' OUT TO CHAMBERS
6. INSTALL 95 L.F. 12' ADS N-12 PIPE Ø S=1.57%
7. INSTALL 9 L.F. 15' ADS N-12 Ø S=1.0%
8. INSTALL 3'X3' CONCRETE BOX WITH 2' DIAMETER CIRCULAR LID, RM=4625.22, MATCH EXISTING 12' E IN=4621.37, 15' E THRU=4619.90, IE BOX=4615.72, INSTALL SNOTT TYPE 18" OVER 15' OUT TO CHAMBERS
9. INSTALL 128 L.F. 15' ADS N-12 Ø S=0.30%
10. INSTALL (2) 2'X3' CATCH BASINS WITH FACE INLET, TBC=4623.33, GRADE=4622.83, 15' E OUT=4620.33, IE BOX=4618.83, CONNECT CATCH BASINS TOGETHER WITH 15' PIPE.



PARKING LOT PAVEMENT DESIGN:

- 3" ASPHALT OVER**
 8" AGGREGATE BASE COURSE OVER
 PROPERLY PREPARED & STABILIZED NATURAL SUBGRADE
 SOILS AND/OR STRUCTURAL SITE GRADING FILL EXTENDING TO
 SUITABLE NATURAL SUBGRADE SOILS
- ADA STALL CONCRETE PAVEMENT**
 5" PORTLAND CEMENT CONCRETE (NON-REINFORCED)
 4" AGGREGATE BASE OVER
 PROPERLY PREPARED & STABILIZED NATURAL SUBGRADE
 SOILS AND/OR STRUCTURAL SITE GRADING FILL EXTENDING TO
 SUITABLE NATURAL SUBGRADE SOILS

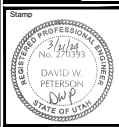
NOTES TO CONTRACTOR

1. CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.
2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE AND ALL UNDERGROUND UTILITIES, WHETHER OR NOT SUCH FACILITIES ARE SHOWN ON THESE PLANS.

GRADING LEGEND

FFE	FINISHED FLOOR ELEV.	FG	FINISHED GRADE
ROW	BACK OF WALK	TW	TOP OF WALL
GB	GRADE BREAK	BW	BOTTOM OF WALL
TC	TOP OF CONCRETE	IE	INVERT ELEVATION
TBC	TOP BACK OF CURB	→	DIRECTION OF DRAINAGE
TA	TOP OF ASPHALT	→	EXISTING ELEVATION
RM	RM ELEVATION	→	PROPOSED ELEVATION
FL	FLOWLINE	→	EXISTING CONTOUR
EG	EXIST GROUND	→	PROPOSED CONTOUR
LIP	LIP OF CURB	→	STORM DRAIN KEYED NOTE

BENCHMARK
 SOUTHEAST CORNER OF
 SECTION 6, TOWNSHIP 10S, R1E,
 SUBM
 BENCHMARK ELEV=4680.18



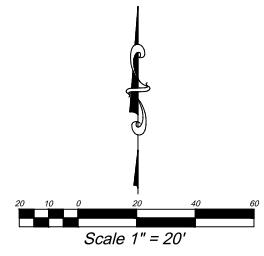
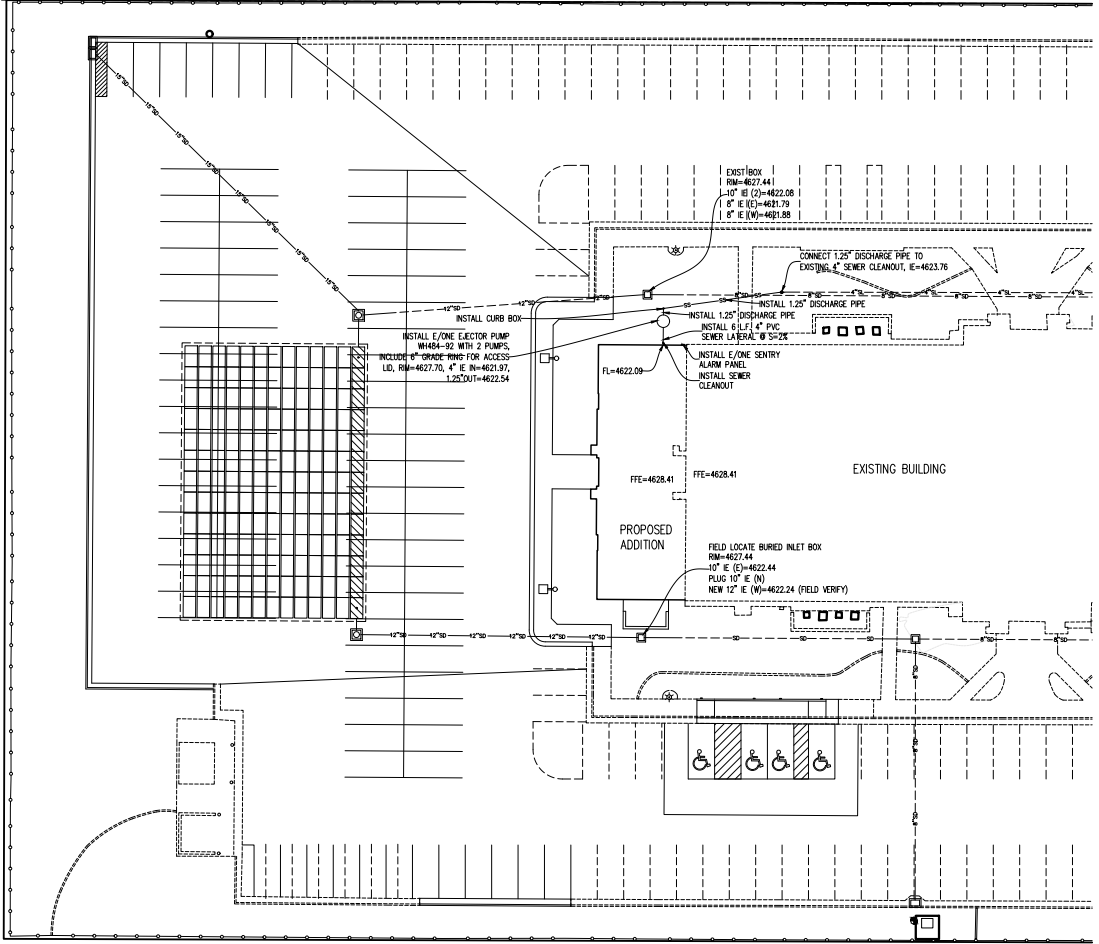
Hyrum UT West Stake Suite Addition
 Hyrum UT West Stake

Project for:
**THE CHURCH OF
 JESUS CHRIST
 OF LATTER-DAY SAINTS**

Project Number	24-10
Plan Series	Stake Suite Addition
Property Number	208-1045-23010101
Date	February 24, 2024

Sheet Title
GRADING & DRAINAGE PLAN

Sheet
C202



E/ONE EJECTOR PUMP NOTE
 INSTALL E/ONE EJECTOR PUMP STATION INCLUDING ALARM PANEL, DISCHARGE PIPING, CURB STOP AND SADDLE CONNECTION PER E/ONE STANDARDS AND SPECIFICATIONS. SEE DETAILS ON SHEET 0205 AND CONTACT MANUFACTURER FOR ADDITIONAL SPECIFICATIONS, AS NEEDED.

NOTES TO CONTRACTOR
 1. CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.
 2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE AND ALL UNDERGROUND UTILITIES, WHETHER OR NOT SUCH FACILITIES ARE SHOWN ON THESE PLANS.



Stamp
 David W. Peterson
 State of Utah
 License No. 34153
 Project: Hyrum UT West Stake Suite Addition
 Hyrum, Utah

Project for:
JESUS CHRIST OF LATTER-DAY SAINTS

Mark	Date	Description

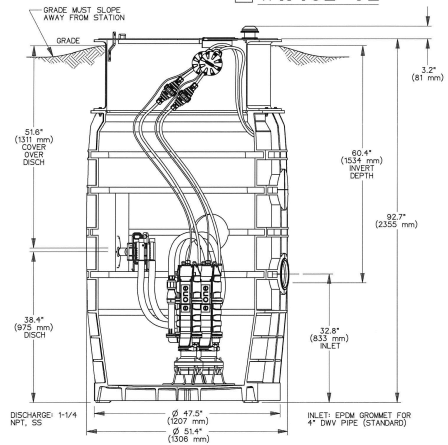
Project Number: 24-10
 Plan Series: Stake Suite Addition
 Property Number: 209-1045-23010101
 Title: February 24, 2024

Sheet Title
 UTILITY PLAN

Sheet
C203



OPTIONS : WH482-92 (HARD WIRED LEVEL CONTROLS)
 WR482-92 (WIRELESS LEVEL CONTROLS)



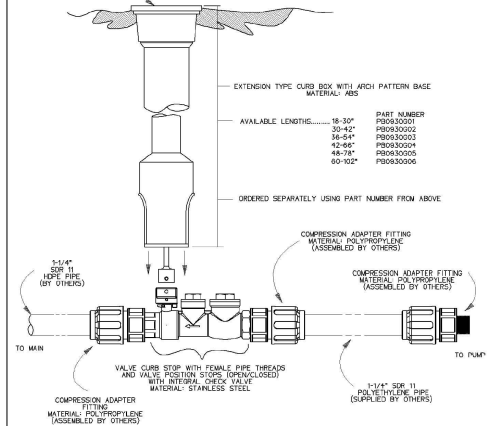
CONCRETE BALLAST MAY BE REQUIRED SEE INSTALLATION INSTRUCTIONS FOR DETAILS

NOTE: DIMENSIONS ARE FOR REFERENCE ONLY



SSS	PD	12/28/10	B	1/16
DR BY	CHK'D	DATE	ISSUE	SCALE
eone SEWER SYSTEMS				
MODEL WH482-92 / WR482-92				
NAO211P04				

STAINLESS STEEL LATERAL KIT 1-1/4" SDR II HOPE PIPE



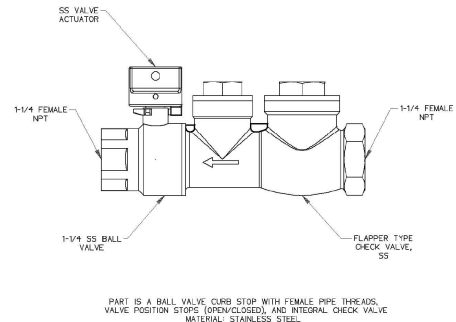
NOTES:

- SS CURB STOP/CHECK VALVE AND FITTINGS ARE PROVIDED SEPARATELY, TO BE ASSEMBLED BY OTHERS
- TO ASSEMBLE, APPLY A DOUBLE LAYER OF TEFLON TAPE, AND A LAYER OF PIPE DOPE (SUPPLIED BY OTHERS) TO THE THREADS ON THE PLASTIC FITTINGS AND INSTALL PER THE MANUFACTURER'S INSTRUCTIONS
*FOR SS FITTING INTO SS THREAD, USE PIPE DOPE OR TEFLON TAPE, NOT BOTH
- ASSEMBLY IS TO BE PRESSURE TESTED (BY OTHERS)
- ASSEMBLY IS TO BE USED WITH SDR11 HOPE PIPE
- TO ORDER SS LATERAL KIT, USE PART NUMBER NAO193001
- CURB BOX IS TO BE ORDERED SEPARATELY, SEE ABOVE

KIT PARTS ARE NOT ASSEMBLED

SSS	DN	11/02/11	B	1/16
DR BY	CHK'D	DATE	ISSUE	SCALE
eone SEWER SYSTEMS				
STAINLESS STEEL LATERAL KIT 1-1/4" SDR II HOPE PIPE				
NAO330P02				

STAINLESS STEEL LATERAL ASSEMBLY NO FITTINGS



PRESSURE RATING: 235 PSI

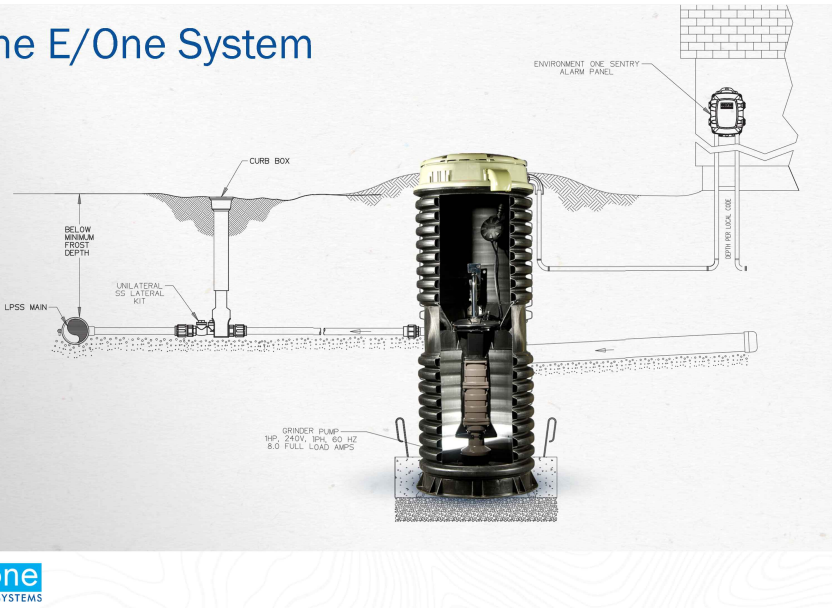
TO ORDER SS LATERAL, NO FITTINGS USE PART NUMBER NAO330P05

NOTES:

- FOR SS FITTING INTO SS THREAD, USE PIPE DOPE OR TEFLON TAPE, NOT BOTH
- FOR PLASTIC FITTINGS INTO SS THREAD, USE BOTH PIPE DOPE AND 2 LAYERS OF TEFLON TAPE

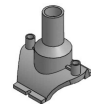
SSS	DN	09/20/11	A	3/16
DR BY	CHK'D	DATE	ISSUE	SCALE
eone SEWER SYSTEMS				
STAINLESS STEEL LATERAL ASSEMBLY NO FITTINGS				
NAO330P05				

The E/One System



Data sheet

valid from: 7/20/21

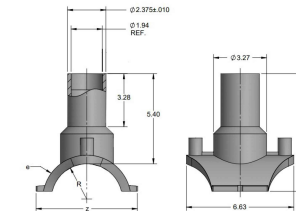


ELECTROFUSION BRANCH SADDLE

PIASTIC, 80 x 1.35" Butt Outlet, DR11, 4.78" Pin Under Clamp

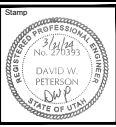
- Pin Type: 4.78" (4.7" Pin with Resistor)
- Approval: ASTM D2513
- Approval: ASTM F1955
- Approval: ASTM D3231
- Approval: AWWA C900
- Certified to NSF/ANSI/CAN-61-G

Main Size	ØF	Weight	R	L	Box Qty
Inch	Inch	Lbs	Inch	Inch	
2	340021156	05	1.19	3.59	6/6 0.95 8



The technical data are not binding. They neither constitute expressly warranted characteristics nor guaranteed properties nor a guaranteed durability. They are subject to modification. Our General Terms of Sale apply.

Georg Fischer Piping Systems Ltd, Postfach, CH-8201 Schaffhausen/Switzerland
 Phone +41 (0)52-631111
 e-mail: info.psg@georgfischer.com
 Internet: http://www.gfps.com



Hyrum UT West Stake Suite Addition
 Hyrum UT West Stake
 98 Main Street, Hyrum, Utah

Project for:
 THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Revisions	Description

Project Number: 24-10
 Plan Series: Stake Suite Addition
 Property Number: 208-1645-23010101
 Title: February 24, 2024

Sheet Title

EJECTOR PUMP DETAILS

Sheet
C205

INSTALL SILT FENCE
PER BMP SF.

INSTALL INLET
PROTECTION

INSTALL CONCRETE WASHOUT
AREA PER BMP CWM

INSTALL PORTABLE
TOILET PER BMP PT
INSTALL CONSTRUCTION
ENTRANCE PER BMP SCE

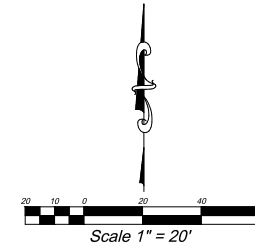
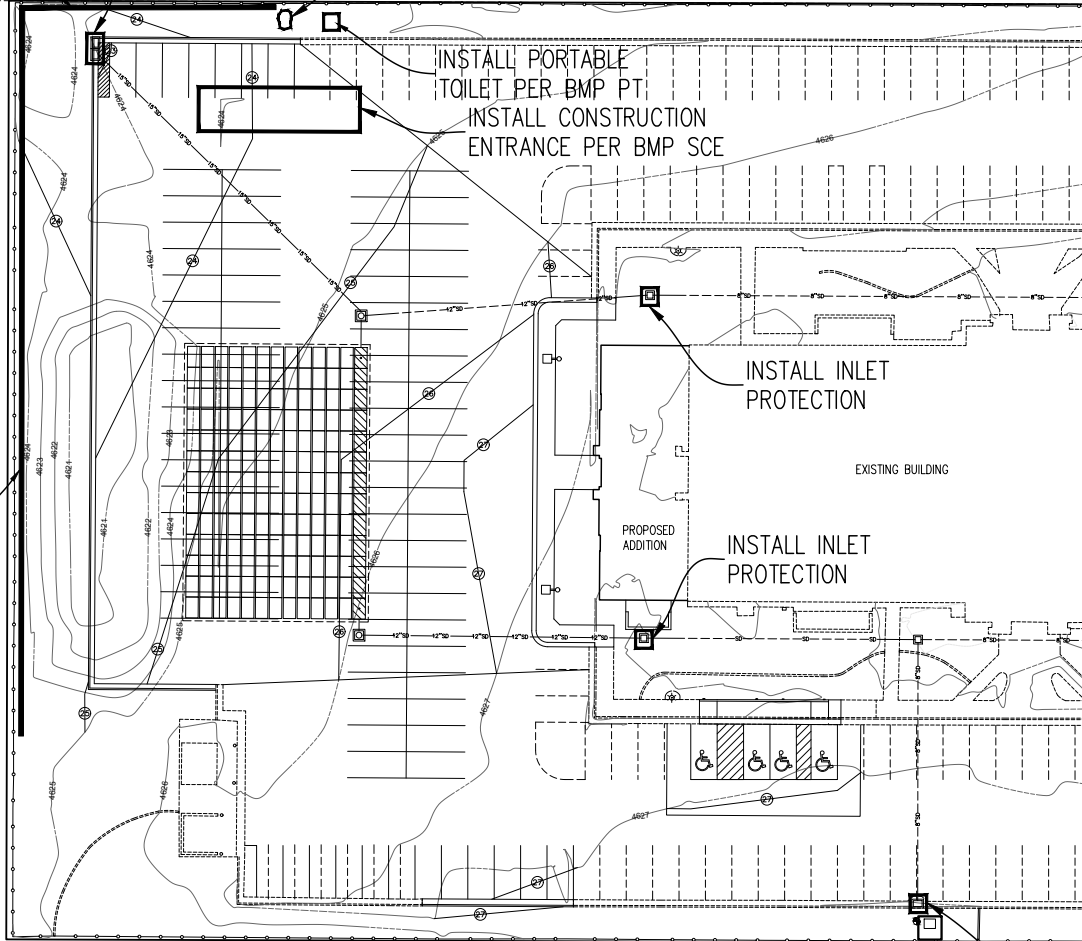
INSTALL INLET
PROTECTION

EXISTING BUILDING

PROPOSED
ADDITION

INSTALL INLET
PROTECTION

INSTALL SILT FENCE
PER BMP SF.



FULL SWPPP & NOI NOTE

1. A FULL SWPPP AND NOI MUST BE SUBMITTED FOR A BUILDING PERMIT TO BE ISSUED AND MUST BE APPROVED BEFORE THE PRE-CONSTRUCTION MEETING.

EROSION CONTROL NOTES:

1. CONTRACTOR IS TO READ AND UNDERSTAND ALL BMP PRACTICES PRIOR TO ANY CONSTRUCTION ON THIS SITE. CONTRACTOR IS TO FOLLOW ALL BMP PRACTICES CONTAINED IN THESE PLANS.
2. CONSTRUCT A SILT FENCE AS SHOWN ON PLAN. SEE BMP SF.
3. INSTALL A CONSTRUCTION ENTRANCE AS SHOWN ON THE PLAN PRIOR TO ANY GRADING ON THE SITE. SEE BMP SCE.
4. INSTALL CONCRETE WASHOUT AREA AS PER BMP CWM.
5. INSTALL PORTABLE TOILET AS PER BMP PT.
6. INSTALL INLET PROTECTION ON NEW INLETS. SEE BMP IP-G. FILTER FABRIC UNDER GRATE CAN BE USED INSTEAD OF BMP IP-G OR EQUAL.
7. THE SITE IS TO BE WATERED AT LEAST ONCE A WEEK TO CONTROL DUST OR MORE FREQUENT AS DETERMINED BY THE CONTRACTOR.
8. CONTRACTOR IS TO REMOVE INLET PROTECTION FROM CATCH BASINS AND CLEAN-OUT ALL CATCH BASINS BEFORE LEAVING THE SITE.
9. CONTRACTOR WILL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF BMP'S DURING CONSTRUCTION.
10. ALL CONSTRUCTION PERIOD BEST MANAGEMENT PRACTICES ARE TO BE INSPECTED & MAINTAINED AT LEAST WEEKLY, ALSO BEFORE AND AFTER EACH STORM EVENT.
11. CONTRACTOR SHALL BE REQUIRED TO KEEP A RECORD OF ALL INSPECTIONS AND MAINTENANCE ON SITE WITH THE STORM WATER POLLUTION PREVENTION PLAN.

INSTALL INLET
PROTECTION



Project for:
**THE CHURCHES OF
JESUS CHRIST
OF LATTER-DAY SAINTS**

Hyrum UT West Stake Suite Addition
Hyrum UT West Stake
88 Main Street
Hyrum, Utah

Project for:
**THE CHURCHES OF
JESUS CHRIST
OF LATTER-DAY SAINTS**

Mark	Date	Description

Project Number
24-10
Plan Series
Stake Suite Addition
Property Number
2008-1045-23010101
Title
February 24, 2024

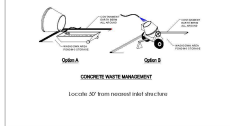
Sheet Title

EROSION CONTROL PLAN

Sheet
C206

BMP: Concrete Waste Management**CWM**

Construction



DESCRIPTION:
Prevent or reduce the discharge of pollutants to storm water from concrete waste by conducting washout off-site, performing on-site washout in a designated area, and training employees and subcontractors.

APPLICATION:
This technique is applicable to all types of sites.

INSTALLATION/APPLICATION CRITERIA:

- Store dry materials under cover, away from drainage areas.
- Minimize excess mixing of fresh concrete, mortar or cement on site.
- Perform washout of concrete trucks off-site or in designated areas only.
- Do not wash out concrete trucks into storm drains, open ditches, streets, or streams.
- Do not allow excess concrete to be dumped on-site, except in designated areas.
- When washing concrete to remove fine particles and expose the aggregate, avoid creating runoff by draining the water within a berm or level area. (6" tall by 6" wide).
- Train employees and subcontractors in proper concrete waste management.

LIMITATIONS:

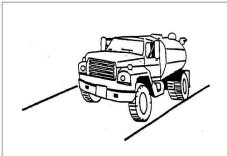
- Off-site washout of concrete wastes may not always be possible.

MAINTENANCE:

- Inspect subcontractors to ensure that concrete wastes are being properly managed.
- If using a temporary pit, dispose hardened concrete on a regular basis.

BMP: Dust Controls**DC**

Construction



DESCRIPTION:
Dust control measures are used to stabilize soil from wind erosion, and reduce dust by construction activities.

APPLICATION:
Dust control is useful in any process area, loading and unloading area, material handling areas, and transfer areas where dust is generated. Street sweeping is limited to areas that are paved.

INSTALLATION/APPLICATION CRITERIA:

- Mechanical dust collection systems are designed according to the size of dust particles and the amount of air to be processed. Manufacturers' recommendations should be followed for installation (as well as the design of the equipment).
- Two kinds of street sweepers are common: brush and vacuum. Vacuum sweepers are more efficient and work best when the area is dry.
- Mechanical equipment should be operated according to the manufacturers' recommendations and should be inspected regularly.

LIMITATIONS:

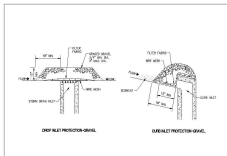
- Generally more expensive than manual systems.
- May be impossible to maintain by plant personnel (the more elaborate equipment).
- Labor and equipment intensive and may not be effective for all pollutants (street sweepers).

MAINTENANCE:

- If water sprayers are used, dust-contaminated waters should be collected and taken for treatment. Areas will probably need to be re sprayed to keep dust from spreading.

BMP: Inlet Protection-Gravel**IPG**

Construction



DESCRIPTION:
Placement of gravel filter over inlet to storm drain to filter storm water runoff.

APPLICATION:
Construct at inlets in paved or unpaved areas where upgradient area is to be disturbed by construction activities.

INSTALLATION/APPLICATION CRITERIA:

- Place wire mesh (with 1/2 inch openings) over the inlet grate extending one foot past the grate in all directions.
- Place filter fabric over the mesh. Filter fabric should be selected based on soil type.
- Place graded gravel, to a minimum depth of 12-inches, over the filter fabric and extending 18-inches past the grate in all directions.

LIMITATIONS:

- Recommended for maximum drainage area of one acre.
- Excess flows may bypass the inlet requiring down gradient controls.
- Ponding will occur at inlet.

MAINTENANCE:

- Inspect inlet protection after every large storm event and at a minimum of once monthly.
- Remove sediment accumulated when it reaches 4-inches in depth.
- Replace filter fabric and clean or replace gravel if clogging is apparent.

BMP: Land Grading**LG**

Construction



DESCRIPTION:
Land grading involves reshaping the ground surface to planned grades as determined by an engineering survey, evaluation, and layout. Land grading provides more suitable topography for buildings, facilities, and other land uses and helps to control surface runoff, soil erosion, and sedimentation during and after construction.

APPLICATIONS:

Land grading is applicable to sites with uneven or steep topography or easily erodible soils, because it stabilizes slopes and decreases runoff velocity. Grading activities should maintain existing drainage patterns as much as possible.

INSTALLATION/APPLICATION CRITERIA:

Before grading activities begin, a construction site operator must make decisions regarding the steepness of cut-and-fill slopes and how the slopes will be: Protected from runoff, stabilized and maintained.

LIMITATIONS:

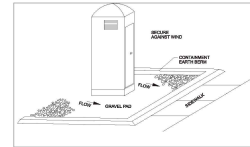
- Improper grading practices that disrupt natural stormwater patterns might lead to poor drainage, high-runoff velocities, and increased peak flows during storm events. Clearing and grading the entire site without vegetated buffers promotes offsite transport of sediments and other pollutants. Design the grading plan with erosion and sediment control and stormwater management goals in mind to ensure that the plan is implemented as intended, carefully supervise grading crews.

MAINTENANCE:

- Check all graded areas and supporting erosion and sediment control practices periodically, especially after heavy rainfalls.
- Promptly remove all sediment from diversions or other stormwater conveyances, and if washouts or breaks occur, repair them immediately.
- To prevent small-scale eroded areas from becoming significant gullies, maintain them promptly.

BMP: Portable Toilets**PT**

Construction



DESCRIPTION:
Temporary on-site sanitary facilities for construction personnel.

APPLICATION:

All sites with no permanent sanitary facilities or where permanent facility is too far from activities.

INSTALLATION/APPLICATION CRITERIA:

- Locate portable toilets in convenient locations throughout the site.
- Prepare level, gravel surface and provide clear access to the toilets for servicing and for on-site personnel.
- Construct earth berm perimeter (6' tall by 6' wide), control for spill/protection leak.

LIMITATIONS:

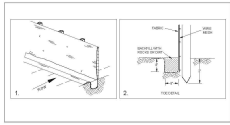
- No limitations.

MAINTENANCE:

- Portable toilets should be maintained in good working order by licensed service with daily observation for leak detection.
- Regular waste collection should be arranged with licensed service.
- All waste should be deposited in sanitary sewer system for treatment with appropriate agency approval.

BMP: Silt Fence**SF**

Construction



DESCRIPTION:
A temporary sediment barrier consisting of entrenched filter fabric stretched across and secured to supporting posts.

APPLICATION:

- Perimeter control: place barrier at down-gradient limits of disturbance
- Sediment barrier: place barrier at toe of slope or soil stockpile
- Protection of existing waterways: place barrier at top of stream bank
- Inlet protection: place fence surrounding catchbasin

INSTALLATION/APPLICATION CRITERIA:

- Place posts 6 feet apart on center along contour (or use preassembled unit) and drive 2 feet minimum into ground. Excavate an anchor trench immediately up-gradient of posts.
- Secure wire mesh (14 gage min, with 6-inch openings) to upslope side of posts. Attach with heavy duty 1 inch long wire staples, the wires or hog rings.
- Cut fabric to required width, unroll along length of barrier and drape over barrier. Secure fabric to mesh with tines, staples, or similar, with trailing edge extending into anchor trench.
- Backfill trench over filter fabric to anchor.

LIMITATIONS:

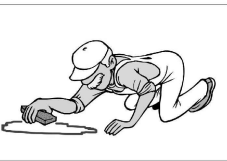
- Recommended maximum drainage area of 0.5 acre per 100 feet of fence
- Recommended maximum up-gradient slope length of 150 feet
- Recommended maximum uphill grade of 2:1 (50%)
- Recommended maximum flow rate of 0.5 cfs.
- Ponding should not be allowed behind fence

MAINTENANCE:

- Inspect immediately after any rainfall and at least daily during prolonged rainfall
- Look for runoff bypassing ends of barriers or undercutting barriers.
- Repair or replace damaged areas of the barrier and remove accumulated sediment.
- Reanchor fence as necessary to prevent shortcutting.
- Remove accumulated sediment when it reaches 1/2 the height of the fence.

BMP: Spill Clean-Up**SCU**

Construction



DESCRIPTION:
Practices to clean-up leakage/spillage of on-site materials that may be harmful to receiving waters.

APPLICATION:

All sites

GENERAL:

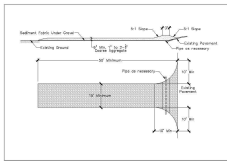
- Store controlled materials within a storage area.
- Educate personnel on prevention and clean-up techniques.
- Designate an Emergency Coordinator responsible for employing preventative practices and for providing spill response.
- Maintain a supply of clean-up equipment on-site and post a list of local response agencies with phone numbers.

METHODS:

- Clean-up spills/leaks immediately and remediate cause.
- Use as little water as possible. NEVER HOSE DOWN OR BURY SPILL, CONTAMINATED MATERIAL.
- Use rags or absorbent material for clean-up. Excavate contaminated soils. Dispose of clean-up material and soil as hazardous waste.
- Document all spills with date, location, substance, volume, actions taken and other pertinent data.
- Contact the Salt Lake County Health Department (313-6700) for any spill of reportable quantity.

BMP: Stabilized Construction Entrance**SCE**

Construction



DESCRIPTION:
A stabilized pad of crushed stone located where construction traffic enters or leaves the site from or to paved surface.

APPLICATION:

At any point of ingress or egress at a construction site where adjacent traveled way is paved. Generally applies to sites over 2 acres unless special conditions exist.

INSTALLATION/APPLICATION CRITERIA:

- Clear and grub area and grade to provide maximum slope of 2%.
- Compact subgrade and place filter fabric if desired (recommended for entrances to remain for more than 3 months).
- Place coarse aggregate, 1 to 2-1/2 inches in size, to a minimum depth of 8 inches.

LIMITATIONS:

- Requires periodic top dressing with additional stones.
- Should be used in conjunction with street sweeping on adjacent public right-of-way.

MAINTENANCE:

- Inspect daily for loss of gravel or sediment buildup.
- Inspect adjacent roadway for sediment deposit and clean by sweeping or shoveling
- Repair entrance and replace gravel as required to maintain control in good working condition.
- Expand stabilized area as required to accommodate traffic and prevent erosion at driveways.

BMP: Street Sweeping**SS**

Construction



DESCRIPTION:
Reduce the discharges of pollutants to stormwater from street surfaces by conducting street cleaning on a regular basis.

APPROACH:

- Prioritize cleaning to use the most sophisticated sweepers, at the highest frequency, and in areas with the highest pollutant loading.
- Restrict street parking prior to and during sweeping.
- Increase sweeping frequency just before the rainy season.
- Proper maintenance and operation of sweepers greatly increase their efficiency.
- Keep accurate operation logs to track programs.
- Sweepers effective at removing smaller particles (less than 10 microns) may generate dust that would lead to concerns over worker and public safety.
- Equipment selection can be key for this particular BMP. There are two types used, the mechanical broom sweepers (more effective at picking up large debris and cleaning wet streets), and the vacuum sweepers (more effective at removing fine particles and associated heavy metals). Many communities find it useful to have a compliment of both types in their fleet.

LIMITATIONS:

- Conventional sweepers are not able to remove oil and grease.
- Mechanical sweepers are not effective at removing finer sediments.
- Effectiveness may also be limited by street conditions, traffic congestion, presence of construction projects, climatic conditions and condition of curbs.

MAINTENANCE:

- Replace worn parts as necessary.
- Install man and gutter brooms of the appropriate weight.



Stamp
Professional Engineer
David W. Peterson
State of Utah
License No. 36222

Hyrum UT West Stake Suite Addition
Hyrum UT West Stake

98 Main 075 West
Hyrum Utah

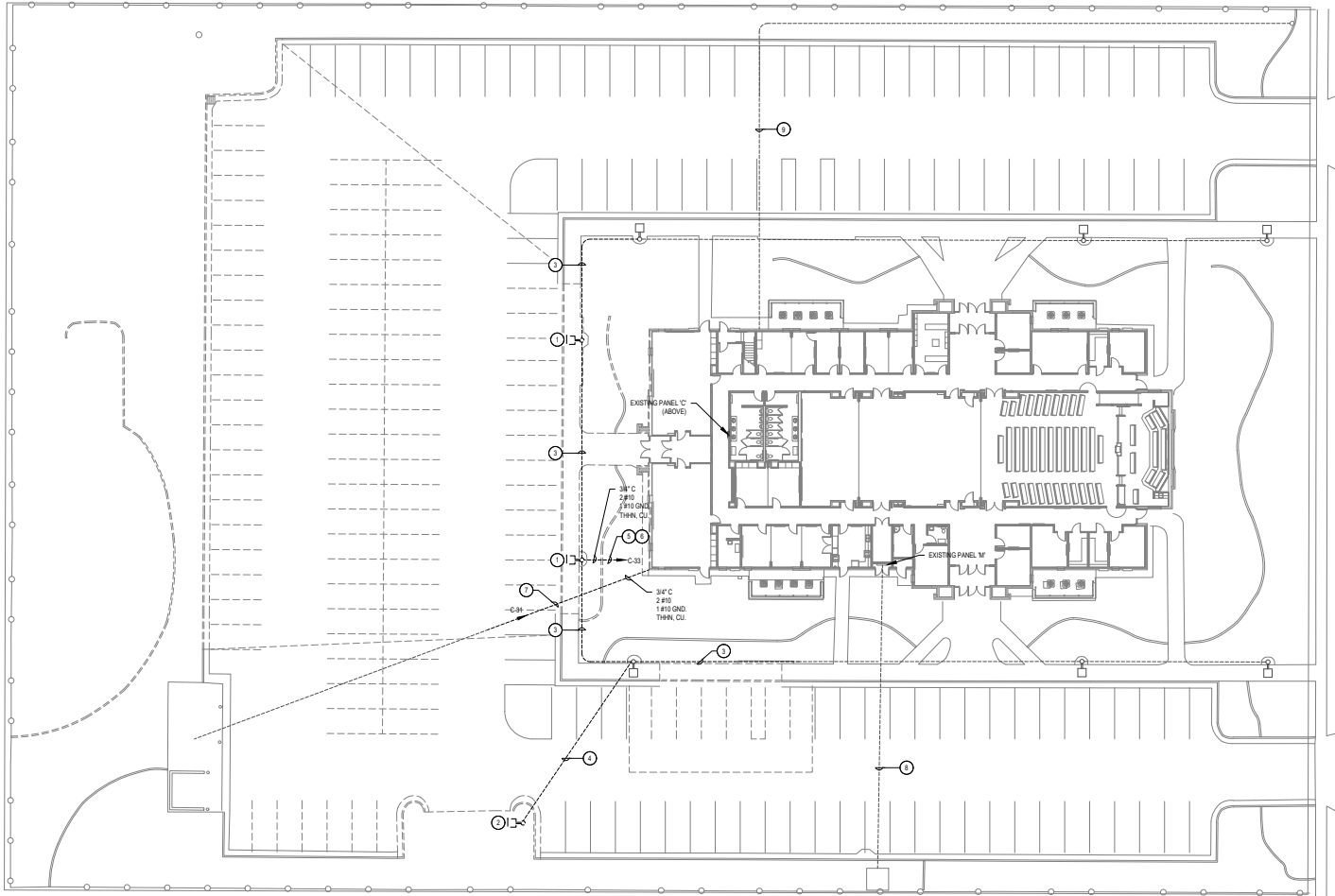
Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Month	Date	Revision	Description

Project Number
24-10
Plan Series
State Suite Addition
Property Number
208-1645-23010101
Title
February 24, 2024

Sheet Title
BMP DETAILS

Sheet
C207



GENERAL NOTES

1. ALL CONDUITS, BOXES, ETC. THAT ARE LOCATED IN THE AFFECTED CONSTRUCTION AREA SHALL BE RELOCATED OR REROUTED AS NECESSARY WHETHER SHOWN OR NOT.
2. THIS AND ANY OTHER DEMOLITION DRAWINGS ARE NOT INTENDED TO BE ALL INCLUSIVE WORK TO DEFINE THE SCOPE OF ALL DEMOLITION WORK REQUIRED FOR THIS PROJECT. DEMOLITION DRAWINGS ARE SHOWN ONLY TO AID THE CONTRACTOR IN PREPARING THE BID AND PERFORMING THE WORK. CONTRACTOR SHALL EXAMINE ALL CONTRACT DOCUMENTS AND VISIT THE SITE DURING BIDDING TO DETERMINE THE TOTAL EXTENT AND SCOPE OF THE DEMOLITION PORTION OF THIS WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION WORK REQUIRED TO CARRY OUT THE WORK AS SHOWN IN THE CONTRACT DOCUMENTS.

KEYED NOTES

1. DISCONNECT, REMOVE AND STORE EXISTING PARKING LOT POLE LIGHT FOR REUSE. REMOVE EXISTING CONCRETE POLE BASE COMPLETELY. PROTECT FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION. ANY DAMAGE TO THE LIGHT FIXTURE SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
2. DISCONNECT, REMOVE AND RETURN EXISTING PARKING LOT POLE LIGHT TO THE OWNER. REMOVE EXISTING CONCRETE POLE BASE COMPLETELY. ANY DAMAGE TO THE LIGHT FIXTURE SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
3. REMOVE EXISTING CONDUIT AND CONDUCTORS AS NECESSARY FOR NEW CONSTRUCTION. REMOVE CONDUCTORS BACK TO THE NEXT POLE LIGHT THAT IS TO REMAIN IN PLACE. REUSE EXISTING CONDUIT AT THE EXISTING POLE BASE THAT IS TO REMAIN FOR NEW CONNECTIONS TO RELOCATED POLE LIGHTS. SEE SHEET C302.
4. IT IS ASSUMED THE HOME RUN FOR PARKING LOT POLE LIGHTS IS IN THIS GENERAL LOCATION. CONTRACTOR SHALL REMOVE AND REROUT HOME RUN CONDUIT AND CONDUCTORS.
5. IT IS ASSUMED THAT THE BRANCH CIRCUIT FOR THE LIGHT POLE IS IN THIS GENERAL LOCATION. REMOVE EXISTING CONDUCTORS BACK TO THE POLE LIGHT THAT IS TO REMAIN IN PLACE. ABANDON EXISTING CONDUIT IN PLACE.
6. CONTRACTOR TO TEMPORARILY REWIRE THE EXISTING POLE LIGHTS SO THEY ARE OPERATIONAL DURING THE CONSTRUCTION.
7. IT IS ASSUMED THE HOME RUN FOR STORAGE BUILDING BRANCH CIRCUIT IS IN THIS GENERAL LOCATION. REMOVE EXISTING CONDUIT AND CONDUCTORS AS NECESSARY TO BE OUT OF THE CONSTRUCTION AREA. IT IS ASSUMED THAT THE IRRIGATION CONTROLLER IS LOCATED IN THE STORAGE BUILDING. CONTRACTOR TO TEMPORARILY REWIRE THE STORAGE BUILDING SO IT REMAINS OPERATIONAL DURING THE CONSTRUCTION.
8. IT IS ASSUMED THE EXISTING HYRUM CITY POWER SECONDARY FEEDER IS IN THIS GENERAL LOCATION. PROTECT FROM DAMAGE DURING ALL PHASES OF THE CONSTRUCTION.
9. IT IS ASSUMED THE EXISTING CENTURYLINK LINE IS IN THIS GENERAL LOCATION. PROTECT FROM DAMAGE DURING ALL PHASES OF THE CONSTRUCTION.



Project for:
Hyrum UT West Stake Stake Suite Addition
Hyrum UT West Stake
 99 North 675 West
 Hyrum, Utah

Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Revisions	Description

Project Number: 24-10
 Plan Series: Stake Suite Addition
 Property Number: 599-1645-23010101

Date: June 3, 2024
 Sheet Title:

ELECTRICAL SITE DEMOLITION PLAN

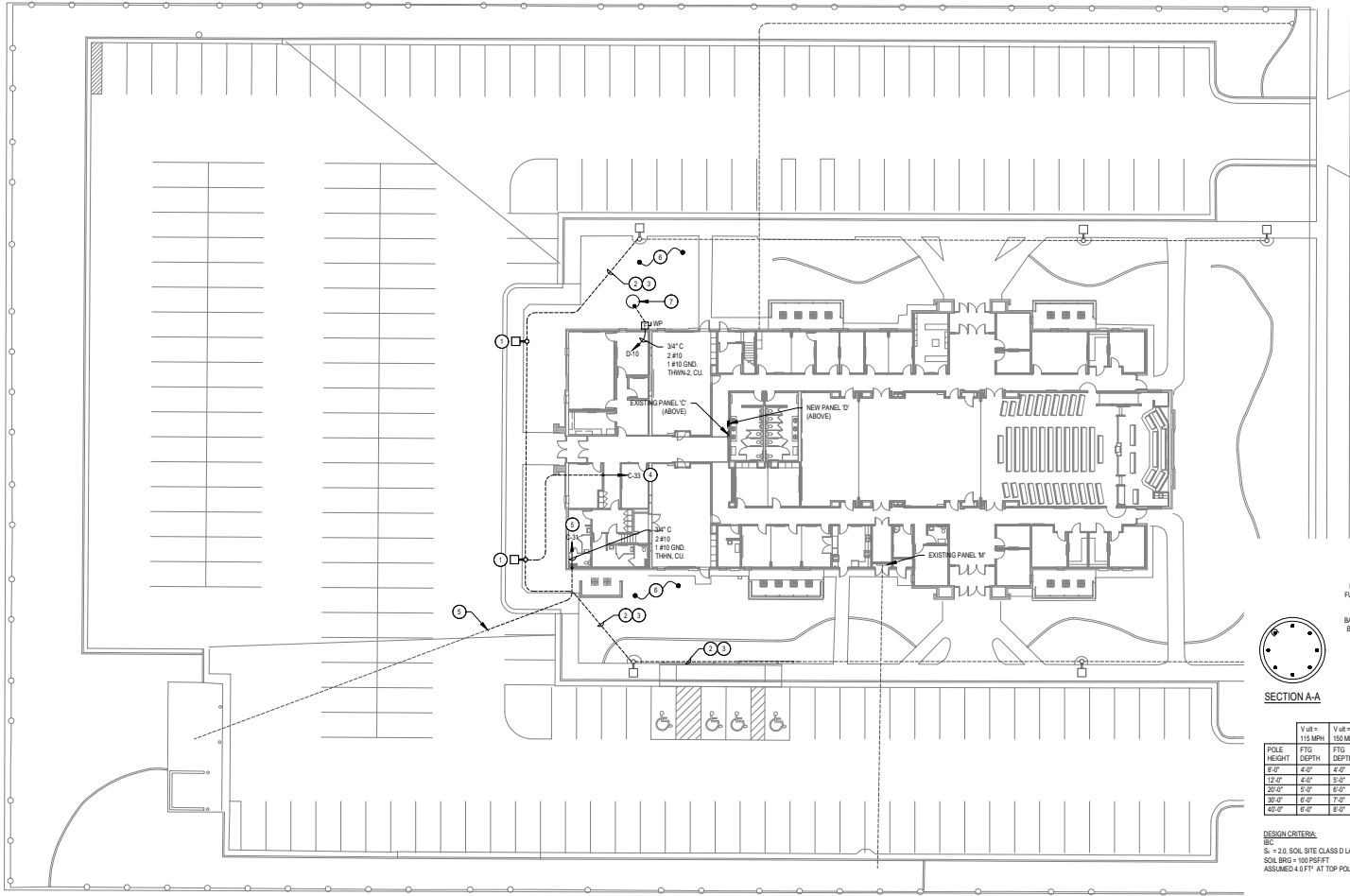
Sheet: **C301**



ELECTRICAL SITE DEMOLITION PLAN
 SCALE: 1" = 20'-0"

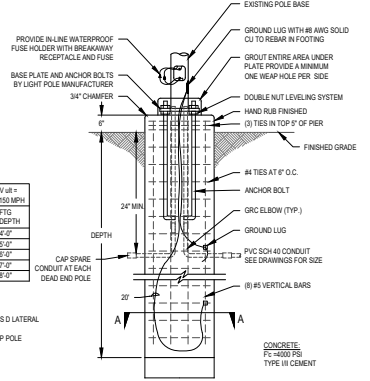


ENV: 2024-06-02



POLE HEIGHT	V=115 MPH		V=150 MPH	
	FTG DEPTH	FTG DEPTH	FTG DEPTH	FTG DEPTH
12'-0"	4'-0"	4'-0"	4'-0"	4'-0"
20'-0"	5'-0"	5'-0"	5'-0"	5'-0"
30'-0"	6'-0"	7'-0"	6'-0"	7'-0"
36'-0"	6'-0"	8'-0"	6'-0"	8'-0"

DESIGN CRITERIA
 S_c = +2.0, SOIL SITE CLASS LATERAL
 SOIL BCS = 100 PSF
 ASSUMED 4.0 FT AT TOP POLE



1 TYPICAL POLE BASE DETAIL
 SCALE: NONE

NOTE:
 DESIGN SHOWN FOR CONCRETE POLE BASES IS FOR INFORMATIONAL PURPOSES ONLY TO COMPLY THE NECESSARY REQUIREMENTS. ELECTRICAL CONTRACTOR SHALL BE REQUIRED TO PROVIDE A POLE BASE DESIGN AND ASSOCIATED STRUCTURAL CALCULATIONS AND SUBMIT THEM TO THE ENGINEER AS A DEFERRED SUBMITTAL FOR REVIEW. THE POLE BASE DESIGN SHALL BE STAMPED AND SIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF UTAH. THE POLE BASE DESIGN SHALL BE BASED UPON THE ACTUAL POLE FIXTURE, SOIL CONDITIONS, WIND SPEED FOR THE AREA INSTALLED, ETC.

- GENERAL NOTES**
- ALL NEW CONDUITS THAT ARE 1" AND LARGER THAT ARE ROUGH-IN UNDER THE BUILDING SLAB SHALL BE PLACED UNDER THE VAPOR BARRIER.
 - ALL NEW SITE CONDUIT AND LIGHT POLE CONDUIT SHALL BE PLACED 24" BELOW THE FINISHED GRADE. DO NOT INSTALL CONDUIT ON TOP OF GRAVEL OR DIRECTLY BELOW THE SIDEWALK OR BUILDING SLAB.
- KEYED NOTES**
- REINSTALL EXISTING PARKING LOT POLE LIGHT THAT WAS REMOVED AS PART OF THE DEMOLITION.
 - INTERCEPT THE EXISTING 3/4" POLE LIGHT CONDUIT AND EXTEND TO NEW LIGHT POLE LOCATION.
 - PROVIDE NEW BRANCH CIRCUIT FROM PREVIOUS POLE LIGHT TO POLE LIGHT. CONDUCTORS TO BE CONTINUOUS FROM POLE LIGHT TO POLE LIGHT. DO NOT SPLICE CONDUCTORS. CONTRACTOR TO MATCH THE EXISTING INSTALLED CONDUCTORS. CONFIRM PRIOR TO START OF CONSTRUCTION.
 - RECONNECT PARKING LOT POLE LIGHTS TO THE EXISTING BRANCH CIRCUIT AND CONTROLS THAT WERE IN PLACE PRIOR TO THE DEMOLITION. ALL PARKING LOT LIGHTS TO FUNCTION THE SAME AS PRIOR TO THE DEMOLITION.
 - INTERCEPT EXISTING 3/4" CONDUIT FEEDING THE STORAGE BUILDING AND RECONNECT TO THE EXISTING BRANCH CIRCUIT. EXTEND NEW CONDUCTORS FROM THE STORAGE BUILDING DISCONNECT TO PANEL C. DO NOT SPLICE CONDUCTORS. STORAGE BUILDING TO FUNCTION THE SAME AS PRIOR TO THE DEMOLITION.
 - RESTORE ANY CONDUITS AND BRANCH CIRCUITS THAT WERE REMOVED OR DAMAGED DURING THE DEMOLITION OR NEW CONSTRUCTION.
 - SEWER EJECTOR PUMP. PROVIDE POWER CONNECTION AND ALL REQUIRED CONDUIT ROUGH-IN. COORDINATE ALL CONNECTION REQUIREMENTS WITH THE PUMP SUPPLIER/INSTALLER PRIOR TO ANY ROUGH-IN.



Project for:
Hyrum UT West Stake Suite Addition
Hyrum UT West Stake
 99 North 675 West
 Hyrum, Utah

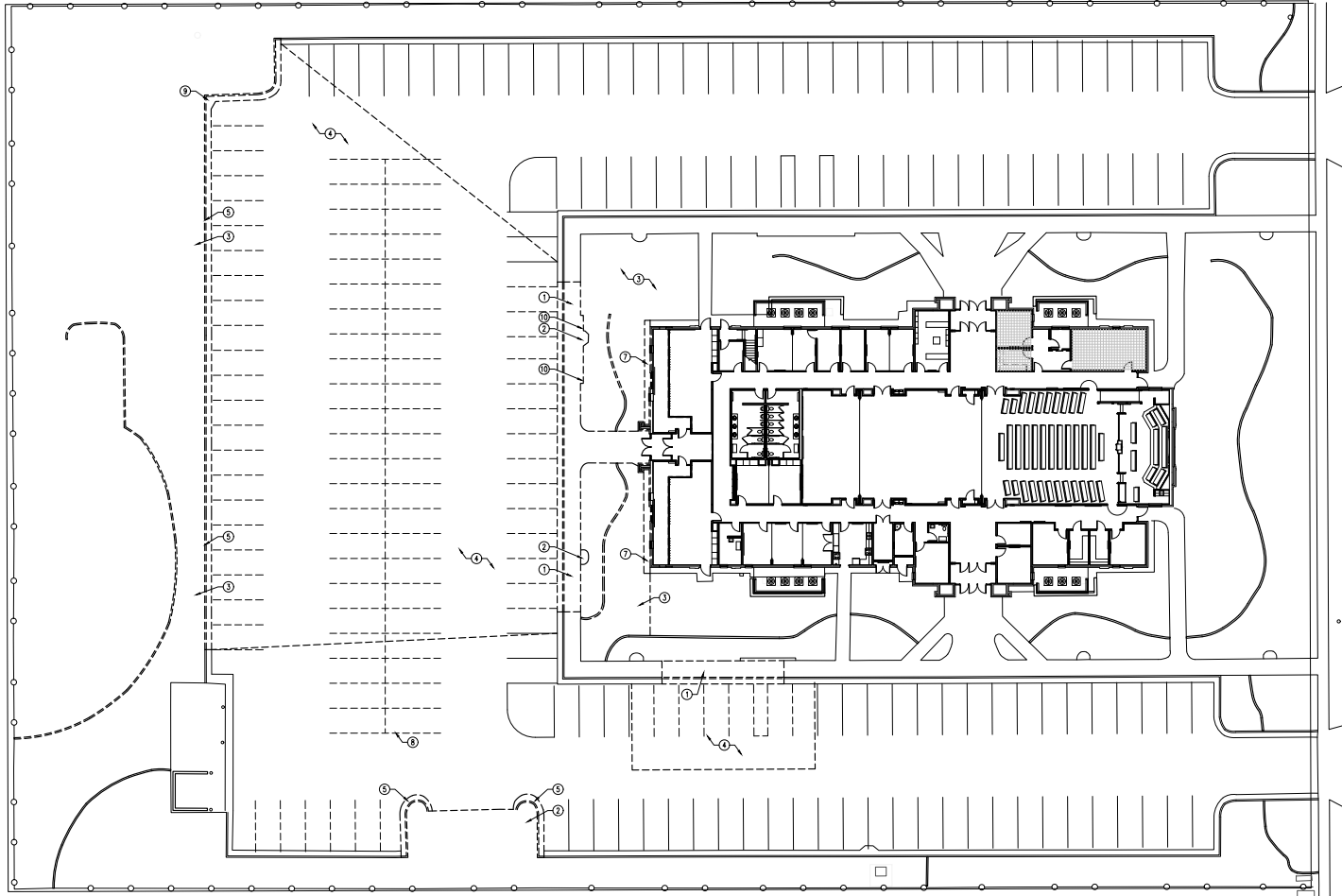
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Revisions	Description	Date

Project Number: 24-10
 Plan Series: State Suite Addition
 Property Number: 599-1645-23010101
 Date: June 3, 2024
 Sheet Title:

ELECTRICAL SITE PLAN
 Sheet: **C302**





KEYED NOTES

1. SAWCUT AND REMOVE EXISTING COMBINATION CONCRETE SIDEWALK, CURB AND CUTTER; SHOWN DASHED
2. REMOVE EXISTING LIGHT POLE AND CONCRETE APRON; SALVAGE LIGHT POLE FOR REUSE
3. REMOVE EXISTING LANDSCAPING, CONCRETE MOW STRIPS, AND IRRIGATION; COORDINATE WITH NEW LANDSCAPE. CONTRACTOR SHALL ENSURE THAT REMAINING IRRIGATION ZONES REMAIN IN SERVICE WHERE LANDSCAPING IS NOT IMPACTED
4. SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT AND ROAD BASE; DO NOT OVERCUT ASPHALT
5. SAWCUT AND REMOVE EXISTING CONCRETE CURB AND CUTTER; SHOWN DASHED
6. REMOVE EXISTING CONCRETE WATERWAY
7. REMOVE EXISTING CONCRETE APRON
8. REMOVE EXISTING PARKING LOT STRIPING
9. REMOVE EXISTING CATCH BASIN; SEE GRADING AND DRAINAGE PLANS
10. REMOVE EXISTING ACCESSIBLE PARKING STALL SIGNAGE



Hyrum UT West Stake Suite Addition
 Hyrum UT West Stake
 99 North 675 West
 Hyrum, Utah

Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

GENERAL NOTES

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2. ALL ITEMS ARE EXISTING AND ARE TO REMAIN UNLESS NOTED OTHERWISE.
3. THE CONTRACTOR OR SUBCONTRACTOR SHALL VISIT THE SITE AND SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING ANY WORK. ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IN WRITING UPON DISCOVERY.
4. ALL PROPERTY DAMAGED BY WORK UNDER THIS CONTRACT SHALL BE REPAIRED AND/OR REPLACED TO THE SATISFACTION OF THE OWNER.
5. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF RUBBISH AND WASTE MATERIALS FROM THE WORK.
6. COORDINATE ALL SITE WORK WITH ALL OTHER CONTRACT DOCUMENTS.
7. ALL APPLICABLE ELEMENTS OF THE AMERICAN'S WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES WILL BE ADHERED TO.

Revision	Description	When	Date

Project Number	24-10
Plan Series	State Suite Addition
Project Number	599-1645-230-10101
Date	June 3, 2024

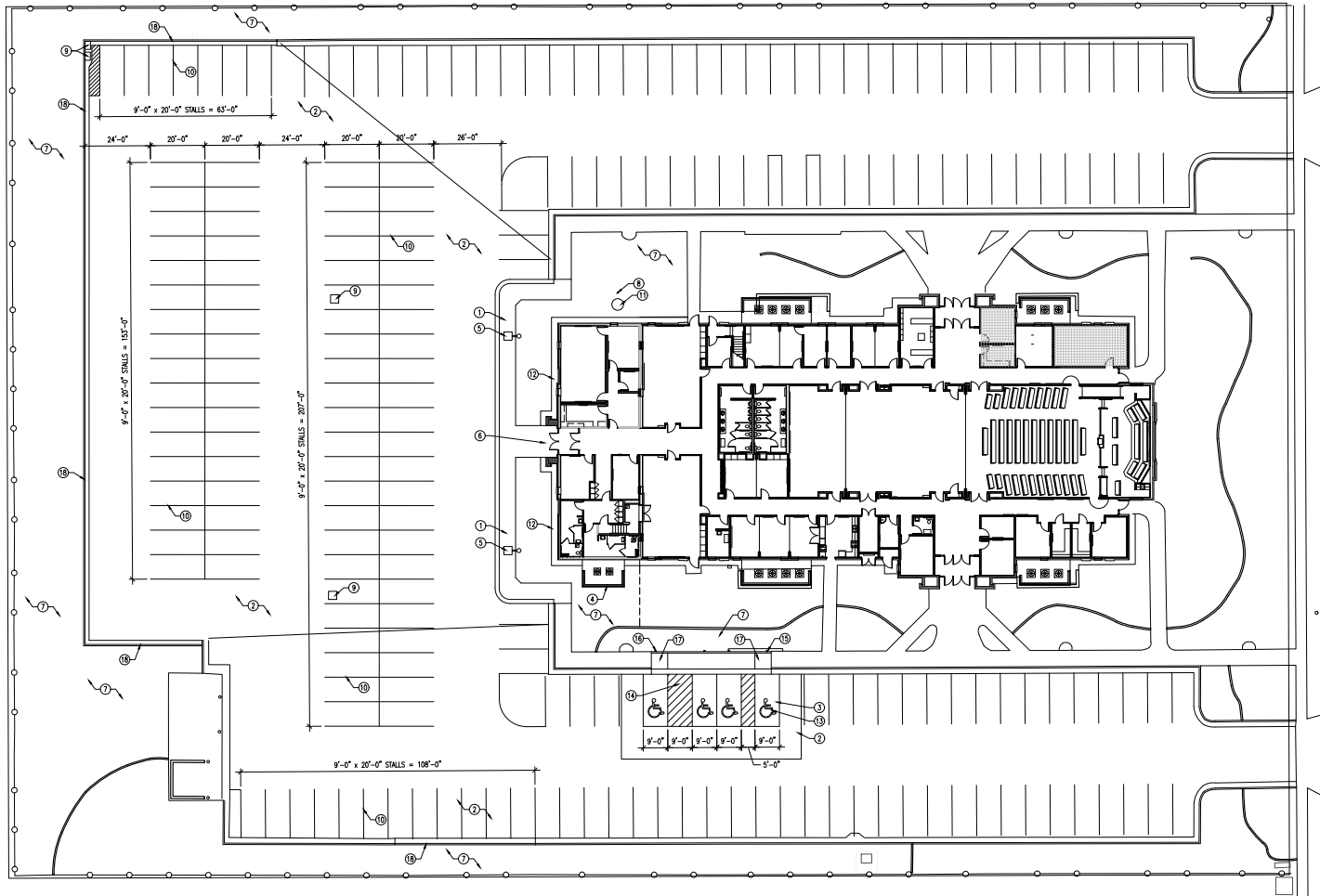
Sheet Title
 DEMOLITION SITE PLAN

Sheet
C401

DEMOLITION SITE PLAN

SCALE: 1" = 20'-0"





KEYED NOTES

1. NEW COMBINATION CONCRETE SIDEWALK, CURB AND GUTTERS; SEE A/C511
2. NEW ASPHALT PAVING; SEE K/C511
3. NEW CONCRETE PAVING ACROSS ADA STALLS; 2% MAXIMUM SLOPE; SEE GRADING AND DRAINAGE PLAN
4. NEW MECHANICAL ENCLOSURE TO MATCH EXISTING; SEE M/C511 AND N/C511
5. INSTALL SALVAGED LIGHT POLE WITH CONCRETE APRON; SEE ELECTRICAL
6. NEW CONCRETE ENTRY; SEE C/C511
7. PATCH AND REPAIR EXISTING LANDSCAPING AND IRRIGATION; TYPICAL
8. NEW SEWER CLEANOUT WITH TRIANGULAR CAST IRON LID; SEE L/C511 AND UTILITY PLAN
9. NEW CATCH BASIN; SEE GRADING AND DRAINAGE PLAN
10. NEW PAINTED PARKING STRIPING
11. NEW SEWER EJECTOR PUMP; SEE UTILITY PLAN
12. NEW 2'-0" WIDE CONCRETE MON STRIP TO MATCH EXISTING; SEE H/C511
13. PAINTED ACCESSIBLE PARKING SYMBOL
14. PAINTED ACCESSIBLE ANGLE, 4" WIDE STRIPES SPACED AT 2'-0" AT 45 DEGREES
15. NEW ACCESSIBLE PARKING SIGNAGE TO MATCH EXISTING; TYPICAL OF 3
16. NEW VAN ACCESSIBLE PARKING SIGNAGE TO MATCH EXISTING; TYPICAL OF 1
17. RAMP; SEE G/C501
18. CONCRETE CURB AND GUTTER; SEE C/C501 AND D/C501

GENERAL NOTES

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2. ALL ITEMS ARE EXISTING AND ARE TO REMAIN UNLESS NOTED OTHERWISE.
3. THE CONTRACTOR OR SUBCONTRACTOR SHALL VISIT THE SITE AND SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING ANY WORK. ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IN WRITING UPON DISCOVERY.
4. ALL PROPERTY DAMAGED BY WORK UNDER THIS CONTRACT SHALL BE REPAIRED AND/OR REPLACED TO THE SATISFACTION OF THE OWNER.
5. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF RUBBISH AND WASTE MATERIALS FROM THE WORK.
6. COORDINATE ALL SITE WORK WITH ALL OTHER CONTRACT DOCUMENTS.
7. ALL APPLICABLE ELEMENTS OF THE AMERICAN'S WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES WILL BE ADHERED TO.



Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS
 Hyrum UT West Stake Suite Addition
 Hyrum UT West Stake

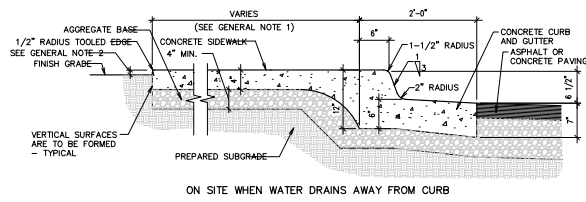
Project Number: 24-10
 Plan Series: State Suite Addition
 Property Number: 599-1645-230-10101
 Date: June 3, 2024
 Sheet Title: SITE PLAN

Revisions	Description

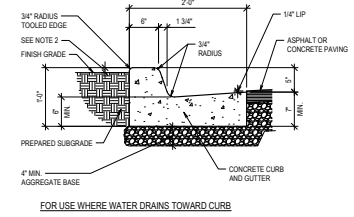
SITE PLAN
 SCALE: 1" = 20'-0"



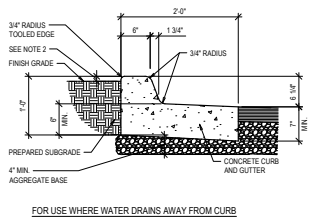
Sheet
C411



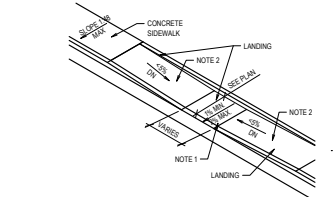
A INTEGRAL SIDEWALK, CURB AND GUTTER



C CURB AND GUTTER - IN FLOW



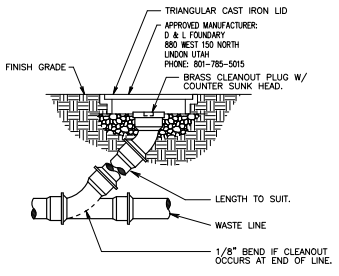
D CURB AND GUTTER - OUT FLOW



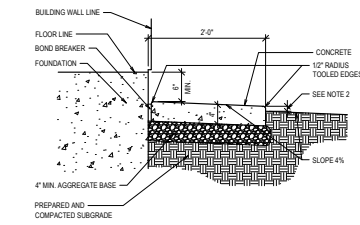
G ACCESSIBLE SLOPED WALK DETAILS

- NOTES**
- UNLESS REQUIRED OTHERWISE BY THE AUTHORITY HAVING JURISDICTION, USE A LIGHT BRUSH FINISH ON RAMPS AND LANDINGS TO MATCH THE FINISHES ON THE SIDEWALKS.
 - 5% MAXIMUM IN DIRECTION OF TRAVEL. LIMIT CROSS SLOPE ON SIDEWALKS 2%.
 - ALL LANDINGS MUST HAVE 1:48 CROSS SLOPE AND RUNNING SLOPE. LANDING MUST BE AS WIDE AS THE RAMP.
 - CROSS SLOPE ON RAMP MUST BE 1:48 OR LESS.
 - COUNTER SLOPES OF ADJOINING GUTTERS AND PAVING ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 1:20 (5%). ALLOWED CROSS SLOPES: 1:20 (5%), 1:30 (3.3%), 1:48 (2.1%).

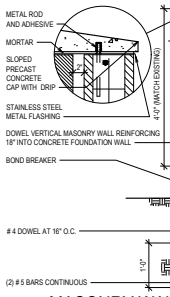
K ASPHALT SECTION
1" = 1'-0"



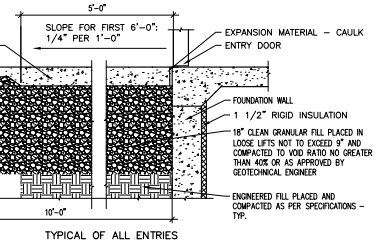
L CLEANOUT TO GRADE
NONE



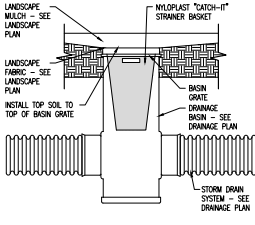
H APRON ADJACENT TO BUILDING



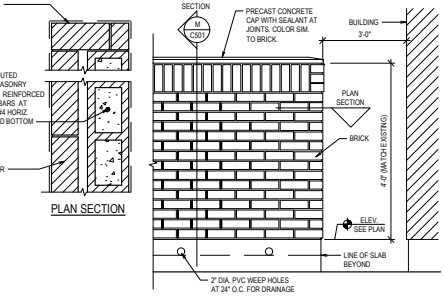
M MASONRY WALL MECHANICAL ENCLOSURE



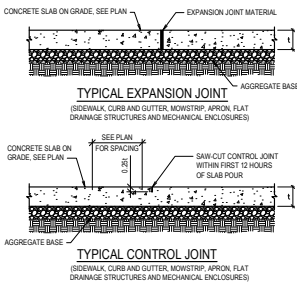
E ENTRY DETAIL



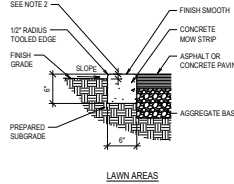
J YARD DRAIN
SCALE: 1/2" = 1'-0"



N MASONRY WALL MECH. ENCLOSURE ELEV.



B EXPANSION AND CONTROL JOINT



F MOW STRIP

GENERAL NOTES

- SEE SITE PLAN FOR APRON, MOW STRIP AND SIDEWALK LOCATIONS AND WIDTHS.
- 1" PRIOR TO SEEDING, 2" PRIOR TO SOODING AND 4" IN PLANTING AREAS.
- EXPANSION JOINT MATERIAL SHALL BE SEEDING 1/4" WHERE SEALANT IS NOT APPLIED, AND 1/2" WHERE SEALANT IS APPLIED.
- EXTERIOR CONCRETE USE 4000 PSI MIN. IF EXPOSED TO FREEZE-THAW CYCLES AND/OR DE-ICER SALTS. USE 3000 PSI MIN. OTHERWISE EXCEPT USE 4000 PSI AT CONCRETE PAVING.
- CONTRACTOR TO INSTALL EXPANSION AND CONTROL JOINTS AS REQUIRED PER THE SPECIFICATIONS.
- ALL AGGREGATES SHALL Satisfy ASTM AND DEPARTMENT OF TRANSPORTATION STRENGTH AND DURABILITY REQUIREMENTS. GRANITE AGGREGATES ARE PREFERRED BUT HIGH QUALITY LIMESTONE AGGREGATES ARE ACCEPTABLE. SEE SPECIFICATION.
- ALL REINFORCING BARS ARE TO BE EPOXY COATED, IN CONCRETE CURBS, GUTTERS, SIDEWALKS, PAVING, BASINS.



Hyrum UT West Stake Suite Addition
Hyrum UT West Stake
909 North 675 S West
Hyrum, Utah

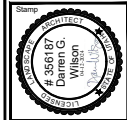
Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Revisions	Description	Date

Project Number: 24-10
Plan Series:
Suite/Suite Addition
Property Number:
5991-1645-23010101
Date:
June 20, 2024
Sheet Title:

SITE DETAILS

Sheet:
C511

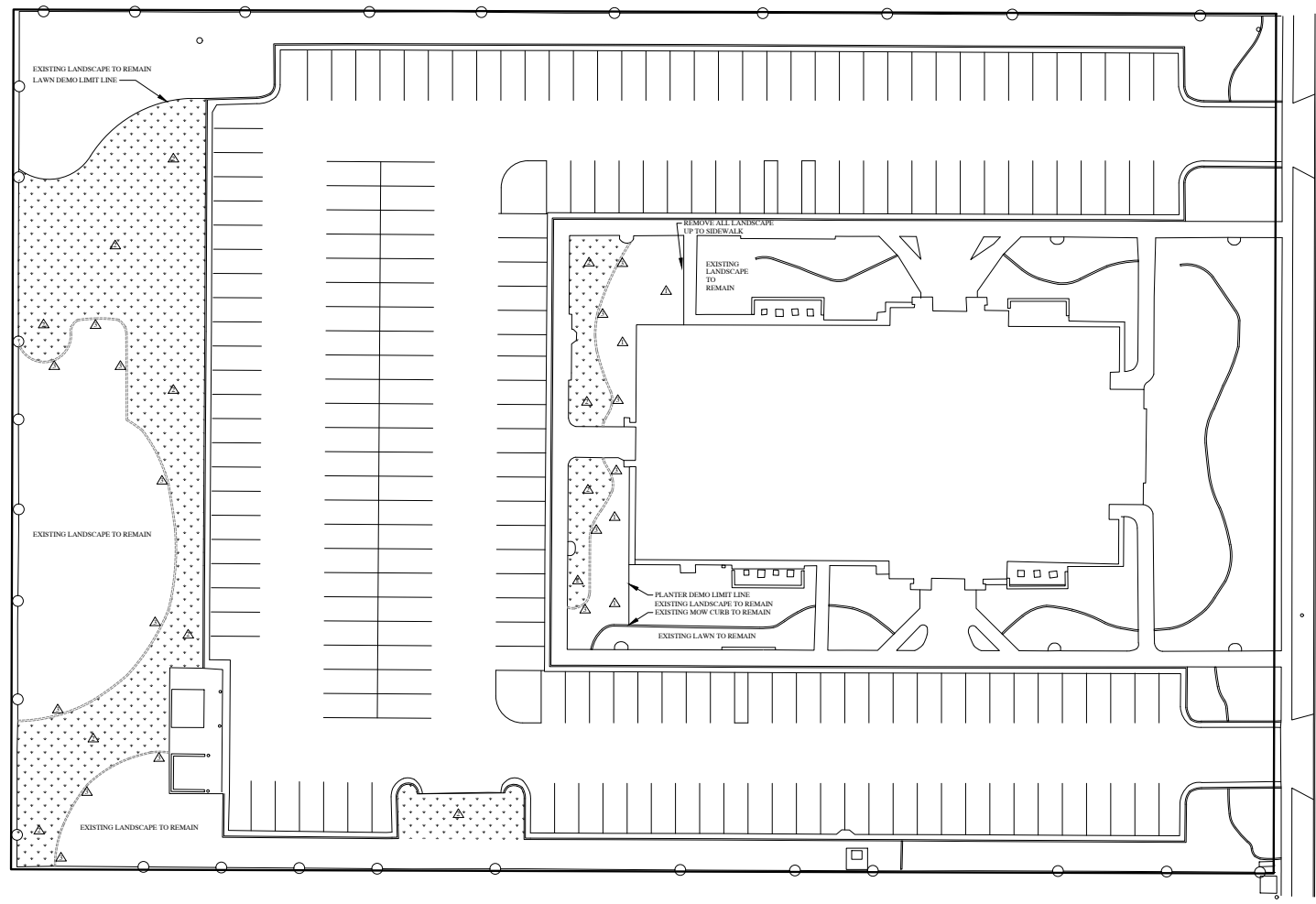


Mark	Date	Description

Project Number	
Plan Series	
State Suite Addition	
Property Number	599-1645-25010101
Date	February 24, 2024

Sheet Title
DEMOLITION PLAN

Sheet
LS1.0

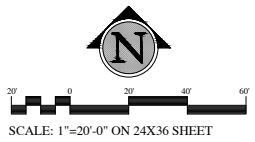


LANDSCAPE DEMOLITION NOTES

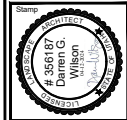
1. MAINTAIN EXISTING IRRIGATION SYSTEM TO LANDSCAPING THAT WILL REMAIN IN PLACE. PROVIDE TEMPORARY WATERING DURING CONSTRUCTION AS NECESSARY TO KEEP TREES THRIVING WHILE IRRIGATION SYSTEM IS BEING MODIFIED TO FIT THE NEW PLANS.
2. EXISTING LAWN AND PLANTERS WITHIN DESIGNATED AREAS PER PLANS TO BE EXCAVATED AS NECESSARY IN ORDER TO ALLOW FOR NEW IMPORTED AND AMENDED TOPSOIL AND TOP DRESSING/MULCH AS WELL AS NEW IRRIGATION, ETC.
3. CARE SHALL BE TAKEN NOT TO DAMAGE EXISTING LANDSCAPING TO REMAIN IN PLACE OR ANY OTHER ASPECTS OF THE ADJACENT LANDSCAPING OR HARDSCAPING. ALL DAMAGE CAUSED AND NECESSARY REPAIRS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COSTS BEING INCURRED BY THE OWNER.
4. CONTRACTOR SHALL FOLLOW LOCAL CODES PERTAINING TO DUST CONTROL AND NOISE ORDINANCE CODES.
5. CONTRACTOR SHALL REMOVE ALL PLANT MATERIAL AS INDICATED ON PLANS AROUND THE BUILDING.
6. CONTRACTOR SHALL REMOVE ONLY BARK MULCH, FABRIC AND OTHER DEBRIS AS REQUIRED FOR THE NEW DESIGN TO BE IMPLEMENTED AND DISPOSE OF THEM OFFSITE PER LOCAL CODE.
7. AFTER THE REMOVAL OF ALL DESIGNATED PLANT MATERIAL AND OTHER WASTE, CONTRACTOR SHALL EXCAVATE AS NECESSARY TO ACCOMMODATE NEW HARDSCAPING, PLANTER AREAS PER PLANS AND SPECS.

DEMOLITION LEGEND

- △ REMOVE EXISTING SHRUBBERY AND GROUND COVER
- △ REMOVE EXISTING LAWN
- △ REMOVE EXISTING MOW CURB

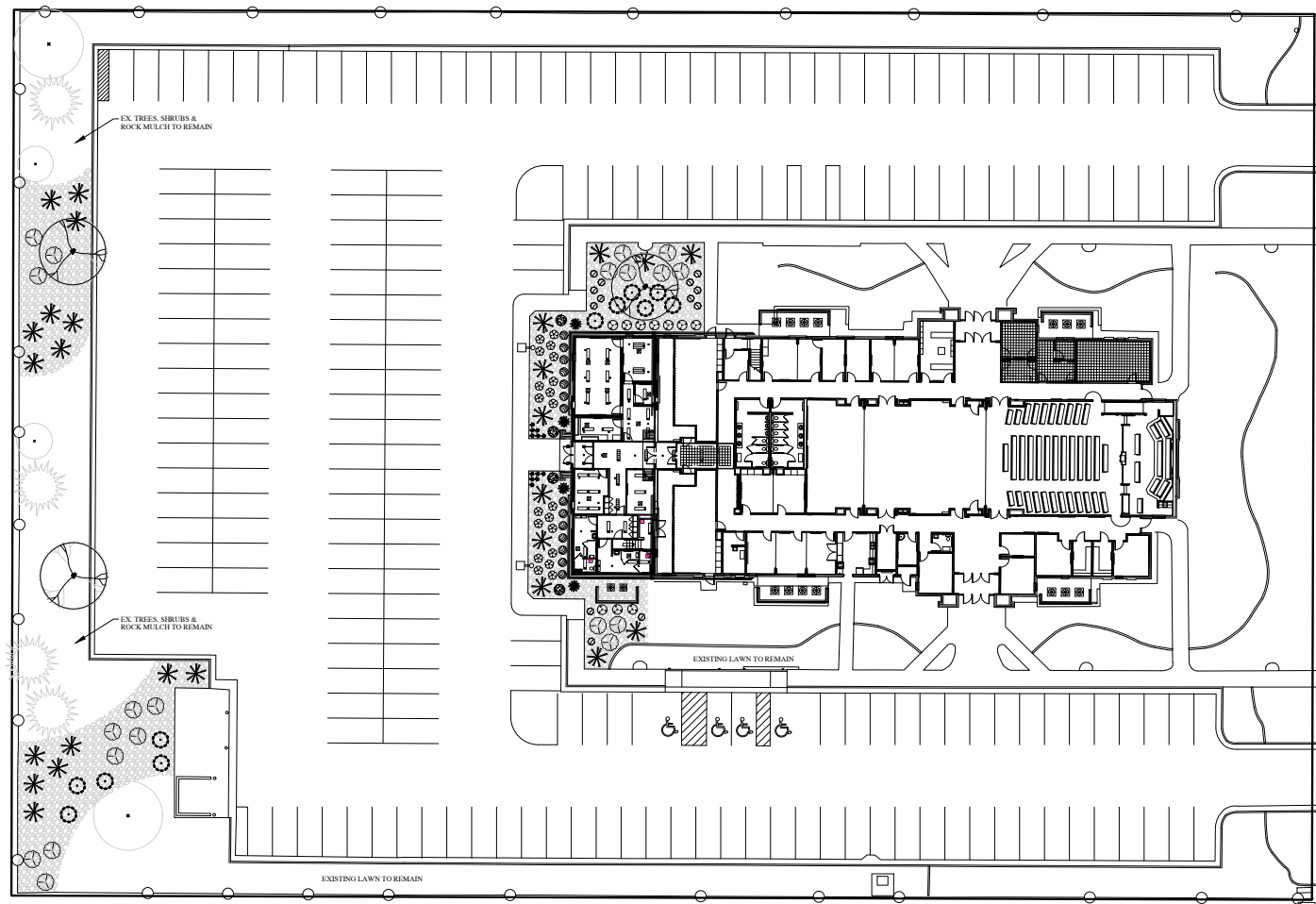


SCALE: 1"=20'-0" ON 24X36 SHEET



Revision	Date	Description

Project Number	24-10
Plan Series	Stake Suite Addition
Property Number	599-1645-25010161
Date	February 24, 2024



TREE LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	CELTIS OCCIDENTALIS COMMON HACKBERRY	3	2" GAL.
	EXISTING TREES TO REMAIN		

DECIDUOUS SHRUB LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	CORNUS ALBA KELSEYI KELSEYI DOGWOOD	13	5 GAL.
	HEMEROCALLIS HAPPY RETURNS HAPPY RETURNS DAYLILY	12	1 GAL.
	PHYSOCARPUS OPELOUSIS LITTLE DEVIL LITTLE DEVIL NINEBARK	4	5 GAL.
	PRUNUS BESSEYI PAWNEE BUTTES PAWNEE BUTTES SAND CHERRY	20	5 GAL.
	RIBES ALPINUM GREEN MOUND GREEN MOUND CURRANT	14	5 GAL.
	ROSA X MESWINTON FRAGRANT PINK DRIET GROUND COVER ROSE	20	5 GAL.
	SYMPHORICARPOS X CHENAULTII HANCOCK HANCOCK CORAL BERRY	11	5 GAL.

EVERGREEN SHRUB LEGEND

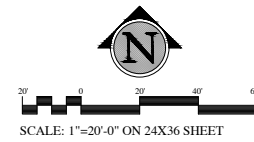
SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	JUNIPERUS HORIZONTALIS WILTONII BLUE RUG CREEPING JUNIPER	26	5 GAL.
	MAHONIA AQUIFOLIUM COMPACTA CREEPING OREGON GRAPE	10	5 GAL.
	PINUS MUGO SLOWGROWING SLOWGROWING MUGO PINE	4	5 GAL.

GROUNDCOVERS LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY
	ROCK MULCH TO BE 3/4" SIZE "MORAVE" CRUSHED ROCK TO MATCH EXISTING. IMPLEMENT IN AREA SHOWN AT A 3" DEPTH OVER WEED BARRIER FABRIC.	PER PLAN

LANDSCAPE NOTES

- AFTER DEMOLITION OF EXISTING LAWN AND SHRUBS, CONTRACTOR SHALL IMPORT SCREENED AND AMENDED TOPSOIL TO BRING EXISTING GRADE UP TO FINISHED GRADE AS NECESSARY. INSTALL SOIL AMENDMENTS IN PLANT FITS PER SPECS. EXCAVATE OUT LAWS AND SOIL DEEP ENOUGH TO ALLOW FOR NEW ROCK MULCH. KEEP MULCH MIN. 1" BELOW TOP OF EXISTING/PROPOSED SIDEWALK.
- 3" DEPTH OF CRUSHED AND SCREENED ROCK SHALL BE INSTALLED IN ALL PLANTER BED AREAS AROUND THE EXISTING BUILDING AS SHOWN.
- DEWITT 4 LbZ LANDSCAPE FABRIC TO BE IMPLEMENTED IN ALL SHRUB BEDS AND BENEATH ROCK MULCH PRIOR TO MULCH INSTALLATION. FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- MATERIAL QUANTITIES AND COUNTS ON LEGENDS AND NOTES ARE FOR CONVENIENCE ONLY. LANDSCAPE CONTRACTOR RESPONSIBLE TO VERIFY ALL COUNTS AND QUANTITIES ON PLANS.





Evans + Associates Architecture
www.evansassoc.com
Phone 801-535-8272 Fax 801-535-8273



Project Name:
Hyrum UT West Stake Stake Addition
Hyrum UT West Stake

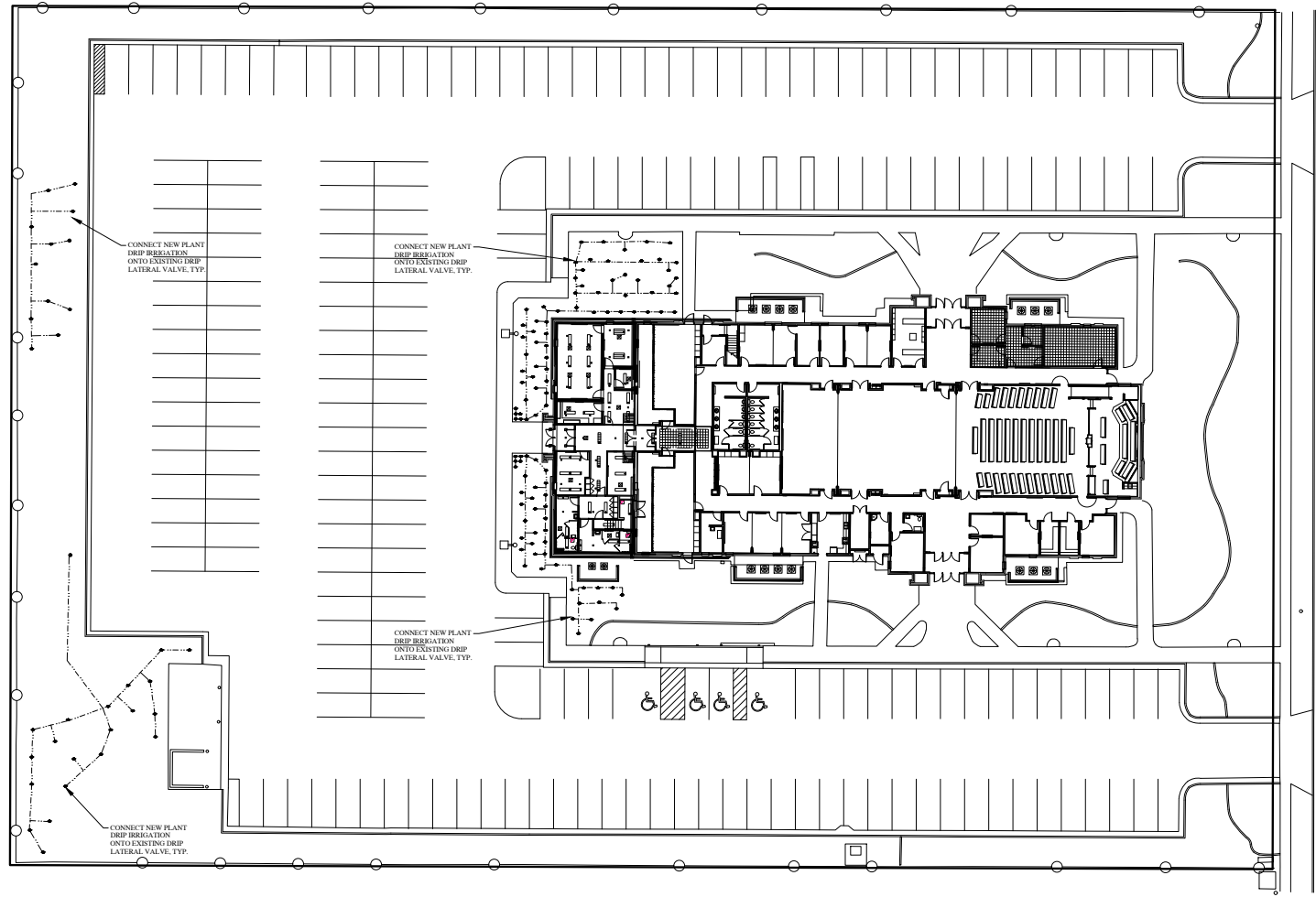
Project for:
THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

Table with columns: Mark, Date, Description, Revision.

Project Number: 24-10
Plan Series: Stake Suite Addition
Property Number: 599-1645-25010101
Date: February 24, 2024

Sheet Title:
SCHEMATIC IRRIGATION PLAN

Sheet:
LS3.0



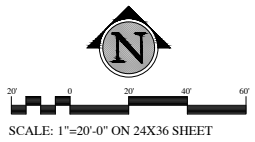
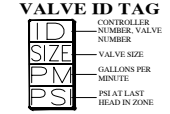
IRRIGATION NOTES

- 1. WITH NO IRRIGATION AS-BUILT AVAILABLE, IRRIGATION MODIFICATION WILL HAVE TO BE DONE BY CONTRACTOR...
2. ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE CITY AND/OR COUNTY CODES...
3. CONTRACTOR SHALL HAVE ALL UTILITIES BELIEVED...
4. PROVIDE AN AS-BUILT REPRODUCTION DRAWING...
5. CONTRACTOR SHALL ONLY USE COMMERCIAL GRADE PRODUCTS...
6. CONTRACTOR SHALL BUILD IRRIGATION SYSTEM WITH HEAD TO HEAD COVERAGE...
7. AS MUCH AS POSSIBLE, IN LAWN AREAS BEING CHANGED TO PLANTER BEDS...
8. AS MUCH AS POSSIBLE, IN LAWN AREAS BEING DOWNSIZE...
9. LANDSCAPE CONTRACTOR (L.C.) TO RE-USE EXISTING MAINLINE AND VALVES...
10. ANY DAMAGE TO EXISTING IRRIGATION SYSTEM...
11. ALL EXISTING LANDSCAPE AREAS TO REMAIN...
12. LANDSCAPE CONTRACTOR (L.C.) TO USE EXISTING SLEEVING...
13. LATERAL PIPES SHALL CARRY NO MORE THAN THE FOLLOWING...
14. LATERAL PIPES SHALL BE 1/2" DEEP MIN. NO ROCK GREATER THAN 3/4" DIAMETER...

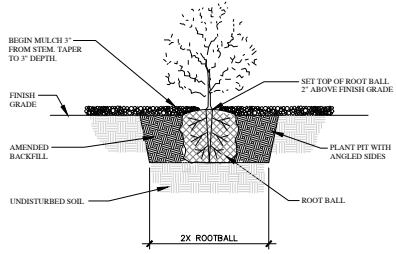
- 14. LATERAL LINES SHALL BE 1/2" DEEP MIN. NO ROCK GREATER THAN 3/4" DIAMETER...
15. PLACE PIPES, VALVE BOXES AND ALL OTHER SPRINKLER CONSTRUCTION...
16. ALL SPRINKLERS SHALL BE ADJUSTED ON-SITE...
17. ACTUAL INSTALLATION OF IRRIGATION SYSTEM...
18. LANDSCAPE CONTRACTOR SHALL MATCH PRECIPITATION RATES...
19. INSTALL ALL HEADS 2" AWAY FROM ALL WALKS AND WALLS...
20. DRIP PIPE FOR POINT SOURCE EMITTERS SHALL BE RAINBIRD SPS-FLEXIBLE HOSE...
21. SURFACE DRIP LINES SHALL BE NET AIRM TECH LINE...
22. MODIFY DRIP ZONES AS NECESSARY TO PROVIDE ADEQUATE COVERAGE...

CHURCH IRRIGATION LEGEND table with columns: SYMBOL, MANUFACTURER-MODEL NUMBER, PAT., RD., PSI, GPM, DRIP GPH, DETAILS, REMARKS.

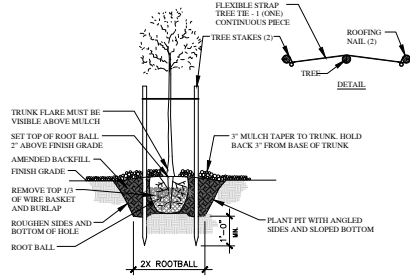
DRIP EMITTER LEGEND table with columns: PLANT TYPE, EMITTER QUANTITY, EMITTER TYPE.



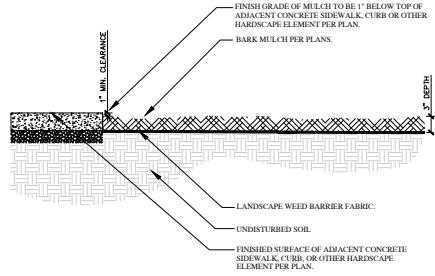
SCALE: 1"=20'-0" ON 24X36 SHEET



1 SHRUB PLANTING SCALE: NTS



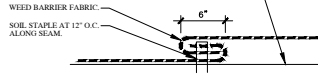
2 TREE PLANTING AND STAKING SCALE: NTS



3 BARK MULCH AND WEED BARRIER FABRIC SCALE: NTS

- NOTES:**
- BARK MULCH SHALL BE SCREENED & DOUBLE WASHED AND BE FREE OF DEBRIS PRIOR TO INSTALLATION. IF MULCH SUPPLIER DOES NOT HAVE A WASH PLANT, THE LANDSCAPE CONTRACTOR SHALL STILL BE RESPONSIBLE FOR DOUBLE WASHING ALL BARK MULCH PRIOR TO INSTALLATION.
 - BEFORE PLACING WEED BARRIER FABRIC AND BARK MULCH, APPLY A PRE-EMERGENT HERBICIDE TO SOIL. AFTER PLACING WEED BARRIER, PLANTS AND BARK MULCH, BARK MULCH SMOOTH, WATER DOWN TO ENSURE DEPTH, LET DRY. THEN APPLY A SECONDARY APPLICATION OF PRE-EMERGENT HERBICIDE TO TOP OF BARK MULCH. KEEP TOP OF BARK MULCH 1\"/>

WEED FABRIC NOTE:
 INSTALL 6\"/>



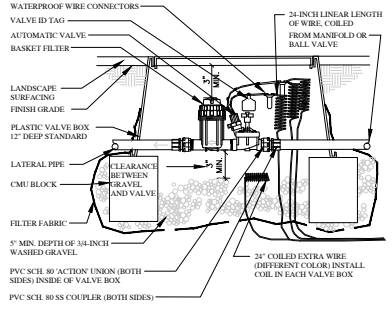
Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS
 Hyrum UT West Stake Suite Addition
 Hyrum UT West Stake

Project Number:
 24-10
 Plan Series:
 Stake Suite Addition
 Property Number:
 599-1645-25010101
 Date:
 February 24, 2024

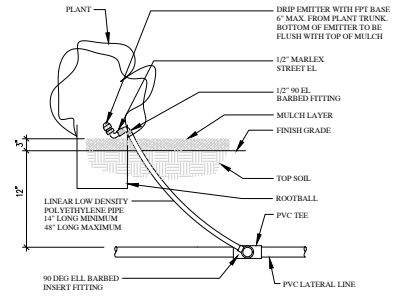
Mark	Date	Description



NOTES:
 1. LIMIT 1 VALVE PER BOX.
 2. 1/8" MIN. LATERAL LINE DEPTH AT VALVE BOX, 12" MIN. LATERAL LINE DEPTH EVERYWHERE ELSE.
 3. PROVIDE MIN. 2" CLEARANCE BETWEEN WIRE AND CMU BLOCK.

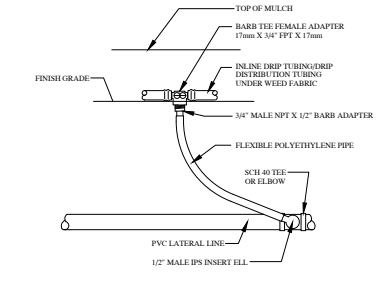


1 DRIP VALVE SECTION - CONVENTIONAL WIRE
SCALE: NTS.



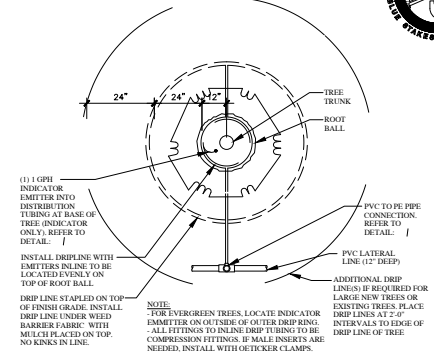
NOTE: LOCATE EMITTER ON BLDG OR FENCE SIDE OF PLANT.

2 DRIP EMITTER INSTALLATION
SCALE: NTS.



NOTES:
 1. USE AT TREE RINGS ONLY.
 2. LIMIT 1 VALVE PER BOX.
 3. 1/8" MIN. LATERAL LINE DEPTH AT VALVE BOX, 12" MIN. LATERAL LINE DEPTH EVERYWHERE ELSE.
 4. PROVIDE MIN. 2" CLEARANCE BETWEEN CONDUIT AND CMU BLOCK.

3 PVC TO BE PIPE CONNECTION
SCALE: NTS.



4 TREE DRIP - PLAN VIEW (PLANTER AREAS)
SCALE: NTS.



Hyrum UT West Stake Suite Addition
 Hyrum UT West Stake

Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Mark	Date	Revision	Description

Project Number: 24-10
 Plan Series: Stake Suite Addition
 Property Number: 599-1645-2501011
 Date: February 24, 2024

Sheet Title

IRRIGATION DETAILS

Sheet

LS5.0



Revised	Description

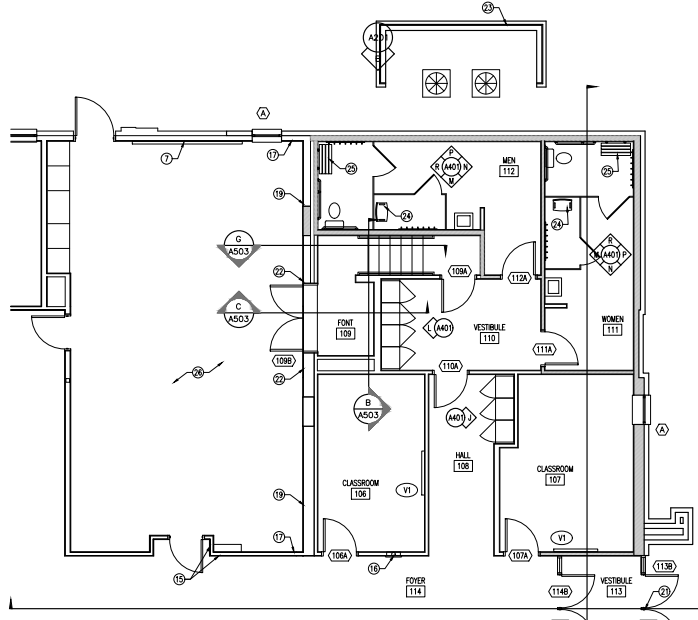
Project Number	24-10
Plan Series	Stake Suite Addition
Property Number	599-1645-230-10101
Date	June 3, 2024
Sheet Title	

KEYED NOTES

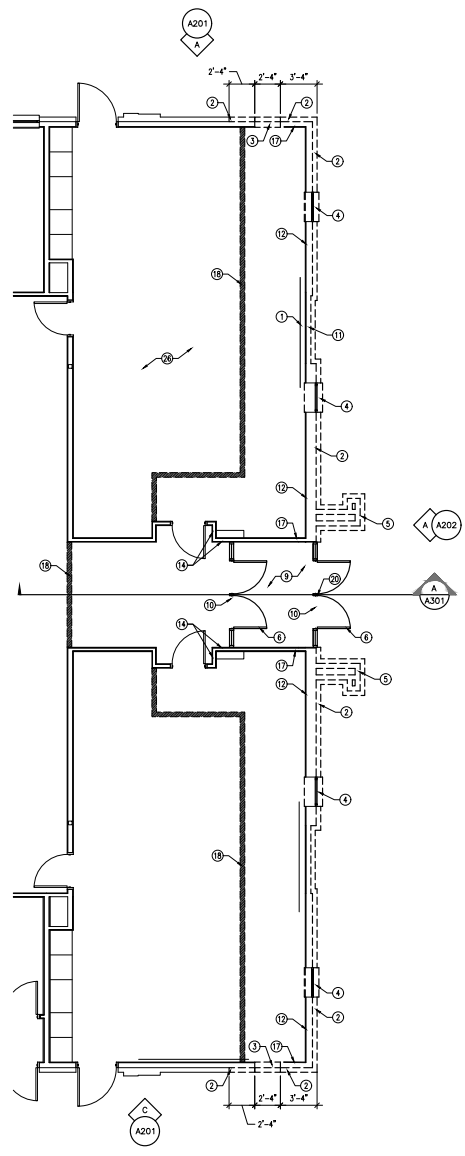
- REMOVE EXISTING VISUAL DISPLAY BOARD, SALVAGE FOR REUSE
- REMOVE EXISTING BRICK VENEER AND ASSOCIATED MATERIALS, SHOWN DASHED
- REMOVE EXISTING WOOD STUD WALL FRAMING IN PREPARATION FOR NEW WINDOW, COORDINATE WITH NEW AND STRUCTURAL, SHOWN DASHED
- REMOVE EXISTING WINDOW, SHOWN DASHED
- REMOVE EXISTING COLUMN, SHOWN DASHED
- REMOVE EXISTING STOREFRONT DOORS AND FRAMES, SHOWN DASHED
- INSTALL SALVAGED VISUAL DISPLAY BOARD
- WALL MOUNTED TELEVISION, SEE ELECTRICAL
- REMOVE EXISTING WALK-OFF TILE MAT CARPET
- REMOVE EXISTING METAL THRESHOLD
- REMOVE EXISTING WOOD STUD WALL FRAMING IN PREPARATION FOR NEW DOOR, COORDINATE WITH NEW AND STRUCTURAL, SHOWN DASHED
- REMOVE EXISTING WALL SINAL AND CHAIR RAIL FROM CORNER TO CORNER
- NEW WALL SINAL AND CHAIR RAIL TO MATCH EXISTING, EXTEND FROM CORNER TO CORNER, PAINT ENTIRE WALL FROM CORNER TO CORNER
- REMOVE EXISTING WALL SINAL AND CHAIR RAIL FROM THE STOREFRONT DOOR TO THE HOLLOW METAL DOOR FRAME
- NEW WALL SINAL AND CHAIR RAIL, EXTEND TO HOLLOW METAL DOOR FRAME, PAINT ENTIRE WALL TO HOLLOW METAL DOOR FRAME
- NEW SEMI-RECESSED FIRE EXTINGUISHER CABINET WITH FIRE EXTINGUISHER
- EXISTING WALL SINAL TO REMAIN ALONG WALL, REMOVE AT COMPLETION OF PROJECT
- CONSTRUCT TEMPORARY DUST BARRIER WALL, REMOVE AT COMPLETION OF PROJECT
- NEW WALL SINAL AND CHAIR RAIL TO MATCH EXISTING, EXTEND FROM CORNER TO CORNER
- REMOVE EXISTING CARD READER AND ASSOCIATED EQUIPMENT; SALVAGE FOR REUSE
- INSTALL SALVAGED CARD READER AND ASSOCIATED EQUIPMENT, EXTING CONDUITS AS NECESSARY FOR COMPLETE INSTALLATION
- PATCH AND REPAIR GYPSUM BOARD AFTER DOOR HEADER AND FRAME INSTALLATION
- MECHANICAL ENCLOSURE WITH VINYL FENCING TO MATCH EXISTING
- PORTABLE SHOWER CHAIR, CREATIVE SPECIAL, DIVISION OR EQUAL
- FOLDING BENCH
- REMOVE EXISTING WALL VINYL IN ENTIRE ROOM, SPIN COAT ALL WALLS, PAINT

GENERAL NOTES

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- ALL ITEMS ARE EXISTING AND ARE TO REMAIN UNLESS NOTED OTHERWISE.
- THE CONTRACTOR OR SUBCONTRACTOR SHALL VISIT THE SITE AND SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING ANY WORK. ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IN WRITING UPON DISCOVERY.
- ALL PROPERTY DAMAGED BY WORK UNDER THIS CONTRACT SHALL BE REPAIRED AND/OR REPLACED TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF RUBBERISH AND WASTE MATERIALS FROM THE WORK.
- SEE SHEET A102 FOR DIMENSIONS FLOOR PLAN AND WALL TYPES FLOOR PLAN.
- PROVIDE SOLID BLOCKING IN THE WALLS AT ALL DOOR STOPS, VISUAL DISPLAY BOARDS, TOILET COMPARTMENTS, LAUNDRY SUPPORTS, WALL HUNG CABINETS, AND AT ALL OTHER EQUIPMENT AND ACCESSORY LOCATIONS. SEE A101.
- SEE SHEET A01 FOR ELEVATIONS OF VISUAL DISPLAY BOARDS.
- INSULATE INTERIOR WALLS AND CEILINGS ABOVE STAKE PRESIDENT 101, HIGH COUNCIL 102, INTERVIEW 103, CLEEN 104, WOMEN 111, MEN 112, AND VESTIBULE 113.
- PROVIDE A LAMINATED VAPOR RETARDER UNDER CONCRETE SLAB, SEE E/A002.
- PROVIDE 5/8" GYPSUM BOARD HORIZONTAL ON 2x4 CONTINUOUS LEDGER AT 10'-0" O.C., VERTICAL JOINTS IN ALL VERTICAL JOISTS.
- SEE SHEET A002 FOR DOOR AND WINDOW SCHEDULE.

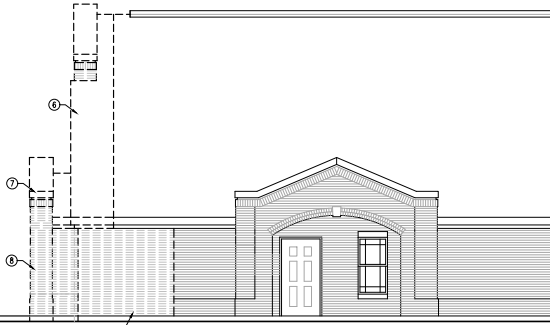


(B) FLOOR PLAN
 SCALE: 3/16" = 1'-0"

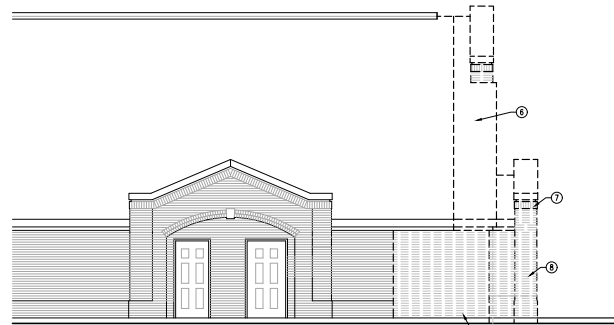


(A) DEMOLITION FLOOR PLAN
 SCALE: 3/16" = 1'-0"

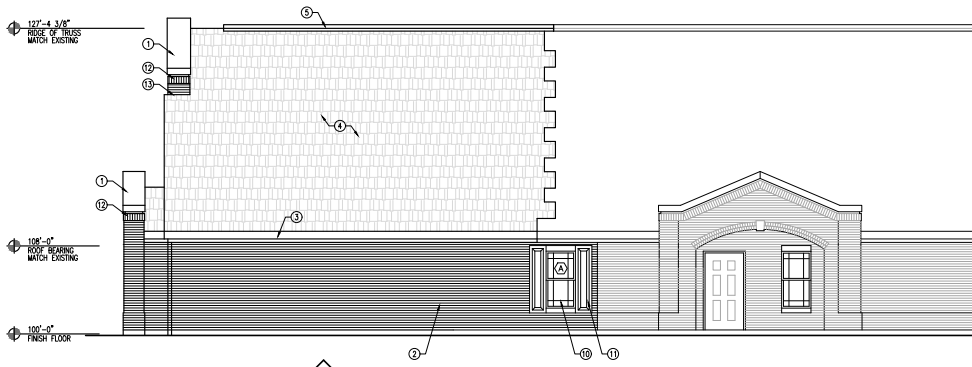




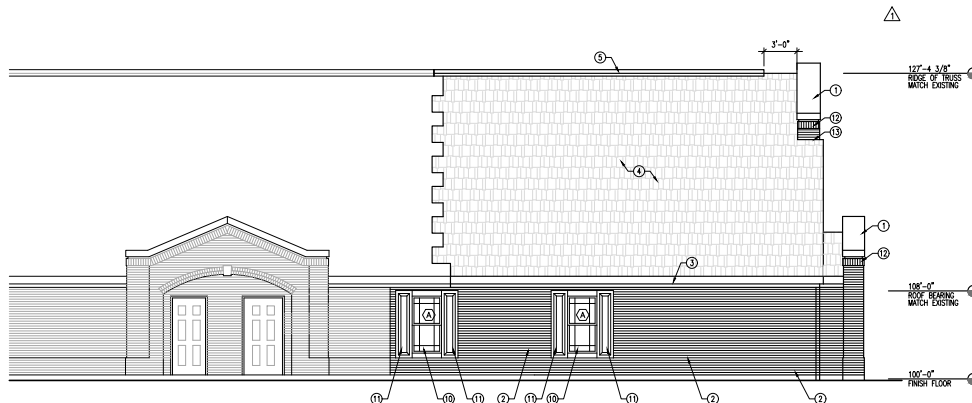
A SOUTH DEMOLITION ELEVATION
SCALE: 3/16" = 1'-0"



C NORTH DEMOLITION ELEVATION
SCALE: 3/16" = 1'-0"



B SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



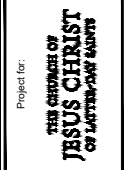
D NORTH ELEVATION
SCALE: 3/16" = 1'-0"

- KEYED NOTES**
1. FIBERGLASS PARAPET CAP; MATCH EXISTING
 2. BRICK VENEER TO MATCH EXISTING STYLE, TEXTURE AND COLOR
 3. PREFINISHED METAL SOFFIT AND FASCIA TO MATCH EXISTING
 4. ASPHALT SHINGLES TO MATCH EXISTING
 5. PREFINISHED METAL ROSE VENT TO MATCH EXISTING, SEE A122
 6. REMOVE EXISTING ASPHALT SHINGLES, ROOF UNDERLAYMENT AND CAKE FRAMING, SHOWN DASHED, SEE STRUCTURAL
 7. REMOVE EXISTING ROOF EVERY FRAMING AND ASSOCIATED MATERIALS, SHOWN DASHED
 8. REMOVE EXISTING BRICK VENEER AND COLUMN FRAMING, SHOWN DASHED
 9. REMOVE EXISTING BRICK VENEER, COORDINATE WITH FLOOR PLAN, SHOWN DASHED
 10. WINDOW; SEE WINDOW SCHEDULE
 11. FIBERGLASS SHUTTER TO MATCH EXISTING
 12. ACCENT BRICK VENEER TO MATCH EXISTING STYLE, TEXTURE AND COLOR
 13. WALL TO ROOF FLASHING

- GENERAL NOTES**
1. THIS AND ANY OTHER DEMOLITION DRAWINGS ARE NOT INTENDED TO BE ALL-INCLUSIVE, NOR TO DEFINE THE SCOPE OF ALL DEMOLITION WORK REQUIRED FOR THIS PROJECT. DEMOLITION DRAWINGS ARE SHOWN ONLY TO AID THE CONTRACTOR IN PREPARING THE BID AND PERFORMING THE WORK. CONTRACTOR SHALL EXAMINE ALL CONTRACT DOCUMENTS AND VISIT THE SITE DURING BIDDING TO DETERMINE THE TOTAL EXTENT AND SCOPE OF THE DEMOLITION PORTION OF THIS WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION WORK REQUIRED TO CARRY OUT THE WORK AS SHOWN IN THE CONTRACT DOCUMENTS.
 2. ALL ITEMS ARE EXISTING AND ARE TO REMAIN UNLESS NOTED OTHERWISE.
 3. THE CONTRACTOR OR SUBCONTRACTOR SHALL VISIT THE SITE AND SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING ANY WORK. ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IN WRITING UPON DISCOVERY.
 4. ALL PROPERTY DAMAGED BY WORK UNDER THIS CONTRACT SHALL BE REPAIRED AND/OR REPLACED TO THE SATISFACTION OF THE OWNER.
 5. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF RUBBISH AND WASTE MATERIALS FROM THE WORK.
 6. SEE SHEET A802 FOR DOOR AND WINDOW SCHEDULE.



Project for:
Hyrum UT West Stake Suite Addition
Hyrum UT West Stake

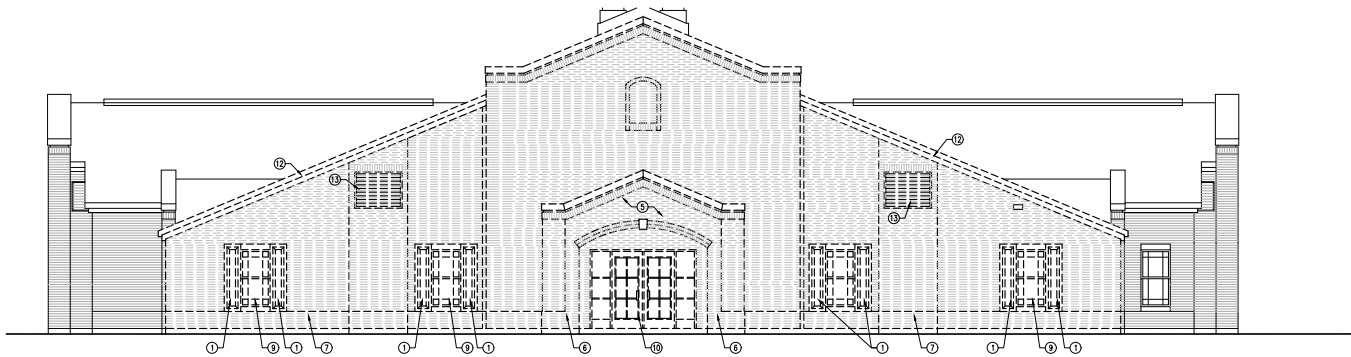


Revisions	Description

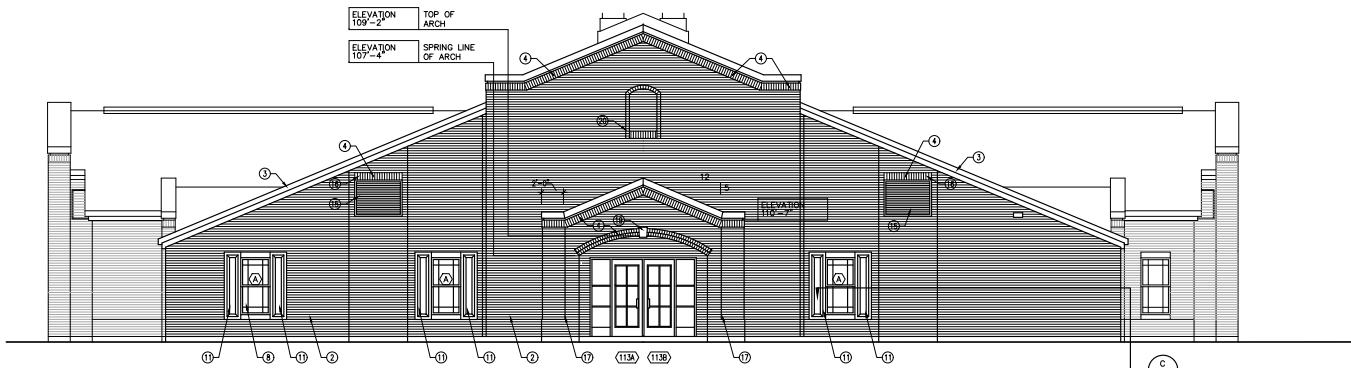
Project Number: 24-10
Plan Series: Stake Suite Addition
Property Number: 599-1645-230-10101
Date: June 3, 2024

Sheet Title:
DEMOLITION EXTERIOR ELEVATIONS AND NEW EXTERIOR ELEVATIONS

Sheet:
A201



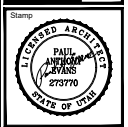
A WEST DEMOLITION ELEVATION
SCALE: 3/16" = 1'-0"



B WEST ELEVATION
SCALE: 3/16" = 1'-0"

- KEYED NOTES**
1. REMOVE EXISTING FIBERGLASS SHUTTERS; CLEAN AND SALVAGE FOR REUSE
 2. BRICK VENEER TO MATCH EXISTING STYLE, TEXTURE AND COLOR
 3. PREFINISHED METAL SOFFIT AND FASCIA TO MATCH EXISTING
 4. ACCENT BRICK VENEER TO MATCH EXISTING STYLE, TEXTURE AND COLOR
 5. REMOVE EXISTING ROOF ENTRY FRAMING AND ASSOCIATED MATERIALS, SHOWN DASHED
 6. REMOVE EXISTING BRICK VENEER AND COLUMN FRAMING; SHOWN DASHED
 7. REMOVE EXISTING BRICK VENEER AND ASSOCIATED MATERIALS; COORDINATE WITH FLOOR PLAN, SHOWN DASHED
 8. WINDOW, SEE WINDOW SCHEDULE
 9. REMOVE EXISTING WINDOW, SHOWN DASHED
 10. REMOVE EXISTING STOREFRONT DOORS AND WINDOWS; SHOWN DASHED
 11. INSTALL SALVAGED FIBERGLASS SHUTTERS
 12. REMOVE EXISTING FASCIA AND SOFFIT; SHOWN DASHED
 13. REMOVE EXISTING METAL LOUVER, SALVAGE FOR REUSE
 14. OMITTED
 15. INSTALL SALVAGED METAL LOUVER; SEE MECHANICAL
 16. SOLDER BRICK COURSE
 17. BRICK COLUMN
 18. FIBERGLASS SHUTTER TO MATCH EXISTING; SEE A/A202
 19. FIBERGLASS KEYSTONE; SEE D/A202
 20. BRICK FEATURE; SEE G/A202

- GENERAL NOTES**
1. THIS AND ANY OTHER DEMOLITION DRAWINGS ARE NOT INTENDED TO BE ALL-INCLUSIVE, NOR TO DEFINE THE SCOPE OF ALL DEMOLITION WORK REQUIRED FOR THIS PROJECT. DEMOLITION DRAWINGS ARE SHOWN ONLY TO AID THE CONTRACTOR IN PROVIDING THE BID AND PERFORMING THE WORK. CONTRACTOR SHALL EXAMINE ALL CONTRACT DOCUMENTS AND VISIT THE SITE DURING BIDDING TO DETERMINE THE TOTAL EXTENT AND SCOPE OF THE DEMOLITION PORTION OF THIS WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION WORK REQUIRED TO CARRY OUT THE WORK AS SHOWN IN THE CONTRACT DOCUMENTS.
 2. ALL ITEMS ARE EXISTING AND ARE TO REMAIN UNLESS NOTED OTHERWISE.
 3. THE CONTRACTOR OR SUBCONTRACTOR SHALL VISIT THE SITE AND SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING ANY WORK. ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IN WRITING UPON DISCOVERY.
 4. ALL PROPERTY DAMAGED BY WORK UNDER THIS CONTRACT SHALL BE REPAIRED AND/OR REPLACED TO THE SATISFACTION OF THE OWNER.
 5. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF RUBBISH AND WASTE MATERIALS FROM THE WORK.
 6. SEE SHEET A202 FOR DOOR AND WINDOW SCHEDULE.



Project for:
Hyrum UT West Stake Suite Addition
Hyrum UT West Stake
98 North 625 S West
Hyrum, Utah

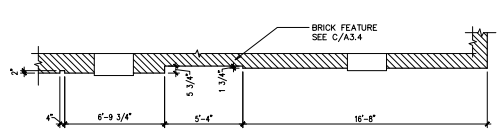
Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Revisions	Description

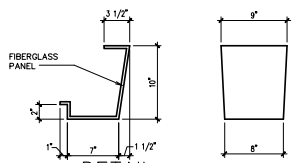
Project Number: 24-10
Plan Series: State Suite Addition
Property Number: 599-1645-23010101
Date: June 3, 2024

Sheet Title:
DEMOLITION EXTERIOR ELEVATIONS AND NEW EXTERIOR ELEVATIONS

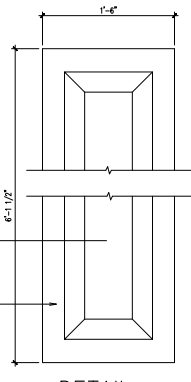
Sheet:
A202



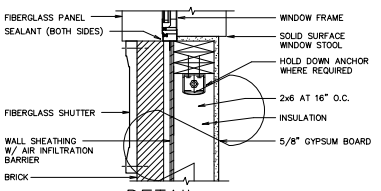
C DETAIL
1/4" = 1'-0"



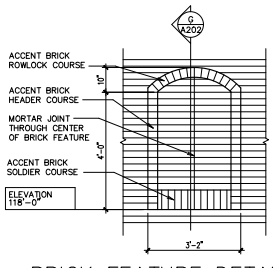
D DETAIL
1 1/2" = 1'-0"



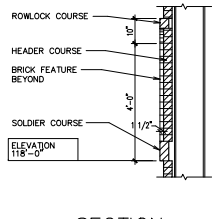
E DETAIL
1 1/2" = 1'-0"



F DETAIL
1 1/2" = 1'-0"



G BRICK FEATURE DETAIL
1/2" = 1'-0"



H SECTION
1/2" = 1'-0"