



## CITY COUNCIL MEETING

Thursday, August 07, 2025 at 6:30 PM  
Council Chambers, 60 West Main, Hyrum, Utah

### AGENDA

Public notice is hereby given of a Hyrum City Council Meeting to be held in the Council Chambers, 60 West Main, Hyrum, Utah at 6:30 PM, August 07, 2025. The proposed agenda is as follows:

1. **ROLL CALL**
2. **CALL TO ORDER**
3. **WELCOME**
4. **PLEDGE OF ALLEGIANCE**
5. **INVOCATION**
6. **APPROVAL OF MINUTES**
7. **AGENDA ADOPTION**
8. **PUBLIC COMMENT**
9. **SCHEDULED DELEGATIONS**
  - A. **Janene Petersen** - To request rental of the Elite Hall for a square dance club.
  - B. **Carlyle Greger, Carlyle Machine** - To seek site plan approval for a new 10,950 sq. ft. building to manufacture prototypes in the medical industry located at 1671 East 145 South, consisting of approximately 1.00 acres. Application 25-023A
  - C. **Amber Wiedmeier** - To discuss types of businesses that are currently allowed in the Commercial C-2 Zone.
10. **INTRODUCTION AND APPROVAL OF RESOLUTIONS AND ORDINANCES**
  - A. **Ordinance 25-06** – An ordinance amending Sections 17.70.010, and 17.70.020 of Title 17 (the Zoning Ordinance) of Hyrum City Municipal Code to define retaining walls, establish retaining wall requirements, establish maximum fence height and location requirements, and restructure general requirements. Application 25-015A
11. **OTHER BUSINESS**
  - A. Consideration and award of bid for the 2025-2026 Road Rebuild Projects.
  - B. Consideration and award of bid for the 2025-2026 Slurry Seal Projects.
  - C. Mayor and City Council reports.
12. **ADJOURNMENT**

---

**Stephanie Fricke**  
**City Recorder**

Council Members may participate in the meeting via telephonic communication. If a Council Member does participate via telephonic communication, the Council Member will be on speakerphone. The speakerphone will be amplified so that the other Council Members and all other persons present in the Council Chambers will be able to hear all discussions. In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify Hyrum City at 435-245-6033 at least three working days before the meeting.

**CERTIFICATE OF POSTING** - The undersigned, duly appointed and acting City Recorder of Hyrum City, Utah, does hereby certify that a copy of the foregoing Notice was emailed to The Herald Journal, Logan, Utah, posted on the Utah Public Notice Website and Hyrum City's Website, provided to each member of the governing body, and posted at the City Offices, 60 West Main, Hyrum, Utah, this **4th day of August, 2025**. Stephanie Fricke, MMC, City Recorder.





# Memorandum

**To:** Mayor and City Council

**From:** Tony Ekins, City Planner

**Date:** August 1, 2025

**Subject:** Carlyle Greger, Carlyle Machine - To seek site plan approval for a new 10,950 sq. ft. building to manufacture prototypes in the medical industry located at 1671 East 145 South, consisting of approximately 1.00 acres. Application 25-023A

---

## **Application Summary:**

Hyrum City received a complete site plan application from Carlyle Greger who desires to construct a new 10,950 sq. ft. metal building. 7,950 sq. ft. will be used by the applicant to manufacture prototypes in the medical industry that are typically within the scale of two-inch (2") square. The remaining 3,000 sq. ft. of the building will be lease space. The 1-acre lot will be improved with an asphalt parking lot with landscaping areas on the south side and rock landscaping on the other remaining sides.

## **Planning Commission Recommendation:**

On June 12, 2025, the Planning Commission made a motion (3-0 vote) recommending approval based on the applicant submittals, addressing staff comments and submitting the updated corrections and documents to the City Council.

## **City Council Meeting Details:**

- Meeting Date: August 7, 2025
- Council Role: Administrative

## **Attachments:**

1. Staff Evaluation – Second Review



## Planning Commission

### Staff Evaluation – Second Review

#### APPLICATION: 25-023A

Carlyle Creger, Carlyle Machine - To seek site plan approval for a new 10,950 sq. ft. building to manufacture prototypes in the medical industry located at 1671 East 145 South, consisting of approximately 1.00 acres.

**APPLICANT NAME:** Carlyle Creger  
**PROPERTY OWNER:** Carlyle Creger LLC  
**PROPERTY ADDRESS:** 1671 East 145 South  
**PARCEL NUMBER:** 01-170-0002  
**PARCEL AREA:** 1.00 Acres  
**CURRENT ZONE:** Manufacturing Zone M-2

**COMMISSION MEETING:** June 12, 2025  
**COMMISSION ROLE:** Recommending Body to City Council  
**APPLICATION TYPE:** Site Plan Approval

**NATURE OF REQUEST:** Permitted Use – Manufacturing (no excessive noise, dust, smoke or odor).

#### ZONING DISTRICT:

The purpose of this zone is to provide an area where medium to heavy manufacturing can occur. It allows higher levels of noise, dust, smoke and odor than is permitted in the M-1 Zone. Restrictions may be applied on proposed businesses whose levels of noise, dust, smoke or odor may be considered excessive by the planning commission. Design and landscaping requirements may also be imposed on businesses proposed for this zone

#### APPLICATION OVERVIEW:

The applicant desires to construct a new 10,950 sq. ft. metal building. 7,950 sq. ft. will be used by the applicant to manufacture prototypes in the medical industry that are typically within the scale of two-inch (2") square. The remaining 3,000 sq. ft. of the building will be lease space. The 1-acre lot will be improved with an asphalt parking lot with landscaping areas on the south side and rock landscaping on the other remaining sides.

**UTILITIES:** Water, Sewer and Power

---

#### STAFF COMMENTS – SECOND REVIEW

##### Water & Roads:

1. Meter pit for culinary water cannot be within the storm water swale and will require a 3 feet radius around the meter pit of level grade before sloping to swale.

##### Water Reclamation:

1. Recommend taking out the clean out in the detention pond. The other two clean outs shown on the drawing are adequate. 50' is exceeded between clean outs, but less than 75', which most likely will be our new standard once they are updated.

**STAFF COMMENTS:** *Planning Commission: June 12, 2025 – Applicant Responses in Red*  
**Planning and Zoning:**

1. Each site plan shall include a lighting plan that is designed to discourage crime, enhance the safety of the project, and the parking lot and structure shall be well lit while preventing glare onto adjacent properties with dark-sky initiatives. Please submit the required lighting plan for Site Plan Approval. See HCC 17.49.022. ?
2. "Landscape Design By Others" is identified on Site & Utility Plan Sheet 1.1 but not provided for Site Plan Approval. Please submit the required landscape plan and appropriate maintenance plan for Site Plan Approval. See HCC 17.49.025. ?
3. Staff supports the parking proposed parking count, provided the property maintains compliance with HCC 17.49.060 Off-Street Parking – Specific Requirements to provide one (1) space for each employee working on the highest employment shift for manufacturing, processing or repair uses; and the remaining 3,000 sq. ft. future tenant improvements maintains: ?
  - a. Storage or warehouse: one (1) space for each five thousand (5,000) square feet of floor area;
  - b. Manufacturing, processing or repair: one (1) space for each employee working on the highest employment shift; the City Council may adjust this requirement if sufficient justification is provided.
4. The driveway widths proposed are forty feet (40') wide. Each roadway shall not be more than thirty-six feet (36') in width. See HCC 17.49.090.

*The entrances have been adjusted to 36' wide and regraded.*

5. A pedestrian opening on one wall of the enclosure for employee access to the dumpster shall be required. See HCC 17.49.105.

*A note was added to the site plan that the dumpster enclosure shall have a man accessible door on the wall closest to the building.*

6. A building permit will be required through a separate application. See HCC Title 15 Building and Construction for building permit requirements. ?
7. A sign permit will be required through a separate application if the applicant desires to advertise on the site. See HCC 17.72 Signs for sign requirements. ?
8. All construction shall be coordinated and conform to Hyrum City Design Standards and Construction Specifications for Public Works when applicable.

*This is noted on each sheet.*

**Engineering:**

1. See attachments.
  1. Handicap sign was moved to be mounted on the building.
  2. Roll gutter was removed and replaced with a 1' ribbon curb.
  3. Adjusted dumpster enclosure to maintain 3' separation from existing electrical box.
  4. Cross sections were added to show the grading and the low and high points of the storm ponds.
  5. Elevation callouts were added to show how the asphalt ramps up to the garage doors.
  6. A swale was added between Pond A and Pond C to ensure Pond C will spill over into Pond A if needed.
  7. Thank you for your stormwater comments. In the attached submittal, you will see that we addressed the redline comments. Our stormwater calculations use the FAA equation (1970) with the Runoff Coefficient table that was inadvertently left out of the stormwater report last submittal. We apologize for missing that. We have also taken a close look at our grading plan and have increased the capacity of all our ponds, as well as incorporating your connecting ideas. The ponds are all now oversized, including the front pond in Basin B. We apologize for the erroneous label,

*that pond is sized to fully hold the 100-year requirement.*

8. *We added the note "T-PATCH TO INCLUDE SLURRY COAT TO HELP SEAL THE CRACKS AND PROVIDE SMOOTHER TRANSITION. 10' EACH SIDE".*

9. *We moved the water meter cleanout and sewer cleanout 3' behind the curb as requested.*

**Fire Department:**

1. Supports the site plan.

**Power Department:**

1. Light & Power request that both the general contractor and the electrical contractor meet with department staff regarding expectations and installation standards of electrical utility and equipment. ?
2. Previous communication with Mr. Creger has taken place and some discussion on the transformer has happened, transformer is ordered and paid for.
3. Location of transformer and metering equipment looks acceptable.
4. There will need to be a 3-phase junction can installed on east side of property in the park strip to accommodate the connection of the transformer.

*Added this to the utility plan with the note "3 PHASE JUNCTION CAN PER HYRUM CITY POWER SPECIFICATIONS".*

5. Associated costs relevant to the project, excluding the previously paid for transformer, will be updated. ?

**Water & Roads:**

1. Please verify that the lateral and meter pit is not already stubbed into site before excavation of the road (most parcels in this area were pre-installed). For installation, please follow Hyrum city standards and remember sewer and water must maintain 10 feet of horizontal separation.

*Our surveyor was not able to locate any stubs, but a note was added for the contractor to field verify any existing utility stubs prior to installing new ones. There is also a note added to the utility plans that the contractor shall follow all Hyrum City standards and specs along with the note to maintain 10' separation between water and sewer.*

2. The water meter pit shall provide and maintain three feet (3') clearance from the back of the concrete curb, bank of detention pond, and landscape planting materials such as shrubs and trees.

*The water meter and sewer cleanout is now moved back the requested 3' behind the TBC*

**Water Reclamation:**

1. A lateral cleanout is located outside of structure per standard; however, cleanouts need to be installed at 50' intervals on 4" laterals which is not shown on the drawing. Refer to Construction Standard, 5.2.2.F.

*There are 2 new cleanouts added to the utility plan at the required minimum 50' separation.*

2. If a cleanout must be placed in asphalted streets, a cast iron frame and cover should be used. Refer to drawing 5-36.

*One of the cleanouts is located in the parking drive area and a note was added to use a DOT rated cast iron frame and lid.*

---

**PLANNING COMMISSION RESPONSIBILITY:**

1. The Planning Commission should have a thorough discussion of the site plan, staff comments, and specifying conditions and requirements for approval.

**STAFF RECOMMENDATION:**

1. Staff recommends the Planning Commission include in their motion the lighting plan required by HCC 17.49.022 prior to the City Council meeting.

2. Staff recommends the Planning Commission include in their motion the landscaping plan and appropriate maintenance plan required by HCC 17.49.025 prior to the City Council meeting.
3. Staff recommends the Planning Commission make a motion specifying conditions and requirements, and staff comments to the City Council.

**STIPULATIONS:**

1. The City Council may approve, disapprove, approve with additional conditions and requirements, or require the requestor to return to the Planning Commission with revisions; or require the applicant to return revisions to the City Council.
2. The applicant is required to include a lighting plan to the City Council.
3. The applicant is required to include a landscape plan and appropriate maintenance plan to the City Council.

**FINDINGS OF FACT:**

1. Manufacturing is a Permitted Use in the Manufacturing Zone M-2.

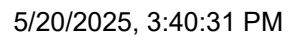
---

**ATTACHMENTS:**

1. ArcGIS Web Map
2. Main Floor Plan
3. Building Elevations
4. Erosion Control Plan
5. Site Plan
6. Grading Plan
7. Utility Plan
8. Stormwater Plan
9. Details
10. Sections
11. Lighting Plan
12. Landscape Plan



*Section 9. Item B.*



KEYNOTES

#	DESCRIPTION
---	-------------

**CARTWRIGHT**  
ARCHITECTS & ENGINEERS

635 SOUTH 100 EAST  
LOGAN, UT 84341  
T435 753.2850  
F435 753.2851  
©2024 CARTWRIGHT

<http://www.cartwright-aec.com>

PROFESSIONAL STAMP

AGENCY APPROVAL

CREGER MACHINE

1671 E. 145 S. HYRUM, UT

CARTWRIGHT PROJECT #	125017
DATE:	03/12/2025
DRAWN BY:	CW
CHECKED BY:	CW
APPROVED BY:	JC

REVISIONS	
DATE	DESCRIPTION

FLOOR PLAN

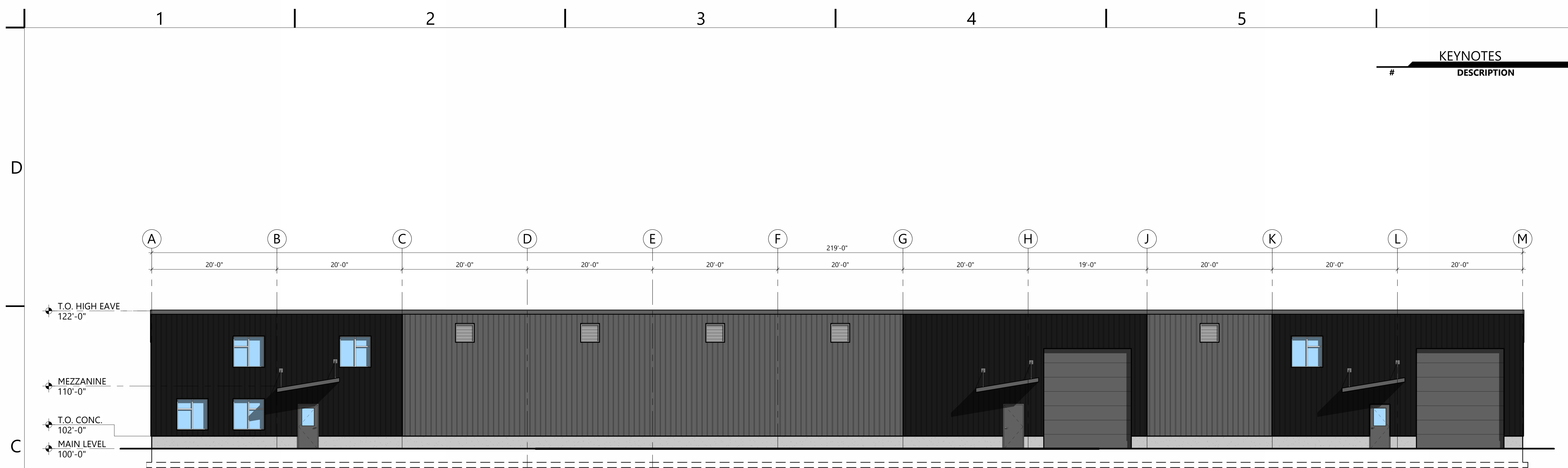
A101

FOR PERMIT

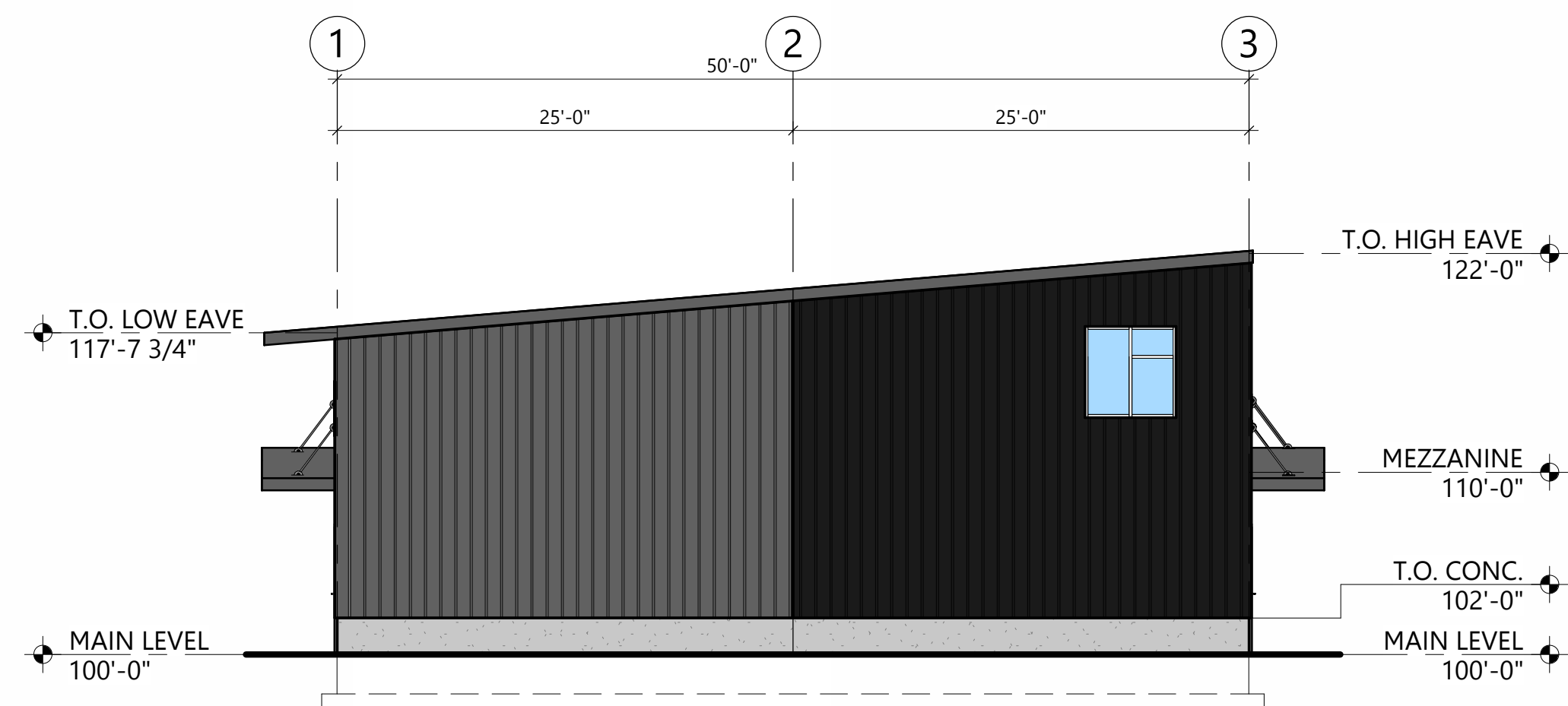
PRELIMINARY CODE ANALYSIS:  
OCCUPANCY: F-1 MACHINE SHOP  
CONSTRUCTION: III-B  
BUILDING HEIGHT MAX: 55'-0"  
FIRE SPRINKLING: NOT REQUIRED UNDER 12,000 SQ.FT.  
OCCUPANT LOAD: 10,950 SQ. FT./100=110 OCCUPANTS  
RESTROOMS: 110 OCCUPANTS/2 (MALE/FEMALE)=55 EACH SEX  
FACTORY & INDUSTRIAL REQUIRE 1 PER 100  
WATER CLOSETS, LAVATORIES, DRINKING FOUNTAIN  
AND SERVICE SINK

**A3** OVERALL FLOOR PLAN  
SCALE: 1/8" = 1'-0"

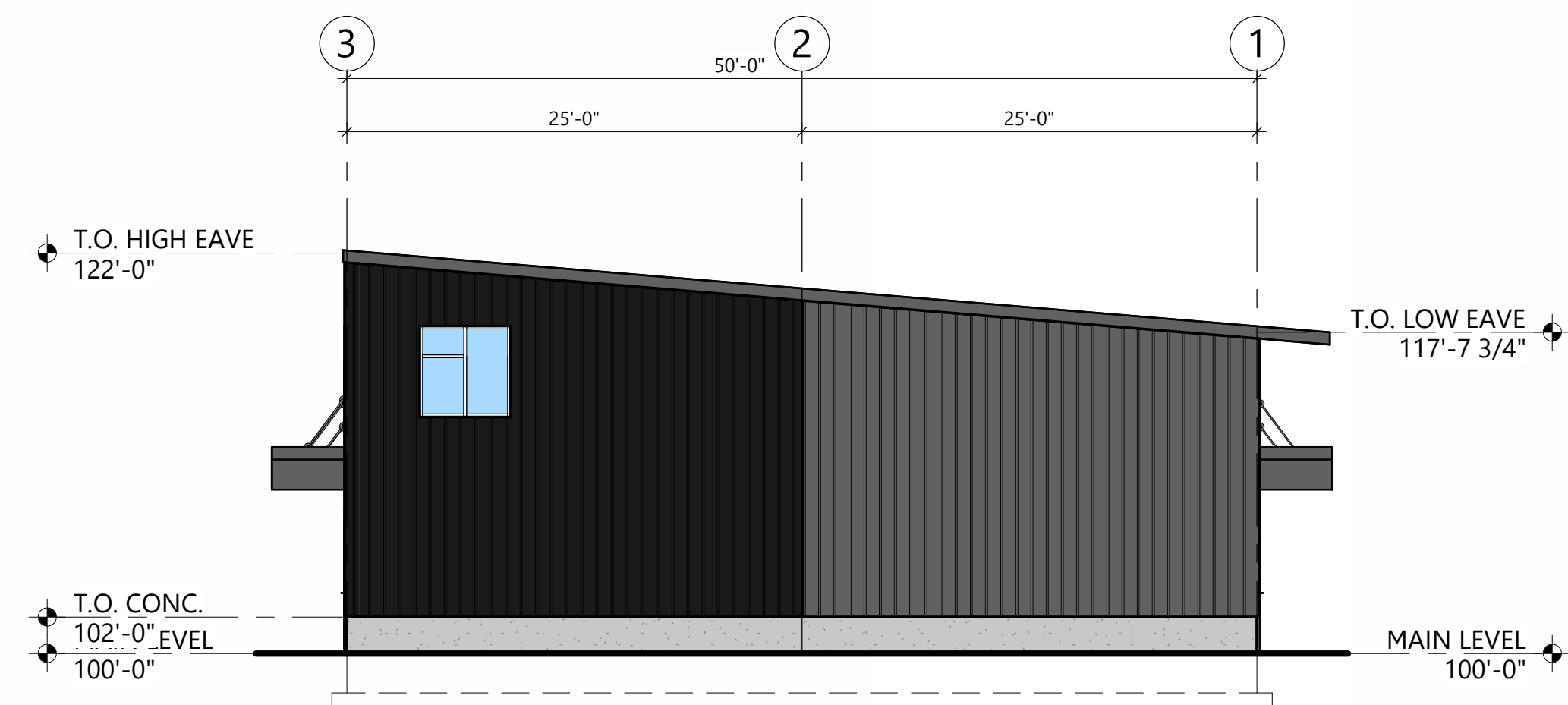




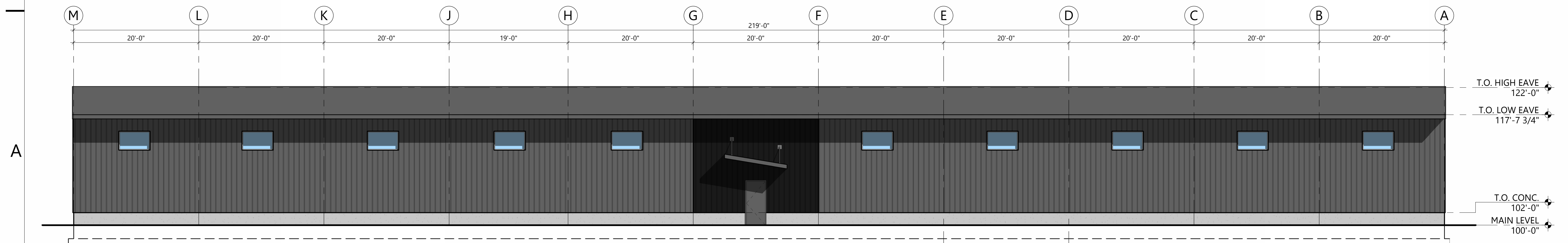
**C3** SOUTH EXTERIOR ELEVATION  
SCALE: 1/8" = 1'-0"



**B2** WEST EXTERIOR ELEVATION  
SCALE: 1/8" = 1'-0"



**B5** EAST EXTERIOR ELEVATION  
SCALE: 1/8" = 1'-0"



**A3** NORTH EXTERIOR ELEVATION  
SCALE: 1/8" = 1'-0"

**CARTWRIGHT**  
ARCHITECTS & ENGINEERS

635 SOUTH 100 EAST  
LOGAN, UT 84341  
T435 753.2850  
F435 753.2851  
©2024 CARTWRIGHT

<http://www.cartwright-aec.com>

PROFESSIONAL STAMP

AGENCY APPROVAL

CREGER MACHINE

1671 E. 145 S. HYRUM, UT

CARTWRIGHT PROJECT # 125017

DATE: 03/12/2025

DRAWN BY: CW

CHECKED BY: CW

APPROVED BY: CW

REVISIONS	
DATE	DESCRIPTION

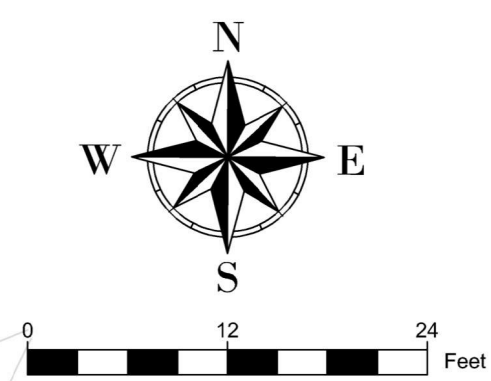
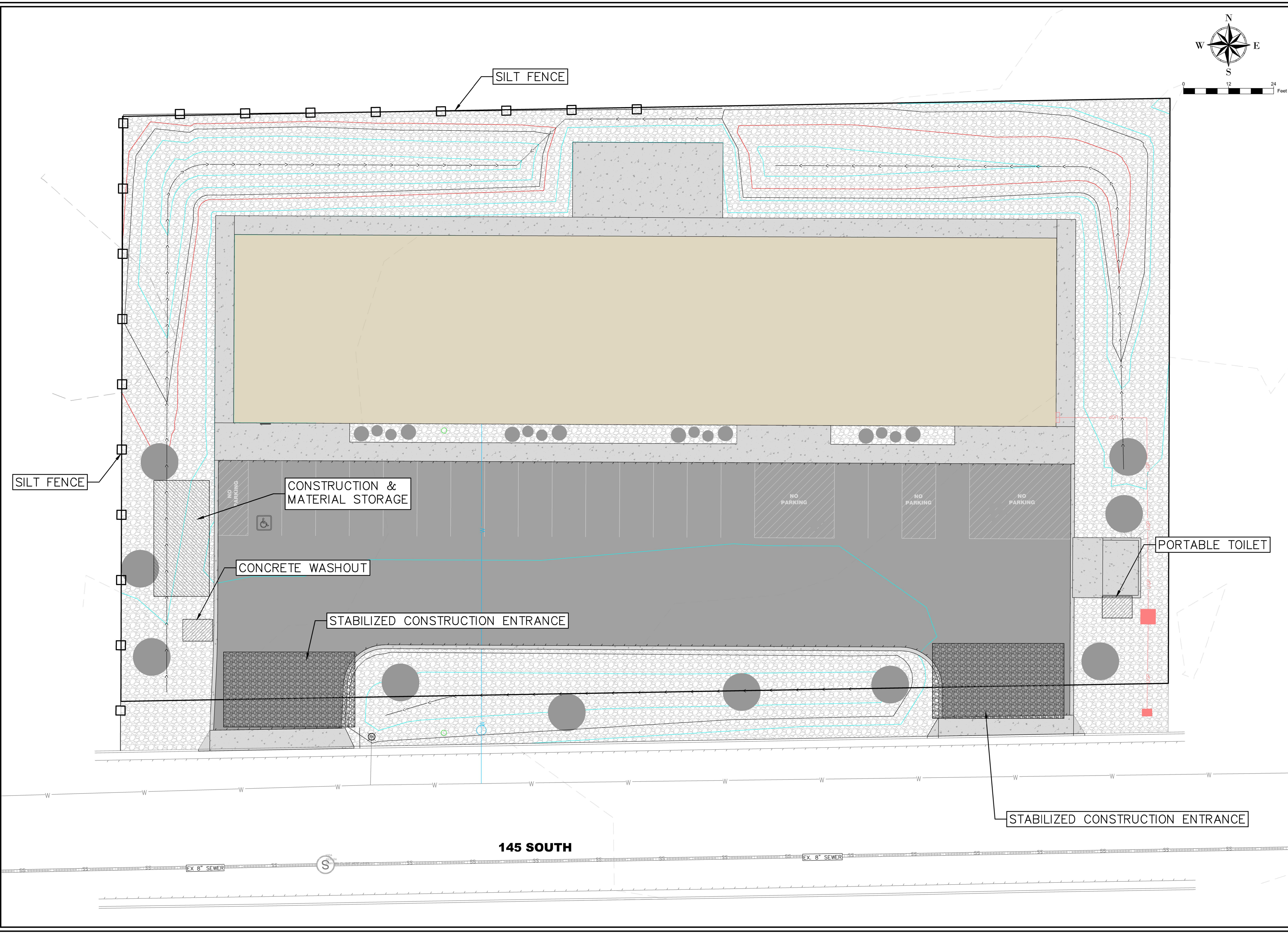
ARCHITECTURAL  
ELEVATIONS

**A201**

FOR PERMIT



7/2/2025  
E:\V04-Civil-3D-Projects\01-Rimrock-Engineering\Cartwright Tech\Grass Machine Shop\08-Plan\Design Base\03.dwg  
Rimrock Engineering & Development



**SHEET NOTES**

ALL SITE WORK WITHIN RIGHT OF WAY TO COMPLY WITH HYRUM CITY PUBLIC WORKS STANDARD DRAWINGS AND SPECIFICATIONS.

IF HYRUM DOES NOT HAVE A STANDARD OR TYPICAL DETAIL, CONTRACTOR TO FOLLOW ALL APWA STANDARDS AND SPECIFICATIONS. CONTRACTOR TO COORDINATE WITH ALL PUBLIC AND PRIVATE ENTITIES WHILE INSTALLING ALL UTILITIES. .

**SHEET LEGEND**

**PLAN REVISIONS**

A.	
----	--

**RIMROCK ENGINEERING & DEVELOPMENT**

CAD TECH: RJM	<b>CALL BLUE STAKES PRIOR TO DIGGING</b>
DESIGNER: RJM	
Q&A: JNS	

**PROJECT NAME**

**CREGER MACHINE SHOP**

**SHEET NAME**

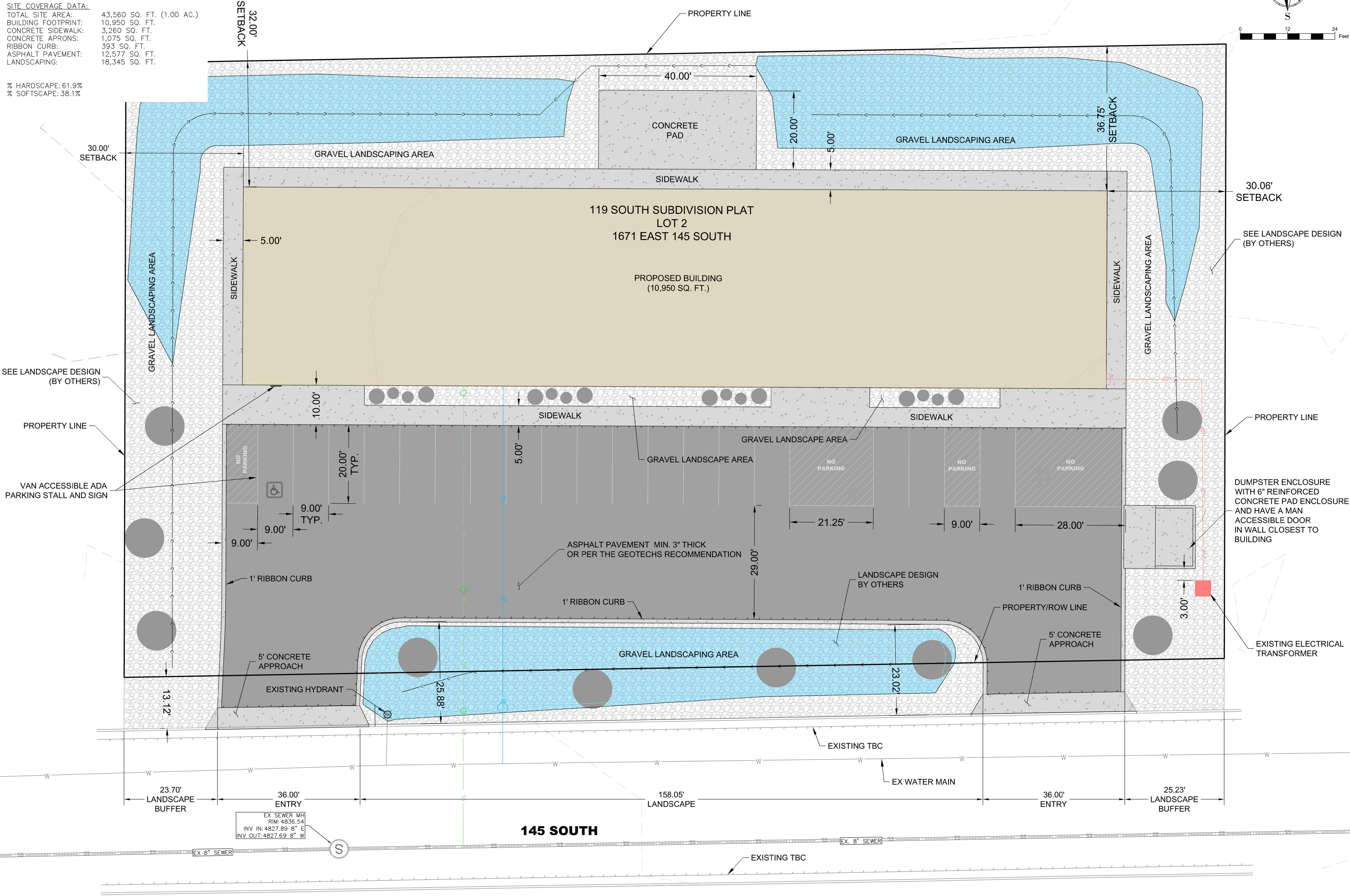
**EROSION CONTROL PLAN**

<b>PLAN SUBMITTAL:</b>	<b>PRELIM</b>
------------------------	---------------

<b>REVIEW SET</b> 7/2/25	<b>SHEET NUMBER</b> <b>1.0</b>
-----------------------------	-----------------------------------

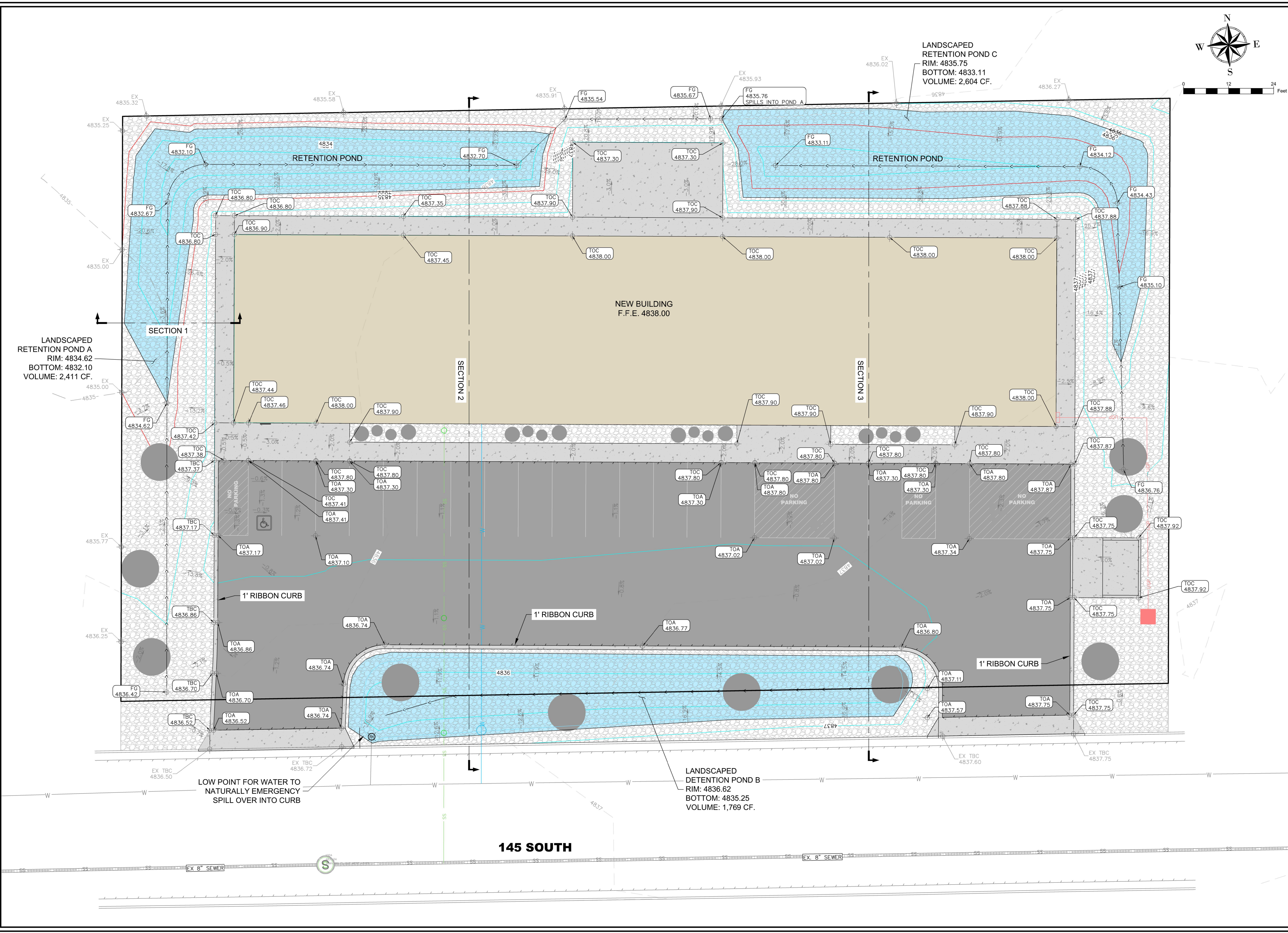


% HARDSCAPE: 61.9%  
% SOFTSCAPE: 38.1%



<b>REVIEW SET</b> <b>7/1/25</b>	SHEET NUMBER <b>1.1</b>
------------------------------------	----------------------------





SHEET NOTES

Section 9, Item B.

ALL SITE WORK WITHIN RIGHT OF WAY TO COMPLY WITH HYRUM CITY PUBLIC WORKS STANDARD DRAWINGS AND SPECIFICATIONS.

IF HYRUM DOES NOT HAVE A STANDARD OR TYPICAL DETAIL, CONTRACTOR TO FOLLOW ALL APWA STANDARDS AND SPECIFICATIONS. CONTRACTOR TO COORDINATE WITH ALL PUBLIC AND PRIVATE ENTITIES WHILE INSTALLING ALL UTILITIES. .

SHEET LEGEND

- EX MAJOR CONTOUR
- EX MINOR CONTOUR
- PROP. MAJOR CONTOUR
- PROP. MINOR CONTOUR
- PROP. EDGE OF ASPHALT
- EX. EDGE OF ROAD
- PROP. SHOULDER
- FL SWALE
- EXISTING SEWER MAIN
- EXISTING WATER MAIN

EX: EXISTING GRADE  
FFE: FINISHED FLOOR ELEVATION  
FG: FINISHED GRADE  
TBC: TOP BACK CURB  
TOA: TOP OF ASPHALT  
TOC: TOP OF CONCRETE

PLAN REVISIONS

A.	
----	--



RIMROCK  
ENGINEERING &  
DEVELOPMENT

CAD TECH: RJM  
DESIGNER: RJM  
Q&A: JNS

CALL BLUE  
STAKES PRIOR  
TO DIGGING

PROJECT NAME

**CREGER MACHINE  
SHOP**

SHEET NAME

**GRADING PLAN**

PLAN SUBMITTAL:

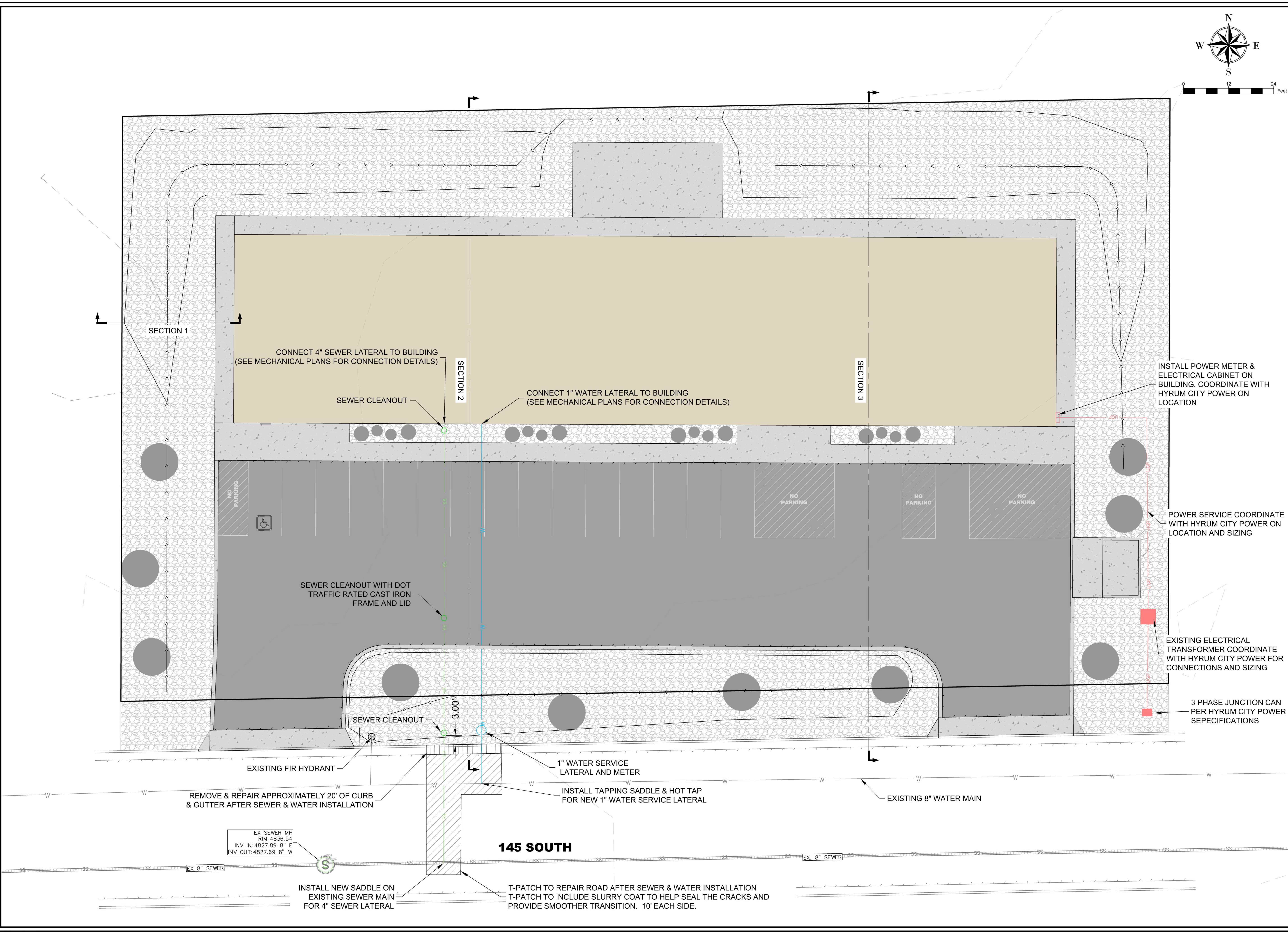
PRELIM

REVIEW SET  
7/1/25

SHEET NUMBER  
**1.2**



7/2/2025  
E:\V04-Civil-3D-Projects\01-Rimrock-Engineering\Continuing\Arch\Gages\Illustrations\Shop\08-Shop\Utility\Bases\Bases.dwg



**SHEET NOTES**

Section 9, Item B.

- ALL SITE WORK WITHIN RIGHT OF WAY TO COMPLY WITH HYRUM CITY PUBLIC WORKS STANDARD DRAWINGS AND SPECIFICATIONS
- IF HYRUM DOES NOT HAVE A STANDARD OR TYPICAL DETAIL, CONTRACTOR TO FOLLOW ALL APWA STANDARDS AND SPECIFICATIONS. CONTRACTOR TO COORDINATE WITH ALL PUBLIC AND PRIVATE ENTITIES WHILE INSTALLING ALL UTILITIES.
- CONTRACTOR TO MAINTAIN 10' MINIMUM SEPARATION BETWEEN SEWER AND WATER LATERALS.
- CONTRACTOR TO VERIFY EXISTING SEWER AND WATER LATERALS PRIOR TO INSTALLING NEW ONES.

**SHEET LEGEND**

---	EX. MAJOR CONTOUR
---	EX. MINOR CONTOUR
---	PROP. MAJOR CONTOUR
---	PROP. MINOR CONTOUR
---	PROP. EDGE OF ASPHALT
---	EX. EDGE OF ROAD
---	PROP. SHOULDER
---	FL SWALE
SS	EXISTING SEWER MAIN
W	EXISTING WATER MAIN
W	1" WATER SERVICE LAT.
SS	4" SEWER SERVICE LAT.
UGP	UNDER GROUND POWER

**PLAN REVISIONS**

A.	

**RIMROCK ENGINEERING & DEVELOPMENT**

CAD TECH: RJM	<b>CALL BLUE STAKES PRIOR TO DIGGING</b>
DESIGNER: RJM	
Q&A: JNS	

**PROJECT NAME**

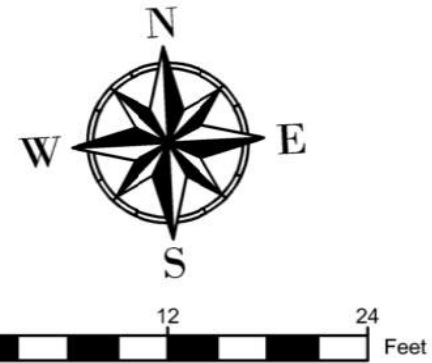
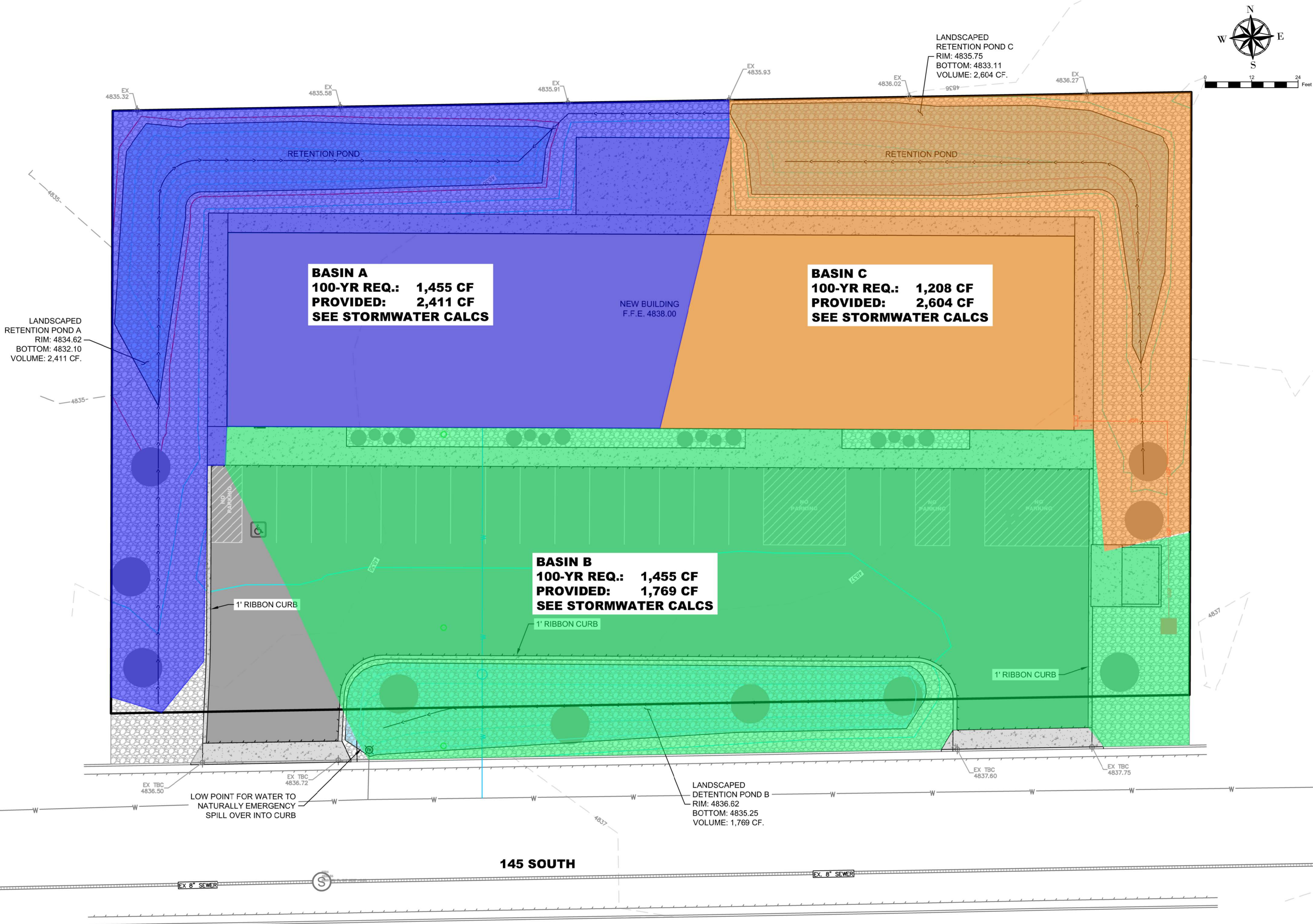
**CREGER MACHINE SHOP**

**SHEET NAME**

**UTILITY PLAN**

<b>PLAN SUBMITTAL:</b>	<b>PRELIM</b>
<b>REVIEW SET 7/2/25</b>	<b>SHEET NUMBER 1.3</b>





**SHEET NOTES**

Section 9, Item B.

ALL SITE WORK WITHIN RIGHT OF WAY TO COMPLY WITH HYRUM CITY PUBLIC WORKS STANDARD DRAWINGS AND SPECIFICATIONS.

IF HYRUM DOES NOT HAVE A STANDARD OR TYPICAL DETAIL, CONTRACTOR TO FOLLOW ALL APWA STANDARDS AND SPECIFICATIONS. CONTRACTOR TO COORDINATE WITH ALL PUBLIC AND PRIVATE ENTITIES WHILE INSTALLING ALL UTILITIES. .

**SHEET LEGEND**

- EX MAJOR CONTOUR
- EX MINOR CONTOUR
- PROP MAJOR CONTOUR
- PROP MINOR CONTOUR
- PROP EDGE OF ASPHALT
- EX EDGE OF ROAD
- PROP SHOULDER
- FL SWALE
- EXISTING SEWER MAIN
- SS
- EXISTING WATER MAIN

EX: EXISTING GRADE  
FFE: FINISHED FLOOR ELEVATION  
FG: FINISHED GRADE  
TBC: TOP BACK CURB  
TOA: TOP OF ASPHALT  
TOC: TOP OF CONCRETE

**PLAN REVISIONS**

A.	



**RIMROCK  
ENGINEERING &  
DEVELOPMENT**

CAD TECH: RJM  
DESIGNER: RJM  
Q&A: JNS

**CALL BLUE  
STAKES PRIOR  
TO DIGGING**

**PROJECT NAME**

**CREGER MACHINE  
SHOP**

**SHEET NAME**

**STORMWATER PLAN**

**PLAN SUBMITTAL:**

**PRELIM**

**REVIEW SET  
6/13/25**

**SHEET NUMBER  
1.4**



## SHEET NOTES

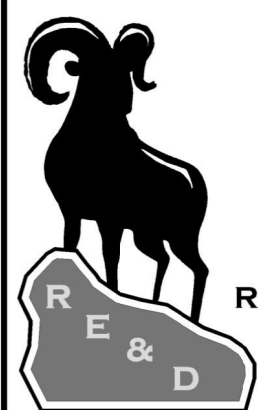
ALL SITE WORK WITHIN RIGHT OF WAY TO COMPLY WITH HYRUM CITY PUBLIC WORKS STANDARD DRAWINGS AND SPECIFICATIONS.

IF HYRUM DOES NOT HAVE A STANDARD OR TYPICAL DETAIL, CONTRACTOR TO FOLLOW ALL APWA STANDARDS AND SPECIFICATIONS. CONTRACTOR TO COORDINATE WITH ALL PUBLIC AND PRIVATE ENTITIES WHILE INSTALLING ALL UTILITIES. .

## SHEET LEGEND

## PLAN REVISIONS

A.	



**RIMROCK  
ENGINEERING &  
DEVELOPMENT**

CAD TECH: RJM  
DESIGNER: RJM  
Q&A: JNS

**CALL BLUE  
STAKES PRIOR  
TO DIGGING**

## PROJECT NAME

**CREGER MACHINE  
SHOP**

## SHEET NAME

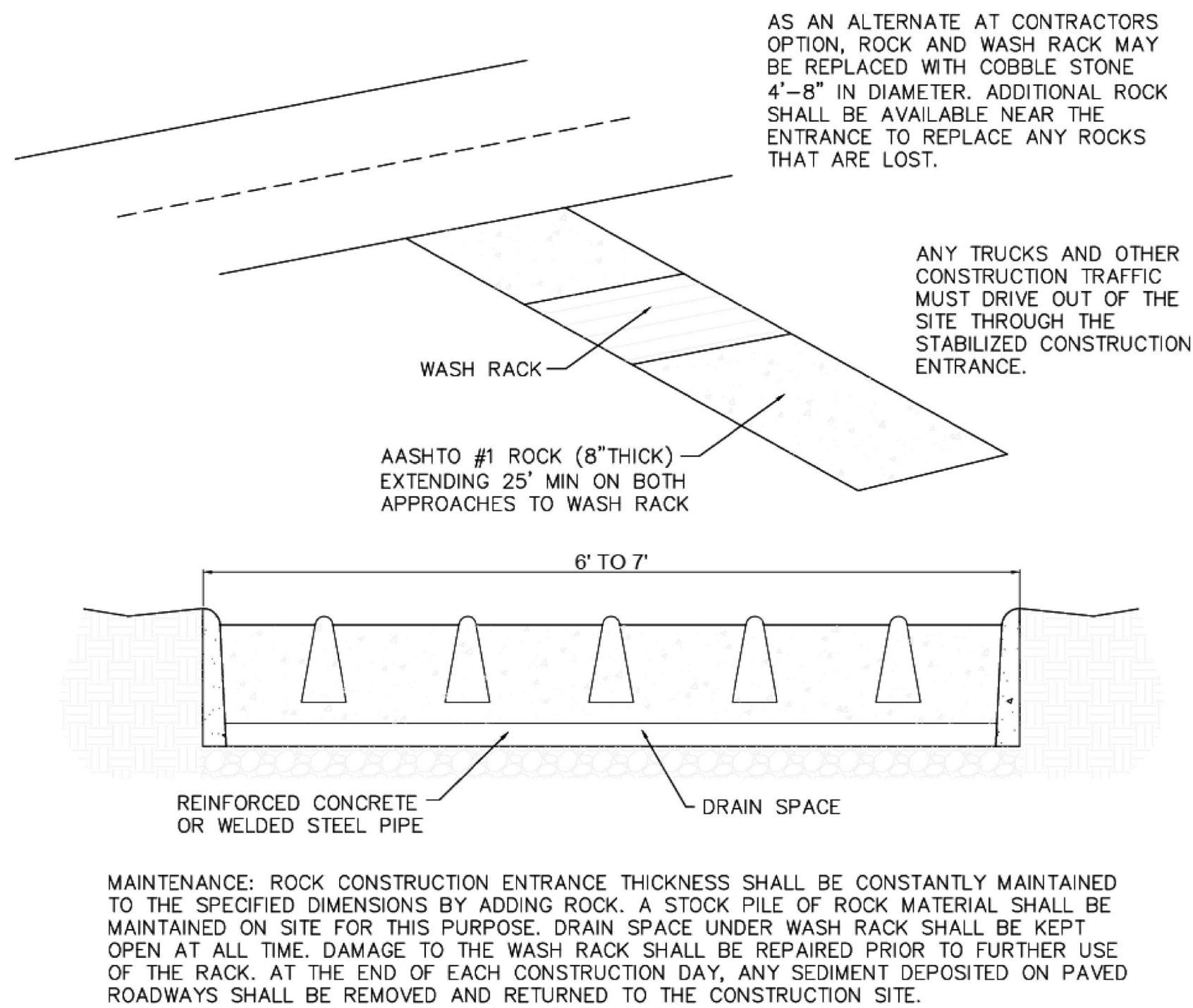
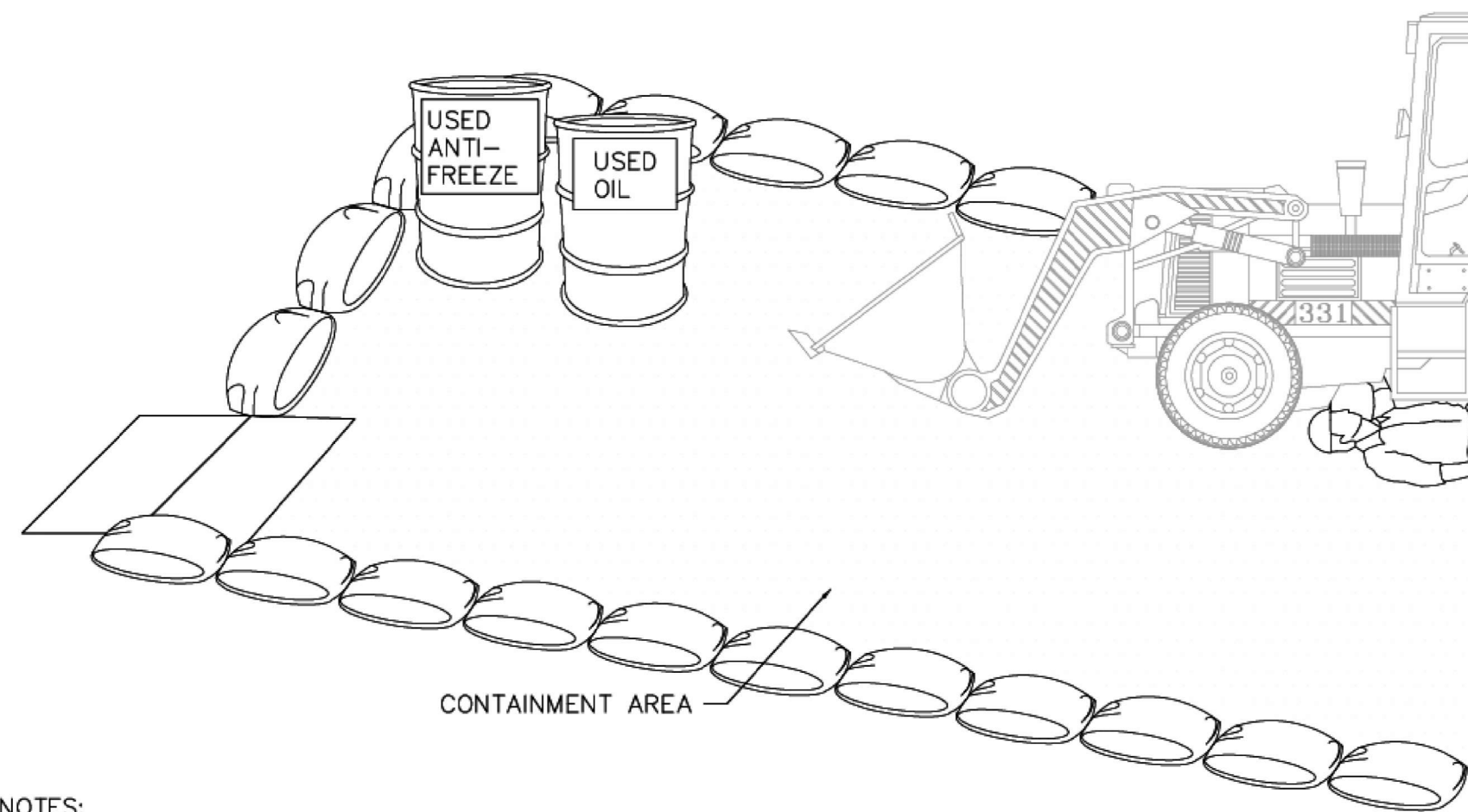
**DETAILS**

PLAN SUBMITTAL: PRELIM

**REVIEW SET  
7/1/25**

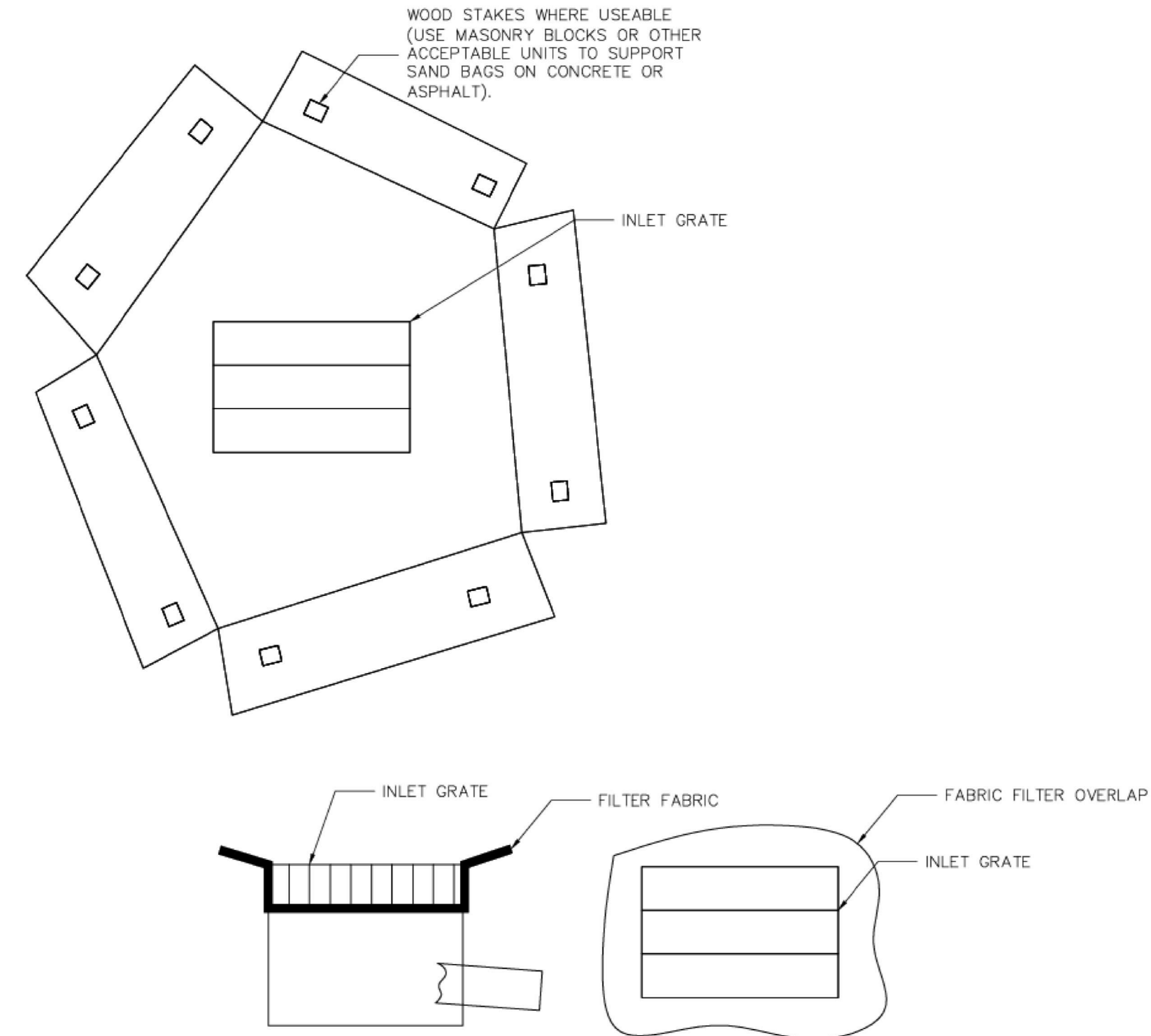
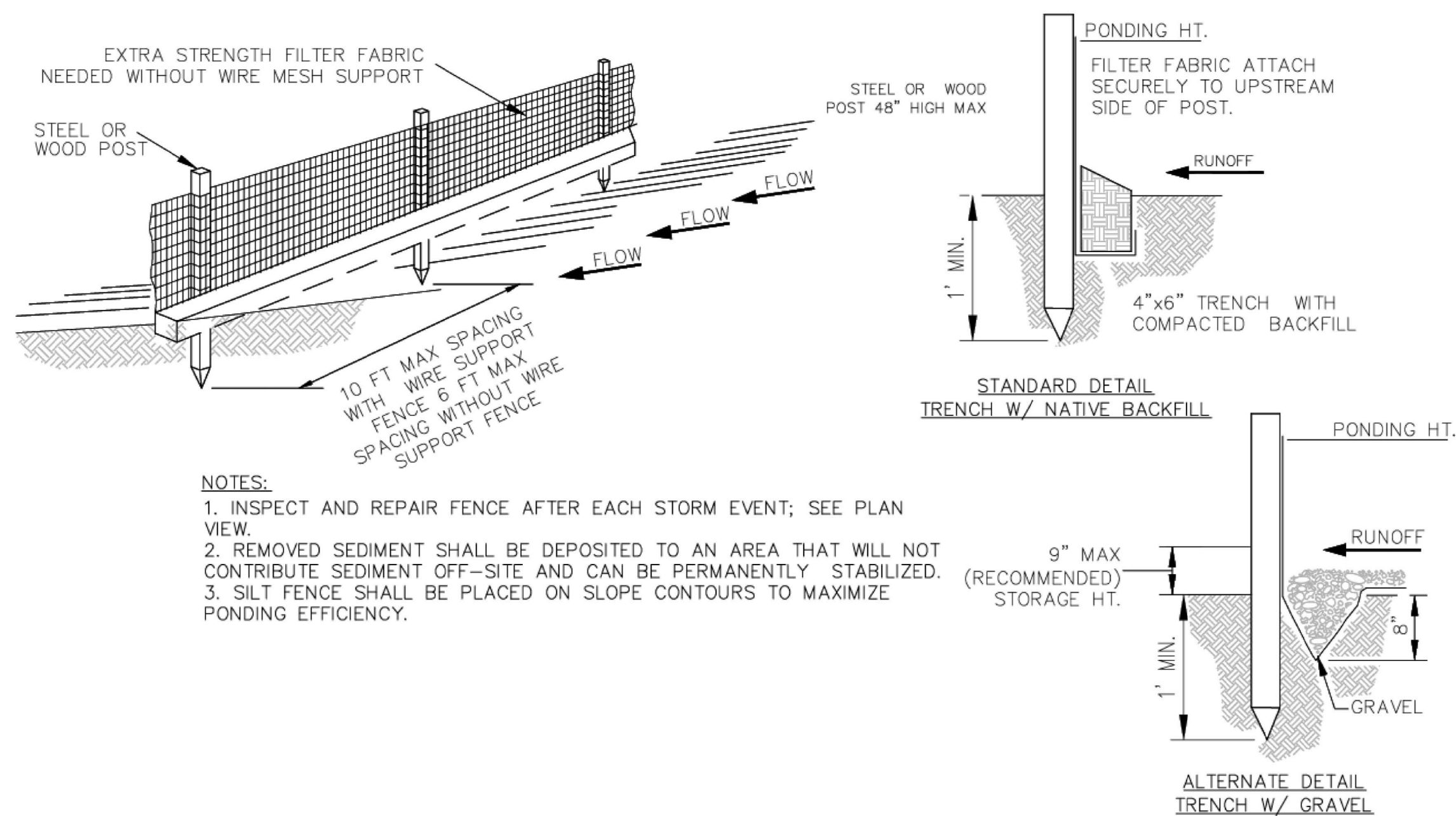
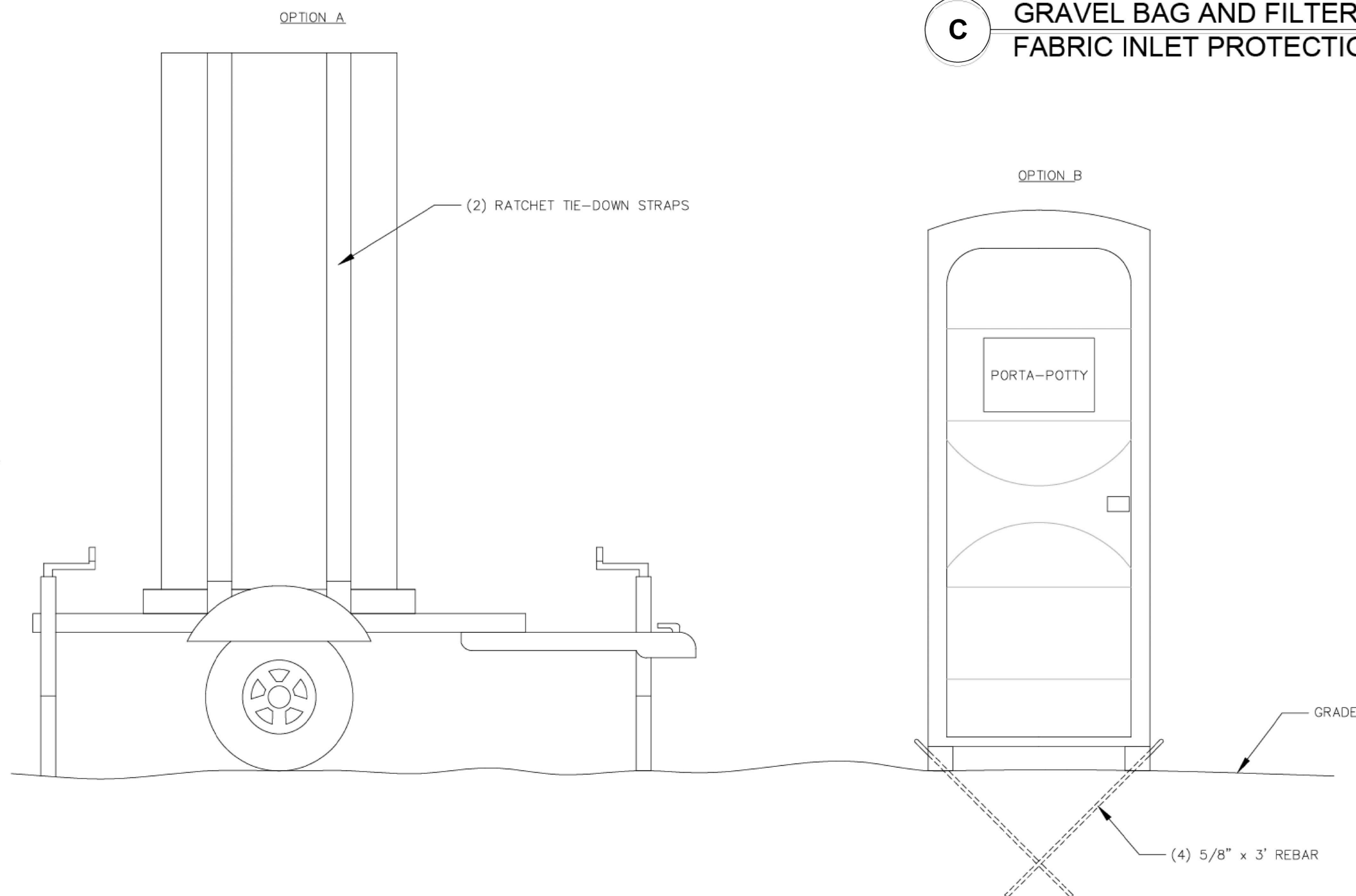
SHEET NUMBER

**4.0**

**A****STABILIZED CONSTRUCTION ENTRANCE****B****CONSTRUCTION & MATERIAL STORAGE**

## NOTES:

1. LEAKING VEHICLES AND EQUIPMENT SHALL NOT BE ALLOWED ON-SITE. EQUIPMENT AND VEHICLES SHALL BE INSPECTED FREQUENTLY FOR LEAKS AND SHALL BE REPAIRED IMMEDIATELY. CLEAN UP SPILLS AND LEAKS PROMPTLY WITH ABSORBENT MATERIALS; DO NOT FLUSH WITH WATER.
2. VEHICLES AND EQUIPMENT SHALL BE MAINTAINED, AND REPAIRED ON-SITE ONLY IN DESIGNATED AREAS. PREVENT RUN-ON AND RUN-OFF FROM DESIGNATED AREAS.
3. CONTAINMENT DEVICES SHALL BE PROVIDED AND AREAS SHALL BE COVERED IF NECESSARY.
4. DESIGNATE ON-SITE VEHICLE AND EQUIPMENT MAINTENANCE AREAS, AWAY FROM STORM DRAIN INLETS AND WATERCOURSES.
5. ALWAYS USE SECONDARY CONTAINMENT, SUCH AS A DRAIN PAN OR DROP CLOTH TO CATCH SPILLS AND LEAKS WHEN REMOVING OR CHANGING FLUIDS. LEGALLY DISPOSE OF USED OILS, FLUIDS AND LUBRICANTS.
6. PROVIDE SPILL CONTAINMENT DIKES OR SECONDARY CONTAINMENT AROUND STORED OIL, FUEL, AND CHEMICAL DRUMS.
7. MAINTAIN AN ADEQUATE SUPPLY OF ABSORBENT SPILL CLEANUP MATERIALS IN DESIGNATED AREAS.

**C****GRAVEL BAG AND FILTER  
FABRIC INLET PROTECTION****D****LODA/SILT FENCE****E****PORTABLE TOILET**

SHEET NOTES

ALL SITE WORK WITHIN RIGHT OF WAY TO COMPLY WITH HYRUM CITY PUBLIC WORKS STANDARD DRAWINGS AND SPECIFICATIONS.

IF HYRUM DOES NOT HAVE A STANDARD OR TYPICAL DETAIL, CONTRACTOR TO FOLLOW ALL APWA STANDARDS AND SPECIFICATIONS. CONTRACTOR TO COORDINATE WITH ALL PUBLIC AND PRIVATE ENTITIES WHILE INSTALLING ALL UTILITIES. .

SHEET LEGEND

PLAN REVISIONS

A.	



RIMROCK  
ENGINEERING &  
DEVELOPMENT

CAD TECH: RJM  
DESIGNER: RJM  
Q&A: JNS

**CALL BLUE  
STAKES PRIOR  
TO DIGGING**

PROJECT NAME

**CREGER MACHINE  
SHOP**

SHEET NAME

**SECTIONS**

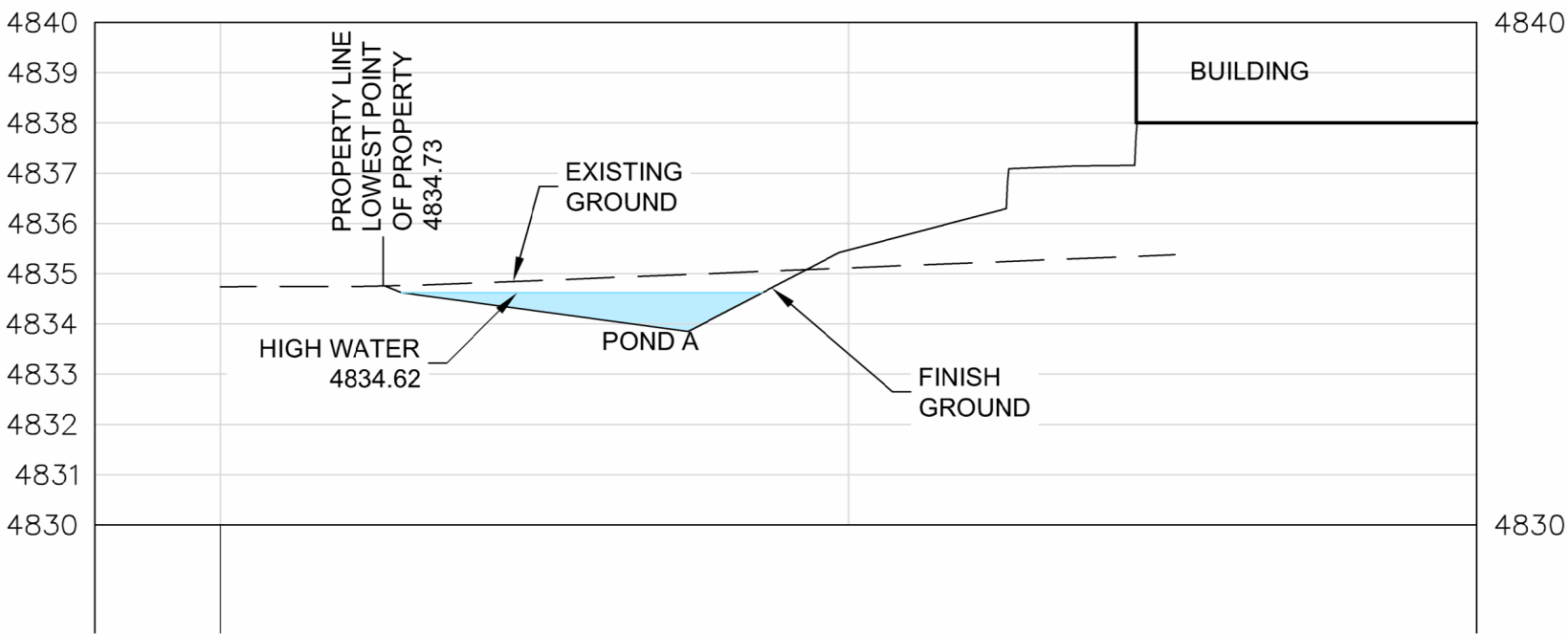
PLAN SUBMITTAL:

PRELIM

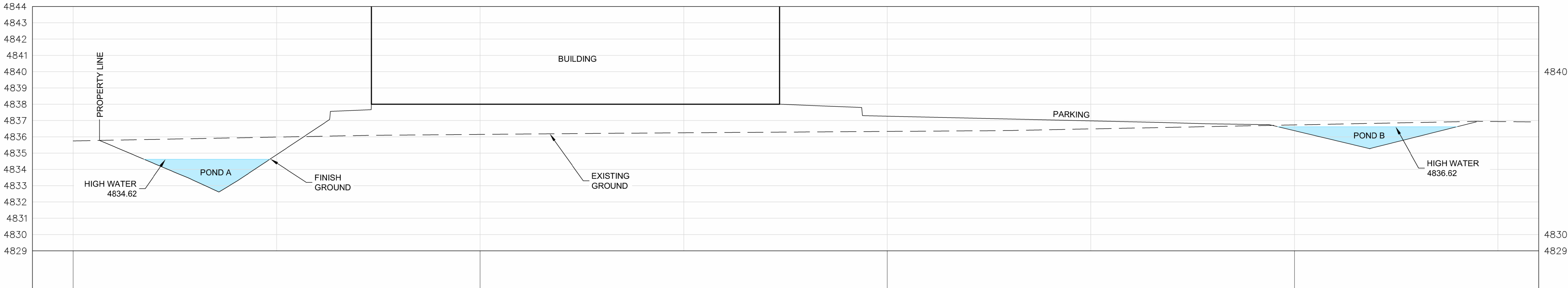
**REVIEW SET  
7/1/25**

SHEET NUMBER

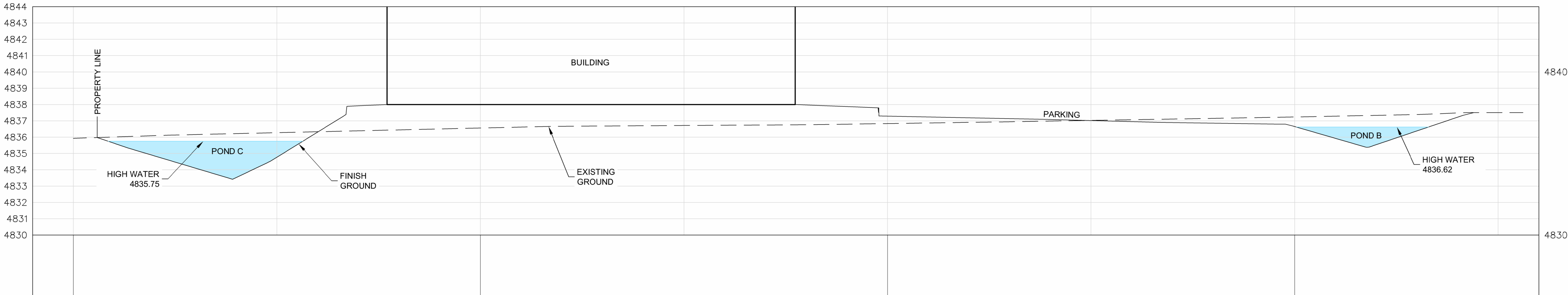
**4.1**



**SECTION 1**  
NTS



**SECTION 2**  
NTS



**SECTION 3**  
NTS



**CARTWRIGHT**  
ARCHITECTS & ENGINEERS

635 SOUTH 100 EAST  
LOGAN, UT 84341  
T435 753.2850  
F435 753.2851  
©2024 CARTWRIGHT

<http://www.cartwright-aec.com>

PROFESSIONAL STAMP

AGENCY APPROVAL

CREGER MACHINE

1671 E. 145 S. HYRUM, UT

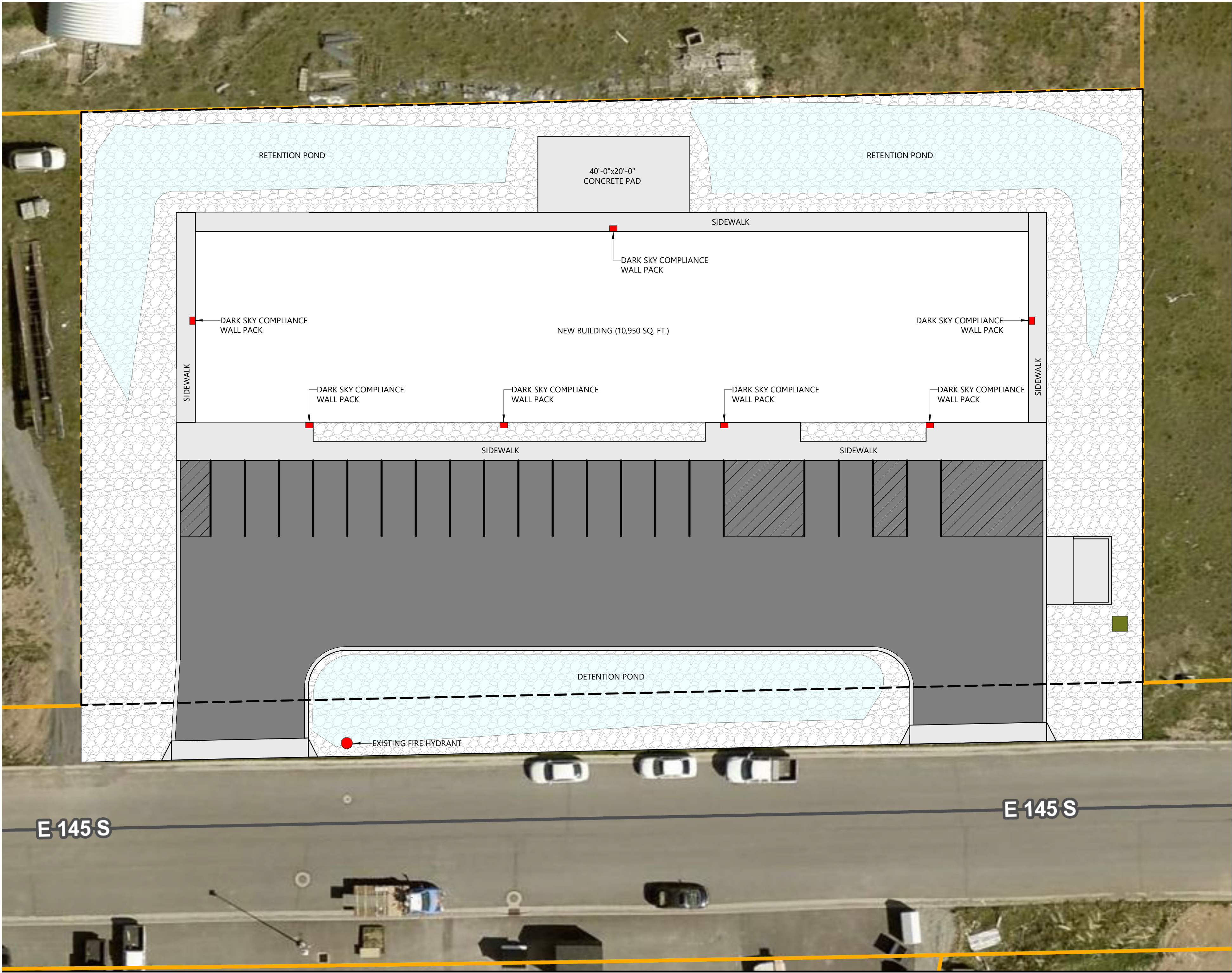
CARTWRIGHT PROJECT #	125017
DATE:	06/17/2025
DRAWN BY:	CW
CHECKED BY:	CW
APPROVED BY:	JC

REVISIONS	
DATE	DESCRIPTION

SITE LIGHTING  
PLAN

E101

7/24/2025 10:51:10 AM



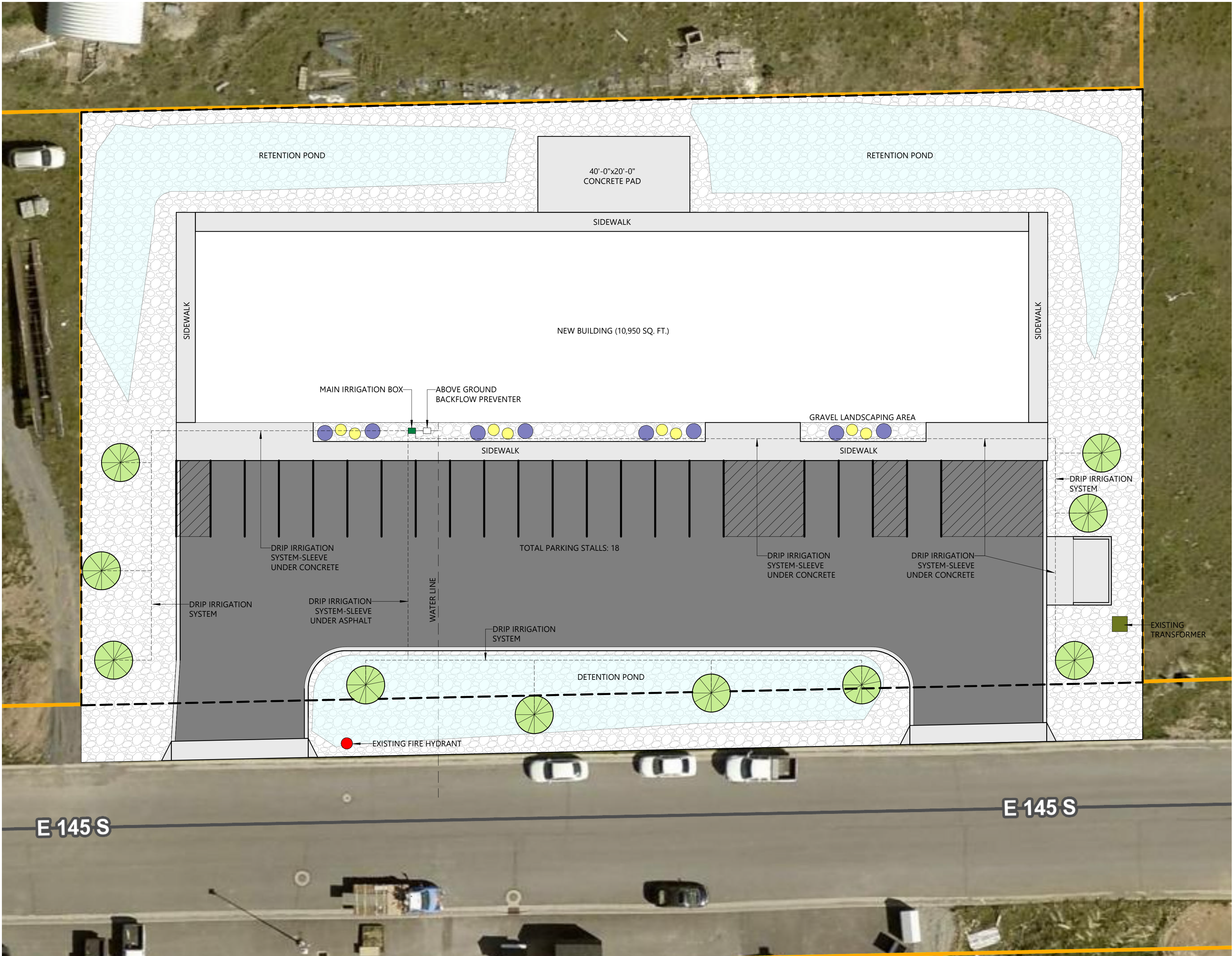
**A3 SITE LIGHTING PLAN**  
SCALE: 1/16" = 1'-0"



CARTWRIGHT PROJECT #	125017
DATE:	06/17/2025
DRAWN BY:	CW
CHECKED BY:	CW
APPROVED BY:	JC

REVISIONS	
DATE	DESCRIPTION

- 2" GRAVEL w/ WEED BARRIER UNDERNEATH
- MEMEROCALLIS X ALL AMERICAN CHIEF  
ALL AMERICAN CHIEF DAYLILLY  
QUANTITY: 8
- CALAMOGROSTIS KARL FOERSTER  
FEATHER REED GRASS  
QUANTITY: 8
- GINKGO BILOBA  
MAIDENHAIR TREE  
QUANTITY: 10
- LANDSCAPE LEGEND  
SCALE: 1/8" = 1'-0"



A3 LANDSCAPE PLAN  
SCALE: 1/16" = 1'-0"





# Memorandum

**To:** Mayor and City Council

**From:** Tony Ekins, City Planner

**Date:** August 1, 2025

**Subject:** Ordinance 25-06 – An ordinance amending Sections 17.70.010, and 17.70.020 of Title 17 (the Zoning Ordinance) of Hyrum City Municipal Code to define retaining walls, establish retaining wall requirements, establish maximum fence height and location requirements, and restructure general requirements. Application 25-015A

## Application Summary:

Staff received input from a citizen who expressed concern with retaining walls and unregulated fence heights. Staff responded to the citizens input by providing additional language to define retaining walls, establish retaining wall requirements, establish maximum fence height and location requirements, and restructure general requirements.

## Planning Commission Recommendation:

- On April 10, 2025, the Planning Commission held a public hearing to consider the amendment request. The Planning Commission returned the proposed draft ordinance to staff and requested the ordinance identify accessory fences within the interior of property, and address retaining walls placed upon public utility easements.
- On May 8, 2025, the Hyrum City Planning Commission recommended approval of the amendment to the City Council (5-0 Vote) provided staff identify incompatible uses and form an exemption for Planned Unit Developments and mixed-uses.

## City Council Recommendation:

- On June 16, 2025, the Hyrum City Council reviewed the proposed ordinance and recommended not to approve the ordinance amendment while staff clarifies and makes certain clarifications to the proposed ordinance and return to Council July 17, 2025.
- On July 17, 2025, the Hyrum City Council reviewed the ordinance and recommend staff clarify grammar in the text and return to the Council on August 7, 2025.

## City Council Meeting Details:

- Meeting Date: August 7, 2025
- Council Role: Legislative

## Attachments:

- Prepared Ordinance

## ORDINANCE 25-06

WHEREAS, on January 6, 1994, the Hyrum City Council passed and posted an ordinance adopting the "Hyrum City Municipal Code", a recodification of municipal ordinances encompassing the "Revised Ordinances of Hyrum City" and ordinances adopted through July 15, 1993; and

WHEREAS, Title 17 of the Hyrum City Municipal Code is known as the Zoning Ordinance of Hyrum City and sets forth regulations governing land use within the municipal limits; and

WHEREAS, Section 17.04.040 allows Title 17 of the Hyrum City Municipal Code, the Zoning Ordinance, to be amended by the City Council following fourteen days' notice and a public hearing; and

WHEREAS, the City Council has determined there is a need to amend Title 17 to further clarify those regulations governing zoning and other regulations controlling land use and development within Hyrum City.

NOW THEREFORE, upon recommendation of the Planning Commission and following a public hearing as required by Section 17.04.040, the Hyrum City Council hereby adopts, passes, and publishes the following:

AN ORDINANCE AMENDING SECTIONS 17.70.010, AND 17.70.020 OF TITLE 17 (THE ZONING ORDINANCE) OF THE HYRUM CITY MUNICIPAL CODE TO DEFINE RETAINING WALLS, ESTABLISH RETAINING WALL REQUIREMENTS, ESTABLISH MAXIMUM FENCE HEIGHT AND LOCATION REQUIREMENTS, AND RESTRUCTURE GENERAL REQUIREMENTS.

1. Section 17.70.010 Definitions of the Hyrum City Municipal Code is hereby added to read as follows:

17.70.010 Definitions

The following terms used in this title shall have the respective meanings hereinafter set forth.

Fence - A tangible barrier or obstruction, with the purpose, intent, or effect of obstructing passage or view across an area constructed of materials that includes but is not limited to; wooden posts, wire, iron, aluminum, vinyl, shrubs, bushes, hedges, walls, chain-link, rails, and any other material used as a boundary, means of protection, privacy screening, enclosure, or confinement.

Opacity - The measure of which an object restricts clear vision or passage of light.

Opaque Fence - Any fence, including any gates, that obstructs light or direct vision through a significant portion of the fence including posts. Examples include vinyl, wood, slats, concrete, brick, and blocks. Multiple fences, including plantings, that in a combined effect obstruct light or vision may be considered an opaque fence.

Public Trail - A corridor of property designated by the City for the purposes of non- motorized transportation, such as hiking, walking, jogging, running, horseback riding, cycling, or other similar uses, including any future trails identified in an official document of the City.

Retaining Wall - Any manmade structure built out of rock, block, wood, or other similar material to hold back soil or earth allowing for different levels of ground to be created or maintained.

Transparent/Open Fences - A fence, including any gates, that permits direct vision through any one section/panel fence including post. Examples include chain link, hog wire, metal rod, and some post and rail fences. Transparent fences shall have a maximum opacity of twenty-five (25) percent.

2. Section 17.70.020 General Requirements of the Hyrum City Municipal Code is hereby added to read as follows:

17.70.020 General Requirements

Fences and Retaining Walls may be installed or allowed as limited or exempted herein:

A. Fence and Retaining Wall Permit and Building Permit Required:

1. The Zoning Administrator or designee shall have the authority to review a fence and retaining wall permit application and grant zoning clearances for all fences and retaining walls.
2. Any fence over three feet (3') in height from the top of the land shall require a fence and retaining wall permit. An accompanying building permit and engineering plans prepared by a certified engineer if required by current state building code.
3. Any retaining wall shall require a fence and retaining wall permit, building permit, and engineering plans prepared by a certified engineer if required by current state building code.

4. Any fence installed on top of a retaining wall shall require a fence and retaining wall permit. An accompanying building permit and engineering plans prepared by a certified engineer if required by current state building code.
5. A fence and retaining wall permit shall be valid for one (1) year from the day it is issued.
6. The applicant may appeal a denied fence permit as defined in HCC 17.16 Appeals.
7. Any new fence or the reconstruction of an existing fence is subject to the requirements of this Chapter.
8. Any fence that is an accessory to the interior of the lot, including but not limited to raising and keeping of animals or garden fences that do not exceed the maximum fence heights in this section for interior and corner lots are exempt from obtaining a fence permit.

B. Fences on Interior Lots:

1. In the required front yard setback, fences shall be limited to four feet (4') in height. A property owner may install a fence limited to seven feet (7') in height in the required front yard abutting a common property line that is the back yard of an adjoining property.
2. In the required side and rear yard setback, and that portion between the front plane of the main building and the front yard setback, fences shall be limited to seven feet (7') in height.

C. Fences on Corner Lots:

1. In the required front yard setback, fences shall be limited to four feet (4') in height. A property owner may install a fence limited to seven feet (7') in height in the required front yard setback abutting a common property line that is the back yard of an adjoining property.
2. In the required side and rear yard setbacks, and that portion between the front plane of the main building and the front yard setback, fences shall be limited to seven feet (7') in height. The street facing side and rear yards which back onto front yards of adjoining lots, fences shall be limited to seven feet (7') in height.

D. Public Utility and Irrigation Access and Protections:

1. All public utility meters and structures shall be accessible from the public right of way.
2. Water meters and irrigation shutoff valves require a minimum of three feet (3') by six feet (6') unobstructed maintenance area.
3. Power pedestals and transformers require a minimum of three feet (3') unobstructed maintenance zone.

4. Any fence or retaining wall along any irrigation ditch, canal, weir, headgate, or other irrigation structure shall be non-combustible material and shall be approved by the president of the respective irrigation company. Fences or retaining walls shall not obstruct passage or access for cleaning for maintenance purposes.
5. Retaining walls shall not be placed upon a public utility easement unless the City Engineer determines the retaining wall will not unreasonably interfere with the public utility easement and approves the retaining wall in writing.

E. Fences and Retaining Walls are further limited as follows:

1. Fences shall be installed at the property line but shall not be installed closer than one foot (1') from a sidewalk, where present.
2. Fences and retaining walls, including footings, shall be contained within a property boundary.
3. Fence height shall be measured from the lowest surface of the land.
4. Fences installed adjacent to a street shall have the finished side facing the street.
5. Fences shall be constructed according to local building codes and consist of durable industry standard materials include cedar, douglas fir, redwood, or pressure-treated wood products; Vinyl (Polyvinyl chloride); natural boulder, rock or stone; cast in place or precast concrete; wrought iron, welded wire mesh or galvanized chain link.
6. Fences that shall not be permitted include stacked refuse or discarded debris, manufactured wood pallets, chipboard, particle board, plywood, or razor wire.
7. Where a fence is installed on or at the top of a retaining wall:
  - a. The code calculated height of the fence shall be measured from a point half way between the top of the retaining wall and the land on the lower side of the retaining wall.
  - b. The height of the fence component shall not be less than three feet six inches (3'-6") from the grade on the retained side of the wall if the retained height is greater than 30 inches. Fence height limits as noted in this code apply and may impact the total height of the wall. (i.e. 4' retaining wall + 4' fence = fence height of 6' - Allowed; 4' retaining wall + 6' fence = fence height of 8' - Not allowed, exceeds 7'.).

c. The Planning Commission may consider an exemption where the normal use or level of protection requires a greater fence in height for safety purposes.

8. Gates accessing rear or side yards shall be subject to driveway distance requirements in respect to distances from property lines and road intersections.

9. Gates that adjoin the public right of way or public utility easements shall open inwards towards the private property.

10. Gates in rear yards shall provide a minimum width of four feet (4') wide for emergency access.

F. Exceptions:

1. Fences may be approved by the Zoning Administrator or designee for the following conditions:

a. Protect, secure or screen temporary site construction with an active demolition permit, building permit, special event permit or other similar type of permit.

b. Protect, secure or screen a nuisance, hazard, or unsafe property on a temporary basis until the nuisance or hazard has been mitigated.

c. Protect, secure or screen a public utility or facility (i.e. electrical substations, park facilities, public works facilities, solid waste facilities, water tanks, water treatment plants, etc.).

2. The City Council may grant an exception through a conditional or permitted site plan approval surrounding commercial or manufacturing uses, schools, swimming pools or sports courts, or where the normal use or level of protection requires a greater fence height and fence type.

~~A. A zoning clearance is required to build a fence.~~

~~1. The Zoning Administrator, or their designee, shall have the authority to review applications and grant permits for fences.~~

~~2. A fence permit shall be valid for one (1) year from the day it is issued.~~

~~3. The applicant may appeal a denied permit as defined in HCC 17.16 Appeals.~~

~~4. Any new fence or the reconstruction of an existing fence is subject to the requirements of this Section.~~

~~B. All utility meters must be readily accessible in an unfenced area of the front or side yard including the following restrictions:~~

- ~~1. Utilities not owned by the City are subject to this requirement.~~
  - ~~2. Water or irrigation meters not located within the park strip. Water and irrigation meters are required to have a three (3) foot wide by six (6) foot long work zone adjacent to the meter barrel that is parallel to the sidewalk.~~
  - ~~3. Temporary meters for construction or short-term purposes.~~
  - ~~4. Gates do not qualify for an accessible, unfenced area.~~
- ~~C. Fence heights are subject to building code requirements of the current building code accepted by State Code.~~
- ~~D. Front Yards: No fence shall be erected in any front yard setback area to a height in excess of four feet (4') and shall be of transparent construction within twenty (20) feet of a driveway:~~
- ~~1. Lots fronting on two city streets shall meet the front yard requirements along both frontages. Fences along a street frontage that is not the front of the house may be taller than four (4) feet where it does not conflict with sight restrictions listed in the Hyrum City Code.~~
  - ~~2. Where a lot has no vehicular access adjacent to a street as restricted by plat or deed, the City may deem this as a rear yard. Fences along a frontage that is not restricted may still be subject to the front yard requirements.~~
  - ~~3. Where vertical utility features such as pedestals and transformers are installed, the fence is not allowed to be constructed within three (3) feet of the base of the feature.~~
- ~~E. Rear and side yards: No fence shall be erected or maintained in any side or rear yard to a height in excess of seven feet (7') without a building permit and shall be subject to the limitations identified herein for fences bordering Public Trails, corner lots, and adjacent to streets.~~
- ~~F. Under no circumstances shall a fence, structure, or landscaping element interfere with property address identification. Landscaping elements exclude varieties of trees approved by the Zoning Administrator. Any conflicts between this Chapter and other portions or provisions of the HCC shall be governed by the more restrictive or limiting provision.~~
- ~~G. The height of the fence shall be measured from the lowest adjacent ground. Example: a fence on top of a retaining wall.~~
- ~~H. Fencing types and materials may be combined so long as they do not exceed four feet (4') in height or exceed the transparency requirements.~~



- ~~I. Fences installed adjacent to a street shall have the finished side facing the street. All gates that adjoin public property or public easements shall open inward toward the property owner's yard.~~
- ~~J. Fences shall not be built within one foot (1) of a sidewalk or the anticipated location of a future sidewalk.~~
- ~~K. All rear yards shall provide gate access for emergency purposes, which access shall be at least four feet wide.~~
- ~~L. Gates in rear or side yards shall be subject to driveway distance requirements in respect to distances from property lines and road intersections.~~

EFFECTIVE DATE. This ordinance shall become effective upon posting three (3) copies in three (3) public places within Hyrum City.

ADOPTION. This ordinance is hereby adopted and passed by the Hyrum City Council this 7th day of August, 2025.

HYRUM CITY

BY: \_\_\_\_\_  
Stephanie Miller  
Mayor

ATTEST:

\_\_\_\_\_  
Stephanie Fricke  
City Recorder

## Road Rebuilds 2025-2026

Staff recommends Staker Parson

Lowest overall bid for project

Total bid                      \$759,480.50

Staff/City budget              \$760,000.00 for rebuilds/ 100,000.00 for 900 west/ B and C funds TBA

Other bids were higher and/or turned in late

1. Legrand Johnson Construction    \$816,483.75
2. Morgan Pavement                      No bid submitted



**Staker Parson Materials & Construction**  
A CRH Company

Ogden - 2350 S. 1900 W. Ogden, UT 84401 | P: (801) 731-1111 F: (801) 731-8800  
Brigham City - PO Box 517 Brigham City, UT 84302 | P: (435) 723-5216 F: (435) 723-9343  
Smithfield - PO Box 65 Smithfield, UT 84335 | P: (435) 563-3242 F: (435) 563-9480

*The Preferred Source for quality sand, rock, landscape products,  
ready mix concrete, asphalt, paving & construction services.*

<b>To:</b>	Hyrum City	<b>Contact:</b>	Kade Maughan
<b>Address:</b>	83 W Main St Hyrum, UT 84319	<b>Phone:</b>	(435) 245-6033
		<b>Fax:</b>	(435) 245-4758
<b>Project Name:</b>	Hyrum City Streets - 2025	<b>Bid Number:</b>	
<b>Project Location:</b>	Various, Hyrum, UT	<b>Bid Date:</b>	7/30/2025
<b>Attachments:</b>	Standard Terms Conditions Eff 4-1-19.pdf		

**JOB SPECIFICATION AND PRICE:**

**(IF UNIT PRICES ARE QUOTED, UNITS WILL BE MEASURED ON COMPLETION AND INVOICED AT UNIT PRICES QUOTED).**

**IF OWNER ELECTS TO EXECUTE OWN CONTRACT AGREEMENT, THIS PROPOSAL IS TO BECOME PART OF AND ATTACHED TO OWNERS CONTRACT**

Line #	Item #	Item Description	Estimated Quantity	Unit	Unit Price	Total Price
<b>General Conditions</b>						
	01	Mobilization And Traffic Control	1.00	LS	\$22,750.00	\$22,750.00
<b>Rotomill Streets</b>						
	02	100 N; 400 W To 200 W Rotomill Up To 4" Of Existing Asphalt Pavement Import, Place, And Compact 1" Road Base Furnish, Place, And Compact 3" Asphalt Shoulder Roadway Where Needed	46,300.00	SF	\$1.89	\$87,507.00
	03	500 E; 100 S To 200 S Rotomill Up To 4" Of Existing Asphalt Pavement Import, Place, And Compact 1" Road Base Furnish, Place, And Compact 3" Asphalt Shoulder Roadway Where Needed	18,600.00	SF	\$1.93	\$35,898.00
	04	Amberfield Drive/300 N 600 E Rotomill Up To 4" Of Existing Asphalt Pavement Import, Place, And Compact 1" Road Base Furnish, Place, And Compact 3" Asphalt Shoulder Roadway Where Needed	23,250.00	SF	\$1.95	\$45,337.50
	05	440 S 650 E Subdivision Rotomill Up To 4" Of Existing Asphalt Pavement Import, Place, And Compact 1" Road Base Furnish, Place, And Compact 3" Asphalt Shoulder Roadway Where Needed	129,500.00	SF	\$1.86	\$240,870.00
	06	500 E 300 S Subdivision Rotomill Up To 4" Of Existing Asphalt Pavement Import, Place, And Compact 1" Road Base Furnish, Place, And Compact 3" Asphalt Shoulder Roadway Where Needed	20,000.00	SF	\$1.93	\$38,600.00
	07	200 N; 575 W To 500 W Rotomill Up To 4" Of Existing Asphalt Pavement	27,750.00	SF	\$1.91	\$53,002.50



Staker Parson Materials & Construction  
A CRH Company

Ogden - 2350 S. 1900 W. Ogden, UT 84401 | P: (801) 731-1111 F: (801) 731-8800  
Brigham City - PO Box 517 Brigham City, UT 84302 | P: (435) 723-5216 F: (435) 723-9343  
Smithfield - PO Box 65 Smithfield, UT 84335 | P: (435) 563-3242 F: (435) 563-9480

*The Preferred Source for quality sand, rock, landscape products,  
ready mix concrete, asphalt, paving & construction services.*

<b>To:</b>	Hyrum City	<b>Contact:</b>	Kade Maughan
<b>Address:</b>	83 W Main St Hyrum, UT 84319	<b>Phone:</b>	(435) 245-6033
		<b>Fax:</b>	(435) 245-4758
<b>Project Name:</b>	Hyrum City Streets - 2025	<b>Bid Number:</b>	
<b>Project Location:</b>	Various, Hyrum, UT	<b>Bid Date:</b>	7/30/2025
<b>Attachments:</b>	Standard Terms Conditions Eff 4-1-19.pdf		

Line #	Item #	Item Description	Estimated Quantity	Unit	Unit Price	Total Price
		Import, Place, And Compact 1" Road Base Furnish, Place, And Compact 3" Asphalt Shoulder Roadway Where Needed				
	08	300 N 1090 W Subdivision	23,400.00	SF	\$1.93	\$45,162.00
		Rotomill Up To 4" Of Existing Asphalt Pavement				
		Import, Place, And Compact 1" Road Base Furnish, Place, And Compact 3" Asphalt				
	09	300 N 1025 W Subdivision	85,500.00	SF	\$1.88	\$160,740.00
		Rotomill Up To 4" Of Existing Asphalt Pavement				
		Import, Place, And Compact 1" Road Base Furnish, Place, And Compact 3" Asphalt				
<b>Overlay Street</b>						
	10	600 E; Main St. To 100 S - Asphalt Repair	3,450.00	SF	\$2.93	\$10,108.50
		Remove Existing Asphalt In Poor Condition Prepare And Grade Existing Material Furnish, Place, And Compact 3" Asphalt				
	11	600 E; Main St. To 100 S - Overlay	20,750.00	SF	\$0.94	\$19,505.00
		Repair And Patch Where Needed Sweep, Clean, And Tack Overlay Area Install Leveling Course Where Needed Furnish, Place, And Compact 1.5" Asphalt Overlay Shoulder Roadway Where Needed				
<b>Unit Price</b>						
	12	Removal And Haul Off Of Additional Depth Of Existing Asphalt - Per CY	1.00	CY	\$25.00	\$25.00
	13	Import, Place, And Compact Additional Road Base - Per Ton	1.00	TON	\$26.50	\$26.50

**Notes:**

- \*\*\* DUE TO THE VOLATILITY OF FUEL, LIQUID ASPHALT, CEMENT AND CONSTRUCTION MATERIALS ALL BID PRICES ARE GOOD FOR 90 DAYS FROM DATE OF QUOTATION, PAVING STARTING AFTER THE 90 DAYS MAY BE SUBJECT TO PRICE ADJUSTMENTS. \*\*\*
- In order to assure positive drainage, all paving surfaces need to have a minimum of 1.5% slope. Staker Parson Companies cannot guarantee drainage on areas with less than 1.5% slope. We will do our best to minimize standing water in areas less than 1.5%.**
- Additional work and work in excess of that specified and described above will be handled as a Change Order. Additional work **MUST BE APPROVED** by owner and contractor prior to construction.
- Bid DOES NOT include engineering, layout, testing, survey, SWPPP, bonds/permits/fees, soft spot repair, over-excavation, striping, utility collar removal or pre-lowering, road widening.



**Staker Parson Materials & Construction**  
**A CRH Company**

Ogden - 2350 S. 1900 W. Ogden, UT 84401 | P: (801) 731-1111 F: (801) 731-8800  
Brigham City - PO Box 517 Brigham City, UT 84302 | P: (435) 723-5216 F: (435) 723-9343  
Smithfield - PO Box 65 Smithfield, UT 84335 | P: (435) 563-3242 F: (435) 563-9480

*The Preferred Source for quality sand, rock, landscape products,  
ready mix concrete, asphalt, paving & construction services.*

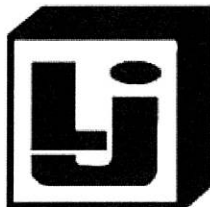
<b>To:</b>	Hyrum City	<b>Contact:</b>	Kade Maughan
<b>Address:</b>	83 W Main St Hyrum, UT 84319	<b>Phone:</b>	(435) 245-6033
		<b>Fax:</b>	(435) 245-4758
<b>Project Name:</b>	Hyrum City Streets - 2025	<b>Bid Number:</b>	
<b>Project Location:</b>	Various, Hyrum, UT	<b>Bid Date:</b>	7/30/2025
<b>Attachments:</b>	Standard Terms Conditions Eff 4-1-19.pdf		

- Bid includes only the items as specified and described above.
- Bid DOES NOT include raising or installing concrete collars on manholes, water valves, or monuments.
- Please Review attached TERMS & CONDITIONS. Upon Signature Of Proposal Purchaser Is Bound To All Terms And Conditions Of Agreement. Original Copy Of Proposal Must Be Signed And On File Prior To Commencement Of Work.
- Roadways to be closed to through traffic.

**Payment Terms:**

Refer to attached Terms & Conditions. Please note\*\*\*Effective March 1, 2019, payment by credit card will no longer be allowed on Construction Service Invoices\*\*\*

<p><b>ACCEPTED:</b></p> <p>The above prices, specifications and conditions are satisfactory and are hereby accepted.</p> <p><b>Buyer:</b> _____</p> <p><b>Signature:</b> _____</p> <p><b>Date of Acceptance:</b> _____</p>	<p><b>CONFIRMED:</b></p> <p><b>STAKER   PARSON COMPANIES</b></p> <p><b>Authorized Signature:</b> _____</p> <p><b>Estimator:</b> Shad East (435) 230-1361 shad.east@stakerparson.com</p>
--	--



# LeGrand Johnson Construction Co.

P.O. BOX 248 PHONE (435) 752-2000 FAX (435) 752-2968 LOGAN, UTAH 84323-0248

<b>To:</b>	Hyrum City	<b>Contact:</b>	Todd Perkins
<b>Address:</b>	Hyrum City, UT	<b>Phone:</b>	
		<b>Fax:</b>	
<b>Project Name:</b>	Hyrum City 2025-2026 Roads	<b>Bid Number:</b>	1712509
<b>Project Location:</b>	Hyrum City Streets Various, Hyrum, UT	<b>Bid Date:</b>	7/30/2025

## 2025 - 2026 Hyrum City Road Rebuild

Line #	Item #	Item Description	Estimated Quantity	Unit	Unit Price	Total Price
<b>Mobilization</b>						
	1	Mobilization	1.00	LS	\$5,600.00	\$5,600.00
<b>Total Price for above Mobilization Items:</b>						<b>\$5,600.00</b>
<b>600 E (Main - 100 S)</b>						
	2	<b>Main St - 100 S (600 E)</b> Fill Potholes And Tack Overlay 1.5" Thick Asphalt ( <b>Assuming 5 Potholes</b> )	18,762.00	SF	\$1.09	\$20,450.58
<b>Total Price for above 600 E (Main - 100 S) Items:</b>						<b>\$20,450.58</b>
<b>400 W - 200 W On 100 N</b>						
	3	<b>400 W - 200 W On 100 N</b> Mill And Fill 4" Of Existing Pavement, Import And Place Road Base 1" Thick, Import And Place Asphalt 3" Thick And Shoulder New Asphalt Mat	43,700.00	SF	\$2.08	\$90,896.00
<b>Total Price for above 400 W - 200 W On 100 N Items:</b>						<b>\$90,896.00</b>
<b>500 E</b>						
	4	500 E (100 - 200 S) Mill And Fill 4" Of Existing Pavement, Import And Place Road Base 1" Thick, Import And Place Asphalt 3" Thick And Shoulder New Asphalt Mat	18,760.00	SF	\$2.26	\$42,397.60
<b>Total Price for above 500 E Items:</b>						<b>\$42,397.60</b>
<b>Amberfields Dr</b>						
	5	<b>Amberfield DR</b> Mill And Fill 4" Of Existing Pavement, Import And Place Road Base 1" Thick, Import And Place Asphalt 3" Thick And Shoulder New Asphalt Mat	24,725.00	SF	\$2.19	\$54,147.75
<b>Total Price for above Amberfields Dr Items:</b>						<b>\$54,147.75</b>
<b>650 E 675 E 700 E 440 S</b>						
	6	<b>440 S To 650 E</b> Mill And Fill 4" Of Existing Pavement, Import And Place Road Base 1" Thick, Import And Place Asphalt 3" Thick And Shoulder New Asphalt Mat	47,202.00	SF	\$2.07	\$97,708.14
	7	<b>650 E And 675 E (400 S)</b> Mill And Fill 4" Of Existing Pavement, Import And Place Road Base 1" Thick, Import And Place Asphalt 3" Thick And Shoulder New Asphalt Mat	72,382.00	SF	\$2.07	\$149,830.74
	8	<b>700 E (440 S)</b> Mill And Fill 4" Of Existing Pavement, Import And Place Road Base 1" Thick, Import And Place Asphalt 3" Thick And Shoulder New Asphalt Mat	12,014.00	SF	\$2.32	\$27,872.48
	9	<b>500 E (300S)</b> Mill And Fill 4" Of Existing Pavement, Import And Place Road Base 1"	20,527.00	SF	\$2.18	\$44,748.86



Line #	Item #	Item Description	Estimated Quantity	Unit	Unit Price	Total Price
		Thick, Import And Place Asphalt 3" Thick And Shoulder New Asphalt Mat				
<b>Total Price for above 650 E 675 E 700 E 440 S Items:</b>						<b>\$320,160.22</b>
<b>200 N (575 W - 500 W)</b>						
	10	<b>575 W - 500 W</b> Mill And Fill 4" Of Existing Pavement, Import And Place Road Base 1" Thick, Import And Place Asphalt 3" Thick And Shoulder New Asphalt Mat (200 N, 575 W - 500 W)	25,741.00	SF	\$2.18	\$56,115.38
<b>Total Price for above 200 N (575 W - 500 W) Items:</b>						<b>\$56,115.38</b>
<b>1090 W</b>						
	11	<b>1090 W (300 N)</b> Mill And Fill 4" Of Existing Pavement, Import And Place Road Base 1" Thick, Import And Place Asphalt 3" Thick And Shoulder New Asphalt Mat	23,963.00	SF	\$2.16	\$51,760.08
<b>Total Price for above 1090 W Items:</b>						<b>\$51,760.08</b>
<b>325 N 370 N 1025 W</b>						
	12	<b>1025 W 325 And 370 North</b> Mill And Fill 4" Of Existing Pavement, Import And Place Road Base 1" Thick, Import And Place Asphalt 3" Thick And Shoulder New Asphalt Mat	85,507.00	SF	\$2.02	\$172,724.14
<b>Total Price for above 325 N 370 N 1025 W Items:</b>						<b>\$172,724.14</b>
<b>Traffic Control</b>						
	13	Traffic Control	12.00	EACH	\$186.00	\$2,232.00
<b>Total Price for above Traffic Control Items:</b>						<b>\$2,232.00</b>
<b>Total Bid Price:</b>						<b>\$816,483.75</b>
<b>Unit Costs(If Needed)</b>						
	14	Lane Leveling If Needed (To Be Charged By The Ton)	1.00	TON	\$200.00	\$200.00
	15	UDOT Permits If Needed	1.00	EACH	\$600.00	\$600.00
	16	Adjust Sewer Manhole And Install Concrete Collar(to Be Charged Per Each)	1.00	EACH	\$900.00	\$900.00
	17	Adjust Water Valve Box And Install Concrete Collar(to Be Charged Per Each)	1.00	EACH	\$600.00	\$600.00
<b>Total Price for above Unit Costs(If Needed) Items:</b>						<b>\$2,300.00</b>

**Notes:**

- Due to Current SUPPLY CHAIN DISRUPTIONS, all materials are subject to pricing at the time of shipment. Material availability and timeliness CANNOT BE GUARANTEED. This term supersedes all other contractual obligations.
- **\*\*Project to be measured and billed at actual in place quantity at the unit rates given.\*\***
- Bid is based off of suitable sub grade being in place below the new asphalt/road base.
- We do not guarantee drainage on grade if less than 1%. Grades will be determined based off of the city street/concrete area we are tying into.
- .
- All existing utilities shall not be in conflict with new construction.
- **\*\*\*Soft Spot Repair will be change orders by unit price.\*\*\***
- This bid proposal excludes winter conditions costs and snow / frost removal. LJCC is committed to providing a quality product. However, we may be limited to inclement weather conditions after October 15, 2022 and require that a cold weather release be implemented to continue performing asphalt work.
- LJCC is not responsible for re-grading / re-compaction of disturbed areas caused by other trades, such as electricians, plumbers, etc.
- This bid proposal is based on the acceptance of all items detailed above. This proposal is strictly limited to the scope of work outlined above, and defined by this proposal. If accepted, this proposal will be included in, and become part of any subcontract.
- This bid is based on the cost of fuel, oil, cement, steel, and PVC on bid day. Any increase in prices will be passed through to the owner. If paving occurs in 2026 then the any price escalation will be passed onto the owner.
- This bid must be accepted within 30 days of the Bid Date to be considered valid.
- Contractor License Number is: 7741778-5501

- This ESCALATION CLAUSE will become part of the contract.

The price stated is based on LJCC's ability to purchase required materials, in particular the asphalt manufacturer's liquid asphalt. At the date of this proposal, LJCC's purchase price for liquid asphalt oil (PG 64-22 or PG 58-28) is \$ 550.00 per ton. Any increase in price, including freight and taxes, which LJCC must pay, will be passed on to and paid for by the owner.

- **Bid excludes demolition, rock excavation and or blasting, shoring, disposal of un-identified debris, survey, bonds, permits, fees, testing, striping, prime coat, herbicide, storm water control. traffic control and construction water unless otherwise noted on the proposal.**
- **\*\*\*Soft Spot Repair will be change orders by unit price.\*\*\***

**Payment Terms:**

All credit extended shall be on the basis of repayment of all sums due net 30 days from invoice date. All amounts not paid shall be subject to a finance charge of 2% per month on the unpaid balance. Payment by credit card may be accepted. Oral statements or commitments to extend credit or to alter the terms of this Agreement and any other Agreement between the parties, this Agreement controls. Seller conditions prevail in governing all aspects of this agreement. Seller may retain an attorney or collection agency to collect amounts that are past due hereunder. Purchaser shall pay all collection costs and reasonable attorney fees incurred by Seller, whether or not suit is brought, to collect any money due hereunder, including post-judgement costs and attorney fees. Any or all aspects of this Agreement shall be governed by the laws of the state in which the credit application is delivered. Seller shall designate the venue of any suit.

**ACCEPTED:**

The above prices, specifications and conditions are satisfactory and are hereby accepted.

**Buyer:** \_\_\_\_\_

**Signature:** \_\_\_\_\_

**Date of Acceptance:** \_\_\_\_\_

**CONFIRMED:**

**LeGrand Johnson Construction Co**

**Authorized Signature:** \_\_\_\_\_

**Estimator:** Ryan Leishman

(435) 994-2833 Ryan.Leishman@ljcc.com



Slurry Seal 2025-2026

Staff recommends M and M Asphalt

Lowest overall bid for project

Total bid \$90,040.40

Staff/City budget \$100,000.00

Other bids were higher and/or turned in late

1. Andersen Asphalt \$111,679.51
2. Morgan Pavement \$92,428.50

## PROPOSAL &amp; CONTRACT



## ASPHALT SERVICES

5464 West Leo Park Road, West Jordan, Utah 84081 • Phone(801) 280-9400 • Fax(801)280-3526

## Seal Coating • Crack Sealing • Slurry Seal • Asphalt Repairs

SOLD TO	Hyrum City 85 West Main St. Hyrum, UT 84319 Kade 435-213-7200	JOB SITE	Hyrum City Various Roads and Locations See Map Hyrum, UT Same
---------	---	----------	---

- Apply Crack Sealer to 25722 Linear Feet At \$0.53 Per Foot. \$ 13,632.66  
 Details: Clean all cracks and flat edges out first using high compressed air.  
 Apply hot rubberized asphalt crack sealer to all cracks 1/8 inch and larger including 50% of the  
 alligatored areas and all the flat edges.  
 Estimate is based on doing the job in one mobilization.
- Apply a Slurry Type II to 402146 Square Feet At \$0.19 Per Square Foot. \$ 76,407.74  
 Details: Estimate is based on applying a type II slurry seal on 402.146 square feet of asphalt.

Terms of Payment: UPON COMPLETION

Total Contract Price \$ 90,040.40

We hereby agree to furnish all labor, material and equipment for the completion, in a good and workmanlike manner, of the work described above.

Date \_\_\_\_\_

By \_\_\_\_\_

## ACCEPTANCE

The above mentioned proposal is accepted. You are authorized to perform the work described herein. It is agreed that you shall be paid according to the terms set forth herein. All of the terms on the reverse side are incorporated herein and made a part hereof.

Date \_\_\_\_\_, 20\_\_\_\_

Company \_\_\_\_\_

By \_\_\_\_\_ Title \_\_\_\_\_

1. Any deviation from these specifications and/or terms shall be by written mutual agreement. Payment for extra work and allowance for omissions shall be fixed in advance in writing on demand by either party. No verbal agreement or understanding shall be binding.
2. All payments received in accordance with the terms of this contract are accepted with the understanding that such payments shall be applied to the payment of material and labor furnished on the work subject to this agreement.
3. Both parties agree that the plans and specifications may be changed without impairing the validity of this contract, subject, however, to the condition that the sum allowed either party for such alterations shall have been agreed upon by the parties to the contract and a full statement of the same made in writing and signed by them before the work to be affected by the changes is commenced.
4. Both parties agree that M&M Asphalt Services is not responsible for breakage of underground pipes, wiring or other improvements which are not visible to workmen on the property.
5. The undersigned agrees that all defects in material or labor must be brought to the attention of M&M Asphalt Services within thirty (30) days of receipt of billing invoice for the work performed or else waives its right to claim any offers for these defects.
6. Unless specified otherwise, the party for whom this work is performed assumes responsibility for traffic control and any barricading necessary, as well as assuring traffic is not permitted on the new surface until the material is set and dry.
7. If payment is not received by M&M Asphalt Services according to the terms specified in this agreement, the purchaser of products and services from M&M Asphalt Services shall be liable for cost incurred by M&M Asphalt Services including a reasonable attorney's fee if the account is placed with an attorney for collection.
8. The undersigned agrees to pay all invoices from M&M Asphalt Services within the terms described herein. If payment is not received as set forth herein, the undersigned agrees to pay on and one-half percent (1½%) compounded monthly on all outstanding amounts owing to M&M Asphalt Services.
9. This bid is based on the current price of labor and material and if not accepted within 15 days from date hereof, the right is reserved to submit a new bid.
10. All agreements contingent upon strikes, accidents or delays beyond control.
11. This contract shall be governed by the laws of the State of Utah both as to interpretation and performance. The place of this agreement and its exclusive forum for enforcement and interpretation shall be Salt Lake County, Utah.

**Prepared By:**

Caden Andersen  
 (435) 881-8637  
 caden@andersenam.com  
 Andersen Asphalt  
 (801) 675-1555

**Prepared For:**

Hyrum City  
 Kade Maughan  
 60 West Main Street Hyrum, UT 84319 US  
 (435) 213-7200  
 kade.maughan@hyrumcity.gov

**Proposal ID : 8480**

**Project Summary**

<b>JOB SITE: NON-PROFIT SUBDIVISION</b>			
510 1380 East, Hyrum, Utah, 84319 US			
<b>PRODUCT</b>	<b>QTY</b>	<b>RATE</b>	<b>AMOUNT</b>
<b>Crack Seal</b>	8,014	0.8	\$6,431.10
Crack seal 8014 linear feet of transverse and lateral pavement cracking greater than ¼" up to 1 ½". This process utilizes the highest quality crack sealant and established installation techniques to ensure durability and effectiveness.			
<b>Slurry Seal</b>	13,725	2.07	\$28,410.75
Apply Slurry Seal to 13725 square yards of pavement at a rate of 14 lbs/sy. This process will level and seal minor defects in the pavement, add a new wear course, and improve skid resistance.			
<b>Job Total</b>			<b>\$34,841.85</b>

**JOB SITE: SAVAGE SUBDIVISION**

788 West 85 South,  
 Hyrum, Utah, 84319  
 US

PRODUCT	QTY	RATE	AMOUNT
<b>Crack Seal</b>	2,840	0.97	\$2,741.32
Crack seal 2840 linear feet of transverse and lateral pavement cracking greater than ¼" up to 1 ½". This process utilizes the highest quality crack sealant and established installation techniques to ensure durability and effectiveness.			
<b>Slurry Seal</b>	5,150	2.07	\$10,660.50
Apply Slurry Seal to 5150 square yards of pavement at a rate of 14 lbs/sy. This process will level and seal minor defects in the pavement, add a new wear course, and improve skid resistance.			
<b>Job Total</b>			<b>\$13,401.82</b>

**JOB SITE: MT. STERLING SUBDIVISION**

786 West 50 North,  
 Hyrum, Utah, 84319  
 US

PRODUCT	QTY	RATE	AMOUNT
<b>Crack Seal</b>	1,600	1.35	\$2,165.95
Crack seal 1600 linear feet of transverse and lateral pavement cracking greater than ¼" up to 1 ½". This process utilizes the highest quality crack sealant and established installation techniques to ensure durability and effectiveness.			
<b>Slurry Seal</b>	2,900	2.29	\$6,644.16
Apply Slurry Seal to 2900 square yards of pavement at a rate of 14 lbs/sy. This process will level and seal minor defects in the pavement, add a new wear course, and improve skid resistance.			
<b>Job Total</b>			<b>\$8,810.11</b>

**JOB SITE: CITY IMPROVEMENT STREETS**

800 Canyon View Drive,  
 Hyrum, Utah, 84319  
 US

PRODUCT	QTY	RATE	AMOUNT
<b>Crack Seal</b>	12,173	0.83	\$10,125.73
Crack seal 12173 linear feet of transverse and lateral pavement cracking greater than ¼" up to 1 ½". This process utilizes the highest quality crack sealant and established installation techniques to ensure durability and effectiveness.			
<b>Slurry Seal</b>	22,250	2	\$44,500.00
Apply Slurry Seal to 22250 square yards of pavement at a rate of 14 lbs/sy. This process will level and seal minor defects in the pavement, add a new wear course, and improve skid resistance.			
<b>Job Total</b>			<b>\$54,625.73</b>

Proposal Total	\$111,679.51
----------------	--------------

# Proposal Acceptance

Any adjustments to the original scope of work shall be committed and paid by purchaser as though a written change order were approved and signed by both parties.  
Andersen Asphalt proposes to furnish material and labor to perform the work outlined above.  
Payment is to be made (15) days after work is completed.  
The proposal is valid for (30) days from the date written above.

**Terms of Services.** Customer agrees to the Services to be provided and the Terms and Conditions as outlined in this proposal.



**Terms of Payment.** Customer agrees to pay the amount indicated above for the Services to be provided upon completion of the Services, within the agreed time period, without any deduction or set-off for any reason.



**Terms of Changes.** Customer agrees that upon signing, any changes to the Services outlined in this Proposal may result in additional charges.



Click To Enter Signature

Date  
07/14/2025

Full Name

Title

Email



**Morgan Pavement**  
 Remit to: PO Box 190  
 Clearfield, UT 84089  
 625 S. Main Street  
 Clearfield, UT 84015



Phone: (801) 544-5947  
 Fax: (801) 416-8061  
 MorganPavement.com

Mastic Asphalt Treatment-Excavation & Grading-Asphalt Paving-Patching-Sealcoat-Slurry-Crackseal-Striping-Consulting

<b>To:</b>	HYRUM CITY	<b>Contact:</b>	KADE MAUGHAN
<b>Address:</b>	83 WEST MAIN HYRUM, UT 84319	<b>Phone:</b>	(435) 757-4277
<b>Project Name:</b>	2025 Hyrum City Slurry	<b>Fax:</b>	
<b>Project Location:</b>	Roads Per Maps, Hyrum City, UT	<b>Bid Number:</b>	
		<b>Bid Date:</b>	7/16/2025

Line #	Item Description	Estimated Quantity	Unit	Unit Price	Total Price
	<b><u>Crack Seal Concrete Perimeters</u></b>	25,100.00	LF	\$0.5900	\$14,809.00
	• Blow Cracks Free Of Dirt And Debris Using Compressed Air				
	• Crack Seal Concrete Edge				
	<b><u>Slurry Seal Type II</u></b>	443,540.00	SF	\$0.1750	\$77,619.50
	• Clean Entire Surface Free Of Dirt And Debris				
	• Apply 1 Course Of Type II Slurry Seal				

**Total Bid Price: \$92,428.50**

**Notes:**

- **Pay Terms: 50% due at signing of contract and prior to scheduling, remaining 50 % due and payable on day of work completion.**  
**Initial \_\_\_\_\_**
- Any deviation from these specifications and/or terms shall be by written mutual agreement. Payment for extra work and allowances for omission shall be fixed in advance in writing on demand by either party. No verbal agreement or understanding shall be binding
- Temperature is a factor in the ability to apply certain asphalt products and obtain adhesion. In order for warranty to apply, temperatures must fall within certain parameters for that specific scope of work. Please call to verify the temperature parameters of the proposed work.
- Please turn off all sprinklers and remove obstructions( i.e. dumpsters or cars) from work site prior to performance of work. Morgan Industries will not be held liable for areas that are wet or blocked on the day that the crews arrive. If it is necessary to return to touch up areas so affected, there will be additional charges.
- Morgan Industries assumes no risk or liability of undisclosed or unforeseen conditions of the project site, including but not limited to hazardous waste, unstable or saturated subgrade, underground utilities, water table issues.
- Exclusions unless noted on scope of work: Bonds, fees, permits, material or compaction testing, traffic control and/or barricades, prime coat, soil sterilant, subgrade stabilization, concrete, sawcutting, earthwork, engineering, survey, construction staking, third party billing fees
- Morgan Industries will not guarantee drainage on grades with 1% or less slope or on overlays.
- Both Parties agree that Morgan Industries is not liable for any damage of underground piping, wiring, conduit which are not visible to crews on the property that could not be located by utility locator service. ( i.e. blue stakes)
- Price is valid for 30 days from date of proposal
- Due to the volatility of the oil industry, this bid may fluctuate with oil prices. Therefore this may adjust with any increase in oil/material prices.
- Morgan Industries reserves the right to use a sub-contractor on any scope of work.

**Payment Terms:**

Payment is due at completion of project without any retention being withheld, Invoices are subject to 2% interest per month beginning 30 days following the due date. In the event it becomes necessary for Morgan Industries to file suit to collect any money due, hereunder or for breach thereof, the owner agrees to pay in addition to the amount due, all costs of enforcement including reasonable attorney fees. In the event of dispute between Morgan Industries and Buyer, the parties agree to arbitration through the American Arbitration Association.

<p><b>ACCEPTED:</b></p> <p>The above prices, specifications and conditions are satisfactory and are hereby accepted.</p> <p><b>Buyer:</b> _____</p> <p><b>Signature:</b> _____</p> <p><b>Date of Acceptance:</b> _____</p>	<p><b>CONFIRMED:</b></p> <p><b>Morgan Pavement</b></p> <p><b>Authorized Signature:</b> _____</p> <p><b>Estimator:</b> Brandon Christensen        (801) 837-0916 bchristensen@morganpavement.com</p>
--	---