



PLANNING COMMISSION

Thursday, April 10, 2025 at 6:30 PM
Council Chambers, 60 West Main, Hyrum, Utah

AGENDA

Public notice is hereby given of a Hyrum Planning Commission to be held in the Council Chambers, 60 West Main, Hyrum, Utah at 6:30 PM, April 10, 2025. The proposed agenda is as follows:

1. **ROLL CALL**
2. **PLEDGE OF ALLEGIANCE**
3. **INVOCATION**
4. **APPROVAL OF MINUTES**
5. **AGENDA APPROVAL**
6. **PUBLIC HEARING**
 - A. To receive public comment in regards to a Conditional Use Permit for TimberHaus Designs located at 19 North 100 West for an artisan wood shop in the Commercial Zone (C-2).
 - B. To receive public comment in regards to a Conditional Use Permit for the Hit It Hard Gym, located at 220 North Center, for an indoor gym in the Light Manufacturing Zone (M-1) Application 25-012A.
 - C. To receive public comment in regards to an amendment to Hyrum City Code Title 17 Zoning, Chapter 70 Fence Regulations to establish fence and wall types and height standards.
 - D. To receive public comment in regard to proposed changes are to Section 7 of the Construction Standards – Hyrum City General Requirements and Specifications for Electrical Installations. This update will add information regarding the requirements for interconnection of solar production and the City's system.
 - E. To receive public comment in regards to standards and specifications for all public landscaping to be used in all city-owned parks and facilities.
7. **SCHEDULED DELEGATIONS**
 - A. Cal Larson, TimberHaus Designs - To request approval of Conditional Use Permit for TimberHaus Designs located at 19 North 100 West for an artisan wood shop in the commercial Zone (C-2).

- B. Brad Lee, Hit It Hard Gym - To request approval of a Conditional Use Permit for the Hit It Hard Gym located at 220 North Center for an indoor gym in the Light Manufacturing Zone (M-1).

8. OTHER BUSINESS

- A. Discussion of an amendment to Hyrum City Code Title 17 Zoning, Chapter 70 Fence Regulations to establish fence and wall types and height standards.
- B. Discussion of an update to Section 7 of the Construction Standards – Hyrum City General Requirements and Specifications for Electrical Installations. This update will add information regarding the requirements for interconnection of solar production and the City's system.
- C. Discussion of a set of design standards and specifications for all public landscaping to be used in all city owned parks and facilities. These drawings are to bring consistency and quality to all installation jobs within any land that is to be built by developers to be turned over to the city as well as all city-initiated improvements. This is not intended to be used on privately maintained irrigation systems.

9. ADJOURNMENT

Shara Toone
Secretary

Commission Members may participate in the meeting via telephonic communication. If a Commission Member does participate via telephonic communication, the Commission Member will be on speakerphone. The speakerphone will be amplified so that the other Commission Members and all other persons present in the Commission Chambers will be able to hear all discussions. In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify Hyrum City Planning Commission at 435-245-6033 at least three working days before the meeting.

CERTIFICATE OF POSTING - The undersigned, duly appointed and acting City Secretary of Hyrum City, Utah, does hereby certify that a copy of the foregoing Notice was posted on the Utah Public Notice Website and Hyrum City's Website, provided to each member of the governing body, and posted at the City Offices, 60 West Main, Hyrum, Utah, this 7th day of April, 2025. Shara Toone, Secretary



PLANNING COMMISSION STAFF EVALUATION – FIRST REVIEW

APPLICATION NO: 25-005A

APPLICANT: Cal Larson / TimberHaus Designs

PROPERTY OWNER: Meldan Investments LLC

PROPERTY ADDRESS: 19 North 100 West

PARCEL NUMBER: 01-044-0017

PARCEL AREA: 0.47 Acres

ZONE: Commercial Zone C-2

DATE: April 7, 2025

PLANNING COMMISSION MEETING:	April 10, 2025
PLANNING COMMISSION ROLE:	Land use Authority
APPLICATION TYPE:	Conditional Use

NATURE OF REQUEST: Light Manufacturing

CURRENT ZONING DISTRICT: The C-2 Downtown Mixed-Use Zone is designed to preserve the mixed-use nature and feel of downtown Hyrum, providing for office, commercial, and residential uses within a mixed-use setting. A major objective of the C-2 Downtown Mixed-Use Zone is to create aesthetically pleasing streetscapes with landscaping that buffers sidewalks from major vehicular traffic ways, landscape features, recreational amenities, and social gathering areas that promote a walkable community.

OVERVIEW: The applicant TimberHaus Designs, located at 19 North 100 West, is an artisan wood shop that offers custom fabrication and installation of handcrafted outdoor pergolas, barn doors, furniture, and various other architectural mill work. The operation is considerably a light manufacturing use and light manufacturing uses may be permitted as a conditional use in the commercial C-2 zone. Currently, the business is operating without the required conditional use permit or required business license.

UTILITIES: Existing Power, Sewer, Water, Irrigation.

STAFF COMMENTS:

Planning and Zoning:

1. Applicant must obtain a business license. HCC 5.04.020 License Required.
2. One (1) parking space for each employee shall be available for manufacturing, processing or repair uses. HCC 17.45.200 Off-Street Parking.
3. All land within the C-2 Downtown Mixed-Use Zone shall be permanently landscaped with trees, shrubs, lawn, or ground cover and maintained in accordance with good landscaping practices. HCC 17.45.110 Landscaping.

Engineering:

1. No comments.

Fire Department:

1. Needs a fire inspection to make sure they are complying with IFC 2021.
2. May require a dust collection system as per IFC 2021, Chapter 22, 2803.2

Parks:

1. No comments.

Power Department:

1. No comments.

Water & Roads:

1. No comments.

Water Reclamation:

1. No comments.

PLANNING COMMISSION RESPONSIBILITY:

1. The Planning Commission shall consider the following: A. That the use will not be detrimental to the health, safety or general welfare of persons residing or working in the vicinity, or injurious to property or improvements in the vicinity. B. That the proposed use will comply with the regulations of Conditional Uses as may be applicable. C. That the proposed use is in harmony with the intent of the zone in which it is located. D. That the infrastructure will support the new facility. E. In setting conditions, the Planning Commission shall show relationship to the broad area of concern to which each condition applies. These areas include Traffic; Noise; Odor; Pollution; Hours of operation; Design criteria; Lighting; Visual blight; and Safety conditions not related to one of these broad areas that may not be imposed.
2. The Planning Commission may approve a Conditional Use if reasonable conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed use in accordance with applicable standards.
3. The Planning Commission may deny a Conditional Use if the reasonably anticipated detrimental effects of a proposed Conditional Use cannot be mitigated by the proposal or the imposition of reasonable conditions to achieve compliance with applicable standards.

STAFF RECOMMENDATION:

1. Staff recommends the Planning Commission have a thorough discussion and include in their motion staff comments and any additional specifying conditions and requirements.

STIPULATIONS:

1. The applicant will obtain a Hyrum City Business License on or before April 17, 2025.
2. The applicant will comply with the staff comments, and any additional specifying conditions and requirements by the Planning Commission.

FINDINGS OF FACT:

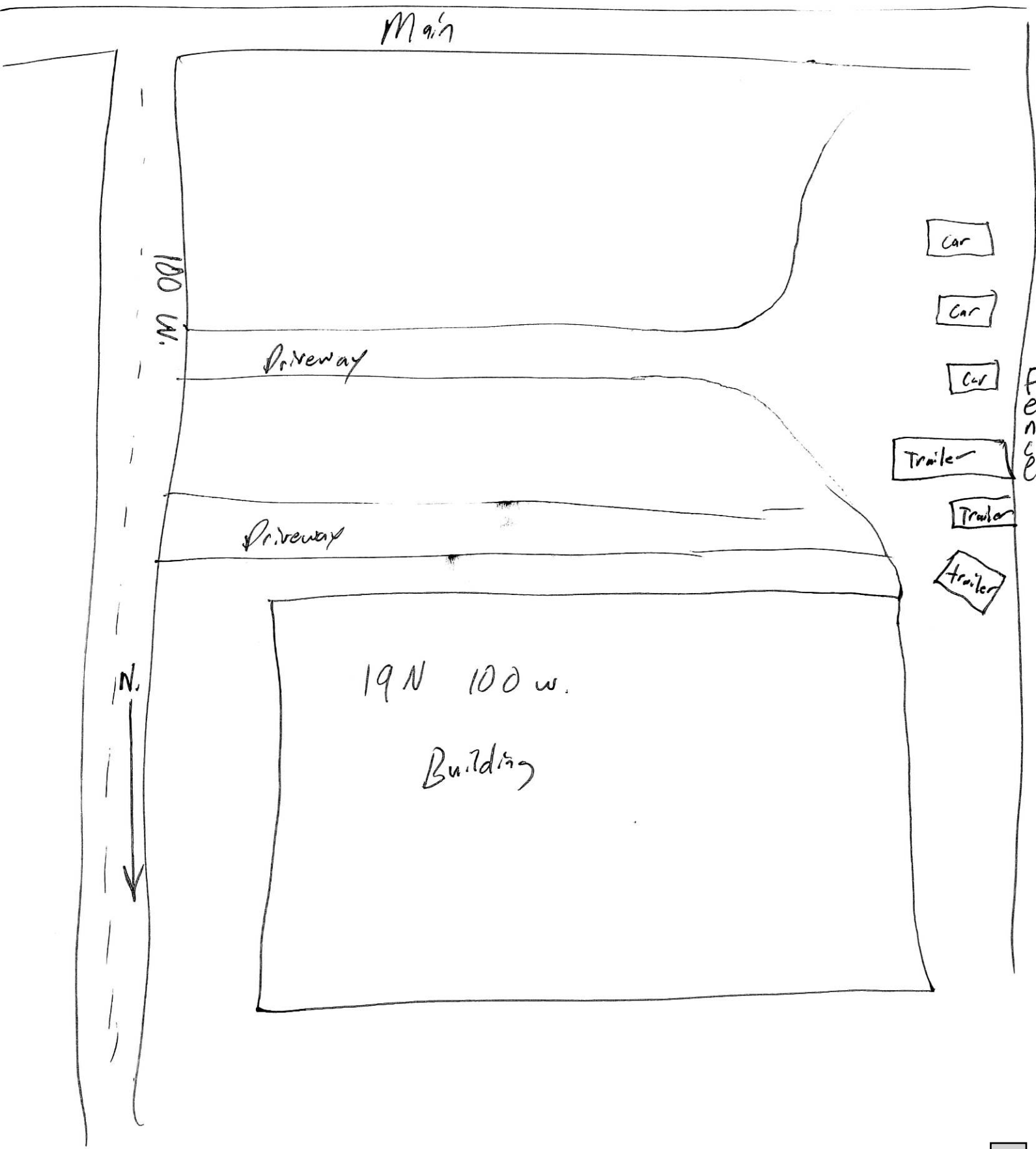
1. The operation is a Light Manufacturing land use.
2. Light Manufacturing in a conditional use in the C-2 zone.

ATTACHMENTS:

1. Aerial Image
2. Applicant Submitted Site Plan

Cache County Parcel and Zoning Viewer – Aerial Image







PLANNING COMMISSION

STAFF EVALUATION – FIRST REVIEW

APPLICATION NO: 25-012A

APPLICANT: Brad Lee / Hit It Hard Gym

PROPERTY OWNER: Sunray Properties LLC

PROPERTY ADDRESS: 220 North Center Street

PARCEL NUMBER: 01-041-0002

PARCEL AREA: 5.25 Acres

ZONE: Light Manufacturing Zone M-1

DATE: April 7, 2025

PLANNING COMMISSION MEETING:	April 10, 2025
PLANNING COMMISSION ROLE:	Land use Authority
APPLICATION TYPE:	Conditional Use

NATURE OF REQUEST: Health Club

ZONING DISTRICT: The purpose of this zone is to provide an area where light manufacturing can reside in close proximity to residences without being detrimental to the quality of life of the residents. The manufacturing facilities should emit a minimum of noise, dust, smoke or odor. Design and landscaping standards may be imposed on businesses proposed for this zone.

OVERVIEW: The applicant is requesting a Conditional Use Permit to operate an indoor gym located at 220 North Center Street in Suite #11. There are 120 parking spaces on the site with the area on the site to expand parking if needed. The applicant is anticipating 24 hours of operation Sunday through Saturday. A recent conditional use permit for a Health Club at this location was approved for hours of operation from 5:00 AM to 12:00 AM with closure between 12:00 AM to 5:00 AM in response to neighborhood concerns.

UTILITIES: Existing Power, Sewer, Water, Irrigation.

STAFF COMMENTS:

Planning and Zoning:

1. Any tenant improvements made to the interior of the Suite #11 will need to be submitted to the Cache County for a building permit.
2. HCC 17.48.060 Off-Street Parking – Specific Requirements. Commercial, recreation, and amusement uses in the M-1 Zone are required to provide one (1) parking space for every two hundred and fifty (250) square feet in use where business is transacted (does not include restrooms, office, office areas, etc.) The approximate play area for the pickleball is 4000 square feet and will require a minimum of 16 parking stalls. This approximation does not include any potential tournament type events.
3. A sign permit will be required for any advertisement and any lighting will need to be indirect lighting and in no case shall direct rays of light be permitted to penetrate a

property in a residential zone. This can be achieved by install a wall sign with indirect lighting above such as a good neck type lighting on the sign. HHC 17.72.040 Illumination.

4. Staff recommends the hours of operation be conducted as the other Health Club on the premises from 5:00 AM to 12:00 AM with closure between 12:00 AM to 5:00 AM.

Engineering:

1. No comments.

Fire Department:

1. If they plan to frame in any bathrooms, locker rooms, or offices they will need to add sprinklers, strobes and detectors in those rooms.
2. If they add 4 or more sprinkler heads, then we will need to have a peer review done to make sure we have enough water flow for the system.

Parks:

1. No comments.

Power Department:

1. No comments.

Water & Roads:

1. No comments.

Water Reclamation:

1. No comments.

PLANNING COMMISSION RESPONSIBILITY:

1. The Planning Commission shall consider the following: A. That the use will not be detrimental to the health, safety or general welfare of persons residing or working in the vicinity, or injurious to property or improvements in the vicinity. B. That the proposed use will comply with the regulations of Conditional Uses as may be applicable. C. That the proposed use is in harmony with the intent of the zone in which it is located. D. That the infrastructure will support the new facility. E. In setting conditions, the Planning Commission shall show relationship to the broad area of concern to which each condition applies. These areas include Traffic; Noise; Odor; Pollution; Hours of operation; Design criteria; Lighting; Visual blight; and Safety conditions not related to one of these broad areas that may not be imposed.
2. The Planning Commission may approve a Conditional Use if reasonable conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed use in accordance with applicable standards.
3. The Planning Commission may deny a Conditional Use if the reasonably anticipated detrimental effects of a proposed Conditional Use cannot be mitigated by the proposal or the imposition of reasonable conditions to achieve compliance with applicable standards.

STAFF RECOMMENDATION:

1. Staff recommends the Planning Commission have a thorough discussion and include in their motion staff comments and any additional specifying conditions and requirements.

STIPULATIONS:

1. The applicant will comply with the staff comments, and any additional specifying conditions and requirements by the Planning Commission.

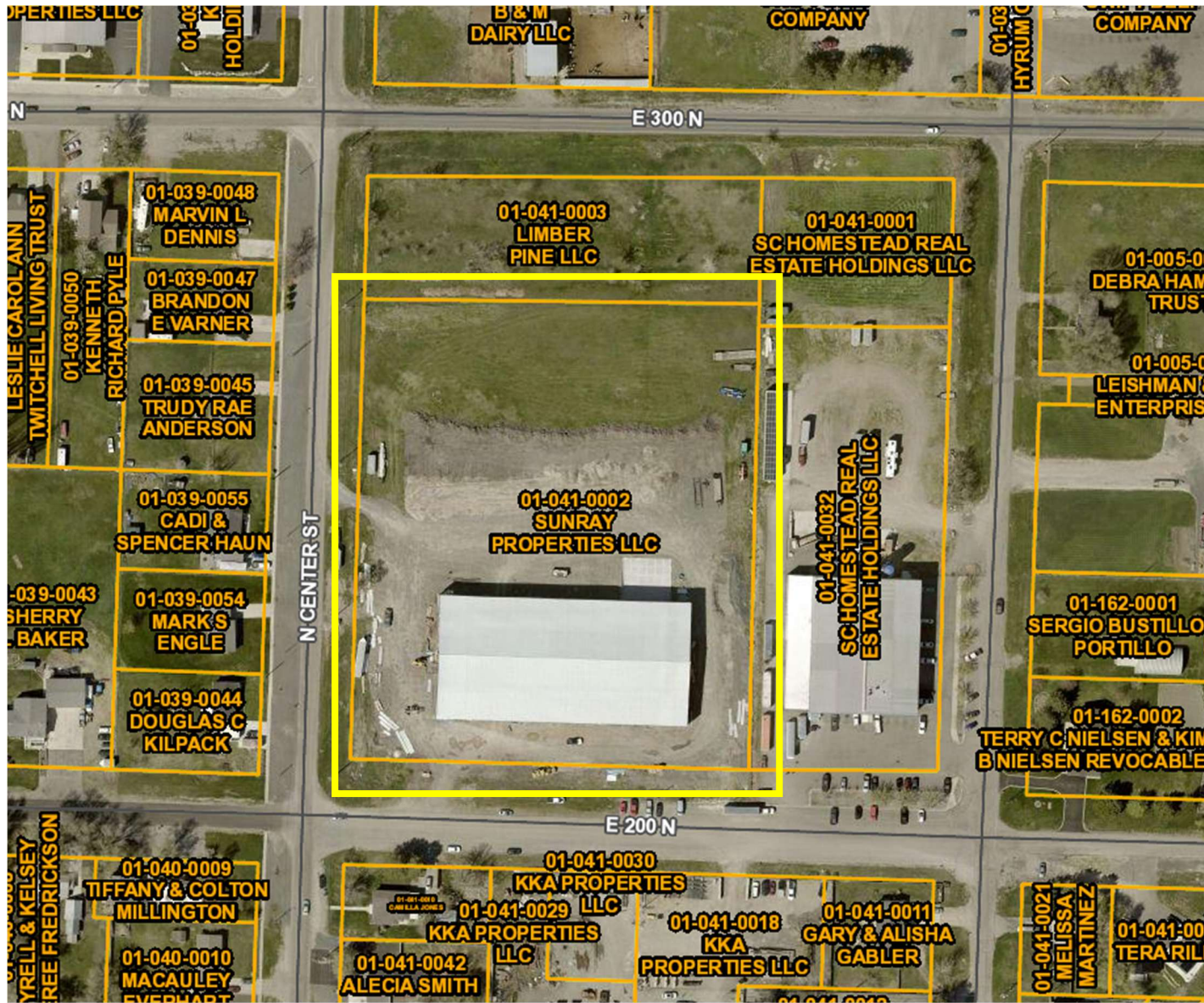
FINDINGS OF FACT:

1. The property is located in the Light Manufacturing Zone M-1.
2. Health Club is a Conditional Use in the Light Manufacturing Zone M-1.

ATTACHMENTS:

1. Aerial Image
2. Applicant Letter of Intent

Cache County Parcel and Zoning Viewer – Aerial Map





03/04/2025

Hyrum City Planning and Zoning Commission

To Whom it May Concern:

It is my intention as Hit it Hard LLC to open and operate a free weight, exercise equipment and cardio gym at 220 N. Center St. #11, Hyrum, Utah 84319 and, as such, am requesting a conditional use permit as a Health Club as defined by Hyrum City definitions.

In consideration of the Hyrum code 17.84.060, please review the following information and purpose as outlined in response to listed items A-F, and 1-9.

- A. The use of a gym facility will increase the health and wellness of all members of the Hyrum community. It offers a close and inviting building to use year-round and also gives people in Hyrum the opportunity to work out here instead of driving to Providence, Logan, etc. I also plan on doing community challenges, competitions, etc. to try to help people live healthier lives.
- B. The use of this facility will not be detrimental to the health or safety or general welfare of any nearby residents or workers. It is an enclosed facility. The parking lot is big, with plenty of parking for those attending the gym. There is insulation on all walls to muffle the noise of the members working out. The outside of the building is aesthetically pleasing and will not have any significant changes made to it. I believe the only thing I will do to the outside of the building is to put up the gym's name sign and security cameras, as well as a couple of parking signs near the building.
- C. The proposed use of this TI is solely for a gym and, as such, complies with the zoning conditional use of Health Clubs as defined by Hyrum City.
- D. This location is in a great location for residents, high school aged students, and visitors to make use of the gym. It is close to two High Schools, a middle school, and a major road out of Hyrum. It is in harmony with the intent of the zone in which it is located.

- E. The infrastructure will easily support this facility. The parking lot and building itself have been created with open space and 120 parking spaces. The lot itself is 5.25 acres with 2.00 acres undeveloped for additional parking if needed.
- F. Please see the following for 1 through 9.
1. There are two entrances and exits on the east and south of this property (on the side where the gym will be). The driveways have been extended to allow for extra cars entering and exiting. There are 120 parking spaces on site completed with room for more parking as needed.
 2. The building that will house the gym is well insulated and the doors and windows are adequate and meet code.
 3. There will not be any odor from activities from the gym.
 4. There will not be any pollution from any activities at the gym.
 5. The Hit it Hard gym anticipates 24 hour access, Monday through Saturday. (I plan for the gym to be closed on Sundays)
 6. The Hit it Hard gym will operate indoors. The layout of the weights and equipment inside is yet to be determined.
 7. The lighting on the exterior of the building at 220 North Center St. will not be impacted. I will be applying for a sign for the exterior that will be a low-light display with either backlighting or lighted by existing lights on the outside of the building.
 8. There will be a sign on the exterior for Hit it Hard gym, but no other changes to the exterior of the building or landscaping.
 9. All safety conditions are met and complied with.

If you have any further questions or concerns, please feel free to contact Brad Lee at 435-994-5575.

Thank you,



Brad Lee

Hit it Hard LLC



PLANNING COMMISSION

STAFF EVALUATION – FIRST REVIEW

APPLICATION NO: 25-015A
APPLICANT: Hyrum City
PROPERTY OWNER: NA
PROPERTY ADDRESS: NA
PARCEL NUMBER: NA
PARCEL AREA: NA
ZONE: NA
DATE: April 7, 2025

PLANNING COMMISSION MEETING: April 10, 2025
PLANNING COMMISSION ROLE: Recommending Body to City Council
APPLICATION TYPE: Amend Hyrum City Code – Legislative

NATURE OF REQUEST: Petition to amend Hyrum City Code Title 17 Zoning, Chapter 70 Fence Regulations to establish fence and wall types and height standards.

OVERVIEW: Staff received input from a Hyrum City citizen who expressed concern with retaining walls and the unregulated fence heights in the fence ordinance, specifically in residential neighborhoods. Staff has reviewed and considered the citizens input, and staff responded by amending and including language in the fence ordinance that will better serve fencing in residential neighborhoods.

STAFF COMMENTS:

Planning and Zoning:

1. Support the amendment for fences and retaining walls may be installed or allowed as limited or exempted for fence and wall types and height standards.
2. International Residential Code R105.2, Permits shall not be required for retaining walls that are not over 4 feet (1219 mm) in height measured from the bottom of the footing to the top of the wall, unless supporting a surcharge.
3. Corner and Interior Lot Limits

Cache County Building Department:

1. Permits shall not be required for retaining walls retaining less than 4 feet (1219mm) of unbalanced fill, unless supporting a surcharge or requiring design per Section R404.4.

Engineering:

1. No comments.

Fire Department:

1. No comments.

Parks:

1. Supports 7' height regulation.

Power Department:

1. Include an exemption for public infrastructure protection and security fences.

Water & Roads:

1. Include an exemption for public infrastructure protection and security fences.

Water Reclamation:

1. No comments.

PLANNING COMMISSION RESPONSIBILITY:

1. The Planning Commission hold the required public hearing.
2. The Planning Commission have a thorough discussion on the draft language, and recommends approval, approval with modification, disapproval, or request additional information to make a recommendation to the City Council.

STAFF RECOMMENDATIONS:

1. Support the proposed amendment.
2. If needed, the Planning Commission continue to another meeting to finalize details.

STIPULATIONS:

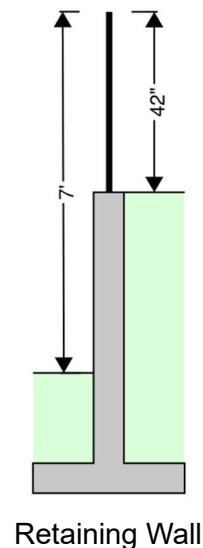
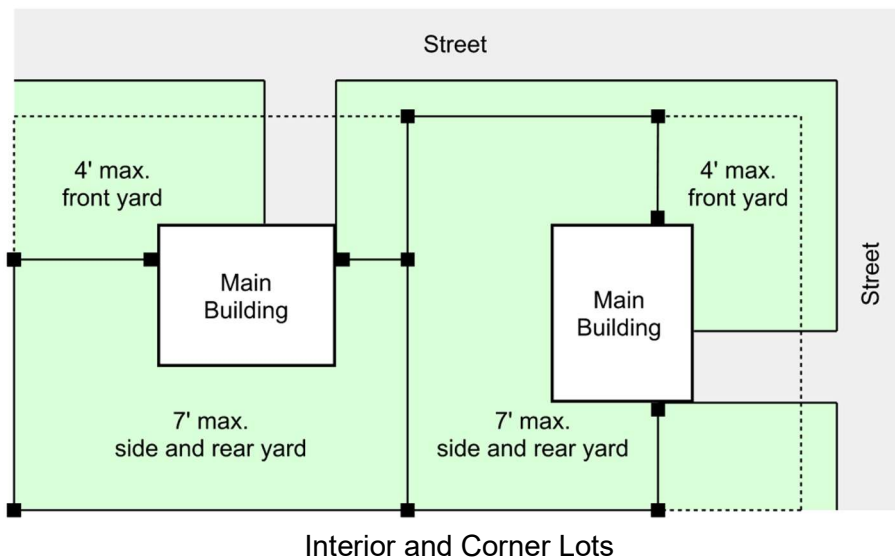
1. This amendment is initiated by a Hyrum City Citizen and submitted by Hyrum City.

FINDINGS OF FACT:

1. The Public Hearing was noticed per Utah Code and City Code.
2. A legislative body may not make any amendment authorized by this section unless the legislative body first submits the amendment to the planning commission for the planning commission's recommendation.

ATTACHMENTS:

1. Draft Amendment.
2. Informative exhibit for interior and corner lot fence heights and retaining wall:



17.70.010 Definitions

The following terms used in this title shall have the respective meanings hereinafter set forth.

Fence - A tangible barrier or obstruction, with the purpose, intent, or effect of obstructing passage or view across an area constructed of materials that includes but is not limited to; wooden posts, wire, iron, aluminum, vinyl, shrubs, bushes, hedges, walls, concrete wall without surcharge, chain-link, rails, and any other material used as a boundary, means of protection, privacy screening, enclosure, or confinement.

Opacity - The measure of which an object restricts clear vision or passage of light.

Opaque Fence - Any fence, including any gates, that obstructs light or direct vision through a significant portion of the fence including posts. Examples include vinyl, wood, slats, concrete, brick, and blocks. Multiple fences, including plantings, that in a combined effect obstruct light or vision may be considered an opaque fence.

Public Trail - A corridor of property designated by the City for the purposes of non-motorized transportation, such as hiking, walking, jogging, running, horseback riding, cycling, or other similar uses, including any future trails identified in an official document of the City.

Retaining Wall - Any manmade structure built out of rock, block, wood, or other similar material to hold back soil or earth allowing for different levels of ground to be created or maintained.

Transparent/Open Fences - A fence, including any gates, that permits direct vision through any one section/panel fence including post. Examples include chain link, hog wire, metal rod, and some post and rail fences. Transparent fences shall have a maximum opacity of twenty-five (25) percent.

HISTORY

Approved by Ord. 24-12 on 11/21/2024

17.70.020 General Requirements

Fences and Retaining Walls may be installed or allowed as limited or exempted herein:

A. Fence Permit and Building Permit Required:

1. The Zoning Administrator or designee shall have the authority to review a Fence Permit application and grant zoning clearances for all fences and retaining walls.
2. Any fence over three feet (3') in height shall require a Fence Permit, if over seven feet (7') in height shall require an accompanying Building Permit and shall be properly engineered with the plans stamped by a certified engineer.
3. Any retaining wall over four feet (4') in height as measured from the bottom of the footing to the top of the wall or supporting a surcharge shall require a Building Permit and shall be properly engineered with plans stamped by a certified engineer.
4. Any fence installed on top of a retaining wall shall require a Building Permit and shall be properly engineered with the plans stamped by a certified engineer.

5. A Fence Permit shall be valid for one (1) year from the day it is issued.
6. The applicant may appeal a denied fence permit as defined in HCC 17.16 Appeals.
7. Any new fence or the reconstruction of an existing fence is subject to the requirements of this Chapter.

B. Fences on Interior Lots:

1. In the required front yard setback, fences shall be limited to four feet (4') in height. A property owner may install a fence limited to seven feet (7') in height in the required front yard abutting a common property line that is the back yard of an adjoining property.
2. In the required side and rear yard setback, and that portion between the front plane of the main building and the front yard setback, fences shall be limited to seven feet (7') in height.

C. Fences on Corner Lots:

1. In the required front yard setback, fences shall be limited to four feet (4') in height. A property owner may install a fence limited to seven feet (7') in height in the required front yard setback abutting a common property line that is the back yard of an adjoining property.
2. In the required side and rear yard setbacks, and that portion between the front plan of the main building and the front yard setback, fences shall be limited to seven feet (7') in height. The street facing side and rear yards which back onto front yards of adjoining lots, fences shall be limited to seven feet (7') in height.

D. Public Utility and Irrigation Access and Protections:

1. All public utility meters and structures shall be accessible from the public right of way.
2. Water meters and irrigation shutoff valves require a minimum of three feet (3') by six feet (6') unobstructed maintenance area.
3. Power pedestals and transformers require a minimum of three feet (3') unobstructed maintenance zone.
4. Any fence or retaining wall along any irrigation ditch, canal, weir, headgate, or other irrigation structure shall be approved by the water master of the respective irrigation company.

E. Fences and Retaining Walls are further limited as follows:

1. Fences shall be installed one foot (1') behind the sidewalk or the anticipated location of a sidewalk when a sidewalk is not present.
2. Fences shall be contained within a property boundary.
3. Fence height shall be measured from the lowest surface of the land.
4. Fences installed adjacent to a street shall have the finished side facing the street.
5. Fences shall be constructed according to local building codes and consist of durable industry standard materials include cedar, douglas fir, redwood, or pressure-treated wood products; Vinyl (Polyvinyl chloride); natural boulder,

rock or stone; cast in place or precast concrete; wrought iron, welded wire mesh or galvanized chain link.

6. Fences that shall not be permitted include stacked refuse or discarded debris, manufactured wood pallets, chipboard, particle board, or plywood.
7. Where a fence is installed on top of a retaining wall the combined retaining wall and fence shall be limited to seven feet (7') in height, measured from the lower side of the retaining wall, but nothing herein contained shall be construed to restrict the fence on top of retaining wall to be less than forty-two inches (42") in height measured from the top of the land on the side of the retaining wall having the highest ground elevation.
8. Gates in rear or side yards shall be subject to driveway distance requirements in respect to distances from property lines and road intersections.
9. Gates that adjoin the public right of way or public utility easements shall open inwards towards the private property.
10. Gates in rear yards shall provide a minimum width of four feet (4') wide for emergency access.

F. Exemptions:

1. Fences may be approved by the Zoning Administrator or designee for the following conditions:
 - a. Protect, secure or screen site construction with an active demolition permit, building permit, special event permit or other similar type of permit.
 - b. Protect, secure or screen an attractive nuisance or unsafe property.
 - c. Protect, secure or screen a public utility or facility (i.e. electrical substations, park facilities, public works facilities, solid waste facilities, water tanks, water treatment plants, etc.).
2. The City Council may grant an exception through a conditional or permitted site plan approval surrounding commercial or manufacturing uses, schools, swimming pools, basketball and tennis courts, or where the normal use or level of protection requires a greater fence height and fence type for safety or other reasons.

~~A.—A zoning clearance is required to build a fence:~~

- ~~1.—The Zoning Administrator, or their designee, shall have the authority to review applications and grant permits for fences:~~
- ~~2.—A fence permit shall be valid for one (1) year from the day it is issued:~~
- ~~3.—The applicant may appeal a denied permit as defined in HCC 17.16 Appeals:~~
- ~~4.—Any new fence or the reconstruction of an existing fence is subject to the requirements of this Section:~~

~~B.—All utility meters must be readily accessible in an unfenced area of the front or side yard including the following restrictions:~~

- 1.—Utilities not owned by the City are subject to this requirement.
 - 2.—Water or irrigation meters not located within the park strip. Water and irrigation meters are required to have a three (3) foot wide by six (6) foot long work zone adjacent to the meter barrel that is parallel to the sidewalk.
 - 3.—Temporary meters for construction or short-term purposes.
 - 4.—Gates do not qualify for an accessible, unfenced area.
- G.—Fence heights are subject to building code requirements of the current building code accepted by State Code.
- D.—Front Yards: No fence shall be erected in any front yard setback area to a height in excess of four feet (4') and shall be of transparent construction within twenty (20) feet of a driveway;
- 1.—Lots fronting on two city streets shall meet the front yard requirements along both frontages. Fences along a street frontage that is not the front of the house may be taller than four (4) feet where it does not conflict with sight restrictions listed in the Hyrum City Code.
 - 2.—Where a lot has no vehicular access adjacent to a street as restricted by plat or deed, the City may deem this as a rear yard. Fences along a frontage that is not restricted may still be subject to the front yard requirements.
 - 3.—Where vertical utility features such as pedestals and transformers are installed, the fence is not allowed to be constructed within three (3) feet of the base of the feature.
- E.—Rear and side yards: No fence shall be erected or maintained in any side or rear yard to a height in excess of seven feet (7') without a building permit and shall be subject to the limitations identified herein for fences bordering Public Trails, corner lots, and adjacent to streets.
- F.—Under no circumstances shall a fence, structure, or landscaping element interfere with property address identification. Landscaping elements exclude varieties of trees approved by the Zoning Administrator. Any conflicts between this Chapter and other portions or provisions of the HCC shall be governed by the more restrictive or limiting provision.
- G.—The height of the fence shall be measured from the lowest adjacent ground.
Example: a fence on top of a retaining wall.
- H.—Fencing types and materials may be combined so long as they do not exceed four feet (4') in height or exceed the transparency requirements.
- I.—Fences installed adjacent to a street shall have the finished side facing the street. All gates that adjoin public property or public easements shall open inward toward the property owner's yard.

- ~~J.—Fences shall not be built within one foot (1) of a sidewalk or the anticipated location of a future sidewalk.~~
- ~~K.—All rear yards shall provide gate access for emergency purposes, which access shall be at least four feet wide.~~
- ~~L.—Gates in rear or side yards shall be subject to driveway distance requirements in respect to distances from property lines and road intersections.~~

HISTORY

Approved by Ord. [24-12](#) on 11/21/2024

17.70.030 Corner Lots And Clear View Triangles

A clear view triangle at all intersections shall be kept clear of obstructions significantly limiting the sight of drivers. This triangle shall be measured having two legs of forty feet and the area contained between them, measured from the intersection of the right-of-way lines or the projection of the right of way lines as determined by the City Engineer.

- A. Fences or other objects in excess of four feet (4') shall not be placed on any corner lot within a clear view triangle.
- B. Landscaping including berms, plantings and trees, except trees pruned appropriately to permit automobile drivers an unobstructed view are also restricted in this area. The lowest
- C. limb or foliage shall not obstruct view under eight (8) feet as measured from the adjacent ground or the roadway, whichever is higher in elevation.
- D. For driveways and fences along city trails, this triangle may be reduced to a distance of twenty (20) feet back from the intersection of driveway and sidewalk, or driveway and property line where no sidewalk exists.

HISTORY

Approved by Ord. [24-12](#) on 11/21/2024



MEMORANDUM

TO: Planning Commission

FROM: Matt Holmes, City Engineer

SUBJECT: Public Hearing – Construction Standards Update – Solar (Power Department)

DATE: March 31, 2025

PLANNING COMMISSION AGENDA:

April 10, 2025

OVERVIEW:

The Power and Light Department has created an update to Section 7 of the Construction Standards – Hyrum City General Requirements and Specifications for Electrical Installations. This update will add will add information regarding the requirements for interconnection of solar production and the City's system.

ATTACHMENTS:

1. Draft Resolution
2. Draft Specifications

ORDINANCE 25-xx

WHEREAS, on January 6, 1994 , the Hyrum City Council passed and posted an ordinance adopting the "Hyrum City Municipal Code", a recodification of municipal ordinances encompassing the "Revised Ordinances of Hyrum City" and ordinances adopted through July 15, 1993; and

WHEREAS , Title 13 of the Hyrum City Municipal Code sets forth regulations governing municipal utility services, including electrical power; and

WHEREAS, Chapter 13. 16 is the Electrical Power System that gives the provisions for electrical code, systems , equipment, standards, and fees; and

WHEREAS , the Hyrum City Electrical Department had received numerous calls from citizens looking at alternate power sources, including generation of solar power from private residences; and

WHEREAS , the City has interest and sees a need for green power which solar power provides and it also promotes clean power; and

WHEREAS, the City Council has determined there is a need to amend Section 13. 16. 600 Feed-In Tariff Policy to allow Hyrum City's customers to enter into an agreements with solar developers for the installation of a solar system where the energy output will go directly to Hyrum City' s utility grid and the owner will receive a financial credit towards his/her electric bill.

NOW, THEREFORE, the Hyrum City Council hereby adopts, passes, and publishes the following:

AN ORDINANCE AMENDING SECTION 13.16. 600 FEED-IN TARIFF TO TITLE 16 OF THE HYRUM CITY MUNICIPAL CODE TO AMEND THE REQUIREMENTS AND CONDITIONS THAT ALLOW AN ELECTRIC UTILITY CUSTOMER TO INSTALL, MAINTAIN, AND GENERATE SOLAR POWER AND FOR HYRUM CITY TO PURCHASE THE SOLAR POWER.

BE IT ORDAINED by the City Council of Hyrum City, Cache County, State of Utah, as follows:

1. Section 13.16.600 of Title 13 of the Hyrum City Municipal Code is hereby added as follows:

13.16. 600 Feed-In Tariff.

The basis of the Hyrum City Solar Power Purchase Program ("S3P") is a fixed-price, 5-year Power Purchase Agreement (PPA) between Hyrum City Utility ("Utility") and Utility's retail customers for solar energy generation. The customer may enter into agreements with solar developers for the installation of the system, which also may include financing, lease-purchase and rooftop property leasing .

~~The energy output of the solar system goes directly to Utility electric grid ("in front of the meter") and system owners are paid based on their PPA. The agreement does not alter the customer's electric bill. The PPAs also convey the Renewable Energy Credits (RECs) the right to claim the renewable energy attributes of a project to Utility to be used toward compliance with the Utah Renewable Energy Standard.~~

Energy output of the solar system goes directly to customer loads. If output is greater than customer loads, excess power is metered separately and fed into Utility.

A. Eligibility and Program Structure Any premise served by Utility is eligible for this on-site solar program. Projects will be accepted in two classes:

1. Class-1 Residential installed capacity up to 10 kW Direct Current (D.C.)

2. Class-2 Commercial installed capacity up to 50 kW Direct Current (D.C.)

B. Program Stipulations Projects will be located on the premise of Utility's customers.

~~1. Grid interconnection "in front of the customer meter" (achieved by actual point of interconnection or billing adjustment)~~

Interconnection of Solar Generation shall be on the customer's side of the utility meter

C. Payments are made for metered production using
"received" reading from Bi-Directional utility meter:

1. Two-tier, 5-year, fixed-price standard offer:
 - (A.) Class-I Residential, rate set by Resolution;
 - (B.) Class-2 Commercial, rate set by Resolution;
2. Class-I Residential projects must be operational in 6 months from time of acceptance of the PPA, Class-2 Commercial projects must be operational in 12 months.
3. Utility retains RECs
- D. Applications will be accepted on a first-come, first-served basis up to the capacity limit of the circuit or the distribution system as determined by the Utility. The Utility may offer customers the ability to pay for the cost to increase the circuit or distribution capacity limit.
- E. Insurance requirements are delineated in the Utility's Interconnection Standards.
- F. A complete submittal will include:
 1. Completed Application form and checklist
 2. Site/ Facility layout diagram
 3. Facility one-line diagram
 4. Scanned copy of all pages requiring signatures
- G. An applicant must complete the following steps in order to remain qualified for the S3P before receiving any payment for energy produced:
 1. Submit a complete application with all required documents and payment for all applicable fees and deposits;
 2. Be accepted by Utility for assigned capacity and submit program application fee of (for a production meter and an engineer review plan) plus

additional money per kW installed capacity (these rates and fees are set by resolution) ;

3. Receive engineering approval of the project plan;
4. Sign and execute the PPA;
5. Meet payment obligations for any Utility's electrical distribution system upgrades that may be required to accommodate the PV system, if any;
6. Satisfy all applicable permitting, building code, planning and land use requirements;
7. Pass Utility' s system inspection and be interconnected to the distribution system;
8. Complete the project by the required completion date based on the time of signing of the PPA;
9. Provide documentation of final system cost and capacity to Utility
10. Please see separate attachments at www.hyrumcity.org under the heading 'Solar Power Purchase Program" :
 - (A.) Application (Project Data, Site Control, and Project Team forms)
 - (B.) Draft Standard Offer Power Purchase Agreement
 - (C.) ~~Draft Interconnection Agreement~~
[Hyrum City Power Dept. Solar Standards](#)
 - (D.) Program Sequence Summary
 - (E.) Note: Sample agreements are subject to change. Please check the website for updates from time-to-time.

2 . RE PEALER. All ordinances, resolutions, and zoning maps of the city, or parts thereof inconsistent herewith, are hereby repealed, but only to the extent of such inconsistency. This repealer shall not be construed as reviving any law, order, resolution or ordinance or part thereof.

3 . DECLARATION OF SEVERABILITY . Should any provision, clause, or paragraph of this ordinance or the application

thereof to any person or circumstance be declared by a court of competent jurisdiction to be invalid, in whole or in part, such invalidity shall not affect the other provisions or applications of this ordinance or the Hyrum City Municipal Code to which these amendments apply. The valid part of any provision, clause, or paragraph of this ordinance shall be given independence from the invalid provisions or applications and to this end the parts, sections, and subsections of this ordinance, together with the regulations contained therein, are hereby declared to be severable.

4 . EFFECTIVE DATE. This ordinance shall become effective upon posting three (3) copies in three (3) public places within Hyrum City.

5 . ADOPTION . This ordinance is hereby adopted and passed by the Hyrum City Council this xxth day of xxx, 2025.

HYRUM CITY

□ **Building Permit**

Obtain building permit and complete plan submittal checklist with Hyrum City, 60 West Main Street, Hyrum, UT 84319, (435) 245-6033

□ **Information for Installers**

Installers MUST be North American Board Certified Energy Practitioners (NABCEP) Certified. Installers must also provide proof of a Utah business license. Applications without these credentials will not be approved.

□ **Solar Information Checklist**

Complete the Hyrum City Solar Information Checklist with supporting documents, and email to: Braxton.wood@hyrumcity.gov

Once the Solar Information Checklist has been completed and approved by Hyrum City Power, a **Plan Approval Letter** will be sent back to the customer/contractor via email.

□ **Solar Production Interconnection Fees**

- Per current applicable fee schedule

□ **Installation of Solar System**

Hyrum city is not responsible or liable for the functionality of the customer's system downstream of the utility point of connection (typically the overhead mast or underground conductor utility-side connection to the meter).

Please note the following Hyrum City requirements:

- Residential solar installations may be no larger than 10Kw D/C.
- All metering and installation fees to be paid for by customer/contractor. Hyrum will not cover any costs associated with the installation or construction of the solar power system.
- **Point of Interconnection** must be labeled with a permanent, engraved label; mechanically fastened with rivets, screws, or bolts (no double-sided tape) which states "Solar Generation On Site" or equivalent.
- **Point of interconnection must be made at the main service panel, on the customer side of the meter, and be connected using an appropriately rated, bidirectional circuit breaker. Note: Electrical services with outdated main service panels/meterbases may be required to be updated before a solar installation.**
- A separate safety disconnect must be installed between the solar system inverter and the **Point of Interconnection**. Disconnect switch must be located adjacent to City's service meter location. City will approve the location of each installation of the disconnect. This switch must be manually operated, lockable, and designed such that

the actual contacts of the switch are visible to determine whether they are open or closed. Meter base circuit breakers do not satisfy this requirement, nor does a solar system's integrated inverter disconnect. The safety disconnect must be labeled as per requirements above, stating "Solar Power Disconnect" or equivalent.

- Customer/Contractor is not permitted to connect panels to Hyrum's system until the utility meter has been reprogrammed to be bi-directional. If the system is connected before the new meter is installed, all excess kWh produced by the system will be seen by the existing meter as kWh consumed, not generated, resulting in an extra cost to the customer instead of a credit. These costs will not be credited back to the customer.

□ **Special Case--Solar System with Battery Storage**

Please note the following Hyrum City disclaimers and limits of liability for systems with battery storage:

- Some solar systems with battery storage are designed with some or all of customer's loads connected directly to the inverter. If the inverter fails or is out of service the customer will be all or partly out of power. Hyrum City is not responsible for restoring power in this situation. The customer will be responsible to repair the system to restore power.
- A disconnect switch at the point of interconnection is still required.
- Maximum energy exported must not exceed 10 Kw
- Charging the batteries from the grid (the Hyrum City power system) will be metered as additional load at a potentially increased cost to the customer (at the usual rate).

□ **Inspection**

Once installation of the solar system is complete, and the home has been inspected and passed by the Cache County Building department, the customer/contractor shall provide the inspection report to Hyrum City (Braxton.wood@hyrumcity.gov) to proceed to a permit to operate.

□ **Permit to Operate the Interconnection**

Once the Hyrum City Power Department has the Cache County inspection report, they will perform a final inspection. Upon passing final inspection, Hyrum City will issue a permit to operate, and reprogram the utility meter to bi-directional. At that time, the solar system may be activated.



MEMORANDUM

TO: Planning Commission

FROM: Matt Holmes, City Engineer

SUBJECT: Public Hearing – Hyrum City Irrigation and Landscape Design Standards and Specifications – Landscaping(Parks Department)

DATE: March 31, 2025

PLANNING COMMISSION AGENDA:

April 10, 2025

OVERVIEW:

The Parks Department has presented a set of design standards and specifications for all public landscaping to be used in all city owned parks and facilities. These drawings are to bring consistency and quality to all installation jobs within any land that is to be built by developers to be turned over to the city as well as all city-initiated improvements. This is not intended to be used on privately maintained irrigation systems.

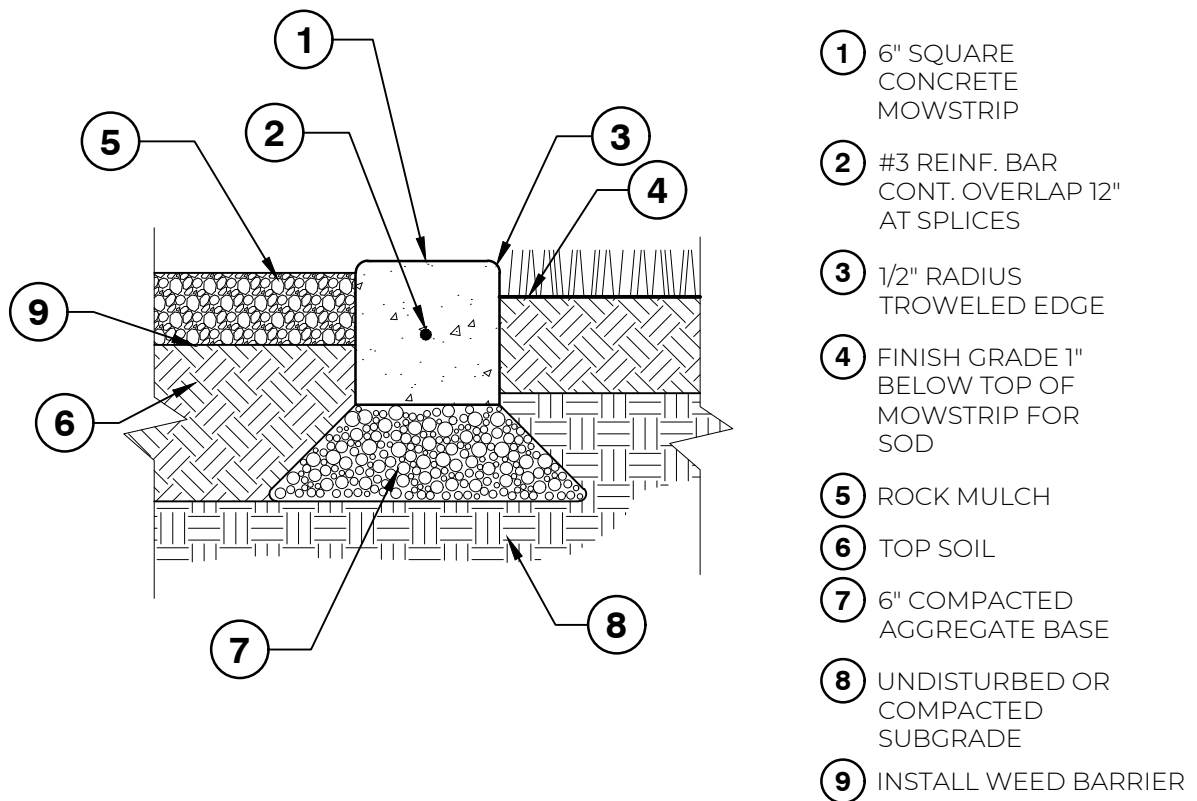
ATTACHMENTS:

1. Hyrum City Irrigation and Landscape Design Standards and Specifications, dated March 2025.

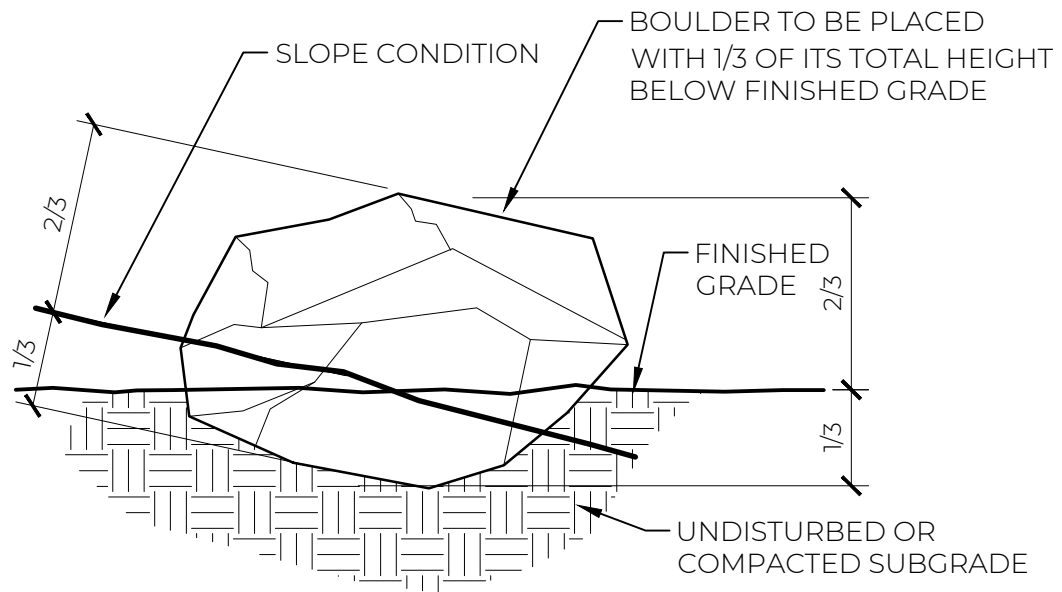


HYRUM CITY IRRIGATION & LANDSCAPE DESIGN STANDARDS & SPECIFICATIONS

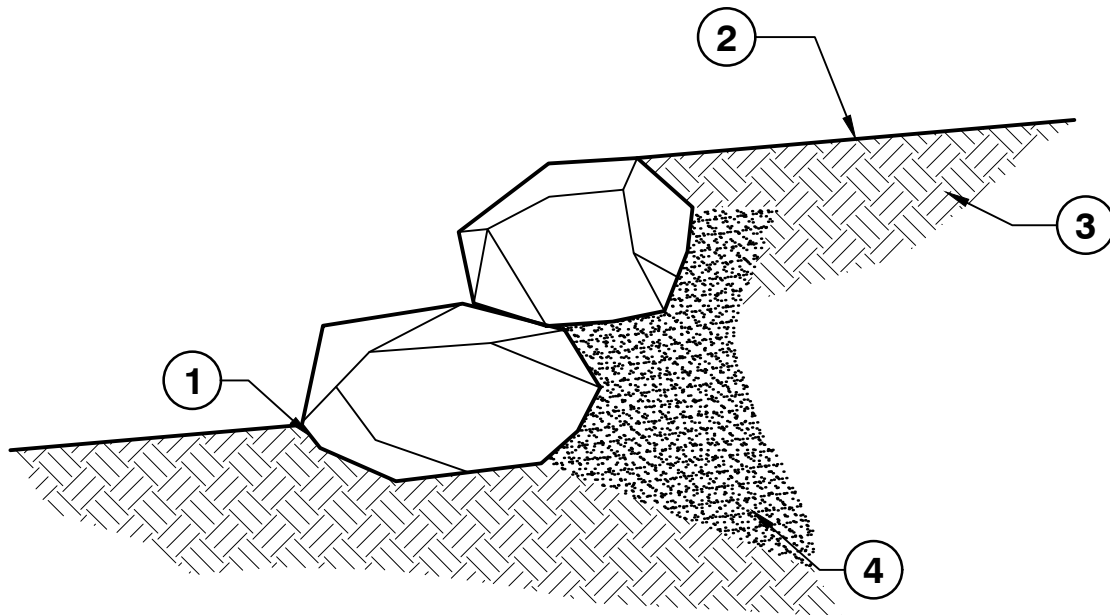
MARCH 2025



NOTE:
PROVIDE CONSTRUCTION OR CONTROL JOINTS AT 5' O.C. MAX.

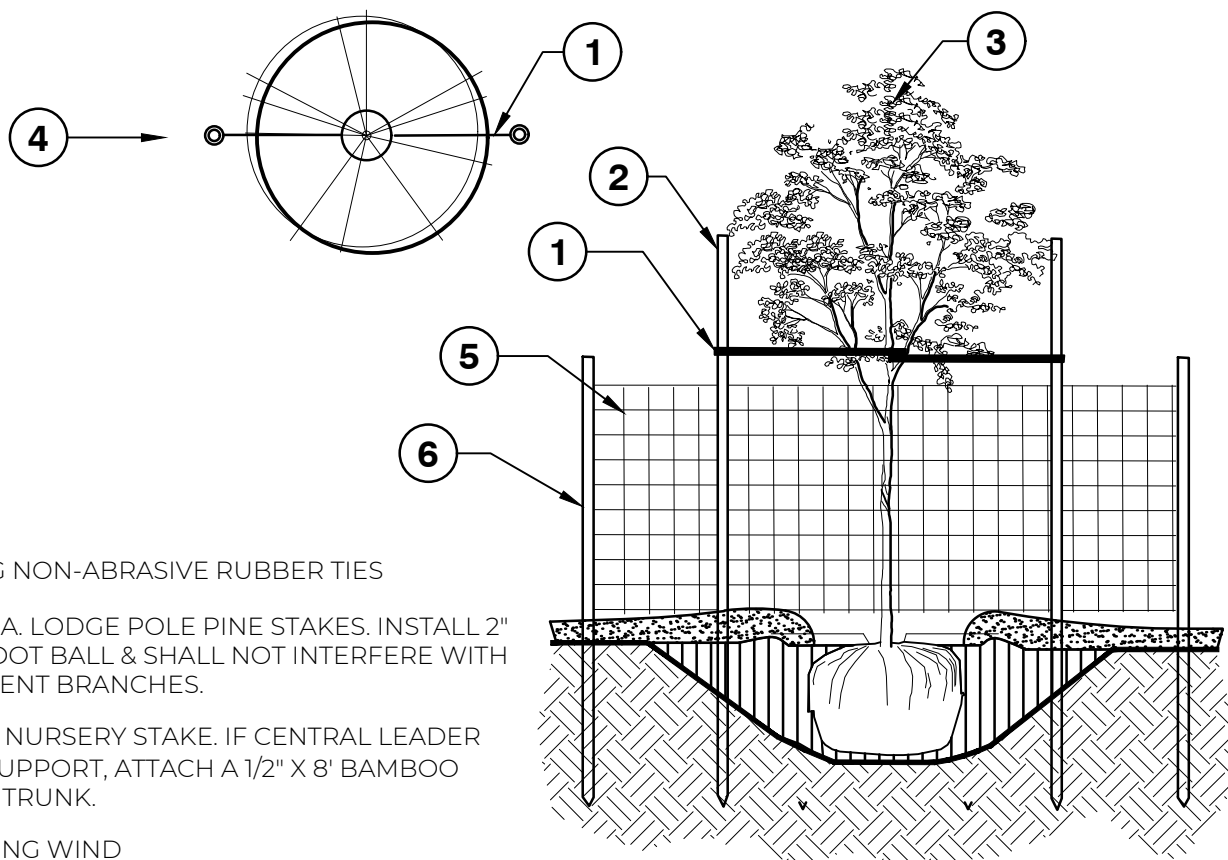


- ① MINIMUM 12" EMBEDMENT BELOW ADJACENT GRADE
- ② FINISH GRADE
- ③ COMPACTED BACKFILL
- ④ CLEAN, FREE DRAINING GRANULAR FILL 12" THICK MIN. BEHIND ROCK



NOTES:

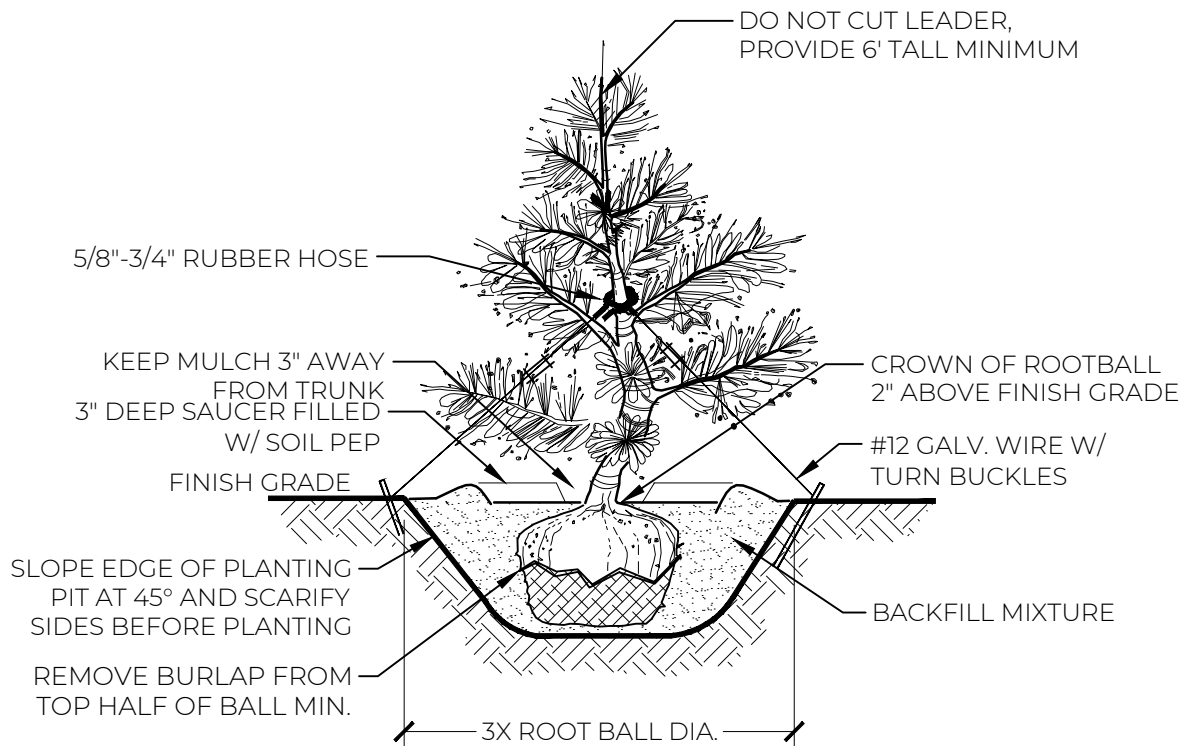
1. MAXIMUM WALL HEIGHT SHALL BE 4 FEET FROM BOTTOM OF EMBEDDED BOULDER TO TOP OF HIGHEST BOULDER.
2. ON ANY HILL WITH A SLOPE GREATER THAN 30% A STRUCTURAL ENGINEER STAMPED DESIGN IS REQUIRED.
3. WALL SHALL MEET CURRENT ADOPTED BUILDING CODE REQUIREMENTS.



- ① 32" LONG NON-ABRASIVE RUBBER TIES
- ② 2, 1.1/2" DIA. LODGE POLE PINE STAKES. INSTALL 2" FROM ROOT BALL & SHALL NOT INTERFERE WITH PERMANENT BRANCHES.
- ③ REMOVE NURSERY STAKE. IF CENTRAL LEADER NEEDS SUPPORT, ATTACH A 1/2" X 8' BAMBOO POLE TO TRUNK.
- ④ PREVAILING WIND
- ⑤ DEER FENCING ON NON DEER RESISTANT TREES
- ⑥ 6' POST SHALL BE INSTALLED 6' FROM BASE OF TREE TO SUPPORT DEER FENCING

NOTES:

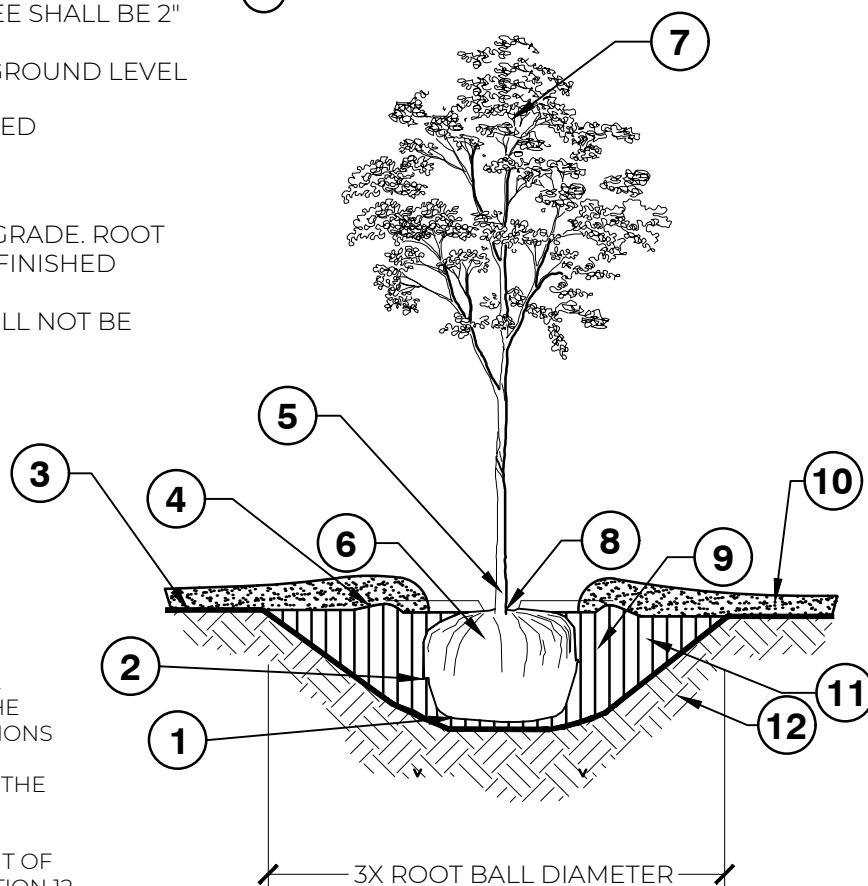
1. STAKE ALL TREES THAT ARE DETERMINED TO REQUIRE A STAKE (CITY DISCRETION) AT THE TIME OF PLANTING.
2. PLACE TWO 1 1/2 INCH - 2 INCH DIAMETER WOOD TREE STAKES 1 TO 2 FEET FROM THE CENTER AND DRIVE STAKE 24 INCHES INTO SOLID GROUND. FASTEN THE TREE TO THE UPPER END OF THE STAKE IN AT LEAST TWO LOCATIONS USING .
3. DEER FENCE SHALL BE 6 FEET TALL, BLACK POLYPROPYLENE PLASTIC WITH A MESH DIMENSION OF APPROX. 1.75" X 2". PROVIDE SUBMITTAL FOR OWNER TO APPROVE PRIOR TO INSTALLATION.



NOTES:

1. RETAIN NATURAL SHAPE OF TREE
2. DO NOT PRUNE PRIOR TO INSTALLATION.
3. ONLY TREES WITH SINGLE LEADERS WILL BE ACCEPTED.
4. STAKE GUYS W/ 2X2X24" STAKES.

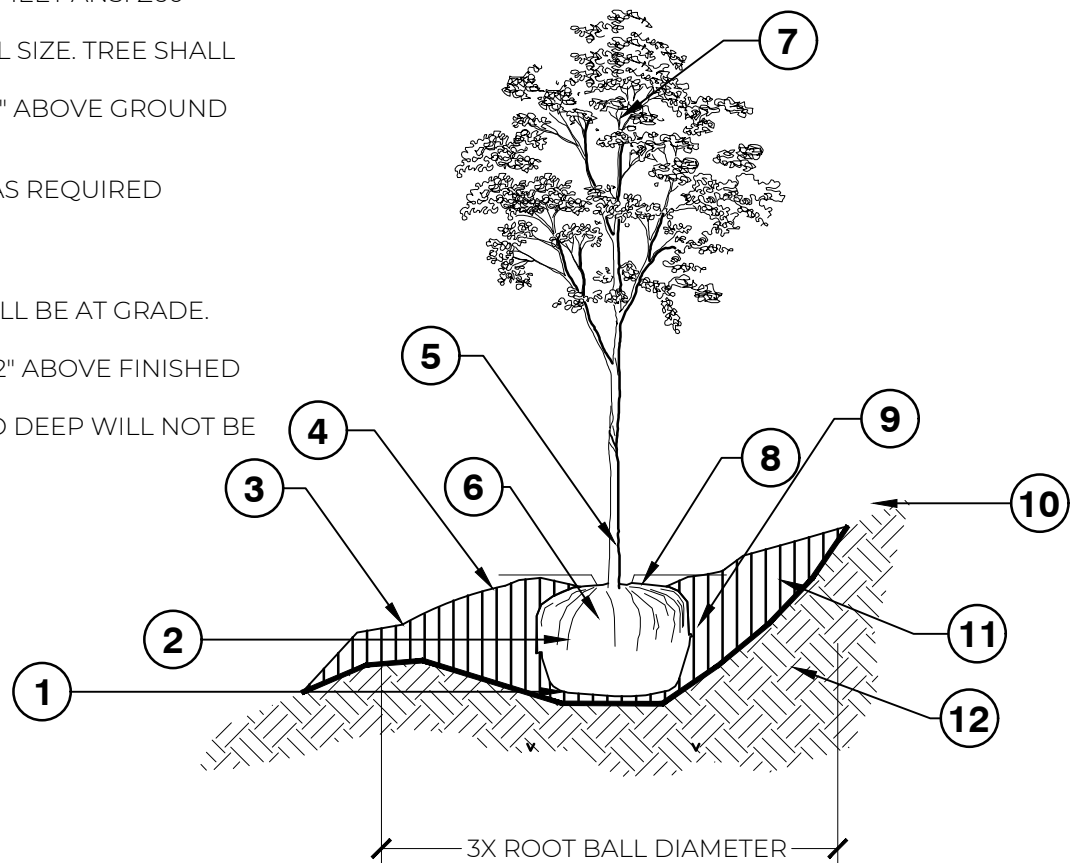
- 1 BOTTOM OF ROOT BALL TO REST ON EXISTING OR RECOMPACTED SOIL.
- 2 REMOVE CONTAINERS, WIRE, BASKETS, ETC. PRIOR TO PLANTING. COMPLETELY REMOVE TWINE AND BURLAP FROM B&B STOCK
- 3 FINISHED GRADE
- 4 ROUND TOP SOIL BERM 4" HIGH X 8" WIDE SURROUNDING PERIPHERY OF ROOT BALL.
- 5 TRUNK CALIPER SHALL MEET ANSI Z60 CURRENT EDITION FOR ROOT BALL SIZE. TREE SHALL BE 2" MIN. CALIPER, MEASURED 20" ABOVE GROUND LEVEL
- 6 ROOT BALL, MODIFIED AS REQUIRED
- 7 CENTRAL LEADER
- 8 TOP OF ROOT BALL SHALL BE AT GRADE. ROOT COLLAR SHALL NOT BE 2" ABOVE FINISHED GRADE. ANY TREE PLANTED TOO DEEP WILL NOT BE ACCEPTED.
- 9 PRIOR TO MULCHING, LIGHTLY TAMP SOIL AROUND ROOT BALL. NO NOT OVER COMPACT. POUR WATER AROUND ROOTBALL TO SETTLE BACKFILL.
- 10 4" MULCH LAYER. NO MORE THAN 1" MULCH TO COVER ROOT BALL.
- 11 DIG AND TURN SOIL TO REDUCE COMPACTION TO THE AREA AND DEPTH SHOWN. SLOPE SIDES.
- 12 EXISTING SOIL



NOTES:

1. THE SPACING & SPECIES OF TREES SHALL CONFORM TO THE REQUIREMENTS OF THE PLANNING COMMISSION. ANY SUBSTITUTIONS MUST BE APPROVED BY HYRUM CITY.
2. TREES SHOULD BE SELECTED BASED ON THE AREA'S SOIL AND CLIMATE.
3. TREES SHALL BE KEPT:
 3. OUTSIDE OF THE INTERSECTION SIGHT OF TRIANGLES AS DEFINED WITHIN SECTION 12 OF THE DEVELOPMENT CODE.
 3. NOT LESS THAN 20' FROM LAMP STANDARDS AND POWER POLES.
 3. NOT LESS THAN 10' FROM FIRE HYDRANTS.
 3. NOT LESS THAN 5' FROM SERVICE WALKS & DRIVEWAYS.
 3. NOT LESS THAN 5' FROM WATER METERS.
4. THE DEVELOPER SHALL PAY THE INSTALLATION COST OF PARKWAY TREES. PARKWAY TREES SHALL BE INSTALLED ON ALL STREETS IN CONFORMANCE TO THE STANDARD DETAILS, AS REQUIRED BY PLANNING AND ZONING.
- TREES TO BE INSPECTED BY HYRUM CITY AT DELIVERY AND/OR PRIOR TO PLANTING TO ENSURE QUALITY AND SIZE.
- TREES TO BE INSPECTED DURING PLANTING BY HYRUM CITY TO ENSURE PROPER INSTALLATION.
- TREES MAY BE ACCEPTED AFTER 30 DAYS MAINTENANCE TIME FROM INSPECTION, PROVIDED IT IS WEED FREE & OF NORMAL, ACCEPTABLE GROWTH FOR THE TIME OF YEAR.
- PLANT TREE TO ITS NORMAL DEPTH & PUDDLE WITH A RUNNING STREAM OF WATER FROM A HOSE. PREPARE PLANTING HOLE & STAKE TREE AS REQUIRED BY CITY REPRESENTATIVE.

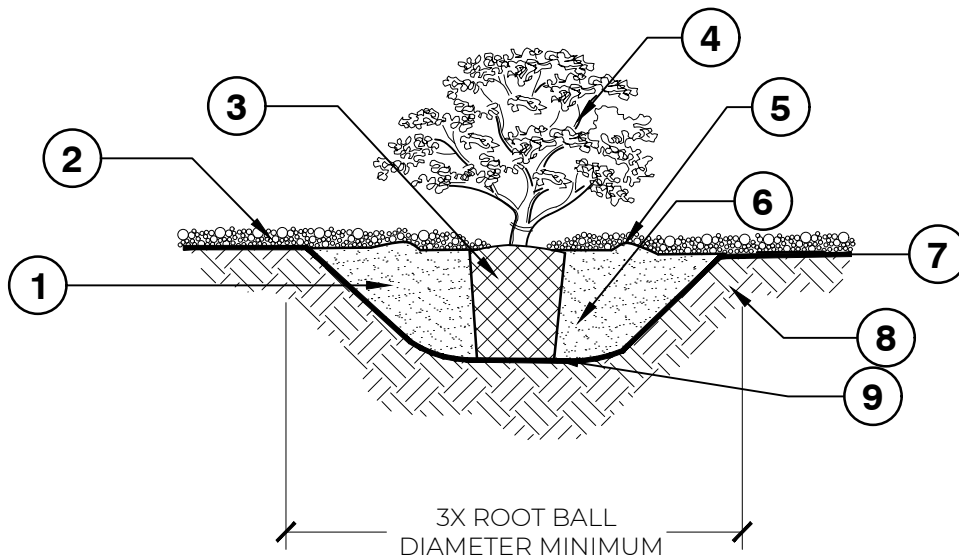
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 - 3.3. NOT LESS THAN 10' FROM FIRE HYDRANTS.
 - 3.4. NOT LESS THAN 5' FROM SERVICE WALKS & DRIVEWAYS.
 - 3.5. NOT LESS THAN 5' FROM WATER METERS.
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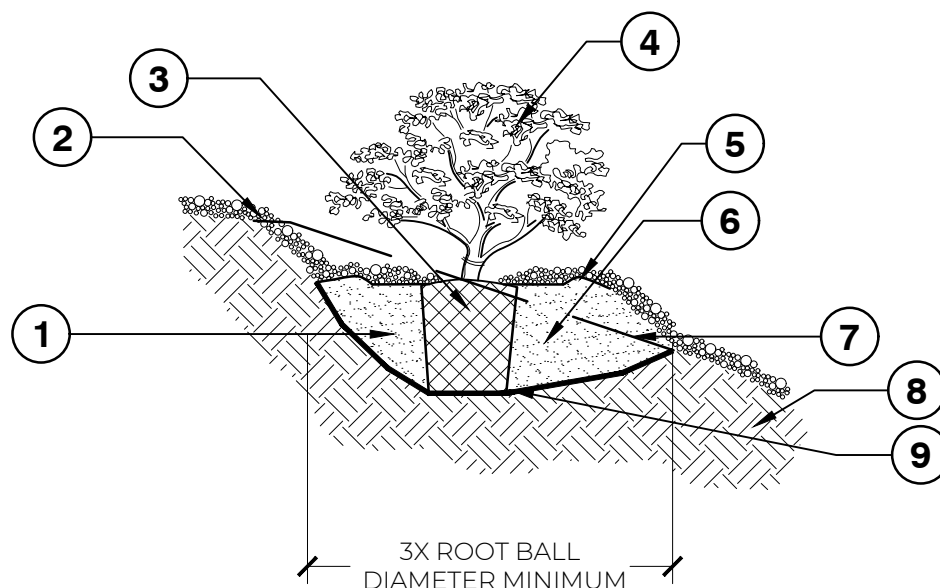
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- ③ ROOTBALL
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- ⑥ PRIOR TO MULCHING, LIGHTLY TAMP SOIL AROUND THE ROOT BALL TO BRACE SHRUB. DO NOT OVER COMPACT. POUR WATER AROUND THE ROOTBALL TO SETTLE BACKFILL.
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- ⑨ BOTTOM OF ROOTBALL TO REST ON EXISTING OR RECOMPACTED SOIL



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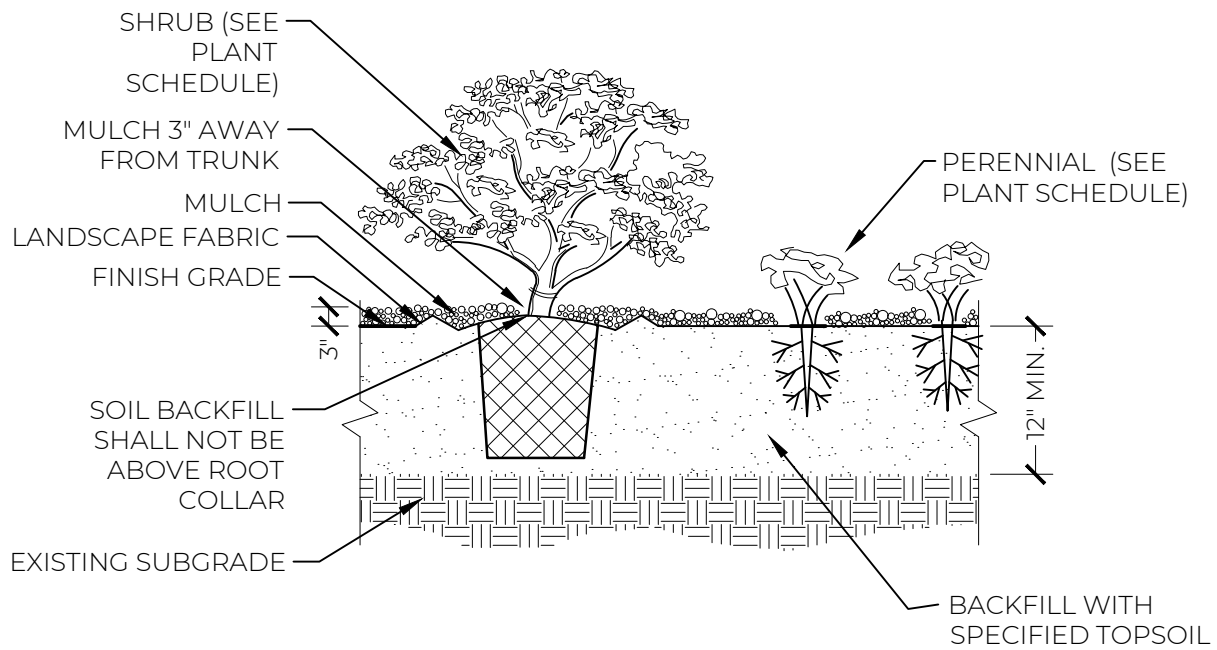
1. ALL SHRUBS SHALL BE A MINIMUM 5 GALLON SIZE UNLESS WRITTEN APPROVAL IS OBTAINED & VARIETY, SIZE, & SPACING IS STATED.
2. ALL CONTAINERS, WIRE BASKETS, ETC. SHALL BE REMOVED FROM SHRUBS PRIOR TO PLANTING. ALL B&B STOCK SHALL HAVE THE BAILING TWINE AND BURLAP REMOVED.
3. ANY SHRUBS PLANTED TOO DEEP WILL NOT BE ACCEPTED. ROOT BALL SHALL BE LEVEL WITH FINISHED GRADE. ROOT COLLAR SHALL BE 2" ABOVE FINISHED GRADE.
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6. PLANT SHRUB TO ITS NORMAL DEPTH & PUDDLE WITH A RUNNING STREAM OF WATER FROM A HOSE.

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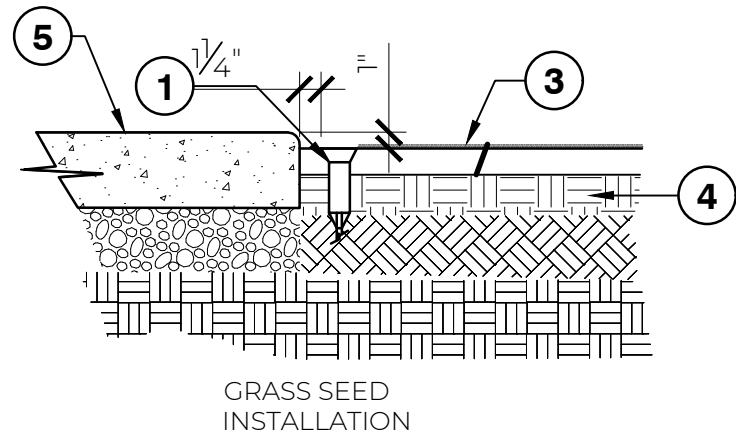
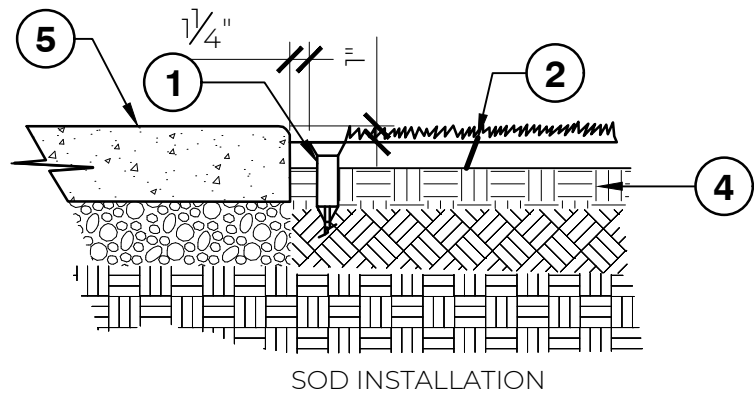
1. THIS DETAIL TO BE USED FOR SHRUBS PLANTED ON A SLOPE BETWEEN 5% (20:1) AND 50% (2:1).
2. ALL SHRUBS SHALL BE A MINIMUM 5 GALLON SIZE UNLESS WRITTEN APPROVAL IS OBTAINED & VARIETY, SIZE, & SPACING IS STATED.
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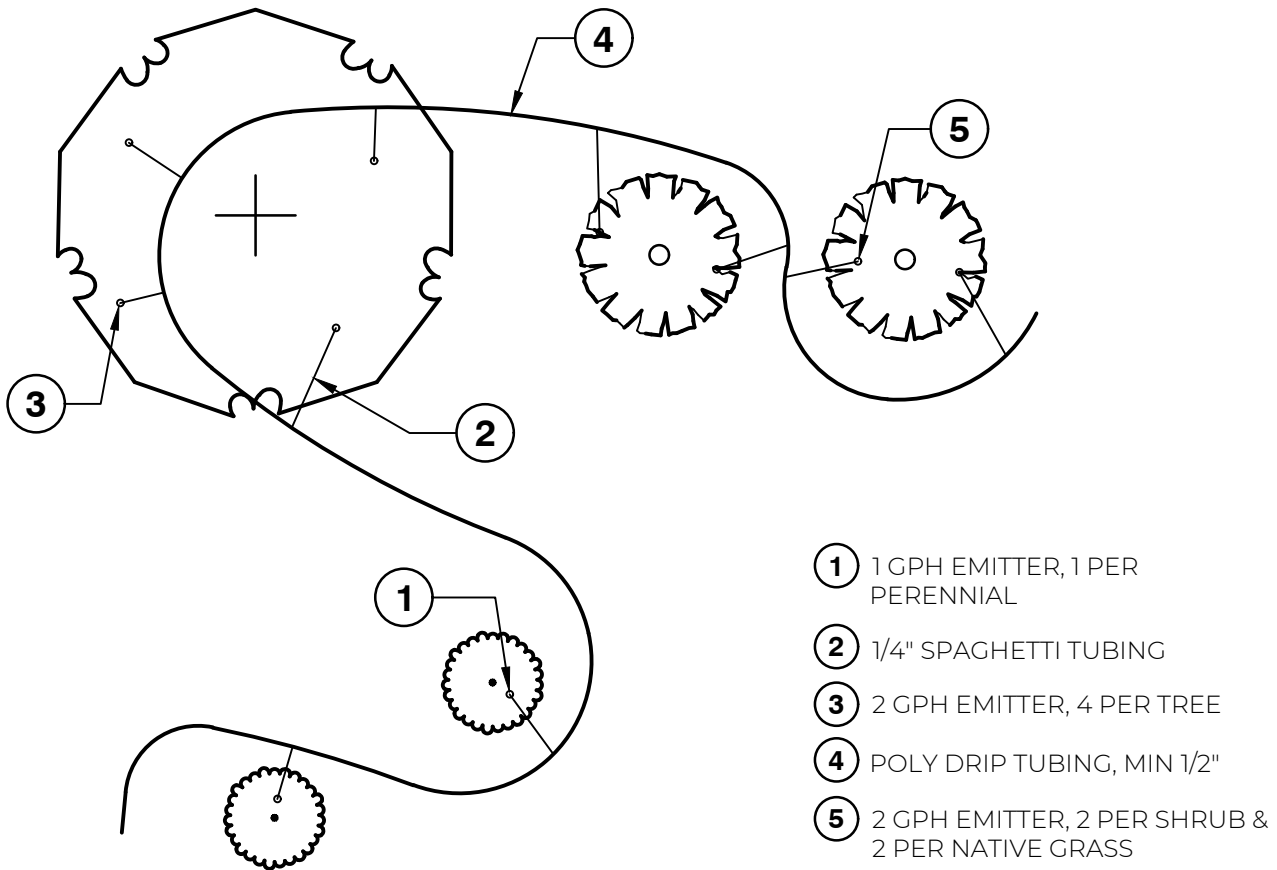
1. LANDSCAPE FABRIC TO BE INSTALLED UNDER MULCH.
2. MULCH SHALL BE WASATCH GREY CHAT, 3/8" MINUS. MULCH SHALL BE 3" THICK AS SHOWN ABOVE.
3. LANDSCAPE FABRIC TO BE CUT AWAY 6 INCHES FROM SHRUB/PERENNIALS AND 12 INCHES FROM TREES

- ① INSTALL SOD OR SEED BED 1" BELOW TOP OF ADJACENT CONCRETE SITE ELEMENT, AS SHOWN.
- ② SOD WITH TIGHT, BEVELED JOINTS
- ③ GRASS SEED BED
- ④ AMEND SOIL AS REQUIRED BY TOPSOIL TEST REPORT
- ⑤ MOWSTRIP, CURB, OR SIDEWALK



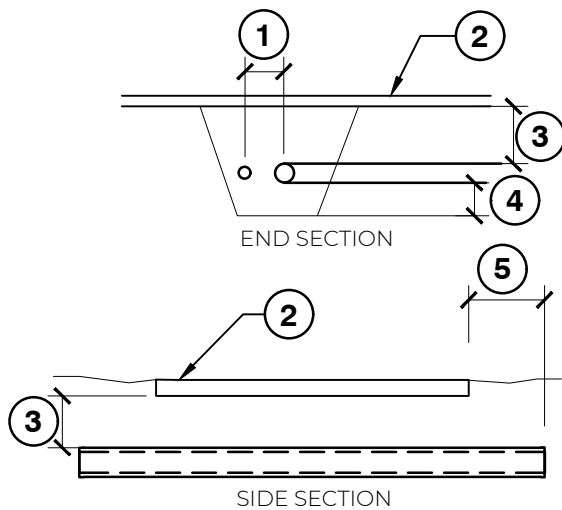
NOTES:

1. SOD MAY BE ACCEPTED 30 DAYS AFTER INSPECTION & AFTER MIN. FOUR CUTTINGS (ONCE EVERY 7 DAYS). IF SOD IMPROVEMENTS ARE NOT ACCEPTED AFTER THIS TIME PERIOD, DEVELOPER SHALL BE REQUIRED TO CONTINUE MAINTENANCE UNTIL ACCEPTED/APPROVED.
2. PREPARE LAWN AREAS AS SPECIFIED UNDER SOIL PREPARATION. SLOPE ALL AREAS TO DRAIN ACCORDING TO THE ARCHITECT'S DRAWINGS & APPROVAL FROM PUBLIC WORKS DEPARTMENT & PARKS DEPARTMENT.
3. RAKE SOD AREAS UNTIL THE SURFACE IS SMOOTH & OF UNIFORM TEXTURE PRIOR TO PLANTING THE TURF.
4. THE FINISHED GRADE OF ALL SOD AREAS SHALL BE BETWEEN 0 & $\frac{1}{4}$ INCHES BELOW SIDEWALK OR ADJACENT PAVEMENT AREAS.
5. SOD MUST BE INSTALLED DURING NORMAL GROWING SEASON. IF DORMANT SOD IS INSTALLED, IT WILL NOT BE ACCEPTED UNTIL THE FOLLOWING NORMAL GROWING SEASON.
6. LAY SOD WITH STAGGERED SEAM.
7. AFTER SOD HAS BEEN LAID, IRRIGATE & THEN ROLL SOD WITH WATER ROLLER (50 POUND MIN. WEIGHT) TO LEVEL SOD & INSURE POSITIVE CONTACT WITH SOIL.
8. SELECT GRASS ACCORDING TO INTENDED USE, LOCATION & MAINTENANCE REQUIREMENTS. DROUGHT TOLERANT GRASSES SHOULD BE UTILIZED WITHIN ALL TURF AREAS.
9. REDUCE THE SIZE OF WATER SENSITIVE LAWNS WITH ENLARGED BEDS & HARDSCAPES. ELIMINATE LAWN AREAS THAT ARE DIFFICULT TO IRRIGATE, INCLUDING LONG & NARROW OR SMALL & ODD-SHAPED AREAS.
10. APPLY COMMERCIAL GRADE FERTILIZER AS PER THE FOLLOWING SPECIFICATIONS:
 - 10.1. 46-0-0 WITH DIMENSION COATED NITROGEN (PRE-EMERGENT) FROM JANUARY 1ST TO MAY 31ST AT A RATE OF 2 POUNDS PER 1,000 SQ. FT.
 - 10.2. 25-5-6 FROM JUNE 1ST TO AUGUST 31ST AT A RATE OF 4 POUNDS PER 1,000 SQ. FT.
 - 10.3. 46-0-0 (50% SLOW RELEASE) SULPHUR COATED UREA FROM SEPTEMBER 1ST TO DECEMBER 31ST AT A RATE OF 2 POUNDS PER 1,000 SQ. FT.



NOTES:

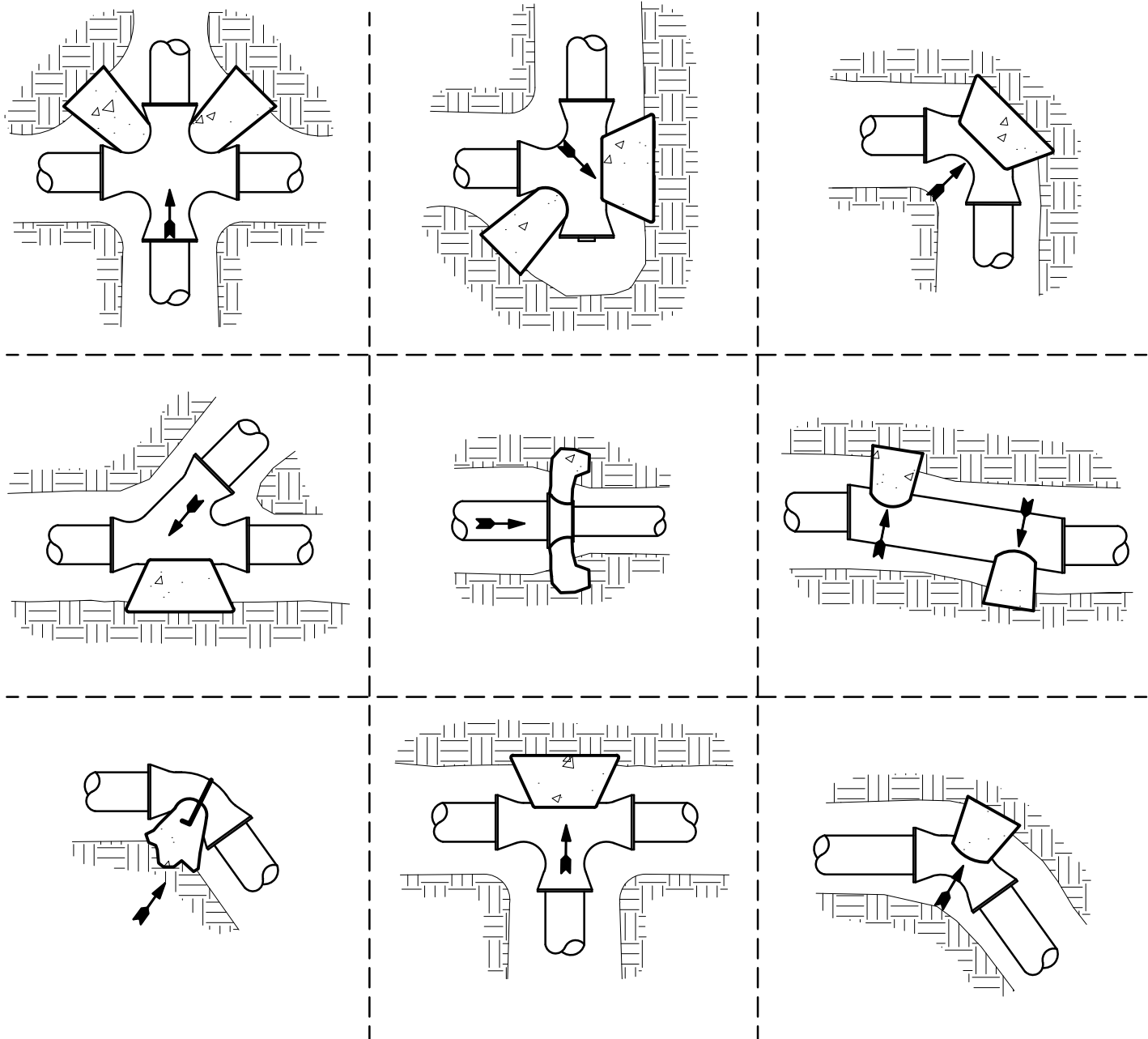
1. LOCATE EMITTER ON UPHILL SIDE OF PLANT ON SLOPES. BERM SOIL FOR WATER BASIN ON EACH PLANT.
2. ADD STAPLES EVERY 6 FEET OF LINE MINIMUM AND AT EVERY BEND.



- ① 4" MIN. CLEARANCE BETWEEN PIPES
- ② FINISH GRADE
- ③ 18" MIN, 24" MAX. PIPE COVER
- ④ 2" MIN, PIPE BEDDING
- ⑤ 6" MIN, 18" MAX. PAST EDGE

NOTES:

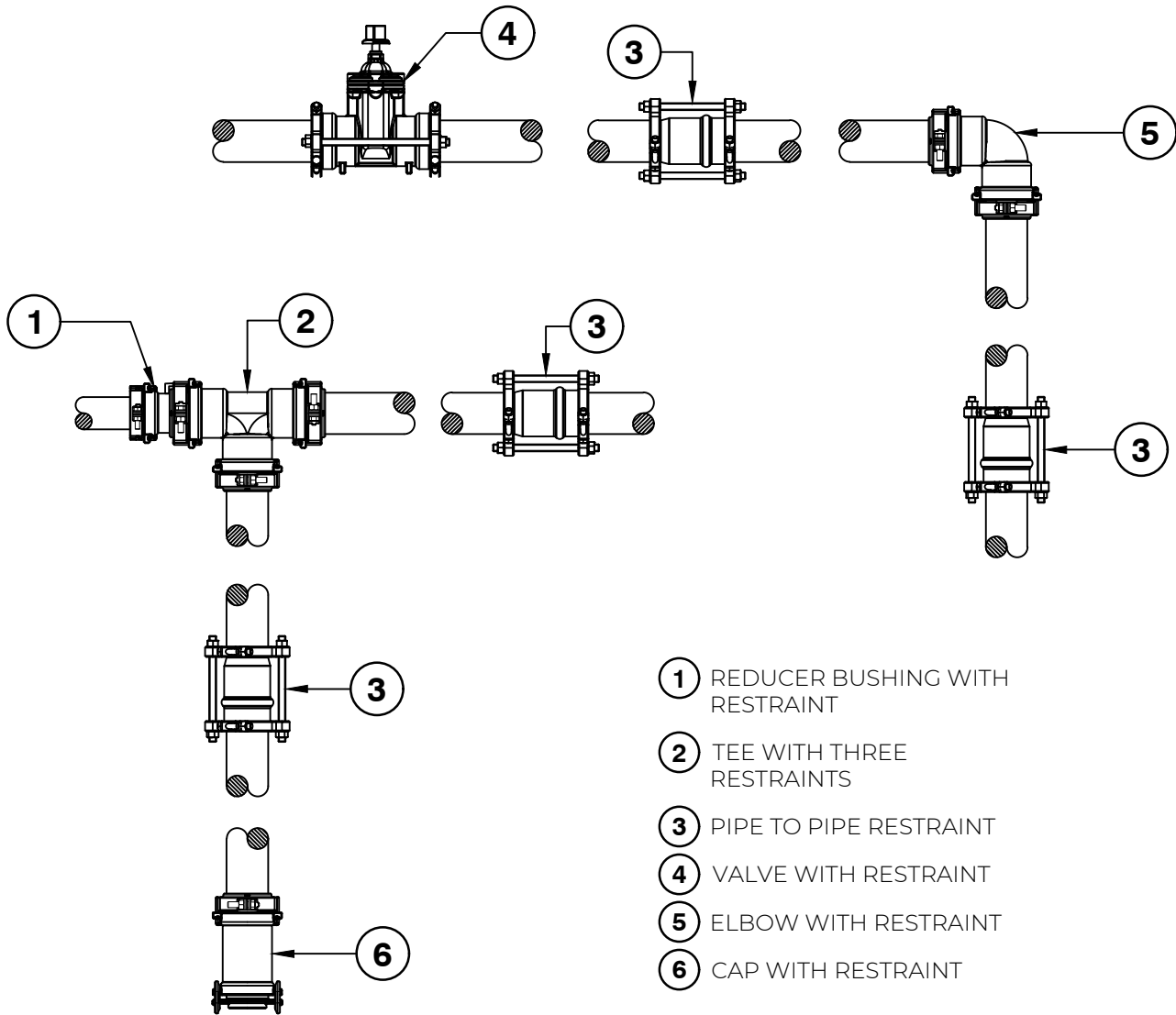
1. SLEEVES TO BE 2X PIPE SIZE WITHIN. JOINTS TO BE WATERTIGHT. MECHANICALLY TAMP TO 95% PROCTOR
2. ALL PIPE SLEEVING SHALL BE SCH. 40 PVC. PIPING UNDER ROAD TO THE WATER METER BOX MUST BE POLYETHYLENE.
3. CUTTING/BREAKING EXISTING CONCRETE IS NOT PERMITTED UNLESS NO OTHER ALTERNATIVE IS POSSIBLE. PIPING UNDER PAVING SHALL BE INSTALLED BY JACKING, BORING, OR HYDRAULIC DRIVING.
4. DESIGNER/CONTRACTOR SHALL MINIMIZE THE AMOUNT OF SLEEVING REQUIRED UNDER PAVING.
5. ALL WIRE SLEEVING SHALL BE GRAY S/40 ELECTRICAL CONDUIT. NO EXCEPTIONS.



NOTES:

1. INSTALL THRUST BLOCK ON ALL 3" AND LARGER FITTINGS.
2. PLACE 6 MIL POLY LINER BETWEEN FITTING AND CONCRETE THRUST BLOCK.
3. ALL CONCRETE THRUST BLOCKS TO BE SET AGAINST UNDISTURBED SOIL.
4. FITTINGS SHALL BE CAST IRON WITH MEGA-LUGS.

←→ DIRECTION OF THRUST (TYP.)



NOTES

1. REPRESENTATIVE SAMPLING OF FITTINGS WITH JOINT RESTRAINTS INSTALLED.
2. PIPE TO PIPE RESTRAINTS ARE SHOWN BUT ARE NOT NECESSARILY ALWAYS REQUIRED. REFER TO JOINT RESTRAINT TABLES.

DISTANCE CHART

REFER TO THE FOLLOWING TABLE THAT LISTS THE LENGTH (IN FEET) FOR EACH SIZE/TYPE FITTING WITHIN WHICH ALL JOINTS MUST BE RESTRAINED. ALL FITTINGS AND JOINT RESTRAINS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.

AS AN EXAMPLE: IF YOU ARE INSTALLING A 3" MAINLINE WITH A DIRECTIONAL CHANGE OF 90°, REFER TO CHART UNDER PIPE SIZE TO A 3" AND UNDER BENDS 90 YOU WILL SEE THE DISTANCE OF 11'. IF THERE IS ANY JOINT (VALVE, BELL, ETC.) YOU MUST INSTALL A JOINT RESTRAINT WITHIN 11' OF THE 90° MAINLINE DIRECTIONAL CHANGE.

PIPE SIZE	BENDS				REDUCERS			DEAD END	
	11°	22°	45°	90°	1 STEP	2 STEP	3 STEP	BLIND	SERV. B.
2"	1'	1'	2'	6'	--	--	--	19'	6'
2.5"	1'	2'	4'	9'	4'	--	--	23'	10'
3"	2'	3'	6'	11'	8'	10'	--	30'	15'
4"	2'	4'	9'	20'	14'	20'	31'	45'	25'
6"	3'	6'	13'	29'	30'	40'	53'	63'	40'
8"	4'	8'	15'	38'	33'	55'	63'	75'	70'
10"	5'	9'	19'	45'	36'	56'	75'	96'	90'
12"	5'	10'	21'	53'	38'	60'	83'	112'	110'

INSTALLATION CHART

REFER TO THE FOLLOWING TABLE WHICH LISTS THE NUMBER OF BOLTS, SIZE, AND TORQUE FOR EACH BOLT IN REFERENCE TO THE SIZE OF PIPE WHICH IS BEING RESTRAINED.

AS AN EXAMPLE: IF YOU HAVE A 3" PIPE, YOU WILL NEED 2 BOLTS THAT ARE $\frac{3}{8}$ " X 2.5" AND TIGHTEN THEM WITH A TORQUE WRENCH TO 20 FT-LBS.

PIPE SIZE	NUMBER OF BOLTS	BOLT SIZE	TORQUE FT-LBS.
2"	2	$\frac{3}{8}$ " X 2.5"	20
2.5"	2	$\frac{3}{8}$ " X 2.5"	20
3"	2	$\frac{3}{8}$ " X 2.5"	20
4"	2	$\frac{1}{2}$ " X 3"	50
6"	2	$\frac{1}{2}$ " X 3.5"	50
8"	4	$\frac{1}{2}$ " X 4"	50
10"	4	$\frac{5}{8}$ " X 5.5"	100
12"	4	$\frac{5}{8}$ " X 5.5"	100

THESE CHARTS ARE BASED ON USE OF LEEMCO PRODUCTS AND PROVIDED AS REFERENCE ONLY. CONTRACTOR SHALL CONTACT CORRESPONDING MANUFACTURER REPRESENTATIVE FOR PROPER CHARTS, TRAINING, AND CERTIFICATION IF OTHER PRODUCTS ARE SUBMITTED AND APPROVED. FOR USE OF LEEMCO PRODUCTS, CONTACT THE LEEMCO REPRESENTATIVE, FOR ALL QUESTIONS CONCERNING LEEMCO PRODUCTS.



HYRUM CITY
60 WEST MAIN STREET
HYRUM, UT 84319

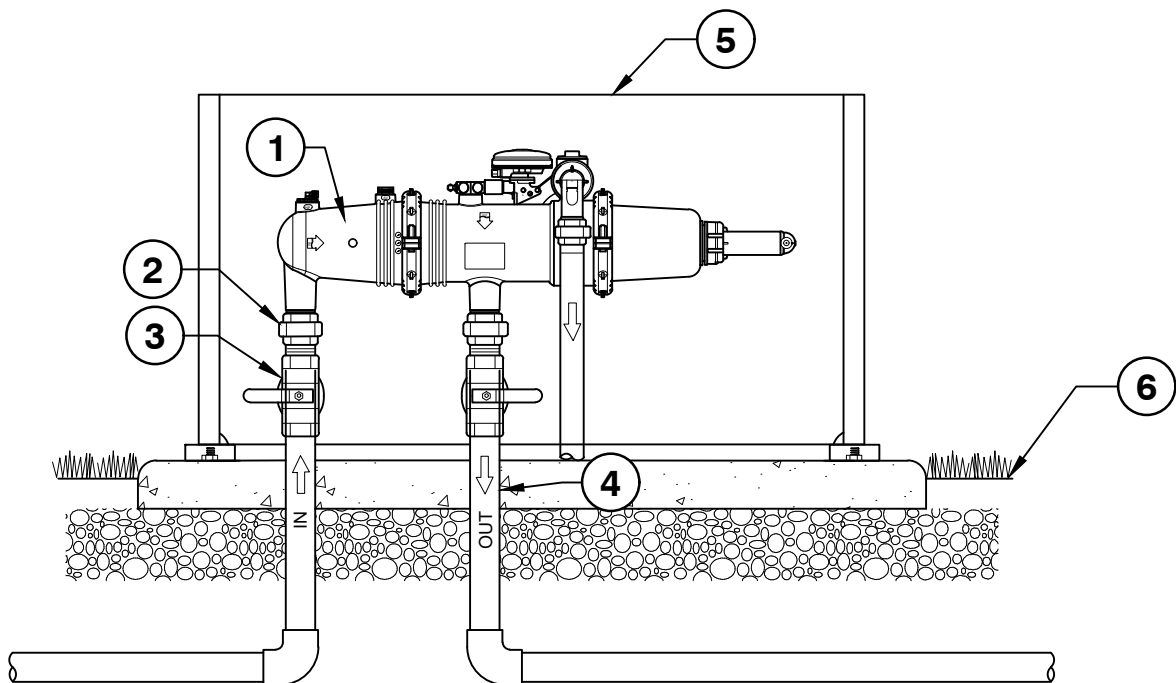
STANDARD DRAWING

JOINT RESTRAINT TABLE

DRAWN:
DESIGN:
REVISION:
DATE: 8/19/2023

SCALE
NONE

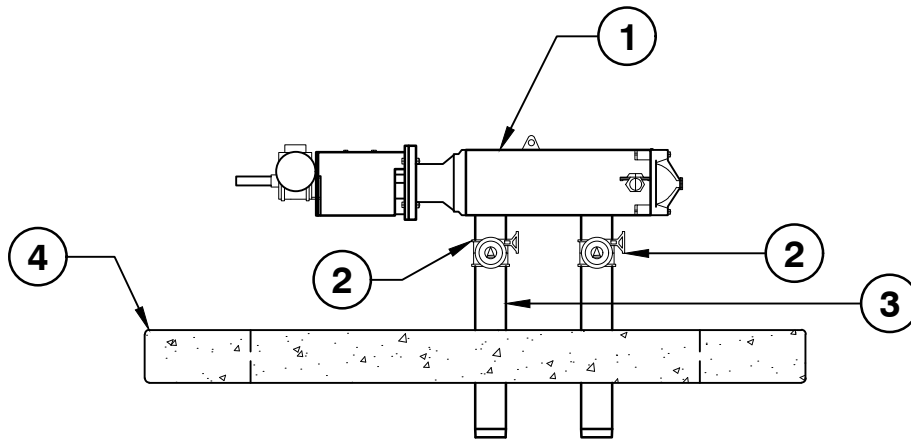
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|---|----------------------------------|---|--|
| 1 | FILTER PER PLAN | 4 | STAINLESS NIPPLES AND FITTINGS AS REQUIRED |
| 2 | STAINLESS UNIONS - SIZE PER PLAN | 5 | STRONGBOX SBBC-60ALHP |
| 3 | STAINLESS STEEL BALL VALVE | 6 | FINISH GRADE |



NOTES:

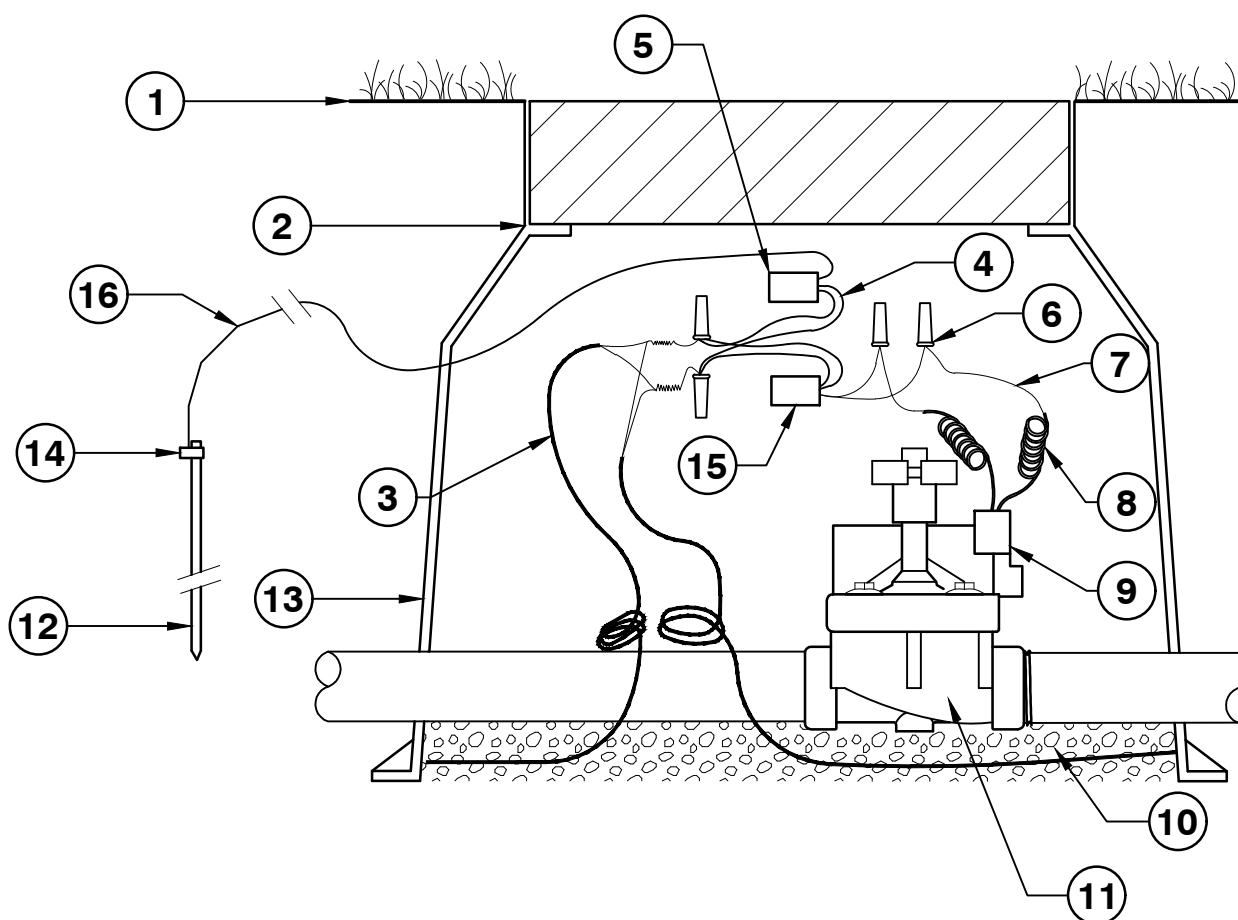
1. MINI SIGMA PER PLAN.
2. STRONG BOX MOUNTED TO CONCRETE PAD. PAD SIZE SHALL BE 6 INCHES WIDER AND LONGER THAT STRONG BOX.
3. GRAVEL INSIDE MOWSTRIP SHALL BE RECESSED FROM THE TOP SO FILTER FITS INSIDE THE STRONG BOX.
4. INTERIOR GRAVEL SHALL BE WASHED SMOOTH GRAVEL $\frac{3}{4}$ " MINUS IN SIZE 16" DEEP.
5. WRAP PIT WITH DEWITT PRO 5 LANDSCAPE FABRIC PRIOR TO FILLING PIT WITH WASHED GRAVEL.

- ① AMIAD SAF AUTOMATIC FLUSH ELECTRIC FILTER.
PROVIDE 120 VAC
POWER.
- ② BUTTERFLY VALVES
- ③ ALL FITTINGS AND SPOOLS TO BE DUCTILE IRON
- ④ 6" THICK POURED CONCRETE PAD. MUST EXTEND 24"
LARGER THAN
SHADOW OF FILTER.

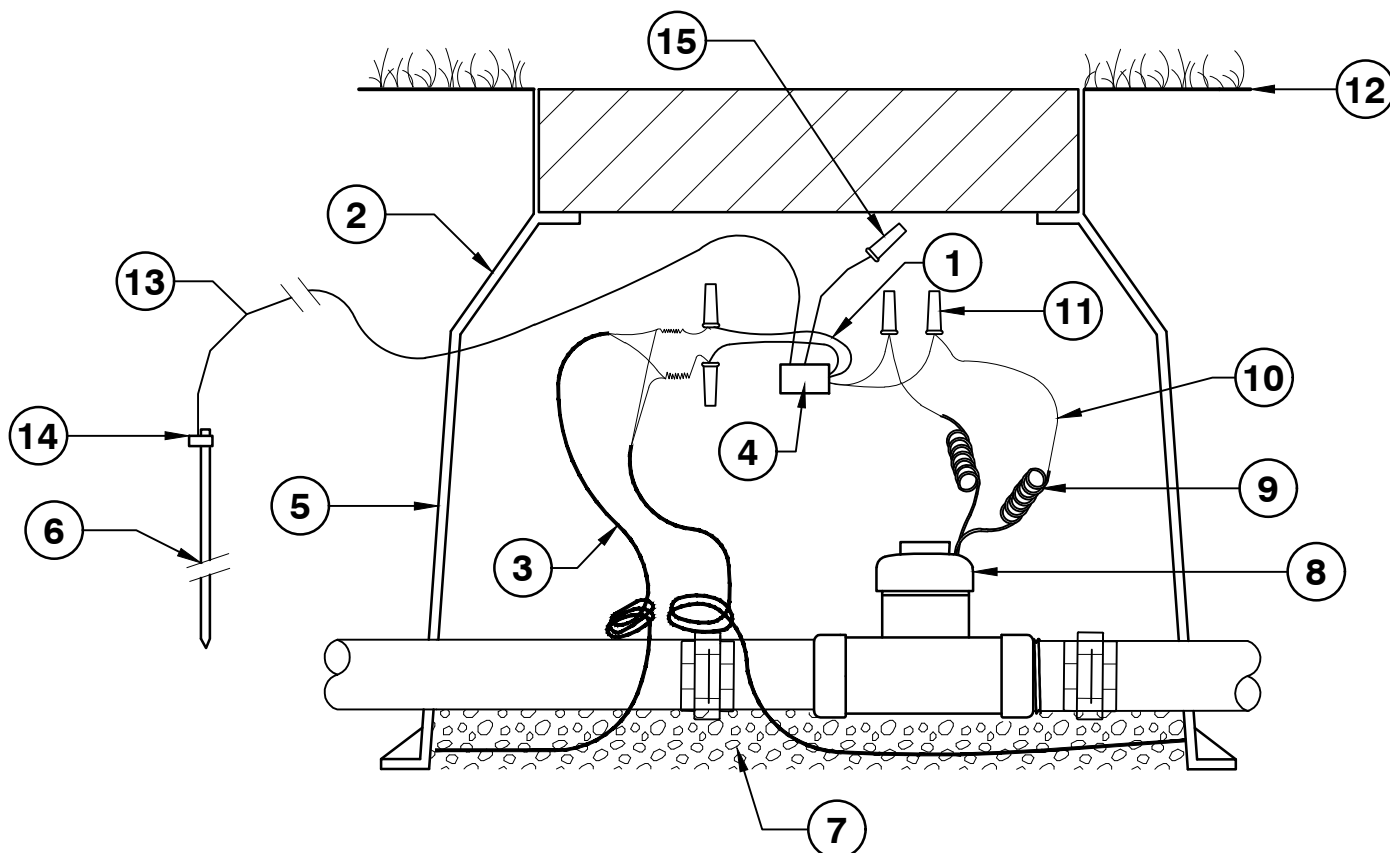


NOTE:
ALL SPRINKLER SYSTEMS SHALL BE EQUIPPED WITH AN
APPROVED SYSTEM FILTER, UNLESS OTHERWISE
REQUIRED/APPROVED BY THE CITY PARKS DEPARTMENT.

- | | |
|---|--|
| ① FINISH GRADE | ⑨ SOLENOID |
| ② VALVE BOX | ⑩ GRAVEL |
| ③ 2-WIRE COMMUNICATION PATH *IN CONDUIT* | ⑪ ELECTRICAL VALVE (SEE SUPPORTING DETAILS) |
| ④ BLUE WIRES TO 2-WIRE COMMUNICATION PATH | ⑫ 5/8" DIA. X 8' COPPER CLAD GROUND ROD DRIVEN INTO GROUND WITH TOP OF ROD A MIN. OF 6" BELOW GRADE. 100 OHMS OR LESS. LOCATE PER WEATHERTRAK REQ'S. |
| ⑤ WT2W-LSP SURGE ARRESTOR (YELLOW CASE) | ⑬ EXTENSION (LENGTH AS REQUIRED) |
| ⑥ 3M DBR/Y-6 SPLICE | ⑭ CAD WELD CONNECTION |
| ⑦ WHITE WIRES TO SOLENOID | ⑮ WT2W-SVD-11 DECODER (BLUE CASE) |
| ⑧ EXPANSION COILS | ⑯ GROUND WIRE OF WT2W-LSP CONNECTED TO GROUND ROD |



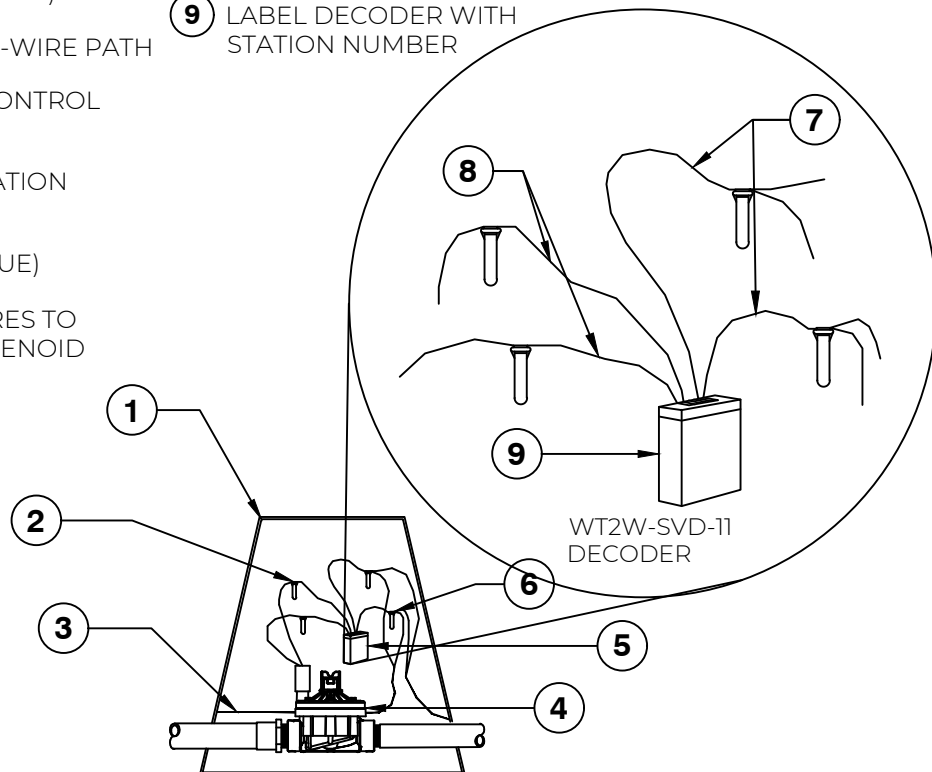
- ① BLUE WIRES TO 2-WIRE COMMUNICATION PATH
- ② VALVE BOX
- ③ 2-WIRE PATH *ALL WIRE IN CONDUIT*
- ④ WT2W-FD (FLOW DECODER)
- ⑤ EXTENSION (LENGTH AS REQUIRED)
- ⑥ 5/8" DIA. X8 COPPER GROUND ROD DRIVEN INTO GROUND WITH TOP OF ROD A MIN. OF 6" BELOW GRADE. 100 OHMS OR LESS
- ⑦ GRAVEL
- ⑧ FLOW SENSOR/HYDROMETER
- ⑨ EXPANSION COILS
- ⑩ RED AND BLACK WIRES TO FLOW SENSOR
- ⑪ 3M DBR/Y-6 SPLICE
- ⑫ FINISH GRADE
- ⑬ GREEN/YELLOW STRIPED WIRES TO GROUNDING ROD
- ⑭ CAD WELD CONNECTION
- ⑮ SINGLE GREEN WIRE-OPTIONAL LED POWER. CAP WHEN NOT IN USE



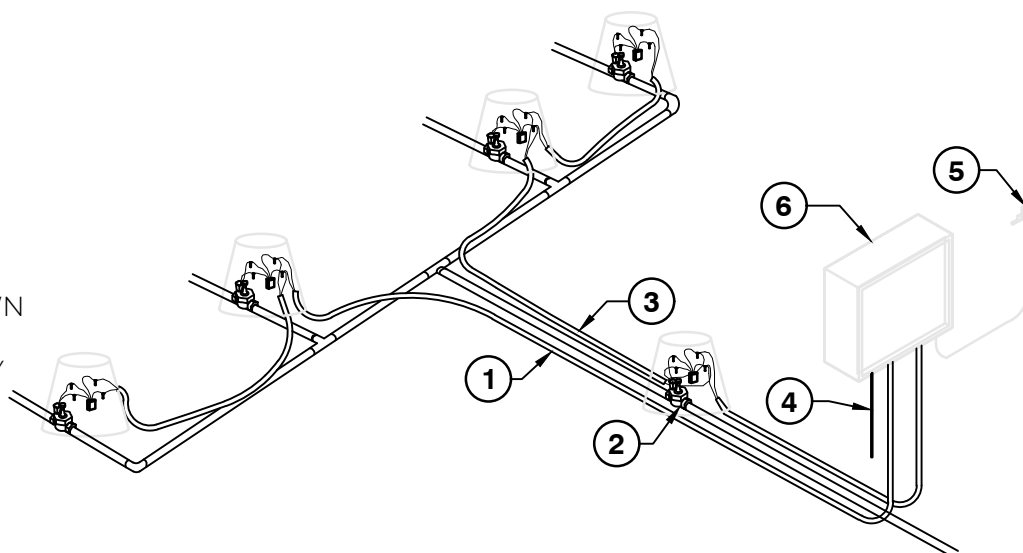
NOTES:

1. FLOW SENSOR SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
2. ALL FLOW SENSORS SHALL BE WEATHERTRAK PRODUCT.

- ① VALVE BOX
- ② SPLICE (WHITE)
- ③ CONDUIT 2-WIRE PATH
- ④ STATION CONTROL VALVE
- ⑤ 2-WIRE STATION DECODER
- ⑥ SPLICE (BLUE)
- ⑦ WHITE WIRES TO VALVE SOLENOID
- ⑧ BLUE WIRES CONNECT TO 2-WIRE PATH
- ⑨ LABEL DECODER WITH STATION NUMBER



- ① WIRE PATH #1
 ② MASTER VALVE
 ③ WIRE PATH #2
 ④ 120 VAC POWER
 ⑤ RAIN SENSOR
 ⑥ CONTROLL SHOWN AS REFERENCE ONLY



NUMBER OF SIMULTANEOUS VALVES	VALVES EVENLY DISTRIBUTED ALONG 2-WIRE (FT)		
	AWG 18	AWG 16	AWG 14
1	7.000	11.000	17.800
2	6.400	10.200	16.300
3	5.500	8.800	14.100
4	4.900	7.800	12.500
5	4.400	7.000	11.200
6	4.000	6.300	10.100
7	3.600	5.800	9.200
7	3.300	5.300	8.500

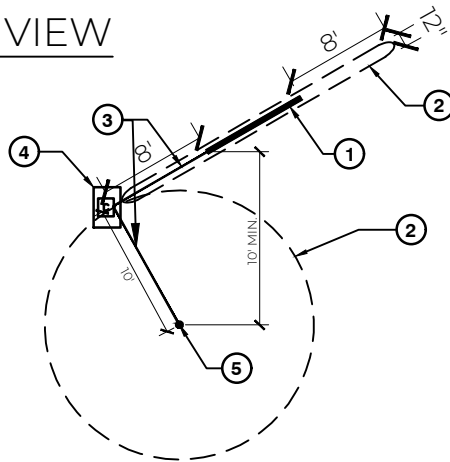
WORST CASE 2-WIRE PATH LENGTH LIMITS WITH ALL DECODERS AT END OF 2-WIRE PATH	
NUMBER OF ACTIVE VALVES ON 2-WIRE PATH	MAXIMUM WIRE LENGTH (FT) ASSUMING #16½ WIRE
1	6,200
2	5,600
3	4,900
4	4,300

NOTES:

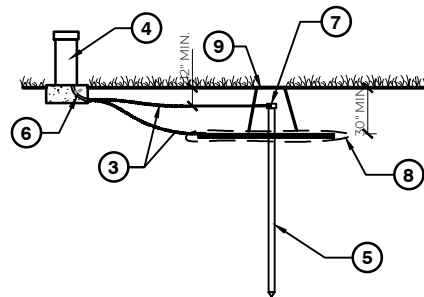
- ALL WIRE SPLICING SHALL BE MADE WITH APPROVED CONNECTIONS.
- MAKE ALL WIRE SPLICES IN VALVE BOXES.
- LEAVE A MINIMUM OF 12" EXTRA WIRE AT ALL SPLICE POINTS.
- MAXIMUM DISTANCE FROM DECODER TO VALVE=150 FEET.
- MAXIMUM WIRE LENGTH=10,200 FEET.
- WIRE LENGTHS INCLUDE MASTER VALVE AND #16½ WIRE.
- INCLUDE PAIGE WIRE DECODER CABLE FUSE DEVICES (DCFD's) AT ALL INTERSECTIONS.
- REFER TO OTHER DETAILS FOR SURGE PROTECTION.

- | | |
|--|---|
| <p>① COPPER GROUND PLATE
(4" X 96" X .0625")</p> <p>② ELECTRICAL SPHERE OF
INFLUENCE BOUNDARIES</p> <p>③ #6 AWG BARE COPPER
WIRE</p> <p>④ IRRIGATION CONTROLLER</p> <p>⑤ 5/8" X 10' UL LISTED COPPER
CLAD GROUND ROD</p> | <p>⑥ PVC SWEEP ELL, 1-1/2" OR
LARGER</p> <p>⑦ 'CADWELD' CONNECTION</p> <p>⑧ 'POWER SET' EARTH
CONTACT MATERIAL</p> <p>⑨ 10" ROUND VALVE BOX</p> |
|--|---|

TOP VIEW



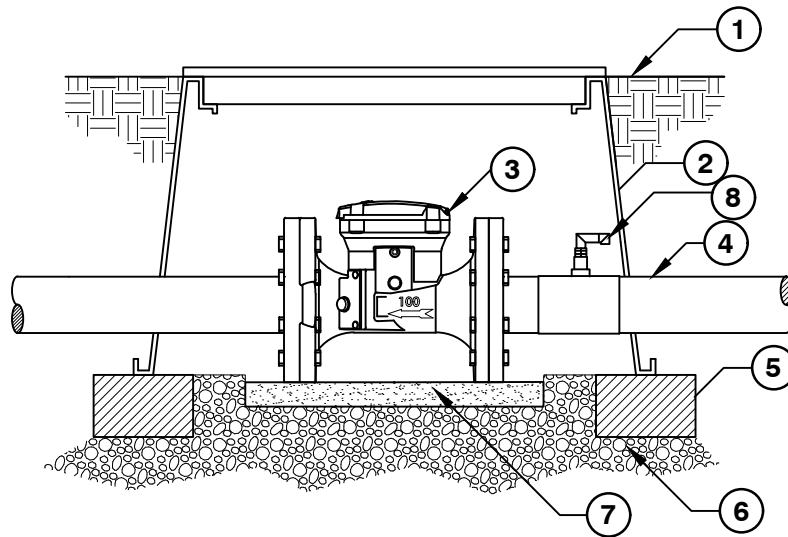
SIDE VIEW



NOTES:

- DO NOT INSTALL ANY OTHER WIRES OR CABLE WITHIN THE SPHERE OF INFLUENCE AREA.
- PLACE 100 LB POWER SET SOIL AMENDMENT WITH EACH PLATE PER MANUFACTURER'S RECOMMENDATIONS.

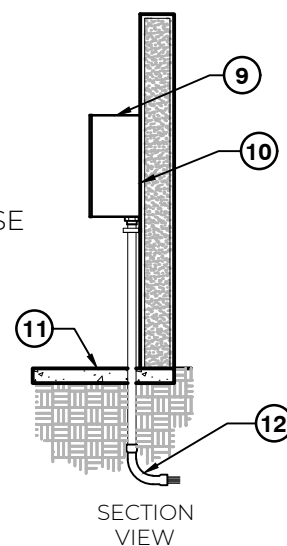
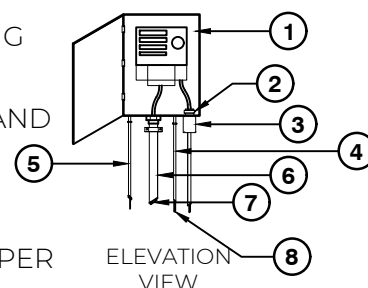
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|-----------------------|-----------------------|
| ① GRADE LEVEL | ⑤ BRICK SUPPORT |
| ② 14" X 19" VALVE BOX | ⑥ 1/2" CRUSHED GRAVEL |
| ③ 4" HYDROMETER | ⑦ CONCRETE PAVER |
| ④ 4" PVC PIPE | ⑧ AIR/VACUUM VENT |



NOTES TO DESIGNER:

1. AT LEAST TWO (2) PIPE DIAMETERS ARE REQUIRED BOTH UP AND DOWN STREAM BETWEEN FLOWHD AND ANY FITTINGS.
2. AT LEAST FIVE (5) PIPE DIAMETERS BETWEEN A PUMP AND THE FLOWHD.
3. INSTALL A COMBINATION AIR/VACUUM OR CONTINUOUS ACTING AIR VENT RIGHT BEFORE THE FLOWHD (SEE INSTALLATION INSTRUCTIONS).

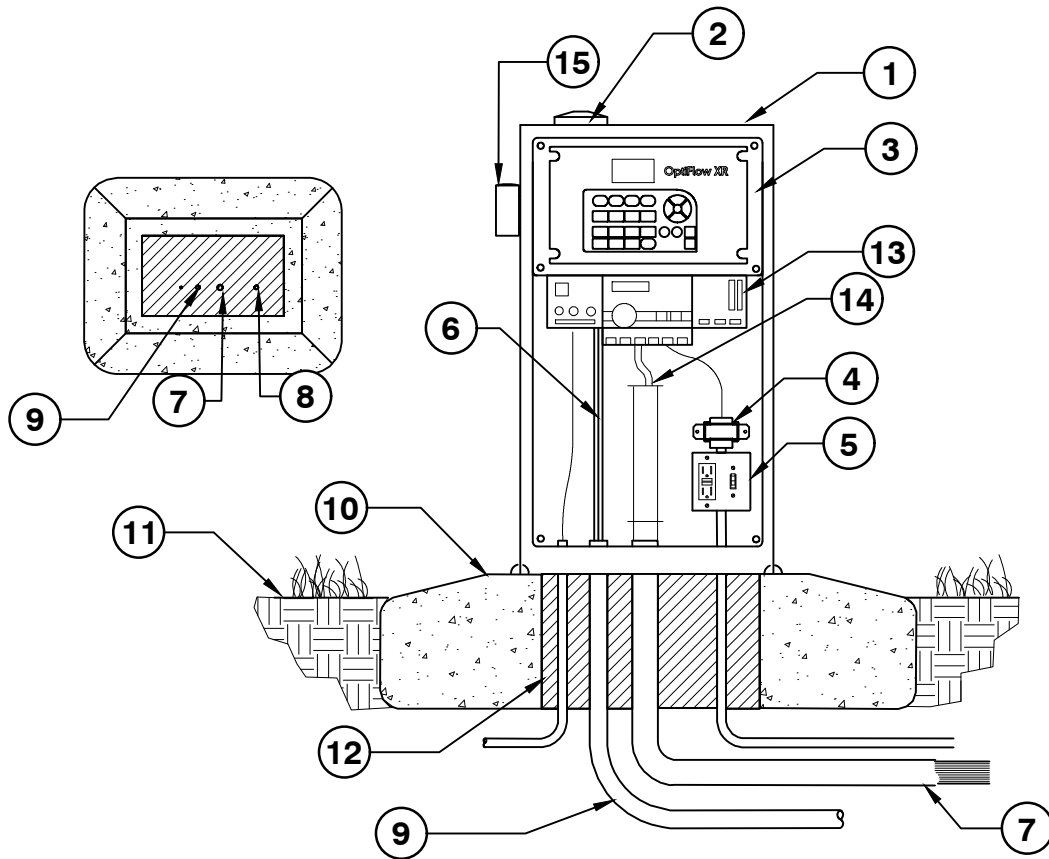
- ① WEATHERTRAK CONTROLLER, MODELS: WTPRO3-C-12/24/48-SWM-CH1 CONVENTIONAL OR WTPRO3-C-2W48-SWM-CH1, 2-WIRE OR CONVENTIONAL, WITHIN STAINLESS STEEL WALL MOUNT ENCLOSURE ASSEMBLY W/ KEY-LOCK. SEE LEGEND FOR SIZE AND OTHER REQUIREMENTS.
- ② WIRELESS RAIN SENSOR (IF SPECIFIED)
- ③ 'J' BOX FOR 110/120 VAC CONNECTION TO CONTROLLER TRANSFORMER.
- ④ 1" SCH. 40 PVC SWEEP ELL AND CONDUIT FOR FLOW SENSOR AND MASTER VALVE WIRE OR HYDROMETER WIRE.
- ⑤ #6 AWG COPPER GROUND WIRE IN CONDUIT. CONNECT TO BUILDING GROUND AS REQUIRED AND PER ASIC GUIDELINES.
- ⑥ 2" PVC SCH. 40 GRAY ELECTRICAL CONDUIT. USE FOR BOTH 2-WIRE AND CONVENTIONAL WIRE OPTIONS.
- ⑦ CONVENTIONAL VALVE OR DECODER WIRES
- ⑧ FLOW SENSOR CABLE AND MASTER VALVE, OR HYDROMETER WIRE PER SPECIFICATIONS.
- ⑨ LOW PROFILE ANTENNA (IF SPECIFIED)
- ⑩ INTERIOR WALL SURFACE, ANCHOR CONTROLLER TO WALL PER MANUFACTURER'S SPECS.
- ⑪ FINISH GRADE INSIDE OF BUILDING
- ⑫ 2" PVC SHC. 40 GRAY ELECTRICAL LONG SWEEP ELL AND CONDUIT. USE FOR BOTH WIRE AND CONVENTIONAL WIRE OPTIONS.



NOTES:

1. CONTRACTOR SHALL COORDINATE WITH PARKS DEPARTMENT FOR ALL CONTROLLER DESIGNS.
2. ALL IRRIGATION CONTROLLERS SHALL BE EQUIPPED WITH A RAIN SENSOR, EVAPOTRANSPIRATION (ET) SENSOR, MASTER VALVE, AND FLOW SENSOR AS APPROVED BY THE HYRUM CITY PARKS DEPARTMENT.
3. CONTROLLERS SHALL BE MOUNTED ON A STABLE WALL, POWER RACK, OR FORMED AND CONSTRUCTED CONCRETE BASE PEDESTAL MOUNT OVER 6" OF COMPACTED GRAVEL. SUBGRADE SHALL BE COMPACTED TO 95%. BOX SHALL BE VANDAL RESISTANT AND WEATHER PROOF AND SHALL NOT BE MOUNTED TO METER BASE.
4. CONTRACTOR/DEVELOPER IS RESPONSIBLE FOR 110 VOLT ELEC. SERVICE. THIS SHALL BE INSPECTED AND APPROVED BY CITY PARKS DEPARTMENT.
5. ALL 100 VOLT WIRES TO BE SUFFICIENTLY SIZED AND CONDUIT BURIED MIN. 24" DEEP.
6. ALL LOCAL, STATE, AND NATIONAL CODES SHALL TAKE PRECEDENCE IN THE FURNISHING AND CONNECTING A 110 VOLT ELECTRICAL SERVICE TO THE CONTROLLER.

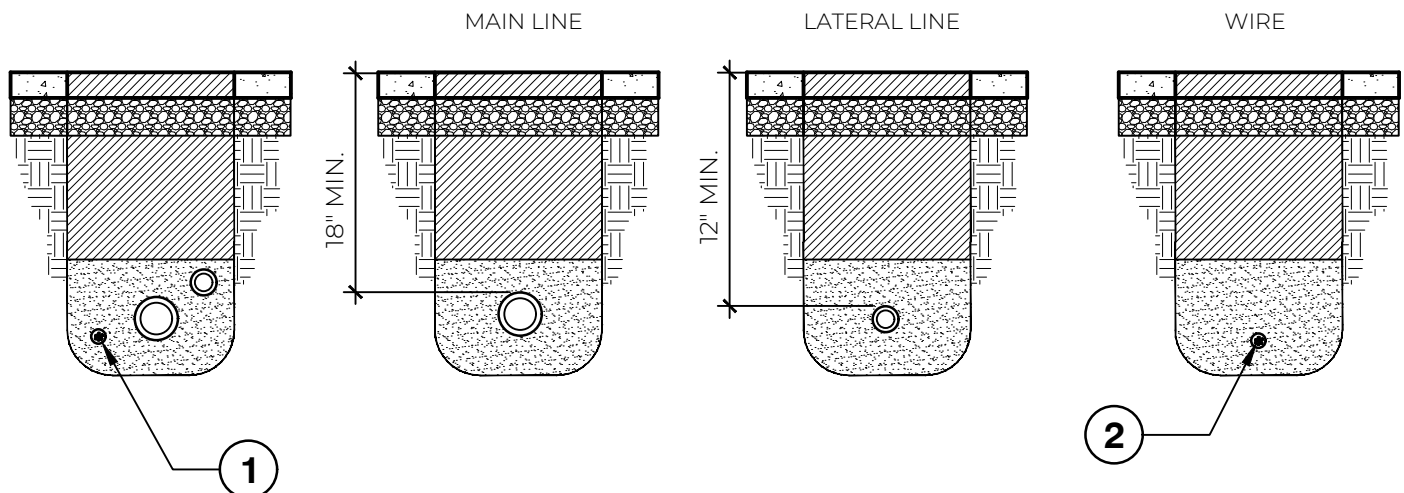
- ① STAINLESS STEEL AUTOMATIC CONTROLLER ENCLOSURE ASSEMBLY. SEE IRRIGATION LEGEND FOR MAKE AND MODEL.
- ② LOW PROFILE ANTENNA
- ③ WEATHERTRAK OPTIFLOW XR 2-WIRE CONTROLLER. SEE DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- ④ CONTROLLER TRANSFORMER.
- ⑤ GFI ON/OFF POWER SWITCH RECEPTACLE. (OPTIONAL)
- ⑥ OPTIONAL CONVENTIONAL FLOW SENSOR CABLE AND MASTER VALVE WIRES PER SPECIFICATIONS.
- ⑦ 3" PVC SWEEP ELL AND CONDUIT FOR CONTROL WIRES.
- ⑧ 1" PVC SWEEP ELL AND CONDUIT FOR 120 VAC FROM METERED POWER SUPPLY.
- ⑨ 2" PVC SWEEP ELL AND CONDUIT FOR OPTIONAL CONVENTIONALLY WIRED FLOW SENSOR AND MASTER VALVE WIRES.
- ⑩ POURED CONCRETE BASE. SLOPE TO DRAIN
- ⑪ FINISH GRADE. 2" BELOW TOP OF CONCRETE BASE.
- ⑫ FILL VOIDS WITH CONCRETE SLURRY MIX.
- ⑬ UNIVERSAL RADIO REMOTE INTERFACE. (TYPICAL)
- ⑭ NEATLY BUNDLE WIRES AND SECURE WITH WIRE TIRES. (TYPICAL)
- ⑮ RAIN SENSOR WITHIN VIT RAIN SENSOR ENCLOSURE (PT# RGVRS) PER SPEC.



NOTE: MINIMUM CONCRETE BASE REQUIREMENTS. CONTRACTOR SHALL VERIFY NUMBER AND SIZE OF CONDUITS REQUIRED FOR EACH ENCLOSURE INSTALLATION. USE ENCLOSURE MANUFACTURER'S TEMPLATE FOR PROPER LAG BOLT PLACEMENT. PROVIDE A MINIMUM 2" OF CONCRETE FROM LAG BOLT TO OPENING IN CONCRETE BASE FOR CONDUITS.

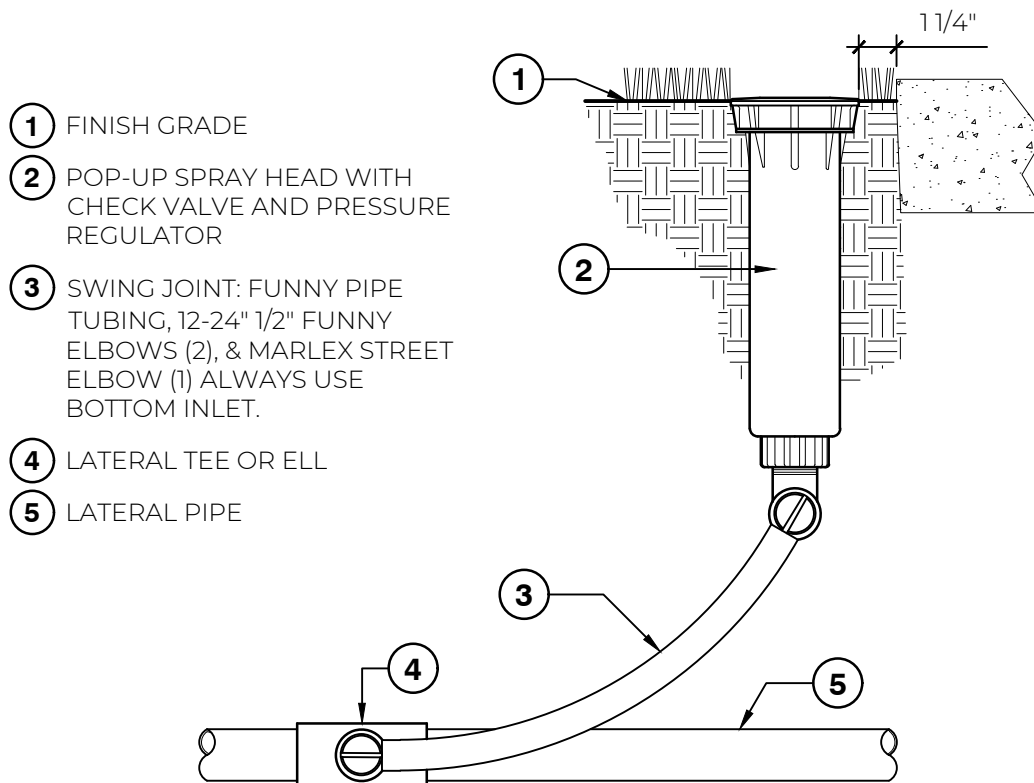
① RUN WIRING BENEATH AND BESIDE MAINLINE

② ALL WIRE SHALL BE IN CONDUIT



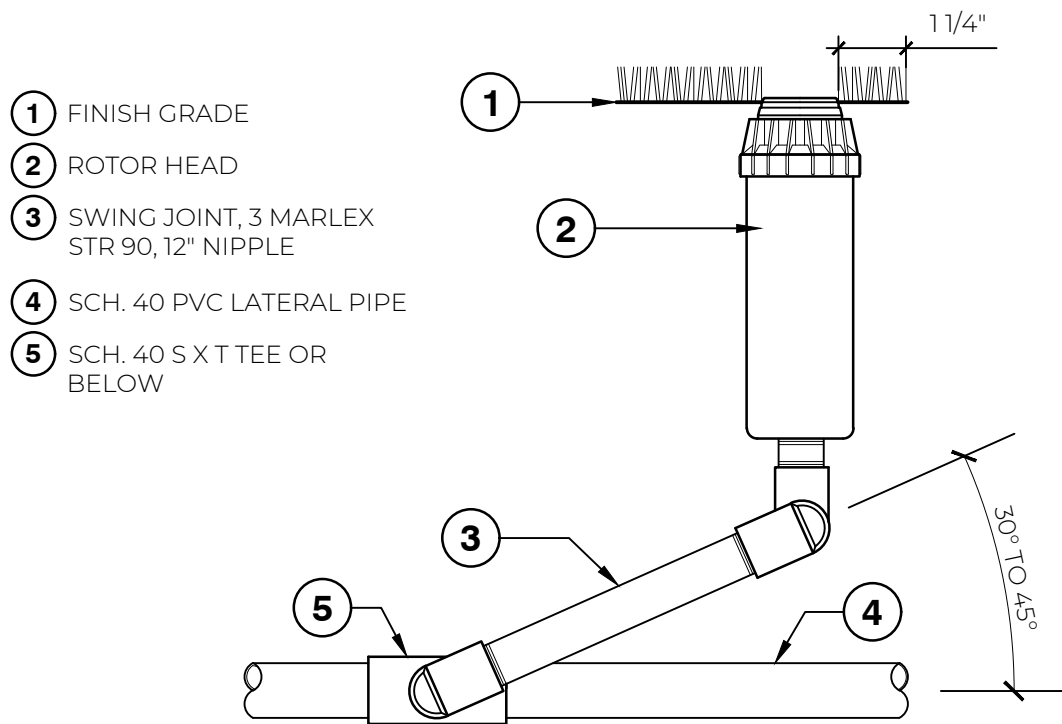
NOTES:

1. SLEEVES SHALL BE TWICE THE DIAMETER OF THE PIPE WITHIN OR WIRE THAT IT CARRIES.
2. PIPE AND WIRE SHALL BE PLACED IN SEPARATE SLEEVES.
3. TRENCHES SHALL BE EXCAVATED 2" BELOW NORMAL TO ALLOW FOR PROPER BEDDING. SELECTED FILL SHALL BE USED IF SOIL CONDITIONS ARE ROCKY.
4. MAIN LINE SHALL HAVE 18-24" COVER TO TOP OF PIPE, LATERAL LINE SHALL HAVE 12" MIN. COVER TO TOP OF PIPE. 4" OF SCREENED FILL SHALL COVER THE PIPE. THE TOP 6" OF COVER SHALL CONTAIN NO ROCKS/AGGREGATES LARGER THAN 2".
5. TRENCH FILL SHALL BE THOROUGHLY COMPACTED AND LEVELED WITH ADJACENT SOIL.
6. PLASTIC PIPE SHALL BE EXTRUDED FROM PVC 1120-1220 COMPOUND AND LABELED AS SUCH. ALL PVC PIPE SHALL BE SCH. 40. ALL MAINLINE FITTINGS SHALL BE SCH. 80.
7. ALL WIRING SHALL BE ENCLOSED IN CONDUIT: CONTROL WIRE, 2-WIRE, POWER WIRE.



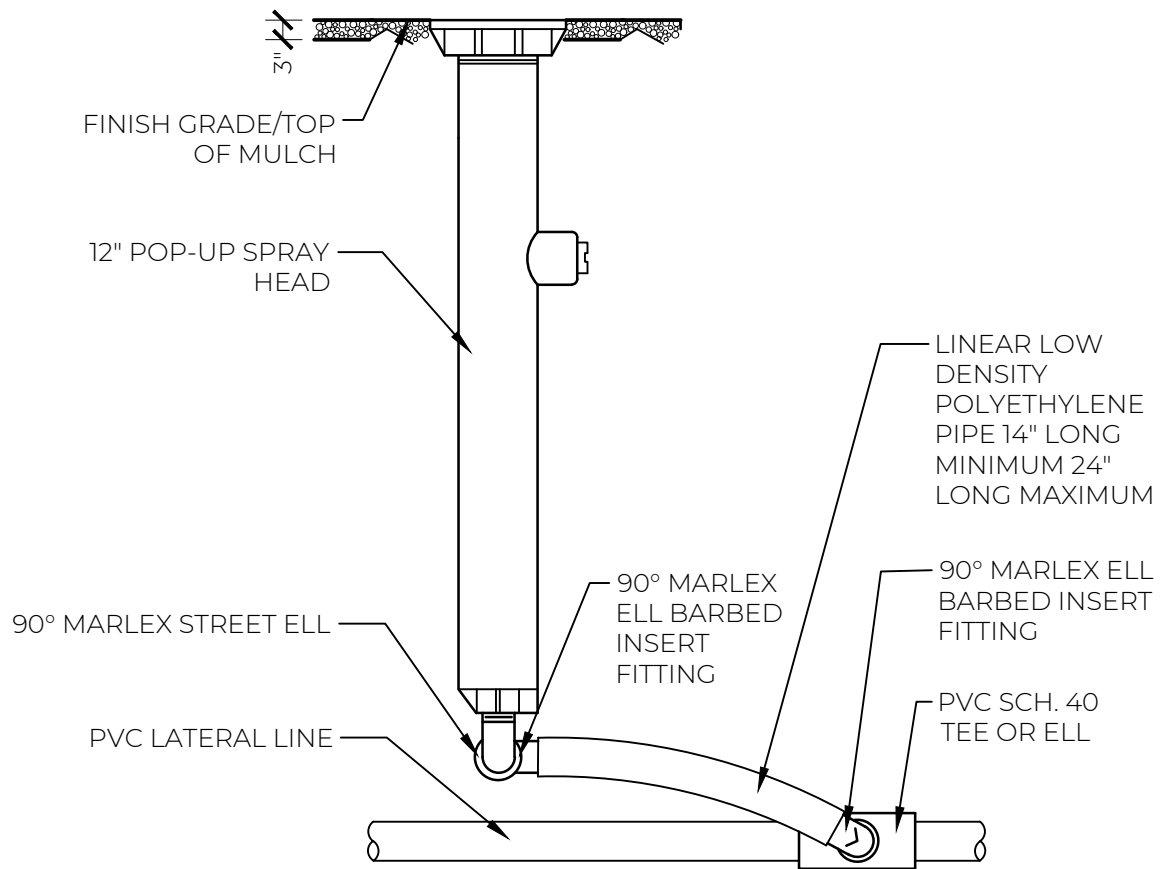
NOTES:

1. ALL SPRINKLER HEADS THAT BE SET TO GRADE & PERPENDICULAR TO THE FINISHED GRADES UNLESS OTHERWISE SPECIFIED. HEADS ADJACENT TO CURBS & WALKS SHALL BE $\frac{1}{2}$ TO 1 INCH AWAY FROM THE CURB OR WALKWAY. ALL NOZZLES SHALL BE TIGHTENED & ADJUSTED FOR THE PROPER RADIUS, ARC, & GALLONAGE.
2. SPRAY POP-UP HEADS SHALL HAVE A DOUBLE SWING JOINT RISER CONSTRUCTED OF FUNNY PIPE, BARBED FITTINGS, & MARLEX STREET ELLS ON THE HEAD SIDE.



NOTES:

1. ALL SPRINKLER HEADS THAT BE SET TO GRADE & PERPENDICULAR TO THE FINISHED GRADES UNLESS OTHERWISE SPECIFIED. HEADS ADJACENT TO CURBS & WALKS SHALL BE $\frac{1}{2}$ TO 1 INCH AWAY FROM THE CURB OR WALKWAY. ALL NOZZLES SHALL BE TIGHTENED & ADJUSTED FOR THE PROPER RADIUS, ARC, & GALLONAGE IMPACT HEADS SHALL NOT BE APPROVED WITHIN HYRUM CITY.
2. ALL ROTOR POP-UP SPRINKLERS SHALL HAVE AN ADJUSTABLE RISER ASSEMBLY (DOUBLE SWING JOINT).
3. 1 - 1/4" MIN. DISTANCE FROM EDGE WHERE OCCURS.



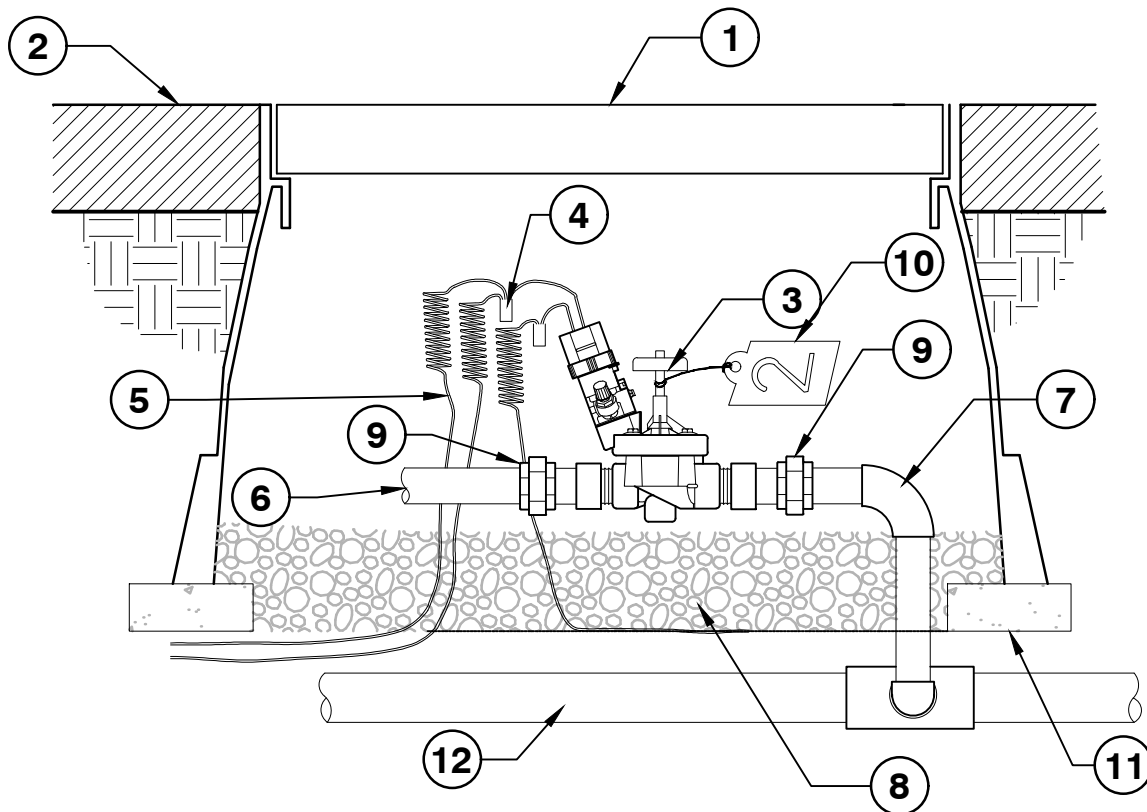
NOTES:

1. ALL SPRINKLER HEADS THAT BE SET TO GRADE & PERPENDICULAR TO THE FINISHED GRADES UNLESS OTHERWISE SPECIFIED. HEADS ADJACENT TO CURBS & WALKS SHALL BE $\frac{1}{2}$ TO 1 INCH AWAY FROM THE CURB OR WALKWAY. ALL NOZZLES SHALL BE TIGHTENED & ADJUSTED FOR THE PROPER RADIUS, ARC, & GALLONS PER MINUTE.
2. SPRAY POP-UP HEADS SHALL HAVE A DOUBLE SWING JOINT RISER CONSTRUCTED OF FUNNY PIPE, BARBED FITTINGS, & MARLEX STREET ELLS ON THE HEAD SIDE.

STANDARD DRAWING

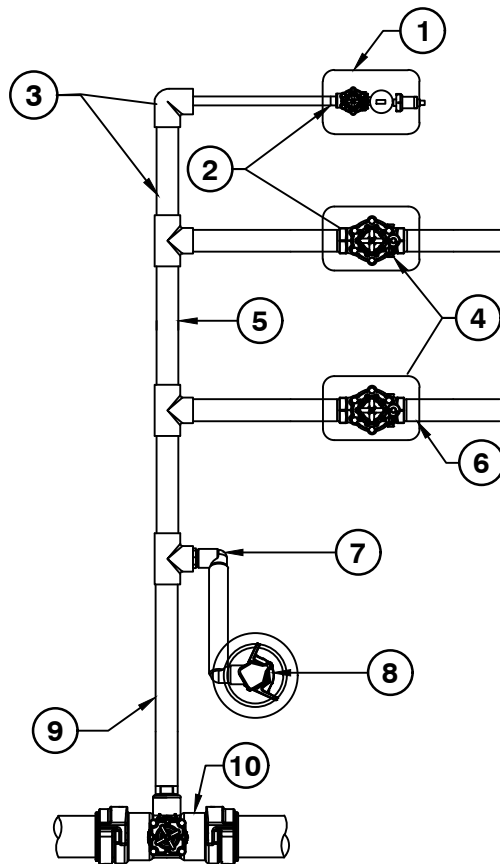
12" POP UP SPRAY HEAD

- | | |
|-----------------------------|--|
| ① STANDARD VALVE BOX | ⑦ SCH. 80 FITTINGS |
| ② FINISH GRADE | ⑧ 3/4" MINUS WASHED GRAVEL |
| ③ REMOTE CONTROL VALVE | ⑨ ACTION MANIFOLD FITTINGS (2 EACH) 18011-X, 18012-X |
| ④ PAIGE WIRE CONNECTORS (2) | ⑩ VALVE #TAG |
| ⑤ 14 AWG PE WIRE | ⑪ BRICK |
| ⑥ SCH. 40 PIPE & FITTINGS | ⑫ MAIN LINE PER PLAN |



NOTES:

1. VALVES SHALL BE AS SPECIFIED ON DRAWINGS AND APPROVAL BY THE PARKS DEPARTMENT.
2. VALVES SHALL BE INSTALLED IN A 17 INCH X 11.75 INCH VALVE BOX (NOTE THIS IS THE MINIMUM SIZE),
3. NO MORE THAN ONE VALVE PER BOX AND VALVES MUST BE POSITIONED SUCH THAT THE TOPS OF THE VALVE CAN BE REMOVED WITHOUT REMOVING THE VALVE BOX.

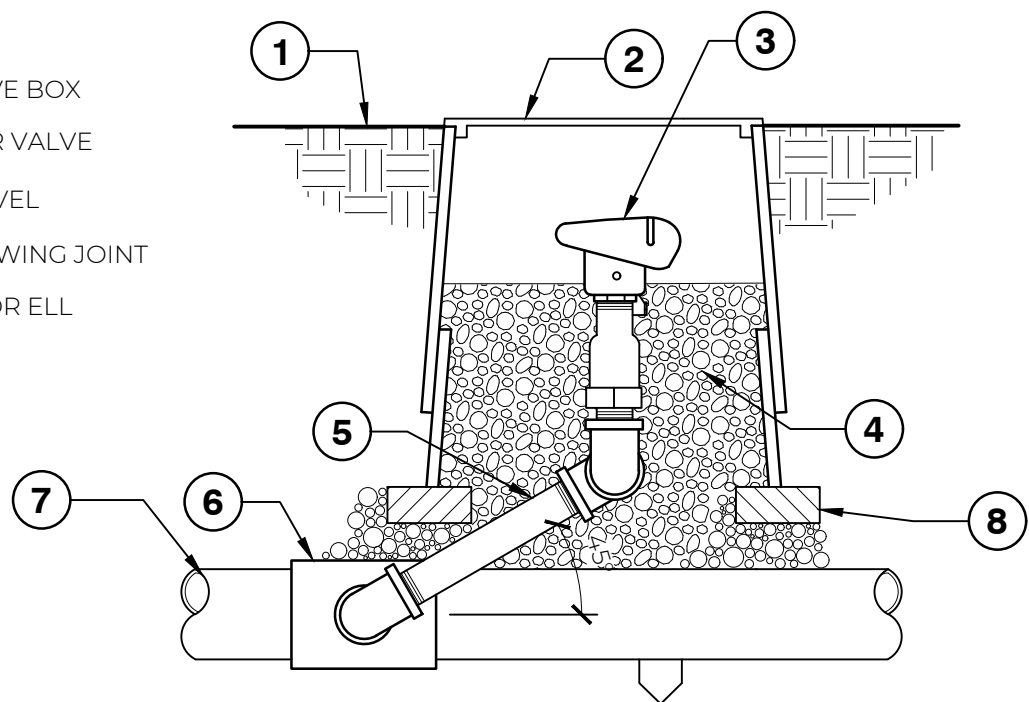


- ① DRIP ZONE, JUMBO VALVE BOX
- ② ACTION MANIFOLD FITTINGS
- ③ **S/80 FITTINGS
- ④ RCV IN CARSON STANDARD 1419 VALVE BOX
- ⑤ **S/40 MANIFOLD MAIN LINE
- ⑥ S/40 COUPLER OR BELL END
- ⑦ UNITIZED SWING JOINT (LASCO)
- ⑧ QUICK COUPLER IN 10" BOX
- ⑨ **S/80 TOE NIPPLE
- ⑩ DUCTILE IRON LATERAL TEE AND LATERAL VALVE

NOTES:

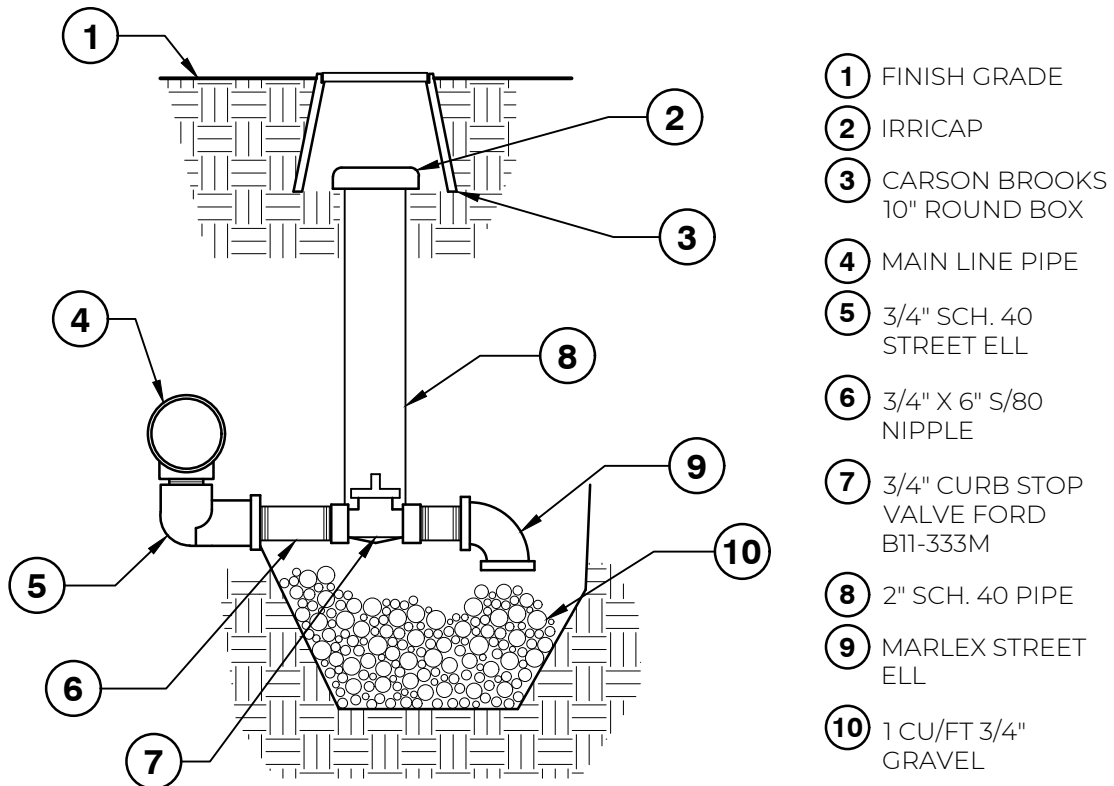
1. **INDICATES COMPONENT SHALL BE SAME SIZE AS LARGEST LATERAL ON THIS MANIFOLD.
2. DOWNSTREAM OF BALL VALVE: MANIFOLD FITTINGS SHALL BE SCH. 80, PVC PIPE SHALL BE SCH. 40.
3. QUICK COUPLERS ARE NOT REQUIRED AT EVERY MANIFOLD. SEE PLAN FOR LOCATIONS.
4. ALL CONTROL VALVE MANIFOLDS SHALL INCLUDE BALL VALVE AND UNION FITTING ON INLET AND OUTLET SIDES OF VALVE.

- ① FINISH GRADE
- ② 10" ROUND VALVE BOX
- ③ QUICK COUPLER VALVE
- ④ 3/4" MINUS GRAVEL
- ⑤ FACTORY MFG SWING JOINT
- ⑥ MAIN LINE TEE OR ELL
- ⑦ MAIN LINE PIPE
- ⑧ BRICK



NOTES:

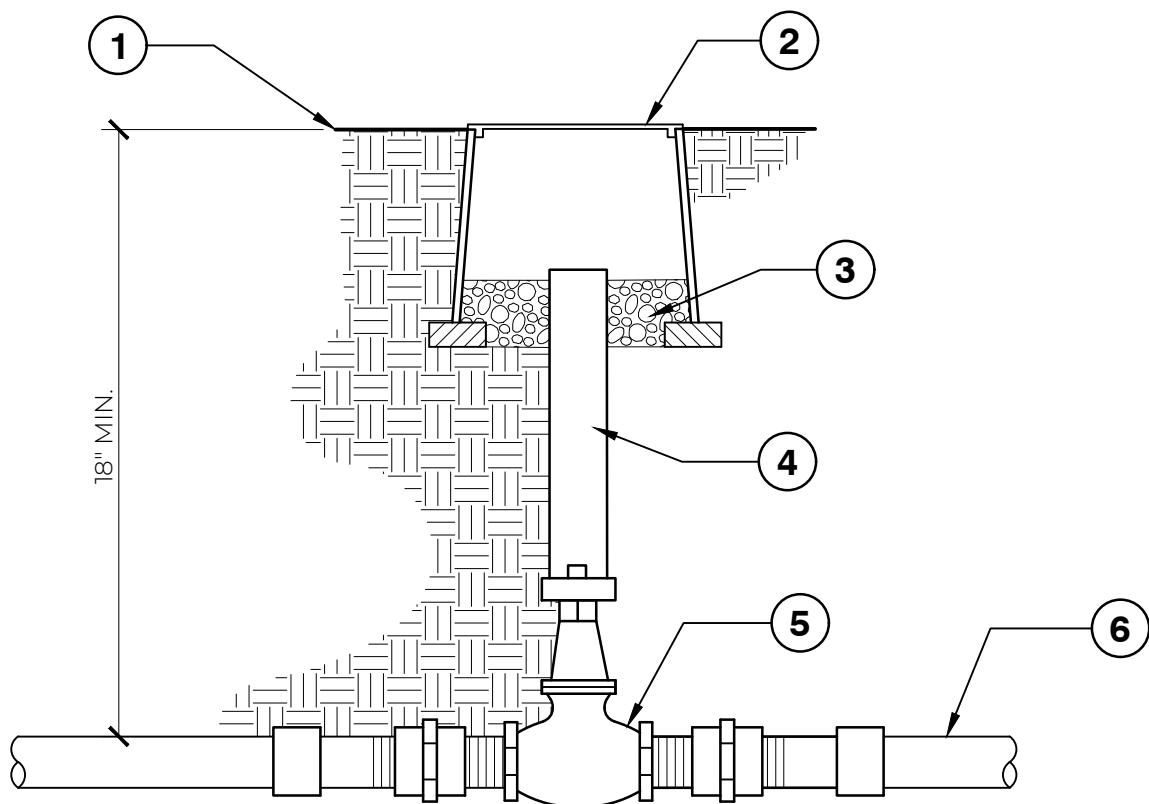
1. A QUICK COUPLING VALVE SHALL BE INSTALLED ON ALL MAIN LINES IMMEDIATELY AFTER THE BACKFLOW PREVENTION DEVICE. IN ADDITION, A QUICK COUPLING VALVE SHALL BE INSTALLED AT VALVE BOX CLUSTERS PER PLANS (SEE VALVE MANIFOLD DETAILS). ALL QUICK COUPLER VALVES SHALL BE INSTALLED IN A 10" ROUND VALVE BOX.
2. ALL QUICK COUPLING VALVE KEYS SHALL HAVE A HOSE SWIVEL ATTACHED TO THE KEY. ONE KEY TO BE TURNED OVER TO THE CITY PARKS DEPARTMENT AT COMPLETION OF THE PROJECT.



NOTE:

1. ADD MANUAL DRAIN LINE TO LOW SPOT ON IRRIGATION MAINLINE.

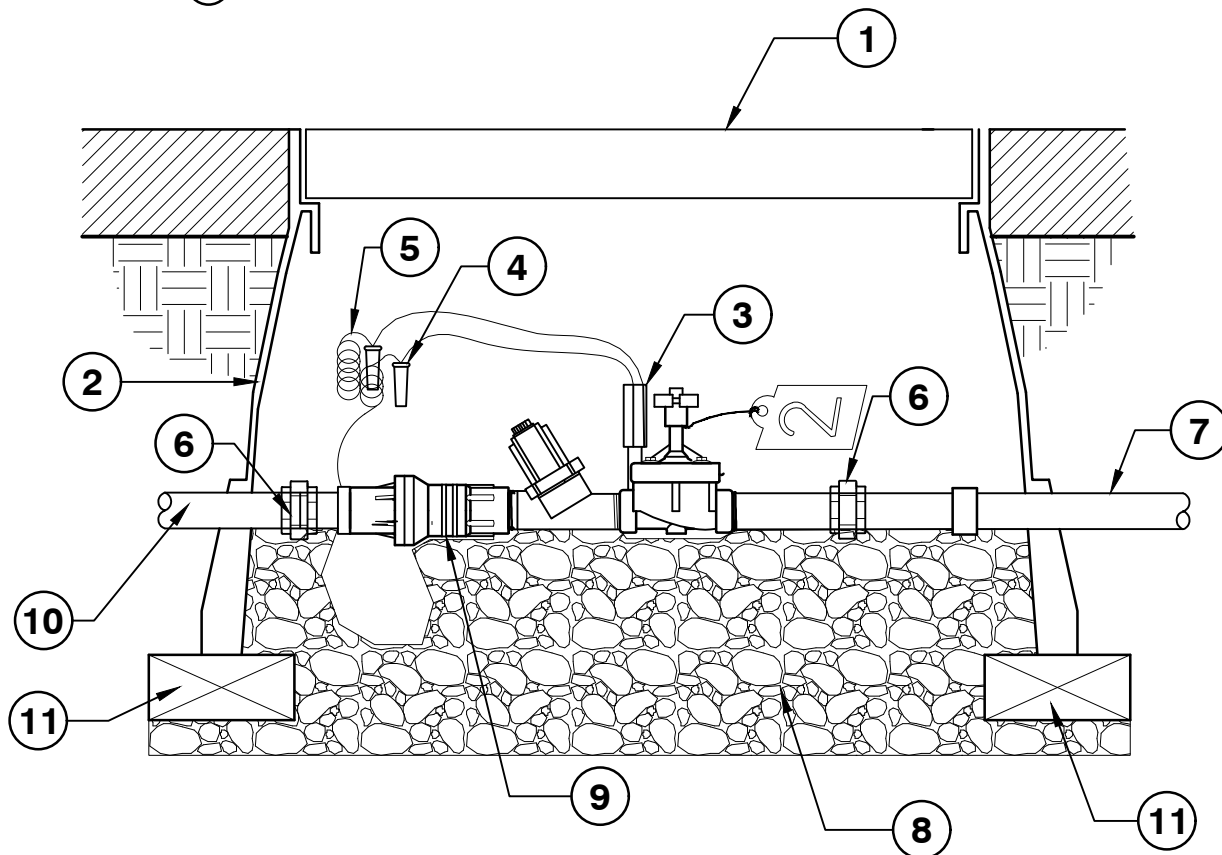
- ① FINISH GRADE
- ② 10" CARSON BROOKS ROUND VALVE BOX
- ③ 3/4" WASHED GRAVEL
- ④ 6" CL/200 SLEEVE
- ⑤ LEEMCO D/I R/W VALVE
- ⑥ MAIN LINE PIPE



NOTES:

1. ALL GATE VALVES SHALL BE RESILIENT WEDGE WITH SQUARE KEY OR DOMESTIC MANUFACTURE NON RISING STEAM. 2001B WATER, OIL, GAS RATED.
2. ALL GATE VALVES SHALL BE INSTALLED WITH VALVE BOXES. SIX OF TWELVE INCH EXTENSIONS SHALL BE ADDED WHEN NECESSARY TO BRING THE VALVE BOXES LEVEL WITH FINISH GRADE.
3. ADD ISOLATION VALVE EVERY 500 FEET OF MAIN LINE MINIMUM.

- ① JUMBO VALVE BOX
- ② WRAP BOX IN DEWITT PRO 5 W/4 BRICKS UNDERNEATH
- ③ DRIP ZONE KIT MODEL PER PLAN TIP FILTER 45 DEGREES
- ④ PAIGE WIRE CONNECTORS (2)
- ⑤ 14 AWG PE WIRE. PLACED INSIDE OF MIN 1-1/2" CONDUIT, 4" ABOVE BOX FLOOR
- ⑥ ACTION MANIFOLD FITTINGS
- ⑦ MAIN LINE PIPE, SCH. 80 FITTINGS
- ⑧ 3/4" MINUS WASHED GRAVEL
- ⑨ REGULATOR: 25 OR 40 PSI
- ⑩ LATERAL LINE PIPE, SCH. 40 FITTINGS
- ⑪ BRICK



NOTE:
ALL "DRIP" SPRINKLER SYSTEMS SHALL BE EQUIPPED WITH A
LOW FLOW VALVE AND PRESSURE REDUCING FILTER AS
APPROVED BY THE HYRUM CITY PARKS DEPARTMENT.

