



## PLANNING COMMISSION MEETING

Thursday, March 14, 2024 at 6:30 PM  
Council Chambers, 60 West Main, Hyrum, Utah

### AGENDA

Public notice is hereby given of a Hyrum Planning Commission Meeting to be held in the Council Chambers, 60 West Main, Hyrum, Utah at 6:30 PM, March 14, 2024. The proposed agenda is as follows:

1. **ROLL CALL**
2. **PLEDGE OF ALLEGIANCE**
3. **INVOCATION**
4. **APPROVAL OF MINUTES**
  - A. February 8, 2024
5. **AGENDA APPROVAL**
6. **SCHEDULED DELEGATIONS**
  - A. Dominion Energy - seeking site plan approval for a pressure regulation station to serve Hyrum for existing and future customers.
7. **OTHER BUSINESS**
  - A. PC Terms - To review appointment terms of Planning Commission members.
8. **ADJOURNMENT**

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**Shara Toone**  
**Secretary**

Commission Members may participate in the meeting via telephonic communication. If a Commission Member does participate via telephonic communication, the Commission Member will be on speakerphone. The speakerphone will be amplified so that the other Commission Members and all other persons present in the Commission Chambers will be able to hear all discussions. In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify Hyrum City Planning Commission at 435-245-6033 at least three working days before the meeting.

**CERTIFICATE OF POSTING** - The undersigned, duly appointed and acting City Secretary of Hyrum City, Utah, does hereby certify that a copy of the foregoing Notice was posted on the Utah Public Notice Website and Hyrum City's Website, provided to each member of the governing body, and posted at the City Offices, 60 West Main, Hyrum, Utah, this 11th day of March, 2024. Shara Toone, Secretary

MINUTES OF A REGULAR MEETING OF THE HYRUM CITY PLANNING COMMISSION HELD February 8, 2024 AT THE HYRUM CITY COUNCIL CHAMBERS, 60 WEST MAIN, HYRUM, UTAH.

**CONVENED:** 6:30 P.M.

**CONDUCTING:** Chairman Paul Willardson

**PRESENT:** Chairman Paul Willardson, Vice Chairman Blake Foster, Commissioners Angi Bair, Brian Carver, and Stephen Nelson.

**EXCUSED:**

**CALL TO ORDER:** There being five members present and five members representing a quorum, Chairman Paul Willardson called the meeting to order.

**OTHERS PRESENT:** Zoning Administrator Matt Holmes and three citizens. Secretary Shara Toone recorded the minutes.

**PLEDGE OF ALLEGIANCE:** Commissioner Angi Bair led the governing body and the citizens in the Pledge of Allegiance.

**INVOCATION:** Commissioner Stephen Nelson

**APPROVAL OF MINUTES:**

The minutes of a regular meeting held on January 11, 2024 were approved as written.

**ACTION** Commissioner Angi Bair made a motion to approve the minutes of January 11, 2024 as written. Commissioner Blake Foster seconded the motion and Commissioners Bair, Carver, Foster, Nelson, and Willardson voted aye.

**AGENDA APPROVAL:**

A copy of the notice and agenda for this meeting was posted on the Utah Public Notice Website and Hyrum City's website, distributed to each member of the Planning Commission, and posted at the City Offices more than forty-eight hours before meeting time.

**ACTION** Commissioner Stephen Nelson made a motion to approve the agenda for February 8, 2024 as written. Commissioner Angi Bair seconded the motion and Commissioners Bair, Carver, Foster, Nelson, and Willardson voted aye.

6. SCHEDULED DELEGATIONS

A. Annual Planning Commission Review

I. Election of Planning Commission Chairman and Vice Chairman.

II. Review appointment terms of Planning Commission members.

III. Set meeting schedule for the year.

IV. Review past years work-conducted by Chairman

V. Review plans for the coming year.

B. Steve Miller-seeking site plan approval to add two storage buildings on Parcel 01-002-0027. This property consists of 0.18 acres.

C. Matt Nielson-seeking an approval of a preliminary plat for a 17 lot subdivision on approximately 7.85 acres.

7. ADJOURNMENT

**SCHEDULED DELEGATIONS:**

**ANNUAL PLANNING COMMISSION REVIEW:**

**Election of Planning Commission Chairman and Vice Chairman.**

**ACTION** Chairman Paul Willardson made a motion to appoint Brian Carver as Planning Commission Chairman for 2024. Commissioner Stephen Nelson seconded the motion and Commissioners Bair, Carver, Foster, Nelson, and Willardson voted aye.

**ACTION** Commissioner Stephen Nelson made a motion to appoint Angi Bair as Planning Commission Vice Chairman for 2024. Commissioner Brian Carver seconded the motion and Commissioners Bair, Carver, Foster, Nelson, and Willardson voted aye.

**Review appointment terms of Planning Commission members.**

Chairman Paul Willardson advised the appointment terms for each member.

Chairman Paul Willardson said he would like to look at those next meeting.

**Set meeting schedule for the year.**

The Planning Commission agreed to keep the regular Planning Commission Meetings on the second Thursday of each month at 6:30 P.M.

**ACTION**

**Commissioner Brian Carver made a motion to approve the meeting schedule for the 2024 year. Commissioner Stephen Nelson seconded the motion and Commissioners Bair, Carver, Foster, Nelson, and Willardson voted aye.**

**Review past years work-conducted by Chairman.**

Chairman Paul Willardson conducted the review on agenda items approved in 2023. He also gave updates on the progress of previously approved subdivisions.

**Review plans for the coming year.**

Chairman Paul Willardson said that they had discussed affordable housing and different zoning in places. He said he thought Hyrum City was going to send out a Request for Proposal to help update the general plan of the city and get input on how to accommodate some of the things that they have been discussing.

Zoning Administrator Matt Holmes said they have not gotten the RFP out yet. He said the city is doing a water and sewer study, and they do not want to be doing everything all at once. Matt said they want the information from those studies before they release the general plan, but the general plan should be coming up in the next couple of months.

Commissioner Stephen Nelson asked if the amendment to the subdivision ordinance was approved.

Zoning Administrator Matt Holmes said there are a few things that the City Council want changed on it. He said the City Council will tentatively approve it at their next meeting.

**STEVE MILLER-SEEKING SITE PLAN APPROVAL TO ADD TWO STORAGE BUILDING ON PARCEL 01-002-0027. THIS PROPERTY CONSISTS OF 0.18 ACRES AND IS LOCATED AT 105 SOUTH HAMMER ROAD (1600 EAST)**

Steve Miller said he would like to build a storage unit close to his home where he can store his boat, patio furniture, etc. He said he is hoping the buildings will incentivize the neighbors to clean up their properties. Steve said the building will be metal with metal garage doors.

Commissioner Angi Bair asked if the right of way goes to lot 01-002-0022, and if the building would affect the property owner's access to the road.

Zoning Administrator Matt Holmes asked if Steve sized the building to allow access to the gate that Timberwolf has.

Steve said he moved the fence in accordance to the property line, and the buildings will have no impact on the right of way.

Commissioner Angi Bair asked if there are set back requirements.

Zoning Administrator Matt Holmes said in the industrial area, there is a 30 ft setback from the road, but no requirements from the property lines.

Commissioner Stephen Nelson asked if there is a separation of buildings requirement. He said it looks like the buildings are right on the property line, and fire code usually requires ten feet separation, unless some kind of fire conditioning is done.

Commissioner Stephen Nelson said the buildings will take up a large portion of the property. He asked how Steve planned to clear snow from the property, and how he was going to manage runoff from the buildings.

Steve Miller said he plans to push snow to the south of the north building and to the eastside, between Timberwolf's overhead door and their fence. He said there is a lot of area for snow storage.

Commissioner Paul Willardson asked how Steve will handle the runoff from the roof.

Steve Miller said the roof of the building will slope to the north into a rain gutter, and the rain gutter will bring the

runoff to the west side of the property.

Commissioner Paul Willardson asked if there will be concrete pads around the buildings.

Steve Miller responded that he will set the buildings on concrete with a small apron in front. He said the north building will have a small apron out to the right of way.

Commissioner Brian Carver asked where the rain gutters will drain to.

Steve Miller responded that the storm water will drain out to the dirt surface.

Commissioner Brian Carver questioned if that would be adequate to manage the storm water.

Commissioner Stephen Nelson asked if there was a landscape and light plan.

Steve Miller said he is not planning to put electricity in the building and he does not have water access to the building. He said he is willing to plant what is necessary.

Commissioner Angi Bair said she does not think landscaping is important since the building is not on Hammer Road.

Commissioner Stephen Nelson asked if there was a groundcover plan for the areas that are not covered by the buildings.

Steve Miller said he will probably keep it gravel.

**ACTION**

**Commissioner Brian Carver made a motion to recommend approval to add two storage buildings on Parcel 01-002-0027, contingent on Steve Miller providing an acceptable plan for managing storm water and keeping it on his property. Commissioner Blake Foster seconded the motion and Commissioners Bair, Carver, Foster, Mann, and Nelson voted aye.**

**MATT NIELSON- SEEKING APPROVAL OF A PRELIMINARY PLAT FOR A 17 LOT SUBDIVISION ON APPROXIMATELY 7.85 ACRES.**

Matt Nielson said he has been to City Council and he has

corrected everything that they required. He said he is ready to move forward.

Commissioner Paul Willardson said it looks like the storm water is going to be stored between the sidewalks and the curbing in swells, underground, made of gravel.

Zoning Administrator Matt Holmes asked if there was a water table study done.

Matt Nielson answered that there has been a lot of things done in the area.

Commissioner Angi Bair said it would be good to have a study done.

Commissioner Stephen Nelson asked if Matt Nielson was prepared to address all of the red items on the plat.

Matt Nielson said he was willing to address all of the red items on the plat.

Commissioner Stephen Nelson asked if other neighborhoods use low impact development storm water retention.

Zoning Administrator Matt Holmes responded that most of the developers use sumps, but because of the high groundwater in the area, there is no way to do a sump and get rain water into the ground, as well. He explained that is why they have approved swells for some of the subdivisions in the area, and that there is no way to do proper sumps for this subdivision.

Commissioner Stephen Nelson asked if there was a way to manage the swells, or make sure they don't get filled in.

Zoning Administrator Matt Holmes said this summer, Hyrum City is going to be able to hire more people to inspect the swells.

Commissioner Stephen Nelson asked if there are any required notes on the plat about not being able to fill in swells on the property.

Zoning Administrator Matt Holmes said there is a comment on the plat stating that all swells shall not be filled in and need to maintain minimum storage as designed.

Commissioner Angi Bair asked if they would need to dig the



swell deeper if the ground water was at 3ft.

Zoning Administrator Matt Holmes responded that Matt Nielson would need to find a way to accommodate for the extra water storage.

Commissioner Angi Bair asked if that is something that can be addressed in the final plat.

Zoning Administrator Matt Holmes said he has commented on the plat that driveway aprons can only be 20 feet to avoid extra standing water. He added that there is a Rocky Mountain Power line that runs on the south end of the property that may need to be moved or put underground.

Chairman Paul Willardson asked if Rocky Mountain Power will service the homes in this subdivision.

Zoning Administrator Matt Holmes answered that Rocky Mountain Power services the houses west of the subdivision, that are still in the county. He added that part of the condition the City Council included on the concept plan, was that the lots marked with red will not have access to 1100 South, to reduce the number of people backing onto the street.

Commissioner Stephen Nelson asked how wide the asphalt will be on the north section along 1050 South.

Zoning Administrator Matt Holmes said it will be 33 feet total Width: 13 feet for the swell and sidewalk, and 20 feet of pavement for the actual road.

**ACTION**

**Commissioner Stephen Nelson made a motion to recommend approval for a preliminary plat for a 17 lot subdivision on approximately 7.85 acres, subject to the applicant addressing and fixing the redlines on the plat, as notated by staff. Commissioner Blake Foster seconded the motion and Commissioners Bair, Carver, Foster, Mann, and Nelson voted aye.**

**ADJOURNMENT:**

**ACTION**

**There being no further business before the Planning Commission, the meeting adjourned at 7:40 p.m.**

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Paul Willardson  
Chairman

ATTEST:

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Shara Toone  
Secretary

Approved: \_\_\_\_\_  
As Written

**DOMINION ENERGY**  
**SITE PLAN**  
**PLANNING COMMISSION MEETING**  
**MARCH 14, 2024**

Summary: Dominion Energy is seeking site plan approval for a pressure regulation station to serve Hyrum for existing and future customers.

ZONING: M-1 Light Manufacturing

UTILITIES:

Power:	Solar
Culinary:	Existing
Sewer:	None
Irrigation:	N/A

PARKING & ROADS: N/A

NOTES: Curb and gutter should be provided if concrete driveways are desired.

### Checklist for Site Plan Approval Process:

1. Determine if the proposed development is non-residential or multi-family dwellings (excluding accessory apartments).
2. Check if the proposed development qualifies for waiver of site plan approval. employees (City Administrator, Recorder, and Zoning Administrator shall approve the waiver)
  - Reoccupation of an existing site within one year with minimal changes.
  - Expansion of an existing business by less than 25% and not exceeding 1000 square feet with minimal impact.
3. Review the site plan for the following information:
  - Location of main and accessory buildings.
  - Traffic circulation features.
  - Height and bulk of buildings.
  - Off-street parking provision.
  - Driveways for ingress and egress.
  - Other space provisions on the site.
  - Signage display.
  - Property owner's name and address.
  - Provisions required by Fire Officials.
  - Snow removal provisions.
  - Landscaping, fences, and walls as per regulations.
  - Privacy fencing for outside storage.
  - Fencing for litter and garbage control.

#### Notes:

Planning Commission recommends approval of the site plan, possibly with or without conditions or requirements.

City Council may administratively approve or deny the application.

Appeal must be made to the Administrative Appeals Authority within ten calendar days of the final decision.

Upon site plan approval, prepare construction drawings for any public works construction or improvement for approval by the City Engineer.

Approval of the site plan is valid for one year from the date of final approval by the City Council. If construction has not begun during this period, the approval becomes void, and a new site plan must be submitted for review and approval.

### GENERAL STRUCTURAL NOTES

#### 1. 2018 International Building Code Design Criteria (ASCE 7-16)

- A. Roof Dead Load . . . . . 5 psf
- B. Roof Live Load . . . . . 20 psf
- C. Roof Snow Load Data
  - Ground Snow Load  $P_g$  . . . . . 57.0 psf
  - Flat-Roof Snow Load  $P_f$  . . . . . 57.5 psf
  - Slope Factor  $C_s$  . . . . . 1.0
  - Exposure Factor  $C_e$  . . . . . 1.0
  - Importance Factor  $I_s$  . . . . . 1.2
  - Thermal Factor  $C_t$  . . . . . 1.2
- D. Rainfall Intensity . . . . . 1.5 Inches Per Hour
- E. Wind Design Data
  - Basic Design Wind Speed  $V$  . . . . . 115 mph
  - Nominal Design Wind Speed  $V_{nd}$  . . . . . 89 mph
  - Risk Category . . . . . IV
  - Exposure . . . . . C
- F. Component & Cladding . . . . . 49.0 psf Roof 39.1 psf Wall
- G. Earthquake Design Data
  - Risk Category . . . . . IV
  - Importance Factor  $I_e$  . . . . . 1.5
  - Mapped Spectral Parameters
    - $S_s$  . . . . . 1.250g
    - $S_1$  . . . . . 0.500g
  - Site Class . . . . . D (Default)
  - Design Spectral Parameters
    - $S_{DS}$  . . . . . 0.833g
    - $S_{D1}$  . . . . . 0.533g
  - Seismic Design Category . . . . . D
  - Seismic Force Resisting System . . . . . Steel ordinary moment frames
  - Seismic Response Coefficient  $C_s$  . . . . . 0.357
  - Response Modification Factor  $R$  . . . . . 3.5
  - Analysis Procedure . . . . . Equivalent Lateral Force Procedure
- H. Frost Depth . . . . . As Required Per Local Requirements

#### 2. Structural Steel

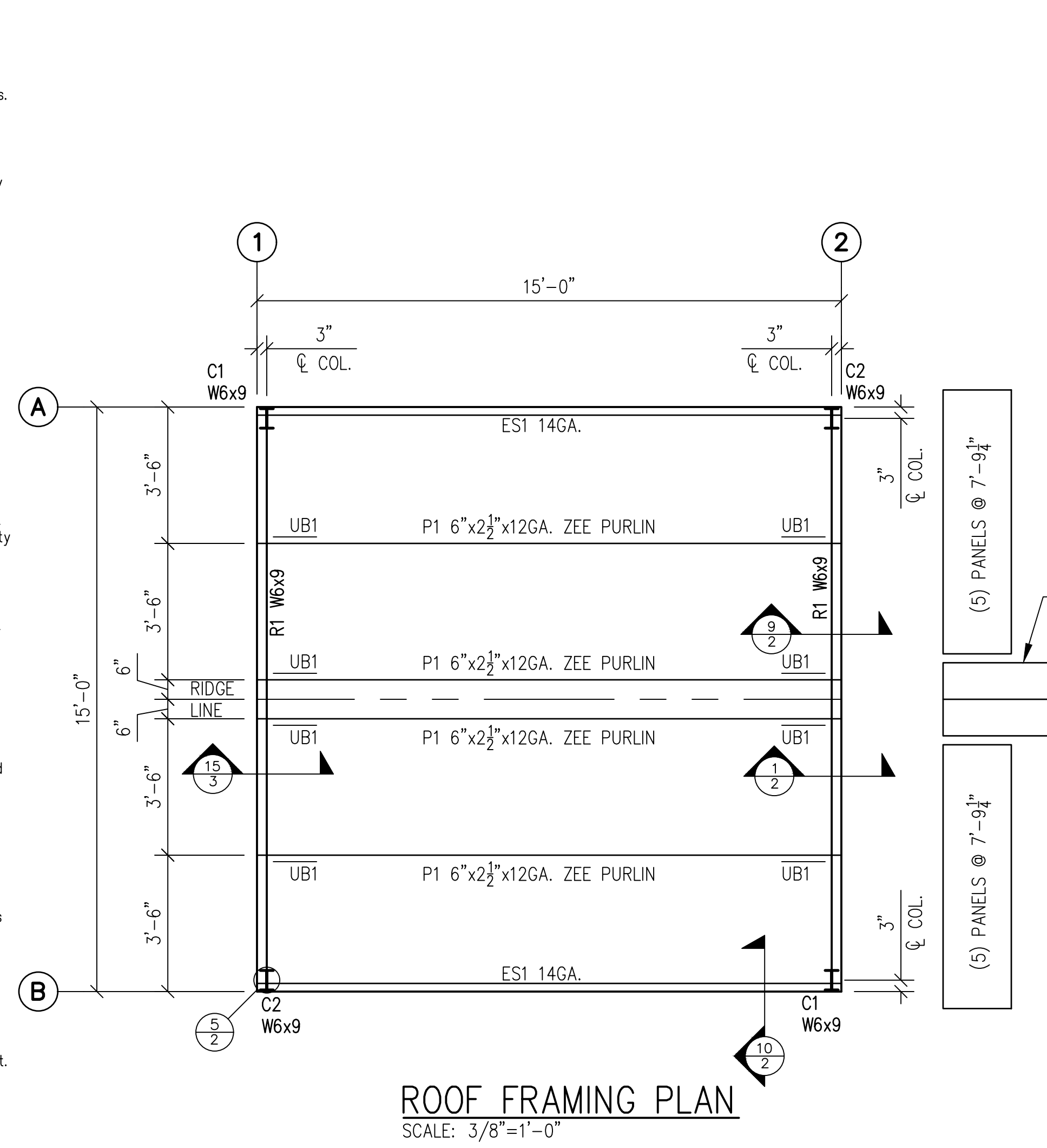
- A. Material:
  - i. Angles, Plates, and Channels: ASTM A36 ( $F_y = 36$  k.s.i.)
  - ii. Wide Flanges: ASTM A992 ( $F_y = 50$  k.s.i.)
  - iii. Tubes (HSS): ASTM A500, Grade B ( $F_y = 46$  k.s.i.)
  - iv. Pipes: ASTM A53, Grade B ( $F_y = 35$  k.s.i.)
- B. Fabrication and construction shall comply with the latest edition of the following Codes and Standards:
  - i. American Institute of Steel Construction (AISC) "Specification for Structural Steel Buildings." (360-10)
  - ii. AISC "Seismic Provisions for Structural Steel Buildings," including supplement No. 1 (341-10)
  - iii. AISC "Code of Standard Practice."
  - iv. RCSC "Specification for Structural Joints Using ASTM A325 or A490 Bolts."
  - v. Steel Joist Institute (SJI), "Standard Specifications and Code of Standard Practice."
  - vi. American Welding Society (AWS), Structural Welding Code (specific items do not apply when they conflict with the AISC requirements).
  - vii. American Iron and Steel Institute (AISI), "Specification for the Design of Cold-Formed Steel Structural Members."
- C. Welding:
  - i. Certification of Welders: All shop and field welding shall be executed by AWS certified welders. Certification shall be considered current if dated within the past 12 months. Welders will be considered certified if they have been certified by AWS and their work records are current within every six month period thereafter as required by AWS. Certification and records must comply with AWS Standards. Certification and appropriate records must be provided to the inspector prior to beginning work.
  - ii. Electrodes: E-70XX or as noted otherwise. E-60XX may be used for welding steel floor and roof decks.
  - iii. Minimum Welds: All intersecting steel shapes which are not bolted shall be connected by a fillet weld all around, unless noted otherwise.
  - iv. Welded reinforcing bars shall be ASTM A706 Grade 60.
- D. Bolted Connections:
  - i. Use ASTM A325N bolts for hot-rolled steel to steel (e.g. girder to column, rafter to column/cap plate, beam to beam, etc.) connections unless noted otherwise in the drawings. All connections shall conform to the RCSC "Specification for Structural Joints Using ASTM A325 or A490 Bolts".
  - ii. A325 bolts shall be pretensioned using an acceptable method such as "Turn of the Nut" as per the RCSC Specification Section 8.2 at all 8-bolt wide flange to wide flange ridge and haunch connections only.
  - iii. All other A325 bolts shall be fully tightened to the "Snug Tight" condition in accordance with the RCSC Specification Section 8.1.
- E. Provide full height web stiffener plates to each side of all beams bearing on top of columns. Plate thickness shall match the thickness of the beam web except that the thickness need not exceed 1/4" unless noted otherwise on drawings.
- F. All structural steel, except plates embedded in concrete or masonry, to have one coat (min.) of gray shop primer, 1.5 mil minimum thickness.
- G. Cold Formed Girts & Purlins:
  - i. All cold formed cees, zeos, and eave struts shall be MBCI standard or equal.
  - ii. All girt and purlin connection bolts shall be GR-5 or equal.
- H. Use 26 gauge roof and wall panels with trims as required.
- J. Flange braces as shown by marks UB and FB to be 2"x2"x3/16" angle.
- K. Steel Stairs, Handrails, and Guardrails
  - i. Design of steel stairs, handrails, and guardrails is not by Mountain View Engineering.
  - ii. All stairs, handrails, and guardrails shall comply with the requirements of the 2015 IBC unless noted otherwise in the project specifications.
  - iii. The fabricator shall be responsible for the design and certification of all steel stairs, handrails, and guardrails, including member sizes and connection details.
  - iv. See the architectural plans for all stair information including, but not limited to, stair layout, dimensions, and style.

#### 3. Miscellaneous

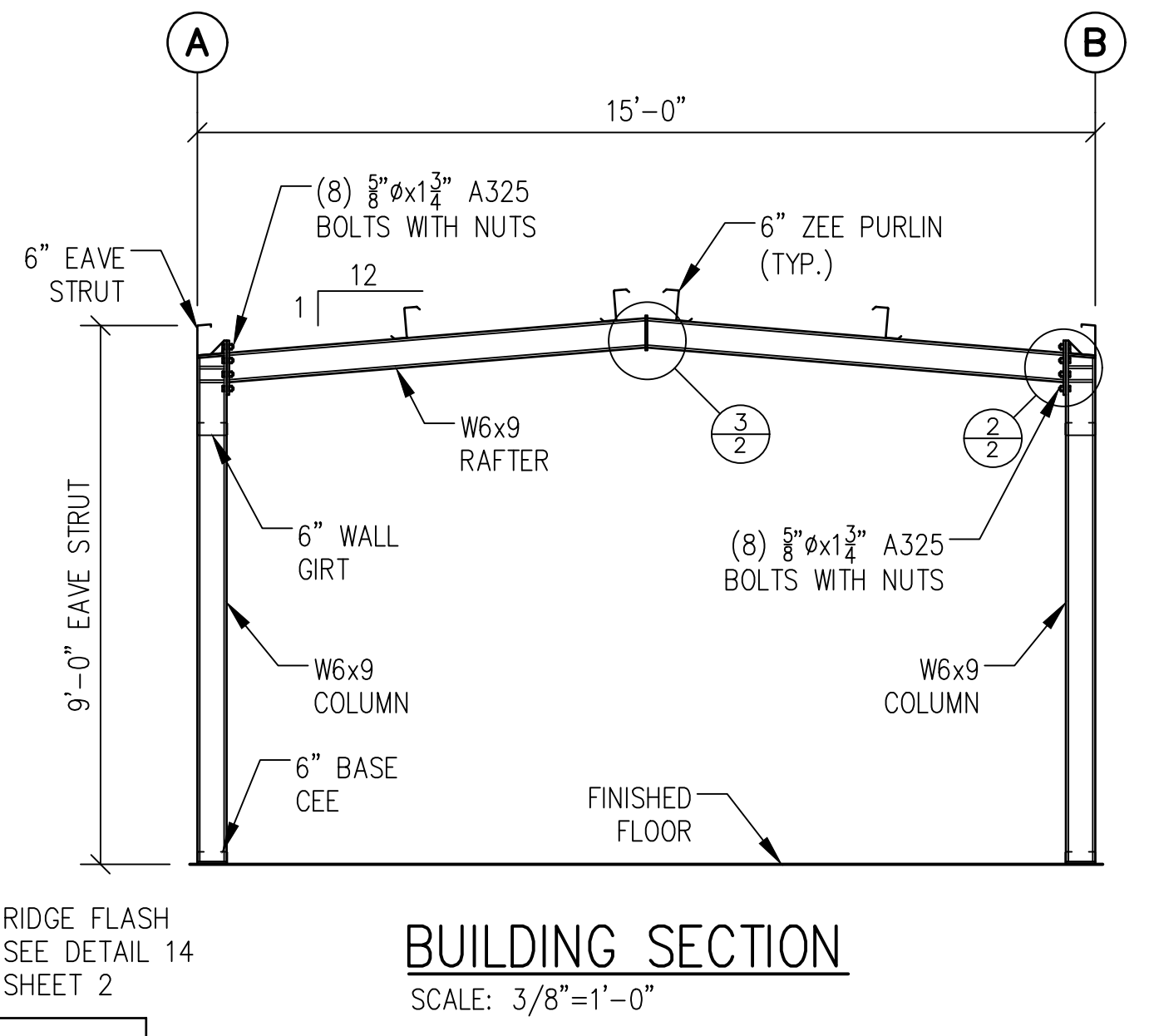
- A. The project specifications are not superseded by the General Structural Notes. Notes and details on the drawings shall take precedence over General Structural Notes and typical details. Should any of the detailed instructions shown on the plans conflict with the General Structural Notes, or with each other, the strictest provisions shall govern.
- B. It is solely the responsibility of each contractor to follow all applicable safety codes and regulations during all phases of construction. The engineer is not engaged in, and does not supervise, construction.
- C. Erection, Shoring, and Bracing
  - i. It is the contractor's responsibility to determine erection procedures and sequence, and to ensure the stability of the building and its component parts during erection.
  - ii. It is solely the contractor's responsibility to provide any temporary shoring, bracing, guys, and tie downs that may be necessary to provide adequate vertical and lateral support. Such material is not shown on the drawings. Shoring and bracing shall remain in place until all permanent members are in place and all final connections are completed, including all roof and floor attachments.
  - iii. The building shall not be considered stable until all connections are complete.
  - iv. The engineer has no expertise in, and takes no responsibility for, construction means and methods or job site safety during construction. Approval of submittals made by the contractor which may contain information related to construction methods or safety issues, or participation in meetings where such issues might be discussed, shall not be construed as voluntary assumption by the engineer of any responsibility for safety procedures.
- D. Equipment framing loads, openings, and structure in any way related to mechanical, plumbing, or electrical requirements are shown for bidding purposes only. The contractor shall coordinate this information with the involved trades before proceeding with such portion of the work. Excess cost related to variation in these requirements shall be borne by the appropriate contractor.
- E. The contractor shall notify engineer of any variations in dimensions.
- F. The engineer is not responsible for any deviations from these plans unless such changes are authorized in writing by the engineer.

#### 4. Special Inspections

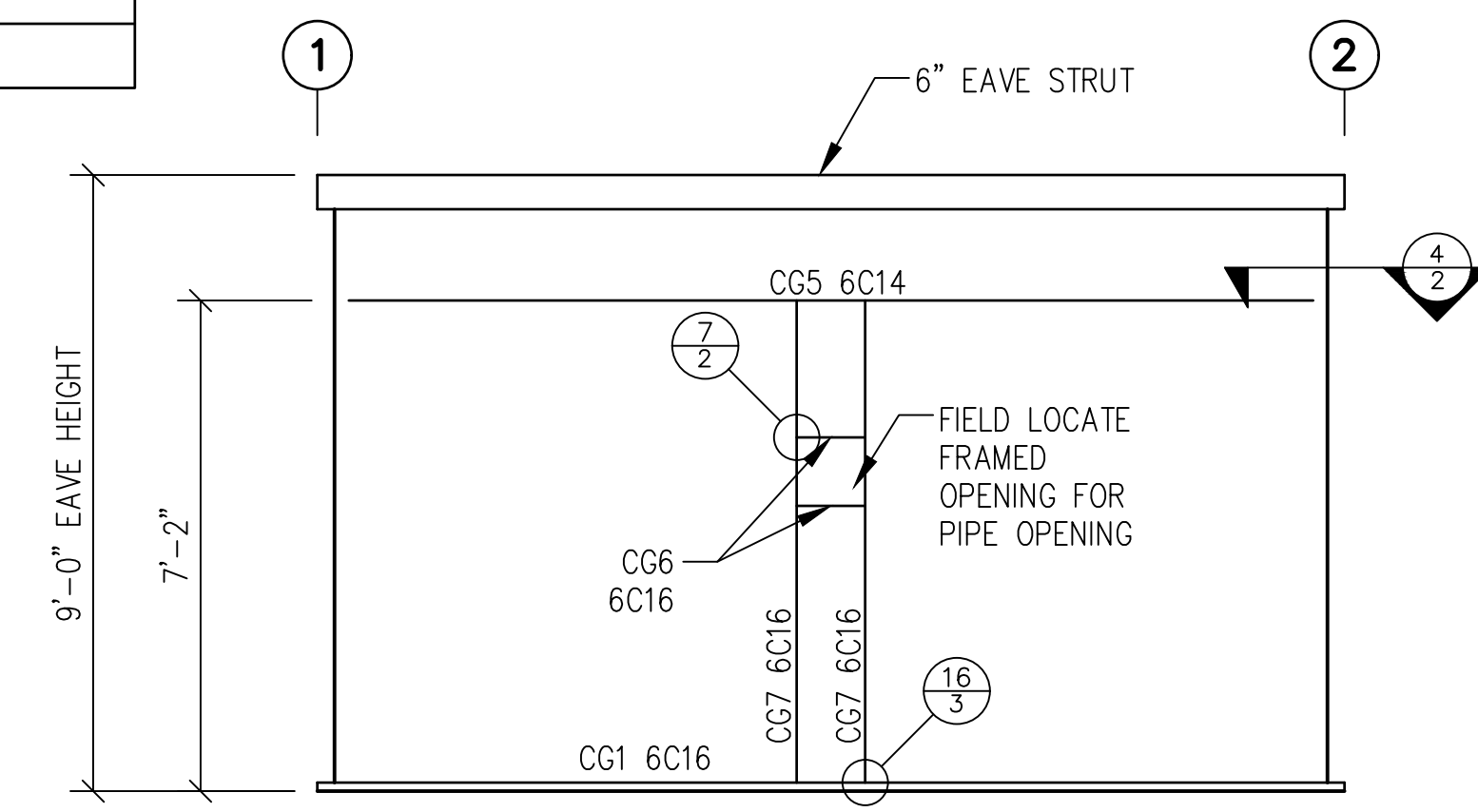
- A. Special inspections, as required by Section 1705 of the IBC, shall be provided by an independent agency employed by the owner unless waived by the building official. The contractor shall coordinate and cooperate with the required inspections. Items requiring special inspection are:
  - i. Steel Construction (AISC 360-16 Chapter N)
    - a. Field welding (if any is used).
    - b. High-strength bolts (if any are used).
  - ii. Concrete Construction (IBC 1705.3)
    - a. Special inspections of concrete footings, grade beams, walls, and slabs are not required as per Exceptions 1, 2, 3, 3, 4, & 5 to IBC Section 1705.3. Third party special inspection of reinforcing placement need only be performed where specifically required by the building official.
    - b. Special inspection of anchor rods/bolts is required per IBC Table 1705.3. Special inspection may be waived subject to the approval of the building official.
    - c. Special inspection of rebar welding is required (if any is used).
- B. Special inspector must be qualified and approved by local building department.



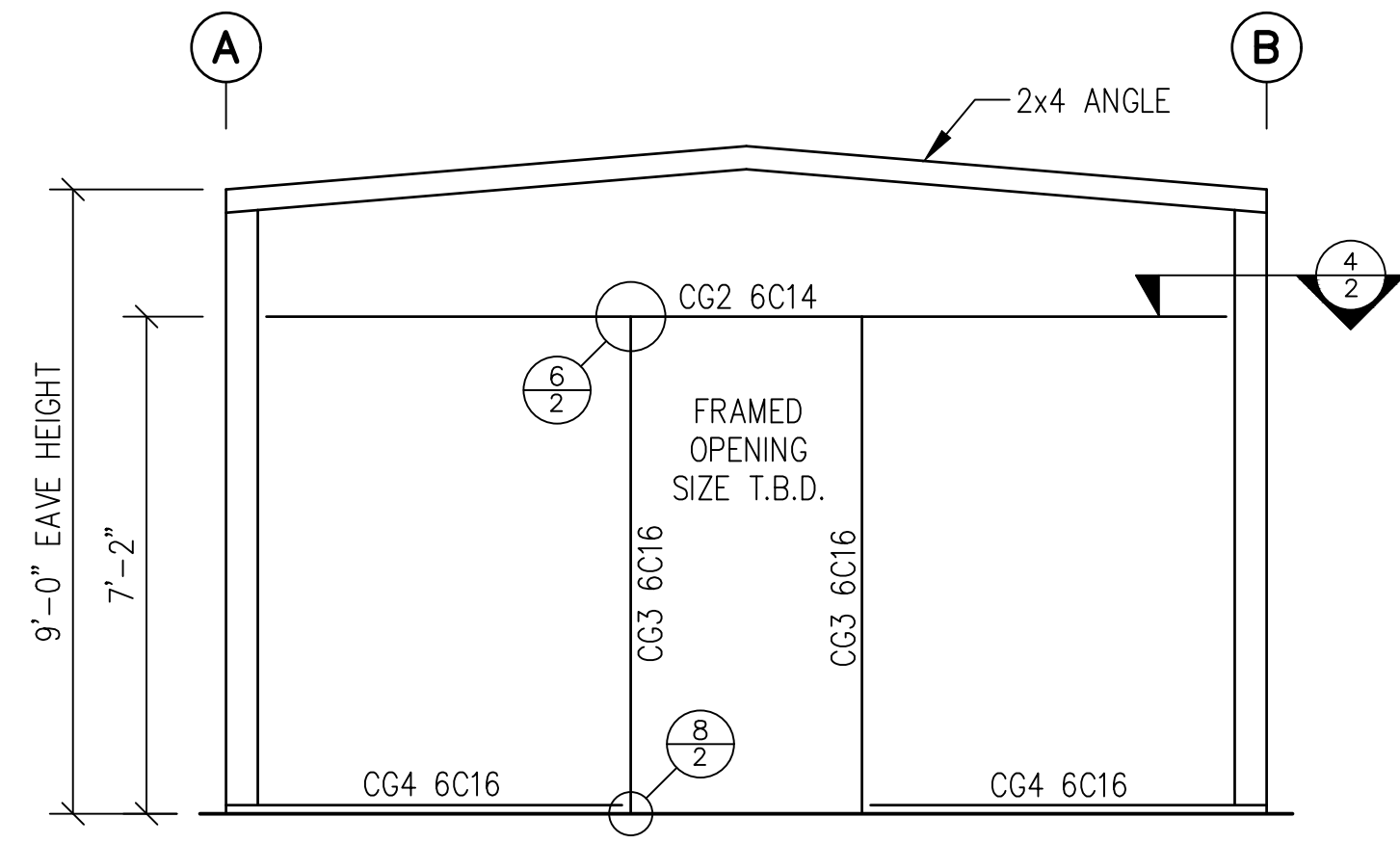
ROOF FRAMING PLAN  
SCALE: 3/8"=1'-0"



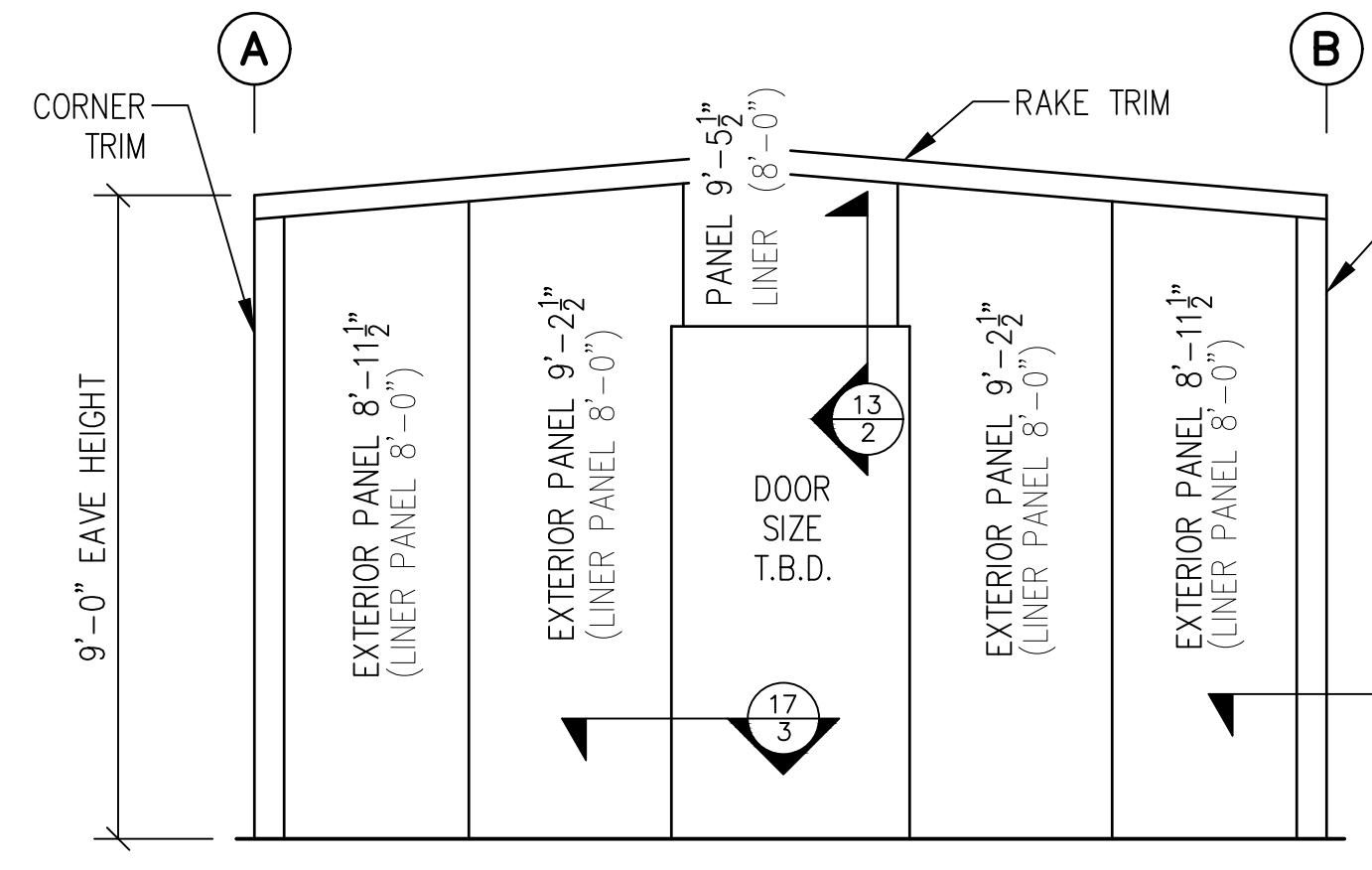
BUILDING SECTION  
SCALE: 3/8"=1'-0"



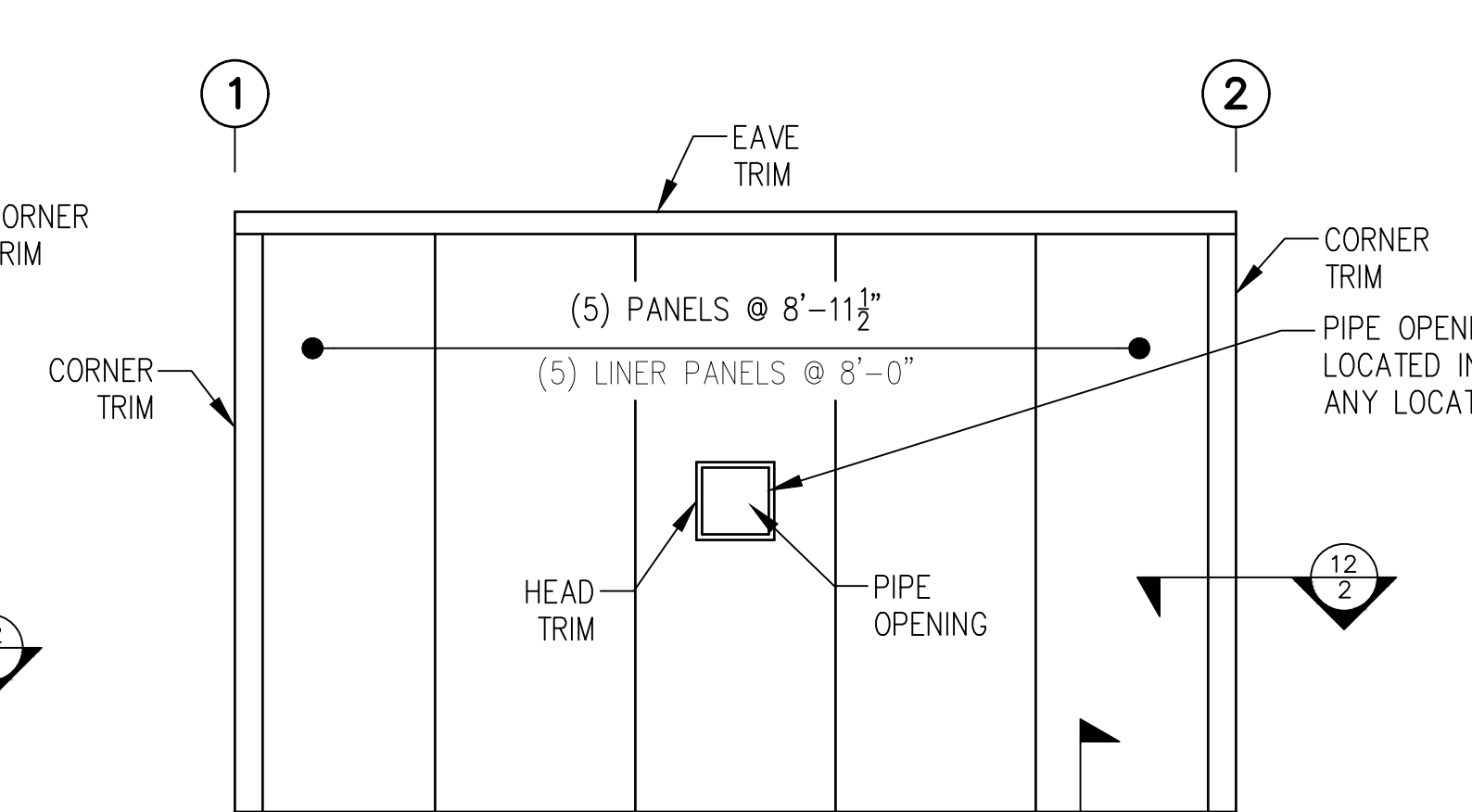
FRAMING AT LINE A AND B  
SCALE: 3/8"=1'-0"



FRAMING AT LINES 1 AND 2  
SCALE: 3/8"=1'-0"



SHEETING AT LINES 1 AND 2  
SCALE: 3/8"=1'-0"



SHEETING AT LINES A AND B  
SCALE: 3/8"=1'-0"



**Construction**  
3064 South Hunter Canyon DR  
West Valley City, UT 84128  
801-567-9661

Design by  
**MOUNTAIN VIEW ENGINEERING, INC.**  
345 No. Main St., Suite A  
Brigham City, Utah 84302  
Phone (435) 734-9700  
Fax (435) 734-9519  
M/E JOB NUMBER: 211405

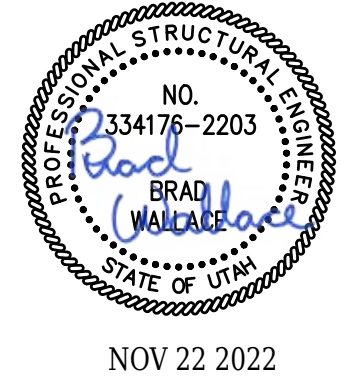
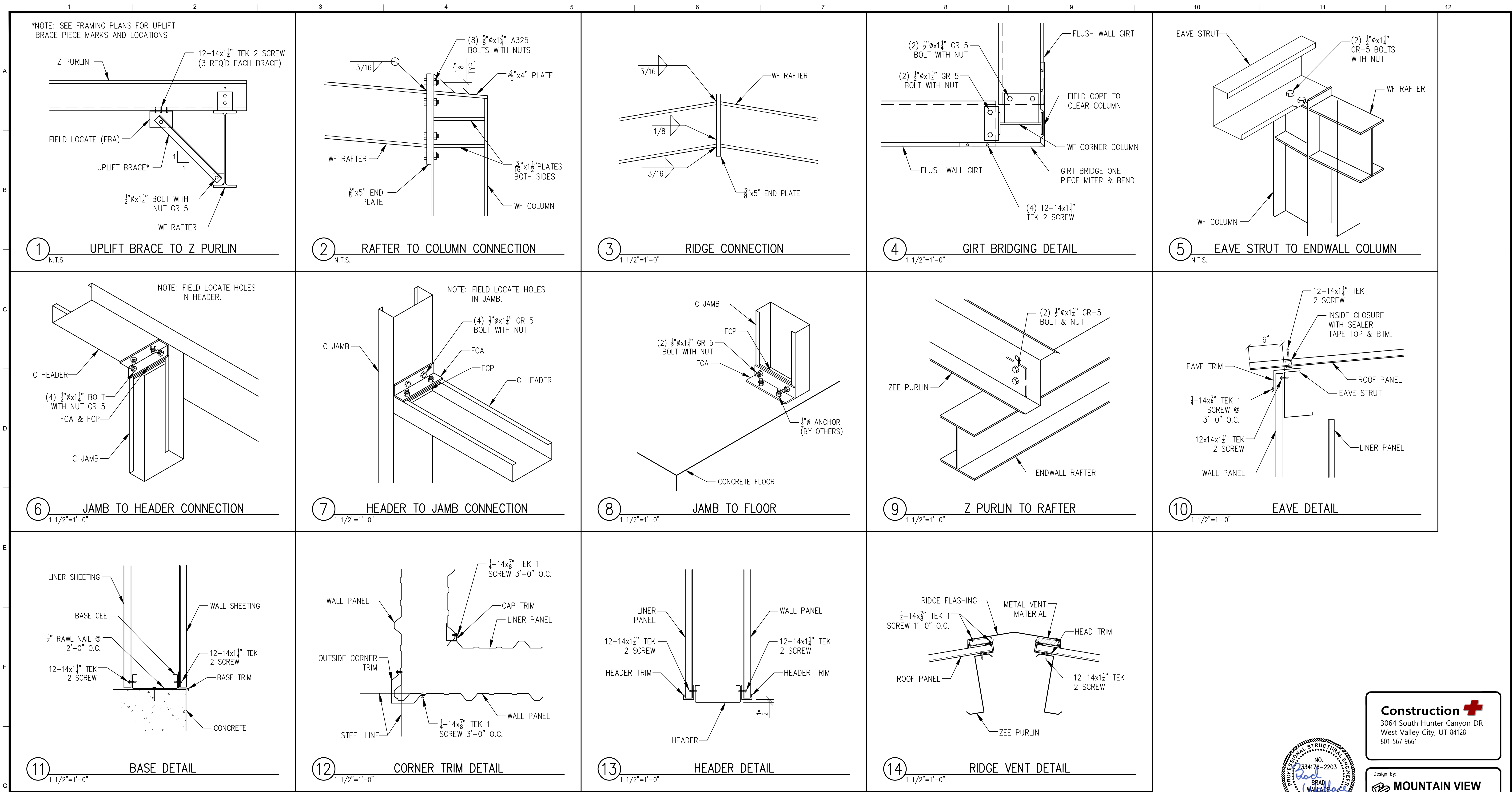
REFERENCE DRAWINGS		WORK ORDERS		REVISIONS				ENGINEERING RECORD	
DRAWING NUMBER	REV	DRAWING DESCRIPTION	WO NUMBER	NO	DESCRIPTION	DATE	BY	CHECK	DRAWN BY: T.W.
				0	ISSUE FOR CONSTRUCTION	11-22-22	T.W.		CHECKED BY: E. BUSH
									PROJECT ENGR: B. WALLACE
									SURVEYOR:
									ENGR MNGR: W. RADFORD
									CONSTR MNGR:



LINE NUMBER:			STANDARD DRAWING		
FACILITY:			DOMINION ENERGY 15'-0" x 15'-0" BUILDING		
TITLE:			NOTES, PLANS, ELEVATIONS, AND SECTION		
DESCRIPTION:					
ADDRESS:					
CITY VARIES	COUNTY VARIES	STATE UTAH			
DRAWING NUMBER		SHEET	REVISION		
DE-V-BLD-CCS-012		1 OF 4	0		

THE INFORMATION AND CONCEPTS CONTAINED IN THIS DOCUMENT ARE CONFIDENTIAL AND THE PROPERTY OF DOMINION ENERGY AND/OR THE CLIENT IDENTIFIED. DUPLICATION OR USE OF THIS INFORMATION AND/OR CONSTRUCTION OF SYSTEMS BASED ON THIS DOCUMENT ARE STRICTLY PROHIBITED WITHOUT WRITTEN AUTHORIZATION FROM DOMINION ENERGY.

DOMINION ENERGY\_ANSI-D



**Construction**  
3064 South Hunter Canyon DR  
West Valley City, UT 84128  
801-567-9661

Design by:  
**MOUNTAIN VIEW ENGINEERING, INC.**  
345 No. Main St., Suite A  
Brigham City, Utah 84302  
Phone (435) 734-9700  
Fax (435) 734-9519  
MVE JOB NUMBER: **211405**

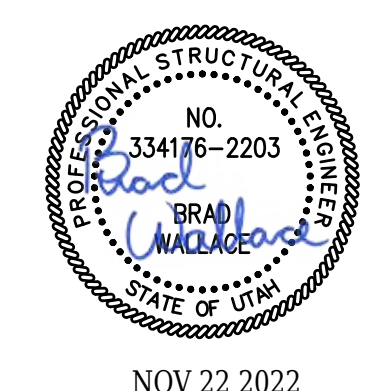
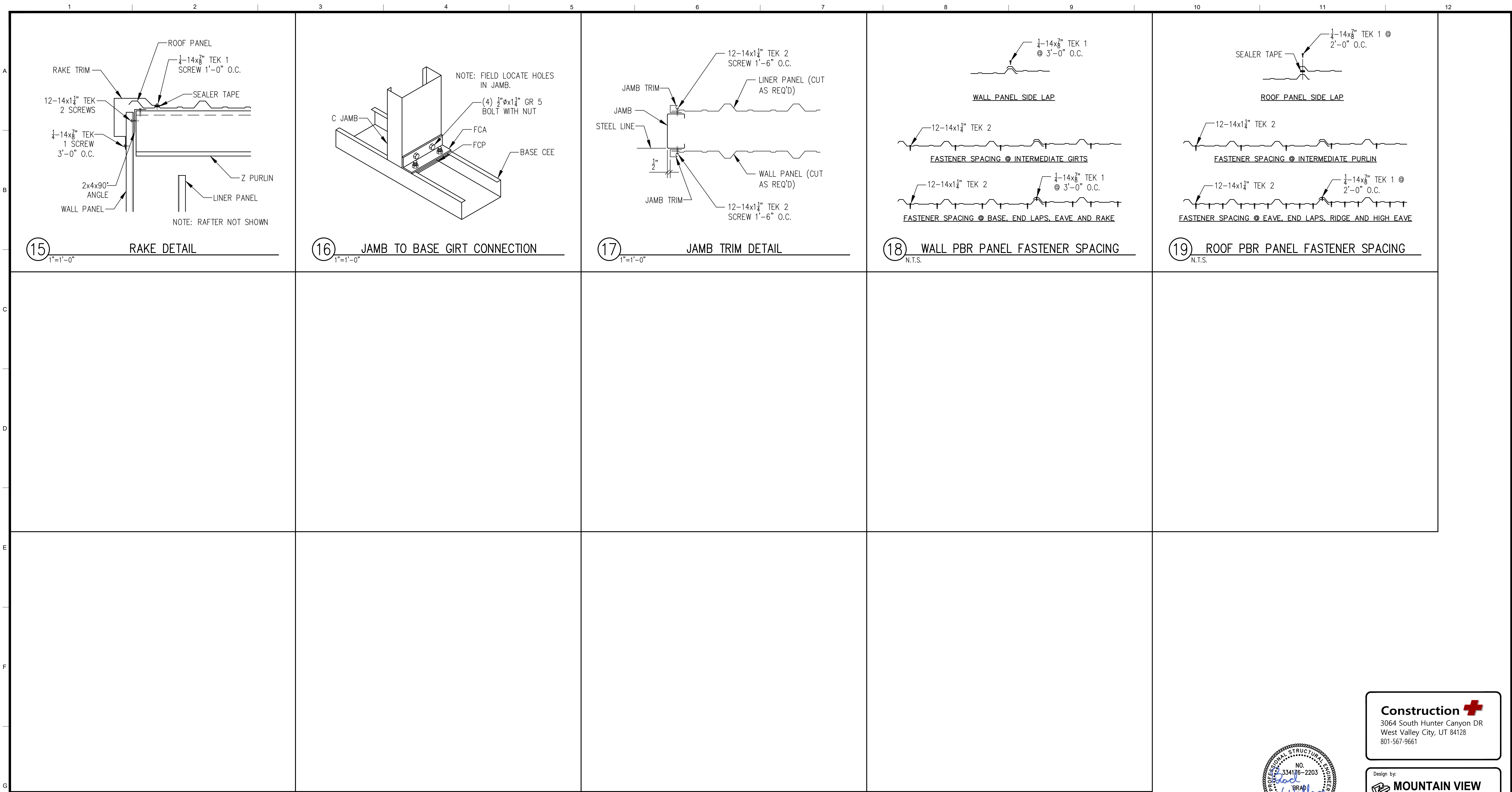
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SCALE: AS NOTED

LINE NUMBER:	STANDARD DRAWING		
FACILITY:	DOMINION ENERGY 15'-0" x 15'-0" BUILDING		
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DESCRIPTION:			
ADDRESS:			
CITY VARIES	COUNTY VARIES	STATE UTAH	
DRAWING NUMBER		SHEET	REVISION
DE-V-BLD-CCS-012		2 OF 4	0

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**Construction**

3064 South Hunter Canyon DR  
 West Valley City, UT 84128  
 801-567-9661

Design by:

**MOUNTAIN VIEW ENGINEERING, INC.**

345 No. Main St., Suite A  
 Brigham City, Utah 84302  
 Phone (435) 734-9700  
 Fax (435) 734-9519

MVE JOB NUMBER: **211405**

REFERENCE DRAWINGS			WORK ORDERS		REVISIONS				ENGINEERING RECORD						
DRAWING NUMBER	REV	DRAWING DESCRIPTION	WO NUMBER	DESCRIPTION	NO	DESCRIPTION	DATE	BY	CHECK	DRAWN BY:	CHECKED BY:	PROJECT ENGR:	SURVEYOR:	ENGR MNGR:	CONSTR MNGR:
			VARIABLES	VARIABLES	0	ISSUE FOR CONSTRUCTION	11-22-22	T.W.		T.W.	E. BUSH	B. WALLACE		W. RADFORD	

**Dominion Energy**

DOMINION ENERGY UTAH

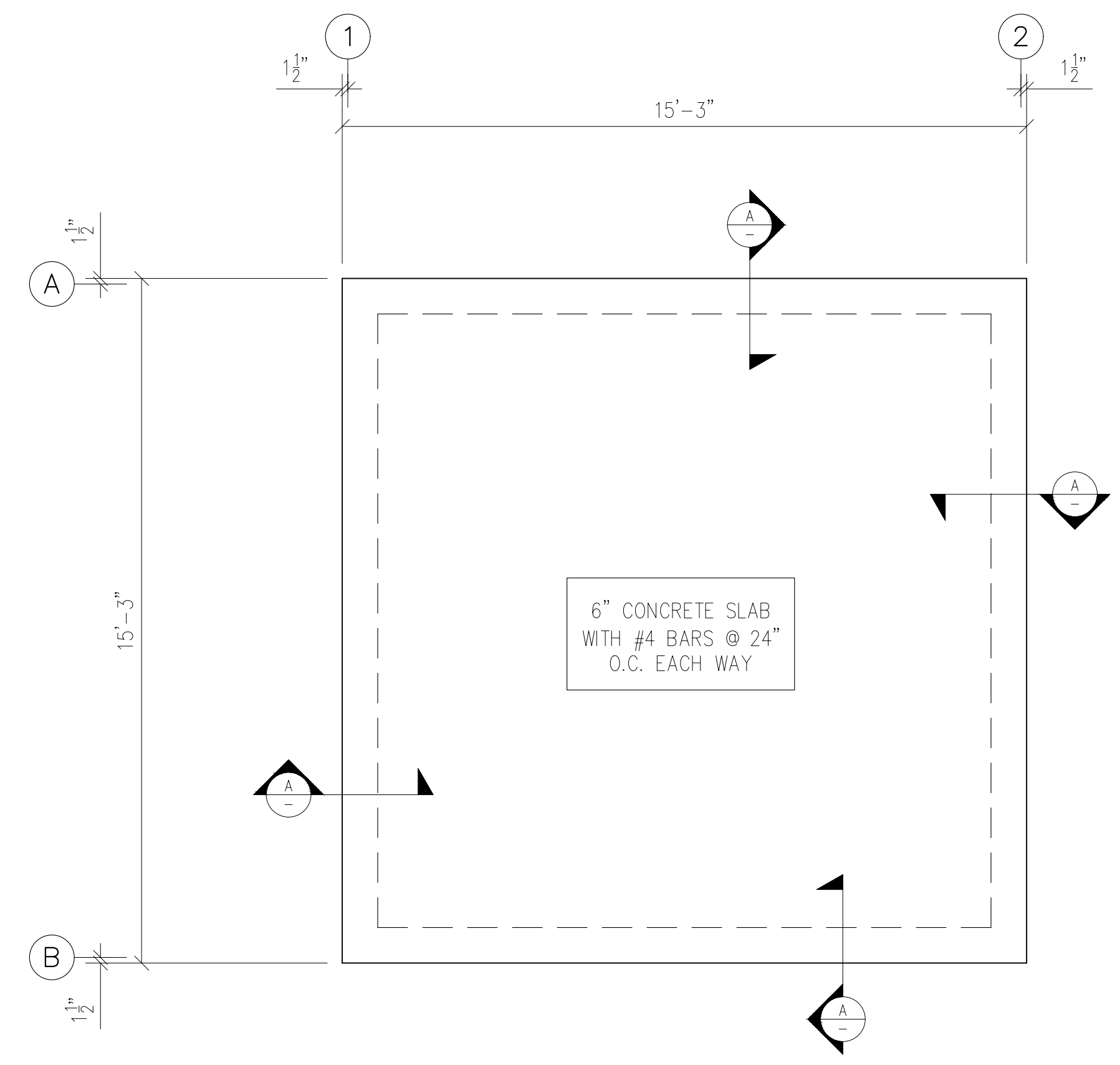
SECTION: VARIES TVARIES R VARIES  
 ELEVATION: VARIES  
 LAT: VARIES LONG: VARIES  
 SCALE: AS NOTED

LINE NUMBER:	
FACILITY:	STANDARD DRAWING
TITLE:	DOMINION ENERGY 15'-0" x 15'-0" BUILDING
DESCRIPTION:	DETAILS
ADDRESS:	
CITY:	VARIES
COUNTY:	VARIES
STATE:	UTAH
DRAWING NUMBER:	DE-V-BLD-CCS-012
SHEET:	3 OF 4
REVISION:	0

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**FOUNDATION NOTES**

1. Earthwork
  - A. Foundation Design Values (assumed)
    - i. Allowable Soil Bearing Pressure - 1500 psf
    - ii. Coefficient of Friction - 0.25
    - iii. Passive Earth Pressure - 150 psf/ft of depth
  - B. The building pad area shall be stripped of all frozen soil, debris, vegetation, and topsoil. All fill soils and any remaining loose natural soils shall be excavated to expose suitable natural soils.
  - C. Proof roll the entire building pad area to locate and remove all soft spots. Replace with compacted structural fill.
  - D. Place all footings and slabs on undisturbed natural soil or on properly compacted structural fill. Contractor shall verify that soil under footings is suitable to support footings.
  - E. Structural Fill: Structural fill should consist of well-graded sandy gravels with a maximum particle size of 3 inches and 5 to 15 percent fines (materials passing the No. 200 sieve). The liquid limit of fines should not exceed 35 and the plasticity index should be below 15. All fill soils should be free from topsoils, highly organic material, frozen soil, and other deleterious materials. Structural fill should be placed in maximum 8-inch thick loose lifts at a moisture content within 2 percent of optimum and compacted to at least 95 percent of modified proctor density (ASTM D1557) under the building and 95 percent under concrete flatwork.
  - F. It is the responsibility of the contractor to ensure that the depth of the bottom of the foundation is far enough below the adjacent grade to ensure adequate frost protection.
2. Concrete and Reinforcement
  - A. Material Standards
    - i. Concrete
      - a. Footings and foundation walls -  $f_c = 3000$ \*\* p.s.i.
      - b. Slabs on grade -  $f_c = 3500$  p.s.i.
      - \*\* Concrete has been designed using  $f_c = 2500$  p.s.i. Special Inspection not required unless noted otherwise, see Special Inspection Notes.
      - c. Normal weight aggregates - ASTM C33
    - ii. Cement
      - a. Use Type I/II cement as per ASTM C150
      - b. Air-entraining admixtures (where required) - ASTM C260
      - c. Calcium chloride shall not be used.
    - iii. Reinforcing
      - a. Rebar - ASTM A615 Grade 60 ( $F_y = 60$  ksi)
      - b. Welded wire - ASTM A1064
      - c. Epoxy - Simpson SET-XP (ICC-ES ESR-2508) or Hilti HIT-RE 500-SD (ICC-ES ESR-2322)
    - iv. Anchor Rods/Bolts
      - a.  $\frac{3}{8}$ "  $\phi$  Simpson Titen HD 6" min. embedment.
  - B. Detail reinforcing to comply with ACI 315 "Manual of Standard Practice for Detailing Reinforcing Concrete Structures" and the Concrete Reinforcing Steel Institute (CRSI) recommendations.
    - i. Minimum clear concrete cover for reinforcement shall be as follows unless noted otherwise:
      - a. Concrete cast directly against and permanently exposed to earth - 3"
      - b. Concrete exposed to weather or earth:
        1. #5 bars or smaller -  $1\frac{1}{2}$ "
        2. #6 bars or larger - 2"
      - c. Concrete not exposed to weather or in contact with the ground -  $2\frac{1}{2}$ "
      - d. Slabs on grade - as shown in details,  $\frac{3}{4}$ " min. from top of slabs not exposed to weather
    - ii. Lap Splice Lengths (unless noted otherwise)
      - a.  $f_c = 2500-3500$  p.s.i.
        1. #6 and smaller - 36 bar diameters
        2. #7 and larger - 45 bar diameters
      - b.  $f_c = 4000$  p.s.i. or greater
        1. #6 and smaller - 29 bar diameters
        2. #7 and larger - 36 bar diameters
      - c. Lap splice lengths may be decreased by 25% for slabs on grade and horizontal wall reinforcing.
      - d. Increase lap splice lengths by 50% where epoxy coated bars are used.
    - iii. Stagger splices in walls so that no two adjacent bars are spliced in the same location, unless shown otherwise.
    - iv. Make all bars continuous around corners or provide corner bars of equal size and spacing.
    - v. Vertical bars in walls, grade beams, and piers to terminate in footings with ACI standard hooks (12 bar diameters) to within 4" of the bottom of the footing unless noted otherwise.
    - vi. Horizontal wall reinforcing shall terminate at the ends of walls with a 90 degree hook plus a 6 bar diameter extension, unless shown otherwise.
    - vii. Horizontal wall reinforcing shall be continuous through construction and control joints.
    - viii. Splices in horizontal reinforcement shall be staggered. Splices in two curtains (where used) shall not occur in the same location.
    - ix. Use chairs or other support devices as required for proper clearance.
    - x. Unless noted otherwise, openings in walls shall be reinforced with #5 bar on all sides of the opening. Reinforcing shall extend 24" min. past the edge of the opening. For one layer of wall reinforcing provide (1) #5 bar around openings, for two layers provide (2) #5 bars.
  - C. Slabs and grade beams shall not have joints in a horizontal plane. All reinforcement shall be continuous through all construction joints.
  - D. Floor slab thickness and reinforcing shown in these drawings are adequate to support typical uniform loads only. Mountain View Engineering has not designed the slab for any specific concentrated forces such as those from vehicles, storage racks, or heavy equipment (unless noted otherwise).
  - E. Welding of rebar is not allowed unless specifically indicated in the drawings. All embedments, reinforcing, and dowels shall be securely tied to framework or to adjacent reinforcing prior to placement of the concrete. Tack welding of rebar joints in grade beams, walls, or cages is not allowed. Where welding of rebar is shown in the drawings, all rebar to be welded shall be ASTM A706 Grade 60.

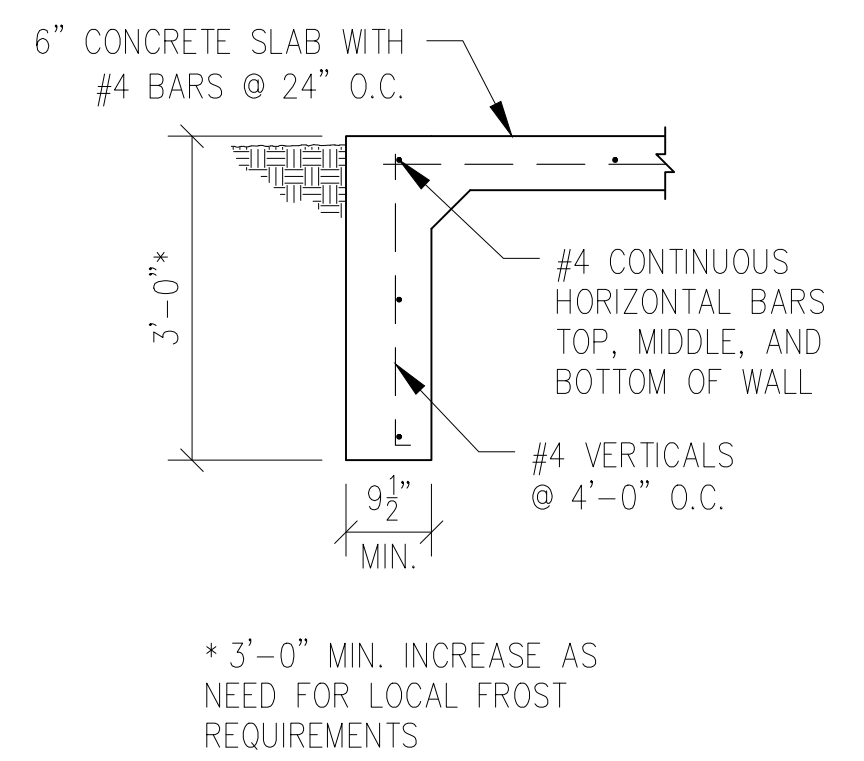


**FOUNDATION PLAN**  
SCALE: 3/8"=1'-0"

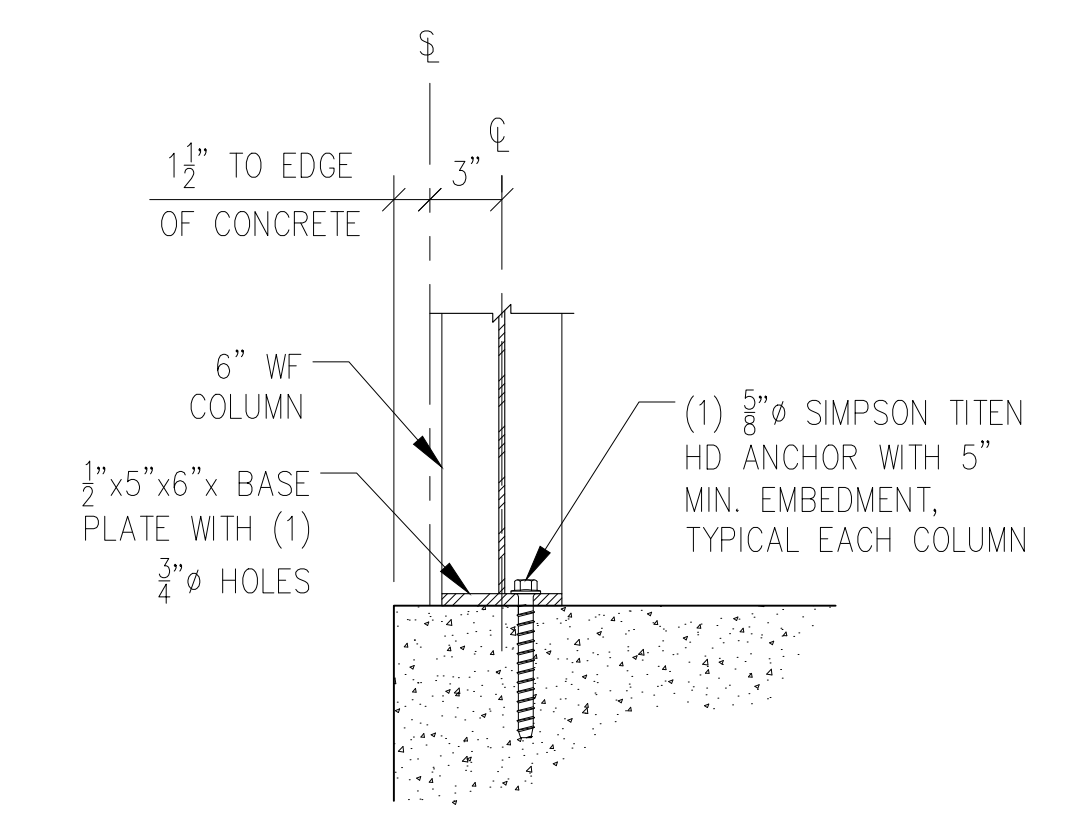
(F1) INDICATES APPLICABLE FOOTING DETAIL.

**FOUNDATION LOADS (AT EACH COLUMN) ASD**  
UP 800 lbs  
DOWN 2900 lbs  
SHEAR 640 lbs

**NOTES:**  
1: GRID LINES ARE AT STEEL LINE.  
2: OUTSIDE OF CONCRETE IS  $1\frac{1}{2}$ " OUT FROM STEEL LINE.



(A) PERIMETER GRADE BEAM DETAIL  
1/2"=1'-0"



(B) ANCHOR ROD DETAIL  
1 1/2"=1'-0"

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**211405**

NOV 22 2022

REFERENCE DRAWINGS		WORK ORDERS		REVISIONS				ENGINEERING RECORD			
DRAWING NUMBER	REV	DRAWING DESCRIPTION	WO NUMBER	NO	DESCRIPTION	DATE	BY	CHECK	DRAWN BY:	T.W.	
				0	ISSUE FOR CONSTRUCTION	11-22-22	T.W.		CHECKED BY:	E. BUSH	
									PROJECT ENGR:	B. WALLACE	
									SURVEYOR:		
									ENGR MNGR:	W. RADFORD	
									CONSTR MNGR:		

**Dominion Energy**  
DOMINION ENERGY UTAH  
SECTION: VARIES TVARIES RVARIES  
ELEVATION: VARIES  
LAT: VARIES LONG: VARIES  
SCALE: AS NOTED

LINE NUMBER:	
FACILITY:	STANDARD DRAWING
TITLE:	DOMINION ENERGY 15'-0" x 15'-0" BUILDING
DESCRIPTION:	FOUNDATION PLAN, DETAILS, & NOTES
ADDRESS:	
CITY VARIES	COUNTY VARIES
STATE	UTAH
DRAWING NUMBER	DE-V-BLD-CCS-012
SHEET	4 OF 4
REVISION	0

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DOMINION ENERGY\_ANSI.D

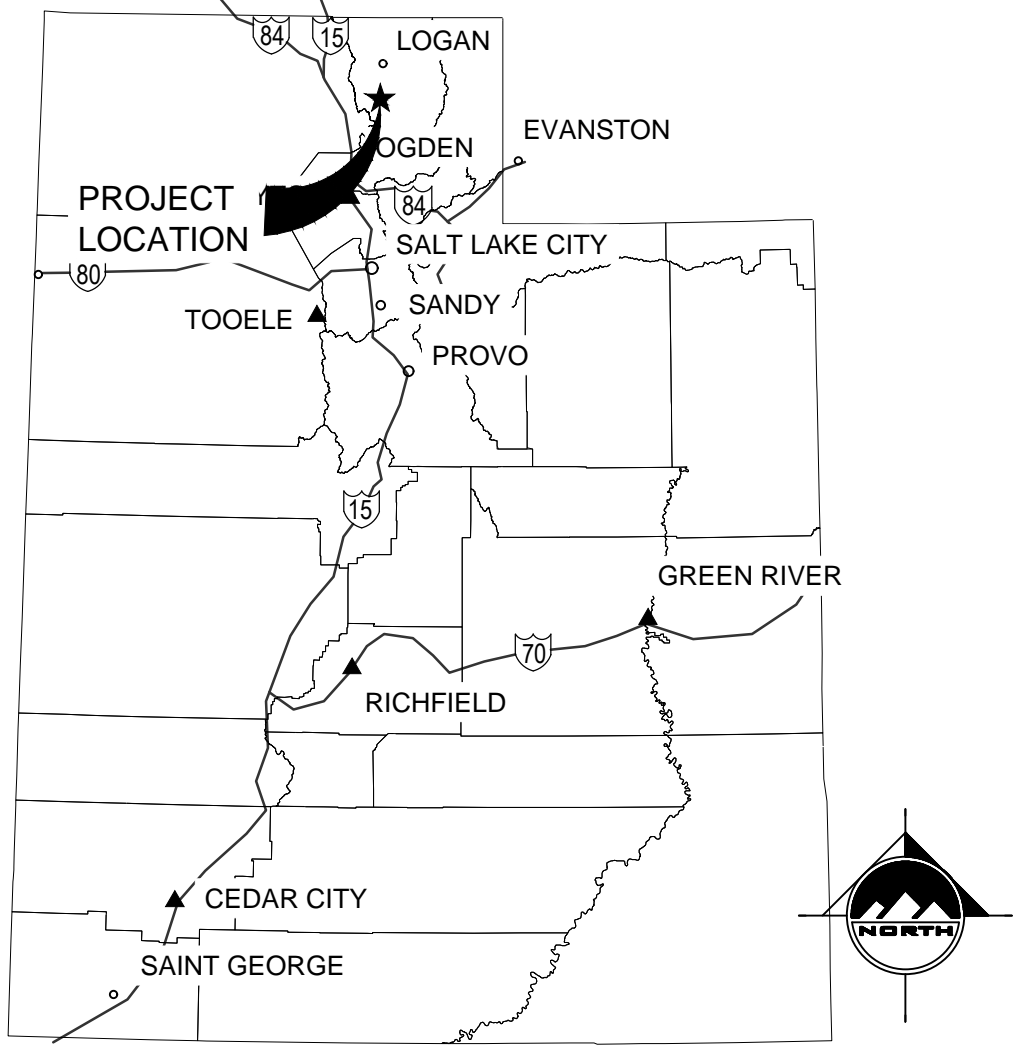


**811**  
 Know what's below.  
 Call before you dig.

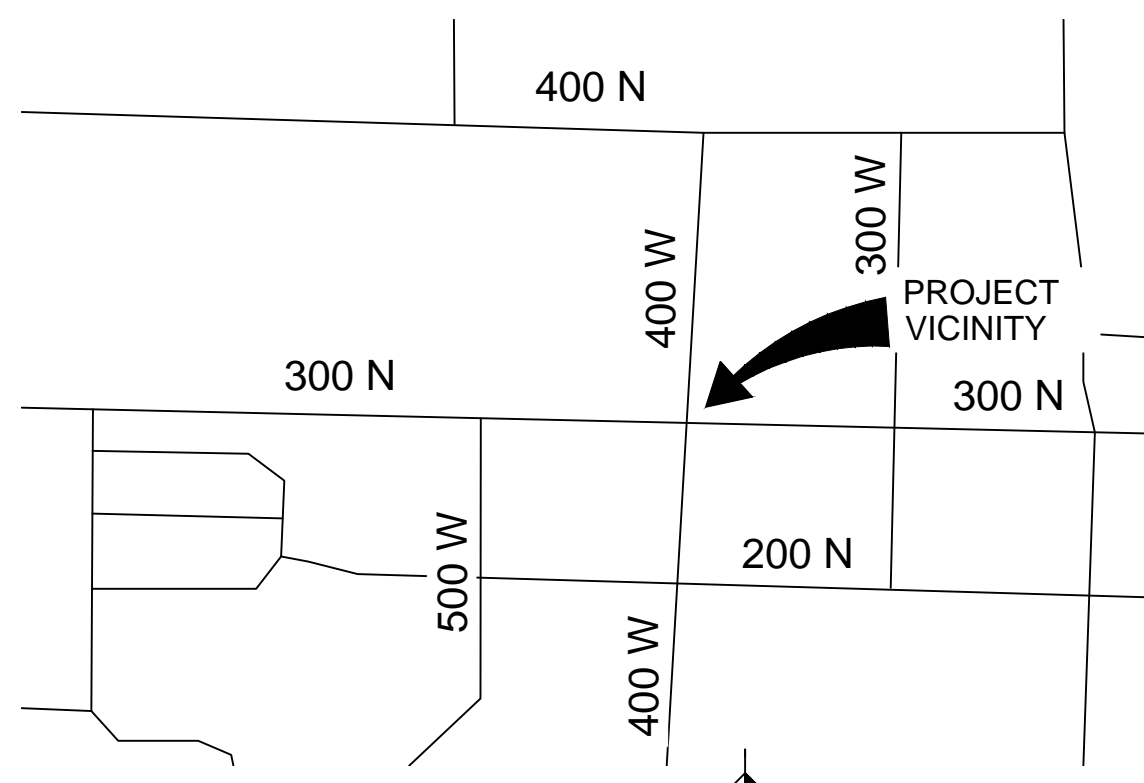
CALL BLUESTAKES  
 @ 811 AT LEAST 48  
 HOURS PRIOR TO THE  
 COMMENCEMENT OF  
 ANY CONSTRUCTION.

# DOMINION ENERGY HYRUM CITY REGULATOR STATION

## 300 N 400 W HYRUM, UTAH 84319



**LOCATION MAP**  
 NO SCALE



**VICINITY MAP**  
 NO SCALE

PROJECT DRAWINGS		
GENERAL DRAWINGS		
DRAWING	REV	DESCRIPTION
DEU-R-HY003-CCS-001 SHEET 01 OF 12	A	COVER SHEET
DEU-R-HY003-CCS-001 SHEET 02 OF 12	A	GENERAL NOTES
CIVIL DRAWINGS		
DEU-R-HY003-CCS-001 SHEET 03 OF 12	A	SITE PLAN
DEU-R-HY003-CCS-001 SHEET 04 OF 12	A	GRADING PLAN
DEU-R-HY003-CCS-001 SHEET 05 OF 12	A	WALL PLAN
DEU-R-HY003-CCS-001 SHEET 06 OF 12	A	WALL PLAN
DEU-R-HY003-CCS-001 SHEET 07 OF 12	A	WALL PLAN
DEU-R-HY003-CCS-001 SHEET 08 OF 12	A	VEHICLE ROUTE TRACKING
DEU-R-HY003-CCS-001 SHEET 09 OF 12	A	DETAILS
DEU-R-HY003-CCS-001 SHEET 10 OF 12	A	EROSION CONTROL PLAN AND DETAILS
LANDSCAPE DRAWINGS		
DEU-R-HY003-CCS-001 SHEET 11 OF 12	A	LANDSCAPE AND IRRIGATION PLAN
DEU-R-HY003-CCS-001 SHEET 12 OF 12	A	LANDSCAPE AND IRRIGATION DETAILS

**NOTICE TO DEVELOPER/CONTRACTOR**

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER OR CONTRACTOR, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

**UTILITY DISCLAIMER**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**NOTICE TO CONTRACTOR**

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTOR'S AND SUBCONTRACTOR'S COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

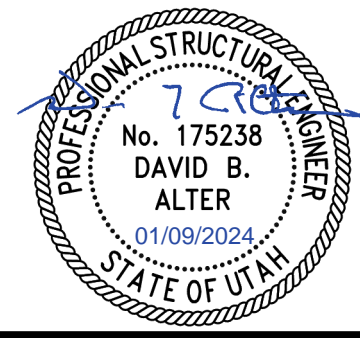
THE CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

**PROJECT CONTACTS**

ROLE	NAME	PHONE
PROJECT MANAGER	ZACHERY HANSEN	385-321-7583
PROJECT ENGINEER	ZACHERY HANSEN	385-321-7583
CATHODIC PROTECTION	KELLY FACER	801-201-5528
HP SURVEYOR	GARRETT NEWHART	801-793-7950
LEAD INSPECTOR	TBD	
IHP SUPERVISOR	TBD	
RIGHT OF WAY AGENT	KEVIN MULVEY	801-592-5808
MARKETING	N/A	
ENVIRONMENTAL HEALTH & SAFETY	STEPHAN RYDER	330-813-8805

**PRELIMINARY  
 PERMITTING SET**

DATE PRINTED  
 01/09/2024



**ENSIGN**  
 THE STANDARD IN ENGINEERING

SALT LAKE CITY  
 45 West 10000 South  
 Suite 500  
 Sandy, Utah 84070  
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 Fax: 801.255.4449  
 WWW.ENSIGNUTAH.COM

LAYTON  
 Phone: 801.547.1100  
 TOOELE  
 Phone: 435.843.3590  
 CEDAR CITY  
 Phone: 435.865.1453

ENSIGN PROJ. No.: 12770 PROJ. MANAGER: D. ALTER PROJ. ENGINEER: D. ALTER  
 ENSIGN SHEET: C-000CV COVER SHEET

REFERENCE DRAWINGS				WORK ORDERS		REVISIONS				ENGINEERING RECORD				
DRAWING NUMBER	REV	DRAWING DESCRIPTION	WO NUMBER	DESCRIPTION	NO	DESCRIPTION	DATE	BY	CHECK	DRAWN BY:	CHECKED BY:	SURVEYOR:	ENGR MNGR:	CONSTR MNGR:
DEU-R-HY003-PIP-001	0	DISTRICT REGULATOR STATION HY0003 - PIPING	95626.22	FL-150 INSTALL 3"x3" REGULATOR STATION HY0003 AND HEATER	A	ISSUED FOR 90% REVIEW	11/20/2023	ENSIGN	IAT	J. LINFORD (ENSIGN)	I. TORRES	Z. HANSEN	S. MESSERSMITH	D. FRANCIS

**Dominion Energy**  
 DOMINION ENERGY UTAH

SECTION: T R  
 ELEVATION:  
 LAT: LONG:  
 SCALE: AS SHOWN

LINE NUMBER: FL-150  
 FACILITY: DISTRICT REGULATOR STATION HY0003  
 TITLE: 3X3 REGULATOR STATION AND HEATER  
 DESCRIPTION: COVER SHEET  
 ADDRESS: 300 NORTH 400 WEST

CITY: HYRUM CITY COUNTY: CACHE STATE: UTAH

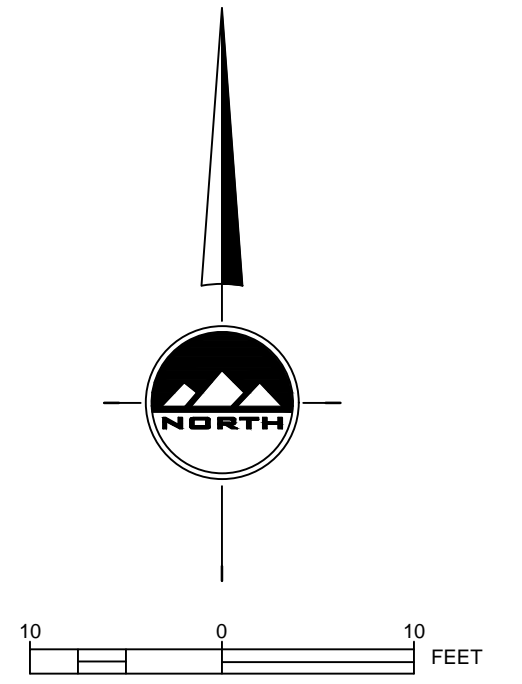
DRAWING NUMBER: DEU-R-HY0003-CCS-001 SHEET: 01 OF 12 REVISION: A

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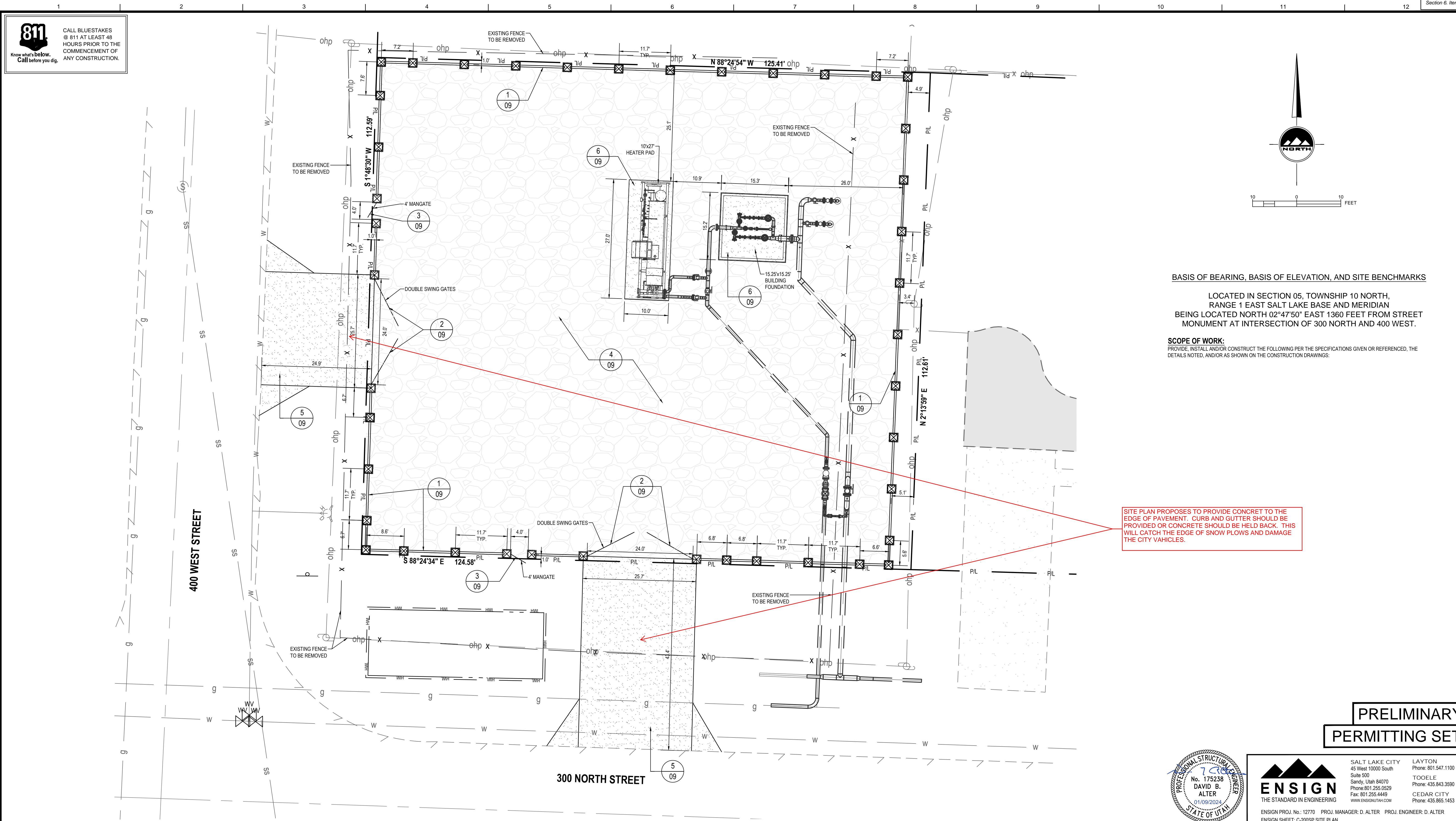


BASIS OF BEARING, BASIS OF ELEVATION, AND SITE BENCHMARKS

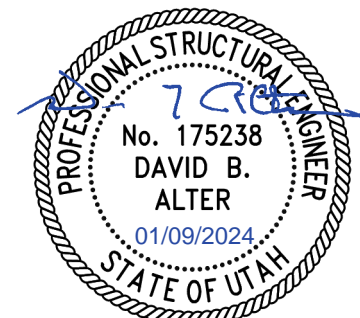
LOCATED IN SECTION 05, TOWNSHIP 10 NORTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN BEING LOCATED NORTH 02°47'50" EAST 1360 FEET FROM STREET MONUMENT AT INTERSECTION OF 300 NORTH AND 400 WEST.

SCOPE OF WORK: PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

SITE PLAN PROPOSES TO PROVIDE CONCRET TO THE EDGE OF PAVEMENT. CURB AND GUTTER SHOULD BE PROVIDED OR CONCRETE SHOULD BE HELD BACK. THIS WILL CATCH THE EDGE OF SNOW PLOWS AND DAMAGE THE CITY VEHICLES.



PRELIMINARY PERMITTING SET



ENSGN THE STANDARD IN ENGINEERING. SALT LAKE CITY, LAYTON, TOOELE, CEDAR CITY. ENSGN PROJ. No.: 12770 PROJ. MANAGER: D. ALTER PROJ. ENGINEER: D. ALTER ENSGN SHEET: C-200SP SITE PLAN

Table with columns: REFERENCE DRAWINGS, WORK ORDERS, REVISIONS, ENGINEERING RECORD. Includes drawing numbers, descriptions, dates, and names of project staff.

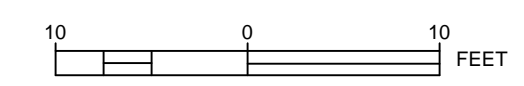
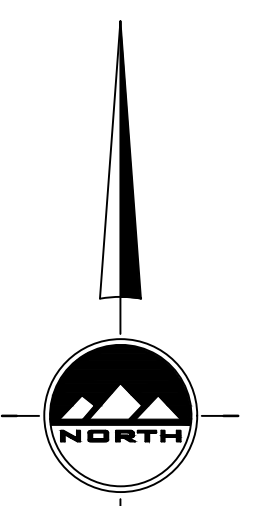
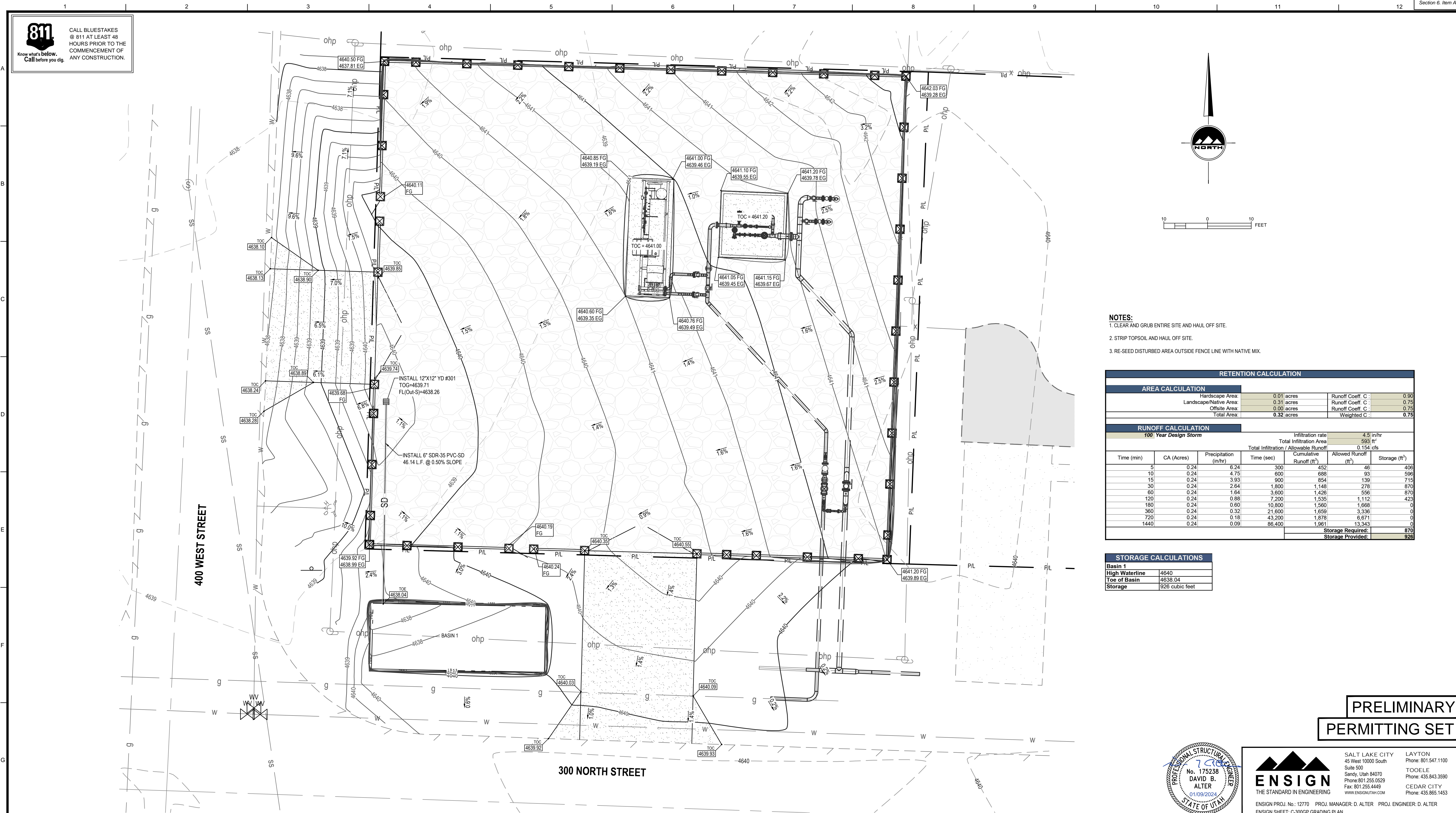
Project information including Dominion Energy logo, section details (T, R), city (Hyrum City), county (Cache), state (Utah), drawing number (DEU-R-HY0003-CCS-001), sheet (03 of 12), and revision (A).

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DOMINION ENERGY ANS1D



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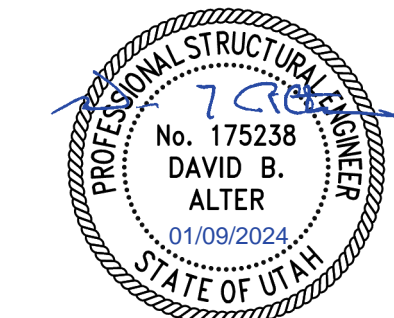


- NOTES:**
- CLEAR AND GRUB ENTIRE SITE AND HAUL OFF SITE.
  - STRIP TOPSOIL AND HAUL OFF SITE.
  - RE-SEED DISTURBED AREA OUTSIDE FENCE LINE WITH NATIVE MIX.

RETENTION CALCULATION						
<b>AREA CALCULATION</b>						
Hardscape Area:	0.01 acres	Runoff Coeff. C:	0.90			
Landscape/Native Area:	0.31 acres	Runoff Coeff. C:	0.75			
Offsite Area:	0.00 acres	Runoff Coeff. C:	0.75			
<b>Total Area:</b>	<b>0.32 acres</b>	<b>Weighted C:</b>	<b>0.75</b>			
<b>RUNOFF CALCULATION</b>						
<b>100 Year Design Storm</b>						
		Infiltration rate		4.5 in/hr		
		Total Infiltration Area		593 ft <sup>2</sup>		
		Total Infiltration / Allowable Runoff		0.154 cfs		
Time (min)	CA (Acres)	Precipitation (in/hr)	Time (sec)	Cumulative Runoff (ft <sup>3</sup> )	Allowed Runoff (ft <sup>3</sup> )	Storage (ft <sup>3</sup> )
5	0.24	6.24	300	452	46	406
10	0.24	4.75	600	886	93	596
15	0.24	3.93	900	854	139	715
30	0.24	2.64	1,800	1,148	278	870
60	0.24	1.64	3,600	1,426	556	870
120	0.24	0.88	7,200	1,535	1,112	423
180	0.24	0.60	10,800	1,560	1,666	0
360	0.24	0.32	21,600	1,659	3,336	0
720	0.24	0.18	43,200	1,678	6,671	0
1440	0.24	0.09	86,400	1,961	13,343	0
					<b>Storage Required:</b>	<b>870</b>
					<b>Storage Provided:</b>	<b>926</b>

STORAGE CALCULATIONS	
Basin 1	
High Waterline	4640
Toe of Basin	4638.04
Storage	926 cubic feet

**PRELIMINARY PERMITTING SET**



**ENSIGN**  
THE STANDARD IN ENGINEERING

SALT LAKE CITY  
45 West 10000 South  
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Sandy, Utah 84070  
Phone: 801.255.0529  
Fax: 801.255.4449  
WWW.ENSIGNUTAH.COM

LAYTON  
Phone: 801.547.1100  
TOOELE  
Phone: 435.843.3590  
CEDAR CITY  
Phone: 435.865.1453

ENSIGN PROJ. No.: 12770 PROJ. MANAGER: D. ALTER PROJ. ENGINEER: D. ALTER  
ENSIGN SHEET: C-300GP GRADING PLAN

REFERENCE DRAWINGS		WORK ORDERS		REVISIONS			ENGINEERING RECORD			
DRAWING NUMBER	REV	DRAWING DESCRIPTION	WO NUMBER	DESCRIPTION	NO	DESCRIPTION	DATE	BY	CHECK	DRAWN BY: J. LINFORD (ENSIGN)
DEU-R-HY0003-PIP-001	0	DISTRICT REGULATOR STATION HY0003 - PIPING	95626.22	FL-150 INSTALL 3"x3" REGULATOR STATION HY0003 AND HEATER	A	ISSUED FOR 90% REVIEW	11/20/2023	ENSIGN	IAT	CHECKED BY: I. TORRES
										PROJECT ENGR: Z. HANSEN
										SURVEYOR: C. AHRENS (PSOMAS)
										ENGR MNGR: S. MESSERSMITH
										CONSTR MNGR: D. FRANCIS

**Dominion Energy**

DOMINION ENERGY UTAH

SECTION: T R  
ELEVATION:  
LAT: LONG:  
SCALE: AS SHOWN

LINE NUMBER: FL-150

FACILITY: DISTRICT REGULATOR STATION HY0003

TITLE: 3X3 REGULATOR STATION AND HEATER

DESCRIPTION: GRADING AND DRAINAGE PLAN

ADDRESS: 300 NORTH 400 WEST

CITY: HYRUM CITY COUNTY: CACHE STATE: UTAH

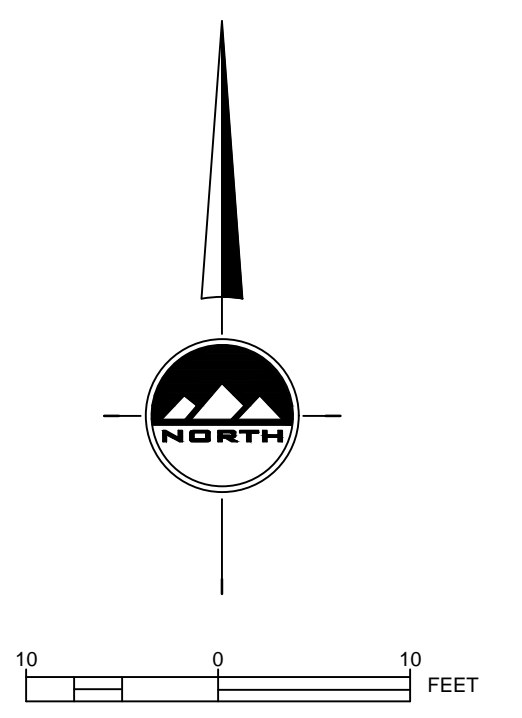
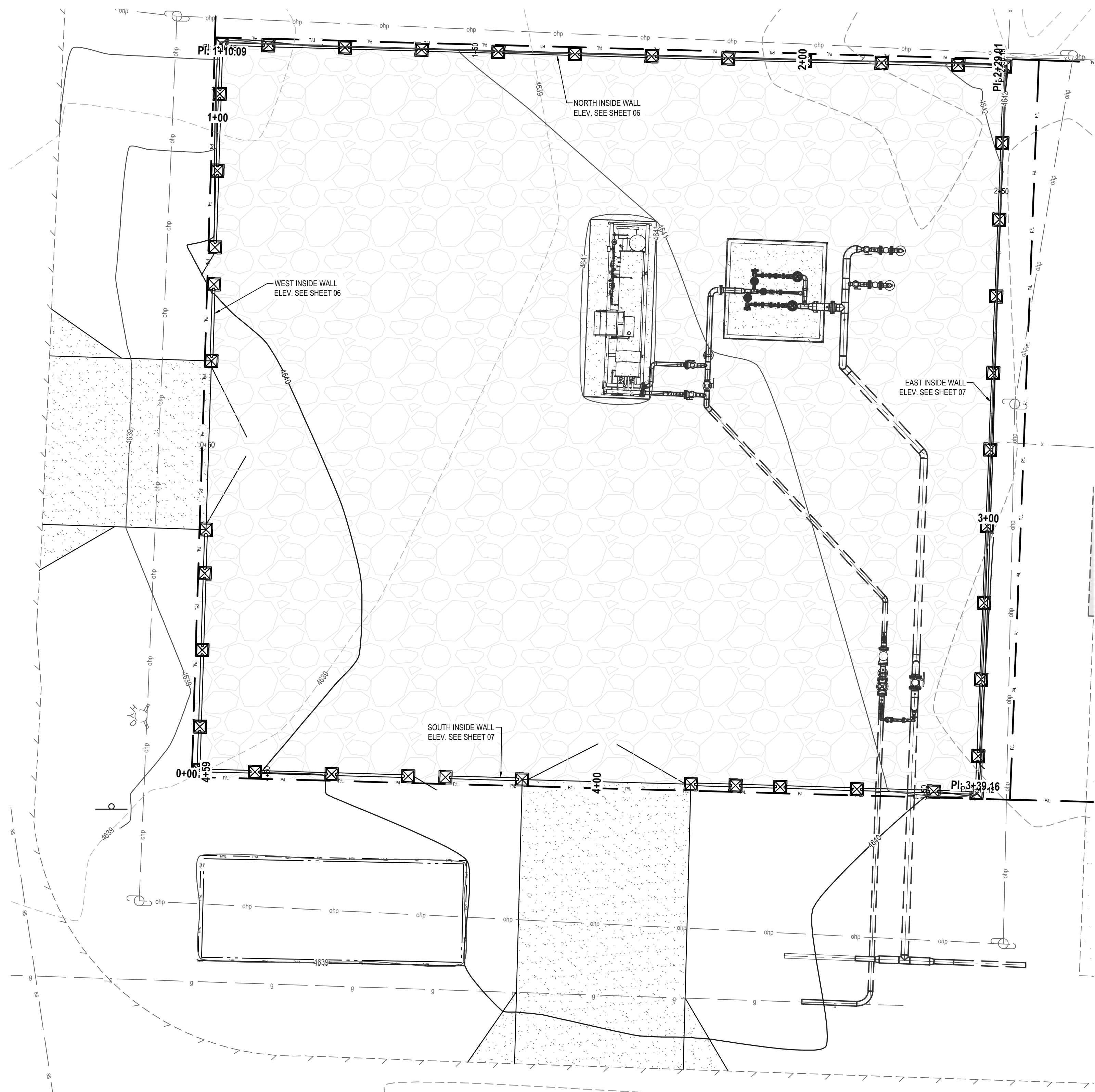
DRAWING NUMBER: DEU-R-HY0003-CCS-001 SHEET: 04 OF 12 REVISION: A

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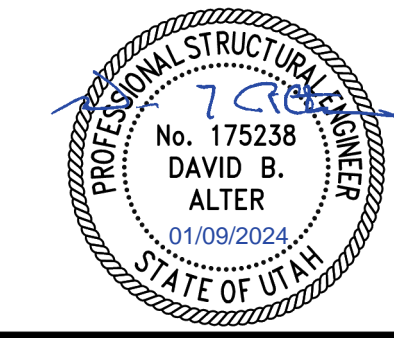
DOMINION ENERGY - ANS12

**811**  
Know what's below.  
Call before you dig.

CALL BLUESTAKES  
@ 811 AT LEAST 48  
HOURS PRIOR TO THE  
COMMENCEMENT OF  
ANY CONSTRUCTION.



**PRELIMINARY  
PERMITTING SET**



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Sandy, Utah 84070  
Phone: 801.255.0529  
Fax: 801.255.4449  
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Phone: 801.547.1100  
TOOELE  
Phone: 435.843.3590  
CEDAR CITY  
Phone: 435.865.1453

ENSIGN PROJ. No.: 12770    PROJ. MANAGER: D. ALTER    PROJ. ENGINEER: D. ALTER  
ENSIGN SHEET: C-200SP SITE PLAN

DRAWING NUMBER		REV	DRAWING DESCRIPTION	WO NUMBER	WORK ORDERS DESCRIPTION	NO	REVISIONS DESCRIPTION	DATE	BY	CHECK	ENGINEERING RECORD
DEU-R-HY0003-PIP-001		0	DISTRICT REGULATOR STATION HY0003 - PIPING	95626.22	FL-150 INSTALL 3"x3" REGULATOR STATION HY0003 AND HEATER	A	ISSUED FOR 90% REVIEW	11/20/2023	ENSIGN	IAT	DRAWN BY: J. LINFORD (ENSIGN) CHECKED BY: I. TORRES PROJECT ENGR: Z. HANSEN SURVEYOR: C. AHRENS (PSOMAS) ENGR MNGR: S. MESSERSMITH CONSTR MNGR: D. FRANCIS



SECTION: T R  
ELEVATION:  
LAT: LONG:  
SCALE: AS SHOWN

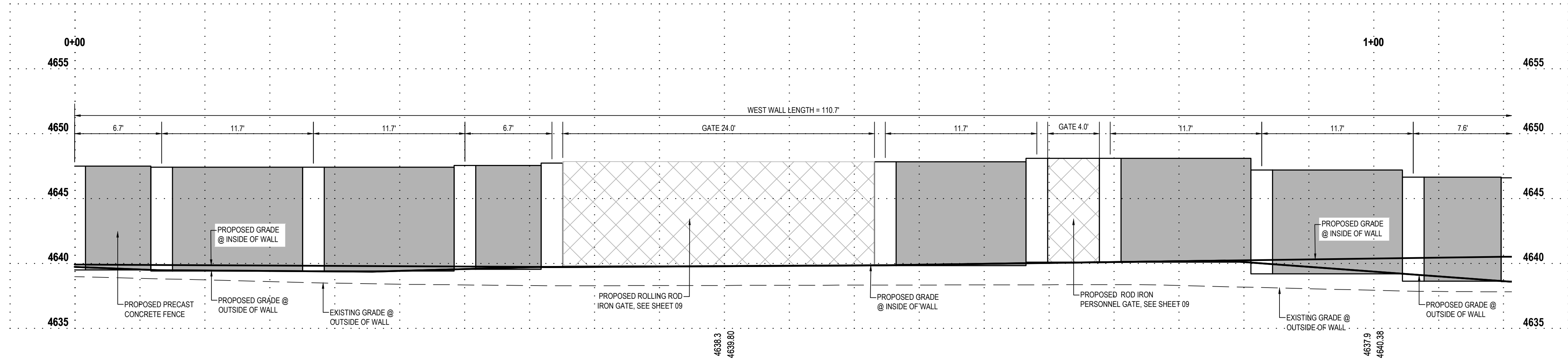
LINE NUMBER: FL-150	FACILITY: DISTRICT REGULATOR STATION HY0003	
TITLE: 3X3 REGULATOR STATION AND HEATER	WALL PLANS	
ADDRESS: 300 NORTH 400 WEST	CITY HYRUM CITY	COUNTY CACHE
DRAWING NUMBER DEU-R-HY0003-CCS-001	STATE UTAH	SHEET 05 OF 12
REVISION A		

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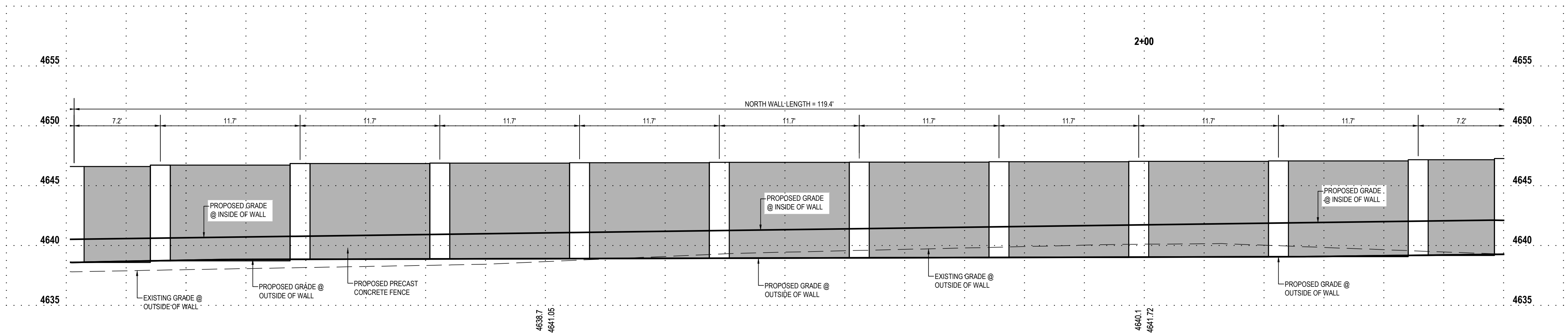
DOMINION ENERGY - ANS1D

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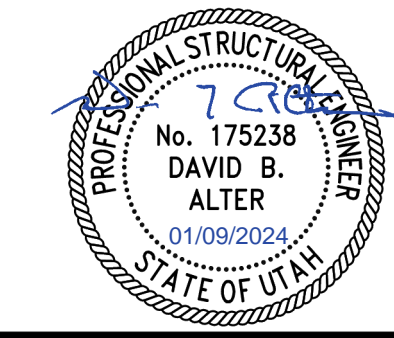


**WEST WALL PROFILE  
 VIEWED FROM INSIDE FACE OF WALL**



**NORTH WALL PROFILE  
 VIEWED FROM INSIDE FACE OF WALL**

**PRELIMINARY  
 PERMITTING SET**



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ENSIGN PROJ. No.: 12770 PROJ. MANAGER: D. ALTER PROJ. ENGINEER: D. ALTER  
 ENSIGN SHEET: C-200SP SITE PLAN

REFERENCE DRAWINGS			WORK ORDERS		REVISIONS				ENGINEERING RECORD					
DRAWING NUMBER	REV	DRAWING DESCRIPTION	WO NUMBER	DESCRIPTION	NO	DESCRIPTION	DATE	BY	CHECK	DRAWN BY:	CHECKED BY:	SURVEYOR:	ENGR MNGR:	CONSTR MNGR:
DEU-R-HY0003-PIP-001	0	DISTRICT REGULATOR STATION HY0003 - PIPING	95626.22	FL-150 INSTALL 3"x3" REGULATOR STATION HY0003 AND HEATER	A	ISSUED FOR 90% REVIEW	11/20/2023	ENSIGN	IAT	J. LINFORD (ENSIGN)	I. TORRES	Z. HANSEN	S. MESSERSMITH	D. FRANCIS

**Dominion Energy**  
 DOMINION ENERGY UTAH

SECTION: T R  
 ELEVATION:  
 LAT: LONG:  
 SCALE: AS SHOWN

LINE NUMBER: FL-150  
 FACILITY: DISTRICT REGULATOR STATION HY0003  
 TITLE: 3X3 REGULATOR STATION AND HEATER  
 DESCRIPTION: WALL PLANS  
 ADDRESS: 300 NORTH 400 WEST

CITY: HYRUM CITY COUNTY: CACHE STATE: UTAH

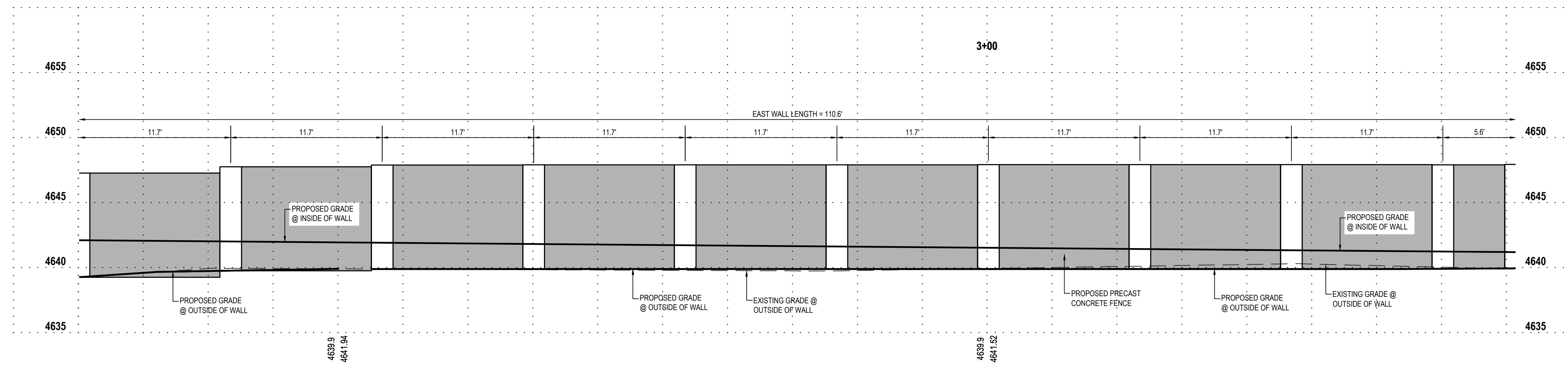
DRAWING NUMBER: DEU-R-HY0003-CCS-001 SHEET: 06 OF 12 REVISION: A

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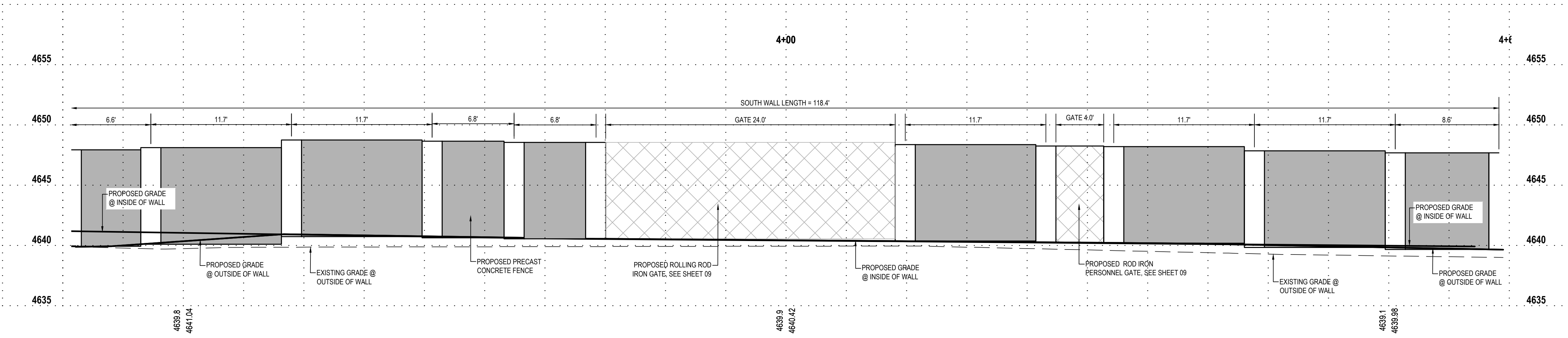
DOMINION ENERGY\_01512D

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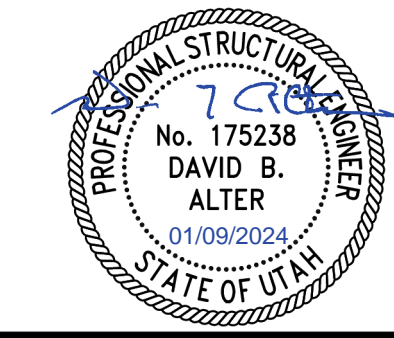


**EAST WALL PROFILE  
 VIEWED FROM INSIDE FACE OF WALL**



**SOUTH WALL PROFILE  
 VIEWED FROM INSIDE FACE OF WALL**

**PRELIMINARY  
 PERMITTING SET**



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ENSIGN PROJ. No.: 12770 PROJ. MANAGER: D. ALTER PROJ. ENGINEER: D. ALTER  
 ENSIGN SHEET: C-200SP SITE PLAN

REFERENCE DRAWINGS			WORK ORDERS		REVISIONS				ENGINEERING RECORD						
DRAWING NUMBER	REV	DRAWING DESCRIPTION	WO NUMBER	DESCRIPTION	NO	DESCRIPTION	DATE	BY	CHECK	DRAWN BY:	CHECKED BY:	PROJECT ENGR:	SURVEYOR:	ENGR MNGR:	CONSTR MNGR:
DEU-R-HY0003-PIP-001	0	DISTRICT REGULATOR STATION HY0003 - PIPING	95626.22	FL-150 INSTALL 3"x3" REGULATOR STATION HY0003 AND HEATER	A	ISSUED FOR 90% REVIEW	11/20/2023	ENSIGN	IAT	J. LINFORD (ENSIGN)	I. TORRES	Z. HANSEN	C. AHRENS (PSOMAS)	S. MESSERSMITH	D. FRANCIS

**Dominion Energy**  
 DOMINION ENERGY UTAH

SECTION: T R  
 ELEVATION:  
 LAT: LONG:  
 SCALE: AS SHOWN

LINE NUMBER: FL-150  
 FACILITY: DISTRICT REGULATOR STATION HY0003  
 TITLE: 3X3 REGULATOR STATION AND HEATER  
 DESCRIPTION: WALL PLANS  
 ADDRESS: 300 NORTH 400 WEST

CITY: HYRUM CITY COUNTY: CACHE STATE: UTAH

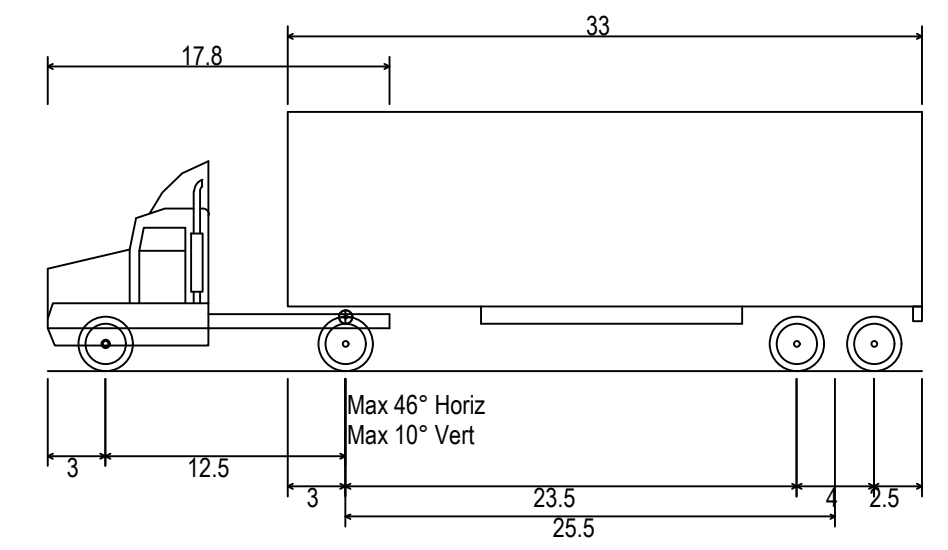
DRAWING NUMBER: DEU-R-HY0003-CCS-001 SHEET: 07 OF 12 REVISION: A

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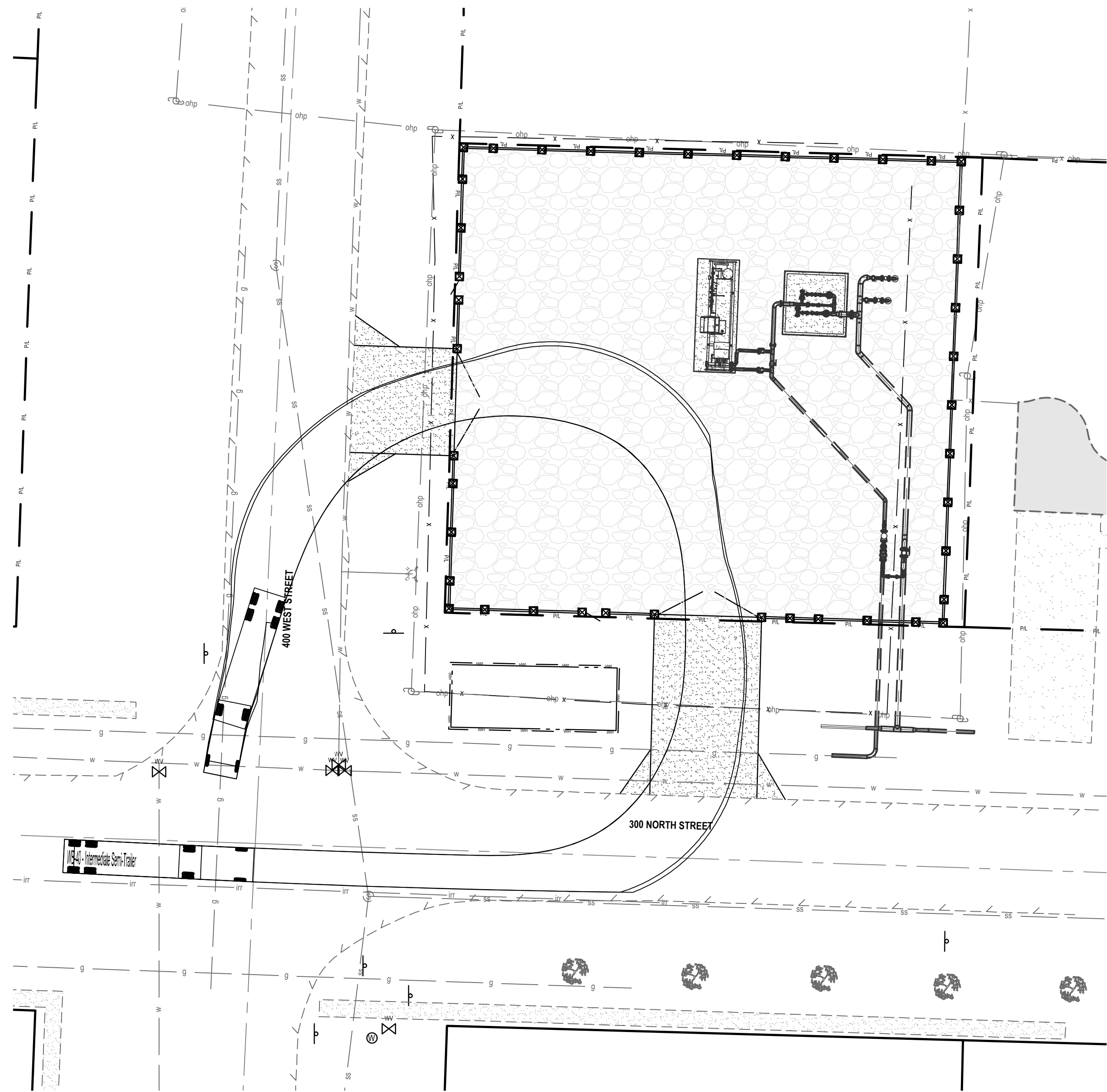
DOMINION ENERGY - ANS1D

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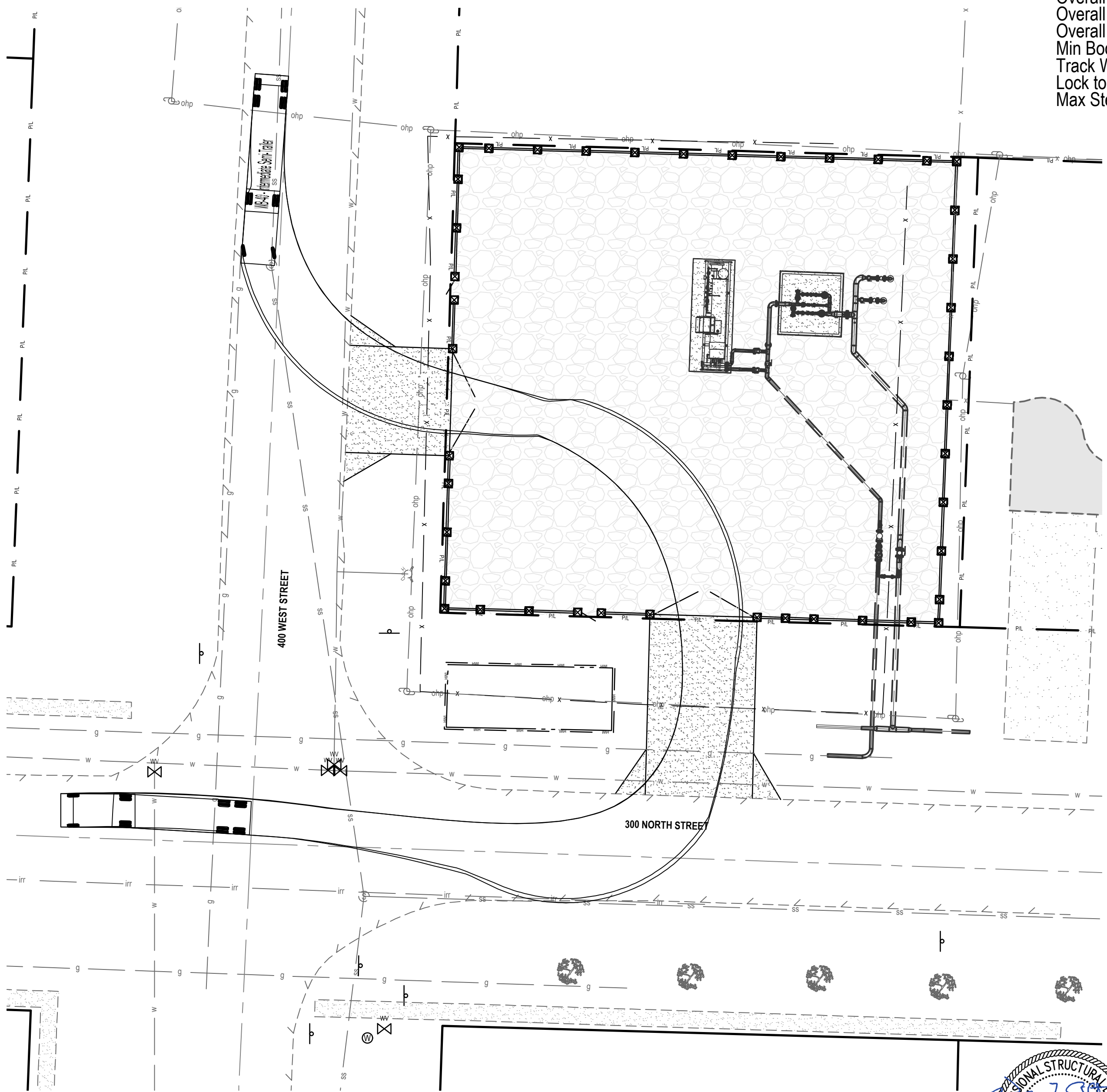
CALL BLUESTAKES  
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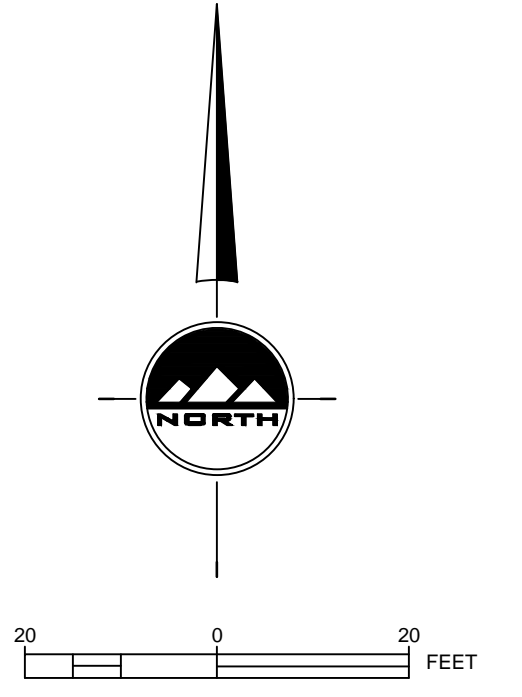
**WB-40 - Intermediate Semi-Trailer**  
 Overall Length 45.499ft  
 Overall Width 8.000ft  
 Overall Body Height 13.500ft  
 Min Body Ground Clearance 1.334ft  
 Track Width 8.000ft  
 Lock to lock time 4.00s  
 Max Steering Angle (Virtual) 20.30°



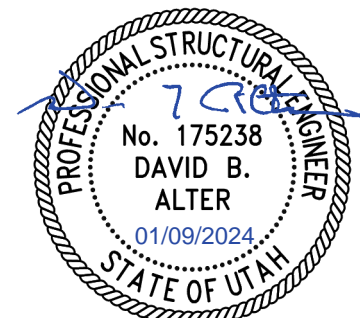
**ROUTE 1  
 ENTERING VIA 300 NORTH**



**ROUTE 2  
 ENTERING VIA 400 WEST**



**PRELIMINARY  
 PERMITTING SET**



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ENSIGN PROJ. No.: 12770 PROJ. MANAGER: D. ALTER PROJ. ENGINEER: D. ALTER  
 ENSIGN SHEET: C-800VT VEHICLE TRACKING PLAN

REFERENCE DRAWINGS		WORK ORDERS		REVISIONS				ENGINEERING RECORD							
DRAWING NUMBER	REV	DRAWING DESCRIPTION	WO NUMBER	DESCRIPTION	NO	DESCRIPTION	DATE	BY	CHECK	DRAWN BY:	CHECKED BY:	PROJECT ENGR:	SURVEYOR:	ENGR MNGR:	CONSTR MNGR:
DEU-R-HY0003-PIP-001	0	DISTRICT REGULATOR STATION HY0003 - PIPING	95626.22	FL-150 INSTALL 3"x3" REGULATOR STATION HY0003 AND HEATER	A	ISSUED FOR 90% REVIEW	11/20/2023	ENSIGN	IAT	J. LINFORD (ENSIGN)	I. TORRES	Z. HANSEN	C. AHRENS (PSOMAS)	S. MESSERSMITH	D. FRANCIS



**Dominion Energy**  
 DOMINION ENERGY UTAH

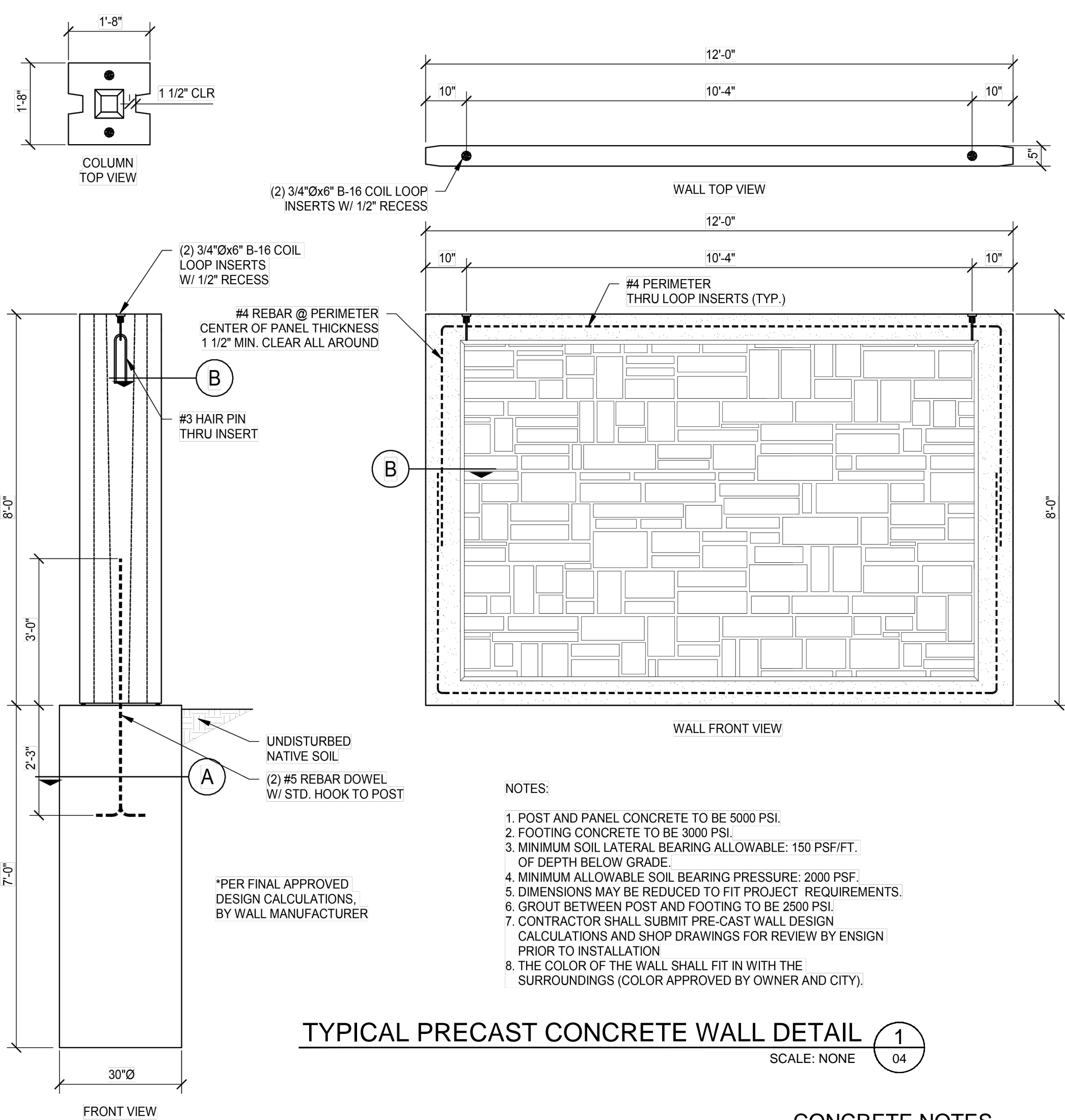
SECTION: T R  
 ELEVATION:  
 LAT: LONG:  
 SCALE: AS SHOWN

LINE NUMBER: <b>FL-150</b>		
FACILITY: <b>DISTRICT REGULATOR STATION HY0003</b>		
TITLE: <b>3X3 REGULATOR STATION AND HEATER</b>		
DESCRIPTION: <b>VEHICLE TRACKING</b>		
ADDRESS: <b>300 NORTH 400 WEST</b>		
CITY: <b>HYRUM CITY</b>	COUNTY: <b>CACHE</b>	STATE: <b>UTAH</b>
DRAWING NUMBER: <b>DEU-R-HY0003-CCS-001</b>		SHEET: <b>08 OF 12</b>
		REVISION: <b>A</b>

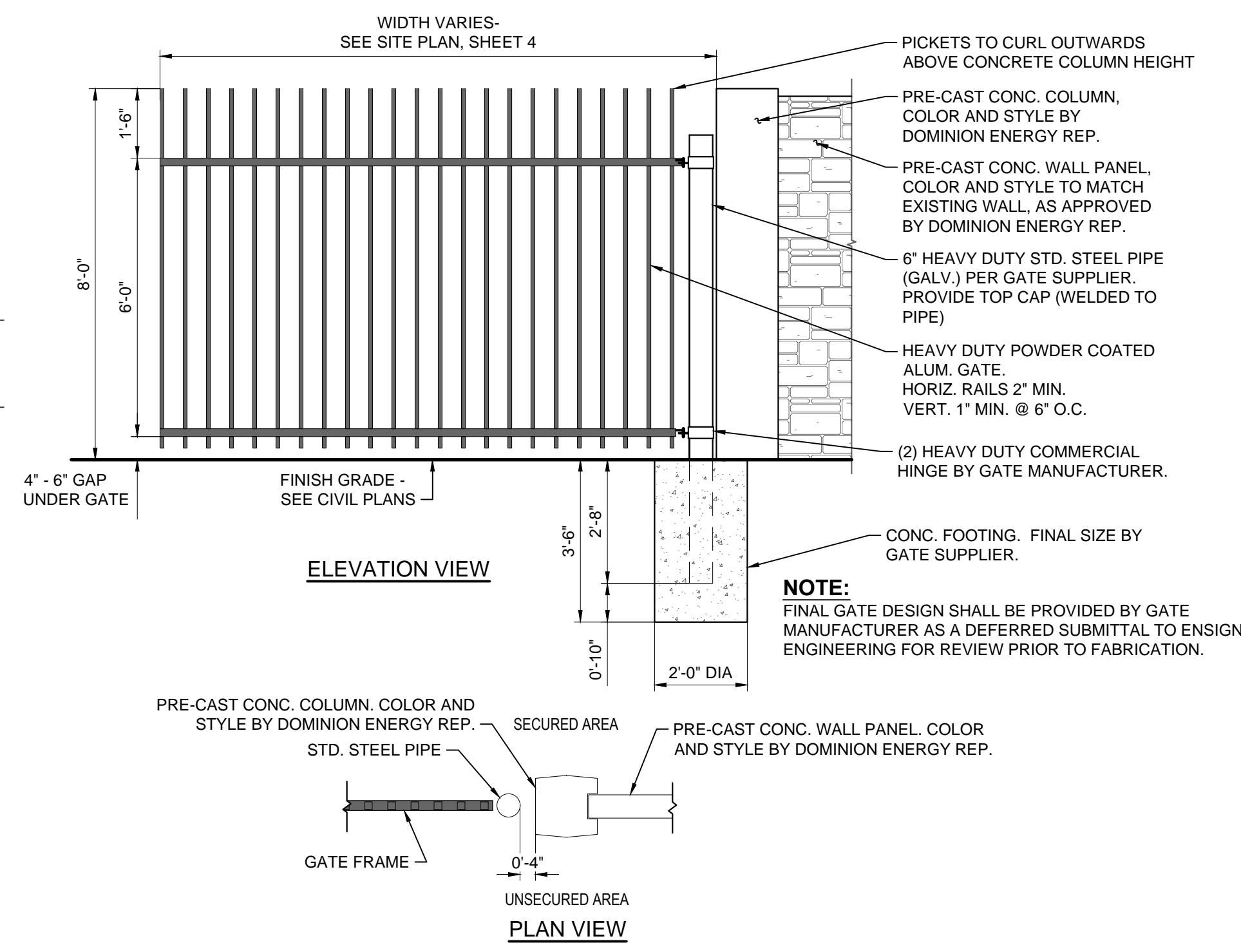
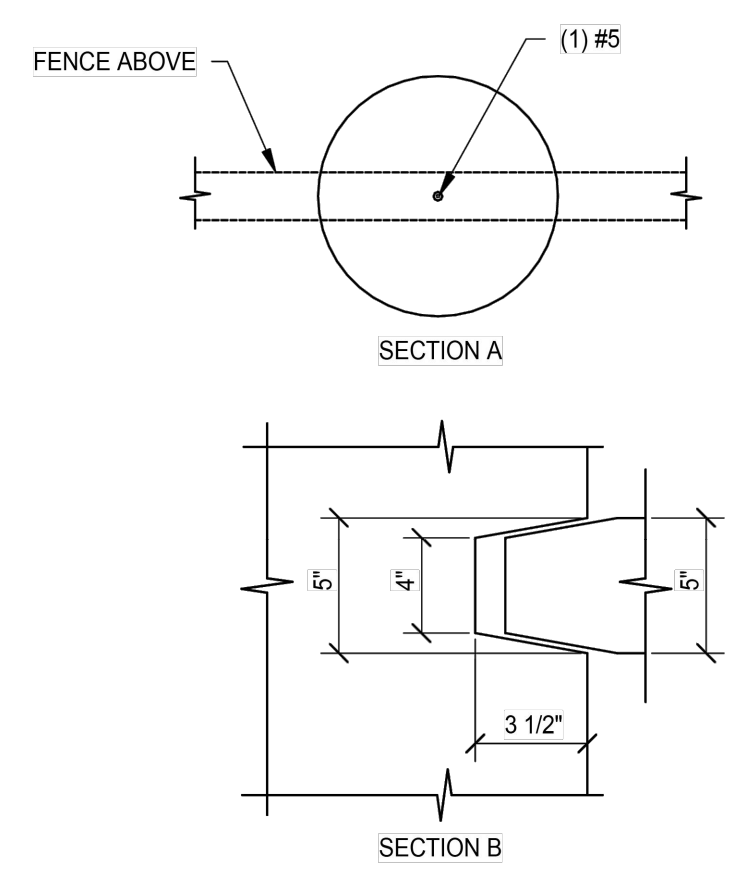
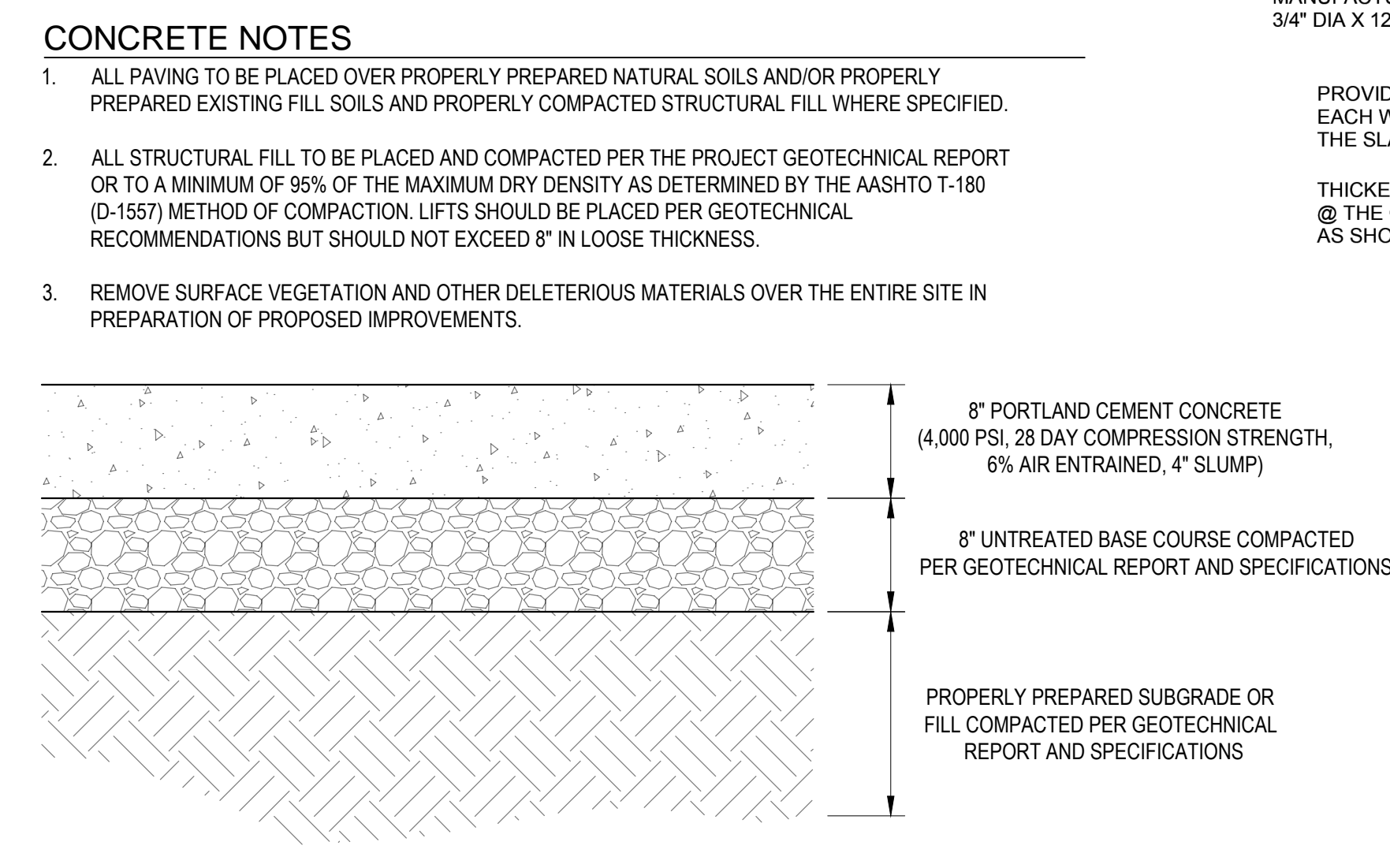
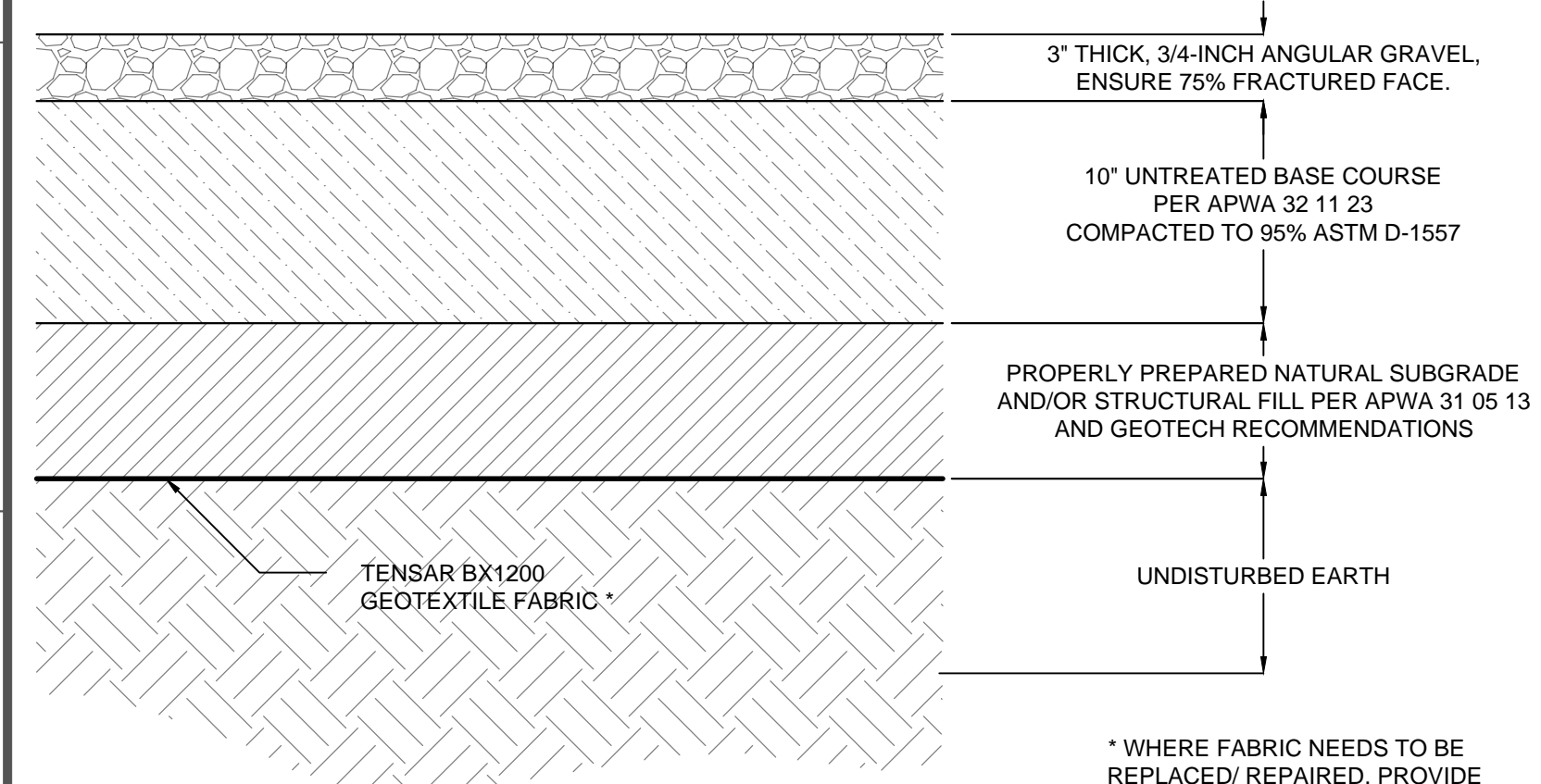
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DOMINION ENERGY - ANS1D

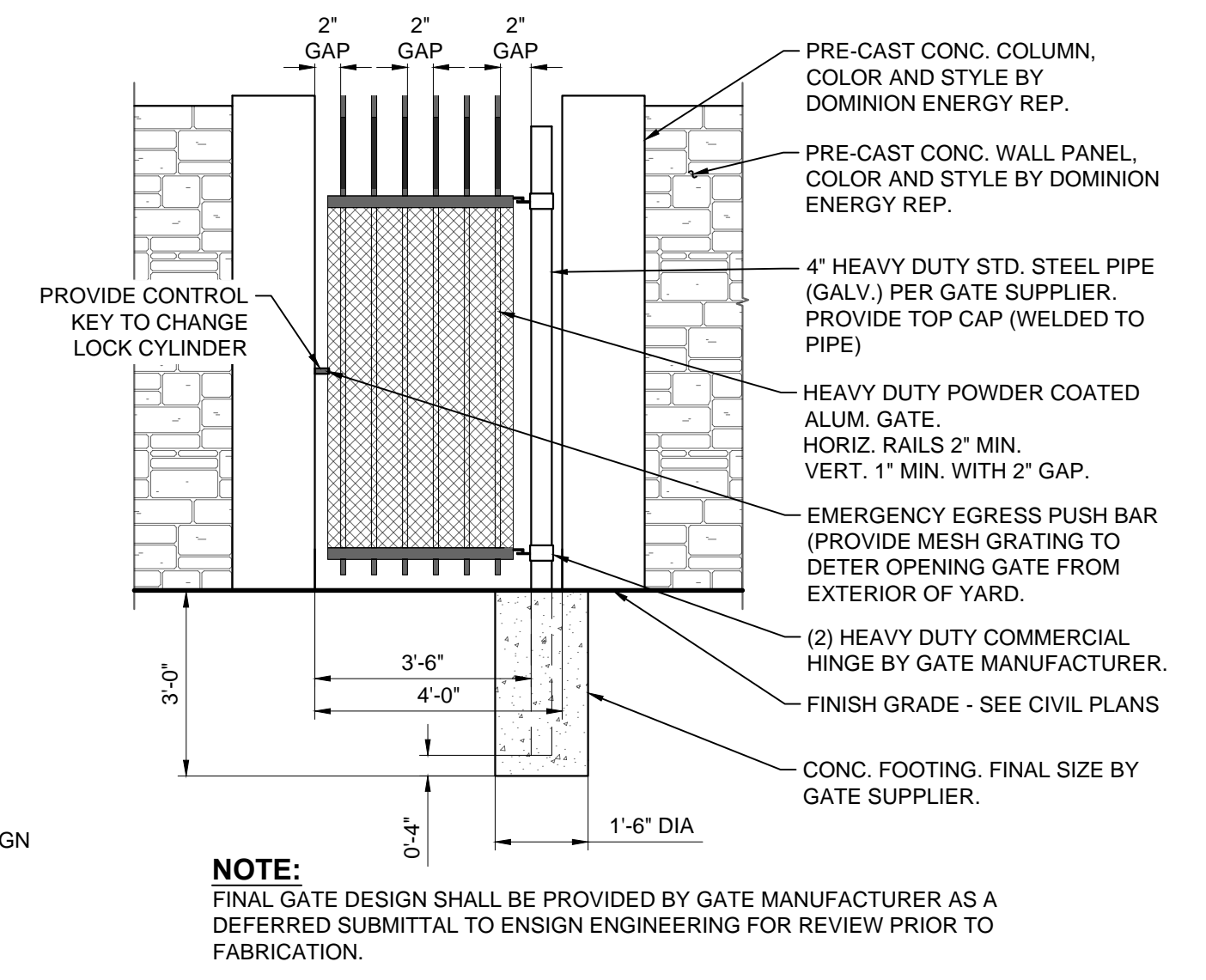




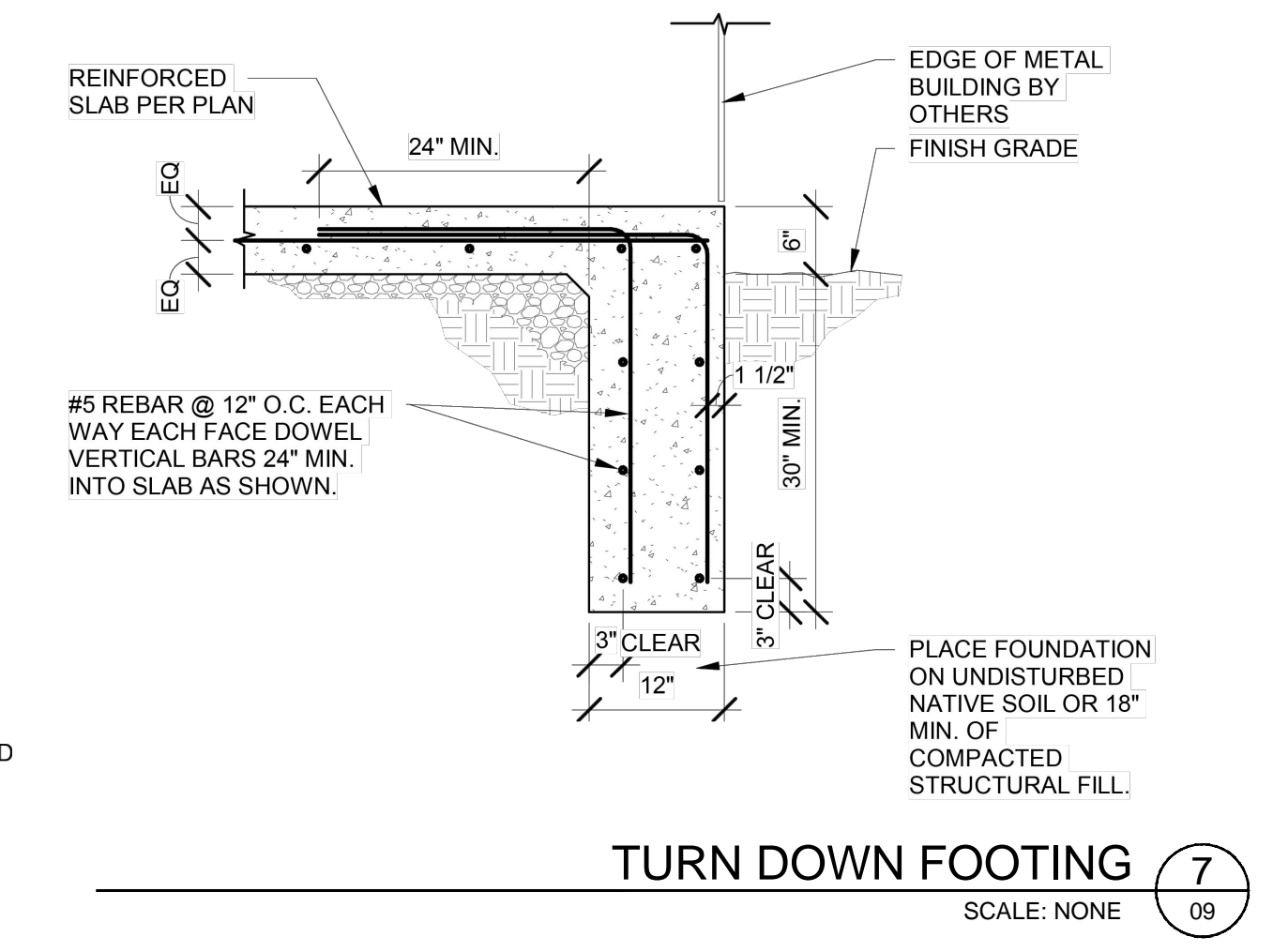
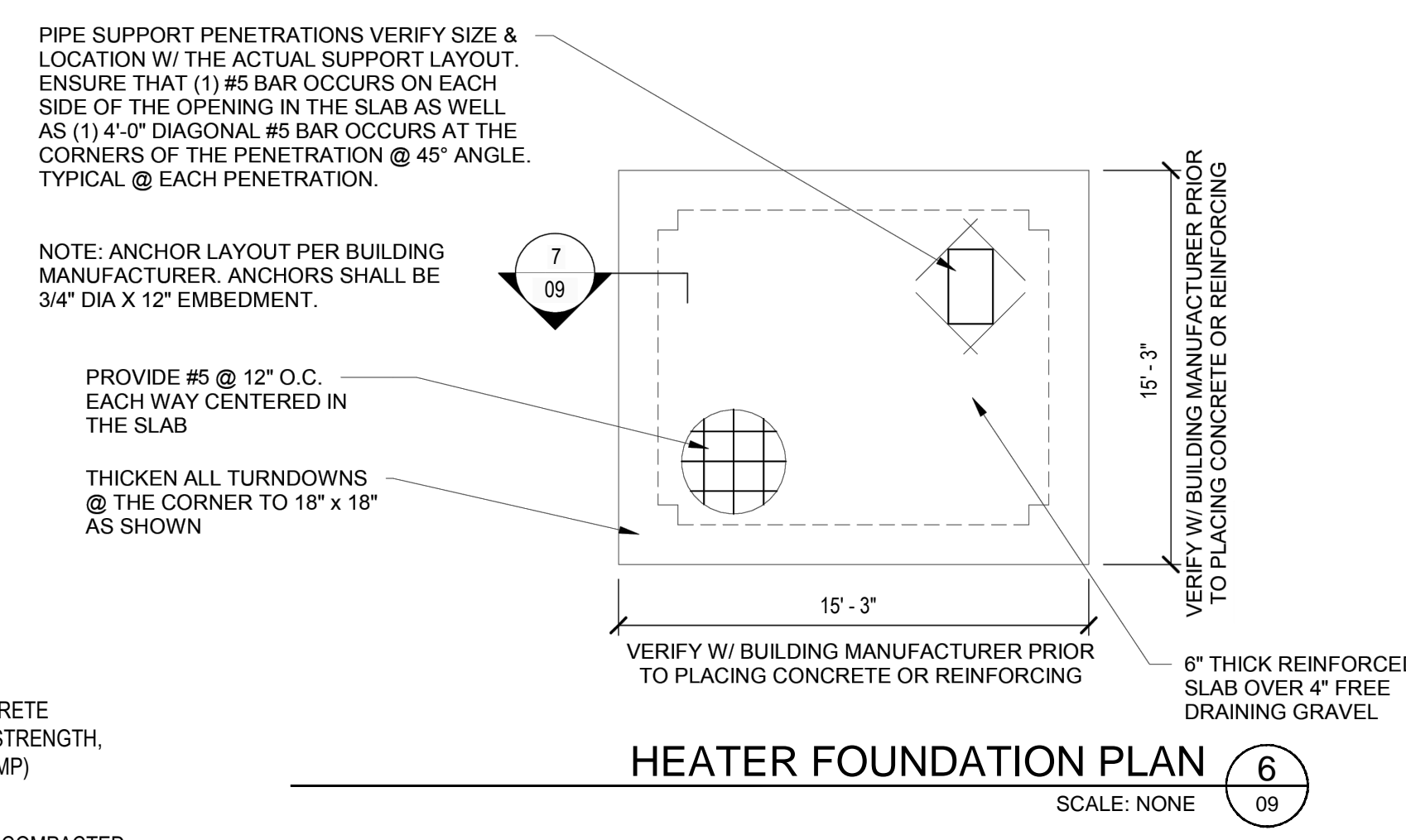
- NOTES:**
1. POST AND PANEL CONCRETE TO BE 5000 PSI.
  2. FOOTING CONCRETE TO BE 3000 PSI.
  3. MINIMUM SOIL LATERAL BEARING ALLOWABLE: 150 PSF/FT. OF DEPTH BELOW GRADE.
  4. MINIMUM ALLOWABLE SOIL BEARING PRESSURE: 2000 PSF.
  5. DIMENSIONS MAY BE REDUCED TO FIT PROJECT REQUIREMENTS.
  6. GROUT BETWEEN POST AND FOOTING TO BE 2500 PSI.
  7. CONTRACTOR SHALL SUBMIT PRE-CAST WALL DESIGN CALCULATIONS AND SHOP DRAWINGS FOR REVIEW BY ENSIGN PRIOR TO INSTALLATION.
  8. THE COLOR OF THE WALL SHALL FIT IN WITH THE SURROUNDINGS (COLOR APPROVED BY OWNER AND CITY).



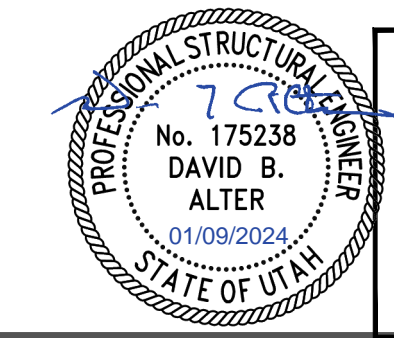
**NOTE:** FINAL GATE DESIGN SHALL BE PROVIDED BY GATE MANUFACTURER AS A DEFERRED SUBMITTAL TO ENSIGN ENGINEERING FOR REVIEW PRIOR TO FABRICATION.



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**PRELIMINARY PERMITTING SET**



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ENGIN PROJ. No.: 12770 PROJ. MANAGER: D. ALTER PROJ. ENGINEER: D. ALTER ENGIN SHEET:

REFERENCE DRAWINGS				WORK ORDERS				REVISIONS				ENGINEERING RECORD			
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DEU-R-HY0003-PIP-001	0	DISTRICT REGULATOR STATION HY0003 - PIPING	95626.22	FL-150 INSTALL 3"x3" REGULATOR STATION HY0003 AND HEATER	A	ISSUED FOR 90% REVIEW	11/20/2023	ENSIGN	IAT	J. LINFORD (ENSIGN)	I. TORRES	Z. HANSEN	C. AHRENS (PSOMAS)	S. MESSERSMITH	D. FRANCIS

**Dominion Energy**  
DOMINION ENERGY UTAH

SECTION: T R  
ELEVATION:  
LAT: LONG:  
SCALE: AS SHOWN

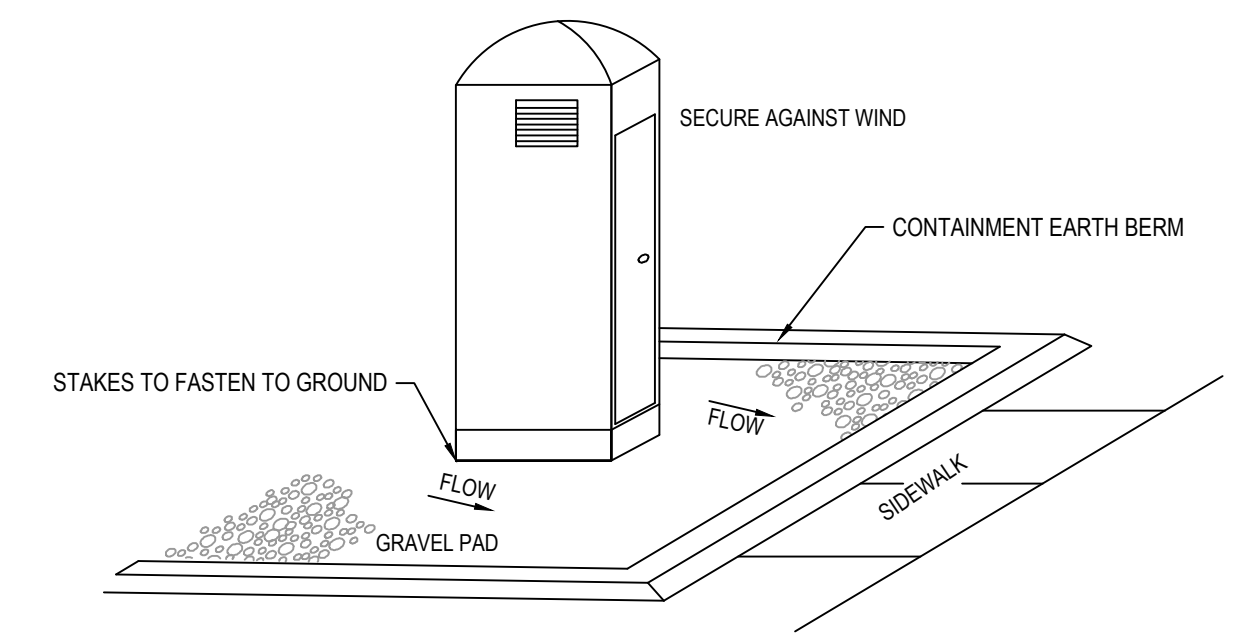
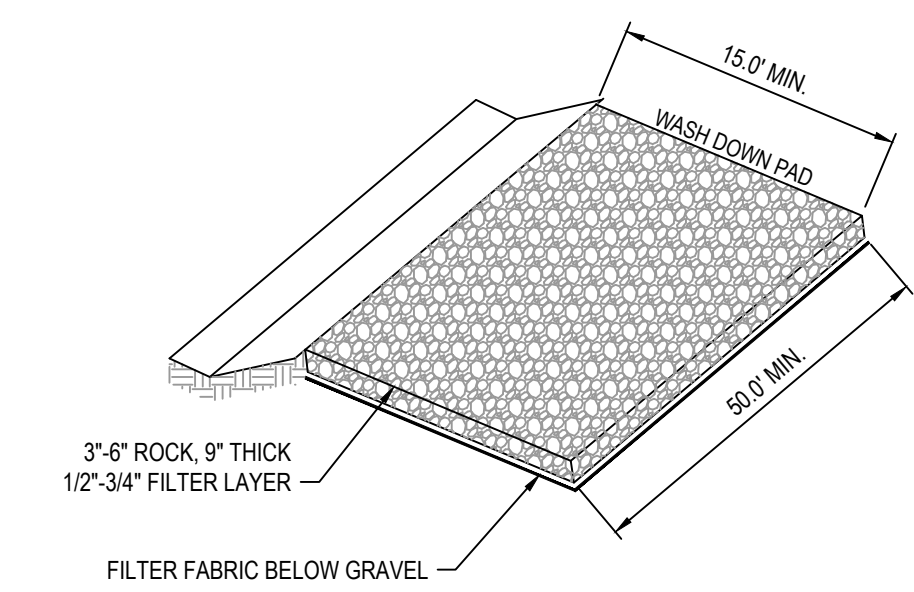
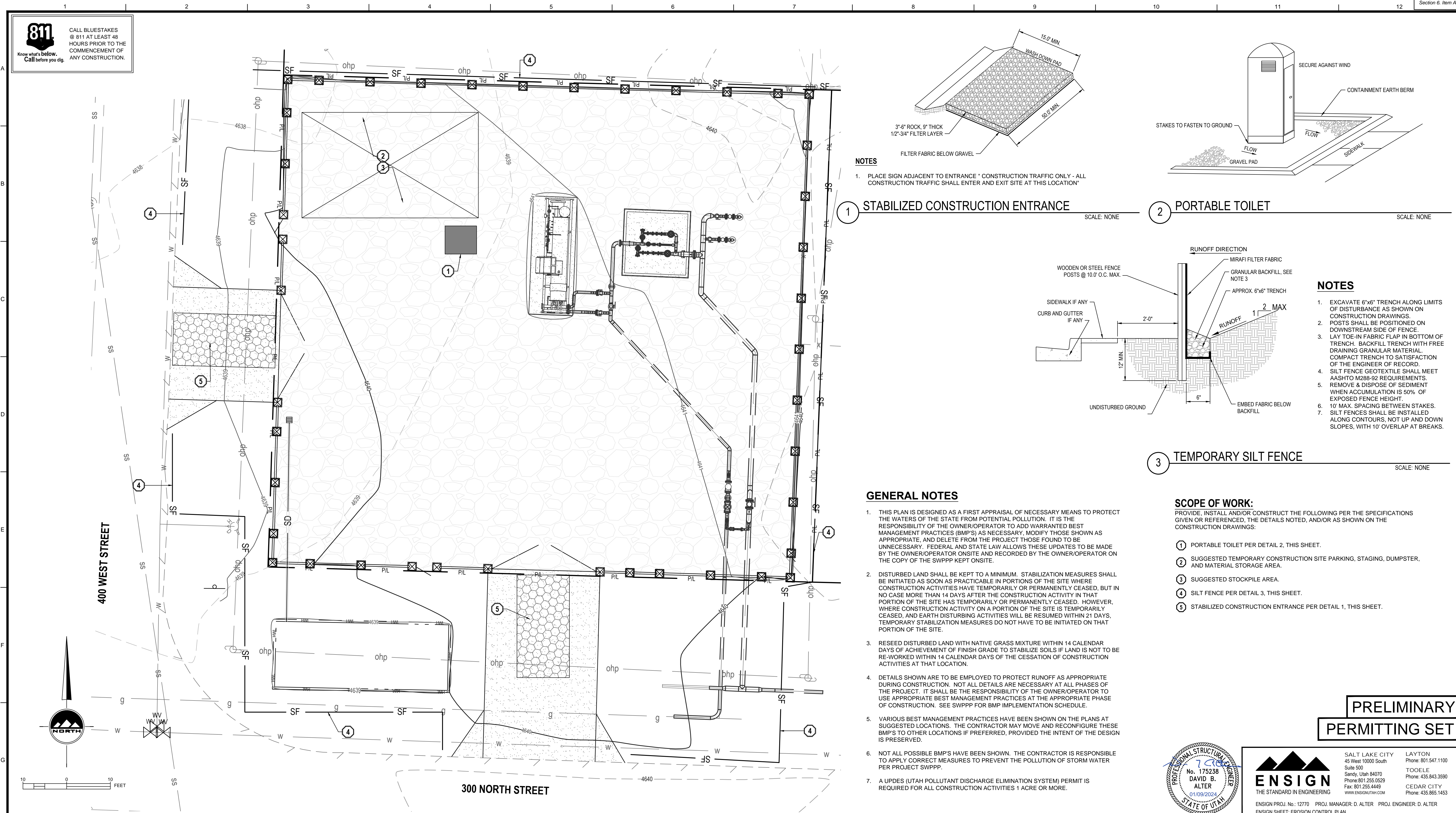
LINE NUMBER: FL-150  
FACILITY: DISTRICT REGULATOR STATION HY0003  
TITLE: 3X3 REGULATOR STATION AND HEATER  
DESCRIPTION: DETAILS  
ADDRESS: 300 NORTH 400 WEST

CITY: HYURM CITY COUNTY: CACHE STATE: UTAH

DRAWING NUMBER: DEU-R-HY0003-CCS-001 SHEET: 09 OF 12 REVISION: A

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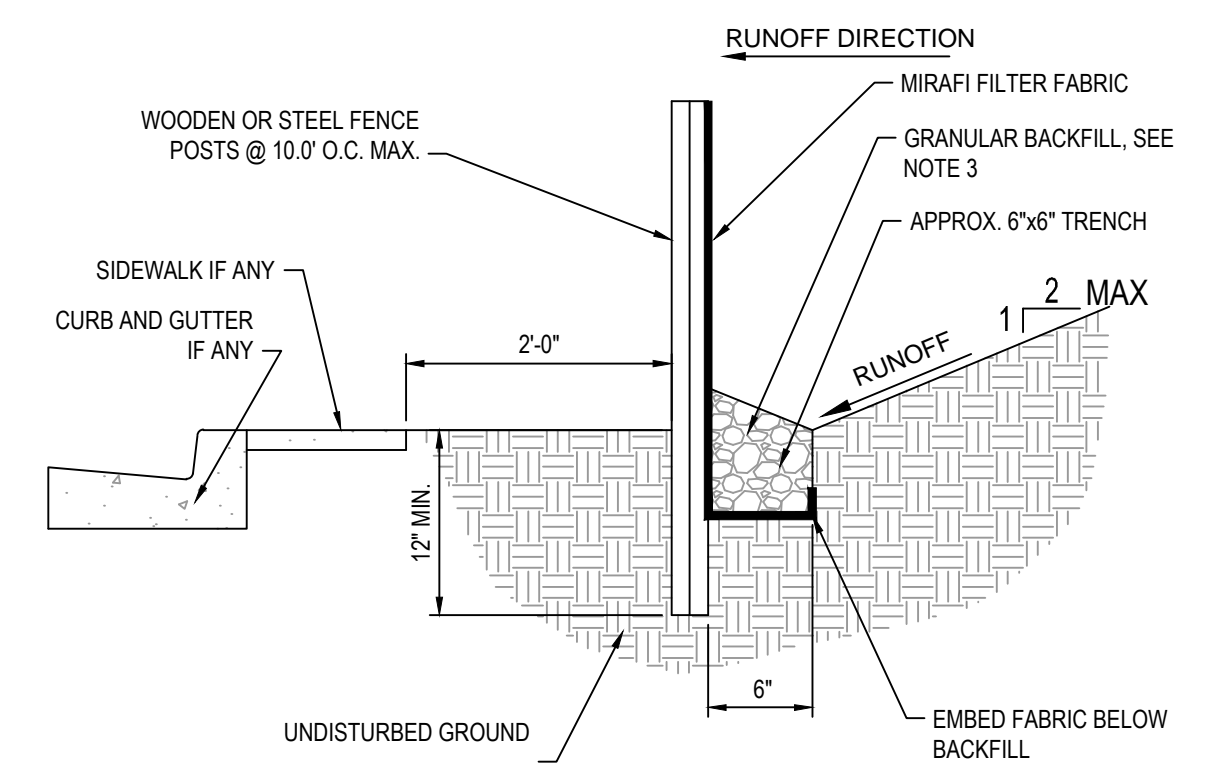
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**NOTES**  
 1. PLACE SIGN ADJACENT TO ENTRANCE \* CONSTRUCTION TRAFFIC ONLY - ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT SITE AT THIS LOCATION\*

**1 STABILIZED CONSTRUCTION ENTRANCE**  
 SCALE: NONE

**2 PORTABLE TOILET**  
 SCALE: NONE



**NOTES**  
 1. EXCAVATE 6"x6" TRENCH ALONG LIMITS OF DISTURBANCE AS SHOWN ON CONSTRUCTION DRAWINGS.  
 2. POSTS SHALL BE POSITIONED ON DOWNSTREAM SIDE OF FENCE.  
 3. LAY TOE-IN FABRIC FLAP IN BOTTOM OF TRENCH. BACKFILL TRENCH WITH FREE DRAINING GRANULAR MATERIAL. COMPACT TRENCH TO SATISFACTION OF THE ENGINEER OF RECORD.  
 4. SILT FENCE GEOTEXTILE SHALL MEET AASHTO M288-92 REQUIREMENTS.  
 5. REMOVE & DISPOSE OF SEDIMENT WHEN ACCUMULATION IS 50% OF EXPOSED FENCE HEIGHT.  
 6. 10' MAX. SPACING BETWEEN STAKES.  
 7. SILT FENCES SHALL BE INSTALLED ALONG CONTOURS, NOT UP AND DOWN SLOPES, WITH 10' OVERLAP AT BREAKS.

**3 TEMPORARY SILT FENCE**  
 SCALE: NONE

**GENERAL NOTES**

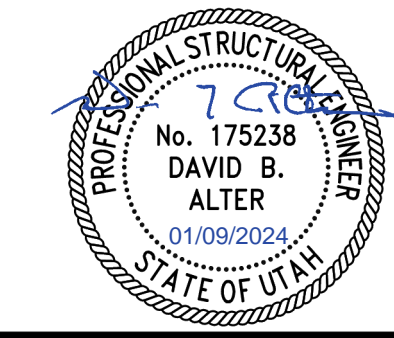
- THIS PLAN IS DESIGNED AS A FIRST APPRAISAL OF NECESSARY MEANS TO PROTECT THE WATERS OF THE STATE FROM POTENTIAL POLLUTION. IT IS THE RESPONSIBILITY OF THE OWNER/OPERATOR TO ADD WARRANTED BEST MANAGEMENT PRACTICES (BMP'S) AS NECESSARY, MODIFY THOSE SHOWN AS APPROPRIATE, AND DELETE FROM THE PROJECT THOSE FOUND TO BE UNNECESSARY. FEDERAL AND STATE LAW ALLOWS THESE UPDATES TO BE MADE BY THE OWNER/OPERATOR ONSITE AND RECORDED BY THE OWNER/OPERATOR ON THE COPY OF THE SWPPP KEPT ONSITE.
- DISTURBED LAND SHALL BE KEPT TO A MINIMUM. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. HOWEVER, WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 21 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- RESEED DISTURBED LAND WITH NATIVE GRASS MIXTURE WITHIN 14 CALENDAR DAYS OF ACHIEVEMENT OF FINISH GRADE TO STABILIZE SOILS IF LAND IS NOT TO BE RE-WORKED WITHIN 14 CALENDAR DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES AT THAT LOCATION.
- DETAILS SHOWN ARE TO BE EMPLOYED TO PROTECT RUNOFF AS APPROPRIATE DURING CONSTRUCTION. NOT ALL DETAILS ARE NECESSARY AT ALL PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR TO USE APPROPRIATE BEST MANAGEMENT PRACTICES AT THE APPROPRIATE PHASE OF CONSTRUCTION. SEE SWPPP FOR BMP IMPLEMENTATION SCHEDULE.
- VARIOUS BEST MANAGEMENT PRACTICES HAVE BEEN SHOWN ON THE PLANS AT SUGGESTED LOCATIONS. THE CONTRACTOR MAY MOVE AND RECONFIGURE THESE BMP'S TO OTHER LOCATIONS IF PREFERRED, PROVIDED THE INTENT OF THE DESIGN IS PRESERVED.
- NOT ALL POSSIBLE BMP'S HAVE BEEN SHOWN. THE CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT THE POLLUTION OF STORM WATER PER PROJECT SWPPP.
- A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE.

**SCOPE OF WORK:**

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- PORTABLE TOILET PER DETAIL 2, THIS SHEET.
- SUGGESTED TEMPORARY CONSTRUCTION SITE PARKING, STAGING, DUMPSTER, AND MATERIAL STORAGE AREA.
- SUGGESTED STOCKPILE AREA.
- SILT FENCE PER DETAIL 3, THIS SHEET.
- STABILIZED CONSTRUCTION ENTRANCE PER DETAIL 1, THIS SHEET.

**PRELIMINARY PERMITTING SET**



**ENSGN**  
 THE STANDARD IN ENGINEERING

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 Sandy, Utah 84070  
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 Fax: 801.255.4440  
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LAYTON  
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 CEDAR CITY  
 Phone: 435.865.1453

ENSGN PROJ. No.: 12770 PROJ. MANAGER: D. ALTER PROJ. ENGINEER: D. ALTER  
 ENSGN SHEET: EROSION CONTROL PLAN

DRAWING NUMBER		REFERENCE DRAWINGS		WORK ORDERS		REVISIONS		ENGINEERING RECORD			
DRAWING NUMBER	REV	DRAWING DESCRIPTION	WO NUMBER	DESCRIPTION	NO	DESCRIPTION	DATE	BY	CHECK	DRAWN BY:	DATE
DEU-R-HY0003-PIP-001	0	DISTRICT REGULATOR STATION HY0003 - PIPING	95626.22	FL-150 INSTALL 3"x3" REGULATOR STATION HY0003 AND HEATER	A	ISSUED FOR 90% REVIEW	11/20/2023	ENSGN	IAT	J. LINFORD (ENSGN)	
										CHECKED BY: I. TORRES	
										PROJECT ENGR: Z. HANSEN	
										SURVEYOR: C. AHRENS (PSOMAS)	
										ENGR MNGR: S. MESSERSMITH	
										CONSTR MNGR: D. FRANCIS	

**Dominion Energy**  
 DOMINION ENERGY UTAH

SECTION: T R  
 ELEVATION:  
 LAT: LONG:  
 SCALE: AS SHOWN

LINE NUMBER: FL-150  
 FACILITY: DISTRICT REGULATOR STATION HY0003  
 TITLE: 3X3 REGULATOR STATION AND HEATER  
 DESCRIPTION: EROSION CONTROL PLAN AND DETAILS  
 ADDRESS: 300 NORTH 400 WEST

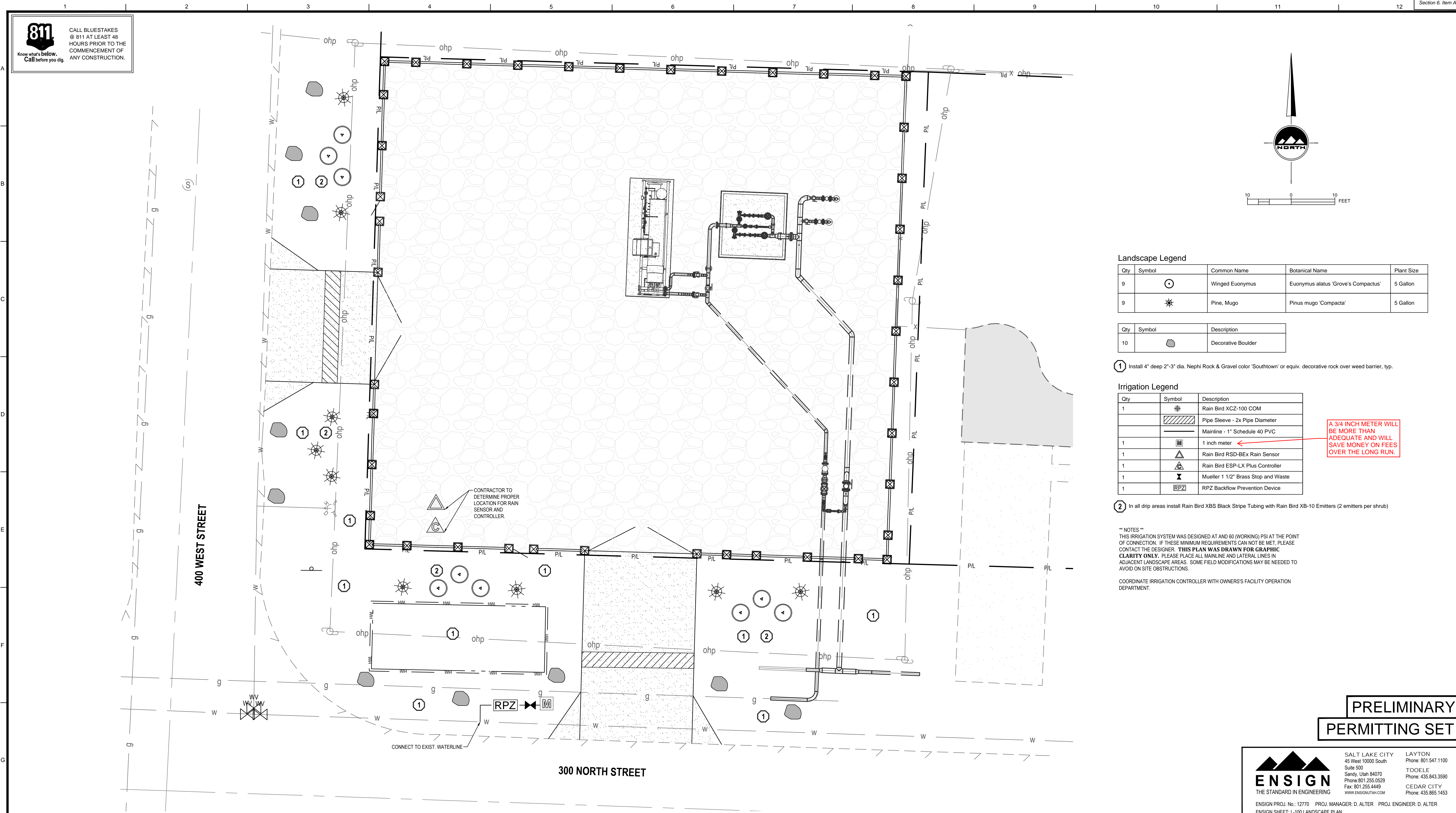
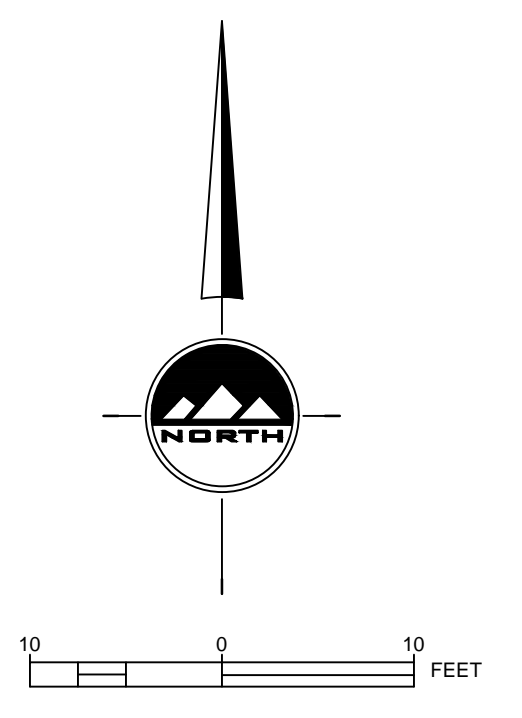
CITY: HYRUM CITY COUNTY: CACHE STATE: UTAH  
 DRAWING NUMBER: DEU-R-HY0003-CCS-001 SHEET: 10 OF 12 REVISION: A

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DOMINION ENERGY - ANS12D

**811**  
Know what's below.  
Call before you dig.

CALL BLUESTAKES  
@ 811 AT LEAST 48  
HOURS PRIOR TO THE  
COMMENCEMENT OF  
ANY CONSTRUCTION.



**Landscape Legend**

Qty	Symbol	Common Name	Botanical Name	Plant Size
9	⊙	Winged Euonymus	Euonymus alatus 'Grove's Compactus'	5 Gallon
9	⊛	Pine, Mugo	Pinus mugo 'Compacta'	5 Gallon

Qty	Symbol	Description
10	⬤	Decorative Boulder

1 Install 4" deep 2'-3" dia. Nephri Rock & Gravel color 'Southtown' or equiv. decorative rock over weed barrier, typ.

**Irrigation Legend**

Qty	Symbol	Description
1	⊕	Rain Bird X CZ-100 COM
	▨	Pipe Sleeve - 2x Pipe Diameter
	—	Mainline - 1" Schedule 40 PVC
1	⊞	1 inch meter
1	⚠	Rain Bird RSD-BEx Rain Sensor
1	⚠	Rain Bird ESP-LX Plus Controller
1	⊗	Mueller 1 1/2" Brass Stop and Waste
1	RPZ	RPZ Backflow Prevention Device

A 3/4 INCH METER WILL BE MORE THAN ADEQUATE AND WILL SAVE MONEY ON FEES OVER THE LONG RUN.

2 In all drip areas install Rain Bird XBS Black Stripe Tubing with Rain Bird XB-10 Emitters (2 emitters per shrub)

\*\*\* NOTES \*\*\*  
THIS IRRIGATION SYSTEM WAS DESIGNED AT AND 60 (WORKING) PSI AT THE POINT OF CONNECTION. IF THESE MINIMUM REQUIREMENTS CAN NOT BE MET, PLEASE CONTACT THE DESIGNER. **THIS PLAN WAS DRAWN FOR GRAPHIC CLARITY ONLY.** PLEASE PLACE ALL MAINLINE AND LATERAL LINES IN ADJACENT LANDSCAPE AREAS. SOME FIELD MODIFICATIONS MAY BE NEEDED TO AVOID ON SITE OBSTRUCTIONS.

COORDINATE IRRIGATION CONTROLLER WITH OWNER'S FACILITY OPERATION DEPARTMENT.

**PRELIMINARY PERMITTING SET**

**ENSIGN**  
THE STANDARD IN ENGINEERING

SALT LAKE CITY  
45 West 10000 South  
Suite 500  
Sandy, Utah 84070  
Phone: 801.255.0529  
Fax: 801.255.4449  
WWW.ENSIGNUTAH.COM

LAYTON  
Phone: 801.547.1100

TOOELE  
Phone: 435.843.3590

CEDAR CITY  
Phone: 435.865.1453

ENSIGN PROJ. No.: 12770 PROJ. MANAGER: D. ALTER PROJ. ENGINEER: D. ALTER  
ENSIGN SHEET: L-100 LANDSCAPE PLAN

REFERENCE DRAWINGS		WORK ORDERS		REVISIONS				ENGINEERING RECORD					
DRAWING NUMBER	REV	DRAWING DESCRIPTION	WO NUMBER	NO	DESCRIPTION	DATE	BY	CHECK	DRAWN BY:	CHECKED BY:	SURVEYOR:	ENGR MNGR:	CONSTR MNGR:
DEU-R-HY0003-PIP-001	0	DISTRICT REGULATOR STATION HY0003 - PIPING	95626.22	A	ISSUED FOR 90% REVIEW	11/20/2023	ENSIGN	IAT	J. LINFORD (ENSIGN)	I. TORRES	Z. HANSEN	S. MESSERSMITH	D. FRANCIS

**Dominion Energy**  
DOMINION ENERGY UTAH

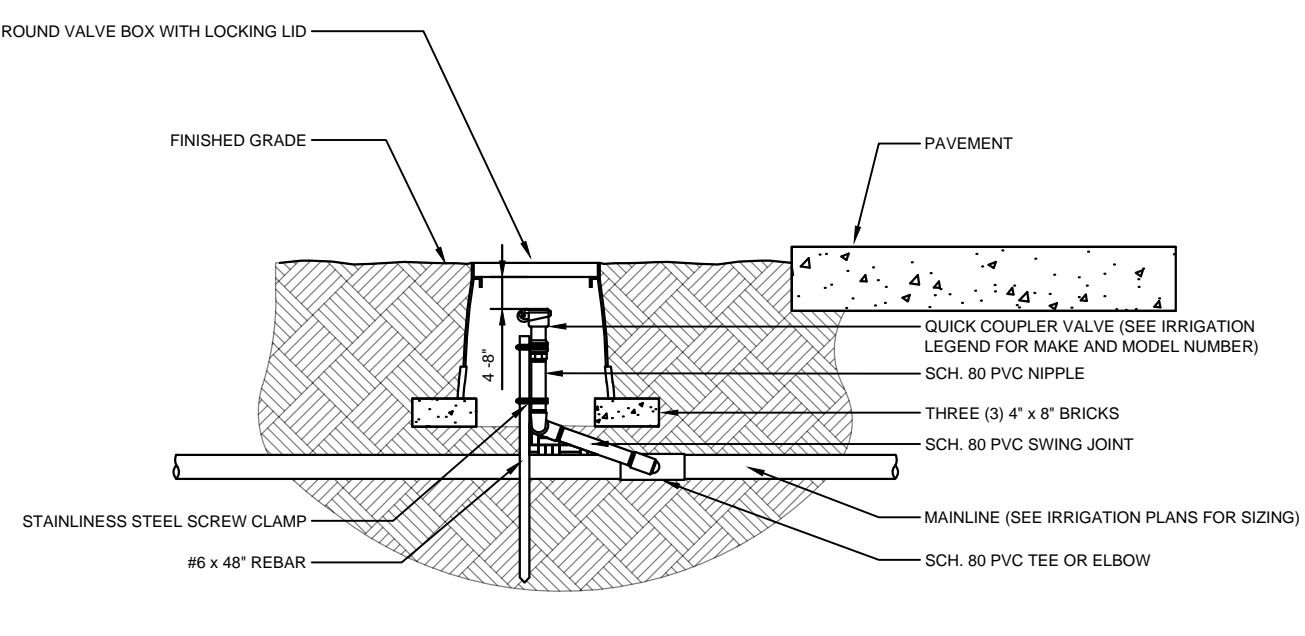
SECTION: T R  
ELEVATION:  
LAT: LONG:  
SCALE: AS SHOWN

LINE NUMBER: FL-150  
FACILITY: DISTRICT REGULATOR STATION HY0003  
TITLE: 3X3 REGULATOR STATION AND HEATER  
DESCRIPTION: LANDSCAPE AND IRRIGATION PLAN  
ADDRESS: 300 NORTH 400 WEST

CITY: HYRUM CITY COUNTY: CACHE STATE: UTAH  
DRAWING NUMBER: DEU-R-HY0003-CCS-001 SHEET: 11 OF 12 REVISION: A

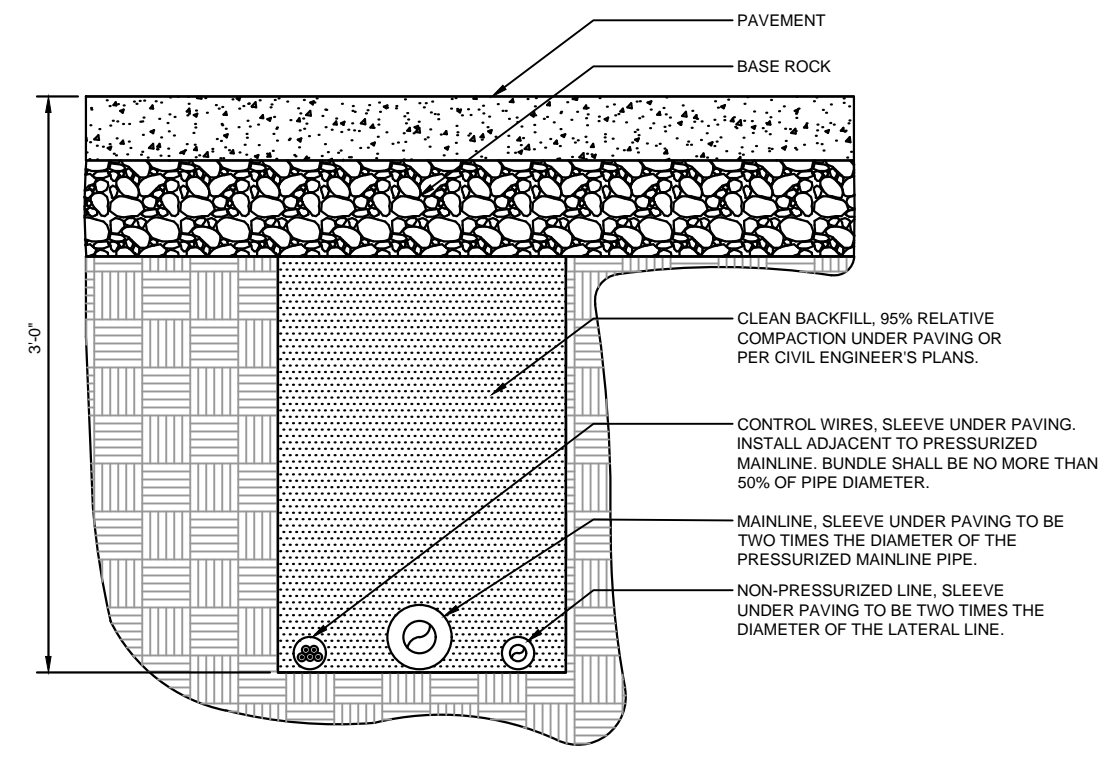
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DOMINION ENERGY - ANS1D



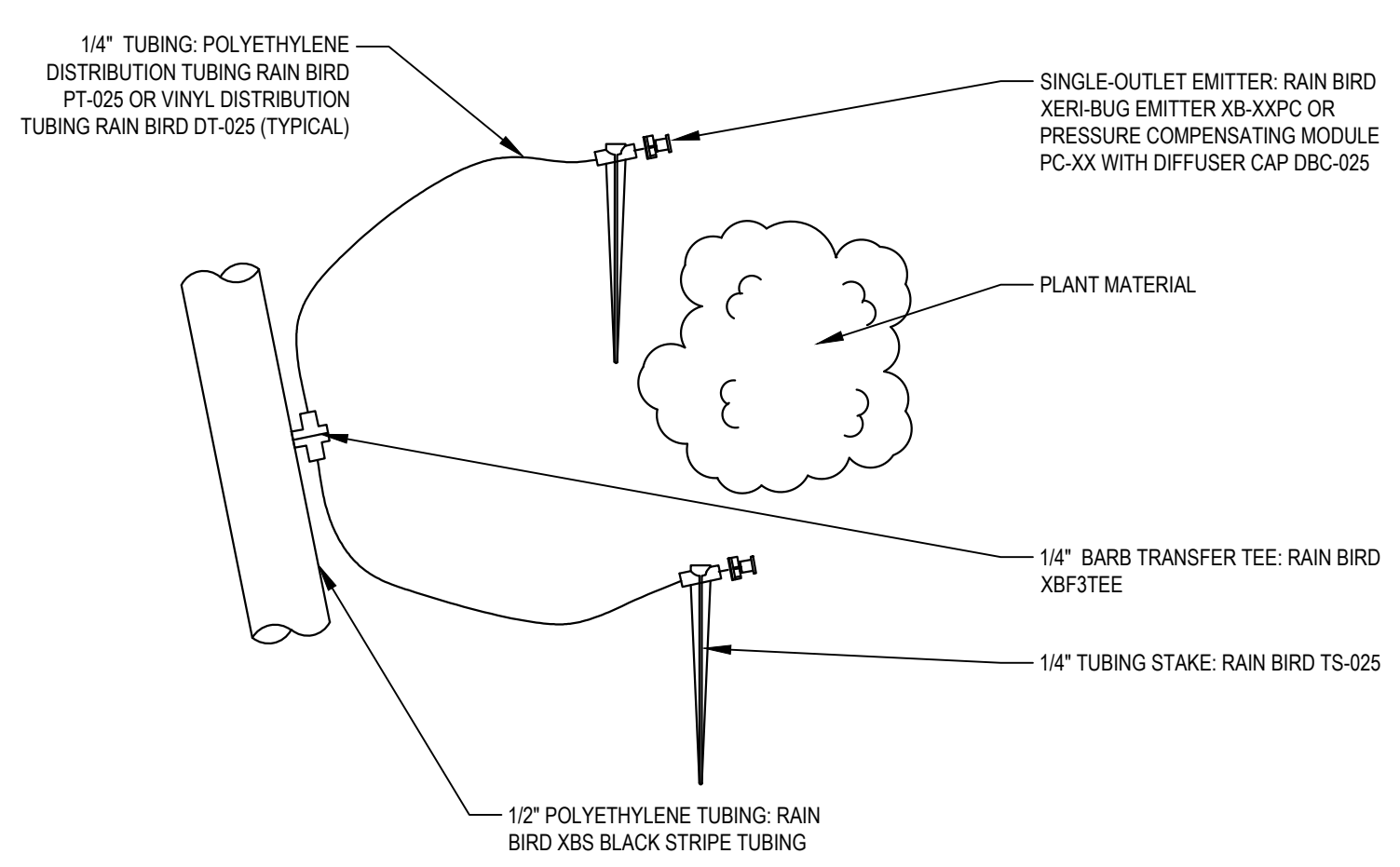
- NOTES:  
 1- ALL THREADED CONNECTIONS SHALL BE INSTALLED USING TEFLON TAPE.  
 2- VALVE BOX SHALL BE WRAPPED WITH A MINIMUM 3 MIL THICK PLASTIC AND SECURED TO THE VALVE BOX USING DUCT TAPE OR ELECTRICAL TAPE.  
 3- ALL QUICK COUPLERS SHALL BE INSTALLED A MINIMUM OF 18" OFF OF THE MAINLINE.  
 4- VALVE BOXED SHALL BE LOCATED IN PLANTING AREAS.

9 QUICK-COUPLING VALVE SCALE: NONE

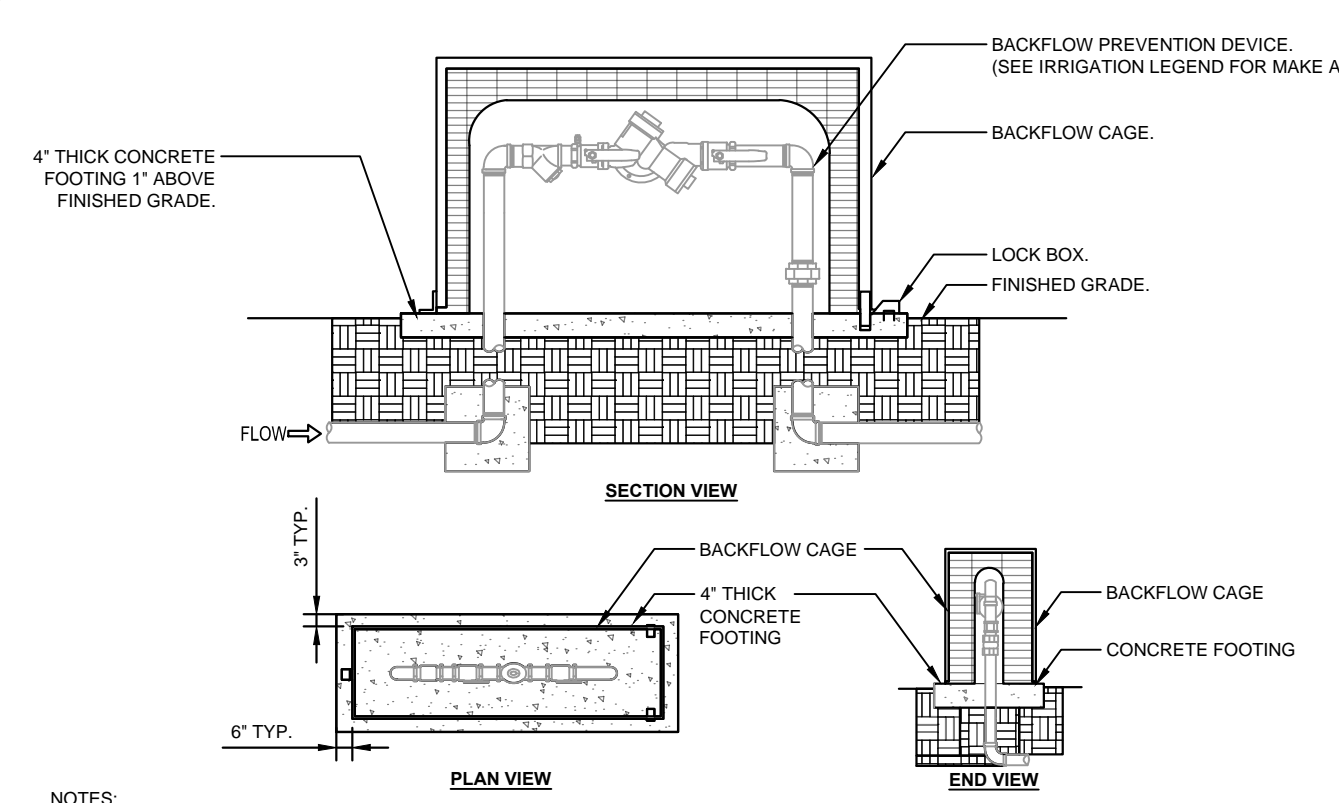


- NOTES:  
 1- SEE IRRIGATION LEGEND FOR MAINLINE SIZE AND TYPE.  
 2- ALL SLEEVES SHALL BE SCH. 40 PVC PIPE.  
 3- ALL SLEEVES SHALL EXTEND 12" BEYOND THE EDGE OF PAVEMENT.  
 4- END OF SLEEVES SHALL BE LOCATED WITH A WOODEN STAKE OR PVC PIPE. LOCATORS SHALL RUN CONTINUOUSLY FROM THE END OF THE SLEEVE TO FINISHED GRADE.

10 PIPE BENEATH PAVEMENT SCALE: NONE

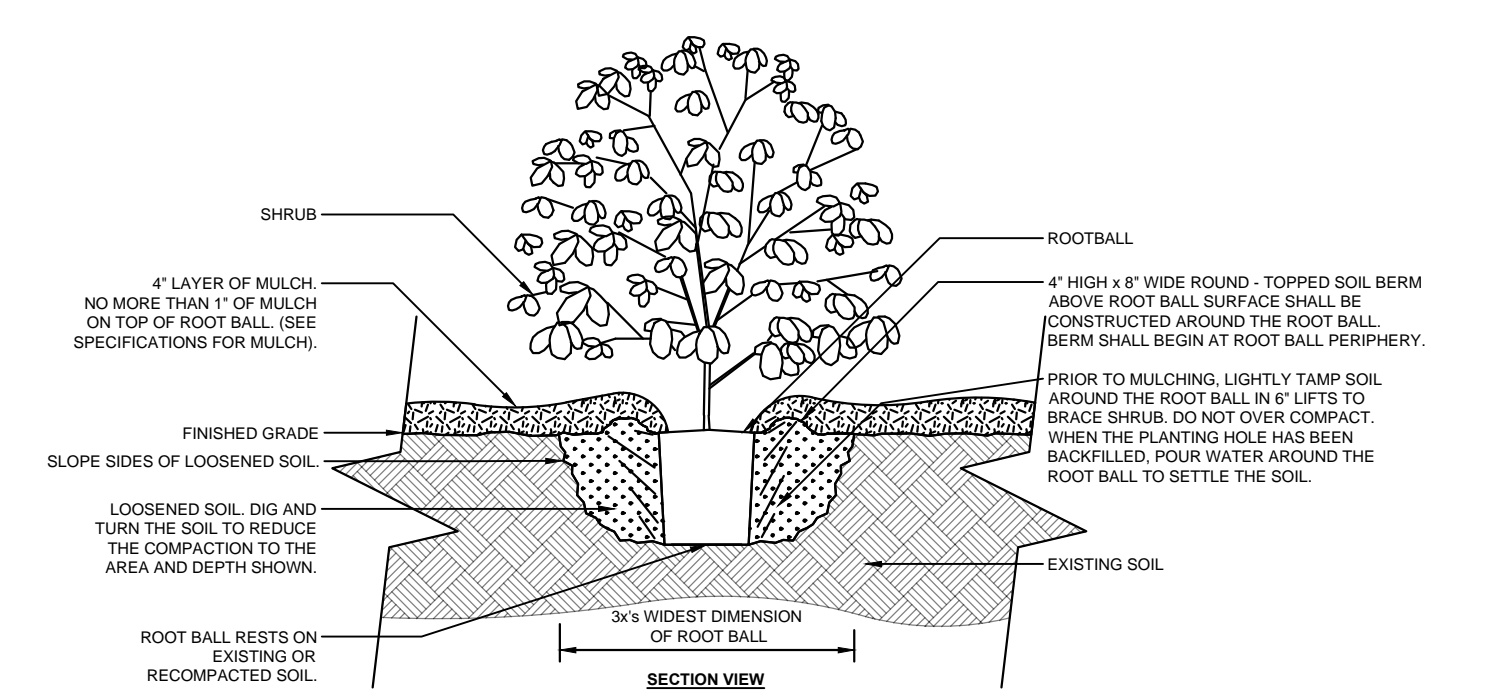


6 DRIP DETAIL SCALE: NONE



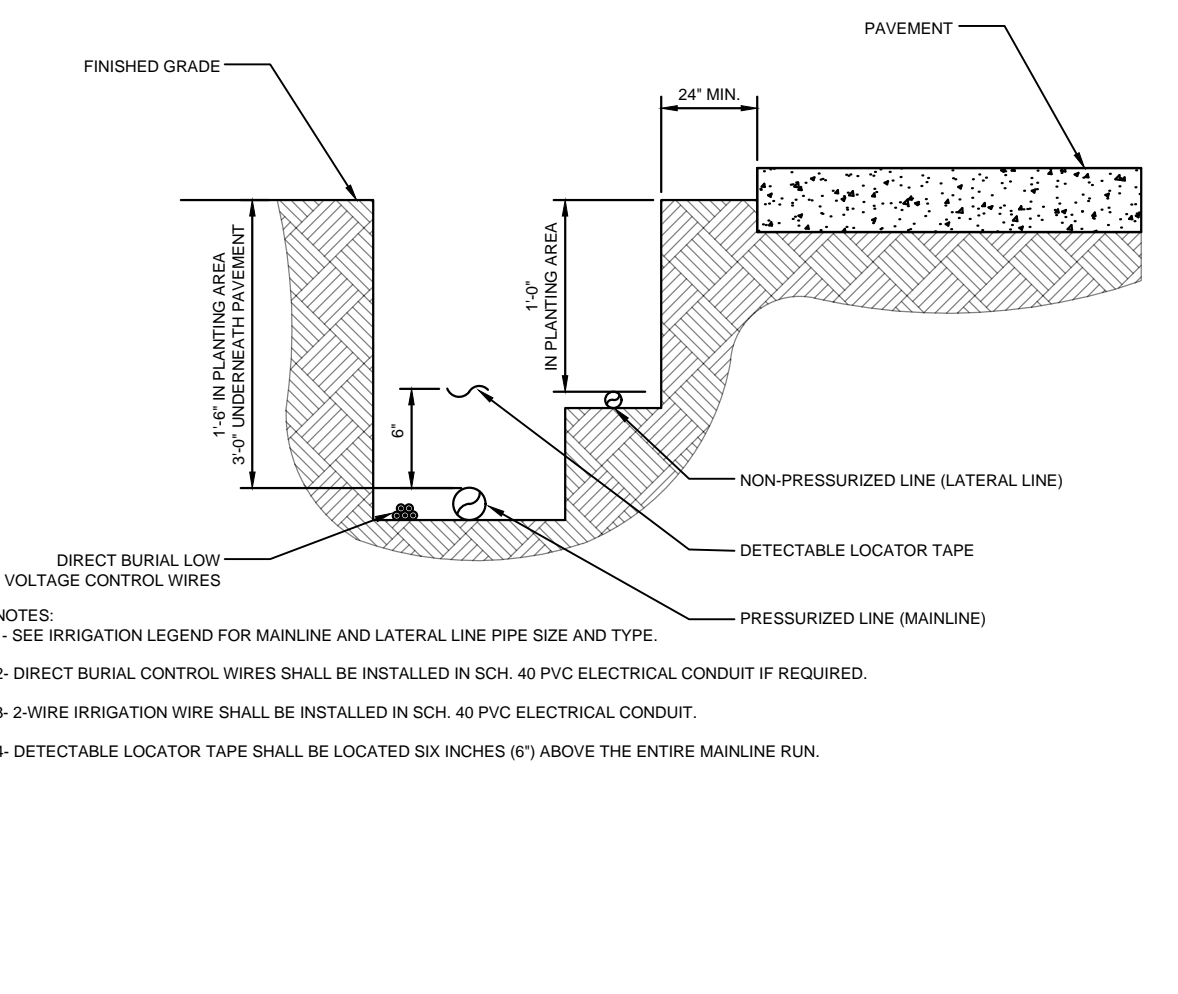
- NOTES:  
 1- INSTALL BACKFLOW CAGE PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.  
 2- SEE BACKFLOW PREVENTION DEVICE DETAIL FOR REFERENCE.  
 3- LOCK BOX SHALL BE LOCATED ABOVE CONCRETE FOOTING.  
 4- CONTRACTOR SHALL PROVIDE A LOCK AS APPROVED BY THE OWNER'S REPRESENTATIVE.

7 BACKFLOW CAGE SCALE: NONE

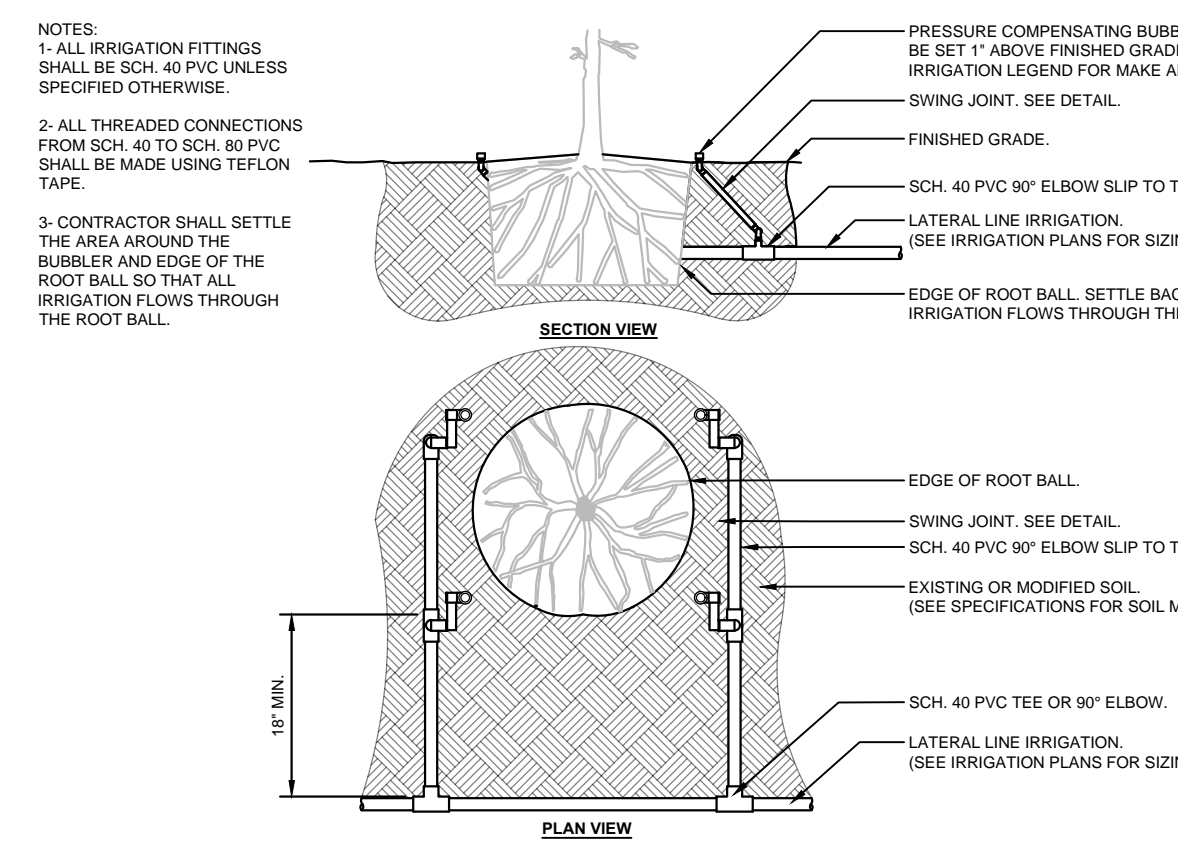


- NOTES:  
 1- SHRUBS SHALL BE OF QUALITY PRESCRIBED IN THE ROOT OBSERVATIONS DETAIL AND SPECIFICATIONS.  
 2- SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.

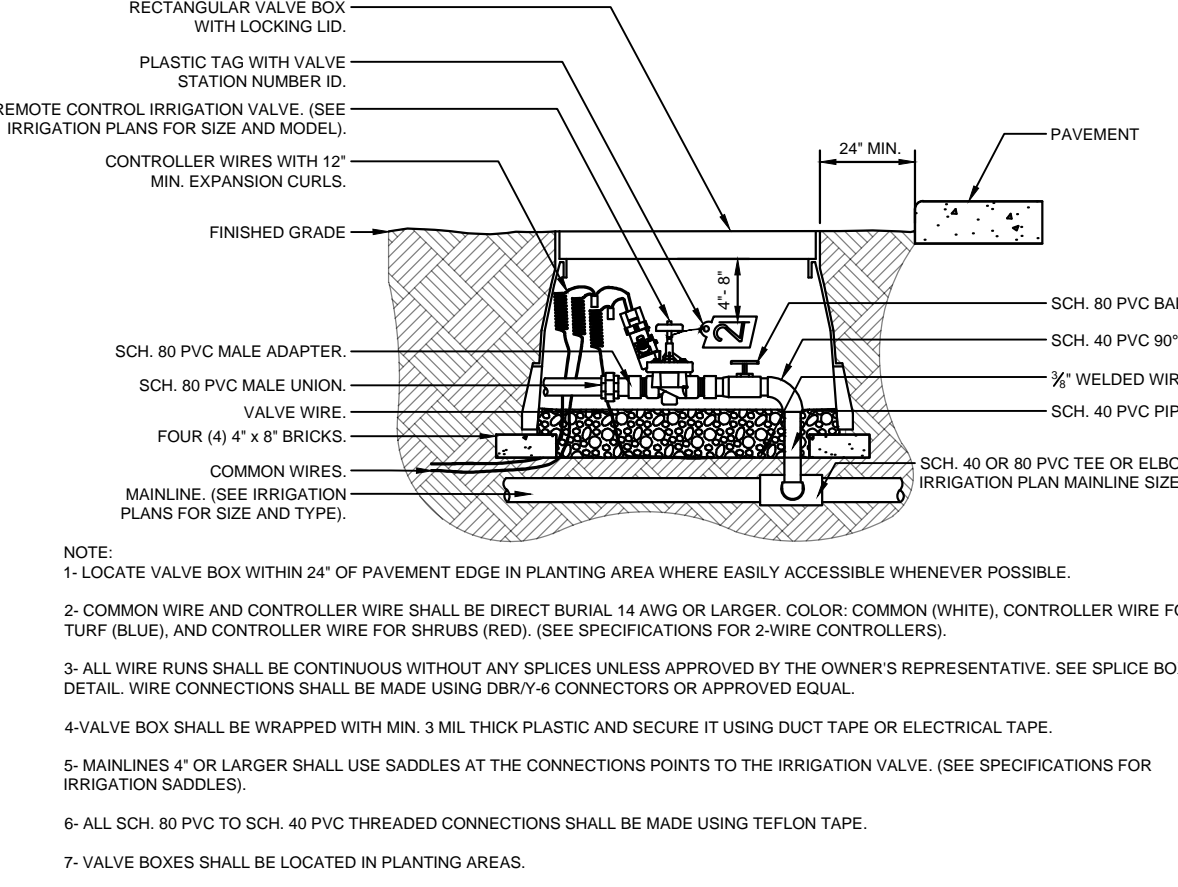
8 SHRUB PLANTING DETAIL SCALE: NONE



3 IRRIGATION TRENCHING SCALE: NONE

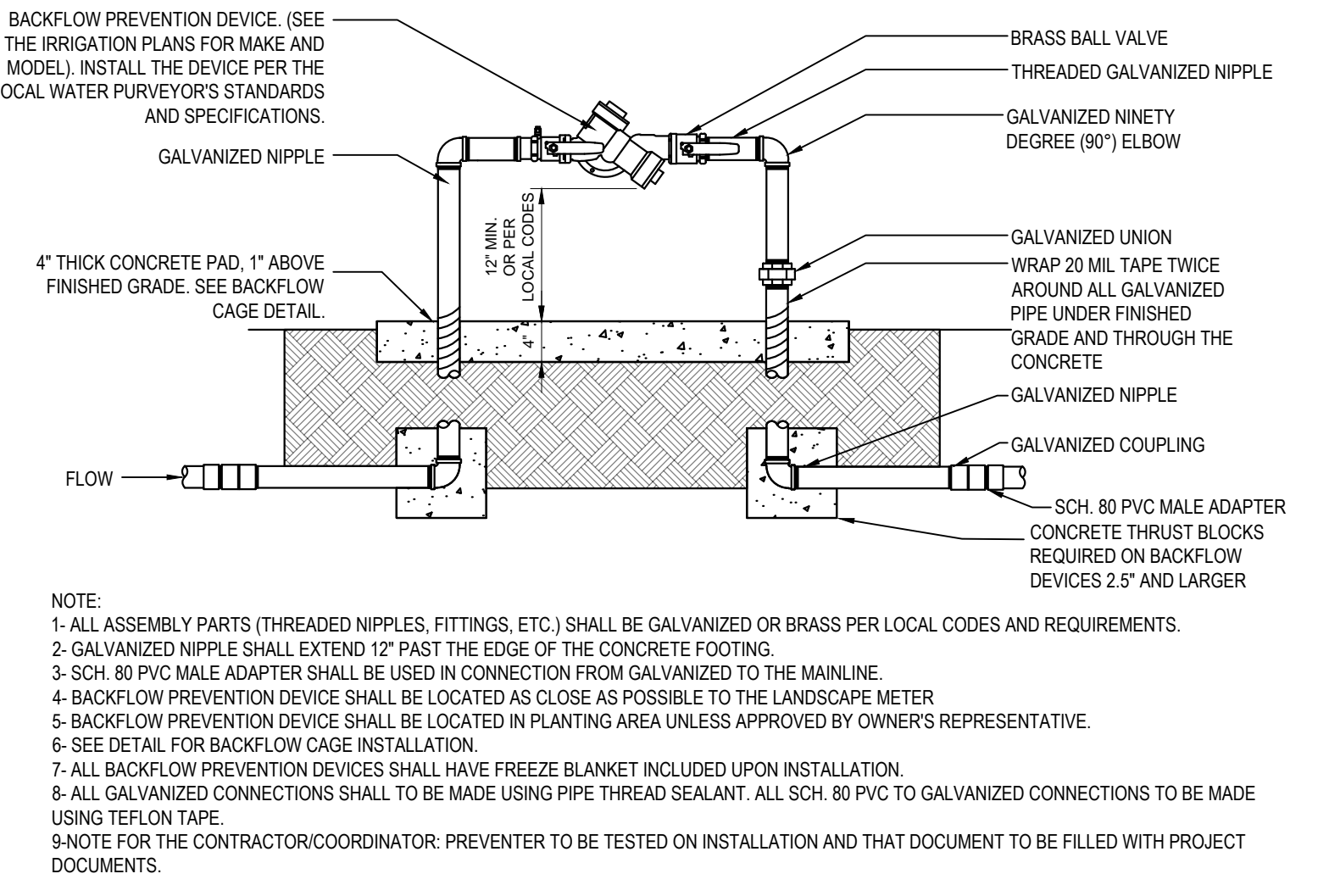


4 BUBBLER DETAIL SCALE: NONE

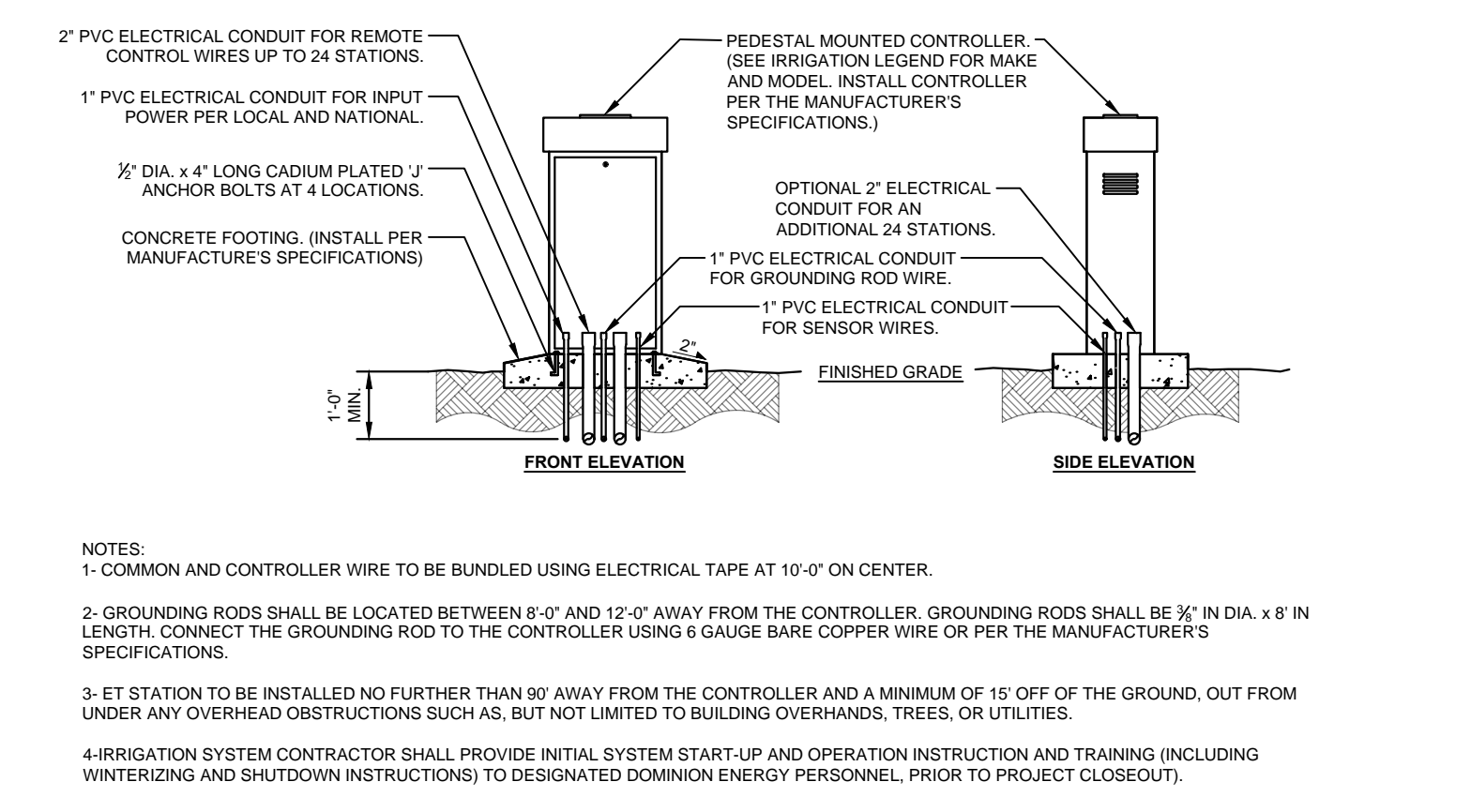


- NOTE:  
 1- LOCATE VALVE BOX WITHIN 24" OF PAVEMENT EDGE IN PLANTING AREA WHERE EASILY ACCESSIBLE WHENEVER POSSIBLE.  
 2- COMMON WIRE AND CONTROLLER WIRE SHALL BE DIRECT BURIAL 14 AWG OR LARGER. COLOR: COMMON (WHITE), CONTROLLER WIRE FOR TURF (BLUE), AND CONTROLLER WIRE FOR SHRUBS (RED). (SEE SPECIFICATIONS FOR 2-WIRE CONTROLLERS).  
 3- ALL WIRE RUNS SHALL BE CONTINUOUS WITHOUT ANY SPLICES UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE. SEE SPICE BOX DETAIL. WIRE CONNECTIONS SHALL BE MADE USING DBRY-6 CONNECTORS OR APPROVED EQUAL.  
 4- VALVE BOX SHALL BE WRAPPED WITH MIN. 3 MIL THICK PLASTIC AND SECURE IT USING DUCT TAPE OR ELECTRICAL TAPE.  
 5- MAINLINES 4" OR LARGER SHALL USE SADDLES AT THE CONNECTIONS POINTS TO THE IRRIGATION VALVE. (SEE SPECIFICATIONS FOR IRRIGATION SADDLES).  
 6- ALL SCH. 80 PVC TO SCH. 40 PVC THREADED CONNECTIONS SHALL BE MADE USING TEFLON TAPE.  
 7- VALVE BOXES SHALL BE LOCATED IN PLANTING AREAS.

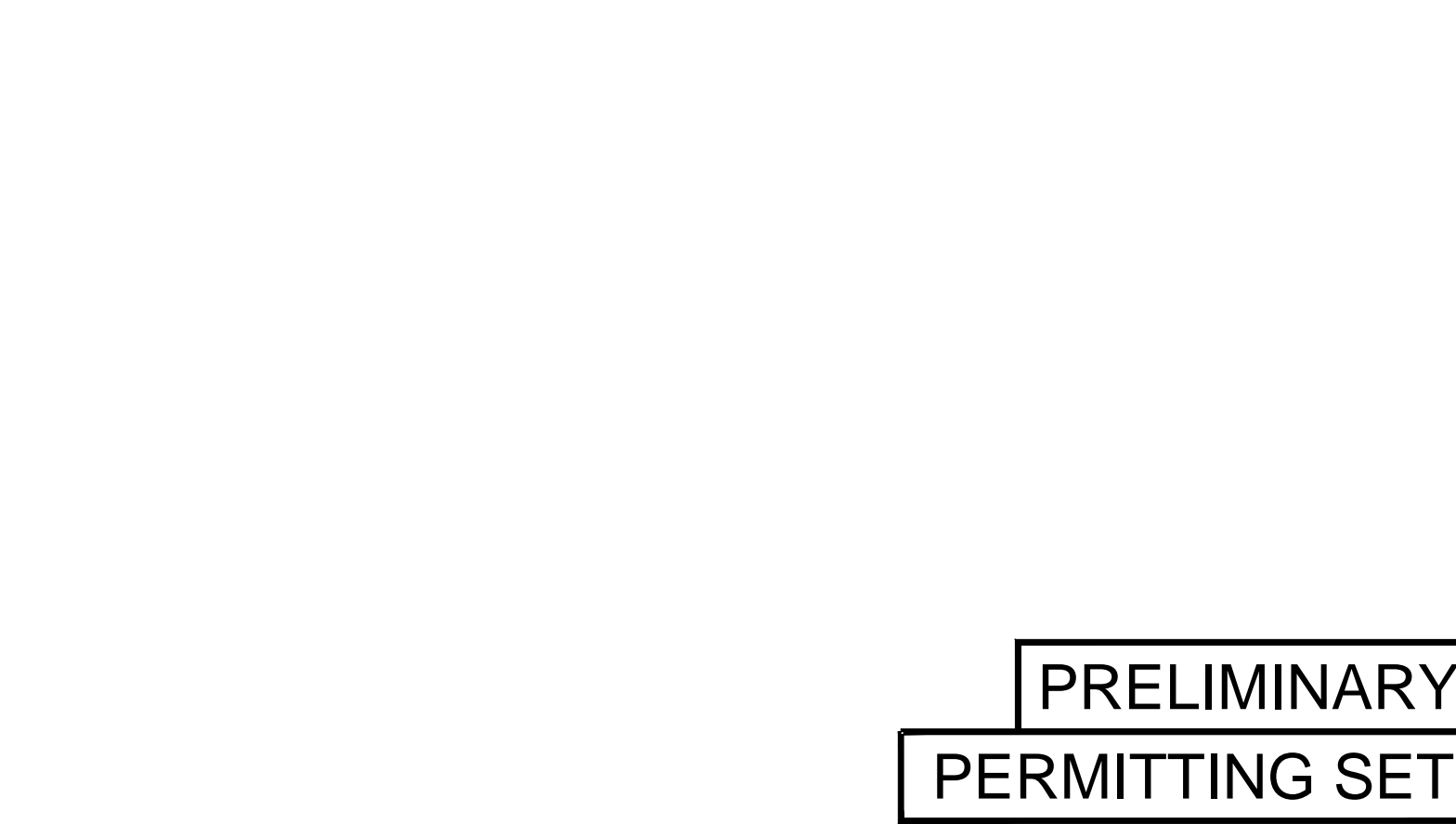
5 CONTROL VALVE SCALE: NONE



1 BACKFLOW PREVENTER SCALE: NONE



2 IRRIGATION CONTROLLER SCALE: NONE



10 PIPE BENEATH PAVEMENT SCALE: NONE

PRELIMINARY PERMITTING SET

**EN SIGN**  
 THE STANDARD IN ENGINEERING  
 SALT LAKE CITY 45 West 10000 South Suite 500 Sandy, Utah 84070 Phone: 801.255.0529 Fax: 801.255.4449 www.ENSIGNUTAH.COM  
 LAYTON Phone: 801.547.1100  
 TOOELE Phone: 435.843.3590  
 CEDAR CITY Phone: 435.865.1453  
 ENSIGN PROJ. No.: 12770 PROJ. MANAGER: D. ALTER PROJ. ENGINEER: D. ALTER ENSIGN SHEET:

REFERENCE DRAWINGS			WORK ORDERS		REVISIONS				ENGINEERING RECORD				SECTION: T R ELEVATION: LAT: LONG: SCALE: AS SHOWN	LINE NUMBER:	FL-150		
DRAWING NUMBER	REV	DRAWING DESCRIPTION	WO NUMBER	DESCRIPTION	NO	DESCRIPTION	DATE	BY	CHECK	DRAWN BY:	CHECKED BY:			FACILITY:	DISTRICT REGULATOR STATION HY0003		
DEU-R-HY0003-PIP-001	0	DISTRICT REGULATOR STATION HY0003 - PIPING	95626.22	FL-150 INSTALL 3"x3" REGULATOR STATION HY0003 AND HEATER	A	ISSUED FOR 90% REVIEW	11/20/2023	ENSIGN	IAT	J. LINFORD (ENSIGN)	I. TORRES			TITLE:	3X3 REGULATOR STATION AND HEATER		
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												HYURM CITY	CACHE	UTAH	12 of 12	A	

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## HYRUM CITY PLANNING COMMISSION

### TERM OF APPOINTMENT

#### FEBRUARY 2023

As per city code {17.12.020}, one Planning Commission member's 5 year term of appointment will expire on the first Monday in February of each year. Some Planning Commission members began by finishing a retiring commissioner's term.

<b>MEMBER</b>	<b>YEAR TERM ENDS</b>	<b>TERMS SERVED</b>
Paul Willardson	February 2025	September 2019- Alternate February 2022 - 2025
Angi Bair	February 2026	February 2014 – 2016 February 2016-2021 February 2021- 2026
Blake Foster	February 2027	February 2017 - Alternate February 2022 - 2027
Brian Carver	February 2028	February 2012 - Alternate February 2018 - 2023 February 2023 - 2028
Stephen Nelson	February 2029	February 2024- 2029