



Town Council Meeting

October 24, 2022 at 6:00 PM

Howey-in the-Hills Town Hall

101 N. Palm Ave.,

Howey-in-the-Hills, FL 34737

Join Zoom Meeting:

<https://us06web.zoom.us/j/85288994635?pwd=YkE4dWxTaHNUWWYvbTREdFVRekRmQT09>

Meeting ID: 852 8899 4635 | Passcode: 586855

AGENDA

Call the Town Council Meeting to order
Pledge of Allegiance to the Flag
Reading of a Poem by Mr. Jim Steele

ROLL CALL

Acknowledgement of Quorum

AGENDA APPROVAL/REVIEW

CONSENT AGENDA

Routine items are placed on the Consent Agenda to expedite the meeting. If Town Council/Staff wish to discuss any item, the procedure is as follows: (1) Pull the item(s) from the Consent Agenda; (2) Vote on the remaining item(s); and (3) Discuss each pulled item and vote.

- 1.** The approval of the minutes and ratification and confirmation of all Town Council actions at the October 10, 2022 Town Council Meeting.

PUBLIC HEARING

- 2.** Consideration and Recommendation: **469 Avila Place Pool Variance**
- 3.** Consideration and Approval: (Second Reading) **Ordinance 2022-019 - Reserve/Hillside Groves Development - PUD Amendment**

AN ORDINANCE OF THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA, PERTAINING TO LAND USE; AMENDING ORDINANCE 2021-010 PERTAINING TO THE USE OF LAND WITHIN THE PROPERTY KNOWN AS THE RESERVE AT HOWEY-IN-THE-HILLS; PROVIDING FINDINGS OF THE TOWN COUNCIL; AMENDING THE AMENDED AND RESTATED DEVELOPER'S AGREEMENT FOR THE RESERVE AT HOWEY-IN-THE-HILLS TO ALLOW A CHANGE IN THE REQUIREMENTS FOR CONSTRUCTION OF A NORTH-SOUTH ROAD; RATIFYING AND CONFIRMING THE PROVISIONS OF ORDINANCE 2021-010, AS AMENDED; PROVIDING FOR SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

- Mayor MacFarlane will read the Ordinance title
- Town Administrator will explain Ordinance 2022-019
- Mayor MacFarlane will open Public Comment and Questions for this item only.
- Mayor MacFarlane will close Public Comment.
- Motion to approve Ordinance 2022-019
- Council Discussion
- Roll Call Vote

OLD BUSINESS

- 4.** Consideration and Approval: **Appointment of Alan Hayes to the Planning and Zoning Board**
- 5.** Consideration and Approval: **Fencing around Town Lift Stations in Central Park and Griffin Park**

NEW BUSINESS

- 6.** Presentation: **Well 5 & 6 / Water Treatment Plant #3 Overview**
- 7.** Consideration and Approval: (First Reading) **Ordinance 2022-020 - Compensation of the Mayor, Mayor Pro Tempore and Town Council Members.**

AN ORDINANCE OF THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA, PERTAINING TO TOWN COUNCIL; REVISING THE COMPENSATION TO BE PAID TO THE MAYOR, MAYOR PRO TEMPORE AND COUNCILORS UNDER SECTION 42-10 OF THE TOWN'S CODE OF ORDINANCES; PROVIDING FOR SEVERABILITY, CODIFICATION AND AN EFFECTIVE DATE.

- Mayor MacFarlane will read the Ordinance title
- Town Administrator will explain Ordinance 2022-020
- Mayor MacFarlane will open Public Comment and Questions for this item only.
- Mayor MacFarlane will close Public Comment.
- Motion to approve Ordinance 2022-020
- Council Discussion
- Roll Call Vote

DEPARTMENT REPORTS

- 8.** Town Manager

COUNCIL MEMBER REPORTS

- 9.** Mayor Pro-Tem Gallelli
- 10.** Councilor Lehning
- 11.** Councilor Miles
- 12.** Councilor Klein
- 13.** Mayor MacFarlane

PUBLIC COMMENTS

Any person wishing to address the Mayor and Town Council and who is not on the agenda is asked to speak their name and address. Three (3) minutes is allocated per speaker.

ADJOURNMENT

To Comply with Title II of the Americans with Disabilities Act (ADA):

Qualified individuals may get assistance through the Florida Relay Service by dialing 7-1-1. Florida Relay is a service provided to residents in the State of Florida who are Deaf, Hard of Hearing, Deaf/Blind, or Speech Disabled that connects them to standard (voice) telephone users. They utilize a wide array of technologies, such as Text Telephone (TTYs) and ASCII, Voice Carry-Over (VCO), Speech to Speech (STS), Relay Conference Captioning (RCC), CapTel, Voice, Hearing Carry-Over (HCO), Video Assisted Speech to Speech (VA-STs) and Enhanced Speech to Speech.

Howey Town Hall is inviting you to a scheduled Zoom meeting.

Topic: **Town Council Meeting**

Time: **Oct 24, 2022 06:00 PM Eastern Time (US and Canada)**

Join Zoom Meeting

<https://us06web.zoom.us/j/85288994635?pwd=YkE4dWxTaHNUWWYvbTREdFVRekRmQT09>

Meeting ID: 852 8899 4635

Passcode: 586855

Dial by your location

+1 646 558 8656 US (New York)

+1 346 248 7799 US (Houston)

Meeting ID: 852 8899 4635

Passcode: 586855

Find your local number: <https://us06web.zoom.us/j/85288994635?pwd=YkE4dWxTaHNUWWYvbTREdFVRekRmQT09>

Please Note: In accordance with F.S. 286.0105: Any person who desires to appeal any decision or recommendation at this meeting will need a record of the proceedings, and that for such purposes may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is based. The Town of Howey-in-the-Hills does not prepare or provide this verbatim record. Note: In accordance with the F.S. 286.26: Persons with disabilities needing assistance to participate in any of these proceedings should contact Town Hall, 101 N. Palm Avenue, Howey-in-the-Hills, FL 34737, (352) 324-2290 at least 48 business hours in advance of the meeting.



Town Council Meeting

October 10, 2022 at 6:00 PM

Howey-in-the-Hills Town Hall
101 N. Palm Ave.,
Howey-in-the-Hills, FL 34737

AGENDA

Mayor MacFarlane called the Town Council Meeting to order at 6:00 p.m.
Mayor MacFarlane led the attendees in the Pledge of Allegiance to the Flag.

Mayor MacFarlane explained that Councilor Klein and Mayor Pro Tem Gallelli would not be able to attend the Town Council meeting.

ROLL CALL

Acknowledgement of Quorum

MEMBERS PRESENT:

Councilor David Miles | Councilor George Lehning | Mayor Martha MacFarlane

MEMBERS EXCUSED ABSENT:

Mayor Pro Tem Marie V Gallelli | Councilor Rick Klein

STAFF PRESENT:

Sean O'Keefe, Town Administrator | James Southall, Public Utilities Supervisor (Zoom) | Rick Thomas, Police Chief | Tara Hall, Library Director | Azure Botts, Code Enforcement Officer | Abigail Herrera, Finance Supervisor | Tom Wilkes, Town Attorney (Zoom) | Tom Harowski, Town Planner (via Zoom)

AGENDA APPROVAL/REVIEW

**Motion made by Councilor Lehning to approve the Meeting's Agenda; seconded by Councilor Miles.
Motion approved unanimously by voice vote.**

Voting

Yea: Councilor Miles, Councilor Lehning, Mayor MacFarlane

Nay: None

CONSENT AGENDA

Routine items are placed on the Consent Agenda to expedite the meeting. If Town Council/Staff wish to discuss any item, the procedure is as follows: (1) Pull the item(s) from the Consent Agenda; (2) Vote on the remaining item(s); and (3) Discuss each pulled item and vote.

1. The approval of the minutes and ratification and confirmation of all Town Council actions at the September 26, 2022 Town Council Public Hearing on Final Budget and Millage Rate.
2. The approval of the minutes and ratification and confirmation of all Town Council actions at the September 26, 2022 Regular Town Council Meeting.

**Motion made by Councilor Lehning to approve the Consent Agenda; seconded by Councilor Miles.
Motion approved unanimously by voice vote.**

Voting

Yea: Councilor Miles, Councilor Lehning, Mayor MacFarlane

Nay: None

PUBLIC HEARING

3. Consideration and Approval: (First Reading) **Ordinance 2022-019 - Reserve/Hillside Groves Development - PUD Amendment**

Martha MacFarlane, Mayor, read Ordinance 2022-019 by title only:

AN ORDINANCE OF THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA, PERTAINING TO LAND USE; AMENDING ORDINANCE 2021-010 PERTAINING TO THE USE OF LAND WITHIN THE PROPERTY KNOWN AS THE RESERVE AT HOWEY-IN-THE-HILLS; PROVIDING FINDINGS OF THE TOWN COUNCIL; AMENDING THE AMENDED AND RESTATED DEVELOPER'S AGREEMENT FOR THE RESERVE AT HOWEY-IN-THE-HILLS TO ALLOW A CHANGE IN THE REQUIREMENTS FOR CONSTRUCTION OF A NORTH-SOUTH ROAD; RATIFYING AND CONFIRMING THE PROVISIONS OF ORDINANCE 2021-010, AS AMENDED; PROVIDING FOR SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

Mayor MacFarlane asked Town Manager, Sean O'Keefe, to introduce and explain this proposed ordinance. Mr. O'Keefe explained that the primary changes in the proposed Developer's Agreement mostly were adjustments to roads in the development; the biggest change being the spine road going through the center of the development changing from four lanes to two lanes.

Town Planner, Tom Harowski, explained that the primary reason for the amended Developer's Agreement was due to the collector road going through the development, changing from a four-lane to two-lane road, for the portion of the road going through the residential section (which could potentially have a traffic calming effect and be safer) of the PUD; the portion going through the commercial section of the PUD would remain a four-lane road. Mr. Harowski also explained that the Planning & Zoning Board had recommended approval of this development agreement and ordinance at their September 22nd meeting.

Mayor MacFarlane opened Public Comment for this item only

Todd Hawkins, 1110 N Lakeshore Blvd. – Mr. Hawkins had a question regarding trees in the development and also proposed that, if a tree were to die in the PUD, there be a period of time where the HOA or the developer would have to replace the tree, not the property owner.

Christina Hawkins, 111- N Lakeshore Blvd. – Mrs. Hawkins had questions about the wastewater pump stations.

Tim Everline, 1012 N Lakeshore Blvd. – Mr. Everline asked if root barriers would be required around trees.

Rick Welch, with Connelly Wicker Inc. (representing the developer) – Mr. Welch explained that the developer would be following the Town’s code as it relates to trees and root barriers.

Mayor MacFarlane closed Public Comment and opened Councilor Comment for this item.

Councilor Miles had questions about the size of the Right-of-Way (ROW) around the spine road, walking paths on both side of the spine road, and what was the allowed impervious coverage in the current developer’s agreement. Councilor Miles stated that he did not like the elimination of the emergency access via Mare Avenue and that he did not like the fact that the spine road was going from four lanes to two lanes. Councilor Miles stated that, for those reasons, he would be voting against the Ordinance and revised Developer’s Agreement.

Councilor Lehning did not like the concept of a two-lane spine road and preferred the four-lane spine road.

Mayor MacFarlane stated that she was in support of the spine road being a two-lane road, as it would have a calming effect on traffic. Mayor MacFarlane also stated that the Planning & Zoning Board had done their due diligence reviewing the plans and that they had recommended the proposed changes.

Motion made by Councilor Miles to deny; seconded by Councilor Lehning.

Voting

Yea: Councilor Miles, Councilor Lehning

Nay: Mayor MacFarlane

OLD BUSINESS

None

NEW BUSINESS

4. Consideration and Approval: **Appointment of Alan Hayes to the Planning and Zoning Board**

Mayor MacFarlane explained that Mr. Hayes was not in attendance because he owned a home down in the Ft. Myers area and had gone to survey it after hurricane Ian had gone through that area. Mayor MacFarlane suggested that this item be deferred to the next Town Council meeting since Mr. Hayes was not in attendance.

Motion made by Councilor Miles to defer this item to the next meeting; seconded by Councilor Lehning. Motion approved unanimously by voice vote.

Voting

Yea: Councilor Miles, Councilor Lehning, Mayor MacFarlane

Nay: None

5. Consideration and Approval: **Howey Self Storage Final Site Plan Submission**

Mayor MacFarlane asked Town Planner, Tom Harowski, to introduce and explain this item. Mr. Harowski stated that Howey Self Storage was part of the Reserve PUD. Mr. Harowski stated that the developer would have 18 months after approval to begin construction. Mr. Harowski also stated that the Planning & Zoning Board had reviewed this submitted site plan at their September 22nd meeting and had recommended the Final Site Plan to Town Council.

Mayor MacFarlane opened the Public Comment for this item only.

Peter Tuite, 300 E Croton Way – Mr. Tuite asked if the Self-Storage site would be allowed to visibly park rusty cars, boats, or RVs.

Mayor MacFarlane closed Public Comment and opened Councilor Comment for this item.

Motion made by Councilor Miles to approve the Howey Self Storage Final Site Plan Submission; seconded by Councilor Lehning. Motion approved unanimously by roll-call vote.

Voting

Yea: Councilor Miles, Councilor Lehning, Mayor MacFarlane

Nay: None

6. Discussion: **Retired Landfill Historic Overview**

Mayor MacFarlane asked Town Manager, Sean O’Keefe, to introduce and explain this topic. Mr. O’Keefe gave his PowerPoint presentation on the Town’s retired landfill. The presentation included the history of the landfill and possible uses of the parcel.

Councilor Miles stated that he believes that the town has a lack of recreational space, and he would like to see the old landfill turned into a baseball field or soccer field. Councilor Miles also said that discussions had occurred with the Simpson developers and that they may have excess landfill dirt that they could put into the pit at the landfill. Councilor Miles would like the Town Manager to engage a company to do some soil sampling to discover if the land is safe to develop into park land or recreational area.

Mayor MacFarlane opened the Public Comment for this item only.

Peter Tuite, 300 E Croton Way – Mr. Tuite was concerned about the potential Simpson development creating impervious areas that would cause runoff into the landfill parcel.

Todd Hawkins, 1110 N Lakeshore Blvd. – Mr. Hawkins does not think that the Town should trade approval of a 250-unit housing development to get access to a park or recreational area.

Mayor MacFarlane closed Public Comment.

Mr. O’Keefe stated that he has presented the documents about the landfill to the Town Engineer and the Town Engineer will review those documents and discuss next steps.

7. Consideration and Approval: **Fencing around Town Lift Stations in Central Park and Griffin Park**

Mayor MacFarlane asked Town Manager, Sean O’Keefe, to introduce and explain this topic. Mr. O’Keefe explained that, prior to the meeting, the Public Works Director only had time to get a quote from one vendor for fencing around the lift stations. That quote came in at \$7,126 for the two fences; at least two other quotes would have to be acquired prior to erecting fencing per the Town’s Purchasing Policy if the Council chooses to go forward with this project. Mr. O’Keefe stated that the Public Works Director was satisfied with the current security measures at both lift stations, as they meet the current FDEP guidelines for security. The Public Works Director does recommend for that the erection of concrete bollards or safety barricades for protection of the lift station on S Lakeshore Blvd.

Councilor Lehning would like to see at least two more quotes for fencing before making a decision.

Councilor Miles agrees that we should add the bollards to the S. Lakeshore Blvd lift station, and he still would like fences erected around both lift stations. Councilor Miles believes physical security of the two lift stations is very important.

Motion made by Councilor Lehning to defer this item for more estimates; seconded by Mayor MacFarlane. Motion was approved unanimously by roll call vote.

Voting

Yea: Councilor Miles, Councilor Lehning, Mayor MacFarlane

Nay: None

DEPARTMENT REPORTS

8. Town Hall

Town Manager, Sean O’Keefe, explained that the Town Hall report was attached in the meeting’s packet for the Councilors review. Mr. O’Keefe explained that Town Clerk, John Brock, was not in attendance at the meeting because he was attended the Florida Association of City Clerks’ (FACC) annual training conference.

9. Police Department

Chief Thomas stated that the Town had recently had an unattended death and a heroin drug overdose. Two of the Town’s officers had responded to the drug overdose and they administered Narcan and administered CPR which brought the gentleman back to life. The two officers received letters of commendation for their life-saving measures.

Chief Thomas thanked the Town’s Sunoco store for reserving gasoline and water for the Town’s Police Department and Public Works Department during Hurricane Ian. Chief Thomas also thanked the Mission Inn for reserving some rooms for the Town’s Police Officers that were on emergency duty. Lastly, Chief Thomas thanked the Howey Market for getting four pizzas for the officers that were on shift during Hurricane Ian.

10. Code Enforcement

Code Enforcement Officer, Azure Botts, stated that the next Special Magistrate hearing would be on October 27th at 10 am.

11. Public Works

Public Utilities Supervisor, James Southall, explained that the Public Works and Public Utilities reports were included in the meeting’s packet. Mr. Southall also added that the cleanup efforts at the Sara Maude Mason Nature Preserve (SMMNP) were ongoing and that the boardwalk and nature trail were currently closed due to trees going down that needed to be removed. Mr. Southall also explained that there was extensive damage at the SMMNP boardwalk due to Hurricane Ian.

12. Library

Library Director, Tara Hall, stated that the library report was attached to the meeting’s packet. Mrs. Hall also explained that the library would be starting a 5-part series called “Living Your Best Life” in October. This series was designed for older adults and caretakers.

13. Parks & Recreation Advisory Board / Special Events

Nothing to report.

14. Town Attorney

Nothing to report.

15. Finance Department

Finance Supervisor, Abigail Herrera, stated that the monthly financial report was also attached to the meeting's packet. Mrs. Herrera made one disclosure that the Finance Department was still working on year-end numbers.

16. Town Manager

Town Manager, Sean O'Keefe, reminded attendees about upcoming events including the Town's Halloween Bash. Mr. O'Keefe thanked Public Works, Police Department and Code Enforcement Officer Botts for their work in the management of Hurricane Ian. Mr. O'Keefe also explained that storm debris removal was still ongoing and would continue until the entire town was picked up.

Mr. O'Keefe also spoke about a Major Development Summary that was recently updated and it was available online. Mayor MacFarlane suggested that the Development Summary report should be made easier to find on the website, rather than just including it in the meeting's packet.

COUNCIL MEMBER REPORTS

17. Mayor Pro Tem Gallelli

Not in attendance, nothing to report.

18. Councilor Lehning

Councilor Lehning thanked everyone in the audience for showing up. Councilor Lehning asked Sean O'Keefe to explain how PUDs were approved. Councilor Lehning would like to have future discussions on annexation. Councilor Lehning also would like the Town to acquire marketing services to help encourage commercial development within the Town.

19. Councilor Miles

Councilor Miles would like the Town Engineer to give a presentation on the Town's wastewater lift stations and sewer lines to the Town Council. Councilor Miles also questioned why the newer homes on S Florida Ave were not required to connect to the sewer. Councilor Miles would like the Town Manager to look into any state requirements requiring parcels with close proximity to hook up to sewer.

20. Councilor Klein

Not in attendance, nothing to report.

21. Mayor MacFarlane

Mayor MacFarlane believes that the Town needs to look for Septic to Sewer grants. Mayor MacFarlane reminded the audience about the Town's Christmas Festivities, including the Christmas Parade and Car Show. Mayor MacFarlane asked Councilor Lehning if he would be willing to assist with the Christmas Car Show like he did the year before. Councilor Lehning stated that we would assist with the Christmas Car Show again.

Mayor MacFarlane also spoke about how the Town would be trying to get appropriations from the State and would be working to submit legislative bills into the Florida Legislature to help fund the Town new

well and water treatment facilities. Mayor MacFarlane asked the residents that were in attendance to help participate in the appropriations process.

PUBLIC COMMENTS

Any person wishing to address the Mayor and Town Council and who is not on the agenda is asked to speak their name and address. Three (3) minutes is allocated per speaker.

Tim Everline, 1012 N Lakeshore Blvd. – Mr. Everline read aloud selections from the Town’s Development Summary, and he was not in favor of future developments with smaller lot lines.

ADJOURNMENT

There being no further business to discuss, a motion was made by Councilor Lehning to adjourn the meeting; Councilor Miles seconded the motion. Motion was approved unanimously by voice vote.

The Meeting adjourned at 8:24 p.m. | **Attendees: 33**

Mayor Martha MacFarlane

ATTEST:

John Brock, Town Clerk



TMHConsulting@cfl.rr.com
97 N. Saint Andrews Dr.
Ormond Beach, FL 32174
PH: 386.316.8426

MEMORANDUM

TO: Howey-in-the-Hills Town Council
CC: J. Brock, Town Clerk
FROM: Thomas Harowski, AICP, Planning Consultant
SUBJECT: 469 Avila Way Variance Request
DATE: October 4, 2022

The applicant is requesting relief from the requirement that swimming pools and pool decks be setback ten (10) feet from rear property lines (Section 5.01.08 B). The applicant has submitted a statement explaining why the requested variance is needed and how the variance is justified. The applicant was initially seeking a variance of four feet to allow the pool and pool deck to extend within six feet of the rear property line.

The Planning Board reviewed this application at their regular meeting of September 22, 2022 and recommended a variance of three feet to allow the pool to be constructed seven feet from the rear property line. The discussion of the application at the board meeting resulted in a modification of the proposal to move the pool one foot further from the property line, and the applicant has submitted a revised survey showing the pool location seven feet from the property line. The Planning Board conditioned their recommendation on the prohibition of any fill being placed in the utility and drainage easement and the required trees be relocated from the proposed pool area or replaced elsewhere on the lot. These conditions appeared to be acceptable to the applicant, and the applicant has submitted a letter from the pool company confirming the redesign as well.

The subject property is located within the Talichet Subdivision located off South Florida Avenue, and the house is a newly constructed residential unit. Avila Way is a loop street that runs through the length of the subdivision. The subject property is located at the closed end of the loop making the lot what is effectively a corner lot. (Refer to the attached location map.) The applicant has submitted a survey showing the lot and position of the existing house on the property. The survey shows a five-foot drainage and utility easement extending across the full width of the rear property line. The applicant submitted a proposed design for the pool and pool deck with the application form showing a portion of the pool and pool deck extending into the required rear yard setback by up to four feet at the deepest penetration. Based on the Planning Board action, the applicant submitted a revised survey showing the positioning of the pool on the lot.

The applicant has stated several factors which are offered in support of the request. These include:

- There is insufficient space to accommodate the pool
- Five-foot setbacks are typical in most communities
- A narrower pool does not meet needs
- They want to maximize the use of the property

As stated previously a variance stands on its own merits. Prior variances should have no effect on the current case. Each variance is supposed to address a specific hardship unique to the property that does not allow the property to be developed in full compliance with the code unless some relief is granted.

The land development regulations set out a series of criteria to evaluate requests for variances in Section 4.13.04. These criteria are listed below:

4.13.01 Standards in Granting a Variance

The Board of Adjustment may authorize a variance from the terms of this LDC as will not be contrary to the public interest where, owing to special conditions, a literal enforcement of the provisions of this Code will result in unnecessary and undue hardship. In authorizing a variance from the terms of this LDC, the Board of Adjustment shall find:

- A. That special conditions and circumstances exist which are peculiar to the land, structure or building involved, and which are not applicable to other lands, structures, or buildings in the same zoning district,
- B. That the special conditions and circumstances do not result from the actions of the applicant,
- C. That literal interpretation of the provisions of this LDC would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this LDC and would work unnecessary and undue hardship on the applicant,
- D. That the variance created is the minimum variance that will make possible the reasonable use of the land, building or structure, and
- E. That the granting of the variance will be in harmony with the general intent and purpose of this LDC and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.
- F. In granting any variance, the Board of Adjustment may prescribe appropriate conditions and safeguards in conformity with this LDC. Violation of such conditions and safeguards, when made a part of the terms under which the variance is granted, shall be deemed a violation of this LDC.

Summary

Technically the request does not meet all of the criteria for approval of the requested variance, however, onstruction of the pool and deck as proposed is in harmony with the use of the property as a single-family home and with the neighborhood

in general. As noted above, the discussion of the case at the public meeting led to a recommendation from the Planning Board to approve a lesser variance than requested, and the applicant has concurred with the Planning Board recommendation. The Planning Board recommendation is as follows:

Approve a variance of three feet from the required ten foot rear yard setback to allow construction of a swimming pool and pool deck to extend to a point seven feet from the rear property line, provided not fill is placed in the five-foot drainage and utility easement and that any require trees impacted by the construction be relocated or replaced elsewhere on the lot.

469 Avila Location Map

Item 2.



August 18, 2022

pointLayer



Override 1

polygonLayer



Override 1



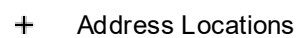
County Boundary



Surrounding Counties

Street Names

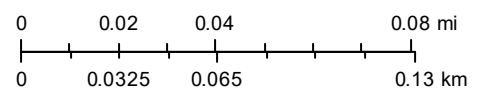
Subdivision Lot Numbers



Address Locations

Property Name

1:2,500



Lake County Property Appraiser
Lake BCC

BOUNDARY & AS-BUILT SURVEY

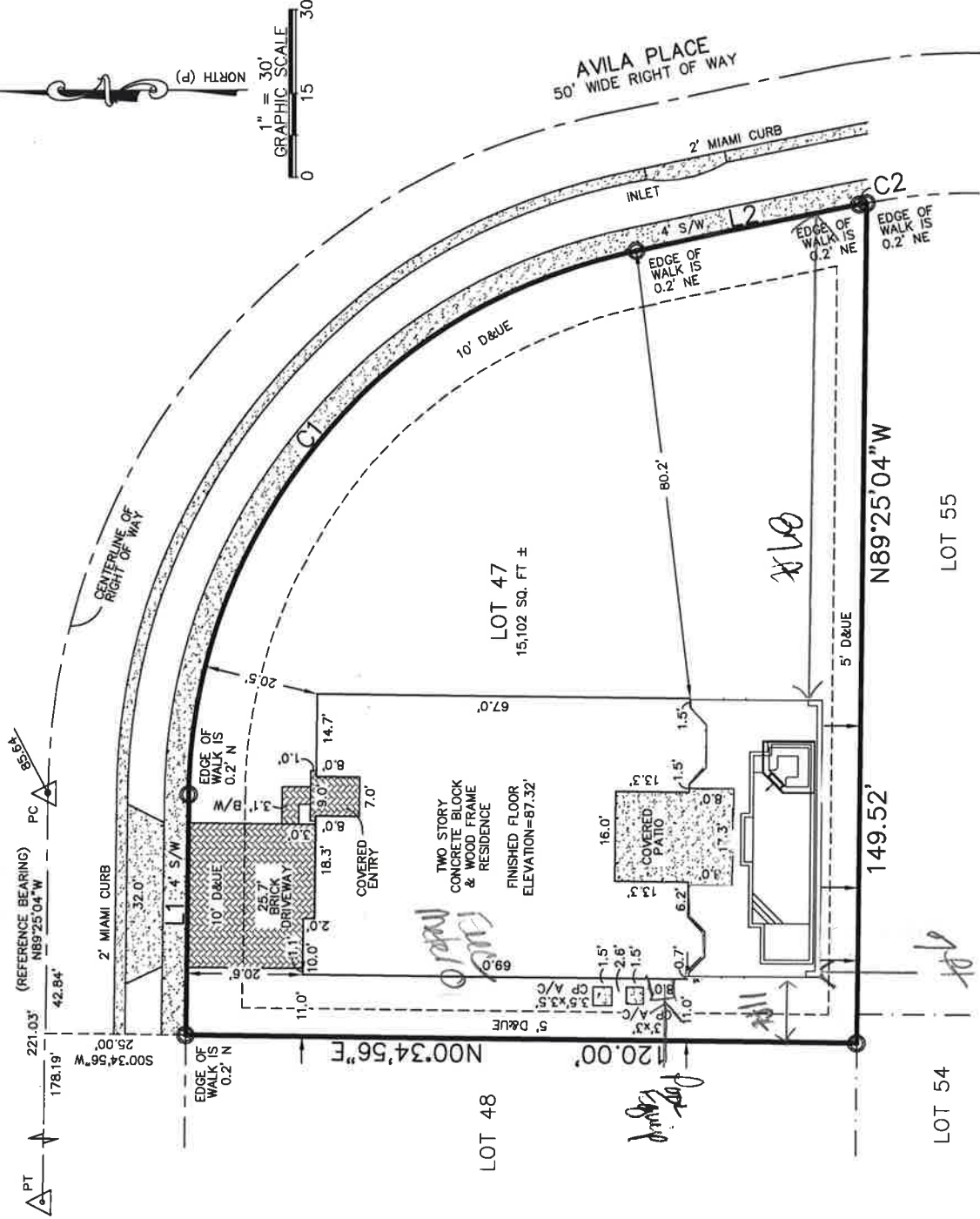
DESCRIPTION: (AS FURNISHED)

LOT 47, TALICHET AT VENEZIA NORTH

AS RECORDED IN PLAT BOOK 73, PAGE(S) 78-81, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.

AVILA PLACE

50' WIDE RIGHT OF WAY



ADDRESS:
469 AVILA PLACE
HOWEY IN THE HILLS, FLORIDA 34737
FOR THE BENEFIT AND
EXCLUSIVE USE OF:

PETER DEJOSEPH & JANICE MIREYA DEJOSEPH
UNITED WHOLESAL MORTGAGE, LLC.
GOLDEN DOG TITLE & TRUST
FIDELITY NATIONAL TITLE INSURANCE COMPANY



NOTES:
1. ALL DIRECTIONS AND DISTANCES HAVE BEEN FIELD VERIFIED. INCONSISTENCIES HAVE BEEN NOTED ON THE SURVEY, IF ANY.

2. PROPERTY CORNERS SHOWN HEREON WERE SET/FOUND ON 05/02/2022, UNLESS OTHERWISE SHOWN.

3. THE SURVEYOR HAS NOT ABSTRACTED THE LAND SHOWN HEREON FOR EASEMENTS, RIGHT OF WAY, RESTRICTIONS OF RECORD WHICH MAY AFFECT THE TITLE OR USE OF THE LAND.

4. NO UNDERGROUND IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN.

5. BUILDING TIES SHOWN HEREON ARE NOT TO BE USED TO RECONSTRUCT THE BOUNDARY LINES.

6. ELEVATIONS SHOWN HEREON ARE BASED ON NATIONAL GEODETIC SURVEY BENCHMARK A 431, ELEVATION=99.32' NAVD 88 DATUM

FLOOD NOTE:
I HAVE EXAMINED THE F.I.R.M. MAP NO. 12069C0485E, DATED 12/18/12, AND FOUND THE SUBJECT PROPERTY APPEARS TO LIE IN ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. THE SURVEYOR MAKES NO GUARANTEES AS TO THE ABOVE INFORMATION. PLEASE CONTACT THE LOCAL F.E.M.A. AGENT FOR VERIFICATION.

BEARING BASIS:
BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF AVILA PLACE BEING N89°25'04"W, PER PLAT.

(FIELD DATE:)	06-02-21	REVISED:	
SCALE:	1" = 30 FEET		
APPROVED BY:	J.B		
JOB NO.	200824 LOT 47		
BY:	RMB		
FINAL	05/02/2022 LU		
FORMBOARD	06-08-2021 AV		
PLOT PLAN	04-19-2021 JG		

Line Table		Curve Table	
Line #	Direction	Length	Length
L1	S89°25'04"E	42.84'	42.84'
L2	S11°41'39"E	40.94'	40.94'

Curve Table		Chord	
Curve #	Radius	Delta	Chord
C1	135.65'	77°43'25"	S50°33'21"E 125.49'
C2	1.29'	0°44'22"	S11°19'28"E 1.29'

LEGEND:

- CENTERLINE
- RIGHT OF WAY LINE
- DRAINAGE FLOW
- EXISTING ELEVATION
- A/C AIR CONDITIONER
- CONCRETE
- CONCRETE BLOCK WALL
- CORNER NOT ACCESSIBLE
- CONCRETE PAD
- CONCRETE SLAB
- CONCRETE WALK
- BRICK WALK
- F.E.M.A. FEDERAL EMERGENCY MANAGEMENT AGENCY
- F.I.R.M. FLOOD INSURANCE RATE MAP
- IDENTIFICATION
- LICENSED BUSINESS
- LICENSED SURVEYOR
- DRAINAGE & UTILITY EASEMENT
- UTILITY EASEMENT
- NAVDO NORTH AMERICAN VERTICAL DATUM
- CBW
- CNA
- CS
- C/W
- B/W
- F.E.M.A.
- F.I.R.M.
- IDENTIFICATION
- LICENSED BUSINESS
- LICENSED SURVEYOR
- DRAINAGE & UTILITY EASEMENT
- UTILITY EASEMENT
- NAVDO NORTH AMERICAN VERTICAL DATUM

- FOUND NAIL AND DISC LB #7514
- FOUND 5/8" IRON ROD AND CAP LB #7514
- PER PLAT
- MEASURED
- OFFSET
- POINT OF CURVATURE
- POINT OF COMPOUND CURVE
- PERMANENT CONTROL POINT
- POINT OF INTERSECTION
- PARKER KALON
- POINT ON CURVE
- POINT ON LINE
- POINT OF REVERSE CURVATURE
- PERMANENT REFERENCE MONUMENT
- PROFESSIONAL SURVEYOR AND MAPPER
- POINT OF TANGENCY
- SQ. FT. SQUARE FEET
- S/W TYPICAL

CERTIFICATION NOTE:
I HEREBY CERTIFY, THAT THIS SURVEY, SUBJECT TO THE SURVEYOR'S NOTES CONTAINED HEREON MEETS THE APPLICABLE "MINIMUM TECHNICAL STANDARDS" SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO CHAPTER 472.027, FLORIDA STATUTES.



Digitally signed by James W. Boleman
DN: cn=James W. Boleman, o=American Surveying & Mapping Inc, ou=HB, email=j.boleman@asmcorporate.com, c=US
Date: 2022.05.02 10:00:32 -0400
Adobe Acrobat version: 11.0.23

CERTIFICATION OF AUTHORIZATION NUMBER LB#6393
3191 MAGUIRE BOULEVARD, SUITE 200
ORLANDO, FLORIDA 32803
(407) 426-7979
WWW.AMERICANSURVEYINGANDMAPPING.COM

JAMES W. BOLEMAN PSM# 6485
THIS BOUNDARY & AS-BUILT SURVEY IS NOT VALID WITHOUT THE AUTHENTIC ELECTRONIC SIGNATURE OF THE AUTHENTIC ELECTRONIC SEAL OF FLORIDA LICENSED SURVEYOR AND MAPPER.

October 4, 2022

Regarding:

Peter and Janice DeJoseph

469 Avila Pl

Howey-in-The-Hills, FL 34737

Pool variance

To whom it may concern,

As discussed in the recent planning and zoning meeting, the committee approved the variance request if the encroachment into the easement was reduced from 4 feet to 3 feet. We have spoken to the pool company and have made these arrangements by reducing the width of the pool, new survey has been supplied.

Please let me know if any further information is needed before the meeting on October 12th.

Sincerely,

Peter DeJoseph

561-312-4017



185 E. Airport Blvd – Sanford, FL 32773

September 26 2022

RE: Pool Construction Information

To: Janice and Peter DeJoseph

469 Avila Place

Howey- In – Hills, FL. 34737

Dear Janice and Peter-

I am getting in touch in regard to your pool build and the area of the pool in relation to your lanai.

To maintain the structural integrity of the patio we would not be able to come any closer than where the pool is placed currently, however, at your suggestion for an alternate building plan, I have made the pool and deck area 1 ft narrower. This change makes the distance from the back of the pool deck to the rear property line 7 ft-

I also wanted to confirm that the retention wall that is placed behind the pool will have drainage between the retention wall and pool edge.

I understand that the trees in the pool area will be relocated.

Please let me know if there are any other questions in regard to your pool plans.

Best,

Debra

Design Consultant/All Seasons Pools

407-402-2325

debra@allseasonspools.com



TMHConsulting@cfl.rr.com
97 N. Saint Andrews Dr.
Ormond Beach, FL 32174
PH: 386.316.8426

MEMORANDUM

TO: Howey-in-the-Hills Planning Board
CC: J. Brock, Town Clerk
FROM: Thomas Harowski, AICP, Planning Consultant
SUBJECT: 469 Avila Way Variance Request
DATE: August 18, 2022

The applicant is requesting relief from the requirement that swimming pools and pool decks be setback ten (10) feet from rear property lines (Section 5.01.08 B). The applicant has submitted a statement explaining why the requested variance is needed and how the variance is justified. The applicant is seeking a variance of four feet to allow the pool and pool deck to extend within six feet of the rear property line.

The subject property is located within the Talichet Subdivision located off South Florida Avenue, and the house is a newly constructed residential unit. Avila Way is a loop street that runs through the length of the subdivision. The subject property is located at the closed end of the loop making the lot what is effectively a corner lot. (Refer to the attached location map.) The applicant has submitted a survey showing the lot and position of the existing house on the property. The survey shows a five-foot drainage and utility easement extending across the full width of the rear property line. The applicant submitted a proposed design for the pool and pool deck with the application form showing a portion of the pool and pool deck extending into the required rear yard setback by up to four feet at the deepest penetration. The applicant submitted a survey showing the positioning of the pool on the lot and a graphic showing the pool design.

The applicant has stated several factors which are offered in support of the request. These include:

- There is insufficient space to accommodate the pool
- Five-foot setbacks are typical in most communities
- A narrower pool does not meet needs
- They want to maximize the use of the property

As stated previously a variance stands on its own merits. Prior variances should have no effect on the current case. Each variance is supposed to address a specific hardship unique to the property that does not allow the property to be developed in full compliance with the code unless some relief is granted.

Analysis

The land development regulations set out a series of criteria to evaluate requests for variances in Section 4.13.04. These criteria are listed below:

4.13.01 Standards in Granting a Variance

The Board of Adjustment may authorize a variance from the terms of this LDC as will not be contrary to the public interest where, owing to special conditions, a literal enforcement of the provisions of this Code will result in unnecessary and undue hardship. In authorizing a variance from the terms of this LDC, the Board of Adjustment shall find:

- A. That special conditions and circumstances exist which are peculiar to the land, structure or building involved, and which are not applicable to other lands, structures, or buildings in the same zoning district,
- B. That the special conditions and circumstances do not result from the actions of the applicant,
- C. That literal interpretation of the provisions of this LDC would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this LDC and would work unnecessary and undue hardship on the applicant,
- D. That the variance created is the minimum variance that will make possible the reasonable use of the land, building or structure, and
- E. That the granting of the variance will be in harmony with the general intent and purpose of this LDC and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.
- F. In granting any variance, the Board of Adjustment may prescribe appropriate conditions and safeguards in conformity with this LDC. Violation of such conditions and safeguards, when made a part of the terms under which the variance is granted, shall be deemed a violation of this LDC.

For the current application the staff evaluation is as follows:

- A. There is nothing unique about the subject lot in the Talichet Subdivision. The size and placement of the house on the lot determines the available rear yard area rather than any physical trait of the lot.
- B. The pool design is not overly large with most of the key features arranged along the house rather than projecting away from the house. However, the survey seems to indicate that the pool could be shifted closer to the house by integrating some of the current patio area into the pool deck design. This would further minimize or eliminate the need to extend into the required rear yard.
- C. A literal interpretation of the code does not prohibit the construction of a pool, but would require some shifting or minor redesign of the pool.

- D. The proposed minimum variance of four feet is not essential to allow construction of the pool. The proposed design does avoid the the drainage and utility easement that runs along the rear lot line. However, shoould the Planning Board elect to recommend the variance to Town Council, the Planning Board should include a provision that no grade change be done which impacts the five-foot utility and drainage easement.
- E. The approval of the proposed design is in harmony with the general intent of the code. Approval of the variance and construction of the pool and pool deck is consistent with standard residential use of the property and would have no apparent impact to other properties.
- F. If any required trees trees will need to be removed or relocated to permit construction of the pool, the trees will need to be relocated or replaced. These trees are part of the minimum landscape requirement and the trees either need to be transplanted or replaced with trees meeting the code minimum. If the trees are transplanted and then die, they must be replaced. Should the Planning Board recommend approval of the variance to Town Council, the tree relocation or replacement requirement should be recommended as a condition of approval.

Summary

Technically the request does not meet all of the criteria for approval of the requested variance. Construction of the pool and deck as proposed is in harmony with the use of the property as a single-family home and with the neighborhood in general, but the application has not demonstrated any hardship linked to the property. Should the Planning Board elect to recommend the variance to Town Council, approval of the variance should be a maximum of four feet into the required rear yard and require relocation or replacement of the trees in the proposed pool area. The Board shoould also prohibit any grade change from fill or other action that impacts the five-foot drainage and utility easement.



VARIANCE APPLICATION

Howey-in-the-Hills

PLEASE PRINT LEGIBLY

Property Owner (if there are multiple owners, please provide all the information on the attached ownership list): Peter + Janice DeJoseph

Property Owner's Contact Information (If multiple owners, please provide mailing address, daytime phone, and fax and/or email for each owner):

First Owner:

Mailing Address: 469 Arila Pl Howey in the Hills
 Daytime Phone: 561-685-2292
 Fax and/or Email: Dejose63@hotmail.com

Second Owner:

Mailing Address: _____
 Daytime Phone: _____
 Fax and/or Email: _____

If more than two owners, please attach additional information.

Applicant (If different from owner): _____

Mailing Address: _____
 Daytime Phone: _____
 Fax and/or Email: _____

If the Applicant does not own the property, or is not the sole owner, please complete the Authorized Agent Affidavit form, attached.

If the Applicant is Not the Owner of the Property, is the Applicant:

_____ A Tenant
 _____ An Authorized Agent for the Owner
 _____ Other (please explain): _____

Property's Physical Address: 469 Arila Place Howey in the Hills
 The attached Verified Legal Description Form must also be completed as part of the application.

A survey of the property, showing all current improvements on the site, to scale, is required as part of the application submittal. The survey can be no larger than 11" X 17" in size.

An additional copy of the survey or a site plan drawn to scale should be included as part of the application which specifically shows any improvements that are being requested as part of the variance. Again, this site plan can be no larger than 11" X 17" in size.

Property Information: Tax Parcel ID: 2620-25-0010 Alt Key #: 3922840
000-0470

Please identify below the current land uses located on the site and all adjacent properties. For example, land uses would be identified as single family home, office, grocery store, etc.

Subject Site: Lot #47 469 A.

Adjacent property to the North: Single family Home

Adjacent property to the South: Single family Home

Adjacent property to the East: Street / Conservation Area

Adjacent property to the West: Single family home

Does the property currently have:

Town Water: ☒ YES ☐ NO

Central Sewer: ☒ YES ☐ NO

Potable Water Well: ☐ YES ☒ NO

Septic Tank: ☐ YES ☒ NO

How long has the current owner owned the property? Since 4/2022

Please attach property tax records or other documentation to verify how long the current owner has owned the property.

What specific Code requirement is the applicant seeking a variance from?

10 ft Building Setback to be
Vacated

What, in the applicant's point of view, are the specific special conditions or circumstances that exist on the property?

Not enough space between house
and rear property line.

What, in the applicant's point of view, is the unnecessary and undue hardship that exists to provide justification for the variance?

Not enough space to build
a pool that would be safe.

The applicant should provide any additional information that may be helpful to the Town in rendering a decision on the requested variance.

- 1. 5 ft setbacks are standard in most other municipalities.
- 2. A 5ft wide pool would be unsafe and too small for our family
- 3. we'd like to use as much of our property as possible
- 4. Other homes in the Area have rec'd this variance


Additional information may be necessary. The applicant is required to provide a daytime telephone number where he/she can be reached.

The applicant is required to provide the names and mailing addresses of all property owners within 300 feet of the subject property, in the form of mailing labels. Three (3) sets of labels are required. These names and addresses may be obtained from the Lake County Property Appraiser's Office.

The Town will also provide a sign which must be posted on the subject property, visible from the adjacent right-of-way or road access. The sign must be posted at least one week prior to the Planning and Zoning Board meeting where this application will be on the agenda and the sign must remain posted until the Town Council public hearing.

A \$400 application fee is due and payable at the time this application is submitted to the Town. In addition to this application fee, a \$1,000 review deposit is required. By signing this application, the applicant acknowledges that the \$400 application fee covers advertising costs, mailings, and the time spent on the application by the Town Clerk. The applicant also acknowledges by his/her signature below that he/she understands he or she will be responsible for any additional costs that the Town incurs as a result of having Town consultants review the application. Once those additional costs are paid by the applicant, the Town will return the balance of the \$1,000 review deposit to the applicant. By signing this application, the applicant also acknowledges that he/she understands that variances expire if not acted upon within the timeframes outlined in the Town's Land Development Regulations.

Witnesses:

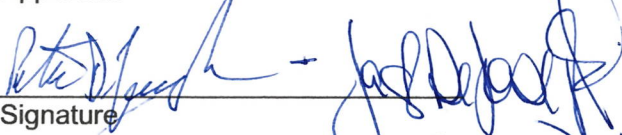

Signature

Jalen Leslie
Print Name


Signature

Nancy J. Escabi-Ortiz
Print Name

Applicant:


Signature

Peter DeJoseph + Janice DeJoseph
Print Name



Authorized Agent Affidavit

STATE OF FLORIDA
COUNTY OF LAKE

Before me, the undersigned authority, this day personally appeared _____ hereinafter “Owner”, and _____ hereinafter “Applicant”, who, being by me first duly sworn, upon oath, depose and says:

- 1. The Applicant is the duly authorized representative of the Owner, on the real property as described and listed on the pages attached to this affidavit and made a part of hereof.
- 2. That all Owners have given their full and complete permission for the Applicant to act in their behalf as set out in the accompanying application.
- 3. That the attached ownership list is made a part of the Affidavit and contains the legal description(s) for the real property, and the names and mailing addresses of all Owners having an interest in said land.

FURTHER Affiant(s) sayeth not.

Sworn to and subscribed before me this
16th day of August, 2022

Chirag Patel
Notary Public
State of Florida at Large
My Commission Expires: 08/03/2026



Reto D. Singh
Owner

Jagdeep Singh
Owner

Sworn to and subscribed before me this
16th day of August, 2022

Chirag Patel
Notary Public
State of Florida at Large
My Commission Expires: 08/03/2026



Sworn to and subscribed before me this
____ day of _____, 20__

Notary Public
State of Florida at Large
My Commission Expires: _____

Owner

Sworn to and subscribed before me this
____ day of _____, 20__

Notary Public
State of Florida at Large
My Commission Expires: _____

Owner

Please hand deliver completed application and fee to:

Town Clerk
Town of Howey in the Hills
101 N. Palm Avenue
Howey in the Hills, FL 34737

Please make application fee and review deposit checks payable to the Town of Howey in the Hills.

The Town Clerk may be reached at 352-324-2290 or by visiting Town Hall during normal business hours.

FOR TOWN CLERK OFFICE USE ONLY	
Date Received:	_____
_____ 3 sets of labels attached?	
_____ current survey attached?	
_____ site plan attached showing proposed improvements?	
_____ verified legal description form attached?	
_____ authorized agent affidavit attached?	
_____ ownership list attached?	
APPLICATION NO.	_____
Reviewed and Accepted By:	_____
Provided to Town Planner on:	_____
Planning & Zoning Board meeting date:	_____
Town Council meeting date:	_____

PROPERTY RECORD CARD

General Information

Name:	DE JOSEPH PETER & JANICE M	Alternate Key:	3922840
Mailing Address:	469 AVILA PL HOWEY IN THE HILLS, FL 34737 Update Mailing Address	Parcel Number:	26-20-25-0010-000-04700
		Millage Group and City:	000H Howey in the Hills
		2021 Total Certified Millage Rate:	20.7552
		Trash/Recycling/Water/Info:	My Public Services Map
Property Location:	469 AVILA PL HOWEY IN THE HILLS FL, 34737 Update Property Location	Property Name:	-- Submit Property Name
		School Information:	School Locator & Bus Stop Map School Boundary Maps
Property Description:	TALICHET AT VENEZIA NORTH PB 73 PG 78-81 LOT 47 ORB 5951 PG 456		
<p>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</p>			

Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	VACANT RESIDENTIAL (0000)	0	0		1.000	Lot	\$0.00	\$50,000.00
Click here for Zoning Info ⓘ				FEMA Flood Map				

Miscellaneous Improvements

There is no improvement information to display.

Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
5951 / 456	04/2022	Warranty Deed	Qualified	Improved	\$445,600.00
5706 / 863	05/2021	Warranty Deed	Qualified	Vacant	\$567,000.00
Click here to search for mortgages, liens, and other legal documents. ⓘ					

Values and Estimated Ad Valorem Taxes ⓘ

Values shown below are 2022 CERTIFIED VALUES.
The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL	\$50,000	\$50,000	\$50,000	5.0529	\$252.65

FUND					
SCHOOL BOARD STATE	\$50,000	\$50,000	\$50,000	3.5940	\$179.70
SCHOOL BOARD LOCAL	\$50,000	\$50,000	\$50,000	2.9980	\$149.90
LAKE COUNTY WATER AUTHORITY	\$50,000	\$50,000	\$50,000	0.3229	\$16.15
NORTH LAKE HOSPITAL DIST	\$50,000	\$50,000	\$50,000	0.0000	\$0.00
ST JOHNS RIVER FL WATER MGMT DIST	\$50,000	\$50,000	\$50,000	0.2189	\$10.95
TOWN OF HOWEY IN THE HILLS	\$50,000	\$50,000	\$50,000	7.5000	\$375.00
LAKE COUNTY MSTU AMBULANCE	\$50,000	\$50,000	\$50,000	0.4629	\$23.15
LAKE COUNTY VOTED DEBT SERVICE	\$50,000	\$50,000	\$50,000	0.0918	\$4.59
LAKE COUNTY MSTU FIRE	\$50,000	\$50,000	\$50,000	0.5138	\$25.69
				Total:	Total:
				20.7552	\$1,037.78

Exemptions Information

This property is benefitting from the following exemptions with a checkmark ✓

Homestead Exemption (first exemption up to \$25,000)	Learn More View the Law
Additional Homestead Exemption (up to an additional \$25,000)	Learn More View the Law
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	Learn More View the Law
Limited Income Senior Exemption (applied to city millage - up to \$25,000)	Learn More View the Law
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	Learn More View the Law
Widow / Widower Exemption (up to \$500)	Learn More View the Law
Blind Exemption (up to \$500)	Learn More View the Law
Disability Exemption (up to \$500)	Learn More View the Law
Total and Permanent Disability Exemption (amount varies)	Learn More View the Law
Veteran's Disability Exemption (\$5000)	Learn More View the Law
Veteran's Total and Permanent Disability Exemption (amount varies)	Learn More View the Law
Veteran's Combat Related Disability Exemption (amount varies)	Learn More View the Law
Deployed Servicemember Exemption (amount varies)	Learn More View the Law
First Responder Total and Permanent Disability Exemption (amount varies)	Learn More View the Law
Surviving Spouse of First Responder Exemption (amount varies)	Learn More View the Law
Conservation Exemption (amount varies)	Learn More View the Law
Tangible Personal Property Exemption (up to \$25,000)	Learn More View the Law
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)	Learn More View the Law
Economic Development Exemption	Learn More View the Law
Government Exemption (amount varies)	Learn More View the Law

NOTE: Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted [Site Notice](#).

Copyright © 2014 Lake County Property Appraiser. All rights reserved.
Property data last updated on March 21, 2022.

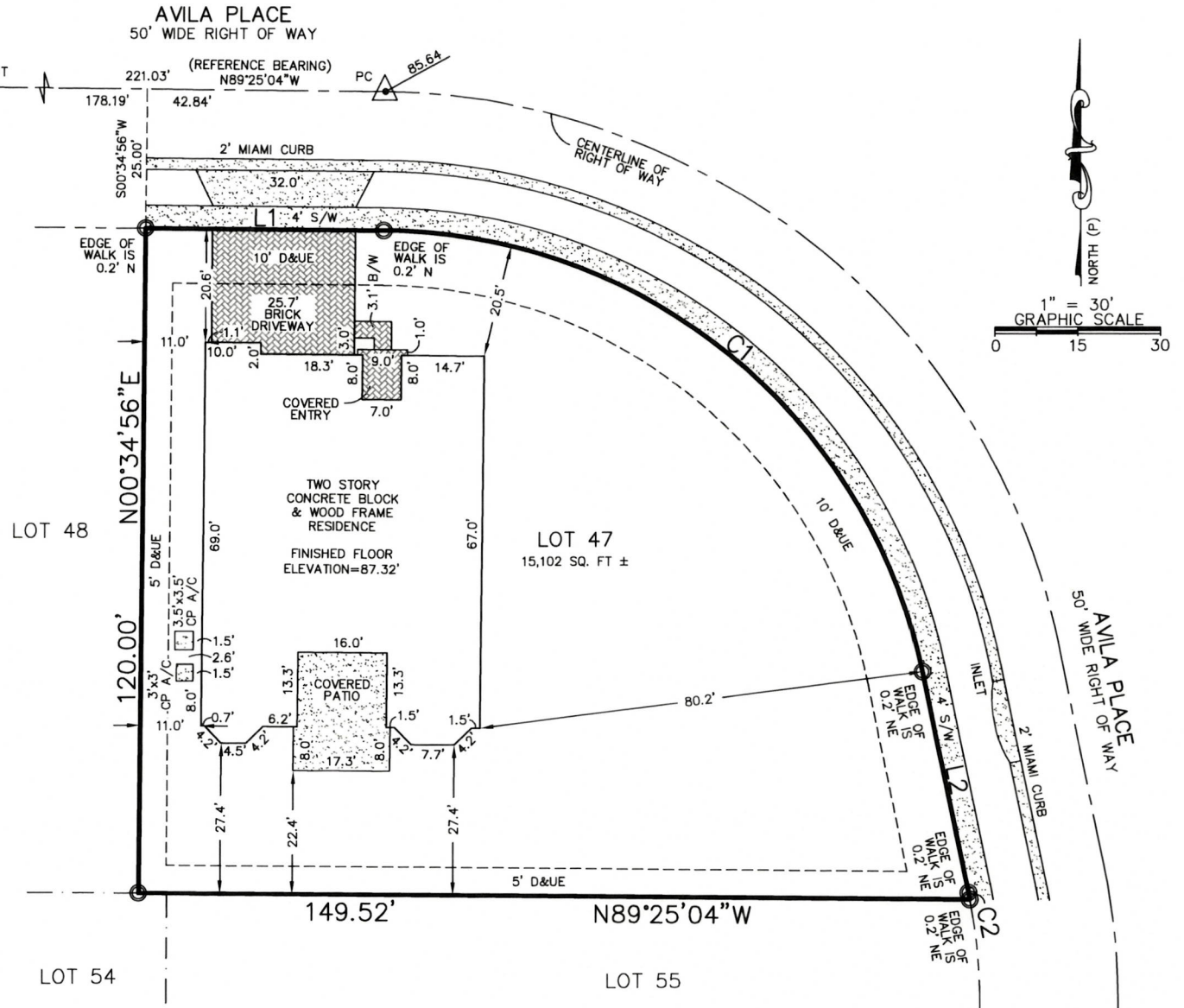
Site Notice

BOUNDARY & AS-BUILT SURVEY

DESCRIPTION: (AS FURNISHED)

LOT 47, TALICHET AT VENEZIA NORTH

AS RECORDED IN PLAT BOOK 73, PAGE(S) 78-81, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.



ADDRESS:
469 AVILA PLACE
HOWEY IN THE HILLS, FLORIDA 34737

FOR THE BENEFIT AND
EXCLUSIVE USE OF:

PETER DEJOSEPH & JANICE MIREYA DEJOSEPH
UNITED WHOLESAL MORTGAGE, LLC.
GOLDEN DOG TITLE & TRUST
FIDELITY NATIONAL TITLE INSURANCE COMPANY

OFFICIAL HOME BUILDER OF THE JACKSONVILLE JAGUARS



NOTES:

1. ALL DIRECTIONS AND DISTANCES HAVE BEEN FIELD VERIFIED, INCONSISTENCIES HAVE BEEN NOTED ON THE SURVEY, IF ANY.
2. PROPERTY CORNERS SHOWN HEREON WERE SET/FOUND ON 05/02/2022, UNLESS OTHERWISE SHOWN.
3. THE SURVEYOR HAS NOT ABSTRACTED THE LAND SHOWN HEREON FOR EASEMENTS, RIGHT OF WAY, RESTRICTIONS OF RECORD WHICH MAY AFFECT THE TITLE OR USE OF THE LAND.
4. NO UNDERGROUND IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN.
5. BUILDING TIES SHOWN HEREON ARE NOT TO BE USED TO RECONSTRUCT THE BOUNDARY LINES.
6. ELEVATIONS SHOWN HEREON ARE BASED ON NATIONAL GEODETIC SURVEY BENCHMARK A 431, ELEVATION=99.32' NAVD 88 DATUM

LEGEND:

- CENTERLINE
--- RIGHT OF WAY LINE
--- DRAINAGE FLOW
--- EXISTING ELEVATION
XX.XX
- A/C AIR CONDITIONER
- CONCRETE BRICK PAVERS
- CBW CONCRETE BLOCK WALL
CNA CORNER NOT ACCESSIBLE
CP CONCRETE PAD
CS CONCRETE SLAB
C/W CONCRETE WALK
B/W BRICK WALK
F.E.M.A. FEDERAL EMERGENCY MANAGEMENT AGENCY
F.I.R.M. FLOOD INSURANCE RATE MAP
ID IDENTIFICATION
LB LICENSED BUSINESS
LS LICENSED SURVEYOR
D&UE DRAINAGE & UTILITY EASEMENT
DE DRAINAGE EASEMENT
UE UTILITY EASEMENT
NAVD NORTH AMERICAN VERTICAL DATUM

Line Table		
Line #	Direction	Length
L1	S89°25'04"E	42.84'
L2	S11°41'39"E	40.94'

Curve Table					
Curve #	Length	Radius	Delta	Chord Bearing	Chord
C1	135.65'	100.00'	77°43'25"	S50°33'21"E	125.49'
C2	1.29'	100.00'	0°44'22"	S11°19'28"E	1.29'

- △ FOUND NAIL AND DISC LB #7514
○ FOUND 5/8" IRON ROD AND CAP LB #7514
(P) PER PLAT
(M) MEASURED
O/S OFFSET
PC POINT OF CURVATURE
PCC POINT OF COMPOUND CURVE
PCP PERMANENT CONTROL POINT
PI POINT OF INTERSECTION
PK PARKER KALON
POC POINT ON CURVE
POL POINT ON LINE
PRC POINT OF REVERSE CURVATURE
PRM PERMANENT REFERENCE MONUMENT
PSM PROFESSIONAL SURVEYOR AND MAPPER
PT POINT OF TANGENCY
SQ. FT. SQUARE FEET
S/W SIDEWALK
TYP TYPICAL

FLOOD NOTE:
I HAVE EXAMINED THE F.I.R.M. MAP NO. 12069C0485E, DATED 12/18/12, AND FOUND THE SUBJECT PROPERTY APPEARS TO LIE IN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. THE SURVEYOR MAKES NO GUARANTEES AS TO THE ABOVE INFORMATION. PLEASE CONTACT THE LOCAL F.E.M.A. AGENT FOR VERIFICATION.

BEARING BASIS:
BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF AVILA PLACE BEING N89°25'04"W, PER PLAT.

(FIELD DATE:) 06-02-21
SCALE: 1" = 30 FEET
APPROVED BY: JB
JOB NO. 200824 LOT 47
DRAWN BY: RMB

REVISED:
FINAL 05/02/2022 LU
FORMBOARD 06-08-2021 AV
PLOT PLAN 04-19-2021 JG



CERTIFICATION OF AUTHORIZATION NUMBER LB#6393
3191 MAGUIRE BOULEVARD, SUITE 200
ORLANDO, FLORIDA 32803
(407) 426-7979
WWW.AMERICANSURVEYINGANDMAPPING.COM

CERTIFICATION NOTE:
I HEREBY CERTIFY, THAT THIS SURVEY, SUBJECT TO THE SURVEYOR'S NOTES CONTAINED HEREON MEETS THE APPLICABLE "MINIMUM TECHNICAL STANDARDS" SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO CHAPTER 472.027, FLORIDA STATUTES.

Digitally signed by James W. Boleman
DN: cn=James W. Boleman, o=American Surveying & Mapping Inc., ou=HB, email=jboleman@asmcorporate.com, c=US
Date: 2022.05.02 10:00:32 -04'00'
Adobe Acrobat version: 11.0.23

JAMES W. BOLEMAN PSM# 6485
THIS BOUNDARY & AS-BUILT SURVEY IS NOT VALID WITHOUT THE AUTHENTIC ELECTRONIC SIGNATURE OF THE AUTHENTIC ELECTRONIC SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

FOR THE FIRM DATE

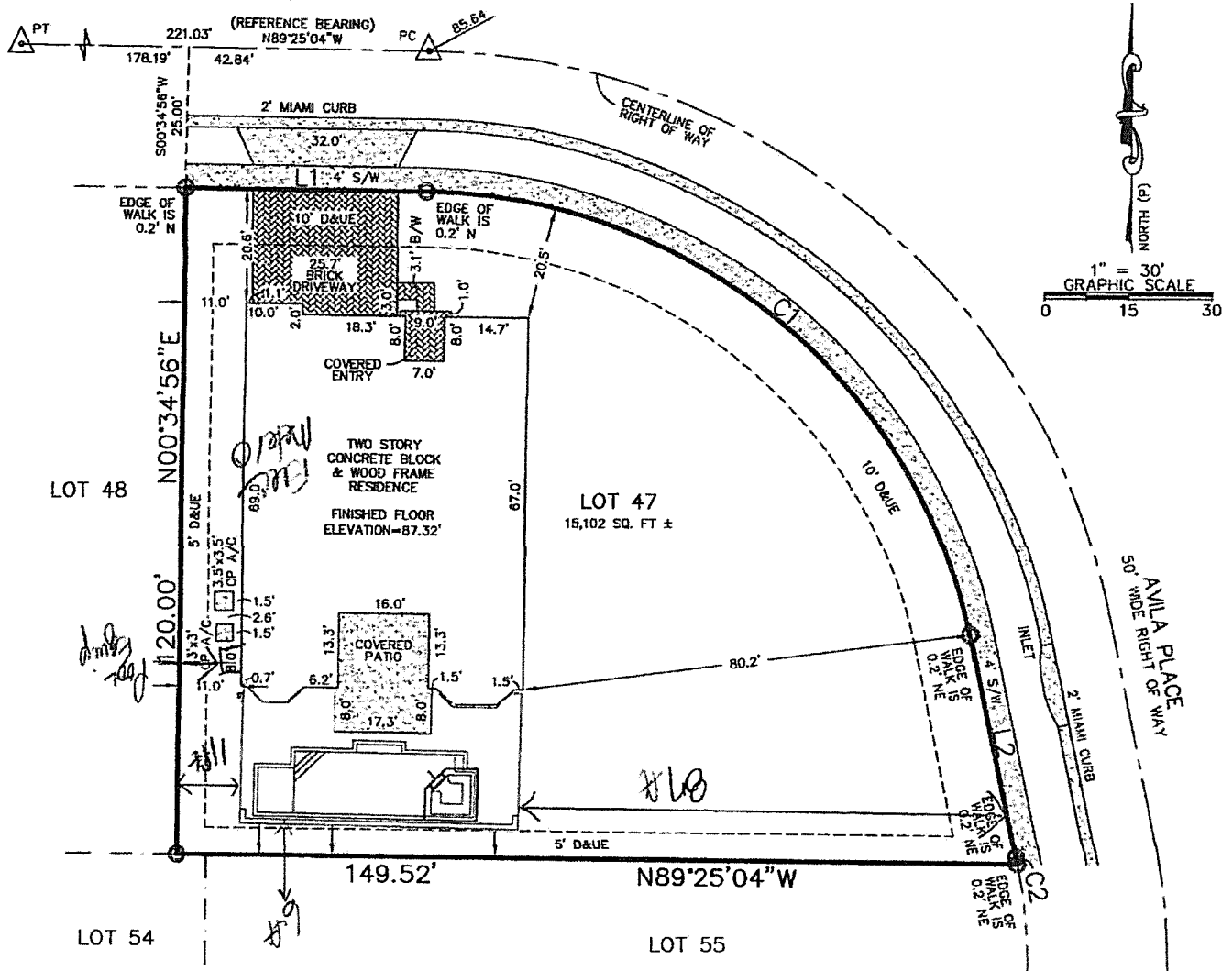
BOUNDARY & AS-BUILT SURVEY

DESCRIPTION: (AS FURNISHED)

LOT 47, TALICHET AT VENEZIA NORTH

AS RECORDED IN PLAT BOOK 73, PAGE(S) 78-81, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.

AVILA PLACE
50' WIDE RIGHT OF WAY



ADDRESS:
469 AVILA PLACE
HOWEY IN THE HILLS, FLORIDA 34737

FOR THE BENEFIT AND
EXCLUSIVE USE OF:

PETER DEJOSEPH & JANICE MIREYA DEJOSEPH
UNITED WHOLESALE MORTGAGE, LLC.
GOLDEN DOG TITLE & TRUST
FIDELITY NATIONAL TITLE INSURANCE COMPANY

图 1-1-1 所示: 图中表示的是在 1980 年 1 月 1 日, 某企业向银行借入一笔 100 万元的长期借款, 期限为 5 年, 年利率为 10%。该企业在 1980 年 1 月 1 日, 将 100 万元存入银行, 期限为 5 年, 年利率为 10%。该企业在 1980 年 1 月 1 日, 将 100 万元存入银行, 期限为 5 年, 年利率为 10%。



NOTES:

1. ALL DIRECTIONS AND DISTANCES HAVE BEEN FIELD VERIFIED, INCONSISTENCIES HAVE BEEN NOTED ON THE SURVEY, IF ANY.

2. PROPERTY CORNERS SHOWN HEREON WERE SET/FOUND ON 05/02/2022, UNLESS OTHERWISE SHOWN.

3. THE SURVEYOR HAS NOT ABSTRACTED THE LAND SHOWN HEREON FOR EASEMENTS, RIGHT OF WAY, RESTRICTIONS OF RECORD WHICH MAY AFFECT THE TITLE OR USE OF THE LAND.

4. NO UNDERGROUND IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN.

5. BUILDING TIES SHOWN HEREON ARE NOT TO BE USED TO RECONSTRUCT THE BOUNDARY LINES.

6. ELEVATIONS SHOWN HEREON ARE BASED ON NATIONAL GEODETIC SURVEY BENCHMARK A 431, ELEVATION=99.32' NAVD 88 DATUM

Line Table		
Line #	Direction	Length
L1	S89°25'04"E	42.84'
L2	S11°41'39"E	40.94'

Curve Table					
Curve #	Length	Radius	Delta	Chord Bearing	Chord
C1	135.65'	100.00'	77°43'25"	S50°33'21"E	125.49'
C2	1.29'	100.00'	0°44'22"	S11°19'28"E	1.29'

LEGEND:

A/C AIR CONDITIONER

 CONCRETE BRICK PAVERS

CBW	CONCRETE BLOCK WALL
CNA	CORNER NOT ACCESSIBLE
CP	CONCRETE PAD
CS	CONCRETE SLAB
C/W	CONCRETE WALK
B/W	BRICK WALK
F.E.M.A.	FEDERAL EMERGENCY MANAGEMENT AGENCY
F.I.R.M.	FLOOD INSURANCE RATE MAP
ID	IDENTIFICATION
LS	LICENSED BUSINESS
	LICENSED SURVEYOR
D&E	DRAINAGE UTILITY EASEMENT
	DRAINAGE EASEMENT
UE	UTILITY EASEMENT
NAYD	NORTH AMERICAN VERTICAL DATUM

▲ FOUND NAIL AND DISC
 LB #7514
 ○ FOUND 5/8" IRON ROD AND CAP
 LB #7514
 (P) PER PLAT
 (M) MEASURED
 O/S OFFSET
 PC POINT OF CURVATURE
 PCC POINT OF COMPOUND CURVE
 PCP PERMANENT CONTROL POINT
 PI POINT OF INTERSECTION
 PK PARKER KALON
 POC POINT ON CURVE
 POL POINT ON LINE
 PRC POINT OF REVERSE CURVATURE
 PRM PERMANENT REFERENCE MONUMENT
 PSM PROFESSIONAL SURVEYOR AND MAPPER
 PT POINT OF TANGENCY
 SQ. FT. SQUARE FEET
 S/W SIDEWALK
 TYP TYPICAL

FLOOD NOTE:

I HAVE EXAMINED THE F.I.R.M. MAP NO. 12069C0485E,
DATED 12/18/12, AND FOUND THE SUBJECT PROPERTY APPEARS TO LIE
IN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL
CHANCE FLOODPLAIN. THE SURVEYOR MAKES NO GUARANTEES AS TO
THE ABOVE INFORMATION. PLEASE CONTACT THE LOCAL F.E.M.A. AGENT
FOR VERIFICATION.

BEARING BASIS:

BEARING BASIS:
BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF AVILA
PLACE BEING N89°25'04"W. PER PLAT.

(FIELD DATE:) 06-02-21

SCALE: 1" = 30 FEET

APPROVED BY: JB

JOB NO 200824 LOT 47

DRAWN BY: RMB

REVISÉ:

FINAL 05/02/2022 LU

FORMBOARD 06-08-2021 AV

ASM
AMERICAN
SURVEYING
& MAPPING INC.

CERTIFICATION OF AUTHORIZATION NUMBER LB#6393
3191 MAGUIRE BOULEVARD, SUITE 200
ORLANDO, FLORIDA 32803
(407) 426-7979
WWW.AMERICANSURVEYINGANDMAPPING.COM

CERTIFICATION NOTE:

CERTIFICATION NOTE:
I HEREBY CERTIFY, THAT THIS SURVEY, SUBJECT TO THE SURVEYOR'S NOTES CONTAINED HEREON MEETS THE APPLICABLE "MINIMUM TECHNICAL STANDARDS" SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO CHAPTER 472.027, FLORIDA STATUTES.



Digitally signed by James W. Boleman
DN: cn=James W. Boleman,
o=American Surveying &
Mapping Inc., ou=HE,
email=jboleman@asmcorporate.com, c=US
Date: 2022.05.02 10:00:32 -04'00'
Adobe Acrobat version: 11.0.23

JAMES W. BOLEMAN PSM# 6485
THIS BOUNDARY & AS-BUILT SURVEY IS NOT VALID
WITHOUT THE AUTHENTIC ELECTRONIC SIGNATURE AND
THE AUTHENTIC ELECTRONIC SEAL OF A FLORIDA
LICENSED SURVEYOR AND MAPPER.

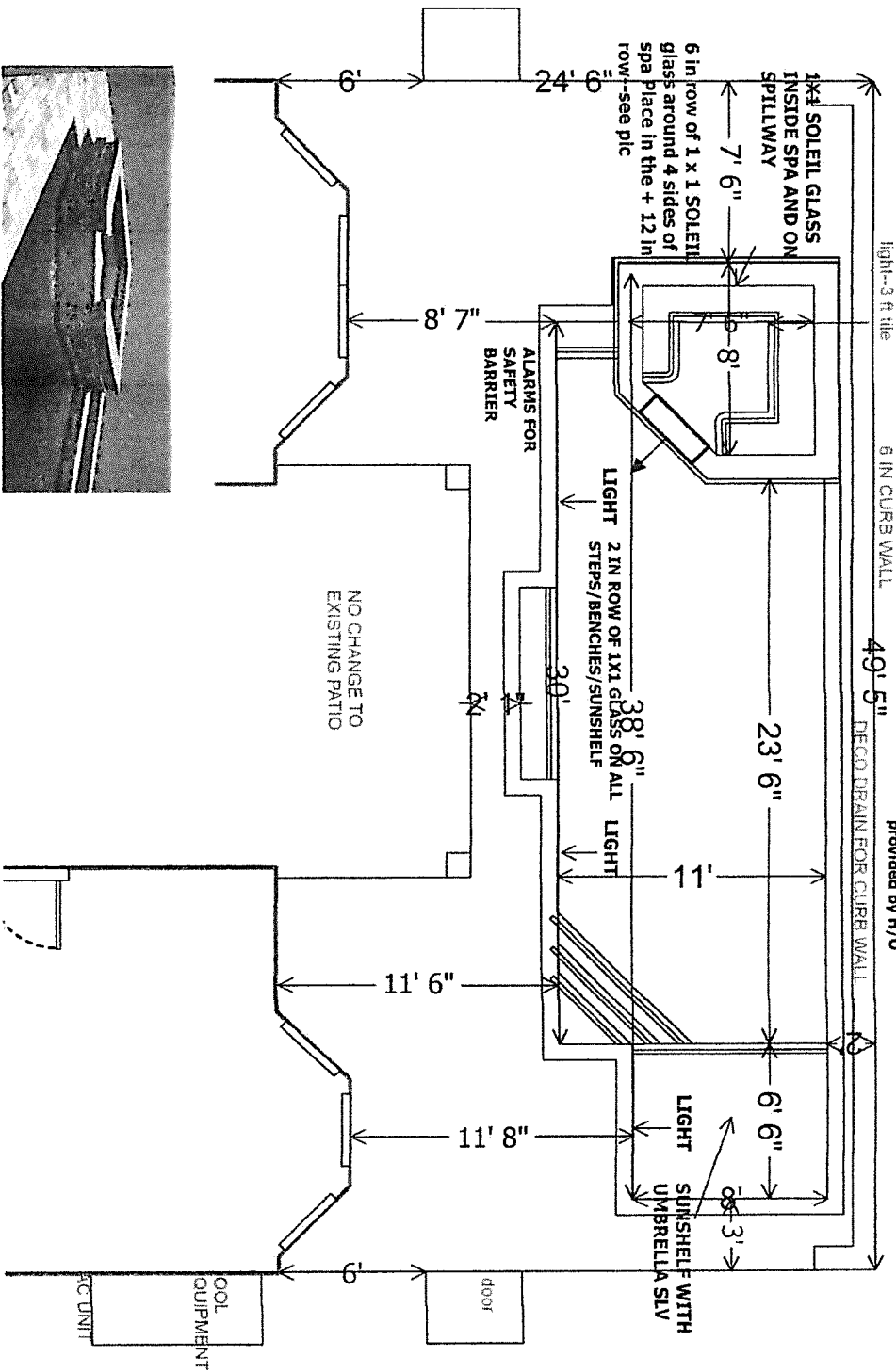
ACCESS FROM
SIDE AVILA
PLACE --SIDE ST
ENTRY WITH
LARGE MACHINE
AND SHUTTLE

spa raised 18 in
with 6 jets--color
light--3 ft tile

5 ft easement

Curb wall color
to match house
color--color
provided by H/O

NO IRRIGATION SYSTEM
H/O will be fencing after
pool is completed



Sales Designer

Customer Approval

I have reviewed and I give my approval to proceed with the

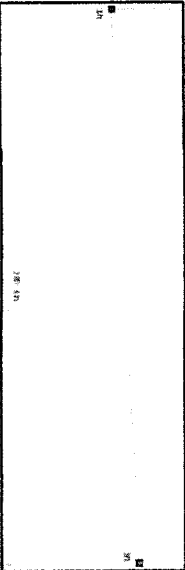
Customer

Name: PETER & JANICE DEJOSEPH

Address: 469 AVILA PLACE

City: HOWEY IN THE HILLS, FL Zip: 34737

Finish Pool Depth Profile



Customer Int: _____

Color Selections

Interior Color: WETEDGE SOUTHERN LIGHTS
Tile Selection: AQUABELLA STAR SERIES POLARIS 6X6
Tile Grout Color: 209 GLACIER BLUE
Colored Grout Will fade & is Note Covered under warranty
Step Tile: NPT 1X1 SOLEIL CLEO
Step Tile Pattern: 2 IN STRIP ON STEPS/BENCH/SS
Deck Type/ Pattern: FAVER TRAVERSTONE 3 PC RANDOM
Deck Color: WHITE PEWTER
Coping Type: BRICK COPING
Coping Color: WHITE PEWTER
Coping Grout Color: NA
Color band Color: NA
Screen Type: DOVE
Screen Height: 10 FT Screen Color: BRONZE
Fence Type: NA
Fence Color: NA
Notes: CURB WALL TO MATCH HOUSE COLOR

Floor Head

White: XX Light Grey: __

Deck Drain

White: __ Tan: __ Grey: XX

Sheer Descent

Colors are for Sheer Descents Only Not used for Arc

White: __ Grey: XX

Water Bowl Type: __ Water Bowl Color: __

Stone / Cultured Stone: __

Granite Spillway Color: __

Deco Tiles: __

Notes: __

Umbrella Color:

Burgandy: __ Navy Blue: __

Taupe: __ Royal Blue: __

Handrail Colors:

White: __ Grey: XX

Beige: __ Grey: XX

ERIC GRAVE
440 AVILA PL
HOWEY IN THE HILLS
FL, 34737

MARK BISHOP
456 AVILA PL
HOWEY IN THE HILLS
FL, 34737

EDWIN DIAZ
463 AVILA PL
HOWEY IN THE HILLS
FL, 34737

ISRAEL VALENTIN
501 AVILA PL
HOWEY IN THE HILLS
FL, 34737

DERRICK ANDERSON
485 AVILA PL
HOWEY IN THE HILLS
FL, 34737

CHRISTOPHER BEHAN
492 AVILA PL
HOWEY IN THE HILLS
FL, 34737

ERIC GRAVE
440 AVILA PL
HOWEY IN THE HILLS
FL, 34737

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FL, 34737

ISRAEL VALENTIN
501 AVILA PL
HOWEY IN THE HILLS
FL, 34737

DAVID PECKINS
444 AVILA PL
HOWEY IN THE HILLS
FL, 34737

ANDREW HOOTEN
460 AVILA PL
HOWEY IN THE HILLS
FL, 34737

MATTHEW BEATTY
456 AVILA PL
HOWEY IN THE HILLS
FL, 34737

ERIX OROVIA
493 AVILA PL
HOWEY IN THE HILLS
FL, 34737

BRENT MOAKE
476 AVILA PL
HOWEY IN THE HILLS
FL, 34737

MICHAELNARAIN
500 AVILA PL
HOWEY IN THE HILLS
FL, 34737

DAVID PECKINS
444 AVILA PL
HOWEY IN THE HILLS
FL, 34737

ANDREW HOOTEN
460 AVILA PL
HOWEY IN THE HILLS
FL, 34737

MATTHEW BEATTY
456 AVILA PL
HOWEY IN THE HILLS
FL, 34737

ERIX OROVIA
493 AVILA PL
HOWEY IN THE HILLS
FL, 34737

LORETTA DARDNO
448 AVILA PL
HOWEY IN THE HILLS
FL, 34737

WILLIE RANDEL
464 AVILA PL
HOWEY IN THE HILLS
FL, 34737

DIXON RODRIGUEZ
433 AVILA PL
HOWEY IN THE HILLS
FL, 34737

DAVID ELIAS
489 AVILA PL
HOWEY IN THE HILLS
FL, 34737

JACK PAVLIK
480 AVILA PL
HOWEY IN THE HILLS
FL, 34737

CESAL RODRIGUEZ
504 AVILA PL
HOWEY IN THE HILLS
FL, 34737

LORETTA DARDNO
448 AVILA PL
HOWEY IN THE HILLS
FL, 34737

WILLIE RANDEL
464 AVILA PL
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DIXON RODRIGUEZ
433 AVILA PL
HOWEY IN THE HILLS
FL, 34737

DAVID ELIAS
489 AVILA PL
HOWEY IN THE HILLS
FL, 34737



TMHConsulting@cfl.rr.com
 97 N. Saint Andrews Dr.
 Ormond Beach, FL 32174
 PH: 386.316.8426

MEMORANDUM

TO: Howey-in-the-Hills Town Council
CC: S. O'Keefe, Town Manager; J. Brock, Town Clerk
FROM: Thomas Harowski, AICP, Planning Consultant
SUBJECT: The Reserve/Hilltop Groves First Amendment to the Development Agreement
DATE: October 5, 2022

The developers of the residential portion of The Reserve development have asked for an amendment to the approved development agreement to make revisions to the preliminary subdivision plan included as an attachment to the development agreement. Some of these proposed revisions qualify as major amendments under the terms of the adopted PUD agreement, so all the requested changes have been included in the proposal. The applicants have submitted a list of plan adjustments on the updated master site plan map including a number key locating each revision. Other than the change of the collector road from 4-lanes to 2-lanes the proposed revisions result from more detailed design and engineering work to harden the preliminary subdivision design. Approval of the requested changes will clear the way for submittal of the final subdivision plan for the first development phase.

The Town's Development Review Committee reviewed the proposed amendments at their meeting on September 8, 2022 and prepared a list of recommendations for the proposed changes. The Planning Board reviewed the package of revisions at their regular meeting of September 22, 2022 and recommended the amendments to Town Council for approval. The changes are limited to the preliminary subdivision plan with no proposed changes to the text of the development agreement. The proposed revisions include the following items:

1. The applicants are requesting a revised design for the central collector road, identified as Road A on the preliminary subdivision plan, from four lanes to two lanes through the residential portion of The Reserve development. Most of the portion of Road A through the commercial portion of the project will remain as a four-lane section. In support of the requested change the applicants have submitted an analysis from their traffic engineer documenting that a two-lane road is sufficient to support the projected traffic volumes. The Town engineer has reviewed the request and supports the finding that the two-lane section is adequate for the traffic demand, and that with protected left turn lanes can result in reduced speed and increased safety within the project.

The applicants have noted that the road right-of-way through the commercial area has been increased from 90 feet to 100 feet as shown on the roadway cross-sections. The wider right-of-way is proposed to give more room to fit all the necessary components in the four-lane road section. The intersection with SR 19 has moved south about 250 feet, and driveway connections for the commercial area are shown.

(Refer to map items 2, 3, 4 and 12.)

2. The applicants are proposing minor adjustments to Roads D and F and the adjoining lots to reduce the amount of road area and improve safety while still providing access to the adjacent lots. **(Refer to map item 1.)**
3. The applicants are requesting revisions to Roads B and N along with adjacent lots to improve the connection between Phase 2 and Phase 3. This change improves traffic flow and reduces the number of lots on closed-end streets. **(Refer to map item 6.)**
4. The applicants are revising the collector road cross-sections to include the minimum 10-foot bicycle/pedestrian pathway that extends from SR 19 to Number Two Road. This facility has been a commitment of the project, but roadway cross-section submitted prior to this plan did not fully identify the bicycle/pedestrian path. **(Refer to the revised cross-sections for the two-lane and four-lane sections.)**
5. Residential lots along Road AA and Road Z have been changed to the 50 x 115 lot type rather than the originally proposed 50 x 80 lot type. **(Refer to map item 8.)**
6. The staff has asked for the addition of a street crossing detail where the bicycle/pedestrian path crosses a roadway. This detail is intended to limit the opportunity for cars to inadvertently drive on the path. They have agreed to provide a detail.
7. The applicants have been requested to update the totals of residential units by type and phase. The changes resulting from the road and engineering design changes have reduced the number of cluster units (4) and townhouse units (7) while increasing the total number of single-family units (11). There is no change to the total number of units. **(The revised totals for units by phase are shown on the table on the left side of the master site plan.)**
8. The applicants have been requested to provide a maximum impervious area for each type of residential unit. The lack of a maximum impervious area has been creating some review issues with our other PUD-based neighborhoods. **(The maximum impervious areas by unit type are shown on the table on the left side of the master site plan.)**

The Development Review Committee supports these eight revisions to the approved development agreement and the Planning Board recommended the changes to the Town Council.

The revised plan includes several other small adjustments that are noted here as part of the overall amendment. Please note the following revisions:

- The emergency access via Mare Avenue has been removed. The revised street pattern between Phase 2 and Phase 3 will serve this purpose. **(Refer to map item 5.)**
- The driveway connection to Talichet Phase 2 has been removed as the connection is no longer possible. **(Refer to map item 7.)**
- A revised roadway connection in Phase 4 has been added. **(Refer to map item 9.)**
- Stormwater pond locations have been added to Phase 4. **(Refer to map item 10.)**
- The phase line for Phase 1 has been adjusted. **(Refer to map item 11)**

During the review, the DRC also agreed that the intersection designs of the primary collector road at SR 19 and Number Two Road will be considered minor amendment to the development agreement as the permitting agencies (FDOT and Lake County) will ultimately be directing the intersection designs. The preliminary subdivision plan will also provide for a driveway connection from the collector road to the Town's public safety parcel at the intersection with the primary collector road. It is expected that this connection will provide an opportunity to reduce fire and police response times to properties within the project.



September 12, 2022

Town of Howey-In-The-Hills
Planning & Zoning Dept.
101 N. Palm Avenue
Howey-In-The-Hills, FL 34737

RE: Hillside Grove (fka. Reserve at Howey-in-the-Hills)
PUD Major Amendment PUD Ordinance 2004-322
CWI Job# 21-04-0008

To whom it may concern,

Please find the following items attached for your review of the above reference project:

- Redlined Master Site Plan
- Typical Section of 90' Right of Way with 2 lanes
- Typical Section of 100' Right of Way with 4 lanes

In addition to the above items, we submit the following summary of the revisions on the attached redlined Master Site Plan from the original approval PUD exhibit. The project has now begun detailed engineering design and a greater level of detail is now shown. Each number below corresponds with a number listed in red on the Master Site Plan

1. The roadway alignment has been revised to create a safer condition for both pedestrians and vehicles.
2. The entrance roadway connection to S. Palm Drive has shifted south approximately 250'.
3. The anticipated driveway apron locations to the commercial area are shown. Previously no driveway aprons were shown.
4. The spine road connecting S. Palm Avenue to has been reduced to a two lane section starting at the commercial driveway apron location north to Number 2 Road.
5. The emergency access adjacent to a stormwater pond at the north side of the project has been removed.
6. A roadway connection is added between phase 2 and phase 3 in lieu of a cul-de-sac in phase 2.
7. The driveway apron pictorially shown previously has been removed.
8. Lots are revised to be 50'x115' lots in lieu of 50'x80' lots.
9. A roadway connection is shown connecting all of phase 4 development.
10. Added stormwater management facility locations.
11. The phase line revised so that spine road connection to Number 2 Road is included in phase 1.

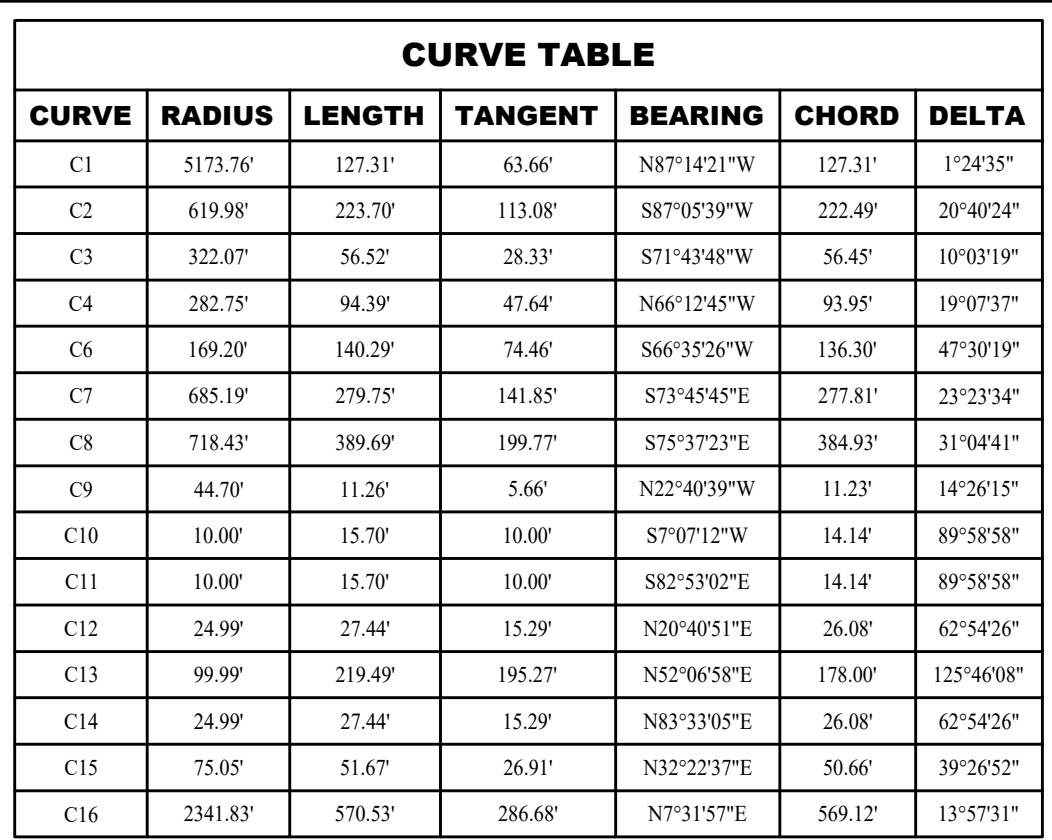
12. The right of way between S. Palm Drive to the project boundary is revised to be a 100' wide to allow for additional green space for tree plantings.
13. Other minor revisions that are a result of additional progress on detailed design that are not numbered but are identified here are:
 - a. Shifting of lot lines
 - b. Relocation of Pump Stations
 - c. Addition of Natural / Vegetative Upland Buffers
 - d. Pond banks and normal water lines more accurately depicted

We trust this information is sufficient for your review and approval of the PUD modification. Should you have comments or require additional information, please feel free to contact me at your convenience.

Sincerely,
Connelly & Wicker, Inc.

Richard C. Welch, P.E.
President

TOGETHER WITH THOSE APPURTENANT EASEMENTS AS SET FORTH AND GRANTED BY EAGLES LANDING AT OCOEE, INC., A FLORIDA CORPORATION, TO HOWEY IN THE HILLS, A FLORIDA LIMITED PARTNERSHIP, IN THAT DEVELOPMENT AGREEMENT AND GRANT OF EASEMENTS, RECORDED NOVEMBER 10, 2005 IN OFFICIAL RECORDS BOOK 3003, PAGE 1377, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.



ORDINANCE NO. 2022-019

AN ORDINANCE OF THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA, PERTAINING TO LAND USE; AMENDING ORDINANCE 2021-010 PERTAINING TO THE USE OF LAND WITHIN THE PROPERTY KNOWN AS THE RESERVE AT HOWEY-IN-THE-HILLS; PROVIDING FINDINGS OF THE TOWN COUNCIL; AMENDING THE AMENDED AND RESTATED DEVELOPER’S AGREEMENT FOR THE RESERVE AT HOWEY-IN-THE-HILLS TO ALLOW A CHANGE IN THE REQUIREMENTS FOR CONSTRUCTION OF A NORTH-SOUTH ROAD; RATIFYING AND CONFIRMING THE PROVISIONS OF ORDINANCE 2021-010, AS AMENDED; PROVIDING FOR SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA:

Section 1. Findings. The owners of the land zoned under Ordinance 2021-010 for The Reserve at Howey-in-the-Hills Planned Unit Development (“The Reserve”) have requested an amendment to the land-use approvals for The Reserve to allow the north-south spine road labeled “Road A” to be constructed as a two-lane road instead of a four-lane road. The request is reasonable and the Town Council is willing to approve it.

Section 2. Amendments to Land-Use Approvals.

a) The proposed “First Amendment to the Amended and Revised Developer’s Agreement for The Reserve at Howey-in-the-Hills” (“First Amendment”) is approved. The Town Manager and the Town Clerk are authorized and directed to execute and deliver to the Owners the First Amendment as presented to the Town Council, with such amendments (if any) approved by Town Council.

b) The list in section 2 of Ordinance 2021-010 of the land-use approvals and other documents containing the conditions, requirements, restrictions, and other terms pertaining to development of The Reserve is amended to add the following:

- i. The First Amendment to Amended and Restated Developer’s Agreement for The Reserve at Howey-in-the-Hills, dated as of _____, 202__, including its Attachment 1; and
- ii. The Master Site Plan for The Reserve at Howey-in-the-Hills dated August 2022

- and contained in Attachment 1 to the First Amendment; and
- iii. The Typical Roadway Cross Section for 90' Right of Way contained in Attachment 1 to the First Amendment; and
 - iv. The Typical Roadway Cross Section for 90' Right of Way (4 lane section) contained in Attachment 1 to the First Amendment.

Section 3. Ratification; Future Amendments to Developer's Agreement.

- a) The First Amendment shall prevail over and supersede Ordinance 2021-010 and the land-use approvals itemized in section 2 of Ordinance 2021-010, but only to the extent a conflict exists between or among them. Otherwise, Ordinance 2021-010 and the land-use approvals and other instruments and documents identified in section 2 of the ordinance are ratified, validated, and confirmed herewith and declared to remain in full force and effect.
- b) The Town Council is authorized to approve future amendments (if any) to the Amended and Restated Developer's Agreement for The Reserve at Howey-in-the-Hills without the necessity of amending either Ordinance 2021-010 or this ordinance.

Section 4. Severability. If any part of this ordinance is declared by a court of competent jurisdiction to be void, unconstitutional, or unenforceable, the remaining parts of this ordinance shall remain in full effect. To that end, this ordinance is declared to be severable.

Section 5. Codification. This ordinance shall be codified only if the Town Manager determines, upon consultation with the Town Attorney and Town Planner, that codification is necessary or useful to the Town and its citizens.

Section 6. Effective Date. This ordinance shall take effect upon the later of (i) its enactment by the Town Council or (ii) the date on which the First Amendment to the Amended and Restated Developer's Agreement for Howey-in-the-Hills takes effect.

ORDAINED AND ENACTED this ____ day of _____, 2022, by the Town Council of the Town of Howey-in-the-Hills, Florida.

**TOWN OF HOWEY-IN-THE-HILLS,
FLORIDA**

By: its Town Council

By: _____
Martha MacFarlane, Mayor

ATTEST:

APPROVED AS TO FORM AND LEGALITY
(for use and reliance of the Town only)

John Brock
Town Clerk

Thomas J. Wilkes
Town Attorney

Planning and Zoning hearing held **September 22, 2022**

First Reading held _____, **2022**

Second Reading and Adoption held _____, **2022**

Advertised _____, **2022**

Record and Return to:

Thomas J. Wilkes
Gray Robinson, P.A.
301 East Pine Street, Suite 1400
Orlando, FL 32801

As approved by Town Council
for the Town of Howey-in-the-Hills, Florida

FIRST AMENDMENT *to the* AMENDED AND RESTATED DEVELOPER'S AGREEMENT

THE RESERVE AT HOWEY-IN-THE-HILLS

This **FIRST AMENDMENT to THE AMENDED AND RESTATED DEVELOPER'S AGREEMENT for THE RESERVE AT HOWEY-IN-THE-HILLS** ("First Amendment") is made as of the ____ day of _____, 2022, among the **Town of Howey-in-the-Hills, Florida**, a Florida municipal corporation, whose address for purposes of this First Amendment is 101 North Palm Avenue, Howey-in-the-Hills, Florida 34737 (the "Town"), **Eagle's Landing at Ocoee, LLC**, a Florida limited liability company f/k/a Eagles Landing at Ocoee, Inc., a Florida corporation, whose address for purposes of this First Amendment is P.O. Box 770609, Winter Garden, Florida 34777, **Howey In the Hills, Ltd.**, a Florida limited partnership, whose address for purposes of this First Amendment is 10165 NW 19th Street, Miami, Florida 33172 and **ASF TAP FL I, LLC**, a Delaware limited liability company authorized to do business in the State of Florida, whose address for purposes of this First Amendment is 3565 Piedmont Road NE, Building 1, Suite 200, Atlanta, GA 30305 (collectively, the "Owners").

RECITALS

A. The Town and the Owners entered into that certain Amended and Restated Developer's Agreement for The Reserve at Howey-in-the-Hills dated as of November 8, 2021 ("Developer's Agreement"), under which the Town and the Owners set forth the requirements, restrictions, terms, and conditions for the development of the planned unit development known as The Reserve at Howey-in-the-Hills ("The Reserve"). The Developer's Agreement is recorded at Official Records Book 5903, page 1507, of the Public Records of Lake County, Florida.

B. The Owners are the owners of the approximately 378 acres of land that comprise The Reserve, which land is more particularly described on Exhibit A to the Developer's Agreement ("the Property").

C. The Property is within the corporate limits of the Town, has a future-land-use designation of Village Mixed Use, and is zoned for PUD-Planned Unit Development. The

Developer's Agreement allows the Owners to develop the Property as a mixed-use planned development consisting of single-family residential, multi-family residential, commercial, and institutional land uses, as more specifically set forth in the Developer's Agreement.

D. ASF TAP FL I, LLC, is the successor in interest to REO Funding Solutions IV, LLC, an original party to the Developer's Agreement, and has full right and authority to enter into and execute this First Amendment.

D. The Town and the Owners now intend to enter into this First Amendment for the sole purpose of modifying the requirements and restrictions applicable to the north-south road known on the site plan as "Road A."

NOW, THEREFORE, the Town and the Owners agree as follows:

1. Recitals. The foregoing recitals are true and correct and are hereby incorporated as terms.

2. Authority . This First Amendment is entered into by the Town under the home rule powers granted to it by the Florida Constitution (including Article VIII, Section 2(b) thereof), the home-rule powers granted municipalities by statute and otherwise (including Chapters 163 and 166, Florida Statutes), and the Town's Charter. The Agreement as amended by this First Amendment does not constitute a "development agreement" under the Florida Local Government Development Agreement Act.

3. Amendment. The Owners may construct the north-south spine road labeled "Road A" in accordance with the following contained in Attachment 1 to this First Amendment: (i) the Master Site Plan dated as of August 2022 and (ii) the two-lane and four-lane road cross sections. Road A shall be completed as part of the improvements required in Phase 1 of the development.

4. Ratification. Except as provided in paragraph 3 of this First Amendment, all provisions of the Developer's Agreement remain in full force and effect and are ratified and confirmed by the parties to the Developer's Agreement.

5. Notices. All notices or payments required to be made hereunder shall be made at the following addresses:

To Town: Hon. Martha MacFarlane, Mayor,
Town of Howey-in-the-Hills
101 North Palm Avenue
Howey-in-the-Hills, FL 34737
mmacfarlane@howey.org

With copies to: Sean O'Keefe, Town Administrator

Town of Howey-in-the-Hills
101 North Palm Avenue
Howey-in-the-Hills, FL 34737
sokeefe@howey.org

Thomas J. Wilkes
Gray Robinson, P.A.
301 East Pine Street, Suite 1400
Orlando, FL 32801
twilkes@gray-robinson.com

To Owner: Eagles Landing at Ocoee, Inc.
Attention: Randy June
June Engineering Consultants, Inc.
23 W. Joiner Street
Winter Garden, Florida 34787
randy@jec3.com

With a copy to: C. Nick Asma, *Esquire*
Asma & Asma, P.A.
884 South Dillard Street
Winter Garden, Florida 34787
Phone: 407-656-5750 | Fax: 407-656-0486
Nick.Aasma@asmapa.com

To Owner: Howey in the Hills, Ltd.
Attention: Edward J. Easton
10165 NW 19th Street
Miami, FL 33172

With copies to: Joe Hernandez
Weiss, Serota Helfman Cole and Bierman, P.L.
2525 Ponce de Leon Blvd. Suite 700
Coral Gables, Florida 33134
jhernandez@wsh-law.com

Lennar
Attn. Mark McDonald
6675 Westwood Boulevard, 5th Floor
Orlando, Florida 32821
Mark.McDonald@Lennar.com

To Owner: ASF TAP FL I, LLC
3565 Piedmont Road NE, Bldg. 1, Suite 200
Atlanta, GA 30305
Attn: Dror Bezalel, CFO
[*add email address*]

With copies to:

20. Entire Agreement. The Developer's Agreement as amended by this First Amendment constitutes the entire agreement of the parties with respect to the transactions contemplated herein and supersedes all prior understandings or agreements among the parties relating to The Reserve PUD. No amendment to the Developer's Agreement, as amended hereby, shall be effective unless it is in writing signed by all parties hereto. Amendments to the Developer's Agreement will take effect and be binding against the Town only if approved by a vote of the Town Council.

21. Recording. This First Amendment shall be recorded in the Public Records of Lake County, Florida, by the Owners, at their expense.

22. Effective Date. This First Amendment shall become effective concurrently with the effectiveness of Ordinance 2022-____ after enactment of that ordinance by the Town Council and execution of this Agreement by all parties.

[Signatures on the following pages]

IN WITNESS WHEREOF, the parties have executed this instrument as of the day and year first above written.

**TOWN OF HOWEY-IN-THE HILLS,
FLORIDA**

By: its Town Council

By: _____
Martha MacFarlane, Mayor

Attest:

By: _____
John Brock, Town Clerk

Approved as to form and legality:
(for the use and reliance of the Town only)

By: _____
Thomas J. Wilkes, Town Attorney

STATE OF FLORIDA
COUNTY OF LAKE

The foregoing instrument was executed, sworn to and acknowledged before me by means of ____ physical presence or ____ online notarization, this ____ day of _____, 2022, by MARTHA MACFARLANE, as Mayor of TOWN OF HOWEY-IN-THE-HILLS, a Florida municipal corporation, on its behalf.

(SEAL)

Signature of Notary Public

Name of Notary Public
(Typed, Printed or stamped)

Personally Known ____ **OR** Produced Identification _____
(Type of Identification Produced)

IN WITNESS WHEREOF, the parties have executed this instrument as of the day and year first above written.

Signed, sealed and delivered
in the presence of:

“WITNESSES”

“OWNER”

EAGLES LANDING AT OCOEE, LLC,
a Florida limited liability company f/k/a Eagles
Landing at Ocoee, Inc., a Florida corporation

Printed Name: _____

By: _____

Printed Name: _____

As its: _____

Printed Name: _____

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was executed, sworn to and acknowledged before me by means of ____ physical presence or ____ online notarization, this ____ day of _____, 2021, by _____, as _____ of EAGLES LANDING AT OCOEE, LLC, a Florida limited liability company f/k/a Eagles Landing at Ocoee, Inc., a Florida corporation, on its behalf.

(SEAL)

Signature of Notary Public

Name of Notary Public
(Typed, Printed or stamped)

Personally Known ____ **OR** Produced Identification _____
(Type of Identification Produced)

IN WITNESS WHEREOF, the parties have executed this instrument as of the day and year first above written.

Signed, sealed and delivered
in the presence of:

“OWNER”

HOWEY IN THE HILLS, LTD., a Florida
limited partnership

“WITNESSES”

Printed Name: _____

By: _____

Printed Name: _____

Title: _____

Printed Name: _____

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was executed, sworn to and acknowledged before me by means of _____ physical presence or _____ online notarization, this _____ day of _____, 2022, by _____, as _____ of HOWEY IN THE HILLS, LTD., a Florida limited partnership, on its behalf.

(SEAL)

Signature of Notary Public

Name of Notary Public
(Typed, Printed or stamped)

Personally Known _____ **OR** Produced Identification _____
(Type of Identification Produced)

IN WITNESS WHEREOF, the parties have executed this instrument as of the day and year first above written.

Signed, sealed and delivered
in the presence of:

“WITNESSES”

“OWNER”

Printed Name: _____

ASF TAP FL I, LLC, a Delaware limited liability company

By: _____

Printed Name: _____

As its: _____

Printed Name: _____

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was executed, sworn to and acknowledged before me by means of ____ physical presence or ____ online notarization, this ____ day of _____, 2022, by _____, as _____ of **ASF TAP FL I, LLC**, a Delaware limited liability company, on its behalf.

(SEAL)

Signature of Notary Public

Name of Notary Public
(Typed, Printed or stamped)

Personally Known ____ **OR** Produced Identification _____
(Type of Identification Produced)

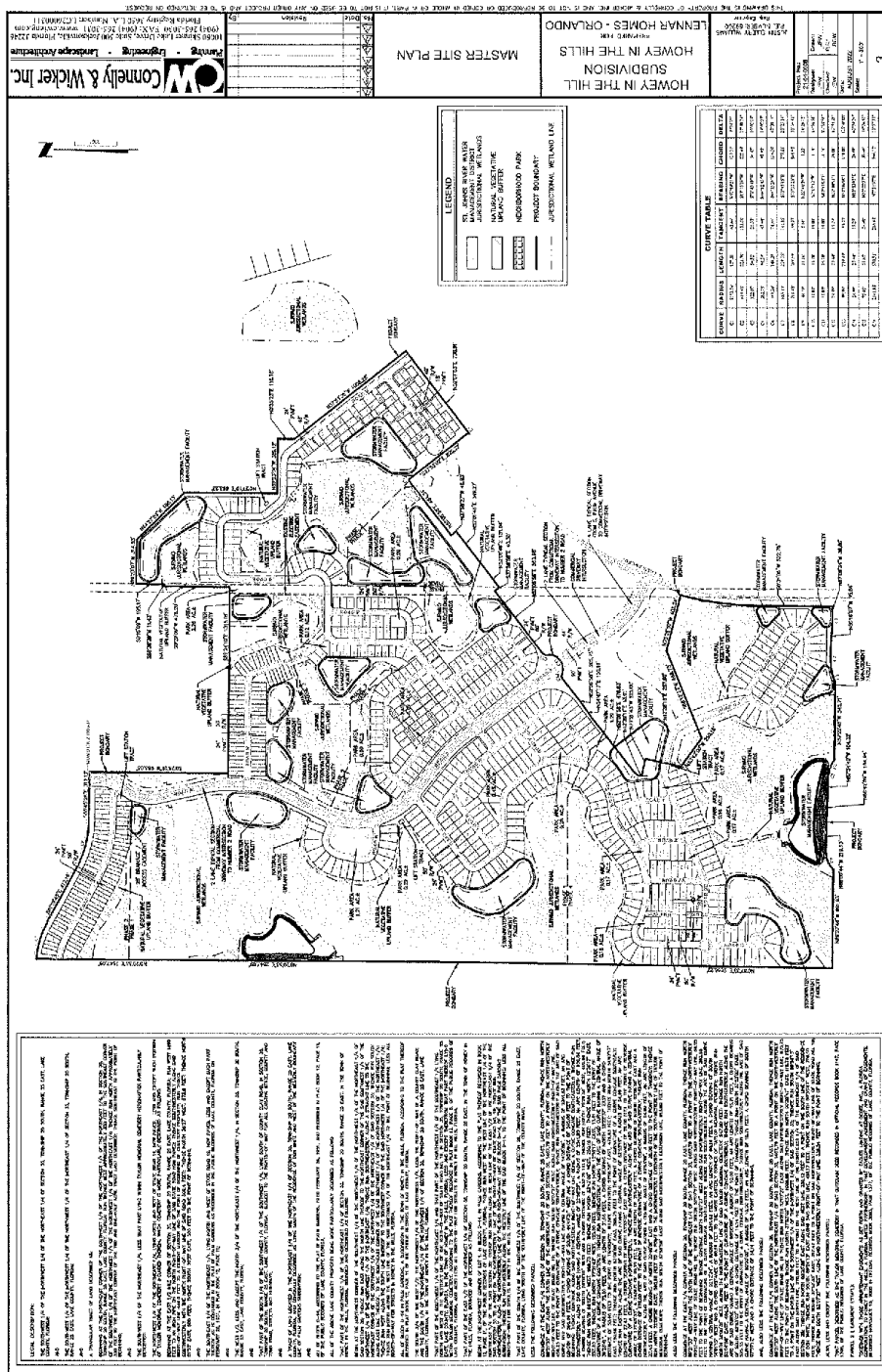
ATTACHMENT 1
to the
FIRST AMENDMENT
to
AMENDED AND RESTATED DEVELOPER'S AGREEMENT
for
THE RESERVE AT HOWEY-IN-THE-HILLS

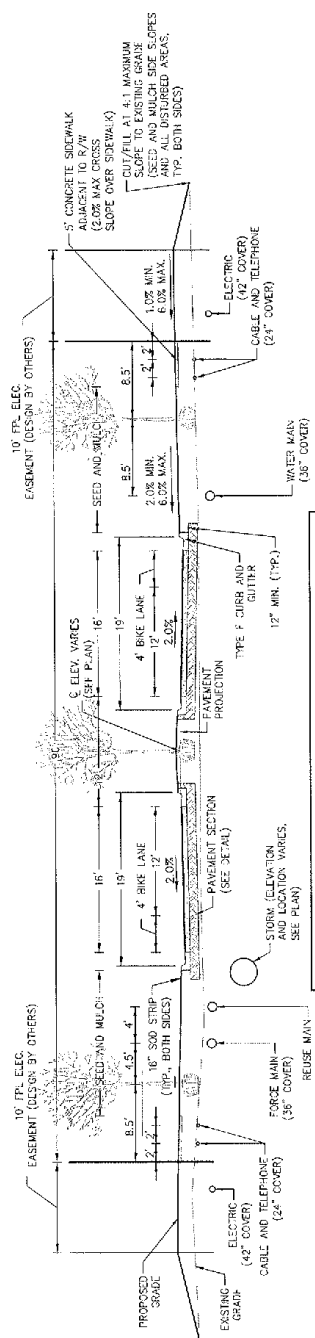
Master Site Plan dated August 2022

Typical Roadway Cross Section for 90' Right of Way

And

Typical Roadway Cross Section for 90' Right of Way
(4 lane section)



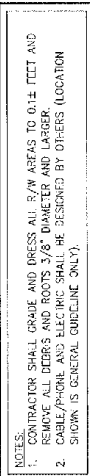


NOTES:

1. CONTRACTOR SHALL GRADE AND DRESS ALL R/W AREAS TO 0.1± FEET AND REMOVE ALL DEBRIS AND ROOTS 3/8" DIAMETER AND LARGER.
2. CABLE/PHONE AND ELECTRIC SHALL BE DESIGNED BY OTHERS (LOCATION SHOWN IS GENERAL GUIDELINE ONLY)

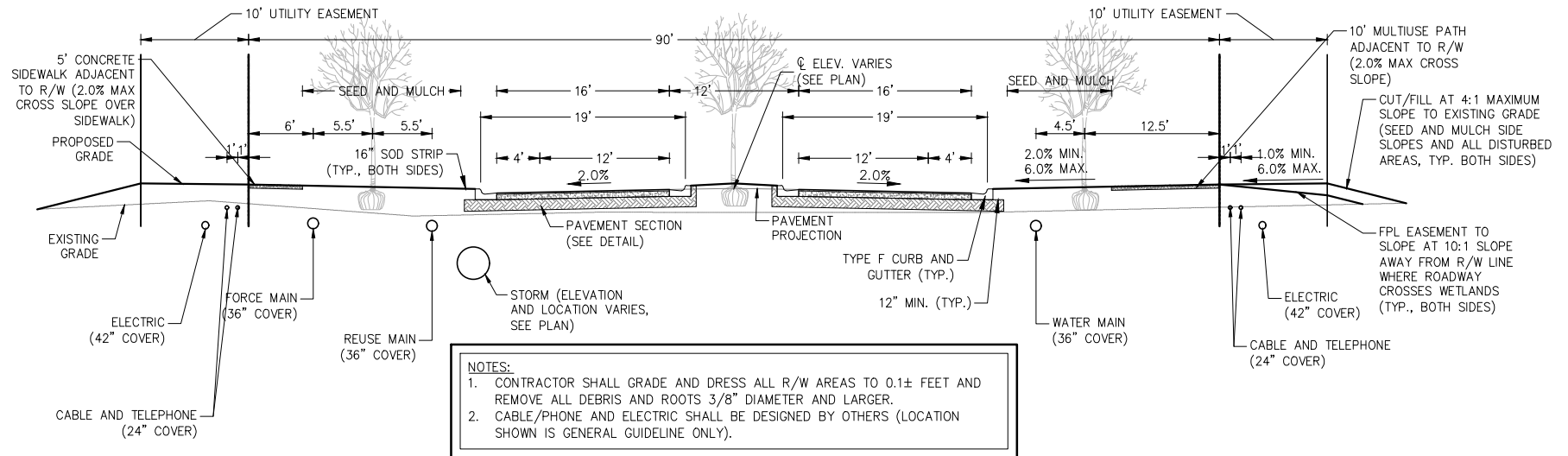
TYPICAL ROADWAY CROSS SECTION FOR 90' RIGHT OF WAY

U.S.



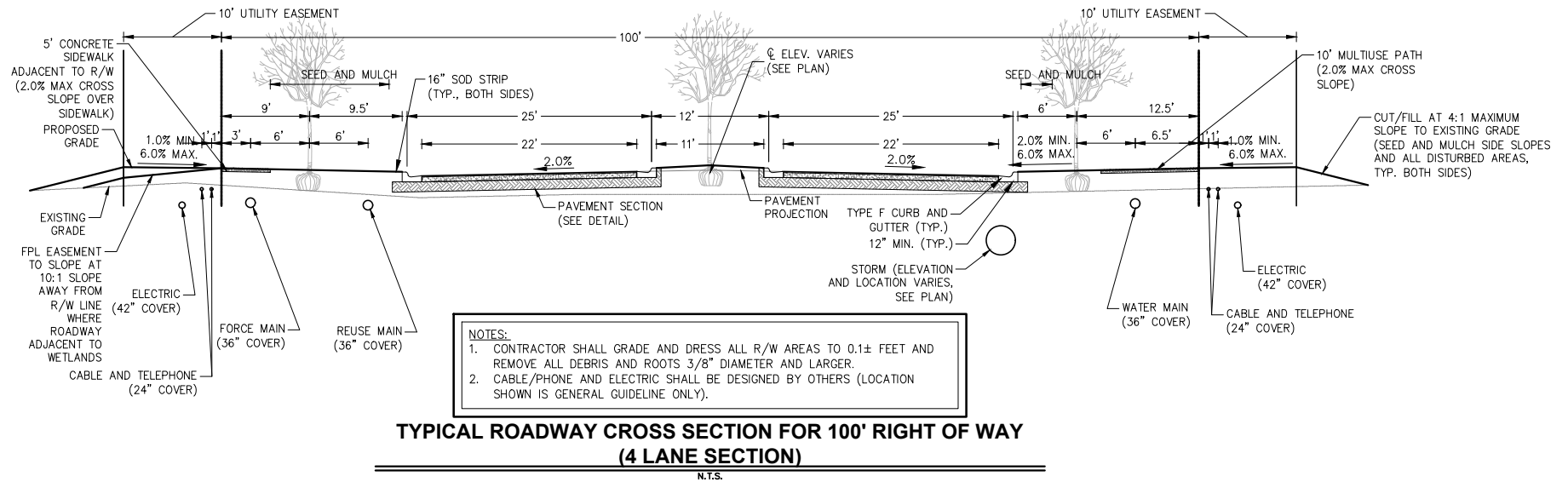
**TYPICAL ROADWAY CROSS SECTION FOR 90' RIGHT OF WAY
(4 LANE SECTION)**

25



TYPICAL ROADWAY CROSS SECTION FOR 90' RIGHT OF WAY

N.T.S.



MEMORANDUM

September 12, 2022

Re: The Reserve at Howey in the Hills
Internal Spine Road Capacity Analysis
Town of Howey in the Hills, Florida
Project № 21082, v1.1

Traffic & Mobility Consultants (TMC) prepared a Traffic Impact Analysis (TIA) for The Reserve at Howey in the Hills project in November 2021. The TIA was reviewed and approved by the Town of Howey in the Hills early 2022. The approved TIA was based on a Site Plan that included a 4-lane divided boulevard, which serves as the main internal roadway (Road A in the PUD Plan) to the development. The spine road connects the main project entrance on SR 19 to the south and the secondary project entrance on Number 2 Road to the north.

The Developer of this project is proposing to modify the configuration of the internal spine road to have the 4-lane divided section that extends from SR 19 to the commercial driveway intersection, then dropping the road section to a 2-lane divided roadway from the commercial driveway intersection to Number 2 Road.

The purpose of this Technical Memorandum is to examine the capacity of the internal spine road (Road A) to ensure that the road can accommodate the projected traffic generated by the proposed development with the proposed change in the cross-section.

The peak hour directional capacity used in the traffic study for the internal spine road is 612 vehicles/hour for the 2-lane roadway section. The capacity of the 4-lane divided roadway section for the same roadway would be 1,314 vehicles/hour for a 4-lane divided roadway section. The traffic study prepared for this development shows a peak hour directional volume of 201 vehicles/hour in the westbound direction (traffic entering the site during the PM peak hour period) of the 2-lane internal divided roadway section of the spine road (Road A). Excerpts of the TIA report showing the projected AM and PM peak hour volumes are provided in the **Attachments**. Since the capacity of the 2-lane section is 612 vehicles/hour, it is evident that the roadway will have sufficient capacity to accommodate the projected traffic generated by the residential portion of the project.

As for the 4-lane divided section of the internal spine road (Road A) from SR 19 to the commercial driveway intersection, the projected traffic volume generated by the commercial outparcels had to be calculated, since it was not included in the TIA report.

Trip Generation Analysis

A trip generation analysis was conducted for the northern and southern commercial outparcels. Based on the developable land area for the commercial outparcels, it was assumed that the total buildings will be 230,000 square feet. The trip generation analysis was conducted using the Institute of Transportation Engineers (ITE) *Trip Generation Manual, 11th Edition*, and the resulting trip generation of the two (2) commercial outparcels are presented in **Table 1**.

Table 1
Trip Generation Summary (Commercial Outparcels)

ITE Code	Land Use	Size	Daily		AM Peak Hour				PM Peak Hour			
			Rate	Trips	Rate	Total	Enter	Exit	Rate	Total	Enter	Exit
820	Shopping Center (>150k)	230 KSF	37.01	8,512	0.84	193	120	73	3.40	782	375	407

Source: Trip generation analysis based on ITE *Trip Generation Manual, 11th Edition*
* ITE regression equations are used when R-squared is greater than 0.75

As shown above, the proposed commercial outparcels are projected to generate 8,512 daily trips, of which 193 trips occur during AM peak hour, and 782 trips occur during the PM peak hour.

Assuming all the commercial trips entering the site during the PM peak hour period will use the main spine road (Road A), which would be 375 vehicles/hour. Accordingly, the total peak hour directional traffic entering the site during the PM peak hour period would be 576 vehicles/hour (201 trips from the residential land uses + 375 trips from the commercial land uses). Since the capacity of the 4-lane divided roadway section is 1,314 vehicles/hour; therefore, the 4-lane section of the internal spine road (Road A) will have sufficient capacity to accommodate the projected traffic for The Reserve at Howey in the Hills development.

Queueing & Turn Lane Analysis

The maximum queue length was calculated at the left turn lane into the southern commercial tract was calculated to determine if there would be sufficient distance between SR 19 and the commercial entrance along Road A (Internal Spine Road). Based on the size of the southern commercial parcel proportionate to the total commercial parcels (northern & southern parcels), it was assumed that 40% of the entering commercial traffic during the PM peak hour period would turn left at the commercial entrance on Road A, which is calculated to be 150 vehicles/hour (375 vehicles/hour x 0.40). Based on roadway design speed of 35 mph, the required length of the westbound left turn lane at the intersection of Road A and Commercial Entrance was calculated as the total of the Deceleration Length plus the Queue Length as shown below:

Left Turn Lane = Deceleration Length + Queue Length

Deceleration Length @ 35 mph design speed = 145 feet (using FDM Exhibit 212-1)

Queue length = $2 \times 25 \times \text{Left Turn Volume (150 vehicles)}/60 = 125 \text{ feet}$

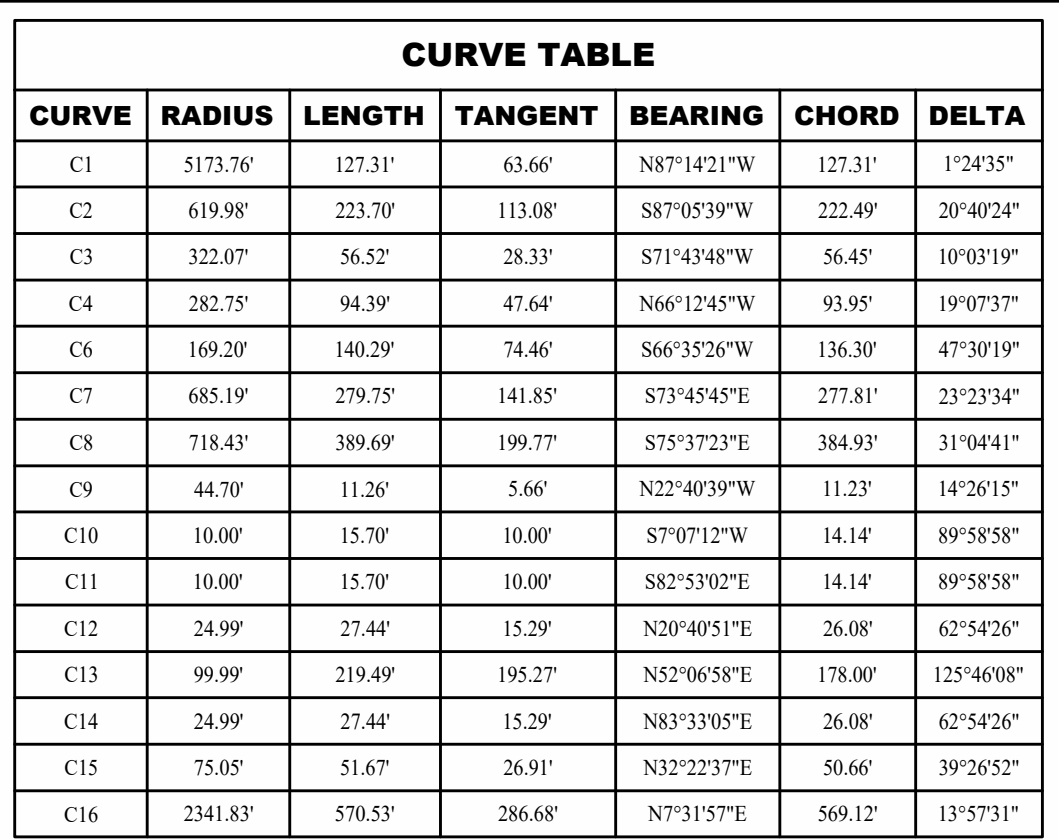
Left Turn Lane = 145+ 125 = 270 feet (including a 50-foot taper)

Summary & Recommendations

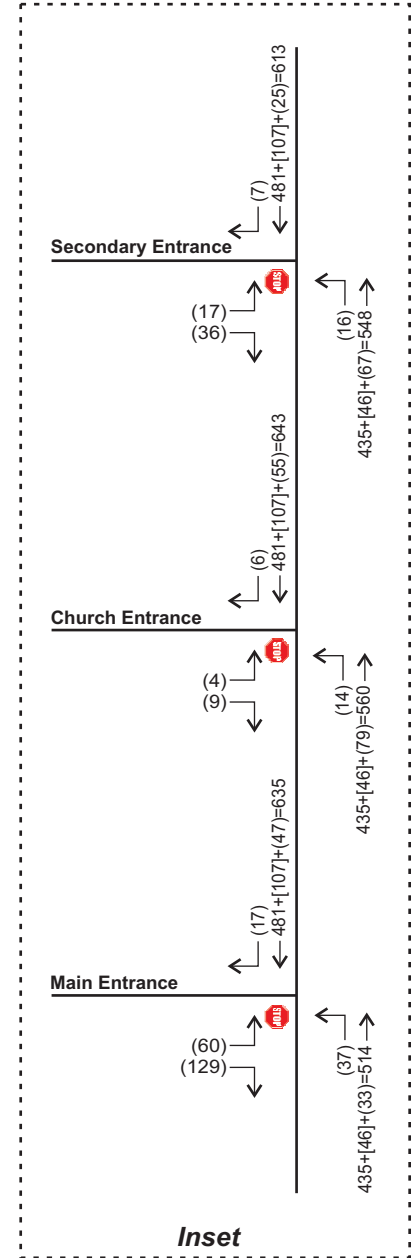
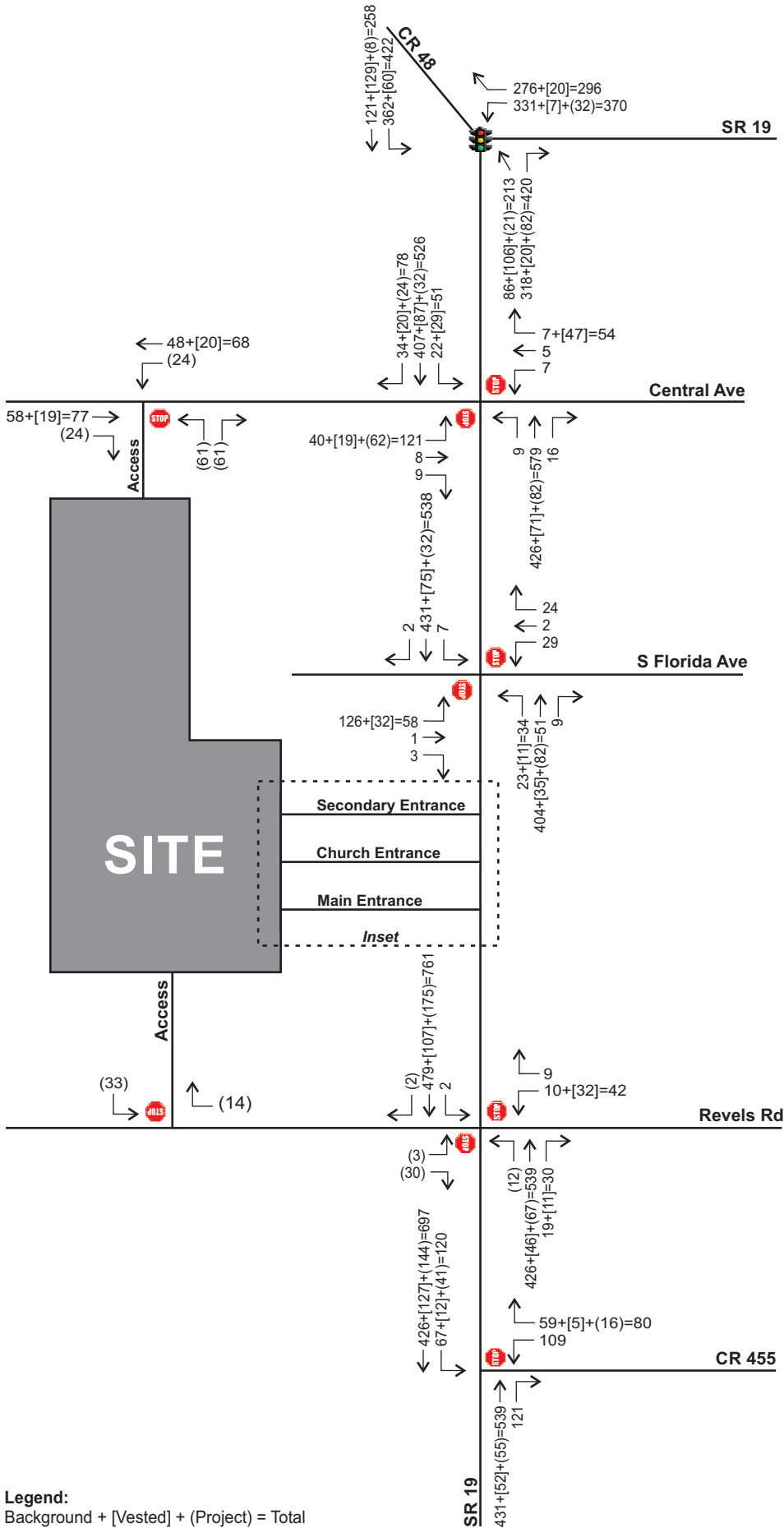
This technical memorandum supports the proposed modification of the Boulevard section through the residential area of the PUD to be a 2-lane divided roadway. Furthermore, with a maximum queue length for the westbound left turn calculated at 125 feet, a 270-foot left turn lane would be sufficient to accommodate the commercial traffic turning left into the southern outparcel. Since the distance between the main entrance on SR 19 and the commercial entrance on Road A (internal Spine Road) is approximately 500 feet, it is recommended to accept the proposed internal roadway design as shown on the latest site plan attached.

Attachments

TOGETHER WITH THOSE APPURTENANT EASEMENTS AS SET FORTH AND GRANTED BY EAGLES LANDING AT OCOEE, INC., A FLORIDA CORPORATION, TO HOWEY IN THE HILLS, A FLORIDA LIMITED PARTNERSHIP, IN THAT DEVELOPMENT AGREEMENT AND GRANT OF EASEMENTS, RECORDED NOVEMBER 10, 2005 IN OFFICIAL RECORDS BOOK 3003, PAGE 1377, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.



Sheet 3

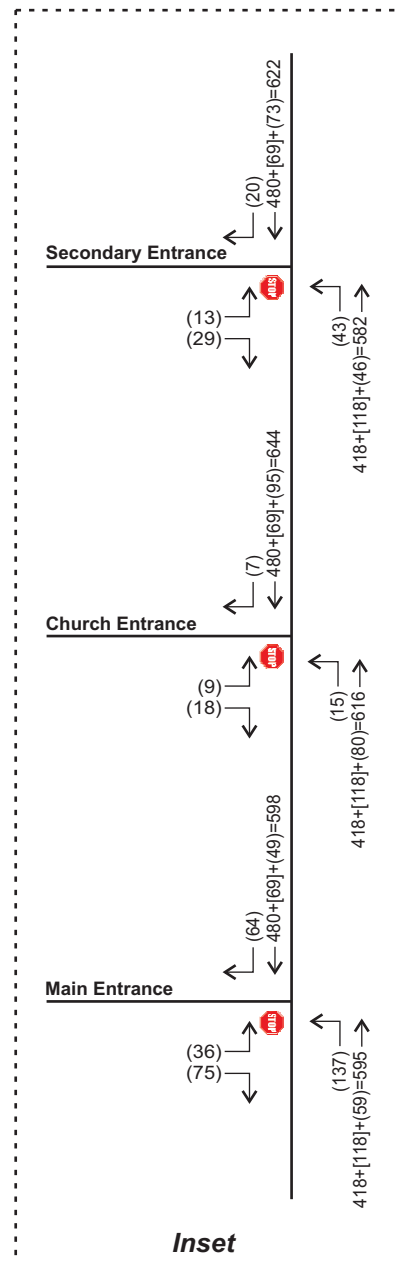
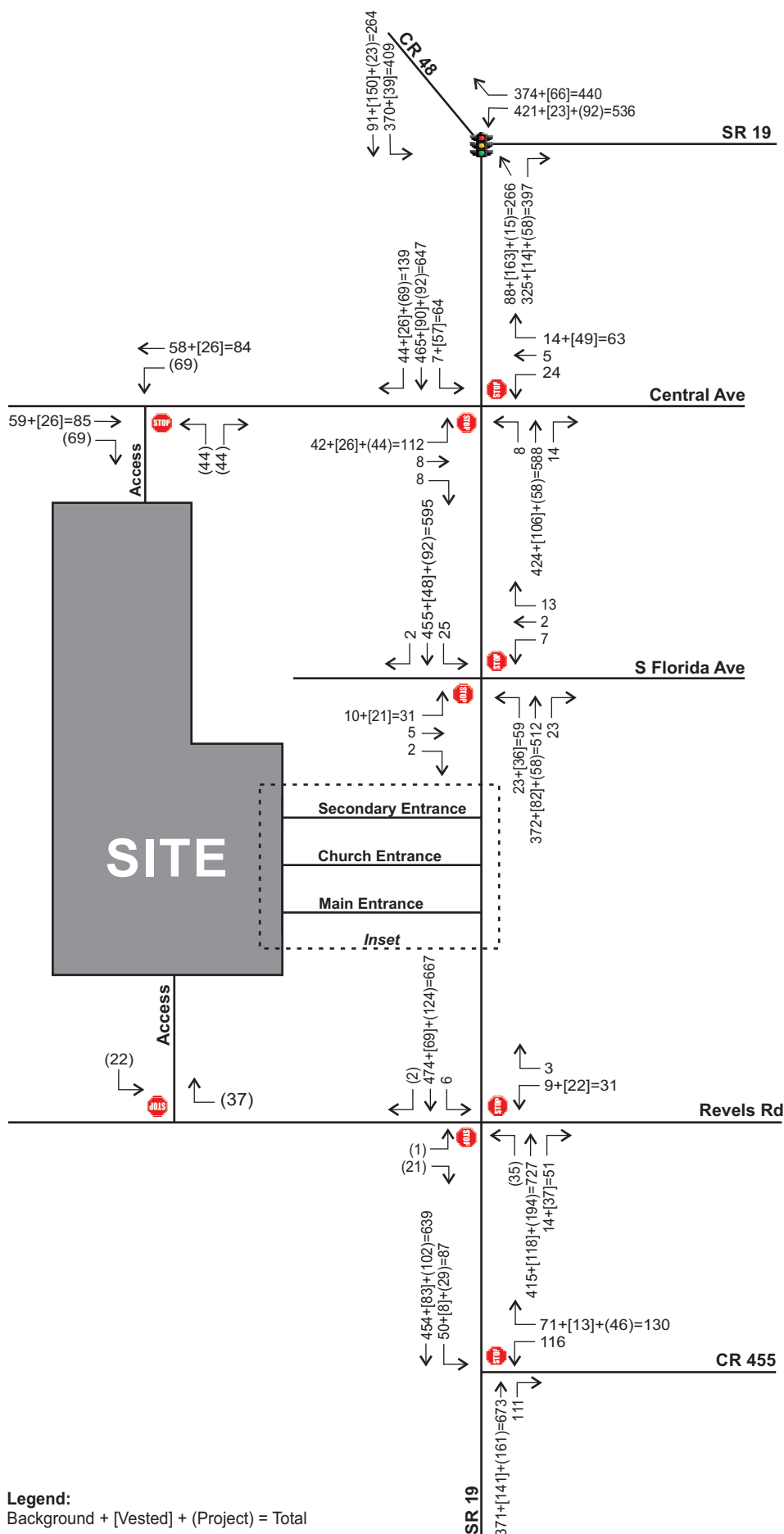


Projected AM Peak Intersection Volumes

The Reserve at Howey in the Hills
21082

Figure

5 62



Projected PM Peak Intersection Volumes

The Reserve at Howey in the Hills
21082

Figure

6

63



TOWN OF HOWEY-IN-THE-HILLS, FLORIDA
GENERAL LAND DEVELOPMENT APPLICATION

101 N. Palm Avenue, Howey-in-the-Hills, Florida 34737

Phone: (352) 324-2290 • Fax: (352) 324-2126

Date Received:

Application ID:

Received By:

REQUESTED ACTION

- | | | |
|---|--|--|
| <input type="checkbox"/> Comp Plan Amendment | <input type="checkbox"/> Variance | <input type="checkbox"/> Site Plan (check one below) |
| <input checked="" type="checkbox"/> PUD | <input type="checkbox"/> Rezoning | <input type="checkbox"/> Preliminary |
| <input type="checkbox"/> Conditional Use | <input type="checkbox"/> Subdivision Minor | <input type="checkbox"/> Final |
| <input type="checkbox"/> Land Development Code Text | <input type="checkbox"/> Other | <input type="checkbox"/> Subdivision (check one below) |
| | | <input type="checkbox"/> Preliminary Subdivision |
| | | <input type="checkbox"/> Final Subdivision |
| | | <input type="checkbox"/> Final Plat |

Describe Request: PUD Major Amendment to Modify Boulevard Typical Section

APPLICANT INFORMATION:

Name: _____

E-Mail: _____

Address: _____

Phone: _____ Fax: _____

☐ Owner

☐ Agent for Owner

☐ Attorney for Owner

OWNER INFORMATION:

Name: HOWEY IN THE HILLS LTD

E-Mail: _____

Address: _____ C/O EASTON & ASSOC

Phone: 786-437-5806

_____ 10165 NW 19TH ST

Fax: _____

MIAMI FL 33172

PROPERTY INFORMATION:

Address: _____

General Location: SOUTH OF #2 ROAD, NORTH OF SR19Current Zoning: PUDCurrent Land Use: VMUParcel Size: 375.2 AC +/-Tax Parcel #: ATTACHEDLegal Description Attached ☒ Yes ☐ NoSurvey Attached ☒ Yes ☐ NoPre-Application Meeting Date: ATTACHED*(Attach Pre-Application Form)*Application Fee: \$ 3,000

Applicant's Signature: _____

*(Signature)**(Date)*Rob Bonin
(Print)

Owner's Signature: _____

*(Provide letter of
Authorization)**(Signature)**(Date)**(Print)***Applications must be complete to initiate the review process.**



HOWEY IN THE HILLS, LTD.
10165 NW 19th Street
Miami, Florida 33172
(786)437-5806
EWEaston@TheEastonGroup.com

April 14, 2021

TOWN OF HOWEY-IN-THE-HILLS
101 N. Palm Avenue
Howey-in-the-Hills, FL 34737

Re: Letter of Authorization

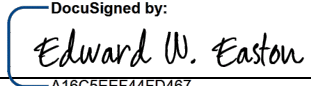
To Whom it may Concern:

The purpose of this letter is to provide notice that Howey in the Hills LTD as owner of The Reserve at Howey in the Hills, hereby authorizes Lennar Homes, LLC. as the applicant for the attached Modification to PUD Ordinance 2004-322 and to act on our behalf in regard to amending the PUD and any related approvals.

If you have any question or concerns, please do not hesitate to contact me.

Respectfully,

HOWEY IN THE HILLS, LTD.,
a Florida limited liability company

DocuSigned by:

By: _____
Print Name: Edward W. Easton



August 26, 2022

Town of Howey-In-The-Hills
Planning & Zoning Dept.
101 N. Palm Avenue
Howey-In-The-Hills, FL 34737

RE: Reserve at Howey-in-the-Hills
PUD Major Amendment PUD Ordinance 2004-322
CWI Job # 21-04-0008

Dear Town of Howey in the Hills,

Please find the following items attached for the Major Amendment to the PUD to modify the Boulevard Section through the residential area of the PUD:

- Completed Application
- Letter of Authorization from the owner to Lennar
- 2 copies PUD Plans and supporting Roadway Section Drawings
- Flashdrive with Digital Copies
- \$3,000.00 Fee

Please let me know if you need anything else to be scheduled on the September 22, 2022 Planning and Zoning agenda and the following Town Council Meeting on October 10, 2022 and October 24, 2022.

Sincerely,
Connelly & Wicker Inc.

Richard C. Welch, P.E.
Project Manager



TMHConsulting@cfl.rr.com
97 N. Saint Andrews Dr.
Ormond Beach, FL 32174
PH: 386.316.8426

MEMORANDUM

TO: Town of Howey-in-the-Hills Planning Board
CC: J. Brock, Town Clerk
FROM: Thomas Harowski, AICP, Planning Consultant
SUBJECT: The Reserve/Hilltop Groves First Amendment to the Development Agreement
DATE: September 12, 2022

The developers of the residential portion of The Reserve development have asked for an amendment to the approved development agreement to make some revisions to the preliminary subdivision plan that qualify as major amendments under the terms of the adopted PUD agreement. The applicants have submitted a list of plan adjustments on the updated master site plan map including a number key locating each revision. Some of these adjustments could be considered minor amendments, but since the plan was undergoing a major amendment review, we elected to include all the revisions in the proposed update.

The Town's Development Review Committee reviewed the proposed amendments at their meeting on September 8, 2022 and have prepared the following recommendations for the Planning Board's consideration.

1. The applicants are requesting a revised design for the central collector road, identified as Road A on the preliminary subdivision plan, from four lanes to two lanes through the residential portion of The Reserve development. Most of the portion of Road A through the commercial portion of the project will remain as a four-lane section. In support of the requested change the applicants have submitted an analysis from their traffic engineer documenting that a two-lane road is sufficient to support the projected traffic volumes. The Town engineer has reviewed the request and supports the finding that the two-lane section is adequate for the traffic demand, and that with protected left turn lanes can result in reduced speed and increased safety within the project.

The applicants have noted that the road through the commercial area has been increased the right-of-way from 90 feet to 100 feet as shown on the roadway cross-sections. The wider right-of-way is proposed to give more room to fit all the necessary components in the four-lane road section. The intersection with SR 19 has moved south about 250 feet, and driveway connections for the commercial area are shown.

(Refer to map items 2, 3, 4 and 12.)

2. The applicants are proposing minor adjustments to Roads D and F and the adjoining lots to reduce the amount of road area and improve safety while still providing access to the adjacent lots. **(Refer to map item 1.)**
3. The applicants are requesting revisions to Roads B and N along with adjacent lots to improve the connection between Phase 2 and Phase 3. This change improves traffic flow and reduces the number of lots on closed-end streets. **(Refer to map item 6.)**
4. The applicants are revising the collector road cross-sections to include the minimum 10-foot bicycle/pedestrian pathway that extends from SR 19 to Number Two Road. This facility has been a commitment of the project, but roadway cross-section submitted prior to this plan did not fully identify the bicycle/pedestrian path. **(Refer to the revised cross-sections for the two-lane and four-lane sections.)**
5. Residential lots along Road AA and Road Z have been changed to the 50 x 115 lot type rather than the originally proposed 50 x 80 lot type. **(Refer to map item 8.)**
6. The staff has asked for the addition of a street crossing detail where the bicycle/pedestrian path crosses a roadway. This detail is intended to limit the opportunity for cars to inadvertently drive on the path. They have agreed to provide a detail.
7. The applicants have been requested to update the totals of residential units by type and phase. **(The revised totals for units by phase are shown on the table on the left side of the master site plan.)**
8. The applicants have been requested to provide a maximum impervious area for each type of residential unit. The lack of a maximum impervious area has been creating some review issues with our other PUD-based neighborhoods. **(The maximum impervious areas by unit type are shown on the table on the left side of the master site plan.)**

The Development Review Committee supports these eight revisions to the approved development agreement.

The revised plan includes several other small adjustments that are noted here as part of the overall amendment. Please note the following revisions:

- The emergency access via Mare Avenue has been removed. The revised street pattern between Phase 2 and Phase 3 will serve this purpose. **(Refer to map item 5.)**

- The driveway connection to Talichet Phase 2 has been removed as the connection is no longer possible. **(Refer to map item 7.)**
- A revised roadway connection in Phase 4 has been added. **(Refer to map item 9.)**
- Stormwater pond locations have been added to Phase 4. **(Refer to map item 10.)**
- The phase line for Phase 1 has been adjusted. **(Refer to map item 11)**

During the review, the DRC also agreed that the intersection designs of the primary collector road at SR 19 and Number Two Road will be considered minor amendment to the development agreement as the permitting agencies (FDOT and Lake County) will ultimately be directing the intersection designs. The preliminary subdivision plan will also provide for a driveway connection from the collector road to the Town's public safety parcel at the intersection with the primary collector road. It is expected that this connection will provide an opportunity to reduce fire and police response times to properties within the project.



TMHConsulting@cfl.rr.com
97 N. Saint Andrews Dr.
Ormond Beach, FL 32174
PH: 386.316.8426

MEMORANDUM

TO: Howey-in-the-Hills Development Review Committee
CC: J. Brock, Town Clerk
FROM: Thomas Harowski, AICP, Planning Consultant
SUBJECT: The Reserve/Hilltop Groves First Major Amendment
DATE: August 30, 2022

The development team has submitted an application to amend the approved development agreement. This is the first major amendment to the adopted development agreement. The amendment has been triggered by the proposal to reduce the central collector road from four lanes to two lanes for most of the project length, but there are other revisions to the approved development plan that will need to be addressed and included as part of the amendment.

The Town will be adopting a revised preliminary subdivision plan as part of the amendment, but the adopting ordinance should include a list of all amendment items, so it is clear to all parties what is being approved. Once final action is taken by the Town Council, the adopting ordinance needs to be recorded in the public records to provide a document trail of the fully approved project. The planning comments are as follows:

1. The applicant should present a list of all revisions from the original approved preliminary subdivision plan so that the Town can be sure all items have been reviewed and included in the amending ordinance.
2. The applicant should review the text portions of the adopting ordinance to determine if there are other revisions that are needed or desired.
3. As one example, the plan set needs to include a maximum impervious area for each lot type. The lack of an impervious area number has been an issue with other new developments and needs to be added. The maximum impervious area then needs to be used as an input into the stormwater system design or an explanation needs to be provided as to why a different number is used. This number can be added to the plan set if desired rather than included in the text of the agreement. The maximum impervious area might be different for each of the housing types.

4. The revised roads D and F and the revised lot adjustments are recognized and acceptable. These changes could be considered a minor amendment, but we will include them in the overall amendment since other items are needed.
5. The reduction in the width of the central collector road from 4-lanes to 2-lanes with left turn lanes is acceptable from a speed control and safety perspective, but the applicant's traffic engineer needs to submit an analysis demonstrating that the reduced facility will still accommodate the projected traffic.
6. The transition from the 4-lane segment in the commercial area to the 2-lane segment in the residential area should be moved further north to allow more flexibility in locating access points to the commercial parcel.
7. The intersection designs at SR 19 and Number 2 Road are not fully detailed in the approved plan set. These intersection designs will be directed by FDOT and Lake County through their respective permit processes. When permitting is completed, these will be considered minor amendments to the development agreement.
8. The proposed amendment includes a revised road connection between Phase 2 and Phase 3 with the new alignment following Road B and Road N. The revised road alignment and associated adjustment to the residential lots is recommended for approval.
9. The new plan proposes a revision to the road network within the townhouse area adjacent to Number 2 Road. The approved plan shows a connection Number 2 Road at the west end of this road and not a terminal point. This area has 78 units and therefore requires a second access point. The applicant needs to provide for a second access point or reduce the number of units in the area below 50 units.
10. The revised plan proposes to eliminate the connection to the Town parcel at the intersection of the collector road and Number 2 Road. The Town still needs to retain the option to include a driveway connection. An access at this point could reduce emergency services response times to the project. To facilitate future driveway options, the collector road right-of-way needs to abut the Town parcel for the full length of the parcel if possible.
11. The revised plan proposes to eliminate the connection from Road EE/FF to Revels Road. This deletion is not acceptable. The approved design needs to be retained.
12. The applicant needs to revise the unit totals by type of unit and phase to reflect the current plan.
13. The proposed lot pattern along Road AA and Road Z appears to be different than the currently approved plan. The Town needs to verify that the unit totals by type remain unchanged or approve any revision to the product mix.

14. The revised cross-section for the collector road (Road A) shows 4-foot bicycle lanes on the 2-lane segment and no bicycle lane on the 4-lane segment. The agreement and the cross-section in the approved plan set shows a separate bicycle path. Both cross-sections need to be revised to reflect the bicycle path. Adding the two bicycle lane areas to one of the sidewalks will allow for a 12-foot-wide bicycle/pedestrian facility on one side of the road and save one foot of paved area. A decision should be made as to which side of Road A the bicycle path is to be located.
15. An intersection detail needs to be added where the bicycle path crosses intersection. The bicycle path should have some type of divider to make it clear automotive traffic is not permitted. Some type of pavement markings are appropriate as well.
16. With the 2-lane design, the central median has been reduced from 14-feet for the approved design to about 9 feet with the proposed design. This dimension seems a little skimpy for a quality landscape program and might be less than the minimum width needed for a protected left turn bay. The median in the 2-lane and 4-lane segments should be retained at 14 feet.

September 5, 2022
Hillside Groves – PUD Amendment
Engineering Review Comments
Page 1

1. Provide a volume and capacity evaluation to show that the 2-lane boulevard will be able to handle the projected future traffic.
2. The master site plan shows the multiuse trail on the east side of the spine road, but the cross-sections don't. Add the trail to the cross-sections, and label the trail on the site plan. Both cross-sections should call out a 5' sidewalk on the west side and a 10' trail on the east side.
3. The cross-section for the 4-lane boulevard needs to show 24' pavement width, not 21'.
4. Move the commercial driveway intersection further north to provide additional left turn lane decal & storage length for northbound vehicles.
5. All legs of all intersections need to provide full pedestrian accommodation including ADA curb ramps & crosswalks. Crosswalks are to be per FDOT Design Standards 2017-18 Index 17346 Sheet 12 of 17. The crosswalks at stop conditions should be standard crosswalks. The crosswalks not at a stop condition should be special emphasis.

HILLSIDE GROVE

LIFT STATION #1

DESIGN REPORT

FOR

Lennar Homes - Orlando
6750 Forum Drive, Suite 310
Orlando, FL 32821
(904) 431-6499

PREPARED BY:



Connelly & Wicker, Inc.

10060 Skinner Lake Drive, Suite 500
Jacksonville, Florida 32246

Florida Registry: 3650 L.A. Number: LC26000311

Phone: (904) 265-3030 Fax: (904) 265-3031

www.cwieng.com

DATE: 10/7/2022

CWI Project No.: 21-04-0008

HILLSIDE GROVE Index Sheet

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Prepared under the direction of

Justin E. Williams, P.E.
PE # 69260

GENERAL SITE DESCRIPTION

THE PROJECT

The proposed development is located within Lake County, Florida (Town of Howey in the Hills) within the Town of Howey in the Hills service area. The project is located west of State Road 19 (South Palm Avenue) and Taylor Memorial Cemetery, north of Revels Road, and south of Number 2 Road. The proposed development will be constructed in 4 phases and include up to 728 single family units. Lift Station #1 will serve up to 640 of the proposed residential units.

PUMP STATION

The pump station is located on the western side of the property and more specifically is located south of Road "K", North of Road "C" and west of Road "A". The effluent will pump through a 6" force main to Road A where the forcemain will increase to 10" and extend to Number 2 Road right of way where it will connect to an existing 10" force main, and will ultimately connect to an existing wastewater treatment facility. (Refer CWI 21-04-0008 Water and Sewer Plans for connection details).

EXISTING CONDITIONS MODELING DATA

The connection head condition was determined by modeling the existing wastewater system based on data provided by Griffey Engineering, Inc. to Connelly and Wicker on September 23rd, 2022, Construction Plans obtained from the SJRWMD and Lidar data for existing grades. Information obtained from those documents are the basis for the existing conditions modeling.

A summary of the peak flow requirements from each of the existing system pump stations and the anticipated flows modeled as part of these calculations is included.

DESIGN ANALYSIS

The modeling for this system was accomplished using Bentley OpenFlows WaterCad CONNECT Edition Update 3.

DESIGN OF SANITARY LIFT STATION

Connelly & Wicker, Inc.

Project Name: HILLSIDE GROVE
 Project No: 21-04-0008
 Date: October 7, 2022

COMPUTATION OF AVERAGE DAILY FLOW

Type of Development	Units	Average Flow (GPD)	/ Unit	G.P.D.	G.P.M.
Phase 1			/ Unit	0	0.00
Single Family Residential	245	300	/ Unit	73500	51.04
			/ Unit	0	0.00
Phase 2			/ Unit	0	0.00
Single Family Townhomes	146	300	/ Unit	43800	30.42
Phase 3 (Portion)			/ Unit	0	0.00
Single Family Residential	47	300	/ Unit	14100	9.79
Phase 4			/ Unit	0	0.00
Single Family Residential	202	300	/ Unit	60600	42.08
			/ Unit	0	0.00

Average Daily Flow = 192000 G.P.D. = 133.33 G.P.M.

Runout Peaking Factor = (Per CSM Section 17 Part 1.03.C) 3.00

Total Peak Flow = (A.D.F.)*(P.F.) = 400 G.P.M.

Use Total Peak Flow = Q = 400 G.P.M.

FORCE MAIN SIZE

Maximum Flow in Pipe = $Q(\text{G.P.M.}) * \left(\frac{1 \text{ Cu.Ft.}}{7.48 \text{ Gal.}} \right) * \left(\frac{1 \text{ Min.}}{60 \text{ Sec.}} \right) = \underline{0.891} \text{ Cfs.}$

Pipe Diameter	Cross-Sectional Area	Flow (Cfs.)	Flow Velocity
1. Use 4.27 Inch Pipe	0.099 Sq. Ft.	0.891	8.96 Ft/Sec.
2. Use 6.13 Inch Pipe	0.205 Sq. Ft.	0.891	4.35 Ft/Sec.
3. Use 8.04 Inch Pipe	0.353 Sq. Ft.	0.891	2.53 Ft/Sec.
4. Use 9.87 Inch Pipe	0.531 Sq. Ft.	0.891	1.68 Ft/Sec.
5. Use 11.73 Inch Pipe	0.750 Sq. Ft.	0.891	1.19 Ft/Sec.

Use Force Main of Diameter = 6.13 Inches

LIFT STATION FOR: HILLSIDE GROVE

PROJECT NO.: 21-04-0008

Connelly & Wicker, Inc.

DESIGN OF WET WELL

Use a cycle time (T) = 10 Minutes

$$\text{Storage Required (Vr)} = (T \cdot Q) / 4 = 10 \text{ Min.} \cdot \left(\frac{400 \text{ G.P.M.}}{4} \right) \cdot \left(\frac{1 \text{ Cu.Ft.}}{7.48 \text{ Gal.}} \right) = 133.69 \text{ Cu.Ft.}$$

Storage Height Required for Each Size Wet Well

Diameter of Wet Well (Ft.)	4.00	5.00	6.00	8.00	10.00	12.00
Storage Height (Ft.)	10.64	6.81	4.73	2.66	1.70	1.18

Provide Wet Well Diameter = 8.00 Ft. Storage Height Required (Vr) = 2.66 Ft.

Provide Storage Height = 2.70 Ft. Actual Cycle Time = 10 Min.

Volume Provide (Vp) = 135.72 Cu.Ft.

Since $V_r < V_p$, Then, Adequate Storage is Provided**WET WELL INFORMATION**

Wet Well Diameter = 8.00 Ft.
 Wall Thickness (t) = 0.75 Ft.
 Over Hang (L) = 1.00 Ft.

Refer To Construction Plans For Actual
Pump Station Configuration

Top El. 88.40
 Grade El. 87.90

Effluent El. 85.40
 (Force Main)

Control El. 69.60

Alarm El. 69.10

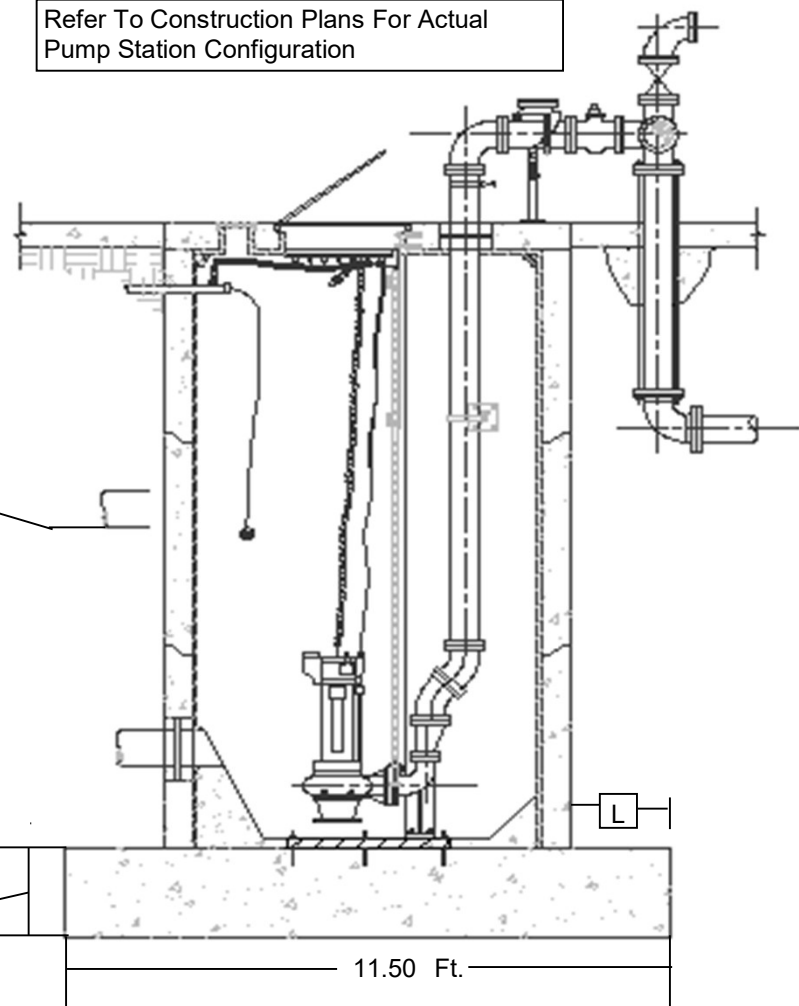
Lag Pump On El. 68.60

Lead Pump On El. 68.10

All Pumps Off El. 65.40

Bottom El. 63.40

Bottom Pad Thickness 1.00



LIFT STATION FOR: HILLSIDE GROVE

PROJECT NO.: 21-04-0008

Connelly & Wicker, Inc.**VERIFY THE STABILITY OF THE WET WELL****Assume:**

Submerged Unit Weight of Soil	=	60	Lbs. Per Cu.Ft.
Unit Weight of Fiberglass	=	110	Lbs. Per Cu.Ft.
Unit Weight of Concrete	=	150	Lbs. Per Cu.Ft.
Angle of Repose ϕ	=	5	Degrees

Wet Well:

Outer Diameter of Wet Well (D_{WW})	=	9.50	Ft.
Diameter of Base	=	11.50	Ft.
Thickness of Top Cover	=	0.83	Ft.
Thickness of Walls (t)	=	0.75	Ft.
Thickness of Bottom Pad	=	1.00	Ft.
Depth of Wetwell below Grade (H)	=	24.50	Ft.
Width of Collar	=	1.00	Ft.
Depth of Collar (if any)	=	0.00	Ft.
Hatch Size	=	36" X 60"	

Assume Saturated Conditions

Ground Water Elevation	=	87.90	
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SELF WEIGHT OF WET WELL

Self Weight of Slabs (Lbs.) = (Volume) * (Unit Weight)

Weight of Soil Acting on Wet Well* (Lbs.) = (V_s)*(Unit Weight) Based on Angle of Repose (ϕ)

$$V_s = \left[\pi * (H) * \left((L)^2 + 2 \left(\frac{D_{WW}}{2} \right) (L) + \left(\frac{D_{WW}}{2} \right) (H) (\tan(\phi)) + (L)(H)(\tan(\phi)) + \left(\frac{((H)(\tan(\phi)))^2}{3} \right) \right] \right]$$

	<u>Volume (CF)</u>	*	<u>Unit Weight (lb/CF)</u>	=	<u>Force</u>	<u>Lbs.</u>
Top Cover :	46.38	*	150	=	6957.33	Lbs.
Bottom Pad :	103.87	*	150	=	15580.34	Lbs.
Collar	0.00	*	150	=	0.00	Lbs.
Walls :	498.31	*	150	=	74745.85	Lbs.
Soil :	1874.69	*	60	=	<u>112481.56</u>	Lbs.

Total Downward Force: 209765.08 Lbs.

UPLIFT FORCE

Uplift Force = (Volume Displaced) * (Unit Weight of Water)

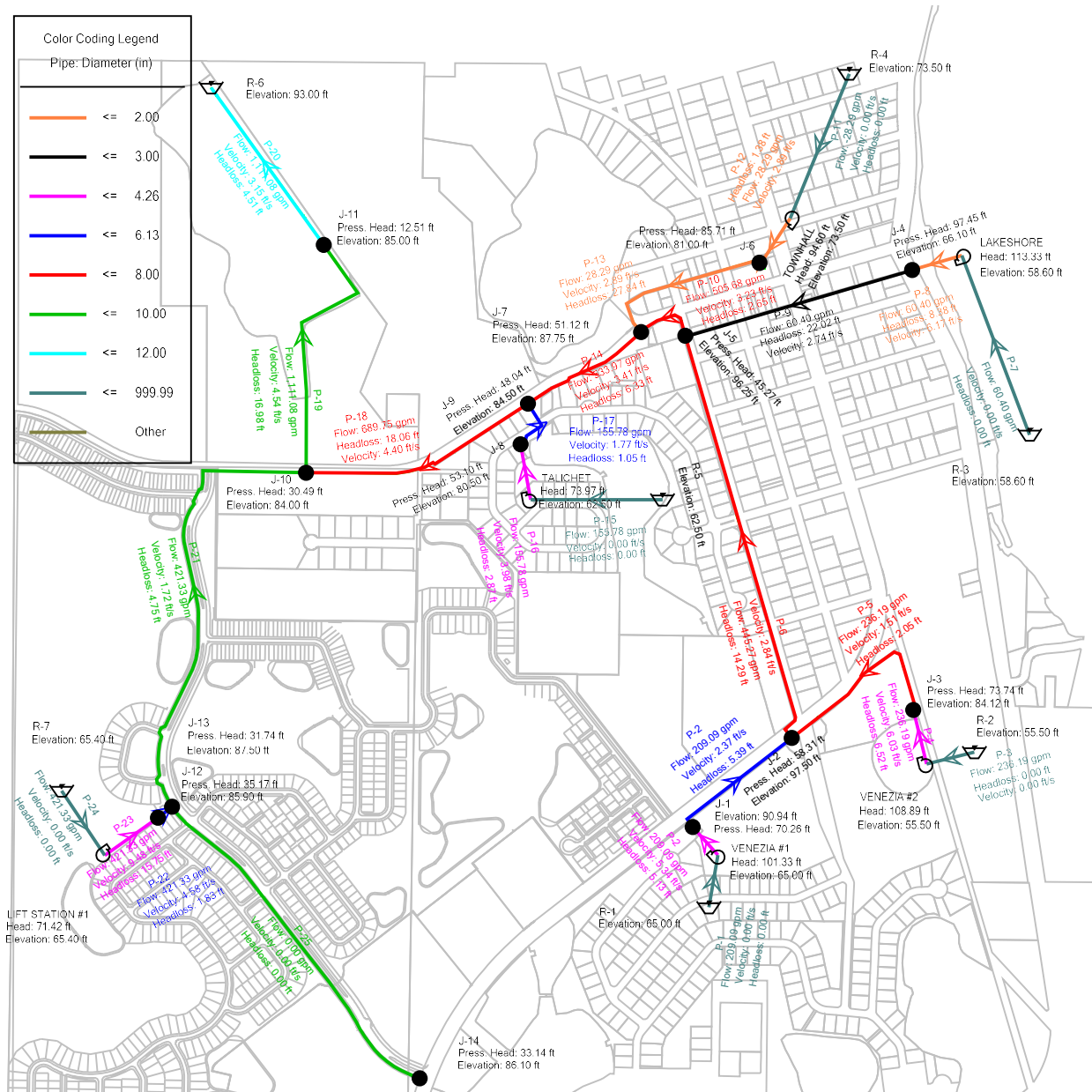
Uplift Force	=	1840.48	*	62.4	=	114846.10	Lbs.
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FACTOR OF SAFETY

$$\text{Factor of Safety} = \frac{\text{Downward Force}}{\text{Uplift Force}} = \frac{209765.08}{114846.10} = 1.83$$

Pump Information - Flygt				
Pump Type	2 Submersible Pumps			
Pump Model	NP 3153 HT 3~ 456			
Motor	N3153.660 21-15-4AA-W 15hp			
H.P. / Voltage / Phases / Amps	15 HP / 230V / 3 Phase / 32 A			
RPM	1755			R.P.M.
Impeller Diameter	229			mm
Discharge Pipe Size	4			Inches
Force Main Size	4			Inches
Design Point	400.00	GPM @	72.00	TDH
Operating Point - Manifold Condition	421.33	GPM @	71.42	TDH
Operating Point - Runout Condition	515.45	GPM @	65.78	TDH

Scenario: Base (MANIFOLD CONDITIONS)



FlexTable: Junction Table (MANIFOLD CONDITIONS)

Label	Demand (gpm)	Elevation (ft)	Pressure (psi)	Pressure Head (ft)
J-1	0.00	90.94	30.4	70.26
J-2	0.00	97.50	25.2	58.31
J-3	0.00	84.12	31.9	73.74
J-4	0.00	66.10	42.2	97.45
J-5	0.00	96.25	19.6	45.27
J-6	0.00	81.00	37.1	85.71
J-7	0.00	87.75	22.1	51.12
J-8	0.00	80.50	23.0	53.10
J-9	0.00	84.50	20.8	48.04
J-10	0.00	84.00	13.2	30.49
J-11	0.00	85.00	5.4	12.51
J-12	0.00	85.90	15.2	35.17
J-13	0.00	87.50	13.7	31.74
J-14	0.00	86.10	14.3	33.14

FlexTable: Pipe Table (MANIFOLD CONDITIONS)

Label	Diameter (in)	Length (User Defined) (ft)	Length (ft)	Material	Hazen-Williams C	Minor Loss Coefficient (Unified)	Flow (gpm)	Velocity (ft/s)	Headloss (Friction) (ft)	Headloss (Minor) (ft)	Headloss (ft)
P-1	999.00	1	1	PVC	120.0	0.000	209.09	0.00	0.00	0.00	0.00
P-2	4.00	28	28	PVC	120.0	9.430	209.09	5.34	0.95	4.18	5.13
P-2	6.00	0	927	PVC	110.0	2.580	209.09	2.37	5.16	0.23	5.39
P-3	999.00	1	1	PVC	120.0	0.000	236.19	0.00	0.00	0.00	0.00
P-4	4.00	28	28	PVC	120.0	9.430	236.19	6.03	1.19	5.33	6.52
P-5	8.00	0	1,310	PVC	120.0	3.770	236.19	1.51	1.92	0.13	2.05
P-6	8.00	0	2,771	PVC	120.0	9.340	445.27	2.84	13.12	1.17	14.29
P-7	999.00	1	1	PVC	120.0	0.000	60.40	0.00	0.00	0.00	0.00
P-8	2.00	28	28	PVC	120.0	9.430	60.40	6.17	2.80	5.58	8.38
P-9	3.00	0	1,548	PVC	120.0	4.170	60.40	2.74	21.54	0.49	22.02
P-10	8.00	0	411	PVC	120.0	1.190	505.68	3.23	2.46	0.19	2.65
P-11	999.00	1	1	PVC	120.0	0.000	-28.29	0.00	0.00	0.00	0.00
P-12	2.00	18	18	PVC	120.0	7.270	28.29	2.89	0.44	0.94	1.38
P-13	2.00	0	1,132	HDPE	120.0	0.000	28.29	2.89	27.84	0.00	27.84
P-14	8.00	0	884	PVC	120.0	2.580	533.97	3.41	5.86	0.47	6.33
P-15	999.00	1	1	PVC	120.0	0.000	155.78	0.00	0.00	0.00	0.00
P-16	4.00	28	28	PVC	120.0	9.430	155.78	3.98	0.55	2.32	2.87
P-17	6.00	0	362	PVC	120.0	1.190	155.78	1.77	0.99	0.06	1.05
P-18	8.00	0	1,578	PVC	120.0	4.170	689.75	4.40	16.80	1.26	18.06
P-19	10.00	0	1,779	PVC	120.0	4.770	1,111.08	4.54	15.45	1.53	16.98
P-20	12.00	0	1,262	PVC	120.0	0.000	1,111.08	3.15	4.51	0.00	4.51
P-21	10.00	0	3,027	PVC	120.0	8.490	421.33	1.72	4.36	0.39	4.75
P-22	6.13	0	117	PVC	120.0	0.000	421.33	4.58	1.83	0.00	1.83
P-23	4.26	28	28	PVC	120.0	9.430	421.33	9.48	2.56	13.18	15.75
P-24	999.00	1	1	PVC	120.0	0.000	421.33	0.00	0.00	0.00	0.00
P-25	10.00	0	2,429	PVC	120.0	3.900	0.00	0.00	0.00	0.00	0.00

FlexTable: Pump Table (MANIFOLD CONDITIONS)

Label	Pump Definition	Elevation (ft)	Hydraulic Grade (Suction) (ft)	Hydraulic Grade (Discharge) (ft)	Flow (Total) (gpm)	Pump Head (ft)
LAKESHORE	LAKESHORE	58.60	58.60	171.93	60.40	113.33
LIFT STATION #1	Flygt Pump	65.40	65.40	136.82	421.33	71.42
TALICHET	TALICHET	62.50	62.50	136.47	155.78	73.97
TOWNHALL	TOWNHALL	73.50	73.50	168.10	28.29	94.60
VENEZIA #1	VENEZIA #1	65.00	65.00	166.33	209.09	101.33
VENEZIA #2	VENEZIA #2	55.50	55.50	164.39	236.19	108.89

Pump Definition Detailed Report: LAKESHORE (MANIFOLD CONDITIONS)

Element Details

ID	173	Notes
Label	LAKESHORE	

Pump Curve

Flow (gpm)	Head (ft)
0.00	157.00
3.00	155.00
9.00	150.00
17.00	145.00
24.00	140.00
32.00	135.00
39.00	130.00
47.00	125.00
53.00	120.00
61.00	115.00
65.00	110.00
69.00	105.00
73.00	100.00
77.00	95.00
81.00	90.00
84.00	85.00
87.50	80.00
90.00	75.00
93.00	70.00
97.00	65.00
99.00	60.00
102.50	55.00
105.00	50.00
108.00	45.00

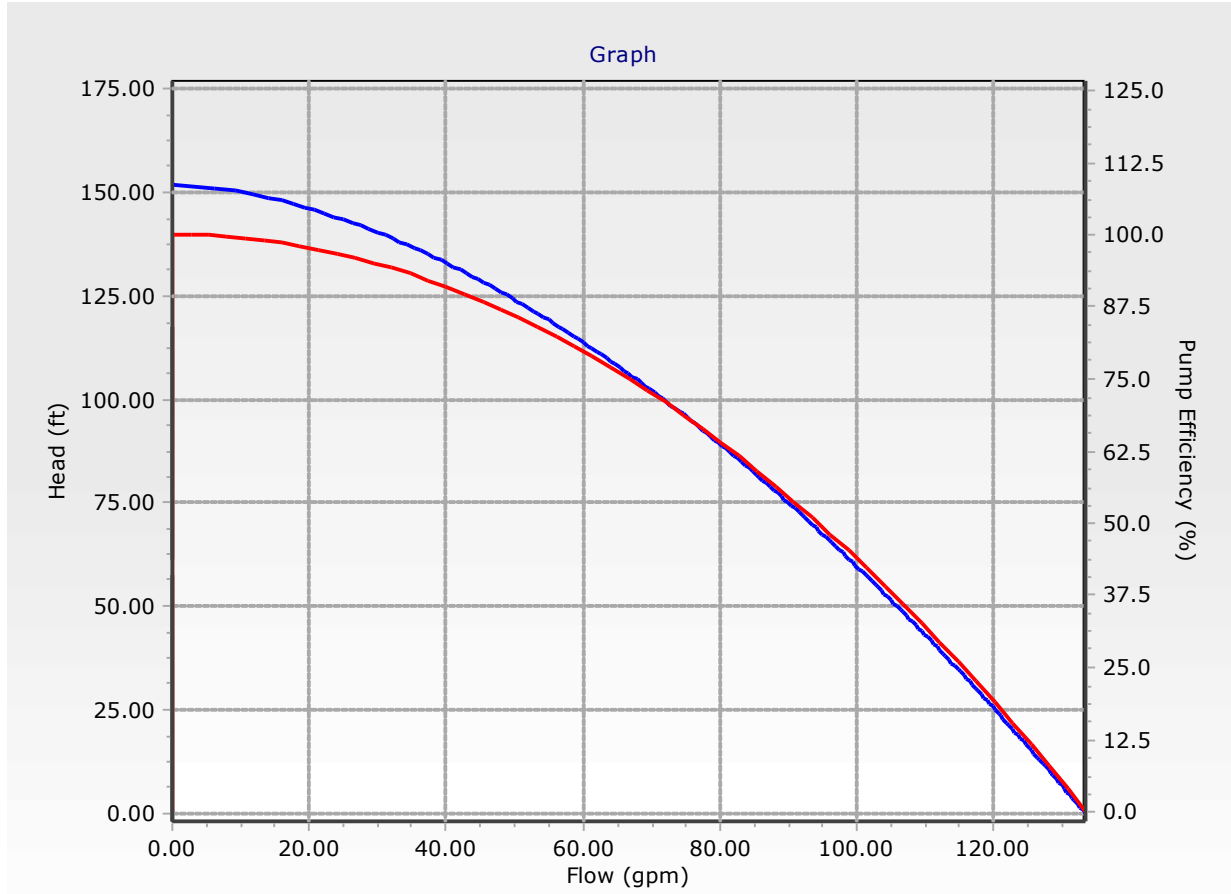
Pump Efficiency Type

Pump Efficiency Type	Best Efficiency Point	Motor Efficiency	100.0 %
BEP Efficiency	100.0 %	Is Variable Speed Drive?	False
BEP Flow	0.00 gpm		

Transient (Physical)

Inertia (Pump and Motor)	0.000 lb·ft ²	Specific Speed	SI=25, US=1280
Speed (Full)	0 rpm	Reverse Spin Allowed?	True

Pump Definition Detailed Report: LAKESHORE (MANIFOLD CONDITIONS)



Pump Definition Detailed Report: TALICHET (MANIFOLD CONDITIONS)

Element Details

ID	183	Notes
Label	TALICHET	

Pump Curve

Flow (gpm)	Head (ft)
0.04	104.92
18.66	100.40
37.27	96.18
55.88	92.18
74.50	88.34
93.11	84.65
111.73	81.08
130.34	77.63
148.95	74.27
167.57	70.98
186.18	67.73
204.79	64.49
223.41	61.22
242.02	57.88
260.63	54.44
279.25	50.89
297.86	47.22
316.47	43.43
335.09	39.54
353.00	35.56
372.31	31.51
390.93	27.40
409.54	23.22
428.15	18.97
446.77	14.65
480.45	6.91

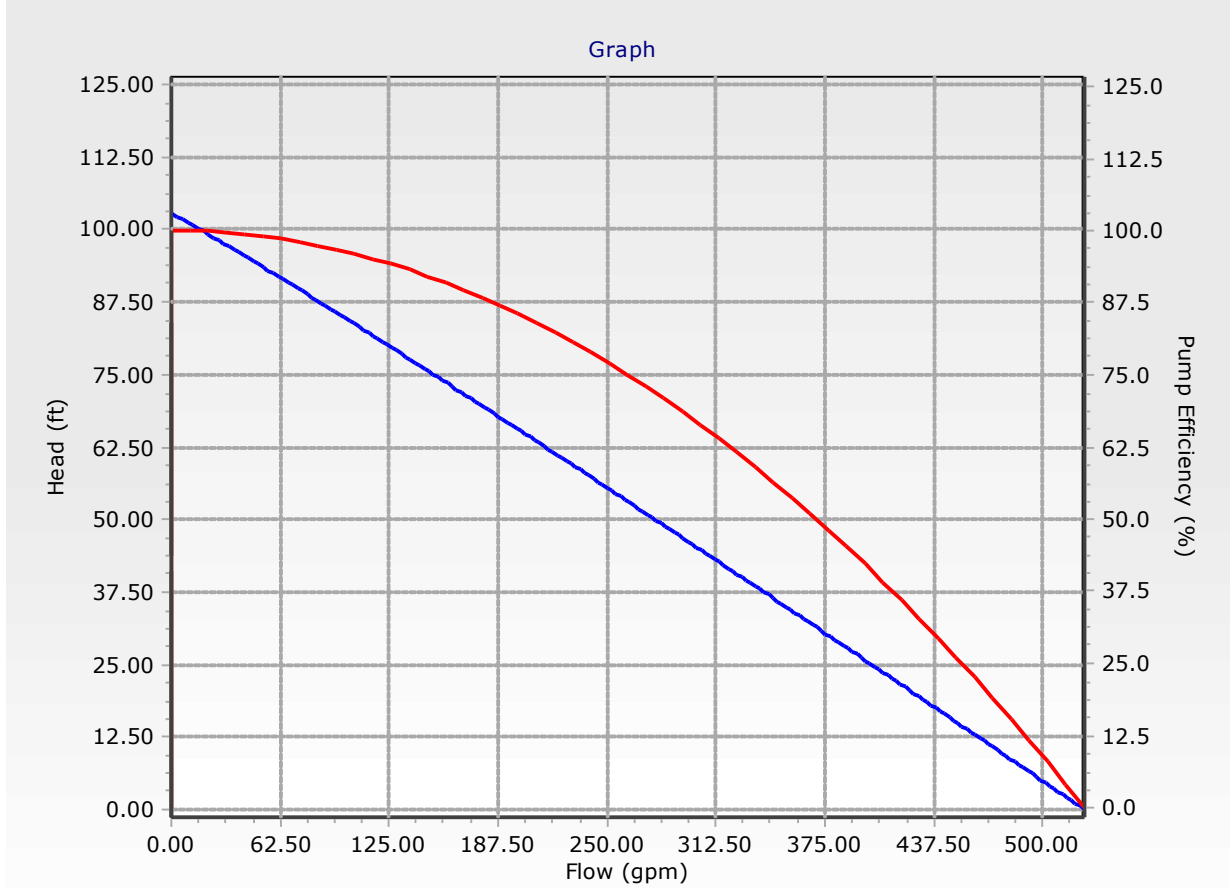
Pump Efficiency Type

Pump Efficiency Type	Best Efficiency Point	Motor Efficiency	100.0 %
BEP Efficiency	100.0 %	Is Variable Speed Drive?	False
BEP Flow	0.00 gpm		

Transient (Physical)

Inertia (Pump and Motor)	0.000 lb·ft ²	Specific Speed	SI=25, US=1280
Speed (Full)	0 rpm	Reverse Spin Allowed?	True

Pump Definition Detailed Report: TALICHET (MANIFOLD CONDITIONS)



Pump Definition Detailed Report: TOWNHALL (MANIFOLD CONDITIONS)

Element Details

ID	178	Notes
Label	TOWNHALL	

Pump Curve

Flow (gpm)	Head (ft)
0.00	114.20
5.60	111.00
11.40	108.00
15.90	105.00
20.00	102.00
23.80	99.00
27.10	96.00
30.10	93.00
33.00	90.00
35.60	87.00
38.10	84.00
40.50	81.00
42.90	78.00
45.00	75.00
47.70	72.00
49.50	69.00
51.80	66.00

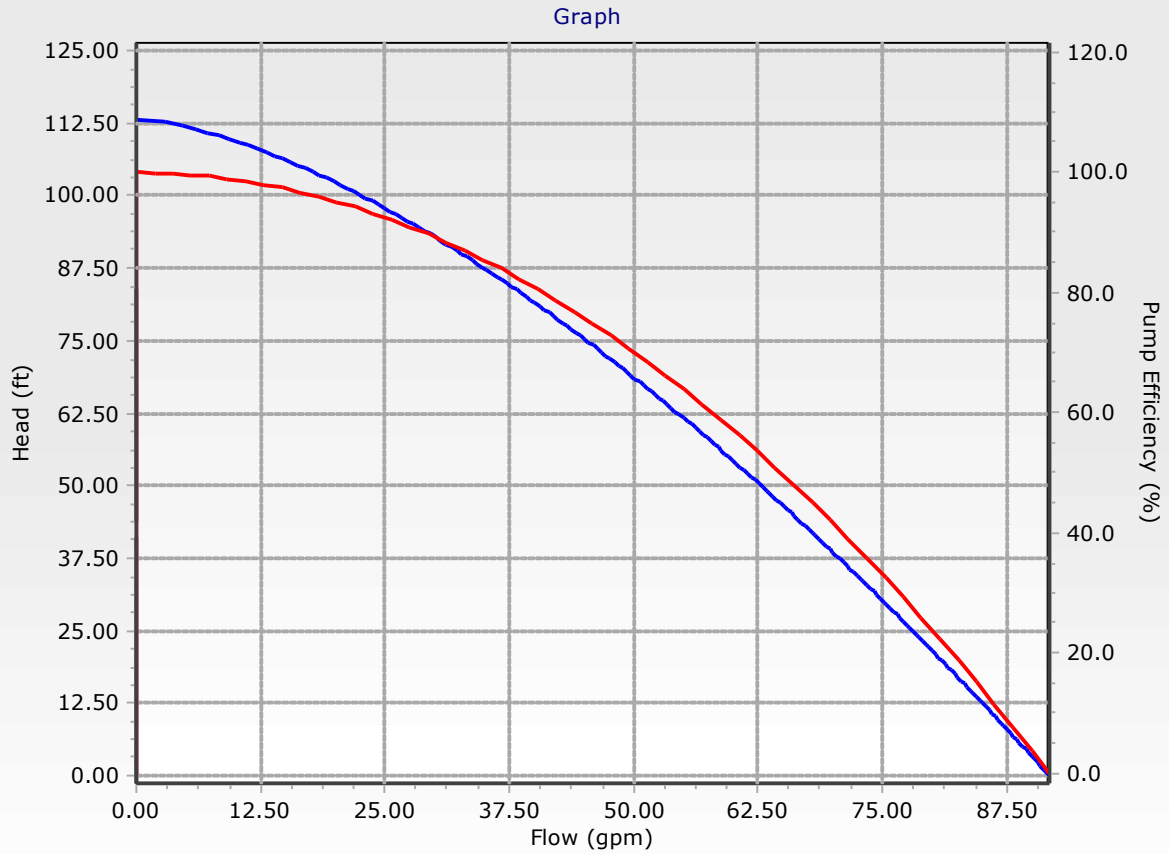
Pump Efficiency Type

Pump Efficiency Type	Best Efficiency Point	Motor Efficiency	100.0 %
BEP Efficiency	100.0 %	Is Variable Speed Drive?	False
BEP Flow	0.00 gpm		

Transient (Physical)

Inertia (Pump and Motor)	0.000 lb·ft²	Specific Speed	SI=25, US=1280
Speed (Full)	0 rpm	Reverse Spin Allowed?	True

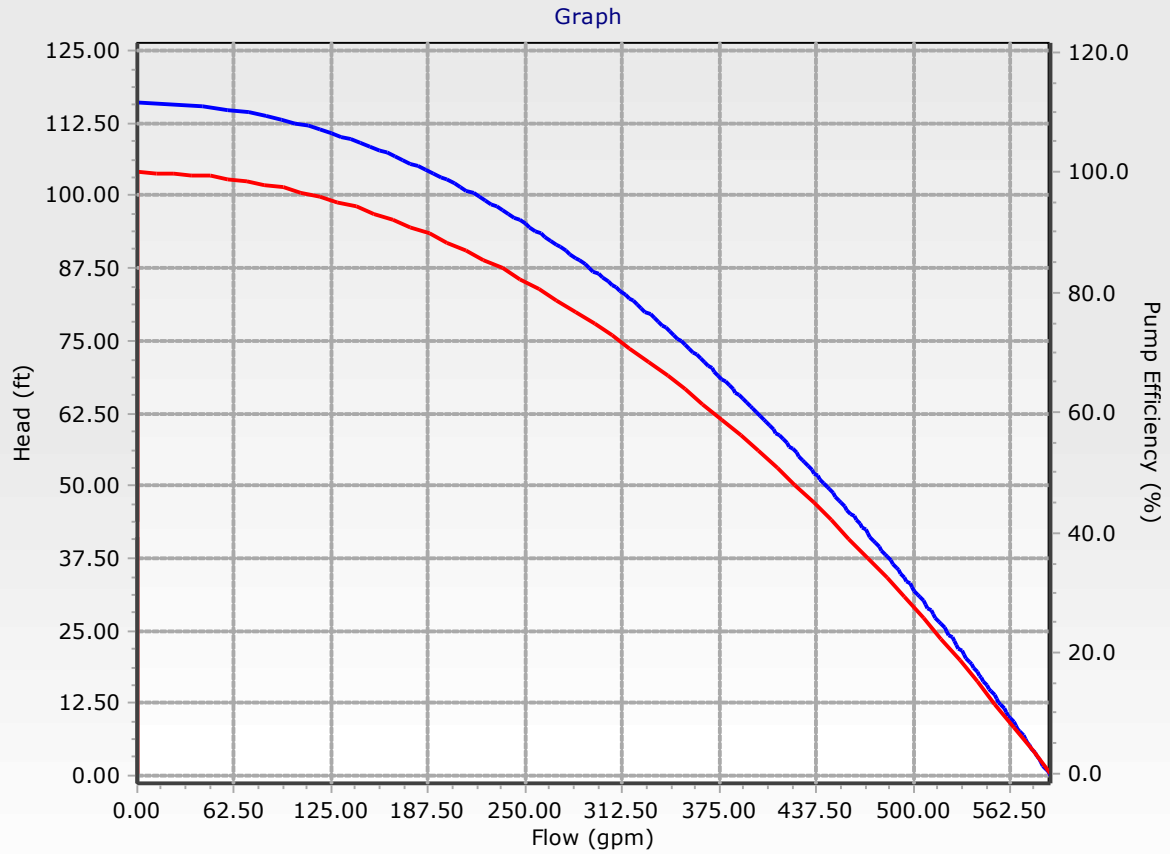
Pump Definition Detailed Report: TOWNHALL (MANIFOLD CONDITIONS)



Pump Definition Detailed Report: VENEZIA #1 (MANIFOLD CONDITIONS)

Element Details			
ID	59	Notes	
Label	VENEZIA #1		
Pump Definition Type			
Pump Definition Type	Design Point (1 Point)	Design Head	87.00 ft
Shutoff Flow	0.00 gpm	Maximum Operating Flow	0.00 gpm
Shutoff Head	0.00 ft	Maximum Operating Head	0.00 ft
Design Flow	294.00 gpm		
Pump Efficiency Type			
Pump Efficiency Type	Best Efficiency Point	Motor Efficiency	100.0 %
BEP Efficiency	100.0 %	Is Variable Speed Drive?	False
BEP Flow	0.00 gpm		
Transient (Physical)			
Inertia (Pump and Motor)	0.000 lb·ft²	Specific Speed	SI=25, US=1280
Speed (Full)	0 rpm	Reverse Spin Allowed?	True

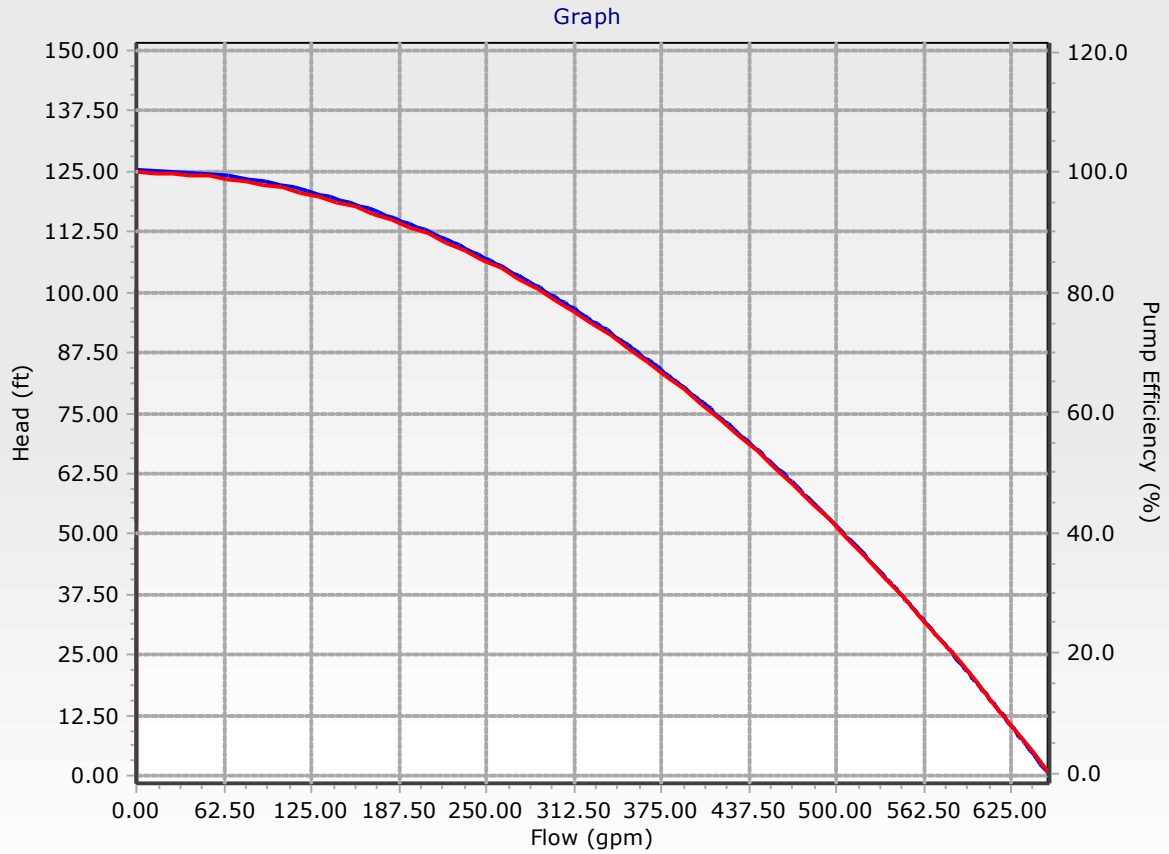
Pump Definition Detailed Report: VENEZIA #1 (MANIFOLD CONDITIONS)



Pump Definition Detailed Report: VENEZIA #2 (MANIFOLD CONDITIONS)

Element Details			
ID	163	Notes	
Label	VENEZIA #2		
Pump Definition Type			
Pump Definition Type	Design Point (1 Point)	Design Head	94.00 ft
Shutoff Flow	0.00 gpm	Maximum Operating Flow	0.00 gpm
Shutoff Head	0.00 ft	Maximum Operating Head	0.00 ft
Design Flow	326.00 gpm		
Pump Efficiency Type			
Pump Efficiency Type	Best Efficiency Point	Motor Efficiency	100.0 %
BEP Efficiency	100.0 %	Is Variable Speed Drive?	False
BEP Flow	0.00 gpm		
Transient (Physical)			
Inertia (Pump and Motor)	0.000 lb·ft²	Specific Speed	SI=25, US=1280
Speed (Full)	0 rpm	Reverse Spin Allowed?	True

Pump Definition Detailed Report: VENEZIA #2 (MANIFOLD CONDITIONS)



Pump Definition Detailed Report: Flygt Pump (MANIFOLD CONDITIONS)

Element Details

ID	86	Notes
Label	Flygt Pump	

Pump Curve

Flow (gpm)	Head (ft)
0.10	98.68
48.71	95.04
97.33	91.49
145.95	88.07
194.57	84.78
243.19	81.63
291.80	78.62
340.42	75.72
389.04	72.91
437.66	70.16
486.28	67.45
534.90	64.75
583.51	62.05
632.13	59.34
680.75	56.59
729.37	53.81
777.99	50.99
826.61	48.12
875.22	45.19
923.84	42.17
972.46	39.08
1,021.08	35.89
1,069.70	32.64
1,132.07	28.43

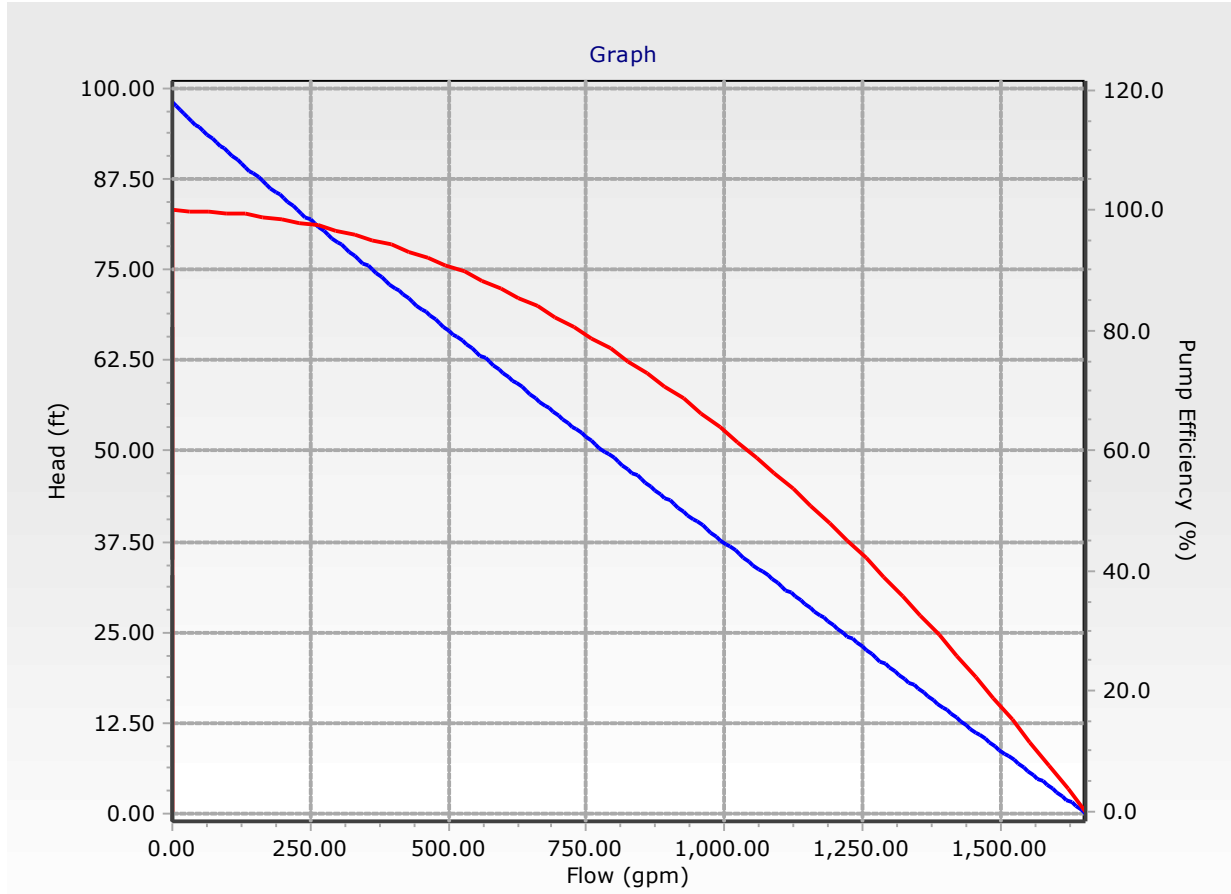
Pump Efficiency Type

Pump Efficiency Type	Best Efficiency Point	Motor Efficiency	100.0 %
BEP Efficiency	100.0 %	Is Variable Speed Drive?	False
BEP Flow	0.00 gpm		

Transient (Physical)

Inertia (Pump and Motor)	0.000 lb·ft ²	Specific Speed	SI=25, US=1280
Speed (Full)	0 rpm	Reverse Spin Allowed?	True

Pump Definition Detailed Report: Flygt Pump (MANIFOLD CONDITIONS)



FlexTable: Reservoir Table (MANIFOLD CONDITIONS)

Label	Elevation (ft)	Flow (Out net) (gpm)
R-1	65.00	209.09
R-2	55.50	236.19
R-3	58.60	60.40
R-4	73.50	28.29
R-5	62.50	155.78
R-6	93.00	-1,111.08
R-7	65.40	421.33

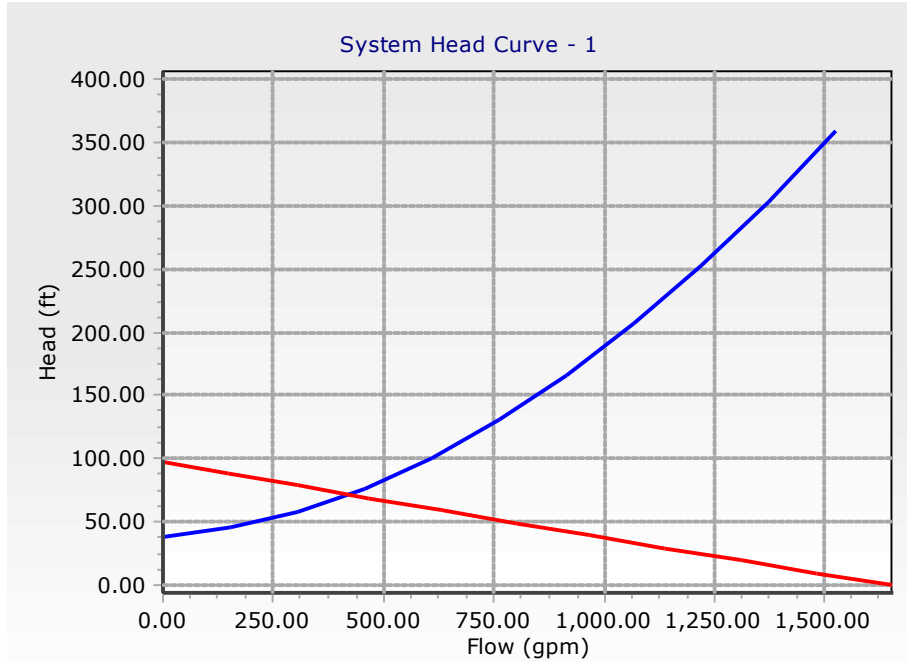
System Head Curve Detailed Report - System Head Curve - 1 (MANIFOLD CONDITIONS)

Element Details			
Label	System Head Curve - 1	Number of Intervals	10
Pump	LIFT STATION #1	Specify vertical axis limits	False
Maximum Flow	1,523.97 gpm		

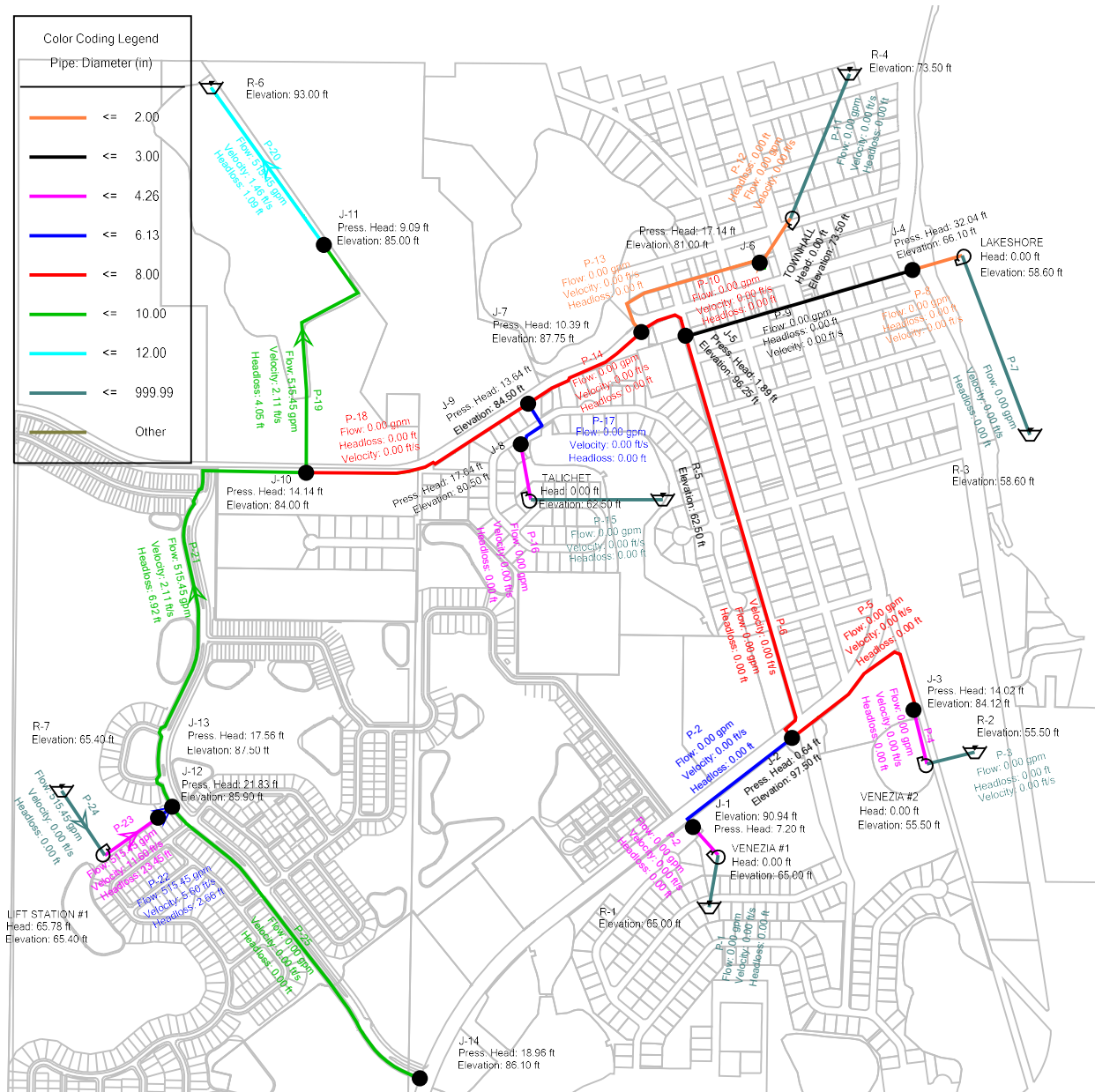
Time (hours)
0.000

System Head Curve @ 0.000 hours Flow (gpm)	System Head Curve @ 0.000 hours Head (ft)	Flygt Pump Flow (gpm)	Flygt Pump Head (ft)
0.00	38.24	1,654.66	0.00
152.40	44.89	1,481.54	9.80
304.79	57.70	1,309.36	19.60
457.19	76.31	1,138.23	29.41
609.59	100.58	968.29	39.21
761.99	130.38	799.75	49.01
914.38	165.63	632.85	58.81
1,066.78	206.24	468.00	68.62
1,219.18	252.13	305.88	78.42
1,371.57	303.23	147.84	88.22
1,523.97	359.46	0.00	98.02

System Head Curve Detailed Report - System Head Curve - 1 (MANIFOLD CONDITIONS)



Scenario: Base (RUNOUT CONDITIONS)



FlexTable: Junction Table (RUNOUT CONDITIONS)

Label	Demand (gpm)	Elevation (ft)	Pressure (psi)	Pressure Head (ft)
J-1	0.00	90.94	3.1	7.20
J-2	0.00	97.50	0.3	0.64
J-3	0.00	84.12	6.1	14.02
J-4	0.00	66.10	13.9	32.04
J-5	0.00	96.25	0.8	1.89
J-6	0.00	81.00	7.4	17.14
J-7	0.00	87.75	4.5	10.39
J-8	0.00	80.50	7.6	17.64
J-9	0.00	84.50	5.9	13.64
J-10	0.00	84.00	6.1	14.14
J-11	0.00	85.00	3.9	9.09
J-12	0.00	85.90	9.4	21.83
J-13	0.00	87.50	7.6	17.56
J-14	0.00	86.10	8.2	18.96

FlexTable: Pipe Table (RUNOUT CONDITIONS)

Label	Diameter (in)	Length (User Defined) (ft)	Length (ft)	Material	Hazen-Williams C	Minor Loss Coefficient (Unified)	Flow (gpm)	Velocity (ft/s)	Headloss (Friction) (ft)	Headloss (Minor) (ft)	Headloss (ft)
P-1	999.00	1	1	PVC	120.0	0.000	0.00	0.00	0.00	0.00	0.00
P-2	4.00	28	28	PVC	120.0	9.430	0.00	0.00	0.00	0.00	0.00
P-2	6.00	0	927	PVC	110.0	2.580	0.00	0.00	0.00	0.00	0.00
P-3	999.00	1	1	PVC	120.0	0.000	0.00	0.00	0.00	0.00	0.00
P-4	4.00	28	28	PVC	120.0	9.430	0.00	0.00	0.00	0.00	0.00
P-5	8.00	0	1,310	PVC	120.0	3.770	0.00	0.00	0.00	0.00	0.00
P-6	8.00	0	2,771	PVC	120.0	9.340	0.00	0.00	0.00	0.00	0.00
P-7	999.00	1	1	PVC	120.0	0.000	0.00	0.00	0.00	0.00	0.00
P-8	2.00	28	28	PVC	120.0	9.430	0.00	0.00	0.00	0.00	0.00
P-9	3.00	0	1,548	PVC	120.0	4.170	0.00	0.00	0.00	0.00	0.00
P-10	8.00	0	411	PVC	120.0	1.190	0.00	0.00	0.00	0.00	0.00
P-11	999.00	1	1	PVC	120.0	0.000	0.00	0.00	0.00	0.00	0.00
P-12	2.00	18	18	PVC	120.0	7.270	0.00	0.00	0.00	0.00	0.00
P-13	2.00	0	1,132	HDPE	120.0	0.000	0.00	0.00	0.00	0.00	0.00
P-14	8.00	0	884	PVC	120.0	2.580	0.00	0.00	0.00	0.00	0.00
P-15	999.00	1	1	PVC	120.0	0.000	0.00	0.00	0.00	0.00	0.00
P-16	4.00	28	28	PVC	120.0	9.430	0.00	0.00	0.00	0.00	0.00
P-17	6.00	0	362	PVC	120.0	1.190	0.00	0.00	0.00	0.00	0.00
P-18	8.00	0	1,578	PVC	120.0	4.170	0.00	0.00	0.00	0.00	0.00
P-19	10.00	0	1,779	PVC	120.0	4.770	515.45	2.11	3.73	0.33	4.05
P-20	12.00	0	1,262	PVC	120.0	0.000	515.45	1.46	1.09	0.00	1.09
P-21	10.00	0	3,027	PVC	120.0	8.490	515.45	2.11	6.34	0.58	6.92
P-22	6.13	0	117	PVC	120.0	0.000	515.45	5.60	2.66	0.00	2.66
P-23	4.26	28	28	PVC	120.0	9.430	515.45	11.60	3.72	19.73	23.45
P-24	999.00	1	1	PVC	120.0	0.000	515.45	0.00	0.00	0.00	0.00
P-25	10.00	0	2,429	PVC	120.0	3.900	0.00	0.00	0.00	0.00	0.00

Pump Definition Detailed Report: Flygt Pump (RUNOUT CONDITIONS)

Element Details

ID	86	Notes
Label	Flygt Pump	

Pump Curve

Flow (gpm)	Head (ft)
0.10	98.68
48.71	95.04
97.33	91.49
145.95	88.07
194.57	84.78
243.19	81.63
291.80	78.62
340.42	75.72
389.04	72.91
437.66	70.16
486.28	67.45
534.90	64.75
583.51	62.05
632.13	59.34
680.75	56.59
729.37	53.81
777.99	50.99
826.61	48.12
875.22	45.19
923.84	42.17
972.46	39.08
1,021.08	35.89
1,069.70	32.64
1,132.07	28.43

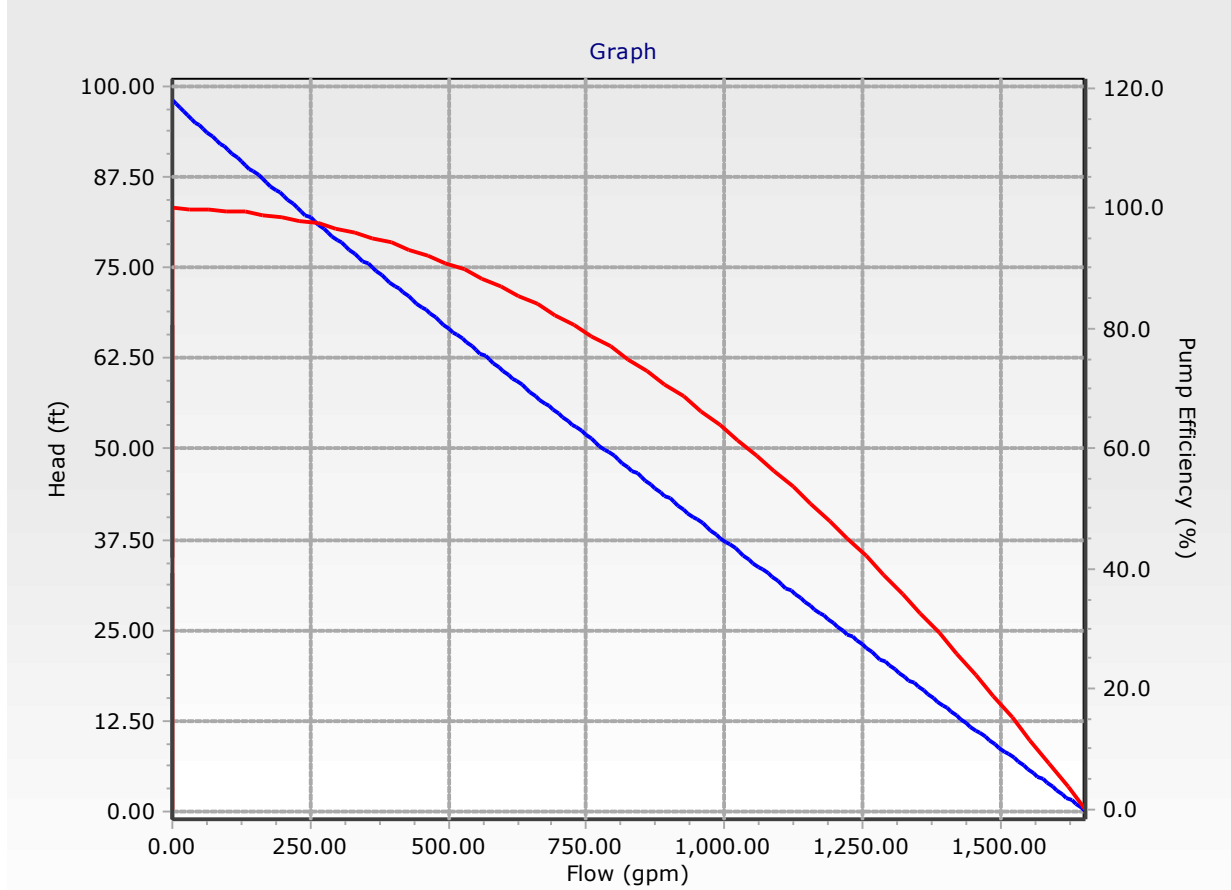
Pump Efficiency Type

Pump Efficiency Type	Best Efficiency Point	Motor Efficiency	100.0 %
BEP Efficiency	100.0 %	Is Variable Speed Drive?	False
BEP Flow	0.00 gpm		

Transient (Physical)

Inertia (Pump and Motor)	0.000 lb·ft ²	Specific Speed	SI=25, US=1280
Speed (Full)	0 rpm	Reverse Spin Allowed?	True

Pump Definition Detailed Report: Flygt Pump (RUNOUT CONDITIONS)



FlexTable: Pump Table (RUNOUT CONDITIONS)

Label	Pump Definition	Elevation (ft)	Hydraulic Grade (Suction) (ft)	Hydraulic Grade (Discharge) (ft)	Flow (Total) (gpm)	Pump Head (ft)
LAKESHORE	LAKESHORE	58.60	58.60	98.14	0.00	0.00
LIFT STATION #1	Flygt Pump	65.40	65.40	131.18	515.45	65.78
TALICHET	TALICHET	62.50	62.50	98.14	0.00	0.00
TOWNHALL	TOWNHALL	73.50	73.50	98.14	0.00	0.00
VENEZIA #1	VENEZIA #1	65.00	65.00	98.14	0.00	0.00
VENEZIA #2	VENEZIA #2	55.50	55.50	98.14	0.00	0.00

FlexTable: Reservoir Table (RUNOUT CONDITIONS)

Label	Elevation (ft)	Flow (Out net) (gpm)
R-1	65.00	0.00
R-2	55.50	0.00
R-3	58.60	0.00
R-4	73.50	0.00
R-5	62.50	0.00
R-6	93.00	-515.45
R-7	65.40	515.45

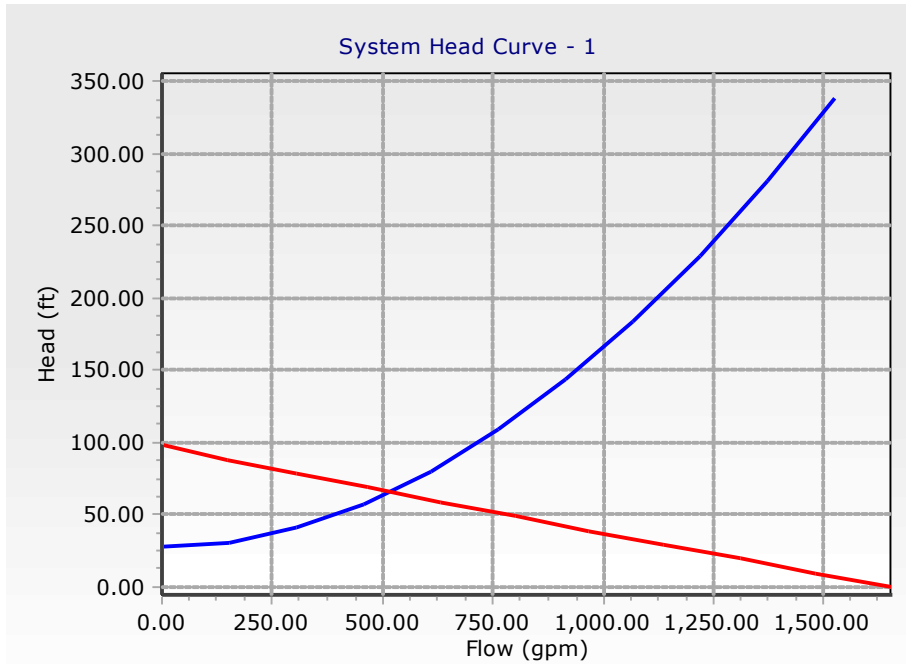
System Head Curve Detailed Report - System Head Curve - 1 (RUNOUT CONDITIONS)

Element Details			
Label	System Head Curve - 1	Number of Intervals	10
Pump	LIFT STATION #1	Specify vertical axis limits	False
Maximum Flow	1,523.97 gpm		

Time (hours)
0.000

System Head Curve @ 0.000 hours Flow (gpm)	System Head Curve @ 0.000 hours Head (ft)	Flygt Pump Flow (gpm)	Flygt Pump Head (ft)
0.00	27.60	1,654.66	0.00
152.40	31.24	1,481.54	9.80
304.79	41.45	1,309.36	19.60
457.19	57.89	1,138.23	29.41
609.59	80.40	968.29	39.21
761.99	108.88	799.75	49.01
914.38	143.26	632.85	58.81
1,066.78	183.47	468.00	68.62
1,219.18	229.46	305.88	78.42
1,371.57	281.18	147.84	88.22
1,523.97	338.61	0.00	98.02

System Head Curve Detailed Report - System Head Curve - 1 (RUNOUT CONDITIONS)



SUMMARY OF REQUIRED VS MODELED FLOWS

Connelly & Wicker, Inc.

Project Name: HILLSIDE GROVE

Project No: 21-04-0008

Date: October 6, 2022

COMPUTATION OF EXISTING SYSTEM FLOWS

Talichet Pump Station	Quantity	ADF	Unit	ADF (GPD)	ADF (GPM)	Peaking Factor	Peak Flow (GPM)
Single Family Residential	93	300	/ Unit	27900	19.4	3.72	72.1
* Data taken from Construction Plans for Venezia North Subdivision obtained from the SJRWMD							

SUMMARY OF EXISTING PUMP STATION REQUIRED VS MODELED FLOWS

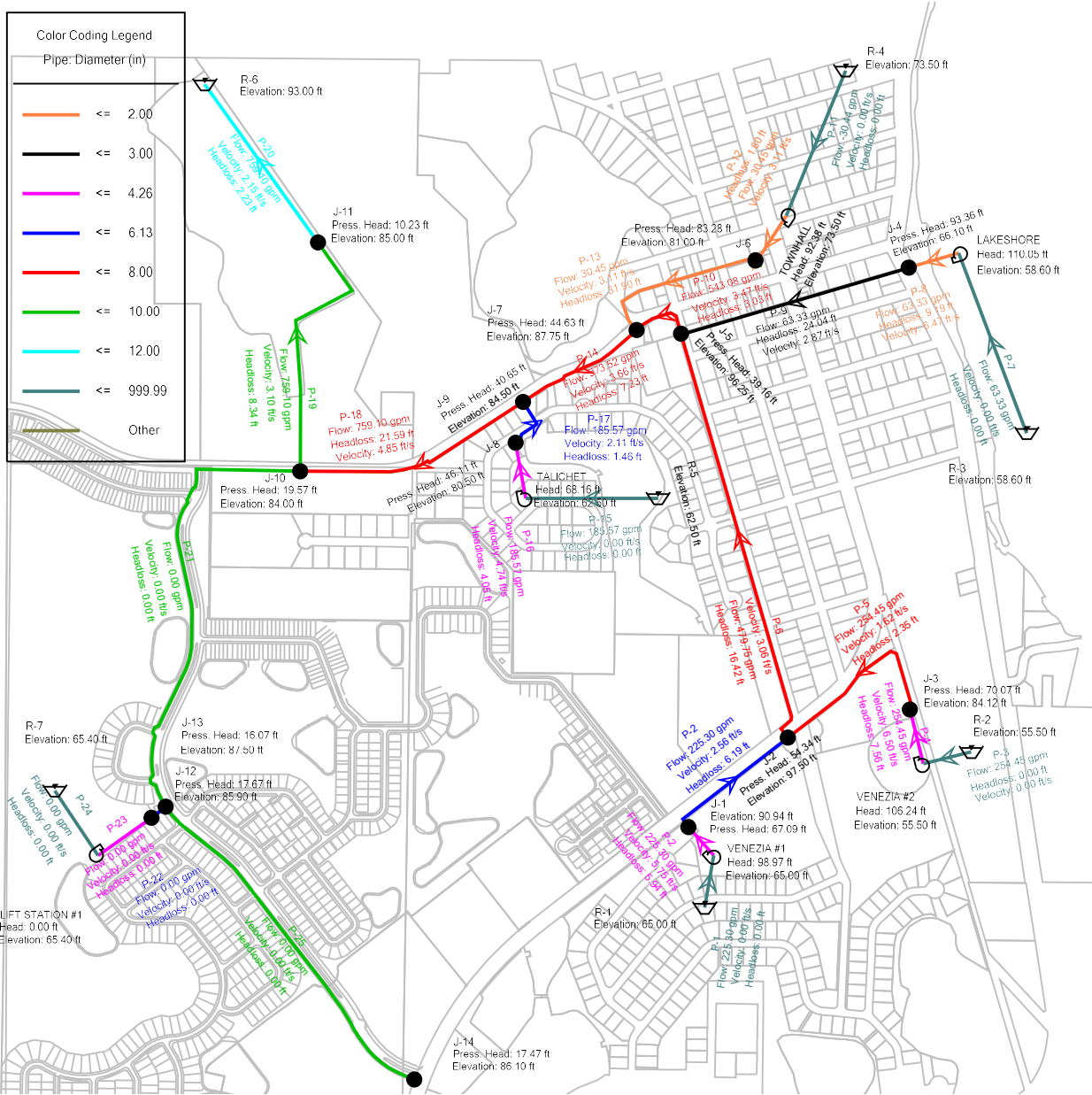
Pump Station Name	Required Peak Flow (GPM)	Peak Flow at Manifold Condition per Watercad Modeling (GPM)
Venezia Pump Station #1	133	209
* Data taken from Howey-In-The-Hills Wastewater Master Plan dated October 2018		
Venezia Pump Station #2	204	236
* Data taken from Howey-In-The-Hills Wastewater Master Plan dated October 2018		
Talichet Pump Station	72	156
* Data calculated above		
Lakeshore Pump Station	59	60
* Data taken Pump Station Engineering Plan provided by Griffey Engineering, Inc.		
Townhall Pump Station	26	28
* Data taken Pump Station Engineering Plan provided by Griffey Engineering, Inc.		

HILLSIDE GROVE PUMP STATION REQUIRED VS PROVIDED FLOWS

Pump Station Name	Required Peak Flow (GPM)	Flow at Manifold Condition per Watercad Modeling (GPM)	Flow at Runout Condition per Watercad Modeling (GPM)
Pump Station #1	400	421	515

APPENDIX

Scenario: Base (EXISTING NETWORK CONDITIONS)



FlexTable: Pump Table (EXISTING NETWORK CONDITIONS)

Label	Pump Definition	Elevation (ft)	Hydraulic Grade (Suction) (ft)	Hydraulic Grade (Discharge) (ft)	Flow (Total) (gpm)	Pump Head (ft)
LAKESHORE	LAKESHORE	58.60	58.60	168.65	63.33	110.05
LIFT STATION #1	Flygt Pump	65.40	65.40	103.57	0.00	0.00
TALICHET	TALICHET	62.50	62.50	130.66	185.57	68.16
TOWNHALL	TOWNHALL	73.50	73.50	165.88	30.45	92.38
VENEZIA #1	VENEZIA #1	65.00	65.00	163.97	225.30	98.97
VENEZIA #2	VENEZIA #2	55.50	55.50	161.74	254.45	106.24

NP 3153 HT 3~ 456

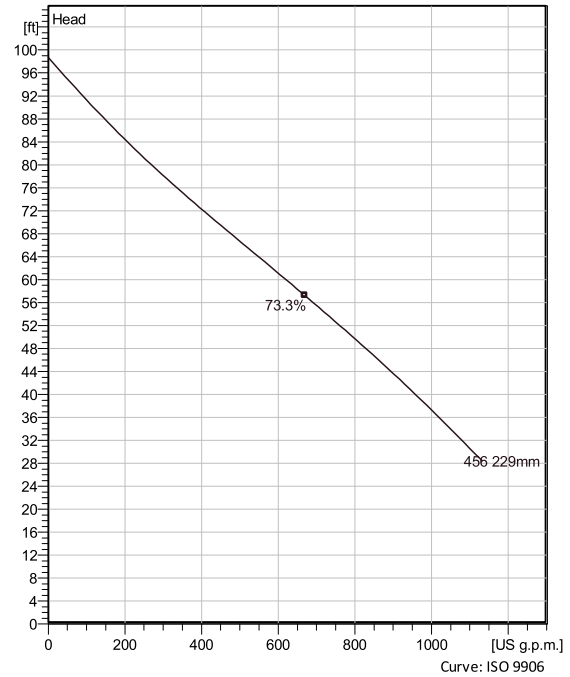
Patented self cleaning semi-open channel impeller, ideal for pumping in waste water applications. Modular based design with high adaptation grade.



Technical specification



Curves according to: Water, pure Water, pure [100%], 39.2 °F, 62.43 lb/ft³, 1.6888E-5 ft²/s



Configuration

Motor number N3153.660 21-15-4AA-W 15hp	Installation type P - Semi permanent, Wet
Impeller diameter 229 mm	Discharge diameter 4 inch

Pump information

Impeller diameter 229 mm
Discharge diameter 4 inch
Inlet diameter 150 mm
Maximum operating speed 1755 rpm
Number of blades 2

Materials

Impeller Stainless steel

Max. fluid temperature
40 °C

Project		Created by	Garrett Queener	
Block	0	Created on	10/7/2022	Last update 10/7/2022

NP 3153 HT 3~ 456

Technical specification



Motor - General

Motor number N3153.660 21-15-4AA-W 15hp	Phases 3~	Rated speed 1755 rpm	Rated power 15 hp
ATEX approved No	Number of poles 4	Rated current 39 A	Stator variant 5
Frequency 60 Hz	Rated voltage 230 V	Insulation class H	Type of Duty S1
Version code 660			

Motor - Technical

Power factor - 1/1 Load 0.82	Motor efficiency - 1/1 Load 87.8 %	Total moment of inertia 1.76 lb ft ²	Starts per hour max. 30
Power factor - 3/4 Load 0.77	Motor efficiency - 3/4 Load 88.7 %	Starting current, direct starting 228 A	
Power factor - 1/2 Load 0.65	Motor efficiency - 1/2 Load 88.3 %	Starting current, star-delta 76 A	

Project

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10/7/2022

Last update

10/7/2022

NP 3153 HT 3~ 456

Performance curve

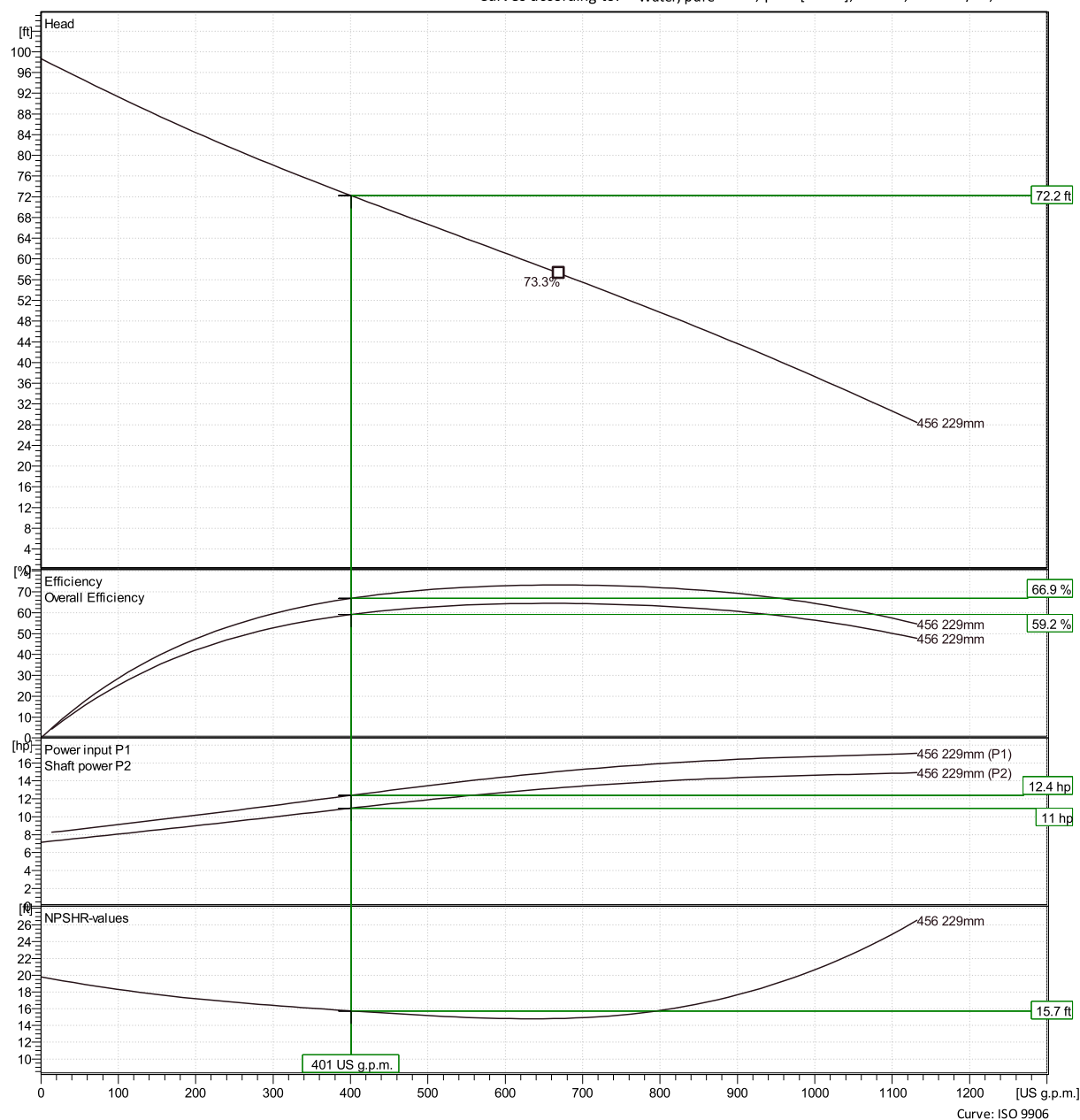


Duty point

Flow
401 US g.p.m.

Head
72.2 ft

Curves according to: Water, pure Water, pure [100%], 39.2 °F, 62.43 lb/ft³, 1.6888E-5 ft²/s



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Garrett Queener

10/7/2022 Last update

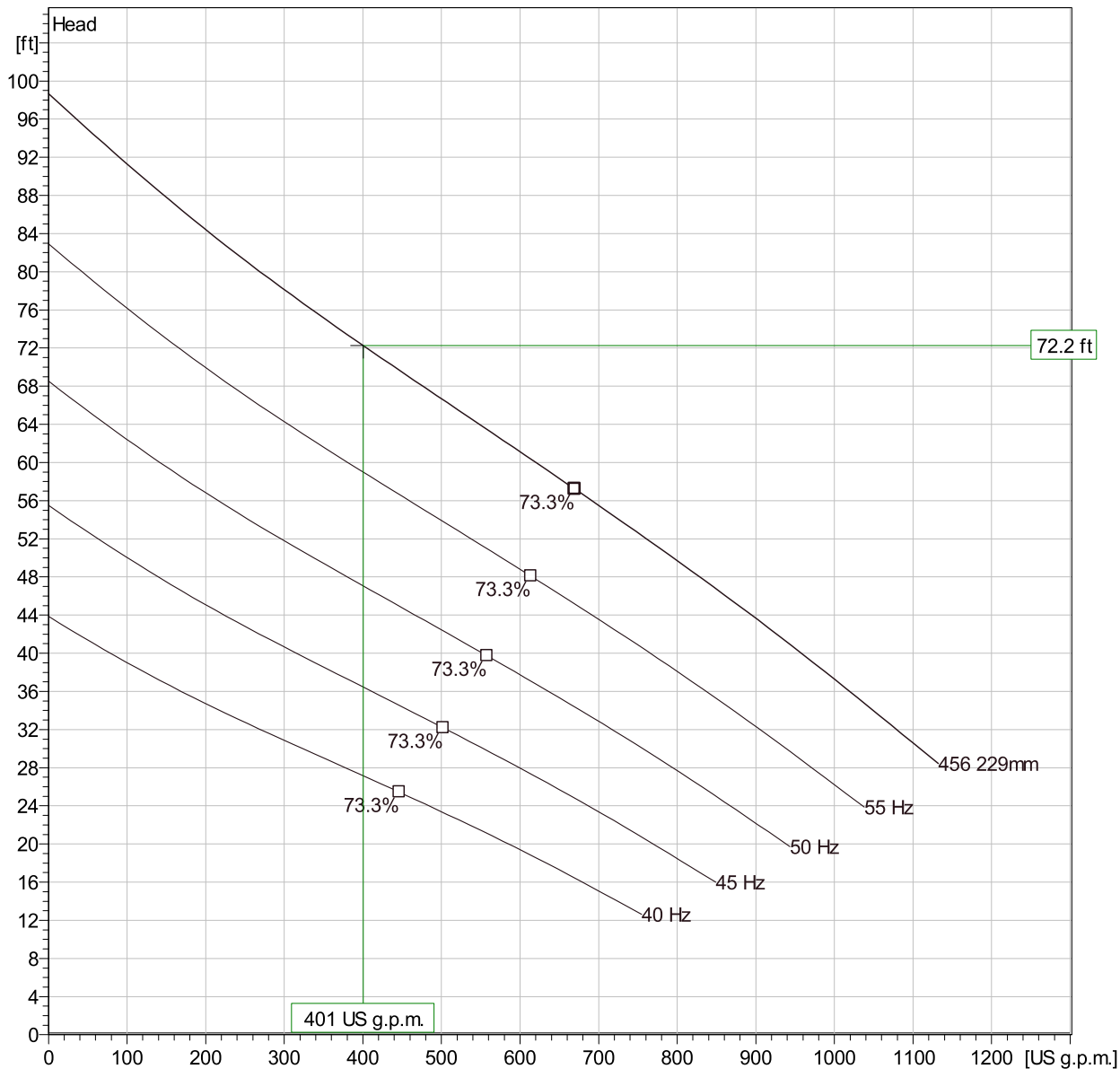
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NP 3153 HT 3~ 456

Duty Analysis



Curves according to: Water, pure [100%] ; 39.2°F; 62.43lb/ft³; 1.6888E-5ft²/s



Operating characteristics

Pumps / Systems	Flow US g.p.m.	Head ft	Shaft power hp	Flow US g.p.m.	Head ft	Shaft power hp	Hydr.eff.	Spec. Energy kWh/US MG	NPSHre ft
1	401	72.2	11	401	72.2	11	66.9 %	384	15.7

Project

Created by

Garrett Queener

Block

Created on

10/7/2022

Last update

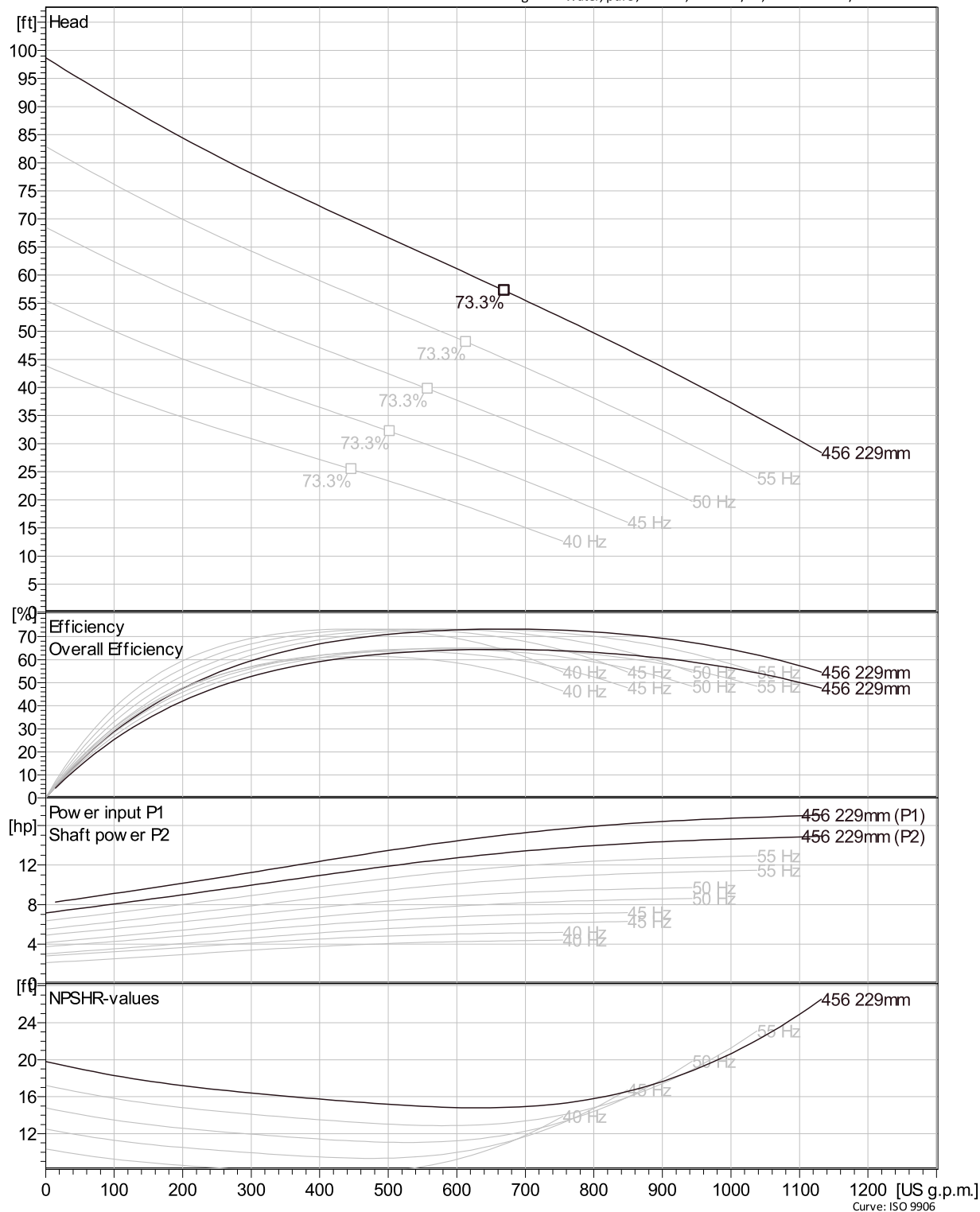
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NP 3153 HT 3~ 456

VFD Curve



Curves according to: Water, pure, 39.2 °F, 62.43 lb/ft³, 1.6888E-5 ft²/s



Project

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Created by

Garrett Queener

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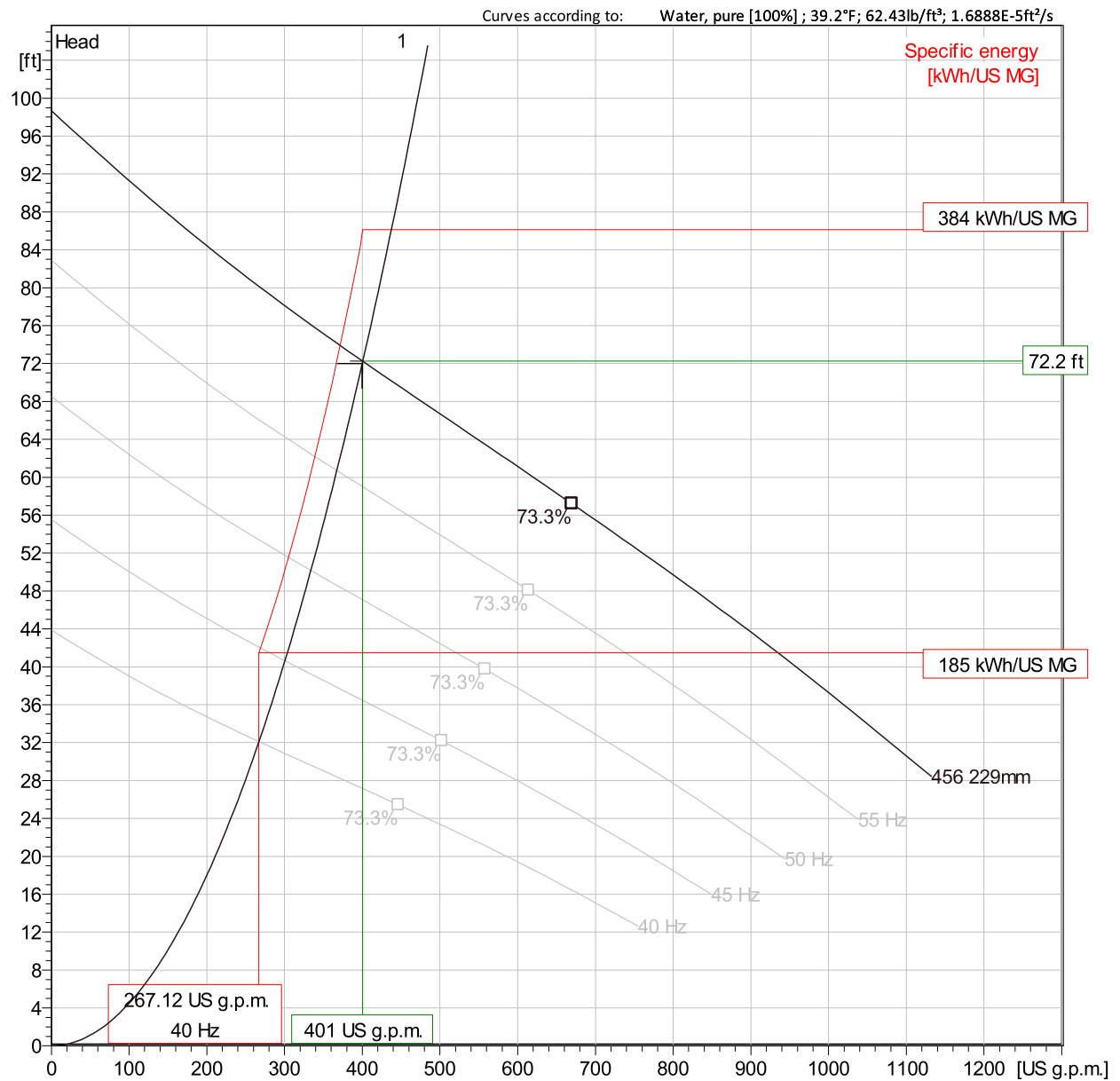
10/7/2022

Last update 10/7/2022

Curve: ISO 9906

NP 3153 HT 3~ 456

VFD Analysis



Operating Characteristics

Pumps / Systems	Frequency	Flow	Head	Shaft power	Flow	Head	Shaft power	Hydr. eff.	Specific energy	NPSH _{re}
		US g.p.m.	ft	hp	US g.p.m.	ft	hp		kWh/US MG	
1	60 Hz	401	72.2	11	401	72.2	11	66.9 %	384	15.7
1	55 Hz	367	60.7	8.44	367	60.7	8.44	66.9 %	322	13.7
1	50 Hz	334	50.2	6.34	334	50.2	6.34	66.9 %	269	11.8
1	45 Hz	301	40.6	4.62	301	40.6	4.62	66.9 %	224	9.93

Project

Block 0

Created by

Garrett Queener

Created on

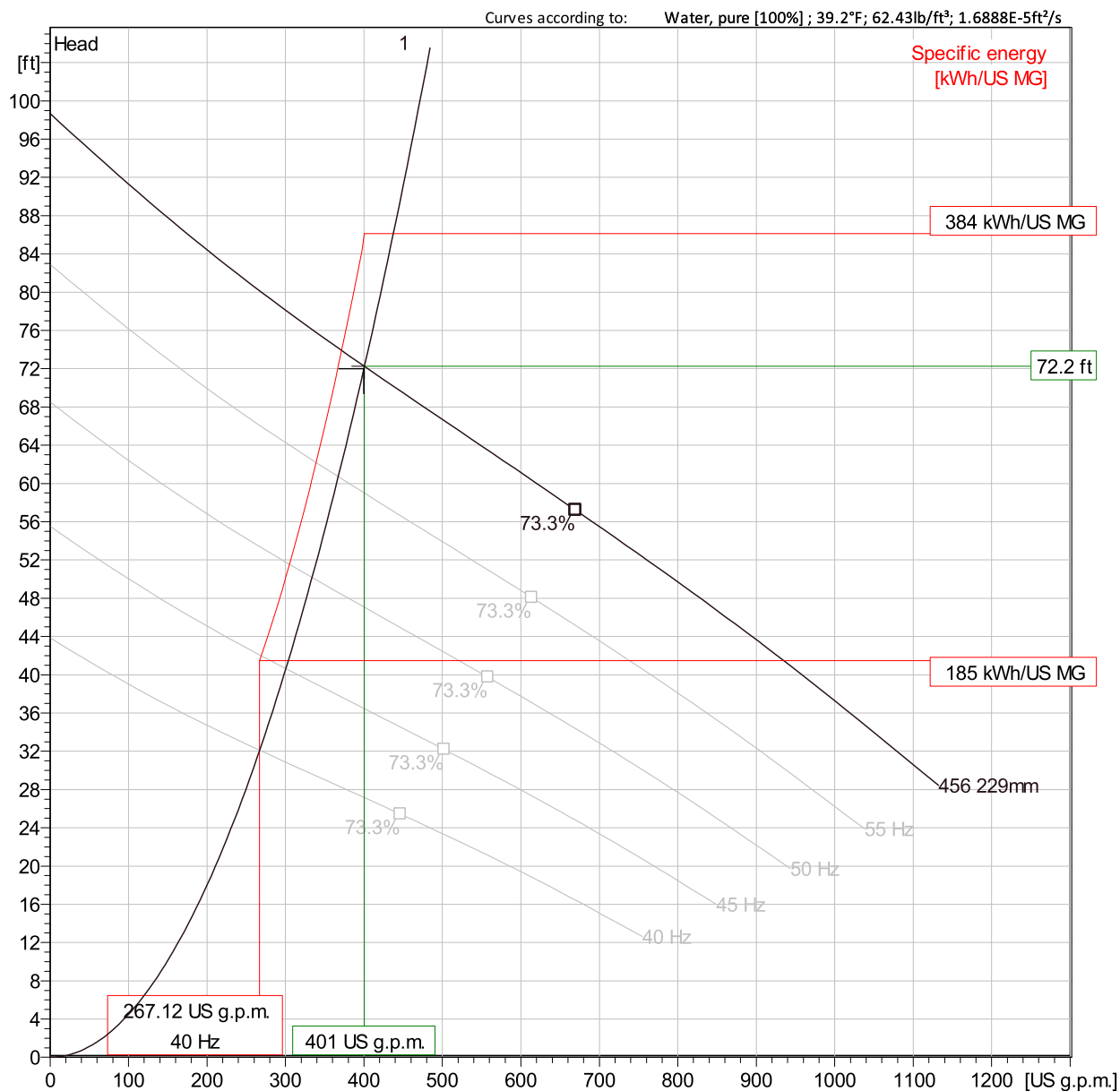
10/7/2022

Last update

10/7/2022

NP 3153 HT 3~ 456

VFD Analysis



Operating Characteristics

Pumps / Systems	Frequency	Flow US g.p.m.	Head ft	Shaft power hp	Flow US g.p.m.	Head ft	Shaft power hp	Hydr. eff.	Specific energy kWh/US MG	NPSHre ft
1	40 Hz	267	32.1	3.25	267	32.1	3.25	66.9 %	185	8.23

Project

Block 0

Created by

Garrett Queener

Created on

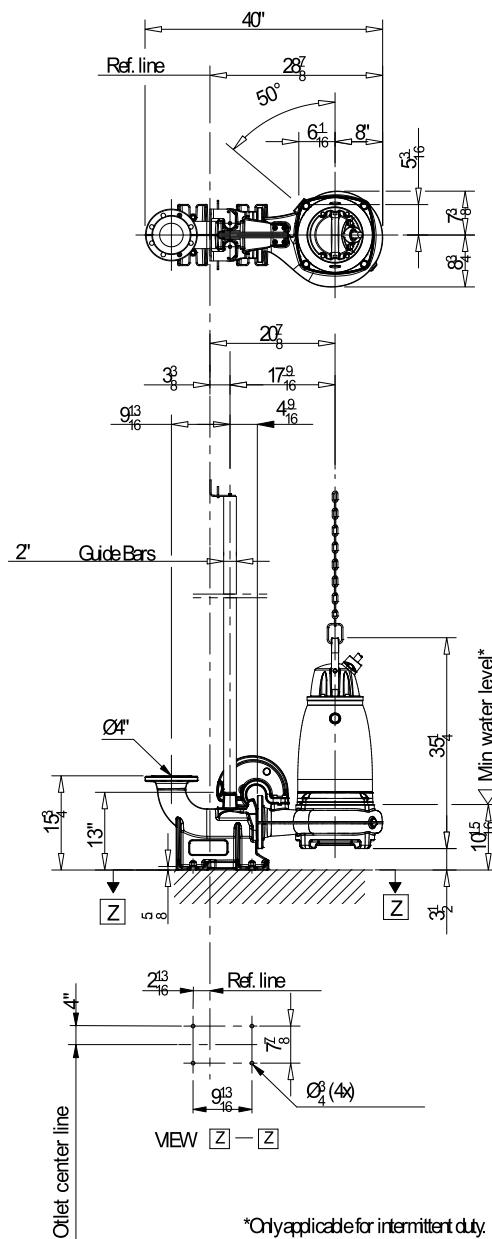
10/7/2022

Last update

10/7/2022

NP 3153 HT 3~ 456

Dimensional drawing



*Only applicable for intermittent duty.

Consult the IOM for more info

12/10/2021

Weight (lbs)

Pump 465 Disch 95

Scale 1:20 Date 2/20/22

Drawing number 6504500 Revision 13

Project

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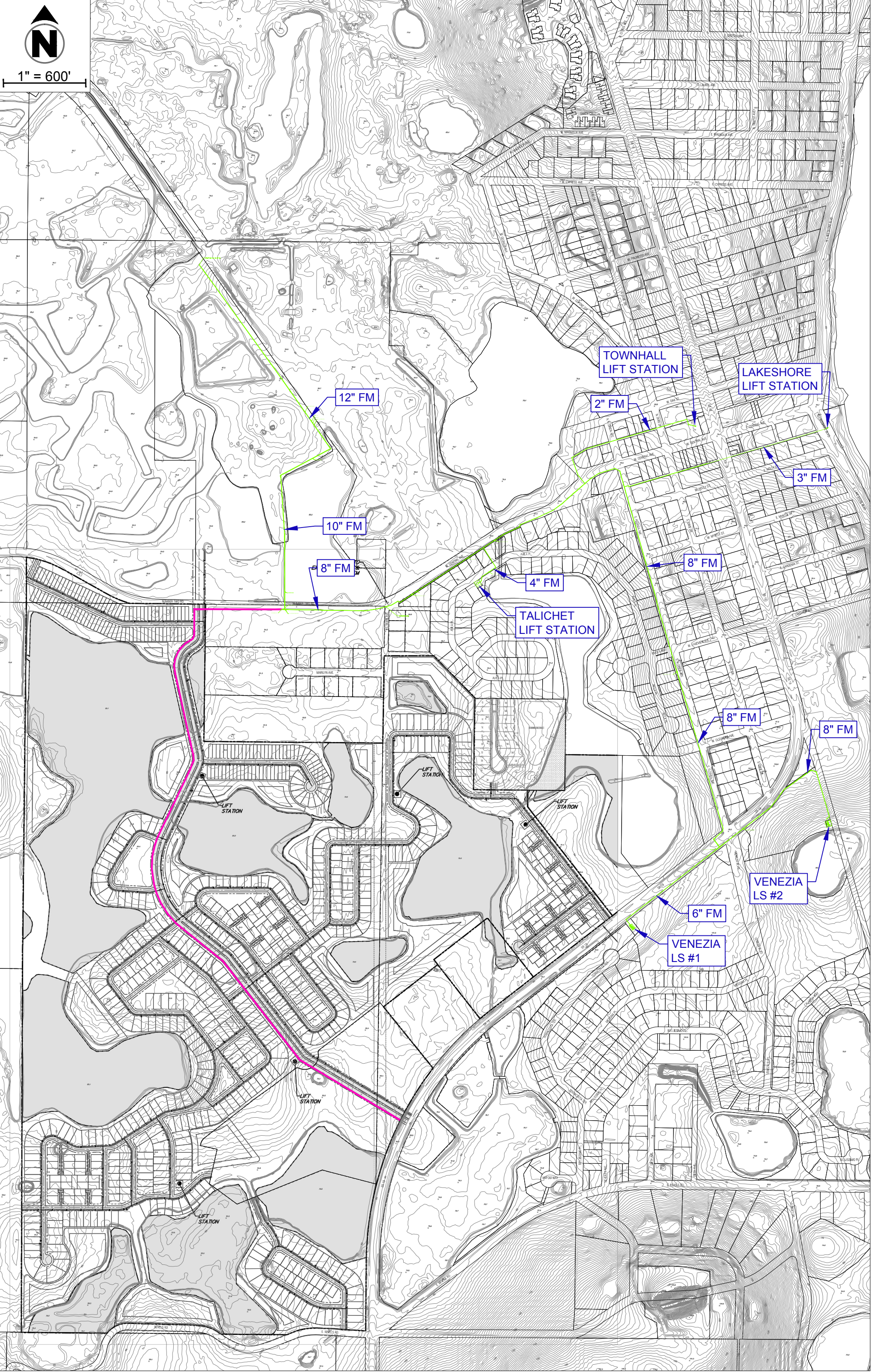
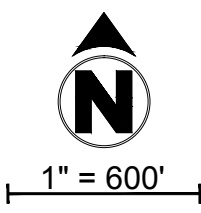
Created by

Garrett Queener

Created on

10/7/2022 Last update

10/7/2022



WASTEWATER MASTER PLAN

Town of Howey in the Hills Public Wastewater System

Prepared For:



Prepared By:



October 2018

APPENDIX C

Venezia's Existing Lift Station Calculations

LIFT STATION CALCULATIONS

Venezia Lift Station #1

I. Design Flow Rates:

Parcel ID	Land Use Description	Unit Description	Units	Unit Flow (GPD/Unit)	Average Daily Flow (GPD)	Average Daily Flow (GPM)	Minimum Daily Flow (GPM)	Maximum Daily Flow (GPM)	Peak Daily Flow (GPM)
1	Residential - SF (detached)	dwelling unit	94	300	28,200	20	10	39	78
2	Commercial - Shopping Center	square feet	70,000	0.1	7,000	5	2	10	19
3	Commercial - Shopping Center - Deli	square feet	500	0.4	200	0.1	0.1	0.3	0.6
4	Commercial - Shopping Center - Bakery	square feet	500	0.4	200	0.1	0.1	0.3	0.6
5	Commercial - Shopping Center - Meat	square feet	500	0.75	375	0.3	0.1	0.5	1.0
6	Commercial - Restaurant <16 hrs	seat	300	40	12,000	8	4	17	33
7					0	0	0	0	0
8					0	0	0	0	0
9					0	0	0	0	0
10					0	0	0	0	0
Total					47,975	33	17	67	133
Design Peaking Factors:							F _{min}	F _{max}	F _{peak}
							0.5	2.0	4.0

II. Wet Well Dimensions:

<u>Wet Well Configuration:</u>		Duplex
No. of Wet Wells:		1
Layout:		Circular
Inner Diameter =	8.00	feet
Volume =	376	gallons/foot
Total Volume =	376	gallons/foot
Wall Thickness =	8	inches
Outer Diameter =	9.33	feet
Slab Lip =	18	inches
Slab Diameter =	12.33	feet
Slab Thickness =	12	inches

III. Minimum Cycle Time & Storage Volume:

$$T = (V / (Q - S)) + (V / S)$$

Note: T_{min} occurs when $S = 1/2Q$ (Duplex)

$$V = (QT / 4)$$

Where: T = Cycle Time (Min.)
S = Peak Inflow (gpm)
Q = Pump Discharge (gpm)
V = Req. Storage Vol. (gal.)

For Minimum T = 10 Min.
S = 147 GPM

Q = 294 GPM (per pump)
Then V = 735 Gallons
Min. Storage Depth = 1.95 Feet (Pump ON - Pump OFF)

Cycle Time for Peak Flow Condition, T = 10 Minutes > 5 minutes, OK

Note: Allow an additional 50% Storage Depth for Triplex and 100% for Quadplex
Note: Rule of Thumb: Min. Q = 150 gpm

IV. Wet Well Control Levels:

Wet Well Top Elevation	89.00
Assume Ground Water Table @ Elevation	88.50
Influent Gravity Sewer Invert Elev.	71.54
Freeboard =	0.54 Feet
Audible Alarm ON Elevation	71.00
Freeboard =	1.00 Feet
4 TH Pump & Alarm Light ON Elev.	0.00
Freeboard =	0.00 Feet
3 RD Pump & Alarm Light ON Elev.	0.00
Freeboard =	0.00 Feet
2 ND Pump & Alarm Light ON Elev.	70.00
Freeboard =	1.00 Feet
Lead Pump ON Elev.	69.00
Storage Depth =	4.00 Feet
Both Pumps OFF Elev.	65.00
Sump Depth =	1.50 Feet
Wet Well Bottom Elevation	63.50
Total Depth of Wet Well =	25.50 Feet
Station Yard Finish Grade Elevation =	88.50
Minimum Station Yard Width =	25.0 Feet
Min. Station Easement Length & Width =	59.3 Feet
Forcemain High Point Elevation =	125.00 ft
Connection Point Elevation =	0.00 ft
Connection Pressure =	0.00 psi
Static Head for Pumps =	60.00 Feet

V. Buoyancy Calculation:

Structure Rim El. =	89.00	feet
Structure Base El. =	63.50	feet
Structure Depth =	25.50	feet
Structure Volume =	1,282	CF
Wall Volume =	463	CF
Slab Volume =	119	CF
Volume of Concrete =	582	CF
Density of Concrete =	144	lbs/CF
Weight of Concrete =	83,855	lbs.
Volume of Soil Above Slab =	1,302	CF
Density of Soil =	47	lbs/CF
Weight of Soil Above Slab =	61,184	lbs.
Total Resistance Force =	145,040	lbs.
<u>Ground Water Table @ Elevation</u>	88.50	feet
Volume of Water Displaced =	1,830	CF
Density of Water =	62.4	lbs/CF
Total Uplift Force =	114,185	lbs.
Factor of Safety =	1.3	

LIFT STATION CALCULATIONS (Cont'd) Venezia Lift Station #1

VI. Calculation of System Head Curve:

Total Static Head = 60.00 Feet

Pump Selection *Flygt* 15 hp

Model: NP3151. Curve: 63-464-00-4550

Impeller: 253 mm

No. Pumps in Parallel = 1 Duplex

Operating Point = 294 gpm @ 87 ft TDH

OP 2 Pumps = gpm @ ft TDH

OP 3 pumps = gpm @ ft TDH

Wet Well Area = 50.3 sf per wet well

Pump On El. = 66.00 ft

Pump Off El. = 65.00 ft

Storage Volume = 201 cf

1,504 gallons per wet well

Pump On Time = Storage Volume / (Outflow - Inflow)

= 9.4 minutes (Peak)

= 5.8 minutes (Average)

Pump Off Time = Storage Volume / (Inflow)

= 11.3 minutes (Peak)

= 45.1 minutes (Average)

Inflow = 33 gpm (Average)

Inflow = 193 gpm (Peak)

Outflow = 294 gpm

	Station Piping	Force Main Piping									
		New On-Site		New On-Site		New Off-Site		N/A			
Pipe Length (feet)	27	947		5,600		3,140		0			
Pipe Inside Dia. (inches)	6	6		8		10		12			
Pipe Area (Sq.-Ft.)	0.196	0.196		0.349		0.545		0.785			
Pipe Material	DIP	PVC		PVC		PVC		PVC			
Roughness C	100	120		120		120		120			
Fittings:	K-Value	No.	Total	No.	Total	No.	Total	No.	Total	No.	Total
Discharge	1.0	1	1.0	0	0.0	0	0.0	1	1.0	0	0.0
90° Bend	0.6	2	1.2	0	0.0	0	0.0	2	1.2	0	0.0
45° Bend	0.4	2	0.8	4	1.6	4	1.6	4	1.6	0	0.0
22.5° Bend	0.25	0	0.0	4	1.0	4	1.0	4	1.0	0	0.0
11.25° Bend	0.15	0	0.0	0	0.0	0	0.0	0	0.0	0	0.0
Expansion	0.5	0	0.0	1	0.5	1	0.5	0	0.0	0	0.0
Plug Valve	0.4	1	0.4	1	0.4	6	2.4	3	1.2	0	0.0
Check Valve	2.5	1	2.5	0	0.0	0	0.0	0	0.0	0	0.0
Wye Branch	0.5	1	0.5	0	0.0	0	0.0	0	0.0	0	0.0
Contraction	0.5	0	0.0	0	0.0	0	0.0	0	0.0	0	0.0
Total K-Value			6.4		3.5		5.5		6.0		0.0

Step Interval = 25 gpm Add. Manifold Flows (gpm): $\frac{6}{0}$ $\frac{8}{0}$ $\frac{10}{0}$ $\frac{12}{0}$

System Head Curve	Pipe & Fitting Friction Losses in Feet - Velocity in Feet per Second																		Friction Head (feet)	TDH (feet)
	Q (gpm)	6			8			10			12									
	Pipe (ft)	Fittings (ft)	Velocity (fps)	Pipe (ft)	Fittings (ft)	Velocity (fps)	Pipe (ft)	Fittings (ft)	Velocity (fps)	Pipe (ft)	Fittings (ft)	Velocity (fps)	Pipe (ft)	Fittings (ft)	Velocity (fps)					
	0	0.00	0.00	0.0	0.00	0.00	0.0	0.00	0.00	0.0	0.00	0.00	0.0	0.00	0.00	0.0	0.00	60.00		
	25	0.00	0.01	0.3	0.09	0.00	0.3	0.13	0.00	0.2	0.02	0.00	0.1	0.00	0.00	0.0	0.27	60.27		
	50	0.02	0.03	0.6	0.33	0.02	0.6	0.47	0.01	0.3	0.09	0.00	0.2	0.00	0.00	0.0	0.96	60.96		
	75	0.04	0.07	0.9	0.69	0.04	0.9	0.99	0.02	0.5	0.19	0.01	0.3	0.00	0.00	0.0	2.05	62.05		
	100	0.07	0.13	1.1	1.17	0.07	1.1	1.69	0.03	0.6	0.32	0.02	0.4	0.00	0.00	0.0	3.50	63.50		
	125	0.10	0.20	1.4	1.78	0.11	1.4	2.55	0.05	0.8	0.49	0.02	0.5	0.00	0.00	0.0	5.31	65.31		
	150	0.14	0.29	1.7	2.49	0.16	1.7	3.58	0.08	1.0	0.68	0.03	0.6	0.00	0.00	0.0	7.45	67.45		
175	0.19	0.39	2.0	3.31	0.21	2.0	4.76	0.11	1.1	0.91	0.05	0.7	0.00	0.00	0.0	9.93	69.93			
200	0.25	0.51	2.3	4.24	0.28	2.3	6.10	0.14	1.3	1.16	0.06	0.8	0.00	0.00	0.0	12.74	72.74			
225	0.31	0.65	2.6	5.28	0.35	2.6	7.58	0.18	1.4	1.44	0.08	0.9	0.00	0.00	0.0	15.87	75.87			
250	0.38	0.80	2.8	6.42	0.44	2.8	9.21	0.22	1.6	1.75	0.10	1.0	0.00	0.00	0.0	19.31	79.31			
275	0.45	0.97	3.1	7.65	0.53	3.1	10.99	0.26	1.8	2.09	0.12	1.1	0.00	0.00	0.0	23.07	83.07			
294	0.51	1.11	3.3	8.66	0.60	3.3	12.44	0.30	1.9	2.37	0.13	1.2	0.00	0.00	0.0	26.13	86.13			
300	0.53	1.15	3.4	8.99	0.63	3.4	12.91	0.31	1.9	2.46	0.14	1.2	0.00	0.00	0.0	27.13	87.13			
325	0.62	1.35	3.7	10.43	0.74	3.7	14.97	0.37	2.1	2.85	0.16	1.3	0.00	0.00	0.0	31.50	91.50			
350	0.71	1.57	4.0	11.97	0.86	4.0	17.18	0.43	2.2	3.27	0.19	1.4	0.00	0.00	0.0	36.17	96.17			
375	0.81	1.80	4.3	13.60	0.98	4.3	19.51	0.49	2.4	3.71	0.22	1.5	0.00	0.00	0.0	41.13	101.13			
400	0.92	2.05	4.5	15.33	1.12	4.5	21.99	0.56	2.6	4.19	0.25	1.6	0.00	0.00	0.0	46.39	106.39			
425	1.03	2.31	4.8	17.15	1.26	4.8	24.60	0.63	2.7	4.68	0.28	1.7	0.00	0.00	0.0	51.95	111.95			
450	1.15	2.59	5.1	19.06	1.42	5.1	27.35	0.70	2.9	5.21	0.31	1.8	0.00	0.00	0.0	57.79	117.79			
475	1.27	2.89	5.4	21.07	1.58	5.4	30.22	0.78	3.0	5.75	0.35	1.9	0.00	0.00	0.0	63.93	123.93			
500	1.41	3.20	5.7	23.18	1.75	5.7	33.23	0.87	3.2	6.33	0.39	2.0	0.00	0.00	0.0	70.35	130.35			
525	1.54	3.53	6.0	25.37	1.93	6.0	36.37	0.96	3.4	6.93	0.43	2.1	0.00	0.00	0.0	77.05	137.05			
550	1.69	3.87	6.2	27.65	2.12	6.2	39.65	1.05	3.5	7.55	0.47	2.2	0.00	0.00	0.0	84.04	144.04			
575	1.83	4.23	6.5	30.03	2.31	6.5	43.04	1.15	3.7	8.20	0.51	2.3	0.00	0.00	0.0	91.31	151.31			
600	1.99	4.61	6.8	32.49	2.52	6.8	46.57	1.25	3.8	8.87	0.56	2.5	0.00	0.00	0.0	98.86	158.86			
625	2.15	5.00	7.1	35.05	2.73	7.1	50.23	1.36	4.0	9.56	0.61	2.6	0.00	0.00	0.0	106.68	166.68			
650	2.32	5.41	7.4	37.69	2.96	7.4	54.01	1.47	4.1	10.28	0.66	2.7	0.00	0.00	0.0	114.79	174.79			
675	2.49	5.83	7.7	40.42	3.19	7.7	57.92	1.59	4.3	11.03	0.71	2.8	0.00	0.00	0.0	123.16	183.16			
700	2.67	6.27	7.9	43.24	3.43	7.9	61.95	1.70	4.5	11.80	0.76	2.9	0.00	0.00	0.0	131.81	191.81			
725	2.85	6.72	8.2	46.14	3.68	8.2	66.10	1.83	4.6	12.59	0.82	3.0	0.00	0.00	0.0	140.74	200.74			
750	3.04	7.20	8.5	49.13	3.94	8.5	70.39	1.96	4.8	13.40	0.87	3.1	0.00	0.00	0.0	149.93	209.93			

LIFT STATION CALCULATIONS

Venezia Lift Station #2

I. Design Flow Rates:

Parcel ID	Land Use Description	Unit Description	Units	Unit Flow (GPD/Unit)	Average Daily Flow (GPD)	Average Daily Flow (GPM)	Minimum Daily Flow (GPM)	Maximum Daily Flow (GPM)	Peak Daily Flow (GPM)
1	Residential - SF (detached)	dwelling unit	77	300	23,100	16	8	32	64
2	Residential - SF (attached)	dwelling unit	113	300	33,900	24	12	47	94
3	Institutional - School	student	494	33	16,302	11	6	23	45
4				0	0	0	0	0	0
5				0	0	0	0	0	0
6				0	0	0	0	0	0
7				0	0	0	0	0	0
8				0	0	0	0	0	0
9				0	0	0	0	0	0
10				0	0	0	0	0	0
Total					73,302	51	25	102	204
Design Peaking Factors:							F _{min}	F _{max}	F _{peak}
							0.5	2.0	4.0

II. Wet Well Dimensions:

<u>Wet Well Configuration:</u>		Duplex
No. of Wet Wells:		1
Layout:		Circular
Inner Diameter =	8.00	feet
Volume =	376	gallons/foot
Total Volume =	376	gallons/foot
Wall Thickness =	8	inches
Outer Diameter =	9.33	feet
Slab Lip =	18	inches
Slab Diameter =	12.33	feet
Slab Thickness =	12	inches

III. Minimum Cycle Time & Storage Volume:

$$T = (V / (Q - S)) + (V / S)$$

Note: T_{min} occurs when $S = 1/2Q$ (Duplex)

$$V = (QT / 4)$$

Where: T = Cycle Time (Min.)
S = Peak Inflow (gpm)
Q = Pump Discharge (gpm)
V = Req. Storage Vol. (gal.)

For Minimum T = 10 Min.
S = 163 GPM

Q = 326 GPM (per pump)
Then V = 815 Gallons
Min. Storage Depth = 2.17 Feet (Pump ON - Pump OFF)

Cycle Time for Peak Flow Condition, T = 10 Minutes > 5 minutes, OK

Note: Allow an additional 50% Storage Depth for Triplex and 100% for Quadplex
Note: Rule of Thumb: Min. Q = 150 gpm

IV. Wet Well Control Levels:

Wet Well Top Elevation	82.00	
Assume Ground Water Table @ Elevation	81.50	
Influent Gravity Sewer Invert Elev.	61.72	
Freeboard =	0.72	Feet
Audible Alarm ON Elevation	61.00	
Freeboard =	1.00	Feet
4 TH Pump & Alarm Light ON Elev.	0.00	
Freeboard =	0.00	Feet
3 RD Pump & Alarm Light ON Elev.	0.00	
Freeboard =	0.00	Feet
2 ND Pump & Alarm Light ON Elev.	60.00	
Freeboard =	1.00	Feet
Lead Pump ON Elev.	59.00	
Storage Depth =	3.00	Feet
Both Pumps OFF Elev.	56.00	
Sump Depth =	1.50	Feet
Wet Well Bottom Elevation	54.50	
Total Depth of Wet Well =	27.50	Feet
Station Yard Finish Grade Elevation =	81.50	
Minimum Station Yard Width =	27.0	Feet
Min. Station Easement Length & Width =	63.3	Feet
Force Main High Point Elevation =	125.00	ft
Connection Point Elevation =	0.00	ft
Connection Pressure =	0.00	psi
Static Head for Pumps =	69.00	Feet

V. Buoyancy Calculation:

Structure Rim El. =	82.00	feet
Structure Base El. =	54.50	feet
Structure Depth =	27.50	feet
Structure Volume =	1,382	CF
Wall Volume =	499	CF
Slab Volume =	119	CF
Volume of Concrete =	619	CF
Density of Concrete =	144	lbs/CF
Weight of Concrete =	89,083	lbs.
Volume of Soil Above Slab =	1,404	CF
Density of Soil =	47	lbs/CF
Weight of Soil Above Slab =	65,983	lbs.
Total Resistance Force =	155,066	lbs.
Ground Water Table @ Elevation	81.50	feet
Volume of Water Displaced =	1,967	CF
Density of Water =	62.4	lbs/CF
Total Uplift Force =	122,724	lbs.
Factor of Safety =	1.3	

LIFT STATION CALCULATIONS (Cont'd) Venezia Lift Station #2

VI. Calculation of System Head Curve:

Total Static Head = 69.00 Feet

	Station Piping		Force Main Piping							
			New On-Site		New On-Site		New Off-Site		N/A	
Pipe Length (feet)	30		1,260		5,600		3,140		0	
Pipe Inside Dia. (inches)	6		8		8		10		12	
Pipe Area (Sq.-ft.)	0.196		0.349		0.349		0.545		0.785	
Pipe Material	DIP		PVC		PVC		PVC		PVC	
Roughness C	100		120		120		120		120	
Fittings:	K-Value		No.		Tot.K		No.		Tot.K	
Discharge	1.0		1	1.0	0	0.0	0	0.0	0	0.0
90° Bend	0.6		2	1.2	0	0.0	0	0.0	2	1.2
45° Bend	0.4		2	0.8	4	1.6	4	1.6	0	0.0
22.5° Bend	0.25		0	0.0	4	1.0	4	1.0	0	0.0
11.25° Bend	0.15		0	0.0	0	0.0	0	0.0	0	0.0
Expansion	0.5		0	0.0	1	0.5	0	0.0	0	0.0
Plug Valve	0.4		1	0.4	2	0.8	6	2.4	3	1.2
Check Valve	2.5		1	2.5	0	0.0	0	0.0	0	0.0
Wye Branch	0.5		1	0.5	0	0.0	0	0.0	0	0.0
Contraction	0.5		0	0.0	0	0.0	0	0.0	0	0.0
Total K-Value				6.4		3.9		5.5		6.0

Pump Selection *Flygt* 15 hp
 Model: CP3152. Curve: 63-487-00-3855
 Impeller: 265 mm
 No. Pumps in Parallel = 1 Duplex
 Operating Point = 326 gpm @ 94 ft TDH
 OF 2 Pumps = gpm @ ft TDH
 OP 3 pumps = gpm @ ft TDH

Wet Well Area = 50.3 sq per wet well
 Pump On El. = 59.00 ft
 Pump Off El. = 56.00 ft
 Storage Volume = 151 cf
 1,128 gallons per wet well

Pump On Time = Storage Volume / (Outflow - Inflow)
 = 9.2 minutes (Peak)
 = 4.1 minutes (Average)
 Pump Off Time = Storage Volume / (Inflow)
 = 5.5 minutes (Peak)
 = 22.2 minutes (Average)

Inflow = 51 gpm (Average)
 Inflow = 204 gpm (Peak)
 Outflow = 326 gpm

Step Interval = 25 gpm Add. Manifold Flows (gpm): 8 8 10 12
 0 0 0 0

System Head Curve	Pipe & Fitting Friction Losses in Feet - Velocity in Feet per Second																	
	Q (gpm)	6			8			8			10			12			Friction Head (feet)	TDH (feet)
		Pipe (ft)	Fittings (ft)	Velocity (fps)	Pipe (ft)	Fittings (ft)	Velocity (fps)	Pipe (ft)	Fittings (ft)	Velocity (fps)	Pipe (ft)	Fittings (ft)	Velocity (fps)	Pipe (ft)	Fittings (ft)	Velocity (fps)		
	0	0.00	0.00	0.0	0.00	0.00	0.0	0.00	0.00	0.0	0.00	0.00	0.0	0.00	0.00	0.0	0.00	69.00
	25	0.01	0.01	0.3	0.03	0.00	0.2	0.13	0.00	0.2	0.02	0.00	0.1	0.00	0.00	0.0	0.20	69.20
	50	0.02	0.03	0.6	0.11	0.01	0.3	0.47	0.01	0.3	0.09	0.00	0.2	0.00	0.00	0.0	0.73	69.73
	75	0.04	0.07	0.9	0.23	0.01	0.5	0.99	0.02	0.5	0.19	0.01	0.3	0.00	0.00	0.0	1.56	70.56
	100	0.07	0.13	1.1	0.39	0.02	0.6	1.69	0.03	0.6	0.32	0.02	0.4	0.00	0.00	0.0	2.67	71.67
	125	0.11	0.20	1.4	0.58	0.04	0.8	2.55	0.05	0.8	0.49	0.02	0.5	0.00	0.00	0.0	4.05	73.05
	150	0.15	0.29	1.7	0.82	0.06	1.0	3.58	0.08	1.0	0.68	0.03	0.6	0.00	0.00	0.0	5.69	74.69
175	0.21	0.39	2.0	1.09	0.08	1.1	4.76	0.11	1.1	0.91	0.05	0.7	0.00	0.00	0.0	7.58	76.58	
200	0.26	0.51	2.3	1.39	0.10	1.3	6.10	0.14	1.3	1.16	0.06	0.8	0.00	0.00	0.0	9.73	78.73	
225	0.33	0.65	2.6	1.73	0.12	1.4	7.58	0.18	1.4	1.44	0.08	0.9	0.00	0.00	0.0	12.11	81.11	
250	0.40	0.80	2.8	2.10	0.15	1.6	9.21	0.22	1.6	1.75	0.10	1.0	0.00	0.00	0.0	14.74	83.74	
275	0.48	0.97	3.1	2.51	0.19	1.8	10.99	0.26	1.8	2.09	0.12	1.1	0.00	0.00	0.0	17.61	86.61	
300	0.57	1.16	3.4	2.95	0.22	1.9	12.91	0.31	1.9	2.46	0.14	1.2	0.00	0.00	0.0	20.72	89.72	
325	0.66	1.35	3.7	3.42	0.26	2.1	14.97	0.37	2.1	2.85	0.16	1.3	0.00	0.00	0.0	24.05	93.05	
350	0.77	1.57	4.0	3.92	0.30	2.2	17.16	0.43	2.2	3.27	0.19	1.4	0.00	0.00	0.0	27.62	96.62	
375	0.87	1.80	4.3	4.46	0.35	2.4	19.51	0.49	2.4	3.71	0.22	1.5	0.00	0.00	0.0	31.41	100.41	
400	0.99	2.05	4.6	5.03	0.39	2.6	21.99	0.56	2.6	4.19	0.25	1.6	0.00	0.00	0.0	35.44	104.44	
425	1.11	2.31	4.8	5.62	0.45	2.7	24.60	0.63	2.7	4.68	0.28	1.7	0.00	0.00	0.0	39.68	108.68	
450	1.23	2.59	5.1	6.25	0.50	2.9	27.35	0.70	2.9	5.21	0.31	1.8	0.00	0.00	0.0	44.15	113.15	
475	1.37	2.89	5.4	6.91	0.56	3.0	30.22	0.78	3.0	5.75	0.35	1.9	0.00	0.00	0.0	48.83	117.83	
500	1.51	3.20	5.7	7.60	0.62	3.2	33.23	0.87	3.2	6.33	0.39	2.0	0.00	0.00	0.0	53.74	122.74	
525	1.65	3.53	6.0	8.32	0.68	3.4	36.37	0.96	3.4	6.93	0.43	2.1	0.00	0.00	0.0	58.87	127.87	
550	1.81	3.87	6.2	9.07	0.75	3.5	39.65	1.05	3.5	7.55	0.47	2.2	0.00	0.00	0.0	64.21	133.21	
575	1.96	4.23	6.5	9.85	0.82	3.7	43.04	1.15	3.7	8.20	0.51	2.3	0.00	0.00	0.0	69.76	138.76	
600	2.13	4.61	6.8	10.66	0.89	3.8	46.57	1.25	3.8	8.87	0.56	2.5	0.00	0.00	0.0	75.53	144.53	
625	2.30	5.00	7.1	11.49	0.96	4.0	50.23	1.36	4.0	9.56	0.61	2.6	0.00	0.00	0.0	81.51	150.51	
650	2.48	5.41	7.4	12.36	1.04	4.1	54.01	1.47	4.1	10.28	0.66	2.7	0.00	0.00	0.0	87.71	156.71	
675	2.66	5.83	7.7	13.25	1.12	4.3	57.92	1.59	4.3	11.03	0.71	2.8	0.00	0.00	0.0	94.11	163.11	
700	2.86	6.27	7.9	14.18	1.21	4.5	61.95	1.70	4.5	11.80	0.76	2.9	0.00	0.00	0.0	100.72	169.72	
725	3.05	6.72	8.2	15.13	1.30	4.6	66.10	1.83	4.6	12.59	0.82	3.0	0.00	0.00	0.0	107.54	176.54	
750	3.26	7.20	8.5	16.11	1.39	4.8	70.39	1.96	4.8	13.40	0.87	3.1	0.00	0.00	0.0	114.57	183.57	

APPENDIX D

Venezia's Existing Lift Station Record Drawings

RTU SYSTEM SPECIFICATIONS:

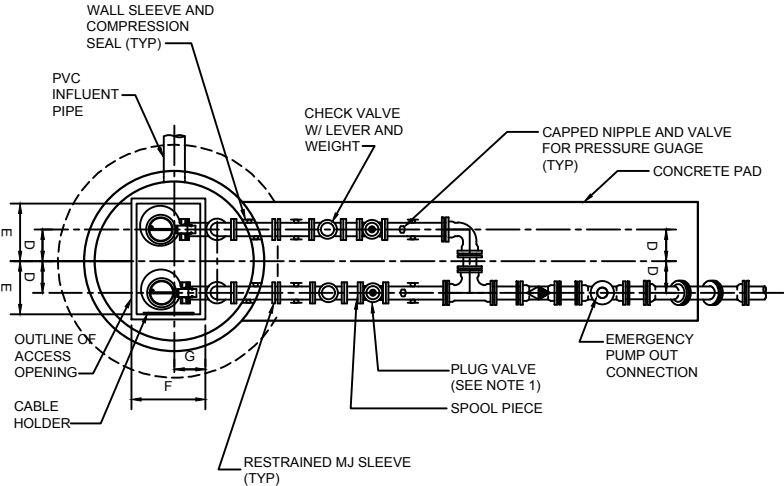
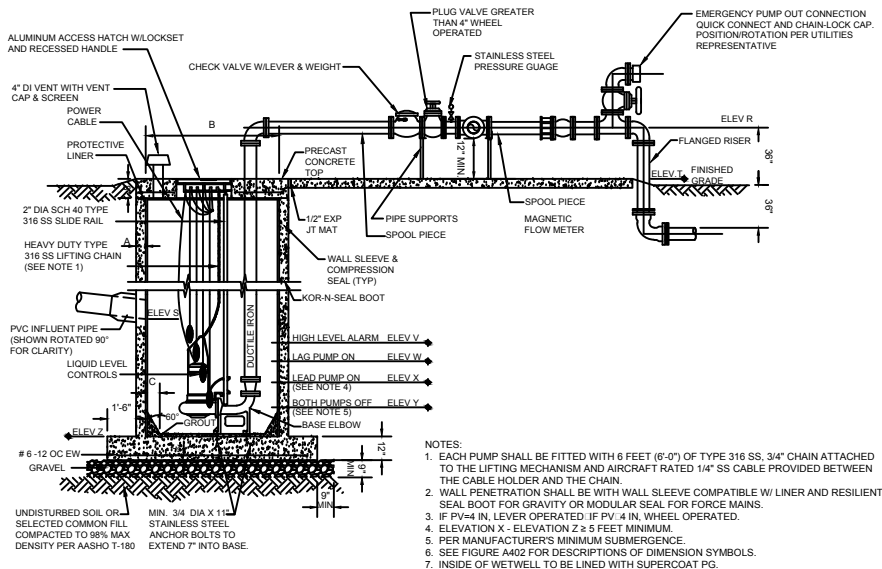
- A MICROPROCESSOR-BASED PUMP CONTROLLER/TRANSCIEVER (CC) MODEL SIEMENS WATER TECHNOLOGIES LC-150 SHALL BE PROVIDED.
- THE RTU SHALL BE MOUNTED IN A NEMA 3R 316 STAINLESS STEEL ENCLOSURE ADJACENT TO THE PUMP CONTROL PANEL AND SHALL BE PROVIDED WITH A CLASS II UL LISTED TRANSFORMER/POWER SUPPLY.
- STANDARDS:
 - FCC PART 15, SUBPART J, CLASS A - RADIO EMISSIONS
 - ANSI/IEEE C37.90 - SURGE WITHSTAND CAPABILITY
 - ANSI/IPC-S815A - QUALITY CONTROL
- APPROVED SYSTEM SUPPLIER IS SIEMENS WATER TECHNOLOGIES. CONTACT RON ROBINETTE 800-247-0880.

GENERAL NOTES:

- COATING SHALL BE AS SCHEDULED IN TABLE BELOW.
- ALL LOCATIONS WHERE GRAVITY PIPES ENTER OR LEAVE THE WET WELL SHALL BE MADE WATERTIGHT WITH AN APPROVED BOOT.
- ALL LOCATIONS WHERE PRESSURE PIPES ENTER THE WET WELL SHALL BE MADE WATERTIGHT WITH A WALL SLEEVE AND SEAL.
- THERE SHALL BE NO VALVES OR ELECTRICAL JUNCTION BOXES IN THE WET WELL.
- WET WELL COVERS SHALL BE ALUMINUM WITH 316 STAINLESS STEEL HARDWARE WITH LOCK BRACKET.
- ALL HARDWARE IN WET WELL SHALL BE 316 STAINLESS STEEL.
- PUMP SUBMERGENCE REQUIREMENTS SHALL BE MET AS MINIMUM.
- ALL CONNECTIONS IN THE WET WELL SHALL BE FLANGED JOINTS. ALL REMAINING CONNECTIONS BETWEEN THE WET WELL AND THE CONNECTION TO THE FORCE MAIN SHALL BE RESTRAINED MECHANICAL JOINTS.
- CHECK VALVE ARM SHALL BE LOCATED WITH THE SAME ORIENTATION (ALL ARMS ON THE LEFT SIDE OF VALVE).

PUMP STATION COATING SCHEDULE		
AREA	APPLICABLE COATING	NOTES
Outside Wet Well	Standard Coating System	Consult CS-S5
Inside Wet Well	Waterproofing System	See PG 1000-1000
Finished Bottom of Wet Well	100% Solid Epoxy Coating	Minimum 2 mils thick
Wet Well Piping	Double End Pipe Coating and Liner (or 100% Solid Epoxy Coating)	Protect 401 Corrosion Resistant
Electric Motor Enclosure	Protective Finish Paint (Field Paint) and Protective Finish (Factory)	Protect 37-77 H.C. Paint Protect 2H Finish

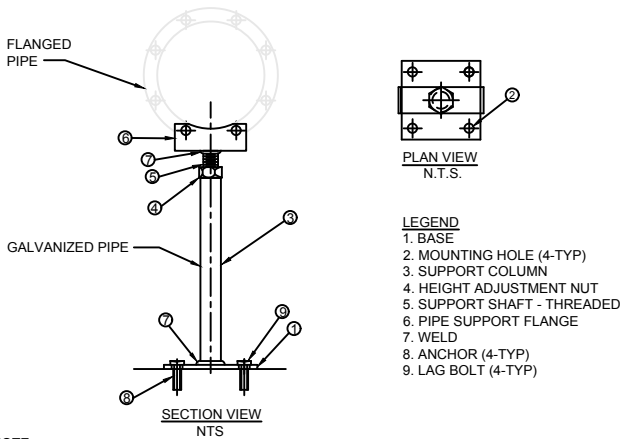
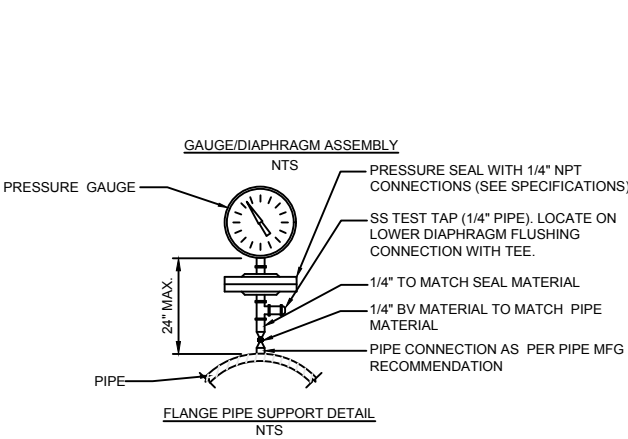
PUMP STATION GENERAL NOTES



- NOTES:
- IF PV=4 IN, LEVER OPERATED; IF PV=4 IN, WHEEL OPERATED.
 - SEE FIGURE A402 FOR DESCRIPTIONS OF DIMENSION SYMBOLS.

DUPLEX PUMP STATION PLAN

FIGURE A404-2



- NOTE:
- ALL PIPING TO BE 316 SS OR BRASS

PUMP DATA	
WETWELL INSIDE DIA. 8"0"	
FLYGT SUBMERSIBLE PUMPS	
MODEL NUMBER NP3153.181	
IMPELLER 253	
HORSE POWER 15	
G.P.M. 294 T.D.H. 87.0	
ELECTRICAL REQUIREMENTS 230 V	
3 PHASE	

- NOTE: ELECTRICAL REQUIREMENT TO BE VERIFIED BY CONTRACTOR.

PUMP DATA	
WETWELL INSIDE DIA. 8"0"	
FLYGT SUBMERSIBLE PUMPS	
MODEL NUMBER CP3152.181	
IMPELLER 265	
HORSE POWER 15	
G.P.M. 326 T.D.H. 94.0	
ELECTRICAL REQUIREMENTS 480 V	
3 PHASE	

- NOTE: ELECTRICAL REQUIREMENT TO BE VERIFIED BY CONTRACTOR.

PUMP DATA	
WETWELL INSIDE DIA. 8"0"	
FLYGT SUBMERSIBLE PUMPS	
MODEL NUMBER NP3102	
IMPELLER 135	
HORSE POWER 6.5	
G.P.M. 200 T.D.H. 65.0	
ELECTRICAL REQUIREMENTS 230 V	
3 PHASE	

- NOTE: ELECTRICAL REQUIREMENT TO BE VERIFIED BY CONTRACTOR.

DESCRIPTION	SYMBOL	DIMENSION	ELEVATION
THICKNESS OF WALL	A	8"	—
DIAMETER OF WET WELL	B	8"	—
WIDTH OF BOTTOM FILLET	C	SEE NOTE 1	—
C/L TO C/L OF PUMPS	D	SEE NOTE 1	—
LENGTH OF PUMP ACCESS OPENING	E	SEE NOTE 1	—
WIDTH OF PUMP ACCESS OPENING	F	SEE NOTE 1	—
BASE ELBOW TO EDGE OF PIT	G	SEE NOTE 1	—
VALVE BOX HATCH OPENING	H	5.0'	—
VALVE BOX HATCH OPENING	I	7.0'	—
TOP OF WET WELL	T	—	88.94'
FINISHED GRADE	U	—	88.50'
HIGH LEVEL ALARM	V	—	71.00'
LAG PUMP ON	W	—	70.00'
LEAD PUMP ON	X	SEE NOTE 2	69.00'
PUMPS OFF (TOP OF PUMP VOLUTE)	Y	—	65.00'
FLOOR OF WET WELL	Z	—	63.33'

- NOTE:
- PER PUMP MANUFACTURER'S REQUIREMENTS
 - ELEVATION X - ELEVATION Z ≥ 5 FEET MINIMUM
 - TOP ELEVATION OF WET WELL SHALL BE A MINIMUM OF 1' ABOVE THE 100 YEAR FLOOD ELEVATION AND THE ELEVATION OF THE CROWN OF THE ROAD.

LIFT STATION #1

DESCRIPTION	SYMBOL	DIMENSION	ELEVATION
THICKNESS OF WALL	A	8"	—
DIAMETER OF WET WELL	B	8"	—
WIDTH OF BOTTOM FILLET	C	SEE NOTE 1	—
C/L TO C/L OF PUMPS	D	SEE NOTE 1	—
LENGTH OF PUMP ACCESS OPENING	E	SEE NOTE 1	—
WIDTH OF PUMP ACCESS OPENING	F	SEE NOTE 1	—
BASE ELBOW TO EDGE OF PIT	G	SEE NOTE 1	—
VALVE BOX HATCH OPENING	H	5.0'	—
VALVE BOX HATCH OPENING	I	7.0'	—
TOP OF WET WELL	T	—	82.12'
FINISHED GRADE	U	—	81.50'
HIGH LEVEL ALARM	V	—	61.00'
LAG PUMP ON	W	—	60.00'
LEAD PUMP ON	X	SEE NOTE 2	59.00'
PUMPS OFF (TOP OF PUMP VOLUTE)	Y	—	55.50'
FLOOR OF WET WELL	Z	—	54.29'

- NOTE:
- PER PUMP MANUFACTURER'S REQUIREMENTS
 - ELEVATION X - ELEVATION Z ≥ 5 FEET MINIMUM
 - TOP ELEVATION OF WET WELL SHALL BE A MINIMUM OF 1' ABOVE THE 100 YEAR FLOOD ELEVATION AND THE ELEVATION OF THE CROWN OF THE ROAD.

LIFT STATION #2

DESCRIPTION	SYMBOL	DIMENSION	ELEVATION
THICKNESS OF WALL	A	8"	—
DIAMETER OF WET WELL	B	8"	—
WIDTH OF BOTTOM FILLET	C	SEE NOTE 1	—
C/L TO C/L OF PUMPS	D	SEE NOTE 1	—
LENGTH OF PUMP ACCESS OPENING	E	SEE NOTE 1	—
WIDTH OF PUMP ACCESS OPENING	F	SEE NOTE 1	—
BASE ELBOW TO EDGE OF PIT	G	SEE NOTE 1	—
VALVE BOX HATCH OPENING	H	5.0'	—
VALVE BOX HATCH OPENING	I	7.0'	—
TOP OF WET WELL	T	—	82.00'
FINISHED GRADE	U	—	81.50'
HIGH LEVEL ALARM	V	—	69.00'
LAG PUMP ON	W	—	68.00'
LEAD PUMP ON	X	SEE NOTE 2	67.00'
PUMPS OFF (TOP OF PUMP VOLUTE)	Y	—	65.50'
FLOOR OF WET WELL	Z	—	64.00'

- NOTE:
- PER PUMP MANUFACTURER'S REQUIREMENTS
 - ELEVATION X - ELEVATION Z ≥ 5 FEET MINIMUM
 - TOP ELEVATION OF WET WELL SHALL BE A MINIMUM OF 1' ABOVE THE 100 YEAR FLOOD ELEVATION AND THE ELEVATION OF THE CROWN OF THE ROAD.

LIFT STATION #3

Item 3.

REVISIONS

DATE	DESCRIPTION	BY	CHKD	APP'D
1 6-29-07	ADD ALARM HORN			
2 7-8-08	CHANGE VOLTAGE FOR 1 AND 3 TO 230			
3 4-29-09	A-1111111111111111			
4				
5				
6				
7				

BOOTH ERN STRAUGHAN HOTT

ENGINEERS • SURVEYORS • LAND PLANNERS

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Certificate of Authorization Number: 27029

VENEZIA NORTH & SOUTH
RESIDENTIAL SUBDIVISION
LIFT STATION DETAILS

CHANGED BY: CSH

PROJECT NO.: 040600000

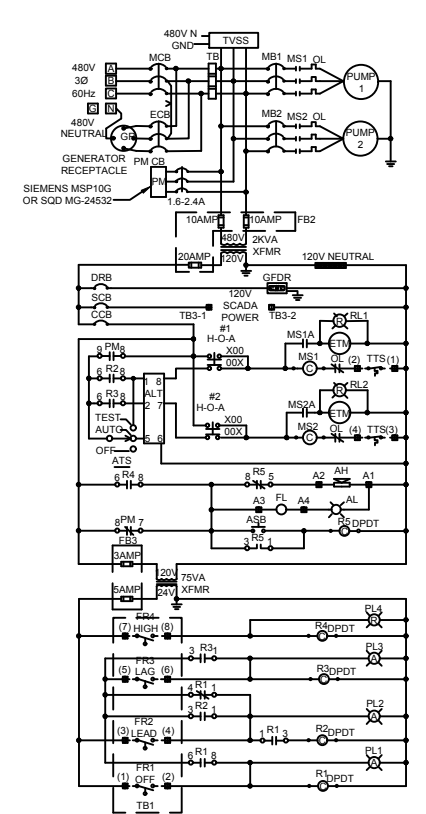
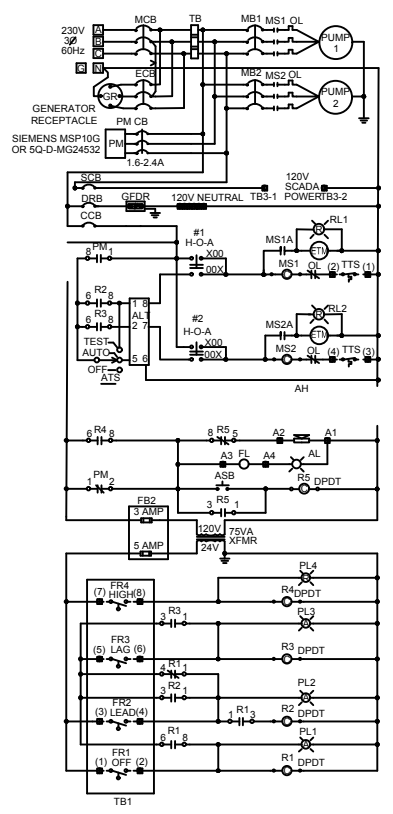
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REVISION/REASON BY: CSH

NO. 47 OF 52

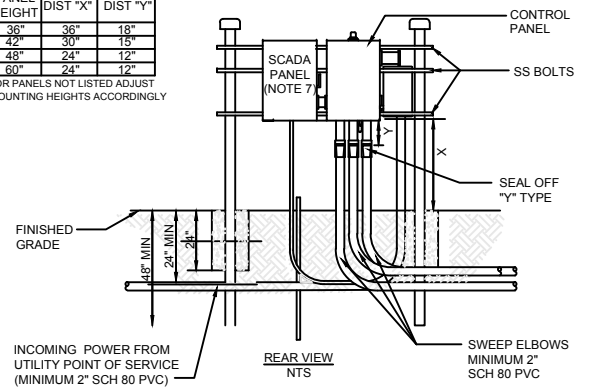
AS-BUILT DRAWING
CHARLES C. HOTT, P.E.
PROFESSIONAL ENGINEER 54813

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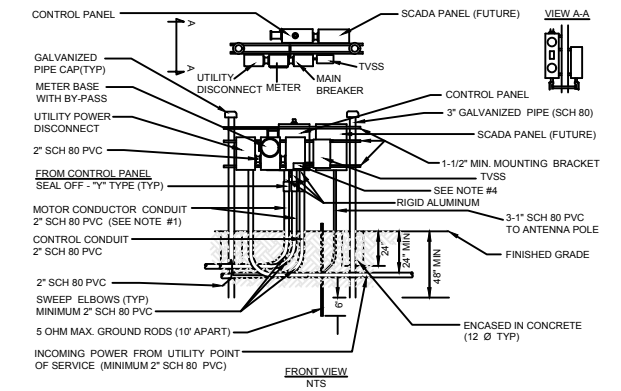


PANEL & SEAL-OFF MOUNTING HEIGHTS		
PANEL HEIGHT	DIST "X"	DIST "Y"
36"	36"	18"
42"	30"	15"
48"	24"	12"
60"	24"	12"

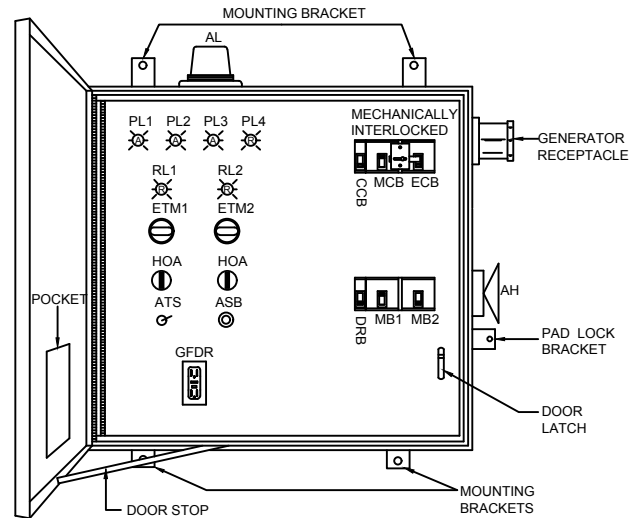
FOR PANELS NOT LISTED ADJUST MOUNTING HEIGHTS ACCORDINGLY



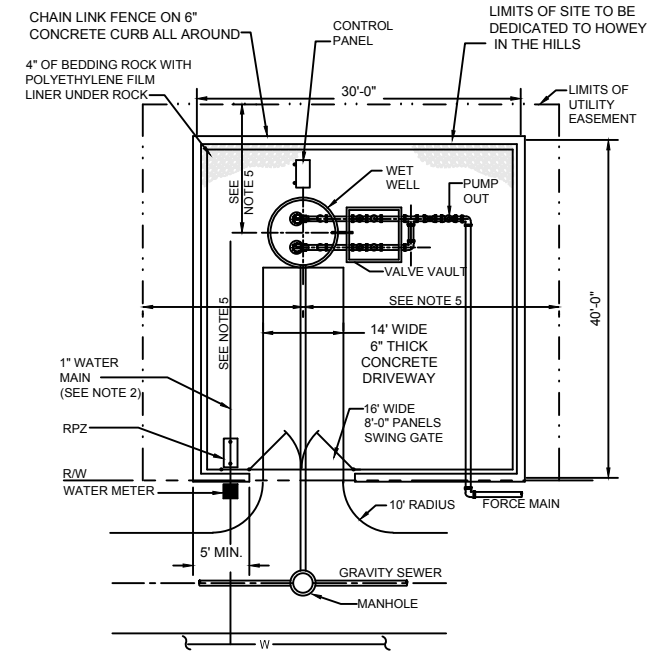
- PANEL INSTALLATION NOTES:**
- PUMP MOTOR CONDUIT SHALL BE SIZE TO ACCOMMODATE 40% CONDUIT FILL. MINIMUM CONDUIT SIZE TO BE 2" SCH 80 PVC.
 - POWER SUPPLY SHALL BE UNDERGROUND ON THE LIFT STATION SITE AND SHALL BE 3-PHASE, FROM A 3-PHASE SOURCE ONLY.
 - AN ELECTRICAL GROUNDING SYSTEM SHALL BE INSTALLED AS PER THE NATIONAL ELECTRICAL CODE, LOCAL CODES AND ORDINANCES. AN UNDERGROUND PERIMETER CABLE GROUNDING SYSTEM SHALL BE INSTALLED WITH CONNECTIONS TO AT LEAST WET WELL COVER, VALVE VAULT COVER, CONTROL PANELS, GENERATOR, UTILITY COMPANY TRANSFORMER, MANUAL DISCONNECT SWITCH, AND METAL FENCE. REFER TO GROUNDING DETAILS.
 - THE STATION NAME, UTILITIES ID NUMBER, AND ADDRESS SHALL BE AFFIXED TO THE FRONT OF THE METER CABINET.
 - ALL MOUNTING HARDWARE AND BRACKETS SHALL BE 316 STAINLESS STEEL.
 - ON A 4-WIRE, DELTA SYSTEM, THE HIGH-LEG SHALL BE IDENTIFIED WITH ORANGE COLOR TAPE AT ALL CONNECTION POINTS AND SHALL BE LOCATED ON THE "B" PHASE AT THE LINE SIDE OF THE MAIN DISCONNECT.
 - THE SCADA PANEL IS TO SHOWN FOR INFORMATION ONLY AND WILL BE INSTALLED IN THE FUTURE (BY OTHERS).



- PANEL INSTALLATION NOTES:**
- PUMP MOTOR CONDUIT SHALL BE SIZE TO ACCOMMODATE 40% CONDUIT FILL. MINIMUM CONDUIT SIZE TO BE 2" SCH 80 PVC.
 - POWER SUPPLY SHALL BE UNDERGROUND ON THE LIFT STATION SITE AND SHALL BE 3-PHASE, FROM A 3-PHASE SOURCE ONLY.
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 - THE STATION NAME, HOWEY IN THE HILLS I.D. NUMBER, AND ADDRESS SHALL BE AFFIXED TO THE FRONT OF THE METER CABINET.
 - ALL MOUNTING HARDWARE & BRACKETS SHALL BE 316 STAINLESS STEEL.
 - ON A 4-WIRE, DELTA SYSTEM, THE HIGH-LEG SHALL BE IDENTIFIED WITH ORANGE COLOR TAPE AT ALL CONNECTION POINTS AND SHALL BE LOCATED ON THE "B" PHASE AT THE LINE SIDE OF THE MAIN DISCONNECT.
 - THE SCADA PANEL IS SHOWN FOR INFORMATION ONLY AND WILL BE INSTALLED IN THE FUTURE (BY OTHERS).

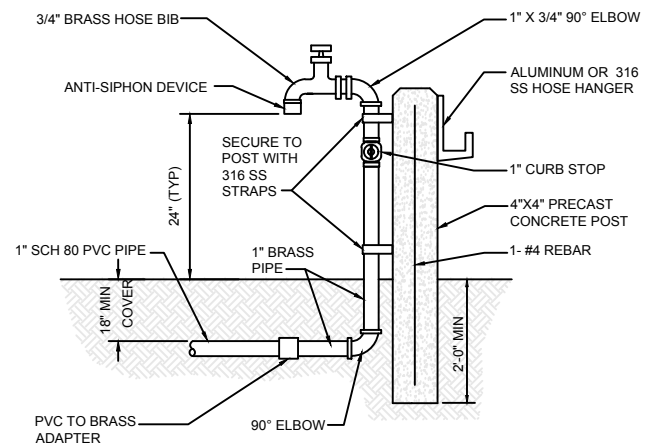


- NOTES:**
- DEADFRONT LAYOUT NEMA TYPE 3R SS ENCLOSURE W/CONTINUOUS HINGE. ALL HARDWARE TYPE 316 SS TYPICAL. ACTUAL LAYOUT MAY VARY WITH HORSEPOWER.
 - THIS CONTROL PANEL, INCLUDING THE GENERATOR RECEPTACLE, COMPLIES WITH THE STANDARD LIST OF COMPONENTS REQUIRED BY UTILITIES.
 - ALL CONTROL WIRE TO BE #14 AWG MINIMUM.
 - CONTROL PANEL SHALL BE UL LISTED AND LABELED.
 - 30 SPARE TERMINALS (TB2).
 - PHASE MONITOR CIRCUIT BREAKER TO BE SEIMENS P/N: MSP10G, OR SQ-D P/N: MG24532.



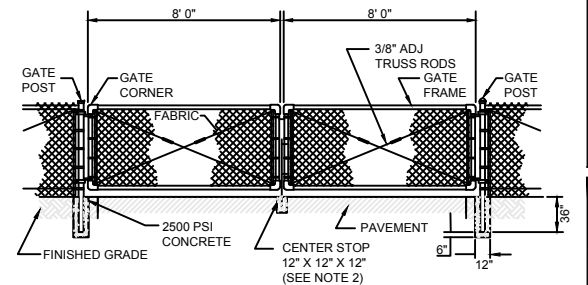
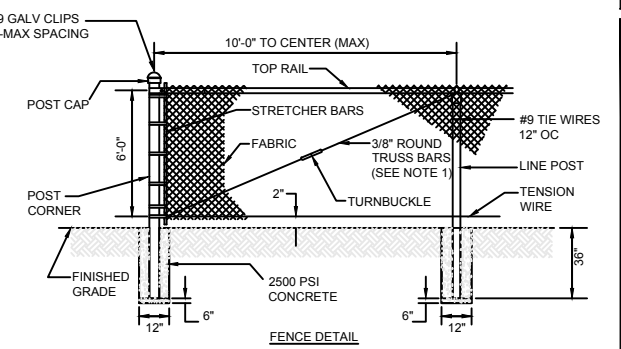
- NOTES:**
- MINIMUM 20' ACCESS DRIVEWAY FROM EDGE OF PAVEMENT TO THE GATE SHALL BE PROVIDED ON NON-RESIDENTIAL ROADS.
 - WASHDOWN WATER SOURCE SHALL BE CONNECTED TO THE POTABLE WATER MAIN.
 - ENGINEER SHALL PROVIDE A SCALED (1" = 20' MIN.) SITE SPECIFIC DETAIL.
 - MINIMUM DISTANCE BETWEEN FENCE AND ALL INSTALLED EQUIPMENT SHALL BE 5'.
 - THIS DIMENSION SHALL BE AT LEAST EQUAL TO THE DEPTH OF THE WET WELL WHEN MEASURED FROM THE CENTER OF THE WET WELL.

SITE PLAN



LEGEND

- AH - ALARM HORN
- AL - ALARM LIGHT
- ASB - ALARM SILENCE BUTTON
- ATS - ALTERNATOR TEST SWITCH
- CCB - CONTROL CIRCUIT BREAKER
- DPDT - DOUBLE POLE DOUBLE THROW
- DRB - DUPLEX RECEPTACLE BREAKER
- ECB - EMERGENCY CIRCUIT BREAKER
- ETM - ELAPSED TIME METER
- F - FUSE
- FB - FUSE BLOCK
- FL - FLASHER
- FR - FLOAT REGULATOR
- GFDR - GROUND FAULT DUPLEX RECEPTACLE
- GR - GENERATOR RECEPTACLE
- HOA - HAND-OFF-AUTO SELECTOR SWITCH
- MB - MOTOR BREAKER
- MCB - MAIN CIRCUIT BREAKER
- MS - MOTOR STARTER
- OL - OVERLOAD
- PL - PILOT LIGHT
- PM - PHASE MONITOR
- R - RELAY
- RL - RUNNING LIGHT
- SCB - SCADA CIRCUIT BREAKER
- TB - TERMINAL BLOCK
- TTS - THERMAL TERMINAL STRIP
- TVSS - TRANSIENT VOLTAGE SURGE SUPPRESSOR
- XFMR - TRANSFORMER



- NOTES:**
- TRUSS BARS ARE REQUIRED FOR EACH GATE SECTION AND THE FIRST SPAN ON EACH SIDE OF A CORNER POST ONLY.
 - PROVIDE CHAIN AND LOCK FOR SECURING GATE.
 - FENCING SHALL BE BLACK, VINYL CLAD.

BOOTH BERN STRAUS & HOTT
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Tallahassee, FL 32301
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Certificate of Authorization Number: 27029

**VENEZIA NORTH & SOUTH
RESIDENTIAL SUBDIVISION
LIFT STATION DETAILS**

DESIGNED BY: CSH
PROJECT NO.: 201600000
DATE: MAY 2017
REVISION/REASON BY: CSH
REV. 48 of 52

CONSTRUCTION PLANS FOR Venezia South Subdivision

*Section 35 & 36, Township 22 South, Range 25 East
Town of Howey in the Hills, Lake County, Florida*

WAIVER REQUEST:
REQUEST WAIVER FOR LENGTH OF CUL - DE- SACs
TERRACOTTA TERRACE TO BE 1410' LF
CALABRIA WAY TO BE 1088' LF
INSTEAD OF THE REQUIRED 600' LF.

SHEET INDEX

1. Cover Sheet
2. Aerial Overlay
3. Master Site Plan Sheet A
4. Master Site Plan Sheet B
5. Boundary & Topographic Survey
6. Boundary & Topographic Survey
7. Boundary & Topographic Survey
8. Land Use Summary Sheet A
9. Land Use Summary Sheet B
10. Utility Plan Sheet A
11. Utility Plan Sheet B
12. Grading Plan Sheet A
13. Grading Plan Sheet B
14. Intersection Details Sheet A
15. Intersection Details Sheet B
16. Erosion Control/S.W.P.P.P. Sheet A
17. Erosion Control/S.W.P.P.P. Sheet B
18. Drainage Plan Sheet A
19. Drainage Plan Sheet B
20. Venezia Boulevard (Sta. 100+00 to 113+50) Plan & Profile
21. Venezia Boulevard (Sta. 113+50 to 119+36.07) Plan & Profile
22. Bellissimo Place (Sta. 200+00 to 214+50) Plan & Profile
23. Bellissimo Place (Sta. 214+50 to 226+50) Plan & Profile
24. Bellissimo Place (Sta. 226+50 to 232+21.41) Plan & Profile
25. Napoli Way Plan & Profile
26. Terracotta Terrace Plan & Profile
27. Messina Place (Sta. 500+00 to 510+00) Plan & Profile
28. Messina Place (Sta. 510+00 to 519+00) Plan & Profile
29. Calabria Way Plan & Profile
30. Tree Location Plan
31. Drainage Cross-Sections
32. Sanitary Sewer Details
33. Lift Station Details
34. Potable Water Details
35. Reclaimed Water Details
36. Paving & Drainage Details
37. General Project Details

OWNER:

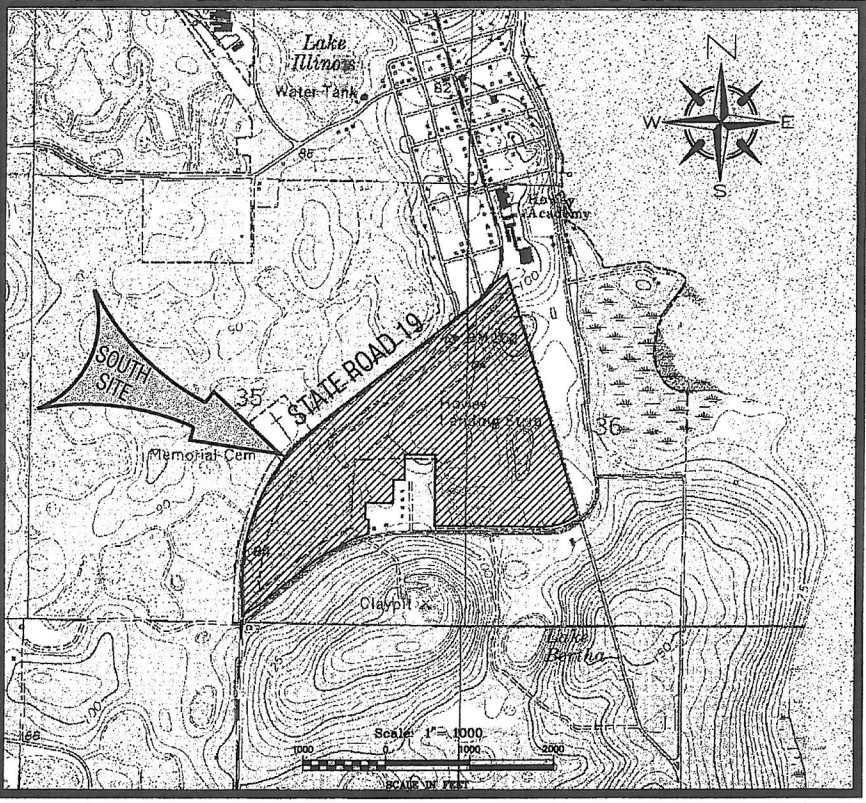
FRED BENNETT
LYKES BROTHERS, INC.
400 NORTH TAMPA STREET
TAMPA, FLORIDA 33601
(813) 470-5509
(813) 470-5020 FAX

DEVELOPER:

FLAGSHIP HARB, LLC
916 HIGHLAND AVENUE
ORLANDO, FLORIDA 32803
(407) 246-1144
(407) 246-1155 FAX
CONTACT: TED BOLIN

ENGINEER:

BOOTH, ERN, STRAUGHAN & HIOTT, INC.
350 NORTH SINCLAIR AVENUE
TAVARES, FLORIDA 32778
(352) 343-8481
CONTACT: CHARLES HIOTT, P.E.



VICINITY MAP

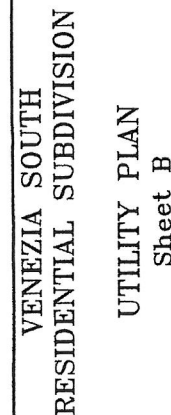
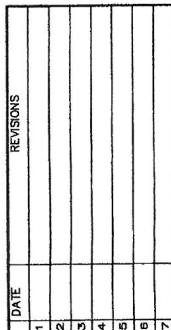
LEGAL DESCRIPTION:

SOUTH PARCEL
A PARCEL OF LAND BEING A PORTION OF "HOWEY-IN-THE-HILLS" (AN UNRECORDED PLAT) LYING IN SECTIONS 35 AND 36, TOWNSHIP 22 SOUTH, RANGE 25 EAST, LAKE COUNTY, FLORIDA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE SOUTHWEST CORNER OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 35, TOWNSHIP 22 SOUTH, RANGE 25 EAST, LAKE COUNTY, FLORIDA; THENCE ALONG THE WEST BOUNDARY OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 35 80°02'16"W, A DISTANCE OF 1208.95 FEET TO A POINT OF INTERSECTION WITH THE SOUTHERLY RIGHT OF WAY LINE OF PALM AVENUE (STATE ROAD NO. 19) SAID POINT BEING THE POINT OF BEGINNING; THENCE ALONG SAID RIGHT OF WAY N51°23'37"E, A DISTANCE OF 1787.45 FEET TO A POINT OF CURVATURE; THENCE ALONG THE ARC OF SAID CURVE 303.86 FEET, CONCAVE NORTHEASTERLY AND HAVING A RADIUS OF 785.56 FEET, A CENTRAL ANGLE OF 22°04'40" AND A CHORD BEARING AND DISTANCE OF N40°08'15"E, 304.84 FEET; THENCE DEPARTING SAID RIGHT OF WAY N52°02'15"E, A DISTANCE OF 248.58 FEET; THENCE N72°56'00"E, A DISTANCE OF 7.90 FEET; THENCE S17°04'35"E, A DISTANCE OF 2208.95 FEET TO A POINT OF INTERSECTION WITH THE NORTHERLY RIGHT OF WAY LINE OF COUNTY ROAD, (A.K.A. REVELS ROAD), SAID POINT BEING A POINT OF CURVATURE; THENCE ALONG SAID RIGHT OF WAY AND THE ARC OF SAID CURVE 440.81 FEET, CONCAVE NORTHERLY, HAVING A RADIUS OF 810.22 FEET, A CENTRAL ANGLE OF 41°40'17" AND A CHORD BEARING AND DISTANCE OF S89°14'52"W, 434.19 FEET TO A POINT OF TANGENCY; THENCE S89°48'55"W, A DISTANCE OF 1287.88 FEET; THENCE DEPART SAID RIGHT OF WAY N03°12'10"W, A DISTANCE OF 849.40 FEET; THENCE S89°48'55"W, A DISTANCE OF 968.14 FEET; THENCE S89°07'05"E, A DISTANCE OF 305.15 FEET; THENCE S89°58'00"W, A DISTANCE OF 135.00 FEET; THENCE S89°08'07"E, A DISTANCE OF 275.35 FEET; THENCE S89°48'05"W, A DISTANCE OF 208.16 FEET; THENCE S89°37'45"W, A DISTANCE OF 200.21 FEET; THENCE N89°47'38"E, A DISTANCE OF 45.00 FEET; THENCE S00°12'22"W, A DISTANCE OF 168.45 FEET TO A POINT OF INTERSECTION WITH THE NORTHERLY RIGHT OF WAY LINE OF SAID COUNTY ROAD, SAID POINT BEING A POINT ON A CURVE; THENCE ALONG SAID RIGHT OF WAY AND THE ARC OF SAID CURVE 189.84 FEET, CONCAVE SOUTHERLY, HAVING A RADIUS OF 3270.02 FEET, A CENTRAL ANGLE OF 9°10'41" AND A CHORD BEARING AND DISTANCE OF S77°29'23"W, 189.81 FEET; THENCE DEPART SAID RIGHT OF WAY LINE S89°21'05"W, A DISTANCE OF 531.85 FEET; THENCE S51°11'58"W, A DISTANCE OF 785.56 FEET; THENCE S52°04'40"E, A DISTANCE OF 308.80 FEET TO THE EASTERLY RIGHT OF WAY LINE OF STATE ROAD NO. 19, SAID RIGHT OF WAY BEING COMPRISED IN PART BY PORTIONS OF MARIE AVENUE AND PALM AVENUE; THENCE ALONG SAID RIGHT OF WAY N00°05'35"E, A DISTANCE OF 488.11 FEET TO A POINT OF CURVATURE; THENCE ALONG THE ARC OF SAID CURVE 2917.24 FEET, CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 2241.83 FEET, A CENTRAL ANGLE OF 51°33'39" AND A CHORD BEARING AND DISTANCE OF N25°36'52"E, 1849.96 FEET TO A POINT OF TANGENCY; THENCE N51°23'37"E, A DISTANCE OF 601.65 FEET TO THE POINT OF BEGINNING.
THENCE S89°50'24"W, A DISTANCE OF 232.67 FEET TO THE POINT OF BEGINNING.

STATE OF FLORIDA CERTIFICATION OF AUTHORIZATION NO. 27029

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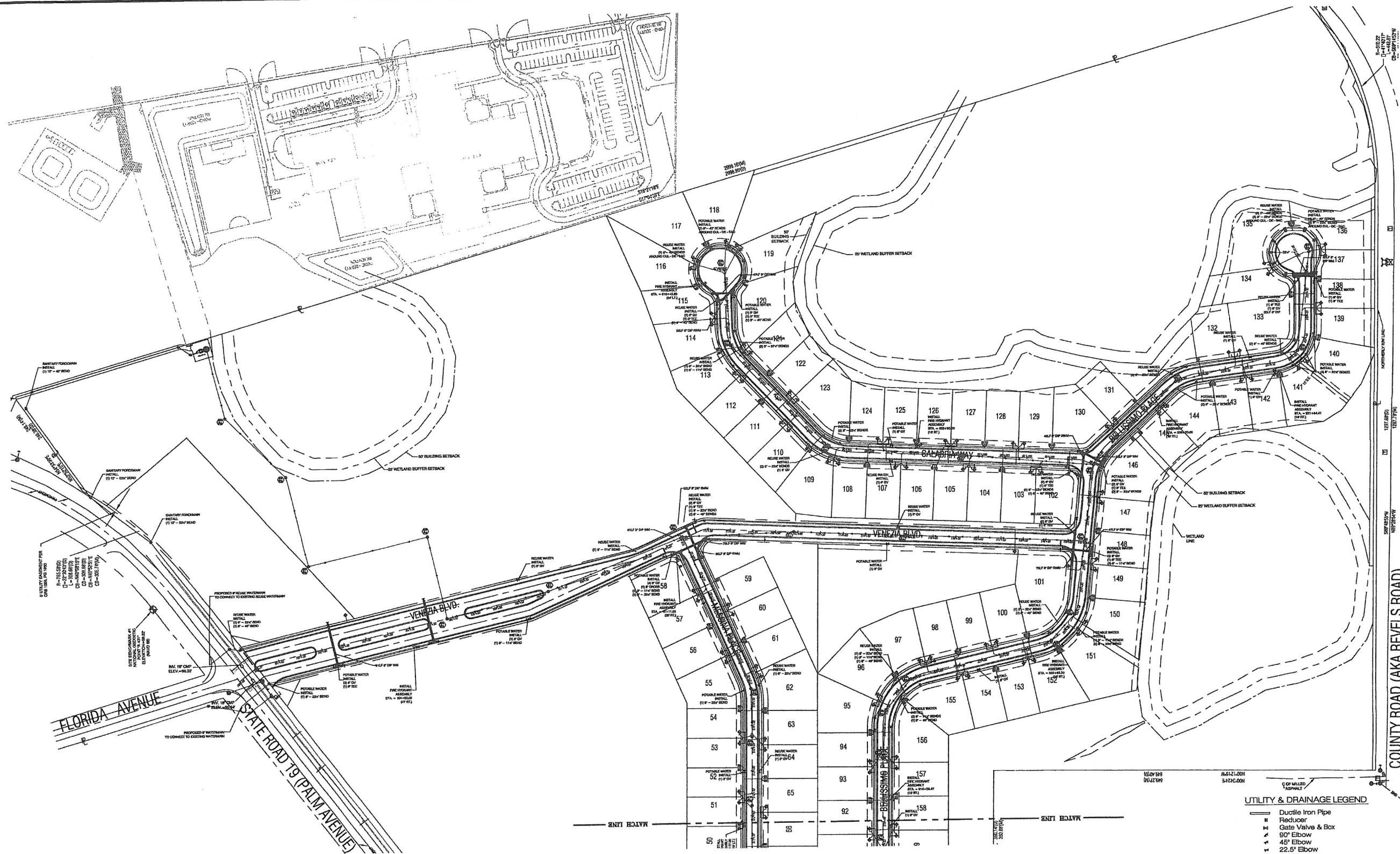
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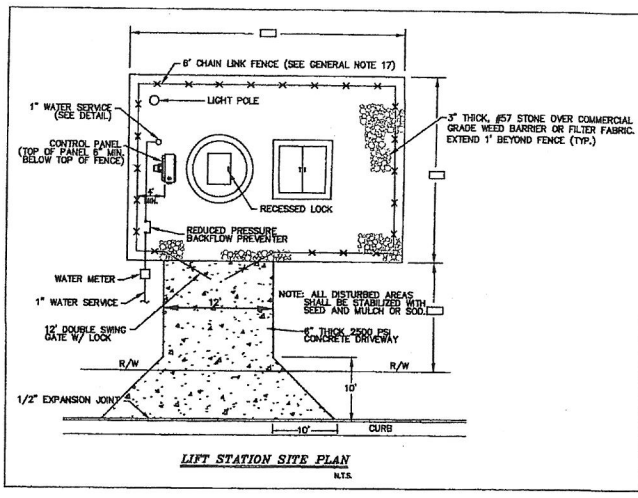
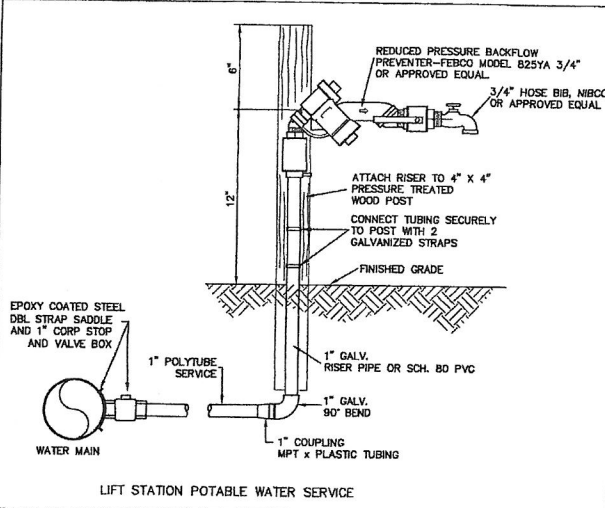
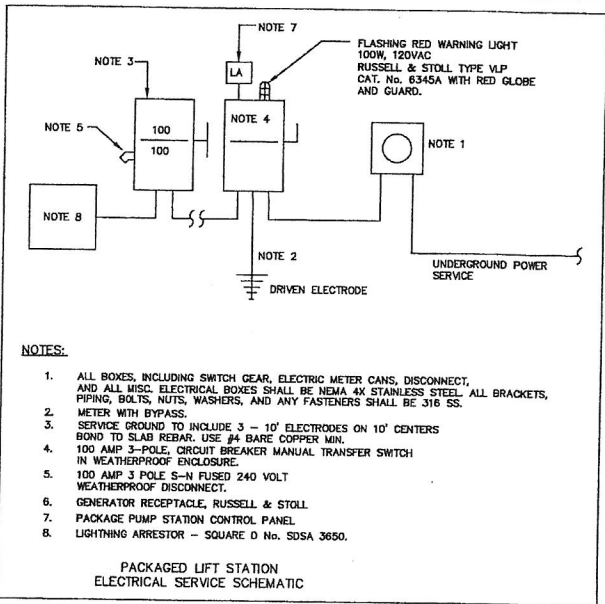
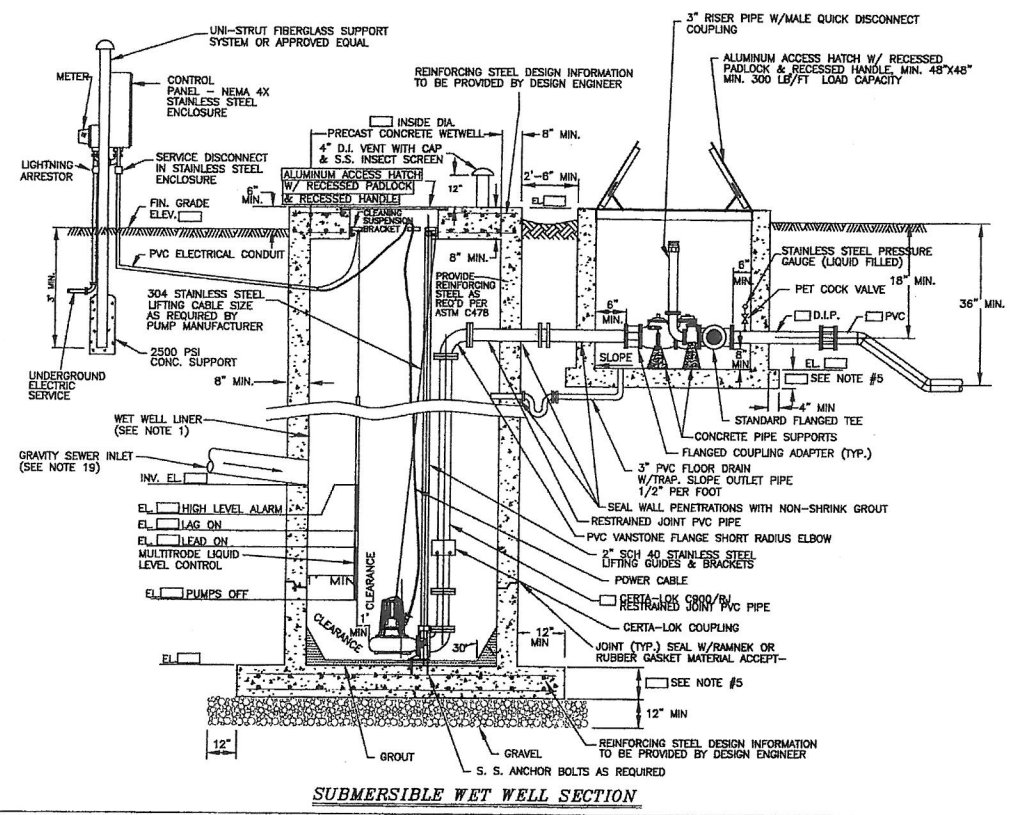
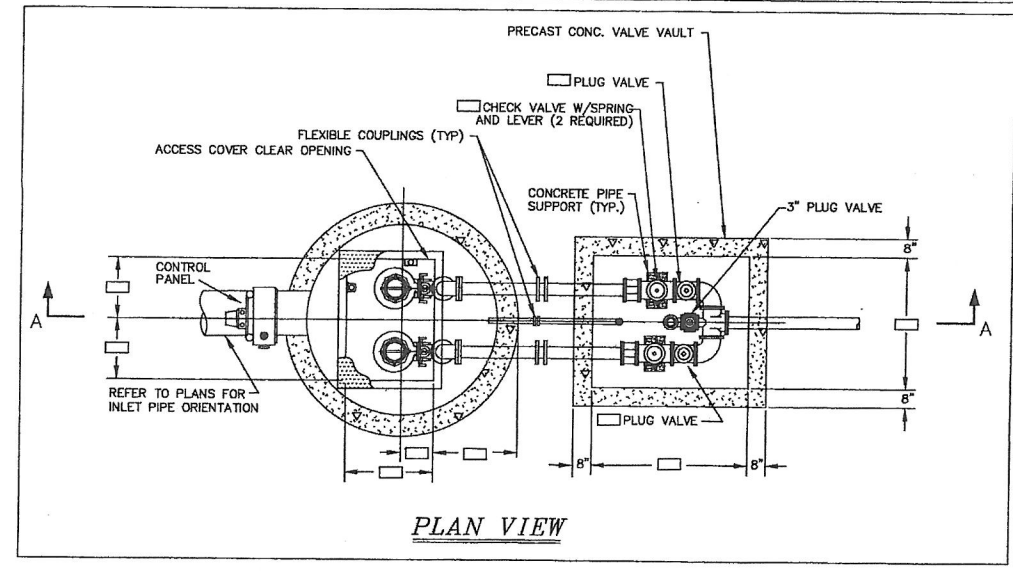
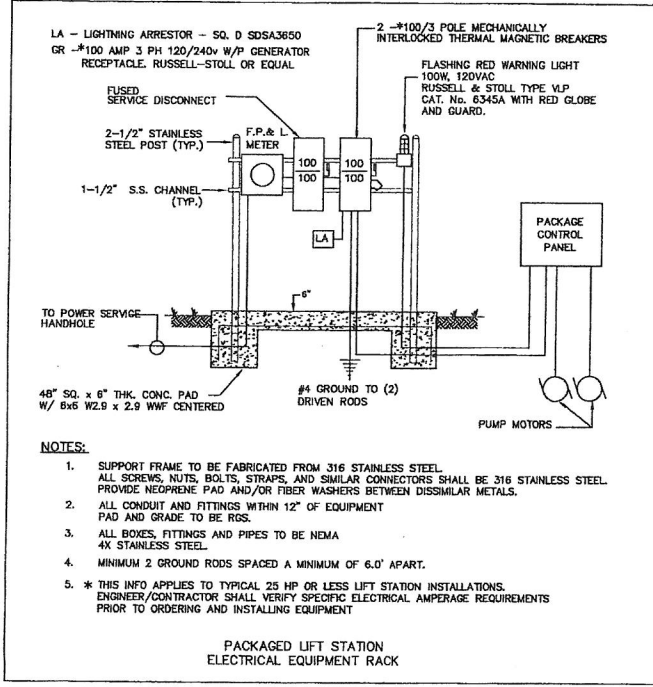
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CHARLES C. HOTT, P.E.
PROFESSIONAL ENGINEER 548



COUNTY ROAD (AKA REVE) S ROAD)





- GENERAL NOTES SUBMERSIBLE PUMP STATION:**
- WET WELL SHALL BE LINED WITH "AGRU SURE GRIP" CONCRETE PROTECTIVE LINER OR APPROVED EQUAL. WET WELL EXTERIOR SHALL BE COATED WITH COAL TAR EPOXY.
 - BASE AND FIRST RISER UNIT TO BE CAST MONOLITHIC.
 - VALVE VAULT AND ACCESS COVERS SHALL BE SIZED TO PERMIT EASY REMOVAL OF CHECK VALVE.
 - VALVE VAULT SHALL HAVE SEALED FLOOR W/ DRAIN TO WET WELL - TRAP REQUIRED.
 - ALL LOCATIONS WHERE PIPES ENTER OR LEAVE THE WET WELL OR VALVE VAULT SHALL BE MADE WATERTIGHT WITH WALL SLEEVE OR NON-SHRINK GROUT.
 - PUMP LIFTING DEVICE SHALL BE 304 SS LIFTING CABLE.
 - THERE SHALL BE NO ELECTRICAL JUNCTION BOXES IN WET WELL OR VALVE VAULT.
 - CHECK VALVES SHALL BE OUTSIDE WEIGHT & LEVER.
 - WET WELL & VALVE VAULT COVERS SHALL BE ALUMINUM WITH 304SS HARDWARE, AS RECOMMENDED AND REQUIRED BY PUMP MANUFACTURER (LOADING 300 P.S.F.) AND PROVIDED WITH RECESSED LOCKS.
 - CONTROL PANEL SHALL BE AS MANUFACTURED BY THE PUMP SUPPLIER OR APPROVED EQUAL.
 - WET WELL DIAMETER SHALL BE 6' NOMINAL.
 - ACCESS HATCH DIMENSIONS ARE APPROXIMATE. CONTRACTOR SHALL COORDINATE PUMPING EQUIPMENT, PIPING AND CONCRETE STRUCTURES TO ENSURE ADEQUATE ACCESS OPENINGS FOR INSTALLATION, OPERATION AND MAINTENANCE OF ALL EQUIPMENT.
 - FURNISH AND INSTALL GENERATOR RECEPTACLE.
 - VALVE VAULT AND WET WELLS SHALL BE PRECAST CONCRETE. SUBMIT SHOP DRAWINGS WITH REINFORCING DETAILS FOR APPROVAL PRIOR TO FABRICATION.
 - CHAIN LINK FENCE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
 - POSTS SHALL BE SCHEDULE 40, GALVANIZED STEEL (2" OUTSIDE DIAMETER MIN.), MAXIMUM 10 FOOT SPACING.
 - FABRIC FOR FENCING AND GATES SHALL BE 9 GAUGE 2" MESH, CLASS 1, CONFORMING TO A.S.T.M. A-3920, 1.2 OZ. GALVANIZED COATING.
 - POSTS SHALL BE SET IN 2500 PSI CONCRETE IN AN 8" DIAMETER HOLE WITH A DEPTH OF 36 INCHES.
 - FENCING SHALL BE SCREENED WITH PVC SLATS, FEATHERLOCK OR APPROVED EQUAL. COLOR SHALL BE GREEN OR BLACK.
 - AUXILIARY POWER CONNECTION:
 - FOR PUMPS < 10HP - RUSSELL & STOLL CAT. NO. FCF 3134-W-72, 100 AMP, 230 VOLT OR APPROVED EQUAL.
 - FOR PUMPS ≥ 10HP - RUSSELL & STOLL CAT. NO. FCF 3134-W-72, 200 AMP, 230 VOLT AR2042 - CROUSE-HINDS, OR APPROVED EQUAL.
 - HAND - (ON-OFF) - AUTOMATIC SWITCHES ON ALL PUMPS.
 - MANUAL - (ON-OFF) - SWITCH ON ALL ALTERNATORS.
 - ONE ELAPSED TIME METER FOR EACH PUMP.
 - 120 VOLT RECEPTACLE INSIDE CONTROL BOX.
 - 3 PHASE CURRENT (WILL NOT ACCEPT ADD A PHASE OR CAPACITOR PHASE CHANGERS).
 - POWER CABLE TO PUMPS RUN IN CONDUIT SEPARATE FROM FLOAT SWITCH CONDUIT.
 - LIQUID FILLED PRESSURE GAUGE ON FORCE MAIN.
 - FLOAT SWITCHES, MUST BE TRANSFORMER ISOLATED-24 VOLT MAX. ALL CONNECTIONS MUST TERMINATE IN CONTROL PANEL OUTSIDE OF WET WELL.
 - KNIFE SWITCH DISCONNECT BETWEEN POWER SUPPLY AND LIFT STATION CONTROL PANEL.
 - SHAKESPEARE FIBERGLASS LIGHT POLE CATALOG #B520 OR #B524 OR APPROVED EQUAL.
 - RUDD LIGHT 250W #FS3425-M OR APPROVED EQUAL.
 - SEAL GRAVITY PIPE AT WETWELL WITH RUBBER BOOT SEAL.
 - PUMP CONTROLLERS SHALL BE MULTI-TRODE MODEL MTPC CONTROLLER AND MITS-5 SUPPRESSOR.

REVISIONS

NO.	DATE	DESCRIPTION
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DATE

BOOTH BERN STRAUSSMAN HOFF
ENGINEERS • SURVEYORS • LAND PLANNERS
150 North Florida Street
Tampa, Florida 33602
Office: 813.243.8401
Fax: 813.243.8408
www.booth.com
Certificate of Authorization Number: 27029

**VENEZIA SOUTH
RESIDENTIAL SUBDIVISION**

LIFT STATION DETAILS

CHECKED BY: CCH
PROJECT NO.: 051373.0000
DATE: JUNE 2006
DRAWN BY: LCS
DESIGNED BY: LCS

33 OF 37

SHT. 33 OF 37

JUN 19 2007

CHARLES C. HOFF, P.E.
PROFESSIONAL ENGINEER 34615

CONSTRUCTION PLANS FOR Venezia North Subdivision

*Section 35 & 36, Township 22 South, Range 25 East
Town of Howey in the Hills, Lake County, Florida*

OWNER:

FRED BENNETT
LYKES BROTHERS, INC.
400 NORTH TAMPA STREET
TAMPA, FLORIDA 33601
(813) 470-5509
(813) 470-5020 FAX

DEVELOPER:

FLAGSHIP HARB, LLC
916 HIGHLAND AVENUE
ORLANDO, FLORIDA 32803
(407) 246-1144
(407) 246-1155 FAX
CONTACT: TED BOLIN

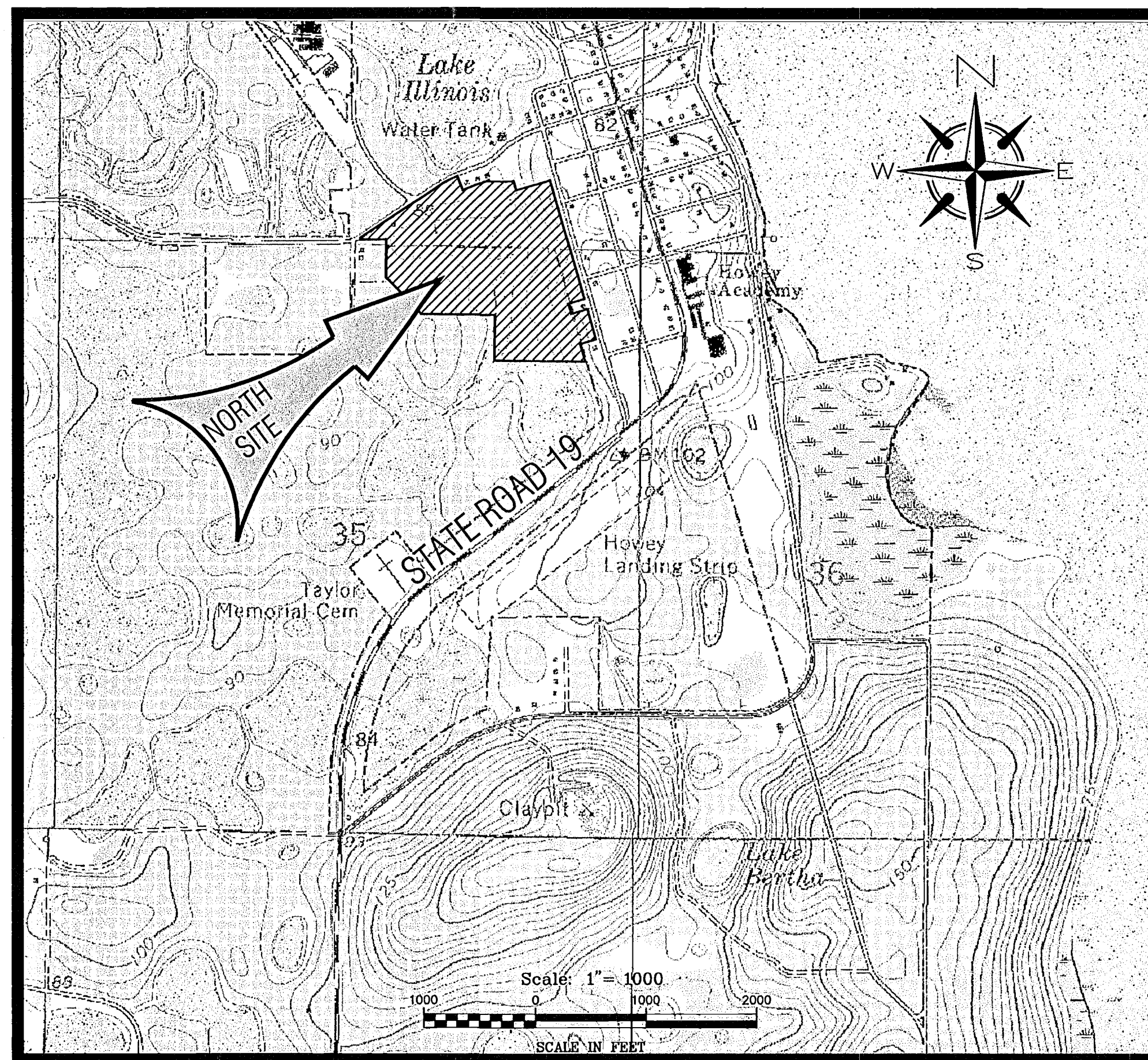
ENGINEER:

BOOTH, ERN, STRAUGHAN & HIOTT, INC.
350 NORTH SINCLAIR AVENUE
TAVARES, FLORIDA-32778
(352) 343-8481
CONTACT: CHARLES HIOTT, P.E.

LEGAL DESCRIPTION:

NORTH PARCEL
A PARCEL OF LAND BEING A PORTION OF "GROVE GARDENS" (PLAT BOOK 17, PAGE 2) AND "HOWEY-IN-THE-HILLS" (AN UNRECORDED PLAT) LYING IN SECTIONS 26 AND 35, TOWNSHIP 20 SOUTH, RANGE 25 EAST, LAKE COUNTY, FLORIDA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF SECTION 35, TOWNSHIP 20 SOUTH, RANGE 25 EAST, LAKE COUNTY, FLORIDA; THENCE ALONG THE NORTH BOUNDARY OF SAID SECTION N89°49'22"E, A DISTANCE OF 97.92 FEET TO THE POINT OF BEGINNING; THENCE DEPART SAID SECTION BOUNDARY N00°00'00"E, A DISTANCE OF 29.70 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF GRANT STREET; THENCE ALONG SAID RIGHT OF WAY N66°00'00"E, A DISTANCE OF 821.20 FEET; THENCE N64°54'03"E, A DISTANCE OF 134.15 FEET; THENCE DEPART SAID RIGHT OF WAY LINE S22°46'58"E, A DISTANCE OF 134.90 FEET; THENCE N67°23'46"E, A DISTANCE OF 249.96 FEET; THENCE S06°03'40"E, A DISTANCE OF 12.16 FEET; THENCE N89°52'29"E, A DISTANCE OF 222.15 FEET; THENCE S17°01'37"E, A DISTANCE OF 79.32 FEET; THENCE N72°54'16"E, A DISTANCE OF 315.08 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF FLORIDA AVENUE; THENCE ALONG SAID RIGHT OF WAY S17°04'04"E, A DISTANCE OF 1132.61 FEET; THENCE DEPART SAID RIGHT OF WAY S72°57'30"W, A DISTANCE OF 149.84 FEET; THENCE S17°10'01"E, A DISTANCE OF 74.94 FEET; THENCE N72°58'13"E, A DISTANCE OF 149.30 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF FLORIDA AVENUE; THENCE ALONG SAID RIGHT OF WAY S17°02'44"E, A DISTANCE OF 300.03 FEET; THENCE DEPART SAID RIGHT OF WAY S72°58'07"W, A DISTANCE OF 149.83 FEET; THENCE S17°02'42"E, A DISTANCE OF 164.96 FEET; THENCE N00°00'00"W, A DISTANCE OF 835.94 FEET TO A POINT ON THE WEST BOUNDARY OF THE NORTHEAST 1/4 OF SAID SECTION 35; THENCE ALONG SAID SECTION BOUNDARY N00°19'41"W, A DISTANCE OF 404.92 FEET; THENCE DEPARTING SAID SECTION BOUNDARY S89°51'12"W, A DISTANCE OF 659.75 FEET; THENCE N45°09'29"W, A DISTANCE OF 468.37 FEET; THENCE N00°06'38"W, A DISTANCE OF 331.44 FEET; THENCE S89°50'24"W, A DISTANCE OF 232.87 FEET TO THE POINT OF BEGINNING.



VICINITY MAP

SHEET INDEX

1. Cover Sheet
2. Aerial Overlay
3. Master Site Plan
4. Boundary & Topographic Survey
5. Land Use Summary
6. Utility Plan
7. Grading Plan
8. Intersection Details
9. Erosion Control/S.W.P.P.P.
10. Drainage Plan
11. Amola Way Plan & Profile
12. Avila Place Cul-de-Sac Plan & Profile
13. Avila Place (Sta. 30+00 to 42+50) Plan & Profile
14. Avila Place (Sta. 42+50 to 56+50) Plan & Profile
15. Avila Place (Sta. 56+50 to 70+11.63) Plan & Profile
16. Drainage Cross-Sections
17. Sanitary Sewer Details
18. Lift Station Details
19. Potable Water Details
20. Reclaimed Water Details
21. Paving & Drainage Details
22. General Project Details

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PDS
ALTAMONTE SVC. CTR.

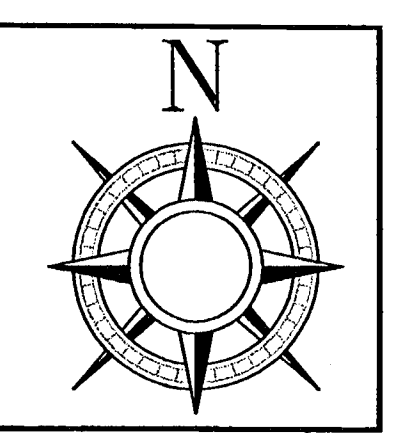
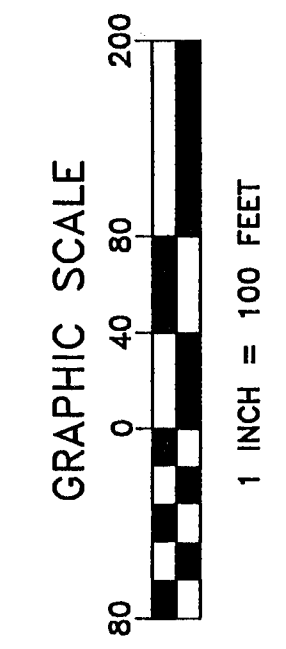


STATE OF FLORIDA CERTIFICATION OF AUTHORIZATION NO. 27029

SANITARY PIPE CHART

MANHOLE ID	STATION	RIM	INV	TO	INV	PIPE	LENGTH	SLOPE
MH #18	64+54.35	84.68	78.83	MH #17	77.59	8" SDR-35	309LF	0.40%
MH #17	67+63.37	86.88	77.49	MH #14	76.49	8" SDR-35	249LF	0.40%
MH #16	60+71.72	85.09	78.86	MH #15	77.34	8" SDR-35	380LF	0.40%
MH #15	56+89.57	88.56	77.24	MH #14	76.66	8" SDR-35	145LF	0.40%
MH #14	55+42.88	89.47	76.39	MH #13	75.62	8" SDR-35	193LF	0.40%
MH #13	53+48.70	89.36	75.52	MH #12	74.09	8" SDR-35	358LF	0.40%
MH #12	49+90.52	86.02	73.99	MH #11	73.25	8" SDR-35	186LF	0.40%
MH #11	13+85.83	85.24	81.24	MH #8	80.33	8" SDR-35	227LF	0.40%
MH #10	25+29.01	93.29	89.41	MH #9	88.52	8" SDR-35	223LF	0.40%
MH #9	23+01.41	91.99	88.42	MH #8	87.22	8" SDR-35	299LF	0.40%
MH #8	11+57.71	95.00	80.23	MH #7	77.10	8" SDR-35	240LF	0.40%
MH #7	32+40.66	87.39	77.00	MH #6	75.92	8" SDR-35	271LF	0.40%
MH #6	35+12.71	87.45	75.82	MH #5	74.70	8" SDR-35	280LF	0.40%
MH #5	37+93.82	86.87	74.60	MH #4	73.91	8" SDR-35	173LF	0.40%
MH #4	39+67.93	84.92	73.81	MH #3	72.95	8" SDR-35	215LF	0.40%
MH #3	41+83.97	84.36	72.85	MH #2	71.64	8" SDR-35	302LF	0.40%
MH #2	44+86.36	87.35	71.54	MH #1	70.27	8" SDR-35	318LF	0.40%
MH #1	48+05.39	88.24	70.17	LS	70.02	8" SDR-35	37LF	0.40%

GENERAL NOTES:
1. ALL PIPE LENGTHS ARE APPROXIMATE AND ROUNDED OFF TO THE NEAREST FOOT.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL MATERIALS PRIOR TO FINAL BIDDING.
3. ALL STRUCTURE INVERTS SHALL BE POURED AND SHAPED TO PROMOTE FLOW AND TO PREVENT STANDING WATER.
4. ALL CONSTRUCTION MATERIALS SHALL CONFORM TO THE LATEST TOWN OF HOWEY-IN-THE-HILLS STANDARDS AND SPECIFICATIONS.
5. ALL CONSTRUCTION SHALL BE SUBJECT TO INSPECTIONS AND APPROVALS BY THE PROJECT ENGINEER AND THE TOWN OF HOWEY-IN-THE-HILLS.



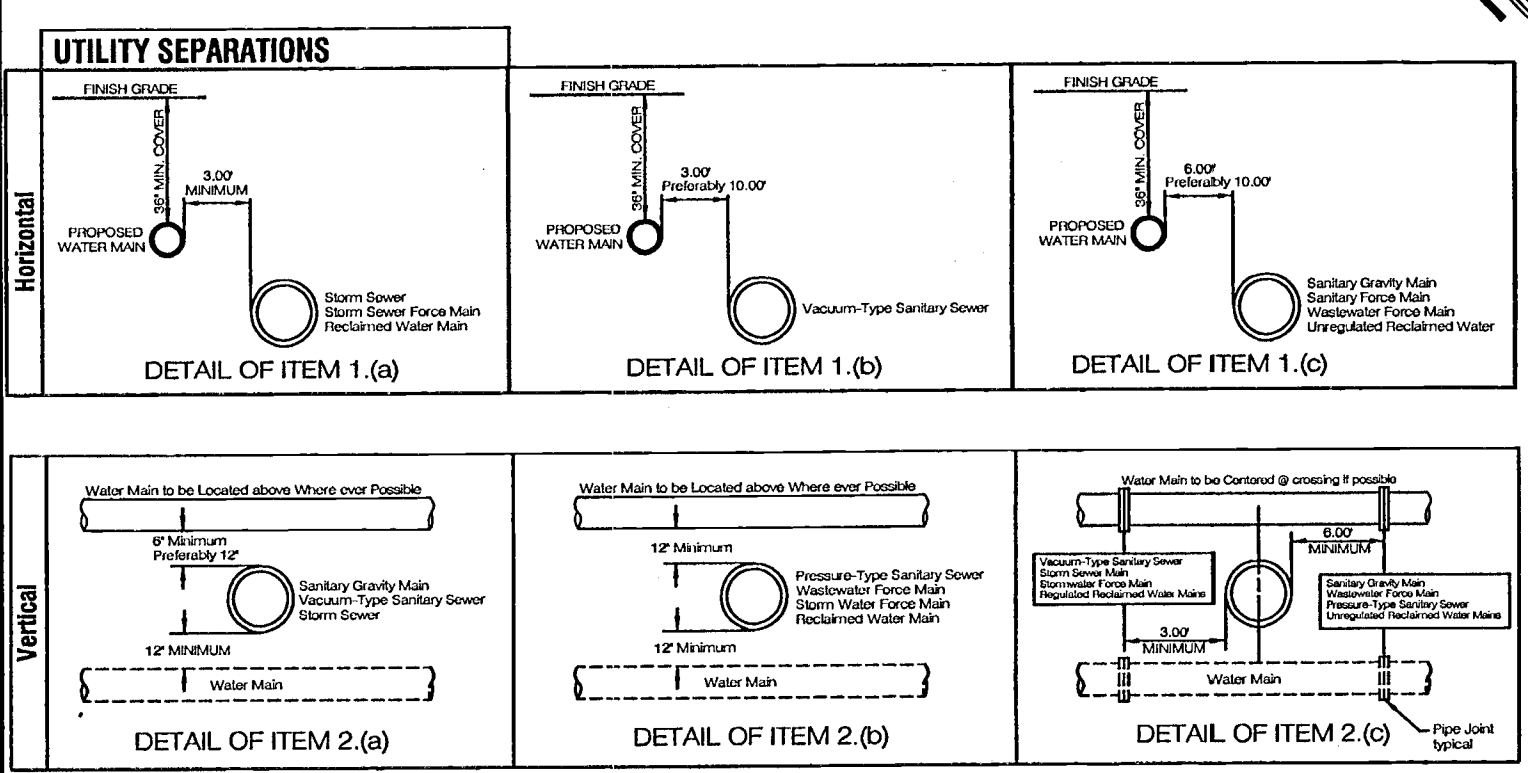
- UTILITY LEGEND
- Gate Valve & Box
 - Pipe Elbow
 - Tee
 - Fire Hydrant Assembly
 - Double Water Service
 - Single Water Service
 - Water Main
 - Double Re-use Water Service
 - Single Re-use Water Service
 - Re-use Water Main
 - Sanitary Sewer Service
 - Sanitary Manhole
 - Sanitary Gravity Main
 - Sanitary Force Main
 - Drainage Easement
 - Utility Easement

NOTE:
ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF HOWEY-IN-THE-HILLS UTILITY CONSTRUCTION SPECIFICATIONS.

SOUTHERN STRAUGHAN HOTT
ENGINEERS - SURVEYORS - LAND PLANNERS
350 North Sinclair Ave.
Howeysville, MO 64046
Office: 320.243.8481
Fax: 320.243.8485
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Certificate of Authorization Number: 27029

VENEZIA NORTH RESIDENTIAL SUBDIVISION UTILITY PLAN

CHECKED BY: COH
PROJECT NO.: 051373.0000
DATE: JUNE 2008
DESIGNED/DRAWN BY: LCS
SHEET 6 OF 22
RECEIVED
APR 13 2007
PDS
ALTA MONTE CIV. CTR.
CHARLES C. HOTT, P.E.
PROFESSIONAL ENGINEER 54813



62-555.314 Location of Public Water System Mains: For the purpose of this section, the phrase "Water Mains" shall mean Mains, including Treatment Plant process piping, conveying either raw, partially treated, or finished drinking water; Fire Hydrantless; and service lines that are under the control of a Public Water System and that have an inside diameter of three (3) inches or greater.

(1) Horizontal Separation Between Water Mains and Sanitary or Storm Sewers, Wastewater or Stormwater Force Mains, Reclaimed Water Pipelines, and On-site Sewage Treatment and Disposal Systems:

(a) New or relocated, underground WATER MAINS shall be laid to provide a horizontal distance of at least (3) Three Feet between the outside of the WATER MAIN and the outside of any existing or proposed Storm Sewer, Stormwater Force Main, or pipeline conveying reclaimed water regulated under Part III of Chapter 62-610, F.A.C.

(b) New or relocated, underground WATER MAINS shall be laid to provide a horizontal distance of at least (3) Three Feet, and preferably (10) Ten Feet, between the outside of the WATER MAIN and the outside of any existing or proposed vacuum-type Sanitary Sewer, Wastewater Force Main, or pipeline conveying reclaimed water not regulated under Part III of Chapter 62-610, F.A.C.

(c) New or relocated, underground WATER MAINS shall be laid to provide a horizontal distance of at least (3) Three Feet between the outside of the WATER MAIN and the outside of any existing or proposed "On-site Sewage Treatment and Disposal System" as defined in Section 381.006(2), F.S. and Rule 64E-6.002, F.A.C.

(d) New or relocated, underground WATER MAINS shall be laid to provide a horizontal distance of at least (10) Ten Feet between the outside of the WATER MAIN and all parts of any existing or proposed "On-site Sewage Treatment and Disposal System" as defined in Section 381.006(2), F.S. and Rule 64E-6.002, F.A.C.

(2) Vertical Separation Between Water Mains and Sanitary or Storm Sewers, Wastewater or Stormwater Force Mains, Reclaimed Water Pipelines, and On-site Sewage Treatment and Disposal Systems:

(a) New or relocated, underground WATER MAINS crossing any existing or proposed gravity- or vacuum-type sanitary sewer, wastewater or stormwater Force Main, or pipeline conveying reclaimed water shall be laid so the outside of the WATER MAIN is at least (12) Twelve inches above, or at least 12 inches below the outside of the other pipeline. However, it is preferable to lay the WATER MAIN above the other pipeline.

(b) New or relocated, underground WATER MAINS crossing any existing or proposed pressure-type sanitary sewer, wastewater or stormwater Force Main, or pipeline conveying reclaimed water shall be laid so the outside of the WATER MAIN is at least (12) Twelve inches ABOVE or BELOW the Outside of the other pipeline. However, it is preferable to lay the WATER MAIN above the other pipeline.

(c) At the Utility crossings described in paragraphs (a) & (b) Above, one full length of Water Main Pipe shall be centered above or below the other pipeline so the WATER MAIN Joints will be as far as possible from the other pipeline. Alternatively, at such crossings, the pipes shall be arranged so that all WATER MAIN Joints are at least (3) Three Feet from all Joints in Gravity- or Pressure-type Sanitary Sewers, Wastewater Force mains, or pipelines conveying reclaimed water not regulated under Part III of Chapter 62-610, F.A.C., and at least (6) Six Feet from all Joints in Gravity- or Pressure-type Sanitary Sewers, Wastewater Force mains, or pipelines conveying reclaimed water not regulated under Part III of Chapter 62-610, F.A.C.; and at least (10) Ten Feet from any existing or proposed "On-site sewage treatment and disposal system" as defined in Section 381.006(2), F.S. and Rule 64E-6.002, F.A.C.

(d) Separation Between WATER MAINS and Sanitary or Storm Sewer Manholes:

(i) No WATER MAIN shall pass thru, or come into contact with any part of a Sanitary Manhole or a Storm Sewer Manhole.

(ii) Separation Between Fire Hydrant Drains and Sanitary or Storm Sewers, Wastewater or Stormwater Force Mains, Reclaimed Water Pipelines, and On-site Sewage Treatment and Disposal Systems: New or relocated Fire Hydrants with underground Drains shall be located so that the drains are at least (3) Three Feet from any existing or proposed Storm Sewer, Stormwater Force Main, or pipeline conveying reclaimed water regulated under Part III of Chapter 62-610, F.A.C.; and at least (10) Ten Feet from any existing or proposed "On-site sewage treatment and disposal system" as defined in Section 381.006(2), F.S. and Rule 64E-6.002, F.A.C.

(iii) Exceptions/Notation: Adherence to the above Constraints and Separations in Items 1. through 4. shall be complied to, "WITHOUT EXCEPTION". If for some reason where it is not technically feasible or Economically Sensible that Items 1 through 4 cannot be complied with, Contractor will Stop Work and Notify the Engineer or record for the appropriate solution, which will be submitted to "The Department of Environmental Protection" for APPROVAL, prior to work commencement.

COLOR CODING

All water main pipe, including fittings, installed on or after August 28, 2003, except pipe installed under a construction permit for which the Department received complete application before August 28, 2003, shall be color coded or marked using blue as a predominate color to differentiate drinking water from reclaimed or other water.

Underground plastic pipe shall be solid-wall blue pipe, shall have a co-extruded blue external ring, or shall be white or black pipe with blue stripes incorporated into, or applied to, the pipe wall. Pipe stripes during manufacturing of the pipe shall have continuous stripes that run parallel to the axis of the pipe, that are located at no greater than 90" intervals around the pipe, and will remain intact during and after installation of the pipe. If tape or paint is used to stripe pipe during installation of the pipe, the tape or paint shall be applied in a continuous line that runs parallel to the axis of the pipe and that is located along the top of the pipe; for pipes with an internal diameter of 24 inches or greater, tape or paint shall be applied in continuous lines along each side of the pipe as well as along the top of the pipe. Aboveground pipe as drinking water treatment plants shall be color coded and labeled in accordance with subsection 62-555.320(10), F.A.C., and all other aboveground pipe shall be painted blue or shall be color-coded or marked like underground pipe.

GENERAL WATER NOTES

1. Water system components shall be installed in strict accordance with all local codes and regulations, cleaned, disinfected and bacteriologically cleared for service in accordance with the latest ANMA Standards and Chapter 62-555 Florida Administrative Code.

2. All piping shall bear the "NSF" seal for Potable Water.

3. Water mains shall be PVC conforming to ANMA C-900, DR 18 for all pipe sizes 4" - 12". Pipes 14" or larger shall be ANMA C-905, DR 18. All couplings, clearing compounds, solvents, lubricants, and pipe preparation, for laying, shall be in accordance with the pipe manufacturers latest recommendations.

4. Depth of water lines to be 30" minimum cover from finish grade.

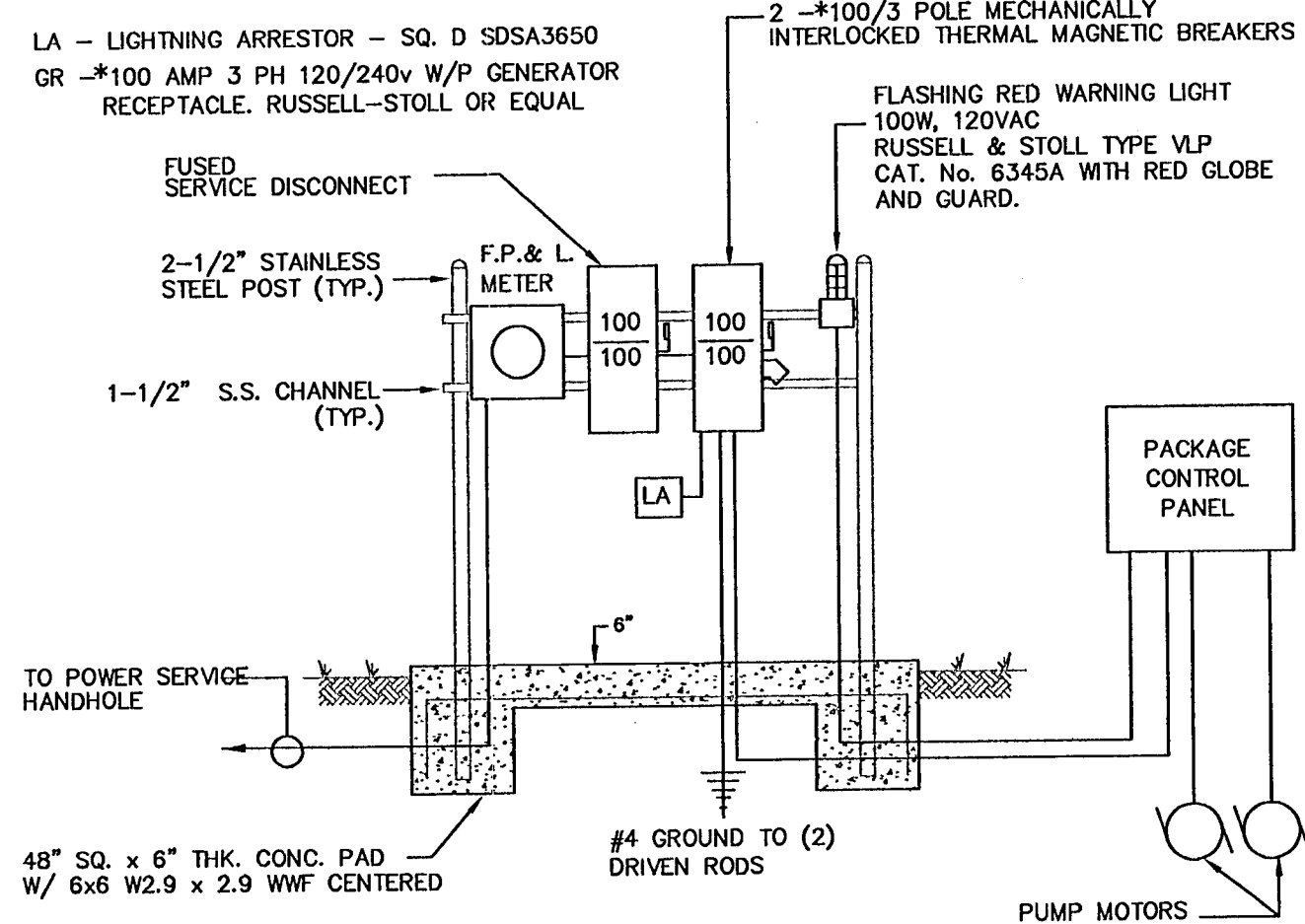
5. Water mains to be located 6.00' from back of curb or edge of pavement unless otherwise noted.

6. All sleeves under pavement shall extend 5' beyond the back of curb.

7. Disinfecting: Following the pressure testing, the Contractor shall disinfect all sections of the water distribution system. Disinfection shall be in accordance with the applicable provisions of ANMA Standard C651 "Disinfecting Water Mains", and all appropriate agency approval.

8. All hydrostatic tests shall be in accordance with ANMA C600 for Ductile Iron Pipe and C608/623 for PVC pipe.

9. All water mains shall be installed, pressure and leak tested in accordance with ANMA C600, (62-555.320(1)) and (62-555.320(2)) and (62-555.320(3)) and (62-555.320(4)) and (62-555.320(5)) and (62-555.320(6)) and (62-555.320(7)) and (62-555.320(8)) and (62-555.320(9)) and (62-555.320(10)) and (62-555.320(11)) and (62-555.320(12)) and (62-555.320(13)) and (62-555.320(14)) and (62-555.320(15)) and (62-555.320(16)) and (62-555.320(17)) and (62-555.320(18)) and (62-555.320(19)) and (62-555.320(20)) and (62-555.320(21)) and (62-555.320(22)) and (62-555.320(23)) and (62-555.320(24)) and (62-555.320(25)) and (62-555.320(26)) and (62-555.320(27)) and (62-555.320(28)) and (62-555.320(29)) and (62-555.320(30)) and (62-555.320(31)) and (62-555.320(32)) and (62-555.320(33)) and (62-555.320(34)) and (62-555.320(35)) and (62-555.320(36)) and (62-555.320(37)) and (62-555.320(38)) and (62-555.320(39)) and (62-555.320(40)) and (62-555.320(41)) and (62-555.320(42)) and (62-555.320(43)) and 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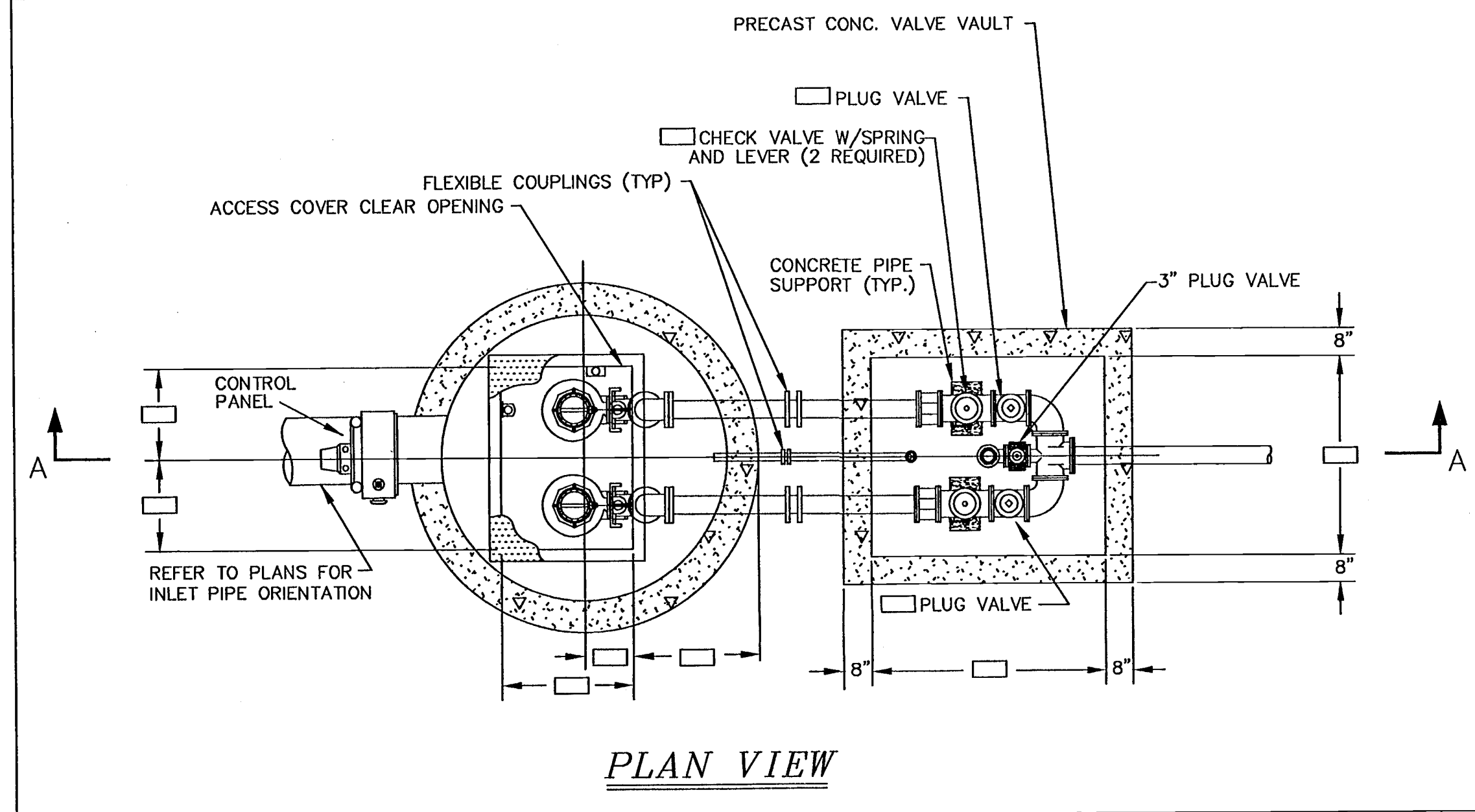


- NOTES:**
1. SUPPORT FRAME TO BE FABRICATED FROM 316 STAINLESS STEEL. ALL SCREWS, NUTS, BOLTS, STRAPS, AND SIMILAR CONNECTORS SHALL BE 316 STAINLESS STEEL. PROVIDE NEOPRENE PAD AND/OR FIBER WASHERS BETWEEN DISSIMILAR METALS.
 2. ALL CONDUIT AND FITTINGS WITHIN 12\" OF EQUIPMENT PAD AND GRADE TO BE RGS.
 3. ALL BOXES, FITTINGS AND PIPES TO BE NEMA 4X STAINLESS STEEL.
 4. MINIMUM 2 GROUND RODS SPACED A MINIMUM OF 6.0' APART.
 5. * THIS INFO APPLIES TO TYPICAL 25 HP OR LESS LIFT STATION INSTALLATIONS. ENGINEER/CONTRACTOR SHALL VERIFY SPECIFIC ELECTRICAL AMPERAGE REQUIREMENTS PRIOR TO ORDERING AND INSTALLING EQUIPMENT.

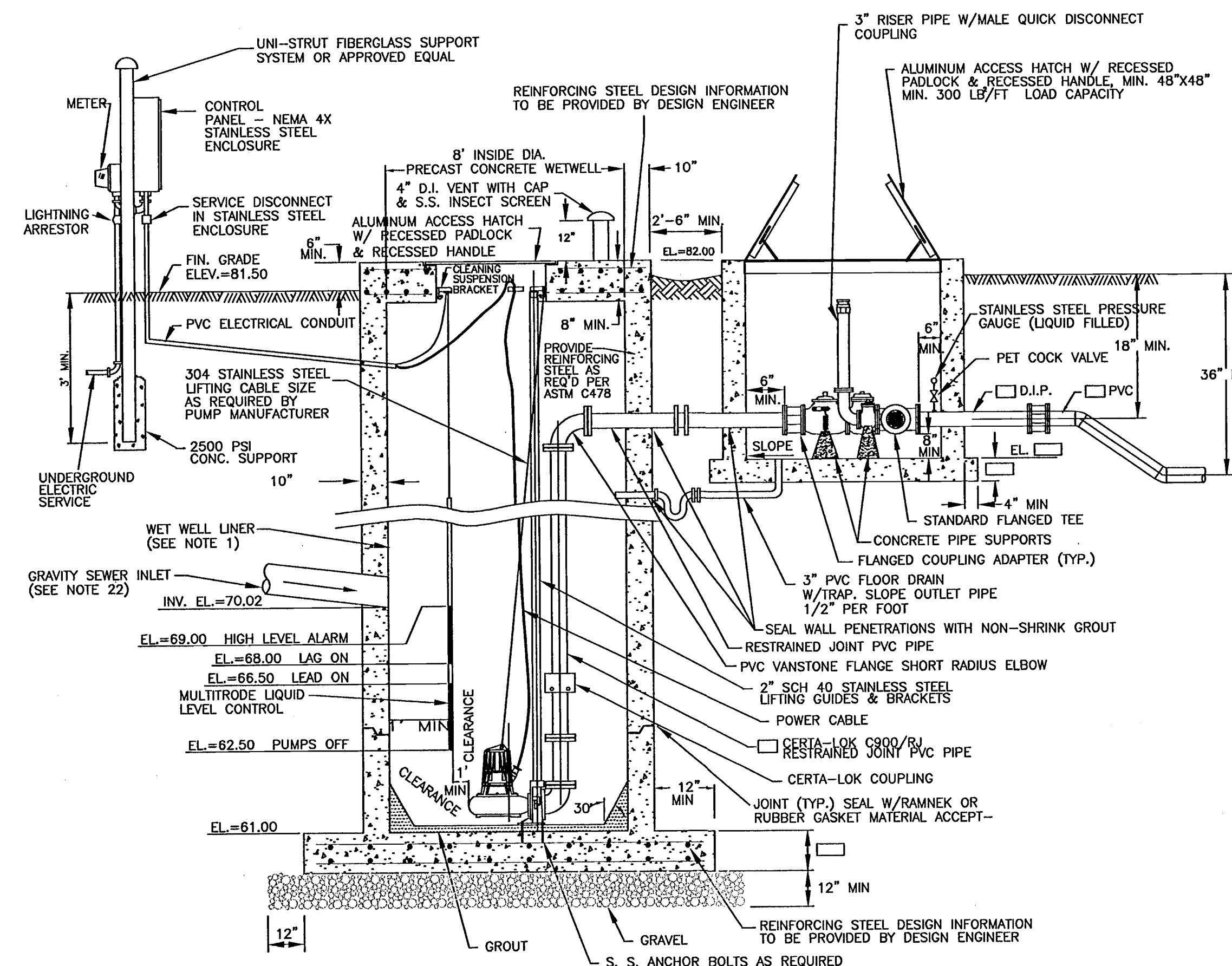
PACKAGED LIFT STATION
ELECTRICAL SERVICE RACK

GENERAL NOTES SUBMERSIBLE PUMP STATION:

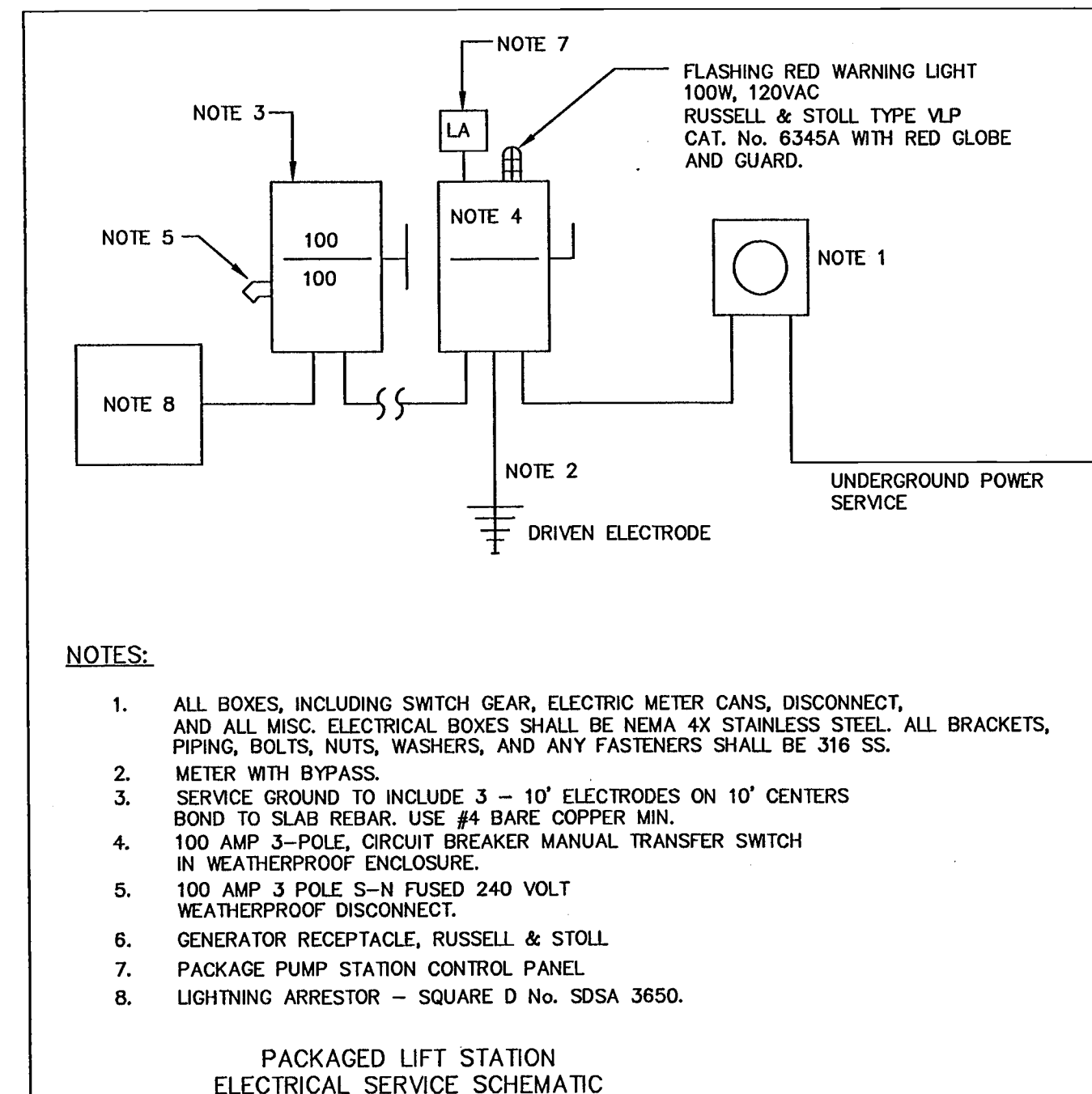
1. WET WELL SHALL BE LINED WITH "AGRU SURE GRIP" CONCRETE PROTECTIVE LINER OR APPROVED EQUAL. WET WELL EXTERIOR SHALL BE COATED WITH COAL TAR EPOXY.
2. BASE AND FIRST RISER UNIT TO BE CAST MONOLITHIC.
3. VALVE VAULT AND ACCESS COVERS SHALL BE SIZED TO PERMIT EASY REMOVAL OF CHECK VALVE.
4. VALVE VAULT SHALL HAVE SEALED FLOOR W/DRAIN TO WET WELL - TRAP REQUIRED.
5. ALL LOCATIONS WHERE PIPES ENTER OR LEAVE THE WET WELL OR VALVE VAULT SHALL BE MADE WATERTIGHT WITH WALL SLEEVE OR NON-SHRINK GROUT.
6. PUMP LIFTING DEVICE SHALL BE 304 SS LIFTING CABLE.
7. THERE SHALL BE NO ELECTRICAL JUNCTION BOXES IN WET WELL OR VALVE VAULT.
8. CHECK VALVES SHALL BE OUTSIDE WEIGHT & LEVER.
9. WET WELL & VALVE VAULT COVERS SHALL BE ALUMINUM WITH 304SS HARDWARE, AS RECOMMENDED AND REQUIRED BY PUMP MANUFACTURER (LOADING 300 P.S.F.) AND PROVIDED WITH RECESSED LOCKS.
10. CONTROL PANEL SHALL BE AS MANUFACTURED BY THE PUMP SUPPLIER OR APPROVED EQUAL.
11. WET WELL DIAMETER SHALL BE 6' NOMINAL.
12. ACCESS HATCH DIMENSIONS ARE APPROXIMATE. CONTRACTOR SHALL COORDINATE PUMPING EQUIPMENT, PIPING AND CONCRETE STRUCTURES TO ENSURE ADEQUATE ACCESS OPENINGS FOR INSTALLATION, OPERATION AND MAINTENANCE OF ALL EQUIPMENT.
13. FURNISH AND INSTALL GENERATOR RECEPTACLE.
14. VALVE VAULT AND WET WELLS SHALL BE PRECAST CONCRETE. SUBMIT SHOP DRAWINGS WITH REINFORCING DETAILS FOR APPROVAL PRIOR TO FABRICATION.
15. CHAIN LINK FENCE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
 - A) POSTS SHALL BE SCHEDULE 40, GALVANIZED STEEL (2" OUTSIDE DIAMETER MIN.), MAXIMUM 10 FOOT SPACING.
 - B) FABRIC FOR FENCING AND GATES SHALL BE 9 GAUGE 2" MESH, CLASS 1, CONFORMING TO A.S.T.M. A-3920, 1.2 OZ. GALVANIZED COATING.
 - C) POSTS SHALL BE SET IN 2500 PSI CONCRETE IN AN 8" DIAMETER HOLE WITH A DEPTH OF 36 INCHES.
 - D) FENCING SHALL BE SCREENED WITH PVC SLATS, FEATHERLOCK OR APPROVED EQUAL. COLOR SHALL BE GREEN OR BLACK.
16. AUXILIARY POWER CONNECTION:
 - A) FOR PUMPS < 10HP - RUSSELL & STOLL CAT. NO. FCF 3134-W-72, 100 AMP, 230 VOLT OR APPROVED EQUAL.
 - B) FOR PUMPS ≥ 10HP - RUSSELL & STOLL CAT. NO. FCF 3134-W-72, 200 AMP, 230 VOLT AR2042 - CROUSE-HINDS, OR APPROVED EQUAL.
17. HAND - (ON-OFF) - AUTOMATIC SWITCHES ON ALL PUMPS.
 - MANUAL - (ON-OFF) - SWITCH ON ALL ALTERNATORS.
 - ONE ELAPSED TIME METER FOR EACH PUMP.
 - 120 VOLT RECEPTACLE INSIDE CONTROL BOX.
 - 3 PHASE CURRENT (WILL NOT ACCEPT ADD A PHASE OR CAPACITOR PHASE CHANGERS).
 - POWER CABLE TO PUMPS RUN IN CONDUIT SEPARATE FROM FLOAT SWITCH CONDUIT.
 - LIQUID FILLED PRESSURE GAUGE ON FORCE MAIN.
18. FLOAT SWITCHES, MUST BE TRANSFORMER ISOLATED-24 VOLT MAX. ALL CONNECTIONS MUST TERMINATE IN CONTROL PANEL OUTSIDE OF WET WELL.
19. KNIFE SWITCH DISCONNECT BETWEEN POWER SUPPLY AND LIFT STATION CONTROL PANEL.
20. SHAKESPEARE FIBERGLASS LIGHT POLE CATALOG #B520 OR #B524 OR APPROVED EQUAL.
21. RUDD LIGHT 250W #S3425-M OR APPROVED EQUAL.
22. SEAL GRAVITY PIPE AT WETWELL WITH RUBBER BOOT SEAL.
23. PUMP CONTROLLERS SHALL BE MULTI-TRODE MODEL MTPC CONTROLLER AND MTIS-5 SUPPRESSOR.



PLAN VIEW



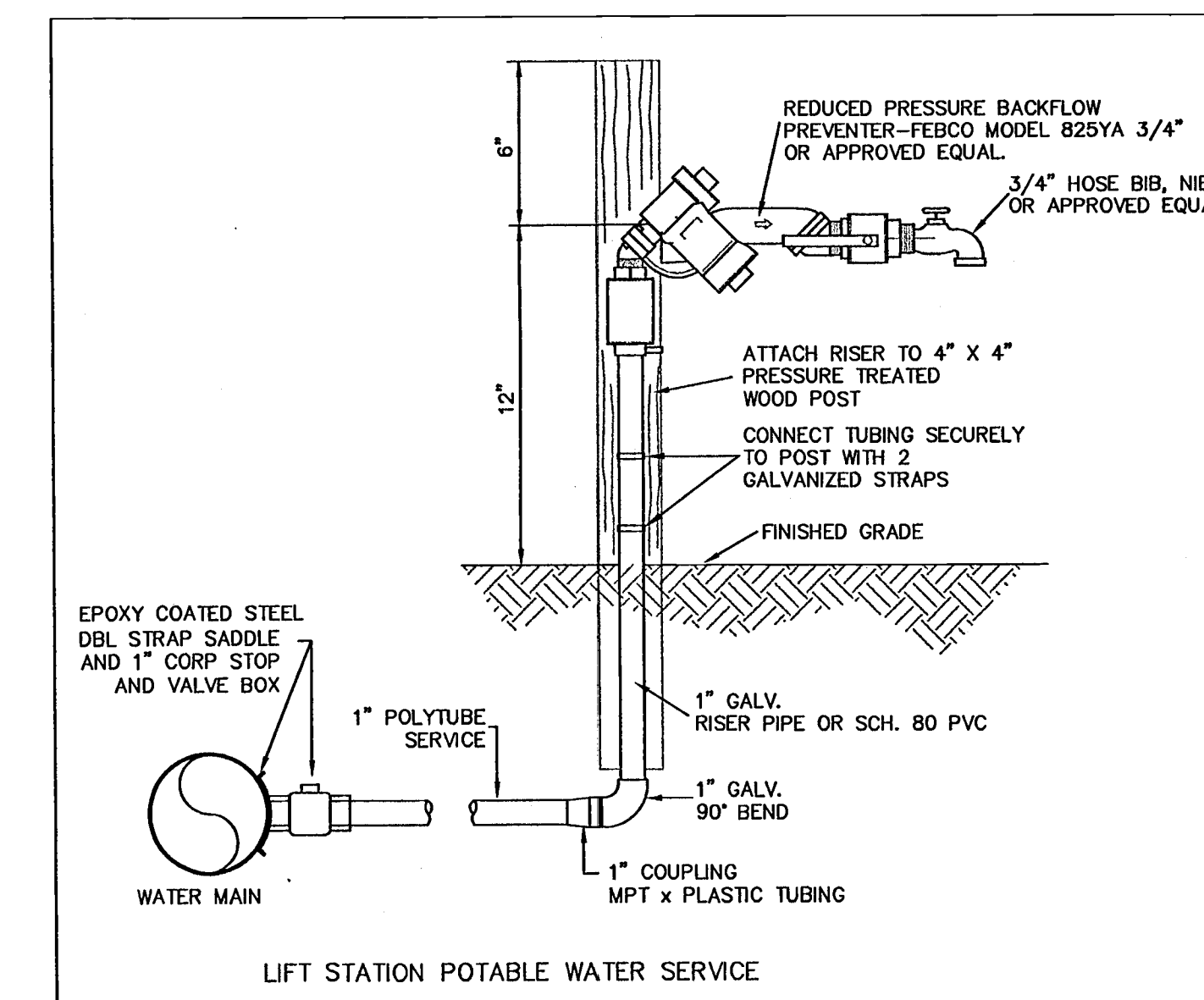
SUBMERSIBLE WET WELL SECTION



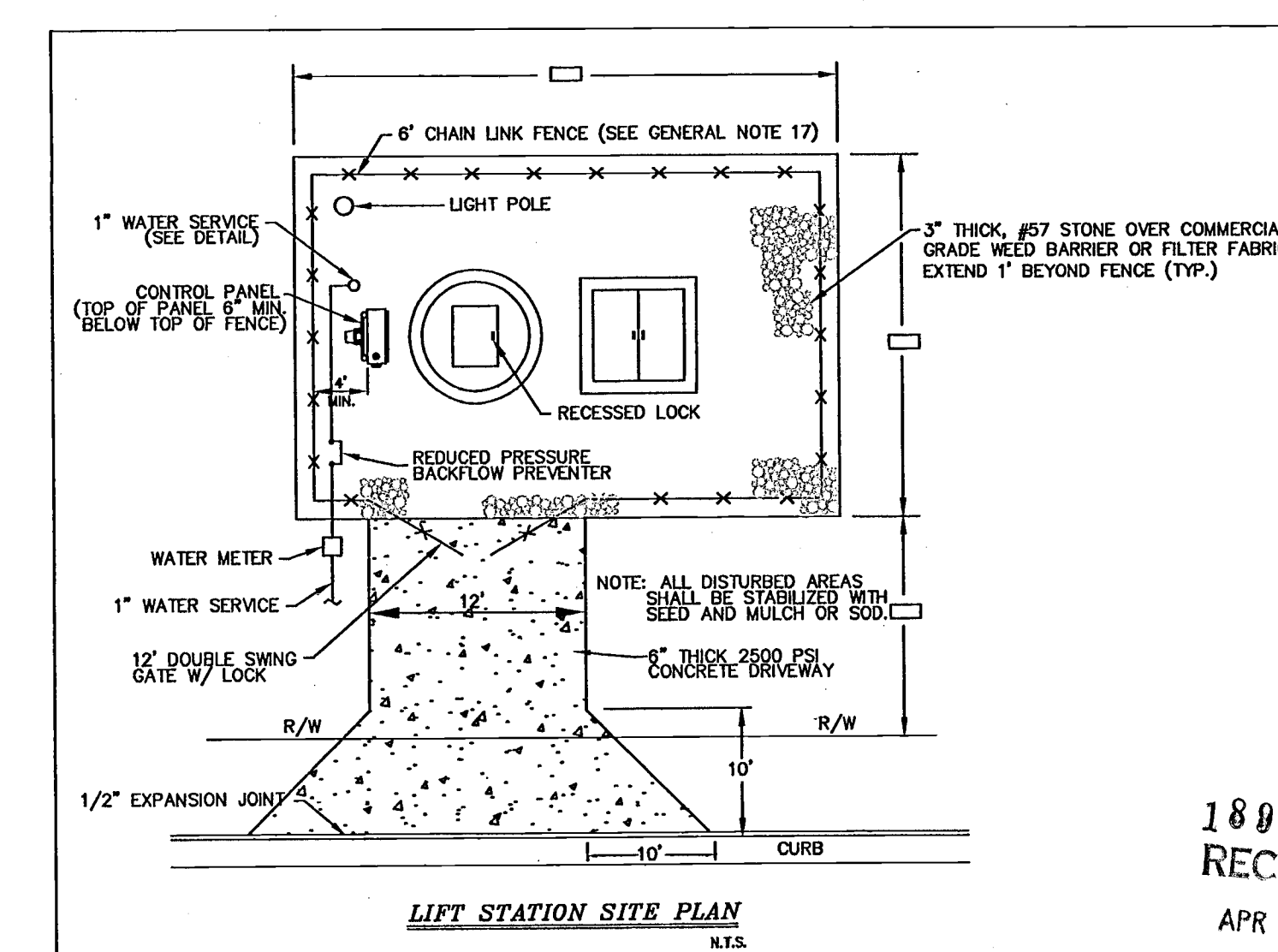
NOTES:

1. ALL BOXES, INCLUDING SWITCH GEAR, ELECTRIC METER CANS, DISCONNECT, AND ALL MISC. ELECTRICAL BOXES SHALL BE NEMA 4X STAINLESS STEEL. ALL BRACKETS, PIPING, BOLTS, NUTS, WASHERS, AND ANY FASTENERS SHALL BE 316 SS.
2. METER WITH BYPASS.
3. SERVICE GROUND TO INCLUDE 3 - 10' ELECTRODES ON 10' CENTERS BOND TO SLAB REBAR. USE #4 BARE COPPER MIN.
4. 100 AMP 3-POLE, CIRCUIT BREAKER MANUAL TRANSFER SWITCH IN WEATHERPROOF ENCLOSURE.
5. 100 AMP 3 POLE S-N FUSED 240 VOLT WEATHERPROOF DISCONNECT.
6. GENERATOR RECEPTACLE, RUSSELL & STOLL.
7. PACKAGE PUMP STATION CONTROL PANEL.
8. LIGHTNING ARRESTOR - SQUARE D No. SDSA 3650.

PACKAGED LIFT STATION
ELECTRICAL SERVICE SCHEMATIC



LIFT STATION POTABLE WATER SERVICE



LIFT STATION SITE PLAN

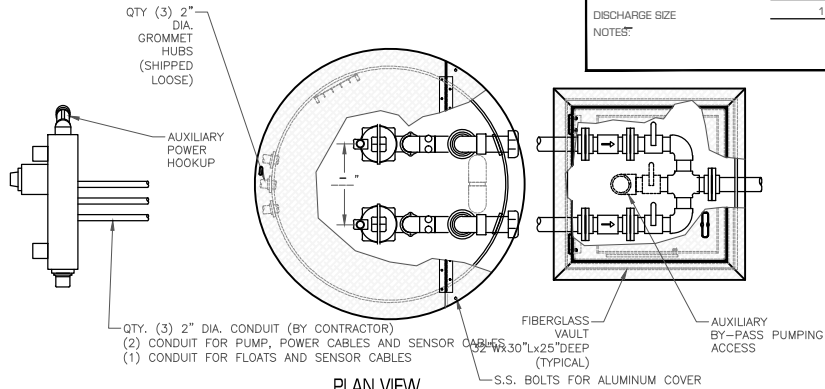


VENEZIA NORTH
RESIDENTIAL SUBDIVISION
LIFT STATION DETAILS

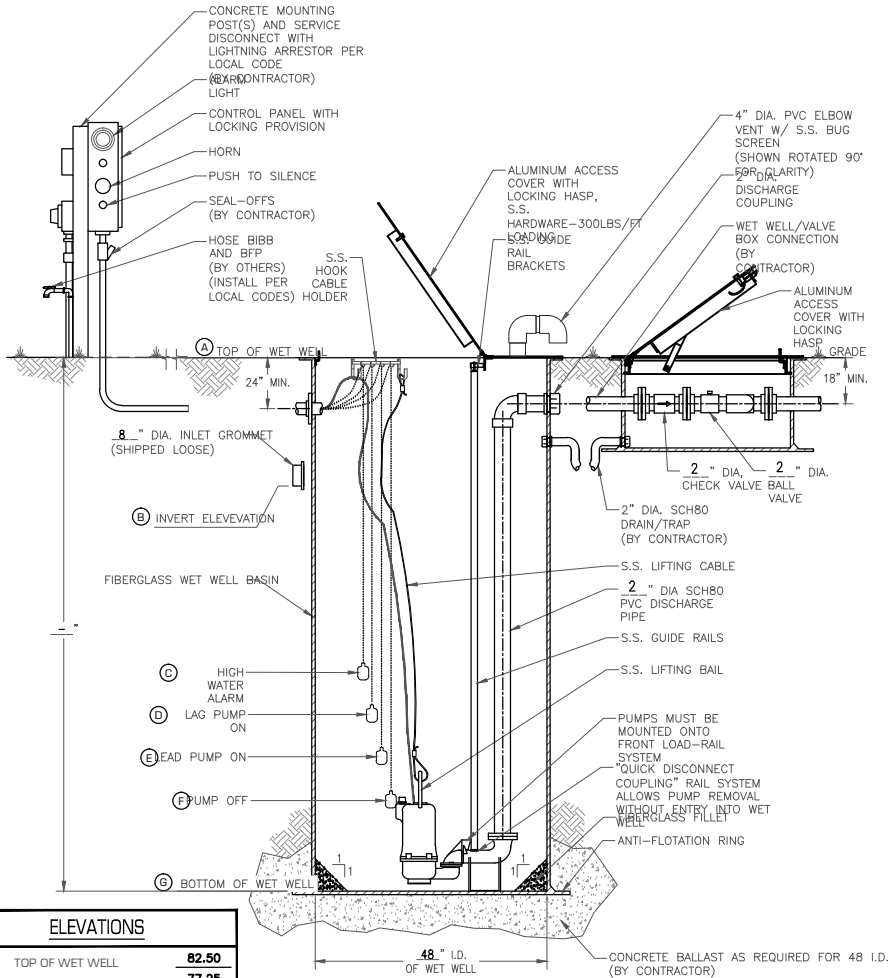
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ALTA MONTAGNA, INC. CTR.
CHARLES C. HOTT, P.E.
PROFESSIONAL ENGINEER 54813

LIFT STATION #1

WET WELL/VALVE BOX LAYOUT



PLAN VIEW



ELEVATIONS

A	TOP OF WET WELL	82.50
B	INLET INVERT	77.25
C	HIGH WATER ALARM	76.75
D	LAG PUMP ON	76.25
E	LEAD PUMP ON	75.75
F	PUMP OFF	73.50
G	BOTTOM OF WET WELL	72.50

SECTION VIEW

PUMP DATA TABLE

PUMP MODEL	HPG200
IMPELLER DIAMETER	5.25"
PUMP DESIGN CAPACITY	28 GPM
PUMP DESIGN TDH	97 FT
SECONDARY CAPACITY	33 GPM
SECONDARY TDH	89 FT
HORSEPOWER	2 HP
VOLTAGE	230 V
PHASE	3 PH
DISCHARGE SIZE	1 1/4"
NOTES:	

GENERAL NOTES

PUMPS SHALL BE OF THE SUBMERSIBLE TYPE (MANUFACTURED BY HYDRAMATIC OR HOMA). EACH PUMP SHALL BE MOUNTED ON A 62" RAIL SYSTEM. THE RAIL SYSTEM SHALL BE SELF ENGAGING RESULTING IN A LEAKPROOF COUPLING. THE RAIL SYSTEM SHALL INCLUDE THE BASE ELBOW, DISCHARGE FLANGE ASSEMBLY, 304SS GUIDE RAILS, 316SS UPPER GUIDE BRACKET, 316SS LIFTING BAIL AND CABLE, AND A SIX-HOOK 316SS CABLE HOLDER. THE RAIL SYSTEM SHALL BE MOUNTED AND PRE-PIPED BY THE PUMP SUPPLIER.

PUMP CONSTRUCTION

THE PUMP VOLUTE, MOTOR AND SEAL HOUSING SHALL BE CONSTRUCTED OF CAST IRON. ALL EXTERNAL FASTENERS SHALL BE SERIES 300 STAINLESS STEEL. THE PUMP SHAFT SHALL BE CONSTRUCTED OF SERIES 416 STAINLESS STEEL.

IMPELLER

THE IMPELLER SHALL BE OF MULTI-VANE, SEMI-OPEN CONSTRUCTION. THE IMPELLER SHALL BE STATICALLY AND HYDRAULICALLY BALANCED.

CUTTERS

A CUTTER ASSEMBLY SHALL BE MOUNTED ON THE SUCTION SIDE OF THE PUMP WITH DIRECT DISCHARGE INTO THE PUMP IMPELLER. THE GRINDER SHALL BE CAPABLE OF GRINDING MATERIALS FOUND IN NORMAL, DOMESTIC SEWAGE. BOTH THE STATIONARY AND ROTATING CUTTERS SHALL BE CONSTRUCTED OF HARDENED STEEL.

MOTOR

THE MOTOR SHALL BE MOUNTED IN A SEALED, SUBMERSIBLE TYPE HOUSING. THE STATOR SHALL BE SECURELY HELD IN PLACE WITH A REMOVABLE END RING AND THREADED FASTENERS FOR EASE OF REMOVAL WITHOUT THE USE OF HEAT OR A PRESS. THE MOTOR WILL HAVE TWO HEAVY-DUTY BALL BEARINGS; ONE UPPER (RADIAL) AND ONE LOWER (THRUST), TO SUPPORT THE SHAFT. THE MOTOR SHALL BE EQUIPPED WITH A WINDING THERMOSTAT THAT IS WIRED TO SHUT THE MOTOR OFF IN CASE OF MOTOR OVERHEATING.

SEAL CHAMBER

THE PUMP SHALL HAVE TWO MECHANICAL SEALS, MOUNTED IN TANDEM WITH AN OIL CHAMBER BETWEEN THE SEALS. THE PUMP SHALL BE EQUIPPED WITH A SEAL LEAK DETECTION PROBE AND WARNING SYSTEM BY USING A SEAL FAILURE SENSOR INSTALLED IN THE SEAL CHAMBER.

WET WELL

THE PUMP SUPPLIER SHALL PROVIDE THE WET WELL. THIS GLASS FIBER-REINFORCED POLYESTER BASIN SHALL BE CONSTRUCTED OF A COMMERCIAL GRADE OF GLASS FIBER AND SHALL BE PROVIDED WITH FILLET AND AN ANTI-FLOTATION RING WITH A MINIMUM DIAMETER OF THREE INCHES LARGER THAN THE BASIN DIAMETER. THE RAIL SYSTEM, INTERNAL PIPING AND DISCHARGE CONNECTIONS SHALL BE PRE-INSTALLED BY THE PUMP SUPPLIER.

HATCH COVER

THE HATCH COVER SHALL BE 2/3 HINGED TO ALLOW FOR MAXIMUM ACCESS TO THE WET WELL. THE HATCH COVER SHALL BE ALUMINUM WITH STAINLESS STEEL FASTENERS, RATED FOR 300 PSF OR GREATER. THE HATCH COVER SHALL INCLUDE A SINGLE OR DUAL DOOR OF DIMENSIONS SPECIFIED BY THE PUMP MANUFACTURER FOR PROPER PUMP CLEARANCE. THE COVER SHALL BE MANUFACTURED BY US FABRICATION, OR EQUAL.

VALVE BOX

THE VALVE BOX IS FIBERGLASS WITH ALUMINUM LOCKABLE COVER. STANDARD SIZE VALVE BOX IS 32"x30"x25".

VALVES

VALVES SHALL BE SEWAGE SWING CHECK WITH CLEAN-OUT PORTS AND BRASS GATE VALVES.

FLOATS

FLOATS SHALL BE ANCHOR SCIENTIFIC ROTO-FLOATS OR EQUAL.

CONTROLS

THE CONTROL PANEL SHALL BE UL508 LISTED. A NEMA 3R ENCLOSURE SHALL BE PROVIDED IN 4X FIBERGLASS. THE PANEL SHALL INCLUDE AN ALTERNATING CONTROL SCHEME (DUPLEX AND ABOVE), MAIN CIRCUIT BREAKER, GENERATOR RECEPTACLE, HIGH LEVEL ALARM LIGHT AND HORN, ELAPSED TIME METERS, VOLTAGE OR PHASE MONITOR, SEAL FAILURE AND OVERLOAD SENSORS. THE LIGHTNING ARRESTOR SHALL BE PROVIDED BY CONTRACTOR.

ELECTRICAL

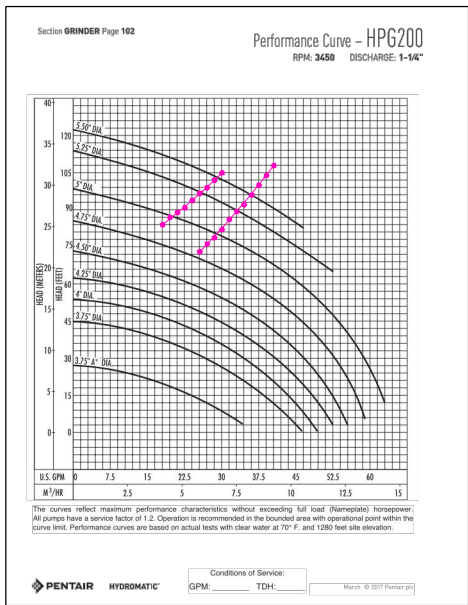
ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES.

SUPPLIER

PUMP SUPPLIER SHALL PROVIDE SUBMERSIBLE PUMPS, SLIDE RAIL ASSEMBLIES, FIBERGLASS BASIN AND VALVE BOX, CONTROL PANEL, FLOAT SWITCHES, ALUMINUM HATCHES AND ACCESSORIES TO INSURE PROPER OPERATIONS AND WARRANTY. THE COMPLETE PACKAGE PUMPING STATION SHALL HAVE PUMP BASINS, RAIL ASSEMBLIES, AND DISCHARGE PIPING ASSEMBLED BY BARNEY'S PUMPS INC. READY FOR FIELD INSTALLATION.

PUMP PACKAGE SHALL BE SUPPLIED BY BARNEY'S PUMPS INC. IN LAKELAND (863-665-8500), CORAL SPRINGS (954-346-0669), OR JACKSONVILLE (904-260-0669), FL.

PUMP PERFORMANCE CURVE

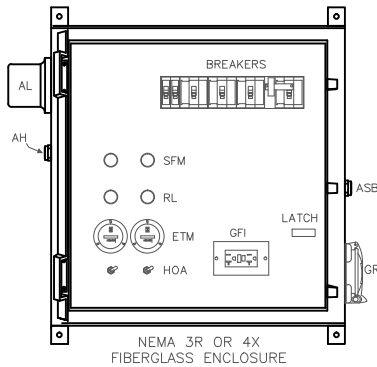


ELECTRICAL

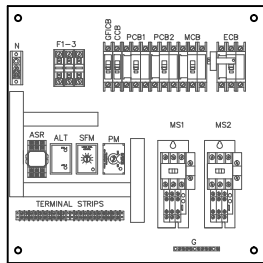
INCOMING POWER: _____ V _____ Ø

(CONTRACTOR TO VERIFY)

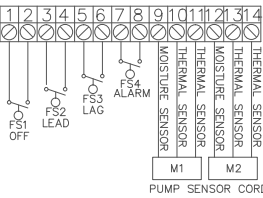
ENCLOSURE AND DEADFRONT LAYOUT (TYPICAL)
(OUTER DOOR REMOVED)



BASE PLATE LAYOUT (TYPICAL)



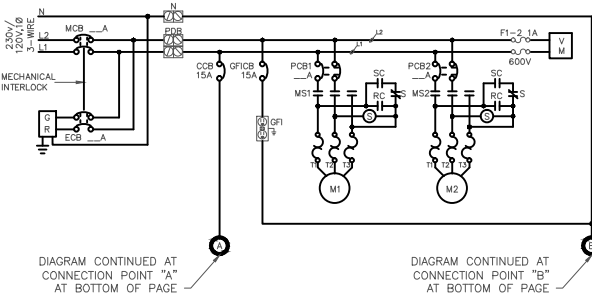
FIELD TERMINALS



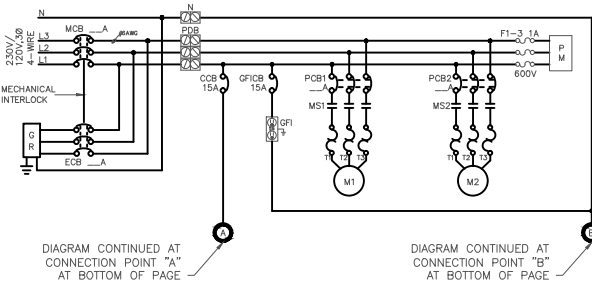
LEGEND

ABBR.	DESCRIPTION
ENC.	ENCLOSURE, 4X, NEMA 4X
MCB	MAIN CIRCUIT BREAKER
ECB	EMERGENCY CIRCUIT BREAKER
N	NEUTRAL BLOCK
PDB	POWER DISTRIBUTION BLOCK
PCB1,2	PUMP CIRCUIT BREAKER
CCB	CONTROL CIRCUIT BREAKER
GFCB	GFI CIRCUIT BREAKER
MS1,2	MOTOR STARTER
OL	OVERLOAD HEATER
S	START RELAY
SC	START CAPACITOR
RC	RUN CAPACITOR
GR	GENERATOR RECEPTACLE
F	FUSE, 1A, 600V
VM	VOLTAGE MONITOR
PM	PHASE MONITOR
XFMR	TRANSFORMER
GFI	GFI RECEPTACLE
AL	ALARM LIGHT
AH	ALARM HORN
ASB	ALARM SILENCE BUTTON
ASR	ALARM SILENCE RELAY
SFM	SEAL FAIL MODULE
IL	INDICATING LIGHT, RED
ALT	ALTERNATOR
HOA	HAND OFF AUTO SWITCH
RL	RUN LIGHT, GREEN
ETM	ELAPSED TIME METER

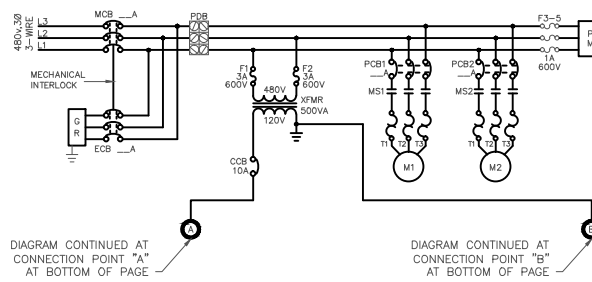
230V SINGLE PHASE WIRING DIAGRAM



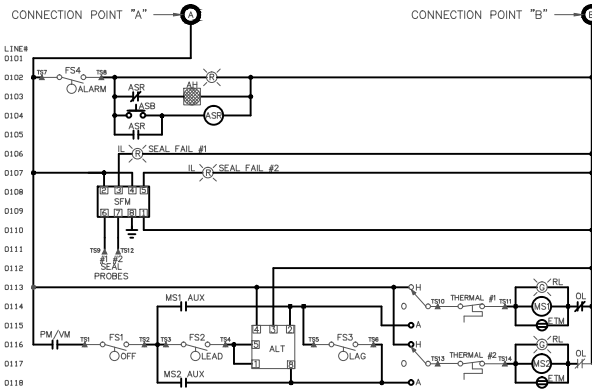
230V THREE PHASE WIRING DIAGRAM



480V THREE PHASE WIRING DIAGRAM



CONTINUATION OF WIRING DIAGRAMS FROM ABOVE



ENCLOSED INDUSTRIAL CONTROL PANEL

PANEL MANUFACTURER SHALL BE UL 508 AND UL 698A LISTED.



BARNEY'S PUMPS, INC.

PO BOX 3529, LAKELAND, FL 33802

PHONE: (863) 665-8500 FAX: (863) 666-3858

PROJECT

CUSTOMER

TITLE GRINDER DUPLEX FIBERGLASS LIFT STATION

DATE 04/26/2018

SALESPERSON

REV.

0

DWG. #

WW2GTFM

DRAWN BY:

R.R.B.

Item 3.

DONALD A. GR
FLORIDA 036799

GRFFEY ENGINEERING, INC.
36202 East Eldorado Lake Dr.
EUSTIS, FLORIDA 32736
(352) 589-2368

Town of Howey-In-The-Hills
101 N. Palm Avenue
P.O. Box 128
Howey-In-The-Hills, FL 34737
(352) 324-2290

HOWEY-IN-THE-HILLS
DOWNTOWN SEWER

LIFT STATION 1

Date

04-06-21

03-08-21

Drawn By:

DAG

Drawing #:

DWTN SEWER

Project #:

15028

Scale:

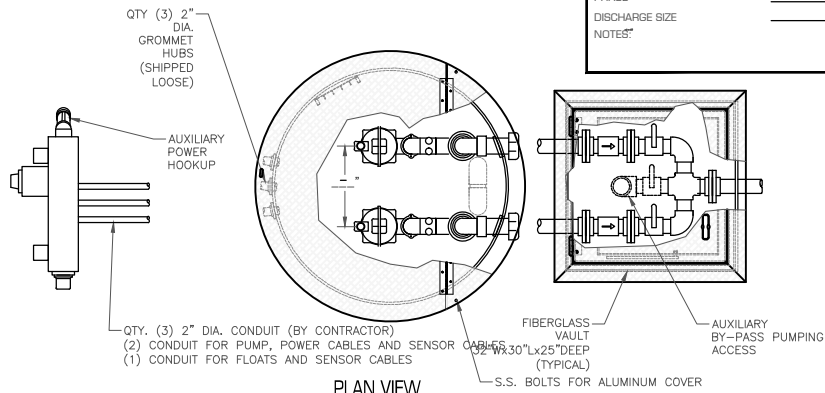
1"=10'

SHEET 19

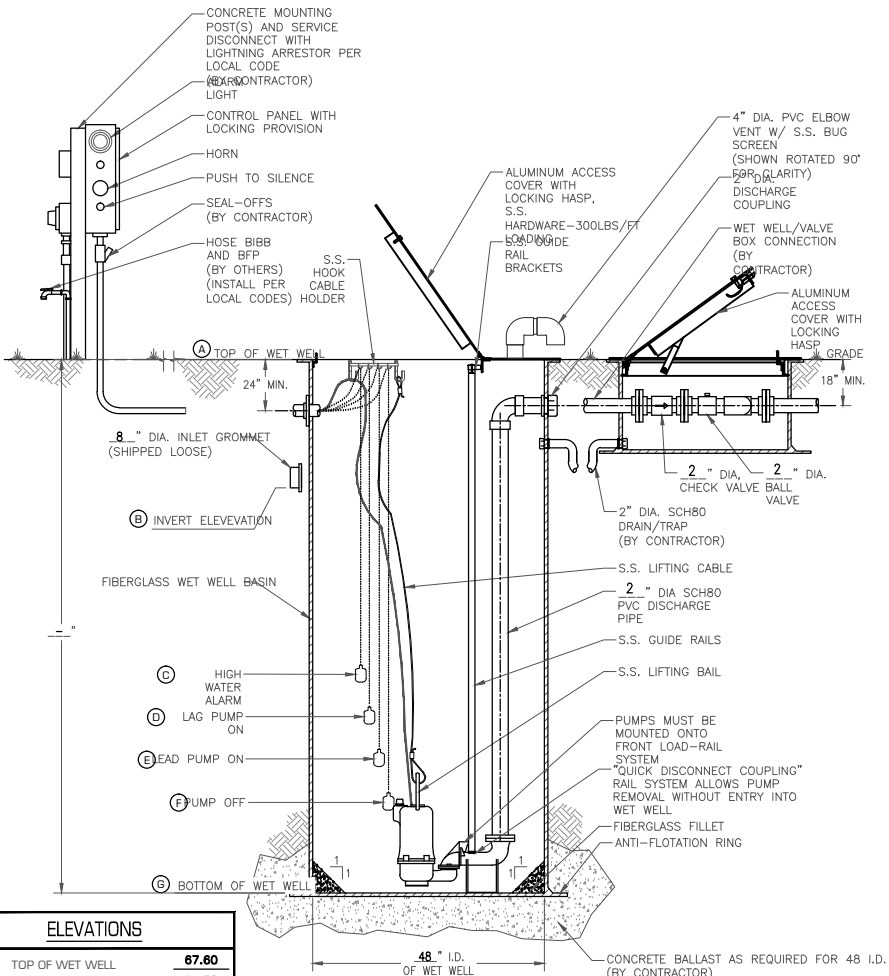
139

LIFT STATION #2

WET WELL/VALVE BOX LAYOUT



PLAN VIEW



SECTION VIEW

ELEVATIONS		
A	TOP OF WET WELL	67.60
B	INLET INVERT	61.35
C	HIGH WATER ALARM	61.10
D	LAG PUMP ON	60.85
E	LEAD PUMP ON	60.60
F	PUMP OFF	58.60
G	BOTTOM OF WET WELL	57.60

CONCRETE BALLAST AS REQUIRED FOR 48 I.D. (BY CONTRACTOR)
DEPTH = CONCRETE = 4000 LBS/20
6FT = 1.5 YDS (6000 LBS)
8FT = 2 YDS (8000 LBS)
10FT = 2.5 YDS (10000 LBS)
12FT = 3 YDS (12000 LBS)
14FT = 3.5 YDS (14000 LBS)

PUMP DATA TABLE

PUMP MODEL	MPGH-500
IMPELLER DIAMETER	8.25"
PUMP DESIGN TDH	58 GPM
PUMP DESIGN TDH	1117 FT
SECONDARY CAPACITY	70 GPM
SECONDARY TDH	104 FT
HORSEPOWER	5 HP
VOLTAGE	230 V
PHASE	1 PH
DISCHARGE SIZE	2"
NOTES:	

GENERAL NOTES

PUMPS SHALL BE OF THE SUBMERSIBLE TYPE (MANUFACTURED BY HYDOMATIC OR HOMA). EACH PUMP SHALL BE MOUNTED ON A 02" RAIL SYSTEM. THE RAIL SYSTEM SHALL BE SELF ENGAGING RESULTING IN A LEAKPROOF COUPLING. THE RAIL SYSTEM SHALL INCLUDE THE BASE ELBOW, DISCHARGE FLANGE ASSEMBLY, 304SS GUIDE RAILS, 316SS UPPER GUIDE BRACKET, 316SS LIFTING RAIL AND CABLE, AND A SIX-HOOK 316SS CABLE HOLDER. THE RAIL SYSTEM SHALL BE MOUNTED AND PRE-PIPED BY THE PUMP SUPPLIER.

PUMP CONSTRUCTION

THE PUMP VOLUTE, MOTOR AND SEAL HOUSING SHALL BE CONSTRUCTED OF CAST IRON. ALL EXTERNAL FASTENERS SHALL BE SERIES 300 STAINLESS STEEL. THE PUMP SHAFT SHALL BE CONSTRUCTED OF SERIES 416 STAINLESS STEEL.

IMPELLER

THE IMPELLER SHALL BE OF MULTI-VANE, SEMI-OPEN CONSTRUCTION. THE IMPELLER SHALL BE STATICALLY AND HYDRAULICALLY BALANCED.

CUTTERS

A CUTTER ASSEMBLY SHALL BE MOUNTED ON THE SUCTION SIDE OF THE PUMP WITH DIRECT DISCHARGE INTO THE PUMP IMPELLER. THE GRINDER SHALL BE CAPABLE OF GRINDING MATERIALS FOUND IN NORMAL, DOMESTIC SEWAGE. BOTH THE STATIONARY AND ROTATING CUTTERS SHALL BE CONSTRUCTED OF HARDENED STEEL.

MOTOR

THE MOTOR SHALL BE MOUNTED IN A SEALED, SUBMERSIBLE TYPE HOUSING. THE STATOR SHALL BE SECURELY HELD IN PLACE WITH A REMOVABLE END RING AND THREADED FASTENERS FOR EASE OF REMOVAL WITHOUT THE USE OF HEAT OR A PRESS. THE MOTOR WILL HAVE TWO HEAVY-DUTY BALL BEARINGS; ONE UPPER (RADIAL) AND ONE LOWER (THRUST), TO SUPPORT THE SHAFT. THE MOTOR SHALL BE EQUIPPED WITH A WINDING THERMOSTAT THAT IS WIRED TO SHUT THE MOTOR OFF IN CASE OF MOTOR OVERHEATING.

SEAL CHAMBER

THE PUMP SHALL HAVE TWO MECHANICAL SEALS, MOUNTED IN TANDEM WITH AN OIL CHAMBER BETWEEN THE SEALS. THE PUMP SHALL BE EQUIPPED WITH A SEAL LEAK DETECTION PROBE AND WARNING SYSTEM BY USING A SEAL FAILURE SENSOR INSTALLED IN THE SEAL CHAMBER.

WET WELL

THE PUMP SUPPLIER SHALL PROVIDE THE WET WELL. THIS GLASS FIBER-REINFORCED POLYESTER BASIN SHALL BE CONSTRUCTED OF A COMMERCIAL GRADE OF GLASS FIBER AND SHALL BE PROVIDED WITH FILLET AND AN ANTI-FLOTATION RING WITH A MINIMUM DIAMETER OF THREE INCHES LARGER THAN THE BASIN DIAMETER. THE RAIL SYSTEM, INTERNAL PIPING AND DISCHARGE CONNECTIONS SHALL BE PRE-INSTALLED BY THE PUMP SUPPLIER.

HATCH COVER

THE HATCH COVER SHALL BE 2/3 HINGED TO ALLOW FOR MAXIMUM ACCESS TO THE WET WELL. THE HATCH COVER SHALL BE ALUMINUM WITH STAINLESS STEEL FASTENERS, RATED FOR 300 PSF OR GREATER. THE HATCH COVER SHALL INCLUDE A SINGLE OR DUAL DOOR OF DIMENSIONS SPECIFIED BY THE PUMP MANUFACTURER FOR PROPER PUMP CLEARANCE. THE COVER SHALL BE MANUFACTURED BY US FABRICATION, OR EQUAL.

VALVE BOX

THE VALVE BOX IS FIBERGLASS WITH ALUMINUM LOCKABLE COVER. STANDARD SIZE VALVE BOX IS 32"x30"x25".

VALVES

VALVES SHALL BE SEWAGE SWING CHECK WITH CLEAN-OUT PORTS AND BRASS GATE VALVES.

FLOATS

FLOATS SHALL BE ANCHOR SCIENTIFIC ROTO-FLOATS OR EQUAL.

CONTROLS

THE CONTROL PANEL SHALL BE UL508 LISTED. A NEMA 3R ENCLOSURE SHALL BE PROVIDED IN 4X FIBERGLASS. THE PANEL SHALL INCLUDE AN ALTERNATING CONTROL SCHEME (DUPEX AND ABOVE), MAIN CIRCUIT BREAKER, GENERATOR RECEPTACLE, HIGH LEVEL ALARM LIGHT AND HORN, ELAPSED TIME METERS, VOLTAGE OR PHASE MONITOR, SEAL FAILURE AND OVERLOAD SENSORS. THE LIGHTNING ARRESTOR SHALL BE PROVIDED BY CONTRACTOR.

ELECTRICAL

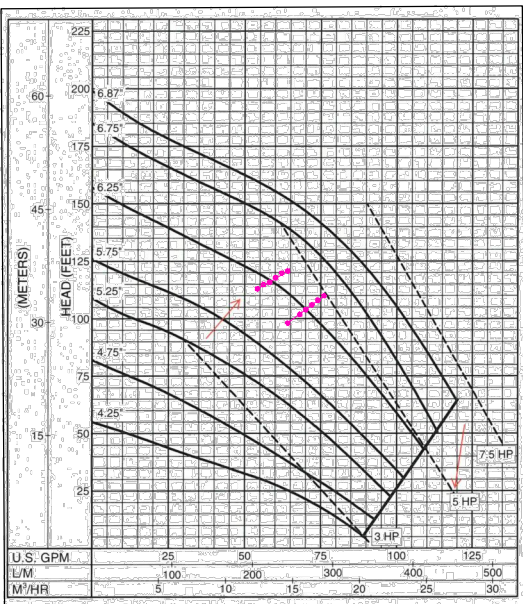
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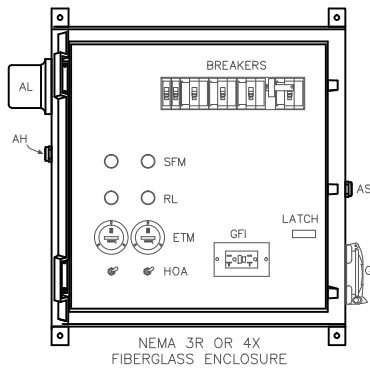
PUMP PERFORMANCE CURVE



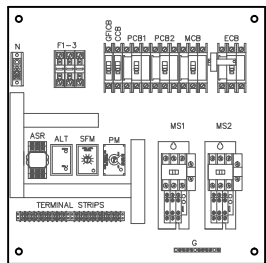
ELECTRICAL

INCOMING POWER: _____ V _____ Ø
(CONTRACTOR TO VERIFY)

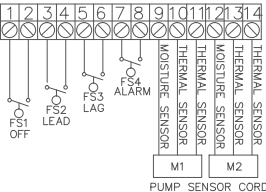
ENCLOSURE AND DEADFRONT LAYOUT (TYPICAL)
(OUTER DOOR REMOVED)



BASE PLATE LAYOUT (TYPICAL)



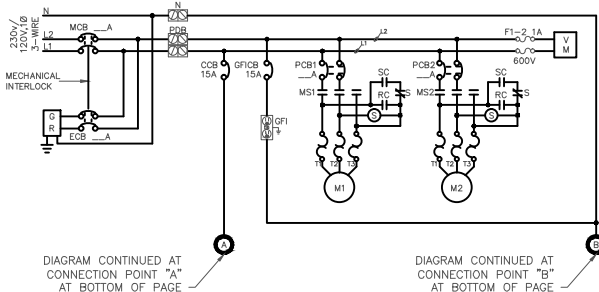
FIELD TERMINALS



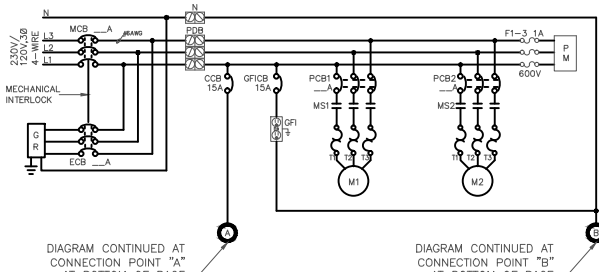
LEGEND

ABBR.	DESCRIPTION
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MCB	MAIN CIRCUIT BREAKER
ECB	EMERGENCY CIRCUIT BREAKER
N	NEUTRAL BLOCK
PDB	POWER DISTRIBUTION BLOCK
PCB1,2	PUMP CIRCUIT BREAKER
CCB	CONTROL CIRCUIT BREAKER
GFCB	GFI CIRCUIT BREAKER
MS1,2	MOTOR STARTER
OL	OVERLOAD HEATER
S	START RELAY
SC	START CAPACITOR
RC	RUN CAPACITOR
GR	GENERATOR RECEPTACLE
F	FUSE, 1A 600V
VM	VOLTAGE MONITOR
XFMR	TRANSFORMER
GFI	GFI RECEPTACLE
AL	ALARM LIGHT
AH	ALARM HORN
ASB	ALARM SILENCE BUTTON
ASR	ALARM SILENCE RELAY
SFM	SEAL FAILURE MODULE
IL	INDICATING LIGHT, RED
ALT	ALTERNATOR
HOA	HAND OFF AUTO SWITCH
RL	RUN LIGHT, GREEN
ETM	ELAPSED TIME METER

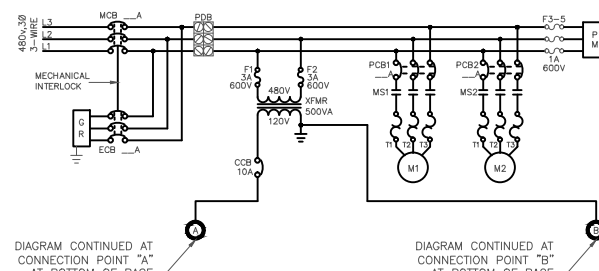
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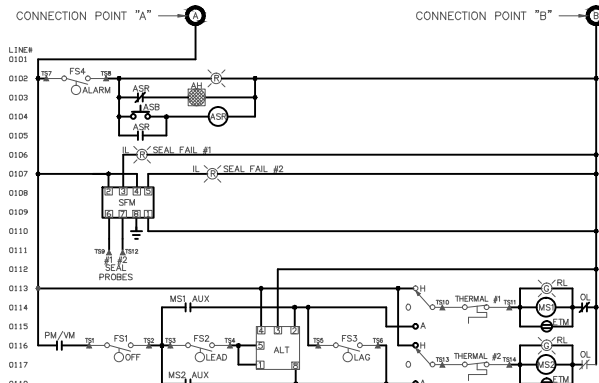
230V THREE PHASE WIRING DIAGRAM



480V THREE PHASE WIRING DIAGRAM



CONTINUATION OF WIRING DIAGRAMS FROM ABOVE



PANEL MANUFACTURER SHALL BE UL 508 AND UL 698A LISTED.



BARNEY'S PUMPS, INC.

PO BOX 3529, LAKELAND, FL 33802
PHONE: (863) 665-8500 FAX: (863) 666-3858

PROJECT

CUSTOMER

SALESPERSON

TITLE

GRINDER DUPEX FIBERGLASS LIFT STATION

REV.

DATE 04/26/2018

DWG. # WW2GFVM

DRAWN BY: R.R.B.

0

Item 3.

DONALD A. GRIFF
FLORIDA 036799

GRIFFEY ENGINEERING, INC.
36202 East Eldorado Lake Dr.
EUSTIS, FLORIDA 32736
(352) 589-2368

Town of Howey-In-The-Hills
101 N. Palm Avenue
P.O. Box 128
Howey-In-The-Hills, FL 34737
(352) 324-2290

HOWEY-IN-THE-HILLS
DOWNTOWN SEWER

LIFT STATION 2

Date	Drawn By:
	DAG
	Drawing #:
	DWTN SEWER
	Project #:
04-06-21	15028
03-19-21	Scale:
03-08-21	

SHEET 20 140

TOWN OF HOWEY-IN-THE-HILLS

APPLICATION FOR BOARDS/COMMITTEES

Please Print Legibly

Name: ALAN HAYES Date: 8.16.22
 Home Mailing Address: 111 ISLAND DR HOWEY-IN-THE-HILLS, FL 34737
 Home Physical Address: same
 Florida Drivers License or ID: _____
 Phone Number: 352.324.2000 E-mail Address: HAYESINHOWEY@gmail.com
 Education: AA degree and 3 yrs toward B.S.
 Business (Name & Type): retired
 Business Address: _____
 Business Phone: _____ Position: _____

Training or experience related to activities of boards or committees to which appointment is sought:
Lic Florida Contractor, extensive residential construction experience

Professional Organizations: FACE (code enforcement) FSPA (Florida Pool + Spa)

Have you served on a Town Board(s)/Committee(s) in the past? _____ Yes X No

Name of Boards/Committee(s): _____

Dates Served: _____

Please check Board(s)/Committee(s) that interest you.

- ☐ Cemetery Board
☐ Historic Preservation Board
☐ Library Board
☐ Parks & Recreation Board
☒ Planning & Zoning Board

- ☐ Police Pension Board
☐ Utility Advisory Board
☐ Visioning Committee

☒ Other development review
☒ Other advisory

or anywhere I would be helpful.

I will attend meetings in accordance with the adopted policies of the Town of Howey-in-the-Hills. If at any time my business or professional interests conflict with the interests of this Board or Committee, I will not participate in such deliberations. References may be secured from the following individuals:

Name	Address	Phone Number
1 <u>Kandace Pourbaix</u>	<u>12526 S. Putney Ct. Leesburg</u>	<u>786.236.7808</u>
2 <u>Amy Bisbo</u>	<u>400 S. Palm Ave Howey</u>	<u>352.636.5032</u>
3 <u>Linda Fulkord</u>	<u>2395 Rollins Ave Clermont</u>	<u>407.394.4330</u>

Alan Hayes
 Signature of Applicant

In completing this application, you are acknowledging that personal information you provide is subject to Florida's Public Records Policy as stated in Chapter 119, Florida Statutes, and Article I, Section 24 of the State Constitution.

Additional information may be attached to this form.

FOR TOWN HALL USE

Received by _____ Date _____
 Reviewed by Board _____
 Appointed by Town Council _____ Date _____



Planning & Zoning Board Meeting

September 22, 2022 at 6:00 PM
Howey-in the-Hills Town Hall
101 N. Palm Ave.,
Howey-in-the-Hills, FL 34737

MINUTES

CALL TO ORDER ROLL CALL

BOARD MEMBERS PRESENT

Chair Tina St. Clair | Vice-Chair Ron Francis III | Board Member Frances Wagler | Board Member Richard Mulvany | Board Member Shawn Johnson

STAFF PRESENT

Sean O'Keefe, Town Administrator | John Brock, Town Clerk | Tom Harowski, Town Planner | Jack Pavlik, Building Services Clerk

CONSENT AGENDA

Routine items are placed on the Consent Agenda to expedite the meeting. If Town Council/Staff wish to discuss any item, the procedure is as follows: (1) Pull the item(s) from the Consent Agenda; (2) Vote on the remaining item(s); and (3) Discuss each pulled item and vote.

1. Consideration and Approval of the August 25, 2022, Planning and Zoning Board Meeting minutes.

Motion made by Vice-Chair Francis III to approve of the Consent Agenda; seconded by Board Member Mulvany. Motion approved unanimously by voice vote.

Voting

Yea: Chair St. Clair, Vice-Chair Francis III, Board Member Wagler, Board Member Mulvany, Board Member Johnson

Nay: None

PUBLIC HEARING

2. Consideration and Recommendation: **469 Avila Place Pool Variance**

Tina St. Clair, Board Chairperson, asked Tom Harowski, Town Planner, to introduce and explain this item. Mr. Harowski explained and summarized his staff report that he had submitted to the board. Mr. Harowski stated that, to meet the standard for a variance, there was supposed to be something unique about the property, some condition that makes it impossible to meet the code. Mr. Harowski suggested that, if the Planning and Zoning board were to recommend the variance, they should do so conditionally,

with the conditions of requiring any affected trees be moved or replaced to another section of the property and that they cannot change the elevation of the rear 5 feet of the property (which is a drainage easement).

Peter and Janice DeJoseph, applicants and property owners of 469 Avila Place, spoke on their own behalf. Mr. DeJoseph stated that they were under the impression that the rear easement was only 5 feet when they purchased the property. Mr. DeJoseph stated that the pool could not come any closer to the house, and if they are not granted an easement, the width of the pool would only be 5 feet. Mr. DeJoseph also stated that the pool plans call for a small stem wall at the edge of the pool deck.

Tina St. Clair, Board Chairperson, opened Public Comment for this item only.

Peter Tuite, 300 E Croton Way – Mr. Tuite thinks that the lots in Talichet are too small. Mr. Tuite also asked if the pool could be located in the side yard of the property.

Board Chair, Tina St. Clair, closed Public Comment.

Vice-Chair Francis asked the applicant about a cut out area behind the patio which was about 1 foot in size. Vice-Chair Francis then asked the applicant if they were to eliminate that area, could the pool be moved 1 foot closer to the house. Mr. DeJoseph stated that he would check with his pool company.

Motion made by Shawn Johnson to recommend granting the full four feet variance as submitted; there was no second for this motion. Motion failed due to not receiving a second.

Motion made by Vice-Chair Francis to recommend a variance of 3 feet to allow the pool and pool deck to go within 7 feet of the rear property line and also requiring any affected trees to be moved or replaced to another section of the property and requiring the pool deck to have a stem wall to eliminate effects on the rear drainage easement; seconded by Board Member Mulvany. Motion was approved by a roll-call vote.

Voting

Yea: Chair St. Clair, Vice-Chair Francis III, Board Member Mulvany

Nay: Board Member Wagler, Board Member Johnson

3. Consideration and Recommendation: Ordinance 2022-019 - Reserve/Hillside Groves Development - PUD Amendment Submission

Tina St. Clair, Board Chairperson, asked Tom Harowski, Town Planner, to introduce and explain this item. Mr. Harowski explained that the amendment to an already approved development would primarily be to the road network. The largest change in the project would be the collector road that runs through the project, from SR 19 to Number Two Rd, and it would change from a four-lane road to a two-lane road.

Appearing for the development team was Rick Welch with Connelly & Wicker (the Civil Engineering team for the project) and Lane Register with Lennar. Mr. Welch stated that, by changing the collector road through the project from a 4-lane to 2-lane road, it would lower the average running speed of people driving through the neighborhood and would be safer.

Town Clerk, John Brock, read out loud a written comment that was submitted to the board. The written comment was from Rhonda Ringer, MD, and she was not in favor of the development.

Tina St. Clair, Board Chairperson, opened Public Comment for this item only.

Marie Gallelli, 1104 N Tangerine Ave – Town Councilor Gallelli asked who determines the speed limit in a development. Town Councilor Gallelli also asked if there would be turning lanes going from the collector road to Number Two Road.

Teresa Pileggi, 1115 N Lakeshore Blvd. – Mrs. Pileggi had questions about how this development would affect the Town's water and wastewater usage.

Peter Tuite, 300 E Croton Way – Mr. Tuite had questions about how this development would affect the Town's Consumptive Use Permit (CUP).

Tim Everline, 1012 N Lakeshore Blvd – Mr. Everline was not in favor of this development.

Gerald Roque, 505 Mission Lane – Mr. Roque wanted the Town to have a laser pointer to use when maps and presentations were utilized.

Daren Surr, 403 E Camelia Way – Mr. Surr was not in favor of this project and 700 more homes coming into the Town.

Board Chair, Tina St. Clair, closed Public Comment.

Motion made by Board Member Mulvany to recommend approval of Ordinance 2022-019 and the Reserve/Hillside Groves PUD Developer's Agreement; seconded by Vice-Chair Francis III. Motion approved unanimously by roll-call vote.

Voting

Yea: Chair St. Clair, Vice-Chair Francis III, Board Member Wagler, Board Member Mulvany, Board Member Johnson

Nay: None

OLD BUSINESS

None

NEW BUSINESS

4. Consideration and Recommendation: Howey Self Storage Final Site Plan Submission

Tina St. Clair, Board Chairperson, asked Tom Harowski, Town Planner, to introduce and explain this item. Mr. Harowski explained that the Howey Self Storage project is part of the original Reserve project approved in 2007. Mr. Harowski summarized his staff report that he had submitted to the board and explained the aesthetics of the project.

Randy June, of June Engineering Consultants, spoke on behalf of the application and project.

Tina St. Clair, Board Chairperson, opened Public Comment for this item only.

Marie Gallelli, 1104 N Tangerine Ave – Town Councilor Gallelli asked for a clarification from Mr. Griffey's engineering report.

Seeing no further public comment, Board Chair, Tina St. Clair, closed Public Comment.

Motion made by Board Member Johnson to recommend approval of the Howey Self Storage Final Site Plan Submission; seconded by Board Member Mulvany. Motion approved unanimously by roll-call vote.

Voting

Yea: Chair St. Clair, Vice-Chair Francis III, Board Member Wagler, Board Member Mulvany, Board Member Johnson

Nay: None

5. Consideration and Recommendation: **Applicants for Planning & Zoning Board**

Tina St. Clair, Board Chairperson, asked Planning and Zoning Board Applicant, Allan Hayes, of 111 Island Drive to speak on his own behalf. Mr. Hayes stated that he had lived in the Town since 2003. Mr. Hayes stated that he wanted to be on the board, because he sees that it is the Planning & Zoning Board Members' responsibility to be the stewards for the Town. Mr. Hayes stated that he doesn't think Howey-in-the-Hills needs people like Lennar, Ryan Homes, and other developers. Mr. Hayes stated that he would like to see approval of one acre or maybe half acre lots. Mr. Hayes stated he would like to preserve and protect what was here before he came to the Town.

Tina St. Clair, Board Chairperson, opened Public Comment for this item. There was no public comment and Public Comment was closed.

Motion made by Vice-Chair Francis III to recommend approval of Alan Hayes' application to the Planning and Zoning Board; seconded by Board Member Mulvany. Motion approved unanimously by voice vote.

Voting

Yea: Chair St. Clair, Vice-Chair Francis III, Board Member Wagler, Board Member Mulvany, Board Member Johnson

Nay: None

Applicant Ellen Yarckin was not present at the meeting.

Motion made by Chair St. Clair to table the agenda item of Ellen Yarckin's recommendation to the board until the October meeting; seconded by Board Member Mulvany. Motion approved unanimously by voice vote.

PUBLIC COMMENTS

Any person wishing to address the Planning and Zoning Board and who is not on the agenda is asked to speak their name and address. Three (3) minutes is allocated per speaker.

Kathy Lieffort, 900 N Lakeshore Blvd – Mrs. Lieffort had questions about the Town Planner, his job description, and how he was hired.

ADJOURNMENT

There being no further business to discuss, a motion was made by Frances O’Keefe Wagler to adjourn the meeting; Shawn Johnson seconded the motion. Motion was approved unanimously by voice vote.

The Meeting adjourned at 7:40 p.m. | **Attendees: 55**

Tina St. Clair Chairperson

ATTEST:

John Brock, Town Clerk

DRAFT



Date: October 10, 2022

To: Mayor and Town Council

From: Morgan Cates

Re: Consideration and Approval: **Fencing around Town Lift Stations in Central Park and Griffin Park**

Objective:

To procure estimates for the installation of fences around Lift Station #3 (S. Lakeshore Blvd.) and Lift Station #4 (Town Hall) to provide extra security measures at both Town-owned Lift Stations.

Summary:

The Public Works Director was asked to procure estimates (not to exceed \$2,500.00 per fence) for the installation of fences around the Town-owned Lift Stations #3 and #4. The Public Works Director contacted South Lake Fence Company, an approved vendor that the Public Works Director has used recently for fence repairs.

Recommended Motions:

The Town Council has the following options:

1. The Town Council motions to approve
OR
2. The Town Council motions to approve with the following conditions
OR
3. Motion to Deny

Fiscal Impact:

There is an initial fiscal impact to the Town of \$7,126.00 for both fences, based on the attached estimates from South Lake Fence of Lake County.

Staff Recommendation:

The Public Works Director is satisfied with the current security measures in place at each Lift Stations as they meet the current FDEP regulations. Except for Lift Station #3 (S. Lakeshore Blvd.) which the Public Works Director recommends adding safety barricades or concrete bollards to help prevent damages to the Lift Station from vehicles traveling along S. Lakeshore Blvd.

ESTIMATE

South Lake Fence of Lake County

PO Box 560286
Montverde, FL 34756

SouthLakeFence3@gmail.com
(407) 785-4900
<https://fenceinstallationinClermontFL.com>



City Of Howey In The Hills

Bill to

City Of Howey In The Hills

Estimate details

Estimate no. : 1788
Estimate date : 10/7/22

Product or service

Amount

1. **Pvc privacy**

\$3,250.00

Installation of tan privacy 6 foot high tongue and groove with flat caps to surround lift station behind Town building.

Total

\$3,250.00

Note to customer

Thank you for your business.

ESTIMATE

South Lake Fence of Lake County

PO Box 560286
Montverde, FL 34756

SouthLakeFence3@gmail.com
(407) 785-4900
<https://fenceinstallationinClermontFL.com>



City Of Howey In The Hills Park

Bill to

City Of Howey In The Hills Park

Estimate details

Estimate no. : 1789
Estimate date : 10/7/22

Product or service

Amount

1. **Chain-link fence**

\$3,876.00

Vinyl coated chain-link fence including one gate, Lift station at Lakeshore

Total

\$3,876.00

Note to customer

Thank you for your business.

Sean O'Keefe

From: Morgan Cates
Sent: Thursday, October 20, 2022 2:19 PM
To: Sean O'Keefe
Subject: FW: Town of Howey fence

Sean,

Please see the below email for estimates on the Lift Station Fences from Fence-It Inc.

Thank you,



Morgan Cates

Public Works Director
Town of Howey-in-the-Hills
101 N. Palm Ave.
P.O. Box 128
Howey-in-the-Hills, FL 34737
Town Hall: 352-324-2290
Cell: 352-805-0205
Email: mcates@howey.org

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from the Town of Howey-in-the-Hills regarding public business are public records available to the public and media upon request. Your e-mail communications may be subject to public disclosure. If you do not want your e-mail address released in response to a public records request, contact this office by phone. If you are NOT the intended recipient, be advised that you have received this e-mail in error and that any use, dissemination, forwarding, printing, or copying of this e-mail is strictly prohibited.

From: Fence-It In Inc <fencegang@msn.com>
Sent: Thursday, October 20, 2022 1:47 PM
To: Morgan Cates <mcates@howey.org>
Subject: Re: Town of Howey fence

Caution: This email originated from outside the organization. DO NOT CLICK links or open attachments unless you recognize the sender and know the content is safe.


Hey Morgan,

If you will look at the email you sent me below, I put the prices on the fences.

Like I said, to give a firm quote we have to visit the site.

Let me know if you have questions.

Linda Clark

Fence-It In, Inc
10045 C.R. 44
Leesburg, FL 34788

(352)315-1952
(352)315-1954 FAX

From: Morgan Cates <mcates@howey.org>
Sent: Wednesday, October 19, 2022 3:07 PM
To: Fence-It In Inc <fencegang@msn.com>
Subject: RE: Town of Howey fence

Linda,

Please see the below addresses, type of fence and dimensions.

Fence #1 \$2,360

- Address: 101 N. Palm Ave Howey-in-the-Hills, FL 34737
- Type: 6' Tall PVC Privacy Fence
- Color: Tan
- Dimensions: 12'x12' with 2 – 6' Tall gates at one end

Fence #2 \$1,945

- Address: 110 S. Lakeshore Blvd. Howey-in-the-Hills, FL 34737
- Type: 6' Tall vinyl coated chain-link
- Color: Black
- Dimensions: 12'x12' with 2 – 6' Tall gates at one end.

Let me know if you have any questions.

Thank you,



Morgan Cates

Public Works Director
Town of Howey-in-the-Hills
101 N. Palm Ave.
P.O. Box 128
Howey-in-the-Hills, FL 34737
Town Hall: 352-324-2290
Cell: 352-805-0205
Email: mcates@howey.org

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From: Fence-It In Inc <fencegang@msn.com>
Sent: Wednesday, October 19, 2022 11:14 AM
To: Morgan Cates <mcates@howey.org>
Subject: Town of Howey fence


Caution: This email originated from outside the organization. DO NOT CLICK links or open attachments unless you recognize the sender and know the content is safe.

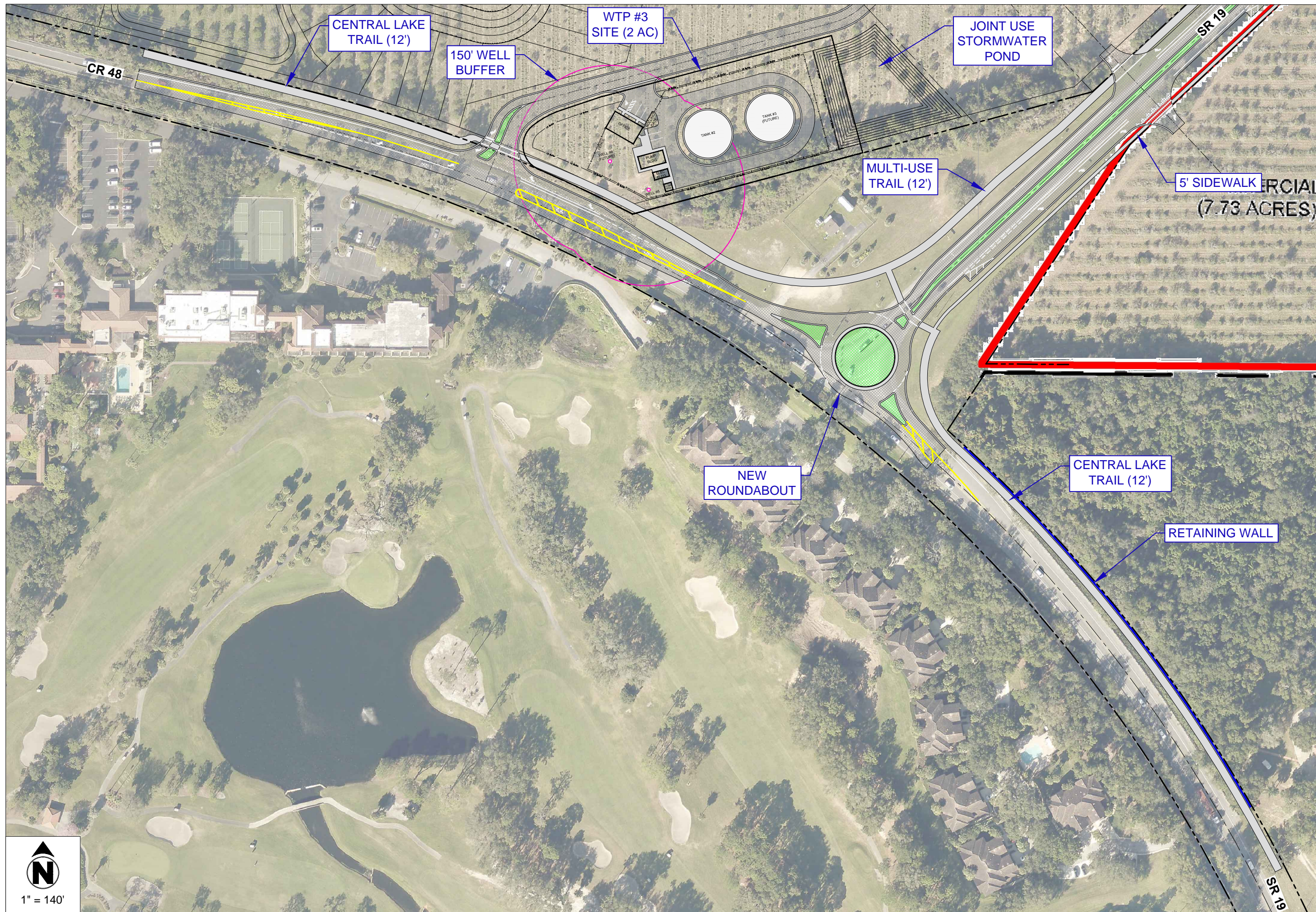
Hey Morgan,

Send the information for the lift station fences and I will get you the ballpark estimate.

Thanks,

Linda Clark

Fence-It In, Inc
10045 C.R. 44
Leesburg, FL 34788

(352)315-1952
(352)315-1954 FAX



Item 6.

DONALD A. GR

FLORIDA 036799

GRIFFEY ENGINEERING, INC.
36202 East Eldorado Lake Dr.
EUSTIS, FLORIDA 32736
(352) 589-2368

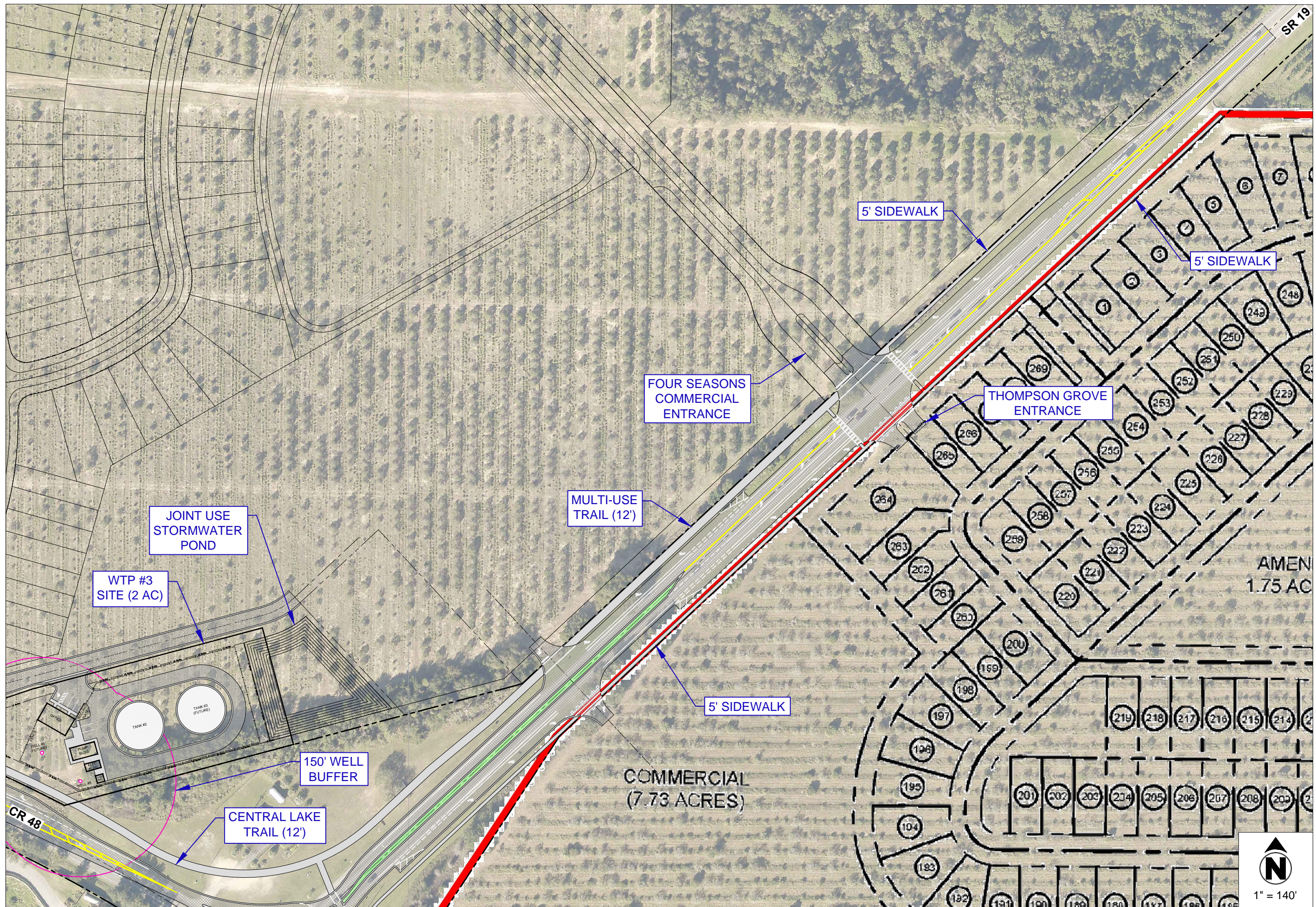
TOWN OF
HOWEY-IN-THE-HILLS
101 N. PALM AVENUE
P.O. BOX 128
HOWEY-IN-THE-HILLS, FL 34737
(352) 324-2290

SR 19 & CR 48
INTERSECTION IMPROVEMENT

CONCEPTUAL PLAN

Date	Drawn By:
	DAG
	Drawing #:
	Intersections
09/08/2022	Project #:
07/06/2022	15028
03/22/2022	Scale:

SHEET 1 154



Item 6.

DONALD A. GR

FLORIDA 036799

GRIFFEY ENGINEERING, INC.

36202 East Eldorado Lake Dr.

EUSTIS, FLORIDA 32736

(352) 589-2368

TOWN OF

HOWEY-IN-THE-HILLS

101 N. PALM AVENUE

P.O. BOX 128

HOWEY-IN-THE-HILLS, FL 34737

(352) 324-2290

SR 19 & CR 48

INTERSECTION IMPROVEMENT

CONCEPTUAL PLAN

Date

09/08/2022

03/22/2022

Drawn By:

DAG

Drawing #:

Intersections

Project #:

15028

Scale:

SHEET 2

155

ORDINANCE NO. 2022-020

AN ORDINANCE OF THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA,
PERTAINING TO TOWN COUNCIL; REVISING THE COMPENSATION TO
BE PAID TO THE MAYOR, MAYOR PRO TEMPORE AND COUNCILORS
UNDER SECTION 42-10 OF THE TOWN'S CODE OF ORDINANCES;
PROVIDING FOR SEVERABILITY, CODIFICATION AND AN EFFECTIVE
DATE.

Whereas, Subsection 112.313(5) of the Florida Statutes provides that the Town Council members may vote on matters affecting their salary, expenses, or other compensation as a public officer.

Whereas, the Town Council now desires to amend the Town's Code of Ordinances regarding the amount of compensation paid to the Mayor, Mayor Pro Tempore, and Councilors.

BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA:

Section 1. Recitals. The recitals set forth above are true and correct and constitute the legislative findings of the Town Council.

Section 2. Amendments to the Town of Howey-in-the-Hills' Code of Ordinances. Section 42-10 of the Town of Howey-in-the-Hills Code of Ordinances is amended, as shown by the addition of the underlined language and the deletion of the struck-through language, as follows:

Sec. 42-10. - Compensation of the Mayor, Mayor Pro Tempore and Town Council Members.

- A. The Mayor shall receive compensation in the amount of \$500.00~~\$250.00~~ per Town Council meeting, workshop, or specially called meeting attended by the Mayor. The Mayor's compensation shall not exceed \$1,000.00~~\$500.00~~ per calendar month.
- B. The Mayor Pro Tempore shall receive compensation in the amount of \$300.00~~\$125.00~~ per Town Council meeting, workshop, or specially called meeting attended by the Mayor Pro Tempore. The Mayor Pro Tempore compensation shall not exceed \$600.00~~\$250.00~~ per calendar month.
- C. A Town Councilor shall receive compensation in the amount of \$225.00~~\$100.00~~ per town council meeting, workshop, or specially called meeting attended by a Town Councilor. A Town Councilor's compensation shall not exceed \$450.00~~\$200.00~~ per calendar month.
- D. The Mayor may be excused from attending a town council meeting, workshop, or specially called meeting without a deduction in compensation. The Mayor must notify the Town Clerk 24 hours prior to the meeting. The Town Clerk shall announce the Mayor's absence at the meeting, and the Town Council shall determine whether the absence will be deemed excused for purposes of this paragraph.
- E. The Mayor Pro Tempore or a Town Councilor may be excused from attending a town council meeting, workshop or specially called meeting without a deduction in compensation. The Mayor Pro Tempore or Town Councilor wishing to be excused from a meeting must notify the Mayor 24 hours prior to the meeting, at which time the Mayor shall determine whether the absence will be deemed excused for purposes of this paragraph.

Section 3. Severability. The provisions of this ordinance are declared to be severable. If any section, sentence, clause or phrase of this ordinance shall for any reason be held to be invalid or unconstitutional, such decision shall not affect the validity of the remaining sections, sentences, clauses or phrases of this

ordinance, but they shall remain in effect, it being the legislative intent that this ordinance shall stand notwithstanding the invalidity of any part.

Section 4. Codification. The provisions in section 2 of this ordinance, and of no other sections, shall become and be made a part of the Town's Code of Ordinances.

Section 5. Effective Date. This ordinance takes effect on December 1, 2022 or upon its enactment, whichever comes later.

ORDAINED AND ENACTED on _____, 2022, by the Town Council of the Town of Howey-in-the-Hills, Florida.

Town of Howey-in-the-Hills, Florida

By: Town Council

By: _____
Martha MacFarlane, Mayor

ATTEST:

APPROVED AS TO FORM AND LEGALITY
(for the use and reliance of the Town only)

John Brock, Town Clerk

Thomas J. Wilkes, Town Attorney

First Reading held October 24, 2022

Second Reading, Public Hearing and Adoption held November 14, 2022

Advertised November 4, 2022

#48675548 v2

LAKE COUNTY MUNICIPAL ELECTED OFFICIALS COMPENSATION

City	Population	Commissioners	Population Per Commissioner	Annual Pay Commissioner	Annual Pay Mayor	Paid Health	Paid Dental	Paid Vision	Retirement Contribution
Clermont	44,600	5	8,920	\$6,600	\$7,800	No	No	No	No
Leesburg	28,376	5	5,675	\$11,364	\$15,888	Yes	Yes	Yes	Yes
Eustis	23,595	5	4,719	\$5,400	\$6,400	No	No	No	No
Groveland	23,000	5	4,600	\$9,180	\$9,180	No	No	No	No
Tavares	18,777	5	3,755	\$6,965	\$7,965	Yes	Yes	Yes	No
Mount Dora	17,200	7	2,457	\$6,293	\$10,926	No	No	No	No
Lady Lake	16,714	4	4,179	\$8,400	\$9,300	No	No	No	No
Minneola	16,446	5	3,289	\$7,200	\$7,200	No	No	No	No
Fruitland Park	9,175	5	1,835	\$12,000	\$12,000	No	No	No	No
Mascotte	6,600	5	1,320	\$5,378	\$7,395	No	No	No	No
Umatilla	4,196	5	839	\$4,000	\$6,000	No	No	No	No
Howey-in-the-Hills	1,837	5	367	\$2,400	\$6,000	No	No	No	No
Montverde	1,700	5	340	\$6,000	\$12,000	No	No	No	No
Municipal Average			3,253	\$7,014	\$9,081				