



Development Review Committee

**September 08, 2022 at 2:00 PM
Howey-in the-Hills Town Hall
101 N. Palm Ave.,
Howey-in-the-Hills, FL 34737**

Join Zoom

Meeting: <https://us06web.zoom.us/j/89138541624?pwd=c0IxYlBQOURReUVNU2Q4a0dGSWdZQT09>
Meeting ID: 891 3854 1624 | **Passcode:** 988921

CALL TO ORDER ATTENDANCE

NEW BUSINESS

- 1. Discussion: Howey Self Storage Final Site Plan Submission**
- 2. Discussion: Reserve/Hillside Groves Major PUD Amendment Submission**
- 3. Discussion: Thompson Grove (Annexation, Rezoning to PUD, Comp. Plan Amend./FLU Map) Submission**

PUBLIC COMMENTS

Any person wishing to address the Development Review Committee and who is not on the agenda is asked to speak their name and address. Three (3) minutes is allocated per speaker.

ADJOURNMENT

To Comply with Title II of the Americans with Disabilities Act (ADA):

Qualified individuals may get assistance through the Florida Relay Service by dialing 7-1-1. Florida Relay is a service provided to residents in the State of Florida who are Deaf, Hard of Hearing, Deaf/Blind, or Speech Disabled that connects them to standard (voice) telephone users. They utilize a wide array of technologies, such as Text Telephone (TTYs) and ASCII, Voice Carry-Over (VCO), Speech to Speech (STS), Relay Conference Captioning (RCC), CapTel, Voice, Hearing Carry-Over (HCO), Video Assisted Speech to Speech (VA-STs) and Enhanced Speech to Speech.

Howey Town Hall is inviting you to a scheduled Zoom meeting.

Topic: DRC Meeting

Time: Sept 8, 2022 2:00 PM Eastern Time (US and Canada)

Location: Town Hall - 101 N Palm Ave, Howey-in-the-Hills, FL 34737

Join Zoom Meeting

<https://us06web.zoom.us/j/89138541624?pwd=c0IxYlBQOURReUVNU2Q4a0dGSWdZQT09>

Meeting ID: 891 3854 1624

Passcode: 988921

Dial by your location

+1 309 205 3325 US

+1 312 626 6799 US (Chicago)

+1 646 558 8656 US (New York)

Find your local number: <https://us06web.zoom.us/u/kdsmEUGehx>

Please Note: In accordance with F.S. 286.0105: Any person who desires to appeal any decision or recommendation at this meeting will need a record of the proceedings, and that for such purposes may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is based. The Town of Howey-in-the-Hills does not prepare or provide this verbatim record. Note: In accordance with the F.S. 286.26: Persons with disabilities needing assistance to participate in any of these proceedings should contact Town Hall, 101 N. Palm Avenue, Howey-in-the-Hills, FL 34737, (352) 324-2290 at least 48 business hours in advance of the meeting.



TMHConsulting@cfl.rr.com
97 N. Saint Andrews Dr.
Ormond Beach, FL 32174
PH: 386.316.8426

MEMORANDUM

TO: Howey-in-the-Hills Development Review Committee
CC: J. Brock, Town Clerk; S. O'Keefe, Town Administrator
FROM: Thomas Harowski, AICP, Planning Consultant
SUBJECT: Howey Self Storage Site Plan
DATE: September 1, 2022

This review is based on the staff report dated May 4, 2022 and the plan set dated August 29, 2022. The "Planning Considerations" comments have been addressed with the following notes:

- The building design compliance for the buildings fronting on SR 19 will be reviewed for compliance with the plan when the building permits are submitted.

The landscape comments have been addressed with the following notes:

- The water source for irrigation was to be reviewed to determine if there is an alternate source other than potable water. Is an alternate source feasible?
- We understood the 30-inch camphor tree was to be preserved, but the landscape plans call for its removal. Why is this change occurring?
- Please add a note to the landscape plans directing that trimming of canopy trees and understory trees is to be done consistent with the natural shape of the trees. Shade trees and understory trees are not to be trimmed like topiaries.

September 5, 2022
Howey Self Storage
Engineering Review Comments
Page 1

1. Provide copies of all outside agency permits required for the project (SJRWMD, FDOT, FDEP, FWC, etc).
2. Provide standard crosswalk striping (FDOT Index 17346) at the entrance on SR 19 and a terminal sidewalk ramp on the west side of the new driveway.



August 29, 2022

John Brock, Town Clerk
Planning Department
Town of Howey in the Hills
101 N. Palm Avenue
Howey-in-the-Hills, FL 34737

RE: HOWEY SELF STORAGE

Mr. Brock,

Please accept this letter and attachments as our response to the DRC comments dated May 4, 2022. We have addressed each comment below as they appeared in the DRC memorandum.

Planning Considerations

1. Please provide a survey as a separate page. It was very difficult to review the survey when it is used as a base for other pages.

RESPONSE: The survey has been added as a separate page on sheet 5b.

2. Please make sure the plans include the following required site plan data. Dimensions of all buildings, parking calculations, stop signs and stop bars, etc. Review Section 4.03.18 to check that all applicable items have been included.

RESPONSE: Parking calculations and additional building dimensions have been added to sheet 3. Stop bars & signs have been added and called out on sheets 4 and 6.

3. The plan set shows intersection improvements on SR 19 at the Florida Avenue/Venezia Boulevard intersection. Are these improvements part of the proposed project? Is FDOT requiring these improvements?

RESPONSE: The only improvement near the Florida Avenue intersection is our connection to the existing water main. We have toned down the existing striping, piping, etc. to show more clearly.

4. The plan set shows a building concept that follows the design component of the development agreement. Verification of the building design details will be done with the application for the building permit. The applicant needs to be careful to include the detailed design elements with the building construction plans.

RESPONSE: Details of the proposed building design will be submitted separately with the building permit.

5. The construction of the sidewalk on SR-19 is required by the project. Section E on page 4 covers the sidewalk area but does not show the sidewalk as part of the cross-section. Please update the cross-section to show the sidewalk. (This same cross-section appears with the landscape plans and needs to be corrected in all locations.)

RESPONSE: The sidewalk has been added to section E on sheet 4.

6. The sign needs to be setback at least 10 feet from the south property line. Landscaping should be included around the base of the sign.

RESPONSE: The sign has been located 15 feet from the south property line and a small hedge placed around the perimeter of the sign has been added.

7. It looks like one of the pole-mounted lights at the front of the project is located in the driveway entrance. Please move the pole to a safer location.

RESPONSE: Pole-mounted light has been relocated out of the drive lane..

Landscaping and Irrigation Considerations

1. The landscape plans need to be sealed by a qualified landscape architect unless the applicant can document an exception to this requirement.

RESPONSE: Plans signed by our Landscape Architect.

2. Buffer requirements per code are a minimum of 15-feet when adjacent to a street and 10-feet when adjacent to an interior property line. The Boyer Singleton Plan called for a 10-foot buffer on the south side of the property, and the Boyer Singleton plan will be applied. The most recent plans have eliminated the planting in the buffer, and the plantings need to be restored consistent with the buffer content requirements. Section A on page 4 shows trees, but these are not shown on the landscape plans. As shown the trees are too close to the wall and need to be moved outboard.

RESPONSE: Landscaping has been modified to show the landscaping along the south side of the property and the wall has been relocated to allow the planting of the trees.

3. The applicant should dimension the front buffer and document the specified width of the buffer on SR-19. The application of the 75-foot setback from the SR-19 centerline was based on increased landscaping, and this consideration should be included in the front buffer analysis. The applicant needs to document the plant content in the front buffer meets the code requirements.

RESPONSE: Buffer along SR19 is 22 feet from the property line and 72.5' from the centerline.

4. The SR 19 buffer should present more of a free-flow layout. Mass some of the shrubs into planting beds and place some of the understory trees into groupings.

RESPONSE: See revised landscape plans.

5. The swales in the front buffer and the side buffer are negatively impacting the landscape design, the swales need to be removed.

RESPONSE: Swales have been relocated as to not negatively impact the landscape design.

6. The code for non-residential buffers requires one canopy tree, two understory trees and 30 linear feet of shrubs per each 50 linear feet of buffer. The planting plan needs to be amended to conform to these requirements.

RESPONSE: See revised Landscape plan.

7. Landscaping for the parking area with the office needs further modification. The landscaped islands require ground cover and shrubs per 7.05.01 B. Just showing mulch is insufficient.

RESPONSE: See revised Landscape plan.

8. The Town has recently adopted revised irrigation standards, and the plan is being reviewed for compliance with these standards.

RESPONSE: See revised Landscape plan.

9. Is there another feasible water source for irrigation other than potable water?

RESPONSE: We will look into using a well on site.

10. Earlier reviews noted at least one large tree (30-inch camphor) near the perimeter of the retention area. Is this tree still present on site? Do the plans show preservation of the tree?

RESPONSE: The 30 inch Camphor has been shown on the revised plans. This tree will be saved. It is within the upland buffer and is not proposed to be removed.

Engineering Comments

1. The plan needs to incorporate the town's new standard details.

RESPONSE: The plan detail sheets have been revised with the most recent Town details.

2. The proposed access drive from the site is too close to SR 19. It needs to be moved further away from the right-of-way/property line to allow for vehicle movement into and out of the site as well as vehicle queuing on the Hillside Groves (Reserve) road connecting to SR 19.

RESPONSE: As per our discussion we have shifted the proposed entrance.

3. Provide a vehicle turning evaluation of the project. Demonstrate for the entrance and the internal areas of the site, that it can be successfully navigated by a passenger vehicle pulling and trailer and a fire truck.

RESPONSE: We have added sheet 5a to show the truck turning radii.

4. Will this project construct the road segment connecting to SR 19? If so, it needs to conform to the attached concept plan for SR 19 improvements.

RESPONSE: Plans have been revised to show our entrance to be consistent with the over concept plan.

5. Remove the drainage swale from the landscape buffer.

RESPONSE: The drainage swale has been removed from the landscape buffer.

6. Provide crosswalk striping between the onsite curb ramps.

RESPONSE: Proposed crosswalk striping has been called out on sheet 3.

7. Field-locate the existing 4" water main from your project's SW corner to the east side of Florida Avenue and add it into your offsite improvement plan. Depending on its location, the town may choose to keep it operational. If it is not needed, the unused portion should be removed, and not abandoned in place.

RESPONSE: The existing 4" water main has been shown on sheet 6 of the revised plans. We have shown this main to remain.

8. Show on the plan how and where the exiting 4" will tie in to the new 12". It should be west of the new road connection.

RESPONSE: The connection to the existing 4" WM has been show west of our proposed new driveway access.

9. Update the Utility Connection Detail on sheet 6 to add the ex. 4" WM, correct the new WM size, remove the FM connection note.

RESPONSE: The FM connection note has been removed.

10. Identify on the plan the water main jumper locations and BacT testing points. Add the town's temporary jumper detail PW-5A.

RESPONSE: Sample points SP-1, SP-2 and SP-3 are shown on sheet 6. The temporary jumper detail is shown on sheet 9.

We hope that all of your comments have been addressed and will allow for your approval. Please let us know if you have any additional comments or questions. Thank you.

Sincerely,

Jeffrey A Sedloff

Jeffrey A. Sedloff, P.E.
JUNE ENGINEERING CONSULTANTS, INC.

CONSTRUCTION PLANS

FOR

Howey Self Storage

S.R. 19

HOWEY IN THE HILLS, FLORIDA

LAND DESCRIPTION (EAGLES LANDING AT OCDEE, INC. PARCEL)(VILLAGE 4 OF THE RESERVE AT HOWEY IN THE HILLS)

COMMENCE AT THE EAST 1/4 CORNER OF SECTION 35, TOWNSHIP 20 SOUTH, RANGE 25 EAST, LAKE COUNTY FLORIDA; THENCE RUN N89°21'35"W ALONG THE SOUTH LINE OF THE NORTHEAST 1/4 OF SAID SECTION 35, 1487.79 FEET TO A POINT ON THE NORTHWESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 19; THENCE RUN N52°07'27"E ALONG SAID NORTHWESTERLY RIGHT-OF-WAY LINE, 673.75 FEET TO THE POINT OF BEGINNING; THENCE RUN N37°53'02"W, 1008.88 FEET; THENCE RUN N00°35'47"E, 116.78 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 35; THENCE RUN S89°24'13"E ALONG SAID NORTH LINE, 270.08 FEET TO A POINT ON THE WEST LINE OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 35; THENCE RUN N00°35'58"E ALONG SAID WEST LINE, 256.12 FEET TO A POINT ON THE SOUTH LINE OF THE RESIDENCE OF DON WHITE; THENCE RUN S89°24'13"E ALONG SAID SOUTH LINE, 418.17 FEET; THENCE RUN S00°35'47"W, 709.10 FEET; THENCE RUN S37°52'33"E, 317.47 FEET TO A POINT ON SAID NORTHWESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 19; THENCE RUN S52°07'27"W ALONG SAID NORTHWESTERLY RIGHT-OF-WAY LINE, 329.54 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 11.978 ACRES MORE OR LESS.

LAND DESCRIPTION (HOWEY IN THE HILLS, LTD. PARCEL)

HOWEY FROM E 1/4 COR OF SEC 35-20-25 RUN N 89-21-35 W 1487.79 FT TO NWLY R/W LINE OF SR 19, N 52-07-27 E ALONG SAID NWLY R/W LINE 1003.29 FT FOR POB, RUN N 37-52-33 W 317.47 FT, N 0-35-47 E 709.10 FT, S 89-24-13 E TO NW COR OF LOT 1 BLK D-14 OF PALM GARDENS SUB, SE'LY ALONG SAID WLY LINE OF BLK D-14 OF PALM GARDENS SUB TO NWLY LINE OF SR 19, SWLY ALONG SAID R/W LINE TO POB ORB 3003 PG 1362 ORB 3446 PG 103

THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 11.00 ACRES MORE OR LESS.

DEVELOPER:	HOWEY SELF STORAGE C/O P.O. BOX 770609 WINTER GARDEN, FL. 34777-0609	(407) 905-8180
ENGINEER:	JUNE ENGINEERING CONSULTANTS P.O. BOX 770609 WINTER GARDEN, FL. 34777-0609	(407) 905-8180
SURVEYOR:	BISHMAN SURVEYING & MAPPING 13610 GRANVILLE AVENUE CLERMONT, FL. 34711	(407) 905-8877
GEOTECHNICAL ENGINEER:	YOVAISH ENGINEERING SCIENCES, INC. 953 SUNSHINE LANE ALTAMONTE SPRINGS, FL. 32714	(407) 774-9383
ENVIRONMENTAL CONSULTANT:	BIO-TECH CONSULTING, INC. 2002 EAST ROBINSON STREET ORLANDO, FL. 32803	(407) 894-5969
UTILITIES	Water Sewer Telephone Electric	Town of Howey in the Hills Town of Howey in the Hills Centurylink Duke Energy

February 4, 2008
Revised June 1, 2022



Location Map

INDEX OF SHEETS	
SHEET TITLE	No.
Cover Sheet	1
Site Plan - Overall	2
Site Plan - Utilities	3
Site Plan - Paving & Drainage	4
Design Requirements	4a
SWPPP	5
Truck Turn Radius Plan	5a
Survey - Boundary & Topo	5b
Offsite Improvements	6
FDOT Details	7
Standard Details	8-9
Lift Station Detail Sheet	10
Landscape Plan	L-1
Irrigation Plan	I-1
Photometric Plan	P-1

GENERAL NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE TOWN OF HOWEY-IN-THE HILLS STANDARDS AND SPECIFICATIONS AND TO THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, MOST RECENT EDITIONS.
- ALL DISTURBED AREAS SHALL BE GRASSED UPON COMPLETION OF CONSTRUCTION.
- ALL LANDSCAPING SHALL CONFORM TO THE TOWN OF HOWEY-IN-THE HILLS LANDSCAPE CODE, MOST RECENT ADDITION.
- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES.
- THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE OF THE SITE TO THE SPILLWAYS AS INDICATED BY GRADES AND FLOW ARROWS.
- UTILITIES SHOWN WERE LOCATED FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION ALL UTILITY COMPANIES AND FOR THE LOCATION AND PROTECTION OF ALL UTILITIES THAT MAY EXIST.
- EXISTING ZONING OF THE SUBJECT SITE IS PCD.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE EROSION AND SEDIMENT CONTROL THROUGHOUT THE CONSTRUCTION PHASE WHICH SHALL INCLUDE, BUT NOT LIMITED TO THE PLACEMENT OF SILT FENCES, STACKED HAY BALES OR OTHER SIMILAR STRUCTURES ALONG THE PERIMETER OF THE SITE. THIS WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT AND THE FLORIDA DEPARTMENT OF TRANSPORTATION AS OUTLINED IN F.D.O.T. STANDARD INDEX #102 & CITY CODE. THE CONTRACTOR SHALL PROVIDE AN EROSION PROTECTION PLAN, PRIOR TO PRE-CONSTRUCTION MEETING.
- REMOVE ALL STRIPPINGS AND UNCLASSIFIED MATERIALS OFFSITE AND DISPOSE OF IN LEGAL MANNER.
- FILL TO BE PLACED AND COMPACTED TO A MINIMUM 95% MAXIMUM DENSITY (PER AASHTO T-180)
- JUNE ENGINEERING CONSULTANTS, INC. SHALL BE NOTIFIED IMMEDIATELY OF ANY PROBLEMS REQUIRING DEVIATION FROM THESE PLANS AND SPECIFICATIONS.
- ALL PAVEMENT SHALL BE GRADED TO OBTAIN A MINIMUM GRADE OF 0.50% AND SHALL DRAIN POSITIVELY TO ALL INLETS OR SPILLWAYS.
- CONTRACTOR SHALL PROVIDE AND COORDINATE PLACEMENT OF ANY REQUIRED UNDERGROUND CONDUITS NECESSARY FOR PLACEMENT OF UTILITIES (TELEPHONE, ELECTRIC, CABLE, ETC.) AND THE SPRINKLER SYSTEM.
- CONTRACTOR SHALL PROVIDE JUNE ENGINEERING CONSULTANTS WITH AS-BUILT INFORMATION ON THE FOLLOWING: LOCATIONS AND INVERTS OF ALL UTILITIES AND STORM STRUCTURES; PAVEMENT LOCATIONS AND GRADES; AND POND GRADES SHOWN ON PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE NOTIFICATION, LOCATION & PROTECTION OF ALL UTILITIES THAT MAY EXIST. WITHIN THE PROJECT LIMITS.



june engineering
consultants, inc.

23 W. Joiner Street
Winter Garden, FL 34787
Ph. 407-905-8180
Fax 407-905-6232

Certificate of Authorization #00031567

JEFFREY A. SEDLOFF
PE# 51506

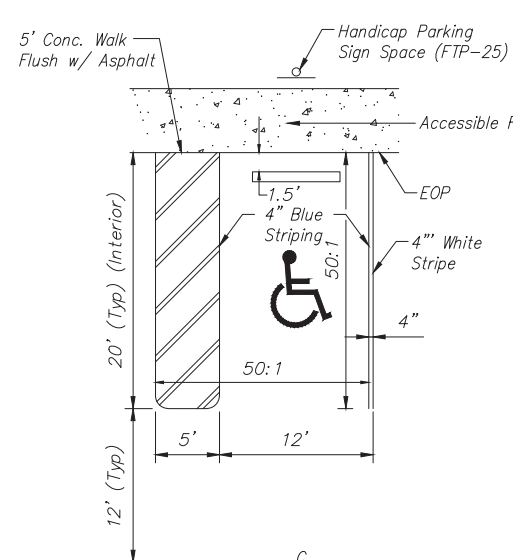
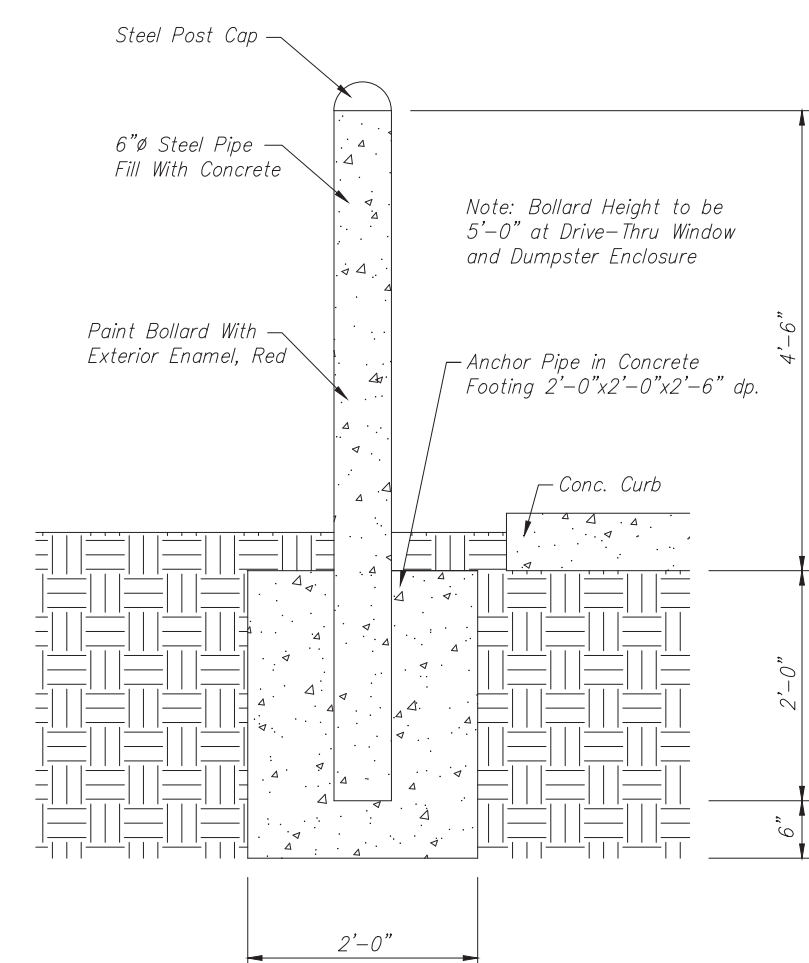
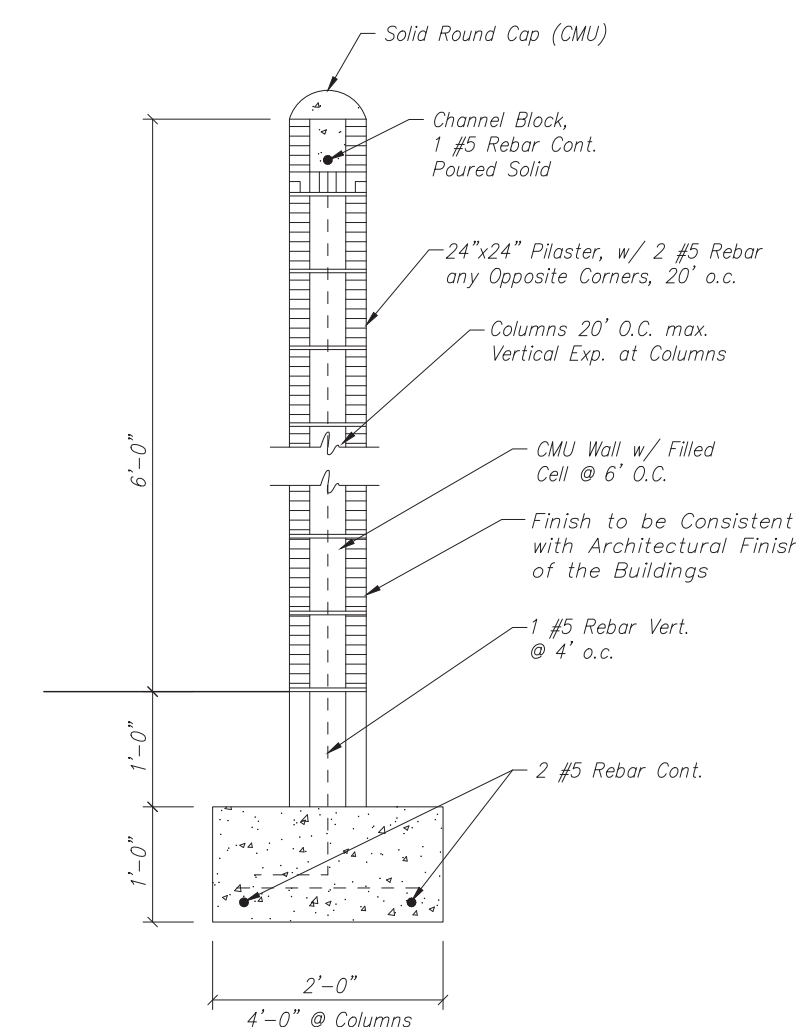


JOB NO.
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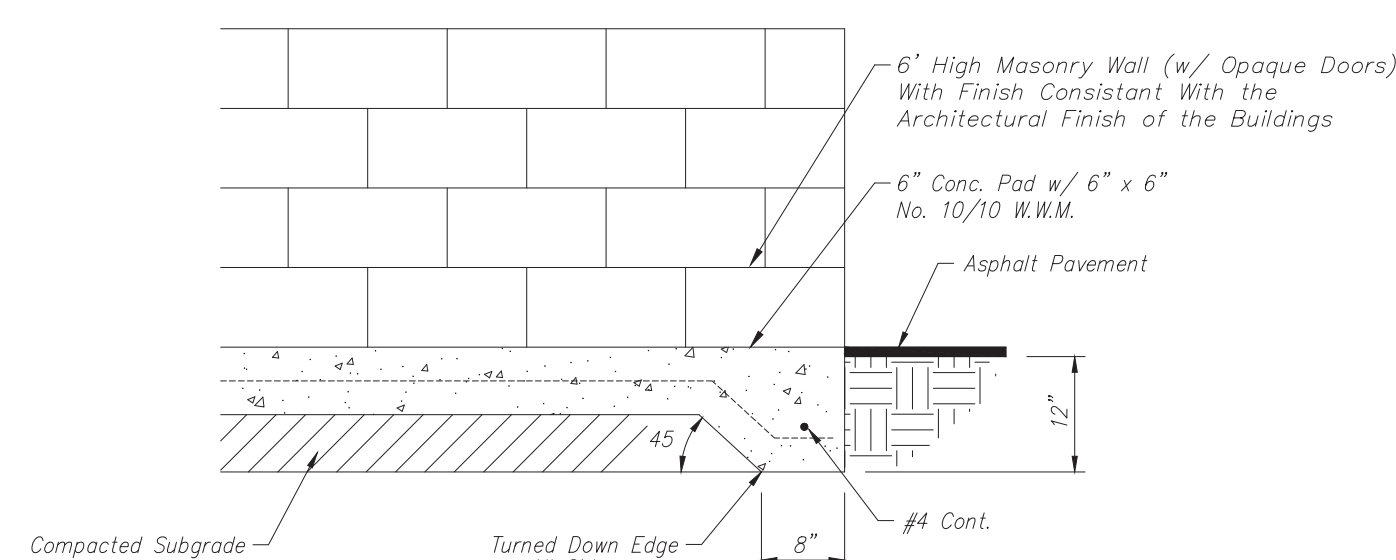
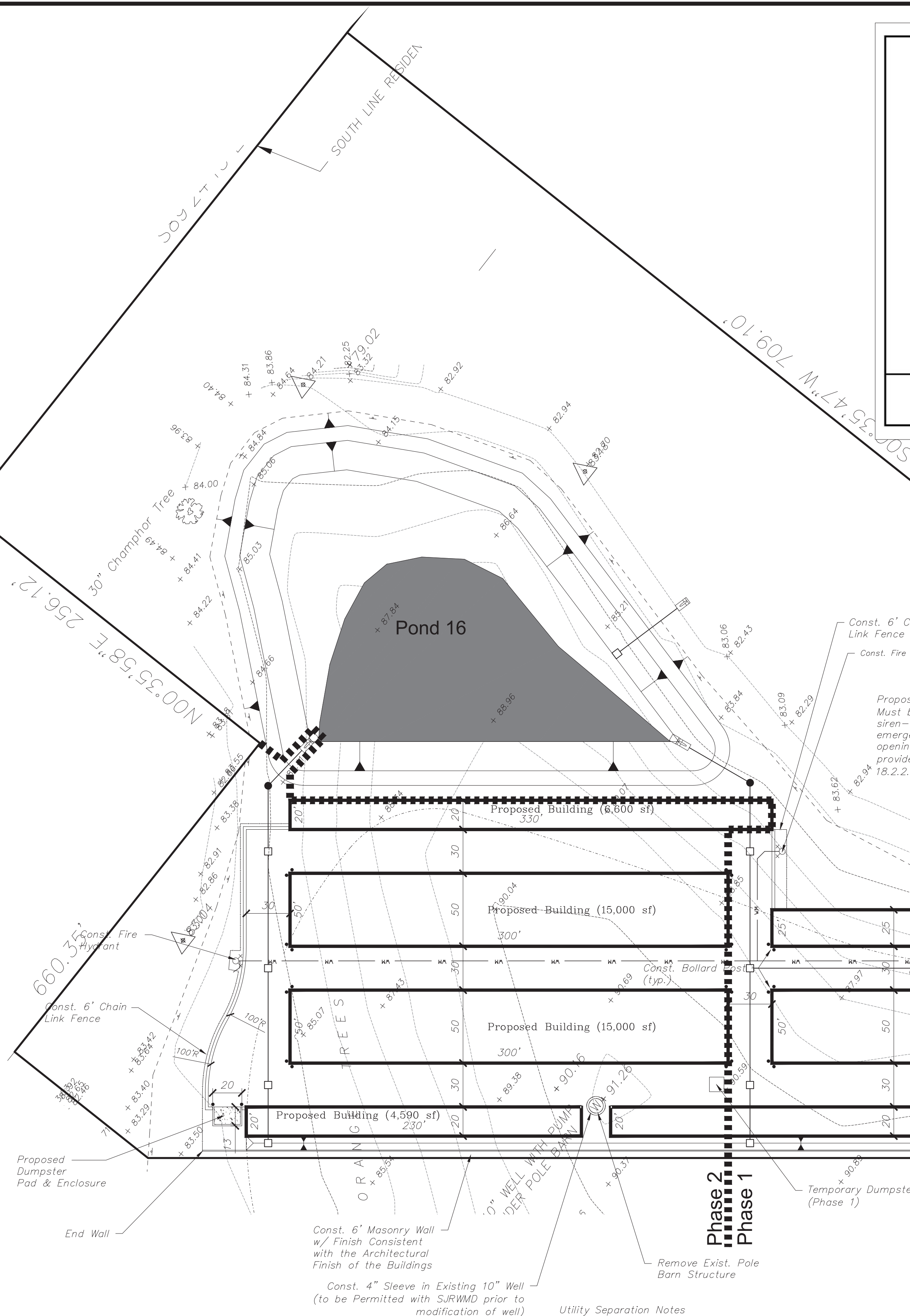
Site Plan – Overall
Howey Self Storage

JEFFREY A. SEDLOFF
PE# 51506



HANDICAP SYMBOL & SIGN

N.T.S.



DUMPSTER PAD

N.T.S.

Utility Separation Notes

New or relocated, underground water mains shall be laid to provide a horizontal distance of at least six feet, and preferably ten feet, between the outside of the water main and the outside of any existing or proposed gravity- or pressure-type sanitary sewer, wastewater force main, or pipeline conveying reclaimed water not regulated under Part III of Chapter 62-610, F.A.C. The minimum horizontal separation distance between water mains and gravity-type sanitary sewers shall be reduced to three feet where the bottom of the water main is laid at least six inches above the top of the sewer. New or relocated, underground water mains crossing any existing or proposed gravity- or vacuum-type sanitary sewer shall be laid so the outside of the water main is at least six inches, and preferably 12 inches, above or at least 12 inches below the outside of the other pipeline. However, it is preferable to lay the water main above the other pipeline.

At the utility crossings described above, one full length of water main pipe shall be centered above or below the other pipeline so the water main joints will be as far as possible from the other pipeline. Alternatively, at such crossings, the pipes shall be arranged so that all water main joints are at least three feet from all joints in vacuum-type sanitary sewers, or pipelines conveying reclaimed water regulated under Part III of Chapter 62-610, F.A.C., and at least six feet from all joints in gravity- or pressure-type sanitary sewers, wastewater force mains, or pipelines conveying reclaimed water not regulated under Part III of Chapter 62-610, F.A.C.

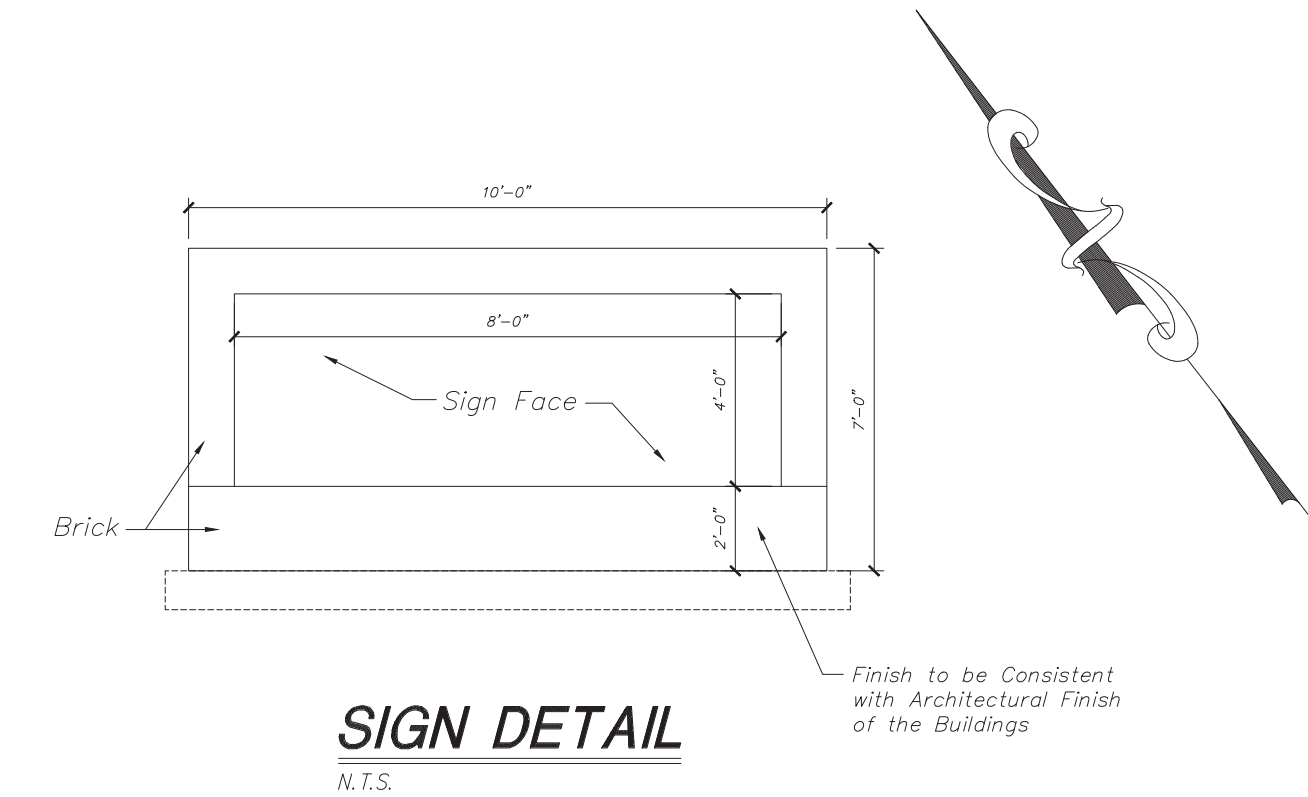
DATE	REVISION
7/22/09	City / SJRWMD Comments
11/17/09	FDOT / Town Comments
6/21/21	Town Comments
2/16/22	Town Comments
6/1/22	Town/FDOT Comments

Other Pipe	Horizontal Separation	Crossings (1)	Joint Spacing & Crossings (Full Joint Centered)
Storm Sewer, Stormwater Force Main, Reclaimed Water (2)	Water Main 3 ft. minimum	Water Main 12 inches is the minimum, except for storm sewers, then 6 inches is the minimum and 12 inches is preferred	Alternate 3 ft. minimum
Vacuum Sanitary Sewer	Water Main 10 ft. preferred 3 ft. minimum	Water Main 12 inches preferred 6 inches minimum	Alternate 3 ft. minimum
Gravity or Pressure Sanitary Sewer, Sanitary Sewer Force Main, Reclaimed Water (4)	Water Main 10 ft. preferred 6 ft. minimum (3)	Water Main 12 inches is the minimum, except for gravity sewers, then 6 inches is the minimum and 12 inches is preferred	Alternate 6 ft. minimum
On-Site Sewage Treatment & Disposal System	10 ft. minimum	---	---

(1) Water mains should cross above other pipes. When water mains must be below other pipes, the minimum separation is 12 inches.
(2) Backfilled water regulated under Part III of Chapter 62-610, F.A.C.
(3) 3 ft. for gravity sanitary sewer where the bottom of the water main is laid at least 6 inches above the top of the gravity sanitary sewer.
(4) Backfilled water not regulated under Part III of Chapter 62-610, F.A.C.

Disclaimer: This document is prepared for your convenience only. Please refer to F.A.C. Rule 62-610.01 for additional construction requirements.

CONSTRUCTION STANDARD DETAILS
DATE: NOV. 2009
FIGURE: A316



Parking Calculation

Storage Area	96,136 sf	Const. 24" White Thermoplastic Stop Bar
Office Area	1,500 sf	Const. "Hi-Intensity" "R1-1" 36" Stop Sign
Spaces Required	1 space/10 units x 732 Units = 74 spaces	Proposed Gate (Refer to Note for North Gate for Specifications)
Spaces Provided	1 space per each 22' along proposed storage building x 4,525 LF. = 205 spaces	
	Spaces in front of office = 7	
	Total spaces provided = 212 spaces	

Traffic Calculation

96,136 SF x 1.51 TPD/1,000 SF = 145 TPD (as per ITE ISI - Mini Warehousing)	
AM Peak Hour = 19 Trips	PM Peak Hour = 19 Trips
Water Demand 1 ERU = 350 gpd	Solid Waster: 16.7 PPP
Sewer Demand 1 ERU = 300 gpd	Stormwater: Provided on site

Village 4	
Setbacks:	
Front	25'
South Side	10'
North Side	10'
Rear	10'
SR 19	75' from old R/W

LEGEND	
Existing Contours	
Lot Number	12
Direction of Flow	
Existing Grade	x 79.3
Proposed Grade	x 79.3
Water Main	8" WM
Sanitary Sewer	S
Stormpipe	
Fire Hydrant	
Storm Inlet	
Concrete	
Gate Valve	
Water Blowoff	



June engineering
consultants, inc.

23 W. Joiner Street
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Ph. 407-905-8180
Fax 407-905-6232

Certificate of Authorization #00008507

DRAWN BY: CLK
DATE: 2/4/08

CHECKED BY: RAJ
DATE: 2/4/08

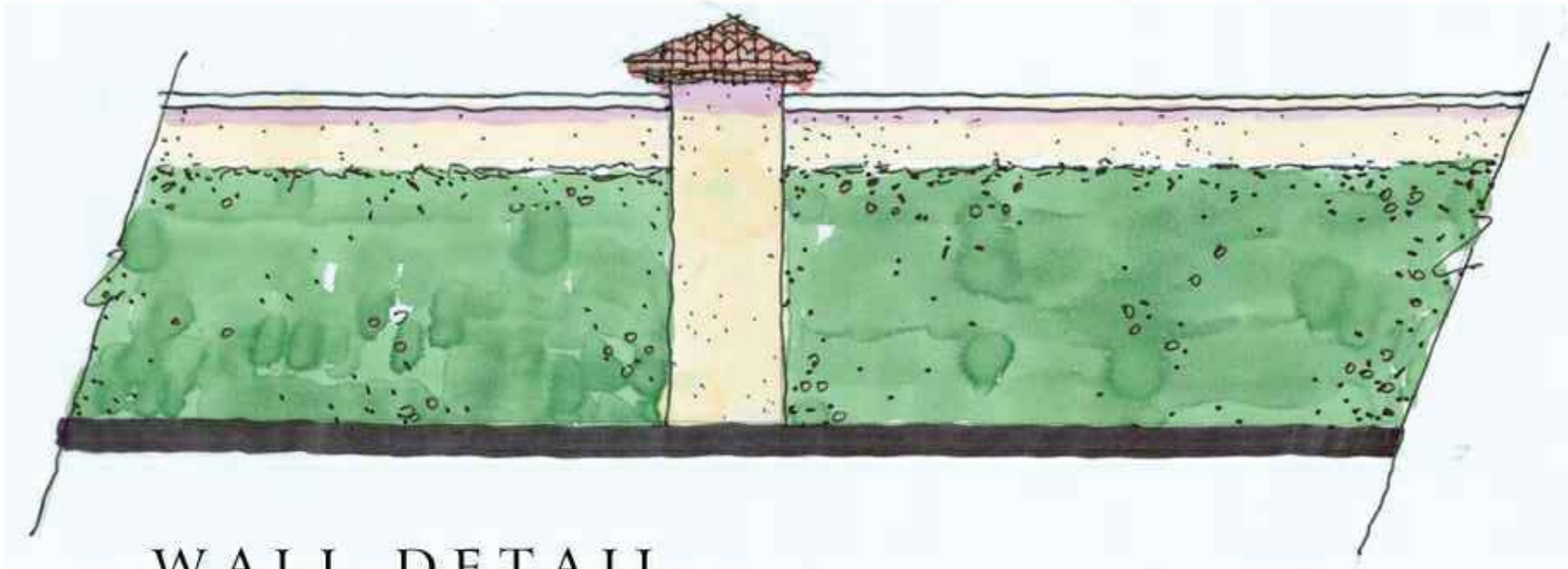
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JEFFREY A. SEDLOFF
PE# 51506

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OF 10

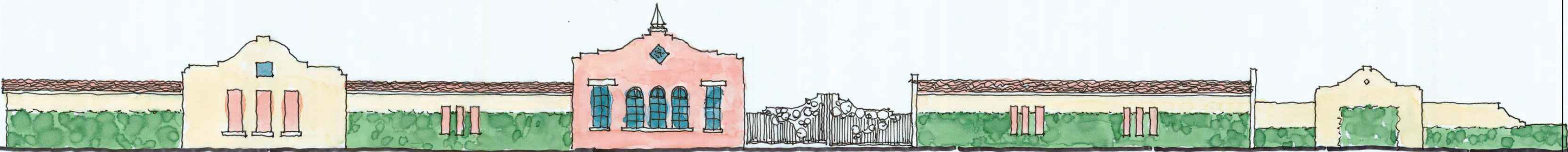
THE RESERVE
AT HOWEY IN THE HILLS
SELF STORAGE FACILITY

The street frontage buildings of the facility will be modeled in the same fashion as the Village Center. The interior buildings will be low profile single story structures surrounded by the architecture on the street and a wall along the residential areas.



WALL DETAIL

AREA PLAN




BUILDING ELEVATIONS

MORRISSEY DESIGN STUDIO

DATE	REVISION
6/21/21	Town Comments

Design Requirements
Howey Self Storage



june engineering
consultants, inc.

23 W. Joiner Street
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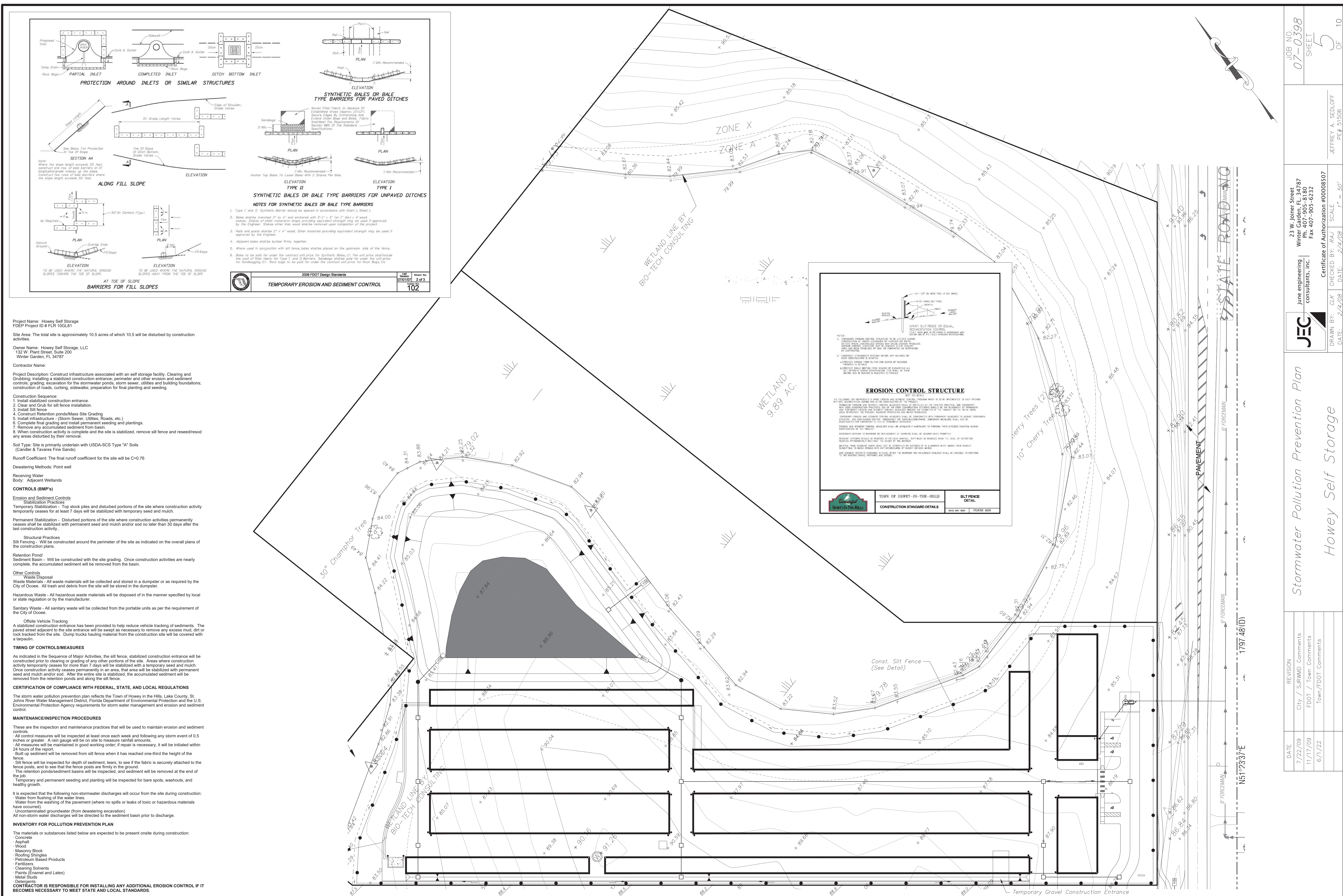
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DATE: 2/4/08

SCALE
1" = 50'

JEFFREY A. SEDLOFF
PE# 51506

JOB NO.
07-0398

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Project Name: Howey Self Storage
FDEP Project ID # FLR 10GL81

Site Area: The total site is approximately 10.5 acres of which 10.5 will be disturbed by construction activities.

Owner Name: Howey Self Storage, LLC
132 W. Plant Street, Suite 200
Winter Garden, FL 34787

Contractor Name:

Project Description: Construct infrastructure associated with an self storage facility. Clearing and grubbing; installing a stabilized construction entrance; perimeter and other erosion and sediment controls; grading; excavation for the stormwater ponds, storm sewer, utilities and building foundations; construction of roads, curbing, sidewalks; preparation for final planting and seeding.

Construction Sequence:

1. Install stabilized construction entrance.
2. Clear and grub for silt fence installation.
3. Install Silt fence
4. Construct Retention ponds/Mass Site Grading
5. Install Infrastructure - (Storm Sewer, Utilities, Roads, etc.)
6. Complete final grading and install permanent seeding and plantings.
7. Remove any accumulated sediment from basin
8. When construction activity is complete and the site is stabilized, remove silt fence and reseed/redo any areas disturbed by their removal.

Soil Type: Site is primarily underlain with USDA-SCS Type "A" Soils (Candler & Tavares Fine Sands)

Runoff Coefficient: The final runoff coefficient for the site will be C=0.76

Dewatering Methods: Point well

Receiving Water Body: Adjacent Wetlands

CONTROLS (BMPs)

Erosion and Sediment Controls

Stabilization Practices

Temporary Stabilization - Top stock piles and disturbed portions of the site where construction activity temporarily ceases for at least 7 days will be stabilized with temporary seed and mulch.

Permanent Stabilization - Disturbed portions of the site where construction activities permanently ceases shall be stabilized with permanent seed and mulch and/or sod no later than 30 days after the last construction activity.

Structural Practices

Silt Fencing - Will be constructed around the perimeter of the site as indicated on the overall plans of the construction plans.

Retention Pond/ Sediment Basin - Will be constructed with the site grading. Once construction activities are nearly complete, the accumulated sediment will be removed from the basin.

Other Controls

Waste Disposal

Waste Materials - All waste materials will be collected and stored in a dumpster or as required by the City of Ocoee. All trash and debris from the site will be stored in the dumpster.

Hazardous Waste - All hazardous waste materials will be disposed of in the manner specified by local or state regulation or by the manufacturer.

Sanitary Waste - All sanitary waste will be collected from the portable units as per the requirement of the City of Ocoee.

Offsite Vehicle Tracking

A stabilized construction entrance has been provided to help reduce vehicle tracking of sediments. The paved street adjacent to the site entrance will be swept as necessary to remove any excess mud, dirt or rock tracked from the site. Dump trucks hauling material from the construction site will be covered with a tarpaulin.

TIMING OF CONTROLS/MEASURES

As indicated in the Sequence of Major Activities, the silt fence, stabilized construction entrance will be constructed prior to clearing or grading of any other portions of the site. Areas where construction activity temporarily ceases for more than 7 days will be stabilized with a temporary seed and mulch. Once construction activity ceases permanently in an area, that area will be stabilized with permanent seed and mulch and/or sod. After the entire site is stabilized, the accumulated sediment will be removed from the retention ponds and along the silt fence.

CERTIFICATION OF COMPLIANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS

The storm water pollution prevention plan reflects the Town of Howey in the Hills, Lake County, St. Johns River Water Management District, Florida Department of Environmental Protection and the U.S. Environmental Protection Agency requirements for storm water management and erosion and sediment control.

MAINTENANCE/INSPECTION PROCEDURES

These are the inspection and maintenance practices that will be used to maintain erosion and sediment controls.

- All control measures will be inspected at least once each week and following any storm event of 0.5 inches or greater. A rain gauge will be on site to measure rainfall amounts.
- All measures will be maintained in good working order; if repair is necessary, it will be initiated within 24 hours of the report.
- Built up sediment will be removed from silt fence when it has reached one-third the height of the fence.
- Silt fence will be inspected for depth of sediment, tears, to see if the fabric is securely attached to the fence posts, and to see that the fence posts are firmly in the ground.
- The retention pond/sediment basins will be inspected, and sediment will be removed at the end of the job.
- Temporary and permanent seeding and planting will be inspected for bare spots, washouts, and healthy growth.

It is expected that the following non-stormwater discharges will occur from the site during construction:

- Water from flushing of the water lines.
- Water from the washing of the pavement (where no spills or leaks of toxic or hazardous materials have occurred).
- Uncontaminated groundwater (from dewatering excavation)

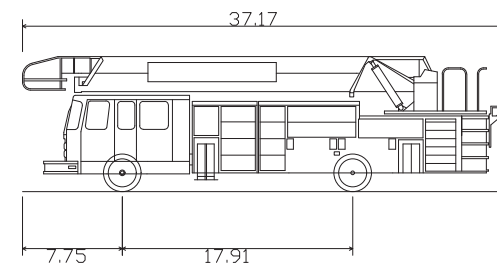
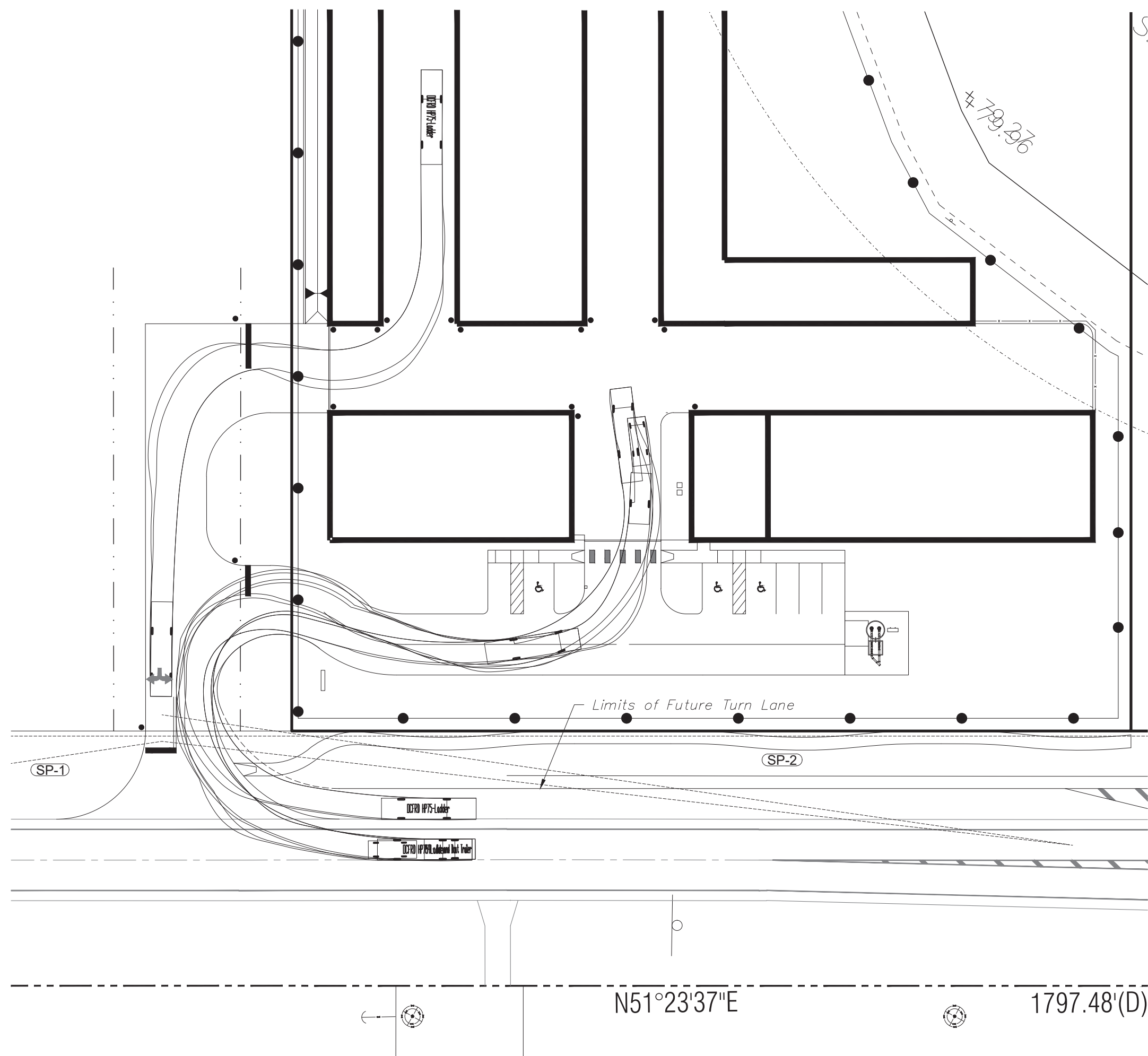
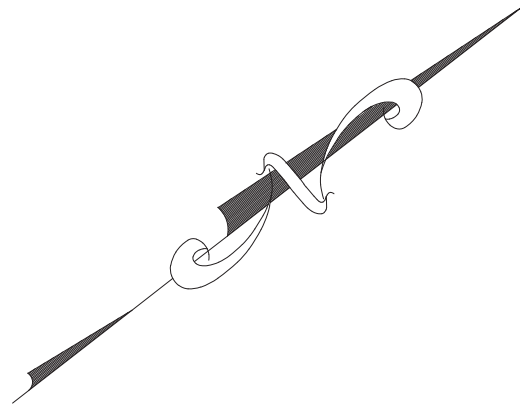
All non-storm water discharges will be directed to the sediment basin prior to discharge.

INVENTORY FOR POLLUTION PREVENTION PLAN

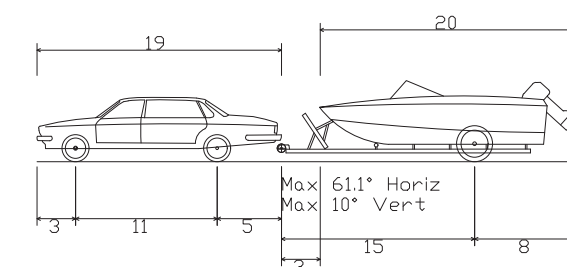
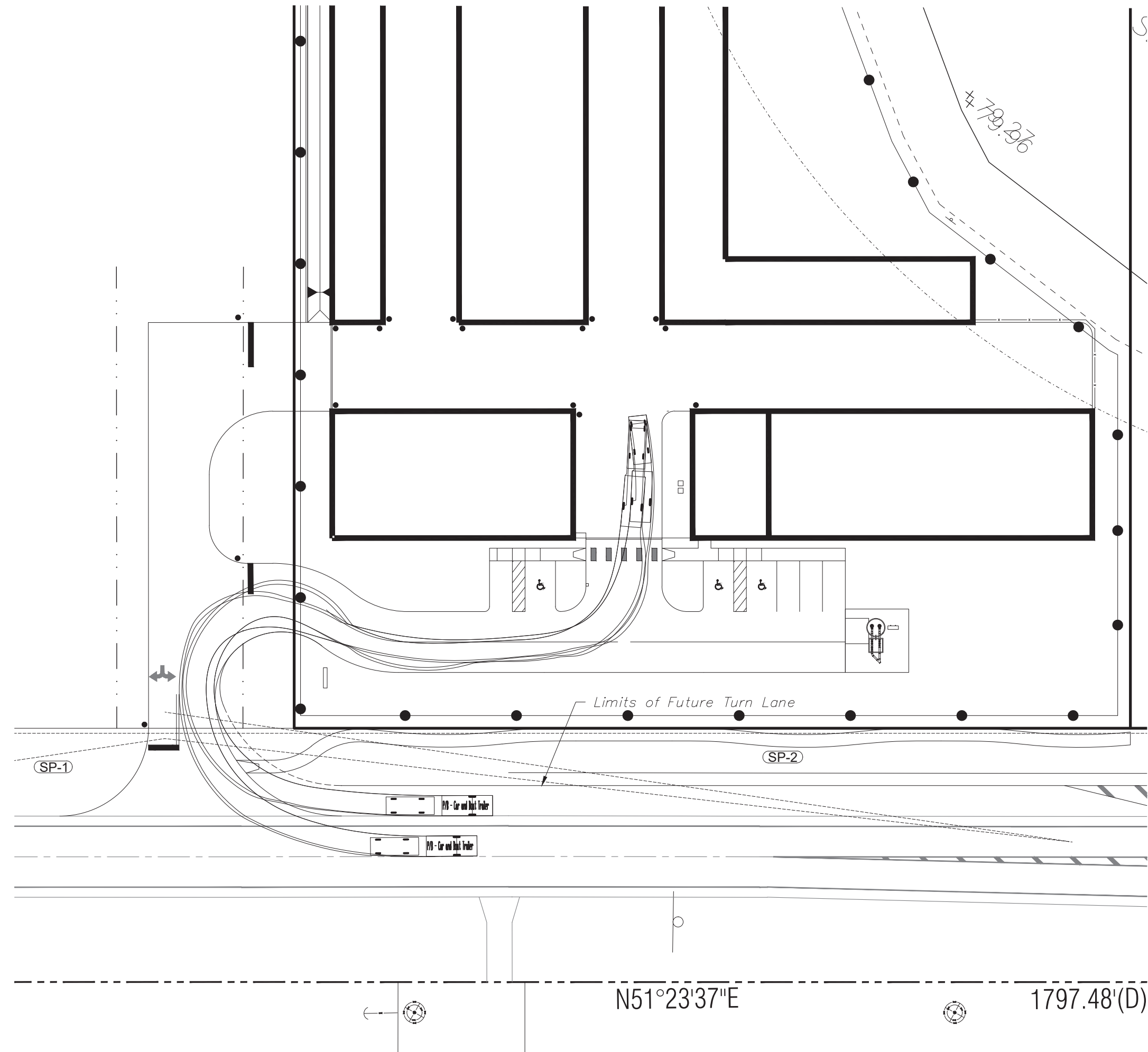
The materials or substances listed below are expected to be present onsite during construction:

- Concrete
- Asphalt
- Wood
- Masonry Block
- Roofing Shingles
- Petroleum Based Products
- Fertilizers
- Cleaning Solvents
- Paints (Enamel and Latex)
- Metal Sheds
- Detergents

CONTRACTOR IS RESPONSIBLE FOR INSTALLING ANY ADDITIONAL EROSION CONTROL IF IT BECOMES NECESSARY TO MEET STATE AND LOCAL STANDARDS



QCFRD HP75-Ladder
Overall Length 37.170ft
Overall Width 8.330ft
Overall Body Height 10.489ft
Min Body Ground Clearance 0.920ft
Track Width 8.330ft
Lock-to-lock time 6.00s
Max Wheel Angle 31.80°



P/B - Car and Boat Trailer
Overall Length 42.000ft
Overall Width 6.300ft
Overall Body Height 6.305ft
Min Body Ground Clearance 0.681ft
Max Track Width 8.000ft
Lock-to-lock time 4.00s
Curb to Curb Turning Radius 24.000ft

LEGEND	
Existing Contours	
Lot Number	
Direction of Flow	
Existing Grade	
Proposed Grade	
Water Main	
Sanitary Sewer	
Stormpipe	
Fire Hydrant	
Storm Inlet	
Concrete	
Gate Valve	
Water Blowoff	

DATE	REVISION

Truck Turn Radius Plan
Howey Self Storage



june engineering
consultants, inc.

23 W. Joiner Street
Winter Garden, FL 34787
Ph. 407-905-8180
Fax 407-905-6232

Certificate of Authorization #00008507

DRAWN BY: CLK
DATE: 2/4/08

CHECKED BY: RAJ
DATE: 2/4/08

SCALE
1" = 50'

JEFFREY A. SEDLOFF
PE# 51506

JOB NO.
07-0398
SHEET
5a
OF 10

LAND DESCRIPTION (EAGLES LANDING AT OCOEE, INC. PARCEL)(VILLAGE 4 OF THE RESERVE AT HOWEY IN THE HILLS)

COMMENCE AT THE EAST 1/4 CORNER OF SECTION 35, TOWNSHIP 20 SOUTH, RANGE 25 EAST, LAKE COUNTY, FLORIDA; THENCE RUN N89°21'35"W ALONG THE SOUTH LINE OF THE NORTHEAST 1/4 OF SAID SECTION 35, 1487.79 FEET TO A POINT ON THE NORTHWESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 19; THENCE RUN N52°07'27"E ALONG SAID NORTHWESTERLY RIGHT-OF-WAY LINE, 673.75 FEET TO THE POINT OF BEGINNING; THENCE RUN N37°53'02"W, 1008.88 FEET; THENCE RUN N00°35'47"E, 116.78 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 35; THENCE RUN S89°24'13"E ALONG SAID NORTH LINE, 270.08 FEET TO A POINT ON THE WEST LINE OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 35; THENCE RUN N00°35'58"E ALONG SAID WEST LINE, 256.12 FEET TO A POINT ON THE SOUTH LINE OF THE RESIDENCE OF DON WHITE; THENCE RUN S89°24'13"E ALONG SAID SOUTH LINE, 418.17 FEET; THENCE RUN S00°35'47"W, 709.10 FEET; THENCE RUN S37°52'33"E, 317.47 FEET TO A POINT ON SAID NORTHWESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 19; THENCE RUN S52°07'27"W ALONG SAID NORTHWESTERLY RIGHT-OF-WAY LINE, 329.54 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 11.978 ACRES MORE OR LESS.

LAND DESCRIPTION (HOWEY IN THE HILLS, LTD. PARCEL)

HOWEY FROM E 1/4 COR OF SEC 35-20-25 RUN N 89-21-35 W 1487.79 FT TO NWLY R/W LINE OF SR 19, N 52-07-27 E ALONG SAID NWLY R/W LINE 1003.29 FT FOR POB, RUN N 37-52-33 W 317.47 FT, N 0-35-47 E 709.10 FT, S 89-24-13 E TO NW COR OF LOT 1 BLK D-14 OF PALM GARDENS SUB, SE'LY ALONG SAID WLY LINE OF BLK D-14 OF PALM GARDENS SUB TO NWLY LINE OF SR 19, SW'LY ALONG SAID R/W LINE TO POB ORB 3003 PG 1362 ORB 3446 PG 103

THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 11.00 ACRES MORE OR LESS.



LEGEND	
Existing Contours	
Lot Number	12
Direction of Flow	
Existing Grade	+79.3
Proposed Grade	+79.3
Water Main	8" WM
Sanitary Sewer	S
Stormpipe	
Fire Hydrant	
Storm Inlet	
Concrete	
Gate Valve	
Water Blowoff	

DATE	REVISION

Survey – Boundary & Topo
Howey Self Storage

june engineering consultants, inc.

23 W. Joiner Street
Winter Garden, FL 34787
Ph. 407-905-8180
Fax 407-905-6232

Certificate of Authorization #00008507

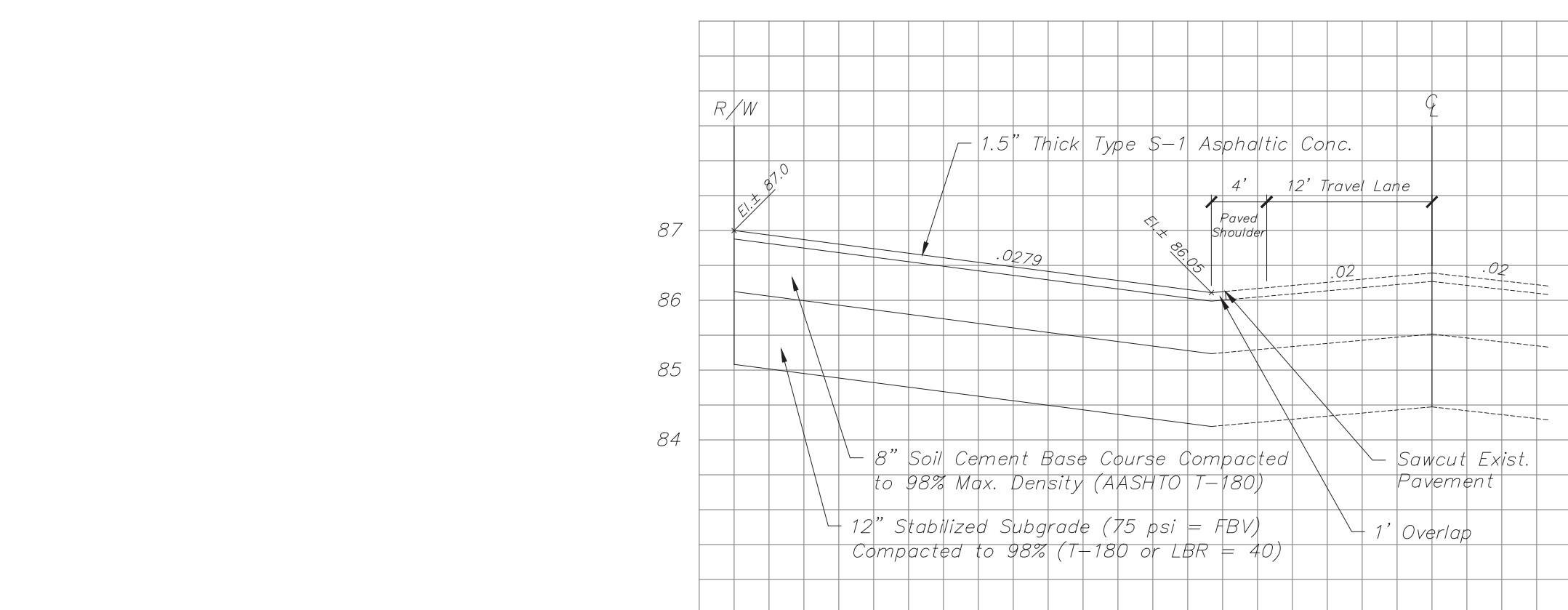
DRAWN BY: CLK
DATE: 2/4/08

CHECKED BY: RAJ
DATE: 2/4/08

SCALE
1" = 100'

JEFFREY A. SEDLOFF
PE# 51506

JOB NO.
07-0398
SHEET
5b
OF 10


$$\begin{array}{l} H: 1'' = 10' \\ V: 1'' = 2' \end{array}$$


1. All striping shall conform to FDOT Index No. 17346 and shall be thermoplastic with reflective pavement markers.
2. Turn lanes were designed based on a design speed of 55mph.
3. Use FDOT Index 526, Sheet 2 of 8 for roadway transitions, design speed = 45mph, center widening.
4. Use FDOT Index 301 for turn lanes, design speed = 45mph.
5. The contractor shall locate the exact location of the existing utilities within FDOT R/W, prior to construction.
6. All construction in the FDOT ROW shall conform to the latest editions of the FDOT design Standards (Indexes), the FDOT Standard Specifications for Road and Bridge Construction, and the FDOT Utility Accommodation Manual.
7. All disturbed area within the Department's Right of Way shall be graded and seeded with Argentine Bahia sod.
8. All striping within the Department's Right of Way shall be lead-free thermoplastic.
9. All maintenance of traffic shall adhere to the requirements of the Design Standards 600 indexes.
10. Paved shoulders need to be saw cut and removed prior to construction.
11. All sidewalks, ramps, and crosswalks shall be constructed and inspected to meet most current ADA Standards.



Scale: 1" = 20'

DATE	REVISION
11/17/09	FDOT / Town Comments
6/21/21	Town Comments
2/16/22	Town Comments
6/1/22	Town/FDOT Comments
6/23/22	Town Comments

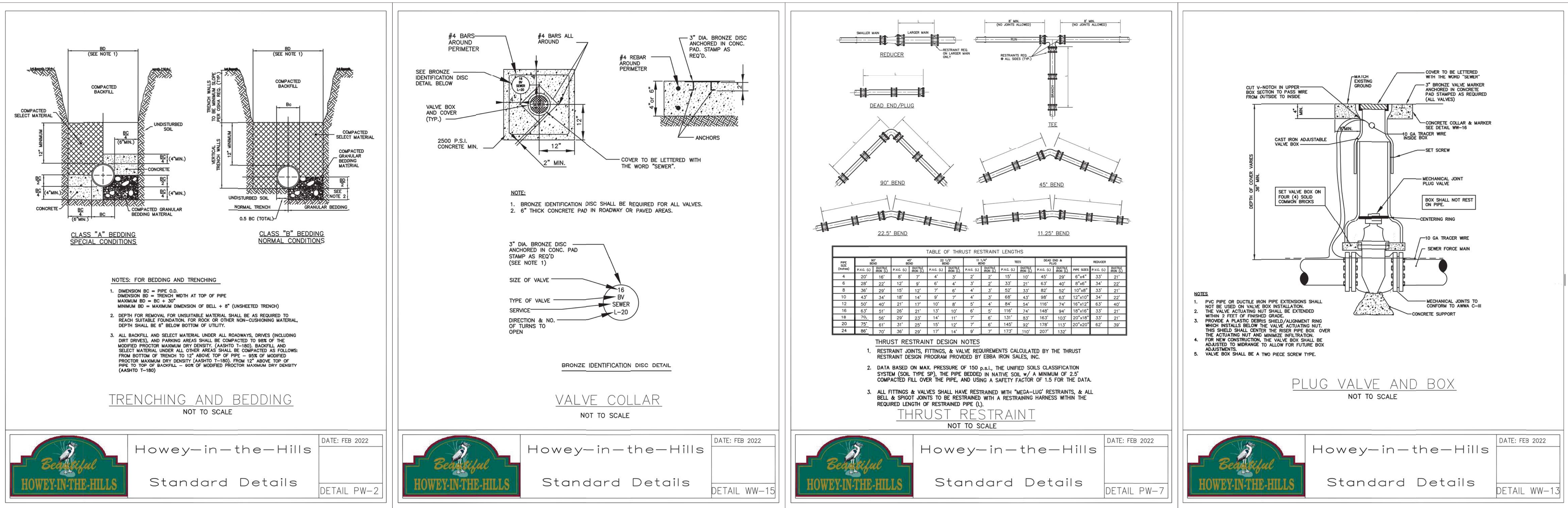
JEC | june engineering
consultants, inc. | 23 W. Joiner Street
Winter Garden, FL 34787
Ph. 407-905-8180
Fax 407-905-6232

CHECKED BY: RAJ	SCALE
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PE# 51506

JOB NO.
07-0398

SHEET
6
OF 10



DATE	REVISION
7/22/09	City / SJRWMD Comments
11/17/09	FDOT / Town Comments
6/21/21	Town Comments
6/1/22	Town/FDOT Comments

Standard Details

Howey Self Storage



june engineering
consultants, inc.

23 W. Joiner Street
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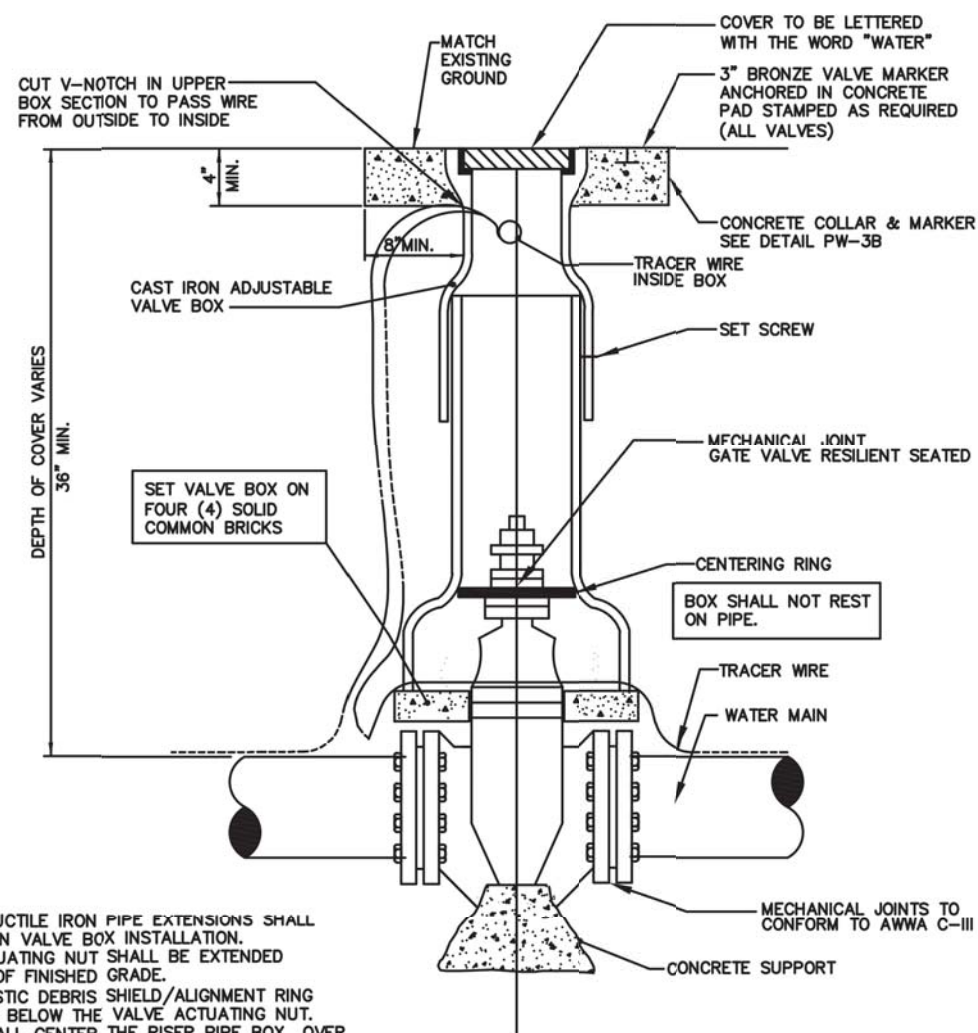
SCALE
1" = 50'

JEFFREY A. SEDLOFF
PE # 51506

JOB NO.
07-0398

SHEET
8

OF 10



NOTES

1. PVC PIPE OR DUCTILE IRON PIPE EXTENSIONS SHALL NOT BE USED ON VALVE BOX INSTALLATION.
2. THE VALVE ACTUATING NUT SHALL BE EXTENDED WITHIN 2 FEET OF FINISHED GRADE.
3. PROVIDE A PLASTIC DEBRIS SHIELD/ALIGNMENT RING WHICH INSTALLS BELOW THE VALVE ACTUATING NUT. PIPING, CONVEYING EITHER RAW, PARTIALLY TREATED, OR FINISHED DRINKING WATER, FIRE HYDRANT LEADS, AND SERVICE LINES THAT ARE UNDER THE CONTROL OF A PUBLIC WATER SYSTEM AND THAT HAVE AN INSIDE DIAMETER OF THREE INCHES OR GREATER.
4. IF TAPE OR PAINT IS USED TO STRIPE PIPE DURING INSTALLATION OF THE PIPE, THE TAPE OR PAINT WILL BE APPLIED IN A CONTINUOUS LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE AND THAT IS LOCATED ALONG THE TOP OF THE PIPE. FOR PIPE WITH AN INTERNAL DIAMETER OF 24 INCHES OR GREATER, TAPE OR PAINT WILL BE APPLIED IN CONTINUOUS LINES ALONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP OF THE PIPE. ABOVEGROUND PIPE WILL BE PAINTED BLUE OR WILL BE COLOR CODED OR MARKED LIKE UNDERGROUND PIPE.) (FAC 62-555.320(2)(B)(3))
5. VALVE BOX SHALL BE A TWO PIECE SCREW TYPE.

GATE VALVE AND BOX

NOT TO SCALE



Howey-in-the-Hills

Standard Details

DATE: FEB 2022

DETAIL PW-3A

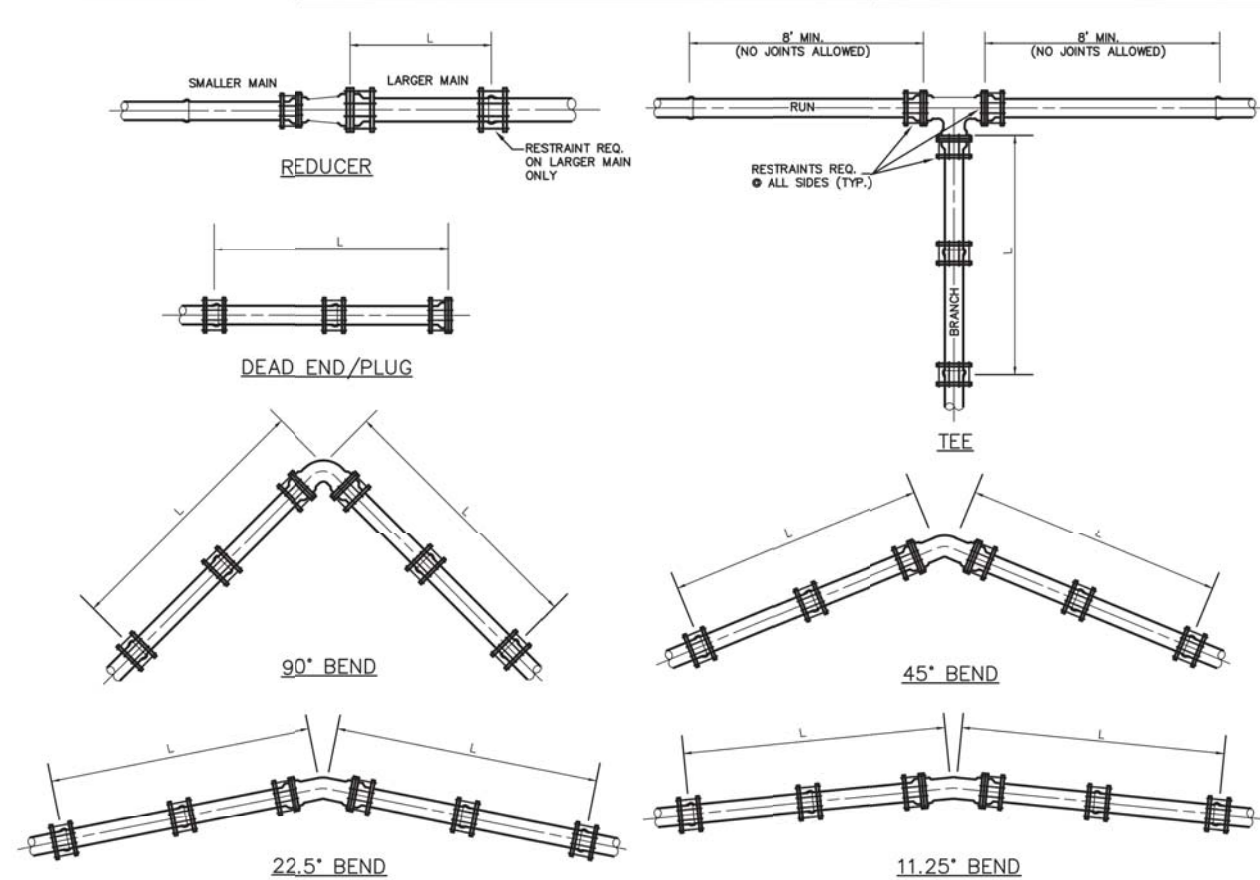


TABLE OF THRUST RESTRAINT LENGTHS																
PIPE SIZE		12.12"		11.25"		90°		45°		22.5°		11.25"				
INCH	FEET	INCH	FEET	INCH	FEET	INCH	FEET	INCH	FEET	INCH	FEET	INCH	FEET			
4	20'	16"	8"	7"	4"	3"	2"	15'	10'	45'	29'	6"	4"	33'	21'	
6	28'	22'	12"	9"	6"	4"	3"	2"	33'	21'	63'	40'	6"	4"	34'	22'
8	36'	29'	15"	12"	7"	6"	4"	3"	52'	33'	82'	52'	10"	6"	33'	21'
10	43'	34'	18"	14"	9"	7"	4"	3"	68'	43'	98'	63'	12"	10"	34'	22'
12	50'	40'	21"	17'	10'	8"	5"	4"	84'	54'	116'	74'	16"	12"	63'	40'
16	63'	51'	26'	21'	13'	10'	6"	5"	116'	74'	148'	94'	16"	12"	33'	21'
18	70'	56'	29'	23'	14"	11"	7"	6"	130'	83'	163'	103'	20"	14"	33'	21'
20	75'	61'	31'	25'	15"	12"	7"	6"	143'	92'	178'	113'	20"	14"	62'	39'
24	86'	70'	36'	29'	17'	14"	9"	7"	173'	110'	207'	132'				

THRUST RESTRAINT DESIGN NOTES

1. RESTRAINT JOINTS, FITTINGS, & VALVE REQUIREMENTS CALCULATED BY THE THRUST RESTRAINT DESIGN PROGRAM PROVIDED BY EBBA IRON SALES, INC.
2. DATA BASED ON MAX. PRESSURE OF 150 p.s.i., THE UNIFIED SOIL CLASSIFICATION SYSTEM (SOIL TYPE SP), THE PIPE BEDED IN NATIVE SOIL w/ A MINIMUM OF 2.5' COMPACTED FILL OVER THE PIPE, AND USING A SAFETY FACTOR OF 1.5 FOR THE DATA.
3. ALL FITTINGS & VALVES SHALL HAVE RESTRAINED WITH "MEGA-LOC" RESTRAINTS, & ALL BELL & SPIGOT JOINTS TO BE RESTRAINED WITH A RESTRAINING HARNESS WITHIN THE REQUIRED LENGTH OF RESTRAINED PIPE (L).

THRUST RESTRAINT

NOT TO SCALE



Howey-in-the-Hills

Standard Details

DATE: FEB 2022

DETAIL PW-7

GENERAL WATER NOTES

1. WATER SYSTEM COMPONENTS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND REGULATIONS, CLEANED, DISINFECTED AND BACTERIOLOGICALLY CLEARED FOR SERVICE IN ACCORDANCE WITH THE LATEST AWWA STANDARDS AND CHAPTER 62-555 FLORIDA ADMINISTRATIVE CODE.
2. ALL PIPING SHALL BEAR THE "NSF" SEAL FOR POTABLE WATER.
3. WATER MAINS SHALL BE PVC CONFORMING TO AWWA C-900, DR 18 FOR PIPE SIZES 4"-12". PIPES 14" OR LARGER SHALL BE AWWA C-905, DR 18. ALL COUPLINGS, CLEANING COMPOUNDS, SOLVENTS, LUBRICANTS, AND PIPE PREPARATION, FOR LAYING, SHALL BE IN ACCORDANCE WITH THE PIPE MANUFACTURER'S LATEST RECOMMENDATIONS.
4. DEPTH OF WATER LINES TO BE 36" MINIMUM COVER FROM FINISH GRADE.
5. WATER MAINS TO BE LOCATED 5' FROM BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
6. ALL WATER MAINS UNDER PAVEMENT SHALL BE DUCTILE IRON.
7. ALL CASINGS UNDER PAVEMENT SHALL EXTEND 5' BEYOND THE BACK OF CURB.
8. DISINFECTING FOLLOWING THE PRESSURE TESTING, THE CONTRACTOR SHALL DISINFECT ALL SECTIONS OF THE NEW WATER DISTRIBUTION SYSTEM. DISINFECTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF AWWA STANDARD C651 'DISINFECTING WATER MAINS', AND ALL APPROPRIATE AGENCY APPROVAL.
9. ALL HYDROSTATIC TESTS SHALL BE IN ACCORDANCE WITH AWWA C600 FOR DUCTILE IRON PIPE AND C605M23 FOR PVC PIPE.
10. ALL WATER MAINS SHALL BE INSTALLED, PRESSURE AND LEAK TESTED IN ACCORDANCE WITH AWWA C600, (62-555.320(2)(B)1) AND 62-555.330, F.A.C. ALL INSTALLATION, TESTING AND FIELD PROCEDURES MUST BE PROVIDED AND MUST CONFORM TO THE APPLICABLE AWWA STANDARDS.
11. ALL PIPING MATERIALS AND SPECIFICATIONS COVERING PIPES, JOINTS AND PACKING MATERIALS, INTERNAL COATING AND LININGS, FITTINGS, SPECIALS AND APPURTENANCES SHALL ALL BE IN ACCORDANCE WITH THE CORRESPONDING AWWA STANDARDS AND BE CONFORMING TO NSF REQUIREMENTS, AS MAY BE APPLICABLE, WITH EXCEPTIONS ALLOWED ONLY IF DOCUMENTATION AND ASSURANCES ARE PROVIDED IN COMPLIANCE WITH PARAGRAPHS 62-555.320(3) (D), 62-555.320 (2) (C), (B), AND 62-555.320(2)(B)1 AND 62-555.330, F.A.C. SHALL ALSO APPLY. POLYETHYLENE TUBING SHALL BE PER AWWA C901. UNDERGROUND SERVICE LINES AND VALVES SHALL BE PER AWWA C900.

COLOR CODING

ALL PIPE AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT WILL BE COLOR CODED OR MARKED IN ACCORDANCE WITH SUBPARAGRAPH 62-555.320(2)(B)(3), F.A.C. USING BLUE AS A PREDOMINANT COLOR. (UNDERGROUND PLASTIC PIPE WILL BE SOLID-WALL BLUE PIPE, WILL HAVE A CO-EXTRUDED BLUE EXTERNAL SKIN, OR WILL BE WHITE OR BLACK PIPE WITH BLUE STRIPES INCORPORATED INTO, OR APPLIED TO, THE PIPE WALL, AND UNDERGROUND METAL OR CONCRETE PIPE WILL HAVE BLUE STRIPES APPLIED TO THE PIPE WALL. PIPE STRIPES DURING MANUFACTURING OF THE PIPE WILL HAVE CONTINUOUS STRIPES THAT RUN PARALLEL TO THE AXIS OF THE PIPE, THAT ARE LOCATED AT NO GREATER THAN 90 DEGREE INTERVALS AROUND THE PIPE, AND THAT WILL REMAIN INTACT DURING AND AFTER INSTALLATION OF THE PIPE. IF TAPE OR PAINT IS USED TO STRIPE PIPE DURING INSTALLATION OF THE PIPE, THE TAPE OR PAINT WILL BE APPLIED IN A CONTINUOUS LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE AND THAT IS LOCATED ALONG THE TOP OF THE PIPE. FOR PIPE WITH AN INTERNAL DIAMETER OF 24 INCHES OR GREATER, TAPE OR PAINT WILL BE APPLIED IN CONTINUOUS LINES ALONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP OF THE PIPE. ABOVEGROUND PIPE WILL BE PAINTED BLUE OR WILL BE COLOR CODED OR MARKED LIKE UNDERGROUND PIPE.) (FAC 62-555.320(2)(B)(3))

UNLESS DESCRIBED IN THE CITY CSM ELSEWHERE, ALL WATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH CHAPTER 62-555.314, F.A.C., AND ANY UPDATES TO THE F.A.C., AND IN CONFORMANCE WITH ALL SEPARATION REQUIREMENTS AS FOUND THEREIN.

62-555.314 LOCATION OF PUBLIC WATER SYSTEM MAINS.

FOR THE PURPOSE OF THIS SECTION, THE PHASE "WATER MAINS" SHALL MEAN MAINS, INCLUDING TREATMENT PLANT PROCESS PIPING, CONVEYING EITHER RAW, PARTIALLY TREATED, OR FINISHED DRINKING WATER, FIRE HYDRANT LEADS, AND SERVICE LINES THAT ARE UNDER THE CONTROL OF A PUBLIC WATER SYSTEM AND THAT HAVE AN INSIDE DIAMETER OF THREE INCHES OR GREATER.

- (1) HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS.
 - (A) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
 - (B) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER.
 - (C) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER.



Howey-in-the-Hills

Standard Details

DATE: FEB 2022

DETAIL PW-11C

GENERAL WATER NOTES

- (D) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.0065(2), F.S., AND RULE 64E-6.002, F.A.C.
- (2) VERTICAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS AND RECLAIMED WATER PIPELINES.
 - (A) NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID 50" THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
 - (3) SEPARATION BETWEEN WATER MAINS AND SANITARY OR STORM SEWER MANHOLES:
 - (A) NO WATER MAIN SHALL PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A SANITARY SEWER MANHOLE.

- (B) EFFECTIVE AUGUST 28, 2003, WATER MAINS SHALL NOT BE CONSTRUCTED OR ALTERED TO PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A STORM SEWER MANHOLE OR INLET STRUCTURE, WHERE IT IS NOT TECHNICALLY FEASIBLE OR ECONOMICALLY SENSIBLE TO COMPLY WITH THIS REQUIREMENT (I.E., WHERE THERE IS A CONFLICT IN THE ROUTING OF A WATER MAIN AND A STORM SEWER AND WHERE ALTERNATIVE ROUTING OF THE WATER MAIN OR THE STORM SEWER IS NOT TECHNICALLY FEASIBLE OR IS NOT ECONOMICALLY SENSIBLE), THE DEPARTMENT SHALL ALLOW EXCEPTIONS TO THIS REQUIREMENT (I.E., THE DEPARTMENT SHALL ALLOW CONSTRUCTION OF CONFLICT MANHOLES), BUT SUPPLIERS OF WATER OR PERSONS PROPOSING TO CONSTRUCT CONFLICT MANHOLES MUST FIRST OBTAIN A SPECIFIC PERMIT FROM THE DEPARTMENT AND MUST PROVIDE IN THE PRELIMINARY DESIGN REPORT OR DRAWINGS, SPECIFICATIONS, AND DESIGN DATA ACCOMPANYING THEIR PERMIT APPLICATION THE FOLLOWING INFORMATION:
 1. TECHNICAL AND ECONOMIC JUSTIFICATION FOR EACH CONFLICT MANHOLE.
 2. A STATEMENT IDENTIFYING THE PARTY RESPONSIBLE FOR MAINTAINING EACH CONFLICT MANHOLE.
 3. ASSURANCE OF COMPLIANCE WITH THE DESIGN AND CONSTRUCTION REQUIREMENTS IN SUB-PARAGRAPHS A. THROUGH D. BELOW. -361
 - A. EACH WATER MAIN PASSING THROUGH A CONFLICT MANHOLE SHALL HAVE A FLEXIBLE, WATERTIGHT JOINT ON EACH SIDE OF THE MANHOLE TO ACCOMMODATE DIFFERENTIAL SETTLING BETWEEN THE MAIN AND THE MANHOLE.
 - B. WITHIN EACH CONFLICT MANHOLE, THE WATER MAIN PASSING THROUGH THE MANHOLE SHALL BE INSTALLED IN A WATERTIGHT CASING PIPE HAVING HIGH IMPACT STRENGTH (I.E., HAVING IMPACT STRENGTH AT LEAST EQUAL TO THAT OF 0.25-INCH-THICK DUCTILE IRON PIPE).
 - C. EACH CONFLICT MANHOLE SHALL HAVE AN ACCESS OPENING, AND SHALL BE SIZED, TO ALLOW FOR EASY CLEANING OF THE MANHOLE.
 - D. GRATINGS SHALL BE INSTALLED AT ALL STORM SEWER INLETS UPSTREAM OF EACH CONFLICT MANHOLE TO PREVENT LARGE OBJECTS FROM ENTERING THE MANHOLE.

- (4) SEPARATION BETWEEN FIRE HYDRANT DRAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS.

- (A) NEW OR RELOCATED FIRE HYDRANTS WITH UNDERGROUND DRAINS SHALL BE LOCATED SO THAT THE DRAINS ARE AT LEAST THREE FEET FROM ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. AT LEAST THREE FEET, AND PREFERABLY TEN FEET, FROM ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER; AT LEAST SIX FEET, AND PREFERABLY TEN FEET, FROM ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. AND AT LEAST TEN FEET FROM ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.0065(2), F.S., AND RULE 64E-6.002, F.A.C.



Howey-in-the-Hills

Standard Details

DATE: FEB 2022

DETAIL PW-11D

GENERAL WATER NOTES

(6) EXCEPTIONS, WHERE IT IS NOT TECHNICALLY FEASIBLE OR ECONOMICALLY SENSIBLE TO COMPLY WITH THE REQUIREMENTS IN SUBSECTION (1) OR (2) ABOVE, THE DEPARTMENT SHALL ALLOW EXCEPTIONS TO THESE REQUIREMENTS IF SUPPLIERS OF WATER OR CONSTRUCTION PERMIT APPLICANTS PROVIDE TECHNICAL OR ECONOMIC JUSTIFICATION FOR EACH EXCEPTION AND PROVIDE ALTERNATIVE CONSTRUCTION FEATURES THAT AFFORD A SIMILAR LEVEL OF RELIABILITY AND PUBLIC HEALTH PROTECTION. ACCEPTABLE ALTERNATIVE CONSTRUCTION FEATURES INCLUDE THE FOLLOWING:

- (A) WHERE AN UNDERGROUND WATER MAIN IS BEING LAID LESS THAN THE REQUIRED MINIMUM HORIZONTAL DISTANCE FROM ANOTHER PIPELINE AND WHERE AN UNDERGROUND WATER MAIN IS CROSSING ANOTHER PIPELINE AND JOINTS IN THE WATER MAIN ARE BEING LOCATED LESS THAN THE REQUIRED MINIMUM DISTANCE FROM JOINTS IN THE OTHER PIPELINE:
 1. USE OF PRESSURE-RATED PIPE CONFORMING TO THE AMERICAN WATER WORKS ASSOCIATION STANDARDS INCORPORATED INTO RULE 62-555.330, F.A.C. FOR THE OTHER PIPELINE IF IT IS A GRAVITY- OR VACUUM-TYPE PIPELINE.
 2. USE OF WELDED, FUSED, OR OTHERWISE RESTRAINED JOINTS FOR EITHER THE WATER MAIN OR THE OTHER PIPELINE; OR
 3. USE OF WATERTIGHT CASING PIPE OR CONCRETE ENCASEMENT AT LEAST FOUR INCHES THICK FOR EITHER THE WATER MAIN OR THE OTHER PIPELINE.

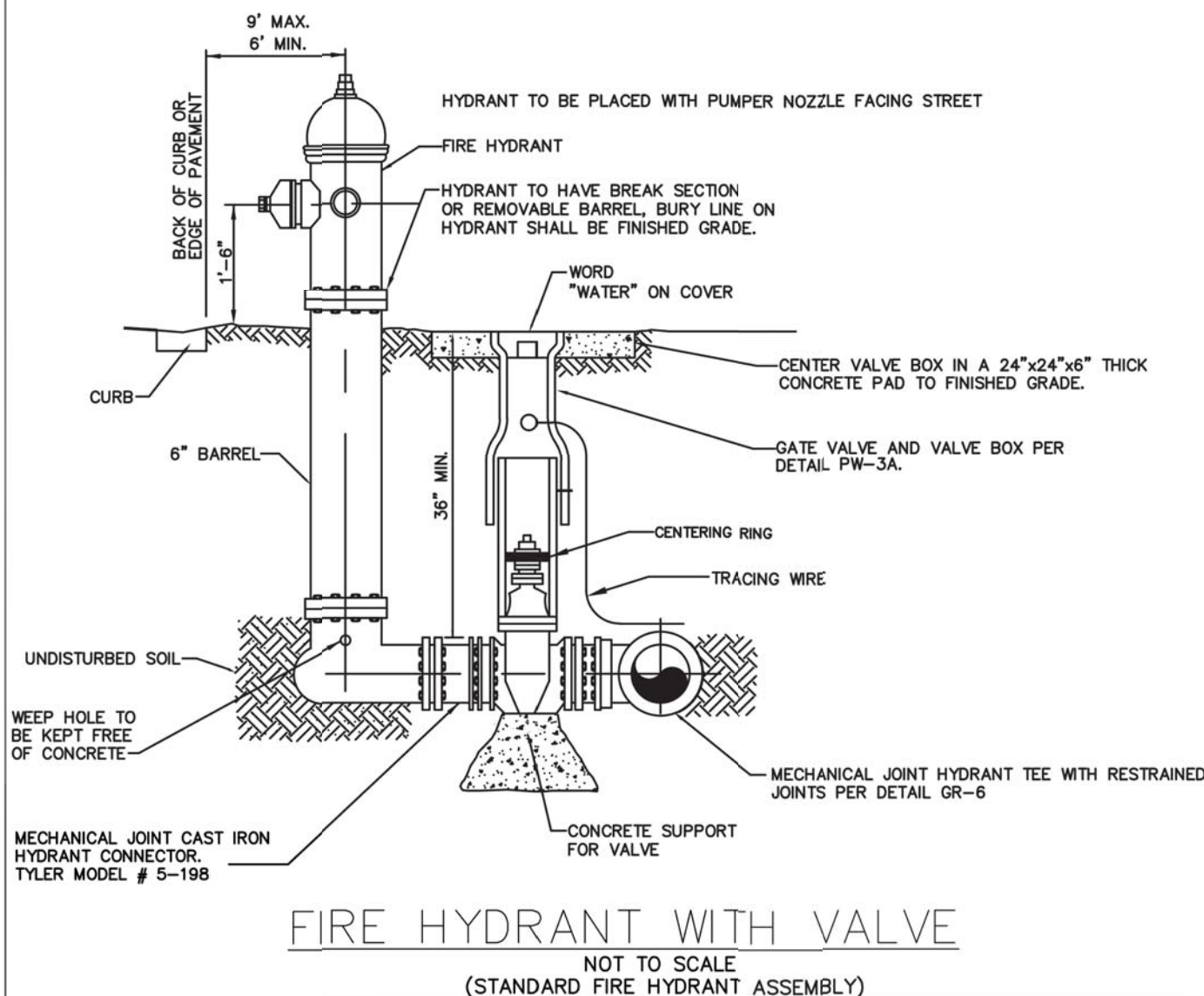
- (B) WHERE AN UNDERGROUND WATER MAIN IS BEING LAID LESS THAN THREE FEET HORIZONTALLY FROM ANOTHER PIPELINE AND WHERE AN UNDERGROUND WATER MAIN IS CROSSING ANOTHER PIPELINE AND IS BEING LAID LESS THAN THE REQUIRED MINIMUM VERTICAL DISTANCE FROM THE OTHER PIPELINE:
 1. USE OF PIPE, OR CASING PIPE, HAVING HIGH IMPACT STRENGTH (I.E., HAVING AN IMPACT STRENGTH AT LEAST EQUAL TO THAT OF 0.25-INCH-THICK DUCTILE IRON PIPE) OR CONCRETE ENCASEMENT AT LEAST FOUR INCHES THICK FOR THE WATER MAIN AND
 2. USE OF PIPE, OR CASING PIPE, HAVING HIGH IMPACT STRENGTH (I.E., HAVING AN IMPACT STRENGTH AT LEAST EQUAL TO THAT OF 0.25-INCH-THICK DUCTILE IRON PIPE) OR CONCRETE ENCASEMENT AT LEAST FOUR INCHES THICK FOR THE OTHER PIPELINE IF IT IS NEW AND IS CONVEYING WASTEWATER OR RECLAIMED WATER.

PAINTING

1. APPLY TWO COATS OF OSHA SAFETY INDUSTRIAL RED PAINT TO HYDRANT BARREL.
2. APPLY TWO COATS OF OSHA SAFETY INDUSTRIAL ENAMEL PAINT TO THE BONNET AND NOZZLE CAPS. THE UTILITY DEPARTMENT INSPECTOR WILL DETERMINE THE COLOR TO PAINT THE HYDRANT BONNET AND NOZZLE CAPS BY FLOW TESTING METHODS.
 - 1500 GPM OR MORE (SHERWIN WILLIAMS #5W4086)
 - 1000 GPM TO 1499 GPM (SHERWIN WILLIAMS #5W4614)
 - 500 GPM TO 999 GPM (SHERWIN WILLIAMS #5W4539)
 - 499 GPM OR LESS (SHERWIN WILLIAMS #5W4R38)
 - HYDRANT BARREL (SHERWIN WILLIAMS #5W4R38)

SPECIFICATIONS

1. AWWA SPECIFICATIONS C-502
2. TWO 2-1/2" HOSE NOZZLE DISCHARGE
3. ONE 4-1/2" PUMPER NOZZLE DISCHARGE
4. ONE 1-1/2" OPERATING NUT, LEFT
5. ALL HYDRANTS SHALL BE EQUIPPED WITH FITTINGS TO ALLOW FOR ELEVATION ADJUSTMENTS.
6. 5/2" MAIN VALVE OPENING
7. RESTRAINED JOINTS OR ALL THREADED ROD REQUIRED TO SECURE PIPE, RISER AND VALVE IN THE FIRE HYDRANT ASSEMBLY TO THE MAIN



FIRE HYDRANT WITH VALVE

NOT TO SCALE
(STANDARD FIRE HYDRANT ASSEMBLY)

Howey-in-the-Hills

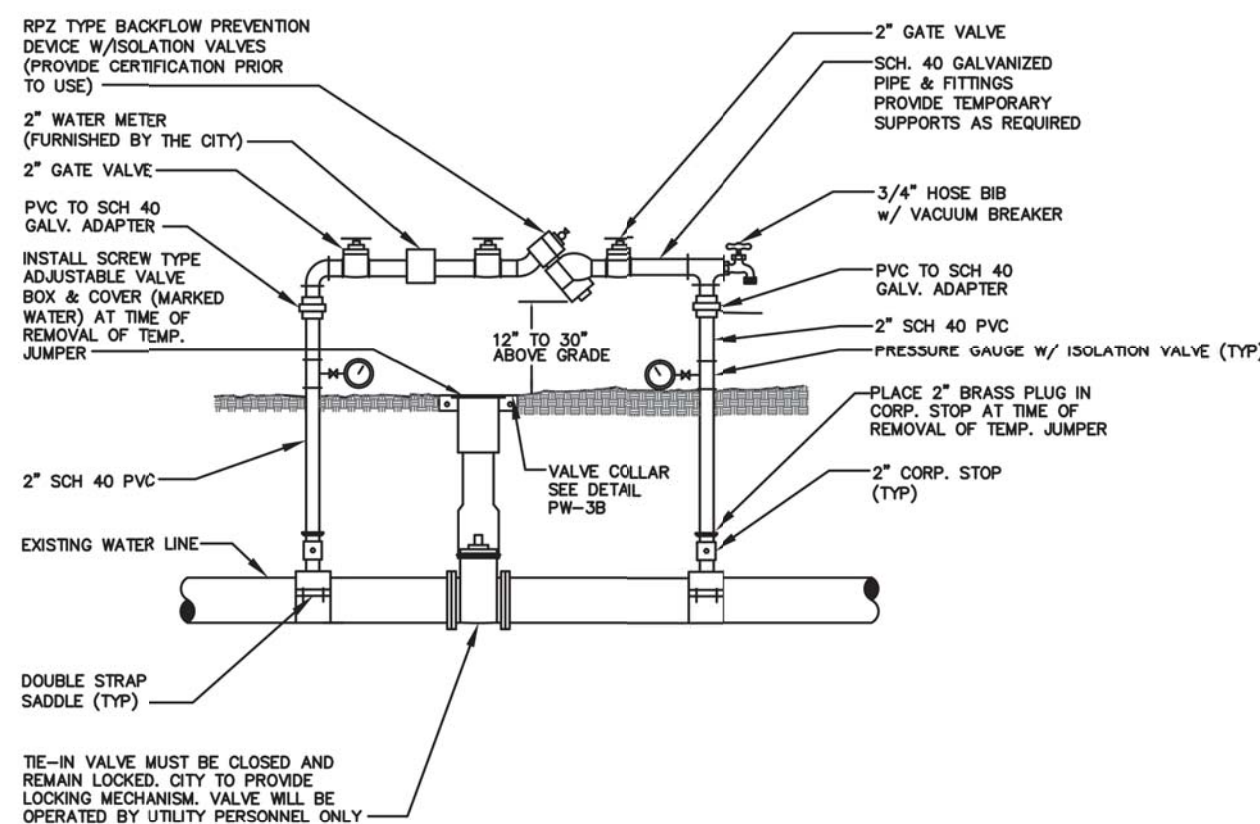
Standard Details

DATE: FEB 2022

DETAIL PW-18

TEMPORARY JUMPER CONNECTION

NOT TO SCALE



NOTE: LOCATION TO BE DETERMINED AT TIME OF PRECONSTRUCTION CONFERENCE W/ CITY.



Howey-in-the-Hills

Standard Details

DATE: FEB 2022

DETAIL PW-6A

DATE	REVISION
7/22/09	City / SJRWMD Comments
11/17/09	FDOT / Town Comments
6/21/21	Town Comments
6/1/22	Town/FDOT Comments

Standard Details

Howey Self Storage



june engineering
consultants, inc.

23 W. Joiner Street
Winter Garden, FL 34787
Ph. 407-905-8180
Fax 407-905-6232

Certificate of Authorization #00008507

DRAWN BY: CLK
DATE: 2/4/08

CHECKED BY: RAJ
DATE: 2/4/08

SCALE
1" = 50'

JEFFREY A. SEDLOFF
PE# 51506

JOB NO.
07-0398
SHEET
9
OF 10

RILEY & Company, Inc. (H-20 GP)

w/ BATTERY BACK-UP FOR AUDIO AND VISUAL ALARMS

SCOPE: Supply one complete H-20 GP Pre-Fab Lift Station, per design.
Pumps shall be capable of grinding and pumping domestic & commercial sewage.

Complete system shall be supplied by:

RILEY & Company, Inc.
Sanford, FL 32773 (Ph. 407-265-9963)

NO SUBSTITUTIONS - NO ALTERNATES

The H-20 Load Rated Fiberglass Wetwell Must Be Warranted For 20 Years
And Manufactured By L.F. Manufacturing, Giddings, Texas.

After the H-20 load rated wetwell has been installed, the ASTM Certification
Number and Serial Tracking Number must be visible.

PUMPS: Submersible grinder pumps shall be HOMA Model GRP. The pumps shall be installed in the H-20 GP FRP wetwell utilizing a dual slide rail system. The grinder unit shall be capable of macerating materials normally found in domestic and commercial sewage into a fine slurry which will pass through the pump and the Sch.80 PVC discharge piping.

Stator winding shall be open type with Class F insulation and shall be heat-shrink fitted into the stator housing. The use of pins, bolts, or other fastening devices is not acceptable.

A heat sensor thermostat shall be attached to the top end of the motor winding and shall be connected in series with the magnetic contactor coil in the control panel to stop motor if winding temperature exceeds 140 C., but shall automatically reset when the winding temperature returns to normal. Two heat sensor thermostats shall be used on three phase motors.

The pump motor grinder shaft shall be AISI 430F SS threaded to take the pump impeller and the grinder impeller.
Upper & lower mechanical seals shall be Silicon Carbide vs Silicon Carbide.

DUPLEX CONTROL PANEL:

Control panel shall be assembled and built by a TUV (UL508A CERTIFIED) manufacturing facility.

The Enclosure shall be NEMA 4X, minimum 30" high x 30" wide x 10" deep fiberglass with padlockable draw latches.

The enclosure shall have external mounting feet to allow for wall mounting.

The following components shall be mounted through the enclosure:

- 1- ea. Red Alarm Beacon (Light)
- 1- ea. Alarm Horn
- 1- ea. Generator Receptacle w/ weatherproof cover
- 1- ea. Alarm Silence Pushbutton

The backpanel shall be fabricated from .125, 5052-H32 marine alloy aluminum. All components shall be mounted by machined stainless steel screws.

The following components shall be mounted to backpanel:

- 2- ea. Motor Contactors
- 1- ea. Volt Monitor (Single Phase) Phase Monitor (Three Phase)
- 1- ea. Control Transformer (480 Volt Only)
- 1- ea. Silence Relay
- 1- ea. Duplex Alternator
- 1- ea. Model BOAC5AH Battery Back-Up w/ Smart Charger
- 20- ea. Terminals For Field Connections
- 6- ea. Terminals For Motor Connections (Single Phase Only)
- 3- ea. Grounding Lugs

The innerdoor shall be fabricated from .080, 5052-H32 marine alloy aluminum. The innerdoor shall have a continuous aluminum piano hinge.

The following components shall be mounted through the innerdoor:

- 1- ea. Main Circuit Breaker
- 1- ea. Emergency Circuit Breaker
- 1- ea. Mechanical Interlock For Emergency And Main Breakers
- 2- ea. Short Circuit Protectors
- 1- ea. Control Circuit Breaker
- 2- ea. Seal Failure Indicator Lights
- 1- ea. Hand-Off-Auto Selector Switches
- 2- ea. Pump Run Pilot Lights
- 1- ea. Power On Pilot Light
- 2- ea. Elapse Time Meters (Non-Resetable)
- 1- ea. GFI Duplex Convenience Outlet

COMPONENT SPECIFICATIONS:

All circuit breakers shall be molded thermal magnetic. The mechanical interlock shall prevent the normal and emergency main breakers being energized at the same time.

An emergency generator receptacle shall be supplied in accordance with DEP standards. The generator receptacle shall be adequately sized to meet the equipment operating conditions.

NEUTRAL TO BE SUPPLIED FOR BOTH 230V 3PHASE OR 230V SINGLE PHASE POWER

All motor short circuit protection devices must provide for undervoltage release and class 10 overload protection on all three phases. Visible trip indication, test, and reset capability must be provided without opening inner door. Open frame, across the line, contactors shall be rated per IEC standards and properly sized per the motor requirements. Contactors shall provide for safe touch power and control terminals.

Lightning Arrestor shall meet or exceed the requirements of ANSI/IEEE Std. C62.21-1984 section 8.6.1. and 8.7.3 shall be supplied by electrician and mounted on the bottom side of the switch disconnect ahead of the pump control panel. A voltage monitor shall be supplied for single phase service. A phase monitor shall be supplied for (3) phase service. A green pilot light shall be supplied for each motor. The pilot light shall illuminate each time the motor is called to run. Each pump shall have an Elapse Time Meter to record the accumulated run time. The ETM shall be 2" diameter, non-resettable, six digit, totally encapsulated unit. A Red pilot light shall be supplied for control power. The pilot light shall illuminate when the control power is available inside the control panel.

Relays shall be ice-cube plug in type. Relay contacts shall be rated 10 amp minimum, DPDT. Twenty (20) terminals shall be supplied for field connections. The terminals shall be rated 25 amps minimum. Each motor over-temperature contact shall be connected to the terminal strip and shall open a contact to de-energize the appropriate motor upon a high temperature within the motor. A 15 Amp GFI duplex receptacle shall be supplied and mounted on the innerdoor. Ground lugs shall be supplied and appropriately sized for each motor and for service entrance. Nameplates for the innerdoor and back panel shall be of a graphic design, specifically depicting the intent for each device.

MISCELLANEOUS: All wiring on the backpanel shall be contained within the wiring duct. All wiring between the innerdoor and the backpanel shall be contained within a plastic spiral wrap. Each wire shall have a wire number at each end to correspond to the as built drawing for field troubleshooting. The control panel shall be assembled by a TUV (UL508A Certified) manufacturing facility.

PUMP DATA		ELEVATIONS	
PRIMARY PUMP CAPACITY	118.0 GPM	TOP OF WETWELL	88.25
PRIMARY TDH	45.1' TDH	INLET INVERT	83.25
PUMP MANUFACTURER	HOMA	HIGH LEVEL ALARM	83.00
PUMP MODEL #	GRP34/1/C	2nd PUMP ON	82.50
R.P.M.	3450	1st PUMP ON	82.00
HORSEPOWER	4.0	PUMPS OFF	81.00
ELECTRICAL/ VOLTS / PHASE	230/1	BOTTOM OF WETWELL	79.00
PUMP DISCHARGE SIZE	2"	WETWELL DIAMETER	48"
IMPELLER DIAMETER	5 7/8"		

* ELECTRICIAN NOTES:

1. DRAWING NOT TO SCALE
- * 2. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES
- * 3. ELECTRICIAN SHALL SEAL OFF CONDUIT RUNS
- * 4. ELECTRICIAN TO MOUNT LIGHTNING ARRESTOR AT SWITCH DISCONNECT
- * 5. CONTRACTOR SHALL VERIFY POWER SOURCE PRIOR TO ORDERING EQUIPMENT
- * 6. NEUTRAL TO BE SUPPLIED FOR 230V-3 PHASE OR 230V-SINGLE PHASE POWER.

RILEY & CO. / H-20 GP 06-19-08

FASTNERS & APPURTANCES: All fasteners, lifting cables, float cable bracket, hinges, and appurtances shall be made of AISI 304SS.

A 304SS slide/latch assembly shall be provided for holding the doors open on the wetwell and valve box. Slide rails shall be made of SCH.40 AISI 304SS pipe. Pump lifting cables shall be made of AISI 304 SS. Pump lifting bales shall be made of AISI 304 SS.

H-20 LOAD RATED WETWELL WITH LIFTING LUGS:

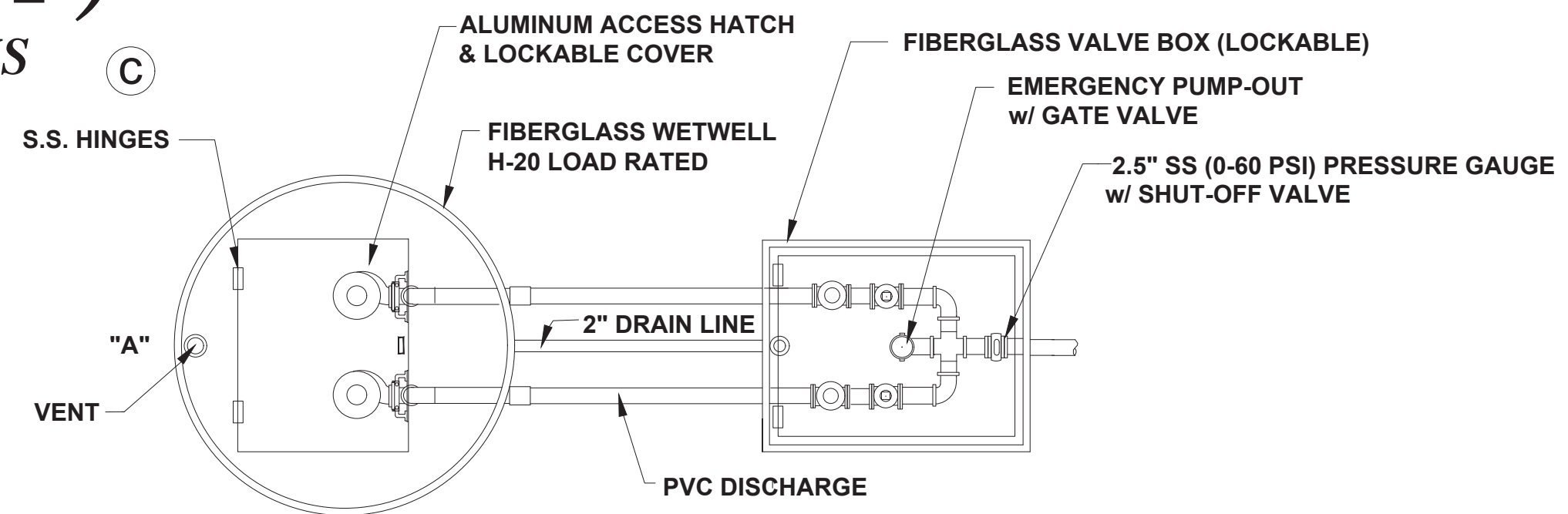
The fiberglass wetwell must be H-20 load rated with integral lifting lugs, fiberglass slope in bottom of wetwell and valve box. Certification of the H-20 load rating must be supplied at the time of submittals to Engineer. The wetwell shall be manufactured of fiberglass reinforced polyester (FRP) of depth and diameter as shown on the lift station elevation detail. The wall thickness shall be adequate for the depth of the wetwell to maintain the H-20 LOAD RATING.

EXECUTION:

Installation shall be in strict accordance with the manufacturer's recommendations in the locations shown on the drawing.

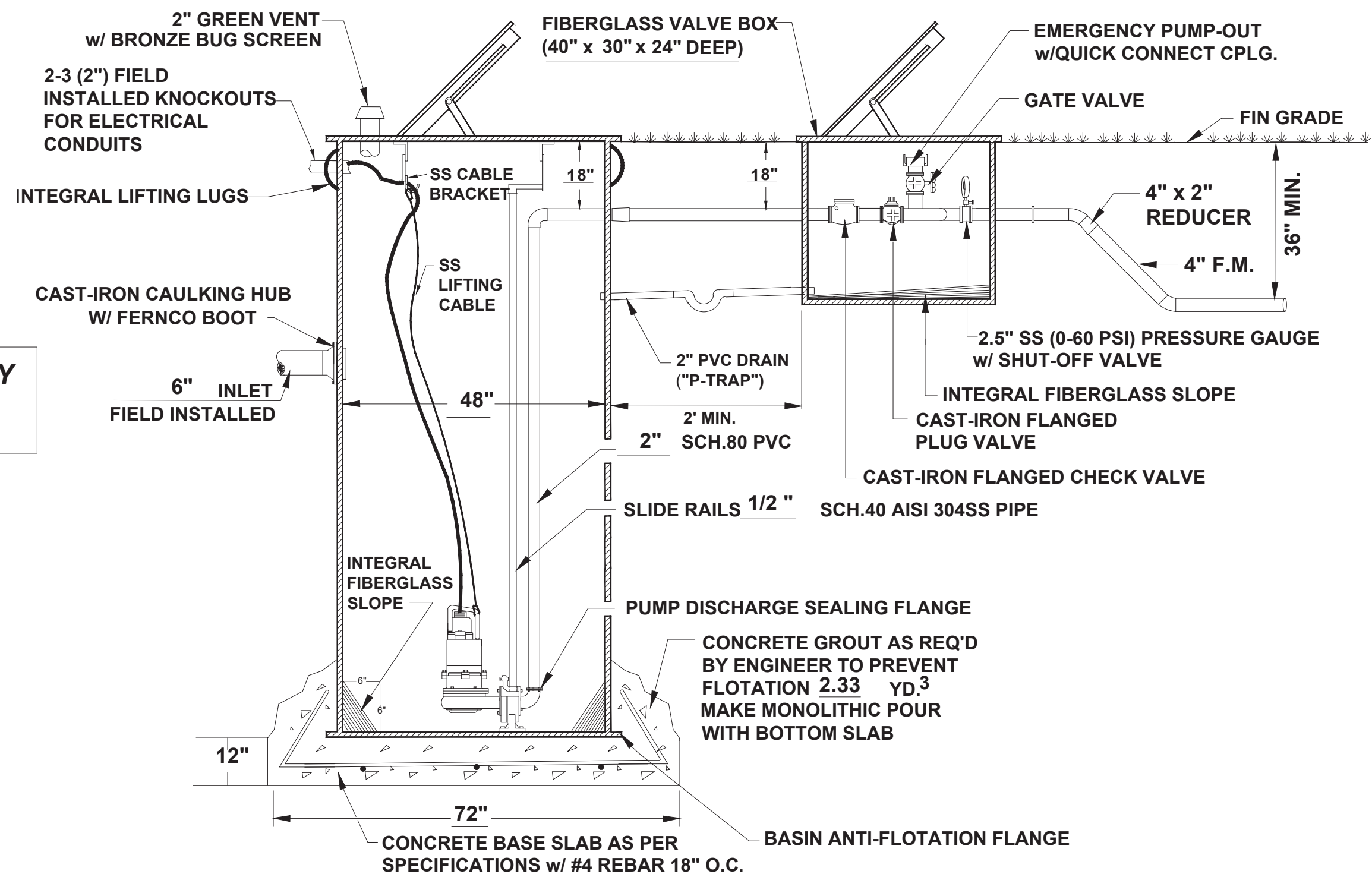
INSPECTION & TESTING: A factory representative shall be provide for a one (1) time start-up and shall have complete knowledge of the proper operation and maintenance of complete system. Megger the motors. The pump motors shall be megged out prior to the start-up to ensure that the insulation of the pump motor/cable is intact. The pump controls and pumps shall be checked for mechanical reliability and proper operation.

LIFT STATION SHALL BE PRIVATELY OWNED AND MAINTAINED.

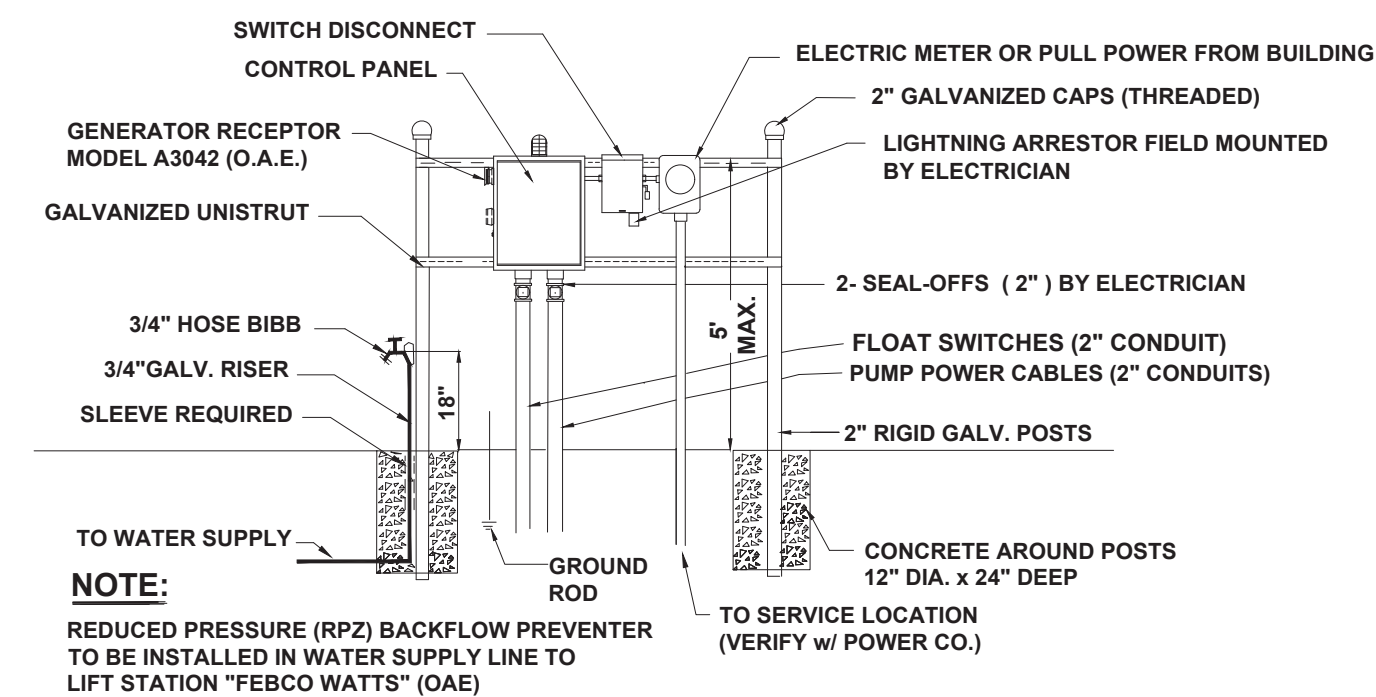


NOTE: PUMP CONTROL PANEL SHALL BE LOCATED 3 FEET FROM WETWELL PERIMETER AT POINT "A"

LIFT STATION PLAN



LIFT STATION SECTION



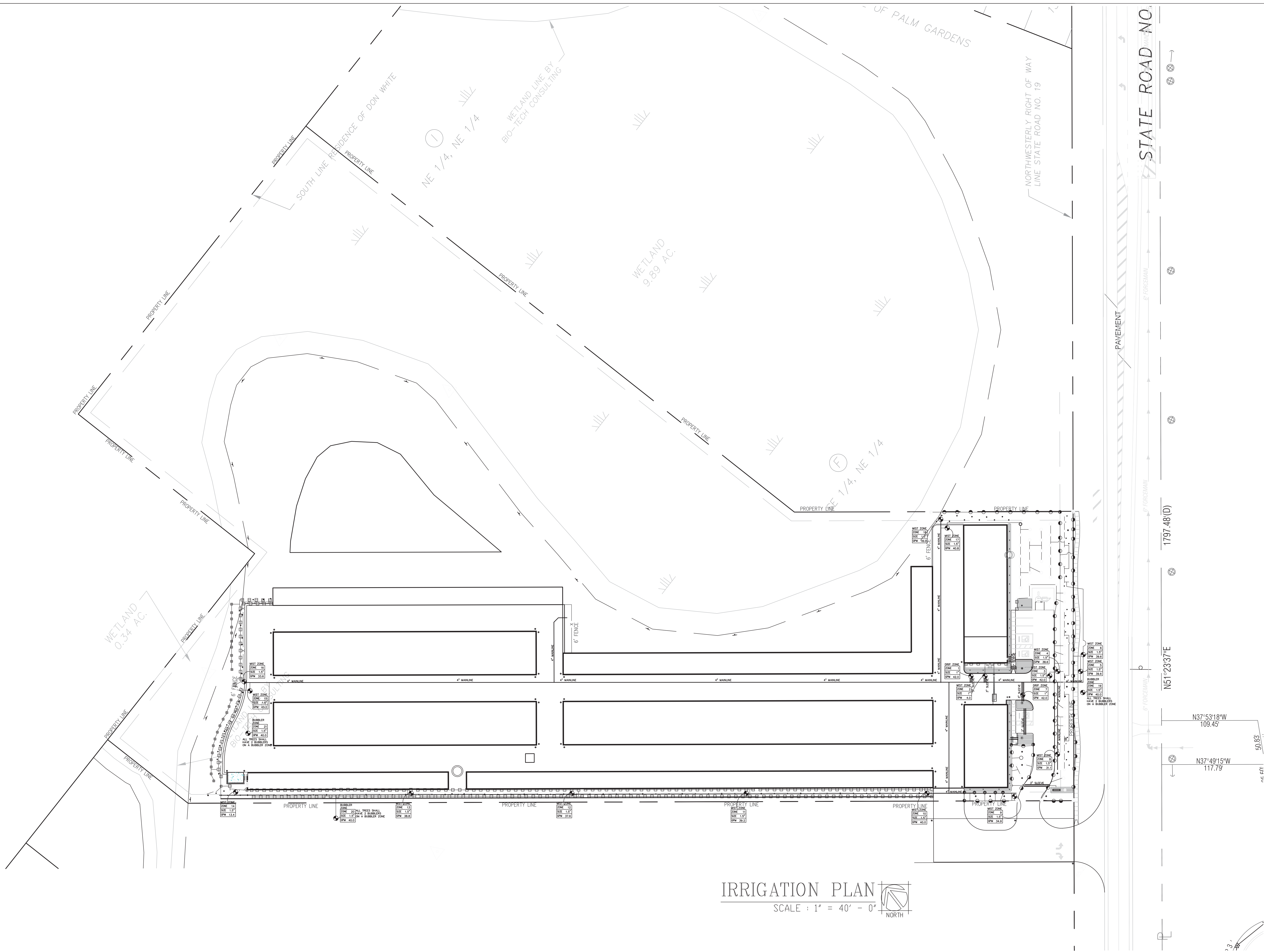
ELECTRICAL RISER

RILEY & Company, Inc.
5491 Benchmark Lane
Sanford, FL 32773
PH. 407-265-9963

REVISIONS	BY

DRAWN
CHECKED
DATE
SCALE
JOB NO.

10 of 10



IRRIGATION PLAN
SCALE : 1" = 40' - 0"
NORTH

STATE ROAD NO. 19

1797.48'(D)

N51°23'37"E

N37°53'18"W
109.45'

N37°49'15"W
117.79'

Project Name
HOWEY SELF STORAGE
S. PALM AVENUE, S.R. 19, HOWEY IN THE HILLS FLORIDA
Drawing Title
IRRIGATION PLAN

FLORIDA IRRIGATION DESIGN.COM
FLORIDARRIGATIONDESIGN@GMAIL.COM
407-912-9083

754 ELLWOOD AVENUE
ORLANDO FLORIDA 32804
407-912-9083
FLORIDARRIGATIONDESIGN@GMAIL.COM
WWW.FLORIDARRIGATIONDESIGN.COM

Digitally signed by
Randall S. Baker
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email=Randall@LandArtLA.com, c=US
Date: 2022.08.24 16:25:04-0400
Adobe Acrobat Reader version:
2022.002.20191

RSB
22038.00
DATE: 08/23/22
Drawing No.

IR-1

2. PER COUNTY COMMENT
RSB
08/19/21

CITY / COUNTY PROJECT NUMBER

22

Project Name
HOWEY SELF STORAGE
S. PALM AVENUE, S.R. 19, HOWEY IN THE HILLS FLORIDA
Drawing Title
Drip Irrigation Details, Notes

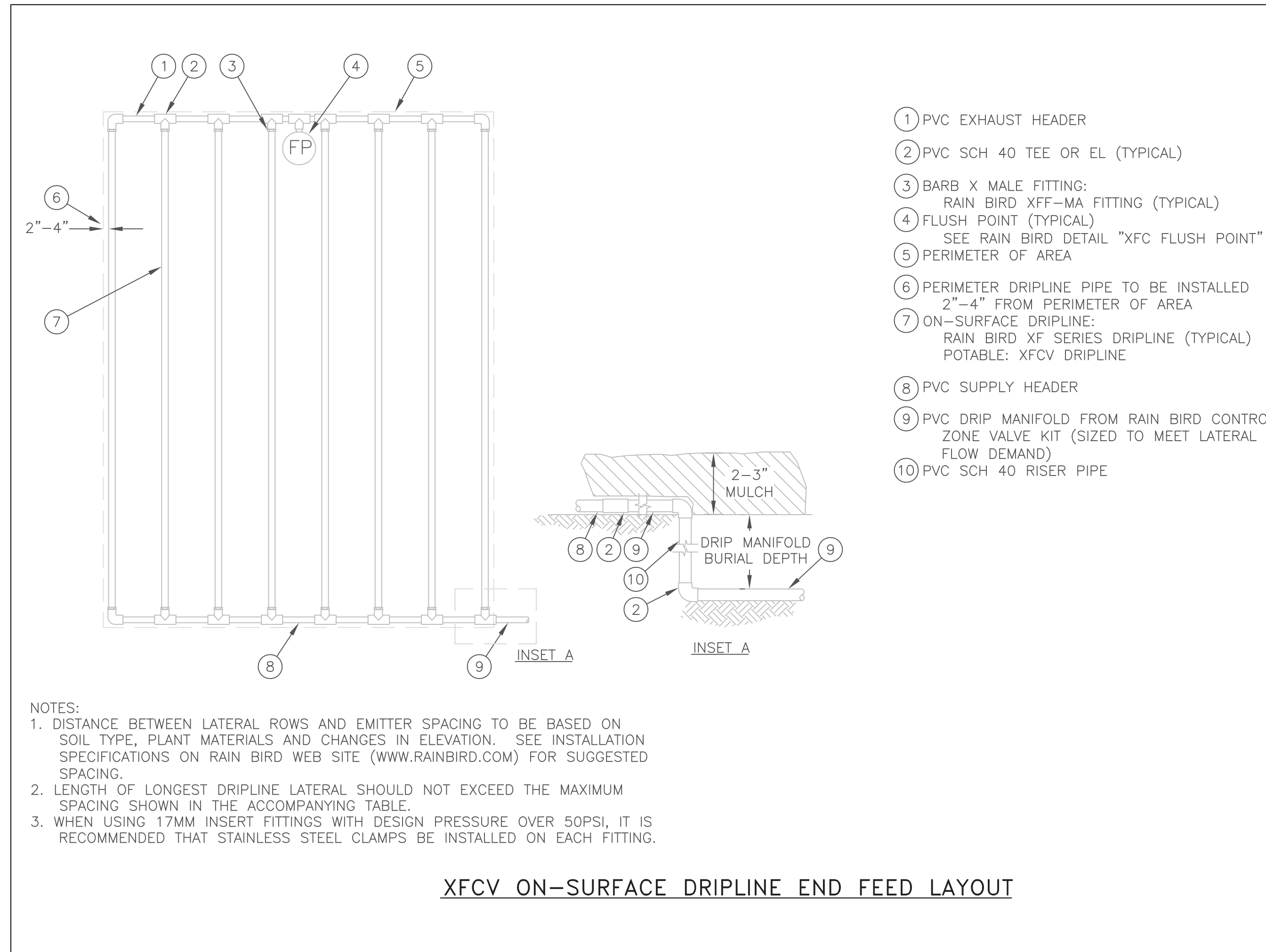
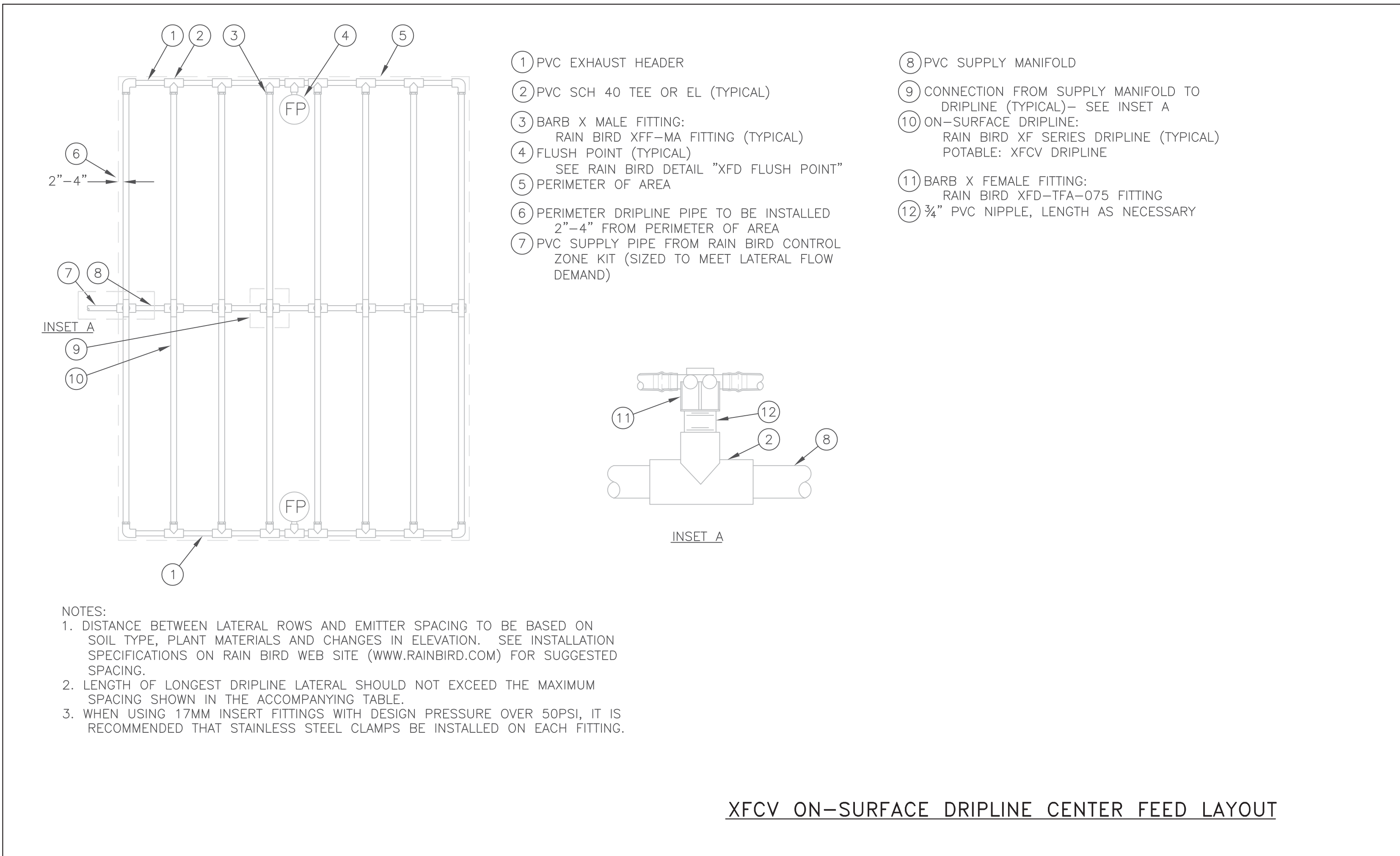
754 ELLWOOD AVENUE
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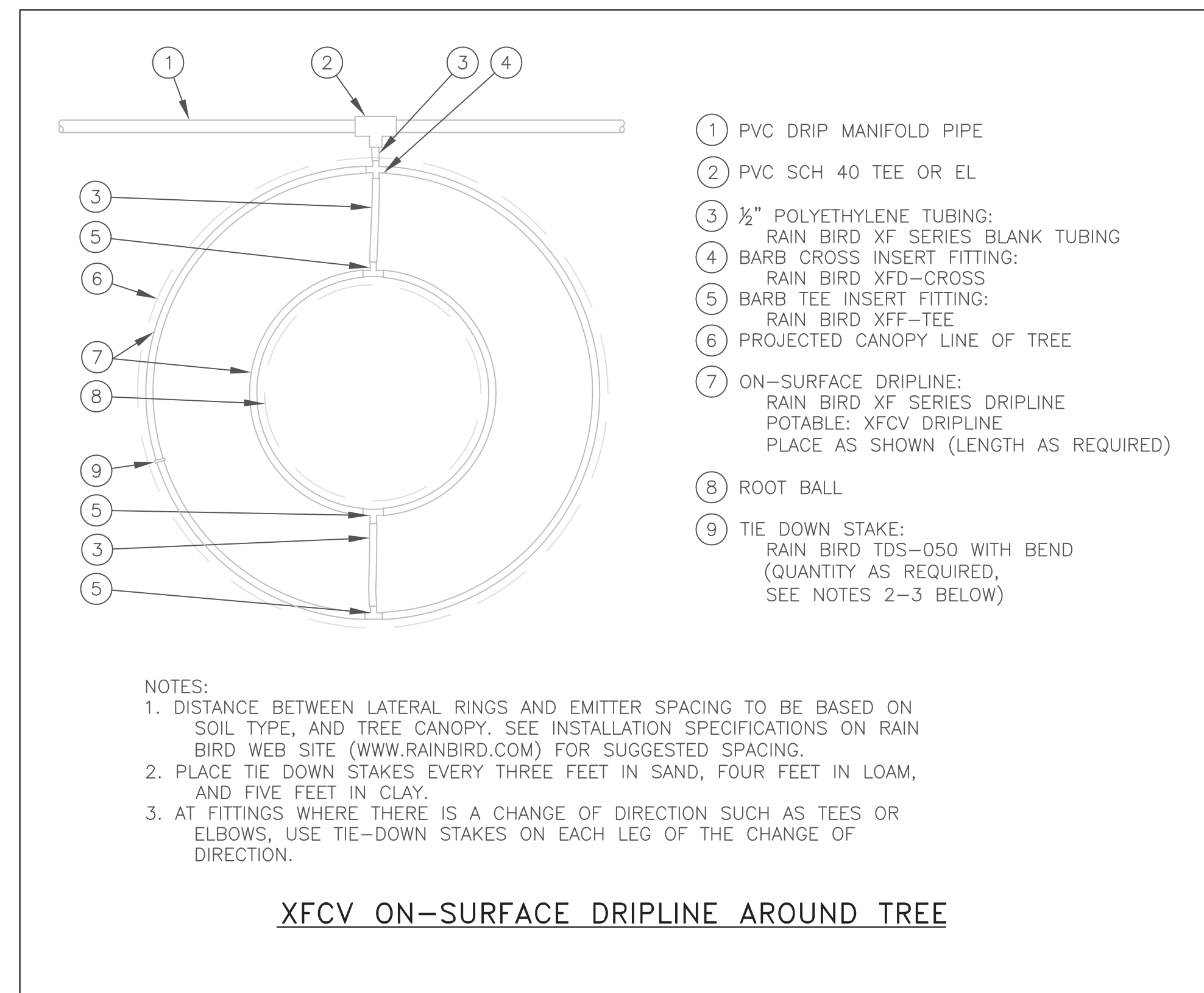
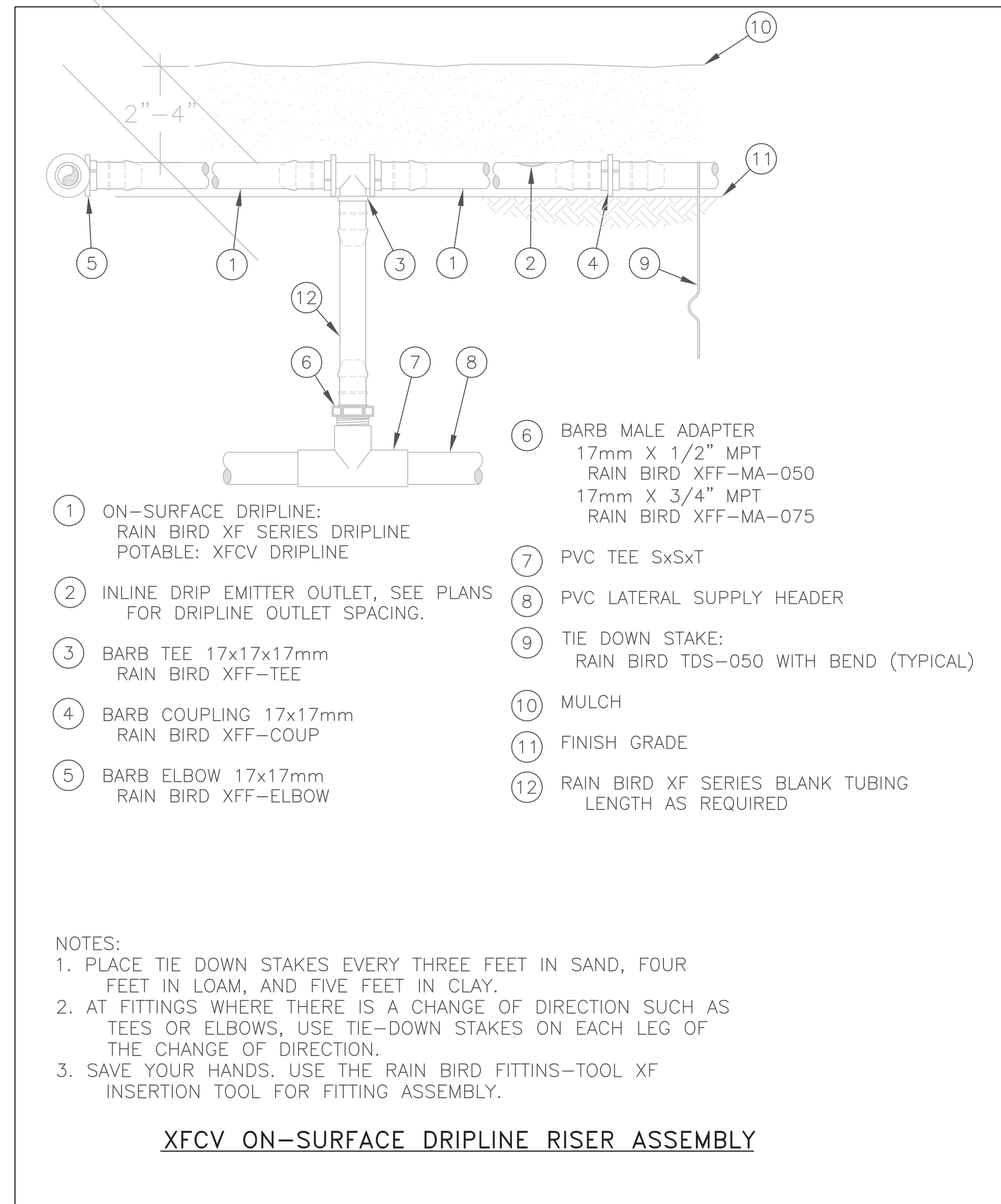
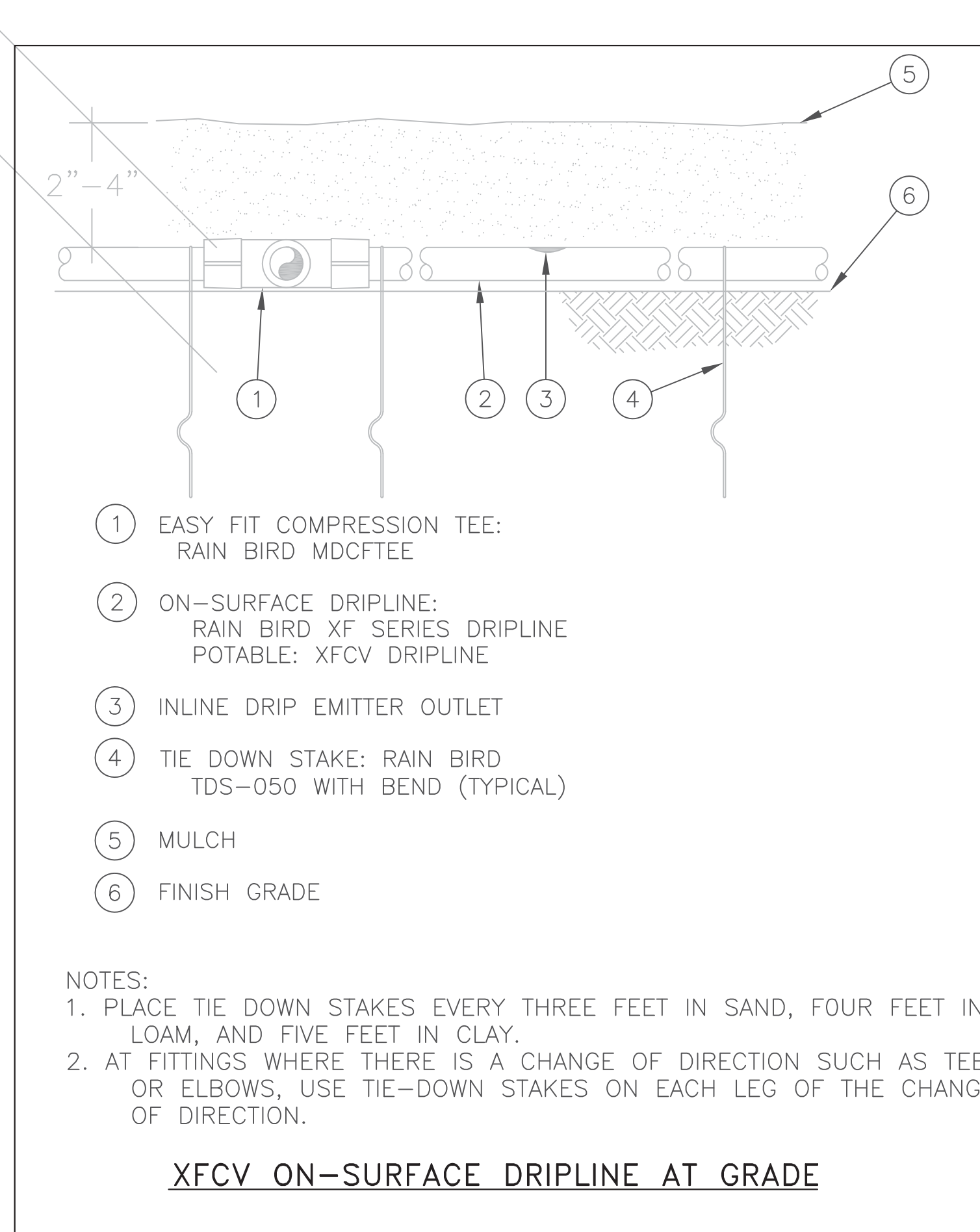
DATE: 08/23/22

10. *Journal of the American Medical Association*, 2000; 283: 2686-2692.

ISSUED FOR PERMIT



COUNTY PROJECT NUMBER





1
L-1
BIKE RACK



5
L-1
ASH URN

4
L-1
RECEPTACLE



3
L-1
BENCH



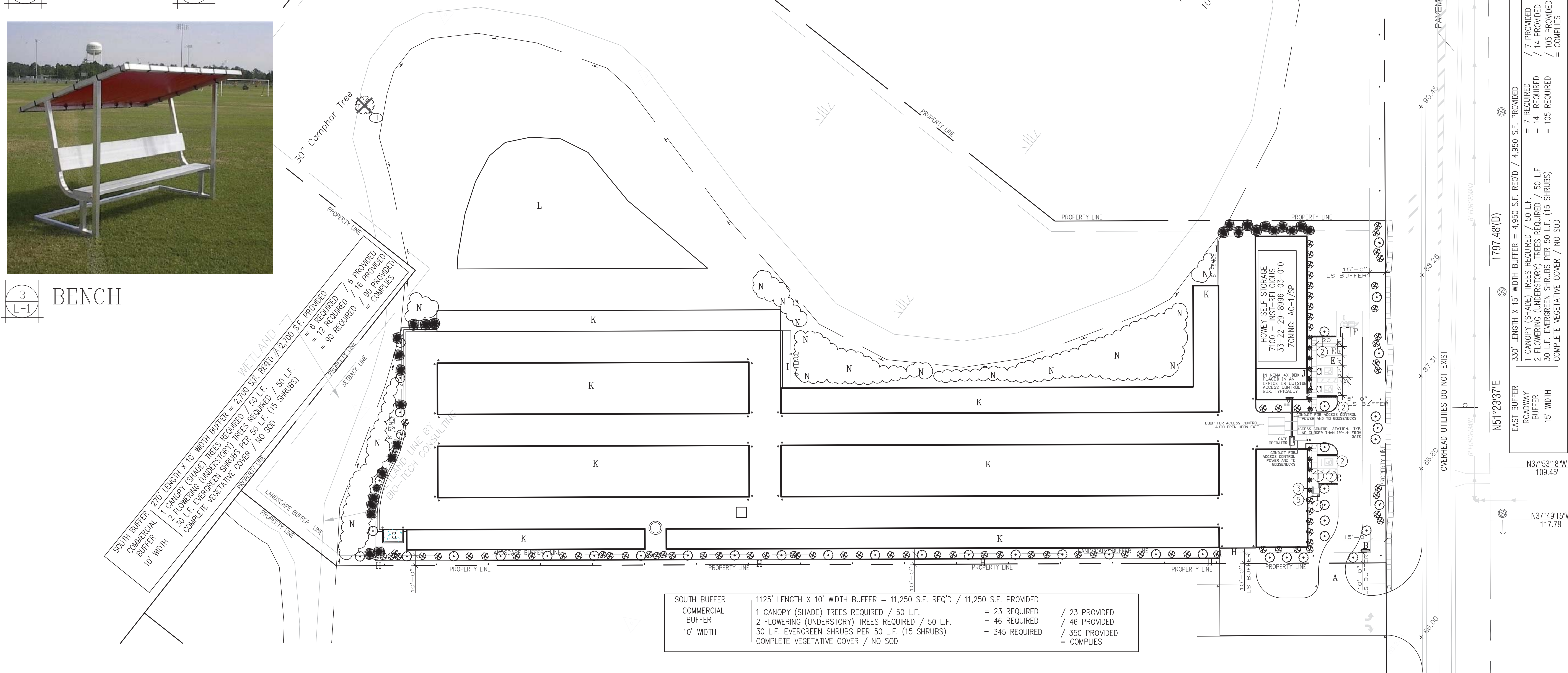
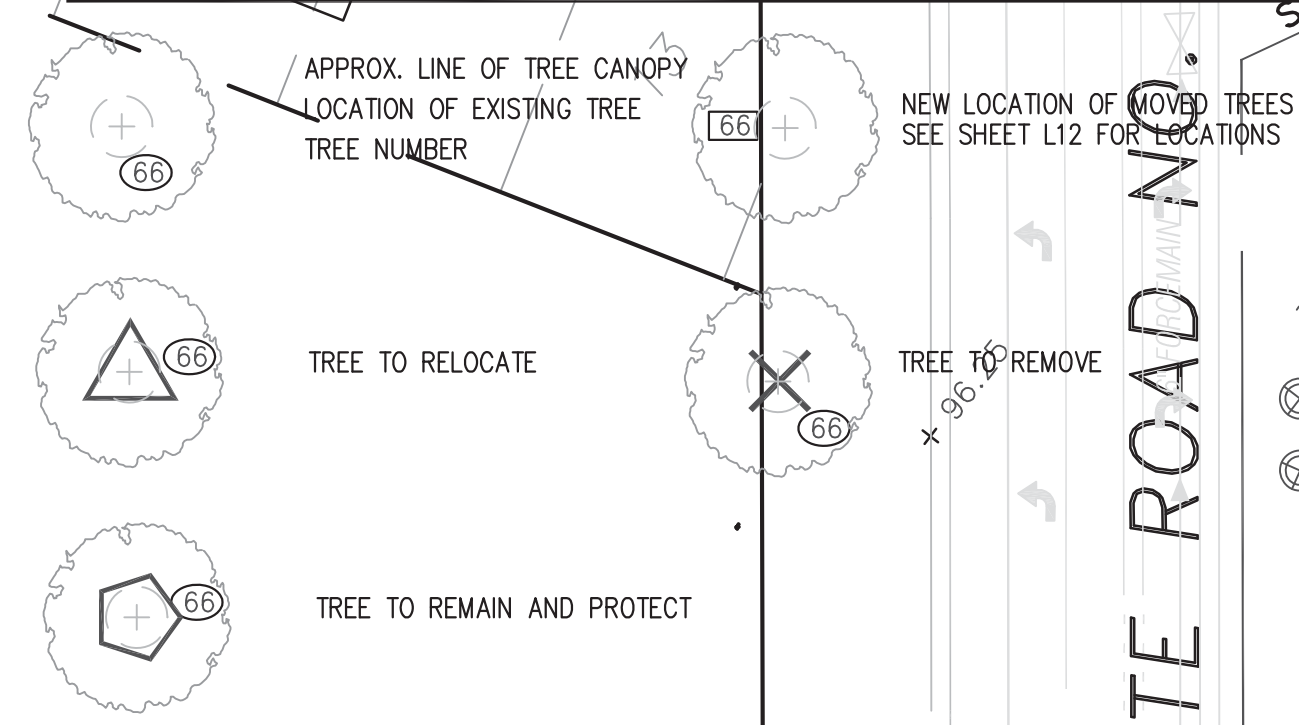
1
L-1
PAVER

MATERIAL SCHEDULE			
SYMBOL	ITEM	DESCRIPTION	QUAN
①	BIKE RACK	RING BY LANDSCAPE FORMS, SILVER, SEE DETAILS THIS SHEET, LANDSCAPEFORMS.COM, 800-430-6209	1 EACH
②	PERVIOUS PAVER	BELGARD TURFSTONE 16" X 24" GREY OLDCASTLE COASTAL ORLANDO - 800-226-9117	160 SF
③	BENCH	PEVO SPORT 7.5' COVERED BENCH, SKY BLUE, NO IMAGE, ROB@PEVOSPORTS.COM, 910-397-9388	1 EA.
④	TRASH RECEPTACLE	AUSTIN SIDE OPEN TRASN BIN, SILVER, LANDSCAPEFORMS.COM, 800-430-6209	1 EA.
⑤	ASH URN	HUMO VERTICAL ASH URN, SILVER, DECK MOUNT, LANDSCAPEFORMS.COM, 800-430-6209	1 EA.
⑥	VEHICLE GATE	VERTICAL PIVOT LIFT BUCKEYE GATE AND OPERATOR BY AUTOGATE.COM 800-944-4283 CONTACT BILL RODWANCY OR BRIAN FRITZ	2 EA.
⑦	PEDESTRIAN GATE	BUCKEYE PEDESTRIAN GATE BY AUTOGATE.COM 800-944-4283 CONTACT BILL RODWANCY OR BRIAN FRITZ	2 EA.

6
L-1
MATERIALS LIST

- KEY:
- A PROPOSED ENTRY DRIVE
 - B PROPOSED SIGN (UNDER SEPARATE PERMIT)
 - C PROPOSED ACCESSIBLE PARKING
 - D PROPOSED ACCESSIBLE PARKING SIGNAGE
 - E PROPOSED PARKING SPACE
 - F PROPOSED LIFT STATION
 - G PROPOSED DUMPSTER
 - H PROPOSED 6' MASONRY WALL
 - I PROPOSED 6' FENCE
 - J PROPOSED STORAGE OFFICE
 - K PROPOSED STORAGE BUILDING
 - L PROPOSED RETENTION
 - J PROPOSED CANOPY TREE ☼
 - K PROPOSED PALM TREE *
 - L PROPOSED FLOWERING / UNDERSTORY TREE ☼
 - M PROPOSED CONIFER TREE ●
 - N SAVE AS MUCH NATIVE VEGETATION AND TREES AS POSSIBLE. REMOVE ANY INVASIVES

LEGEND



1
L-1
LANDSCAPE SITE PLAN
SCALE : 1" = 40' - 0"
NORTH

PERMIT NUMBER

Project Name
HOWEY SELF STORAGE
S. PALM AVENUE, S.R. 19, HOWEY IN THE HILLS FLORIDA
Drawing Title
LANDSCAPE SITE PLAN

L.a.l.a.
LANDART
LANDSCAPE ARCHITECTURE
754 ELLWOOD AVENUE
ORLANDO FLORIDA 32804
407-484-6099
PROJECT@LANDARTLA.COM
WWW.LANDARTLA.COM



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Date: 2022.08.24 17:53:48 -04'00'
Adobe Acrobat Reader version: 2022.002.20191 RSB

22038.00
DATE: 08/23/22
Drawing No.

L-1

ISSUED FOR PERMIT

TREE #	COMMON NAME	SCIENTIFIC NAME	CAL.	HT.	SPR.	NOTE	ACTION
1	CAMPHOR	CINNANOMUM CAMPHORA	30"			INVASIVE	REMOVE
2	CHERRY LAUREL	PRUNUS LAUROCERASUS	12"			INVASIVE	REMOVE
3	CHERRY LAUREL	PRUNUS LAUROCERASUS	12"			INVASIVE	REMOVE
4	CHERRY LAUREL	PRUNUS LAUROCERASUS	10"			INVASIVE	REMOVE
5							
6							
7							
8							
9							
10							

LEGEND

APPROX. LINE OF TREE CANOPY
LOCATION OF EXISTING TREE
TREE NUMBER

NEW LOCATION OF MOVED TREES
SEE SHEET L12 FOR LOCATIONS

TREE TO RELOCATE

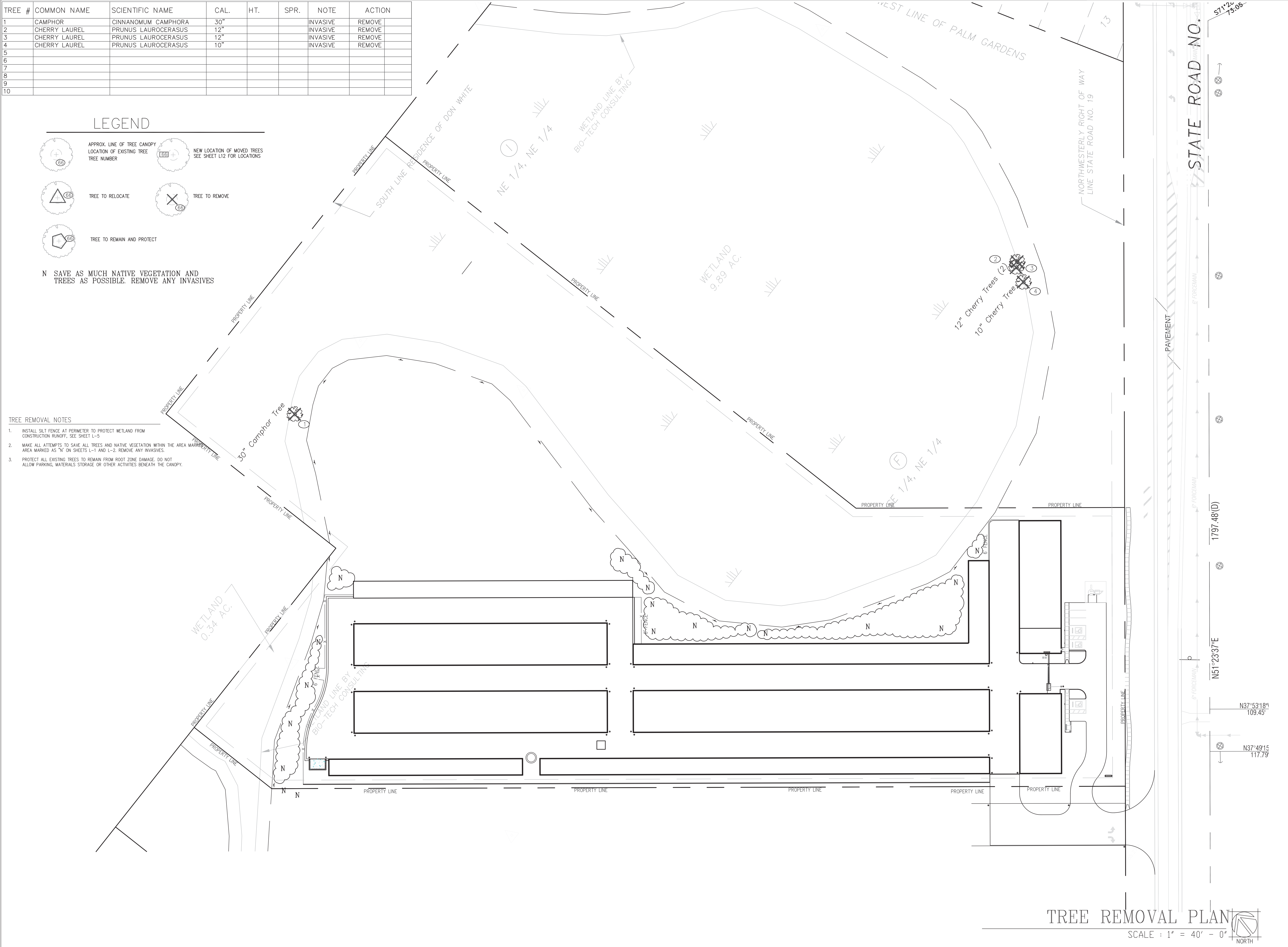
TREE TO REMOVE

TREE TO REMAIN AND PROTECT

N SAVE AS MUCH NATIVE VEGETATION AND TREES AS POSSIBLE. REMOVE ANY INVASIVES

TREE REMOVAL NOTES

1. INSTALL SILT FENCE AT PERIMETER TO PROTECT WETLAND FROM CONSTRUCTION RUNOFF. SEE SHEET L-5
2. MAKE ALL ATTEMPTS TO SAVE ALL TREES AND NATIVE VEGETATION WITHIN THE AREA MARKED AS "N" ON SHEETS L-1 AND L-2. REMOVE ANY INVASIVES.
3. PROTECT ALL EXISTING TREES TO REMAIN FROM ROOT ZONE DAMAGE. DO NOT ALLOW PARKING, MATERIALS STORAGE OR OTHER ACTIVITIES BENEATH THE CANOPY.



TREE REMOVAL PLAN

SCALE : 1" = 40' - 0"

CITY / COUNTY PROJECT NUMBER

Project Name

HOWEY SELF STORAGE

Drawing Title

S. PALM AVENUE, S.R. 19, HOWEY IN THE HILLS FLORIDA

Tree Removal Plan

TREE REMOVAL PLAN

754 ELLWOOD AVENUE
ORLANDO FLORIDA, 32804
407-484-6099
PROJECTS@LANDARTLA.COM
WWW.LANDARTLA.COM

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Architecture,
ou=Florida RLA
0001760,
email=Randall@La
ndArtLA.com, c=US
Date: 2022.08.24
20:33:16 -04'00'
Adobe Acrobat
Reader version:
2022.002.20191

RSB

22038.00

DATE: 08/23/22

Drawing No.

L-2

ISSUED FOR PERMIT



1. ALL PLANTS ARE TO BE FLORIDA NO. 1 GRADE OR BETTER.
2. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT.
3. ALL LANDSCAPE AREAS TO RECEIVE 100% IRRIGATION COVERAGE WITH A MINIMUM 50% OVERLAY BY AN AUTOMATIC IRRIGATION SYSTEM. SYSTEM SHALL INCLUDE A RAIN SENSITIVE DEVICE. USE OF NONPOTABLE WATER SHALL BE DRAWN FROM A RUST FREE SOURCE WHEN AVAILABLE.
4. QUANTITIES ON PLANT LIST ARE FOR CONVENIENCE ONLY. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON THE PLANTING PLAN. ANY CHANGES OCCUR BETWEEN THE PLANT LIST AND PLANTING PLANS, THE PLANTS ARE TO OVERIDE THE PLANT LIST IN ALL CASES.
5. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK. DIAL 811 FOR SUNSHINE ONE CALL. ALTERNATE: 800-432-6770
6. ALL SHRUB AND GROUNDCOVER BEDS SHALL BE Laid OUT IN A STRAIGHT AND CONSISTENT PATTERN. SET IN A PERMANENT LINE WHEN ADJUSTING PAVEMENT OR BUILDINGS.

- | | | | | | |
|----|---|-----|---|-----|--|
| 1. | ALL PLANTS ARE TO BE FLORIDA NO. 1 GRADE OR BETTER | 7. | ALL TREES AND PALMS TO BE STAKED AND GUYED AS INDICATED ON DETAILS. | 15. | LANDSCAPE SHALL NOT OBSCURE FIRE HYDRANT NOR SPRINKLER/STANDPIPE WYES. |
| 2. | NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT. | 8. | ALL PLANTING AREAS TO RECEIVE 3" LAYER OF GRADE B SHREDED EUCALYPTUS MULCH. TOP OF MULCH SHALL BE 2" BELOW ANY ADJACENT PAVEMENT. | 16. | ALL EXISTING TREES ON SITE IN THE VICINITY OF NEW CONSTRUCTION SHALL BE PROTECTED AS PER COUNTY / CITY CODE. |
| 3. | ALL LANDSCAPE AREAS TO RECEIVE 100% IRRIGATION COVERAGE WITH A MINIMUM 50% OVERLAP BY AN AUTOMATIC IRRIGATION SYSTEM. SYSTEM SHALL INCLUDE A RAIN SENSOR DEVICE. USE OF NONPOTABLE WATER SHALL BE USED FROM A RUST FREE SOURCE WHEN AVAILABLE. | 9. | ALL PLANT MATERIAL TO BE BACKFILLED WITH A LANDSCAPE MIX, SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL. | 17. | ALL EXISTING TREES ON SITE TO RECEIVE 3" MULCH RING AND CLEAN OUT BEDDINGS. |
| 4. | QUANTITIES ON PLANT LIST ARE FOR CONVENIENCE ONLY. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON PLANTING PLAN(S). WHEN DISCREPANCIES OCCUR BETWEEN THE PLANT LIST AND PLANTING PLANS, THE PLANS ARE TO OVERRIDE THE PLANT LIST IN ALL CASES. | 10. | RELOCATE TREES PER TREE RELOCATION PLAN, STAKE AND SECURE PER INDUSTRY STANDARDS. | 18. | CONTRACTOR TO CONTACT SPECIFIED GROWERS TO OBTAIN SHIPPING INFORMATION PRIOR TO BID. |
| 5. | CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK. DIAL 811 FOR SUNSHINE ONE CALL. ALTERNATE 800-432-4770 | 11. | ALL SOD SHALL BE LAID ON 1" DEPTH OF TOPSOIL. | 19. | CONTRACTOR TO SUPPLY PHOTOGRAPHS OF ANY SPECIMENS FOR APPROVAL PRIOR TO SECURING THEIR PURCHASE. |
| 6. | ALL SHRUB AND GROUNDCOVER BEDS SHALL BE LAID OUT IN A UNIFORM AND CONSISTENT PATTERN, SET IN A PERPENDICULAR LINE WHEN ABUTTING PAVEMENT OR BUILDINGS. | 12. | ALL EXISTING TREES TO REMAIN SHALL RECEIVE A MIN. 32" MULCH RING. DO NOT DISTURB ROOT STRUCTURE. | 20. | ALL TREES SHALL BE IRRIGATED BY A DRIP OR BUBBLER ZONE THAT SERVICES TREES ONLY, THIS IS IN ADDITION TO THE SPRAY AND MIST SYSTEM. |
| | | 13. | ALL MECHANICAL EQUIPMENT SHALL BE SCREENED ON THREE SIDES WITH APPROVED HEDGE. | | |
| | | 14. | ALL TREES SHALL BE PLANTED AT LEAST 10' FROM OVERHEAD POWER LINES. | | |



PLANT LIST

Erosion control is important and necessary for all development sites. The materials needed are easy to find and relatively inexpensive - silt fencing, synthetic bales, stakes, inlet protection, and grass seed. Putting these materials to use is a straightforward process. Maintenance to those Best Management Practices (BMP's) is key to staying in compliance.

When areas are stabilized and not endanger of eroding, the temporary erosion control measures can be removed. BMP's should not be left on finished sites.

*By controlling erosion and sedimentation,
Orlando builders keep our streets and waterways clean.*

Eroding construction sites are a leading cause of water quality problems in Florida. For every acre under construction, about 1 ½ dump truck loads of soil wash into the stormwater system and into a nearby lake unless builders use proper erosion control measures.

SAMPLE EROSION CONTROL PLAN FOR SMALL DEVELOPMENT

AREA TO BE TOPSOILED, SEEDED AND MULCHED BY OWNER AT THE COMPLETION OF CONSTRUCTION

HOME / OFFICE

Protected Inlet

R/W LINE

STREET NAME

EXISTING CURB AND GUTTER

Stabilized Construction Entrance

TOPSOIL

DRAINAGE SWALE

EROSION CONTROL PLAN LEGEND

- PROPERTY LINE
- - - -> EXISTING DRAINAGE
-> TEMPORARY DIVERSION
- > FINISHED DRAINAGE
- ① VEGETATION SPECIFICATION
- [] SILT FENCE
- SYNTHETIC BALES
- ☼ TREE PRESERVATION
- ⊗ STOCKPILED TOPSOIL

Under the Stormwater Utility Code, Section 31.19, the City prohibits the discharge of pollutants (including sediment and construction debris) into lakes, stormwater drains, or any part of the stormwater conveyance system (ex. streets, gutters, alleyways, ditches, canals, parking lots, and retention/detention ponds, etc.). For more information about erosion and sediment control, refer to the Florida Development Manual: A Guide to Sound Land and Water Management, and the FDEP Erosion, Sediment, and Stormwater Inspector Manual. Violators may be subject to civil penalties, citations, pollution abatement costs, and/or action by the City of Orlando Code Board.

- Examples may include trenched-in silt fence, trenched-in synthetic bales, berms, sod buffers, wattles, turbidity barrier, etc.
- Install within 24 hours of land disturbance.
- Ensure that perimeter controls are installed properly (trenched-in, no gaps, appropriate BMP for conditions) and maintained until area is stabilized.
- Special attention to perimeter controls needs to be taken along sensitive and critical areas such as wetlands, waterbodies, stormwater systems, roads, adjacent parcels, etc.
- Inspect, repair, replace, and remove accumulated sediments weekly and after ½ inch rain event.

Figure 3—Cross Sections of Trenches for Silt Fences

Figure 3—Cross Sections of Trenches for Silt Fences

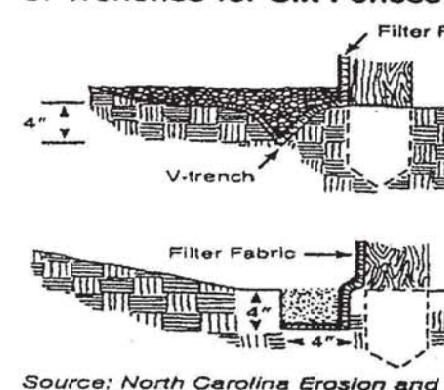
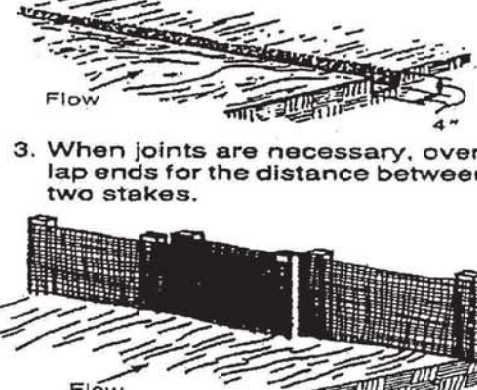
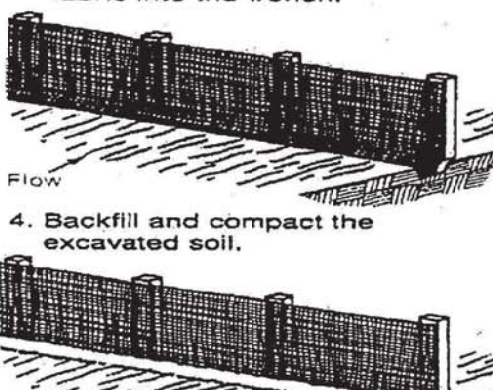


Figure 4—How to Install a Silt Fence

1. Excavate a 4" x 4" trench along the contour.



2. Stake the silt fence on downslope side of trench. Extend 8" of fabric into the trench.



- Examples of stormwater systems may include stormwater inlets and grates, ditches, swales, retention/detention ponds, canals, lakes, etc.

- Method of protecting on-site and off-site stormwater systems include properly installed synthetic bales, silt fence fabric, filter fabric, sock-covered perforated pipe, or other inlet protection devices.
- In problem flood-prone areas (such as streets), ensure that floodwaters can be alleviated through drains, ports and bypasses.
- Floating turbidity curtain may need to be installed for added protection to the receiving waterbody.
- Inspect, repair, replace, and remove accumulated sediments weekly and after ½ inch rain event.

- Prevent offsite tracking of sediment onto streets by stabilizing the site entrance.

- Examples include at least 50 foot of gravel with geo-fabric underlay, tire wash area, etc.
- At the end of each workday, remove sediment by sweeping and scraping up soil tracked onto the street. Frequent sweeping of street and curb line will prevent sediment accumulation.
- Sediment in the streets and curbs can become major safety and environmental hazards for your site. Sediment can impede traffic, cause flooding, and degrade lakes.

- Locate away from any down-slope street, driveway, stream, lake, wetland, ditch, or drainageway
- If stockpiles are located near a perimeter, cover stockpiles with plastic sheeting.
- Add perimeter controls at the toe of stockpile.
- Wet down exposed soil with a light spray or sprinkler to keep dust and erosion at a minimum.

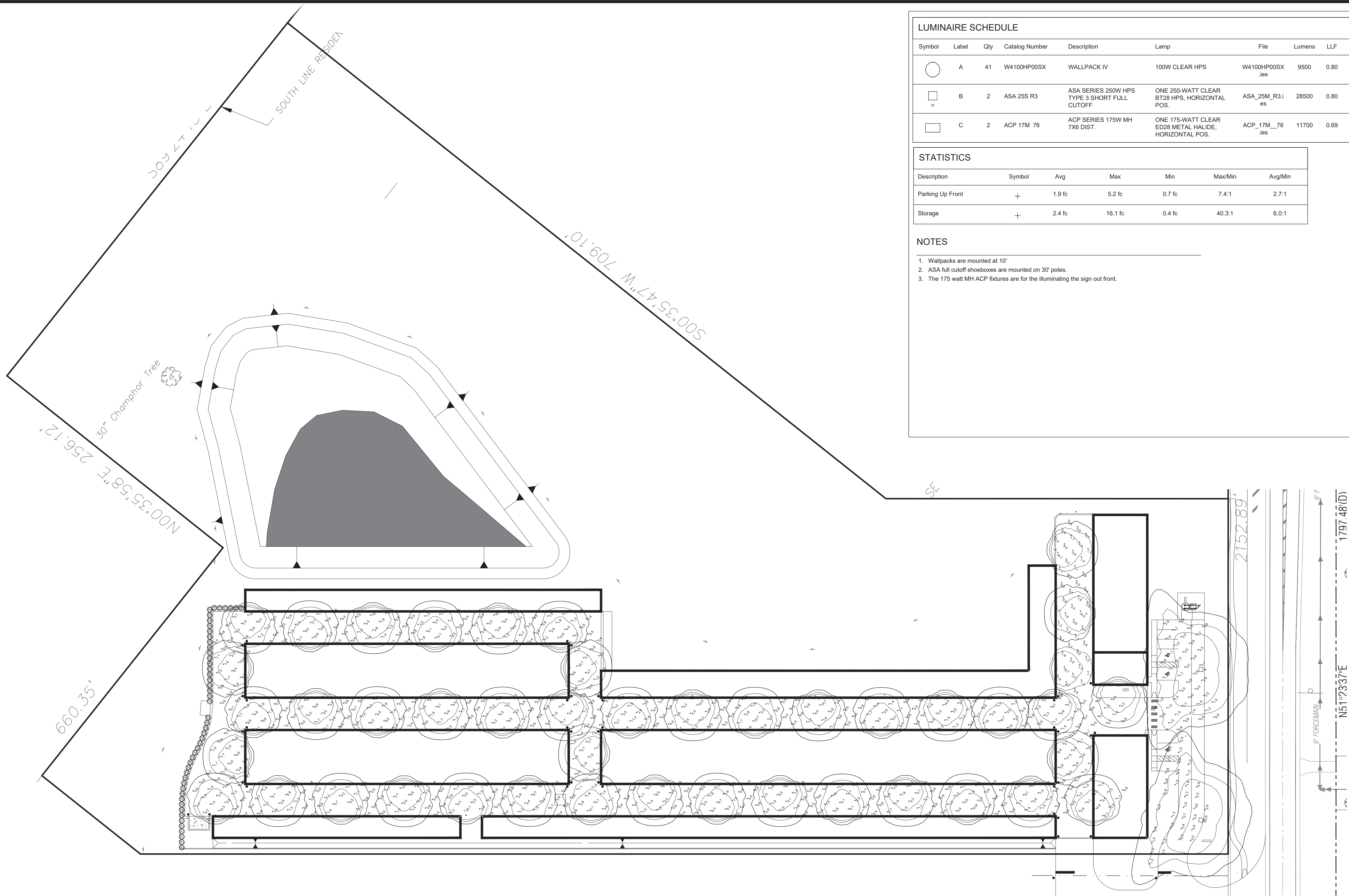
- * Wherever possible, preserve existing trees, shrubs, and other vegetation to minimize exposed areas.
- * Stabilize exposed areas immediately. Do not wait till end of project.
- * Stabilization can be achieved with sod, seeding, mulch, erosion control blankets, etc. Hard armor (ex. rip-rap, netting, concrete, rock, etc.) may be more appropriate in channels, flumes, steep slopes, swift moving water, etc.
- * Revegetate exposed areas with seed, sod, or mulch as soon as possible.
- * Temporary erosion control measures (e.g. strawmats) existing prior to the project, place sod stockpiles, or park near trees marked for preservation.
- * Mulch may need to be anchored down by disk, crimping, or nets. Sod may need to be anchored down with staples – especially on loose soils.
- * Seed and sod must be watered and maintained to establish effective cover per City Engineering Standards Manual specs.

- * Dewatering a river to install underground utilities will require a permit through the Water Management District (St. Johns River WMD 407-659-4800 or South Florida WMD 407-858-6100).
- * Dewatering of water well-points, sock filters, sump pumps, etc.
- * Directing the water offsite will require the discharge to meet the FDEP Surface Water Quality Classifications (62-302.530). The water will need to be tested for pollutants.
- * Turbidity levels on the discharge water shall not exceed 29 N.T.U.'s above the receiving waterbody. This can be achieved through well-point and sock filter methods, velocity curtains, armored spillways, etc.
- * Floating turbidity curtains should be installed in the receiving waterbody. Curtain must extend to bottom of waterbody and attach to sides of bank.

- Inspect BMP's at least weekly and after ½ inch rain event.
- Remove sediment and repair spots of erosion immediately.
- If site is subject to NPDES permitting (1+ acres disturbed), keep a weekly log of erosion control efforts.

For more information on Erosion and Sediment Control Issues and how you can help save our lakes, please contact the City of Orlando Streets and Stormwater Hotline at 407-246-2370.

1. THE GUIDELINES FOR PROPOSED SEDIMENT CONTROL BLUE SHEET WILL SERVE AS A GUIDE FOR THE IMPLEMENTATION OF EROSION SEDIMENT CONTROL MEASURES IF NONE OTHER IS PROVIDED.
2. THE CONTRACTOR SHALL NOT AND PROTECT ALL SUNSHINE ONE CALL UTILITY MARKINGS THROUGHOUT THE PROJECT.
3. THE PROPOSED PROJECT IS DESIGNED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE AND FLORIDA BUILDING CODE COMMERCIAL, CURRENT EDITION WITH REVISIONS.
4. THE PROPOSED PROJECT CONSTRUCTION IS DESIGNED FOR 140 M.P.H. WIND SPEED.



LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	A	41	W4100HP00SX	WALLPACK IV	100W CLEAR HPS	W4100HP00SX .ies	9500	0.80	128
	B	2	ASA 25S R3	ASA SERIES 250W HPS TYPE 3 SHORT FULL CUTOFF	ONE 250-WATT CLEAR BT28 HPS, HORIZONTAL POS.	ASA_25M_R3.i es	28500	0.80	294
	C	2	ACP 17M 76	ACP SERIES 175W MH 7X6 DIST.	ONE 175-WATT CLEAR ED28 METAL HALIDE, HORIZONTAL POS.	ACP_17M_76 .ies	11700	0.69	213

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Up Front	+	1.9 fc	5.2 fc	0.7 fc	7.4:1	2.7:1
Storage	+	2.4 fc	16.1 fc	0.4 fc	40.3:1	6.0:1

NOTES

- Wallpacks are mounted at 10'
- ASA full cutoff shoeboxes are mounted on 30' poles.
- The 175 watt MH ACP fixtures are for the illuminating the sign out front.

Howey Self Storage
Hologram Wallpacks
AEL ASA Shoeboxes

Designer
Steve Prior
Date
Aug 7 2009
Scale
Drawing No.

1 of 1

DATE	REVISION
6/21/21	Town Comments

Photometric Plan

Howey Self Storage



june engineering
consultants, inc.

132 W. Plant Street, Suite 200
Winter Garden, FL 34787
Ph. 407-905-8180
Fax 407-905-6232

Certificate of Authorization #00008507

DRAWN BY: CLK
DATE: 2/4/08

CHECKED BY: RAJ
DATE: 2/4/08

SCALE
1" = 50'

JEFFREY A. SEDLOFF
PE# 51506

JOB NO.
07-0398
SHEET
P-1
OF 10



TMHConsulting@cfl.rr.com
97 N. Saint Andrews Dr.
Ormond Beach, FL 32174
PH: 386.316.8426

MEMORANDUM

TO: Howey-in-the-Hills Development Review Committee
CC: J. Brock, Town Clerk
FROM: Thomas Harowski, AICP, Planning Consultant
SUBJECT: The Reserve/Hilltop Groves First Major Amendment
DATE: August 30, 2022

The development team has submitted an application to amend the approved development agreement. This is the first major amendment to the adopted development agreement. The amendment has been triggered by the proposal to reduce the central collector road from four lanes to two lanes for most of the project length, but there are other revisions to the approved development plan that will need to be addressed and included as part of the amendment.

The Town will be adopting a revised preliminary subdivision plan as part of the amendment, but the adopting ordinance should include a list of all amendment items, so it is clear to all parties what is being approved. Once final action is taken by the Town Council, the adopting ordinance needs to be recorded in the public records to provide a document trail of the fully approved project. The planning comments are as follows:

1. The applicant should present a list of all revisions from the original approved preliminary subdivision plan so that the Town can be sure all items have been reviewed and included in the amending ordinance.
2. The applicant should review the text portions of the adopting ordinance to determine if there are other revisions that are needed or desired.
3. As one example, the plan set needs to include a maximum impervious area for each lot type. The lack of an impervious area number has been an issue with other new developments and needs to be added. The maximum impervious area then needs to be used as an input into the stormwater system design or an explanation needs to be provided as to why a different number is used. This number can be added to the plan set if desired rather than included in the text of the agreement. The maximum impervious area might be different for each of the housing types.

4. The revised roads D and F and the revised lot adjustments are recognized and acceptable. These changes could be considered a minor amendment, but we will include them in the overall amendment since other items are needed.
5. The reduction in the width of the central collector road from 4-lanes to 2-lanes with left turn lanes is acceptable from a speed control and safety perspective, but the applicant's traffic engineer needs to submit an analysis demonstrating that the reduced facility will still accommodate the projected traffic.
6. The transition from the 4-lane segment in the commercial area to the 2-lane segment in the residential area should be moved further north to allow more flexibility in locating access points to the commercial parcel.
7. The intersection designs at SR 19 and Number 2 Road are not fully detailed in the approved plan set. These intersection designs will be directed by FDOT and Lake County through their respective permit processes. When permitting is completed, these will be considered minor amendments to the development agreement.
8. The proposed amendment includes a revised road connection between Phase 2 and Phase 3 with the new alignment following Road B and Road N. The revised road alignment and associated adjustment to the residential lots is recommended for approval.
9. The new plan proposes a revision to the road network within the townhouse area adjacent to Number 2 Road. The approved plan shows a connection Number 2 Road at the west end of this road and not a terminal point. This area has 78 units and therefore requires a second access point. The applicant needs to provide for a second access point or reduce the number of units in the area below 50 units.
10. The revised plan proposes to eliminate the connection to the Town parcel at the intersection of the collector road and Number 2 Road. The Town still needs to retain the option to include a driveway connection. An access at this point could reduce emergency services response times to the project. To facilitate future driveway options, the collector road right-of-way needs to abut the Town parcel for the full length of the parcel if possible.
11. The revised plan proposes to eliminate the connection from Road EE/FF to Revels Road. This deletion is not acceptable. The approved design needs to be retained.
12. The applicant needs to revise the unit totals by type of unit and phase to reflect the current plan.
13. The proposed lot pattern along Road AA and Road Z appears to be different than the currently approved plan. The Town needs to verify that the unit totals by type remain unchanged or approve any revision to the product mix.

14. The revised cross-section for the collector road (Road A) shows 4-foot bicycle lanes on the 2-lane segment and no bicycle lane on the 4-lane segment. The agreement and the cross-section in the approved plan set shows a separate bicycle path. Both cross-sections need to be revised to reflect the bicycle path. Adding the two bicycle lane areas to one of the sidewalks will allow for a 12-foot-wide bicycle/pedestrian facility on one side of the road and save one foot of paved area. A decision should be made as to which side of Road A the bicycle path is to be located.
15. An intersection detail needs to be added where the bicycle path crosses intersection. The bicycle path should have some type of divider to make it clear automotive traffic is not permitted. Some type of pavement markings are appropriate as well.
16. With the 2-lane design, the central median has been reduced from 14-feet for the approved design to about 9 feet with the proposed design. This dimension seems a little skimpy for a quality landscape program and might be less than the minimum width needed for a protected left turn bay. The median in the 2-lane and 4-lane segments should be retained at 14 feet.

September 5, 2022
Hillside Groves – PUD Amendment
Engineering Review Comments
Page 1

1. Provide a volume and capacity evaluation to show that the 2-lane boulevard will be able to handle the projected future traffic.
2. The master site plan shows the multiuse trail on the east side of the spine road, but the cross-sections don't. Add the trail to the cross-sections, and label the trail on the site plan. Both cross-sections should call out a 5' sidewalk on the west side and a 10' trail on the east side.
3. The cross-section for the 4-lane boulevard needs to show 24' pavement width, not 21'.
4. Move the commercial driveway intersection further north to provide additional left turn lane decal & storage length for northbound vehicles.
5. All legs of all intersections need to provide full pedestrian accommodation including ADA curb ramps & crosswalks. Crosswalks are to be per FDOT Design Standards 2017-18 Index 17346 Sheet 12 of 17. The crosswalks at stop conditions should be standard crosswalks. The crosswalks not at a stop condition should be special emphasis.



August 26, 2022

Town of Howey-In-The-Hills
Planning & Zoning Dept.
101 N. Palm Avenue
Howey-In-The-Hills, FL 34737

RE: Reserve at Howey-in-the-Hills
PUD Major Amendment PUD Ordinance 2004-322
CWI Job # 21-04-0008

Dear Town of Howey in the Hills,

Please find the following items attached for the Major Amendment to the PUD to modify the Boulevard Section through the residential area of the PUD:

- Completed Application
- Letter of Authorization from the owner to Lennar
- 2 copies PUD Plans and supporting Roadway Section Drawings
- Flashdrive with Digital Copies
- \$3,000.00 Fee

Please let me know if you need anything else to be scheduled on the September 22, 2022 Planning and Zoning agenda and the following Town Council Meeting on October 10, 2022 and October 24, 2022.

Sincerely,
Connelly & Wicker Inc.

Richard C. Welch, P.E.
Project Manager



TOWN OF HOWEY-IN-THE-HILLS, FLORIDA
GENERAL LAND DEVELOPMENT APPLICATION

101 N. Palm Avenue, Howey-in-the-Hills, Florida 34737

Phone: (352) 324-2290 • Fax: (352) 324-2126

Date Received:

Application ID:

Received By:

REQUESTED ACTION

- | | | |
|---|--|--|
| <input type="checkbox"/> Comp Plan Amendment | <input type="checkbox"/> Variance | <input type="checkbox"/> Site Plan (check one below) |
| <input checked="" type="checkbox"/> PUD | <input type="checkbox"/> Rezoning | <input type="checkbox"/> Preliminary |
| <input type="checkbox"/> Conditional Use | <input type="checkbox"/> Subdivision Minor | <input type="checkbox"/> Final |
| <input type="checkbox"/> Land Development Code Text | <input type="checkbox"/> Other | <input type="checkbox"/> Subdivision (check one below) |
| | | <input type="checkbox"/> Preliminary Subdivision |
| | | <input type="checkbox"/> Final Subdivision |
| | | <input type="checkbox"/> Final Plat |

Describe Request: PUD Major Amendment to Modify Boulevard Typical Section

APPLICANT INFORMATION:

Name: _____

E-Mail: _____

Address: _____

Phone: _____ Fax: _____

☐ Owner

☐ Agent for Owner

☐ Attorney for Owner

OWNER INFORMATION:

Name: HOWEY IN THE HILLS LTD

E-Mail: _____

Address: _____ C/O EASTON & ASSOC

Phone: 786-437-5806

_____ 10165 NW 19TH ST

Fax: _____

MIAMI FL 33172

PROPERTY INFORMATION:

Address: _____

General Location: SOUTH OF #2 ROAD, NORTH OF SR19Current Zoning: PUDCurrent Land Use: VMUParcel Size: 375.2 AC +/-Tax Parcel #: ATTACHEDLegal Description Attached ☒ Yes ☐ NoSurvey Attached ☒ Yes ☐ NoPre-Application Meeting Date: ATTACHED*(Attach Pre-Application Form)*Application Fee: \$ 3,000

Applicant's Signature: _____

*(Signature)**(Date)*Rob Bonin
(Print)

Owner's Signature: _____

*(Provide letter of
Authorization)**(Signature)**(Date)*_____
*(Print)***Applications must be complete to initiate the review process.**



HOWEY IN THE HILLS, LTD.
10165 NW 19th Street
Miami, Florida 33172
(786)437-5806
EWEaston@TheEastonGroup.com

April 14, 2021

TOWN OF HOWEY-IN-THE-HILLS
101 N. Palm Avenue
Howey-in-the-Hills, FL 34737

Re: Letter of Authorization

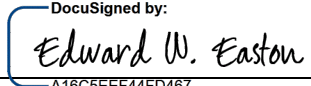
To Whom it may Concern:

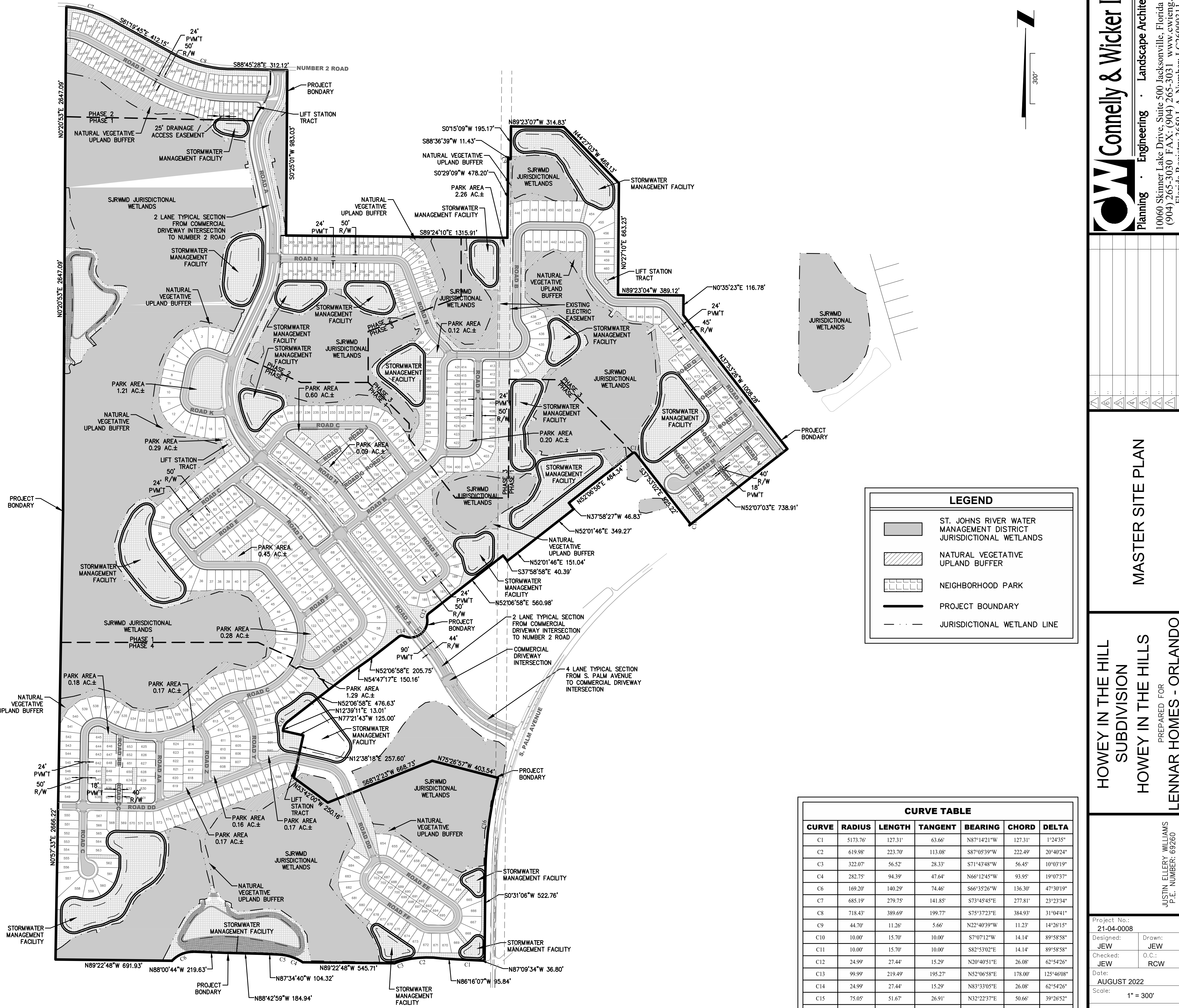
The purpose of this letter is to provide notice that Howey in the Hills LTD as owner of The Reserve at Howey in the Hills, hereby authorizes Lennar Homes, LLC. as the applicant for the attached Modification to PUD Ordinance 2004-322 and to act on our behalf in regard to amending the PUD and any related approvals.

If you have any question or concerns, please do not hesitate to contact me.

Respectfully,

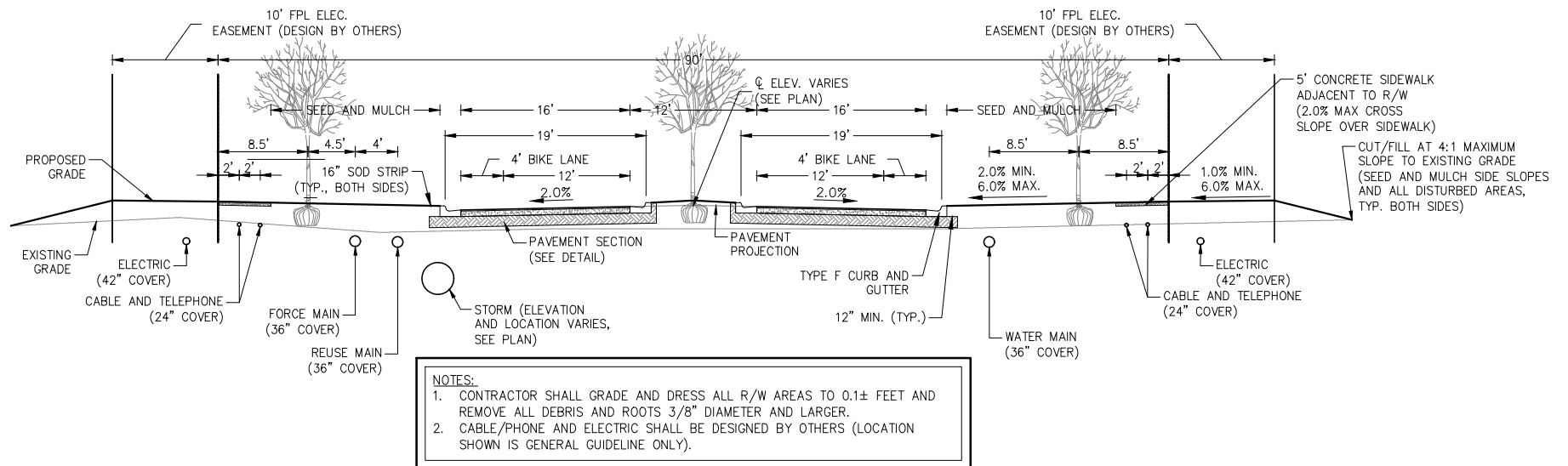
HOWEY IN THE HILLS, LTD.,
a Florida limited liability company

DocuSigned by:

By: _____
Print Name: Edward W. Easton

[illegible]

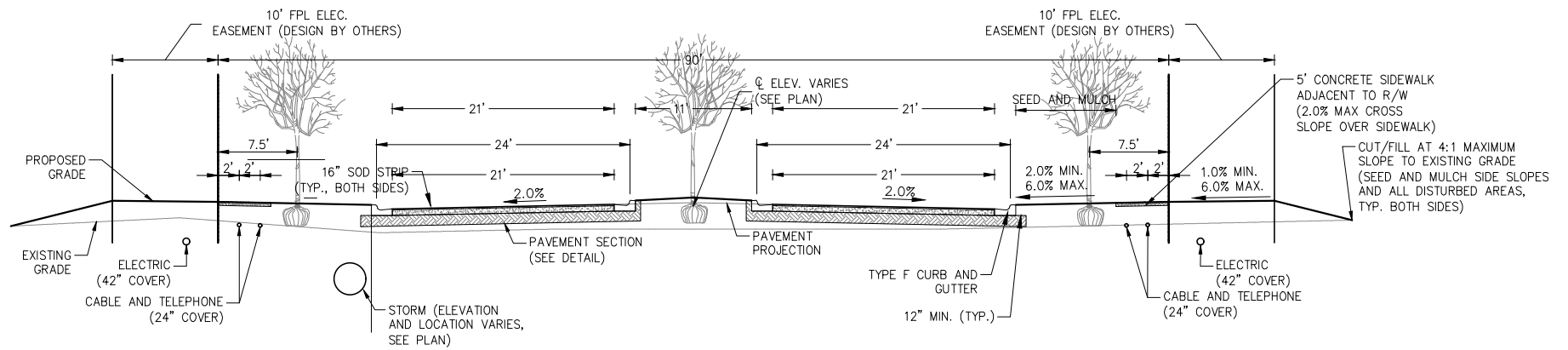
CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	BEARING	CHORD	DELTA
C1	5173.76	127.31	63.66	N87°14'21"W	127.31	1°24'35"
C2	619.98	223.70	113.08	S87°05'39"W	222.49	20°40'24"
C3	322.07	56.52	28.33	S71°43'48"W	56.45	10°03'19"
C4	283.75	94.39	47.64	N66°12'45"W	93.95	19°07'37"
C6	169.20	140.29	74.46	S66°35'26"W	136.30	47°30'19"
C7	685.19	279.75	141.87	S73°45'45"E	277.81	23°24'34"
C8	718.43	389.69	199.77	S75°37'32"E	384.93	31°04'41"
C9	44.70	11.26	5.66	N22°40'39"W	11.23	14°26'15"
C10	10.00	15.70	10.00	S7°07'12"W	14.14	89°58'58"
C11	10.00	15.70	10.00	S82°53'02"E	14.14	89°58'58"
C12	24.99	27.44	15.29	N20°40'51"E	26.08	62°54'26"
C13	99.99	219.49	195.27	N52°06'58"E	178.00	125°46'08"
C14	24.99	27.44	15.29	N83°33'05"E	26.08	62°54'26"
C15	75.05	51.67	26.91	N32°22'37"E	50.66	39°26'52"
C16	2341.83	570.53	286.68	N7°31'57"E	569.12	13°57'31"

Project No.: 21-04-0008	
Designed: JEW	Drawn: JEW
Checked: JEW	O.C.: RCW
Date: AUGUST 2022	
Scale: 1" = 300'	



TYPICAL ROADWAY CROSS SECTION FOR 90' RIGHT OF WAY

N.T.S.



NOTES:

1. CONTRACTOR SHALL GRADE AND DRESS ALL R/W AREAS TO 0.1± FEET AND REMOVE ALL DEBRIS AND ROOTS 3/8" DIAMETER AND LARGER.
2. CABLE/PHONE AND ELECTRIC SHALL BE DESIGNED BY OTHERS (LOCATION SHOWN IS GENERAL GUIDELINE ONLY).

**TYPICAL ROADWAY CROSS SECTION FOR 90' RIGHT OF WAY
(4 LANE SECTION)**

N.T.S.



TMHConsulting@cfl.rr.com
 97 N. Saint Andrews Dr.
 Ormond Beach, FL 32174
 PH: 386.316.8426

MEMORANDUM

TO: Howey-in-the-Hills Development Review Committee
CC: J. Brock, Town Clerk
FROM: Thomas Harowski, AICP, Planning Consultant
SUBJECT: Thompson Grove Application Package
DATE: August 31, 2022

The owners of the property on the south side of SR 19 opposite the Lake Hills project has applied for annexation of a small parcel into the Town and combined with other parcels, the applicants are seeking an amendment of the future land use plan and the adoption of a planned unit development agreement. The applicants prepared a conceptual development plan for the property and held a public information meeting with Town residents to discuss the proposed development. The meeting was held on August 29, 2022 and will likely lead to some revision to the concept development plan. Given the state of flux for the concept development plan, the following comments may be more limited with regard to the plan.

Annexation

Annexation can be done concurrently with the other actions. The process requires a petition for voluntary annexation which can be simply a letter from a property owner authorized to make the request and a boundary survey of the property with a legal description.

Comprehensive Plan Amendment

The comprehensive plan amendment needs to identify how the proposal is consistent with the goals, objectives, and policies of the comprehensive plan and how the proposed amendment is compatible with the comprehensive plan and the future land use map designations. The application package included some discussion on the compatibility issue, but additional detail should be provided.

- The designation of the Lake Hills PUD and the Mission Inn PUD predated the designation of the Thompson Grove tract as low density residential, so the Town was aware of these projects when the current land use designation was applied.
- While the proposed Medium Density Residential is the same land use designation applied to the neighborhoods to the south, the actual development density in

these neighborhoods is less than the maximum, and this factor should be considered in the discussion. It might be instructive to calculate the actual gross and net density in the neighborhood to the south to compare with the proposed project.

- The proposed commercial area is going to need some justification considering the large amount of undeveloped and unused commercially designated area already in Town. The Town has 535,000 square feet of authorized commercial use between Venezia South, Lake Hills, and The Reserve with 150,000 square feet of this total located directly across SR 19 from the subject property. These totals exclude the developed and vacant commercial area along Central Avenue.
- A concurrency analysis with some numerical detail should accompany the application. Timing for potable water is generally known, but timing for sewer is less certain and at least a pathway to service provision needs to be considered. We have some traffic studies that we can make available for review although none of them include the subject property in the analysis. The study done for Hilltop Groves/The Reserve is the most current and indicates where issues are beginning to arise. School concurrency also needs to be reviewed.
- The September 1, 2021 staff report that was included in the application package includes some policy citations regarding environmental factors that should be addressed. When a revised concept plan is developed, the plan should note how these policies were addressed.

Concept Plan Comments

The public information meeting yielded some information on neighborhood concerns that may be taken into consideration when the revised plan is prepared. Some general notes include:

- A second access is required for the project and the priority should be to provide the second access point on SR 19. Even a right-in right-out access would be sufficient.
- If a second access cannot be provided within FDOT rules, then an emergency only access from the south can be identified. (Even if two access point can be accommodated on SR 19, an emergency access from the south might still be advisable given that two access points on SR 19 could easily be affect by the same roadway conditions.)
- The updated plan should include a bike path facility that links SR 19 to Lakeshore Drive where it can connect to the existing pathway on the lake front.
- The plan could allow for pedestrian connections at other points along the south boundary if appropriate. In discussions at the August 25, 2022, Planning Board

meeting, residents from the neighborhood suggested that bicycle, pedestrian, and golf cart connections could be acceptable linkages along with emergency use vehicular access if necessary.

- Along with a revised concept, a draft planned unit development agreement needs to be prepared with the concept plan as an exhibit to the agreement.

GRIFFEY ENGINEERING, INC.

September 5, 2022

Thompson Grove – PUD Rezoning & Annexation

Engineering Review Comments

Page 1

1. The entrance needs to align with the project on the opposite side of SR 19 (Four Seasons).
2. The entrance to the development needs to be designed to provide internal access to the commercial tract.



CONSULTING. ENGINEERING. CONSTRUCTION.

THOMPSON GROVES PLANNED UNIT DEVELOPMENT (“PUD”) PROJECT REQUEST & NARRATIVE

August 26, 2022

PUD LOCATION & AERIAL:



PURPOSE AND INTENT:

The Thompson Groves Planned Unit Development (“PUD”) is proposed and intended to comply with all applicable provisions as contained within the Town of Howey-in-the-Hills Code of Ordinances, Ordinance 2011-009 (adopted February 27, 2012, as amended).

PROJECT REQUEST:

The Thompson Groves PUD (“PUD”) is seeking the following approvals from the Town of Howey-in-the Hills:

- Annexation (small northern tract 10.7 acres)
- Future Land Use Plan Map Amendment to Medium Density Residential (entire 85.4 acres)
- Rezoning to PUD (entire 85.4 acres)

CONCURRENCY:

Pursuant to Chapter 10 of the Land Development Code (“LDC”), the PUD will demonstrate compliance with the following concurrency categories:

- A. Potable water.
- B. Sanitary sewer
- C. Transportation
- D. Solid Waste Disposal
- E. Stormwater Management
- F. Parks

This determination will be made upon further discussion with the Town with respect to the proposed PUD’s product type, size and location of all proposed land uses.

COMPREHENSIVE PLAN AMENDMENTS:

The applicant submits that the following presumptions are correct which justify the FLUPM amendment and further the Goals, Objectives and Policies:

There is a basis for the proposed amendment for the subject site as noted:

- Changes in FLUPM designations on adjacent properties or properties in the immediate area and associated impacts demand the change for consistency which demonstrate a natural pattern of managed growth and development.
- Changes in the characteristics of the general area and associated impacts on the subject site as a redevelopment site are essential to expand the Town’s ad-valorem tax base.
- New infill plans require the FLUPM amendment.
- Inappropriateness of the adopted FLUPM designation within the existing character of the Town and it’s redevelopment and controlled growth efforts.
- Perhaps the adopted FLUPM designation was assigned in error and did not reflect the real project density of the infill needs to carry the density north and forward.
- The proposed use is suitable and appropriate for the subject site

REZONING TO PLANNED UNIT DEVELOPMENT (“PUD”)

The Thompson Groves PUD will strive to adhere to the following PUD standards:

- To allow for diverse uses in close proximity and more open space, when available.
- To reduce energy costs through a more efficient use of land design and smaller network of utilities and streets than is typically possible in conventional zoning districts.
- To preserve the natural amenities and environmental assets of the land by allowing for clustering of development.
- To increase the amount of useable open space areas by permitting a more economical and concentrated use of building areas than would be possible through conventional zoning districts.
- To provide maximum opportunity for application of innovative concepts of site planning in the creation of aesthetically pleasing living, shopping, and working environments on properties of adequate size, shape, and location.
- To provide a flexible zoning district which is intended to encourage an appropriate balance between the intensity of development and the preservation of open space.

REZONING STANDARDS:

The PUD application responds to the following standards noted below:

- Is the rezoning request consistent with the Town’s comprehensive plan?

Yes. Based upon the requested applications, the PUD will be consistent and in compliance with the Town’s Goals, Objectives and Policies of the Comprehensive Plan.

- Describe any changes in circumstances of conditions affecting the property and the surrounding area that support a change in the current zoning.

The Town’s PUD standards allow for greater design thought than the basic zoning district. This site demonstrates an orderly and logical growth pattern within the town.

- Will the proposed rezoning have any negative effects on adjacent properties?

No. The PUD will be designed in manner and character which will provide a value-added community to the town.

- Will the proposed rezoning have any impacts upon natural resources?

No. A full environmental assessment will be performed. The site was a former citrus grove so environmental concerns will be mitigated should any exist.

- Will the proposed rezoning have any impacts upon adjacent properties?

No. The PUD designation with the surrounding land uses and character of the town.

- Will the rezoning create any impacts on services including schools, transportation, utilities, stormwater management and solid waste disposal?

No. All applicable concurrency categories will be consistent, in compliance and in balance.

- Are there any mistakes in the assignment of the current zoning classification?

Yes. The pattern of growth and development on surrounding uses dictates the PUD designation.

GENERAL DEVELOPMENT STANDARDS:

- **Density and intensity:**

The PUD will not exceed the density and intensity limits for the Future Land Use designation of the property as set forth in the Future Land Use Element of the Comprehensive Plan.

- **Buffers:**

The PUD will provide landscaped separation strip along all property lines abutting a residential use or zone or as needed by the PUD.

- **Recreation:**

The PUD will provide internal recreation and amenity areas per the applicable code requirements.

- **Design:**

The PUD designs the residential units to be located away from busy roadways or are shielded from traffic noise by solid fencing and landscaping.

- **Resident Safety:**
The PUD design and site layout and landscaping provides for the safety and privacy of residents.
- **Resident Outdoor Space:**
The PUD is located conveniently for the use of residents and provides facilities for their enjoyment.
- **Circulation:**
The PUD s easily accessible to vehicles, bicycles, and pedestrians.
- **Unified Concept:**
The PUD is designed as one (1) concept and is not isolated from the surrounding community but is an integral part of the community.

THOMPSON GROVES PUD SUMMARY AND DEMONSTRATED COMPLIANCE:

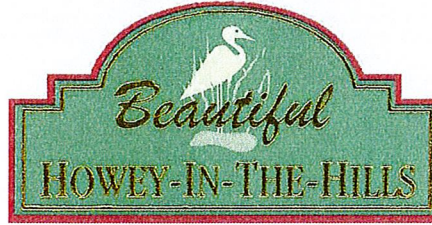
In summary, the PUD project offers the following:

- The PUD will be consistent with, and in compliance with, the Town's Comprehensive Land Use Plan.
- The PUD meets the purpose and intend of the PUD requirements and standards.
- The PUD promotes and protects the public's health, safety and welfare.
- The PUD provides a value-added project to the town.
- The PUD meets a housing need and demand.
- The PUD increases the town's ad valorem tax base.
- The PUD provides a high-quality residential project.
- The PUD preserves and highlights the natural features of the property.
- The PUD proposes a coherent network of streets and paths connected to internally and to the surrounding roadways.
- The PUD establishes identifiable neighborhoods and provides a basis for varied landscaping and amenities.
- The PUD provides for an identity and privacy for future residents but does not create a development that is isolated from the surrounding community.

Page 6

Therefore, based upon the foregoing data and analysis, the PUD is justified and can be approved.

Thompson Groves PUD



TOWN OF HOWEY-IN-THE-HILLS, FLORIDA
GENERAL LAND DEVELOPMENT APPLICATION

101 N. Palm Avenue, Howey-in-the-Hills, Florida 34737

Phone: (352) 324-2290 • Fax: (352) 324-2126

Date Received: _____ Application ID: _____ Received By: _____

REQUESTED ACTION

- | | | | |
|--|--|--|--|
| <input checked="" type="checkbox"/> Comp Plan Amend | <input type="checkbox"/> Variance | <input type="checkbox"/> Site Plan | <input checked="" type="checkbox"/> PUD |
| <input checked="" type="checkbox"/> Rezoning | <input type="checkbox"/> Conditional Use | <input type="checkbox"/> Subdivision Major | <input type="checkbox"/> Subdivision Minor |
| <input checked="" type="checkbox"/> Other: <u>Annexation</u> | | | |

Describe Request: Annexation, FLUPMA & Rezoning to PUD for Thompson Groves

APPLICANT INFORMATION:

Name: Charles Millar, Atwell E-Mail: cmillar@atwell-group.com

Address: 11770 US 1 Suite 308 East Phone: 772-486-1977

PBG, FL 33408 Fax: N/A

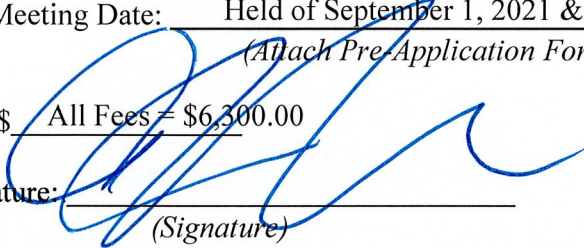
☐ Owner ☒ Agent for Owner ☐ Attorney for Owner

OWNER INFORMATION:

Name: Thompson Family, et al. E-Mail: See Agent

Address: 31217 Overbrook Street Phone: See Agent

Mount Plymouth, FL 32776 Fax: N/A

PROPERTY INFORMATION:Address: See Attached Survey - No Specific Street AddressGeneral Location: CR-48 & SR-19Current Zoning: SFR Current Land Use: LRDParcel Size: +/- 85.4 acres Tax Parcel #: See AttachedLegal Description Attached ☒ Yes ☐ No Survey Attached ☒ Yes ☐ NoPre-Application Meeting Date: Held of September 1, 2021 & Attached
(Attach Pre-Application Form)Application Fee: \$ All Fees = \$6,300.00Applicant's Signature:  August 26, 2022
(Signature) (Date)Charles Millar
(Print)Owner's Signature: See Owner Authorization & Consent _____
(Provide letter of (Signature) (Date)
Authorization)_____
(Print)**Applications must be complete to initiate the review process.**



Comprehensive Plan Amendment Application



Please complete the application to the best of your knowledge, and submit the completed form and any required materials to the Town of Howey-in-the-Hills, 103 N. Palm Avenue, Howey-in-the-Hills, FL 34737

REQUESTED ACTION: SMALL SCALE FUTURE LAND USE MAP AMENDMENT: _____
 LARGE SCALE FUTURE LAND USE MAP AMENDMENT: X
 TEXT AMENDMENT: _____

REQUESTED FUTURE LAND USE DESIGNATION: Medium Density Residential

SUPPORTING STATEMENT: (Describe reason for requested amendment. For land use map amendment, please compare the proposed land use with the current land use. Attach separate sheet if necessary.)

See Attached.

PROPERTY INFORMATION:

SHORT PARCEL ID (12 DIGITS): Three (3) Parcels 0 Alternate Key: 1209081, 1301912 & 3692756

ADDRESS OF PROPERTY: Porto Fino Dr., N. Tangerine Ave., & N. Hamlin Ave. (See Attached Parcel Numbers)

CROSS STREETS: CR-48 & SR-19 AND CR-48 & SR-19

SIZE OF EXISTING PARCEL: +/- 85.4 Acres SQ. FT./ACRES (circle one)

LEGAL DESCRIPTION (attach separate sheet if necessary): See Attached Survey

ZONING: SFR CURRENT FUTURE LAND USE: LDR

SURROUNDING LAND USE & ZONING DESIGNATIONS:

	LAND USE	ZONING
NORTH	Village Mixed Use - Lake Co.	PUD - Lake Co.
SOUTH	Medium Density Residential	MDR-1
EAST	Water Body	Water Body
WEST	Village Mixed Use	PUD

U:\P\Application\CPA app

APPLICANT/AGENT:	
NAME:	Charles Millar
COMPANY:	Atwell
ADDRESS:	11770 US 1 Suite 308 East
CITY, STATE, ZIP:	PBG, FL 33408
TELEPHONE:	772-486-1977
FAX:	N/A
EMAIL:	cmillar@atwell-group.com

OWNER (if different from applicant)	
NAME:	Thompson Family, et al.
COMPANY:	Thompson Family, et al.
ADDRESS:	31217 Overbrook Street
CITY, STATE, ZIP:	Mount Plymouth, FL 32776
TELEPHONE:	See Agent
FAX:	
EMAIL:	See Agent

SIGNATURE OF APPLICANT: 

SIGNATURE OF OWNER (if different): See Agent / Owner Authorization / Consent

*Please attach a notarized Authorization of Owner and/or notarized Power of Attorney, if applicant is different from owner.

*If owner of the property is a corporation or company, a corporate resolution must be submitted with the application. An original resolution currently on file in the Planning Dept. that is less than one year old may be used. The resolution must state the name of the person(s) who have been resolved by the company as having authority to execute documents on behalf of the company. It must 1) be current; 2) state a termination date; 3) be signed and certified by the secretary; 4) be embossed with the corporate seal; and 5) be an original document.

*For every person doing business under a fictitious name, an Affidavit of Publication must be submitted.

THE FOLLOWING MUST BE SUBMITTED AT THE TIME OF APPLICATION:

☒ One (1) current (no older than 2 years) signed and sealed survey of the subject property, including total acreage of the land use change

☒ Legal Description of the subject property (Word format)

☒ Vicinity Map

In Process Traffic Impact Analysis, per section 8.02.10

In Process For residential projects, verification from the Lake County School Board of submittal of the "School Planning and Concurrency Application" (Application available from Lake County School Board web site under Growth Planning.)

In Process Environmental Impact Analysis, per section 4.02.06J

☒ Authorization of owner, power of attorney, and/or affidavit of publication, if required (see above section)

U\P\Application\CPA app

\$6,300.00 Application deposit made payable to: Town of Howey-in-the-Hills in the amount directed by the Town Clerk

Staff Use Only

Complete Application Received By & Date: _____

Incomplete Application Received By & Date: _____

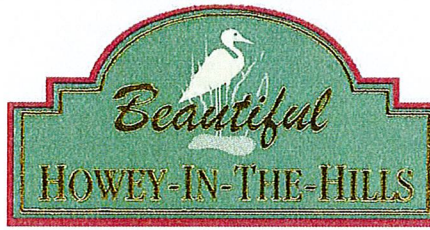
Missing Items: _____

Scheduled Application Closing Date: _____

Scheduled Planning Board Meeting Date: _____

Scheduled City Commission Meeting Date: _____

Payment Received: Check Amount: \$ _____ **Date Paid:** _____



TOWN OF HOWEY-IN-THE-HILLS, FLORIDA

PETITION FOR REZONING CHECKLIST AND REQUIREMENTS

VARIANCE APPLICATION CHECKLIST

- ☒ General Land Development Application
- ☒ Application Fee and Estimated Deposit
- ☐ Description of Requested Zoning Amendment
- ☐ List of property owners within 300 feet
- ☒ One signed and sealed survey of the property (no more than 2 years old).
- ☒ Legal Description
- ☒ Notarized Authorization of Owner (if applicant is other than owner or attorney for owner).

PUBLIC NOTIFICATION (Sec. 4.13.03)

The applicant shall provide written notice to property owners within 300 feet regarding his intention to seek a rezoning. Notice shall be sent by certified mail no later than ten (10) days prior to the scheduled meeting and shall include the date, time and place of the public hearing and a description of the proposed rezoning. A notice letter will be provided to the applicant by the Town.

In addition to written notice Town staff shall also post a notice on the subject property ten days prior to the public hearing and publish a notice of the hearing in a newspaper of general circulation at least ten (10) days prior to the public hearing.

REZONING HEARING PROCESS

The Planning and Zoning Board shall review the application for rezoning at its next available meeting following receipt of a completed application. The Planning and Zoning Board shall make a recommendation to the Town Council as to whether to approve, approve with changes or deny the rezoning. Upon receipt of the recommendation from the Planning and Zoning Board, the Town Council shall schedule a public hearing on the rezoning application and shall approve, approve with changes or deny the rezoning.

REZONING REQUEST

The applicant is seeking a rezoning of the property described in the attached legal description as follows:

Proposed Zoning:	SFR
Requested Zoning:	PUD
Zoning on Adjacent Parcels:	North: PUD & Lake Co.
	East: Water Body
	South: MDR-1
	West: PUD
Parcel Size:	+/- 85.4 Acres

REZONING REQUIREMENTS

The following items must be completed in sufficient detail to allow the Town to determine if the application complies with the criteria for approving a rezoning. Attach any supplemental information that can assist in understanding the rezoning request.

See Attached.

1. Is the rezoning request consistent with the Town's comprehensive plan?
2. Describe any changes in circumstances of conditions affecting the property and the surrounding area that support a change in the current zoning.
3. Will the proposed rezoning have any negative effects on adjacent properties?
4. Will the proposed rezoning have any impacts upon natural resources?
5. Will the proposed rezoning have any impacts upon adjacent properties?
6. Will the rezoning create any impacts on services including schools, transportation, utilities, stormwater management and solid waste disposal?
7. Are there any mistakes in the assignment of the current zoning classification?

Charles Millar

Print Applicant Name

Applicant Signature

August 26, 2022

Date



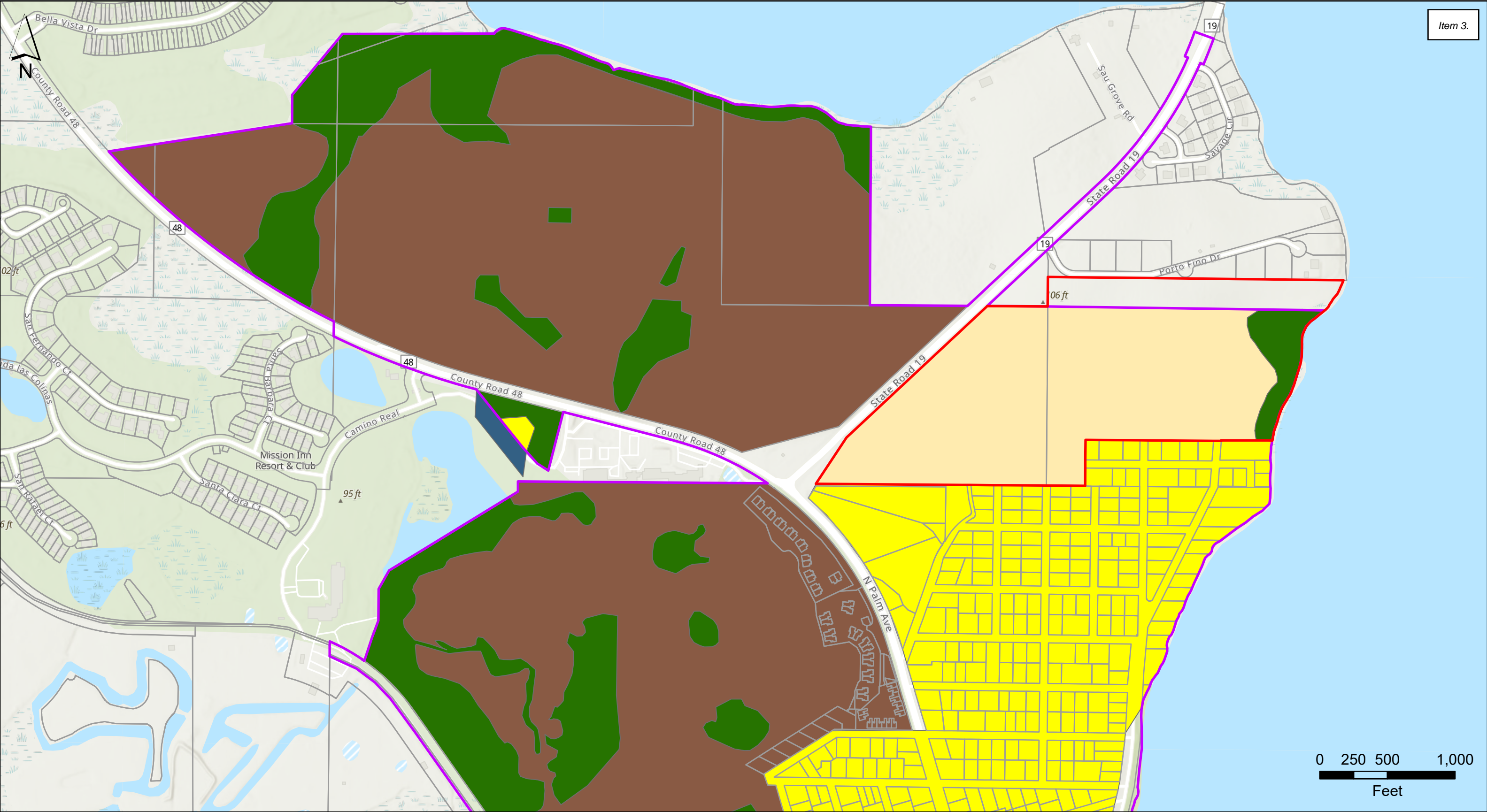
- ▬ Project Boundary
- ▬ City Limits
- Parcels

Thompson Grove Site Aerial

Lake County, FL



The information contained on this map is proprietary and confidential. The use or disclosure of this information by you to third parties is prohibited by law and may give rise to civil or criminal liability.



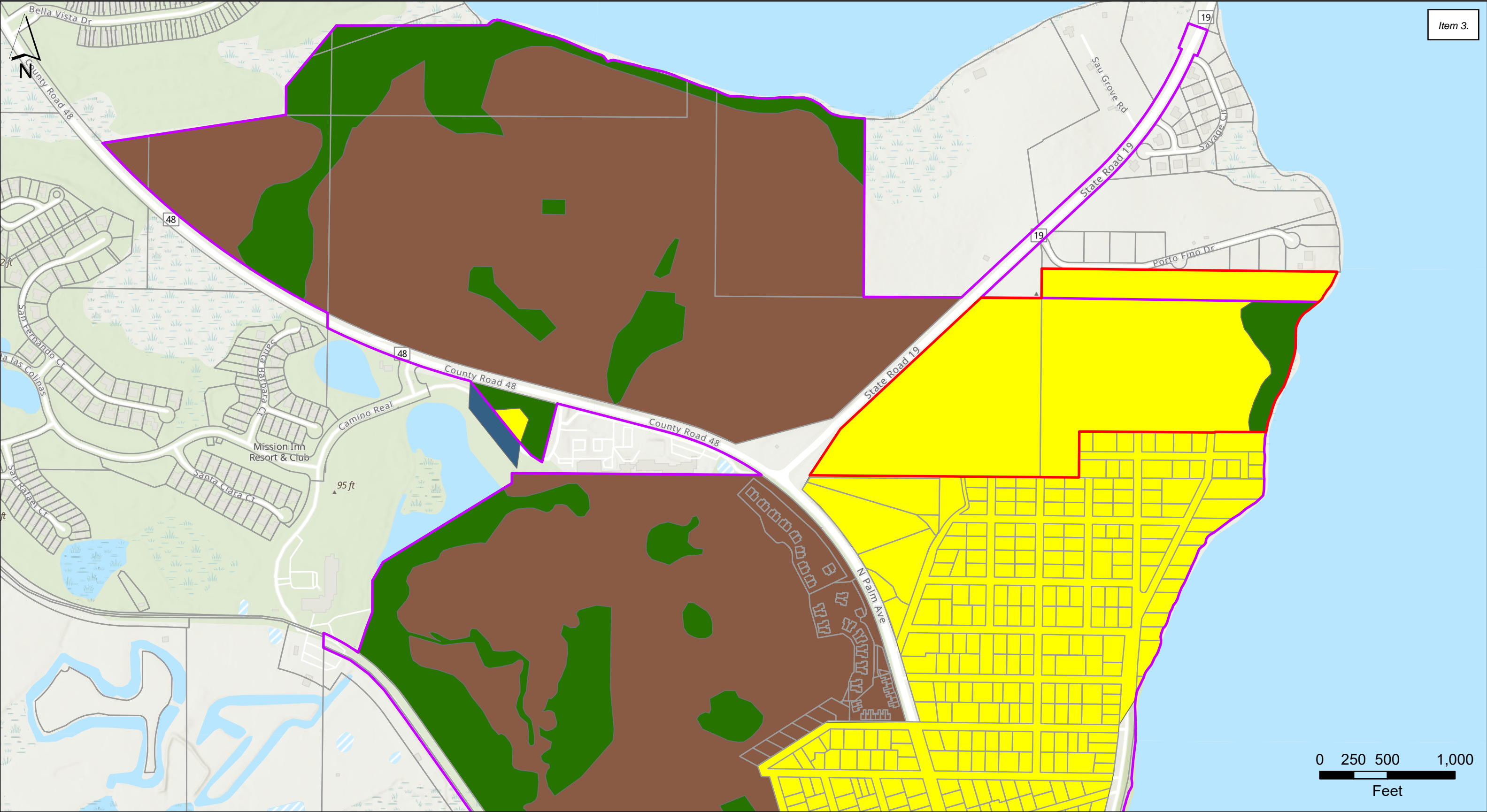
Thompson Grove Site
Howey-in-the-Hills Existing
Future Land Use
Lake County, FL

Future Land Use

- Conservation
- Low Density Residential
- Medium Density Residential
- Public/Utility
- Village Mixed Use
- Project Boundary
- City Limits



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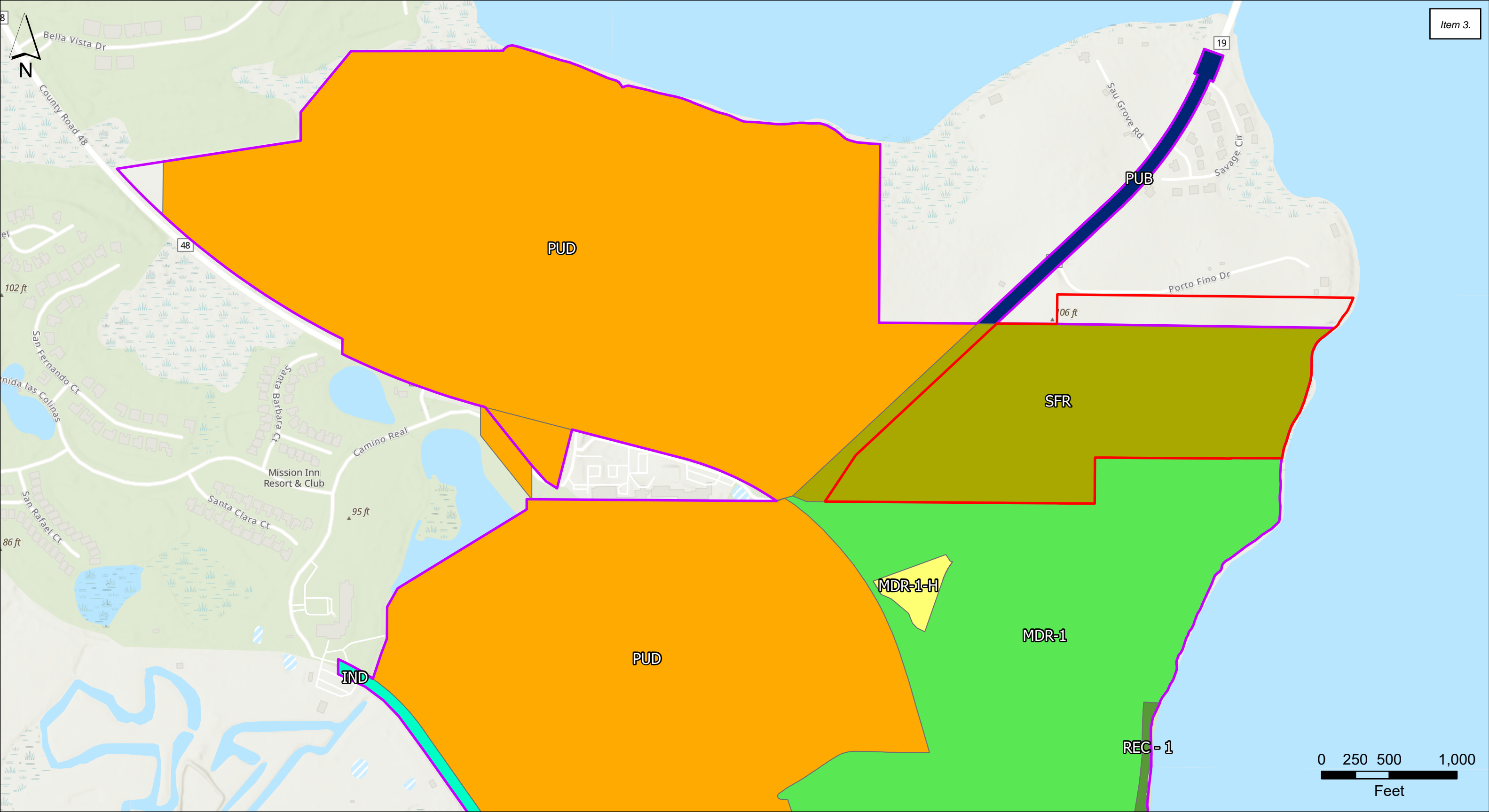


- Future Land Use
- Conservation
 - Low Density Residential
 - Medium Density Residential
 - Public/Utility
 - Village Mixed Use
 - Project Boundary
 - City Limits

Thompson Grove Site
Howey-in-the-Hills Proposed
Future Land Use
Lake County, FL

**ATWELL**

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Zoning

- IND
- MDR-1
- MDR-1-H
- PUB
- PUD
- REC - 1
- SFR


Project Boundary

City Limits

Thompson Grove Site

Howey-in-the-Hills Existing Zoning Ordinance

Lake County, FL

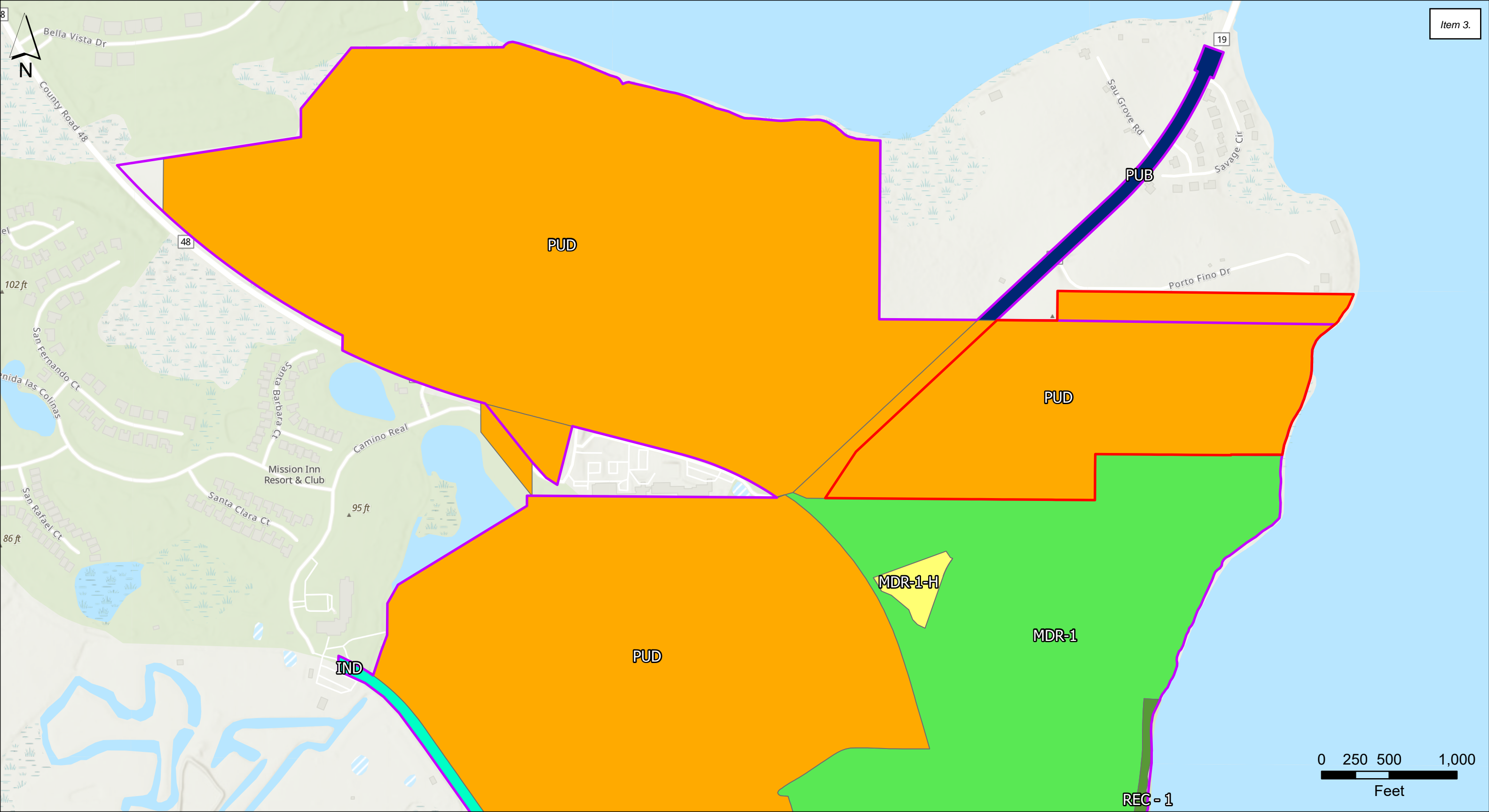


ATWELL

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Issue Date: 8/23/2022 Atwell, LLC Project: 22001110



Zoning


- IND
- MDR-1
- MDR-1-H
- PUB
- PUD
- REC - 1

Project Boundary

City Limits

Thompson Grove Site Howey-in-the-Hills Proposed Zoning Ordinance

Lake County, FL



ATWELL

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Issue Date: 8/23/2022 Atwell, LLC Project: 22001110



TMHConsulting@cfl.rr.com
 97 N. Saint Andrews Dr.
 Ormond Beach, FL 32174
 PH: 386.316.8426

MEMORANDUM

TO: Howey-in-the-Hills Development Review Committee
CC: J. Brock, Town Clerk; S. O'Keefe, Town Administrator
FROM: Thomas Harowski, AICP, Planning Consultant
SUBJECT: Thompson Grove Concept Plan
DATE: September 1, 2021

Thompson Grove is concept design for a single-family residential project located off SR 19 just east of the intersection with CR 48. The project concept includes 252 single-family housing units with lot sizes of 60 x 110 and 50 x 110; a ten-acre commercial area; an amenity area (use undefined) and a conservation area of 6.53 acres based on existing wetlands and flood prone area. The project site consists of three parcels (3692756, 1301912, and 1299081), one of which is not currently in the Town limits. The applicant is requesting a pre-application meeting to review the concept plan and identify steps needed to proceed toward development of the site.

Comprehensive Plan Considerations

The comprehensive plan designates the parcel as low density residential on the future land use map. Policy 1.1.1 of the Future Land Use Element identifies the maximum allowable density as two units per acre. Based on the maximum allowable density the site will support 163 units. Density is calculated based on the net land area (Policy 1.1.4) which excludes wetlands and water bodies for the density calculation. Therefore, 88 acres less 6.53 acres of wetland times two units per acre yields a maximum unit total of 163 units.

The site contains no area designated for commercial use on the future land use map, so the proposed commercial area will require an amendment to the future land use map and the assignment of an appropriate zoning classification.

The presence of wetlands on the site along with frontage on Little Lake Harris will activate several policies of the Future Land use Element including:

- Policy 1.3.2 regarding wetland buffers
- Policy 1.3.3 regarding the 100-year flood plain treatment
- Policy 1.3.4 regarding mitigation of flood plain impacts
- Policy 1.3.6 regarding lake shore protection.

Future Land Use Element Policy 1.11.6 requires that new development follow the existing grid system where possible. The conceptual layout does this in part, but the street extensions should include Temple, Lakeshore and Mission as well as the connections at Hamlin and Tangerine as shown.

Zoning Considerations

The property is zoned Single Family Residential (SFR) which has a one-half acre minimum lot size with minimum lot width of 100 feet and minimum lot depth of 150 feet. Any lot sizes other than those allowed by the SFR District will require a rezoning. The only option for rezoning other than SFR that is consistent with the comprehensive plan is for a planned unit development.

The minimum required floor area is 1,800 square feet plus a required two-car garage with a minimum of 400 square feet. These dimensions are similar to the minimum standards for the Medium Density Residential 1 district which abuts the property along the south side. MDR-1 lot minimum are 15,000 square feet with a minimum lot width of 100 feet and minimum lot depth of 120 feet. If a rezoning is pursued, consideration should be given to matching the MDR-1 lots at least along the south perimeter of the project.

Other Comments and Considerations

1. The single access point from SR 19 is appropriate for the project, but the location of the access point needs to be coordinated with the access point for the Lake Hills development on the north side of SR 19.
2. A traffic study will be required to verify the system has capacity to support the proposed development. The traffic study should also look at the operational needs for the design of the access point.
3. A full concurrency analysis will be required with a subdivision submittal, including school concurrency. The applicant should contact the Lake County School Board for application information.
4. If the commercial parcel is pursued, the traffic study will need to include an analysis of the commercial property impacts and an analysis of the access needs for the commercial parcel. Please note that the Lake Hills development includes a substantial area for commercial development that is approved under their development agreement.
5. The project will require extensions of water and sewer service. These extensions also need to be coordinated with the Lake Hills project design and the Town's ongoing efforts to upgrade the north water treatment plant and extend sewer service.

6. Sewer treatment capacity is currently provided by the Central Lake Community Development District, and they will need to be consulted regarding current capacity availability. The sewer collection system is managed by the Town.
7. The parcel in the unincorporated area will need to be annexed and assigned a future land use designation by the Town's comprehensive plan. Zoning will also need to be assigned.
8. The land development code requires a wall and landscaping along the SR-19 frontage. Lakes have an alternate treatment option.

Development Review Procedures

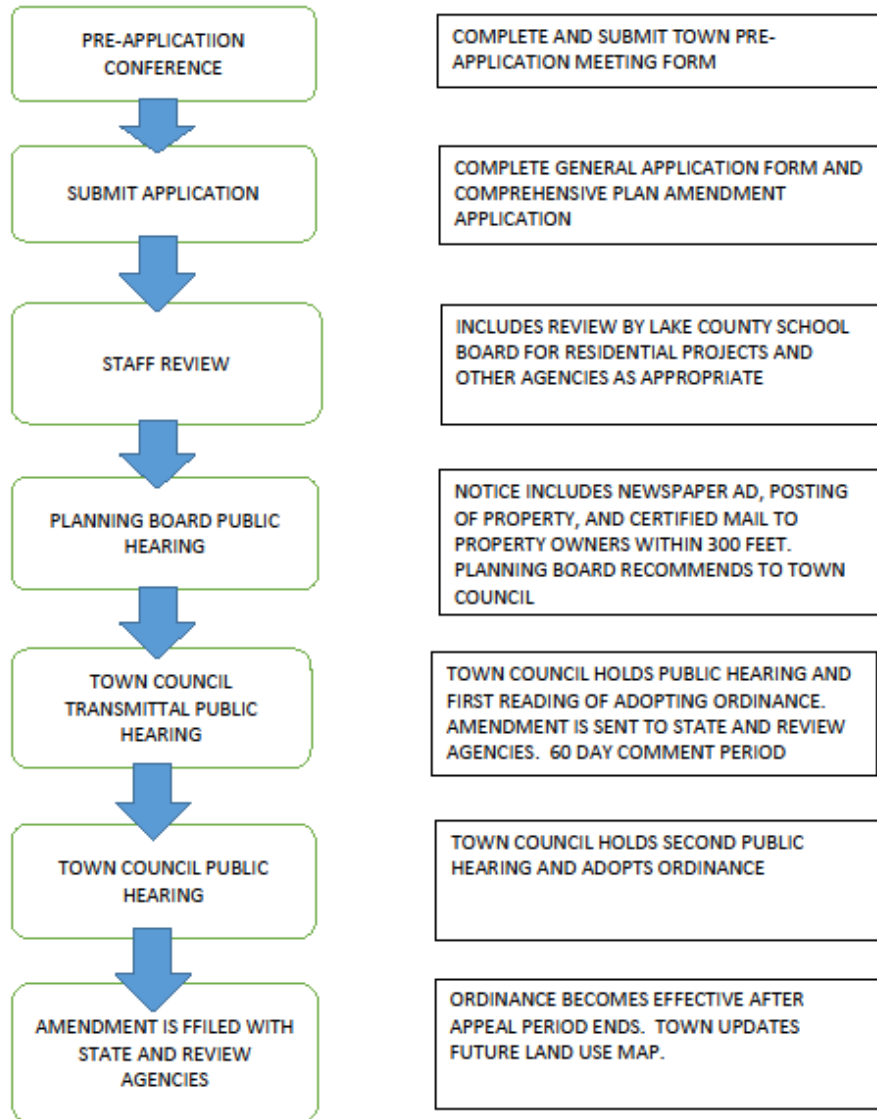
If the applicant desires to pursue the proposed commercial development and/or increase the allowable project density and unit totals, an amendment to the future land use map is required. The process for amending the comprehensive plan is laid out in Section 4.02.00 of the land development code.

If the applicant decides to seek a rezoning to planned unit development using the current land use designation and density, the procedure for rezoning is set out in Section 4.15.00 of the land development code.

Once the land use and zoning issues are resolved, the subdivision process is a three step process which includes a preliminary subdivision plan, and final subdivision plan and a final plat. Approval of a final subdivision plan is typically the point where construction of subdivision improvements is permitted. All of these procedures are set out in Chapter 4 of the land development code.

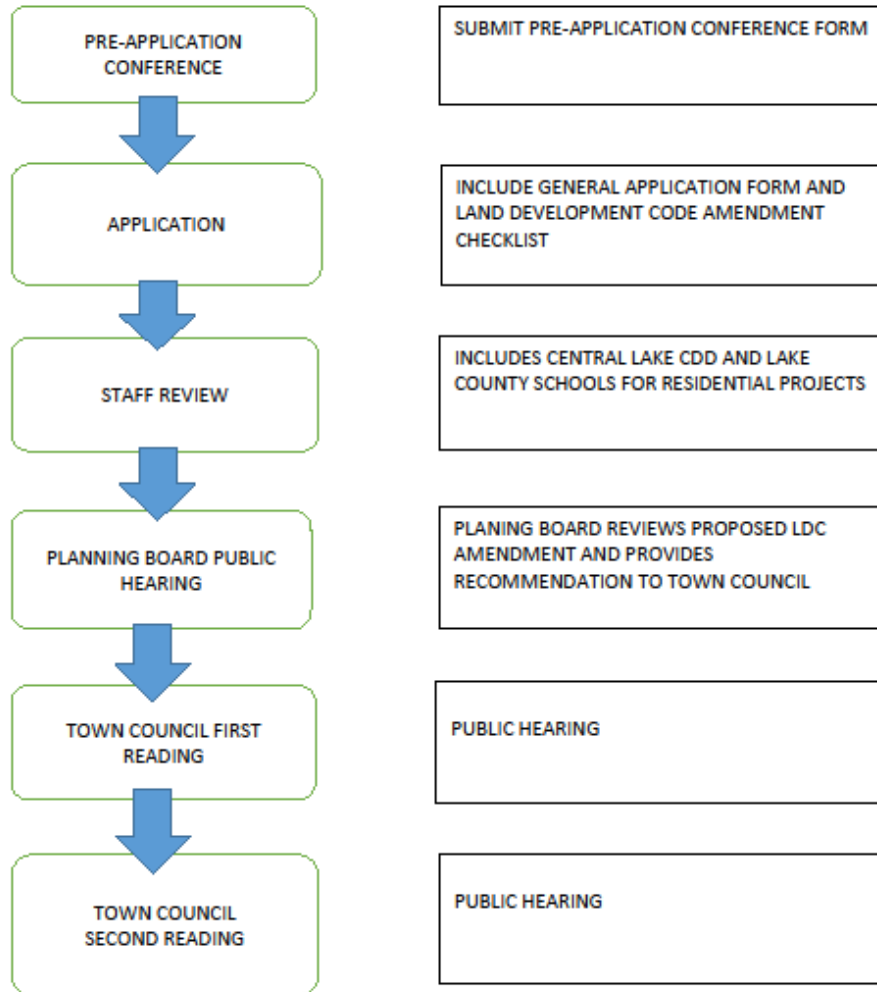


TOWN OF HOWEY-IN-THE-HILLS COMPREHENSIVE PLAN AMENDMENT





TOWN OF HOWEY-IN-THE-HILLS LAND DEVELOPMENT CODE AMENDMENT REVIEW PROCESS



THAT PART OF GOVERNMENT LOTS 8 AND 9, SECTION 23, TOWNSHIP 20 SOUTH, RANGE 25 EAST, LAKE COUNTY, FLORIDA, LYING SOUTHEAST OF STATE ROAD 19.

THAT PART OF THE FOLLOWING DESCRIBED LAND LYING IN GOVERNMENT LOTS 2 AND 3, SECTION 24, TOWNSHIP 20 SOUTH, RANGE 25 EAST, LAKE COUNTY, FLORIDA, BEGIN AT THE SOUTHWEST CORNER OF THE SECTION, RUN NORTH 1,543 FEET, EAST TO THE LAKE; BEGIN AGAIN AS BEFORE, RUN EAST 288 FEET NORTH 340 FEET, EAST TO THE LAKE, NORTHEASTERLY ALONG THE LAKE TO INTERSECT THE FIRST LINE.

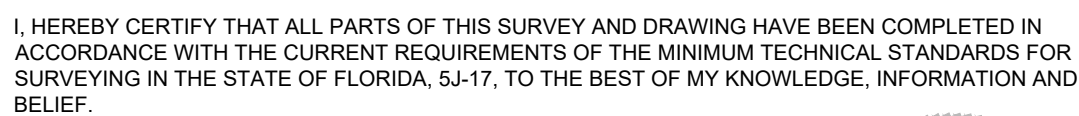
1. WARRANTY DEED DATED JUNE 15, 2006, RECORDED IN OFFICIAL RECORDS BOOK 3193, PAGE 1330 OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.
2. FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY MAP SECTION NO. 1108-01, DATED 05/27/1949.
3. PLAT OF PICO SIERRA, RECORDED IN PLAT BOOK 11, PAGE 32 OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.
4. PLAT OF GREENVIEW VILLAGE, RECORDED IN PLAT BOOK 12, PAGE 27 OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.
5. PLAT OF VISTA DEL LAGO SUBDIVISION, RECORDED IN PLAT BOOK 22, PAGE 1 OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.
6. PLAT OF HOWEY INLET, RECORDED IN PLAT BOOK 52, PAGE 84 OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.
7. PLAT OF PORTO FINO BAY, RECORDED IN PLAT BOOK 60, PAGE 16 OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.
8. ALTAINPS LAND TITLE SURVEY PREPARED BY GEOPPOINT SURVEYING, INC., DATED 03/21/2022.

1. THIS BOUNDARY & TOPOGRAPHIC SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS, OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSONS OR PERSONS OR ENTITY WHO DO NOT EXPRESS WRITTEN CERTIFICATION BY THE SURVEYOR NAMING SAID PERSON, PERSONS, OR ENTITY.
2. BEARINGS SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983 (2011 ADJUSTMENT), DERIVING A BEARING OF 58°33'50" ALONG THE SOUTH LINE OF SECTION 23, TOWNSHIP 20 SOUTH, RANGE 25 EAST.
3. THE PROPERTY SHOWN AND DESCRIBED HEREIN HAS AN AREA OF 3,831,177 SQUARE FEET OR 87.952 ACRES, MORE OR LESS.
4. THE PROPERTY IS DESIGNATED BY LAKE COUNTY AS TAX MAP PARCEL ID NUMBER 23-25-0004-0000-0000, 24-25-0003-0000-0000 AND 24-25-0003-0000-0001, OTHER THAN 23-25-0004-0000-0000. ALL OTHER PROPERTIES ARE INCLUDED WITHIN SAID TAX MAP PARCELS.
5. NORTH ARROW, BEARINGS, AND HORIZONTAL ACCURACY ESTABLISHED BY GLOBAL NAVIGATION SATELLITE SYSTEM RTK OBSERVATIONS USING A FLORIDA PERMANENT REFERENCE NETWORK SINGLE BASE LINE SOLUTION, COMBINED WITH A TRIMBLE VRS NOW REAL TIME NETWORK SOLUTION, AND AVERAGED FOR REDUNDANCY.
6. ELEVATIONS SHOWN HEREON ARE PERTAIN TO THE ABOVE HORIZONTAL VERTICAL DATUM OF 1988. THE COMBINED NETWORK SOLUTION OBSERVATIONS OBTAINED WERE CHECKED AGAINST AND CONFORMS SUBSTANTIALLY TO THE NATIONAL NGSB BENCHMARK C-431 PUBLISHED ELEVATION OF 132.59'.
7. WATER MAIN, STORM SEWER, SANITARY SEWER AND FRANCHISE UTILITY STRUCTURES HAVE BEEN FIELD LOCATED WHERE VISIBLE. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED.
8. NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES WERE MADE AVAILABLE TO THE SURVEYOR. THE CONTROLLING JURISDICTION NOR WAS ANY EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
9. THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR ADDITIONS ON THE SUBJECT PROPERTY OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
10. THE PROPERTY HAS ACCESS VIA STATE ROAD 19, WHICH IS A PUBLIC RIGHT-OF-WAY.
11. EQUIPMENT USED FOR MEASUREMENT:
ANGULAR: TRIMBLE 12152S ROBOTIC TOTAL STATION
LINEAR: TRIMBLE 11025S ROBOTIC TOTAL STATION
GPS: TRIMBLE I2 GPS RECEIVER
12. STATE, COUNTY, & LOCAL BUFFERS AND SETBACKS MIGHT EXIST ON THE SUBJECT PROPERTY THAT ARE NOT SHOWN HEREON.

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES IN ZONES "X" AND "AE" OF THE FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NO. 12069C0485E, WHICH BEARS AN EFFECTIVE DATE OF 12/17/2012.

	CALCULATED POINT
	BENCHMARK
	FOUND BOUNDARY MARKER
	5/8" IRON ROD & CAP SET, LB 7
	FOUND CONCRETE MONUMENT
	UTILITY POLE
	SIGN
	REFLECTOR
	BACKFLOW PREVENTER
	SPRINKLER HEAD
	SPOT ELEVATION
	BUILDING STRUCTURE
	STRUCTURE OVERHANG
	CONCRETE
	ASPHALT PAVEMENT
	DIRT
	WETLAND
	SUBJECT BOUNDARY LINE
	ADJACENT BOUNDARY LINE
	RIGHT OF WAY LINE
	SECTION LINE
	RIGHT OF WAY CENTER LINE
	FENCE
	GUARD RAIL
	EDGE OF WATER
	FLOODPLAIN DELINEATION
	GROUND CONTOUR

BC	=	BENCHMARK
CMR	=	CERTIFIED CORNER RECORD
CMF	=	CONCRETE MONUMENT FOUND
CMG	=	CORRODED METAL PIPE
FDOT	=	FLORIDA DEPARTMENT OF TRANSPORTATION
IRCF	=	IRON ROD & CAP FOUND
INV	=	INVERT
LB	=	LICENSED BUSINESS
LS	=	LICENSED SURVEYOR
M	=	MEASURED
NAD	=	NORTH AMERICAN DATUM
NAVDO	=	NORTH AMERICAN VERTICAL DATUM
ORB	=	OFFICIAL RECORD BOOK
PB	=	PLAT BOOK
PG	=	PAGE
PID	=	PARCEL IDENTIFICATION NUMBER
PLS	=	PROFESSIONAL LICENSED SURVEYOR
(P)	=	PERMANENT
RTK	=	REAL-TIME KINEMATIC
R/W	=	RIGHT-OF-WAY
SQ	=	SQUARE FEET
VRS	=	VIRTUAL REFERENCE STATION

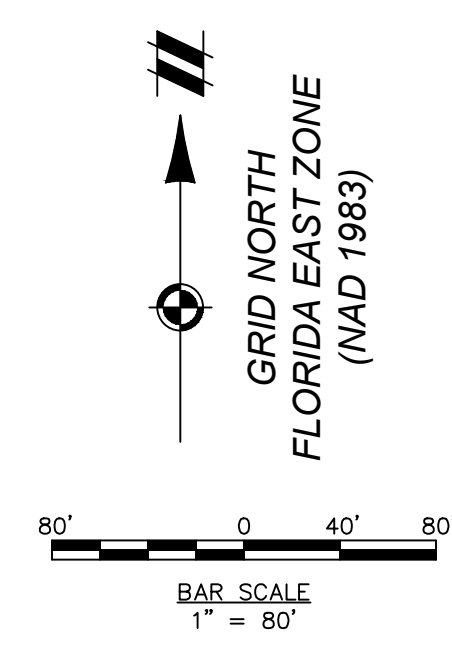
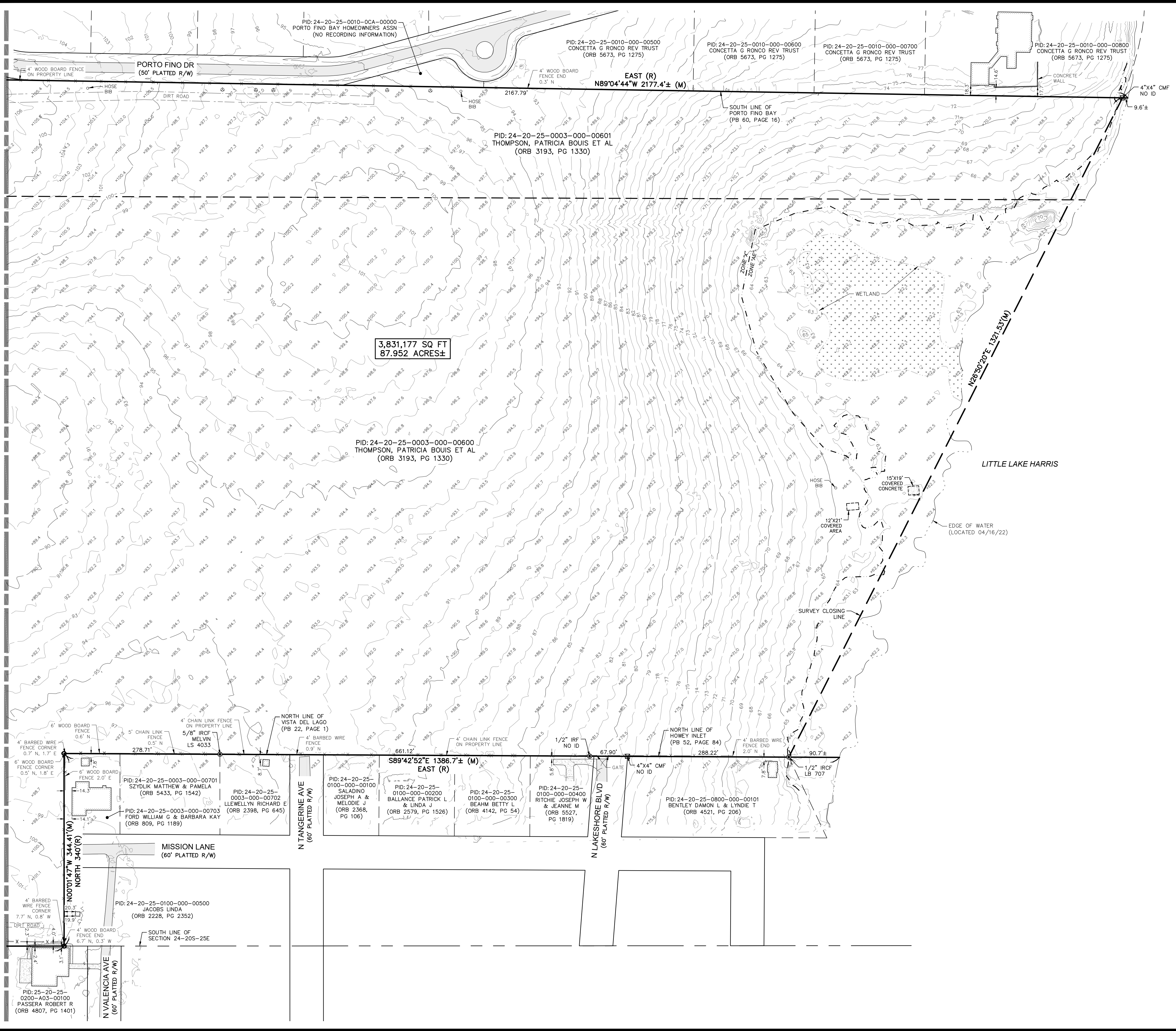


CLYDE R. ELDREDGE
FLORIDA PROFESSIONAL SURVEYOR AND MAPPER #7076
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED
SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

[illegible]

FILE NAME: \\LUN01\Projects\22001110-48-Thompson\Drawings\22001110-TP-01.dwg LAST SAVED BY: agardie 5/17/2022 10:42:58 PM PLOTTED BY: Joudelle Date: 5/17/2022 10:42:58 PM PLOTTER: HP DesignJet 2400 Plot Style: BLM-Standard.ctb

MATCH LINE (SEE SHEET 2 OF 3)



ABBREVIATIONS	
BM	= BENCHMARK
CCR	= CERTIFIED CORNER RECORD
CMF	= CONCRETE MONUMENT FOUND
OMP	= CORRUGATED METAL PIPE
FDOT	= FLORIDA DEPARTMENT OF TRANSPORTATION
IRCF	= IRON ROD & CAP FOUND
INV	= INVERT
LB	= LICENSED BUSINESS
LS	= LICENSED SURVEYOR
(M)	= MEASURED
NAD	= NORTH AMERICAN DATUM
NAVD	= NORTH AMERICAN VERTICAL DATUM
ORB	= OFFICIAL RECORD BOOK
PG	= PAGE
PID	= PARCEL IDENTIFICATION NUMBER
PLS	= PROFESSIONAL LICENSED SURVEYOR
(R)	= RECORD
RTK	= REAL-TIME KINEMATIC
R/W	= RIGHT-OF-WAY
SQ FT	= SQUARE FEET
VRS	= VIRTUAL REFERENCE STATION

LEGEND	
	CALCULATED POINT
	BENCHMARK
	FOUND BOUNDARY MARKER
	5/8" IRON ROD & CAP SET, LB 7832
	FOUND CONCRETE MONUMENT
	UTILITY POLE
	SIGN
	REFLECTOR
	BACKFLOW PREVENTER
	SPRINKLER HEAD
	SPOT ELEVATION
	BUILDING STRUCTURE
	STRUCTURE OVERHANG
	CONCRETE
	ASPHALT PAVEMENT
	DIRT
	WETLAND
	SUBJECT BOUNDARY LINE
	ADJACENT BOUNDARY LINE
	RIGHT OF WAY LINE
	SECTION LINE
	RIGHT OF WAY CENTER LINE
	GUARD RAIL
	EDGE OF WATER
	FLOODPLAIN DELINEATION
	GROUND CONTOUR

Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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866.850.4200 www.atwell-group.com
1800 PARKWAY PLACE, SUITE 700
770423.0607
FLORIDA SURVEY CO# LB 7832

CLIENT	LOCATED IN	
	SECTIONS 23 & 24, TOWNSHIP 20 SOUTH,	
	RANGE 25 EAST	
BOUNDARY & TOPOGRAPHIC SURVEY	LAKE COUNTY, FLORIDA	
	THOMPSON GROVE	
	REVISIONS	
DATE	05/06/2022	
	DWG. DLG	
	CH. KMK	
SHEET NO.	P.M. CRE	
	CODE TP	
	JOB 22001110	
3 OF 3		

PROPERTY RECORD CARD

General Information

Name:	THOMPSON PATRICIA BOUIS ET AL	Alternate Key:	1209081
Mailing Address:	31217 OVERBROOK ST MOUNT PLYMOUTH, FL 32776 Update Mailing Address	Parcel Number: ⓘ	24-20-25-0003- 000-00601
		Millage Group and City:	0001 Unincorporated
		2021 Total Certified Millage Rate:	13.7509
		Trash/Recycling/Water/Info:	My Public Services Map ⓘ
Property Location:	PORTO FINO DR HOWEY IN THE HILLS FL, 34737 Update Property Location ⓘ	Property Name:	-- Submit Property Name ⓘ
		School Information:	School Locator & Bus Stop Map ⓘ School Boundary Maps ⓘ
Property Description:	THAT PART OF FOLLOWING DESCRIBED LAND LYING IN GOV LOT 2, BEG AT SW COR OF SEC, RUN N 1543 FT, E TO LAKE, BEG AS BEFORE, RUN E 288 FT, N 340 FT, E TO LAKE, NE'LY ALONG LAKE TO INTERSECT FIRST LINE ORB 1230 PG 311 ORB 1337 PG 755 ORB 1407 PGS 64-66 ORB 1570 PGS 515-517 ORB 1594 PGS 1451 1455 ORB 1675 PGS 390-399 ORB 1797 PGS 1265-1268 ORB 1864 PGS 331-333 ORB 3193 PG 1330		
<small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small>			

Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	AG / GROVE - ABANDONED (6619)	0	0	ABANDONED	10.700	Acre	\$50.00	\$117,700.00

[Click here for Zoning Info](#) ⓘ
 [FEMA Flood Map](#)

Miscellaneous Improvements

There is no improvement information to display.

Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
3193 / 1330	06/2006	Warranty Deed	Unqualified	Vacant	\$1.00
1864 / 333	09/2000	Warranty Deed	Unqualified	Vacant	\$1.00
1864 / 332	09/2000	Warranty Deed	Unqualified	Vacant	\$1.00
1864 / 331	08/2000	Warranty Deed	Unqualified	Vacant	\$1.00
1797 / 1268	01/2000	Warranty Deed	Unqualified	Vacant	\$1.00
1797 / 1267	01/2000	Warranty Deed	Unqualified	Vacant	\$1.00

1797 / 1266	01/2000	Warranty Deed	Unqualified	Vacant	\$1.00
1797 / 1265	01/2000	Warranty Deed	Unqualified	Vacant	\$1.00
1675 / 399	12/1998	Warranty Deed	Unqualified	Vacant	\$1.00
1675 / 398	12/1998	Warranty Deed	Unqualified	Vacant	\$1.00
1675 / 397	12/1998	Warranty Deed	Unqualified	Vacant	\$1.00
1675 / 396	12/1998	Warranty Deed	Unqualified	Vacant	\$1.00
1675 / 395	12/1998	Warranty Deed	Unqualified	Vacant	\$1.00
1675 / 394	12/1998	Warranty Deed	Unqualified	Vacant	\$1.00
1675 / 393	12/1998	Warranty Deed	Unqualified	Vacant	\$1.00
1675 / 392	12/1998	Warranty Deed	Unqualified	Vacant	\$1.00
1675 / 391	12/1998	Warranty Deed	Unqualified	Vacant	\$1.00
1675 / 390	12/1998	Warranty Deed	Unqualified	Vacant	\$1.00
1663 / 79	04/1998	Quit Claim Deed	Unqualified	Vacant	\$1.00
1594 / 1455	03/1998	Personal Rep Deed	Unqualified	Vacant	\$1.00
1594 / 1451	03/1998	Quit Claim Deed	Unqualified	Vacant	\$1.00
1570 / 518	12/1996	Warranty Deed	Unqualified	Vacant	\$1.00
1570 / 517	12/1996	Warranty Deed	Unqualified	Vacant	\$1.00
1570 / 516	12/1996	Warranty Deed	Unqualified	Vacant	\$1.00
1570 / 515	10/1996	Warranty Deed	Unqualified	Vacant	\$1.00
1407 / 66	12/1995	Warranty Deed	Unqualified	Vacant	\$1.00
1407 / 65	12/1995	Warranty Deed	Unqualified	Vacant	\$1.00
1407 / 64	12/1995	Warranty Deed	Unqualified	Vacant	\$1.00
1337 / 755	12/1994	Warranty Deed	Unqualified	Vacant	\$1.00
1230 / 311	05/1993	Trustees Deed	Unqualified	Vacant	\$1.00

[Click here to search for mortgages, liens, and other legal documents.](#) ⓘ

Values and Estimated Ad Valorem Taxes ⓘ

Values shown below are 2022 CERTIFIED VALUES.

The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$117,700	\$535	\$535	5.0529	\$2.70
SCHOOL BOARD STATE	\$117,700	\$535	\$535	3.5940	\$1.92
SCHOOL BOARD LOCAL	\$117,700	\$535	\$535	2.9980	\$1.60
LAKE COUNTY WATER AUTHORITY	\$117,700	\$535	\$535	0.3229	\$0.17
NORTH LAKE HOSPITAL DIST	\$117,700	\$535	\$535	0.0000	\$0.00
ST JOHNS RIVER FL WATER MGMT DIST	\$117,700	\$535	\$535	0.2189	\$0.12
LAKE COUNTY MSTU STORMWATER	\$117,700	\$535	\$535	0.4957	\$0.27
LAKE COUNTY MSTU AMBULANCE	\$117,700	\$535	\$535	0.4629	\$0.25
LAKE COUNTY VOTED DEBT SERVICE	\$117,700	\$535	\$535	0.0918	\$0.05
LAKE COUNTY MSTU FIRE	\$117,700	\$535	\$535	0.5138	\$0.27
				Total: 13.7509	Total: \$7.35

Exemptions Information

This property is benefitting from the following exemptions with a checkmark ✓

Homestead Exemption (first exemption up to \$25,000)	Learn More View the Law
Additional Homestead Exemption (up to an additional \$25,000)	Learn More View the Law
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	Learn More View the Law
Limited Income Senior Exemption (applied to city millage - up to \$25,000)	Learn More View the Law
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	Learn More View the Law
Widow / Widower Exemption (up to \$500)	Learn More View the Law
Blind Exemption (up to \$500)	Learn More View the Law
Disability Exemption (up to \$500)	Learn More View the Law
Total and Permanent Disability Exemption (amount varies)	Learn More View the Law
Veteran's Disability Exemption (\$5000)	Learn More View the Law
Veteran's Total and Permanent Disability Exemption (amount varies)	Learn More View the Law
Veteran's Combat Related Disability Exemption (amount varies)	Learn More View the Law
Deployed Servicemember Exemption (amount varies)	Learn More View the Law
First Responder Total and Permanent Disability Exemption (amount varies)	Learn More View the Law
Surviving Spouse of First Responder Exemption (amount varies)	Learn More View the Law
Conservation Exemption (amount varies)	Learn More View the Law
Tangible Personal Property Exemption (up to \$25,000)	Learn More View the Law
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)	Learn More View the Law
Economic Development Exemption	Learn More View the Law
Government Exemption (amount varies)	Learn More View the Law

NOTE: Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted [Site Notice](#).

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Property data last updated on March 21, 2022.

Site Notice

PROPERTY RECORD CARD

General Information

Name:	THOMPSON PATRICIA BOUIS ET AL	Alternate Key:	1301912
Mailing Address:	31217 OVERBROOK ST MOUNT PLYMOUTH, FL 32776 Update Mailing Address	Parcel Number: ⓘ	24-20-25-0003- 000-00600
		Millage Group and City:	000H Howey in the Hills
		2021 Total Certified Millage Rate:	20.7552
		Trash/Recycling/Water/Info:	My Public Services Map ⓘ
Property Location:	N TANGERINE AVE HOWEY IN THE HILLS FL, 34737 Update Property Location ⓘ	Property Name:	-- Submit Property Name ⓘ
		School Information:	School Locator & Bus Stop Map ⓘ School Boundary Maps ⓘ
Property Description:	THAT PART OF FOLLOWING DESCRIBED LAND LYING IN GOV LOT 3, BEG AT SW COR OF SEC, RUN N 1543 FT, E TO LAKE, BEG AS BEFORE, RUN E 288 FT, N 340 FT, E TO LAKE, NE'LY ALONG LAKE TO INTERSECT FIRST LINE ORB 1230 PG 311 ORB 1337 PG 755 ORB 1407 PGS 64-66 ORB 1570 PGS 515-518 ORB 1594 PGS 1451 1455 ORB 1663 PG 79 ORB 1675 PGS 390-399 ORB 1797 PGS 1265-1268 ORB 1864 PGS 331-333 ORB 3193 PG 1330		
<small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small>			

Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	AG / GROVE - ABANDONED (6619)	0	0	ABANDONED	40.500	Acre	\$50.00	\$222,750.00
2	WETLAND (9600)	0	0		4.500	Acre	\$0.00	\$203.00

[Click here for Zoning Info](#) ⓘ
 [FEMA Flood Map](#)

Miscellaneous Improvements

There is no improvement information to display.

Sales History

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Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
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1407 / 65	12/1995	Warranty Deed	Unqualified	Vacant	\$1.00
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1337 / 755	12/1994	Warranty Deed	Unqualified	Vacant	\$1.00
1230 / 311	05/1993	Trustees Deed	Unqualified	Vacant	\$1.00

[Click here to search for mortgages, liens, and other legal documents.](#) ⓘ

Values and Estimated Ad Valorem Taxes ⓘ

Values shown below are 2022 CERTIFIED VALUES.

The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$222,953	\$2,228	\$2,228	5.0529	\$11.26
SCHOOL BOARD STATE	\$222,953	\$2,228	\$2,228	3.5940	\$8.01
SCHOOL BOARD LOCAL	\$222,953	\$2,228	\$2,228	2.9980	\$6.68
LAKE COUNTY WATER AUTHORITY	\$222,953	\$2,228	\$2,228	0.3229	\$0.72
NORTH LAKE HOSPITAL DIST	\$222,953	\$2,228	\$2,228	0.0000	\$0.00
ST JOHNS RIVER FL WATER MGMT DIST	\$222,953	\$2,228	\$2,228	0.2189	\$0.49
TOWN OF HOWEY IN THE HILLS	\$222,953	\$2,228	\$2,228	7.5000	\$16.71
LAKE COUNTY MSTU AMBULANCE	\$222,953	\$2,228	\$2,228	0.4629	\$1.03
LAKE COUNTY VOTED DEBT SERVICE	\$222,953	\$2,228	\$2,228	0.0918	\$0.20
LAKE COUNTY MSTU FIRE	\$222,953	\$2,228	\$2,228	0.5138	\$1.14
				Total: 20.7552	Total: \$46.24

Exemptions Information

This property is benefitting from the following exemptions with a checkmark ✓

Homestead Exemption (first exemption up to \$25,000)	Learn More View the Law
Additional Homestead Exemption (up to an additional \$25,000)	Learn More View the Law
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	Learn More View the Law
Limited Income Senior Exemption (applied to city millage - up to \$25,000)	Learn More View the Law
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	Learn More View the Law
Widow / Widower Exemption (up to \$500)	Learn More View the Law
Blind Exemption (up to \$500)	Learn More View the Law
Disability Exemption (up to \$500)	Learn More View the Law
Total and Permanent Disability Exemption (amount varies)	Learn More View the Law
Veteran's Disability Exemption (\$5000)	Learn More View the Law
Veteran's Total and Permanent Disability Exemption (amount varies)	Learn More View the Law
Veteran's Combat Related Disability Exemption (amount varies)	Learn More View the Law
Deployed Servicemember Exemption (amount varies)	Learn More View the Law
First Responder Total and Permanent Disability Exemption (amount varies)	Learn More View the Law
Surviving Spouse of First Responder Exemption (amount varies)	Learn More View the Law
Conservation Exemption (amount varies)	Learn More View the Law
Tangible Personal Property Exemption (up to \$25,000)	Learn More View the Law
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)	Learn More View the Law
Economic Development Exemption	Learn More View the Law
Government Exemption (amount varies)	Learn More View the Law

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Property data last updated on March 21, 2022.

Site Notice

PROPERTY RECORD CARD

General Information

Name:	THOMPSON PATRICIA BOUIS ET AL	Alternate Key:	3692756
Mailing Address:	31217 OVERBROOK ST MOUNT PLYMOUTH, FL 32776 Update Mailing Address	Parcel Number: ⓘ	23-20-25-0004- 000-00800
		Millage Group and City:	000H Howey in the Hills
		2021 Total Certified Millage Rate:	20.7552
		Trash/Recycling/Water/Info:	My Public Services Map ⓘ
Property Location:	N HAMLIN AVE HOWEY IN THE HILLS FL, 34737 Update Property Location ⓘ	Property Name:	-- Submit Property Name ⓘ
		School Information:	School Locator & Bus Stop Map ⓘ School Boundary Maps ⓘ
Property Description:	GOVERNMENT LOTS 8 & 9 LYING SOUTHEAST OF STATE ROAD 19 OF SECTION 23 TOWNSHIP 20 SOUTH RANGE 25 EAST--LESS FROM THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 23, AND ALSO THE SOUTHEAST CORNER OF GOVERNMENT LOT 8 RUN THENCE NORTHERLY ALONG THE EAST LINE OF SAID LOT 8 A DISTANCE OF 567.40 FEET TO THE CENTERLINE OF STATE ROAD 459, SOUTH 46-47-00 WEST ALONG THE SAID CENTERLINE 259.13 FEET, SOUTH 43-13-00 EAST 50 FEET FOR THE POINT OF BEGINNING, RUN THENCE SOUTH 33-17-00 WEST 411.21 FEET TO A POINT ON THE SOUTH LINE OF SAID SECTION 23, BEING ALSO TH ESOUTH LINE OF SAID GOVERNMENT LOT 8, RUN WESTERLY ALONG SAID SOUTH LINE 138.87 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY LINE OF STATE ROAD 459, RUN THENCE NORTH 46-47-00 EAST ALONG SAID RIGHT OF WAY 500.31 FEET TO THE POINT OF BEGINNING OF ADDITIONAL ROAD RIGHT OF WAY-- ORB 1337 PG 755 ORB 1407 PGS 64-66 ORB 1570 PG 515-518 ORB 1594 PGS 1449 1451 1455 ORB 1675 PGS 390-399 ORB 1797 PGS 1265-1267 ORB 1864 PGS 331-333 ORB 3193 PG 1330		
<small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small>			

Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	AG / GROVE - ABANDONED (6619)	0	0	ABANDONED	34.230	Acre	\$50.00	\$188,265.00

[Click here for Zoning Info](#) ⓘ
 [FEMA Flood Map](#)

Miscellaneous Improvements

There is no improvement information to display.

Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Item 3.

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
3961 / 293	10/2010	Quit Claim Deed	Unqualified	Improved	\$100.00
3945 / 1336	06/2010	Quit Claim Deed	Unqualified	Vacant	\$100.00
3193 / 1330	06/2006	Warranty Deed	Unqualified	Vacant	\$1.00
1864 / 333	09/2000	Warranty Deed	Unqualified	Vacant	\$1.00
1864 / 332	09/2000	Warranty Deed	Unqualified	Vacant	\$1.00
1864 / 331	08/2000	Warranty Deed	Unqualified	Vacant	\$1.00
1797 / 1268	01/2000	Warranty Deed	Unqualified	Vacant	\$1.00
1797 / 1267	01/2000	Warranty Deed	Unqualified	Vacant	\$1.00
1797 / 1266	01/2000	Warranty Deed	Unqualified	Vacant	\$1.00
1797 / 1265	01/2000	Warranty Deed	Unqualified	Vacant	\$1.00
1675 / 399	12/1998	Warranty Deed	Unqualified	Vacant	\$1.00
1675 / 398	12/1998	Warranty Deed	Unqualified	Vacant	\$1.00
1675 / 397	12/1998	Warranty Deed	Unqualified	Vacant	\$1.00
1675 / 396	12/1998	Warranty Deed	Unqualified	Vacant	\$1.00
1675 / 395	12/1998	Warranty Deed	Unqualified	Vacant	\$1.00
1675 / 394	12/1998	Warranty Deed	Unqualified	Vacant	\$1.00
1675 / 393	12/1998	Warranty Deed	Unqualified	Vacant	\$1.00
1675 / 392	12/1998	Warranty Deed	Unqualified	Vacant	\$1.00
1675 / 391	12/1998	Warranty Deed	Unqualified	Vacant	\$1.00
1675 / 390	12/1998	Warranty Deed	Unqualified	Vacant	\$1.00
1663 / 79	04/1998	Quit Claim Deed	Unqualified	Vacant	\$1.00
1594 / 1455	03/1998	Personal Rep Deed	Unqualified	Vacant	\$1.00
1594 / 1451	03/1998	Quit Claim Deed	Unqualified	Vacant	\$1.00
1594 / 1447	03/1998	Personal Rep Deed	Unqualified	Vacant	\$1.00
1570 / 518	12/1996	Warranty Deed	Unqualified	Vacant	\$1.00
1570 / 517	12/1996	Warranty Deed	Unqualified	Vacant	\$1.00
1570 / 516	12/1996	Warranty Deed	Unqualified	Vacant	\$1.00
1570 / 515	10/1996	Warranty Deed	Unqualified	Vacant	\$1.00
1407 / 66	12/1995	Warranty Deed	Unqualified	Vacant	\$1.00
1407 / 65	12/1995	Warranty Deed	Unqualified	Vacant	\$1.00
1407 / 64	12/1995	Warranty Deed	Unqualified	Vacant	\$1.00
1337 / 755	12/1994	Warranty Deed	Unqualified	Vacant	\$1.00

[Click here to search for mortgages, liens, and other legal documents.](#) ⓘ

Values and Estimated Ad Valorem Taxes ⓘ

Values shown below are 2022 CERTIFIED VALUES.

The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.


Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$188,265	\$1,712	\$1,712	5.0529	\$8.65
SCHOOL BOARD STATE	\$188,265	\$1,712	\$1,712	3.5940	\$6.15
SCHOOL BOARD LOCAL	\$188,265	\$1,712	\$1,712	2.9980	\$5.13
LAKE COUNTY WATER AUTHORITY	\$188,265	\$1,712	\$1,712	0.3229	\$0.55
NORTH LAKE HOSPITAL DIST	\$188,265	\$1,712	\$1,712	0.0000	\$0.00
ST JOHNS RIVER FL WATER MGMT DIST	\$188,265	\$1,712	\$1,712	0.2189	\$0.37
TOWN OF HOWEY IN THE HILLS	\$188,265	\$1,712	\$1,712	7.5000	\$12.84

LAKE COUNTY MSTU AMBULANCE	\$188,265	\$1,712	\$1,712	0.4629	\$0.79
LAKE COUNTY VOTED DEBT SERVICE	\$188,265	\$1,712	\$1,712	0.0918	\$0.16
LAKE COUNTY MSTU FIRE	\$188,265	\$1,712	\$1,712	0.5138	\$0.88
				Total: 20.7552	Total: \$35.52

Item 3.

Exemptions Information

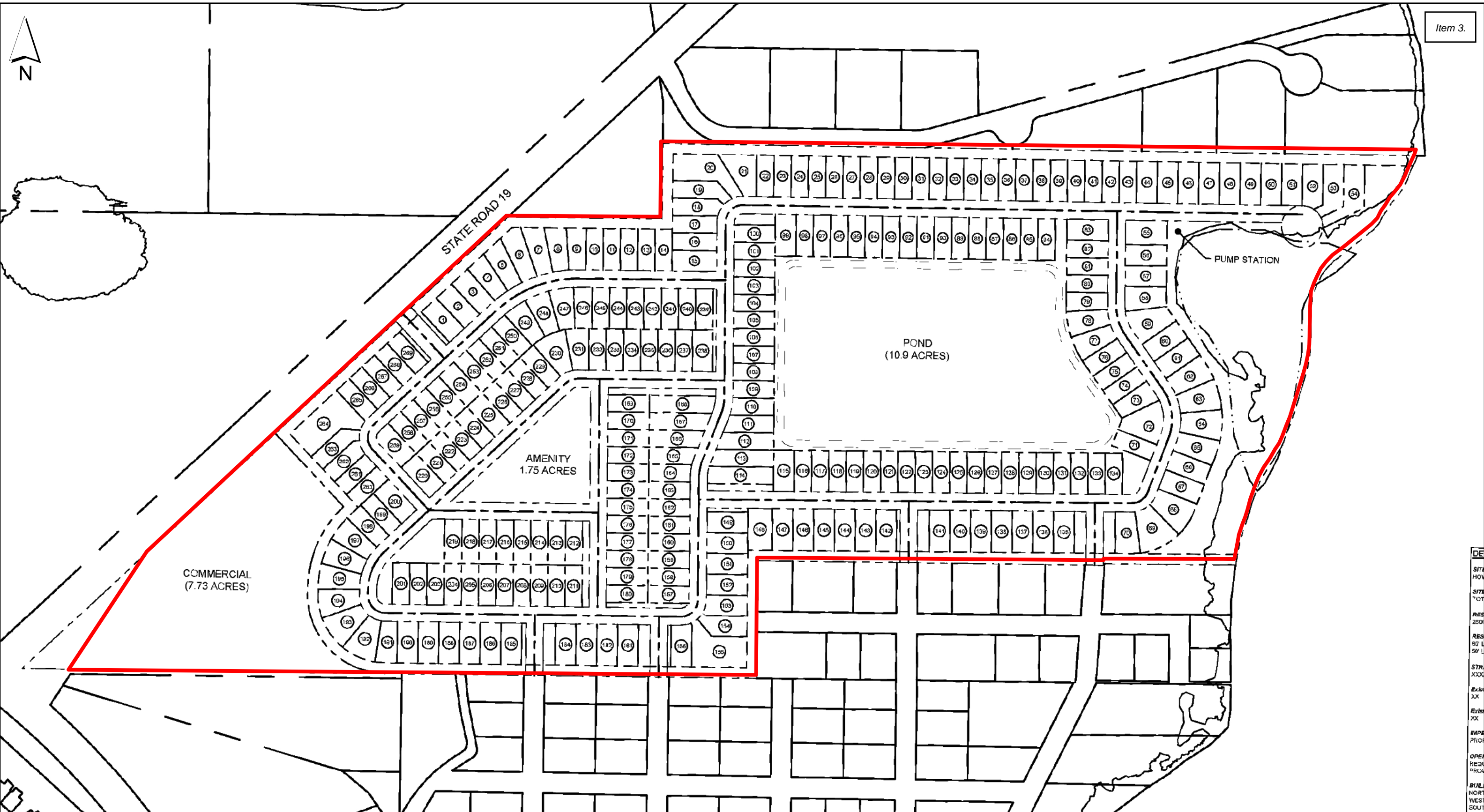
This property is benefitting from the following exemptions with a checkmark ✓


Homestead Exemption (first exemption up to \$25,000)	Learn More View the Law
Additional Homestead Exemption (up to an additional \$25,000)	Learn More View the Law
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	Learn More View the Law
Limited Income Senior Exemption (applied to city millage - up to \$25,000) 	Learn More View the Law
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	Learn More View the Law
Widow / Widower Exemption (up to \$500)	Learn More View the Law
Blind Exemption (up to \$500)	Learn More View the Law
Disability Exemption (up to \$500)	Learn More View the Law
Total and Permanent Disability Exemption (amount varies)	Learn More View the Law
Veteran's Disability Exemption (\$5000)	Learn More View the Law
Veteran's Total and Permanent Disability Exemption (amount varies)	Learn More View the Law
Veteran's Combat Related Disability Exemption (amount varies)	Learn More View the Law
Deployed Servicemember Exemption (amount varies)	Learn More View the Law
First Responder Total and Permanent Disability Exemption (amount varies)	Learn More View the Law
Surviving Spouse of First Responder Exemption (amount varies)	Learn More View the Law
Conservation Exemption (amount varies)	Learn More View the Law
Tangible Personal Property Exemption (up to \$25,000)	Learn More View the Law
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)	Learn More View the Law
Economic Development Exemption	Learn More View the Law
Government Exemption (amount varies)	Learn More View the Law

NOTE: Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted [Site Notice](#).

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Property data last updated on March 21, 2022.

Site Notice




 Project Boundary

Thompson Grove Site

Site Plan

Lake County, FL



ATWELL

The information contained on this map is proprietary and confidential. The use or disclosure of this information by you to third parties is prohibited by law and may give rise to civil or criminal liability.

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CONSULTING. ENGINEERING. CONSTRUCTION.

OWNER AUTHORIZATION/CONSENT THOMPSON GROVES PROJECT HOWEY-IN-THE-HILLS, FL

Parcel Nos: 23-20-25-0004-000-00800
24-20-25-0003-000-00600
24-20-25-0003-000-00601

Owner authorization/consent by and on behalf of Patrice B. Thompson, Stephanie B. Bouis, Paul M. Thompson ("Owners") is hereby granted to Atwell, LLC ("Atwell") to act as Owner's Agent to submit, process and resubmit all applicable development, engineering and the like applications, documents & materials to the Town of Howey-in-the Hills, Florida, (and any other regulatory agency having/claiming jurisdiction over Exhibit "A" including but not limited to all required materials, exhibits, plans and documents. The subject site is attached hereto (Warranty Deeds) as Exhibit "A". Atwell is authorized to attend and represent Owners at all meetings and/or public hearings pertaining to the applicable applications as filed with the Town of Howey-in-the Hills, Florida. Furthermore, authorization/consent is granted to Atwell to agree to all terms and conditions of approval which may arise as part of the applications submitted for the proposed single-family residential project commonly known as Thompson Groves.

Patricia B. Thompson

Name of Fee Simple Owner

Signature of Fee Simple OwnerStephanie B. Bouis

Name of Fee Simple Owner

Signature of Fee Simple OwnerPaul M. Thompson

Name of Fee Simple Owner

Signature of Fee Simple Owner31217 Overbrook Street

Address

Mt. Plymouth, FL 32776

City, State, Zip Code

Date



CONSULTING. ENGINEERING. CONSTRUCTION.

EXHIBIT “A”

PREPARED BY/RETURN TO:

R Del G. Potter, Esquire
POTTER CLEMENT LOWRY & DUNCAN
308 E. Fifth Ave.
Mt. Dora, FL 32757

Parcel ID Number: 3692756

WARRANTY DEED

THIS WARRANTY DEED made this 15th day of June, 2006 by PATRICIA BOUIS THOMPSON, 31217 Overbrook St., Mt. Plymouth, FL 32776, STEPHANIE B. BOUIS, 412 Fair Oaks Circle, Chapel Hill, NC 27516, MARTHA BOUIS, 13600 E. Palamino Dr., S.W. Ranches, FL 33330, and PAUL M. THOMPSON, 31217 Overbrook St., Mt. Plymouth, FL 32776, hereinafter called Grantor, to PATRICIA BOUIS THOMPSON as to a 41.75 percentage, STEPHANIE B. BOUIS as to a 41.75 percentage, and PAUL M. THOMPSON as to a 16.5 percentage, all as Tenants in Common, whose address is: 31217 Overbrook St., Mt. Plymouth, FL 32776, hereinafter called Grantee:

(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the Grantor, for and in consideration of the sum of TEN DOLLARS (\$10.00), and other good and valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee all that certain land, situate in Lake County, State of Florida, viz:

Parcel Number 1:

That part of Government Lots 8 and 9, Section 23, Township 20 South, Range 25 East, Lake County, Florida, lying southeast of State Road 19. (Parcel ID Number 3692756)

That part of the following described land lying in Government Lots 2 and 3, Section 24, Township 20 South, Range 25 East, Lake County, Florida, begin at the Southwest corner of the section, run North 1,543 feet East to the lake; begin again as before, run East 288 feet, North 340 feet, East to the lake, Northeasterly along the lake to intersect the first line. (Coleman-Cline East). (Parcel ID Numbers 1209081 and 1301912).

Grantor warrants that the above described property is not homestead property as defined by the constitution and the laws of the State of Florida.

Subject to easements, restrictions and reservations of record, if any; however, this reference shall not operate to reimpose the same.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.


Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land, that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said

land is free of all encumbrances, except taxes accruing subsequent to December 31, 2005.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered
in the presence of:

William Hall
Witness #1 Signature



PATRICIA BOUIS THOMPSON

William Hall
Witness #1 Printed Name


Witness #2 Signature

Susan G. Cota
Witness #2 Printed Name


Witness #1 Signature


STEPHANIE B. BOUIS

J. MILLHAUSE BISCHOP
Witness #1 Printed Name

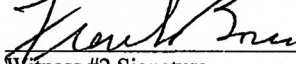

Witness #2 Signature

Frank Bouis
Witness #2 Printed Name

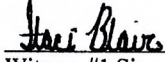

Witness #1 Signature


MARTHA BOUIS

J. MILLHAUSE BISCHOP
Witness #1 Printed Name


Witness #2 Signature

Frank Bouis
Witness #2 Printed Name


Witness #1 Signature


PAUL M. THOMPSON

Staci Blair
Witness #1 Printed Name

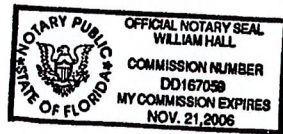

Witness #2 Signature

Stacey Stout
Witness #2 Printed Name

STATE OF FLORIDA
COUNTY OF POLK

I hereby certify that on this day, before me, an officer duly authorized to administer oaths and take acknowledgements, personally appeared PATRICIA BOUIS THOMPSON, known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that she executed the same, and an oath was not taken. (Check one:) [] Said person are personally known to me. [X] Said person provided the following type of identification:
FLORIDA DRIVERS LICENSE

Witness my hand and official seal in the County and State last aforesaid this 28TH day of MARCH, 2006.

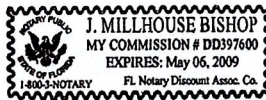


William Hall
NOTARY PUBLIC- WILLIAM HALL
(Type or Print Notary Name)
Serial No., if any DD 16 7050
My Commission Expires: 11-21-06

STATE OF FLORIDA
COUNTY OF LAKE

I hereby certify that on this day, before me, an officer duly authorized to administer oaths and take acknowledgements, personally appeared STEPHANIE B. BOUIS, known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that she executed the same, and an oath was not taken. (Check one:) [X] Said person are personally known to me. [] Said person provided the following type of identification:

Witness my hand and official seal in the County and State last aforesaid this 15th day of June, 2006.

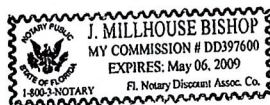


J. Millhouse Bishop
NOTARY PUBLIC- J. MILLHOUSE BISHOP
(Type or Print Notary Name)
Serial No., if any DD 397600
My Commission Expires:
MAY 06 2009

STATE OF FLORIDA
COUNTY OF LAKE

I hereby certify that on this day, before me, an officer duly authorized to administer oaths and take acknowledgements, personally appeared MARTHA BOUIS, known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that she executed the same, and an oath was not taken. (Check one:) [X] Said person are personally known to me. [] Said person provided the following type of identification:

Witness my hand and official seal in the County and State last aforesaid this 15th day of June, 2006.



J. Millhouse Bishop
NOTARY PUBLIC- J. MILLHOUSE BISHOP
(Type or Print Notary Name)
Serial No., if any DD 397600
My Commission Expires:
MAY 06 2009

STATE OF FLORIDA

COUNTY OF Orange

I hereby certify that on this day, before me, an officer duly authorized to administer oaths and take acknowledgements, personally appeared PAUL M. THOMPSON, known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that he executed the same, and an oath was not taken. (Check one:) [☒] Said person are personally known to me. [] Said person provided the following type of identification:

Witness my hand and official seal in the County and State last aforesaid this 27th day of March, 2006.

Mary Jo Cascio
NOTARY PUBLIC

(Type or Print Notary Name)

Serial No., if any _____

My Commission Expires: _____



PREPARED BY/RETURN TO:

Del G. Potter, Esquire
POTTER CLEMENT LOWRY & DUNCAN
308 E. Fifth Ave.
Mt. Dora, FL 32757



Parcel ID Number: 3692756

QUIT CLAIM DEED

THIS QUIT CLAIM DEED made this 12th day of October, 2010, by CRAIG S. PALMER and VALERA A. PALMER, his wife, whose address is: 1104 HAMLIN AVE HOWEY INDIAN HILLS FL 34957, hereinafter called Grantor, to PATRICIA BOUIS THOMPSON, PAUL M. THOMPSON and STEPHANIE B. BOUIS, whose address is: 31217 Overbrook St., Mt. Plymouth, FL 32776, hereinafter called Grantee:

(Wherever used herein the terms "first party" and "second party" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

WITNESSETH: That the first party, for and in consideration of the sum of TEN DOLLARS (\$10.00), in hand paid by the second party, the receipt whereof is hereby acknowledged, does hereby remise, release, and quit-claim unto the second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel of land, situate, lying and being in the County of Lake, State of Florida, to-wit:

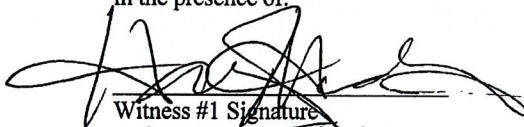
That part of Government Lots 8 and 9, Section 23, Township 20 South, Range 25 East, Lake County, Florida, lying southeast of State Road 19.

Grantor warrant that the above described property is not homestead property as defined by the constitution and the laws of the State of Florida.

TO HAVE AND TO HOLD, the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said first party, either in law or equity, to the only proper use, benefit and behoof of the said second party forever.

IN WITNESS WHEREOF, the said first party has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered
in the presence of:


Witness #1 Signature


CRAIG S. PALMER

Harry T. Hadeney
Witness #1 Printed Name


Witness #2 Signature


VALERA A. PALMER

Harry T. Hadeney
Witness #2 Printed Name

STATE OF Lake
COUNTY OF Florida

I hereby certify that on this day, before me, an officer duly authorized to administer oaths and take acknowledgements, personally appeared Craig S. Palmer and Valera A. Palmer, his wife, known to me to be the persons described in and who executed the foregoing instrument, who acknowledged before me that they executed the same, and an oath was not taken. (Check one:) []
Said persons are personally known to me. [X] Said persons provided the following type of identification: _____.

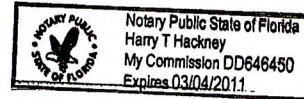
Witness my hand and official seal in the County and State last aforesaid this 12th day of October, 2010.

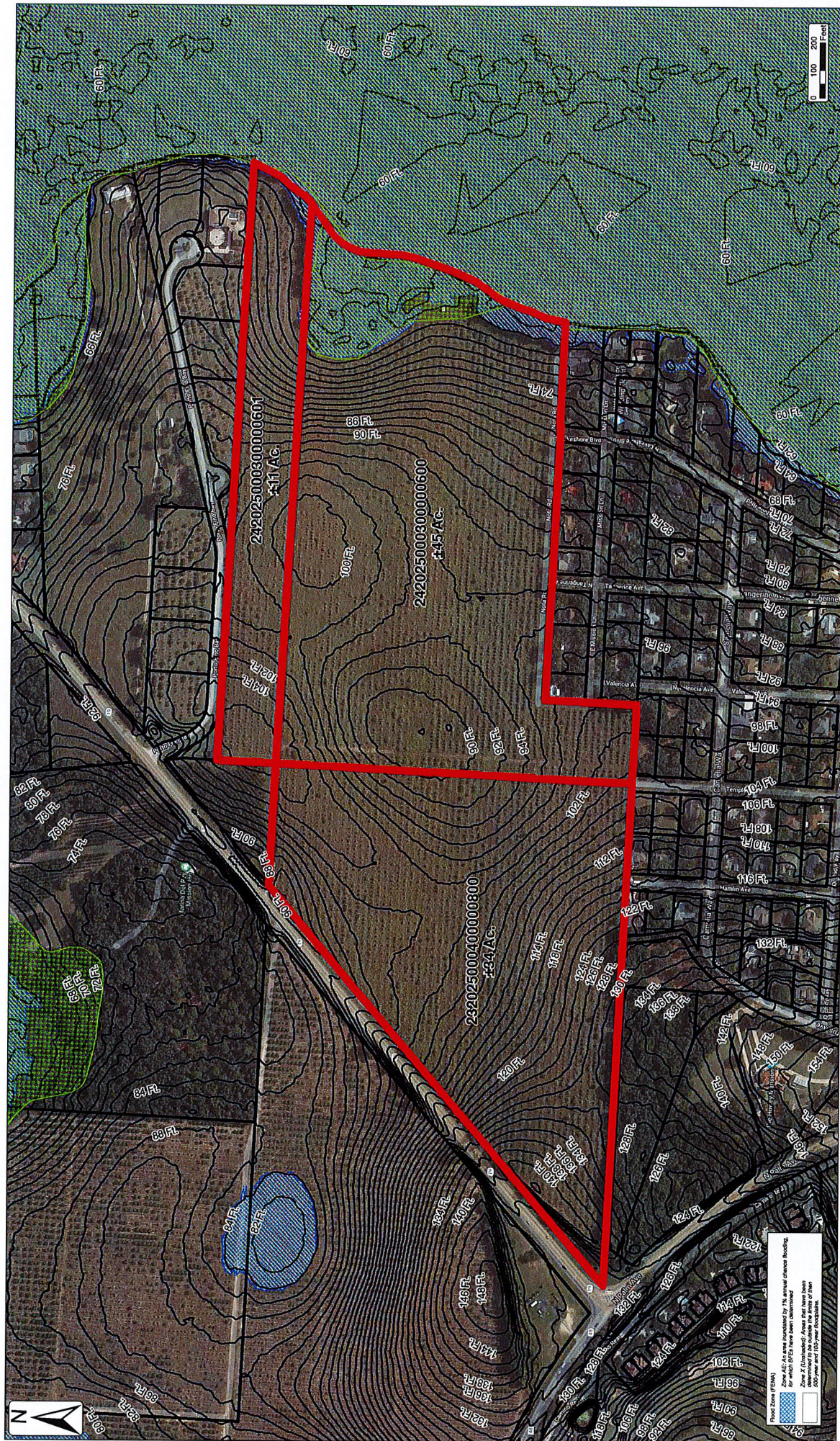

NOTARY PUBLIC

(Type or Print Notary Name)

Serial No., if any _____

My Commission Expires: _____

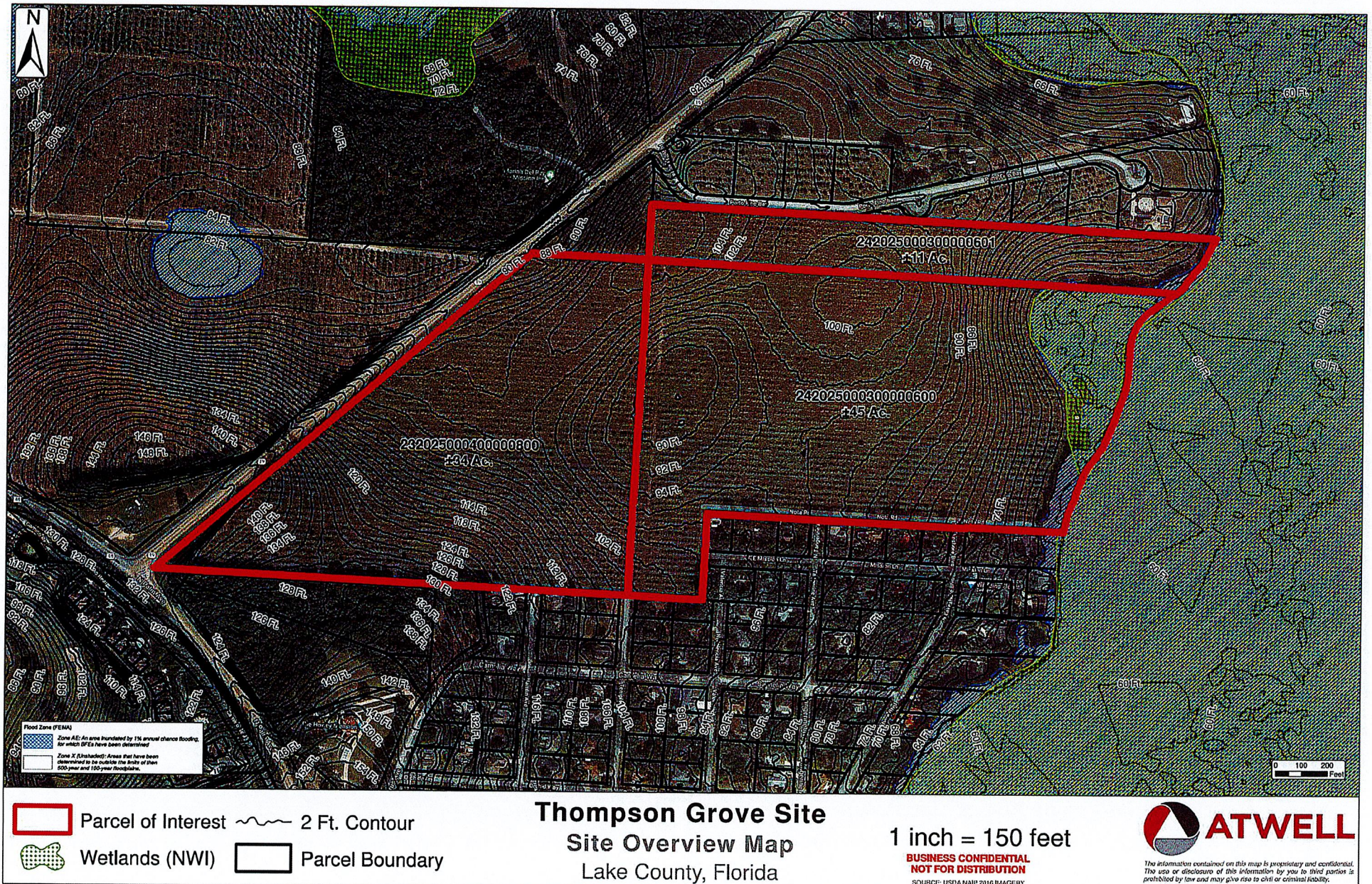




Thompson Grove Site Site Overview Map Lake County, Florida

1 inch = 150 feet
BUSINESS CONFIDENTIAL
NOT FOR DISTRIBUTION





CFN 2006095971
 Bk 03193 Pgs 1330 - 1333f (4pgs)
 DATE: 06/22/2006 10:59:06 AM
 JAMES C. WATKINS, CLERK OF COURT
 LAKE COUNTY
 RECORDING FEES 35.50
 DEED DOC 0.70

PREPARED BY/RETURN TO:

R Del G. Potter, Esquire
 POTTER CLEMENT LOWRY & DUNCAN
 308 E. Fifth Ave.
 Mt. Dora, FL 32757

Parcel ID Number: 3692756

WARRANTY DEED

THIS WARRANTY DEED made this 15th day of June, 2006 by PATRICIA BOUIS THOMPSON, 31217 Overbrook St., Mt. Plymouth, FL 32776, STEPHANIE B. BOUIS, 412 Fair Oaks Circle, Chapel Hill, NC 27516, MARTHA BOUIS, 13600 E. Palamino Dr., S.W. Ranches, FL 33330, and PAUL M. THOMPSON, 31217 Overbrook St., Mt. Plymouth, FL 32776, hereinafter called Grantor, to PATRICIA BOUIS THOMPSON as to a 41.75 percentage, STEPHANIE B. BOUIS as to a 41.75 percentage, and PAUL M. THOMPSON as to a 16.5 percentage, all as Tenants in Common, whose address is: 31217 Overbrook St., Mt. Plymouth, FL 32776, hereinafter called Grantee:

(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the Grantor, for and in consideration of the sum of TEN DOLLARS (\$10.00), and other good and valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee all that certain land, situate in Lake County, State of Florida, viz:

Parcel Number 1:

That part of Government Lots 8 and 9, Section 23, Township 20 South, Range 25 East, Lake County, Florida, lying southeast of State Road 19. (Parcel ID Number 3692756)

That part of the following described land lying in Government Lots 2 and 3, Section 24, Township 20 South, Range 25 East, Lake County, Florida, begin at the Southwest corner of the section, run North 1,543 feet East to the lake; begin again as before, run East 288 feet, North 340 feet, East to the lake, Northeasterly along the lake to intersect the first line. (Coleman-Cline East). (Parcel ID Numbers 1209081 and 1301912).

Grantor warrants that the above described property is not homestead property as defined by the constitution and the laws of the State of Florida.

Subject to easements, restrictions and reservations of record, if any; however, this reference shall not operate to reimpose the same.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land, that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said

land is free of all encumbrances, except taxes accruing subsequent to December 31, 2005.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered
in the presence of:

William Hall
Witness #1 Signature

William Hall
Witness #1 Printed Name

[Signature]
Witness #2 Signature

Susan H. Cox
Witness #2 Printed Name

[Signature]
PATRICIA BOUIS THOMPSON

[Signature]
Witness #1 Signature

J. MILLHOUSE BISBY
Witness #1 Printed Name

[Signature]
Witness #2 Signature

Frank Bouis
Witness #2 Printed Name

[Signature]
Witness #1 Signature

J. MILLHOUSE BISBY
Witness #1 Printed Name

[Signature]
Witness #2 Signature

Frank Bouis
Witness #2 Printed Name

[Signature]
Witness #1 Signature

Staci Blair
Witness #1 Printed Name

[Signature]
Witness #2 Signature

Stacy Stout
Witness #2 Printed Name

[Signature]
STEPHANIE B. BOUIS

[Signature]
MARTHA BOUIS

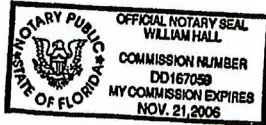
[Signature]
PAUL M. THOMPSON

STATE OF FLORIDA
COUNTY OF DOLK

I hereby certify that on this day, before me, an officer duly authorized to administer oaths and take acknowledgements, personally appeared PATRICIA BOUIS THOMPSON, known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that she executed the same, and an oath was not taken. (Check one:) [] Said person are personally known to me. [X] Said person provided the following type of identification:

FLORIDA DRIVERS LICENSE

Witness my hand and official seal in the County and State last aforesaid this 28TH day of MARCH, 2006.

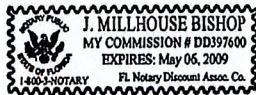


William Hall
NOTARY PUBLIC- WILLIAM HALL
(Type or Print Notary Name)
Serial No., if any DD 16 7050
My Commission Expires: 11-21-06

STATE OF FLORIDA
COUNTY OF LAKE

I hereby certify that on this day, before me, an officer duly authorized to administer oaths and take acknowledgements, personally appeared STEPHANIE B. BOUIS, known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that she executed the same, and an oath was not taken. (Check one:) [X] Said person are personally known to me. [] Said person provided the following type of identification:

Witness my hand and official seal in the County and State last aforesaid this 15th day of June, 2006.

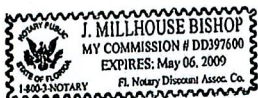


J. Millhouse Bishop
NOTARY PUBLIC- J. Millhouse Bishop
(Type or Print Notary Name)
Serial No., if any DD 397600
My Commission Expires: MAY 06 2009

STATE OF FLORIDA
COUNTY OF LAKE

I hereby certify that on this day, before me, an officer duly authorized to administer oaths and take acknowledgements, personally appeared MARTHA BOUIS, known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that she executed the same, and an oath was not taken. (Check one:) [X] Said person are personally known to me. [] Said person provided the following type of identification:

Witness my hand and official seal in the County and State last aforesaid this 15th day of June, 2006.



J. Millhouse Bishop
NOTARY PUBLIC- J. Millhouse Bishop
(Type or Print Notary Name)
Serial No., if any DD 397600
My Commission Expires: MAY 06 2009

STATE OF FLORIDA
COUNTY OF Orange

I hereby certify that on this day, before me, an officer duly authorized to administer oaths and take acknowledgements, personally appeared PAUL M. THOMPSON, known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that he executed the same, and an oath was not taken. (Check one:) ☒ Said person are personally known to me. ☐ Said person provided the following type of identification:

Witness my hand and official seal in the County and State last aforesaid this 27th day of March, 2006.

Mary Jo Cascio
NOTARY PUBLIC

(Type or Print Notary Name)

Serial No., if any

My Commission Expires:



CFN 2010104974
 Bk 03961 Pgs 0293 - 294 (2pgs)
 DATE: 10/20/2010 10:50:20 AM
 NEIL KELLY, CLERK OF COURT
 LAKE COUNTY
 RECORDING FEES 18.50
 DEED DOC 0.70
 INDEXING FEES 1.00

PREPARED BY/RETURN TO:

Del G. Potter, Esquire
 POTTER CLEMENT LOWRY & DUNCAN
 308 E. Fifth Ave.
 Mt. Dora, FL 32757



Parcel ID Number: 3692756

QUIT CLAIM DEED

THIS QUIT CLAIM DEED made this 12th day of October, 2010, by CRAIG S. PALMER and VALERA A. PALMER, his wife, whose address is: 1104 HAMLIN AVE HOWEY IN THE HILLS FL 34137, hereinafter called Grantor, to PATRICIA BOUIS THOMPSON, PAUL M. THOMPSON and STEPHANIE B. BOUIS, whose address is: 31217 Overbrook St., Mt. Plymouth, FL 32776, hereinafter called Grantee:

(Wherever used herein the terms "first party" and "second party" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

WITNESSETH: That the first party, for and in consideration of the sum of TEN DOLLARS (\$10.00), in hand paid by the second party, the receipt whereof is hereby acknowledged, does hereby remise, release, and quit-claim unto the second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel of land, situate, lying and being in the County of Lake, State of Florida, to-wit:

That part of Government Lots 8 and 9, Section 23, Township 20 South, Range 25 East, Lake County, Florida, lying southeast of State Road 19.

Grantor warrant that the above described property is not homestead property as defined by the constitution and the laws of the State of Florida.

TO HAVE AND TO HOLD, the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said first party, either in law or equity, to the only proper use, benefit and behoof of the said second party forever.

IN WITNESS WHEREOF, the said first party has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered
 in the presence of:

Witness #1 Signature

CRAIG S. PALMER

Witness #1 Printed Name

Witness #2 Signature


VALERA A. PALMER

Witness #2 Printed Name

STATE OF Lake
COUNTY OF Florida

I hereby certify that on this day, before me, an officer duly authorized to administer oaths and take acknowledgements, personally appeared Craig S. Palmer and Valera A. Palmer, his wife, known to me to be the persons described in and who executed the foregoing instrument, who acknowledged before me that they executed the same, and an oath was not taken. (Check one:) [] Said persons are personally known to me. [X] Said persons provided the following type of identification: _____.

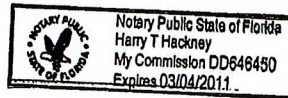
Witness my hand and official seal in the County and State last aforesaid this 12th day of October, 2010.


NOTARY PUBLIC

(Type or Print Notary Name)

Serial No., if any _____

My Commission Expires: _____





CONSULTING. ENGINEERING. CONSTRUCTION.

OWNER AUTHORIZATION/CONSENT THOMPSON GROVES PROJECT HOWEY-IN-THE-HILLS, FL


**Parcel Nos: 23-20-25-0004-000-00800
24-20-25-0003-000-00600
24-20-25-0003-000-00601**

Owner authorization/consent by and on behalf of Patrice B. Thompson, Stephanie B. Bouis, Paul M. Thompson ("Owners") is hereby granted to Atwell, LLC ("Atwell") to act as Owner's Agent to submit, process and resubmit all applicable development, engineering and the like applications, documents & materials to the Town of Howey-in-the Hills, Florida, (and any other regulatory agency having/claiming jurisdiction over Exhibit "A" including but not limited to all required materials, exhibits, plans and documents. The subject site is attached hereto (Warranty Deeds) as Exhibit "A". Atwell is authorized to attend and represent Owners at all meetings and/or public hearings pertaining to the applicable applications as filed with the Town of Howey-in-the Hills, Florida. Furthermore, authorization/consent is granted to Atwell to agree to all terms and conditions of approval which may arise as part of the applications submitted for the proposed single-family residential project commonly known as Thompson Groves.

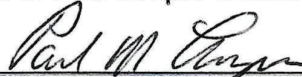
Patricia B. Thompson
Name of Fee Simple Owner


Signature of Fee Simple Owner

Stephanie B. Bouis
Name of Fee Simple Owner


Signature of Fee Simple Owner

Paul M. Thompson
Name of Fee Simple Owner


Signature of Fee Simple Owner

31217 Overbrook Street
Address

Mt. Plymouth, FL 32776
City, State, Zip Code

31 August 2022
Date