



Town Council Meeting

October 23, 2023 at 6:00 PM

Howey-in the-Hills Town Hall

101 N. Palm Ave.,

Howey-in-the-Hills, FL 34737

Join Zoom Meeting: <https://us06web.zoom.us/j/82600166011?pwd=Xd0f8vcKM2ba1dkwlhaCTgVfr6Dbkb.1>

Meeting ID: 826 0016 6011 | **Passcode:** 495749

AGENDA

Call the Town Council Meeting to order
Pledge of Allegiance to the Flag
Invocation by Councilor Reneé Lannamañ

ROLL CALL

Acknowledgement of Quorum

AGENDA APPROVAL/REVIEW

CONSENT AGENDA

Routine items are placed on the Consent Agenda to expedite the meeting. If Town Council/Staff wish to discuss any item, the procedure is as follows: (1) Pull the item(s) from the Consent Agenda; (2) Vote on the remaining item(s); and (3) Discuss each pulled item and vote.

- 1.** The approval of the minutes and ratification and confirmation of all Town Council actions at the October 09, 2023 Town Council Meeting.
- 2.** The approval of the minutes and ratification and confirmation of all Town Council actions at the September 26, 2023 Town Council Workshop.

PUBLIC HEARING

OLD BUSINESS

NEW BUSINESS

- 3.** Consideration and Approval: **Final Subdivision Plans - Hillside Groves**
- 4.** Consideration and Approval: (First Reading) **Ordinance 2023-012 - Land Development Code (LDC) Omnibus**

AN ORDINANCE OF THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA, PERTAINING TO LAND USE; AMENDING SECTIONS OF THE TOWN'S LAND DEVELOPMENT CODE AS FOLLOWS: AMENDING SECTION 5.02.06 TO SPECIFY THE MINIMUM SETBACK FROM PROPERTY LINES FOR FLAGPOLES; AMENDING SECTION 2.03.03 TO REQUIRE TWO-

CAR GARAGES FOR TOWNHOMES AND TO SPECIFY THE MINIMUM SQUARE FOOTAGE OF THE GARAGE AND THE MINIMUM LENGTH AND WIDTH OF THE RELATED DRIVEWAY; AMENDING SECTION 5.02.06 TO SPECIFY THE TIME PERIOD FOR TEMPORARY PERMITS FOR MOVABLE MODULE STORAGE UNITS; AMENDING SECTION 7.09.02 PERTAINING TO TREE PRUNING; AMENDING SECTION 7.10.00 AND ITS LIST OF APPROVED TREES AND PLANTS; AMENDING SECTION 7.10.01 TO ADD AN ITEM TO THE PROHIBITED PLANT LIST; AMENDING SECTION 7.11.01 REGARDING TREE PROTECTION; AMENDING SECTION 7.08.01 REGARDING LANDSCAPING REQUIREMENTS; ENACTING NEW SECTION 5.01.10 TO DEFINE “WORKSHOPS;” ENACTING NEW SECTION 7.04.04 TO IMPOSE CERTAIN REQUIREMENTS AT STREET INTERSECTIONS TO PRESERVE VISIBILITY FOR MOTORISTS; AMENDING SECTION 1.12.00 TO ENACT A NEW DEFINITION AND TO MODIFY CERTAIN EXISTING DEFINITIONS; AMENDING SECTION 7.12.01 REGARDING REQUIREMENTS FOR TREE REMOVAL; ENACTING NEW SUBSECTIONS 8.05.02.L AND 8.05.04.F REGARDING POTABLE AND RECLAIMED WATER SYSTEMS; ESTIMATING THE ECONOMIC IMPACT OF THE ORDINANCE ON PRIVATE BUSINESSES; PROVIDING FOR SEVERABILITY, CODIFICATION, AND AN EFFECTIVE DATE.

- Mayor MacFarlane will read the Ordinance title.
- Town Planner will explain Ordinance 2023-012.
- Mayor MacFarlane will open Public Comment and Questions for this item only.
- Mayor MacFarlane will close Public Comment.
- Motion to approve Ordinance 2023-012
- Council Discussion
- Roll Call Vote

- 5. Consideration and Approval: Lake-Sumter Metropolitan Planning Organization (MPO) / Florida Department of Transportation (FDOT) Letter in Support of Complete Streets Study**
- 6. Discussion: Lake County Sherriff Office (LCSO) Dispatch Agreement**
- 7. Discussion: Police Chief Leave**

DEPARTMENT REPORTS

- 8. Town Manager**

COUNCIL MEMBER REPORTS

- 9. Mayor Pro Tem Gallelli**
- 10. Councilor Lehning**
- 11. Councilor Miles**
- 12. Councilor Lannamañ**
- 13. Mayor MacFarlane**

PUBLIC COMMENTS

Any person wishing to address the Mayor and Town Council and who is not on the agenda is asked to speak their name and address. Three (3) minutes is allocated per speaker.

ADJOURNMENT

To Comply with Title II of the Americans with Disabilities Act (ADA):

Qualified individuals may get assistance through the Florida Relay Service by dialing 7-1-1. Florida Relay is a service provided to residents in the State of Florida who are Deaf, Hard of Hearing, Deaf/Blind, or Speech Disabled that connects them to standard (voice) telephone users. They utilize a wide array of technologies, such as Text Telephone (TTYs) and ASCII, Voice Carry-Over (VCO), Speech to Speech (STS), Relay Conference Captioning (RCC), CapTel, Voice, Hearing Carry-Over (HCO), Video Assisted Speech to Speech (VA-STs) and Enhanced Speech to Speech.

Howey Town Hall is inviting you to a scheduled Zoom meeting.

Topic: **Town Council Meeting**

Time: **Oct 23, 2023 06:00 PM Eastern Time** (US and Canada)

Join Zoom Meeting

<https://us06web.zoom.us/j/82600166011?pwd=Xd0f8vcKM2ba1dkwlhaCTgVfr6Dbkb.1>

Meeting ID: 826 0016 6011

Passcode: 495749

Dial by your location

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+1 346 248 7799 US (Houston)

Meeting ID: 826 0016 6011

Passcode: 495749

Find your local number: <https://us06web.zoom.us/j/kWTycqGP3>

Please Note: In accordance with F.S. 286.0105: Any person who desires to appeal any decision or recommendation at this meeting will need a record of the proceedings, and that for such purposes may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is based. The Town of Howey-in-the-Hills does not prepare or provide this verbatim record. Note: In accordance with the F.S. 286.26: Persons with disabilities needing assistance to participate in any of these proceedings should contact Town Hall, 101 N. Palm Avenue, Howey-in-the-Hills, FL 34737, (352) 324-2290 at least 48 business hours in advance of the meeting.



Town Council Meeting

October 09, 2023 at 6:00 PM

Howey-in the-Hills Town Hall 101
N. Palm Ave., Howey-in-the-Hills,
FL 34737

MINUTES

Mayor MacFarlane called the Town Council Meeting to order at 6:00 p.m.
Mayor MacFarlane led the attendees in the Pledge of Allegiance to the Flag.
Councilor Reneé Lannamañ delivered an invocation.

ROLL CALL

Acknowledgement of Quorum

MEMBERS PRESENT:

Councilor Reneé Lannamañ | Councilor David Miles | Councilor George Lehning | Mayor Pro Tem Marie V. Gallelli | Mayor Martha MacFarlane

STAFF PRESENT:

Sean O'Keefe, Town Manager | John Brock, Town Clerk | Rick Thomas, Police Chief | Tom Wilkes, Town Attorney | Tom Harowski, Town Planner | Morgan Cates, Public Works Director | Matt McDonald, Code Enforcement Officer | Fred DeVito, Finance Supervisor

AGENDA APPROVAL/REVIEW

Motion made by Councilor Lannamañ to approve the meeting's agenda; seconded by Mayor Pro Tem Gallelli. Motion approved unanimously by voice vote.

Voting

Yea: Councilor Lannamañ, Councilor Miles, Councilor Lehning, Mayor Pro Tem Gallelli, Mayor MacFarlane
Nay: None

CONSENT AGENDA

Routine items are placed on the Consent Agenda to expedite the meeting. If Town Council/Staff wish to discuss any item, the procedure is as follows: (1) Pull the item(s) from the Consent Agenda; (2) Vote on the remaining item(s); and (3) Discuss each pulled item and vote.

1. The approval of the minutes and ratification and confirmation of all Town Council actions at the September 25, 2023 Town Council Meeting.
2. The approval of the minutes and ratification and confirmation of all Town Council actions at the September 25, 2023 Town Council Public Hearing on Final Budget and Millage Rate.

3. The approval of the minutes and ratification and confirmation of all Town Council actions at the September 26, 2023 Town Council Workshop. (*Minutes were not ready for this meeting and were not voted on during the Consent Agenda*)

Motion made by Councilor Miles to approve only Item #1 and Item #2 (not Item #3); seconded by Councilor Lannamañ. Motion approved unanimously by voice vote.

Voting

Yea: Councilor Lannamañ, Councilor Miles, Councilor Lehning, Mayor Pro Tem Gallelli, Mayor MacFarlane

Nay: None

PUBLIC HEARING

None

OLD BUSINESS

4. Discussion: **Scope of October 30th Town Hall Meeting**

Councilor Lannamañ introduced this item and presented her proposed scope for the October 30th Town Hall Meeting. Councilor Lannamañ proposed four topics for discussion, which were:

- 1) What would they like to see accomplished moving into fiscal year 2024-2025?
- 2) Development to a Town or City is key in its sustainability, what is their definition of “sustainability”?
- 3) Do you think the Town should move forward with building a water plant to be maintained and ran by Howey in the Hills?
- 4) Name two (2) concerns you have regarding the well-being and sustainability of Howey in the Hills.

Councilor Miles asked if Topic Item #3 was supposed to be “Wastewater Plant” not “Water Plant”. It was confirmed by Councilor Lannamañ that wastewater was the focus of Topic Item #3.

Mayor Pro Tem Gallelli asked if there would be back-and-forth between the residents and the Town Councilors. It was confirmed that there would be (so that questions could be answered) as long as it was still confined to the 5-minute speaking limit proposed for this meeting.

Councilor Lannamañ proposed that Police Chief Thomas be made the moderator for the meeting. Councilor Miles preferred that the moderator be Mayor MacFarlane or the Town Manager, Sean O’Keefe. There was a consensus that Mayor MacFarlane would be the moderator for the meeting. It was also decided that Mr. O’Keefe would be the Timekeeper for the meeting.

Residents wishing to speak will need to fill out a comment card ahead of time and submit it to the Town Clerk. These comment cards will then be sorted by the topic that the resident would like to speak on. If a resident wanted to speak about multiple topics, they could, but they were still only allowed to speak once during the meeting for a total time of five minutes.

There was a consensus to remove the “two concerns” requirement in Topic item #4 and allow residents to speak about just one concern if they choose so. Also, it was decided that a fifth Topic Item would be created that covers miscellaneous topics.

Mayor MacFarlane opened Public Comment for this item.

Tim Everline, 1012 N. Lakeshore Blvd. – Mr. Everline suggested that, instead of talking about all topics together, topics should be discussed separately in five sections.

5. Discussion: **LDC/Comprehensive Plan - Status of Proposed Amendments**

Tom Wilkes, Town Attorney, introduced this item. Mr. Wilkes stated that a starting point for the proposed changes that the Town Council wanted to make in reference to development within the Town should start by amending the Town's Future Land Use Element of its Comprehensive Plan. Some of the proposed changes included changing the allowable density of house units from 4 units an acre to 3 units an acre and changing how the Town determines "open space" for a neighborhood.

Mr. Wilkes explained the process to change the Town's Comprehensive Plan included have a Public Hearing during a Planning and Zoning Board meeting and then two Public Hearings during Town Council Meetings (in which the Town Council would function as the Land Planning Agency). The first Public Hearing before the Town Council would be called a Transmittal Hearing, after which the proposed amendments to the Comprehensive Plan would be sent to the State of Florida's Department of Commerce for review. The second Public Hearing before the Town Council would be the final Adoption Hearing.

Both Mr. Wilkes and Town Planner, Tom Harowski, suggested, prior to starting the formal process of amending the Comprehensive Plan, that the Town Council should hold a Workshop to discuss the ramifications of the proposed changes.

Councilor Miles stated that he believed that proposed amendments to the Town's Comprehensive Plan should be enough to satisfy the State-required Evaluation and Appraisal Review (EAR) of the Comprehensive Plan (which is due for the Town by 10/1/2024). Mr. Wilkes and Mr. Harowski disagreed with Councilor Miles in that this amendment itself would not be enough to satisfy the EAR requirements.

Councilor Lehning wants a detailed timeline and schedule which would include all necessary components through completion of amendment process to be submitted to the Town Council at the proposed Workshop meeting. It was decided that the Workshop meeting would be scheduled for Wednesday, November 1, 2023.

Mayor MacFarlane opened Public Comment for this item. Seeing no public comments, Mayor MacFarlane closed Public Comment.

NEW BUSINESS

6. Discussion: **Planning Board Omnibus Recommendations Package**

Councilor Miles stated that he would like to discuss just the points that he disagreed with. Councilor Miles stated that he thought the current Town code relating to flagpoles was good enough and did not need to be changed. Councilor Miles disagreed with property owners needing to have to get a permit for installing flagpoles. Mayor MacFarlane stated that the only thing she saw from the proposed standards that should stay would be the required 5-foot setback from the property line. It was decided that the Ordinance would be written with the old regulation relating to flagpoles, but with the addition of "flagpoles shall have a minimum five (5) foot setback from all property lines".

Councilor Miles stated that, in section 2.03.03 **Townhomes**, he would like to see the minimum proposed requirement for the square footage of garages extended from 400 square feet to 441 square feet.

Councilor Miles stated, in section 7.10.00 **Approved Tree and Plant List**, that he did not want to see Laurel Oaks added to the list, and that Red Maple (which was already on the list) was a good alternative for it. Councilor Lannamañ stated that she would like to see Japanese Blueberry Trees added to the list.

Councilor Miles asked why there was a proposed change to 7.08.01 **Required Landscaping**, which changed the amount of required landscaping area from 50% to 60%. Town Planner, Tom Harowski, stated that, some years back, the Town had changed its Water Conservation rules to come more in alignment with the Water Management District's recommendations and that this is one of the changes that was adopted in the Town's Water Conservation Policy. Mayor MacFarlane stated, that the Town absolutely needed to make this change, otherwise it would be detrimental to the Town's renewal of its Consumptive Use Permit (CUP).

The next section that Councilor Miles wanted to discuss was 7.12.01 **Permit Required** (to remove a tree). Councilor Miles wanted to know if the proposed changes would require the Town to get a permit from itself to remove a tree in the right-of-way. Mayor MacFarlane stated the Town would not require itself to get a permit. Councilor Miles wanted to know if there would be a cost to get a permit to remove a tree. Mayor MacFarlane stated that she did not think there was a cost for that.

Mr. Harowski stated that he would make the changes that were discussed and submit them to the Town Attorney and Town Clerk so that they could begin writing the necessary ordinance.

7. Discussion: **Howey Police Department Management**

Councilor Lannamañ explained that she asked for this item to be added to the meeting's agenda. Councilor Lannamañ stated that she had been concerned about the Police Chief reporting to someone who does not have a law enforcement background, as opposed to them reporting to a Mayor or Commissioner. Councilor Lannamañ stated that, to change the reporting structure for the Police Chief, it would require a charter change for the Town, so this might be a topic for the Town to look at next year.

Mayor MacFarlane stated that she had been concerned about when the Town Manager had told the Police Chief to hold off on hiring an additional officer during the last year and that she thought that act was a safety concern. Mayor MacFarlane stated that she did not want to see this happen again in the future.

Town Attorney, Tom Wilkes, summarized an email that he had sent all the Town Councilors about changing the reporting structure of the Police Chief. Mr. Wilkes stated that it was a widespread practice within the State for municipalities with a Council/Manager form of government to have the Police Chief report to the Town Manager (as in the case of the current reporting structure in the Town's current charter). Mr. Wilkes stated that it was common practice to have all departments in the Town report to the Town Manager, with the expectation that, typically, the Town Attorney reports directly to the Town Council.

Councilor Miles stated that, in all of his years of experience, he has never seen a municipality with a Council/Manager or Strong Mayor form of government in which the Police Chief did not report directly to the Town Manager or Mayor. Councilor Miles stated that, if the Town Council was not happy with the way the Town Manager was running things, rather than change the Town's charter, the Town Council should fire the Town Manager, although he was not suggesting that they should. Councilor Miles reminded the other Town Councilors that, just a week and a half prior, all the Town Councilors had given the Town Manager a satisfactory rating on his annual review. Councilor Miles stated that there were just two employees that the Town Council directly controls, the Town Manager and the Town Attorney; all other Town employees report to the Town Manager.

Mayor MacFarlane stated that she did not want any personnel being called out or reprimanded for talking to the Town Councilors individually.

Councilor Lannamañ asked how 911 calls get communicated to the Police Department. Chief Thomas stated that the Town get dispatched through the Lake County Sheriff's Office. Chief Thomas stated that this would be a problem in the future. This was because the Sheriff was planning on instituting a fee for the dispatch service and the Town Manager had removed it from the Town's budget, stating that the Town was disputing the fee. Chief Thomas stated that the dispute with the dispatch fee was between Mr. O'Keefe, Mr. Wilkes, and the Sheriff.

Mr. O'Keefe explained that the dispute with the dispatch fee stemmed from a question of double taxation. Currently, the dispatch fee is paid by everyone in Lake County out of their county property taxes. Going forward, all county residents will not be charged anything in addition to the current costs already in the county taxes. The Sheriff is proposing that all residents in municipalities would have to pay an additional fee out of their municipal property taxes for the same service that the county residents receive. Mr. O'Keefe explained that the Sheriff proposed very late in the budget process to institute this charge on municipalities and, as such, they have given municipalities six months to start paying before the service would be terminated. The Town's discounted cost for the current fiscal year would be approximately \$10,000. Mayor MacFarlane stated that she believes that the Town Council should have been better notified that the budget for the fee had been removed.

Mayor MacFarlane opened Public Comment for this item.

Joshua Husemann, 671 Avila Pl. – Mr. Husemann believed that both the Police Chief and the Town Manager should be trusted.

Glennys Barber, 307 S Lakeshore Blvd. – Ms. Barber stated that she believed that the Police Department should have their own dispatch and that she believed the Howey police were leaving the Town too much and working outside of the Town too much.

DEPARTMENT REPORTS

8. Town Hall

The department report was included in the packet for the meeting.

9. Police Department

Police Chief Thomas noted that the department report was included in the meeting's packet. Chief Thomas stated that Officer Billy Johns had recently resigned from the Police Department and the Department would soon be doing interviews for his replacement. Chief Thomas also noted that the Department would be hiring a new part-time officer. Mayor MacFarlane told Chief Thomas to let the Town Council know if they needed to do anything to assist him with the hiring process.

10. Code Enforcement

Code Enforcement Officer McDonald noted that the department report was in the meeting's packet. Councilor Lehning stated that he would like to see more information in the report. Officer McDonald stated that he would add violators' addresses to next month's report.

11. Public Works

Morgan Cates, Public Works Director, said that he had discovered that it would cost between \$100,000 and \$125,000 to bring the Talichet Wastewater Lift station up to the Town's standards.

Mr. Cates announced that he expected to finish interviewing candidates for the new Public Works Admin. Assistant position within a week after the meeting.

12. Library

Library Director, Tara Hall, announced that new extended hours for the Town's library had started. The library would now be open Monday through Friday, 10am to 6pm, and on Saturdays, 10am to 3pm.

13. Parks & Recreation Advisory Board / Special Events

None

14. Town Attorney

None

15. Finance Supervisor

Mayor MacFarlane introduced the Town's new Finance Supervisor, Fred DeVito, to the Town Council.

16. Town Manager

Town Manager, Sean O'Keefe, announced that drilling had commenced on the new well (Well #5). Mr. O'Keefe announced that the Town would be giving a Tour of the work being done on Water Treatment Plant #3 to Senator Baxley at 10am on Wednesday, 10/25/2023.

COUNCIL MEMBER REPORTS

17. Mayor Pro Tem Gallelli

Mayor Pro Tem Gallelli asked if the Town Manager had any new information about the potential sale of land to the Lake County Fire Department. Mr. O'Keefe stated there was no new information.

Mayor Pro Tem Gallelli asked for an update on the Citrus Ave. road project.

18. Councilor Lehning

Councilor Lehning stated that he would like to see an agenda item for the next meeting that included the Town Council collectively approving a letter to the Lake-Sumter MPO and Florida Department of Transportation to support a study creating a bypass around the Town.

19. Councilor Miles

Councilor Miles spoke about the Citrus Avenue paving project. Councilor Miles stated that he had spoken with representatives from the Howey Mansion, and they would like to see the project happen during the slow time for the Mansion, which would occur after April. Councilor Miles also stated he would like to see Citrus Ave. rebuilt at a width of 24 feet. Councilor Miles stated that the sidewalks that were in front of the Howey Mansion were in terrible condition, and it was said that they should be fixed when the road project happens.

Councilor Miles stated that, for every hardwood tree that was removed when redoing the intersection of Citrus Ave. and Camellia, the Town should replant two 3" caliper oak trees on the right-of-way on Citrus Ave. on the Howey Mansion side of the road. Councilor Miles also stated that any royal palm tree that was in the affected area of the Citrus Ave. and Camellia intersection, those trees should be dug up and replanted somewhere else in the town.

Councilor Miles started a conversation about the status of wastewater projects and sites. During this conversation, Councilor Miles stated that the Town Engineer would be sending people into the Town's old landfill site to do core drillings to see about the suitability of using that site as a park. Councilor Miles stated that the property owners that were discussing donating the 5-acre wetland parcel off Number Two Road wanted to have a park named after them. Councilor Miles stated that the old landfill parcel would be ideal, but that Pine Park would be the second choice. Councilor Miles stated that he would like to have an agreement with the landowners looking to donate the land brought before the Town Council by December.

Councilor Miles stated that another Town Councilor had sent an email to the Mayor and other Town Councilors and that this was a violation of Florida's Sunshine law. Councilor Miles asked the other members of the Town Council to not violate the Florida Sunshine law and, in the future, to refrain from sending emails to other Town Councilors or the Mayor.

20. Councilor Lannamañ

Councilor Lannamañ stated that she had unintentionally violated the Sunshine law by sending the email to the Mayor. Councilor Lannamañ asked for kindness and decorum in the meeting.

21. Mayor MacFarlane

Mayor MacFarlane reminded the Councilors that Senator Baxley would be touring the well drilling site on October 25, 2023, at 10am and asked for the other Town Councilors to attend the tour as well.

Mayor MacFarlane stated the Parks and Recreation Board needed to make the designing and building of Pine Park their top priority. Morgan Cates, Public Works Director, stated that, at the October Parks and Recreation Board meeting, one of the agenda topics was the creation of the RFP for the design of Pine Park. Mayor MacFarlane would like to see the construction of the entrance to the park start soon.

Mayor MacFarlane stated that she would like to see the Parks and Recreation Board discuss a tree plan. She would also like the board to come up with a plan on how to maintain newly planted trees.

Mayor MacFarlane told the Town Manager that representatives from Halff and the Town's Engineer needed to be invited to Senator Baxley's well tour.

PUBLIC COMMENTS

Any person wishing to address the Mayor and Town Council and who is not on the agenda is asked to speak their name and address. Three (3) minutes is allocated per speaker.

Tim Everline, 1012 N. Lakeshore Blvd. – Mr. Everline asked if the Town Hall Office Supervisor had been hired.

Beth Flack, 607 N. Florida Ave. – Mrs. Flack read a statement that she had composed stating that she wanted a public apology from Councilor Miles in reference to Councilor Miles calling the Friends of the Library a "slush fund" for Library Director, Tara Hall, and for the way Councilor Miles spoke to Mrs. Flack during the September 11, 2023, Town Council Meeting. Mrs. Flack also wanted the Town Council to give a Public Reprimand to Councilor Miles for his behavior during the September 11, 2023, Town Council Meeting. Mrs. Flack also stated that she did not believe that the minutes for the September 11, 2023, Town Council Meeting were descriptive enough about what Councilor Miles had said during the meeting.

Azure Botts, Former Code Enforcement Officer for the Town of Howey-in-the-Hills – Mrs. Botts was upset at what the Town Council had decided in relation to flagpoles during this meeting's discussion on the LDC Omnibus and she wanted the Town Council to reconsider.

ADJOURNMENT

There being no further business to discuss, a motion was made by Councilor Lannamañ to adjourn the meeting; Mayor Pro Tem Gallelli seconded the motion. Motion was approved unanimously by voice vote.

The Meeting adjourned at 8:36 p.m. | **Attendees: 38**

Mayor Martha MacFarlane

ATTEST:

John Brock, Town Clerk



Town Council Workshop

September 26, 2023 at 1:00 PM

Howey-in-the-Hills Town Hall
101 N. Palm Ave.,
Howey-in-the-Hills, FL 34737

MINUTES

Mayor MacFarlane called the Town Council Workshop to order at 1:00 p.m.

ROLL CALL

Acknowledgement of Quorum

MEMBERS PRESENT:

Councilor Reneé Lannamañ | Councilor George Lehning | Mayor Pro Tem Marie V. Gallelli | Mayor Martha MacFarlane | Councilor David Miles (via Zoom Phone Call)

STAFF PRESENT:

Sean O'Keefe, Town Manager | John Brock, Town Clerk

NEW BUSINESS

1. Discussion: **Town Manager Annual Review**

Mayor MacFarlane acknowledged that this was the first time that the Town Council had performed an annual review on a Town Manager. Sean O'Keefe, Town Manager, gave a brief opening statement.

Mayor Pro Tem Gallelli reviewed her comments that she had made in Mr. O'Keefe's review.

Both Councilor Lannamañ and Mayor MacFarlane stated that the Town should create a Mission Statement (as the Town currently does not have one) and a new logo.

Mayor Pro Tem Gallelli asked Mr. O'Keefe what personal goal he had that wasn't given by the Town Council. Mr. O'Keefe stated that he would like to see the Town's Personnel Policy updated.

Councilor Lehning stated that, overall, he believed Mr. O'Keefe had done a good job, but there were times that he needed to be more assertive with his direct reports.

Councilor Lannamañ stated that she had heard that the previous Finance Supervisor had said, "That's not my job," in the presence of Mr. O'Keefe and believes that Mr. O'Keefe should have taken issue with that statement at the time, with more immediate feedback.

Councilor Lannamañ asked about how often staff meetings occur. Mr. O’Keefe stated that he holds bi-weekly Director meetings. Councilor Lannamañ suggested that Mr. O’Keefe hold joint staff meetings with all Town employees every 6 months or once a year.

Councilor Miles stated that he believed Mr. O’Keefe has done a satisfactory job during the past year.

Mayor MacFarlane stated that she had overheard Sean speaking with Mayor Pro Tem Gallelli at a luncheon and Mr. O’Keefe had stated that looking for grants was not in his job description, but she reminded Mr. O’Keefe that looking for grants had been in his Town Administrator job description, and he should still be doing this. Mr. O’Keefe apologized and stated that he may have given a quick answer in a moment and that he was currently working this year’s plan for a schedule of grant applications and that grant writing was a team effort.

Mayor MacFarlane wanted to know when the Town had signed away its rights to Lake County for CDBG grants.

Mayor MacFarlane suggested that more team building exercises and sharing of information should be done in the Town.

Mayor MacFarlane stated that, normally, the Police Chief does not report to the Town Manager, but that they report directly to the town or city council. Mayor MacFarlane stated that she believes that this is something the Town Council should look at in the future.

PUBLIC COMMENTS

Any person wishing to address the Mayor and Town Council and who is not on the agenda is asked to speak their name and address. Three (3) minutes is allocated per speaker.

Tim Everline, 1012 N Lakeshore Blvd. – Mr. Everline was concerned about the Town’s increase in budget from the previous year. Mr. Everline was concerned about how the Town spent \$300,000 of its ARPA money.

Mr. Everline was concerned that the Finance Supervisor had quit during the last year and that the Town Clerk had received a 19% raise.

Mr. Everline said he thought Mr. O’Keefe was too quiet during meetings.

Mr. Everline stated that he believed meeting packets came out too late and that there had been too much of a delay reviewing and amending the Town’s Land Development Code and Comprehensive Plan.

Mr. Everline stated that he doesn’t like the Town Planner’s vision for the Town.

Jim Steele, 1003 N. Temple Ave. – Mr. Steele stated that he thinks Mr. O’Keefe is a great asset to the Town and is doing a great job.

Mr. Steele stated that, if a department director goes to the Town Council directly (over Mr. O’Keefe’s head), this was a bad thing. Mr. Steele said that he hoped this doesn’t happen.

Mayor MacFarlane stated that she believed that the Town Council should establish the role of the Town Manager. Mayor MacFarlane stated that, rather than have the Town Manager introduce or explain items during the Town Council Meetings, the subject matter experts, such as the Town Planner, Town Attorney, or Town Engineer, should be introducing the items. The expectation should be that the Town Manager should manage the process.

Mayor MacFarlane stated that she thought the cycle of reviews should be changed so that they are completed right before the budget cycle begins. Mid-year reviews should be completed in October and final reviews should be completed in April.

DRAFT

ADJOURNMENT

There being no further business to discuss, a motion was made by Councilor Lannamañ to adjourn the meeting; Mayor Pro Tem Gallelli seconded the motion. Motion was approved unanimously by voice vote.

The Meeting adjourned at 2:00 p.m. | **Attendees: 17**

Mayor Martha MacFarlane

ATTEST:

John Brock, Town Clerk



TMHConsulting@cfl.rr.com
97 N. Saint Andrews Dr.
Ormond Beach, FL 32174
PH: 386.316.8426

MEMORANDUM

TO: Howey-in-the-Hills Town Council
CC: J. Brock, Town Clerk
FROM: Thomas Harowski, AICP, Planning Consultant
SUBJECT: Hillside Groves Phase 1 Final Subdivision Plan
DATE: October 3, 2023

The Town has received an application for final subdivision approval for Phase 1 of the Hillside Groves mixed use development. This project, formerly known as The Reserve, was approved in its current form following a major amendment to the original development approval. The amended project was approved by the Town Council at their regular meeting of October 24, 2022. The submittal of a request for final subdivision approval is the next logical step in the development process. The Planning Board reviewed the application at their regular meeting of September 28, 2023, and recommended approval of the final subdivision plan.

Review Process and Project Status

The Town's process for Village Mixed Use developments includes approval of planned unit development agreement that sets out the concept plan for the development and any specific parameters that will govern the project in addition to the Town's land development regulations. Once the development agreement is approved (October 24, 2022, in this case) the project can proceed to a preliminary subdivision plan for any lots to be created or a site plan for any non-residential development. In this case the preliminary subdivision plan was approved at the same time as the amended development agreement. As noted above, the next step in the process is the final subdivision plan.

The final subdivision plan is the point in the development process where detailed engineering for streets, utilities, stormwater facilities and any other subdivision improvements are completed. The review process for a final subdivision plat is to check the design for compliance with Town standards and compliance with general engineering design principles. The plan is compared with the preliminary subdivision plan to verify that the design as submitted is consistent with the preliminary subdivision plan. The layout of streets, lots, and other site arrangements of land in the project is done at the preliminary subdivision phase. So long as the final subdivision plan is consistent with the preliminary subdivision plan, the review is basically a technical evaluation.

The Reserve project includes 378 acres. Phase One encompasses 140 acres or 37% of the total project area. The overall project includes residential development in four phases using the Hillside Groves name, commercial development, and a civic use tract. The Town has previously approved a site plan for the Howey Self Storage mini-warehouse project located on SR 19 just south of the Florida Avenue intersection. The Howey Self Storage project is part of the larger Reserve development. At this time the Howey Self Storage Project has not sought a permit for construction. Hillside Groves is the residential portion of The Reserve project with this application seeking approval for the final subdivision plan for phase one. The first phase residential development includes 245 units or about one-third of the residential unit total of 728.

Final Subdivision Plan

The final subdivision plan is the last step before the project is authorized for construction. The project has reserved sewage treatment capacity with the Central Lake Community Development District, and the final subdivision plans show the sewage collection system that will support the project. The Town has adequate potable water capacity to support the project and the final subdivision plans include designs for extending water service to the site and for serving individual lots. The traffic study found the affected roadway segments have adequate capacity to operate within the designated level of service for phase one and for the project at buildout. The traffic study recommended turn lanes at the project entrance on SR-19 which will be provided in accordance with FDOT permitting, and the project will include turn lanes at the intersection with Number Two Road as required by Lake County. Additional right-of-way dedication is also required by Lake County. The stormwater plan meets current state and Town requirements per the engineering review. Due to the age of the project it is exempt from Lake County School concurrency.

The first phase of the project includes the central collector road and residential neighborhoods in the center of the project as shown on the accompanying diagram. The first phase residential component includes 129 units on 50 x 80 foot lots and 116 units on 50 x 115 foot lots. This phase also includes stormwater systems and utilities to support the residential development. Some of the utility work will be off-site to extend water and sewer systems from the current plant locations.

The project was reviewed by the Development Review Committee at several meetings with the last review conducted on August 10, 2023. Following that DRC meeting the applicant made final adjustments that were reviewed by the Town engineer and found to be in compliance with the Town code and engineering practice.

Final subdivisions are required to begin construction within 18 months of final approval by the Town, unless the project is granted a time extension. The applicant will be required to submit permits from state and local agencies including:

- Florida DEP for water and sewer system construction
- Florid DEP for wetland impacts
- FDOT for improvements within the SR 19 right-of-way
- Lake County for improvements within the Number Two Road right-of-way

- St Johns River Water Management District for stormwater systems
- An NPDES permit is also required for runoff control during construction

At the August 19, 2023 Development Review Committee meeting Mr. Miles submitted a list of eight questions about the proposed plan set. The applicants were asked to provide a response for each of these items. The response from the project engineer is included in the agenda packet. These comments were discussed as part of the Planning Board meeting including the formal response submitted by the applicant and comments from staff. The Planning Board did not direct any changes to the plan based on this discussion. There may still be some open issues so far as Mr. Miles is concerned, and he will discuss these at the Town Council meeting.

Recommendation

The final subdivision plan is consistent with the approved preliminary subdivision plan, and the Town's engineering consultant has found the plans to meet the Town's design requirements and good engineering practice. The recommendation is to approve the final subdivision plan.

September 15, 2023

Tom Harowski
Representing the Town of Howey in the Hills
97 N. Saint Andrews Dr.
Ormond Beach, FL 32174

RE: Hillside Groves Subdivision: Comment Response Letter

Dear Mr. Harowski:

This letter is written to address the comments found in your September 11, 2023 email where you tabulated comments from recent public meetings. Below are the listed comment, follow by our response in **bold**.

1) Need to address improvements to Number Two Road to the west of the entrance to road A.

The turn lane on Number 2 Road is show on the civil engineering plan set by our firm.

2) The road A collector road is over 8/10 of a mile long and plans have only 16 streetlights (8 on each side of the road). Councilor Miles would like to see this doubled to 32 streetlights.

The final street light locations will be designed at a later date and be in accordance with photometric standards and other jurisdictional standards related to light levels and other factors.

3) There is no entrance sign to the development off of Number Two Road.

The location and type of an entrance sign from Number 2 Road is at the discretion of the developer and may be installed in future phases.

4) Along much of Road A there is no irrigation provided, with Bahia grass being used. Councilor Miles thinks it needs to be irrigated.

Please reference the 500 series landscape sheets that shows full irrigation of the green space on Road A.

5) The L403 tract P had a pump station buffered only with landscaping. Councilor Miles stated that he wants it to have a 6-foot-high chain link fence (black or green coated) surrounding it.

Sheet 16 of the civil engineering set shows a standard detail with a 6' chain link fence in compliance with town code.

6) Unnamed amenity on tract R, Councilor Miles would like to know what this is.

The layout for the amenity has not yet been designed. The amenity plan will be submitted to the town at a later date.

7) On the Property's northwest corner is a townhouse tract, with more than 50 units. Councilor Miles would like a second ingress/egress point that is not an emergency entrance.

This access is shown on sheet 3 of the civil plan set. The councilor likely was referring to the landscape drawing set that did not show this connection. The landscape drawing base will be updated prior to construction. Note that the townhomes are in phase two and not part of these engineering approvals. Landscape drawings will be refined with the construction of phase two. The master site plan shown on sheet 3 were recently updated to show all requested connections in the approved preliminary site plan approved by the town.

8) At the south junction of Road A the commercial area is only showing 3 lanes and it should have two north and two south bound lanes (as shown the last time this item came before the Town Council).

FDOT staffers commented that the four-lane configuration would not be allowed. The consultant team held meetings with agency staffers to settle on the design shown today. The current design allows for one lane into the site via "ROAD A". Leaving the site is a through/left turn lane and an exclusive right turn lane. This is now a three-lane roadway where the site accesses S. Palm Avenue. FDOT has approved the construction drawings as an adequate access width.

For traffic coming from S. Palm Avenue, the commercial parcel is served by a four-lane section at the four-way intersection. An exclusive right lane and exclusive left lane are used for the patrons of the commercial area for access. This allows unrestricted through movements for vehicles entering and exiting the subdivision. For vehicles traveling toward S. Palm Avenue, they have access to a three-lane configuration. This offers through movements into the subdivision, exclusive left turns into the commercial site from the subdivision, and a through/right turn lane for vehicles leaving the subdivision and/or accessing the commercial site

Thank you for the opportunity to offer these responses, Please let me know if you have any questions. I can be reached at 904.265.3030 or at eevans@cwienq.com.

Sincerely,

Eric D. Evans, PE
Senior Project Manager



TOWN OF HOWEY-IN-THE-HILLS, FLORIDA
GENERAL LAND DEVELOPMENT APPLICATION

101 N. Palm Avenue, Howey-in-the-Hills, Florida 34737
 Phone: (352) 324-2290 • Fax: (352) 324-2126

Date Received:

Application ID:

Received By:

REQUESTED ACTION

- | | | |
|---|--|---|
| <input type="checkbox"/> Comp Plan Amendment | <input type="checkbox"/> Variance | <input type="checkbox"/> Site Plan (check one below) |
| <input type="checkbox"/> PUD | <input type="checkbox"/> Rezoning | <input type="checkbox"/> Preliminary |
| <input type="checkbox"/> Conditional Use | <input type="checkbox"/> Subdivision Minor | <input type="checkbox"/> Final |
| <input type="checkbox"/> Land Development Code Text | <input type="checkbox"/> Other | <input checked="" type="checkbox"/> Subdivision (check one below) |
| | | <input type="checkbox"/> Preliminary Subdivision |
| | | <input checked="" type="checkbox"/> Final Subdivision |
| | | <input type="checkbox"/> Final Plat |

Describe Request: _____

APPLICANT INFORMATION:

Name: William (Bill) Ray, AICPE-Mail: WRAYASSOC@AOL.COMAddress: 2712 SE 29th St, Ocala, FL 34471Phone: 352-425-8881 Fax: _____☐ Owner☒ Agent for Owner☐ Attorney for Owner

OWNER INFORMATION:

Name: EASTON & ASSOCE-Mail: ejeaston@theeastongroup.comAddress: 10165 NW 19th St
MIAMI, FL 33172Phone: 786-437-5806

Fax: _____

PROPERTY INFORMATION:

Address: _____

General Location: SOUTH of No. 2 RD - NORTH of SR 19Current Zoning: PUDCurrent Land Use: VMAParcel Size: 375.2 A.C.

Tax Parcel #: _____

Legal Description Attached ☒ Yes ☐ NoSurvey Attached ☒ Yes ☐ NoPre-Application Meeting Date: _____
(Attach Pre-Application Form)

Application Fee: \$ _____

Applicant's Signature: William A. Ray AICP
(Signature) (Date)WILLIAM (BILL) A. RAY AICP
(Print)Owner's Signature:
(Provide letter of
Authorization)E 7-28-23
(Signature) (Date)Edward J. Easton
(Print)

Applications must be complete to initiate the review process.

Hillside Grove

PHASE 1 - COMMUNITY
LANDSCAPE ARCHITECTURE

Prepared For:

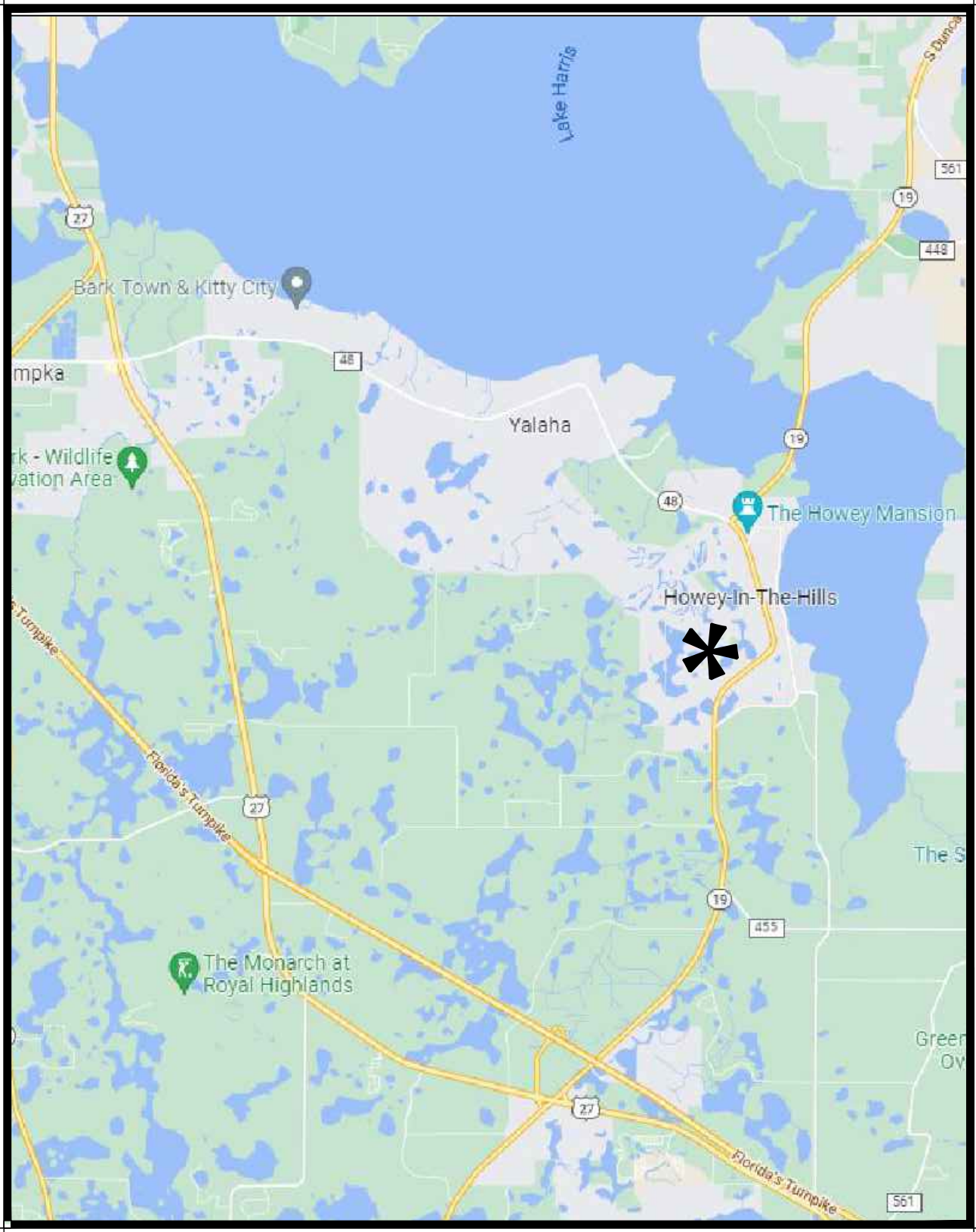
EASTON & ASSOCIATES
HOWEY-IN-THE-HILLS, FLORIDA

DEVELOPER / OWNER:
EASTON & ASSOCIATES
10165 NW 19th ST
Miami, FL 33172

PROJECT CIVIL ENGINEER:
CONNELLY & WICKER, INC.
10060 Skinner Lake Drive, Suite 500
Jacksonville, FL 32246
Contact: Rick Welch, P.E.
phone: 904.265.3030

LANDSCAPE ARCHITECT:
BONNETT DESIGN GROUP, LLC
400 South Orlando Ave. Suite 201
Maitland, FL 32751
Contact: Todd W. Bonnett, RLA, LEED AP, CNU-a
phone: 407.622.1588

IRRIGATION DESIGNER:
SPADE IRRIGATION DESIGN
307 Dubsdread Circle
Orlando, Florida 32804
Contact: Larry W. Spade, PLA, CID
phone: 407.896.3904



LOCATION MAP
not to scale

SHEET INDEX:

L000	COVER SHEET	L500	OVERALL IRRIGATION PLAN
L100	DIGITAL SIGNATURE PAGE	L501	IRRIGATION PLAN
		L502	IRRIGATION PLAN
L200	LAYOUT PLAN	L503	IRRIGATION PLAN
L201	LAYOUT PLAN	L504	IRRIGATION PLAN
		L505	IRRIGATION PLAN
L301	HARDSCAPE DESIGN PLAN	L506	IRRIGATION PLAN
		L507	IRRIGATION PLAN
L400	OVERALL LANDSCAPE PLAN	L508	IRRIGATION PLAN
L401	LANDSCAPE PLAN	L509	IRRIGATION PLAN
L402	LANDSCAPE PLAN	L510	IRRIGATION DETAILS & NOTES
L403	LANDSCAPE PLAN		
L404	LANDSCAPE PLAN		
L405	LANDSCAPE PLAN		
L406	LANDSCAPE PLAN		
L407	LANDSCAPE PLAN		
L408	LANDSCAPE PLAN		
L409	LANDSCAPE PLAN		
L410	LANDSCAPE DETAILS & NOTES		

Applicable Codes, Regulations, Ordinances and Standards

Town of Howey-In-the-Hills

Rev City Comments 2023-06-26
Rev City Comments 2022-11-17
Rev City Comments 2022-09-29
May 27, 2022

2021.195



BONNETT design group, llc
landscape architecture . community planning
FL # LC26000341
400 South Orlando Ave. Suite 201 . Maitland, FL 32751
407.622.1588 voice . 407.358.5363 fax
www.BonnettDesignGroup.com



Z:\SHARED\BONNETT DESIGN GROUP, 2021\2021.195_L1EN - THE RESERVE AT HOWEY IN THE HILLS\DESIGN\2021.195_L1EN - HILLSIDE GROVE_PHL_LABASE.DWG
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THIS DOCUMENT HAS BEEN DIGITALLY SIGNED AND SEALED BY:

TODD W. BONNETT, RLA

ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED
THE SIGNATURE MUST BE VERIFIED ON THE ELECTRONIC DOCUMENTS.

BONNETT DESIGN GROUP, LLC
400 S. ORLANDO AVE, SUITE 201
MAITLAND, FL 32751
FLORIDA REGISTRY: BONNETT DESIGN GROUP, LLC LA0001718
TODD W. BONNETT, RLA, FL LA0001718

THE ABOVE NAMED PROFESSIONAL LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE
FOR THE FOLLOWING SHEETS IN ACCORDANCE WITH RULE 61G10-11.011, F.A.C.

INDEX OF SHEETS	
SHEET	TITLE
L001	COVER
L100	DIGITAL SIGNATURE
L200-L201	LAYOUT PLAN
L301	HARDSCAPE DESIGN PLAN
L400	OVERALL PHASING PLAN
L401-409	LANDSCAPE PLANS
L410	LANDSCAPE DETAILS & NOTES
L500-509	IRRIGATION PLANS
L510	IRRIGATION DETAILS & NOTES



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Signature
es
FLORIDA
PAGE

This item is signed and sealed by Todd W. Bonnett, RLA. Signature is printed on this document. Printed copies of this document are not considered the signature of the signatory.

Hills
Landscape
Easton
HOWEY-IN-THE-HILLS
DIGITAL

PHASE 1

DATE: May 27, 2022
DRAWN BY: RTM
CHECKED BY: TWB
JOB NUMBER: 2021.195

FILE NAME: 2021.195_L1EN - HILLSIDE GROVE_PHL_LABASE

REVISIONS:
City Comments 09-29-2022
City Comments 11-17-2022
City Comments 06-23-2023

L100

Todd W. Bonnett, RLA #LA0001718



BONNETT design group, llc
landscape architecture
community planning
FL LC 26000341

400 South Orlando Ave, Suite 201
Maitland, FL 32751
407.622.1588 voice

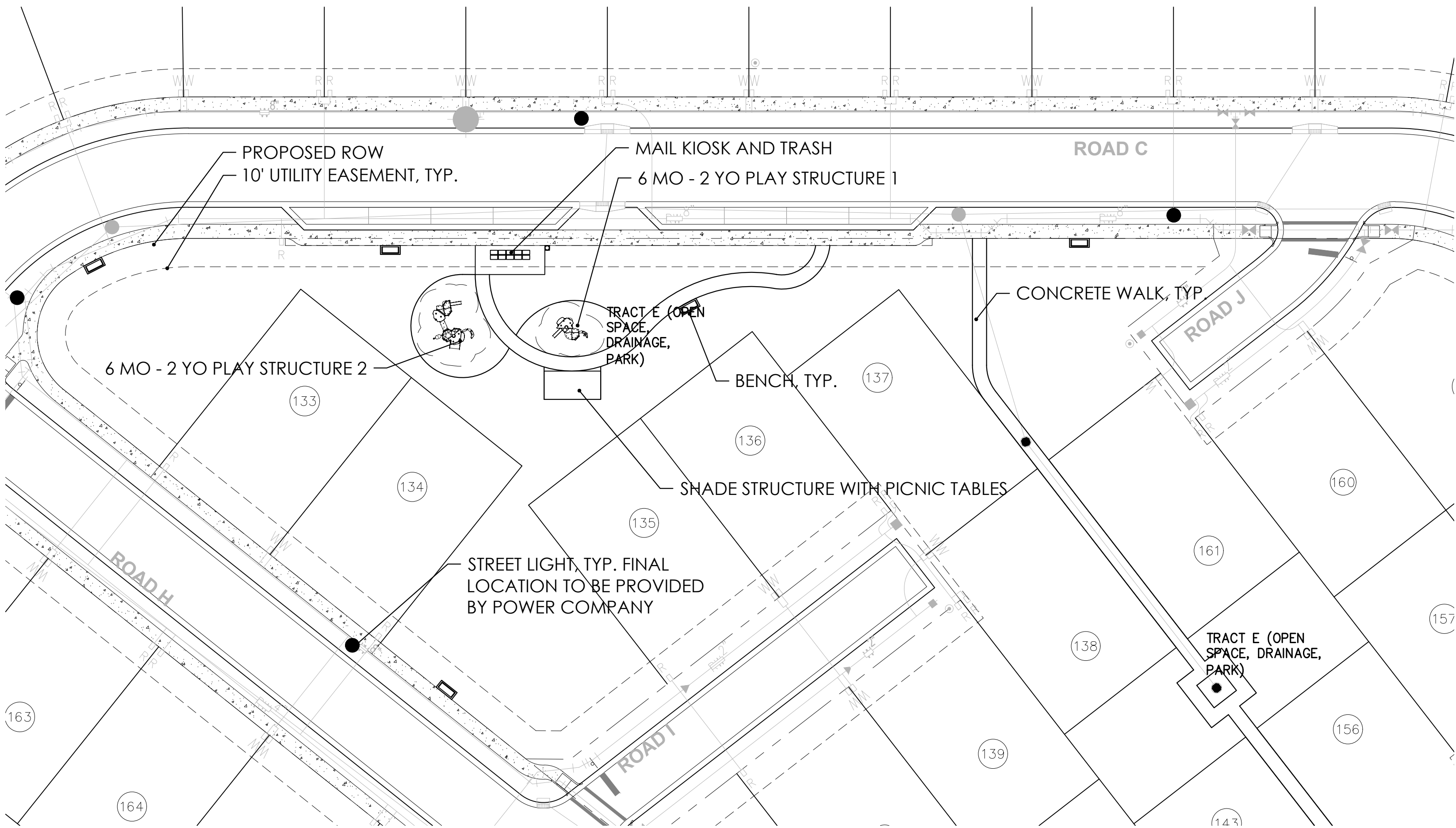
Hillside Grove
Landscape Architecture
Easton & Associates
HOWEY-IN-THE-HILLS, FLORIDA
LAYOUT PLAN

PHASE 1

DATE: May 27, 2022
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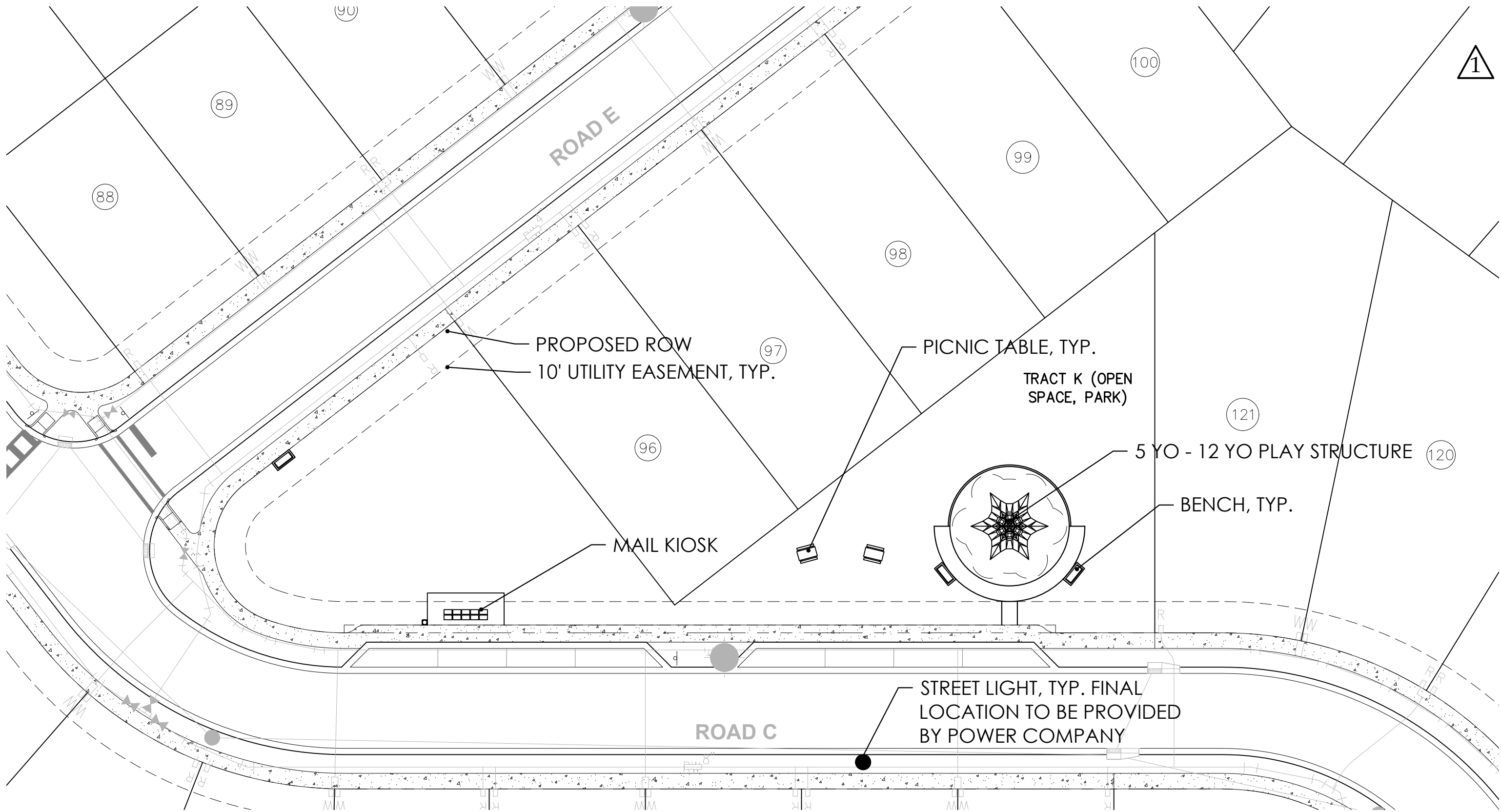
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△	City Comments 11-17-2022
△	City Comments 06-23-2023

L200

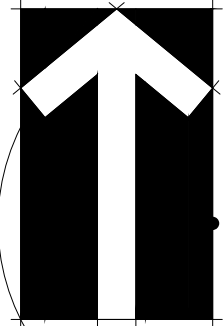
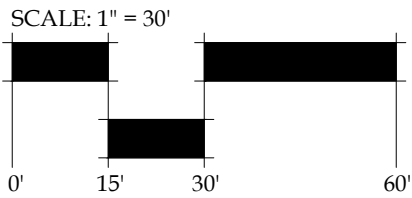


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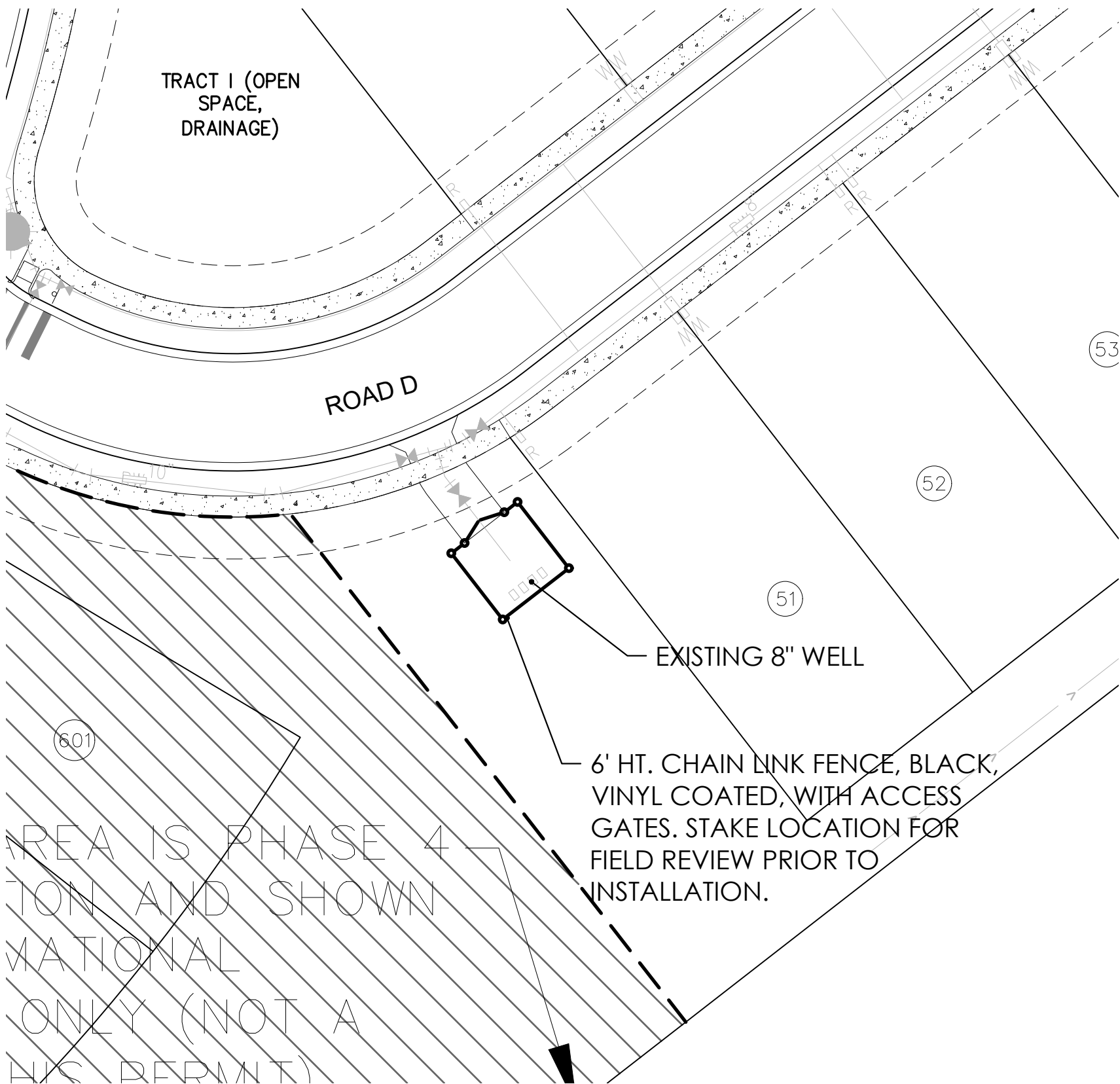
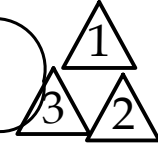
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KEY MAP



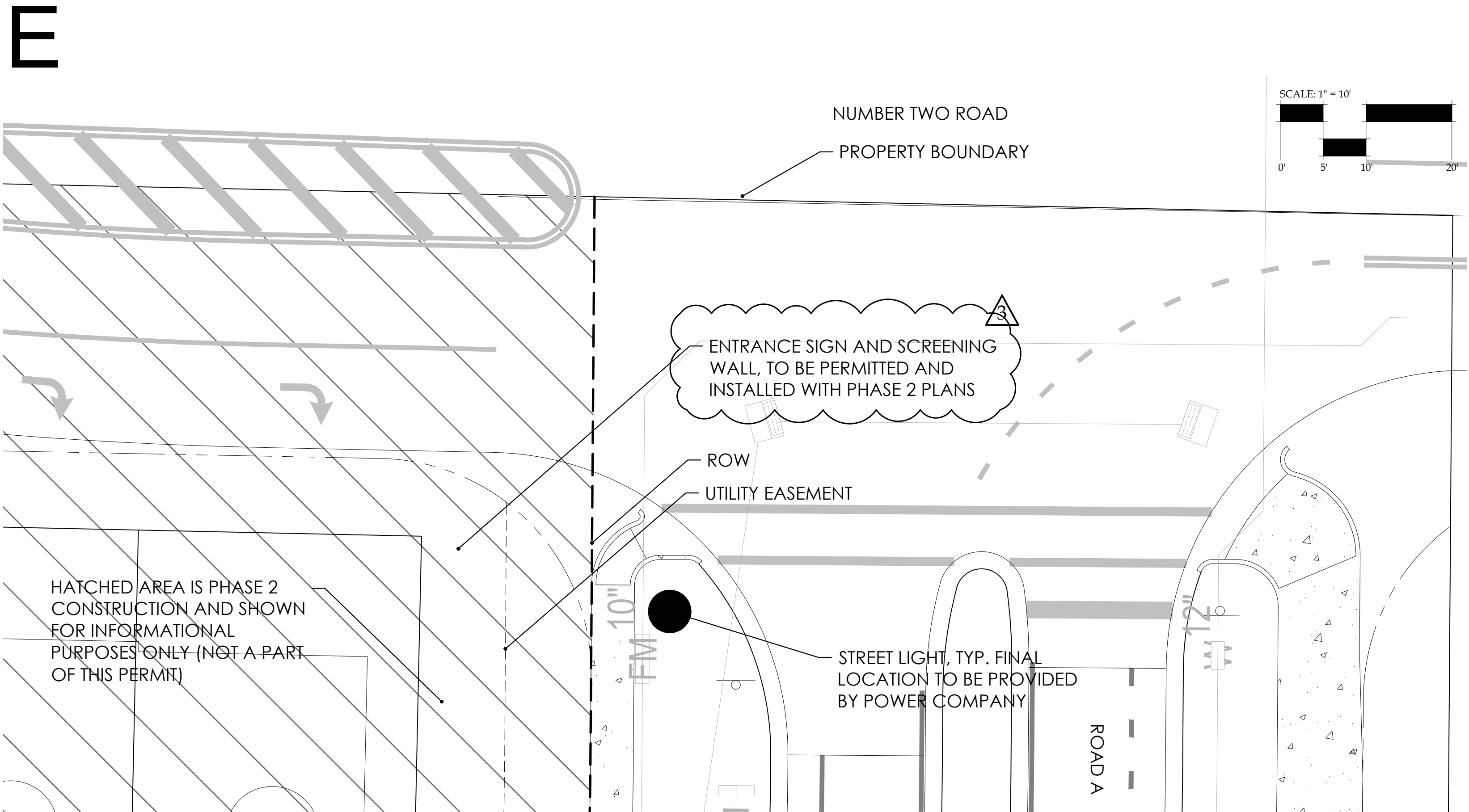
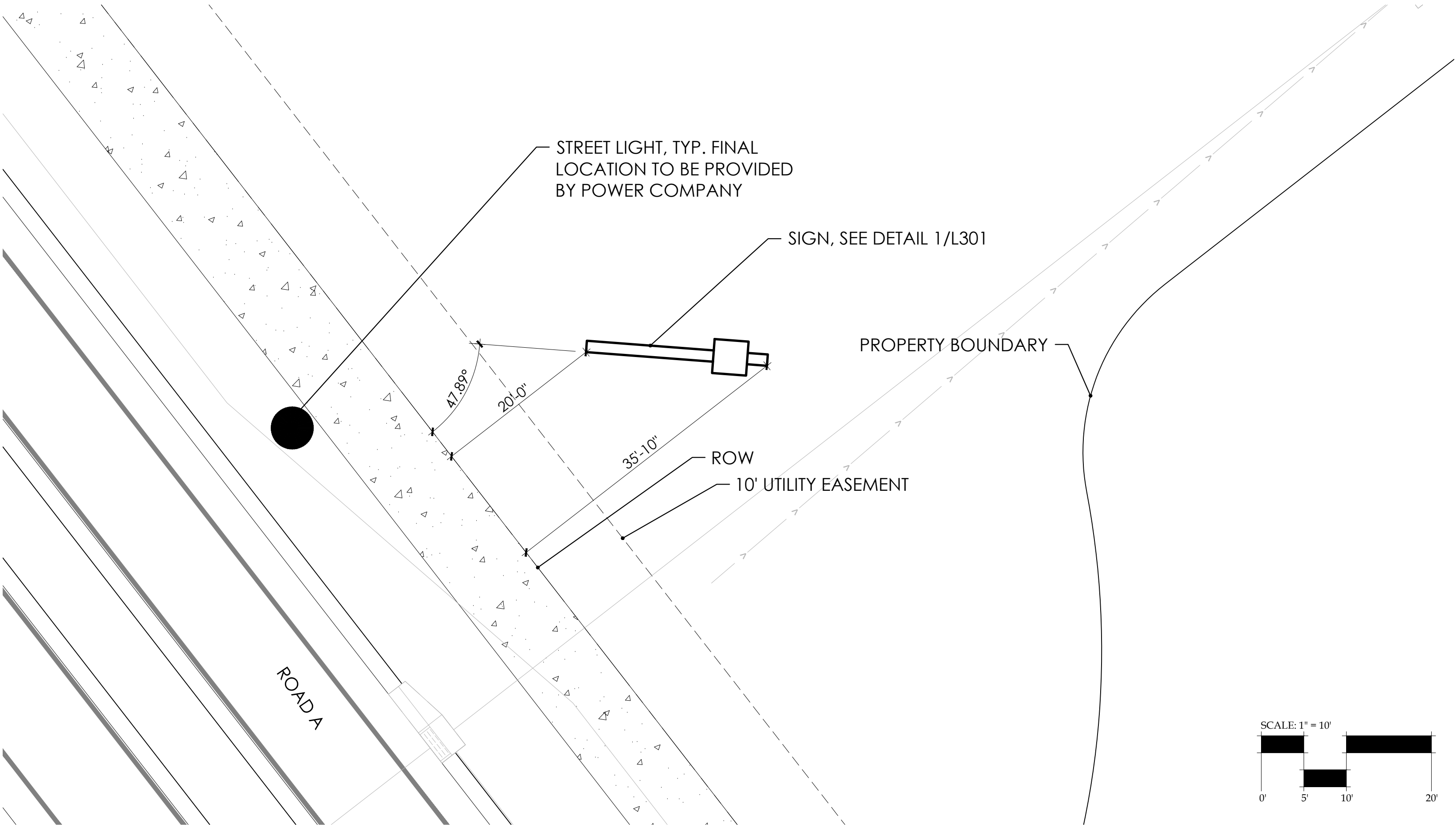
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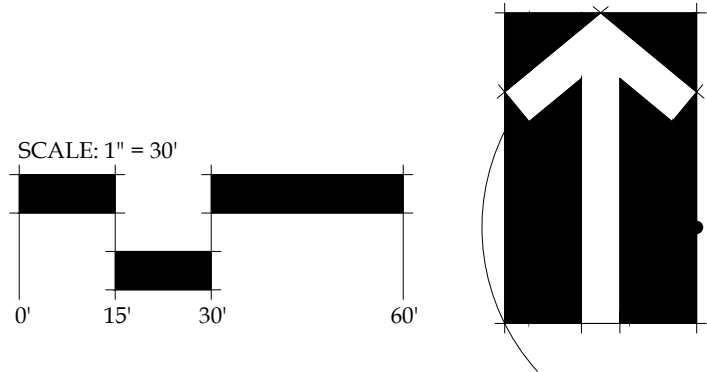
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KEY MAP



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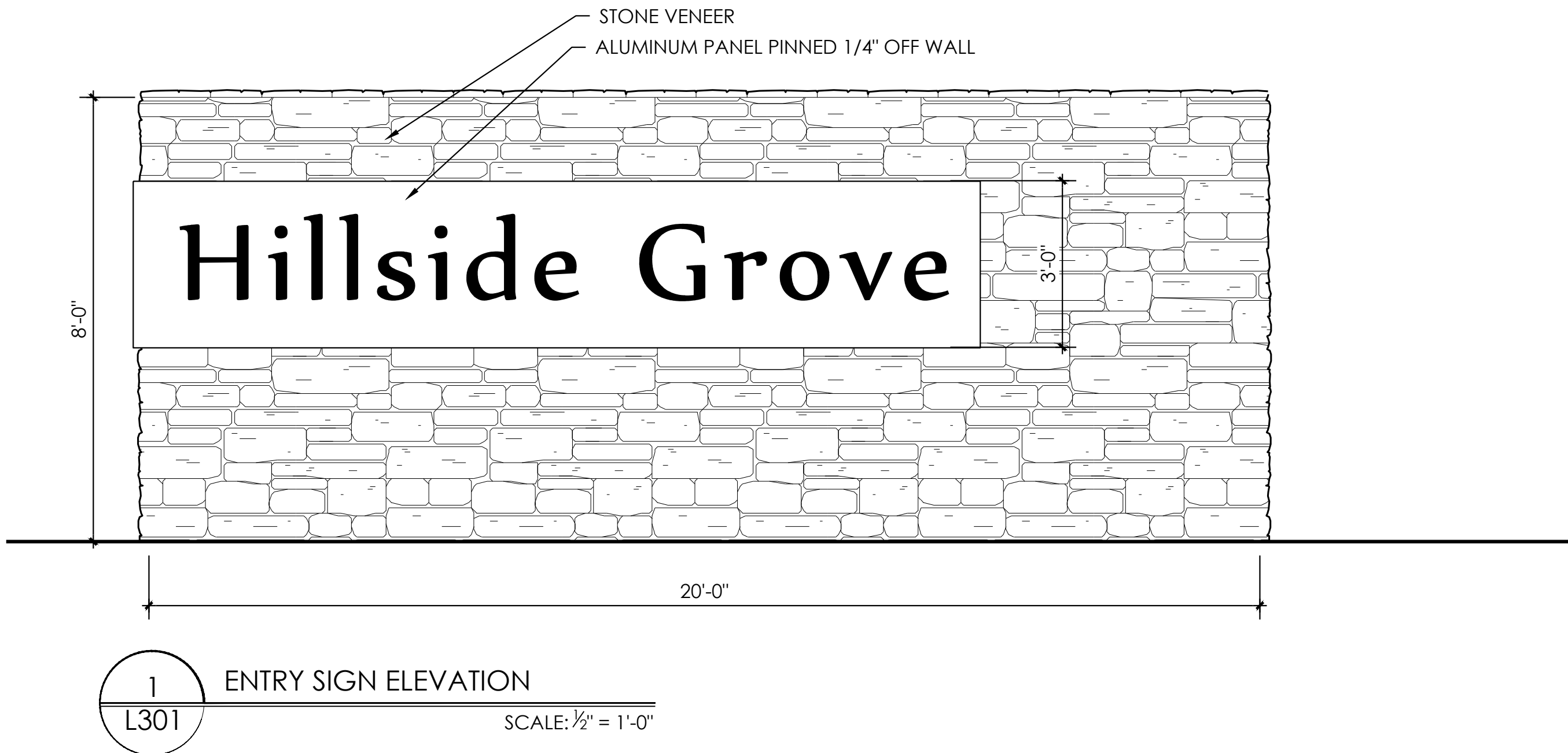
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Maitland, FL 32751
407.622.1588 voice

Hillside Grove
Landscape Architecture
Easton & Associates
HOWEY-IN-THE-HILLS, FLORIDA
LAYOUT PLAN

PHASE 1

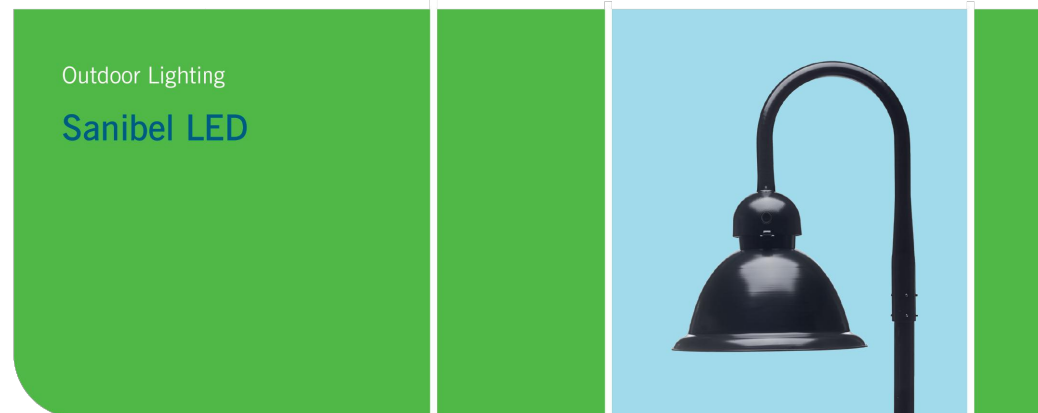
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DRAWN BY:	RTM
CHECKED BY:	TWB
JOB NUMBER:	2021.195
FILE NAME:	2021.195_LEN - HILLSIDE GROVE_PHL_LABASE
REVISIONS:	
△	City Comments 09-29-2022
△	City Comments 11-17-2022
△	City Comments 06-23-2023

L201



1 ENTRY SIGN ELEVATION
L301 SCALE: 1/2" = 1'-0"

NOTE: HARDSCAPE DESIGN PLANS PROVIDED TO DEMONSTRATE DESIGN INTENT ONLY AND ARE NOT VALID FOR CONSTRUCTION WITHOUT FINAL STRUCTURAL & REINFORCEMENT DESIGN.



The beauty of the stylish Sanibel LED is its remarkable versatility. Its sleek simplicity, with a gently curved bracket that helps cast light downward, is at home virtually anywhere – from more formal traditional neighborhoods to beachfront communities and other casual locales.

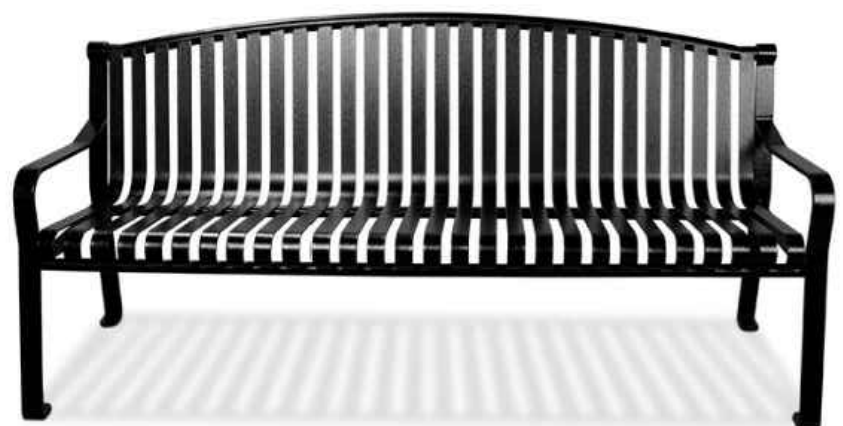
LED (light-emitting diode)	50, 150 watts
Mounting heights	12", 17', 25', 30'
Color	Black
Pole	Sanibel pole Promenade
Applications	Neighborhoods Parks Pathways/walkways* Shopping centers Streets

For additional information, visit us at duke-energy.com/OutdoorLighting or call us toll-free at 866-765-6417.



*LIGHT FIXTURE SHALL MEET TOWN OF HOWEY IN THE HILL'S REQUIREMENTS OR TOWN/OWNER APPROVED EQUAL

2 STREET LIGHT
L301 SCALE: NTS



Roll over image to zoom in

PRODUCT DESCRIPTION

Manufactured to withstand daily commercial use, this high quality imported steel bench features a back and seat made from 1-9/16" x 3/16" welded steel bars. The arms and legs are constructed from 2" x 1/2" steel, which will provide many years of outstanding service.

- Designed to wear well with seasonal exposure
- UV stabilized, corrosion resistant powder-coating
- 6' length

*OR OWNER APPROVED EQUAL

PRODUCT: COMMERCIAL PARK BENCH WITH CURVED BACK
MODEL: CBPB-6CB-BK-BL COLOR: BLACK
AS MANUFACTURED BY BYO RECREATION (www.byoplayground.com)

3 BENCH
L301 SCALE: NTS

D006 • DOG WASTE STATION

PARTS LIST:

- Can (1)
- Post (1)
- Dispenser (1)
- Sign/Sign Bracket (1)
- Dispenser Keys (2)
- 600 Waste Bags
- 50 Can Liners
- Hardware Pack

PRODUCT: DOG WASTE STATION
MODEL: D006
AS MANUFACTURED BY TERRABOUND SOLUTIONS (www.terraboundsolutions.com)

8 DOG WASTE STATION
L301 SCALE: NTS



PRODUCT DESCRIPTION

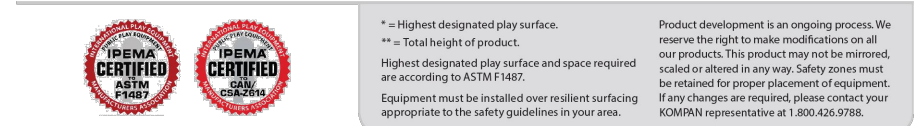
Our ribbed steel trash receptacle offers durability and style. The slatted wave design adds a subtle and simple interest point available in a variety of colors!

- 32 gallon capacity
- 3/4 #9 expanded metal inside ribbed steel with rolled edges
- Dimensions: 25" H x 2' W x 2' D

*OR OWNER APPROVED EQUAL

PRODUCT: 32 GAL. RIBBED STEEL TRASH RECEPTACLE
MODEL: WC SERIES COLOR: VIP BLACK
AS MANUFACTURED BY BYO RECREATION (www.byoplayground.com)

4 TRASH RECEPTACLE
L301 SCALE: NTS



PRODUCT: SMALL HEXAGONAL SPACENET
MODEL: COR36331
AS MANUFACTURED BY KOMPAN (www.kompan.com)
*OR OWNER APPROVED EQUAL

5 5-12 YO PLAY STRUCTURE
L301 SCALE: NTS



The Voyager with its round shapes and bright colors is immensely attractive for young children. Once there, the richness of age-appropriate activities sustains the playing and encourages them to return. The Voyager's three levels offer layers of play starting from ground level and up to the elevated platform with a slide. The ground level sand play funnels stimulate the children's object permanence understanding and logical thinking skills. The panels have movable items that run in grooves and can be played with from both inside and outside the structure, training the children's fine motor skills as well as their logical thinking and turn-taking skills. The slide down is a fun reward for climbing up and additionally develops the toddlers sense of balance and the spatial awareness.



1 / 5/4/2022
PRODUCT: VOYAGER
MODEL: PCE1001
AS MANUFACTURED BY KOMPAN (www.kompan.com)

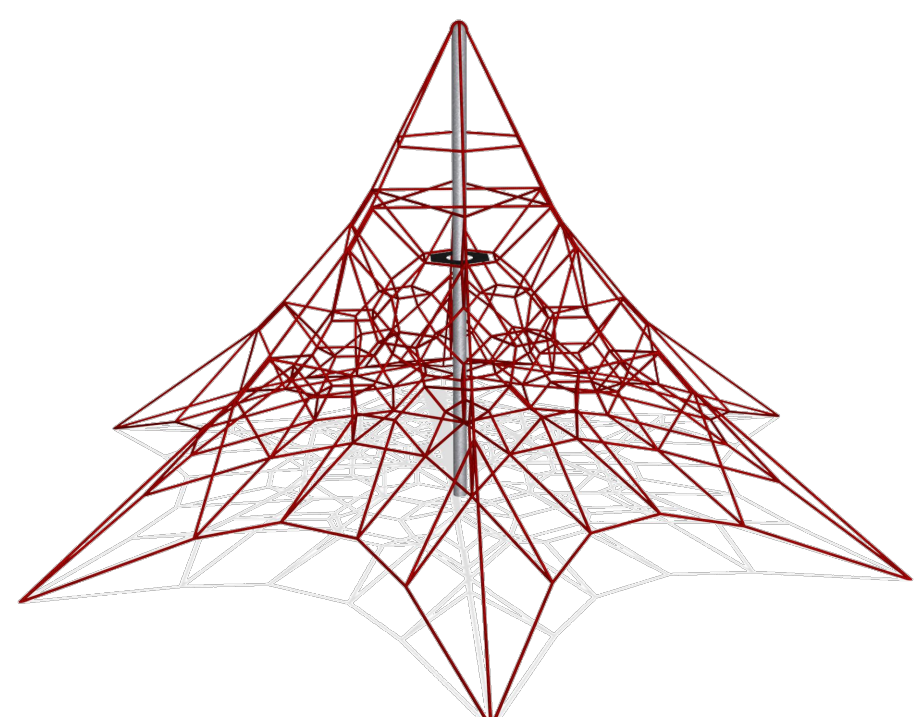
6 6 MO - 2 YO PLAY STRUCTURE 1
L301 SCALE: NTS




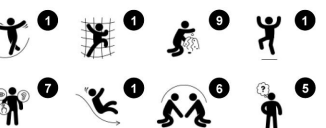
The developing youngster finds the Tumbler challenging and supportive of their most important developmental areas, inviting them to play for hours. The rich, roomy platforms offer tactile and responsive play panels. These invite exploring and train fine motor and cognitive skills such as logical thinking. The bouncy and rocking rubber parts add responsive physical activities, such as a gentle sway. The tunnel requires that children crawl and this development of cross-coordination of hands and knees is important for later literacy and offers tables and a play panel that trains fine motor skills. In addition, it provides a quiet retreat area. The Tumbler, thanks to its two-sided play panels and ground level play points, invites all to play and trains social-emotional skills such as taking turns.

1 / 5/4/2022
PRODUCT: TUMBLER
MODEL: PCE2002
AS MANUFACTURED BY KOMPAN (www.kompan.com)
*OR OWNER APPROVED EQUAL

7 6 MO - 2YO PLAY STRUCTURE 2
L301 SCALE: NTS




Item no. PCE100100-0602	
General Product Information	
Color options	
Dimensions LxWxH	120"x98"x11'3"
Age group	6m - 2
Play capacity (users)	15



Data is subject to change without prior notice.

*OR OWNER APPROVED EQUAL

Item no. PCE200200-0602	
General Product Information	
Color options	
Dimensions LxWxH	18'4"x14'2"x10'8"
Age group	6m - 2
Play capacity (users)	28



Data is subject to change without prior notice.

*OR OWNER APPROVED EQUAL

Hillside Grove Landscape Architecture Easton & Associates HOWEY-IN-THE-HILLS, FLORIDA HARDSCAPE DESIGN PLAN

PHASE 1

DATE: May 27, 2022

DRAWN BY: RTM

CHECKED BY: TWB

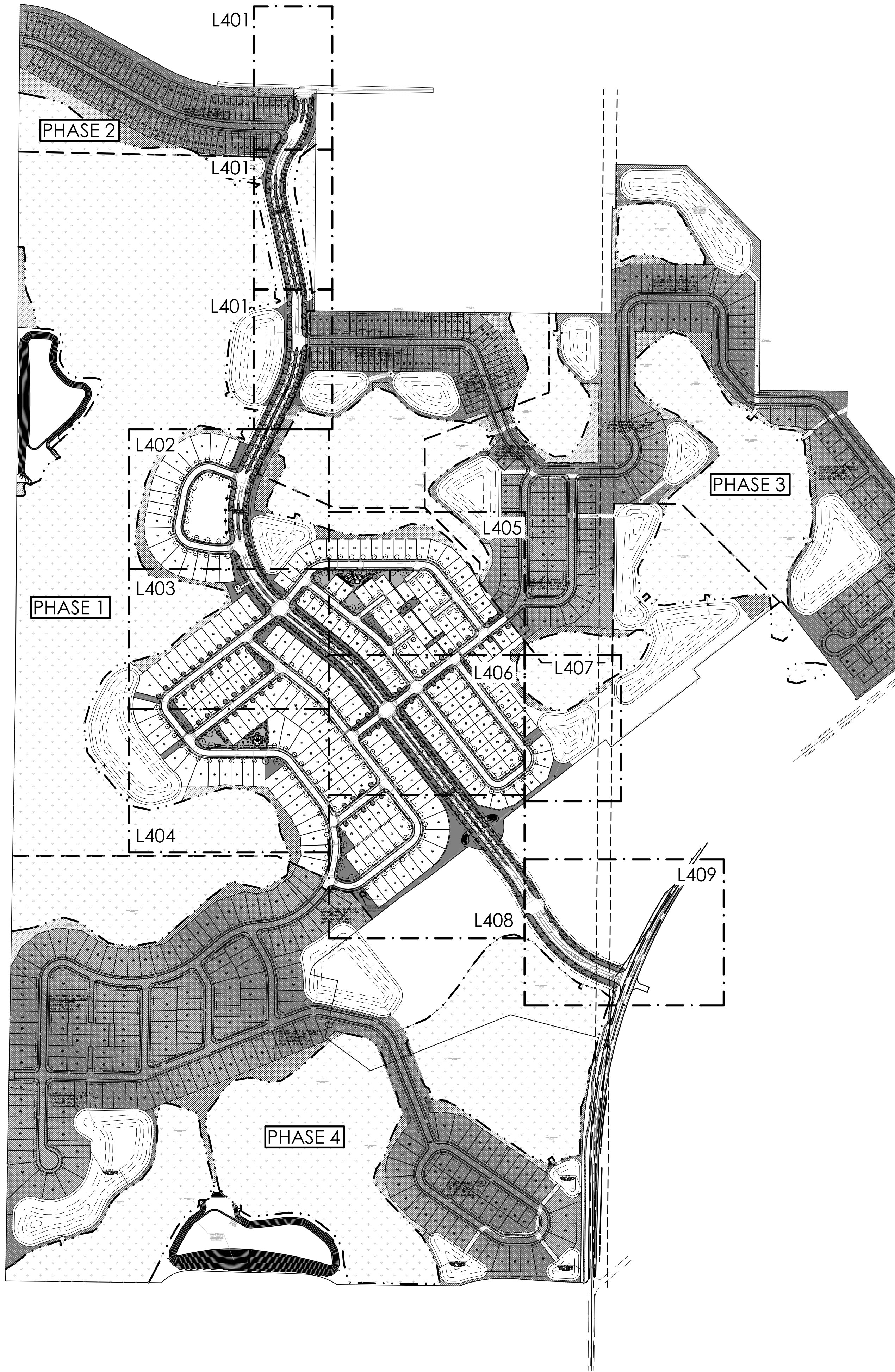
JOB NUMBER: 2021.195

FILE NAME: 2021.195_LIN - HILLSIDE GROVE_PH1_HSCAPE

REVISIONS:
City Comments 09-29-2022
City Comments 11-17-2022

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PLANT SCHEDULE PHASE 1

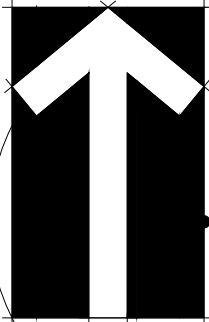
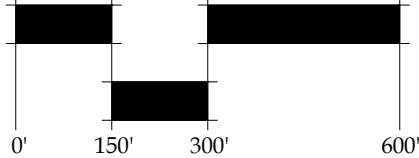
AS = AS SHOWN

TREES	QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATION	NATIVE	WATER USE ZONE	SPACING	REMARKS
AR	2	Acer rubrum	Red Maple	2.5" Cal. Min. 10' ht.	YES	HIGH	AS	
LIM	10	Lagerstroemia indica 'Muskogee'	Muskogee Crape Myrtle	2" cal., 8'-10' ht. x 30" spd.	NO	LOW	AS	
PE	14	Pinus Elliotti	Slash Pine	2" cal., 8'-10' ht. x 24" spd.	YES	LOW	AS	
QV	12	Quercus virginiana	Live Oak	2.5" Cal. Min. 10' ht.	YES	LOW	AS	
SP	10	Sabal palmetto	Sabal Palm	12'-15' MIXED	YES	LOW	AS	
STREET TREES: COMMON TRACTS								
MG-C	181	Magnolia grandiflora 'Brackens Brown Beauty'	Bracken's Southern Magnolia	4" Cal.	YES	MEDIUM	AS	Min. 10' height
QV-C	83	Quercus virginiana	Live Oak	4" Cal.	YES	LOW	AS	Min. 10' height
UA-C	13	Ulmus alata	Winged Elm	4" Cal.	YES	LOW	AS	
STREET TREES: LOTS								
MG-L	55	Magnolia grandiflora 'Brackens Brown Beauty'	Bracken's Southern Magnolia	4" Cal.	YES	MEDIUM	AS	Min. 10' height
UA-L	207	Ulmus alata	Winged Elm	4" Cal.	YES	LOW	AS	Min. 10' height
SHRUBS								
Hpc	164	Hamelia patens 'Compacta'	Dwarf Firebush	3 gal., full	YES	LOW	36" o.c.	
Ph	26	Philodendron x 'Hope'	Hope Philodendron	3 gal., 18"-24"	NO	MEDIUM	36" o.c.	
Pa	54	Plumbago auriculata 'Imperial Blue'	Plumbago	3 gal., 20"-20"	NO	MEDIUM	36" o.c.	
Pm	90	Podocarpus macrophyllus	Podocarpus	7 gal., 30"x16" spd.	NO	MEDIUM	24" o.c.	
Src	64	Serenoa repens 'Cinerea'	Silver Saw Palmetto	3 gal., 18" o.a.	YES	LOW	36" o.c.	
Sb	122	Spartina baken	Sand Cord Grass	3 gal., full	NO	MEDIUM	30" o.c.	
Vowc	96	Viburnum obovatum 'Whorled Class'	Dwarf Walter's Viburnum	3 gal., 18" o.a.	YES	LOW	36" o.c.	
Vo	1,159	Viburnum odoratissimum	Sweet Viburnum	3 gal., 18" o.a.	NO	MEDIUM	36" o.c.	
Zf	12	Zamia furfuracea	Cardboard Palm	10 gal., 24" ht., 36" spd.	NO	LOW	AS	
Zp	524	Zamia pumila	Coontie	3 gal., 18" o.a.	YES	LOW	24" o.c.	
GROUND COVERS								
aa	406	Agapanthus africanus	Lily of the Nile	1 gal., full	NO	MEDIUM	18" o.c.	
agl	1,612	Arachis glabrata	Perennial Peanut	1 gal., full. Use mulch fines	NO	LOW	12" o.c.	
dtv	1,221	Dianella tasmanica 'Variegata'	Variegated Flax Lily	1 gal., 12"-15" spd., full pot	NO	LOW	18" o.c.	
dv	59	Dietsa vegeta	African Iris	1 gal., 2-3 ppp	NO	LOW	24" o.c.	
jp	217	Juniperus davurica 'Parsonii'	Parson's Juniper	1 gal., 12"-15" spd.	NO	LOW	18" o.c.	
lmg	356	Liriope muscari 'Emerald Goddess'	Emerald Goddess Lilyturf	1 gal., 12"-15" spd., full pot	NO	LOW	18" o.c.	
mcc	479	Muhlenbergia capillaris	Muhly Grass	1 gal., 24" ht., full pot	YES	LOW	24" o.c.	
ta	78	Trachelospermum asiaticum	Asian Jasmine	1 gal., full. Use mulch fines	NO	MEDIUM	18" o.c.	
SOD/SEED								
soda	34,708 sf	Cynodon dactylon 'Celebration'	Celebration Bermuda Grass	sod	NO	MEDIUM	sod	solid sod - weed free
sodb	337,875 sf	Paspalum notatum 'Argentine'	Argentine Bahia Grass	sod	NO	LOW	sod	sand grown solid sod - weed free

SITE PLAN UPDATE

NOTE: THE LANDSCAPE PROVIDED FOLLOWS THE WATERWISE FLORIDA LANDSCAPES AND IS COMPLIANT WITH THE FLORIDA WATER STAR PROGRAM PER SEC. 7.04.01 STANDARDS

SCALE: 1" = 300'



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Easton & Associates
HOWEY-IN-THE-HILLS, FLORIDA
OVERALL PHASING PLAN

PHASE 1

DATE: May 27, 2022

DRAWN BY: RTM

CHECKED BY: TWB

JOB NUMBER: 2021.195

FILE NAME: 2021.195_LEN - HILLSIDE GROVE_PHL_LABASE

REVISIONS:
1 City Comments 09-29-2022
2 City Comments 11-17-2022
3 City Comments 06-23-2023

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LANDSCAPE PLAN

PHASE 1

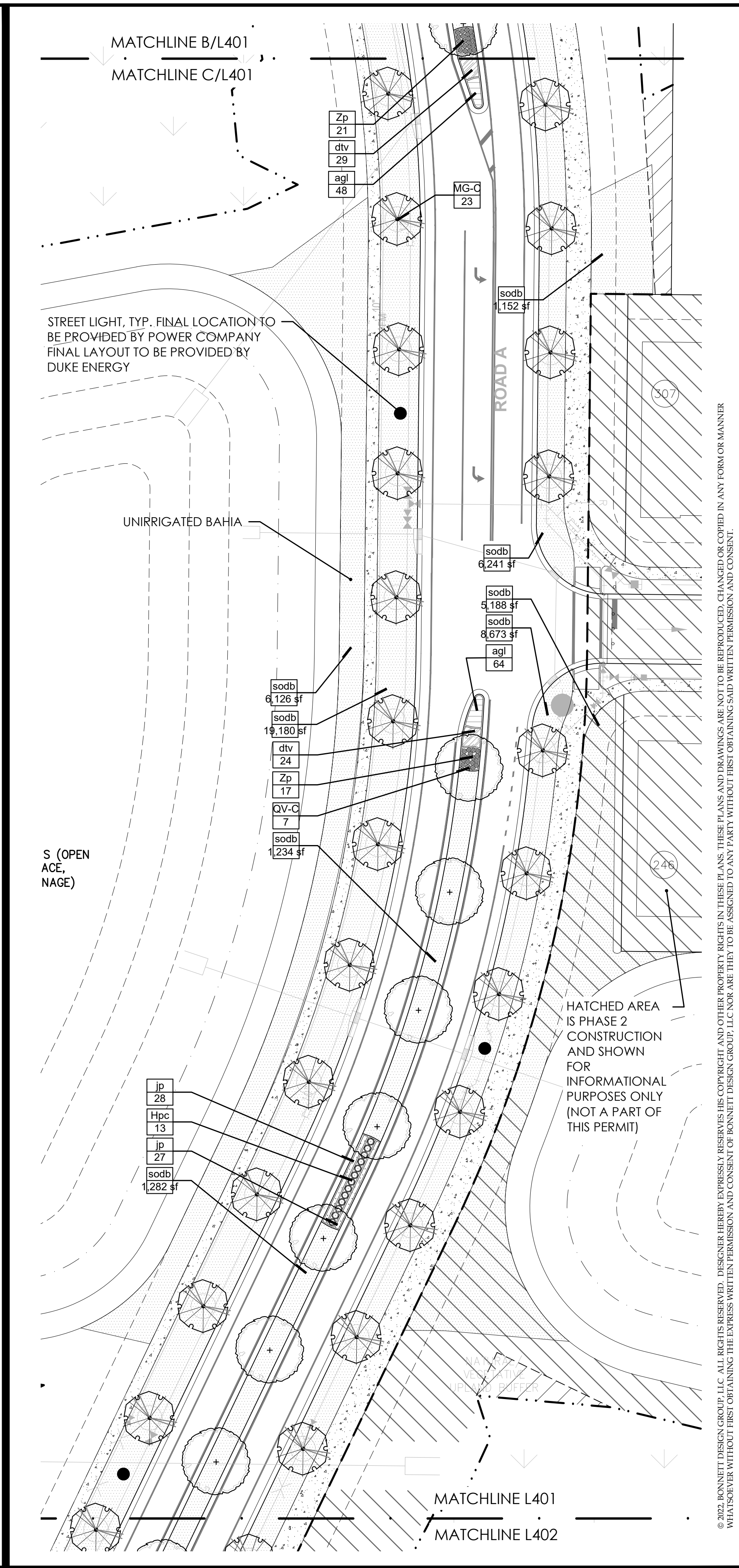
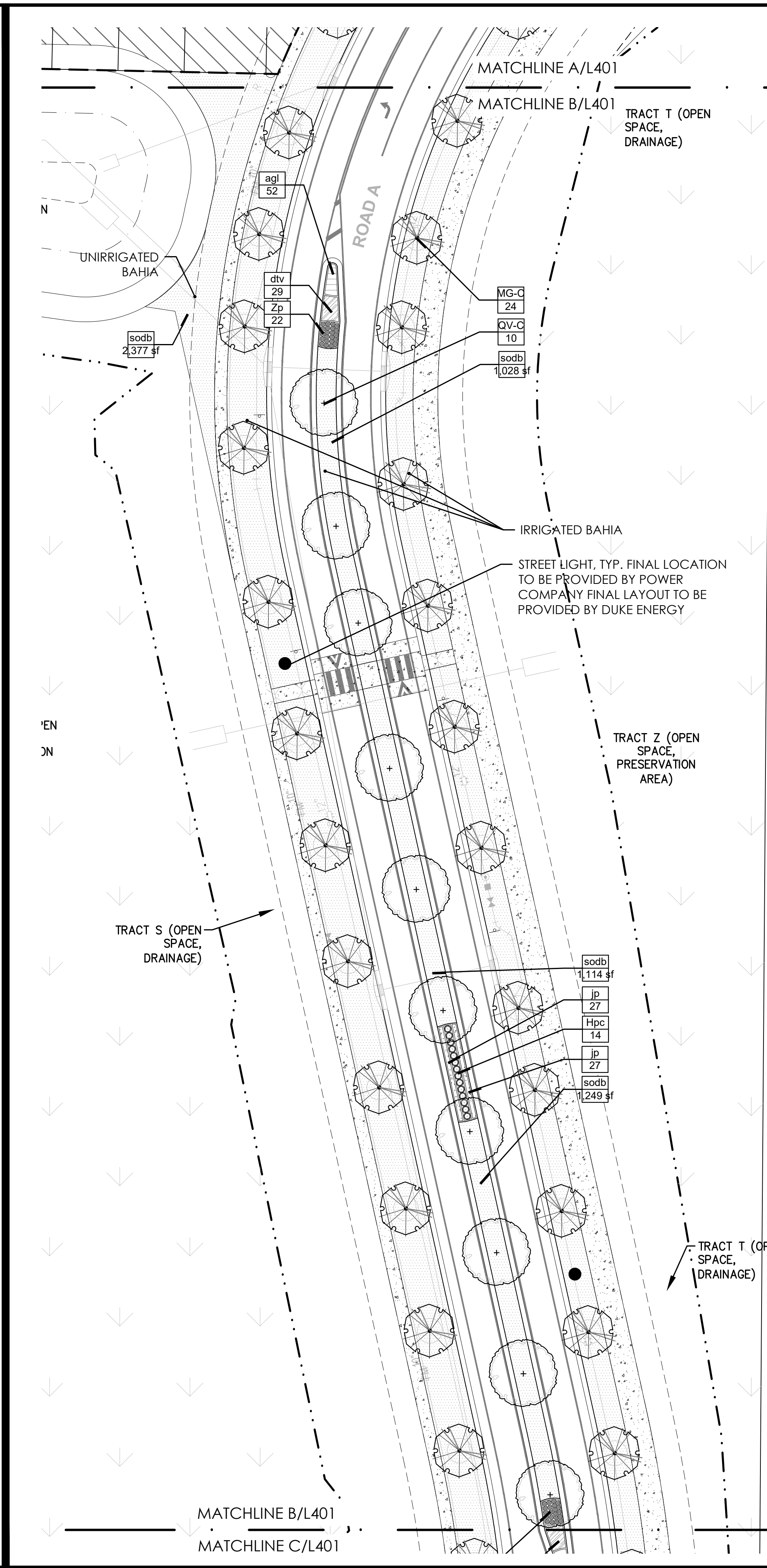
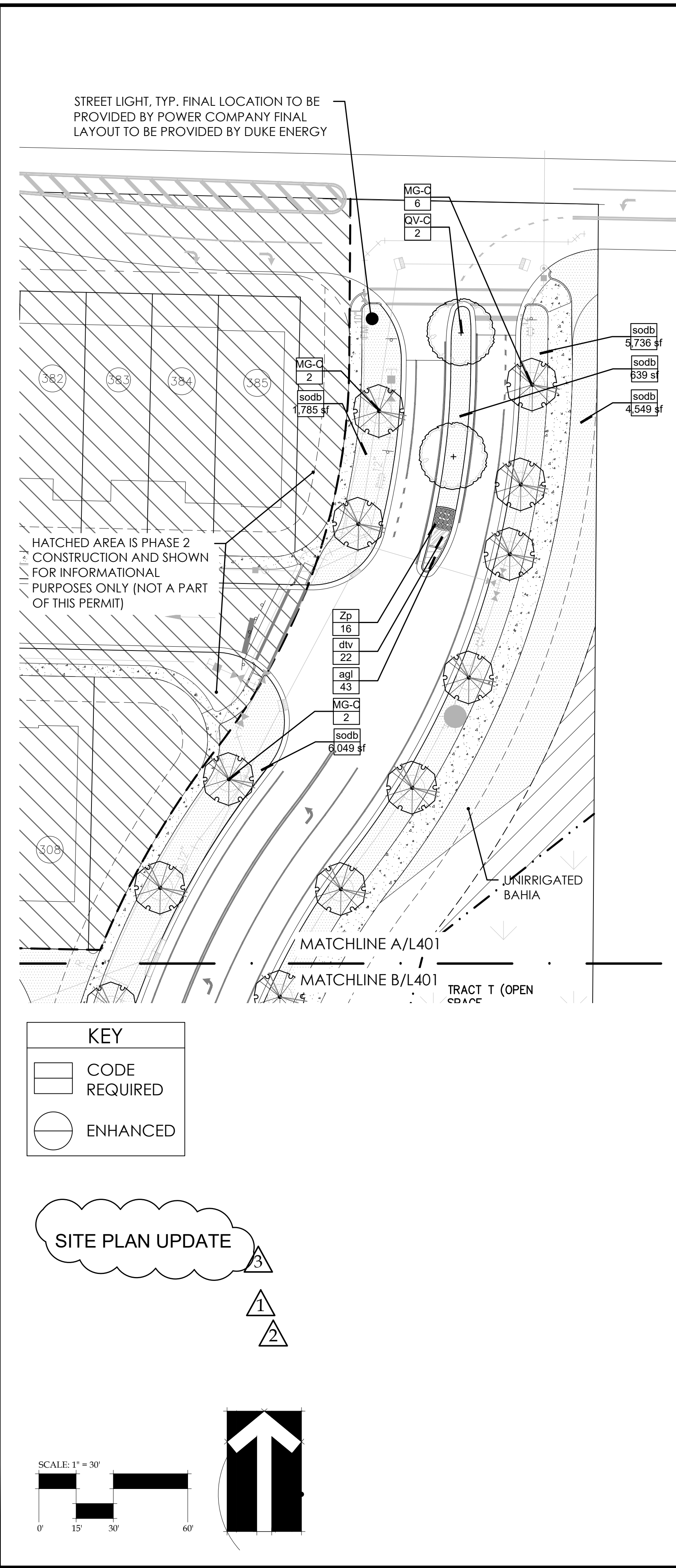
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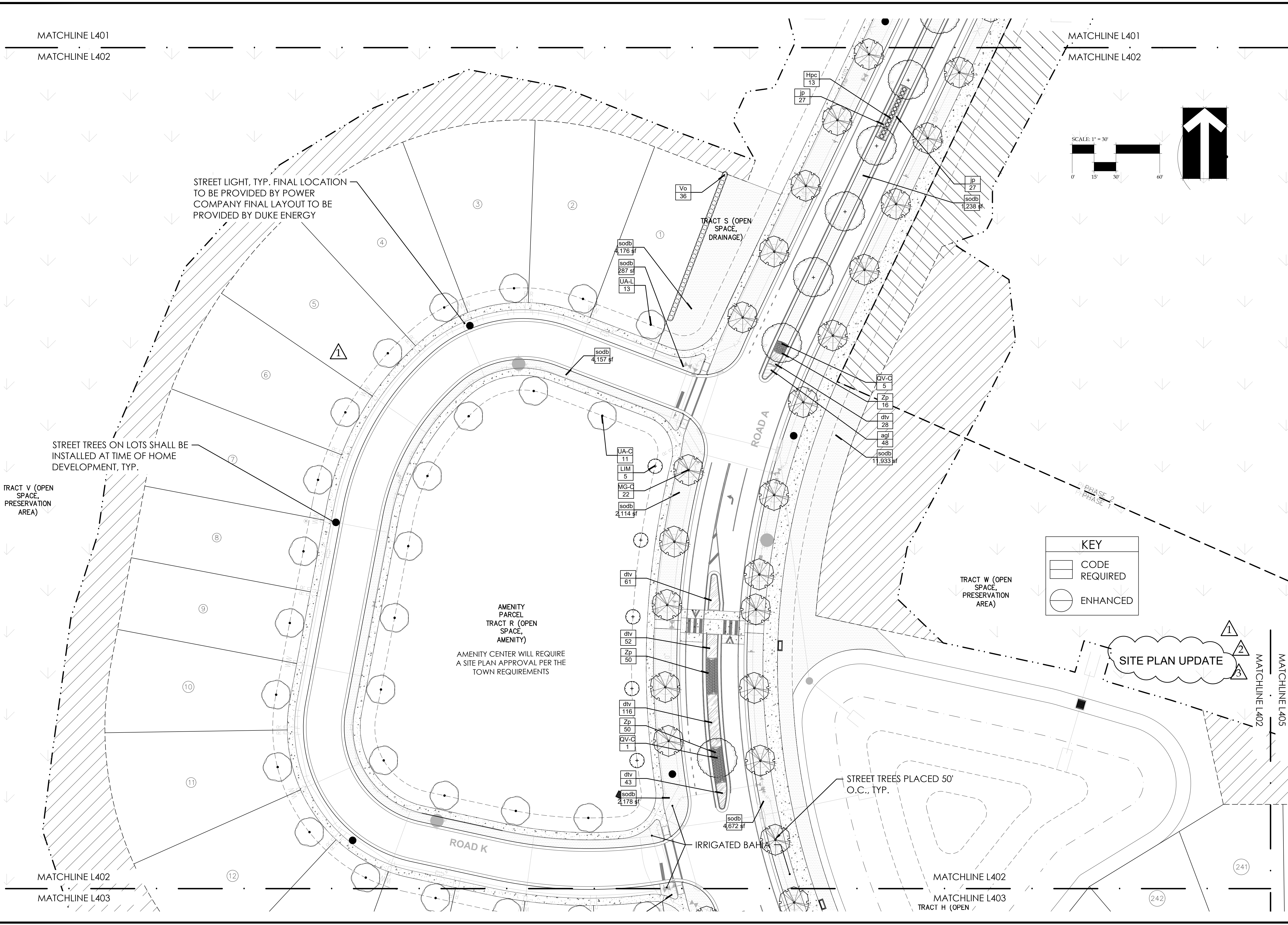
①	City Comments 09-29-2022
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③	City Comments 06-23-2023

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LANDSCAPE PLAN

PHASE 1

DATE: May 27, 2022

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JOB NUMBER: 2021.195

FILE NAME: 2021.195_LIN - HILLSIDE GROVE_PHL_LABASE

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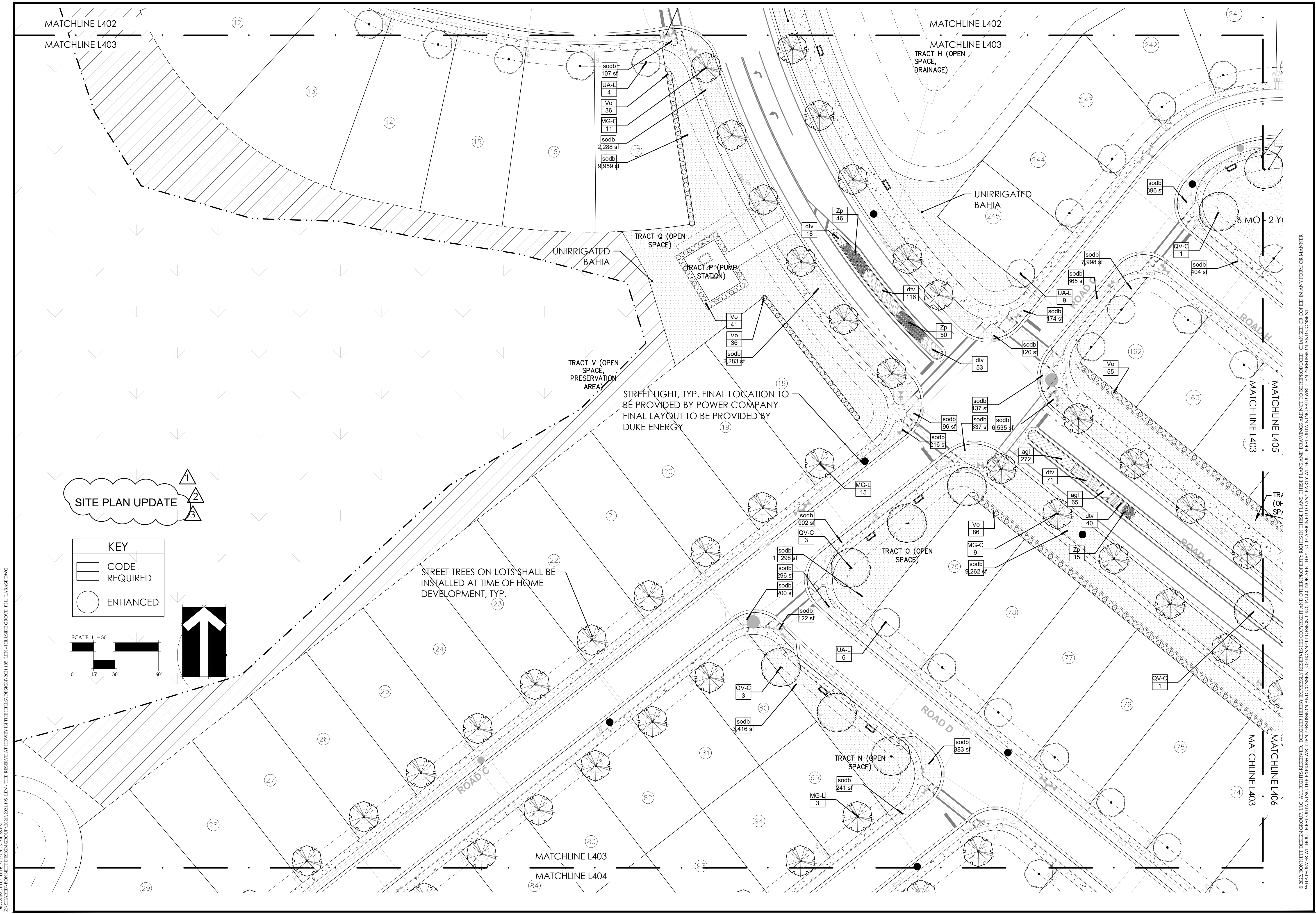
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PHASE 1

DATE: May 27, 2022

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JOB NUMBER: 2021.195

FILE NAME: 2021.195_1EN - HILLSIDE GROVE_PH_LABASE

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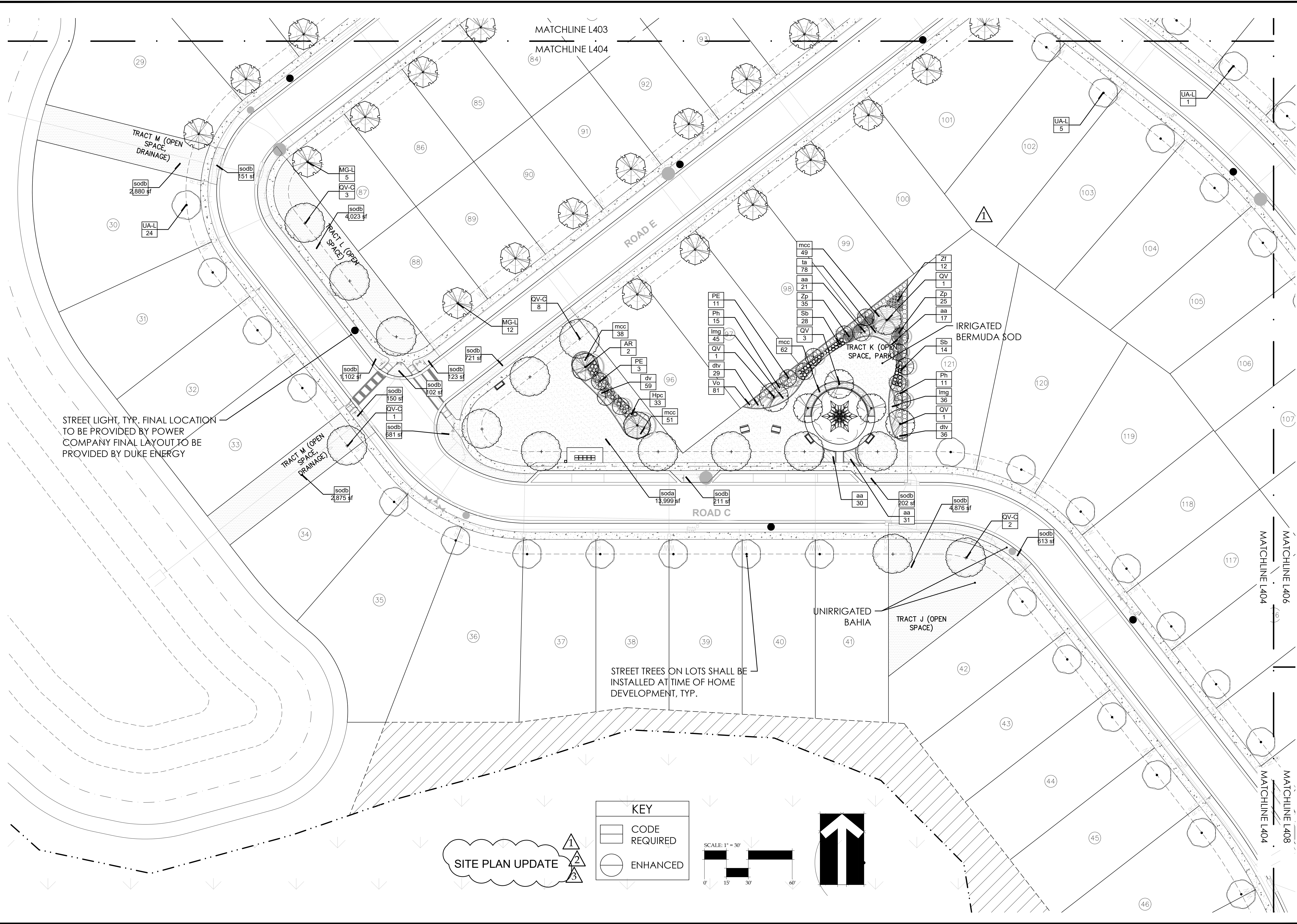
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LANDSCAPE PLAN

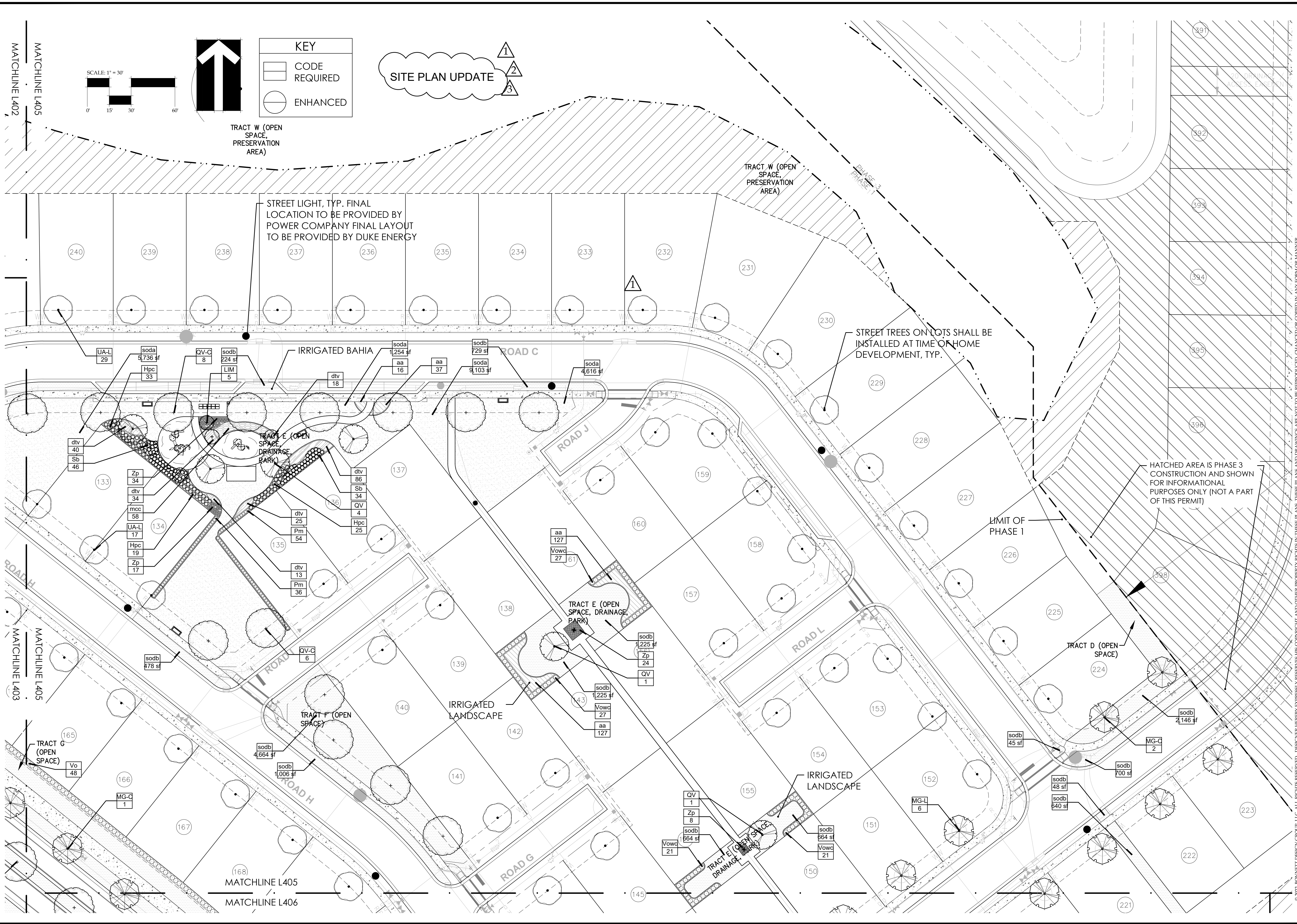
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DATE: May 27, 2022
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JOB NUMBER: 2021.195
FILE NAME: 2021.195_L1EN - HILLSIDE GROVE_PH_LABASE

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HOWEY-IN-THE-HILLS, FLORIDA
LANDSCAPE PLAN

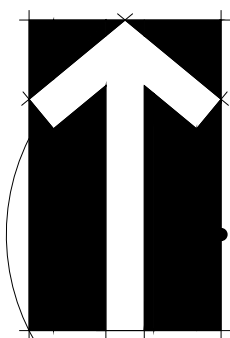
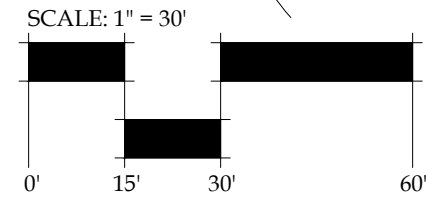
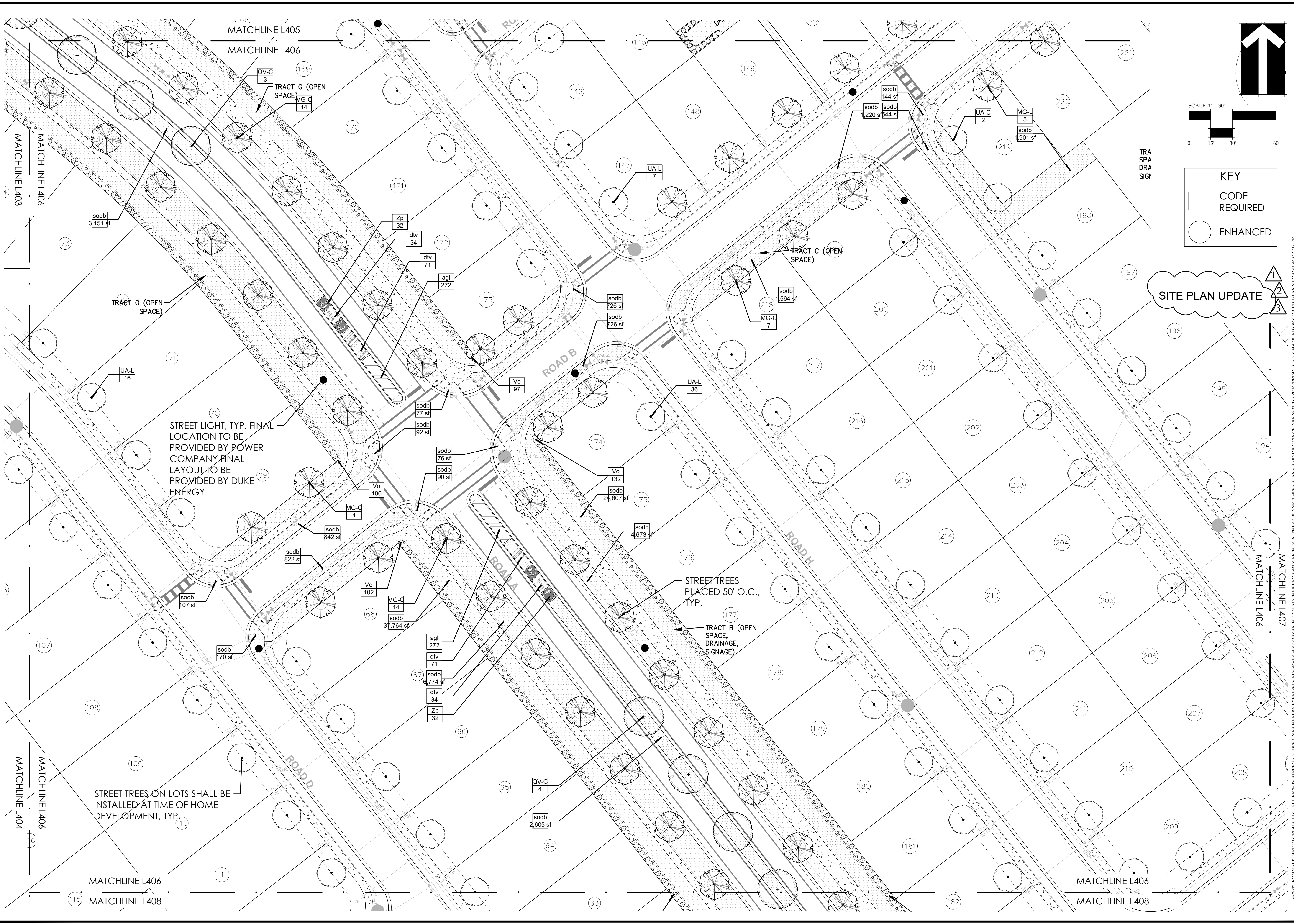
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DATE: May 27, 2022
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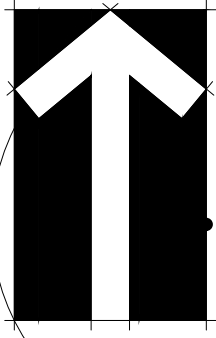
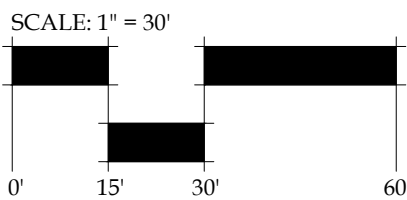
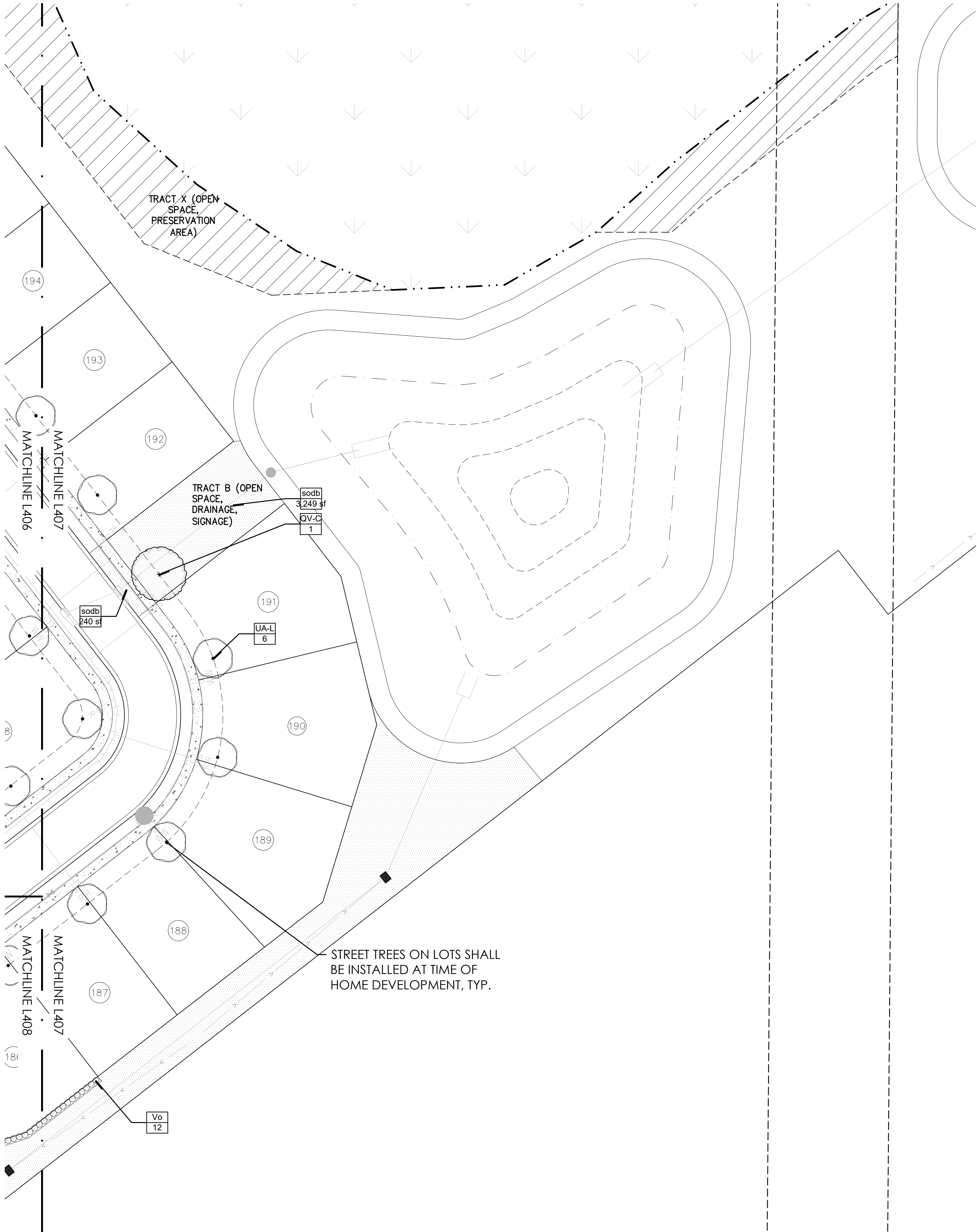
SITE PLAN UPDATE

- 1
- 2
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SITE PLAN UPDATE

KEY

- CODE REQUIRED
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LANDSCAPE PLAN

PHASE 1

DATE: May 27, 2022
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1	City Comments 09-29-2022
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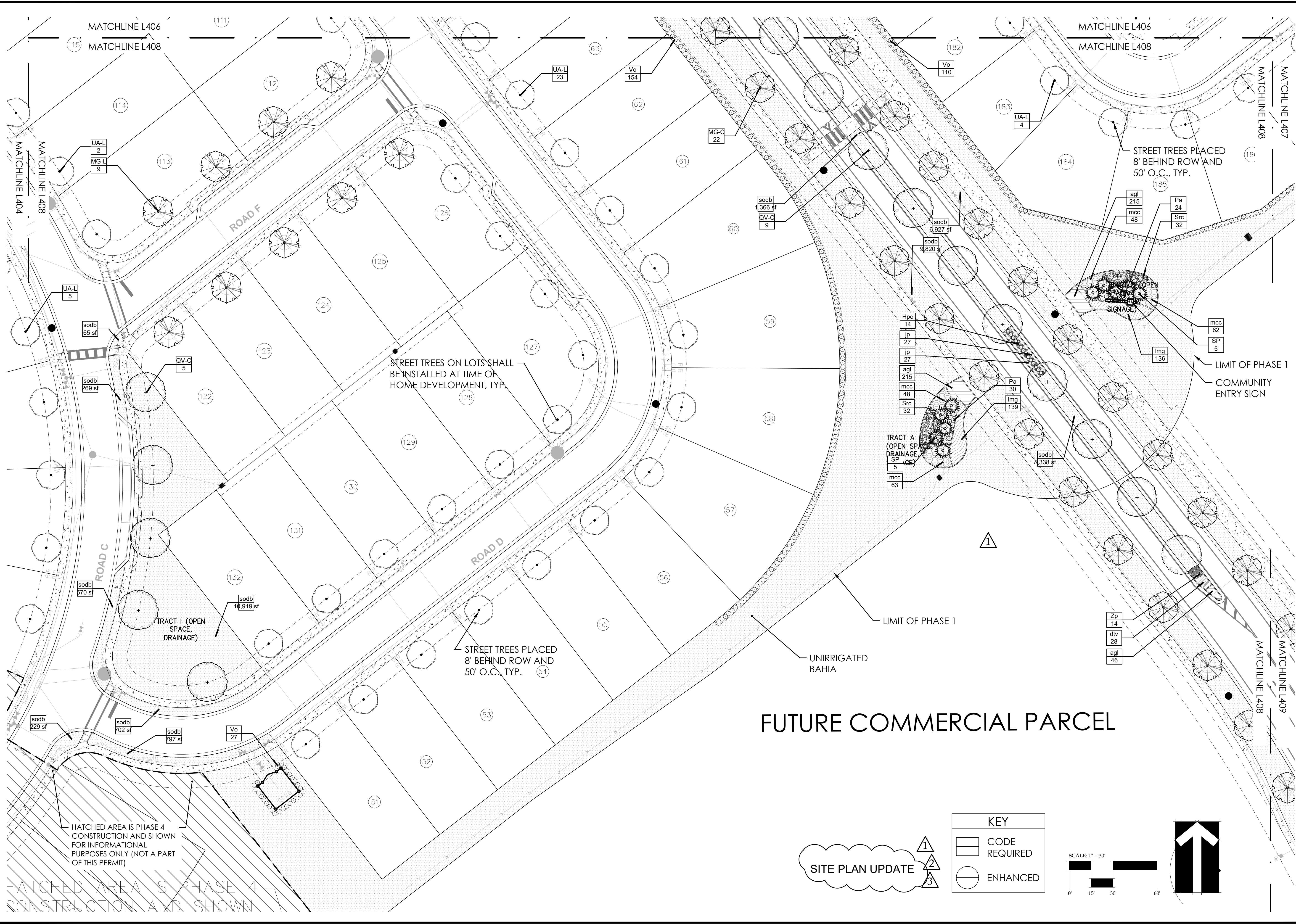
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HOWEY-IN-THE-HILLS, FLORIDA

LANDSCAPE PLAN

PHASE 1

DATE: May 27, 2022

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JOB NUMBER: 2021.195

FILE NAME: 2021.195_LIN - HILLSIDE GROVE_PH_LABASE

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LANDSCAPE PLAN

PHASE 1

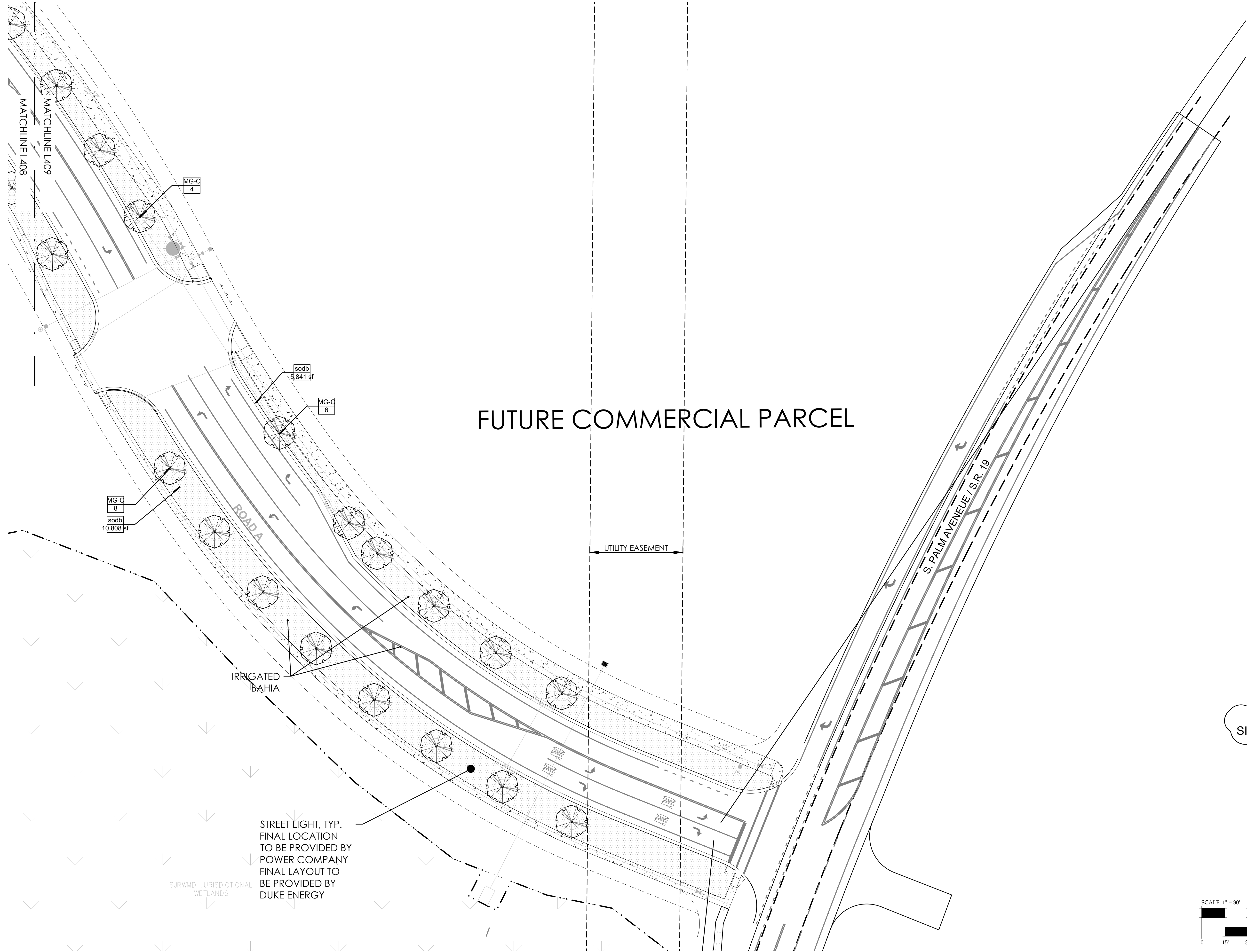
DATE: May 27, 2022
DRAWN BY: RTM
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JOB NUMBER: 2021.195

FILE NAME:
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GENERAL REQUIREMENTS

The Landscape Contractor shall be responsible for all materials and all work as called for on the landscape plans. The list of plant quantities accompanying the plans shall be used as guide only. If a discrepancy occurs between the plans and the plant list, the plans shall control.

The Landscape Contractor shall warranty all trees for a period of one (1) year and shrubs and ground covers for a period of six (6) months from the time of final acceptance by Owner and Landscape Architect.

The Landscape Contractor shall be wholly responsible for the stability and plumb condition of all trees and shall be legally liable for any damage caused by the instability of any plant material. Staking of trees and palms, if required, shall be done utilizing a method agreed upon by the Landscape Architect.

The Landscape Contractor shall research plans and contact appropriate agencies to determine the location of any utilities and obstructions prior to commencing work. Any utilities or unanticipated obstructions shall be reported to Landscape Architect or Owner immediately.

All plant material and sodded areas shall have an automatic underground irrigation system providing 100% coverage.

Positive drainage shall be maintained away from all structures on the site.

PLANT SPECIFICATIONS

All nursery stock plant material shall be Florida #1 or better in accordance with Grades and Standards for Nursery Plants Parts I & II, latest edition as published by the Florida Department of Agriculture and Consumer Services- Division of Plant Industry.

All plant material shall be planted, fertilized and mulched as per the plant details and planting specifications noted on the plans.

All container grown material shall be healthy, vigorous, well rooted plants, and established in the container in which they are delivered to the site. The plants shall have tops which are good quality and in a healthy growing condition. Established container grown plant material shall be grown in that container sufficiently long enough for the new fibrous roots to have developed enabling the root mass to retain it's shape when removed the container. Plants which have become root bound in the container are unacceptable.

All plant material that is not container grown shall be freshly dug, sound, healthy, vigorous, well branched, and free of disease and insect eggs and larvae, and shall have adequate root systems. Where any requirements are omitted from the plant list, the plants furnished shall be normal for the variety. Plants may be pruned prior to delivery only upon the approval of the Landscape Architect.

FERTILIZER

Two fertilizers shall be used on all types of plantings, except palms. Granular fertilizer shall be uniform in composition, dry and free flowing. This fertilizer shall be delivered to the site in the original unopened bags bearing the manufacturer's statement of analysis. Granular fertilizer shall be a controlled release variety meeting the following requirements: sixteen percent (16%) nitrogen, four percent (4%) phosphorus, eight percent (8%) potassium, plus iron. tablet fertilizer ("Agriform" or approved equal) in 21 gram size shall meet the following requirements: twenty percent (20%) nitrogen, ten percent (10%) phosphorus, five percent (5%) potassium.

Application Rates:

Plant size	16-4-8	"Agriform" tablet (21 grams)
1 gallon	1/4 lb.	1 tablet
3 gallon	1/3 lb.	2 tablets
7-15 gallon	1/2 lb.	4 tablets
1" - 6" caliper	2 lbs. per 1" caliper	2 tablets per 1" caliper
6" + caliper	3 lbs. per 1" caliper	2 tablets per 1" caliper

Sodded areas shall receive an application of the granular fertilizer (16-4-8) at a rate of 1/2 lb. of Nitrogen per 1,000 square feet of sod area.

"Palm Special" fertilizer shall be applied to all palms at installation at a rate of 1 1/2 lbs. per 100 square feet of canopy area. Palm fertilizer shall be a controlled release variety containing chelated micro nutrients and a ratio of N-P-K-Mg of 2:1:3:1.

SOIL

Planting soil for use in preparing the backfill material for planting pits shall be added a rate of fifty percent (50%) planting soil to fifty percent (50%) existing soil. This soil mix shall be used in all plant pits except Sabal Palms which shall be backfilled with clean sand. Planting soil shall be a fertile, friable natural topsoil of loamy character. It shall contain forty (40) to fifty (50) percent decomposed organic matter and be free of heavy clay, stones larger than 1" in diameter, noxious weeds and plants, sod, partially disintegrated debris, insects or any other undesirable material, plants or seeds that would be toxic or harmful to plant growth.

MULCH

All plant beds and tree watering basins shall be top dressed with three inches (3") of pine bark mini-nuggets mulch.

SOD

Refer to Landscape Plan for limits of sod.

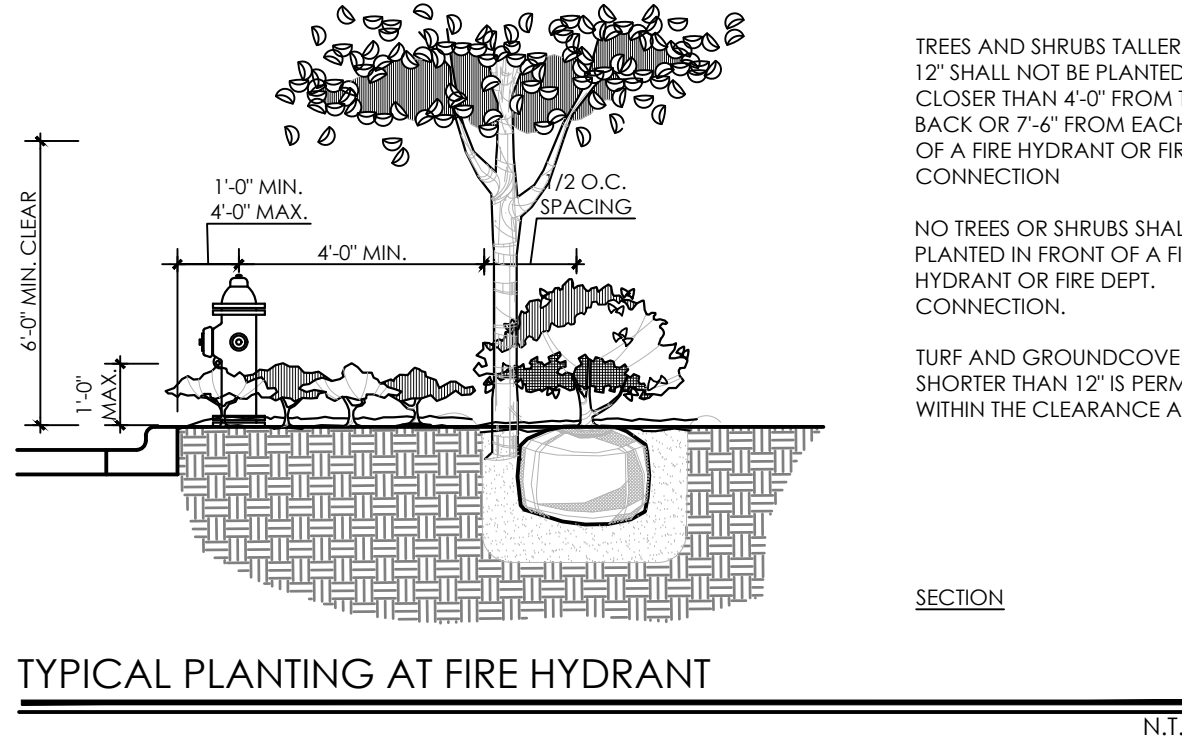
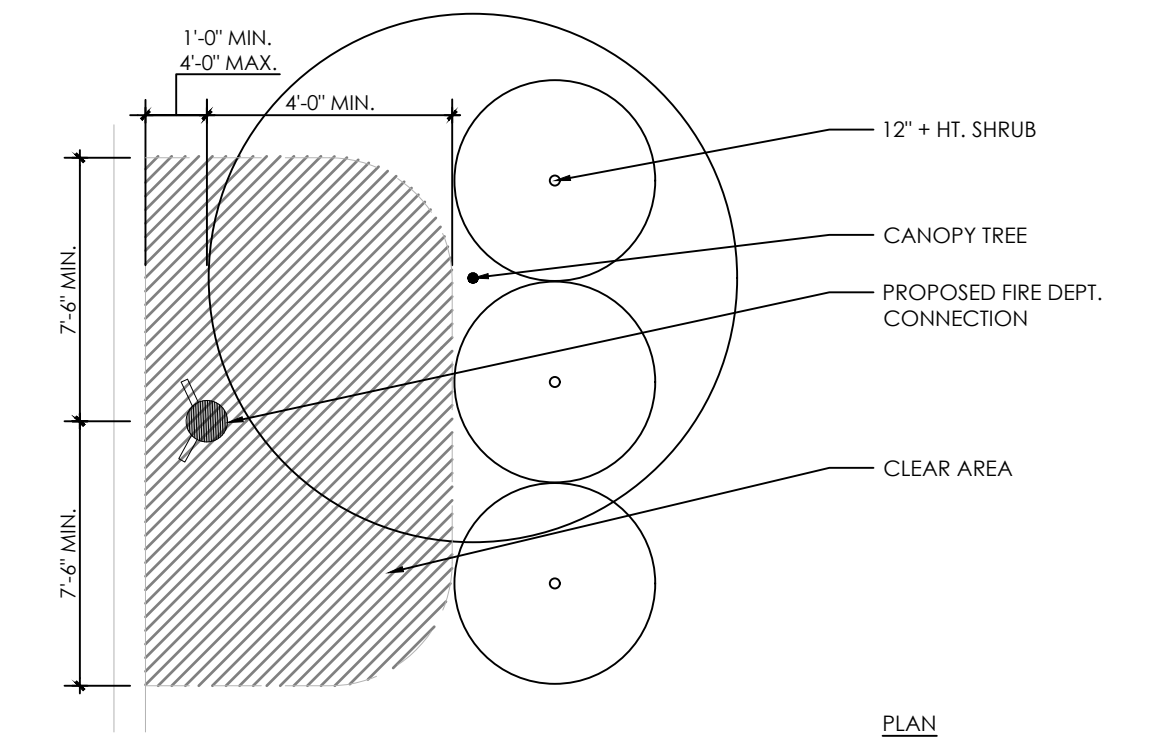
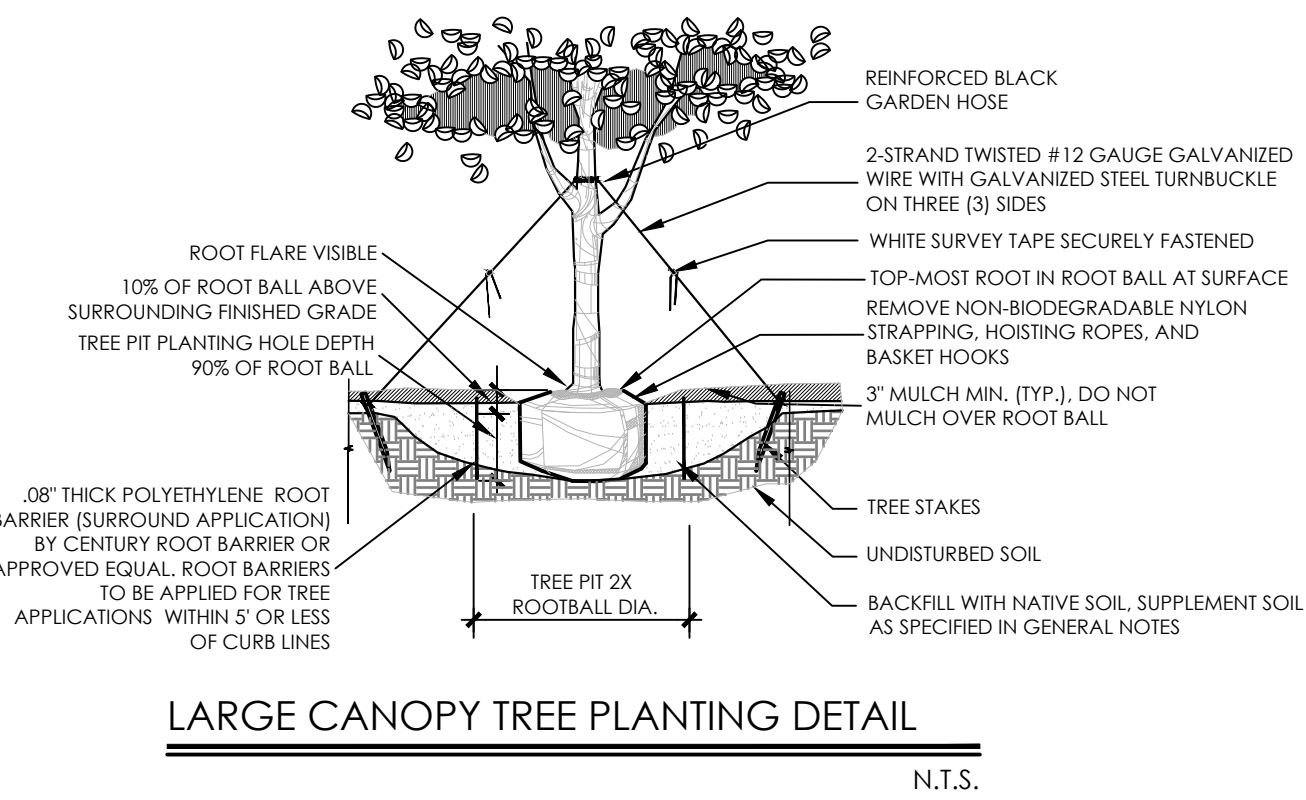
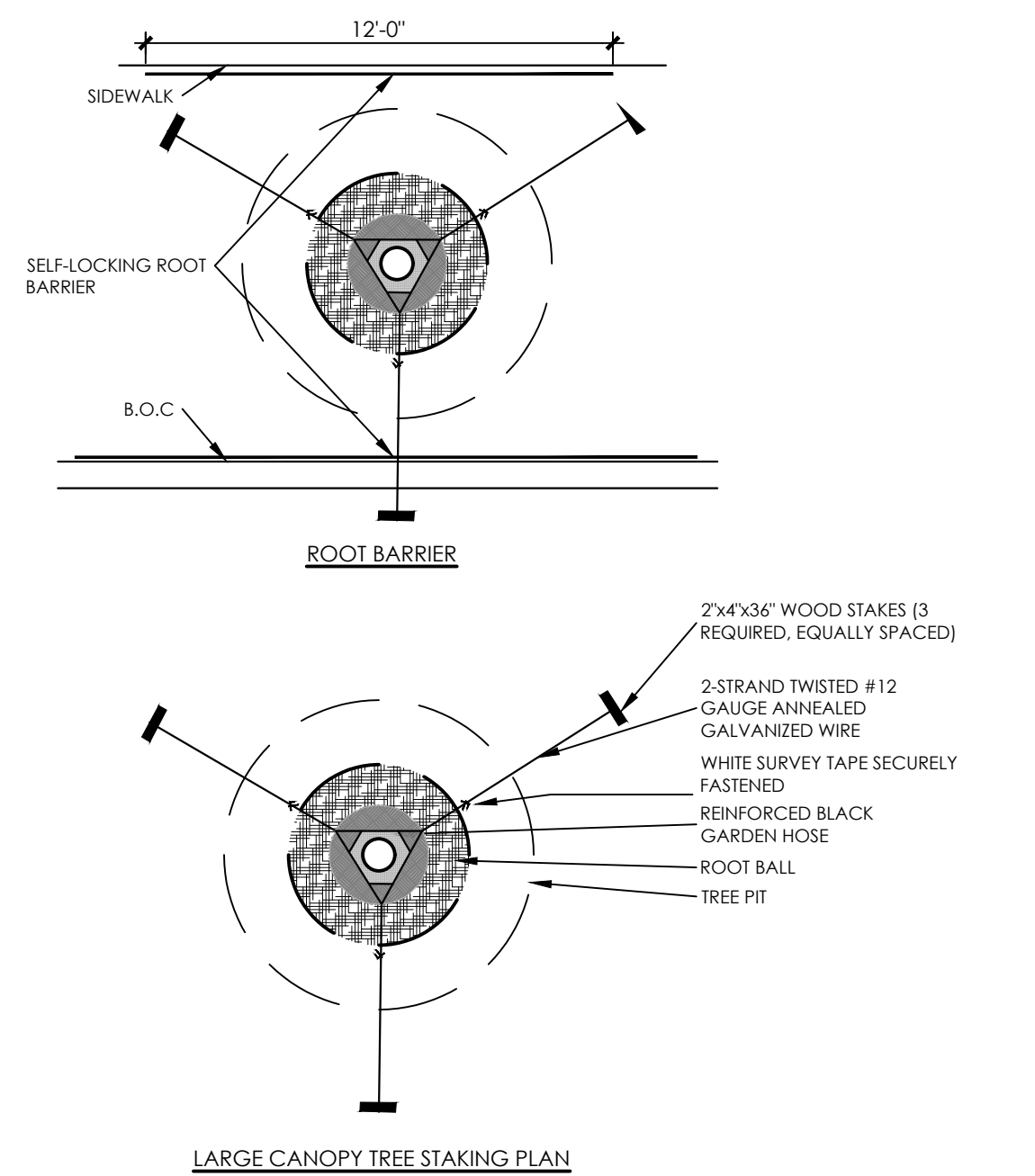
All areas disturbed by construction (including material staging, equipment storage, temporary facilities, site access, construction staff parking, etc.) beyond the minimum limits of sod as shown on the Landscape Plan shall be sodded as needed.

All lawn areas to receive sod shall be disked four (4) to six (6) inches and graded to establish a level finished grade ensuring positive drainage from all structures. All debris shall be removed from the site.

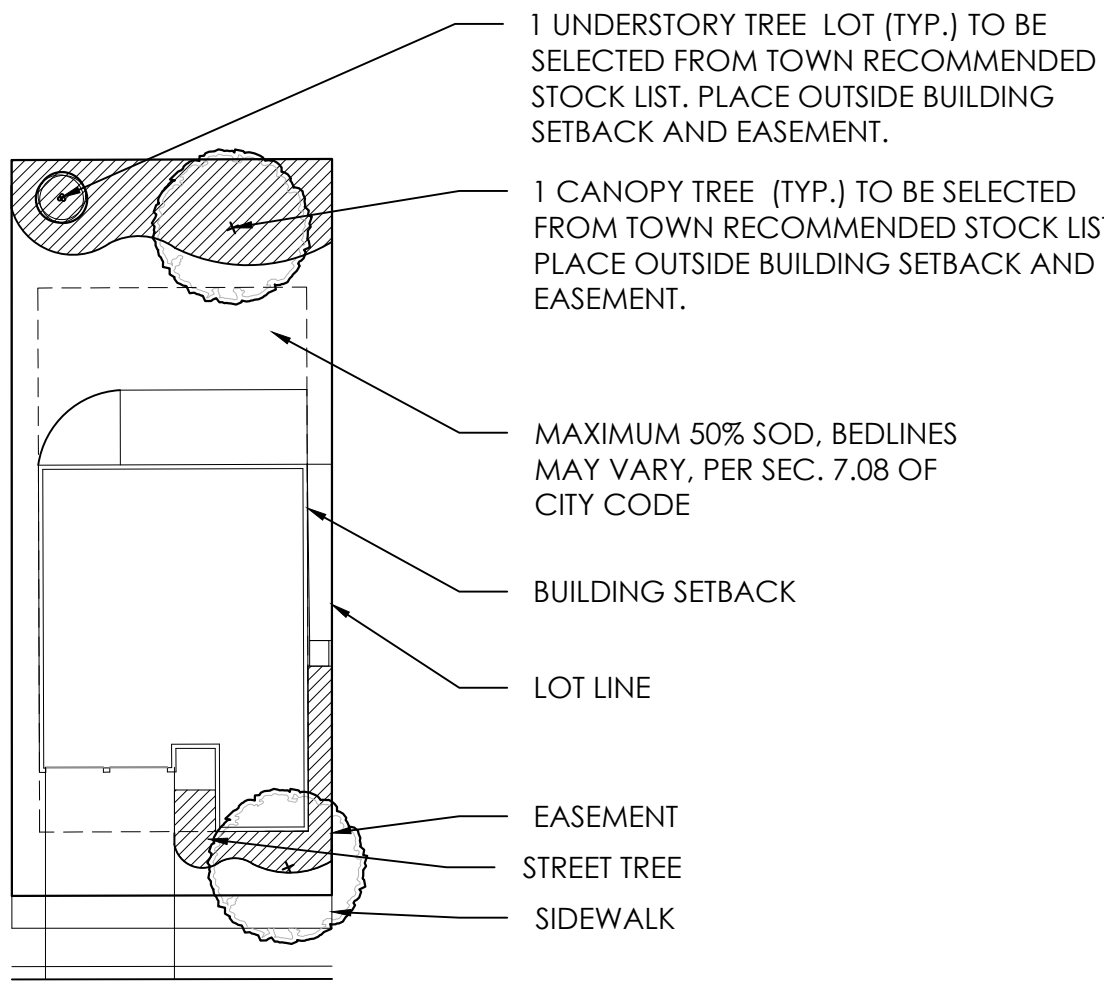
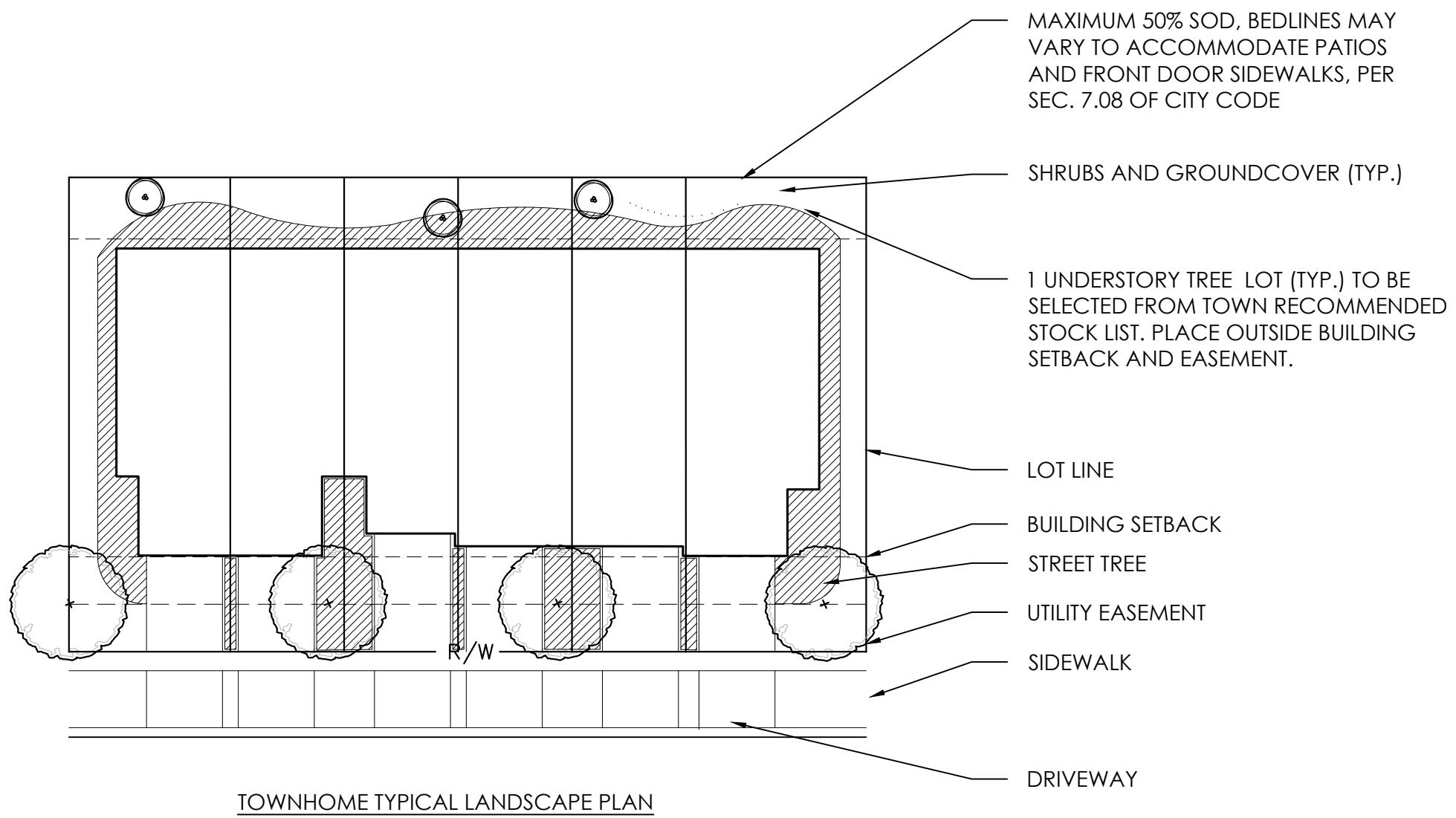
Sod shall be free of weeds and pests. It shall be laid evenly with tight fitting joints and rolled. The sod shall contain moist soil which does not fall apart or tear when lifted.

See plant list for specific sod species and locations.

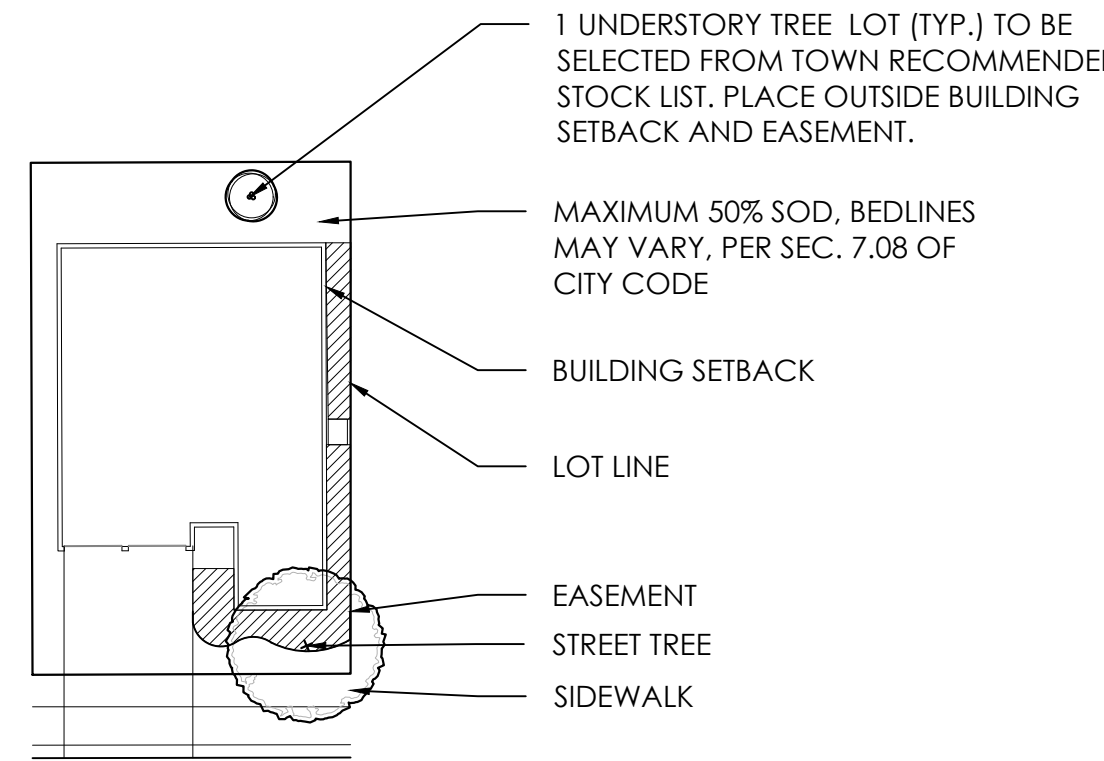
See 'Fertilizer' for requirements of all sodded areas.



1



TYPICAL LOT WITH TREES



TYPICAL LOT WITH TREES, 50'X80'

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407.622.1588 voice

Hillside Grove
Landscape Architecture
Easton & Associates
HOWEY-IN-THE-HILLS, FLORIDA
LANDSCAPE DETAILS & NOTES

PHASE 1

DATE: May 27, 2022

DRAWN BY: RTM

CHECKED BY: TWB

JOB NUMBER: 2021.195

FILE NAME: 2021.195_1EN - HILLSIDE GROVE_PH_1ABASE.DWG

REVISIONS:
1 City Comments 09-29-2022



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OVERALL IRRIGATION PLAN

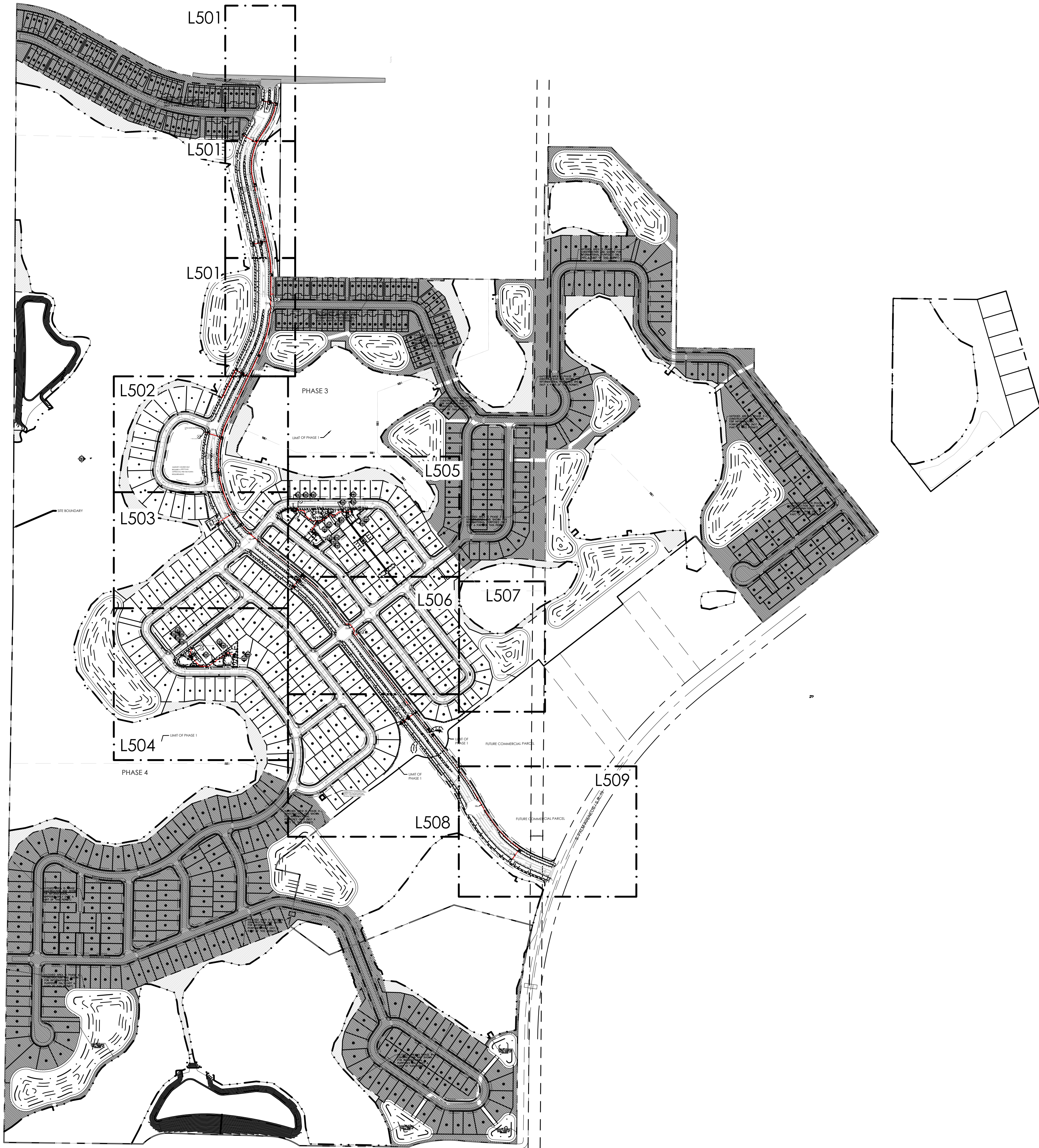
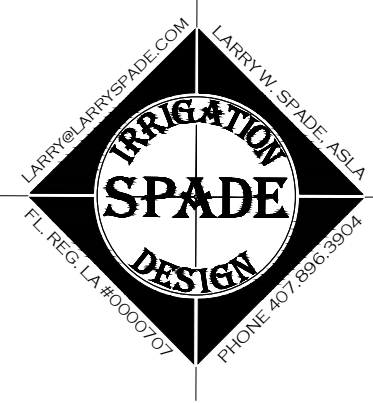
PHASE 1

DATE: May 27, 2022
DRAWN BY: LWS
CHECKED BY: TWB
JOB NUMBER: 2021.195
FILE NAME: 2021.195_LEN - HILLSIDE GROVE_PH1_IRBASE

REVISIONS:
City Comments 09-29-2022
City Comments 11-17-2022
City Comments 06-23-2023

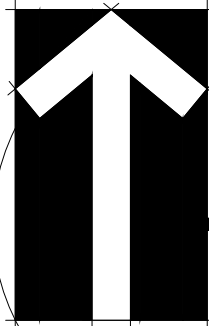
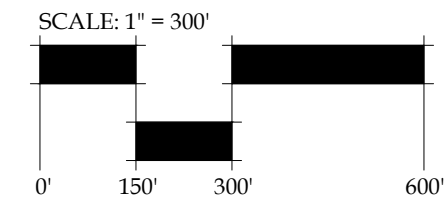
Todd W. Bonnett, RLA #LA000776

L500



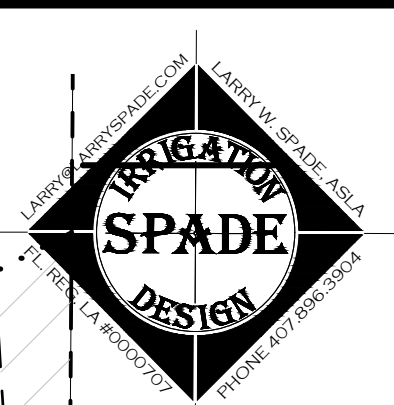
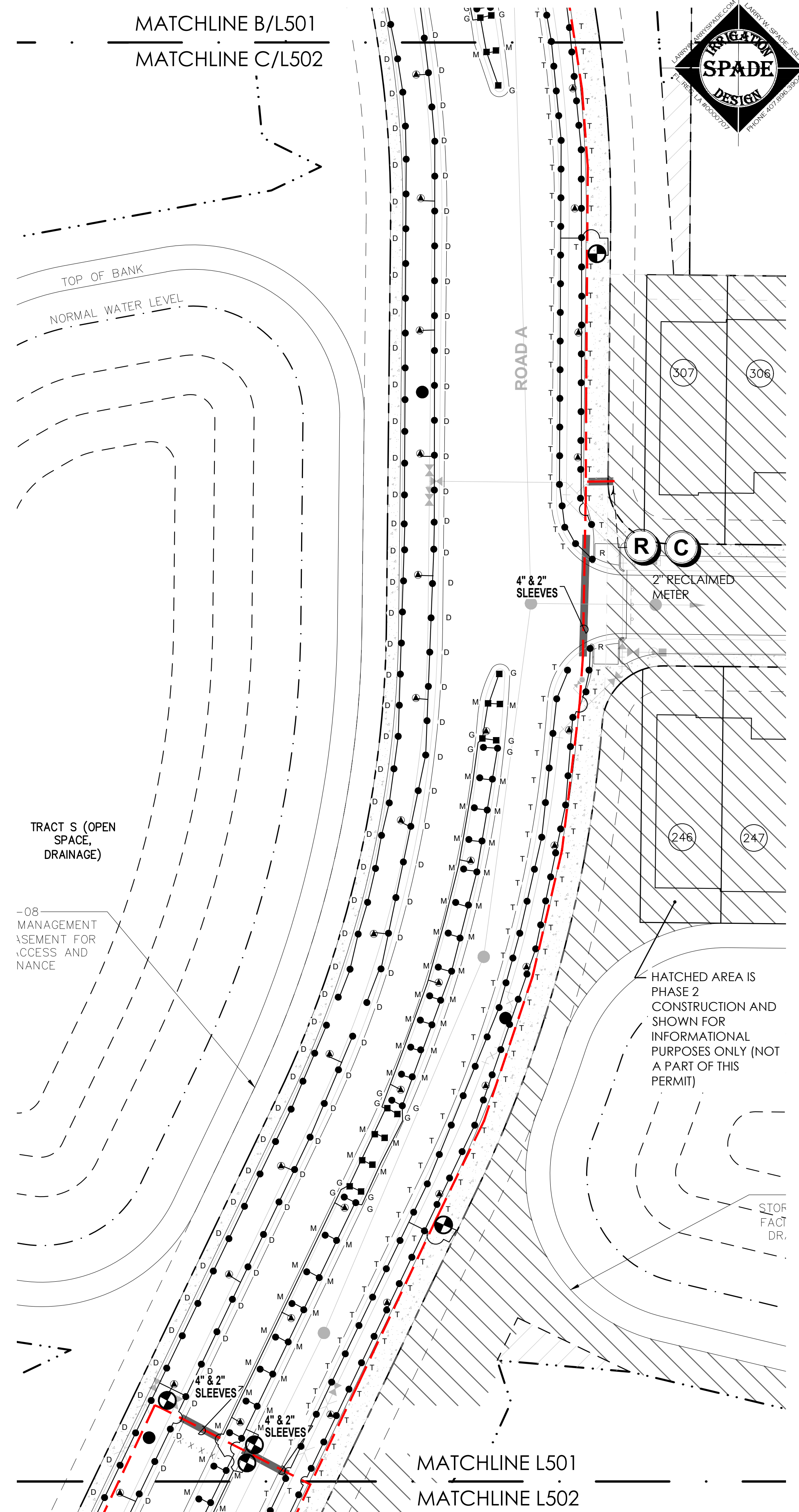
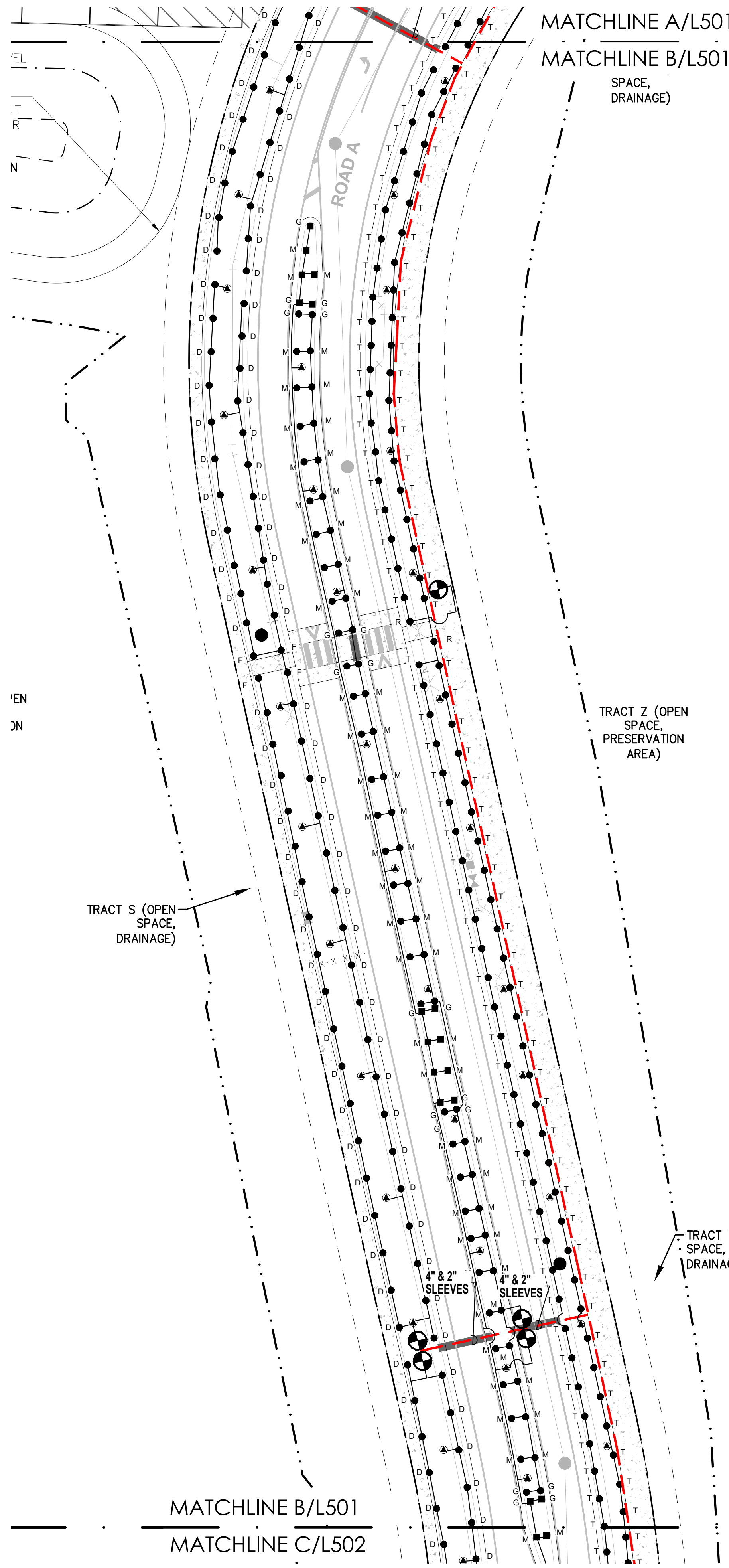
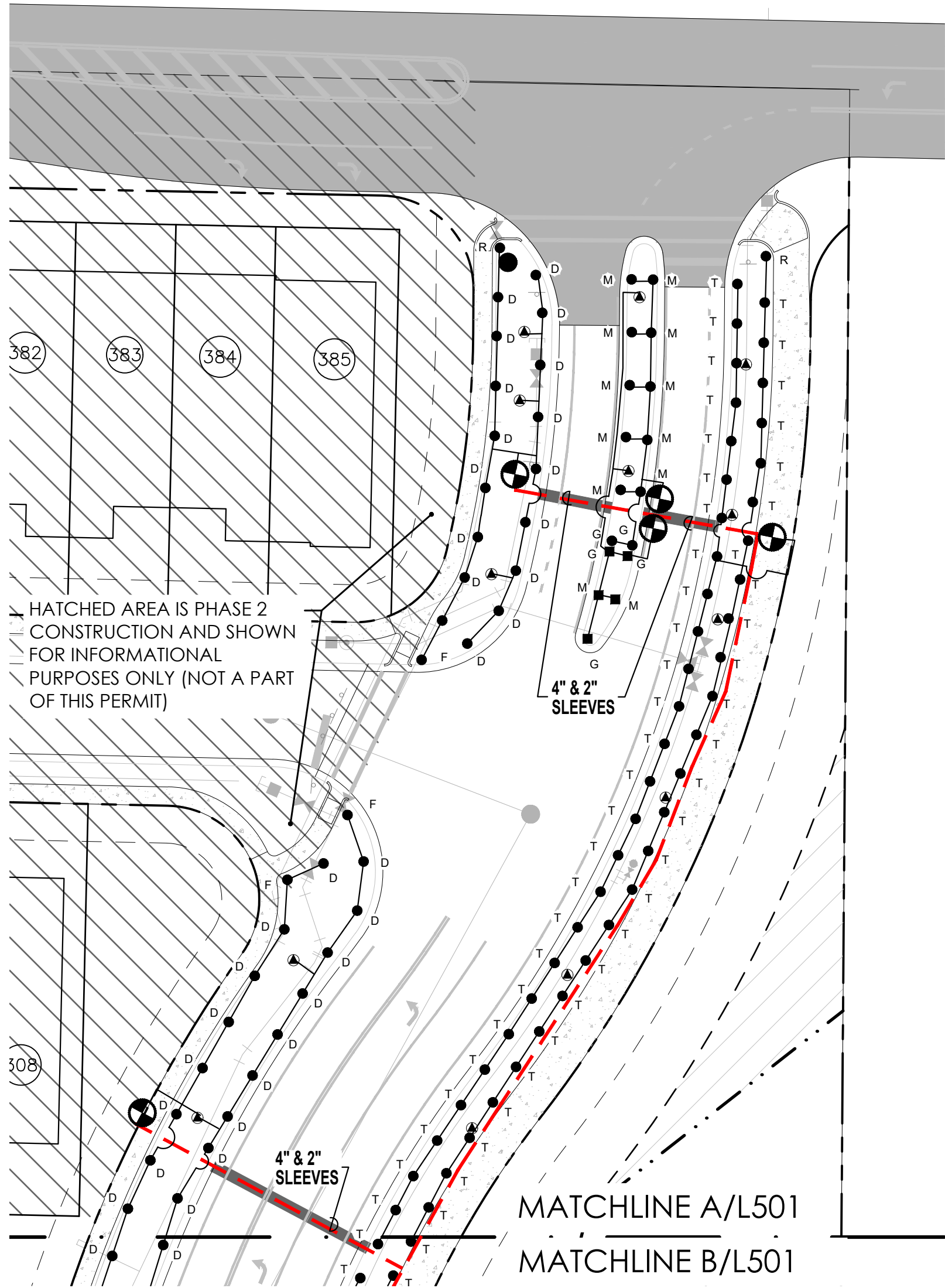
SITE PLAN UPDATE

NOTE: PER 7.06.03 IRRIGATION DESIGN AND
INSTALLATION AFFIDAVITS, THIS IRRIGATION
SYSTEM WILL COMPLY WITH THE STANDARDS
OF HOWEY-IN-THE-HILLS WATER
CONSERVATION PLAN, IRRIGATION
STANDARDS.



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DRAWING PLOTTED: 7/12/2023 11:49 PM
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Item 3

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Hillside Grove
Landscape Architecture
Easton & Associates
HOWEY-IN-THE-HILLS, FLORIDA
IRRIGATION PLAN

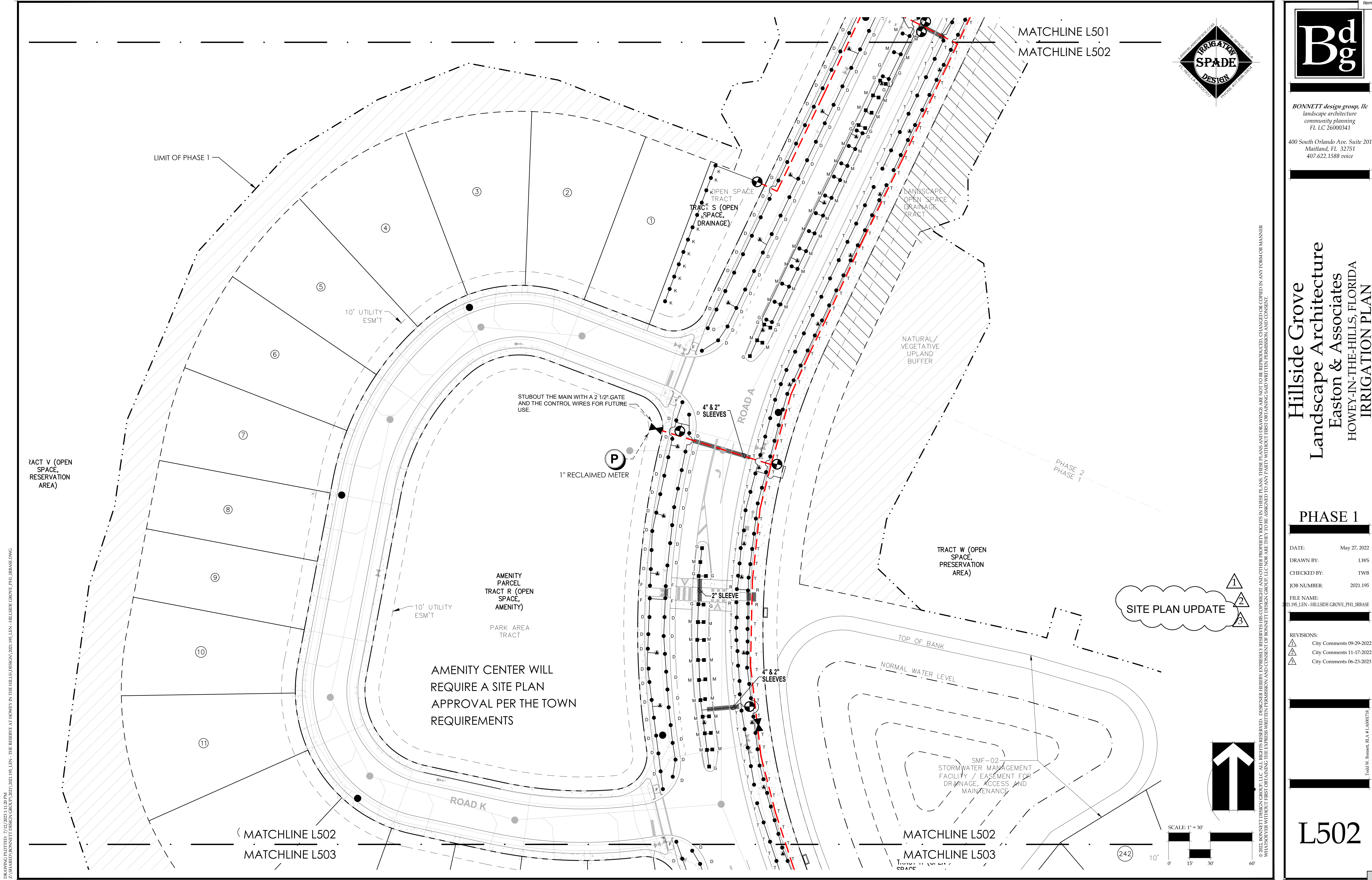
PHASE 1

DATE:	May 27, 2022
DRAWN BY:	LWS
CHECKED BY:	TWB
JOB NUMBER:	2021.195
FILE NAME:	2021.195 LEN - HILLSIDE GROVE_PH1_IRBASE
REVISIONS:	
△	City Comments 09-29-2022
△	City Comments 11-17-2022
△	City Comments 06-23-2023

Todd W. Bonnett, RLA #14000776

L501

40



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HOWEY-IN-THE-HILLS, FLORIDA
IRRIGATION PLAN

PHASE 1

DATE:	May 27, 2022
DRAWN BY:	LWS
CHECKED BY:	TWB
JOB NUMBER:	2021.195
FILE NAME:	2021.195_LEN - HILLSIDE GROVE_PHI_IRBASE
REVISIONS:	
△	City Comments 09-29-2022
△	City Comments 11-17-2022
△	City Comments 06-23-2023

L502

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Easton & Associates
HOWEY-IN-THE-HILLS, FLORIDA
IRRIGATION PLAN

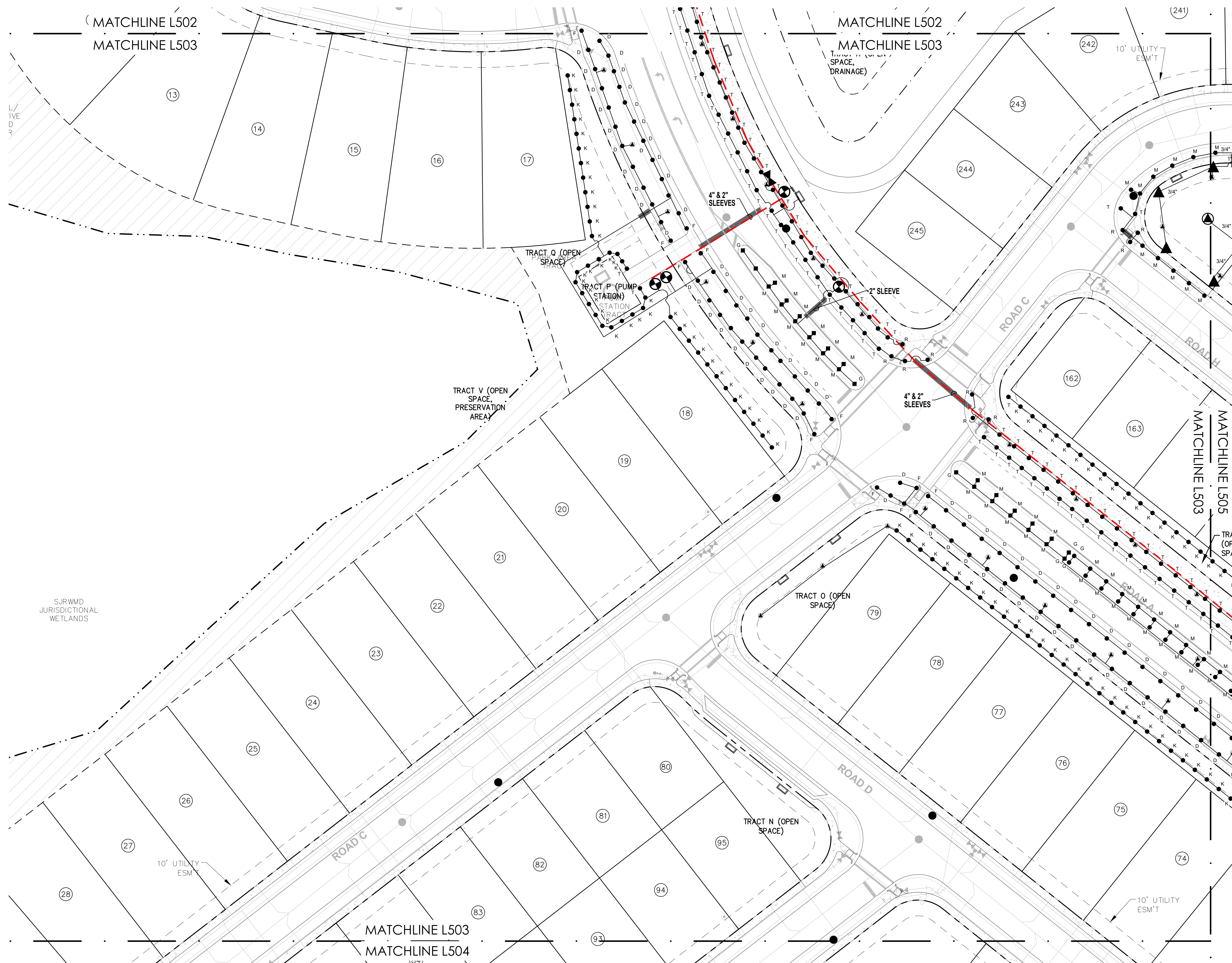
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FILE NAME:
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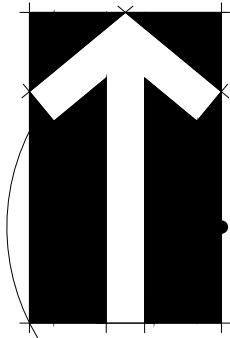
3 City Comments 06-23-2017

0-11117 P-000000 DI A HT 10001710

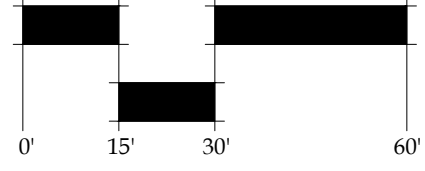
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SITE PLAN UPDATE



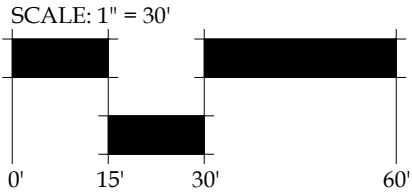
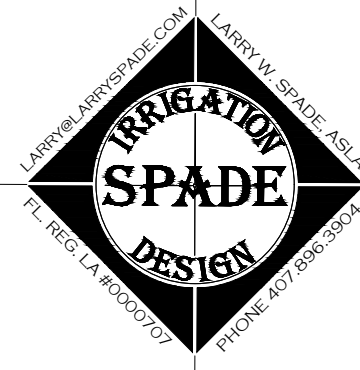
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Easton & Associates
HOWEY-IN-THE-HILLS, FLORIDA
IRRIGATION PLAN

PHASE 1

DATE:	May 27, 2022
DRAWN BY:	LWS
CHECKED BY:	TWB
JOB NUMBER:	2021.195
FILE NAME:	2021.195 LEN - HILLSIDE GROVE_PHL_IRBASE
REVISIONS:	
△	City Comments 09-29-2022
△	City Comments 11-17-2022

L504

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43



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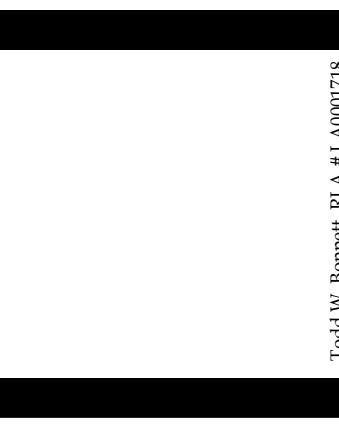
400 South Orlando Ave, Suite 201
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Hillside Grove
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Easton & Associates
HOWEY-IN-THE-HILLS, FLORIDA
IRRIGATION PLAN

PHASE 1

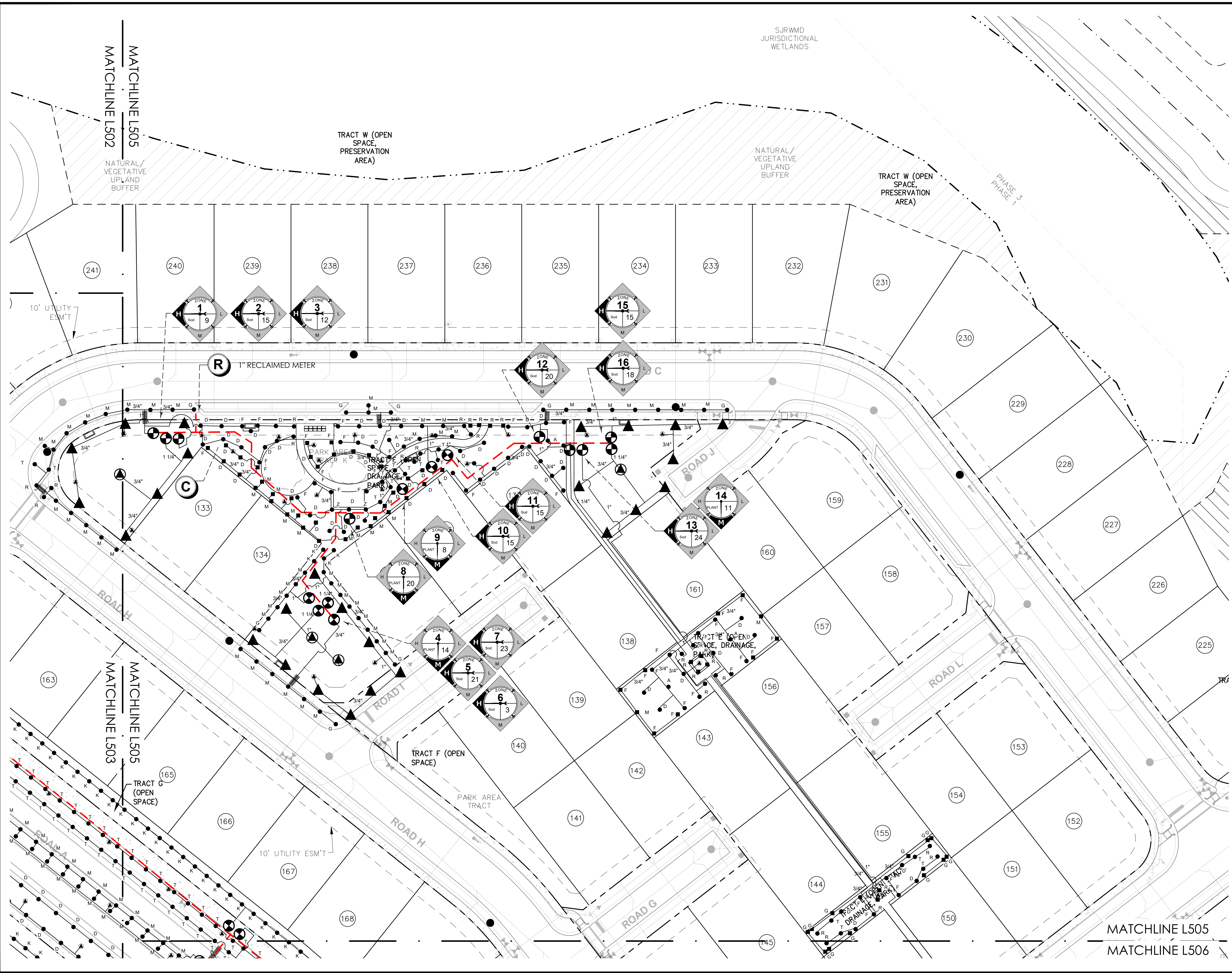
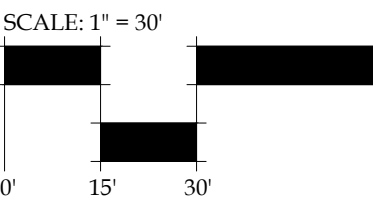
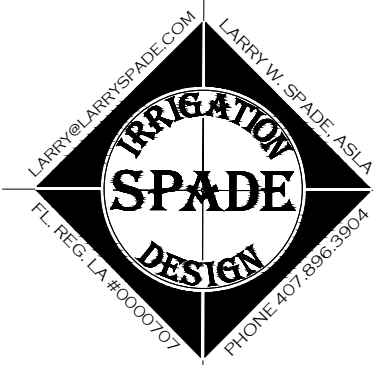
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CHECKED BY: TWB
JOB NUMBER: 2021.195
FILE NAME: 2021.195_LIN - HILLSIDE GROVE_PH1_IRRBASE

REVISIONS:
1 City Comments 09-29-2022
2 City Comments 11-17-2022



L505

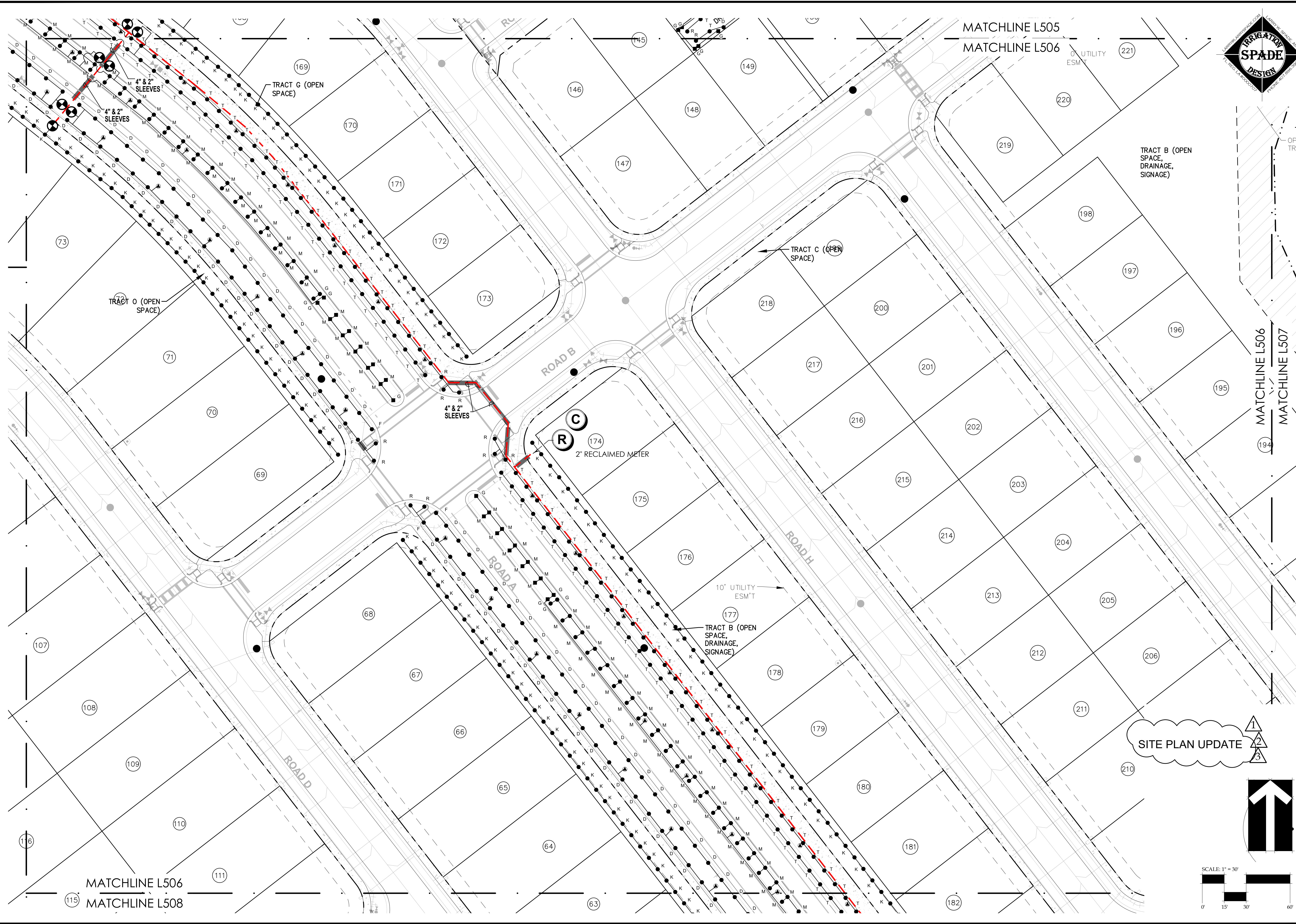
Todd W. Bonnett, RLA #LA000776



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HOWEY-IN-THE-HILLS, FLORIDA
IRRIGATION PLAN

PHASE 1

DATE: May 27, 2022
DRAWN BY: LWS
CHECKED BY: TWB
JOB NUMBER: 2021.195
FILE NAME: 2021.195 LEN - HILLSIDE GROVE_PH1_IRRBASE

REVISIONS:
1 City Comments 09-29-2022
2 City Comments 11-17-2022
3 City Comments 06-23-2023

1
2
3

SITE PLAN UPDATE

0' 15' 30' 60'

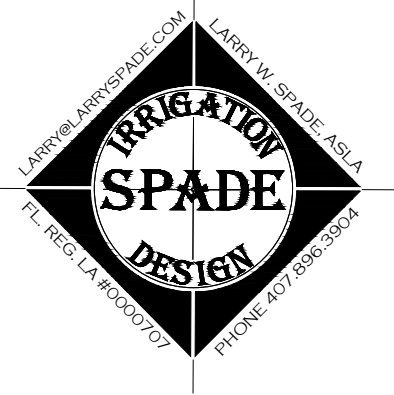
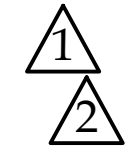
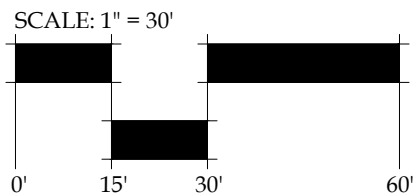
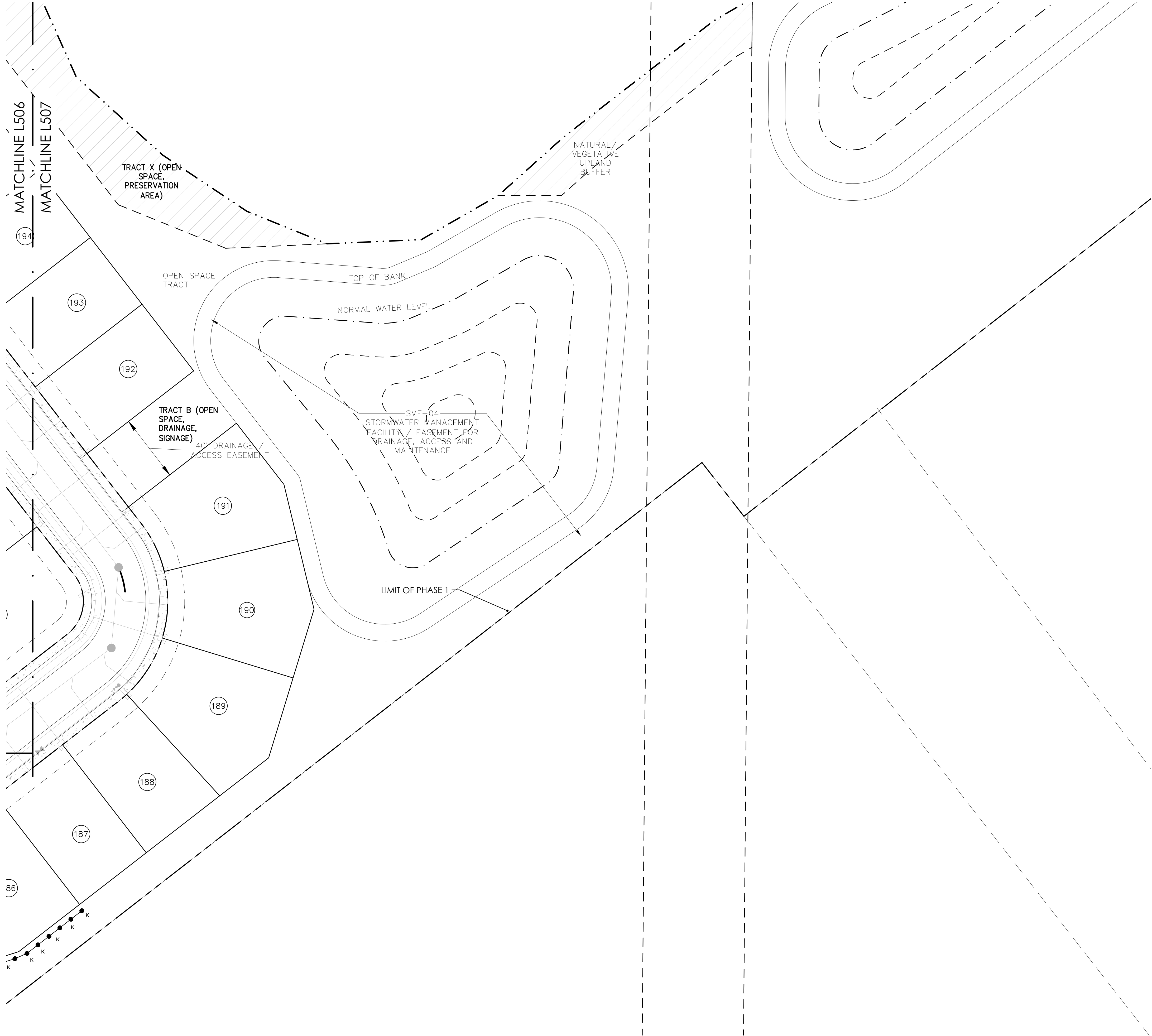
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L506

45

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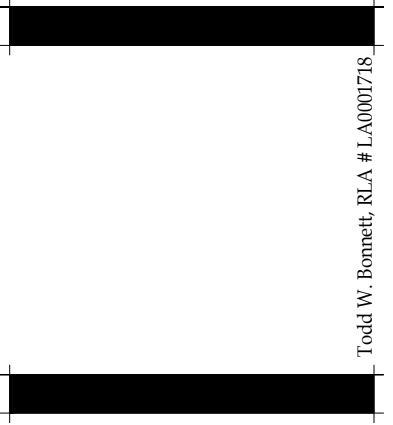
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HOWEY-IN-THE-HILLS, FLORIDA
IRRIGATION PLAN

PHASE 1

DATE: May 27, 2022
DRAWN BY: LWS
CHECKED BY: TWB
JOB NUMBER: 2021.195
FILE NAME: 2021.195_LEN - HILLSIDE GROVE_PHL_IRRBASE

REVISIONS:
1 City Comments 09-29-2022
2 City Comments 11-17-2022



L507

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**Hillside Grove
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Easton & Associates
HOWEY-IN-THE-HILLS, FLORIDA
IRRIGATION PLAN**

PHASE 1

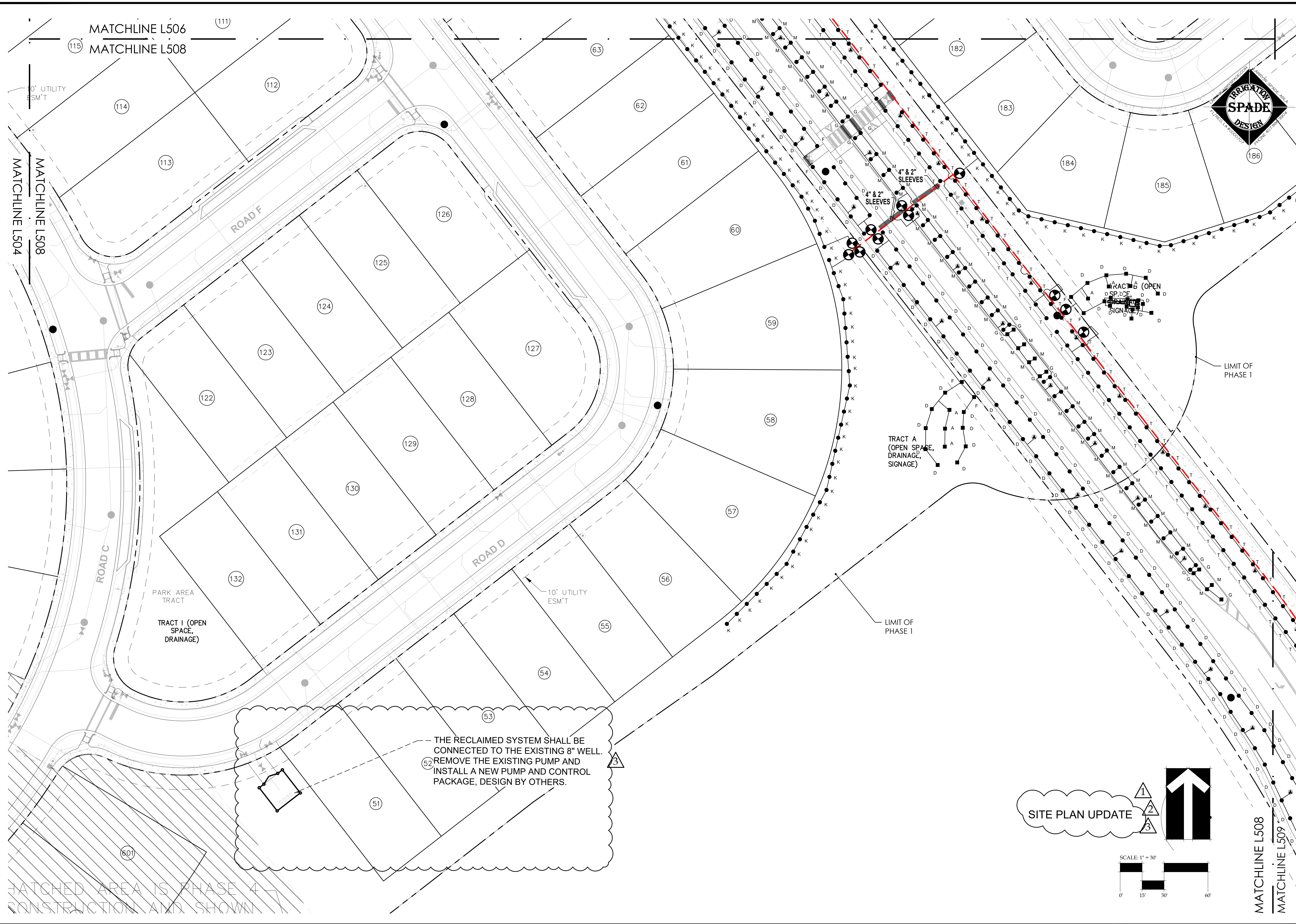
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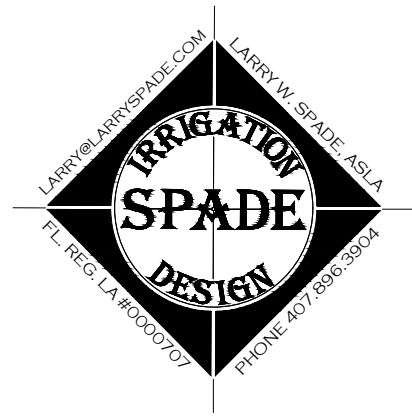
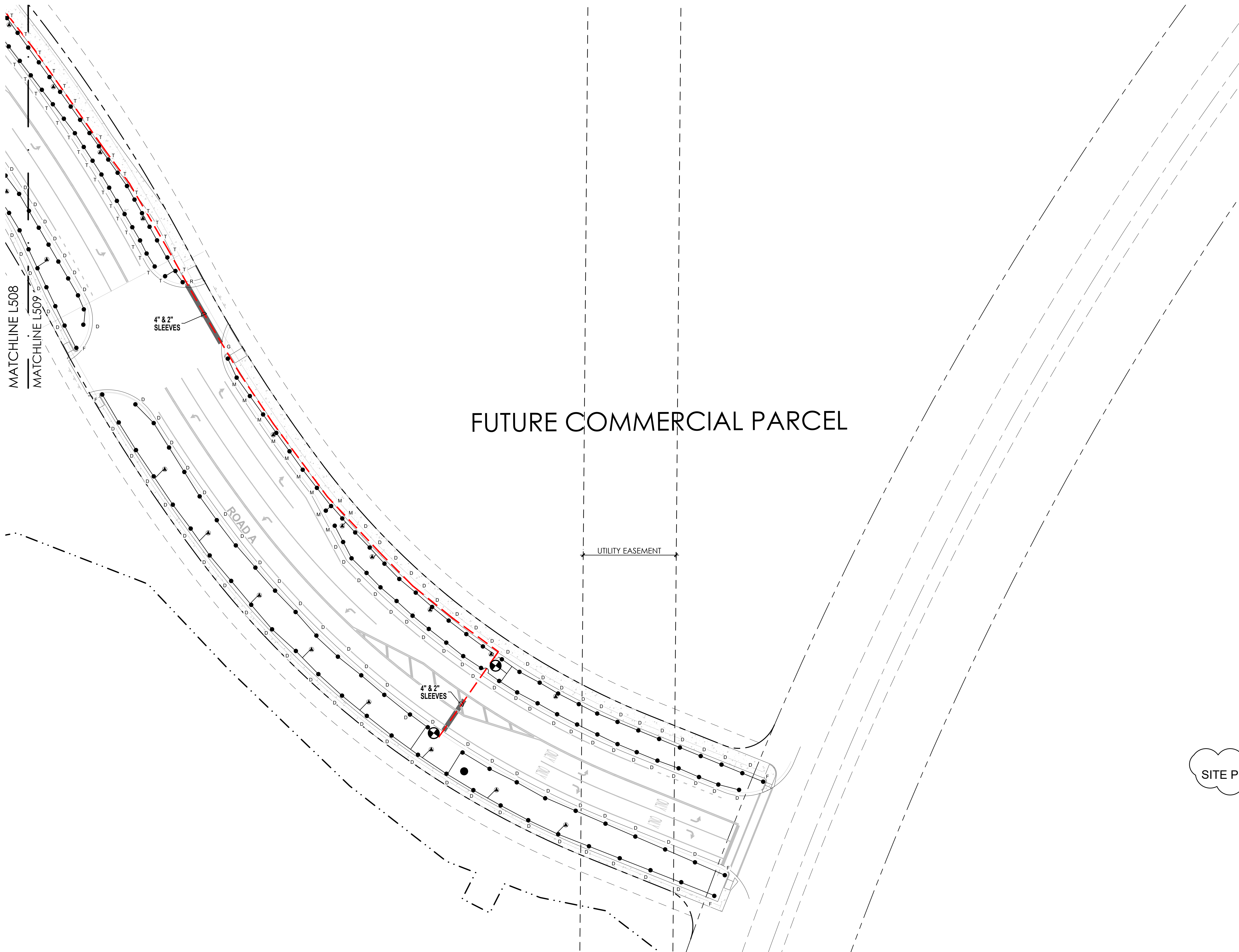
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2	City Comments 11-17-2022
3	City Comments 06-23-2023

Todd W. Bennett, RLA # L.A0001718

L508



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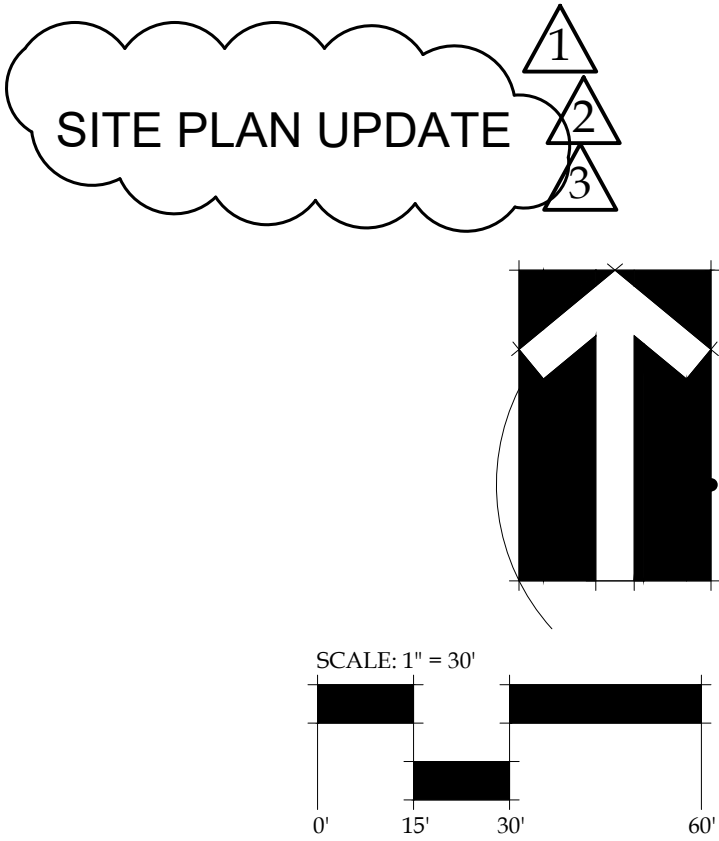


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Easton & Associates
HOWEY-IN-THE-HILLS, FLORIDA
IRRIGATION PLAN

PHASE 1

DATE: May 27, 2022
DRAWN BY: LWS
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JOB NUMBER: 2021.195
FILE NAME: 2021.195_LEN - HILLSIDE GROVE_PHL_IRRBASE

REVISIONS:
1 City Comments 09-29-2022
2 City Comments 11-17-2022
3 City Comments 06-23-2023



L509

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IRRIGATION DETAILS & NOTES

DATE: May 27, 2022

DRAWN BY: LWS

CHECKED BY: TWE

JOB NUMBER: 2021.195

FILE NAME:

1.195_LEN - HILLSIDE GROVE_PH1_IRBASE

REVISIONS:

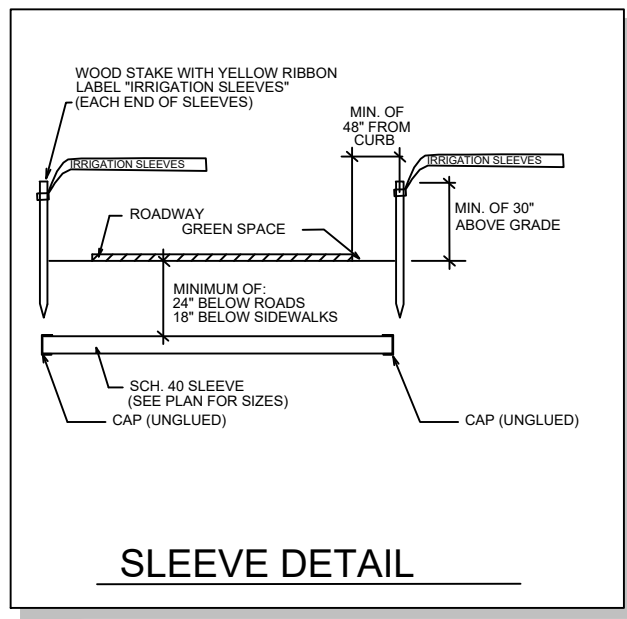
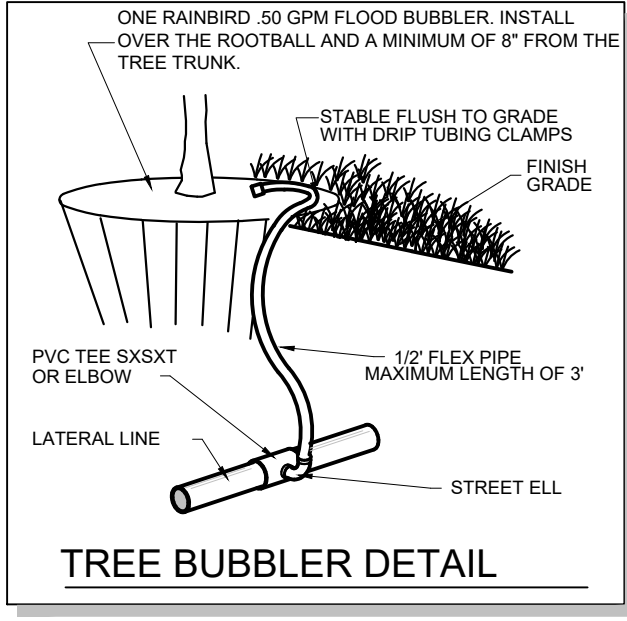
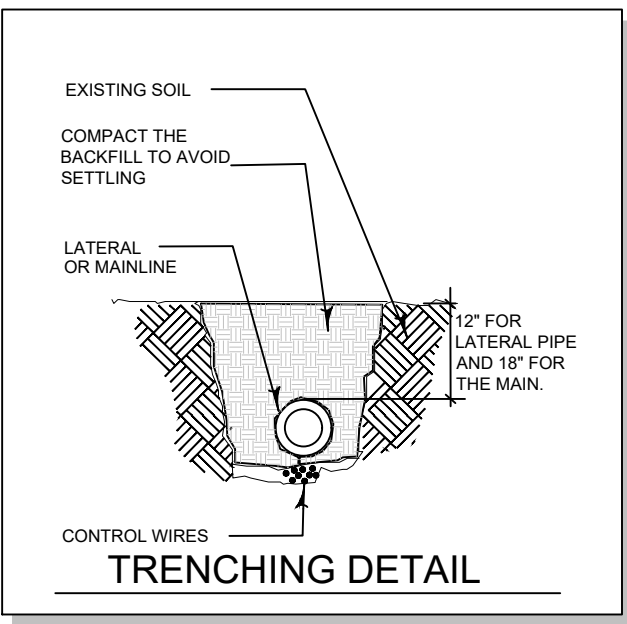
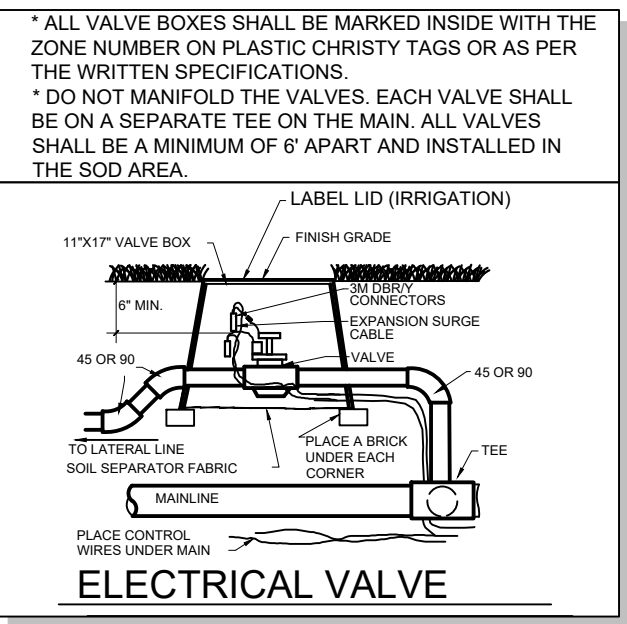
1 City Comments 09-29-202


City Comments 11-17-202

City Comments 11-17-2022
City Comments 11-17-2022

Todd W. Bennett, RIA #IA0001718

49



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RE

- ## NOZZLE CHART

A diamond-shaped water meter with a central circle. The diamond is divided into four quadrants labeled H (top-left), L (top-right), M (bottom-left), and M (bottom-right). The central circle is divided into four quadrants labeled ZONE (top-left), GPM (top-right), PLANT (bottom-left), and SOD (bottom-right). A legend on the right indicates that the diamond shape represents HIGH, MEDIUM, or LOW water use. Labels with arrows point to the Zone Number, Zone, GPM, Plant, Sod, Plant Trees, High Medium Low, and Water Use.

MASS GRADING PLANS FOR HILLSIDE GROVES AT HOWEY IN THE HILLS PUD

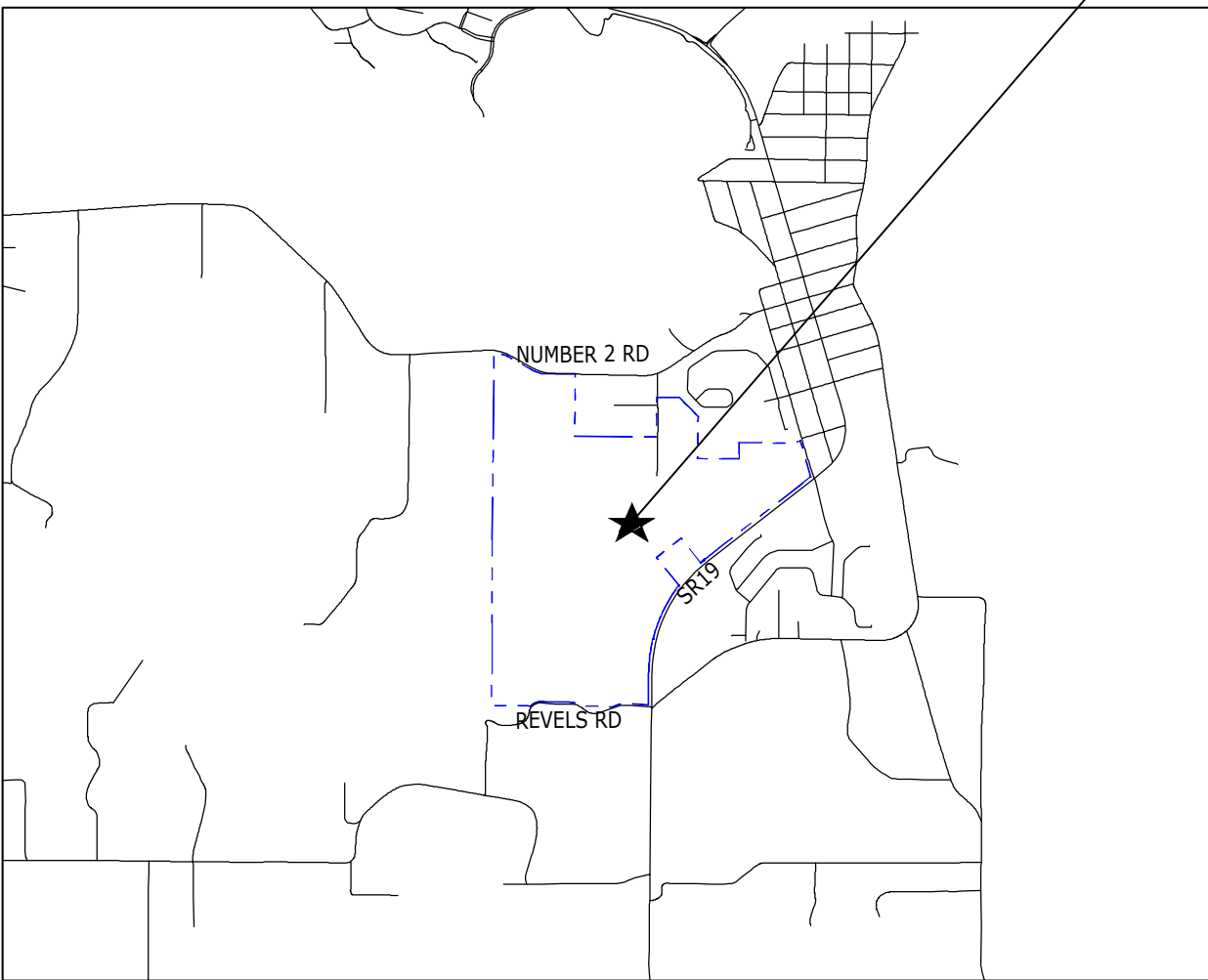
PUD #

**PARCEL #: 26-20-25-0100-000-00002, 35-20-25-0003-000-00501,
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26-20-25-0100-000-00004, 26-20-25-0100-000-00500, 26-20-25-0100-000-00003 &**

26-20-25-0400-D14-00000
HOWEY-IN-THE-HILLS
LAKE COUNTY, FL

**PREPARED FOR
EASTON & ASSOCIATES
10165 SW 19TH ST
MIAMI, FL 33172**

PROJECT LOCATION



LOCATION MAP

1" = 3000'

INDEX OF SHEETS	
SHEET	TITLE
C100	COVER
C101	GENERAL NOTES
C150	EXISTING CONDITIONS PLAN
C160	CLEARING, SEDIMENT & EROSION CONTROL PLAN
C400	MASTER SHE PLAN
C500-C504	MASS GRADING PLAN
C505	STRUCTURE TABLES
C510	CONTROL STRUCTURE DETAILS
C900	TOWN OF HOWEY-IN-THE-HILLS DETAILS
C950	SWPPP

DEVELOPER
LENNAR - ORLANDO
6750 FORUM DRIVE, SUITE 310
ORLANDO, FL 32821

CIVIL ENGINEER
CONNELLY & WICKER INC
1560 NORTH ORANGE AVENUE, S
WINTER PARK, FL 32789
(904) 265-3030
CONTACT: JUSTIN WILLIAMS, P.E.

PLANNER
William (Bill) A. Ray, AICP
Ray and Associates
Planning and Environmental Services
2712 SE 29th Street,
Ocala, FL 34471
Office & Cell; 352-425-8881

OWNER
EASTON & ASSOCIATES
10165 NW 19TH ST
MIAMI, FL 33172

LEGAL DESCRIPTION:

The Southwest 1/4 of the Northwest 1/4 of the Northwest 1/4 of a Section 35, Township 20 South, Range 25 East, Lake County, Florida;

AND

The Southwest 1/4 of the Northwest 1/4 of the Northwest 1/4 of a Section 35, Township 20 South, Range 25 East, Lake County, Florida;

AND

A triangular tract of land described as:

Beginning at the Northeast corner of the Southwest 1/4 of the Northwest 1/4 of the Northwest 1/4 of a Section 35, Township 20 South, Range 25 East, Lake County, Florida; run thence West approximately 330 feet to the Southeast corner of the Southwest 1/4 of the Northwest 1/4 of the Northwest 1/4 of the Northwest 1/4; thence run North approximately 330 feet to the Northeast corner of the Two and One-Half Acre tract last described; thence Southeast to the Point of Beginning;

AND

The Southwest 1/4 of the Northwest 1/4 of the Northwest 1/4 of a Section 35, Township 20 South, Range 25 East, Lake County, Florida; less that portion lying within Taylor Memorial Cemetery hereinafter particularly described:

The Northwest 1/4 of the Southwest 1/4, less that portion lying West of State Road 19, now paved. Less and Except such portion of Taylor Memorial Cemetery Included therein, which cemetery is more particularly described as follows:

Beginning at the East 1/2 mile corner of Section 35, Township 20 South, Range 25 East, Lake County, Florida; run West 1490 feet to an iron pipe on the North 1/2 mile line of said State Road now paved; thence Southeasterly along said right-of-way line 446.5 feet to a cement marker and the Point of Beginning of Cemetery property; run thence Southeasterly with the North right-of-way line of said road 505.4 feet; thence North 362° 27' West, 57.58 feet; thence North 51° 33' East, 500 feet; thence North 38° 27' East, 500 feet to the Point of Beginning;

AND

The Southwest 1/4 of the Northwest 1/4, lying North and West of State Road 19, now paved. Less and Except such part thereof as is contained in the plat of Palm Gardens as recorded in the Public Records of Lake County, Florida on February 28, 1951, in Plot Book 12, Page 11;

AND

The West 1/2, Less and Except the North 3/4 of the Northwest 1/4 of the Northwest 1/4 of a Section 35, Township 20 South, Range 25 East, Lake County, Florida;

AND

That part of the South 1/4 of the Southwest 1/4 of the Southwest 1/4, lying South of County Clay Road, in Section 26, Township 20 South, Range 25 East, Lake County, Florida. Subject to the rights-of-way for said existing state, county and town roads, streets and highways;

AND

A tract of land located in the Northeast 1/4 of the Northwest 1/4 of Section 35, Township 20 South, Range 25 East, Lake County, Florida, and generally described as follows:

Beginning at the residence of Don White and West of the Western boundary line of Palm Gardens subdivision;

AND

All of Block B-14, according to the plat of Palm Gardens, filed February 28, 1951, and recorded in Plot Book 12, Page 11, of the Public Records of Lake County, Florida.

All of the above Lake County property being more particularly described as follows:

That part of the Northwest 1/4 of the Northwest 1/4 of a Section 35, Township 20 South, Range 25 East, in the town of Honey in the Hills, Florida, bounded and described as follows:

Begin at the Northeast corner of the Southwest 1/4 of the Northwest 1/4 of the Northwest 1/4 of the Northwest 1/4 of said Section 35; thence run East along the North line thereof to the Northeast corner of the said Southwest 1/4 of the Northwest 1/4 of the Northwest 1/4 of the Northwest 1/4; thence run Southeasterly along a straight line to the Northeast corner of the Southwest 1/4 of the Northwest 1/4 of the Northwest 1/4 of the Northwest 1/4 of said Section 35; thence run South along the West line thereof, to the Southwest corner of the said Southwest 1/4 of the Northwest 1/4 of the Northwest 1/4 of the Northwest 1/4; thence run West along the South line thereof to the Southwest corner of the said Northwest 1/4 of the Northwest 1/4 of the Northwest 1/4; thence run North along the West line of the said Southwest 1/4 of the Northwest 1/4 of the Point of Beginning. Less all rights-of-way for streets in Honey in the Hills, Florida.

All of Block B-14 in Palm Gardens, a subdivision in the town of Honey in the Hills, Florida, according to the plat thereof recorded in Plot Book 12, Page 11 of the Public Records of Lake County, Florida.

The South 3/4 of the West 1/2, the Northwest 1/4 of the Southwest 1/4, Less the right-of-way of a County Clay Road, and the South 1/4 of the Northwest 1/4 of the Northwest 1/4 of Section 35, Township 20 South, Range 25 East, Lake County, Florida, in the town of Honey in the Hills, Florida.

That part of the Southwest 1/4 of the Northwest 1/4 of a Section 35, Township 20 South, Range 25 East, Lake County, Florida, in the town of Honey in the Hills, Florida; Less and Except that portion thereof lying within Taylor Memorial Cemetery, according to the plat thereof recorded in Plot Book No. 19, thence run Northwesterly along the right-of-way of State Road No. 19, thence run Northwesterly along the Northwesterly line of the said right-of-way line of State Road No. 19, thence run Northwesterly along the Northwesterly line of the said right-of-way line of Block D-14, of the said Palm Gardens subdivision; thence run Northwesterly along the Western line of the said Block D-14, to the Point of Beginning. Less all rights-of-way for streets in Honey in the Hills, Florida.

That part of the East 1/2 of the Northwest 1/4 of a Section 35, Township 20 South, Range 25 East, in the town of Honey in the Hills, Florida, bounded and described as follows:

Begin at the Northwest corner of Lot 1, in Block D-14, in Palm Gardens, according to the plat thereof recorded in Block 12, Page 11, of the Public Records of Lake County, Florida; thence run West to the West line of the Northwest 1/4 of the Northwest 1/4 of the said Section 35; thence run South along the West line of the said Northwest 1/4 of the Northwest 1/4 of the said Section 35, to a point on the Northwesterly line of the right-of-way of State Road No. 19; thence run Northwesterly along the Northwesterly line of the said right-of-way line of Block D-14, of the said Palm Gardens subdivision; thence run Northwesterly along the Western line of the said Block D-14, to the Point of Beginning. Less all rights-of-way for streets in Honey in the Hills, Florida.

That part of the South 1/4 of the Southwest 1/4 of the Southwest 1/4 of a Section 26, Township 20 South, Range 25 East, Lake County, Florida, lying South of the Southerly line of the right-of-way of the County Road.

CORNER at the East 1/4 corner of Section 3S, Township 20 South, Range 25 East, Lake County, Florida; thence run North 89°21'35" West along the South Line of the Northeastly 1/4 of said Section 3S, 1487.19 feet to a point on the Northerly right-of-way line of State Road No. 19; thence run South S20°27'27" West along said Northerly right-of-way line, 66.25 feet to the Point of Beginning; thence continue South S20°27'27" West along said Northerly right-of-way line, 392.98 feet to the point of curvature of a curve concave Southeasterly; thence run Southeasterly along the arc of said curve having a central angle of 02°12'24", a chord bearing North N24°03'51" West and a chord distance of 90.00'; thence run North N30°03'51" West, along the Northerly line of said Taylor Memorial Cemetery, 547.00 feet; thence run North N20°06'28" East, 484.34 feet to the point of curvature of a curve concave Southerly; thence run Southeasterly along the arc of said curve having a central angle of 90°00'00"; thence run North N20°06'28" East, 15.71 feet, a chord bearing of South S23°30'22" East and a chord distance of 14.16 feet to the point of tangency; thence run South S73°30'22" East, 52.53 feet to the point of curvature of a curve concave Northerly; thence run Southeasterly along the arc of said curve having a central angle of 90°00'00", a radius of 10.00 feet, on an arch length of 15.71 feet, a chord bearing of South S70°07'12" West and a chord distance of 14.14 feet to the Point of Beginning.

AND, ALSO LESS THE following described parcel:

Northernmost 1/4 of said Section 3S, Township 20 South, Range 25 East, Lake County, Florida; thence run North 89°21'35" West along the South Line of the Northeastly 1/4 of said Section 3S, 1487.19 feet to a point on the Northerly right-of-way line of State Road No. 19; thence run South S20°27'27" West along said Northerly right-of-way line, 66.25 feet to the Point of Beginning; thence continue South S20°27'27" West along said Northerly right-of-way line, 392.98 feet to the point of curvature of a curve concave Southeasterly; thence run Southeasterly along the arc of said curve having a central angle of 02°12'24", a chord bearing North N24°03'51" West and a chord distance of 90.00 feet to the most Easterly corner of Taylor Memorial Cemetery; thence run North N30°03'51" West, along the Northerly line of said Taylor Memorial Cemetery, 547.00 feet; thence run North N20°06'28" East, 484.34 feet to the point of curvature of a curve concave Southerly; thence run Southeasterly along the arc of said curve having a central angle of 90°00'00"; thence run North N20°06'28" East, 15.71 feet, a chord bearing of South S23°30'22" East and a chord distance of 14.16 feet to the point of tangency; thence run South S73°30'22" East, 52.53 feet to the point of curvature of a curve concave Northerly; thence run Southeasterly along the arc of said curve having a central angle of 90°00'00", a radius of 10.00 feet, on an arch length of 15.71 feet, a chord bearing of South S70°07'12" West and a chord distance of 14.14 feet to the Point of Beginning.

AND, ALSO LESS THE following described parcel:

Northernmost 1/4 of said Section 3S, Township 20 South, Range 25 East, Lake County, Florida; thence run North 89°21'35" West along the South Line of the Northeastly 1/4 of said Section 3S, 1487.19 feet to a point on the Northerly right-of-way line of State Road No. 19; thence run South S20°27'27" West along said Northerly right-of-way line, 67.75 feet to the Point of Beginning; thence turn North S73°30'22" West, 100.88 feet; thence turn North N03°54'47" East, 116.76 feet to a point on the North line of the Southwest 1/4 of the Northwest 1/4 of said Section 3S; thence run North S20°27'27" East along said North line, 25.82 feet to the intersection of the Southeastly right-of-way line of State Road No. 19; thence run North N03°54'47" East, 116.76 feet to a point on the South line of the residence of Dan White; thence turn North S20°27'27" East along said South line, 418.17 feet; thence turn South S00°54'47" West, 70.90 feet; thence turn South S73°32'33" East, 317.47 feet to a point on said Northerly right-of-way line of State Road No. 19; thence run South S00°54'47" West along said Northerly right-of-way line, 329.54 feet to the Point of Beginning.

ALSO, LESS EXCEPTED the following described parcel:

Tail parcel described by the Taylor Memorial Cemetery in Tail Quitclaim Deed recorded in Official Records Book 1147, Page 1398, of the Public Records of Lake County, Florida.

PARCEL Z (Easement Estate):

Together with those appurtenant easements as set forth and granted by Eagles Landing II, COOCE, Inc., a Florida corporation, to Hovey in the Hills, a Florida limited liability company, pursuant to a Subdivision Plat Agreement and Grant of Easements, recorded November 10, 2005, in Official Records Book 3003, page 1377, of the Public Records of Lake County, Florida;

FLORIDA REGISTRY: 3650 L.A. NUMBER: LC26000311
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JACKSONVILLE, FLORIDA 32246
(904) 265-3030 FAX: (904) 265-3031

1560 NORTH ORANGE AVE., SUITE 210
WINTER PARK, FLORIDA 32789
(407) 261-3100 FAX: (407) 261-3099

COVER

MASS GRADING PLANS FOR HILLSIDE GROVES HOWEY IN THE HILLS

Jul 20, 2023
TIN WILLIAMS, P.E.
P.E. #69260
Reg. Engineer

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Project No.: 21-04-0008	
Designed: RRB	Drawn: RAH
Checked: RRB	O.C.: RCW
Date: APRIL 2021	
Scale: N/A	DATUM:
Sheet C100	

GENERAL NOTES:

- ⚠

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE LATEST STANDARDS OF THE TOWN OF HOWEY-IN-THE-HILLS, FDOT AND FDEP.
2. PAVEMENT STRIPING TO BE IN ACCORDANCE WITH THE FLORIDA D.O.T. ROADWAY & TRAFFIC STANDARDS, INDEX 17346, AND AS REQUIRED BY THE TOWN OF HOWEY-IN-THE-HILLS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF SIZE AND LOCATION OF ALL EXISTING UTILITIES AND RELATED CONSTRUCTION PRIOR TO COMMENCEMENT OF WORK. SHOULD THE CONTRACTOR OBSERVE ANY DEVIATIONS FROM WHAT IS SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF SAID DEVIATIONS PRIOR TO COMMENCEMENT OF WORK. ANY WORK THAT MUST BE REDONE DUE TO FAILURE OF CONTRACTOR TO NOTIFY THE ENGINEER OF DEVIATIONS PRIOR TO CONSTRUCTION WILL BE AT THE CONTRACTORS SOLE EXPENSE.
4. WHERE MUCK OR OTHER ORGANIC MATERIAL IS FOUND, IT SHALL BE REPLACED WITH GOOD QUALITY BACKFILL MATERIAL OBTAINED FROM THE GRADING OPERATIONS OR OTHER SOURCE APPROVED BY THE GEOTECHNICAL ENGINEER. THE ORGANIC MATERIAL SHALL BE THEN USED AS TOP DRESSING WHEN MIXED WITH CLEAN BACKFILL SOIL AS APPROVED BY THE GEOTECHNICAL ENGINEER OR PLACED AS APPROVED BY OWNER.
5. ALL FINISHED GRADES AND ELEVATIONS ARE AS DENOTED BY THE APPLICABLE LEGEND.
6. AS PART OF THE CLEARING AND GRUBBING OPERATION, THE CONTRACTOR IS TO REMOVE ALL FENCING AND/OR EXISTING FACILITIES FROM THE SITE AS DIRECTED BY ARCHITECT.
7. MAINTAIN MINIMUM 3' COVER OVER PROPOSED LINES, UNLESS OTHERWISE NOTED.
- ⚠

8. THE CONTRACTOR SHALL NOTIFY THE TOWN OF HOWEY-IN-THE-HILLS AND THE UTILITY OWNER CONSTRUCTION DEPARTMENTS 48 HOURS PRIOR TO ANY UTILITIES CONSTRUCTION.
9. THE LIMITS OF THE SWALES SHALL BE SODDED AS INDICATED ON THE PLANS.
10. THE CONSTRUCTION OF ALL UTILITIES CONNECTING TO UTILITY SYSTEMS SHALL CONFORM TO STANDARDS AND CONSTRUCTION SPECIFICATIONS OF THE UTILITY OWNER.
11. CONTRACTOR IS RESPONSIBLE FOR OBTAINING FDEP GENERIC PERMIT FOR THE DISCHARGE OF PRODUCED GROUND WATER FROM ANY NON-CONTAMINATED SITE ACTIVITY IN ACCORDANCE OF FLORIDA ADMINISTRATIVE CODE 62-621.300 (2), 62-620, AND FLORIDA STATUTES CHAPTER 403.
12. ALL EXCESS FILL MATERIAL SHALL BE HAULED OFFSITE
13. ALL DESIGNATED ENTRANCES AND EXITS FOR CONSTRUCTION SITE SHALL BE STABILIZED USING FILTER FABRIC AND GRAVEL OR OTHER PRE-APPROVED METHODS TO PREVENT OFF-SITE TRACKING OF SEDIMENTS.

EROSION CONTROL NOTES:

1. DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO INSURE AGAINST POLLUTING, SILTING OR DISTURBING TO SUCH AN EXTENT AS TO CAUSE AN INCREASE IN TURBIDITY TO THE EXISTING SURFACE WATERS. SUCH MEASURES SHALL BE APPROVED BY THE PROJECT ENGINEER AND MAY INCLUDE, BUT NOT LIMITED TO, CONSTRUCTION OF TEMPORARY EROSION CONTROL STRUCTURES, SUCH AS SEDIMENT BASINS, SEDIMENT CHECKS, OR SILT BARRIERS.
2. SODDING (OR OTHER STABILIZATION) OF STORMWATER DETENTION AREAS SHOULD BE ACCOMPLISHED WITH IN SEVEN (7) DAYS FOLLOWING COMPLETION OF GRADING TO MINIMIZE EROSION POTENTIAL.
3. AT A MINIMUM, THE RETENTION/DETENTION STORAGE AREA MUST BE EXCAVATED TO ROUGH GRADE PRIOR TO BUILDING CONSTRUCTION OR PLACEMENT OF IMPERVIOUS SURFACE WITHIN THE AREA TO BE SERVED BY THOSE FACILITIES TO PREVENT REDUCTION IN STORAGE VOLUME AND PERCOLATION RATES. ALL ACCUMULATED SEDIMENT MUST BE REMOVED FROM THE STORAGE AREA PRIOR TO FINAL GRADING AND STABILIZATION.
- ⚠

4. IF DURING CONSTRUCTION, THE PROPOSED EROSION CONTROL SYSTEM DOES NOT PERFORM SATISFACTORILY, ALTERNATIVES AND ADDITIONAL METHODS OF PROTECTION SHALL BE IMPLEMENTED BY THE CONTRACTOR IN ORDER TO COMPLY WITH THE TOWN OF HOWEY-IN-THE-HILLS EROSION PROTECTION STANDARDS. CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR ALL EROSION CONTROL COSTS INCLUDING ANY COSTS ASSOCIATED WITH COMPLIANCE ISSUES AND ENFORCEMENT ACTIONS.
5. THE CONTRACTOR WILL BE REQUIRED TO SUBMIT A DETAILED EROSION CONTROL PLAN TO THE TOWN OF HOWEY-IN-THE-HILLS FOR REVIEW AND APPROVAL A MINIMUM OF 2 WORKING DAYS PRIOR TO THE PRE-CONSTRUCTION MEETING. AT A MINIMUM, THE EROSION CONTROL PLAN SHALL PROPOSE SILT SCREEN OR SYNTHETIC HAY BALES AND TURBIDITY BARRIERS, IN ACCORDANCE WITH THE CONSTRUCTION PLANS.
6. ALL PERMANENT EROSION CONTROL MEASURES SHALL BE COMPLETED WITHIN 7 DAYS OF FINAL GRADING. ALL TEMPORARY EROSION CONTROL SHALL BE MAINTAINED UNTIL PERMANENT MEASURES ARE COMPLETED AND ESTABLISHED.
7. CONTRACTOR SHALL INSPECT THE EROSION/SEDIMENT CONTROL EFFORTS TO DETERMINE THE EFFECTIVENESS. INSPECTIONS SHALL BE CONDUCTED DAILY AND WITHIN 24 HOURS AFTER EACH 0.50 INCH OR GREATER RAINFALL EVENT. ANY NECESSARY REMEDIES SHALL BE PERFORMED IMMEDIATELY.
8. SEDIMENTATION CONTROLS/BMP'S SHALL PREVENT STORMWATER RUNOFF WITH TURBIDITY GREATER THAN 29 NTUs FROM LEAVING THE CONSTRUCTION SITE.

MAINTAINENCE OF TRAFFIC:

1. FDOT INDEX 102-602 & 102-603 TO BE USED.

UTILITY NOTES:

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1. ALL PIPE, MATERIALS, AND WASTEWATER CONSTRUCTION SHALL COMPLY WITH CHAPTER 9 OF THE TOWN OF HOWEY-IN-THE-HILLS ENGINEERING STANDARDS MANUAL (ESM).
2. PER SECTION 9.03.05 OF THE ESM THE CONTRACTOR SHALL PROVIDE A DVD RECORDING OF VIDEO INSPECTION OF THE PRIVATE GRAVITY SANITARY SEWER SYSTEM TO THE CITY FOR WASTEWATER DIVISION REVIEW PRIOR TO ACCEPTANCE.
3. SEWER PIPE SHALL COMPLY WITH ASTM D3034 FOR GRAVITY SEWER.
4. SEWER JOINTS SHALL COMPLY WITH SECTION 9.03.01.B ASTM D3212 PUSH-ON ELASTOMERIC COMPRESSION GASKET TYPE.

PAVING AND DRAINAGE NOTES:

1. PIPE LENGTHS SHOWN REPRESENT SCALED DISTANCE BETWEEN CENTERLINES OF DRAINAGE STRUCTURES.
2. ALL CONCRETE DRAINAGE STRUCTURES TO BE CONSTRUCTED PER D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS UNLESS OTHERWISE NOTED.
3. DITCH BOTTOM AND CONTROL STRUCTURE INLET GRATES SHALL BE SECURED WITH CHAIN AND EYEBOLT.
4. FIVE (5) FEET OF SOD IS REQUIRED AROUND ALL DITCH BOTTOM INLETS, MANHOLES, HEADWALLS AND MITERED END SECTIONS.
5. CONTRACTOR SHALL PLACE BLUE REFLECTIVE MARKERS ON PAVEMENT IN FRONT OF FIRE HYDRANTS.
6. TOP ELEVATIONS OF MANHOLES IN GRASSED AREAS SHALL BE AT MINIMUM 4 INCHES ABOVE FINISH GRADE.

AS-BUILT NOTE:

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1. THE CONTRACTOR SHALL SUBMIT A CERTIFIED SET OF RECORD DRAWINGS TO THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING INFORMATION ON THE APPROVED PLANS CONCURRENTLY WITH CONSTRUCTION PROGRESS. RECORD DRAWINGS SUBMITTED TO THE ENGINEER AS PART OF THE PROJECT ACCEPTANCE SHALL COMPLY WITH THE TOWN OF HOWEY-IN-THE-HILLS REQUIREMENTS AND THE FOLLOWING REQUIREMENTS.
- A. DRAWINGS SHALL BE LEGIBLY MARKED TO RECORD ACTUAL CONSTRUCTION.
- B. DRAWINGS SHALL SHOW ACTUAL LOCATION OF ALL UNDERGROUND AND ABOVE GROUND STORM DRAINAGE, POTABLE WATER AND WASTEWATER PIPING, AND RELATED APPURTENANCES. ALL CHANGES TO PIPING LOCATION INCLUDING HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES AND APPURTENANCES SHALL BE CLEARLY SHOWN AND REFERENCED TO PERMANENT SURFACE IMPROVEMENTS. DRAWINGS SHALL ALSO SHOW ACTUAL INSTALLED PIPE MATERIAL, CLASS, ETC.
- C. DRAWINGS SHALL CLEARLY INDICATE VERTICAL AND HORIZONTAL SEPARATION BETWEEN POTABLE WATER MAIN AND STORM DRAINAGE/SANITARY SEWER/RECLAIMED WATER MAINS AT POINTS OF CROSSING IN ACCORDANCE WITH FDEP CRITERIA AT UTILITY CROSSINGS.
- D. DRAWINGS SHALL CLEARLY SHOW ALL FIELD CHANGES OF DIMENSION AND DETAIL INCLUDING CHANGES MADE BY FIELD ORDER OR BY CHANGE ORDER.
- E. DRAWINGS SHALL CLEARLY SHOW ALL DETAILS NOT ON ORIGINAL CONTRACT DRAWINGS, BUT CONSTRUCTED IN THE FIELD. ALL EQUIPMENT AND PIPING RELOCATION SHALL BE CLEARLY SHOWN.
- F. LOCATION OF ALL INLETS, MANHOLES, HYDRANTS, VALVES, AND VALVE BOXES SHALL BE SHOWN. ALL VALVES SHALL BE REFERENCED BY STATE PLANE COORDINATES.
- G. DIMENSIONS BETWEEN ALL INLETS AND MANHOLES SHALL BE FIELD VERIFIED AND THE INVERTS, AND GRADE ELEVATIONS OF ALL INLETS AND MANHOLES SHALL BE SHOWN.
- H. CONTRACTOR SHALL PROVIDE AS-BUILT SURVEY FOR POND GRADING. AS-BUILT POND CONTOURS SHALL BE PROVIDED AT TOP OF BANK, POND BOTTOM, AND ALL GRADE BREAKS AND ELEVATIONS SPECIFIED ON THE PLANS. CONTRACTOR SHAL BE RESPONSIBLE FOR RE-GRADING POND SLOPES THAT ARE STEEPER THAN SHOWN ON THE DESIGN PLANS.
- I. EACH SHEET OF THE PLANS SHALL BE SIGNED, SEALED AND DATED BY REGISTERED SURVEYOR WITH A NOTE READING "THESE AS-BUILT DRAWINGS ACCURATELY DEPICT THE ACTUAL IMPROVEMENTS AS CONSTRUCTED".
- J. WHERE THE POTABLE WATER MAIN CROSSES OTHER UTILITIES (STORM, GRAVITY SEWER, FORCEMAIN AND RECLAIMED WATER), THE CERTIFIED AS-BUILT DRAWINGS SHALL CLEARLY INDICATE THE CONSTRUCTED ELEVATIONS IN SUCH A WAY THAT THE VERTICAL SEPARATION BETWEEN THE WATER MAIN AND OTHER UTILITIES MAY BE VERIFIED BY THE ENGINEER. FAILURE TO PROVIDE THIS INFORMATION WILL RESULT IN THE CONTRACTOR EXCAVATING AND SURVEYING THE UTILITIES AT NO ADDITIONAL COST TO THE OWNER.
- K. WHERE THE POTABLE WATER MAIN CROSSES OTHER UTILITIES (STORM, GRAVITY SEWER, FORCEMAIN AND RECLAIMED WATER), THE CERTIFIED AS-BUILT DRAWINGS SHALL CLEARLY INDICATE THE LOCATIONS OF PIPE JOINTS IN SUCH A MANNER AS TO DEMONSTRATE THE PIPE IS CENTERED AT ALL THE CROSSINGS. FAILURE TO PROVIDE THIS INFORMATION WILL RESULT IN THE CONTRACTOR EXCAVATING AND SURVEYING THE UTILITIES AT NO ADDITIONAL COST TO THE OWNER.

2. CERTIFIED AS-BULT DRAWINGS SHALL BE PROVIDED TO THE ENGINEER PRIOR TO BACTERIOLOGICAL TESTING. FAILURE TO PROVIDE ACCURATE DRAWINGS MAY RESULT IN EXPIRED TEST RESULTS AND REQUIRE ADDITIONAL TESTING AT THE CONTRACTOR'S EXPENSE.
3. COORDINATE DATA SHALL BE PROVIDED IN STATE PLANE COORDINATES.
4. AS-BUILTS SHALL REFERENCE THE REQUIREMENTS OF CHAPTER 5 OF THE CITY'S ENGINEERING STANDARDS MANUAL.

ENGINEER'S CERTIFICATION NOTE:

"I, RYAN BLAIDA, P.E. HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE ALL EXISTING UTILITIES HAVE BEEN FIELD LOCATED AND THE LOCATION AND ELEVATION DEPICTED ON THESE PLANS IS BASED ON ACTUAL SURVEY, GROUND PENETRATING RADAR, SOFT DIG EXCAVATIONS, AND OTHER INDUSTRY METHODS. I FURTHER CERTIFY THAT ALL MEASURES HAVE BEEN TAKEN WITH REGARD TO UTILITY PROVIDERS' NOTIFICATION TO MARK UTILITIES IN ACCORDANCE WITH CHAPTER 556 F.S., SUNSHINE STATE ONE CALL."

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"I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DESIGN OF THE STORMWATER MANAGEMENT SYSTEM FOR THE PROJECT KNOWN AS: MASS GRADING RALEIGH STREET MEETS ALL OF THE REQUIREMENTS AND HAS BEEN DESIGNED SUBSTANTIALLY IN ACCORDANCE WITH THE TOWN OF HOWEY-IN-THE-HILLS STORMWATER MANAGEMENT CRITERIA."

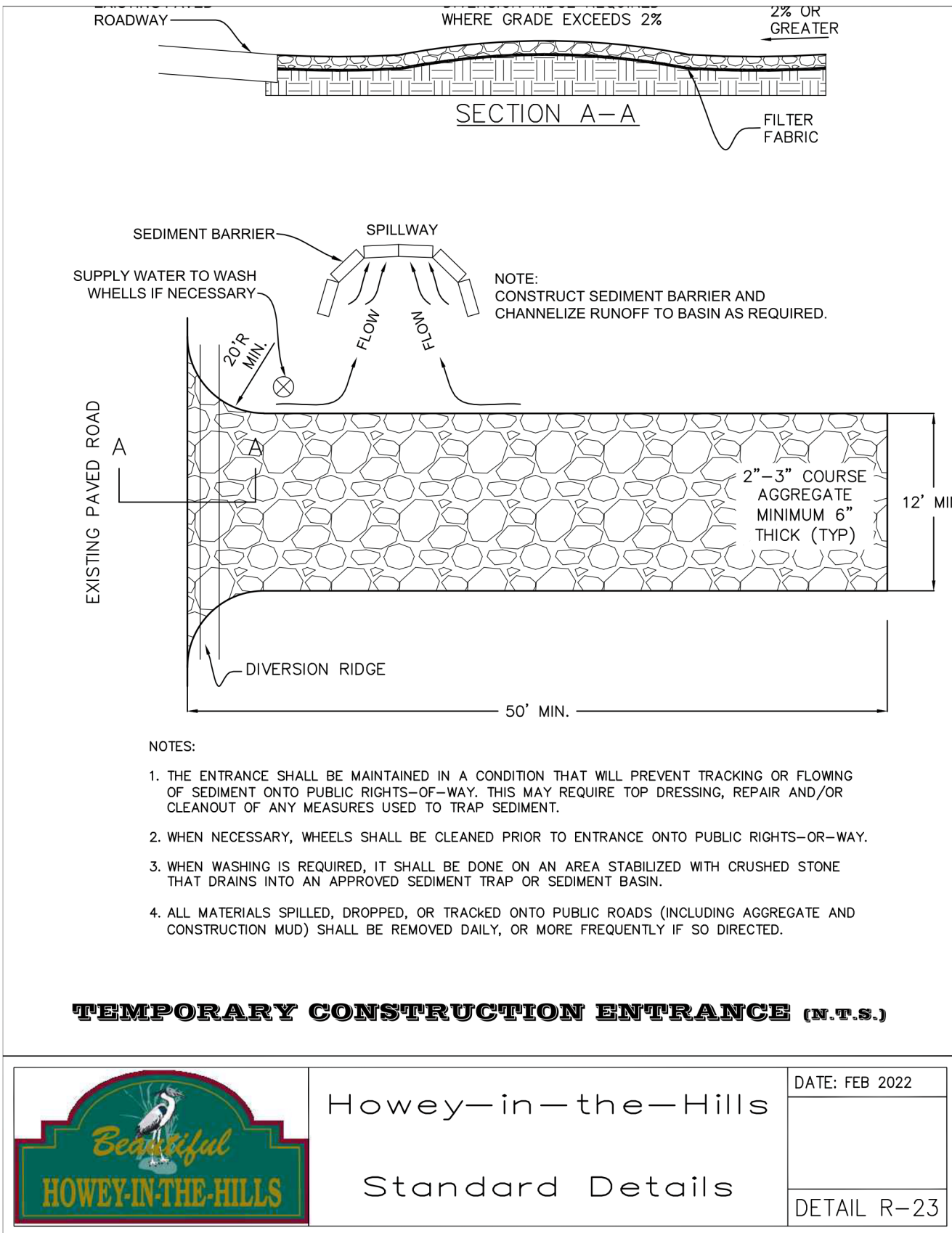
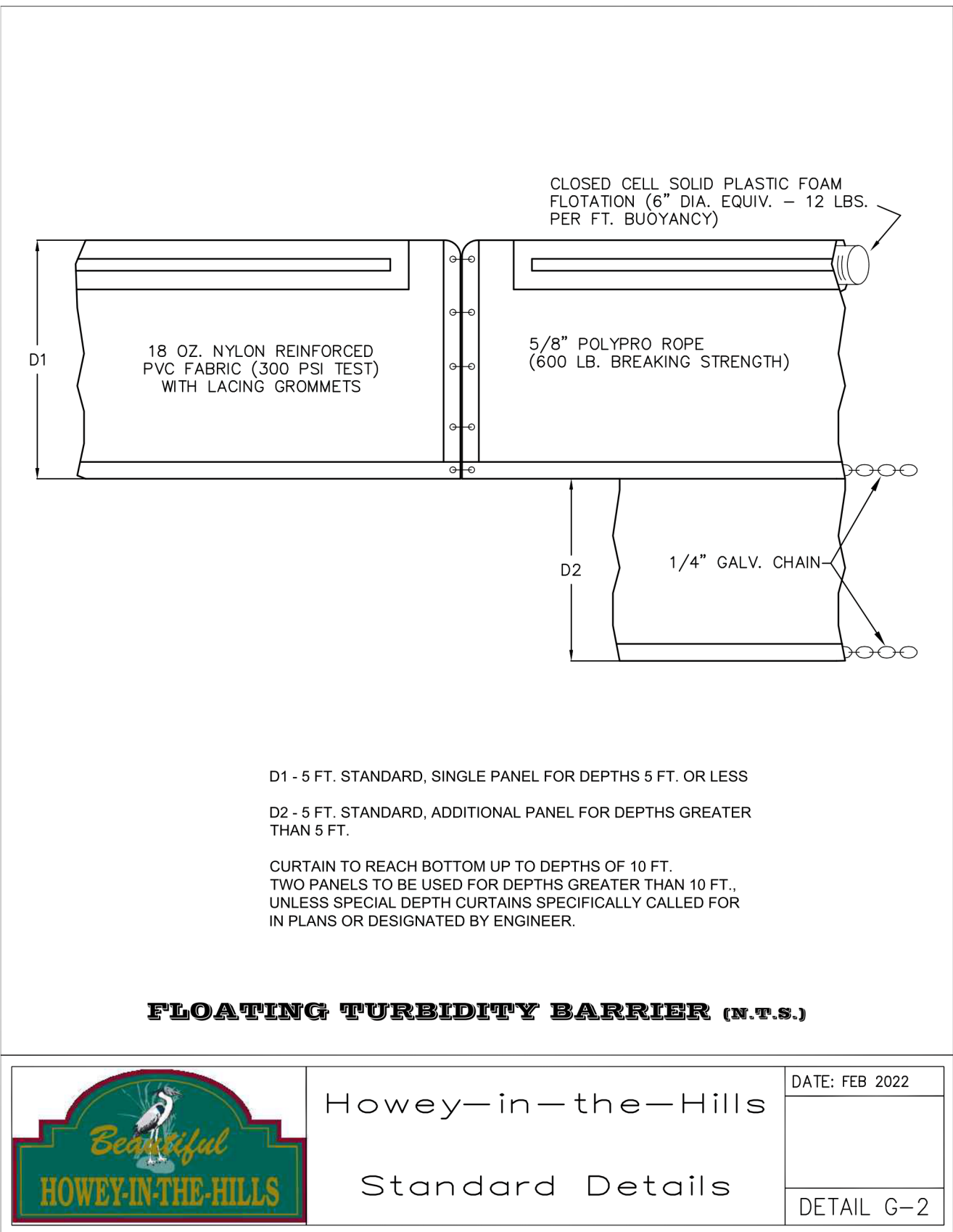
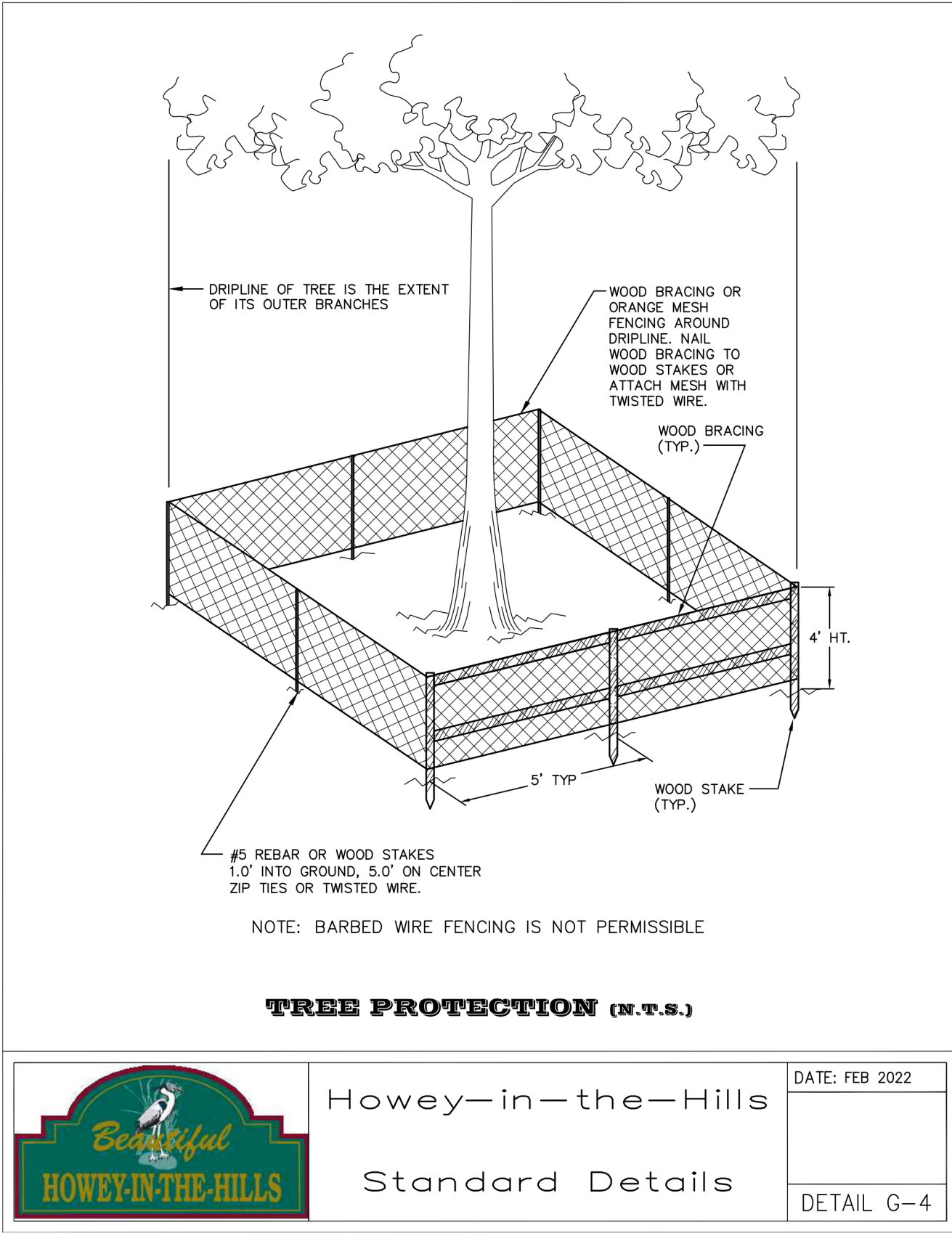
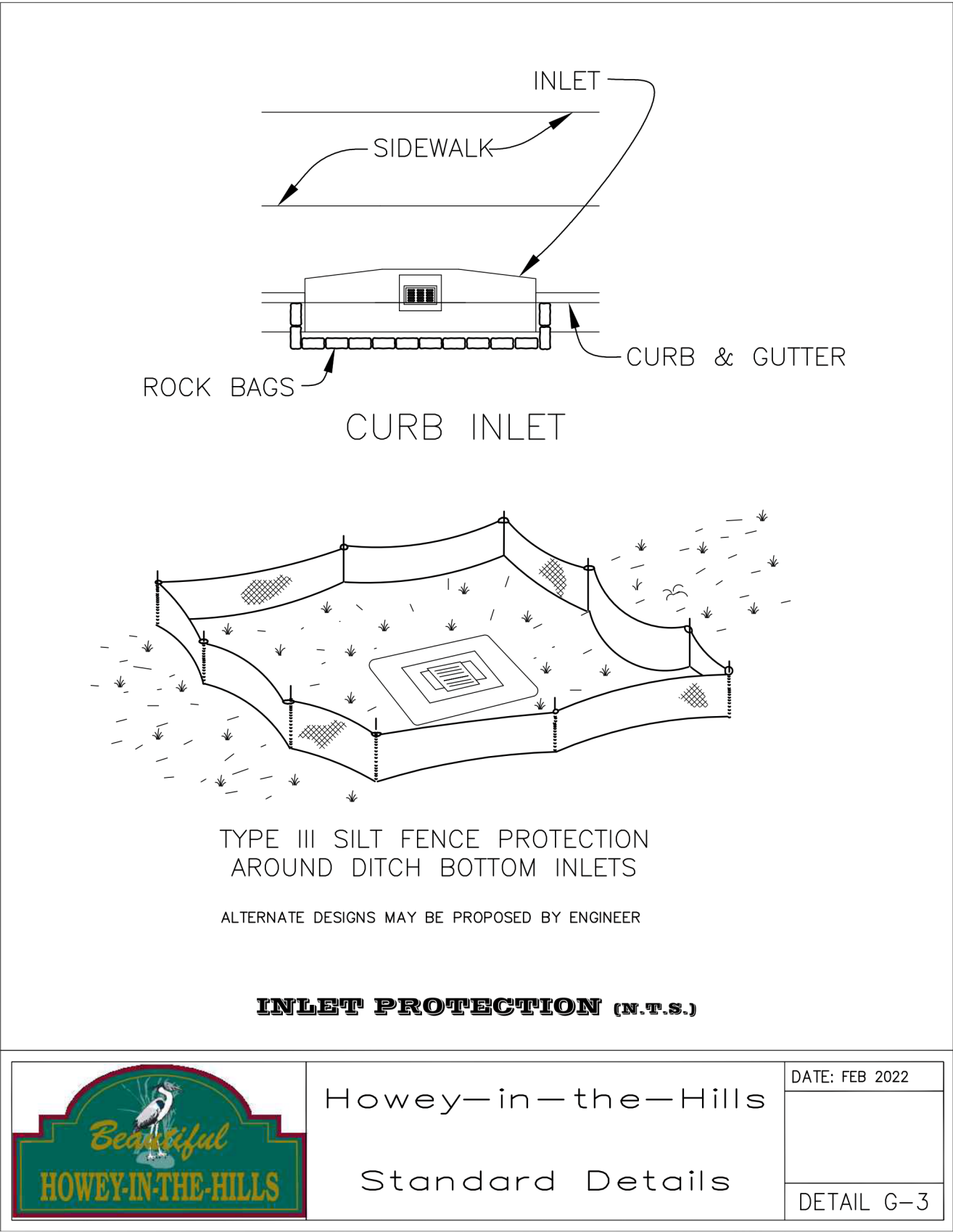
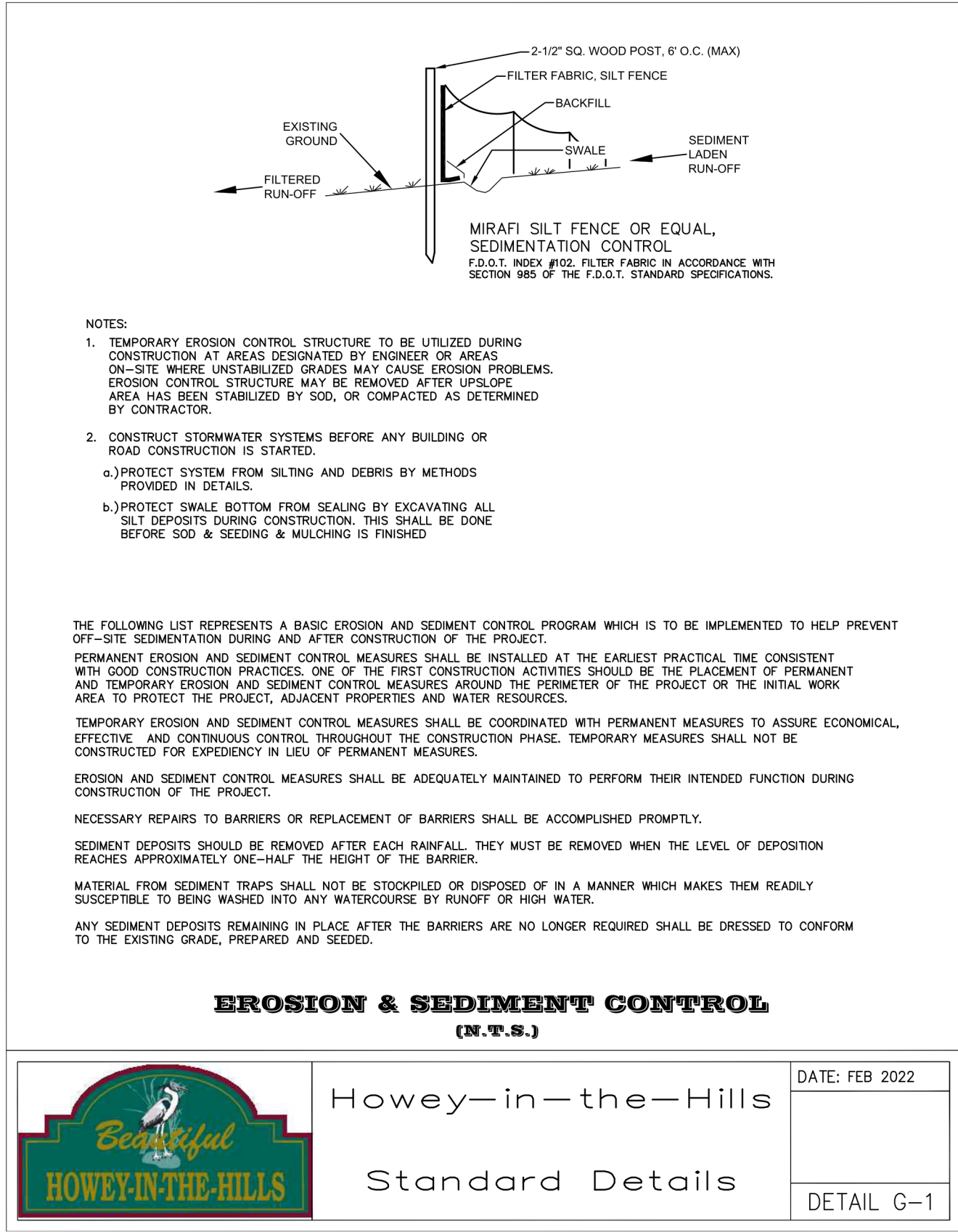
No.	Date	Revision	By
1	8/5/22	PER TOWN OF HOWEY-IN-THE-HILLS COMMENTS	RAH

GENERAL NOTES

MASS GRADING PLANS
FOR HILLSIDE GROVES
HOWEY IN THE HILLS
PREPARED FOR
EASTON & ASSOCIATES
MIAMI, FL

Jul 20, 2023
JUSTIN WILLIAMS, P.E.
FL P.E. #69260
Reg. Engineer

Project No.: 21-04-0008	Designed: RRB	Drawn: RAH
Checked: RRB	O.C.: RCW	
Date: APRIL 2021	Scale: N/A	DATUM:



Connelly & Wicker Inc.
Planning • Engineering • Landscape Architecture
1560 NORTH ORANGE AVE., SUITE 210 WINTER PARK, FLORIDA 32789
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FLORIDA REGISTRY: 3650 L.A. NUMBER: LC26000311

No.	Date	Revision	By
1	8/5/22	PER TOWN OF HOWEY-IN-THE-HILLS COMMENTS	RAH

**TOWN OF
HOWEY-IN-THE-HILLS
DETAILS**

**MASS GRADING PLANS
FOR HILLSIDE GROVES
HOWEY IN THE HILLS**
PREPARED FOR
EASTON & ASSOCIATES
MIAMI, FL

Jul 20, 2023
JUSTIN WILLIAMS, P.E.
FL P.E. #69260
Reg. Engineer

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Project No.:
21-04-0008

Designed:
RRB

Checked:
RRB

Date:
APRIL 2021

Scale:
N/A

Drawn:
RAH

O.C.:
RCW

DATUM:

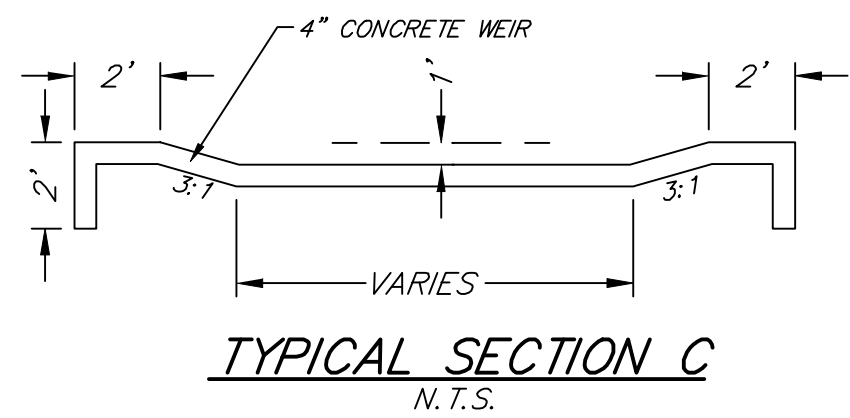
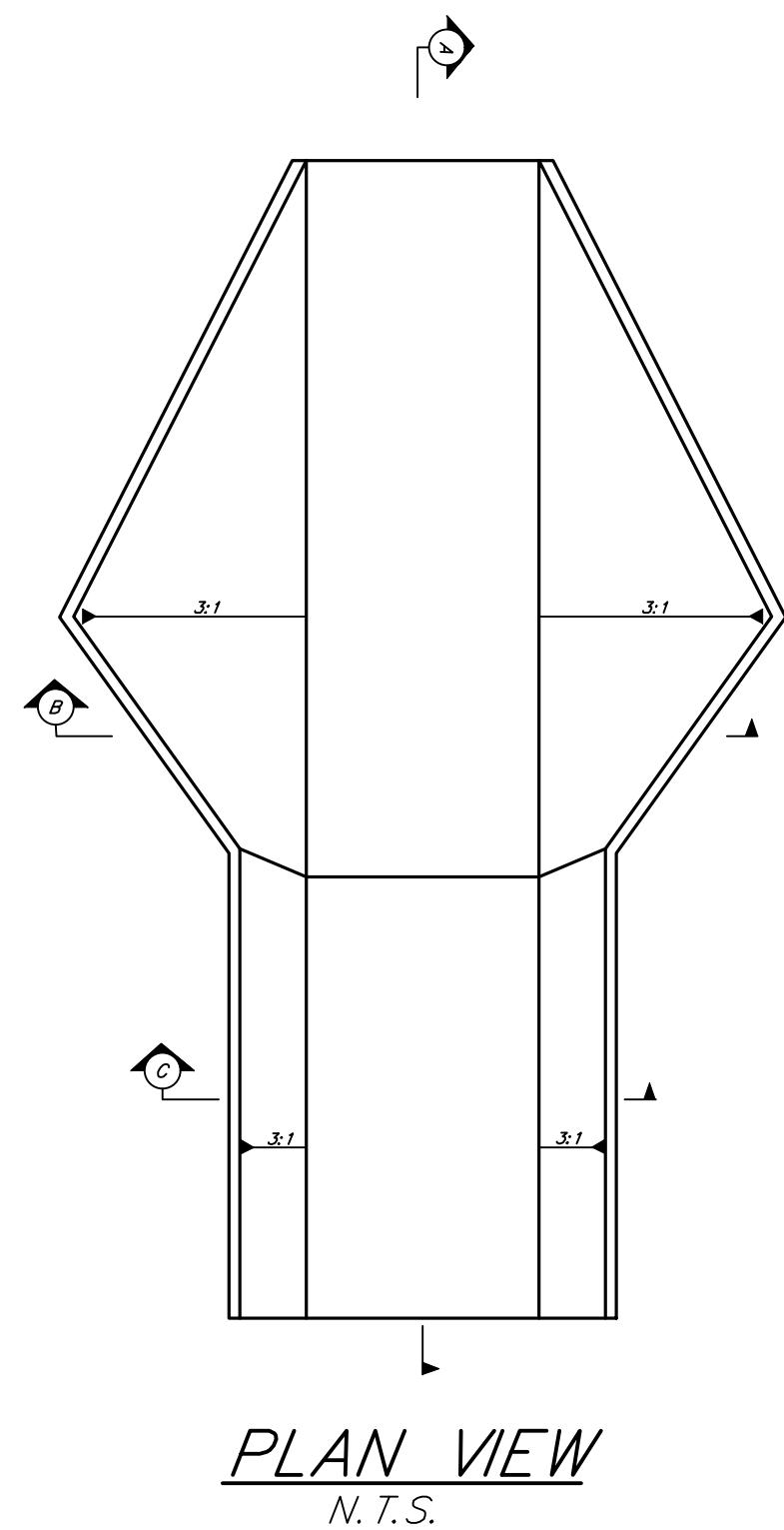
Sheet **C900** 52

CONTRACTOR'S REQUIREMENTS

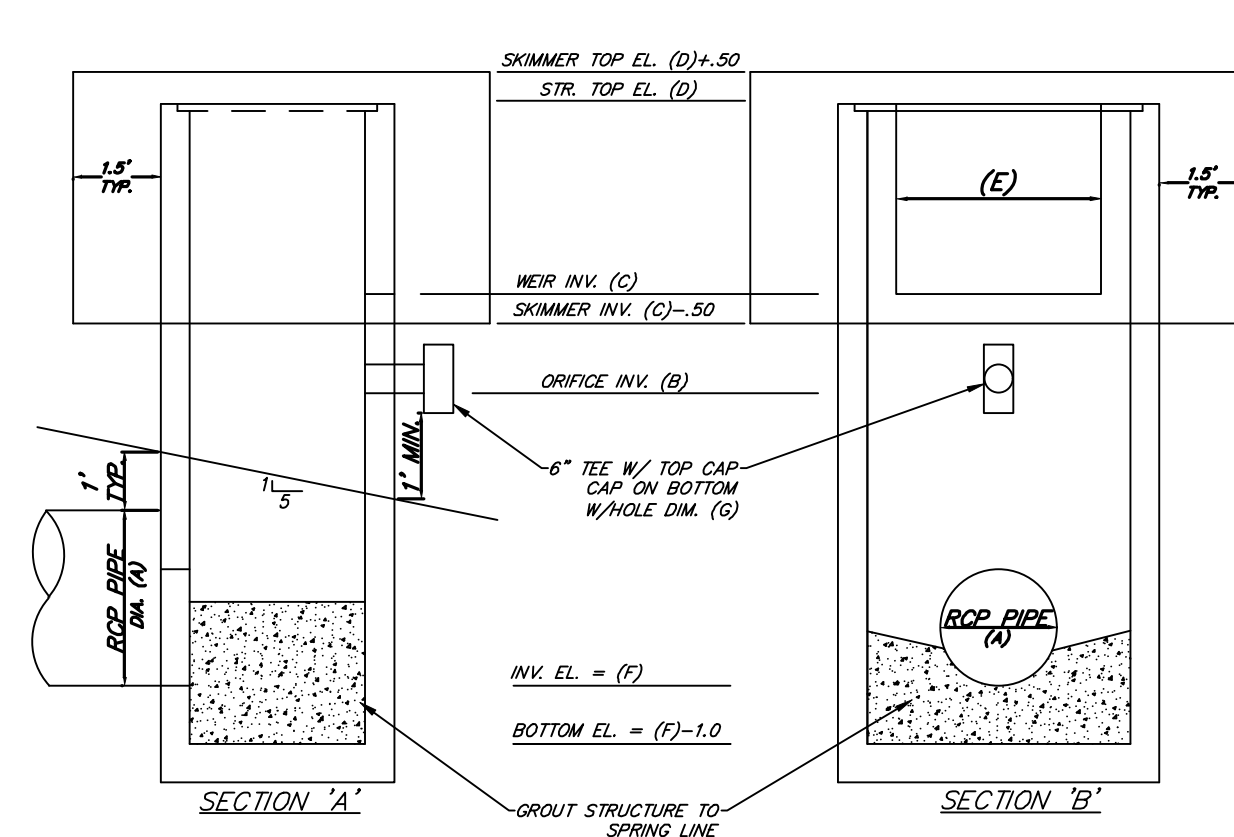
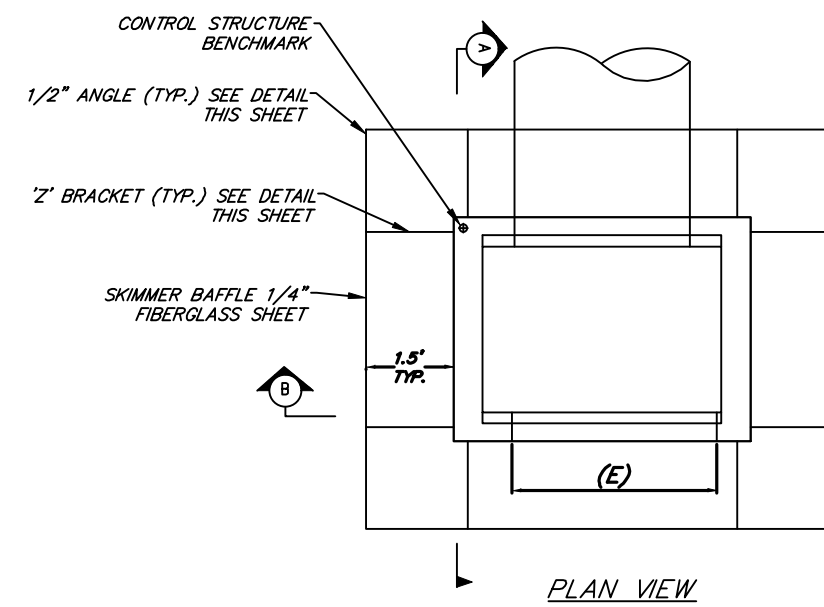
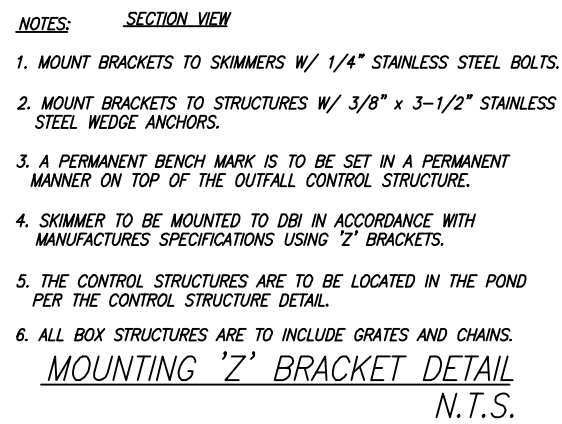
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BROADCASTED WEIR NOTES:
1. ALL CONCRETE USED IN BROADCASTED WEIR TO BE FIBER REINFORCED.



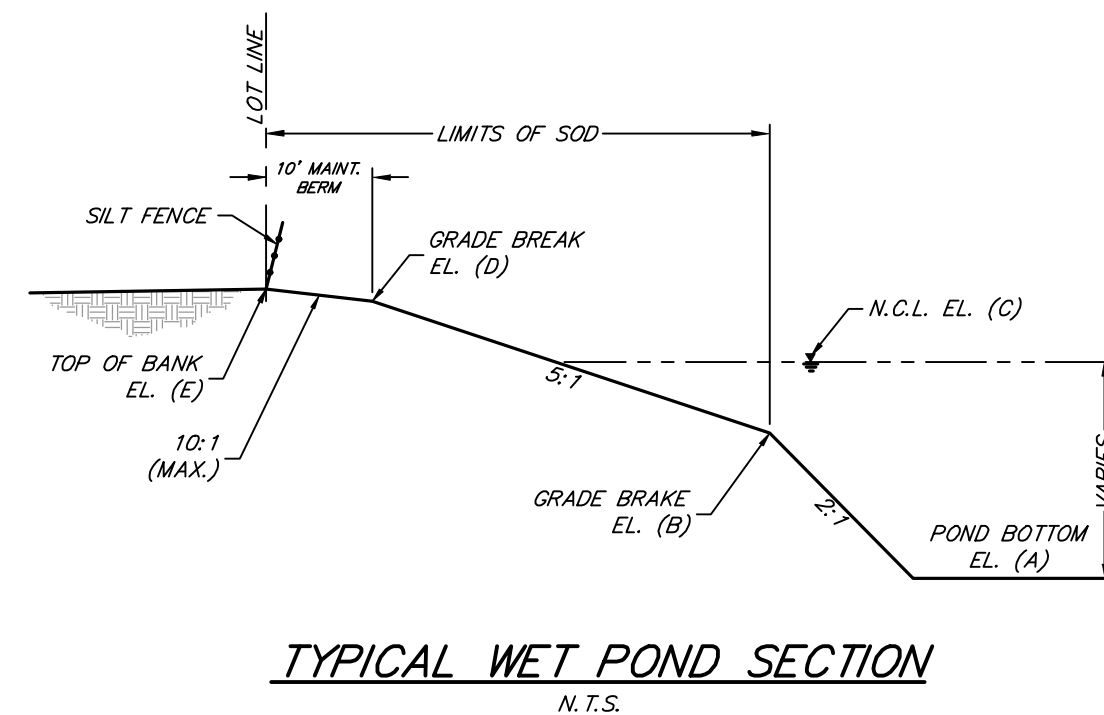
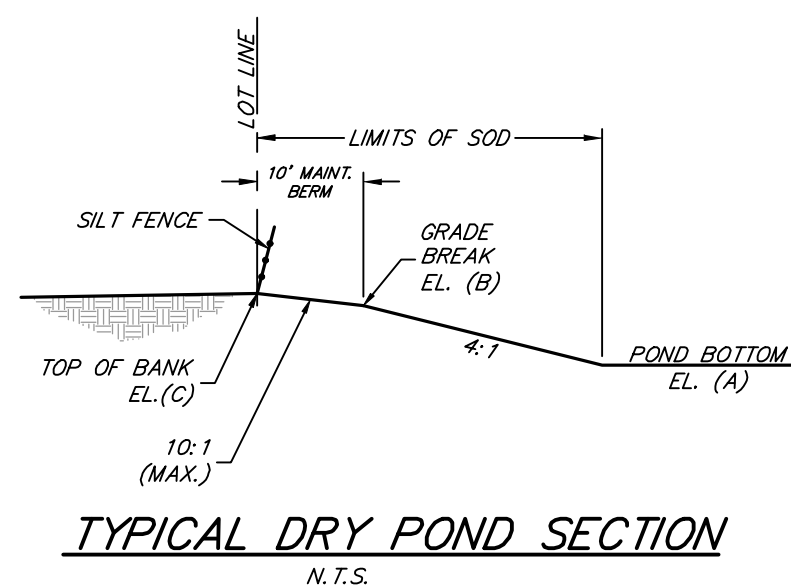
BROADCRESTED WEIR STRUCTURE DETAIL
N. T. S.



TYPICAL CONTROL STRUCTURE DETAIL
N.T.S.

BROADCRESTED WEIR STRUCTURE DIM.		
POND	EL. (B)	DIM. (C)
W1-1	85.50	25'
W1-2	86.50	25'
W1-3	86.50	25'
W1-4	84.50	25'
W2-1	85.00	25'
W2-2	85.50	25'
W4-1	83.50	25'

<i>POND</i>	<i>ELEV. (A)</i>	<i>ELEV. (B)</i>	<i>ELEV. (C)</i>
<i>D1-1</i>	<i>83.0</i>	<i>84.0</i>	<i>86.5</i>
<i>D1-2</i>	<i>83.0</i>	<i>87.5</i>	<i>88.0</i>
<i>D1-3</i>	<i>83.0</i>	<i>86.0</i>	<i>87.0</i>
<i>D1-4</i>	<i>83.0</i>	<i>84.0</i>	<i>85.0</i>
<i>D2-1</i>	<i>83.00</i>	<i>84.50</i>	<i>85.50</i>
<i>D2-2</i>	<i>83.0</i>	<i>85.0</i>	<i>86.10</i>
<i>D4-1</i>	<i>83.0</i>	<i>84.00</i>	<i>85.00</i>



PEAK STAGE SUMMARY						
POND	NCL	TOP OF BANK	25YR/24HR	10YR/24HR	100YR/24HR	25YR/96HR
B1-1	81.0	85.5	83.6	83.6	83.6	83.6
B2-1	81.0	85.5	83.6	83.6	83.6	83.6
B4-1	81.0	85.00	82.2	81.9	82.7	83.0
D1-1	83.0	86.5	85.3	84.8	85.6	85.6
D1-2	83.0	88.0	86.6	86.0	87.4	87.9
D1-3	83.0	87.0	84.5	84.1	85.2	85.6
D1-4	83.0	87.0	85.2	85.6	85.44	85.52
D2-1	83.0	85.5	84.7	84.5	84.9	85.0
D2-2	83.00	86.1	85.6	85.6	85.8	85.9
D4-1	83.00	85.0	83.9	83.9	84.1	84.1
W3-1	81.00	85.0	83.99	83.3	84.4	84.5
W3-2	81.00	85.0	82.7	82.4	83.4	83.7
W3-3	81.00	85.0	83.4	82.9	84.2	84.2
W3-4	81.00	85.5	84.0	83.4	84.9	85.0
W4-1	81.00	85.0	84.5	84.1	85.0	85.1
W4-2	81.00	86.4	83.9	83.5	84.7	85.1

POND	ELEV. (A)	ELEV. (B)	ELEV. (C)	ELEV. (D)	ELEV. (E)
B1-1	71.0	79.0	81.0	84.5	85.5
B2-1	71.0	79.0	81.0	84.5	85.5
B4-1	69.0	79.0	81.0	84.0	85.0
W3-1	69.0	79.00	81.00	84	85.0
W3-2	69.0	79.0	81.00	84.00	85.00
W3-3	69.00	79.00	81.00	84.00	85.00
W3-4	69.00	79.0	81.0	84.00	85.5
W4-1	71.00	79.00	81.00	84.50	85.00
W4-2	71.5	79.00	81.00	85.4	86.4

CONTROL STRUCTURE DETAILS

**MASS GRADING PLANS
FOR HILLSIDE GROVES
HOWEY IN THE HILLS**
PREPARED FOR
**EASTON & ASSOCIATES
MIAMI, FL**

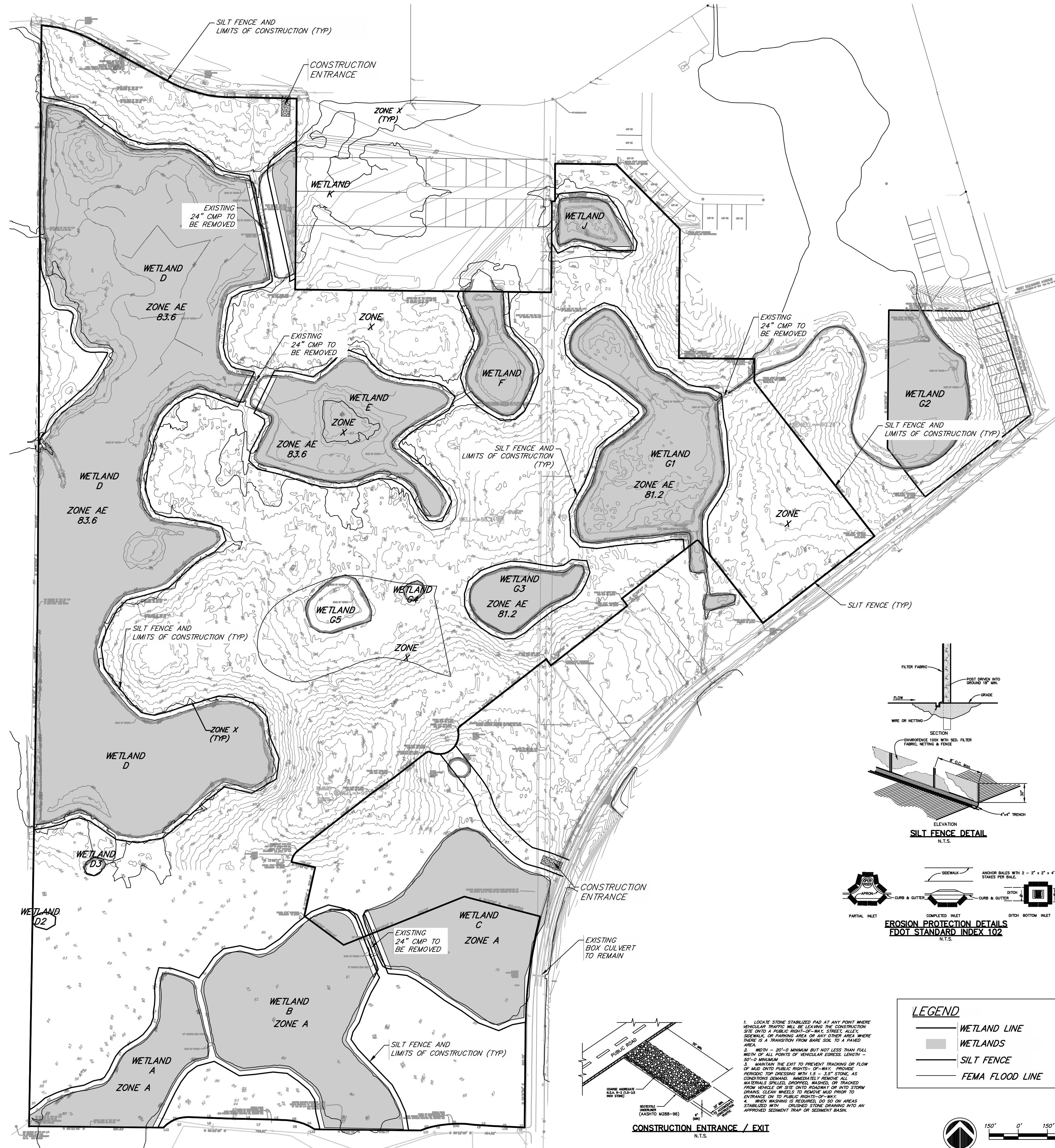
Jul 20, 2023
USTIN WILLIAMS, P.E.
FL P.E. #69260
Reg. Engineer

Project No.: 21-04-0008	
Designed: RRB	Drawn: RAH
Checked: RRB	O.C.: RCW
Date: APRIL 2021	
Scale: 1" = 100'	DATUM:

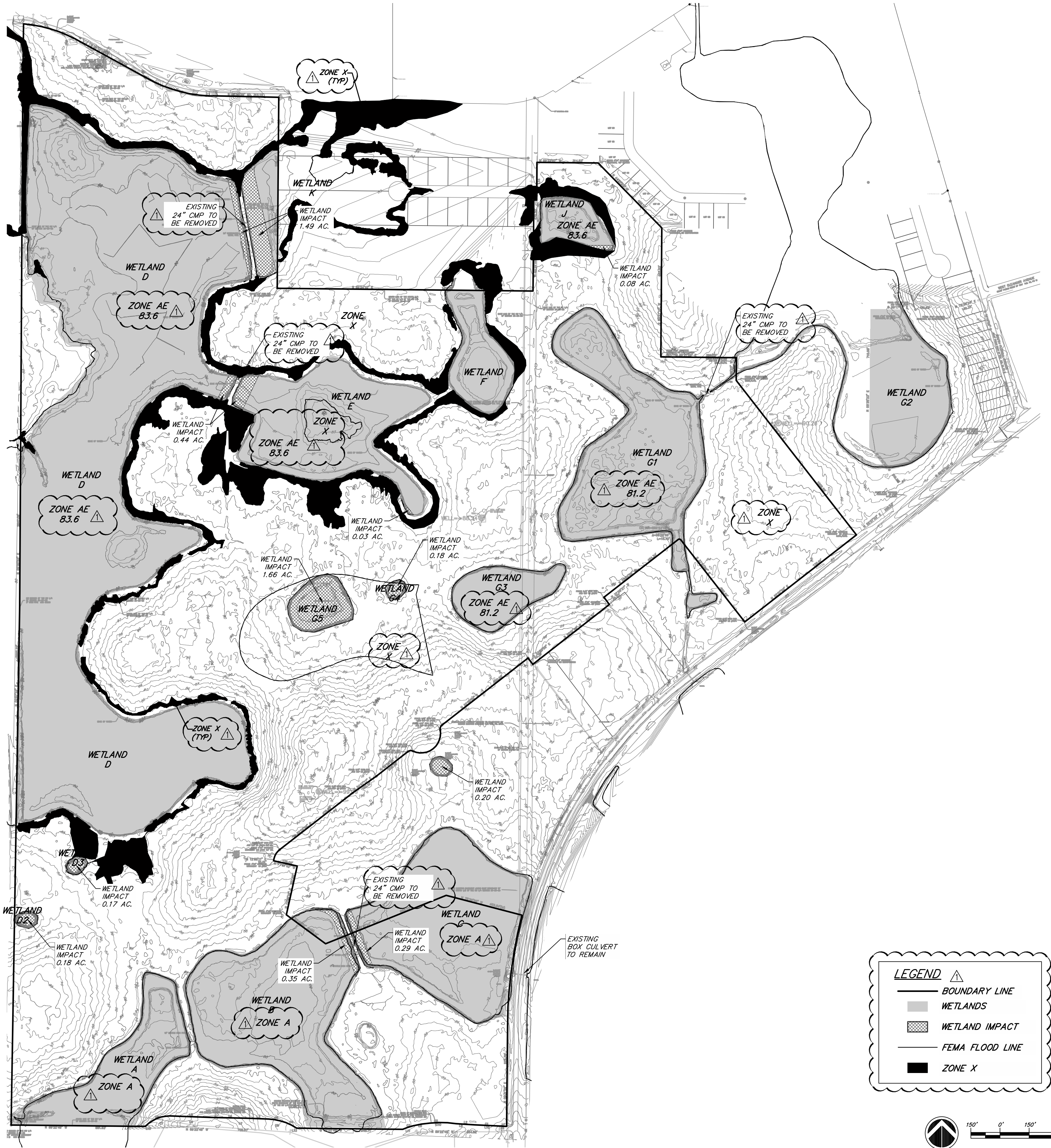
**MASS GRADING PLANS
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HOWEY IN THE HILLS**
PREPARED FOR
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MIAMI, FL

Jul 20, 2023
JUSTIN WILLIAMS, P.E.
FL P.E. #69260
Reg. Engineer

Project No.: 21-04-0008	
Designed: RRB	Drawn: RAH
Checked: RRB	O.C.: RCW
Date: APRIL 2021	
Scale: 1" = 300'	DATUM:



WETLAND	ACRE
A	6.59
B	14.31
C	7.94
D	62.25
E	10.19
F	3.39
G1	13.22
G2	6.31
G3	3.16
G4	0.18
G5	1.66
J	1.76
K	1.03
D2	0.19
D3	0.17



No.	Date	Revision	By
1	8/5/22	PER TOWN OF HOWEY-IN-THE-HILLS COMMENTS	RAH

- NOTES:
1. FLOODPLAIN COMPENSATION IS REQUIRED FOR FILL PLACED WITHIN THOSE AREAS DESIGNATED AS SPECIAL FLOOD HAZARD AREAS (SFHA, ZONES A, AE, AO AND VE).
 2. SPECIAL FLOOD HAZARD AREAS AND BASE FLOOD ELEVATIONS TAKEN FROM FEMA FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 12069C0485E DATED JANUARY 30, 2020
 3. FLOODPLAIN FILL AND COMPENSATION VOLUMES ARE CALCULATED USING TOPOGRAPHIC DATA PROVIDED BY ALLEN & COMPANY. (REFER TO SHEET

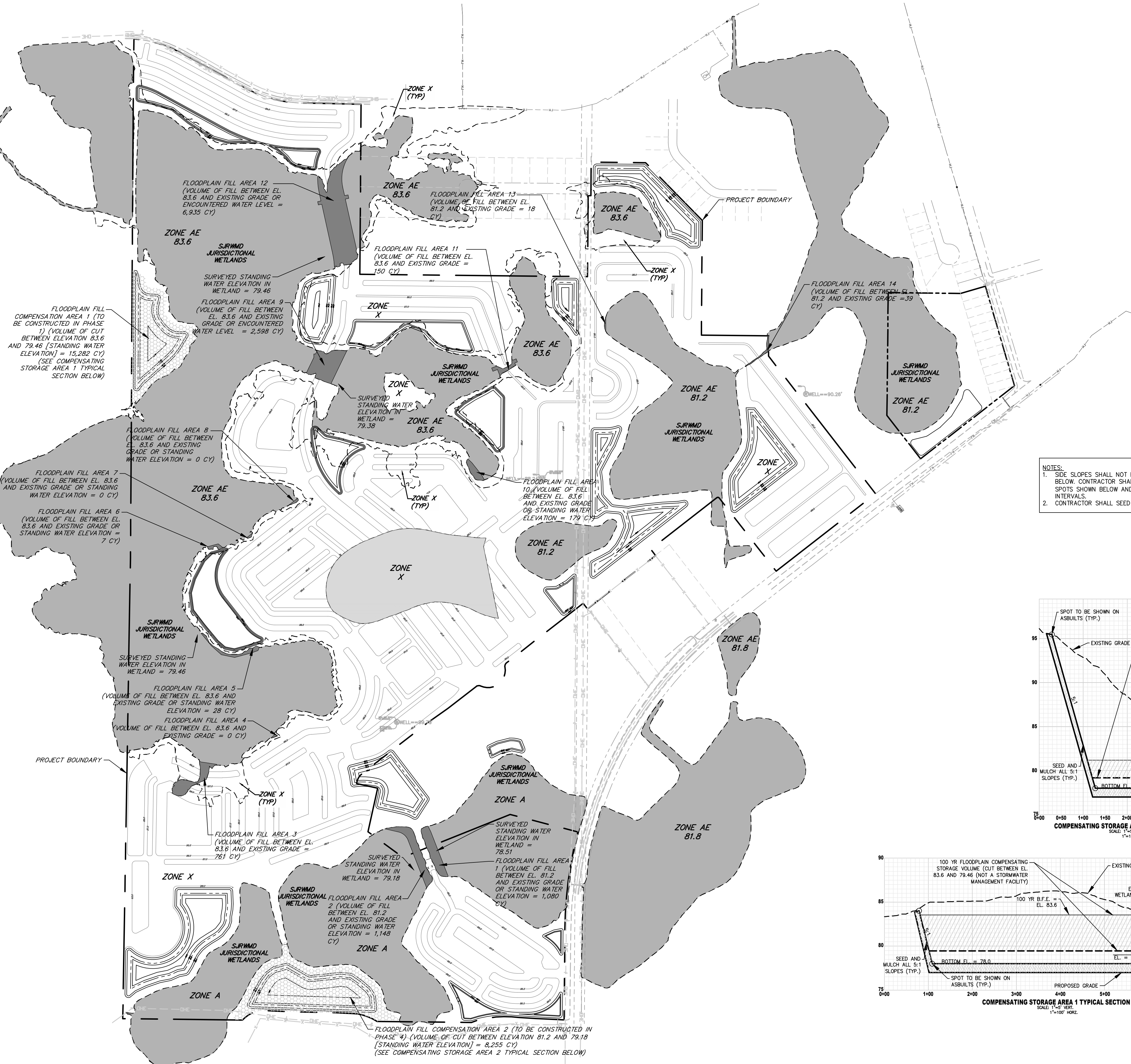
LEGEND	
	FLOODPLAIN SPECIAL FLOOD HAZARD AREA
	FLOODPLAIN FILL AREA
	FLOOD COMPENSATION AREA
	PROJECT BOUNDARY

FLOODPLAIN FILL SUMMARY FOR FLOOD COMPENSATION AREA 2	
FILL AREA	FILL VOLUME (CY)
1	1080
2	1148
14	39

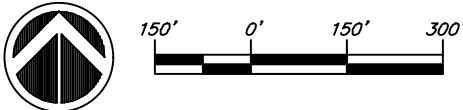
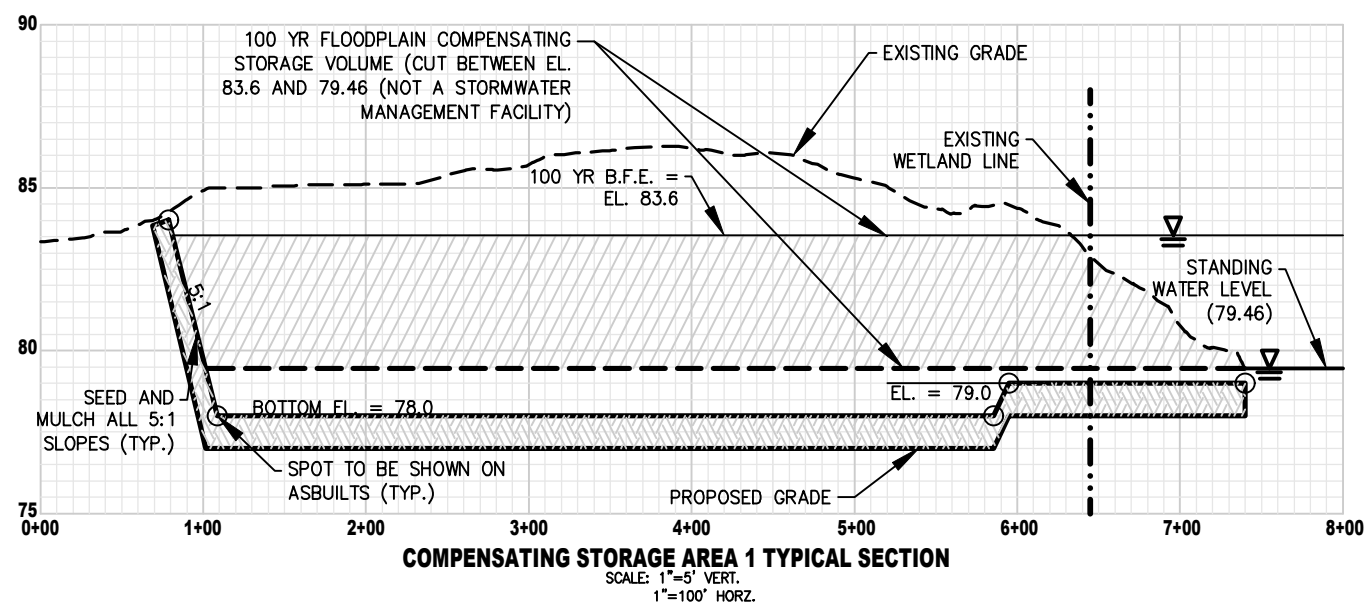
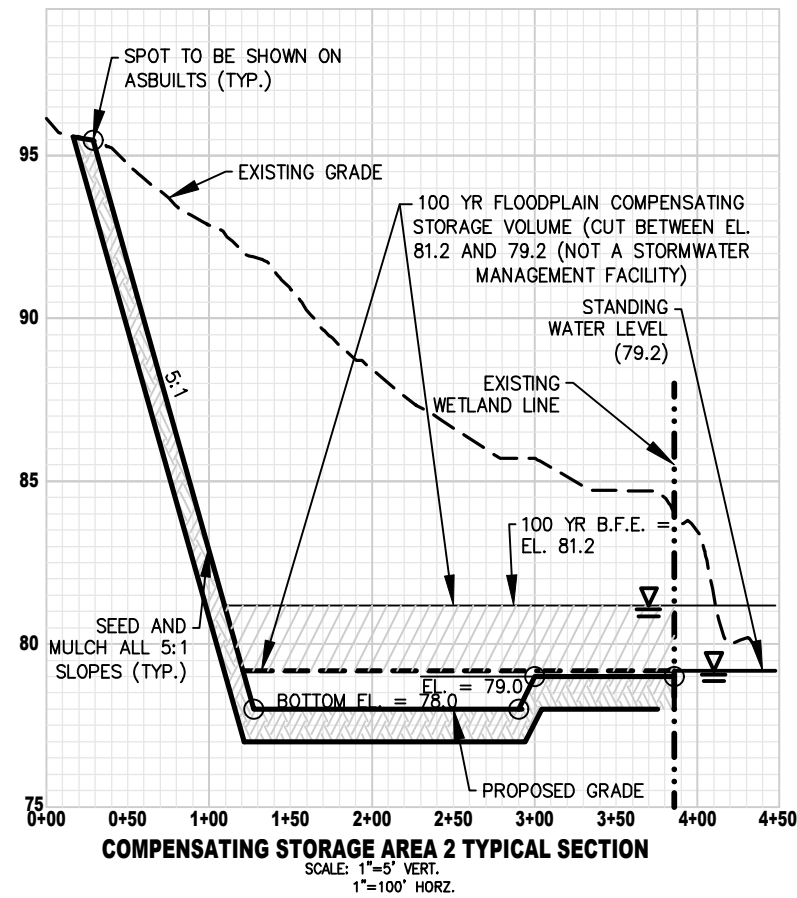
REQUIRED FLOOD COMPENSATION VOLUME = 2267 CY
PROVIDED FLOOD COMPENSATION VOLUME = 8255 CY
THUS, FLOOD COMPENSATION IS PROVIDED.
EXCESS FLOOD COMPENSATION VOLUME FOR POTENTIAL FUTURE PHASE= 5988 CY

FLOODPLAIN FILL SUMMARY FOR FLOOD COMPENSATION AREA 1	
FILL AREA	FILL VOLUME (CY)
3	761
4	0
5	28
6	7
7	0
8	0
9	2598
10	179
11	150
12	6935
13	18

REQUIRED FLOOD COMPENSATION VOLUME = 10676 CY
PROVIDED FLOOD COMPENSATION VOLUME = 15282 CY
THUS, FLOOD COMPENSATION IS PROVIDED.
EXCESS FLOOD COMPENSATION VOLUME FOR POTENTIAL FUTURE PHASE= 4606 CY



- NOTES:
1. SIDE SLOPES SHALL NOT BE STEEPER THAN 5:1 TO DEPTH SHOWN BELOW. CONTRACTOR SHALL VERIFY SLOPES ON RECORD DRAWINGS AT SPOTS SHOWN BELOW AND AT TURN POINTS AND AT 100' MAXIMUM INTERVALS.
 2. CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS.



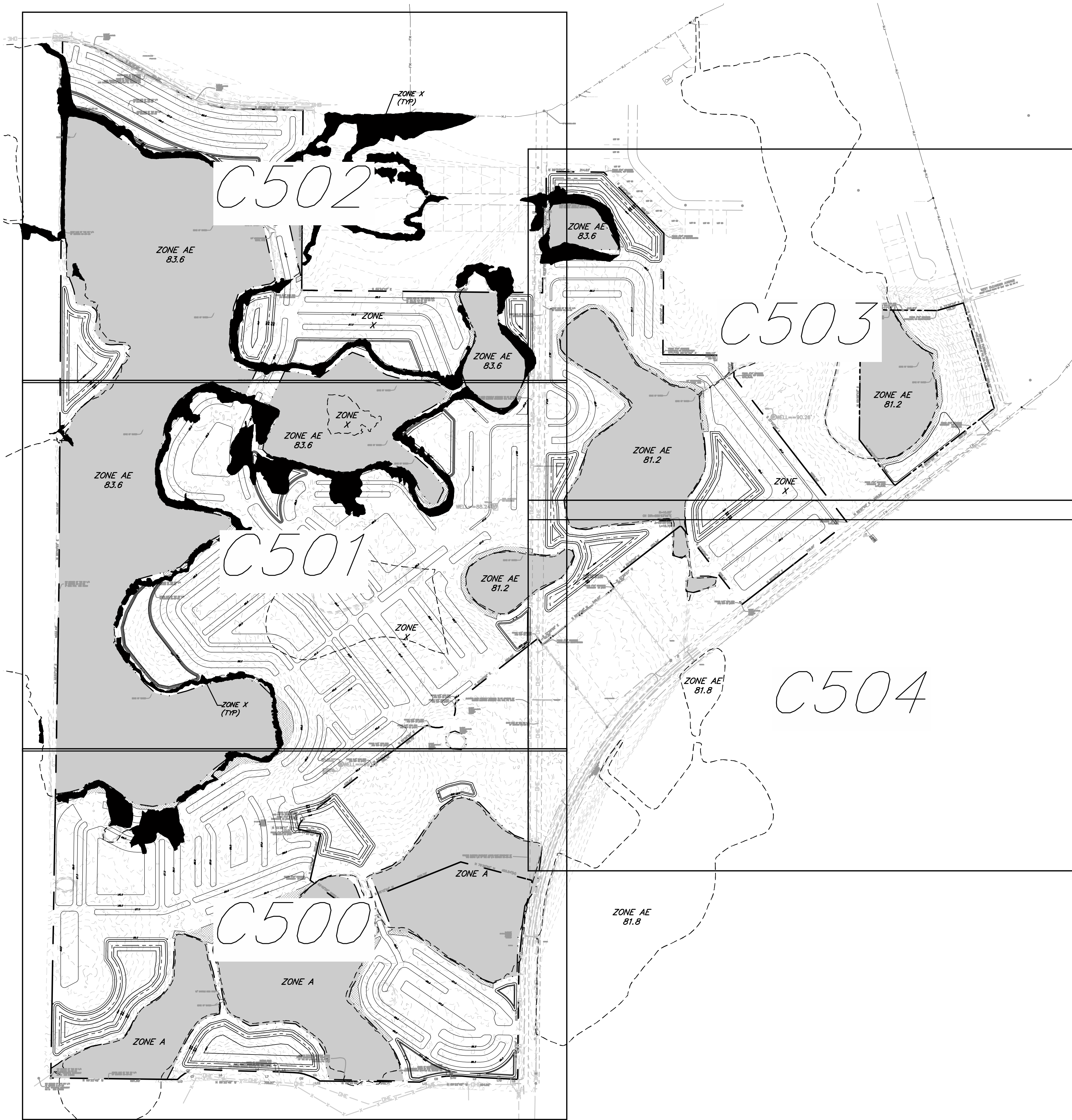
MASS GRADING PLANS
FOR HILLSIDE GROVES
HOWEY IN THE HILLS

FLOODPLAIN FILL
COMPENSATION MAP

Connelly & Wicker Inc.
Planning • Engineering • Landscape Architecture
1560 NORTH ORANGE AVE., SUITE 210 WINTER PARK, FLORIDA 32789
(407) 261-3100 FAX: (407) 261-3099 www.cwinc.com
FLORIDA REGISTRY: 3650 L.A. NUMBER: LC26000311

No.	Date	Revision	By
1	8/5/22	PER TOWN OF HOWEY-IN-THE-HILLS COMMENTS	RAH

Project No.: 21-04-0008	Drawn: RAH
Designed: RRB	O.C.: RCW
Checked: RRB	
Date: APRIL 2021	DATUM:
Scale: 1" = 300'	



Project No.:
21-04-0008

Designed:
RRB

Checked:
RRB

Date:
APRIL 2021

Scale:
1" = 300'

Drawn:
RAH

O.C.:
RCW

DATUM:

Sheet **C400**

MASS GRADING PLANS
FOR HILLSIDE GROVES
HOWEY IN THE HILLS

PREPARED FOR
EASTON & ASSOCIATES
MIAMI, FL

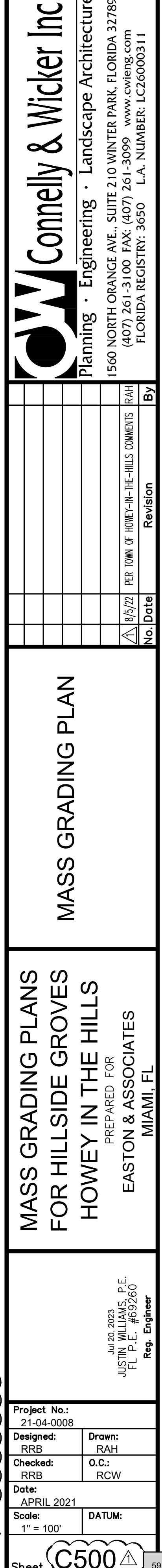
MASTER SITE PLAN

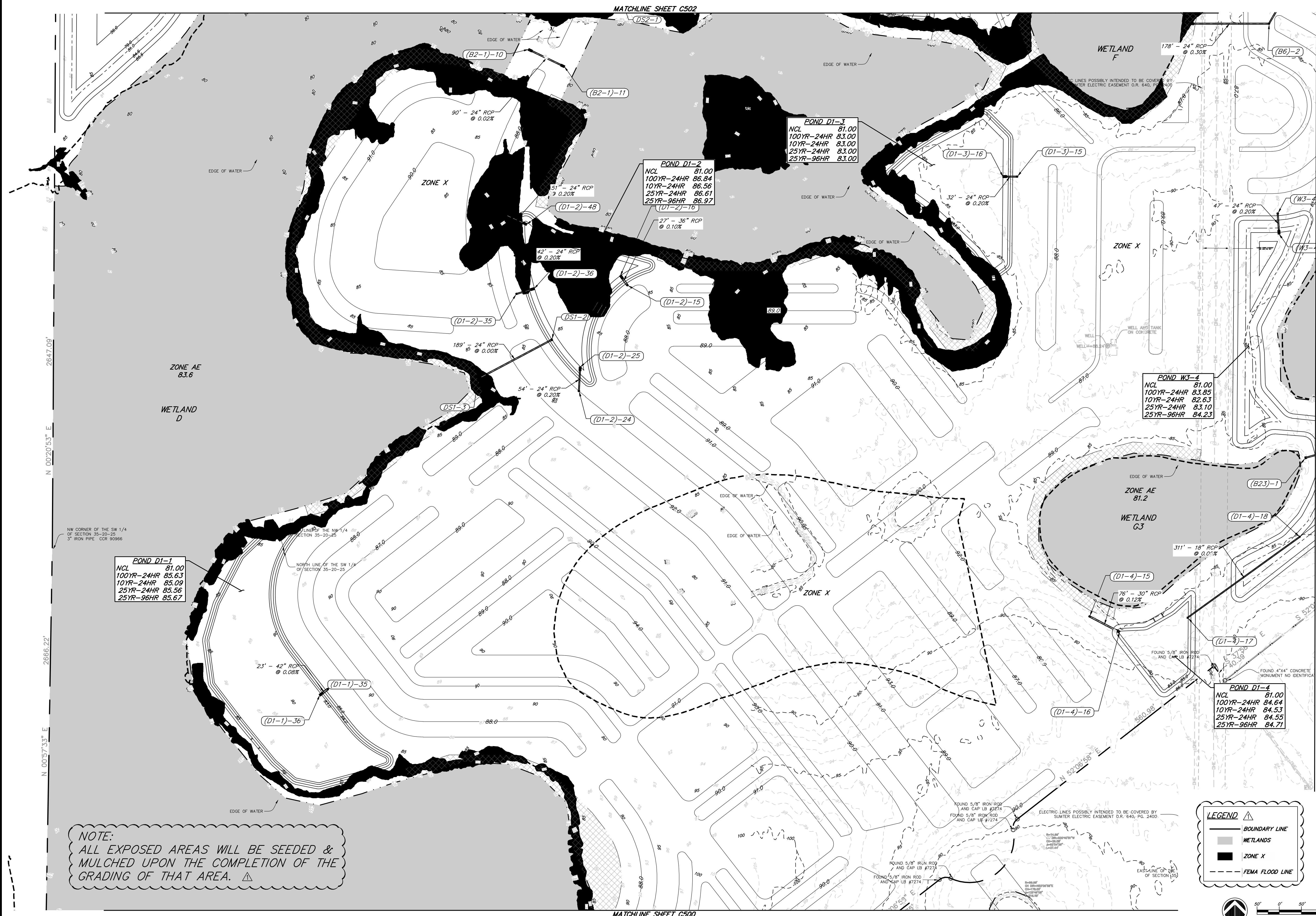
No.	Date	Revision	By
1	8/5/22	PED TOWN OF HOWEY-IN-THE-HILLS COMMENTS	RAH

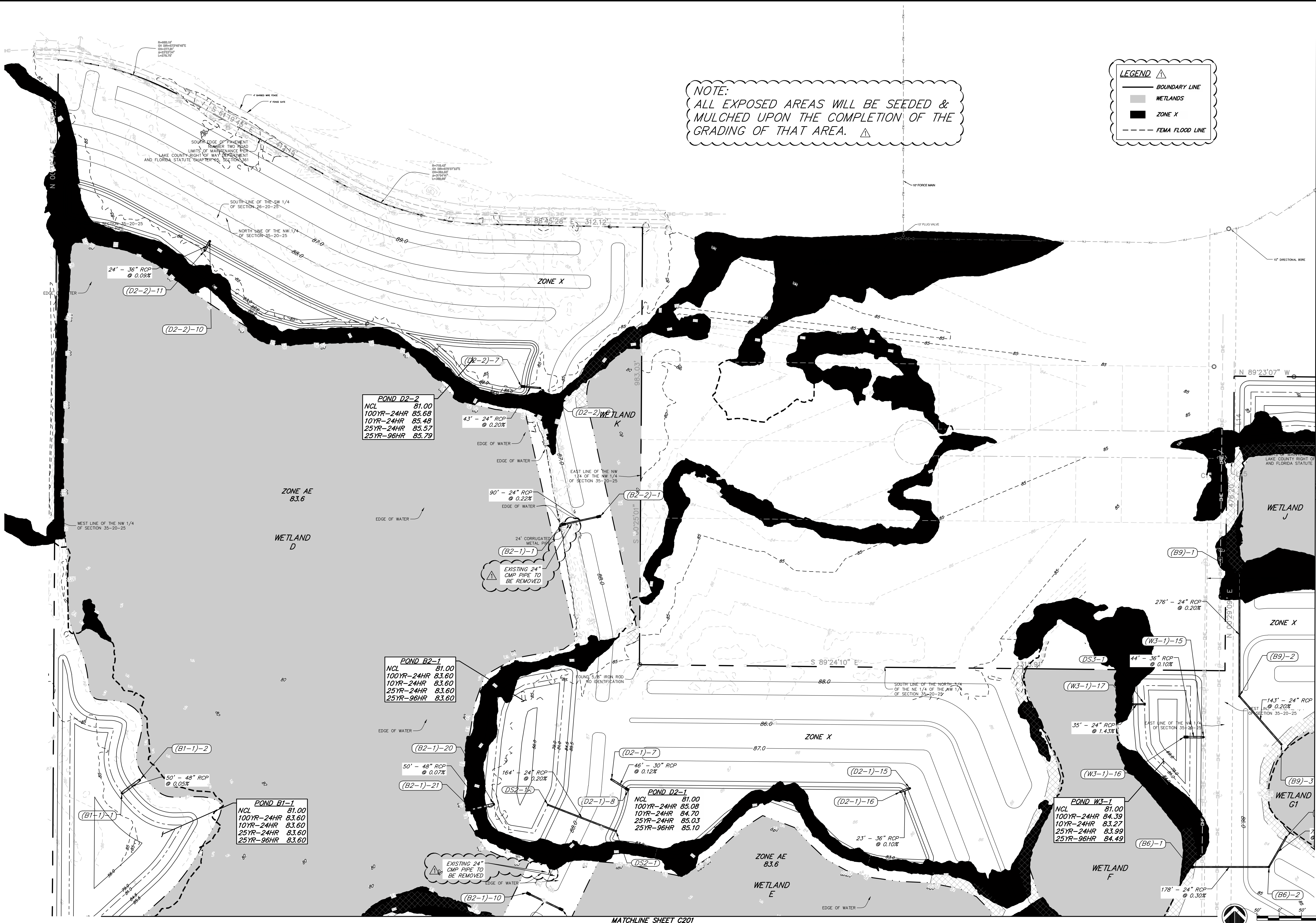
CW Connelly & Wicker Inc.

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FLORIDA REGISTRY: 3650 L.A. NUMBER: LC26000311







Project No.: 21-04-0008

Designed: RRB

Checked: RRB

Date: APRIL 2021

Scale: 1" = 100'

Drawn: RAH

O.C.: RCW

DATUM:

Sheet C502

61

MASS GRADING PLANS
FOR HILLSIDE GROVES
HOWEY IN THE HILLS

PREPARED FOR
EASTON & ASSOCIATES
MIAMI, FL

Jul 20, 2023
JUSTIN WILLIAMS, P.E.
FL P.E. #69260
Reg. Engineer

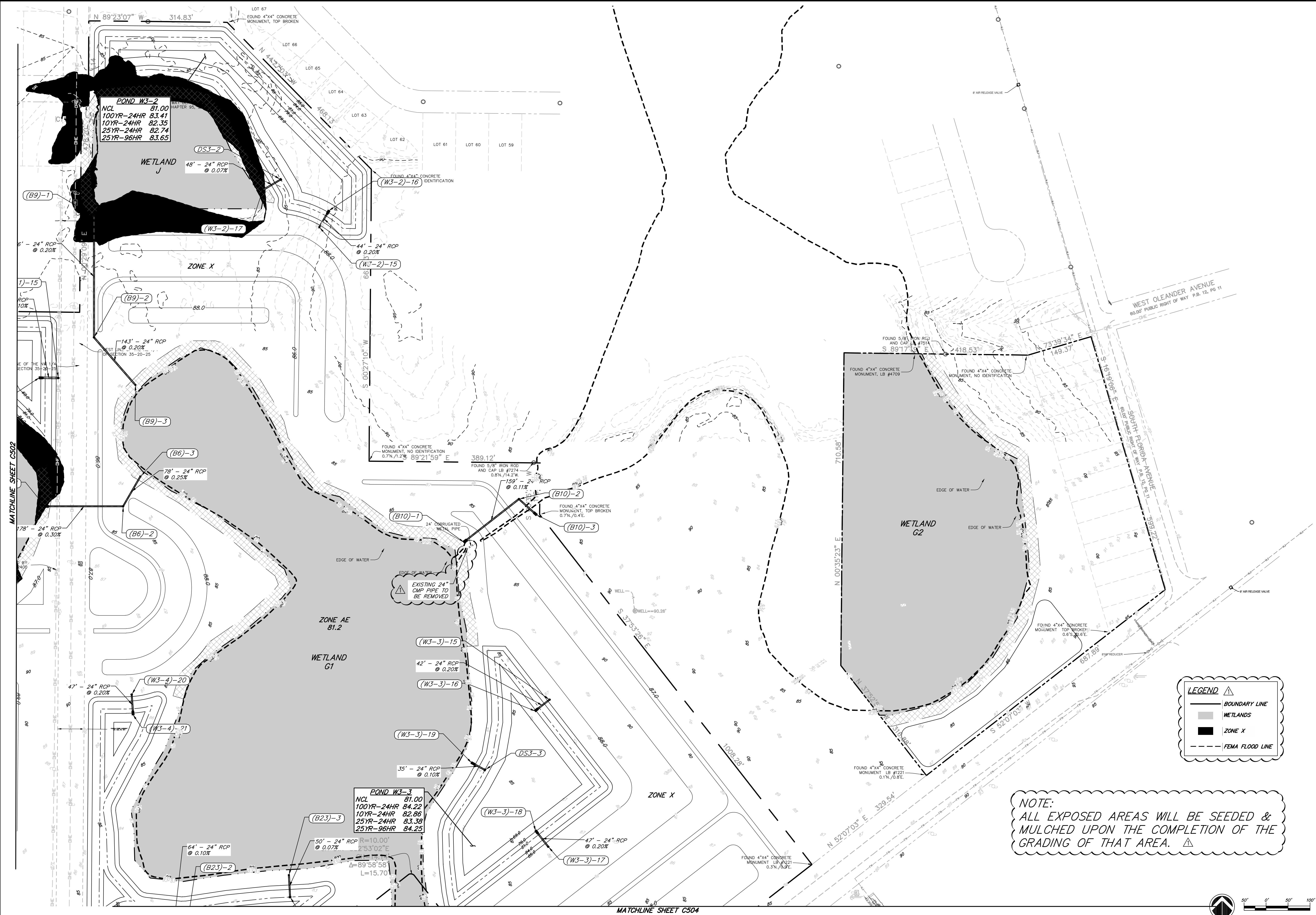
MASS GRADING PLAN

CONNELLY & WICKER INC.
Planning • Engineering • Landscape Architecture
1560 NORTH ORANGE AVE., SUITE 210 WINTER PARK, FLORIDA 32789
(407) 261-3100 FAX: (407) 261-3099 www.cwllw.com
FLORIDA REGISTRY: 3650 L.A. NUMBER: LC26000311

No.	Date	Revision	By
1	8/5/22	PER TOWN OF HOWEY-IN-THE-HILLS COMMENTS	RAH

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Item 3



CONNELLY & WICKER INC.

Planning • Engineering • Landscape Architecture

1560 NORTH ORANGE AVE., SUITE 210 WINTER PARK, FLORIDA 32789

(407) 261-3100 FAX: (407) 261-3099 www.cwllc.com

FLORIDA REGISTRY: 3650 L.A. NUMBER: LC26000311

Item 3

RAH

By

Revision

No.

Date

8/5/22

PER TOWN OF HOWEY IN THE HILLS COMMENTS

MASS GRADING PLANS
FOR HILLSIDE GROVES
HOWEY IN THE HILLS

PREPARED FOR
EASTON & ASSOCIATES
MIAMI, FL

Jul 20, 2023
JUSTIN WILLIAMS, P.E.
FL P.E. #69260
Reg. Engineer

Project No.:
21-04-0008

Designed:
RRB

Checked:
RRB

Date:
APRIL 2021

Scale:
1" = 100'

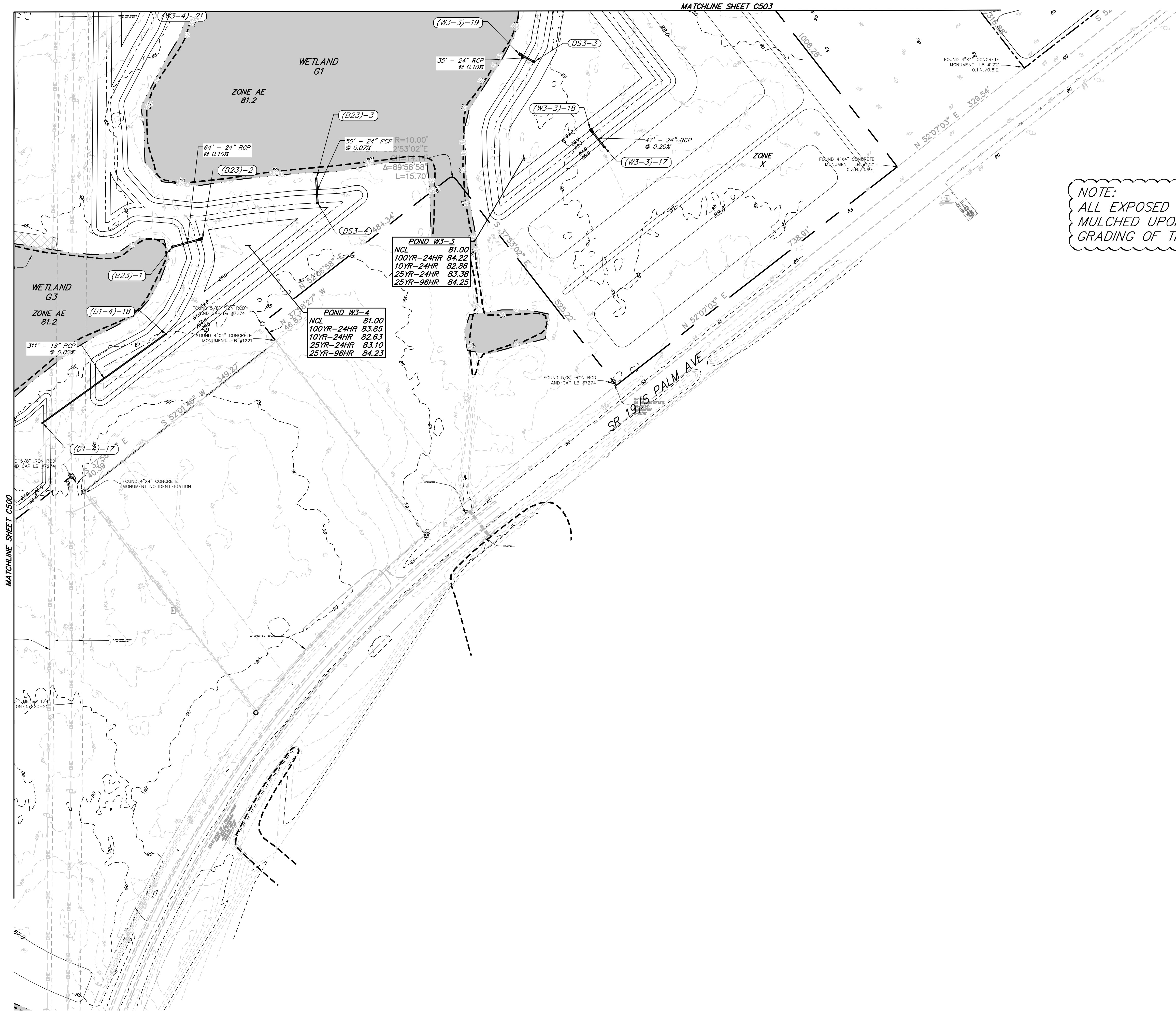
Drawn:
RAH

O.C.:
RCW

DATUM:

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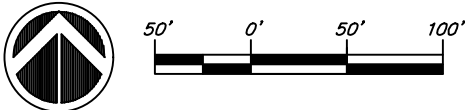
Sheet **C503** 62



NOTE:
ALL EXPOSED AREAS WILL BE SEEDED &
MULCHED UPON THE COMPLETION OF THE
GRADING OF THAT AREA. ▲

LEGEND ▲

- BOUNDARY LINE
- WETLANDS
- ZONE X
- FEMA FLOOD LINE



MASS GRADING PLANS
FOR HILLSIDE GROVES
HOWEY IN THE HILLS
PREPARED FOR
EASTON & ASSOCIATES
MIAMI, FL

MASS GRADING PLAN

No.	Date	Revision	By
1	8/5/22	PER TOWN OF HOWEY-IN-THE-HILLS COMMENTS	RAH

Project No.:
21-04-0008
Designed:
RRB
Checked:
RRB
Date:
APRIL 2021
Scale:
1" = 100'

Drawn:
RAH
O.C.:
RCW

DATUM:

Connelly & Wicker Inc.
Planning • Engineering • Landscape Architecture
1560 NORTH ORANGE AVE., SUITE 210 WINTER PARK, FLORIDA 32789
(407) 261-3100 FAX: (407) 261-3099 www.cwinc.com
FLORIDA REGISTRY: 3650 L.A. NUMBER: LC26000311

Name	Type	Details	Location
(W3-3)-16	MES	INV IN = 78.00 (NE)	N: 1589856.3162 E: 407070.7770
(W3-3)-18	MES	INV IN = 78.00 (SE)	N: 1589584.7306 E: 407071.3378
(W3-3)-19	MES	INV IN = 76.97 (SE)	N: 1589739.1179 E: 406925.3072
(W3-4)-21	MES	INV IN = 77.00 (N)	N: 1589847.3574 E: 406156.3374
(W4-1)-8	MES	INV IN = 69.00 (N)	N: 1587957.1695 E: 404890.8511
(W4-1)-34	MES	INV IN = 77.00 (NW)	N: 1587904.4818 E: 404691.8339
(W4-1)-35	MES	INV IN = 76.92 (N)	N: 1587604.9019 E: 404910.4966
(W4-2)-16	MES	INV IN = 77.00 (N)	N: 1586777.9057 E: 403512.8034
D22-2	MES	INV OUT = 80.71 (E)	N: 1587397.8934 E: 405096.2266
D22-3	MES	INV IN = 80.46 (W)	N: 1587402.3245 E: 405133.5096
D51-3	MES	INV IN = -1.00 (NE)	N: 1589520.7784 E: 404351.1418

[illegible]

Technical Memorandum

Date: July 14, 2023
To: Don Griffey, PE – Griffey Engineering, Inc.
From: Eric Evans, PE -- Connelly and Wicker, Inc.
RE: Hillside Groves Subdivision – Construction Drawings

Below is a response to your comments dated January 10, 2023

1. Additional comments may be added to these with the reviews of subsequent submittals.

Response: Noted

2. This work will require various permits from SJRWMD, Duke Energy, Lake County, FDOT, FDEP, FWC, COE. Provide copies of the applicable permits & approvals before commencing work on the site.

Response: We are currently working to obtain these approvals.

3. Based on the discussion and direction of the Town Council at their meeting on 11/28/2022, Road A needs to be modified per the attached exhibit. Raised crosswalks are to be designed using the Lake County standard, also attached.

Response: The edits to Road A are now shown.

4. Modify the roadway cross section for the 100' right-of-way to reflect the current plan view.

Response: This cross section is now updated to match the new section.

5. Add a note that all curb ramps are to be constructed with the subdivision.

Response: This note is now added.

6. Provide copies of the driveway permit application documents for the connection to No. 2 Rd. Copy the town on the review and response correspondence with Lake County.

Response: We are currently working to obtain this approval.

7. The offsite utility plan along SR 19 needs to call out the location and means for tying in the existing 4" water main. The 4" main needs to be connected into the new 12" main on the west end at the cemetery and on the east end near Florida Ave. The portion of the existing 4" main between these two points needs to be removed, not abandoned in place.

Response: These comments have been addressed on the offsite utility plans.

8. For the 12" water main extension along SR 19 west of Road A, remove the 12x6 reducer. Terminate the line with 12" piping & fittings.

Response: These waterline fittings have been revised per your comment.

9. On the lift station site plan, align the access drive on the center of the wet well.

Response: The driveway has been shifted.

10. Provide hydraulic calculations for the irrigation system.

Response: Irrigation demand calculations are now provided with this submittal.

11. Provide site improvement details for the irrigation supply well that show driveway access and equipment & controls. This area should be fenced for security.

Response: Fencing and placeholder equipment areas are shown. The final design of the system will be addressed by a specialty contractor in a design-build effort.

Please review and approve the material provided and should you have any questions or comments with regard to this application please do not hesitate to call or email. I can be reached at 904.265.3030 or at eevans@cweng.com.

HILLSIDE GROVES SUBDIVISION

IRRIGATION DEMAND CALCULATION

DESIGN REPORT

FOR

Easton & Associates
10165 NW 19th St.
Miami, FL 33172
Phone: (305) 593-2222

PREPARED BY:



Connelly & Wicker, Inc.

10060 Skinner Lake Drive, Suite 500
Jacksonville, Florida 32246
Florida Registry: 3650 L.A. Number: LC26000311
Phone: (904) 265-3030 Fax: (904) 265-3031

DATE: 7/10/2023
CWI Project No.: 21-04-0008

Connelly & Wicker, Inc.

HILLSIDE GROVES SUBDIVISION

Index Sheet

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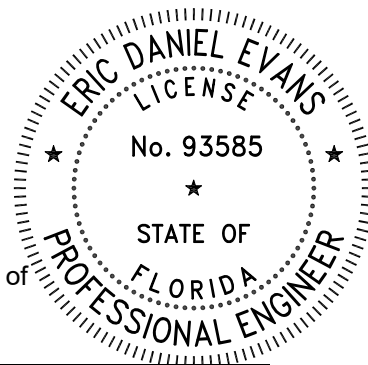
1	Cover Sheet	1
2	Index Sheet	2
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4	Demand Summary Table	4 - 5
5	WaterCad Network Preview	6
6	WaterCad Simulation Results	
	Junction Report	7 - 8
	Pipe Report	9 - 10
	Reservoir Report	11

Eric D
Evans

Digitally signed by Eric D Evans
DN: cn=Eric D Evans, c=US,
o=CONNELLY AND WICKER
INC., email=eevans@cwieg.com
Date: 2023.07.14 08:29:59 -04'00'

Prepared under the direction of

Eric D. Evans, P.E.
PE # 93585



PROJECT SUMMARY

THE PROJECT

The proposed development is located within the Town of Howey in the Hills, Florida. The project is located west of South Palm Avenue and north of Revels Road. The development will contain 728 single family lots.

IRRIGATION WATER SUPPLY

In the future the site will be supplied by reclaimed water for irrigation demands in a future connection on Number 2 Road. However, at this time this system is not available, but onsite irrigation wells are available to supply irrigation water in the interim. The analysis provided here is for the first phase and geographically convenient lots in future phases that could also be served by the existing onsite well adjacent to lot 51. Future Phase 2 is addressed in this analysis which includes Lots 308-385).

Future development can also be supplied by a well located within a future phase adjacent to lot 42. The future lots served will include phase 2 lots 246-307 and phase 3 lots 308-385.

The results of this analysis require the well pump to provide 2,600 GPM at 129 feet of head pressure.

WATER MAIN DESIGN

The analysis provided shows a steady state analysis of a minimum 40 PSI with 5 GPM to each lot. Additionally, each open space and the amenity is conservatively designed for 10 GPM of demand.

DESIGN ANALYSIS

The modeling for this system was accomplished using Bentley OpenFlows WaterCAD CONNECT Edition Update 3.

Connelly & Wicker, Inc.

HILLSIDE GROVES SUBDIVISION

Designed By: EE

Date: 7/10/2023

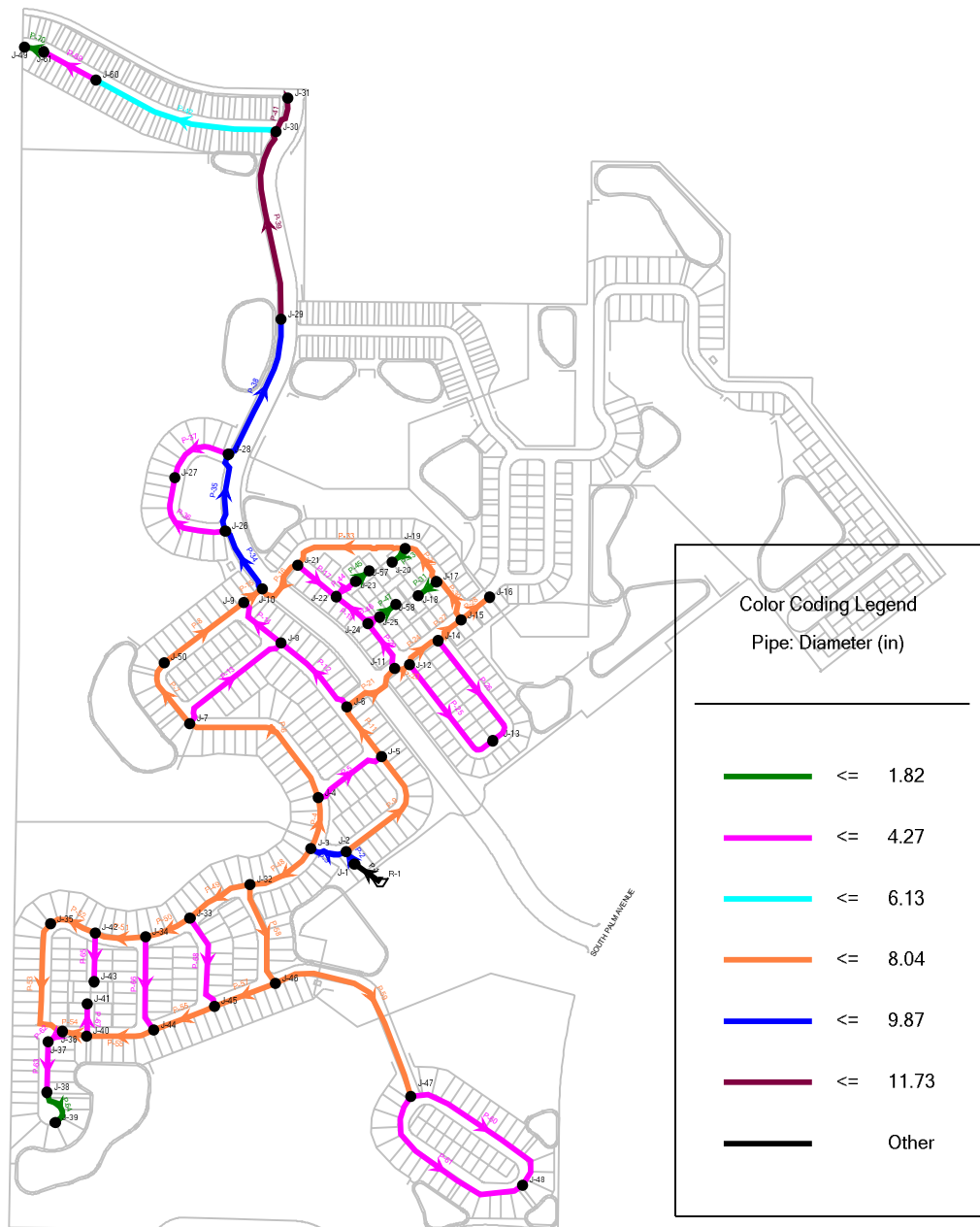
Demand Summary Table

Project No: 23-04-0041

Calculate Average Daily Flow				
Junction. No. J-	Description	DU Units	Demand / Unit	Total Demand
1	Single Family Lot	0	5	0
2	Single Family Lot	0	5	0
3	Single Family Lot	0	5	0
4	Single Family Lot	4	5	20
5	Single Family Lot	45	5	225
6	Single Family Lot	16	5	80
7	Landscape Service	1	10	10
8	Single Family Lot	18	5	90
9	Single Family Lot	20	5	100
10	Single Family Lot	0	5	0
11.1	Single Family Lot	4	5	20
11.2	Landscape Service	1	10	10
12	Single Family Lot	0	5	0
13	Single Family Lot	46	5	230
14	Single Family Lot	3	5	15
15	Single Family Lot	5	5	25
16	Single Family Lot	6	5	30
17	Single Family Lot	0	5	0
18	Single Family Lot	6	5	30
19	Single Family Lot	19	5	95
20	Single Family Lot	4	5	20
21	Single Family Lot	0	5	0
22	Single Family Lot	6	5	30
23	Single Family Lot	0	5	0
24	Single Family Lot	4	5	20
25	Single Family Lot	0	5	0
26	Single Family Lot	0	5	0
27	Single Family Lot	17	5	85
28	Amenity Center	1	10	10
29	Single Family Lot	0	5	0
30	Landscape Service	1	10	10
31	Single Family Lot	0	5	0
32	Single Family Lot	12	5	60
33	Single Family Lot	7	5	35
34	Single Family Lot	4	5	20
35	Single Family Lot	5	5	25
36	Single Family Lot	19	5	95
37	Single Family Lot	0	5	0
38	Single Family Lot	13	5	65
39	Single Family Lot	5	5	25
40	Single Family Lot	6	5	30

Project No: 23-04-0041

Scenario: Base



FlexTable: Pipe Table

Label	Diameter (in)	Material	Hazen-Williams C	Flow (gpm)	Velocity (ft/s)	Headloss (Friction) (ft)	Headloss (Minor) (ft)	Headloss (ft)
P-1	999.00	PVC	130.0	2,600.00	0.00	0.00	0.00	0.00
P-2	9.87	PVC	130.0	2,600.00	10.90	2.71	3.45	6.17
P-3	9.87	PVC	130.0	1,673.91	7.02	3.01	2.30	5.31
P-4	8.04	PVC	130.0	708.91	4.48	2.30	0.70	3.00
P-5	4.24	PVC	130.0	89.66	2.04	1.70	0.26	1.96
P-6	8.04	PVC	130.0	599.25	3.79	5.40	0.52	5.92
P-7	8.04	PVC	130.0	506.53	3.20	1.76	0.17	1.93
P-8	8.04	PVC	130.0	476.53	3.01	2.09	0.10	2.20
P-9	8.04	PVC	130.0	926.09	5.85	9.49	0.78	10.27
P-11	8.04	PVC	130.0	790.75	5.00	3.34	0.59	3.94
P-12	4.24	PVC	130.0	99.90	2.27	2.45	0.15	2.60
P-13	4.24	PVC	130.0	-82.72	1.88	2.35	0.23	2.58
P-14	4.24	PVC	130.0	-92.63	2.10	1.35	0.20	1.55
P-15	8.04	PVC	130.0	469.16	2.96	0.47	0.28	0.75
P-16	8.04	PVC	130.0	-25.84	0.16	0.01	0.00	0.01
P-17	4.24	PVC	130.0	11.36	0.26	0.02	0.00	0.03
P-19	4.24	PVC	130.0	-48.64	1.11	0.29	0.03	0.31
P-20	4.24	PVC	130.0	-98.64	2.24	1.38	0.16	1.54
P-21	8.04	PVC	130.0	-610.84	3.86	2.20	0.87	3.07
P-23	8.04	PVC	130.0	482.20	3.05	0.36	0.14	0.50
P-24	8.04	PVC	130.0	362.62	2.29	0.50	0.16	0.66
P-25	4.24	PVC	130.0	119.58	2.72	4.67	0.24	4.91
P-26	4.24	PVC	130.0	-110.42	2.51	4.04	0.20	4.25
P-27	8.04	PVC	130.0	237.20	1.50	0.19	0.05	0.24
P-28	8.04	PVC	130.0	30.00	0.19	0.00	0.00	0.01
P-30	8.04	PVC	130.0	182.20	1.15	0.18	0.08	0.25
P-31	1.81	HDPE	130.0	30.00	3.74	4.14	0.36	4.50
P-32	8.04	PVC	130.0	152.20	0.96	0.13	0.02	0.15
P-33	8.04	PVC	130.0	37.20	0.24	0.02	0.00	0.02
P-34	9.87	PVC	130.0	495.00	2.08	0.58	0.13	0.71
P-35	9.87	PVC	130.0	441.18	1.85	0.54	0.10	0.64
P-36	4.24	PVC	130.0	53.82	1.22	0.82	0.05	0.88
P-37	4.24	PVC	130.0	-31.18	0.71	0.22	0.02	0.24
P-38	9.87	PVC	130.0	400.00	1.68	0.83	0.07	0.91
P-39	11.73	PVC	130.0	400.00	1.19	0.47	0.06	0.52
P-41	11.73	PVC	130.0	0.00	0.00	0.00	0.00	0.00
P-42	6.13	PVC	130.0	390.00	4.24	10.37	0.55	10.92
P-43	1.81	HDPE	130.0	20.00	2.49	1.70	0.16	1.86
P-44	4.24	PVC	130.0	30.00	0.68	0.07	0.01	0.09
P-45	1.81	HDPE	130.0	30.00	3.74	3.05	0.08	3.13
P-46	4.24	PVC	130.0	30.00	0.68	0.04	0.01	0.06
P-47	1.81	HDPE	130.0	30.00	3.74	3.59	0.08	3.67
P-48	8.04	PVC	130.0	965.00	6.10	5.74	1.19	6.93
P-49	8.04	PVC	130.0	433.76	2.74	1.24	0.18	1.42
P-50	8.04	PVC	130.0	328.66	2.08	0.51	0.10	0.61
P-51	8.04	PVC	130.0	251.14	1.59	0.33	0.06	0.39
P-52	8.04	PVC	130.0	196.14	1.24	0.20	0.04	0.23
P-53	8.04	PVC	130.0	171.14	1.08	0.40	0.04	0.43

FlexTable: Pipe Table

Label	Diameter (in)	Material	Hazen- Williams C	Flow (gpm)	Velocity (ft/s)	Headloss (Friction) (ft)	Headloss (Minor) (ft)	Headloss (ft)
P-54	8.04	PVC	130.0	-13.86	0.09	0.00	0.00	0.00
P-55	8.04	PVC	130.0	-73.86	0.47	0.05	0.01	0.05
P-56	8.04	PVC	130.0	-121.34	0.77	0.11	0.02	0.12
P-57	8.04	PVC	130.0	-141.24	0.89	0.14	0.02	0.16
P-58	8.04	PVC	130.0	-471.24	2.98	2.16	0.60	2.76
P-59	8.04	PVC	130.0	265.00	1.67	1.50	0.16	1.66
P-60	4.24	PVC	130.0	128.76	2.93	6.99	0.38	7.37
P-61	4.24	PVC	130.0	-121.24	2.75	6.94	0.43	7.37
P-62	4.24	PVC	130.0	90.00	2.05	0.38	0.11	0.49
P-63	4.24	PVC	130.0	90.00	2.05	1.10	0.10	1.20
P-64	1.81	HDPE	130.0	25.00	3.12	5.21	0.24	5.45
P-65	4.24	PVC	130.0	40.00	0.91	0.24	0.03	0.26
P-66	4.24	PVC	130.0	57.52	1.31	0.91	0.10	1.01
P-67	4.24	PVC	130.0	-30.00	0.68	0.09	0.01	0.11
P-68	4.24	PVC	130.0	70.10	1.59	1.33	0.16	1.50
P-69	4.24	PVC	130.0	120.00	2.73	2.19	0.12	2.31
P-70	1.81	HDPE	130.0	25.00	3.12	2.52	0.16	2.68

FlexTable: Pipe Table

Label	Diameter (in)	Material	Hazen-Williams C	Flow (gpm)	Velocity (ft/s)	Headloss (Friction) (ft)	Headloss (Minor) (ft)	Headloss (ft)
P-1	999.00	PVC	130.0	2,600.00	0.00	0.00	0.00	0.00
P-2	9.87	PVC	130.0	2,600.00	10.90	2.71	3.45	6.17
P-3	9.87	PVC	130.0	1,673.91	7.02	3.01	2.30	5.31
P-4	8.04	PVC	130.0	708.91	4.48	2.30	0.70	3.00
P-5	4.24	PVC	130.0	89.66	2.04	1.70	0.26	1.96
P-6	8.04	PVC	130.0	599.25	3.79	5.40	0.52	5.92
P-7	8.04	PVC	130.0	506.53	3.20	1.76	0.17	1.93
P-8	8.04	PVC	130.0	476.53	3.01	2.09	0.10	2.20
P-9	8.04	PVC	130.0	926.09	5.85	9.49	0.78	10.27
P-11	8.04	PVC	130.0	790.75	5.00	3.34	0.59	3.94
P-12	4.24	PVC	130.0	99.90	2.27	2.45	0.15	2.60
P-13	4.24	PVC	130.0	-82.72	1.88	2.35	0.23	2.58
P-14	4.24	PVC	130.0	-92.63	2.10	1.35	0.20	1.55
P-15	8.04	PVC	130.0	469.16	2.96	0.47	0.28	0.75
P-16	8.04	PVC	130.0	-25.84	0.16	0.01	0.00	0.01
P-17	4.24	PVC	130.0	11.36	0.26	0.02	0.00	0.03
P-19	4.24	PVC	130.0	-48.64	1.11	0.29	0.03	0.31
P-20	4.24	PVC	130.0	-98.64	2.24	1.38	0.16	1.54
P-21	8.04	PVC	130.0	-610.84	3.86	2.20	0.87	3.07
P-23	8.04	PVC	130.0	482.20	3.05	0.36	0.14	0.50
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P-26	4.24	PVC	130.0	-110.42	2.51	4.04	0.20	4.25
P-27	8.04	PVC	130.0	237.20	1.50	0.19	0.05	0.24
P-28	8.04	PVC	130.0	30.00	0.19	0.00	0.00	0.01
P-30	8.04	PVC	130.0	182.20	1.15	0.18	0.08	0.25
P-31	1.81	HDPE	130.0	30.00	3.74	4.14	0.36	4.50
P-32	8.04	PVC	130.0	152.20	0.96	0.13	0.02	0.15
P-33	8.04	PVC	130.0	37.20	0.24	0.02	0.00	0.02
P-34	9.87	PVC	130.0	495.00	2.08	0.58	0.13	0.71
P-35	9.87	PVC	130.0	441.18	1.85	0.54	0.10	0.64
P-36	4.24	PVC	130.0	53.82	1.22	0.82	0.05	0.88
P-37	4.24	PVC	130.0	-31.18	0.71	0.22	0.02	0.24
P-38	9.87	PVC	130.0	400.00	1.68	0.83	0.07	0.91
P-39	11.73	PVC	130.0	400.00	1.19	0.47	0.06	0.52
P-41	11.73	PVC	130.0	0.00	0.00	0.00	0.00	0.00
P-42	6.13	PVC	130.0	390.00	4.24	10.37	0.55	10.92
P-43	1.81	HDPE	130.0	20.00	2.49	1.70	0.16	1.86
P-44	4.24	PVC	130.0	30.00	0.68	0.07	0.01	0.09
P-45	1.81	HDPE	130.0	30.00	3.74	3.05	0.08	3.13
P-46	4.24	PVC	130.0	30.00	0.68	0.04	0.01	0.06
P-47	1.81	HDPE	130.0	30.00	3.74	3.59	0.08	3.67
P-48	8.04	PVC	130.0	965.00	6.10	5.74	1.19	6.93
P-49	8.04	PVC	130.0	433.76	2.74	1.24	0.18	1.42
P-50	8.04	PVC	130.0	328.66	2.08	0.51	0.10	0.61
P-51	8.04	PVC	130.0	251.14	1.59	0.33	0.06	0.39
P-52	8.04	PVC	130.0	196.14	1.24	0.20	0.04	0.23
P-53	8.04	PVC	130.0	171.14	1.08	0.40	0.04	0.43

FlexTable: Pipe Table

Label	Diameter (in)	Material	Hazen- Williams C	Flow (gpm)	Velocity (ft/s)	Headloss (Friction) (ft)	Headloss (Minor) (ft)	Headloss (ft)
P-54	8.04	PVC	130.0	-13.86	0.09	0.00	0.00	0.00
P-55	8.04	PVC	130.0	-73.86	0.47	0.05	0.01	0.05
P-56	8.04	PVC	130.0	-121.34	0.77	0.11	0.02	0.12
P-57	8.04	PVC	130.0	-141.24	0.89	0.14	0.02	0.16
P-58	8.04	PVC	130.0	-471.24	2.98	2.16	0.60	2.76
P-59	8.04	PVC	130.0	265.00	1.67	1.50	0.16	1.66
P-60	4.24	PVC	130.0	128.76	2.93	6.99	0.38	7.37
P-61	4.24	PVC	130.0	-121.24	2.75	6.94	0.43	7.37
P-62	4.24	PVC	130.0	90.00	2.05	0.38	0.11	0.49
P-63	4.24	PVC	130.0	90.00	2.05	1.10	0.10	1.20
P-64	1.81	HDPE	130.0	25.00	3.12	5.21	0.24	5.45
P-65	4.24	PVC	130.0	40.00	0.91	0.24	0.03	0.26
P-66	4.24	PVC	130.0	57.52	1.31	0.91	0.10	1.01
P-67	4.24	PVC	130.0	-30.00	0.68	0.09	0.01	0.11
P-68	4.24	PVC	130.0	70.10	1.59	1.33	0.16	1.50
P-69	4.24	PVC	130.0	120.00	2.73	2.19	0.12	2.31
P-70	1.81	HDPE	130.0	25.00	3.12	2.52	0.16	2.68

FlexTable: Reservoir Table

Label	Elevation (ft)	Flow (Out net) (gpm)
R-1	224.00	2,600.00



Ground Elevation at well is ~95.6
Well pump to increase head to 224.0
by providing an additional ~129 feet
of head pressure.

Technical Memorandum

Date: August 16, 2023
To: Don Griffey, PE – Griffey Engineering, Inc.
From: Eric Evans, PE -- Connelly and Wicker, Inc.
RE: Hillside Groves Subdivision – Construction Drawings

Below is a response to your comments dated January 10, 2023

1. Additional comments may be added to these with the reviews of subsequent submittals.

Response: Noted

2. This work will require various permits from SJRWMD, Duke Energy, Lake County, FDOT, FDEP, FWC, COE. Provide copies of the applicable permits & approvals before commencing work on the site.

Response: We are currently working to obtain these approvals.

3. Modify the roadway cross section dimensions for the 100' right-of-way to reflect the current plan view.

Response: The section is now modified to match the intended section.

4. Provide hydraulic calculations for the irrigation system.

Response: This was submitted and approved via email in early August.

5. The irrigation supply site improvements will need to be reviewed and approved by the Town prior to construction.

Response: Noted.

6. On the master site plan add a note and a call-out that Road B is intended to connect to SR 19 and that the design and permitting of the connection will be included with Phase 3 improvements.

Response: This is now shown on sheet 3 as requested.

7. On the south end of Road A, at the intersection of SR 19, the left outbound lane accommodates through and left movements. This lane doesn't need any markings, the arrows in the right turn lane are sufficient.

Response: This striping has been removed per your comment (Also requested by FDOT). See sheet 4A.

8. At the northbound right turn lane at the commercial driveway, the curb lane striping needs to be between the through lane and the turn lane.

Response: This edit is now shown. See sheet 4A.

9. For the speed table at 52+50, label the advance warning signs.

Response: The signs are now labeled. See sheet 4H.

10. Utility valves are not to be located in curbs, gutters, or curb ramps. In case of a conflict during construction, the valve shall be relocated and not the curb or curb ramp. Add a conspicuous note to the utility plans stating that requirement. Also, the graphical depiction on the utility plans shows several locations where valves are conflicting with curb ramps. Adjust the plans to eliminate the conflict.

Response: Several valves and other infrastructure we shifted slightly to avoid obvious conflicts. A note regarding valve vs. ramp/curb conflict has been added to the 10 and 11 series sheets.

11. In the notes for the Typical Pavement Sections, change Note 1 to state that all disturbed areas within the r/w shall be sodded. The Typical Roadway Cross Sections should also reflect that change. Sodding of the full right-of-way in front of lots can be deferred until building construction, similar to sidewalk construction. However, the standard strips of sod at the back of curb is required on all roads as part of construction.

Response: See the revised sod comments in each of the roadway sections on sheet 13A. Note "3" has been added to the narrower roadway sections.

12. Add a construction detail for the Multi-Use Path.

Response: See sheet 13A where the multi-use path detail has been added to the 100' and 90' typical section per the Lake County specification.

Please review and approve the material provided and should you have any questions or comments with regard to this application please do not hesitate to call or email. I can be reached at 904.265.3030 or at eevans@zwieng.com.

Technical Memorandum

Date: August 16, 2023
To: Thomas Harowski, AICP TMH Consulting
From: Eric Evans, PE -- Connelly and Wicker, Inc.
RE: Hillside Groves Subdivision – Construction Drawings

Below is a response to your comments dated August 7, 2023

Comment 1:

There are two areas where the proposed plan is inconsistent with the amendments presented to Town Council in 2022. The plan presented at the last amendment included 12 specific items which were approved by the Town Council. The plan shows a connection from the southeast residential neighborhood to Revels Road which is missing in the proposed final subdivision plan and a secondary connection from the townhouse neighborhood in the northwest corner of the project to Number 2 Road, perhaps as an emergency access which is also missing. These changes were not approved by Town Council and the final subdivision plan needs to be consistent with the Town Council action. If the applicant wishes to change these plans they can submit an amendment request at a future time.

Response:

We have revised the site plan to show the two future connects as noted in your comment.

Please review and approve the material provided and should you have any questions or comments with regard to this application please do not hesitate to call or email. I can be reached at 904.265.3030 or at eevans@cweng.com.

Technical Memorandum

Date: July 14, 2023
To: Thomas Harowski, AICP TMH Consulting
From: Eric Evans, PE -- Connelly and Wicker, Inc.
RE: Hillside Groves Subdivision – Construction Drawings

Below is a response to your comments dated January 11, 2023

1. The response identified a note on Sheet 201 of the landscape plans stating that designs for the screening wall and entrance feature for the Number 2 Road access will be submitted with the Phase 2 plans. I could not locate the note.

Response: The note is shown and marked with a rev-cloud.

2. The response noted that the requested bike trail extension along Number 2 Road would be included in the Phase 2 design plans. This is acceptable, but the applicant should coordinate the bike path with Lake County as part of the overall road improvements if the plan is to include the bike path in the Number 2 Road right-of-way.

Response: A future bike path will be included in phase 2 design.

3. The addition of a note to the plans regarding the need to keep the required trees in place is fine, but this note really needs to be part of the HOA documents so future residents are aware of the requirement when they purchase the homes.

Response: Noted

Please review and approve the material provided and should you have any questions or comments with regard to this application please do not hesitate to call or email. I can be reached at 904.265.3030 or at eevans@cweng.com.



TMHConsulting@cfl.rr.com
 97 N. Saint Andrews Dr.
 Ormond Beach, FL 32174
 PH: 386.316.8426

MEMORANDUM

TO: Howey-in-the-Hills Planning Board
CC: J. Brock, Town Clerk
FROM: Thomas Harowski, AICP, Planning Consultant
SUBJECT: Hillside Groves Phase 1, Final Subdivision Plan
DATE: September 19, 2023

The Town has received an application for final subdivision approval for Phase 1 of the Hillside Groves mixed use development. This project, formerly known as The Reserve was approved in its current form following a major amendment to the original development approval. The amended project was approved by the Town Council at their regular meeting of October 24, 2022. Submittal of a request for final subdivision approval is the next logical step in the development process.

Review Process and Project Status

The Town's process for Village Mixed Use developments includes approval of planned unit development agreement that sets out the concept plan for the development and any specific parameters that will govern the project in addition to the Town's land development regulations. Once the development agreement is approved (October 24, 2022, in this case) the project can proceed to a preliminary subdivision plan for any lots to be created or a site plan for any non-residential development. In this case the preliminary subdivision plan was approved at the same time as the amended development agreement. As noted above, the next step in the process is the final subdivision plan.

The final subdivision plan is the point in the development process where detailed engineering for streets, utilities, stormwater facilities and any other subdivision improvements are completed. The review process for a final subdivision plat is to check the design for compliance with Town standards and compliance with general engineering design principles. The plan is compared with the preliminary subdivision plan to verify that the design as submitted is consistent with the preliminary subdivision plan. The layout of streets, lots, and other site arrangement of land in the project is done at the preliminary subdivision phase. So long as the final subdivision plan is consistent with the preliminary subdivision plan, the review is basically a technical evaluation.

The Reserve project includes 378 acres. Phase One encompasses 140 acres or 37% of the total project area. The overall project includes residential development in

four phases using the Hillside Groves name, commercial development, and a civic use tract. The Town has previously approved a site plan for the Howey Self Storage mini-warehouse project located on SR 19 just south of the Florida Avenue intersection. The Howey Self Storage project is part of the larger Reserve development. At this time the Howey Self Storage Project has not sought a permit for construction. Hillside Groves is the residential portion of The Reserve project with this application seeking approval for the final subdivision plan for phase one. The first phase residential development includes 245 units or about one-third of the residential unit total of 728.

Final Subdivision Plan

The final subdivision plan is the last step before the project is authorized for construction. The project has reserved sewage treatment capacity with the Central Florida Community Development District, and the final subdivision plans show the sewage collection system that will support the project. The Town has adequate potable water capacity to support the project. The traffic study found the affected roadway segments have adequate capacity to operate within the designated level of service for phase one and for the project at buildout. The traffic study recommended turn lanes at the project entrance, and the project will include turn lanes at the intersection with Number Two Road as required by Lake County. Additional right-of-way dedication is also required by Lake County. The stormwater plan meets current state and Town requirements per the engineering review. Due to the age of the project it is exempt from Lake County School concurrency.

The first phase of the project includes the central collector road and residential neighborhoods in the center of the project as shown on the accompanying diagram. The first phase residential component includes 129 units on 50 x 80 foot lots and 116 units on 50 x 115 foot lots. This phase also includes stormwater systems and utilities to support the residential development. Some of the utility work will be off-site to extend water and sewer systems from the current plant locations.

The project was reviewed by the Development Review Committee at several meetings with the last review conducted on August 10, 2023. Following that DRC meeting the applicant made final adjustments that were reviewed by the Town engineer and found to be in compliance with the Town code and engineering practice.

Final subdivision are required to begin construction within 18 months of final approval by the Town, unless the project is granted a time extensions. The applicant will be required to submit permits from state and local agencies including:

- Florida DEP for water and sewer system construction
- Florid DEP for wetland impacts
- FDOT for improvements within the SR 19 right-of-way
- Lake County for improvements within the Number Two Road right-of-way
- St Johns River Water Management District for stormwater systems
- An NPDES permit is also required for runoff control during construction

At the August 19, 2023 Development Review Committee meeting Mr. Miles submitted a list of eight questions about the proposed plan set. The applicants were asked to provide a response for each of these items. The response from the project engineer is attached. In addition to the engineer's response there are a couple of related points from the Town comprehensive plan and code.

Item 1. Number Two Road Improvements:

Ultimately the Town will be guided by the requirements of Lake County as the entity responsible for Number Two Road. The plan shows turn lanes as noted by the project engineer, and the Town is requiring dedication of additional right-of-way along the full length of the project in support of Lake County's efforts to acquire a standard right-of-way for Number Two Road. This is a standard requirement by the Town for any project fronting on Number Two Road. The applicant will be required to obtain a right-of-way development permit from Lake County to ensure the county requirements are being met.

Item 2 Street Lighting

Town code requires street lights but defers the actual design of the system to Duke Energy. The applicant will be required to submit a final design plan prepared by Duke Energy which may include additional lights and/or relocation of some fixture locations shown on the plan. While the Town does not have a distance standard in the code, spacing of street lights at intersections, on major curves and spaced at 300 foot intervals is a typical standard. Applying this standard to a mile of street yields a total of 18 fixtures.

Item 7 Second Access to Townhouse Tract

One of the required revisions to the final plan set is to include a road access from the townhouse tract to Number Two Road. The form this access takes will be in large part guided by Lake County. If the County is willing to allow another road connection, even if it is restricted to right-in/right-out, then the access can be a road access. If Lake County is unwilling to approve a road connection, an emergency access may need to be considered.

Item 8 Connection at SR 19.

The intersection design has been directed by FDOT in their application of the intersection design standards. As the project engineer's response notes, once drivers enter the project from SR 19, they are quickly presented with turn lane options to the two commercial tracts leaving the through lane open to minimize any potential back-up.

Recommendation

The final subdivision plan is consistent with the approved preliminary subdivision plan, and the Town's engineering consultant has found the plans to meet the Town's design requirements and good engineering practice. The recommendation is to approve the final subdivision plan.

ORDINANCE 2023-012

AN ORDINANCE OF THE TOWN OF HOWEY-IN-THE-HILLS,
FLORIDA, PERTAINING TO LAND USE; AMENDING SECTIONS
OF THE TOWN'S LAND DEVELOPMENT CODE AS FOLLOWS:
AMENDING SECTION 5.02.06 TO SPECIFY THE MINIMUM
SETBACK FROM PROPERTY LINES FOR FLAGPOLES;
AMENDING SECTION 2.03.03 TO REQUIRE TWO-CAR GARAGES
FOR TOWNHOMES AND TO SPECIFY THE MINIMUM SQUARE
FOOTAGE OF THE GARAGE AND THE MINIMUM LENGTH AND
WIDTH OF THE RELATED DRIVEWAY; AMENDING SECTION
5.02.06 TO SPECIFY THE TIME PERIOD FOR TEMPORARY
PERMITS FOR MOVABLE MODULE STORAGE UNITS;
AMENDING SECTION 7.09.02 PERTAINING TO TREE PRUNING;
AMENDING SECTION 7.10.00 AND ITS LIST OF APPROVED TREES
AND PLANTS; AMENDING SECTION 7.10.01 TO ADD AN ITEM TO
THE PROHIBITED PLANT LIST; AMENDING SECTION 7.11.01
REGARDING TREE PROTECTION; AMENDING SECTION 7.08.01
REGARDING LANDSCAPING REQUIREMENTS; ENACTING NEW
SECTION 5.01.10 TO DEFINE "WORKSHOPS;" ENACTING NEW
SECTION 7.04.04 TO IMPOSE CERTAIN REQUIREMENTS AT
STREET INTERSECTIONS TO PRESERVE VISIBILITY FOR
MOTORISTS; AMENDING SECTION 1.12.00 TO ENACT A NEW
DEFINITION AND TO MODIFY CERTAIN EXISTING
DEFINITIONS; AMENDING SECTION 7.12.01 REGARDING
REQUIREMENTS FOR TREE REMOVAL; ENACTING NEW
SUBSECTIONS 8.05.02.L AND 8.05.04.F REGARDING POTABLE
AND RECLAIMED WATER SYSTEMS; ESTIMATING THE
ECONOMIC IMPACT OF THE ORDINANCE ON PRIVATE
BUSINESSES; PROVIDING FOR SEVERABILITY, CODIFICATION,
AND AN EFFECTIVE DATE.

BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF HOWEY-IN-
THE-HILLS, FLORIDA:

Section 1. Amendment to section 5.01.11, Flagpoles. Section 5.01.11 of the Land
Development Code is amended to read:

5.01.11 Flagpoles

Flagpoles shall conform to the maximum height limits established for the zoning
classification where they are located. Individual flags displayed on the pole shall not exceed
twenty-five (25%) percent of the height of the flagpole. Flagpoles shall not be located within
required buffers but may be located within required yards. Flagpoles shall have a minimum
five-foot setback from all property lines.

Section 2. Amendment to section 2.03.03, Townhomes. Section 2.03.03 of the Land Development Code is amended to read:

2.03.03 Townhomes

A. In order to support increased densities in the Town Center Overlay, townhome construction is permitted in areas designated as Town Center Residential (TC-R), Town Center Flex (TC-F) or Town Center Commercial (TC-C). All townhomes shall meet the density limits allowed by the underlying land use classification and shall meet the dimensional requirements as follows:

B. Dimensional Criteria

1. Maximum building height is 2 ½ stories and 30 feet.
 - a. Building-mounted appurtenances such as belfries, chimneys, cupolas, and antennas used for domestic purposes, or other appurtenances usually placed above roof level and not used for human occupancy, may exceed the maximum building height by 10 feet.
2. Maximum impervious surface is 40%
3. Maximum of 4 dwelling units per acre
4. Minimum lot size for townhomes is 5,000 square feet.
5. Minimum lot width is 50 feet for exterior townhome lots, and 35 feet for interior townhome lots
6. Minimum lot depth is 120 feet
7. Minimum front yard setback is 25 feet (15 feet if the lot includes a recessed or detached garage at least 25 feet from the front lot line)
8. Minimum street side yard setback is 25 feet
9. Minimum side yard (interior) setback is 15 feet (no side setback for interior townhome units)
10. Minimum rear yard setback is 25 feet for principal dwelling, detached garage, or accessory dwelling. Rear yard setback for sheds, workshops, pools, play structures, and other similar accessory structures is 10 feet.
11. Setbacks do not pertain to boathouses, docks, or fences.
12. Minimum square footage of townhomes is 1,200 square feet (air-conditioned, not including garage).

13. Townhomes shall have a two-car garage (a minimum of 441 square feet) and a driveway that measures a minimum of 16 feet wide and 20 feet long from the right-of-way to the garage.

Section 3. Amendment to section 5.02.06, Movable Module Storage Units. Section 5.02.06 of the Land Development Code is amended to read:

5.02.06 Moveable module storage units.

Movable module storage units (called “storage pods”) are permitted temporary structures, provided that such structures are located in compliance with the following standards:

- A. A temporary use permit shall be obtained. Permits may be extended for just cause.
- B. The duration of the temporary use permit shall be limited to ~~fourteen (14)~~ 30 days per lot per year.
- C. The storage pod may be placed on a paved or unpaved surface. When the temporary use permit authorizes location of the storage pod on an unpaved surface, the permit shall be conditioned upon the requirement that grass, sod, or landscaping shall be restored after removal of the storage pod.
- D. The storage pod may be placed in a front or rear yard. Placement in a side yard is prohibited.
- E. The storage pod shall not be placed within an easement, stormwater area, or required buffer.
- F. The storage pod shall be placed at least ten (10) feet from any property line.
- G. The storage pod shall not obstruct pedestrian access.
- H. The storage pod shall not be located within the clear visibility area at street intersections as set forth in Section ~~7.01.08~~ 7.04.04.
- I. The storage pod shall not exceed a maximum size of sixteen (16) feet in length and eight (8) feet in width.

Section 4. Amendment to section 7.09.02, Maintenance of Plant Materials. Section 7.09.02 of the Land Development Code is amended to read:

7.09.02 Maintenance of plant materials

- A. Property owners and/or their agents shall be jointly and severally responsible for the maintenance of all landscaping in good appearance, free of refuse and debris. This includes newly installed landscapes as well as those older established landscapes.

1. Replacement of substandard plant materials. All unhealthy and dead plant materials shall be replaced within 30 days in conformance with the approved site or landscape plan. Failure to replace the plant material within 30 days shall constitute a violation and be regulated through code enforcement.

2. Proper Pruning. Proper pruning practices as stated in the ~~National Arborist Association's (NAA) Pruning Standards for Shade Trees~~ ANSI Standard 300 Part 1 (Pruning) or equal are required by this LDC. The practice of "topping" or "hat-racking" is considered unacceptable by the NAA standards. In compliance with these standards, every effort shall be made to cut back to a lateral at least one-third to one-half the diameter of the parent limb or leader that is being removed. Cuts not made to a suitable lateral, sometimes called topping cuts, shall not be permitted. Street tree canopy over sidewalks shall be maintained with a ten-foot height clearance.

Section 5. Amendment to section 7.10.00, Approved Tree and Plant List. Section 7.10.00 of the Land Development Code is amended to read:

7.10.00 Approved tree and plant list

Table 7.10.00 Approved Tree and Plant List

Canopy Trees	Understory Trees	Aquatic Plants	Shrubs	Ground Cover	Turf
Bald Cypress	American Holly	Arrowhead	American Beauty Berry	Aloe	Bahia
Sweet Bay* Magnolia	Chickasaw Plum	Arrowroot	Cherry Laurel	Chinese Juniper	Bermuda
Live Oak *	Crape Myrtle	Bald Cypress	Fetterbrush	Coontie	St. Augustine
Longleaf Pine	Dahoon Holly	Blue Flag Iris	Firebush	Day Lily	Zoysia
Red Maple	Date Palm	Buttonbush	Florida Anise	Dwarf Yaupon Holly	
Shumard Oak	Drake Elm	Cinnamon Fern	Gallberry	English Ivy	
Slash Pine	East Palatka Holly	Duck Potato	Indian Hawthorne	Florida Lantana	
Southern Magnolia *	Flowering Dogwood	Fragrant White Water Lily	Ligustrum	Lirope	
Sweet Bay	Ligustrum	Golden Canna	Ligustrum	Mondo Grass	

Sweetgum	Loquat	Maidencane	Native Azaleas	Society Garlic	
Sycamore	Sabal/Cabbage Palm	Pickerel Weed	Pampas Grass	Wandering Jew	
Water Oak	Savannah Holly	Pond Cypress	Pink Muhly Grass	Perennial Peanut	
Drake Elm*	Washington Palm	Sawtooth fern	Pittosporum	Beach Sunflower	
	Wax Myrtle	Soft Rush	Podocarpus	Dwarf Asiatic Jasmine	
	Weeping Bottlebrush	Swamp Hibiscus	Sandanka Viburnum		
	Winged Elm		Saw Palmetto		
	Yaupon Holly		Silverthorn		
	Natchez Crepe Myrtle		Simpson Stopper		
	Purpleleaf Plum		St. Johns Wort		
	<u>Medjool Date Palm</u>		Star Anise		
	<u>Bamboo Palm</u>		Sweet Viburnum		
	<u>Japanese Blueberry</u>				

126

127 *Live Oaks, Laurel Oaks and Southern Magnolias are the ~~two~~ three approved Street Tree
128 species in the Town of Howey in the Hills. Drake Elm and Sweet Bay Magnolia may be used
129 where planting space is at a premium. Other trees may also be requested as street trees and
130 will be considered on a case-by-case basis depending on the site conditions. ~~Palms in clusters~~
131 ~~may be used as canopy trees, but not in excess of 10 percent of the total required canopy trees~~
132 ~~for the site.~~ Palms may be used to replace shade trees in clusters of three trees for residential
133 parcels and five trees for commercial parcels. Palms may not be used as substitutes for street
134 trees. Palms may be applied as accent trees in addition to shade trees; as part of a thematic
135 project design; and as an alternative to understory trees when integrated into planting beds.

136 Plants that do not appear on the above table may also be used if they are recommended by one
137 of the following agencies:

- 138 1. The St. Johns River Water Management District,
- 139 2. The University of Florida, IFAS (Institute of Food and Agricultural Sciences)
- 140 Extension, or
- 141 3. The Florida Department of Environmental Protection, Bureau of Aquatic Plant
- 142 Management.

143

144 **Section 6. Amendment to section 7.10.01, Prohibited Plant List.** Section 7.10.01 of

145 the Land Development Code is amended to read:

146 **7.10.01 Prohibited Plant List**

147 The following trees and plants are prohibited:

- 148 A. Acacia
- 149 B. Albizia Julibrissin (mimosa or silk tree)
- 150 C. Australian Pine
- 151 D. Brazilian Pepper Tree
- 152 E. Camphor
- 153 F. Castor Bean
- 154 G. Chinaberry
- 155 H. Chinese Tallow
- 156 I. Ear Tree
- 157 J. Eucalyptus
- 158 K. Hydrilla
- 159 L. Monkey Puzzle
- 160 M. Punk Tree
- 161 N. Rice Paper Plant
- 162 O. Silk Oak
- 163 P. Taro
- 164 Q. Water Hyacinth

R. Ailanthus (tree of heaven)

Also prohibited are those plant species prohibited by the Florida Department of Environmental Protection, the Florida Department of Agriculture and the plants listed as invasive by the Florida Exotic Pest Council. Trees on the Prohibited Plant List are exempt from the tree protection requirements of this chapter.

Section 7. Amendment to section 7.11.01, Tree Protection. Section 7.11.01 of the Land Development Code is amended to read:

7.11.01 Tree protection

A. No application for a building permit, land clearing permit, site development permit, subdivision development permit, or grading and filling permit may be issued by the Building Official until the site inspector has visited the site and determined that the tree protection measures are in place in accordance with this chapter and the approved site or subdivision plans. Tree protection shall meet the standards of ANSI Standard A300 Part 5.

B. During construction, to ensure the health and survival of protected trees that are not to be removed, the developer shall avoid the following types of tree injuries during all development activities:

1. Mechanical injuries to roots, trunk, and branches. To protect against mechanical injuries to roots, trunk, and branches:

a. All existing trees that are to remain shall have barriers constructed around the tree at the drip line or around the combined drip line of any clumps of trees. Barriers are to be inspected by the Town prior to the start of any construction.

b. The minimum size of such wood barrier fencing shall be two inches (2") by four inches (4") and the top of the barrier shall be a minimum of four feet (4') high. Another acceptable means of barricading trees is the use of orange plastic construction fence, four feet (4') high, and supported every eight feet (8') by a No. 5 rebar, driven into the ground. Fencing shall be securely attached to rebar by the use of nylon zip ties or twisted wire. Barricades must be taut and perpendicular to the ground. No construction activity, cuts, fill, debris disposal or vehicular traffic is to take place within this area. Additionally, the storage or placement of material, machinery, or other construction equipment or substances is prohibited within the drip line area.

c. Any waiver or request to construct barriers within the drip line shall be reviewed by the Town. The request must be accompanied by a report from a qualified arborist. Where drip lines of existing trees overlap, the orange mesh fencing or the wood barriers shall be erected around the outer perimeter of the combined drip lines.

Section 8. Amendment to section 7.08.01, Required landscaping. Section 7.08.01 of the Land Development Code is amended to read:

7.08.01 Required Landscaping

At least ~~50%~~ 60% of the landscaped area for each single-family lot shall be drought tolerant or Florida Friendly plants. Florida Friendly plants require a minimum of irrigation and shall be grouped together on the lot in order to reduce the irrigation requirement for those zones. Turf area may exceed 40% if the turf area over 40% is unirrigated.

Section 9. Amendment to section 5.01.10, Workshops. Section 5.01.10 of the Land Development Code is enacted to read:

5.01.10 Workshops

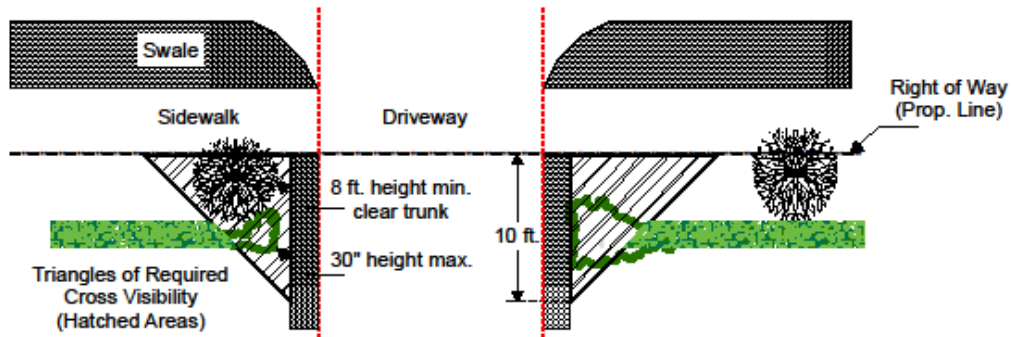
A workshop is an accessory structure used for actively pursuing a craft or hobby such as pottery, woodcraft, etc. A workshop shall be served by electricity and shall conform to the standards for storage sheds (5.01.09) and to the standards for all accessory structures (5.01.03).

(NOTE: The Town Clerk is to renumber current section 5.01.10, Docks, Piers and Wharfs, and section 5.01.11, Flagpoles.)

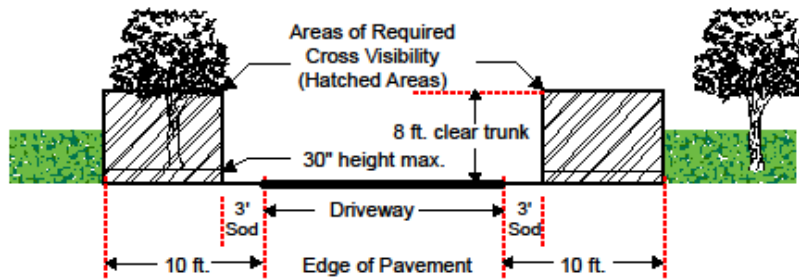
Section 10. Amendment to section 7.04.04, Visibility triangle at intersections. Section 7.04.04 is enacted to read:

7.04.04 Visibility Triangle at Intersections

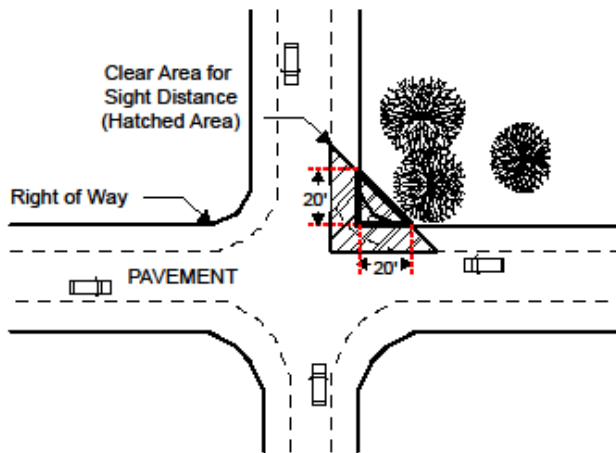
To preserve visibility at intersections of streets and at intersections of driveways with streets, a visibility triangle shall be provided as shown in the following diagram.



PLAN : Intersection of Driveway and Street



CROSS SECTION A-A' : Intersection of Driveway and Street



PLAN : Local Roadway in Subdivision

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226

227

Section 11. Amendment to section 1.12.00, Acronyms and definitions. Section 1.12.00 is amended to read, and is amended to add the definition of “street tree,” as follows:

Canopy Tree means a tree, usually with one main trunk, which develops an elevated crown and provides at maturity, a minimum shade crown of ~~thirty~~ 30 feet (~~30'~~) in diameter or greater. See also street tree.

Street Tree means any tree meeting the requirements for a canopy tree and planted to meet the requirements for a street tree as required by the code. See also canopy tree.

Primary Façade is the exterior wall of a building that faces a street. ~~Buildings on corner lots have two primary facades.~~ Buildings on lots abutting more than one street, including corner lots, through lots, and any lot abutting three or four streets, have two, three or four primary facades based on the number of streets fronted by the lot.

Section 12. Amendment to section 7.12.01, Permit required. Section 7.12.01 of the Land Development Code is amended to read:

7.12.01 Permit required

A. Any person who proposes to cut down, move, remove, or destroy any tree, including those on single family lots, shall first obtain a tree removal permit from the Town unless otherwise exempt under F.S. 163.045. Prior to removal of any tree exempt from permitting under F.S. 163.045 the property owner shall provide to the Town a copy of the arborist report required by Section 163.045(2). Requests for tree removal permits shall be made to the ~~Public Works Director~~ Code Enforcement Officer. Trees that are located on vacant, undeveloped land shall not be removed except as permitted through the development of the site. Trees that are on the Town’s prohibited tree list may be removed without a permit. Any application for a tree removal permit shall include the following:

- a. Property owner’s name and daytime telephone number.
- b. Street address and directions to the site.
- c. Type and size of tree proposed to be removed.
- d. Purpose for the tree removal.
- e. Most recently available boundary survey.
- f. General location of the tree on the site.
- g. How many trees remain on the lot or parcel.

B. When determining whether to permit the tree removal, the following issues will be evaluated:

1. Whether the tree has a potentially hazardous branching structure such as a hollow trunk, low fork in the trunk, or other.
2. Whether the tree is injured or diseased beyond repair.
3. Whether there are no viable alternatives to locating structures or driveways on the site.
4. Whether the tree is impacting the foundation of a house or other building or structure.
5. Whether the tree poses a threat to traffic visibility.
6. Whether the tree is negatively impacting a more desirable tree.
7. Any other issue deemed important by the Town.
8. Trees that are deemed hazardous or otherwise unsafe shall be allowed to be removed without mitigation. In circumstances where the condition supporting the removal of a tree is not obvious or easily documented by the Town inspector, a letter from a certified arborist may be required to permit removal. In emergency situations, a hazardous tree may be removed as long as proper documentation in the form of photographs and/or a written opinion from Town staff, accompanies the permit application.

C. Any trees removed in violation of this chapter shall be deemed to be violations of this Code and subject to all penalty provisions afforded the Town.

Section 13. Amendment to section 8.05.02, Potable water system. Section 8.05.02 of the Land Development Code is amended to enact new subsection L, as follows:

8.05.02 Potable water system

* * *

L. It is the responsibility of all potable water customers to maintain a three-foot area clear of any fences, structures or landscaping other than sod or mulch around meter boxes to allow for access by Town employees for reading, maintenance, and disconnection of service. The meter box may not be buried or obstructed from view. The Town shall not be responsible for any damage to plants, fences or other impediments that are removed in the course of Town work.

Section 14. Amendment to section 8.05.04, Reclaimed water systems. Section 8.05.04 of the Land Development Code is amended to enact new subsection F, as follows:

8.05.04 Reclaimed water system

* * *

F. It is the responsibility of all reclaimed water customers to maintain a three-foot area clear of any fences, structures or landscaping other than sod or mulch around meter boxes to allow for access by Town employees for reading, maintenance, and disconnection of service. The meter box may not be buried or obstructed from view. The Town shall not be responsible for any damage to plants, fences or other impediments that are removed in the course of Town work.

Section 15. Business Impact Estimate. In compliance with Subsection 166.041(4) of Florida Statutes the Town provides the following business impact estimate:

a) **Summary of Ordinance 2023-012.** Ordinance 2023-012 is a collection of amendments to the Town’s Land Development Code (LDC). The amendments were recommended by the Planning and Zoning Board. The amendments largely clarify existing LDC provisions. Some amendments add needed regulations or specify permitted and prohibited actions and land uses by developers and landowners. The amendments address setbacks, townhome garage and driveway requirements, permits for temporary storage units, tree removal and protection, approved and prohibited types of trees and other plants, landscaping requirements and restrictions, “workshop” structures, and visibility standards for motorists. All amendments are intended ultimately to address public safety and welfare.

b) **No economic impact.** The following amendments in Ordinance 2023-012 will have no material economic impact on private, for-profit businesses:

1. Flagpole setbacks in LDC section 5.01.11;
2. Extended permit periods for temporary storage units under section 5.02.06;
3. Clarification of pruning requirements in section 7.09.02;
4. Adjustments to the list of approved trees and plants in section 7.10.00;
5. Adjustments to the list of prohibited plants in section 7.10.01;
6. Clarification of tree-protection standards in section 7.11.01;
7. Clarification of the portions of single-family lots required to be drought-tolerant and unirrigated;
8. Addition of “workshops” to the types of permitted accessory structures;
9. Requirement for “visibility triangles” at street intersections and at the intersection of driveways and streets;
10. Clarification of and an addition to defined terms under section 1.12.00;

11. Clarification of when trees may be removed without the need to first obtain a removal permit under section 7.12.01;

12. Adding requirements for property owners to keep spaces around potable-water and reclaimed-water meters clear of obstacles and landscaping under sections 8.05.02 and 8.05.04

c) **Economic impact.** The Town estimates that the requirement in LDC section 2.03.03 for a two-car garage and a driveway of minimum length and width at each new townhome will increase the cost of constructing the townhome, as of October 2023, by an amount equal to approximately \$_____.

Section 16. Severability. If any provision or portion of this ordinance is declared by a court of competent jurisdiction to be void, unconstitutional, or unenforceable, the remaining provisions and portions of this ordinance shall remain in full effect. To that end, this ordinance is declared to be severable.

Section 17. Codification The amendments in Sections 1 through 14 of this ordinance shall be codified and published in the Town's Land Development Code. No other provisions shall be codified, either in the Town's Code of Ordinances or in the Land Development Code.

Section 18. Effective Date. This ordinance shall take effect upon its enactment.

[Signatures on the following page]

ORDAINED AND ENACTED this ____ day of _____, 2023, by the Town Council
of the Town of Howey-in-the-Hills, Florida.

**TOWN OF HOWEY-IN-THE-HILLS,
FLORIDA**

By: its Town Council

By: _____
Hon. Martha MacFarlane, Mayor

ATTEST:

APPROVED AS TO FORM AND LEGALITY
(for the use and reliance by the Town only)

John M Brock, Town Clerk

Thomas J Wilkes, Town Attorney

First Reading: _____, 2023

Second Reading and Enactment: _____, 2023

Advertising :



10/23/2023

To: Mike Woods, Lake-Sumter Metropolitan Planning Organization (MPO)
Date: October 23, 2023
Subject: Request for Funding - Area Study for the Town of Howey-in-the-Hills

Dear Mr. Woods,

I am writing on behalf of the Town of Howey-in-the-Hills to formally request implementation of Complete Streets elements in the currently proposed resurfacing projects (#452642-1) as well as budget allocation for a comprehensive area study to explore the feasibility and need for alternative traffic routing in our municipality.

In reference to the Lake-Sumter MPO's Long Range Transportation Plan (LRTP) 2045, it is evident that there are significant roadway needs projects to the northeast, northwest, and south leading to and from Howey-in-the-Hills. These routes are highlighted as critical infrastructure components. With the current and projected growth patterns in and around Lake County, it is both inevitable and imperative that we address the pressing challenges posed by the increasing traffic volume, especially from heavy trucks.

Our primary concerns are as follows:

1. **Pedestrian Safety:** The escalating vehicular traffic effectively divides our town in half, making crossing Highway 19 increasingly unsafe, if not perilous. This is of particular concern for our youth and elderly populations, who are at a higher risk in such traffic conditions.
2. **Cut-through Traffic:** Currently, Howey-in-the-Hills is experiencing an influx of cut-through traffic, especially from the Tavares area. This traffic aims to access the turnpike and south Lake County, further exacerbating the congestion and safety challenges within our Town.

Given the aforementioned reasons, we believe that a detailed area study is essential in identifying potential solutions and ensuring the safety and well-being of our residents. We respectfully request that the Lake-

Town of Howey-in-the-Hills

Sumter MPO allocate the necessary funds to conduct this study, providing the foundation for informed decisions and future infrastructure improvements.

We genuinely appreciate your attention to this matter and look forward to your positive response. Please feel free to contact us for any additional information or clarifications.

Thank you for your time and consideration.

Sincerely,

Sean O'Keefe
Town Manager

CC: C. Jack Adkins, District Five Director of Transportation Development (FDOT)

Town of Howey-in-the-Hills

Draft Tentative Five-Year Work Program Public Hearing Summary Report - As of October 4, 2023

July 1, 2024 through June 30, 2029

Florida Department of Transportation - District Five

Item 5.

LAKE COUNTY**Highways****450740-1 - SR 25(US27) FROM N OF SR 50 TO CR 561A/SOUTHERN BREEZE DR**

Type of Work: PAVEMENT ONLY RESURFACE (FLEX)

Phase	Funding Source	2025	2026	2027	2028	2029
Construction	State		\$10,576,291			
Total for Project 450740-1			\$10,576,291			

452642-1 - CR19 FROM LAKEVIEW AVE TO CR48

Type of Work: PAVEMENT ONLY RESURFACE (FLEX)

Phase	Funding Source	2025	2026	2027	2028	2029
Preliminary Engineering	State	\$439,950				
Construction	State			\$1,614,735		
Total for Project 452642-1		\$439,950		\$1,614,735		

452646-1 - SR 44 FROM US 441 / SR 44 / SR 500 TO S OF SR 44 (ORANGE AVE)

Type of Work: PAVEMENT ONLY RESURFACE (FLEX)

Phase	Funding Source	2025	2026	2027	2028	2029
Preliminary Engineering	State	\$615,300				
Construction	State			\$3,504,907		
Total for Project 452646-1		\$615,300		\$3,504,907		

453086-1 - SR 44 FROM SR 44 IN LAKE COUNTY TO VOLUSIA COUNTY LINE

Type of Work: INTERSECTION IMPROVEMENT

Phase	Funding Source	2025	2026	2027	2028	2029
Preliminary Engineering	Federal	\$234,000				
	State	\$11,700				
Construction	Federal			\$1,280,913		
	State			\$62,192		
Total for Project 453086-1		\$245,700		\$1,343,105		

453449-1 - CR 44 FROM US 441 TO SR 19 LEFT TURN LANES

Type of Work: ADD LEFT TURN LANE(S)

Phase	Funding Source	2025	2026	2027	2028	2029
Preliminary Engineering	Federal	\$652,000				
Construction	Federal			\$2,646,750		
Total for Project 453449-1		\$652,000		\$2,646,750		