



Planning & Zoning Board Meeting

October 24, 2024 at 6:00 PM

Howey-in the-Hills Town Hall

101 N. Palm Ave.,

Howey-in-the-Hills, FL 34737

Join Zoom Meeting: <https://us06web.zoom.us/j/84960427626?pwd=QNeYkYS00xe9ryQq0INaSr51RWIm3.1>
Meeting ID: 849 6042 7626 | **Passcode:** 225282

AGENDA

CALL TO ORDER ROLL CALL

CONSENT AGENDA

Routine items are placed on the Consent Agenda to expedite the meeting. If a Planning & Zoning Board Member wishes to discuss any item, the procedure is as follows: (1) Pull the item(s) from the Consent Agenda; (2) Vote on the remaining item(s); and (3) Discuss each pulled item and vote.

- 1.** Consideration and Approval of the October 3, 2024, Planning and Zoning Board Meeting minutes.

PUBLIC HEARING

OLD BUSINESS

NEW BUSINESS

- 2.** Consideration and Approval: **Hillside Groves (Meritage Homes) Elevations Approval**

PUBLIC COMMENTS

Any person wishing to address the Planning and Zoning Board and who is not on the agenda is asked to speak their name and address. Three (3) minutes is allocated per speaker.

BOARD COMMENTS

ADJOURNMENT

To Comply with Title II of the Americans with Disabilities Act (ADA):

Qualified individuals may get assistance through the Florida Relay Service by dialing 7-1-1. Florida Relay is a service provided to residents in the State of Florida who are Deaf, Hard of Hearing, Deaf/Blind, or Speech Disabled that connects them to standard (voice) telephone users. They utilize a wide array of technologies, such as

Text Telephone (TTYs) and ASCII, Voice Carry-Over (VCO), Speech to Speech (STS), Relay Conference Captioning (RCC), CapTel, Voice, Hearing Carry-Over (HCO), Video Assisted Speech to Speech (VA-STS) and Enhanced Speech to Speech.

NOTICE: ONE OR MORE COUNCILORS MAY BE PRESENT TO HEAR OR PARTICIPATE IN DISCUSSION REGARDING MATTERS WHICH MAY COME BEFORE TOWN COUNCIL FOR ACTION.

Howey Town Hall is inviting you to a scheduled Zoom meeting.

Topic: **Planning & Zoning Board Meeting**

Time: **Oct 24, 2024 06:00 PM Eastern Time** (US and Canada)

Join Zoom Meeting

<https://us06web.zoom.us/j/84960427626?pwd=QNeYkYS00xe9ryQq0INaSr51RWIm3.1>

Meeting ID: 849 6042 7626

Passcode: 225282

Dial by your location

+1 646 558 8656 US (New York)

+1 720 707 2699 US (Denver)

+1 346 248 7799 US (Houston)

Meeting ID: 849 6042 7626

Passcode: 225282

Find your local number: <https://us06web.zoom.us/j/84960427626?pwd=QNeYkYS00xe9ryQq0INaSr51RWIm3.1>

Please Note: In accordance with F.S. 286.0105: Any person who desires to appeal any decision or recommendation at this meeting will need a record of the proceedings, and that for such purposes may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is based. The Town of Howey-in-the-Hills does not prepare or provide this verbatim record. Note: In accordance with the F.S. 286.26: Persons with disabilities needing assistance to participate in any of these proceedings should contact Town Hall, 101 N. Palm Avenue, Howey-in-the-Hills, FL 34737, (352) 324-2290 at least 48 business hours in advance of the meeting.



Planning & Zoning Board Meeting

October 03, 2024 at 6:00 PM
Howey-in the-Hills Town Hall
101 N. Palm Ave.,
Howey-in-the-Hills, FL 34737

MINUTES

Vice Chair Wagler called the meeting to Order at 6:00 PM.

ROLL CALL

MEMBERS PRESENT:

Board Member Joshua Husemann | Board Member Alan Hayes | Board Member Richard Mulvany | Board Member Ellen Yarckin | Board Member Shawn Johnson | Vice Chair Frances Wagler

MEMBERS ABSENT:

Chair Tina St. Clair

STAFF PRESENT:

Sean O’Keefe, Town Manager | Tom Harowski, Town Planner | John Brock, Deputy Town Manager/Town Clerk

CONSENT AGENDA

Routine items are placed on the Consent Agenda to expedite the meeting. If a Planning & Zoning Board Member wishes to discuss any item, the procedure is as follows: (1) Pull the item(s) from the Consent Agenda; (2) Vote on the remaining item(s); and (3) Discuss each pulled item and vote.

1. Consideration and Approval of the August 22, 2024, Planning and Zoning Board Meeting minutes.

Motion made by Board Member Hayes to approve the Consent Agenda; seconded by Board Member Husemann. Motion approved unanimously by voice vote.

Voting

Yea: Board Member Husemann, Board Member Hayes, Board Member Mulvany, Board Member Yarckin, Board Member Johnson, Vice Chair Wagler

Nay: None

PUBLIC HEARING

2. Consideration and Recommendation: **Whispering Heights Rezoning to MDR-2**

Town Planner, Tom Harowski, gave a short history of the Whispering Heights project. Mr. Harowski stated that the 2018 rezoning request (which would have rezoned the property from MDR-1 to MDR-2) was not properly completed. Mr. Harowski stated that the Town Attorney had reviewed the situation

and had stated that, since the 2018 Rezoning application was never approved or executed, all subsequent approvals (such as the Preliminary Subdivision Approval) were invalidated. Mr. Harowski reviewed his Staff Report with the Board.

Vice Chair Wagler asked for a representative for the applicant to come forward, introduce themselves, and make their presentation. Clay Frankel, representative for Red Jacket Development Group, came forward and spoke. Mr. Frankel stated that he believed the rezoning to MDR-2 should be an administrative action (even though the original 2018 request was never approved or executed) because the Town had approved a Preliminary Subdivision Plan since then which referenced the development being MDR-2. Mr. Frankel stated that this project started in 2005.

Vice Chair Wagler opened Public Comment for this item only.

Tim Everline, 1012 N. Lakeshore Blvd. – Mr. Everline stated that the meeting’s packet did not include subdivision specifics, which he felt it should have. Mr. Everline stated that he believed that, regardless of the rezoning request, he believed that the subdivision would still be required to connect to sewer.

Jim McIlvaine, 23822 N Buckhill Rd. – Mr. McIlvaine stated that his family had moved here 5 years ago and urged all to think of why they moved here.

Vice Chair Wagler closed Public Comment.

Board Member Yarckin stated that she believes the sewer system is outdated, and that Venezia was promised reclaim water and has never received it. Board Member Yarckin stated that she believed anything less than 1/3 of an acre was too small.

Board Member Hayes stated that he believed there was a market for larger homes and larger lots. Board Member Hayes stated that he thought it would be acceptable for the larger lots on the lake to be on septic systems.

Board Member Husemann asked, if the development was approved for the zoning change, which version of Land Development Code (LDC) requirements they would have to follow (since the Town had recently amended its LDC. Mr. Harowski stated that the developer would have to follow the new LDC.

Mr. Frankel stated that he believed that this was an overlooked administrative task and that the Town should approve his rezoning request. Mr. Frankel stated that his development group had undertaken a lot of expenses for engineering for the recent Final Subdivision Plans that they had commissioned.

Motion made by Board Member Mulvany to recommend denial of Ordinance 2024-011 to the Town Council; seconded by Board Member Hayes. Motion approved by a roll call vote.

Voting

Yea: Board Member Hayes, Board Member Mulvany, Board Member Yarckin, Vice Chair Wagler

Nay: Board Member Husemann, Board Member Johnson

OLD BUSINESS

NEW BUSINESS

PUBLIC COMMENTS

Any person wishing to address the Planning and Zoning Board and who is not on the agenda is asked to speak their name and address. Three (3) minutes is allocated per speaker.

Tim Everline, 1012 N Lakeshore Blvd. – Mr. Everline stated that he did not believe that the rezoning request was an administrative task.

Paul Hoar, 503 Mission Ln. – Mr. Hoar stated that he believes that, if the 2018 rezoning had occurred, that someone would have had a copy.

BOARD COMMENTS

Board Members Hayes stated that the applicant for the rezoning request had waited over 6 years from their previous rezoning request.

Board Member Husemann was concerned that, if the developer doesn't get their rezoning from MDR-1 to MDR-2, they may be able to use septic instead of being required to hook to sewer. Town Manager, Sean O'Keefe stated that this septic or sewer requirement was a legal question, and he would investigate it.

Board Member Mulvany stated he agreed with Mr. Everline's comments earlier in the meeting and thought the Planning and Zoning Board should have received the current site plans for the proposed development.

Board Member Yarckin wondered why this zoning discrepancy had not been discovered sooner.

ADJOURNMENT

There being no further business to discuss, a motion was made by Board Member Hayes to adjourn the meeting; Board Member Mulvany seconded the motion. Motion was approved unanimously by voice vote.

The Meeting adjourned at 6:43 p.m.

Tina St. Clair Chairperson

ATTEST:

John Brock, Town Clerk



ZONING MEMORANDUM

October 22, 2024

Prepared for
Town of Howey-in-the-Hills
Attn: Sean O'Keefe, Town Manager



Meritage Homes- Elevation/ Architectural Plans Hillside Groves (The Reserve PUD) Applicant: Meritage Homes

The subject property is zoned Planned Unit Development (PUD).

The applicant has requested approval of six different house models to be used within the Hillside Groves portion of the Reserve at Howey-in-the-Hills PUD (The Reserve PUD). The comments below identify additional information the applicant will need to supply so that the application can be fully evaluated in compliance with Land Development Code (LDC) Sec. 4.06.02 and Sec. 4.06.03.

Recommendation: The model elevations should be revised consistent with the requirements identified in the review comments below and be brought back to the Planning and Zoning Board for consideration.

Review Comments:

Front Porches and Recessed Garages

The proposed models appear to provide porches and recessed garages consistent with LDC Sec. 4.06.02 (A) (2) and (3). Additional detail on the porches would be helpful though to determine if they are at or above grade or have articulation designating them as usable front porches. As an example, none of the porches show railings as part of the design.

Building Walls

The proposed elevations show what appears to be stonework and varying materials on the models, however no product types, colors or materials are identified on the plans. The elevation plans need to be revised to demonstrate and specify materials to ensure that they are consistent with the following LDC Sections which state:



Sec. 4.06.02 (B) (1): *Residential building walls shall be wood clapboard, wood shingle, wood drop siding, Hardie board siding, brick, stone, stucco, approved vinyl siding, or similar material.*

Sec. 4.06.03 (B): *Walls cannot be all one material and/or color. Primary facades shall have one base color and a minimum of one complementary accent color. A complementary wall material may be used to meet the second color requirement.*

Residential Roofs

The proposed elevations do not identify the roof materials to be used nor detail on eave design. The plans need to be revised to demonstrate and specify roof materials and eaves detail to ensure that they are consistent with the following LDC Sections:

Sec. 4.06.02 (B) (2): *Residential roofs shall be wood, synthetic, or fiberglass shingles, solar shingles, tile or metal. Eaves are an important component of the roof design, they not only provide architectural character, but they help to protect building walls and reduce cooling costs.*

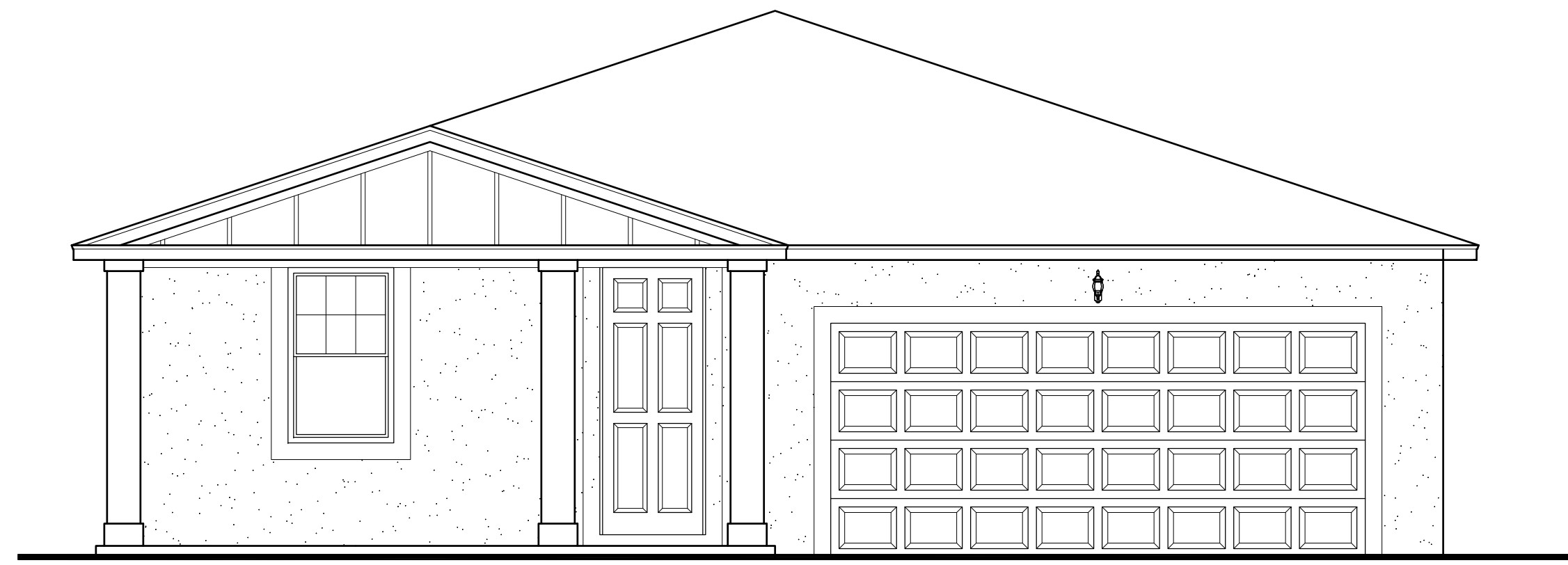
Sec. 4.06.03 (A): *Roof plan: Residential homes shall have variations in roof lines and use dormers, wide eaves, and other architectural elements to add interest and sustainability.*

Exterior Architectural Details

LDC Sec. 4.06.03 (C) requires each model to incorporate architectural details to all sides of the building. Primary facades are required to incorporate a minimum of four architectural details and secondary facades must have two from the list included in this code section or other details that meet the same intent as approved by the Town.

The list of acceptable architectural details include: windows, shutters, porches, decorative elements, doors, columns, window boxes, porticos, cupolas, chimneys, and enhanced landscape treatment as defined in the applicable section.

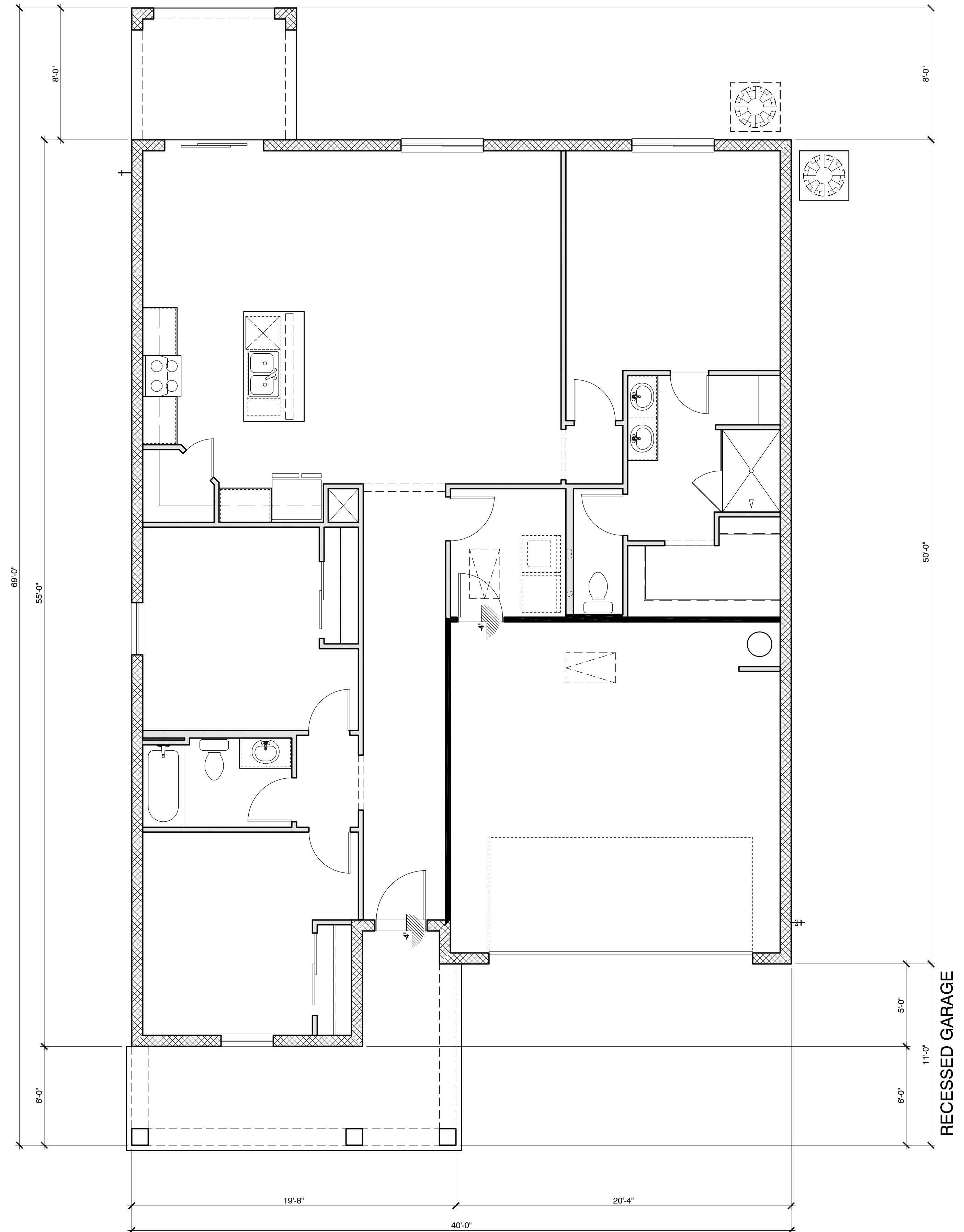
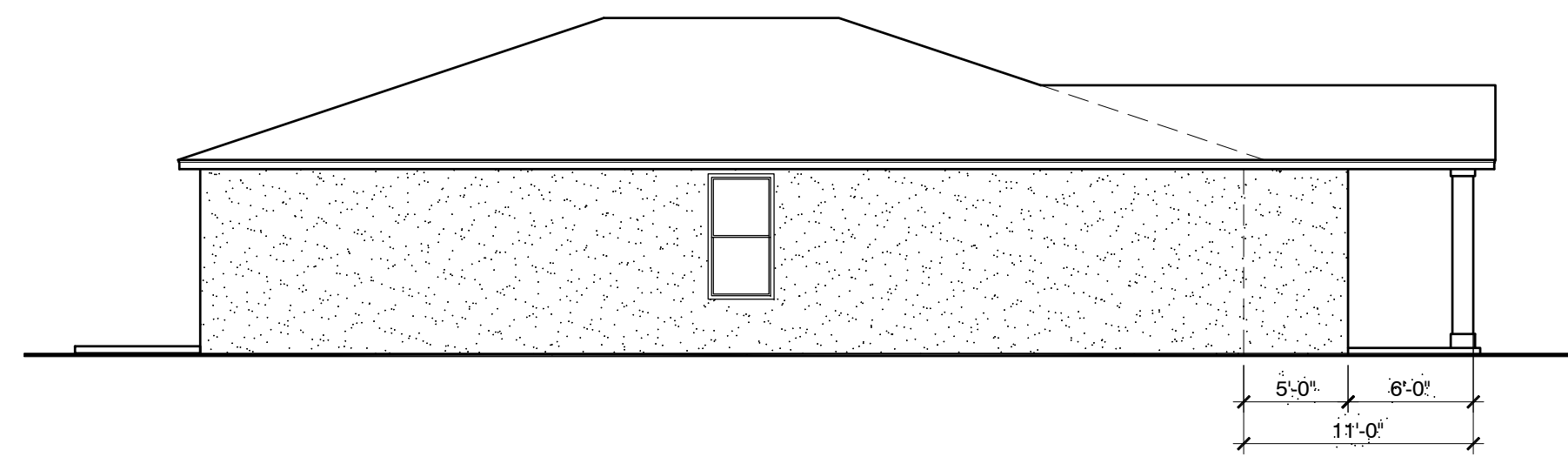
The application provides some of these details but not all that are required for each of the facades. Consistent with LDC Sec. 4.06.03, the plans need to be revised to show and label the front, side, and rear facade elevations for each model and identify the specific architectural details on each façade, demonstrating how they are consistent with the type and quantity required in LDC Sec. 4.06.03 (C).



Elevation B

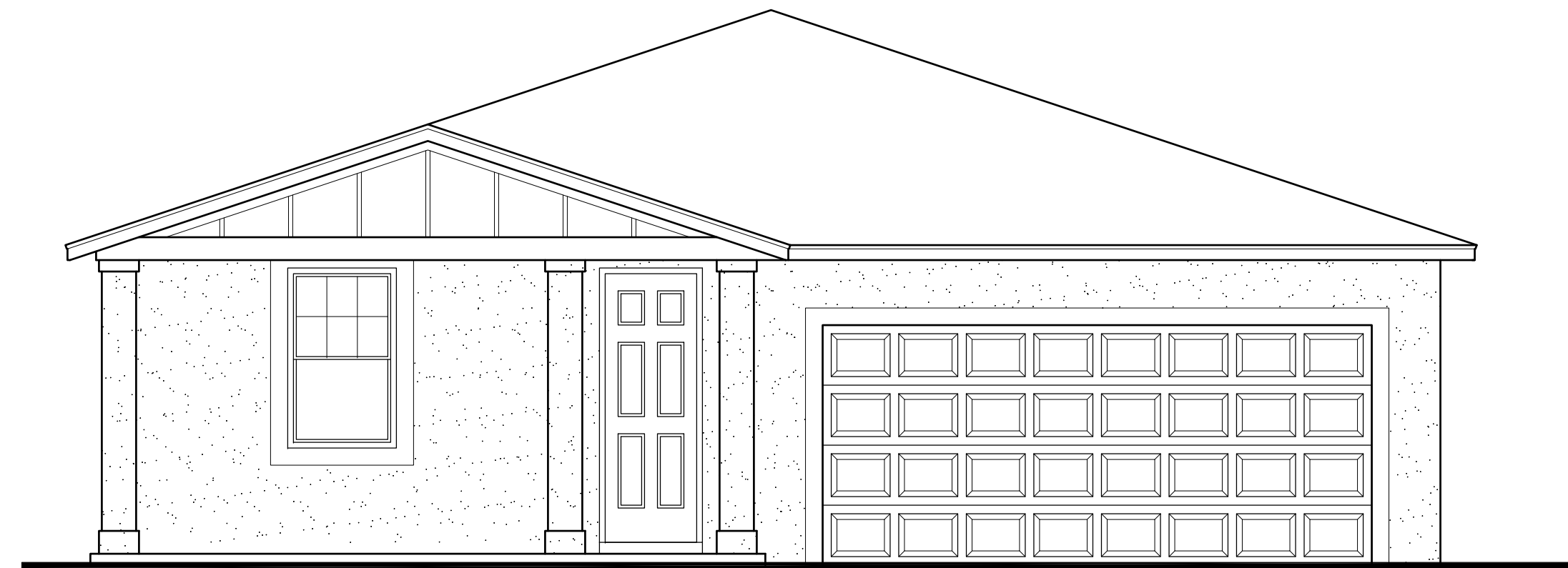


Elevation C



4R05 1,630 S.F.

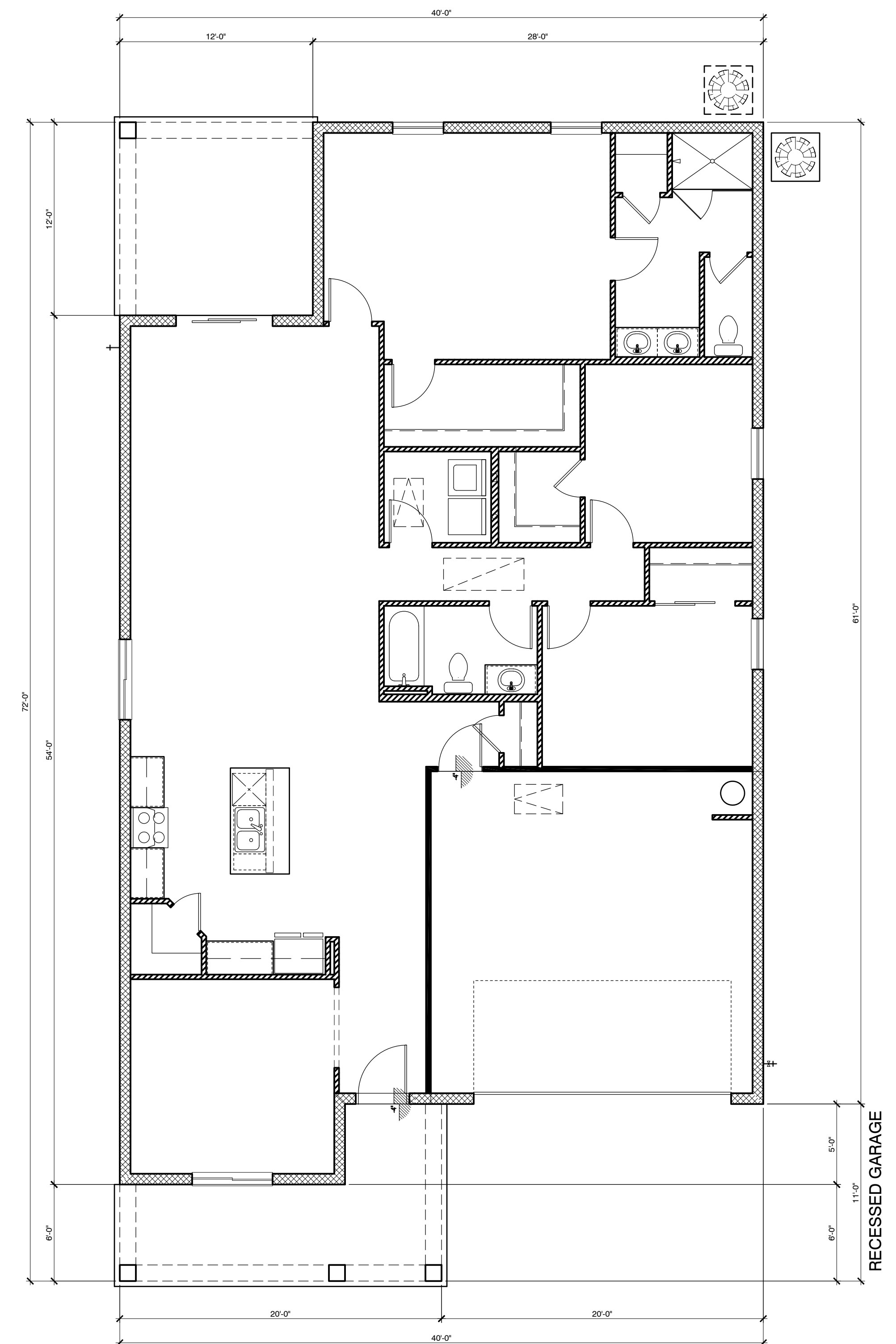
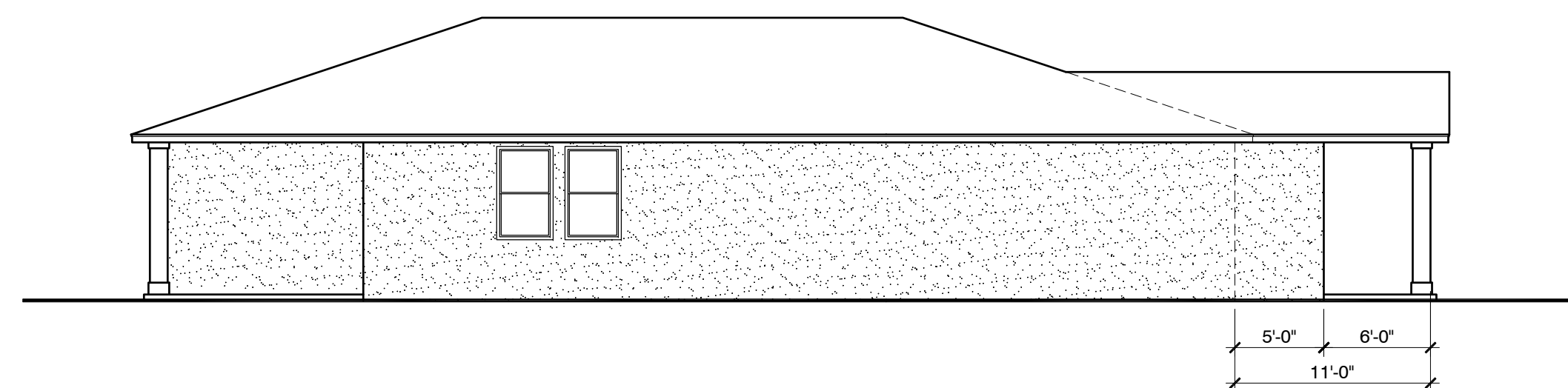
Meritage Homes 4R05 (Formerly Bluebell)



Elevation B



Elevation C



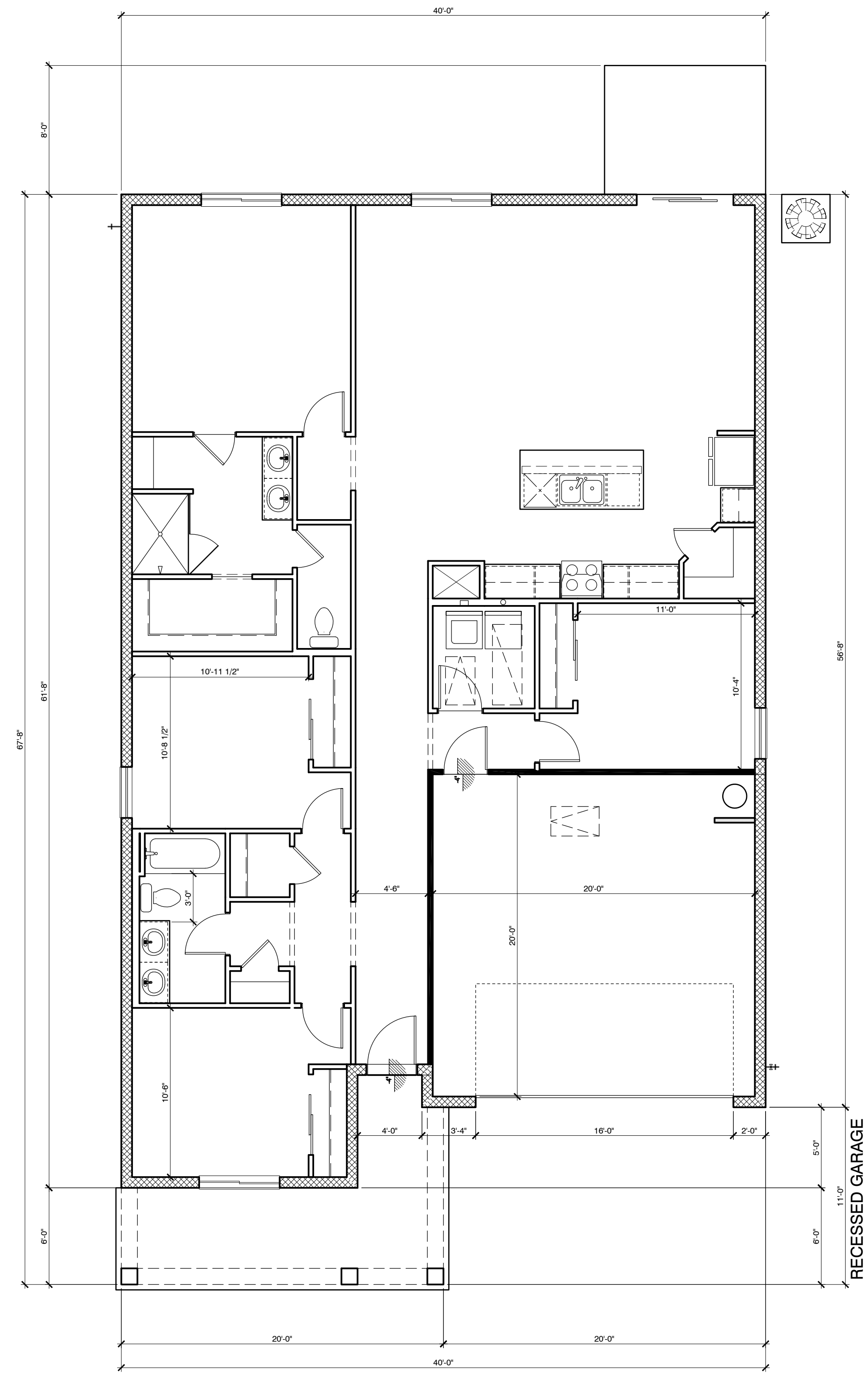
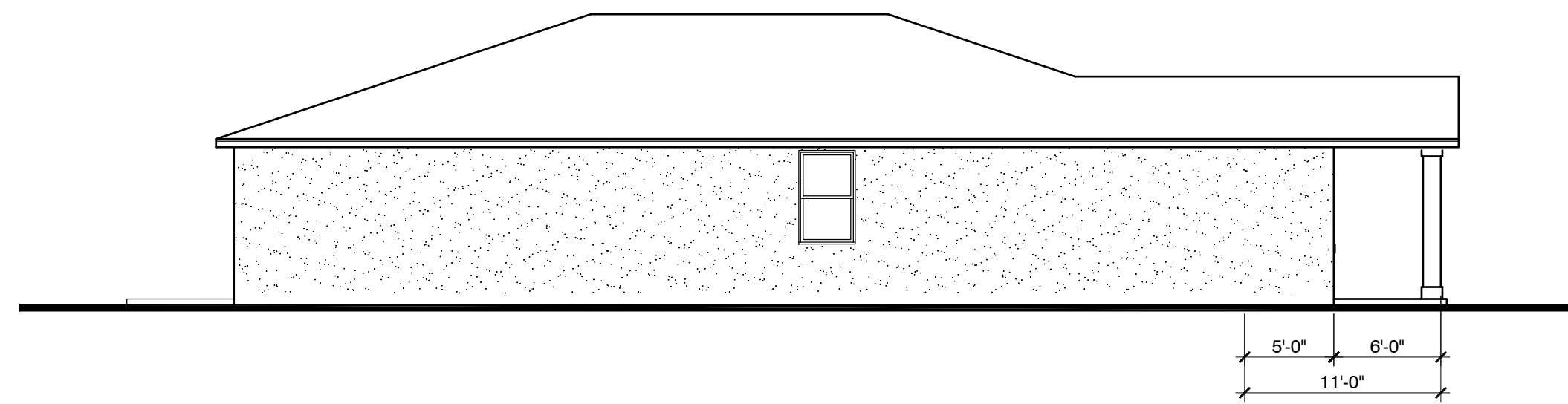
Meritage Homes 4R10 (Formerly Daphne)



Elevation B

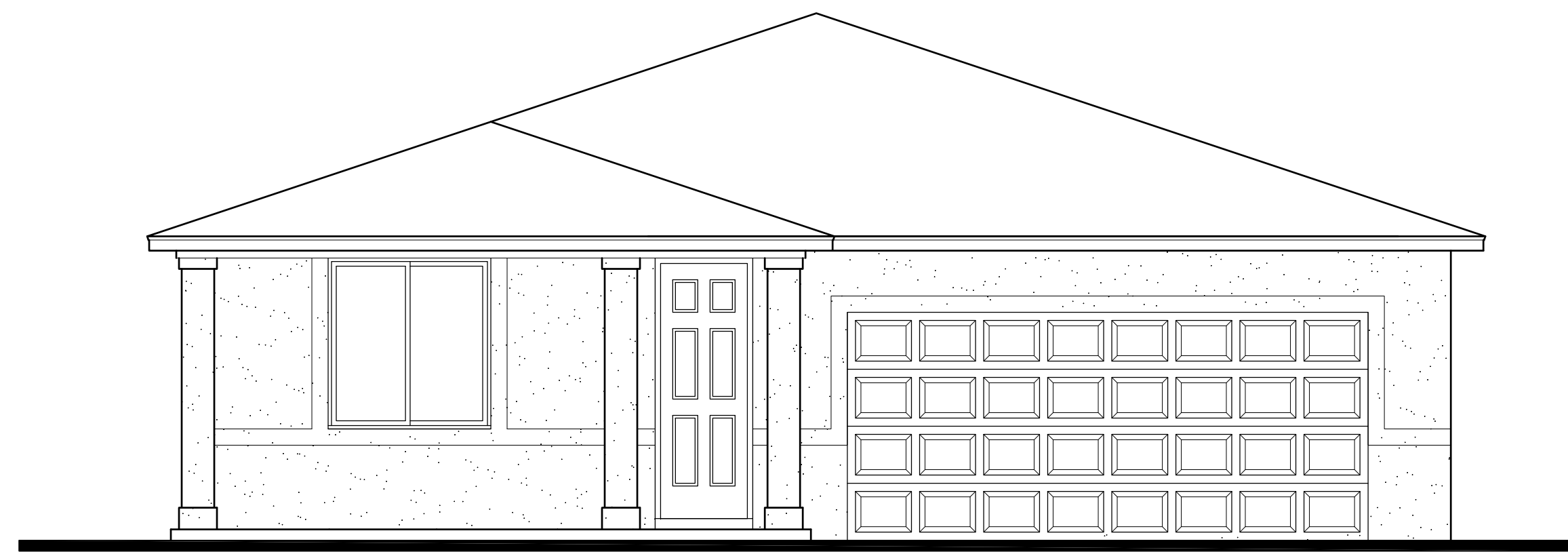


Elevation C



4R15 1,904 S.F.

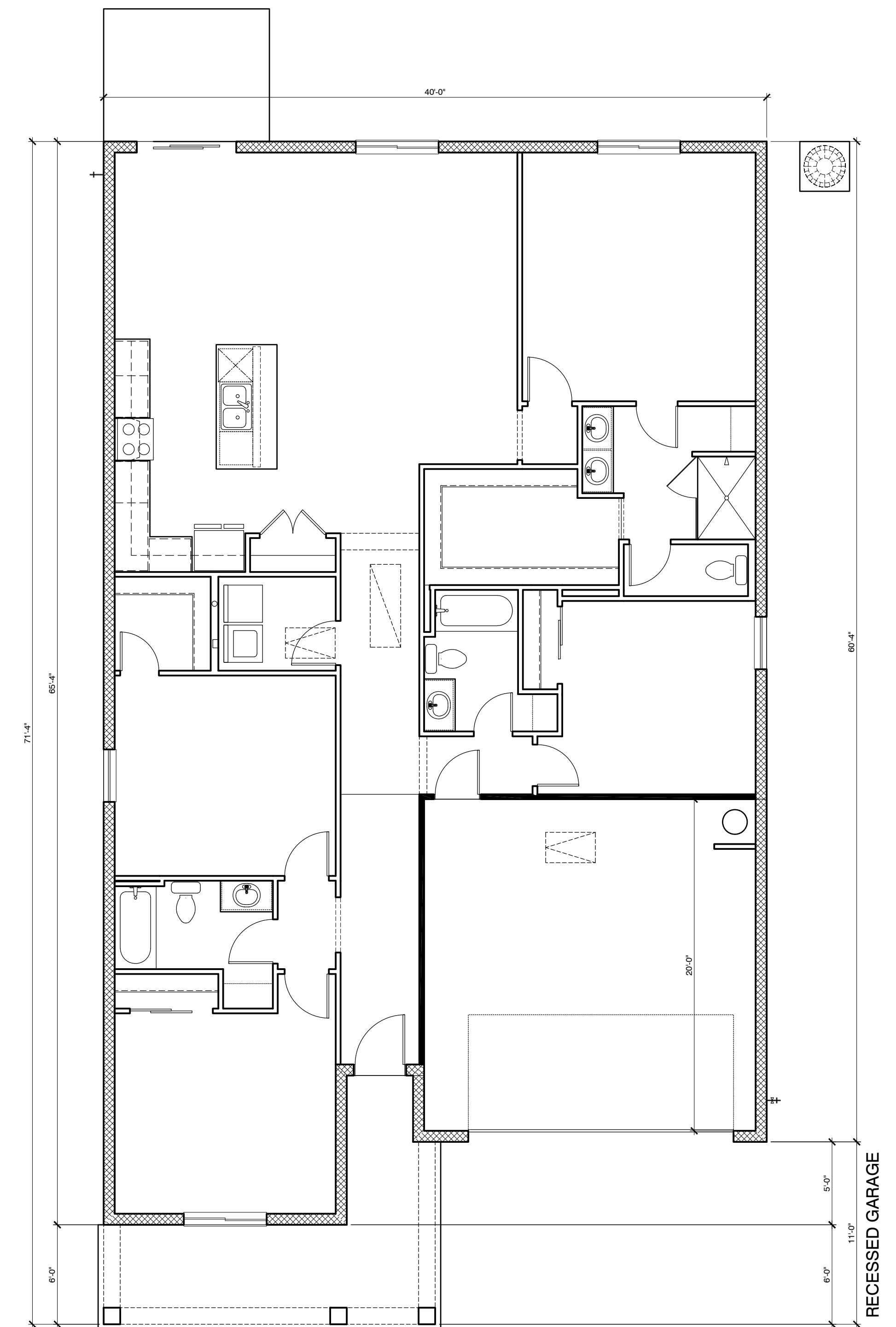
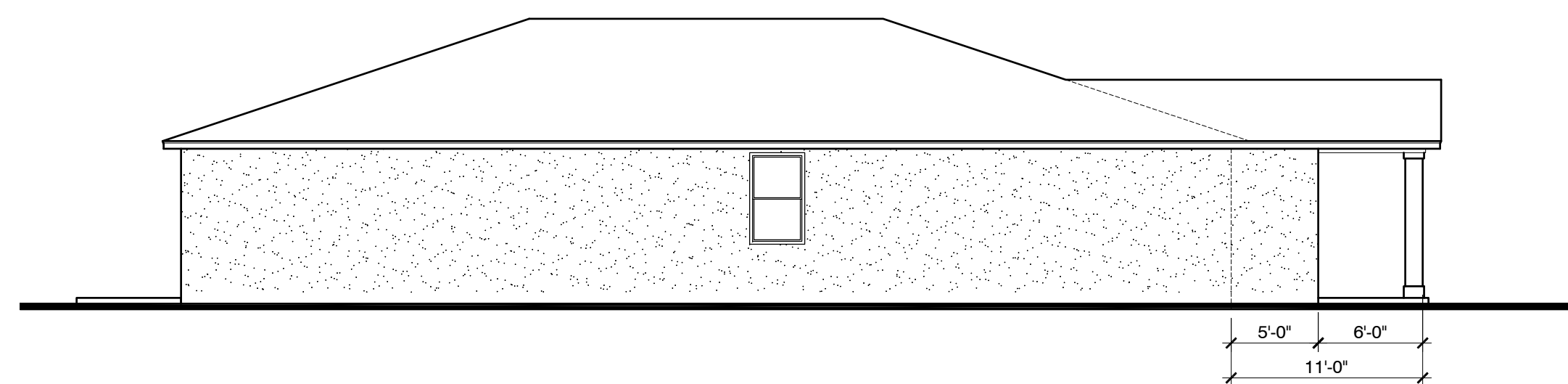
Meritage Homes 4R15 (Formerly Foxglove)



Elevation B



Elevation C



4R20 2,041 S.F.

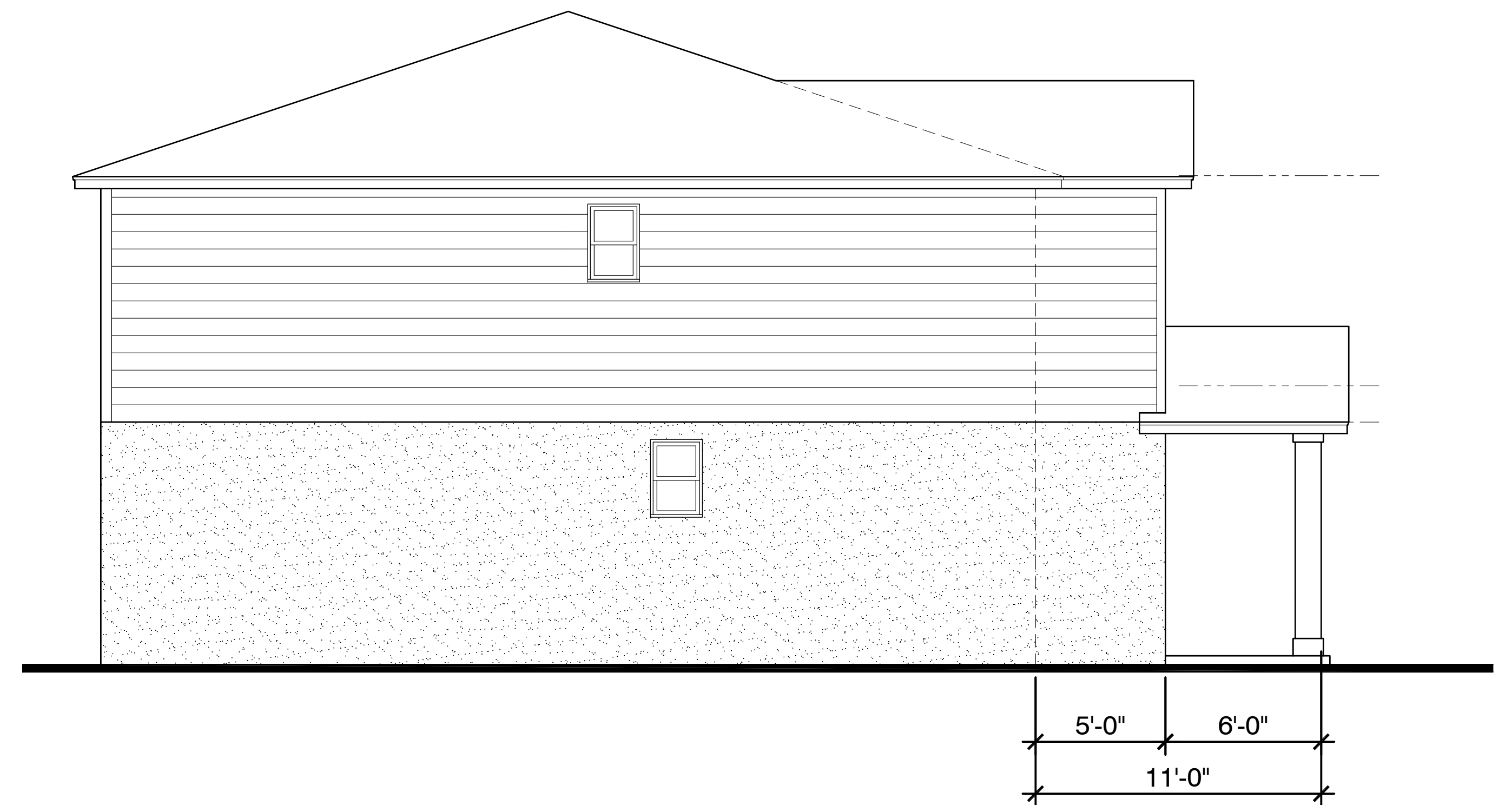
Meritage Homes 4R20 (Formerly Hibiscus)



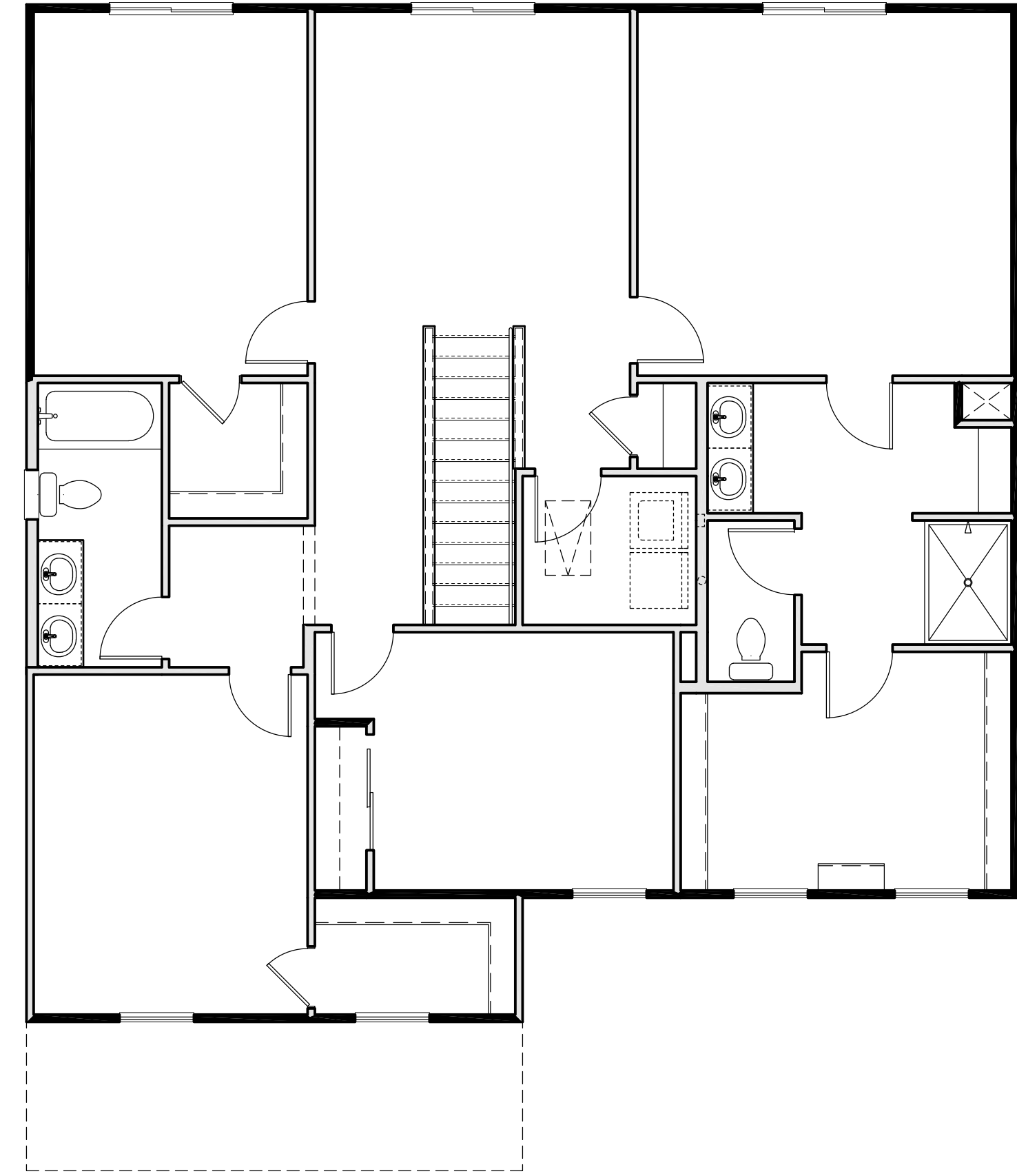
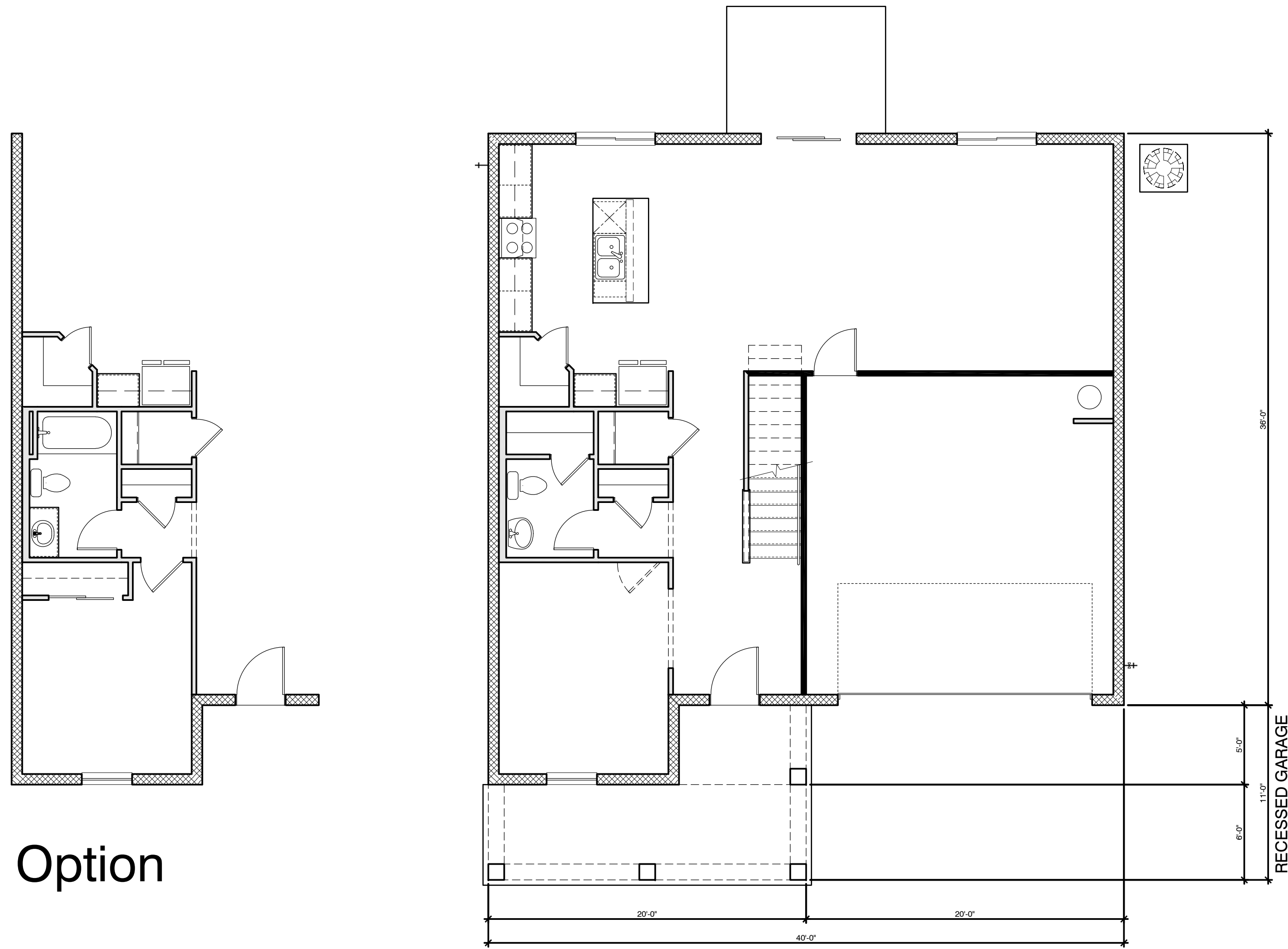
Elevation B



Elevation C



Meritage Homes 4R60 (Formerly Marigold)



4R60 2,585 S.F.

Meritage Homes 4R60 (Formerly Marigold)



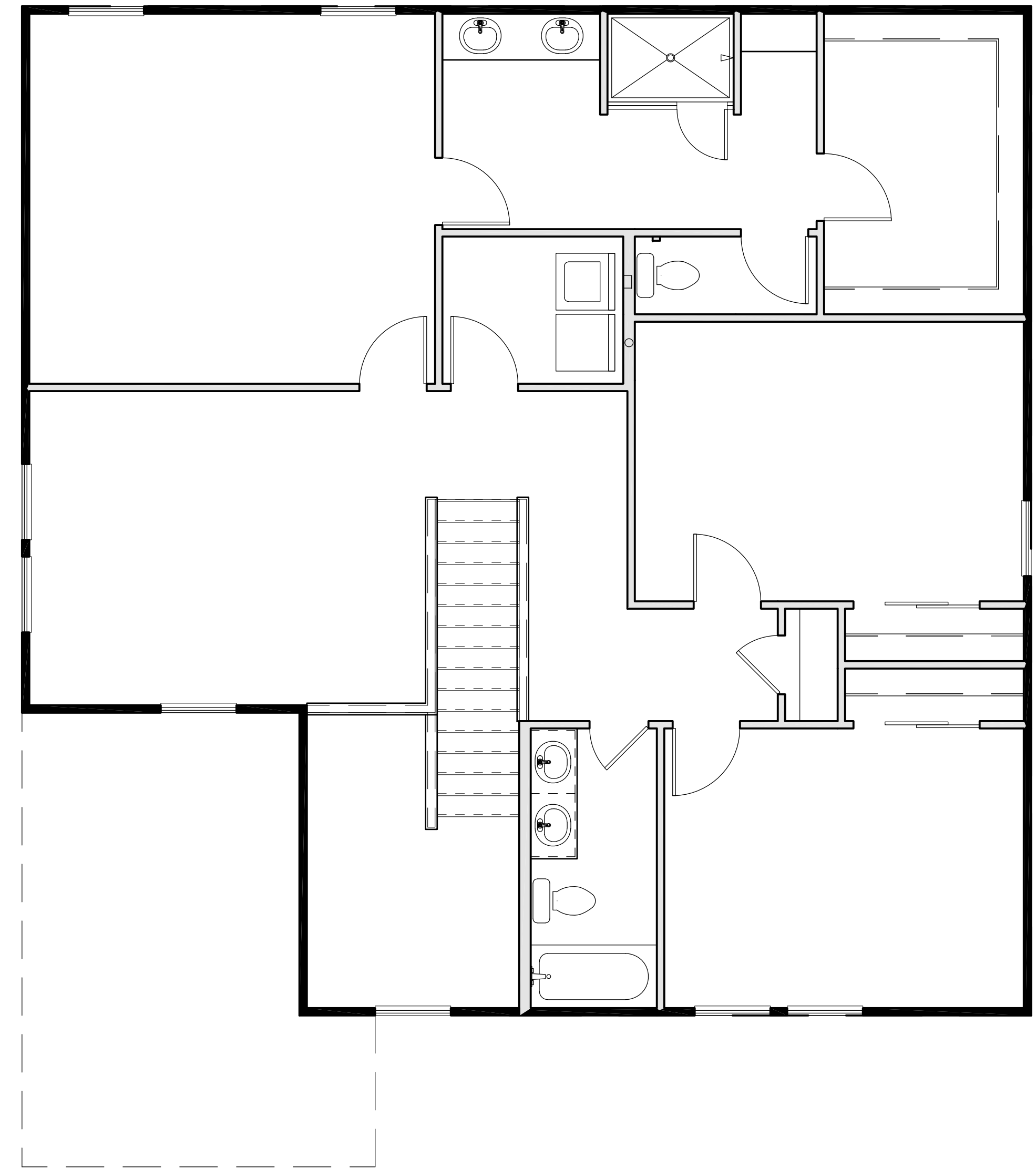
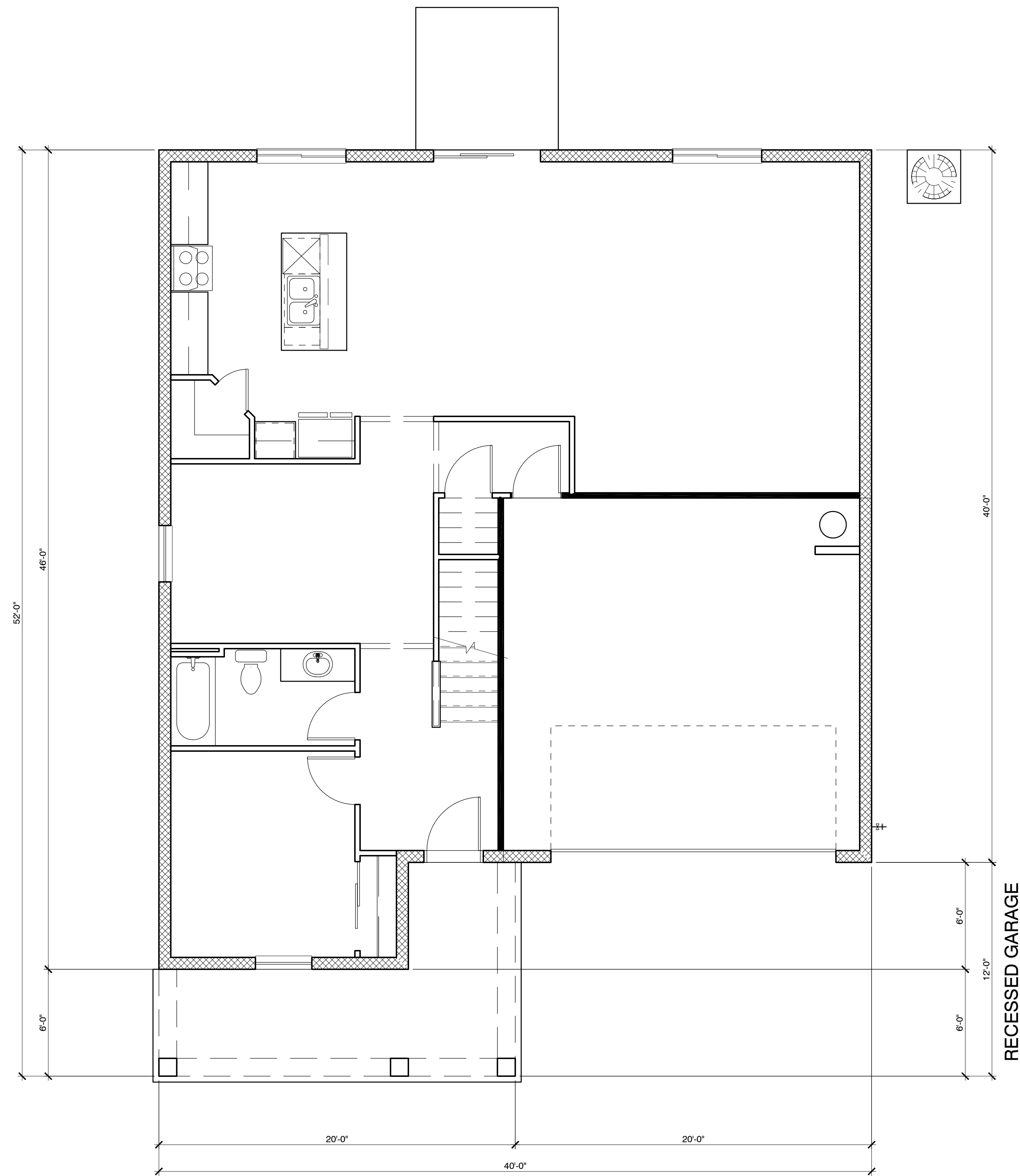
Elevation B



Elevation C



4R70 (Formerly Primrose)



4R70 (Formerly Primose) - 2,596 s.f.

4.06.00 ARCHITECTURAL PLAN REQUIREMENTS

4.06.01 *Purpose and Intent*

- A. Architectural requirements are an integral part of the LDC in order to ensure quality development, create a sense of place and community, and to enhance the physical environment. All architectural plans submitted under this Chapter must be signed and sealed by a licensed architect registered in the State of Florida.
- B. These standards are intended to:
 1. Encourage a diversity in housing styles, shapes, and materials in order to create variety in the streetscape,
 2. Encourage richness in design through materials and details,
 3. Maximize the positive impact of development,
 4. Ensure that non-residential building facades are designed to a human scale, for esthetic appeal, pedestrian comfort, and compatibility with adjacent development,
 5. Ensure that larger non-residential buildings are designed to reduce their apparent bulk and volume through design and landscaping,
 6. Encourage sustainable architecture.

4.06.02 *Residential Developments*

~~In order~~ To promote architectural character ~~to the fullest extent allowed by Florida law,~~ the Town shall require new housing developments to offer a variety of architectural styles and elevations. These regulations promote both diversity in the exterior elevations of neighboring homes, as well as individual character in the design of each residence.

- C. For new single-family residential developments or infill single family development with six (6) or more adjacent lots:
 1. The same house model may not be used more than ~~three~~ ~~two~~ times within a single block face. For purposes of this requirement, a different house model is a different floor plan, not the same floor plan flipped in a different direction and not the same floor plan with a different exterior treatment. When ~~less~~ ~~fewer~~ than ten (10%) percent of the lots in a subdivision remain to be developed, the Planning Board may approve a home design to be used ~~more than~~ three times within a single block face. This option is intended to provide some flexibility in finishing the subdivision development while maintaining diversity in building design. (DM)
 2. Front porches shall be a required component on at least one quarter of the house models offered in a development. These porches shall be at least 6 feet deep and 10 feet wide.
 - a. ~~Front porches may encroach into the front setback up to five (5) feet in Single Family Residential and Medium Density Residential developments.~~

Front porches may be screened, provided that the screen is located behind the railings.

3. Recessed garages or side entry garages shall be a required component on at least one quarter of the house models offered in a development. To be considered recessed, the garage shall be set back a minimum of ten (10) feet from the main building face, or five (5) feet if the house has a front porch.
- D. For all new residential development
1. Residential building walls shall be wood clapboard, wood shingle, wood drop siding, Hardie board siding, brick, stone, stucco, approved vinyl siding, or similar material.
 2. Residential roofs shall be wood, synthetic, or fiberglass shingles, solar shingles, tile or metal. Eaves are an important component of the roof design; they not only provide architectural character, but they help to protect building walls and reduce cooling costs.
 3. Fencing or decorative walls in residential front yards shall be a maximum of three (3) feet tall. Fencing in side and rear yards shall be a maximum of six (6) feet tall. Fences shall be wood, vinyl, wrought iron, or aluminum that is designed to resemble wrought iron. The architectural style and color of walls shall match the primary dwelling unit. Fences shall be erected so that the finished side is towards adjacent lots or the public right-of-way. Chain link fencing is permitted along the sides and rear lot lines of residential lots that back up to either a lake or wetland. Residential development in Agricultural and Rural Estates zoning districts may also propose special purpose fencing in conjunction with farm animals and horses.
 4. Perimeter fences or walls are permitted around a residential development up to a maximum of six (6) feet, provided that the fence and/or wall has architectural features compatible with the neighborhood. Fences and walls shall also include details such as banding, capping, columns (which may be up to 8 feet tall), and other elements to add interest. To enhance design, perimeter fences and walls are required to incorporate landscaping with breaks in the fence or wall (or change in direction). Perimeter fences shall be vinyl, wrought iron, or aluminum that is designed to resemble wrought iron. Perimeter walls shall be faced with stucco, brick, or stone or a combination of those materials.

4.06.03 *Single Family Residential Development* *Architectural Plans*

To the extent not prohibited by law, at the time of Final Plan submittal (or at building permit for infill development), the applicant shall submit a complete set of the residential design plans. This shall include the front, side, and rear elevations for each model that will be constructed within the development. The building elevations shall include the following:

- A. Roof plan: Residential homes shall have variations in roof lines and use dormers, wide eaves, and other architectural elements to add interest and sustainability.
- B. Wall materials and color options: See Section 4.06.02(B)(1) above for material options. Walls cannot be all one material and/or all one color. Primary facades shall have one base color and a minimum of one complementary accent color. A complementary wall material may be used to meet the second color requirement.

- C. Exterior architectural details: Each home shall incorporate architectural details to add interest to all sides of the building. **To the extent not prohibited by law,** primary facades shall incorporate a minimum of four architectural details and secondary facades shall incorporate a minimum of two architectural details. These include, but are not limited to:
1. Windows
 2. Shutters
 3. Porches
 4. Decorative elements
 5. Doors
 6. Columns
 7. Window boxes
 8. Porticos
 9. Cupolas
 10. Chimneys
 11. Enhanced landscape treatment which provides for one additional planting area with a minimum size of 400 square feet
 12. Other elements approved by the Town