



Town Council Meeting
November 13, 2023 at 6:00 PM
Howey-in the-Hills Town Hall 101
N. Palm Ave., Howey-in-the-Hills,
FL 34737

Join Zoom Meeting: <https://us06web.zoom.us/j/88624278428?pwd=tbO7zGVa0mV5gPqD1OzVx4bzTVOJk3.1>
Meeting ID: 886 2427 8428 | **Passcode:** 748617

AGENDA

Call the Town Council Meeting to order
Pledge of Allegiance to the Flag
Invocation by Councilor Reneé Lannamañ

ROLL CALL

Acknowledgement of Quorum

AGENDA APPROVAL/REVIEW

CONSENT AGENDA

Routine items are placed on the Consent Agenda to expedite the meeting. If Town Council/Staff wish to discuss any item, the procedure is as follows: (1) Pull the item(s) from the Consent Agenda; (2) Vote on the remaining item(s); and (3) Discuss each pulled item and vote.

- 1.** The approval of the minutes and ratification and confirmation of all Town Council actions at the October 23, 2023 Town Council Meeting.
- 2.** The approval of the minutes and ratification and confirmation of all Town Council actions at the October 30, 2023 Town Hall Meeting.

PUBLIC HEARING

- 3.** Consideration and Approval: (Second Reading) **Ordinance 2023-012 - Land Development Code (LDC) Omnibus**

AN ORDINANCE OF THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA, PERTAINING TO LAND USE; AMENDING SECTIONS OF THE TOWN'S LAND DEVELOPMENT CODE AS FOLLOWS: AMENDING SECTION 5.02.06 TO SPECIFY THE MINIMUM SETBACK FROM PROPERTY LINES FOR FLAGPOLES; AMENDING SECTION 2.03.03 TO REQUIRE TWO-CAR GARAGES FOR TOWNHOMES AND TO SPECIFY THE MINIMUM SQUARE FOOTAGE OF THE GARAGE AND THE MINIMUM LENGTH AND WIDTH OF THE RELATED DRIVEWAY; AMENDING SECTION 5.02.06 TO SPECIFY THE TIME PERIOD FOR TEMPORARY PERMITS FOR MOVABLE MODULE STORAGE UNITS; AMENDING SECTION 7.09.02 PERTAINING TO TREE PRUNING; AMENDING SECTION 7.10.00 AND ITS LIST OF APPROVED TREES AND PLANTS; AMENDING SECTION 7.10.01 TO ADD AN

ITEM TO THE PROHIBITED PLANT LIST; AMENDING SECTION 7.11.01 REGARDING TREE PROTECTION; AMENDING SECTION 7.08.01 REGARDING LANDSCAPING REQUIREMENTS; ENACTING NEW SECTION 5.01.10 TO DEFINE “WORKSHOPS;” ENACTING NEW SECTION 7.04.04 TO IMPOSE CERTAIN REQUIREMENTS AT STREET INTERSECTIONS TO PRESERVE VISIBILITY FOR MOTORISTS; AMENDING SECTION 1.12.00 TO ENACT A NEW DEFINITION AND TO MODIFY CERTAIN EXISTING DEFINITIONS; AMENDING SECTION 7.12.01 REGARDING REQUIREMENTS FOR TREE REMOVAL; ENACTING NEW SUBSECTIONS 8.05.02.L AND 8.05.04.F REGARDING POTABLE AND RECLAIMED WATER SYSTEMS; ESTIMATING THE ECONOMIC IMPACT OF THE ORDINANCE ON PRIVATE BUSINESSES; PROVIDING FOR SEVERABILITY, CODIFICATION, AND AN EFFECTIVE DATE.

- Mayor MacFarlane will read the Ordinance title.
- Town Planner will explain Ordinance 2023-012.
- Mayor MacFarlane will open Public Comment and Questions for this item only.
- Mayor MacFarlane will close Public Comment.
- Motion to approve Ordinance 2023-012
- Council Discussion
- Roll Call Vote

OLD BUSINESS

- 4.** Consideration and Approval: **Final Subdivision Plans - Hillside Groves**

NEW BUSINESS

- 5.** Presentation: **Groveland Wastewater Connection**
- 6.** Consideration and Approval: **Resolution 2023-012 - Dispatch Service**
- 7.** Consideration and Approval: **Speaker Form / Public Comment Structure**

DEPARTMENT REPORTS

- 8.** Town Hall
- 9.** Police Department
- 10.** Code Enforcement
- 11.** Public Works
- 12.** Library
- 13.** Parks & Recreation Advisory Board / Special Events
- 14.** Town Attorney
- 15.** Finance Supervisor
- 16.** Town Manager

COUNCIL MEMBER REPORTS

- 17.** Mayor Pro Tem Gallelli

- 18. Councilor Lehning
- 19. Councilor Miles
- 20. Councilor Lannamañ
- 21. Mayor MacFarlane

PUBLIC COMMENTS

Any person wishing to address the Mayor and Town Council and who is not on the agenda is asked to speak their name and address. Three (3) minutes is allocated per speaker.

ADJOURNMENT

To Comply with Title II of the Americans with Disabilities Act (ADA):

Qualified individuals may get assistance through the Florida Relay Service by dialing 7-1-1. Florida Relay is a service provided to residents in the State of Florida who are Deaf, Hard of Hearing, Deaf/Blind, or Speech Disabled that connects them to standard (voice) telephone users. They utilize a wide array of technologies, such as Text Telephone (TTYs) and ASCII, Voice Carry-Over (VCO), Speech to Speech (STS), Relay Conference Captioning (RCC), CapTel, Voice, Hearing Carry-Over (HCO), Video Assisted Speech to Speech (VA-STTS) and Enhanced Speech to Speech.

Howey Town Hall is inviting you to a scheduled Zoom meeting.

Topic: **Town Council Meeting**

Time: **Nov 13, 2023 06:00 PM Eastern Time (US and Canada)**

Join Zoom Meeting

<https://us06web.zoom.us/j/88624278428?pwd=tbO7zGVa0mV5gPqD1OzVx4bzTVOJk3.1>

Meeting ID: 886 2427 8428

Passcode: 748617

Dial by your location

+1 646 558 8656 US (New York)

+1 346 248 7799 US (Houston)

Meeting ID: 886 2427 8428

Passcode: 748617

Find your local number: <https://us06web.zoom.us/u/kAcJ3ci2R>

Please Note: In accordance with F.S. 286.0105: Any person who desires to appeal any decision or recommendation at this meeting will need a record of the proceedings, and that for such purposes may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is based. The Town of Howey-in-the-Hills does not prepare or provide this verbatim record. Note: In accordance with the F.S. 286.26: Persons with disabilities needing assistance to participate in any of these proceedings should contact Town Hall, 101 N. Palm Avenue, Howey-in-the-Hills, FL 34737, (352) 324-2290 at least 48 business hours in advance of the meeting.



Town Council Meeting
October 23, 2023 at 6:00 PM
Howey-in the-Hills Town Hall
101 N. Palm Ave.,
Howey-in-the-Hills, FL 34737

MINUTES

Mayor MacFarlane called the Town Council Meeting to order at 6:00 p.m. Mayor MacFarlane led the attendees in the Pledge of Allegiance to the Flag. Councilor Reneé Lannamañ delivered an invocation.

ROLL CALL

Acknowledgement of Quorum

MEMBERS PRESENT:

Councilor Reneé Lannamañ | Councilor David Miles | Councilor George Lehning | Mayor Pro Tem Marie V. Gallelli | Mayor Martha MacFarlane

STAFF PRESENT:

Sean O’Keefe, Town Manager | George Brown, Police Lieutenant | Tom Wilkes, Town Attorney | Tom Harowski, Town Planner | Morgan Cates, Public Works Director

AGENDA APPROVAL/REVIEW

Motion made by Councilor Lannamañ to approve the meeting’s agenda with the exception of pulling Item #7 (Police Chief Leave) from the agenda; seconded by Mayor Pro Tem Gallelli. Motion approved unanimously by voice vote.

Voting

Yea: Councilor Lannamañ, Councilor Miles, Councilor Lehning, Mayor Pro Tem Gallelli, Mayor MacFarlane

Nay: None

CONSENT AGENDA

Routine items are placed on the Consent Agenda to expedite the meeting. If Town Council/Staff wish to discuss any item, the procedure is as follows: (1) Pull the item(s) from the Consent Agenda; (2) Vote on the remaining item(s); and (3) Discuss each pulled item and vote.

1. The approval of the minutes and ratification and confirmation of all Town Council actions at the October 09, 2023 Town Council Meeting.
2. The approval of the minutes and ratification and confirmation of all Town Council actions at the September 26, 2023 Town Council Workshop.

Motion made by Councilor Lannamañ to approve the items in the Consent Agenda; seconded by Councilor Miles. Motion approved unanimously by voice vote.

Voting

Yea: Councilor Lannamañ, Councilor Miles, Councilor Lehning, Mayor Pro Tem Gallelli, Mayor MacFarlane

Nay: None

PUBLIC HEARING

None

OLD BUSINESS

None

NEW BUSINESS

3. Consideration and Approval: **Final Subdivision Plans - Hillside Groves**

Mayor MacFarlane asked Town Planner, Tom Harowski, to introduce and explain this item. Mr. Harowski reviewed his staff report with the Town Council.

Councilor Miles made a motion to continue this item to the next meeting; this motion was seconded by Councilor Lehning.

Councilor Miles stated that he had experienced issues with opening and reviewing the items in the packet for this agenda item due to the items being too large. Also, Councilor Miles had requested printouts of the pages for the plans, but the printed-out pages were too small to see. Councilor Miles also referenced 8 questions that he had brought up during a DRC meeting.

Councilor Lehning stated that he believed that the packet for this meeting was sent to him too late for his review.

Mayor MacFarlane asked the representatives for the applicant to come forward and speak on behalf of the applicant and respond to Councilor Miles' submitted questions. Bill Ray (from Ray and Associates Planning and Environmental Services), a representative from the project's traffic consultant company, and Justin Williams (from Connelly & Wicker Inc).

The eight items that Councilor Miles wanted addressed by the applicant were:

1. Need to address improvements to Number Two Road to the west of the entrance to road A.
2. The road A collector road is over 8/10 of a mile long and plans have only 16 streetlights (8 on each side of the road). Councilor Miles would like to see this doubled to 32 streetlights.
3. There is no entrance sign to the development off of Number Two Road.
4. Along much of Road A there is no irrigation provided, with Bahia grass being used. Councilor Miles thinks it needs to be irrigated.
5. The L403 tract P had a pump station buffered only with landscaping. Councilor Miles stated that he wants it to have a 6-foot-high chain link fence (black or green coated) surrounding it.
6. Unnamed amenity on tract R, Councilor Miles would like to know what this is.
7. On the Property's northwest corner is a townhouse tract, with more than 50 units. Councilor Miles would like a second ingress/egress point that is not an emergency entrance.
8. At the south junction of Road A the commercial area is only showing 3 lanes and it should have two north and two south bound lanes (as shown the last time this item came before the Town Council).

Mr. Ray gave a history of the of the Hillside Groves (the Reserve) project, which had been in the works since 2005. Mr. Ray reminded the Town Council that the project had staff recommendation for approval from the DRC, and Planning and Zoning Board's recommendation for approval. Mr. Ray stated that the applicants would need to know what specific evidentiary criteria the Town Council was using to contradict what the Town's Professional Staff and Planning and Zoning Board had determined was in compliance with the Town's regulations, if the Town Council was denying the submittal.

Councilor Miles stated that he felt threatened by Mr. Ray's statement and felt that it was inappropriate.

In reference to Councilor Miles' item #1, Mr. Williams stated that the project does have a turn lane coming in the development from the west and the east on Number Two Road. Councilor Miles stated he thought this item had been answered appropriately.

In reference to Councilor Miles' item #2, Mr. Williams stated that there were 18, not 16, streetlights in the plans and that they were spaced appropriately. Mr. Williams further stated that the street lighting will be designed by Duke Energy, which takes into consideration ADA codes, and other codes and standards when they design the lighting; and the lighting will be built to those specifications. Councilor Miles asked if Duke Energy came back after their design phase and stated that 24 streetlights were necessary, would the developer then install them. Mr. Williams stated that they would follow what Duke Energy designed. Councilor Miles stated that he thought that they had answered this question appropriately.

In reference to Councilor Miles' item #3, Councilor Miles stated that any signs would have to follow the Town's sign codes. Mr. Williams stated that everything they do would follow the Town's Codes and there would be items that would be built or permitted later, and they would follow the code.

In reference to Councilor Miles' item #4, Mr. Williams stated that all of the grass along Road A was designed to be irrigated. Councilor Miles stated that this answer was appropriate.

In reference to Councilor Miles' item #5, Mr. Williams stated that the pumping station would have a standard detail with a fence. Councilor Miles stated that this item was answered appropriately.

In reference to Councilor Miles' item #6, Mr. Williams stated that the details for this amenity in question had not yet been determined. Mr. Harowski stated that when the details for this amenity were submitted, that there would be a Site Plan review that would come through the Town Council for review.

Councilor Lehning asked why the Town Council could not get a scope of work for the amenity on Tract R now. Mr. Ray stated that the details of the Amenity Center have not been determined at this point and would be submitted during the Site Plan phase. Councilor Miles stated that he was not happy with this answer.

In reference to Councilor Miles' item #7, Mr. Williams stated that based on the number of units, the developer will have to construct another entrance and that the developer will follow the code requirements for that entrance. Mr. Williams stated that this would come in an upcoming phase submittal. Mr. Williams stated that this entrance has not yet been submitted to the County.

In reference to Councilor Miles' item #8, the projects traffic consultant stated that the developer would follow the directions of FDOT. The developer's traffic consultant stated that the FDOT would have to approve a traffic light. Mr. Williams stated that two different FDOT reviews had stated that a two-lane entrance to the development, off of SR 19, would not be allowed. Councilor Miles stated that he was not happy with this answer.

Mayor MacFarlane asked if the project development team had asked FDOT about a traffic light at the SR 19 intersection to the development. The developer's traffic consultant stated that the FDOT would have to approve a traffic light.

Mayor Pro Tem Gallelli asked how long traffic studies were good for.

Councilor Lehning asked if there was a sunset clause in the agreement for this development. Mr. Wilkes stated that he didn't think there was.

Mayor MacFarlane stated that her biggest concern about this project was the traffic.

Mayor MacFarlane opened Public Comment for this item.

Eric Gunesch, 448 Avila Pl. – Mr. Gunesch believes the approval of these final subdivision plans should be postponed. Mr. Gunesch stated that he thought irrigation plans were inadequate and he was upset that they could use well water for irrigation. He was also concerned about traffic.

Sandy Russ, 6183 Lake View Dr, Yalaha, Fl. – Ms. Russ was concerned about the amount of development there was around the Town and that she thought the traffic study was inadequate. Ms. Russ also questioned where the commercial component would be for this project.

Tim Everline, 1012 N. Lakeshore Blvd. – Mr. Everline wants this project to be postponed and that the traffic study should be re-evaluated.

Frances O'Keefe Wagler, 409 W Central Ave. – Mrs. Wagler wanted to know how much traffic would be necessary prior to a traffic light being required.

Frank Martinez, 10400 Woodland Hills Ct., Howey-in-the-Hills (unincorporated Lake County) – Mr. Martinez was concerned about the high density within this project and the amount of traffic that would be brought into the area with this development.

Brittany Lerch, 25926 Bloomfield Ave., Howey-in-the-Hills (unincorporated Lake County) – Mrs. Lerch believes that this project should be postponed and that she feels this project would cause a public safety issue.

Mayor MacFarlane closed Public Comment for this item.

Mr. Ray asked to be able to respond to the comments from the public. Mr. Ray stated that no potable water would be used for irrigation, that they would use irrigation wells for that purpose. Mr. Ray also stated that the Town had required them to create the spine road connecting SR 19 to Number Two Road. Mr. Ray also stated that there was 300,000 square feet of neighborhood commercial area at the front of the project.

Councilor Lehning stated that he thought the meeting's packet was sent out too late and that was why he wanted this item continued to the next meeting.

Motion made by Councilor Miles to continue this item to the next meeting; seconded by Councilor Lehning. Motion was approved by a roll-call vote.

Voting

Yea: Councilor Miles, Councilor Lehning, Mayor Pro Tem Gallelli

Nay: Councilor Lannamañ, Mayor MacFarlane

There was a request from Town Councilors for a paper copy of the of the Final Subdivision Plans to be made available in Town Hall for their review before the next meeting.

4. Consideration and Approval: (First Reading) **Ordinance 2023-012 - Land Development Code (LDC) Omnibus**

Martha MacFarlane, Mayor, read Ordinance 2023-012 out loud by title only:

AN ORDINANCE OF THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA, PERTAINING TO LAND USE; AMENDING SECTIONS OF THE TOWN’S LAND DEVELOPMENT CODE AS FOLLOWS: AMENDING SECTION 5.02.06 TO SPECIFY THE MINIMUM SETBACK FROM PROPERTY LINES FOR FLAGPOLES; AMENDING SECTION 2.03.03 TO REQUIRE TWO-CAR GARAGES FOR TOWNHOMES AND TO SPECIFY THE MINIMUM SQUARE FOOTAGE OF THE GARAGE AND THE MINIMUM LENGTH AND WIDTH OF THE RELATED DRIVEWAY; AMENDING SECTION 5.02.06 TO SPECIFY THE TIME PERIOD FOR TEMPORARY PERMITS FOR MOVABLE MODULE STORAGE UNITS; AMENDING SECTION 7.09.02 PERTAINING TO TREE PRUNING; AMENDING SECTION 7.10.00 AND ITS LIST OF APPROVED TREES AND PLANTS; AMENDING SECTION 7.10.01 TO ADD AN ITEM TO THE PROHIBITED PLANT LIST; AMENDING SECTION 7.11.01 REGARDING TREE PROTECTION; AMENDING SECTION 7.08.01 REGARDING LANDSCAPING REQUIREMENTS; ENACTING NEW SECTION 5.01.10 TO DEFINE “WORKSHOPS;” ENACTING NEW SECTION 7.04.04 TO IMPOSE CERTAIN REQUIREMENTS AT STREET INTERSECTIONS TO PRESERVE VISIBILITY FOR MOTORISTS; AMENDING SECTION 1.12.00 TO ENACT A NEW DEFINITION AND TO MODIFY CERTAIN EXISTING DEFINITIONS; AMENDING SECTION 7.12.01 REGARDING REQUIREMENTS FOR TREE REMOVAL; ENACTING NEW SUBSECTIONS 8.05.02.L AND 8.05.04.F REGARDING POTABLE AND RECLAIMED WATER SYSTEMS; ESTIMATING THE ECONOMIC IMPACT OF THE ORDINANCE ON PRIVATE BUSINESSES; PROVIDING FOR SEVERABILITY, CODIFICATION, AND AN EFFECTIVE DATE.

Mayor MacFarlane asked Town Planner, Tom Harowski to introduce this item. Mr. Harowski stated that the requested changes to this Ordinance had been made and were included in the Ordinance.

Mayor MacFarlane opened Public Comment for this item.

Eric Gunesch, 448 Avila Pl. – Mr. Gunesch stated that he wanted townhome garages to be required to be 500 square feet.

Joshua Husemann, 671 Avila Pl. – Mr. Husemann stated that he felt the trees listed in the Ordinance were too big for the Venezia and Talichet neighborhoods.

Mayor MaFarlane closed public comment for this item.

Councilor Miles stated that he would make a motion to approve this Ordinance with the following four amendments:

1. Line 54 – Maximum building height changed from 2.5 stories to 30 feet.
2. Line 59 – Impervious Surface should be changed from 40% percent to 50%.
3. Line 74 – Minimum Square footage of 1,200 square feet should be changed to 1,500 square feet. **(Mayor MacFarlane, Mayor Pro Tem Gallelli, and Councilor Lannamañ did not agree with this change – it was decided that this would remain 1,200 square feet)**
4. Page 5 line 127 – Remove Laurel from the footnote on the foot note.

Motion made by Councilor Miles approve with the three changes (#1, #2, and #4) that Councilor Miles had requested; Seconded by Councilor Lannamañ. Motion approved unanimously by roll call vote.

Voting

Yea: Councilor Lannamañ, Councilor Miles, Councilor Lehning, Mayor Pro Tem Gallelli, Mayor MacFarlane

Nay: None

5. Consideration and Approval: **Lake-Sumter Metropolitan Planning Organization (MPO) / Florida Department of Transportation (FDOT) Letter in Support of Complete Streets Study**

Mayor MacFarlane asked Town Manager, Sean O’Keefe, to introduce and explain this item. Mr. O’Keefe stated that due to recommendations, rather than asking for a study on a traffic bypass, the Town should write a letter asking for a study on alternative traffic routing. Mr. O’Keefe stated that MPO staff had recommended that the Town ask for the implementation of the complete streets elements of the ongoing proposed projects.

Mayor MacFarlane stated that she would like Mr. O’Keefe to fix the spacings in the letter.

Councilor Lannamañ stated that she was concerned that bypassing the Town would hurt the Town’s ability to draw in commercial growth into the downtown area.

Mayor MacFarlane opened Public Comment for this item.

Tim Everline, 1012 N. Lakeshore Blvd. – Mr. Everline stated that he thinks the Town needs a bypass.

Joshua Husemann, 671 Avila Pl. – Mr. Husemann stated that he thought a bypass would make sense.

Frank Martinez, 10400 Woodland Hills Ct., Howey-in-the-Hills (unincorporated Lake County) – Mr. Martinez stated that he did not want any more development.

Mayor MacFarlane closed Public Comment for this item.

Motion made by Councilor Miles to support the letter as written; seconded by Councilor Lehning. Motion approved unanimously by roll-call vote.

Voting

Yea: Councilor Lannamañ, Councilor Miles, Councilor Lehning, Mayor Pro Tem Gallelli, Mayor MacFarlane

Nay: None

6. Discussion: **Lake County Sherriff Office (LCSO) Dispatch Agreement**

Tom Wilkes, Town Attorney, stated that he wanted to give the Council an update on the current situation with the Dispatch Agreement. Mr. Wilkes stated that he would be asking the Town Council to sign a joint letter, with 4 other municipalities, asking the Lake County Board of County Commissioners to address this situation and for the Town Council to pass a Resolution on this issue.

Mayor MacFarlane stated that she would like to know the City of Mount Dora’s stance on this issue and if they would be participating.

Mayor MacFarlane opened Public Comment for this item only. Seeing no public comment, Mayor MacFarlane closed Public Comment for this item.

7. Discussion: **Police Chief Leave (THIS ITEM WAS PULLED FROM THE MEETING'S AGENDA DURING AGENDA APPROVAL AT THE BEGINNING OF THIS MEETING)**

DEPARTMENT REPORTS

8. Town Manager

Sean O'Keefe, Town Manager, explained that the Town Clerk was absent from the meeting due to attending the 2023 Florida Association of City Clerk's Fall Conference. Mr. O'Keefe also announced what jobs the Town was currently recruiting for.

Mr. O'Keefe announced upcoming meetings and events, including a Town Council's joint workshop with the Planning and Zoning Board on November 1, 2023. It was decided that this meeting should not have been set up as a joint workshop, but that it should just be a Town Council workshop and that the Planning and Zoning Board could attend as members of the public.

COUNCIL MEMBER REPORTS

9. Mayor Pro Tem Gallelli

Mayor Pro Tem Gallelli announced the Police Department's participation in the DEA Prescription Drug Take Back Event on October 28, 2023, from 10am to 2pm.

Mayor Pro Tem Gallelli also asked Town Councilors to be polite to each other.

10. Councilor Lehning

Councilor Lehning asked the Police Department for an update on what actions they had taken in relation to the recent string of car break-ins.

11. Councilor Miles

Councilor Miles stated that he has asked the Town Manager to put him on an agenda in one of the November meetings to go over Wastewater updates.

Councilor Miles asked the Public Works Director, Morgan Cates, for an update on the status of the Right-of-Way for Citrus Ave. Mr. Cates stated that they were going to be having a meeting soon with property owner Mrs. Brock.

Councilor Miles asked for an update on the Stormwater Grant. Mr. Cates stated that the Town was waiting on a permit.

Councilor Miles asked for an update on the Lift Station Grant. Mr. Cates stated that FDEM was currently evaluating the submitted grants.

12. Councilor Lannamañ

Councilor Lannamañ asked about the engagement letter to De La Parte and Town's CUP Status. Mr. O'Keefe stated that he believed that the St. John River Water Management District was softening on its CUP status with the Town, but that negotiations were still ongoing. Councilor Lannamañ asked when

the Town might expect a final answer. Mr. O’Keefe stated that he would ask Sara Whitaker when she thought the Town would receive a final answer.

Councilor Lannamañ appealed to Town Councilors and Town Staff to improve their levels of professionalism.

Councilor Lannamañ announced the grand opening of the Nolo Health Clinic in the Lakes Square Mall. This clinic was owned by Town residents that resided in the Venezia Subdivision.

13. Mayor MacFarlane

Mayor MacFarlane stated that during a prior meeting she had stated that she believed that the Town Manager should only be delivering facts to the Town Council, not recommendations. Mayor MacFarlane stated that she had discovered in the Town’s charter it states that the Town Manager should make recommendations to the Town Council that the Town Manger believed were necessary or useful.

Mayor MacFarlane asked the Town Attorney to research and report back to the Town Council about how the Town Council can have a Meeting in the Shade to discuss the Town Manager and his management of the Police Chief. Tom Wilkes, Town Attorney, stated that he would need more information and facts first. Mr. Wilkes stated that he would be conferring with attorney Deborah Lafleur about this topic. Mayor MacFarlane asked if this process, of getting more information, would include interviewing the Town Manager and Police Chief. Mr. Wilkes stated that it would.

Councilor Miles stated that the Town Council had two employees that reported to them, the Town Manager and the Town Attorney, and that this was an issue between the Town Manager and one of his employees. Councilor Miles stated that he did not believe that the Town Council should get involved at this point. Mayor MacFarlane and Councilor Lannamañ disagreed.

Councilor Lehning asked if the Town Manger had requested assistance with this issue. Mr. O’Keefe stated that he has been in communication with the Town Attorney. Councilor Lehning asked the Town Manager if he thought this issue was out of hand and if he needed the Council to step in. Mr. O’Keefe stated that he did not, that he thought everyone was professional and that he believed the issues could be worked out. Mayor MacFarlane and Councilor Lannamañ disagreed with Mr. O’Keefe’s assessment.

Mayor MacFarlane stated that she wanted a determination of appropriateness of the inference in police action and the management of police action according to law.

Mr. Wilkes stated that he would come back to the Town Council with a recommendation of where to go from here.

Councilor Lannamañ asked Mr. Wilkes to speak about the Sunshine Law, and how in a previous meeting it was alleged that she had violated the Sunshine Law. Mr. Wilkes stated that he did not believe that Councilor Lannamañ had violated the Sunshine Law. Mr. Wilkes stated that Council members can exercise their First Amendment rights and that it is ok to state a position in an email that goes to another Council member; but that the other Council member cannot reply to that email. Mr. Wilkes stated, that to be on the safe side, Councilors should not email other.

PUBLIC COMMENTS

Any person wishing to address the Mayor and Town Council and who is not on the agenda is asked to speak their name and address. Three (3) minutes is allocated per speaker.

Brittany Lerch, 25926 Bloomfield Ave., Howey-in-the-Hills (unincorporated Lake County) – Mrs. Lerch thinks the traffic study for Hillside Grove is inadequate and urges the Town Council to educate themselves on Number Two Road.

Banks Helfrich, 9100 Sams Lake Rd., Clermont Fl. – Mr. Helfrich spoke about the theme of community.

Frances O’Keefe Wagler, 409 W Central Ave. – Mrs. Wagler wanted the Town to congratulate the Mission Inn on receiving a historic preservation award.

Suong Miles, 500 E Camelia Way – Mrs. Miles wanted to know why item #7 was removed from the meeting’s agenda. Mrs. Miles stated that she believes the Town needs to work together better.

ADJOURNMENT

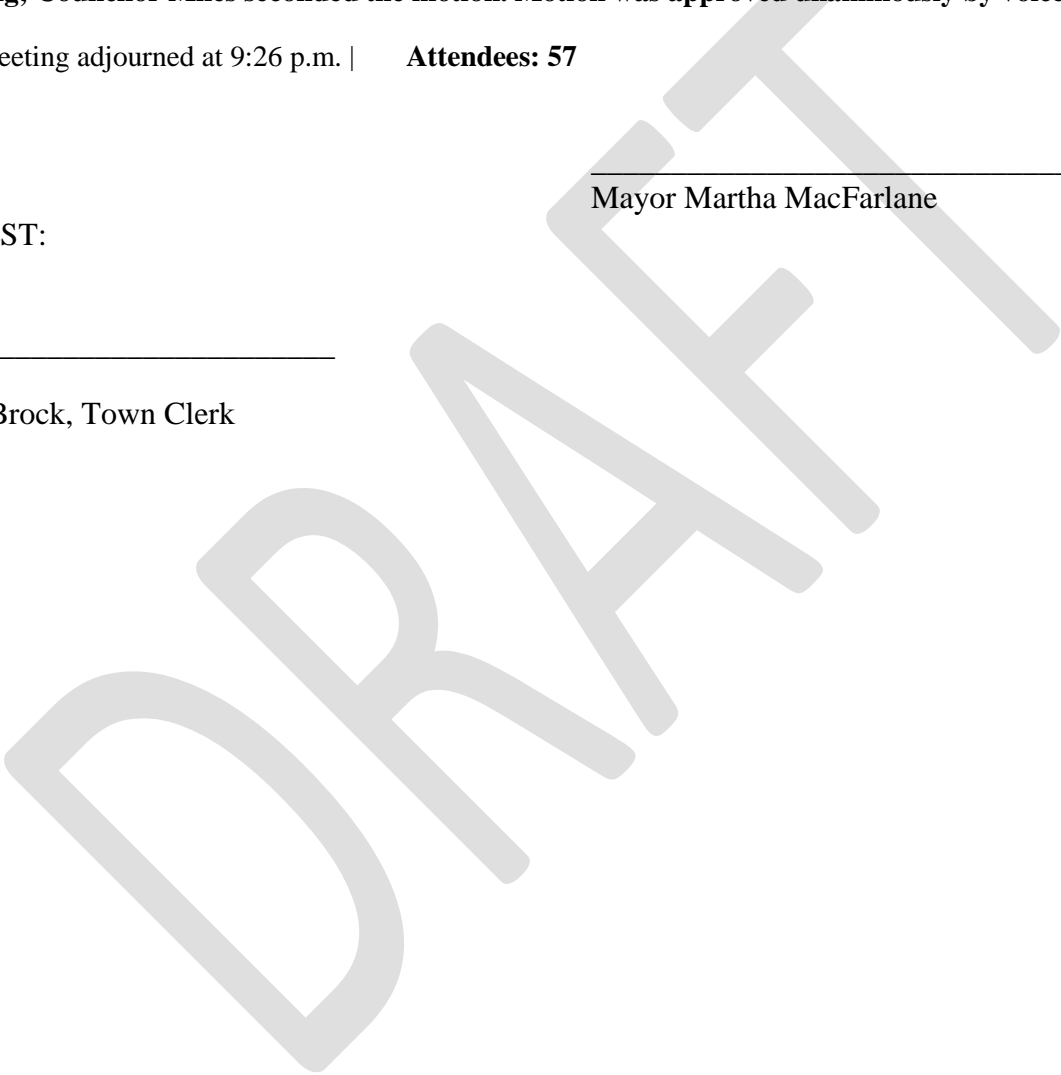
There being no further business to discuss, a motion was made by Mayor Pro Tem Gallelli to adjourn the meeting; Councilor Miles seconded the motion. Motion was approved unanimously by voice vote.

The Meeting adjourned at 9:26 p.m. | **Attendees: 57**

Mayor Martha MacFarlane

ATTEST:

John Brock, Town Clerk





Town Hall Meeting
October 30, 2023 at 6:00 PM
Marianne Beck Memorial Library -
112 W. Central Ave.,
Howey-in-the-Hills, FL 34737

MINUTES

Call the Town Council Meeting to order
 Pledge of Allegiance to the Flag
 Invocation by Councilor Reneé Lannamañ

ROLL CALL

Acknowledgement of Quorum

MEMBERS PRESENT:

Councilor Reneé Lannamañ | Councilor David Miles | Councilor George Lehning | Mayor Pro Tem Marie V. Gallelli | Mayor Martha MacFarlane

STAFF PRESENT:

Sean O’Keefe, Town Manager | John Brock, Town Clerk

NEW BUSINESS

Any person wishing to address the Mayor and Town Council and who is not on the agenda is asked to fill out a Speaker Form and speak their name and address. Five (5) minutes is allocated per speaker at this meeting.

1. Topic: **What would you like to see accomplished or not done in fiscal year 2024-2025?**
2. Topic: **Development to a Town is key to its sustainability; what is your definition of “sustainability”?**
3. Topic: **Do you think the Town should move forward with building a wastewater plant to be maintained and operated by the Town of Howey-in-the-Hills?**
4. Topic: **Name concerns you have regarding sustainability for the Town of Howey-in-the-Hills.**
5. Topic: **Other concerns**

Mayor MacFarlane explained that Councilor Lannamañ had requested the Town Hall meeting to solicit input from the Town’s residents. Councilor Lannamañ discussed the scope of the meeting and the five issues that the Town Council wanted to hear the opinions of the Town’s residents on.

Eric Gunesch, 448 Avila Pl. – Mr. Gunesch stated that he wanted to see more improvement to the Town’s roads and sidewalks, before moving on to other miscellaneous things. Mr. Gunesch wanted to see more responsible uses of the Town’s resources.

Mr. Gunesch stated that that he would like to see the Town own and operate its own Wastewater plant.

Mr. Gunesch stated that he would like to see a Community Center built by the Town for the use of everyone.

Mr. Gunesch was also concerned about the Town getting “strong armed” by developers. He believes they are steering the Town away from its historical vision.

Mr. Gunesch wants the Town to abandon PUDs and the Village Mixed Use (VMU) designation in favor of straight zoning with a 50% or 60% open space requirement.

Peter Tuite, 300 E Croton Way – Mr. Tuite was concerned about the Town’s new Water Treatment Plant. Mr. Tuite did not want the Town to drill to the Lower Floridan Aquifer. Mr. Tuite thinks that these deep wells will do nothing for the Town. Mr. Tuite thinks that these new wells will do nothing for the Town’s current residents.

Mr. Tuite thinks that the Town is too small for its own Wastewater Treatment Plant. He believes that the Town should use Tavares’ treatment plant on the other side of the lake.

Mr. Tuite thinks that the Town should utilize the irrigation wells that are already existing on the Lake Hills and Simpson parcels for the Town’s irrigation needs.

Councilor Miles spoke about drilling to the Lower Floridan Aquifer and that this was a standard practice that was currently being required by the Water Management District of all municipalities in Florida.

Tim Everline, 1012 N Lakeshore Blvd. – Mr. Everline wants the Town’s piers to be repaired and better maintained. Mr. Everline would like the Town to do better job of trimming of weeds down at the shore of Little Like Harris.

Mr. Everline think that infrastructure is important and there should be a greater priority on maintaining the Town’s roads.

Mr. Everline thinks that the Town need more revenue, not more development.

Mr. Everline states that the Town needs to offer sewer to its residents and if the cost of buying/building a sewer treatment plant is close to expanding someone else’s plant, the Town should have its own.

Mr. Everline would like the Town to buy the Lake County School Board’s unused land in Howey-in-the-Hills, that is near the lake. Mr. Everline would like to see a Community Center built on this land with a Town owned marina / kayak launching facility built on the other side of Lakeshore Blvd.

Bud Beucher, Representing the Central Lake CDD – Mr. Beucher stated that the Central Lake CDD wants to assist the Town, but it needs an ironclad contract with rate increases built into it. Mr. Beucher states that the Town could own its own capacity in the Central Lake CDD Wastewater Treatment Plant, it would just need to buy it just like any developer would.

Mr. Beucher stated that he believed it would cost the Town at least \$20 million to build its own Wastewater Treatment Plant.

Councilor Miles asked Mr. Beucher if he would consider selling the Central Lake CDD’s Wastewater Treatment Plant to the Town. Mr. Beucher stated that he would not.

Matthew Pedlar, 414 Amola Way – Mr. Pedlar stated that he would like to see more parks in the Town and greater Commercial presence.

Mr. Pedlar was in favor of the Town controlling its own Water and Wastewater Plants.

Andi Everline, 1012 N. Lakeshore Blvd. – Mrs. Everline was concerned about Library activities and believed that they should occur later in the day, so that more public-school kids can participate. An example of this was the Chess Club, which currently meets at 2 p.m., only home-school kids can participate. Mrs. Everline also stated that the library should organize all their field trips for days that public-school kids have off.

Mrs. Everline would like to see pickleball courts built in the Town.

Ann Griffin, 215 E Laurel Ave. – Mrs. Griffin wants infrastructure to be a higher priority in the Town.

Mrs. Griffin was concerned that the money that had been budgeted for the canceled Oktoberfest, had been spent on a Christmas Tree and a stage; and that this money should have been used on roads.

Mrs. Griffin thinks that the Town should buy equipment to weed the foliage down at the lake shore rather than contract out for this service.

Mrs. Griffin thinks that Bud Beucher cares for the Town.

Sandi Russ, 6813 Lake View Dr., Yalaha Fl. – Mrs. Russ thinks that parking and growth opportunities in the Town are limited. She likes the idea that she heard about buying the Lake County School Board's land.

Mrs. Russ was concerned that about the high taxes in the Town and the amount of proposed development in the Town. Mrs. Russ also was concerned that some of the land that developers owned was not being taxed high enough.

Mrs. Russ thinks that the Town Council should be asking the developers what commercial growth they were targeting.

Mrs. Russ thinks that the Town should sponsor a farmers' market.

Mrs. Russ wants the Town to protect the rural area around Howey.

Mrs. Russ doesn't want development on the southside of the Town but wants a minimum of 1 acre lots there.

Bank Helfrich, 9100 Sams Lake Rd, Clermont Fl. – Mr. Helfrich spoke about sustainability and that he thought the Town of Howey-in-the-Hills was quaint. Mr. Helfrich recommended that that Town participate in the Strong Towns Initiative to improve sustainability.

Mayor MacFarlane read out loud an email that former Mayor Duane Gorgas had submitted to the Town. Former Mayor Gorgas email stated:

To the Council and Town Manager,

These are my comments regarding sustainability for Howey in the future as a resident since 1983. As a councilman for 11 yr. and Mayor for 7 yr., I was involved in the development and final approval of the original Comprehensive Plan. At that time, Howey was a small town of primarily single-family residences, very limited commercial development, and surrounding by miles of rural land consisting of orange groves. The Town's revenue base was ~75% funded by property tax revenue. The water system was old and needed massive improvement, there was no sanitary sewer system available, and there were virtually no development plan requests for land surrounding the Town limits. In the past 10 yr. there have been multiple new residential

developments built with many more currently in the planning stage, a limited sanitary sewer is now available, and the water system has improved significantly but is still in need of further improvement. There is still very little commercial development. The Town revenue continues to be funded primarily from property taxes. With the population increases the need for infrastructure is required. Vision for the future is now influenced more by the approval of new developments than what the current Town residents may or may not want.

When the first Comprehensive Plan was developed, the vision was a primarily single-family residential community with limited commercial development and a Town police force to maintain community safety. Citizen surveys conducted during that time period indicated the residents wanted a smaller family based residential community that was safe with limited commercial development. Is that the current citizen opinion now? That is what the sustainability meeting for citizen input should determine. Once those opinions are known, the Council's job will then be to implement those opinions into actionable plans for future development that meets the citizen's vision for Howey. The vision for the Town IS NOT YOUR personal opinion of what Howey needs but what the current citizens in Howey want. Please remember that each time you make decisions on approval of future developments and future infrastructure improvements.

The key areas that I believe need to be addressed are as follows:

1. Should Howey remain a primarily single-family residential community or should more multiple housing and smaller lot size single family residential units be built to allow more residents to live in Howey?
2. Will community safety in this age of rampant violence in communities of all sizes be maintained by continuing Howey's own police force or should safety be controlled by the Sheriff? What are the benefits of local police vs. county sheriff deputies? Is any financial savings in safety worth the loss of safety for the community?
3. Should Howey encourage increased commercial development that might negatively influence the single-family residential concept? Does Howey want to be another Clermont, Groveland, or Tavares?
4. How will the infrastructure services be improved to serve the new developments being considered for approval. Who will pay for the improvements the new developments or all current Town residents?
5. Traffic improvements will be dramatically affected by new development. Given the geography of the current transportation system in Howey, what will be needed to maintain easily accessible transportation routes in Howey to connect to other communities?

My opinion to each of these are as follows:

1. Howey should remain a primarily single-family residential community with very limited multiple housing development and no reduced lot size single family residential units. Downsizing lot requirements benefits only the developer and places increased demand on infrastructure for all citizens.
2. The Howey Police department should remain in place so the level of safety citizens have now is maintained. Asking the Sheriff to provide this protection will result in LESS safety for citizens because the response time will be longer. Saving money on services is not the way to keep citizens safe. How long is an acceptable response time when you are in danger or injured?
3. Commercial development should be minimal and placed only in areas that do not infringe upon the residential nature of the Town. Howey does not need to be another Clermont or Tavares.
4. Obviously, infrastructure must match the increased demand of new housing/commercial developments. The Town should manage its own sanitary sewer operation just like the Town managed water system. Without management control the Town is at the mercy of whoever owns the sewer system.

5. Traffic improvements MUST include BY PASS construction. Failure to do so will “strangle” all the Town resident’s access to north/south routes. Geography prevents expansion of Palm Ave to accommodate future traffic increases due to future development. As a person who daily walks Palm Ave, I know that currently the traffic at certain times is so busy I can’t easily cross Palm Ave. What will it be like for anyone to turn onto Palm Ave in a vehicle when the traffic dramatically increases (especially for residents who live East of Palm Ave)? All future development approvals should have the transportation capacity in place PRIOR to the build out of any developments not CONCURRENT or AFTER! Failure to do so will make Howey a traffic nightmare especially for those who access Palm Ave from side streets or those who live on Palm Ave (like me).

6. Finally, ALL costs for infrastructure improvements should be funded 100% by new development. Current residents should not subsidize costs that benefit new developments. The current residents have been paying their “fair share” all along. Why should we be responsible for new development costs?

I would ask the Council to carefully review my comments and keep them in mind when you are considering approval of any new development request.

Duane Gorgas

Mayor MacFarlane reminded those present that the Town Council would have workshop meeting at 6 p.m. on November 1, 2023, back in the library, and recommended that the public attend.

ADJOURNMENT

There being no further business to discuss, a motion was made by Mayor MacFarlane to adjourn the meeting; Councilor Lannamañ seconded the motion. Motion was approved unanimously by voice vote.

The Meeting adjourned at 7:06 p.m. | **Attendees: 36**

Mayor Martha MacFarlane

ATTEST:

John Brock, Town Clerk

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ORDINANCE 2023-012

AN ORDINANCE OF THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA, PERTAINING TO LAND USE; AMENDING SECTIONS OF THE TOWN’S LAND DEVELOPMENT CODE AS FOLLOWS: AMENDING SECTION 5.02.06 TO SPECIFY THE MINIMUM SETBACK FROM PROPERTY LINES FOR FLAGPOLES; AMENDING SECTION 2.03.03 TO REQUIRE TWO-CAR GARAGES FOR TOWNHOMES AND TO SPECIFY THE MINIMUM SQUARE FOOTAGE OF THE GARAGE AND THE MINIMUM LENGTH AND WIDTH OF THE RELATED DRIVEWAY; AMENDING SECTION 5.02.06 TO SPECIFY THE TIME PERIOD FOR TEMPORARY PERMITS FOR MOVABLE MODULE STORAGE UNITS; AMENDING SECTION 7.09.02 PERTAINING TO TREE PRUNING; AMENDING SECTION 7.10.00 AND ITS LIST OF APPROVED TREES AND PLANTS; AMENDING SECTION 7.10.01 TO ADD AN ITEM TO THE PROHIBITED PLANT LIST; AMENDING SECTION 7.11.01 REGARDING TREE PROTECTION; AMENDING SECTION 7.08.01 REGARDING LANDSCAPING REQUIREMENTS; ENACTING NEW SECTION 5.01.10 TO DEFINE “WORKSHOPS;” ENACTING NEW SECTION 7.04.04 TO IMPOSE CERTAIN REQUIREMENTS AT STREET INTERSECTIONS TO PRESERVE VISIBILITY FOR MOTORISTS; AMENDING SECTION 1.12.00 TO ENACT A NEW DEFINITION AND TO MODIFY CERTAIN EXISTING DEFINITIONS; AMENDING SECTION 7.12.01 REGARDING REQUIREMENTS FOR TREE REMOVAL; ENACTING NEW SUBSECTIONS 8.05.02.L AND 8.05.04.F REGARDING POTABLE AND RECLAIMED WATER SYSTEMS; ESTIMATING THE ECONOMIC IMPACT OF THE ORDINANCE ON PRIVATE BUSINESSES; PROVIDING FOR SEVERABILITY, CODIFICATION, AND AN EFFECTIVE DATE.

BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA:

Section 1. Amendment to section 5.01.11, Flagpoles. Section 5.01.11 of the Land Development Code is amended to read:

5.01.11 Flagpoles

Flagpoles shall conform to the maximum height limits established for the zoning classification where they are located. Individual flags displayed on the pole shall not exceed twenty-five (25%) percent of the height of the flagpole. Flagpoles shall not be located within required buffers but may be located within required yards. Flagpoles shall have a minimum five-foot setback from all property lines.

45 **Section 2. Amendment to section 2.03.03, Townhomes.** Section 2.03.03 of the Land
46 Development Code is amended to read:

47 **2.03.03 Townhomes**

48 A. In order to support increased densities in the Town Center Overlay, townhome
49 construction is permitted in areas designated as Town Center Residential (TC-R), Town Center
50 Flex (TC-F) or Town Center Commercial (TC-C). All townhomes shall meet the density limits
51 allowed by the underlying land use classification and shall meet the dimensional requirements
52 as follows:

53 B. Dimensional Criteria

- 54 1. Maximum building height is 2 ½ stories and 30 feet.
- 55 a. Building-mounted appurtenances such as belfries, chimneys, cupolas, and
56 antennas used for domestic purposes, or other appurtenances usually placed
57 above roof level and not used for human occupancy, may exceed the
58 maximum building height by 10 feet.
- 59 2. Maximum impervious surface is 40%
- 60 3. Maximum of 4 dwelling units per acre
- 61 4. Minimum lot size for townhomes is 5,000 square feet.
- 62 5. Minimum lot width is 50 feet for exterior townhome lots, and 35 feet for interior
63 townhome lots
- 64 6. Minimum lot depth is 120 feet
- 65 7. Minimum front yard setback is 25 feet (15 feet if the lot includes a recessed or
66 detached garage at least 25 feet from the front lot line)
- 67 8. Minimum street side yard setback is 25 feet
- 68 9. Minimum side yard (interior) setback is 15 feet (no side setback for interior
69 townhome units)
- 70 10. Minimum rear yard setback is 25 feet for principal dwelling, detached garage,
71 or accessory dwelling. Rear yard setback for sheds, workshops, pools, play
72 structures, and other similar accessory structures is 10 feet.
- 73 11. Setbacks do not pertain to boathouses, docks, or fences.
- 74 12. Minimum square footage of townhomes is 1,200 square feet (air-conditioned,
75 not including garage).

76 13. Townhomes shall have a two-car garage (a minimum of 441 square feet) and a
77 driveway that measures a minimum of 16 feet wide and 20 feet long from the
78 right-of-way to the garage.

79

80 **Section 3. Amendment to section 5.02.06, Movable Module Storage Units.** Section
81 5.02.06 of the Land Development Code is amended to read:

82 **5.02.06 Moveable module storage units.**

83 Movable module storage units (called “storage pods”) are permitted temporary structures,
84 provided that such structures are located in compliance with the following standards:

- 85 A. A temporary use permit shall be obtained. Permits may be extended for just cause.
- 86 B. The duration of the temporary use permit shall be limited to ~~fourteen (14)~~ 30 days per
87 lot per year.
- 88 C. The storage pod may be placed on a paved or unpaved surface. When the temporary
89 use permit authorizes location of the storage pod on an unpaved surface, the permit
90 shall be conditioned upon the requirement that grass, sod, or landscaping shall be
91 restored after removal of the storage pod.
- 92 D. The storage pod may be placed in a front or rear yard. Placement in a side yard is
93 prohibited.
- 94 E. The storage pod shall not be placed within an easement, stormwater area, or required
95 buffer.
- 96 F. The storage pod shall be placed at least ten (10) feet from any property line.
- 97 G. The storage pod shall not obstruct pedestrian access.
- 98 H. The storage pod shall not be located within the clear visibility area at street
99 intersections as set forth in Section ~~7.04.08~~ 7.04.04.
- 100 I. The storage pod shall not exceed a maximum size of sixteen (16) feet in length and
101 eight (8) feet in width.

102

103 **Section 4. Amendment to section 7.09.02, Maintenance of Plant Materials.** Section
104 7.09.02 of the Land Development Code is amended to read:

105 **7.09.02 Maintenance of plant materials**

106 A. Property owners and/or their agents shall be jointly and severally responsible
107 for the maintenance of all landscaping in good appearance, free of refuse and debris. This
108 includes newly installed landscapes as well as those older established landscapes.

109 1. Replacement of substandard plant materials. All unhealthy and dead plant
110 materials shall be replaced within 30 days in conformance with the approved site or
111 landscape plan. Failure to replace the plant material within 30 days shall constitute a
112 violation and be regulated through code enforcement.

113 2. Proper Pruning. Proper pruning practices as stated in the ~~National Arborist~~
114 ~~Association's (NAA) Pruning Standards for Shade Trees~~ ANSI Standard 300 Part 1
115 (Pruning) or equal are required by this LDC. The practice of "topping" or "hat-racking"
116 is considered unacceptable by the NAA standards. In compliance with these standards,
117 every effort shall be made to cut back to a lateral at least one-third to one-half the
118 diameter of the parent limb or leader that is being removed. Cuts not made to a suitable
119 lateral, sometimes called topping cuts, shall not be permitted. Street tree canopy over
120 sidewalks shall be maintained with a ten-foot height clearance.

121

122 **Section 5. Amendment to section 7.10.00, Approved Tree and Plant List.** Section
123 7.10.00 of the Land Development Code is amended to read:

124 **7.10.00 Approved tree and plant list**

125 **Table 7.10.00 Approved Tree and Plant List**

Canopy Trees	Understory Trees	Aquatic Plants	Shrubs	Ground Cover	Turf
Bald Cypress	American Holly	Arrowhead	American Beauty Berry	Aloe	Bahia
Sweet Bay* Magnolia	Chickasaw Plum	Arrowroot	Cherry Laurel	Chinese Juniper	Bermuda
Live Oak *	Crape Myrtle	Bald Cypress	Fetterbrush	Coontie	St. Augustine
Longleaf Pine	Dahoon Holly	Blue Flag Iris	Firebush	Day Lily	Zoysia
Red Maple	Date Palm	Buttonbush	Florida Anise	Dwarf Yaupon Holly	
Shumard Oak	Drake Elm	Cinnamon Fern	Gallberry	English Ivy	
Slash Pine	East Palatka Holly	Duck Potato	Indian Hawthorne	Florida Lantana	
Southern Magnolia *	Flowering Dogwood	Fragrant White Water Lily	Ligustrum	Lirope	
Sweet Bay	Ligustrum	Golden Canna	Ligustrum	Mondo Grass	

Sweetgum	Loquat	Maidencane	Native Azaleas	Society Garlic	
Sycamore	Sabal/Cabbage Palm	Pickerel Weed	Pampas Grass	Wandering Jew	
Water Oak	Savannah Holly	Pond Cypress	Pink Muhly Grass	Perennial Peanut	
Drake Elm*	Washington Palm	Sawtooth fern	Pittosporum	Beach Sunflower	
	Wax Myrtle	Soft Rush	Podocarpus	Dwarf Asiatic Jasmine	
	Weeping Bottlebrush	Swamp Hibiscus	Sandanka Viburnum		
	Winged Elm		Saw Palmetto		
	Yaupon Holly		Silverthorn		
	Natchez Crepe Myrtle		Simpson Stopper		
	Purpleleaf Plum		St. Johns Wort		
	Medjool Date Palm		Star Anise		
	Bamboo Palm		Sweet Viburnum		
	Japanese Blueberry				

126

127 *Live Oaks, Laurel Oaks and Southern Magnolias are the ~~two~~ three approved Street Tree
 128 species in the Town of Howey in the Hills. Drake Elm and Sweet Bay Magnolia may be used
 129 where planting space is at a premium. Other trees may also be requested as street trees and
 130 will be considered on a case-by-case basis depending on the site conditions. ~~Palms in clusters~~
 131 ~~may be used as canopy trees, but not in excess of 10 percent of the total required canopy trees~~
 132 ~~for the site.~~ Palms may be used to replace shade trees in clusters of three trees for residential
 133 parcels and five trees for commercial parcels. Palms may not be used as substitutes for street
 134 trees. Palms may be applied as accent trees in addition to shade trees; as part of a thematic
 135 project design; and as an alternative to understory trees when integrated into planting beds.

136 Plants that do not appear on the above table may also be used if they are recommended by one
 137 of the following agencies:

- 138 1. The St. Johns River Water Management District,
- 139 2. The University of Florida, IFAS (Institute of Food and Agricultural Sciences)
- 140 Extension, or
- 141 3. The Florida Department of Environmental Protection, Bureau of Aquatic Plant
- 142 Management.

143

144 **Section 6. Amendment to section 7.10.01, Prohibited Plant List.** Section 7.10.01 of
145 the Land Development Code is amended to read:

146 **7.10.01 Prohibited Plant List**

147 The following trees and plants are prohibited:

- 148 A. Acacia
- 149 B. Albizia Julibrissin (mimosa or silk tree)
- 150 C. Australian Pine
- 151 D. Brazilian Pepper Tree
- 152 E. Camphor
- 153 F. Castor Bean
- 154 G. Chinaberry
- 155 H. Chinese Tallow
- 156 I. Ear Tree
- 157 J. Eucalyptus
- 158 K. Hydrilla
- 159 L. Monkey Puzzle
- 160 M. Punk Tree
- 161 N. Rice Paper Plant
- 162 O. Silk Oak
- 163 P. Taro
- 164 Q. Water Hyacinth

165 R. Ailanthus (tree of heaven)

166 Also prohibited are those plant species prohibited by the Florida Department of Environmental
167 Protection, the Florida Department of Agriculture and the plants listed as invasive by the
168 Florida Exotic Pest Council. Trees on the Prohibited Plant List are exempt from the tree
169 protection requirements of this chapter.

170

171 **Section 7. Amendment to section 7.11.01, Tree Protection.** Section 7.11.01 of the
172 Land Development Code is amended to read:

173 **7.11.01 Tree protection**

174 A. No application for a building permit, land clearing permit, site development
175 permit, subdivision development permit, or grading and filling permit may be issued by the
176 Building Official until the site inspector has visited the site and determined that the tree
177 protection measures are in place in accordance with this chapter and the approved site or
178 subdivision plans. Tree protection shall meet the standards of ANSI Standard A300 Part 5.

179 B. During construction, to ensure the health and survival of protected trees that are
180 not to be removed, the developer shall avoid the following types of tree injuries during all
181 development activities:

182 1. Mechanical injuries to roots, trunk, and branches. To protect against
183 mechanical injuries to roots, trunk, and branches:

184 a. All existing trees that are to remain shall have barriers constructed
185 around the tree at the drip line or around the combined drip line of any clumps of trees.
186 Barriers are to be inspected by the Town prior to the start of any construction.

187 b. The minimum size of such wood barrier fencing shall be two inches (2")
188 by four inches (4") and the top of the barrier shall be a minimum of four feet (4') high.
189 Another acceptable means of barricading trees is the use of orange plastic construction
190 fence, four feet (4') high, and supported every eight feet (8') by a No. 5 rebar, driven
191 into the ground. Fencing shall be securely attached to rebar by the use of nylon zip ties
192 or twisted wire. Barricades must be taut and perpendicular to the ground. No
193 construction activity, cuts, fill, debris disposal or vehicular traffic is to take place within
194 this area. Additionally, the storage or placement of material, machinery, or other
195 construction equipment or substances is prohibited within the drip line area.

196 c. Any waiver or request to construct barriers within the drip line shall be
197 reviewed by the Town. The request must be accompanied by a report from a qualified
198 arborist. Where drip lines of existing trees overlap, the orange mesh fencing or the
199 wood barriers shall be erected around the outer perimeter of the combined drip lines.

200

201 **Section 8. Amendment to section 7.08.01, Required landscaping.** Section 7.08.01 of
202 the Land Development Code is amended to read:

203 **7.08.01 Required Landscaping**

204 At least ~~50%~~ 60% of the landscaped area for each single-family lot shall be drought tolerant or
205 Florida Friendly plants. Florida Friendly plants require a minimum of irrigation and shall be
206 grouped together on the lot in order to reduce the irrigation requirement for those zones. Turf
207 area may exceed 40% if the turf area over 40% is unirrigated.

208

209 **Section 9. Amendment to section 5.01.10, Workshops.** Section 5.01.10 of the Land
210 Development Code is enacted to read:

211 **5.01.10 Workshops**

212 A workshop is an accessory structure used for actively pursuing a craft or hobby such as
213 pottery, woodcraft, etc. A workshop shall be served by electricity and shall conform to the
214 standards for storage sheds (5.01.09) and to the standards for all accessory structures
215 (5.01.03).

216 (NOTE: The Town Clerk is to renumber current section 5.01.10, Docks, Piers and Wharfs,
217 and section 5.01.11, Flagpoles.)

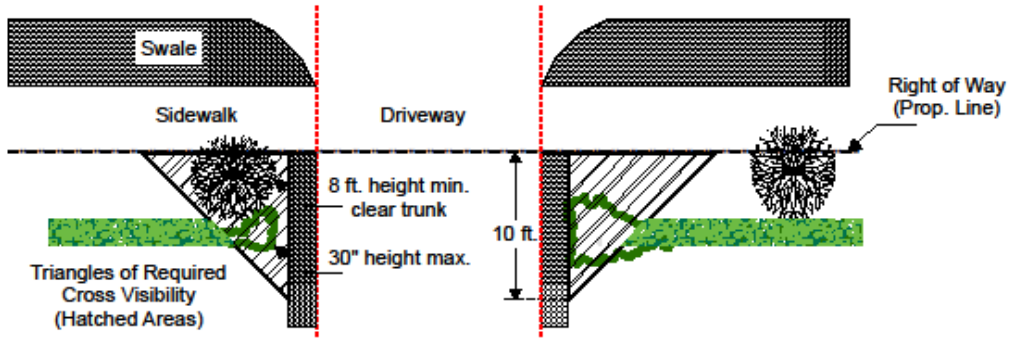
218

219 **Section 10. Amendment to section 7.04.04, Visibility triangle at intersections.** Section
220 7.04.04 is enacted to read:

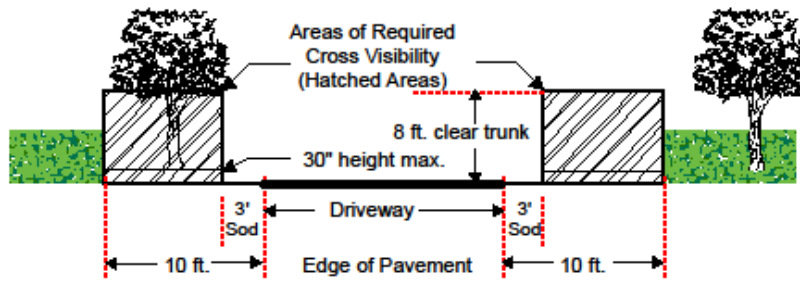
221 **7.04.04 Visibility Triangle at Intersections**

222 To preserve visibility at intersections of streets and at intersections of driveways with streets,
223 a visibility triangle shall be provided as shown in the following diagram.

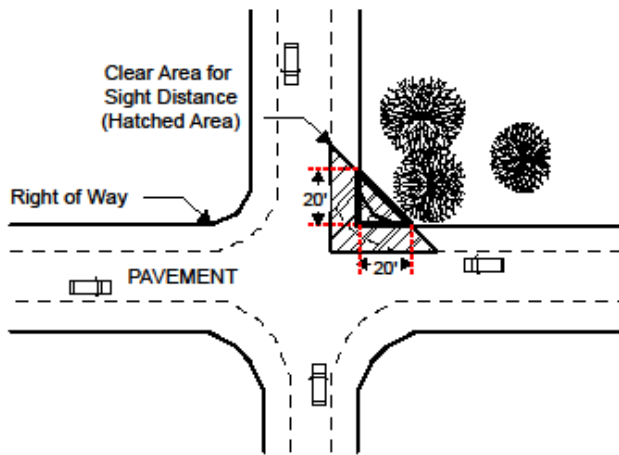
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PLAN : Intersection of Driveway and Street



CROSS SECTION A-A' : Intersection of Driveway and Street



PLAN : Local Roadway in Subdivision

225

226

227

228 **Section 11. Amendment to section 1.12.00, Acronyms and definitions.** Section 1.12.00
229 is amended to read, and is amended to add the definition of “street tree,” as follows:

230 *Canopy Tree* means a tree, usually with one main trunk, which develops an elevated crown
231 and provides at maturity, a minimum shade crown of ~~thirty~~ 30 feet (~~30'~~) in diameter or
232 greater. See also street tree.

233 *Street Tree* means any tree meeting the requirements for a canopy tree and planted to meet
234 the requirements for a street tree as required by the code. See also canopy tree.

235 *Primary Façade* is the exterior wall of a building that faces a street. ~~Buildings on corner lots~~
236 ~~have two primary facades.~~ Buildings on lots abutting more than one street, including corner
237 lots, through lots, and any lot abutting three or four streets, have two, three or four primary
238 facades based on the number of streets fronted by the lot.

239

240 **Section 12. Amendment to section 7.12.01, Permit required.** Section 7.12.01 of the Land
241 Development Code is amended to read:

242 7.12.01 **Permit required**

243 A. Any person who proposes to cut down, move, remove, or destroy any tree,
244 including those on single family lots, shall first obtain a tree removal permit from the Town
245 unless otherwise exempt under F.S. 163.045. Prior to removal of any tree exempt from
246 permitting under F.S. 163.045 the property owner shall provide to the Town a copy of the
247 arborist report required by Section 163.045(2). Requests for tree removal permits shall be
248 made to the ~~Public Works Director~~ Code Enforcement Officer. Trees that are located on
249 vacant, undeveloped land shall not be removed except as permitted through the development
250 of the site. Trees that are on the Town’s prohibited tree list may be removed without a permit.
251 Any application for a tree removal permit shall include the following:

- 252 a. Property owner’s name and daytime telephone number.
- 253 b. Street address and directions to the site.
- 254 c. Type and size of tree proposed to be removed.
- 255 d. Purpose for the tree removal.
- 256 e. Most recently available boundary survey.
- 257 f. General location of the tree on the site.
- 258 g. How many trees remain on the lot or parcel.

259 B. When determining whether to permit the tree removal, the following issues will be
260 evaluated:

- 261 1. Whether the tree has a potentially hazardous branching structure such as a
- 262 hollow trunk, low fork in the trunk, or other.
- 263 2. Whether the tree is injured or diseased beyond repair.
- 264 3. Whether there are no viable alternatives to locating structures or driveways
- 265 on the site.
- 266 4. Whether the tree is impacting the foundation of a house or other building or
- 267 structure.
- 268 5. Whether the tree poses a threat to traffic visibility.
- 269 6. Whether the tree is negatively impacting a more desirable tree.
- 270 7. Any other issue deemed important by the Town.
- 271 8. Trees that are deemed hazardous or otherwise unsafe shall be allowed to be
- 272 removed without mitigation. In circumstances where the condition
- 273 supporting the removal of a tree is not obvious or easily documented by the
- 274 Town inspector, a letter from a certified arborist may be required to permit
- 275 removal. In emergency situations, a hazardous tree may be removed as long
- 276 as proper documentation in the form of photographs and/or a written
- 277 opinion from Town staff, accompanies the permit application.

278 C. Any trees removed in violation of this chapter shall be deemed to be violations of
 279 this Code and subject to all penalty provisions afforded the Town.

280

281 **Section 13. Amendment to section 8.05.02, Potable water system.** Section 8.05.02 of the
 282 Land Development Code is amended to enact new subsection L, as follows:

283 **8.05.02 Potable water system**

284 * * *

285 L. It is the responsibility of all potable water customers to maintain a three-foot area
 286 clear of any fences, structures or landscaping other than sod or mulch around meter boxes to
 287 allow for access by Town employees for reading, maintenance, and disconnection of service.
 288 The meter box may not be buried or obstructed from view. The Town shall not be
 289 responsible for any damage to plants, fences or other impediments that are removed in the
 290 course of Town work.

291

292 **Section 14. Amendment to section 8.05.04, Reclaimed water systems.** Section 8.05.04
 293 of the Land Development Code is amended to enact new subsection F, as follows:

294 **8.05.04 Reclaimed water system**

295 * * *

296 **F.** It is the responsibility of all reclaimed water customers to maintain a three-foot area
297 clear of any fences, structures or landscaping other than sod or mulch around meter boxes to
298 allow for access by Town employees for reading, maintenance, and disconnection of service.
299 The meter box may not be buried or obstructed from view. The Town shall not be
300 responsible for any damage to plants, fences or other impediments that are removed in the
301 course of Town work.

302

303 **Section 15. Business Impact Estimate.** In compliance with Subsection 166.041(4) of
304 Florida Statutes the Town provides the following business impact estimate:

305 a) **Summary of Ordinance 2023-012.** Ordinance 2023-012 is a collection of
306 amendments to the Town’s Land Development Code (LDC). The amendments were
307 recommended by the Planning and Zoning Board. The amendments largely clarify existing
308 LDC provisions. Some amendments add needed regulations or specify permitted and
309 prohibited actions and land uses by developers and landowners. The amendments address
310 setbacks, townhome garage and driveway requirements, permits for temporary storage units,
311 tree removal and protection, approved and prohibited types of trees and other plants,
312 landscaping requirements and restrictions, “workshop” structures, and visibility standards for
313 motorists. All amendments are intended ultimately to address public safety and welfare.

314 b) **No economic impact.** The following amendments in Ordinance 2023-012 will
315 have no material economic impact on private, for-profit businesses:

- 316 1. Flagpole setbacks in LDC section 5.01.11;
- 317 2. Extended permit periods for temporary storage units under section 5.02.06;
- 318 3. Clarification of pruning requirements in section 7.09.02;
- 319 4. Adjustments to the list of approved trees and plants in section 7.10.00;
- 320 5. Adjustments to the list of prohibited plants in section 7.10.01;
- 321 6. Clarification of tree-protection standards in section 7.11.01;
- 322 7. Clarification of the portions of single-family lots required to be drought-
323 tolerant and unirrigated;
- 324 8. Addition of “workshops” to the types of permitted accessory structures;
- 325 9. Requirement for “visibility triangles” at street intersections and at the
326 intersection of driveways and streets;
- 327 10. Clarification of and an addition to defined terms under section 1.12.00;

328 11. Clarification of when trees may be removed without the need to first obtain a
329 removal permit under section 7.12.01;

330 12. Adding requirements for property owners to keep spaces around potable-water
331 and reclaimed-water meters clear of obstacles and landscaping under sections
332 8.05.02 and 8.05.04

333 c) **Economic impact.** The Town estimates that the requirement in LDC section
334 2.03.03 for a two-car garage and a driveway of minimum length and width at each
335 new townhome will increase the cost of constructing the townhome, as of October
336 2023, by an amount equal to approximately \$_____ .

337

338 **Section 16. Severability.** If any provision or portion of this ordinance is declared by a
339 court of competent jurisdiction to be void, unconstitutional, or unenforceable, the remaining
340 provisions and portions of this ordinance shall remain in full effect. To that end, this
341 ordinance is declared to be severable.
342

343 **Section 17. Codification** The amendments in Sections 1 through 14 of this ordinance
344 shall be codified and published in the Town’s Land Development Code. No other provisions
345 shall be codified, either in the Town’s Code of Ordinances or in the Land Development
346 Code.

347 **Section 18. Effective Date.** This ordinance shall take effect upon its enactment.

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[Signatures on the following page]

368 **ORDAINED AND ENACTED** this ____ day of _____, 2023, by the Town Council
369 of the Town of Howey-in-the-Hills, Florida.

370
371
372
373
374
375
376
377
378

**TOWN OF HOWEY-IN-THE-HILLS,
FLORIDA**

By: its Town Council

By: _____
Hon. Martha MacFarlane, Mayor

379
380
381

ATTEST:

APPROVED AS TO FORM AND LEGALITY
(for the use and reliance by the Town only)

382
383
384
385
386

John M Brock, Town Clerk

Thomas J Wilkes, Town Attorney

387
388
389
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391

392
393 First Reading: _____, 2023
394 Second Reading and Enactment: _____, 2023

395
396
397
398

Advertising :

Account Number:	532726
Customer Name:	Town of Howey in the Hills
Customer Address:	Town of Howey in the Hills 101 N Palm AVE Howey In The Hills FL 34737-3418
Contact Name:	John Brock
Contact Phone:	352-324-2290
Contact Email:	jbrock@howey.org
PO Number:	

Date:	10/31/2023
Order Number:	9473107
Prepayment Amount:	\$ 0.00

Column Count:	1.0000
Line Count:	118.0000
Height in Inches:	0.0000

Print

Product	#Insertions	Start - End	Category
LEE Daily Commercial	1	11/03/2023 - 11/03/2023	Govt Public Notices
LEE dailycommercial.com	1	11/03/2023 - 11/03/2023	Govt Public Notices

Order Confirmation Amount	\$196.44
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Ad Preview

Item 3.

PUBLIC HEARING NOTICE
TOWN OF HOWEY-IN-THE-
HILLS, FLORIDA
Ordinance No. 2023-012

AN ORDINANCE OF THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA, PERTAINING TO LAND USE AMENDING SECTIONS OF THE TOWN'S LAND DEVELOPMENT CODE AS FOLLOWS: AMENDING SECTION 5.02.06 TO SPECIFY THE MINIMUM SETBACK FROM PROPERTY LINES FOR FLAGPOLES; AMENDING SECTION 2.03.03 TO REQUIRE TWO-CAR GARAGES FOR TOWNHOMES AND TO SPECIFY THE MINIMUM SQUARE FOOTAGE OF THE GARAGE AND THE MINIMUM LENGTH AND WIDTH OF THE RELATED DRIVEWAY; AMENDING SECTION 5.02.06 TO SPECIFY THE TIME PERIOD FOR TEMPORARY PERMITS FOR MOVABLE MODULE STORAGE UNITS; AMENDING SECTION 7.09.02 PERTAINING TO TREE PRUNING; AMENDING SECTION 7.10.00 AND ITS LIST OF APPROVED TREES AND PLANTS; AMENDING SECTION 7.10.01 TO ADD AN ITEM TO THE PROHIBITED PLANT LIST; AMENDING SECTION 7.11.01 REGARDING TREE PROTECTION; AMENDING SECTION 7.08.01 REGARDING LANDSCAPING REQUIREMENTS; ENACTING NEW SECTION 5.01.10 TO DEFINE "WORKSHOPS;" ENACTING NEW SECTION 7.04.04 TO IMPOSE CERTAIN REQUIREMENTS AT STREET INTERSECTIONS TO PRESERVE VISIBILITY FOR MOTORISTS; AMENDING SECTION 1.12.00 TO ENACT A NEW DEFINITION AND TO MODIFY CERTAIN EXISTING DEFINITIONS; AMENDING SECTION 7.12.01 REGARDING REQUIREMENTS FOR TREE REMOVAL; ENACTING NEW SUBSECTIONS 8.05.02.L AND 8.05.04.F REGARDING POTABLE AND RECLAIMED WATER SYSTEMS; ESTIMATING THE ECONOMIC IMPACT OF THE ORDINANCE ON PRIVATE BUSINESSES; PROVIDING FOR SEVERABILITY, CODIFICATION, AND AN EFFECTIVE DATE.

PUBLIC NOTICE IS HERBY GIVEN that the Town of Howey-in-the-Hills Town Council will hold a Public Hearing on Monday, November 13, 2023, at 6:00 p.m. (or as soon thereafter as the matter may be considered) in the Town Council Chambers, Town Hall, 101 N. Palm Ave., Howey-in-the-Hills, Florida 34737 to consider the proposed Ordinance.

You may either be present in person at this Public Hearing, represented by counsel, or letter. All interested persons take due notice of the time and place of this Public Hearing and govern yourselves accordingly.

Copies of Ordinance 2023-012 are available in the Town Clerk's Office, 101 N. Palm Ave., Howey-in-the-Hills, FL 34737 for inspection during normal business hours of Mon-Thurs 8 a.m. - 5 p.m. In compliance with the Americans with Disabilities Act (ADA) anyone who needs a special accommodation for this meeting should contact the Town Clerk at least 48 hours before the meeting.

Any person who decides to appeal any decision of the Town Council with respect to any matter considered at this meeting will need a record of the proceeding, and for such purposes, they may need to ensure that a verbatim record of the proceeding is made which includes testimony and evidence upon which the appeal is based per Section 286.0105 of the Florida Statutes.

All correspondence to the Town Council relative to this matter should be mailed to 101 N. Palm Ave., Howey-in-the-Hills, FL 34737.

TOWN OF HOWEY-IN THE-
HILLS, FLORIDA
BY: John Brock, Town Clerk
Publish: Daily Commercial -
November 3, 2023 #9473107 11/3/23



TMHConsulting@cfl.rr.com
97 N. Saint Andrews Dr.
Ormond Beach, FL 32174
PH: 386.316.8426

MEMORANDUM

TO: Howey-in-the-Hills Town Council
CC: J. Brock, Town Clerk
FROM: Thomas Harowski, AICP, Planning Consultant
SUBJECT: Hillside Groves Phase 1 Final Subdivision Plan
DATE: October 3, 2023

The Town has received an application for final subdivision approval for Phase 1 of the Hillside Groves mixed use development. This project, formerly known as The Reserve, was approved in its current form following a major amendment to the original development approval. The amended project was approved by the Town Council at their regular meeting of October 24, 2022. The submittal of a request for final subdivision approval is the next logical step in the development process. The Planning Board reviewed the application at their regular meeting of September 28, 2023, and recommended approval of the final subdivision plan.

Review Process and Project Status

The Town's process for Village Mixed Use developments includes approval of planned unit development agreement that sets out the concept plan for the development and any specific parameters that will govern the project in addition to the Town's land development regulations. Once the development agreement is approved (October 24, 2022, in this case) the project can proceed to a preliminary subdivision plan for any lots to be created or a site plan for any non-residential development. In this case the preliminary subdivision plan was approved at the same time as the amended development agreement. As noted above, the next step in the process is the final subdivision plan.

The final subdivision plan is the point in the development process where detailed engineering for streets, utilities, stormwater facilities and any other subdivision improvements are completed. The review process for a final subdivision plat is to check the design for compliance with Town standards and compliance with general engineering design principles. The plan is compared with the preliminary subdivision plan to verify that the design as submitted is consistent with the preliminary subdivision plan. The layout of streets, lots, and other site arrangements of land in the project is done at the preliminary subdivision phase. So long as the final subdivision plan is consistent with the preliminary subdivision plan, the review is basically a technical evaluation.

The Reserve project includes 378 acres. Phase One encompasses 140 acres or 37% of the total project area. The overall project includes residential development in four phases using the Hillside Groves name, commercial development, and a civic use tract. The Town has previously approved a site plan for the Howey Self Storage mini-warehouse project located on SR 19 just south of the Florida Avenue intersection. The Howey Self Storage project is part of the larger Reserve development. At this time the Howey Self Storage Project has not sought a permit for construction. Hillside Groves is the residential portion of The Reserve project with this application seeking approval for the final subdivision plan for phase one. The first phase residential development includes 245 units or about one-third of the residential unit total of 728.

Final Subdivision Plan

The final subdivision plan is the last step before the project is authorized for construction. The project has reserved sewage treatment capacity with the Central Lake Community Development District, and the final subdivision plans show the sewage collection system that will support the project. The Town has adequate potable water capacity to support the project and the final subdivision plans include designs for extending water service to the site and for serving individual lots. The traffic study found the affected roadway segments have adequate capacity to operate within the designated level of service for phase one and for the project at buildout. The traffic study recommended turn lanes at the project entrance on SR-19 which will be provided in accordance with FDOT permitting, and the project will include turn lanes at the intersection with Number Two Road as required by Lake County. Additional right-of-way dedication is also required by Lake County. The stormwater plan meets current state and Town requirements per the engineering review. Due to the age of the project it is exempt from Lake County School concurrency.

The first phase of the project includes the central collector road and residential neighborhoods in the center of the project as shown on the accompanying diagram. The first phase residential component includes 129 units on 50 x 80 foot lots and 116 units on 50 x 115 foot lots. This phase also includes stormwater systems and utilities to support the residential development. Some of the utility work will be off-site to extend water and sewer systems from the current plant locations.

The project was reviewed by the Development Review Committee at several meetings with the last review conducted on August 10, 2023. Following that DRC meeting the applicant made final adjustments that were reviewed by the Town engineer and found to be in compliance with the Town code and engineering practice.

Final subdivisions are required to begin construction within 18 months of final approval by the Town, unless the project is granted a time extension. The applicant will be required to submit permits from state and local agencies including:

- Florida DEP for water and sewer system construction
- Florid DEP for wetland impacts
- FDOT for improvements within the SR 19 right-of-way
- Lake County for improvements within the Number Two Road right-of-way

- St Johns River Water Management District for stormwater systems
- An NPDES permit is also required for runoff control during construction

At the August 19, 2023 Development Review Committee meeting Mr. Miles submitted a list of eight questions about the proposed plan set. The applicants were asked to provide a response for each of these items. The response from the project engineer is included in the agenda packet. These comments were discussed as part of the Planning Board meeting including the formal response submitted by the applicant and comments from staff. The Planning Board did not direct any changes to the plan based on this discussion. There may still be some open issues so far as Mr. Miles is concerned, and he will discuss these at the Town Council meeting.

Recommendation

The final subdivision plan is consistent with the approved preliminary subdivision plan, and the Town's engineering consultant has found the plans to meet the Town's design requirements and good engineering practice. The recommendation is to approve the final subdivision plan.

September 15, 2023

Tom Harowski
Representing the Town of Howey in the Hills
97 N. Saint Andrews Dr.
Ormond Beach, FL 32174

RE: Hillside Groves Subdivision: Comment Response Letter

Dear Mr. Harowski:

This letter is written to address the comments found in your September 11, 2023 email where you tabulated comments from recent public meetings. Below are the listed comment, follow by our response in **bold**.

1) Need to address improvements to Number Two Road to the west of the entrance to road A.

The turn lane on Number 2 Road is show on the civil engineering plan set by our firm.

2) The road A collector road is over 8/10 of a mile long and plans have only 16 streetlights (8 on each side of the road). Councilor Miles would like to see this doubled to 32 streetlights.

The final street light locations will be designed at a later date and be in accordance with photometric standards and other jurisdictional standards related to light levels and other factors.

3) There is no entrance sign to the development off of Number Two Road.

The location and type of an entrance sign from Number 2 Road is at the discretion of the developer and may be installed in future phases.

4) Along much of Road A there is no irrigation provided, with Bahia grass being used. Councilor Miles thinks it needs to be irrigated.

Please reference the 500 series landscape sheets that shows full irrigation of the green space on Road A.

5) The L403 tract P had a pump station buffered only with landscaping. Councilor Miles stated that he wants it to have a 6-foot-high chain link fence (black or green coated) surrounding it.

Sheet 16 of the civil engineering set shows a standard detail with a 6' chain link fence in compliance with town code.

6) Unnamed amenity on tract R, Councilor Miles would like to know what this is.

The layout for the amenity has not yet been designed. The amenity plan will be submitted to the town at a later date.

7) On the Property's northwest corner is a townhouse tract, with more than 50 units. Councilor Miles would like a second ingress/egress point that is not an emergency entrance.

This access is shown on sheet 3 of the civil plan set. The councilor likely was referring to the landscape drawing set that did not show this connection. The landscape drawing base will be updated prior to construction. Note that the townhomes are in phase two and not part of these engineering approvals. Landscape drawings will be refined with the construction of phase two. The master site plan shown on sheet 3 were recently updated to show all requested connections in the approved preliminary site plan approved by the town.

8) At the south junction of Road A the commercial area is only showing 3 lanes and it should have two north and two south bound lanes (as shown the last time this item came before the Town Council).

FDOT staffers commented that the four-lane configuration would not be allowed. The consultant team held meetings with agency staffers to settle on the design shown today. The current design allows for one lane into the site via "ROAD A". Leaving the site is a through/left turn lane and an exclusive right turn lane. This is now a three-lane roadway where the site accesses S. Palm Avenue. FDOT has approved the construction drawings as an adequate access width.

For traffic coming from S. Palm Avenue, the commercial parcel is served by a four-lane section at the four-way intersection. An exclusive right lane and exclusive left lane are used for the patrons of the commercial area for access. This allows unrestricted through movements for vehicles entering and exiting the subdivision. For vehicles traveling toward S. Palm Avenue, they have access to a three-lane configuration. This offers through movements into the subdivision, exclusive left turns into the commercial site from the subdivision, and a through/right turn lane for vehicles leaving the subdivision and/or accessing the commercial site

Thank you for the opportunity to offer these responses, Please let me know if you have any questions. I can be reached at 904.265.3030 or at eevans@cwieng.com.

Sincerely,

Eric D. Evans, PE
Senior Project Manager



TOWN OF HOWEY-IN-THE-HILLS, FLORIDA GENERAL LAND DEVELOPMENT APPLICATION

101 N. Palm Avenue, Howey-in-the-Hills, Florida 34737
Phone: (352) 324-2290 • Fax: (352) 324-2126

Date Received:

Application ID:

Received By:

REQUESTED ACTION

- | | | |
|---|--|---|
| <input type="checkbox"/> Comp Plan Amendment | <input type="checkbox"/> Variance | <input type="checkbox"/> Site Plan (check one below) |
| <input type="checkbox"/> PUD | <input type="checkbox"/> Rezoning | <input type="checkbox"/> Preliminary |
| <input type="checkbox"/> Conditional Use | <input type="checkbox"/> Subdivision Minor | <input type="checkbox"/> Final |
| <input type="checkbox"/> Land Development Code Text | <input type="checkbox"/> Other | <input checked="" type="checkbox"/> Subdivision (check one below) |
| | | <input type="checkbox"/> Preliminary Subdivision |
| | | <input checked="" type="checkbox"/> Final Subdivision |
| | | <input type="checkbox"/> Final Plat |

Describe Request: _____

APPLICANT INFORMATION:

Name: William (Bill) Ray, AICP

E-Mail: WRAYASSOC@AOL.COM

Address: 2712 SE 29th St, Ocala, FL 34471

Phone: 352-425-8881 Fax: _____

Owner

Agent for Owner

Attorney for Owner

OWNER INFORMATION:

Name: EASTON & ASSOC

E-Mail: ejeaston@theeastongroup.com

Address: 10165 NW 19th St
Miami, FL 33172

Phone: 786-437-5806

Fax: _____

PROPERTY INFORMATION:

Address: _____

General Location: SOUTH of No. 2 RD - NORTH of SR 19

Current Zoning: PUD

Current Land Use: VACU

Parcel Size: 375.2 Ac. +/-

Tax Parcel #:

Legal Description Attached Yes No

Survey Attached Yes No

Pre-Application Meeting Date: _____
(Attach Pre-Application Form)

Application Fee: \$ _____

Applicant's Signature: William A. Ray AICP
(Signature) (Date)

WILLIAM (BILL) A. RAY AICP
(Print)

Owner's Signature: [Signature] 7-28-23
(Provide letter of Authorization) (Signature) (Date)

Edward J. Easton
(Print)

Applications must be complete to initiate the review process.

Hillside Grove

PHASE 1 - COMMUNITY LANDSCAPE ARCHITECTURE

Prepared For:

EASTON & ASSOCIATES HOWEY-IN-THE-HILLS, FLORIDA

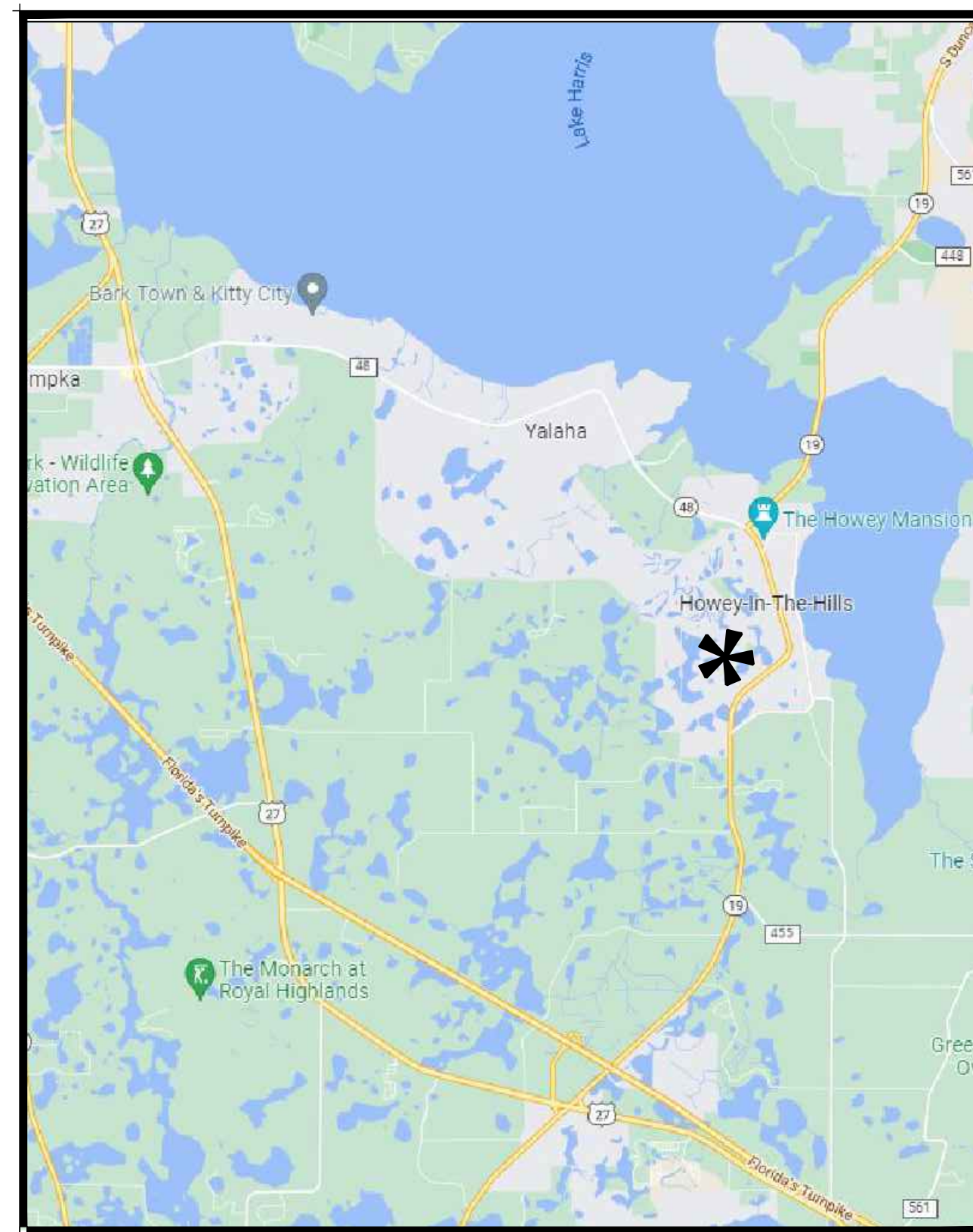
DEVELOPER / OWNER:
EASTON & ASSOCIATES
10165 NW 19th ST
Miami, FL 33172

PROJECT CIVIL ENGINEER:
CONNELLY & WICKER, INC.
10060 Skinner Lake Drive, Suite 500
Jacksonville, FL 32246
Contact: Rick Welch, P.E.
phone: 904.265.3030

LANDSCAPE ARCHITECT:
BONNETT DESIGN GROUP, LLC
400 South Orlando Ave. Suite 201
Maitland, FL 32751

Contact: Todd W. Bonnett, RLA, LEED AP, CNU-a
phone: 407.622.1588

IRRIGATION DESIGNER:
SPADE IRRIGATION DESIGN
307 Dubsdread Circle
Orlando, Florida 32804
Contact: Larry W. Spade, PLA, CID
phone: 407.896.3904



LOCATION MAP
not to scale

SHEET INDEX:

L000	COVER SHEET	L500	OVERALL IRRIGATION PLAN
L100	DIGITAL SIGNATURE PAGE	L501	IRRIGATION PLAN
L200	LAYOUT PLAN	L502	IRRIGATION PLAN
L201	LAYOUT PLAN	L503	IRRIGATION PLAN
L301	HARDSCAPE DESIGN PLAN	L504	IRRIGATION PLAN
L400	OVERALL LANDSCAPE PLAN	L505	IRRIGATION PLAN
L401	LANDSCAPE PLAN	L506	IRRIGATION PLAN
L402	LANDSCAPE PLAN	L507	IRRIGATION PLAN
L403	LANDSCAPE PLAN	L508	IRRIGATION PLAN
L404	LANDSCAPE PLAN	L509	IRRIGATION PLAN
L405	LANDSCAPE PLAN	L510	IRRIGATION DETAILS & NOTES
L406	LANDSCAPE PLAN		
L407	LANDSCAPE PLAN		
L408	LANDSCAPE PLAN		
L409	LANDSCAPE PLAN		
L410	LANDSCAPE DETAILS & NOTES		

Applicable Codes, Regulations, Ordinances and Standards

Town of Howey-In-the-Hills

Rev City Comments 2023-06-26
Rev City Comments 2022-11-17
Rev City Comments 2022-09-29
May 27, 2022

2021.195



BONNETT design group, llc
landscape architecture . community planning
FL # LC26000341
400 South Orlando Ave. Suite 201 . Maitland, FL 32751
407.622.1588 voice . 407.358.5363 fax
www.BonnettDesignGroup.com





BONNETT design group, llc
landscape architecture
community planning
FL LC 26000341

400 South Orlando Ave, Suite 201
Maitland, FL 32751
407.622.1588 voice

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THIS DOCUMENT HAS BEEN DIGITALLY SIGNED AND SEALED BY:

TODD W. BONNETT, RLA

ON THE DATE ADJACENT TO THE SEAL.



PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED
THE SIGNATURE MUST BE VERIFIED ON THE ELECTRONIC DOCUMENTS.

BONNETT DESIGN GROUP, LLC
400 S. ORLANDO AVE, SUITE 201
MAITLAND, FL 32751
FLORIDA REGISTRY: BONNETT DESIGN GROUP, LLC LA0001718
TODD W. BONNETT, RLA, FL LA0001718

THE ABOVE NAMED PROFESSIONAL LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE
FOR THE FOLLOWING SHEETS IN ACCORDANCE WITH RULE 61G10-11.011, F.A.C.

INDEX OF SHEETS

SHEET	TITLE
L001	COVER
L100	DIGITAL SIGNATURE
L200-L201	LAYOUT PLAN
L301	HARDSCAPE DESIGN PLAN
L400	OVERALL PHASING PLAN
L401-409	LANDSCAPE PLANS
L410	LANDSCAPE DETAILS & NOTES
L500-509	IRRIGATION PLANS
L510	IRRIGATION DETAILS & NOTES

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Hills
Landscape
Easton
HOWEY-IN-
DIGITAL

PHASE 1

DATE: May 27, 2022
DRAWN BY: RTM
CHECKED BY: TWB
JOB NUMBER: 2021.195
FILE NAME: 2021.195_LEN - HILLSIDE GROVE_PHL_LABASE

REVISIONS:
City Comments 09-29-2022
City Comments 11-17-2022
City Comments 06-23-2023

L100



BONNETT design group, llc
landscape architecture
community planning
FL LC 26000341
400 South Orlando Ave, Suite 201
Maitland, FL 32751
407.622.1588 voice

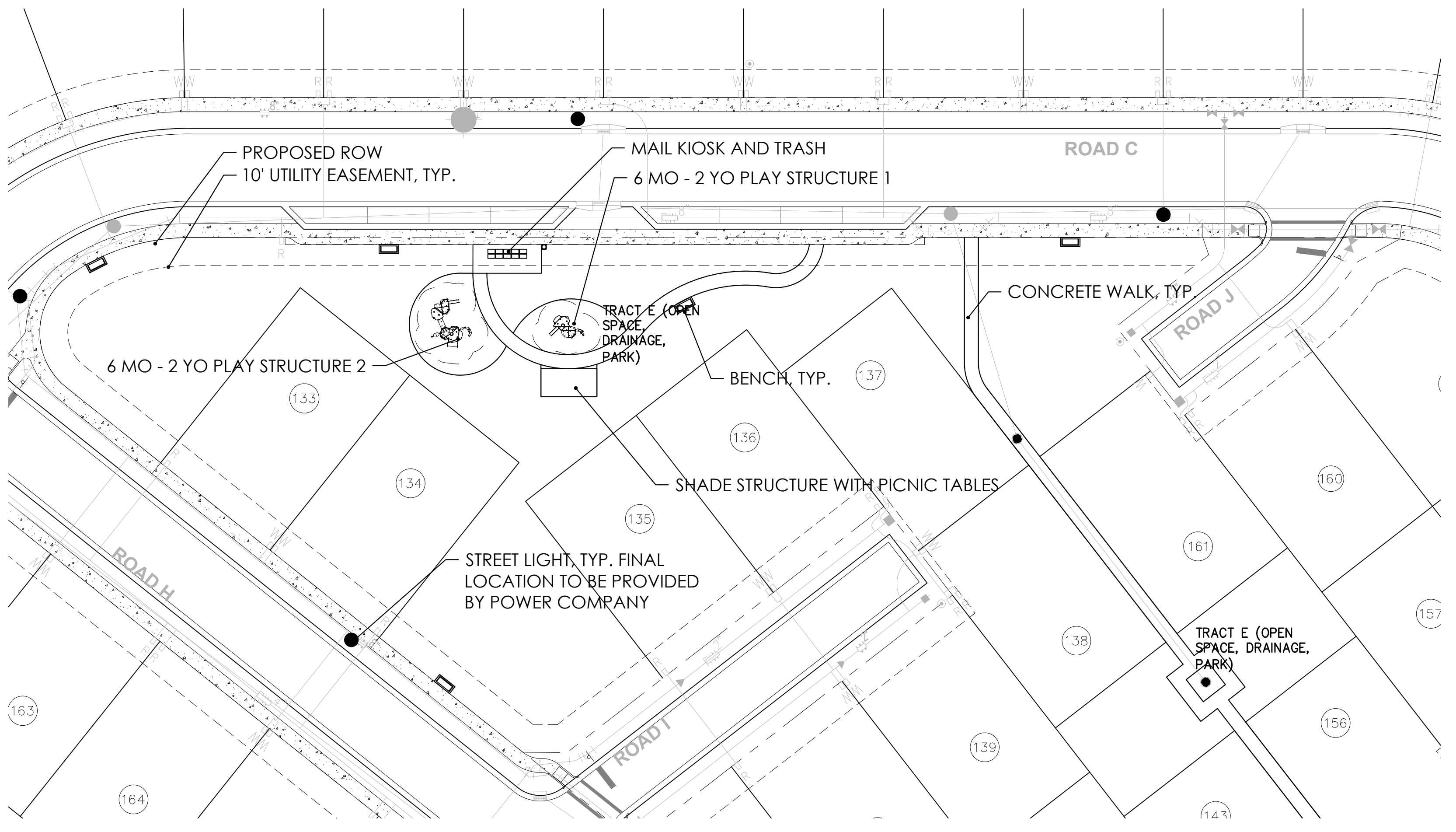
Hillside Grove Landscape Architecture Easton & Associates HOWEY-IN-THE-HILLS, FLORIDA LAYOUT PLAN

PHASE 1

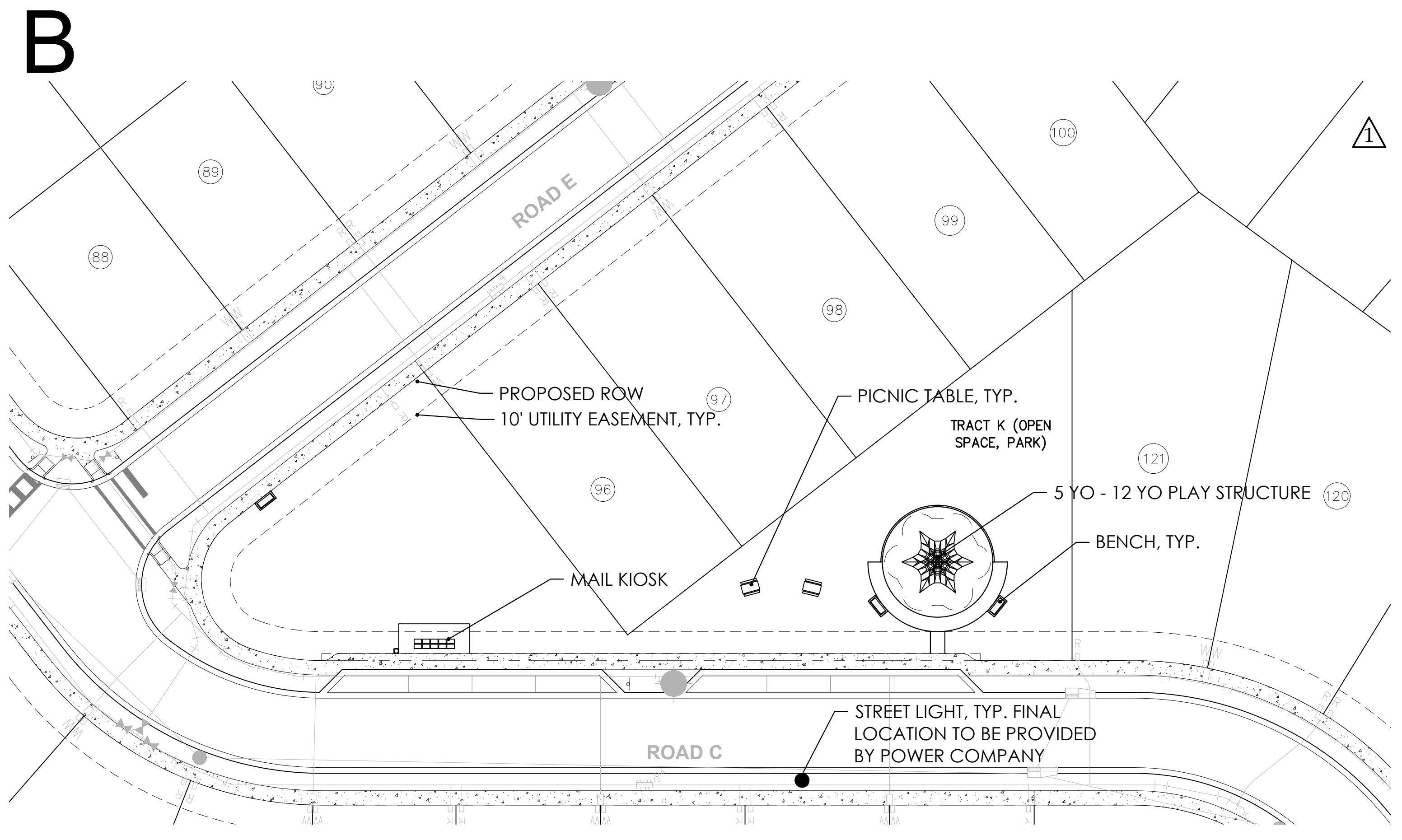
DATE: May 27, 2022
DRAWN BY: RTM
CHECKED BY: TWB
JOB NUMBER: 2021.195
FILE NAME: 2021.195_LEN - HILLSIDE GROVE_PHL_LABASE

REVISIONS:	
△	City Comments 09-29-2022
△	City Comments 11-17-2022
△	City Comments 06-23-2023

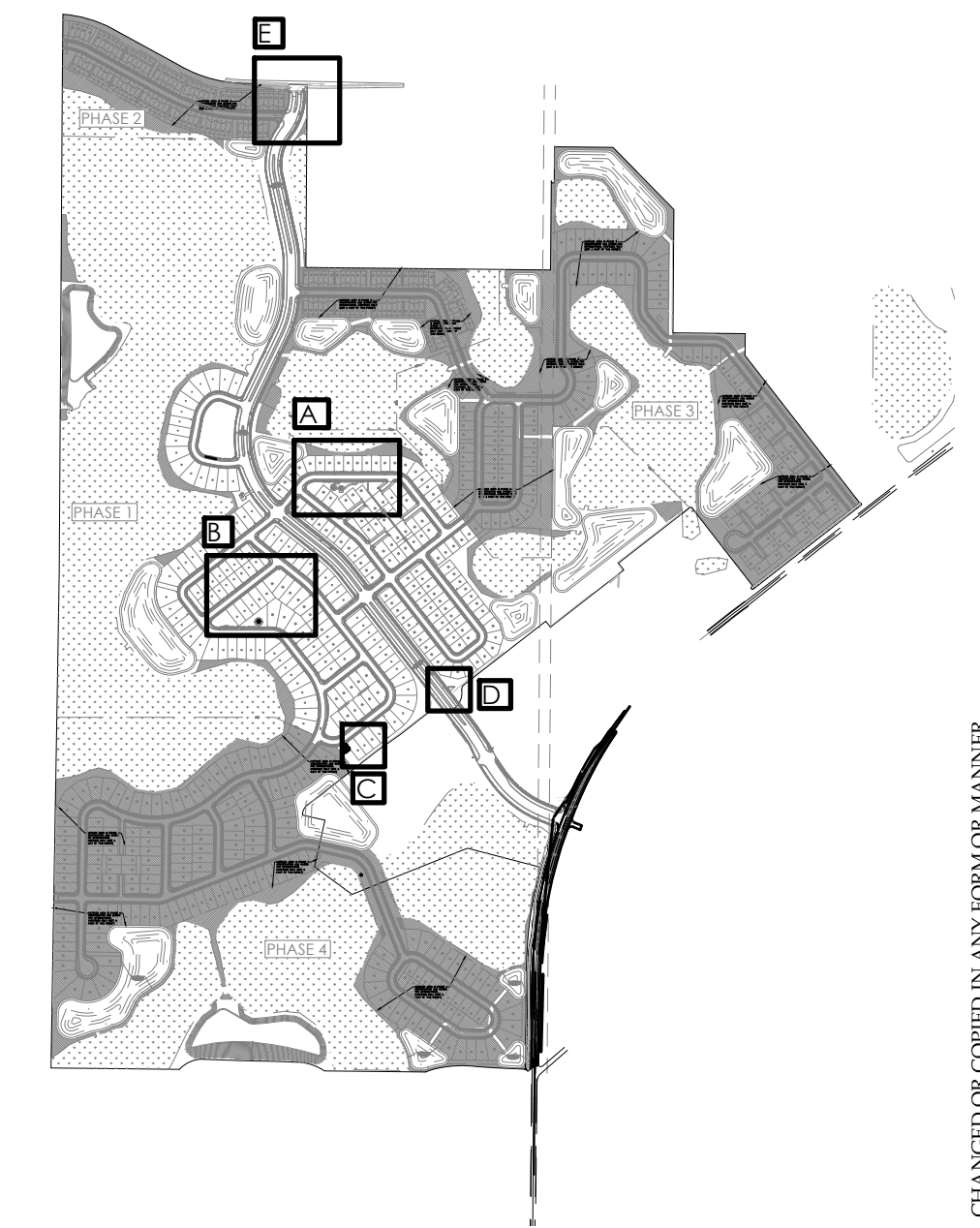
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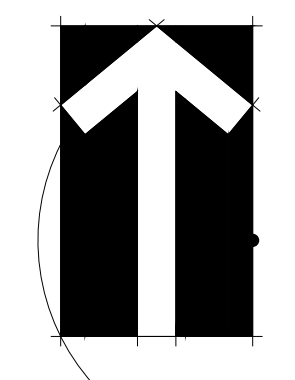
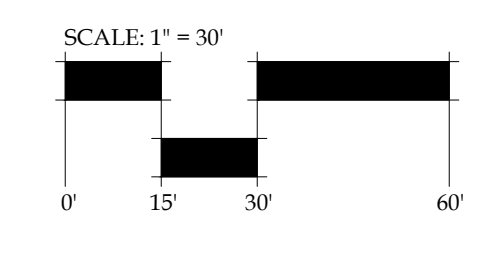
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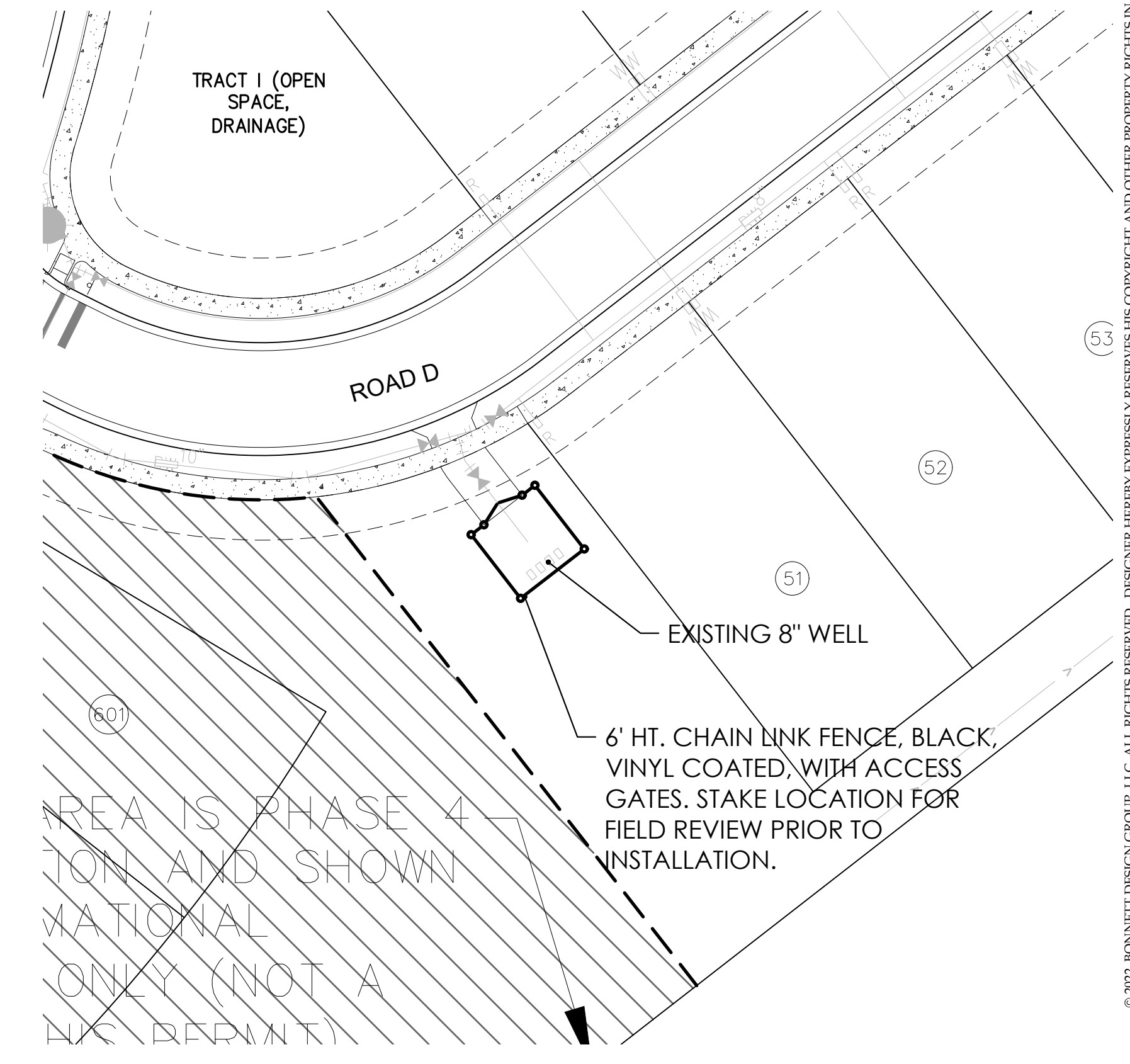
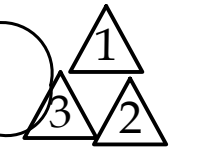
B



KEY MAP



SITE PLAN UPDATE



DRAWING PLOTTED: 7/19/2023 1:00:21 PM
Z:\SHARED\BONNETT DESIGN GROUP\2021\2021.195_LEN - THE RESERVE AT HOWEY IN THE HILLS\DESIGN\2021.195_LEN - HILLSIDE GROVE_PHL_LABASE.DWG

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community planning
FL LC 26000341
400 South Orlando Ave, Suite 201
Maitland, FL 32751
407.622.1588 voice

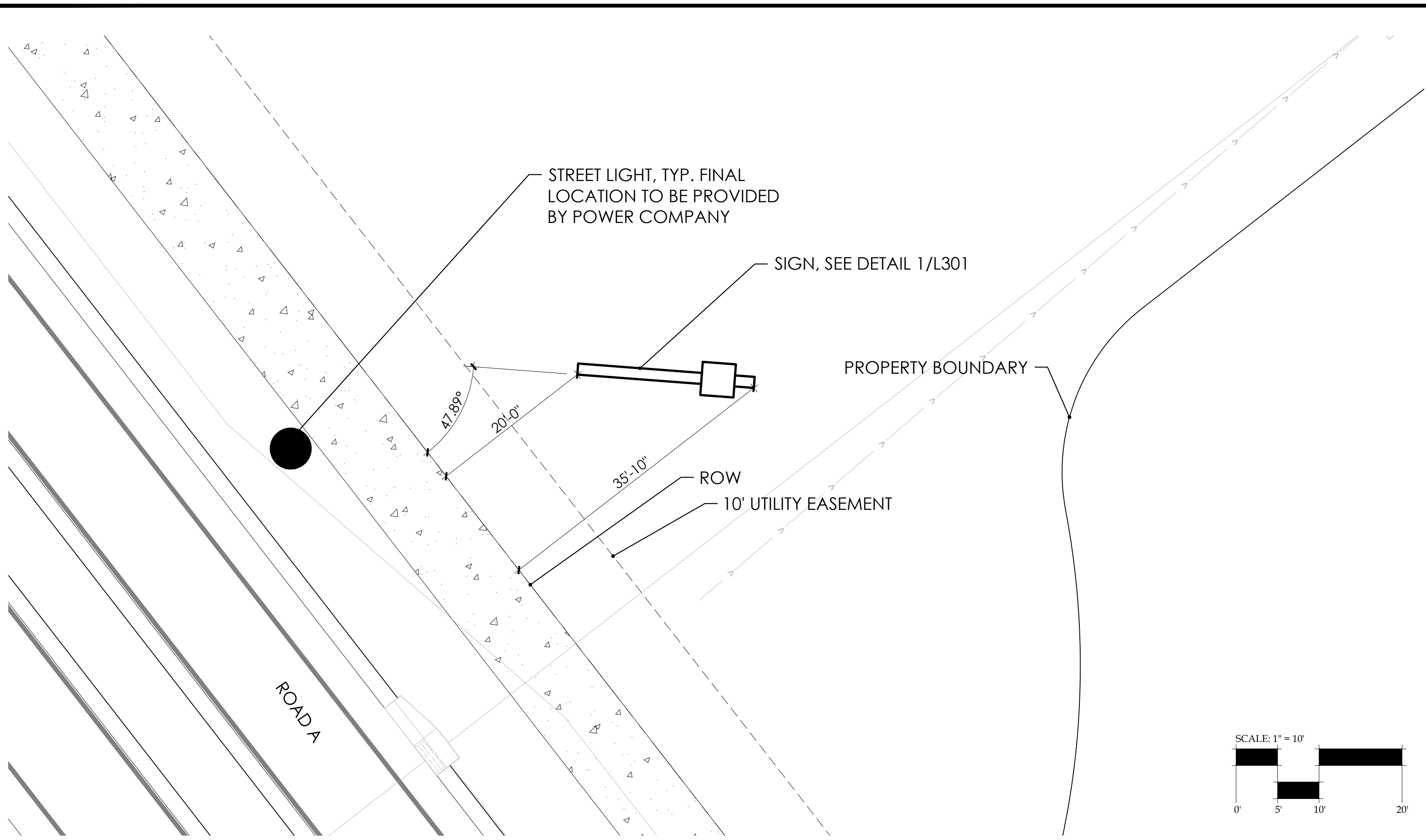
Hillside Grove Landscape Architecture Easton & Associates HOWEY-IN-THE-HILLS, FLORIDA LAYOUT PLAN

PHASE 1

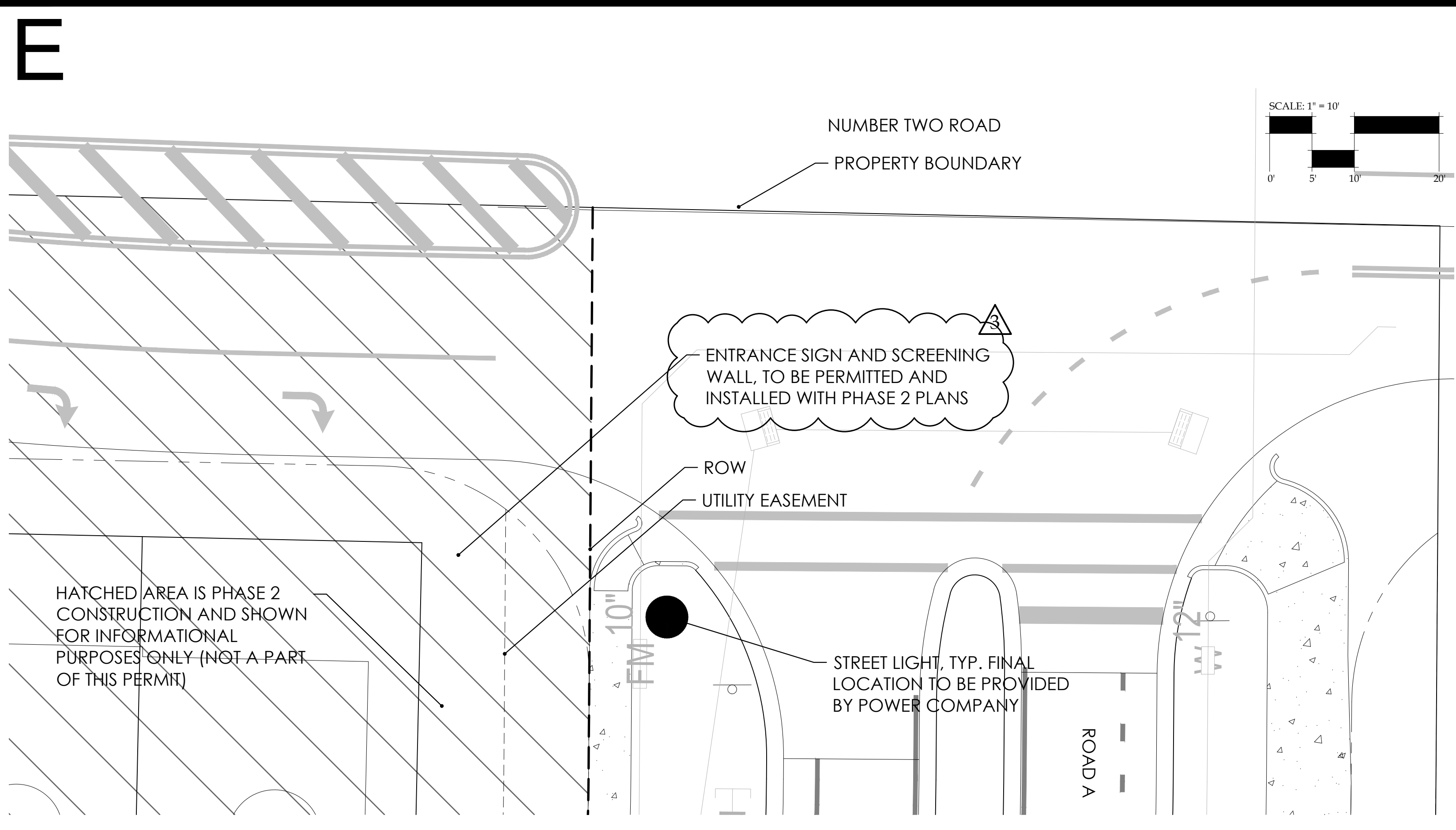
DATE: May 27, 2022
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JOB NUMBER: 2021.195
FILE NAME: 2021.195_LEN - HILLSIDE GROVE_PHL_LABASE

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2 City Comments 11-17-2022
3 City Comments 06-23-2023

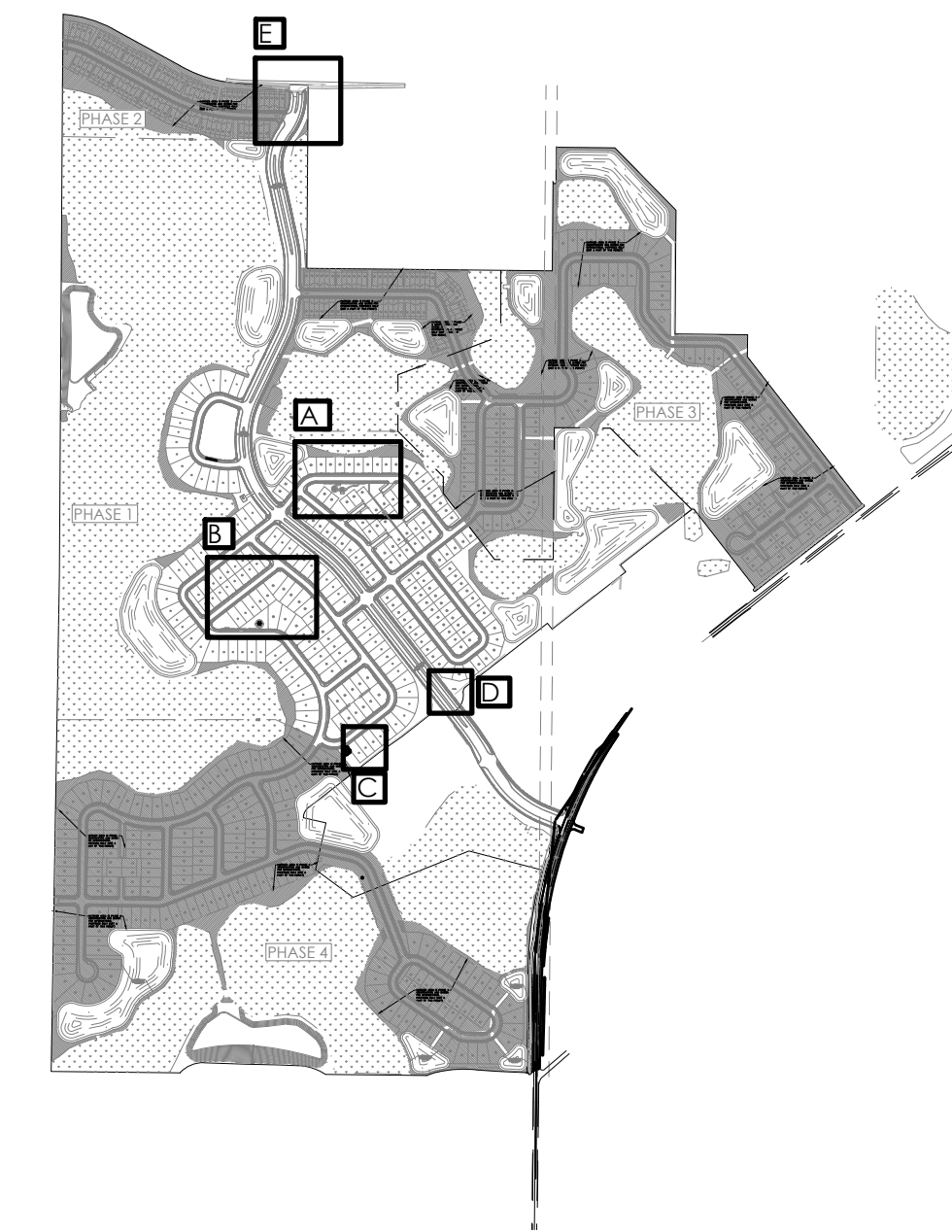
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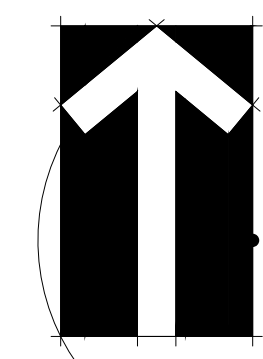
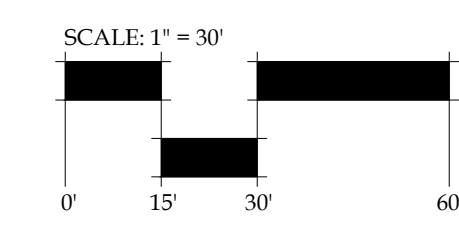
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KEY MAP



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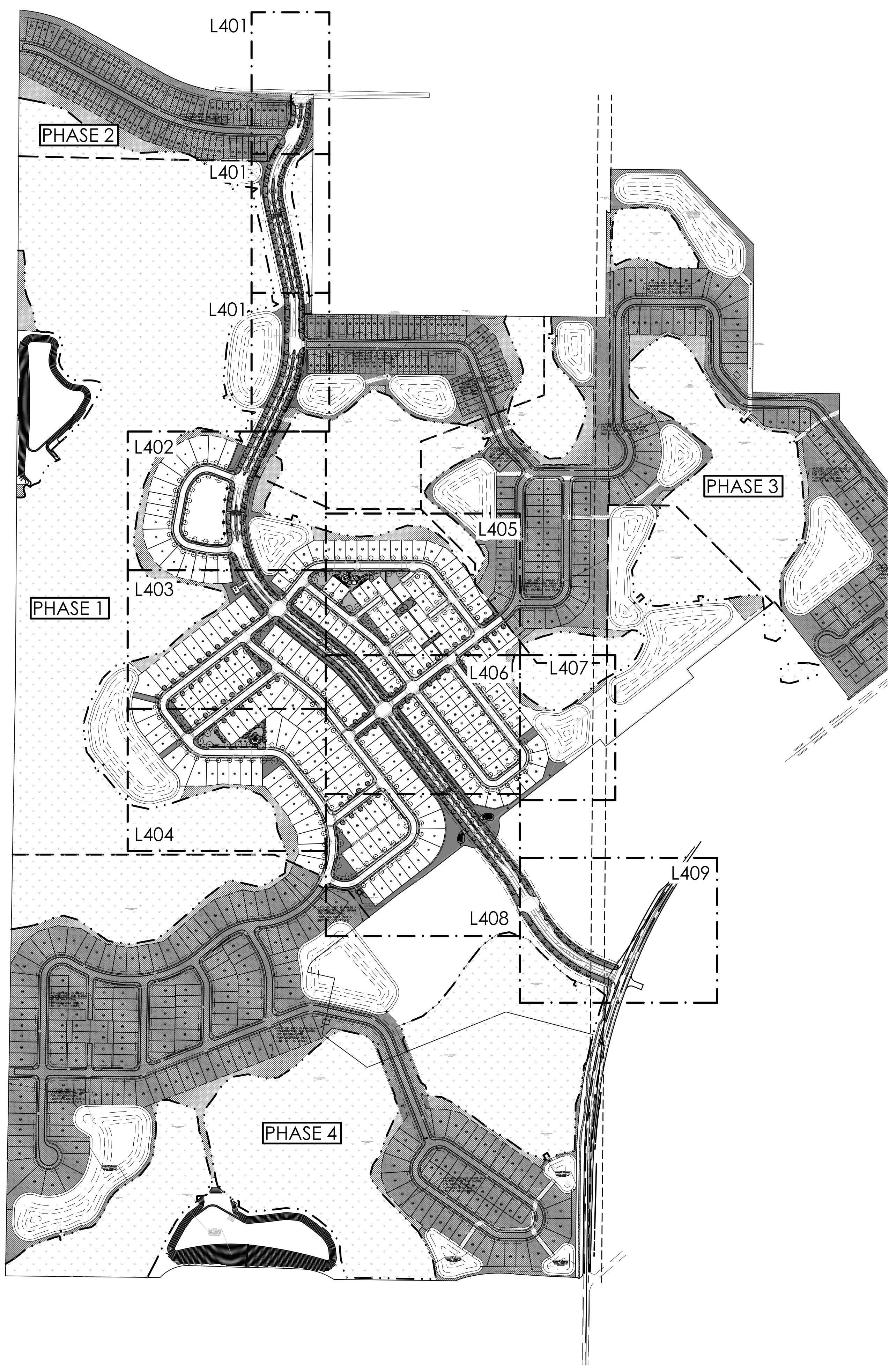
Hillside Grove
Landscape Architecture
Easton & Associates
HOWEY-IN-THE-HILLS, FLORIDA
OVERALL PHASING PLAN

PHASE 1

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L400



PLANT SCHEDULE PHASE 1

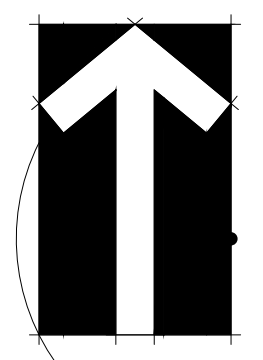
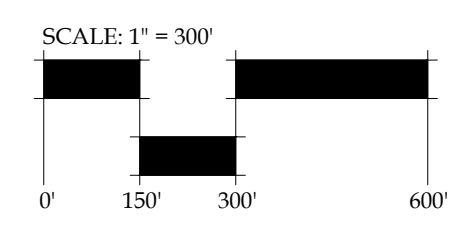
AS = AS SHOWN

TREES	QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATION	NATIVE	WATER USE ZONE	SPACING	REMARKS
AR	2	Acer rubrum	Red Maple	2.5" Cal. Min. 10' ht.	YES	HIGH	AS	
LIM	10	Lagerstroemia indica 'Muskogee'	Muskogee Crape Myrtle	2" cal., 8'-10' ht. x 30" spd.	NO	LOW	AS	
PE	14	Pinus elliotii	Slash Pine	2" cal., 8'-10' ht. x 24" spd.	YES	LOW	AS	
QV	12	Quercus virginiana	Live Oak	2.5" Cal. Min. 10' ht.	YES	LOW	AS	
SP	10	Sabal palmetto	Sabal Palm	12'-15' MIXED	YES	LOW	AS	
STREET TREES: COMMON TRACTS		BOTANICAL NAME	COMMON NAME	SPECIFICATION	NATIVE	WATER USE ZONE	SPACING	REMARKS
MG-C	181	Magnolia grandiflora 'Brackens Brown Beauty'	Bracken's Southern Magnolia	4" Cal.	YES	MEDIUM	AS	Min. 10' height
QV-C	83	Quercus virginiana	Live Oak	4" Cal.	YES	LOW	AS	Min. 10' height
UA-C	13	Ulmus alata	Winged Elm	4" Cal.	YES	LOW	AS	Min. 10' height
STREET TREES: LOTS		BOTANICAL NAME	COMMON NAME	SPECIFICATION	NATIVE	WATER USE ZONE	SPACING	REMARKS
MG-L	55	Magnolia grandiflora 'Brackens Brown Beauty'	Bracken's Southern Magnolia	4" Cal.	YES	MEDIUM	AS	Min. 10' height
UA-L	207	Ulmus alata	Winged Elm	4" Cal.	YES	LOW	AS	Min. 10' height
SHRUBS		BOTANICAL NAME	COMMON NAME	SPECIFICATION	NATIVE	WATER USE ZONE	SPACING	REMARKS
Hpc	164	Hamelia patens 'Compacta'	Dwarf Firebush	3 gal., full	YES	LOW	36" o.c.	
Ph	26	Philodendron x 'Hope'	Hope Philodendron	3 gal., 18"-24"	NO	MEDIUM	36" o.c.	
Pa	54	Plumbago auriculata 'Imperial Blue'	Plumbago	3 gal., 20"-20"	NO	MEDIUM	36" o.c.	
Pm	90	Podocarpus macrophyllus	Podocarpus	7 gal., 30"x16" spd.	NO	MEDIUM	24" o.c.	
Src	64	Serenoa repens 'Cinerea'	Silver Saw Palmetto	3 gal., 18" o.a.	YES	LOW	36" o.c.	
Sb	122	Spartina bakeri	Sand Cord Grass	3 gal., full	NO	MEDIUM	30" o.c.	
Vovw	96	Viburnum obovatum 'Whorled Class'	Dwarf Walter's Viburnum	3 gal., 18" o.a.	YES	LOW	36" o.c.	
Vo	1,159	Viburnum odoratissimum	Sweet Viburnum	3 gal., 18" o.a.	NO	MEDIUM	36" o.c.	
Zf	12	Zamia furfuracea	Cardboard Palm	10 gal., 24" ht., 36" spd.	NO	LOW	AS	
Zp	524	Zamia pumila	Coontie	3 gal., 18" o.a.	YES	LOW	24" o.c.	
GROUND COVERS		BOTANICAL NAME	COMMON NAME	SPECIFICATION	NATIVE	WATER USE ZONE	SPACING	REMARKS
aa	406	Agapanthus africanus	Lily of the Nile	1 gal., full	NO	MEDIUM	18" o.c.	
agl	1,612	Arachis glabrata	Perennial Peanut	1 gal., full. Use mulch fines	NO	LOW	12" o.c.	
dvt	1,221	Dianella lasmanica 'Variegata'	Variegated Flax Lily	1 gal., 12"-15" spd., full pot	NO	LOW	18" o.c.	
dv	59	Dietsa vegala	African Iris	1 gal., 2-3 ppp	NO	LOW	24" o.c.	
jp	217	Juniperus davurica 'Parsonii'	Parson's Juniper	1 gal., 12"-15" spd.	NO	LOW	18" o.c.	
lmg	356	Liriope muscari 'Emerald Goddess'	Emerald Goddess Lilyturf	1 gal., 12"-15" spd., full pot	NO	LOW	18" o.c.	
mcc	479	Muhlenbergia capillaris	Muhly Grass	1 gal., 24" ht., full pot	YES	LOW	24" o.c.	
ta	78	Trachelospermum asiaticum	Asian Jasmine	1 gal., full. Use mulch fines	NO	MEDIUM	18" o.c.	
SOD/SEED		BOTANICAL NAME	COMMON NAME	SPECIFICATION	NATIVE	WATER USE ZONE	SPACING	REMARKS
soda	34,708 sf	Cynodon dactylon 'Celebration'	Celebration Bermuda Grass	sod	NO	MEDIUM	sod	solid sod - weed free
sodb	337,875 sf	Paspalum notatum 'Argentine'	Argentine Bahia Grass	sod	NO	LOW	sod	sand grown solid sod - weed free



SITE PLAN UPDATE

NOTE: THE LANDSCAPE PROVIDED FOLLOWS THE WATERWISE FLORIDA LANDSCAPES AND IS COMPLIANT WITH THE FLORIDA WATER STAR PROGRAM PER SEC. 7.04.01 STANDARDS



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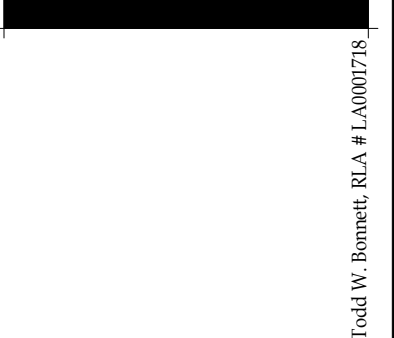
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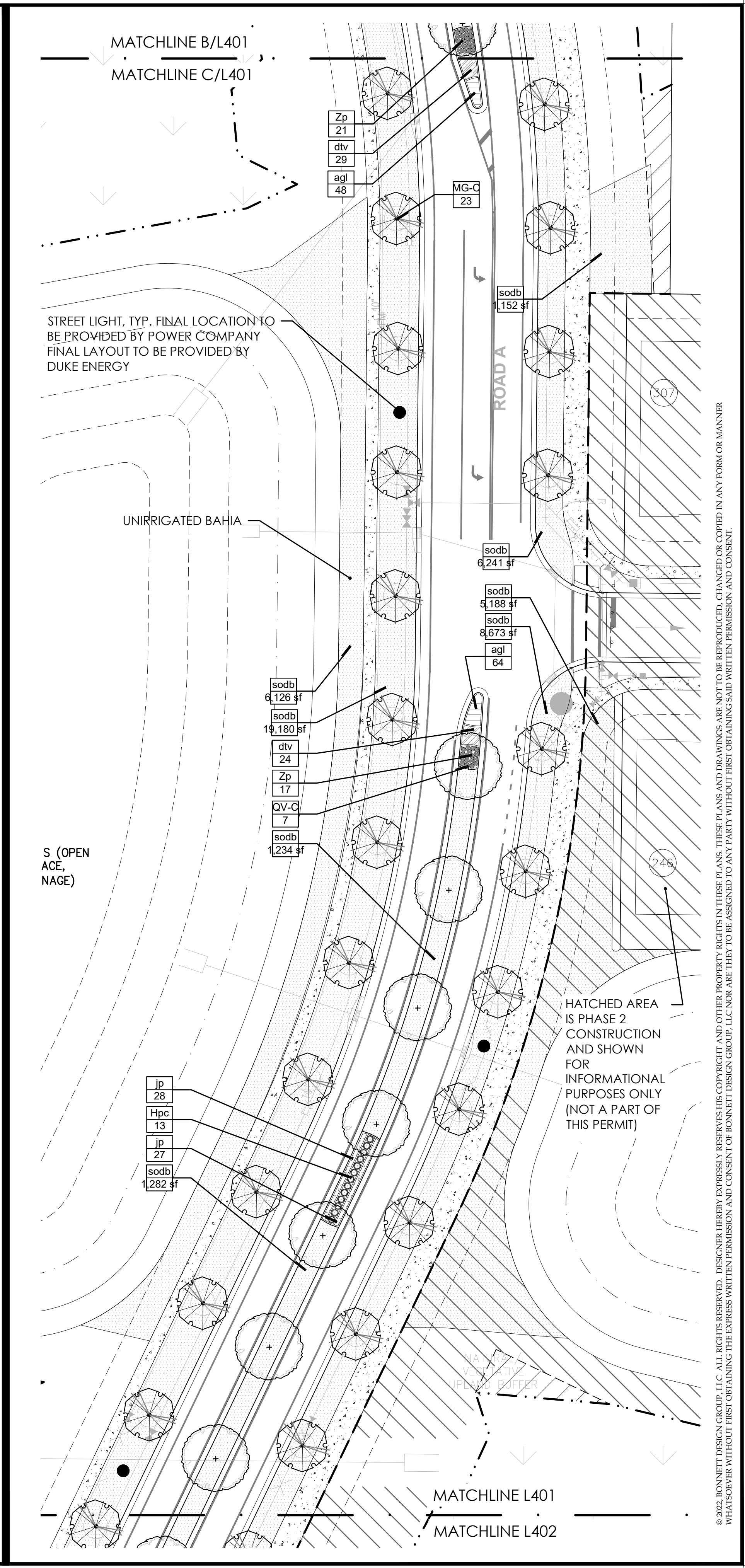
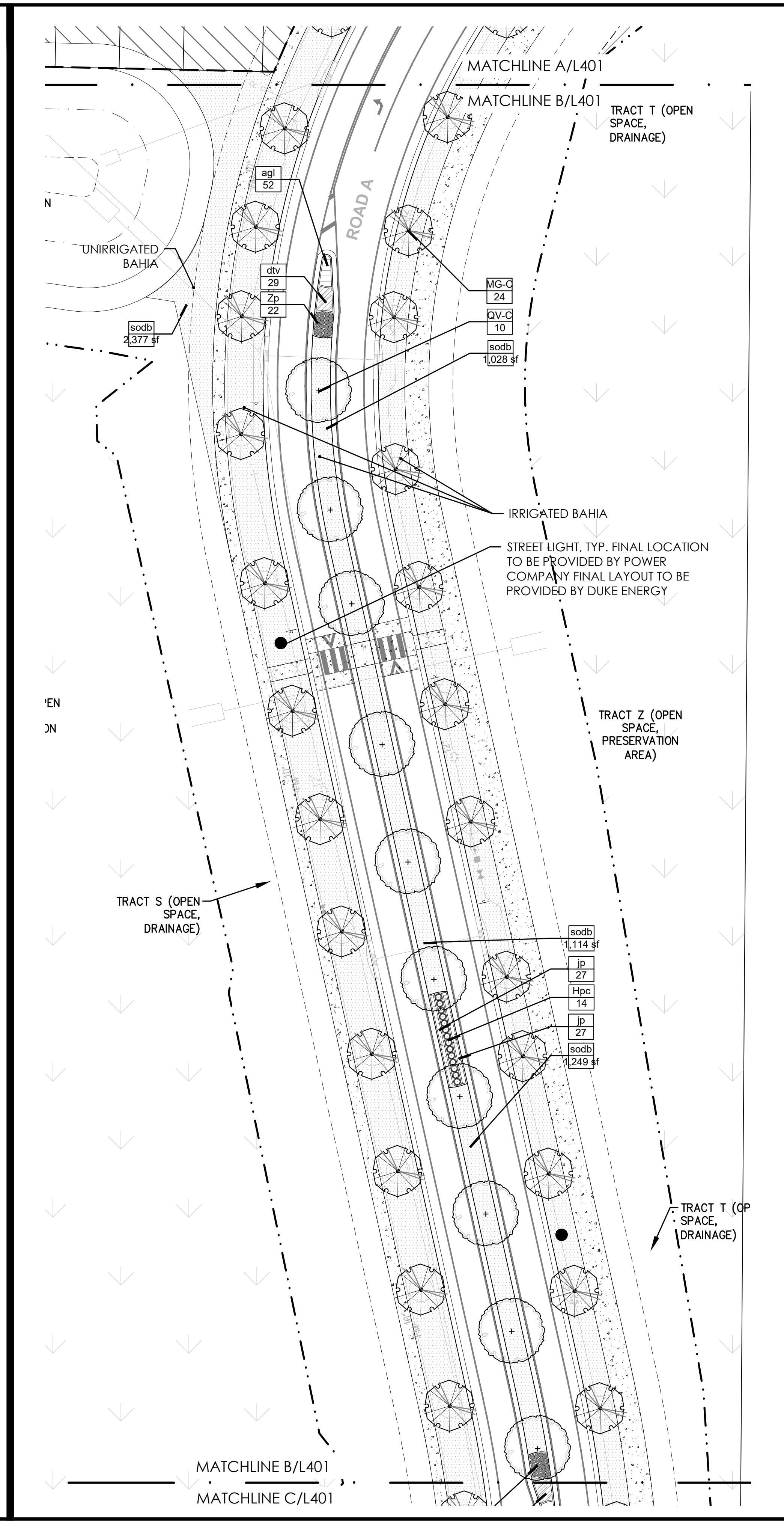
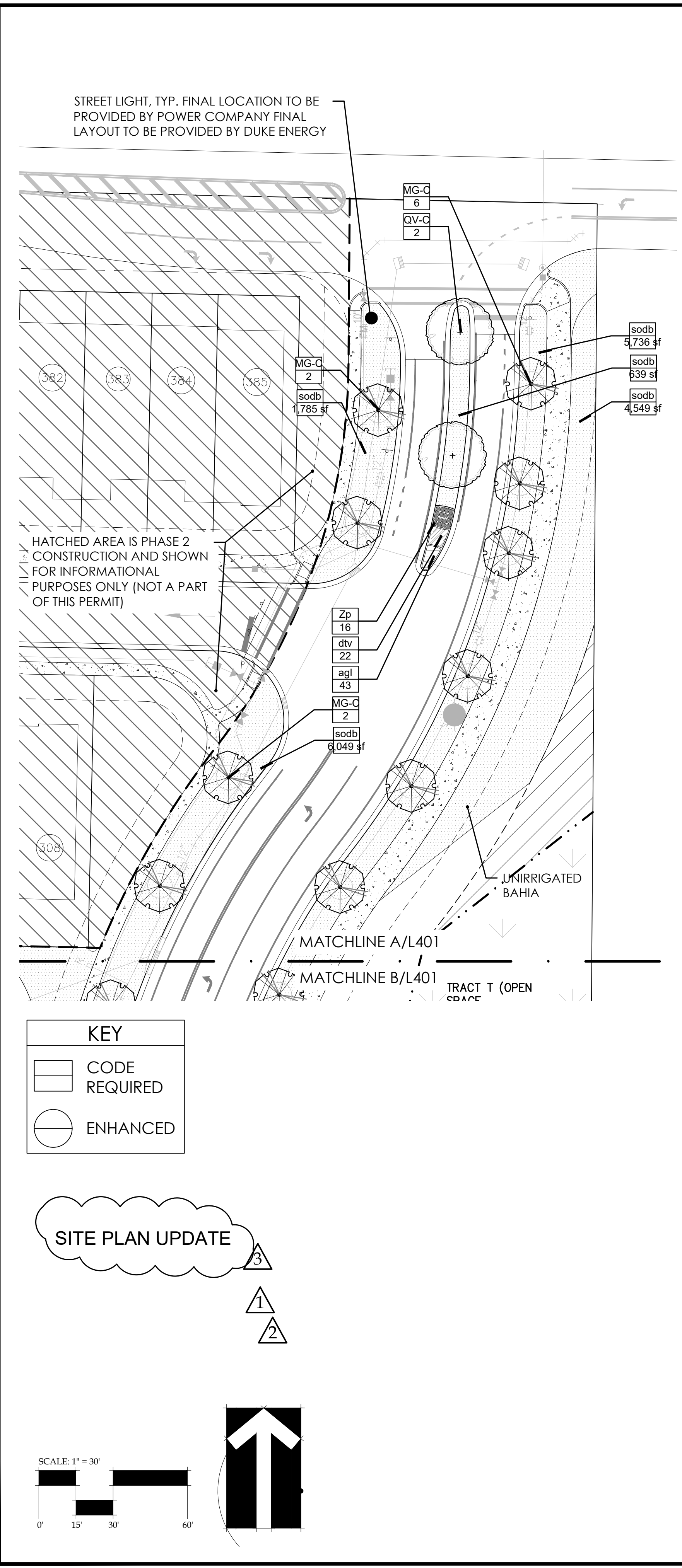
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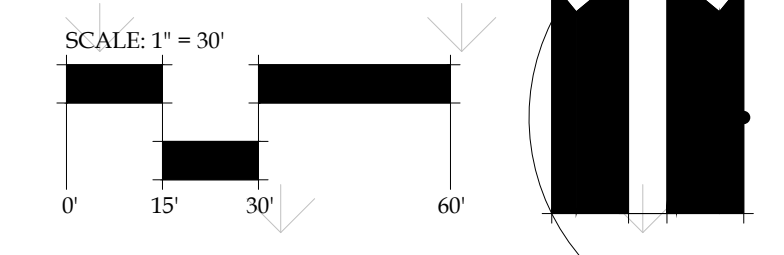
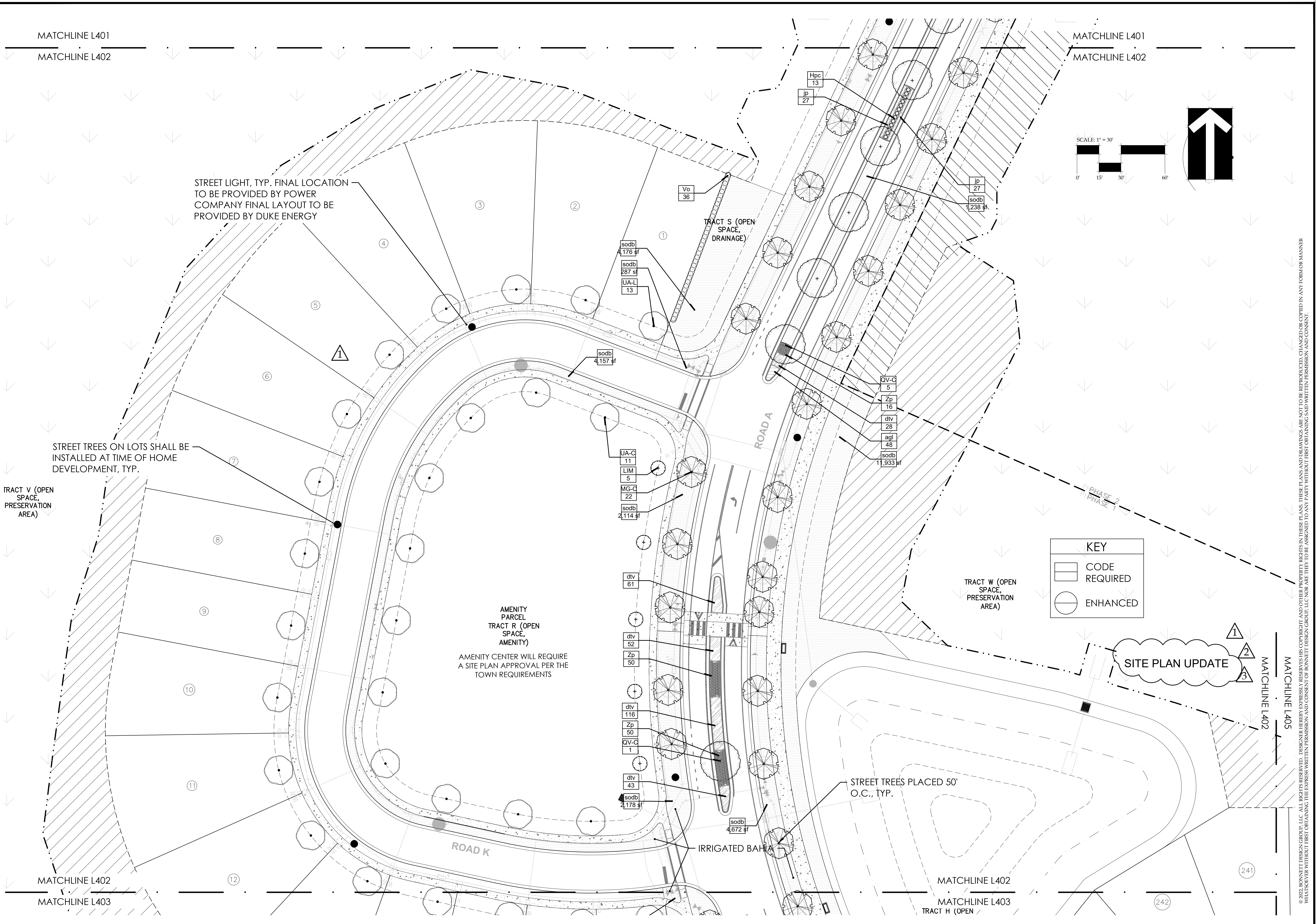
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Todd W. Bonnett, RLA, P.L. 00007276

L402



KEY	
	CODE REQUIRED
	ENHANCED

SITE PLAN UPDATE

STREET LIGHT, TYP. FINAL LOCATION TO BE PROVIDED BY POWER COMPANY FINAL LAYOUT TO BE PROVIDED BY DUKE ENERGY

STREET TREES ON LOTS SHALL BE INSTALLED AT TIME OF HOME DEVELOPMENT, TYP.

TRACT V (OPEN SPACE, PRESERVATION AREA)

TRACT S (OPEN SPACE, DRAINAGE)

TRACT W (OPEN SPACE, PRESERVATION AREA)

AMENITY PARCEL
TRACT R (OPEN SPACE, AMENITY)
AMENITY CENTER WILL REQUIRE A SITE PLAN APPROVAL PER THE TOWN REQUIREMENTS

STREET TREES PLACED 50' O.C., TYP.

IRRIGATED BAHIA

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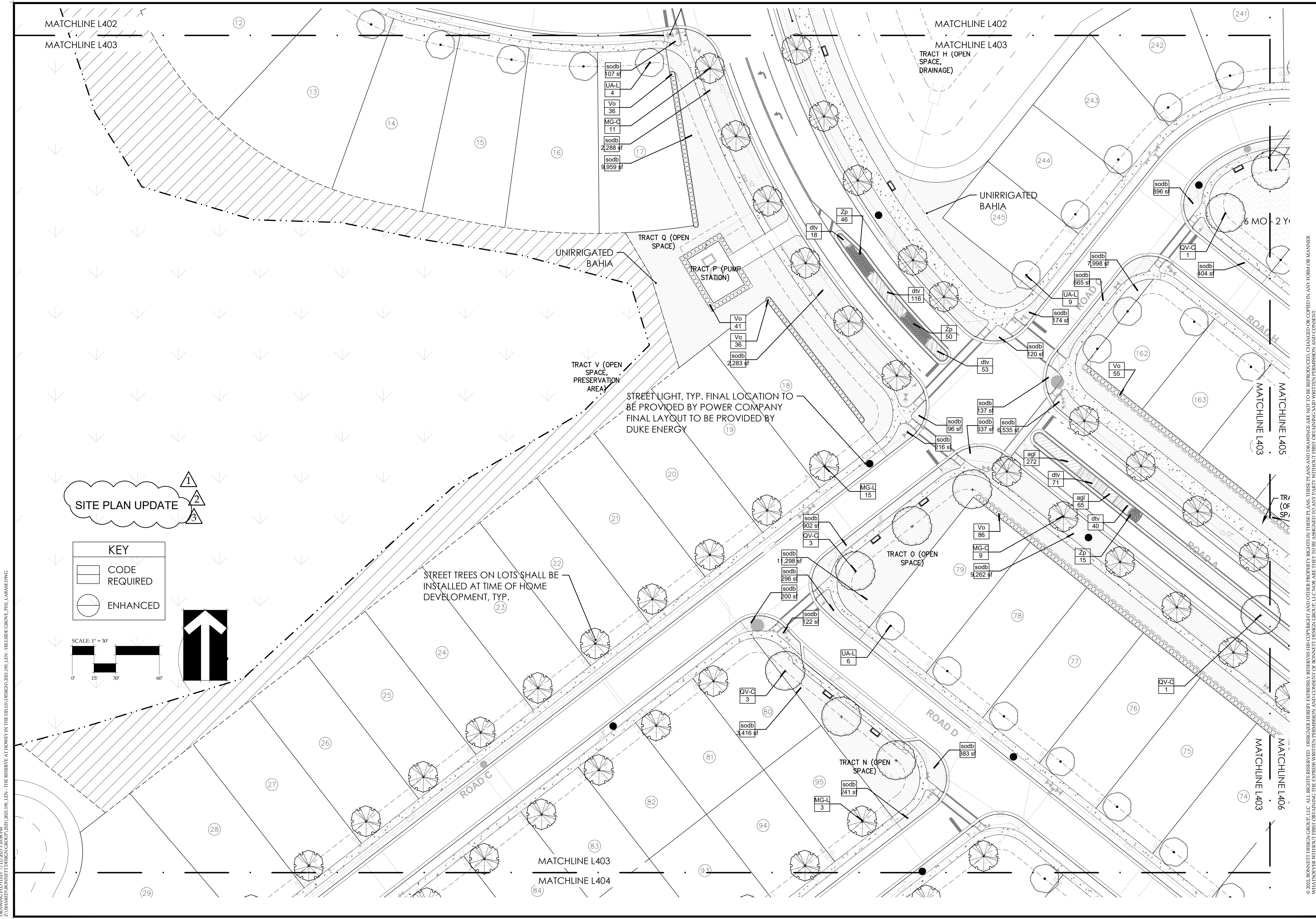
LANDSCAPE PLAN

PHASE 1

DATE: May 27, 2022
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FILE NAME: 2021.195_LEN - HILLSIDE GROVE_PHL_LABASE

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L403



MATCHLINE L402
MATCHLINE L403

MATCHLINE L402
MATCHLINE L403

(241)

(242)

(243)

(244)

(245)

6 MO - 2 Yr

QV-C 1

sodb 404 st

sodb 896 st

sodb 7,998 sf

sodb 665 sf

UA-L 9

sodb 174 st

sodb 120 sf

dtv 53

sodb 137 st

sodb 96 sf

sodb 337 st

sodb 216 st

sodb 6,535 sf

dtv 272

agl 65

dtv 40

Zp 15

Vo 86

MG-C 9

sodb 4,262 sf

MATCHLINE L405

MATCHLINE L403

MATCHLINE L404

MATCHLINE L405

MATCHLINE L406

MATCHLINE L403

MATCHLINE L404

MATCHLINE L403

MATCHLINE L404

sodb 107 sf

UA-L 4

Vo 36

MG-C 11

sodb 2,288 sf

sodb 9,959 sf

TRACT Q (OPEN SPACE)

TRACT P (PUMP STATION)

TRACT V (OPEN SPACE, PRESERVATION AREA)

STREET LIGHT, TYP. FINAL LOCATION TO BE PROVIDED BY POWER COMPANY
FINAL LAYOUT TO BE PROVIDED BY DUKE ENERGY

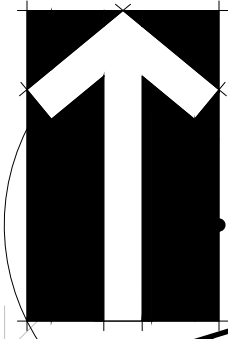
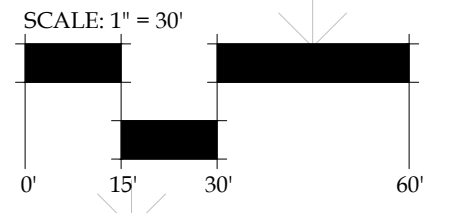
TRACT O (OPEN SPACE)

TRACT N (OPEN SPACE)

STREET TREES ON LOTS SHALL BE INSTALLED AT TIME OF HOME DEVELOPMENT, TYP.

SITE PLAN UPDATE

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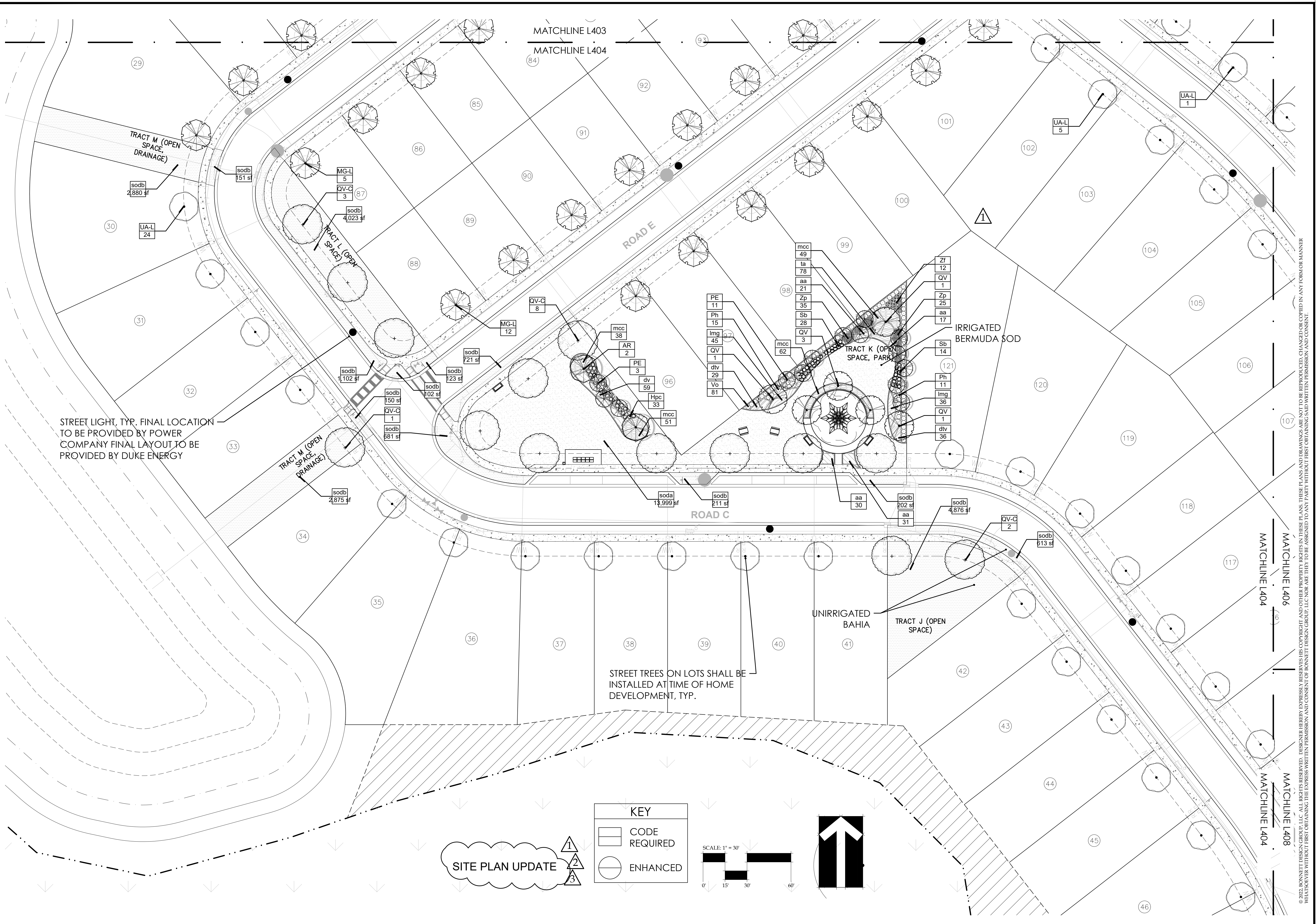
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1 City Comments 09-29-2022
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L404



MATCHLINE L403
MATCHLINE L404

MATCHLINE L404
MATCHLINE L406

MATCHLINE L404
MATCHLINE L408

STREET LIGHT, TYR. FINAL LOCATION
TO BE PROVIDED BY POWER
COMPANY FINAL LAYOUT TO BE
PROVIDED BY DUKE ENERGY

STREET TREES ON LOTS SHALL BE
INSTALLED AT TIME OF HOME
DEVELOPMENT, TYP.

IRRIGATED
BERMUDA SOD

UNIRRIGATED
BAHIA

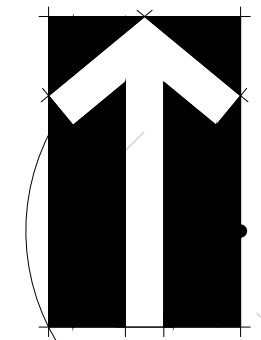
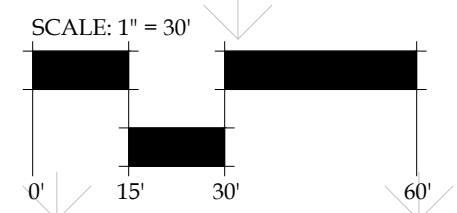
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SPACE)

TRACT K (OPEN
SPACE, PARK)

TRACT M (OPEN
SPACE,
DRAINAGE)

TRACT L (OPEN
SPACE)

KEY	
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[Symbol]	ENHANCED



SITE PLAN UPDATE

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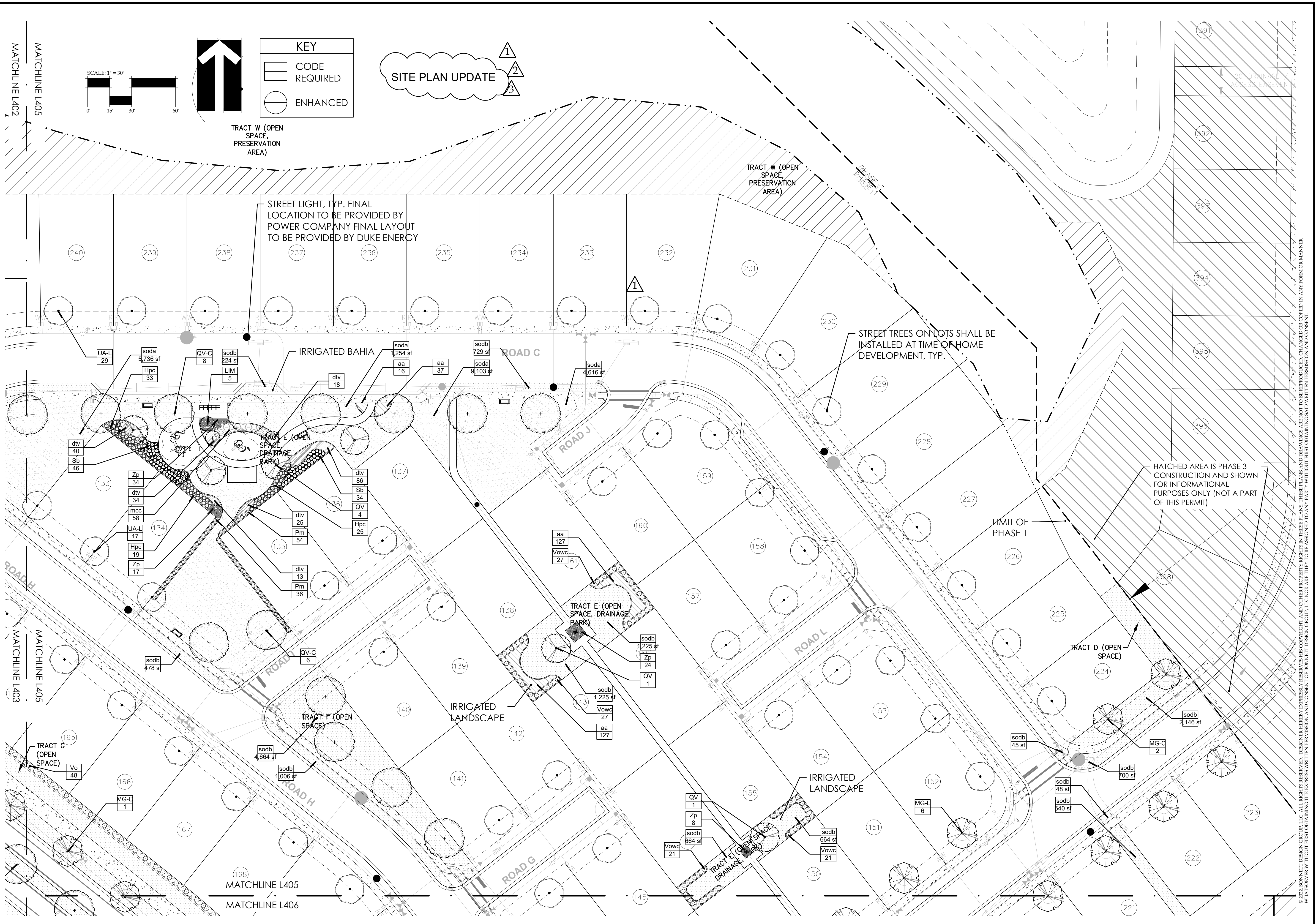
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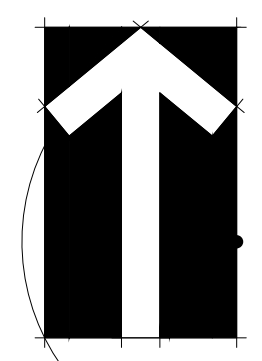
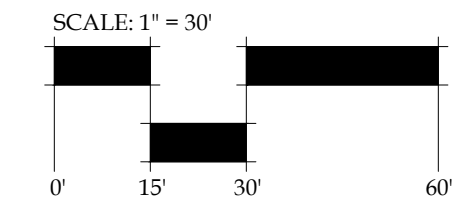
L405



KEY

- CODE REQUIRED
- ENHANCED

SITE PLAN UPDATE



TRACT W (OPEN SPACE, PRESERVATION AREA)

TRACT W (OPEN SPACE, PRESERVATION AREA)

STREET LIGHT, TYP. FINAL LOCATION TO BE PROVIDED BY POWER COMPANY FINAL LAYOUT TO BE PROVIDED BY DUKE ENERGY

STREET TREES ON LOTS SHALL BE INSTALLED AT TIME OF HOME DEVELOPMENT, TYP.

HATCHED AREA IS PHASE 3 CONSTRUCTION AND SHOWN FOR INFORMATIONAL PURPOSES ONLY (NOT A PART OF THIS PERMIT)

LIMIT OF PHASE 1

TRACT E (OPEN SPACE, DRAINAGE, PARK)

TRACT D (OPEN SPACE)

TRACT F (OPEN SPACE)

TRACT G (OPEN SPACE)

MATCHLINE L405

MATCHLINE L406

MATCHLINE L402

MATCHLINE L403

MATCHLINE L405

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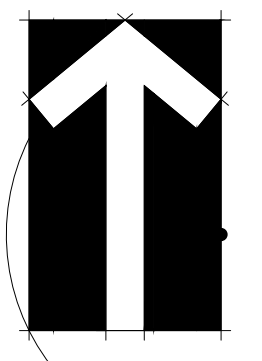
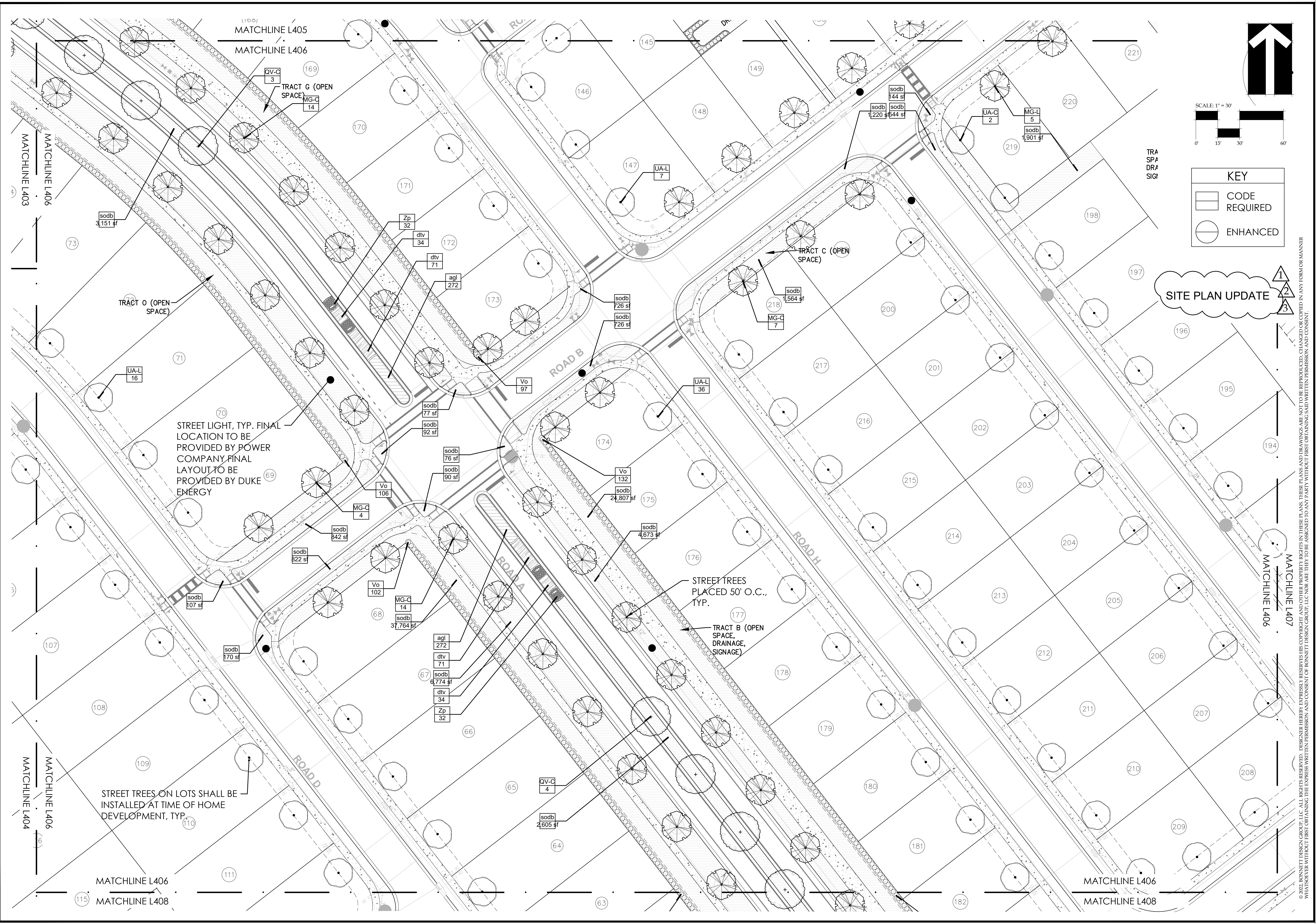
PHASE 1

DATE: May 27, 2022
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L406



SCALE: 1" = 30'

KEY	
	CODE REQUIRED
	ENHANCED

SITE PLAN UPDATE

STREET LIGHT, TYP. FINAL LOCATION TO BE PROVIDED BY POWER COMPANY. FINAL LAYOUT TO BE PROVIDED BY DUKE ENERGY

STREET TREES PLACED 50' O.C., TYP.

STREET TREES ON LOTS SHALL BE INSTALLED AT TIME OF HOME DEVELOPMENT, TYP.

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Hillside Grove Landscape Architecture Easton & Associates HOWEY-IN-THE-HILLS, FLORIDA LANDSCAPE PLAN

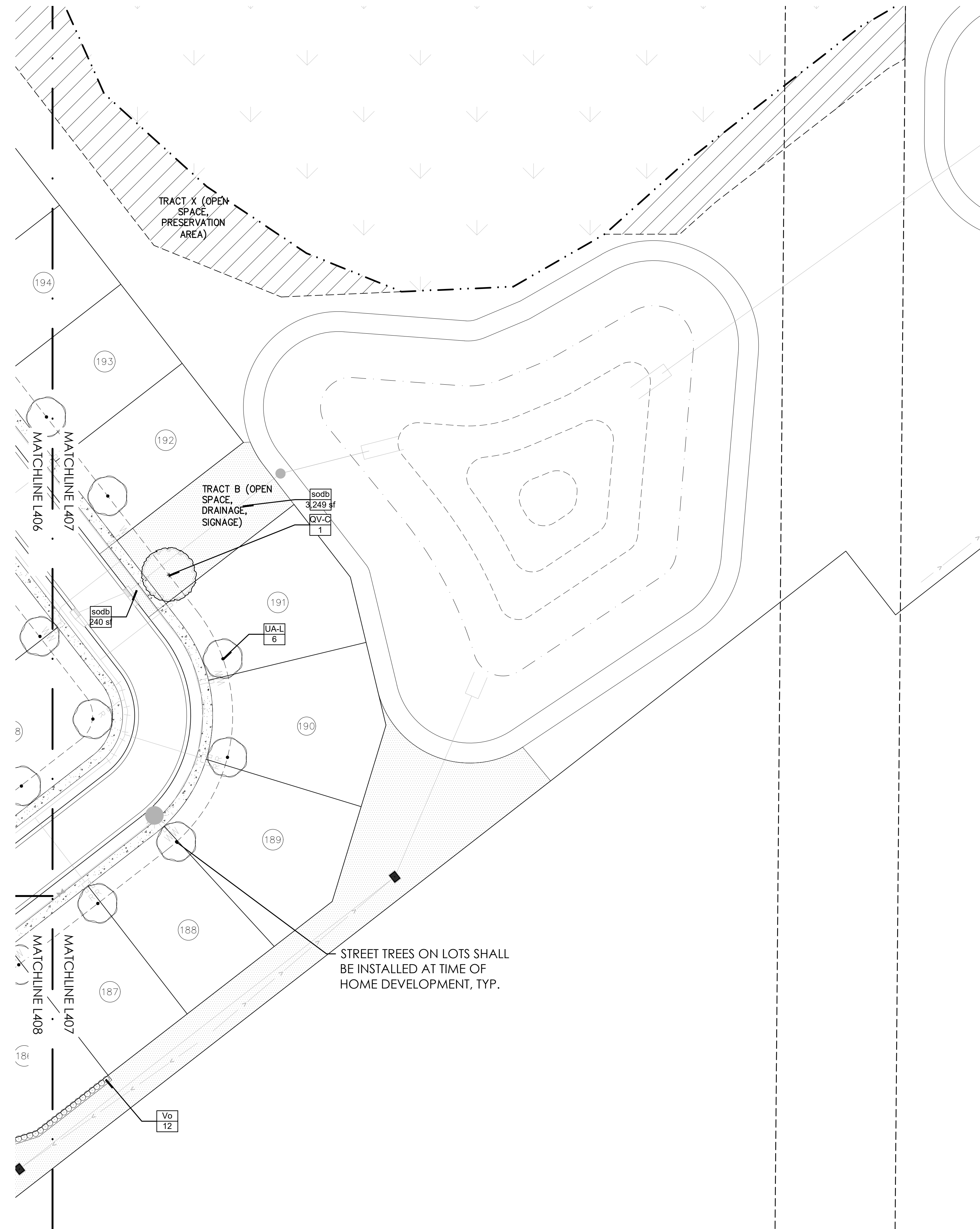
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DATE: May 27, 2022
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JOB NUMBER: 2021.195
FILE NAME: 2021.195_LEN - HILLSIDE GROVE_PHL_LABASE

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2 City Comments 11-17-2022
3 City Comments 06-23-2023

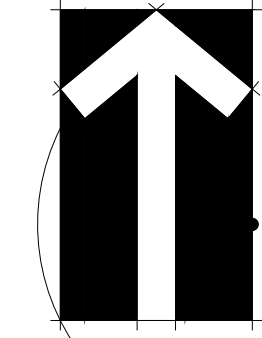
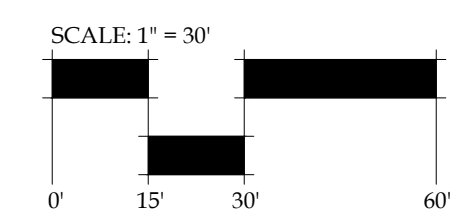
Traci W. Bonnett, RLA, P.L. 00007276

L407



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2
3
SITE PLAN UPDATE

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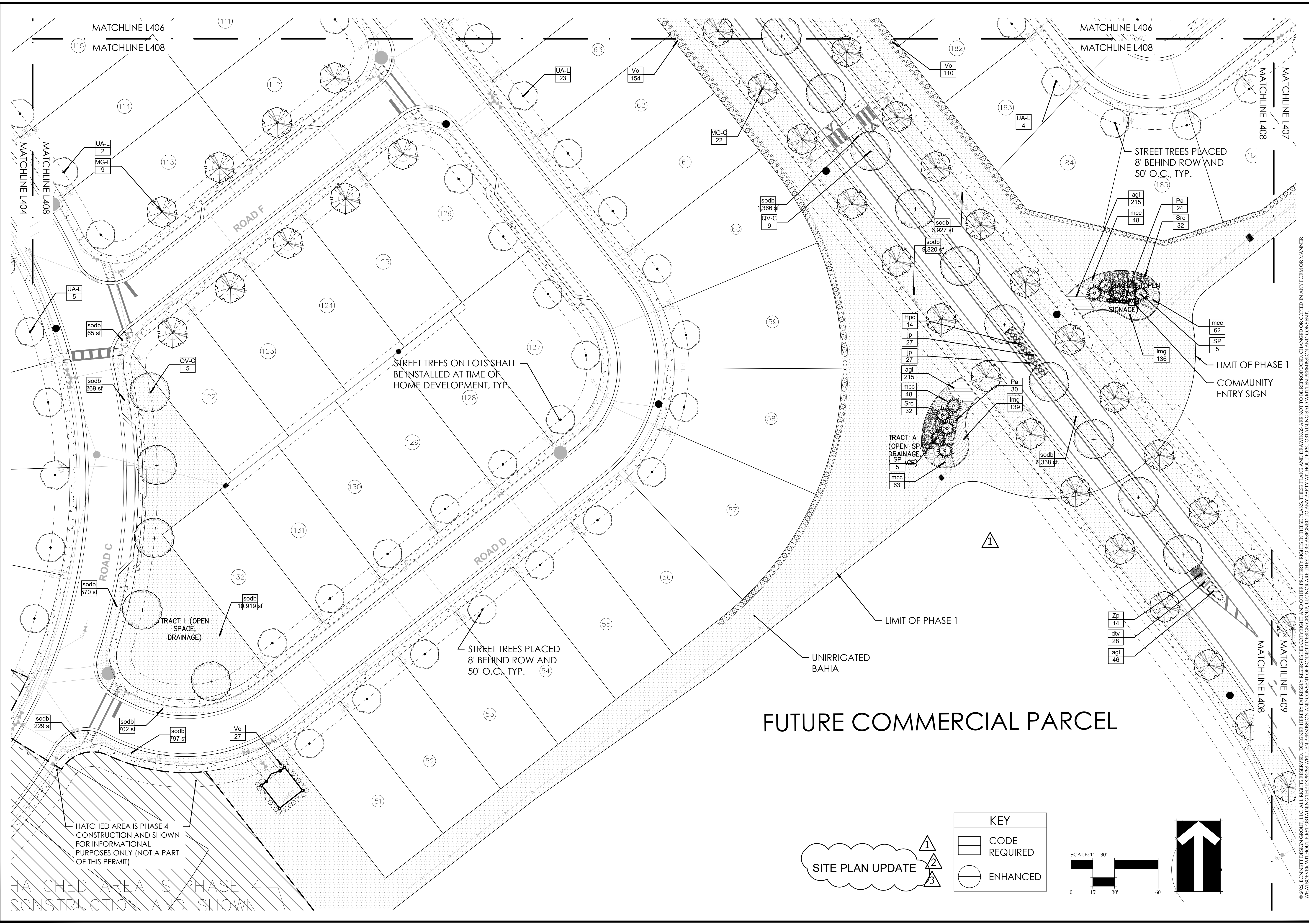
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L408



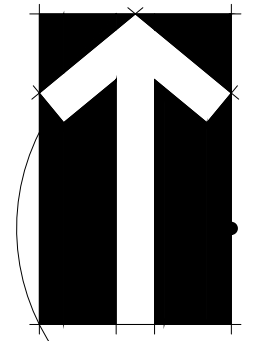
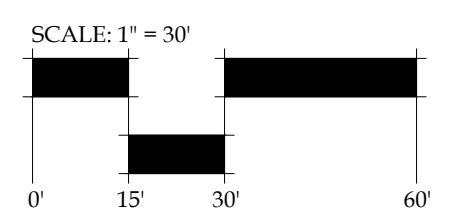
STREET TREES ON LOTS SHALL BE INSTALLED AT TIME OF HOME DEVELOPMENT, TYP.

STREET TREES PLACED 8' BEHIND ROW AND 50' O.C., TYP.

STREET TREES PLACED 8' BEHIND ROW AND 50' O.C., TYP.

FUTURE COMMERCIAL PARCEL

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SITE PLAN UPDATE

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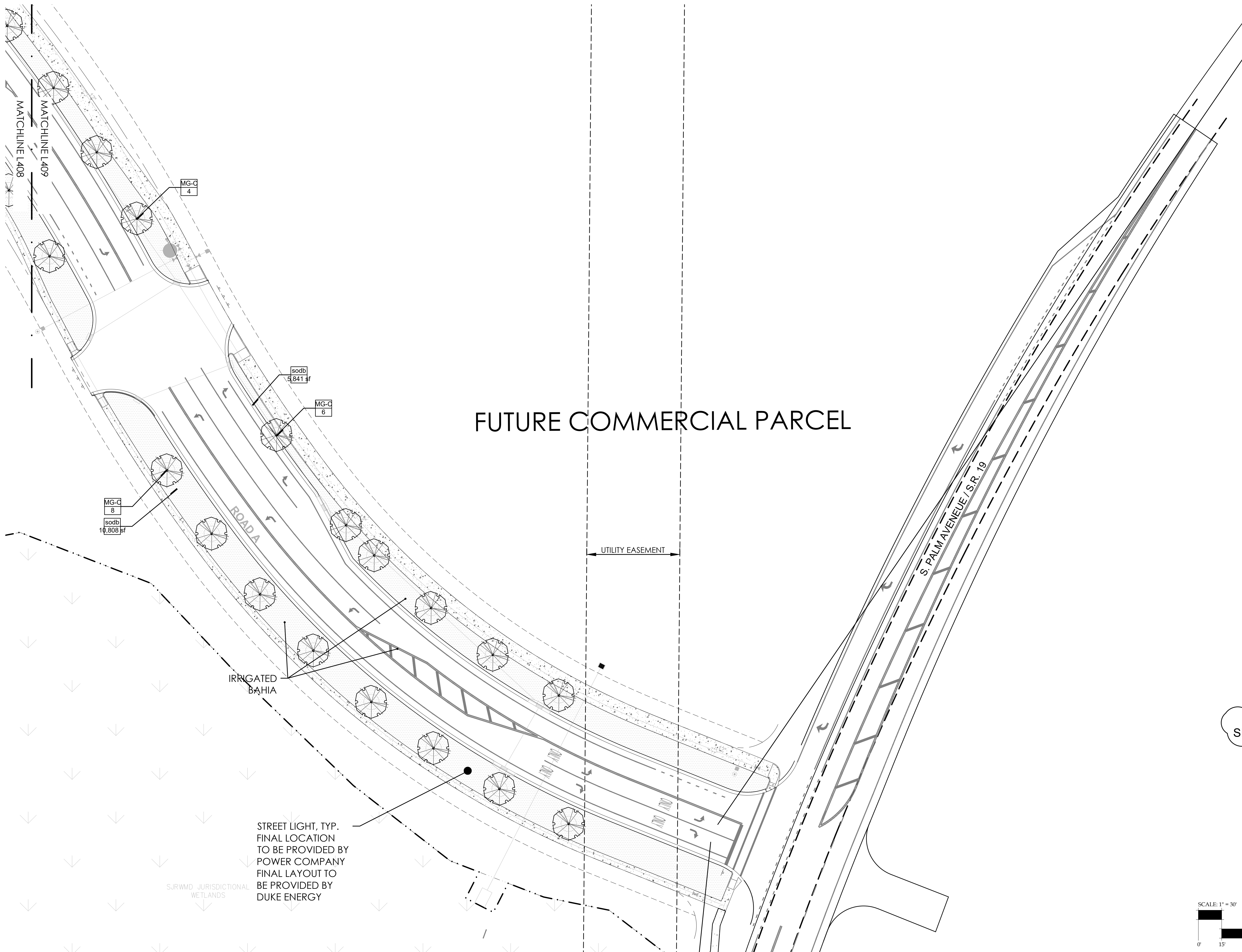
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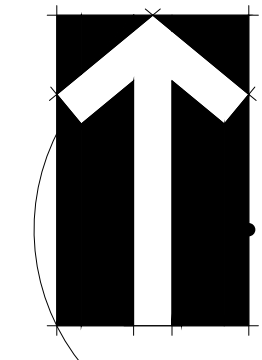
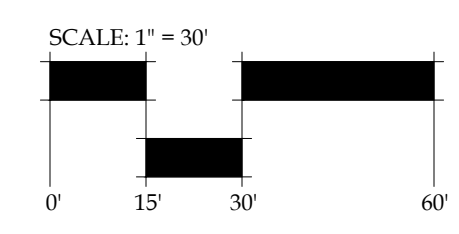
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L409



SITE PLAN UPDATE

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GENERAL REQUIREMENTS

The Landscape Contractor shall be responsible for all materials and all work as called for on the landscape plans. The list of plant quantities accompanying the plans shall be used as guide only. If a discrepancy occurs between the plans and the plant list, the plans shall control.

The Landscape Contractor shall warranty all trees for a period of one (1) year and shrubs and ground covers for a period of six (6) months from the time of final acceptance by Owner and Landscape Architect.

The Landscape Contractor shall be wholly responsible for the stability and plumb condition of all trees and shall be legally liable for any damage caused by the instability of any plant material. Staking of trees and palms, if required, shall be done utilizing a method agreed upon by the Landscape Architect.

The Landscape Contractor shall research plans and contact appropriate agencies to determine the location of any utilities and obstructions prior to commencing work. Any utilities or unanticipated obstructions shall be reported to Landscape Architect or Owner immediately.

All plant material and sodded areas shall have an automatic underground irrigation system providing 100% coverage.

Positive drainage shall be maintained away from all structures on the site.

PLANT SPECIFICATIONS

All nursery stock plant material shall be Florida #1 or better in accordance with Grades and Standards for Nursery Plants Parts I & II, latest edition as published by the Florida Department of Agriculture and Consumer Services- Division of Plant Industry.

All plant material shall be planted, fertilized and mulched as per the plant details and planting specifications noted on the plans.

All container grown material shall be healthy, vigorous, well rooted plants, and established in the container in which they are delivered to the site. The plants shall have tops which are good quality and in a healthy growing condition. Established container grown plant material shall be grown in that container sufficiently long enough for the new fibrous roots to have developed enabling the root mass to retain its shape when removed the container. Plants which have become root bound in the container are unacceptable.

All plant material that is not container grown shall be freshly dug, sound, healthy, vigorous, well branched, and free of disease and insect eggs and larvae, and shall have adequate root systems. Where any requirements are omitted from the plant list, the plants furnished shall be normal for the variety. Plants may be pruned prior to delivery only upon the approval of the Landscape Architect.

FERTILIZER

Two fertilizers shall be used on all types of plantings, except palms. Granular fertilizer shall be uniform in composition, dry and free flowing. This fertilizer shall be delivered to the site in the original unopened bags bearing the manufacturer's statement of analysis. Granular fertilizer shall be a controlled release variety meeting the following requirements: sixteen percent (16%) nitrogen, four percent (4%) phosphorus, eight percent (8%) potassium, plus iron. Tablet fertilizer ("Agriform" or approved equal) in 21 gram size shall meet the following requirements: twenty percent (20%) nitrogen, ten percent (10%) phosphorus, five percent (5%) potassium.

Application Rates:

Plant size	16-4-8	"Agriform" tablet (21 grams)
1 gallon	1/4 lb.	1 tablet
3 gallon	1/3 lb.	2 tablets
7-15 gallon	1/2 lb.	4 tablets
1" - 6" caliper	2 lbs. per 1" caliper	2 tablets per 1" caliper
6" + caliper	3 lbs. per 1" caliper	2 tablets per 1" caliper

Sodded areas shall receive an application of the granular fertilizer (16-4-8) at a rate of 1/2 lb. of Nitrogen per 1,000 square feet of sod area.

"Palm Special" fertilizer shall be applied to all palms at installation at a rate of 1 1/2 lbs. per 100 square feet of canopy area. Palm fertilizer shall be a controlled release variety containing chelated micro nutrients and a ratio of N-P-K-Mg of 2:1:3:1.

SOIL

Planting soil for use in preparing the backfill material for planting pits shall be added a rate of fifty percent (50%) planting soil to fifty percent (50%) existing soil. This soil mix shall be used in all plant pits except Sabal Palms which shall be backfilled with clean sand. Planting soil shall be a fertile, friable natural topsoil of loamy character. It shall contain forty (40) to fifty (50) percent decomposed organic matter and be free of heavy clay, stones larger than 1" in diameter, noxious weeds and plants, sod, partially disintegrated debris, insects or any other undesirable material, plants or seeds that would be toxic or harmful to plant growth.

MULCH

All plant beds and tree watering basins shall be top dressed with three inches (3") of pine bark mini-nuggets mulch.

SOD

Refer to Landscape Plan for limits of sod.

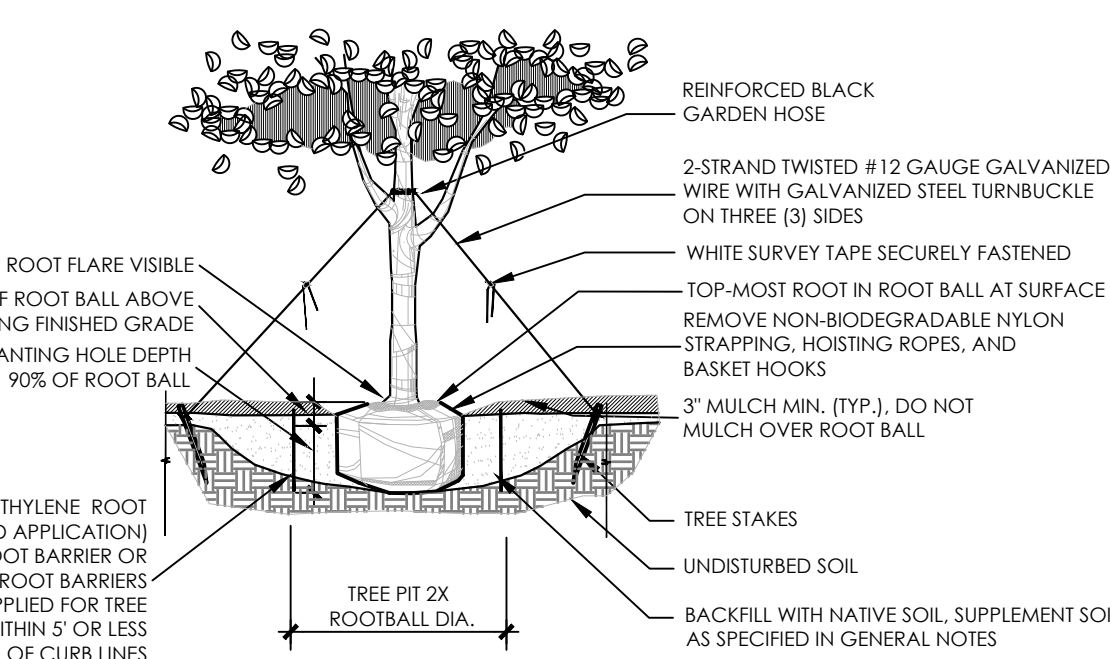
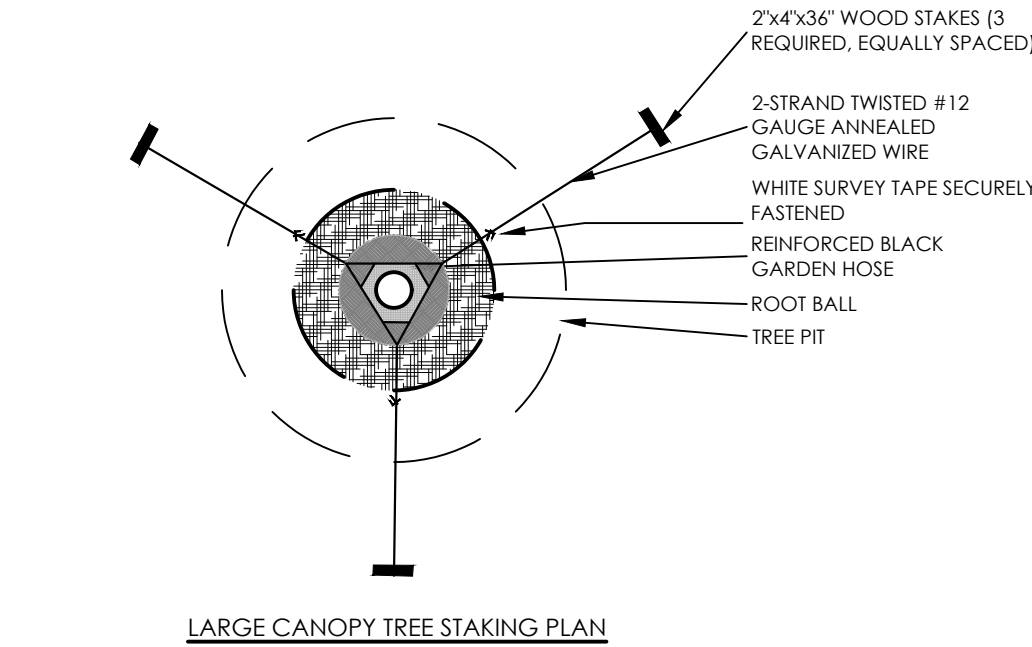
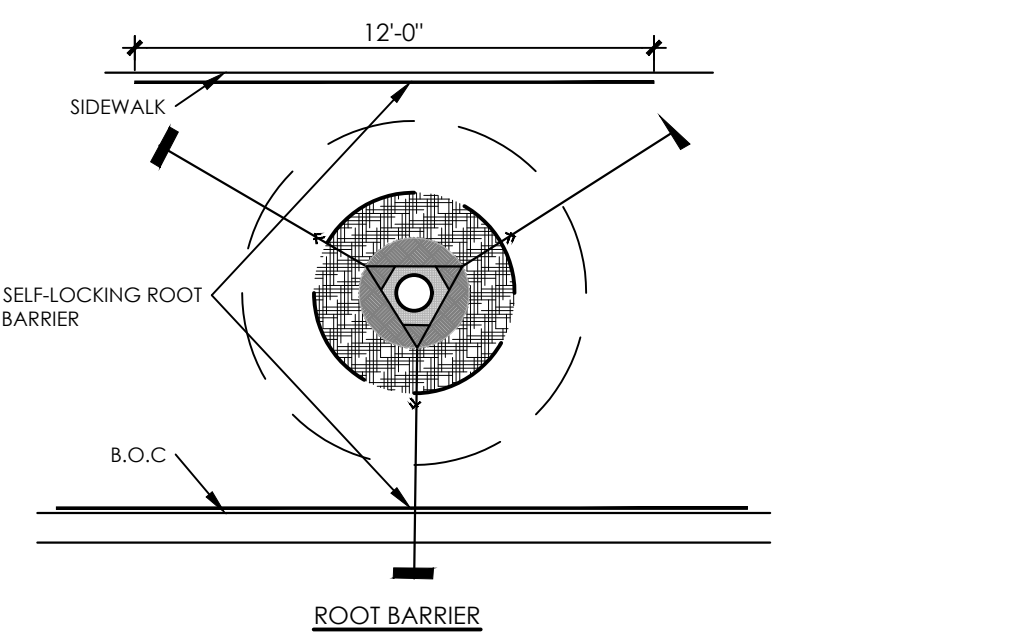
All areas disturbed by construction (including material staging, equipment storage, temporary facilities, site access, construction staff parking, etc.) beyond the minimum limits of sod as shown on the Landscape Plan shall be sodded as needed.

All lawn areas to receive sod shall be disked four (4) to six (6) inches and graded to establish a level finished grade ensuring positive drainage from all structures. All debris shall be removed from the site.

Sod shall be free of weeds and pests. It shall be laid evenly with tight fitting joints and rolled. The sod shall contain moist soil which does not fall apart or tear when lifted.

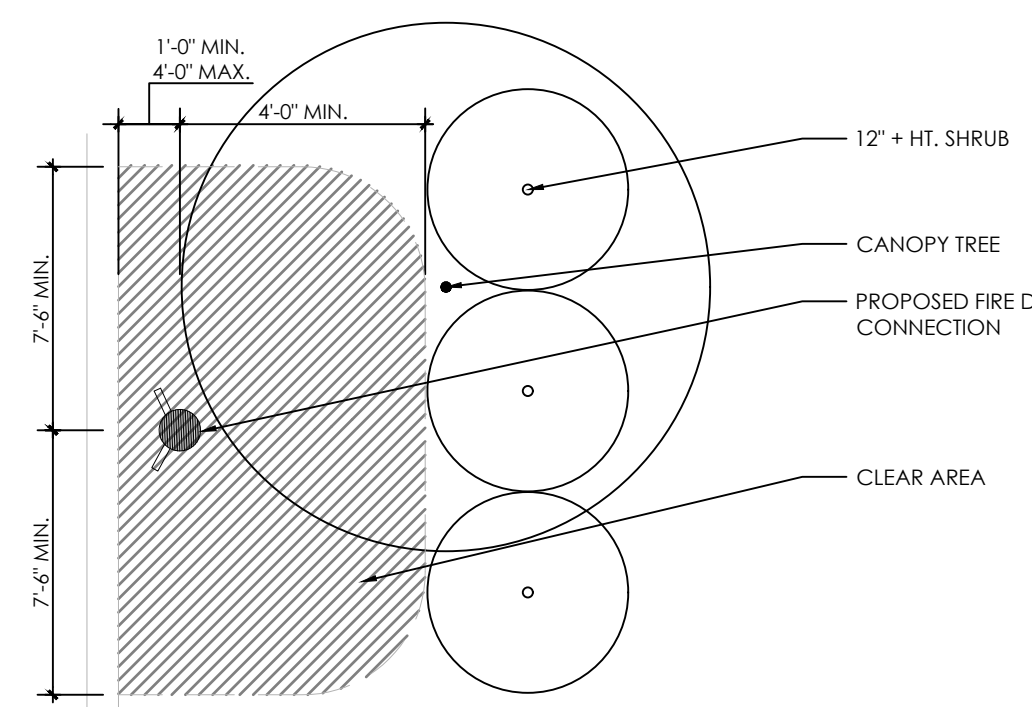
See plant list for specific sod species and locations.

See 'Fertilizer' for requirements of all sodded areas.

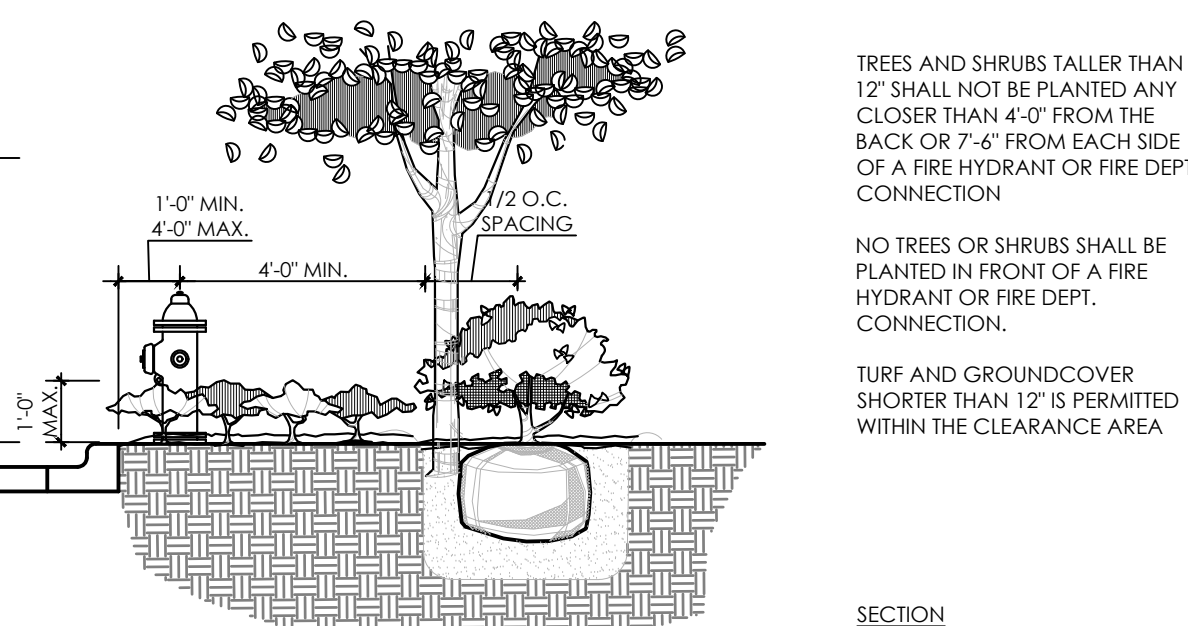


LARGE CANOPY TREE PLANTING DETAIL

N.T.S.



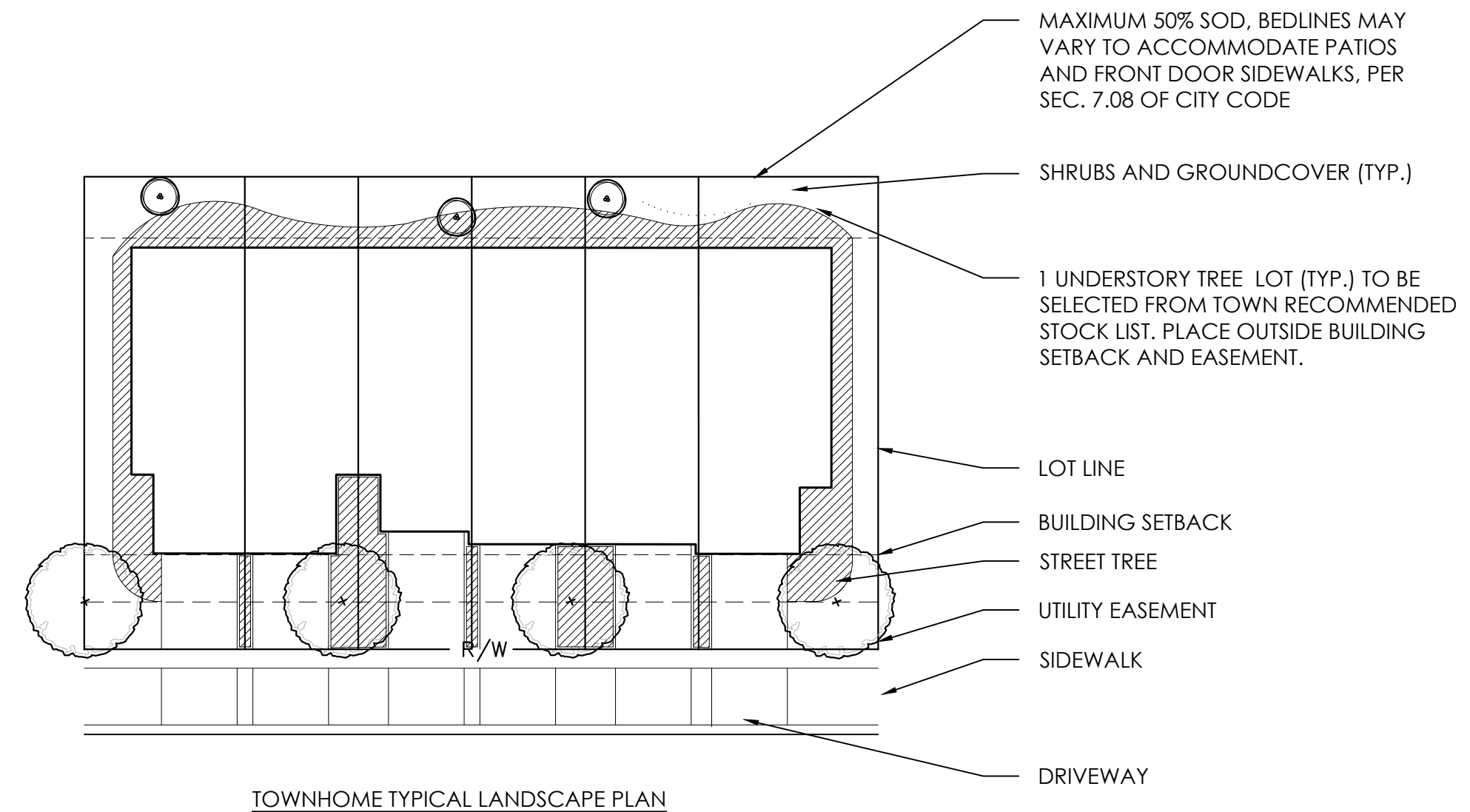
PLAN



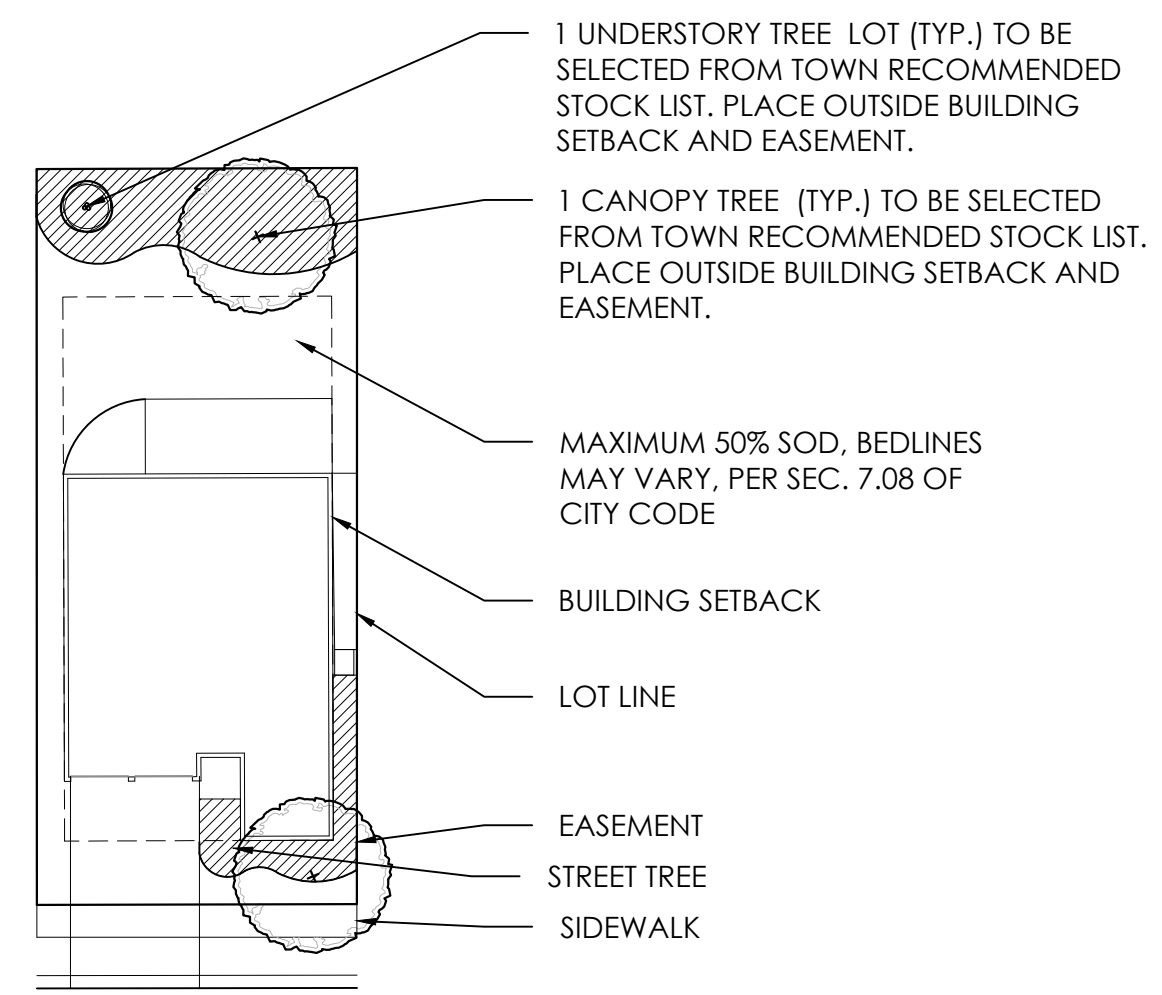
SECTION

TYPICAL PLANTING AT FIRE HYDRANT

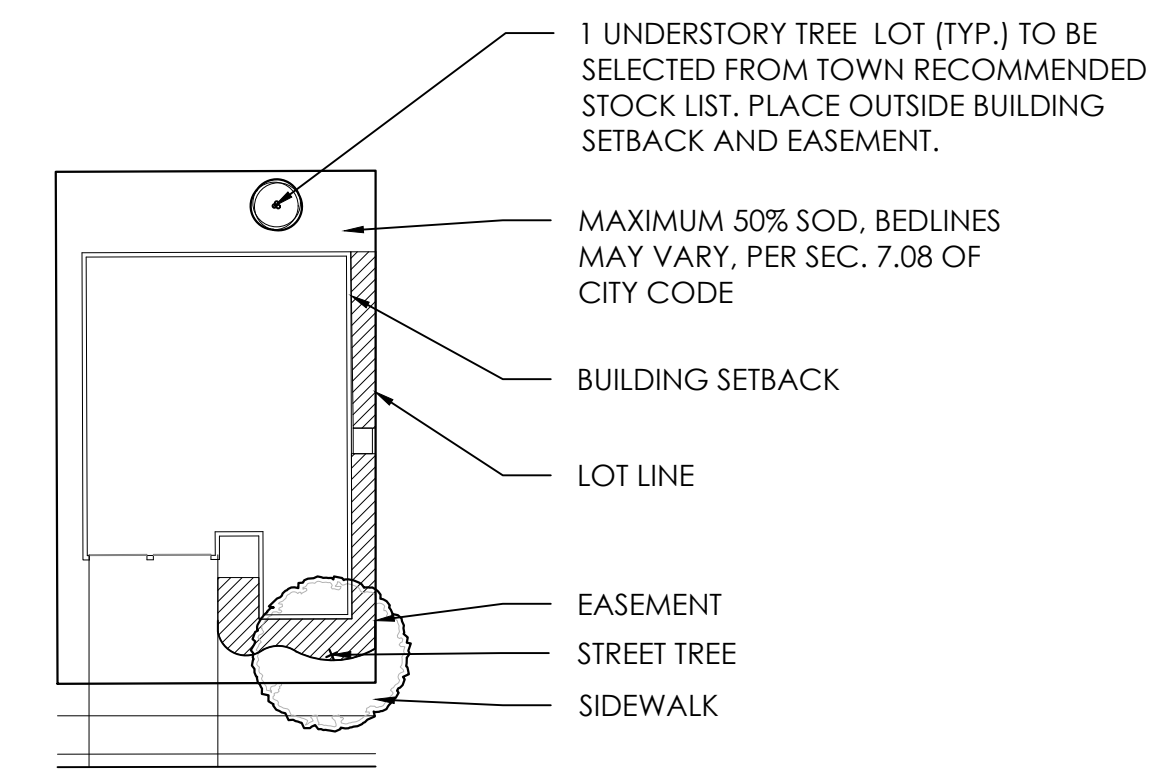
N.T.S.



TOWNHOME TYPICAL LANDSCAPE PLAN



TYPICAL LOT WITH TREES



TYPICAL LOT WITH TREES, 50'X80'

NOTE: TREE SUPPORT MATERIALS SHALL BE REMOVED FROM EACH TREE ONCE IT IS ESTABLISHED. THIS IS USUALLY DONE AFTER 6 MONTHS FOR SHADE TREES AND 1 YEAR FOR PALM TREES.

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HOWEY-IN-THE-HILLS, FLORIDA
LANDSCAPE DETAILS & NOTES

PHASE 1

DATE: May 27, 2022
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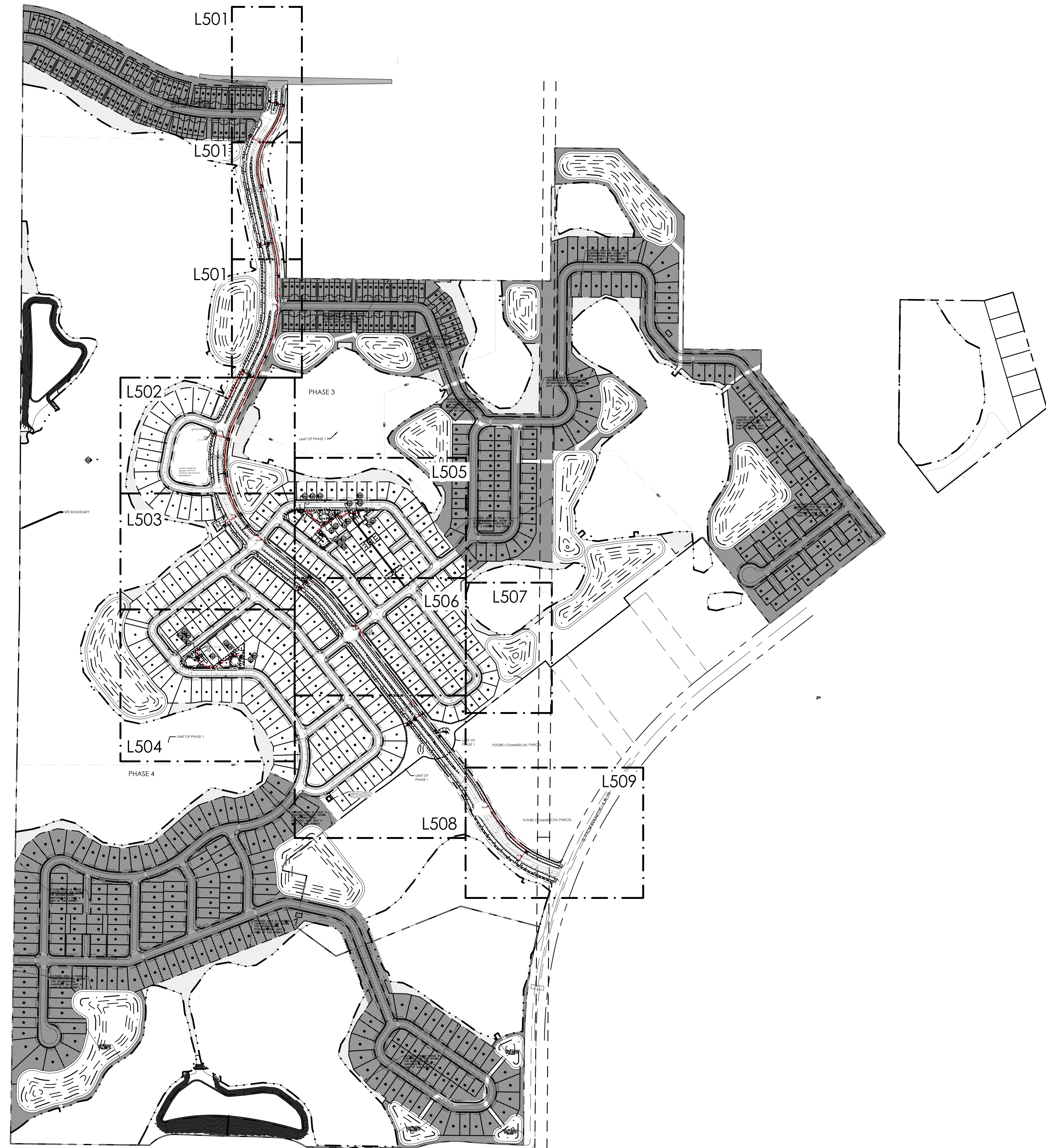
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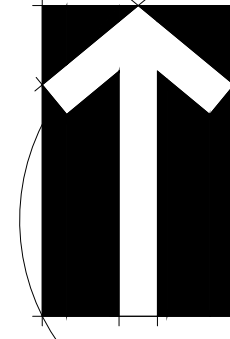
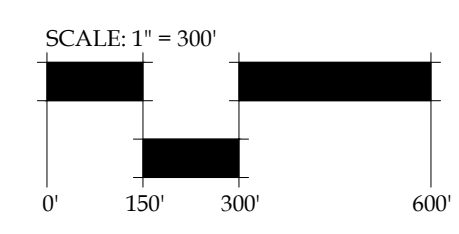


L500



SITE PLAN UPDATE

NOTE: PER 7.06.03 IRRIGATION DESIGN AND INSTALLATION AFFIDAVITS, THIS IRRIGATION SYSTEM WILL COMPLY WITH THE STANDARDS OF HOWEY-IN-THE-HILLS WATER CONSERVATION PLAN, IRRIGATION STANDARDS.



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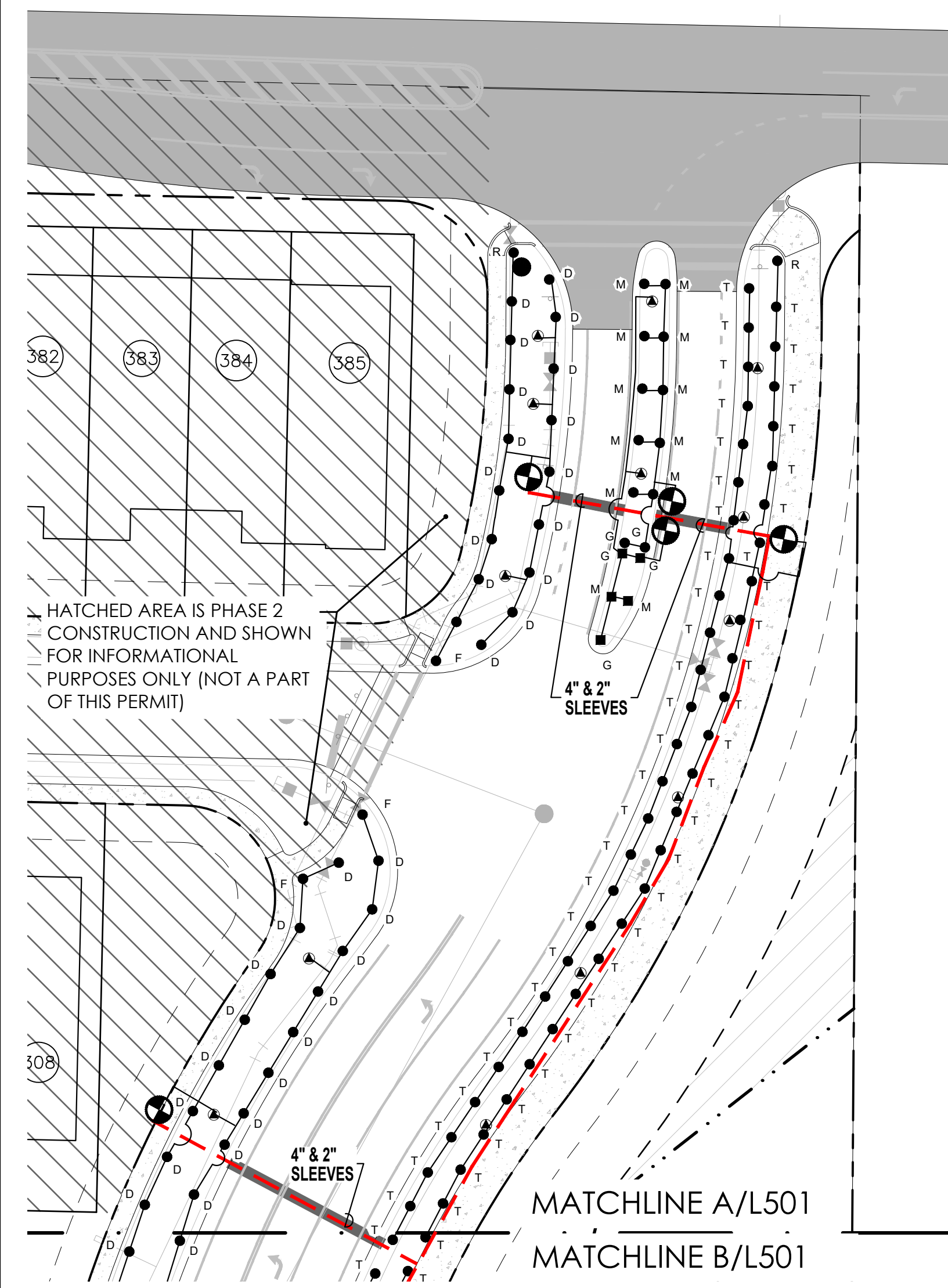
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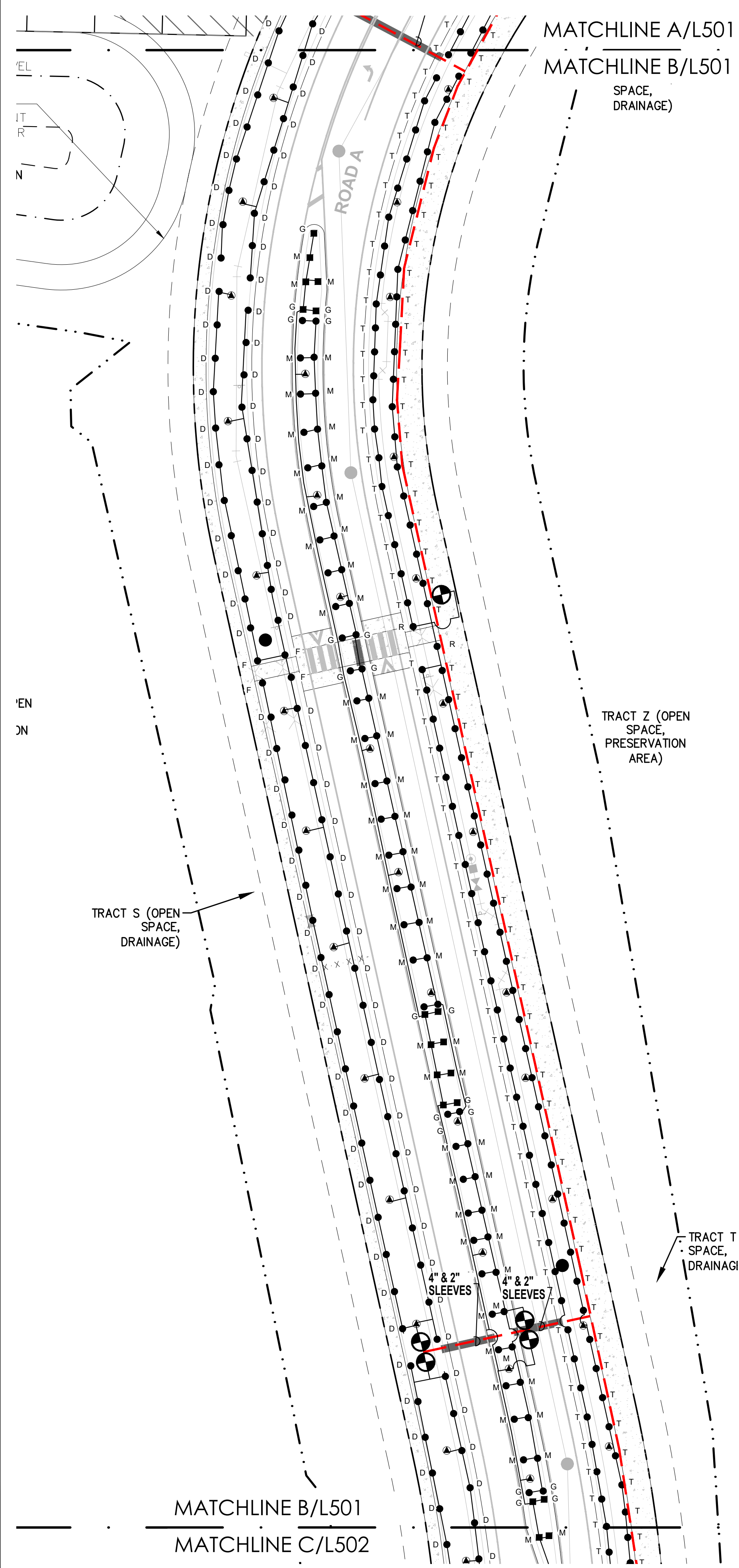
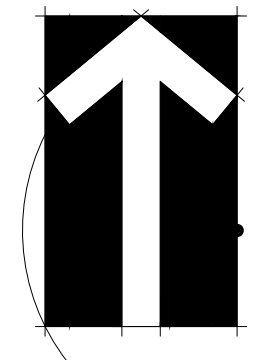
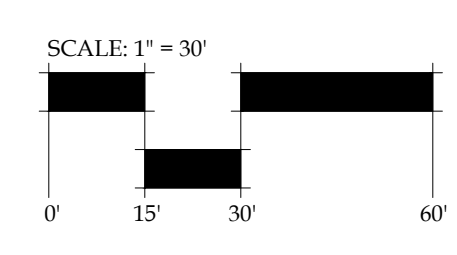
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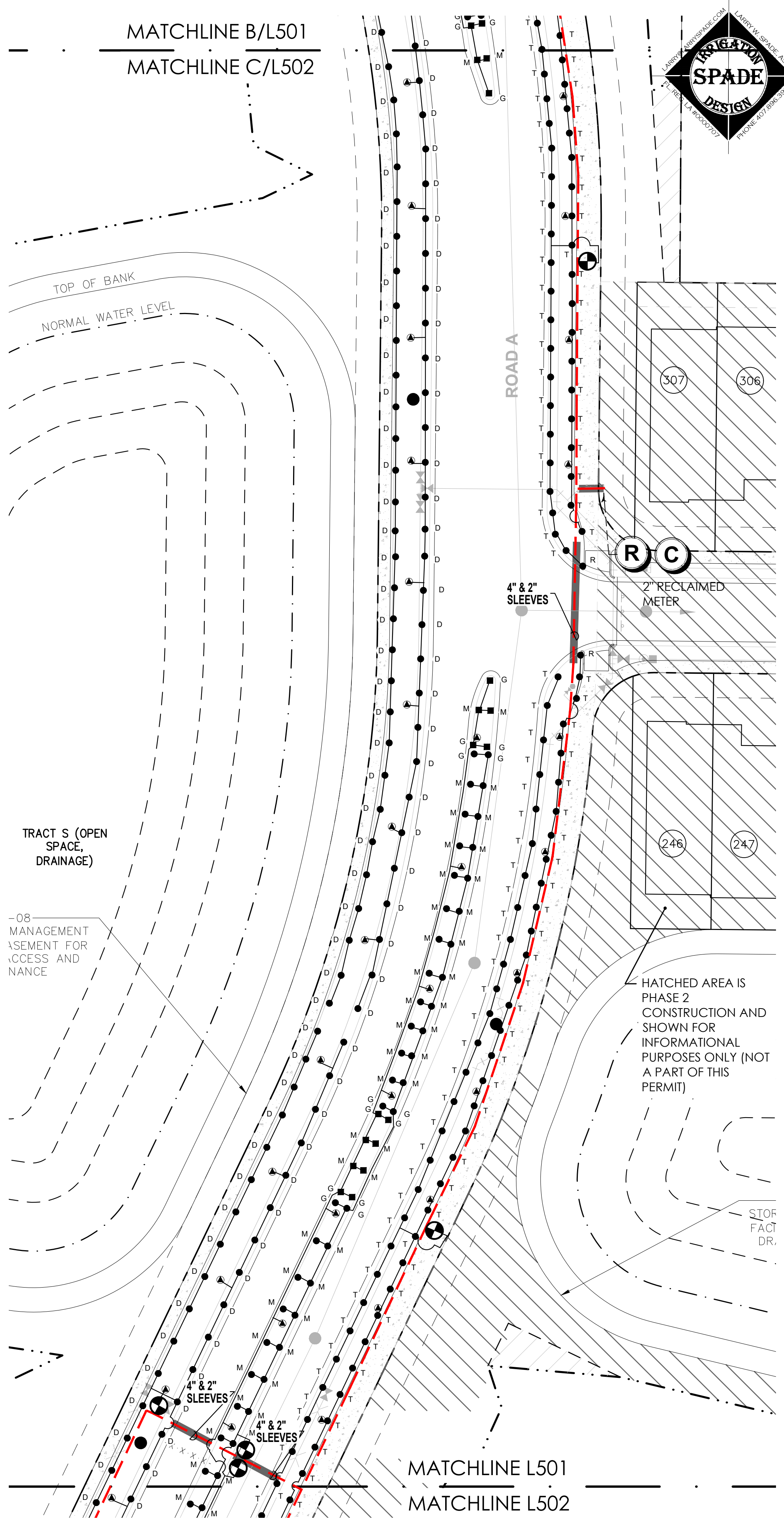


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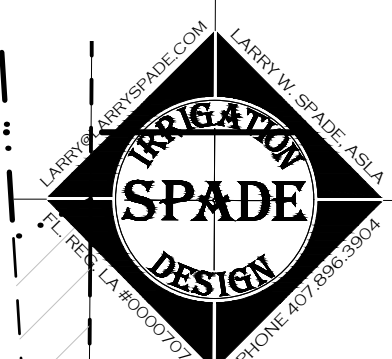
PLANT SHRUB HEAD NOTE
SPRAY HEADS WERE USED IN THE PLANT BEDS INSTEAD OF MICRO-IRRIGATION. THESE ZONES SHALL BE TURNED OFF AFTER THE PLANTS ARE ESTABLISHED.



MATCHLINE A/L501
MATCHLINE B/L501
SPACE,
DRAINAGE)



MATCHLINE B/L501
MATCHLINE C/L502



R C

2" RECLAIMED METER

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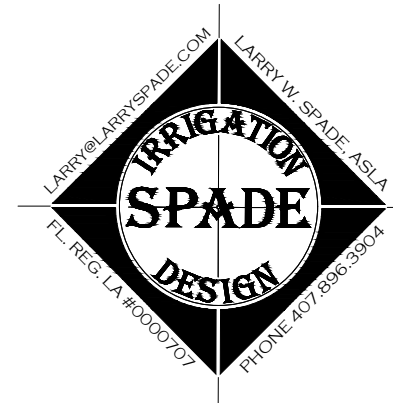
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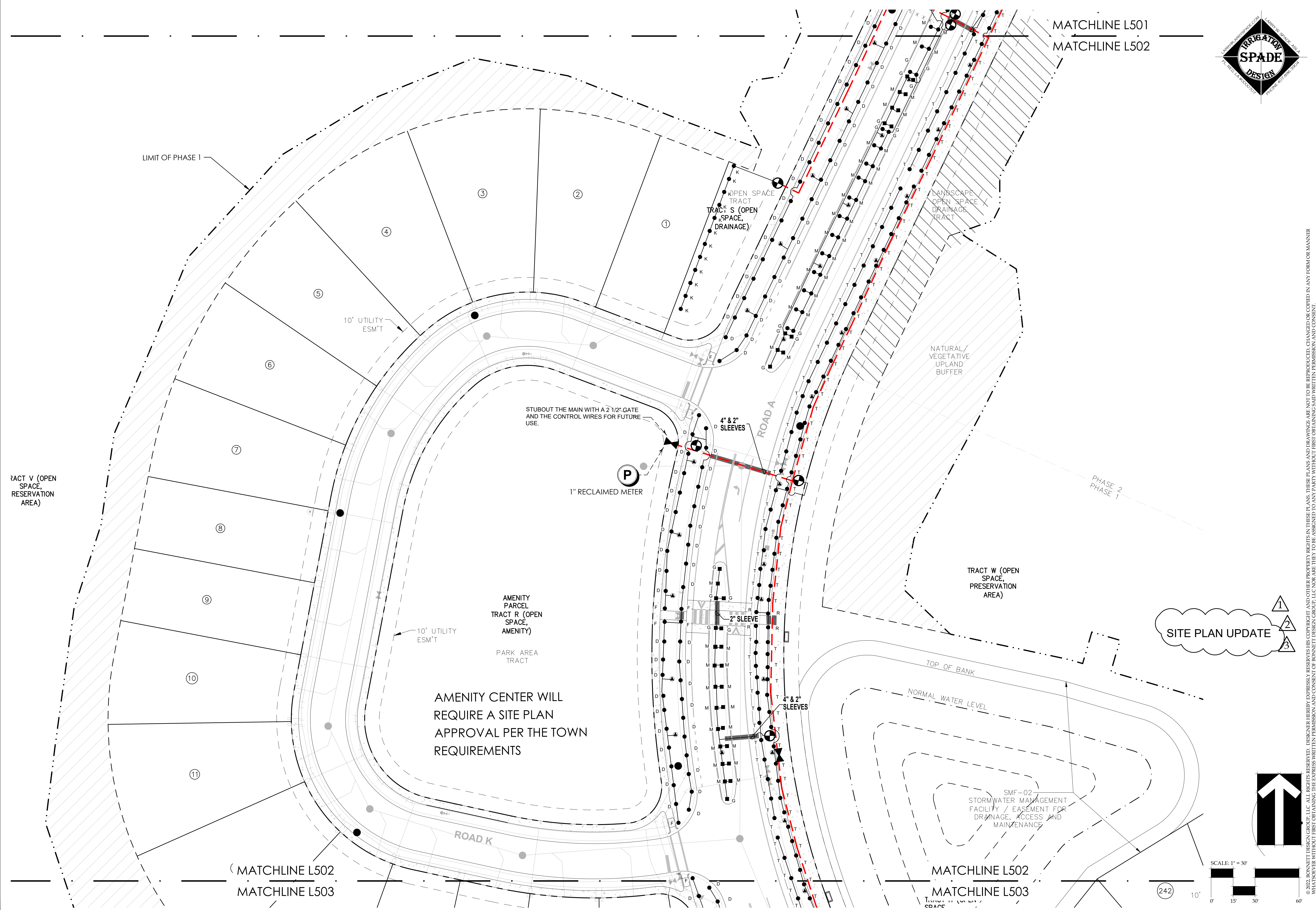
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L502



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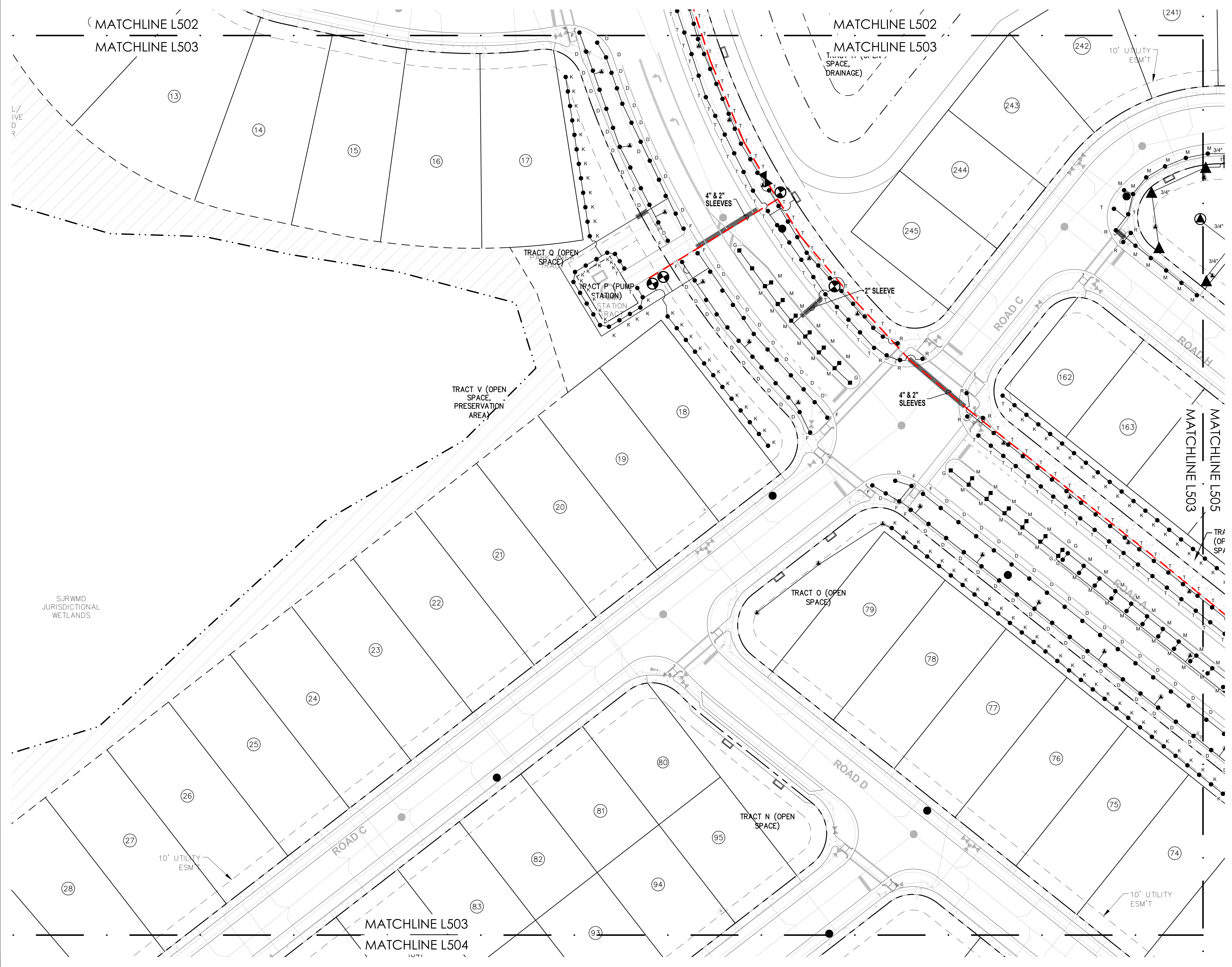
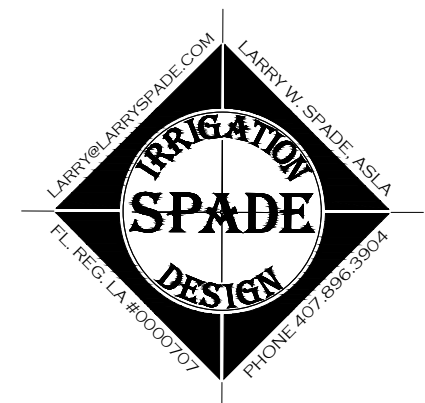
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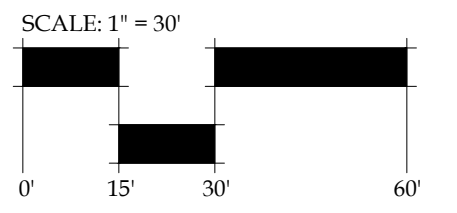
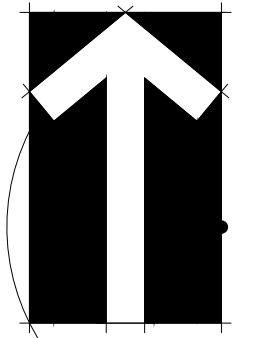
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400 South Orlando Ave, Suite 201
Maitland, FL 32751
407.622.1588 voice

Hillside Grove Landscape Architecture Easton & Associates HOWEY-IN-THE-HILLS, FLORIDA IRRIGATION PLAN

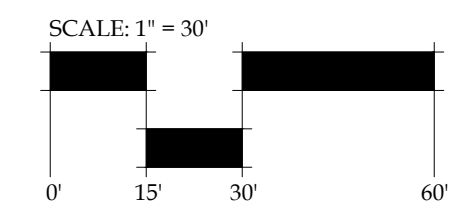
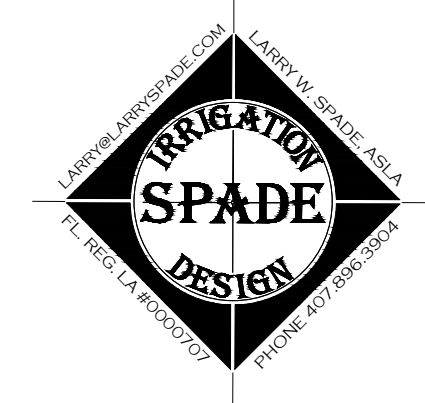
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DATE: May 27, 2022
DRAWN BY: LWS
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JOB NUMBER: 2021.195
FILE NAME: 21.195_LEN - HILLSIDE GROVE_PHL_IRBASE

REVISIONS:
1 City Comments 09-29-2022
2 City Comments 11-17-2022



L504



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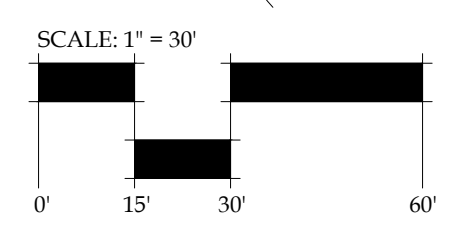
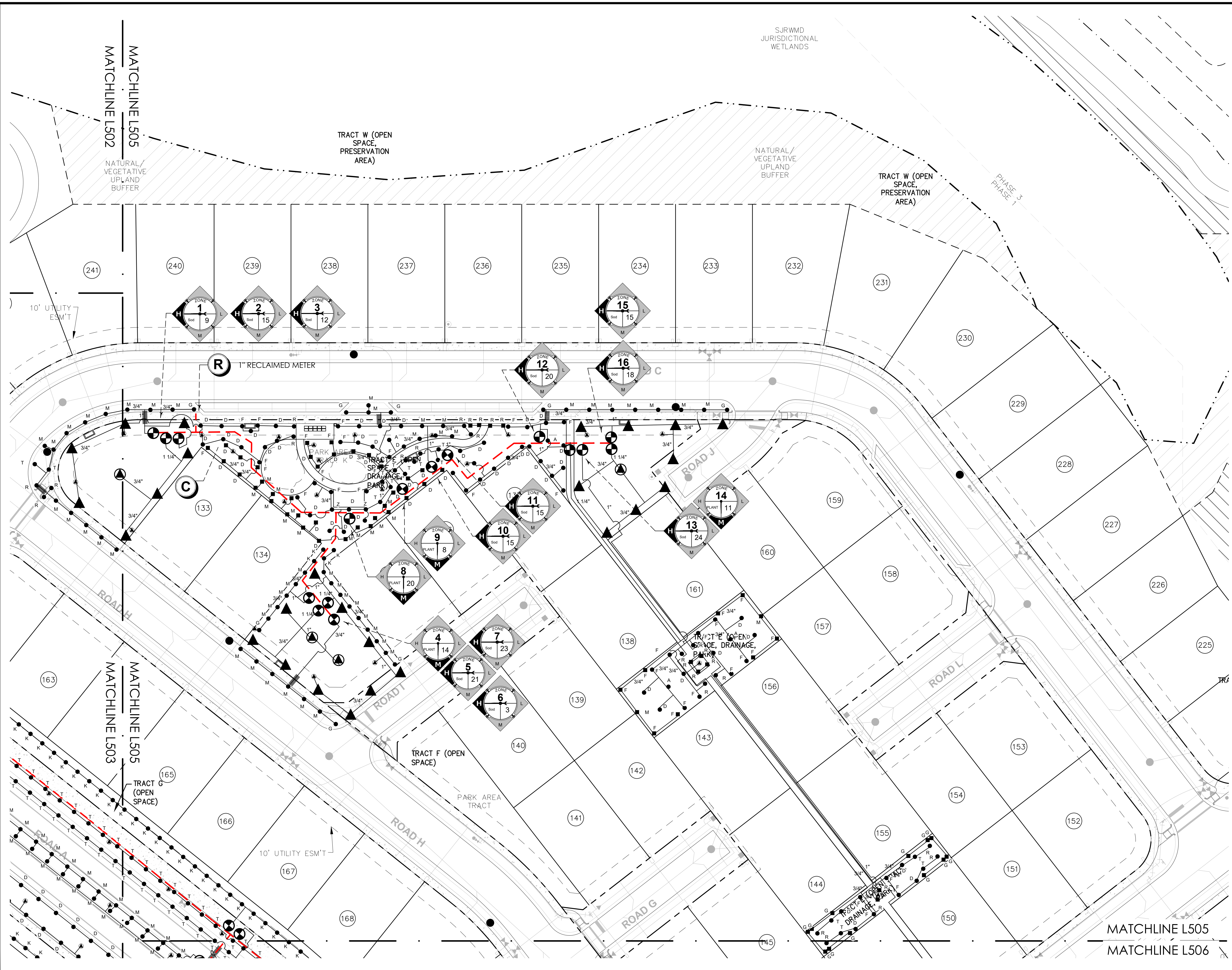
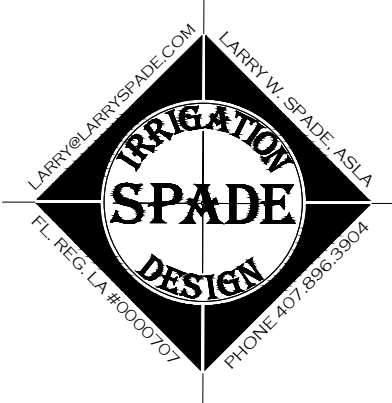
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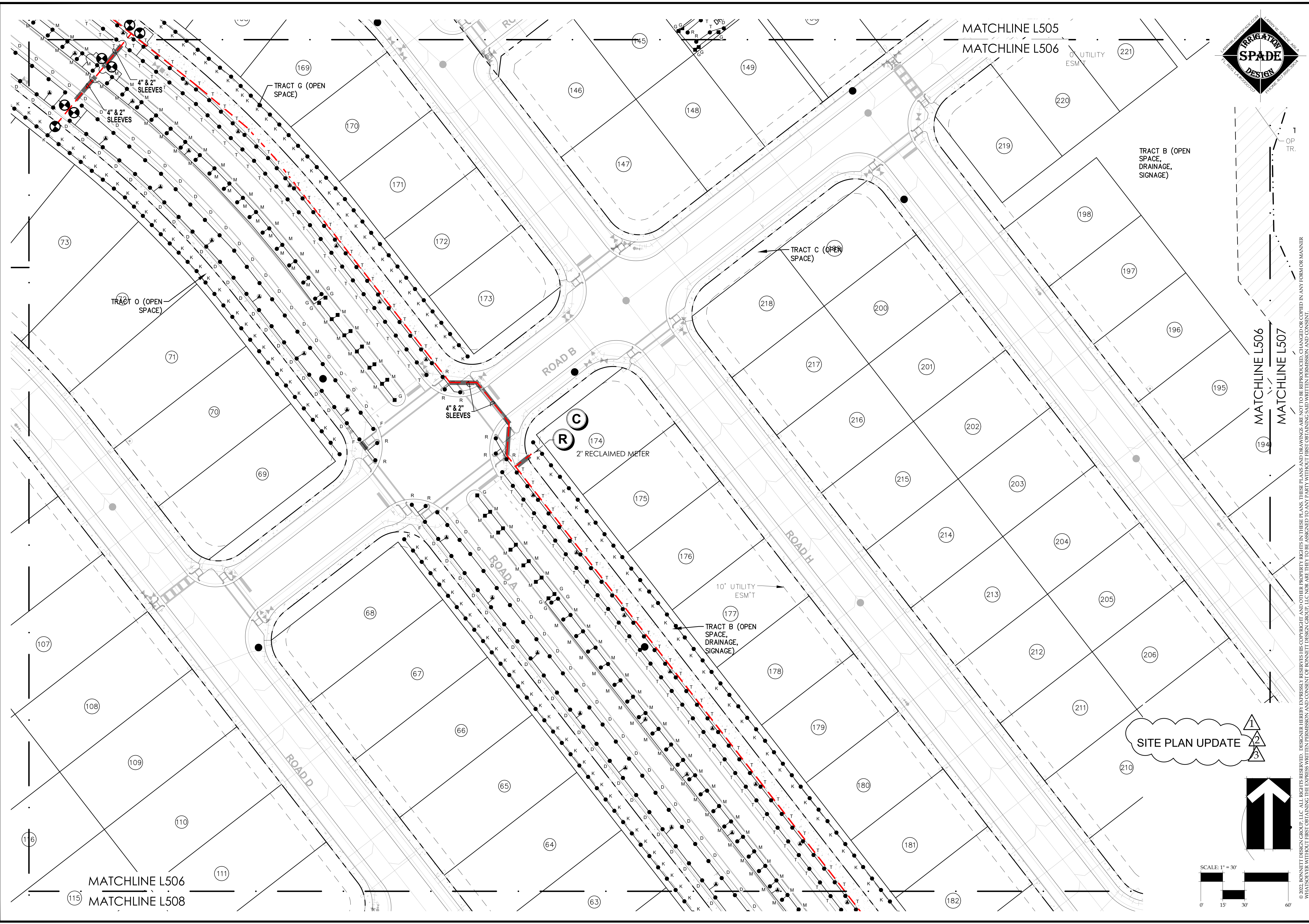
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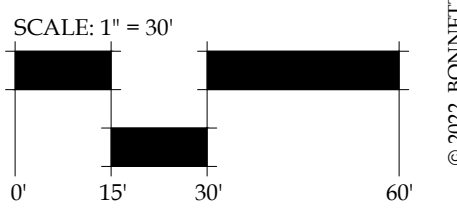
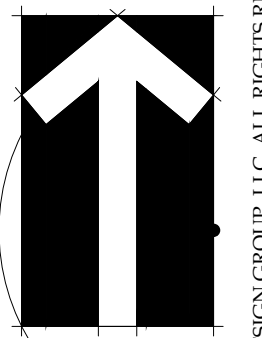
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SITE PLAN UPDATE
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MATCHLINE L506
MATCHLINE L508

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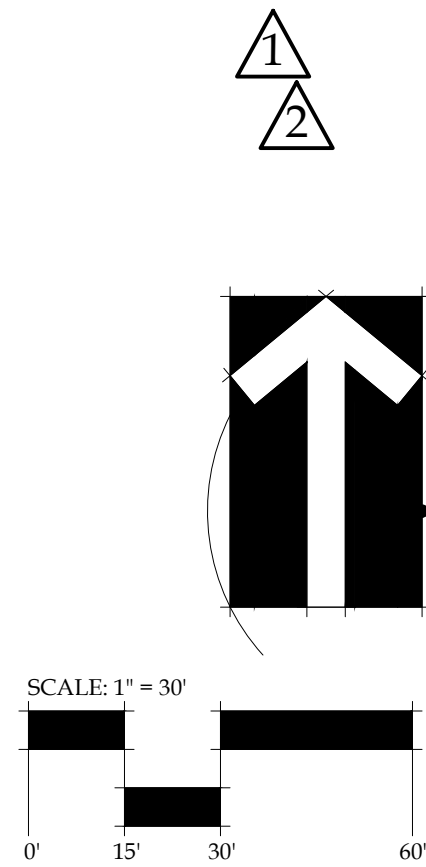
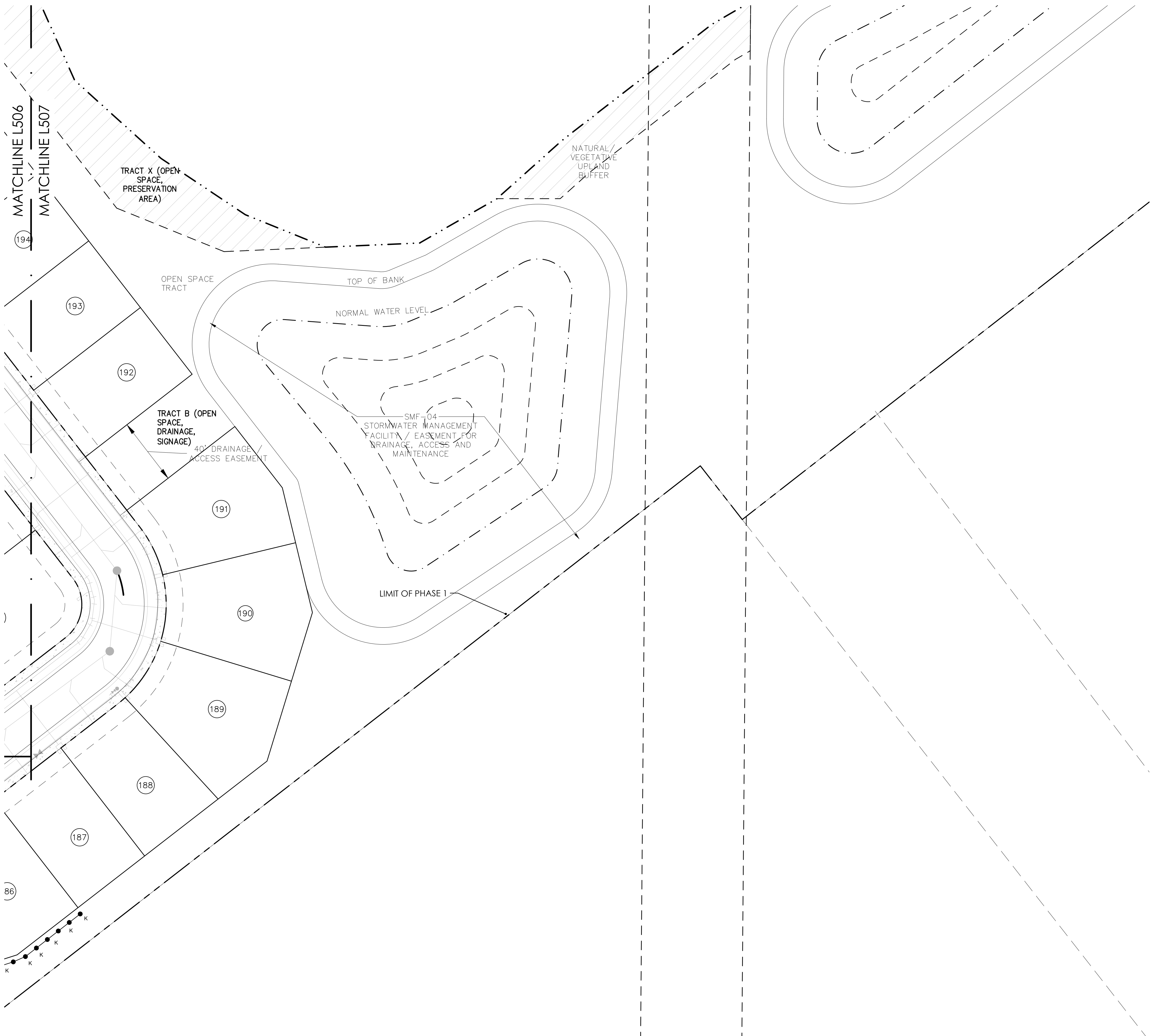
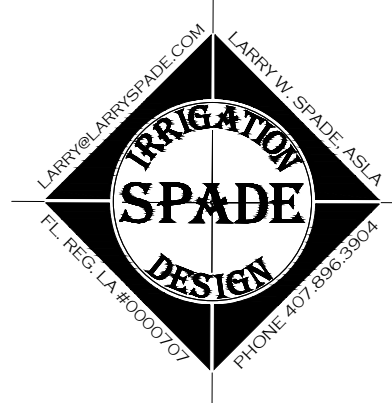
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L507



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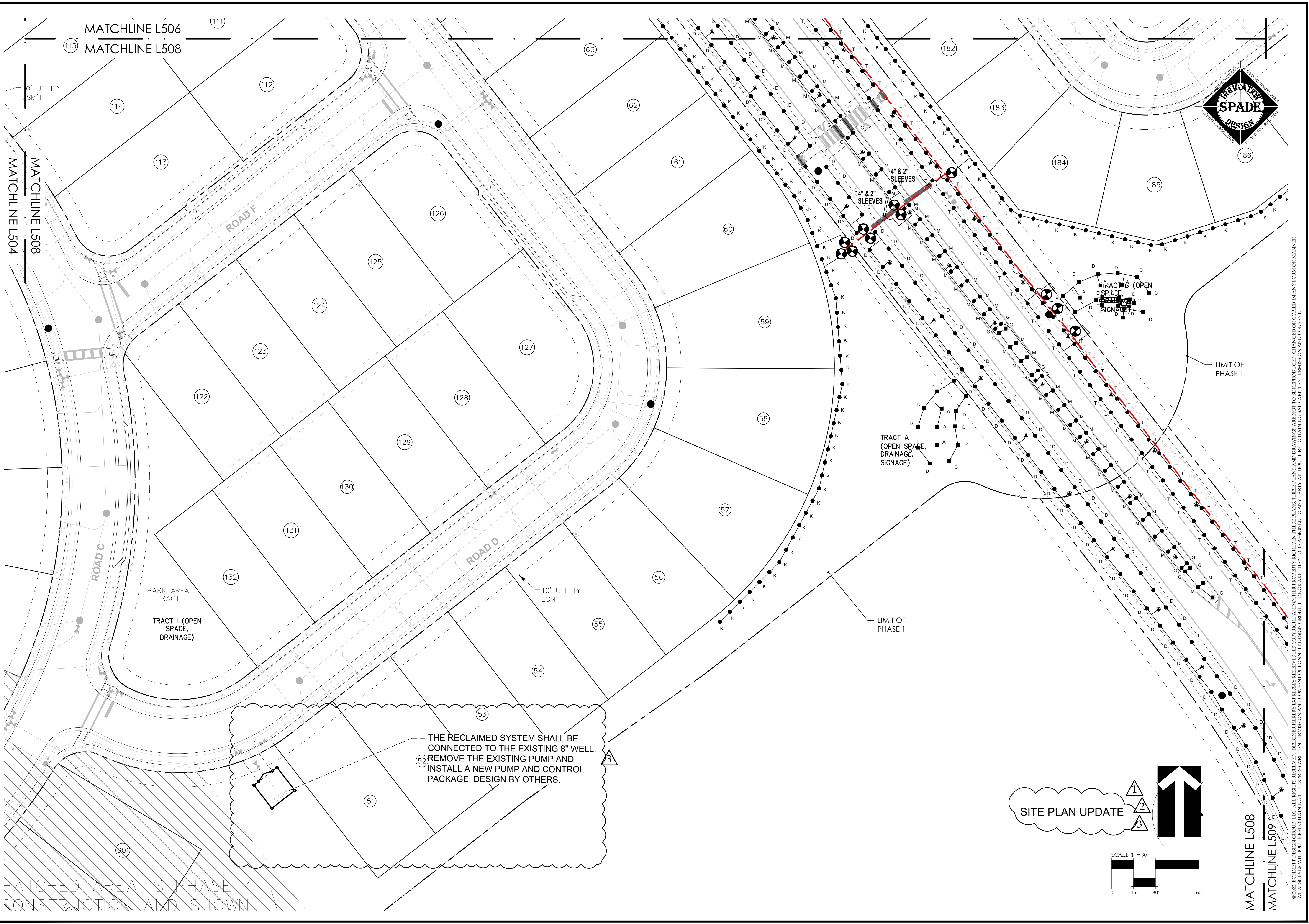
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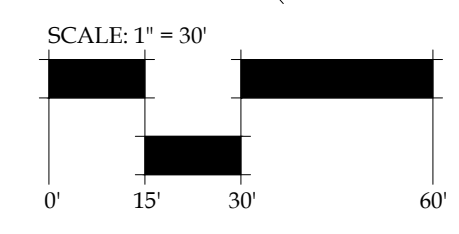


L508



THE RECLAIMED SYSTEM SHALL BE CONNECTED TO THE EXISTING 8" WELL. REMOVE THE EXISTING PUMP AND INSTALL A NEW PUMP AND CONTROL PACKAGE, DESIGN BY OTHERS.

SITE PLAN UPDATE



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HATCHED AREA IS PHASE 4 CONSTRUCTION AND SHOWN

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IRRIGATION PLAN

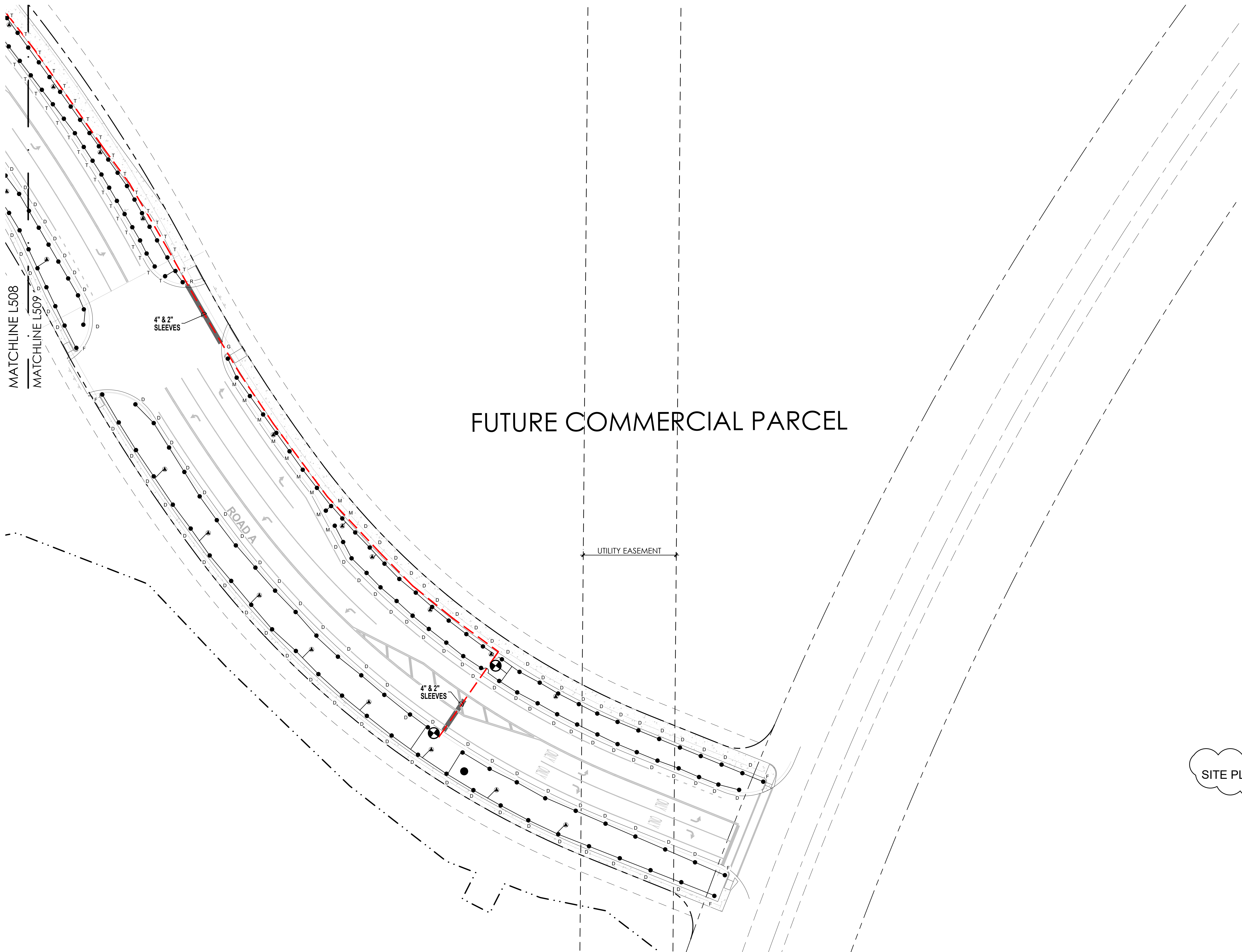
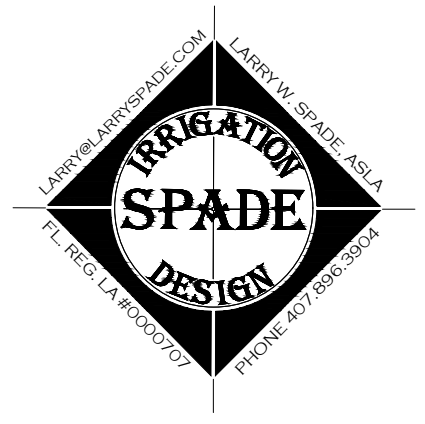
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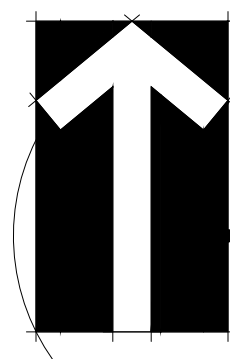
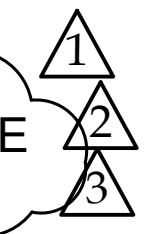
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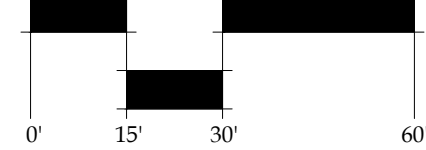
L509



SITE PLAN UPDATE



SCALE: 1" = 30'



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IRRIGATION DETAILS & NOTES

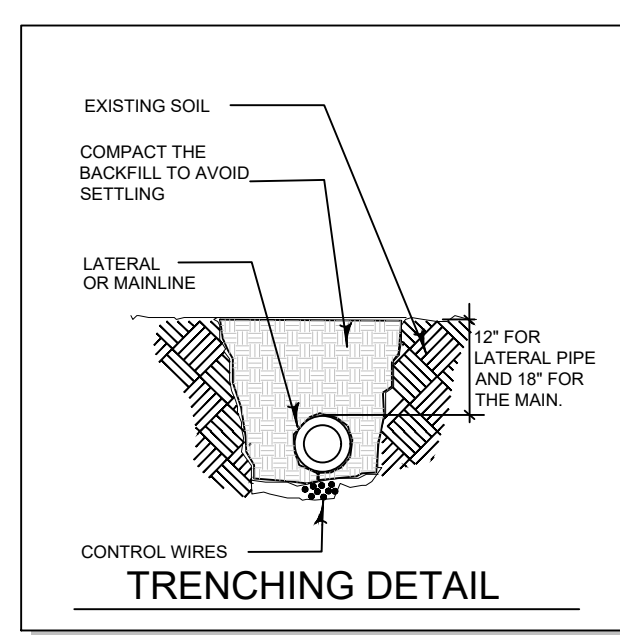
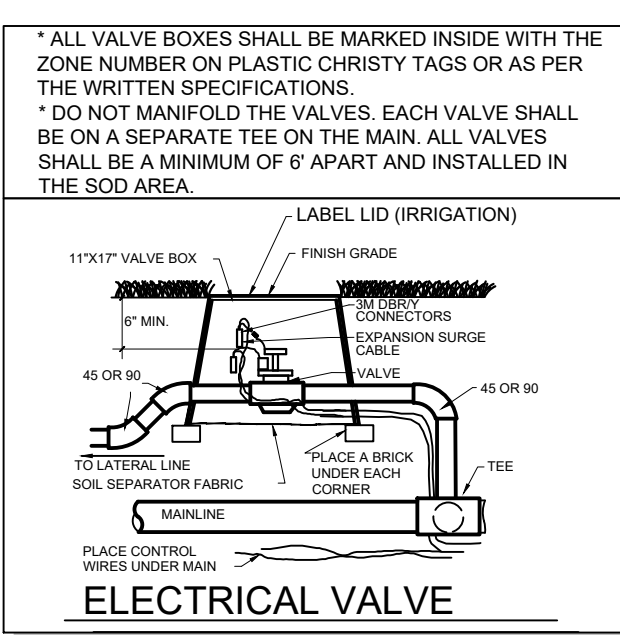
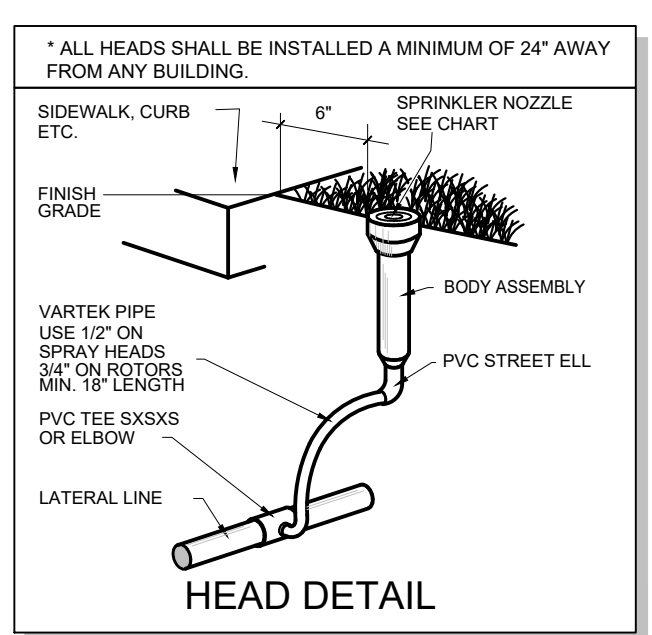
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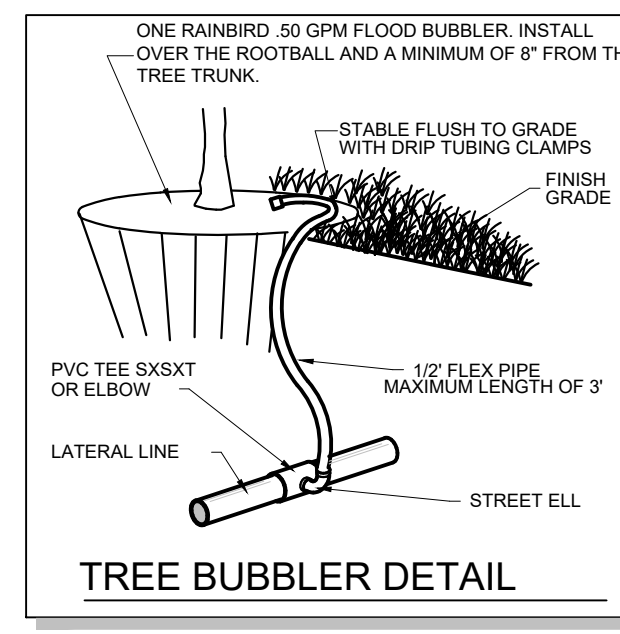
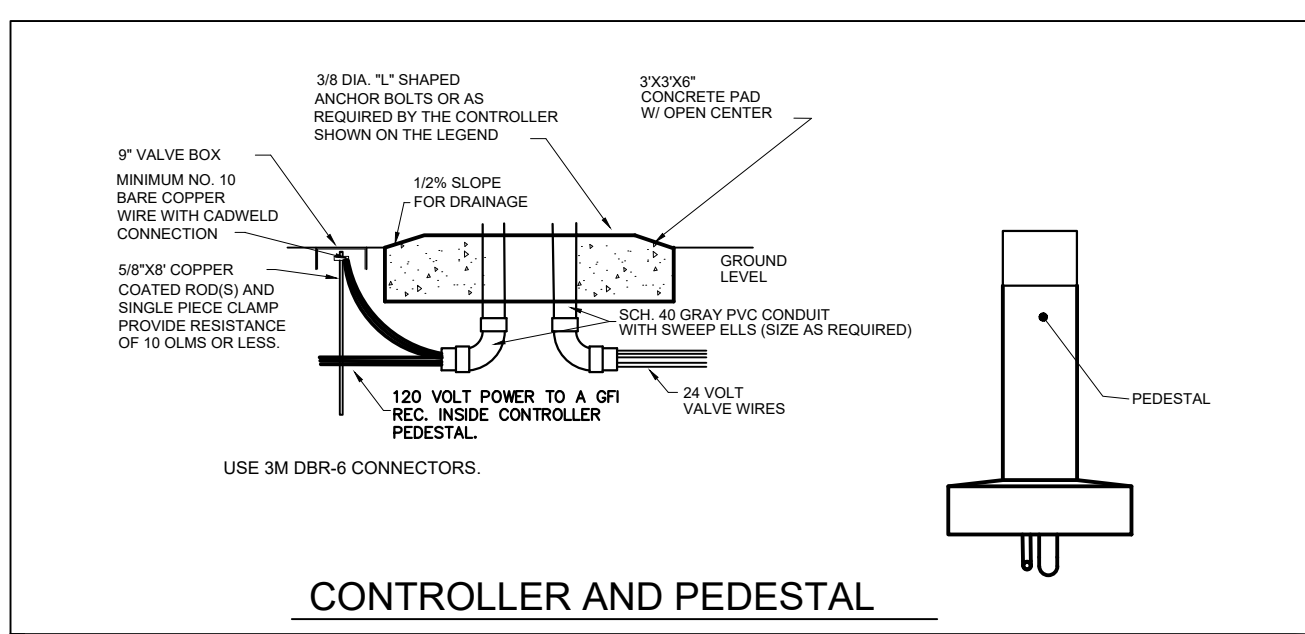
Todd W. Bonnett, R.L.A. #14000776

L510



GENERAL NOTES

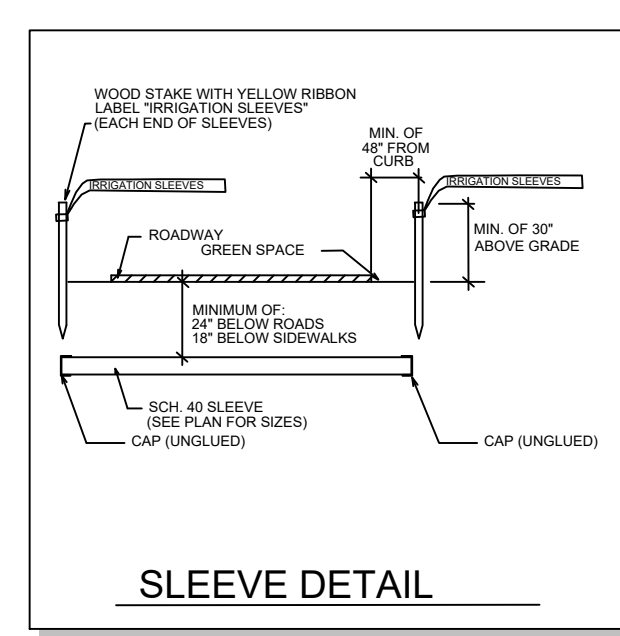
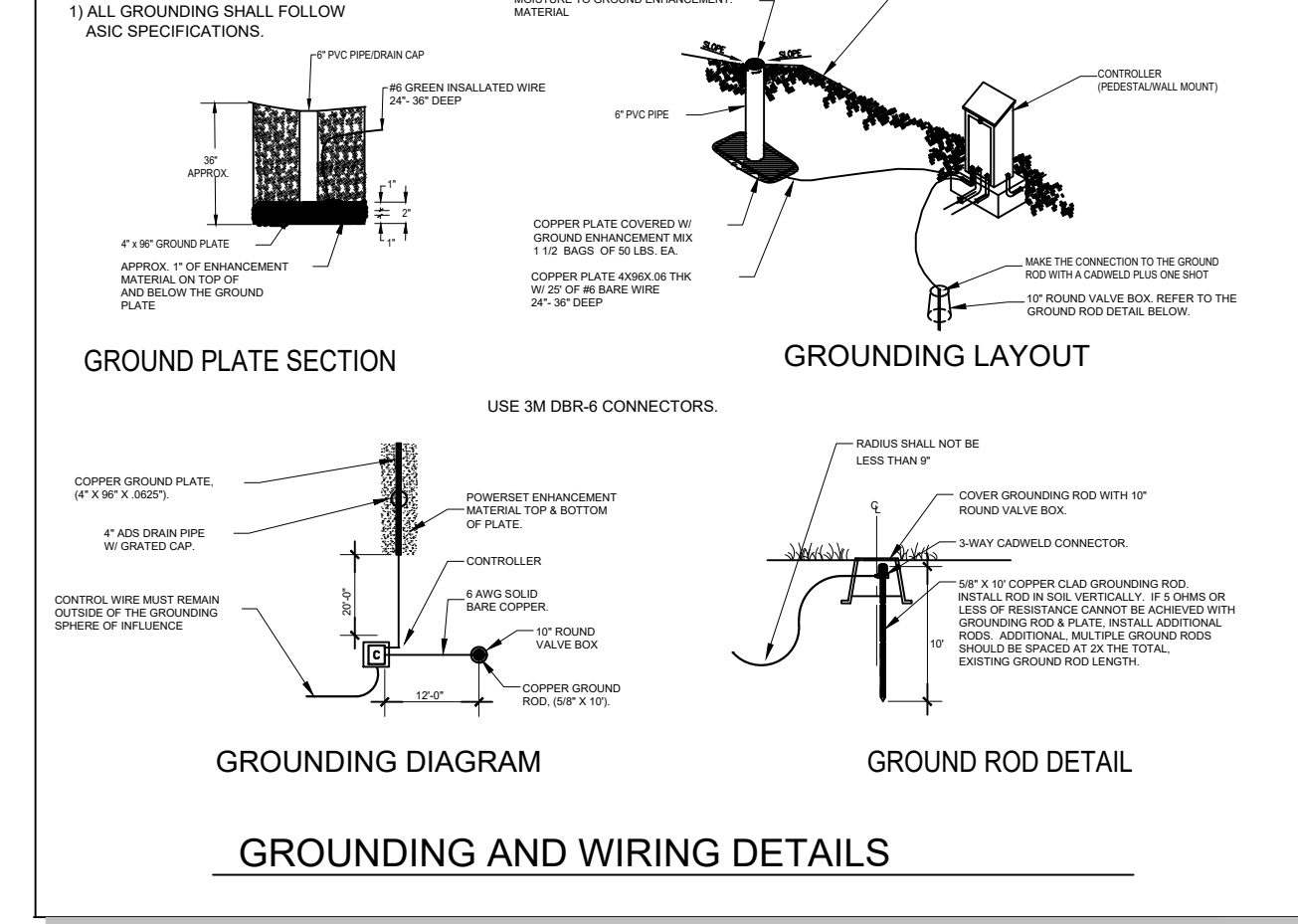
- REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREES AND SHRUBS. HAND DIG AROUND ANY EXISTING TREES. DO NOT CUT ANY ROOTS OVER 2" IN DIAMETER.
- ALL MAINLINE PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 18" OF COVER. ALL LATERAL PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 12" OF COVER.
- ALL POP-UP ROTORS AND SPRAYS SHALL BE INSTALLED USING AN 18" PVC FLEX PIPE CONNECTION. DO NOT USE POLYETHYLENE PIPE. USE WELDON 737 WITH A PURPLE PRIMER OR RED HOT CHRISTY'S BLUE GLUE ON ALL CONNECTIONS.
- ADJUST ALL NOZZLES TO REDUCE WATER WASTE ON HARD SURFACES, WINDOWS AND BLDG. WALLS. THROTTLE ALL VALVES ON SHRUB LINES AS REQUIRED TO PREVENT FOGGING. USE ADJUSTABLE NOZZLES WHERE REQUIRED TO AVOID ANY WATER ON BUILDING WINDOWS.
- ALL CONTROL WIRE CONNECTIONS SHALL BE MADE IN VALVE BOXES USING 3M DBR-Y WIRE CONNECTORS AND SEALANT WITH WIRE NUTS.
- THE CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING SHOWING ALL IRRIGATION INSTALLATION. THE CONTRACTOR SHALL NEATLY MARK IN RED INK ON A WHITE BOND PAPER COPY OF THE IRRIGATION PLAN ANY INSTALLATION THAT DEVIATES FROM THE PLAN. THE AS-BUILT DRAWING SHALL ALSO LOCATE ALL MAINLINE AND VALVES BY SHOWING EXACT MEASUREMENTS FROM HARD SURFACES. MEASUREMENTS SHALL BE MARKED ON THE PLAN EVEN WHEN THE EQUIPMENT IS INSTALLED IN THE EXACT LOCATION AS THE PLAN. PROVIDE THE OWNER A PDF OF THE AS-BUILT PLAN.
- ALL VALVES, GATE VALVES AND QUICK COUPLERS SHALL BE INSTALLED IN VALVE BOXES. THE VALVE BOXES SHALL BE PURPLE WHEN USING RECLAIMED WATER.
- ANY PIPING SHOWN OUTSIDE THE PROPERTY LINE OR RUNNING OUTSIDE A LANDSCAPE AREA IS SHOWN THERE FOR CLARITY ONLY. ALL LINES SHALL BE INSTALLED ON THE PROPERTY AND INSIDE THE LANDSCAPE AREAS OR INSIDE A SCH. 40 SLEEVE.
- ALL HEADS SHALL BE INSTALLED A MINIMUM OF 24" FROM ANY WALL AND A MINIMUM OF 6" FROM ANY SIDEWALK, PATIO OR ROAD. (MINIMUM OF 2" WHERE THERE ARE NO BUMPS STOPS) THE EXACT HEIGHT OF ANY 12" POP-UP THAT IS SHOWN IN A SHRUB BED SHALL BE DETERMINED BY THE OWNER'S REPRESENTATIVE IN THE FIELD. INSTALL THE 12" POP-UP HIGHER WHERE BLOCKED BY TALL SHRUBS.
- THE CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DAMAGE ANY EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIRS AND COST OF ANY DAMAGE CAUSED BY THEIR WORK.
- ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN EQUIPMENT AND WORKMANSHIP OR AS OUTLINED IN THE WRITTEN SPECIFICATIONS.
- ELECTRICAL SERVICE TO LOCATION OF THE CONTROLLER, WELL OR PUMP SHALL BE PROVIDED TO A JUNCTION BOX OR DISCONNECT AT THE EQUIPMENT LOCATION BY THE ELECTRICAL CONTRACTOR OR BY OWNER WHEN IT IS NOT PART OF THE BID PACKAGE. CONFIRM THE LOCATION OF THE CONTROLLER WITH THE OWNER OR GENERAL CONTRACTOR BEFORE ANY INSTALLATION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SCALE THE PLAN AND CHECK NOZZLE TYPES TO DETERMINE THE CORRECT SPACING OF THE HEADS. THE CONTRACTOR SHALL NOT SPACE THE HEADS FURTHER APART OR USE LESS HEADS THAN SHOWN ON THE PLAN, ANY CHANGES TO THE HEAD SPACING OR LAYOUT, WITHOUT THE CONSENT OF THE LANDSCAPE ARCHITECT OR OWNER, SHALL HOLD THE IRRIGATION CONTRACTOR RESPONSIBLE FOR WARRANTY OF THE PLANTS AND OR SOD IN THESE AREAS.
- 48 HOURS BEFORE DIGGING, CALL 1-800-432-4770 (SUNSHINE STATE ONE CALL CENTER).
- INSTALL THREE EXTRA CONTROL WIRES TO EACH TERMINATION OF THE MAIN. ALL CONTROL WIRES SHALL BE INSTALLED INSIDE OF SCH. 40 GRAY PVC CONDUIT WHERE THEY CANNOT BE UNDER THE MAIN.



RECLAIMED WATER REQUIREMENTS

- ALL PIPE SHALL BE THE PURPLE RECLAIMED WATER TYPE.
- ALL SPRINKLER HEADS SHALL HAVE PURPLE INDICATORS.
- ALL MANUAL AND ELECTRIC VALVES SHALL HAVE TAGS TO INDICATE RECLAIMED WATER.
- ALL VALVE BOXES SHALL BE PURPLE WITH PURPLE LIDS TO INDICATE THE PRESENCE OF RECLAIMED WATER.
- ALL EQUIPMENT SHALL BE INSTALLED AS PER ALL LOCAL, COUNTY, STATE, AND FEDERAL CODES. PROVIDE AND INSTALL ALL REQUIRED RECLAIMED WATER SIGNS. COORDINATE PLACEMENT AND TYPE WITH THE RECLAIMED WATER PROVIDER.
- ALL CROSSINGS OF IRRIGATION PIPING AND POTABLE WATER LINES SHALL HAVE THE VERTICAL CLEARANCE VISUALLY VERIFIED AND THIS VERIFICATION MUST BE SHOWN ON THE AS-BUILT DRAWINGS BY DOCUMENTING THE VERTICAL MEASUREMENT SEPARATING THE PIPES.
- THE VERTICAL SEPARATION BETWEEN THE POTABLE AND RECLAIMED WATER LINES SHALL BE A MINIMUM OF 18". THIS SEPARATION SHALL BE VERIFIED AND DOCUMENTED IN A SET OF AS-BUILT DRAWINGS AS PER SPECIFICATIONS. THE HORIZONTAL SEPARATION SHALL BE 8" CENTER TO CENTER AND 3" OUTSIDE TO OUTSIDE IF VERTICAL MINIMUM OF 18" IS NOT MET. REFER TO THE SPECIFIC CODE IF THESE SEPARATIONS CAN NOT BE MET.

NOTES



NOZZLE CHART

LETTER	PRODUCT	G.P.M. @ 40 PSI	RADIUS	RADIUS/ANGLE	ZONE LABELS
A	RAINBIRD R-VAN 18	1.80	13'-18"	FULL	360 °
B	RAINBIRD R-VAN 18	.60	13'-18"	ONE THIRD	120 °
D	RAINBIRD R-VAN 18	.98	13'-18"	HALF	180 °
F	RAINBIRD R-VAN 18	.50	13'-18"	QUARTER	90 °
G	RAINBIRD 1800-1SEST	.23	4' X 15'	END STRIP	
H	RAINBIRD XPCN	.23	4.5'	HALF PATTERN	
K	RAINBIRD R-VAN 14	1.22	8'-14"	FULL	360 °
M	RAINBIRD 1800-1SSST	.46	4' X 30'	SIDE STRIP	
R	RAINBIRD R-VAN 14	.31	8'-14"	QUARTER	90 °
T	RAINBIRD R-VAN 14	.61	8'-14"	HALF	180 °
V	RAINBIRD R-VAN 24	.77	17'-24"	QUARTER	90 °
W	RAINBIRD R-VAN 24	1.54	17'-24"	HALF	180 °
X	RAINBIRD R-VAN 24	2.31	17'-24"	THREE QUAR.	270 °
Y	RAINBIRD R-VAN 24	3.13	17'-24"	FULL	360 °
Z	RAINBIRD R-VAN 18	1.42	13'-18"	THREE QTR.	270 °

THE NOZZLES LISTED SHOW THE TYPE OF RAINBIRD ROTORY NOZZLE THAT SHOULD BE USED. THE CONTRACTOR SHOULD INSTALL THE NOZZLES IN EACH HEAD AS SHOWN BY THE LETTER BESIDE THE HEAD ON THE PLAN. THE GPM, DISTANCE AND ANGLE ON THE NOZZLE CHART ARE APPROXIMATE. THE CONTRACTOR SHALL ADJUST ALL NOZZLES TO PROVIDE THE 100% COVERAGE, BUT LIMIT OVERTHROW ON TO BUILDINGS, WALLS, PAVEMENT, ETC. THE HEADS SHALL BE SPACED AS PER THE PLAN. SCALE THE PLAN FOR DISTANCE. DO NOT ASSUME THAT ALL HEADS ARE SPACED AS PER CONVENTIONAL SPRAY HEADS. THE PRECIPITATION RATE FOR THESE NOZZLES IS LESS THAN A CONVENTIONAL SPRAY NOZZLE. FOLLOW THE ZONE CHART FOR AN APPROXIMATE RUN TIME FOR EACH ZONE, BUT SET THE RUN TIME ON THE CONTROLLER BASED ON THE SPECIFIC SITE CONDITIONS.

LEGEND

SYMBOL	QUANTITY	SPECIFICATION
●	2306	RAINBIRD 1800-PRS-P45 SPRAY SERIES 6" POP-UP
■	308	RAINBIRD 1800-PRS-P45 SPRAY SERIES 12" POP-UP
▲	275	RAINBIRD .5 GPM FLOOD BUBBLER
⊙	52	RAINBIRD 5000 SERIES ROTOR HEAD - FULL CIRCLE 6 GPM
⊙		RAINBIRD 5000 SERIES ROTOR HEAD - PART CIRCLE 3 GPM
---	2 1/2"	CLASS 200 PURPLE PVC MAINLINE-2 1/2"
---	6016'	CLASS 200 PURPLE PVC MAINLINE-1 1/2"
---	1 1/2"	CLASS 200 PURPLE PVC MAINLINE-1 1/2"
---	REFER TO PLAN	CLASS 200 PVC PURPLE LATERAL LINE- SIZE AS SHOWN UNTIL A SMALLER SIZE IS SHOWN. MINIMUM SIZE OF 3/4" (EXCEPT RISERS AND FLEX PIPE)
---	REFER TO PLAN	SCH. 40 SLEEVE (MINIMUM OF 24" DEPTH AND 2 SIZES LARGER THAN THE PIPE SIZE OR AS LABELED ON THE PLAN)
⊕	72	RAINBIRD PESR-PRS-D2 ELECTRIC VALVE. INSTALL THE VALVE IN A PURPLE ARMOR 11" X 17" VALVE BOX AND COVER.
⊙	4	CONTROLLER-RAINBIRD ESP-LXD-PED PEDESTAL MOUNT WHERE SHOWN ON THE PLAN. INSTALL WITH A RAINBIRD RAIN SENSOR. GROUND AS PER ASIC SPECIFICATIONS AND DETAILS. SLEEVE TO AS REQUIRED.
⊙	4	POINT OF CONNECTION TO A RECLAIMED WATER METER. REFER TO THE UTILITY PLAN FOR THE EXACT LOCATION AND DETAILS.
⊙	1	POINT OF CONNECTION TO A 2" METER. REFER TO THE UTILITY PLAN FOR THE EXACT LOCATION AND DETAILS.

PLANT SHRUB HEAD NOTE

SPRAY HEADS WERE USED IN THE PLANT BEDS INSTEAD OF MICRO-IRRIGATION. THESE ZONES SHALL BE TURNED OFF AFTER THE PLANTS ARE ESTABLISHED.

MASS GRADING PLANS FOR HILLSIDE GROVES AT HOWEY IN THE HILLS PUD

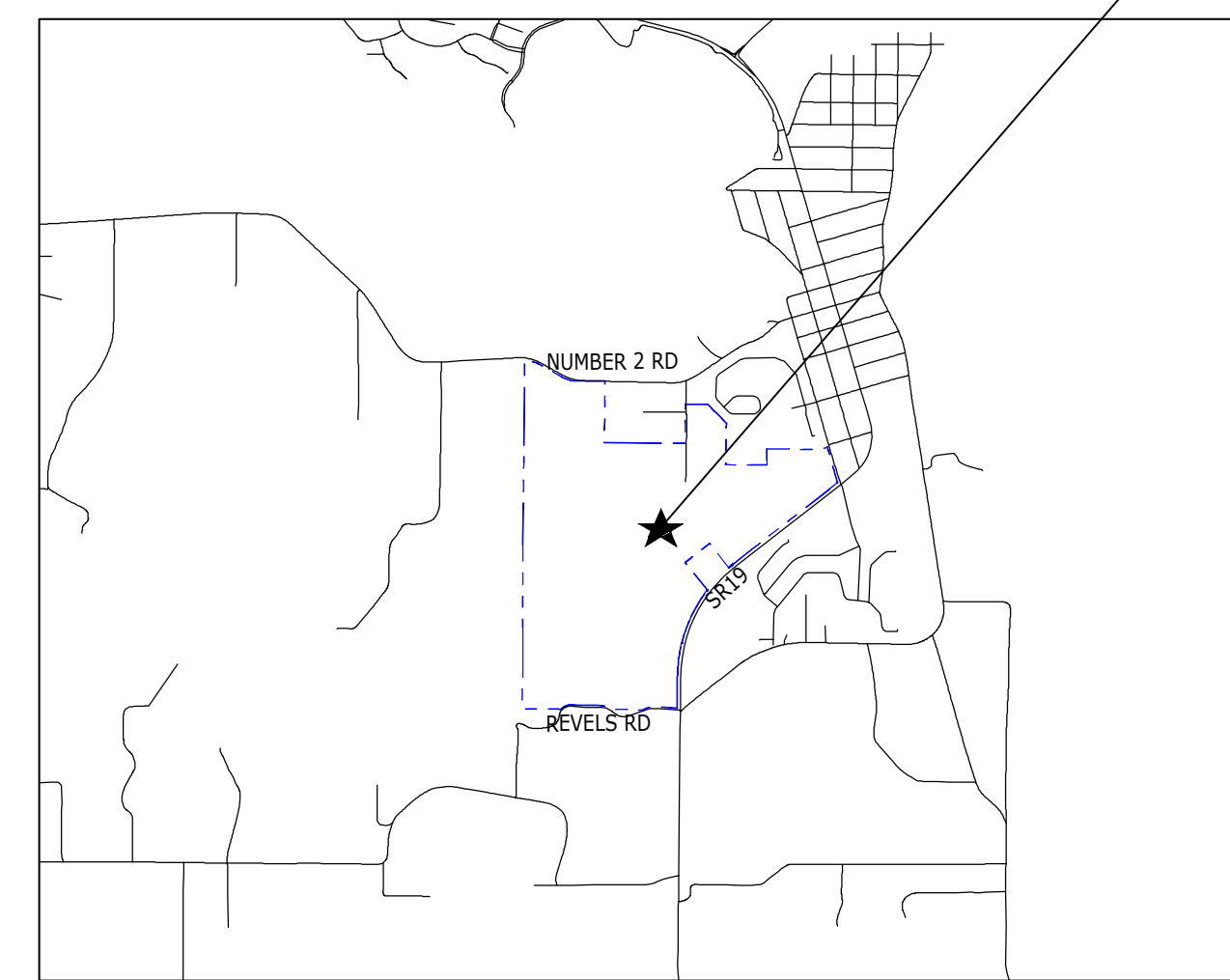
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26-20-25-0400-D14-00000 HOWEY-IN-THE-HILLS LAKE COUNTY, FL

PREPARED FOR EASTON & ASSOCIATES 10165 SW 19TH ST MIAMI, FL 33172

PROJECT LOCATION



LOCATION MAP
1" = 3000'

INDEX OF SHEETS	
SHEET	TITLE
C100	COVER
GENERAL NOTES	
C150	EXISTING CONDITIONS PLAN
C160	CLEARING, SEDIMENT & EROSION CONTROL PLAN
C400	MASTER SITE PLAN
C500-C504	MASS GRADING PLAN
C505	STRUCTURE TABLES
C510	CONTROL STRUCTURE DETAILS
C900	TOWN OF HOWEY-IN-THE-HILLS DETAILS
C950	SWPPP

COVER

MASS GRADING PLANS FOR HILLSIDE GROVES HOWEY IN THE HILLS

PREPARED FOR
EASTON & ASSOCIATES
MIAMI, FL

Printed: Jul 20, 2023 - 9:53am

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LEGAL DESCRIPTION:
The Southwest 1/4 of the Northwest 1/4 of the Northeast 1/4 of Section 35, Township 20 South, Range 25 East, Lake County, Florida;
AND
The Southwest 1/4 of the Northwest 1/4 of the Northeast 1/4 of the Northeast 1/4 of Section 35, Township 20 South, Range 25 East, Lake County, Florida;
AND
A triangular tract of land described as:
Beginning at the Northeast corner of the Southwest 1/4 of the Northwest 1/4 of the Northeast 1/4, in Section 35, Township 20 South, Range 25 East, Lake County, Florida; run thence West approximately 330 feet to the Southeast corner of the Southwest 1/4 of the Northwest 1/4 of the Northeast 1/4 of the Northeast 1/4 of the Northeast 1/4; thence run North approximately 330 feet to the Northeast corner of the Two and One-Half Acre Tract last described; thence Southeast to the Point of Beginning;
AND
The Southwest 1/4 of the Northeast 1/4, Less that part lying within Taylor Memorial Cemetery hereinafter particularly described:
The Northeast 1/4 of the Southeast 1/4, lying North and West of State Road 19, now paved. Less and Except such portion of Taylor Memorial Cemetery included therein, which cemetery is more particularly described as follows:
Beginning at the East 1/2 mile corner of Section 35, Township 20 South, Range 25 East, Lake County, Florida; run West 1490 feet to an iron pipe on the North right-of-way line of said State Road now paved; thence Southwesterly along said right-of-way line 446.5 feet to a cement marker and the Point of Beginning of Cemetery property; run thence Southwesterly with the North right-of-way line of said road 505.4 feet; thence North 36.27' West, 57.8.6 feet; thence North 51.33' East, 500 feet; thence South 38.27' East, 500 feet to the Point of Beginning;
AND
The Southeast 1/4 of the Northeast 1/4, lying North and West of State Road 19, now paved, Less and Except such part thereof as is contained in the plot of Palm Gardens as recorded in the Public Records of Lake County, Florida on February 26, 1951, in Plot Book 12, Page 11;
AND
The West 1/2, Less and Except the North 3/4 of the Northeast 1/4 of the Northwest 1/4, in Section 35, Township 20 South, Range 25 East, Lake County, Florida;
AND
That part of the South 1/4 of the Southwest 1/4 of the Southwest 1/4, lying South of County Clay Road, in Section 26, Township 20 South, Range 25 East, Lake County, Florida. Subject to the rights-of-way for all existing state, county and town road, streets and highways;
AND
A tract of land located in the Northeast 1/4 of the Northeast 1/4 of Section 35, Township 20 South, Range 25 East, Lake County, Florida, and generally described as lying South of the residence of Don White and West of the Westerly boundary line of Palm Gardens subdivision;
AND
All of Block D-14, according to the plot of Palm Gardens, filed February 26, 1951, and recorded in Plot Book 12, Page 11, of the Public Records of Lake County, Florida.
All of the above Lake County property being more particularly described as follows:
That part of the Northwest 1/4 of the Northeast 1/4 of Section 35, Township 20 South, Range 25 East, in the town of Howey in the Hills, Florida, bounded and described as follows:
Begin at the Northwest corner of the Southwest 1/4 of the Northwest 1/4 of the Northeast 1/4 of said Section 35; thence run East along the North line thereof to the Northeast corner of the said Southwest 1/4 of the Northwest 1/4 of the Northeast 1/4 of said Section 35; thence run Southwesterly along a straight line to the Northeast corner of the Southwest 1/4 of the Northwest 1/4 of the Northeast 1/4 of said Section 35; thence run South along East line thereof, to the Southeast corner of the said Southwest 1/4 of the Northwest 1/4 of the Northeast 1/4; thence run West along the South line thereof to the Southwest corner of the said Northwest 1/4 of the Northeast 1/4; thence run North along the West line of the said Northwest 1/4 of the Northeast 1/4 to the Point of Beginning; Less all rights-of-way for streets in Howey in the Hills, Florida.
All of Block D-14 in Palm Gardens, a subdivision in the town of Howey in the Hills, Florida, according to the plot thereof recorded in Plot Book 12, Page 11 of the Public Records of Lake County, Florida.
The South 3/4 of the West 1/2; the Northwest 1/4 of the Northeast 1/4, Less the right-of-way of a County Clay Road; and the South 1/4 of the Northeast 1/4 of the Northwest 1/4 of Section 35, Township 20 South, Range 25 East, Lake County, Florida, in the town of Howey in the Hills, Florida.
That part of the Southwest 1/4 of the Northeast 1/4 and that part of the Northwest 1/4 of the Southwest 1/4 lying North and West of the Westerly line of the right-of-way of State Road No. 19, in Section 35, Township 20 South, Range 25 East, Lake County, Florida, in the town of Howey in the Hills, Florida; Less and Except therefrom that part thereof lying within Taylor Memorial Cemetery, according to the plot thereof recorded in Plot Book 12, Page 5, of the Public Records of Lake County, Florida, and also Less all rights-of-way for streets in Howey in the Hills, Florida.
That part of the East 1/2 of the Northeast 1/4 of Section 35, Township 20 South, Range 25 East, in the town of Howey in the Hills, Florida, bounded and described as follows:
Begin at the Northwest corner of Lot 1, in Block D-14, in Palm Gardens, according to the plot thereof recorded in Plot Book 12, Page 11, of the Public Records of Lake County, Florida; thence run West to the West line of the Northeast 1/4 of the Northeast 1/4 of the said Section 35; thence run South along the West line of the East 1/2 of the Northeast 1/4 of the said Section 35 to a point on the Northwesterly line of the right-of-way of State Road No. 19; thence run Northwesterly along the Northwesterly line of the said Block D-14, of the said Palm Gardens subdivision; thence run Northwesterly along the Westerly line of the said Block D-14, to the Point of Beginning; Less all rights-of-way for streets in Howey in the Hills, Florida.
That part of the South 1/4 of the Southwest 1/4 of the Southwest 1/4 of Section 26, Township 20 South, Range 25 East, Lake County, Florida, lying South of the Southerly line of the right-of-way of the County Road.
LESS the following described parcel:
Commence at the East 1/4 corner of Section 35, Township 20 South, Range 25 East, Lake County, Florida; thence run North 89°21'35" West along the South line of the Northeast 1/4 of said Section 35, 1487.79 feet to a point on the Northwesterly right-of-way line of State Road No. 19; thence run South 52°07'27" West along said Northwesterly right-of-way line 69.23 feet to the point of tangency of a curve concave Southwesterly; thence run Southwesterly along the arc of said curve and said Northwesterly right-of-way line having a central angle of 14°35'56", a radius of 2341.83 feet, an arc length of 596.69 feet, a chord bearing of South 44°49'31" West and a chord distance of 595.08 feet to the Point of Beginning; thence continue along said Northwesterly right-of-way line being a curve concave Southwesterly; thence run Southwesterly along said curve having a central angle of 2°38'29", a radius of 2341.83 feet, an arc length of 839.04 feet, a chord bearing of South 28°02'16" West and a chord distance of 932.76 feet; thence run North 75°26'58" West, 402.66 feet; thence run South 88°12'24" West, 688.73 feet; thence run North 53°42'00" West, 250.16 feet; thence run North 12°38'17" East, 257.60 feet; thence run North 77°21'43" West, 125.00 feet; thence run North 12°38'17" East, 13.01 feet to the point of tangency of a curve concave Easterly; thence run Northwesterly along the arc of said curve having a central angle of 39°28'41", a radius of 75.00 feet, an arc length of 51.68 feet, a chord bearing of North 32°22'37" East and a chord distance of 50.86 feet to the point of tangency; thence run North 52°06'58" East, 476.63 feet; thence run North 54°07'17" East, 150.16 feet; thence run North 52°06'58" East, 205.76 feet to the point of tangency of a curve concave Southerly; thence run Easterly along the arc of said curve having a central angle of 62°53'19", a radius of 24.99 feet, an arc length of 27.43 feet, a chord bearing of North 83°35'05" East and a chord distance of 26.08 feet to the point of reverse curvature of a curve concave Northwesterly; thence run Northwesterly along the arc of said curve having a central angle of 12°43'33", a radius of 99.89 feet, an arc length of 218.47 feet, a chord bearing of North 52°06'58" East and a chord distance of 178.00 feet to the point of reverse curvature of a curve concave Southerly; thence run Northwesterly along the arc of said curve having a central angle of 62°53'19", a radius of 24.99 feet, an arc length of 27.43 feet, a chord bearing of North 20°40'51" East and a chord distance of 26.08 feet to the point of tangency; thence run North 52°06'58" East, 560.98 feet to a point on the Northwesterly extension of the Southwesterly line of Taylor Memorial Cemetery; thence run South 37°58'58" East along said Northwesterly extension line, 613.80 feet to the Point of Beginning.
ALSO LESS the following described parcel:
Commence at the East 1/4 corner of Section 35, Township 20 South, Range 25 East, Lake County, Florida; thence run North 89°21'35" West along the South line of the Northeast 1/4 of said Section 35, 1487.79 feet to a point on the Northwesterly right-of-way line of State Road No. 19; thence run South 52°07'27" West along said Northwesterly right-of-way line 69.23 feet to the Point of Beginning; thence continue South 52°07'27" West along said Northwesterly right-of-way line, 392.98 feet to the point of curvature of a curve concave Southerly; thence run Southwesterly along the arc of said curve having a central angle of 02°12'24", a radius of 2341.83 feet, an arc length of 90.19 feet, a chord bearing of South 51°01'14" West and a chord distance of 90.19 feet to the most Easterly corner of Taylor Memorial Cemetery; thence run North 38°00'31" West, along the Northwesterly line of said Taylor Memorial Cemetery, 547.00 feet; thence run North 52°06'58" East, 484.34 feet to the point of curvature of a curve concave Southerly; thence run Southwesterly along the arc of said curve having a central angle of 90°00'00", a radius of 10.00 feet, an arc length of 15.71 feet, a chord bearing of South 82°53'02" East and a chord distance of 14.14 feet to the point of tangency; thence run South 37°53'02" East, 525.33 feet to the point of curvature of a curve concave Northwesterly; thence run Southwesterly along the arc of said curve having a central angle of 90°00'00", a radius of 10.00 feet, an arc length of 15.71 feet, a chord bearing of South 07°07'12" West and a chord distance of 14.14 feet to the Point of Beginning.
AND, ALSO LESS the following described parcel:
Commence at the East 1/4 corner of Section 35, Township 20 South, Range 25 East, Lake County, Florida; thence run North 89°21'35" West along the South line of the Northeast 1/4 of said Section 35, 1487.79 feet to a point on the Northwesterly right-of-way line of State Road No. 19; thence run North 52°07'27" East along said Northwesterly right-of-way line, 673.75 feet to the Point of Beginning; thence run North 37°53'02" West, 1008.88 feet; thence run North 00°35'47" East, 116.78 feet to a point on the North line of the Southwest 1/4 of the Northwest 1/4 of the Northeast 1/4 of said Section 35; thence run South 89°21'35" West along said North line, 2708.08 feet to a point on the West line of the Northeast 1/4 of the Northeast 1/4 of said Section 35; thence run North 00°35'58" East along said West line, 256.12 feet to a point on the South line of the residence of Don White; thence run South 89°24'13" East along said South line, 418.17 feet; thence run South 00°35'47" West, 708.10 feet; thence run South 37°53'02" East, 317.47 feet to a point on said Northwesterly right-of-way line of State Road No. 19; thence run South 52°07'27" West along said Northwesterly right-of-way line, 329.54 feet to the Point of Beginning.
ALSO, LESS AND EXCEPT the following described parcel:
That parcel described as the Taylor Memorial Cemetery in that Quitclaim Deed recorded in Official Records Book 1147, Page 1398, of the Public Records of Lake County, Florida.
Parcel 2 (Easement Estate):
Together with those appurtenant easements as set forth and granted by Eagles Landing at Ocoee, Inc., a Florida corporation, to Howey in the Hills, a Florida limited partnership, in that Development Agreement and Grant of Easements, recorded November 10, 2005 in Official Records Book 3003, Page 1377, of the Public Records of Lake County, Florida.

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FLORIDA REGISTRY: 3650 L.A. NUMBER: LC26000311

No.	Date	Revision	By
1	8/5/22	PER TOWN OF HOWEY-IN-THE-HILLS COMMENTS	RAH

Project No.: 21-04-0008
Designed: RRB Drawn: RAH
Checked: RRB O.C.: RCW
Date: APRIL 2021
Scale: N/A DATUM:
Sheet C100

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GENERAL NOTES:

- 1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE LATEST STANDARDS OF THE TOWN OF HOWEY-IN-THE-HILLS, FDOT AND FDEP.
- 2. PAVEMENT STRIPING TO BE IN ACCORDANCE WITH THE FLORIDA D.O.T. ROADWAY & TRAFFIC STANDARDS, INDEX 17346, AND AS REQUIRED BY THE TOWN OF HOWEY-IN-THE-HILLS.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF SIZE AND LOCATION OF ALL EXISTING UTILITIES AND RELATED CONSTRUCTION PRIOR TO COMMENCEMENT OF WORK. SHOULD THE CONTRACTOR OBSERVE ANY DEVIATIONS FROM WHAT IS SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF SAID DEVIATIONS PRIOR TO COMMENCEMENT OF WORK. ANY WORK THAT MUST BE REDONE DUE TO FAILURE OF CONTRACTOR TO NOTIFY THE ENGINEER OF DEVIATIONS PRIOR TO CONSTRUCTION WILL BE AT THE CONTRACTORS SOLE EXPENSE.
- 4. WHERE MUCK OR OTHER ORGANIC MATERIAL IS FOUND, IT SHALL BE REPLACED WITH GOOD QUALITY BACKFILL MATERIAL OBTAINED FROM THE GRADING OPERATIONS OR OTHER SOURCE APPROVED BY THE GEOTECHNICAL ENGINEER. THE ORGANIC MATERIAL SHALL BE THEN USED AS TOP DRESSING WHEN MIXED WITH CLEAN BACKFILL SOIL AS APPROVED BY THE GEOTECHNICAL ENGINEER OR PLACED AS APPROVED BY OWNER.
- 5. ALL FINISHED GRADES AND ELEVATIONS ARE AS DENOTED BY THE APPLICABLE LEGEND.
- 6. AS PART OF THE CLEARING AND GRUBBING OPERATION, THE CONTRACTOR IS TO REMOVE ALL FENCING AND/OR EXISTING FACILITIES FROM THE SITE AS DIRECTED BY ARCHITECT.
- 7. MAINTAIN MINIMUM 3' COVER OVER PROPOSED LINES, UNLESS OTHERWISE NOTED.
- 8. THE CONTRACTOR SHALL NOTIFY THE TOWN OF HOWEY-IN-THE-HILLS AND THE UTILITY OWNER CONSTRUCTION DEPARTMENTS 48 HOURS PRIOR TO ANY UTILITIES CONSTRUCTION.
- 9. THE LIMITS OF THE SWALES SHALL BE SODDED AS INDICATED ON THE PLANS.
- 10. THE CONSTRUCTION OF ALL UTILITIES CONNECTING TO UTILITY SYSTEMS SHALL CONFORM TO STANDARDS AND CONSTRUCTION SPECIFICATIONS OF THE UTILITY OWNER.
- 11. CONTRACTOR IS RESPONSIBLE FOR OBTAINING FDEP GENERIC PERMIT FOR THE DISCHARGE OF PRODUCED GROUND WATER FROM ANY NON-CONTAMINATED SITE ACTIVITY IN ACCORDANCE OF FLORIDA ADMINISTRATIVE CODE 62-621.300 (2), 62-620, AND FLORIDA STATUTES CHAPTER 403.
- 12. ALL EXCESS FILL MATERIAL SHALL BE HAULED OFFSITE
- 13. ALL DESIGNATED ENTRANCES AND EXITS FOR CONSTRUCTION SITE SHALL BE STABILIZED USING FILTER FABRIC AND GRAVEL OR OTHER PRE-APPROVED METHODS TO PREVENT OFF-SITE TRACKING OF SEDIMENTS.

EROSION CONTROL NOTES:

- 1. DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO INSURE AGAINST POLLUTING, SILTING OR DISTURBING TO SUCH AN EXTENT AS TO CAUSE AN INCREASE IN TURBIDITY TO THE EXISTING SURFACE WATERS. SUCH MEASURES SHALL BE APPROVED BY THE PROJECT ENGINEER AND MAY INCLUDE, BUT NOT LIMITED TO, CONSTRUCTION OF TEMPORARY EROSION CONTROL STRUCTURES, SUCH AS SEDIMENT BASINS, SEDIMENT CHECKS, OR SILT BARRIERS.
- 2. SODDING (OR OTHER STABILIZATION) OF STORMWATER DETENTION AREAS SHOULD BE ACCOMPLISHED WITH IN SEVEN (7) DAYS FOLLOWING COMPLETION OF GRADING TO MINIMIZE EROSION POTENTIAL.
- 3. AT A MINIMUM, THE RETENTION/DETENTION STORAGE AREA MUST BE EXCAVATED TO ROUGH GRADE PRIOR TO BUILDING CONSTRUCTION OR PLACEMENT OF IMPERVIOUS SURFACE WITHIN THE AREA TO BE SERVED BY THOSE FACILITIES TO PREVENT REDUCTION IN STORAGE VOLUME AND PERCOLATION RATES. ALL ACCUMULATED SEDIMENT MUST BE REMOVED FROM THE STORAGE AREA PRIOR TO FINAL GRADING AND STABILIZATION.
- 4. IF DURING CONSTRUCTION, THE PROPOSED EROSION CONTROL SYSTEM DOES NOT PERFORM SATISFACTORILY, ALTERNATIVES AND ADDITIONAL METHODS OF PROTECTION SHALL BE IMPLEMENTED BY THE CONTRACTOR IN ORDER TO COMPLY WITH THE TOWN OF HOWEY-IN-THE-HILLS EROSION PROTECTION STANDARDS. CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR ALL EROSION CONTROL COSTS INCLUDING ANY COSTS ASSOCIATED WITH COMPLIANCE ISSUES AND ENFORCEMENT ACTIONS.
- 5. THE CONTRACTOR WILL BE REQUIRED TO SUBMIT A DETAILED EROSION CONTROL PLAN TO THE TOWN OF HOWEY-IN-THE-HILLS FOR REVIEW AND APPROVAL A MINIMUM OF 2 WORKING DAYS PRIOR TO THE PRE-CONSTRUCTION MEETING. AT A MINIMUM, THE EROSION CONTROL PLAN SHALL PROPOSE SILT SCREEN OR SYNTHETIC HAY BALES AND TURBIDITY BARRIERS, IN ACCORDANCE WITH THE CONSTRUCTION PLANS.
- 6. ALL PERMANENT EROSION CONTROL MEASURES SHALL BE COMPLETED WITHIN 7 DAYS OF FINAL GRADING. ALL TEMPORARY EROSION CONTROL SHALL BE MAINTAINED UNTIL PERMANENT MEASURES ARE COMPLETED AND ESTABLISHED.
- 7. CONTRACTOR SHALL INSPECT THE EROSION/SEDIMENT CONTROL EFFORTS TO DETERMINE THE EFFECTIVENESS. INSPECTIONS SHALL BE CONDUCTED DAILY AND WITHIN 24 HOURS AFTER EACH 0.50 INCH OR GREATER RAINFALL EVENT. ANY NECESSARY REMEDIES SHALL BE PERFORMED IMMEDIATELY.
- 8. SEDIMENTATION CONTROLS/BMP'S SHALL PREVENT STORMWATER RUNOFF WITH TURBIDITY GREATER THAN 29 NTUs FROM LEAVING THE CONSTRUCTION SITE.

MAINTAINENCE OF TRAFFIC:

- 1. FDOT INDEX 102-602 & 102-603 TO BE USED.

UTILITY NOTES:

- 1. ALL PIPE, MATERIALS, AND WASTEWATER CONSTRUCTION SHALL COMPLY WITH CHAPTER 9 OF THE TOWN OF HOWEY-IN-THE-HILLS ENGINEERING STANDARDS MANUAL (ESM).
- 2. PER SECTION 9.03.05 OF THE ESM THE CONTRACTOR SHALL PROVIDE A DVD RECORDING OF VIDEO INSPECTION OF THE PRIVATE GRAVITY SANITARY SEWER SYSTEM TO THE CITY FOR WASTEWATER DIVISION REVIEW PRIOR TO ACCEPTANCE.
- 3. SEWER PIPE SHALL COMPLY WITH ASTM D3034 FOR GRAVITY SEWER.
- 4. SEWER JOINTS SHALL COMPLY WITH SECTION 9.03.01.B ASTM D3212 PUSH-ON ELASTOMERIC COMPRESSION GASKET TYPE.

PAVING AND DRAINAGE NOTES:

- 1. PIPE LENGTHS SHOWN REPRESENT SCALED DISTANCE BETWEEN CENTERLINES OF DRAINAGE STRUCTURES.
- 2. ALL CONCRETE DRAINAGE STRUCTURES TO BE CONSTRUCTED PER D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS UNLESS OTHERWISE NOTED.
- 3. DITCH BOTTOM AND CONTROL STRUCTURE INLET GRATES SHALL BE SECURED WITH CHAIN AND EYEBOLT.
- 4. FIVE (5) FEET OF SOD IS REQUIRED AROUND ALL DITCH BOTTOM INLETS, MANHOLES, HEADWALLS AND MITERED END SECTIONS.
- 5. CONTRACTOR SHALL PLACE BLUE REFLECTIVE MARKERS ON PAVEMENT IN FRONT OF FIRE HYDRANTS.
- 6. TOP ELEVATIONS OF MANHOLES IN GRASSED AREAS SHALL BE AT MINIMUM 4 INCHES ABOVE FINISH GRADE.

AS-BUILT NOTE:

- 1. THE CONTRACTOR SHALL SUBMIT A CERTIFIED SET OF RECORD DRAWINGS TO THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING INFORMATION ON THE APPROVED PLANS CONCURRENTLY WITH CONSTRUCTION PROGRESS. RECORD DRAWINGS SUBMITTED TO THE ENGINEER AS PART OF THE PROJECT ACCEPTANCE SHALL COMPLY WITH THE TOWN OF HOWEY-IN-THE-HILLS REQUIREMENTS AND THE FOLLOWING REQUIREMENTS.
 - A. DRAWINGS SHALL BE LEGIBLY MARKED TO RECORD ACTUAL CONSTRUCTION.
 - B. DRAWINGS SHALL SHOW ACTUAL LOCATION OF ALL UNDERGROUND AND ABOVE GROUND STORM DRAINAGE, POTABLE WATER AND WASTEWATER PIPING, AND RELATED APPURTENANCES. ALL CHANGES TO PIPING LOCATION INCLUDING HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES AND APPURTENANCES SHALL BE CLEARLY SHOWN AND REFERENCED TO PERMANENT SURFACE IMPROVEMENTS. DRAWINGS SHALL ALSO SHOW ACTUAL INSTALLED PIPE MATERIAL, CLASS, ETC.
 - C. DRAWINGS SHALL CLEARLY INDICATE VERTICAL AND HORIZONTAL SEPARATION BETWEEN POTABLE WATER MAIN AND STORM DRAINAGE/SANITARY SEWER/RECLAIMED WATER MAINS AT POINTS OF CROSSING IN ACCORDANCE WITH FDEP CRITERIA AT UTILITY CROSSINGS.
 - D. DRAWINGS SHALL CLEARLY SHOW ALL FIELD CHANGES OF DIMENSION AND DETAIL INCLUDING CHANGES MADE BY FIELD ORDER OR BY CHANGE ORDER.
 - E. DRAWINGS SHALL CLEARLY SHOW ALL DETAILS NOT ON ORIGINAL CONTRACT DRAWINGS, BUT CONSTRUCTED IN THE FIELD. ALL EQUIPMENT AND PIPING RELOCATION SHALL BE CLEARLY SHOWN.
 - F. LOCATION OF ALL INLETS, MANHOLES, HYDRANTS, VALVES, AND VALVE BOXES SHALL BE SHOWN. ALL VALVES SHALL BE REFERENCED BY STATE PLANE COORDINATES.
 - G. DIMENSIONS BETWEEN ALL INLETS AND MANHOLES SHALL BE FIELD VERIFIED AND THE INVERTS, AND GRADE ELEVATIONS OF ALL INLETS AND MANHOLES SHALL BE SHOWN.
 - H. CONTRACTOR SHALL PROVIDE AS-BUILT SURVEY FOR POND GRADING. AS-BUILT POND CONTOURS SHALL BE PROVIDED AT TOP OF BANK, POND BOTTOM, AND ALL GRADE BREAKS AND ELEVATIONS SPECIFIED ON THE PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR RE-GRADING POND SLOPES THAT ARE STEEPER THAN SHOWN ON THE DESIGN PLANS.
 - I. EACH SHEET OF THE PLANS SHALL BE SIGNED, SEALED AND DATED BY REGISTERED SURVEYOR WITH A NOTE READING "THESE AS-BUILT DRAWINGS ACCURATELY DEPICT THE ACTUAL IMPROVEMENTS AS CONSTRUCTED".
 - J. WHERE THE POTABLE WATER MAIN CROSSES OTHER UTILITIES (STORM, GRAVITY SEWER, FORCEMAIN AND RECLAIMED WATER), THE CERTIFIED AS-BUILT DRAWINGS SHALL CLEARLY INDICATE THE CONSTRUCTED ELEVATIONS IN SUCH A WAY THAT THE VERTICAL SEPARATION BETWEEN THE WATER MAIN AND OTHER UTILITIES MAY BE VERIFIED BY THE ENGINEER. FAILURE TO PROVIDE THIS INFORMATION WILL RESULT IN THE CONTRACTOR EXCAVATING AND SURVEYING THE UTILITIES AT NO ADDITIONAL COST TO THE OWNER.
 - K. WHERE THE POTABLE WATER MAIN CROSSES OTHER UTILITIES (STORM, GRAVITY SEWER, FORCEMAIN AND RECLAIMED WATER), THE CERTIFIED AS-BUILT DRAWINGS SHALL CLEARLY INDICATE THE LOCATIONS OF PIPE JOINTS IN SUCH A MANNER AS TO DEMONSTRATE THE PIPE IS CENTERED AT ALL THE CROSSINGS. FAILURE TO PROVIDE THIS INFORMATION WILL RESULT IN THE CONTRACTOR EXCAVATING AND SURVEYING THE UTILITIES AT NO ADDITIONAL COST TO THE OWNER.
- 2. CERTIFIED AS-BUILT DRAWINGS SHALL BE PROVIDED TO THE ENGINEER PRIOR TO BACTERIOLOGICAL TESTING. FAILURE TO PROVIDE ACCURATE DRAWINGS MAY RESULT IN EXPIRED TEST RESULTS AND REQUIRE ADDITIONAL TESTING AT THE CONTRACTOR'S EXPENSE.
- 3. COORDINATE DATA SHALL BE PROVIDED IN STATE PLANE COORDINATES.
- 4. AS-BUILTS SHALL REFERENCE THE REQUIREMENTS OF CHAPTER 5 OF THE CITY'S ENGINEERING STANDARDS MANUAL.

ENGINEER'S CERTIFICATION NOTE:

"I, RYAN BLAIDA, P.E. HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE ALL EXISTING UTILITIES HAVE BEEN FIELD LOCATED AND THE LOCATION AND ELEVATION DEPICTED ON THESE PLANS IS BASED ON ACTUAL SURVEY, GROUND PENETRATING RADAR, SOFT DIG EXCAVATIONS, AND OTHER INDUSTRY METHODS. I FURTHER CERTIFY THAT ALL MEASURES HAVE BEEN TAKEN WITH REGARD TO UTILITY PROVIDERS' NOTIFICATION TO MARK UTILITIES IN ACCORDANCE WITH CHAPTER 556 F.S., SUNSHINE STATE ONE CALL."

"I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DESIGN OF THE STORMWATER MANAGEMENT SYSTEM FOR THE PROJECT KNOWN AS: MASS GRADING RALEIGH STREET MEETS ALL OF THE REQUIREMENTS AND HAS BEEN DESIGNED SUBSTANTIALLY IN ACCORDANCE WITH THE TOWN OF HOWEY-IN-THE-HILLS STORMWATER MANAGEMENT CRITERIA."

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No.	Date	Revision	By
1	8/5/22	PER TOWN OF HOWEY-IN-THE-HILLS COMMENTS	RAH

GENERAL NOTES

MASS GRADING PLANS FOR HILLSIDE GROVES HOWEY IN THE HILLS
 PREPARED FOR EASTON & ASSOCIATES MIAMI, FL
 Reg. Engineer
 JUSTIN WILLIAMS, P.E.
 FL P.E. #69260

Project No.: 21-04-0008	
Designed: RRB	Drawn: RAH
Checked: RRB	O.C.: RCW
Date: APRIL 2021	DATUM:
Scale: N/A	

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2-1/2" SQ. WOOD POST, 6' O.C. (MAX)
 FILTER FABRIC, SILT FENCE
 BACKFILL
 EXISTING GROUND
 SWALE
 SEDIMENT LADEN RUN-OFF
 FILTERED RUN-OFF

MIRAFI SILT FENCE OR EQUAL, SEDIMENTATION CONTROL
 F.O.D.T. INDEX #52, FILTER FABRIC IN ACCORDANCE WITH SECTION 905 OF THE F.O.D.T. STANDARD SPECIFICATIONS.

NOTES:
 1. TEMPORARY EROSION CONTROL STRUCTURE TO BE UTILIZED DURING CONSTRUCTION AT AREAS DESIGNATED BY ENGINEER OR AREAS ON-SITE WHERE UNSTABILIZED GRADES MAY CAUSE EROSION PROBLEMS. EROSION CONTROL STRUCTURE MAY BE REMOVED AFTER UPSLOPE AREA HAS BEEN STABILIZED BY SOD, OR COMPACTED AS DETERMINED BY CONTRACTOR.
 2. CONSTRUCT STORMWATER SYSTEMS BEFORE ANY BUILDING OR ROAD CONSTRUCTION IS STARTED.
 a.) PROTECT SYSTEM FROM SILTING AND DEBRIS BY METHODS PROVIDED IN DETAILS.
 b.) PROTECT SWALE BOTTOM FROM SEALING BY EXCAVATING ALL SILT DEPOSITS DURING CONSTRUCTION. THIS SHALL BE DONE BEFORE SOD & SEEDING & MULCHING IS FINISHED.

THE FOLLOWING LIST REPRESENTS A BASIC EROSION AND SEDIMENT CONTROL PROGRAM WHICH IS TO BE IMPLEMENTED TO HELP PREVENT OFF-SITE SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROJECT:
 PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE EARLIEST PRACTICAL TIME CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ONE OF THE FIRST CONSTRUCTION ACTIVITIES SHOULD BE THE PLACEMENT OF PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AROUND THE PERIMETER OF THE PROJECT OR THE INITIAL WORK AREA TO PROTECT THE PROJECT, ADJACENT PROPERTIES AND WATER RESOURCES.
 TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE COORDINATED WITH PERMANENT MEASURES TO ASSURE ECONOMICAL, EFFECTIVE AND CONTINUOUS CONTROL THROUGHOUT THE CONSTRUCTION PHASE. TEMPORARY MEASURES SHALL NOT BE CONSTRUCTED FOR EXPEDIENCY IN LIEU OF PERMANENT MEASURES.
 EROSION AND SEDIMENT CONTROL MEASURES SHALL BE ADEQUATELY MAINTAINED TO PERFORM THEIR INTENDED FUNCTION DURING CONSTRUCTION OF THE PROJECT.
 NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BARRIERS SHALL BE ACCOMPLISHED PROMPTLY.
 SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
 MATERIAL FROM SEDIMENT TRAPS SHALL NOT BE STOCKPILED OR DISPOSED OF IN A MANNER WHICH MAKES THEM READILY SUSCEPTIBLE TO BEING WASHED INTO ANY WATERCOURSE BY RUNOFF OR HIGH WATER.
 ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE BARRIERS ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

EROSION & SEDIMENT CONTROL (N.T.S.)

	Howey-in-the-Hills	DATE: FEB 2022
	Standard Details	DETAIL G-1

INLET
 SIDEWALK
 CURB & GUTTER
 ROCK BAGS
 CURB INLET

TYPE III SILT FENCE PROTECTION AROUND DITCH BOTTOM INLETS
 ALTERNATE DESIGNS MAY BE PROPOSED BY ENGINEER

INLET PROTECTION (N.T.S.)

	Howey-in-the-Hills	DATE: FEB 2022
	Standard Details	DETAIL G-3

DRIPLINE OF TREE IS THE EXTENT OF ITS OUTER BRANCHES
 WOOD BRACING OR ORANGE MESH FENCING AROUND DRIPLINE. NAIL WOOD BRACING TO WOOD STAKES OR ATTACH MESH WITH TWISTED WIRE.
 WOOD BRACING (TYP.)
 WOOD STAKE (TYP.)
 4' HT.
 5' TYP.
 #5 REBAR OR WOOD STAKES 1.0' INTO GROUND, 5.0' ON CENTER ZIP TIES OR TWISTED WIRE.

NOTE: BARBED WIRE FENCING IS NOT PERMISSIBLE

TREE PROTECTION (N.T.S.)

	Howey-in-the-Hills	DATE: FEB 2022
	Standard Details	DETAIL G-4

CLOSED CELL SOLID PLASTIC FOAM FLOTATION (6" DIA. EQUIV. - 12 LBS. PER FT. BUOYANCY)
 18 OZ. NYLON REINFORCED PVC FABRIC (300 PSI TEST) WITH LACING GROMMETS
 5/8" POLYPRO ROPE (600 LB. BREAKING STRENGTH)
 1/4" GALV. CHAIN

D1 - 5 FT. STANDARD, SINGLE PANEL FOR DEPTHS 5 FT. OR LESS
 D2 - 5 FT. STANDARD, ADDITIONAL PANEL FOR DEPTHS GREATER THAN 5 FT.

CURTAIN TO REACH BOTTOM UP TO DEPTHS OF 10 FT. TWO PANELS TO BE USED FOR DEPTHS GREATER THAN 10 FT. UNLESS SPECIAL DEPTH CURTAINS SPECIFICALLY CALLED FOR IN PLANS OR DESIGNATED BY ENGINEER.

FLOATING TURBIDITY BARRIER (N.T.S.)

	Howey-in-the-Hills	DATE: FEB 2022
	Standard Details	DETAIL G-2

ROADWAY
 WHERE GRADE EXCEEDS 2%
 2% OR GREATER
 SECTION A-A
 FILTER FABRIC

SEDIMENT BARRIER
 SPILLWAY
 SUPPLY WATER TO WASH WHEELS IF NECESSARY
 30" MIN.
 FLOW
 FLOOD
 NOTE: CONSTRUCT SEDIMENT BARRIER AND CHANNELIZE RUNOFF TO BASIN AS REQUIRED.

EXISTING PAVED ROAD
 2"-3" COURSE AGGREGATE MINIMUM 6" THICK (TYP.)
 12' MIN.
 DIVERSION RIDGE
 50' MIN.

NOTES:
 1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OR-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
 4. ALL MATERIALS SPILLED, DROPPED, OR TRACKED ONTO PUBLIC ROADS (INCLUDING AGGREGATE AND CONSTRUCTION MUD) SHALL BE REMOVED DAILY, OR MORE FREQUENTLY IF SO DIRECTED.

TEMPORARY CONSTRUCTION ENTRANCE (N.T.S.)

	Howey-in-the-Hills	DATE: FEB 2022
	Standard Details	DETAIL R-23

No.	Date	Revision	By
1	8/5/22	FEB. TOWN OF HOWEY-IN-THE-HILLS COMMENTS	RAH

TOWN OF
 HOWEY-IN-THE-HILLS
 DETAILS

MASS GRADING PLANS
 FOR HILLSIDE GROVES
 HOWEY IN THE HILLS
 PREPARED FOR
 EASTON & ASSOCIATES
 MIAMI, FL

Jul 20, 2023
 JUSTIN WILLIAMS, P.E.
 FL P.E. #69260
 Reg. Engineer

Project No.: 21-04-0008	Drawn: RAH
Designed: RRB	O.C.: RCW
Checked: RRB	
Date: APRIL 2021	DATUM:
Scale: N/A	

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OWNER'S REQUIREMENTS

CONTRACTOR'S REQUIREMENTS

Printed By: Eric
Printed: Jul 20, 2023 - 9:54am

SITE DESCRIPTION

PROJECT NAME AND LOCATION:
HILLSIDE GROVES
HOWEY-IN-THE-HILLS
LAKE COUNTY, FL

OWNER NAME AND ADDRESS:
LENNAR - ORLANDO
6750 FORUM DRIVE, SUITE 310
ORLANDO, FL 32821

DESCRIPTION:
RESIDENTIAL SUBDIVISION

SOIL DISTURBING ACTIVITIES WILL INCLUDE:
CLEARING AND GRUBBING; EARTHWORK, PAVEMENT AND GRADING;
STORM SEWER, AND PREPARATION FOR FINAL PLANTING
AND SEEDING.

RUNOFF COEFFICIENT:
1. PRE-CONSTRUCTION = .3
2. DURING CONSTRUCTION = .8
3. POST-CONSTRUCTION = .8

SOILS:
SEE SOIL BORING REPORT FOR SOILS DATA

SITE MAPS:
* SEE ATTACHED GRADING PLAN FOR PRE & POST DEVELOPMENT GRADES,
AREAS OF SOILS, DISTURBANCE, LOCATION OF SURFACE WATERS, WETLANDS,
PROTECTED AREAS, MAJOR STRUCTURAL AND NONSTRUCTURAL CONTROLS
AND STORM WATER DISCHARGE POINTS.
* SEE ATTACHED EROSION & TURBIDITY CONTROL PLAN FOR LOCATION OF
TEMPORARY STABILIZATION PRACTICES, AND TURBIDITY BARRIERS
* SEE GENERAL NOTES FOR REQUIREMENTS FOR TEMPORARY AND
PERMANENT STABILIZATION.

SITE AREA:
1. TOTAL AREA OF SITE = 375.2 AC
2. TOTAL AREA TO BE DISTURBED = 239.3 AC

CONTROLS

THIS PLAN UTILIZES BEST MANAGEMENT PRACTICES TO CONTROL
EROSION AND TURBIDITY CAUSED BY STORM WATER RUN OFF. AN EROSION AND
TURBIDITY PLAN HAS BEEN PREPARED TO INSTRUCT THE CONTRACTOR ON
PLACEMENT OF THESE CONTROLS. IT IS THE CONTRACTOR'S RESPONSIBILITY
TO INSTALL AND MAINTAIN THE CONTROLS PER PLAN AS WELL AS ENSURING
THE PLAN IS PROVIDING THE PROPER PROTECTION AS REQUIRED BY FEDERAL,
STATE AND LOCAL LAWS. REFER TO "CONTRACTORS RESPONSIBILITY" FOR A
VERBAL DESCRIPTION OF THE CONTROLS THAT MAY BE IMPLEMENTED.

STORM WATER MANAGEMENT

STORM WATER DRAINAGE WILL BE PROVIDED BY (DESCRIPTION): _____
WET & DRY DETENTION AREAS

FOR THE PROJECT, AREAS WHICH ARE NOT TO BE CONSTRUCTED ON, BUT
WILL BE REGRADED SHALL BE STABILIZED IMMEDIATELY AFTER GRADING IS
COMPLETE. THE SITE DISCHARGES TO A DRAINAGE SYSTEM AS SHOWN ON THE
PLANS. WHERE PRACTICAL, TEMPORARY SEDIMENT BASINS WILL BE USED TO
INTERCEPT SEDIMENT BEFORE ENTERING THE PERMANENT DETENTION BASIN.

TIMING OF CONTROLS/MEASURES

REFER TO " CONTRACTORS RESPONSIBILITY" FOR THE TIMING OF
CONTROL/MEASURES.

**CERTIFICATION OF COMPLIANCE WITH
FEDERAL, STATE AND LOCAL REGULATIONS**

IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL LAWS RELATED TO STORM
WATER MANAGEMENT AND EROSION AND TURBIDITY CONTROLS, THE FOLLOWING
PERMITS HAVE BEEN OBTAINED.

D.E.P. DREDGE/FILL PERMIT # _____
C.O.E. DREDGE/FILL PERMIT # _____
S.J.R.W.M.D. M.S.S.W. PERMIT # _____

POLLUTION PREVENTION PLAN CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL
ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN
ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED
PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION
SUBMITTED, BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO
MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR
GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE
BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I
AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE
INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR
KNOWING VIOLATIONS.

SIGNED: _____

DATED: _____

GENERAL

THE CONTRACTOR SHALL AT A MINIMUM IMPLEMENT THE CONTRACTOR'S
REQUIREMENTS OUTLINED BELOW AND THOSE MEASURES SHOWN ON THE EROSION
AND TURBIDITY CONTROL PLAN. IN ADDITION THE CONTRACTOR SHALL UNDERTAKE
ADDITIONAL MEASURES REQUIRED TO BE IN COMPLIANCE WITH APPLICABLE PERMIT
CONDITIONS AND STATE WATER QUALITY STANDARDS. DEPENDING ON THE NATURE
OF MATERIALS AND METHODS OF CONSTRUCTION THE CONTRACTOR MAY BE
REQUIRED TO ADD FLOCCULANTS TO THE RETENTION SYSTEM PRIOR TO PLACING
THE SYSTEM INTO OPERATION.

SEQUENCE OF MAJOR ACTIVITIES:

THE ORDER OF ACTIVITIES WILL BE AS FOLLOWS:

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE	9. INSTALL UTILITIES, STORM SEWER, CURBS & GUTTER.
2. INSTALL SILT FENCES AND HAY BALES AS REQUIRED	10. APPLY BASE TO PROJECT COMPLETE GRADING AND
3. CLEAR AND GRUB FOR DIVERSION SWALES/DIKES AND SEDIMENT BASIN	11. INSTALL PERMANENT SEEDING/SOD AND PLANTING
4. CONSTRUCT SEDIMENTATION BASIN	12. COMPLETE FINAL PAVING
5. CONTINUE CLEARING AND GRUBBING	13. REMOVE ACCUMULATED SEDIMENT FROM BASINS
6. STOCK PILE TOP SOIL IF REQUIRED	14. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE ANY TEMPORARY DIVERSION SWALES/DIKES AND RESEED/SOD AS REQUIRED
7. PERFORM PRELIMINARY GRADING ON SITE AS REQUIRED	
8. STABILIZE DENuded AREAS AND STOCKPILES AS SOON AS PRACTICABLE	

TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, THE SILT FENCES
AND HAY BALES AND STABILIZED CONSTRUCTION ENTRANCE
WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY
OTHER PORTIONS OF THE SITE. STABILIZATION MEASURES SHALL BE
INITIATED AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE
CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY
CEASED. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN
AREA, THAT AREA WILL BE STABILIZED PERMANENTLY IN ACCORDANCE
WITH THE PLANS. AFTER THE ENTIRE SITE IS STABILIZED, THE
ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE SEDIMENT TRAPS
AND THE EARTH DIKE/SWALES WILL BE REGRADED/REMOVED AND STABILIZED
IN ACCORDANCE WITH THE EROSION & TURBIDITY CONTROL PLAN.

CONTROLS

IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT THE EROSION AND
TURBIDITY CONTROLS AS SHOWN ON THE EROSION AND TURBIDITY CONTROL
PLAN. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THESE
CONTROLS ARE PROPERLY INSTALLED, MAINTAINED AND FUNCTIONING PROPERLY
TO PREVENT TURBID OR POLLUTED WATER FROM LEAVING THE PROJECT SITE.
THE CONTRACTOR WILL ADJUST THE EROSION AND TURBIDITY CONTROLS SHOWN
ON THE EROSION AND TURBIDITY CONTROL PLAN AND ADD ADDITIONAL CONTROL
MEASURES, AS REQUIRED, TO ENSURE THE SITE MEETS ALL FEDERAL, STATE AND
LOCAL EROSION AND TURBIDITY CONTROL REQUIREMENTS. THE FOLLOWING BEST
MANAGEMENT PRACTICES WILL BE IMPLEMENTED BY THE CONTRACTOR AS
REQUIRED BY THE EROSION AND TURBIDITY CONTROL PLAN AND AS REQUIRED
TO MEET THE EROSION AND TURBIDITY REQUIREMENTS IMPOSED ON THE PROJECT
SITE BY THE REGULATORY AGENCIES.

**EROSION AND SEDIMENT CONTROLS
STABILIZATION PRACTICES**

- HAY BALE BARRIER: HAY BALE BARRIERS CAN BE USED BELOW
DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE
FOLLOWING LIMITATIONS:
A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT.
B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM
CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES.
C. WHERE EFFECTIVENESS IS REQUIRED FOR LESS THAN 3 MONTHS.
D. EVERY EFFORT SHOULD BE MADE TO LIMIT THE USE OF STRAW BALE
BARRIERS CONSTRUCTED IN LIVE STREAMS OR IN SWALES WHERE
THERE IS THE POSSIBILITY OF A WASHOUT. IF NECESSARY, MEASURES
SHALL BE TAKEN TO PROPERLY ANCHOR BALES TO INSURE
AGAINST WASHOUT.
REFER TO LOCAL JURISDICTION DETAIL FOR CONSTRUCTING THE HAY
BALE BARRIER.
- FILTER FABRIC BARRIER: FILTER FABRIC BARRIERS CAN BE USED BELOW
DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE
FOLLOWING LIMITATIONS:
A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT.
B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM
CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES.
- BRUSH BARRIER WITH FILTER FABRIC: BRUSH BARRIER MAY BE USED
BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WHERE
ENOUGH RESIDUE MATERIAL IS AVAILABLE ON SITE.
- LEVEL SPREADER: A LEVEL SPREADER MAY BE USED WHERE SEDIMENT-
FREE STORM RUNOFF IS INTERCEPTED AND DIVERTED AWAY FROM THE
GRADED AREAS ONTO UNDISTURBED STABILIZED AREAS. THIS PRACTICE
APPLIES ONLY IN THOSE SITUATIONS WHERE THE SPREADER CAN BE

CONSTRUCTED ON UNDISTURBED SOIL AND THE AREA BELOW THE LEVEL
UP IS STABILIZED. THE WATER SHOULD NOT BE ALLOWED TO
RECONCENTRATE AFTER RELEASE. LEVEL SPREADER SHALL BE CONSTRUCTED
IN ACCORDANCE TO LOCAL JURISDICTION DETAIL.

5. STOCKPILING MATERIAL: NO EXCAVATED MATERIAL SHALL BE
STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF
THE PROJECT SITE INTO ANY ADJACENT WATER BODY OR STORM WATER
COLLECTION FACILITY.

6. EXPOSED AREA LIMITATION: THE SURFACE AREA OF OPEN, RAW ERODEABLE
SOIL EXPOSED BY CLEARING AND GRUBBING OPERATIONS OR
EXCAVATION AND FILLING OPERATIONS SHALL NOT EXCEED 10 ACRES.
THIS REQUIREMENT MAY BE WAIVED FOR LARGE PROJECTS WITH AN
EROSION CONTROL PLAN WHICH DEMONSTRATES THAT OPENING OF
ADDITIONAL AREAS WILL NOT SIGNIFICANTLY AFFECT OFF-SITE DEPOSIT
OF SEDIMENTS.

7. INLET PROTECTION: INLETS AND CATCH BASINS WHICH DISCHARGE
DIRECTLY OFF-SITE SHALL BE PROTECTED FROM SEDIMENT-LADEN STORM
RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS
THAT MAY CONTRIBUTE SEDIMENT TO THE INLET.

8. TEMPORARY SEEDING: AREAS OPENED BY CONSTRUCTION OPERATIONS
AND THAT ARE NOT ANTICIPATED TO BE RE-EXCAVATED OR DRESSED AND
RECEIVE FINAL GRASSING TREATMENT WITHIN 30 DAYS SHALL BE SEEDED
WITH A QUICK GROWING GRASS SPECIES WHICH WILL PROVIDE AN EARLY
COVER DURING THE SEASON IN WHICH IT IS PLANTED AND WILL NOT
LATER COMPETE WITH THE PERMANENT GRASSING.

9. TEMPORARY SEEDING AND MULCHING: SLOPES STEEPER THAN 6:1 THAT
FALL WITHIN THE CATEGORY ESTABLISHED IN PARAGRAPH 8 ABOVE
SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES
LOOSE MEASURE OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDED
AREA ADEQUATE TO PREVENT MOVEMENT OF SEED AND MULCH.

10. TEMPORARY GRASSING: THE SEEDED OR SEEDED AND MULCHED AREA(S)
SHALL BE ROLLED AND WATERED OR HYDROMULCHED OR OTHER
SUITABLE METHODS IF REQUIRED TO ASSURE OPTIMUM GROWING
CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER.
TEMPORARY GRASSING SHALL BE THE SAME MIX & AMOUNT REQUIRED
FOR PERMANENT GRASSING IN THE CONTRACT SPECIFICATIONS.

11. TEMPORARY REGRESSING: IF, AFTER 14 DAYS FROM SEEDING, THE
TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 75
PERCENT GOOD GRASS COVER, THE AREA WILL BE REWORKED AND
ADDITIONAL SEED APPLIED SUFFICIENT TO ESTABLISH THE DESIRED
VEGETATIVE COVER.

12. MAINTENANCE: ALL FEATURES OF THE PROJECT DESIGNED AND
CONSTRUCTED TO PREVENT EROSION AND SEDIMENT SHALL BE
MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO
FUNCTION AS THEY WERE ORIGINALLY DESIGNED AND CONSTRUCTED.

13. PERMANENT EROSION CONTROL: THE EROSION CONTROL FACILITIES OF
THE PROJECT SHOULD BE DESIGNED TO MINIMIZE THE IMPACT ON THE
OFFSITE FACILITIES.

14. PERMANENT SEEDING: ALL AREAS WHICH HAVE BEEN DISTURBED BY
CONSTRUCTION WILL, AS A MINIMUM, BE SEEDED. THE SEEDING MIX MUST
PROVIDE BOTH LONG-TERM VEGETATION AND RAPID GROWTH SEASONAL
VEGETATION. SLOPES STEEPER THAN 4:1 SHALL BE SEEDED AND MULCHED
OR SOODED.

STRUCTURAL PRACTICES

- TEMPORARY DIVERSION DIKE: TEMPORARY DIVERSION DIKES MAY BE
USED TO DIVERT RUNOFF THROUGH A SEDIMENT-TRAPPING FACILITY.
- TEMPORARY SEDIMENT TRAP: A SEDIMENT TRAP SHALL BE INSTALLED IN
A DRAINAGEWAY AT A STORM DRAIN INLET OR AT OTHER POINTS OF
DISCHARGE FROM A DISTURBED AREA.
THE FOLLOWING SEDIMENT TRAPS MAY BE CONSTRUCTED EITHER
INDEPENDENTLY OR IN CONJUNCTION WITH A TEMPORARY DIVERSION
DIKE:
A. BLOCK & GRAVEL SEDIMENT FILTER - THIS PROTECTION IS
APPLICABLE WHERE HEAVY FLOWS AND/OR WHERE AN OVERFLOW
CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND
THE STRUCTURE.
B. GRAVEL SEDIMENT TRAP - THIS PROTECTION IS APPLICABLE WHERE
HEAVY CONCENTRATED FLOWS ARE EXPECTED, BUT NOT WHERE
PONDING AROUND THE STRUCTURE MIGHT CAUSE EXCESSIVE
INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURES & UNPROTECTED
AREAS.
C. DROP INLET SEDIMENT TRAP - THIS PROTECTION IS APPLICABLE WHERE
THE INLET DRAINS A RELATIVELY FLAT AREA (S < 5%) AND WHERE
SHEET OR OVERLAND FLOWS (Q < 0.5 CFS) ARE TYPICAL. THIS METHOD
SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS SUCH
AS IN STREET OR HIGHWAY MEDIANS.
- OUTLET PROTECTION: APPLICABLE TO THE OUTLETS OF ALL PIPES AND
PAVED CHANNEL SECTIONS WHERE THE FLOW COULD CAUSE EROSION
& SEDIMENT PROBLEM TO THE RECEIVING WATER BODY. SILT FENCES &
HAY BALES ARE TO BE INSTALLED IMMEDIATELY DOWNSTREAM OF THE
DISCHARGING STRUCTURE AS SHOWN ON THE OUTLET PROTECTION DETAIL.
- SEDIMENT BASIN: WILL BE CONSTRUCTED AT THE COMMON DRAINAGE
LOCATIONS THAT SERVE AN AREA WITH 10 OR MORE DISTURBED ACRES
AT ONE TIME. THE PROPOSED STORM WATER PONDS (OR TEMPORARY
PONDS) WILL BE CONSTRUCTED FOR USE AS SEDIMENT BASINS. THESE
SEDIMENT BASINS MUST PROVIDE A MINIMUM OF 3,600 CUBIC FEET OF
STORAGE PER ACRE DRAINED UNTIL FINAL STABILIZATION OF THE SITE.

THE 3,600 CUBIC FEET OF STORAGE AREA PER ACRE DRAINED DOES NOT
APPLY TO FLOWS FROM OFFSITE AREAS AND FLOWS FROM ONSITE AREAS
THAT ARE EITHER UNDISTURBED OR HAVE UNDERGONE FINAL
STABILIZATION WHERE SUCH FLOWS ARE DIVERTED AROUND BOTH THE
DISTURBED AREA AND THE SEDIMENT BASIN. ANY TEMPORARY SEDIMENT
BASINS CONSTRUCTED MUST BE BACKFILLED AND COMPACTED IN
ACCORDANCE WITH THE SPECIFICATIONS FOR STRUCTURAL FILL. ALL
SEDIMENT COLLECTED IN PERMANENT OR TEMPORARY SEDIMENT TRAPS
MUST BE REMOVED UPON FINAL STABILIZATION.

OTHER CONTROLS

WASTE DISPOSAL

WASTE MATERIALS

ALL WASTE MATERIALS EXCEPT LAND CLEARING DEBRIS SHALL BE
COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER. THE
DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT
REGULATIONS. THE DUMPSTER WILL BE EMPTIED AS NEEDED AND THE
TRASH WILL BE HAULED TO A STATE APPROVED LANDFILL. ALL
PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT
PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE
PRACTICES WILL BE POSTED AT THE CONSTRUCTION SITE BY THE
CONSTRUCTION SUPERINTENDENT. THE INDIVIDUAL WHO MANAGES
THE DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR
SEEING THAT THESE PROCEDURES ARE FOLLOWED.

HAZARDOUS WASTE

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE
MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE
MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE
PRACTICES AND THE SITE SUPERINTENDENT, THE INDIVIDUAL WHO
MANAGES DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR
SEEING THAT THESE PRACTICES ARE FOLLOWED.

SANITARY WASTE

ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS
NEEDED TO PREVENT POSSIBLE SPILLAGE. THE WASTE WILL BE COLLECTED
AND DEPOSED OF IN ACCORDANCE WITH STATE AND LOCAL WASTE DISPOSAL
REGULATIONS FOR SANITARY SEWER OR SEPTIC SYSTEMS.

OFFSITE VEHICLE TRACKING

A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP
REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT
TO THE SITE ENTRANCE WILL BE SWEEP DAILY TO REMOVE ANY EXCESS
MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING
MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A
TARPAULIN.

INVENTORY FOR POLLUTION PREVENTION PLAN

THE MATERIALS OR SUBSTANCES LISTED BELOW ARE EXPECTED TO BE
PRESENT ONSITE DURING CONSTRUCTION:

<input checked="" type="checkbox"/> Concrete	<input checked="" type="checkbox"/> Fertilizers	<input checked="" type="checkbox"/> Wood
<input checked="" type="checkbox"/> Asphalt	<input checked="" type="checkbox"/> Petroleum Based Products	<input checked="" type="checkbox"/> Masonry Blocks
<input checked="" type="checkbox"/> Tar	<input checked="" type="checkbox"/> Cleaning Solvents	<input checked="" type="checkbox"/> Roofing Materials
<input checked="" type="checkbox"/> Detergents	<input checked="" type="checkbox"/> Paints	<input checked="" type="checkbox"/> Metal Studs
<input type="checkbox"/> _____	<input type="checkbox"/> _____	<input type="checkbox"/> _____

SPILL PREVENTION

MATERIAL MANAGEMENT PRACTICES

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL
BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE
OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

GOOD HOUSEKEEPING

THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED
ONSITE DURING THE CONSTRUCTION PROJECT.

- AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO
DO THE JOB.
- ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY
MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A
ROOF OR OTHER ENCLOSURE.
- PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE
ORIGINAL MANUFACTURER'S LABEL.
- SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS
RECOMMENDED BY THE MANUFACTURER.
- WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE
DISPOSING OF THE CONTAINER.
- MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL
WILL BE FOLLOWED.
- THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE MATERIALS
ONSITE RECEIVE PROPER USE AND DISPOSAL.

HAZARDOUS PRODUCTS

THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH
HAZARDOUS MATERIALS.

- PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT
RESEALABLE.
- ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY
CONTAIN IMPORTANT PRODUCT INFORMATION.
- IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL
AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE
FOLLOWED.

PRODUCT SPECIFIC PRACTICES

THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ONSITE:

PETROLEUM PRODUCTS

ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE
REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF
LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED
CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES
USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S
RECOMMENDATIONS.

FERTILIZERS

FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS
RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL
BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER.
STORAGE WILL BE IN A COVERED AREA. THE CONTENTS OF ANY
PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A
SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS

ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT
REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE
STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING
TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

CONCRETE TRUCKS

CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE
SURPLUS CONCRETE OR DRILL WASH WATER ON THE SITE.

SPILL CONTROL PRACTICES

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT
PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE
FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND
CLEANUP:

MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE
CLEARLY POSTED ON SITE AND SITE PERSONNEL WILL BE MADE AWARE OF THE
PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP
SUPPLIES.

**MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN
THE MATERIAL STORAGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL
INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS,
GLOVES, GOGGLES, LIQUID ABSORBENT (I.E. KITTY LITTER OR EQUAL),
SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY
FOR THIS PURPOSE.**

ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.

THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL
WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM
CONTACT WITH A HAZARDOUS SUBSTANCE.

SPILL OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE
APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE
SIZE OF THE SPILL.

THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO
PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP
THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT
CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

MAINTENANCE/INSPECTION PROCEDURES

EROSION AND SEDIMENT CONTROL INSPECTION AND MAINTENANCE PRACTICES
THE FOLLOWING ARE INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE
USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS.

- NO MORE THAN 10 ACRES OF THE SITE WILL BE DENuded AT ONE TIME
WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.
- ALL CONTROL MEASURES WILL BE INSPECTED BY THE SUPERINTENDENT.
THE PERSON RESPONSIBLE FOR THE DAY TO DAY SITE OPERATION OR
SOMEONE APPOINTED BY THE SUPERINTENDENT, AT LEAST ONCE A WEEK AND
FOLLOWING ANY STORM EVENT OF 0.25 INCHES OR GREATER.
- ALL TURBIDITY CONTROL MEASURES WILL BE MAINTAINED IN GOOD WORKING
ORDER; IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF
REPORT.
- BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS
REACHED ONE-THIRD THE HEIGHT OF THE FENCE.

- SILT FENCE WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, TO
SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND
TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND.
- THE SEDIMENT BASINS WILL BE INSPECTED FOR THE DEPTH OF SEDIMENT,
AND BUILT UP SEDIMENT WILL BE REMOVED WHEN IT REACHES 10
PERCENT OF THE DESIGN CAPACITY OR AT THE END OF THE JOB,
WHICHEVER COMES FIRST.
- DIVERSION DIKES/SWALES WILL BE INSPECTED AND ANY BREACHES
PROMPTLY REPAIRED.
- TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED
FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.
- A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH
INSPECTION.

THE REPORTS WILL BE KEPT ON SITE DURING CONSTRUCTION AND
AVAILABLE UPON REQUEST TO THE OWNER, ENGINEER OR ANY FEDERAL,
STATE OR LOCAL AGENCY APPROVING SEDIMENT AND EROSION
PLANS, OR STORM WATER MANAGEMENT PLANS.
THE REPORTS SHALL BE MADE AND RETAINED AS PART OF THE STORM
WATER POLLUTION PREVENTION PLAN FOR AT LEAST THREE YEARS FROM
THE DATE THAT THE SITE IS FINALLY STABILIZED AND THE NOTICE OF
TERMINATION IS SUBMITTED. THE REPORTS SHALL IDENTIFY ANY INCIDENTS
OF NON-COMPLIANCE.

- THE SITE SUPERINTENDENT WILL SELECT UP TO THREE INDIVIDUALS WHO
WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR
ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE
REPORT.
- PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE
RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE SITE
SUPERINTENDENT. THEY WILL BE TRAINED IN ALL THE INSPECTION AND
MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND
SEDIMENT CONTROLS USED ONSITE IN GOOD WORKING ORDER.

NON-STORM WATER DISCHARGES

IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES
WILL OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD:

- WATER FROM WATER LINE FLUSHING
- PAVEMENT WASH WATERS (WHERE NO DRILLS OR LEAKS OF TOXIC OR
HAZARDOUS MATERIALS HAVE OCCURRED).
- UNCONTAMINATED GROUNDWATER (FROM DEWATERING EXCAVATION).

ALL NON-STORM WATER DISCHARGES WILL BE DIRECTED TO THE PROPER
SEDIMENT TRAPS PRIOR TO DISCHARGE.

CONTRACTOR'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND
CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE
ELIMINATION SYSTEM (NPDES) PERMIT THAT AUTHORIZES THE STORM WATER
DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE
CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

CONTRACTOR'S CERTIFICATION

RESPONSIBLE FOR/DUTIES	GENERAL CONTRACTOR	SUB-CONTRACTOR	SUB-CONTRACTOR	SUB-CONTRACTOR	SUB-CONTRACTOR
BUSINESS NAME AND ADDRESS OF CONTRACTOR & ALL SUBS	SWPPP				
SIGNATURE					

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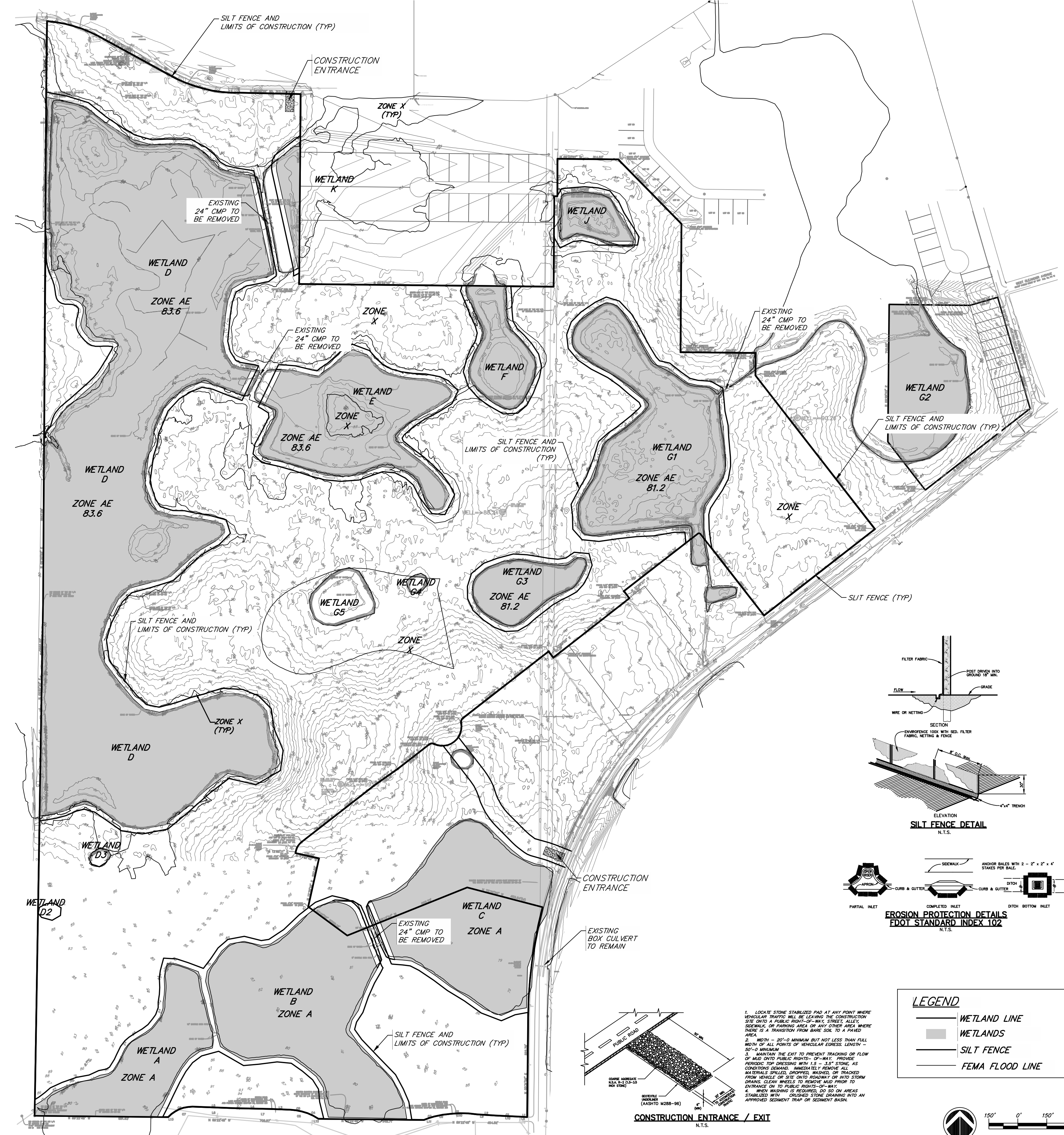
**MASS GRADING PLANS
FOR HILLSIDE GROVES
HOWEY IN THE HILLS**
PREPARED FOR
EASTON & ASSOCIATES
MIAMI, FL

Jul 20, 2023
JUSTIN WILLIAMS, P.E.
FL P.E. #69260
Reg. Engineer

Project No.: 21-04-0008
Designed: RRB Drawn: RAH
Checked: RRB O.C.: RCW
Date: APRIL 2021
Scale: N/A DATUM:
Sheet **C950**

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No.	Date	Revision	By
1	8/5/22	PER. TOWN OF HOWEY-IN-THE-HILLS COMMENTS	RAH

CLEARING, SEDIMENT & EROSION CONTROL PLAN

MASS GRADING PLANS FOR HILLSIDE GROVES HOWEY IN THE HILLS
 PREPARED FOR EASTON & ASSOCIATES MIAMI, FL

Project No.: 21-04-0008
 Designed: RRB
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Jul 20, 2023
 JUSTIN WILLIAMS, P.E.
 FL P.E. #69260
 Reg. Engineer

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FLOODPLAIN FILL COMPENSATION MAP

MASS GRADING PLANS FOR HILLSIDE GROVES HOWEY IN THE HILLS
 PREPARED FOR EASTON & ASSOCIATES MIAMI, FL

Project No.: 21-04-0008
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FLOODPLAIN FILL SUMMARY FOR FLOOD COMPENSATION AREA 1

FILL AREA	FILL VOLUME (CY)
3	761
4	0
5	28
6	7
7	0
8	0
9	2598
10	179
11	150
12	6935
13	18

REQUIRED FLOOD COMPENSATION VOLUME = 10676 CY
 PROVIDED FLOOD COMPENSATION VOLUME = 15282 CY
 THUS, FLOOD COMPENSATION IS PROVIDED.
 EXCESS FLOOD COMPENSATION VOLUME FOR POTENTIAL FUTURE PHASE = 4606 CY

FLOODPLAIN FILL SUMMARY FOR FLOOD COMPENSATION AREA 2

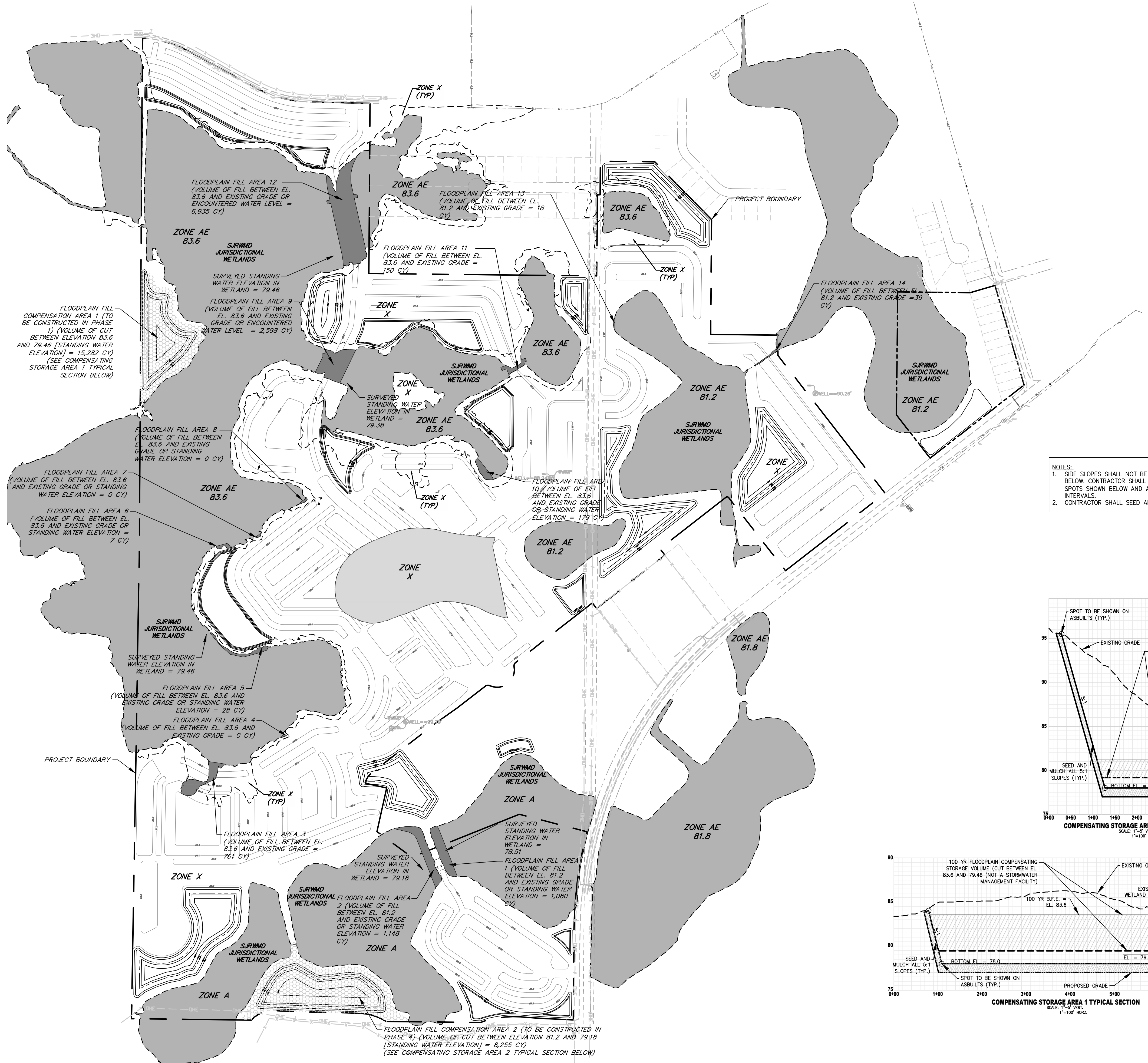
FILL AREA	FILL VOLUME (CY)
1	1080
2	1148
14	39

REQUIRED FLOOD COMPENSATION VOLUME = 2267 CY
 PROVIDED FLOOD COMPENSATION VOLUME = 8255 CY
 THUS, FLOOD COMPENSATION IS PROVIDED.
 EXCESS FLOOD COMPENSATION VOLUME FOR POTENTIAL FUTURE PHASE = 5988 CY

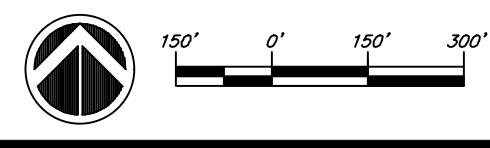
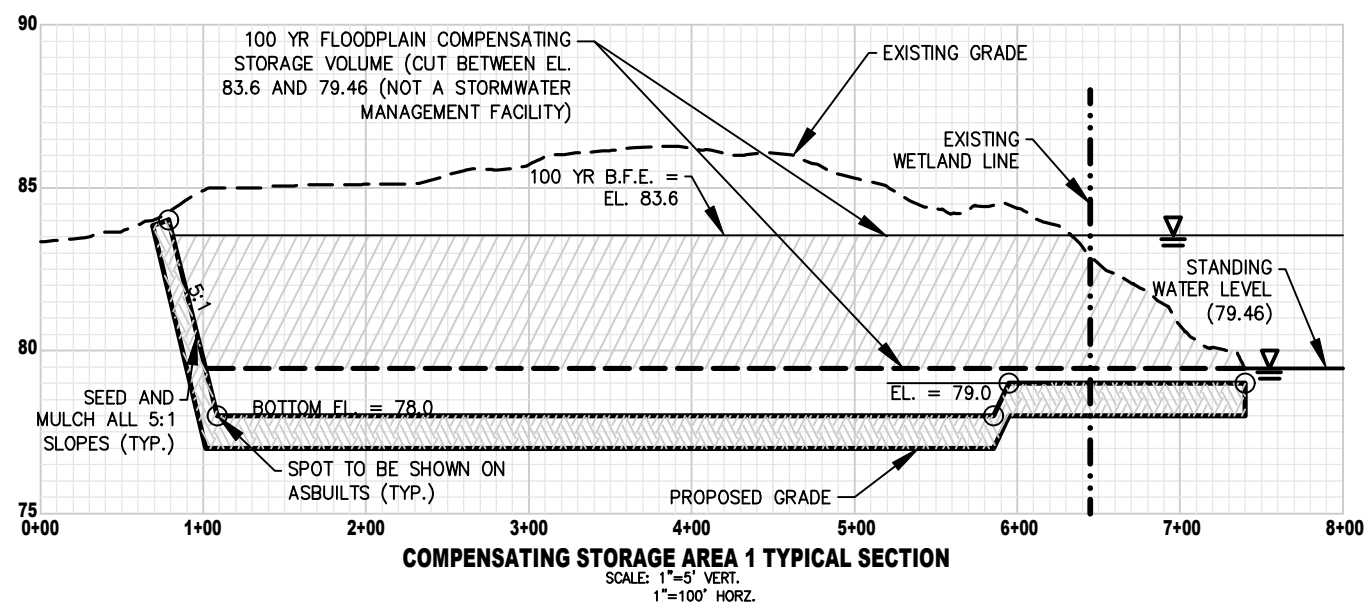
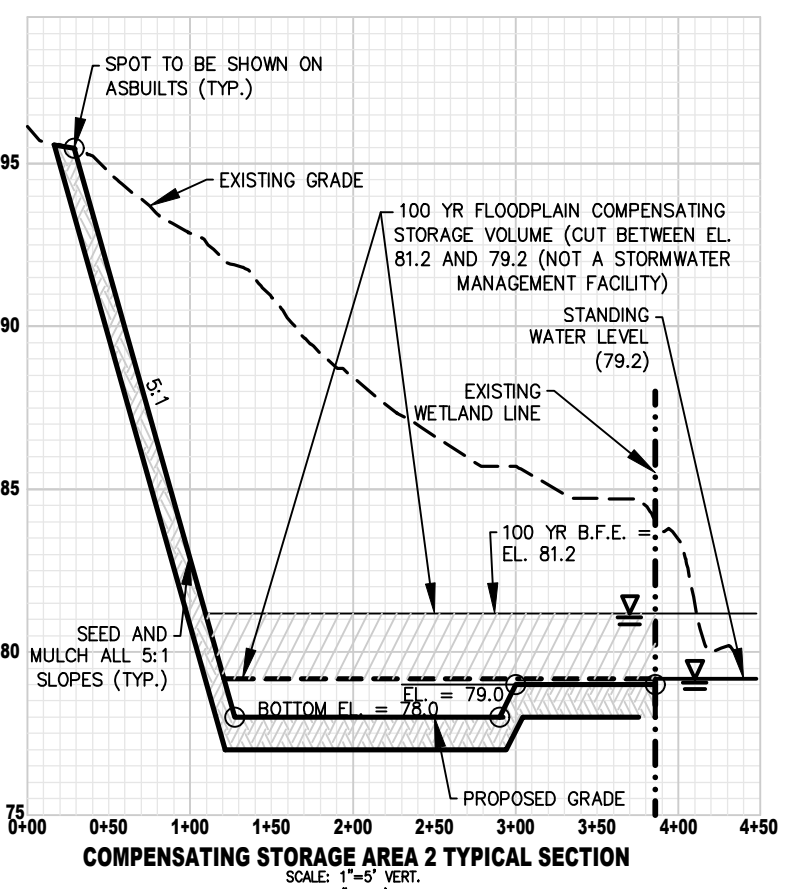
- NOTES:**
- FLOODPLAIN COMPENSATION IS REQUIRED FOR FILL PLACED WITHIN THOSE AREAS DESIGNATED AS SPECIAL FLOOD HAZARD AREAS (SFHA, ZONES A, AE, AO AND VE).
 - SPECIAL FLOOD HAZARD AREAS AND BASE FLOOD ELEVATIONS TAKEN FROM FEMA FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 12069C0485E DATED JANUARY 30, 2020
 - FLOODPLAIN FILL AND COMPENSATION VOLUMES ARE CALCULATED USING TOPOGRAPHIC DATA PROVIDED BY ALLEN & COMPANY. (REFER TO SHEET

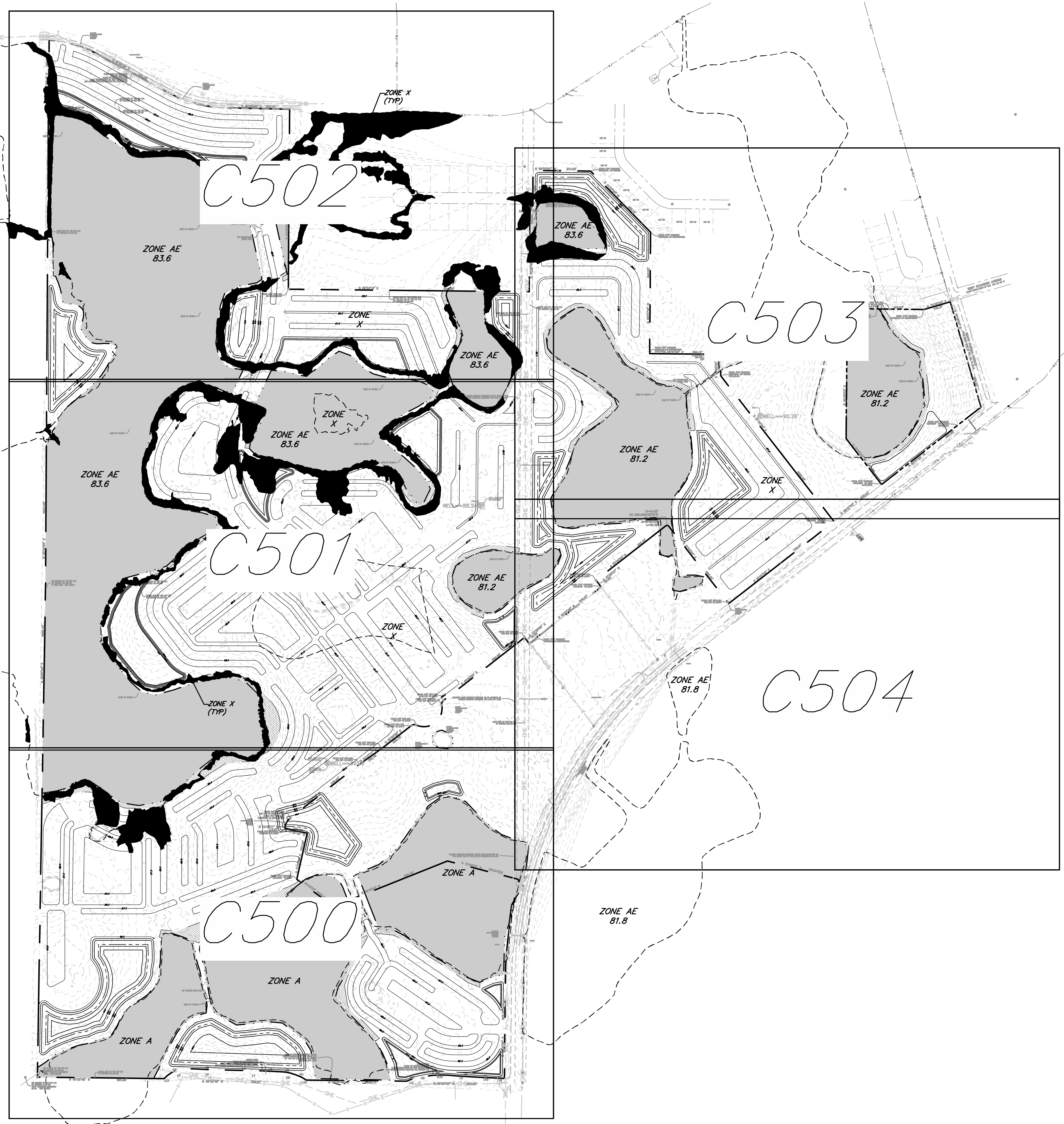
LEGEND

	FLOODPLAIN SPECIAL FLOOD HAZARD AREA
	FLOODPLAIN FILL AREA
	FLOOD COMPENSATION AREA
	PROJECT BOUNDARY



- NOTES:**
- SIDE SLOPES SHALL NOT BE STEEPER THAN 5:1 TO DEPTH SHOWN BELOW. CONTRACTOR SHALL VERIFY SLOPES ON RECORD DRAWINGS AT SPOTS SHOWN BELOW AND AT TURN POINTS AND AT 100' MAXIMUM INTERVALS.
 - CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS.





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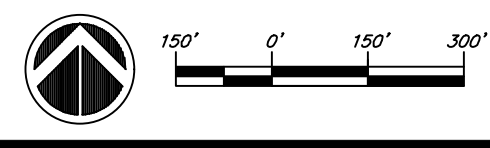
No.	Date	Revision	By
1	8/5/22	PER. TOWN OF HOWEY-IN-THE-HILLS COMMENTS	RAH

MASTER SITE PLAN

**MASS GRADING PLANS
 FOR HILLSIDE GROVES
 HOWEY IN THE HILLS**
 PREPARED FOR
EASTON & ASSOCIATES
 MIAMI, FL

Project No.: 21-04-0008
 Designed: RRB Drawn: RAH
 Checked: RRB O.C.: RCW
 Date: APRIL 2021
 Scale: 1" = 300' DATUM:
 Jul 20, 2023
 JUSTIN WILLIAMS, P.E.
 FL P.E. #69260
 Reg. Engineer

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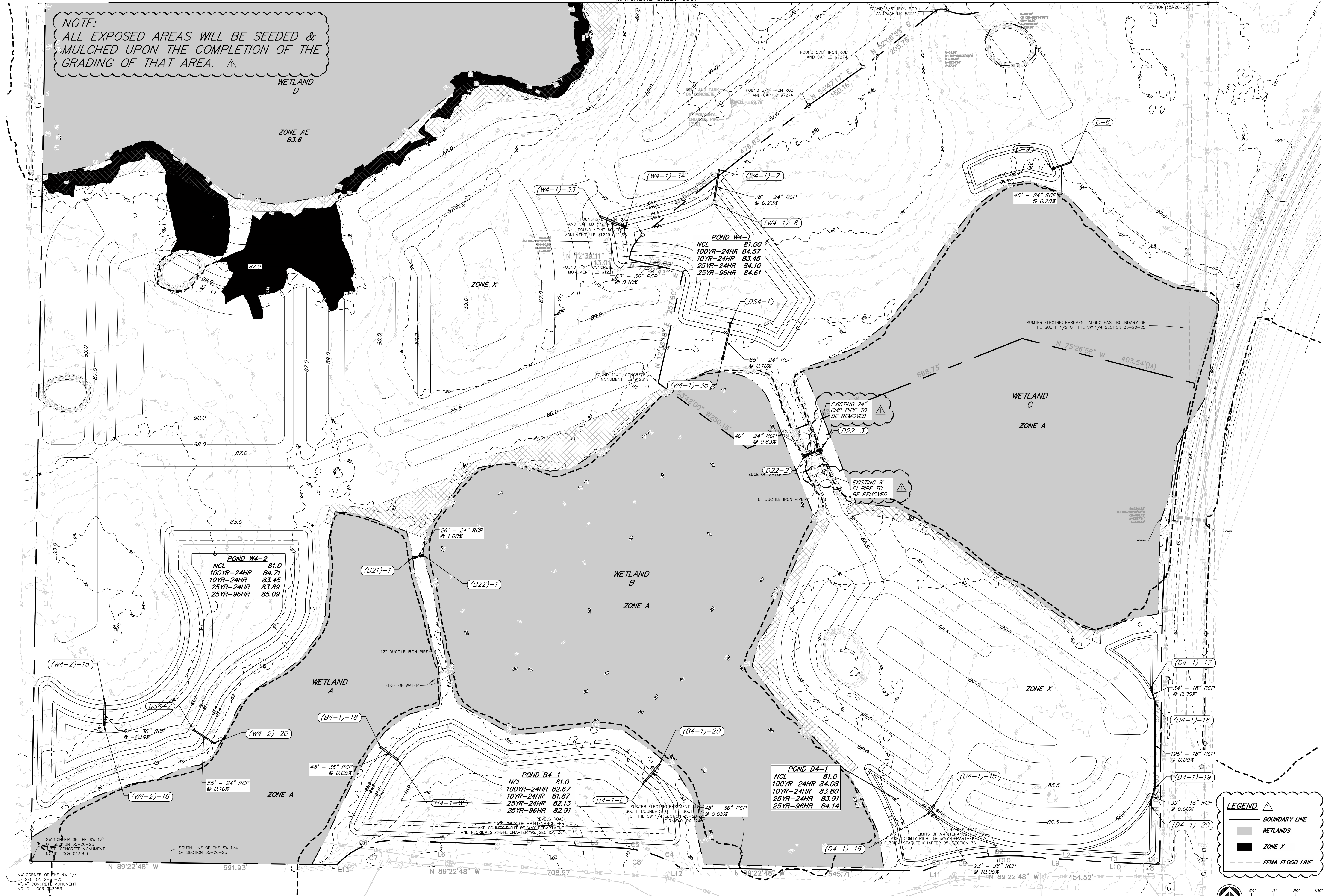


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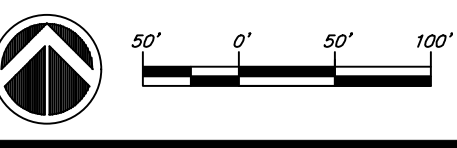
NOTE:
ALL EXPOSED AREAS WILL BE SEEDED & MULCHED UPON THE COMPLETION OF THE GRADING OF THAT AREA. ▲

MATCHLINE SHEET C501



LEGEND

- ▲ BOUNDARY LINE
- WETLANDS
- ZONE X
- FEMA FLOOD LINE



WETLAND D

ZONE AE
83.6

ZONE X

WETLAND C
ZONE A

WETLAND B
ZONE A

WETLAND A

ZONE X

POND W4-2
 NCL 81.0
 100YR-24HR 84.71
 10YR-24HR 83.45
 25YR-24HR 83.89
 25YR-96HR 85.09

POND B4-1
 NCL 81.0
 100YR-24HR 82.67
 10YR-24HR 81.87
 25YR-24HR 82.13
 25YR-96HR 82.91

POND D4-1
 NCL 81.0
 100YR-24HR 84.08
 10YR-24HR 83.80
 25YR-24HR 83.91
 25YR-96HR 84.14

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MASS GRADING PLAN

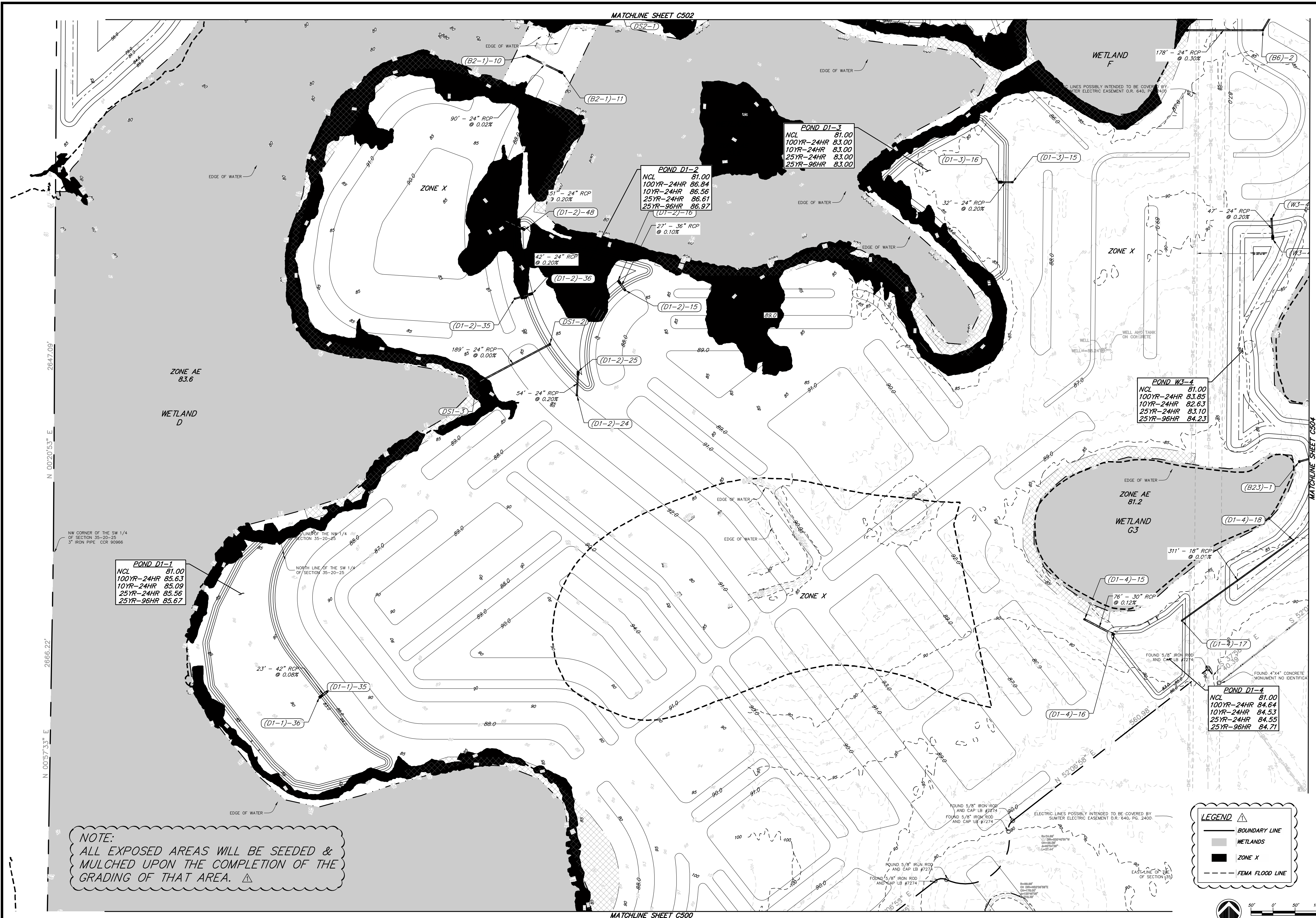
MASS GRADING PLANS FOR HILLSIDE GROVES FOR HOWEY IN THE HILLS
 PREPARED FOR EASTON & ASSOCIATES MIAMI, FL

Project No.: 21-04-0008
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Drawn: RAH
 O.C.: RCW
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 1" = 100'

Sheet **C500** of 71

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MASS GRADING PLAN

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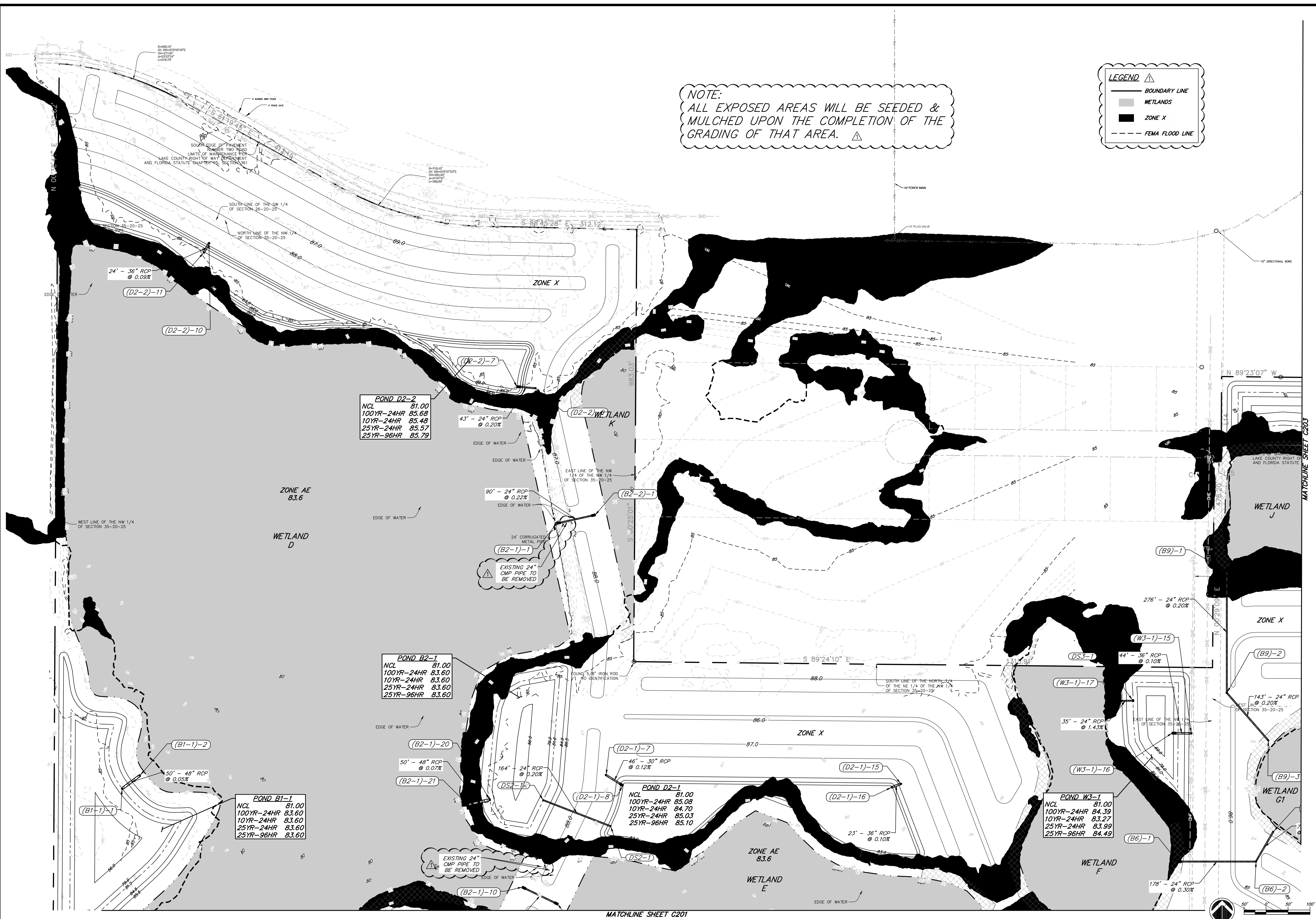
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NOTE:
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 MULCHED UPON THE COMPLETION OF THE
 GRADING OF THAT AREA. ▲

LEGEND

- ▲ BOUNDARY LINE
- WETLANDS
- ZONE X
- - - FEMA FLOOD LINE

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MASS GRADING PLAN

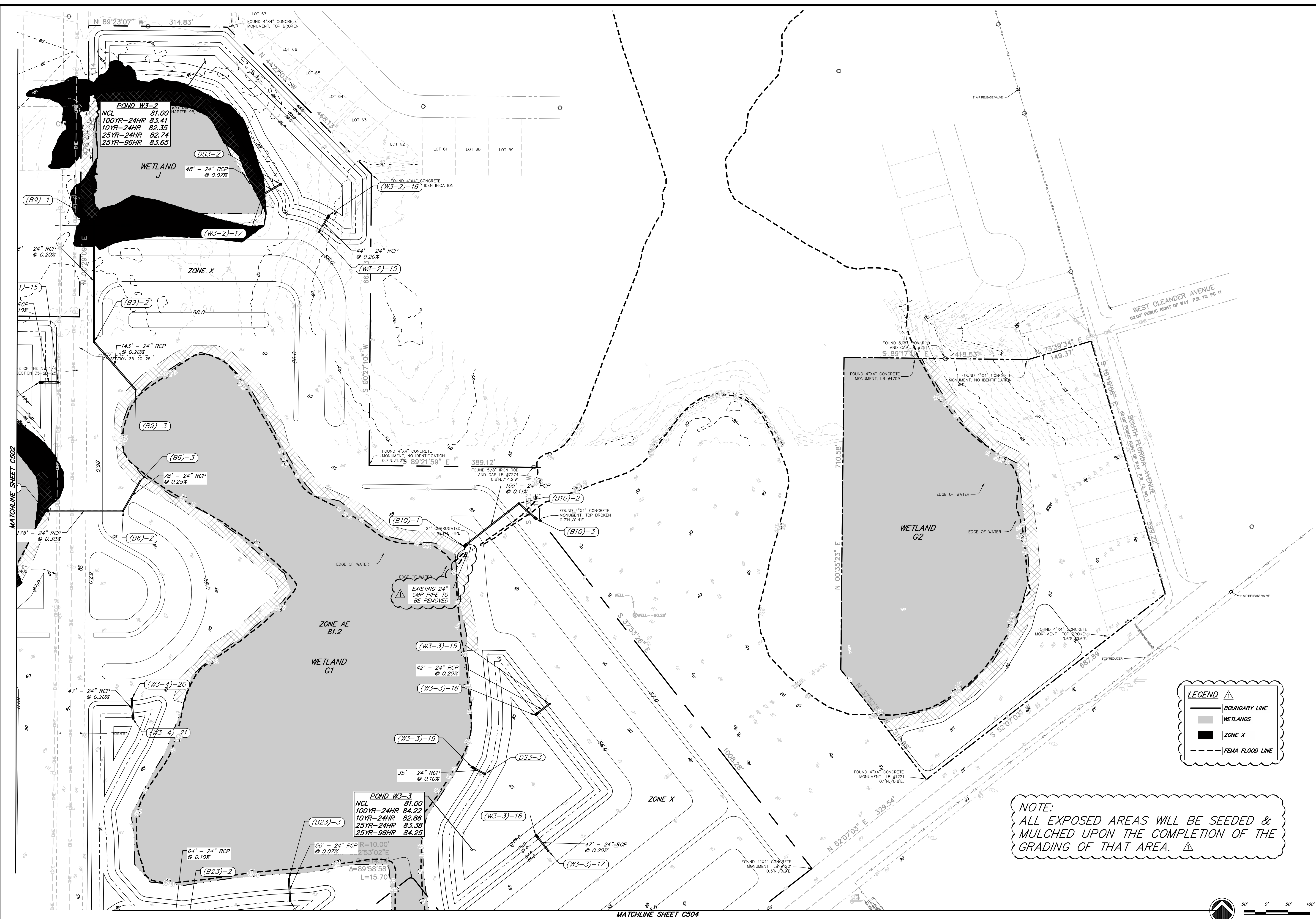
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 FL P.E. #69260
 Reg. Engineer

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MASS GRADING PLAN

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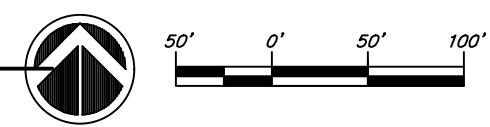
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NOTE:
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LEGEND

- BOUNDARY LINE
- WETLANDS
- ZONE X
- FEMA FLOOD LINE



MATCHLINE SHEET C504

MATCHLINE SHEET C502

Technical Memorandum

Date: July 14, 2023
To: Don Griffey, PE – Griffey Engineering, Inc.
From: Eric Evans, PE -- Connelly and Wicker, Inc.
RE: Hillside Groves Subdivision – Construction Drawings

Below is a response to your comments dated January 10, 2023

1. Additional comments may be added to these with the reviews of subsequent submittals.

Response: Noted

2. This work will require various permits from SJRWMD, Duke Energy, Lake County, FDOT, FDEP, FWC, COE. Provide copies of the applicable permits & approvals before commencing work on the site.

Response: We are currently working to obtain these approvals.

3. Based on the discussion and direction of the Town Council at their meeting on 11/28/2022, Road A needs to be modified per the attached exhibit. Raised crosswalks are to be designed using the Lake County standard, also attached.

Response: The edits to Road A are now shown.

4. Modify the roadway cross section for the 100' right-of-way to reflect the current plan view.

Response: This cross section is now updated to match the new section.

5. Add a note that all curb ramps are to be constructed with the subdivision.

Response: This note is now added.

6. Provide copies of the driveway permit application documents for the connection to No. 2 Rd. Copy the town on the review and response correspondence with Lake County.

Response: We are currently working to obtain this approval.

7. The offsite utility plan along SR 19 needs to call out the location and means for tying in the existing 4" water main. The 4" main needs to be connected into the new 12" main on the west end at the cemetery and on the east end near Florida Ave. The portion of the existing 4" main between these two points needs to be removed, not abandoned in place.

Response: These comments have been addressed on the offsite utility plans.

8. For the 12" water main extension along SR 19 west of Road A, remove the 12x6 reducer. Terminate the line with 12" piping & fittings.

Response: These waterline fittings have been revised per your comment.

9. On the lift station site plan, align the access drive on the center of the wet well.

Response: The driveway has been shifted.

10. Provide hydraulic calculations for the irrigation system.

Response: Irrigation demand calculations are now provided with this submittal.

11. Provide site improvement details for the irrigation supply well that show driveway access and equipment & controls. This area should be fenced for security.

Response: Fencing and placeholder equipment areas are shown. The final design of the system will be addressed by a specialty contractor in a design-build effort.

Please review and approve the material provided and should you have any questions or comments with regard to this application please do not hesitate to call or email. I can be reached at 904.265.3030 or at eevans@cweng.com.

HILLSIDE GROVES SUBDIVISION

IRRIGATION DEMAND CALCULATION

DESIGN REPORT

FOR

Easton & Associates
10165 NW 19th St.
Miami, FL 33172
Phone: (305) 593-2222

PREPARED BY:



Connelly & Wicker, Inc.

10060 Skinner Lake Drive, Suite 500
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Phone: (904) 265-3030 Fax: (904) 265-3031

DATE: 7/10/2023
CWI Project No.: 21-04-0008

Connelly & Wicker, Inc.

HILLSIDE GROVES SUBDIVISION

Index Sheet

Table of Contents

Pages

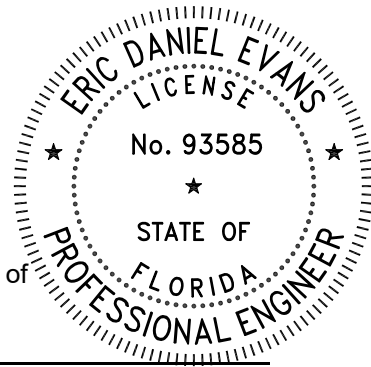
1	Cover Sheet	1
2	Index Sheet	2
3	Project Summary	3
4	Demand Summary Table	4 - 5
5	WaterCad Network Preview	6
6	WaterCad Simulation Results	
	Junction Report	7 - 8
	Pipe Report	9 - 10
	Reservoir Report	11

Eric D
Evans

Digitally signed by Eric D Evans
DN: cn=Eric D Evans, c=US,
o=CONNELLY AND WICKER
INC., email=eevans@cwieg.com
Date: 2023.07.14 08:29:59 -04'00'

Prepared under the direction of

Eric D. Evans, P.E.
PE # 93585



PROJECT SUMMARY

THE PROJECT

The proposed development is located within the Town of Howey in the Hills, Florida. The project is located west of South Palm Avenue and north of Revels Road. The development will contain 728 single family lots.

IRRIGATION WATER SUPPLY

In the future the site will be supplied by reclaimed water for irrigation demands in a future connection on Number 2 Road. However, at this time this system is not available, but onsite irrigation wells are available to supply irrigation water in the interim. The analysis provided here is for the first phase and geographically convenient lots in future phases that could also be served by the existing onsite well adjacent to lot 51. Future Phase 2 is addressed in this analysis which includes Lots 308-385).

Future development can also be supplied by a well located within a future phase adjacent to lot 42. The future lots served will include phase 2 lots 246-307 and phase 3 lots 308-385.

The results of this analysis require the well pump to provide 2,600 GPM at 129 feet of head pressure.

WATER MAIN DESIGN

The analysis provided shows a steady state analysis of a minimum 40 PSI with 5 GPM to each lot. Additionally, each open space and the amenity is conservatively designed for 10 GPM of demand.

DESIGN ANALYSIS

The modeling for this system was accomplished using Bentley OpenFlows WaterCAD CONNECT Edition Update 3.

Connelly & Wicker, Inc.

HILLSIDE GROVES SUBDIVISION

Designed By: EE

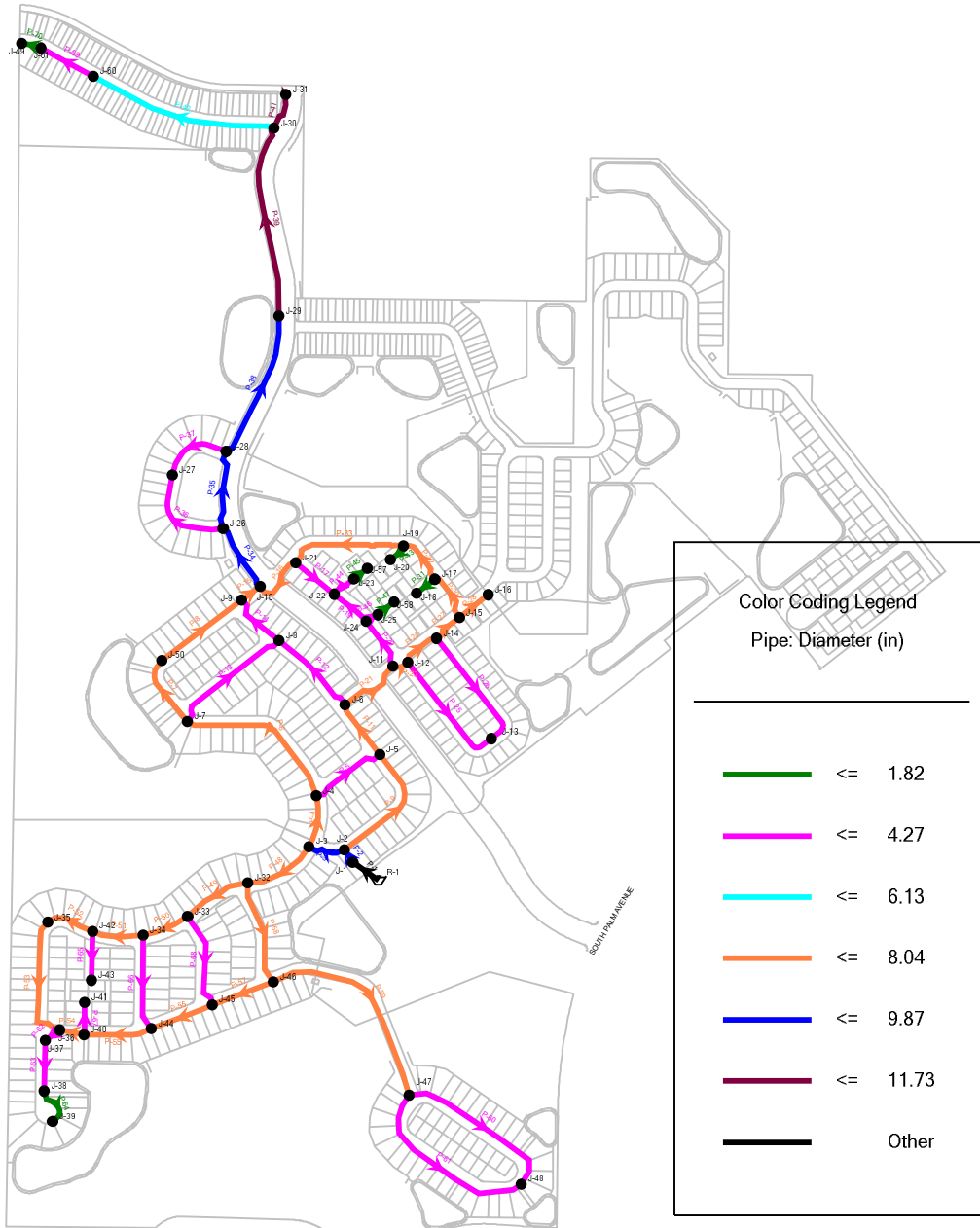
Date: 7/10/2023

Demand Summary Table

Project No: 23-04-0041

Calculate Average Daily Flow				
Junction. No. J-	Description	DU Units	Demand / Unit	Total Demand
1	Single Family Lot	0	5	0
2	Single Family Lot	0	5	0
3	Single Family Lot	0	5	0
4	Single Family Lot	4	5	20
5	Single Family Lot	45	5	225
6	Single Family Lot	16	5	80
7	Landscape Service	1	10	10
8	Single Family Lot	18	5	90
9	Single Family Lot	20	5	100
10	Single Family Lot	0	5	0
11.1	Single Family Lot	4	5	20
11.2	Landscape Service	1	10	10
12	Single Family Lot	0	5	0
13	Single Family Lot	46	5	230
14	Single Family Lot	3	5	15
15	Single Family Lot	5	5	25
16	Single Family Lot	6	5	30
17	Single Family Lot	0	5	0
18	Single Family Lot	6	5	30
19	Single Family Lot	19	5	95
20	Single Family Lot	4	5	20
21	Single Family Lot	0	5	0
22	Single Family Lot	6	5	30
23	Single Family Lot	0	5	0
24	Single Family Lot	4	5	20
25	Single Family Lot	0	5	0
26	Single Family Lot	0	5	0
27	Single Family Lot	17	5	85
28	Amenity Center	1	10	10
29	Single Family Lot	0	5	0
30	Landscape Service	1	10	10
31	Single Family Lot	0	5	0
32	Single Family Lot	12	5	60
33	Single Family Lot	7	5	35
34	Single Family Lot	4	5	20
35	Single Family Lot	5	5	25
36	Single Family Lot	19	5	95
37	Single Family Lot	0	5	0
38	Single Family Lot	13	5	65
39	Single Family Lot	5	5	25
40	Single Family Lot	6	5	30

Scenario: Base



FlexTable: Pipe Table

Label	Diameter (in)	Material	Hazen-Williams C	Flow (gpm)	Velocity (ft/s)	Headloss (Friction) (ft)	Headloss (Minor) (ft)	Headloss (ft)
P-1	999.00	PVC	130.0	2,600.00	0.00	0.00	0.00	0.00
P-2	9.87	PVC	130.0	2,600.00	10.90	2.71	3.45	6.17
P-3	9.87	PVC	130.0	1,673.91	7.02	3.01	2.30	5.31
P-4	8.04	PVC	130.0	708.91	4.48	2.30	0.70	3.00
P-5	4.24	PVC	130.0	89.66	2.04	1.70	0.26	1.96
P-6	8.04	PVC	130.0	599.25	3.79	5.40	0.52	5.92
P-7	8.04	PVC	130.0	506.53	3.20	1.76	0.17	1.93
P-8	8.04	PVC	130.0	476.53	3.01	2.09	0.10	2.20
P-9	8.04	PVC	130.0	926.09	5.85	9.49	0.78	10.27
P-11	8.04	PVC	130.0	790.75	5.00	3.34	0.59	3.94
P-12	4.24	PVC	130.0	99.90	2.27	2.45	0.15	2.60
P-13	4.24	PVC	130.0	-82.72	1.88	2.35	0.23	2.58
P-14	4.24	PVC	130.0	-92.63	2.10	1.35	0.20	1.55
P-15	8.04	PVC	130.0	469.16	2.96	0.47	0.28	0.75
P-16	8.04	PVC	130.0	-25.84	0.16	0.01	0.00	0.01
P-17	4.24	PVC	130.0	11.36	0.26	0.02	0.00	0.03
P-19	4.24	PVC	130.0	-48.64	1.11	0.29	0.03	0.31
P-20	4.24	PVC	130.0	-98.64	2.24	1.38	0.16	1.54
P-21	8.04	PVC	130.0	-610.84	3.86	2.20	0.87	3.07
P-23	8.04	PVC	130.0	482.20	3.05	0.36	0.14	0.50
P-24	8.04	PVC	130.0	362.62	2.29	0.50	0.16	0.66
P-25	4.24	PVC	130.0	119.58	2.72	4.67	0.24	4.91
P-26	4.24	PVC	130.0	-110.42	2.51	4.04	0.20	4.25
P-27	8.04	PVC	130.0	237.20	1.50	0.19	0.05	0.24
P-28	8.04	PVC	130.0	30.00	0.19	0.00	0.00	0.01
P-30	8.04	PVC	130.0	182.20	1.15	0.18	0.08	0.25
P-31	1.81	HDPE	130.0	30.00	3.74	4.14	0.36	4.50
P-32	8.04	PVC	130.0	152.20	0.96	0.13	0.02	0.15
P-33	8.04	PVC	130.0	37.20	0.24	0.02	0.00	0.02
P-34	9.87	PVC	130.0	495.00	2.08	0.58	0.13	0.71
P-35	9.87	PVC	130.0	441.18	1.85	0.54	0.10	0.64
P-36	4.24	PVC	130.0	53.82	1.22	0.82	0.05	0.88
P-37	4.24	PVC	130.0	-31.18	0.71	0.22	0.02	0.24
P-38	9.87	PVC	130.0	400.00	1.68	0.83	0.07	0.91
P-39	11.73	PVC	130.0	400.00	1.19	0.47	0.06	0.52
P-41	11.73	PVC	130.0	0.00	0.00	0.00	0.00	0.00
P-42	6.13	PVC	130.0	390.00	4.24	10.37	0.55	10.92
P-43	1.81	HDPE	130.0	20.00	2.49	1.70	0.16	1.86
P-44	4.24	PVC	130.0	30.00	0.68	0.07	0.01	0.09
P-45	1.81	HDPE	130.0	30.00	3.74	3.05	0.08	3.13
P-46	4.24	PVC	130.0	30.00	0.68	0.04	0.01	0.06
P-47	1.81	HDPE	130.0	30.00	3.74	3.59	0.08	3.67
P-48	8.04	PVC	130.0	965.00	6.10	5.74	1.19	6.93
P-49	8.04	PVC	130.0	433.76	2.74	1.24	0.18	1.42
P-50	8.04	PVC	130.0	328.66	2.08	0.51	0.10	0.61
P-51	8.04	PVC	130.0	251.14	1.59	0.33	0.06	0.39
P-52	8.04	PVC	130.0	196.14	1.24	0.20	0.04	0.23
P-53	8.04	PVC	130.0	171.14	1.08	0.40	0.04	0.43

FlexTable: Pipe Table

Label	Diameter (in)	Material	Hazen-Williams C	Flow (gpm)	Velocity (ft/s)	Headloss (Friction) (ft)	Headloss (Minor) (ft)	Headloss (ft)
P-54	8.04	PVC	130.0	-13.86	0.09	0.00	0.00	0.00
P-55	8.04	PVC	130.0	-73.86	0.47	0.05	0.01	0.05
P-56	8.04	PVC	130.0	-121.34	0.77	0.11	0.02	0.12
P-57	8.04	PVC	130.0	-141.24	0.89	0.14	0.02	0.16
P-58	8.04	PVC	130.0	-471.24	2.98	2.16	0.60	2.76
P-59	8.04	PVC	130.0	265.00	1.67	1.50	0.16	1.66
P-60	4.24	PVC	130.0	128.76	2.93	6.99	0.38	7.37
P-61	4.24	PVC	130.0	-121.24	2.75	6.94	0.43	7.37
P-62	4.24	PVC	130.0	90.00	2.05	0.38	0.11	0.49
P-63	4.24	PVC	130.0	90.00	2.05	1.10	0.10	1.20
P-64	1.81	HDPE	130.0	25.00	3.12	5.21	0.24	5.45
P-65	4.24	PVC	130.0	40.00	0.91	0.24	0.03	0.26
P-66	4.24	PVC	130.0	57.52	1.31	0.91	0.10	1.01
P-67	4.24	PVC	130.0	-30.00	0.68	0.09	0.01	0.11
P-68	4.24	PVC	130.0	70.10	1.59	1.33	0.16	1.50
P-69	4.24	PVC	130.0	120.00	2.73	2.19	0.12	2.31
P-70	1.81	HDPE	130.0	25.00	3.12	2.52	0.16	2.68

FlexTable: Pipe Table

Label	Diameter (in)	Material	Hazen-Williams C	Flow (gpm)	Velocity (ft/s)	Headloss (Friction) (ft)	Headloss (Minor) (ft)	Headloss (ft)
P-1	999.00	PVC	130.0	2,600.00	0.00	0.00	0.00	0.00
P-2	9.87	PVC	130.0	2,600.00	10.90	2.71	3.45	6.17
P-3	9.87	PVC	130.0	1,673.91	7.02	3.01	2.30	5.31
P-4	8.04	PVC	130.0	708.91	4.48	2.30	0.70	3.00
P-5	4.24	PVC	130.0	89.66	2.04	1.70	0.26	1.96
P-6	8.04	PVC	130.0	599.25	3.79	5.40	0.52	5.92
P-7	8.04	PVC	130.0	506.53	3.20	1.76	0.17	1.93
P-8	8.04	PVC	130.0	476.53	3.01	2.09	0.10	2.20
P-9	8.04	PVC	130.0	926.09	5.85	9.49	0.78	10.27
P-11	8.04	PVC	130.0	790.75	5.00	3.34	0.59	3.94
P-12	4.24	PVC	130.0	99.90	2.27	2.45	0.15	2.60
P-13	4.24	PVC	130.0	-82.72	1.88	2.35	0.23	2.58
P-14	4.24	PVC	130.0	-92.63	2.10	1.35	0.20	1.55
P-15	8.04	PVC	130.0	469.16	2.96	0.47	0.28	0.75
P-16	8.04	PVC	130.0	-25.84	0.16	0.01	0.00	0.01
P-17	4.24	PVC	130.0	11.36	0.26	0.02	0.00	0.03
P-19	4.24	PVC	130.0	-48.64	1.11	0.29	0.03	0.31
P-20	4.24	PVC	130.0	-98.64	2.24	1.38	0.16	1.54
P-21	8.04	PVC	130.0	-610.84	3.86	2.20	0.87	3.07
P-23	8.04	PVC	130.0	482.20	3.05	0.36	0.14	0.50
P-24	8.04	PVC	130.0	362.62	2.29	0.50	0.16	0.66
P-25	4.24	PVC	130.0	119.58	2.72	4.67	0.24	4.91
P-26	4.24	PVC	130.0	-110.42	2.51	4.04	0.20	4.25
P-27	8.04	PVC	130.0	237.20	1.50	0.19	0.05	0.24
P-28	8.04	PVC	130.0	30.00	0.19	0.00	0.00	0.01
P-30	8.04	PVC	130.0	182.20	1.15	0.18	0.08	0.25
P-31	1.81	HDPE	130.0	30.00	3.74	4.14	0.36	4.50
P-32	8.04	PVC	130.0	152.20	0.96	0.13	0.02	0.15
P-33	8.04	PVC	130.0	37.20	0.24	0.02	0.00	0.02
P-34	9.87	PVC	130.0	495.00	2.08	0.58	0.13	0.71
P-35	9.87	PVC	130.0	441.18	1.85	0.54	0.10	0.64
P-36	4.24	PVC	130.0	53.82	1.22	0.82	0.05	0.88
P-37	4.24	PVC	130.0	-31.18	0.71	0.22	0.02	0.24
P-38	9.87	PVC	130.0	400.00	1.68	0.83	0.07	0.91
P-39	11.73	PVC	130.0	400.00	1.19	0.47	0.06	0.52
P-41	11.73	PVC	130.0	0.00	0.00	0.00	0.00	0.00
P-42	6.13	PVC	130.0	390.00	4.24	10.37	0.55	10.92
P-43	1.81	HDPE	130.0	20.00	2.49	1.70	0.16	1.86
P-44	4.24	PVC	130.0	30.00	0.68	0.07	0.01	0.09
P-45	1.81	HDPE	130.0	30.00	3.74	3.05	0.08	3.13
P-46	4.24	PVC	130.0	30.00	0.68	0.04	0.01	0.06
P-47	1.81	HDPE	130.0	30.00	3.74	3.59	0.08	3.67
P-48	8.04	PVC	130.0	965.00	6.10	5.74	1.19	6.93
P-49	8.04	PVC	130.0	433.76	2.74	1.24	0.18	1.42
P-50	8.04	PVC	130.0	328.66	2.08	0.51	0.10	0.61
P-51	8.04	PVC	130.0	251.14	1.59	0.33	0.06	0.39
P-52	8.04	PVC	130.0	196.14	1.24	0.20	0.04	0.23
P-53	8.04	PVC	130.0	171.14	1.08	0.40	0.04	0.43

FlexTable: Pipe Table

Label	Diameter (in)	Material	Hazen-Williams C	Flow (gpm)	Velocity (ft/s)	Headloss (Friction) (ft)	Headloss (Minor) (ft)	Headloss (ft)
P-54	8.04	PVC	130.0	-13.86	0.09	0.00	0.00	0.00
P-55	8.04	PVC	130.0	-73.86	0.47	0.05	0.01	0.05
P-56	8.04	PVC	130.0	-121.34	0.77	0.11	0.02	0.12
P-57	8.04	PVC	130.0	-141.24	0.89	0.14	0.02	0.16
P-58	8.04	PVC	130.0	-471.24	2.98	2.16	0.60	2.76
P-59	8.04	PVC	130.0	265.00	1.67	1.50	0.16	1.66
P-60	4.24	PVC	130.0	128.76	2.93	6.99	0.38	7.37
P-61	4.24	PVC	130.0	-121.24	2.75	6.94	0.43	7.37
P-62	4.24	PVC	130.0	90.00	2.05	0.38	0.11	0.49
P-63	4.24	PVC	130.0	90.00	2.05	1.10	0.10	1.20
P-64	1.81	HDPE	130.0	25.00	3.12	5.21	0.24	5.45
P-65	4.24	PVC	130.0	40.00	0.91	0.24	0.03	0.26
P-66	4.24	PVC	130.0	57.52	1.31	0.91	0.10	1.01
P-67	4.24	PVC	130.0	-30.00	0.68	0.09	0.01	0.11
P-68	4.24	PVC	130.0	70.10	1.59	1.33	0.16	1.50
P-69	4.24	PVC	130.0	120.00	2.73	2.19	0.12	2.31
P-70	1.81	HDPE	130.0	25.00	3.12	2.52	0.16	2.68

FlexTable: Reservoir Table

Label	Elevation (ft)	Flow (Out net) (gpm)
R-1	224.00	2,600.00

Ground Elevation at well is ~95.6
Well pump to increase head to 224.0
by providing an additional ~129 feet
of head pressure.

Technical Memorandum

Date: August 16, 2023
To: Don Griffey, PE – Griffey Engineering, Inc.
From: Eric Evans, PE -- Connelly and Wicker, Inc.
RE: Hillside Groves Subdivision – Construction Drawings

Below is a response to your comments dated January 10, 2023

1. Additional comments may be added to these with the reviews of subsequent submittals.

Response: Noted

2. This work will require various permits from SJRWMD, Duke Energy, Lake County, FDOT, FDEP, FWC, COE. Provide copies of the applicable permits & approvals before commencing work on the site.

Response: We are currently working to obtain these approvals.

3. Modify the roadway cross section dimensions for the 100' right-of-way to reflect the current plan view.

Response: The section is now modified to match the intended section.

4. Provide hydraulic calculations for the irrigation system.

Response: This was submitted and approved via email in early August.

5. The irrigation supply site improvements will need to be reviewed and approved by the Town prior to construction.

Response: Noted.

6. On the master site plan add a note and a call-out that Road B is intended to connect to SR 19 and that the design and permitting of the connection will be included with Phase 3 improvements.

Response: This is now shown on sheet 3 as requested.

7. On the south end of Road A, at the intersection of SR 19, the left outbound lane accommodates through and left movements. This lane doesn't need any markings, the arrows in the right turn lane are sufficient.

Response: This striping has been removed per your comment (Also requested by FDOT). See sheet 4A.

8. At the northbound right turn lane at the commercial driveway, the curb lane striping needs to be between the through lane and the turn lane.

Response: This edit is now shown. See sheet 4A.

9. For the speed table at 52+50, label the advance warning signs.

Response: The signs are now labeled. See sheet 4H.

10. Utility valves are not to be located in curbs, gutters, or curb ramps. In case of a conflict during construction, the valve shall be relocated and not the curb or curb ramp. Add a conspicuous note to the utility plans stating that requirement. Also, the graphical depiction on the utility plans shows several locations where valves are conflicting with curb ramps. Adjust the plans to eliminate the conflict.

Response: Several valves and other infrastructure we shifted slightly to avoid obvious conflicts. A note regarding valve vs. ramp/curb conflict has been added to the 10 and 11 series sheets.

11. In the notes for the Typical Pavement Sections, change Note 1 to state that all disturbed areas within the r/w shall be sodded. The Typical Roadway Cross Sections should also reflect that change. Sodding of the full right-of-way in front of lots can be deferred until building construction, similar to sidewalk construction. However, the standard strips of sod at the back of curb is required on all roads as part of construction.

Response: See the revised sod comments in each of the roadway sections on sheet 13A. Note "3" has been added to the narrower roadway sections.

12. Add a construction detail for the Multi-Use Path.

Response: See sheet 13A where the multi-use path detail has been added to the 100' and 90' typical section per the Lake County specification.

Please review and approve the material provided and should you have any questions or comments with regard to this application please do not hesitate to call or email. I can be reached at 904.265.3030 or at eevans@cwieng.com.

Technical Memorandum

Date: August 16, 2023
To: Thomas Harowski, AICP TMH Consulting
From: Eric Evans, PE -- Connelly and Wicker, Inc.
RE: Hillside Groves Subdivision – Construction Drawings

Below is a response to your comments dated August 7, 2023

Comment 1:

There are two areas where the proposed plan is inconsistent with the amendments presented to Town Council in 2022. The plan presented at the last amendment included 12 specific items which were approved by the Town Council. The plan shows a connection from the southeast residential neighborhood to Revels Road which is missing in the proposed final subdivision plan and a secondary connection from the townhouse neighborhood in the northwest corner of the project to Number 2 Road, perhaps as an emergency access which is also missing. These changes were not approved by Town Council and the final subdivision plan needs to be consistent with the Town Council action. If the applicant wishes to change these plans they can submit an amendment request at a future time.

Response:

We have revised the site plan to show the two future connects as noted in your comment.

Please review and approve the material provided and should you have any questions or comments with regard to this application please do not hesitate to call or email. I can be reached at 904.265.3030 or at eevans@cweng.com.

Technical Memorandum

Date: July 14, 2023
To: Thomas Harowski, AICP TMH Consulting
From: Eric Evans, PE -- Connelly and Wicker, Inc.
RE: Hillside Groves Subdivision – Construction Drawings

Below is a response to your comments dated January 11, 2023

1. The response identified a note on Sheet 201 of the landscape plans stating that designs for the screening wall and entrance feature for the Number 2 Road access will be submitted with the Phase 2 plans. I could not locate the note.

Response: The note is shown and marked with a rev-cloud.

2. The response noted that the requested bike trail extension along Number 2 Road would be included in the Phase 2 design plans. This is acceptable, but the applicant should coordinate the bike path with Lake County as part of the overall road improvements if the plan is to include the bike path in the Number 2 Road right-of-way.

Response: A future bike path will be included in phase 2 design.

3. The addition of a note to the plans regarding the need to keep the required trees in place is fine, but this note really needs to be part of the HOA documents so future residents are aware of the requirement when they purchase the homes.

Response: Noted

Please review and approve the material provided and should you have any questions or comments with regard to this application please do not hesitate to call or email. I can be reached at 904.265.3030 or at eevans@cweng.com.



TMHConsulting@cfl.rr.com
 97 N. Saint Andrews Dr.
 Ormond Beach, FL 32174
 PH: 386.316.8426

MEMORANDUM

TO: Howey-in-the-Hills Planning Board
CC: J. Brock, Town Clerk
FROM: Thomas Harowski, AICP, Planning Consultant
SUBJECT: Hillside Groves Phase 1, Final Subdivision Plan
DATE: September 19, 2023

The Town has received an application for final subdivision approval for Phase 1 of the Hillside Groves mixed use development. This project, formerly known as The Reserve was approved in its current form following a major amendment to the original development approval. The amended project was approved by the Town Council at their regular meeting of October 24, 2022. Submittal of a request for final subdivision approval is the next logical step in the development process.

Review Process and Project Status

The Town's process for Village Mixed Use developments includes approval of planned unit development agreement that sets out the concept plan for the development and any specific parameters that will govern the project in addition to the Town's land development regulations. Once the development agreement is approved (October 24, 2022, in this case) the project can proceed to a preliminary subdivision plan for any lots to be created or a site plan for any non-residential development. In this case the preliminary subdivision plan was approved at the same time as the amended development agreement. As noted above, the next step in the process is the final subdivision plan.

The final subdivision plan is the point in the development process where detailed engineering for streets, utilities, stormwater facilities and any other subdivision improvements are completed. The review process for a final subdivision plat is to check the design for compliance with Town standards and compliance with general engineering design principles. The plan is compared with the preliminary subdivision plan to verify that the design as submitted is consistent with the preliminary subdivision plan. The layout of streets, lots, and other site arrangement of land in the project is done at the preliminary subdivision phase. So long as the final subdivision plan is consistent with the preliminary subdivision plan, the review is basically a technical evaluation.

The Reserve project includes 378 acres. Phase One encompasses 140 acres or 37% of the total project area. The overall project includes residential development in

four phases using the Hillside Groves name, commercial development, and a civic use tract. The Town has previously approved a site plan for the Howey Self Storage mini-warehouse project located on SR 19 just south of the Florida Avenue intersection. The Howey Self Storage project is part of the larger Reserve development. At this time the Howey Self Storage Project has not sought a permit for construction. Hillside Groves is the residential portion of The Reserve project with this application seeking approval for the final subdivision plan for phase one. The first phase residential development includes 245 units or about one-third of the residential unit total of 728.

Final Subdivision Plan

The final subdivision plan is the last step before the project is authorized for construction. The project has reserved sewage treatment capacity with the Central Florida Community Development District, and the final subdivision plans show the sewage collection system that will support the project. The Town has adequate potable water capacity to support the project. The traffic study found the affected roadway segments have adequate capacity to operate within the designated level of service for phase one and for the project at buildout. The traffic study recommended turn lanes at the project entrance, and the project will include turn lanes at the intersection with Number Two Road as required by Lake County. Additional right-of-way dedication is also required by Lake County. The stormwater plan meets current state and Town requirements per the engineering review. Due to the age of the project it is exempt from Lake County School concurrency.

The first phase of the project includes the central collector road and residential neighborhoods in the center of the project as shown on the accompanying diagram. The first phase residential component includes 129 units on 50 x 80 foot lots and 116 units on 50 x 115 foot lots. This phase also includes stormwater systems and utilities to support the residential development. Some of the utility work will be off-site to extend water and sewer systems from the current plant locations.

The project was reviewed by the Development Review Committee at several meetings with the last review conducted on August 10, 2023. Following that DRC meeting the applicant made final adjustments that were reviewed by the Town engineer and found to be in compliance with the Town code and engineering practice.

Final subdivision are required to begin construction within 18 months of final approval by the Town, unless the project is granted a time extensions. The applicant will be required to submit permits from state and local agencies including:

- Florida DEP for water and sewer system construction
- Florid DEP for wetland impacts
- FDOT for improvements within the SR 19 right-of-way
- Lake County for improvements within the Number Two Road right-of-way
- St Johns River Water Management District for stormwater systems
- An NPDES permit is also required for runoff control during construction

At the August 19, 2023 Development Review Committee meeting Mr. Miles submitted a list of eight questions about the proposed plan set. The applicants were asked to provide a response for each of these items. The response from the project engineer is attached. In addition to the engineer's response there are a couple of related points from the Town comprehensive plan and code.

Item 1. Number Two Road Improvements:

Ultimately the Town will be guided by the requirements of Lake County as the entity responsible for Number Two Road. The plan shows turn lanes as noted by the project engineer, and the Town is requiring dedication of additional right-of-way along the full length of the project in support of Lake County's efforts to acquire a standard right-of-way for Number Two Road. This is a standard requirement by the Town for any project fronting on Number Two Road. The applicant will be required to obtain a right-of-way development permit from Lake County to ensure the county requirements are being met.

Item 2 Street Lighting

Town code requires street lights but defers the actual design of the system to Duke Energy. The applicant will be required to submit a final design plan prepared by Duke Energy which may include additional lights and/or relocation of some fixture locations shown on the plan. While the Town does not have a distance standard in the code, spacing of street lights at intersections, on major curves and spaced at 300 foot intervals is a typical standard. Applying this standard to a mile of street yields a total of 18 fixtures.

Item 7 Second Access to Townhouse Tract

One of the required revisions to the final plan set is to include a road access from the townhouse tract to Number Two Road. The form this access takes will be in large part guided by Lake County. If the County is willing to allow another road connection, even if it is restricted to right-in/right-out, then the access can be a road access. If Lake County is unwilling to approve a road connection, an emergency access may need to be considered.

Item 8 Connection at SR 19.

The intersection design has been directed by FDOT in their application of the intersection design standards. As the project engineer's response notes, once drivers enter the project from SR 19, they are quickly presented with turn lane options to the two commercial tracts leaving the through lane open to minimize any potential back-up.

Recommendation

The final subdivision plan is consistent with the approved preliminary subdivision plan, and the Town’s engineering consultant has found the plans to meet the Town’s design requirements and good engineering practice. The recommendation is to approve the final subdivision plan.



November 13, 2023

Howey-in-the-Hills Town Council Meeting

Regional Wastewater Treatment Opportunities

Discussion on Potential Partnership

T.J. Fish – Groveland Director of Transportation & Public Works

City of Groveland – Wastewater Treatment Systems

- Groveland operates two (2) Wastewater Treatment Facilities (WWTF) – one in northern service area and one in the southern service area
- The Sunshine WWTF serves the northern service area – properties north of the Palatlakaha River
- The southern Sampey WWTF is nearing capacity with an upgrade and expansion project designed and now funded for construction through a loan agreement with the Florida Department of Environmental Protection (DEP) – completion 2026
- The northern Sunshine WWTF is averaging 53 percent capacity of the one-million-gallon treatment capacity



Groveland Utilities Master Plan - Partnership with Woodard & Curran

- Groveland contracted utilities operations and maintenance of water, sewer, and reclaimed water services in 2019
- Woodard & Curran was selected as the O&M contractor – has proven to be effective partnership now in 5th year
- Woodard & Curran was selected to develop the City’s first-ever Utilities Master Plan
- First developed a Drinking Water Facilities Plan and a Clean Water Facilities Plan (wastewater) that was approved by City Council and by DEP in 2021 – included projects eligible for grant funding and very-low-interest loans – DEP loans funds for existing needs through the State Revolving Fund
- Then completed in 2022 the Utilities Master Plan that includes existing needs as well as future needs to be funded via developer investments



Groveland Already Partnering with Mascotte

- Groveland originally executed agreement with City of Mascotte in 2013 to accept wastewater for treatment – minimal flows the first eight years
- Mascotte owns collection system of sewer lines, force mains and lift stations
- Groveland accepts wastewater into force mains at the boundary of the two municipalities and currently treats at the Sampey WWTF
- Original agreement was not well-defined (contemplated pay-as-you-go)
- Agreement was updated and restated to define a process for the purchase of capacity
- Capacity purchase agreement allows Mascotte to OWN the capacity – then Mascotte allocates available capacity to developments meeting requirements
- Both municipalities coordinate the management of the purchased capacity



Groveland-Mascotte Partnership

- Mascotte connected force main to Groveland system at SR 50 via grant funding
- After restated agreement was executed last year, Mascotte received a legislative appropriation enabling the purchase of 275,000 gallons of wastewater treatment capacity
- First step was to purchase Mascotte’s portion of the design of the Sampey WWTF upgrade/expansion project - \$450,000
- Next step is pending purchase of Mascotte’s portion of the construction cost - \$4.5 million
- Mascotte collects impact fees from developments benefitting from the wastewater treatment capacity – has allowed approved/desired development to move forward
- Municipalities are currently coordinating a Groveland update of rates and impact fees
- Regional partnership is embraced by State DEP



Partnership Opportunities – A Regional Approach

- Groveland’s Sunshine WWTF is located south of Howey-in-the-Hills on the eastern side of State Road 19 between Florida’s Turnpike and US 27
- The facility is located four miles south of Revels Road and 5.5 miles south of Central Avenue
- Capacity exists should the Town of Howey wish to take a regional approach to controlling its local destiny
- Grant and very-low-interest loan funding is available for this type of regional approach

DEP EMBRACES PARTNERSHIPS
Funds regional projects



Partnership Opportunities – A Regional Approach

- Partnership avoids expensive and redundant facilities or undesirable package plants
- Management of WWTF is more complex than water treatment or maintaining collections system – shortage of certified operators a driving factor in Groveland outsourcing
- Groveland’s Utilities Master Plan also contemplates a new regional wastewater treatment facility rather than expanding the Sunshine WWTF – environmentally constrained
- Location is planned west of Ford Commerce Park – in preliminary engineering phase
- Sunshine WWTF could be utilized by Howey as an interim solution while regional WWTF goes through a design-build – completion anticipated 2028
- Ample capacity to serve Groveland, Howey, and Mascotte – planning up to 8 million gallons



How would Howey-in-the-Hills Initiate Partnership?

- Town Council could consider formal action to engage City of Groveland on potential wastewater treatment partnership – resolution stating interest
- Town Council could consider consultant to develop Clean Water Facilities Plan to address wastewater needs in conjunction with DEP
- Once need is documented and confirmed by DEP for the Town to have additional wastewater treatment capacity, DEP will confirm funding options
- When funding is in place, the project can be designed and constructed to connect the Town of Howey to Groveland’s Sunshine WWTF
- Meanwhile, Howey and Groveland would work toward an agreement that defines responsibilities including terms of purchase of wastewater capacity – Town would own its own wastewater treatment capacity



Questions?

- City of Groveland is a willing partner that understands the challenges facing local governments and small municipalities
- Groveland’s interest is in the leveraging of additional capital resources to take a regional approach to addressing environmental needs – better public facilities to benefit many
- Groveland now has a strong track record of managing utilities and managing growth
- Regional partnering is robustly supported by the Florida DEP

Thank you for the opportunity to discuss the possibilities
T.J. Fish, Director of Transportation & Public Works



Resolution No. 2023-012

RESOLUTION
of the
Town Council
for the
Town of Howey-in-the-Hills, Florida
regarding
Dispatch Services

WHEREAS, in Lake County, Florida, the Honorable Peyton C. Grinnell, Sheriff of Lake County, operates and provides the service of law enforcement dispatch; and

WHEREAS, the Board of County Commissioners of Lake County, Florida, funds the Sheriff’s law enforcement dispatch service from the county’s general fund; and

WHEREAS, the primary funding source for the county’s general fund is the levy by the Board of County Commissioners of ad valorem taxes countywide; and

WHEREAS, the taxpayers of all Lake County, both within and outside of its cities and towns, pay county property taxes, the revenues of which are deposited into the county’s general fund and used in part to finance the Sheriff’s law enforcement dispatch service; and

WHEREAS, Sheriff Grinnell has informed municipalities that he is terminating the dispatch service for each and every city and town in Lake County that does not enter into an “Agreement for Law Enforcement Dispatch Services;” and

WHEREAS, under his agreement Sheriff Grinnell requires each city and town to pay each year a sum equal to \$12.00 per capita; and

WHEREAS, the Sheriff is requiring no such agreement and is imposing no such per-capita charge on the Board of County Commissioners or the residents and taxpayers of the unincorporated areas of Lake County; and

WHEREAS, the Sheriff seems clear that he will cease providing dispatch service to each city and town that declines to enter into the Sheriff’s agreement and pay the annual per-capita sum; and

WHEREAS, as of the date of this resolution the Town of Howey-in-the-Hills and other cities and towns in Lake County have declined to enter into the Sheriff’s agreement and to pay the annual per-capita sum required by the agreement; and

WHEREAS, the Sheriff’s dispatch service will continue to be funded in large part by the county’s general fund regardless of whether some or all cities and towns enter into or decline to enter into the Sheriff’s agreement; and

WHEREAS, the upshot of the Sheriff’s annual per-capita payment requirement and the unwillingness of one or more towns and cities to agree to it is that the Sheriff’s dispatch service will be funded from the county’s general-fund revenue, but no real and substantial benefit will accrue to the property or residents of the declining cities and towns; and

WHEREAS, under these circumstances the funding of the dispatch service violates or will violate the prohibition in subsection 125.01(7) of Florida Statutes.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA:

Section 1. Violation of statute.

a) Because one or more cities or towns have declined or will decline to enter into the agreement demanded by the Sheriff, no real and substantial benefit from the dispatch service will accrue to the property or residents of those cities and towns. Under that circumstance, subsection 125.01(7) of Florida Statutes will prohibit the Board of County Commissioners and the Sheriff from using the revenues from the countywide levy of property taxes to fund the dispatch service.

b) The continued funding of the Sheriff’s dispatch service from the county’s general fund, therefore, will violate subsection 125.01(7) of Florida Statutes.

Section 2. Petition.

a) As authorized by subsection 125.01(6) of Florida Statutes, the Town Council of the Town of Howey-in-the-Hills herewith petitions the Board of County Commissioners to develop an appropriate mechanism to finance the Sheriff’s dispatch service for Fiscal Year 2024-2025, as well as for the current fiscal year and for all fiscal years thereafter.

b) Under paragraph 125.01(6)(a) of Florida Statutes the appropriate mechanism for this issue would include (but perhaps not be limited to):

- i. taxes, special assessments, or service charges levied or imposed solely upon residents and property in the unincorporated areas of Lake County;

- ii. the establishment of a municipal service taxing or benefit unit pursuant to paragraph 125.01(1)(q) of Florida Statutes; or
- iii. remitting the identified cost of the Sheriff’s dispatch service paid from revenues required to be expended on a countywide basis to the Town of Howey-in-the-Hills and the other cities and towns declining to enter into the Sheriff’s agreement, each year within six months of the adoption of the Lake County budget, all in the proportion the amounts of county ad valorem taxes collected within the Town and the other declining cities and towns bear to the total amount of countywide ad valorem taxes collected by Lake County.

c) The Town of Howey-in-the-Hills believes the Board of County Commissioners has as well the option simply to increase funding for the Sheriff’s dispatch service from the county’s general fund, subject to the Sheriff dropping his requirement for each city and town to enter into his agreement and to pay the per-capita fee.

RESOLVED this 13th day of November, 2023.

**TOWN OF HOWEY-IN-THE-HILLS,
FLORIDA**

By: its Town Council

By: _____
Hon. Martha MacFarlane, Mayor

ATTEST:

APPROVED AS TO FORM AND LEGALITY
(for the use and reliance by the Town only)

John M Brock, Town Clerk

Thomas J Wilkes, Town Attorney

Tom Wilkes | Tom.Wilkes@gray-robinson.com | D 407.244.5693
301 East Pine Street, Suite 1400, Orlando, Florida 32801 | T 407.843.8880 | F 407.244.5690

November 9, 2023

From: Thomas J. Wilkes, Town Attorney
To: Mayor MacFarlane and Town Council Members
Subj: Resolution regarding funding of Sheriff's dispatch service

Attached are the proposed resolution and the five-city letter addressing to the Board of County Commissioners the funding of the Sheriff's dispatch service. As the Town Council has been advised, Sheriff Peyton Grinnell is requiring municipalities that use his dispatch service to pay \$12 per capita each year. Failure to pay results in the city being dropped from the service.

We believe the Sheriff's demand violates the letter and the spirit of both Article VIII, subsection 1(h) of the Florida Constitution and subsection 125.01(7) of Florida Statutes. In general terms, those two laws prohibit a county from using countywide revenues to fund a county service like the Sheriff's dispatch if the service provides no "real and substantial benefit" to one or more municipalities in the county.

Florida law, specifically subsection 125.01(6) of Florida Statutes, provides a remedy to a municipality if the county engages in such a prohibited funding scheme. The first step is to approve a resolution in the form attached. The resolution puts the BCC on notice that a county service like the Sheriff's dispatch is being funded improperly. The BCC then has 90 days to respond, either taking action to remedy the prohibited funding scheme or rejecting the petition and stating why the funding scheme is legally permissible.

If the BCC refuses to correct its impermissible funding, the municipality may elect to file suit and ask a court for relief. The decision whether to file suit is made in the future. The resolution does not bind the municipality.

The city attorneys for Umatilla, Astatula, Mascotte, and Fruitland Park inform us that they expect their respective city councils to vote in the coming weeks on whether to approve the resolution. Assuming their respective councils all approve it, the city attorneys are suggesting that the five resolutions be delivered to the BCC under a single cover letter signed by each of the five mayors. The draft of a suggested cover letter is attached.

REQUESTED ACTION: (i) Approval of the proposed Resolution No. 2023-12 and (ii) authorization for Mayor McFarlane to execute the proposed five-city letter in substantially the form attached.

#52062488 v1

Lake County Board of County Commissioners
c/o Mr. Kirby Smith, Chairman
315 West Main Street
Tavares, FL 32778

Peyton C. Grinnell, Sheriff
Lake County Sheriff's Office
Attn: General Counsel
360 West Ruby Street
Tavares, FL 32778

Re: 911 Dispatch Services

Dear County Commissioners and Sheriff Grinnell:

In accordance with Chapter 125.01(6), *Florida Statutes*, please find the enclosed resolutions adopted by the Town of Astatula, City of Fruitland Park, Town of Howey-In-The-Hills, City of Mascotte, and the City of Umatilla (collectively the "Municipalities"). Each resolution was adopted in response to the Municipalities receiving the Sheriff's proposed Agreement for Law Enforcement Dispatch Services (the "Agreement"), as each Municipality currently receives emergency dispatch services from the Lake County Emergency Center (the "Center").

All six Municipalities prefer to keep the County's high quality, centralized dispatch system in place. We have a duty to our citizens, however, to ensure they are not being treated unfairly for the services they pay for.

The correspondence received suggests that each of the Municipalities must do one of two things: (1) approve the Agreement to pay a fee of \$12 per resident for 911 services; or (2) launch its own dispatch system with additional staffing required.

It is our understanding that the Center and its staff are funded through a combination of countywide ad valorem tax revenues, the county's share of the statewide E911 fee, and other intergovernmental grants. We understand that our residents should and will pay a fair share of the cost of the service through the **county** ad valorem taxes and fees they pay. If those need to be raised, we would understand a proposed **county** millage increase. However, what is not understood is why municipal residents should suffer increased **municipal** ad valorem taxes and/or increased **municipal** expenditures to fund a municipal contract obligation when the Center is operated from county funds that already include the contributions of municipal residents, made on the same basis as contributions of unincorporated residents; municipal residents pay the same 5 mills into the system as unincorporated county residents, and the same E911 fees appear on their phone bills.

In other words, if the Sheriff's agreement becomes mandatory for the Municipalities, county residents will pay once for the dispatch service, but residents of the municipalities will pay twice: The residents and taxpayers of unincorporated Lake County will pay their countywide millage and their E911 fees. The residents and taxpayers of the Municipalities will pay the same countywide millage, plus the same E911 fees, **but also the \$12 per capita fee** under Sheriff Grinnell's agreement.

It is with this information that we request the Board of County Commissioners develop an appropriate mechanism to finance the Center. It is our objective to work together to ensure a mutually beneficial service is funded through a fair, reasonable, and equitable allocation of costs. We appreciate your prompt attention to this matter.

Sincerely,

Mitchell Mack, Mayor of Astatula

Martha MacFarlane, Mayor of Howey-in-the-Hills

Chris Cheshire, Mayor of Fruitland Park

Steven Sheffield, Mayor of Mascotte

Kent Adcock, Mayor of Umatilla

cc: Jennifer Barker, County Manager
Melanie Marsh, County Attorney

#52053453 v1



MEMO

To: Town Council

CC:

From: John Brock, Town Clerk

RE: October 2023 Month-End Town Hall Report

Date: 11/10/2023

Utility Billing:

Top Utility Bill Bad Debt for October 2023

account	last_payment_amount	last_payment_date	comments	current_charges	past_due_amount	service_address
0239-00	100.00	10/30/2023	Meter is locked. Resident is in assisted living, home is empty. Family is paying as they are able	55.99	461.29	607 N LAKESHORE BLVD
0989-00	44.50	07/11/2023	Meter is locked. Will remain locked until paid in full.	46.22	192.91	507 BELLISSIMO PL - IRRIGATION
1364-00	0.00	/ /	Meter is locked. Will remain locked until paid in full. House is empty, purchased only for resale	118.54	151.66	583 AVILA PL - IRRIGATION
0463-00	149.88	07/24/2023	Meter is locked. Will remain locked until paid in full. House is empty.	133.42	149.88	201 S MARE AVE
0503-00	187.45	09/27/2023	Working with resident to keep acct current	90.41	146.23	202 MARILYN AVE
0827-00	128.00	09/26/2023	Working with resident to keep acct current	173.99	140.39	714 CALABRIA WAY - POTABLE
1321-00	167.10	09/20/2023	Working with resident to keep acct current	180.58	139.49	612 AVILA PL - POTABLE
0866-00	246.48	09/19/2023	Working with resident to keep acct current	130.89	134.84	320 TERRACOTTA TER - POTABLE
1030-00	261.95	09/26/2023	Working with resident to keep acct current	130.89	134.84	531 BELLISSIMO PL - POTABLE
1127-00	261.95	09/26/2023	Working with resident to keep acct current	130.89	134.84	243 MESSINA PL - POTABLE
1128-00	252.25	09/15/2023	Working with resident to keep acct current	131.89	130.41	402 BELLISSIMO PL - POTABLE
0773-00	149.19	10/18/2023	Working with resident to keep acct current	169.50	127.11	471 BELLISSIMO PL - IRRIGATION
0895-00	119.37	09/22/2023	Working with resident to keep acct current	123.15	119.37	219 MESSINA PL - POTABLE
1312-00	261.95	09/20/2023	Working with resident to keep acct current	129.34	119.37	607 AVILA PL - POTABLE
0285-00	310.31	08/02/2023	Meter is locked. Will remain locked until paid in full. House is empty.	55.99	109.04	504 E MISSION LANE

Town Hall Job Openings:

The Utility Billing Clerk and Building Services Clerk positions have been filled and the Town's new employees started during the week of November 6th. We hope to make a job offer to the open Admin Assistant I position (front desk receptionist) on 11/13/2023.

Activity Log Event Summary (Cumulative Totals)

Howey-in-the-Hills PD
(10/01/2023 - 10/31/2023)

Abandoned 911	3	Alarm Activation	3
Anti-Social Behavior	36	Assist other Agency- Alarms	1
Assist other Agency- Back-up	3	Assist other Agency- In Progress calls	5
Assist other Agency- Medical Call	2	Assist other Agency- Other	1
Assist other Agency- Traffic	3	Attempt to Contact	1
Baker Act	1	Baker Act-Juvenile	1
Be on the look-out- BOLO	3	Burglary-vehicle	5
Case Follow-Up	5	Citizen Assist	10
Civil Complaint-Legal Advice	11	Disabled Vehicle - Business	1
Disabled Vehicle (DAV)	4	Disturbance	2
Fraud Investigation	1	Golf Cart Registration	3
Mental Health Illness	2	Noise Complaint	3
Patrol	356	Patrol-Busines	21
Patrol-School	285	Property Check SRO	5
Property Check-Boat Ramp	26	Property Check-Business	59
Property Check-Residence	26	Property Check-Schools/Govt. Bldg.	29
Property Check-Town Property	166	Property Damage	1
Property Damage - Business	1	Public Relations	11
Reckless Driver	5	Road Hazard	1
School Threat	1	Security Check Request	2
Sick/Injured Person	4	Suspicious Incident	8
Suspicious Person	1	Suspicious Person - Business	2
Suspicious Vehicle - Business	1	Traffic Complaint	2
Traffic Control	1	Traffic Crash	6
Traffic Stop-Civil Citation	46	Traffic Stop-Criminal Citation	4
Traffic Stop-warning	64	Traffic Watch	39
Trespassing Complaint	1	Well Being Check	3

Total Number Of Events: 1,287

Town Council Open Monthly Case Report

10/1/2023 - 10/31/2023

Case Date	Parcel Address	Violation Type	Violation Type	Main Status	Date Closed
10/31/2023	591 AVILA PL	Irrigation	Water	Open	
10/31/2023	SIXTH AVE	No Fence Permit	Zoning Chapter 5	Open	
10/30/2023	VENEZIA BLVD	Overgrowth	Property Maintenance	Open	
10/26/2023	E REVELS RD	Landscape	Zoning Chapter 7	Open	
10/24/2023	600 E REVELS RD	Vehicles on Grass	Parking	Open	
10/24/2023	400 N PALM AVE	Junk	Garbage	Closed	10/25/2023
10/24/2023	428 BELLISSIMO PL	Irrigation	Water	Closed	10/27/2023
10/24/2023	662 AVILA PL	Irrigation	Water	Closed	10/24/2023
10/24/2023	718 CALABRIA WAY	Irrigation	Water	Open	
10/24/2023	722 CALABRIA WAY	Irrigation	Water	Open	
10/24/2023	431 BELLISSIMO PL	Irrigation	Water	Closed	10/24/2023
10/24/2023	301 TERRACOTTA TER	Irrigation	Water	Open	
10/24/2023	576 AVILA PL	Irrigation	Water	Open	
10/20/2023	236 MESSINA PL	Irrigation	Water	Open	
10/10/2023	410 AMOLA WAY	Irrigation	Water	Closed	10/13/2023
10/10/2023	487 BELLISSIMO PL	Irrigation	Water	Closed	10/13/2023
10/9/2023	103 S PALM AVE	JUNK	Garbage	Closed	10/10/2023
10/9/2023	217 W CENTRAL AVE	Overgrowth & Junk/Debris	Property Maintenance	Closed	10/17/2023

Case Date	Parcel Address	Violation Type	Violation Type	Main Status	Date Closed
10/6/2023	234 MESSINA PL	IRRIGATION	Water	Closed	10/10/2023
10/6/2023	456 BELLISSIMO PL	IRRIGATION	Water	Closed	10/10/2023
10/6/2023	725 CALABRIA WAY	IRRIGATION	Water	Closed	10/10/2023
10/6/2023	726 CALABRIA WAY	IRRIGATION	Water	Closed	10/10/2023
10/5/2023	107 E LAUREL		Parking	Open	
10/4/2023	121 E PINE ST		Parking	Open	
10/4/2023	599 AVILA PL		Water	Closed	10/10/2023
10/4/2023	654 AVILA PL		Parking	Closed	10/17/2023
10/4/2023	316 TERRACOTTA TER		Water	Closed	10/10/2023
10/3/2023	104 S MARE AVE	High Grass & Weeds	Property Maintenance	Closed	10/10/2023

Total Records: 28

10/31/2023

Town Council Closed Monthly Case Report

10/1/2023 - 10/31/2023

Main Status	Parcel Address	Violation Type	Violation Type	Case Date	Date Closed
Closed	400 N PALM AVE	Junk	Garbage	10/24/2023	10/25/2023
Closed	428 BELLISSIMO PL	Irrigation	Water	10/24/2023	10/27/2023
Closed	662 AVILA PL	Irrigation	Water	10/24/2023	10/24/2023
Closed	431 BELLISSIMO PL	Irrigation	Water	10/24/2023	10/24/2023
Closed	410 AMOLA WAY	Irrigation	Water	10/10/2023	10/13/2023
Closed	487 BELLISSIMO PL	Irrigation	Water	10/10/2023	10/13/2023
Closed	103 S PALM AVE	JUNK	Garbage	10/9/2023	10/10/2023
Closed	217 W CENTRAL AVE	Overgrowth & Junk/Debris	Property Maintenance	10/9/2023	10/17/2023
Closed	234 MESSINA PL	IRRIGATION	Water	10/6/2023	10/10/2023
Closed	456 BELLISSIMO PL	IRRIGATION	Water	10/6/2023	10/10/2023
Closed	725 CALABRIA WAY	IRRIGATION	Water	10/6/2023	10/10/2023
Closed	726 CALABRIA WAY	IRRIGATION	Water	10/6/2023	10/10/2023
Closed	599 AVILA PL		Water	10/4/2023	10/10/2023
Closed	654 AVILA PL		Parking	10/4/2023	10/17/2023
Closed	316 TERRACOTTA TER		Water	10/4/2023	10/10/2023
Closed	104 S MARE AVE	High Grass & Weeds	Property Maintenance	10/3/2023	10/10/2023
Closed	503 N PALM AVE	Junk/Trash	Property Maintenance	9/25/2023	10/2/2023

Main Status	Parcel Address	Violation Type	Violation Type	Case Date	Date Closed
Closed	135 W MAGNOLIA AVE	Camper parked in Driveway	Parking	9/15/2023	10/3/2023
Closed	1015 N LAKESHORE BLVD	Overgrowth	Property Maintenance	9/14/2023	10/30/2023
Closed	104 E. Camellia Way	Parking - Boat	Parking	9/14/2023	10/17/2023
Closed	520 N GEORGIA AVE	Grass	Property Maintenance	8/1/2023	10/19/2023
Closed	731 CALABRIA WAY	boat	Parking	7/25/2023	10/19/2023
Closed	N GEORGIA AVE	grass	Property Maintenance	7/25/2023	10/19/2023
Closed	108 E HOLLY ST	trash receptacles	Garbage	7/14/2023	10/20/2023
Closed	1104 N HAMLIN AVE	trash receptacles	Garbage	7/12/2023	10/9/2023
Closed	1102 N HAMLIN AVE	trash receptacles	Garbage	7/12/2023	10/9/2023
Closed	1005 N HAMLIN AVE	trash receptacles	Garbage	7/12/2023	10/9/2023
Closed	1007 N HAMLIN AVE	trash receptacles	Garbage	7/12/2023	10/9/2023
Closed	BELLISSIMO PL	rubbish on property	Property Maintenance	7/12/2023	10/9/2023
Closed	600 E REVELS RD	commercial vehicles	Parking	7/11/2023	10/20/2023
Closed	E CENTRAL AVE	grass	Property Maintenance	7/10/2023	10/20/2023
Closed	E CENTRAL AVE	grass	Property Maintenance	7/10/2023	10/9/2023
Closed	411 S LAKESHORE BLVD	bulk yard trash	Property Maintenance	6/21/2023	10/9/2023
Closed	406 N PALM AVE		Property Maintenance	6/2/2023	10/9/2023
Closed	600 E REVELS RD		Permits	6/2/2023	10/20/2023
Closed	107 E MYRTLE ST		Permits	6/2/2023	10/9/2023

Main Status	Parcel Address	Violation Type	Violation Type	Case Date	Date Closed
Closed	206 W CENTRAL AVE	Permit		5/5/2023	10/20/2023
Closed	212 W CENTRAL AVE	Permits		5/5/2023	10/20/2023
Closed	216 W CENTRAL AVE	Trash receptacles		5/5/2023	10/17/2023
Closed	508 AVILA PL	Inoperable/unlicensed		5/1/2023	10/9/2023
Closed	1102 N TEMPLE AVE	Receptacles		4/28/2023	10/9/2023
Closed	1002 N TEMPLE AVE	Trash receptacles		4/28/2023	10/9/2023
Closed	1007 N TEMPLE AVE	Receptacles		4/28/2023	10/9/2023
Closed	1102 N HAMLIN AVE	Receptacles by road		4/28/2023	10/2/2023
Closed	1101 N HAMLIN AVE	Receptacles out		4/28/2023	10/9/2023
Closed	104 S MARE AVE	unpermitted work		4/17/2023	10/9/2023
Closed	500 AVILA PL	unlicensed		4/17/2023	10/9/2023
Closed	501 AVILA PL	installation of irrigation		4/10/2023	10/9/2023
Closed	10132 NUMBER TWO RD	litter		4/5/2023	10/9/2023
Closed	314 W DUPONT CIR	Boat		2/2/2023	10/17/2023
Closed	508 BELLISSIMO PL	Trailer		2/2/2023	10/17/2023
Closed	500 AVILA PL	Unlicensed		2/2/2023	10/9/2023
Closed	1101 N VALENCIA AVE	Parking	Property Maintenance	1/13/2023	10/2/2023
Closed	726 CALABRIA WAY HOWEY IN THE HILLS FL 34737	Political sign		12/30/2022	10/27/2023

Main Status	Parcel Address	Violation Type	Violation Type	Case Date	Date Closed
Closed	497 BELLISSIMO PL HOWEY IN THE HILLS FL 34737	Irrigation		12/30/2022	10/27/2023
Closed	310 WEST DUPONT CIR HOWEY IN THE HILLS FL 34737	recreational vehicle		9/21/2022	10/30/2023
Closed	302 WEST DUPONT CIR HOWEY IN THE HILLS FL 34737	temp cover		9/21/2022	10/30/2023
Closed	300 WEST DUPONT CIR HOWEY IN THE HILLS FL 34737	recreational vehicle		9/21/2022	10/30/2023
Closed	411 SOUTH LAKESHORE BLVD HOWEY IN THE HILLS FL 34737	vegetation		8/15/2022	10/30/2023
Closed	110 EAST MAGNOLIA AVE HOWEY IN THE HILLS FL 34737	dead tree on ground		7/29/2022	10/30/2023
Closed	413 AMOLA WAY HOWEY IN THE HILLS FL 34737	irrigation		7/27/2022	10/30/2023
Closed	493 BELLISSIMO PL HOWEY IN THE HILLS FL 34737	irrigation		7/27/2022	10/30/2023
Closed	1257221	grass		7/8/2022	10/11/2023
Closed	320 TERRACOTTA TER	irrigating violation		6/1/2022	10/30/2023
Closed	HOWEY IN THE HILLS FL 34737	irrigation violation		6/1/2022	10/30/2023

Main Status	Parcel Address	Violation Type	Violation Type	Case Date	Date Closed
Closed	726 CALABRIA WAY HOWEY IN THE HILLS FL 34737	irrigation violation		6/1/2022	10/30/2023
Closed	EAST REVELS RD HOWEY IN THE HILLS FL 34737	required landscape missing		5/3/2022	10/30/2023
Closed	607 SOUTH FLORIDA AVE HOWEY IN THE HILLS FL 34737	junk/rubbish pile	Property Maintenance	4/27/2022	10/30/2023

Total Records: 68

10/31/2023



Public Works

October 2023 – Monthly Report

Activity	Location/ Address	Notes
Road Maintenance / Potholes	Throughout Town	PW Staff filled in drop off at intersections and along road edge throughout Town.
Street Signs		
Stormwater/Drainage	E. Pine Street	Public Works had a contractor add curbing between 115 and 121 E. Pine Street to help alleviate stormwater runoff onto 121 E. Pine Street
Sidewalk Maintenance		
Building Maintenance	Library Town Hall	Repaired Toilet Repaired Toilet/Repaired Lights in Lobby
Grounds Maintenance	Library Central Park	PW Staff pulled weeds at Library. PW Staff installed a new ADA Compliant Drinking Fountain at Central Park
	Sara Maude Nature Trail	PW Staff added mulch to the Nature Trail
Tree Trimming/Tree Removal/Stump Removal	Peak Park (Old Dump Site)	Contractor trimmed low hanging limbs and removed brush to allow access to Peak Park (Old Town Dump Site).
Mowing/Weed Eating	Main Water Plant Well # 3 Lakeshore Blvd Cemetery Blevins Park Little Lake Harris Shoreline	Monthly Maintenance mowing, weed eating and edging. Monthly Mowing of Town Right of Way 9 Acre – Town Owned Parcel Weed Eating Little Lake Harris Shoreline
Boardwalk Repairs	Sara Maude Mason Nature Preserve	Sara Maude Boardwalk still closed due to storm damage (see update below)
Pre-Grade Inspections Landscape/Irrigation Inspections Sidewalk Inspections	Talichet	0 – Pre-Grade Inspection - SFR 0 – Final Lot Grading Inspection - SFR 0 – Final Landscape Inspection - SFR 0 – Sidewalk Inspection – SFR
	Talichet 2	0 – Pre-Grade Inspection – SFR 0 – Final Lot Grading Inspection
	Venezia Townhomes	6 – Pre-Grade Inspections – Town Home 12 – Final Lot Grading Inspection 12 – Final Landscape Inspection – Town Home 12 – Sidewalk Inspection – Town Home
	In Field Lots	0 – Final Lot Grading Inspection

Lot Grading Plan Reviews Landscape/Irrigation Plan Reviews	Talichet Phase 2 Venezia Town Homes	0 – Lot Grading Plan/Landscape/Irrigation Review 0 – Lot Grading Plan Reviews
<div style="border: 1px solid black; padding: 2px; display: inline-block;">Item 11.</div>		

Additional Notes:

- Sara Maude Mason Nature Preserve nature trail is open to the public:
 - The boardwalk will stay closed. (Unsafe for pedestrian traffic)
 - Town Staff is working with FEMA Funding of reimbursement on the cost for repairs to the boardwalk.
 - Public Works Director is preparing an RFP for the Reconstruction of the Sara Maude Mason Boardwalk.

- Pine Park Update:
 - The Town engineer is designing a plan for Pine Park, Public Works is working with FDOT on a driveway permit for Pine Park.



Public Utilities

October 2023– Monthly Report

Activity	Location/ Address	Notes
Locates	Throughout Town	55 utility locates
Data log	Throughout Town	2 data logs high usage and leak checks
Service Orders	Throughout town	38 utility service orders, register change out, reread, move in/out reading
Repairs	Well 3	Replaced Cl2 booster pump



**Library Director's Report
Marianne Beck Memorial Library
For the Month of October 2023**

Statistics for October 2023

Digital: 179, KOHA: 2,016 **Total:** 2,195. 13,264 items in the library. Items borrowed from other libraries: 557, items loaned to other libraries: 400. There were 97 computer sessions in October. 683 patrons attended programs in October. There were 140 downloads of Ebooks and Audiobooks as well as 170 downloads through Overdrive. 10 residents received new library cards. A total of 2,555 residents visited the library in October.

The annual Statistical Report has been submitted to the County and the State. Research shows that there were 1,535.5 volunteer hours recorded at our library. At a minimum of wage of \$12 an hour; that is \$18,426 over the last fiscal year that the library saved the town.

Funds collected for October:

Copies/Fax: \$78.40 **Fines:** \$57.90 **Total:** \$136.40

Activities during the month of October:

Public Works did repairs in one of our restrooms in October. They installed a water fountain on the patio behind the library and replanted several plants that had been removed to install the fountain.

A Conversational Spanish class, being taught by a local resident, started in October. She has six patrons taking the class. As the snowbirds return, the Zumba class continues to increase in participation. In January the library will be expanding the class to twice a week. Yoga will begin twice a week starting on October 10th.

Approximately 115 to 120 residents attended the Halloween Bash this year. I would like to thank all the vendors that participated, Hannah, who designed the map and gave direction to the vendors. I would also like to thank the Mayor and Councilor Gallelli for coming and supporting the Halloween Bash by handing out candy and visiting with our residents. John Brock was a great DJ and Matthew and Morgan did a great job setting up and taking down all the tables and tents. Thanks to Jim Steele for making two candy runs for us. George Brown did a great job managing the Events committee for this event.

Respectively Submitted,

Tara Hall, Library Director

**HOWEY-IN-THE-HILLS
REVENUES V.S. EXPENDITURES
September 30, 2023**

<u>REVENUES</u>	<u>RECEIVED</u>	<u>RECEIVED</u>	<u>ESTIMATED</u>	<u>REVENUE</u>	<u>PERCENT</u>	<u>DIFFERENCE</u>
	<u>SINCE LAST REP.</u>	<u>YEAR-TO-DATE</u>	<u>REVENUE</u>	<u>TO BE RECEIVED</u>	<u>RECEIVED</u>	<u>FROM LAST REP.</u>
001 GENERAL FUND	\$ 69,977.46	\$ 2,240,162.97	\$ 2,849,017.72	\$ 608,854.75	79%	2%
120 POLICE ADV TRAINING	\$ - 273.89	\$ - 2,531.12	\$ - 12,453.50	\$ - 9,922.38	20%	2%
130 TREE FUND	\$ -	\$ 250.00	\$ -	\$ (250.00)	100%	0%
140 WATER IMPACT FEES*	\$ 15,754.10	\$ 293,026.26	\$ 429,000.00	\$ 135,973.74	68%	4%
141 PARK IMPACT FEES*	\$ 4,964.32	\$ 383,478.71	\$ 242,600.00	\$ (140,878.71)	158%	2%
142 POLICE IMPACT FEES*	\$ 5,288.08	\$ 253,081.39	\$ 90,000.00	\$ (163,081.39)	281%	6%
143 ROAD IMPACT FEES*	\$ -	\$ -	\$ -	\$ -	0%	0%
144 WASTEWATER IMPACT FEES*	\$ -	\$ -	\$ -	\$ -	0%	0%
145 STORMWATER IMPACT FEES*	\$ -	\$ -	\$ -	\$ -	0%	0%
150 INFRASTRUCTURE FUND	\$ 17,719.00	\$ 263,595.35	\$ 233,227.00	\$ (30,368.35)	113%	8%
155 BUILDING FUND	\$ 37,170.76	\$ 768,442.20	\$ 637,815.00	\$ (130,627.20)	120%	6%
401 WATER/SANITATION FUND	\$ 135,676.94	\$ 1,629,021.22	\$ 1,629,696.00	\$ 674.78	100%	8%
651 POLICE RETIREMENT	\$ -	\$ 372,025.95	\$ 95,653.00	\$ (276,372.95)	389%	0%
TOTALS	\$ 286,824.55	\$ 6,205,615.17	\$ 6,219,462.22	\$ 13,847.05	100%	5%

<u>EXPENDITURES</u>	<u>COMMITTED</u>	<u>COMMITTED</u>	<u>CURRENT</u>	<u>AVAILABLE</u>	<u>PERCENT</u>	<u>DIFFERENCE</u>
	<u>SINCE LAST REP.</u>	<u>YEAR-TO-DATE</u>	<u>APPROPRIATION</u>	<u>APPROPRIATION</u>	<u>COMMITTED</u>	<u>FROM LAST REP.</u>
001 GENERAL FUND	\$ 132,710.46	\$ 2,561,223.94	\$ 2,849,017.72	\$ 287,793.78	90%	5%
120 POLICE ADV TRAINING	\$ -	\$ 10,769.48	\$ 12,453.50	\$ 1,684.02	86%	0%
130 TREE FUND	\$ -	\$ -	\$ -	\$ -	100%	0%
140 WATER IMPACT FEES*	\$ -	\$ 534,890.75	\$ 429,000.00	\$ (105,890.75)	125%	0%
141 PARK IMPACT FEES*	\$ -	\$ 24,953.76	\$ 242,600.00	\$ 217,646.24	10%	0%
142 POLICE IMPACT FEES*	\$ -	\$ 38,414.34	\$ 90,000.00	\$ 51,585.66	43%	0%
143 ROAD IMPACT FEES*	\$ -	\$ -	\$ -	\$ -	0%	0%
144 WASTEWATER IMPACT FEES*	\$ -	\$ -	\$ -	\$ -	0%	0%
145 STORMWATER IMPACT FEES*	\$ -	\$ -	\$ -	\$ -	0%	0%
150 INFRASTRUCTURE FUND	\$ 203,775.94	\$ 297,029.25	\$ 233,227.00	\$ (63,802.25)	127%	87%
155 BUILDING FUND	\$ 6,011.53	\$ 515,213.57	\$ 637,815.00	\$ 122,601.43	81%	1%
401 WATER/SANITATION FUND	\$ 72,987.41	\$ 1,300,036.07	\$ 1,629,696.00	\$ 329,659.93	80%	4%
651 POLICE RETIREMENT	\$ -	\$ 71,431.37	\$ 95,653.00	\$ 24,221.63	75%	0%
TOTALS	\$ 415,485.34	\$ 5,353,962.53	\$ 6,219,462.22	\$ 865,499.69	86%	7%

HOWEY-IN-THE-HILLS
REVENUES V.S. EXPENDITURES
August 31, 2023

<u>REVENUES</u>	<u>RECEIVED</u> <u>CURRENT MON.</u>	<u>RECEIVED</u> <u>YEAR-TO-DATE</u>	<u>ESTIMATED</u> <u>REVENUE</u>	<u>REVENUE</u> <u>TO BE RECEIVED</u>	<u>PERCENT</u> <u>RECEIVED</u>
001 GENERAL FUND	\$ 87,229.00	\$ 2,170,185.51	\$ 2,849,017.72	\$ 678,832.21	76%
120 POLICE ADV TRAINING	\$ 272.48	\$ 2,257.23	\$ 12,453.50	\$ 10,196.27	18%
130 TREE FUND	\$ -	\$ 250.00	\$ -	\$ (250.00)	100%
140 WATER IMPACT FEES*	\$ 34,659.02	\$ 277,272.16	\$ 429,000.00	\$ 151,727.84	65%
141 PARK IMPACT FEES*	\$ 10,913.96	\$ 378,514.39	\$ 242,600.00	\$ (135,914.39)	156%
142 POLICE IMPACT FEES*	\$ 11,625.74	\$ 247,793.31	\$ 90,000.00	\$ (157,793.31)	275%
143 ROAD IMPACT FEES*	\$ -	\$ -	\$ -	\$ -	0%
144 WASTEWATER IMPACT FEES*	\$ -	\$ -	\$ -	\$ -	0%
145 STORMWATER IMPACT FEES*	\$ -	\$ -	\$ -	\$ -	0%
150 INFRASTRUCTURE FUND	\$ 28,958.03	\$ 245,876.35	\$ 233,227.00	\$ (12,649.35)	105%
155 BUILDING FUND	\$ 72,390.98	\$ 731,271.44	\$ 637,815.00	\$ (93,456.44)	115%
401 WATER/SANITATION FUND	\$ 149,853.29	\$ 1,493,344.28	\$ 1,629,696.00	\$ 136,351.72	92%
651 POLICE RETIREMENT	\$ (31,962.70)	\$ 372,025.95	\$ 95,653.00	\$ (276,372.95)	389%
TOTALS	\$ 363,939.80	\$ 5,918,790.62	\$ 6,219,462.22	\$ 300,671.60	95%

<u>EXPENDITURES</u>	<u>COMMITTED</u> <u>CURRENT MON.</u>	<u>COMMITTED</u> <u>YEAR-TO-DATE</u>	<u>CURRENT</u> <u>APPROPRIATION</u>	<u>AVAILABLE</u> <u>APPROPRIATION</u>	<u>PERCENT</u> <u>COMM.</u>
001 GENERAL FUND	\$ 166,487.19	\$ 2,428,513.48	\$ 2,849,017.72	\$ 420,504.24	85%
120 POLICE ADV TRAINING	\$ -	\$ 10,769.48	\$ 12,453.50	\$ 1,684.02	86%
130 TREE FUND	\$ -	\$ -	\$ -	\$ -	0%
140 WATER IMPACT FEES*	\$ -	\$ 534,890.75	\$ 429,000.00	\$ (105,890.75)	125%
141 PARK IMPACT FEES*	\$ -	\$ 24,953.76	\$ 242,600.00	\$ 217,646.24	10%
142 POLICE IMPACT FEES*	\$ 6,300.00	\$ 38,414.34	\$ 90,000.00	\$ 51,585.66	43%
143 ROAD IMPACT FEES*	\$ -	\$ -	\$ -	\$ -	0%
144 WASTEWATER IMPACT FEES*	\$ -	\$ -	\$ -	\$ -	0%
145 STORMWATER IMPACT FEES*	\$ -	\$ -	\$ -	\$ -	0%
150 INFRASTRUCTURE FUND	\$ 69,102.81	\$ 93,253.31	\$ 233,227.00	\$ 139,973.69	40%
155 BUILDING FUND	\$ 48,144.56	\$ 509,202.04	\$ 637,815.00	\$ 128,612.96	80%
401 WATER/SANITATION FUND	\$ 93,460.37	\$ 1,227,048.66	\$ 1,629,696.00	\$ 402,647.34	75%
651 POLICE RETIREMENT	\$ 5,836.24	\$ 71,431.37	\$ 95,653.00	\$ 24,221.63	75%
TOTALS	\$ 389,331.17	\$ 4,938,477.19	\$ 6,219,462.22	\$ 1,280,985.03	79%

**HOWEY IN THE HILLS
BANK ACTIVITY REPORT
September 30, 2023**

ACCOUNTS			LOANS
2E+05			
Florida Prime Account			
STATE BOARD ADMINISTRATION BALANCE (usually comes in 2nd week of month)			
SBA FUND A	\$ 20,099.69		
INTEREST RECEIVED (APY 0.5.51%)	\$ 92.33	5.512%	
ENDING BALANCE	\$ 20,192.02		
1E+05			
SEACOAST #1 MONEY MARKET ACCOUNT			
(RESERVES) BEGINNING BALANCE	\$ 672,809.09		
TRANSFERS IN (OUT)	-		
INTEREST RECEIVED (APY 4.160%)	2,332.53	4.160%	
ENDING BALANCE	\$ 675,141.62		
1E+05			
SEACOAST #2 MONEY MARKET ACCOUNT			
(BISHOPS GATE) BEGINNING BALANCE	\$ 2,926.36		
Sinking Fund TRANSFERS IN (OUT)	-		
INTEREST RECEIVED (APY 0.008%)	0.02	0.008%	
ENDING BALANCE	\$ 2,926.38		
1E+05			
SEACOAST CHECKING ACCOUNT (Operating)			
Operating Checking BEGINNING BALANCE	\$ 3,075,175.14		
REVENUES DEPOSITED	305,203.38		
TRANSFERS IN (OUT)	-		
EXPENDITURES CLEARED	(460,416.04)		
ENDING BALANCE	\$ 2,919,962.48		
1E+05			
SEASIDE MONEY MARKET ACCOUNT			
BEGINNING BALANCE	\$ 350,023.66		
TRANSFERS IN (OUT)	-		
DORMANT CHARGE	-		
INTEREST RECEIVED (APY 4.20%)	1,226.37	4.204%	
ENDING BALANCE	\$ 351,250.03		
1E+05			
SEASIDE CHECKING ACCOUNT (Pay Loan)			
BEGINNING BALANCE	\$ 18,083.56		
TRANSFERS IN (OUT)	-		
DEPOSITED	-		
ENDING BALANCE	\$ 18,083.56		
1E+05			
SEASIDE SRF LOAN SWEEP ACCOUNT			
BEGINNING BALANCE	\$ 2,490.97		
TRANSFERS IN (OUT)	-		
EXPENDITURES CLEARED	-		
ENDING BALANCE	\$ 2,490.97		
TOTAL	\$ 3,990,047.06		

FDEP SRF LOAN (2.71%/2.12% interest)
 *Payments of \$72,314.68 made bi-annually.
 Beg Balance as of 04/15/2023 \$1,211,538.79
 Principal paid 10/1/2023 (\$56,676.98)
End Balance as of 10/31/2023 \$1,154,861.81

*United Community Bank (renamed from Seaside)