



## **Planning & Zoning Board Meeting**

**March 24, 2022 at 6:00 PM  
Howey-in the-Hills Town Hall  
101 N. Palm Ave.  
Howey-in-the-Hills, FL 34737**

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### **Join Zoom**

**Meeting:** <https://us06web.zoom.us/j/84353496996?pwd=QnlVOUN6d3psUmJLZ2dZSGNYVmZSdz09>

**Meeting ID:** 843 5349 6996 | **Passcode:** 342461

**Due to COVID-19, the Town of Howey-in-the-Hills is limiting the number of public attendees at meetings to 10 individuals. The Town of Howey-in-the-Hills is also requesting all audience members to wear masks when attending the meeting. The Town encourages everyone who is interested in participating in the meeting to join virtually via ZOOM.**

### **CALL TO ORDER ROLL CALL**

### **CONSENT AGENDA**

*Routine items are placed on the Consent Agenda to expedite the meeting. If Town Council/Staff wish to discuss any item, the procedure is as follows: (1) Pull the item(s) from the Consent Agenda; (2) Vote on the remaining item(s); and (3) Discuss each pulled item and vote.*

- [1.](#) Consideration and Approval of the February 24, 2022, Planning and Zoning Board Meeting minutes.

### **PUBLIC HEARING**

### **OLD BUSINESS**

### **NEW BUSINESS**

- [2.](#) Consideration and Recommendation: **Shawn Johnson Planning & Zoning Board Applicant**
- [3.](#) Consideration and Recommendation: **Sheldon Lucien Planning & Zoning Board Applicant**
- [4.](#) Consideration and Approval: **Annual Selection of Board Chair and Vice-Chair**
- [5.](#) Consideration and Approval: **Biscayne single-family model A, B, and C with alternate floor plans for use in Talichet Phases 1 and 2**
- [6.](#) Consideration and Approval: **Applicant is seeking approval for location of a residential storage shed per Section 5.01.09 F of the Town's Land Development Code**

## **PUBLIC COMMENTS**

*Any person wishing to address the Planning and Zoning Board and who is not on the agenda is asked to speak their name and address. Three (3) minutes is allocated per speaker.*

## **ADJOURNMENT**

### **To Comply with Title II of the Americans with Disabilities Act (ADA):**

Qualified individuals may get assistance through the Florida Relay Service by dialing 7-1-1. Florida Relay is a service provided to residents in the State of Florida who are Deaf, Hard of Hearing, Deaf/Blind, or Speech Disabled that connects them to standard (voice) telephone users. They utilize a wide array of technologies, such as Text Telephone (TTYs) and ASCII, Voice Carry-Over (VCO), Speech to Speech (STS), Relay Conference Captioning (RCC), CapTel, Voice, Hearing Carry-Over (HCO), Video Assisted Speech to Speech (VA-STTS) and Enhanced Speech to Speech.

**NOTICE: ONE OR MORE COUNCILORS MAY BE PRESENT TO HEAR OR PARTICIPATE IN DISCUSSION REGARDING MATTERS WHICH MAY COME BEFORE TOWN COUNCIL FOR ACTION.**

### **Howey Town Hall is inviting you to a scheduled Zoom meeting.**

Topic: **Planning & Zoning Board Meeting**

Time: **Mar 24, 2022 06:00 PM Eastern Time** (US and Canada)

Join Zoom Meeting

<https://us06web.zoom.us/j/84353496996?pwd=QnlVOUN6d3psUmJLZ2dZSGNYVmZSdz09>

Meeting ID: 843 5349 6996

Passcode: 342461

Dial by your location

+1 646 558 8656 US (New York)

+1 720 707 2699 US (Denver)

+1 346 248 7799 US (Houston)

Meeting ID: 843 5349 6996

Passcode: 342461

Find your local number: <https://us06web.zoom.us/j/84353496996>

Please Note: In accordance with F.S. 286.0105: Any person who desires to appeal any decision or recommendation at this meeting will need a record of the proceedings, and that for such purposes may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is based. The Town of Howey-in-the-Hills does not prepare or provide this verbatim record. Note: In accordance with the F.S. 286.26: Persons with disabilities needing assistance to participate in any of these proceedings should contact Town Hall, 101 N. Palm Avenue, Howey-in-the-Hills, FL 34737, (352) 324-2290 at least 48 business hours in advance of the meeting.





## Planning & Zoning Board Meeting

February 24, 2022 at 6:00 PM

Howey-in-the-Hills Town Hall

101 N Palm Ave

Howey-in-the-Hills, FL 34737

### MINUTES

#### **CALL TO ORDER ROLL CALL**

#### **MEMBERS PRESENT:**

Ron Francis III – Vice Chairperson | John Manning (via Zoom) | Richard Mulvany | Frances O'Keefe Wagler

#### **STAFF PRESENT:**

Sean O'Keefe - Town Administrator | John Brock - Town Clerk | Victoria Elfers - Building Services Clerk | Tom Harowski - Town Planner | Azure Botts – Code Enforcement Officer (via Zoom)

**Motion made by Board Member Richard Mulvany to approve the agenda; Board Member Frances O'Keefe Wagler seconded the motion. Motion was approved unanimously by voice vote.**

**The motion passed unanimously by voice vote.**

#### **CONSENT AGENDA**

*Routine items are placed on the Consent Agenda to expedite the meeting. If Town Council/Staff wish to discuss any item, the procedure is as follows: (1) Pull the item(s) from the Consent Agenda; (2) Vote on the remaining item(s); and (3) Discuss each pulled item and vote.*

1. Consideration and Approval of the January 27, 2022, Planning and Zoning Board Meeting minutes.

**Motion made by Board Member Frances O'Keefe Wagler to approve of the Consent Agenda; seconded by Board Member Richard Mulvany. Motion was approved unanimously by voice vote.**

#### **PUBLIC HEARING**

None.

#### **OLD BUSINESS**

2. Discussion: Parliamentary Procedure Review

Town Administrator Sean O'Keefe, Town Clerk John Brock, and Town Planner Tom Harowski reviewed parliamentary procedure: how to make recommendation for approval, approval subject to conditions, and recommendation for denial.

Town Planner Tom Harowski added that 1) there needs to be a legitimate reason to postpone a development item/development applicant and 2) the applicant cannot approach Town Council directly and expect to be approved expeditiously.

Board Member Frances O'Keefe Wagler inquired about applicants who do not update conditions recommended by the board.

Mr. Harowski reasoned the board has the choice to recommend denial to Town Council.

### **NEW BUSINESS**

#### 3. Consideration and Recommendation: Flagpoles updates to Land Development Code

Town Planner Tom Harowski reviewed Section 5.01.11 in the Land Development Code (LDC) and informed the board of the recommended updates via Code Enforcement Office Botts and himself.

Town Administrator Sean O'Keefe, Town Clerk John Brock, and Town Planner Tom Harowski informed the board members that there will be more LDC amendments presented to them in the upcoming meetings.

**Motion made by Board Member Frances O'Keefe Wagler for recommendation of approval to Town Council; seconded by Board Member Richard Mulvany. Motion was approved unanimously by voice vote.**

#### 4. Consideration and Recommendation: Land Development Code Amendment - Temporary Carports and Covers

Town Planner Tom Harowski reviewed Section 5.02.08 in the LDC and informed the board of the recommended updates via Code Enforcement Office Botts and himself.

**Motion made by John Manning for recommendation of approval to Town Council; seconded by Richard Mulvany. Motion was approved unanimously by voice vote.**

#### 5. Discussion: Process for Recommending LDC Updates

Town Planner Tom Harowski suggested a new recommendation flow: Planning and Zoning Board members should recommend to Town Council, Town Council reviews recommendation and make a decision based on recommendation, and the agenda item (i.e., LDC amendment; development application) goes under a secondary review.

Board Member Ron Francis III proposed a two-car garage should be required for every home within the Town (i.e., townhomes and single-family homes), with the exception of manufactured homes.

Town Administrator Sean O'Keefe assured Mr. Francis III that he will mention the proposal to Town Council and place it as an item on an upcoming agenda.

Board Member John Manning asked what the process is and how often is the LDC reviewed and updated.

Town Planner Tom Harowski explained that usually codes are updated every seven years, however, there can be interim amendment updates.

### **CITIZEN COMMENTS**

*Any person wishing to address the Planning and Zoning Board and who is not on the agenda is asked to speak their name and address. Three (3) minutes is allocated per speaker.*

No public comment.

**ADJOURNMENT**

**There being no further business to discuss, a motion was made by Richard Mulvany to adjourn the meeting; Ron Francis III seconded the motion. Motion was approved unanimously by voice vote.**

The Meeting adjourned at 7:06 p.m. | **Attendees: 9**

\_\_\_\_\_  
Tina St. Clair Chairperson

ATTEST:

\_\_\_\_\_  
John Brock, Town Clerk

DRAFT



**Date:** March 21, 2022

**To:** Planning and Zoning Board

**From:** John Brock, Town Clerk

**Re:** Consideration and Recommendation: **Shawn Johnson Planning & Zoning Board Applicant**

**Objective:**

Appointment of resident to a seat on the Planning & Zoning Board.

**Summary:**

*[Narrative, potentially several paragraphs, including details on relevant history, agreements and understandings, individual and cumulative costs, and project measurements, as well as roles of project stakeholders.]*

The Town's Planning & Zoning Board should have 7 members. Currently this board only have five members appointed to it. Appointment to this board would be for a three-year term.

**Possible Motions:**

*The Town Council has the following options:*

1. The Planning and Zoning Board motion to recommend the appointment of Shawn Johnson to the Planning & Zoning Board
  
3. The Planning and Zoning Board motion to not recommend the appointment of Shawn Johnson to the Planning & Zoning Board

**Fiscal Impact:**

*[Initial and/or Recurring Fiscal Impact, if any. Examples: N/A | There is no fiscal impact. (In-kind agreement) / Fiscal impact associated with this proposal has been included in, and accounted for, in the department's proposed budget for Fiscal Year 2021/2022]*

None

**Staff Recommendation:**

**TOWN OF HOWEY-IN-THE-HILLS  
APPLICATION FOR BOARDS/COMMITTEES**

Please Print Legibly

Name: Shawn Johnson Date: 3/17/22  
 Home Mailing Address: 409 Amala Way, Howey in the hills, FL, 34737  
 Home Physical Address: same as above.  
 Florida Drivers License or ID: \_\_\_\_\_  
 Phone Number: (863) 558-5701 E-mail Address: qwerty49392000@gmail.com  
 Education: Upper Room Christian School, Denver Automotive + Diesel College  
 Business (Name & Type): Manheim Auction  
 Business Address: 11801 W Colonial Dr, Ocala, FL, 34761  
 Business Phone: (407) 656-6200 Position: auto technician  
 Training or experience related to activities of boards or committees to which appointment is sought:  
I'm the lead problem solver with vehicles and for different accounts.  
 Professional Organizations: \_\_\_\_\_

Have you served on a Town Board(s)/Committee(s) in the past? \_\_\_\_\_ Yes ☒ No

Name of Boards/Committee(s): \_\_\_\_\_

Dates Served: \_\_\_\_\_

Please check Board(s)/Committee(s) that interest you.

- |   |   |
|---|---|
| <input type="checkbox"/> Cemetery Board                     | <input type="checkbox"/> Police Pension Board   |
| <input type="checkbox"/> Historic Preservation Board        | <input type="checkbox"/> Utility Advisory Board |
| <input type="checkbox"/> Library Board                      | <input type="checkbox"/> Visioning Committee    |
| <input type="checkbox"/> Parks & Recreation Board           | <input type="checkbox"/> Other                  |
| <input checked="" type="checkbox"/> Planning & Zoning Board | <input type="checkbox"/> Other                  |

I will attend meetings in accordance with the adopted policies of the Town of Howey-in-the-Hills. If at any time my business or professional interests conflict with the interests of this Board or Committee, I will not participate in such deliberations. References may be secured from the following individuals:

	Name	Address	Phone Number
1	<u>Charlie Hampton</u>	<u>Denver, CO</u>	<u>(303) 931-0700</u>
2	<u>Chris Carey</u>	<u>Ocala, FL</u>	<u>(407) 506-5569</u>
3	<u>Brandon Johnson</u>	<u>Viera, FL</u>	<u>(321) 229-6631</u>

\_\_\_\_\_  
Signature of Applicant

In completing this application, you are acknowledging that personal information you provide is subject to Florida's Public Records Policy as stated in Chapter 119, Florida Statutes, and Article I, Section 24 of the State Constitution.

Additional information may be attached to this form.

FOR TOWN HALL USE

Received by John Brock Date 3/17/2022  
 Reviewed by Board \_\_\_\_\_  
 Appointed by Town Council \_\_\_\_\_ Date \_\_\_\_\_



**Date:** March 22, 2022

**To:** Planning and Zoning Board

**From:** John Brock, Town Clerk

**Re:** Consideration and Recommendation: **Sheldon Lucien Planning & Zoning Board Applicant**

**Objective:**

Appointment of resident to a seat on the Planning & Zoning Board.

**Summary:**

*[Narrative, potentially several paragraphs, including details on relevant history, agreements and understandings, individual and cumulative costs, and project measurements, as well as roles of project stakeholders.]*

The Town's Planning & Zoning Board should have 7 members. Currently this board only have five members appointed to it. Appointment to this board would be for a three-year term.

**Possible Motions:**

*The Town Council has the following options:*

1. The Planning and Zoning Board motion to recommend the appointment of Sheldon Lucien to the Planning & Zoning Board
3. The Planning and Zoning Board motion to not recommend the appointment of Sheldon Lucien to the Planning & Zoning Board

**Fiscal Impact:**

*[Initial and/or Recurring Fiscal Impact, if any. Examples: N/A | There is no fiscal impact. (In-kind agreement) / Fiscal impact associated with this proposal has been included in, and accounted for, in the department's proposed budget for Fiscal Year 2021/2022]*

None

**Staff Recommendation:**

# TOWN OF HOWEY-IN-THE-HILLS

## APPLICATION FOR BOARDS/COMMITTEES

Please Print Legibly

Name: Sheldon Lucien Date: 3-22-22  
 Home Mailing Address: 229 Messina Place Howey FL 34737  
 Home Physical Address: 7230 N Frontage Rd Orlando FL 32819  
 Florida Drivers License or ID: \_\_\_\_\_  
 Phone Number: 609-336-1618 E-mail Address: Sheldon@luciengroup.com  
 Education: B.A Communications  
 Business (Name & Type): Lucien Wireless  
 Business Address: 1 E Broward Blvd Fort Lauderdale FL 33301  
 Business Phone: 609-336-1418 Position: Chief Architect & CEO  
 Training or experience related to activities of boards or committees to which appointment is sought: \_\_\_\_\_

Professional Organizations: \_\_\_\_\_

Have you served on a Town Board(s)/Committee(s) in the past?

\_\_\_\_ Yes \_\_\_\_ No

Name of Boards/Committee(s):

Dates Served:

N/A

Please check Board(s)/Committee(s) that interest you.

- |   |   |
|---|---|
| <input type="checkbox"/> Cemetery Board                     | <input type="checkbox"/> Police Pension Board   |
| <input type="checkbox"/> Historic Preservation Board        | <input type="checkbox"/> Utility Advisory Board |
| <input type="checkbox"/> Library Board                      | <input type="checkbox"/> Visioning Committee    |
| <input type="checkbox"/> Parks & Recreation Board           | <input type="checkbox"/> Other                  |
| <input checked="" type="checkbox"/> Planning & Zoning Board | <input type="checkbox"/> Other                  |

*I will attend meetings in accordance with the adopted policies of the Town of Howey-in-the-Hills. If at any time my business or professional interests conflict with the interests of this Board or Committee, I will not participate in such deliberations. References may be secured from the following individuals:*

	Name	Address	Phone Number
--	------	---------	--------------

1

2

3

  
 Signature of Applicant

In completing this application, you are acknowledging that personal information you provide is subject to Florida's Public Records Policy as stated in Chapter 119, Florida Statutes, and Article I, Section 24 of the State Constitution.

*Applicants are considered for board openings for which they apply without regard to race, color, religion, gender, sexual orientation, national origin, age, marital status, or the presence of a medical condition or disability. The Town of Howey-in-the-Hills will not tolerate any form of discrimination, harassment or retaliation affecting it employees or applicants due to race, color, religion, gender, sexual orientation, national origin, age, marital status, medical condition, or disability.*

Sec. 48-3. - Meetings; voting; officers.

The Planning and Zoning Commission may adopt such rules and regulations which it deems necessary to carry out the provisions of this chapter. However, the following rules shall apply to the Planning and Zoning Commission:

- A. *Meetings.* The Planning and Zoning Commission shall hold regular meetings at the Town Hall on the fourth Thursday of each month at 6:00 p.m. Special meetings may be called by the chairman, when necessary.
- B. *Voting.* Four members of the Planning and Zoning Commission shall constitute a quorum. However, regardless of the existence of a quorum, any action taken by the Planning and Zoning Commission must be approved by at least three members of the Commission.
- C. *Officers.* The Planning and Zoning Commission shall annually select from among its membership a chairman and a vice-chairman. This annual selection shall occur at the regularly scheduled March meeting and shall be subject to the approval of the Town Council.
- D. *Chairman.* The chairman shall:
  - (1) Preside at all meetings.
  - (2) Call special meetings as he deems necessary.
  - (3) Attest to the accuracy of all minutes of meetings prior to those minutes being submitted to the Town Council.
  - (4) Form subcommittees to assist the Planning and Zoning Commission in the fulfillment of its duties.
- E. *Vice-chairman.* The vice-chairman shall:
  - (1) Ensure that Town Hall staff notices all meetings.
  - (2) Ensure minutes of the Planning and Zoning Commission meetings are prepared by Town Hall staff.
  - (3) Serve as chairman pro-tempore.
- F. *Attendance.* Any member of the Planning and Zoning Commission who misses two regular meetings of the Commission in a row without first providing the notice of the absence to the town clerk or her designee shall be deemed to have resigned his or her membership on the Commission. Additionally, any member of the Commission who misses four regular meetings of the Commission during the course of a calendar year, regardless of whether prior notice was provided to the town clerk or her designee, shall be deemed to have resigned his or her membership on the Commission.

(Ord. No. 117, 2-10-75; Code 1975, § 2-6; Ord. No. 90-205, 11-12-90; Ord. No. 2003-314, §§ 1, 2, 9-8-03; Ord. No. 2009-005, § 2, 3-23-09)





TMHConsulting@cfl.rr.com  
97 N. Saint Andrews Dr.  
Ormond Beach, FL 32174  
PH: 386.316.8426

## MEMORANDUM

**TO:** Howey-in-the-Hills Planning Board  
**CC:** J. Brock, Town Clerk  
**FROM:** Thomas A. Harowski, AICP, Planning Consultant  
**SUBJECT:** Dream Finders Biscayne Models  
**DATE:** March 3, 2022

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The Town has received a request from Dream Finders home builders to add another set of models to the approved model package for Talichet Phases One and Two. There are three model variations A, B and C with an alternate version for each variation. The difference between the basic model and the variation is that one version has a front facing, recessed garage, and the variant has a side-entry garage. The base model also has a stone finish on a portion of the front façade, while the alternate has a stucco finish for the entire front façade.

A review of the three basic models for conformance with the Town's architectural requirements for single family homes yielded the findings as follows:

- Proposed wall material meets the allowable material types.
- The roof design provides a variation in the roof lines and uses materials from the approved listing.
- The architectural treatment for the front façade meets the minimum number of architectural details (four)
- The architectural treatment for the side and rear walls meets the minimum number of architectural details (two).
- The stone finish along with the painted stucco meets the minimum color usage requirement. (Staff will need to verify that two or paint colors will be applied to the alternate model design. All the other approved models meet this requirement.)
- The Biscayne models meet the minimum required floor area. (All units are two-story, and the first floor is 2,240 square feet including the garage.
- The garage meets the minimum requirement of 400 square feet for a two-car garage.
- Staff will need to verify setbacks when the individual permit requests are presented.
- Staff will need to verify compliance with the minimum landscape requirements when the individual units are permitted.

The basic unit design with the recessed or side entry garages are unit types preferred by our architectural design standards.

# 2718 BISCAYNE (A)

## DREAM FINDERS HOMES

### WINCEY GROVES 40'

#### SHEET INDEX- OPTIONS

OPTION A    STANDARD BONUS  
OPTION B    EXTENDED BONUS

#### SHEET INDEX- ELEVATION 'A'

00A	COVER SHEET	09A.0	ELECTRICAL PLAN (OPTION A)
00.1	REVISION SHEET	09A.0	ELECTRICAL PLAN (OPTION A - SIDE LOAD)
01A.0	FOUNDATION PLAN (OPTION A)	09A.1	ELECTRICAL PLAN (OPTION B)
01A.0	FOUNDATION PLAN (OPTION A - SIDE LOAD)	09A.1	ELECTRICAL PLAN (OPTION B - SIDE LOAD)
01A.1	FOUNDATION PLAN (OPTION B)	10A.0	UPPER ELECTRICAL PLAN (OPTION A)
01A.1	FOUNDATION PLAN (OPTION B - SIDE LOAD)	10A.0	UPPER ELECTRICAL PLAN (OPTION A - SIDE LOAD)
02A.0	FLOOR PLAN WITH DIM. (OPTION A)	10A.1	UPPER ELECTRICAL PLAN (OPTION B)
02A.0	FLOOR PLAN WITH DIM. (OPTION A - SIDE LOAD)	10A.1	UPPER ELECTRICAL PLAN (OPTION B - SIDE LOAD)
02A.1	FLOOR PLAN WITH DIM. (OPTION B)	11A.0	TRUSS LAYOUT (OPTION A)
02A.1	FLOOR PLAN WITH DIM. (OPTION B - SIDE LOAD)	11A.0	TRUSS LAYOUT (OPTION A - SIDE LOAD)
03A.0	FLOOR PLAN WITH NOTES (OPTION A)	11A.1	TRUSS LAYOUT (OPTION B)
03A.0	FLOOR PLAN WITH NOTES (OPTION A - SIDE LOAD)	11A.1	TRUSS LAYOUT (OPTION B - SIDE LOAD)
03A.1	FLOOR PLAN WITH NOTES (OPTION B)	12A.0	UPPER TRUSS LAYOUT (OPTION A)
03A.1	FLOOR PLAN WITH NOTES (OPTION B - SIDE LOAD)	12A.0	UPPER TRUSS LAYOUT (OPTION A - SIDE LOAD)
04A.0	UPPER FLOOR PLAN WITH DIM. (OPTION A)	12A.1	UPPER TRUSS LAYOUT (OPTION B)
04A.0	UPPER FLOOR PLAN WITH DIM. (OPTION A - SIDE LOAD)	12A.1	UPPER TRUSS LAYOUT (OPTION B - SIDE LOAD)
04A.1	UPPER FLOOR PLAN WITH DIM. (OPTION B)	13A.0	PRECAST LINTEL LAYOUT (OPTION A)
04A.1	UPPER FLOOR PLAN WITH DIM. (OPTION B - SIDE LOAD)	13A.0	PRECAST LINTEL LAYOUT (OPTION A - SIDE LOAD)
05A.0	UPPER FLOOR PLAN WITH NOTES (OPTION A)	13A.1	PRECAST LINTEL LAYOUT (OPTION B)
05A.0	UPPER FLOOR PLAN WITH NOTES (OPTION A - SIDE LOAD)	13A.1	PRECAST LINTEL LAYOUT (OPTION B - SIDE LOAD)
05A.1	UPPER FLOOR PLAN WITH NOTES (OPTION B)	14	LINTEL DATA / TYPICAL DETAILS
05A.1	UPPER FLOOR PLAN WITH NOTES (OPTION B - SIDE LOAD)	15	STAIR DATA / CONNECTOR SCHEDULE
06A.0	EXTERIOR ELEV.- FRONT / REAR (OPTION A)	16	TYPICAL DETAILS
06A.0	EXTERIOR ELEV.- FRONT / REAR (OPTION A - SIDE LOAD)	17	TYPICAL DETAILS
06A.1	EXTERIOR ELEV.- FRONT / REAR (OPTION B)	18	TYPICAL DETAILS
06A.1	EXTERIOR ELEV.- FRONT / REAR (OPTION B - SIDE LOAD)	19	TYPICAL DETAILS
07A.0	EXTERIOR ELEV.- LEFT / RIGHT (OPTION A)	20	TYPICAL DETAILS
07A.0	EXTERIOR ELEV.- LEFT / RIGHT (OPTION A - SIDE LOAD)	D1	TYPICAL STRUCTURAL DETAILS
07A.1	EXTERIOR ELEV.- LEFT / RIGHT (OPTION B)	D2	TYPICAL STRUCTURAL DETAILS
07A.1	EXTERIOR ELEV.- LEFT / RIGHT (OPTION B - SIDE LOAD)	D3	TYPICAL STRUCTURAL DETAILS
08	INTERIOR ELEVATIONS / CROSS SECTION (OPTION A)	D4	TYPICAL STRUCTURAL DETAILS, 2-STORY
08.1	INTERIOR ELEVATIONS / CROSS SECTION (OPTION B)	D5	TYPICAL STRUCTURAL DETAILS, 2-STORY

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

#### LOT SPECIFIC INFORMATION

© COPYRIGHT 2016 Dream Finders & RDC hereby reserves its common law copyrights and other copyrights in these plans, ideas, and design. These plans, ideas and designs are not to be copied or changed in any manner or form whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission from Dream Finders & RDC.

DATE 07-31-19  
SCALE AS NOTED  
DRAWN RDC  
JOB 2718  
13  
OF 26 SHEETS

2718 BISCAYNE  
DREAM FINDERS HOMES

COVER SHEET



Engineering By:  
PRABHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM  
4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811  
INFO@RDCFLA.COM

CODE 2020

REVISIONS 09-22-21

BY: DH

LA: 10-10-21

BY: RP

Item 5.

2718 BISCAYNE (B)

DREAM FINDERS HOMES

WINCEY GROVES 40'

SHEET INDEX- OPTIONS

OPTION A    STANDARD BONUS  
OPTION B    EXTENDED BONUS

SHEET INDEX- ELEVATION "B"


00B	COVER SHEET	09B.0	ELECTRICAL PLAN (OPTION A)
00.1	REVISION SHEET	09B.0	ELECTRICAL PLAN (OPTION A - SIDE LOAD)
01B.0	FOUNDATION PLAN (OPTION A)	09B.1	ELECTRICAL PLAN (OPTION B)
01B.0	FOUNDATION PLAN (OPTION A - SIDE LOAD)	09B.1	ELECTRICAL PLAN (OPTION B - SIDE LOAD)
01B.1	FOUNDATION PLAN (OPTION B)	10B.0	UPPER ELECTRICAL PLAN (OPTION A)
01B.1	FOUNDATION PLAN (OPTION B - SIDE LOAD)	10B.0	UPPER ELECTRICAL PLAN (OPTION A - SIDE LOAD)
02B.0	FLOOR PLAN WITH DIM. (OPTION A)	10B.1	UPPER ELECTRICAL PLAN (OPTION B)
02B.0	FLOOR PLAN WITH DIM. (OPTION A - SIDE LOAD)	10B.1	UPPER ELECTRICAL PLAN (OPTION B - SIDE LOAD)
02B.1	FLOOR PLAN WITH DIM. (OPTION B)	11B.0	TRUSS LAYOUT (OPTION A)
02B.1	FLOOR PLAN WITH DIM. (OPTION B - SIDE LOAD)	11B.0	TRUSS LAYOUT (OPTION A - SIDE LOAD)
03B.0	FLOOR PLAN WITH NOTES (OPTION A)	11B.1	TRUSS LAYOUT (OPTION B)
03B.0	FLOOR PLAN WITH NOTES (OPTION A - SIDE LOAD)	11B.1	TRUSS LAYOUT (OPTION B - SIDE LOAD)
03B.1	FLOOR PLAN WITH NOTES (OPTION B)	12B.0	UPPER TRUSS LAYOUT (OPTION A)
03B.1	FLOOR PLAN WITH NOTES (OPTION B - SIDE LOAD)	12B.0	UPPER TRUSS LAYOUT (OPTION A - SIDE LOAD)
04B.0	UPPER FLOOR PLAN WITH DIM. (OPTION A)	12B.1	UPPER TRUSS LAYOUT (OPTION B)
04B.0	UPPER FLOOR PLAN WITH DIM. (OPTION A - SIDE LOAD)	12B.1	UPPER TRUSS LAYOUT (OPTION B - SIDE LOAD)
04B.1	UPPER FLOOR PLAN WITH DIM. (OPTION B)	13B.0	PRECAST LINTEL LAYOUT (OPTION A)
04B.1	UPPER FLOOR PLAN WITH DIM. (OPTION B - SIDE LOAD)	13B.0	PRECAST LINTEL LAYOUT (OPTION A - SIDE LOAD)
05B.0	UPPER FLOOR PLAN WITH NOTES (OPTION A)	13B.1	PRECAST LINTEL LAYOUT (OPTION B)
05B.0	UPPER FLOOR PLAN WITH NOTES (OPTION A - SIDE LOAD)	13B.1	PRECAST LINTEL LAYOUT (OPTION B - SIDE LOAD)
05B.1	UPPER FLOOR PLAN WITH NOTES (OPTION B)	14	LINTEL DATA / TYPICAL DETAILS
05B.1	UPPER FLOOR PLAN WITH NOTES (OPTION B - SIDE LOAD)	15	STAIR DATA / CONNECTOR SCHEDULE
06B.0	EXTERIOR ELEV.- FRONT / REAR (OPTION A)	16	TYPICAL DETAILS
06B.0	EXTERIOR ELEV.- FRONT / REAR (OPTION A - SIDE LOAD)	17	TYPICAL DETAILS
06B.1	EXTERIOR ELEV.- FRONT / REAR (OPTION B)	18	TYPICAL DETAILS
06B.1	EXTERIOR ELEV.- FRONT / REAR (OPTION B - SIDE LOAD)	19	TYPICAL DETAILS
07B.0	EXTERIOR ELEV.- LEFT / RIGHT (OPTION A)	20	TYPICAL DETAILS
07B.0	EXTERIOR ELEV.- LEFT / RIGHT (OPTION A - SIDE LOAD)	D1	TYPICAL STRUCTURAL DETAILS
07B.1	EXTERIOR ELEV.- LEFT / RIGHT (OPTION B)	D2	TYPICAL STRUCTURAL DETAILS
07B.1	EXTERIOR ELEV.- LEFT / RIGHT (OPTION B - SIDE LOAD)	D3	TYPICAL STRUCTURAL DETAILS
08	INTERIOR ELEVATIONS / CROSS SECTION (OPTION A)	D4	TYPICAL STRUCTURAL DETAILS, 2-STORY
08.1	INTERIOR ELEVATIONS / CROSS SECTION (OPTION B)	D5	TYPICAL STRUCTURAL DETAILS, 2-STORY

LA: 10-10-21BY: RP

Item 5.

Engineering By:  
PPRABHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811  
INFO@RDCFLA.COM

  
DREAM FINDERS  
THE MARK OF A QUALITY HOME

COVER SHEET

2718 BISCAYNE  
DREAM FINDERS HOMES

LOT SPECIFIC INFORMATION

DATE07-31-19  
SCALEAS NOTED  
DRAWNRDC  
JOB2718  
14  
OF 26 SHEETS

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

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2718 BISCAYNE (C)

DREAM FINDERS HOMES

WINCEY GROVES 40'

SHEET INDEX- OPTIONS

OPTION A STANDARD BONUS  
OPTION B EXTENDED BONUS

SHEET INDEX- ELEVATION \*C\*

00C	COVER SHEET	09C.0	ELECTRICAL PLAN (OPTION A)
00.1	REVISION SHEET	09C.0	ELECTRICAL PLAN (OPTION A - SIDE LOAD)
01C.0	FOUNDATION PLAN (OPTION A)	09C.1	ELECTRICAL PLAN (OPTION B)
01C.0	FOUNDATION PLAN (OPTION A - SIDE LOAD)	09C.1	ELECTRICAL PLAN (OPTION B - SIDE LOAD)
01C.1	FOUNDATION PLAN (OPTION B)	10C.0	UPPER ELECTRICAL PLAN (OPTION A)
01C.1	FOUNDATION PLAN (OPTION B - SIDE LOAD)	10C.0	UPPER ELECTRICAL PLAN (OPTION A - SIDE LOAD)
02C.0	FLOOR PLAN WITH DIM. (OPTION A)	10C.1	UPPER ELECTRICAL PLAN (OPTION B)
02C.0	FLOOR PLAN WITH DIM. (OPTION A - SIDE LOAD)	10C.1	UPPER ELECTRICAL PLAN (OPTION B - SIDE LOAD)
02C.1	FLOOR PLAN WITH DIM. (OPTION B)	11C.0	TRUSS LAYOUT (OPTION A)
02C.1	FLOOR PLAN WITH DIM. (OPTION B - SIDE LOAD)	11C.0	TRUSS LAYOUT (OPTION A - SIDE LOAD)
03C.0	FLOOR PLAN WITH NOTES (OPTION A)	11C.1	TRUSS LAYOUT (OPTION B)
03C.0	FLOOR PLAN WITH NOTES (OPTION A - SIDE LOAD)	11C.1	TRUSS LAYOUT (OPTION B - SIDE LOAD)
03C.1	FLOOR PLAN WITH NOTES (OPTION B)	12C.0	UPPER TRUSS LAYOUT (OPTION A)
03C.1	FLOOR PLAN WITH NOTES (OPTION B - SIDE LOAD)	12C.0	UPPER TRUSS LAYOUT (OPTION A - SIDE LOAD)
04C.0	UPPER FLOOR PLAN WITH DIM. (OPTION A)	12C.1	UPPER TRUSS LAYOUT (OPTION B)
04C.0	UPPER FLOOR PLAN WITH DIM. (OPTION A - SIDE LOAD)	12C.1	UPPER TRUSS LAYOUT (OPTION B - SIDE LOAD)
04C.1	UPPER FLOOR PLAN WITH DIM. (OPTION B)	13C.0	PRECAST LINTEL LAYOUT (OPTION A)
04C.1	UPPER FLOOR PLAN WITH DIM. (OPTION B - SIDE LOAD)	13C.0	PRECAST LINTEL LAYOUT (OPTION A - SIDE LOAD)
05C.0	UPPER FLOOR PLAN WITH NOTES (OPTION A)	13C.1	PRECAST LINTEL LAYOUT (OPTION B)
05C.0	UPPER FLOOR PLAN WITH NOTES (OPTION A - SIDE LOAD)	13C.1	PRECAST LINTEL LAYOUT (OPTION B - SIDE LOAD)
05C.1	UPPER FLOOR PLAN WITH NOTES (OPTION B)	14	LINTEL DATA / TYPICAL DETAILS
05C.1	UPPER FLOOR PLAN WITH NOTES (OPTION B - SIDE LOAD)	15	STAIR DATA / CONNECTOR SCHEDULE
06C.0	EXTERIOR ELEV.- FRONT / REAR (OPTION A)	16	TYPICAL DETAILS
06C.0	EXTERIOR ELEV.- FRONT / REAR (OPTION A - SIDE LOAD)	17	TYPICAL DETAILS
06C.1	EXTERIOR ELEV.- FRONT / REAR (OPTION B)	18	TYPICAL DETAILS
06C.1	EXTERIOR ELEV.- FRONT / REAR (OPTION B - SIDE LOAD)	19	TYPICAL DETAILS
07C.0	EXTERIOR ELEV.- LEFT / RIGHT (OPTION A)	20	TYPICAL DETAILS
07C.0	EXTERIOR ELEV.- LEFT / RIGHT (OPTION A - SIDE LOAD)	D1	TYPICAL STRUCTURAL DETAILS
07C.1	EXTERIOR ELEV.- LEFT / RIGHT (OPTION B)	D2	TYPICAL STRUCTURAL DETAILS
07C.1	EXTERIOR ELEV.- LEFT / RIGHT (OPTION B - SIDE LOAD)	D3	TYPICAL STRUCTURAL DETAILS
08	INTERIOR ELEVATIONS / CROSS SECTION (OPTION A)	D4	TYPICAL STRUCTURAL DETAILS, 2-STORY
08.1	INTERIOR ELEVATIONS / CROSS SECTION (OPTION B)	D5	TYPICAL STRUCTURAL DETAILS, 2-STORY

LOT SPECIFIC INFORMATION

DATE	07-31-19
SCALE	AS NOTED
DRAWN	RDC
JOB	2718
15	
OF 26 SHEETS	

2718 BISCAYNE	DREAM FINDERS HOMES
---------------	---------------------

COVER SHEET



Engineering By:  
PRABHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM  
4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811  
INFO@RDCFLA.COM

CODE 2020

REVISIONS 08-22-21 BY: DH

LA: 10-19-21 BY: RP

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Item 5.



ELEVATION A

REVISION SCHEDULE			
NO.	DATE	DESCRIPTION	BY
0	08-07-19	-THIS PLAN WAS DERIVED FROM THE 2689 BISCAYNE (HAMLIN 40') W/ REV. DATE 10-08-18 FOR WINCEY GROVES W/ THE FOLLOWING CHANGES:	JA
1	08-07-19	-SHIFTED LANAI TO LINE UP WITH RIGHT SIDE EXTERIOR WALL	JA
		-ADDED BR. 2 & B. 2 TO 1ST FLOOR OPT.	
		-EXTENDED FAMILY ROOM & DINING ROOM	
		-REMOVED BR. 2 & B. 2 FROM STANDARD 1ST FLR.	
		-SHRINKED PANTRY & ADDED PDR. TO 1ST FLR.	
2	09-10-19	-UPDATED PLAN NUMBER WITH NEW SQFT.	JF
3	10-29-19	-REMOVED TANKLESS WH, GAS STUBS, OPT. OUTLETS AND ADDED ELEC. WH	JA
		-INSULATION CHANGE: R-11, R-30 TO R-13 & R-38	
		-RAISED VANITY HEIGHT @ MASTER BATHROOM	
4	01-15-20	-CHANGED ALL ARCH OPENINGS INTO FLAT OPENINGS	RH
5	02-03-20	-MADE PANEL AND METER BACK TO BACK	DAL
6	02-17-20	-TRUSSES APPLIED TO STANDARD 'A' ELEV.	JA
7	03-23-20	-REMOVED STEP @ GARAGE, ADDED BOLLARD FOR WATER HEATER	JA
8	05-29-20	-ADDED KNEE WALL TO ENCLOSURE @ MASTER BATH.	JF
9	06-26-20	-REVISED KITCHEN ISLAND LOCATION	JF
		-EXTENDED KIT. CAB. TO LINE UP W/ ISLAND	
		-REVISED KIT ELEC. & ADDED 2 ADD. CANS	
		-MOVED WINDOW @ KIT. TOWARDS REAR	
10	08-13-20	-REVISED FOOTING & CALLOUTS @ GARAGE DOOR	RH
11	12-07-20	-ADDED STONE VENEER TO ELEVATION 'A' *(FOR RIVINGTON ONLY)*	DAL
12	12-31-20	-UPDATED CODE REFERENCES TO REFER TO FBCR 7TH EDITION, 2020 AND NEC 2017	DE
13	01-18-21	-REDUCED SLAB DEPTH SPEC FROM 4' TO 3 1/2'	RH
14	04-23-21	-ADDED SIDE LOAD GARAGE OPTION TO PLANS	DH
15	05-19-21	-ADDED 8'x8' HIDDEN S.G.D. OPTION	RP
16	06-01-21	-RELOCATED C.U. LOCATION FOR HARTWOOD COMM.	RP
17	09-22-21	-APPLIED TRUSSES FROM NEW VENDOR	DH

ELEVATION B

REVISION SCHEDULE			
NO.	DATE	DESCRIPTION	BY
0	08-07-19	-THIS PLAN WAS DERIVED FROM THE 2689 BISCAYNE (HAMLIN 40') W/ REV. DATE 10-08-18 FOR WINCEY GROVES W/ THE FOLLOWING CHANGES:	JA
1	08-07-19	-SHIFTED LANAI TO LINE UP WITH RIGHT SIDE EXTERIOR WALL	JA
		-ADDED BR. 2 & B. 2 TO 1ST FLOOR OPT.	
		-EXTENDED FAMILY ROOM & DINING ROOM	
		-REMOVED BR. 2 & B. 2 FROM STANDARD 1ST FLR.	
		-SHRINKED PANTRY & ADDED PDR. TO 1ST FLR.	
2	09-10-19	-UPDATED PLAN NUMBER WITH NEW SQFT.	JF
3	10-29-19	-REMOVED TANKLESS WH, GAS STUBS, OPT. OUTLETS AND ADDED ELEC. WH	JA
		-INSULATION CHANGE: R-11, R-30 TO R-13 & R-38	
		-RAISED VANITY HEIGHT @ MASTER BATHROOM	
4	01-15-20	-CHANGED ALL ARCH OPENINGS INTO FLAT OPENINGS	RH
5	02-03-20	-MADE PANEL AND METER BACK TO BACK	DAL
6	03-23-20	-REMOVED STEP @ GARAGE, ADDED BOLLARD FOR WATER HEATER	JA
7	05-29-20	-ADDED KNEE WALL TO ENCLOSURE @ MASTER BATH.	JF
8	06-26-20	-REVISED KITCHEN ISLAND LOCATION	JF
		-EXTENDED KIT. CAB. TO LINE UP W/ ISLAND	
		-REVISED KIT ELEC. & ADDED 2 ADD. CANS	
		-MOVED WINDOW @ KIT. TOWARDS REAR	
9	08-13-20	-REVISED FOOTING & CALLOUTS @ GARAGE DOOR	RH
10	12-31-20	-UPDATED CODE REFERENCES TO REFER TO FBCR 7TH EDITION, 2020 AND NEC 2017	DE
11	01-18-21	-REDUCED SLAB DEPTH SPEC FROM 4' TO 3 1/2'	RH
12	04-23-21	-ADDED SIDE LOAD GARAGE OPTION TO PLANS	DH
13	05-19-21	-ADDED 8'x8' HIDDEN S.G.D. OPTION	RP
		-ADJUSTED DINING ROOM WINDOW OPT. PER BULDER REQUEST	
14	06-01-21	-RELOCATED C.U. LOCATION FOR HARTWOOD COMM.	RP
15	09-22-21	-APPLIED TRUSSES FROM NEW VENDOR	DH

ELEVATION C

REVISION SCHEDULE			
NO.	DATE	DESCRIPTION	BY
0	08-07-19	-THIS PLAN WAS DERIVED FROM THE 2689 BISCAYNE (HAMLIN 40') W/ REV. DATE 10-08-18 FOR WINCEY GROVES W/ THE FOLLOWING CHANGES:	JA
1	08-07-19	-SHIFTED LANAI TO LINE UP WITH RIGHT SIDE EXTERIOR WALL	JA
		-ADDED BR. 2 & B. 2 TO 1ST FLOOR OPT.	
		-EXTENDED FAMILY ROOM & DINING ROOM	
		-REMOVED BR. 2 & B. 2 FROM STANDARD 1ST FLR.	
		-SHRINKED PANTRY & ADDED PDR. TO 1ST FLR.	
2	09-10-19	-UPDATED PLAN NUMBER WITH NEW SQFT.	JF
3	10-29-19	-REMOVED TANKLESS WH, GAS STUBS, OPT. OUTLETS AND ADDED ELEC. WH	JA
		-INSULATION CHANGE: R-11, R-30 TO R-13 & R-38	
		-RAISED VANITY HEIGHT @ MASTER BATHROOM	
4	01-14-20	-TRUSSES APPLIED EXT. BONUS 'C.I' ELEV.	JA
		-UPDATE COLUMN DETAIL AT ENTRY	
5	01-15-20	-CHANGED ALL ARCH OPENINGS INTO FLAT OPENINGS	RH
6	02-03-20	-MADE PANEL AND METER BACK TO BACK	DAL
7	03-23-20	-REMOVED STEP @ GARAGE, ADDED BOLLARD FOR WATER HEATER	JA
8	05-29-20	-ADDED KNEE WALL TO ENCLOSURE @ MASTER BATH.	JF
9	06-26-20	-REVISED KITCHEN ISLAND LOCATION	JF
		-EXTENDED KIT. CAB. TO LINE UP W/ ISLAND	
		-REVISED KIT ELEC. & ADDED 2 ADD. CANS	
		-MOVED WINDOW @ KIT. TOWARDS REAR	
10	08-13-20	-REVISED FOOTING & CALLOUTS @ GARAGE DOOR	RH
11	12-31-20	-UPDATED CODE REFERENCES TO REFER TO FBCR 7TH EDITION, 2020 AND NEC 2017	DE
12	01-18-21	-REDUCED SLAB DEPTH SPEC FROM 4' TO 3 1/2'	RH
13	04-23-21	-ADDED SIDE LOAD GARAGE OPTION TO PLANS	DH
14	05-19-21	-ADDED 8'x8' HIDDEN S.G.D. OPTION	RP
15	06-01-21	-RELOCATED C.U. LOCATION FOR HARTWOOD COMM.	RP

LOT SPECIFIC INFORMATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 7TH EDITION

CODE 2020 REVISIONS 08-22-21 BY: DH

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2718 BISCAYNE

DREAM FINDERS HOMES

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

16

OF 26 SHEETS

REVISION SHEET

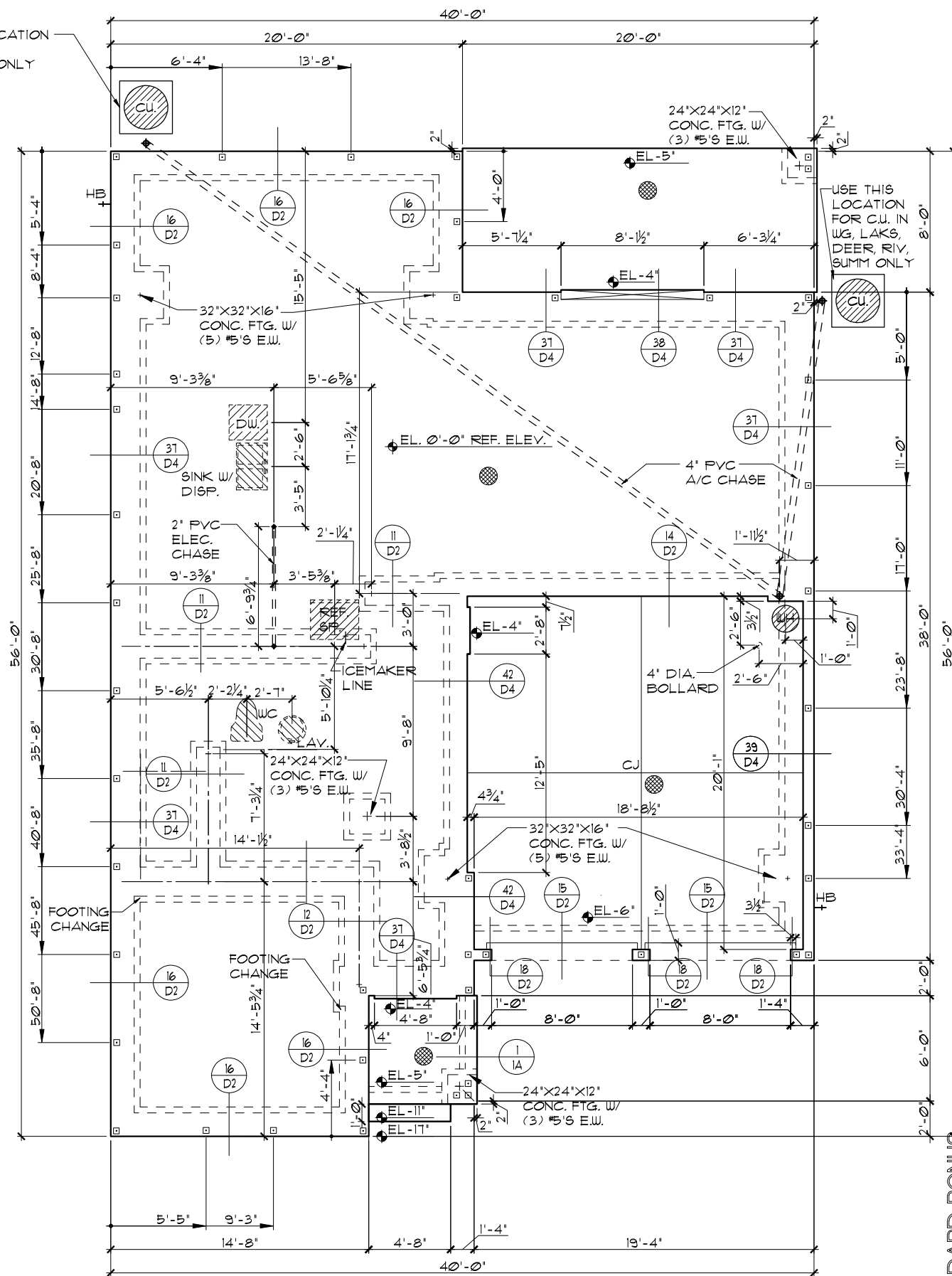
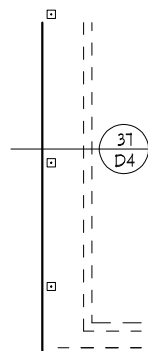
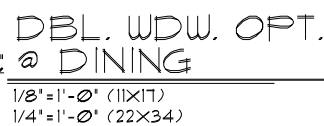
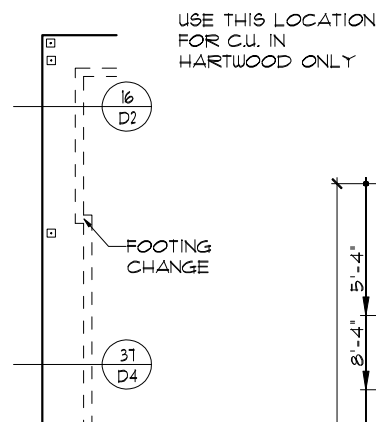
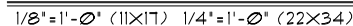
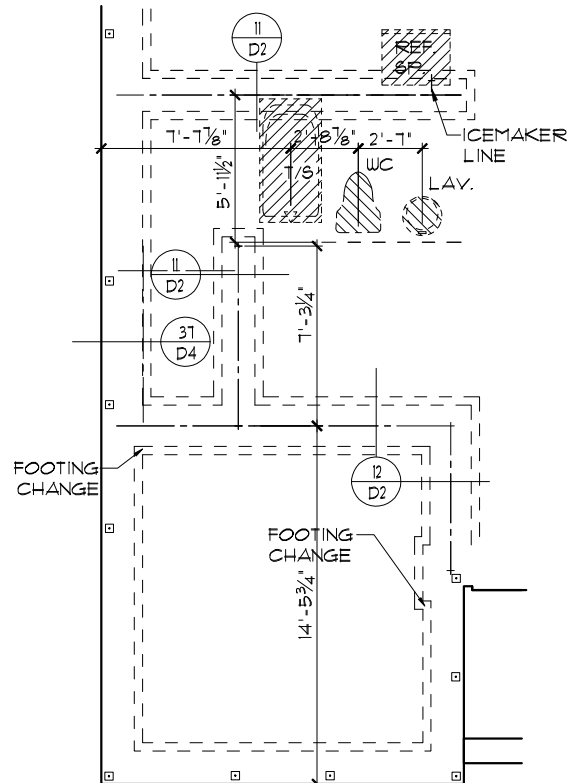
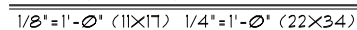
Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM




4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811  
INFO@RDCFLA.COM

  
DREAM FINDERS  
THE MAKERS OF A QUALITY HOME

LA: 10-19-21 BY: RP

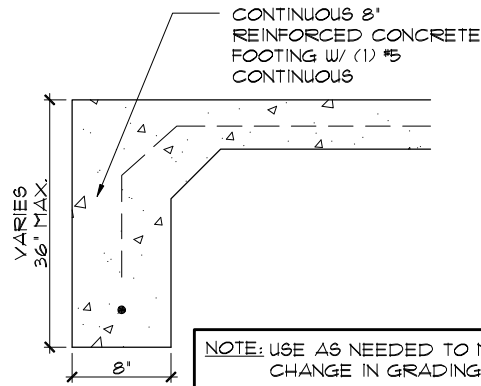
Item 5.



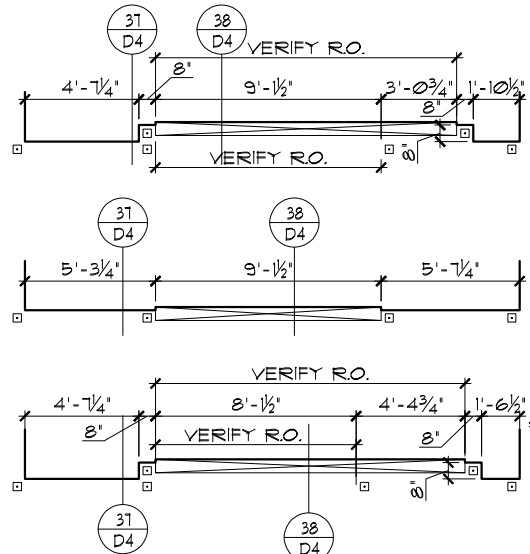
1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
  2.  DENOTES FILLED CELL REINFORCED W/ CONC. & (1) #5 @ REBAR, GRADE 60
  3.  DENOTES FILLED CELL REINFORCED W/ CONC. & (2) #5 @ REBAR, GRADE 60
  4. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY AND ALL DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION
  5. WATER HEATER T&P RELIEF VALVE SHALL BE FULL SIZE TO EXTERIOR WATER HEATER AT OR ABOVE FLOOR LEVEL SHALL BE IN A PAN W/ DRAIN TO EXTERIOR. WATER HEATER SHALL HAVE APPROVED THERMAL EXPANSION DEVICE
  6.  DENOTES FLOOR SLAB OF PLANT MIX CONCRETE 2500 P.S.I., 3/4" THICK W/ 6x6 10/10 GAUGE REINFORCING MAT. W/ MINIMUM 1" COVER. TERMITE TREATED SOIL W/ .006mm (6 mil) POLYETHYLENE VAPOR BARRIER OVER COMPACTED CLEAN FILL. WUF SHALL BE PLACED IN THE MIDDLE TO UPPER 1/3 OF THE SLAB AND SUPPORTED BY APPROVED SLAB BOLSTERS.  
\*\*NOTE: FIBERMESH REINFORCEMENT MAY BE USED AS AN ALTERNATE TO WIRE MESH.
  7. PAVERS MAY BE USED ILO CONCRETE IN PATIO, PORCH, DRIVEWAYS AND WALKWAYS. DELETE SLAB IN AREAS PAVERS ARE USED.
  8. MECHANICAL EQUIPMENT LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
  9. IN LIEU OF TERMITE TREATING THE SOIL, TERMICIDE MAY BE USED AS AN ALTERNATIVE.
10. NOT USED

1. RISER HEIGHT SHALL NOT BE MORE THAN 7-3/4' IN HEIGHT (FBCR R311.15)
2. TREAD DEPTH SHALL NOT BE LESS THAN 10". A NOSING PROJECTION NOT LESS THAN 3/4" AND NOT MORE THAN 1 1/4" SHALL BE PROVIDED ON STAIRS WITH SOLID RISERS. A NOSING PROJECTION IS NOT REQUIRED WHERE TREAD DEPTH IS NOT LESS THAN 11" (FBCR R311.15)

1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

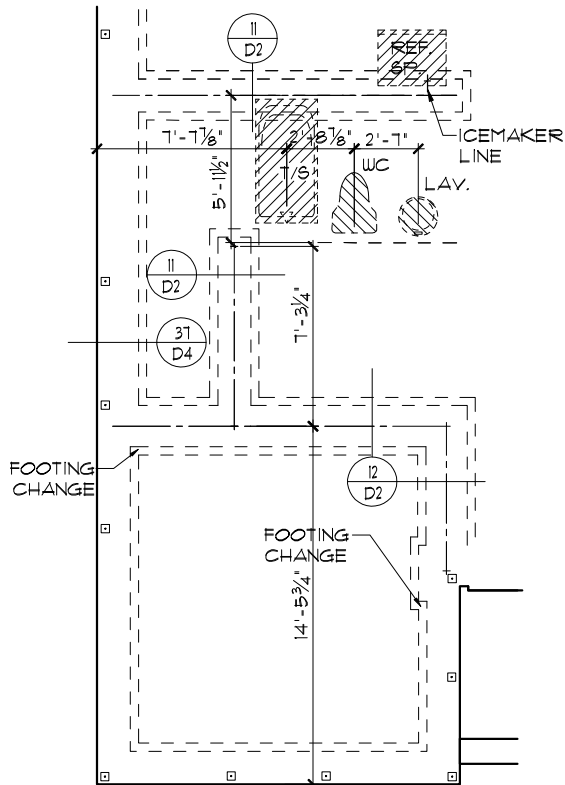


DETAIL FRONT PORCH-(TYP)



S.G.D. OPTIONS

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPT. BR. 2 & B. 2

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

CONC. STEPS @ ENTRY PORCH:

1. RISER HEIGHT SHALL NOT BE MORE THAN 7-3/4" IN HEIGHT (FBCR R311.1.5)
2. TREAD DEPTH SHALL NOT BE LESS THAN 10". A NOSING PROJECTION NOT LESS THAN 3/4" AND NOT MORE THAN 1 1/4" SHALL BE PROVIDED ON STAIRS WITH SOLID RISERS. A NOSING PROJECTION IS NOT REQUIRED WHERE TREAD DEPTH IS NOT LESS THAN 11" (FBCR R311.1.5)

FOUNDATION PLAN "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

USE THIS LOCATION FOR C.U. IN HARTWOOD ONLY

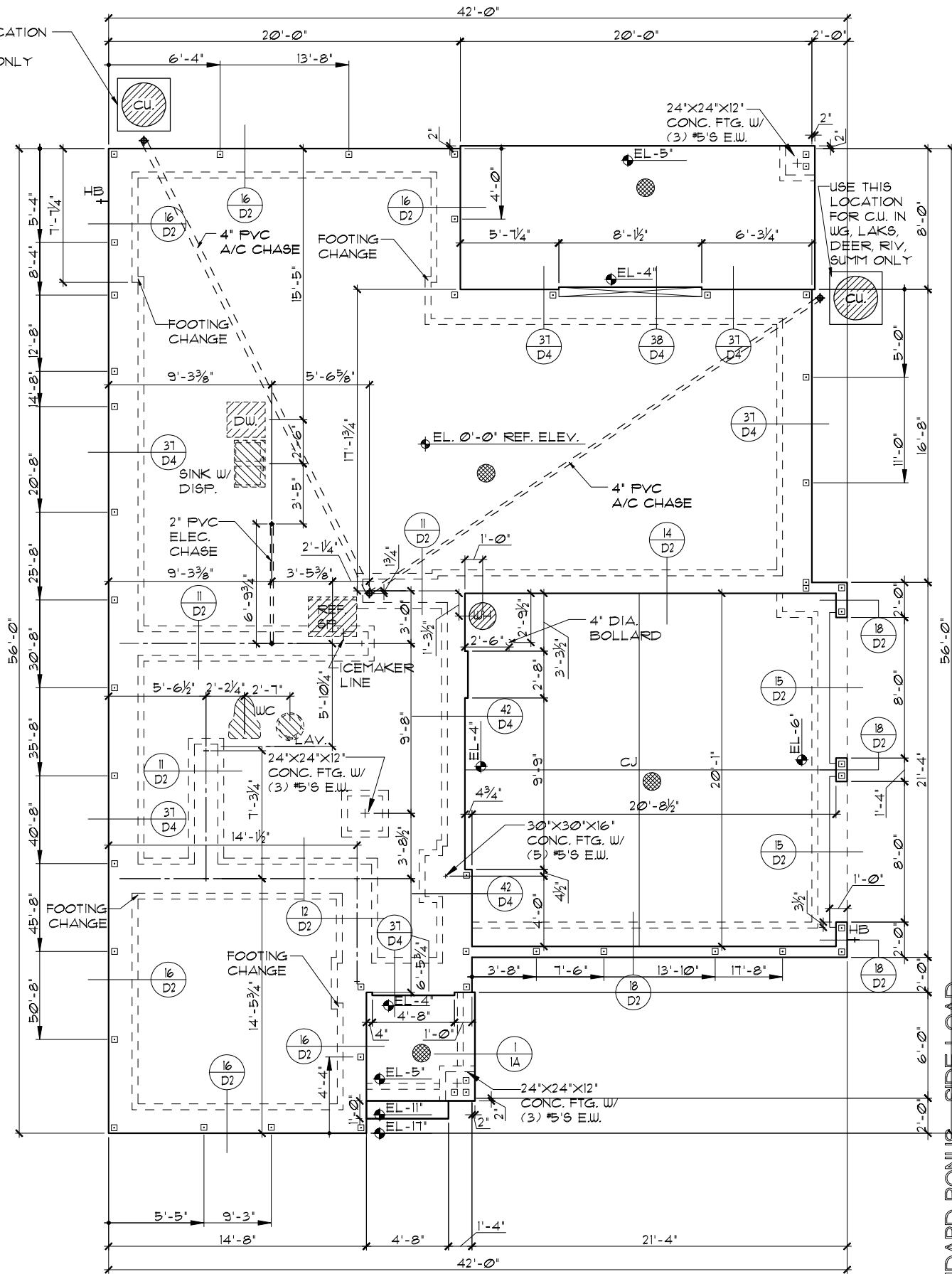
FOOTING CHANGE

DBL. WDW. OPT. @ DINING

1/8"=1'-0" (11X17)  
1/4"=1'-0" (22X34)

GMT. KIT. OPT.

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION A - STANDARD BONUS - SIDE LOAD

LOT SPECIFIC INFORMATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

CODE 2020

REVISIONS 09-22-21

BY: DH

LA: 10-10-21 BY: RP

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OF 26 SHEETS

JOB 2718

DRAWN RDC

SCALE AS NOTED

DATE 07-31-19

2718 BISCAYNE  
DREAM FINDERS HOMES

FOUNDATION PLAN

DREAM FINDERS  
THE MAKERS OF A QUALITY HOME

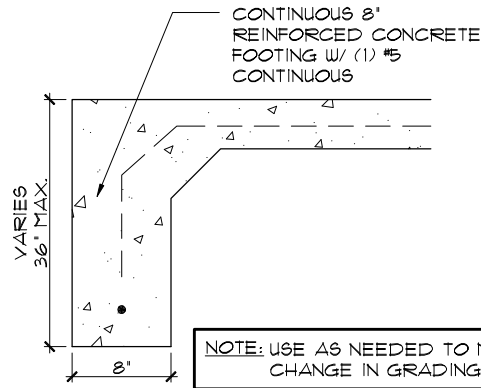
INFO: RDCFLA.COM

Engineering By:  
PRABHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

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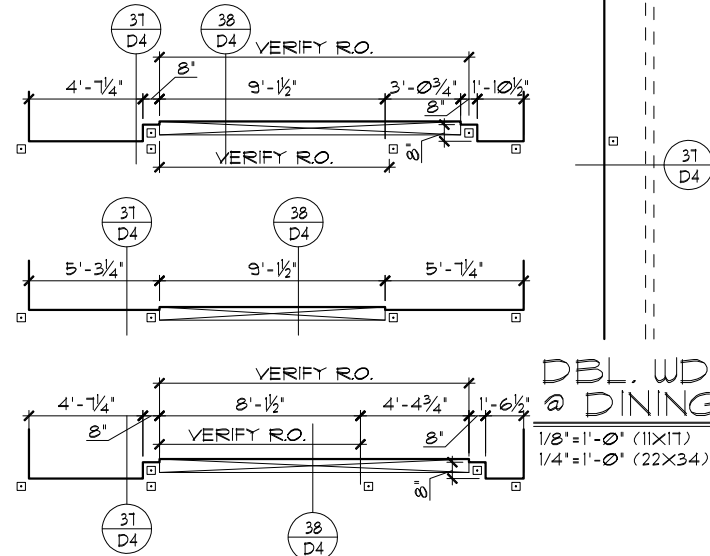






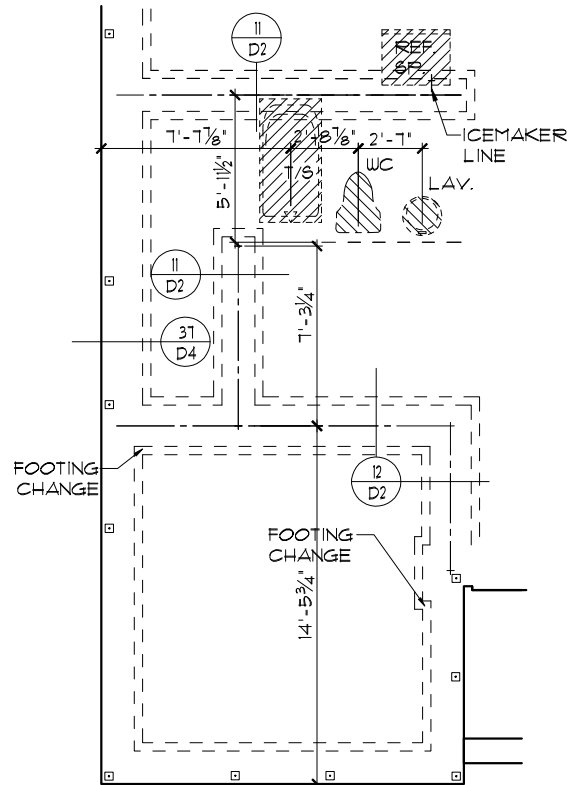
DETAIL  
FRONT PORCH-(TYP)

3/4" = 1'-0"



S.G.D. OPTIONS

1/8" = 1'-0" (11X17) 1/4" = 1'-0" (22X34)



OPT. BR. 2 & B. 2

1/8" = 1'-0" (11X17) 1/4" = 1'-0" (22X34)

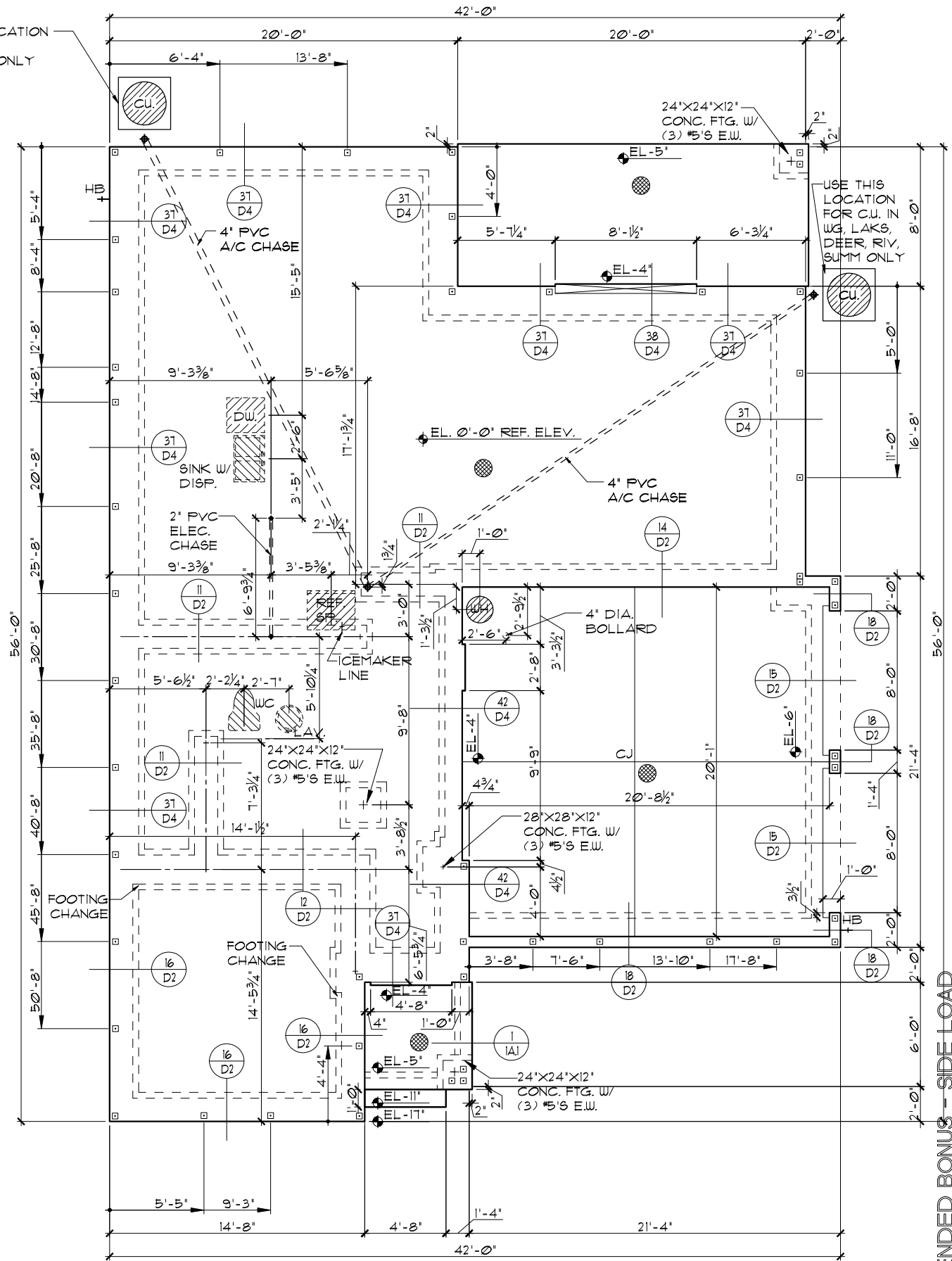
CONC. STEPS @ ENTRY PORCH:

1. RISER HEIGHT SHALL NOT BE MORE THAN 7-3/4" IN HEIGHT (FBCR R311.1.5)
2. TREAD DEPTH SHALL NOT BE LESS THAN 10". A NOSING PROJECTION NOT LESS THAN 3/4" AND NOT MORE THAN 1 1/4" SHALL BE PROVIDED ON STAIRS WITH SOLID RISERS. A NOSING PROJECTION IS NOT REQUIRED WHERE TREAD DEPTH IS NOT LESS THAN 11" (FBCR R311.1.5)

FOUNDATION PLAN "A"

1/8" = 1'-0" (11X17) 1/4" = 1'-0" (22X34)

USE THIS LOCATION  
FOR C.U. IN  
HARTWOOD ONLY



OPTION B - EXTENDED BONUS - SIDE LOAD

LOT SPECIFIC INFORMATION

DATE	07-31-19
SCALE	AS NOTED
DRAWN	RDC
JOB	2718
20	26

2718 BISCAYNE

DREAM FINDERS HOMES

FOUNDATION PLAN



Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
INFO@RDCFLA.COM  
J.JAGTAP@RDCFLA.COM

4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811  
INFO@RDCFLA.COM

Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
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J.JAGTAP@RDCFLA.COM

CODE 2020

REVISIONS: 08-22-21

BY: DH

1A: 10-19-21

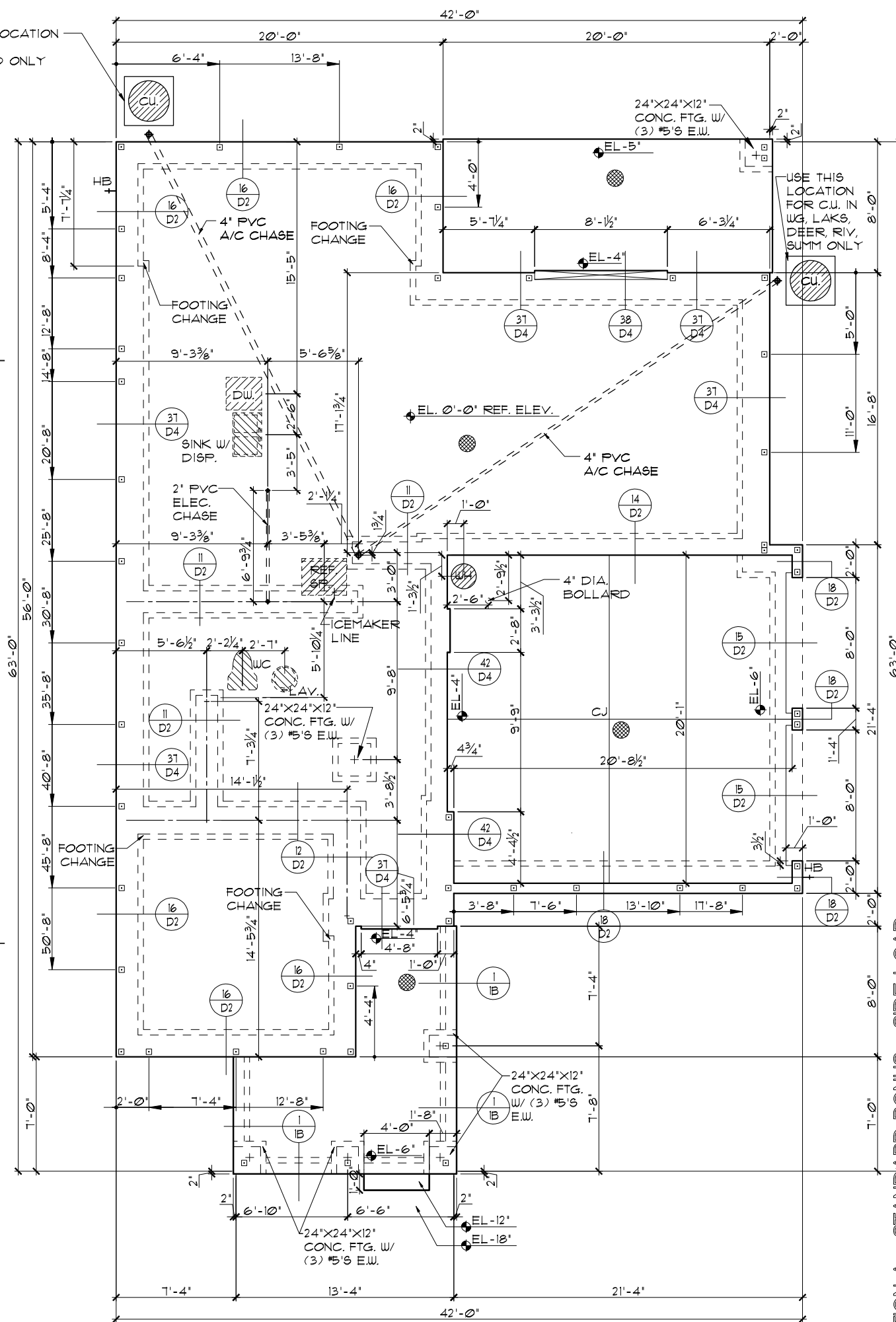
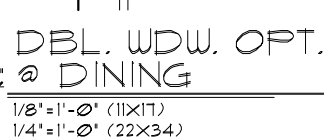
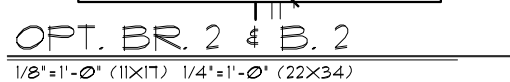
THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION




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Item 5.







1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
  2.  DENOTES FILLED CELL REINFORCED W/ CONC. & (1) #5@ REBAR, GRADE 60
  3.  DENOTES FILLED CELL REINFORCED W/ CONC. & (2) #5@ REBAR, GRADE 60
  4. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY AND ALL DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION
  5. WATER HEATER T&P RELIEF VALVE SHALL BE FULL SIZE TO EXTERIOR WATER HEATER AT OR ABOVE FLOOR LEVEL SHALL BE IN A PAN W/ DRAIN TO EXTERIOR WATER HEATER SHALL HAVE APPROVED THERMAL EXPANSION DEVICE
  6.  DENOTES FLOOR SLAB OF PLANT MIX CONCRETE 2500 P.S.I., 3/4" THICK W/ 6x6 10/10 GAUGE REINFORCING MAT. W/ MINIMUM 1" COVER. TERMITE TREATED SOIL W/ .006mm (.6 mil) POLYETHYLENE VAPOR BARRIER OVER COMPACTED CLEAN FILL. WUF SHALL BE PLACED IN THE MIDDLE TO UPPER 1/3 OF THE SLAB AND SUPPORTED BY APPROVED SLAB BOLSTERS.  
\*\*\*NOTE: FIBERMESH REINFORCEMENT MAY BE USED AS AN ALTERNATE TO WIRE MESH.
  7. PAVERS MAY BE USED ILO CONCRETE IN PATIO, PORCH, DRIVEWAYS AND WALKWAYS. DELETE SLAB IN AREAS PAVERS ARE USED.
  8. MECHANICAL EQUIPMENT LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
  9. IN LIEU OF TERMITE TREATING THE SOIL, TERMICIDE MAY BE USED AS AN ALTERNATIVE.
10. NOT USED

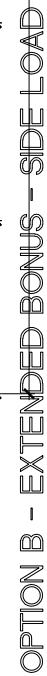
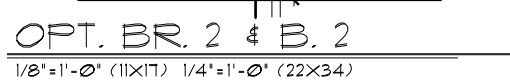
1. RISER HEIGHT SHALL NOT BE MORE THAN 7-3/4' IN HEIGHT (FBCR R311.15)
2. TREAD DEPTH SHALL NOT BE LESS THAN 10". A NOSING PROJECTION NOT LESS THAN 3/4" AND NOT MORE THAN 1 1/4" SHALL BE PROVIDED ON STAIRS WITH SOLID RISERS. A NOSING PROJECTION IS NOT REQUIRED WHERE TREAD DEPTH IS NOT LESS THAN 11" (FBCR R311.15)

$1/8" = 1'-0"$  (11x17)     $1/4" = 1'-0"$  (22x34)

Engineering By:  
PRABHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
JJAGTAP@RDCFLA.COM

*Item 5.*



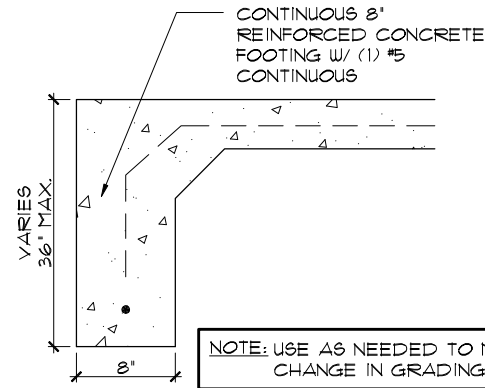


REVISIONS: 09-22-21	BY: DH
---------------------	--------

**Engineering By:**  
**PRABHAKAR N. JAGTAP, P.E.**  
**5890 MARLBERRY DRIVE**  
**ORLANDO, FL 32819**  
**PHONE: 407-345-0010**  
**JJAGTAP@RDCFLA.COM**

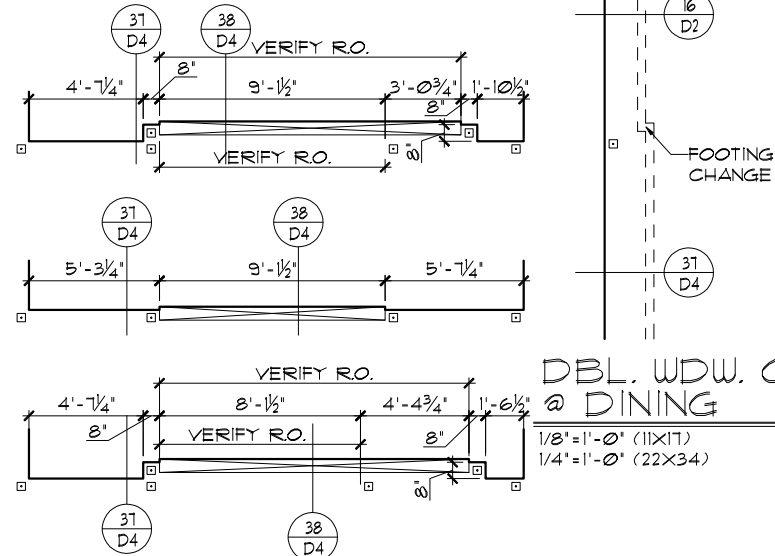
*Item 5.*





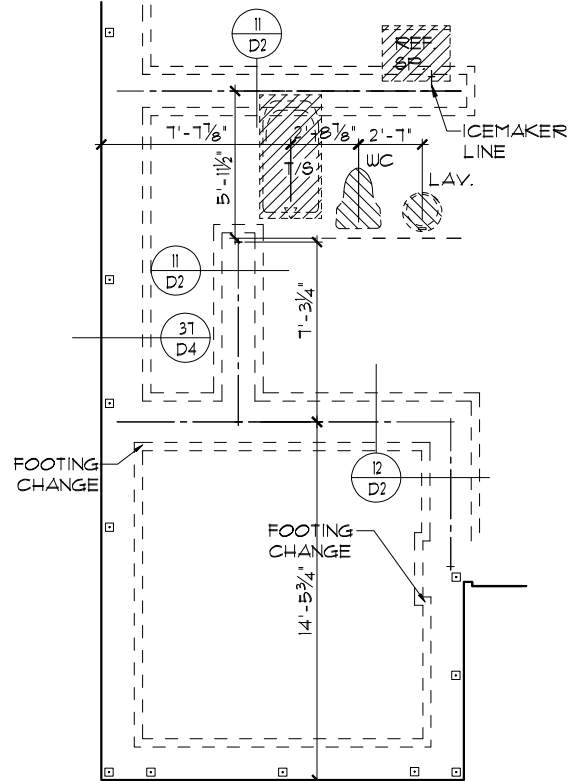
DETAIL  
FRONT PORCH-(TYP)

3/4" = 1'-0"



S.G.D. OPTIONS

1/8" = 1'-0" (11X17) 1/4" = 1'-0" (22X34)



OPT. BR. 2 & B. 2

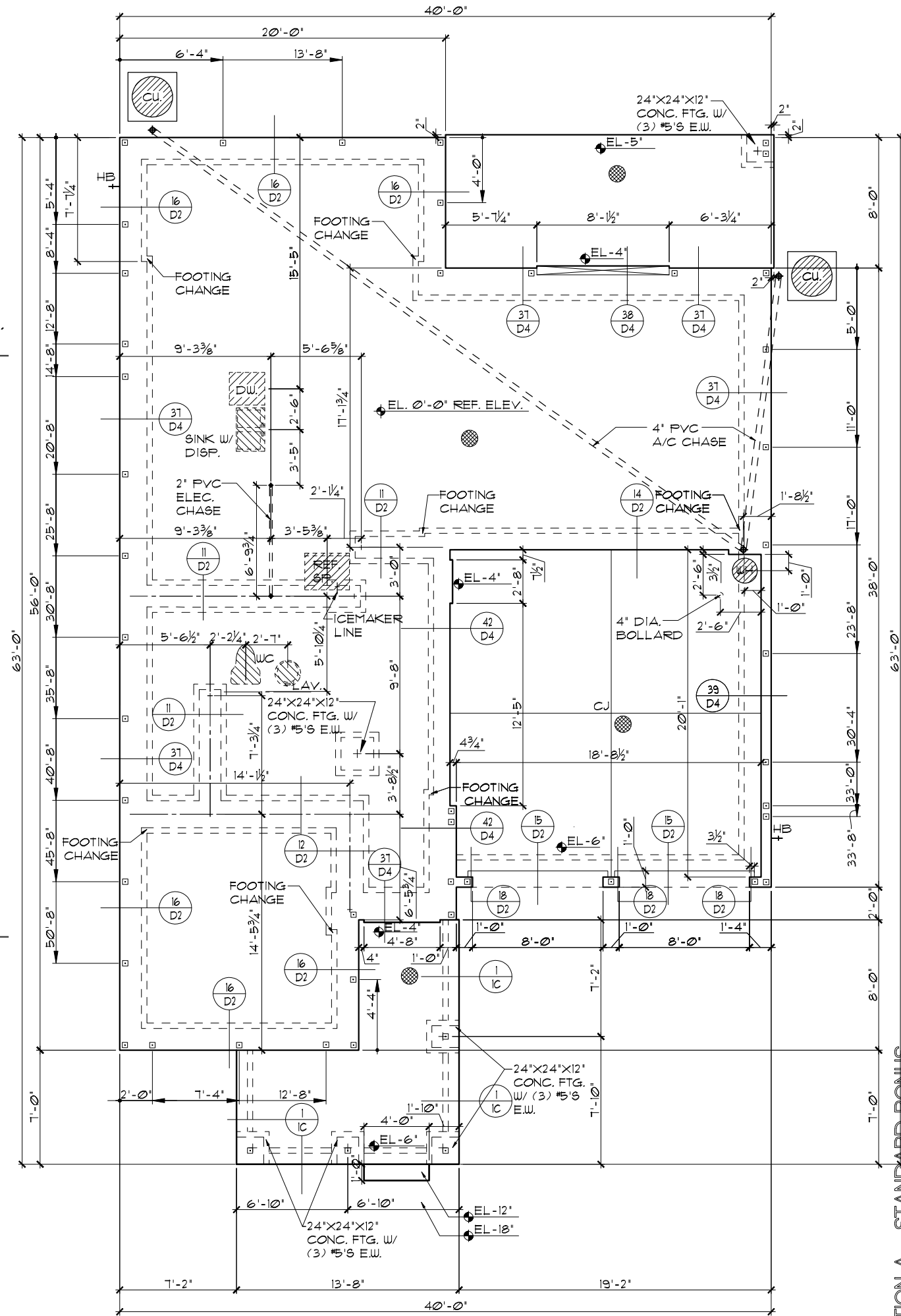
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CONC. STEPS @ ENTRY PORCH:

1. RISER HEIGHT SHALL NOT BE MORE THAN 1'-3/4" IN HEIGHT (FBCR R311.15)
2. TREAD DEPTH SHALL NOT BE LESS THAN 10". A NOSING PROJECTION NOT LESS THAN 3/4" AND NOT MORE THAN 1 1/4" SHALL BE PROVIDED ON STAIRS WITH SOLID RISERS. A NOSING PROJECTION IS NOT REQUIRED WHERE TREAD DEPTH IS NOT LESS THAN 11" (FBCR R311.15)

FOUNDATION PLAN "C"

1/8" = 1'-0" (11X17) 1/4" = 1'-0" (22X34)



OPTION A - STANDARD BONUS

LOT SPECIFIC INFORMATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

CODE 2020

REVISIONS 08-22-21

BY: DH

BY: RP

1A: 10-19-21

Item 5.

Engineering By:

FRANKLIN N. JAGTAP, P.E.

5890 MARLBERRY DRIVE

ORLANDO, FL 32819

PHONE: 407-345-0010

INFO: RDCFLA.COM

JAGTAP@RDCFLA.COM

4301 VINELAND RD.

SUITE E-1

ORLANDO, FL 32819

PHONE: 407-345-0010

INFO: RDCFLA.COM

JAGTAP@RDCFLA.COM

4301 VINELAND RD.

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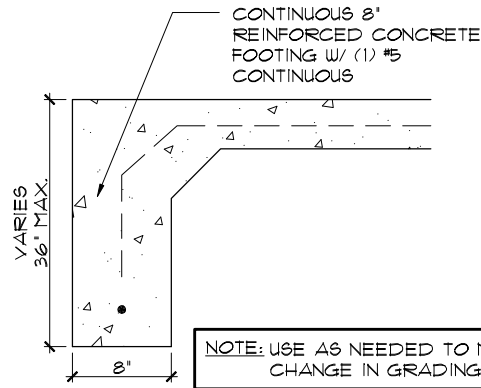
INFO: RDCFLA.COM

JAGTAP@RDCFLA.COM

4301 VINELAND RD.

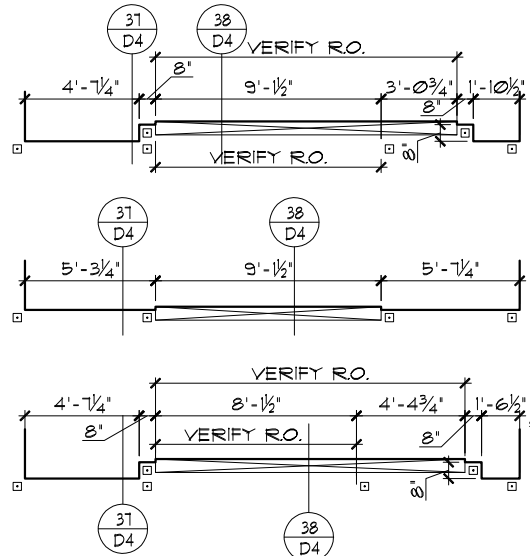
SUITE E-1

ORLANDO, FL 32819



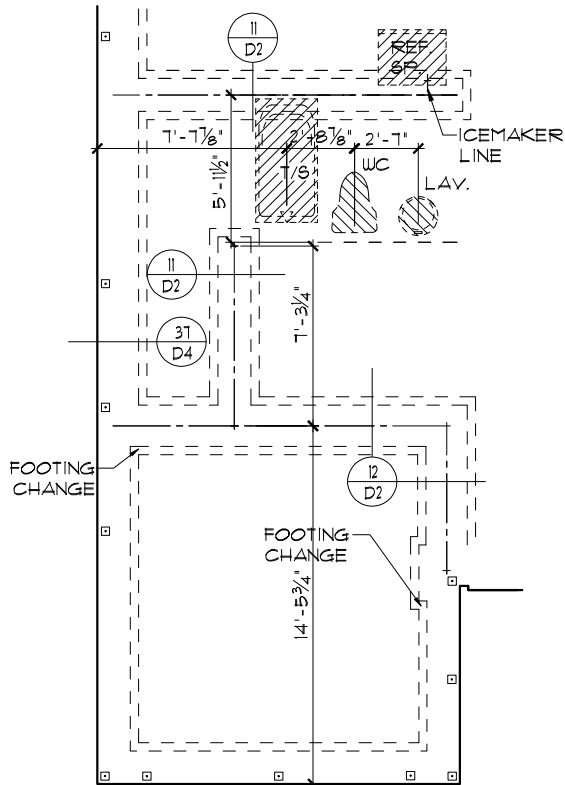
DETAIL  
FRONT PORCH-(TYP)

3/4" = 1'-0"



S.G.D. OPTIONS

1/8" = 1'-0" (11X17) 1/4" = 1'-0" (22X34)



OPT. BR. 2 & B. 2

1/8" = 1'-0" (11X17) 1/4" = 1'-0" (22X34)

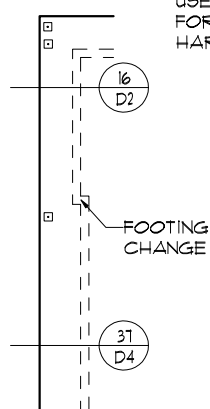
CONC. STEPS @ ENTRY PORCH:

1. RISER HEIGHT SHALL NOT BE MORE THAN 1'-3/4" IN HEIGHT (FBCR R311.15)
2. TREAD DEPTH SHALL NOT BE LESS THAN 10". A NOSING PROJECTION NOT LESS THAN 3/4" AND NOT MORE THAN 1 1/4" SHALL BE PROVIDED ON STAIRS WITH SOLID RISERS. A NOSING PROJECTION IS NOT REQUIRED WHERE TREAD DEPTH IS NOT LESS THAN 11" (FBCR R311.15)

FOUNDATION PLAN "C"

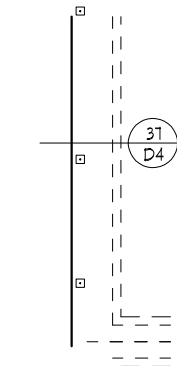
1/8" = 1'-0" (11X17) 1/4" = 1'-0" (22X34)

USE THIS LOCATION  
FOR C.U. IN  
HARTWOOD ONLY



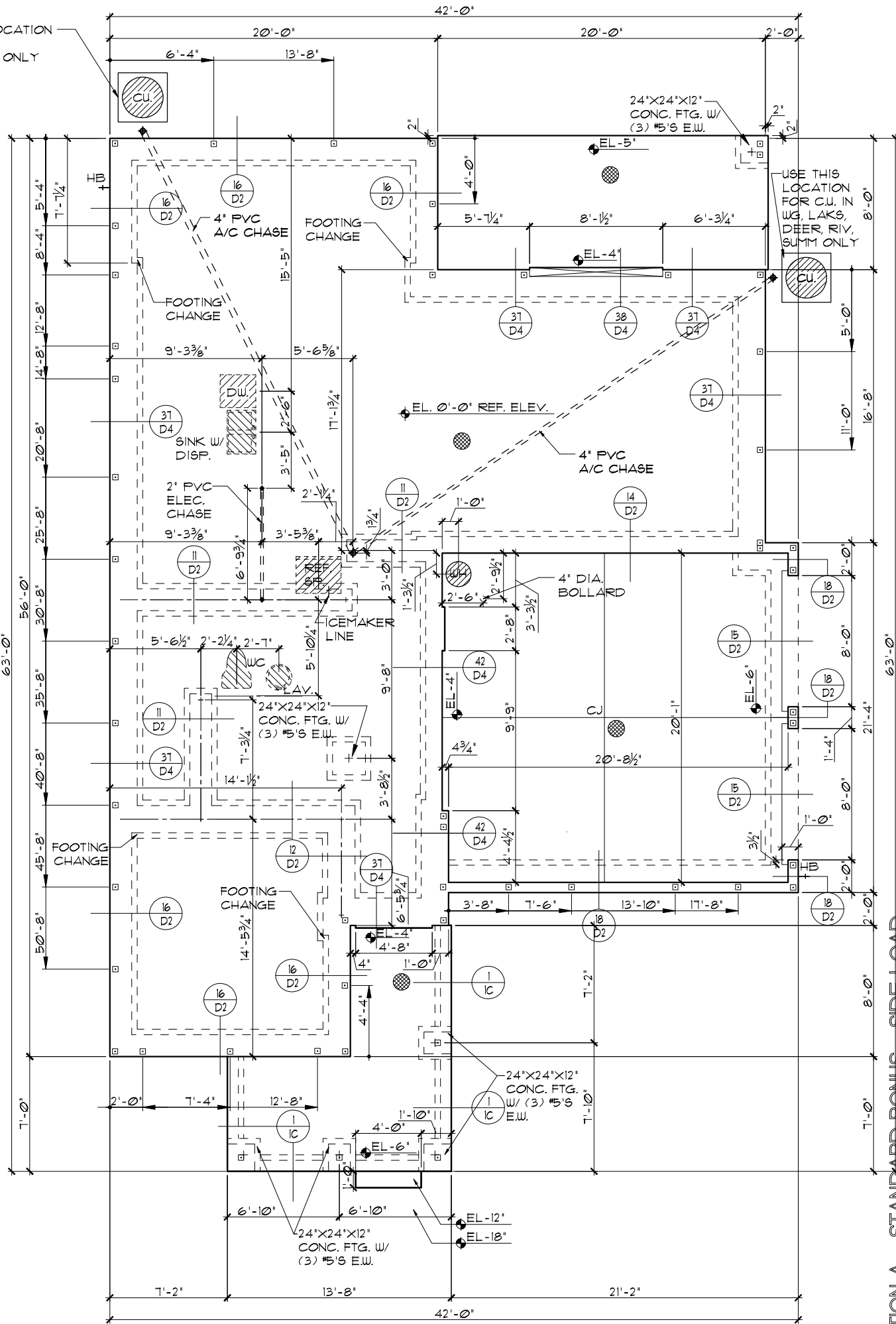
DBL. WDW. OPT.  
@ DINING

1/8" = 1'-0" (11X17)  
1/4" = 1'-0" (22X34)



GMT. KIT. OPT.

1/8" = 1'-0" (11X17) 1/4" = 1'-0" (22X34)



OPTION A - STANDARD BONUS - SIDE LOAD

LOT SPECIFIC INFORMATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

26

OF 26 SHEETS

CODE 2020

REVISIONS 08-22-21

BY: RP

Engineering By: PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
INFO@RDCFLA.COM  
J.JAGTAP@RDCFLA.COM

4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32819  
INFO@RDCFLA.COM

DREAM FINDERS  
THE MAKERS OF A QUALITY HOME

FOUNDATION PLAN

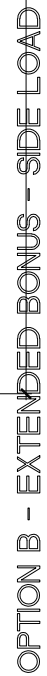
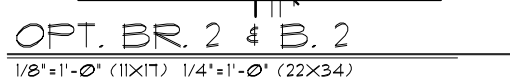
2718 BISCAYNE

DREAM FINDERS HOMES

Item 5.







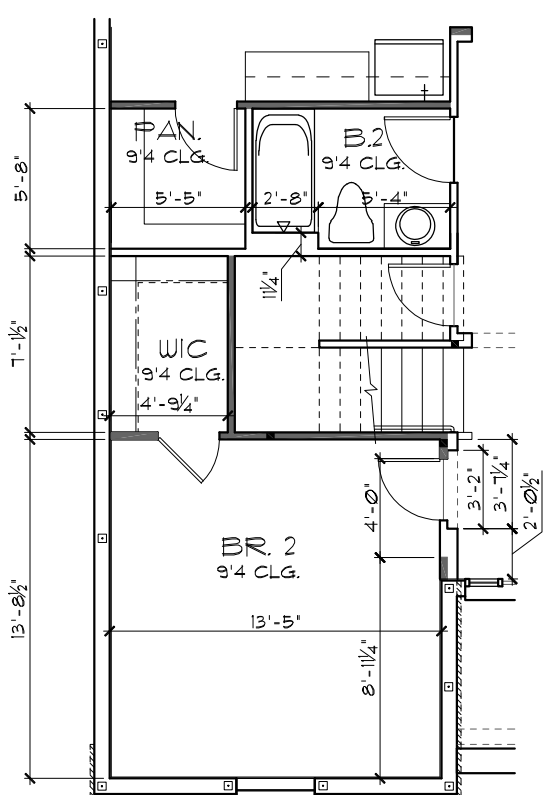
DATE	07-31-19
SCALE AS NOTED	
DRAWN	RDC
JOB	2718
\$	28
OF 26 SHEETS	

*Item 5.*

TABULATION	
UPPER LIVING	1288 SF.
LOWER LIVING	1430 SF.
TOTAL LIVING	2,718 SF.
GARAGE	408 SF.
ENTRY	36 SF.
LANAI	160 SF.
TOTAL UNDER ROOF	3,322 SF.

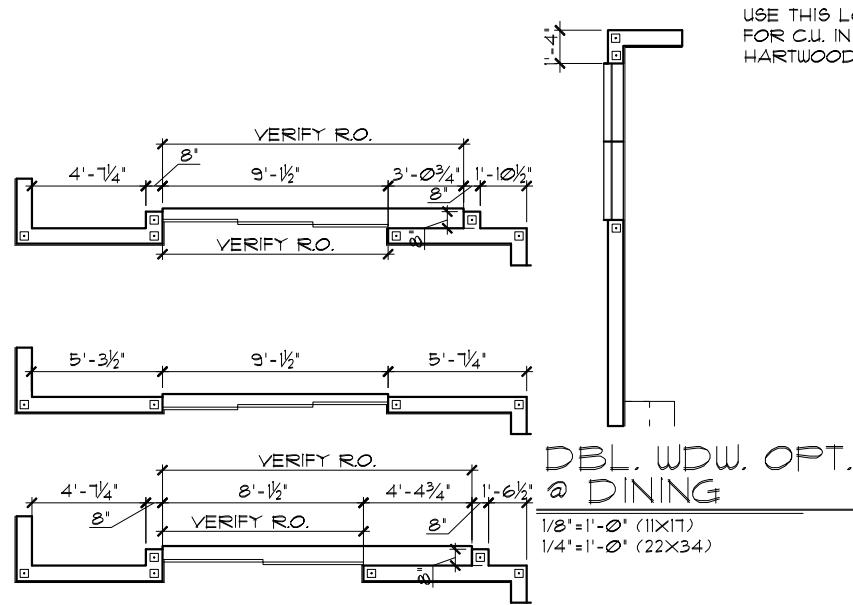
- GENERAL NOTES**
1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
  2. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
  3. ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3½" UNLESS NOTED OTHERWISE.
  4. ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 1½" UNLESS NOTED OTHERWISE.
  5. ALL INTERIOR CEILINGS AT **9'-4"** UNLESS NOTED OTHERWISE.
  6. MECHANICAL EQUIPMENT LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.

### S.G.D. OPTIONS



### OPT. BR. 2 & B. 2

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



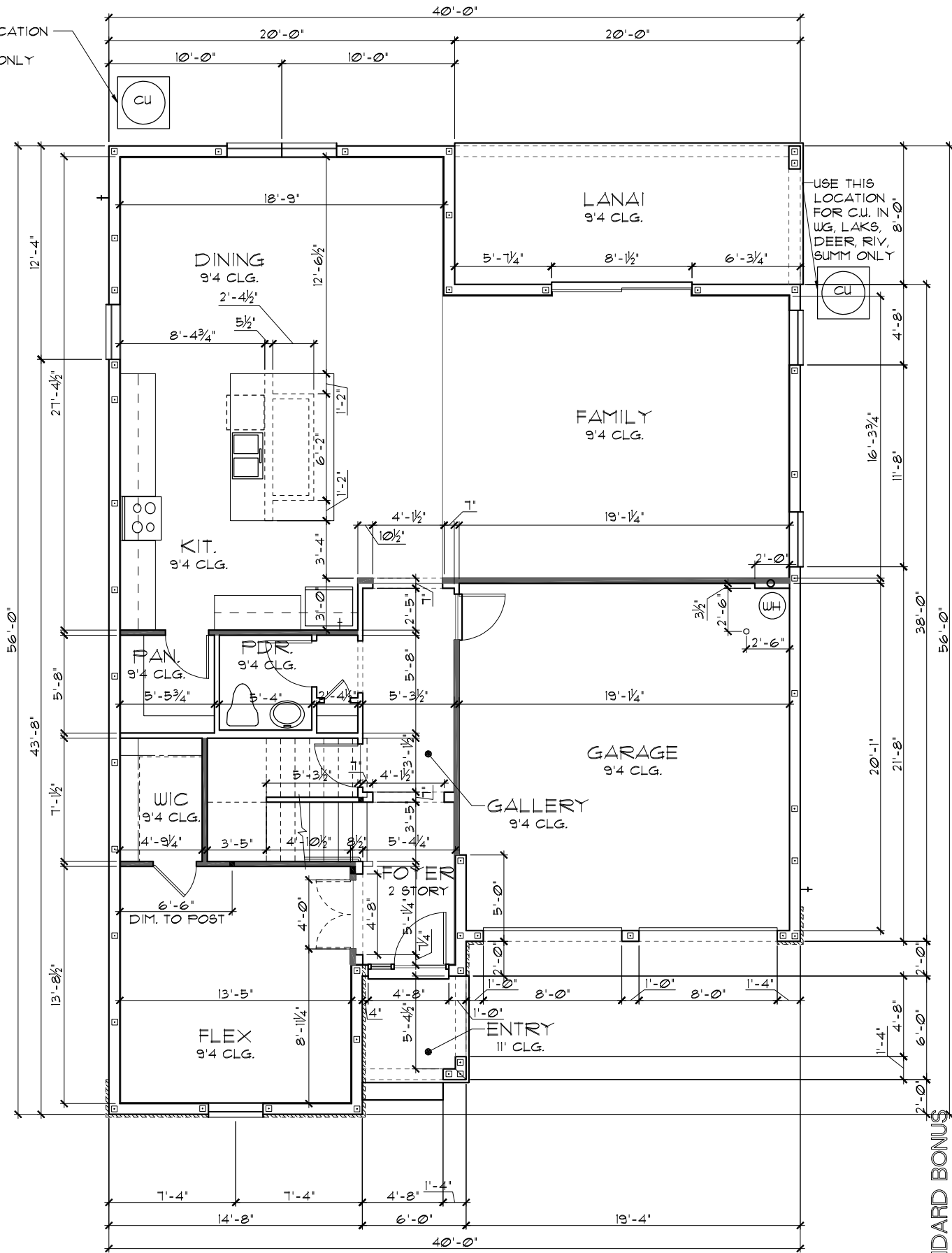
### DBL. WDW. OPT. @ DINING

1/8"=1'-0" (11X17)  
1/4"=1'-0" (22X34)

### GMT. KIT. OPT.

1/8"=1'-0" (11X17)  
1/4"=1'-0" (22X34)

USE THIS LOCATION FOR C.U. IN HARTWOOD ONLY



### OPTION A - STANDARD BONUS

### LOT SPECIFIC INFORMATION

DATE	07-31-19
SCALE	AS NOTED
DRAWN	RDC
JOB	2718
29	

### CODE 2020

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

REVISIONS: 08-22-21 BY: DH

BY: RP

LA: 10-19-21

**Engineering By:**  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
INFO@RDCFLA.COM

**4301 VINELAND RD.**  
SUITE E-1  
ORLANDO, FL 32811  
INFO@RDCFLA.COM

**DREAM FINDERS**  
THE MAKERS OF A QUALITY HOME

**FLOOR PLAN W/ DIMENSIONS**

**2718 BISCAYNE**

**DREAM FINDERS HOMES**

Item 5.







TABULATION	
UPPER LIVING	1,608 SF.
LOWER LIVING	1,430 SF.
TOTAL LIVING	3,038 SF.
GARAGE	451 SF.
ENTRY	36 SF.
LANAI	160 SF.
TOTAL UNDER ROOF	3,685 SF.

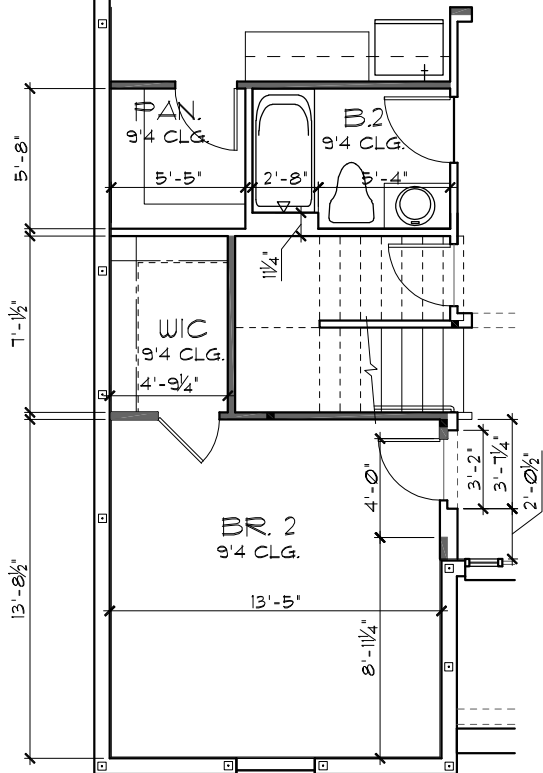
- GENERAL NOTES
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
  - DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
  - ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3½" UNLESS NOTED OTHERWISE.
  - ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 1½" UNLESS NOTED OTHERWISE.
  - ALL INTERIOR CEILINGS AT **9'-4"** UNLESS NOTED OTHERWISE.
  - MECHANICAL EQUIPMENT LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.

FLOOR PLAN W/ DIMENSIONS "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

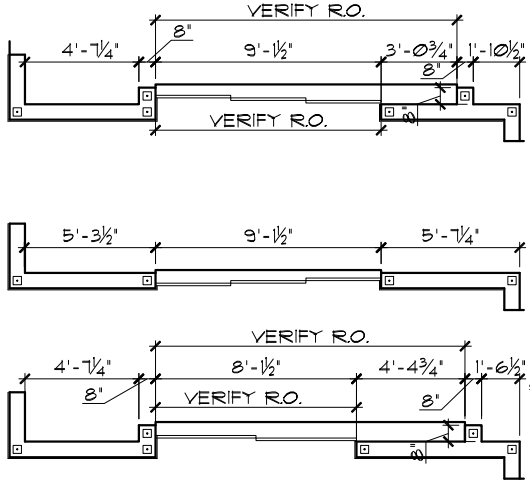
OPT. BR. 2 & B. 2

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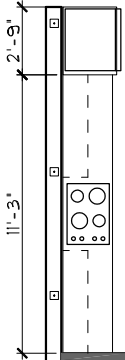
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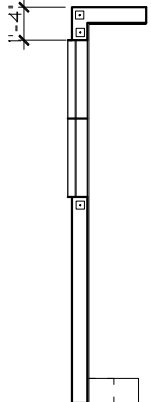
GMT. KIT. OPT.

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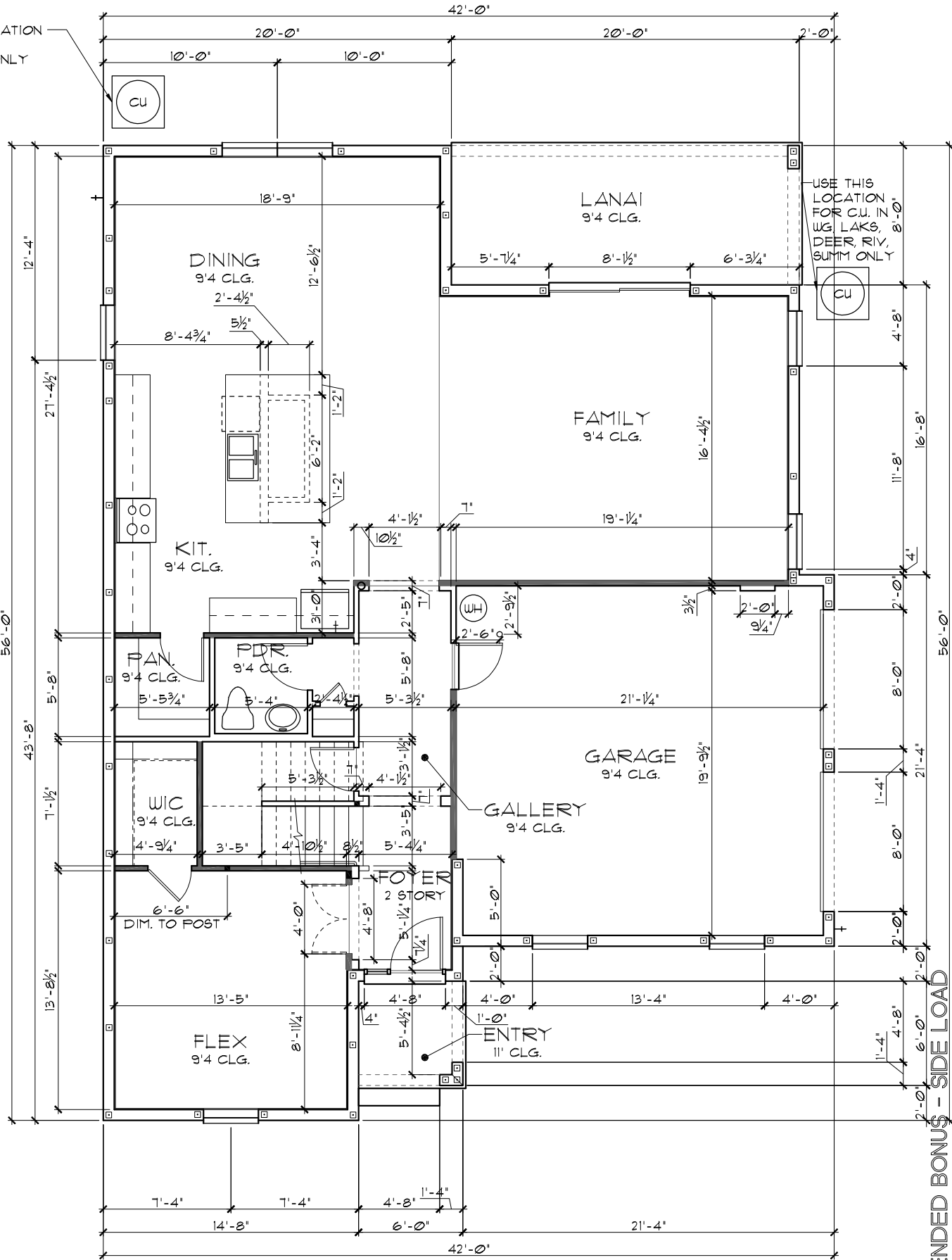


DBL. WDW. OPT. @ DINING

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



USE THIS LOCATION FOR C.U. IN HARTWOOD ONLY



OPTION B - EXTENDED BONUS - SIDE LOAD

LOT SPECIFIC INFORMATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

DATE	07-31-19
SCALE	AS NOTED
DRAWN	RDC
JOB	2718
32	

FLOOR PLAN W/ DIMENSIONS

2718 BISCAYNE

DREAM FINDERS HOMES



Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

CODE 2020 REVISIONS 08-22-21 BY: DH

1A: 10-19-21 BY: RP

Item 5.

TABULATION	
UPPER LIVING	1288 SF.
LOWER LIVING	1,430 SF.
TOTAL LIVING	2,718 SF.
GARAGE	408 SF.
ENTRY	141 SF.
LANAI	160 SF.
TOTAL UNDER ROOF	3,421 SF.

- GENERAL NOTES**
1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
  2. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
  3. ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3½" UNLESS NOTED OTHERWISE.
  4. ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 1½" UNLESS NOTED OTHERWISE.
  5. ALL INTERIOR CEILINGS AT **9'-4"** UNLESS NOTED OTHERWISE.
  6. MECHANICAL EQUIPMENT LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.

## FLOOR PLAN W/ DIMENSIONS "B"

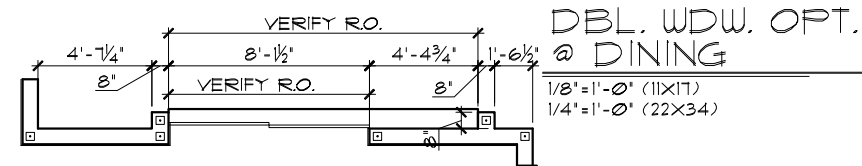
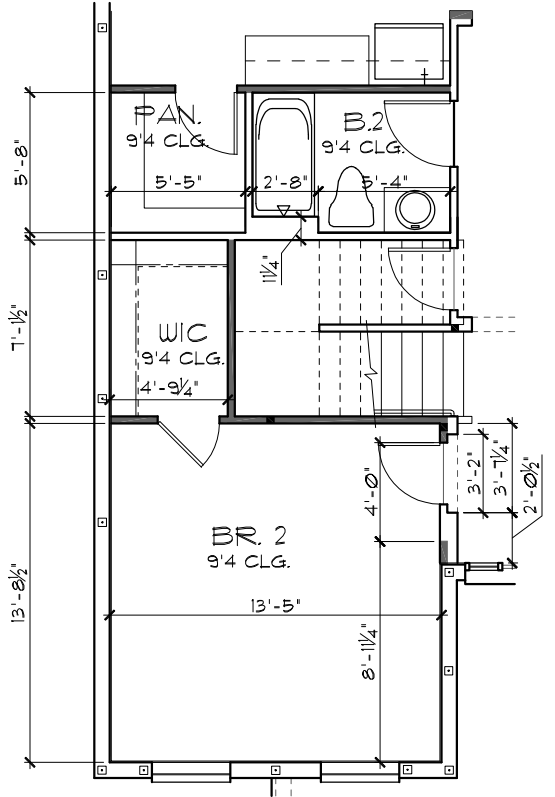
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

### OPT. BR. 2 & B. 2

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

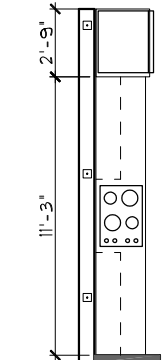
### S.G.D. OPTIONS

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

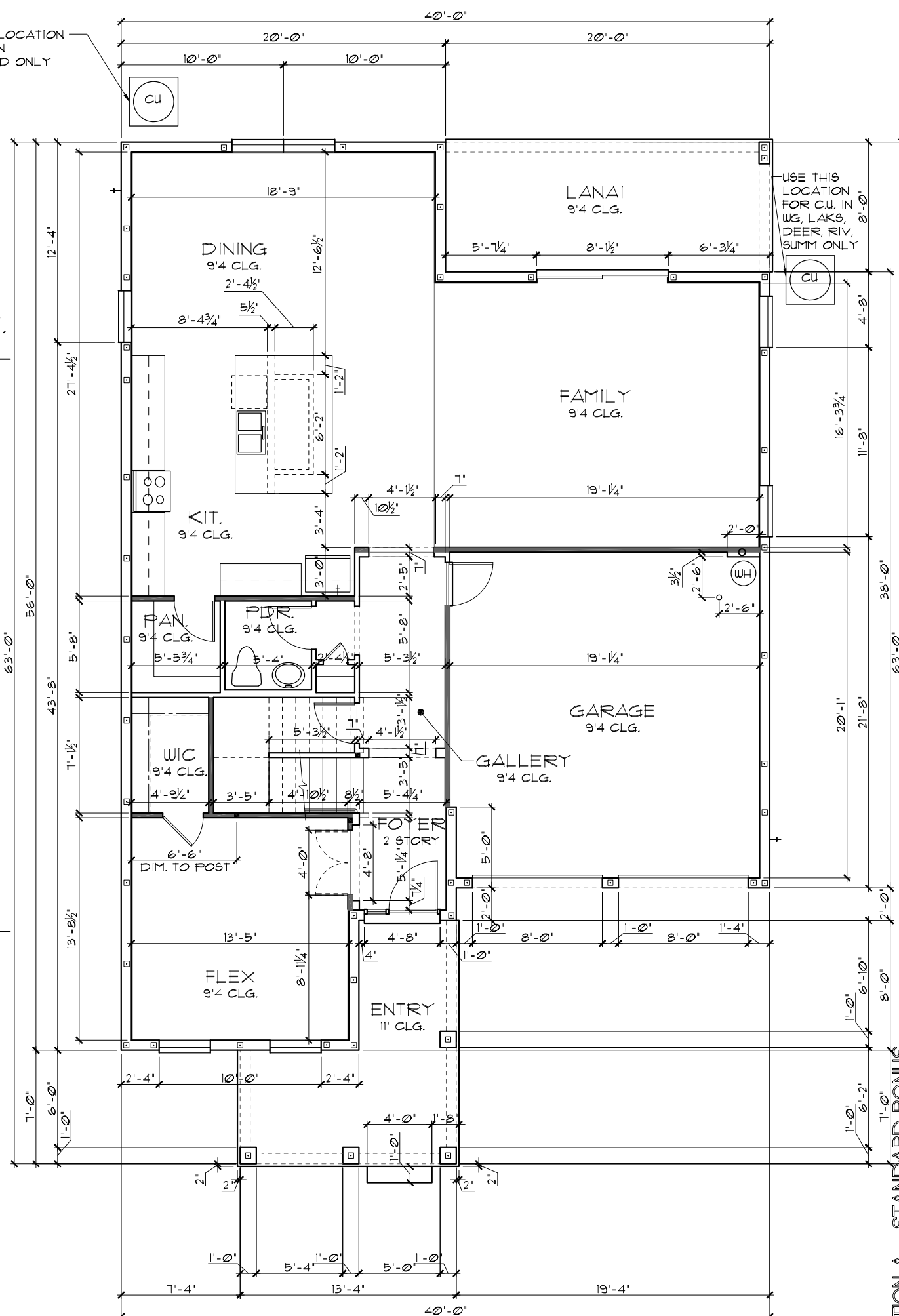


### GMT. KIT. OPT.

1/8"=1'-0" (11X17)  
1/4"=1'-0" (22X34)



USE THIS LOCATION FOR C.U. IN HARTWOOD ONLY



## OPTION A - STANDARD BONUS

### LOT SPECIFIC INFORMATION

DATE	07-31-19
SCALE	AS NOTED
DRAWN	RDC
JOB	2718
33	
OF 26 SHEETS	

**Engineering By:**  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
INFO@RDCFLA.COM

**Engineering By:**  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
INFO@RDCFLA.COM

**DREAM FINDERS**  
THE MAKERS OF A QUALITY HOME

**Item 5.**

LA: 10-19-21 BY: RP







TABULATION	
UPPER LIVING	1,608 SF.
LOWER LIVING	1,430 SF.
TOTAL LIVING	3,038 SF.
GARAGE	408 SF.
ENTRY	141 SF.
LANAI	160 SF.
TOTAL UNDER ROOF	3,747 SF.

- GENERAL NOTES**
1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
  2. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
  3. ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3½" UNLESS NOTED OTHERWISE.
  4. ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 1½" UNLESS NOTED OTHERWISE.
  5. ALL INTERIOR CEILINGS AT **9'-4"** UNLESS NOTED OTHERWISE.
  6. MECHANICAL EQUIPMENT LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.

## FLOOR PLAN W/ DIMENSIONS "B"

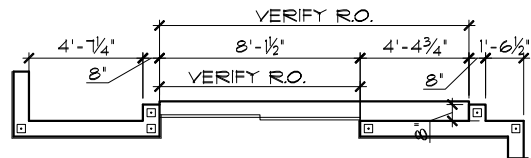
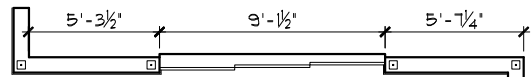
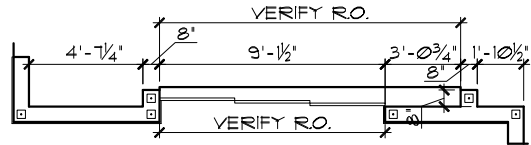
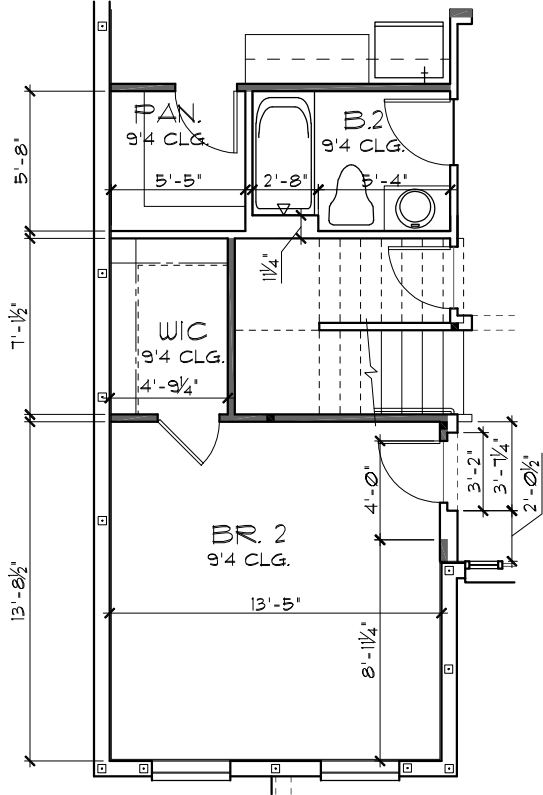
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

### OPT. BR. 2 & B. 2

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

### S.G.D. OPTIONS

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



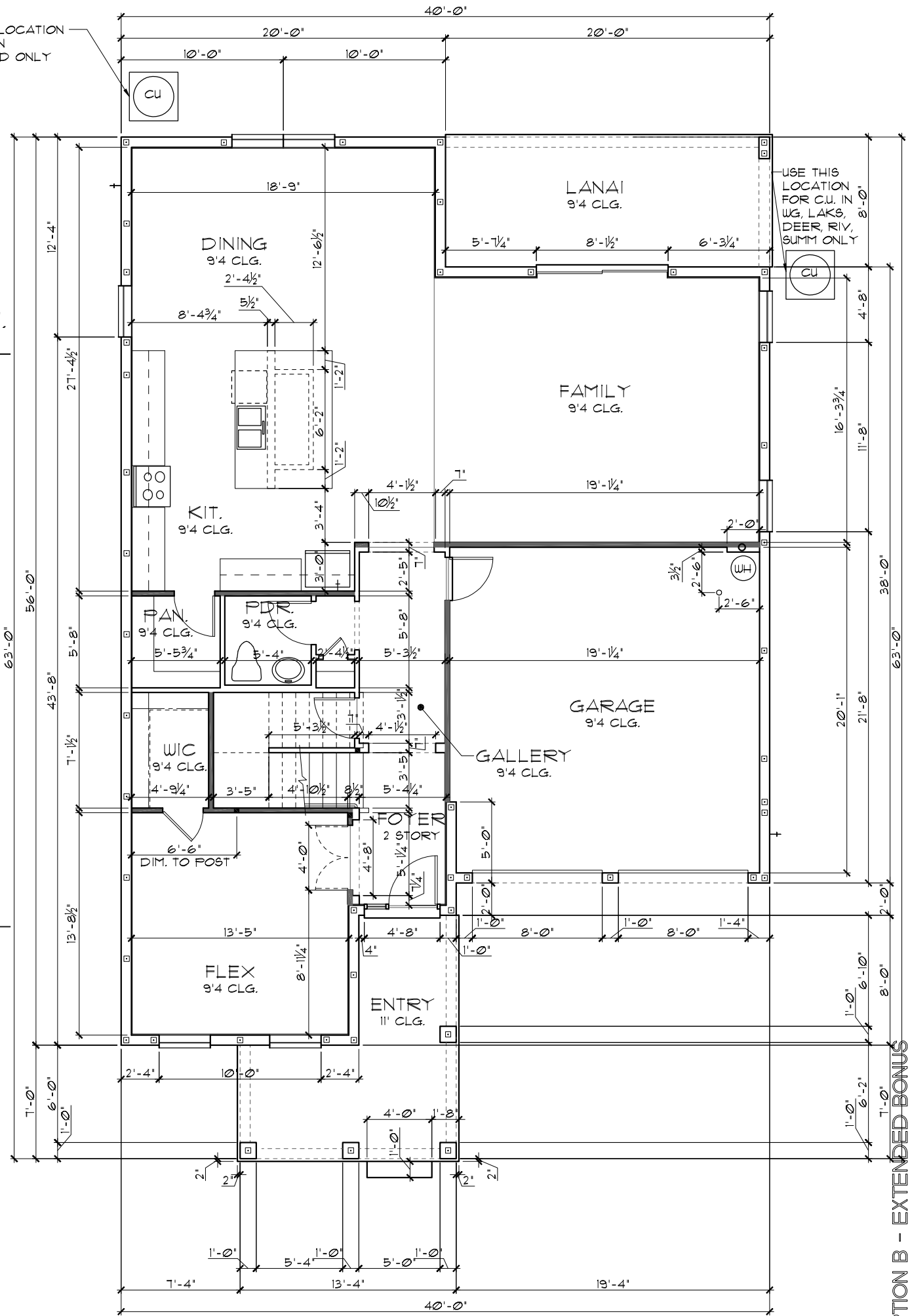
### DBL. WDW. OPT. @ DINING

1/8"=1'-0" (11X17)  
1/4"=1'-0" (22X34)

### GMT. KIT. OPT.

1/8"=1'-0" (11X17)  
1/4"=1'-0" (22X34)

USE THIS LOCATION FOR C.U. IN HARTWOOD ONLY



### OPTION B - EXTENDED BONUS

### LOT SPECIFIC INFORMATION

DATE	07-31-19
SCALE	AS NOTED
DRAWN	RDC
JOB	2718
35	

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

REVISIONS 09-22-21 BY: DH

CODE 2020

LA: 10-10-21 BY: RP

**Engineering By:**  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

**DREAM FINDERS**  
THE MAKERS OF A QUALITY HOME

**FLOOR PLAN W/ DIMENSIONS**

**2718 BISCAYNE**

**DREAM FINDERS HOMES**

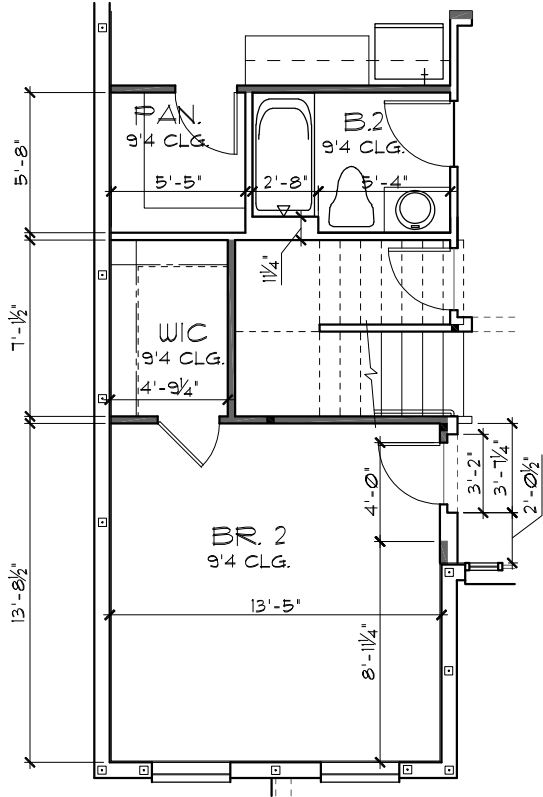
**Item 5.**

TABULATION	
UPPER LIVING	1,608 SF.
LOWER LIVING	1,430 SF.
TOTAL LIVING	3,038 SF.
GARAGE	451 SF.
ENTRY	141 SF.
LANAI	160 SF.
TOTAL UNDER ROOF	3,790 SF.

- GENERAL NOTES**
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
  - DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
  - ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3/2" UNLESS NOTED OTHERWISE.
  - ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 1 1/2" UNLESS NOTED OTHERWISE.
  - ALL INTERIOR CEILINGS AT 9'-4" UNLESS NOTED OTHERWISE.
  - MECHANICAL EQUIPMENT LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.

### S.G.D. OPTIONS

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



### OPT. BR. 2 & B. 2

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

## FLOOR PLAN W/ DIMENSIONS "B"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

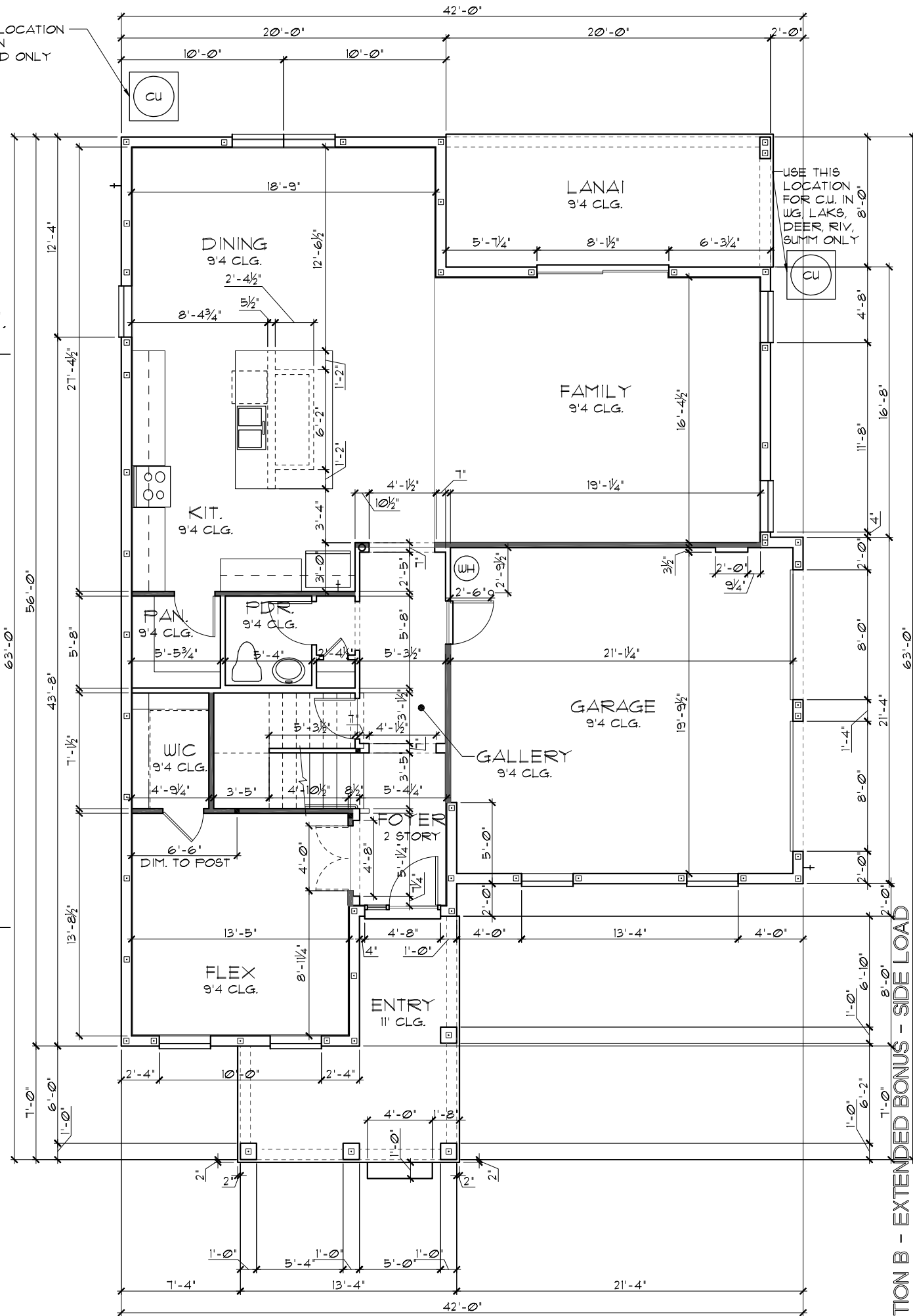
USE THIS LOCATION FOR C.U. IN HARTWOOD ONLY

### DBL. WDW. OPT. @ DINING

1/8"=1'-0" (11X17)  
1/4"=1'-0" (22X34)

### GMT. KIT. OPT.

1/8"=1'-0" (11X17)  
1/4"=1'-0" (22X34)



OPTION B - EXTENDED BONUS - SIDE LOAD

LOT SPECIFIC INFORMATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

CODE 2020

REVISIONS 08-22-21

BY: RP

Engineering By: PRASHANTH N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
INFO@RDCFLA.COM  
J.JAGTAP@RDCFLA.COM

FLOOR PLAN W/ DIMENSIONS

2718 BISCAYNE  
DREAM FINDERS HOMES

DATE 07-31-19  
SCALE AS NOTED  
DRAWN RDC  
JOB 2718  
36  
OF 26 SHEETS



Engineering By: PRASHANTH N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
INFO@RDCFLA.COM  
J.JAGTAP@RDCFLA.COM

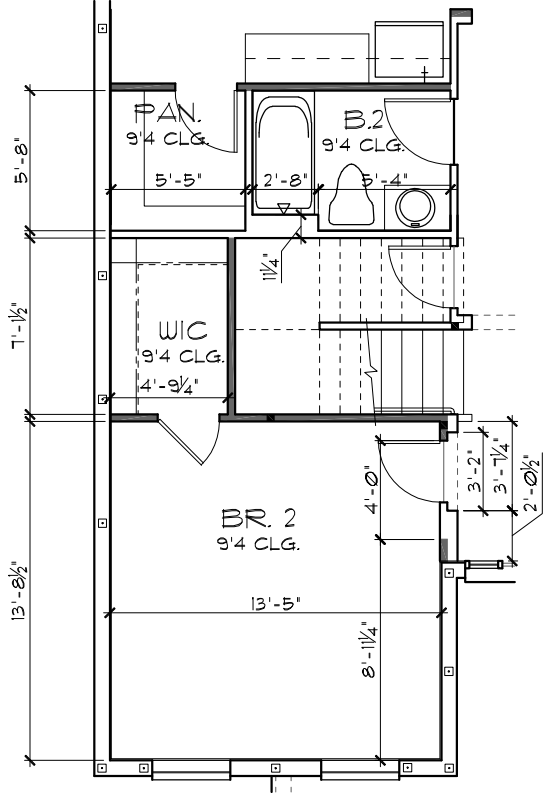
Item 5.

TABULATION	
UPPER LIVING	1288 SF.
LOWER LIVING	1,430 SF.
TOTAL LIVING	2,718 SF.
GARAGE	408 SF.
ENTRY	133 SF.
LANAI	160 SF.
TOTAL UNDER ROOF	3,419 SF.

- GENERAL NOTES**
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
  - DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
  - ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3/2" UNLESS NOTED OTHERWISE.
  - ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 1 1/2" UNLESS NOTED OTHERWISE.
  - ALL INTERIOR CEILINGS AT **9'-4"** UNLESS NOTED OTHERWISE.
  - MECHANICAL EQUIPMENT LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.

### S.G.D. OPTIONS

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



### OPT. BR. 2 & B. 2

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

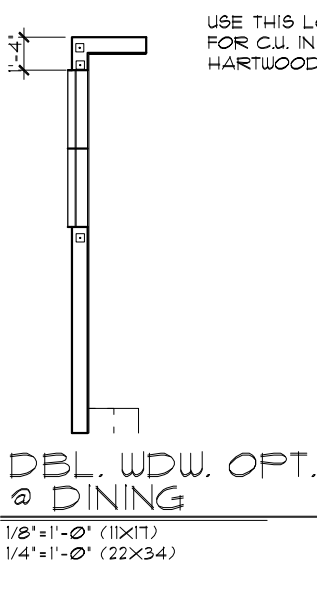


### FLOOR PLAN W/ DIMENSIONS "C"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

### DBL. WDW. OPT. @ DINING

1/8"=1'-0" (11X17)  
1/4"=1'-0" (22X34)

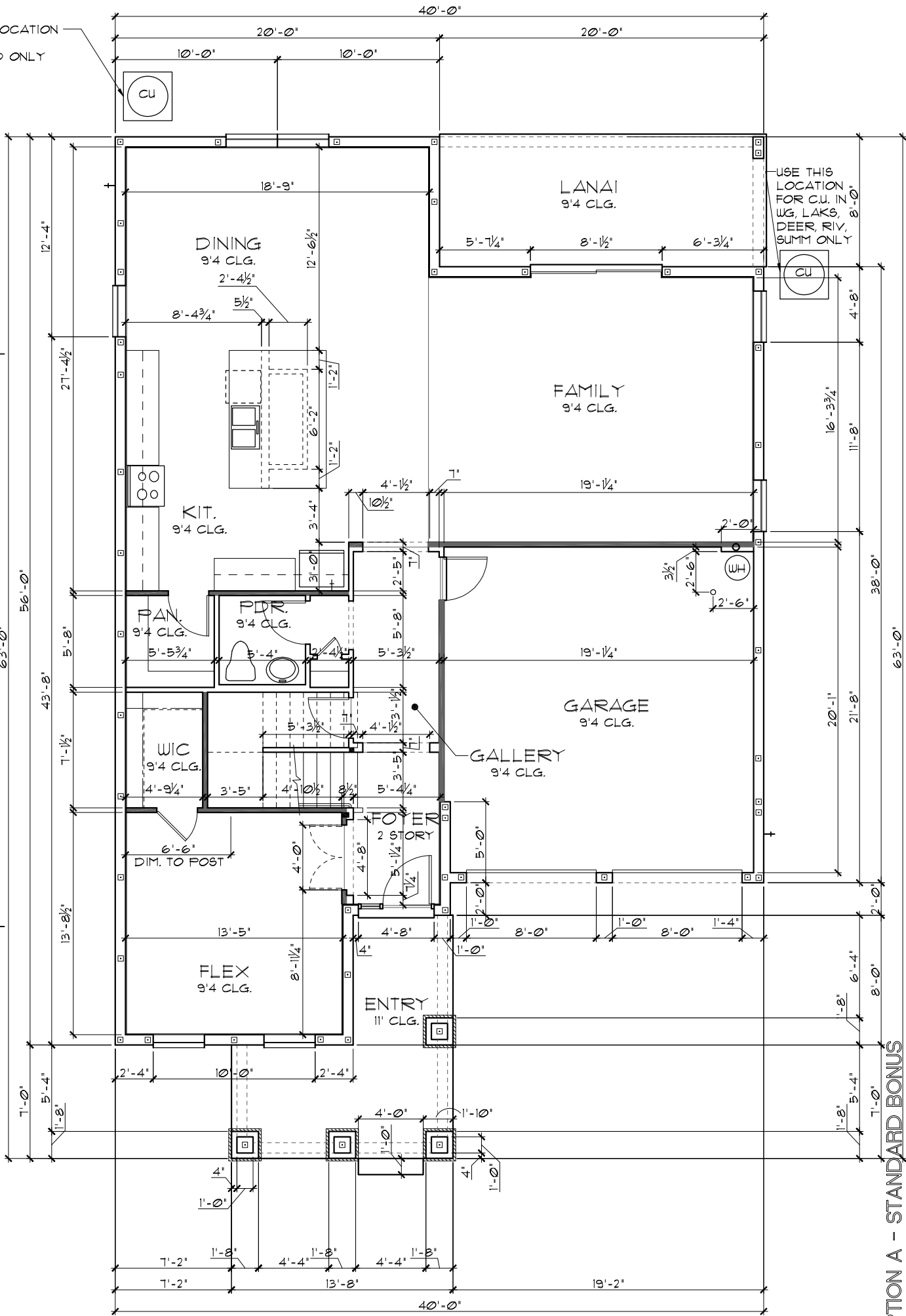


### GMT. KIT. OPT.

1/8"=1'-0" (11X17)  
1/4"=1'-0" (22X34)



USE THIS LOCATION FOR C.U. IN HARTWOOD ONLY



OPTION A - STANDARD BONUS

LOT SPECIFIC INFORMATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

37

2718 BISCAYNE

DREAM FINDERS HOMES

Engineering By:

FRANKLIN N. JAGTAP, P.E.

5890 MARLBERRY DRIVE

ORLANDO, FL 32819

PHONE: 407-345-0010

INFO: RDCFLA.COM

4301 VINELAND RD.

SUITE E-1

ORLANDO, FL 32811

INFO: RDCFLA.COM

REVISIONS 08-22-21

BY: DH

BY: RP

LA: 10-19-21

CODE 2020

Item 5.

FLOOR PLAN W/ DIMENSIONS

DREAM FINDERS HOMES





TABULATION	
UPPER LIVING	1,608 SF.
LOWER LIVING	1,430 SF.
TOTAL LIVING	3,038 SF.
GARAGE	408 SF.
ENTRY	133 SF.
LANAI	160 SF.
TOTAL UNDER ROOF	3,739 SF.

- GENERAL NOTES**
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
  - DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
  - ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3/2" UNLESS NOTED OTHERWISE.
  - ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 1 1/2" UNLESS NOTED OTHERWISE.
  - ALL INTERIOR CEILINGS AT 9'-4" UNLESS NOTED OTHERWISE.
  - MECHANICAL EQUIPMENT LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.

## FLOOR PLAN W/ DIMENSIONS "C"

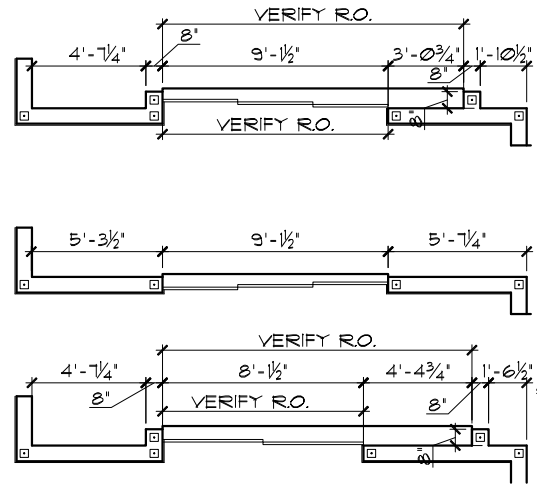
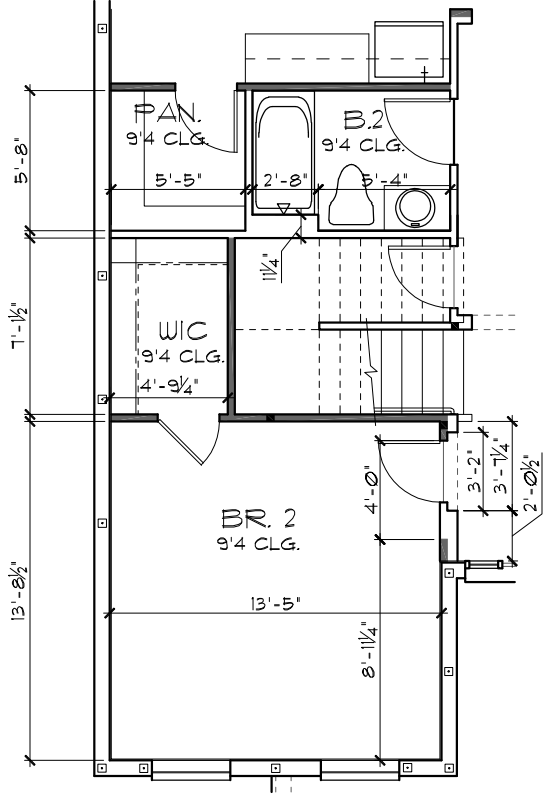
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

### OPT. BR. 2 & B. 2

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

### S.G.D. OPTIONS

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

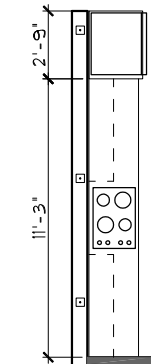


### DBL. WDW. OPT. @ DINING

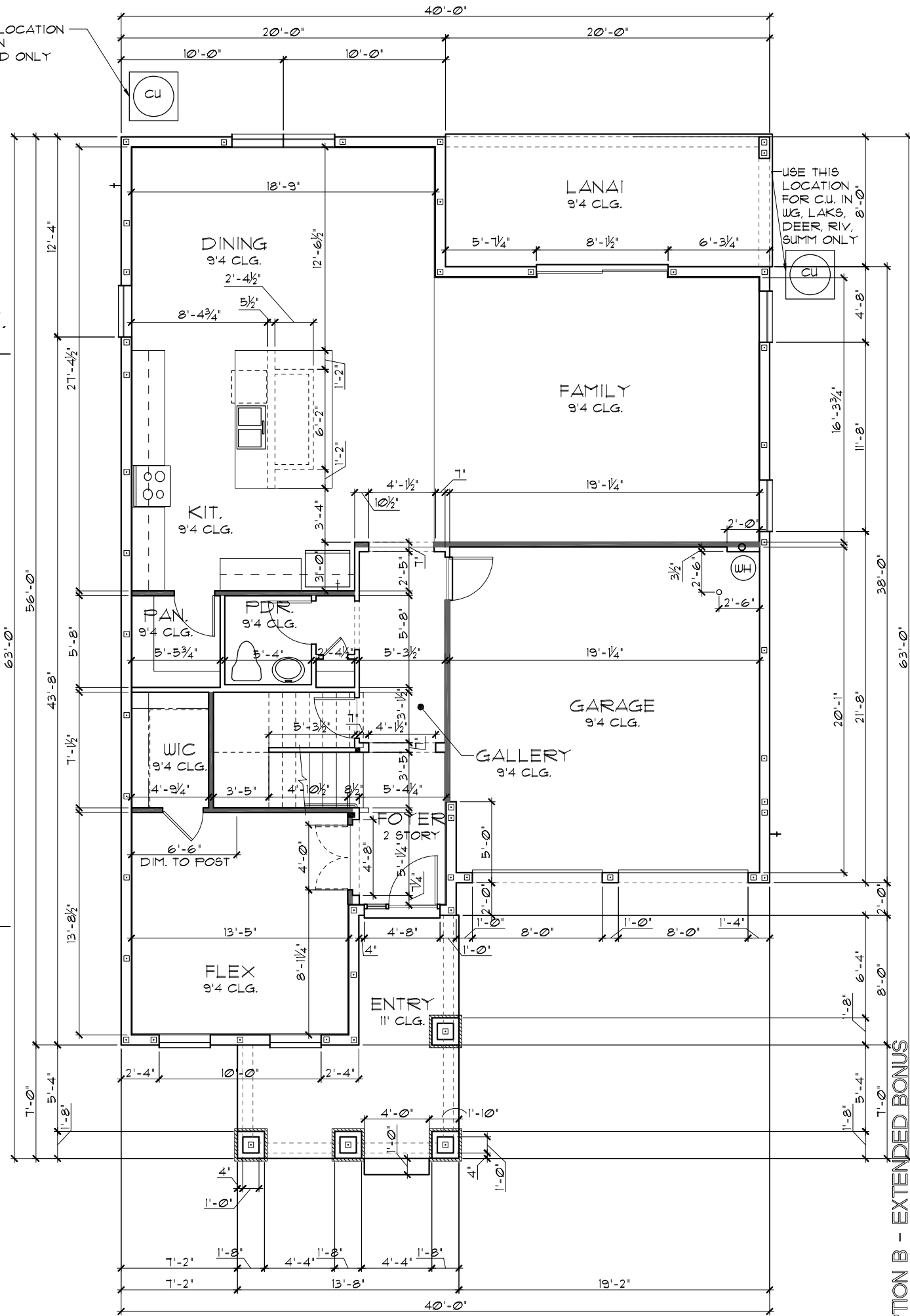
1/8"=1'-0" (11X17)  
1/4"=1'-0" (22X34)

### GMT. KIT. OPT.

1/8"=1'-0" (11X17)  
1/4"=1'-0" (22X34)



USE THIS LOCATION FOR C.U. IN HARTWOOD ONLY



OPTION B - EXTENDED BONUS

LOT SPECIFIC INFORMATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

CODE 2020

REVISIONS: 08-22-21

BY: DH

BY: RP

LA: 10-19-21

Item 5.

Engineering By:

PRASHANTH N. JAGTAP, P.E.

5890 MARLBERRY DRIVE

ORLANDO, FL 32819

PHONE: 407-345-0010

INFO: J.JAGTAP@RDCFLA.COM

4301 VINELAND RD.

SUITE E-1

ORLANDO, FL 32811

INFO: RDCFLA.COM

DREAM FINDERS

THE MAKERS OF A QUALITY HOME

FLOOR PLAN W/ DIMENSIONS

2718 BISCAYNE

DREAM FINDERS HOMES

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

39

26 SHEETS



PER 11TH EDITION, 2020 FLORIDA BUILDING  
RESIDENTIAL CODE

FLOOR: STRUCTURE	-----	1 PSF
CEILINGS	-----	3 PSF
MECH/ELEC	-----	5 PSF
PARTITIONS	-----	5 PSF
<b>TOTAL</b>	<b>-----</b>	<b>20 PSF</b>

ROOF:	SHEATHING	-----	5 PSF
	STRUCTURE	-----	1 PSF
	CEILINGS	-----	3 PSF
	MECH/ELEC	-----	5 PSF
	TOTAL	-----	20 PSF

FLOOR LIVE LOADS

RESIDENTIAL FLOOR:-----	40 PSF
ATTIC WITHOUT STORAGE:-----	10 PSF
ATTIC WITH LIMITED STORAGE:-----	20 PSF
GUARDRAILS & HANDRAILS:-----	200 LBS
GUARDRAILS IN-FLL COMP.:-----	50 PSF
SLEEPING ROOMS:-----	30 PSF
ROOMS OTHER THAN SLEEPING:-----	40 PSF
STAIR LIVE LOAD:-----	40 PSF

MINIMUM ROOF LIVE LOAD (PSF)  
TRIBUTARY LOADED AREA (SQ. FT.)  
FOR ANY STRUCTURAL MEMBER

ROOF SLOPE	0-200	201-600	OVER 600
0:12 < 4:12	20	16	12
≥ 4:12 < 12:12	16	14	12
≥ 12:12	12	12	12

PER 7TH EDITION, 2020 FLORIDA BUILDING  
RESIDENTIAL CODE



1. BASIC WIND SPEED: -----140 MPH
2. WIND IMPORTANCE FACTOR: -----N/A
3. BUILDING WIND EXPOSURE: ----- B
4. INTERNAL PRESSURE ---- +/- .18, INCLUDED  
COEFFICIENT: IN NOTE #5
5. COMPONENT / CLADDING ----- SEE PLAN  
DESIGN WIND PRESSURE:

+	XXX	DESIGN WIND PRESSURE IAW FLA
-	XXX	RESIDENTIAL CODE, SECTION R301

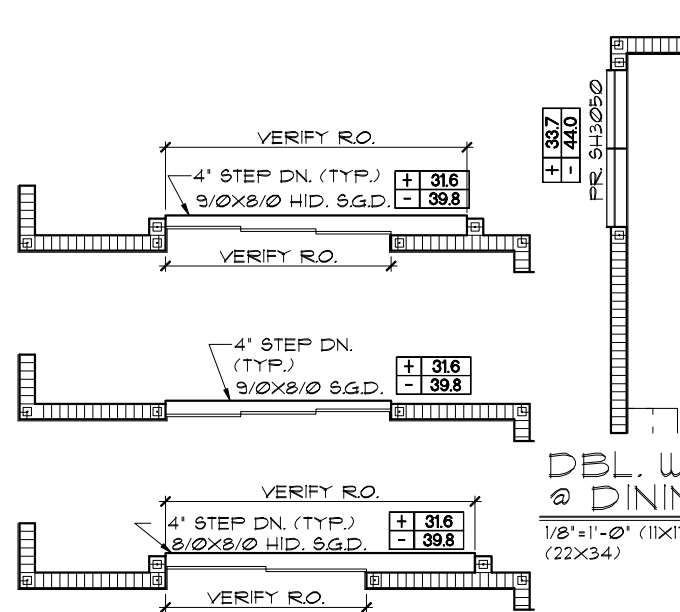
NOTE: DESIGN PRESSURES BASED ON  
BASIC WIND SPEED AND NOT ULTIMATE  
WIND SPEED.

1. PROVIDE RECESS HOT & COLD WATER  
WITH DRAIN @ WASHER SPACE.

2. VENT DRYER THRU EXT. WALL OR ROOF.
3. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
4. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
5. MECHANICAL EQUIPMENT LOCATION TO BE DETERMINED BY COMMUNITY STANDARDS AND APPLICABLE COUNTY CODES.

6.  DENOTES CONC. BLOCK WALL HGT. @ 9'-4" A.F.F.
-  DENOTES CONC. BLOCK WALL HGT. @ 8'-4 3/4" A.F.F.

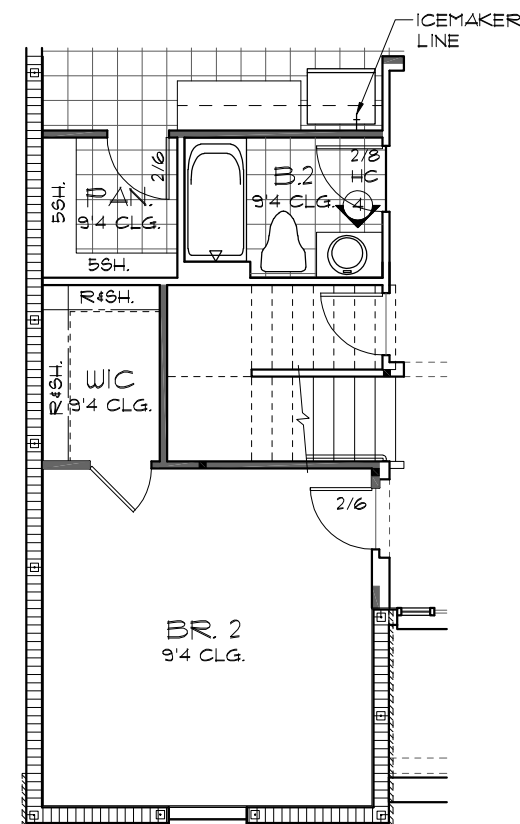
7. REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH SPECIFICATIONS
8. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES
9. ANCHOR THE CONDENSER UNIT TO SLAB PER CODE: M1307.2 + 1307.3.1
10. ALL INTER. FIRST FLOOR CEILINGS AT **9'-4"** UNLESS NOTED OTHERWISE.
- ALL INTER. SECOND FLOOR CEILINGS AT **9'-0"** UNLESS NOTED OTHERWISE.



DBL. WDW. OPT.  
@ DINING

$$\begin{array}{l} 1/8" = 1' - 0" \quad (11 \times 17) \quad 1/4" = 1' - 0" \\ (22 \times 34) \end{array}$$

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

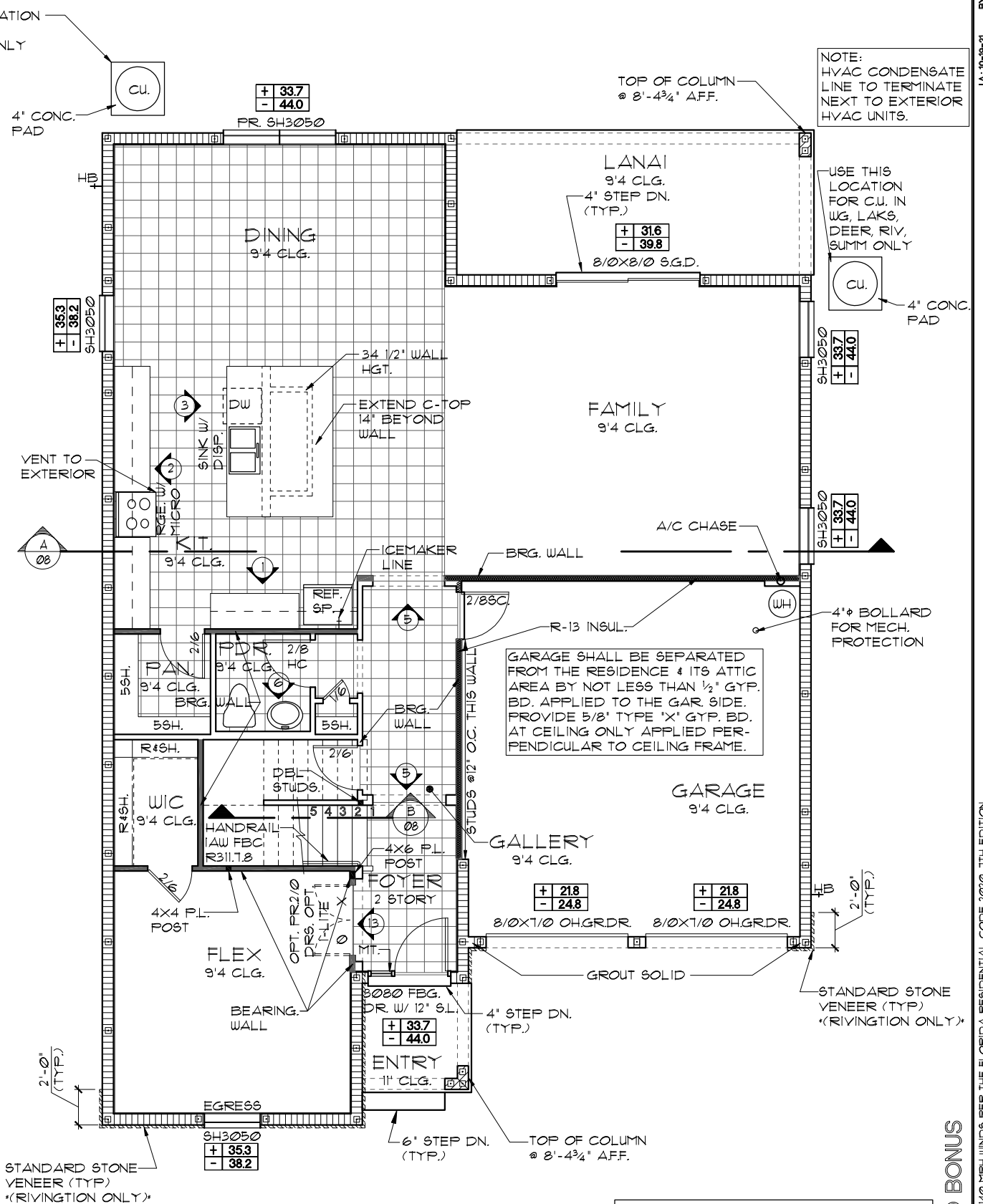


OPT. BR. 2 & B. 2

$1/8" = 1' - 0"$  (11x17)     $1/4" = 1' - 0"$  (22x34)

(ROUGH OPENINGS ARE APPROXIMATE ONLY, REFER TO WINDOW SPECIFICATIONS)

WINDOW- FIN (SINGLE HUNG)	ROUGH OPENING		EGRESS OPENING	
	FRAME	BLOCK	OPENING H' X W'	MIN. NET CLEAR
SH2030	24" X 36"			
SH2040	24" X 48"			
SH3030	36" X 36"			
SH3040	36" X 48"			
SH3050	36" X 60"		26.62' X 30.81'	5.71 SQFT
SH3060	36" X 72"		32.62' X 30.81'	1.00 SQFT
SH4040	48" X 48"			
SH4050	48" X 60"		26.62' X 42.81'	7.93 SQFT
SH4060	48" X 72"		32.62' X 42.81'	9.71 SQFT



NOTE: OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" (35 MM) IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8" (35 MM) THICK, OR 20-MINUTE FIRE-RATED DOORS IAW R302.5.1 OF THE FBCR 2020, 1TH ED.

NOTE: ALL INTERIOR DOORS ON THIS FLOOR TO BE: **6'-8"** U.N.O. - VERIFY WITH COLOR SHEET.

## FLOOR PLAN W/ NOTES "A"

$$1/8" = 1' - 0" \quad (11 \times 17) \quad 1/4" = 1' - 0" \quad (22 \times 34)$$

tem 5.

REVISIONS: 09-22-21  
 BY: DH  
 Engineering By:  
 PRABHAKAR N. JAGTAP, P.E.  
 5890 MARLBERRY DRIVE  
 ORLANDO, FL 32819  
 PHONE: 407-345-0010  
 UJAGTAP@RDCFLA.COM



**DREAM FINDERS**  
THE MARK OF A QUALITY MOM

## FLOOR PLAN W/ NOTES

2718 BISCAYNE

DREAM FINDERS HOMES

DATE 07-31-19

SALE AS NOTED

PAUN	RDC
------	-----

2718

41



26 SHEETS

### LOT SPECIFIC INFORMATION

## OPTION A - STANDARD BONUS

OPTION A - STANDARD BONUS

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THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 11TH EDITION

CODE 2020	REVISIONS: 09-22-21	BY: DH
-----------	---------------------	--------

11

1

1



PER 11TH EDITION, 2020 FLORIDA BUILDING  
RESIDENTIAL CODE

FLOOR:	STRUCTURE	-----	1 PSF
	CEILINGS	-----	3 PSF
	MECH/ELEC	-----	5 PSF
	PARTITIONS	-----	5 PSF
	TOTAL	-----	20 PSF
ROOF:	SHEATHING	-----	5 PSF
	STRUCTURE	-----	1 PSF
	CEILINGS	-----	3 PSF
	MECH/ELEC	-----	5 PSF
	TOTAL	-----	20 PSF

RESIDENTIAL FLOOR:-----40 PSF  
ATTIC WITHOUT STORAGE:-----10 PSF  
ATTIC WITH LIMITED STORAGE:-----20 PSF  
GUARDRAILS & HANDRAILS:-----200 LBS  
GUARDRAILS IN-FLL COMP.:-----50 PSF  
SLEEPING ROOMS:-----30 PSF  
ROOMS OTHER THAN SLEEPING:-----40 PSF  
STAIR LIVE LOAD:-----40 PSF

MINIMUM ROOF LIVE LOAD (PSF)  
TRIBUTARY LOADED AREA (SQ. FT.)  
FOR ANY STRUCTURAL MEMBER

ROOF SLOPE	0-200	201-600	OVER 600
0:12 < 4:12	20	16	12
≥ 4:12 < 12:12	16	14	12
≥ 12:12	12	12	12



PER 7TH EDITION, 2020 FLORIDA BUILDING  
RESIDENTIAL CODE

1. BASIC WIND SPEED: -----140 MPH
2. WIND IMPORTANCE FACTOR:-----N/A
3. BUILDING WIND EXPOSURE:----- B
4. INTERNAL PRESSURE ---- +/- .18, INCLUDED  
COEFFICIENT: IN NOTE #5
5. COMPONENT / CLADDING ----- SEE PLAN  
DESIGN WIND PRESSURE:

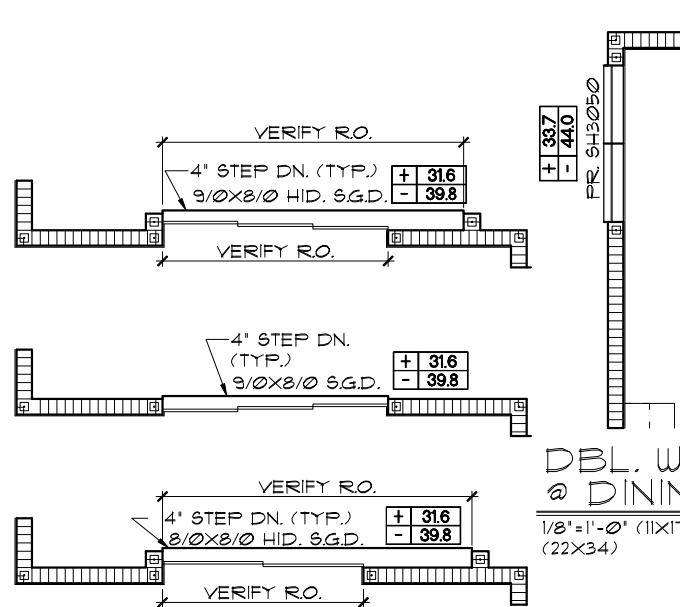
+	XXX	DESIGN WIND PRESSURE 1AW FLA
-	XXX	RESIDENTIAL CODE, SECTION R301

NOTE: DESIGN PRESSURES BASED ON  
BASIC WIND SPEED AND NOT ULTIMATE  
WIND SPEED.

1. PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.
2. VENT DRYER THRU EXT. WALL OR ROOF.
3. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
4. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
5. MECHANICAL EQUIPMENT LOCATION TO BE DETERMINED BY COMMUNITY STANDARDS AND APPLICABLE COUNTY CODES.

6.  DENOTES CONC. BLOCK WALL HGT. @ **9'-4" A.F.F.**
-  DENOTES CONC. BLOCK WALL HGT. @ **8'-4<sup>3</sup>/<sub>4</sub>" A.F.F.**

1. REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH SPECIFICATIONS
2. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES
3. ANCHOR THE CONDENSER UNIT TO SLAB PER CODE: M1307.2 + I307.3.1
10. ALL INTER. FIRST FLOOR CEILINGS AT 9'-4" UNLESS NOTED OTHERWISE.  
ALL INTER. SECOND FLOOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.

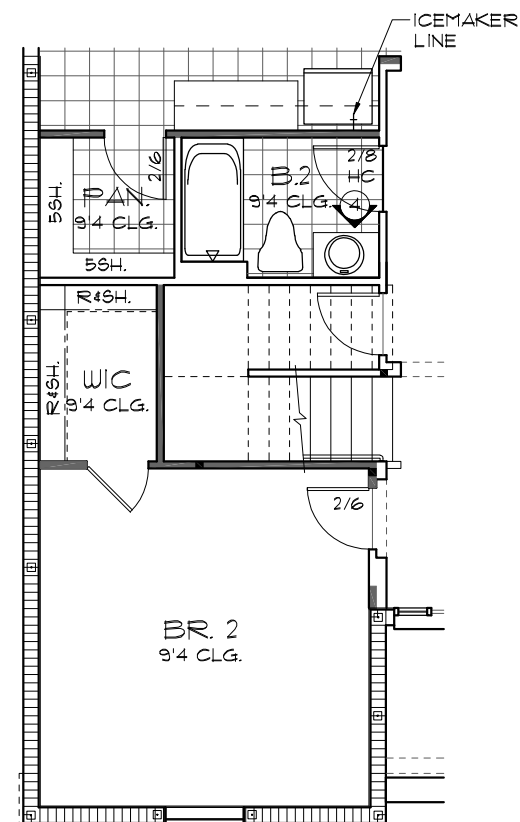


USE THIS LOCATION  
FOR C.U. IN  
HARTWOOD ONLY

DBL. WDW. OPT.  
@ DINING

$$\frac{1}{8}'' = 1' - 0'' \quad (11 \times 17) \quad \frac{1}{4}'' = 1' - 0'' \quad (22 \times 34)$$

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



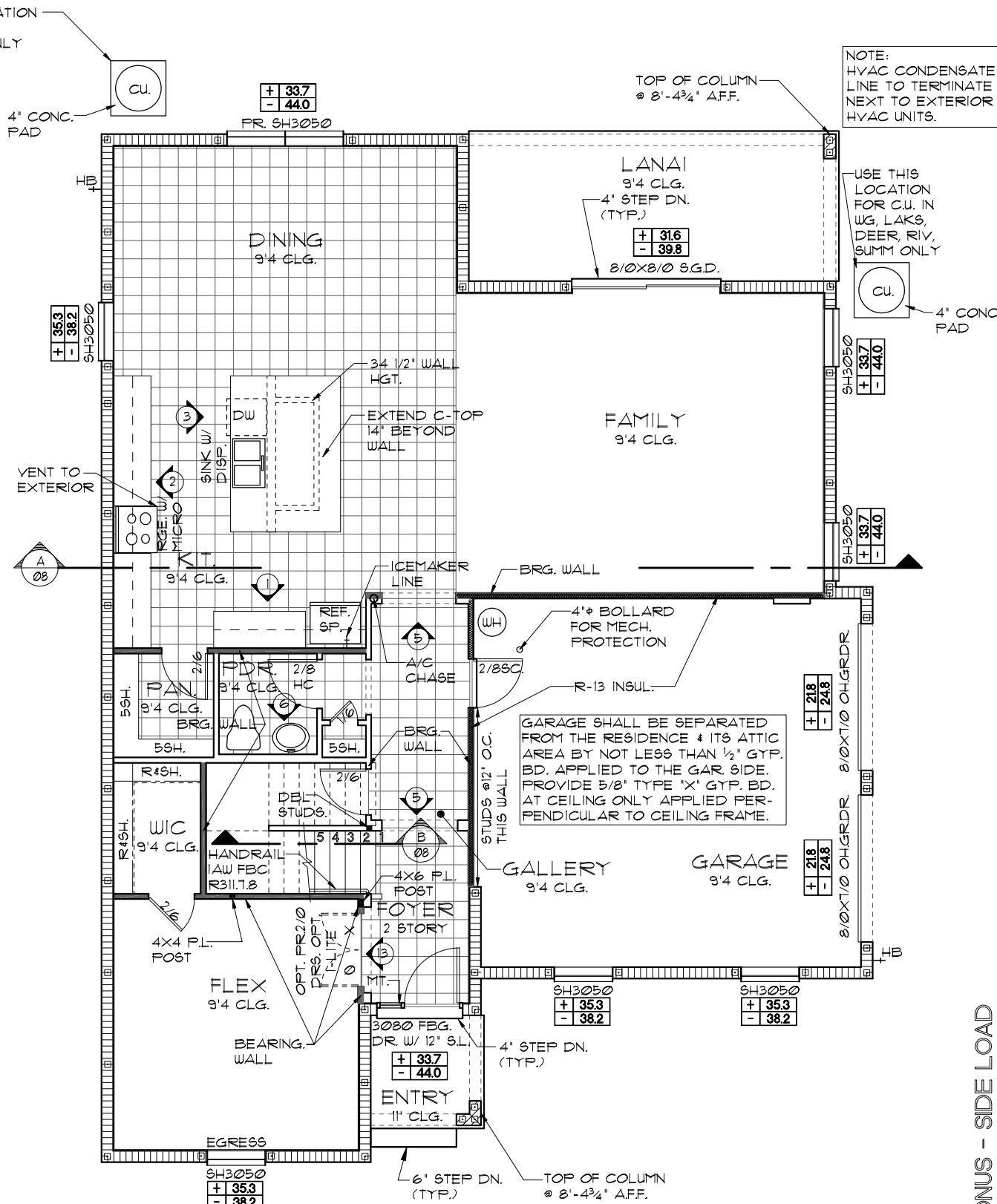
GMT, KIT, OPT.

$$\frac{1}{8}'' = 1' - 0'' \quad (11 \times 17) \quad \frac{1}{4}'' = 1' - 0'' \quad (22 \times 34)$$

OPT. BR. 2 & B. 2

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

WINDOW SCHEDULE				
(ROUGH OPENINGS ARE APPROXIMATE ONLY, REFER TO WINDOW SPECIFICATIONS)				
WINDOW- FIN (SINGLE HUNG)	ROUGH OPENING		EGRESS OPENING	
	FRAME	BLOCK	OPENING H' X W'	MIN. NET CLEAR
SH2030	24" X 36"			
SH2040	24" X 48"			
SH3030	36" X 36"			
SH3040	36" X 48"			
SH3050	36" X 60"		26.62' X 30.81'	5.71 SQFT
SH3060	36" X 72"		32.62' X 30.81'	7.00 SQFT
SH4040	48" X 48"			
SH4050	48" X 60"		26.62' X 42.81'	7.93 SQFT
SH4060	48" X 72"		32.62' X 42.81'	9.71 SQFT



NOTE:  
HVAC CONDENSATE  
LINE TO TERMINATE  
NEXT TO EXTERIOR  
HVAC UNITS.

USE THIS  
LOCATION  
FOR C.U. IN  
WG, LAKS,  
DEER, RIV,  
SUMM ONLY

GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ITS ATTIC AREA BY NOT LESS THAN 1/2" GYP. BD. APPLIED TO THE GAR. SIDE. PROVIDE 5/8" TYPE 'X' GYP. BD. AT CEILING ONLY APPLIED PERPENDICULAR TO CEILING FRAME.

NOTE: OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" (35 MM) IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8" (35 MM) THICK, OR 20-MINUTE FIRE-RATED DOORS [AW R302.5.1 OF THE FBCR 2020, 11TH ED.

NOTE: ALL INTERIOR DOORS ON THIS FLOOR TO BE: **6'-8" U.N.O.** - VERIFY WITH COLOR SHEET.

## LOT SPECIFIC INFORMATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

CODE 2020	REVISIONS: 09-22-21	BY: DH
-----------	---------------------	--------

**Engineering By:**  
PRABHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
JJAGTAP@RDCFLA.COM



**DREAM FINDERS**  
 THE MARK OF A QUALITY HOME

# FLOOR PLAN W/ NOTES

2718 BISCAYNE

DREAM FINDERS HOMES

DATE 07-31-19

SCALE AS NOTED

DRAW RDC

JOB \_\_\_\_\_ 2718

42

USA.0  
OF 26 SHEETS



LOAD INFORMATION		
PER 1TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE		
DEAD LOADS		
FLOOR: STRUCTURE	-----	1 PSF
CEILINGS	-----	3 PSF
MECH/ELEC	-----	5 PSF
PARTITIONS	-----	5 PSF
TOTAL	-----	20 PSF
ROOF: SHEATHING		
STRUCTURE	-----	5 PSF
CEILINGS	-----	1 PSF
MECH/ELEC	-----	3 PSF
TOTAL	-----	20 PSF
FLOOR LIVE LOADS		
RESIDENTIAL FLOOR:	-----	40 PSF
ATTIC WITHOUT STORAGE:	-----	10 PSF
ATTIC WITH LIMITED STORAGE:	-----	20 PSF
GUARDRAILS & HANDRAILS:	-----	200 LBS
GUARDRAILS IN-FLL COMP.:	-----	50 PSF
SLEEPING ROOMS:	-----	30 PSF
ROOMS OTHER THAN SLEEPING:	-----	40 PSF
STAIR LIVE LOAD:	-----	40 PSF
ROOF LIVE LOADS		
MINIMUM ROOF LIVE LOAD (PSF)		
TRIBUTARY LOADED AREA (SQ. FT.)		
FOR ANY STRUCTURAL MEMBER		
ROOF SLOPE	0-200	201-600
0:12 < 4:12	20	16
≥ 4:12 < 12:12	16	14
≥ 12:12	12	12

WIND INFORMATION		
PER 1TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE		
1. BASIC WIND SPEED:	-----	140 MPH
2. WIND IMPORTANCE FACTOR:	-----	N/A
3. BUILDING WIND EXPOSURE:	-----	B
4. INTERNAL PRESSURE	-----	+/- .18, INCLUDED COEFFICIENT: IN NOTE #5
5. COMPONENT / CLADDING	-----	SEE PLAN DESIGN WIND PRESSURE:
	+ XXX	DESIGN WIND PRESSURE IAW FLA
	- XXX	RESIDENTIAL CODE, SECTION R301
NOTE: DESIGN PRESSURES BASED ON BASIC WIND SPEED AND NOT ULTIMATE WIND SPEED.		

GENERAL NOTES		
1.	PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.	
2.	VENT DRYER THRU EXT. WALL OR ROOF.	
3.	PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.	
4.	DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.	
5.	MECHANICAL EQUIPMENT LOCATION TO BE DETERMINED BY COMMUNITY STANDARDS AND APPLICABLE COUNTY CODES.	
6.	<div> <div></div> DENOTES CONC. BLOCK WALL HGT. @ 9'-4" AFF. </div> <div> <div></div> DENOTES CONC. BLOCK WALL HGT. @ 8'-4 3/4" AFF. </div>	
7.	REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH SPECIFICATIONS	
8.	REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES	
9.	ANCHOR THE CONDENSER UNIT TO SLAB PER CODE: M1307.2 & I307.3.1	
10.	ALL INTER. FIRST FLOOR CEILINGS AT 9'-4" UNLESS NOTED OTHERWISE.	
	ALL INTER. SECOND FLOOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.	

S.G.D. OPTIONS		
1/8"=1'-0" (11X17)	1/4"=1'-0" (22X34)	
DBL. WDW. OPT. @ DINING		
1/8"=1'-0" (11X17)	1/4"=1'-0" (22X34)	
S.G.D. OPTIONS		
1/8"=1'-0" (11X17)	1/4"=1'-0" (22X34)	
GMT. KIT. OPT.		
1/8"=1'-0" (11X17)	1/4"=1'-0" (22X34)	
OPT. BR. 2 & B. 2		
1/8"=1'-0" (11X17)	1/4"=1'-0" (22X34)	
WINDOW SCHEDULE		
(ROUGH OPENINGS ARE APPROXIMATE ONLY, REFER TO WINDOW SPECIFICATIONS)		
WINDOW- FIN (SINGLE HUNG)	ROUGH OPENING	
	FRAME	BLOCK
EGRESS OPENING		
	OPENING H' X W'	MIN. NET CLEAR
SH2030	24' X 36'	
SH2040	24' X 48'	
SH3030	36' X 36'	
SH3040	36' X 48'	
SH3050	36' X 60'	26.62' X 30.81'
SH3060	36' X 72'	32.62' X 30.81'
SH4040	48' X 48'	
SH4050	48' X 60'	26.62' X 42.81'
SH4060	48' X 72'	32.62' X 42.81'

FLOOR PLAN W/ NOTES "A"		
1/8"=1'-0" (11X17)	1/4"=1'-0" (22X34)	
<p>USE THIS LOCATION FOR C.U. IN HARTWOOD ONLY</p> <p>4" CONC. PAD</p> <p>USE THIS LOCATION FOR C.U. IN WG, LAKS, DEER, RIV, SUMM ONLY</p> <p>4" CONC. PAD</p> <p>4" BOLLARD FOR MECH. PROTECTION</p> <p>STANDARD STONE VENEER (TYP) *(RIVINGTON ONLY)*</p> <p>NOTE: OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" (35 MM) IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8" (35 MM) THICK, OR 20-MINUTE FIRE-RATED DOORS IAW R302.5.1 OF THE FBCR 2020, 1TH ED.</p> <p>NOTE: ALL INTERIOR DOORS ON THIS FLOOR TO BE: 6"-8" UNO. - VERIFY WITH COLOR SHEET.</p>		

LOT SPECIFIC INFORMATION		
THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION	BY: DH	REVISIONS 09-22-21
DATE	07-31-19	SCALE AS NOTED
DRAWN	RDC	JOB 2718
43		USA 1
OF 26 SHEETS		

Item 5.

Engineering By:

PRASHANT N. JAGTAP, P.E.

5890 MARLBERRY DRIVE

ORLANDO, FL 32819

PHONE: 407-345-0010

INFO: J.JAGTAP@RDCFLA.COM

4301 VINELAND RD.

SUITE E-1

ORLANDO, FL 32811

INFO: RDCFLA.COM

DREAM FINDERS

THE MAKERS OF A QUALITY HOME

FLOOR PLAN W/ NOTES

2718 BISCAYNE

DREAM FINDERS HOMES





PER 11TH EDITION, 2020 FLORIDA BUILDING  
RESIDENTIAL CODE

FLOOR: STRUCTURE	-----	1 PSF
CEILINGS	-----	3 PSF
MECH/ELEC	-----	5 PSF
PARTITIONS	-----	5 PSF
TOTAL	-----	20 PSF

ROOF:	SHEATHING	-----	5 PSF
	STRUCTURE	-----	7 PSF
	CEILING\$	-----	3 PSF
	MECH/ELEC	-----	5 PSF
	TOTAL	-----	20 PSF

RESIDENTIAL FLOOR:-----40 PSF  
ATTIC WITHOUT STORAGE:-----10 PSF  
ATTIC WITH LIMITED STORAGE:-----20 PSF  
GUARDRAILS & HANDRAILS:-----200 LBS  
GUARDRAILS IN-FLR COMP:-----50 PSF  
SLEEPING ROOMS:-----30 PSF  
ROOMS OTHER THAN SLEEPING:-----40 PSF  
STAIR LIVE LOAD:-----40 PSF

MINIMUM ROOF LIVE LOAD (PSF)  
TRIBUTARY LOADED AREA (SQ. FT.)  
FOR ANY STRUCTURAL MEMBER

ROOF SLOPE	0-200	201-600	OVER 600
0:12 < 4:12	20	16	12
≥ 4:12 < 12:12	16	14	12
≥ 12:12	12	12	12



PER 7TH EDITION, 2020 FLORIDA BUILDING  
RESIDENTIAL CODE

1. BASIC WIND SPEED: -----140 MPH
2. WIND IMPORTANCE FACTOR:-----N/A
3. BUILDING WIND EXPOSURE:----- B
4. INTERNAL PRESSURE ---- +/- .18, INCLUDED  
COEFFICIENT: IN NOTE #5
5. COMPONENT / CLADDING ----- SEE PLAN  
DESIGN WIND PRESSURE:

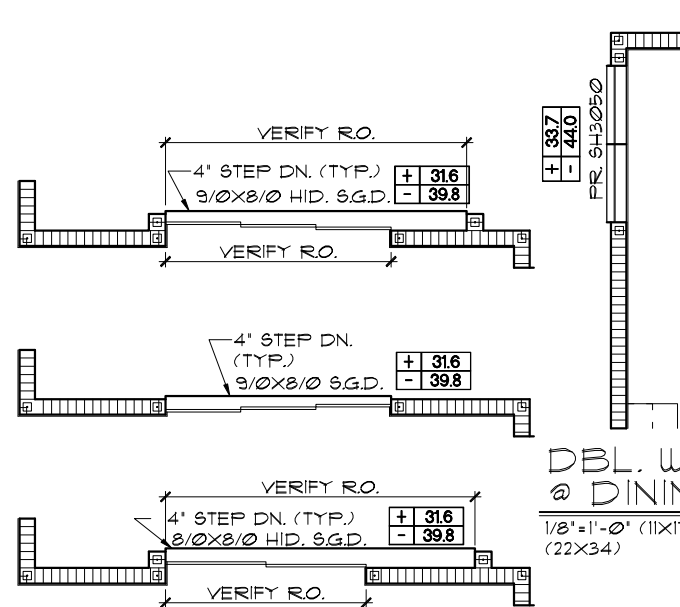
+	XXX	DESIGN WIND PRESSURE IAW FLA
-	XXX	RESIDENTIAL CODE, SECTION R301

NOTE: DESIGN PRESSURES BASED ON  
BASIC WIND SPEED AND NOT ULTIMATE  
WIND SPEED.

1. PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.
2. VENT DRYER THRU EXT. WALL OR ROOF.
3. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
4. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
5. MECHANICAL EQUIPMENT LOCATION TO BE DETERMINED BY COMMUNITY STANDARDS AND APPLICABLE COUNTY CODES.

6.  DENOTES CONC. BLOCK WALL HGT. @ 9'-4" A.F.F.
-  DENOTES CONC. BLOCK WALL HGT. @ 8'-4 3/4" A.F.F.

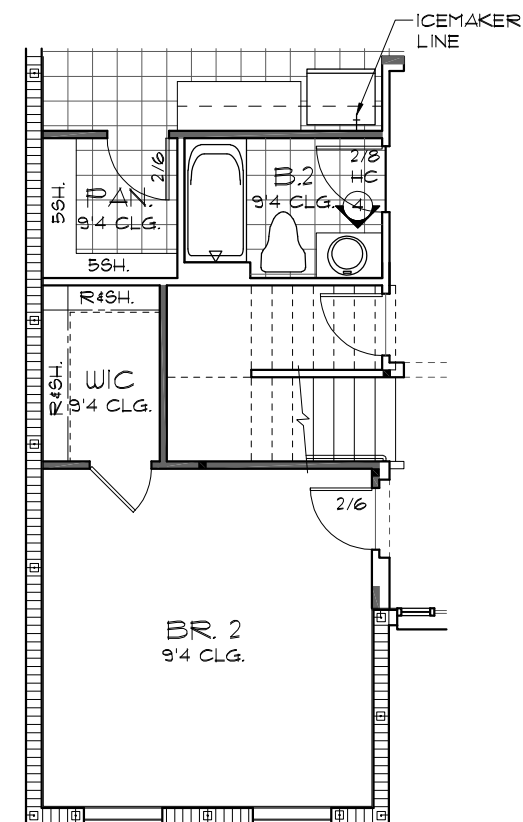
7. REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH SPECIFICATIONS
8. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES
9. ANCHOR THE CONDENSER UNIT TO SLAB PER CODE: M1307.2 + I307.3.1
10. ALL INTER. FIRST FLOOR CEILINGS AT 9'-4" UNLESS NOTED OTHERWISE.
- ALL INTER. SECOND FLOOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.



DBL. WDW. OPT.  
@ DINING

$$\frac{1}{8}'' = 1' - 0'' \quad (11 \times 17) \quad \frac{1}{4}'' = 1' - 0'' \quad (22 \times 34)$$

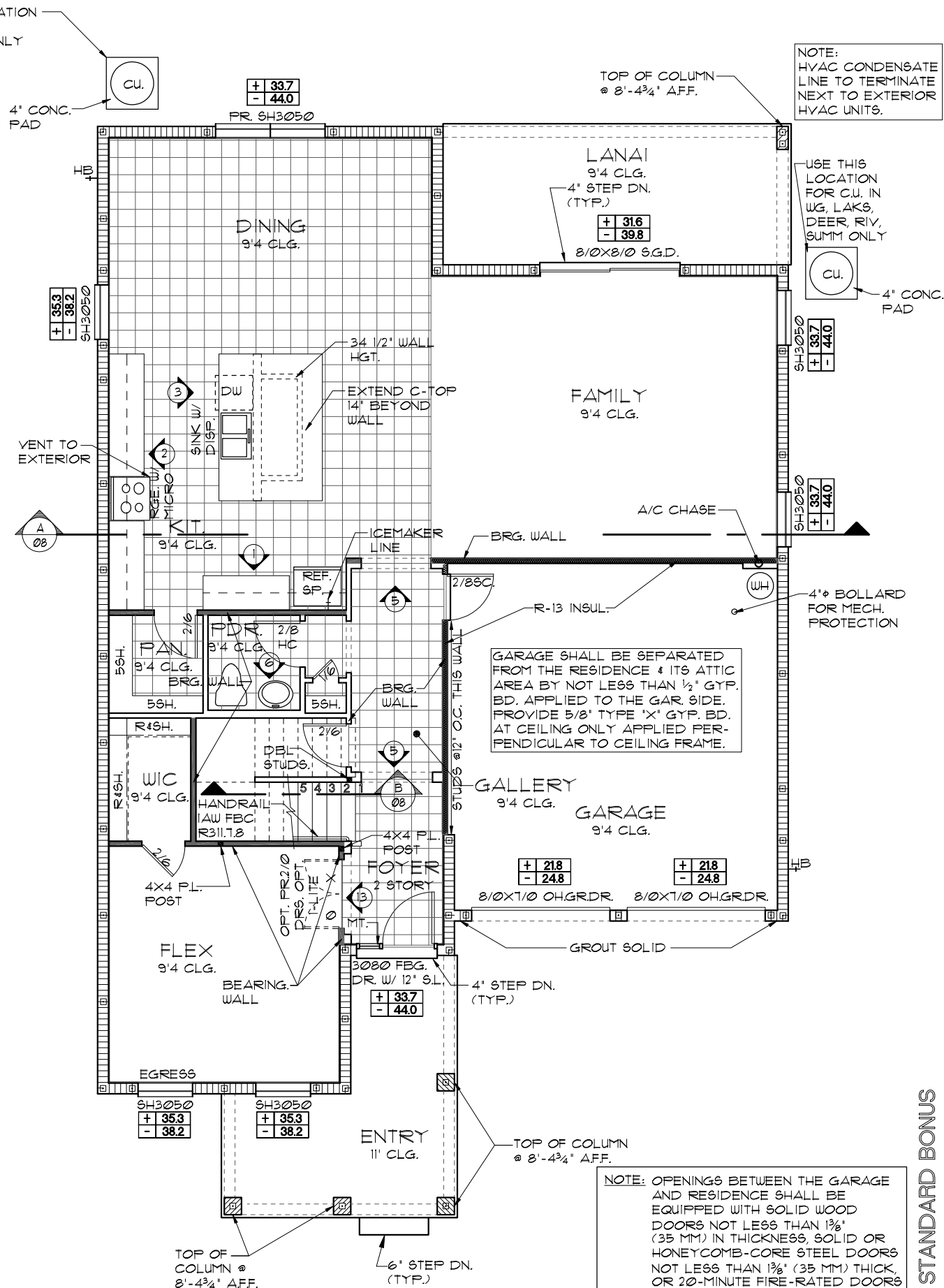
## S.G.D. OPTIONS

$$1/8'' = 1' - 0'' \quad (11 \times 17) \quad 1/4'' = 1' - 0'' \quad (22 \times 34)$$


OPT. BR. 2 & B. 2

$$|/8'' = |' - \emptyset'' \quad (11 \times 17) \quad |/4' = |' - \emptyset' \quad (22 \times 34)$$

WINDOW SCHEDULE				
(ROUGH OPENINGS ARE APPROXIMATE ONLY, REFER TO WINDOW SPECIFICATIONS)				
WINDOW- FIN (SINGLE HUNG)	ROUGH OPENING		EGRESS OPENING	
	FRAME	BLOCK	OPENING H' X W'	MIN. NET CLEAR
SH2030	24" X 36"			
SH2040	24" X 48"			
SH3030	36" X 36"			
SH3040	36" X 48"			
SH3050	36" X 60"		26.62" X 30.81"	5.71 SQFT
SH3060	36" X 72"		32.62" X 30.81"	7.00 SQFT
SH4040	48" X 48"			
SH4050	48" X 60"		26.62" X 42.81"	7.93 SQFT
SH4060	48" X 72"		32.62" X 42.81"	9.71 SQFT



NOTE: OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" (35 MM) IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8" (35 MM) THICK, OR 20-MINUTE FIRE-RATED DOORS IAW R302.5.1 OF THE FBCR 2020, 11TH ED.

NOTE: ALL INTERIOR DOORS ON THIS FLOOR TO BE: **6'-8"** U.N.O. - VERIFY WITH COLOR SHEET.

## FLOOR PLAN W/ NOTES "B"



$$1/8'' = 1' - 0'' \quad (11 \times 17) \quad 1/4'' = 1' - 0'' \quad (22 \times 34)$$

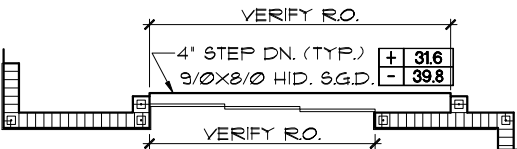
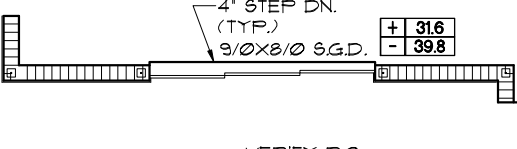
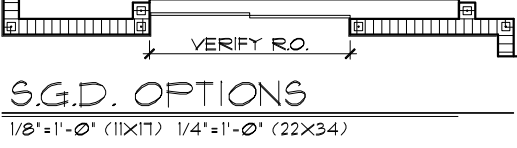







LOAD INFORMATION		
PER 1TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE		
DEAD LOADS		
FLOOR: STRUCTURE	-----	1 PSF
CEILINGS	-----	3 PSF
MECH/ELEC	-----	5 PSF
PARTITIONS	-----	5 PSF
TOTAL	-----	20 PSF
ROOF: SHEATHING		
STRUCTURE	-----	5 PSF
CEILINGS	-----	1 PSF
MECH/ELEC	-----	3 PSF
TOTAL	-----	20 PSF
FLOOR LIVE LOADS		
RESIDENTIAL FLOOR:	-----	40 PSF
ATTIC WITHOUT STORAGE:	-----	10 PSF
ATTIC WITH LIMITED STORAGE:	-----	20 PSF
GUARDRAILS & HANDRAILS:	-----	200 LBS
GUARDRAILS IN-FLL COMP.:	-----	50 PSF
SLEEPING ROOMS:	-----	30 PSF
ROOMS OTHER THAN SLEEPING:	-----	40 PSF
STAIR LIVE LOAD:	-----	40 PSF
ROOF LIVE LOADS		
MINIMUM ROOF LIVE LOAD (PSF)		
TRIBUTARY LOADED AREA (SQ. FT.)		
FOR ANY STRUCTURAL MEMBER		
ROOF SLOPE	0-200	201-600
0:12 < 4:12	20	16
≥ 4:12 < 12:12	16	14
≥ 12:12	12	12

WIND INFORMATION		
PER 1TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE		
1. BASIC WIND SPEED:	-----	140 MPH
2. WIND IMPORTANCE FACTOR:	-----	N/A
3. BUILDING WIND EXPOSURE:	-----	B
4. INTERNAL PRESSURE	-----	+/- .18, INCLUDED COEFFICIENT: IN NOTE #5
5. COMPONENT / CLADDING	-----	SEE PLAN DESIGN WIND PRESSURE:
	+ XXX	DESIGN WIND PRESSURE IAW FLA
	- XXX	RESIDENTIAL CODE, SECTION R301
NOTE: DESIGN PRESSURES BASED ON BASIC WIND SPEED AND NOT ULTIMATE WIND SPEED.		

GENERAL NOTES		
1. PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.		
2. VENT DRYER THRU EXT. WALL OR ROOF.		
3. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.		
4. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.		
5. MECHANICAL EQUIPMENT LOCATION TO BE DETERMINED BY COMMUNITY STANDARDS AND APPLICABLE COUNTY CODES.		
6.  DENOTES CONC. BLOCK WALL HGT. @ 9'-4" AFF.		
 DENOTES CONC. BLOCK WALL HGT. @ 8'-4 3/4" AFF.		
7. REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH SPECIFICATIONS		
8. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES		
9. ANCHOR THE CONDENSER UNIT TO SLAB PER CODE: M1307.2 & I307.3.1		
10. ALL INTER. FIRST FLOOR CEILINGS AT 9'-4" UNLESS NOTED OTHERWISE.		
ALL INTER. SECOND FLOOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.		

S.G.D. OPTIONS				
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)				
  				
DBL. WDW. OPT. @ DINING				
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)				
GMT. KIT. OPT.				
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)				
OPT. BR. 2 & B. 2				
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)				
WINDOW SCHEDULE				
(ROUGH OPENINGS ARE APPROXIMATE ONLY, REFER TO WINDOW SPECIFICATIONS)				
WINDOW- FIN (SINGLE HUNG)	ROUGH OPENING		EGRESS OPENING	
	FRAME	BLOCK	OPENING H' X W'	MIN. NET CLEAR
SH2030	24' X 36"			
SH2040	24' X 48"			
SH3030	36' X 36"			
SH3040	36' X 48"			
SH3050	36' X 60'		26.62' X 30.81'	5.71 SQFT
SH3060	36' X 72'		32.62' X 30.81'	1.00 SQFT
SH4040	48' X 48"			
SH4050	48' X 60"		26.62' X 42.81'	7.93 SQFT
SH4060	48' X 72'		32.62' X 42.81'	9.71 SQFT

FLOOR PLAN W/ NOTES "B"		
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)		

<p>USE THIS LOCATION FOR C.U. IN HARTWOOD ONLY</p>  <p>4" CONC. PAD</p>	
<p>NOTE: HVAC CONDENSATE LINE TO TERMINATE NEXT TO EXTERIOR HVAC UNITS.</p>	
<p>USE THIS LOCATION FOR C.U. IN WG, LAKS, DEER, RIV, SUMM ONLY</p>  <p>4" CONC. PAD</p>	
<p>USE THIS LOCATION FOR C.U. IN WG, LAKS, DEER, RIV, SUMM ONLY</p>  <p>4" CONC. PAD</p>	
<p>4" BOLLARD FOR MECH. PROTECTION</p>	
<p>NOTE: OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" (35 MM) IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8" (35 MM) THICK, OR 20-MINUTE FIRE-RATED DOORS IAW R302.5.1 OF THE FBCR 2020, 1TH ED.</p>	
<p>NOTE: ALL INTERIOR DOORS ON THIS FLOOR TO BE: 6"-8" UNO. - VERIFY WITH COLOR SHEET.</p>	

<p>THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION</p>	
<p>LOT SPECIFIC INFORMATION</p>	<p>OPTION B - EXTENDED BONUS</p>
<p>Engineering By: PRASHAKAR N. JAGTAP, P.E. 5890 MARLBERRY DRIVE ORLANDO, FL 32819 PHONE: 407-345-0010 INFO@RDCFLA.COM</p>	<p>Engineering By: PRASHAKAR N. JAGTAP, P.E. 5890 MARLBERRY DRIVE ORLANDO, FL 32819 PHONE: 407-345-0010 INFO@RDCFLA.COM</p>
<p>DATE 07-31-19</p>	<p>SCALE AS NOTED</p>
<p>DRAWN RDC</p>	<p>JOB 2718</p>
<p>47</p>	<p>OF 26 SHEETS</p>

FLOOR PLAN W/ NOTES	
2718 BISCAYNE	DREAM FINDERS HOMES

Item 5.
---------

PER 11TH EDITION, 2020 FLORIDA BUILDING  
RESIDENTIAL CODE

FLOOR: STRUCTURE	-----	1 PSF
CEILINGS	-----	3 PSF
MECH/ELEC	-----	5 PSF
PARTITIONS	-----	5 PSF
<b>TOTAL</b>	<b>-----</b>	<b>20 PSF</b>

ROOF:	SHEATHING	-----	5 PSF
	STRUCTURE	-----	7 PSF
	CEILINGS	-----	3 PSF
	MECH/ELEC	-----	5 PSF
	TOTAL	-----	20 PSF

RESIDENTIAL FLOOR:-----	40	PSF
ATTIC WITHOUT STORAGE:-----	10	PSF
ATTIC WITH LIMITED STORAGE:-----	20	PSF
GUARDRAILS & HANDRAILS:-----	200	LBS
GUARDRAILS IN-FLL COMP.:-----	50	PSF
SLEEPING ROOMS:-----	30	PSF
ROOMS OTHER THAN SLEEPING:-----	40	PSF
STAIR LIVE LOAD:-----	40	PSF

MINIMUM ROOF LIVE LOAD (PSF)  
TRIBUTARY LOADED AREA (SQ. FT.)  
FOR ANY STRUCTURAL MEMBER

ROOF SLOPE	0-200	201-600	OVER 600
0:12 < 4:12	20	16	12
≥ 4:12 < 12:12	16	14	12
≥ 12:12	12	12	12

PER 7TH EDITION, 2020 FLORIDA BUILDING  
RESIDENTIAL CODE



1. BASIC WIND SPEED: -----140 MPH
2. WIND IMPORTANCE FACTOR: -----N/A
3. BUILDING WIND EXPOSURE: ----- B
4. INTERNAL PRESSURE ---- +/- .18, INCLUDED  
COEFFICIENT: IN NOTE #5
5. COMPONENT / CLADDING ----- SEE PLAN  
DESIGN WIND PRESSURE:

+	XXX	DESIGN WIND PRESSURE IAW FLA
-	XXX	RESIDENTIAL CODE, SECTION R301

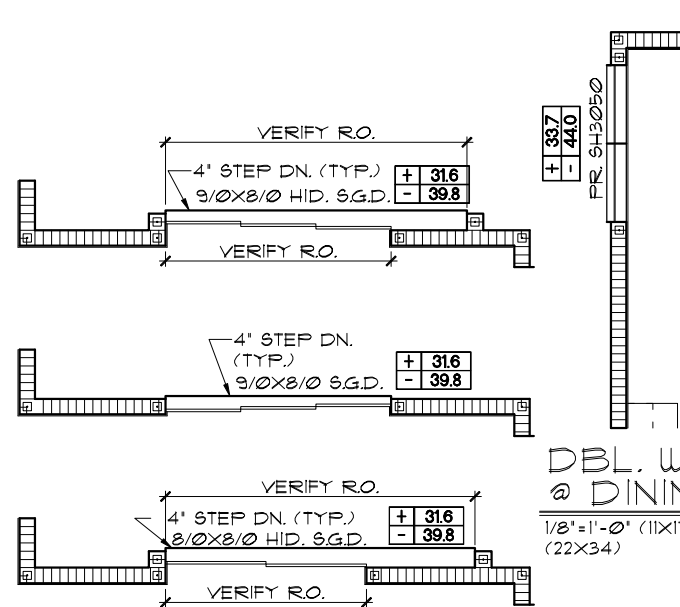
NOTE: DESIGN PRESSURES BASED ON  
BASIC WIND SPEED AND NOT ULTIMATE  
WIND SPEED.

1. PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.

2. VENT DRYER THRU EXT. WALL OR ROOF.
3. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
4. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
5. MECHANICAL EQUIPMENT LOCATION TO BE DETERMINED BY COMMUNITY STANDARDS AND APPLICABLE COUNTY CODES.

6.  DENOTES CONC. BLOCK WALL HGT. @ **9'-4" A.F.F.**
-  DENOTES CONC. BLOCK WALL HGT. @ **8'-4 3/4" A.F.F.**

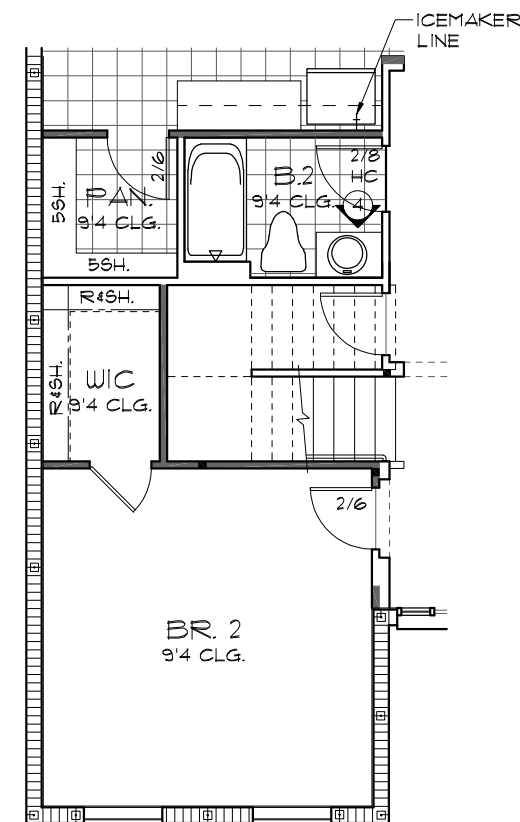
7. REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH SPECIFICATIONS
8. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES
9. ANCHOR THE CONDENSER UNIT TO SLAB PER CODE: M1307.2 + 1307.3.1
10. ALL INTER. FIRST FLOOR CEILINGS AT 9'-4" UNLESS NOTED OTHERWISE.
- ALL INTER. SECOND FLOOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.



DBL. WDW. OPT.  
@ DINING

$$\begin{array}{l} 1/8" = 1' - 0" \quad (11 \times 17) \quad 1/4" = 1' - 0" \\ (22 \times 34) \end{array}$$

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

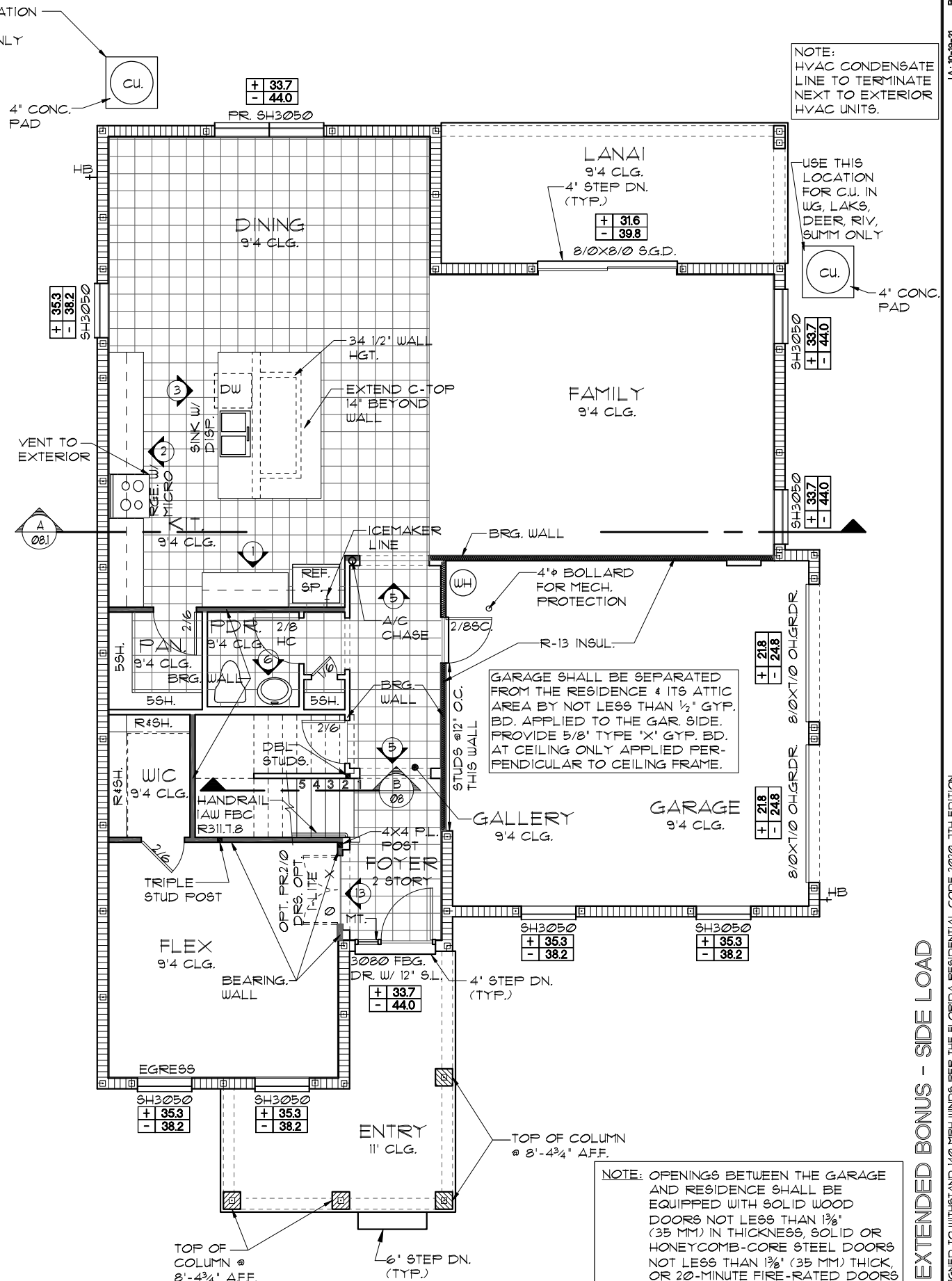


OPT. BR. 2 & B. 2

$1/8'' = 1' - \emptyset''$  (11x17)  $1/4'' = 1' - \emptyset''$  (22x34)

(ROUGH OPENINGS ARE APPROXIMATE ONLY, REFER TO WINDOW SPECIFICATIONS)

WINDOW- FIN (SINGLE HUNG)	ROUGH OPENING		EGRESS OPENING	
	FRAME	BLOCK	OPENING H' X W'	MIN. NET CLEAR
5H2030	24" X 36"			
5H2040	24" X 48"			
5H3030	36" X 36"			
5H3040	36" X 48"			
5H3050	36" X 60"		26.62" X 30.81"	5.71 SQFT
5H3060	36" X 72"		32.62" X 30.81"	7.00 SQFT
5H4040	48" X 48"			
5H4050	48" X 60"		26.62" X 42.81"	7.93 SQFT
5H4060	48" X 72"		32.62" X 42.81"	9.71 SQFT



NOTE:  
HVAC CONDENSATE  
LINE TO TERMINATE  
NEXT TO EXTERIOR  
HVAC UNITS.

USE THIS  
LOCATION  
FOR C.U. IN  
WG, LAKS,  
DEER, RIV,  
SUMM ONLY

GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ITS ATTIC AREA BY NOT LESS THAN 1/2" GYP. BD. APPLIED TO THE GAR. SIDE. PROVIDE 5/8" TYPE 'X' GYP. BD. AT CEILING ONLY APPLIED PERPENDICULAR TO CEILING FRAME.

NOTE: OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" (35 MM) IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8" (35 MM) THICK, OR 20-MINUTE FIRE-RATED DOORS IAW R302.5.1 OF THE FBCR 2020, 7TH ED.

NOTE: ALL INTERIOR DOORS ON THIS FLOOR TO BE: **6'-8"** U.N.O. - VERIFY WITH COLOR SHEET.

## LOT SPECIFIC INFORMATION

NOT SPECIFIC INFORMATION

CODE 2020	REVISIONS: 09-22-21	BY: DH
-----------	---------------------	--------

17-61-21 BI-NF

2718 BISCAYNE

2718 BISCAVNE  
DREAM FINDERS HOMES

# FLOOR PLAN W/ NOTES



**DREAM FINDERS**  
THE MARK OF A QUALITY HOME

Engineering By:  
PRABHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
JJAAGTAP@RDCFLA.COM

4301 VINELAND RD  
SUITE: E-1  
ORLANDO, FL 32817  
INFO@RDCFLA.COM

The logo for RDC (Robert D. Chittenden) is located at the bottom right of the page. It features a stylized, colorful graphic of a person's head and shoulders in shades of blue, green, and yellow, positioned to the left of the letters "RDC" in a bold, black, sans-serif font.

tem 5.



PER 7TH EDITION, 2020 FLORIDA BUILDING  
RESIDENTIAL CODE

FLOOR: STRUCTURE	-----	1 PSF
CEILINGS	-----	3 PSF
MECH/ELEC	-----	5 PSF
PARTITIONS	-----	5 PSF
TOTAL	-----	20 PSF

ROOF:	SHEATHING	-----	5 PSF
	STRUCTURE	-----	7 PSF
	CEILINGS	-----	3 PSF
	MECH/ELEC	-----	5 PSF
	<b>TOTAL</b>	<b>-----</b>	<b>20 PSF</b>

RESIDENTIAL FLOOR:-----40 PSF  
ATTIC WITHOUT STORAGE:-----10 PSF  
ATTIC WITH LIMITED STORAGE:-----20 PSF  
GUARDRAILS & HANDRAILS:-----200 LBS  
GUARDRAILS IN-FLL COMP:-----50 PSF  
SLEEPING ROOMS:-----30 PSF  
ROOMS OTHER THAN SLEEPING:-----40 PSF  
STAIR LIVE LOAD:-----40 PSF

MINIMUM ROOF LIVE LOAD (PSF)  
 TRIBUTARY LOADED AREA (SQ. FT.)  
 FOR ANY STRUCTURAL MEMBER

ROOF SLOPE	0-200	201-600	OVER 600
0:12 < 4:12	20	16	12
≥ 4:12 < 12:12	16	14	12
≥ 12:12	12	12	12

PER 7TH EDITION, 2020 FLORIDA BUILDING  
RESIDENTIAL CODE



1. BASIC WIND SPEED: -----140 MPH
2. WIND IMPORTANCE FACTOR:-----N/A
3. BUILDING WIND EXPOSURE:----- B
4. INTERNAL PRESSURE ---- +/- .18, INCLUDED  
COEFFICIENT: IN NOTE #5
5. COMPONENT / CLADDING ----- SEE PLAN  
DESIGN WIND PRESSURE:

+	XXX	DESIGN WIND PRESSURE 1AW FLA
-	XXX	RESIDENTIAL CODE, SECTION R301

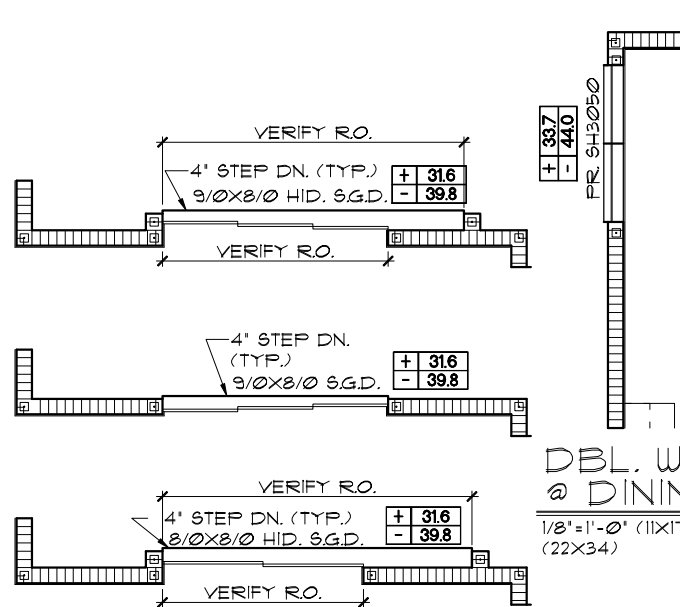
NOTE: DESIGN PRESSURES BASED ON  
BASIC WIND SPEED AND NOT ULTIMATE  
WIND SPEED.

1. PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.
2. VENT DRYER THRU EXT. WALL OR ROOF.
3. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
4. DO NOT SCALE PRINTS CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.

5. MECHANICAL EQUIPMENT LOCATION TO BE DETERMINED BY COMMUNITY STANDARDS AND APPLICABLE COUNTY CODES.

16.  DENOTES CONC. BLOCK WALL HGT. @ **9'-4" A.F.F.**
-  DENOTES CONC. BLOCK WALL HGT. @ **8'-4 3/4" A.F.F.**

1. REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH SPECIFICATIONS
2. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES
3. ANCHOR THE CONDENSER UNIT TO SLAB PER CODE: M1307.2 + 1307.3.1
10. ALL INTER. FIRST FLOOR CEILINGS AT 9'-4" UNLESS NOTED OTHERWISE.
- ALL INTER. SECOND FLOOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.



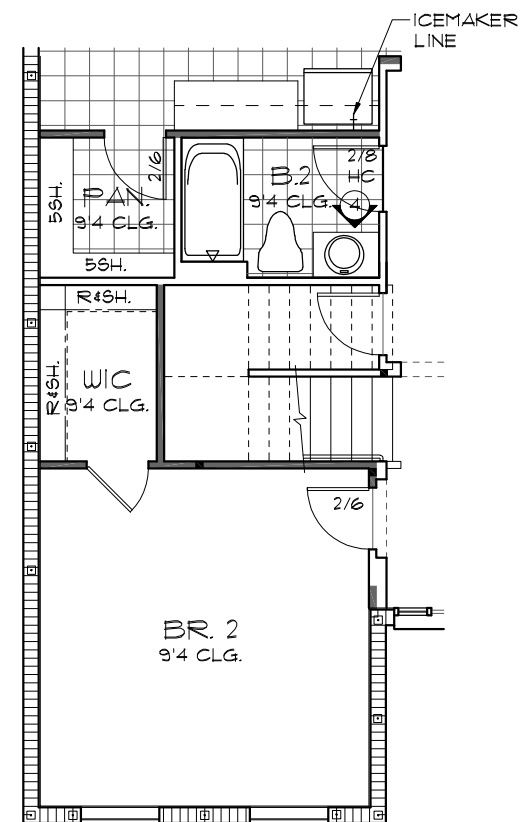
DBL. WDW. OPT.  
@ DINING

$$\frac{1}{8}'' = 1' - \emptyset'' \quad (11 \times 17) \quad \frac{1}{4}'' = 1' - \emptyset''$$

$$(22 \times 34)$$

## S.G.D. OPTIONS

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

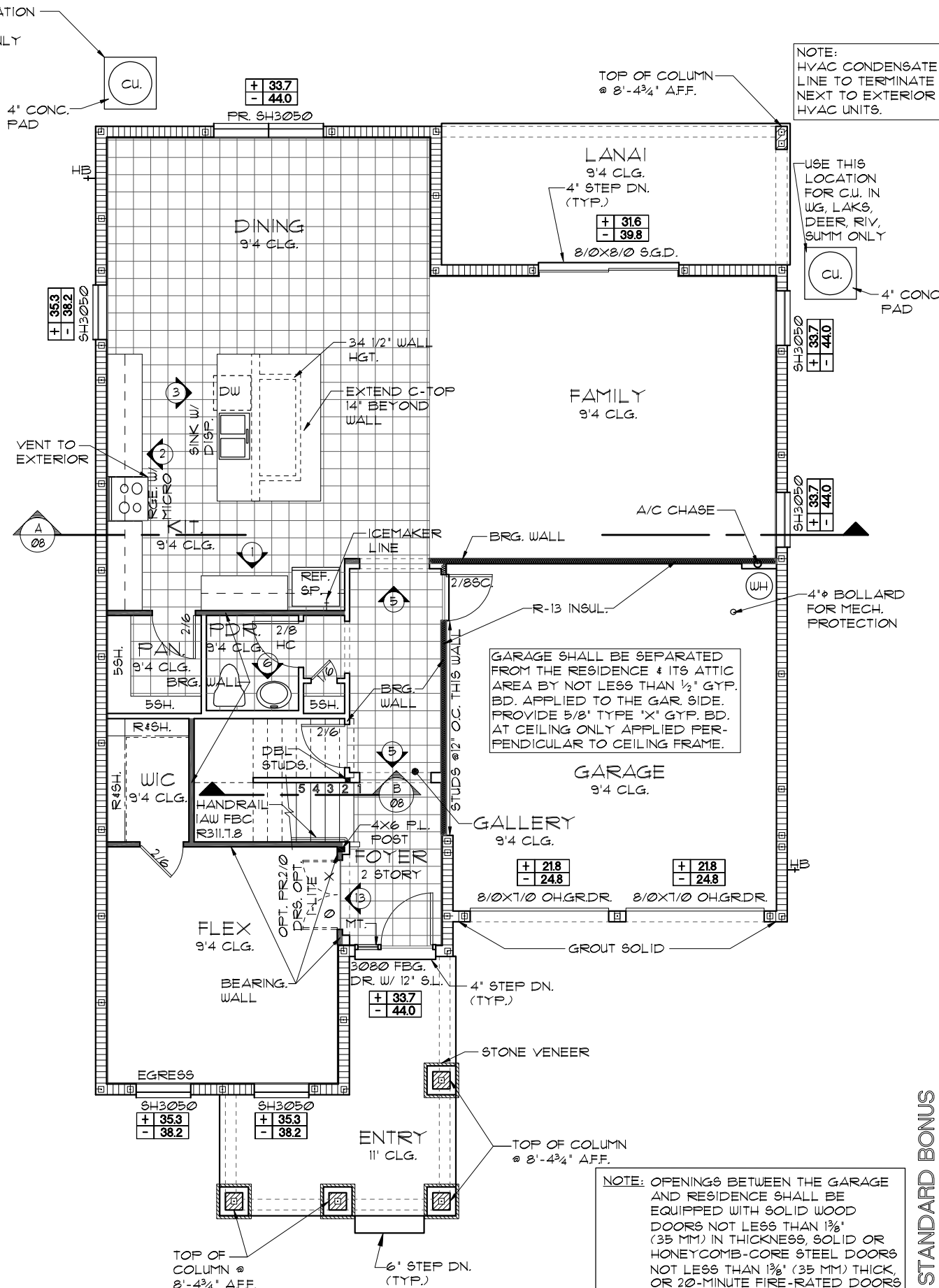


OPT. BR. 2 & B. 2

1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

(ROUGH OPENINGS ARE APPROXIMATE ONLY, REFER TO WINDOW SPECIFICATIONS)

WINDOW- FIN (SINGLE HUNG)	ROUGH OPENING		EGRESS OPENING	
	FRAME	BLOCK	OPENING H' X W'	MIN. NET CLEAR
SH2030	24' X 36'			
SH2040	24' X 48'			
SH3030	36' X 36'			
SH3040	36' X 48'			
SH3050	36' X 60'		26.62' X 30.87'	5.71 SQFT
SH3060	36' X 72'		32.62' X 30.87'	7.00 SQFT
SH4040	48' X 48'			
SH4050	48' X 60'		26.62' X 42.87'	7.93 SQFT
SH4060	48' X 72'		32.62' X 42.87'	9.71 SQFT



**NOTE:** OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" (35 MM) IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8" (35 MM) THICK, OR 20-MINUTE FIRE-RATED DOORS IAW R302.5.1 OF THE FBCR 2020, 11TH ED.

NOTE: ALL INTERIOR DOORS ON THIS FLOOR TO BE: **6'-8"** U.N.O. - VERIFY WITH COLOR SHEET.

### OPTION A - STANDARD BONUS

## LOT SPECIFIC INFORMATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

BY: DH

20	REVISIONS 09-22-21	BY: DH
	<p>Designs are not to be copied or reproduced without permission from Dream Finders 4 RDC</p>	

**Engineering By:**  
 PRABHAKAR N. JAGTAP, P.E.  
 5890 MARLBERRY DRIVE  
 ORLANDO, FL 32819  
 PHONE: 407-345-0010  
 JUAGTAP@RDCFLA.COM

4301 VINELAND RD  
 SUITE: F-1  
 ORLANDO, FL 32818  
 INFO@RDCFLA.COM

**CODE 202**

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**DREAM FINDERS**  
THE MARK OF QUALITY HUNTS





# FLOOR PLAN W/ NOTES

2718 BISCAYNE

DREAM FINDERS HOMES

DATE 07-31-19

SCALE AS NOTED

DRAIN	RDC
-------	-----

JOB	2718
-----	------

9	40	
---	----	--

OF 26 SHEETS





PER 7TH EDITION, 2020 FLORIDA BUILDING  
RESIDENTIAL CODE

FLOOR: STRUCTURE	-----	1 PSF
CEILINGS	-----	3 PSF
MECH/ELEC	-----	5 PSF
PARTITIONS	-----	5 PSF
TOTAL	-----	20 PSF

ROOF:	SHEATHING	-----	5 PSF
	STRUCTURE	-----	7 PSF
	CEILINGS	-----	3 PSF
	MECH/ELEC	-----	5 PSF
	<b>TOTAL</b>	<b>-----</b>	<b>20 PSF</b>

RESIDENTIAL FLOOR:-----40 PSF  
ATTIC WITHOUT STORAGE:-----10 PSF  
ATTIC WITH LIMITED STORAGE:-----20 PSF  
GUARDRAILS & HANDRAILS:-----200 LBS  
GUARDRAILS IN-FLL COMP:-----50 PSF  
SLEEPING ROOMS:-----30 PSF  
ROOMS OTHER THAN SLEEPING:-----40 PSF  
STAIR LIVE LOAD:-----40 PSF

MINIMUM ROOF LIVE LOAD (PSF)  
 TRIBUTARY LOADED AREA (SQ. FT.)  
 FOR ANY STRUCTURAL MEMBER

ROOF SLOPE	0-200	201-600	OVER 600
0:12 < 4:12	20	16	12
≥ 4:12 < 12:12	16	14	12
≥ 12:12	12	12	12



PER 7TH EDITION, 2020 FLORIDA BUILDING  
RESIDENTIAL CODE

1. BASIC WIND SPEED: -----140 MPH
2. WIND IMPORTANCE FACTOR:-----N/A
3. BUILDING WIND EXPOSURE:----- B
4. INTERNAL PRESSURE ---- +/- .18, INCLUDED  
COEFFICIENT: IN NOTE #5
5. COMPONENT / CLADDING ----- SEE PLAN  
DESIGN WIND PRESSURE:

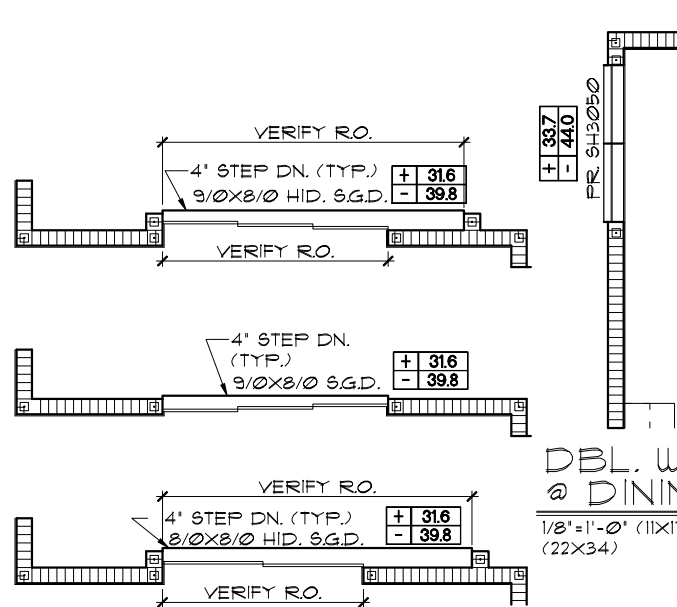
+	XXX	DESIGN WIND PRESSURE 1AW FLA
-	XXX	RESIDENTIAL CODE, SECTION R301

NOTE: DESIGN PRESSURES BASED ON  
BASIC WIND SPEED AND NOT ULTIMATE  
WIND SPEED.

1. PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.
2. VENT DRYER THRU EXT. WALL OR ROOF.
3. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
4. DO NOT SCALE PRINTS CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
5. MECHANICAL EQUIPMENT LOCATION TO BE DETERMINED BY COMMUNITY STANDARDS AND APPLICABLE COUNTY CODES.

6.  DENOTES CONC. BLOCK WALL HGT. @ **9'-4" A.F.F.**
-  DENOTES CONC. BLOCK WALL HGT. @ **8'-4 3/4" A.F.F.**

1. REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH SPECIFICATIONS
2. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES
3. ANCHOR THE CONDENSER UNIT TO SLAB PER CODE: M1307.2 + 1307.3.1
4. ALL INTER. FIRST FLOOR CEILINGS AT 9'-4" UNLESS NOTED OTHERWISE.
5. ALL INTER. SECOND FLOOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.



USE THIS LOCATION  
FOR C.U. IN  
HARTWOOD ONLY

4" CONC.  
PAD

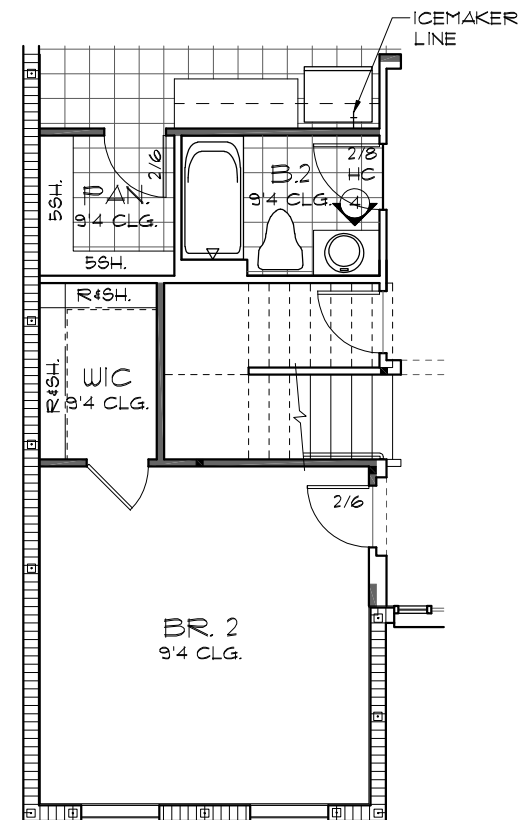
DBL. WDW. OPT.  
@ DINING

$$\frac{1}{8}'' = 1' - \emptyset'' \quad (11 \times 17) \quad \frac{1}{4}'' = 1' - \emptyset''$$

$$(22 \times 34)$$

## S.G.D. OPTIONS

$1/8" = 1' - 0"$  (11X17)     $1/4" = 1' - 0"$  (22X34)



GMT, KIT, OPT.

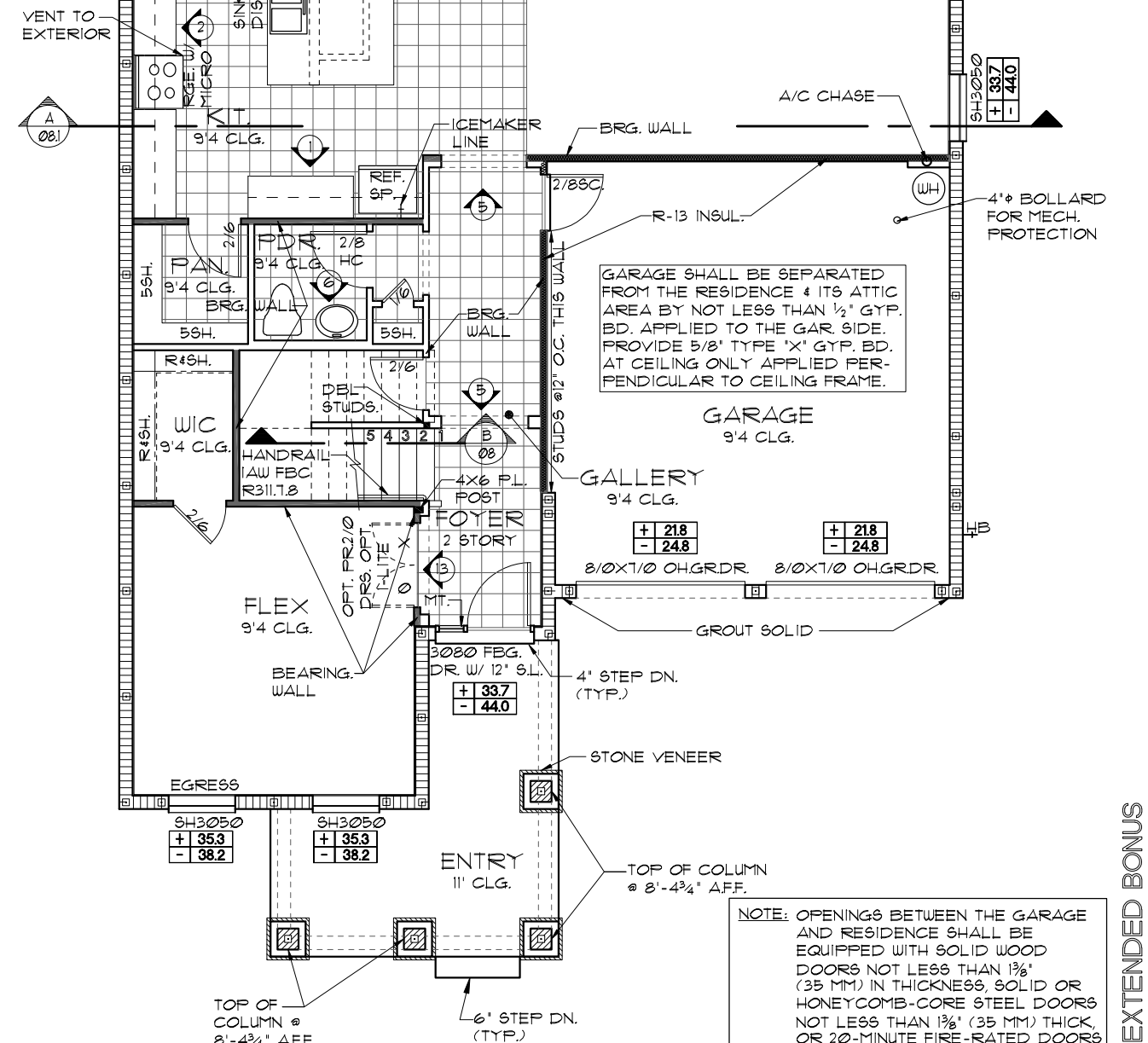
$$\frac{1}{8}'' = 1' - 0'' \quad (11 \times 17) \quad \frac{1}{4}'' = 1' - 0''$$

$$(22 \times 34)$$

## OPT. BR. 2 &amp; B. 2

1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

WINDOW SCHEDULE				
(ROUGH OPENINGS ARE APPROXIMATE ONLY, REFER TO WINDOW SPECIFICATIONS)				
WINDOW- FIN (SINGLE HUNG)	ROUGH OPENING		EGRESS OPENING	
	FRAME	BLOCK	OPENING H' X W'	MIN. NET CLEAR
SH2030	24" X 36"			
SH2040	24" X 48"			
SH3030	36" X 36"			
SH3040	36" X 48"			
SH3050	36" X 60"		26.62" X 30.81"	5.11 SQFT
SH3060	36" X 72"		32.62" X 30.81"	1.00 SQFT
SH4040	48" X 48"			
SH4050	48" X 60"		26.62" X 42.81"	1.93 SQFT
SH4060	48" X 72"		32.62" X 42.81"	9.71 SQFT



NOTE:  
HVAC CONDENSATE  
LINE TO TERMINATE  
NEXT TO EXTERIOR  
HVAC UNITS.

USE THIS  
LOCATION  
FOR C.U. IN  
WG, LAKS,  
DEER, RIV,  
SUMM ONLY

LARD  
CH.  
TION

GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ITS ATTIC AREA BY NOT LESS THAN 1/2" GYP. BD. APPLIED TO THE GAR. SIDE. PROVIDE 5/8" TYPE 'X' GYP. BD. AT CEILING ONLY APPLIED PERPENDICULAR TO CEILING FRAME.

GARAGE  
9'4 CLG.

GALLERY  
9'4 CLG.

— GROUT SOLID —

STEP DN  
(TYP.)

## STONE VENEER

TOP OF COLUMN  
@ 8'-4 $\frac{3}{4}$ " A.F.F.

NOTE: OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" (35 MM) IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8" (35 MM) THICK, OR 20-MINUTE FIRE-RATED DOORS IAW R302.5.1 OF THE FBCR 2020, 1TH ED.

NOTE: ALL INTERIOR DOORS ON THIS FLOOR TO BE: **6'-8"** U.N.O. - VERIFY WITH COLOR SHEET.

### OPTION B - EXTENDED BONUS

## LOT SPECIFIC INFORMATION

designs are not to be copied  
n from Dream Finders & RDC.

**Engineering By:**  
**PRABHAKAR N. JAGTAP, P.E.**  
**5890 MARLBERRY DRIVE**  
**ORLANDO, FL 32819**  
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**ORLANDO, FL 32811**  
**INFO@RDCFLA.COM**

**DREAM FINDERS**  
THE MAKER OF A QUALITY HOME



**ERDC**



# FLOOR PLAN W/ NOTES

2718 BISCAYNE

DREAM FINDERS HOMES

DATE 07-31-19  
SCALE AS NOTED  
DRAWN RDC  
JOB 2718  
51  
OSC.1  
OF 26 SHEETS

PER 7TH EDITION, 2020 FLORIDA BUILDING  
RESIDENTIAL CODE

FLOOR: STRUCTURE	-----	1 PSF
CEILINGS	-----	3 PSF
MECH/ELEC	-----	5 PSF
PARTITIONS	-----	5 PSF
TOTAL	-----	20 PSF

ROOF:	SHEATHING	-----	5 PSF
	STRUCTURE	-----	7 PSF
	CEILINGS	-----	3 PSF
	MECH/ELEC	-----	5 PSF
	TOTAL	-----	20 PSF

RESIDENTIAL FLOOR:-----40 PSF  
ATTIC WITHOUT STORAGE:-----10 PSF  
ATTIC WITH LIMITED STORAGE:-----20 PSF  
GUARDRAILS & HANDRAILS:-----200 LBS  
GUARDRAILS IN-FLL COMP.:-----50 PSF  
SLEEPING ROOMS:-----30 PSF  
ROOMS OTHER THAN SLEEPING:-----40 PSF  
STAIR LIVE LOAD:-----40 PSF

MINIMUM ROOF LIVE LOAD (PSF)  
TRIBUTARY LOADED AREA (SQ. FT.)  
FOR ANY STRUCTURAL MEMBER

ROOF SLOPE	0-200	201-600	OVER 600
0:12 < 4:12	20	16	12
≥ 4:12 < 12:12	16	14	12
≥ 12:12	12	12	12

PER 7TH EDITION, 2020 FLORIDA BUILDING  
RESIDENTIAL CODE

1. BASIC WIND SPEED: -----140 MPH
2. WIND IMPORTANCE FACTOR:-----N/A
3. BUILDING WIND EXPOSURE:----- B
4. INTERNAL PRESSURE ---- +/- .18, INCLUDED  
COEFFICIENT: IN NOTE #5
5. COMPONENT / CLADDING ----- SEE PLAN  
DESIGN WIND PRESSURE:

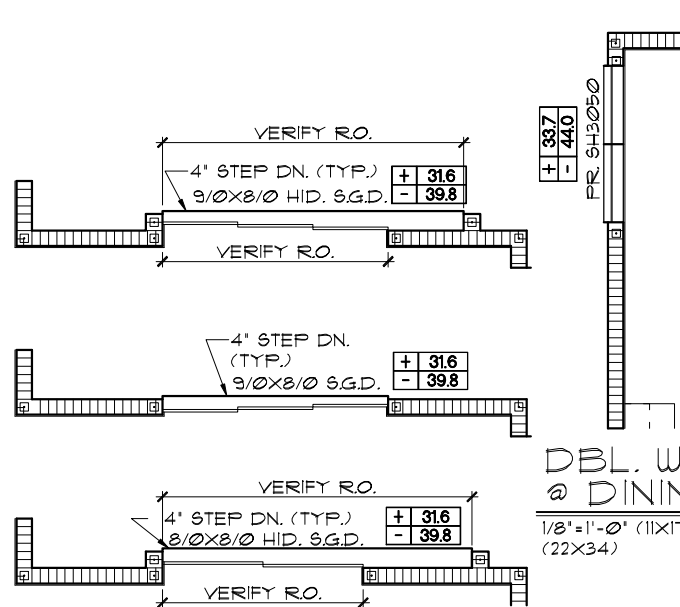
+	XXX	DESIGN WIND PRESSURE 1AW FLA
-	XXX	RESIDENTIAL CODE, SECTION R301

NOTE: DESIGN PRESSURES BASED ON  
BASIC WIND SPEED AND NOT ULTIMATE  
WIND SPEED.

1. PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.
2. VENT DRYER THRU EXT. WALL OR ROOF.
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4. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
5. MECHANICAL EQUIPMENT LOCATION TO BE DETERMINED BY COMMUNITY STANDARDS AND APPLICABLE COUNTY CODES.

- 6.

1. REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH SPECIFICATIONS
2. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES
3. ANCHOR THE CONDENSER UNIT TO SLAB PER CODE: M1307.2 + I307.3.1
4. ALL INTER. FIRST FLOOR CEILINGS AT 9'-4" UNLESS NOTED OTHERWISE.
5. ALL INTER. SECOND FLOOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.

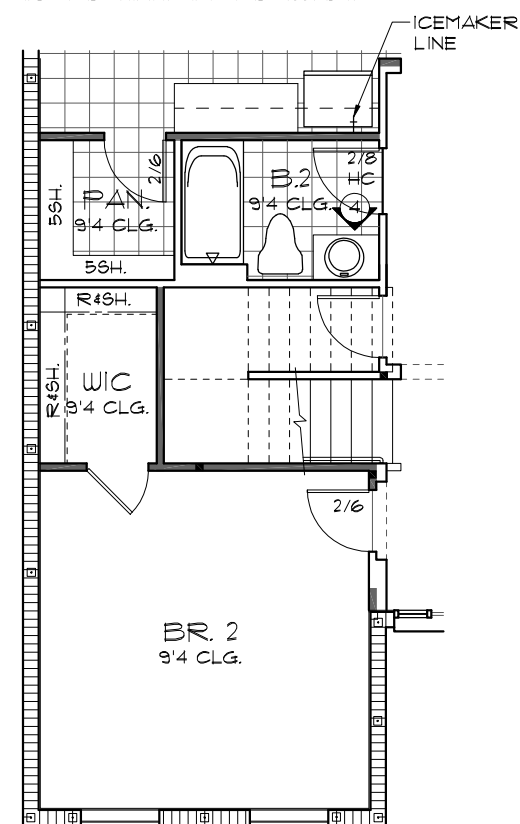


DBL. WDW. OPT.  
@ DINING

$$\begin{aligned} 1/8^3 &= 1^3 - 0^3 \quad (11 \times 17) & 1/4^3 &= 1^3 - 0^3 \\ (22 \times 34) \end{aligned}$$

### S.G.D. OPTIONS

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

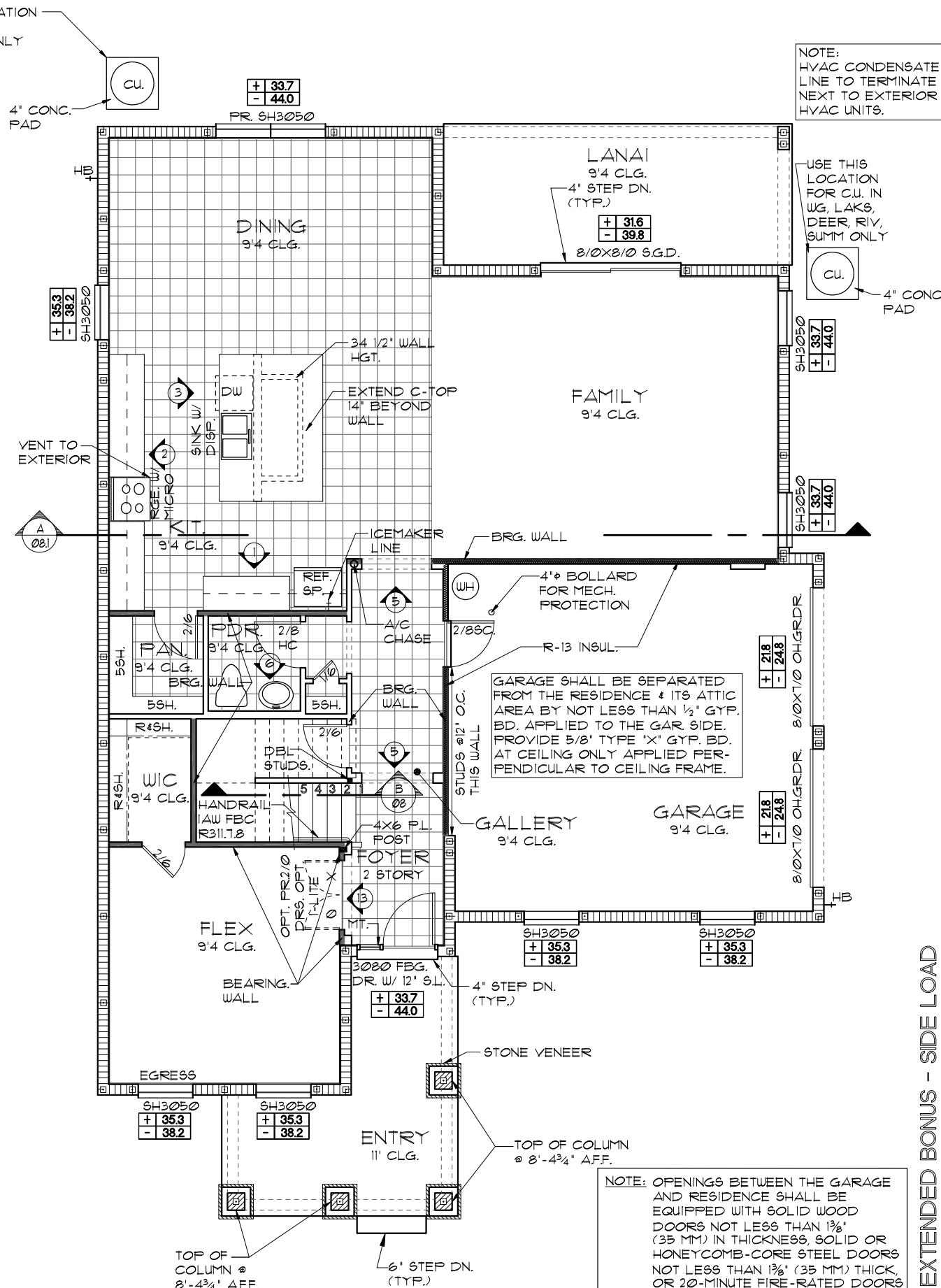


OPT. BR. 2 & B. 2

$1/8'' = 1' - \emptyset''$  (11X17)     $1/4'' = 1' - \emptyset''$  (22X34)

(ROUGH OPENINGS ARE APPROXIMATE ONLY, REFER TO WINDOW SPECIFICATIONS)

WINDOW- FIN (SINGLE HUNG)	ROUGH OPENING		EGRESS OPENING	
	FRAME	BLOCK	OPENING H' X W'	MIN. NET CLEAR
SH2030	24" X 36"			
SH2040	24" X 48"			
SH3030	36" X 36"			
SH3040	36" X 48"			
SH3050	36" X 60"		26.62' X 30.81'	5.71 SQFT
SH3060	36" X 72"		32.62' X 30.81'	7.00 SQFT
SH4040	48" X 48"			
SH4050	48" X 60"		26.62' X 42.81'	7.93 SQFT
SH4060	48" X 72"		32.62' X 42.81'	9.71 SQFT



NOTE:  
HVAC CONDENSATE  
LINE TO TERMINATE  
NEXT TO EXTERIOR  
HVAC UNITS.

USE THIS  
LOCATION  
FOR C.U. IN  
WG, LAKS,  
DEER, RIV,  
SUMM ONLY

GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ITS ATTIC AREA BY NOT LESS THAN 1/2" GYP. BD. APPLIED TO THE GAR. SIDE. PROVIDE 5/8" TYPE 'X' GYP. BD. AT CEILING ONLY APPLIED PERPENDICULAR TO CEILING FRAME.

**NOTE:** OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" (35 MM) IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8" (35 MM) THICK, OR 20-MINUTE FIRE-RATED DOORS IAW R302.5.1 OF THE FBCR 2020, 7TH ED.

NOTE: ALL INTERIOR DOORS ON THIS FLOOR TO BE: **6'-8"** U.N.O. - VERIFY WITH COLOR SHEET.

## LOT SPECIFIC INFORMATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 7TH EDITION

CODE 2020	REVISIONS: 09-22-21	BY: DH
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52 USC.1  
OF 26 SHEETS

JOB 2718

DRAWN	RDC
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DATE	07-31-19
NAME	ASAP

ing		
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2718 BISCAYNE

2718 BISCAVNE

FLOOR PLAN W/ NOTES



aining the express written



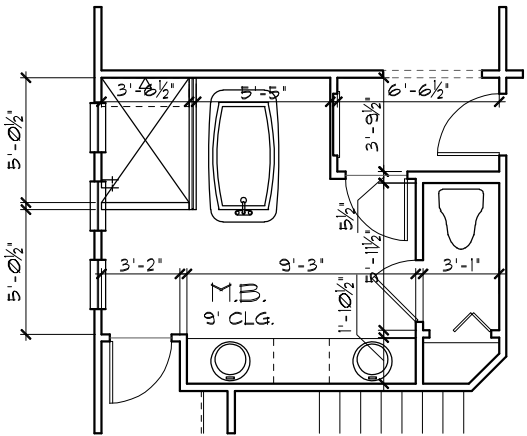
**DREAM FINDERS**  
THE MARK OF A QUALITY HOME

Engineering By:  
PRABHAKAR N. JAGTAP, P.E.  
5900 MARLBOROUGH DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
JAGTAP@RDCFLA.COM

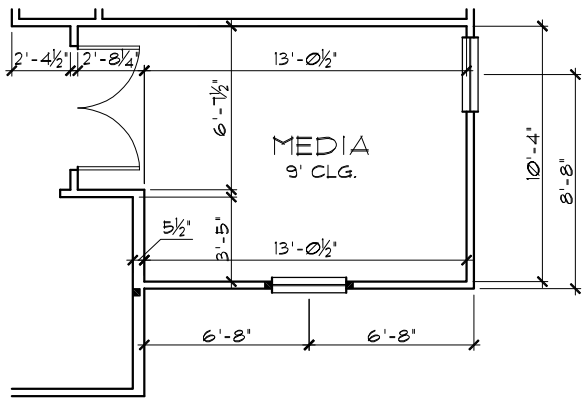
Item 5



- GENERAL NOTES
1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
  2. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
  3. ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3½" UNLESS NOTED OTHERWISE.
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  5. ALL INTERIOR CEILINGS AT **9'-0"** UNLESS NOTED OTHERWISE.
  6. MECHANICAL EQUIPMENT LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.

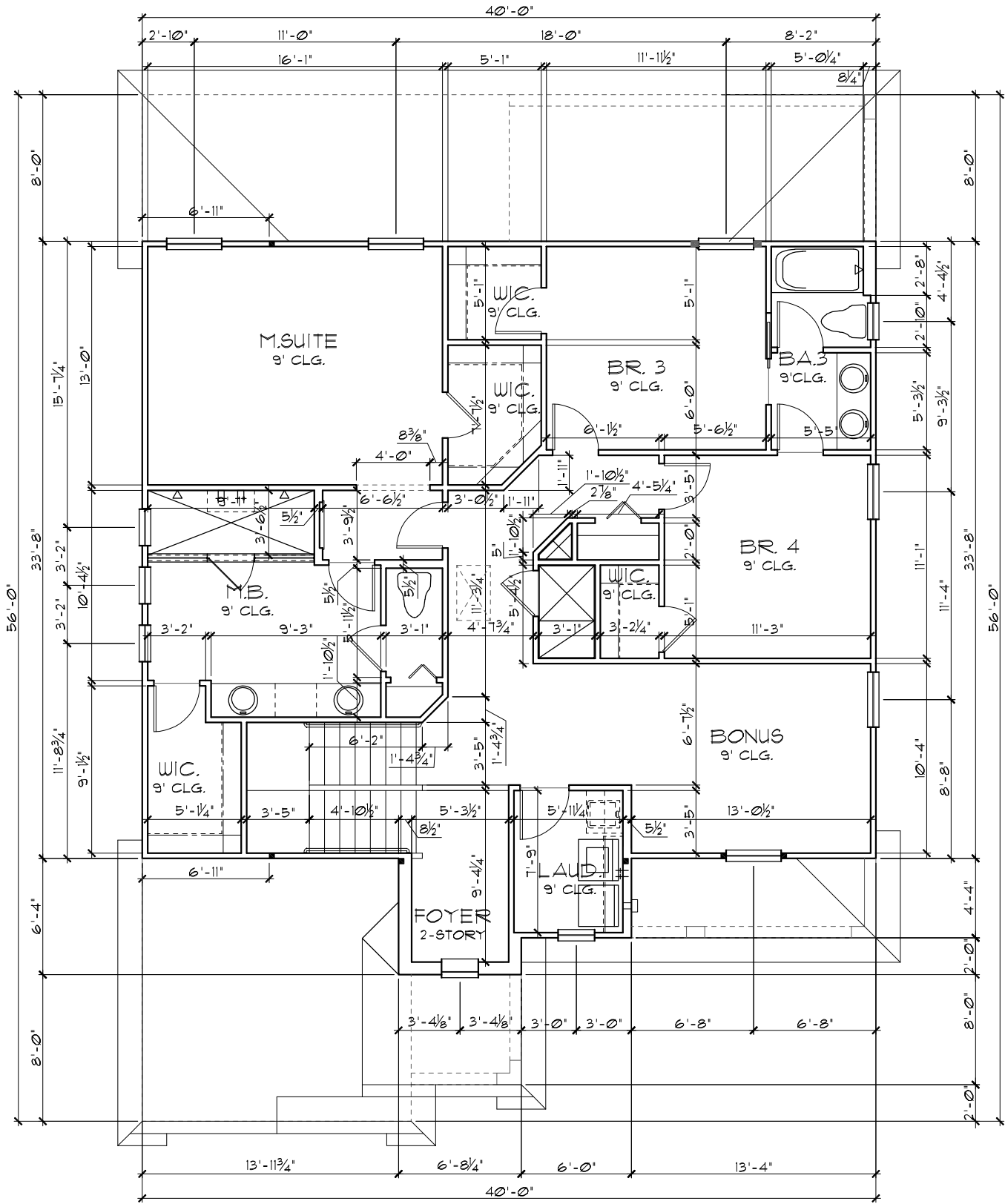


F.S. TUB OPT.  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPT. MEDIA ROOM  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

UPPER FLOOR PLAN W/ DIMENSIONS "A"  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION A - STANDARD BONUS

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

LOT SPECIFIC INFORMATION	REVISIONS 09-22-21	BY: DH
DATE	07-31-19	
SCALE	AS NOTED	
DRAWN	RDC	
JOB	2718	
53		
OF 26 SHEETS		

UPPER FLOOR PLAN W/ DIMENSIONS

2718 BISCAYNE

DREAM FINDERS HOMES

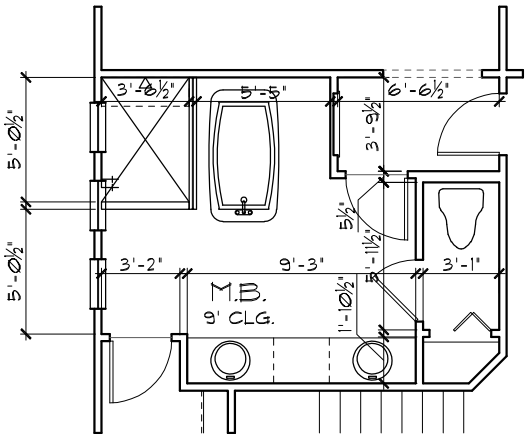
Engineering By:  
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5890 MARLBERRY DRIVE  
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J.JAGTAP@RDCFLA.COM

4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811  
INFO@RDCFLA.COM

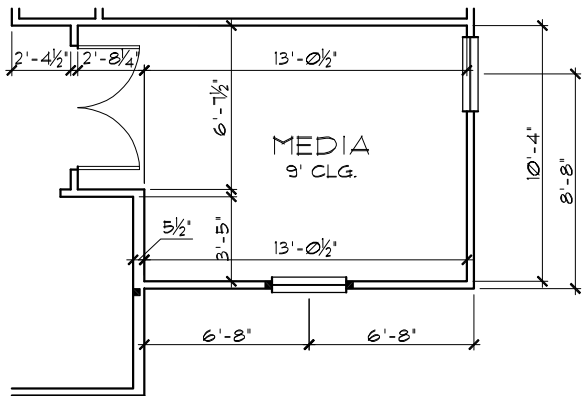
DREAM FINDERS  
THE MAKERS OF A QUALITY HOME

Item 5.

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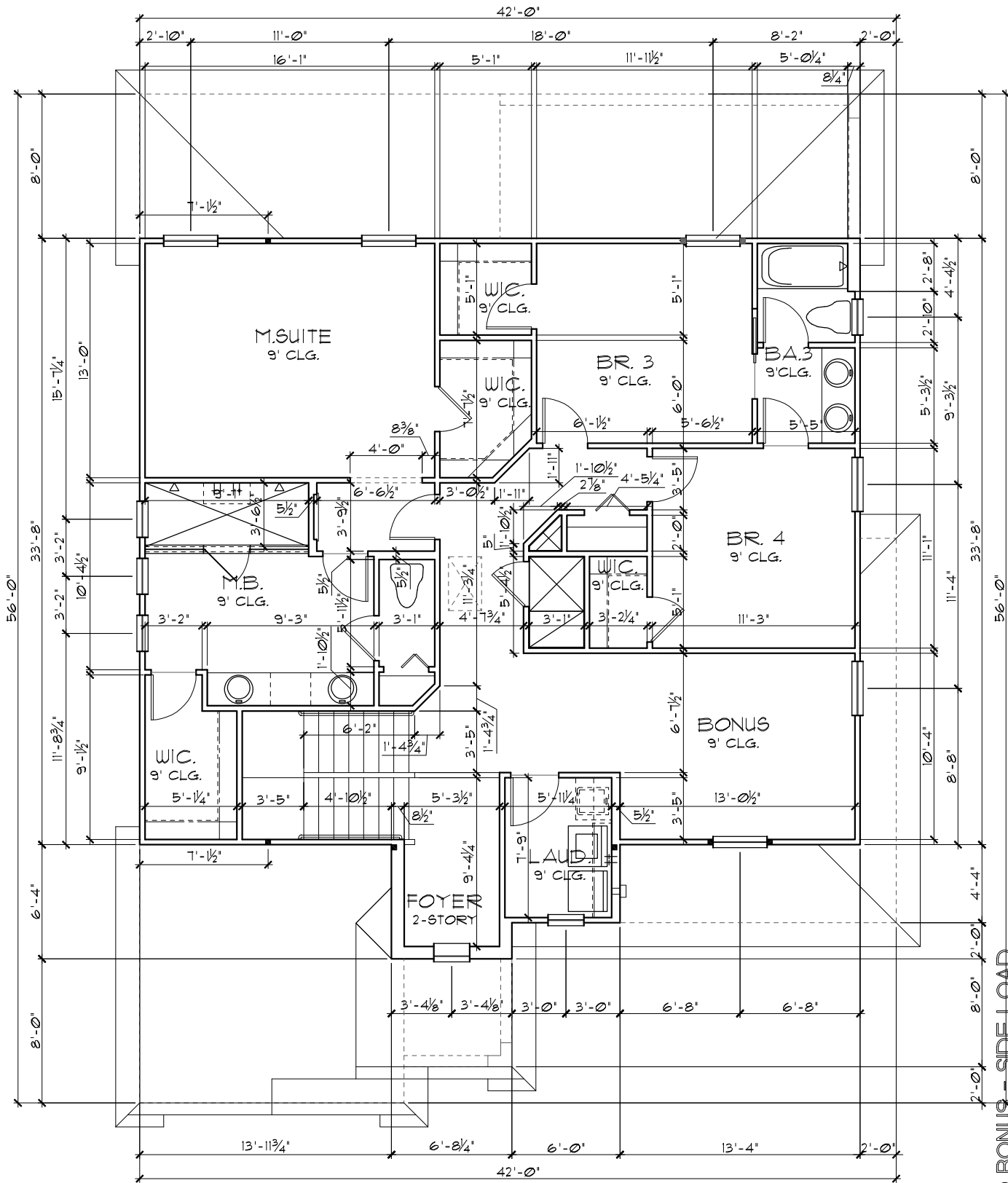
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OPT. MEDIA ROOM  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

## UPPER FLOOR PLAN W/ DIMENSIONS "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION A - STANDARD BONUS - SIDE LOAD

LOT SPECIFIC INFORMATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

CODE 2020

REVISIONS 08-22-21

BY: DH

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2718

RDC

SCALE AS NOTED

DATE 07-31-19

2718 BISCAYNE  
DREAM FINDERS HOMES

UPPER FLOOR PLAN W/  
DIMENSIONS



DREAM FINDERS  
THE MAKERS OF A QUALITY HOME

Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
INFO@RDCFLA.COM  
J.JAGTAP@RDCFLA.COM

4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811

Item 5.

LA: 10-19-21

BY: RP

- GENERAL NOTES
1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.

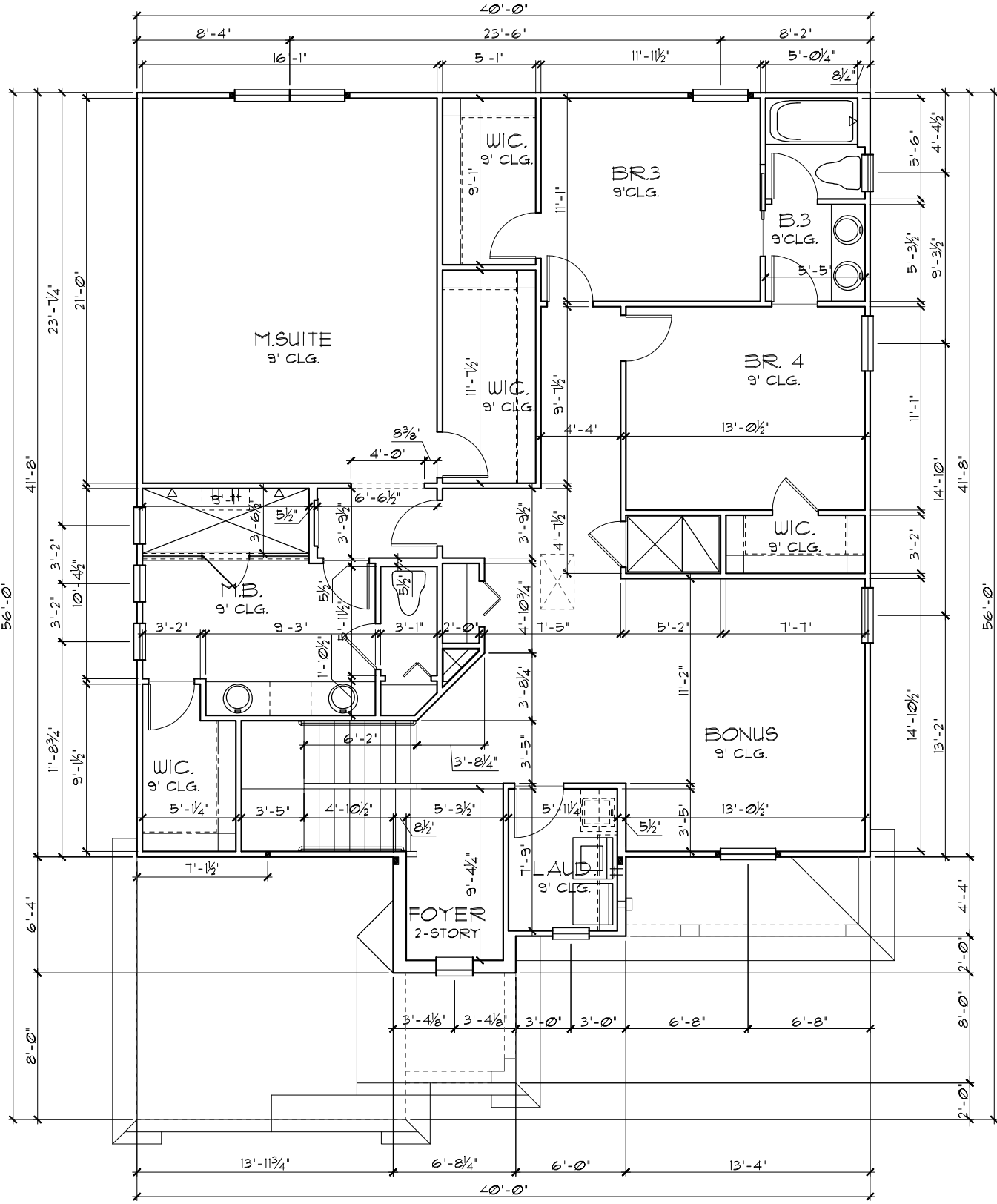
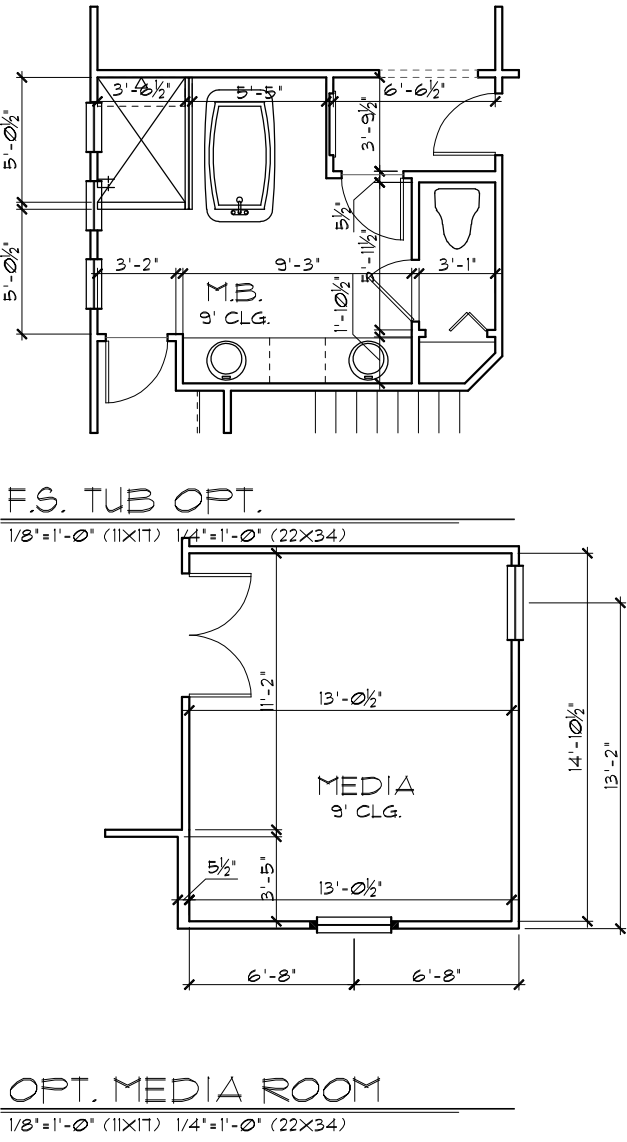
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6. MECHANICAL EQUIPMENT LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.



OPTION B - EXTENDED BONUS

LOT SPECIFIC INFORMATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

55

OF 26 SHEETS

UPPER FLOOR PLAN W/  
DIMENSIONS

2718 BISCAYNE

DREAM FINDERS HOMES

Engineering By:  
PRABHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
INFO@RDCFLA.COM  
J.JAGTAP@RDCFLA.COM

DREAM FINDERS  
THE MAKERS OF A QUALITY HOME

CODE 2020

REVISIONS 08-22-21

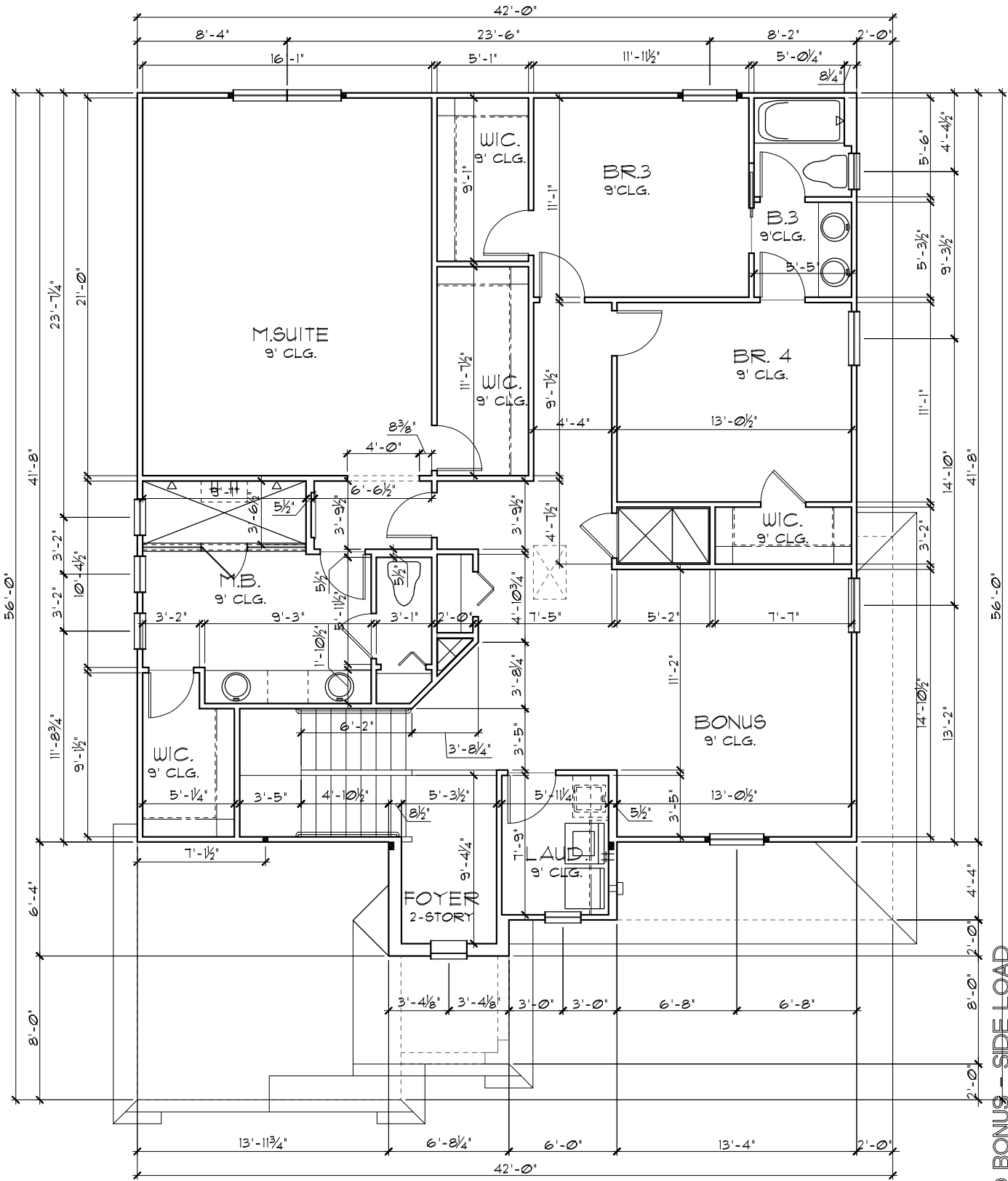
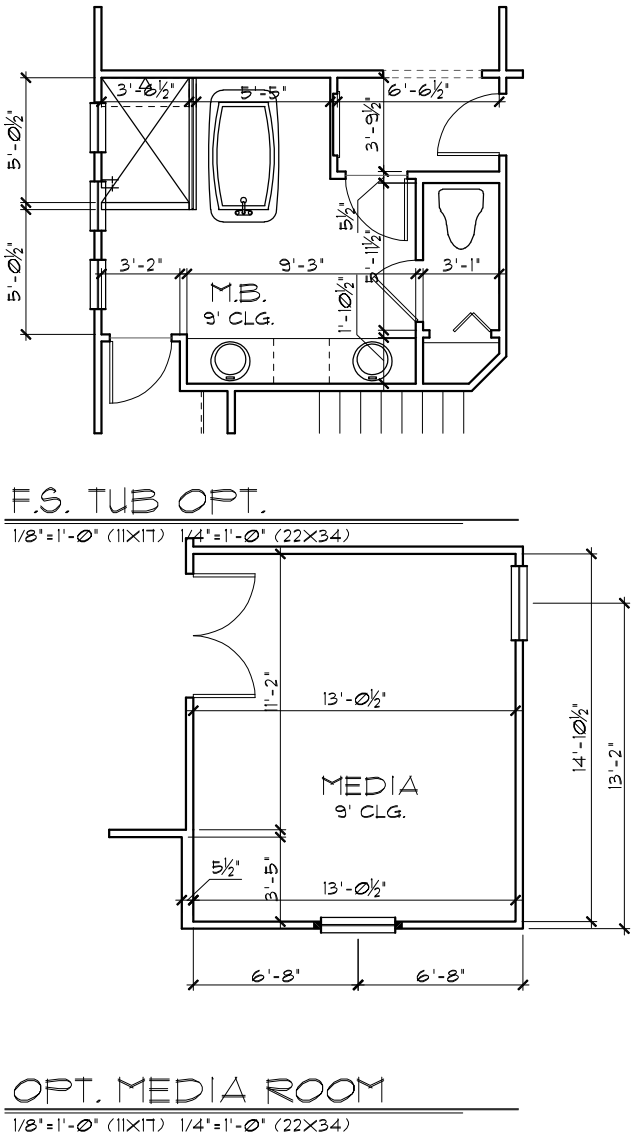
BY: DH

1A, 10-19-21

BY: RP

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OPTION B - EXTENDED BONUS - SIDE LOAD

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

LOT SPECIFIC INFORMATION

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

56

2718 BISCAYNE

DREAM FINDERS HOMES

UPPER FLOOR PLAN W/ DIMENSIONS

DREAM FINDERS

THE MARK OF A QUALITY DESIGN

Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
INFO@RDCFLA.COM  
J.JAGTAP@RDCFLA.COM

4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811  
INFO@RDCFLA.COM

REVISIONS 09-22-21

BY: DH

CODE 2020

LA: 10-10-21

BY: RP

Item 5.



- GENERAL NOTES
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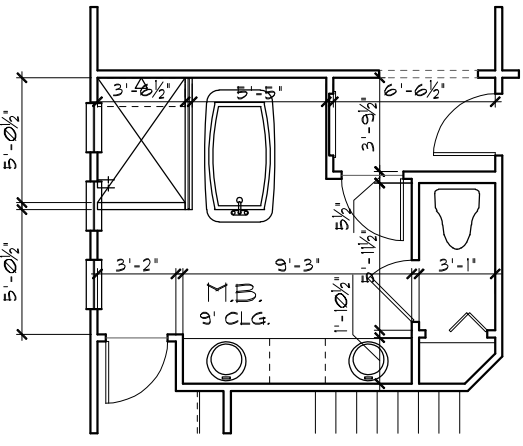
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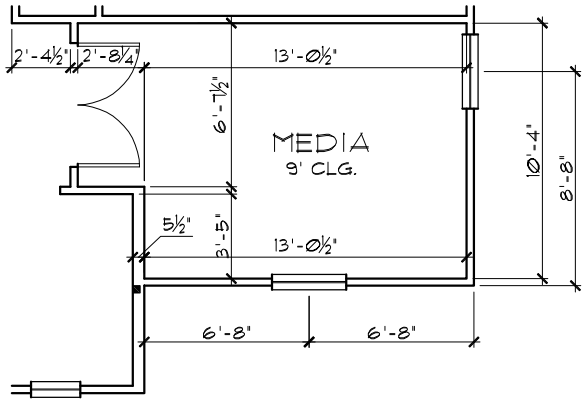
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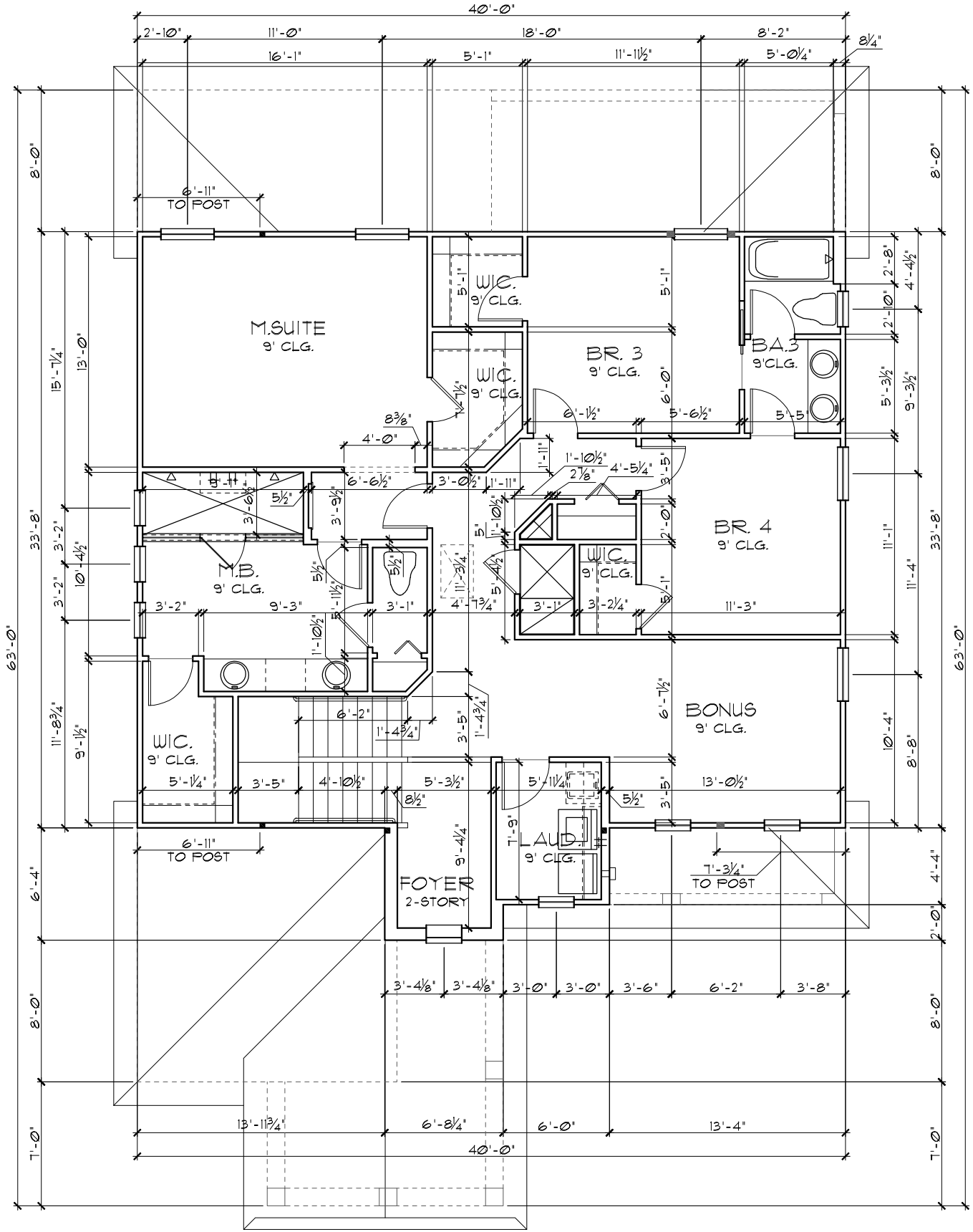
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F.S. TUB OPT.  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPT. MEDIA ROOM  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION A - STANDARD BONUS

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

LOT SPECIFIC INFORMATION

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

57

OF 26 SHEETS

Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

DREAM FINDERS  
THE MAKERS OF A QUALITY HOME

UPPER FLOOR PLAN W/  
DIMENSIONS

2718 BISCAVNE  
DREAM FINDERS HOMES

Item 5.

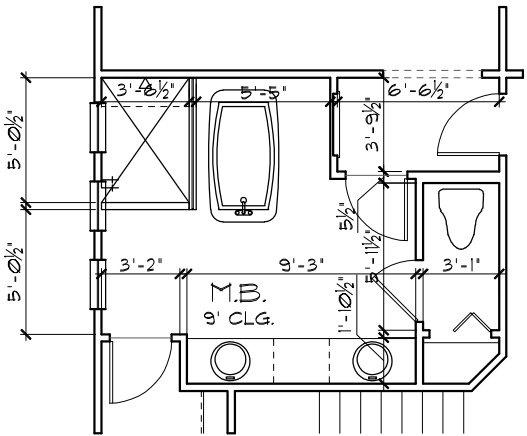
LA: 10-10-21 BY: RP

REVISIONS 09-22-21 BY: DH

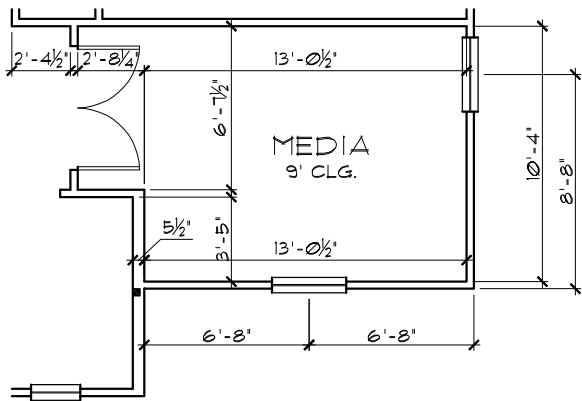
CODE 2020

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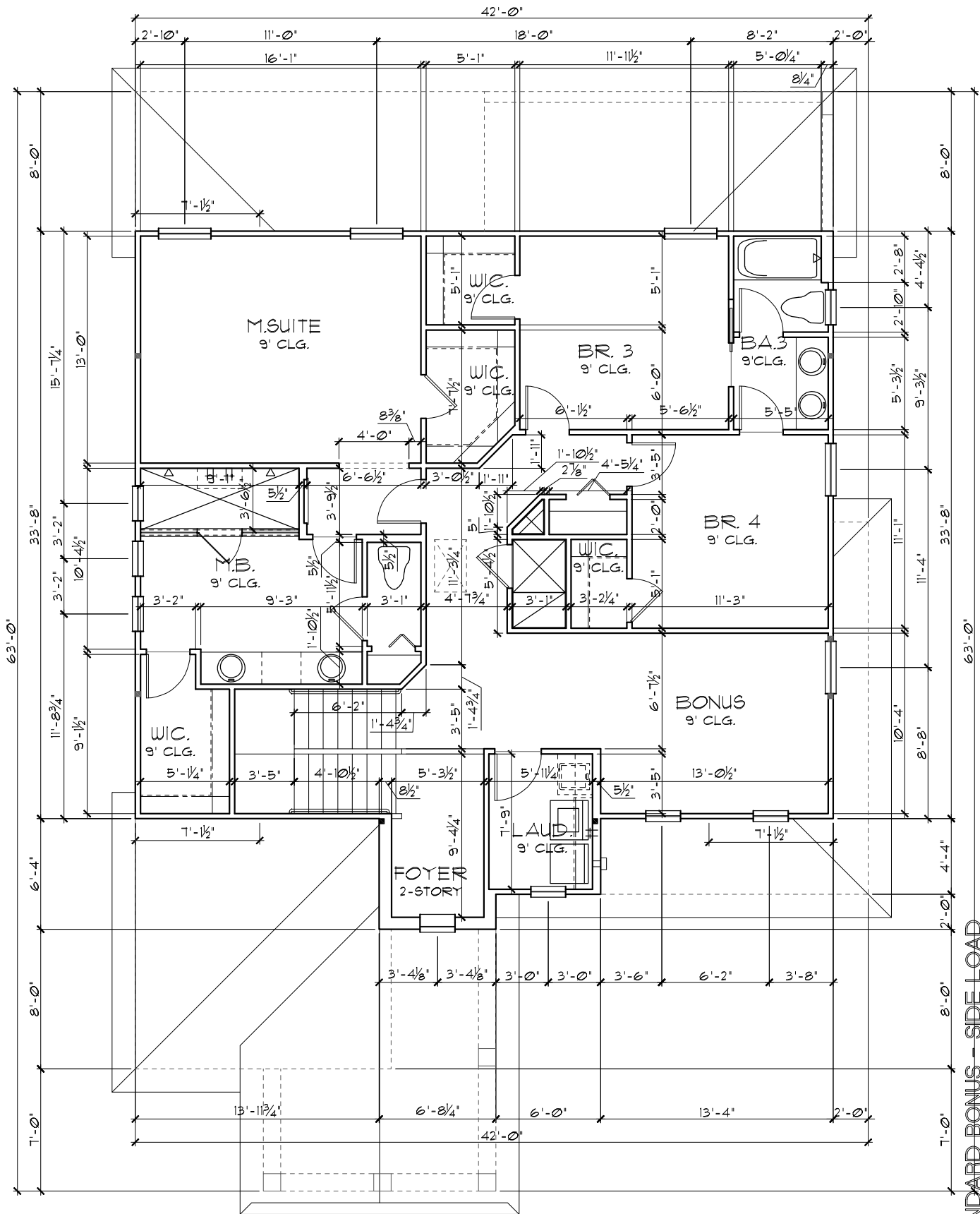
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1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

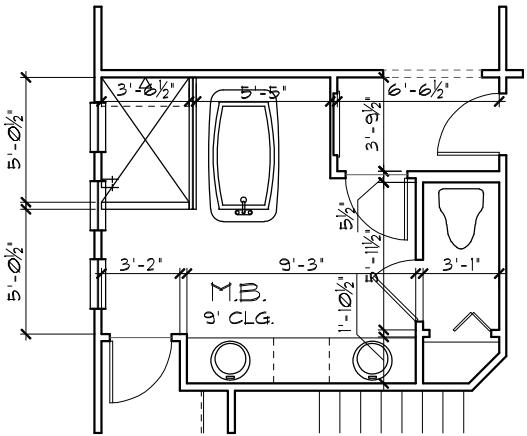


OPTION A - STANDARD BONUS - SIDE LOAD

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

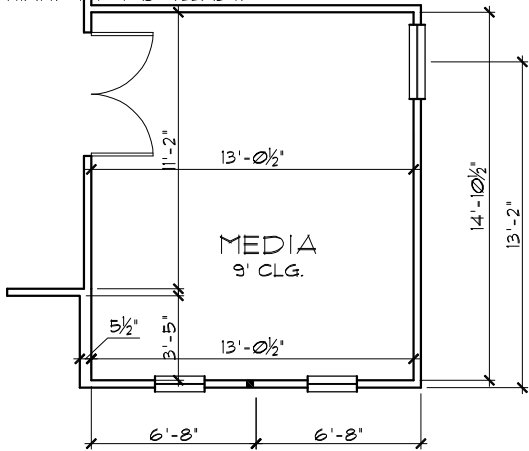
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4301 VINELAND RD. SUITE E-1 ORLANDO, FL 32811 INFO@RDCFLA.COM			
DREAM FINDERS THE MAKERS OF A QUALITY HOME			
UPPER FLOOR PLAN W/ DIMENSIONS			
2718 BISCAYNE DREAM FINDERS HOMES			
DATE	01-31-19	SCALE	AS NOTED
DRAWN	RDC	JOB	2718
58	OF 26	SHEETS	

- GENERAL NOTES
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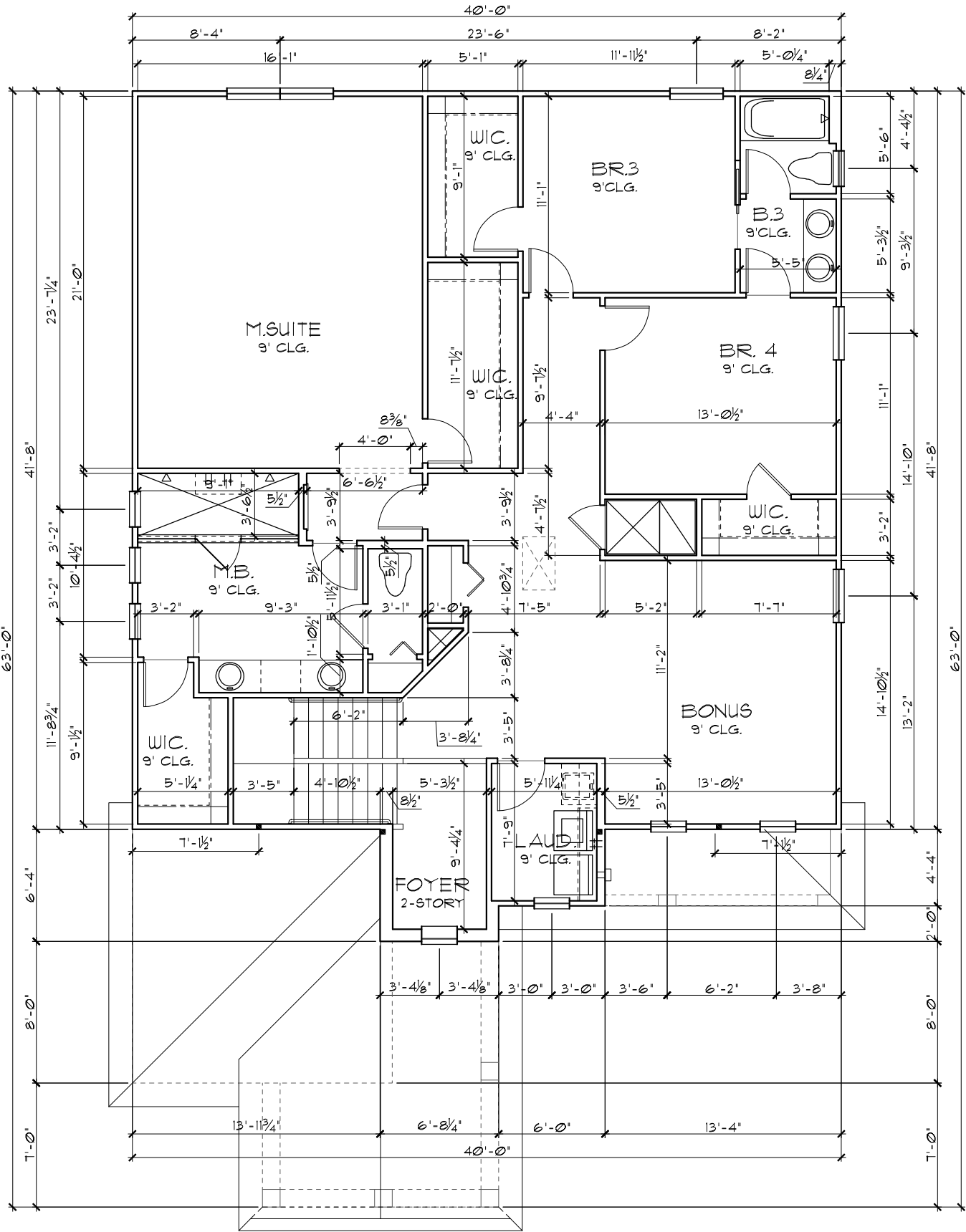


OPT. MEDIA ROOM

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

## UPPER FLOOR PLAN W/ DIMENSIONS "B"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



### OPTION B - EXTENDED BONUS

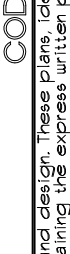
#### LOT SPECIFIC INFORMATION

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UPPER FLOOR PLAN W/  
DIMENSIONS

2718 BISCAYNE  
DREAM FINDERS HOMES

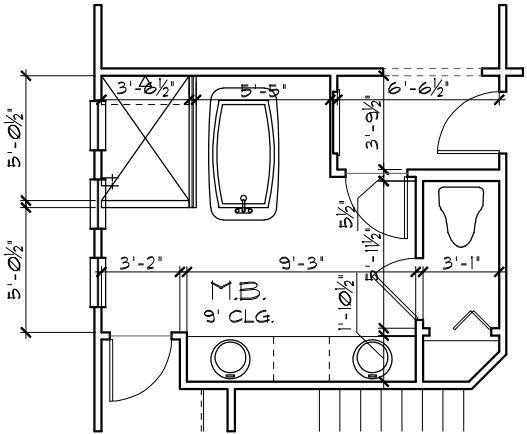
DATE 07-31-19  
SCALE AS NOTED  
DRAWN RDC  
JOB 2718  
59  
OF 26 SHEETS

CODE 2020 REVISIONS 08-22-21 BY: DH

1A, 10-19-21 BY: RP

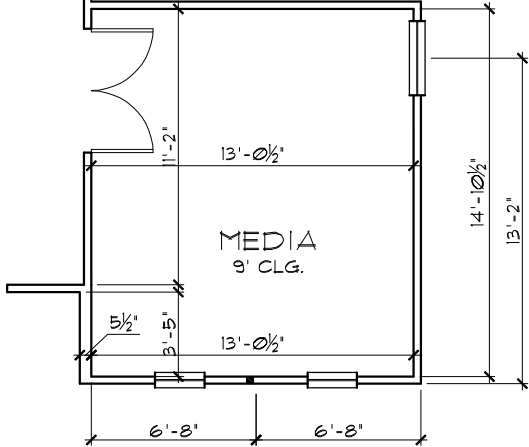
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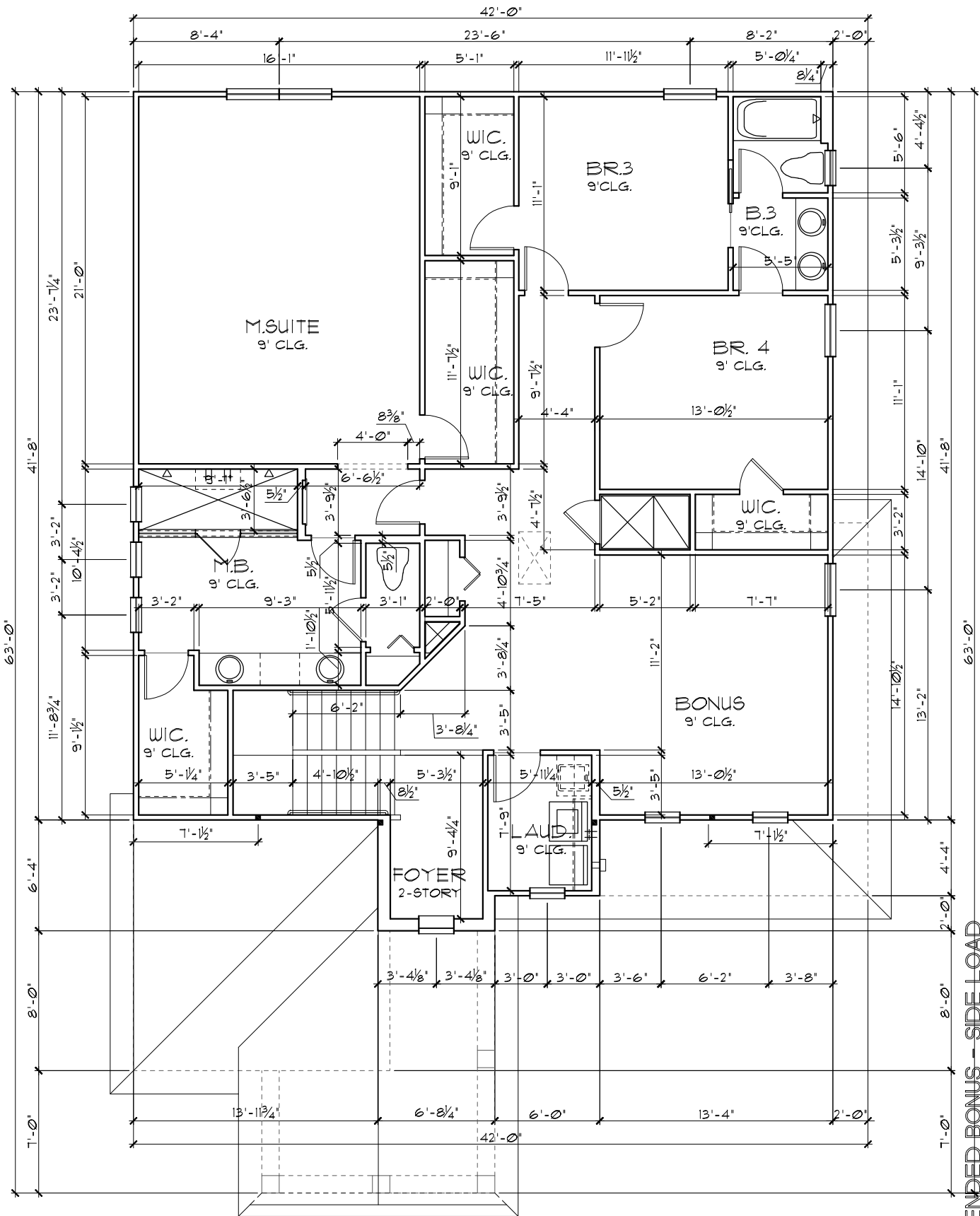


OPT. MEDIA ROOM

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

## UPPER FLOOR PLAN W/ DIMENSIONS "B"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION B - EXTENDED BONUS - SIDE LOAD

### LOT SPECIFIC INFORMATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

REVISIONS 09-22-21 BY: DH

CODE 2020

LA: 10-10-21 BY: RP

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60  
OF 26 SHEETS

JOB 2718

DRAWN RDC

SCALE AS NOTED

DATE 07-31-19

2718 BISCAYNE  
DREAM FINDERS HOMES

UPPER FLOOR PLAN W/  
DIMENSIONS

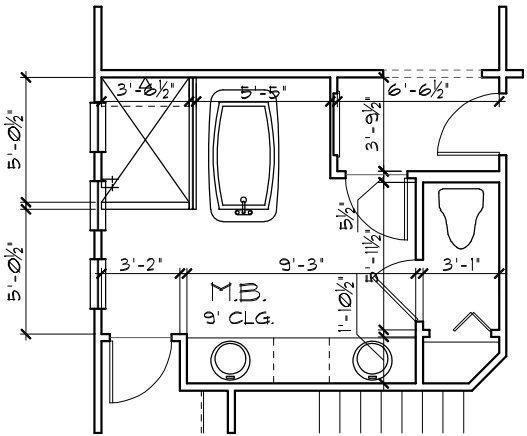


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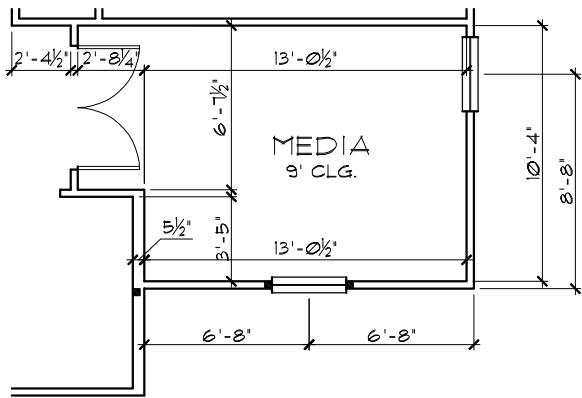
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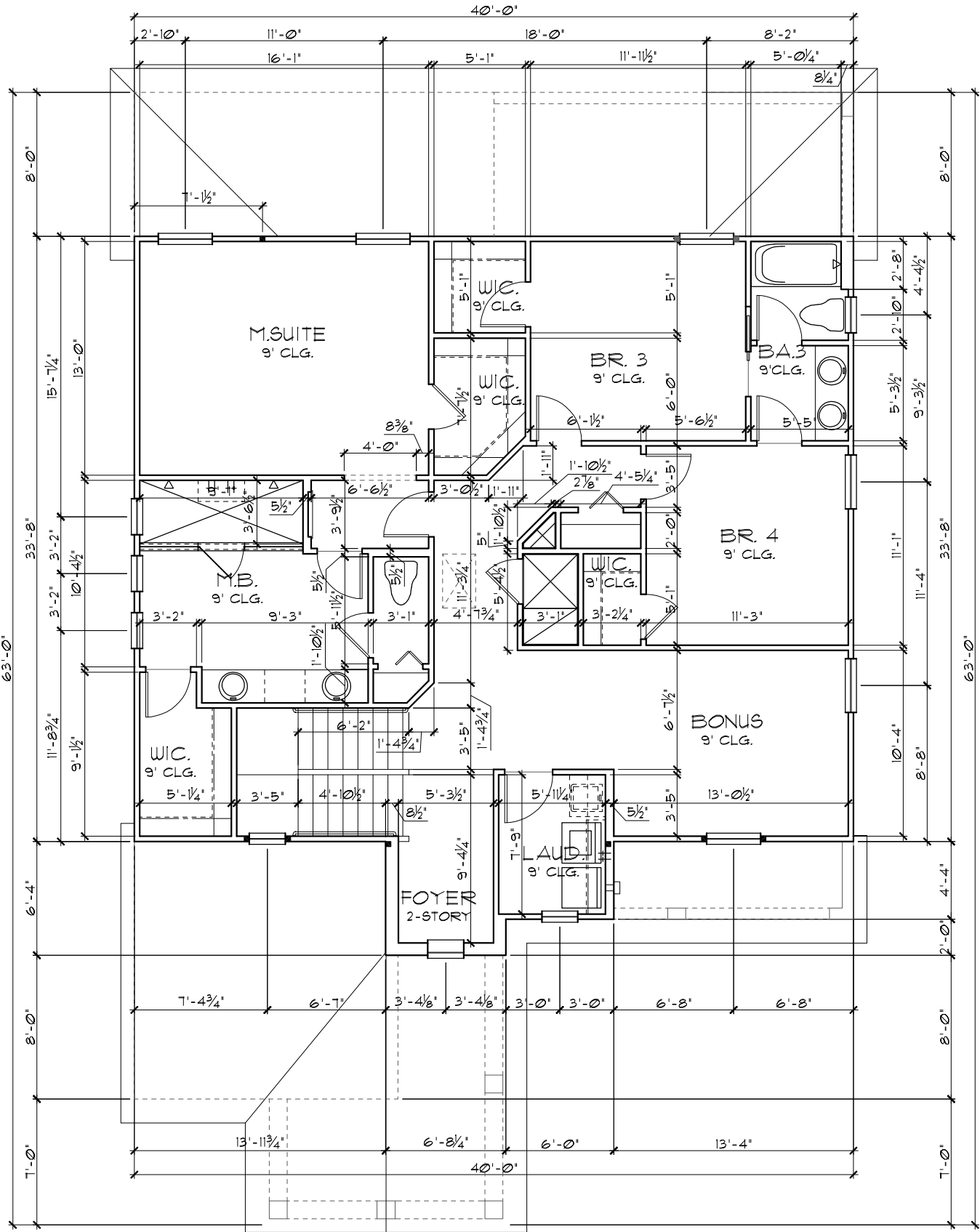
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OPT. MEDIA ROOM  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

UPPER FLOOR PLAN W/ DIMENSIONS "C"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION A - STANDARD BONUS

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

LOT SPECIFIC INFORMATION

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

61

OF 26 SHEETS

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PRABHAKAR N. JAGTAP, P.E.  
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PHONE: 407-345-0010  
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4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811  
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RDC

DREAM FINDERS  
THE MAKERS OF A QUALITY HOME

UPPER FLOOR PLAN W/  
DIMENSIONS

2718 BISCAYNE

DREAM FINDERS HOMES

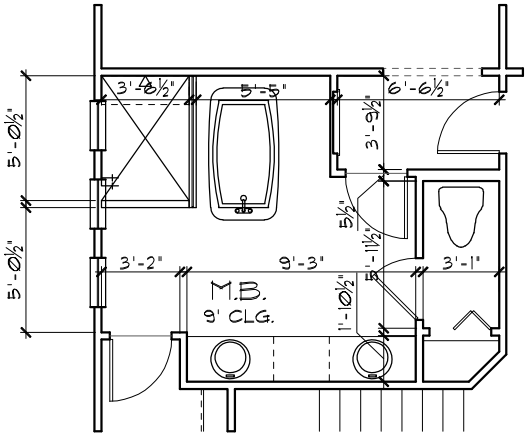
1A, 10-19-21 BY: RP

REVISIONS: 08-22-21 BY: DH

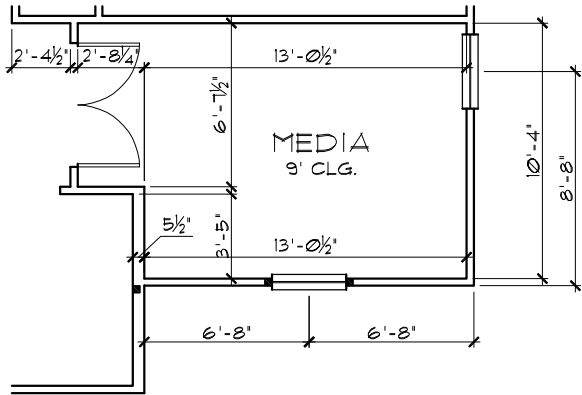
CODE 2020

Item 5.

- GENERAL NOTES
1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
  2. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
  3. ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3½" UNLESS NOTED OTHERWISE.
  4. ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 1½" UNLESS NOTED OTHERWISE.
  5. ALL INTERIOR CEILINGS AT **9'-0"** UNLESS NOTED OTHERWISE.
  6. MECHANICAL EQUIPMENT LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.

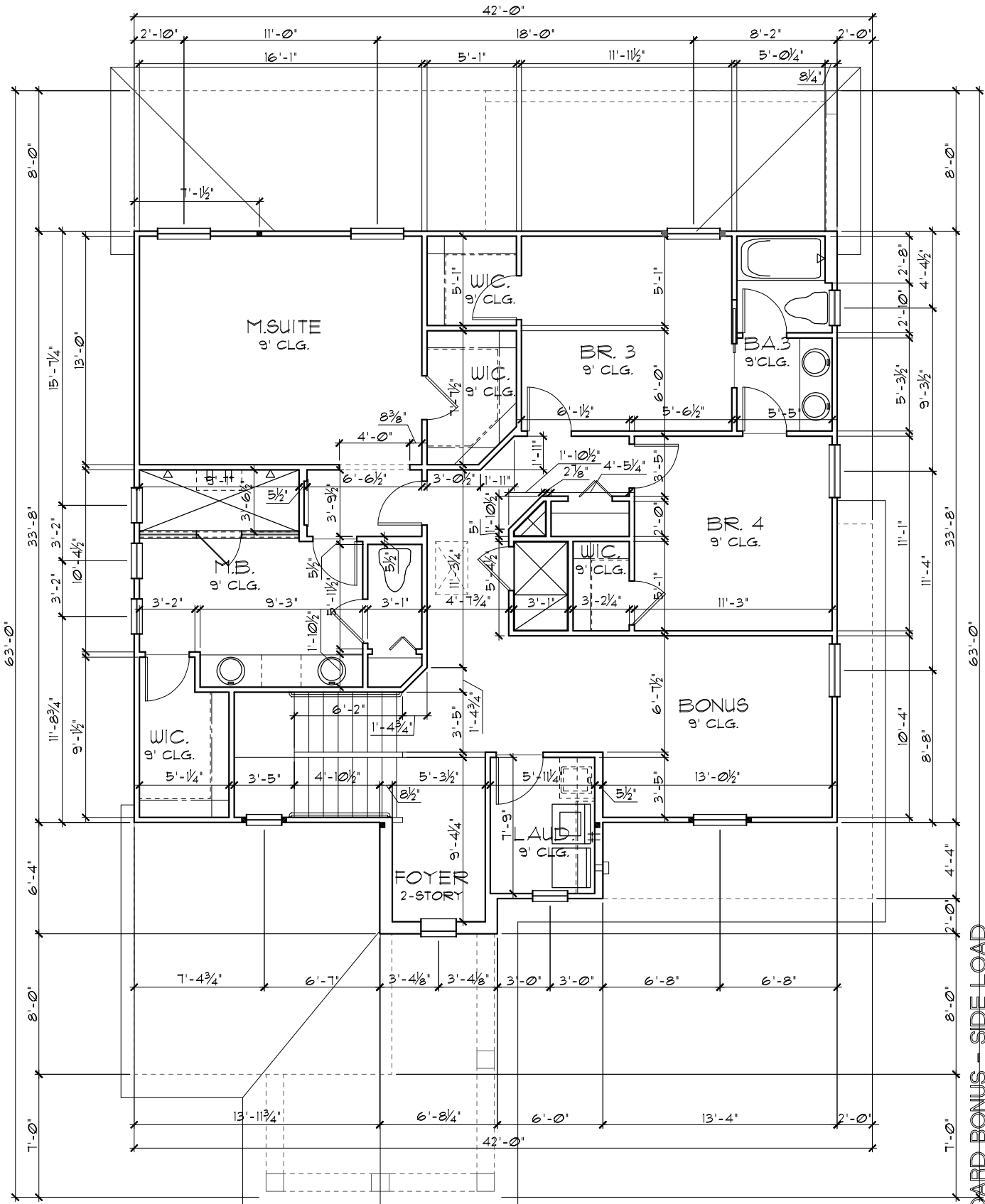


F.S. TUB OPT.  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPT. MEDIA ROOM  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

UPPER FLOOR PLAN W/ DIMENSIONS "C"  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION A - STANDARD BONUS - SIDE LOAD

LOT SPECIFIC INFORMATION		UPPER FLOOR PLAN W/ DIMENSIONS		2718 BISCAYNE DREAM FINDERS HOMES	
THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION		DATE 07-31-19		62	
SCALE AS NOTED		DRAWN RDC		2718	
JOB 2718		62		26	
OF 26 SHEETS		62		26	
LOT SPECIFIC INFORMATION		UPPER FLOOR PLAN W/ DIMENSIONS		2718 BISCAYNE DREAM FINDERS HOMES	
THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION		DATE 07-31-19		62	
SCALE AS NOTED		DRAWN RDC		2718	
JOB 2718		62		26	
OF 26 SHEETS		62		26	
LOT SPECIFIC INFORMATION		UPPER FLOOR PLAN W/ DIMENSIONS		2718 BISCAYNE DREAM FINDERS HOMES	
THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION		DATE 07-31-19		62	
SCALE AS NOTED		DRAWN RDC		2718	
JOB 2718		62		26	
OF 26 SHEETS		62		26	

Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811  
INFO@RDCFLA.COM

DREAM FINDERS  
THE MAKERS OF A QUALITY HOME

Item 5.

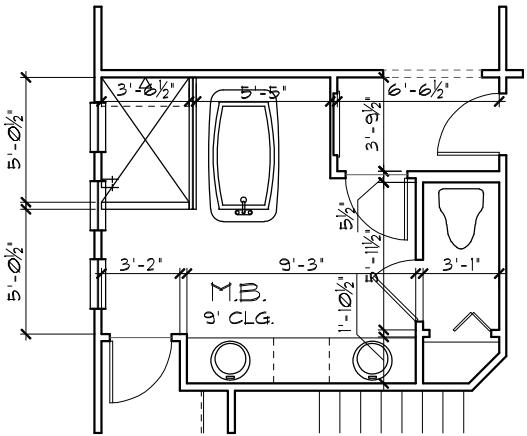
LA: 10-10-21 BY: RP

REVISIONS 09-22-21 BY: DH

CODE 2020

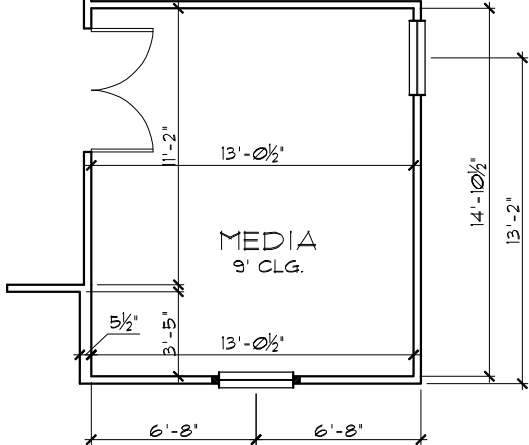
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- GENERAL NOTES
1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
  2. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
  3. ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3½" UNLESS NOTED OTHERWISE.
  4. ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 1½" UNLESS NOTED OTHERWISE.
  5. ALL INTERIOR CEILINGS AT **9'-0"** UNLESS NOTED OTHERWISE.
  6. MECHANICAL EQUIPMENT LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.



F.S. TUB OPT.

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

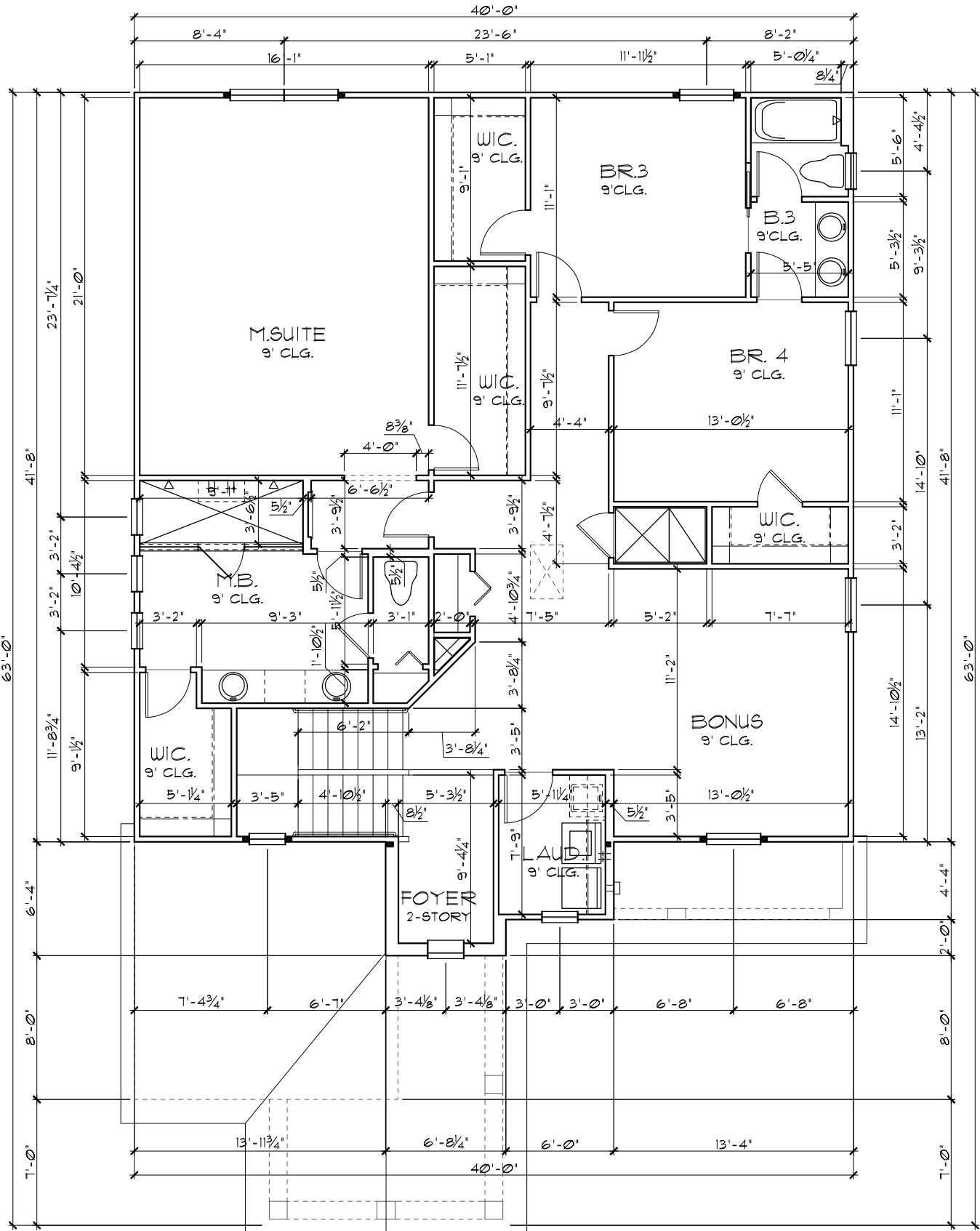


OPT. MEDIA ROOM

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

UPPER FLOOR PLAN W/ DIMENSIONS "C"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION B - EXTENDED BONUS

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

LOT SPECIFIC INFORMATION

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

63

26 SHEETS

UPPER FLOOR PLAN W/ DIMENSIONS

2718 BISCAVNE

DREAM FINDERS HOMES

Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

4307 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811  
INFO@RDCFLA.COM

DREAM FINDERS  
THE MAKERS OF A QUALITY HOME

CODE 2020

REVISIONS 08-22-21

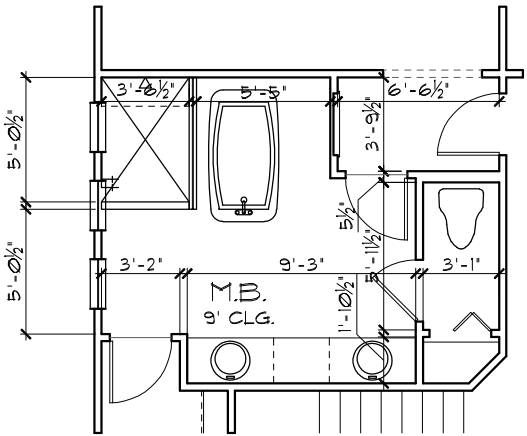
BY: DH

1A, 10-19-21

BY: RP

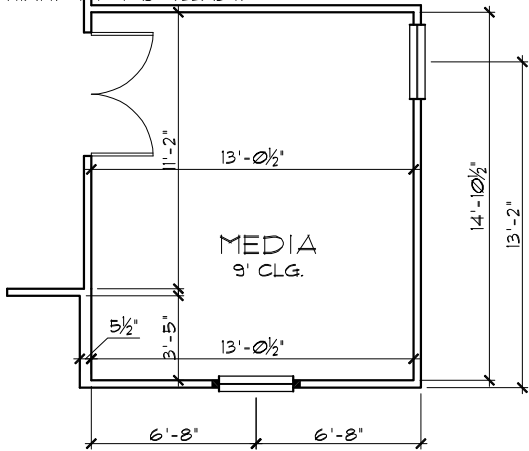
Item 5.

- GENERAL NOTES
1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
  2. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
  3. ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3½" UNLESS NOTED OTHERWISE.
  4. ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 1½" UNLESS NOTED OTHERWISE.
  5. ALL INTERIOR CEILINGS AT **9'-0"** UNLESS NOTED OTHERWISE.
  6. MECHANICAL EQUIPMENT LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.



F.S. TUB OPT.

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

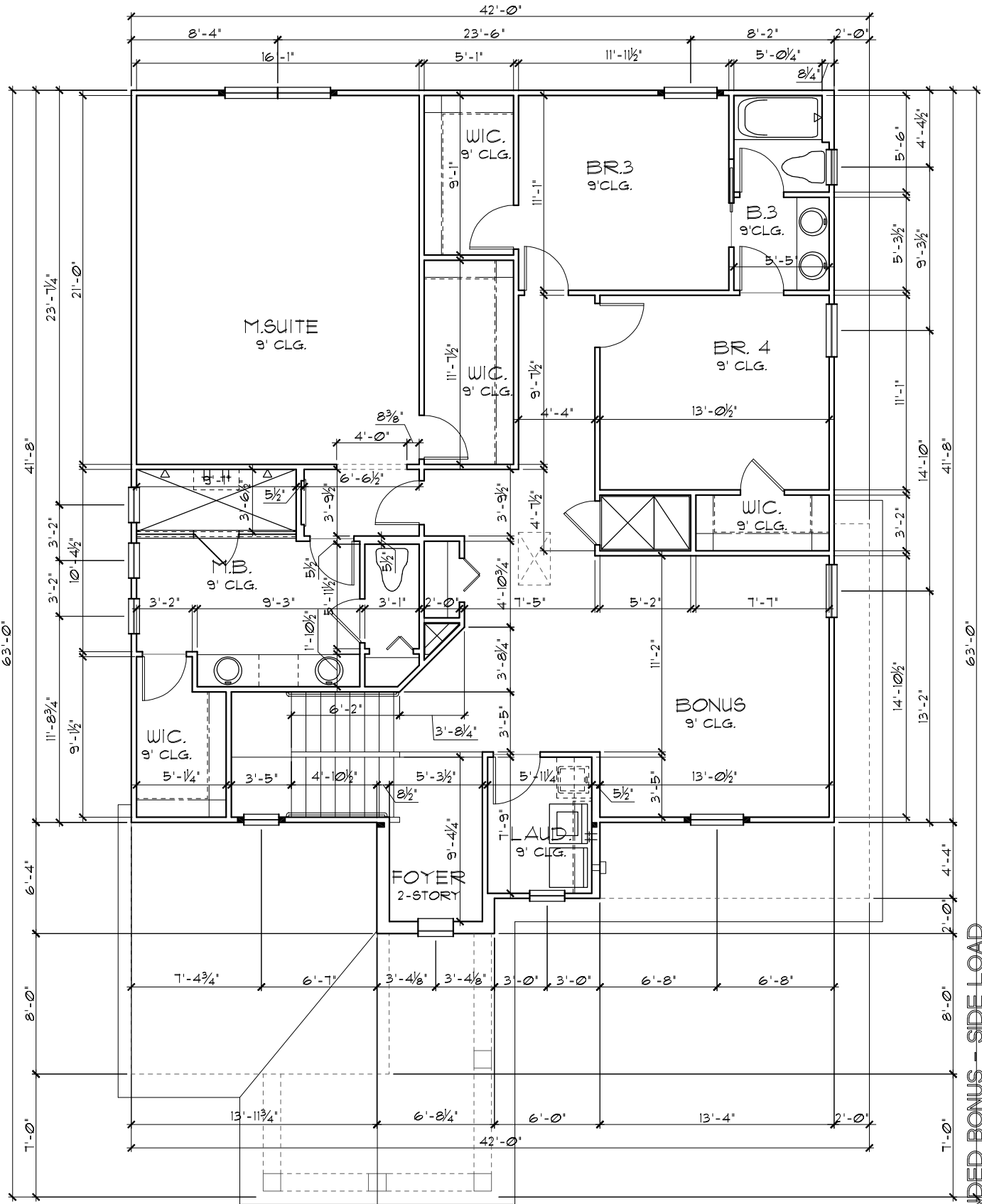


OPT. MEDIA ROOM

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

## UPPER FLOOR PLAN W/ DIMENSIONS "C"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION B - EXTENDED BONUS - SIDE LOAD

### LOT SPECIFIC INFORMATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

REVISIONS 08-22-21 BY: DH

CODE 2020

BY: RP

Engineering By:  
PRABHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
INFO@RDCFLA.COM  
J.JAGTAP@RDCFLA.COM

UPPER FLOOR PLAN W/  
DIMENSIONS

2718 BISCAYNE  
DREAM FINDERS HOMES

DATE 07-31-19  
SCALE AS NOTED  
DRAWN RDC  
JOB 2718  
SHEETS 64 OF 26



4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811  
INFO@RDCFLA.COM

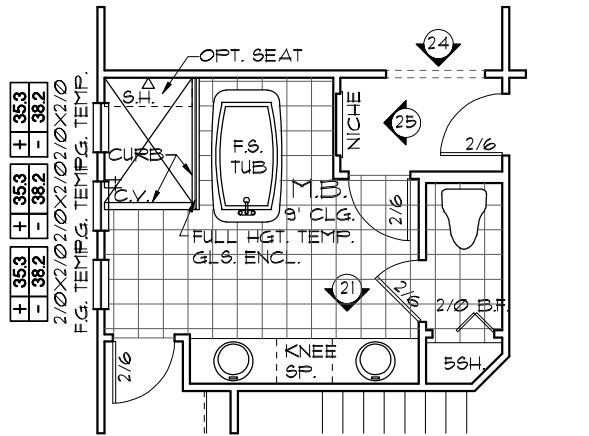
Item 5.



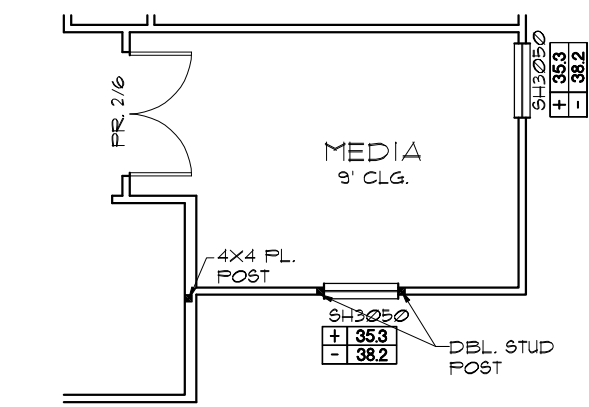
LOAD INFORMATION	
PER 1TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE	
DEAD LOADS	
FLOOR: STRUCTURE	1 PSF
CEILING	3 PSF
MECH/ELEC	5 PSF
PARTITIONS	5 PSF
TOTAL	20 PSF
ROOF: SHEATHING	
STRUCTURE	1 PSF
CEILING	3 PSF
MECH/ELEC	5 PSF
TOTAL	20 PSF
FLOOR LIVE LOADS	
RESIDENTIAL FLOOR:	40 PSF
ATTIC WITHOUT STORAGE:	10 PSF
ATTIC WITH LIMITED STORAGE:	20 PSF
GUARDRAILS & HANDRAILS:	200 LBS
GUARDRAILS IN-FLL COMP.:	50 PSF
SLEEPING ROOMS:	30 PSF
ROOMS OTHER THAN SLEEPING:	40 PSF
STAIR LIVE LOAD:	40 PSF
ROOF LIVE LOADS	
MINIMUM ROOF LIVE LOAD (PSF)	
TRIBUTARY LOADED AREA (SQ. FT.)	FOR ANY STRUCTURAL MEMBER
ROOF SLOPE	0-200 201-600 OVER 600
0:12 < 4:12	20 16 12
≥ 4:12 < 12:12	16 14 12
≥ 12:12	12 12 12

WIND INFORMATION	
PER 1TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE	
1. BASIC WIND SPEED:	140 MPH
2. WIND IMPORTANCE FACTOR:	1.0
3. BUILDING WIND EXPOSURE:	B
4. INTERNAL PRESSURE COEFFICIENT:	+/- .18, INCLUDED IN NOTE #5
5. COMPONENT / CLADDING:	SEE PLAN DESIGN WIND PRESSURE
DESIGN WIND PRESSURE 1AW FLA	XXX
RESIDENTIAL CODE, SECTION R301	XXX
NOTE: DESIGN PRESSURES BASED ON BASIC WIND SPEED AND NOT ULTIMATE WIND SPEED.	

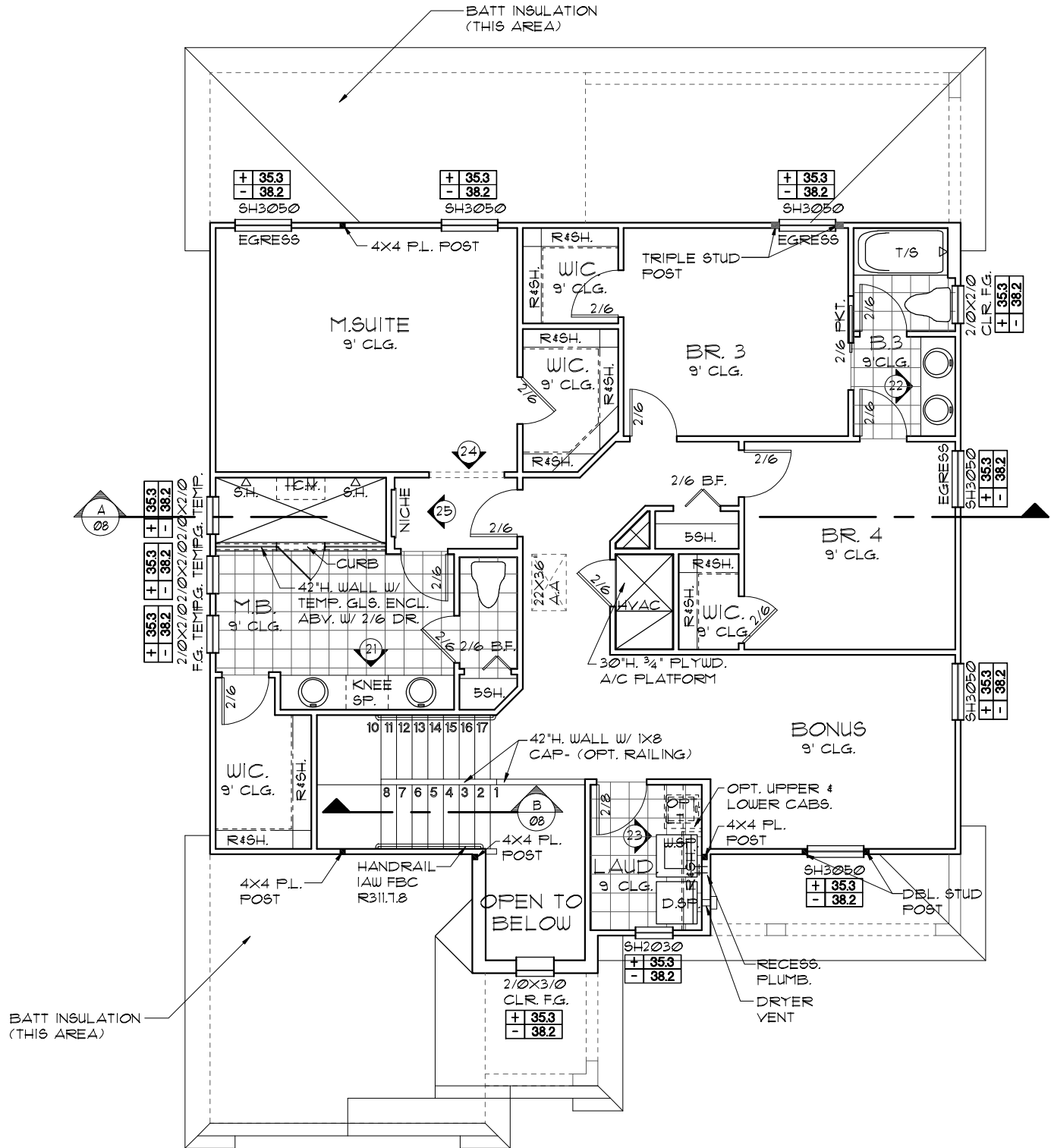
- GENERAL NOTES
- PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.
  - VENT DRYER THRU EXTERIOR WALL.
  - PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
  - DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
  - REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES
  - ALL 2ND. FLR. INTERIOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.



F.S. TUB OPT.  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPT. MEDIA ROOM  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



UPPER FLOOR PLAN W/ NOTES "A"  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

NOTE: ALL INTERIOR DOORS ON THIS FLOOR TO BE: 6'-8" UNO. - VERIFY WITH COLOR SHEET.

OPTION A - STANDARD BONUS

LOT SPECIFIC INFORMATION

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

65

OF 26 SHEETS

2718 BISCAYNE

DREAM FINDERS HOMES

UPPER FLOOR PLAN

W/ NOTES

Engineering By:

PRASHAKAR N. JAGTAP, P.E.

5890 MARLBERRY DRIVE

ORLANDO, FL 32819

PHONE: 407-345-0010

J.JAGTAP@RDCFLA.COM

4301 VINELAND RD.

SUITE E-1

ORLANDO, FL 32811

INFO@RDCFLA.COM

DREAM FINDERS

THE MAKERS OF A BETTER HOME

LA: 10-10-21

BY: RP

REVISIONS: 09-22-21

BY: DH

CODE 2020

PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

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PER 11TH EDITION, 2020 FLORIDA BUILDING  
RESIDENTIAL CODE

FLOOR: STRUCTURE	-----	7 PSF
CEILINGS	-----	3 PSF
MECH/ELEC	-----	5 PSF
PARTITIONS	-----	5 PSF

	TOTAL	-----	20	P\$F
ROOF:	SHEATHING	-----	5	P\$F
	STRUCTURE	-----	1	P\$F
	CEILINGS	-----	3	P\$F
	MECH/ELEC	-----	5	P\$F
	TOTAL	-----	20	P\$F

## RESIDENTIAL FLOOR: -----40 PSF

ATTIC WITHOUT STORAGE:----- 10 PSF  
ATTIC WITH LIMITED STORAGE:----- 20 PSF  
GUARDRAILS & HANDRAILS:-----200 LBS  
GUARDRAILS IN-FLL COMP.:-----50 PSF  
SLEEPING ROOMS:-----30 PSF  
ROOMS OTHER THAN SLEEPING:---40 PSF  
STAIR LIVE LOAD:-----40 PSF

MINIMUM ROOF LIVE LOAD (PSF)  
 TRIBUTARY LOADED AREA (SQ. FT.)  
 FOR ANY STRUCTURAL MEMBER

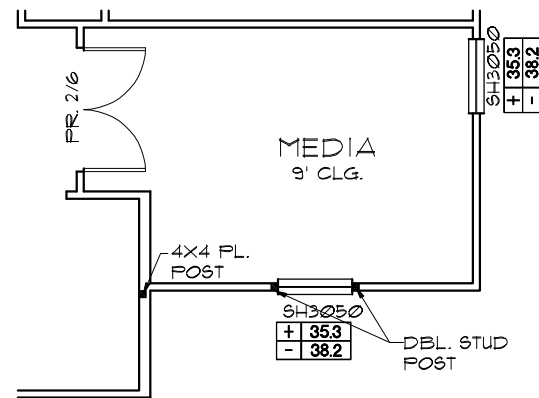
ROOF SLOPE	0-200	201-600	OVER 600
0:12 < 4:12	20	16	12
≥ 4:12 < 12:12	16	14	12
≥ 12:12	12	12	12

PER 74 EDITION, 2020 FLORIDA BUILDING  
RESIDENTIAL CODE

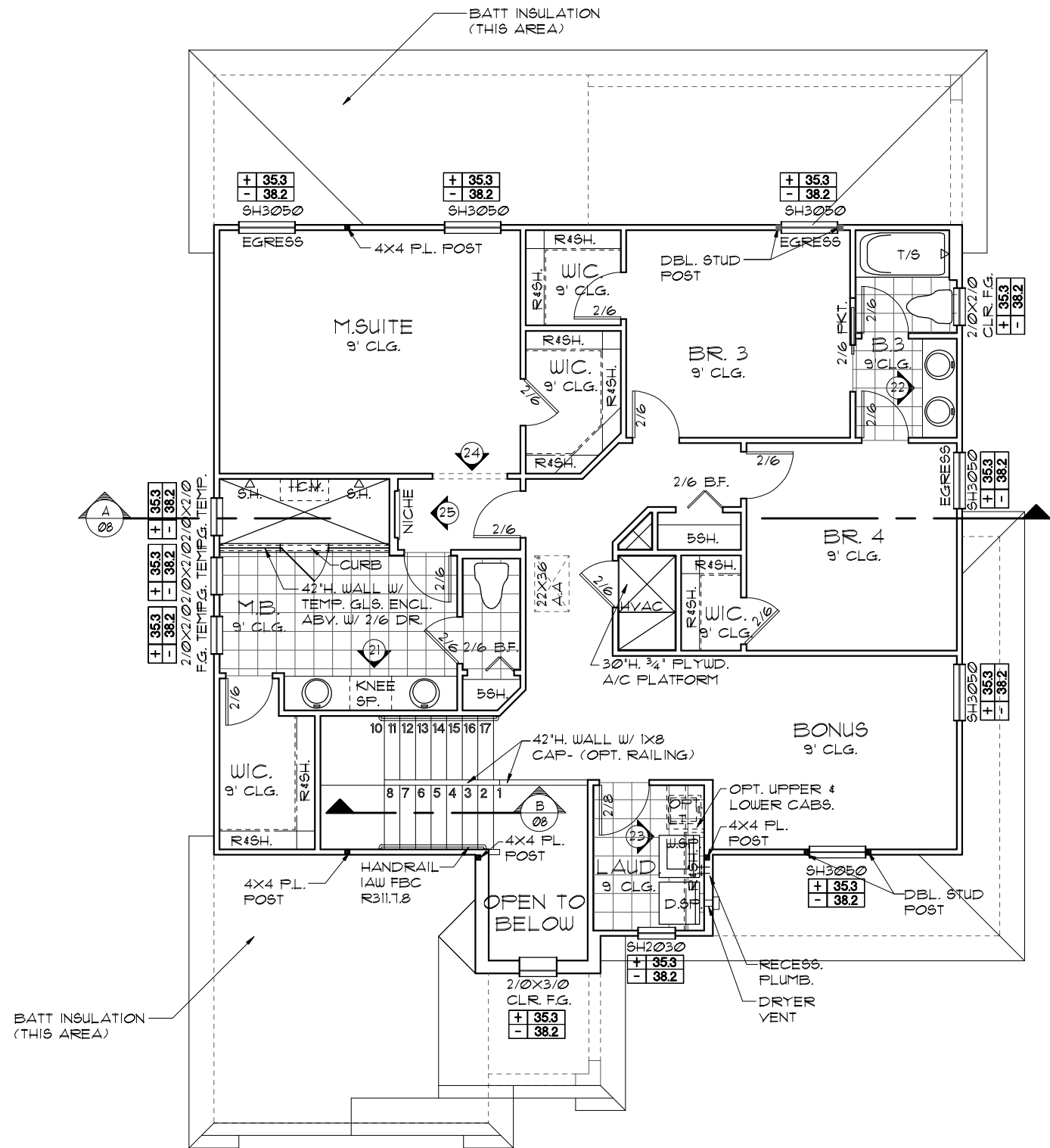
- |   |     |                               |
|---|-----|-------------------------------|
| + | XXX | DESIGN WIND PRESSURE 1AW FLA  |
| - | XXX | RESIDENTIAL CODE, SECTION R30 |

NOTE: DESIGN PRESSURES BASED ON  
BASIC WIND SPEED AND NOT ULTIMATE  
WIND SPEED.

1. PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.
2. VENT DRYER THRU EXTERIOR WALL.
3. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
4. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
5. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES
6. ALL 2ND. FLR. INTERIOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.


$$1/8'' = 1' - 0'' \quad (11 \times 17) \quad 1/4'' = 1' - 0'' \quad (22 \times 34)$$


OPT. MEDIA ROOM

$$1/8'' = 1' - 0'' \text{ (11X17)} \quad 1/4'' = 1' - 0'' \text{ (22X34)}$$


## UPPER FLOOR PLAN W/ NOTES "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

NOTE: ALL INTERIOR DOORS ON THIS FLOOR TO BE: **6'-8"** U.N.O. - VERIFY WITH COLOR SHEET.

### OPTION A - STANDARD BONUS - SIDE LOAD

## LOT SPECIFIC INFORMATION

CODE 2020	REVISIONS: 09-22-21	BY: DH
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REVISIONS: 09-22-21	BY: DH
---------------------	--------

Engineering By:  
PRABHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
JJAGTAP@RDCFLA.COM



ORLANDO, FL 32811  
INFO@RDCFLA.COM



**DREAM FINDERS**  
THE MARK OF A QUALITY HOME

## UPPER FLOOR PLAN W/ NOTES

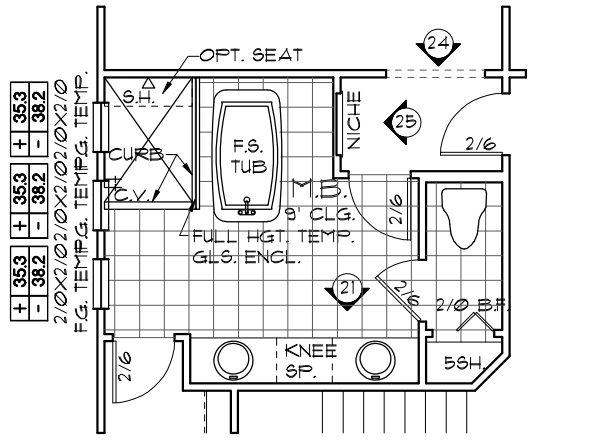
2718 BISCAYNE  
DREAM FINDERS HOMES

DATE 07-31-19  
SCALE AS NOTED  
DRAWN RDC  
JOB 2718  
66  
OF 26 SHEETS

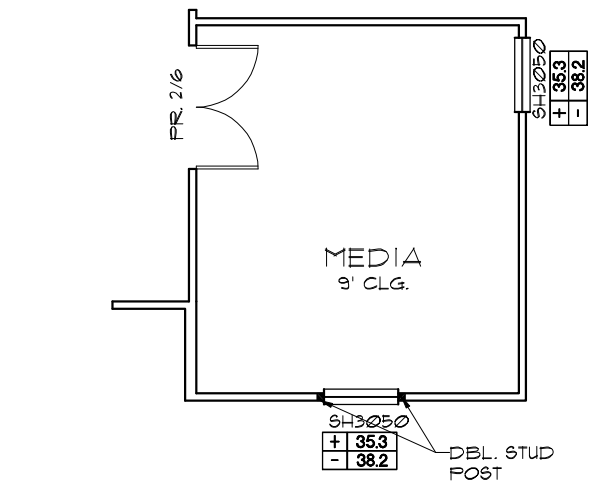
LOAD INFORMATION	
PER 1TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE	
DEAD LOADS	
FLOOR: STRUCTURE	1 PSF
CEILING	3 PSF
MECH/ELEC	5 PSF
PARTITIONS	5 PSF
TOTAL	20 PSF
ROOF: SHEATHING	
STRUCTURE	1 PSF
CEILING	3 PSF
MECH/ELEC	5 PSF
TOTAL	20 PSF
FLOOR LIVE LOADS	
RESIDENTIAL FLOOR:	40 PSF
ATTIC WITHOUT STORAGE:	10 PSF
ATTIC WITH LIMITED STORAGE:	20 PSF
GUARDRAILS & HANDRAILS:	200 LBS
GUARDRAILS IN-FLL COMP.:	50 PSF
SLEEPING ROOMS:	30 PSF
ROOMS OTHER THAN SLEEPING:	40 PSF
STAIR LIVE LOAD:	40 PSF
ROOF LIVE LOADS	
MINIMUM ROOF LIVE LOAD (PSF)	
TRIBUTARY LOADED AREA (SQ. FT.)	FOR ANY STRUCTURAL MEMBER
ROOF SLOPE	0-200 201-600 OVER 600
0:12 < 4:12	20 16 12
≥ 4:12 < 12:12	16 14 12
≥ 12:12	12 12 12

WIND INFORMATION	
PER 1TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE	
1. BASIC WIND SPEED:	140 MPH
2. WIND IMPORTANCE FACTOR:	1.0
3. BUILDING WIND EXPOSURE:	B
4. INTERNAL PRESSURE COEFFICIENT:	+/- .18, INCLUDED IN NOTE #5
5. COMPONENT / CLADDING:	SEE PLAN DESIGN WIND PRESSURE:
+ XXX DESIGN WIND PRESSURE 1AW FLA	
- XXX RESIDENTIAL CODE, SECTION R301	
NOTE: DESIGN PRESSURES BASED ON BASIC WIND SPEED AND NOT ULTIMATE WIND SPEED.	

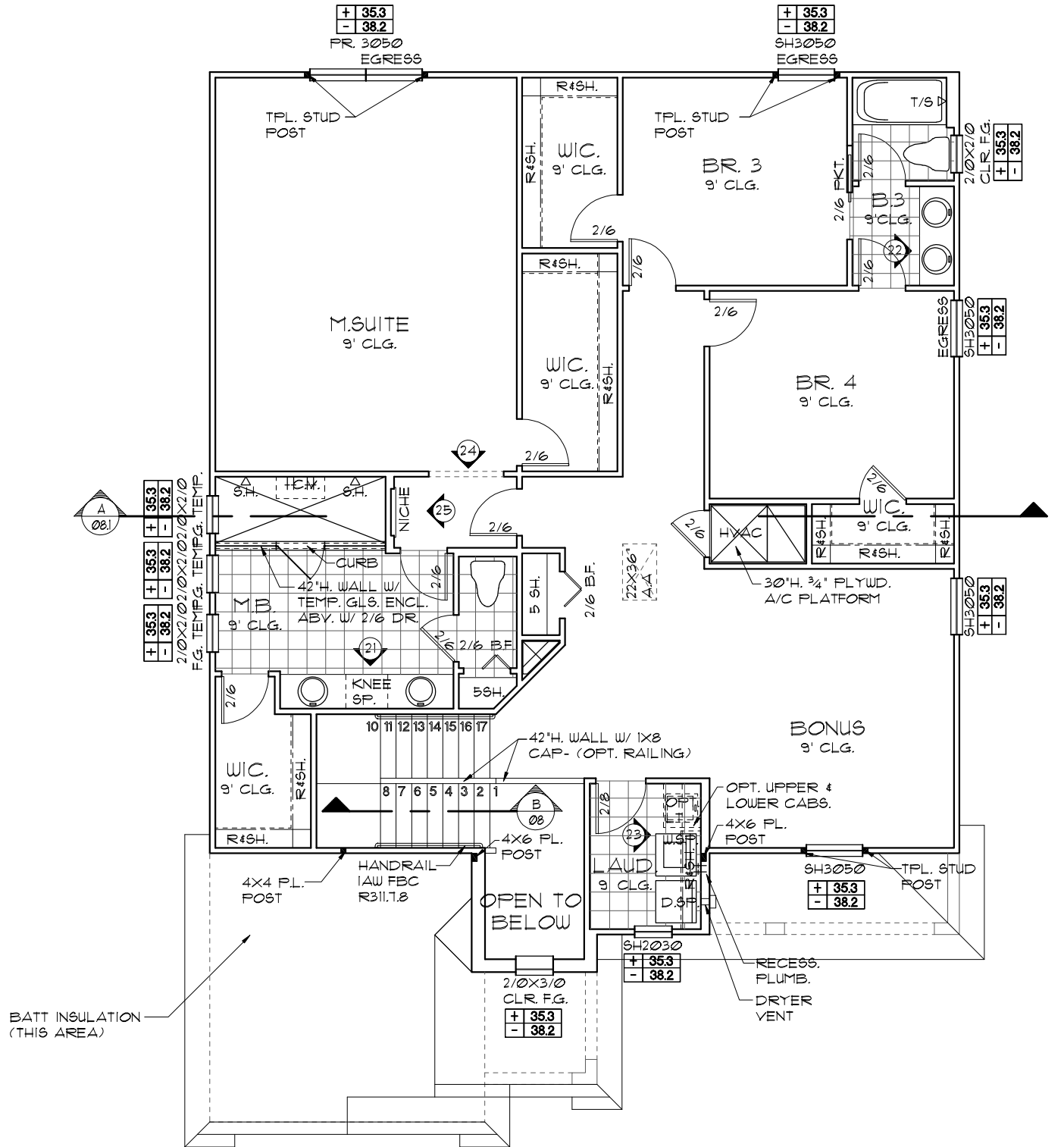
GENERAL NOTES	
1. PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.	
2. VENT DRYER THRU EXTERIOR WALL.	
3. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.	
4. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.	
5. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES	
6. ALL 2ND. FLR. INTERIOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.	



F.S. TUB OPT.  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPT. MEDIA ROOM  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



UPPER FLOOR PLAN W/ NOTES "A"  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

NOTE: ALL INTERIOR DOORS ON THIS FLOOR TO BE: 6'-8" U.N.O. - VERIFY WITH COLOR SHEET.

OPTION B - EXTENDED BONUS

LOT SPECIFIC INFORMATION

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

2718

67

CODE 2020

REVISIONS 08-22-21

BY: DH

LA: 10-19-21

BY: RP

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

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Engineering By: PRABHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32819  
INFO@RDCFLA.COM

DREAM FINDERS  
THE MAKERS OF A QUALITY HOME

UPPER FLOOR PLAN

W/ NOTES

2718 BISCAYNE

DREAM FINDERS HOMES



PER 7TH EDITION, 2020 FLORIDA BUILDING  
RESIDENTIAL CODE

FLOOR: STRUCTURE	-----	1 PSF
CEILINGS	-----	3 PSF
MECH/ELEC	-----	5 PSF
PARTITIONS	-----	5 PSF

	TOTAL	-----	20 P\$F
ROOF:	SHEATHING	-----	5 P\$F
	STRUCTURE	-----	1 P\$F
	CEILINGS	-----	3 P\$F
	MECH/ELEC	-----	5 P\$F
	TOTAL	-----	20 P\$F

## RESIDENTIAL FLOOR: ----- 40 PSF

ATTIC WITHOUT STORAGE:-----	10	PSE
ATTIC WITH LIMITED STORAGE:-----	20	PSE
GUARDRAILS & HANDRAILS:-----	200	LBS
GUARDRAILS IN-FLL COMP:-----	50	PSE
SLEEPING ROOMS:-----	30	PSE
ROOMS OTHER THAN SLEEPING:-----	40	PSE
STAIR LIVE LOAD:-----	40	PSE

MINIMUM ROOF LIVE LOAD (PSF)  
 TRIBUTARY LOADED AREA (SQ. FT.)  
 FOR ANY STRUCTURAL MEMBER

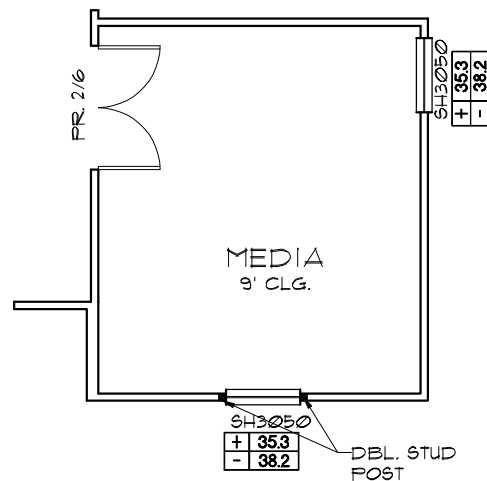
ROOF SLOPE	0-200	201-600	OVER 600
0:12 < 4:12	20	16	12
≥ 4:12 < 12:12	16	14	12
≥ 12:12	12	12	12

PER 74 EDITION, 2020 FLORIDA BUILDING  
RESIDENTIAL CODE

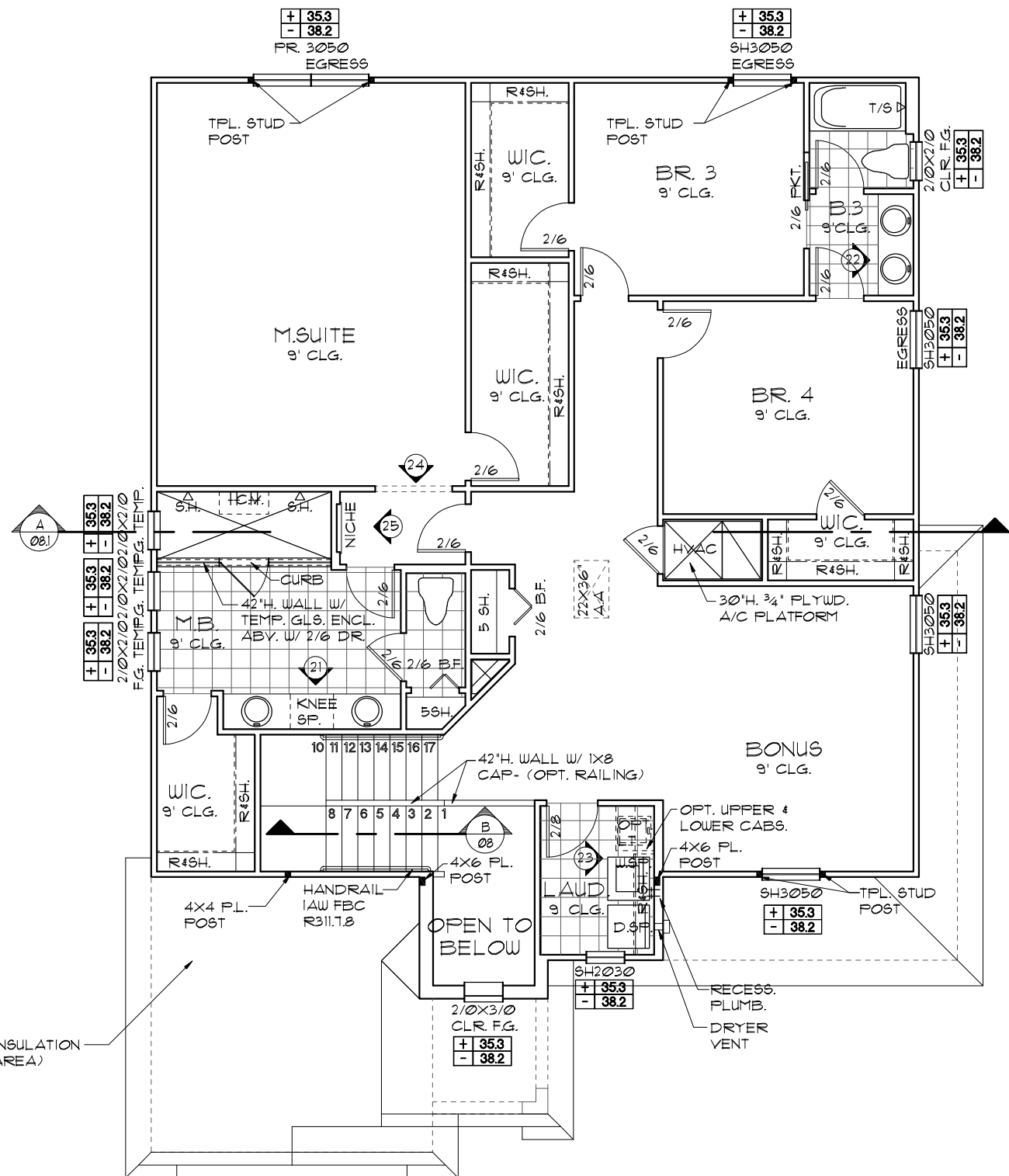
- |   |     |                               |
|---|-----|-------------------------------|
| + | XXX | DESIGN WIND PRESSURE 1AW FLA  |
| - | XXX | RESIDENTIAL CODE, SECTION R30 |

NOTE: DESIGN PRESSURES BASED ON  
BASIC WIND SPEED AND NOT ULTIMATE  
WIND SPEED.

1. PROVIDE RECESS HOT # COLD WATER WITH DRAIN @ WASHER SPACE.
2. VENT DRYER THRU EXTERIOR WALL.
3. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
4. **DO NOT SCALE PRINTS!** CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
5. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES
6. ALL 2ND. FLR. INTERIOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.


$$1/8'' = 1' - 0'' \quad (11 \times 17) \quad 1/4'' = 1' - 0'' \quad (22 \times 34)$$


## OPT. MEDIA ROOM

$$1/8'' = 1' - 0'' \quad (11 \times 17) \quad 1/4'' = 1' - 0'' \quad (22 \times 34)$$


## UPPER FLOOR PLAN W/ NOTES "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

NOTE: ALL INTERIOR DOORS ON THIS FLOOR TO BE: **6'-8"** U.N.O. - VERIFY WITH COLOR SHEET.

### OPTION B - EXTENDED BONUS - SIDE LOAD

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WIND  
**LOT SPECIFIC INFORMATION**

CODE 2020	REVISIONS: 09-22-'21	BY: DH
-----------	----------------------	--------

LA: 10-19-21 BY: RJP

**220** REVISIONS: 00-22-21 BY: DH

designs are not to be copied  
 or used in form Dream Finders & RDC.

**Engineering By:**  
 PRABHAKAR N. JAGTAP, P.E.  
 5890 MARLBERRY DRIVE  
 ORLANDO, FL 32819  
 PHONE: 407-345-0010  
 UJAGTAP@RDCFLA.COM

4301 VINELAND RD.  
 SUITE: F-1  
 ORLANDO, FL 32811  
 INFO@RDCFLA.COM

UPPER FLOOR PLAN  
W/ NOTES

2718 BISCAYNE  
DREAM FINDERS HOMES

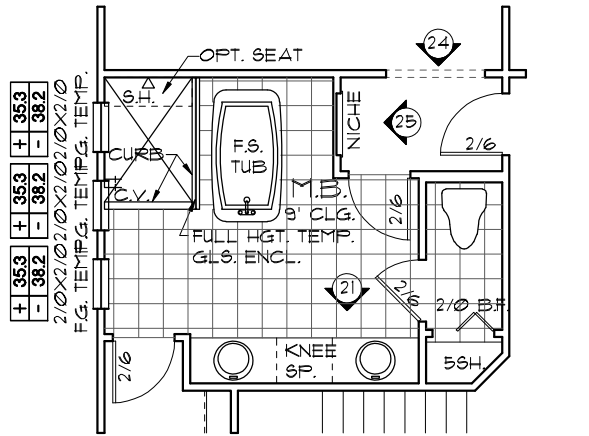
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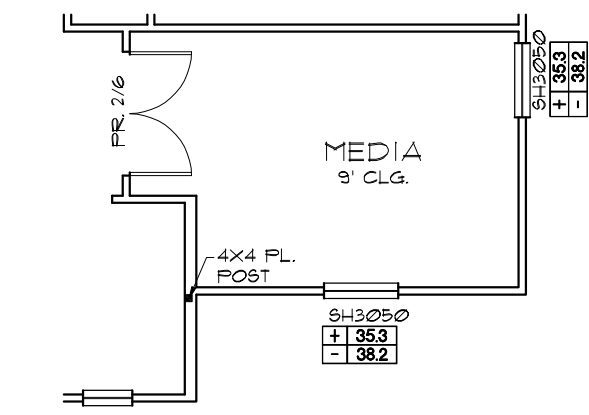
LOAD INFORMATION	
PER 1TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE	
DEAD LOADS	
FLOOR: STRUCTURE	1 PSF
CEILING	3 PSF
MECH/ELEC	5 PSF
PARTITIONS	5 PSF
TOTAL	20 PSF
ROOF: SHEATHING	
STRUCTURE	1 PSF
CEILING	3 PSF
MECH/ELEC	5 PSF
TOTAL	20 PSF
FLOOR LIVE LOADS	
RESIDENTIAL FLOOR:	40 PSF
ATTIC WITHOUT STORAGE:	10 PSF
ATTIC WITH LIMITED STORAGE:	20 PSF
GUARDRAILS & HANDRAILS:	200 LBS
GUARDRAILS IN-FLL COMP.:	50 PSF
SLEEPING ROOMS:	30 PSF
ROOMS OTHER THAN SLEEPING:	40 PSF
STAIR LIVE LOAD:	40 PSF
ROOF LIVE LOADS	
MINIMUM ROOF LIVE LOAD (PSF)	
TRIBUTARY LOADED AREA (SQ. FT.)	FOR ANY STRUCTURAL MEMBER
ROOF SLOPE	0-200 201-600 OVER 600
0:12 < 4:12	20 16 12
≥ 4:12 < 12:12	16 14 12
≥ 12:12	12 12 12

WIND INFORMATION	
PER 1TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE	
1. BASIC WIND SPEED:	140 MPH
2. WIND IMPORTANCE FACTOR:	1.0
3. BUILDING WIND EXPOSURE:	B
4. INTERNAL PRESSURE COEFFICIENT:	+/- .18, INCLUDED IN NOTE #5
5. COMPONENT / CLADDING:	SEE PLAN DESIGN WIND PRESSURE
DESIGN WIND PRESSURE 1AW FLA	XXX
RESIDENTIAL CODE, SECTION R301	XXX
NOTE: DESIGN PRESSURES BASED ON BASIC WIND SPEED AND NOT ULTIMATE WIND SPEED.	

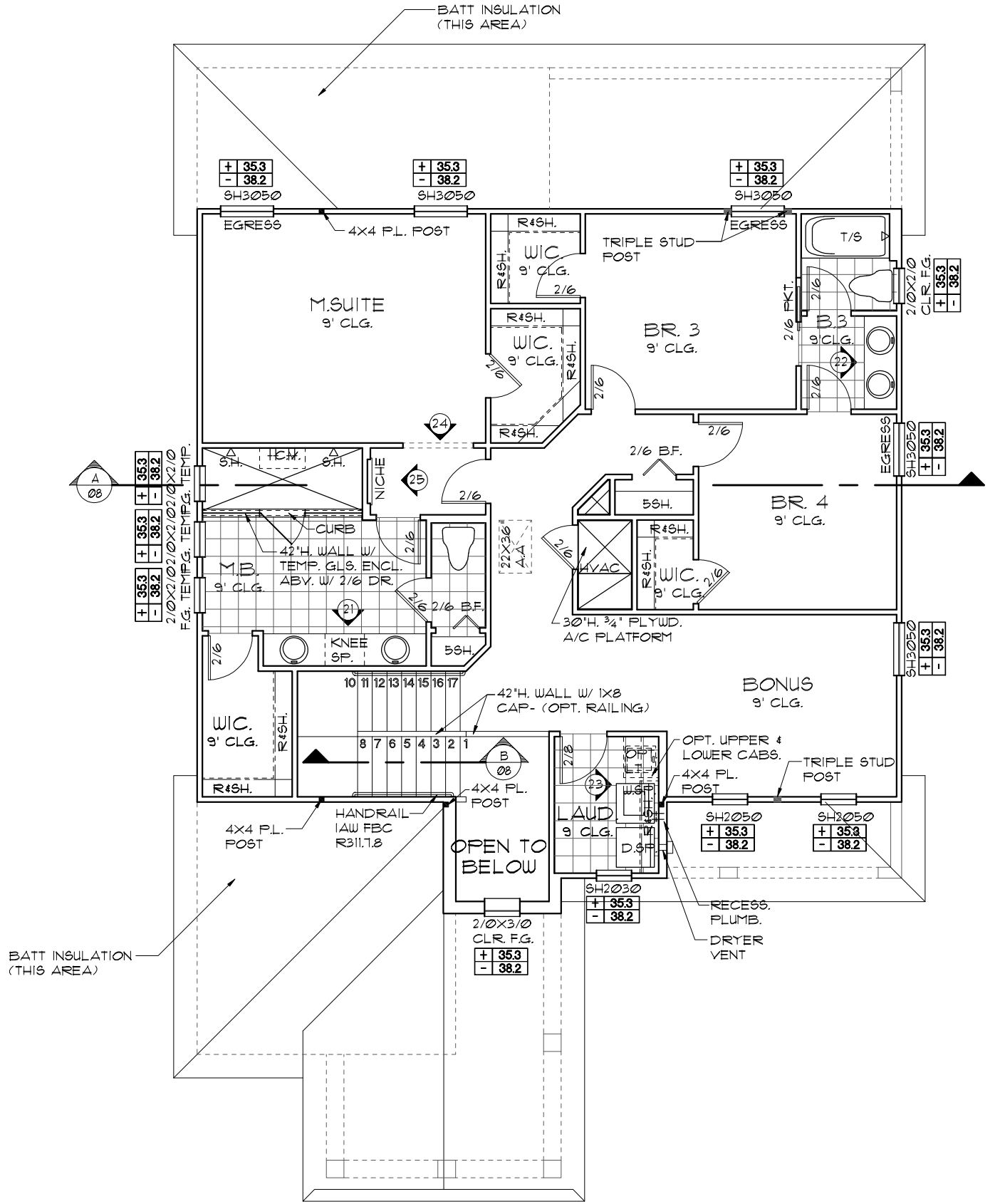
GENERAL NOTES	
1. PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.	
2. VENT DRYER THRU EXTERIOR WALL.	
3. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.	
4. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.	
5. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES	
6. ALL 2ND. FLR. INTERIOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.	



F.S. TUB OPT.  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPT. MEDIA ROOM  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



UPPER FLOOR PLAN W/ NOTES "B"  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

NOTE: ALL INTERIOR DOORS ON THIS FLOOR TO BE: 6'-8" U.N.O. - VERIFY WITH COLOR SHEET.

OPTION A - STANDARD BONUS

LOT SPECIFIC INFORMATION

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

69

2718 BISCAYNE

DREAM FINDERS HOMES

UPPER FLOOR PLAN W/ NOTES

Engineering By: PRABHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811  
INFO@RDCFLA.COM

DREAM FINDERS  
THE MAKERS OF A QUALITY HOME

PER 7TH EDITION, 2020 FLORIDA BUILDING  
RESIDENTIAL CODE

FLOOR: STRUCTURE	-----	7 PSF
CEILINGS	-----	3 PSF
MECH/ELEC	-----	5 PSF
PARTITIONS	-----	5 PSF

### FLOOR LIVE LOADS

## RESIDENTIAL FLOOR: -----40 PSF

### ROOF LIVE LOADS

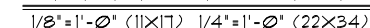
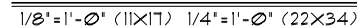
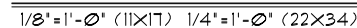
MINIMUM ROOF LIVE LOAD (PSF)

ROOF SLOPE 0-200 201-600 OVER 600

PER 74 EDITION, 2020 FLORIDA BUILDING  
RESIDENTIAL CODE

- |   |     |                               |
|---|-----|-------------------------------|
| + | XXX | DESIGN WIND PRESSURE 1AW FLA  |
| - | XXX | RESIDENTIAL CODE, SECTION R30 |

1. PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.
2. VENT DRYER THRU EXTERIOR WALL.
3. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
4. **DO NOT SCALE PRINTS!** CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
5. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES
6. ALL 2ND. FLR. INTERIOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.



### OPTION A - STANDARD BONUS - SIDE LOAD

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

LOT SPECIFIC INFORMATION		
CODE 2020	REVISED 09-22-21	BY: DH
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# UPPER FLOOR PLAN W/ NOTES

2718 BISCAVNE  
DREAM FINDERS HOMES

Engineering By:  
PRABHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
JJJAGTAP@RDCFLA.COM



**DREAM FINDERS**  
THE MARK OF A QUALITY HOME

---

## PLANS

## LOOK NOTES

PERF  
W/

5

	00

YNE  
HOMES

BISCAY  
INDERS2718  
REAM F

10

DATE 01-31-19

---

SCALE AS NOTED

---

DRAWN RDC

---

70

OF 26 SHEETS

---

LOAD INFORMATION

PER 1TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE

DEAD LOADS

FLOOR: STRUCTURE

CEILINGS

MECH/ELEC

PARTITIONS

TOTAL

1 PSF

3 PSF

5 PSF

5 PSF

20 PSF

ROOF: SHEATHING

STRUCTURE

CEILINGS

MECH/ELEC

TOTAL

5 PSF

1 PSF

3 PSF

5 PSF

20 PSF

FLOOR LIVE LOADS

RESIDENTIAL FLOOR:

ATTIC WITHOUT STORAGE:

ATTIC WITH LIMITED STORAGE:

GUARDRAILS & HANDRAILS:

GUARDRAILS IN-FLL COMP.:

SLEEPING ROOMS:

ROOMS OTHER THAN SLEEPING:

STAIR LIVE LOAD:

40 PSF

10 PSF

20 PSF

200 LBS

50 PSF

30 PSF

40 PSF

40 PSF

ROOF LIVE LOADS

MINIMUM ROOF LIVE LOAD (PSF)

TRIBUTARY LOADED AREA (SQ. FT.)

FOR ANY STRUCTURAL MEMBER

ROOF SLOPE

0-200

201-600

OVER 600

0:12 < 4:12

20

16

12

≥ 4:12 < 12:12

16

14

12

≥ 12:12

12

12

12

WIND INFORMATION

PER 1TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE

1. BASIC WIND SPEED:

2. WIND IMPORTANCE FACTOR:

3. BUILDING WIND EXPOSURE:

4. INTERNAL PRESSURE:

5. COMPONENT / CLADDING:

140 MPH

1-II

B

+/- .18, INCLUDED COEFFICIENT: IN NOTE #5

SEE PLAN DESIGN WIND PRESSURE:

+ XXX

- XXX

DESIGN WIND PRESSURE 1AW FLA  
RESIDENTIAL CODE, SECTION R301

NOTE: DESIGN PRESSURES BASED ON BASIC WIND SPEED AND NOT ULTIMATE WIND SPEED.

- GENERAL NOTES
1. PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.

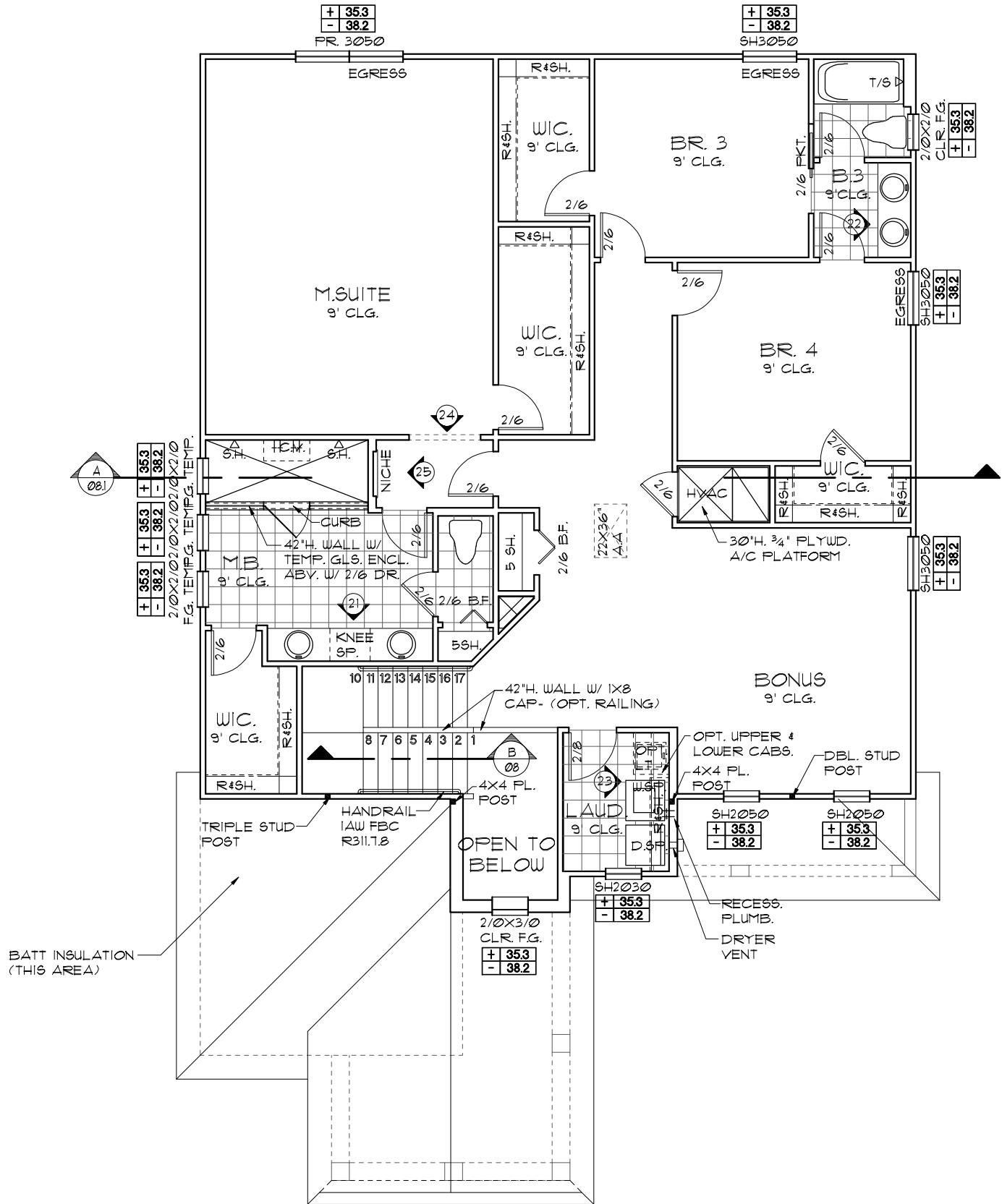
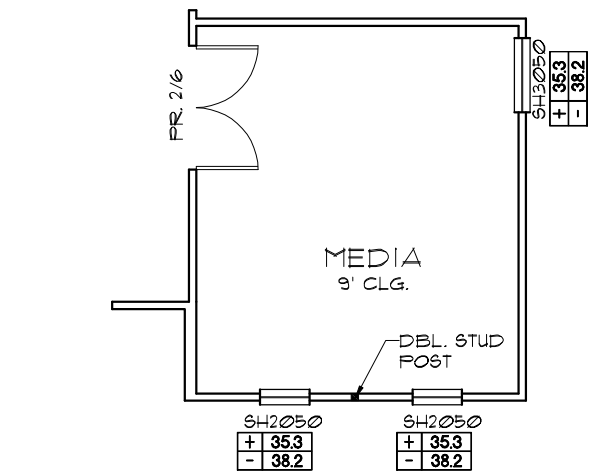
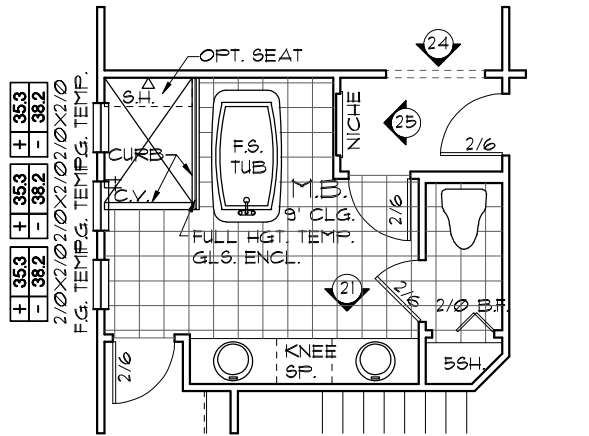
2. VENT DRYER THRU EXTERIOR WALL.

3. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.

4. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.

5. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES

6. ALL 2ND. FLR. INTERIOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.



UPPER FLOOR PLAN W/ NOTES "B"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

NOTE: ALL INTERIOR DOORS ON THIS FLOOR TO BE: 6'-8" UNO. - VERIFY WITH COLOR SHEET.

OPTION B - EXTENDED BONUS

LOT SPECIFIC INFORMATION

CODE 2020

LA: 10-10-21

BY: RP

REVISIONS: 09-22-21

BY: DH

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

LOT SPECIFIC INFORMATION

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

71

OF 26 SHEETS

Engineering By: PRABHAKAR N. JAGTAP, P.E. 5890 MARLBERRY DRIVE ORLANDO, FL 32819 PHONE: 407-345-0010 J.JAGTAP@RDCFLA.COM

4301 VINELAND RD. SUITE E-1 ORLANDO, FL 32811 INFO@RDCFLA.COM



UPPER FLOOR PLAN

W/ NOTES

2718 BISCAYNE

DREAM FINDERS HOMES

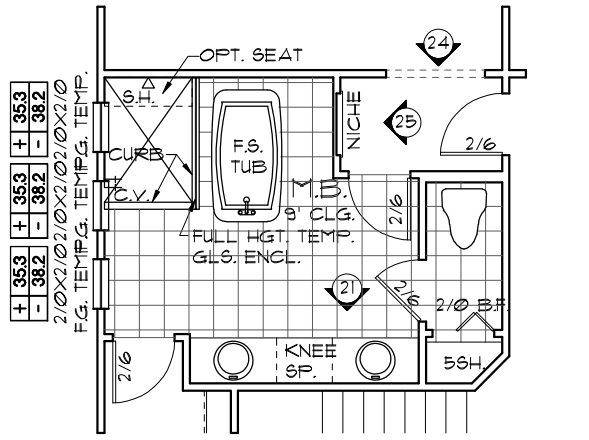
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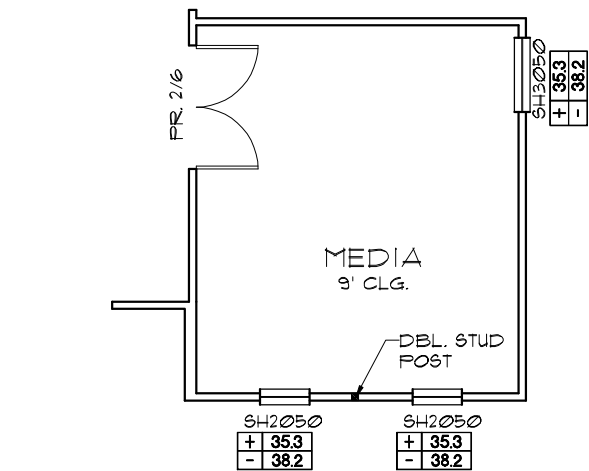
LOAD INFORMATION	
PER 1TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE	
DEAD LOADS	
FLOOR: STRUCTURE	1 PSF
CEILING	3 PSF
MECH/ELEC	5 PSF
PARTITIONS	5 PSF
TOTAL	20 PSF
ROOF: SHEATHING	
STRUCTURE	1 PSF
CEILING	3 PSF
MECH/ELEC	5 PSF
TOTAL	20 PSF
FLOOR LIVE LOADS	
RESIDENTIAL FLOOR:	40 PSF
ATTIC WITHOUT STORAGE:	10 PSF
ATTIC WITH LIMITED STORAGE:	20 PSF
GUARDRAILS & HANDRAILS:	200 LBS
GUARDRAILS IN-FLL COMP.:	50 PSF
SLEEPING ROOMS:	30 PSF
ROOMS OTHER THAN SLEEPING:	40 PSF
STAIR LIVE LOAD:	40 PSF
ROOF LIVE LOADS	
MINIMUM ROOF LIVE LOAD (PSF)	
TRIBUTARY LOADED AREA (SQ. FT.)	
FOR ANY STRUCTURAL MEMBER	
ROOF SLOPE	0-200 201-600 OVER 600
0:12 < 4:12	20 16 12
≥ 4:12 < 12:12	16 14 12
≥ 12:12	12 12 12

WIND INFORMATION	
PER 1TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE	
1. BASIC WIND SPEED:	140 MPH
2. WIND IMPORTANCE FACTOR:	1.0
3. BUILDING WIND EXPOSURE:	B
4. INTERNAL PRESSURE COEFFICIENT:	+/- .18, INCLUDED IN NOTE #5
5. COMPONENT / CLADDING DESIGN WIND PRESSURE:	SEE PLAN
NOTE: DESIGN PRESSURES BASED ON BASIC WIND SPEED AND NOT ULTIMATE WIND SPEED.	

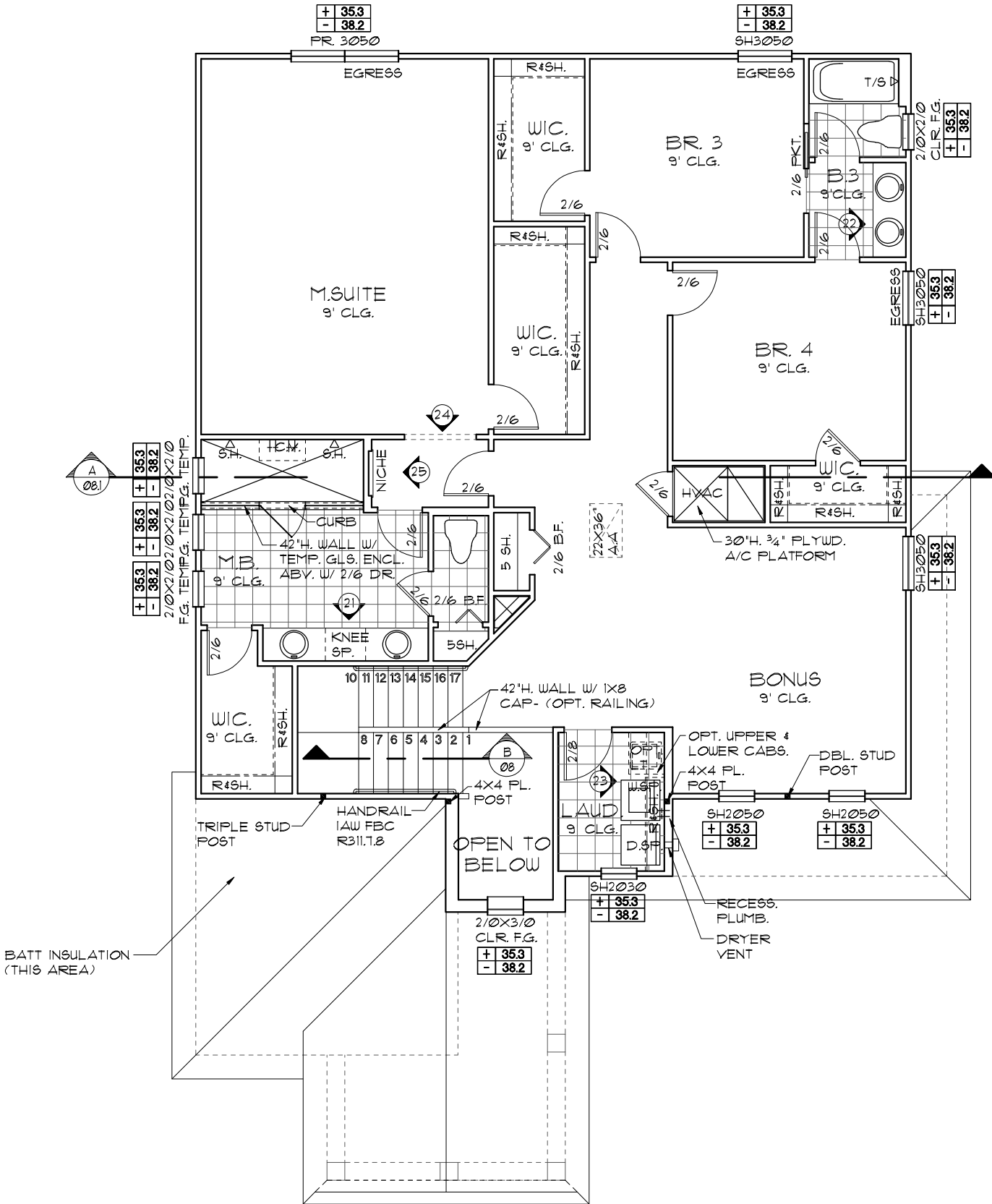
GENERAL NOTES	
1. PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.	
2. VENT DRYER THRU EXTERIOR WALL.	
3. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.	
4. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.	
5. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES	
6. ALL 2ND. FLR. INTERIOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.	



F.S. TUB OPT.  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPT. MEDIA ROOM  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



UPPER FLOOR PLAN W/ NOTES "B"  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

NOTE: ALL INTERIOR DOORS ON THIS FLOOR TO BE: 6'-8" UNO. - VERIFY WITH COLOR SHEET.

OPTION B - EXTENDED BONUS - SIDE LOAD

LOT SPECIFIC INFORMATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

72

OF 26 SHEETS

2718 BISCAYNE

UPPER FLOOR PLAN

W/ NOTES

DREAM FINDERS HOMES

Engineering By:  
PRASHANTH N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

4301 VINELAND RD.  
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RDC

DREAM FINDERS

THE MAKER OF A QUALITY HOME

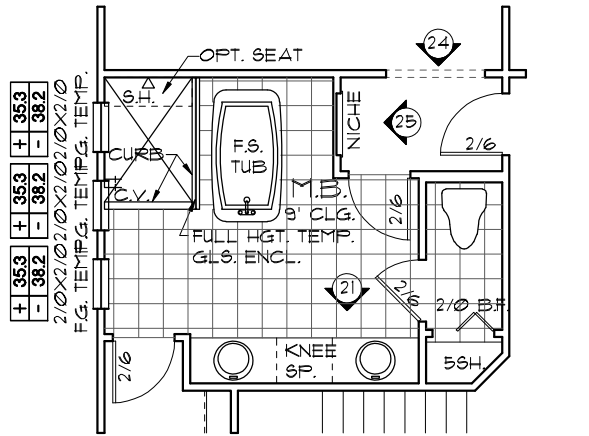
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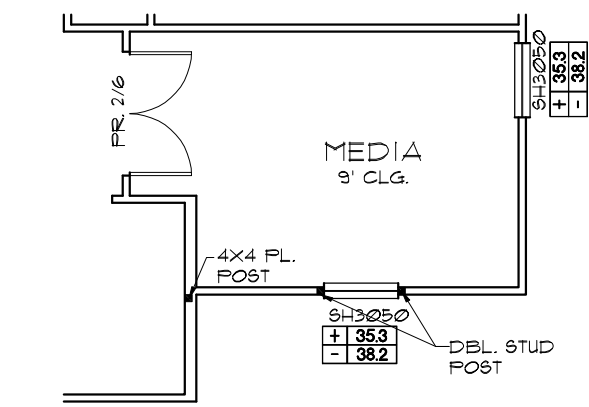
LOAD INFORMATION	
PER 1TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE	
DEAD LOADS	
FLOOR: STRUCTURE	1 PSF
CEILINGS	3 PSF
MECH/ELEC	5 PSF
PARTITIONS	5 PSF
TOTAL	20 PSF
ROOF: SHEATHING	
STRUCTURE	1 PSF
CEILINGS	3 PSF
MECH/ELEC	5 PSF
TOTAL	20 PSF
FLOOR LIVE LOADS	
RESIDENTIAL FLOOR:	40 PSF
ATTIC WITHOUT STORAGE:	10 PSF
ATTIC WITH LIMITED STORAGE:	20 PSF
GUARDRAILS & HANDRAILS:	200 LBS
GUARDRAILS IN-FLL COMP.:	50 PSF
SLEEPING ROOMS:	30 PSF
ROOMS OTHER THAN SLEEPING:	40 PSF
STAIR LIVE LOAD:	40 PSF
ROOF LIVE LOADS	
MINIMUM ROOF LIVE LOAD (PSF)	
TRIBUTARY LOADED AREA (SQ. FT.)	FOR ANY STRUCTURAL MEMBER
ROOF SLOPE	0-200 201-600 OVER 600
0:12 < 4:12	20 16 12
≥ 4:12 < 12:12	16 14 12
≥ 12:12	12 12 12

WIND INFORMATION	
PER 1TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE	
1. BASIC WIND SPEED:	140 MPH
2. WIND IMPORTANCE FACTOR:	1.0
3. BUILDING WIND EXPOSURE:	B
4. INTERNAL PRESSURE:	+/- .18, INCLUDED COEFFICIENT: IN NOTE #5
5. COMPONENT / CLADDING:	SEE PLAN DESIGN WIND PRESSURE:
+ XXX	DESIGN WIND PRESSURE 1AW FLA
- XXX	RESIDENTIAL CODE, SECTION R301
NOTE: DESIGN PRESSURES BASED ON BASIC WIND SPEED AND NOT ULTIMATE WIND SPEED.	

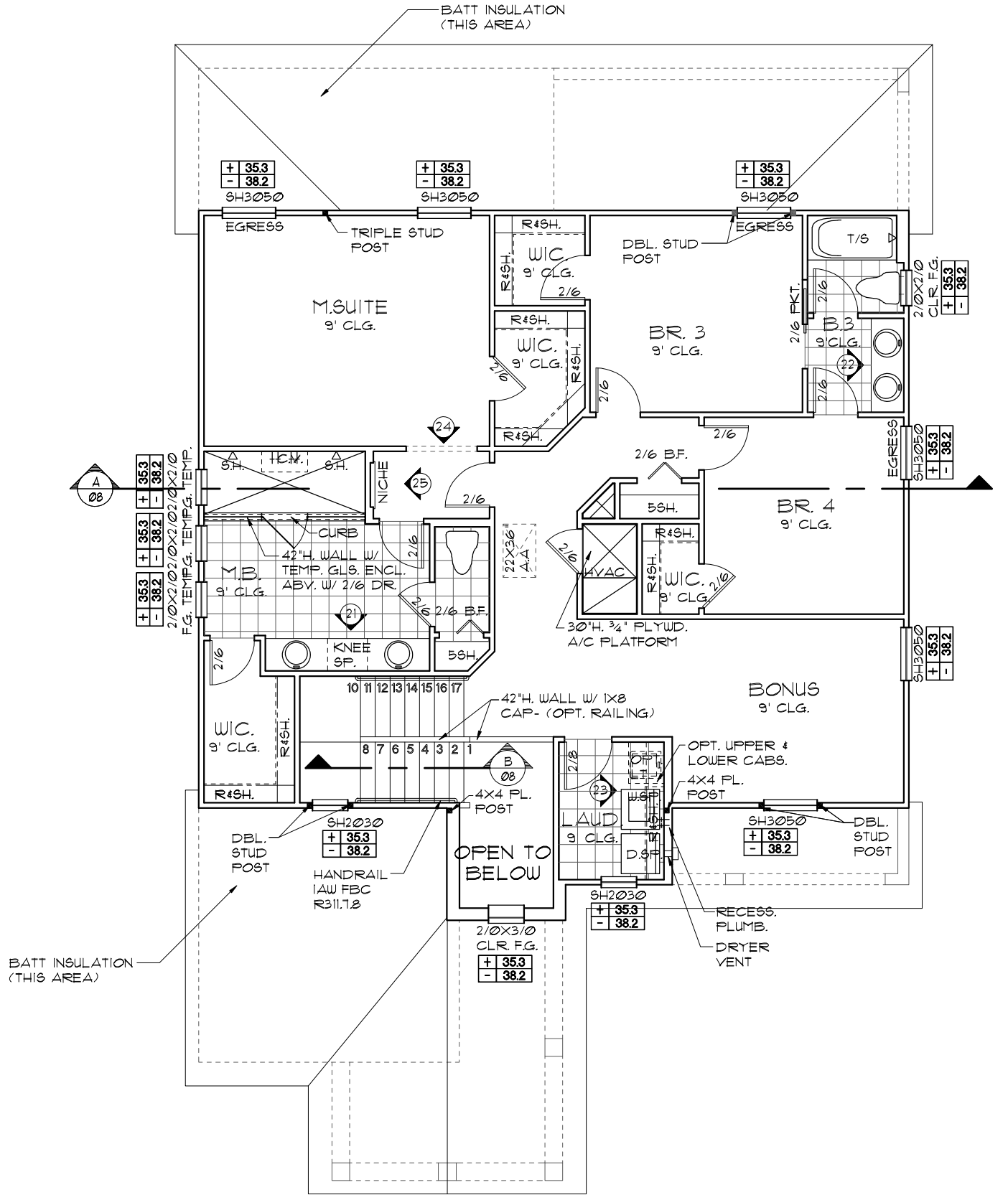
GENERAL NOTES	
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2. VENT DRYER THRU EXTERIOR WALL.	
3. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.	
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5. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES	
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F.S. TUB OPT.  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPT. MEDIA ROOM  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



UPPER FLOOR PLAN W/ NOTES "C"  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

NOTE: ALL INTERIOR DOORS ON THIS FLOOR TO BE: 6'-8" U.N.O. - VERIFY WITH COLOR SHEET.

OPTION A - STANDARD BONUS

LOT SPECIFIC INFORMATION

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

73

2718

OF 26 SHEETS

CODE 2020

REVISIONS 08-22-21

BY: DH

Engineering By: PRABHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811  
INFO@RDCFLA.COM

RDC

DREAM FINDERS

THE MAKER OF A QUALITY HOME

UPPER FLOOR PLAN

W/ NOTES

2718 BISCAYNE

DREAM FINDERS HOMES

Item 5.

PER 7TH EDITION, 2020 FLORIDA BUILDING  
RESIDENTIAL CODE

FLOOR: STRUCTURE	-----	7 PSF
CEILINGS	-----	3 PSF
MECH/ELEC	-----	5 PSF
PARTITIONS	-----	5 PSF

### FLOOR LIVE LOADS

RESIDENTIAL FLOOR: -----40 PSF

## ROOF LIVE LOADS

MINIMUM ROOF LIVE LOAD (PSF)

TRIBUTARY LOADED AREA (SQ. FT.)  
FOR ANY STRUCTURAL MEMBER

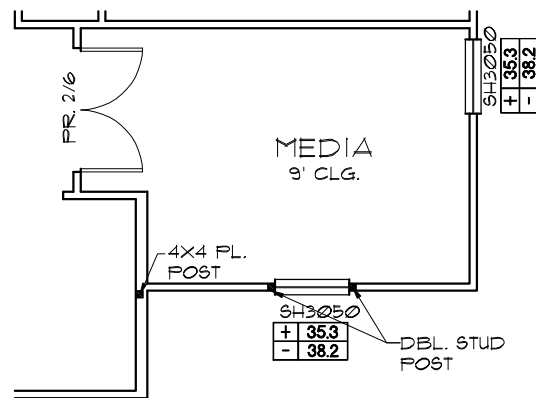
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PER 74 EDITION, 2020 FLORIDA BUILDING  
RESIDENTIAL CODE

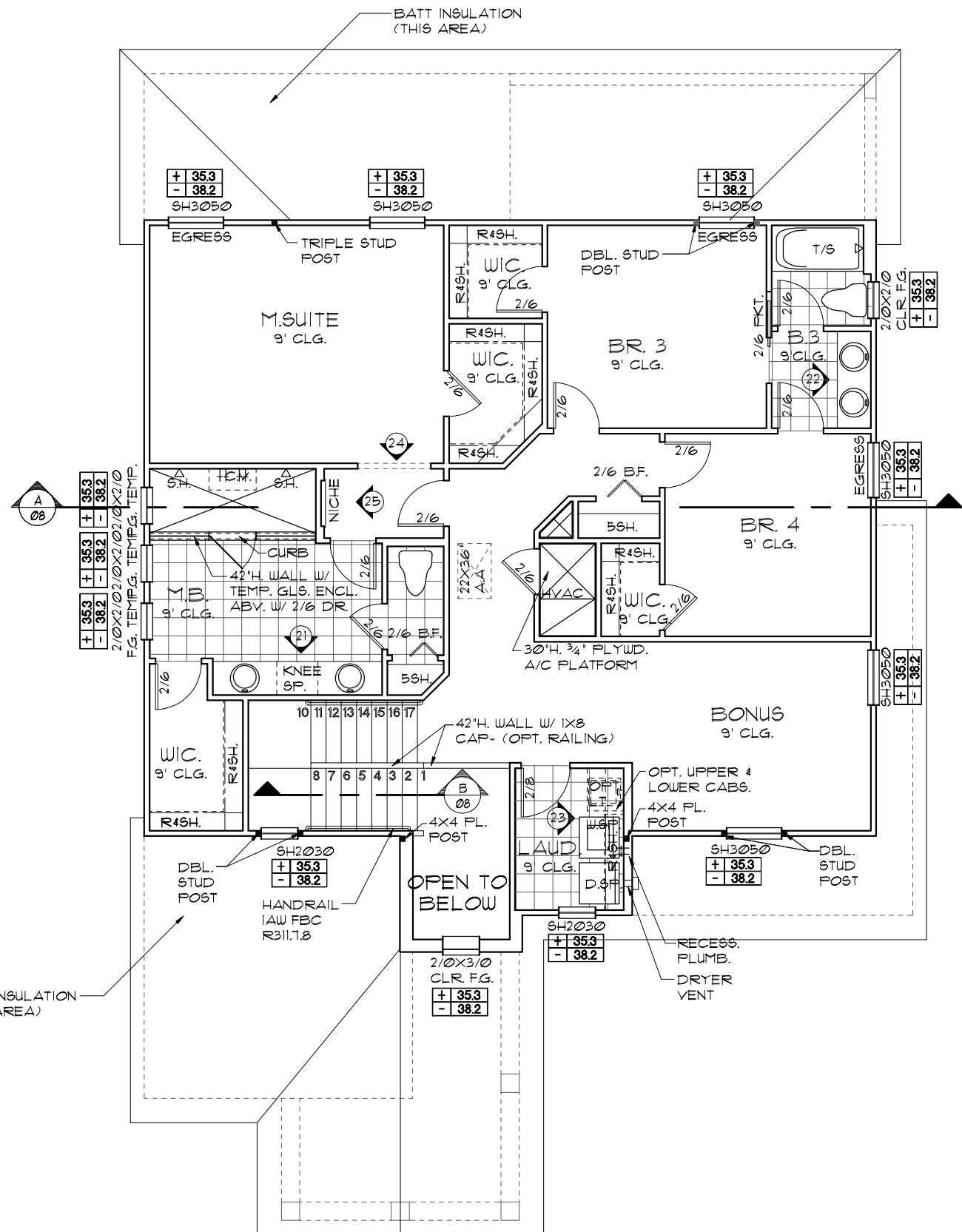
- |   |     |                               |
|---|-----|-------------------------------|
| + | XXX | DESIGN WIND PRESSURE 1AW FLA  |
| - | XXX | RESIDENTIAL CODE, SECTION R30 |

## GENERAL NOTES

1. PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.
2. VENT DRYER THRU EXTERIOR WALL.
3. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
4. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
5. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES
6. ALL 2ND. FLR. INTERIOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.


$$1/8'' = 1' - 0'' \quad (11 \times 17) \quad 1/4'' = 1' - 0'' \quad (22 \times 34)$$


OPT. MEDIA ROOM

$$1/8'' = 1' - 0'' \quad (11 \times 17) \quad 1/4'' = 1' - 0'' \quad (22 \times 34)$$


UPPER FLOOR PLAN W/ NOTES "C"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

NOTE: ALL INTERIOR DOORS ON THIS FLOOR TO BE: **6'-8"** U.N.O. - VERIFY WITH COLOR SHEET.

### OPTION A - STANDARD BONUS - SIDE LOAD

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WIND  
**LOT SPECIFIC INFORMATION**

CODE 2020	REVISIONS: 09-22-21	BY: DH
-----------	---------------------	--------

LA: 10-19-21 BY: RJP

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**Engineering By:**  
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PHONE: 407-345-0010  
JJAGTAP@RDCF.COM

4301 VINELAND RD.  
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**DREAM FINDERS**  
THE MAKERS OF A QUALITY HOME

UPPER FLOOR PLAN  
W/ NOTES

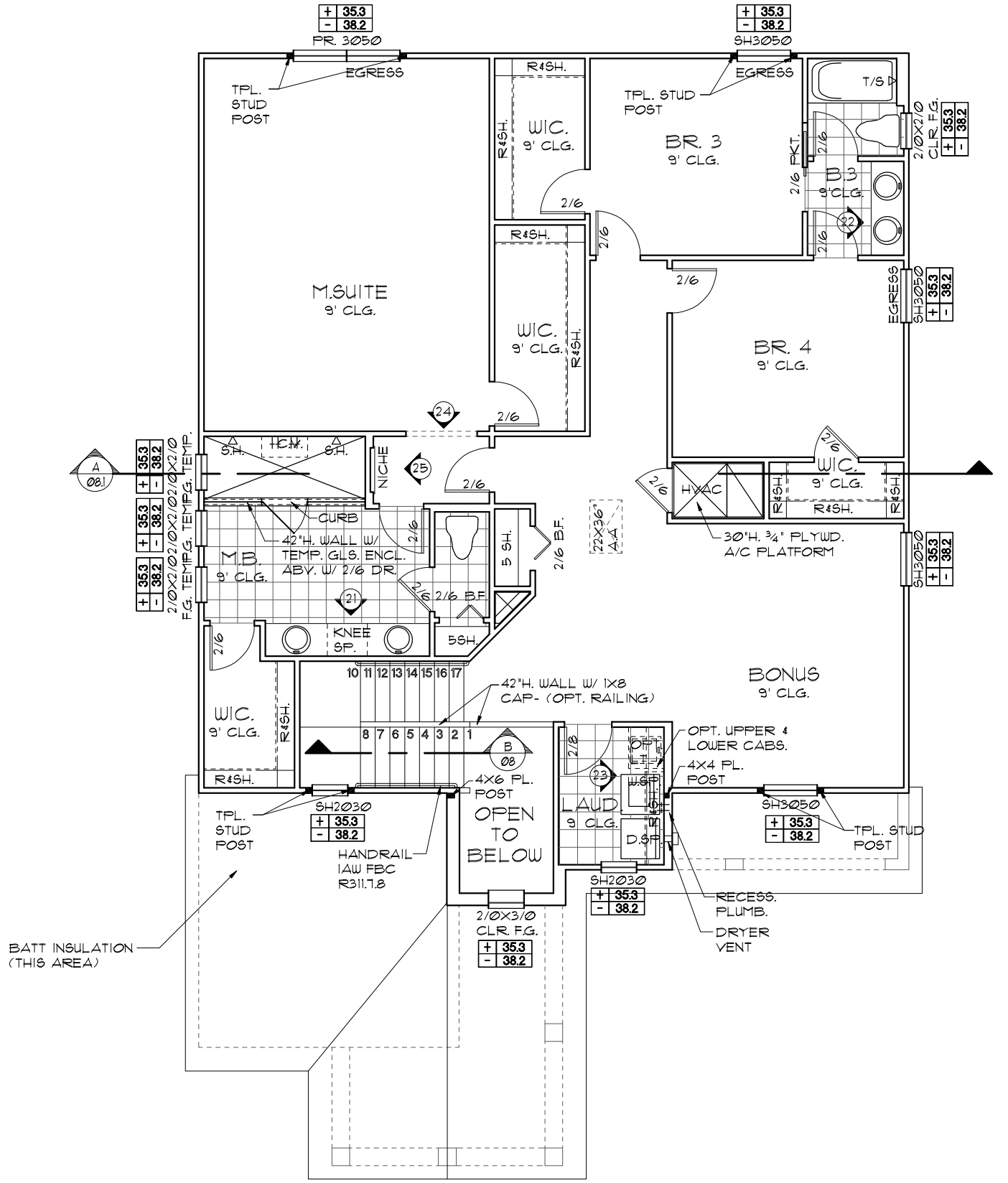
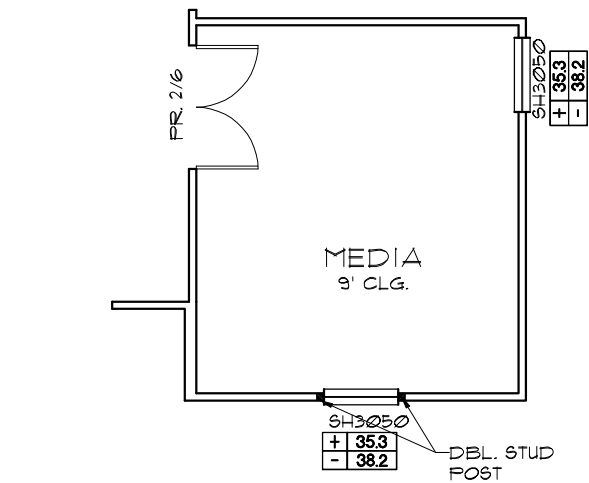
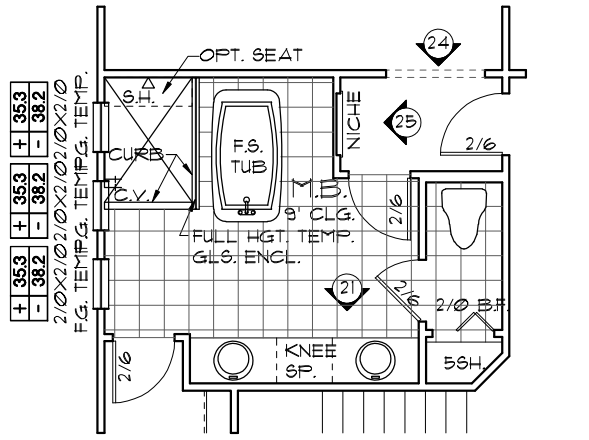
2718 BISCAYNE  
DREAM FINDERS HOMES

DATE 07-31-19  
SCALE AS NOTED  
DRAWN RDC  
JOB 2718  
74  
OF 26 SHEETS

LOAD INFORMATION	
PER 1TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE	
DEAD LOADS	
FLOOR: STRUCTURE	1 PSF
CEILING	3 PSF
MECH/ELEC	5 PSF
PARTITIONS	5 PSF
TOTAL	20 PSF
ROOF: SHEATHING	
STRUCTURE	1 PSF
CEILING	3 PSF
MECH/ELEC	5 PSF
TOTAL	20 PSF
FLOOR LIVE LOADS	
RESIDENTIAL FLOOR:	40 PSF
ATTIC WITHOUT STORAGE:	10 PSF
ATTIC WITH LIMITED STORAGE:	20 PSF
GUARDRAILS & HANDRAILS:	200 LBS
GUARDRAILS IN-FLL COMP.:	50 PSF
SLEEPING ROOMS:	30 PSF
ROOMS OTHER THAN SLEEPING:	40 PSF
STAIR LIVE LOAD:	40 PSF
ROOF LIVE LOADS	
MINIMUM ROOF LIVE LOAD (PSF)	
TRIBUTARY LOADED AREA (SQ. FT.)	FOR ANY STRUCTURAL MEMBER
ROOF SLOPE	0-200 201-600 OVER 600
0:12 < 4:12	20 16 12
≥ 4:12 < 12:12	16 14 12
≥ 12:12	12 12 12

WIND INFORMATION	
PER 1TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE	
1. BASIC WIND SPEED:	140 MPH
2. WIND IMPORTANCE FACTOR:	1.0
3. BUILDING WIND EXPOSURE:	B
4. INTERNAL PRESSURE COEFFICIENT:	+/- .18, INCLUDED IN NOTE #5
5. COMPONENT / CLADDING:	SEE PLAN DESIGN WIND PRESSURE:
<div> <div> + XXX </div> <div> - XXX </div> </div> DESIGN WIND PRESSURE 1AW FLA RESIDENTIAL CODE, SECTION R301	
NOTE: DESIGN PRESSURES BASED ON BASIC WIND SPEED AND NOT ULTIMATE WIND SPEED.	

GENERAL NOTES	
1. PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.	
2. VENT DRYER THRU EXTERIOR WALL.	
3. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.	
4. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.	
5. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES	
6. ALL 2ND. FLR. INTERIOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.	



UPPER FLOOR PLAN W/ NOTES "C"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

NOTE: ALL INTERIOR DOORS ON THIS FLOOR TO BE: 6'-8" U.N.O. - VERIFY WITH COLOR SHEET.

OPTION B - EXTENDED BONUS

LOT SPECIFIC INFORMATION

DATE 07-31-19

SCALE AS NOTED

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JOB 2718

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OF 26 SHEETS

2718 BISCAYNE

DREAM FINDERS HOMES

UPPER FLOOR PLAN W/ NOTES

DREAM FINDERS

Engineering By:

PRASHANTH N. JAGTAP, P.E.

5890 MARLBERRY DRIVE

ORLANDO, FL 32819

PHONE: 407-345-0010

INFO: J.JAGTAP@RDCFLA.COM

LA: 10-19-21 BY: RP

REVISIONS: 09-22-21 BY: DH

CODE 2020

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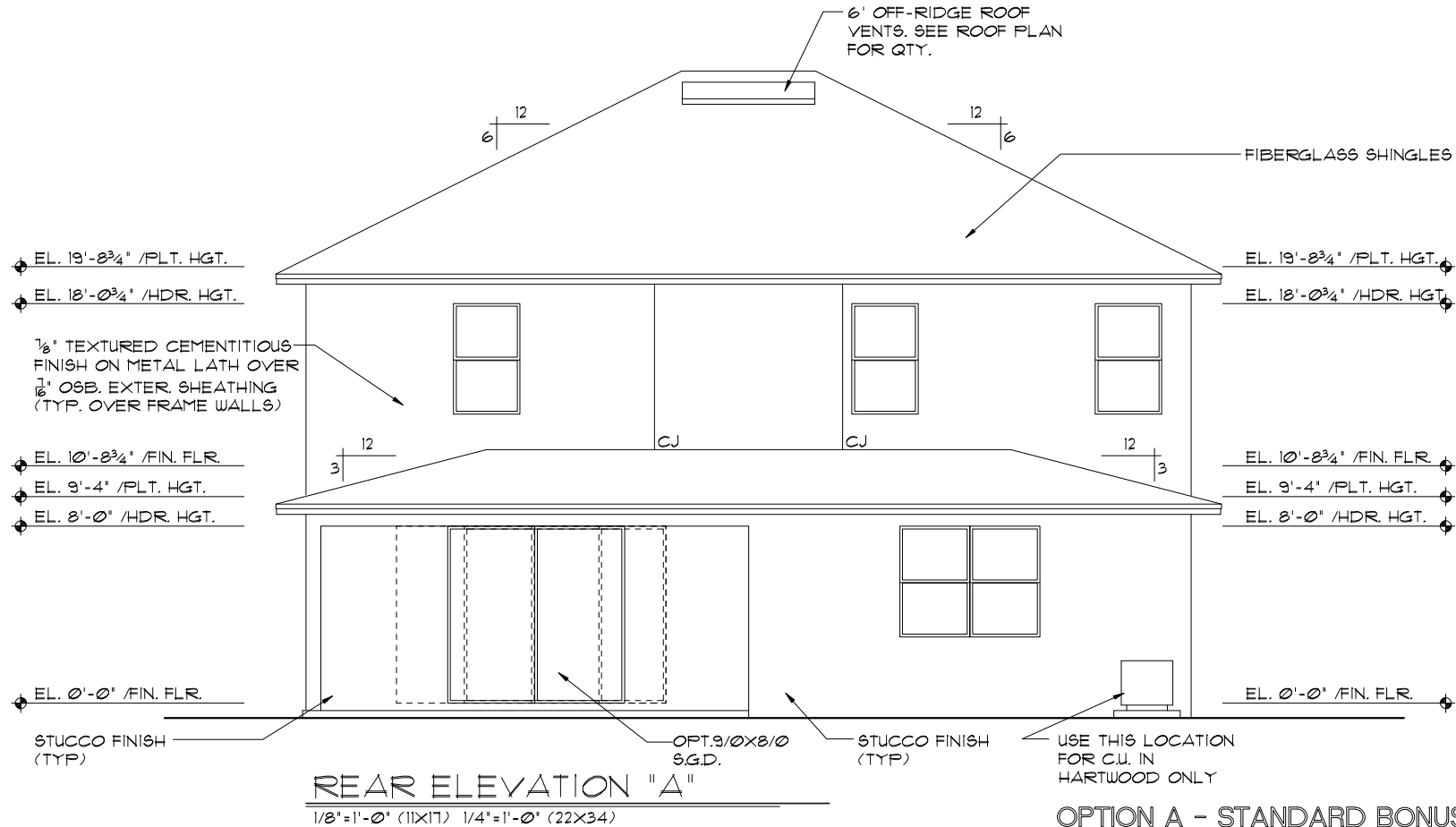
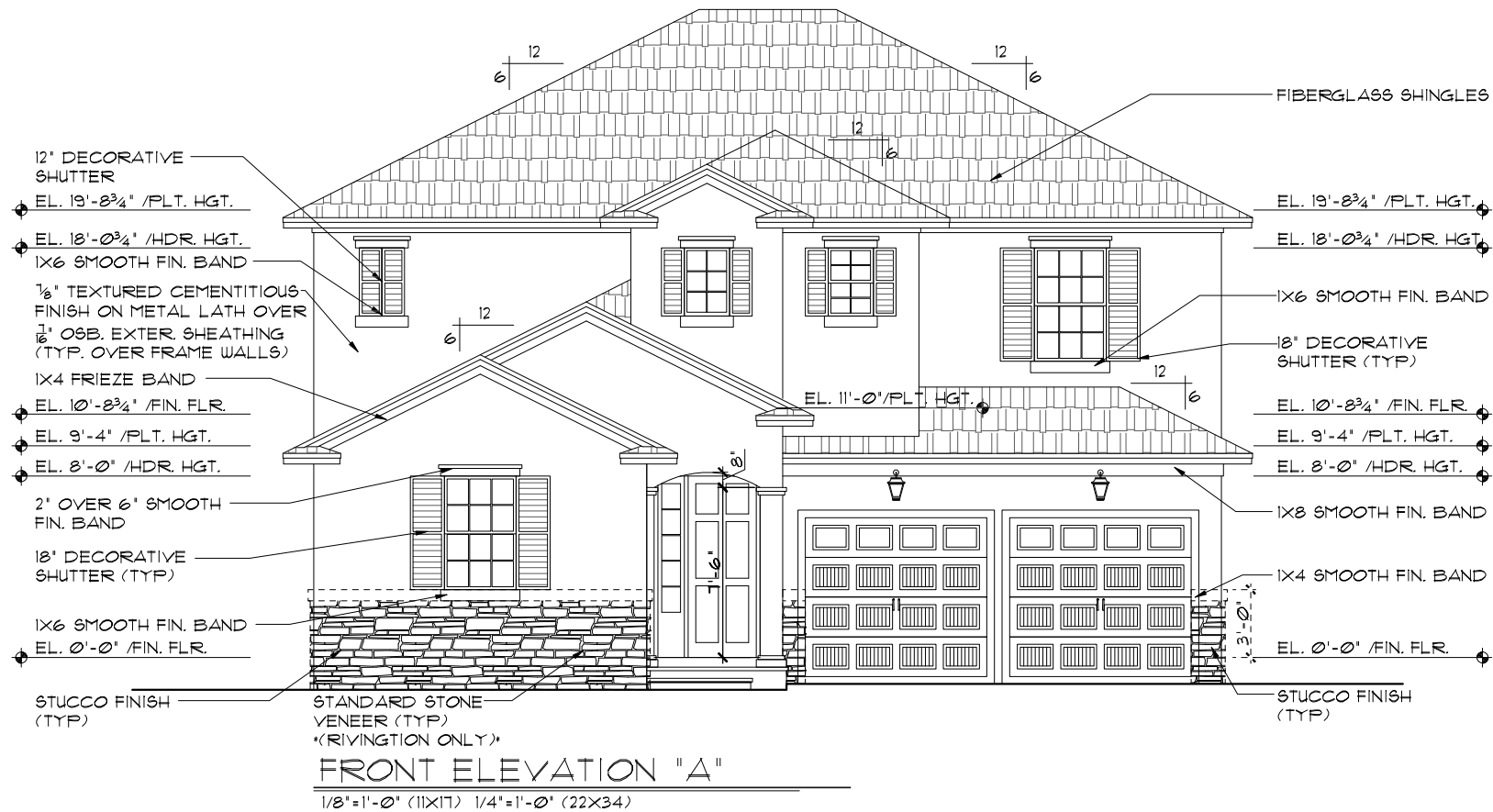






EXTERIOR FINISH NOTES

1. LATH TO BE ATTACHED IAW R103.1.1 OF THE 11TH EDITION, FBCR, 2020
2. PLASTERING TO BE WITH PORTLAND CEMENT, INSTALLED IAW R103.1.2 OF THE 11TH EDITION, FBCR, 2020 - APPLICABLE CODES : ASTM C926 & C1065
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Item 5.

Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

DREAM FINDERS  
THE MAKERS OF A QUALITY HOME

EXTERIOR ELEVATION  
FRONT AND REAR

2718 BISCAYNE  
DREAM FINDERS HOMES

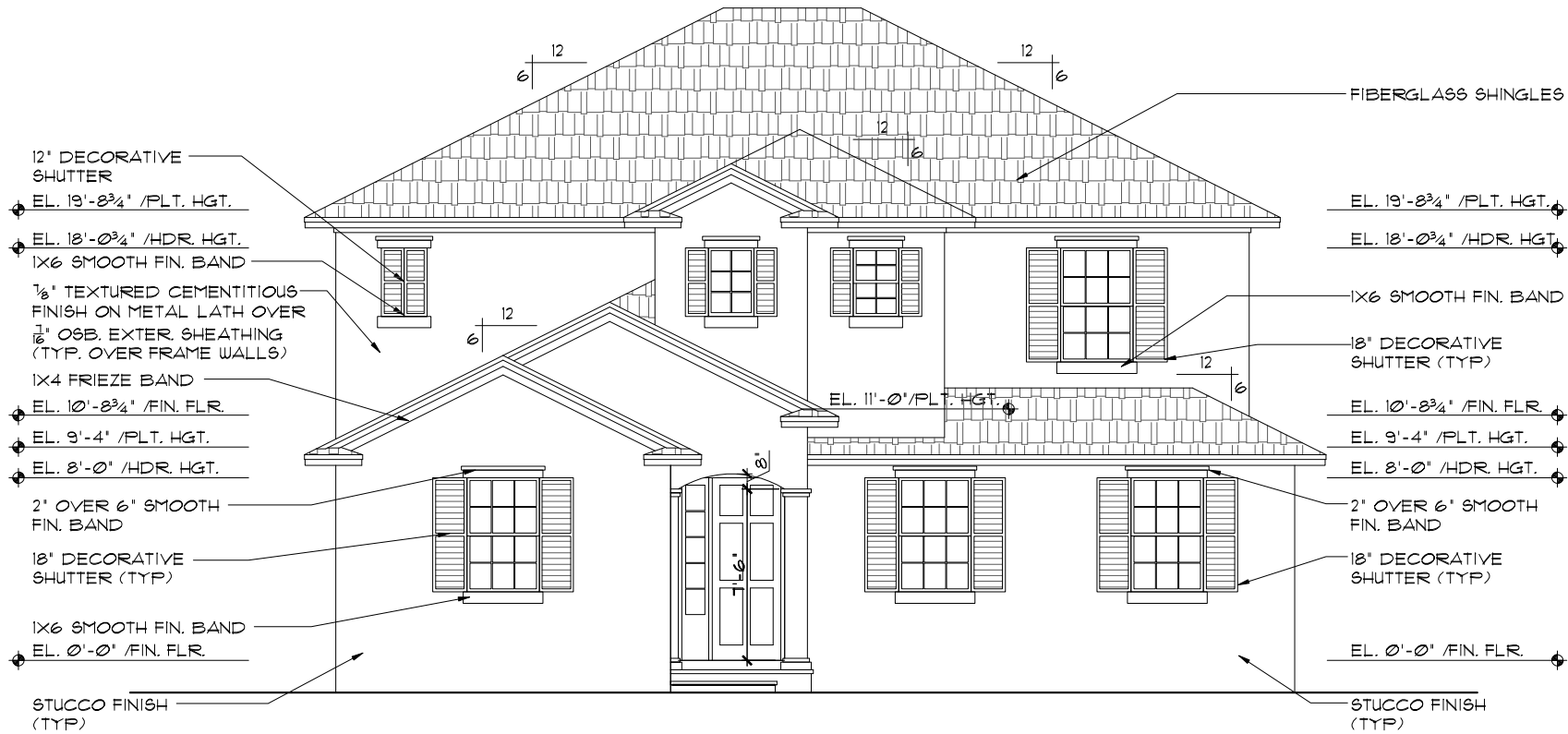
DATE 07-31-19  
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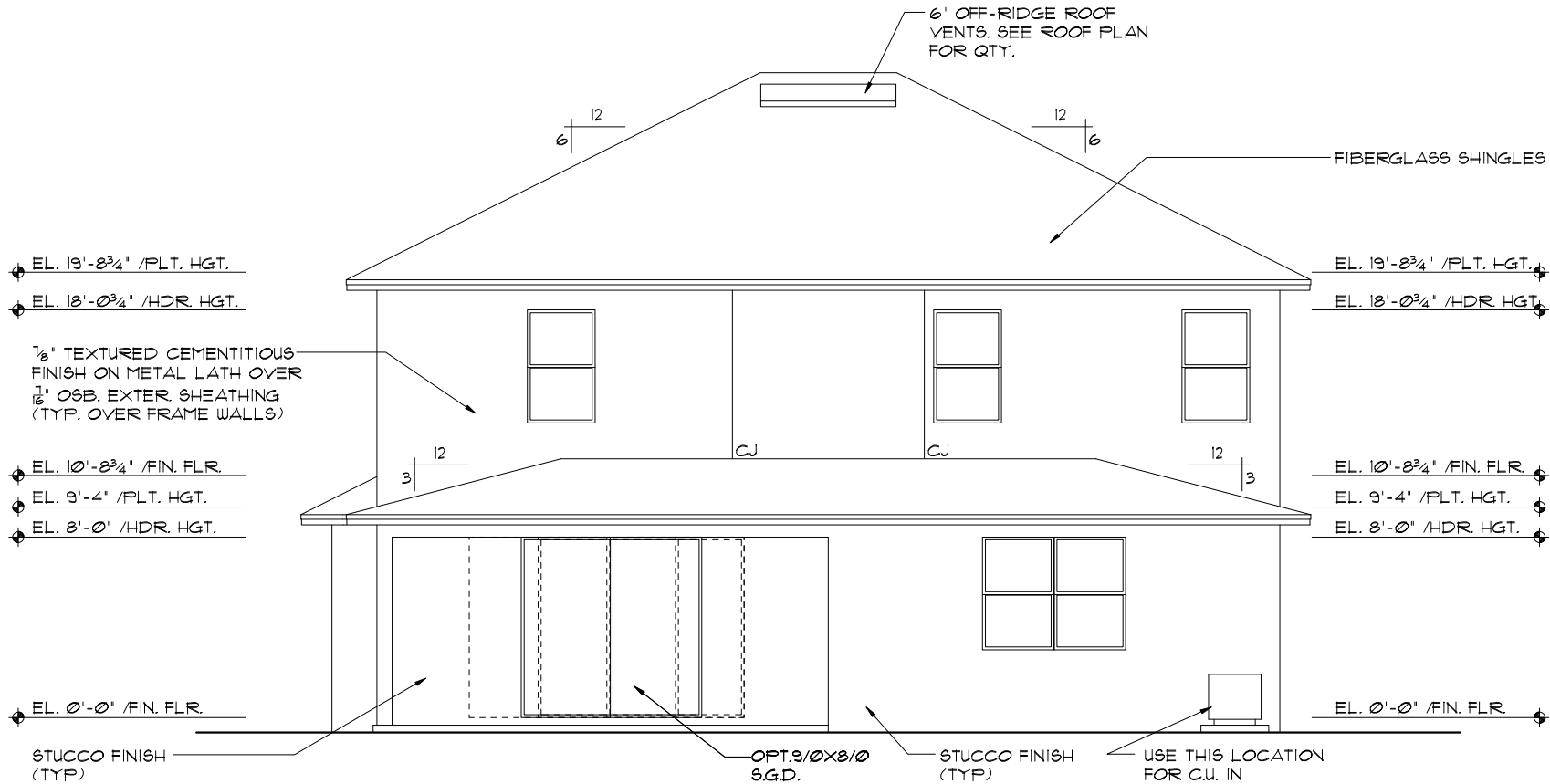
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FRONT ELEVATION "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



REAR ELEVATION "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

OPTION A - STANDARD BONUS - SIDE LOAD

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LOT SPECIFIC INFORMATION

DATE 07-31-19

SCALE AS NOTED

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JOB 2718

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OF 26 SHEETS

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Engineering By: PRASHAKAR N. JAGTAP, P.E. 5890 MARLBERRY DRIVE ORLANDO, FL 32819 PHONE: 407-345-0010 INFO@RDCFLA.COM J.JAGTAP@RDCFLA.COM

REVISIONS 09-22-21

BY: DH

CODE 2020

EXTERIOR ELEVATION FRONT AND REAR

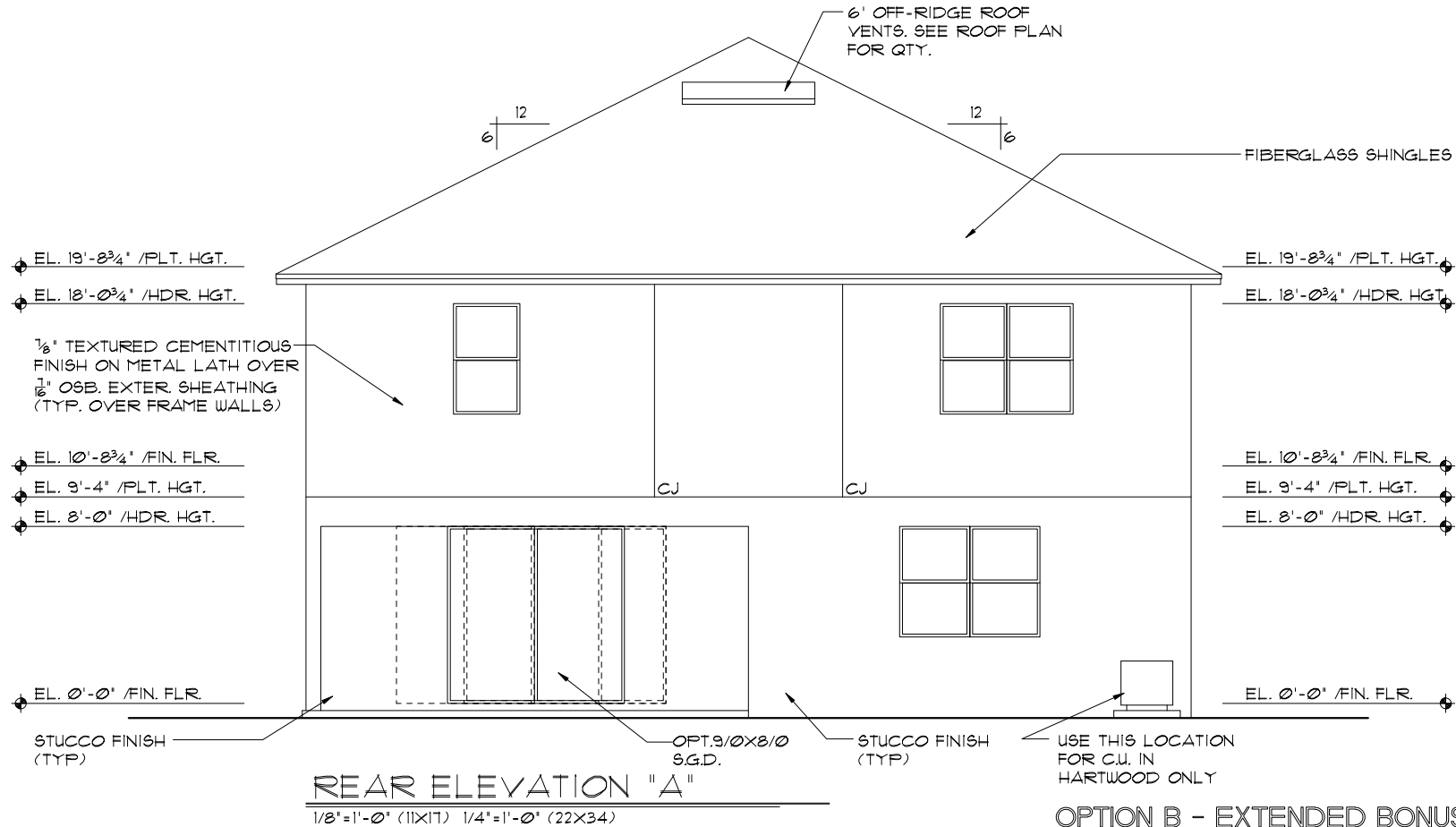
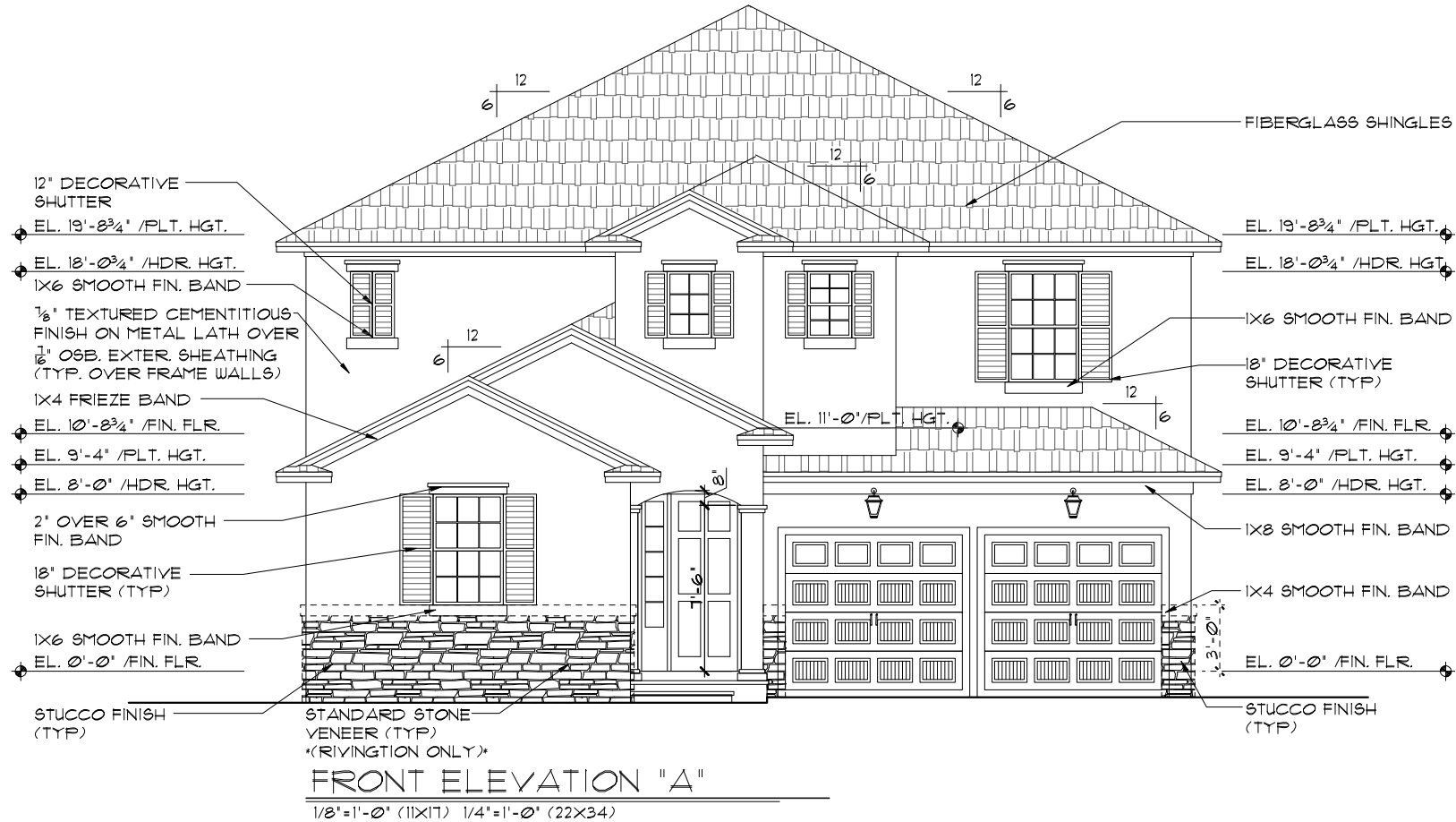
2718 BISCAYNE

DREAM FINDERS HOMES

Item 5.

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PRASHANTH N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811  
INFO@RDCFLA.COM

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DREAM FINDERS  
THE MAKERS OF A QUALITY HOME

EXTERIOR ELEVATION  
FRONT AND REAR

2718 BISCAYNE  
DREAM FINDERS HOMES

DATE 07-31-19  
SCALE AS NOTED  
DRAWN RDC  
JOB 2718  
79  
A.1  
OF 26 SHEETS

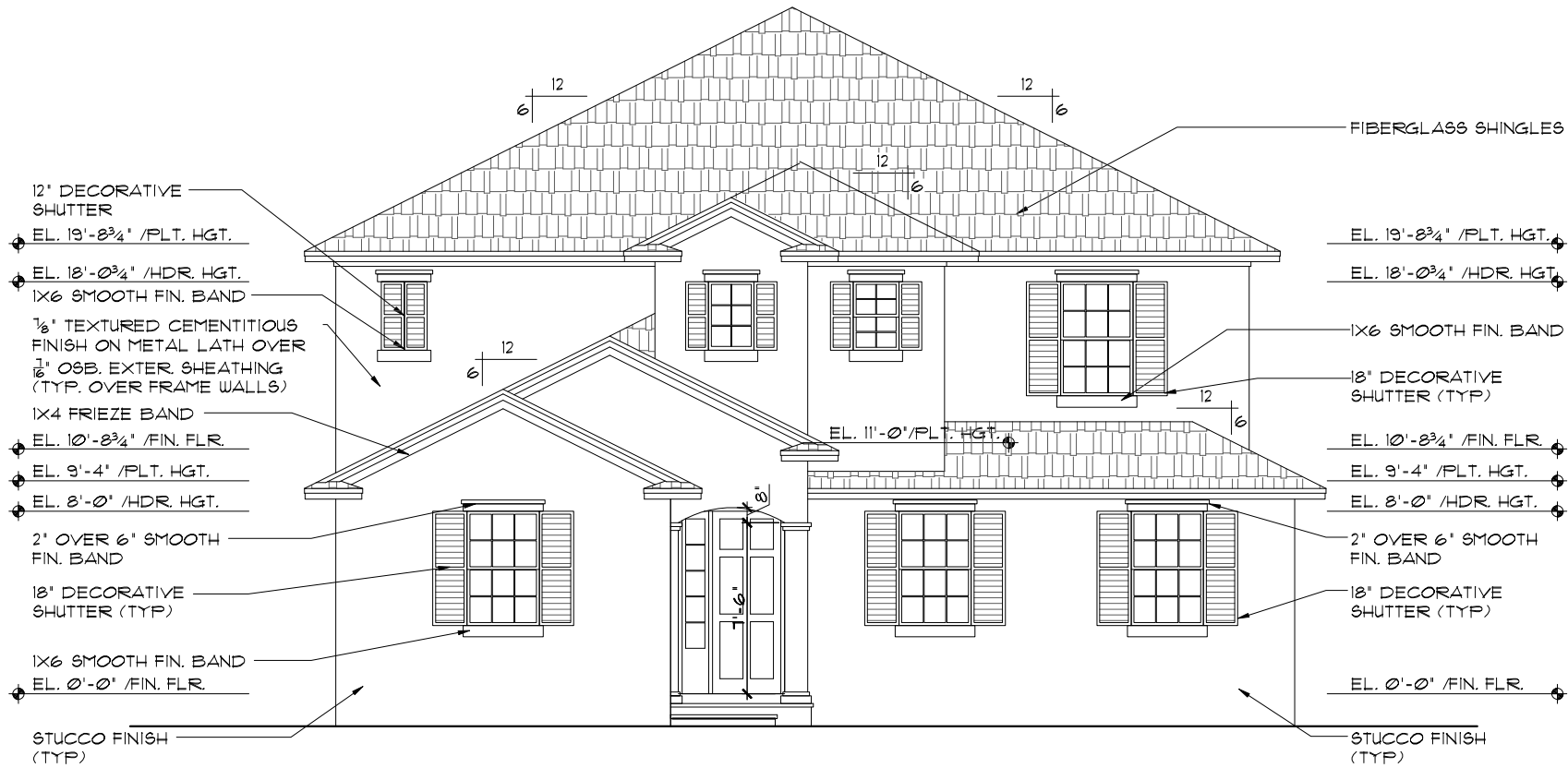
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CODE 2020  
LA: 10-19-21 BY: RP

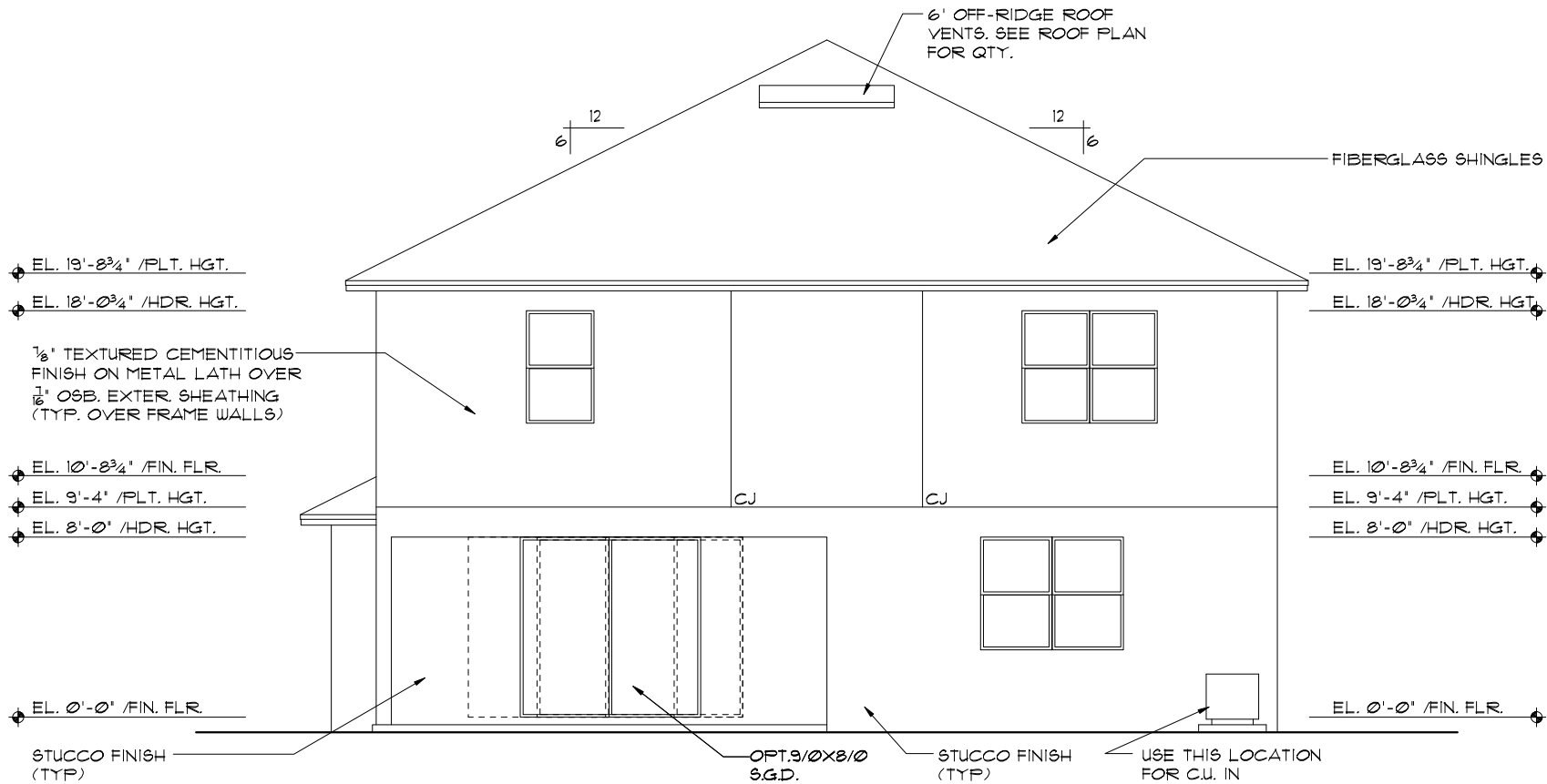
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FRONT ELEVATION "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



REAR ELEVATION "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

OPTION B - EXTENDED BONUS - SIDE LOAD

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 11TH EDITION

LOT SPECIFIC INFORMATION

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

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OF 26 SHEETS

2718 BISCAYNE

DREAM FINDERS HOMES

EXTERIOR ELEVATION FRONT AND REAR

Engineering By: PRABHAKAR N. JAGTAP, P.E. 5890 MARLBERRY DRIVE ORLANDO, FL 32819 PHONE: 407-345-0010 INFO@RDCFLA.COM

4301 VINELAND RD. SUITE E-1 ORLANDO, FL 32811 INFO@RDCFLA.COM

REVISIONS 09-22-21

BY: DH

CODE 2020

REVISIONS 09-22-21

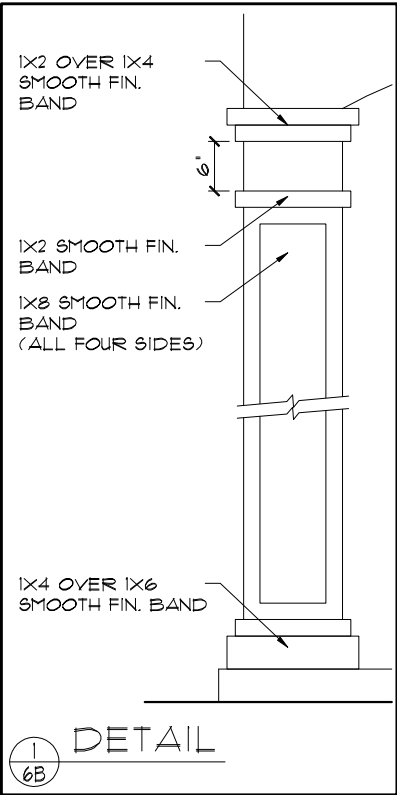
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LA: 10-19-21

BY: RP

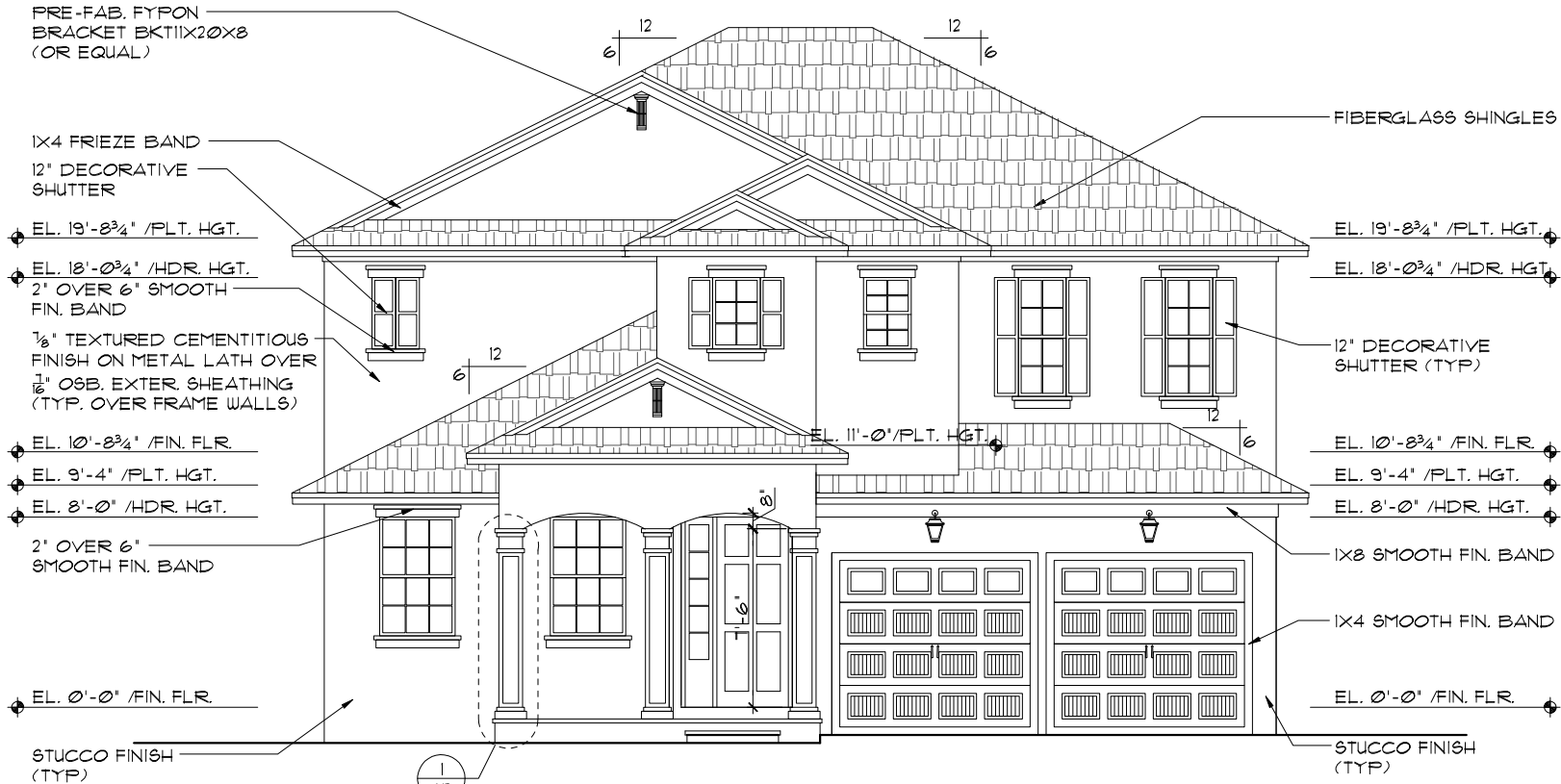
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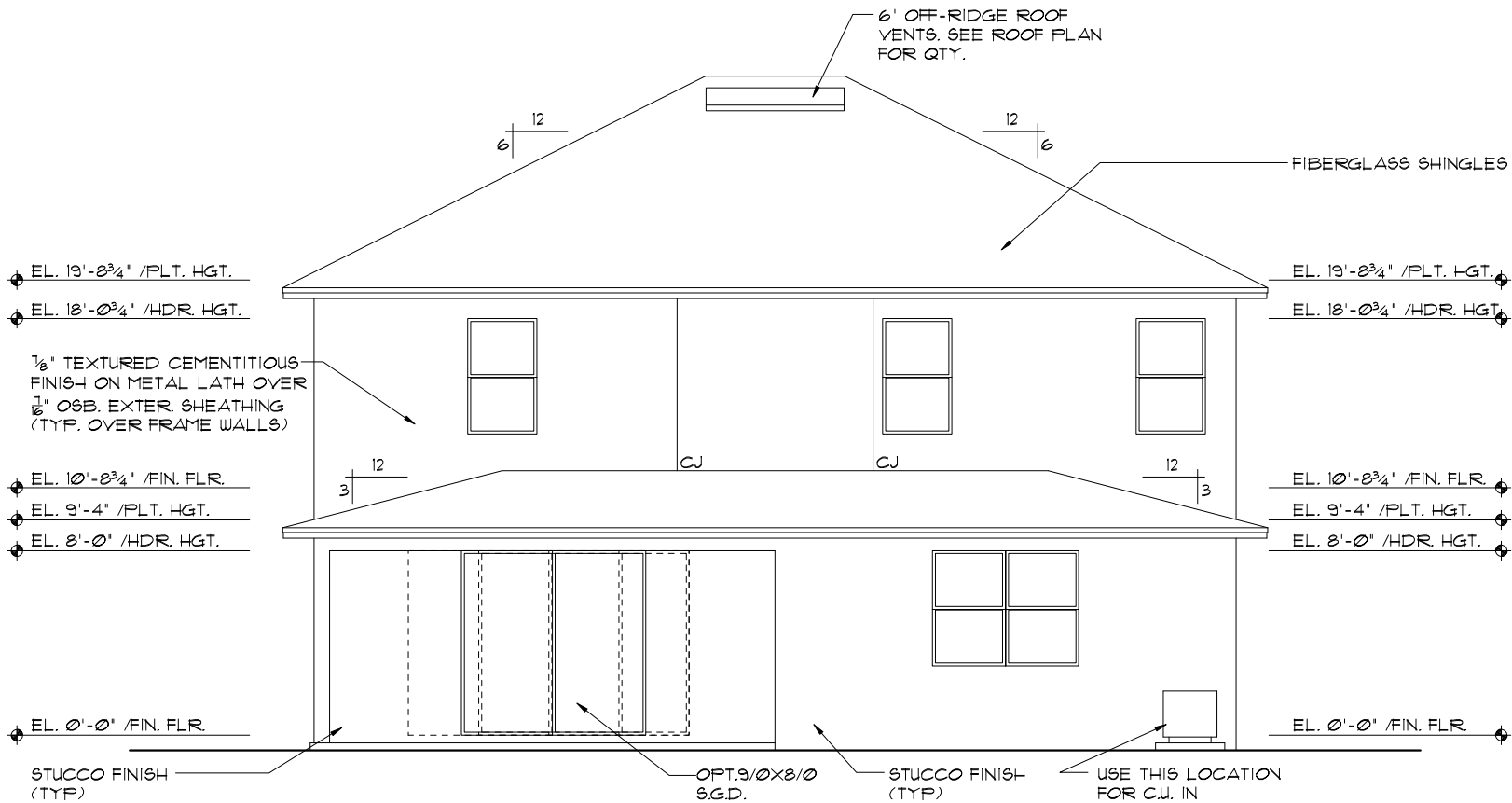
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#### FRONT ELEVATION "B"

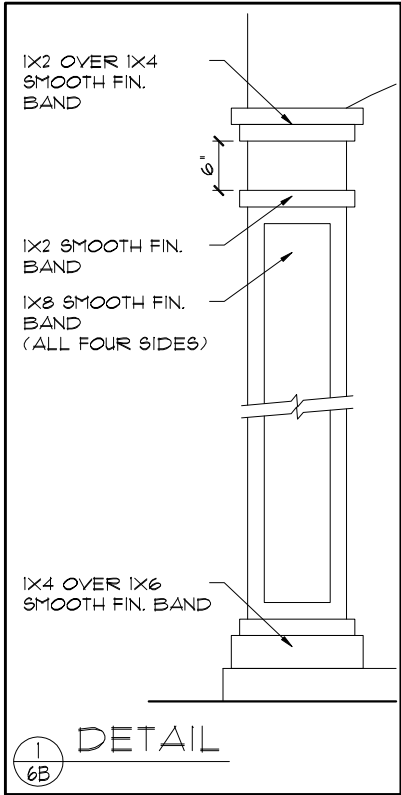
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#### REAR ELEVATION "B"

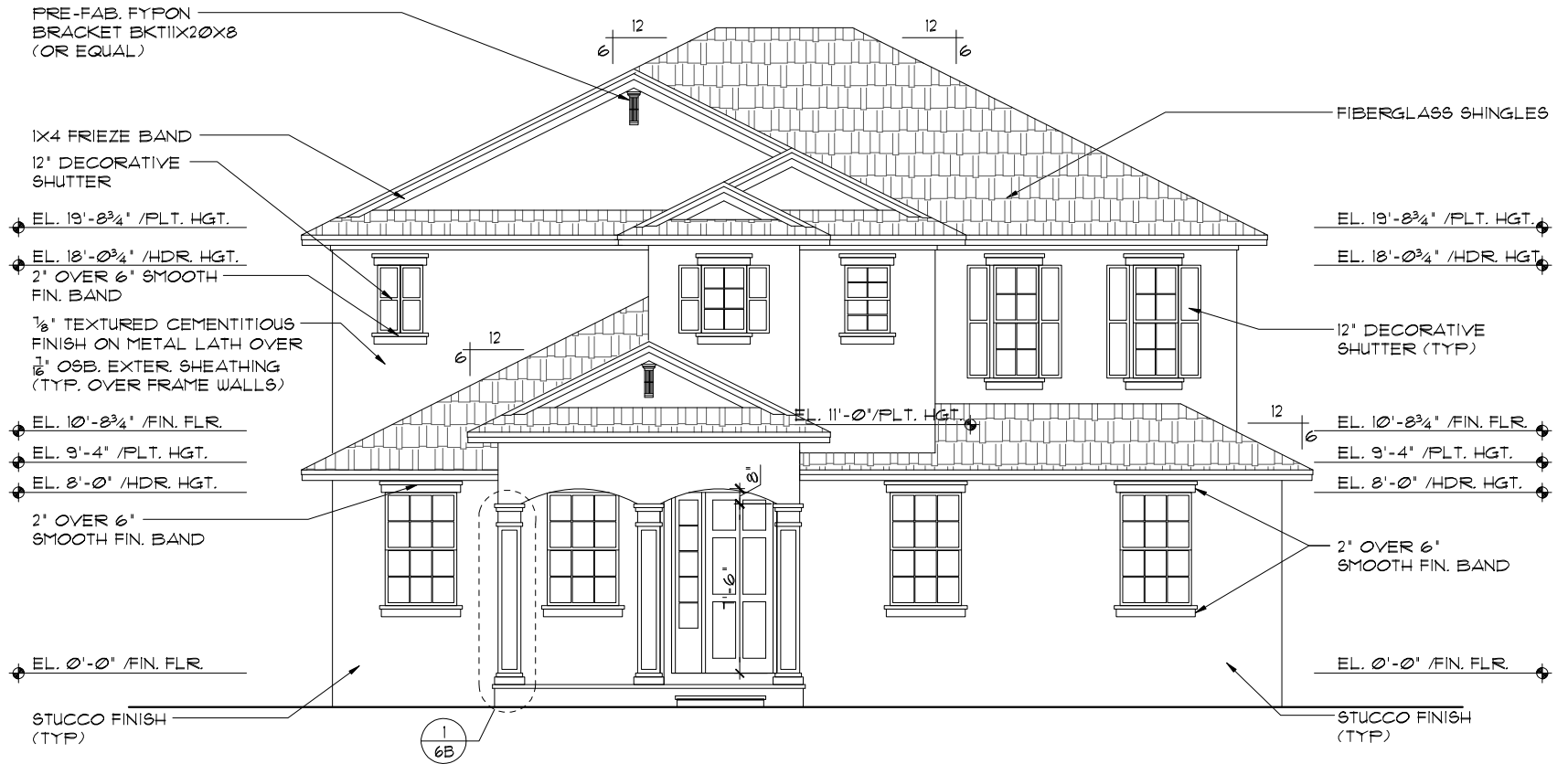
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

OPTION A - STANDARD BONUS



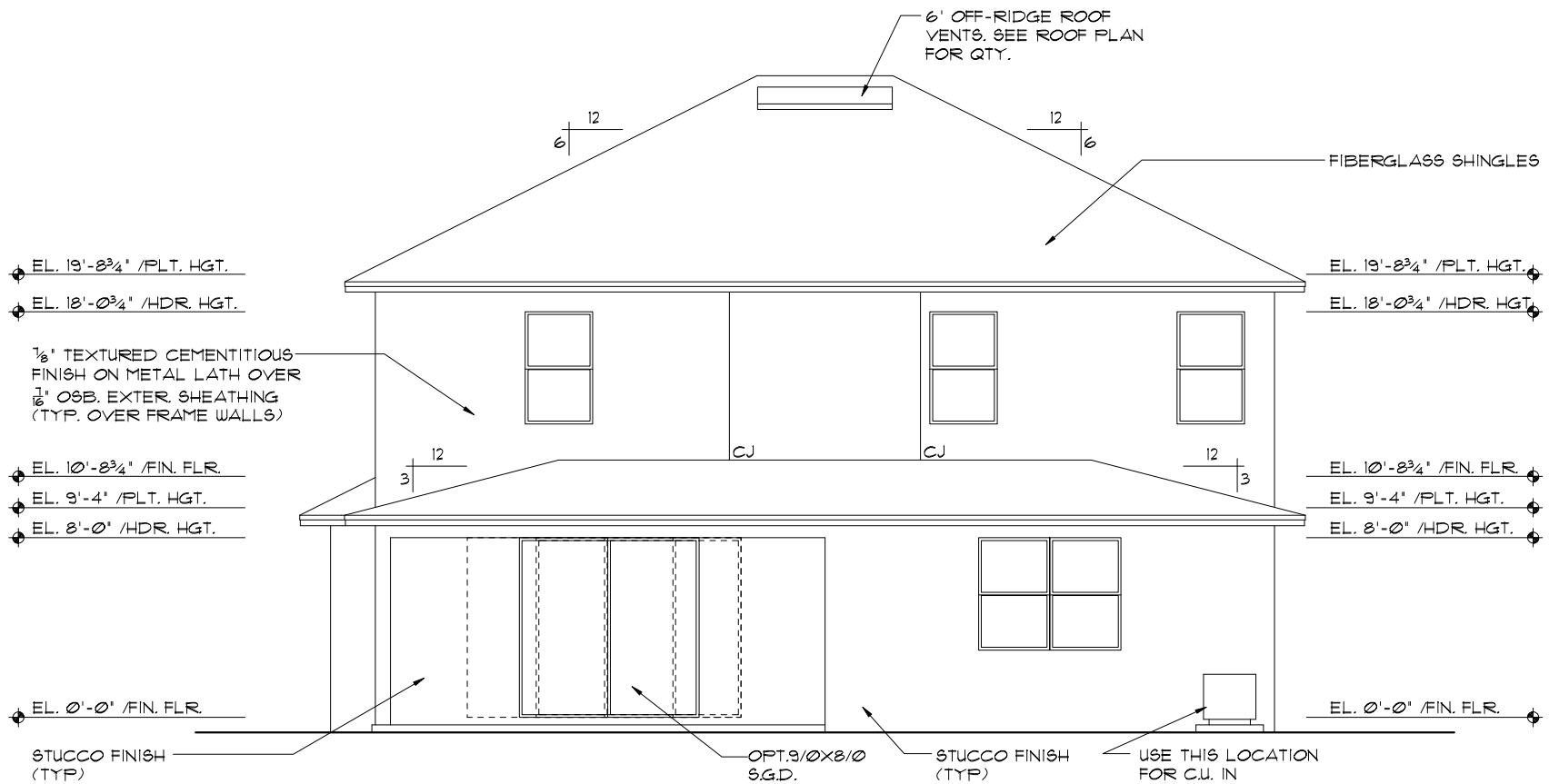
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#### FRONT ELEVATION "B"

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#### REAR ELEVATION "B"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

OPTION A - STANDARD BONUS - SIDE LOAD

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 11TH EDITION

LOT SPECIFIC INFORMATION

DATE 07-31-19

SCALE AS NOTED

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JOB 2718

82

OF 26 SHEETS

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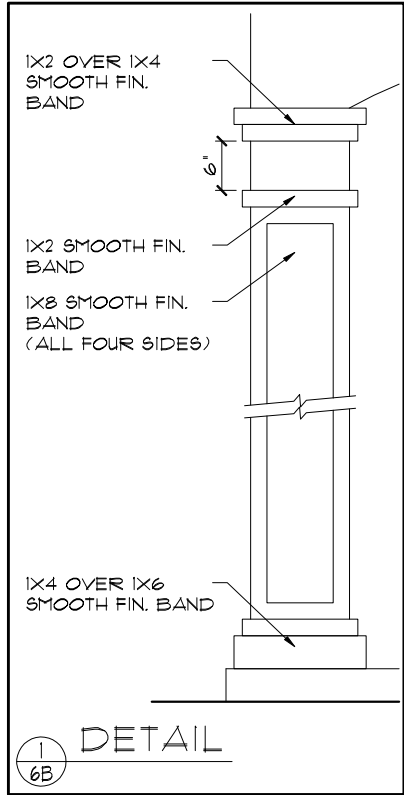
Engineering By: PRASHAKAR N. JAGTAP, P.E. 5890 MARLBERRY DRIVE ORLANDO, FL 32819 PHONE: 407-345-0010 INFO@RDCFLA.COM

4301 VINELAND RD. SUITE E-1 ORLANDO, FL 32811 INFO@RDCFLA.COM

EXTERIOR ELEVATION FRONT AND REAR

2718 BISCAYNE DREAM FINDERS HOMES

Item 5.



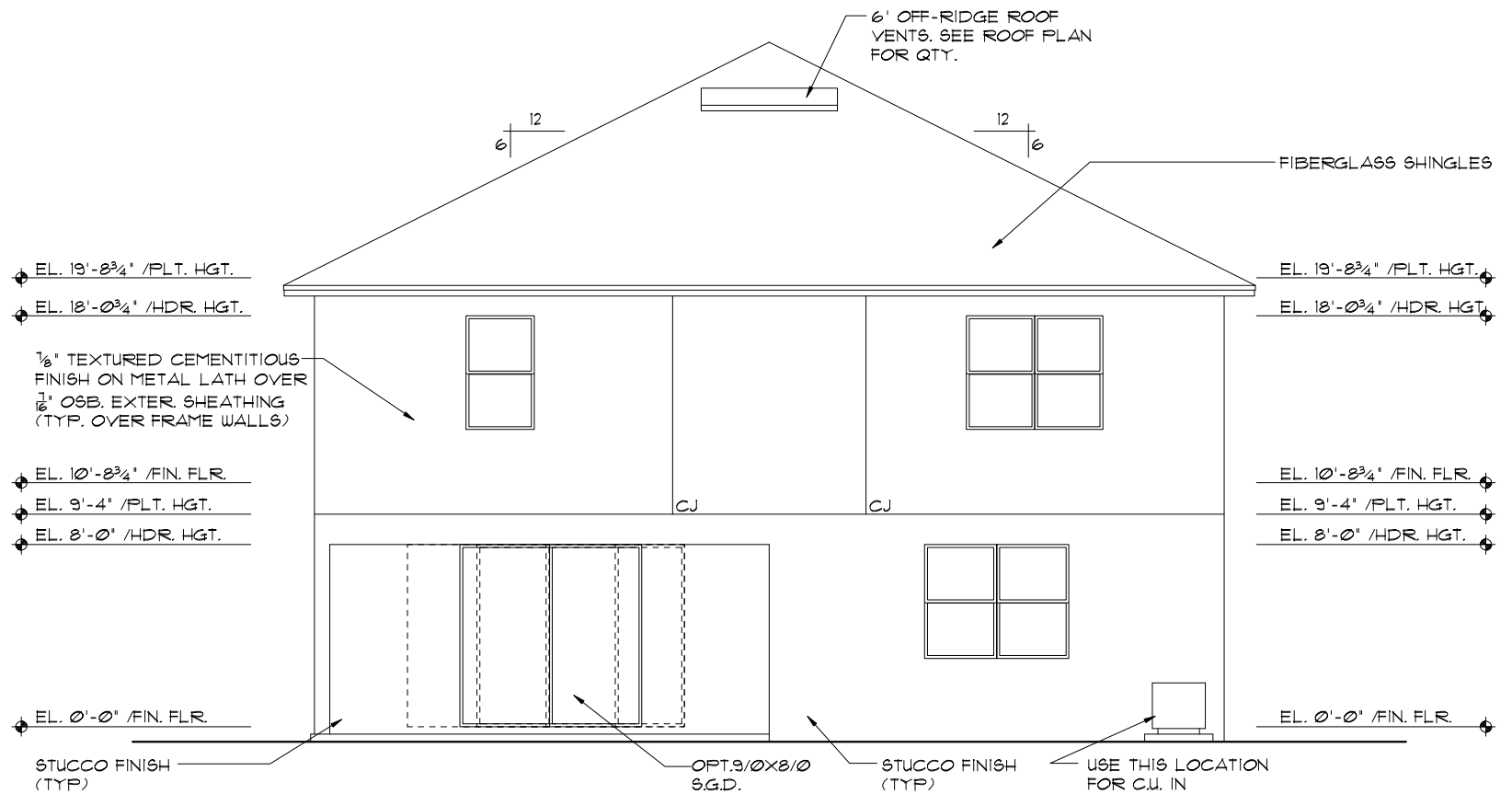
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#### FRONT ELEVATION "B"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



#### REAR ELEVATION "B"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

OPTION B - EXTENDED BONUS

Item 5.

Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
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ORLANDO, FL 32819  
PHONE: 407-345-0010  
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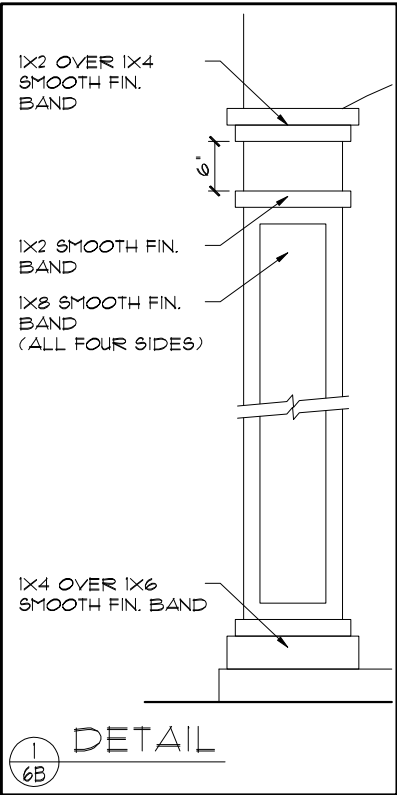
DREAM FINDERS  
THE MAKERS OF A QUALITY HOME

EXTERIOR ELEVATION  
FRONT AND REAR

2718 BISCAYNE  
DREAM FINDERS HOMES

DATE 07-31-19  
SCALE AS NOTED  
DRAWN RDC  
JOB 2718  
83  
OF 26 SHEETS

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PRE-FAB. FYRON  
BRACKET BKT11X20X8  
(OR EQUAL)

1X4 FRIEZE BAND  
12" DECORATIVE  
SHUTTER

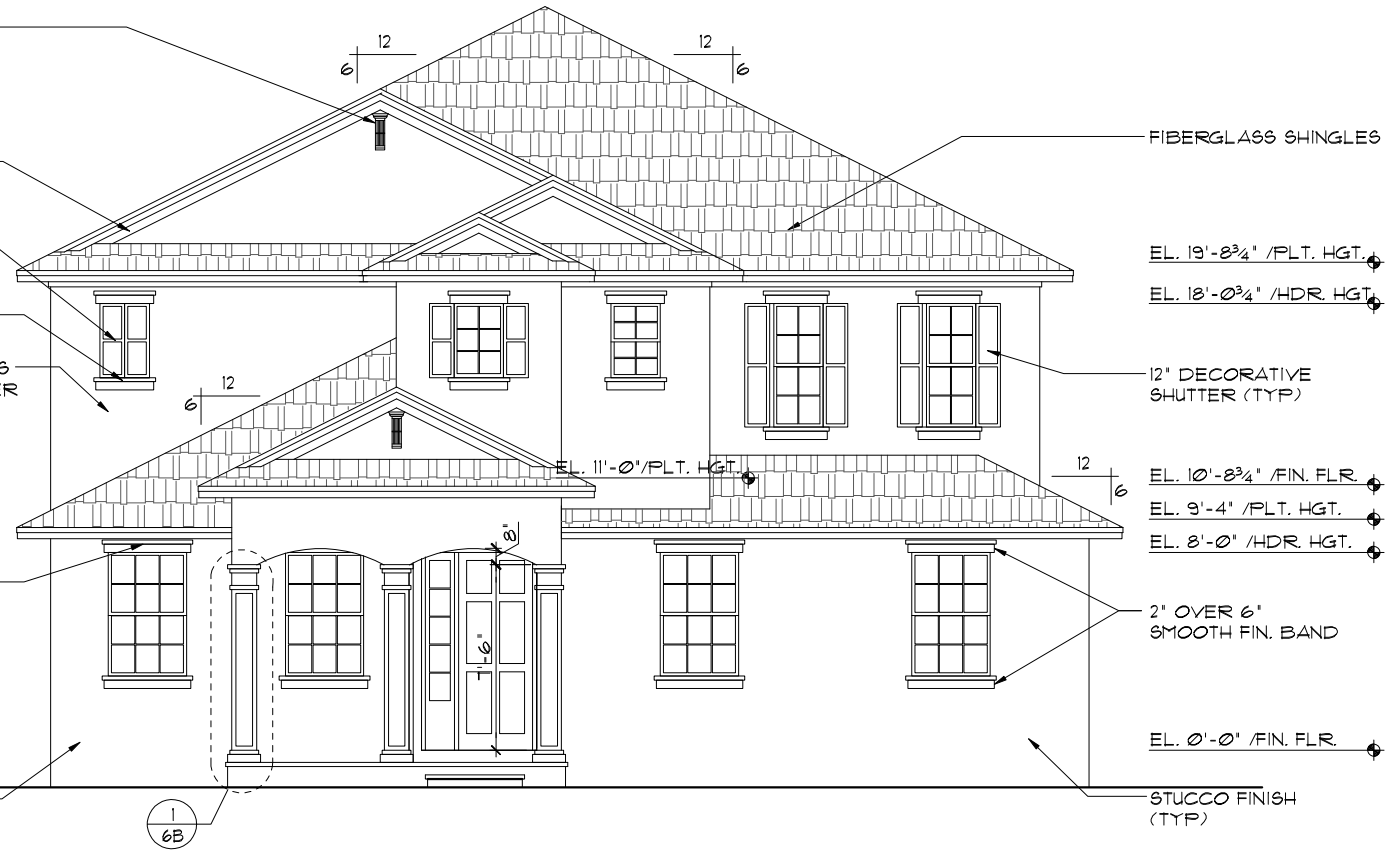
EL. 19'-8 3/4" /PLT. HGT.  
EL. 18'-0 3/4" /HDR. HGT.  
2" OVER 6" SMOOTH  
FIN. BAND

1/8" TEXTURED CEMENTITIOUS  
FINISH ON METAL LATH OVER  
1/2" OSB. EXTER. SHEATHING  
(TYP. OVER FRAME WALLS)

EL. 10'-8 3/4" /FIN. FLR.  
EL. 9'-4" /PLT. HGT.  
EL. 8'-0" /HDR. HGT.

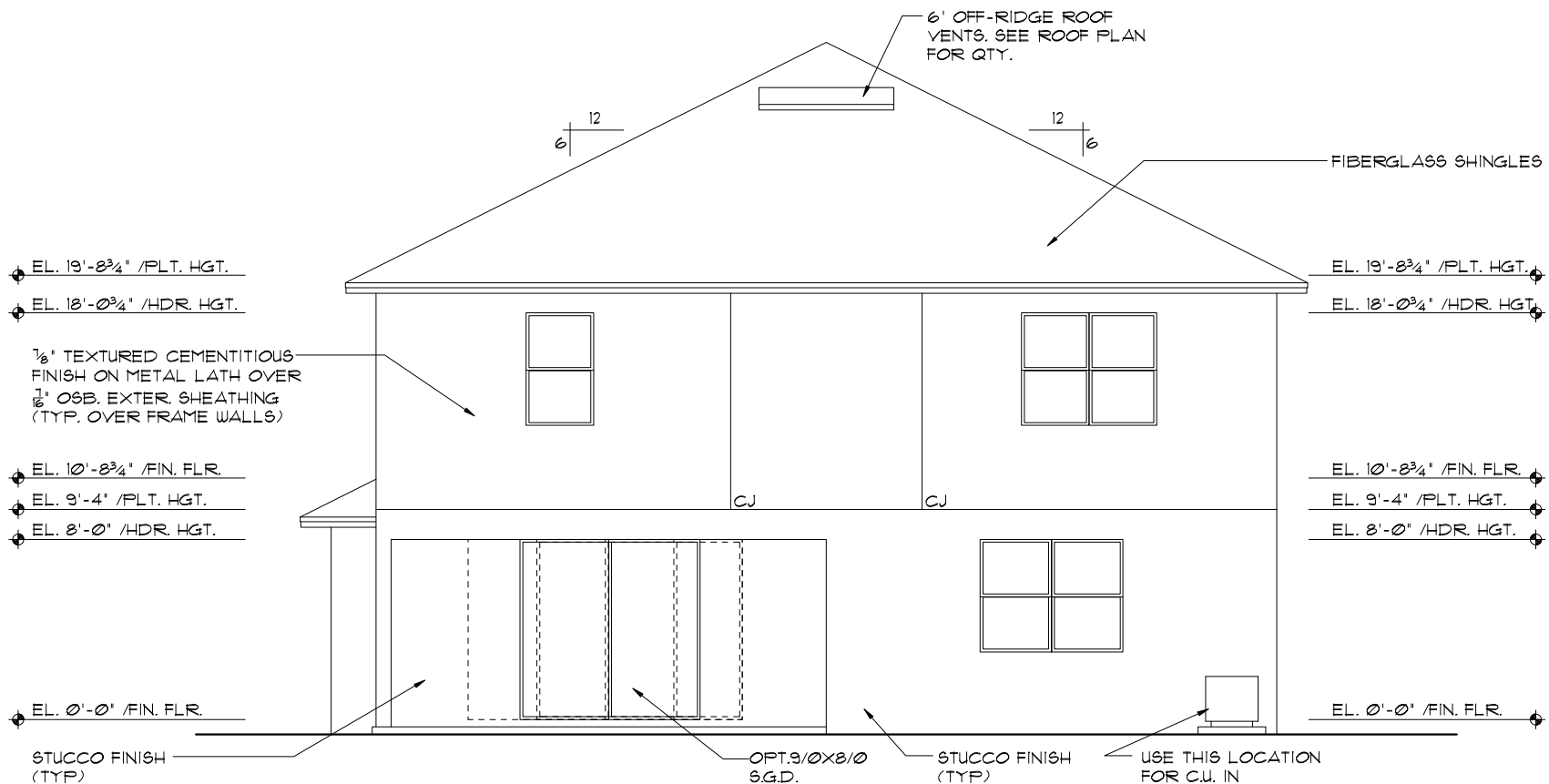
2" OVER 6" SMOOTH  
FIN. BAND

EL. 0'-0" /FIN. FLR.  
STUCCO FINISH  
(TYP)



**FRONT ELEVATION "B"**

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



**REAR ELEVATION "B"**

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

OPTION B - EXTENDED BONUS - SIDE LOAD

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 11TH EDITION

Item 5.

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PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
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DREAM FINDERS  
THE MAKERS OF A QUALITY HOME

EXTERIOR ELEVATION  
FRONT AND REAR

2718 BISCAYNE  
DREAM FINDERS HOMES

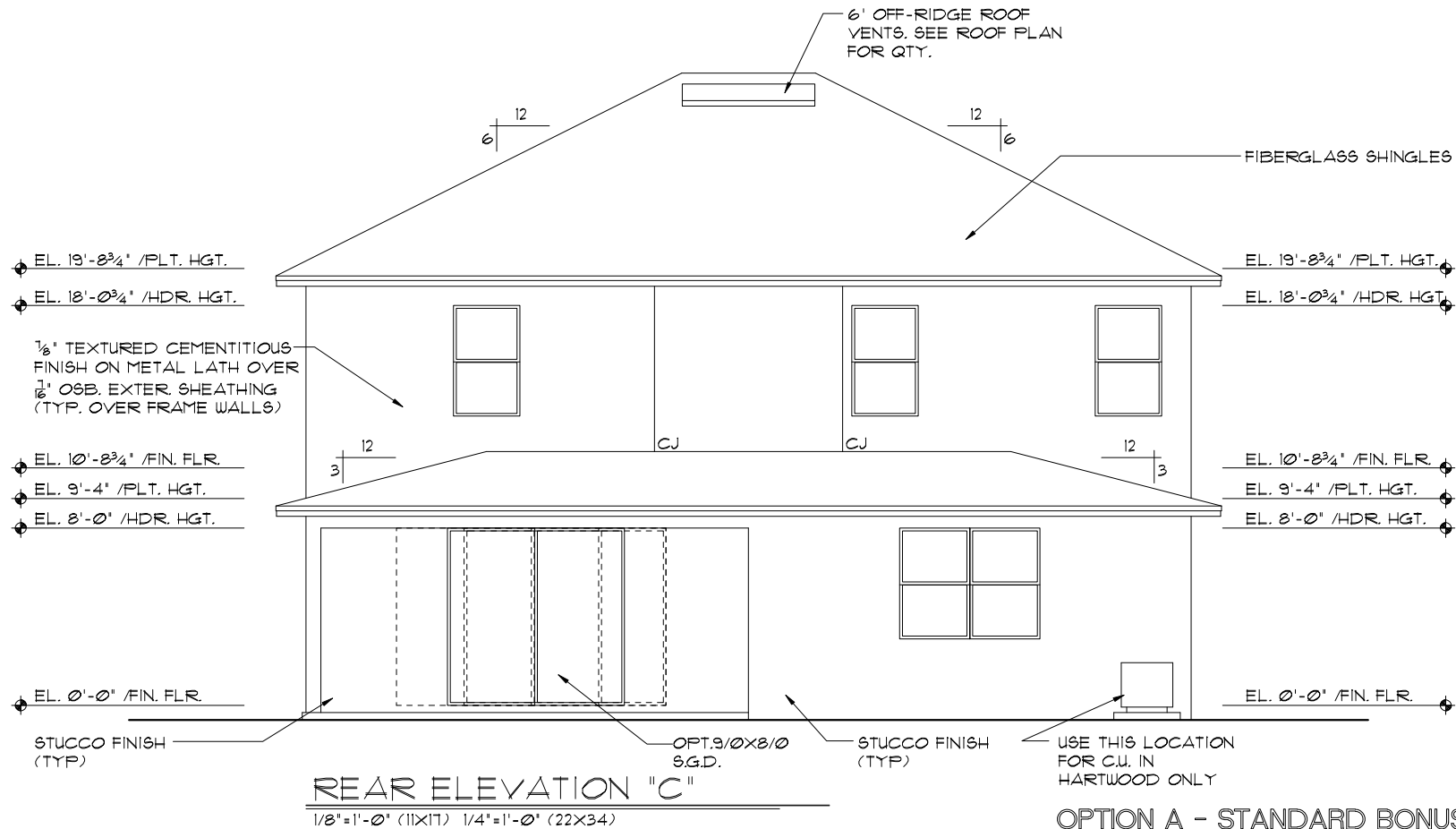
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84  
OF 26 SHEETS

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LOT SPECIFIC INFORMATION

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SCALE AS NOTED

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OF 26 SHEETS

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Engineering By: PRAHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811  
INFO@RDCFLA.COM

DREAM FINDERS  
THE MAKERS OF A BETTER HOME

EXTERIOR ELEVATION  
FRONT AND REAR

2718 BISCAVNE  
DREAM FINDERS HOMES

REVISIONS: 09-22-21 BY: DH

CODE 2020

LA: 10-19-21 BY: RP

EXTERIOR ELEVATION  
FRONT AND REAR

2718 BISCAVNE

DREAM FINDERS HOMES

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

85

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DREAM FINDERS  
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2718 BISCAVNE  
DREAM FINDERS HOMES

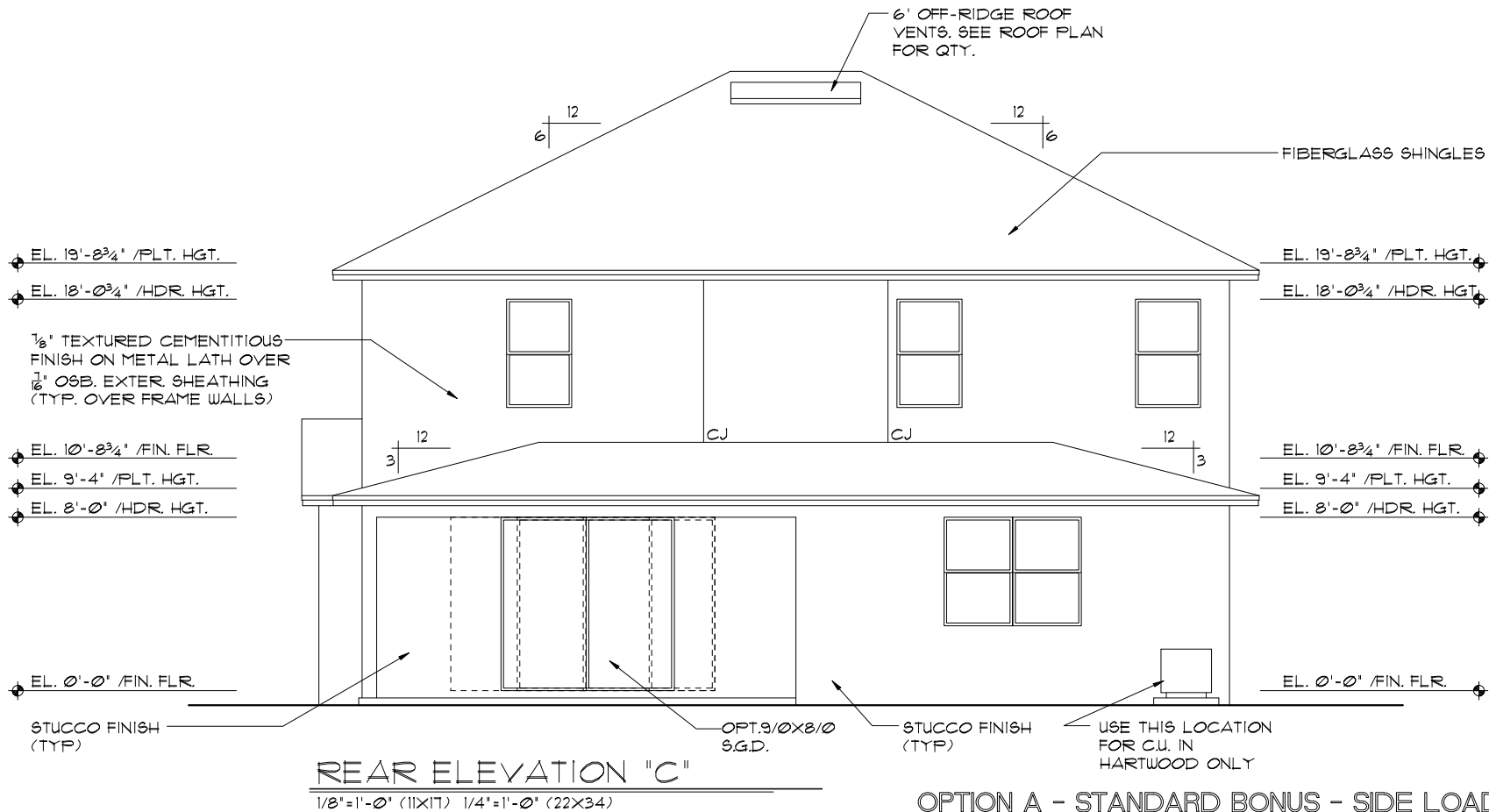
REVISIONS: 09-22-21 BY: DH

CODE 2020

LA: 10-19-21 BY: RP

EXTERIOR FINISH NOTES

1. LATH TO BE ATTACHED IAW R103.1.1 OF THE 11TH EDITION, FBCR, 2020
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LOT SPECIFIC INFORMATION

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DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

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OF 26 SHEETS

EXTERIOR ELEVATION FRONT AND REAR

2718 BISCAYNE

DREAM FINDERS HOMES

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5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
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REVISIONS 09-22-21

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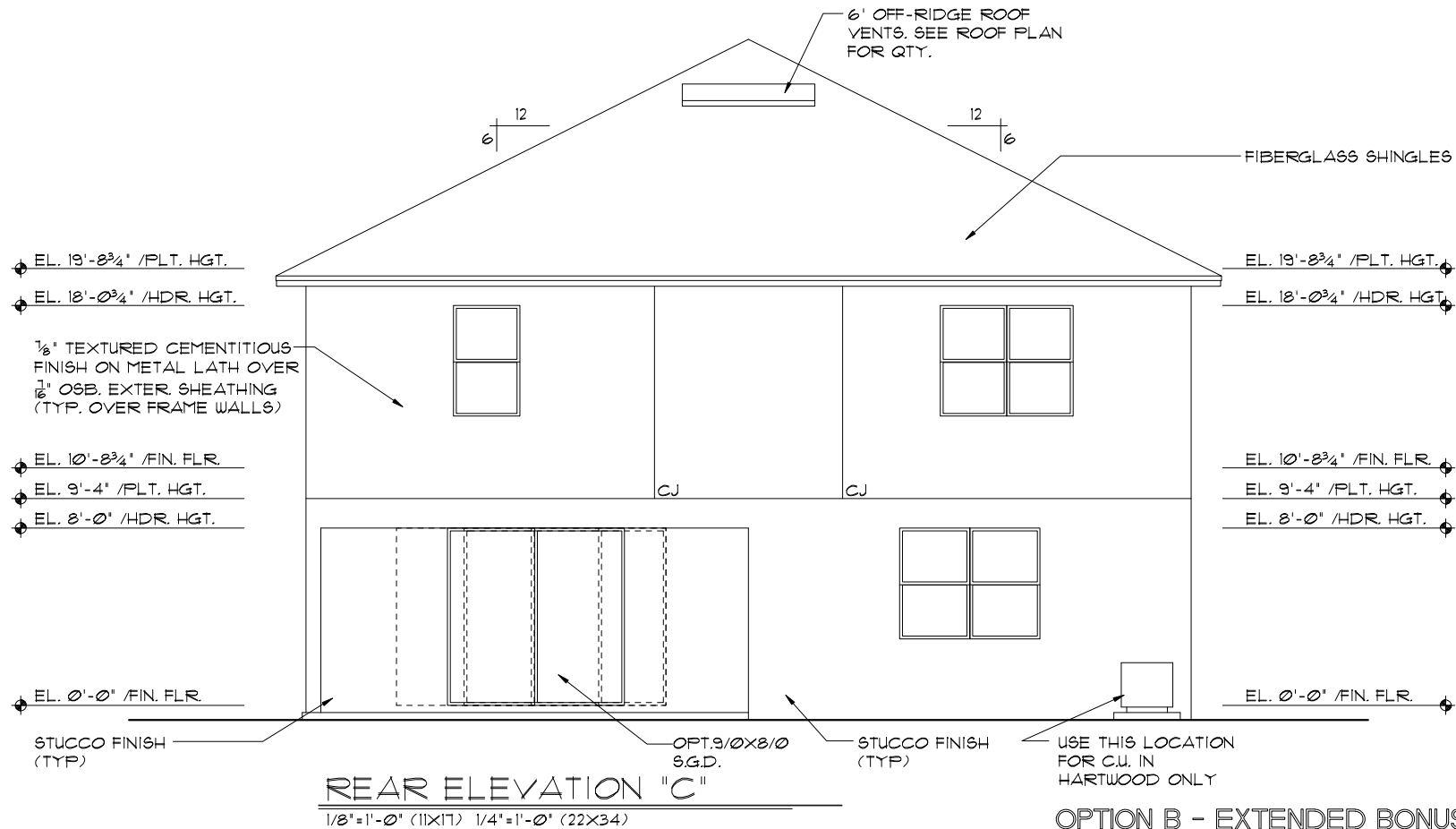
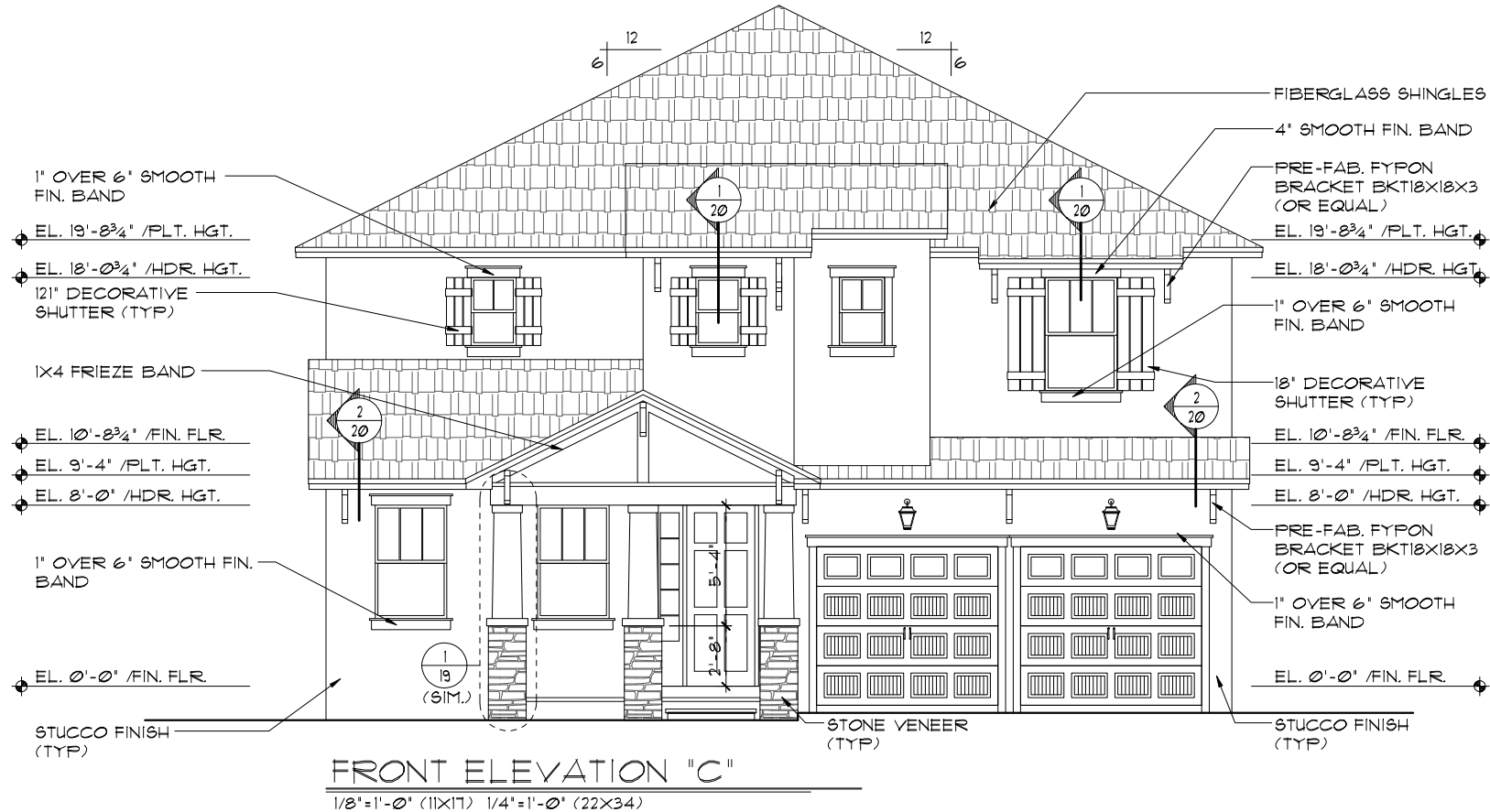
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5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
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J.JAGTAP@RDCFLA.COM

4301 VINELAND RD.  
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DREAM FINDERS  
THE MAKERS OF A QUALITY HOME

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PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

4301 VINELAND RD.  
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THE MAKERS OF A QUALITY HOME

DREAM FINDERS

EXTERIOR ELEVATION  
FRONT AND REAR

2718 BISCAYNE  
DREAM FINDERS HOMES

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

87

OF 26 SHEETS

LOT SPECIFIC INFORMATION

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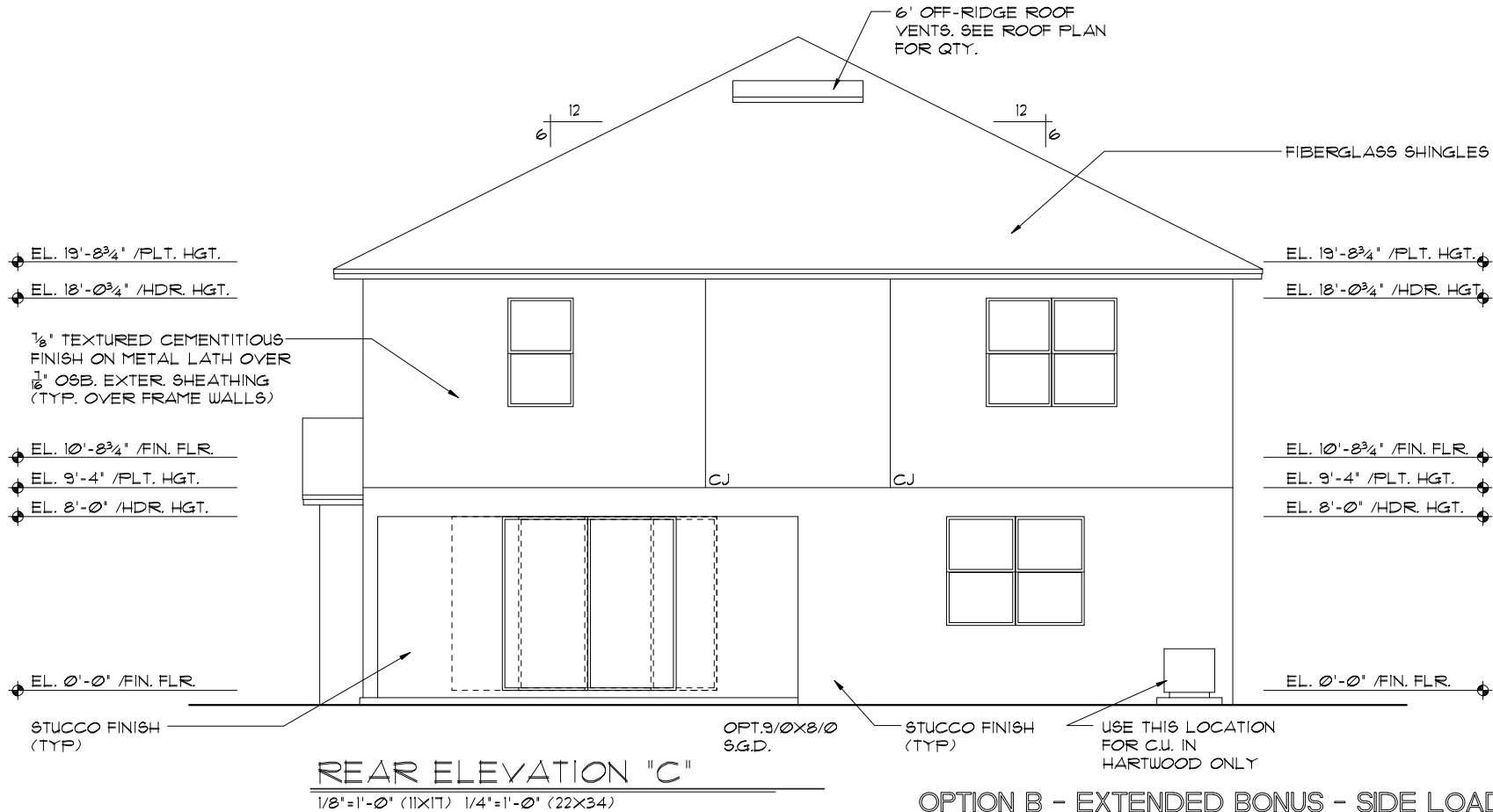
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REVISIONS 09-22-21

BY: DH

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OPTION B - EXTENDED BONUS - SIDE LOAD

Item 5.

Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

DREAM FINDERS  
THE MAKERS OF A QUALITY HOME

EXTERIOR ELEVATION  
FRONT AND REAR

2718 BISCAYNE  
DREAM FINDERS HOMES

DATE 07-31-19  
SCALE AS NOTED  
DRAWN RDC  
JOB 2718  
88  
OF 26 SHEETS

LOT SPECIFIC INFORMATION

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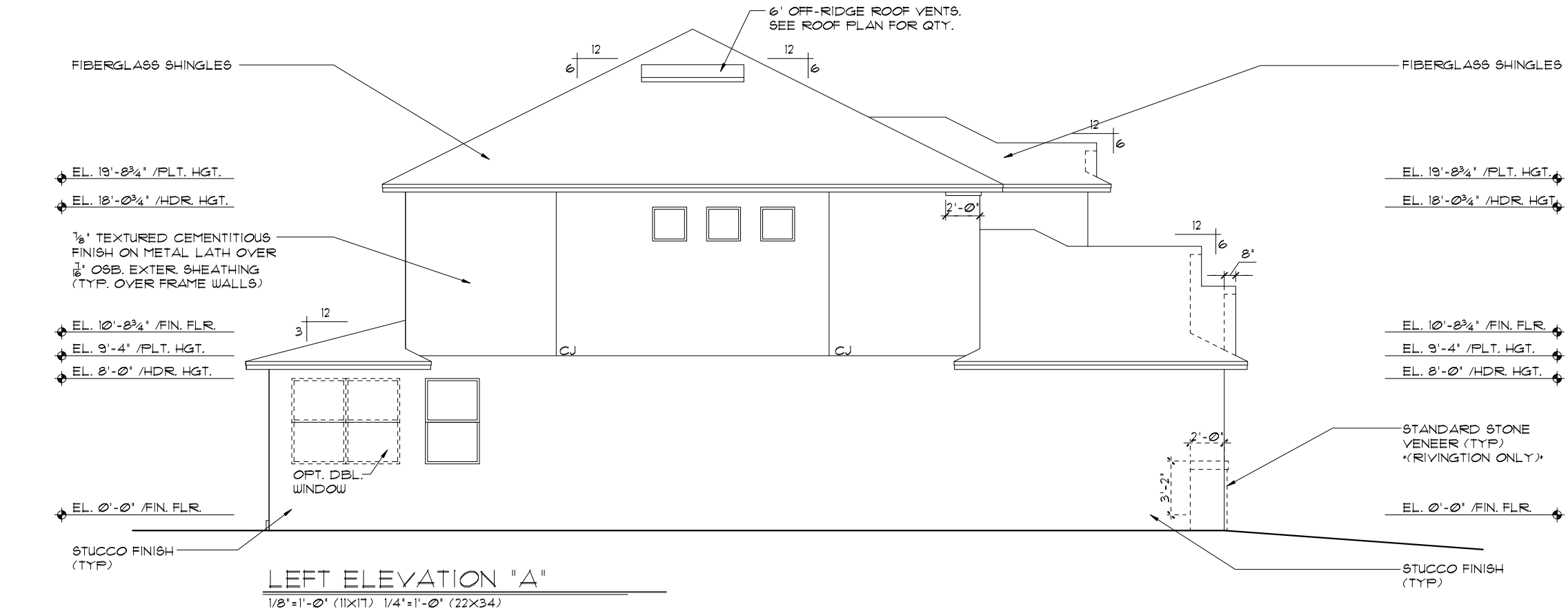
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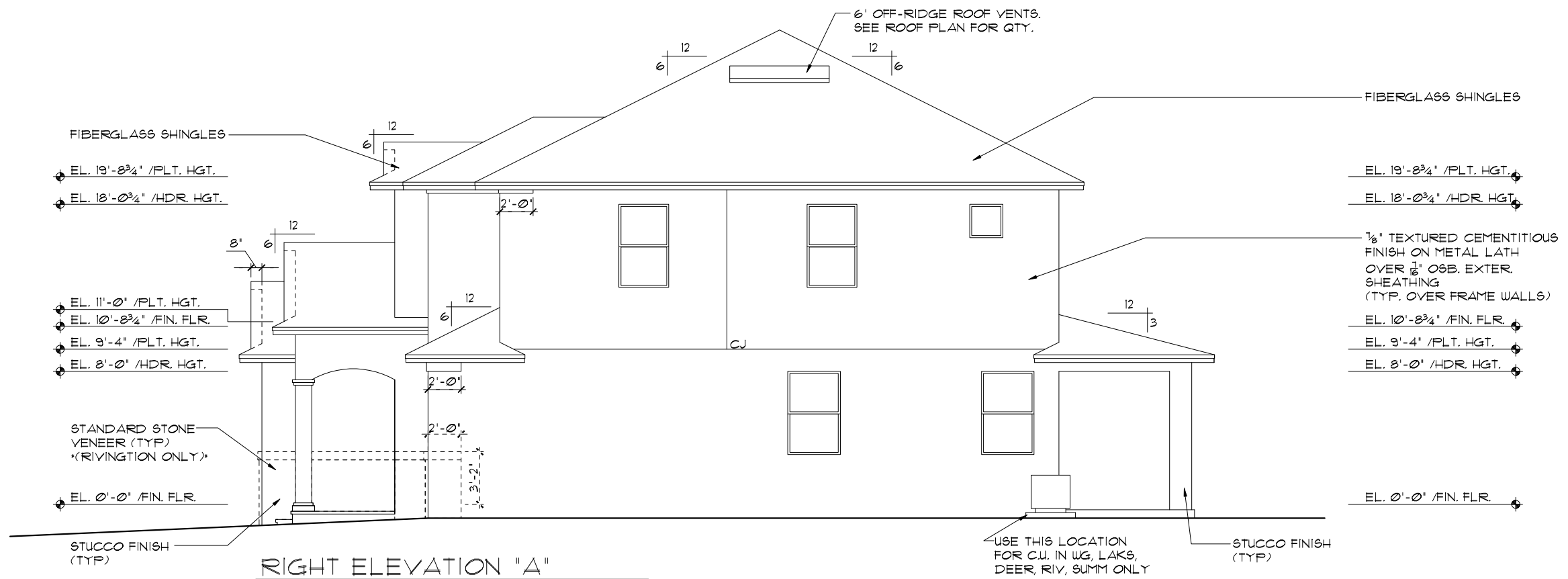
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LEFT ELEVATION "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



RIGHT ELEVATION "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

OPTION A - STANDARD BONUS

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LOT SPECIFIC INFORMATION

DATE 07-31-19

SCALE AS NOTED

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OF 26 SHEETS

2718 BISCAYNE

DREAM FINDERS HOMES

EXTERIOR ELEVATION LEFT AND RIGHT

Engineering By: PRAHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811  
INFO@RDCFLA.COM

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LA: 10-19-21

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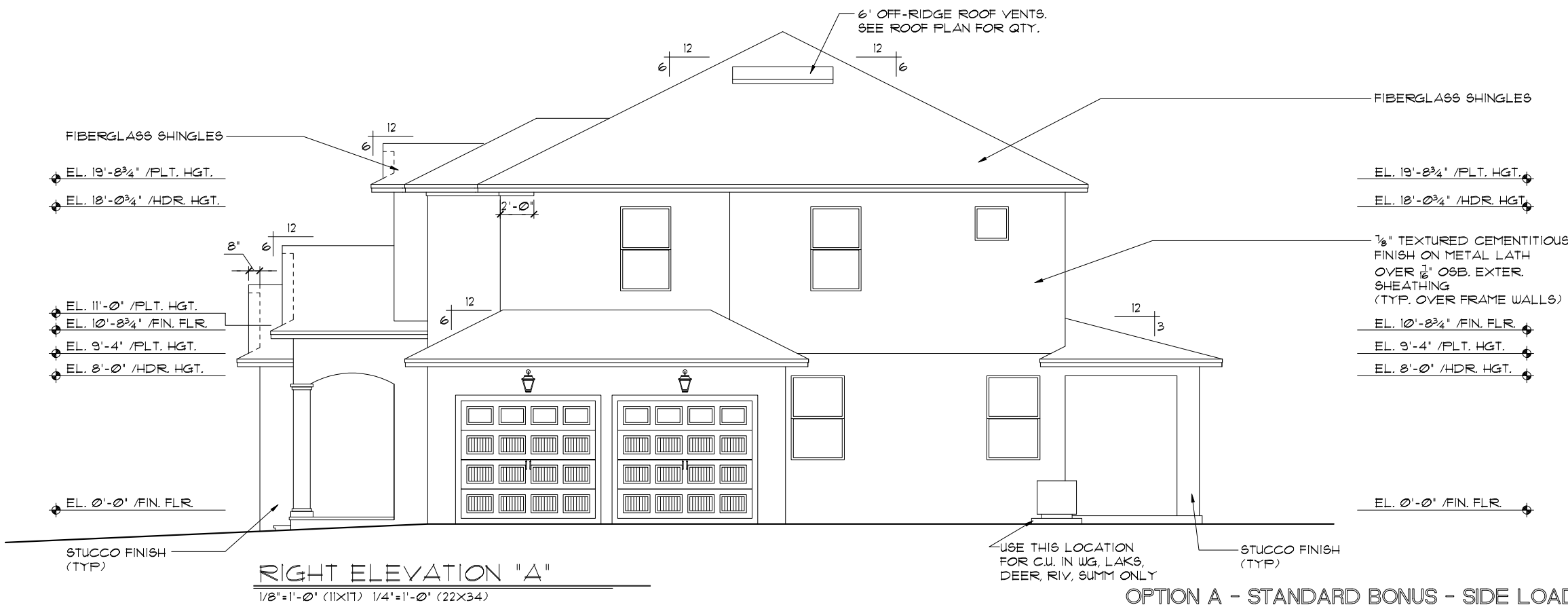
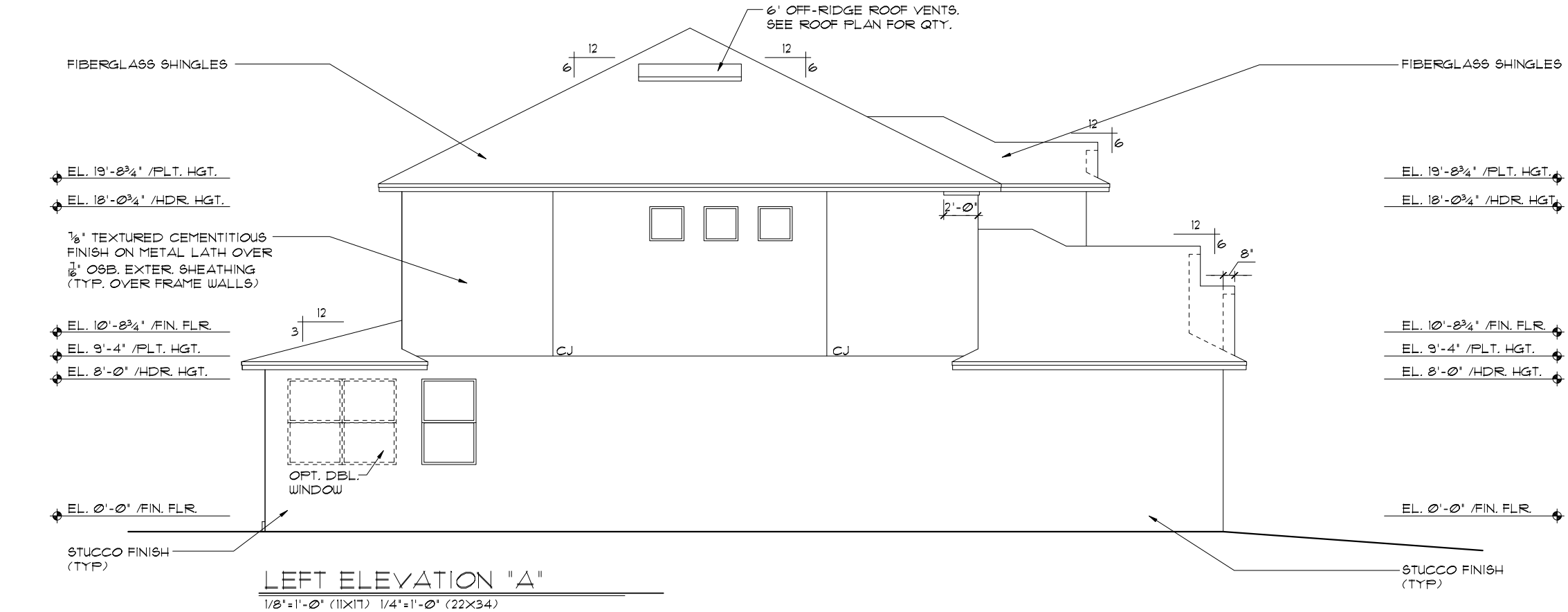
- EXTERIOR FINISH NOTES
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Engineering By:  
PRASHANTH N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32839  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811  
INFO@RDCFLA.COM

EXTERIOR ELEVATION  
LEFT AND RIGHT

2718 BISCAYNE

DREAM FINDERS HOMES

DATE 07-31-19

SCALE AS NOTED

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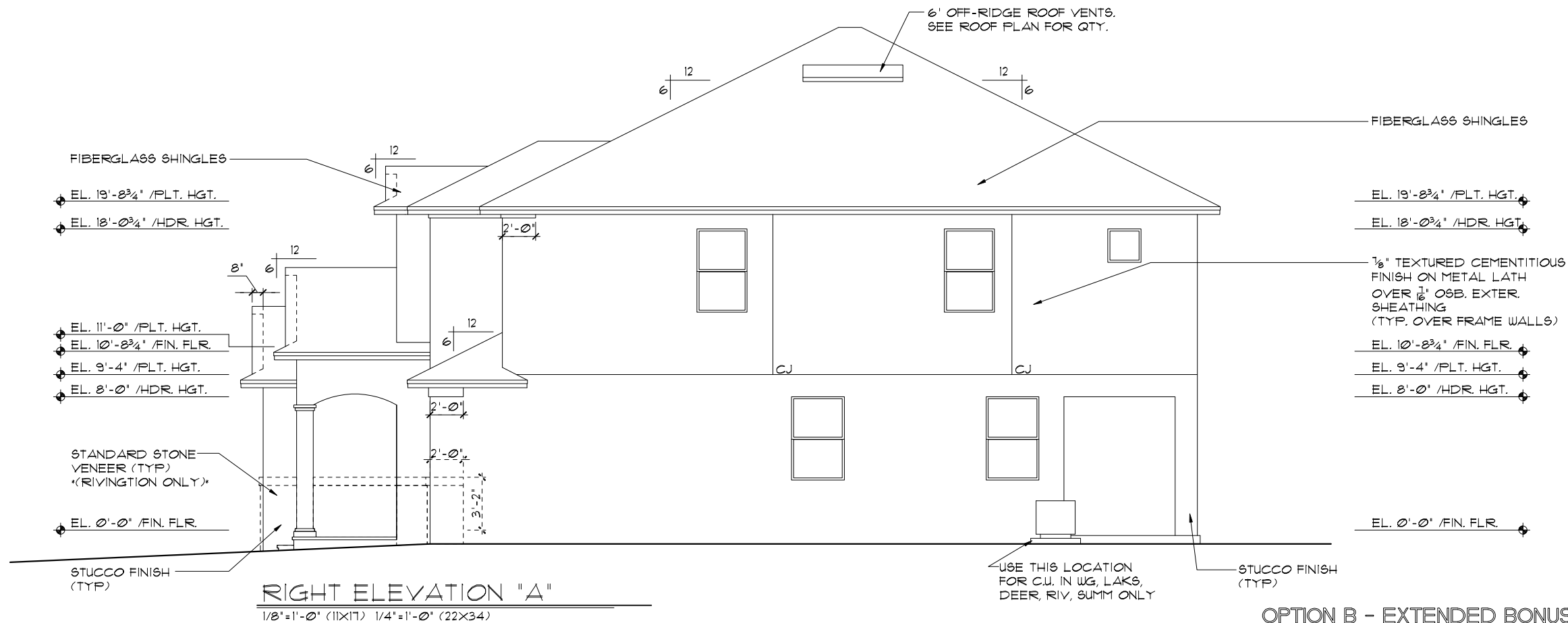
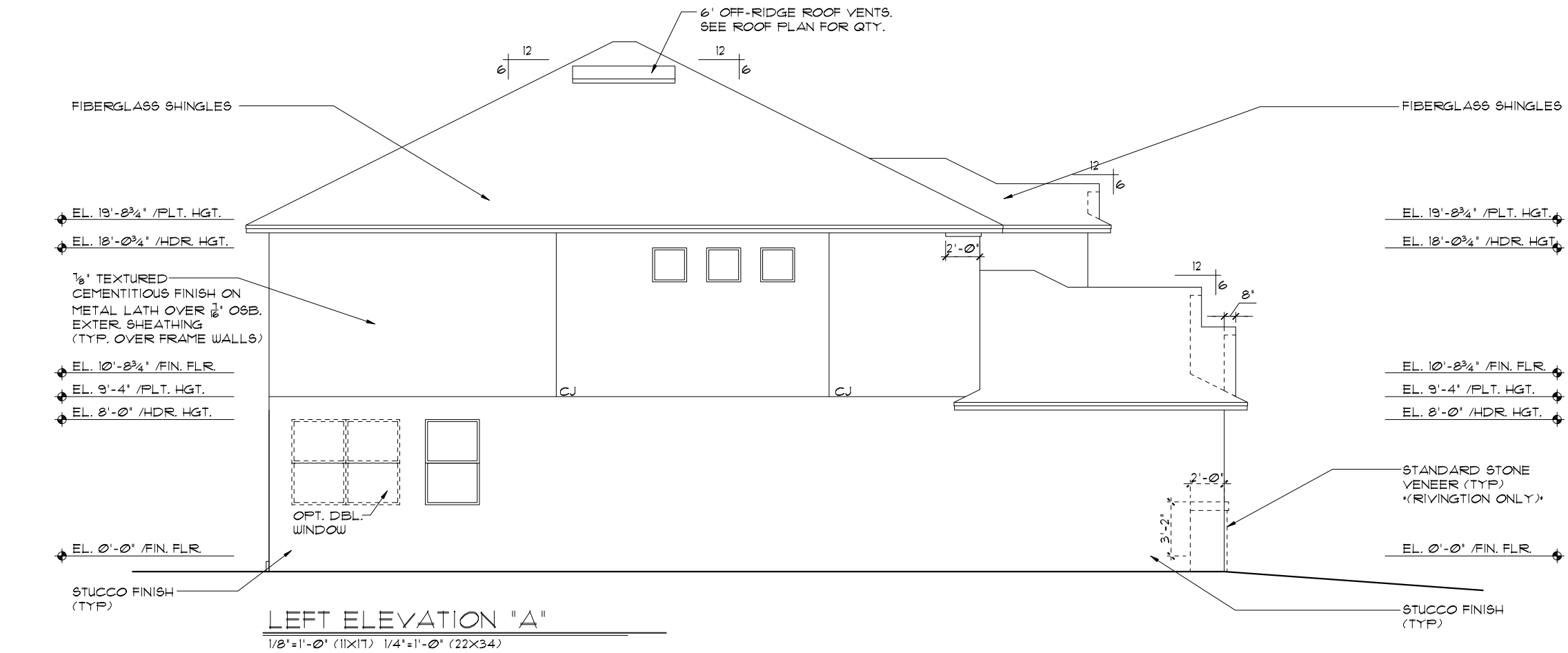
JOB 2718

90

OF 26 SHEETS

### EXTERIOR FINISH NOTES

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OPTION B - EXTENDED BONUS

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PRASHANTH N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811  
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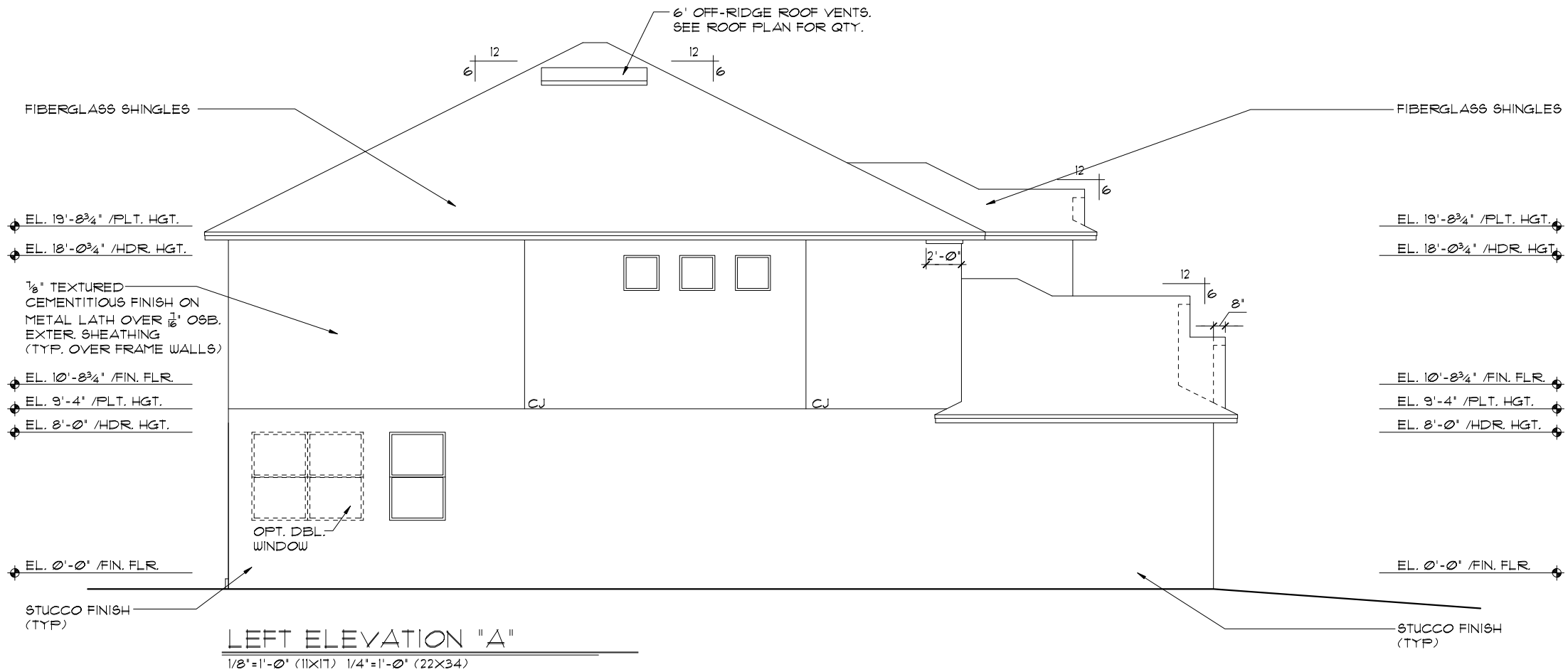
EXTERIOR ELEVATION  
LEFT AND RIGHT

2718 BISCAYNE  
DREAM FINDERS HOMES

DATE 07-31-19  
SCALE AS NOTED  
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JOB 2718  
91  
OF 26 SHEETS

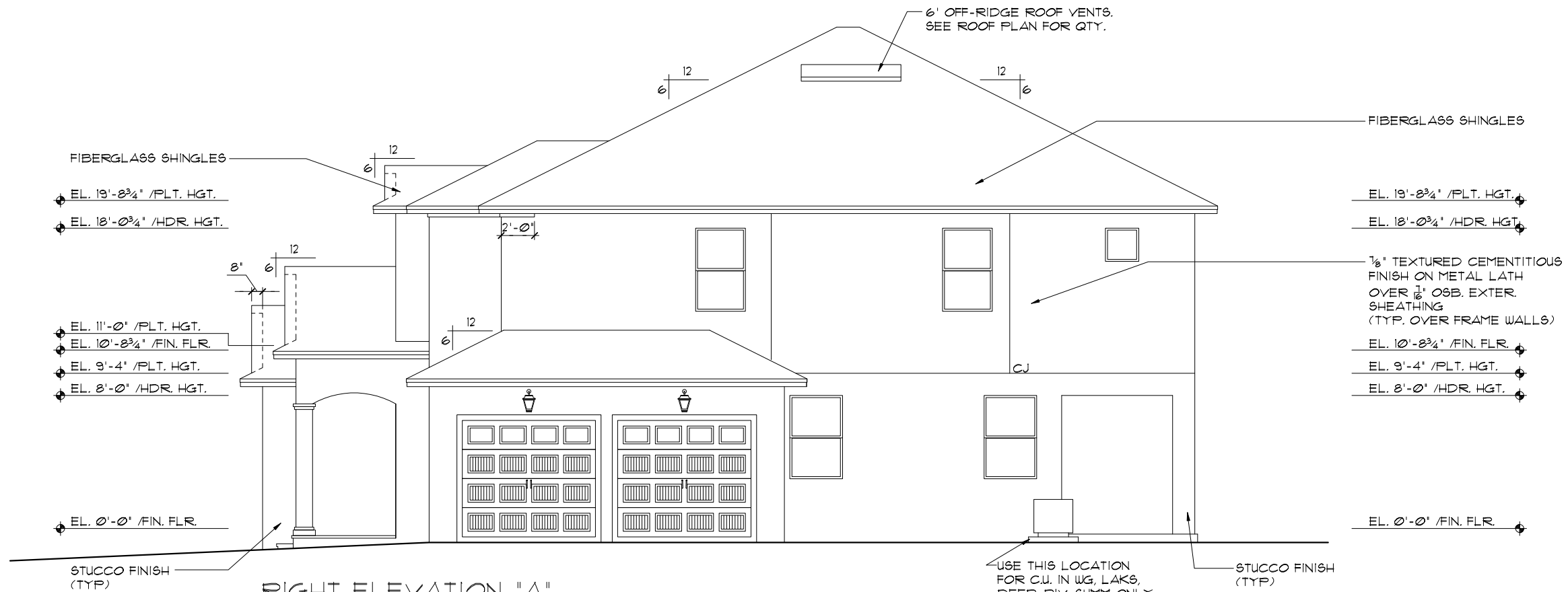
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LEFT ELEVATION "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



RIGHT ELEVATION "A"

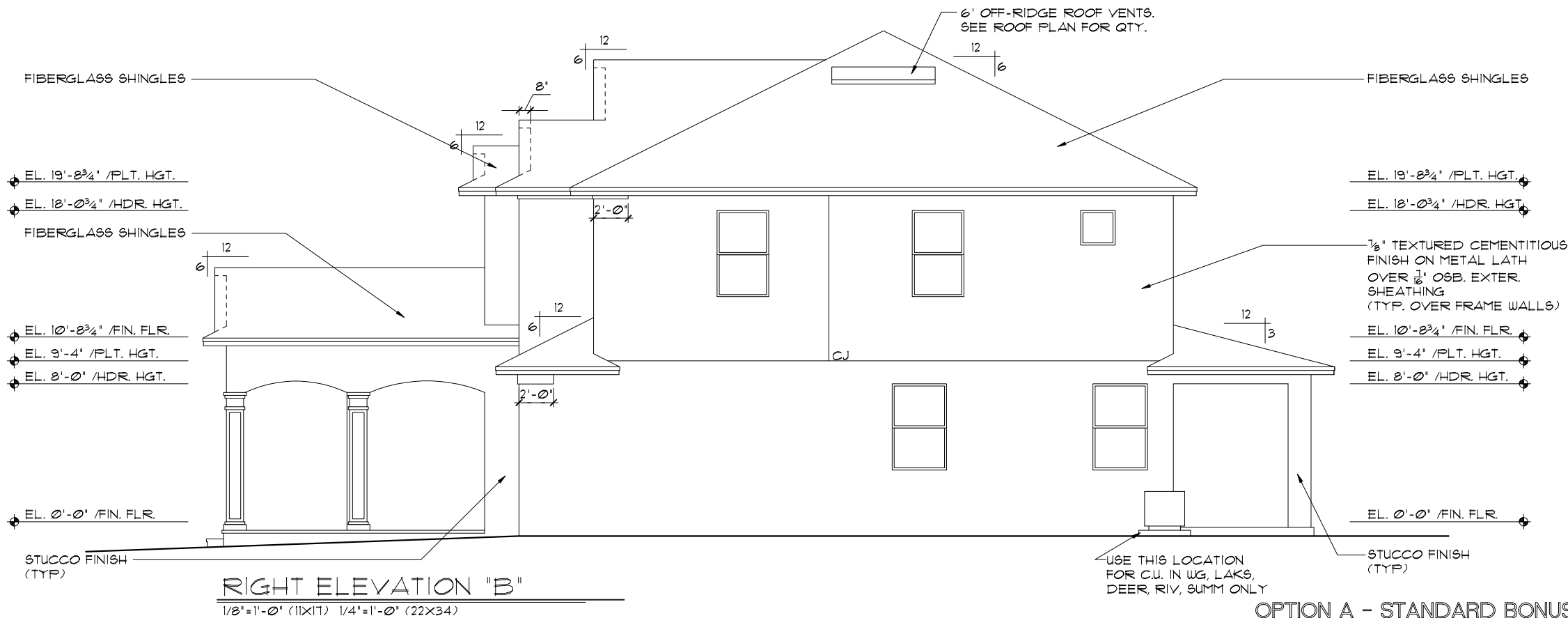
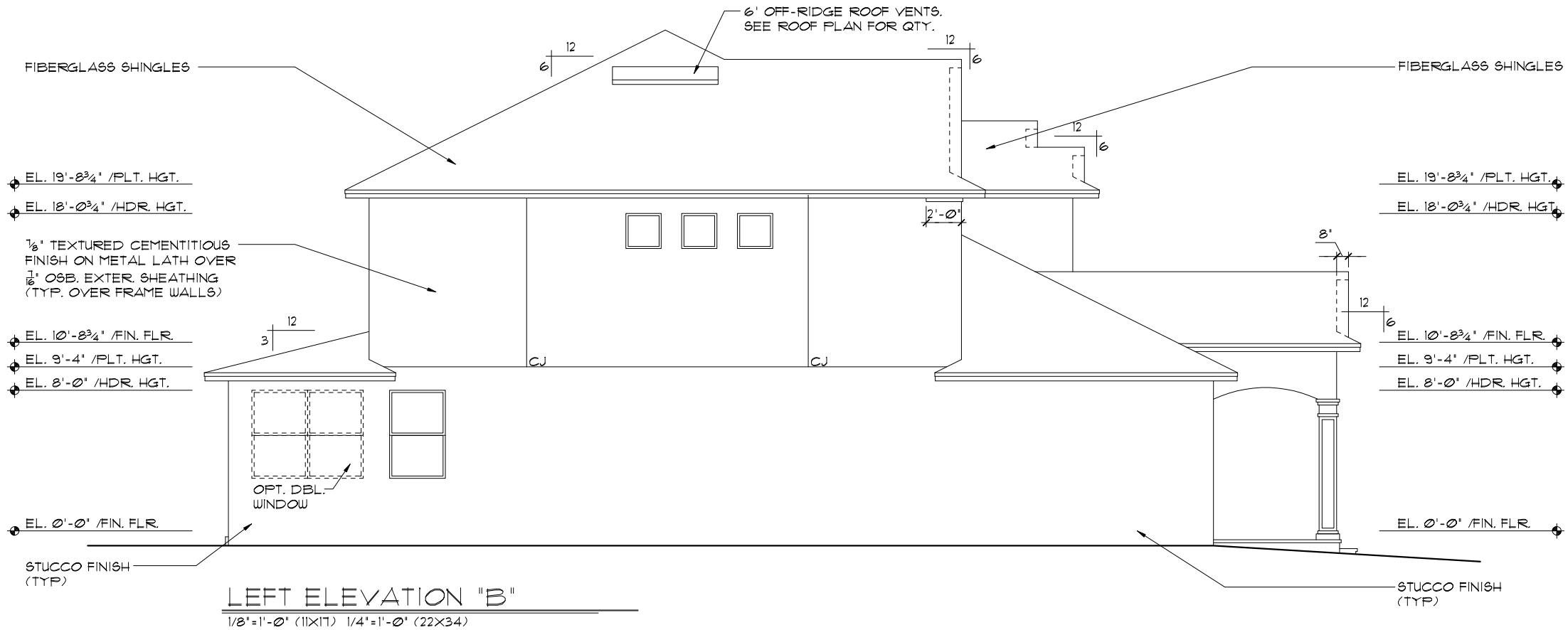
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

OPTION B - EXTENDED BONUS - SIDE LOAD



EXTERIOR FINISH NOTES

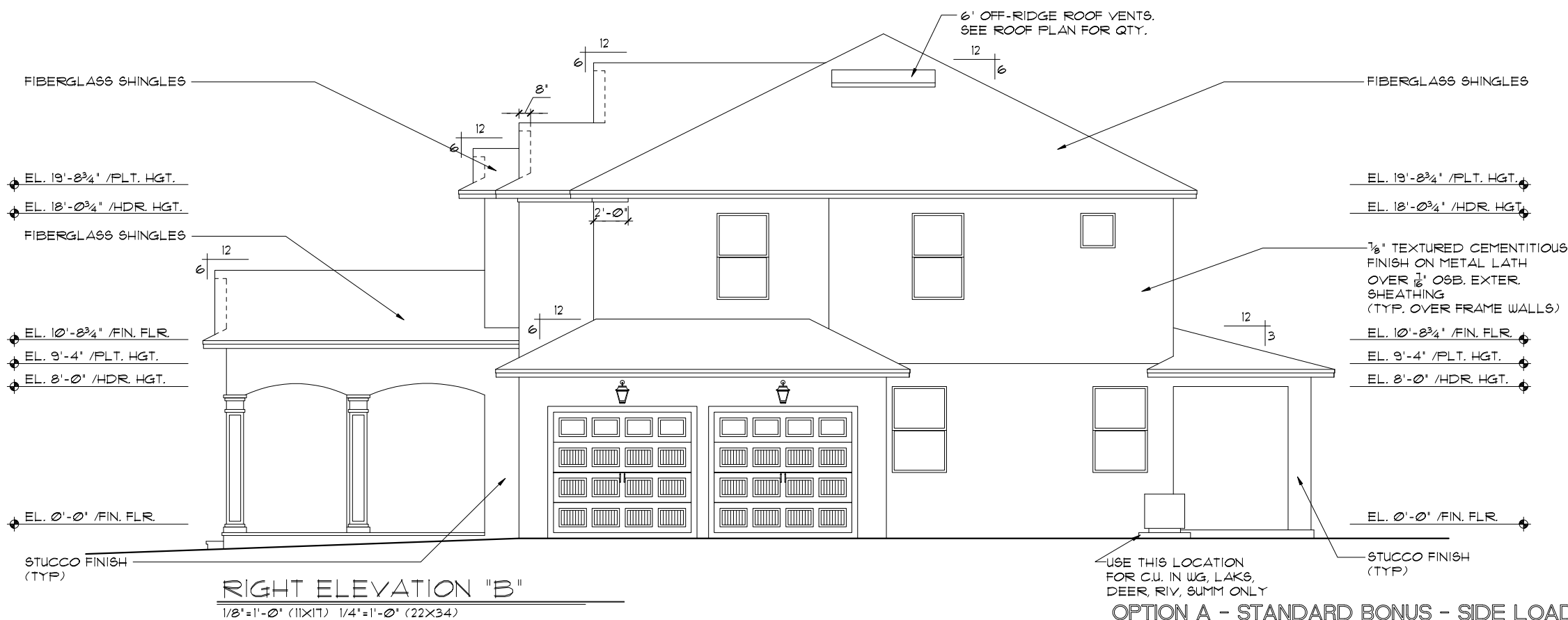
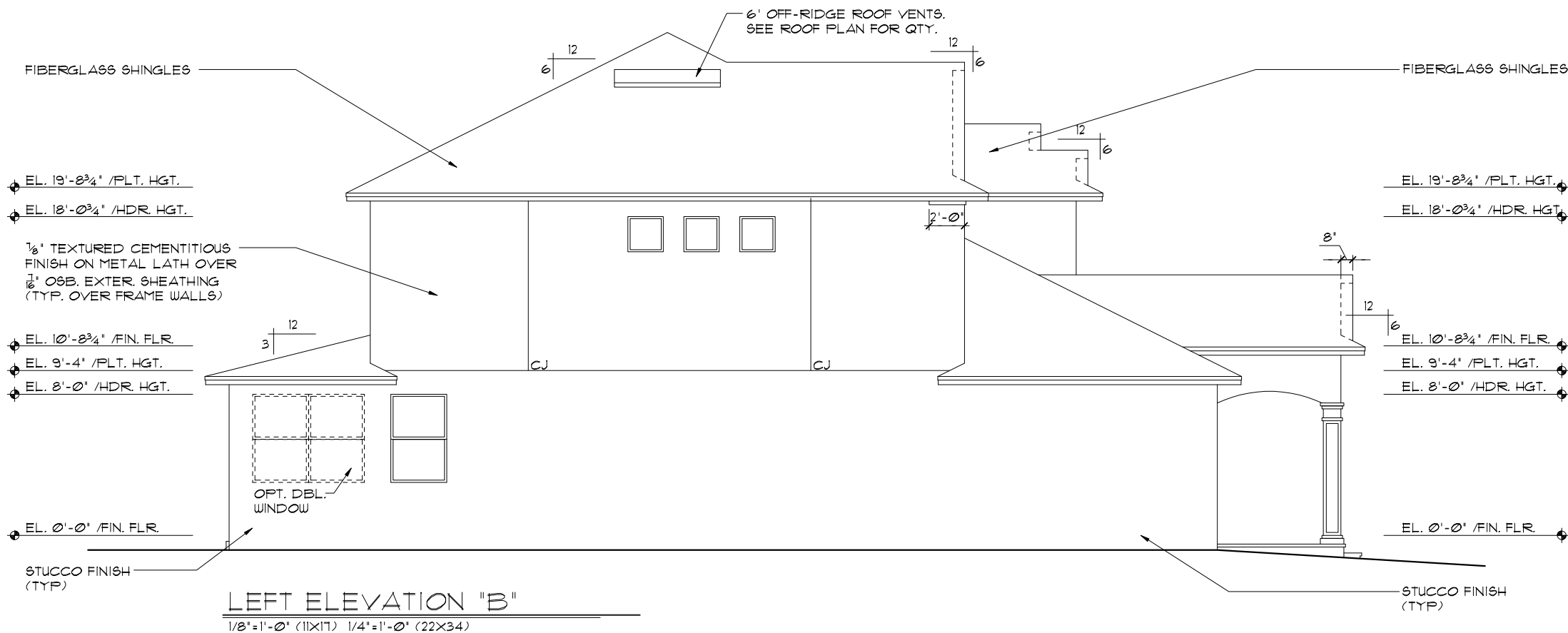
1. LATH TO BE ATTACHED IAW R103.1.1 OF THE 11TH EDITION, FBCR, 2020
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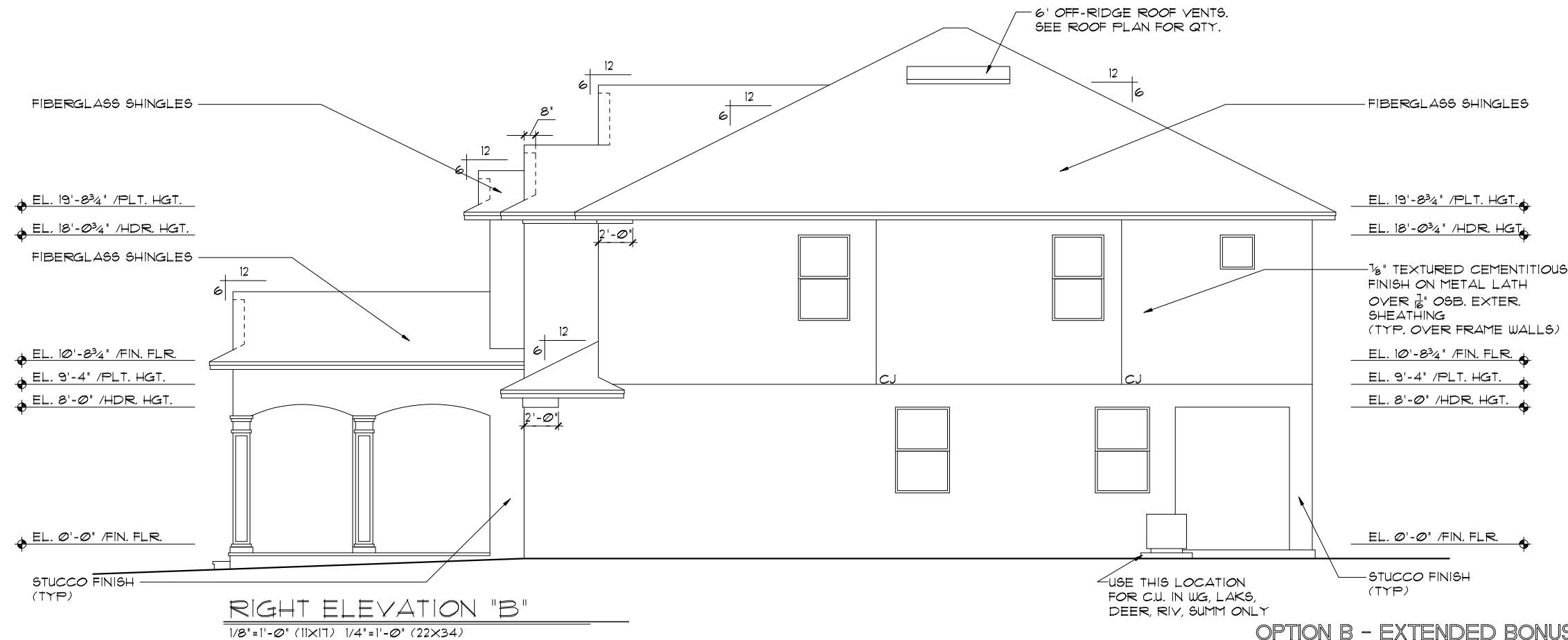
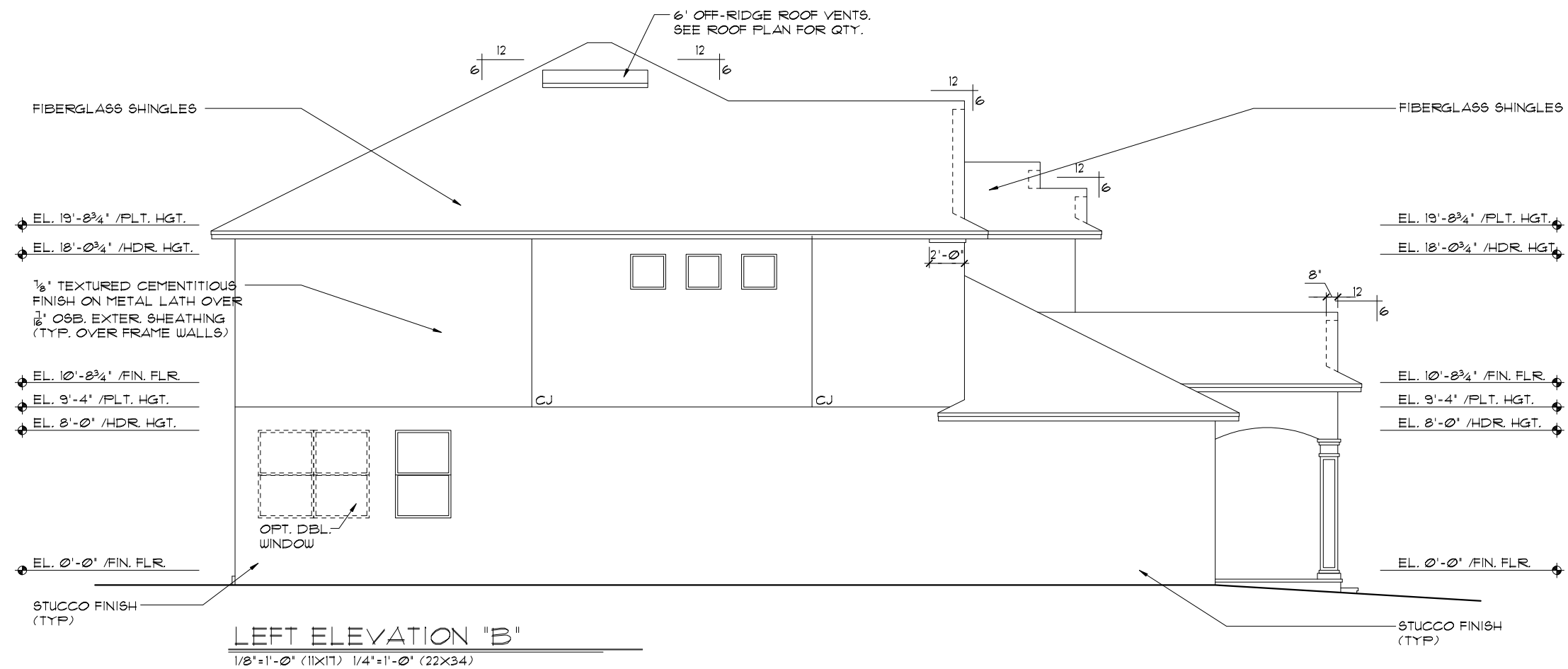
OPTION A - STANDARD BONUS

EXTERIOR FINISH NOTES

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RDC  
4301 VINELAND RD.  
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DREAM FINDERS HOMES  
THE MAKERS OF A QUALITY HOME

EXTERIOR ELEVATION  
LEFT AND RIGHT

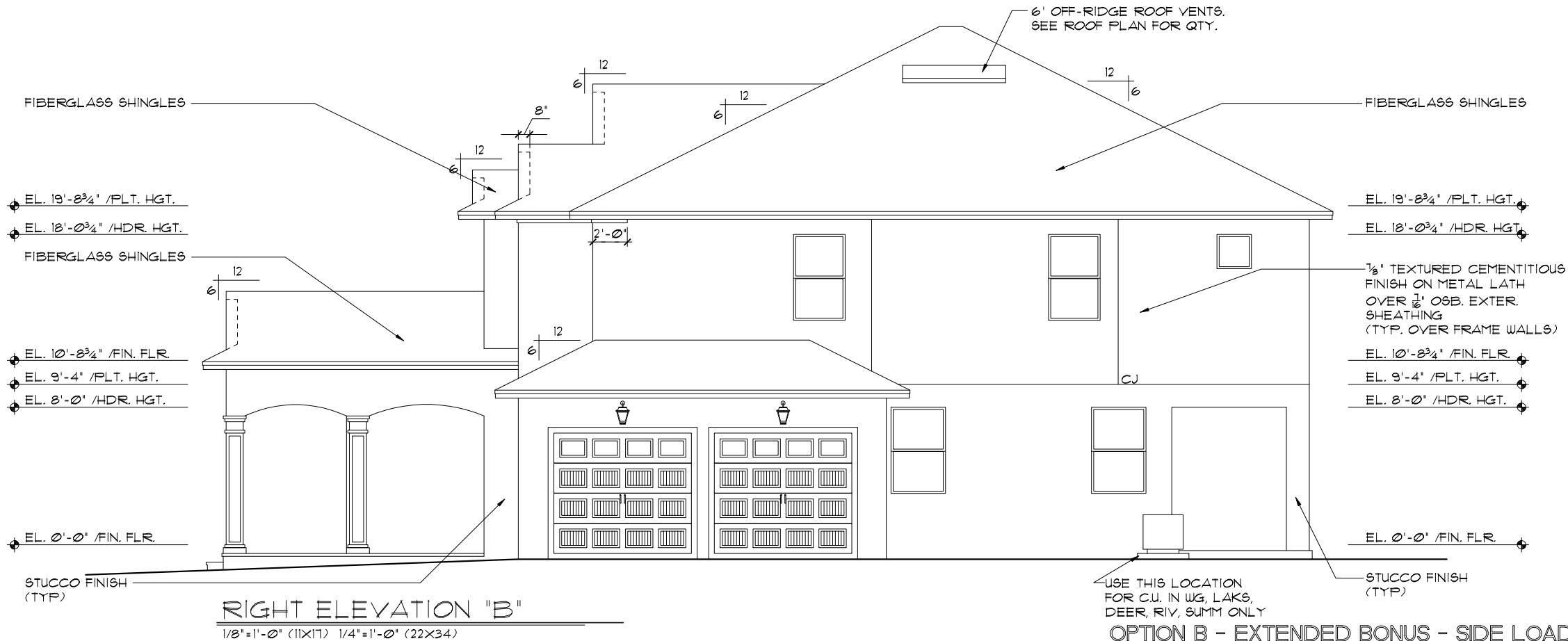
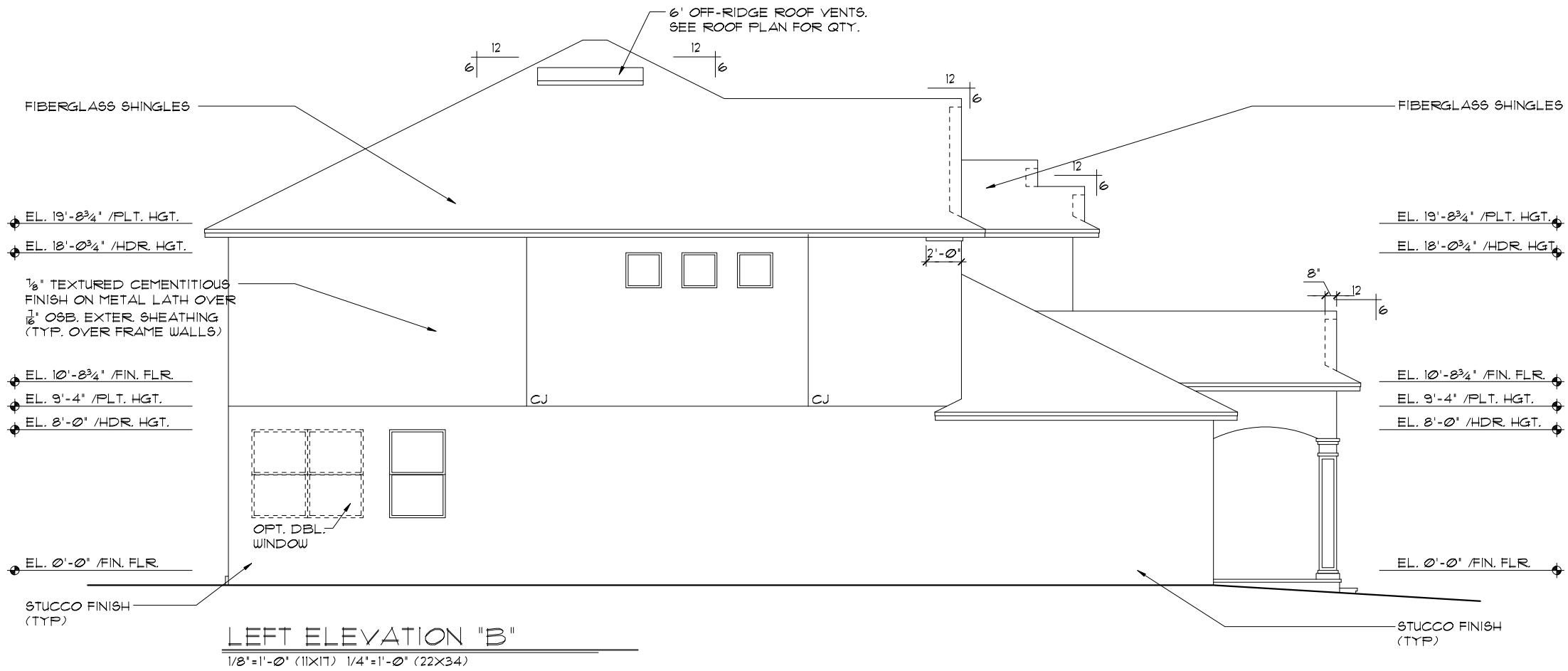
2718 BISCAYNE  
DREAM FINDERS HOMES

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CODE 2020  
LA: 10-19-21 BY: RP

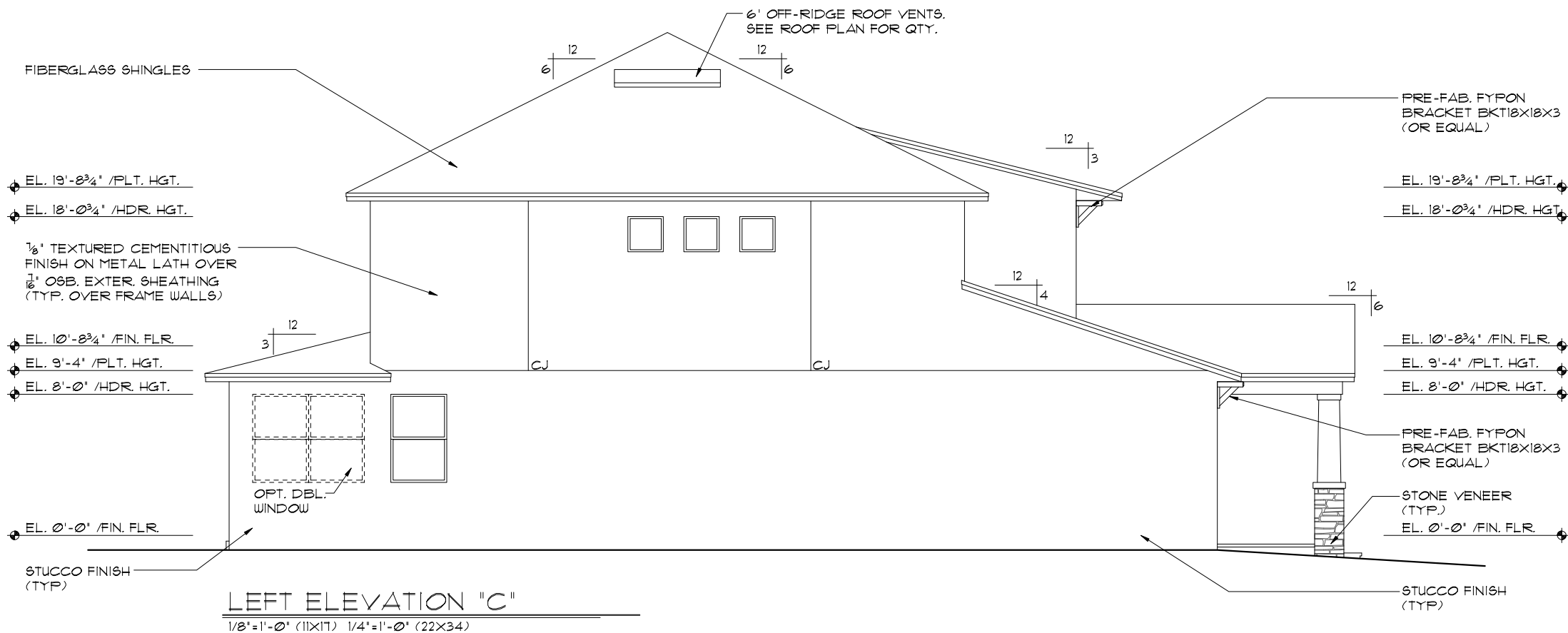
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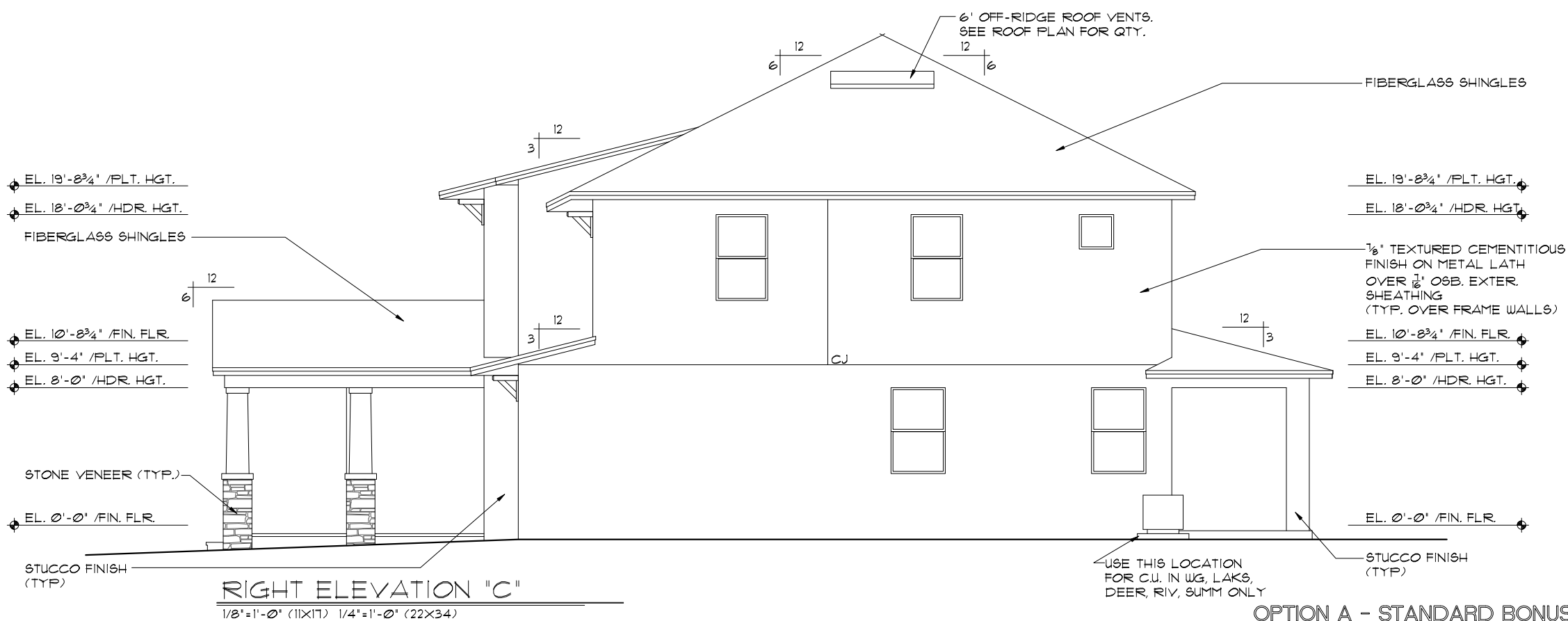
OPTION B - EXTENDED BONUS - SIDE LOAD

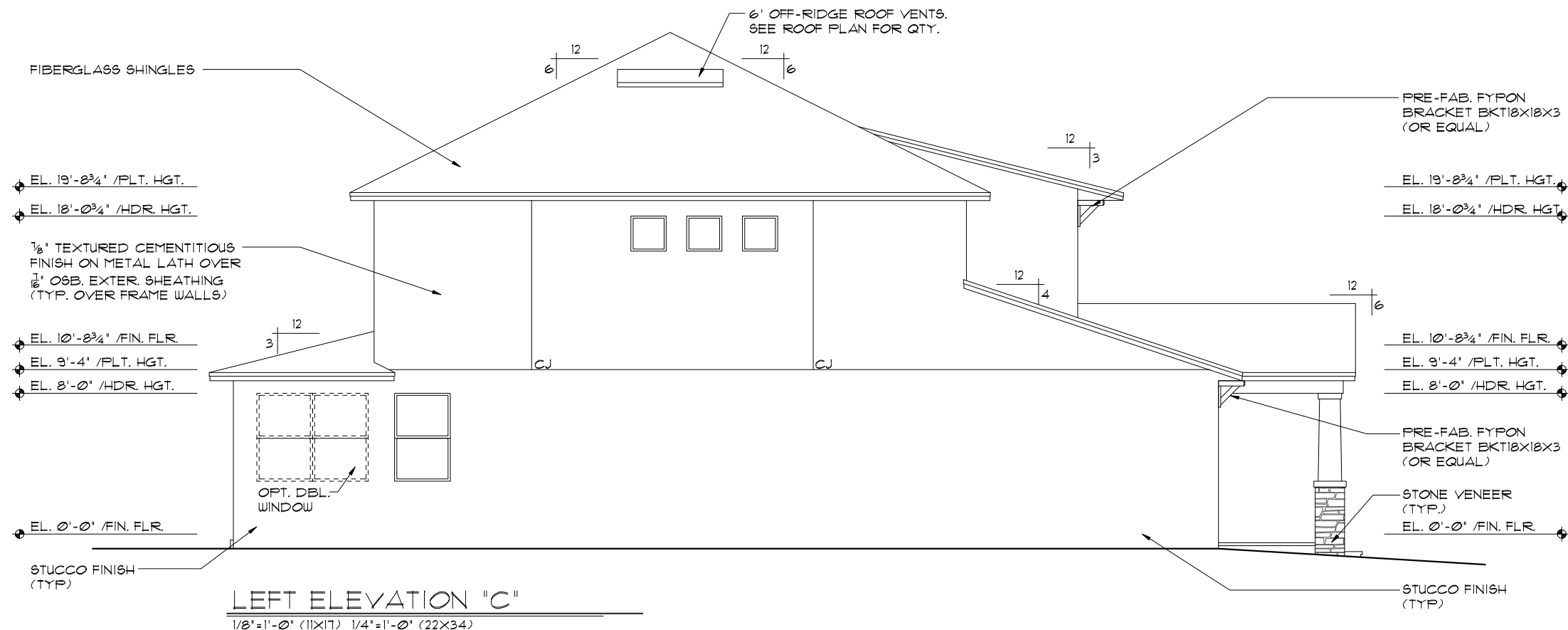




## EXTERIOR FINISH NOTES

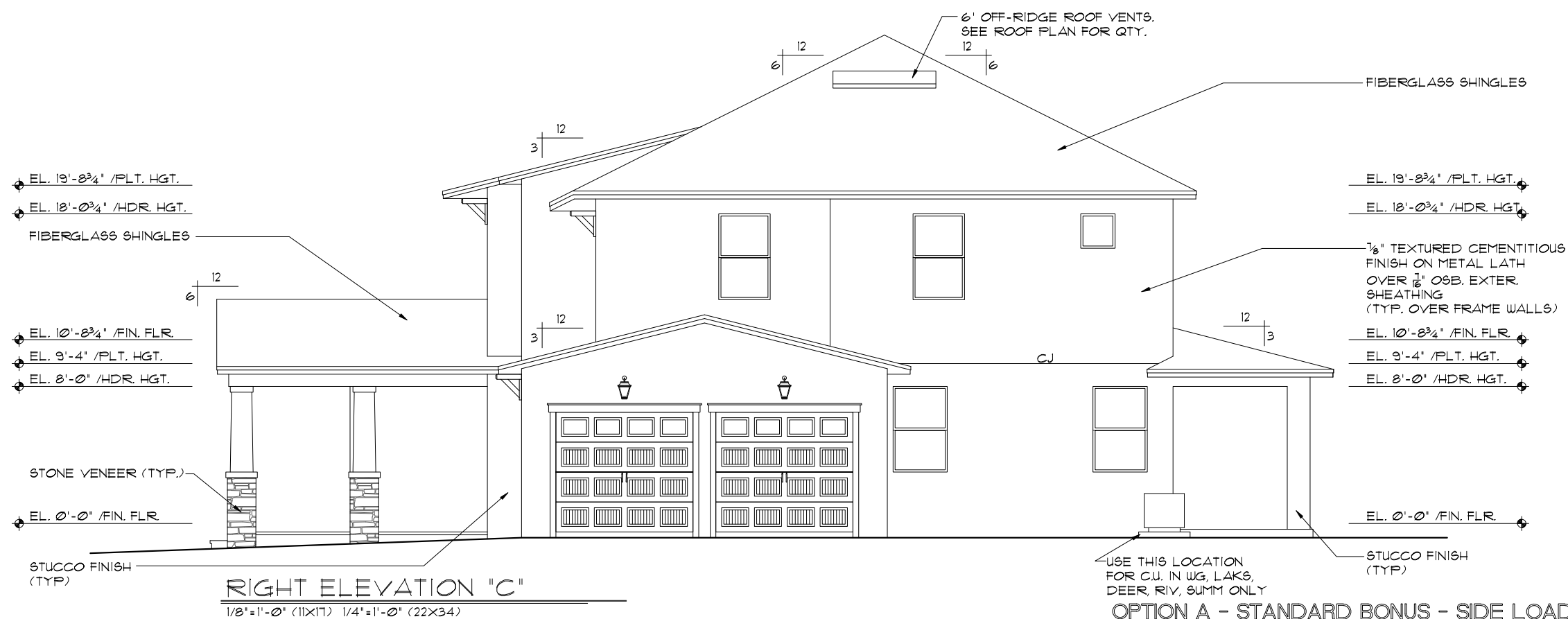
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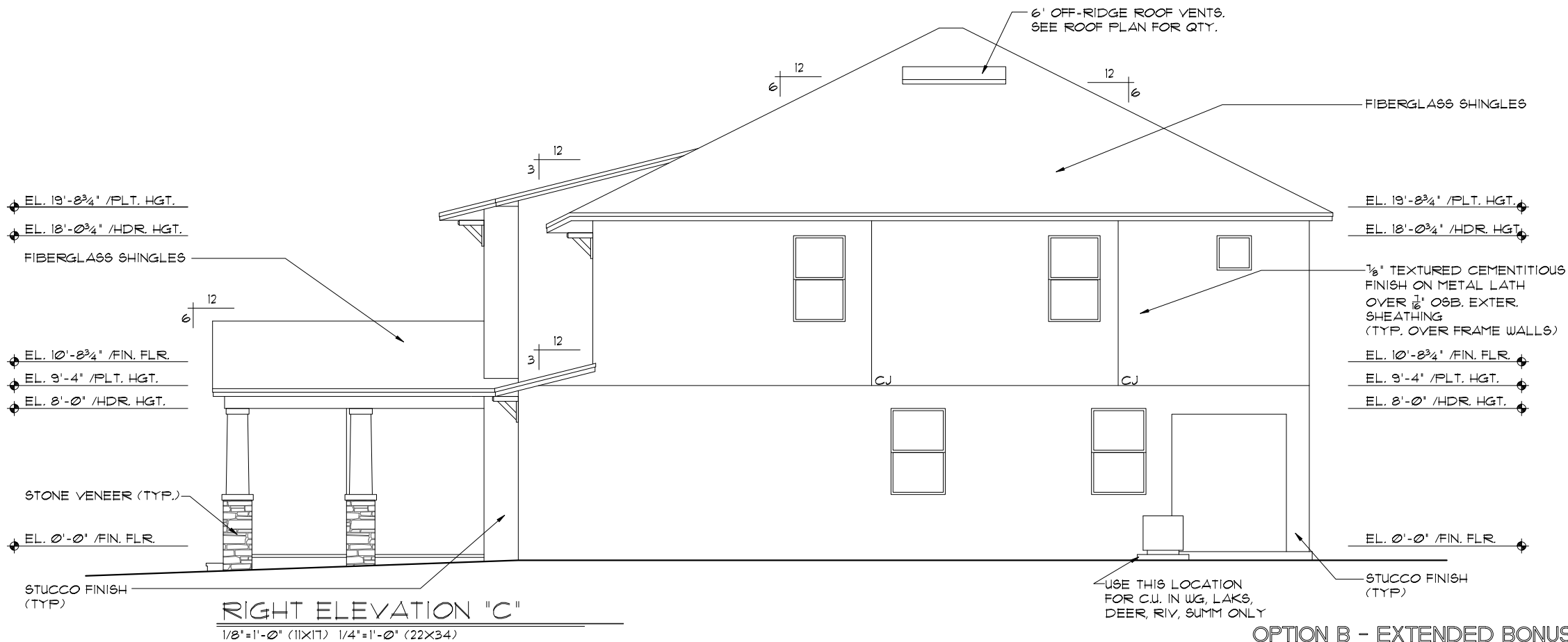
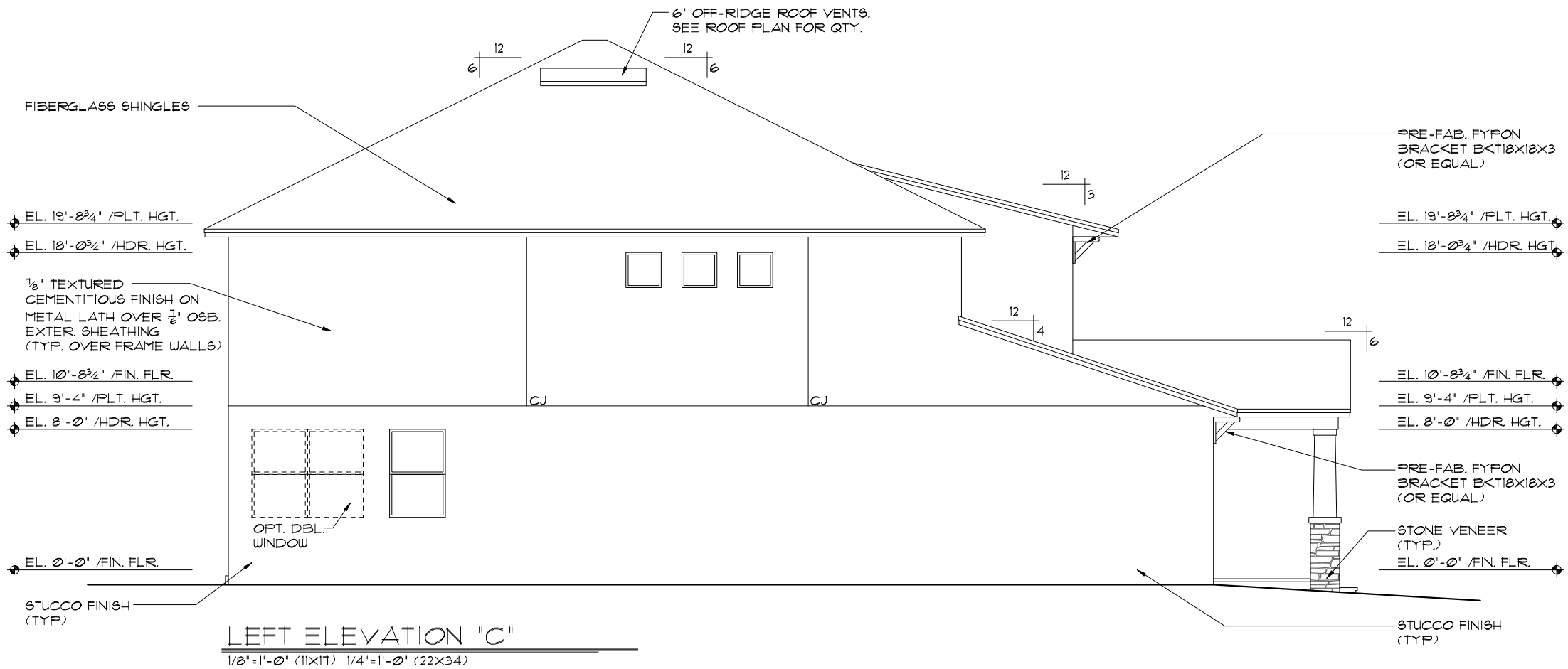
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EXTERIOR FINISH NOTES

1. LATH TO BE ATTACHED IAW R103.1.1 OF THE 11TH EDITION, FBCR 2020
2. PLASTERING TO BE WITH PORTLAND CEMENT, INSTALLED IAW R103.1.2 OF THE 11TH EDITION, FBCR 2020 - APPLICABLE CODES : ASTM C926 & C1065
3. WEEP SCREED TO BE INSTALLED IAW R103.1.2.1 OF THE 11TH EDITION, FBCR 2020
4. WATER RESISTANT BARRIER TO BE INSTALLED IAW R103.1.3 OF THE 11TH EDITION, FBCR 2020
5. 'ZIP SYSTEMS' WALL SHEATHING MAY BE USED AS AN ALTERNATIVE FOR WALL SHEATHING AND VAPOR BARRIER, ON EXTERIOR WALLS.



LOT SPECIFIC INFORMATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 11TH EDITION

CODE 2020

REVISIONS: 09-22-21

BY: DH

LA: 10-19-21

BY: RP

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Engineering By:  
PRASHANTH N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM



EXTERIOR ELEVATION  
LEFT AND RIGHT

2718 BISCAYNE  
DREAM FINDERS HOMES

DATE 07-31-19  
SCALE AS NOTED  
DRAWN RDC  
JOB 2718  
99  
OF 26 SHEETS

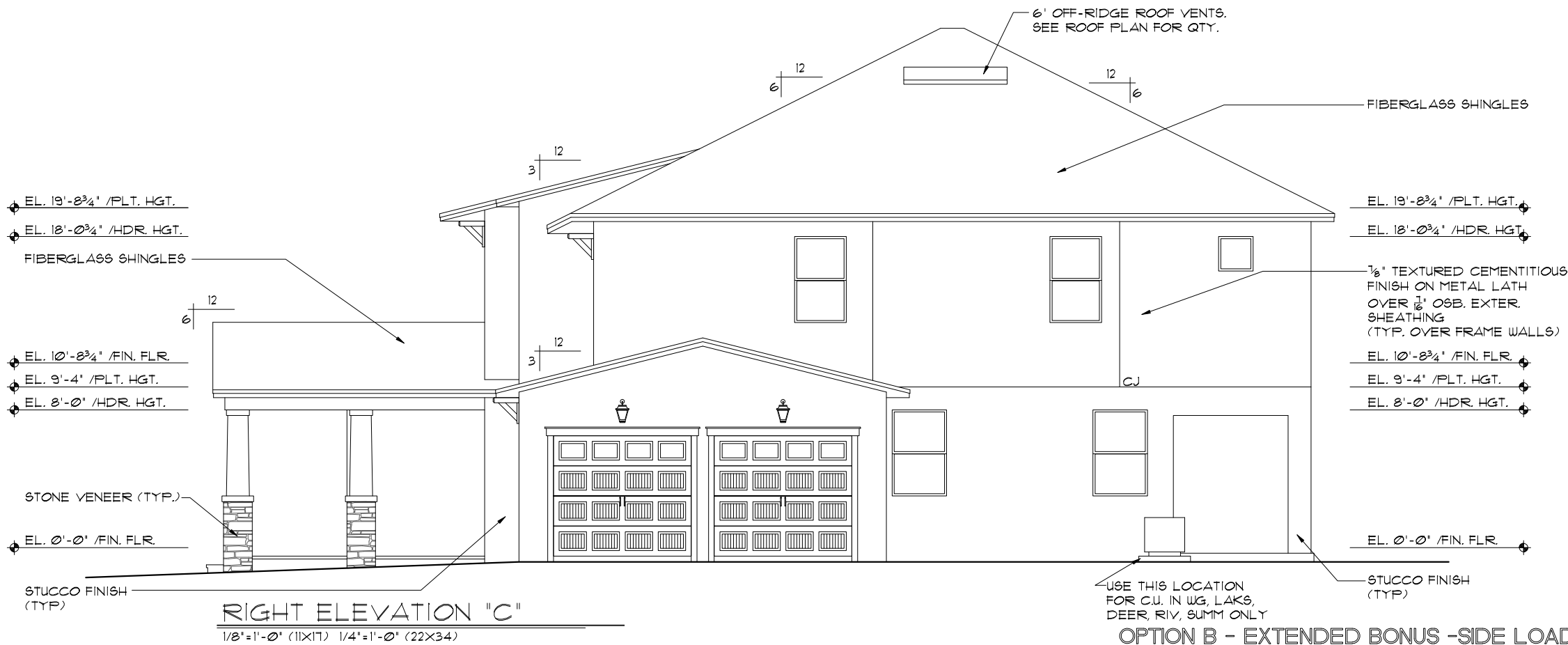
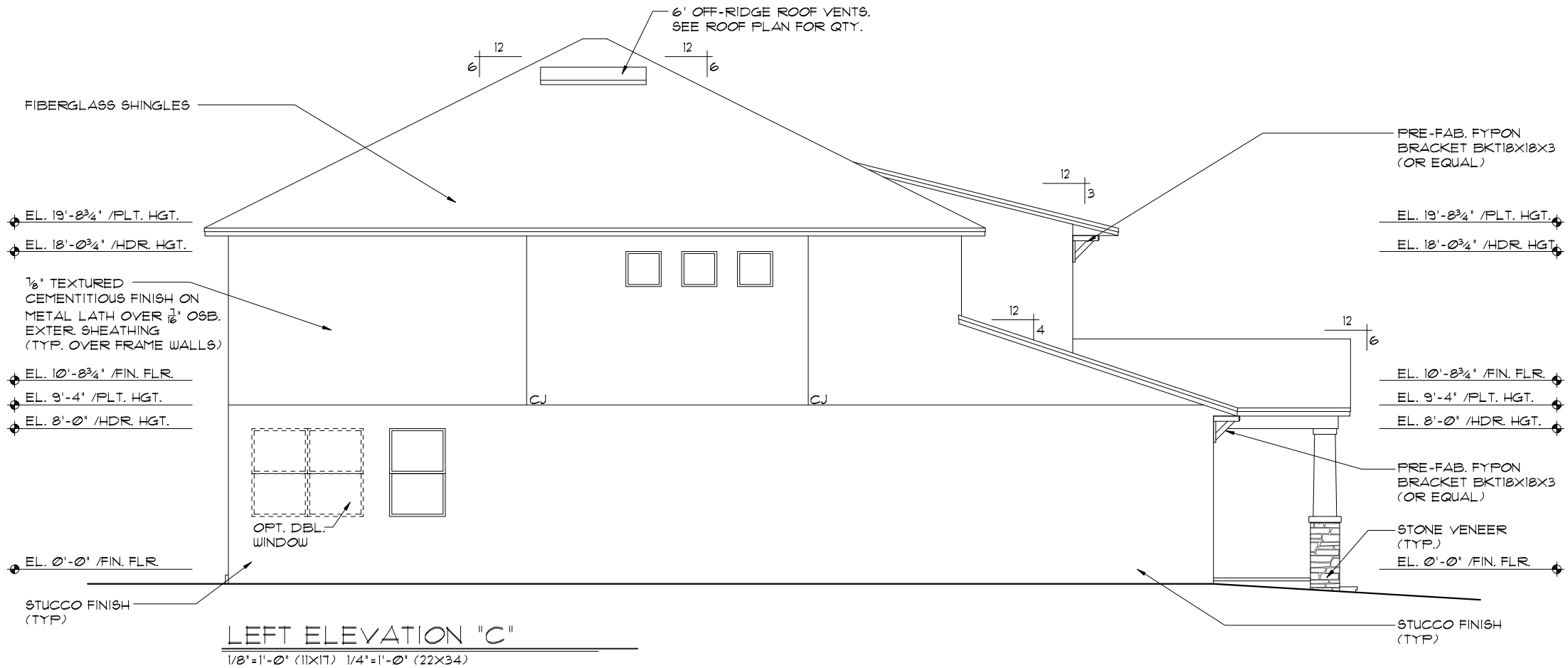
- EXTERIOR FINISH NOTES
1. LATH TO BE ATTACHED IAW R103.7.1 OF THE 11TH EDITION, FBCR, 2020

2. PLASTERING TO BE WITH PORTLAND CEMENT, INSTALLED IAW R103.7.2 OF THE 11TH EDITION, FBCR, 2020 - APPLICABLE CODES : ASTM C926 & C1065

3. WEEP SCREED TO BE INSTALLED IAW R103.7.2.1 OF THE 11TH EDITION, FBCR, 2020

4. WATER RESISTANT BARRIER TO BE INSTALLED IAW R103.7.3 OF THE 11TH EDITION, FBCR, 2020

5. 'ZIP SYSTEMS' WALL SHEATHING MAY BE USED AS AN ALTERNATIVE FOR WALL SHEATHING AND VAPOR BARRIER, ON EXTERIOR WALLS.



LOT SPECIFIC INFORMATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 11TH EDITION

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

100

OF 26 SHEETS

2718 BISCAYNE

DREAM FINDERS HOMES

Engineering By: PPRABHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
INFO@RDCFLA.COM  
J.JAGTAP@RDCFLA.COM

4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811  
INFO@RDCFLA.COM

REVISIONS 09-22-21

BY: DH

CODE 2020

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EXTERIOR ELEVATION  
LEFT AND RIGHT

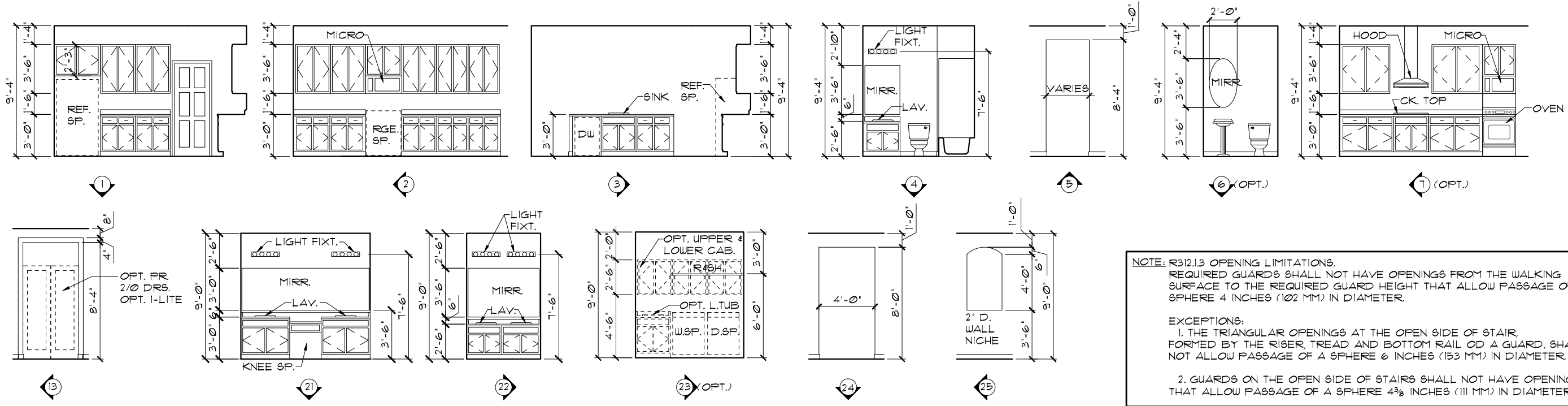
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DREAM FINDERS HOMES

100

OF 26 SHEETS

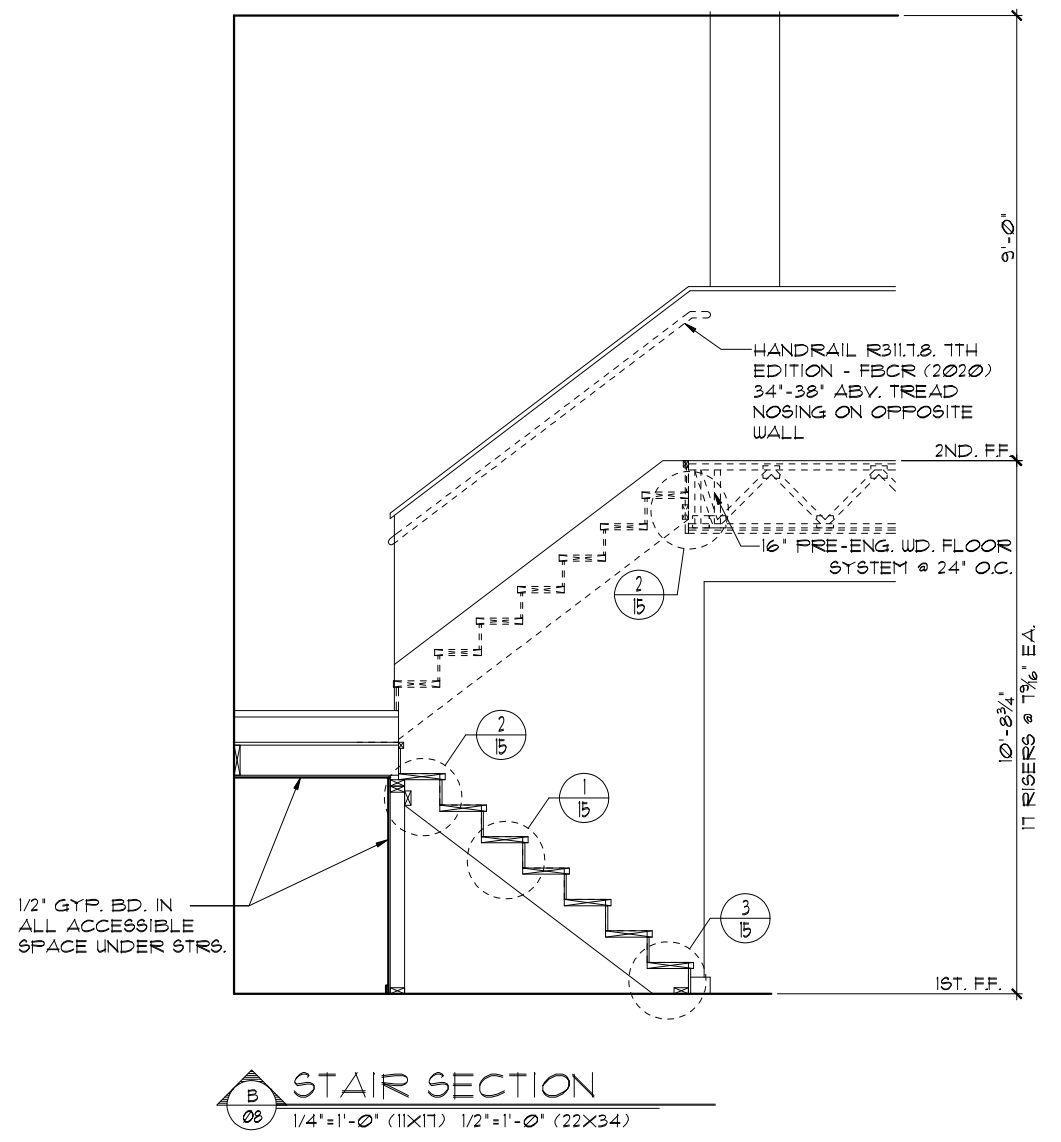




**NOTE: R312.1.3 OPENING LIMITATIONS.**  
 REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW PASSAGE OF A SPHERE 4 INCHES (102 MM) IN DIAMETER.

**EXCEPTIONS:**  
 1. THE TRIANGULAR OPENINGS AT THE OPEN SIDE OF STAIR, FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD, SHALL NOT ALLOW PASSAGE OF A SPHERE 6 INCHES (153 MM) IN DIAMETER.  
 2. GUARDS ON THE OPEN SIDE OF STAIRS SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A SPHERE 4 3/8 INCHES (111 MM) IN DIAMETER.

**INTERIOR ELEVATIONS**  
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)  
 NOTE: INTERIOR ELEVATIONS ARE CONCEPTUAL ONLY.  
 SEE CABINET SHOP DRAWINGS FOR FINAL VERIFICATION.



THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

**LOT SPECIFIC INFORMATION**

DATE: 07-31-19  
 SCALE: AS NOTED  
 DRAWN: RDC  
 JOB: 2718  
 101  
 OF 26 SHEETS

**INTERIOR ELEVATIONS/ CROSS SECTION**

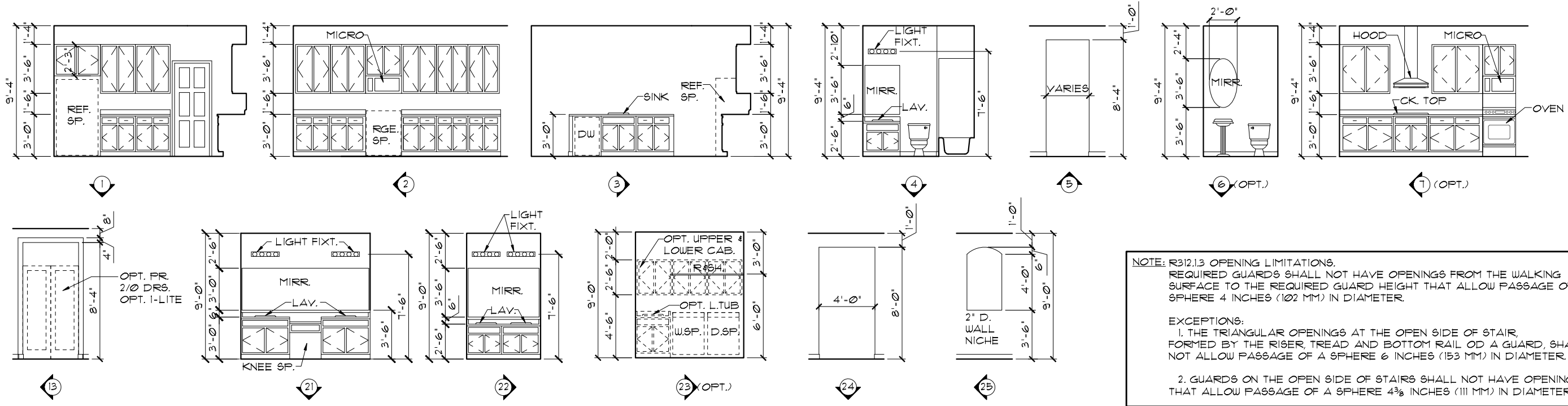
2718 BISCAYNE  
 DREAM FINDERS HOMES

**Engineering By:**  
 PRABHAKAR N. JAGTAP, P.E.  
 5890 MARLBERRY DRIVE  
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 PHONE: 407-345-0010  
 INFO@RDCFLA.COM  
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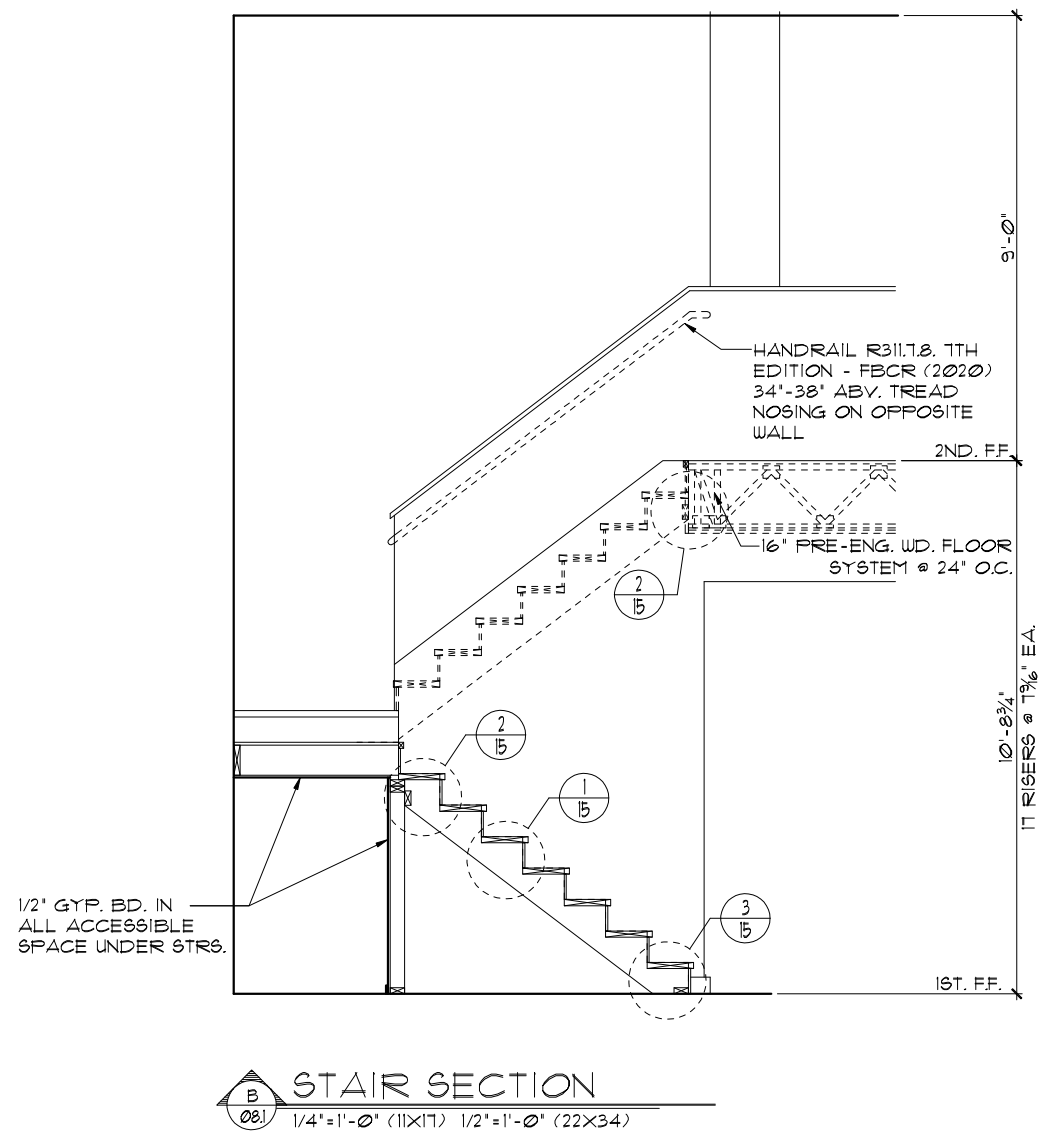
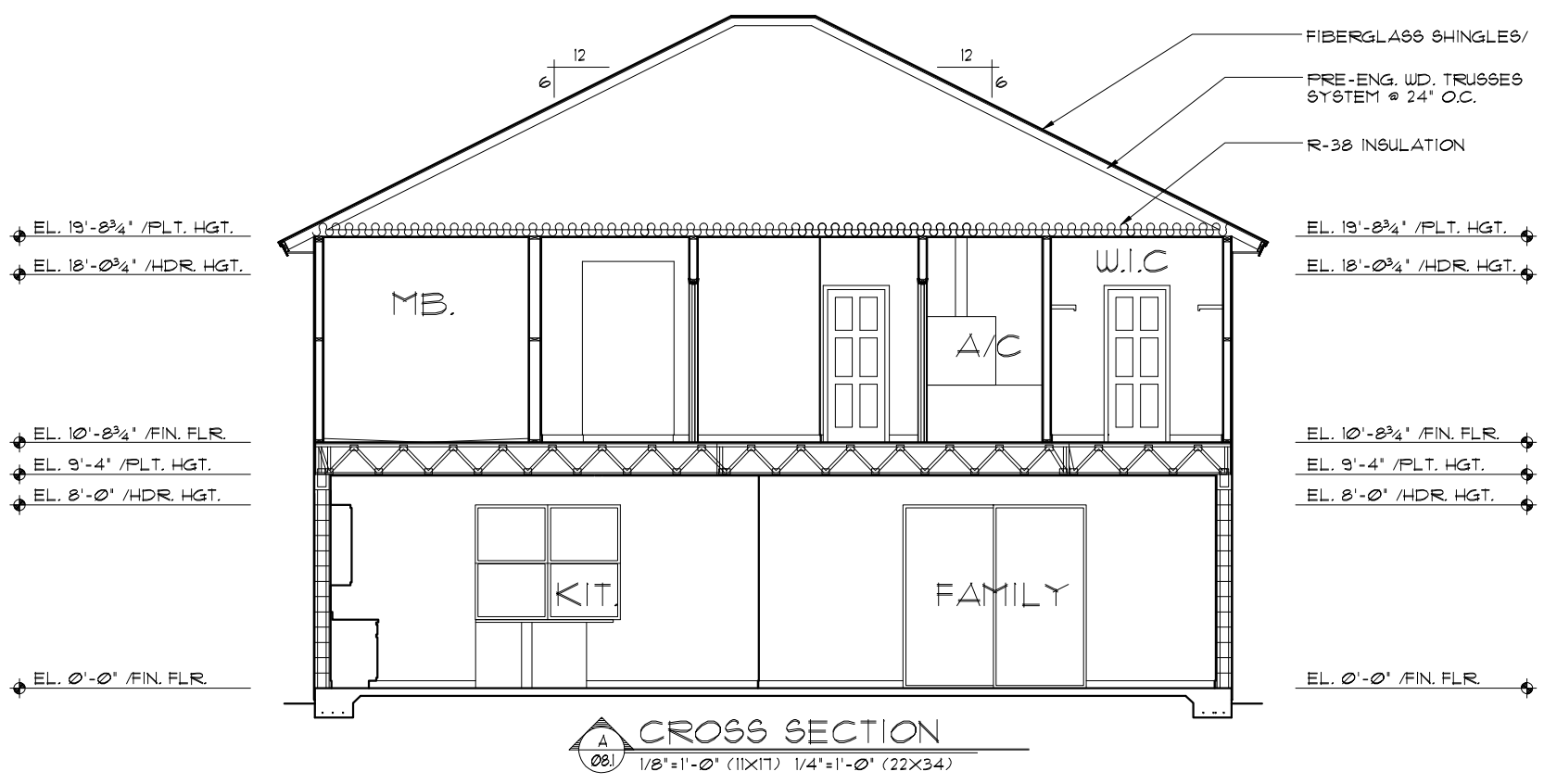
**DREAM FINDERS**  
 THE MAKERS OF A QUALITY HOME

**CODE 2020**  
 REVISIONS: 08-22-21 BY: DH

Item 5.



INTERIOR ELEVATIONS  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)  
NOTE: INTERIOR ELEVATIONS ARE CONCEPTUAL ONLY.  
SEE CABINET SHOP DRAWINGS FOR FINAL VERIFICATION.



Item 5.

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5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
INFO@RDCFLA.COM  
J.JAGTAP@RDCFLA.COM

DREAM FINDERS  
THE MAKERS OF A QUALITY HOME

DATE 07-31-19  
SCALE AS NOTED  
DRAWN RDC  
JOB 2718  
102  
OF 26 SHEETS

2718 BISCAYNE  
DREAM FINDERS HOMES

INTERIOR ELEVATIONS/  
CROSS SECTION

LOT SPECIFIC INFORMATION  
THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

OPTIONAL EXT. MASTER/ EXT. BONUS

LOT SPECIFIC INFORMATION  
1/4"=1'-0" (11X17) 1/2"=1'-0" (22X34)

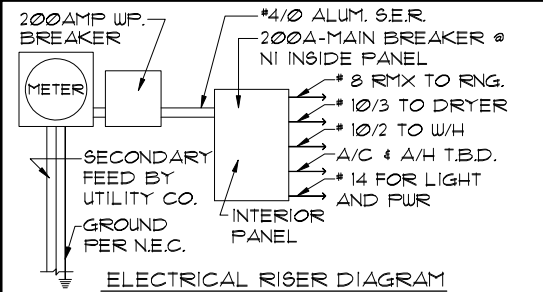
REVISIONS 08-22-21 BY: DH  
CODE 2020

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION


































MECHANICAL/GENERAL NOTES

- PER 11TH ED. 2020 FLA BLD. CODE-RESIDENTIAL
- 1.) COMPLETE DUCT DESIGN W/ SIZES & R-VALUE COMPLYING W/ THE FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION 610.1 ABC.1
- 2.) SUFFICIENT SPACE SHALL BE PROVIDED ADJACENT TO THE MECHANICAL COMPONENTS TO ASSURE ADEQUATE ACCESS FOR:
- A) CONSTRUCTION AND SEALING, AND  
B) SECTION M1601 PER THE FBCR 2020 11TH ED.
- 3.) AIR CONDITIONING SYSTEM SHALL BE COMPLETELY BALANCED. ALL ROOMS ISOLATED FROM THE RETURN AIR SHALL BE PROVIDED WITH MEANS TO COMPLY WITH SECTION M1602 OF THE FBCR CODE 2020 11TH EDITION.
- 4.) IAW NEC 2017- 210.12-ALL 15A OR 20A, 120V BRANCH CIRCUITS THAT SUPPLY OUTLETS IN DWELLING UNITS- FAMILY RMS, DINING RMS, LIVING RMS, PARLORS, LIBRARIES, BEDROOMS DENS, CLOSETS, SUNROOMS, RECREATION RMS, HALLWAYS OR SIMILAR AREAS SHALL BE PROTECTED BY A LISTED AFCI DEVICE OF THE COMBINATION TYPE.
- 5.) IAW NEC 2017- 406.11, ALL 15A AND 20A, 125V RECEPTACLES SHALL BE LISTED AS TAMPER RESISTANT.
- 6.) SMOKE ALARMS SHALL BE IN ALL SLEEPING AREAS, SHALL BE INTERCONNECTED, SHALL BE WITHIN 1' TO 3' OF PEAK & SHALL BE 3' FROM THE SUPPLY OR RETURN AIR- STREAM & EQUIPPED W/ A BATTERY BACKUP. ALARMS MAY NOT BE CONNECTED WHERE ALARMS ARE WIRELESS & ALL ALARMS SOUND UPON ACTIVATION IAW FBCR R314.3 & R314.4. MODEL\* TO BE USED ON THIS JOB TO BE:  
BRK: SMOKE-9120B, C/O- SC9120B  
KIDDE: SMOKE-21007581, C/O 21006377-N

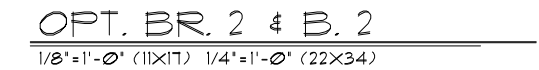
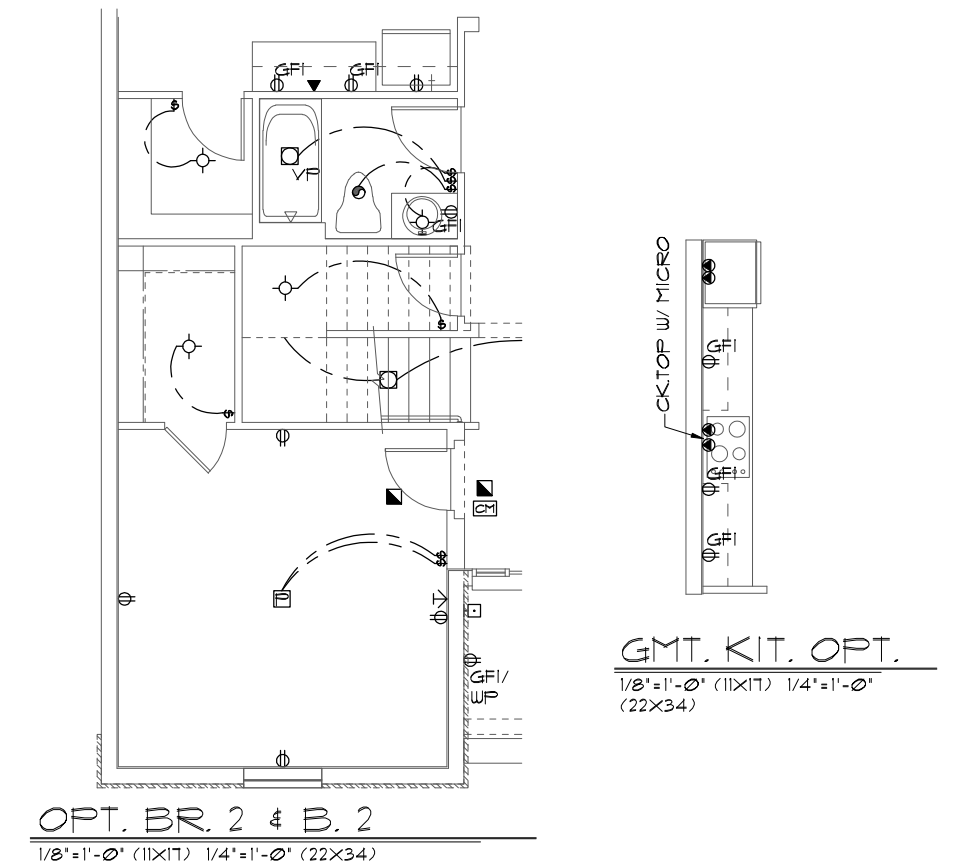
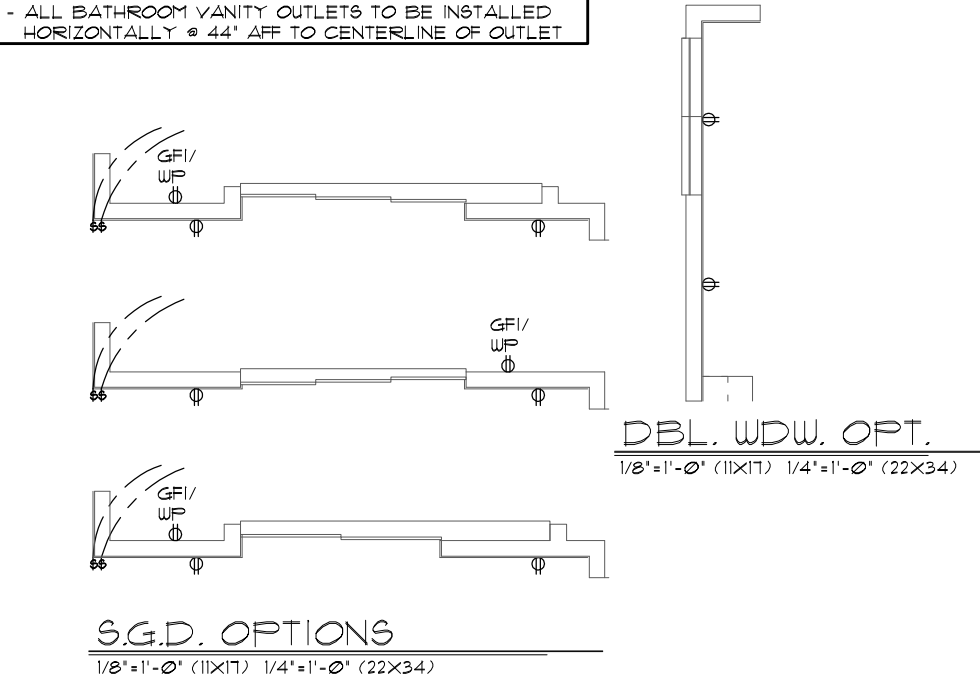
- 7.) ALL WATER HEATERS HAVING AN IGNITION SOURCE TO BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS MINIMUM 18" ABOVE GARAGE FLOOR UNLESS WATER HEATER IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. IAW FBCR 2020, 11TH ED. P280.17
- 8.) ALL EQUIPMENT & APPLIANCES, INCLUDING WATER HEATERS HAVING AN IGNITION SOURCE TO BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS MINIMUM 18" ABOVE GARAGE FLOOR UNLESS IT IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. IAW FBCR 2020, 11TH ED.
- 9.) THE TOTAL LENGTH OF VENTING FOR DRYER TO BE: **5'-0" MAXIMUM**-THE EXHAUST DUCT SHALL TERMINATE NOT LESS THAN 3 FEET (914MM) IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS. PER FBCR 2020, 11TH ED. M1502.3



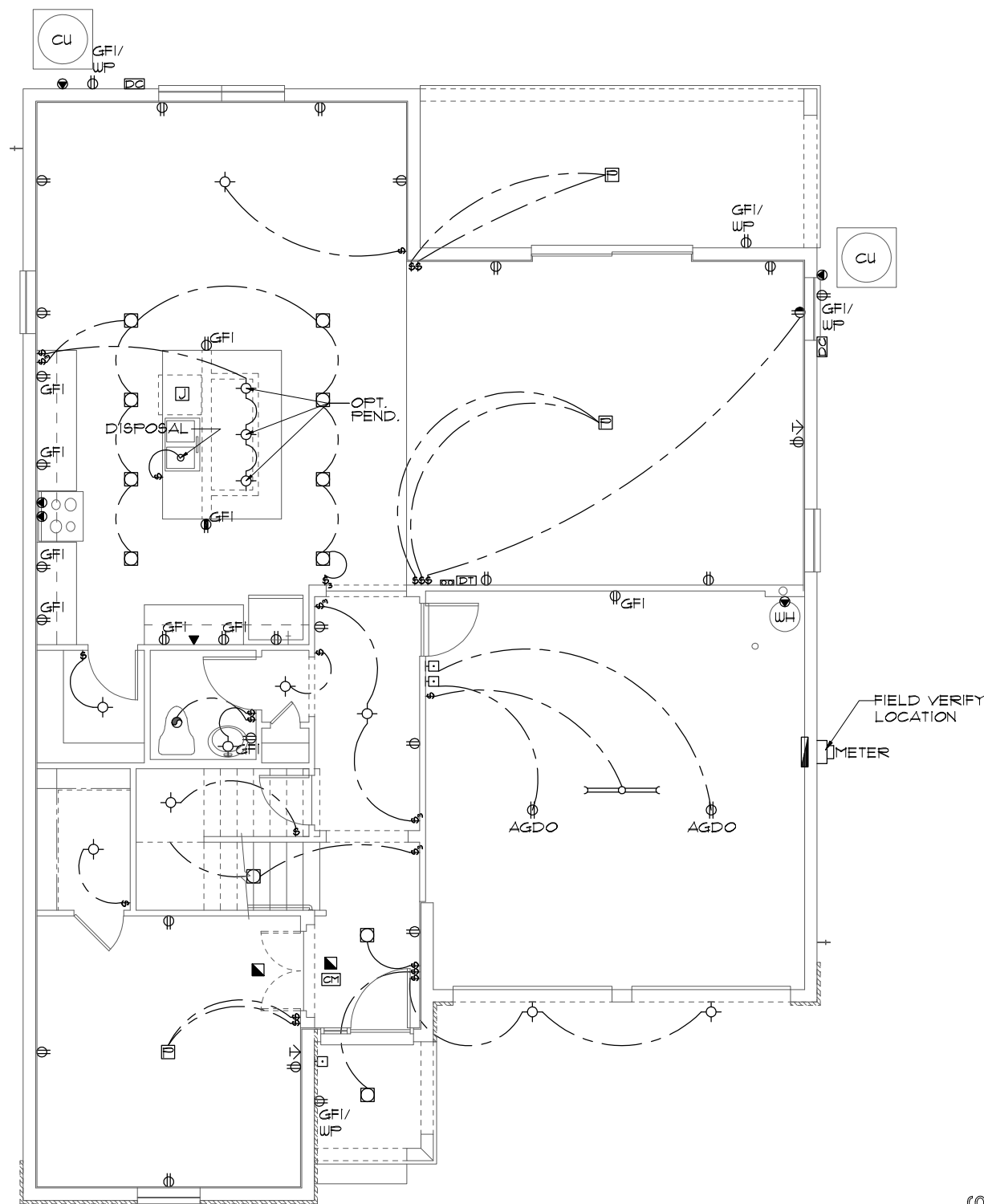
NOTE: NTS.  
ELECTRICAL MATERIALS AND INSTALLATIONS SHALL COMPLY W/ APPLICABLE PROVISIONS OF THE NATIONAL ELEC. CODE 25052(A)(1) TO (6), LOCAL CODES & LOCAL POWER COMPANY

ELECTRICAL LEGEND			
	SINGLE POLE SWITCH		OUTLET, TV/CABLE
	THREE WAY SWITCH		OUTLET, PHONE
	OUTLET 110-115		INTERCOM
	OUT. 110-115, SPLIT WIRED		CHIMES
	OUT. 110-115, W/ USB		SMOKE DETECTOR
	OUT. 110-115, CLG. MOUNT.		CARBON MONOXIDE
	OUT. 110-115, FLR. MOUNT.		PUSH BUTTON
	SPCL. PURPOSE 220-240		EXHAUST FAN
	LIGHT FIXT., CLG. MTD.		EX. FAN/LIGHT COMBO
	LIGHT FIXT., WALL MTD.		DISPOSAL
	LIGHT FIXT., RECESSED		ELECTRICAL PANEL
	LIGHT FIXT., REC. ADJUST.		CEILING FAN, PREWIRE
	LIGHT FIXT., PULL CHAIN		CEILING FAN, INSTALL
	LIGHT FIXT.,FLUORESCENT		ELECT. JUNCTION BOX
	LIGHT FIXT., EXT. FLOODS		THERMOSTAT
	LIGHT FIXT., EMERG. EXIT		DISCONNECT SWITCH
	LIGHT FIXT., EXIT/BACKUP		ELEC. POWER METER

- NOTE:
- ALL KITCHEN COUNTER OUTLETS TO BE INSTALLED HORIZONTALLY @ 50" AFF TO CENTERLINE OF OUTLET
  - ALL BATHROOM VANITY OUTLETS TO BE INSTALLED HORIZONTALLY @ 44" AFF TO CENTERLINE OF OUTLET



ELECTRICAL PLAN "A"



OPTION A - STANDARD BONUS

LOT SPECIFIC INFORMATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 11TH EDITION

DATE 07-31-19  
SCALE AS NOTED  
DRAWN RDC  
JOB 2718  
103  
OF 26 SHEETS

2718 BISCAYNE  
DREAM FINDERS HOMES

ELECTRICAL PLAN



Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
INFO@RDCFLA.COM  
J.JAGTAP@RDCFLA.COM  
4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811

Item 5.

LA: 10-19-21  
BY: RP

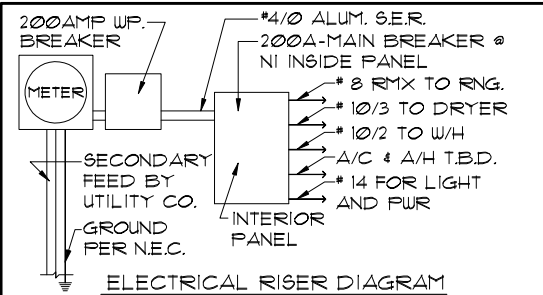
REVISIONS 08-22-21  
BY: DH  
CODE 2020































MECHANICAL/GENERAL NOTES  
PER 11TH ED. 2020 FLA BLD. CODE-RESIDENTIAL

- 1.) COMPLETE DUCT DESIGN W/ SIZES & R-VALUE COMPLYING W/ THE FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION 610.1 ABC.1
- 2.) SUFFICIENT SPACE SHALL BE PROVIDED ADJACENT TO THE MECHANICAL COMPONENTS TO ASSURE ADEQUATE ACCESS FOR:  
A) CONSTRUCTION AND SEALING, AND  
B) SECTION M1601 PER THE FBCR 2020 11TH ED.
- 3.) AIR CONDITIONING SYSTEM SHALL BE COMPLETELY BALANCED. ALL ROOMS ISOLATED FROM THE RETURN AIR SHALL BE PROVIDED WITH MEANS TO COMPLY WITH SECTION M1602 OF THE FBCR CODE 2020 11TH EDITION.
- 4.) IAW NEC 2017- 210.12-ALL 15A OR 20A, 120V BRANCH CIRCUITS THAT SUPPLY OUTLETS IN DWELLING UNITS- FAMILY RMS, DINING RMS, LIVING RMS, PARLORS, LIBRARIES, BEDROOMS, BENS, CLOSETS, SUNROOMS, RECREATION RMS, HALLWAYS OR SIMILAR AREAS SHALL BE PROTECTED BY A LISTED AFCI DEVICE OF THE COMBINATION TYPE.
- 5.) IAW NEC 2017- 406.11, ALL 15A AND 20A, 125V RECEPTACLES SHALL BE LISTED AS TAMPER RESISTANT.
- 6.) SMOKE ALARMS SHALL BE IN ALL SLEEPING AREAS, SHALL BE INTERCONNECTED, SHALL BE WITHIN 1' TO 3' OF PEAK & SHALL BE 3' FROM THE SUPPLY OR RETURN AIR- STREAM & EQUIPPED W/ A BATTERY BACKUP. ALARMS MAY NOT BE CONNECTED WHERE ALARMS ARE WIRELESS & ALL ALARMS SOUND UPON ACTIVATION IAW FBCR R314.3 & R314.4. MODEL\* TO BE USED ON THIS JOB TO BE:  
**BRK: SMOKE-9120B, C/O- SC9120B**  
**KIDDE: SMOKE-21007581, C/O 21006377-N**

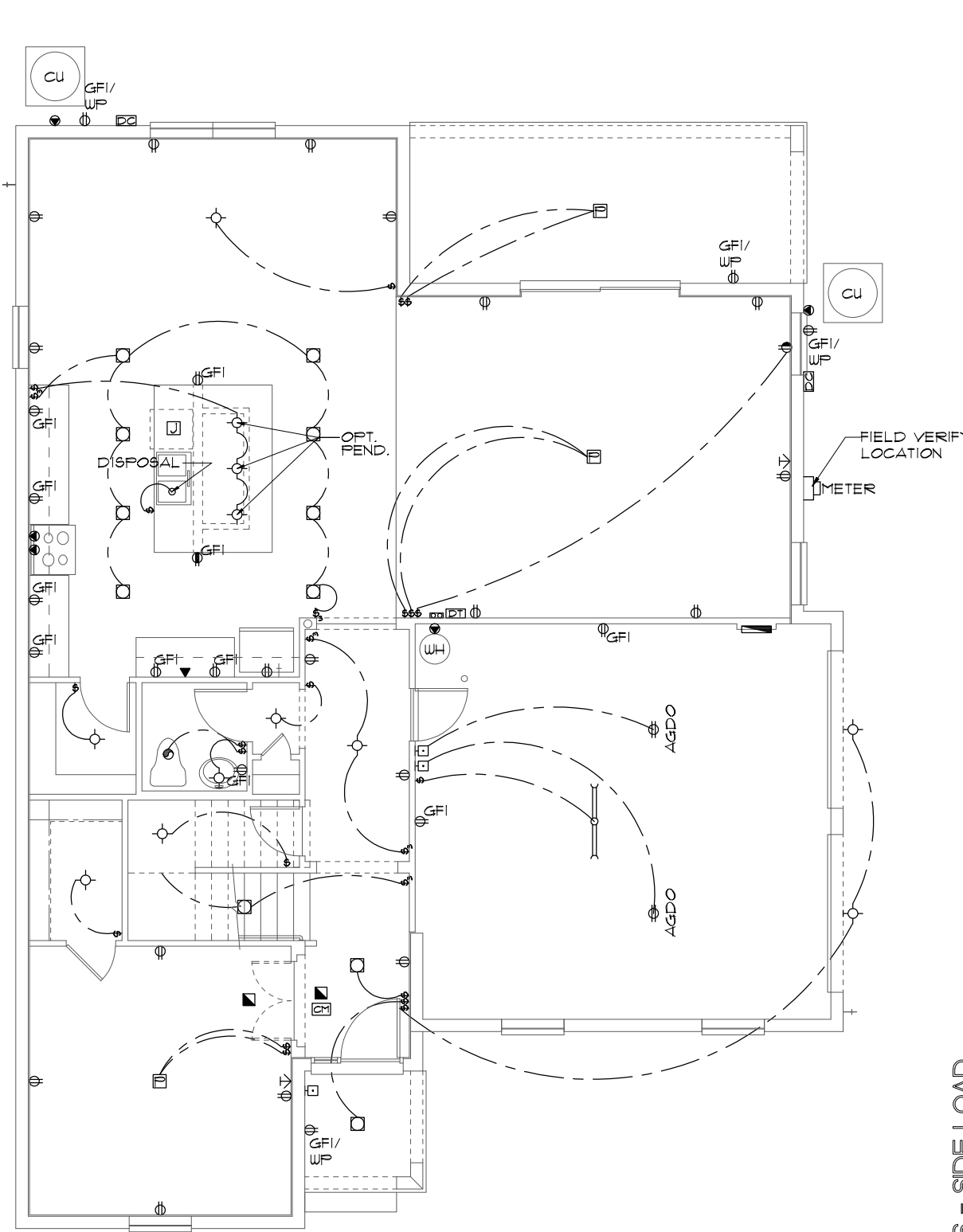
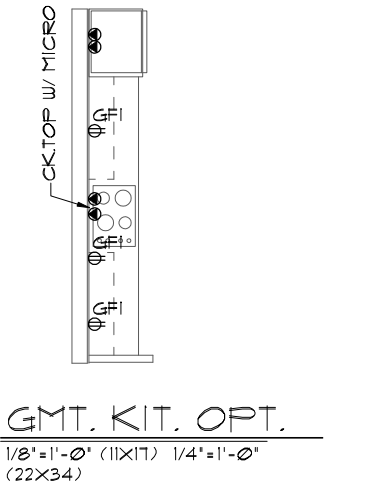
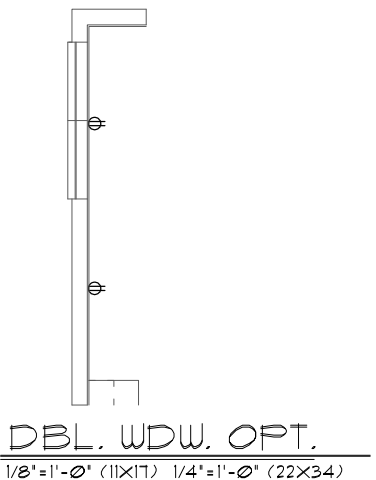
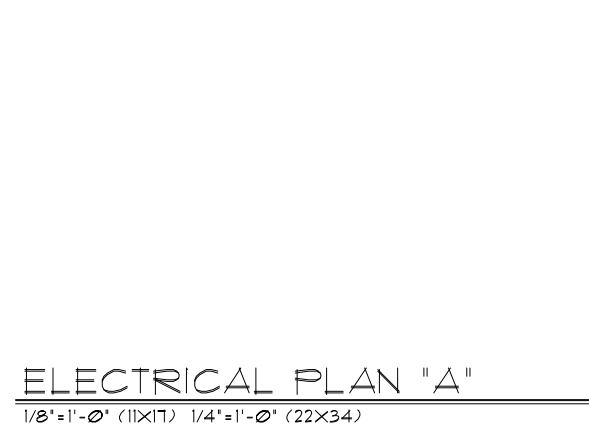
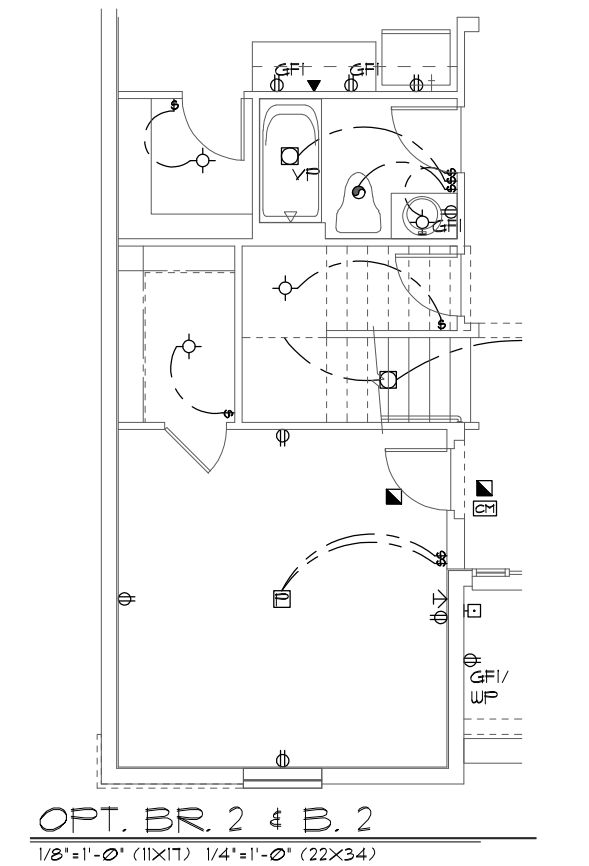
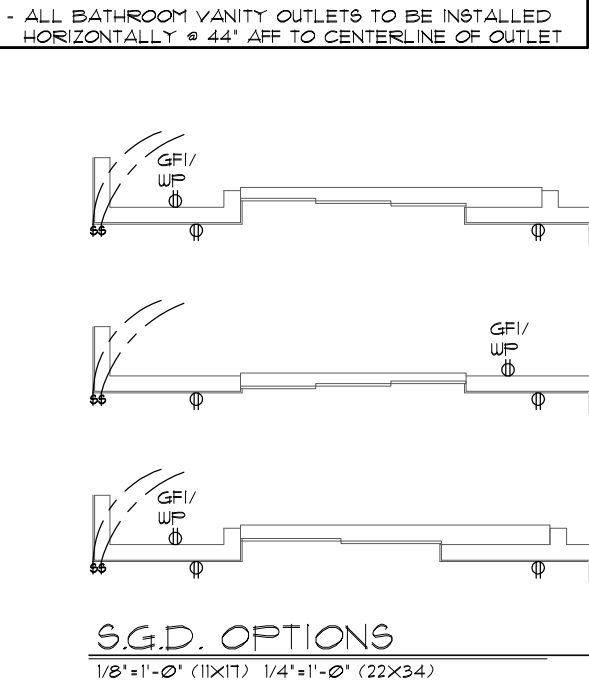
- 7.) ALL WATER HEATERS HAVING AN IGNITION SOURCE TO BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS MINIMUM 18' ABOVE GARAGE FLOOR UNLESS WATER HEATER IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. IAW FBCR 2020, 11TH ED. P2801.1
- 8.) ALL EQUIPMENT & APPLIANCES, INCLUDING WATER HEATERS HAVING AN IGNITION SOURCE TO BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS MINIMUM 18' ABOVE GARAGE FLOOR UNLESS IT IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. IAW FBCR 2020, 11TH ED.
- 9.) THE TOTAL LENGTH OF VENTING FOR DRYER TO BE: **5'-0" MAXIMUM**-THE EXHAUST DUCT SHALL TERMINATE NOT LESS THAN 3 FEET (914MM) IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS. PER FBCR 2020, 11TH ED. M1502.3



NOTE: NTS.  
ELECTRICAL MATERIALS AND INSTALLATIONS SHALL COMPLY W/ APPLICABLE PROVISIONS OF THE NATIONAL ELEC. CODE 250.52(A)(1) TO (6), LOCAL CODES & LOCAL POWER COMPANY

ELECTRICAL LEGEND			
	SINGLE POLE SWITCH		OUTLET, TV/CABLE
	THREE WAY SWITCH		OUTLET, PHONE
	OUTLET 110-115		INTERCOM
	OUT. 110-115, SPLIT WIRED		CHIMES
	OUT. 110-115, W/ USB		SMOKE DETECTOR
	OUT. 110-115, CLG. MOUNT.		CARBON MONOXIDE
	OUT. 110-115, FLR. MOUNT.		PUSH BUTTON
	SPCL. PURPOSE 220-240		EXHAUST FAN
	LIGHT FIXT., CLG. MTD.		EX. FAN/LIGHT COMBO
	LIGHT FIXT., WALL MTD.		DISPOSAL
	LIGHT FIXT., RECESSED		ELECTRICAL PANEL
	LIGHT FIXT., REC. ADJUST.		CEILING FAN, PREWIRE
	LIGHT FIXT., PULL CHAIN		CEILING FAN, INSTALL
	LIGHT FIXT.,FLUORESCENT		ELECT. JUNCTION BOX
	LIGHT FIXT., EXT. FLOODS		THERMOSTAT
	LIGHT FIXT., EMERG. EXIT		DISCONNECT SWITCH
	LIGHT FIXT., EXIT/BACKUP		ELEC. POWER METER

- NOTE:
- ALL KITCHEN COUNTER OUTLETS TO BE INSTALLED HORIZONTALLY @ 50" AFF TO CENTERLINE OF OUTLET
  - ALL BATHROOM VANITY OUTLETS TO BE INSTALLED HORIZONTALLY @ 44" AFF TO CENTERLINE OF OUTLET



OPTION A - STANDARD BONUS - SIDE LOAD

LOT SPECIFIC INFORMATION

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

104

OF 26 SHEETS

2718 BISCAYNE

DREAM FINDERS HOMES

Engineering By:

PRASHAKAR N. JAGTAP, P.E.

5890 MARLBERRY DRIVE

ORLANDO, FL 32819

PHONE: 407-345-0010

JJAGTAP@RDCFLA.COM

4301 VINELAND RD.

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INFO@RDCFLA.COM

DREAM FINDERS

THE MAKERS OF A QUALITY HOME

ELECTRICAL PLAN

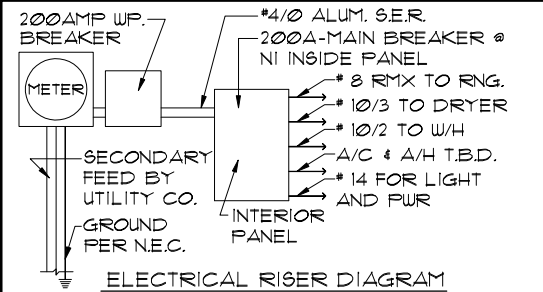
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






















MECHANICAL/GENERAL NOTES

PER 11TH ED. 2020 FLA BLD. CODE-RESIDENTIAL

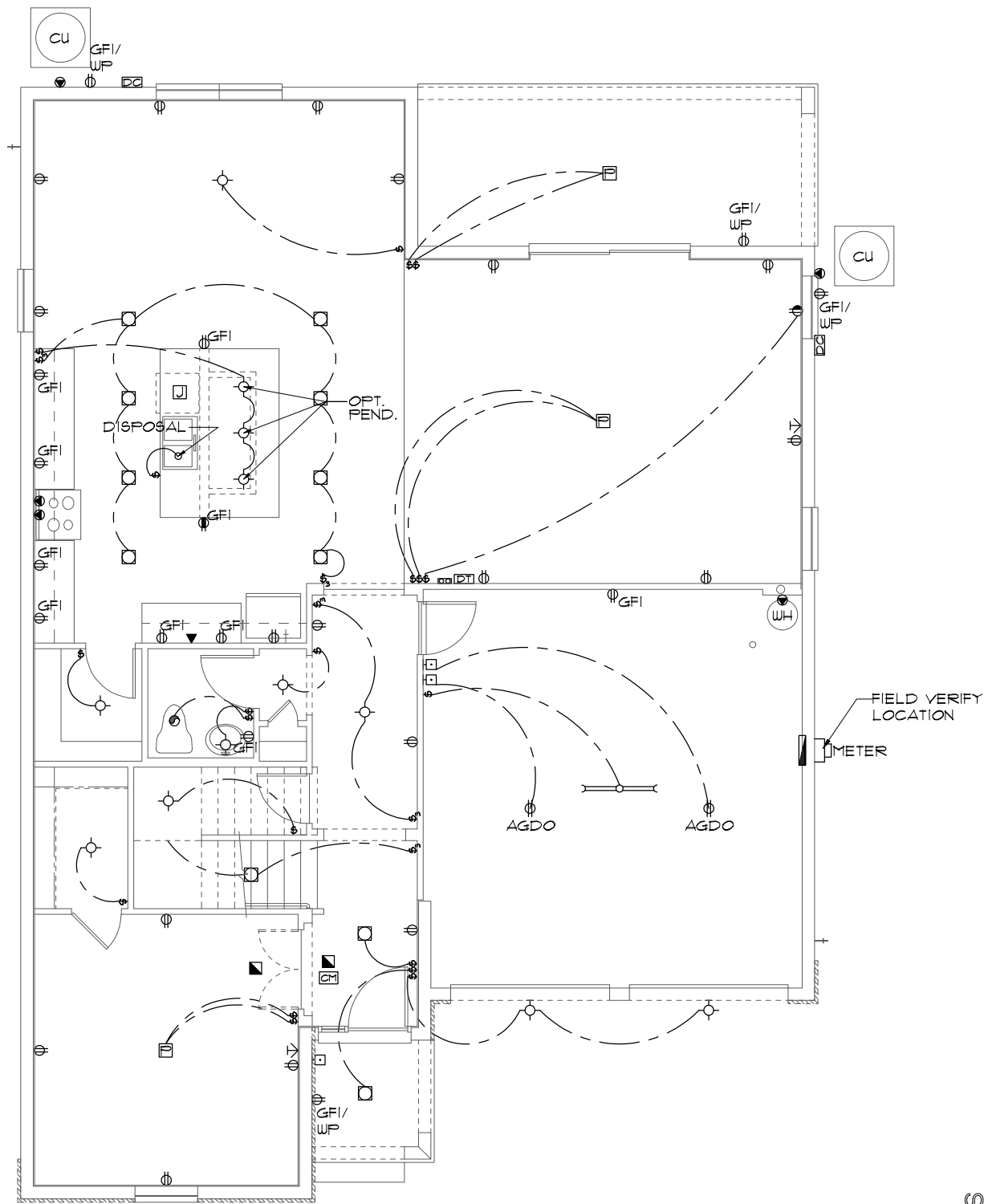
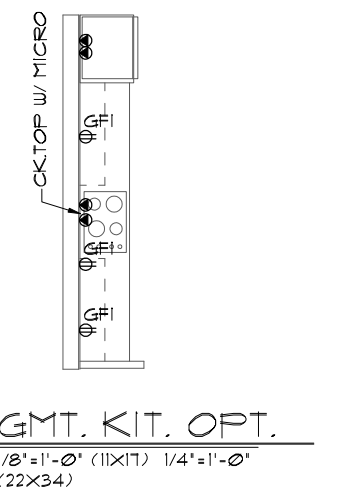
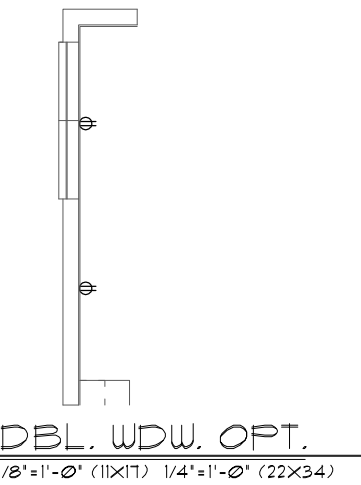
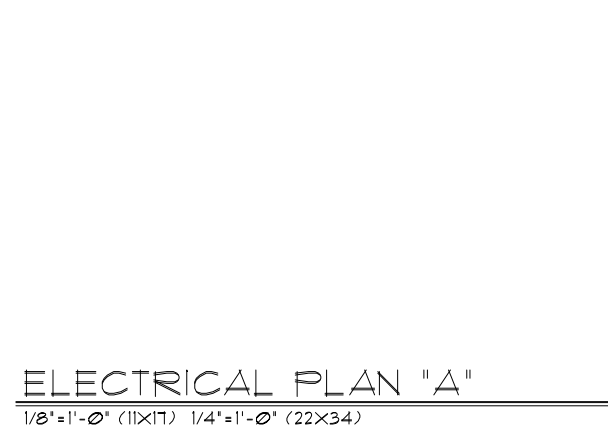
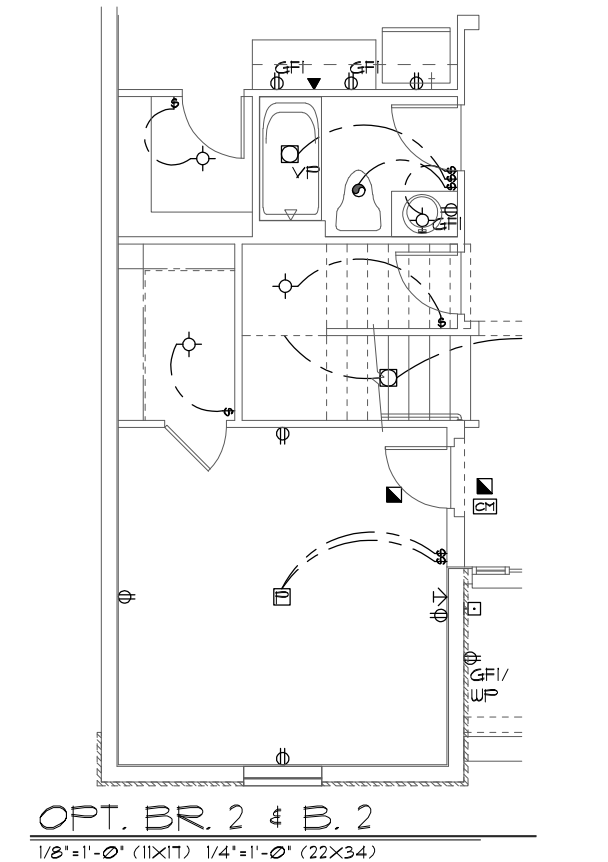
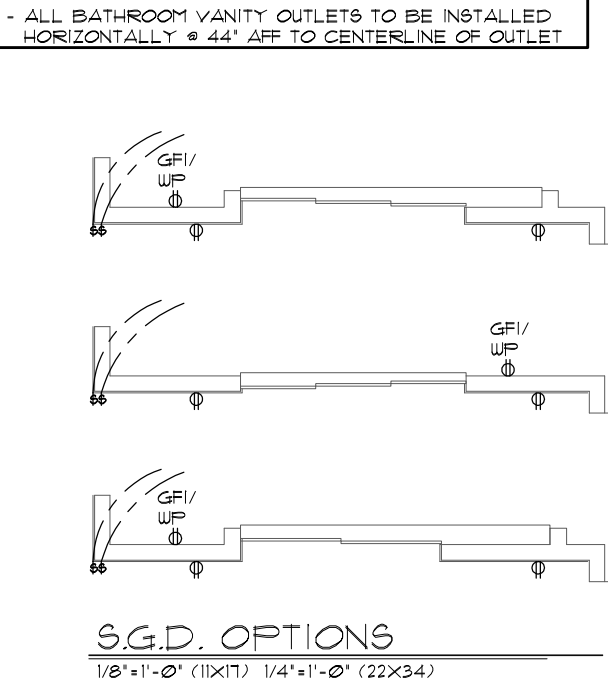
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BRK: SMOKE-9120B, C/O- SC9120B  
KIDDE: SMOKE-21007581, C/O 21006377-N
- 7.) ALL WATER HEATERS HAVING AN IGNITION SOURCE TO BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS MINIMUM 18" ABOVE GARAGE FLOOR UNLESS WATER HEATER IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. IAW FBCR 2020, 11TH ED. P280.17
- 8.) ALL EQUIPMENT & APPLIANCES, INCLUDING WATER HEATERS HAVING AN IGNITION SOURCE TO BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS MINIMUM 18" ABOVE GARAGE FLOOR UNLESS IT IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. IAW FBCR 2020, 11TH ED.
- 9.) THE TOTAL LENGTH OF VENTING FOR DRYER TO BE: **5'-0" MAXIMUM**-THE EXHAUST DUCT SHALL TERMINATE NOT LESS THAN 3 FEET (914MM) IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS. PER FBCR 2020, 11TH ED. M1502.3



NOTE: NTS.  
ELECTRICAL MATERIALS AND INSTALLATIONS SHALL COMPLY W/ APPLICABLE PROVISIONS OF THE NATIONAL ELEC. CODE 25052(A)(1) TO (6), LOCAL CODES & LOCAL POWER COMPANY

ELECTRICAL LEGEND			
	SINGLE POLE SWITCH		OUTLET, TV/CABLE
	THREE WAY SWITCH		OUTLET, PHONE
	OUTLET 110-115		INTERCOM
	OUT. 110-115, SPLIT WIRED		CHIMES
	OUT. 110-115, W/ USB		SMOKE DETECTOR
	OUT. 110-115, CLG. MOUNT.		CARBON MONOXIDE
	OUT. 110-115, FLR. MOUNT.		PUSH BUTTON
	SPCL. PURPOSE 220-240		EXHAUST FAN
	LIGHT FIXT. CLG. MTD.		EX. FAN/LIGHT COMBO
	LIGHT FIXT. WALL MTD.		DISPOSAL
	LIGHT FIXT. RECESSED		ELECTRICAL PANEL
	LIGHT FIXT. REC. ADJUST.		CEILING FAN, PREWIRE
	LIGHT FIXT. FULL CHAIN		CEILING FAN, INSTALL
	LIGHT FIXT. FLUORESCENT		ELECT. JUNCTION BOX
	LIGHT FIXT. EXT. FLOODS		THERMOSTAT
	LIGHT FIXT. EMERG. EXIT		DISCONNECT SWITCH
	LIGHT FIXT. EXIT/BACKUP		ELEC. POWER METER

- NOTE:
- ALL KITCHEN COUNTER OUTLETS TO BE INSTALLED HORIZONTALLY @ 50" AFF TO CENTERLINE OF OUTLET
  - ALL BATHROOM VANITY OUTLETS TO BE INSTALLED HORIZONTALLY @ 44" AFF TO CENTERLINE OF OUTLET



OPTION B - EXTENDED BONUS

LOT SPECIFIC INFORMATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 11TH EDITION

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

105

OF 26 SHEETS

2718 BISCAYNE

DREAM FINDERS HOMES

Engineering By:

FRANKLIN N. JAGTAP, P.E.

5890 MARLBERRY DRIVE

ORLANDO, FL 32819

PHONE: 407-345-0010

INFO@RDCFLA.COM

4301 VINELAND RD.

SUITE E-1

ORLANDO, FL 32811

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DREAM FINDERS

THE MAKERS OF A QUALITY HOME

ELECTRICAL PLAN

Item 5.

LA: 10-19-21

BY: RP

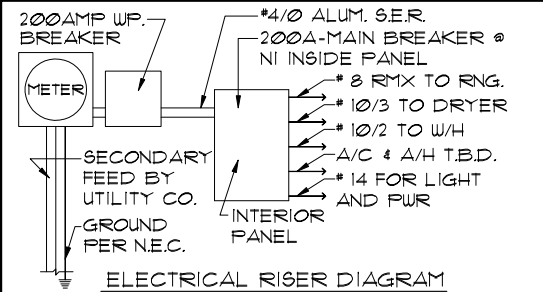
REVISIONS 08-22-21

BY: DH

CODE 2020

MECHANICAL/GENERAL NOTES  
PER 11TH ED. 2020 FLA BLD. CODE-RESIDENTIAL

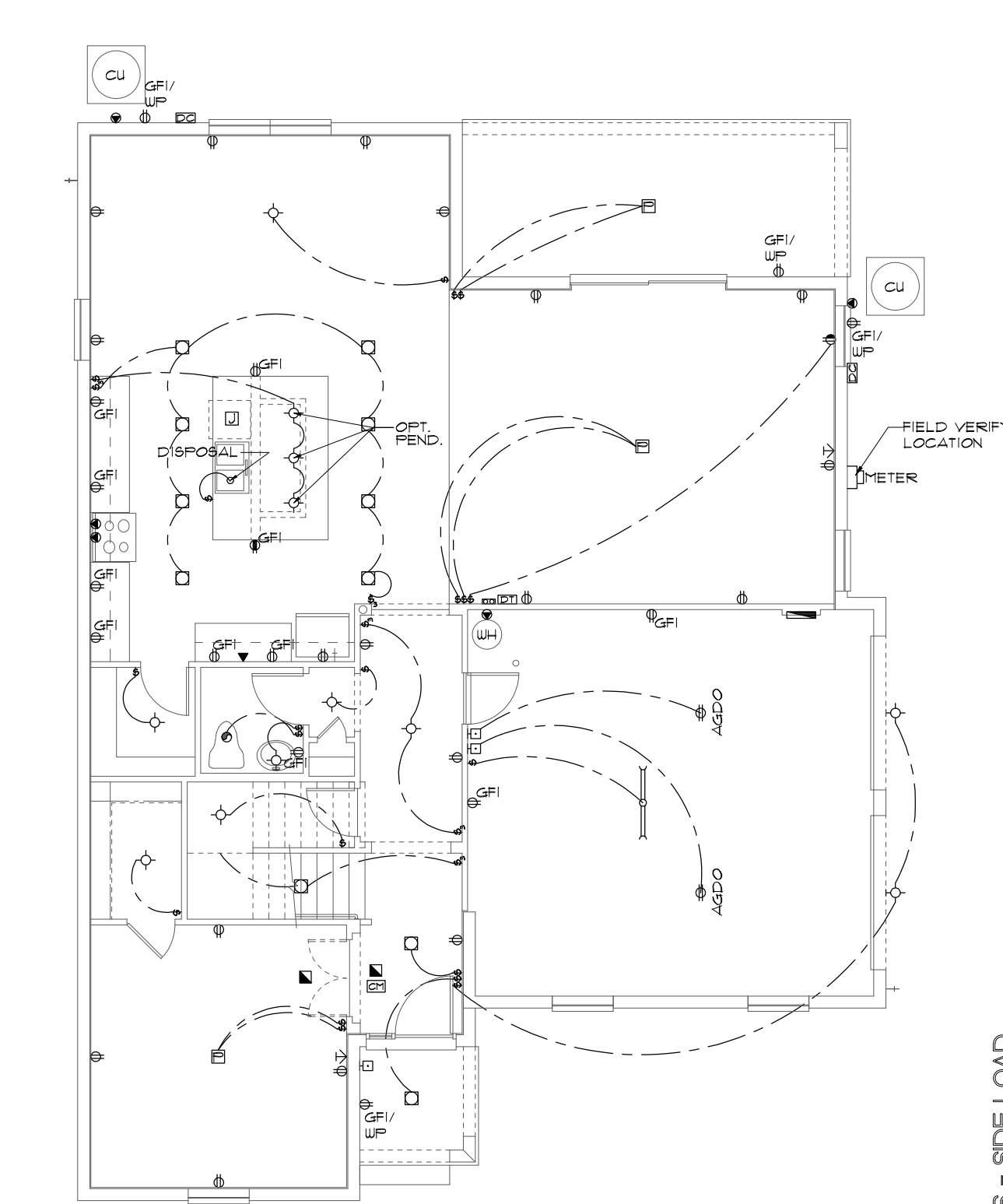
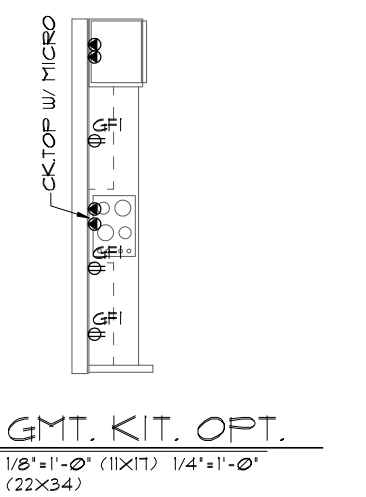
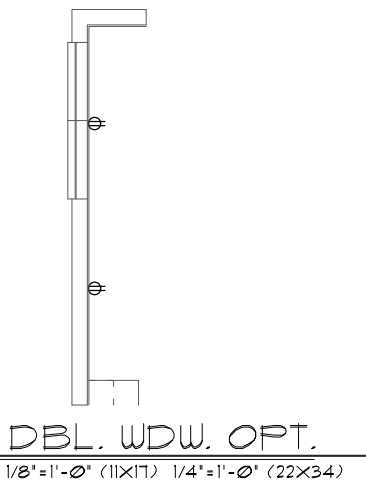
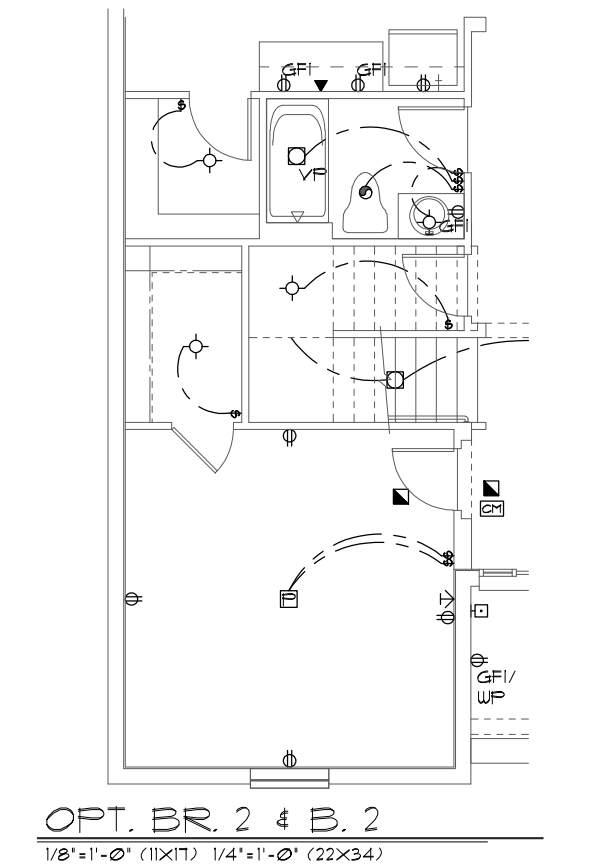
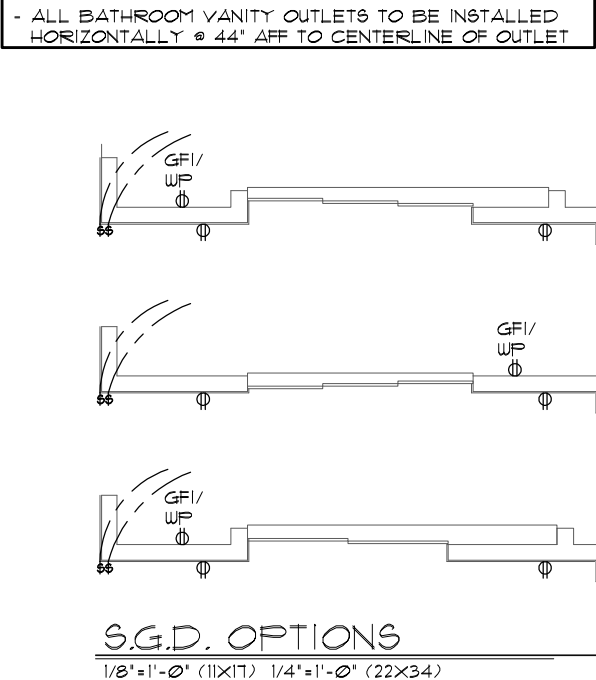
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- 3.) AIR CONDITIONING SYSTEM SHALL BE COMPLETELY BALANCED. ALL ROOMS ISOLATED FROM THE RETURN AIR SHALL BE PROVIDED WITH MEANS TO COMPLY WITH SECTION M1602 OF THE FBCR CODE 2020 11TH EDITION.
- 4.) IAW NEC 2017- 210.12-ALL 15A OR 20A, 120V BRANCH CIRCUITS THAT SUPPLY OUTLETS IN DWELLING UNITS- FAMILY RMS, DINING RMS, LIVING RMS, PARLORS, LIBRARIES, BEDROOMS, DENS, CLOSETS, SUNROOMS, RECREATION RMS, HALLWAYS OR SIMILAR AREAS SHALL BE PROTECTED BY A LISTED AFCI DEVICE OF THE COMBINATION TYPE.
- 5.) IAW NEC 2017- 406.11, ALL 15A AND 20A, 125V RECEPTACLES SHALL BE LISTED AS TAMPER RESISTANT.
- 6.) SMOKE ALARMS SHALL BE IN ALL SLEEPING AREAS, SHALL BE INTERCONNECTED, SHALL BE WITHIN 1' TO 3' OF PEAK & SHALL BE 3' FROM THE SUPPLY OR RETURN AIR- STREAM & EQUIPPED W/ A BATTERY BACKUP. ALARMS MAY NOT BE CONNECTED WHERE ALARMS ARE WIRELESS & ALL ALARMS SOUND UPON ACTIVATION IAW FBCR R314.3 & R314.4. MODEL\* TO BE USED ON THIS JOB TO BE:  
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NOTE: NTS.  
ELECTRICAL MATERIALS AND INSTALLATIONS SHALL COMPLY W/ APPLICABLE PROVISIONS OF THE NATIONAL ELEC. CODE 250.52(A)(1) TO (6), LOCAL CODES & LOCAL POWER COMPANY

ELECTRICAL LEGEND			
ⓘ	SINGLE POLE SWITCH	⏏	OUTLET, TV/CABLE
ⓘ	THREE WAY SWITCH	⏏	OUTLET, PHONE
ⓘ	OUTLET 110-115	⏏	INTERCOM
ⓘ	OUT. 110-115, 5PLIT WIRED	⏏	CHIMES
ⓘ	OUT. 110-115, W/ USB	⏏	SMOKE DETECTOR
ⓘ	OUT. 110-115, CLG. MOUNT.	⏏	CARBON MONOXIDE
ⓘ	OUT. 110-115, FLR. MOUNT.	⏏	PUSH BUTTON
ⓘ	5PCL. PURPOSE 220-240	⏏	EXHAUST FAN
ⓘ	LIGHT FIXT., CLG. MTD.	⏏	EX. FAN/LIGHT COMBO
ⓘ	LIGHT FIXT., WALL MTD.	⏏	DISPOSAL
ⓘ	LIGHT FIXT., RECESSED	⏏	ELECTRICAL PANEL
ⓘ	LIGHT FIXT., REC. ADJUST.	⏏	CEILING FAN, PREWIRE
ⓘ	LIGHT FIXT., FULL CHAIN	⏏	CEILING FAN, INSTALL
ⓘ	LIGHT FIXT.,FLUORESCENT	⏏	ELECT. JUNCTION BOX
ⓘ	LIGHT FIXT., EXT. FLOODS	⏏	THERMOSTAT
ⓘ	LIGHT FIXT., EMERG. EXIT	⏏	DISCONNECT SWITCH
ⓘ	LIGHT FIXT., EXIT/BACKUP	⏏	ELEC. POWER METER

- NOTE:
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OPTION B - EXTENDED BONUS - SIDE LOAD

LOT SPECIFIC INFORMATION

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DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

106

OF 26 SHEETS

2718 BISCAYNE

DREAM FINDERS HOMES

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REVISIONS 09-22-21

BY: DH

CODE 2020

LA: 10-19-21

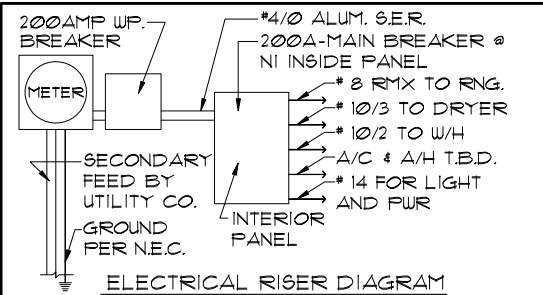
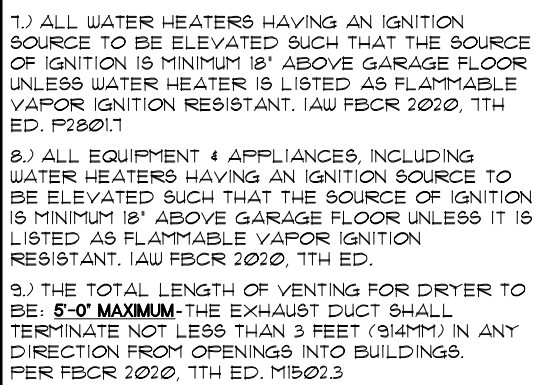
BY: RP

Item 5.

Electrical Plan

MECHANICAL/GENERAL NOTES  
PER 11TH ED. 2020 FLA BLD. CODE-RESIDENTIAL

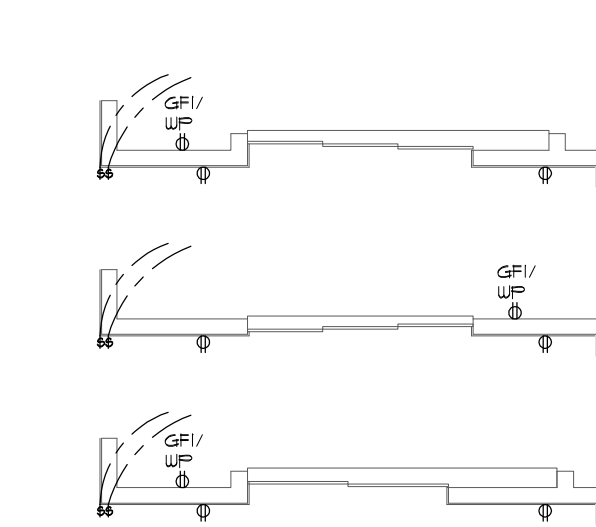
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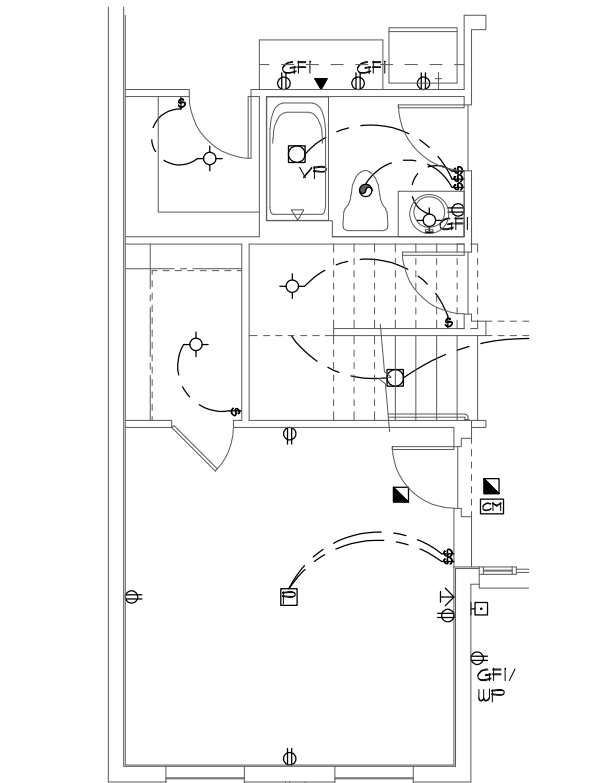
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ELECTRICAL LEGEND		
ⓘ SINGLE POLE SWITCH	◀ OUTLET, TV/CABLE	
Ⓜ THREE WAY SWITCH	◀ OUTLET, PHONE	
Ⓢ OUTLET 110-115	☐ INTERCOM	
Ⓢ OUT. 110-115, 5PLIT WIRED	Ⓢ CHIMES	
Ⓢ OUT. 110-115, W/ USB	☐ SMOKE DETECTOR	
Ⓢ OUT. 110-115, CLG. MOUNT.	☐ CARBON MONOXIDE	
Ⓢ OUT. 110-115, FLR. MOUNT.	☐ PUSH BUTTON	
Ⓢ SPCL. PURPOSE 220-240	☐ EXHAUST FAN	
☐ LIGHT FIXT. CLG. MTD.	☐ EX. FAN/LIGHT COMBO	
☐ LIGHT FIXT. WALL MTD.	☐ DISPOSAL	
☐ LIGHT FIXT. RECESSED	☐ ELECTRICAL PANEL	
☐ LIGHT FIXT. REC. ADJUST.	☐ CEILING FAN, PREWIRE	
☐ LIGHT FIXT. PULL CHAIN	☐ CEILING FAN, INSTALL	
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☐ LIGHT FIXT. EXT. FLOODS	☐ THERMOSTAT	
☐ LIGHT FIXT. EMERG. EXIT	☐ DISCONNECT SWITCH	
☐ LIGHT FIXT. EXIT/BACKUP	☐ ELEC. POWER METER	

- NOTE:
- ALL KITCHEN COUNTER OUTLETS TO BE INSTALLED HORIZONTALLY @ 50" AFF TO CENTERLINE OF OUTLET
  - ALL BATHROOM VANITY OUTLETS TO BE INSTALLED HORIZONTALLY @ 44" AFF TO CENTERLINE OF OUTLET

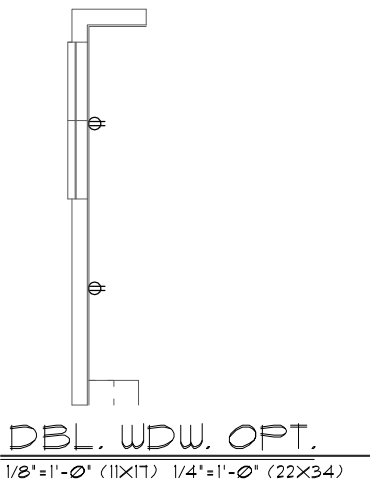


S.G.D. OPTIONS  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



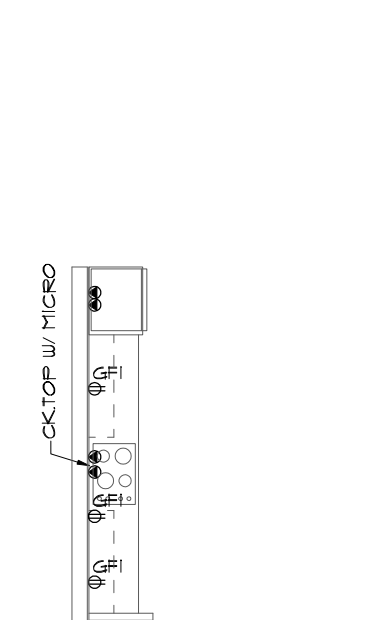
OPT. BR. 2 & B. 2  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

ELECTRICAL PLAN "B"  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

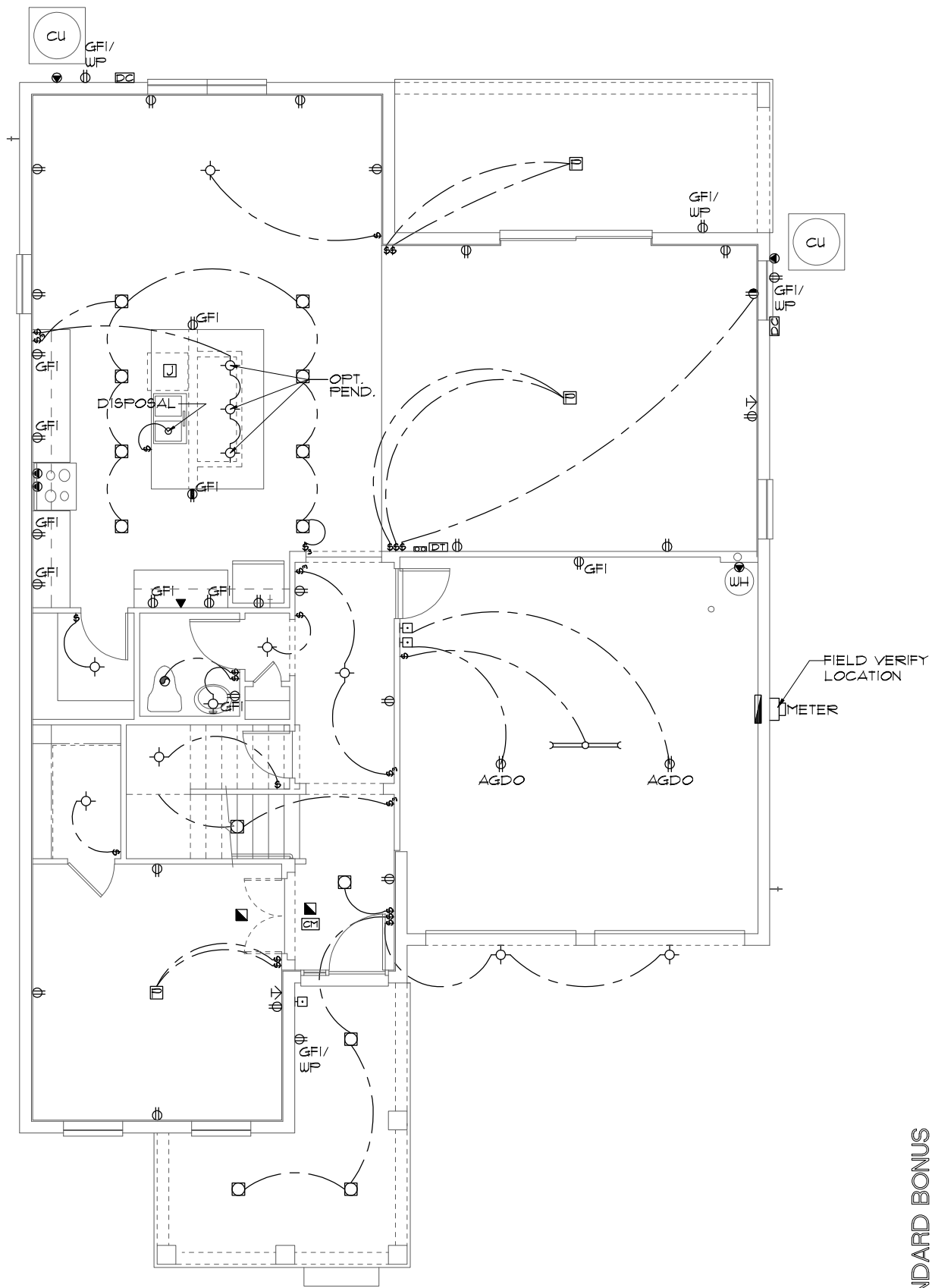


DBL. WDW. OPT.  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

S.G.D. OPTIONS  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



GMT. KIT. OPT.  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION A - STANDARD BONUS

LOT SPECIFIC INFORMATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 11TH EDITION

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

107

OF 26 SHEETS

2718 BISCAYNE  
DREAM FINDERS HOMES

ELECTRICAL PLAN



Engineering By:  
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ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

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Item 5.

LA: 10-19-21

BY: RP

REVISIONS 08-22-21

BY: DH

CODE 2020



**MECHANICAL/GENERAL NOTES**  
PER 11TH ED. 2020 FLA BLD. CODE-RESIDENTIAL

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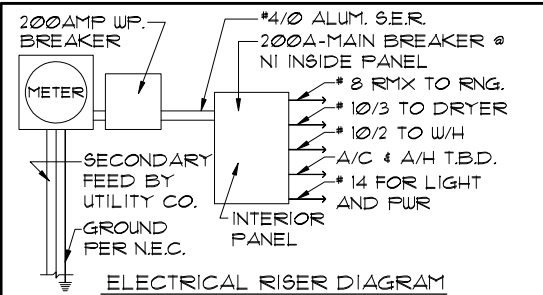
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

























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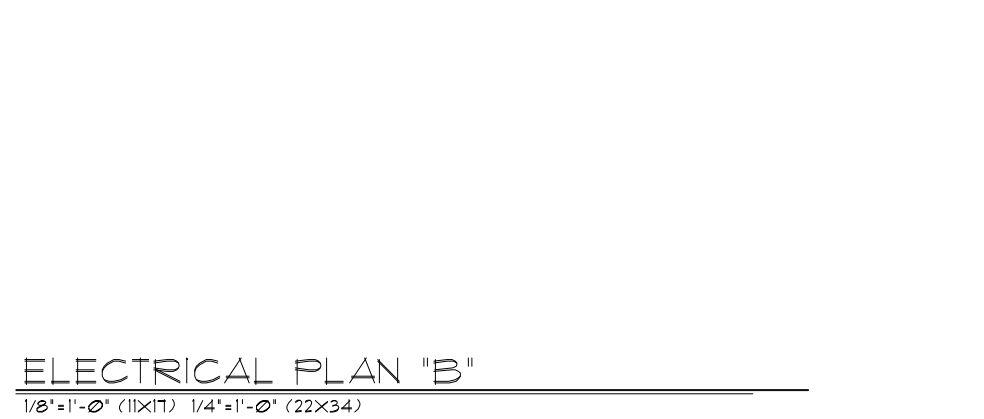
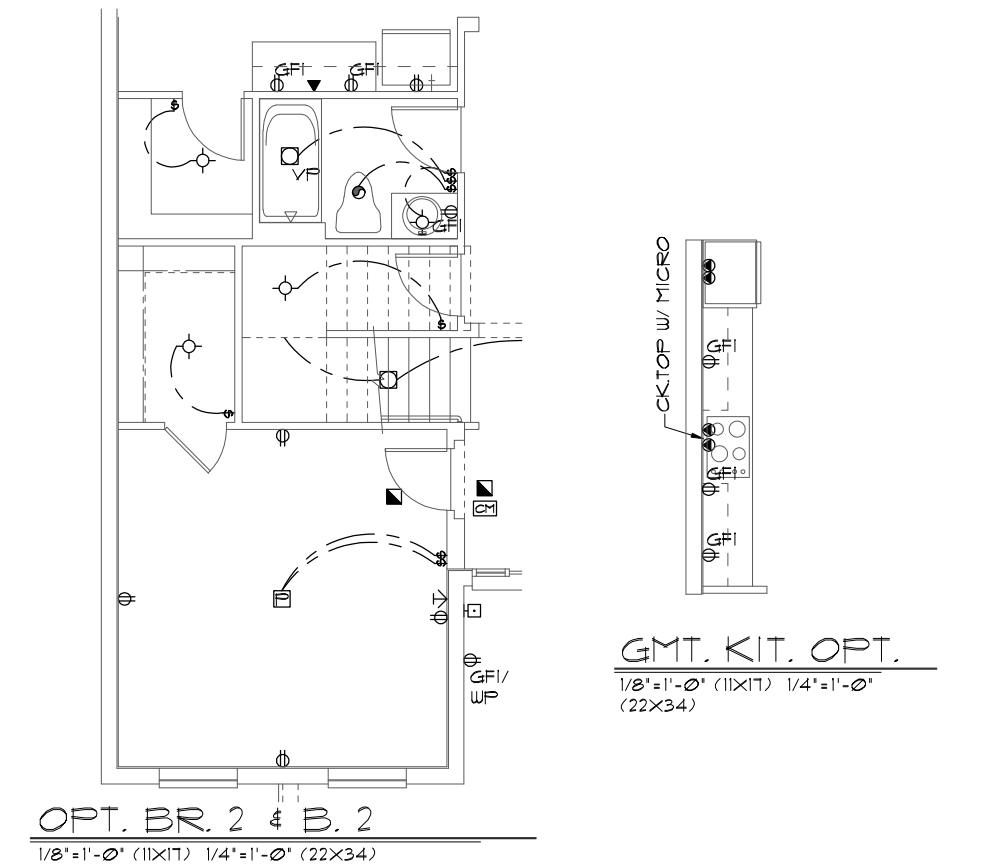
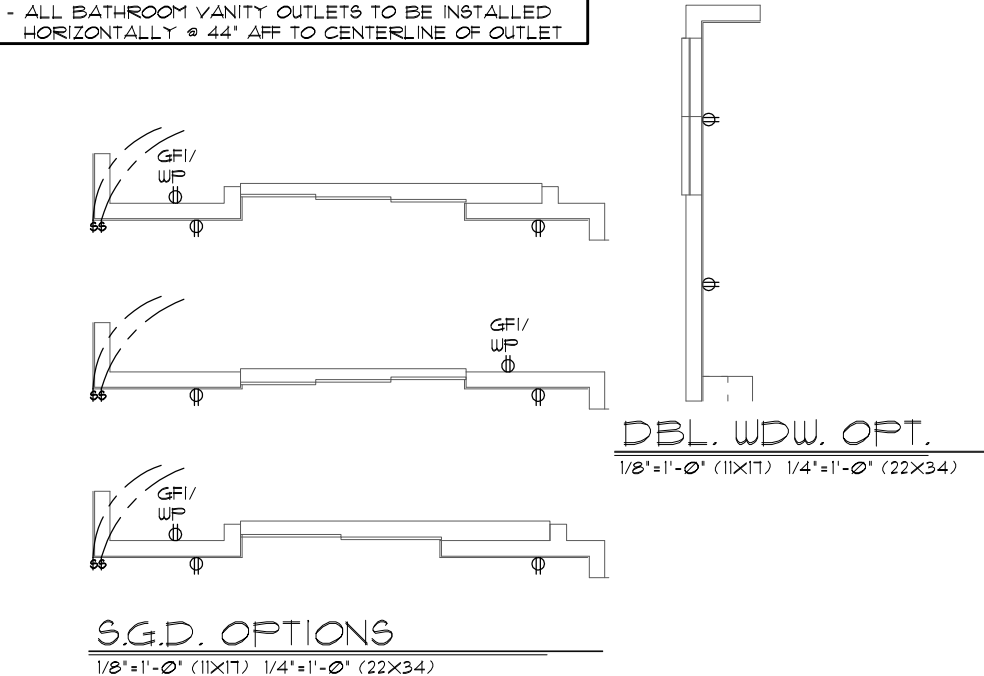


**ELECTRICAL RISER DIAGRAM**

NOTE: NTS.  
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ELECTRICAL LEGEND			
	SINGLE POLE SWITCH		OUTLET, TV/CABLE
	THREE WAY SWITCH		OUTLET, PHONE
	OUTLET 110-115		INTERCOM
	OUT. 110-115, SPLIT WIRED		CHIMES
	OUT. 110-115, W/ USB		SMOKE DETECTOR
	OUT. 110-115, CLG. MOUNT.		CARBON MONOXIDE
	OUT. 110-115, FLR. MOUNT.		PUSH BUTTON
	SPLCL. PURPOSE 220-240		EXHAUST FAN
	LIGHT FIXT., CLG. MTD.		EX. FAN/LIGHT COMBO
	LIGHT FIXT., WALL MTD.		DISPOSAL
	LIGHT FIXT., RECESSED		ELECTRICAL PANEL
	LIGHT FIXT., REC. ADJUST.		CEILING FAN, PREWIRE
	LIGHT FIXT., FULL CHAIN		CEILING FAN, INSTALL
	LIGHT FIXT.,FLUORESCENT		ELECT. JUNCTION BOX
	LIGHT FIXT., EXT. FLOODS		THERMOSTAT
	LIGHT FIXT., EMERG. EXIT		DISCONNECT SWITCH
	LIGHT FIXT., EXIT/BACKUP		ELEC. POWER METER

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OPTION A - STANDARD BONUS - SIDE LOAD

LOT SPECIFIC INFORMATION

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**DREAM FINDERS**  
THE MAKERS OF A QUALITY HOME

**ELECTRICAL PLAN**

2718 BISCAYNE  
DREAM FINDERS HOMES

DATE 07-31-19  
SCALE AS NOTED  
DRAWN RDC  
JOB 2718  
108  
OF 26 SHEETS



MECHANICAL/GENERAL NOTES

PER 11TH ED. 2020 FLA BLD. CODE-RESIDENTIAL

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4.) IAW NEC 2017- 210.12-ALL 15A OR 20A, 120V BRANCH CIRCUITS THAT SUPPLY OUTLETS IN DWELLING UNITS- FAMILY RMS, DINING RMS, LIVING RMS, PARLORS, LIBRARIES, BEDROOMS, DENS, CLOSETS, SUNROOMS, RECREATION RMS, HALLWAYS OR SIMILAR AREAS SHALL BE PROTECTED BY A LISTED AFCI DEVICE OF THE COMBINATION TYPE.

5.) IAW NEC 2017- 406.11, ALL 15A AND 20A, 125V RECEPTACLES SHALL BE LISTED AS TAMPER RESISTANT.

6.) SMOKE ALARMS SHALL BE IN ALL SLEEPING AREAS, SHALL BE INTERCONNECTED, SHALL BE WITHIN 1' TO 3' OF PEAK & SHALL BE 3' FROM THE SUPPLY OR RETURN AIR- STREAM & EQUIPPED W/ A BATTERY BACKUP. ALARMS MAY NOT BE CONNECTED WHERE ALARMS ARE WIRELESS & ALL ALARMS SOUND UPON ACTIVATION IAW FBCR R314.3 & R314.4. MODEL\* TO BE USED ON THIS JOB TO BE:

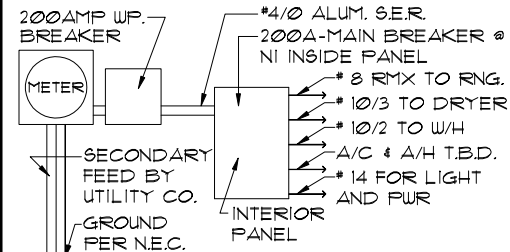
BRK: SMOKE-9120B, C/O- SC9120B

KIDDE: SMOKE-21007581, C/O 21006377-N

7.) ALL WATER HEATERS HAVING AN IGNITION SOURCE TO BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS MINIMUM 18" ABOVE GARAGE FLOOR UNLESS WATER HEATER IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. IAW FBCR 2020, 11TH ED. P280.17

8.) ALL EQUIPMENT & APPLIANCES, INCLUDING WATER HEATERS HAVING AN IGNITION SOURCE TO BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS MINIMUM 18" ABOVE GARAGE FLOOR UNLESS IT IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. IAW FBCR 2020, 11TH ED.

9.) THE TOTAL LENGTH OF VENTING FOR DRYER TO BE: **5'-0" MAXIMUM**-THE EXHAUST DUCT SHALL TERMINATE NOT LESS THAN 3 FEET (914MM) IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS. PER FBCR 2020, 11TH ED. M1502.3



ELECTRICAL RISER DIAGRAM

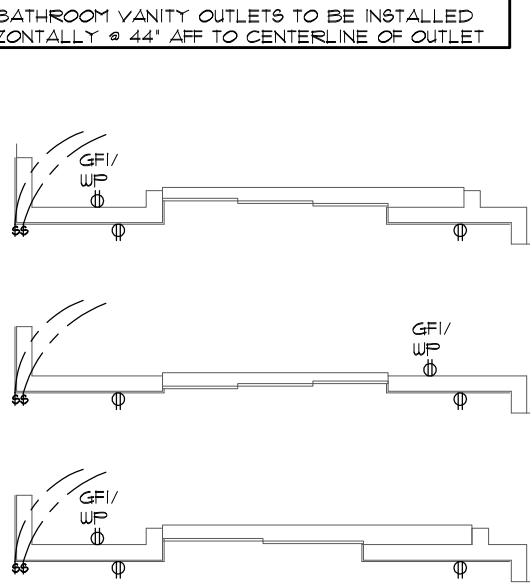
NOTE: NTS. ELECTRICAL MATERIALS AND INSTALLATIONS SHALL COMPLY W/ APPLICABLE PROVISIONS OF THE NATIONAL ELEC. CODE 250.52(A)(1) TO (6), LOCAL CODES & LOCAL POWER COMPANY

ELECTRICAL LEGEND

⊠	SINGLE POLE SWITCH	◀	OUTLET, TV/CABLE
⊡	THREE WAY SWITCH	◀	OUTLET, PHONE
⊡	OUTLET 110-115	◻	INTERCOM
⊡	OUT. 110-115, 5PLIT WIRED	⊡	CHIMES
⊡	OUT. 110-115, W/ USB	⊡	SMOKE DETECTOR
⊡	OUT. 110-115, CLG. MOUNT.	⊡	CARBON MONOXIDE
⊡	OUT. 110-115, FLR. MOUNT.	⊡	PUSH BUTTON
⊡	SPCL. PURPOSE 220-240	⊡	EXHAUST FAN
⊡	LIGHT FIXT. CLG. MTD.	⊡	EX. FAN/LIGHT COMBO
⊡	LIGHT FIXT. WALL MTD.	⊡	DISPOSAL
⊡	LIGHT FIXT. RECESSED	⊡	ELECTRICAL PANEL
⊡	LIGHT FIXT. REC. ADJUST.	⊡	CEILING FAN, PREWIRE
⊡	LIGHT FIXT. PULL CHAIN	⊡	CEILING FAN, INSTALL
⊡	LIGHT FIXT. FLUORESCENT	⊡	ELECT. JUNCTION BOX
⊡	LIGHT FIXT. EXT. FLOODS	⊡	THERMOSTAT
⊡	LIGHT FIXT. EMERG. EXIT	⊡	DISCONNECT SWITCH
⊡	LIGHT FIXT. EXIT/BACKUP	⊡	ELEC. POWER METER

NOTE:

- ALL KITCHEN COUNTER OUTLETS TO BE INSTALLED HORIZONTALLY @ 50" AFF TO CENTERLINE OF OUTLET
- ALL BATHROOM VANITY OUTLETS TO BE INSTALLED HORIZONTALLY @ 44" AFF TO CENTERLINE OF OUTLET

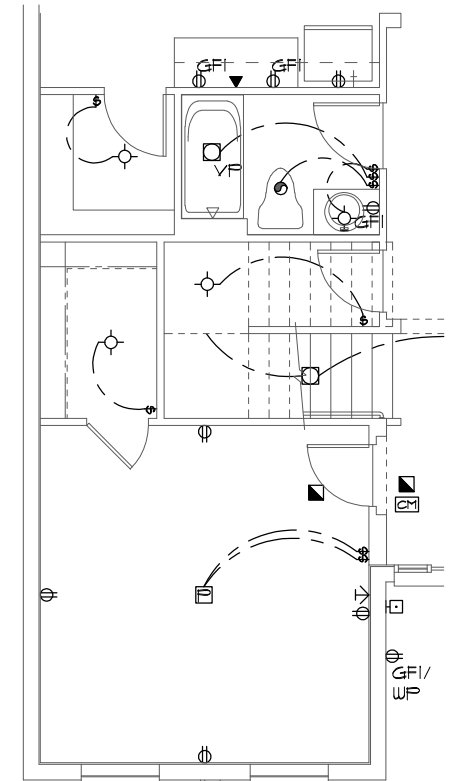


DBL. WDW. OPT.

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

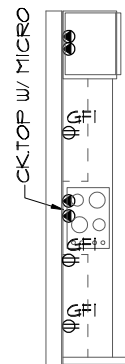
S.G.D. OPTIONS

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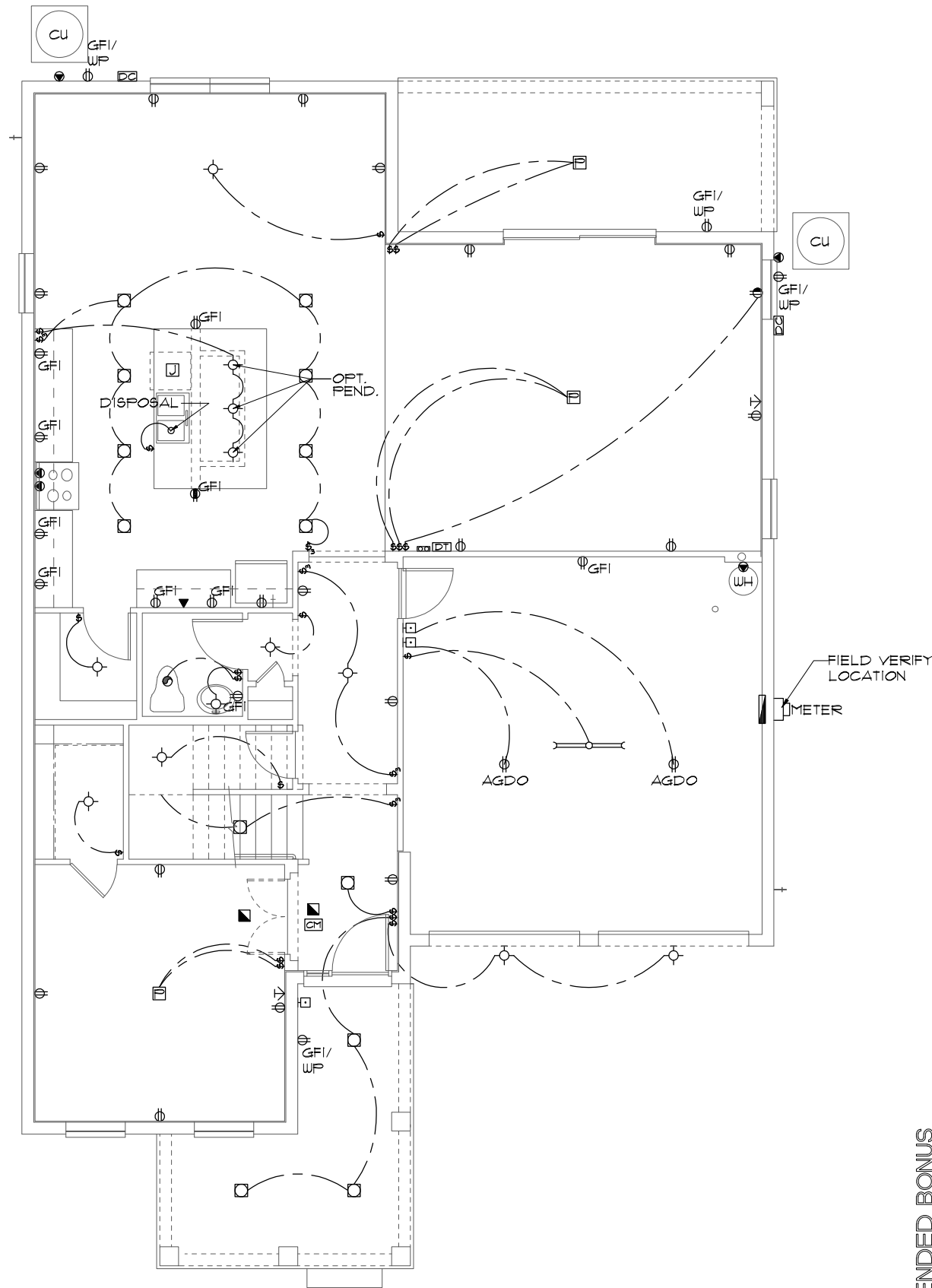
OPT. BR. 2 & B. 2

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



GMT. KIT. OPT.

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION B - EXTENDED BONUS

LOT SPECIFIC INFORMATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 11TH EDITION

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

109

OF 26 SHEETS

09B.1

ELECTRICAL PLAN

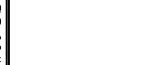
2718 BISCAYNE  
DREAM FINDERS HOMES

Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
INFO@RDCFLA.COM  
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SUITE E-1  
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DREAM FINDERS  
THE MAKERS OF A QUALITY HOME



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MECHANICAL/GENERAL NOTES

PER 11TH ED. 2020 FLA BLD. CODE-RESIDENTIAL

1.) COMPLETE DUCT DESIGN W/ SIZES & R-VALUE COMPLYING W/ THE FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION 610.1 ABC.1

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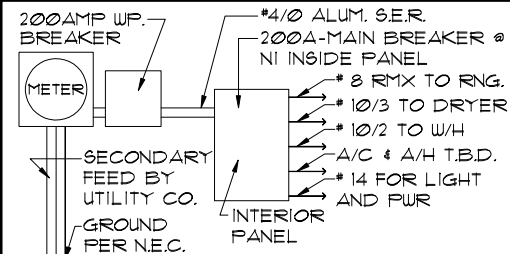
BRK: SMOKE-9120B, C/O- SC9120B

KIDDE: SMOKE-21007581, C/O 21006377-N

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ELECTRICAL RISER DIAGRAM

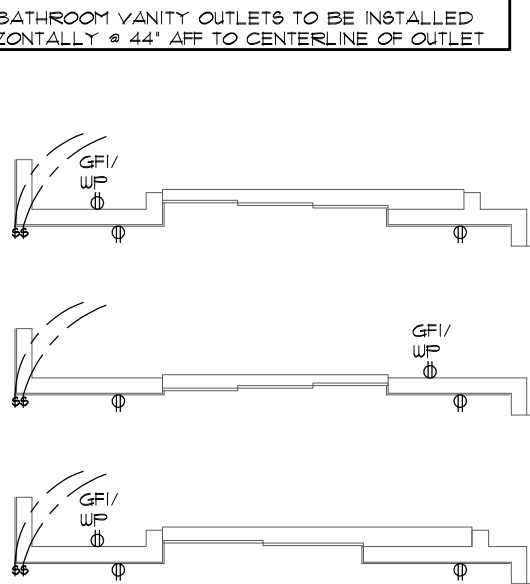
NOTE: NTS. ELECTRICAL MATERIALS AND INSTALLATIONS SHALL COMPLY W/ APPLICABLE PROVISIONS OF THE NATIONAL ELEC. CODE 250.52(A)(1) TO (6), LOCAL CODES & LOCAL POWER COMPANY

ELECTRICAL LEGEND

⚡	SINGLE POLE SWITCH	◀	OUTLET, TV/CABLE
⚡	THREE WAY SWITCH	◀	OUTLET, PHONE
⚡	OUTLET 110-115	◻	INTERCOM
⚡	OUT. 110-115, SPLIT WIRED	◻	CHIMES
⚡	OUT. 110-115, W/ USB	◻	SMOKE DETECTOR
⚡	OUT. 110-115, CLG. MOUNT.	◻	CARBON MONOXIDE
⚡	OUT. 110-115, FLR. MOUNT.	◻	PUSH BUTTON
⚡	SFCL. PURPOSE 220-240	⊙	EXHAUST FAN
⚡	LIGHT FIXT. CLG. MTD.	⊙	EX. FAN/LIGHT COMBO
⚡	LIGHT FIXT. WALL MTD.	⊙	DISPOSAL
⚡	LIGHT FIXT. RECESSED	◻	ELECTRICAL PANEL
⚡	LIGHT FIXT. REC. ADJUST.	◻	CEILING FAN, PREWIRE
⚡	LIGHT FIXT. PULL CHAIN	◻	CEILING FAN, INSTALL
⚡	LIGHT FIXT. FLUORESCENT	◻	ELECT. JUNCTION BOX
⚡	LIGHT FIXT. EXT. FLOODS	◻	THERMOSTAT
⚡	LIGHT FIXT. EMERG. EXIT	◻	DISCONNECT SWITCH
⚡	LIGHT FIXT. EXIT/BACKUP	◻	ELEC. POWER METER

NOTE:

- ALL KITCHEN COUNTER OUTLETS TO BE INSTALLED HORIZONTALLY @ 50" AFF TO CENTERLINE OF OUTLET
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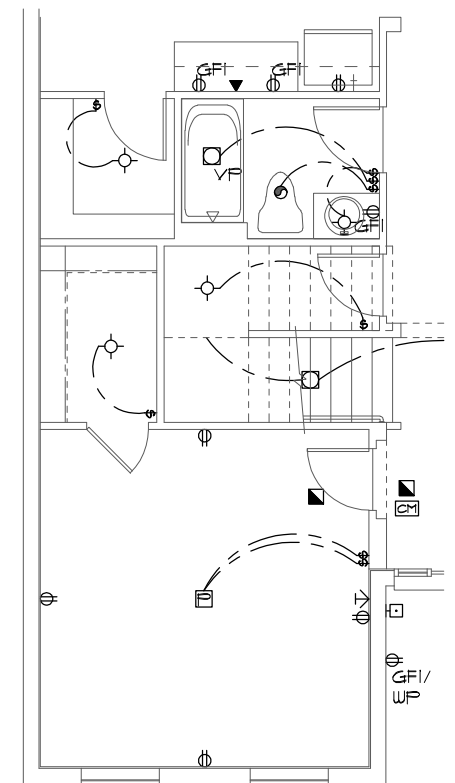


DBL. WDW. OPT.

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

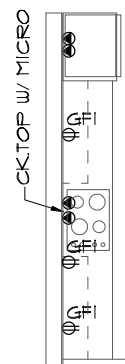
S.G.D. OPTIONS

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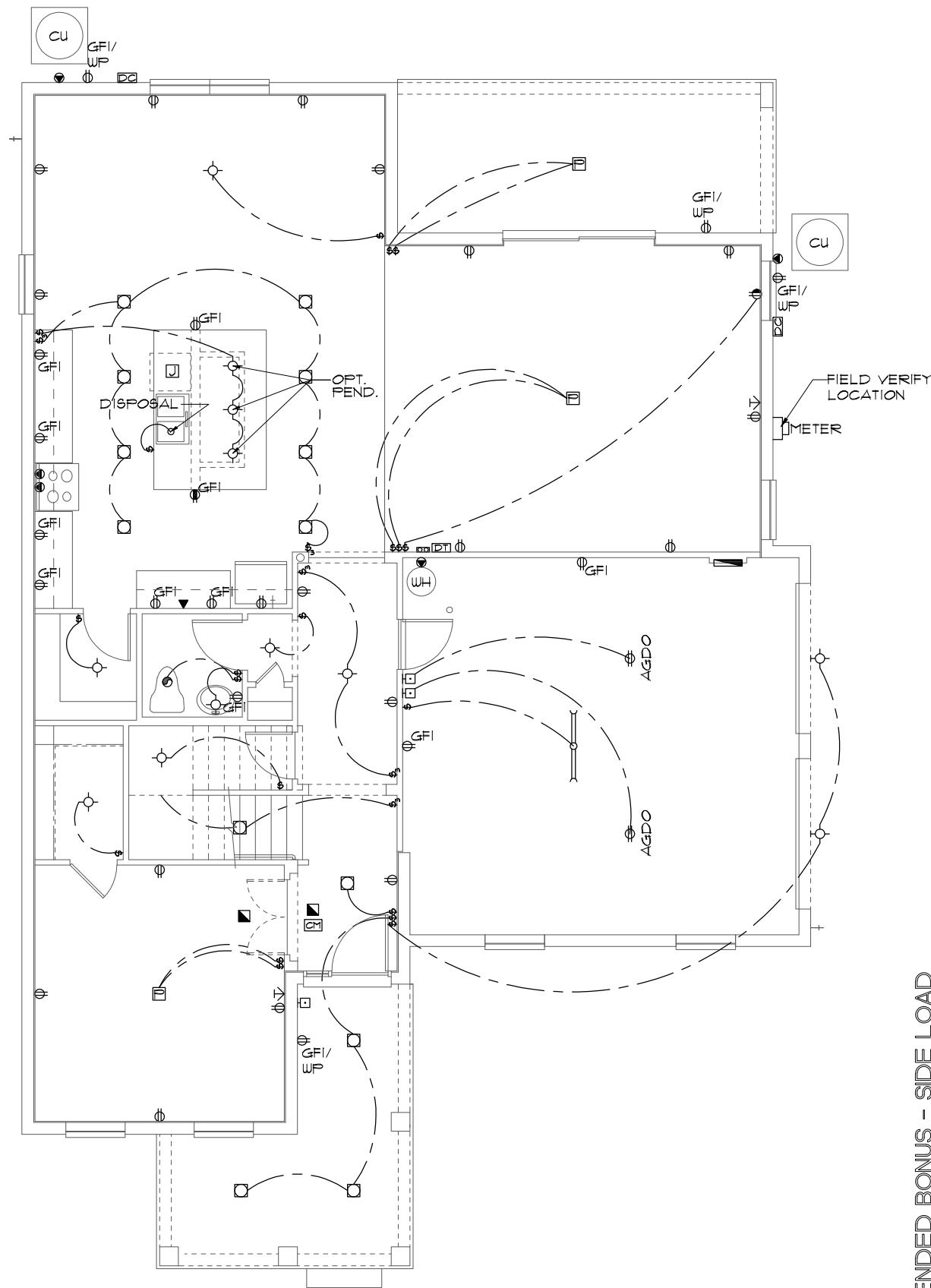
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GMT. KIT. OPT.

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION B - EXTENDED BONUS - SIDE LOAD

LOT SPECIFIC INFORMATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 11TH EDITION

REVISIONS 08-22-21 BY: DH

CODE 2020

LA: 10-19-21 BY: RP

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110 OF 26 SHEETS

JOB 2718

DRAWN RDC

SCALE AS NOTED

DATE 07-31-19

2718 BISCAYNE  
DREAM FINDERS HOMES

ELECTRICAL PLAN



Engineering By:  
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ORLANDO, FL 32811

Item 5.

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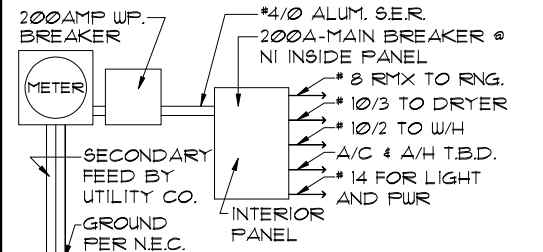
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
























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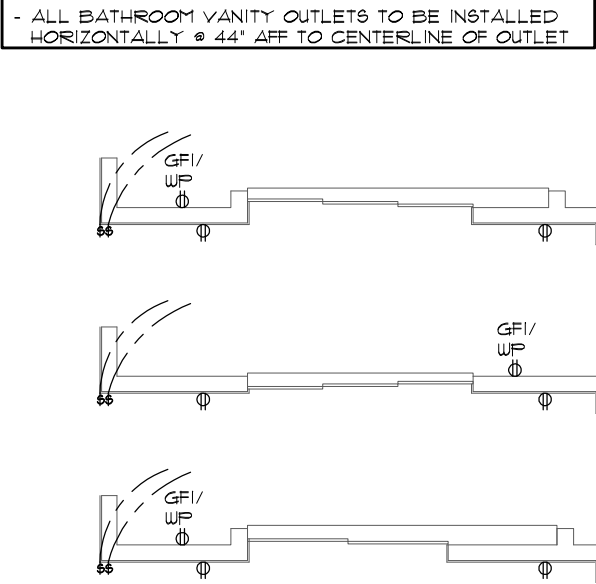


ELECTRICAL RISER DIAGRAM

NOTE: NTS.  
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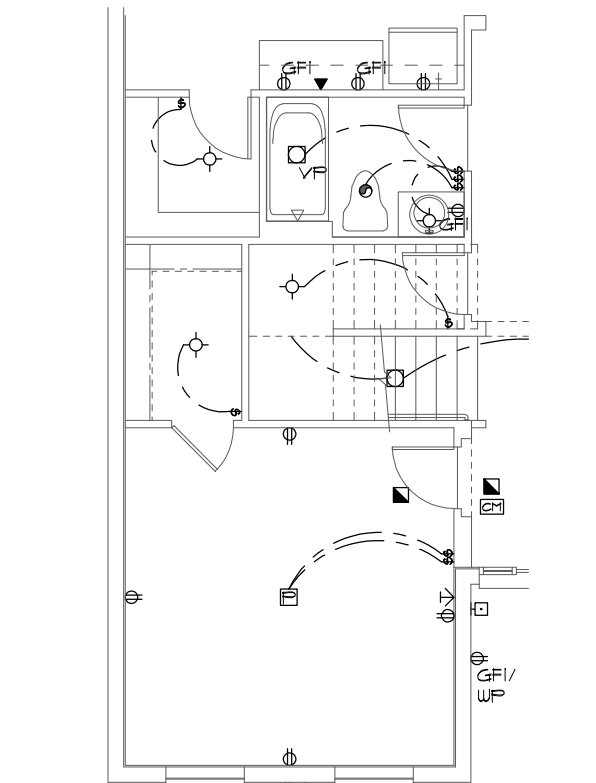
ELECTRICAL LEGEND			
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	OUT. 110-115, 9PLIT WIRED		CHIMES
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	LIGHT FIXT., CLG. MTD.		EX. FAN/LIGHT COMBO
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	LIGHT FIXT., RECESSED		ELECTRICAL PANEL
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	LIGHT FIXT., EXT. FLOODS		THERMOSTAT
	LIGHT FIXT., EMERG. EXIT		DISCONNECT SWITCH
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S.G.D. OPTIONS

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPT. BR. 2 & B. 2

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ELECTRICAL PLAN "C"

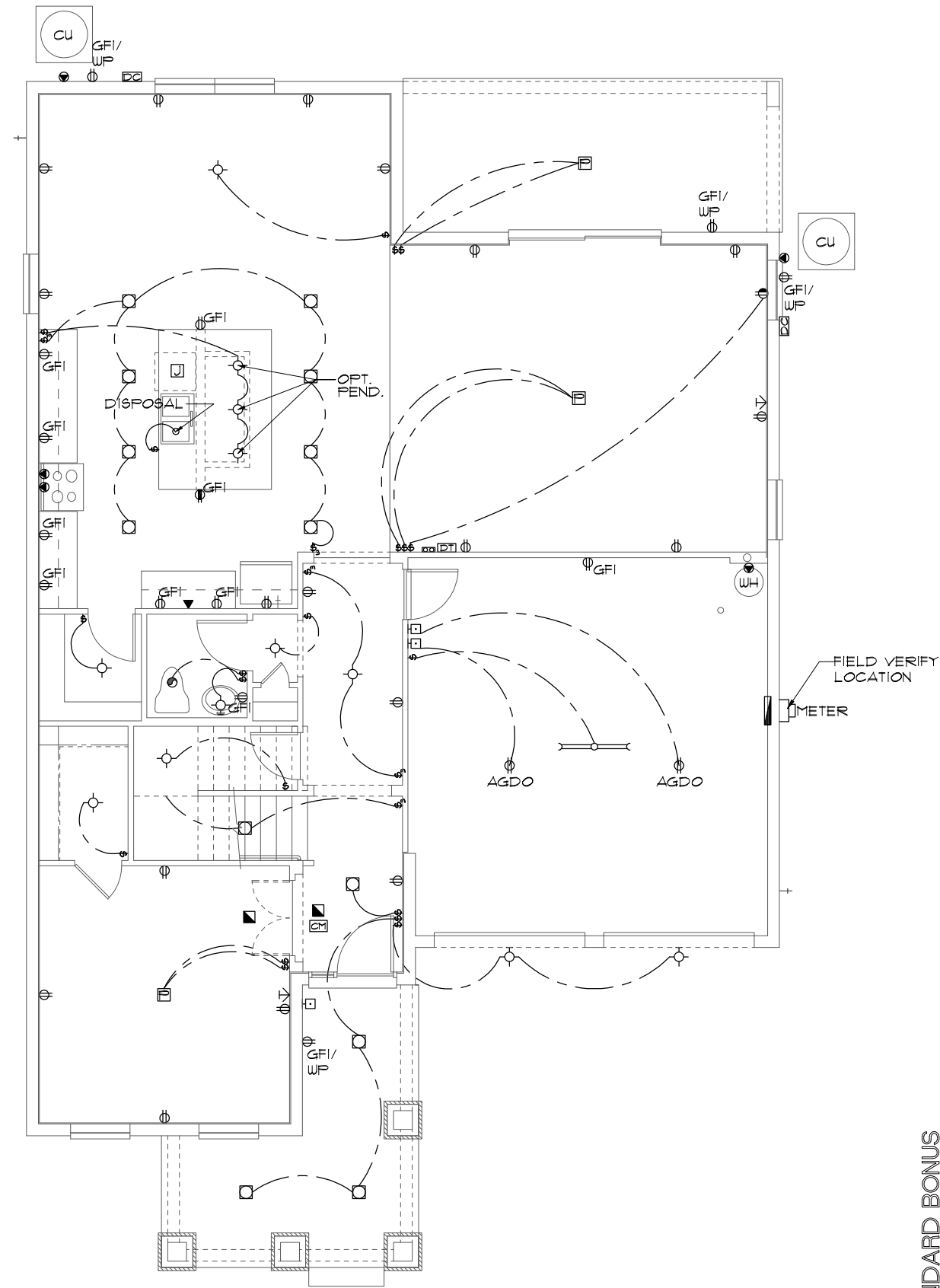
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GMT. KIT. OPT.

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OPTION A - STANDARD BONUS

LOT SPECIFIC INFORMATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 11TH EDITION

REVISIONS 09-22-21 BY: DH

CODE 2020

LA: 10-19-21 BY: RP

Engineering By:  
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5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
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**DREAM FINDERS**  
THE MAKERS OF A QUALITY HOME

2718 BISCAYNE  
DREAM FINDERS HOMES

DATE 07-31-19  
SCALE AS NOTED  
DRAWN RDC  
JOB 2718  
111  
OF 26 SHEETS

Item 5.



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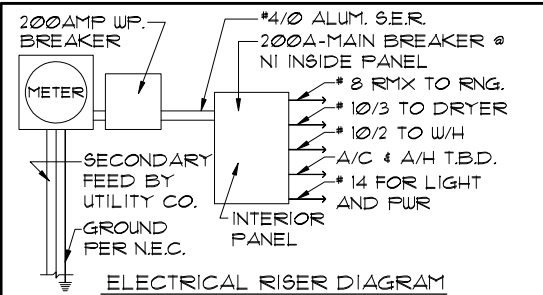
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





























8.) ALL EQUIPMENT & APPLIANCES, INCLUDING WATER HEATERS HAVING AN IGNITION SOURCE TO BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS MINIMUM 18" ABOVE GARAGE FLOOR UNLESS IT IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. IAW FBCR 2020, 11TH ED.

9.) THE TOTAL LENGTH OF VENTING FOR DRYER TO BE: **5'-0" MAXIMUM**-THE EXHAUST DUCT SHALL TERMINATE NOT LESS THAN 3 FEET (914MM) IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS. PER FBCR 2020, 11TH ED. M1502.3

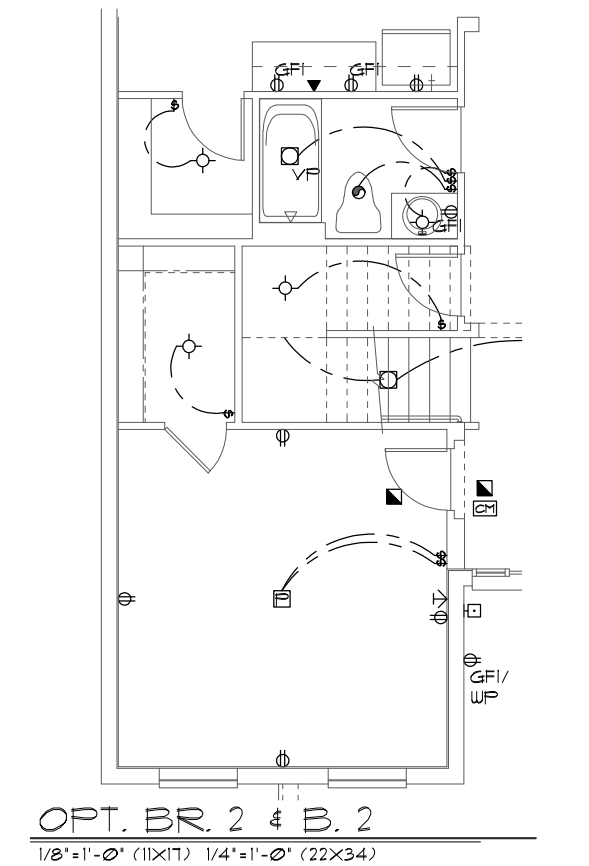
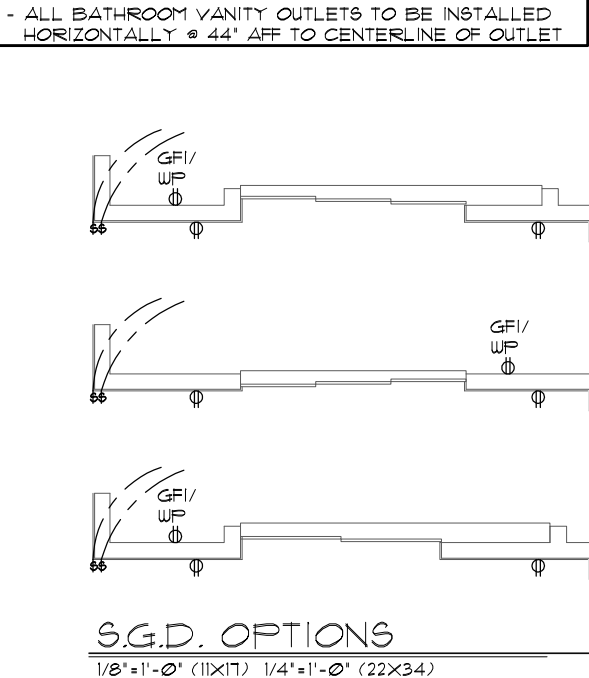


**ELECTRICAL RISER DIAGRAM**

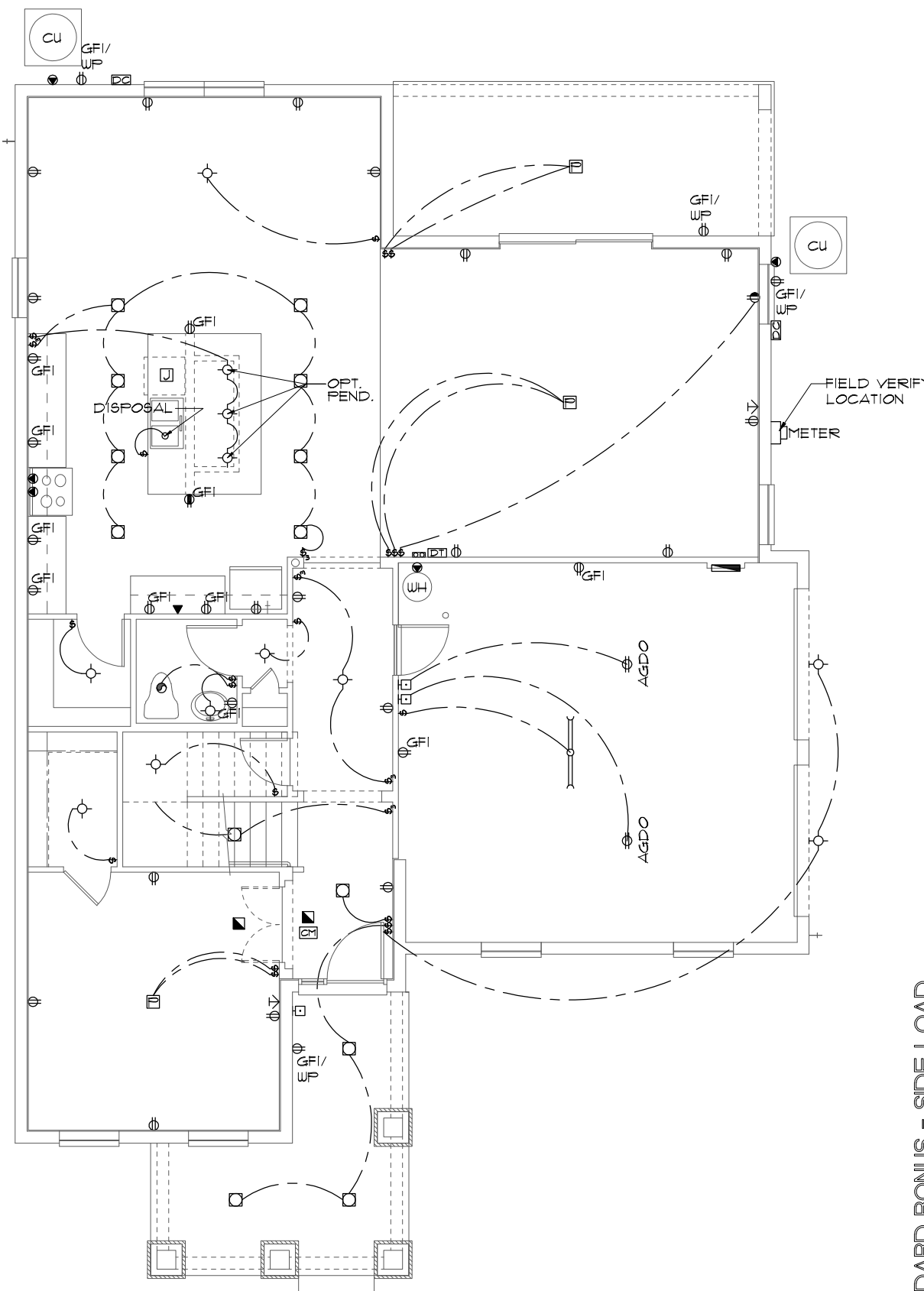
NOTE: NTS.  
ELECTRICAL MATERIALS AND INSTALLATIONS SHALL COMPLY W/ APPLICABLE PROVISIONS OF THE NATIONAL ELEC. CODE 250.52(A)(1) TO (6), LOCAL CODES & LOCAL POWER COMPANY

ELECTRICAL LEGEND			
	SINGLE POLE SWITCH		OUTLET, TV/CABLE
	THREE WAY SWITCH		OUTLET, PHONE
	OUTLET 110-115		INTERCOM
	OUT. 110-115, 5PLIT WIRED		CHIMES
	OUT. 110-115, w/ USB		SMOKE DETECTOR
	OUT. 110-115, CLG. MOUNT.		CARBON MONOXIDE
	OUT. 110-115, FLR. MOUNT.		PUSH BUTTON
	SPCL. PURPOSE 220-240		EXHAUST FAN
	LIGHT FIXT. CLG. MTD.		EX. FAN/LIGHT COMBO
	LIGHT FIXT. WALL MTD.		DISPOSAL
	LIGHT FIXT. RECESSED		ELECTRICAL PANEL
	LIGHT FIXT. REC. ADJUST.		CEILING FAN, PREWIRE
	LIGHT FIXT. FULL CHAIN		CEILING FAN, INSTALL
	LIGHT FIXT. FLUORESCENT		ELECT. JUNCTION BOX
	LIGHT FIXT. EXT. FLOODS		THERMOSTAT
	LIGHT FIXT. EMERG. EXIT		DISCONNECT SWITCH
	LIGHT FIXT. EXIT/BACKUP		ELEC. POWER METER

**NOTE:**  
- ALL KITCHEN COUNTER OUTLETS TO BE INSTALLED HORIZONTALLY @ 50" AFF TO CENTERLINE OF OUTLET  
- ALL BATHROOM VANITY OUTLETS TO BE INSTALLED HORIZONTALLY @ 44" AFF TO CENTERLINE OF OUTLET



**ELECTRICAL PLAN "C"**  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION A - STANDARD BONUS - SIDE LOAD

LOT SPECIFIC INFORMATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 11TH EDITION

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

112

OF 26 SHEETS

Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
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J.JAGTAP@RDCFLA.COM

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DREAM FINDERS  
THE MAKERS OF A QUALITY HOME

2718 BISCAYNE  
DREAM FINDERS HOMES

REVISIONS 08-22-21

BY: DH

CODE 2020

LA: 10-19-21

BY: RP

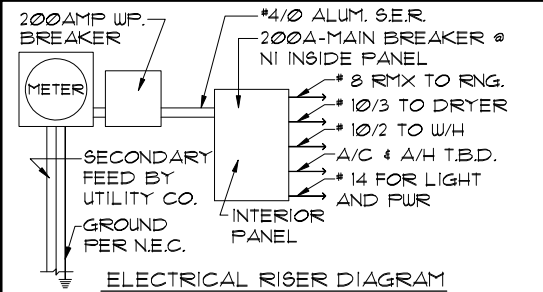
Item 5.

Item 5.



MECHANICAL/GENERAL NOTES  
PER 11TH ED. 2020 FLA BLD. CODE-RESIDENTIAL

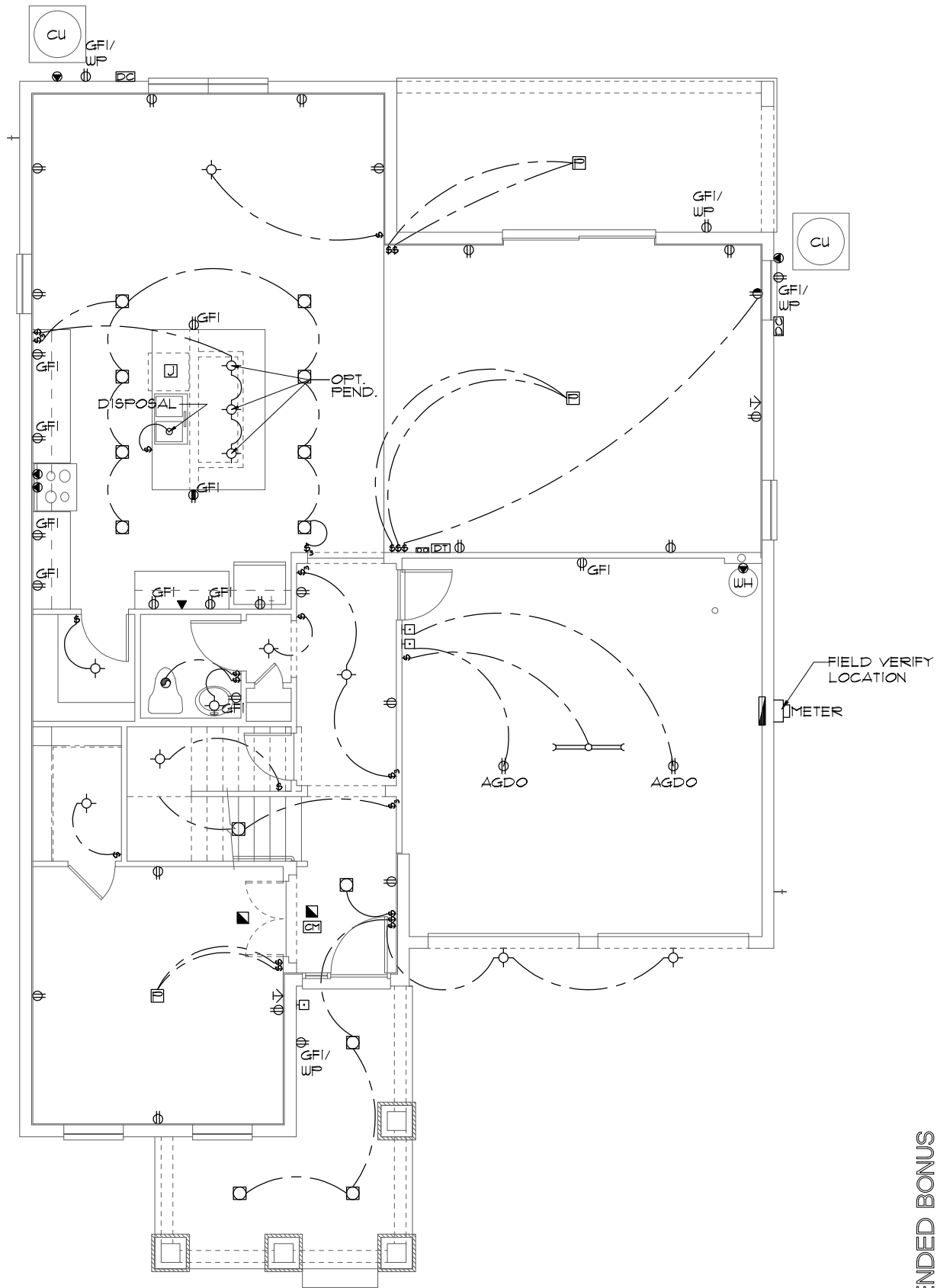
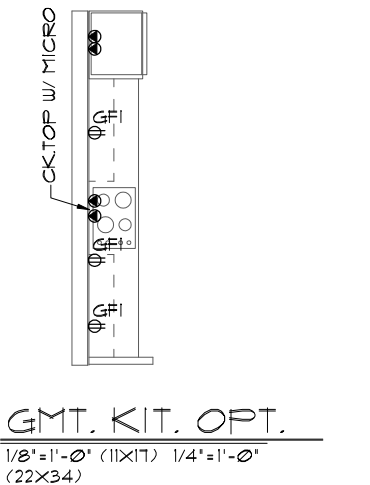
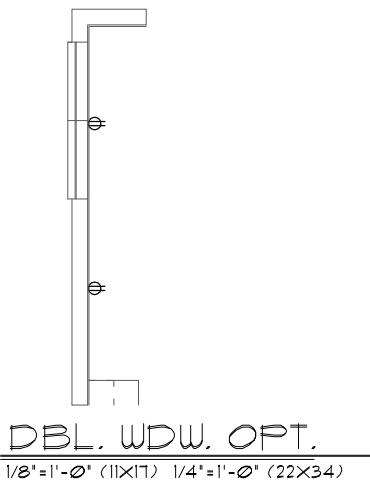
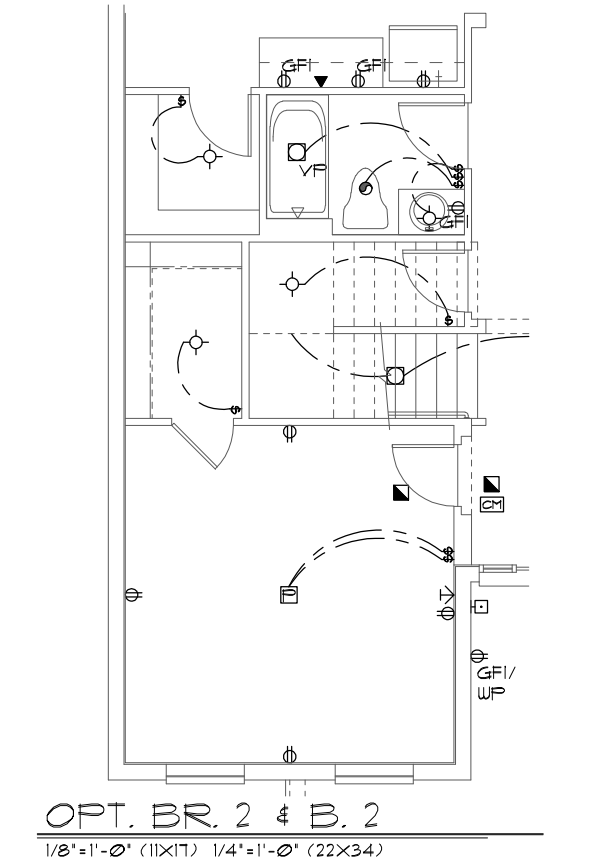
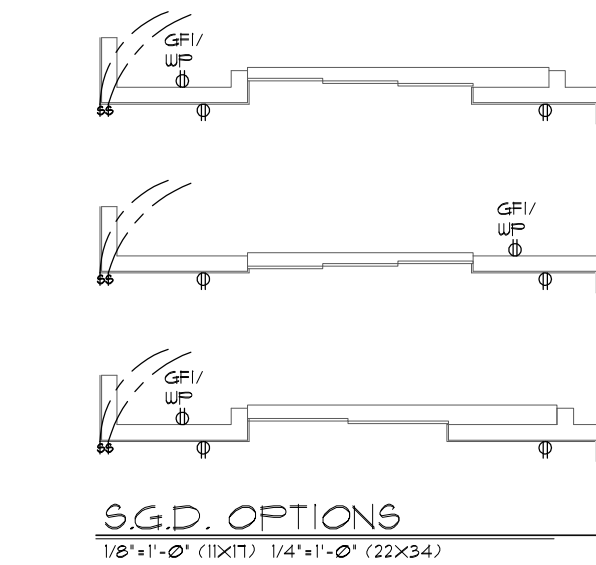
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- 3.) AIR CONDITIONING SYSTEM SHALL BE COMPLETELY BALANCED. ALL ROOMS ISOLATED FROM THE RETURN AIR SHALL BE PROVIDED WITH MEANS TO COMPLY WITH SECTION M1602 OF THE FBCR CODE 2020 11TH EDITION.
- 4.) IAW NEC 2017- 210.12-ALL 15A OR 20A, 120V BRANCH CIRCUITS THAT SUPPLY OUTLETS IN DWELLING UNITS- FAMILY RMS, DINING RMS, LIVING RMS, PARLORS, LIBRARIES, BEDROOMS, DENS, CLOSETS, SUNROOMS, RECREATION RMS, HALLWAYS OR SIMILAR AREAS SHALL BE PROTECTED BY A LISTED AFCI DEVICE OF THE COMBINATION TYPE.
- 5.) IAW NEC 2017- 406.11, ALL 15A AND 20A, 125V RECEPTACLES SHALL BE LISTED AS TAMPER RESISTANT.
- 6.) SMOKE ALARMS SHALL BE IN ALL SLEEPING AREAS, SHALL BE INTERCONNECTED, SHALL BE WITHIN 1' TO 3' OF PEAK & SHALL BE 3' FROM THE SUPPLY OR RETURN AIR- STREAM & EQUIPPED W/ A BATTERY BACKUP. ALARMS MAY NOT BE CONNECTED WHERE ALARMS ARE WIRELESS & ALL ALARMS SOUND UPON ACTIVATION IAW FBCR R314.3 & R314.4. MODEL\* TO BE USED ON THIS JOB TO BE:  
BRK: SMOKE-9120B, C/O- SC9120B  
KIDDE: SMOKE-21007581, C/O 21006377-N
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ELECTRICAL LEGEND			
ⓘ	SINGLE POLE SWITCH	⚡	OUTLET, TV/CABLE
ⓘ	THREE WAY SWITCH	⚡	OUTLET, PHONE
ⓘ	OUTLET 110-115	ⓘ	INTERCOM
ⓘ	OUT. 110-115, 5PLIT WIRED	ⓘ	CHIMES
ⓘ	OUT. 110-115, W/ USB	ⓘ	SMOKE DETECTOR
ⓘ	OUT. 110-115, CLG. MOUNT.	ⓘ	CARBON MONOXIDE
ⓘ	OUT. 110-115, FLR. MOUNT.	ⓘ	PUSH BUTTON
ⓘ	SPCL. PURPOSE 220-240	ⓘ	EXHAUST FAN
ⓘ	LIGHT FIXT., CLG. MTD.	ⓘ	EX. FAN/LIGHT COMBO
ⓘ	LIGHT FIXT., WALL MTD.	ⓘ	DISPOSAL
ⓘ	LIGHT FIXT., RECESSED	ⓘ	ELECTRICAL PANEL
ⓘ	LIGHT FIXT., REC. ADJUST.	ⓘ	CEILING FAN, PREWIRE
ⓘ	LIGHT FIXT., FULL CHAIN	ⓘ	CEILING FAN, INSTALL
ⓘ	LIGHT FIXT.,FLUORESCENT	ⓘ	ELECT. JUNCTION BOX
ⓘ	LIGHT FIXT., EXT. FLOODS	ⓘ	THERMOSTAT
ⓘ	LIGHT FIXT., EMERG. EXIT	ⓘ	DISCONNECT SWITCH
ⓘ	LIGHT FIXT., EXIT/BACKUP	ⓘ	ELEC. POWER METER

- NOTE:
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OPTION B - EXTENDED BONUS

LOT SPECIFIC INFORMATION

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DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

113

OF 26 SHEETS

Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
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DREAM FINDERS  
THE MAKERS OF A QUALITY HOME

2718 BISCAYNE  
DREAM FINDERS HOMES

Item 5.

1A: 10-19-21 BY: RP

REVISIONS 08-22-21 BY: DH

CODE 2020

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PER 11TH ED. 2020 FLA BLD. CODE-RESIDENTIAL

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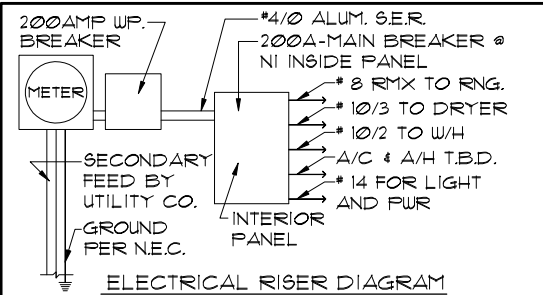
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
























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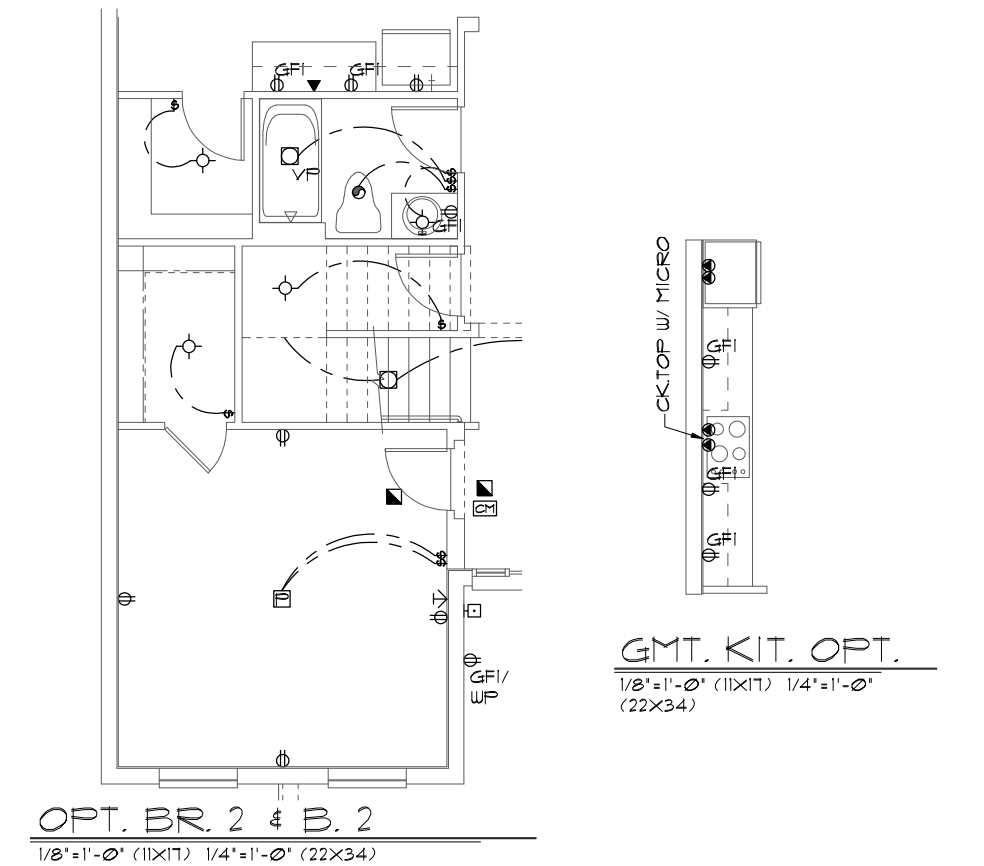
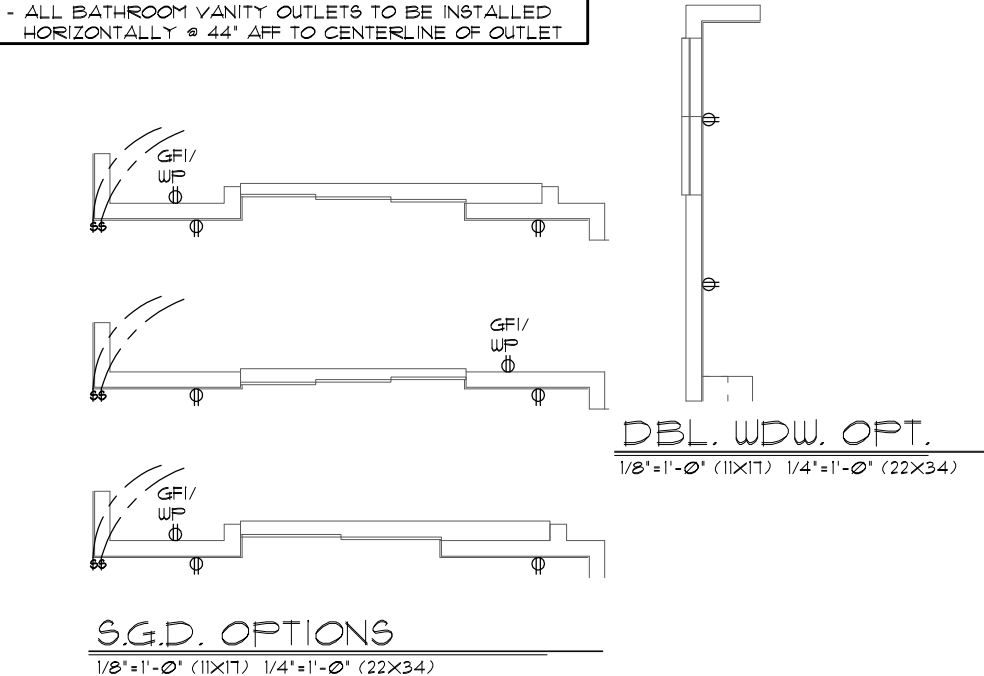
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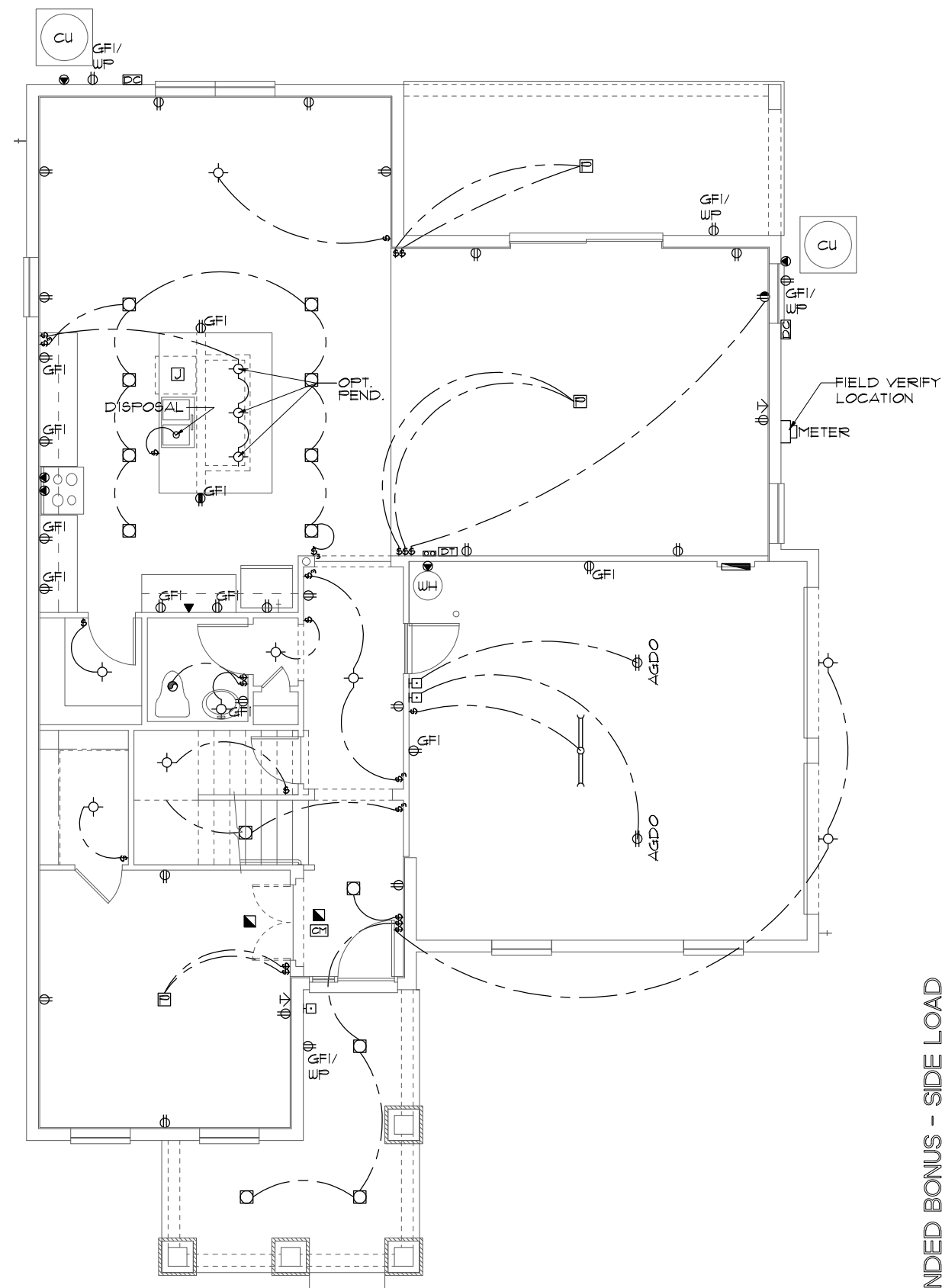
**ELECTRICAL RISER DIAGRAM**  
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	THREE WAY SWITCH		OUTLET, PHONE
	OUTLET 110-115		INTERCOM
	OUT. 110-115, SPLIT WIRED		CHIMES
	OUT. 110-115, W/ USB		SMOKE DETECTOR
	OUT. 110-115, CLG. MOUNT.		CARBON MONOXIDE
	OUT. 110-115, FLR. MOUNT.		PUSH BUTTON
	SPCL. PURPOSE 220-240		EXHAUST FAN
	LIGHT FIXT., CLG. MTD.		EX. FAN/LIGHT COMBO
	LIGHT FIXT., WALL MTD.		DISPOSAL
	LIGHT FIXT., RECESSED		ELECTRICAL PANEL
	LIGHT FIXT., REC. ADJUST.		CEILING FAN, PREWIRE
	LIGHT FIXT., PULL CHAIN		CEILING FAN, INSTALL
	LIGHT FIXT.FLUORESCENT		ELECT. JUNCTION BOX
	LIGHT FIXT., EXT. FLOODS		THERMOSTAT
	LIGHT FIXT, EMERG. EXIT		DISCONNECT SWITCH
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**ELECTRICAL PLAN "C"**  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



**OPTION B - EXTENDED BONUS - SIDE LOAD**

LOT SPECIFIC INFORMATION

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DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

114

OF 26 SHEETS

2718 BISCAYNE

DREAM FINDERS HOMES

Engineering By:  
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5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
INFO@RDCFLA.COM  
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4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811  
INFO@RDCFLA.COM

DREAM FINDERS  
THE MAKERS OF A SMARTER HOME

ELECTRICAL PLAN

Item 5.

REVISIONS 08-22-21

BY: DH

CODE 2020

LA: 10-19-21

BY: RP

**MECHANICAL/GENERAL NOTES**  
PER 11TH ED. 2020 FLA BLD. CODE-RESIDENTIAL

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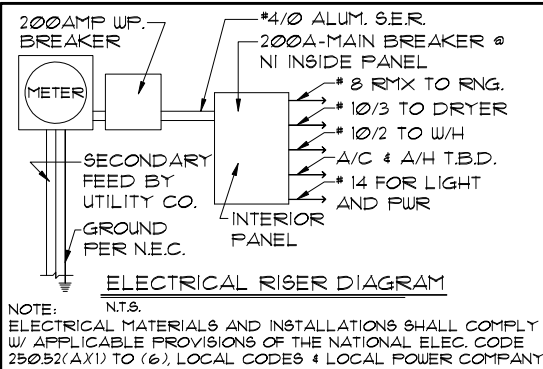
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


























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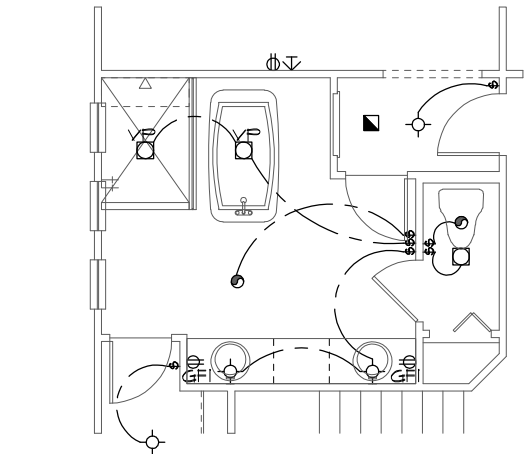
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ELECTRICAL LEGEND			
	SINGLE POLE SWITCH		OUTLET, TV/CABLE
	THREE WAY SWITCH		OUTLET, PHONE
	OUTLET 110-115		INTERCOM
	OUT. 110-115, SPLIT WIRED		CHIMES
	OUT. 110-115, W/ USB		SMOKE DETECTOR
	OUT. 110-115, CLG. MOUNT.		CARBON MONOXIDE
	OUT. 110-115, FLR. MOUNT.		PUSH BUTTON
	SPLCL. PURPOSE 220-240		EXHAUST FAN
	LIGHT FIXT., CLG. MTD.		EX. FAN/LIGHT COMBO
	LIGHT FIXT., WALL MTD.		DISPOSAL
	LIGHT FIXT., RECESSED		ELECTRICAL PANEL
	LIGHT FIXT., REC. ADJUST.		CEILING FAN, PREWIRE
	LIGHT FIXT., PULL CHAIN		CEILING FAN, INSTALL
	LIGHT FIXT.FLUORESCENT		ELECT. JUNCTION BOX
	LIGHT FIXT., EXT. FLOODS		THERMOSTAT
	LIGHT FIXT., EMERG. EXIT		DISCONNECT SWITCH
	LIGHT FIXT., EXIT/BACKUP		ELEC. POWER METER

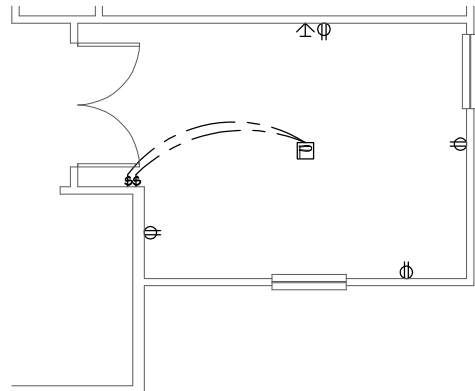
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**F.S. TUB OPT.**

1/8"=1'-0" (11x17) 1/4"=1'-0" (22x34)

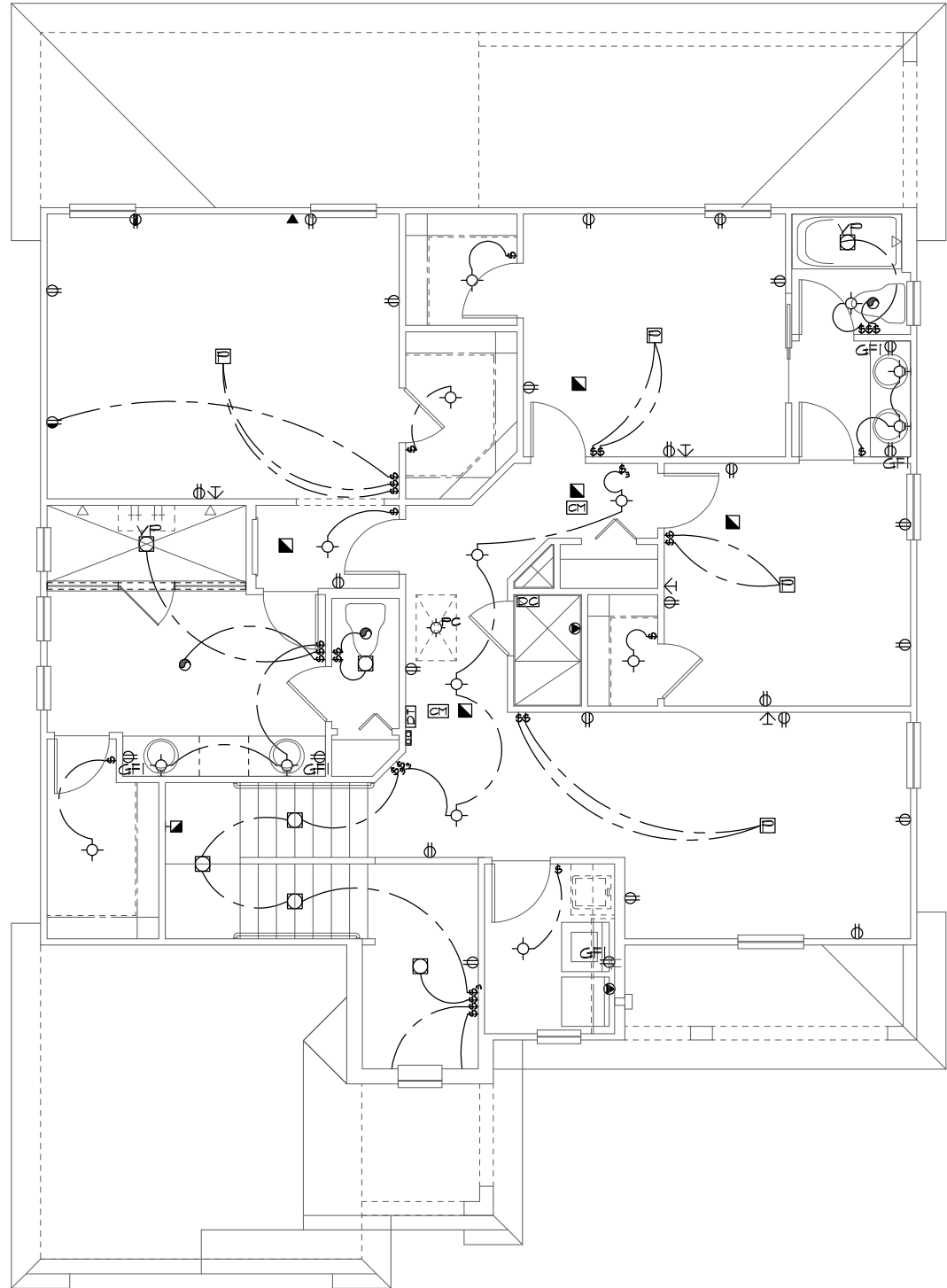


**OPT. MEDIA ROOM**

1/8"=1'-0" (11x17) 1/4"=1'-0" (22x34)

**UPPER ELECTRICAL PLAN "A"**

1/8"=1'-0" (11x17) 1/4"=1'-0" (22x34)



OPTION A - STANDARD BONUS

LOT SPECIFIC INFORMATION

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DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

115

OF 26 SHEETS

REVISIONS 09-22-21

BY: DH

CODE 2020

LA: 10-19-21

BY: RP

Engineering By:  
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DREAM FINDERS  
THE MAKERS OF A QUALITY HOME

ELECTRICAL PLAN

2718 BISCAYNE  
DREAM FINDERS HOMES

Item 5.



**MECHANICAL/GENERAL NOTES**  
PER 11TH ED. 2020 FLA BLD. CODE-RESIDENTIAL

1.) COMPLETE DUCT DESIGN W/ SIZES & R-VALUE COMPLYING W/ THE FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION 610.1 ABC.1

2.) SUFFICIENT SPACE SHALL BE PROVIDED ADJACENT TO THE MECHANICAL COMPONENTS TO ASSURE ADEQUATE ACCESS FOR:  
A) CONSTRUCTION AND SEALING, AND  
B) SECTION M1601 PER THE FBCR 2020 11TH ED.

3.) AIR CONDITIONING SYSTEM SHALL BE COMPLETELY BALANCED. ALL ROOMS ISOLATED FROM THE RETURN AIR SHALL BE PROVIDED WITH MEANS TO COMPLY WITH SECTION M1602 OF THE FBCR CODE 2020 11TH EDITION.

4.) IAW NEC 2017- 210.12-ALL 15A OR 20A, 120V BRANCH CIRCUITS THAT SUPPLY OUTLETS IN DWELLING UNITS- FAMILY RMS, DINING RMS, LIVING RMS, PARLORS, LIBRARIES, BEDROOMS DENS, CLOSETS, SUNROOMS, RECREATION RMS, HALLWAYS OR SIMILAR AREAS SHALL BE PROTECTED BY A LISTED AFCI DEVICE OF THE COMBINATION TYPE.

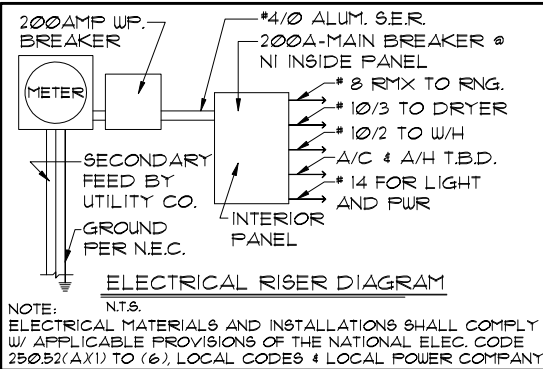
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**BRK: SMOKE-9120B, C/O- SC9120B**  
**KIDDE: SMOKE-21007581, C/O 21006377-N**

7.) ALL WATER HEATERS HAVING AN IGNITION SOURCE TO BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS MINIMUM 18" ABOVE GARAGE FLOOR UNLESS WATER HEATER IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. IAW FBCR 2020, 11TH ED. P280.17

8.) ALL EQUIPMENT & APPLIANCES, INCLUDING WATER HEATERS HAVING AN IGNITION SOURCE TO BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS MINIMUM 18" ABOVE GARAGE FLOOR UNLESS IT IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. IAW FBCR 2020, 11TH ED.

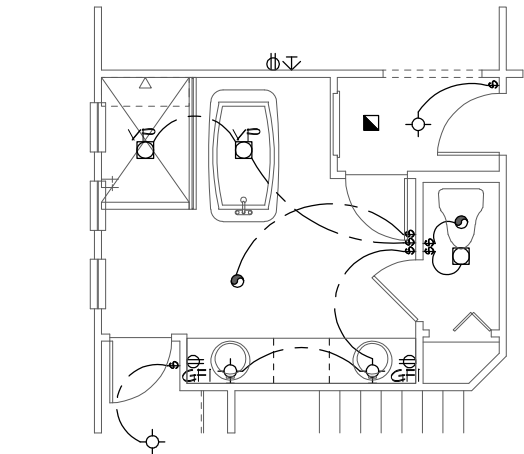
9.) THE TOTAL LENGTH OF VENTING FOR DRYER TO BE: **5'-0" MAXIMUM**-THE EXHAUST DUCT SHALL TERMINATE NOT LESS THAN 3 FEET (914MM) IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS. PER FBCR 2020, 11TH ED. M1502.3



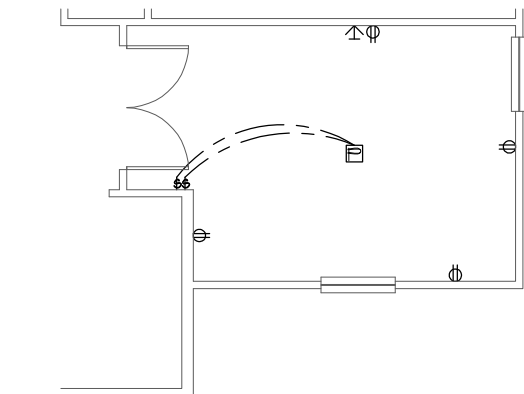
ELECTRICAL LEGEND			
⌚	SINGLE POLE SWITCH	◀	OUTLET, TV/CABLE
⌚	THREE WAY SWITCH	◀	OUTLET, PHONE
⊖	OUTLET 110-115	◻	INTERCOM
⊖	OUT. 110-115, SPLIT WIRED	⊞	CHIMES
⊖	OUT. 110-115, W/ USB	■	SMOKE DETECTOR
⊖	OUT. 110-115, CLG. MOUNT.	☐	CARBON MONOXIDE
⊖	OUT. 110-115, FLR. MOUNT.	⊞	PUSH BUTTON
⊖	SFCL. PURPOSE 220-240	⊖	EXHAUST FAN
⊖	LIGHT FIXT., CLG. MTD.	⊖	EX. FAN/LIGHT COMBO
⊖	LIGHT FIXT., WALL MTD.	⊖	DISPOSAL
⊖	LIGHT FIXT., RECESSED	⊞	ELECTRICAL PANEL
⊖	LIGHT FIXT., REC. ADJUST.	⊞	CEILING FAN, PREWIRE
⊖	LIGHT FIXT., FULL CHAIN	⊞	CEILING FAN, INSTALL
⊖	LIGHT FIXT.FLUORESCENT	⊞	ELECT. JUNCTION BOX
⊖	LIGHT FIXT., EXT. FLOODS	⊞	THERMOSTAT
⊖	LIGHT FIXT., EMERG. EXIT	⊞	DISCONNECT SWITCH
⊖	LIGHT FIXT., EXIT/BACKUP	⊞	ELEC. POWER METER

**NOTE:**

- ALL KITCHEN COUNTER OUTLETS TO BE INSTALLED HORIZONTALLY @ 50" AFF TO CENTERLINE OF OUTLET
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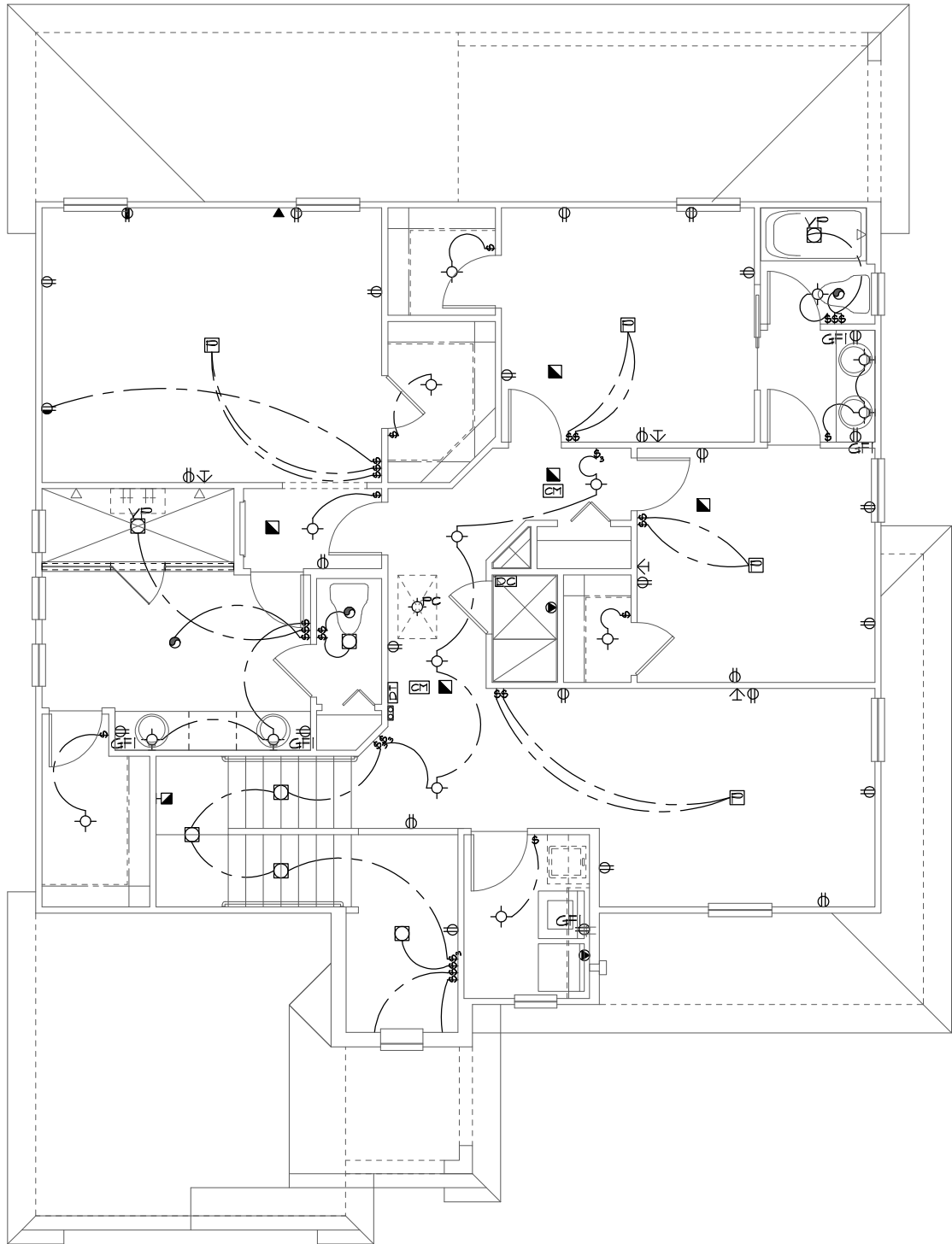


**F.S. TUB OPT.**  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



**OPT. MEDIA ROOM**  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

**UPPER ELECTRICAL PLAN "A"**  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION A - STANDARD BONUS - SIDE LOAD

1A: 10-9-21

BY: RP

1A: 10-9-21

BY: DH

REVISIONS: 09-22-21

CODE 2020

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 11TH EDITION

LOT SPECIFIC INFORMATION

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

116

26 SHEETS

Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811  
INFO@RDCFLA.COM

RDC  
THE MAKERS OF A QUALITY HOME

DREAM FINDERS HOMES  
2718 BISCAYNE  
DREAM FINDERS HOMES

Item 5.

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PER 11TH ED. 2020 FLA BLD. CODE-RESIDENTIAL

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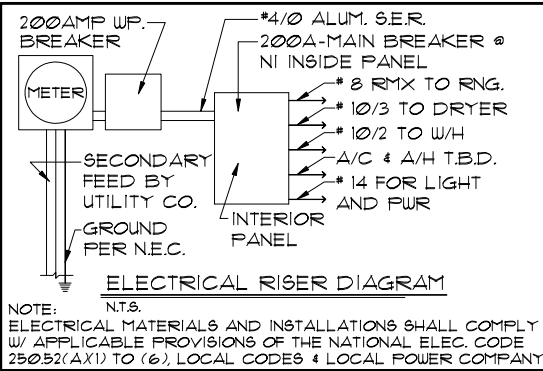
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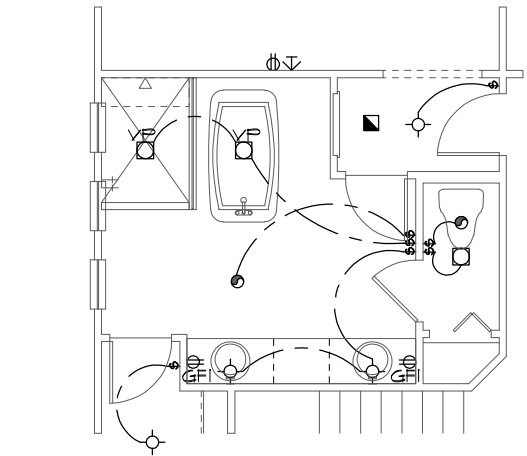
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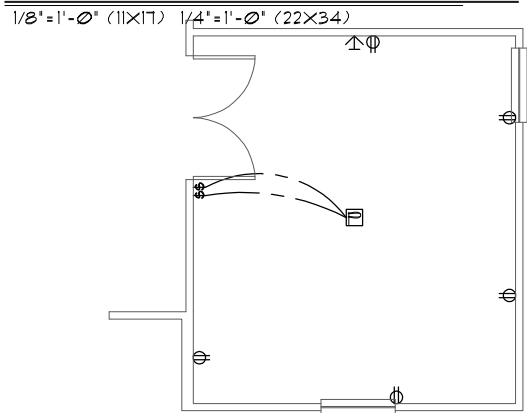
ELECTRICAL LEGEND			
ⓘ	SINGLE POLE SWITCH	◀	OUTLET, TV/CABLE
Ⓢ	THREE WAY SWITCH	◀	OUTLET, PHONE
Ⓢ	OUTLET 110-115	◻	INTERCOM
Ⓢ	OUT. 110-115, SPLIT WIRED	Ⓢ	CHIMES
Ⓢ	OUT. 110-115, W/ USB	☐	SMOKE DETECTOR
Ⓢ	OUT. 110-115, CLG. MOUNT.	☐	CARBON MONOXIDE
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☐	LIGHT FIXT., RECESSED	☐	ELECTRICAL PANEL
☐	LIGHT FIXT., REC. ADJUST.	☐	CEILING FAN, PREWIRE
☐	LIGHT FIXT., PULL CHAIN	☐	CEILING FAN, INSTALL
☐	LIGHT FIXT.FLUORESCENT	☐	ELECT. JUNCTION BOX
☐	LIGHT FIXT., EXT. FLOODS	☐	THERMOSTAT
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☐	LIGHT FIXT., EXIT/BACKUP	☐	ELEC. POWER METER

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**F.S. TUB OPT.**

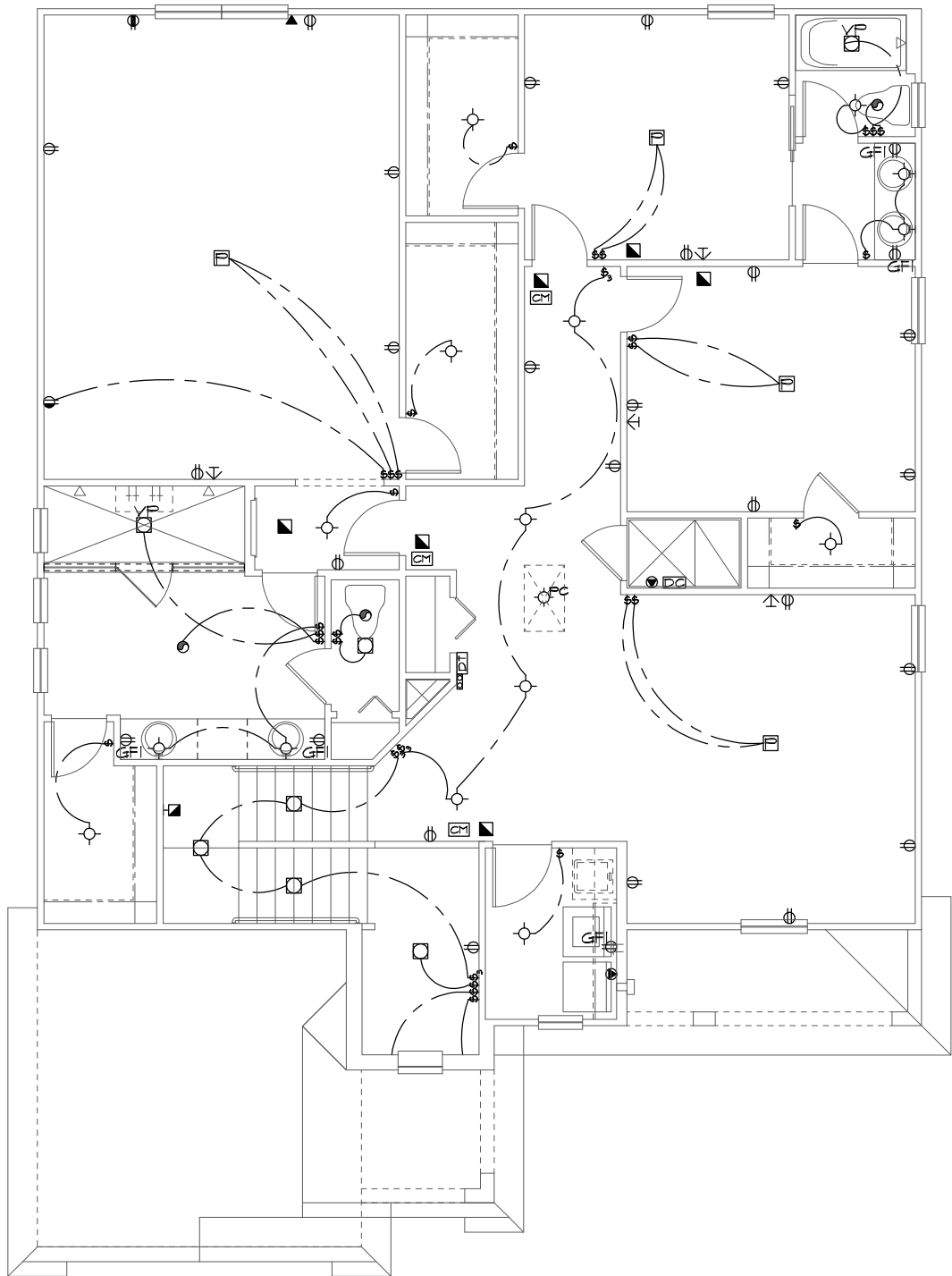


**OPT. MEDIA ROOM**

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

**UPPER ELECTRICAL PLAN "A"**

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION B - EXTENDED BONUS

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**LOT SPECIFIC INFORMATION**

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Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
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DREAM FINDERS  
THE MAKERS OF A QUALITY HOME

2718 BISCAYNE  
DREAM FINDERS HOMES

DATE 07-31-19  
SCALE AS NOTED  
DRAWN RDC  
JOB 2718  
117  
10A.1  
OF 26 SHEETS

LA: 10-10-21 BY: RP

REVISIONS 09-22-21 BY: DH

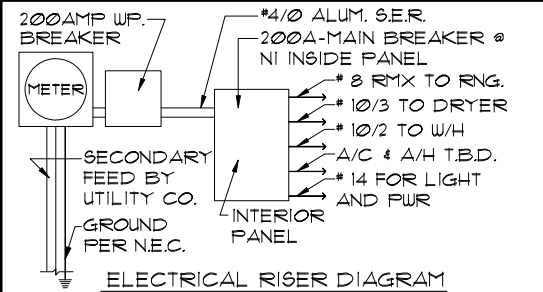
CODE 2020

Item 5.

MECHANICAL/GENERAL NOTES








PER 11TH ED. 2020 FLA BLD. CODE-RESIDENTIAL

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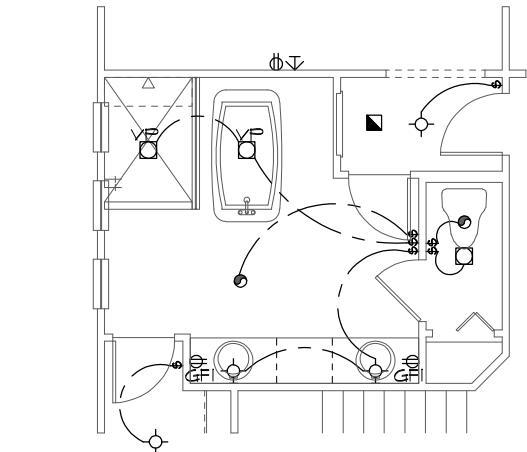


NOTE: NTS.

ELECTRICAL MATERIALS AND INSTALLATIONS SHALL COMPLY W/ APPLICABLE PROVISIONS OF THE NATIONAL ELEC. CODE 250.52(A)(1) TO (6), LOCAL CODES & LOCAL POWER COMPANY

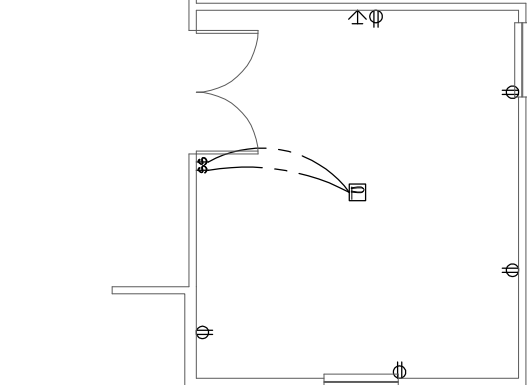
ELECTRICAL LEGEND			
	SINGLE POLE SWITCH		OUTLET, TV/CABLE
	THREE WAY SWITCH		OUTLET, PHONE
	OUTLET 110-115		INTERCOM
	OUT. 110-115, 9PLIT WIRED		CHIMES
	OUT. 110-115, W/ USB		SMOKE DETECTOR
	OUT. 110-115, CLG. MOUNT.		CARBON MONOXIDE
	OUT. 110-115, FLR. MOUNT.		PUSH BUTTON
	SPCL. PURPOSE 220-240		EXHAUST FAN
	LIGHT FIXT. CLG. MTD.		EX. FAN/LIGHT COMBO
	LIGHT FIXT. WALL MTD.		DISPOSAL
	LIGHT FIXT. RECESSED		ELECTRICAL PANEL
	LIGHT FIXT. REC. ADJUST.		CEILING FAN, PREWIRE
	LIGHT FIXT. FULL CHAIN		CEILING FAN, INSTALL
	LIGHT FIXT. FLUORESCENT		ELECT. JUNCTION BOX
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	LIGHT FIXT. EMERG. EXIT		DISCONNECT SWITCH
	LIGHT FIXT. EXIT/BACKUP		ELEC. POWER METER

- NOTE:
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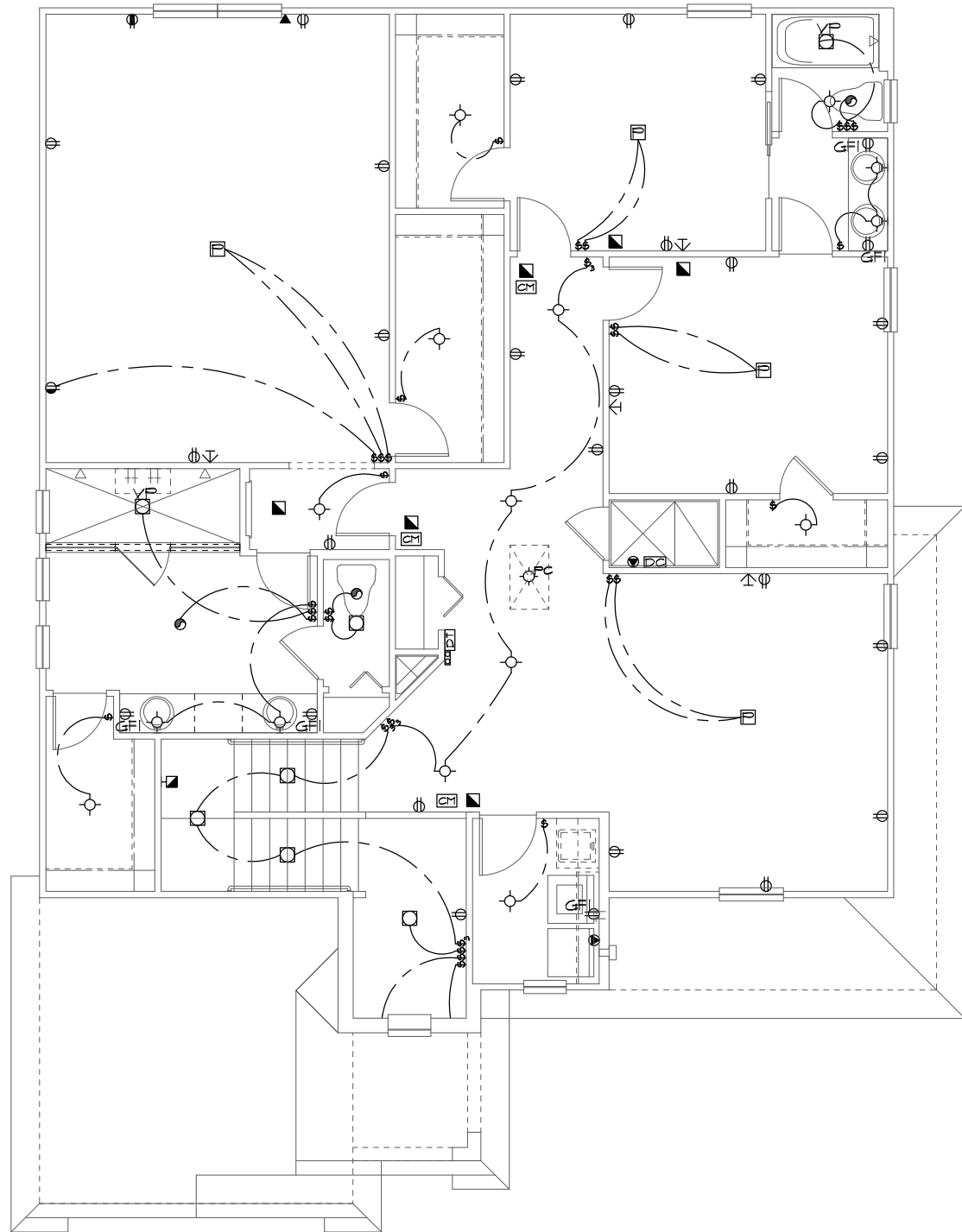


OPT. MEDIA ROOM

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UPPER ELECTRICAL PLAN "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION B - EXTENDED BONUS - SIDE LOAD

LOT SPECIFIC INFORMATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 11TH EDITION

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

118

OF 26 SHEETS

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RDC

DREAM FINDERS  
THE MAKERS OF A QUALITY HOME

ELECTRICAL PLAN

2718 BISCAYNE

DREAM FINDERS HOMES

Item 5.

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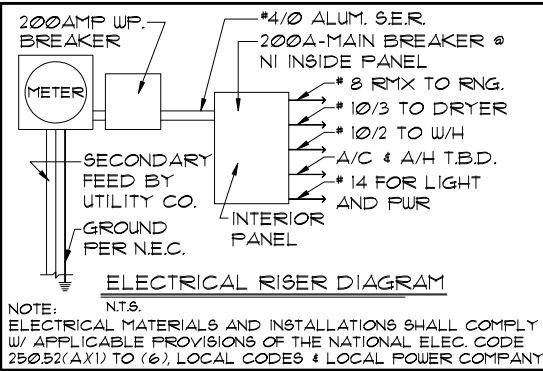
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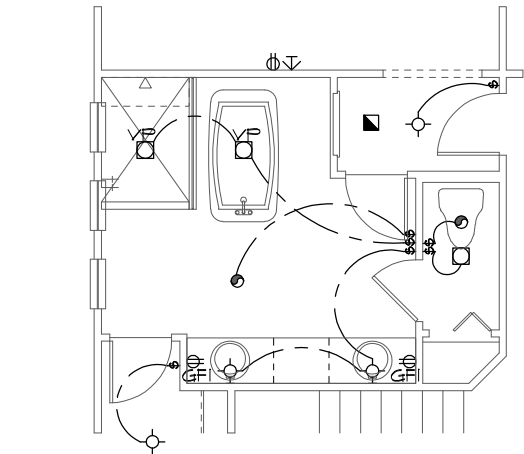
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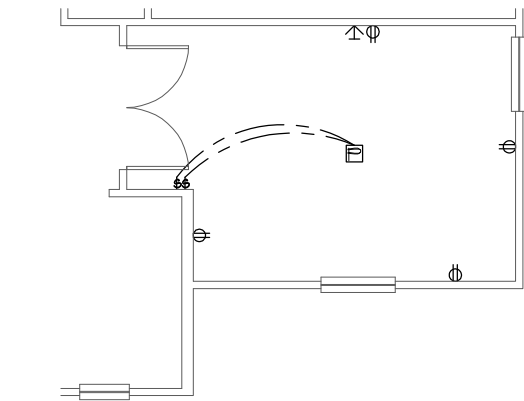
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Ⓢ	OUT. 110-115, CLG. MOUNT.	☐	CARBON MONOXIDE
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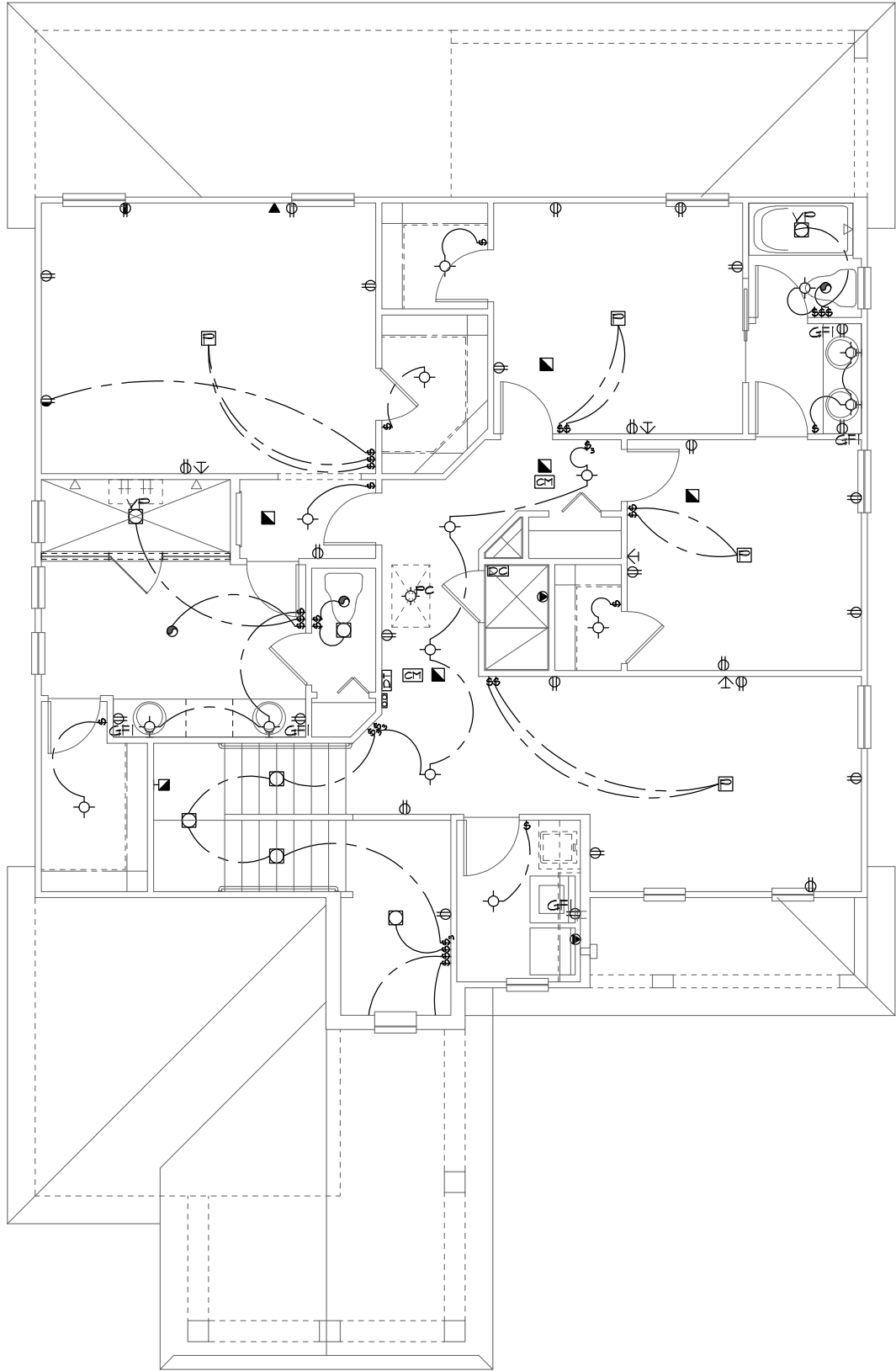


**F.S. TUB OPT.**  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



**OPT. MEDIA ROOM**  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

**UPPER ELECTRICAL PLAN "B"**  
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OPTION A - STANDARD BONUS

LOT SPECIFIC INFORMATION

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DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

119

OF 26 SHEETS

2718 BISCAYNE

DREAM FINDERS HOMES

Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811  
INFO@RDCFLA.COM

DREAM FINDERS  
THE MAKERS OF A QUALITY HOME

CODE 2020

REVISIONS 08-22-21

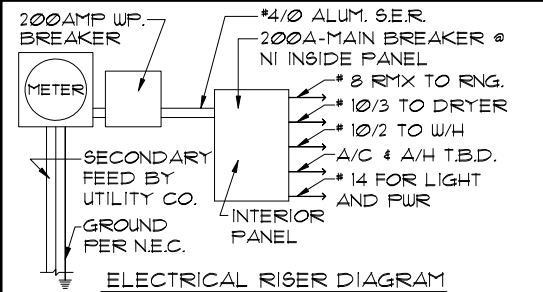
BY: DH

Item 5.





































MECHANICAL/GENERAL NOTES  
PER 11TH ED. 2020 FLA BLD. CODE-RESIDENTIAL

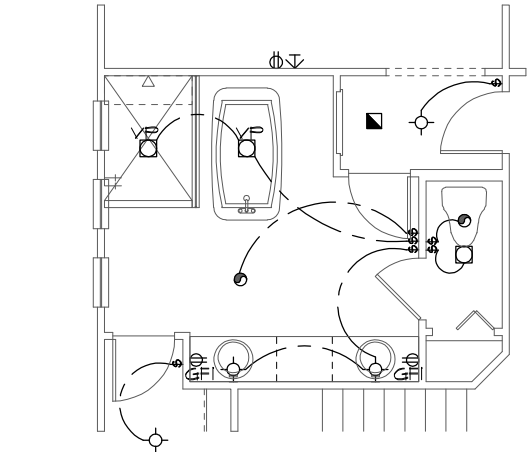
- 1.) COMPLETE DUCT DESIGN W/ SIZES & R-VALUE COMPLYING W/ THE FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION 610.1 ABC.1
- 2.) SUFFICIENT SPACE SHALL BE PROVIDED ADJACENT TO THE MECHANICAL COMPONENTS TO ASSURE ADEQUATE ACCESS FOR:  
A) CONSTRUCTION AND SEALING, AND  
B) SECTION M1601 PER THE FBCR 2020 11TH ED.
- 3.) AIR CONDITIONING SYSTEM SHALL BE COMPLETELY BALANCED. ALL ROOMS ISOLATED FROM THE RETURN AIR SHALL BE PROVIDED WITH MEANS TO COMPLY WITH SECTION M1602 OF THE FBCR CODE 2020 11TH EDITION.
- 4.) IAW NEC 2017- 210.12-ALL 15A OR 20A, 120V BRANCH CIRCUITS THAT SUPPLY OUTLETS IN DWELLING UNITS- FAMILY RMS, DINING RMS, LIVING RMS, PARLORS, LIBRARIES, BEDROOMS DENS, CLOSETS, SUNROOMS, RECREATION RMS, HALLWAYS OR SIMILAR AREAS SHALL BE PROTECTED BY A LISTED AFCI DEVICE OF THE COMBINATION TYPE.
- 5.) IAW NEC 2017- 406.11, ALL 15A AND 20A, 125V RECEPTACLES SHALL BE LISTED AS TAMPER RESISTANT.
- 6.) SMOKE ALARMS SHALL BE IN ALL SLEEPING AREAS, SHALL BE INTERCONNECTED, SHALL BE WITHIN 1' TO 3' OF PEAK & SHALL BE 3' FROM THE SUPPLY OR RETURN AIR- STREAM & EQUIPPED W/ A BATTERY BACKUP. ALARMS MAY NOT BE CONNECTED WHERE ALARMS ARE WIRELESS & ALL ALARMS SOUND UPON ACTIVATION IAW FBCR R314.3 & R314.4. MODEL\* TO BE USED ON THIS JOB TO BE:  
**BRK: SMOKE-9120B, C/O- SC9120B**  
**KIDDE: SMOKE-21007581, C/O 21006377-N**
- 7.) ALL WATER HEATERS HAVING AN IGNITION SOURCE TO BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS MINIMUM 18' ABOVE GARAGE FLOOR UNLESS WATER HEATER IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. IAW FBCR 2020, 11TH ED. P280.17
- 8.) ALL EQUIPMENT & APPLIANCES, INCLUDING WATER HEATERS HAVING AN IGNITION SOURCE TO BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS MINIMUM 18' ABOVE GARAGE FLOOR UNLESS IT IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. IAW FBCR 2020, 11TH ED.
- 9.) THE TOTAL LENGTH OF VENTING FOR DRYER TO BE: **5'-0" MAXIMUM**-THE EXHAUST DUCT SHALL TERMINATE NOT LESS THAN 3 FEET (914MM) IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS. PER FBCR 2020, 11TH ED. M1502.3



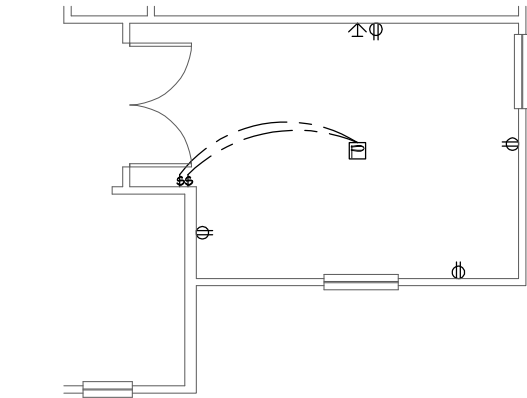
NOTE: NTS.  
ELECTRICAL MATERIALS AND INSTALLATIONS SHALL COMPLY W/ APPLICABLE PROVISIONS OF THE NATIONAL ELEC. CODE 250.52(A)(1) TO (6), LOCAL CODES & LOCAL POWER COMPANY

ELECTRICAL LEGEND			
	SINGLE POLE SWITCH		OUTLET, TV/CABLE
	THREE WAY SWITCH		OUTLET, PHONE
	OUTLET 110-115		INTERCOM
	OUT. 110-115, SPLIT WIRED		CHIMES
	OUT. 110-115, W/ USB		SMOKE DETECTOR
	OUT. 110-115, CLG. MOUNT.		CARBON MONOXIDE
	OUT. 110-115, FLR. MOUNT.		PUSH BUTTON
	SPLCL. PURPOSE 220-240		EXHAUST FAN
	LIGHT FIXT., CLG. MTD.		EX. FAN/LIGHT COMBO
	LIGHT FIXT., WALL MTD.		DISPOSAL
	LIGHT FIXT., RECESSED		ELECTRICAL PANEL
	LIGHT FIXT., REC. ADJUST.		CEILING FAN, PREWIRE
	LIGHT FIXT., PULL CHAIN		CEILING FAN, INSTALL
	LIGHT FIXT.FLUORESCENT		ELECT. JUNCTION BOX
	LIGHT FIXT., EXT. FLOODS		THERMOSTAT
	LIGHT FIXT., EMERG. EXIT		DISCONNECT SWITCH
	LIGHT FIXT., EXIT/BACKUP		ELEC. POWER METER

- NOTE:
- ALL KITCHEN COUNTER OUTLETS TO BE INSTALLED HORIZONTALLY @ 50" AFF TO CENTERLINE OF OUTLET
  - ALL BATHROOM VANITY OUTLETS TO BE INSTALLED HORIZONTALLY @ 44" AFF TO CENTERLINE OF OUTLET



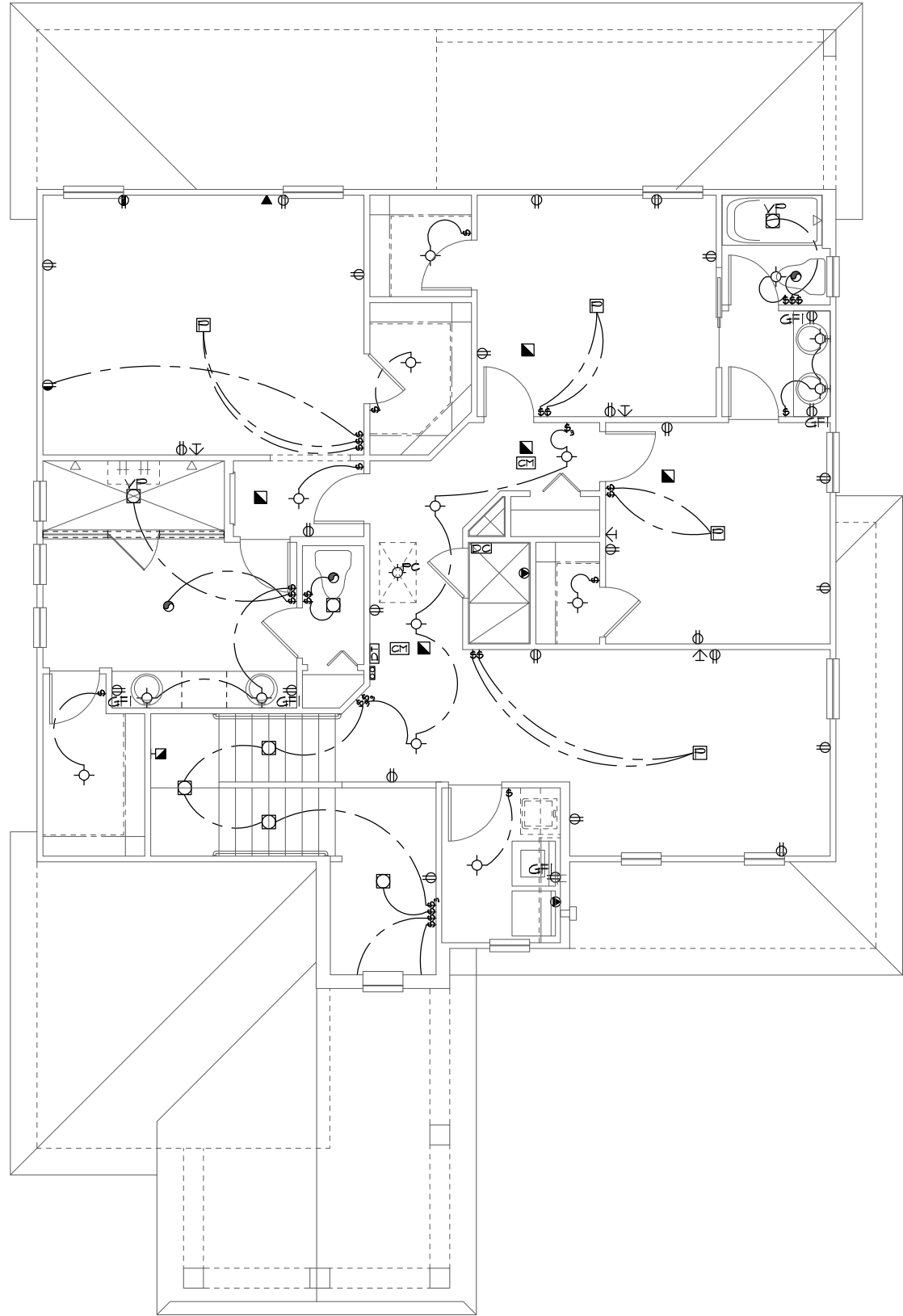
F.S. TUB OPT.  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPT. MEDIA ROOM  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

UPPER ELECTRICAL PLAN "B"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION A - STANDARD BONUS - SIDE LOAD

LA: 10-10-21 BY: RP

BY: DH

REVISIONS: 09-22-21

CODE 2020

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 11TH EDITION

LOT SPECIFIC INFORMATION

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PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
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PHONE: 407-345-0010  
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ELECTRICAL PLAN

2718 BISCAYNE  
DREAM FINDERS HOMES

DATE 07-31-19  
SCALE AS NOTED  
DRAWN RDC  
JOB 2718  
120  
26 SHEETS



**MECHANICAL/GENERAL NOTES**  
PER 11TH ED. 2020 FLA BLD. CODE-RESIDENTIAL

1.) COMPLETE DUCT DESIGN W/ SIZES & R-VALUE COMPLYING W/ THE FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION 610.1 ABC.1

2.) SUFFICIENT SPACE SHALL BE PROVIDED ADJACENT TO THE MECHANICAL COMPONENTS TO ASSURE ADEQUATE ACCESS FOR:  
A) CONSTRUCTION AND SEALING, AND  
B) SECTION M1601 PER THE FBCR 2020 11TH ED.

3.) AIR CONDITIONING SYSTEM SHALL BE COMPLETELY BALANCED. ALL ROOMS ISOLATED FROM THE RETURN AIR SHALL BE PROVIDED WITH MEANS TO COMPLY WITH SECTION M1602 OF THE FBCR CODE 2020 11TH EDITION.

4.) IAW NEC 2017- 210.12-ALL 15A OR 20A, 120V BRANCH CIRCUITS THAT SUPPLY OUTLETS IN DWELLING UNITS- FAMILY RMS, DINING RMS, LIVING RMS, PARLORS, LIBRARIES, BEDROOMS DENS, CLOSETS, SUNROOMS, RECREATION RMS, HALLWAYS OR SIMILAR AREAS SHALL BE PROTECTED BY A LISTED AFCI DEVICE OF THE COMBINATION TYPE.

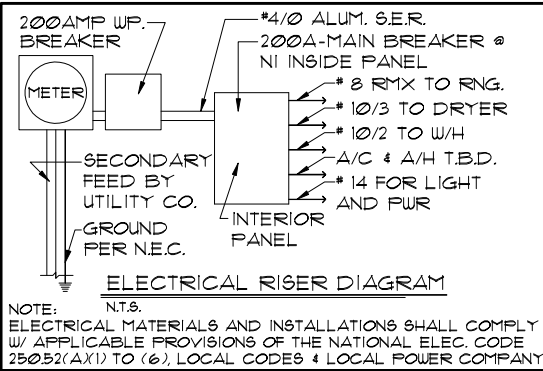
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6.) SMOKE ALARMS SHALL BE IN ALL SLEEPING AREAS, SHALL BE INTERCONNECTED, SHALL BE WITHIN 1' TO 3' OF PEAK & SHALL BE 3' FROM THE SUPPLY OR RETURN AIR- STREAM & EQUIPPED W/ A BATTERY BACKUP. ALARMS MAY NOT BE CONNECTED WHERE ALARMS ARE WIRELESS & ALL ALARMS SOUND UPON ACTIVATION IAW FBCR R314.3 & R314.4. MODEL\* TO BE USED ON THIS JOB TO BE:  
**BRK: SMOKE-9120B, C/O- SC9120B**  
**KIDDE: SMOKE-21007581, C/O 21006377-N**

7.) ALL WATER HEATERS HAVING AN IGNITION SOURCE TO BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS MINIMUM 18' ABOVE GARAGE FLOOR UNLESS WATER HEATER IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. IAW FBCR 2020, 11TH ED. P280.17

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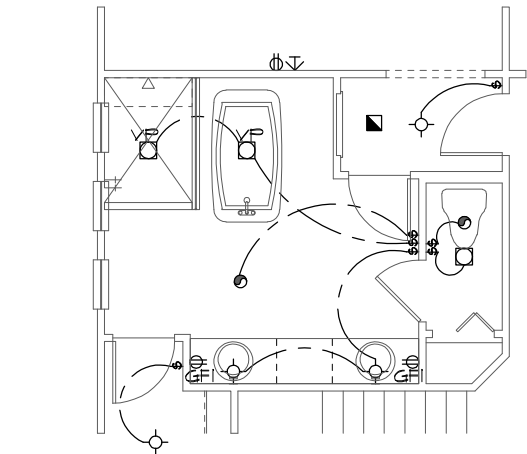
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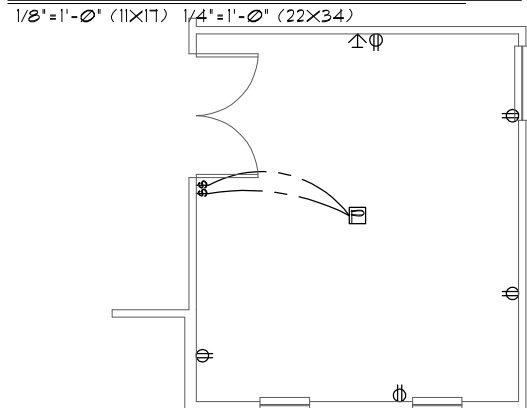
ELECTRICAL LEGEND			
Ⓢ	SINGLE POLE SWITCH	⏏	OUTLET, TV/CABLE
Ⓢ	THREE WAY SWITCH	◀	OUTLET, PHONE
Ⓢ	OUTLET 110-115	◻	INTERCOM
Ⓢ	OUT. 110-115, SPLIT WIRED	Ⓢ	CHIMES
Ⓢ	OUT. 110-115, W/ USB	🚬	SMOKE DETECTOR
Ⓢ	OUT. 110-115, CLG. MOUNT.	☑	CARBON MONOXIDE
Ⓢ	OUT. 110-115, FLR. MOUNT.	Ⓢ	PUSH BUTTON
Ⓢ	SFCL. PURPOSE 220-240	Ⓢ	EXHAUST FAN
💡	LIGHT FIXT., CLG. MTD.	Ⓢ	EX. FAN/LIGHT COMBO
💡	LIGHT FIXT., WALL MTD.	🗑	DISPOSAL
Ⓢ	LIGHT FIXT., RECESSED	Ⓢ	ELECTRICAL PANEL
Ⓢ	LIGHT FIXT., REC. ADJUST.	Ⓢ	CEILING FAN, PREWIRE
Ⓢ	LIGHT FIXT., PULL CHAIN	Ⓢ	CEILING FAN, INSTALL
💡	LIGHT FIXT.FLUORESCENT	Ⓢ	ELECT. JUNCTION BOX
💡	LIGHT FIXT., EXT. FLOODS	🌡	THERMOSTAT
EXIT	LIGHT FIXT., EMERG. EXIT	Ⓢ	DISCONNECT SWITCH
Ⓢ	LIGHT FIXT., EXIT/BACKUP	Ⓢ	ELEC. POWER METER

**NOTE:**

- ALL KITCHEN COUNTER OUTLETS TO BE INSTALLED HORIZONTALLY @ 50" AFF TO CENTERLINE OF OUTLET
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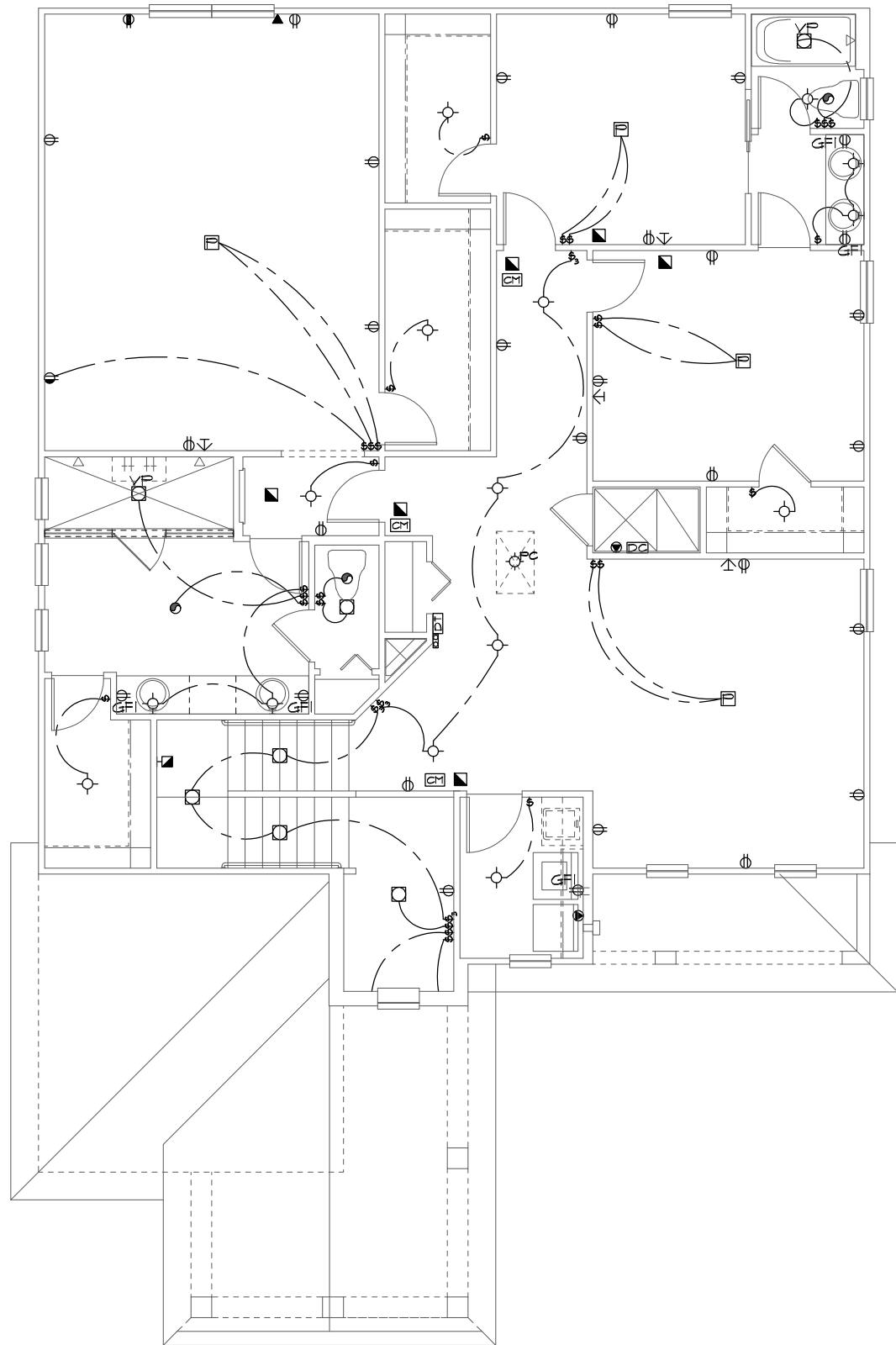
**F.S. TUB OPT.**



**OPT. MEDIA ROOM**

**UPPER ELECTRICAL PLAN "B"**

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION B - EXTENDED BONUS

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121  
OF 26 SHEETS

2718 BISCAYNE  
DREAM FINDERS HOMES

ELECTRICAL PLAN



Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
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4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811  
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Item 5.

LA: 10-10-21 BY: RP

REVISIONS 09-22-21

CODE 2020

BY: DH

MECHANICAL/GENERAL NOTES

PER 11TH ED. 2020 FLA BLD. CODE-RESIDENTIAL

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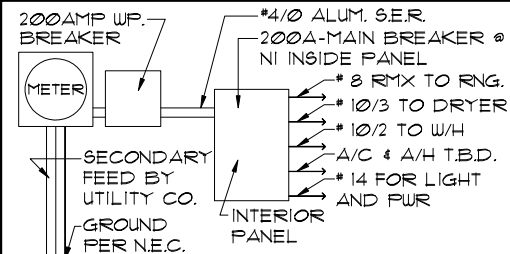
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KIDDE: SMOKE-21007581, C/O 21006377-N

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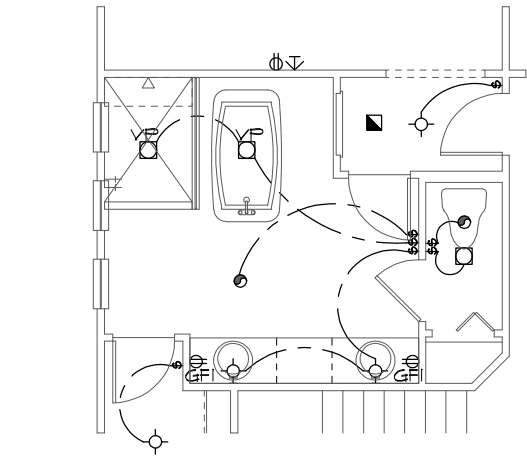
ELECTRICAL RISER DIAGRAM

NOTE: NTS.  
ELECTRICAL MATERIALS AND INSTALLATIONS SHALL COMPLY W/ APPLICABLE PROVISIONS OF THE NATIONAL ELEC. CODE 250.52(A)(1) TO (6), LOCAL CODES & LOCAL POWER COMPANY

ELECTRICAL LEGEND			
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⌚	OUTLET 110-115	◻	INTERCOM
⌚	OUT. 110-115, SPLIT WIRED	◻	CHIMES
⌚	OUT. 110-115, W/ USB	◻	SMOKE DETECTOR
⌚	OUT. 110-115, CLG. MOUNT.	◻	CARBON MONOXIDE
⌚	OUT. 110-115, FLR. MOUNT.	◻	PUSH BUTTON
⌚	SPCL. PURPOSE 220-240	⊙	EXHAUST FAN
⌚	LIGHT FIXT., CLG. MTD.	⊙	EX. FAN/LIGHT COMBO
⌚	LIGHT FIXT., WALL MTD.	⊙	DISPOSAL
⌚	LIGHT FIXT., RECESSED	◻	ELECTRICAL PANEL
⌚	LIGHT FIXT., REC. ADJUST.	◻	CEILING FAN, PREWIRE
⌚	LIGHT FIXT., FULL CHAIN	◻	CEILING FAN, INSTALL
⌚	LIGHT FIXT., FLUORESCENT	◻	ELECT. JUNCTION BOX
⌚	LIGHT FIXT., EXT. FLOODS	◻	THERMOSTAT
⌚	LIGHT FIXT., EMERG. EXIT	◻	DISCONNECT SWITCH
⌚	LIGHT FIXT., EXIT/BACKUP	◻	ELEC. POWER METER

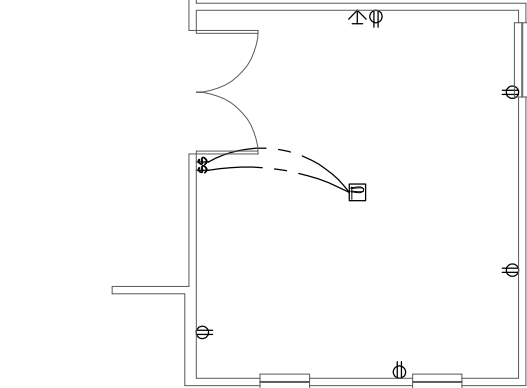
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F.S. TUB OPT.

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

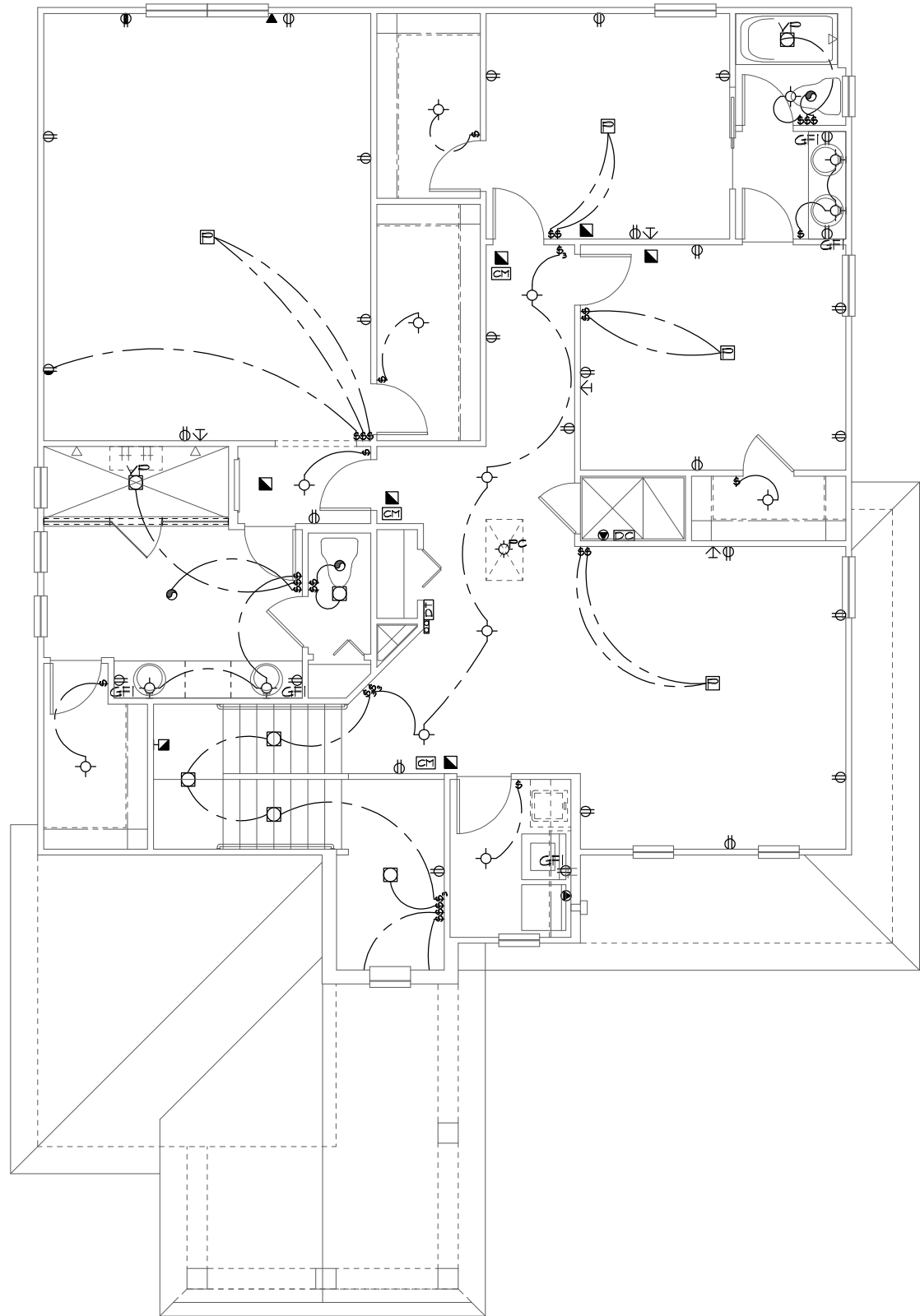


OPT. MEDIA ROOM

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UPPER ELECTRICAL PLAN "B"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION B - EXTENDED BONUS - SIDE LOAD

1A: 10-19-21 BY: RP

REVISIONS 09-22-21 BY: DH

CODE 2020

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4301 VINELAND RD. SUITE E-1 ORLANDO, FL 32811 INFO@RDCFLA.COM

DREAM FINDERS THE MAKERS OF A MODERN HOME

ELECTRICAL PLAN

2718 BISCAYNE DREAM FINDERS HOMES

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

122

OF 26 SHEETS

TUB.1

**MECHANICAL/GENERAL NOTES**  
PER 11TH ED. 2020 FLA BLD. CODE-RESIDENTIAL

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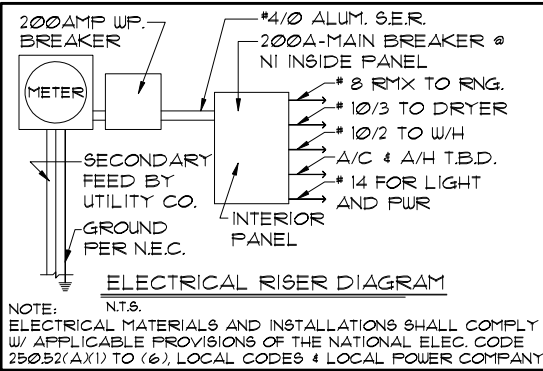
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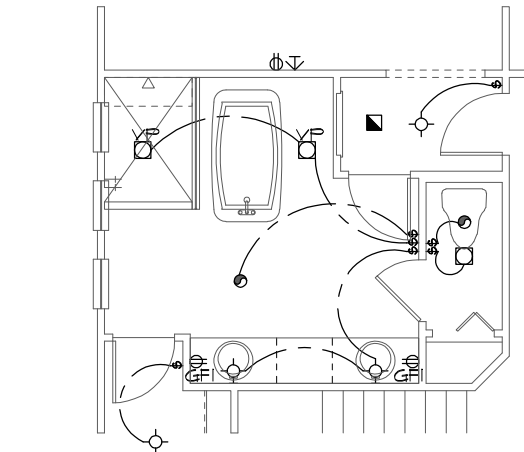
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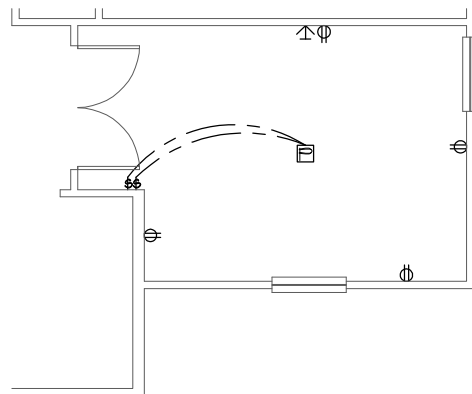
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Ⓢ	THREE WAY SWITCH	◀	OUTLET, PHONE
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Ⓢ	OUT. 110-115, W/ USB	Ⓢ	SMOKE DETECTOR
Ⓢ	OUT. 110-115, CLG. MOUNT.	Ⓢ	CARBON MONOXIDE
Ⓢ	OUT. 110-115, FLR. MOUNT.	Ⓢ	PUSH BUTTON
Ⓢ	SPCL. PURPOSE 220-240	Ⓢ	EXHAUST FAN
Ⓢ	LIGHT FIXT., CLG. MTD.	Ⓢ	EX. FAN/LIGHT COMBO
Ⓢ	LIGHT FIXT., WALL MTD.	Ⓢ	DISPOSAL
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**NOTE:**

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- ALL BATHROOM VANITY OUTLETS TO BE INSTALLED HORIZONTALLY @ 44" AFF TO CENTERLINE OF OUTLET

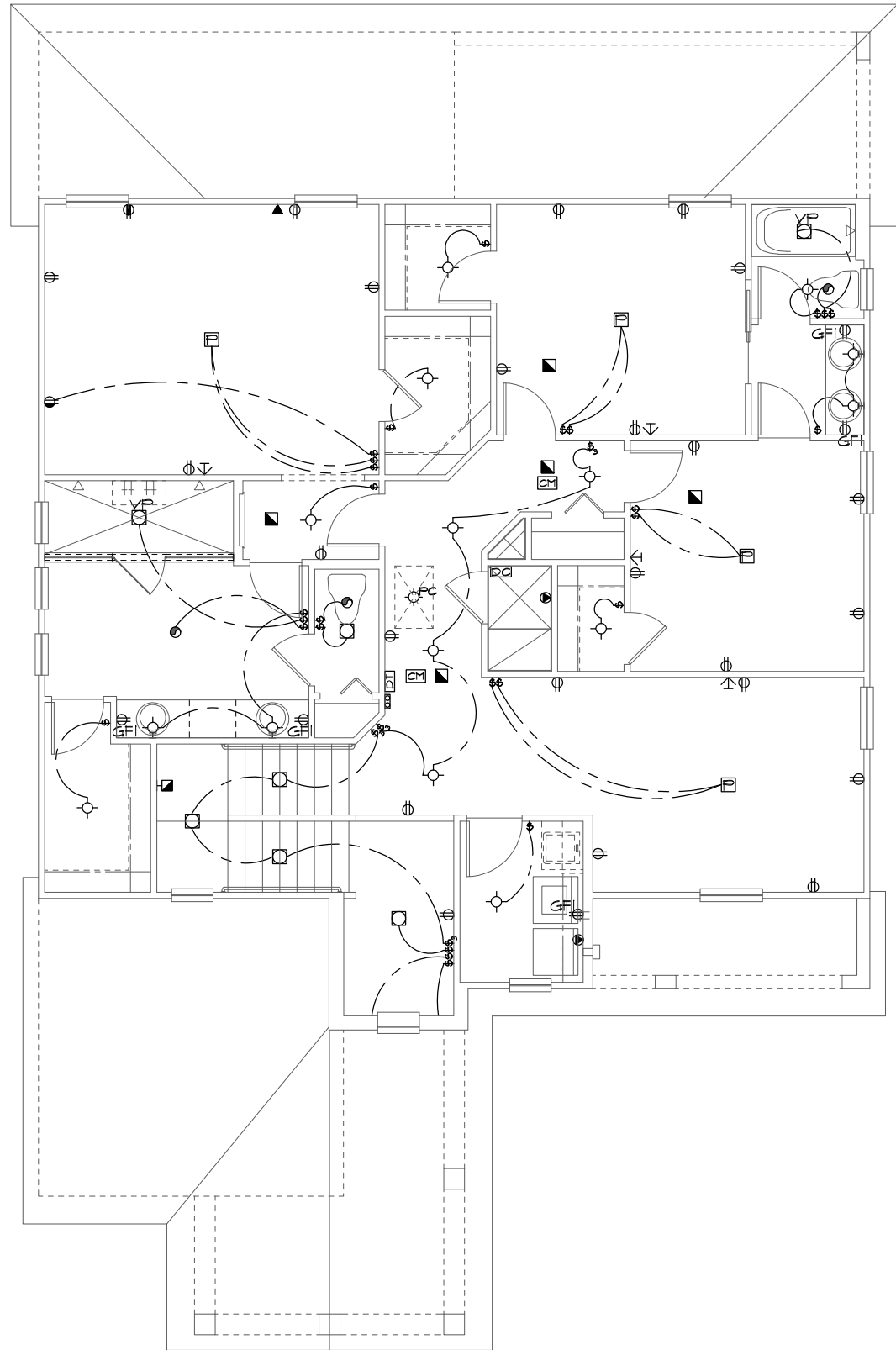


**F.S. TUB OPT.**  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



**OPT. MEDIA ROOM**  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

**UPPER ELECTRICAL PLAN "C"**  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION A - STANDARD BONUS

**LOT SPECIFIC INFORMATION**

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 11TH EDITION

DATE07-31-19

SCALEAS NOTED

DRAWN RDC

JOB2718

123

OF 26 SHEETS

2718 BISCAYNE

DREAM FINDERS HOMES

Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811  
INFO@RDCFLA.COM

RDC  
THE MAKERS OF A MODERN HOME

DREAM FINDERS  
THE MAKERS OF A MODERN HOME

Item 5.

**CODE 2020**

REVISIONS 08-22-21

BY: DH

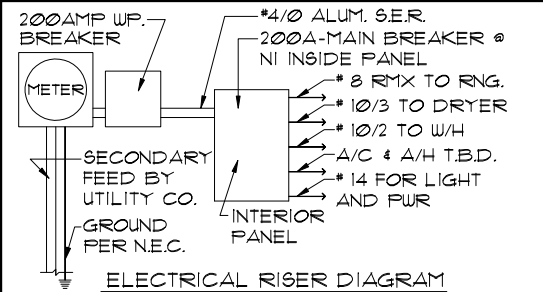
LA: 10-19-21

BY: RP



































MECHANICAL/GENERAL NOTES  
PER 11TH ED. 2020 FLA BLD. CODE-RESIDENTIAL

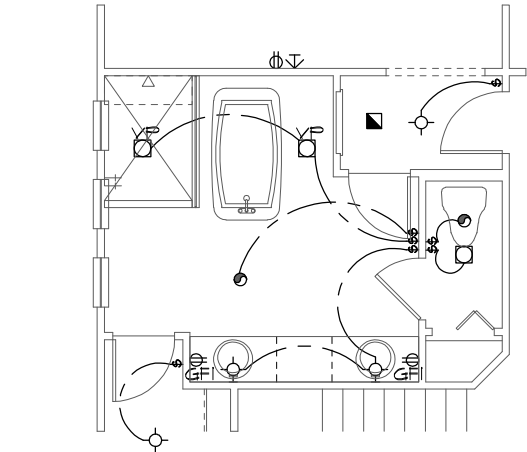
- 1.) COMPLETE DUCT DESIGN W/ SIZES & R-VALUE COMPLYING W/ THE FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION 610.1 ABC.1
- 2.) SUFFICIENT SPACE SHALL BE PROVIDED ADJACENT TO THE MECHANICAL COMPONENTS TO ASSURE ADEQUATE ACCESS FOR:  
A) CONSTRUCTION AND SEALING, AND  
B) SECTION M1601 PER THE FBCR 2020 11TH ED.
- 3.) AIR CONDITIONING SYSTEM SHALL BE COMPLETELY BALANCED. ALL ROOMS ISOLATED FROM THE RETURN AIR SHALL BE PROVIDED WITH MEANS TO COMPLY WITH SECTION M1602 OF THE FBCR CODE 2020 11TH EDITION.
- 4.) IAW NEC 2017- 210.12-ALL 15A OR 20A, 120V BRANCH CIRCUITS THAT SUPPLY OUTLETS IN DWELLING UNITS- FAMILY RMS, DINING RMS, LIVING RMS, PARLORS, LIBRARIES, BEDROOMS DENS, CLOSETS, SUNROOMS, RECREATION RMS, HALLWAYS OR SIMILAR AREAS SHALL BE PROTECTED BY A LISTED AFCI DEVICE OF THE COMBINATION TYPE.
- 5.) IAW NEC 2017- 406.11, ALL 15A AND 20A, 125V RECEPTACLES SHALL BE LISTED AS TAMPER RESISTANT.
- 6.) SMOKE ALARMS SHALL BE IN ALL SLEEPING AREAS, SHALL BE INTERCONNECTED, SHALL BE WITHIN 1' TO 3' OF PEAK & SHALL BE 3' FROM THE SUPPLY OR RETURN AIR- STREAM & EQUIPPED W/ A BATTERY BACKUP. ALARMS MAY NOT BE CONNECTED WHERE ALARMS ARE WIRELESS & ALL ALARMS SOUND UPON ACTIVATION IAW FBCR R314.3 & R314.4. MODEL\* TO BE USED ON THIS JOB TO BE:  
**BRK: SMOKE-9120B, C/O- SC9120B**  
**KIDDE: SMOKE-21007581, C/O 21006377-N**
- 7.) ALL WATER HEATERS HAVING AN IGNITION SOURCE TO BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS MINIMUM 18" ABOVE GARAGE FLOOR UNLESS WATER HEATER IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. IAW FBCR 2020, 11TH ED. P280.17
- 8.) ALL EQUIPMENT & APPLIANCES, INCLUDING WATER HEATERS HAVING AN IGNITION SOURCE TO BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS MINIMUM 18" ABOVE GARAGE FLOOR UNLESS IT IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. IAW FBCR 2020, 11TH ED.
- 9.) THE TOTAL LENGTH OF VENTING FOR DRYER TO BE: **5'-0" MAXIMUM**-THE EXHAUST DUCT SHALL TERMINATE NOT LESS THAN 3 FEET (914MM) IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS. PER FBCR 2020, 11TH ED. M1502.3



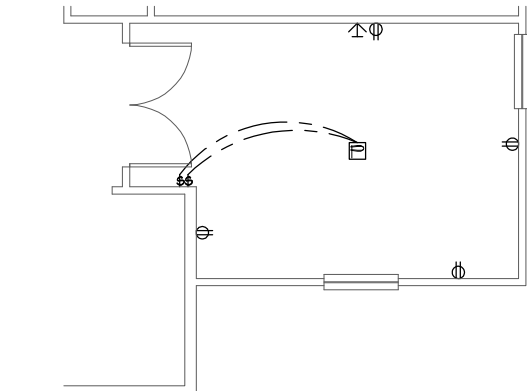
NOTE: NTS.  
ELECTRICAL MATERIALS AND INSTALLATIONS SHALL COMPLY W/ APPLICABLE PROVISIONS OF THE NATIONAL ELEC. CODE 250.52(A)(1) TO (6), LOCAL CODES & LOCAL POWER COMPANY

ELECTRICAL LEGEND			
	SINGLE POLE SWITCH		OUTLET, TV/CABLE
	THREE WAY SWITCH		OUTLET, PHONE
	OUTLET 110-115		INTERCOM
	OUT. 110-115, SPLIT WIRED		CHIMES
	OUT. 110-115, W/ USB		SMOKE DETECTOR
	OUT. 110-115, CLG. MOUNT.		CARBON MONOXIDE
	OUT. 110-115, FLR. MOUNT.		PUSH BUTTON
	SFCL. PURPOSE 220-240		EXHAUST FAN
	LIGHT FIXT., CLG. MTD.		EX. FAN/LIGHT COMBO
	LIGHT FIXT., WALL MTD.		DISPOSAL
	LIGHT FIXT., RECESSED		ELECTRICAL PANEL
	LIGHT FIXT., REC. ADJUST.		CEILING FAN, PREWIRE
	LIGHT FIXT., PULL CHAIN		CEILING FAN, INSTALL
	LIGHT FIXT.FLUORESCENT		ELECT. JUNCTION BOX
	LIGHT FIXT., EXT. FLOODS		THERMOSTAT
	LIGHT FIXT., EMERG. EXIT		DISCONNECT SWITCH
	LIGHT FIXT., EXIT/BACKUP		ELEC. POWER METER

- NOTE:
- ALL KITCHEN COUNTER OUTLETS TO BE INSTALLED HORIZONTALLY @ 50" AFF TO CENTERLINE OF OUTLET
  - ALL BATHROOM VANITY OUTLETS TO BE INSTALLED HORIZONTALLY @ 44" AFF TO CENTERLINE OF OUTLET



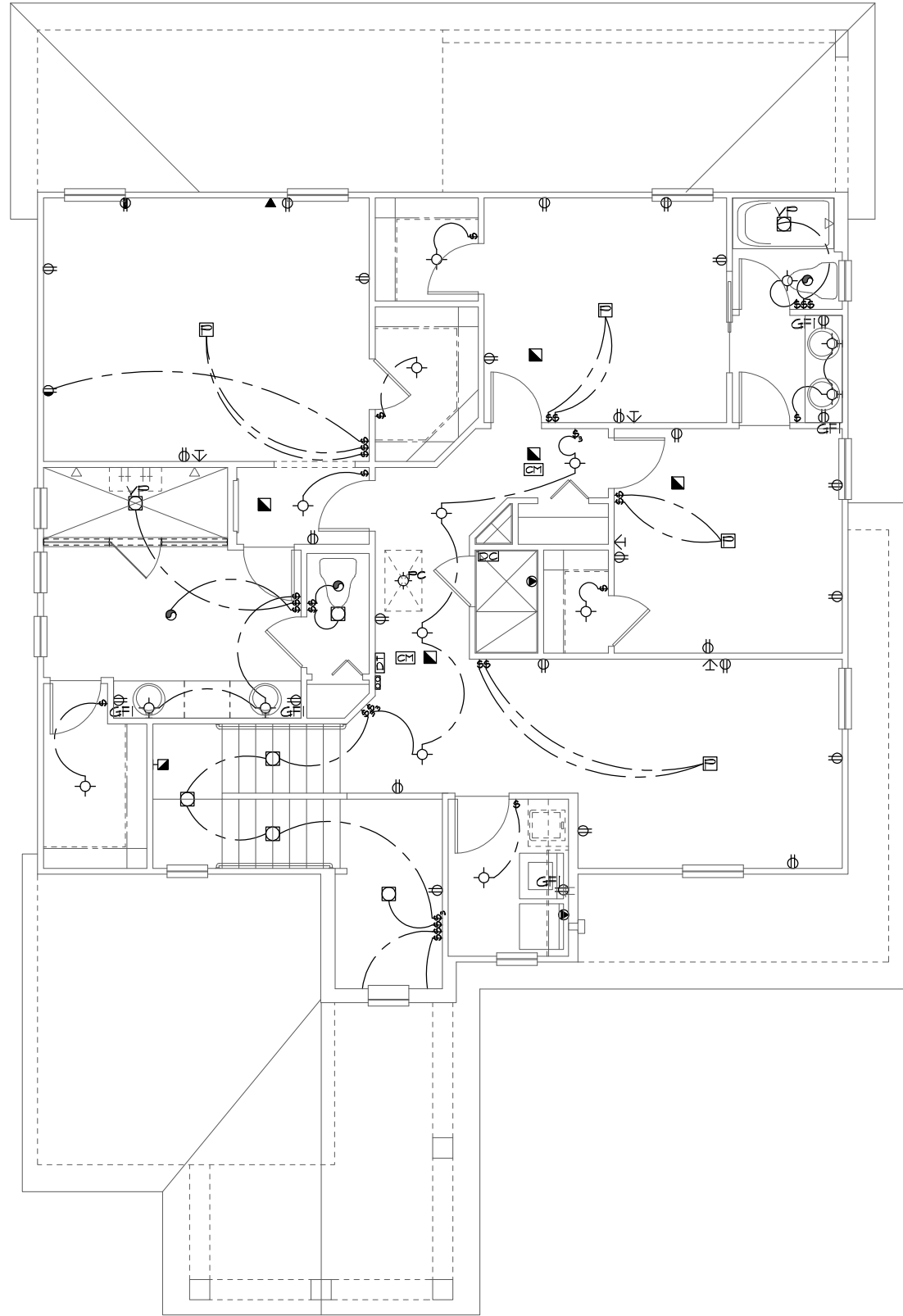
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OPT. MEDIA ROOM  
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UPPER ELECTRICAL PLAN "C"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION A - STANDARD BONUS - SIDE LOAD

LA: 10-10-21 BY: RP

BY: DH

REVISIONS 09-22-21

CODE 2020

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 11TH EDITION

LOT SPECIFIC INFORMATION

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Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
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ELECTRICAL PLAN

2718 BISCAYNE  
DREAM FINDERS HOMES

DATE 07-31-19  
SCALE AS NOTED  
DRAWN RDC  
JOB 2718  
124  
26 SHEETS



**MECHANICAL/GENERAL NOTES**  
PER 11TH ED. 2020 FLA BLD. CODE-RESIDENTIAL

1.) COMPLETE DUCT DESIGN W/ SIZES & R-VALUE COMPLYING W/ THE FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION 610.1 ABC.1

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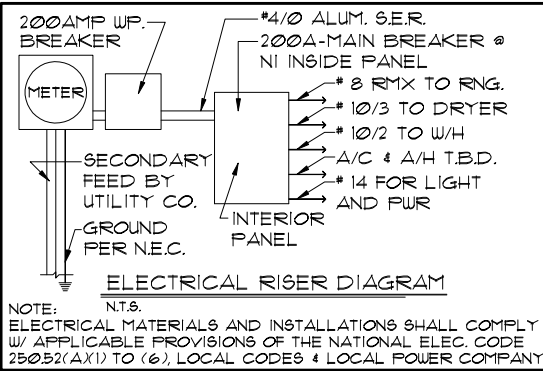
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






















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**KIDDE: SMOKE-21007581, C/O 21006377-N**

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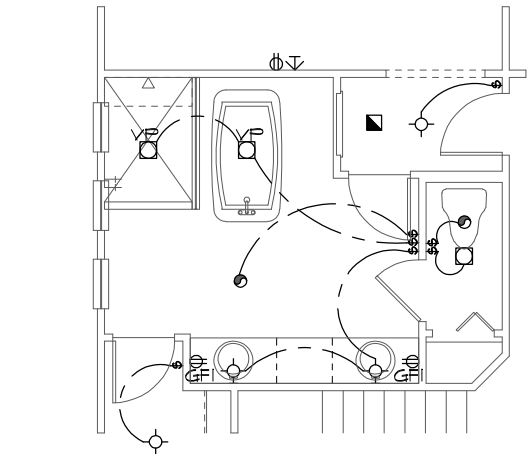
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ELECTRICAL LEGEND			
	SINGLE POLE SWITCH		OUTLET, TV/CABLE
	THREE WAY SWITCH		OUTLET, PHONE
	OUTLET 110-115		INTERCOM
	OUT. 110-115, SPLIT WIRED		CHIMES
	OUT. 110-115, W/ USB		SMOKE DETECTOR
	OUT. 110-115, CLG. MOUNT.		CARBON MONOXIDE
	OUT. 110-115, FLR. MOUNT.		PUSH BUTTON
	SPCL. PURPOSE 220-240		EXHAUST FAN
	LIGHT FIXT., CLG. MTD.		EX. FAN/LIGHT COMBO
	LIGHT FIXT., WALL MTD.		DISPOSAL
	LIGHT FIXT., RECESSED		ELECTRICAL PANEL
	LIGHT FIXT., REC. ADJUST.		CEILING FAN, PREWIRE
	LIGHT FIXT., FULL CHAIN		CEILING FAN, INSTALL
	LIGHT FIXT., FLUORESCENT		ELECT. JUNCTION BOX
	LIGHT FIXT., EXT. FLOODS		THERMOSTAT
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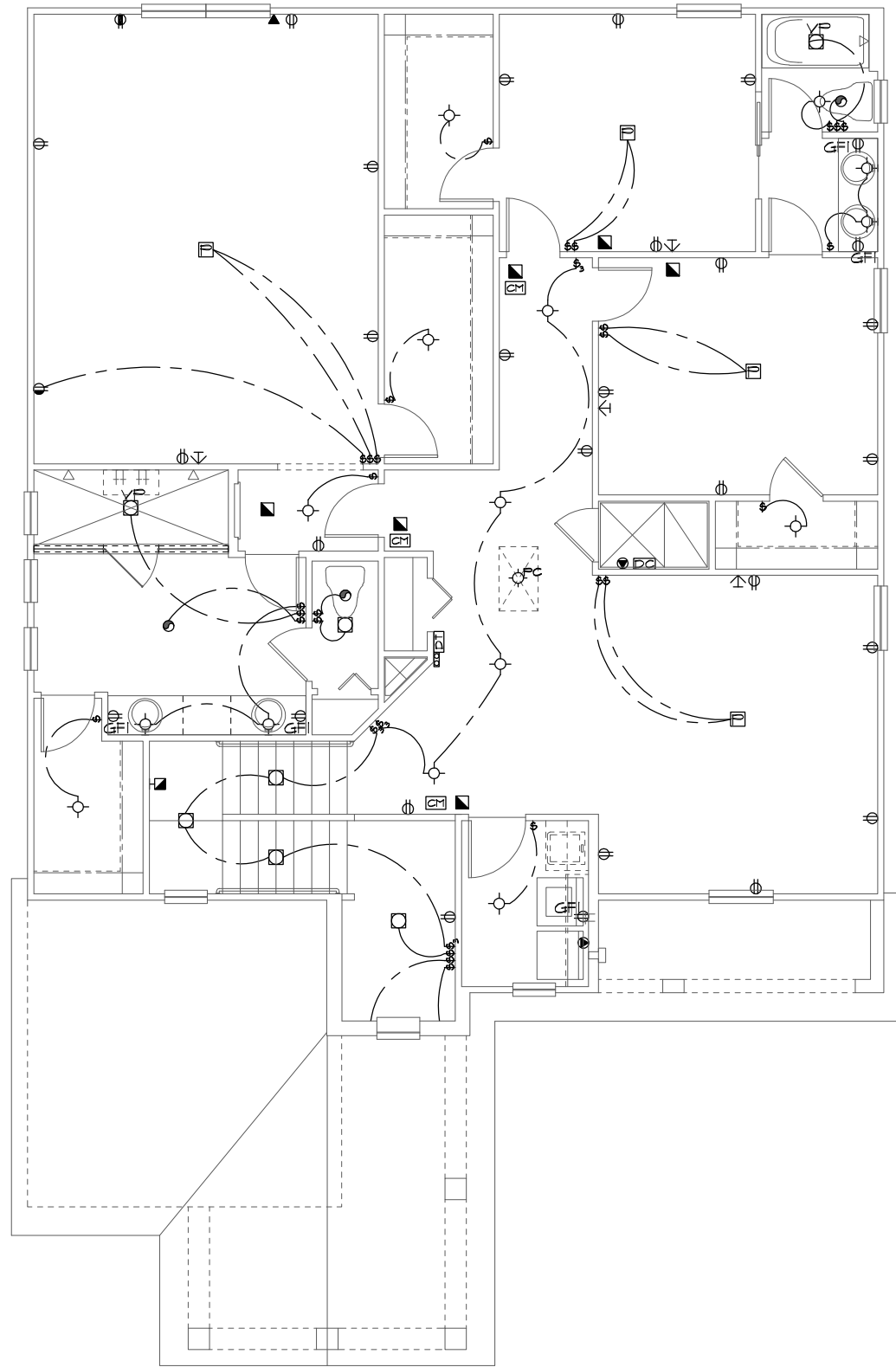
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**UPPER ELECTRICAL PLAN "C"**

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OPTION B - EXTENDED BONUS

LOT SPECIFIC INFORMATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 11TH EDITION

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

125

OF 26 SHEETS

2718 BISCAYNE  
DREAM FINDERS HOMES

ELECTRICAL PLAN



Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811  
INFO@RDCFLA.COM

RDC

Item 5.

BY: RP

REVISIONS 08-22-21

CODE 2020

BY: DH

**MECHANICAL/GENERAL NOTES**  
PER 11TH ED. 2020 FLA BLD. CODE-RESIDENTIAL

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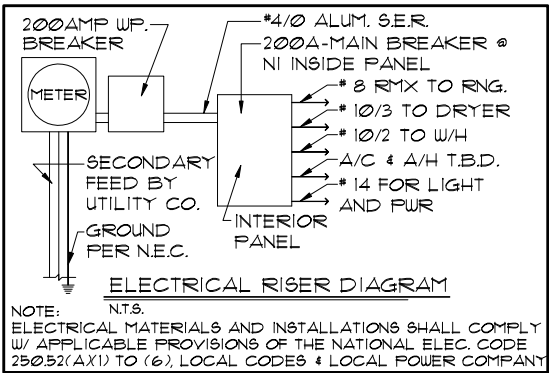
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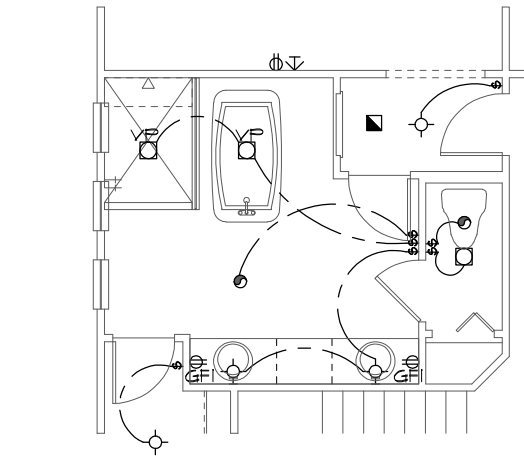
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ELECTRICAL LEGEND			
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⌚	THREE WAY SWITCH	◀	OUTLET, PHONE
⊖	OUTLET 110-115	◻	INTERCOM
⊖	OUT. 110-115, SPLIT WIRED	⊞	CHIMES
⊖	OUT. 110-115, W/ USB	■	SMOKE DETECTOR
⊖	OUT. 110-115, CLG. MOUNT.	☐	CARBON MONOXIDE
⊖	OUT. 110-115, FLR. MOUNT.	⊞	PUSH BUTTON
⊖	SPCL. PURPOSE 220-240	⊖	EXHAUST FAN
⊖	LIGHT FIXT., CLG. MTD.	⊖	EX. FAN/LIGHT COMBO
⊖	LIGHT FIXT., WALL MTD.	⊖	DISPOSAL
⊖	LIGHT FIXT., RECESSED	⊞	ELECTRICAL PANEL
⊖	LIGHT FIXT., REC. ADJUST.	⊞	CEILING FAN, PREWIRE
⊖	LIGHT FIXT., PULL CHAIN	⊞	CEILING FAN, INSTALL
⊖	LIGHT FIXT.FLUORESCENT	⊞	ELECT. JUNCTION BOX
⊖	LIGHT FIXT., EXT. FLOODS	⊞	THERMOSTAT
⊖	LIGHT FIXT., EMERG. EXIT	⊞	DISCONNECT SWITCH
⊖	LIGHT FIXT., EXIT/BACKUP	⊞	ELEC. POWER METER

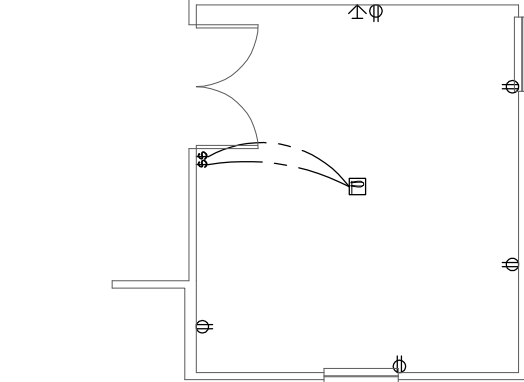
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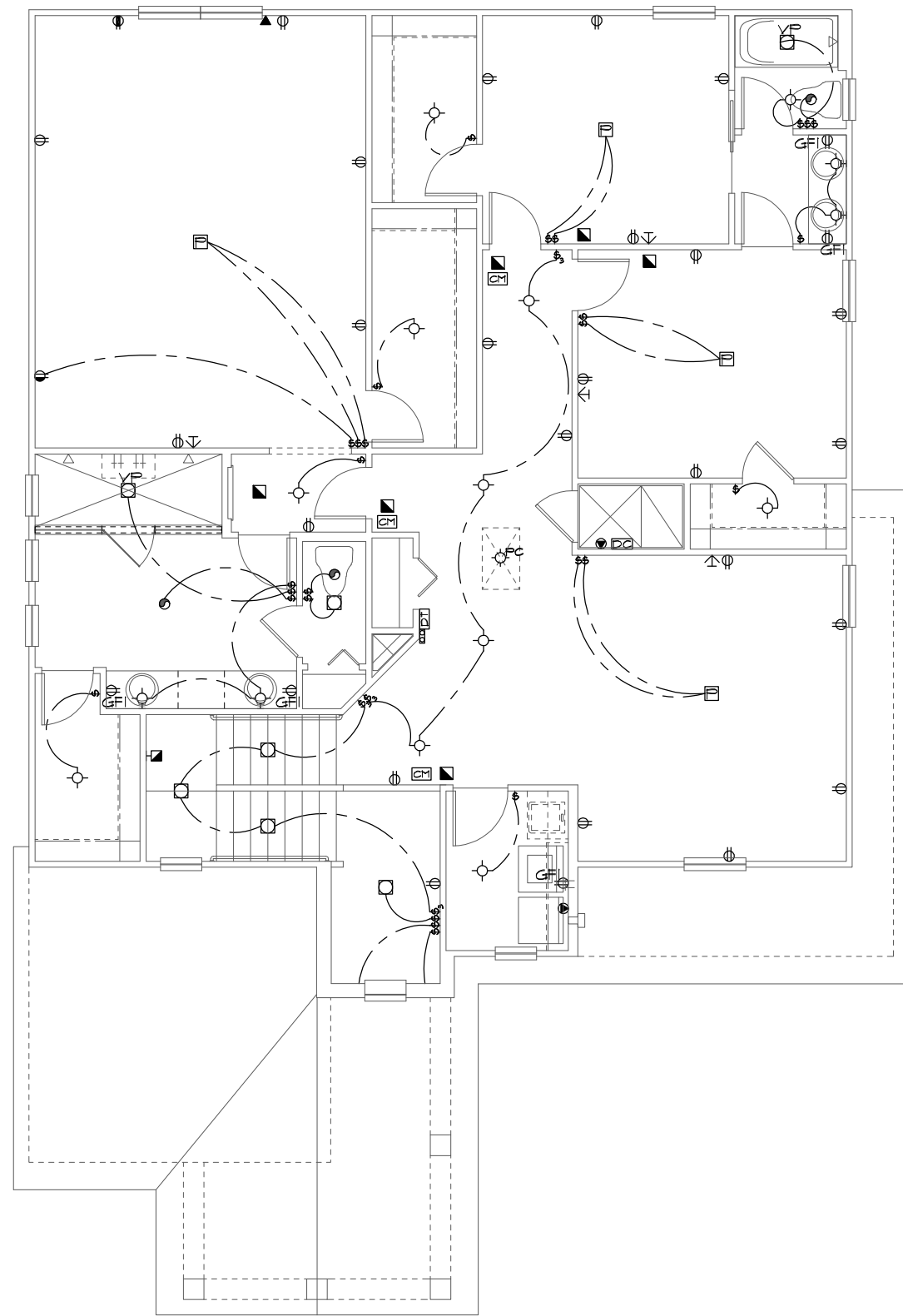


**OPT. MEDIA ROOM**

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

**UPPER ELECTRICAL PLAN "C"**

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION B - EXTENDED BONUS - SIDE LOAD

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 11TH EDITION

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DREAM FINDERS  
THE MAKERS OF A MODERN HOME

2718 BISCAYNE  
DREAM FINDERS HOMES

DATE: 07-31-19

SCALE: AS NOTED

DRAWN: RDC

JOB: 2718

126  
OF 26 SHEETS

**CODE 2020**

REVISIONS: 09-22-21

BY: DH

LA: 10-10-21 BY: RP

Item 5.

BEAM SCHEDULE		
BEAM 1:	(2) 2X12'S W/ 1/2" PLYWD. FLITCH PLATE	
BEAM 2:	(2) PLY 1-3/4"X12" LVL	
BEAM 3:	(3) PLY 1-3/4"X12" LVL	

Truss Connector Total List		
Manuf	Product	Qty
Simpson	HGUS28-2	1
Simpson	HHUS46	11
	HUS26	1
Simpson	THA422	2

Products					
PlotID	Length	Product	Plies	Net Qty	Fab Type
FB02	20' 0"	1-3/4" x 16" VERSA-LAM® 2.0 3100 SP	4	3	FF
FB01	20' 0"	1-3/4" x 16" VERSA-LAM® 2.0 3100 SP	4	4	FF

### ATTIC VENTILATION CALCULATIONS

PER FBC 2020 11TH EDITION R306: MIN. 40% - MAX. 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).

THE MINIMUM NET VENTILATION AREA SHALL BE 1/300 OF VENTED SPACE:

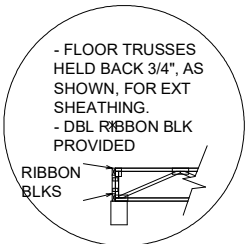
TOTAL VENTED SPACE:  $\frac{19795\text{F.}}{300} = \underline{6.595\text{F.}}$  NET FREE REQUIRED

UPPER PORTION VENTILATION TOTAL: 2.595F.  
PROVIDED W/OFF RIDGE VENTS: 3 VENTS @ 0.855F. /VENT.  
(TILE: O'HAGIN MODEL 'S' (0.855F.), SHINGLE: LOMANCO 110-D (4" x 19.85F.), 6" = 0.15F.)  
LOWER PORTION VENTILATION TOTAL: 16.70  
PROVIDED W/SOFFITS @ EAVE: 192LF. @ 0.0875F. VENTING/L.F.

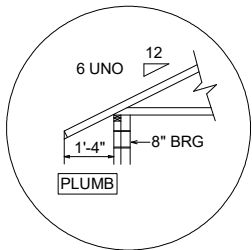
UPPER PORTION PERCENTAGE: 50%  
LOWER PORTION PERCENTAGE: 50%

### NOTES

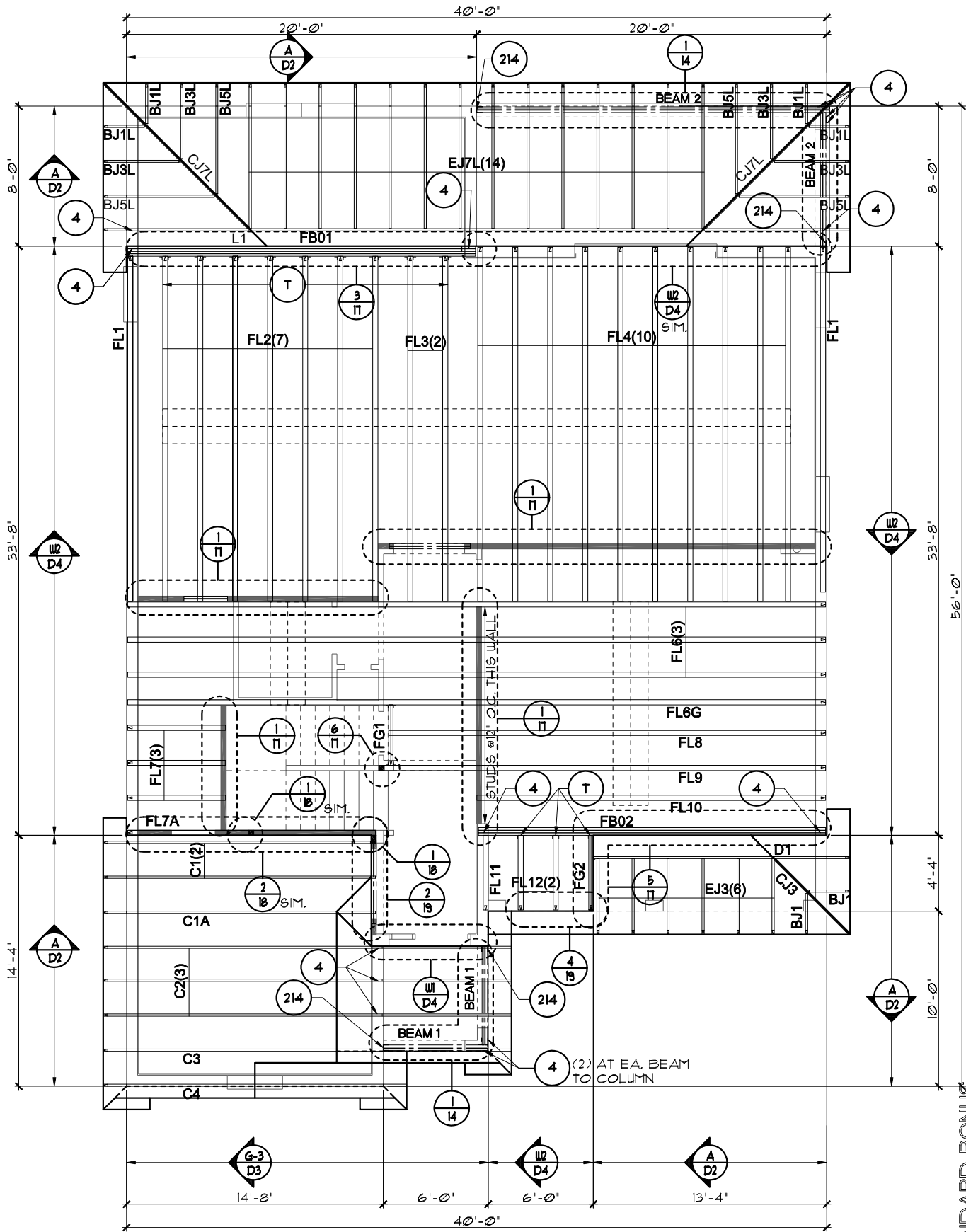
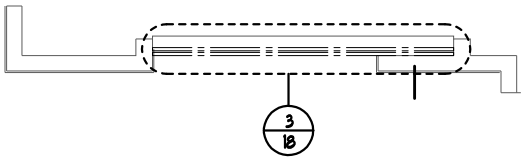
- TYPICAL ROOF GABLE OVERHANG TO BE **9"** UNLESS OTHERWISE NOTED.
- TYPICAL ROOF EAVES OVERHANG TO BE **16"** UNLESS OTHERWISE NOTED.
- PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IAW THE 2020 11TH EDITION FBCR. PROVIDE ROOF VALLEY FLASHING IAW FBCR R303.2
- ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZED BY TRUSS MANUFACTURER OR FL. REG. ENG.
- TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTCA BC51 I.
- REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
- TILE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.3.3  
OR  
SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.1.1.1.



FLOOR DBL RIBBON BLK DETAIL  
[X]



O/H DETAIL  
[X]



### TRUSS LAYOUT "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

OPTION A - STANDARD BONUS

LOT SPECIFIC INFORMATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 11TH EDITION

Item 5.

Engineering By:  
PRABHAKAR N. JAGTAP, P.E.  
5830 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
INFO@RDCFLA.COM  
J.JAGTAP@RDCFLA.COM

DREAM FINDERS  
THE MAKERS OF A QUALITY HOME

TRUSS LAYOUT

2718 BISCAVNE  
DREAM FINDERS HOMES

DATE 01-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

127

OF 26 SHEETS



BEAM SCHEDULE	
BEAM 1:	(2) 2X12'S W/ 1/2" PLYWD. FLITCH PLATE
BEAM 2:	(2) PLY 1-3/4"X12" LVL
BEAM 3:	(3) PLY 1-3/4"X12" LVL

### ATTIC VENTILATION CALCULATIONS

PER FBC 2020 11TH EDITION R306: MIN. 40% - MAX. 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).

THE MINIMUM NET VENTILATION AREA SHALL BE 1/300 OF VENTED SPACE:

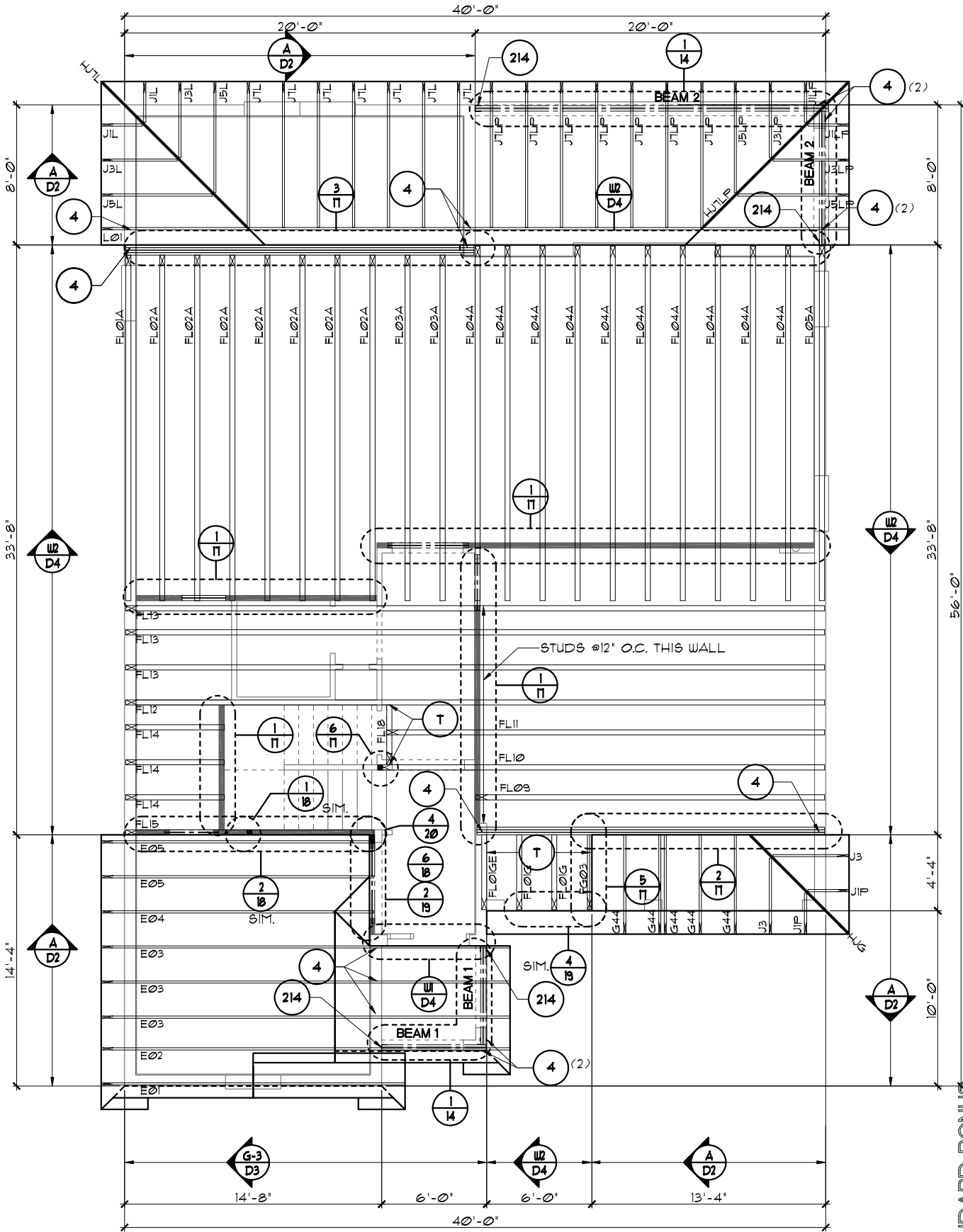
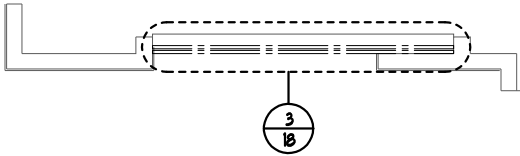
TOTAL VENTED SPACE:  $\frac{19795\text{F.}}{300}$  =  $\frac{6595\text{F.}}{\text{REQUIRED}}$

UPPER PORTION VENTILATION TOTAL: **2595F.**  
 PROVIDED W/OFF RIDGE VENTS: **3** VENTS @ **0.855F.** /VENT.  
 (TILE: O'HAGIN MODEL 'S' (.855F.), SHINGLE: LOMANCO 110-D (4"=.1985F., 6"=.315F.)  
 LOWER PORTION VENTILATION TOTAL: **1670**  
 PROVIDED W/SOFFITS @ EAVE: **192LF.** @ **0.0875F.** VENTING/L.F.

UPPER PORTION PERCENTAGE: **50%**  
 LOWER PORTION PERCENTAGE: **50%**

### NOTES

1. TYPICAL ROOF GABLE OVERHANG TO BE **9"** UNLESS OTHERWISE NOTED.
2. TYPICAL ROOF EAVES OVERHANG TO BE **16"** UNLESS OTHERWISE NOTED.
3. PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IAW THE 2020 11TH EDITION FBCR. PROVIDE ROOF VALLEY FLASHING IAW FBCR R303.2
4. ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZED BY TRUSS MANUFACTURER OR FL. REG. ENG.
5. TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTCA BC51 I.
6. REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
7. TILE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.3.3  
OR  
SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.1.1.1.



### TRUSS LAYOUT "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

OPTION A - STANDARD BONUS

LOT SPECIFIC INFORMATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 11TH EDITION

CODE 2020

REVISIONS 09-22-21

BY: DH

1A: 10-19-21

1B: RP

DATE	01-31-19
SCALE	AS NOTED
DRAWN	RDC
CHECKED	2718
128	
OF 26 SHEETS	

2718 BISCAVNE

DREAM FINDERS HOMES

TRUSS LAYOUT



Engineering By:  
 PRABHAKAR N. JAGTAP, P.E.  
 5890 MARLBERRY DRIVE  
 ORLANDO, FL 32819  
 PHONE: 407-345-0010  
 INFO@RDCFLA.COM  
 4301 VINELAND RD.  
 SUITE E-1  
 ORLANDO, FL 32811  
 INFO@RDCFLA.COM

Item 5.



**BEAM 3: (3) PLY 1-3/4"X12" LVL**

*Item 5.*

BEAM SCHEDULE		
BEAM 1:	(2) 2X12'S W/ 1/2" PLYWD. FLITCH PLATE	
BEAM 2:	(2) PLY 1-3/4"X12" LVL	
BEAM 3:	(3) PLY 1-3/4"X12" LVL	

Truss Connector Total List		
Manuf	Product	Qty
Simpson	HGUS28-2	1
Simpson	HHUS46	11
	HUS26	1
Simpson	THA422	2

Products					
PlotID	Length	Product	Plies	Net Qty	Fab Type
FB01	20' 0"	1-3/4" x 16" VERSA-LAM® 2.0 3100 SP	2	2	FF
FB03	20' 0"	1-3/4" x 16" VERSA-LAM® 2.0 3100 SP	2	2	FF

### ATTIC VENTILATION CALCULATIONS

PER FBC 2020 11TH EDITION R306: MIN. 40% - MAX. 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).

THE MINIMUM NET VENTILATION AREA SHALL BE 1/300 OF VENTED SPACE:

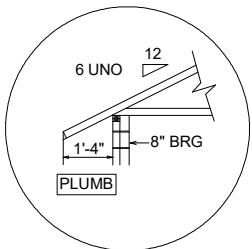
TOTAL VENTED SPACE:  $\frac{19795\text{F.}}{300} = \frac{6.595\text{F.}}{\text{REQUIRED}}$

UPPER PORTION VENTILATION TOTAL: **2.595F.**  
PROVIDED W/OFF RIDGE VENTS: **3** VENTS @ **0.855F./VENT.**  
(TILE: O'HAGIN MODEL 'S' (.855F.), SHINGLE: LOMANCO 110-D (4"=.1955F., 6"=.215F.)  
LOWER PORTION VENTILATION TOTAL: **16.70**  
PROVIDED W/SOFFITS @ EAVE: **192LF.** @ **0.0875F./VENTING/L.F.**

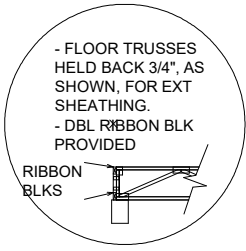
UPPER PORTION PERCENTAGE: **50%**  
LOWER PORTION PERCENTAGE: **50%**

### NOTES

- TYPICAL ROOF GABLE OVERHANG TO BE **9"** UNLESS OTHERWISE NOTED.
- TYPICAL ROOF EAVES OVERHANG TO BE **16"** UNLESS OTHERWISE NOTED.
- PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IAW THE 2020 11TH EDITION FBCR. PROVIDE ROOF VALLEY FLASHING IAW FBCR R303.2
- ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZED BY TRUSS MANUFACTURER OR FL. REG. ENG.
- TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTCA BC51.1.
- REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
- TILE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.3.3  
OR  
SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.1.1.



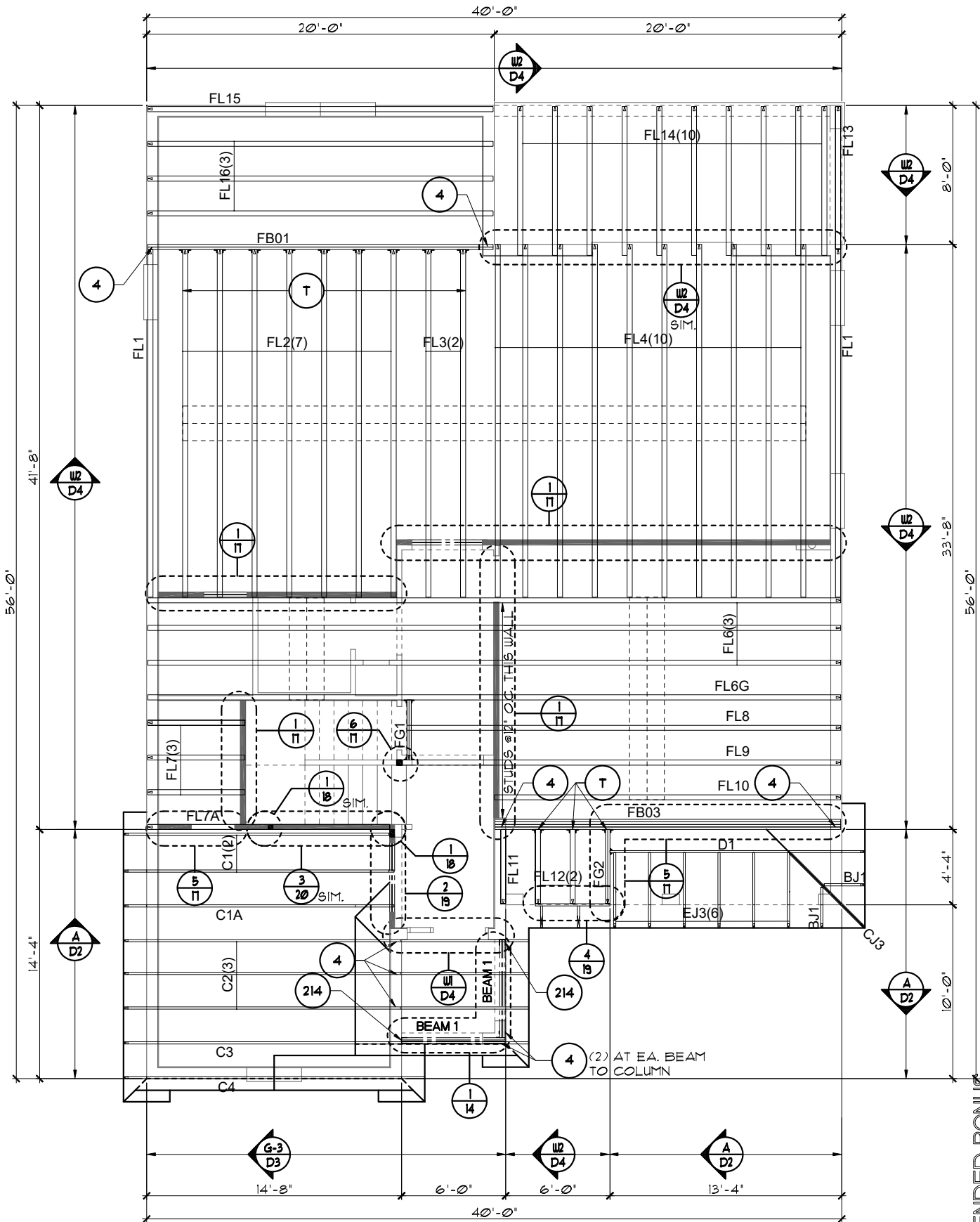
O/H DETAIL  
[1X]



FLOOR DBL RIBBON  
BLK DETAIL  
[1X]

### TRUSS LAYOUT "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION B - EXTENDED BONUS

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 11TH EDITION

### LOT SPECIFIC INFORMATION

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Item 5.

Engineering By:  
PRABHAKAR N. JAGTAP, P.E.  
5830 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
INFO@RDCFLA.COM  
J.JAGTAP@RDCFLA.COM

DREAM FINDERS  
THE MAKERS OF A QUALITY HOME

TRUSS LAYOUT

2718 BISCAYNE  
DREAM FINDERS HOMES

DATE 07-31-19  
SCALE AS NOTED  
DRAWN RDC  
JOB 2718  
130  
TIA.1  
OF 26 SHEETS

BEAM SCHEDULE		
BEAM 1:	(2) 2X12'S W/ 1/2" PLYWD. FLITCH PLATE	
BEAM 2:	(2) PLY 1-3/4"X12" LVL	
BEAM 3:	(3) PLY 1-3/4"X12" LVL	

Truss Connector Total List		
Manuf	Product	Qty
Simpson	HGUS28-2	1
Simpson	HHUS46	11
	HUS26	1
Simpson	THA422	2

Products					
PlotID	Length	Product	Plies	Net Qty	Fab Type
FB01	20' 0"	1-3/4" x 16" VERSA-LAM® 2.0 3100 SP	2	2	FF
FB03	20' 0"	1-3/4" x 16" VERSA-LAM® 2.0 3100 SP	2	2	FF

### ATTIC VENTILATION CALCULATIONS

PER FBC 2020 11TH EDITION R306: MIN. 40% - MAX. 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).

THE MINIMUM NET VENTILATION AREA SHALL BE 1/300 OF VENTED SPACE:

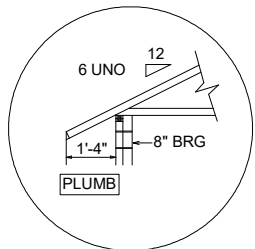
TOTAL VENTED SPACE:  $\frac{19795\text{F.}}{300} = \underline{6.595\text{F.}}$  NET FREE REQUIRED

UPPER PORTION VENTILATION TOTAL: 2.595F.  
PROVIDED W/OFF RIDGE VENTS: 3 VENTS @ 0.855F. /VENT.  
(TILE: O'HAGIN MODEL 'S' (.855F.), SHINGLE: LOMANCO 110-D (4"=.1955F., 6"=.315F.)  
LOWER PORTION VENTILATION TOTAL: 16.70  
PROVIDED W/SOFFITS @ EAVE: 192LF. @ 0.0875F. VENTING/L.F.

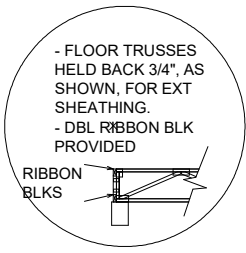
UPPER PORTION PERCENTAGE: 50%  
LOWER PORTION PERCENTAGE: 50%

### NOTES

- TYPICAL ROOF GABLE OVERHANG TO BE **9"** UNLESS OTHERWISE NOTED.
- TYPICAL ROOF EAVES OVERHANG TO BE **16"** UNLESS OTHERWISE NOTED.
- PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE & IAW THE 2020 11TH EDITION FBCR. PROVIDE ROOF VALLEY FLASHING IAW FBCR R303.2
- ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZED BY TRUSS MANUFACTURER OR FL. REG. ENG.
- TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTCA BC51.1.
- REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
- TILE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.3.3  
OR  
SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.1.1.



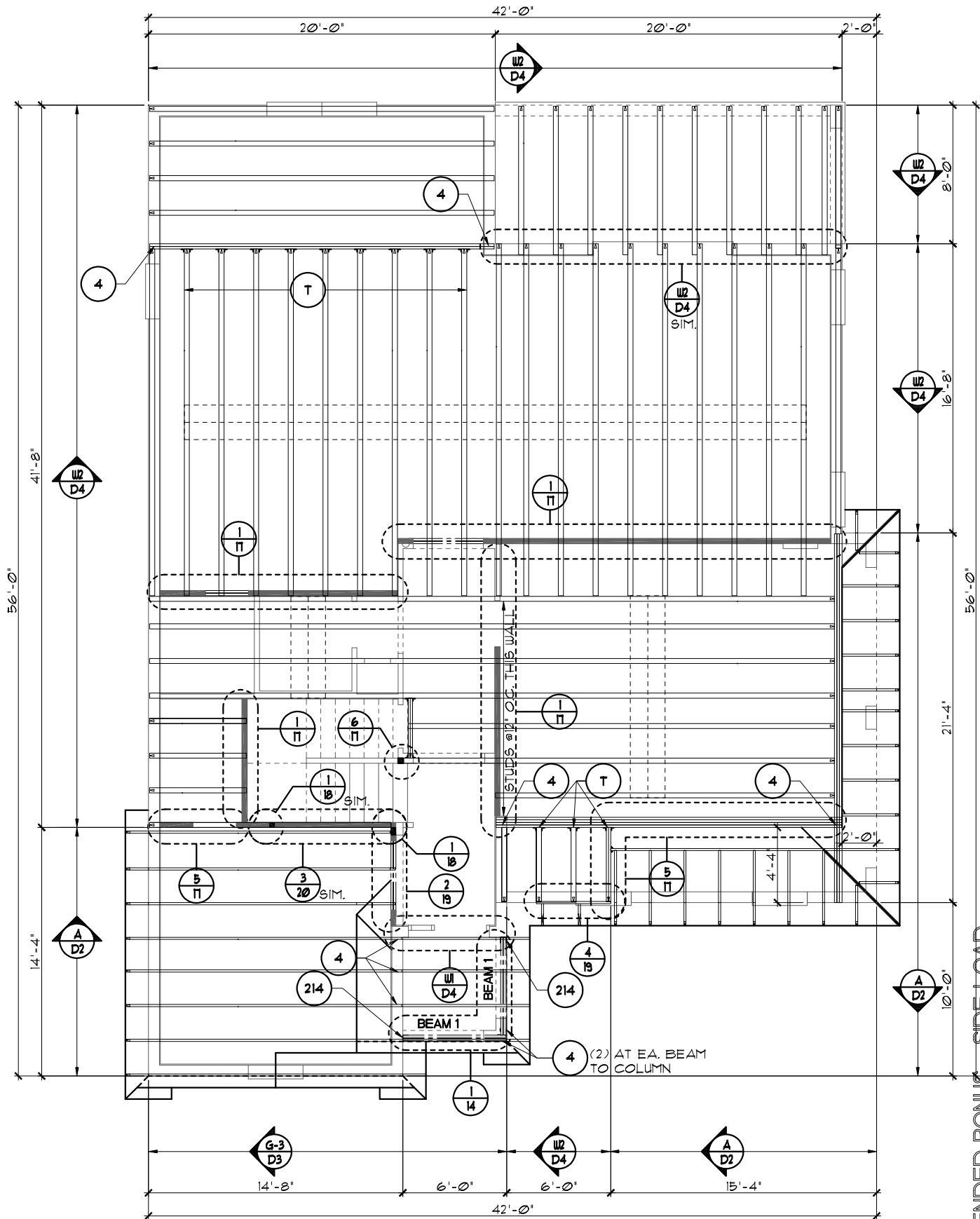
O/H DETAIL  
[1X]



FLOOR DBL RIBBON  
BLK DETAIL  
[1X]

## TRUSS LAYOUT "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION B - EXTENDED BONUS - SIDE LOAD

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 11TH EDITION

### LOT SPECIFIC INFORMATION

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

131

OF 26 SHEETS

2718 BISCAVNE

DREAM FINDERS HOMES

Engineering By:  
PRABHAKAR N. JAGTAP, P.E.  
5830 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
INFO@RDCFLA.COM

DREAM FINDERS  
THE MAKERS OF A QUALITY HOME

Item 5.

LA: 10-18-21 BY: RP

CODE 2020

REVISIONS 09-22-21

BY: DH







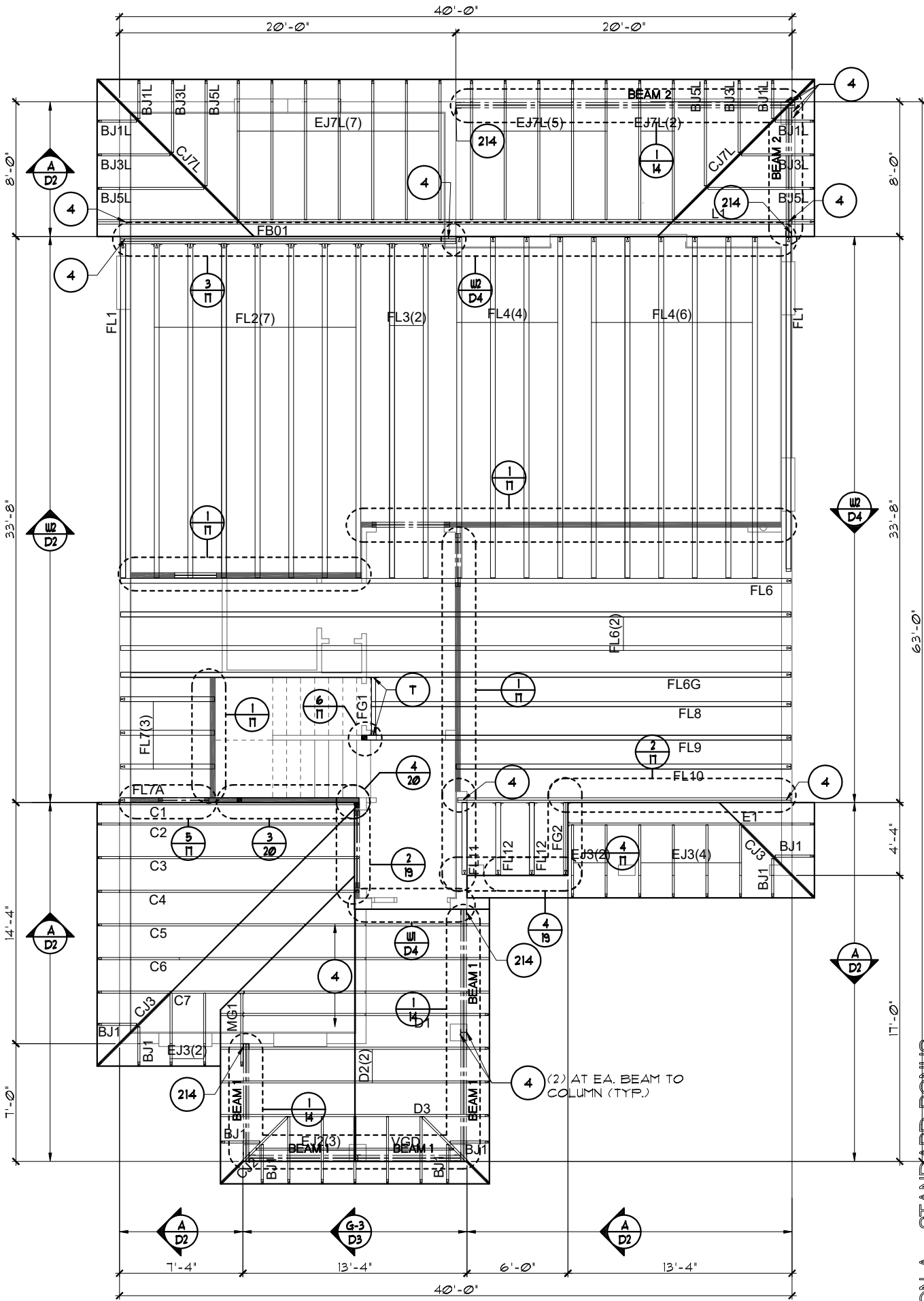
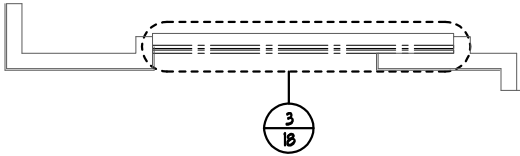
BEAM SCHEDULE	
BEAM 1:	(2) 2X12'S W/ 1/2" PLYWD. FLITCH PLATE
BEAM 2:	(2) PLY 1-3/4"X12" LVL
BEAM 3:	(3) PLY 1-3/4"X12" LVL

ATTIC VENTILATION CALCULATIONS	
PER FBC 2020 11TH EDITION R306: MIN. 40% - MAX. 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).	
THE MINIMUM NET VENTILATION AREA SHALL BE 1/300 OF VENTED SPACE:	
TOTAL VENTED SPACE:	1979S.F. = 6.59S.F. NET FREE REQUIRED
UPPER PORTION VENTILATION TOTAL: 2.59S.F. PROVIDED W/OFF RIDGE VENTS: 3 VENTS @ 0.85S.F./VENT. (TILE: O'HAGIN MODEL 'S' (.85S.F.), SHINGLE: LOMANCO 110-D (4"=.19S.F., 6"=.31S.F.)	
LOWER PORTION VENTILATION TOTAL: 16.70 PROVIDED W/SOFFITS @ EAVE: 192L.F. @ 0.087S.F./VENTING/L.F.	
UPPER PORTION PERCENTAGE:	50%
LOWER PORTION PERCENTAGE:	50%

NOTES	
1.	TYPICAL ROOF GABLE OVERHANG TO BE 9" UNLESS OTHERWISE NOTED.
2.	TYPICAL ROOF EAVES OVERHANG TO BE 16" UNLESS OTHERWISE NOTED.
3.	PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IAW THE 2020 11TH EDITION FBCR. PROVIDE ROOF VALLEY FLASHING IAW FBCR R303.2
4.	ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZED BY TRUSS MANUFACTURER OR FL. REG. ENG.
5.	TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTCA BC51 I.
6.	REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
7.	TILE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.3.3 OR SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.1.1.

TRUSS LAYOUT "B"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



**BEAM 3:** (3) PLY 1-3/4"X12" LVL

*Item 5.*

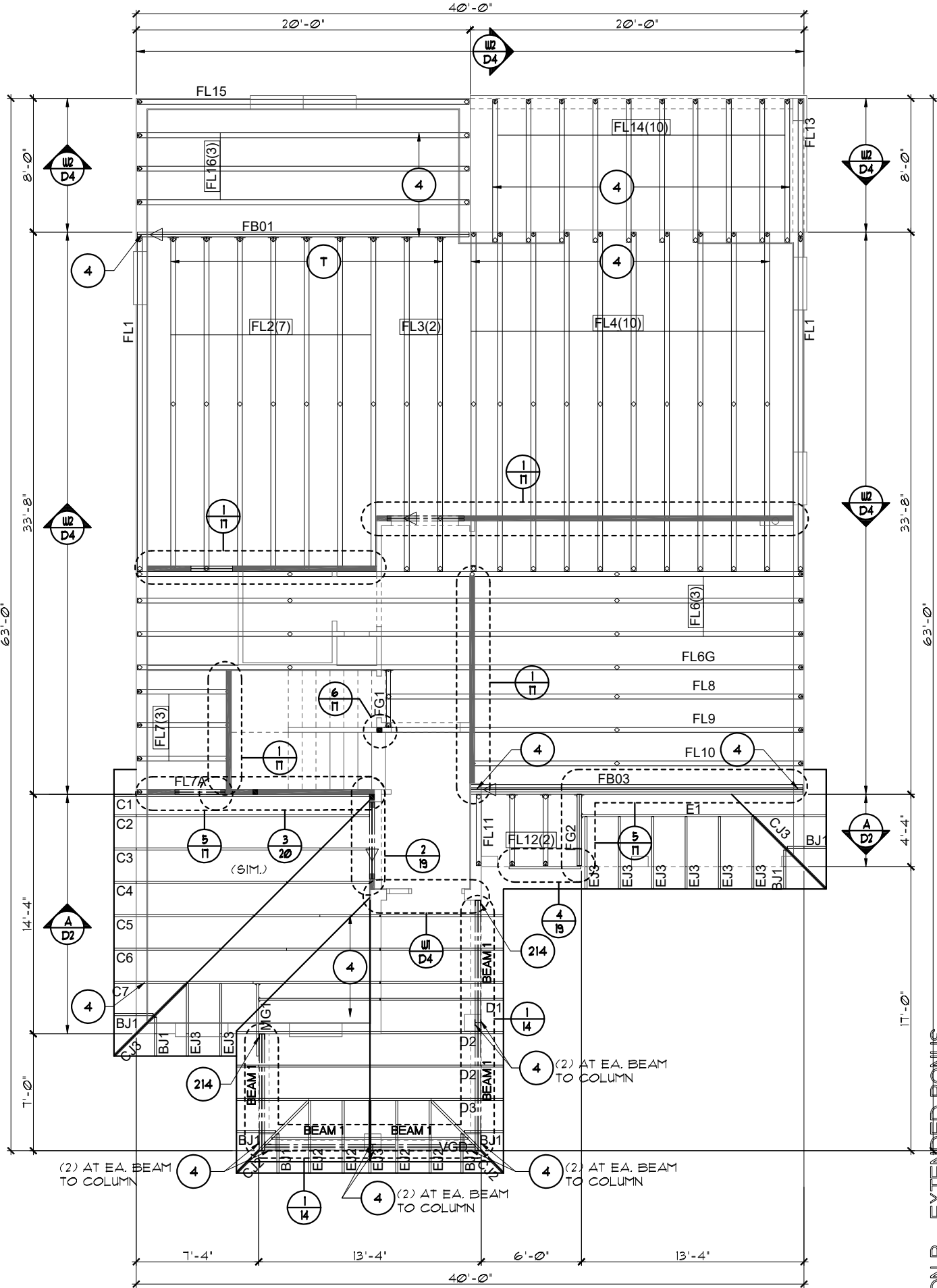
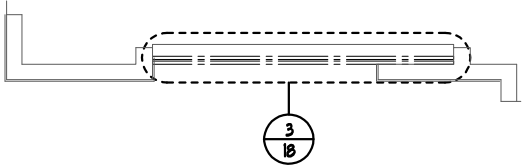
BEAM SCHEDULE	
BEAM 1:	(2) 2X12'S W/ 1/2" PLYWD. FLITCH PLATE
BEAM 2:	(2) PLY 1-3/4"X12" LVL
BEAM 3:	(3) PLY 1-3/4"X12" LVL

ATTIC VENTILATION CALCULATIONS	
PER FBC 2020 11TH EDITION R306: MIN. 40% - MAX. 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).	
THE MINIMUM NET VENTILATION AREA SHALL BE 1/300 OF VENTED SPACE:	
TOTAL VENTED SPACE:	$\frac{19795\text{F.}}{300} = 6.595\text{F.}$ NET FREE REQUIRED
UPPER PORTION VENTILATION TOTAL: 2.595F. PROVIDED W/OFF RIDGE VENTS: 3 VENTS @ 0.855F./VENT. (TILE: O'HAGIN MODEL 'S' (855F.), SHINGLE: LOMANCO T10-D (4" x 1955F., 6" x 815F.) LOWER PORTION VENTILATION TOTAL: 16.70 PROVIDED W/OFFITS @ EAVE: 192LF. @ 0.0875F./VENTING/L.F.	
UPPER PORTION PERCENTAGE:	50%
LOWER PORTION PERCENTAGE:	50%

NOTES	
1.	TYPICAL ROOF GABLE OVERHANG TO BE 9" UNLESS OTHERWISE NOTED.
2.	TYPICAL ROOF EAVES OVERHANG TO BE 16" UNLESS OTHERWISE NOTED.
3.	PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IAW THE 2020 11TH EDITION FBCR. PROVIDE ROOF VALLEY FLASHING IAW FBCR R303.2
4.	ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZED BY TRUSS MANUFACTURER OR FL. REG. ENG.
5.	TRUSSES SHALL BE BRACED TO PRE- VENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTCA BC51 I.
6.	REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
7.	TILE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.3.3 OR SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.1.1.

TRUSS LAYOUT "B"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION B - EXTENDED BONUS

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 11TH EDITION

LOT SPECIFIC INFORMATION

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

135

OF 26 SHEETS

Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
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DREAM FINDERS  
THE MAKERS OF A QUALITY HOME

TRUSS LAYOUT

2718 BISCAYNE  
DREAM FINDERS HOMES

Item 5.

1A: 10-19-21

BY: DH

REVISIONS: 09-22-21

CODE 2020





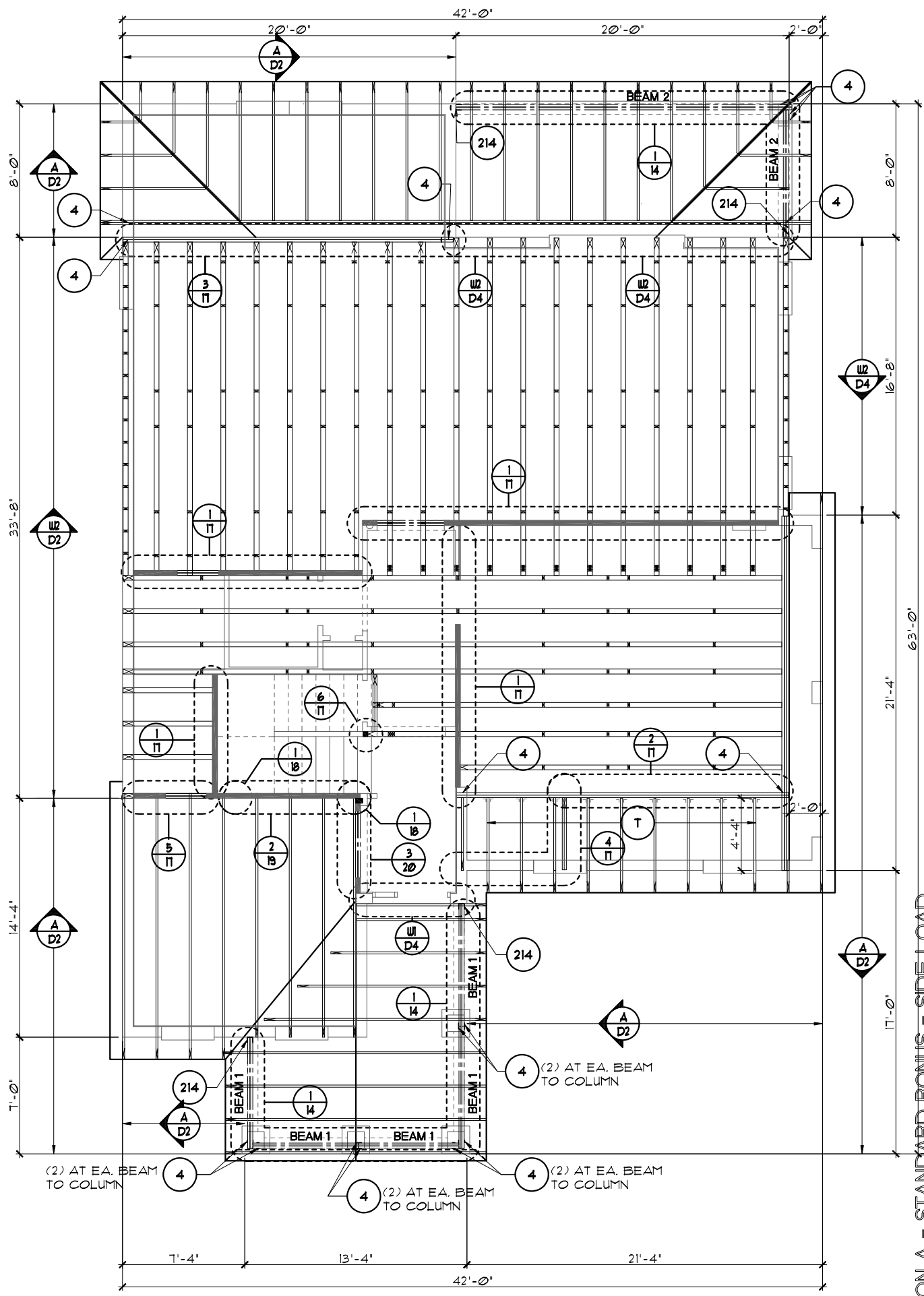


BEAM SCHEDULE	
BEAM 1:	(2) 2X12'S W/ 1/2" PLYWD. FLITCH PLATE
BEAM 2:	(2) PLY 1-3/4"X12" LVL
BEAM 3:	(3) PLY 1-3/4"X12" LVL

ATTIC VENTILATION CALCULATIONS	
PER FBC 2020 11TH EDITION R306: MIN. 40% - MAX. 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).	
THE MINIMUM NET VENTILATION AREA SHALL BE 1/300 OF VENTED SPACE:	
TOTAL VENTED SPACE:	$\frac{19795\text{F.}}{300} = 6.595\text{F.}$ NET FREE REQUIRED
UPPER PORTION VENTILATION TOTAL: 2.595F. PROVIDED W/OFF RIDGE VENTS: 3 VENTS @ 0.855F./VENT. (TILE: O'HAGIN MODEL 'S' (.855F.), SHINGLE: LOMANCO 110-D (4"=.1985F., 6"=.315F.)	
LOWER PORTION VENTILATION TOTAL: 16.70 PROVIDED W/SOFFITS @ EAVE: 192LF. @ 0.0875F./VENTING/L.F.	
UPPER PORTION PERCENTAGE:	50%
LOWER PORTION PERCENTAGE:	50%

NOTES	
1.	TYPICAL ROOF GABLE OVERHANG TO BE 9" UNLESS OTHERWISE NOTED.
2.	TYPICAL ROOF EAVES OVERHANG TO BE 16" UNLESS OTHERWISE NOTED.
3.	PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IAW THE 2020 11TH EDITION FBCR. PROVIDE ROOF VALLEY FLASHING IAW FBCR R303.2
4.	ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZED BY TRUSS MANUFACTURER OR FL. REG. ENG.
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TRUSS LAYOUT "C"  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION A - STANDARD BONUS - SIDE LOAD

LA: 10-18-21 BY: RP

Item 5.

Engineering By:  
PRASHANT N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

DREAM FINDERS  
THE MAKERS OF A QUALITY HOME

TRUSS LAYOUT

2718 BISCAYNE  
DREAM FINDERS HOMES

LOT SPECIFIC INFORMATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 11TH EDITION

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

138

OF 26 SHEETS

REVISIONS 09-22-21 BY: DH

CODE 2020

LA: 10-18-21 BY: RP

LA: 10-18-21 BY: RP

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2718





## ATTIC VENTILATION CALCULATIONS

PER FBC 2020 11TH EDITION R306: MIN. 40% - MAX. 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).

THE MINIMUM NET VENTILATION AREA SHALL BE 1/300 OF VENTED SPACE:

TOTAL VENTED SPACE:  $\frac{19795\text{F.}}{300} = \underline{6.595\text{F.}}$  NET FREE REQUIRED

UPPER PORTION VENTILATION TOTAL: **2.595F.**  
PROVIDED W/OFF RIDGE VENTS: **3** VENTS @ **0.855F./VENT.**  
(TILE: O'HAGIN MODEL 'S' (255F.), SHINGLE: LOMANCO T10-D (4' x 1955F., 6' x 815F.)  
LOWER PORTION VENTILATION TOTAL: **16.70**  
PROVIDED W/SOFFITS @ EAVE: **192LF.** @ **0.0875F./VENTING/L.F.**

UPPER PORTION PERCENTAGE: **50%**  
LOWER PORTION PERCENTAGE: **50%**

## BEAM SCHEDULE

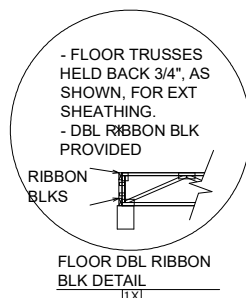
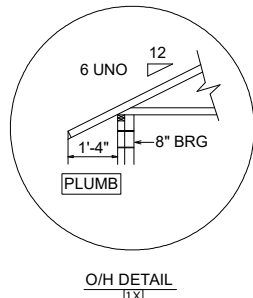
**BEAM 1:** (2) 2X12'S W/ 1/2" PLYWD. FLITCH PLATE

**BEAM 2:** (2) PLY 1-3/4"X12" LVL

**BEAM 3:** (3) PLY 1-3/4"X12" LVL

## Truss Connector Total List

Manuf	Product	Qty
Simpson	HGUS28-2	1
Simpson	HHUS46	9
Simpson	LUS24	9
Simpson	THA422	2



## Products

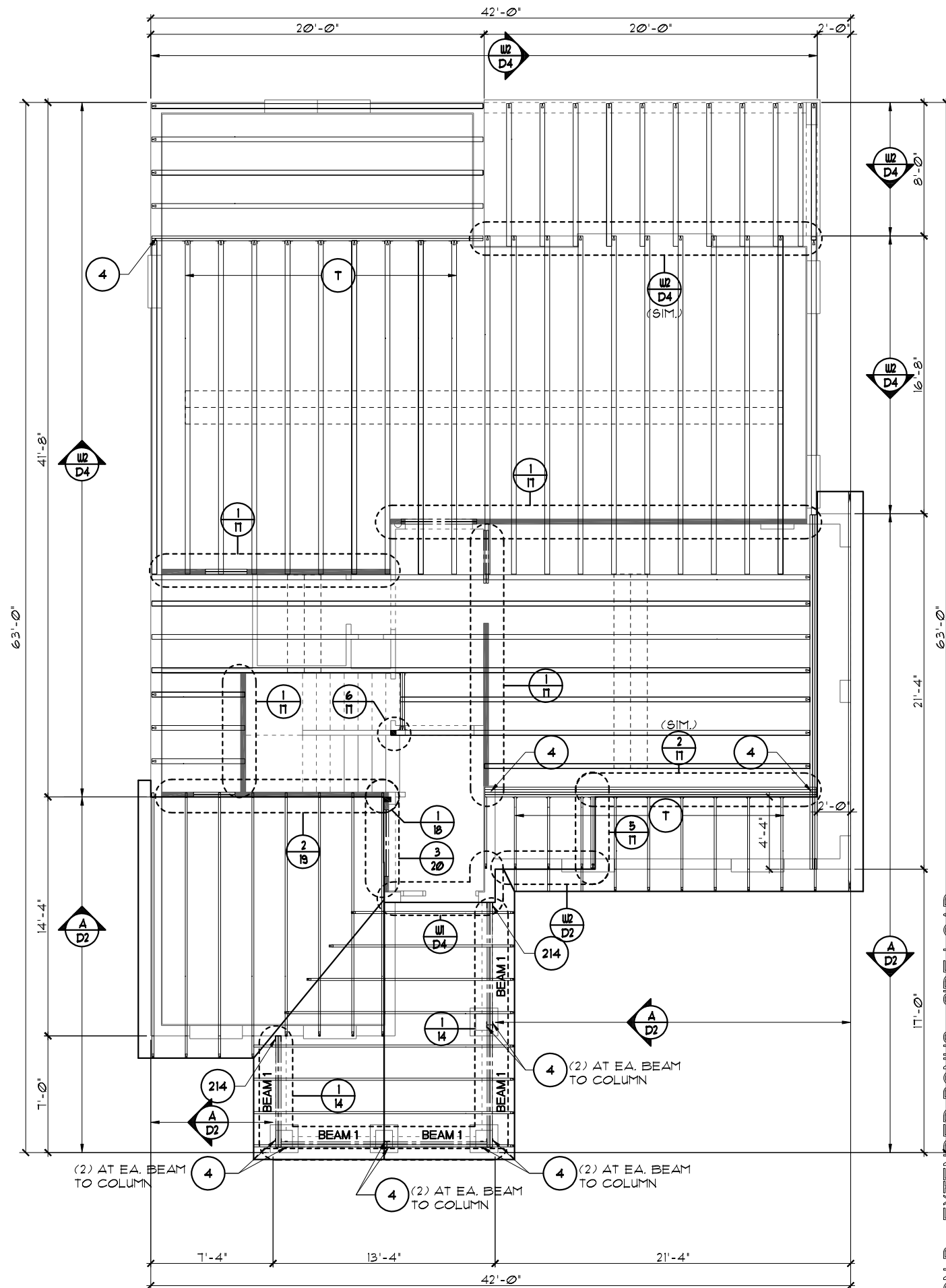
PlotID	Length	Product	Plies	Net Qty	Fab Type
FB01	20' 0"	1-3/4" x 16" VERSA-LAM® 2.0 3100 SP	2	2	FF
FB03	20' 0"	1-3/4" x 16" VERSA-LAM® 2.0 3100 SP	4	4	FF

## NOTES

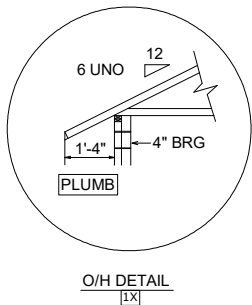
- TYPICAL ROOF GABLE OVERHANG TO BE **9"** UNLESS OTHERWISE NOTED.
- TYPICAL ROOF EAVES OVERHANG TO BE **16"** UNLESS OTHERWISE NOTED.
- PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/OR ACCEPTABLE INDUSTRY PRACTICE AND IAW THE 2020 11TH EDITION FBCR. PROVIDE ROOF VALLEY FLASHING IAW FBCR R303.2
- ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZED BY TRUSS MANUFACTURER OR FL. REG. ENG.
- TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTCA BC61 I.
- REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
- TILE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.3.3  
OR  
SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.1.1.

## TRUSS LAYOUT "C"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



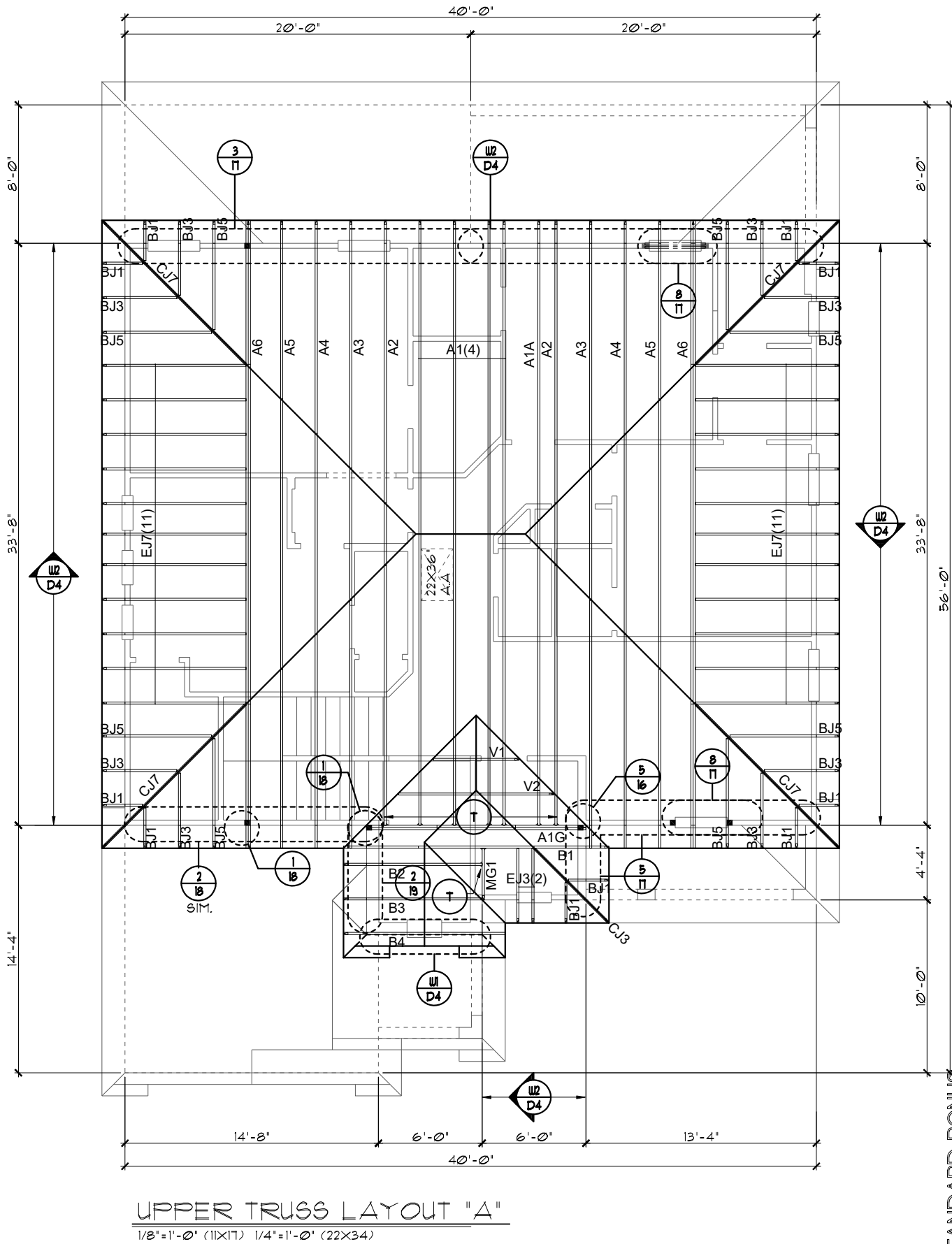




Truss Connector Total List		
Manuf	Product	Qty
	HUS26	7
	LUS24	2

NOTES

1. TYPICAL ROOF GABLE OVERHANG TO BE **9"** UNLESS OTHERWISE NOTED.
2. TYPICAL ROOF EAVES OVERHANG TO BE **16"** UNLESS OTHERWISE NOTED.
3. PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IAW THE 2020 11TH EDITION FBCR. PROVIDE ROOF VALLEY FLASHING IAW FBCR R303.2
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6. REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
7. TILE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.3.3  
OR  
SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.1.1.1.



UPPER TRUSS LAYOUT "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

OPTION A - STANDARD BONUS

LOT SPECIFIC INFORMATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 11TH EDITION

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Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
INFO@RDCFLA.COM  
J.JAGTAP@RDCFLA.COM

4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811

REVISIONS: 08-22-21

BY: DH

CODE 2020

LA: 10-19-21

BY: RP

2718 BISCAYNE

DREAM FINDERS HOMES

UPPER TRUSS LAYOUT



THE MAKERS OF A QUALITY HOME

Item 5.

- NOTES
1. TYPICAL ROOF GABLE OVERHANG TO BE **9"** UNLESS OTHERWISE NOTED.

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3. PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IAW THE 2020 11TH EDITION FBCR. PROVIDE ROOF VALLEY FLASHING IAW FBCR R303.2

4. ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZED BY TRUSS MANUFACTURER OR FL. REG. ENG.

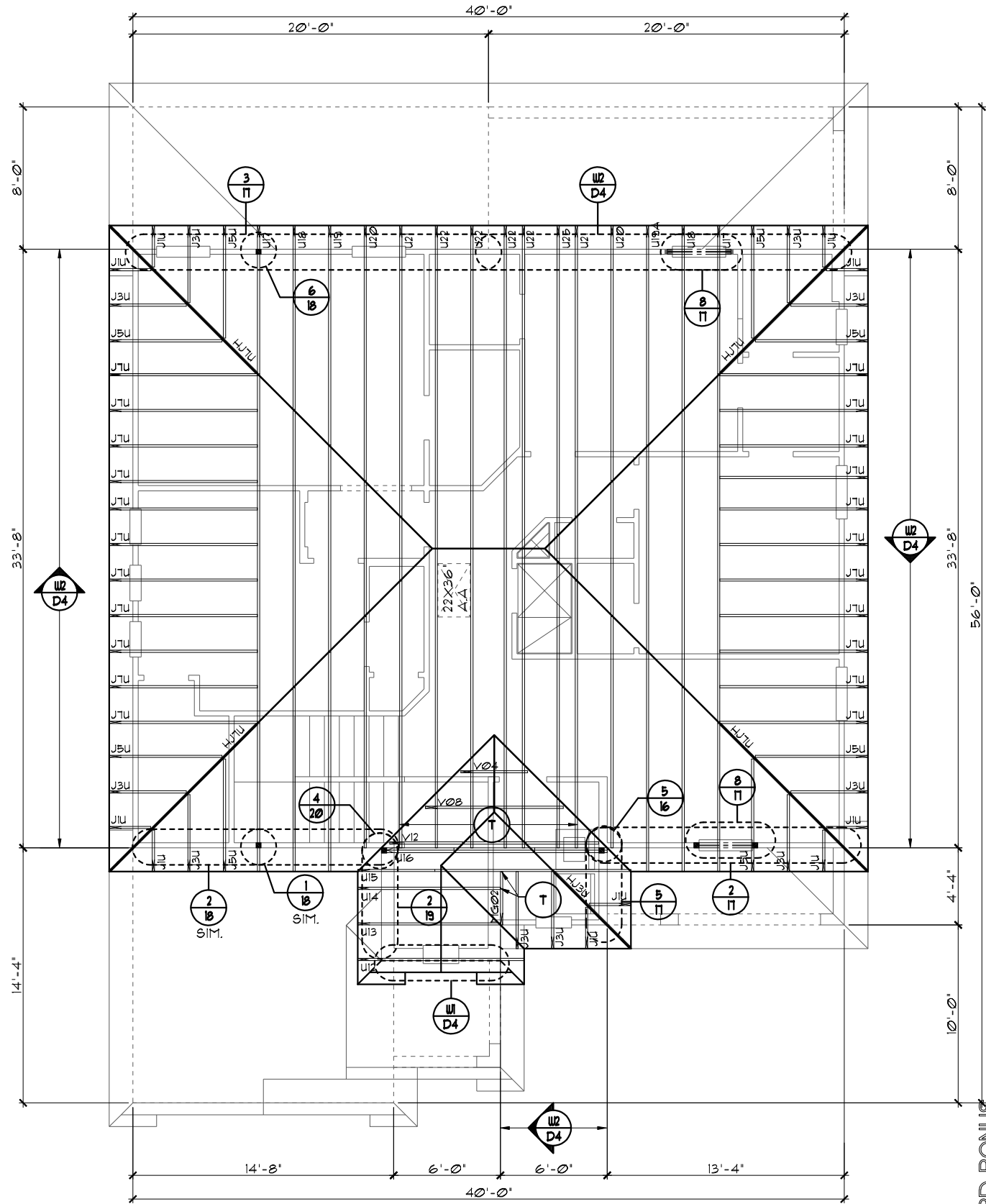
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6. REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.

7. TILE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.3.3  
OR  
SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.1.1.1.

UPPER TRUSS LAYOUT "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION A - STANDARD BONUS

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DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

142

OF 26 SHEETS

2718 BISCAYNE

DREAM FINDERS HOMES

UPPER TRUSS LAYOUT

Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
INFO@RDCFLA.COM  
J.JAGTAP@RDCFLA.COM

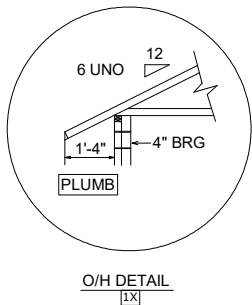
DREAM FINDERS  
THE MARK OF A QUALITY HOME

REVISIONS 09-22-21 BY: DH

CODE 2020

LA: 10-10-21 BY: RP

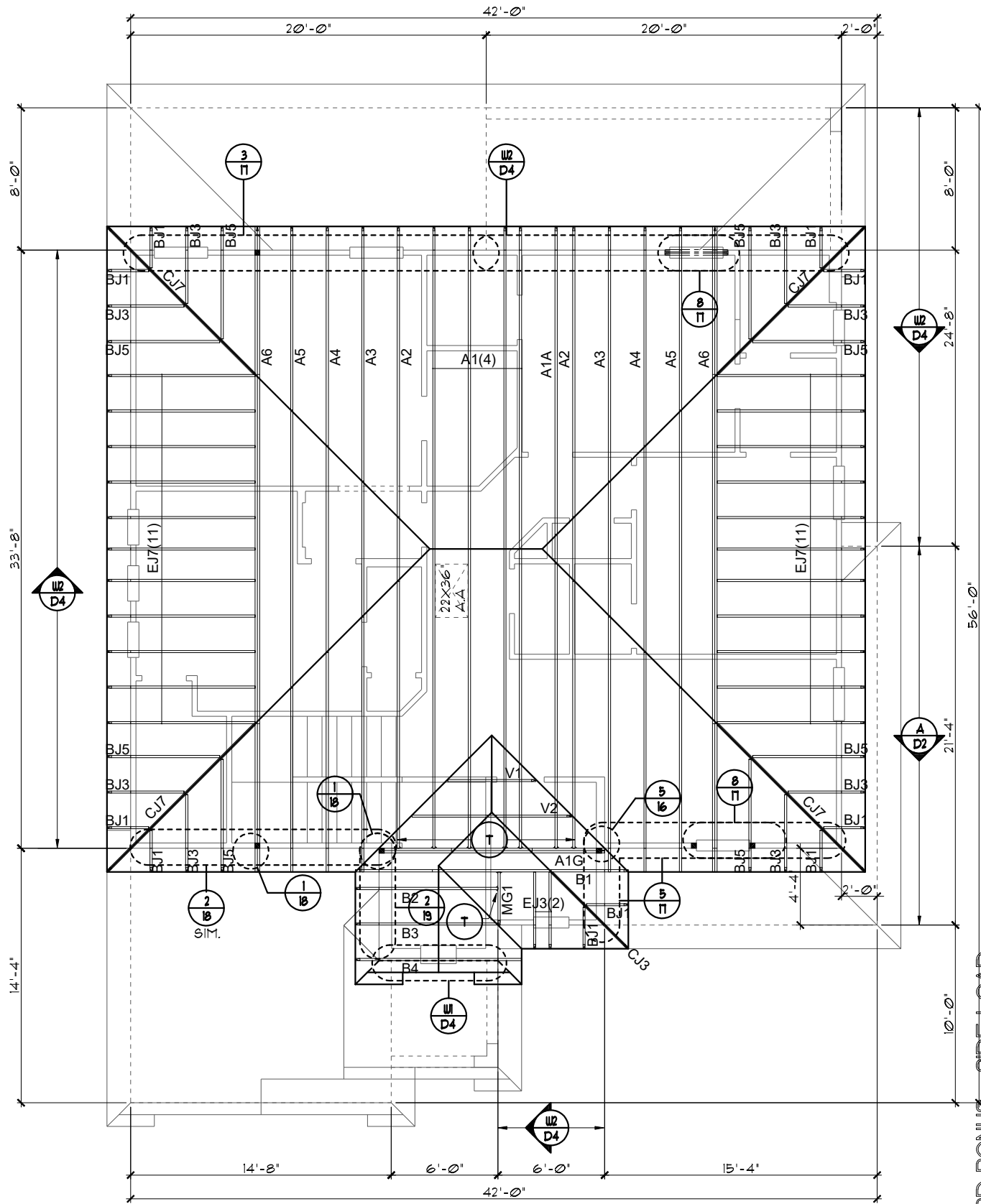
Item 5.



Truss Connector Total List		
Manuf	Product	Qty
	HUS26	7
	LUS24	2

#### NOTES

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2. TYPICAL ROOF EAVES OVERHANG TO BE **16"** UNLESS OTHERWISE NOTED.
3. PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IAW THE 2020 11TH EDITION FBCR. PROVIDE ROOF VALLEY FLASHING IAW FBCR R303.2
4. ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZED BY TRUSS MANUFACTURER OR FL. REG. ENG.
5. TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTCA BC61 I.
6. REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
7. TILE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.3.3  
OR  
SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.1.1.1.



#### UPPER TRUSS LAYOUT "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

OPTION A - STANDARD BONUS - SIDE LOAD

LOT SPECIFIC INFORMATION

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PRABHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
INFO@RDCFLA.COM  
J.JAGTAP@RDCFLA.COM

CODE 2020

REVISIONS: 08-22-21

BY: DH

1A: 10-19-21

BY: RP

2718 BISCAYNE

DREAM FINDERS HOMES

UPPER TRUSS LAYOUT



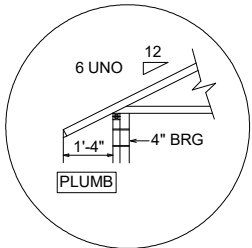
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5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
INFO@RDCFLA.COM  
J.JAGTAP@RDCFLA.COM

4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811  
INFO@RDCFLA.COM

Item 5.

143

26 SHEETS



O/H DETAIL  
1X

Truss Connector Total List

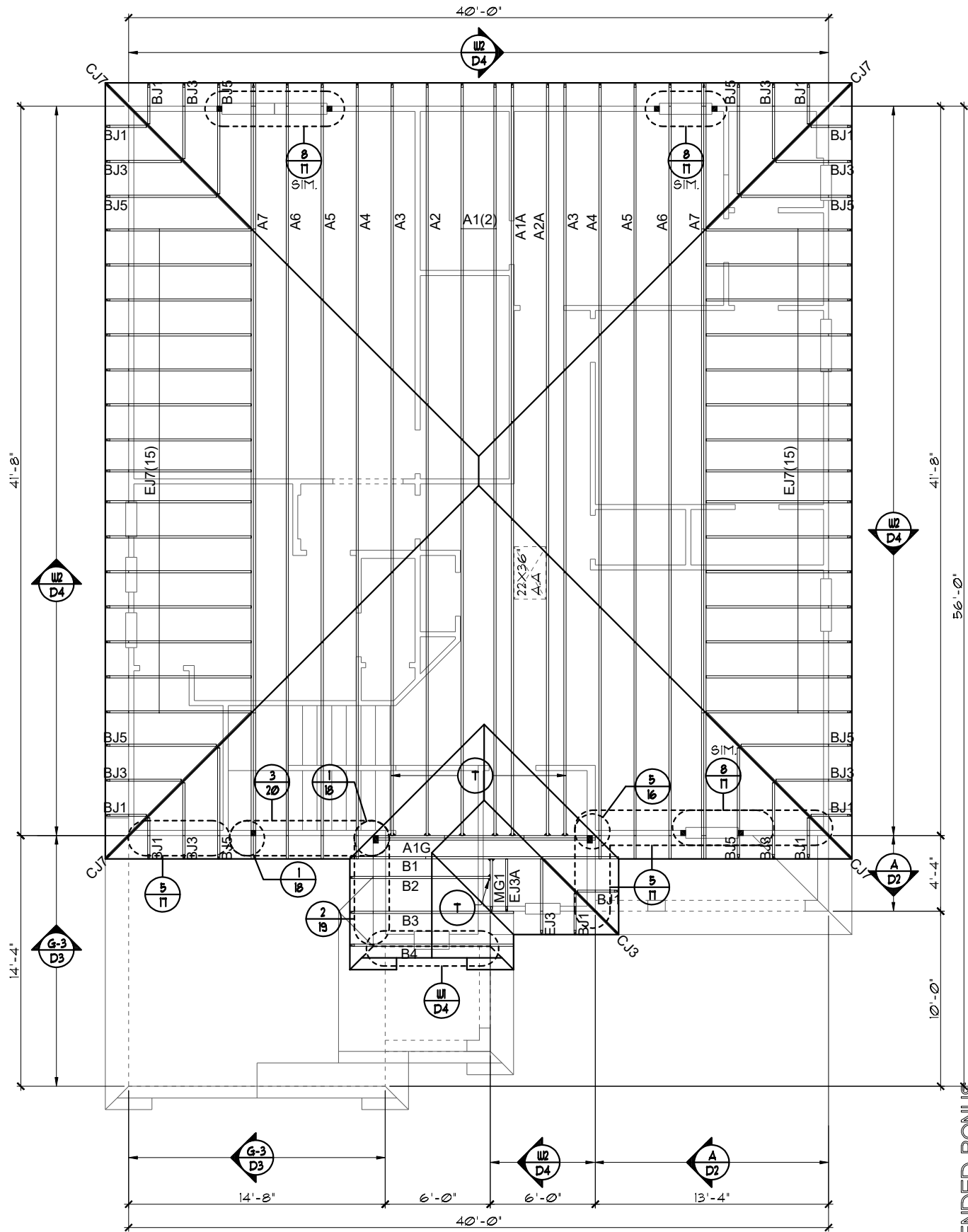
Manuf	Product	Qty
	HUS26	7
	LUS24	2

NOTES

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5. TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTCA BC61 I.
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7. TILE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.3.3  
OR  
SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.1.1.1.

UPPER TRUSS LAYOUT "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION B - EXTENDED BONUS

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 11TH EDITION

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DATE07-31-19

SCALEAS NOTED

DRAWNRDC

JOB2718

144

12A.1

OF 26 SHEETS

2718 BISCAYNE

DREAM FINDERS HOMES

UPPER TRUSS LAYOUT

Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
INFO@RDCFLA.COM  
J.JAGTAP@RDCFLA.COM

DREAM FINDERS  
THE MAKERS OF A QUALITY HOME

REVISIONS: 08-22-21

BY: DH

CODE 2020

LA: 10-19-21

BY: RP

Item 5.





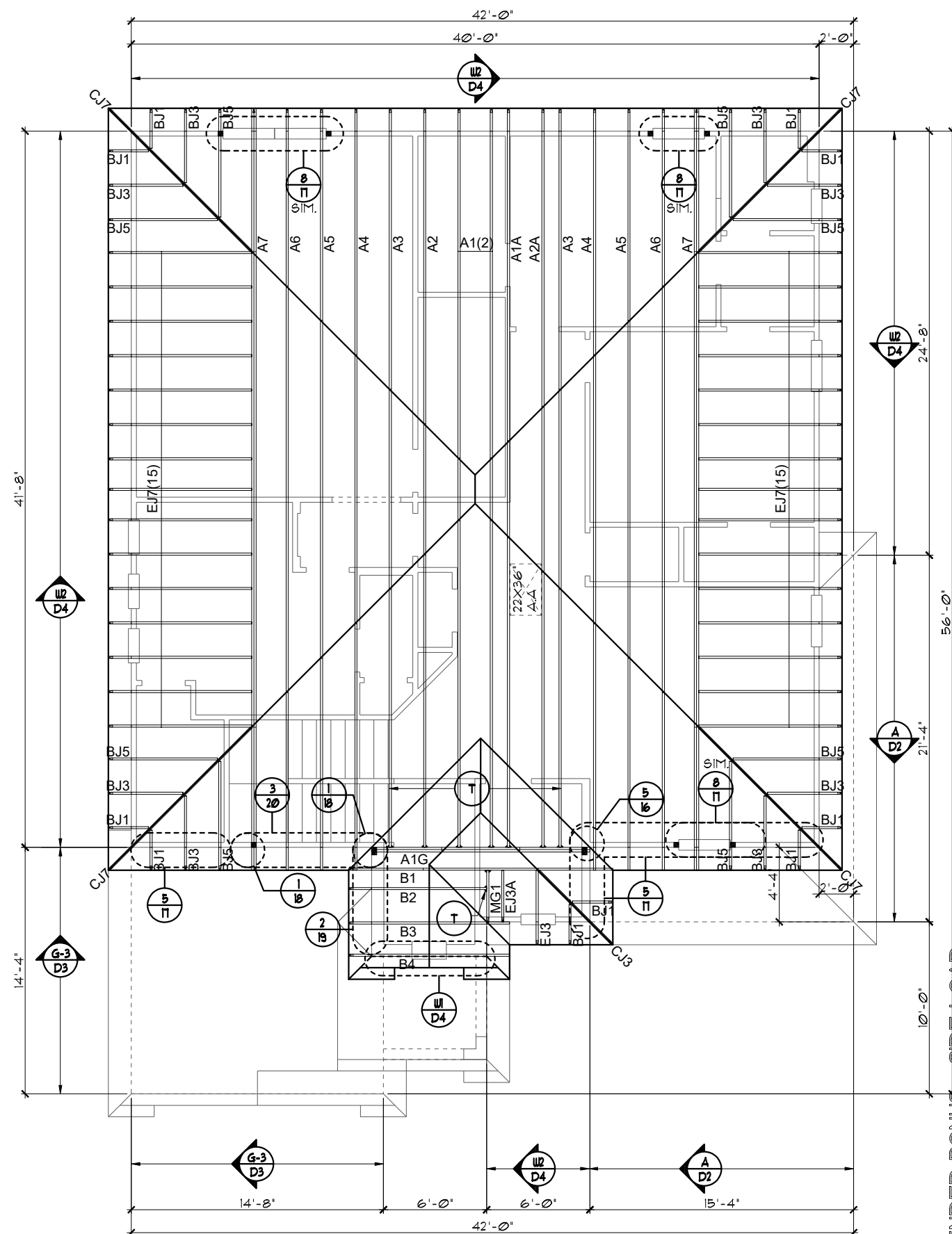
Truss Connector Total List		
Manuf	Product	Qty
	HUS26	7
	LUS24	2

## NOTES

1. TYPICAL ROOF GABLE OVERHANG  
TO BE **9'** UNLESS OTHERWISE NOTED.
2. TYPICAL ROOF EAVES OVERHANG  
TO BE **16"** UNLESS OTHERWISE NOTED.
3. PROVIDE AND INSTALL FLASHING AND  
ROOFING AS PER NATIONAL ROOFING  
AND SHEET METAL ASSOC. STANDARDS  
AND/ OR ACCEPTABLE INDUSTRY  
PRACTICE AND IAW THE 2020 1TH  
EDITION FBCR. PROVIDE ROOF VALLEY  
FLASHING IAW FBCR R303.2
4. ALL ROOF TRUSSES, GIRDERS, BEAMS,  
HEADERS, ETC. TO BE SIZED BY TRUSS  
MANUFACTURER OR FL. REG. ENG.
5. TRUSSES SHALL BE BRACED TO PRE-  
VENT ROTATION & PROVIDE LATERAL  
STABILITY IN ACCORDANCE WITH THE  
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DESIGN DRAWINGS. IN THE ABSENCE OF  
SPECIFIC BRACING REQUIREMENTS,  
TRUSSES SHALL BE BRACED IN  
ACCORDANCE WITH TPI/WTCA BCS1 I.
6. REFER TO TRUSS MANUFACTURER'S  
DRAWINGS FOR TRUSS PLACEMENT &  
TRUSS TO TRUSS CONNECTIONS.
7. TILE ROOF: UNDERLAYMENT TO BE  
INSTALLED IAW FBCR 2020, 1TH  
EDITION R305.3.3  
OR  
SHINGLE ROOF: UNDERLAYMENT TO BE  
INSTALLED IAW FBCR 2020, 1TH EDITION  
R305.1.1.1.

## UPPER TRUSS LAYOUT "A"

$1/8'' = 1' - 0''$  (11X17)     $1/4'' = 1' - 0''$  (22X34)



## OPTION B - EXTENDED BONUS\* - SIDE LOAD

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WIND  
LOT SPECIFIC INFORMATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 7TH EDITION

CODE 2020	REVISIONS: 09-22-21	BY: DH
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REVISIONS: 09-22-21	BY: DH
---------------------	--------

**Engineering By:**  
**PRABHAKAR N. JAGTAP, P.E.**  
**5890 MARLBERRY DRIVE**  
**ORLANDO, FL 32819**  
**PHONE: 407-345-0010**  
**JJAGTAP@RDCFLA.COM**

**4301 VINELAND RD.**



**DREAM FINDERS**  
THE MARK OF A QUALITY HOME

## UPPER TRUSS LAYOUT

2718 BISCAINE

DREAM FINDERS HOMES

DATE 07-31-19

SCALE AS NOTED

DRAW RDC

JOB 2718

145

OF 26 SHEETS

*Item 5.*

- NOTES
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4. ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZED BY TRUSS MANUFACTURER OR FL. REG. ENG.

5. TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTCA BC61 I.

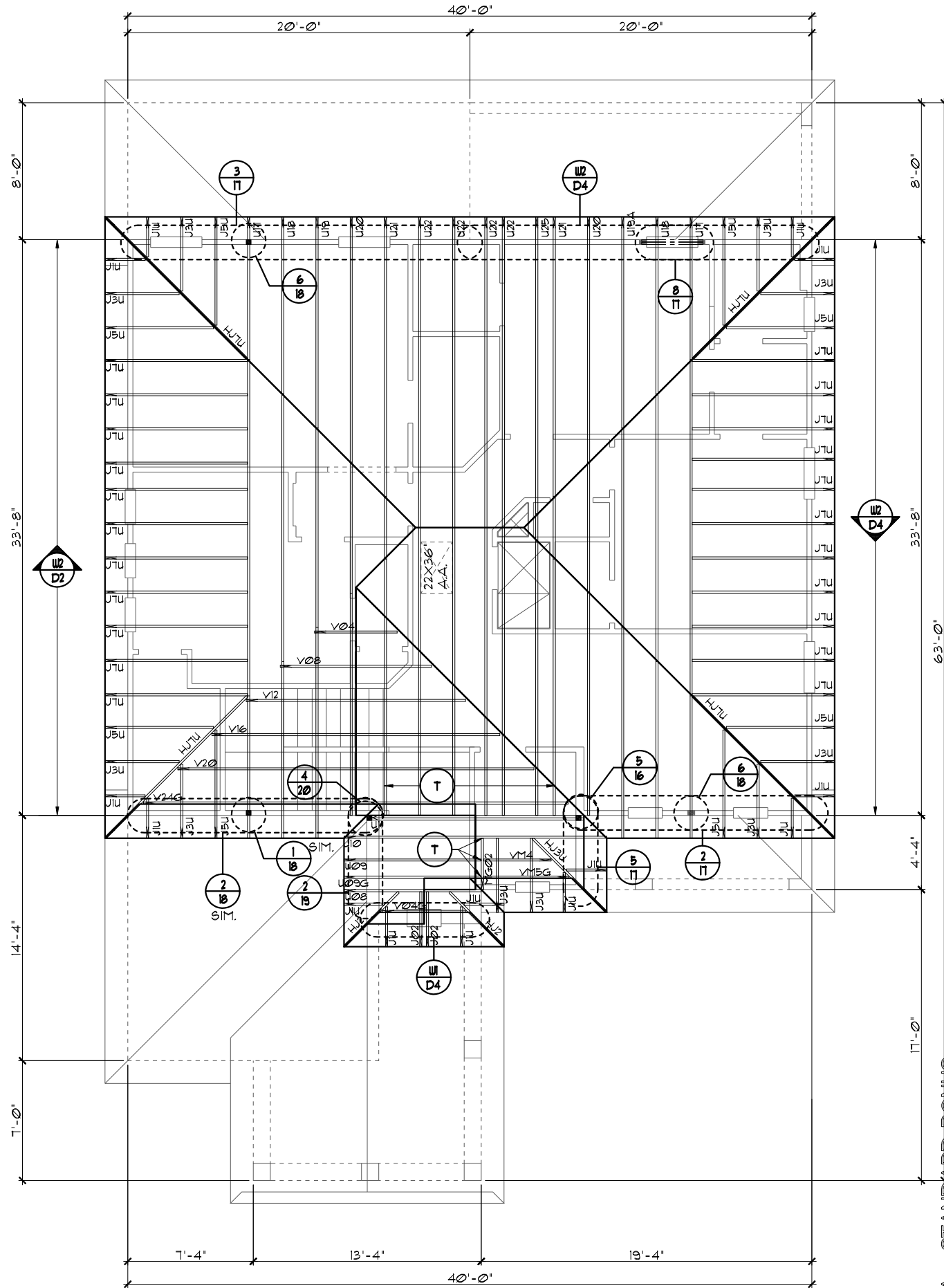
6. REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.

7. TILE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R905.3.3  
OR  
SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R905.1.1.1.

UPPER TRUSS LAYOUT "B"

1/8"=1'-0" (11X17)

1/4"=1'-0" (22X34)



OPTION A - STANDARD BONUS

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 11TH EDITION

LOT SPECIFIC INFORMATION

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

146

12B.0

OF 26 SHEETS

UPPER TRUSS LAYOUT

2718 BISCAVNE

DREAM FINDERS HOMES

Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
INFO@RDCFLA.COM  
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DREAM FINDERS  
THE MAKERS OF A QUALITY HOME

Item 5.

REVISIONS 09-22-21

BY: DH

CODE 2020

LA: 10-19-21

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OR  
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INSTALLED IAW FBCR 2020, 1TH EDITION  
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$1/8" = 1' - 0" \text{ (11} \times 17)$      $1/4" = 1' - 0" \text{ (22} \times 34)$



THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 7TH EDITION

**LOT SPECIFIC INFORMATION**

REVISIONS 09-22-21	BY: DH
<b>CODE 2020</b>	

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2718 BISCAYNE  
DREAM FINDERS HOMES

## UPPER TRUSS LAYOUT



Engineering By:  
PRABHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
JJAGTAP@RDCFLA.COM

4301 VINELAND RD  
SUITE: E-1  
ORLANDO, FL 32819  
INFO@RDCFLA.COM

The logo for RDC (Rajiv D. Chaudhary) is located in the bottom right corner. It features a stylized, large letter 'R' in a dark blue or purple color. To the right of the 'R' is the text 'RDC' in a bold, black, sans-serif font.

*Item 5.*

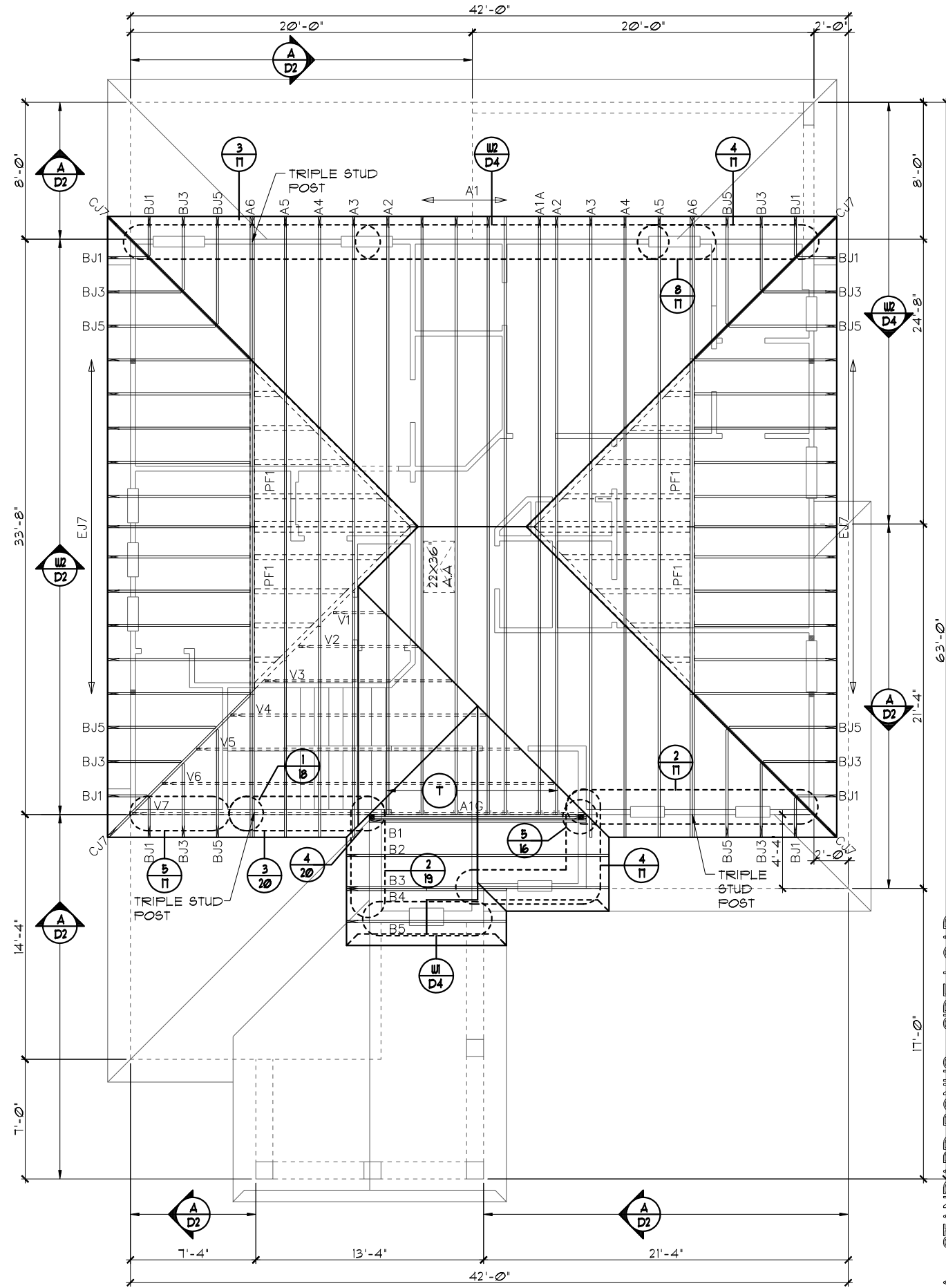
**I.A.: 10-19-21 BY: RRP**

NOTES

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4. ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZED BY TRUSS MANUFACTURER OR FL. REG. ENG.
5. TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTCA BC61 I.
6. REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
7. TILE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.3.3  
OR  
SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.1.1.1.

UPPER TRUSS LAYOUT "B"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION A - STANDARD BONUS - SIDE LOAD

LOT SPECIFIC INFORMATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 11TH EDITION

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Engineering By:  
PRASHANT N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

REVISIONS: 09-22-21

BY: DH

1A: 10-19-21

BY: RP

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

103 2718

148

1220.0

OF 26 SHEETS

2718 BISCAYNE

DREAM FINDERS HOMES

UPPER TRUSS LAYOUT



Engineering By:  
PRASHANT N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

Item 5.

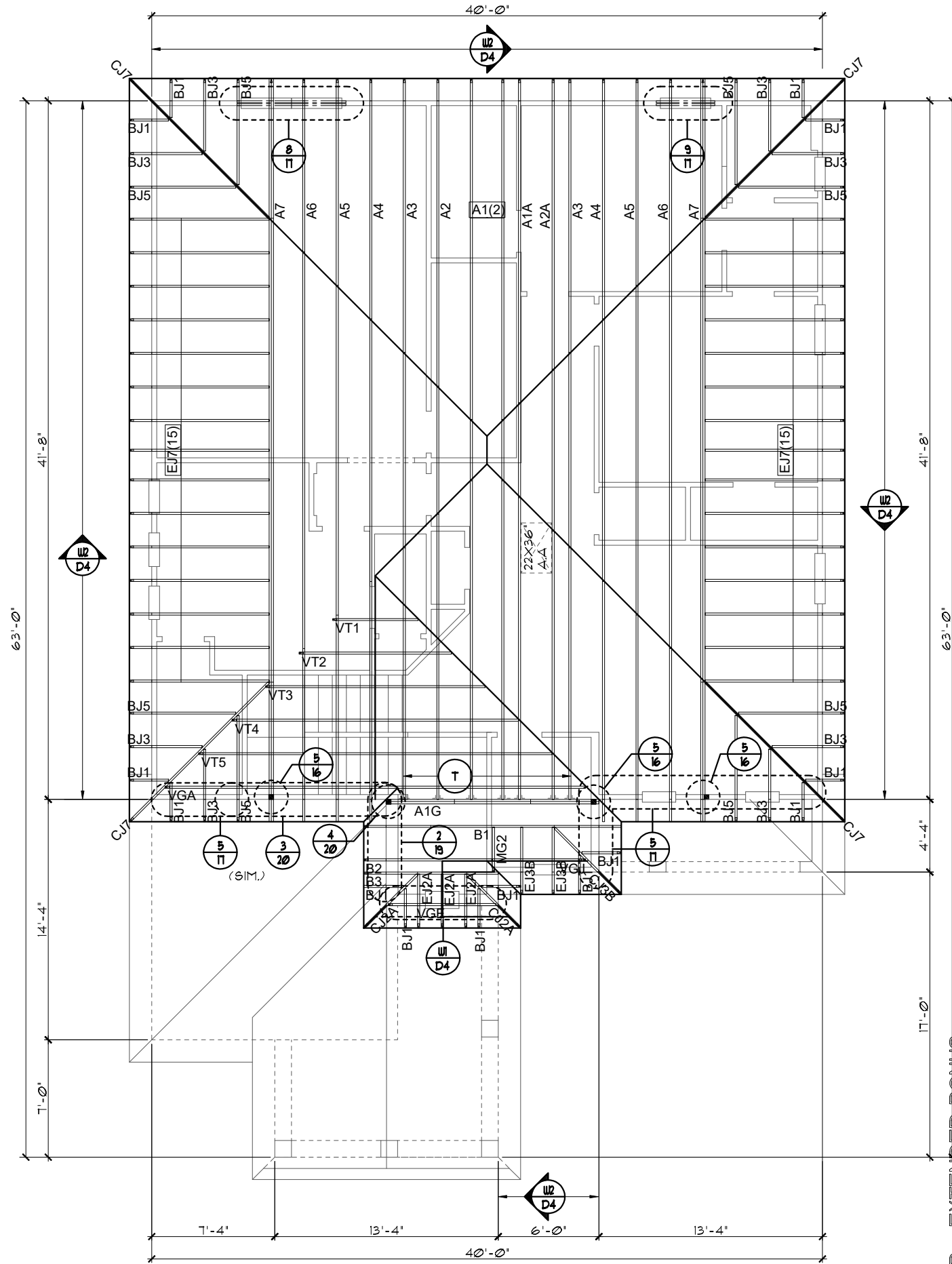


NOTES

1. TYPICAL ROOF GABLE OVERHANG TO BE **9"** UNLESS OTHERWISE NOTED.
2. TYPICAL ROOF EAVES OVERHANG TO BE **16"** UNLESS OTHERWISE NOTED.
3. PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IAW THE 2020 11TH EDITION FBCR. PROVIDE ROOF VALLEY FLASHING IAW FBCR R303.2
4. ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZED BY TRUSS MANUFACTURER OR FL. REG. ENG.
5. TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTCA BC51.1.
6. REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
7. TILE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.3.3  
OR  
SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.1.1.1.

UPPER TRUSS LAYOUT "B.1"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION B - EXTENDED BONUS

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 11TH EDITION

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DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

149

OF 26 SHEETS

2718 BISCAYNE

DREAM FINDERS HOMES

UPPER TRUSS LAYOUT

Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
INFO@RDCFLA.COM  
J.JAGTAP@RDCFLA.COM

DREAM FINDERS

THE MAKERS OF A QUALITY HOME

REVISIONS 09-22-21

BY: DH

LA: 10-19-21

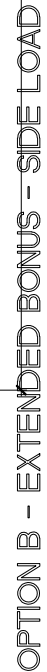
BY: RP

CODE 2020

Item 5.

1. TYPICAL ROOF GABLE OVERHANG  
TO BE **9"** UNLESS OTHERWISE NOTED.
2. TYPICAL ROOF EAVES OVERHANG  
TO BE **16"** UNLESS OTHERWISE NOTED.
3. PROVIDE AND INSTALL FLASHING AND  
ROOFING AS PER NATIONAL ROOFING  
AND SHEET METAL ASSOC. STANDARDS  
AND/ OR ACCEPTABLE INDUSTRY  
PRACTICE AND IAW THE 2020 1TH  
EDITION FBCR. PROVIDE ROOF VALLEY  
FLASHING IAW FBCR R303.2
4. ALL ROOF TRUSSES, GIRDERS, BEAMS,  
HEADERS, ETC. TO BE SIZED BY TRUSS  
MANUFACTURER OR FL. REG. ENG.
5. TRUSSES SHALL BE BRACED TO PRE-  
VENT ROTATION & PROVIDE LATERAL  
STABILITY IN ACCORDANCE WITH THE  
REQUIREMENTS SPECIFIED IN THE  
CONSTRUCTION DOCUMENTS FOR  
BUILDING & ON THE INDIVIDUAL TRUSS  
DESIGN DRAWINGS. IN THE ABSENCE OF  
SPECIFIC BRACING REQUIREMENTS,  
TRUSSES SHALL BE BRACED IN  
ACCORDANCE WITH TPI/WTCA BC51 I.
6. REFER TO TRUSS MANUFACTURER'S  
DRAWINGS FOR TRUSS PLACEMENT &  
TRUSS TO TRUSS CONNECTIONS.
7. TILE ROOF: UNDERLAYMENT TO BE  
INSTALLED IAW FBCR 2020, 1TH  
EDITION R305.3.3  
OR  
SHINGLE ROOF: UNDERLAYMENT TO BE  
INSTALLED IAW FBCR 2020, 1TH EDITION  
R305.1.1.1.

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 7TH EDITION

DATE 07-31-19  
SCALE AS NOTED  
DRAWN RDO  
JOB 2718  
150  
12B.1  
OF 26 SHEETS

# DREAM FINDERS HOMES

## UPPER TRUSS LAYOUT



**Engineering By:**  
PRABHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
JJAGTAP@RDCFLA.COM

CODE 2020	REVISIONS: 09-22-21	BY: DH
-----------	---------------------	--------

REVISIONS: 09-22-21

BY: DH

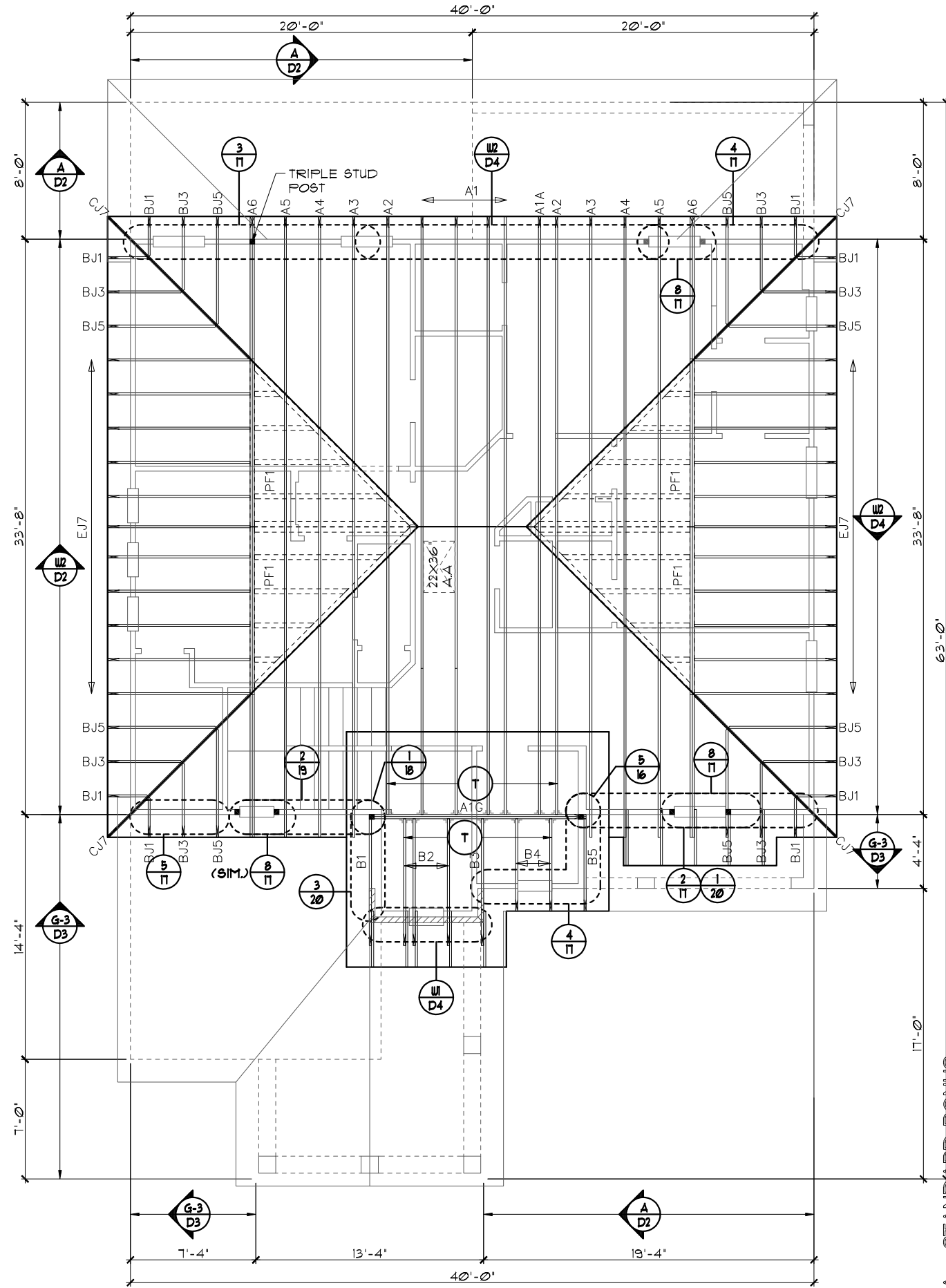
*Item 5.*

NOTES

1. TYPICAL ROOF GABLE OVERHANG TO BE **9"** UNLESS OTHERWISE NOTED.
2. TYPICAL ROOF EAVES OVERHANG TO BE **16"** UNLESS OTHERWISE NOTED.
3. PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IAW THE 2020 11TH EDITION FBCR. PROVIDE ROOF VALLEY FLASHING IAW FBCR R303.2
4. ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZED BY TRUSS MANUFACTURER OR FL. REG. ENG.
5. TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTCA BC61 I.
6. REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
7. TILE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.3.3  
OR  
SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.1.1.1.

UPPER TRUSS LAYOUT "C"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION A - STANDARD BONUS

LOT SPECIFIC INFORMATION

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Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

REVISIONS: 09-22-21

BY: DH

1A: 10-19-21

BY: RP

DATE 07-31-19  
SCALE AS NOTED  
DRAWN RDC  
JOB 2718  
151  
T2C.0  
OF 26 SHEETS

2718 BISCAVNE  
DREAM FINDERS HOMES

UPPER TRUSS LAYOUT

DREAM FINDERS  
THE MAKERS OF A QUALITY HOME

RDC

Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

Item 5.

- NOTES
1. TYPICAL ROOF GABLE OVERHANG TO BE 9' UNLESS OTHERWISE NOTED.

2. TYPICAL ROOF EAVES OVERHANG TO BE 16' UNLESS OTHERWISE NOTED.

3. PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IAW THE 2020 11TH EDITION FBCR. PROVIDE ROOF VALLEY FLASHING IAW FBCR R303.2

4. ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZED BY TRUSS MANUFACTURER OR FL. REG. ENG.

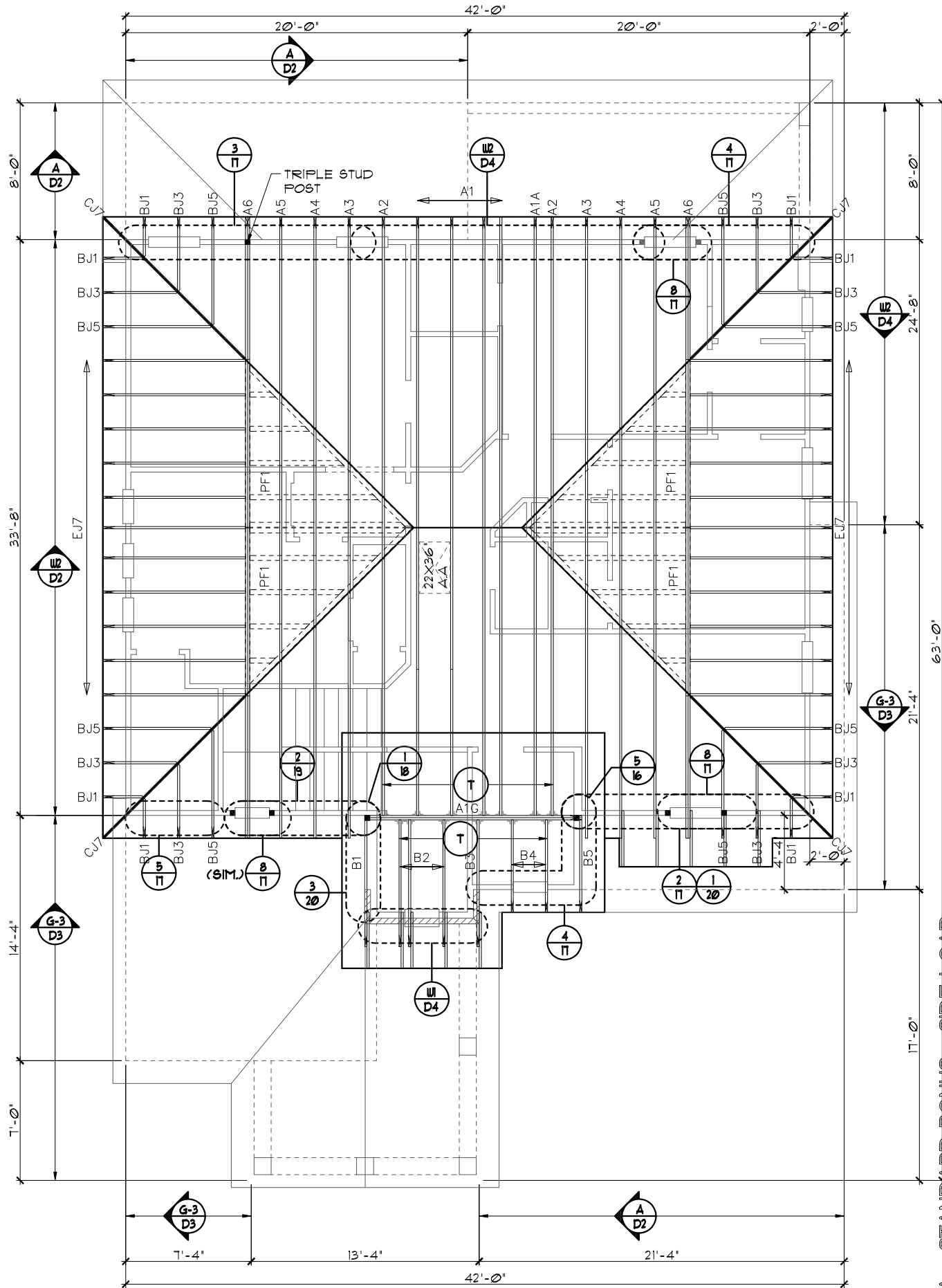
5. TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTCA BC51.1.

6. REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.

7. TILE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.3.3  
OR  
SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.1.1.1.

UPPER TRUSS LAYOUT "C"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION A - STANDARD BONUS - SIDE LOAD

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 11TH EDITION

LOT SPECIFIC INFORMATION

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

152

26 SHEETS

UPPER TRUSS LAYOUT

2718 BISCAWAY

DREAM FINDERS HOMES

Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

DREAM FINDERS  
THE MAKERS OF A QUALITY HOME

Item 5.

REVISIONS: 09-22-21

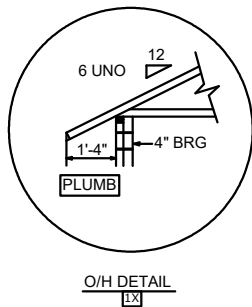
BY: DH

CODE 2020

LA: 10-10-21

BY: RP





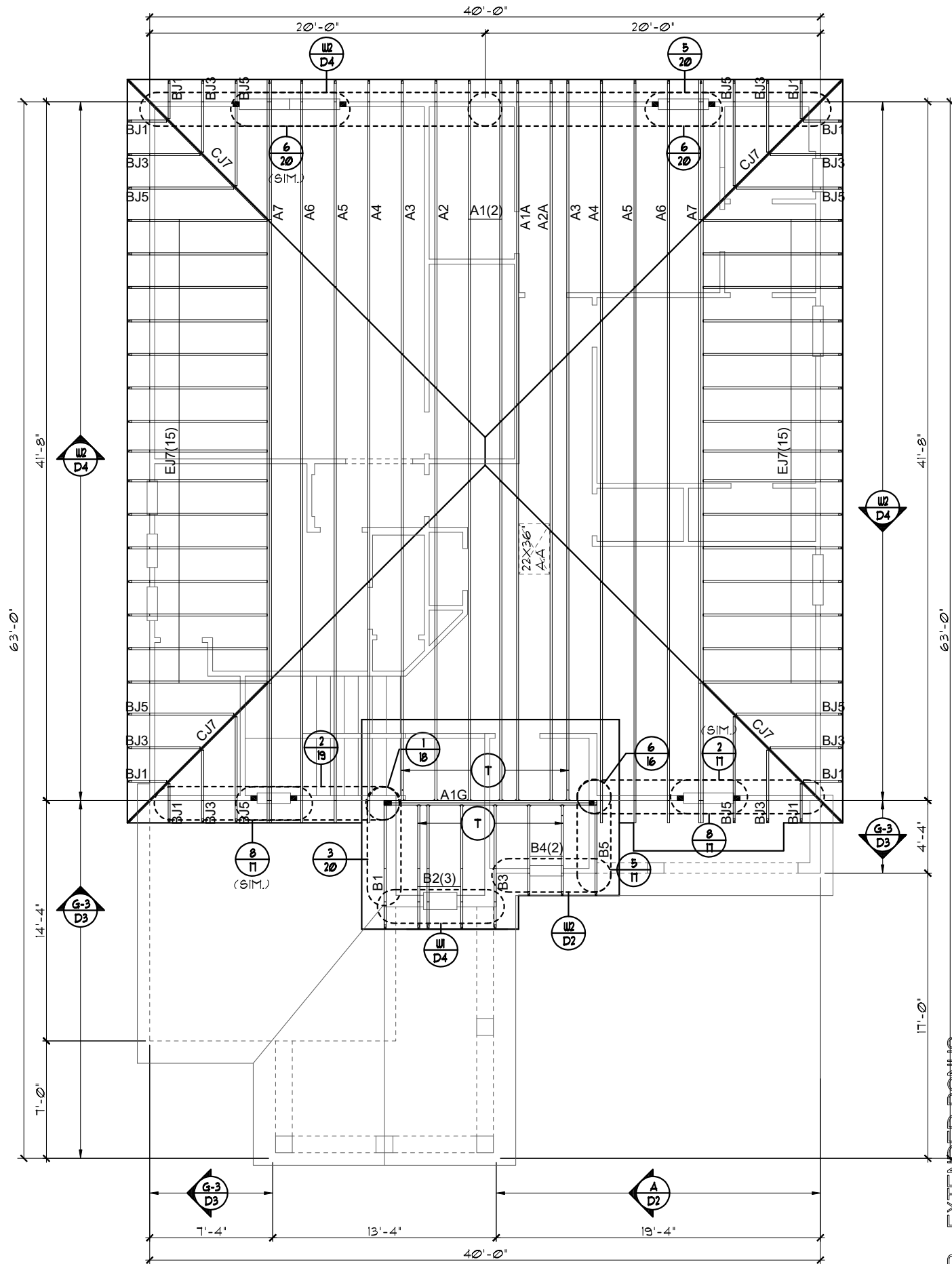
Truss Connector Total List		
Manuf	Product	Qty
	HUS26	7
	LUS24	6

#### NOTES

1. TYPICAL ROOF GABLE OVERHANG TO BE **9"** UNLESS OTHERWISE NOTED.
2. TYPICAL ROOF EAVES OVERHANG TO BE **16"** UNLESS OTHERWISE NOTED.
3. PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IAW THE 2020 11TH EDITION FBCR. PROVIDE ROOF VALLEY FLASHING IAW FBCR R303.2
4. ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZED BY TRUSS MANUFACTURER OR FL. REG. ENG.
5. TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTCA BC61 I.
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7. TILE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.3.3  
OR  
SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.1.1.1.

#### UPPER TRUSS LAYOUT "C.1"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION B - EXTENDED BONUS

LOT SPECIFIC INFORMATION

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Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811  
INFO@RDCFLA.COM



UPPER TRUSS LAYOUT

2718 BISCAVNE  
DREAM FINDERS HOMES

DATE 07-31-19  
SCALE AS NOTED  
DRAWN RDC  
JOB 2718  
153  
1201  
OF 26 SHEETS

BY: DH

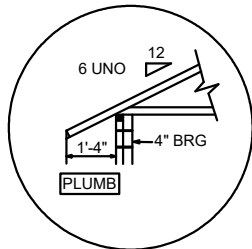
REVISIONS 08-22-21

CODE 2020

1A: 10-19-21

BY: RP

Item 5.



O/H DETAIL  
EX

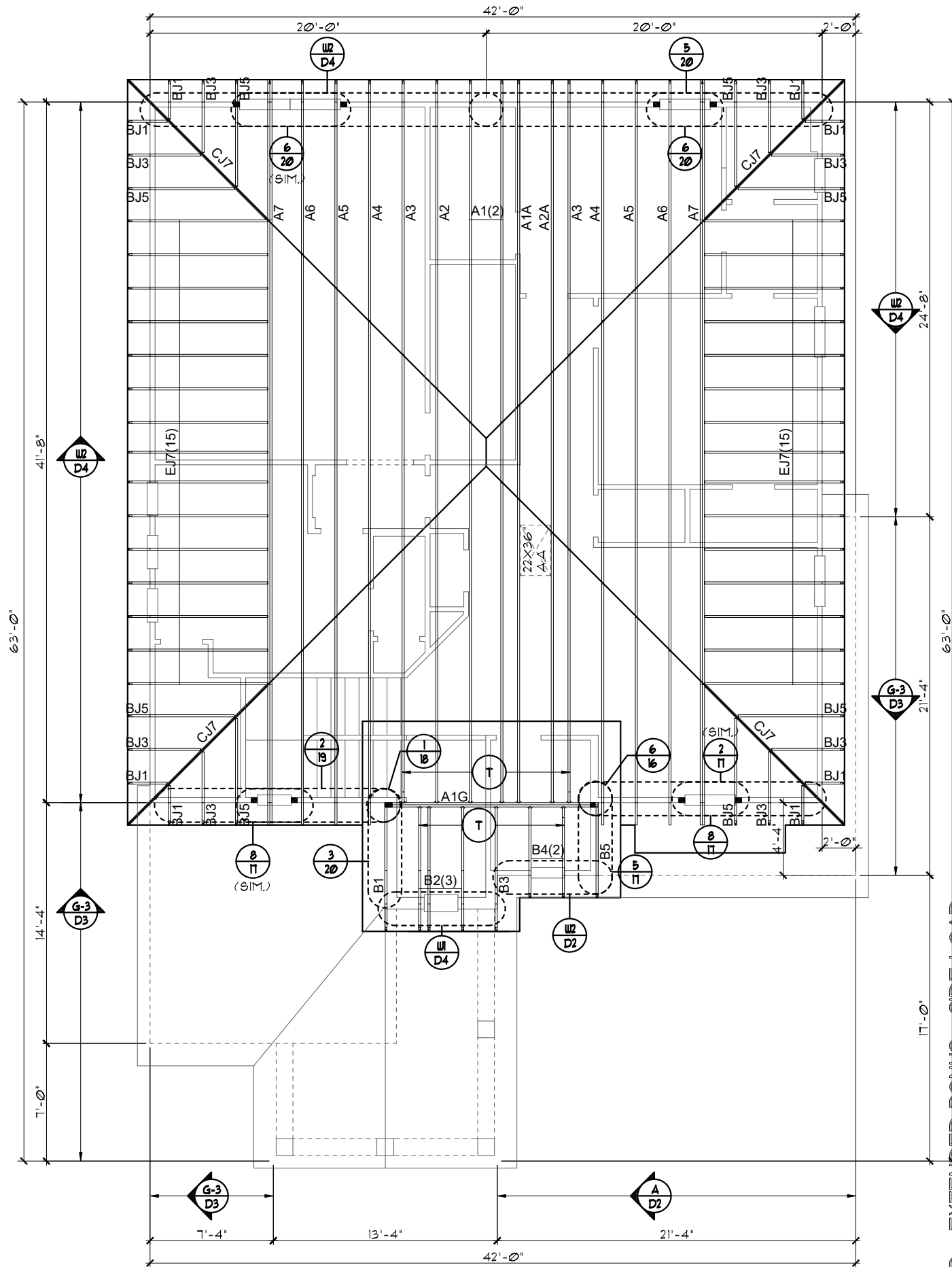
Truss Connector Total List		
Manuf	Product	Qty
	HUS26	7
	LUS24	6

NOTES

1. TYPICAL ROOF GABLE OVERHANG TO BE **9"** UNLESS OTHERWISE NOTED.
2. TYPICAL ROOF EAVES OVERHANG TO BE **16"** UNLESS OTHERWISE NOTED.
3. PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IAW THE 2020 11TH EDITION FBCR. PROVIDE ROOF VALLEY FLASHING IAW FBCR R303.2
4. ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZED BY TRUSS MANUFACTURER OR FL. REG. ENG.
5. TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTCA BC61 I.
6. REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
7. TILE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.3.3  
OR  
SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.1.1.1.

UPPER TRUSS LAYOUT "C.1"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION B - EXTENDED BONUS - SIDE LOAD

LOT SPECIFIC INFORMATION

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DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

154

OF 26 SHEETS

2718 BISCAVNE  
DREAM FINDERS HOMES

UPPER TRUSS LAYOUT



Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811  
INFO@RDCFLA.COM

CODE 2020

REVISIONS 08-22-21

BY: DH

LA: 10-19-21 BY: RP

Item 5.



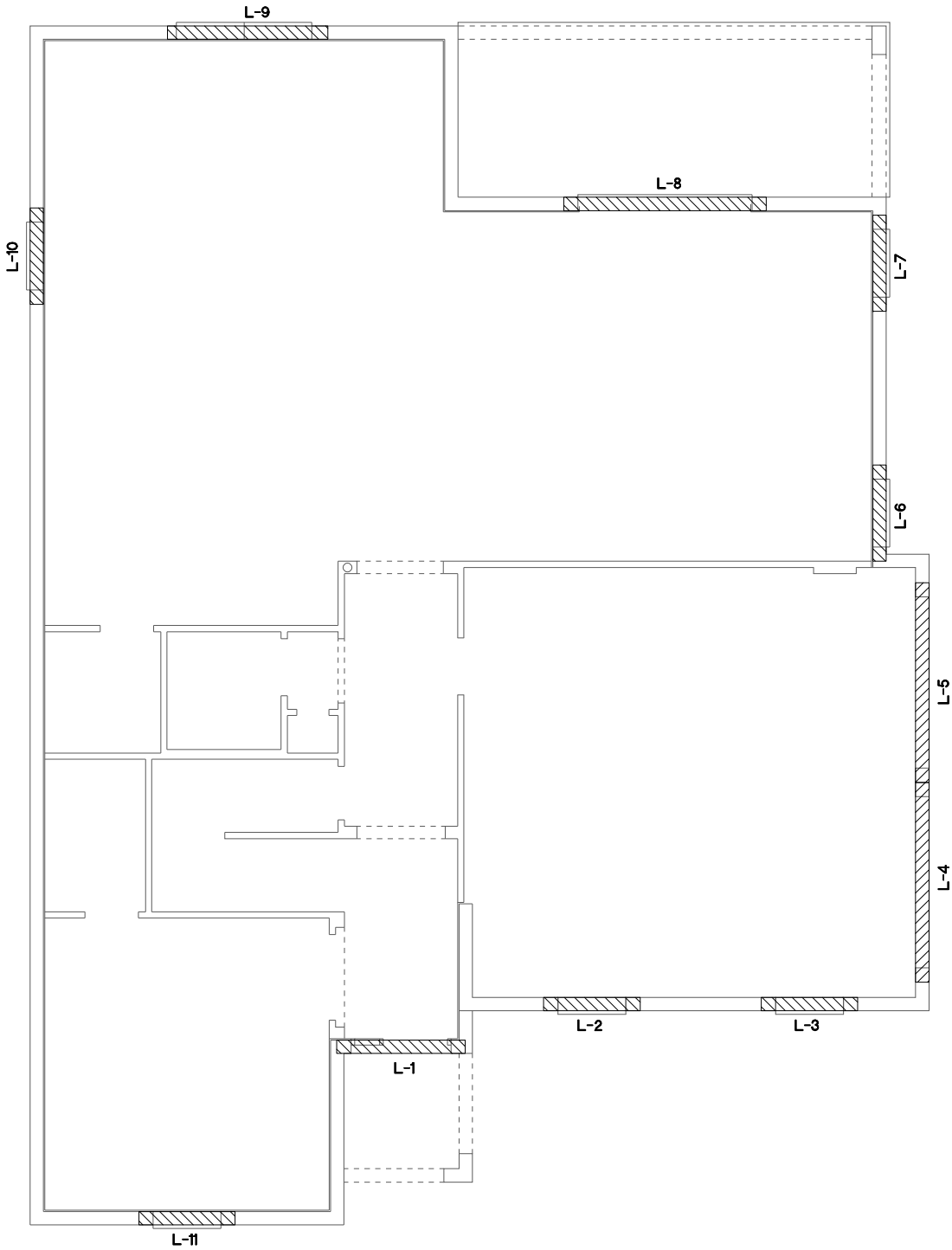
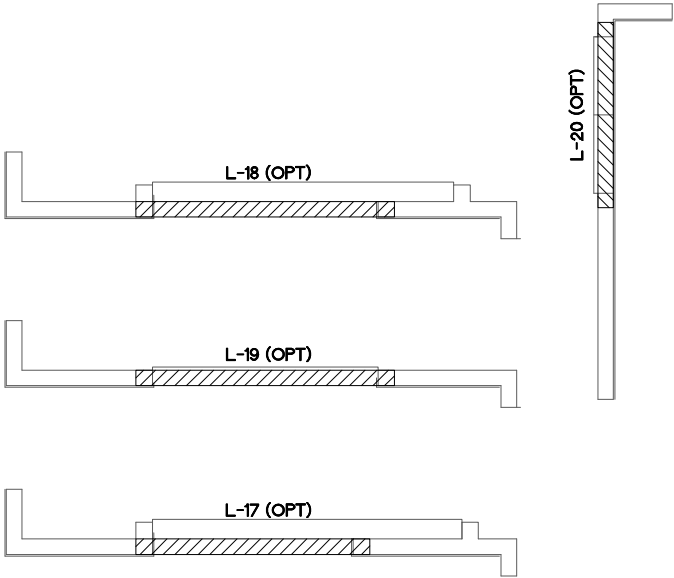
CAST CRETE / LOTT'S / WEKIWA LINTEL SCHEDULE			
LINTEL NO.	LENGTH	TYPE	COMMENTS
L 1	6'-0"	8FR12-0B/1T	FRONT DOOR
L 2	4'-6"	8F16-0B/1T	SH3050
L 3	4'-6"	8F16-0B/1T	SH3050
L 4	9'-2"	8F34-1B/1T	GARAGE DOOR SEE NOTE #1
L 5	9'-2"	8F34-1B/1T	GARAGE DOOR SEE NOTE #1
L 6	4'-6"	8F16-0B/1T	SH3050
L 7	4'-6"	8F16-0B/1T	SH3050
L 8	9'-4"	8F16-0B/1T	8080 SGD
L 9	7'-6"	8F16-0B/1T	FR SH3050
L 10	4'-6"	8F16-0B/1T	SH3050
L 11	4'-6"	8F16-0B/1T	SH3050
L 12			
L 13			
L 14			
L 15			
L 16			
L 17	9'-6"	8F16-0B/1T	OPT. 8080 HID. SGD
L 18	10'-6"	8F16-0B/1T	OPT. 9080 HID. SGD
L 19	10'-6"	8F16-0B/1T	OPT. 9080 SGD
L 20	7'-6"	8F16-0B/1T	OPT. FR. SH3050

NOTE:

1. LINTEL DEPTH(S) ARE RELATIVE TO FINISHED FLOOR, CONTRACTOR IS ALLOWED A VARIANCE IN DEPTH OF PLUS/MINUS 4" U.N.O.

PRECAST LINTEL LAYOUT "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION A - STANDARD BONUS - SIDE LOAD

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

LOT SPECIFIC INFORMATION

DATE	07-31-19
SCALE	AS NOTED
DRAWN	RDC
JOB	2718
156	
15A.0	
OF 26	SHEETS

2718 BISCAVNE  
DREAM FINDERS HOMES

PRECAST LINTEL LAYOUT



Engineering By:  
PRABHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

CODE 2020

REVISIONS 09-22-21

BY: DH

LA: 10-19-21

BY: RP

Item 5.



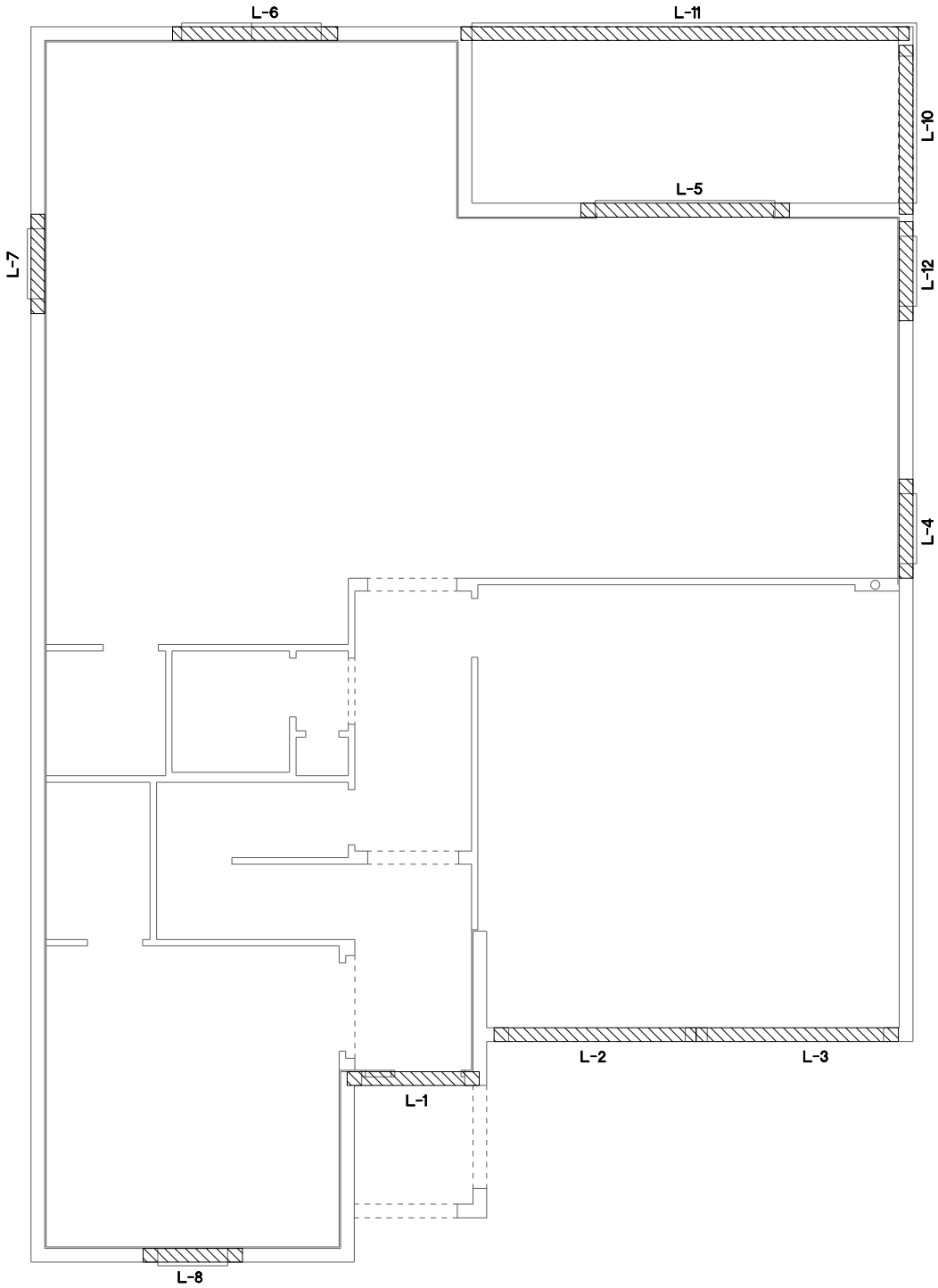
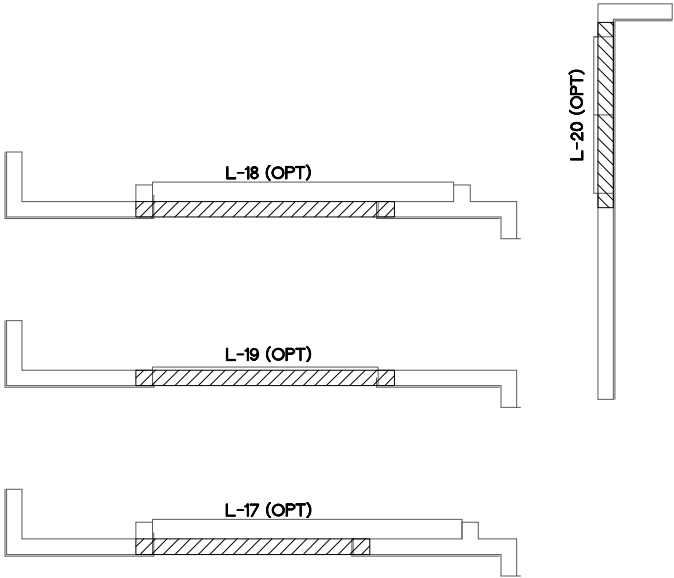
CAST CRETE / LOTT'S / WEKIWA LINTEL SCHEDULE			
LINTEL NO.	LENGTH	TYPE	COMMENTS
L 1	6'-0"	8FR12-0B/IT	FRONT DOOR
L 2	9'-2"	8F34-1B/IT	GARAGE DOOR SEE NOTE #1
L 3	9'-2"	8F34-1B/IT	GARAGE DOOR SEE NOTE #1
L 4	4'-6"	8F16-0B/IT	SH3050
L 5	9'-4"	8F16-0B/IT	8080 SGD
L 6	7'-6"	8F16-0B/IT	FR SH3050
L 7	4'-6"	8F16-0B/IT	SH3050
L 8	4'-6"	8F16-0B/IT	SH3050
L 9			
L 10	1'-8"	8F16-0B/IT	LANAI
L 11	20'-4"	8F16-0B/IT	LANAI
L 12	4'-6"	8F16-0B/IT	SH3050
L 13			
L 14			
L 15			
L 16			
L 17	9'-6"	8F16-0B/IT	OPT. 8080 HID. SGD
L 18	10'-6"	8F16-0B/IT	OPT. 9080 HID. SGD
L 19	10'-6"	8F16-0B/IT	OPT. 9080 SGD
L 20	7'-6"	8F16-0B/IT	OPT. FR. SH3050

NOTE:

1. LINTEL DEPTH(S) ARE RELATIVE TO FINISHED FLOOR, CONTRACTOR IS ALLOWED A VARIANCE IN DEPTH OF PLUS/MINUS 4" U.N.O.

PRECAST LINTEL LAYOUT "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION B - EXTENDED BONUS

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

LOT SPECIFIC INFORMATION

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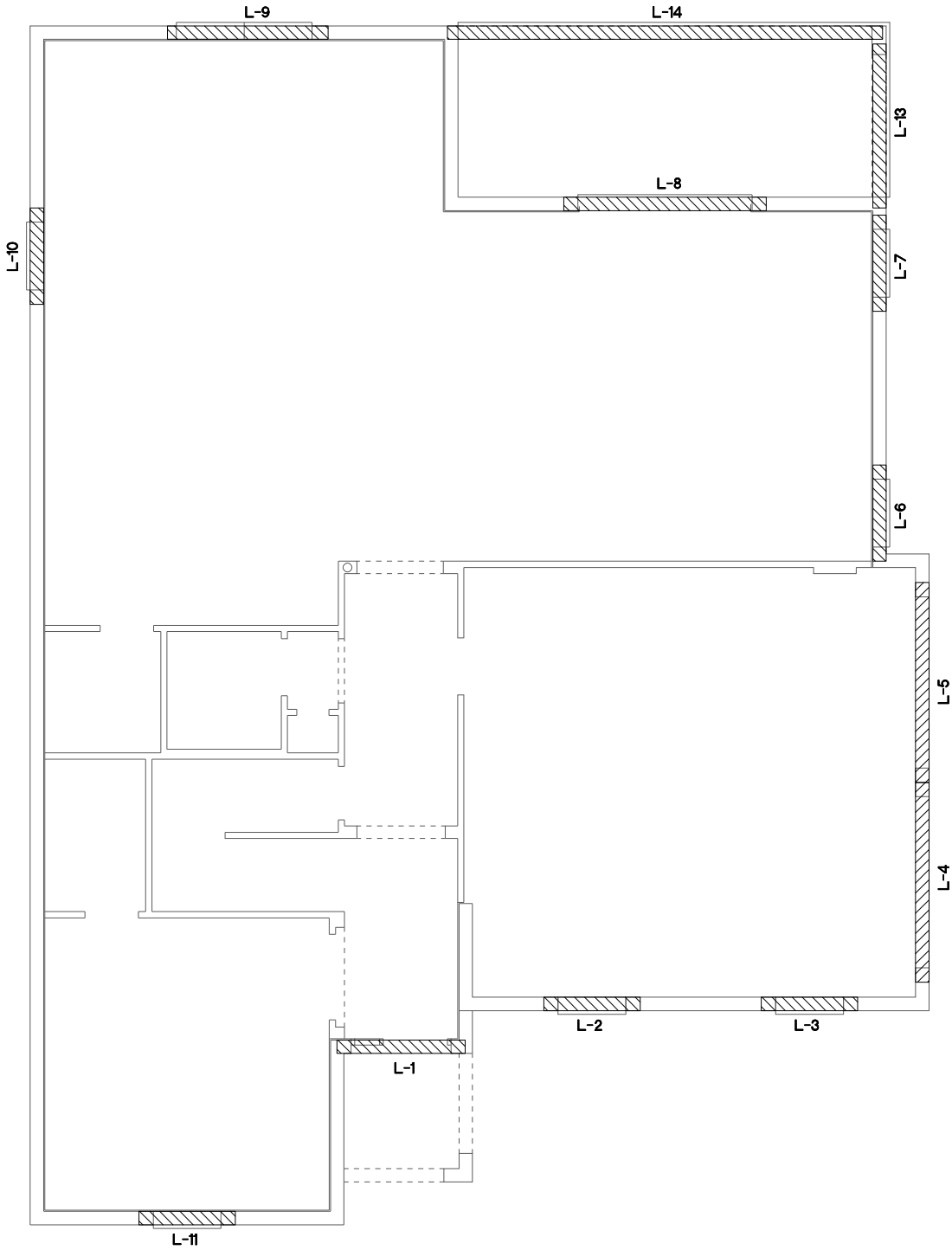
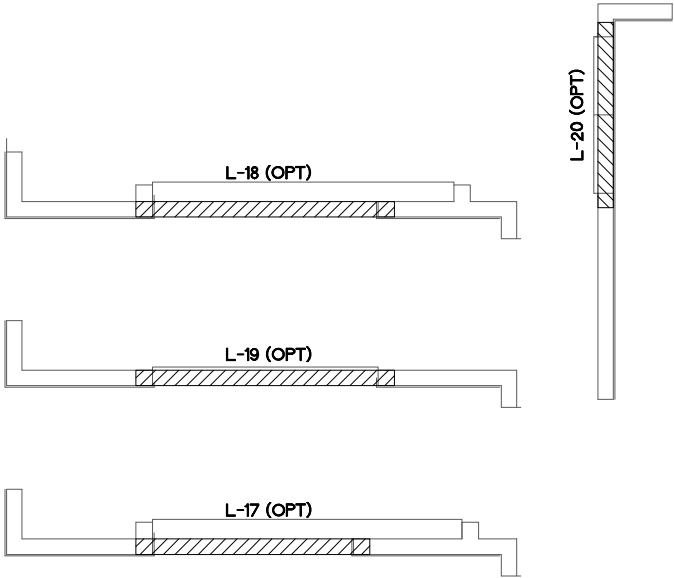
CAST CRETE / LOTT'S / WEKIWA LINTEL SCHEDULE			
LINTEL NO.	LENGTH	TYPE	COMMENTS
L 1	6'-0"	8FR12-0B/1T	FRONT DOOR
L 2	4'-6"	8F16-0B/1T	SH3050
L 3	4'-6"	8F16-0B/1T	SH3050
L 4	9'-2"	8F34-1B/1T	GARAGE DOOR SEE NOTE #1
L 5	9'-2"	8F34-1B/1T	GARAGE DOOR SEE NOTE #1
L 6	4'-6"	8F16-0B/1T	SH3050
L 7	4'-6"	8F16-0B/1T	SH3050
L 8	9'-4"	8F16-0B/1T	8080 SGD
L 9	7'-6"	8F16-0B/1T	FR SH3050
L 10	4'-6"	8F16-0B/1T	SH3050
L 11	4'-6"	8F16-0B/1T	SH3050
L 12			
L 13	7'-8"	8F16-0B/1T	LANAI
L 14	20'-4"	8F16-0B/1T	LANAI
L 15			
L 16			
L 17	9'-6"	8F16-0B/1T	OPT. 8080 HID. SGD
L 18	10'-6"	8F16-0B/1T	OPT. 9080 HID. SGD
L 19	10'-6"	8F16-0B/1T	OPT. 9080 SGD
L 20	7'-6"	8F16-0B/1T	OPT. FR SH3050

NOTE:

1. LINTEL DEPTH(S) ARE RELATIVE TO FINISHED FLOOR, CONTRACTOR IS ALLOWED A VARIANCE IN DEPTH OF PLUS/MINUS 4" U.N.O.

PRECAST LINTEL LAYOUT "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION B - EXTENDED BONUS - SIDE LOAD

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

LOT SPECIFIC INFORMATION

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DATE	07-31-19
SCALE	AS NOTED
DRAWN	RDC
JOB	2718
158	
OF 26 SHEETS	

2718 BISCAVNE

DREAM FINDERS HOMES

PRECAST LINTEL LAYOUT



Engineering By:  
PRABHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811  
INFO@RDCFLA.COM

RDC

CODE 2020

REVISIONS 09-22-21

BY: DH

LA: 10-19-21

BY: RP

Item 5.

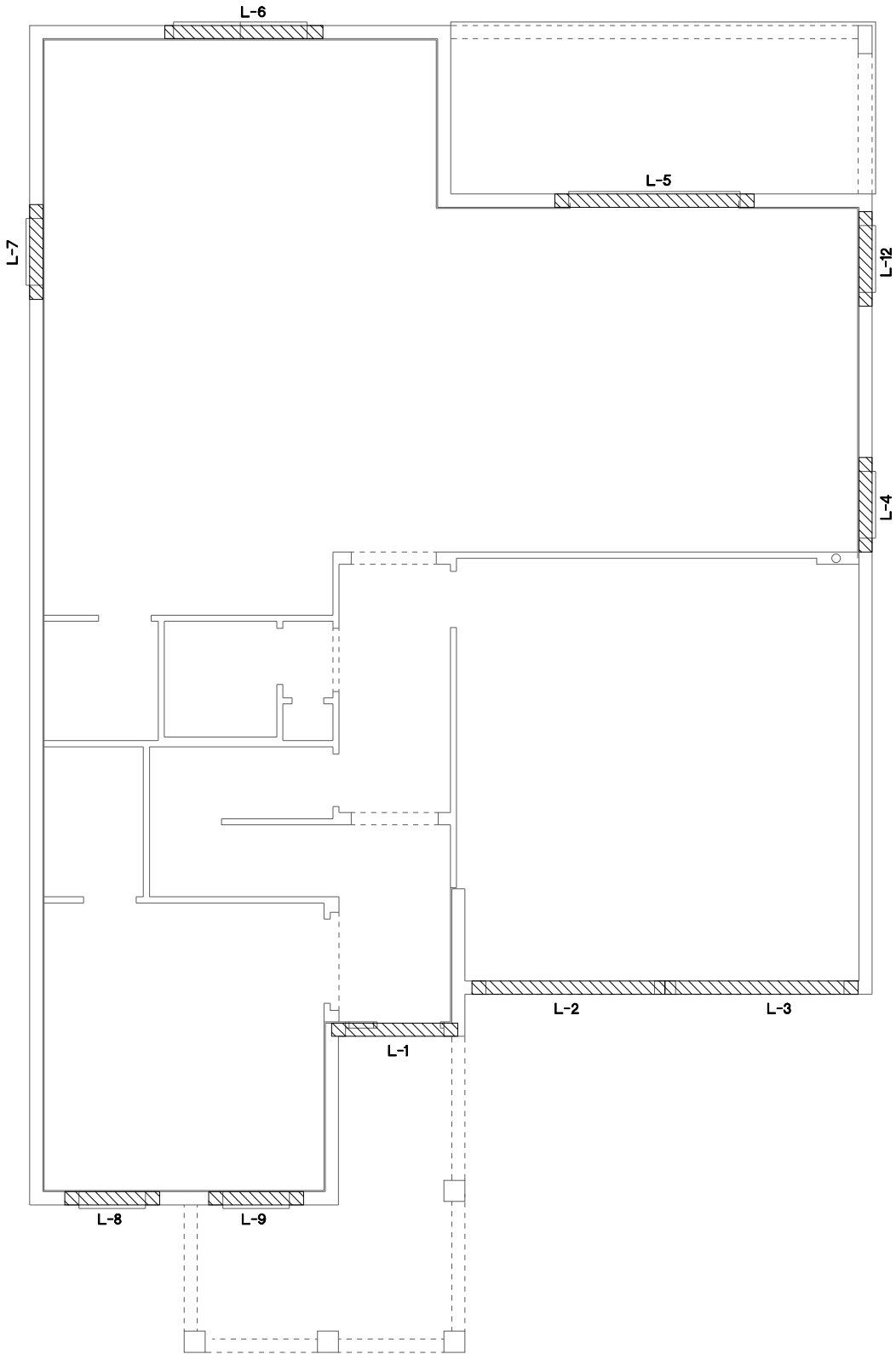
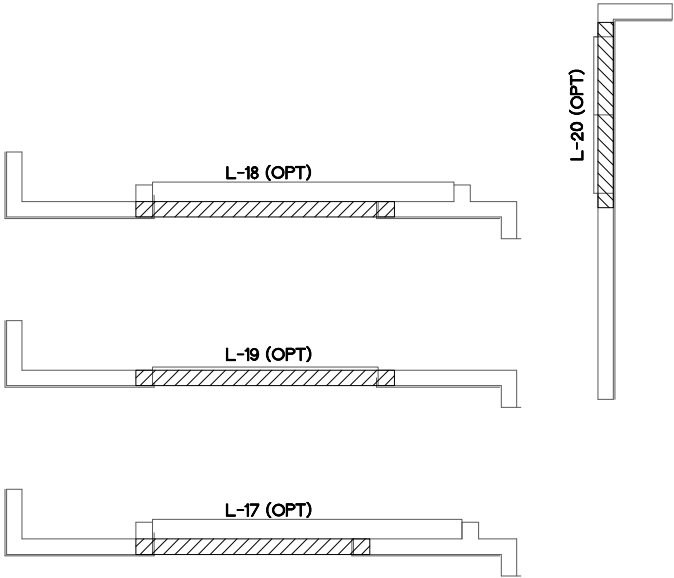
CAST CRETE / LOTT'S / WEKIWA LINTEL SCHEDULE			
LINTEL NO.	LENGTH	TYPE	COMMENTS
L 1	6'-0"	8FR12-0B/1T	FRONT DOOR
L 2	9'-2"	8F34-1B/1T	GARAGE DOOR SEE NOTE #1
L 3	9'-2"	8F34-1B/1T	GARAGE DOOR SEE NOTE #1
L 4	4'-6"	8F16-0B/1T	SH3050
L 5	9'-4"	8F16-0B/1T	8080 SGD
L 6	7'-6"	8F16-0B/1T	FR SH3050
L 7	4'-6"	8F16-0B/1T	SH3050
L 8	4'-6"	8F16-0B/1T	SH3050
L 9	4'-6"	8F16-0B/1T	SH3050
L 10			
L 11			
L 12	4'-6"	8F16-0B/1T	SH3050
L 13			
L 14			
L 15			
L 16			
L 17	9'-6"	8F16-0B/1T	OPT. 8080 HID. SGD
L 18	10'-6"	8F16-0B/1T	OPT. 9080 HID. SGD
L 19	10'-6"	8F16-0B/1T	OPT. 9080 SGD
L 20	7'-6"	8F16-0B/1T	OPT. FR SH3050

NOTE:

1. LINTEL DEPTH(S) ARE RELATIVE TO FINISHED FLOOR, CONTRACTOR IS ALLOWED A VARIANCE IN DEPTH OF PLUS/MINUS 4" U.N.O.

PRECAST LINTEL LAYOUT "B"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION A - STANDARD BONUS

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

LOT SPECIFIC INFORMATION

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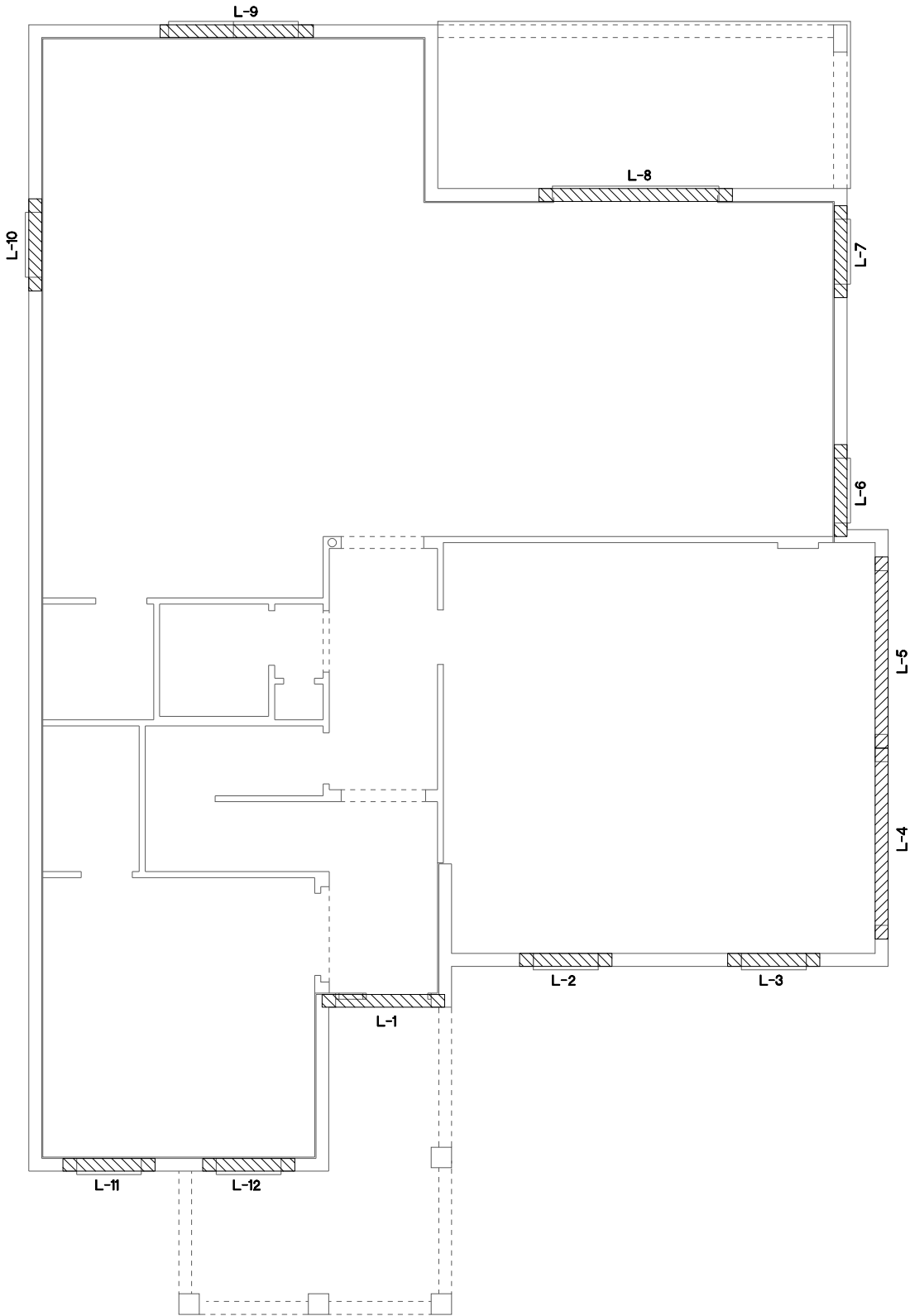
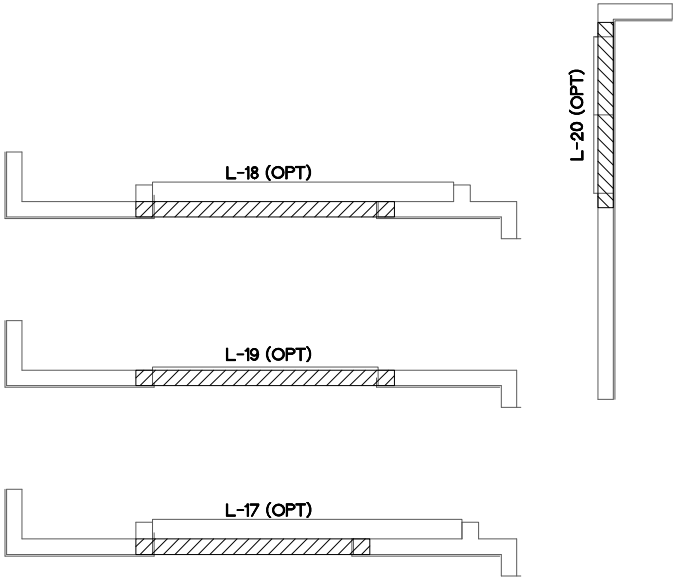
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LINTEL NO.	LENGTH	TYPE	COMMENTS
L 1	6'-0"	8FR12-0B/1T	FRONT DOOR
L 2	4'-6"	8F16-0B/1T	SH3050
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L 12	4'-6"	8F16-0B/1T	SH3050
L 13			
L 14			
L 15			
L 16			
L 17	9'-6"	8F16-0B/1T	OPT. 8080 HID. SGD
L 18	10'-6"	8F16-0B/1T	OPT. 9080 HID. SGD
L 19	10'-6"	8F16-0B/1T	OPT. 9080 SGD
L 20	7'-6"	8F16-0B/1T	OPT. FR. SH3050

NOTE:

1. LINTEL DEPTH(S) ARE RELATIVE TO FINISHED FLOOR, CONTRACTOR IS ALLOWED A VARIANCE IN DEPTH OF PLUS/MINUS 4" U.N.O.

PRECAST LINTEL LAYOUT "B"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION A - STANDARD BONUS - SIDE LOAD

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

LOT SPECIFIC INFORMATION

DATE 07-31-19  
SCALE AS NOTED  
DRAWN RDC  
JOB 2718  
160  
OF 26 SHEETS

2718 BISCAINE  
DREAM FINDERS HOMES

PRECAST LINTEL LAYOUT

Engineering By:  
PRABHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

DREAM FINDERS  
THE MAKERS OF A BETTER HOME

Item 5.

LA: 10-19-21 BY: RP

REVISIONS 09-22-21 BY: DH

CODE 2020

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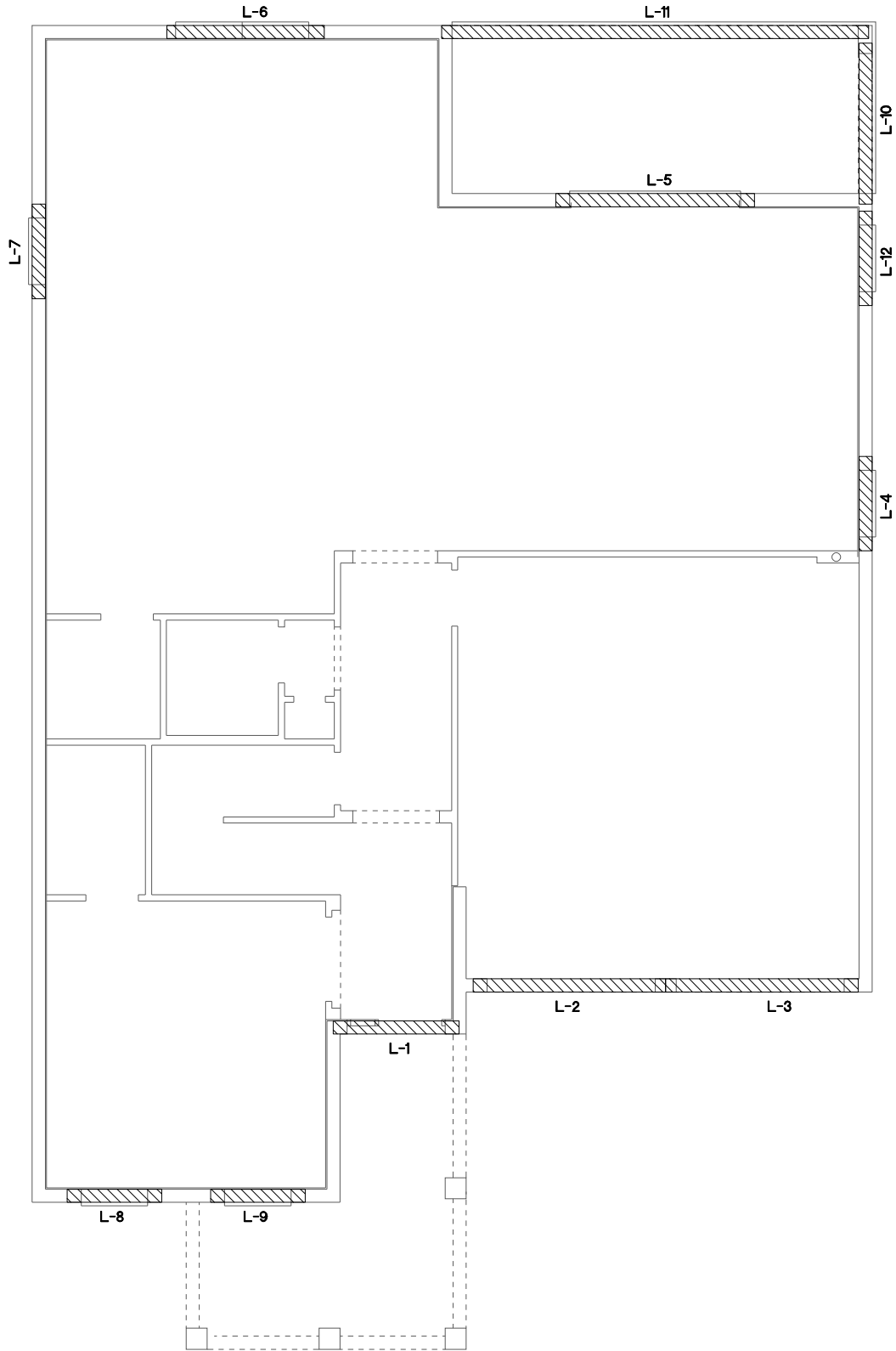
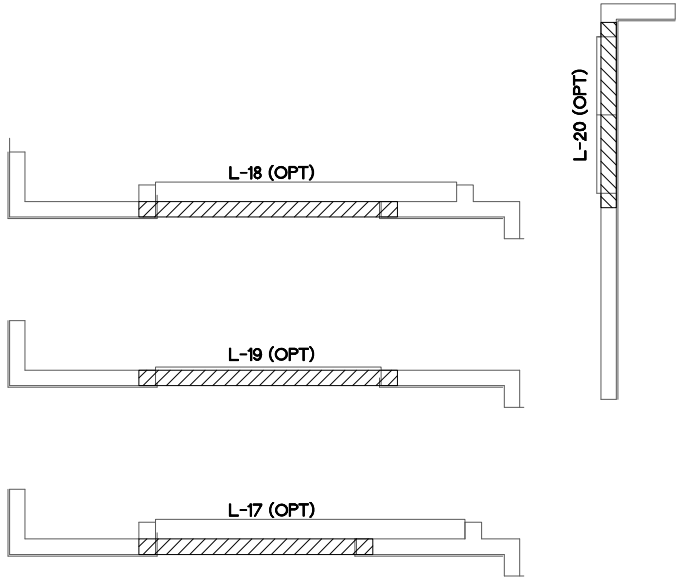
CAST CRETE / LOTT'S / WEKIWA LINTEL SCHEDULE			
LINTEL NO.	LENGTH	TYPE	COMMENTS
L 1	6'-0"	8FR12-0B/1T	FRONT DOOR
L 2	9'-2"	8F34-1B/1T	GARAGE DOOR SEE NOTE #1
L 3	9'-2"	8F34-1B/1T	GARAGE DOOR SEE NOTE #1
L 4	4'-6"	8F16-0B/1T	SH3050
L 5	9'-4"	8F16-0B/1T	8080 SGD
L 6	7'-6"	8F16-0B/1T	FR SH3050
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L 10	7'-8"	8F16-0B/1T	LANAI
L 11	20'-4"	8F16-0B/1T	LANAI
L 12	4'-6"	8F16-0B/1T	SH3050
L 13			
L 14			
L 15			
L 16			
L 17	9'-6"	8F16-0B/1T	OPT. 8080 HID. SGD
L 18	10'-6"	8F16-0B/1T	OPT. 9080 HID. SGD
L 19	10'-6"	8F16-0B/1T	OPT. 9080 SGD
L 20	7'-6"	8F16-0B/1T	OPT. FR. SH3050

NOTE:

1. LINTEL DEPTH(S) ARE RELATIVE TO FINISHED FLOOR, CONTRACTOR IS ALLOWED A VARIANCE IN DEPTH OF PLUS/MINUS 4" U.N.O.

PRECAST LINTEL LAYOUT "B"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION B - EXTENDED BONUS

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

LOT SPECIFIC INFORMATION

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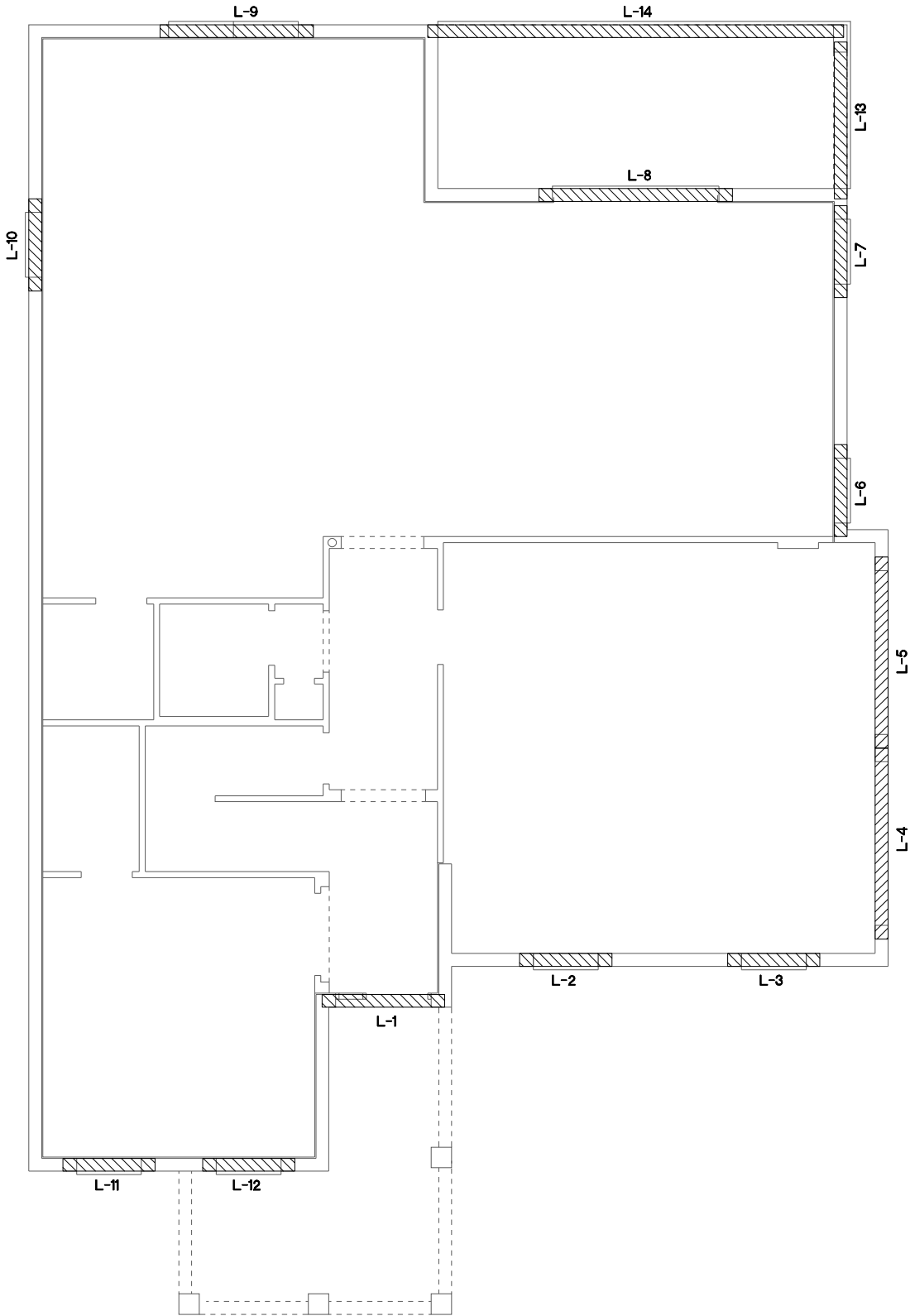
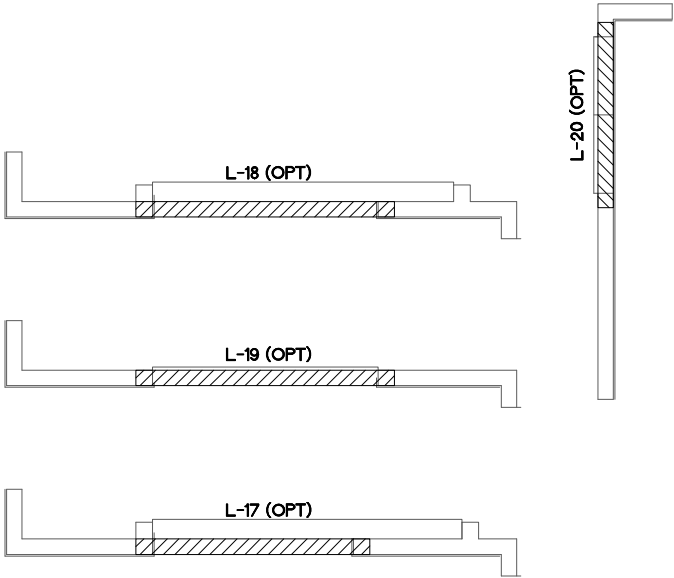
CAST CRETE / LOTT'S / WEKIWA LINTEL SCHEDULE			
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L 7	4'-6"	8F16-0B/1T	SH3050
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L 11	4'-6"	8F16-0B/1T	SH3050
L 12	4'-6"	8F16-0B/1T	SH3050
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L 14	20'-4"	8F16-0B/1T	LANAI
L 15			
L 16			
L 17	9'-6"	8F16-0B/1T	OPT. 8080 HID. SGD
L 18	10'-6"	8F16-0B/1T	OPT. 9080 HID. SGD
L 19	10'-6"	8F16-0B/1T	OPT. 9080 SGD
L 20	7'-6"	8F16-0B/1T	OPT. FR. SH3050

NOTE:

1. LINTEL DEPTH(S) ARE RELATIVE TO FINISHED FLOOR, CONTRACTOR IS ALLOWED A VARIANCE IN DEPTH OF PLUS/MINUS 4" U.N.O.

PRECAST LINTEL LAYOUT "B"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION B - EXTENDED BONUS - SIDE LOAD

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

LOT SPECIFIC INFORMATION

DATE	07-31-19
SCALE	AS NOTED
DRAWN	RDC
JOB	2718
162	
OF 26	SHEETS

2718 BISCAVNE

DREAM FINDERS HOMES

PRECAST LINTEL LAYOUT

Engineering By:  
PRABHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

CODE 2020

REVISIONS 09-22-21

BY: DH

LA: 10-19-21

BY: RP

Item 5.

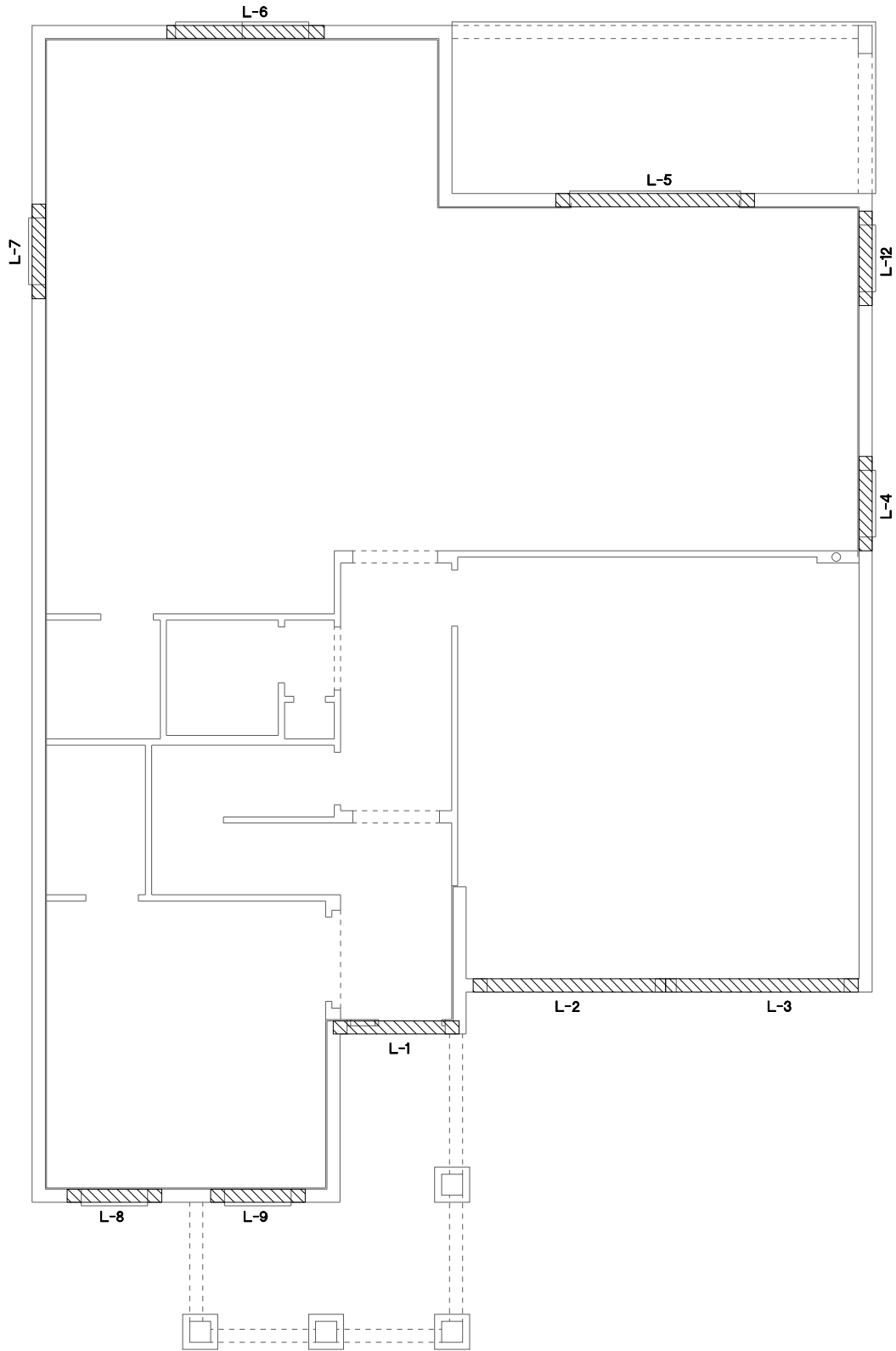
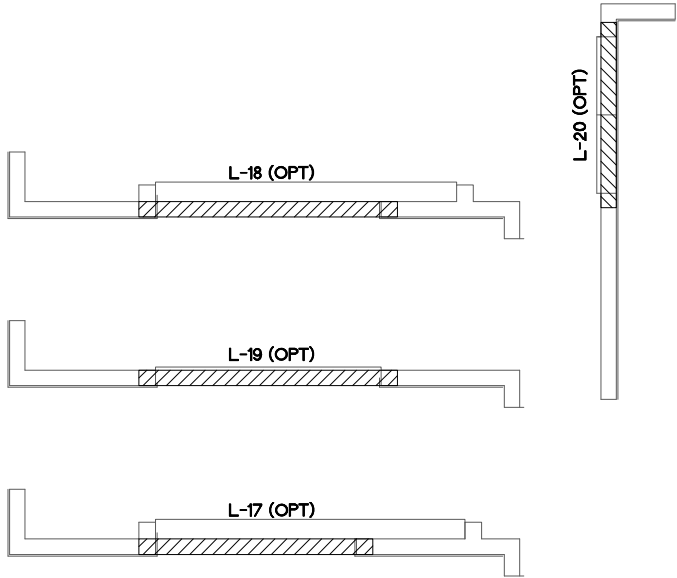
CAST CRETE / LOTT'S / WEKIWA LINTEL SCHEDULE			
LINTEL NO.	LENGTH	TYPE	COMMENTS
L 1	6'-0"	8FR12-0B/1T	FRONT DOOR
L 2	9'-2"	8F34-1B/1T	GARAGE DOOR SEE NOTE #1
L 3	9'-2"	8F34-1B/1T	GARAGE DOOR SEE NOTE #1
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L 8	4'-6"	8F16-0B/1T	SH3050
L 9	4'-6"	8F16-0B/1T	SH3050
L 10			
L 11			
L 12	4'-6"	8F16-0B/1T	SH3050
L 13			
L 14			
L 15			
L 16			
L 17	9'-6"	8F16-0B/1T	OPT. 8080 HID. SGD
L 18	10'-6"	8F16-0B/1T	OPT. 9080 HID. SGD
L 19	10'-6"	8F16-0B/1T	OPT. 9080 SGD
L 20	7'-6"	8F16-0B/1T	OPT. FR. SH3050

NOTE:

1. LINTEL DEPTH(S) ARE RELATIVE TO FINISHED FLOOR, CONTRACTOR IS ALLOWED A VARIANCE IN DEPTH OF PLUS/MINUS 4" U.N.O.

PRECAST LINTEL LAYOUT "C"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION A - STANDARD BONUS

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

LOT SPECIFIC INFORMATION

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DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

163

OF 26 SHEETS

2718 BISCAINE

DREAM FINDERS HOMES

PRECAST LINTEL LAYOUT

DREAM FINDERS  
THE MAKERS OF A BETTER HOME

Engineering By:  
PPRABHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811  
INFO@RDCFLA.COM

REVISIONS 09-22-21

BY: DH

CODE 2020

LA: 10-19-21

BY: RP

Item 5.

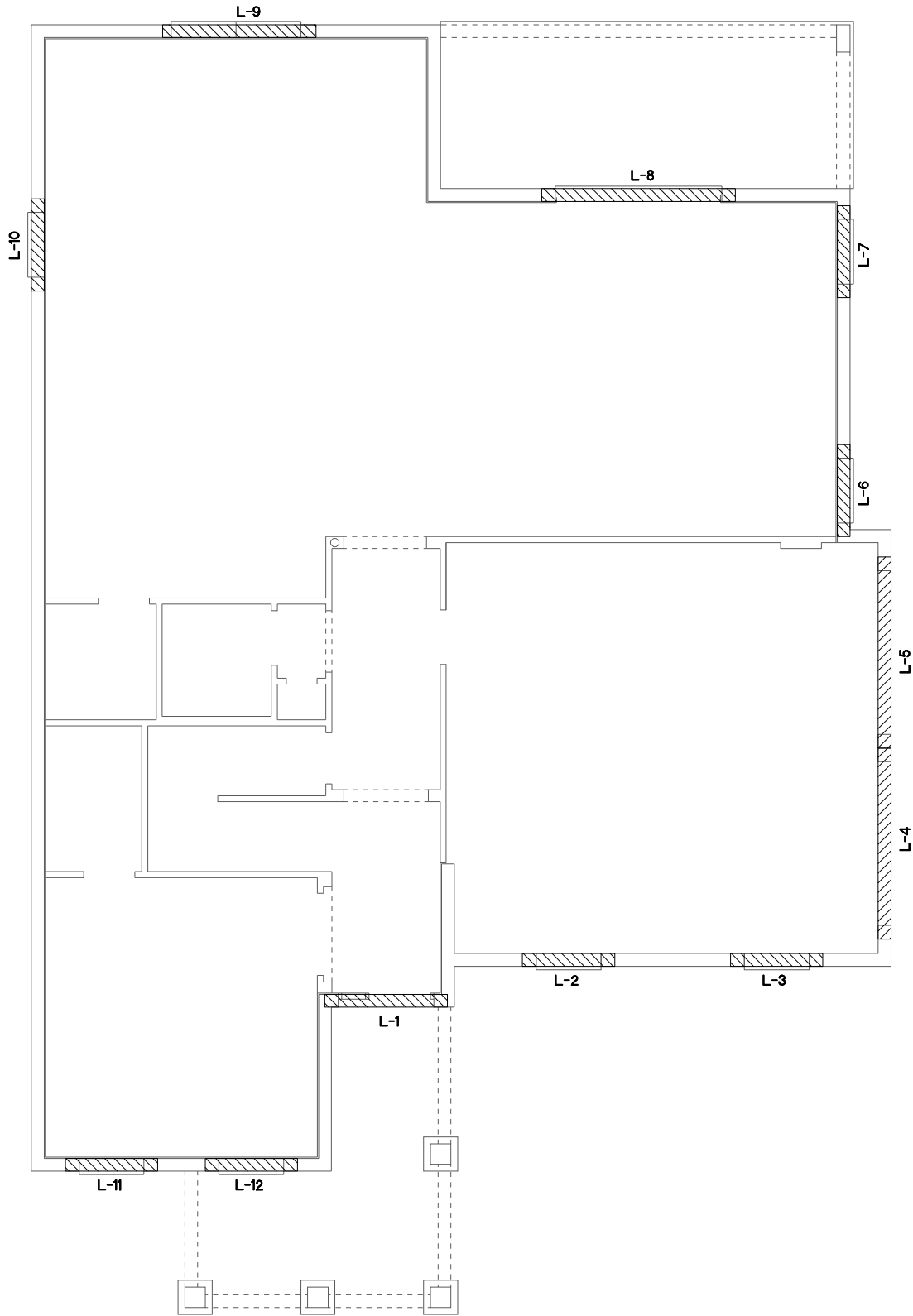
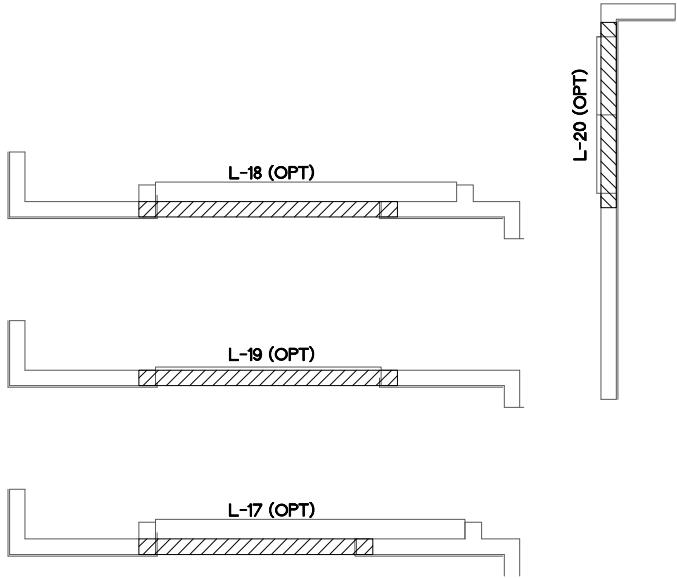
CAST CRETE / LOTT'S / WEKIWA LINTEL SCHEDULE			
LINTEL NO.	LENGTH	TYPE	COMMENTS
L 1	6'-0"	8FR12-0B/1T	FRONT DOOR
L 2	4'-6"	8F16-0B/1T	SH3050
L 3	4'-6"	8F16-0B/1T	SH3050
L 4	9'-2"	8F34-1B/1T	GARAGE DOOR SEE NOTE #1
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L 12	4'-6"	8F16-0B/1T	SH3050
L 13			
L 14			
L 15			
L 16			
L 17	9'-6"	8F16-0B/1T	OPT. 8080 HID. SGD
L 18	10'-6"	8F16-0B/1T	OPT. 9080 HID. SGD
L 19	10'-6"	8F16-0B/1T	OPT. 9080 SGD
L 20	7'-6"	8F16-0B/1T	OPT. FR. SH3050

NOTE:

1. LINTEL DEPTH(S) ARE RELATIVE TO FINISHED FLOOR, CONTRACTOR IS ALLOWED A VARIANCE IN DEPTH OF PLUS/MINUS 4" U.N.O.

PRECAST LINTEL LAYOUT "C"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION A - STANDARD BONUS - SIDE LOAD

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

LOT SPECIFIC INFORMATION

OPTION A - STANDARD BONUS - SIDE LOAD

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

164

OF 26 SHEETS

2718 BISCAINE

DREAM FINDERS HOMES

PRECAST LINTEL LAYOUT

Engineering By:  
PRABHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

RDC  
THE MARK OF A QUALITY DESIGN

DREAM FINDERS  
THE MARK OF A QUALITY DESIGN

REVISIONS 09-22-21 BY: DH

CODE 2020

LA: 10-19-21 BY: RP

Item 5.



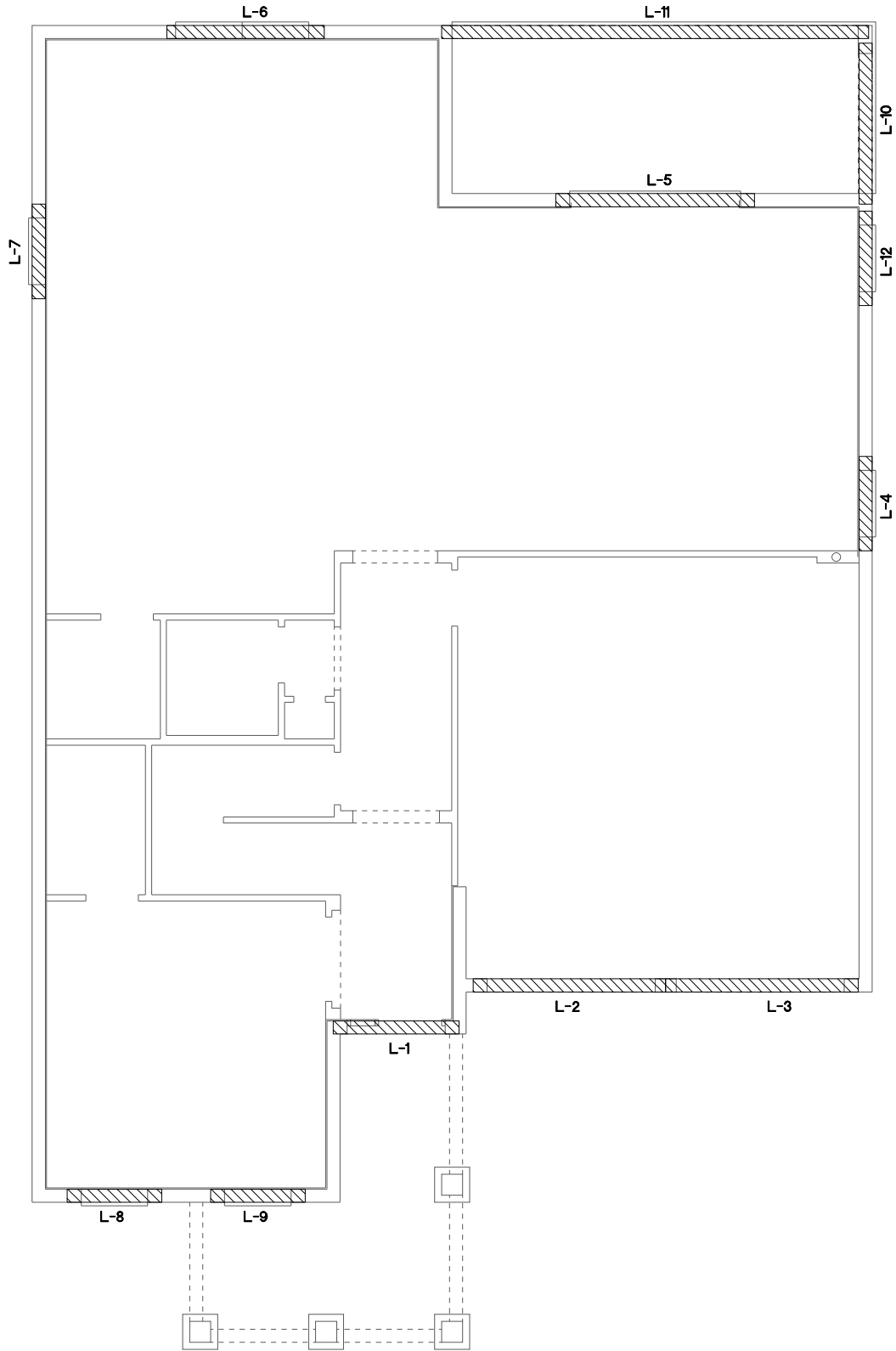
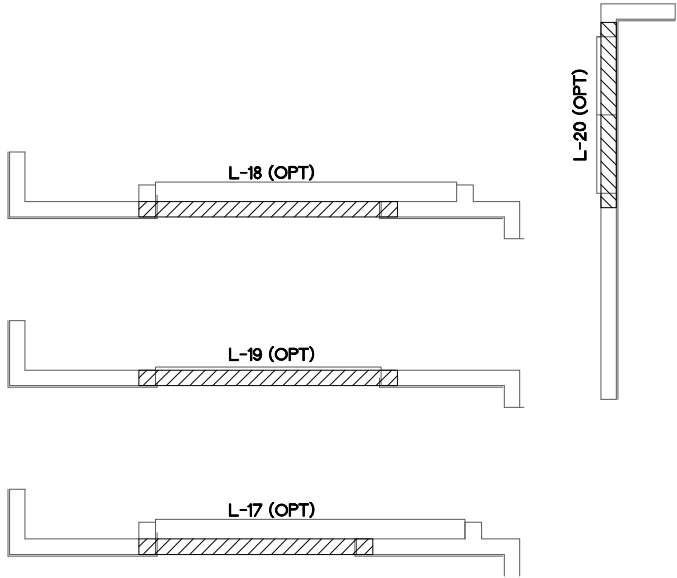
CAST CRETE / LOTT'S / WEKIWA LINTEL SCHEDULE			
LINTEL NO.	LENGTH	TYPE	COMMENTS
L 1	6'-0"	8FR12-0B/1T	FRONT DOOR
L 2	9'-2"	8F34-1B/1T	GARAGE DOOR SEE NOTE #1
L 3	9'-2"	8F34-1B/1T	GARAGE DOOR SEE NOTE #1
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L 15			
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NOTE:

1. LINTEL DEPTH(S) ARE RELATIVE TO FINISHED FLOOR, CONTRACTOR IS ALLOWED A VARIANCE IN DEPTH OF PLUS/MINUS 4" U.N.O.

PRECAST LINTEL LAYOUT "C"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION B - EXTENDED BONUS

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LOT SPECIFIC INFORMATION

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DATE	07-31-19
SCALE	AS NOTED
DRAWN	RDC
JOB	2718
165	
OF 26 SHEETS	1

2718 BISCAVNE	PRECAST LINTEL LAYOUT
DREAM FINDERS HOMES	



Engineering By:  
PRABHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM  
4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811  
INFO@RDCFLA.COM

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REVISIONS 09-22-21

BY: DH

LA: 10-19-21

BY: RP

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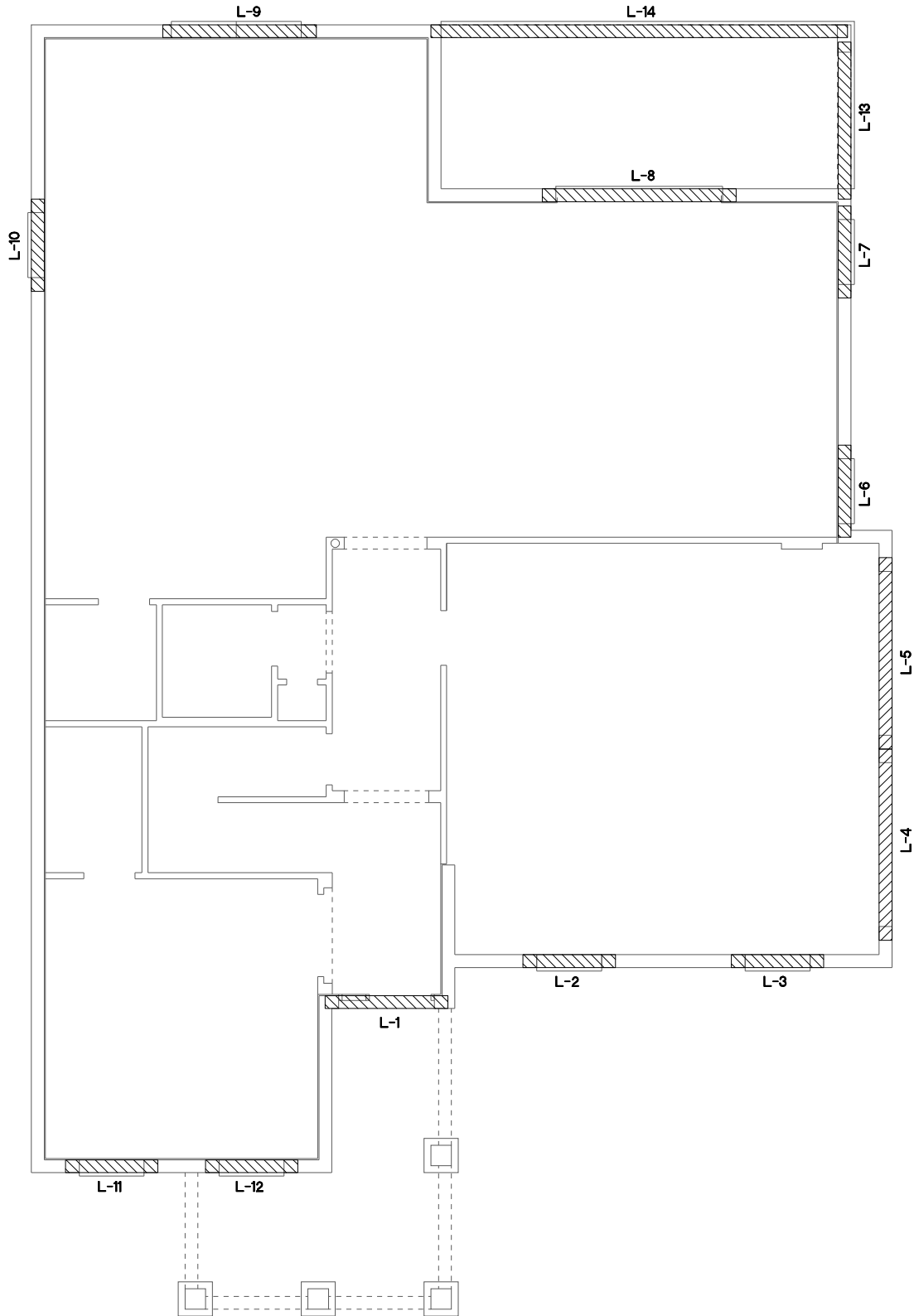
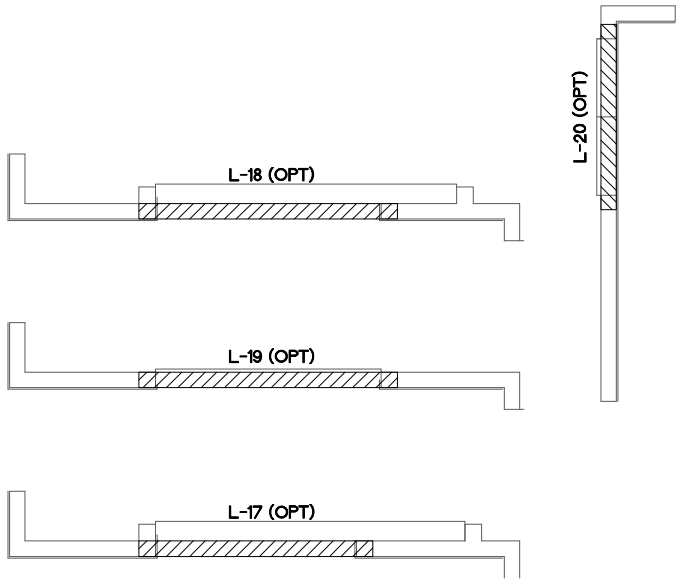
CAST CRETE / LOTT'S / WEKIWA LINTEL SCHEDULE			
LINTEL NO.	LENGTH	TYPE	COMMENTS
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L 17	9'-6"	8F16-0B/1T	OPT. 8080 HID. SGD
L 18	10'-6"	8F16-0B/1T	OPT. 9080 HID. SGD
L 19	10'-6"	8F16-0B/1T	OPT. 9080 SGD
L 20	7'-6"	8F16-0B/1T	OPT. FR. SH3050

NOTE:

1. LINTEL DEPTH(S) ARE RELATIVE TO FINISHED FLOOR, CONTRACTOR IS ALLOWED A VARIANCE IN DEPTH OF PLUS/MINUS 4" U.N.O.

PRECAST LINTEL LAYOUT "C"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPTION B - EXTENDED BONUS - SIDE LOAD

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

LOT SPECIFIC INFORMATION

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DATE	07-31-19
SCALE	AS NOTED
DRAWN	RDC
JOB	2718
166	1
OF 26	SHEETS

2718 BISCAVNE

DREAM FINDERS HOMES

PRECAST LINTEL LAYOUT



Engineering By:  
PRABHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM  
4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811  
INFO@RDCFLA.COM



CODE 2020

REVISIONS 09-22-21

BY: DH

LA: 10-19-21

BY: RP

Item 5.

# SAFE LOAD TABLES FOR GRAVITY, UPLIFT & LATERAL LOADS

## 8" PRECAST & PRESTRESSED U-LINTELS

LENGTH	TYPE	GRAVITY															
		8F8-0B	8F10-0B	8F12-0B	8F14-0B	8F16-0B	8F18-0B	8F20-0B	8F22-0B	8F24-0B	8F26-0B	8F28-0B	8F30-0B	8F32-0B	8F34-0B	8F36-0B	8F38-0B
2'-10" (34')	PRECAST	2302	3166	4473	6039	7526	9004	10472	11936	13400	14864	16328	17792	19256	20720	22184	23648
3'-6" (42')	PRECAST	2302	3166	4473	6039	7526	9004	10472	11936	13400	14864	16328	17792	19256	20720	22184	23648
4'-0" (48')	PRECAST	2029	2646	4473	6039	7526	9004	10472	11936	13400	14864	16328	17792	19256	20720	22184	23648
4'-6" (54')	PRECAST	1651	2170	4021	6039	7526	9004	10472	11936	13400	14864	16328	17792	19256	20720	22184	23648
5'-4" (64')	PRECAST	1184	1665	2889	5051	6039	9004	6424	7450	8476	9502	10528	11554	12580	13606	14632	15658
5'-10" (70')	PRECAST	972	1459	2464	4144	5458	6437	7463	8489	9515	10541	11567	12593	13619	14645	15671	16697
6'-6" (78')	PRECAST	931	1255	2101	3263	4144	5458	6437	7463	8489	9515	10541	11567	12593	13619	14645	15671
7'-6" (90')	PRECAST	167	1029	1675	2385	3095	3805	4515	5225	5935	6645	7355	8065	8775	9485	10195	10905
9'-4" (112')	PRECAST	973	168	1212	1818	2544	3469	4394	5319	6244	7169	8094	9019	9944	10869	11794	12719
10'-6" (126')	PRECAST	456	658	1025	1514	2081	2714	3350	3986	4622	5258	5894	6530	7166	7802	8438	9074
11'-4" (136')	PRECAST	445	598	935	1365	1854	2359	2854	3350	3845	4341	4836	5332	5828	6324	6819	7315
12'-0" (144')	PRECAST	414	555	864	1254	1664	2074	2484	2894	3304	3714	4124	4534	4944	5354	5764	6174
13'-4" (160')	PRECAST	362	421	726	1029	1331	1635	1939	2243	2547	2851	3155	3459	3763	4067	4371	4675
14'-0" (168')	PRECAST	338	381	648	919	1190	1462	1734	2006	2278	2550	2822	3094	3366	3638	3910	4182
14'-8" (176')	PRESTRESSED	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
15'-4" (184')	PRESTRESSED	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
17'-4" (208')	PRESTRESSED	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
19'-4" (232')	PRESTRESSED	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
21'-4" (256')	PRESTRESSED	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
22'-0" (264')	PRESTRESSED	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
24'-0" (288')	PRESTRESSED	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR

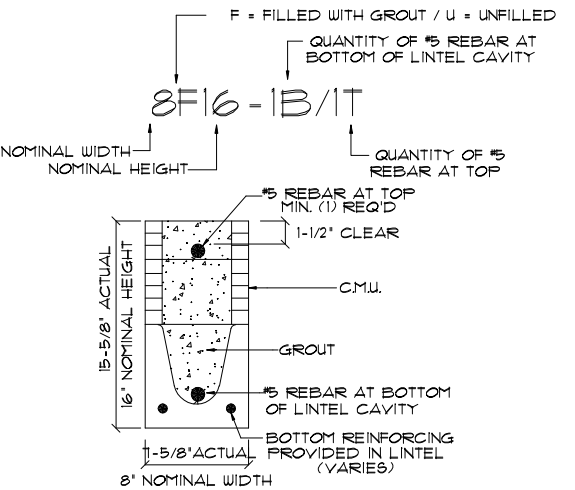
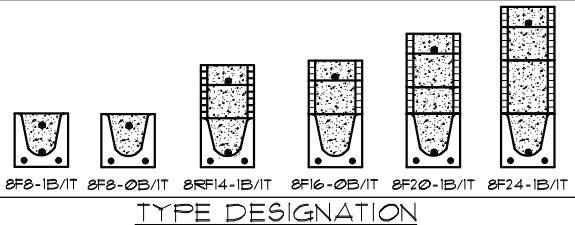
## 8" PRECAST W/ 2" RECESS DOOR U-LINTELS

LENGTH	TYPE	GRAVITY															
		8F8-0B	8F10-0B	8F12-0B	8F14-0B	8F16-0B	8F18-0B	8F20-0B	8F22-0B	8F24-0B	8F26-0B	8F28-0B	8F30-0B	8F32-0B	8F34-0B	8F36-0B	8F38-0B
4'-4" (52')	PRECAST	1489	1971	3053	4282	5511	6740	7969	9198	10427	11656	12885	14114	15343	16572	17801	19030
4'-6" (54')	PRECAST	1351	1833	2715	3600	4481	5362	6243	7124	8005	8886	9767	10648	11529	12410	13291	14172
5'-8" (68')	PRECAST	785	832	1602	1550	2058	2566	3075	3583	4092	4600	5109	5617	6126	6635	7143	7652
5'-10" (70')	PRECAST	735	779	1500	1449	1924	2400	2876	3352	3828	4304	4780	5256	5732	6208	6684	7160
6'-8" (80')	PRECAST	822	907	1671	2933	4100	5267	6434	7601	8768	9935	11102	12269	13436	14603	15770	16937
7'-6" (90')	PRECAST	665	761	1371	2352	3333	4314	5295	6276	7257	8238	9219	10200	11181	12162	13143	14124
9'-8" (116')	PRECAST	371	420	834	1253	1671	2090	2509	2928	3347	3766	4185	4604	5023	5442	5861	6280

## 8" PRECAST & PRESTRESSED U-LINTELS

LENGTH	TYPE	UPLIFT															
		8F8-0B	8F10-0B	8F12-0B	8F14-0B	8F16-0B	8F18-0B	8F20-0B	8F22-0B	8F24-0B	8F26-0B	8F28-0B	8F30-0B	8F32-0B	8F34-0B	8F36-0B	8F38-0B
2'-10" (34')	PRECAST	2121	2818	4101	5332	6563	7794	9025	10256	11487	12718	13949	15180	16411	17642	18873	20104
3'-6" (42')	PRECAST	2121	2818	4101	5332	6563	7794	9025	10256	11487	12718	13949	15180	16411	17642	18873	20104
4'-0" (48')	PRECAST	2121	2818	4101	5332	6563	7794	9025	10256	11487	12718	13949	15180	16411	17642	18873	20104
4'-6" (54')	PRECAST	1660	1762	2501	3251	4001	4751	5501	6251	7001	7751	8501	9251	10001	10751	11501	12251
5'-4" (64')	PRECAST	1393	1431	2050	2610	3170	3730	4290	4850	5410	5970	6530	7090	7650	8210	8770	9330
5'-10" (70')	PRECAST	1272	1351	1935	2505	3075	3645	4215	4785	5355	5925	6495	7065	7635	8205	8775	9345
6'-6" (78')	PRECAST	1141	1200	1733	2250	2767	3284	3801	4318	4835	5352	5869	6386	6903	7420	7937	8454
7'-6" (90')	PRECAST	950	1029	1466	1907	2351	2795	3239	3683	4127	4571	5015	5459	5903	6347	6791	7235
9'-4" (112')	PRECAST	801	850	1192	1550	1910	2271	2634	2997	3360	3723	4086	4449	4812	5175	5538	5901
10'-6" (126')	PRECAST	716	761	1039	1389	1741	2094	2447	2800	3153	3506	3859	4212	4565	4918	5271	5624
11'-4" (136')	PRECAST	666	716	993	1343	1693	2043	2393	2743	3093	3443	3793	4143	4493	4843	5193	5543
12'-0" (144')	PRECAST	607	657	934	1284	1634	1984	2334	2684	3034	3384	3734	4084	4434	4784	5134	5484
13'-4" (160')	PRECAST	500	549	826	1176	1526	1876	2226	2576	2926	3276	3626	3976	4326	4676	5026	5376
14'-0" (168')	PRECAST	458	507	784	1134	1484	1834	2184	2534	2884	3234	3584	3934	4284	4634	4984	5334
14'-8" (176')	PRESTRESSED	243	285	459	631	803	975	1147	1319	1491	1663	1835	2007	2179	2351	2523	2695
15'-4" (184')	PRESTRESSED	228	270	444	616	788	960	1132	1304	1476	1648	1820	1992	2164	2336	2508	2680
17'-4" (208')	PRESTRESSED	188	230	404	576	748	920	1092	1264	1436	1608	1780	1952	2124	2296	2468	2640
19'-4" (232')	PRESTRESSED	165	207	381	553	725	897	1069	1241	1413	1585	1757	1929	2101	2273	2445	2617
21'-4" (256')	PRESTRESSED	145	187	361	533	705	877	1049	1221	1393	1565	1737	1909	2081	2253	2425	2597
22'-0" (264')	PRESTRESSED	131	173	347	519	691	863	1035	1207	1379	1551	1723	1895	2067	2239	2411	2583
24'-0" (288')	PRESTRESSED	121	163	337	509	681	853	1025	1197	1369	1541	1713	1885	2057	2229	2401	2573

\*REDUCE VALUE BY 25% FOR GRADE 40 FIELD REBAR



## MATERIALS

1. f'c precast lintels = 3500 psi.
2. f'c prestressed lintels = 6000 psi.
3. f'c grout = 3000 psi w/ maximum 3/8" aggregate.
4. Concrete masonry units (CMU) per ASTM C90 w/ minimum net area compressive strength = 1900 psi.
5. Rebar provided in precast lintel per ASTM A615 GR60. Field rebar per ASTM A615 GR40 or GR60.
6. Prestressing strand per ASTM A416 grade 270 low relaxation.
7. T/32 wire per ASTM A510.
8. Mortar per ASTM C270 type M or S.

## GENERAL NOTES

1. Provide full mortar head and bed joints.
2. Shore filled lintels as required.
3. Installation of lintel must comply with the architectural and/or structural drawings.
4. Lintels are manufactured with 5-1/2' long notches at the ends to accommodate vertical cell reinforcing and grouting.
5. All lintels meet or exceed L/360 vertical deflection, except lintels 17'-4" and longer with a nominal height of 8' meet or exceed L/180.
6. Bottom field added rebar to be located at the bottom of the lintel cavity.
7. T/32" diameter wire stirrups are welded to the bottom steel for mechanical anchorage.
8. Cast-in-place concrete may be provided in composite lintel in lieu of concrete masonry units.
9. Safe load ratings based on rational design analysis per ACI 318 and ACI 530.

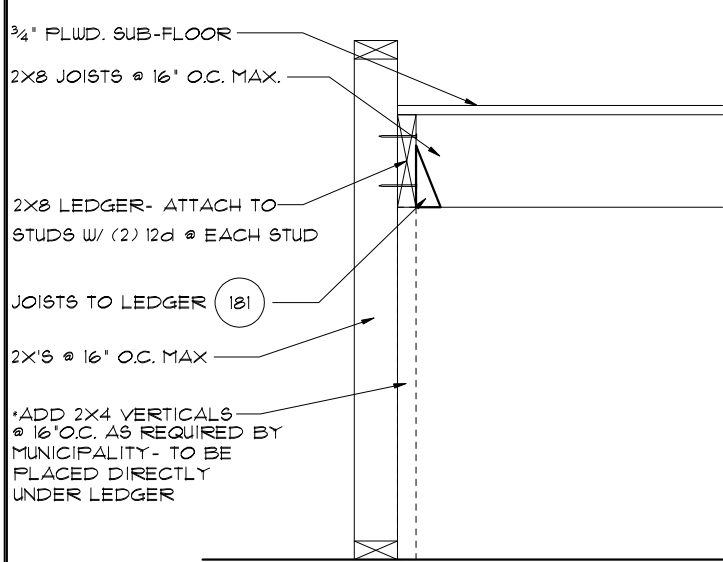
## SAFE LOAD TABLE NOTES

1. All values based on minimum 4" bearing. Exception: Safe loads for unfilled lintels must be reduced by 20% if bearing length is less than 6-1/2". Safe loads for all recessed lintels based on 8" nominal bearing.
2. N.R. = Not Rated.
3. Safe loads are total superimposed allowable load on the section specified.
4. Safe loads based on grade 40 or grade 60 field rebar.
5. Additional lateral load capacity can be obtained by the designer by providing additional reinforced masonry above the precast lintel.
6. One #1 rebar may be substituted for two #5 rebars in 8" lintels only.
7. The designer may evaluate concentrated loads from the safe load tables by calculating the maximum resisting moment and shear at d-away from the face of support.
8. For composite lintel heights not shown, use safe load from next lower height.
9. All safe loads in units of pounds per linear foot.

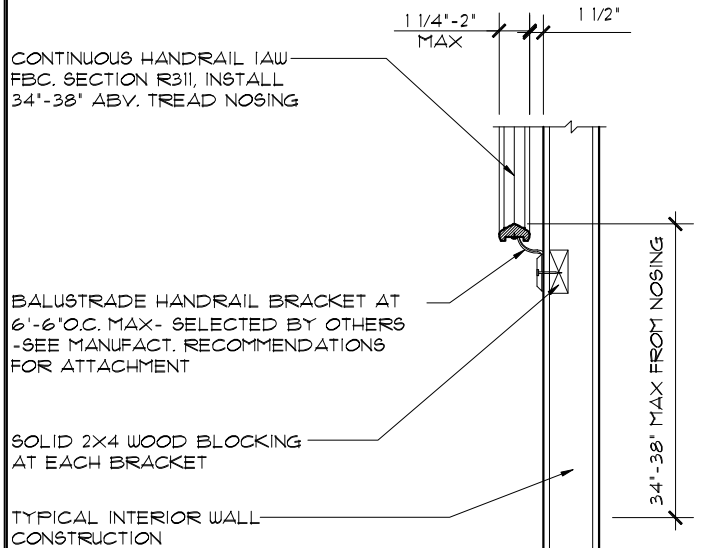
## 8" PRECAST W/ 2" RECESS DOOR U-LINTELS

		UPLIFT												LATERAL		
LENGTH	TYPE	8F6-1T	8F10-1T	8F14-1T	8F18-1T	8F22-1T	8F26-1T	8F30-1T								
		8F6-2T	8F10-2T	8F14-2T	8F18-2T	8F22-2T	8F26-2T	8F30-2T	8R16	8R24						
4'-4' (52') PRECAST		1244	1513	2413	3160	4112	4967	5825					932	932		
		1244	1515	2333	3101	4008	4850	5636								
4'-6' (54') PRECAST		1192	1507	2311	3121	3931	4756	5571					853	853		
		1192	1445	2240	3036	3837	4643	5453								
5'-8' (68') PRECAST		924	1172	1795	2423	3055	3689	4325					501	501		
		924	1132	1741	2357	2918	3623	4230								
5'-10' (70') PRECAST		836	1138	1742	2352	2956	3581	4198					469	469		
		836	1099	1630	2288	2891	3491	4106								
6'-8' (80') PRECAST		718	882	1513	2042	2573	3107	3642					830	1100		
		718	926	1468	1981	2509	3035	3563								
7'-6' (90') PRECAST		608	691	1325	1810	2280	2753	3271								
		608	849	1302	1762	2225	2730	3195					710	941		
9'-8' (116') PRECAST		533	533	808	1123	1413	1714	1995								
		533	571	1009	1369	1728	2088	2450								
*REDUCE VALUE BY 25% FOR GRADE 40 FILL REBAR																





4 TYP. STAIR CONNECT.  
15 3/4" = 1'-0" (11X17) 1 1/2" = 1'-0" (22"X34") PLATFORM FRAMING



5 TYP. HANDRAIL DET.  
15 3/4" = 1'-0" (11X17) 1 1/2" = 1'-0" (22"X34")

NOTES:

STAIRWAY CONSTRUCTION TO CONFORM TO FBCR 2020, 11TH EDITION SECTION R311.7

MAX. HGT. OF RISER TO BE  $7\frac{1}{4}"$ , WITH THE GREATEST RISER HEIGHT NOT EXCEEDING THE SMALLEST BY MORE THAN  $\frac{3}{8}"$ .

MIN. DEPTH OF TREAD TO BE NO LESS THAN 10", WITH THE GREATEST TREAD DEPTH NOT EXCEEDING THE SMALLEST BY MORE THAN  $\frac{3}{8}"$ .

WINDER TREADS SHALL HAVE A TREAD DEPTH OF NO LESS THAN 10" MEASURED BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION.

WINDER TREADS SHALL HAVE A TREAD DEPTH OF NO LESS THAN 6" AT ANY POINT WITHIN THE CLEAR WIDTH OF THE STAIR.

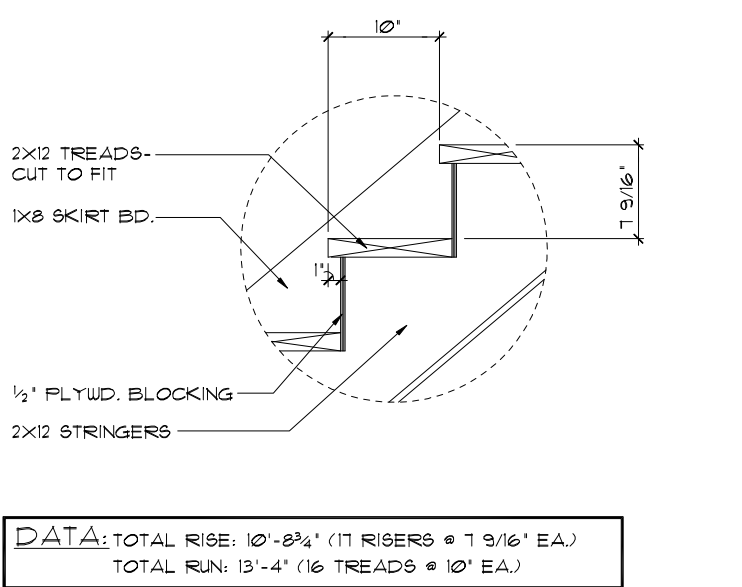
THE LARGEST WINDER TREAD DEPTH AT THE WALKLINE SHALL NOT EXCEED THE SMALLEST WINDER BY MORE THAN  $\frac{3}{8}"$ .

CONSISTENTLY SHAPED WINDERS AT THE WALKLINE SHALL BE ALLOWED WITHIN THE SAME FLIGHT OF STAIRS AS RECTANGULAR TREADS AND DO NOT NEED TO BE WITHIN  $\frac{3}{8}"$  OF THE RECTANGULAR TREAD DEPTH.

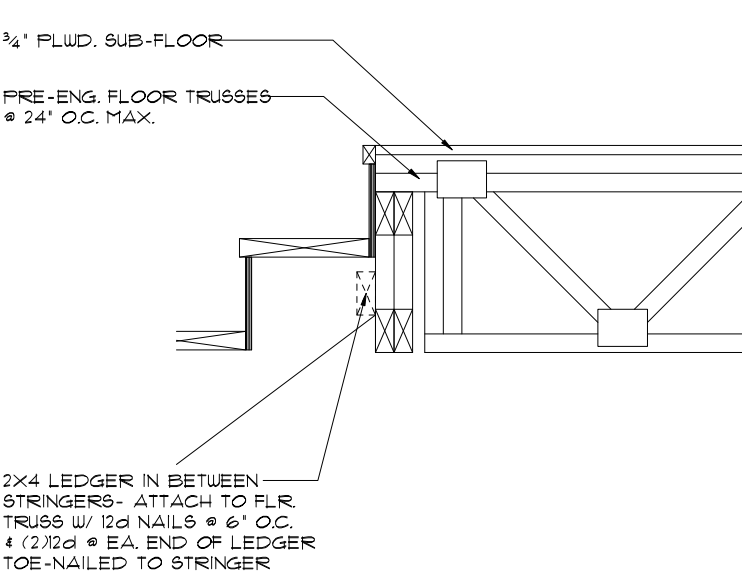
HANDRAIL CIRCULAR CROSS SECTION DIA TO BE  $1\frac{1}{2}"$  - 2" OR TO PROVIDE EQUIVALENT GRASPABILITY.

34"-38" HANDRAIL HGT. MEASURED FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FINISH SURFACE OF RAMP SLOPE.

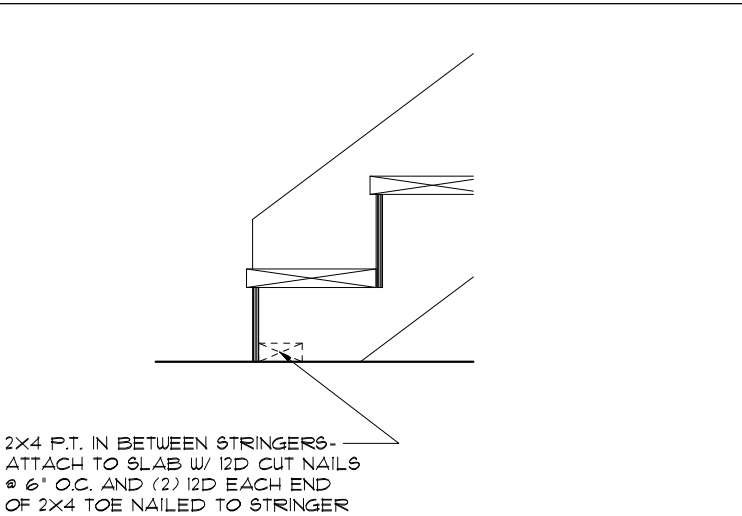
HEADROOM IN STAIRWAYS SHALL BE NOT LESS THAN 6'-8" MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF THE STAIRWAY.



1 STAIR DETAIL  
15 3/4" = 1'-0" (11X17) 1 1/2" = 1'-0" (22"X34") STAIR DATA



2 TYP. STAIR CONNECT.  
15 3/4" = 1'-0" (11X17) 1 1/2" = 1'-0" (22"X34") STRINGER TO FLOOR TRUSS



3 TYP. STAIR CONNECT.  
15 3/4" = 1'-0" (11X17) 1 1/2" = 1'-0" (22"X34") STRINGER TO FLOOR

CONNECTOR SCHEDULE						
CONNECT. TYPE	SIMPSON		USP		MAX. UPLIFT	LAT. LDS. FI / F2
	DESCRIPTION	FASTENERS PER CONNECTOR	DESCRIPTION	FASTENERS PER CONNECTOR		
4	HETA20	14-10d x 1 1/2"	ETA20	14-10d	1810	65 / 960
22	H10A	RFT: 9-10d x 1 1/2" PLT: 9-10d x 1 1/2"	RT16	RFT: 9-10d x 1 1/2" PLT: 9-10d	1140	590/285
23	LUS26	HDR: 4-10d/JST: 4-10d RFT / TRS: 4-8d	JUS26	HDR: 4-10d/JST: 4-10d RFT / TRS: 9-10d	935	N/A
24	H7	PLT / STD: 10-8d	RT20	PLT / STD: 13-10d	985	400 / N/A
26	H25	RFT:5-8d / PLT: 5-8d	RT7	RFT:5-8d / PLT: 5-8d	415	150 / 150
35	A35F	H:4-8dx1 1/2" / P:4-8dx1 1/2"	MPAIF	H:6-8dx1 1/2" / P:6-8dx1 1/2"	440	440 / N/A
37	MTS12	14-10d	MTW12	14-10d	1,000	N/A
38	MTS16	14-10d	MTW16	14-10d	1,000	N/A
39	MTSM16	BLK: (4) 1/4"X2 1/4" T.C. TRUSS: (7) 10d	MTW16	BLK: (4) 1/4"X2 1/4" T.C. TRUSS: (7) 10d	860	N/A
43	LSTA12	10-10d	LSTA12	10-10d	905	N/A
44	HGA10	RFT / 4-SDS 1/4"X1 1/2" PLT / 4-SDS 1/4"X3"	N/A	N/A	500	840/675
45	ST18	14-16d	ST18	14-16d	1200	N/A
47	LSTA24	18-10d	LSTA24	18-10d	1295	N/A
71	MSTA36	26-10d	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	N/A	N/A	5,495	N/A
79	SP1	STD:6-10d / PLT:4-10d	SPT22	STD:4-10d / PLT:4-10d	535	560 / 260
80	SP2	STD:6-10d / PLT:6-10d	SPT224	STD:6-10d / PLT:6-10d	605	560 / 260
81	SPH4,6,8	12-10d x 1 1/2"	TP4,6,8	12-10d x 1 1/2"	885	N/A
86	ECCLL/RQ-SDS25	1/4"X2 1/2" STRONG DRIVE SDS H.D. CON. SCREWS	N/A	N/A	M: 2835 S: 1840	N/A
88	CB8Q88	12 SDS 1/4X2"			3975	N/A
89	CB66	(2) 5/8" BOLTS	PA8X8	4-10d	2,300	985
90	ABU66	12-16d	PAU66	12-16d	2,240	N/A
91	CB8Q66	14 SDS 1/4X2"			3,190	N/A
92	ABU44	12-16d	PAU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	PB866	24-16d	1,815	1,070
94	AC4 (MAX)	28-16d	PB844	24-16d	1,815	1,070
95	HTS20	20-10d	HTW20	20-10d	1,450	N/A
99	A35	H:4-8dx1 1/2" / P:4-8dx1 1/2"	MPAI	H:6-8dx1 1/2" / P:6-8dx1 1/2"	440	440 / N/A
101	HTT4	5/8" BOLT / 18-16dX2 1/2"	N/A	N/A	3,640	N/A
102	HTT5	5/8" BOLT / 26-10d	N/A	N/A	4,275	N/A
103	VGTR/L	32-SDS 1/4"X3" / (2) 5/8" BLT	N/A	N/A	3,990	N/A
104	HDS8-SDS25	7/8" BLT / 20-SDS 1/4"X2 1/2"	N/A	N/A	5,020	N/A
105	HD7B	7/8"-3-3/4"	N/A	N/A	6,645	N/A
181	HUS26	20-16d	THD26	H:20-16d/J:10-10d	1,550	N/A
184	HUC28-2	H:14-16d/J:4-10d	N/A	N/A	1,085	N/A
212	HUC410	BLOCK: 10-1/4"X1 1/2" TC JOIST : 10-16d	N/A	N/A	1,810	N/A
213	HSUR/L410	BLOCK: 20-16d JOIST : 6-16d	N/A	BLOCK: N/A JOIST : N/A	1,300	N/A
214	HUC412	BLOCK: 10-1/4"X1 1/2" TC JOIST : 10-16d	HUS412	BLOCK: 10-1/4"X1 1/2" TC JOIST : 10-16d	1,895	N/A
215	HGUS210-2	HDR:46-16d/JST:10-16d	EHUH210-2	HDR:40-16d/JST:16-10d	2,720	N/A
216	HUCS412	BLOCK: 10-1/4"X1 1/2" TC JOIST : 10-16d	HUS412	BLOCK: 10-1/4"X1 1/2" TC JOIST : 10-16d	3,240	N/A
217	HUS212-2	BLOCK: 10-1/4"X1 1/2" TC JOIST : 10-16d	HUS212-2	BLOCK: 10-1/4"X1 1/2" TC JOIST : 10-16d	2,630	N/A
219	MBHA412	H:1-ATR 3/4X8 TOP & FACE JOIST: 18-10d	NFM35X12U	H:1-1/2" J-BOLT J:5-1/2" BOLTS	3,145	N/A
231	MBHA3.56/16	HDR : (2) 3/4" x 8" JOIST : 18-10d	NFM3.5X16U	HDR : MIN. 1/2" x J-BOLTS JOIST : (5) 1/2" x BOLTS	3,450	N/A
232	MBHA5.50/16	HDR : (2) 3/4" x 8" JOIST : 18-10d	NFM5.5X16U	HDR : MIN. 1/2" x J-BOLTS JOIST : (5) 1/2" x BOLTS	3,450	N/A
241	LGT2	30-16d-sinker	LUGT2	32-10d	2000	1015 / 440
242	LGT3	G: (12) SDS 1/4"X2 1/2"	N/A	W: (4) 3/8"X5" TITEN	2,365	N/A
243	LGT4-SDS3	G: (16) SDS 1/4"X3"	N/A	W: (4) 3/8"X5" TITEN HD	2,365	N/A
301	MGT	(1) 3/4"BLTS/GIR: 22-10d	N/A	N/A	3,965	N/A
302	HGT-2 or 3	LTL:3/4"BLTS/GIR: 8-10d	USC63	LTL:3/4"BLTS/GIR: 8-16d	6,485	N/A
303	HGT-4	LTL:3/4"BLTS/GIR: 16-10d	N/A	N/A	9,250	N/A
305	FGTR (2-PLY)	TRUSS: 36 SDS 1/2"X3" WALL:(4) 1/2"X5" TITEN HD	N/A	N/A	9,400	N/A
401	SUR/L414	FACE:18-16d/JST:8-16d	N/A	N/A	1,700	N/A
501A	LSU26	6-10d - 5-10dx1 1/2"	N/A	N/A	535	N/A
501B	LSU28	10-10d - 5-10dx1 1/2"	N/A	N/A	535	N/A
501C	LSU210	10-10d - 7-10dx1 1/2"	N/A	N/A	875	N/A
502A	LSU26	6-10d - 5-10dx1 1/2"	N/A	N/A	535	N/A
502B	LSU28	9-10d - 5-10dx1 1/2"	N/A	N/A	450	N/A
502C	LSU210	9-10d - 7-10dx1 1/2"	N/A	N/A	785	N/A
503	HRC22	6-10dx1 1/2 - 2-10dx1 1/2"	N/A	N/A	290	N/A
504	VPA2	8-10d - 2-10dx1 1/2"	N/A	N/A	295	375/250
505	HCP2	6-10dx1 1/2 - 6-10dx1 1/2"	N/A	N/A	645	N/A
T	CONNECTORS TO BE SPECIFIED AND PROVIDED BY TRUSS MANUFACTURERS					

Item 5.

Engineering By:  
PRABHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811  
INFO@RDCFLA.COM

STAIR DATA / CONNECTOR SCHEDULE

2718 BISCAYNE  
DREAM FINDERS HOMES

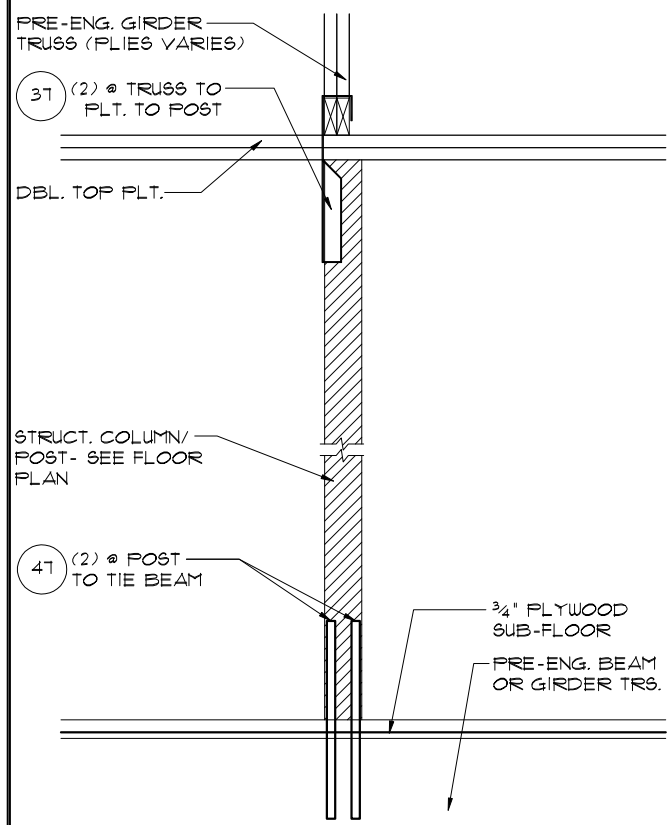
DATE 07-31-19  
SCALE AS NOTED  
DRAWN RDC  
JOB 2718  
168  
OF 26 SHEETS

LOT SPECIFIC INFORMATION  
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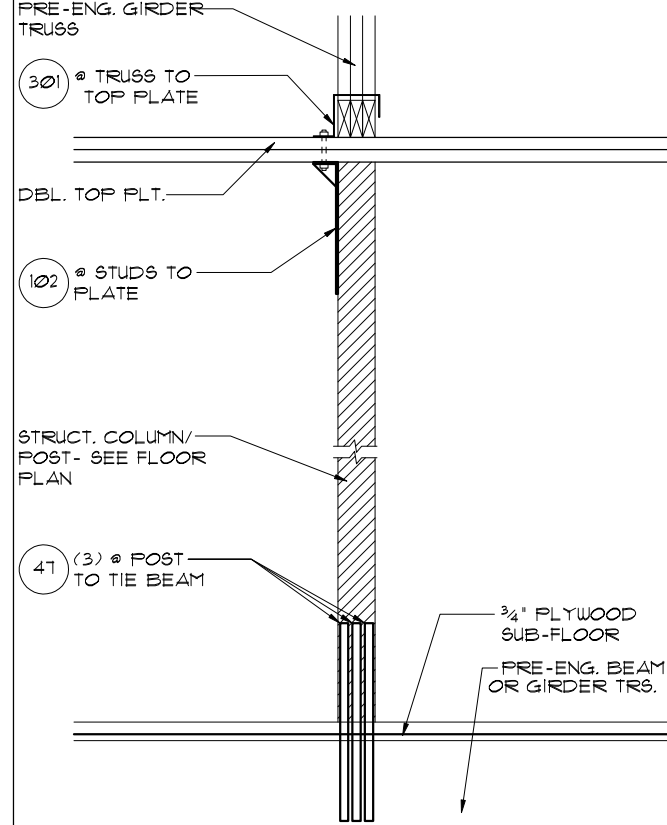
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LOT SPECIFIC INFORMATION  
BY: DH  
REVISIONS 09-22-21  
CODE 2020  
LA: 10-19-21

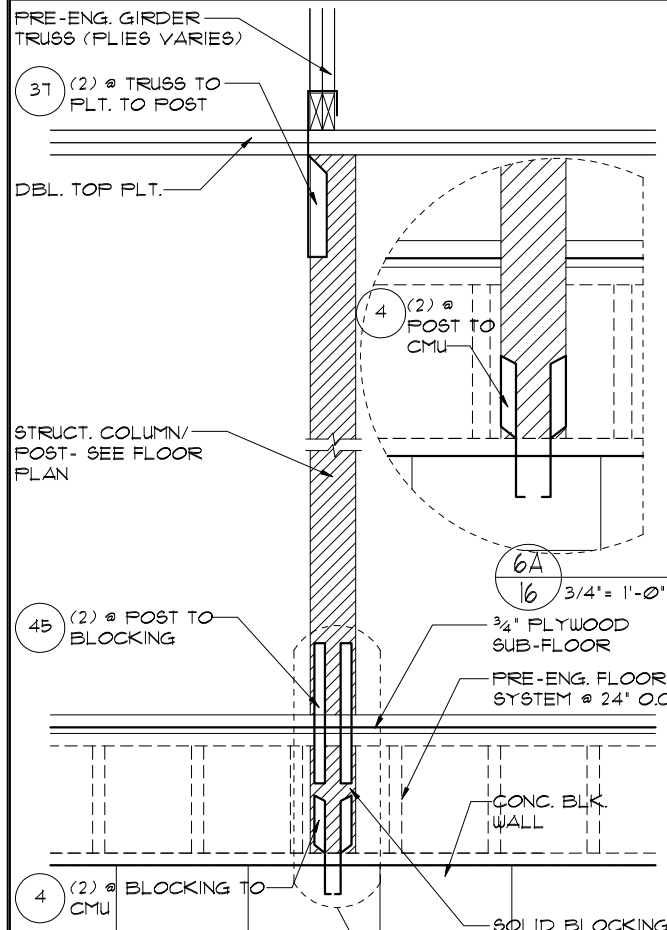




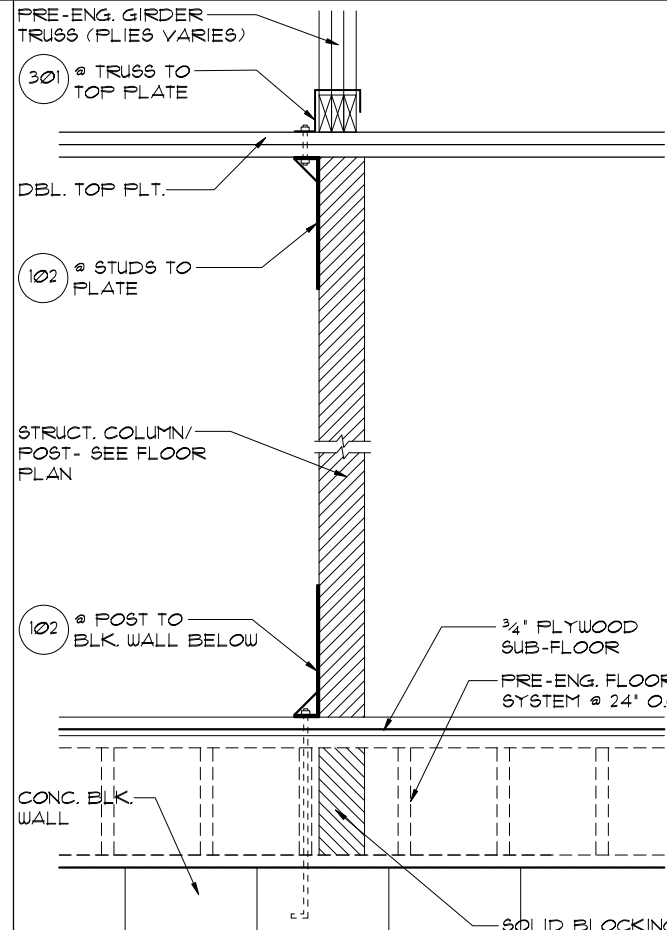
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1/2"=1'-0" (11X17) 1"=1'-0" (22"X34")



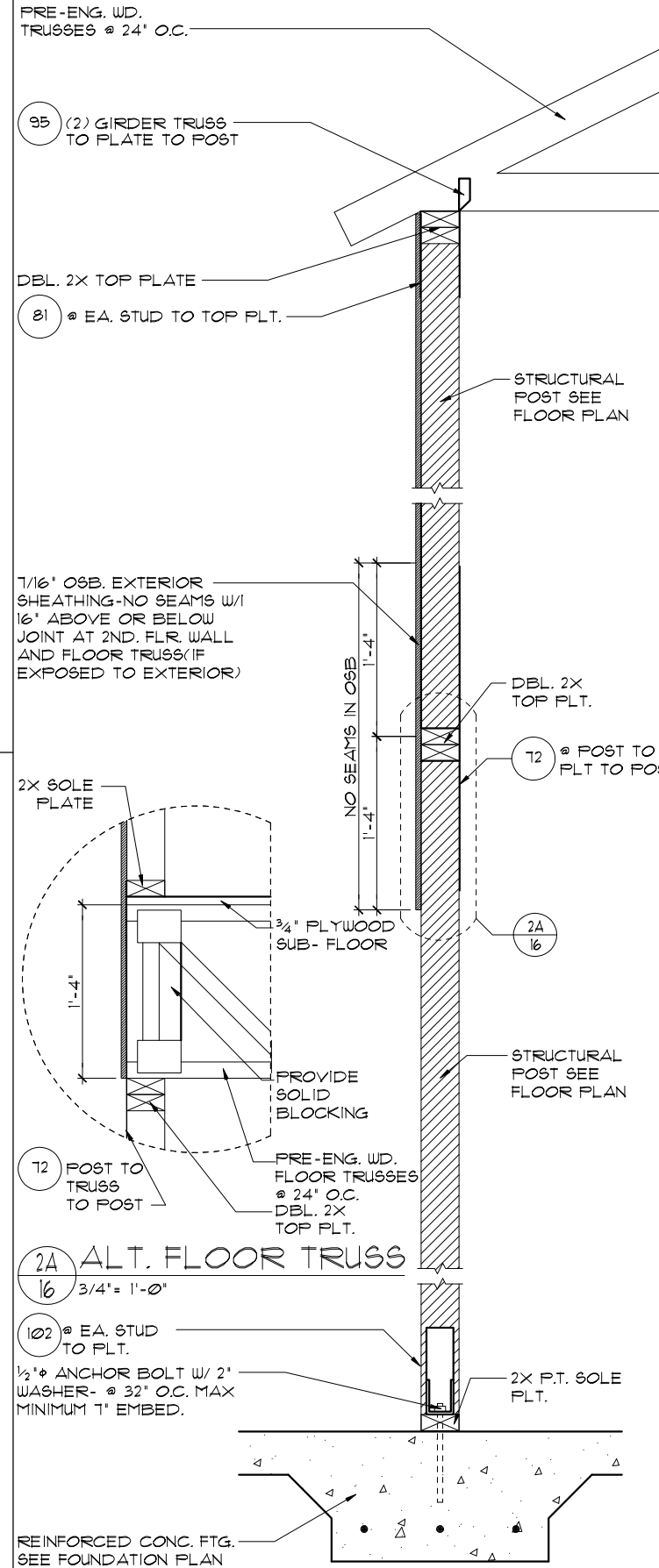
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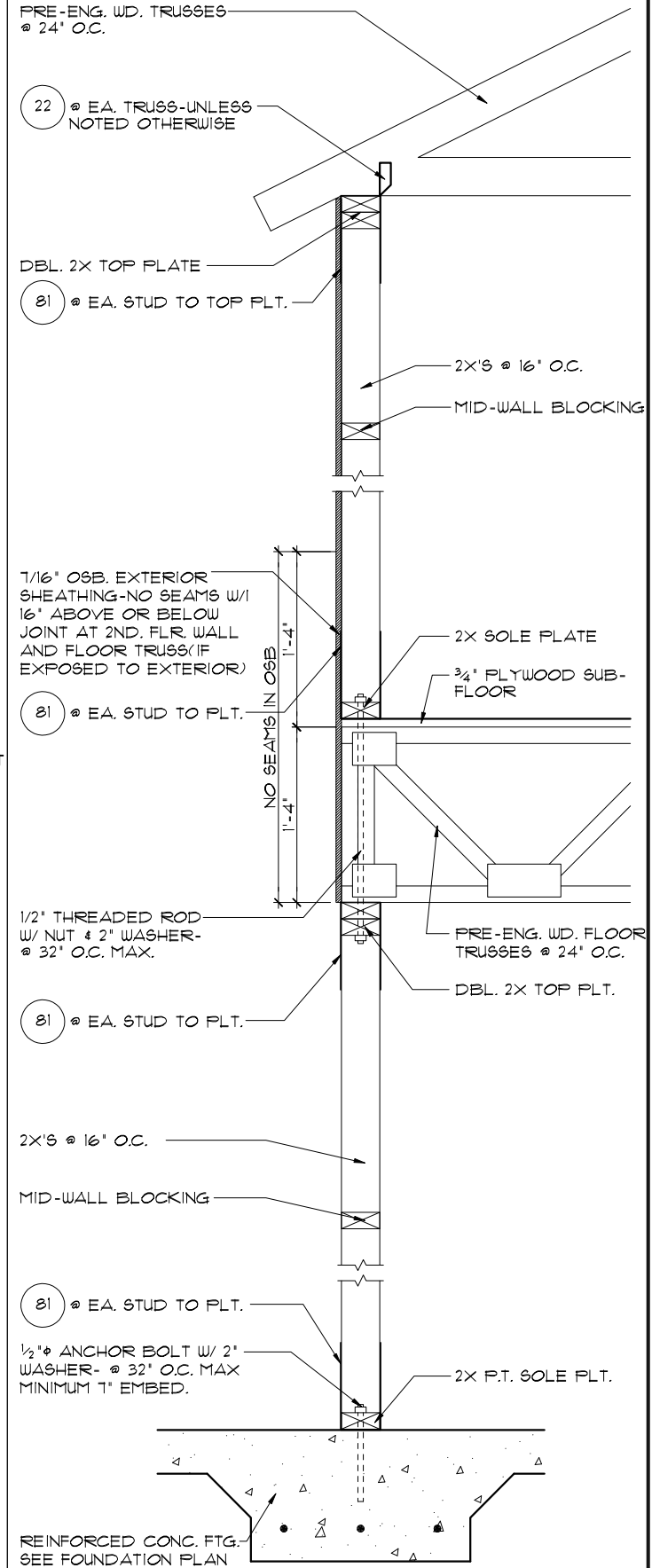
**6 DETAIL**  
1/2"=1'-0" (11X17) 1"=1'-0" (22"X34")



**4 DETAIL**  
1/2"=1'-0" (11X17) 1"=1'-0" (22"X34")



**2 DETAIL**  
3/4"=1'-0" (11X17) 1 1/2"=1'-0" (22"X34")



**1 DETAIL**  
3/4"=1'-0" (11X17) 1 1/2"=1'-0" (22"X34")

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

**LOT SPECIFIC INFORMATION**

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

2718

169

OF 26 SHEETS

Engineering By:  
PRASHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

4301 VINELAND RD.  
SUITE E-1  
ORLANDO, FL 32811  
INFO@RDCFLA.COM

**DREAM FINDERS**  
THE MAKERS OF DREAM FINDER HOMES

**TYPICAL DETAILS**

2718 BISCAYNE  
DREAM FINDERS HOMES

LA: 10-10-21 BY: RP

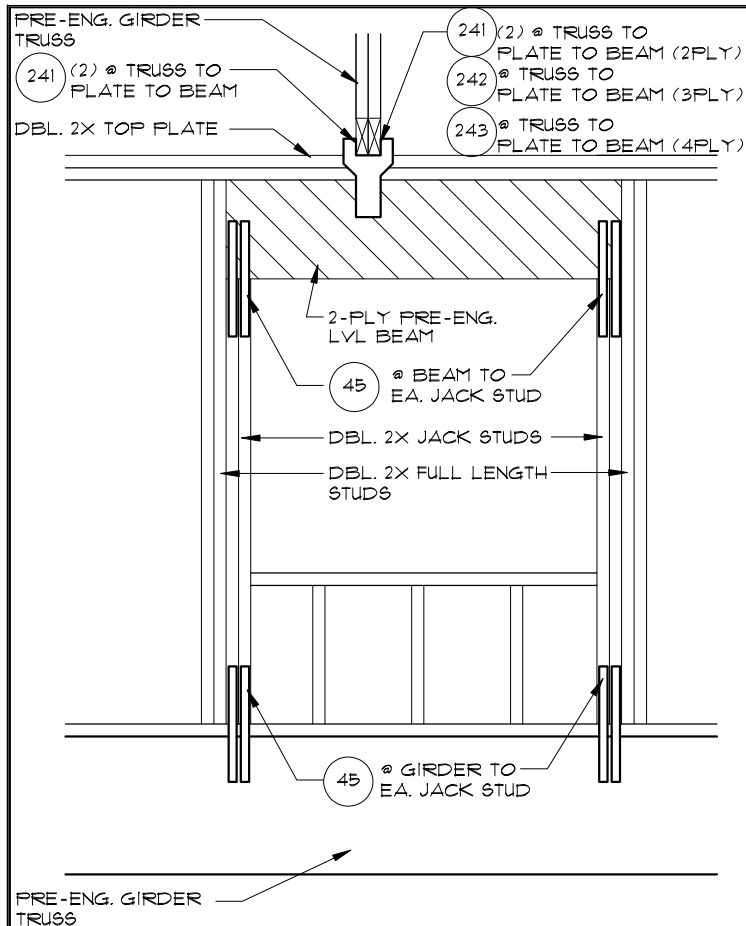
REVISIONS 09-22-21 BY: DH

**CODE 2020**

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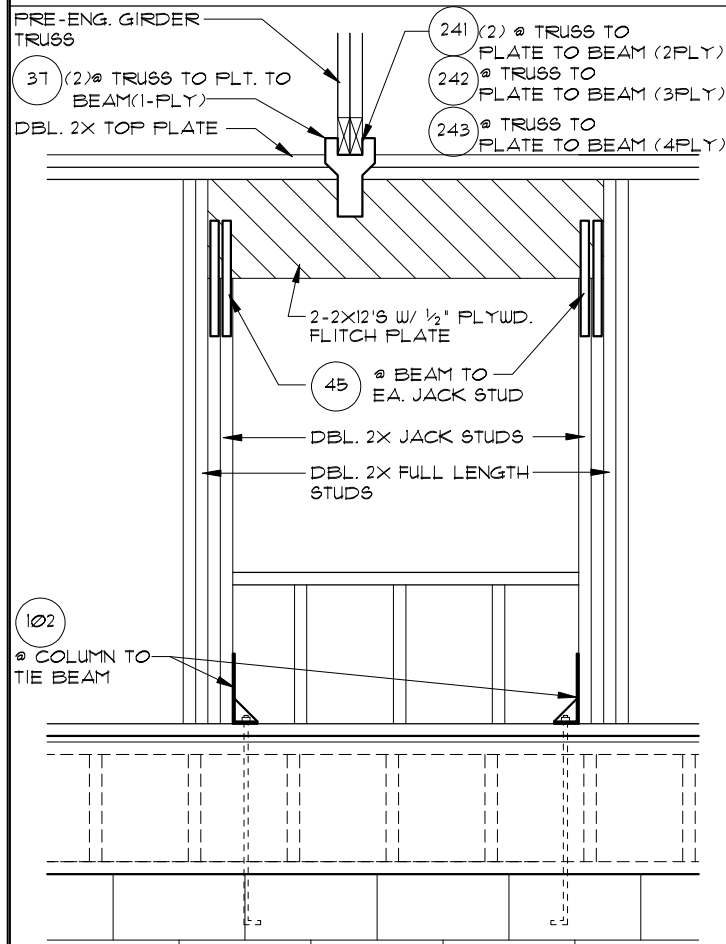
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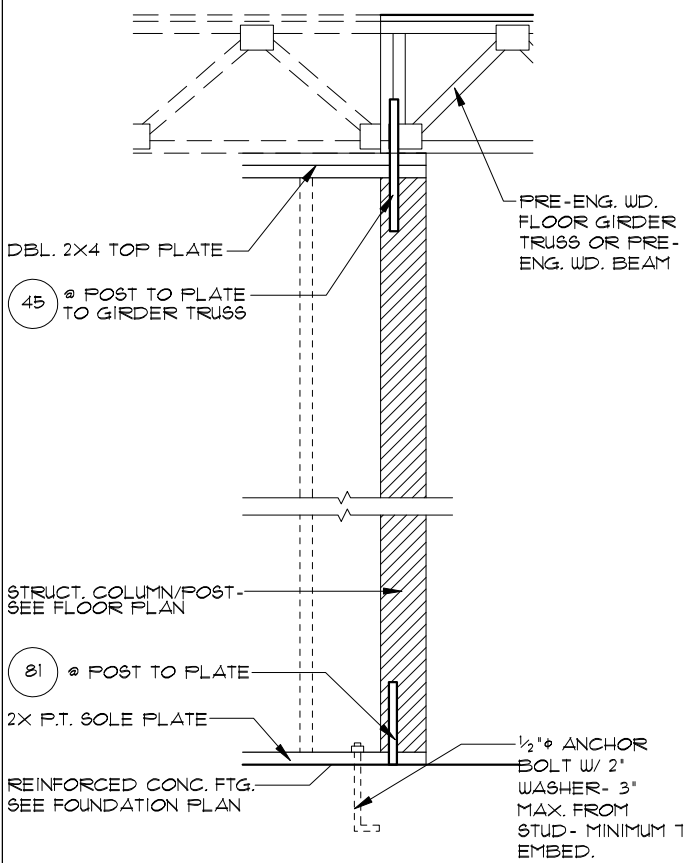
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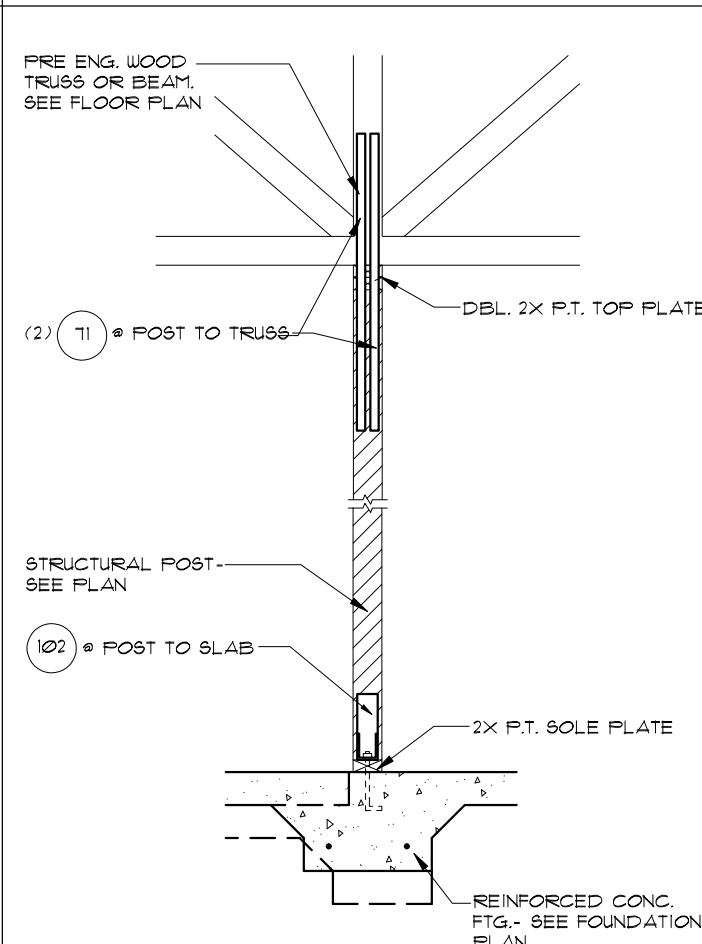
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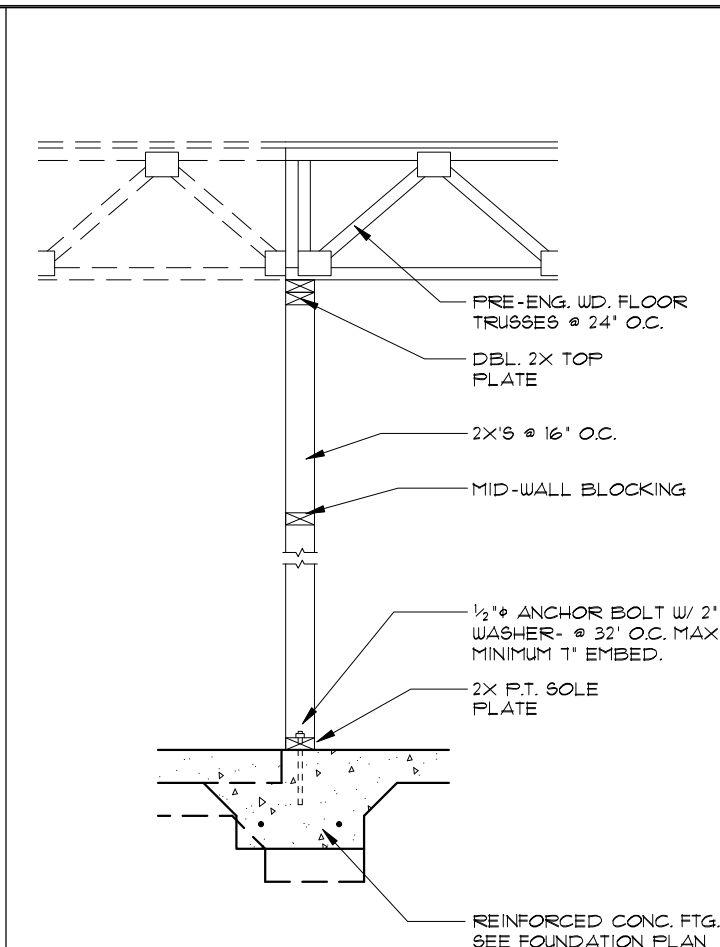
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1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



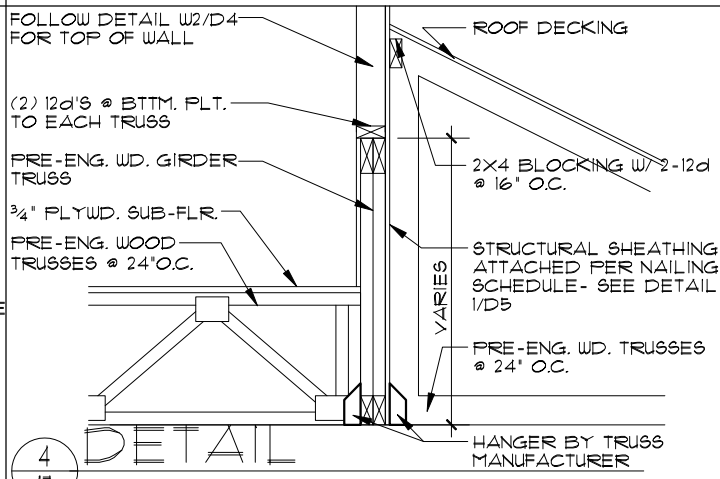
7 DETAIL

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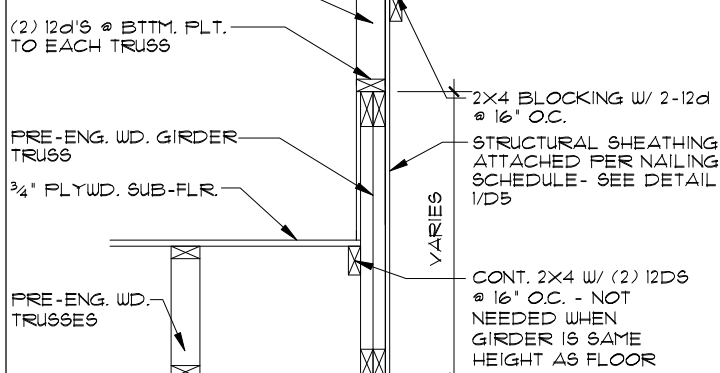
1 DETAIL (BRG. W/O UPLIFT)

1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



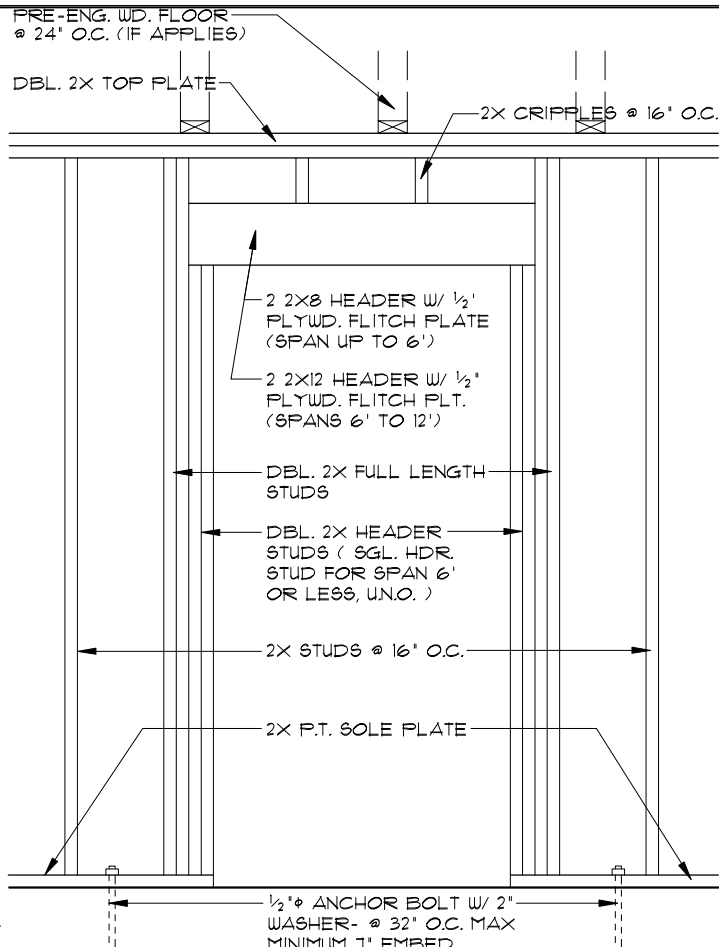
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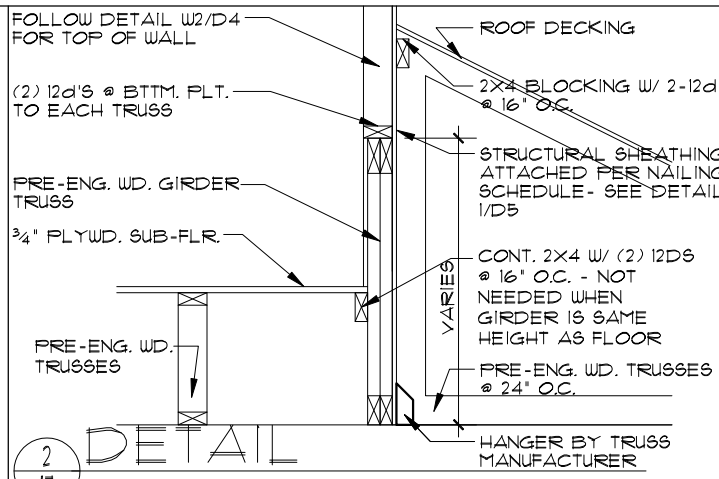
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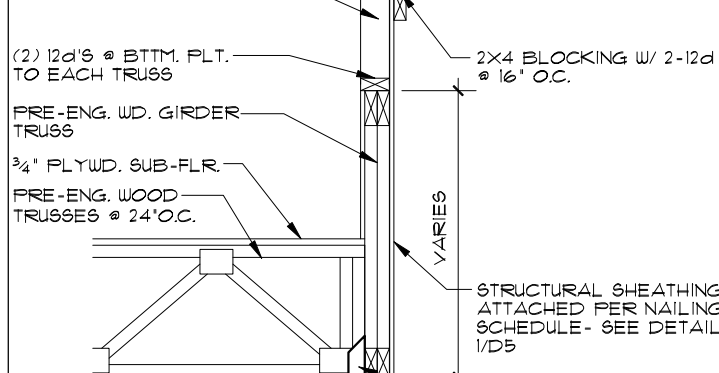
2 DETAIL

1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



2 DETAIL

1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



3 DETAIL

1/2"=1'-0" (11X17) 1"=1'-0" (22X34)

Item 5.

Engineering By:  
PRABHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32839  
PHONE: 407-345-0010  
J.JAGTAP@RDCFLA.COM

DREAM FINDERS  
THE MAKERS OF BISCAYNE HOMES

LOT SPECIFIC INFORMATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

DATE 07-31-19  
SCALE AS NOTED  
DRAWN RDC  
JOB 2718  
170  
OF 26 SHEETS

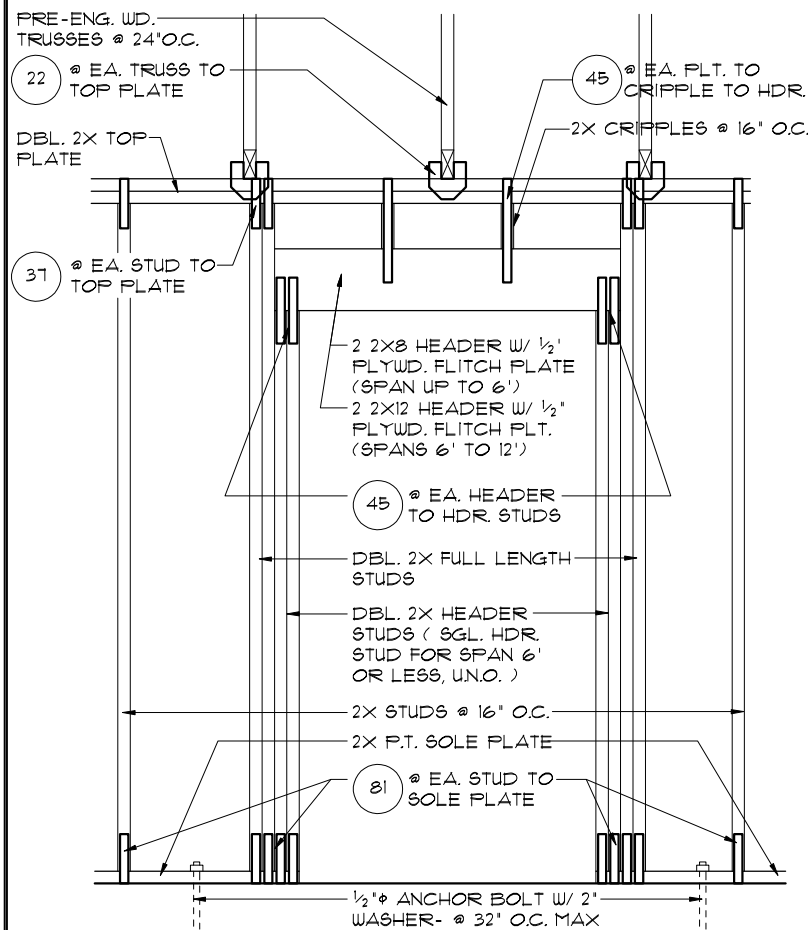
2718 BISCAYNE  
DREAM FINDERS HOMES

TYPICAL DETAILS

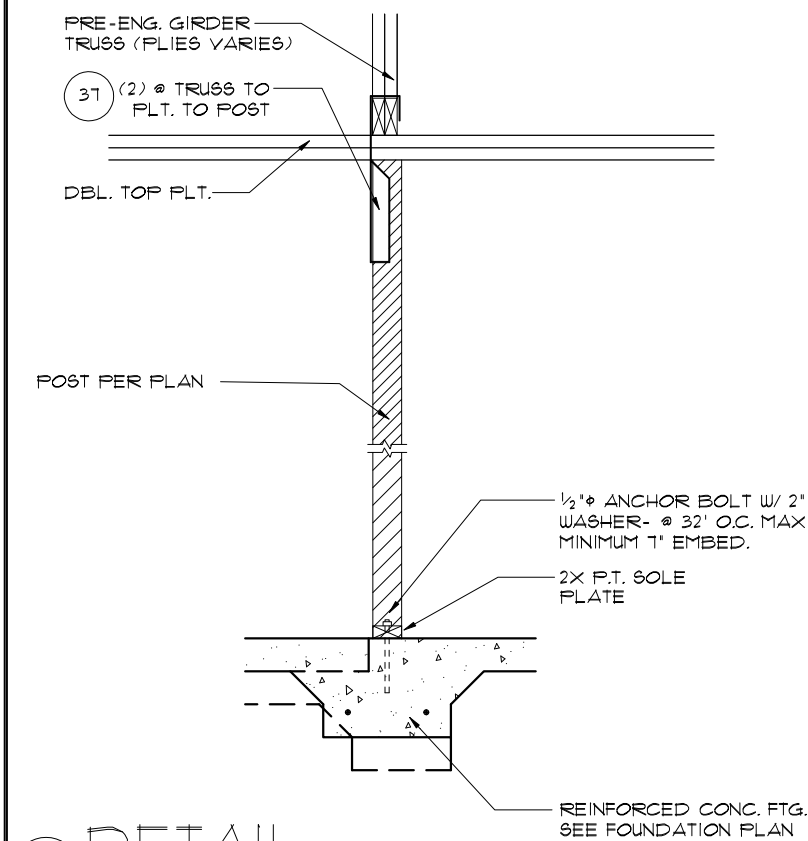
CODE 2020

REVISIONS 09-22-21  
BY: DH

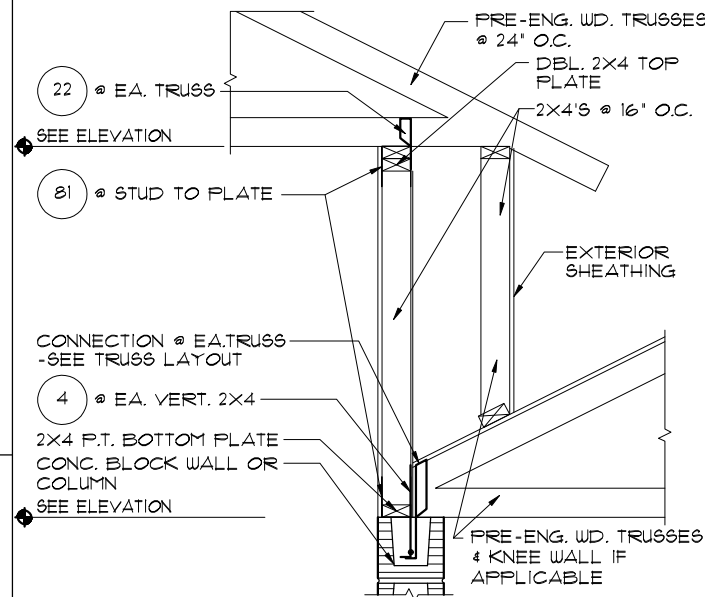
LA: 10-19-21  
BY: RP



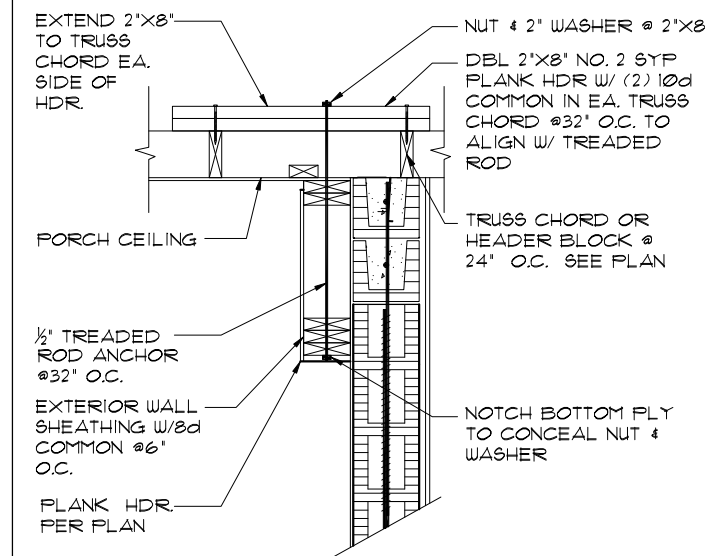
**6** **DETAIL** (BRG. W/ UPLIFT)  
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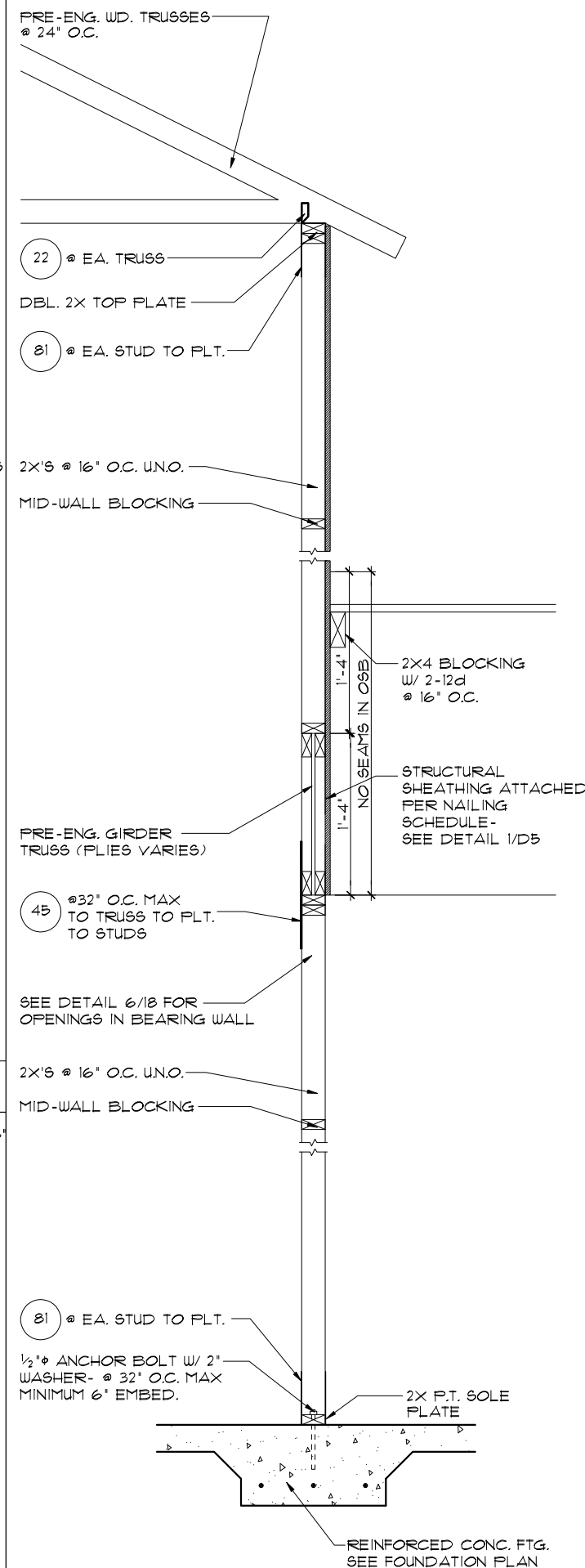
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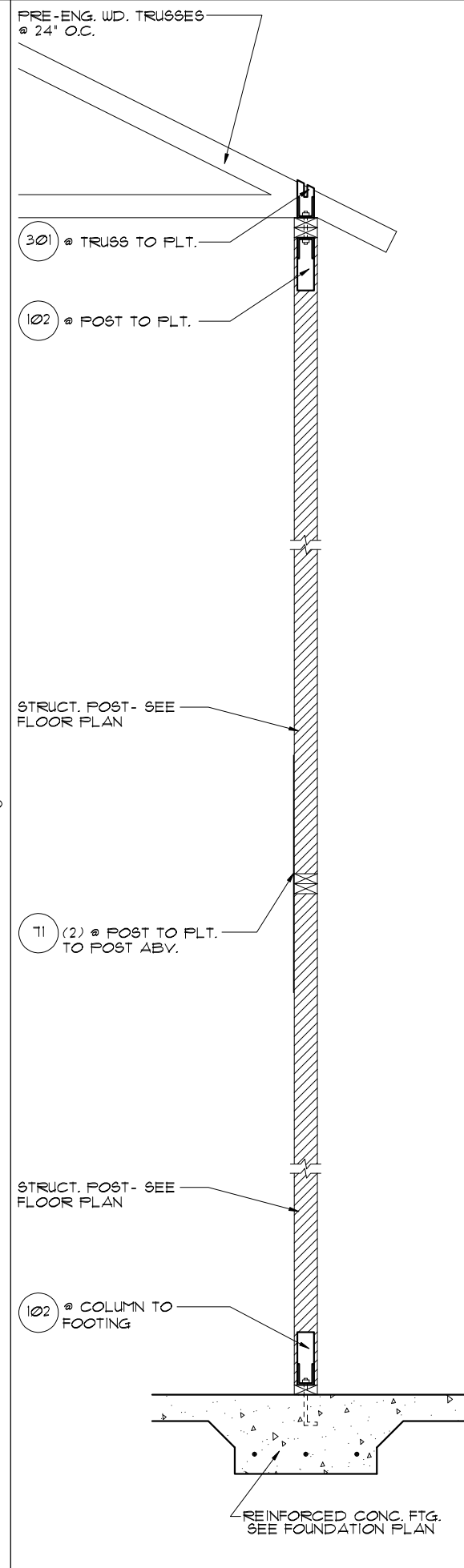
**4** **DETAIL**  
1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



**3** **BOX HDR DETAIL**  
3/4"=1'-0" (11X17) 1/2"=1'-0" (22X34)



**2** **DETAIL**  
1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



**1** **DETAIL**  
1/2"=1'-0" (11X17) 1"=1'-0" (22X34)

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LOT SPECIFIC INFORMATION

DATE 07-31-19

SCALE AS NOTED

DRAWN RDC

JOB 2718

171

OF 26 SHEETS

2718 BISCAYNE

DREAM FINDERS HOMES

LA: 10-10-21 BY: RP

REVISIONS 09-22-21 BY: DH

CODE 2020

Engineering By: PRAHAKAR N. JAGTAP, P.E.  
5890 MARLBERRY DRIVE  
ORLANDO, FL 32819  
PHONE: 407-345-0010  
INFO@RDCFLA.COM

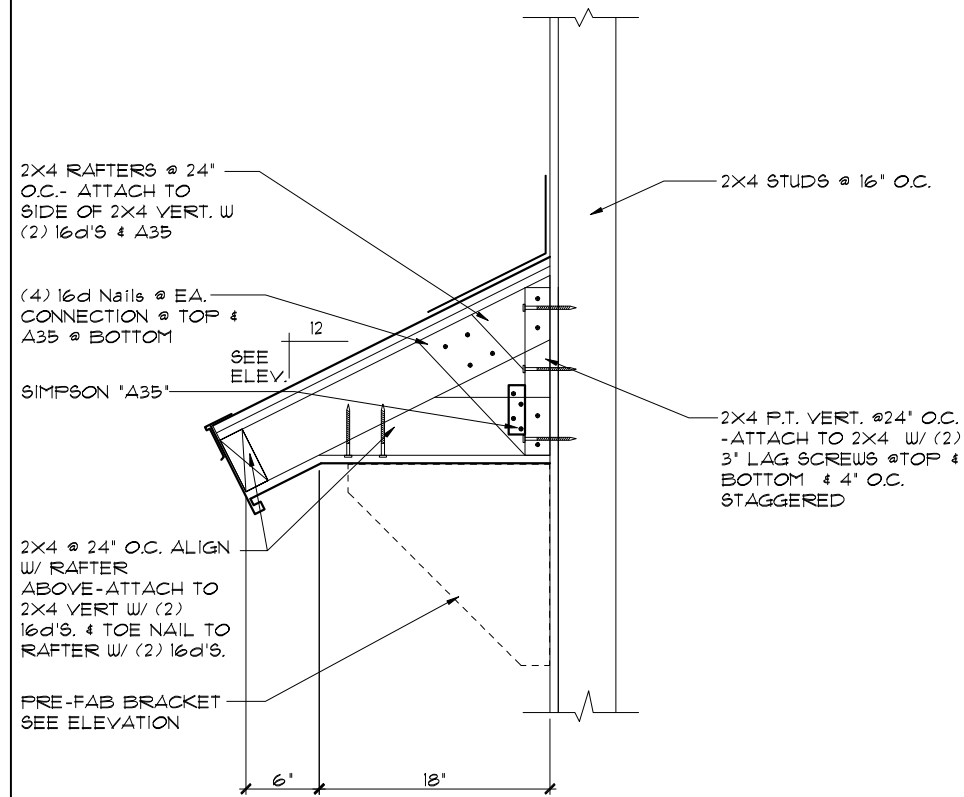
JAGTAP@RDCFLA.COM

DREAM FINDERS  
THE MAKERS OF A BETTER HOME

Item 5.

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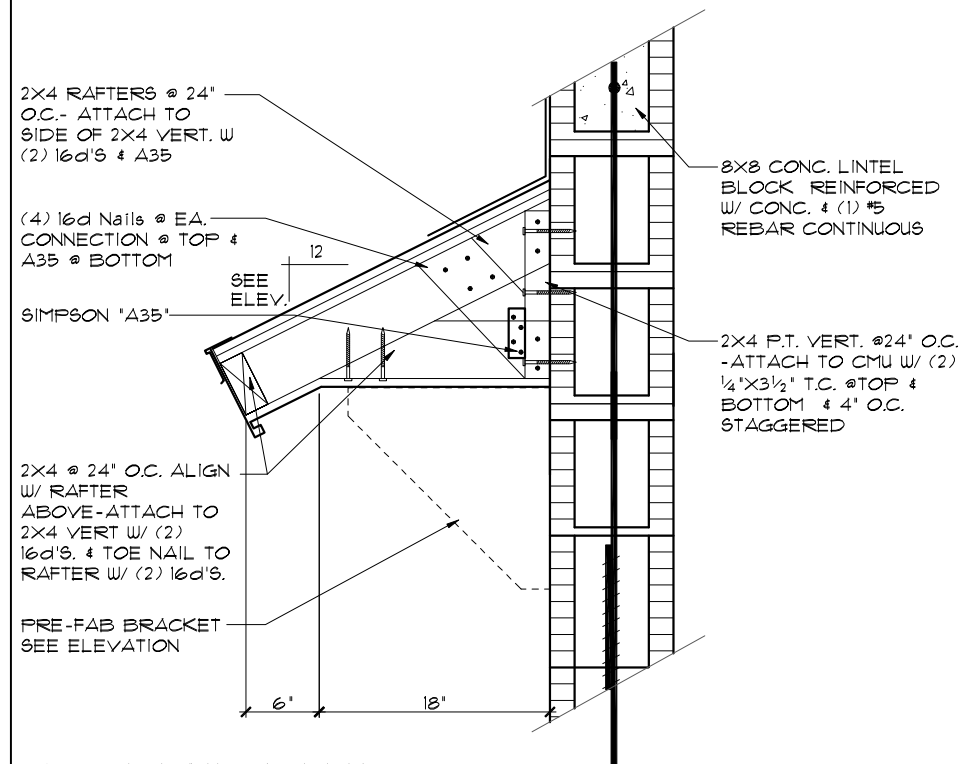




4  
19

DETAIL

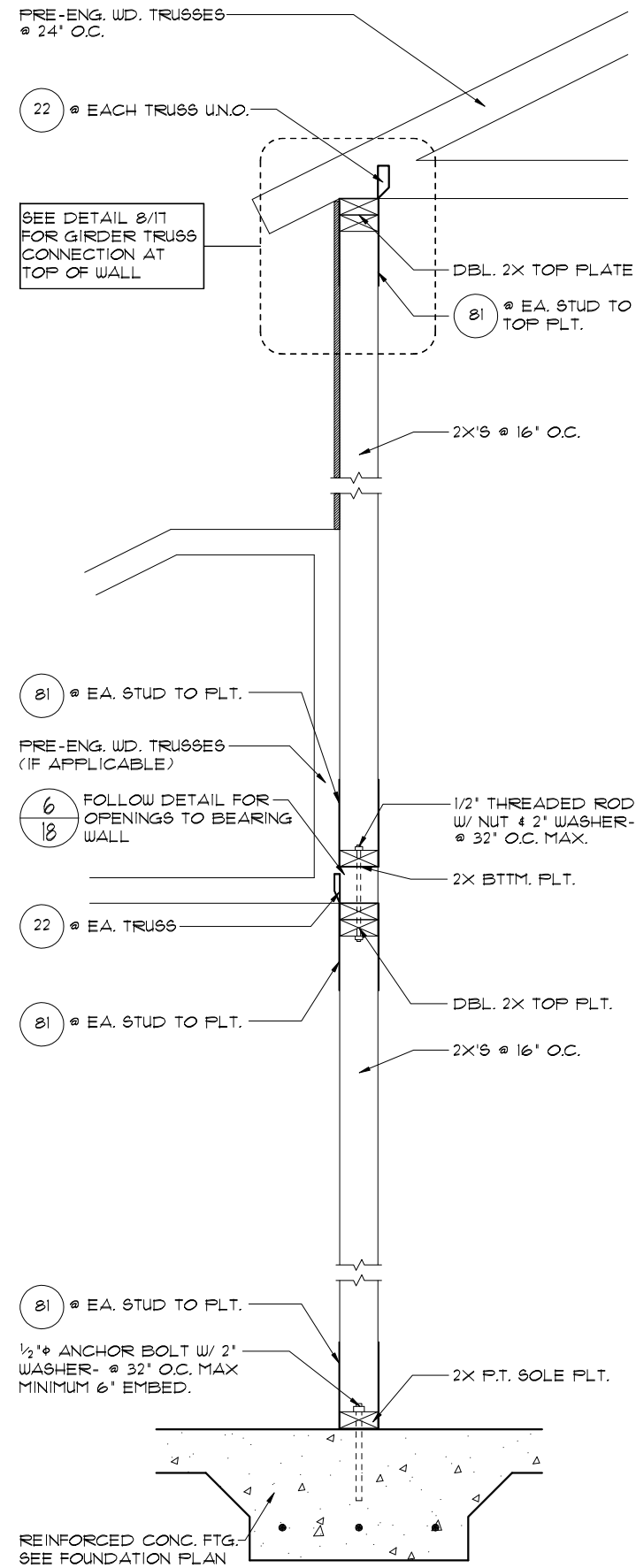
1" = 1'-0" (11x17) 1" = 1'-0" (22"x34")



3  
19

DETAIL (CMU)

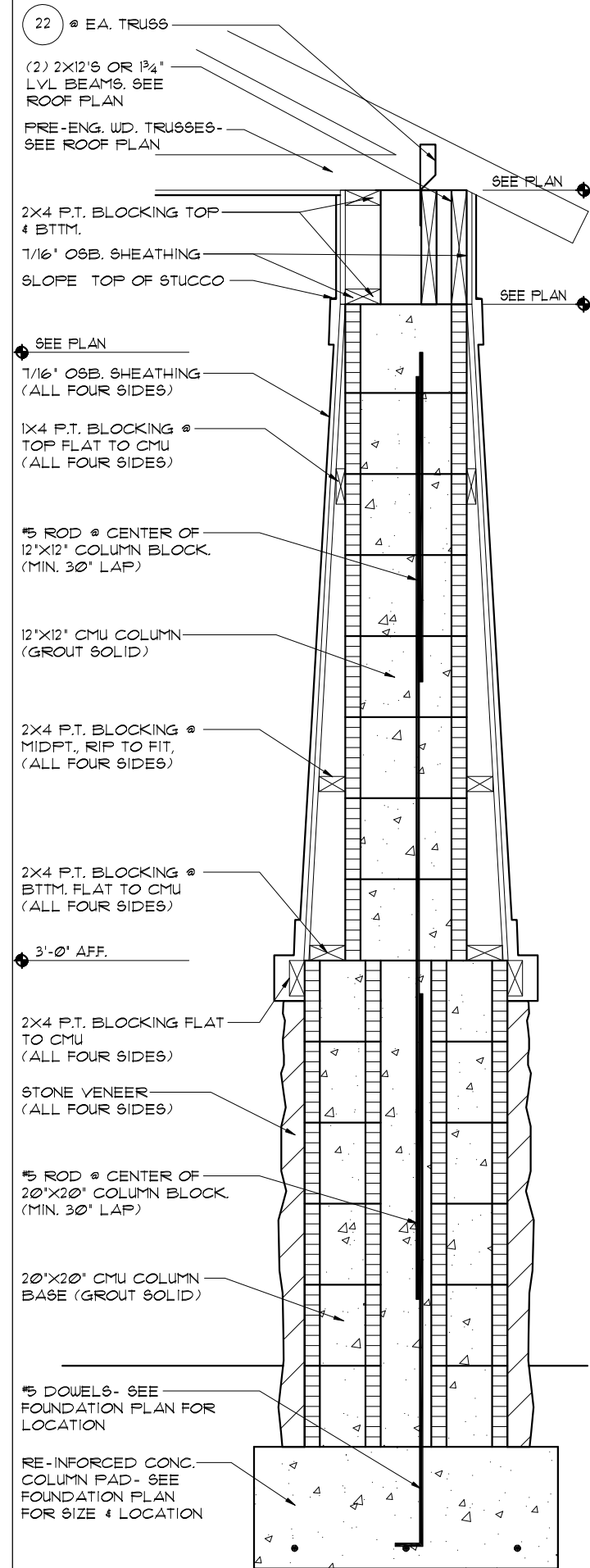
1" = 1'-0" (11x17) 1" = 1'-0" (22"x34")



2  
19

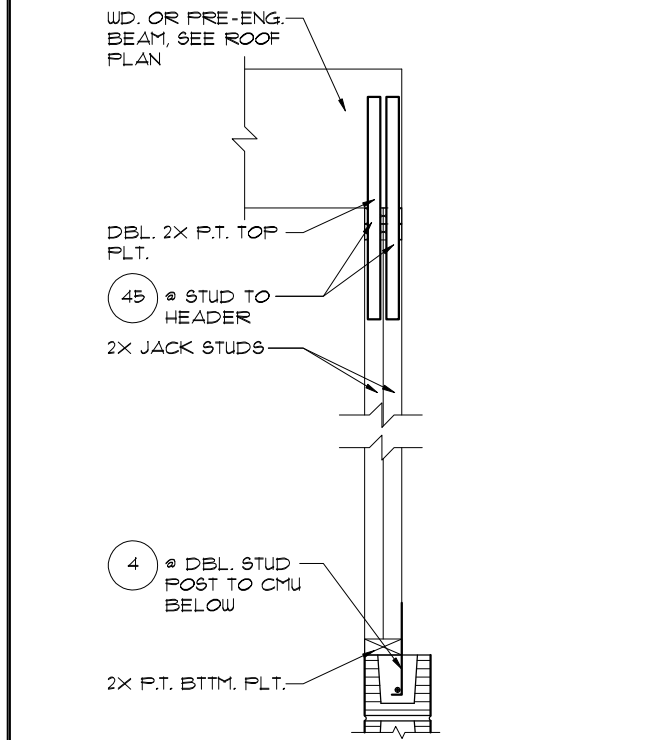
DETAIL

3/4" = 1'-0" (11x17) 1 1/2" = 1'-0" (22x34)

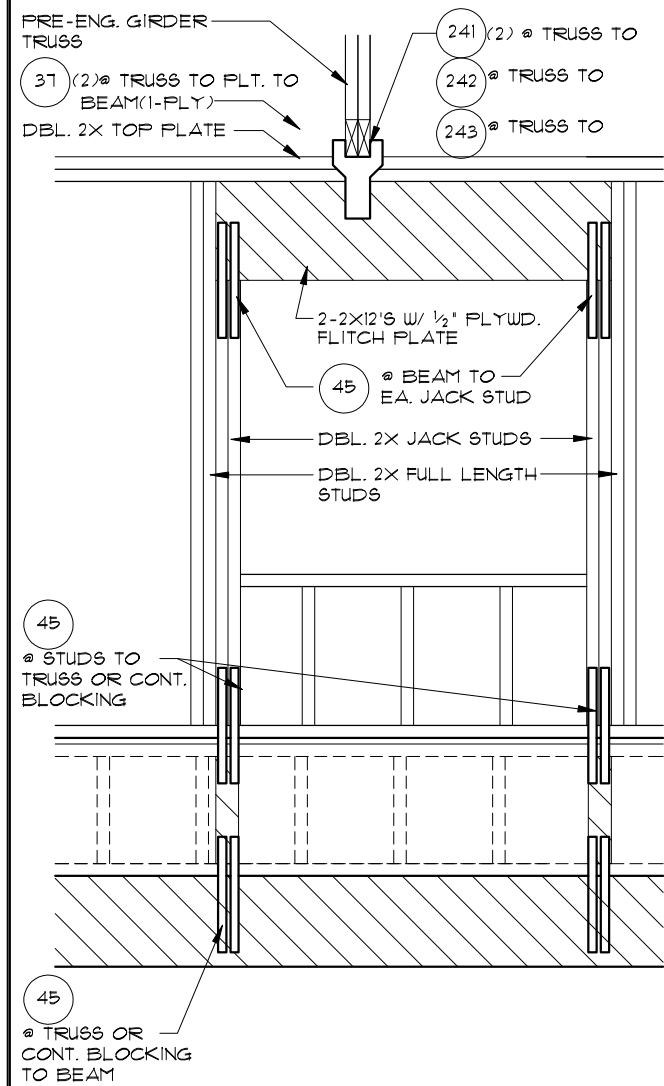


DETAIL  
3/4" = 1'-0" (11x17) 1 1/2" = 1'-0" (22x34)

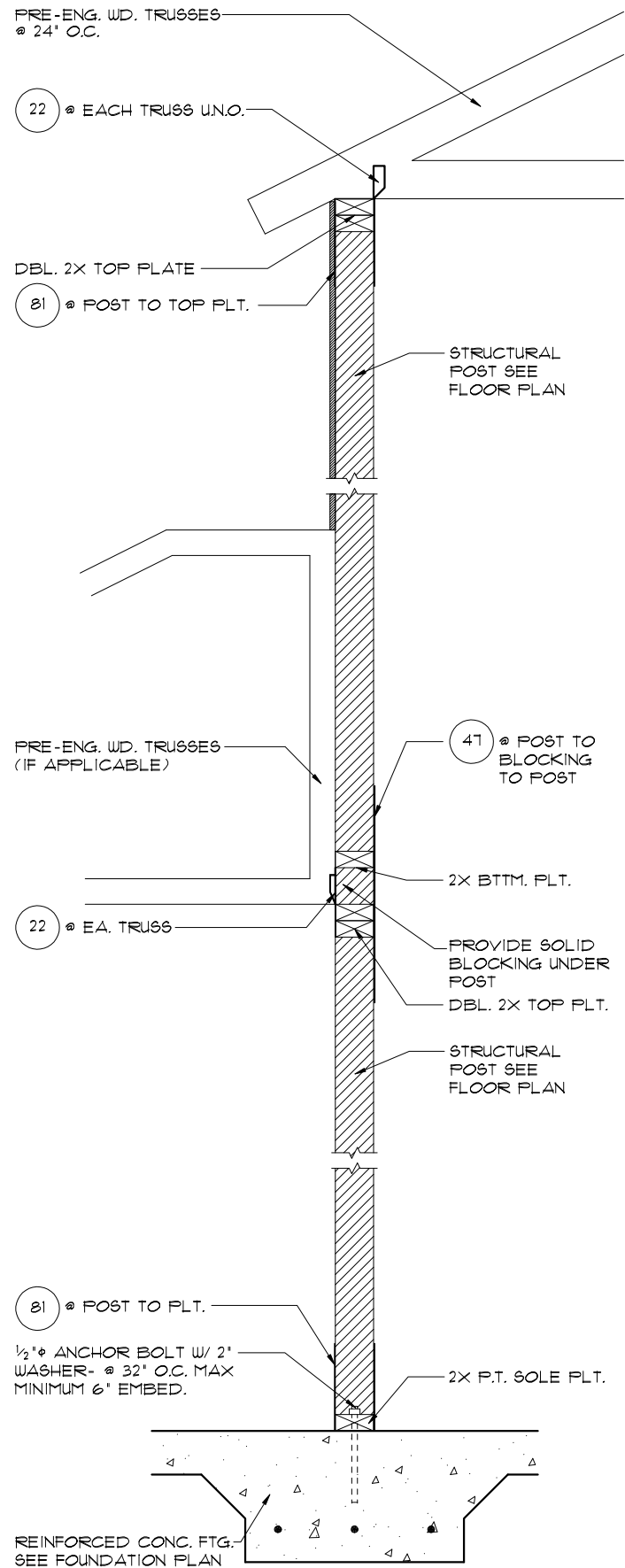




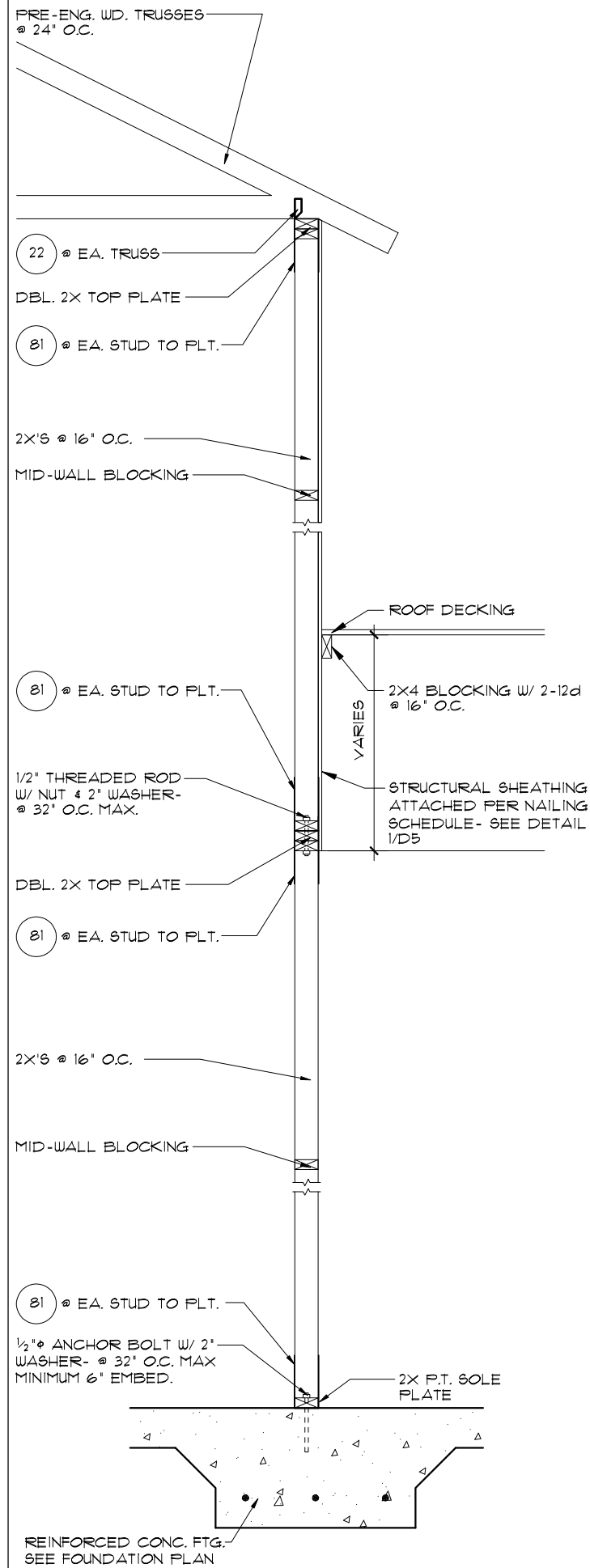
**5 BEAM PKT. DETAIL**  
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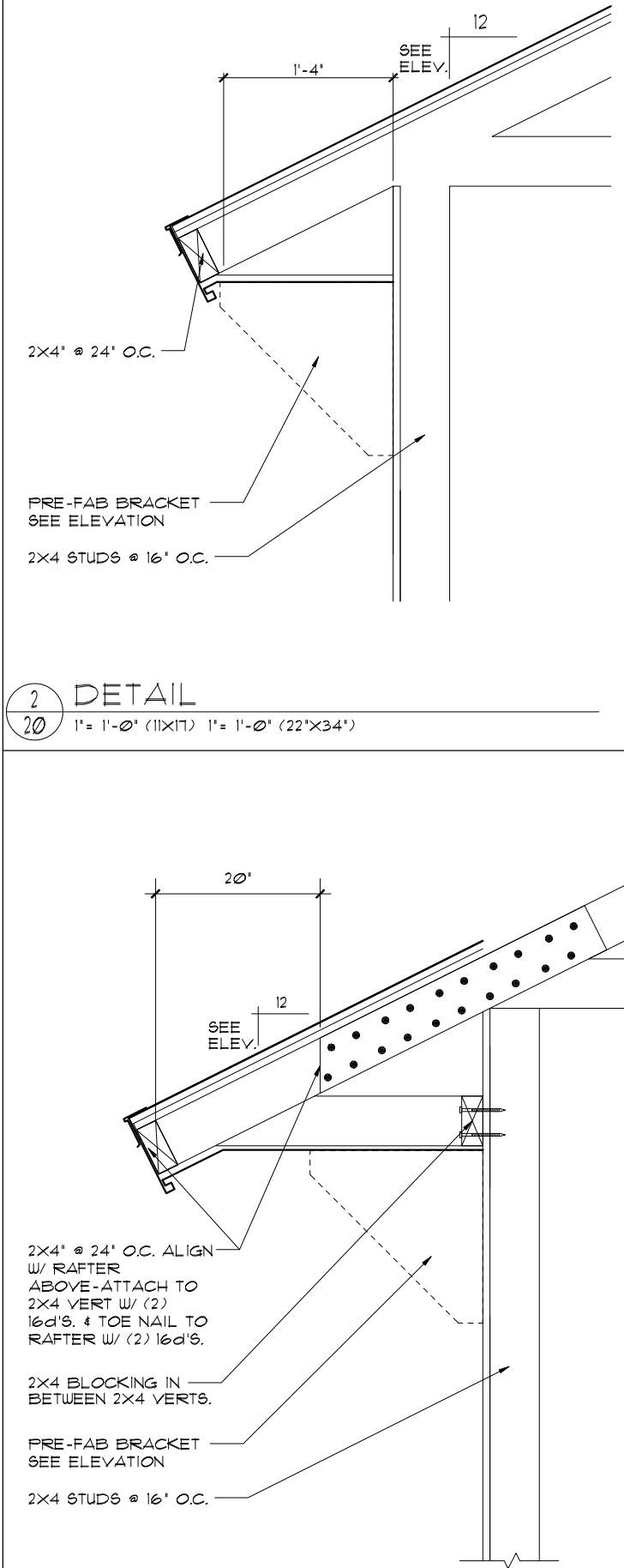
**6 DETAIL**  
 20 1"= 1'-0" (11X17) 1"= 1'-0" (22"X34")



**4 DETAIL**  
 20 3/4"=1'-0" (11X17) 1/2"=1'-0" (22X34)



**3 DETAIL**  
 20 1/2"= 1'-0" (11X17) 1"= 1'-0" (22"X34")



**2 DETAIL**  
 20 1"= 1'-0" (11X17) 1"= 1'-0" (22"X34")

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020, 1TH EDITION

**LOT SPECIFIC INFORMATION**

REVISIONS 09-22-21 BY: DH

CODE 2020

LA: 10-10-21 BY: RP

Engineering By:  
 PRAHAKAR N. JAGTAP, P.E.  
 5890 MARLBERRY DRIVE  
 ORLANDO, FL 32819  
 PHONE: 407-345-0010  
 INFO@RDCFLA.COM  
 J.JAGTAP@RDCFLA.COM

**DREAM FINDERS**  
 THE MAKERS OF BISCAYNE HOMES

DATE 07-31-19  
 SCALE AS NOTED  
 DRAWN RDC  
 JOB 2718

**2718 BISCAYNE**  
**DREAM FINDERS HOMES**

DATE 07-31-19  
 SCALE AS NOTED  
 DRAWN RDC  
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**2718 BISCAYNE**  
**DREAM FINDERS HOMES**

DATE 07-31-19  
 SCALE AS NOTED  
 DRAWN RDC  
 JOB 2718

**2718 BISCAYNE**  
**DREAM FINDERS HOMES**

Item 5.

TYPICAL DETAILS

2718 BISCAYNE

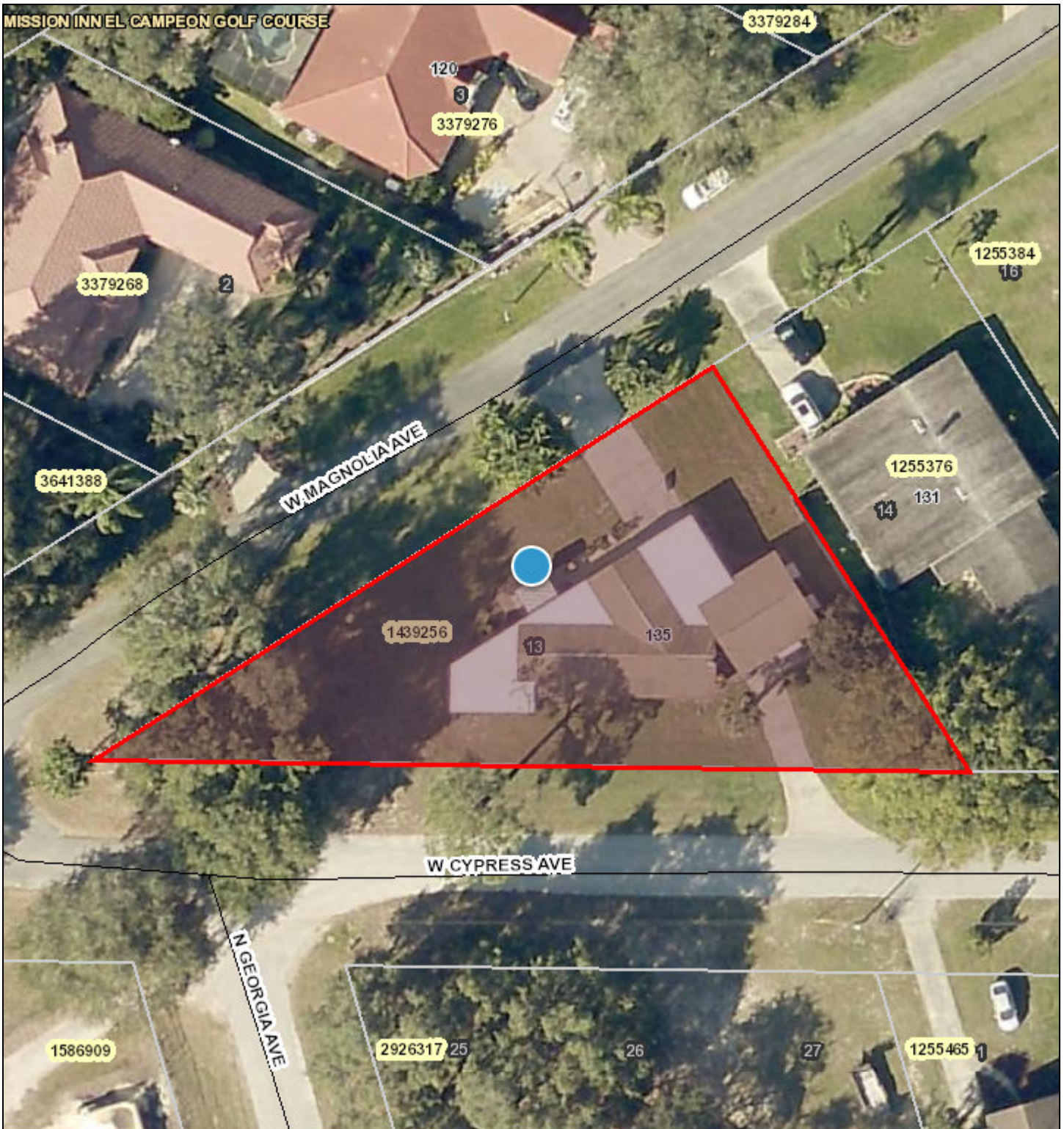
DREAM FINDERS HOMES

173

OF 26 SHEETS

# 135 West Magnolia Ave.

Item 6.



March 15, 2022

1:500

## pointLayer



Override 1

## polygonLayer



Override 1

Street Names



Local Streets



Subdivision Lot Numbers



Address Locations



Property Name



Tax Parcels Alternate Key



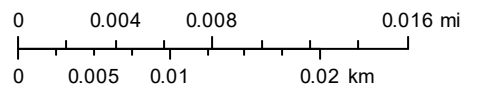
Tax Parcels



County Boundary



Surrounding Counties

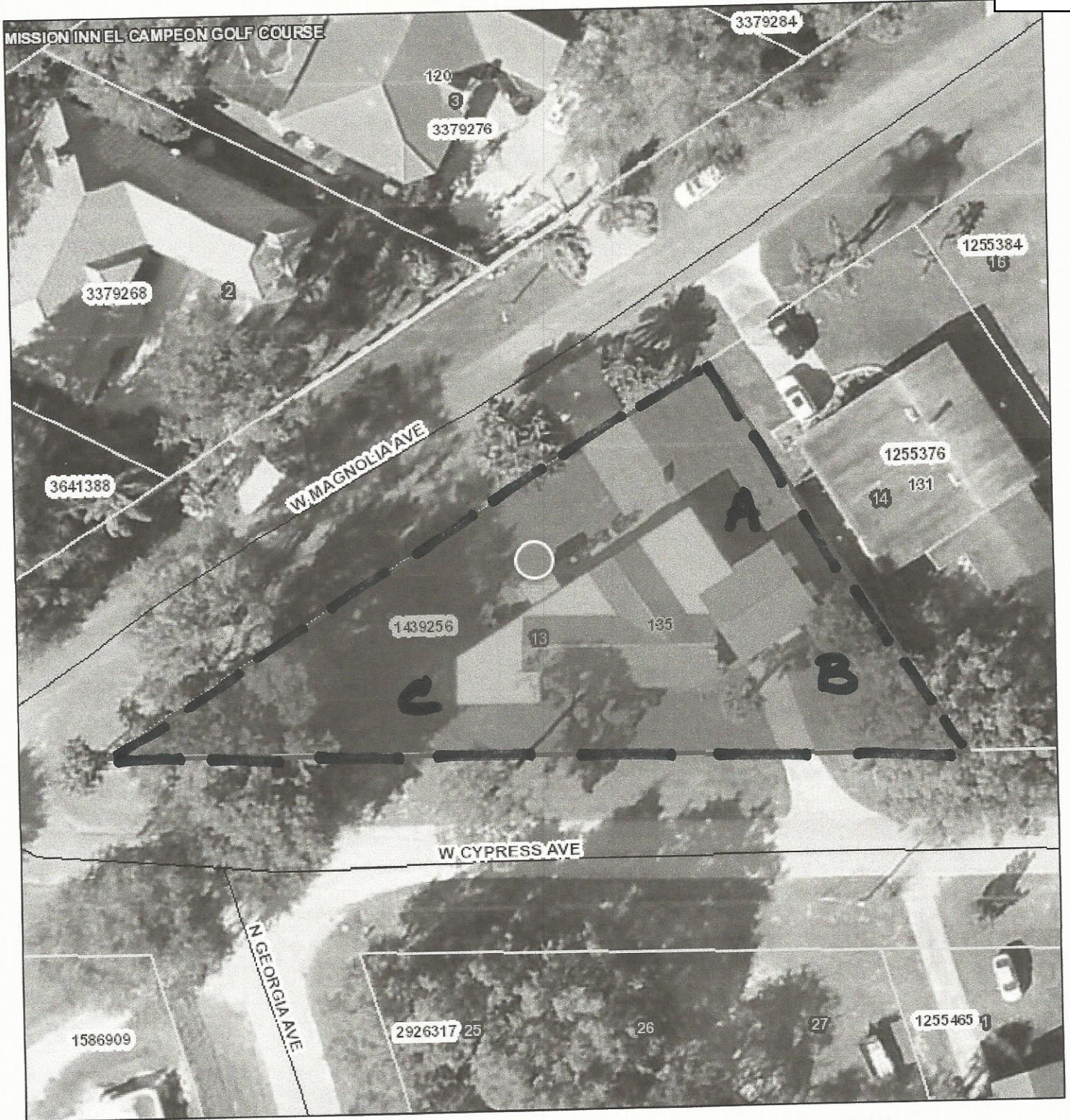


Lake County Property Appraiser  
Lake BCC



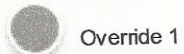
# 135 West Magnolia Ave.

Item 6.



March 15, 2022

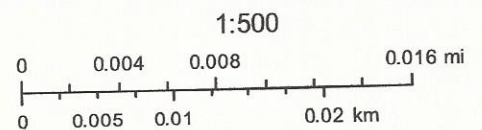
## pointLayer



## polygonLayer

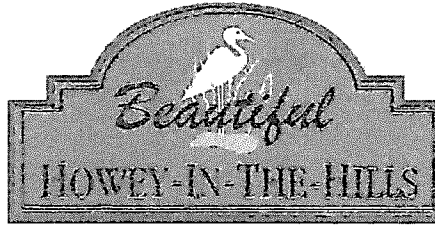


- Local Streets
- Subdivision Lot Numbers
- + Address Locations
- Property Name
- Tax Parcels Alternate Key
- Tax Parcels
- County Boundary
- Surrounding Counties



Lake County Property Appraiser  
Lake BCC





**TOWN OF HOWEY-IN-THE-HILLS, FLORIDA**  
**GENERAL LAND DEVELOPMENT APPLICATION**

101 N. Palm Avenue, Howey-in-the-Hills, Florida 34737  
 Phone: (352) 324-2290 • Fax: (352) 324-2126

Date Received:

Application ID:

Received By:

*3/10/2022*

**REQUESTED ACTION**

- ☐ Comp Plan Amendment  
☐ PUD  
☐ Conditional Use  
☐ Land Development Code Text

- ☐ Variance  
☐ Rezoning  
☐ Subdivision Minor  
☒ Other

- ☐ Site Plan (check one below)  
☐ Preliminary  
☐ Final  
☐ Subdivision (check one below)  
☐ Preliminary Subdivision  
☐ Final Subdivision  
☐ Final Plat

Describe Request: \_\_\_\_\_

*To not have to move Sited*

**APPLICANT INFORMATION:**

Name: *DAVID H GRANT*  
 Address: *135 W Magnolia Ave*

E-Mail: *Davidgrant30@aol.com*  
 Phone: *727-686-3408* Fax: \_\_\_\_\_

☒ Owner ☐ Agent for Owner

☐ Attorney for Owner

**OWNER INFORMATION:**

Name: *DAVID H. GRANT*  
 Address: *135 W Magnolia Ave*  
*Howey in the Hills FL*  
*34737*

E-Mail: *Davidgrant30@aol.com*  
 Phone: *727-686-3408*  
 Fax: *N/A*



**PROPERTY INFORMATION:**Address: 135 W. Magnolia Ave Home in the Hills F1  
34737General Location: At Address

Current Zoning: \_\_\_\_\_

Current Land Use: \_\_\_\_\_

Parcel Size: \_\_\_\_\_

Tax Parcel #: \_\_\_\_\_

Legal Description Attached ☐ Yes ☐ NoSurvey Attached ☐ Yes ☐ No

Pre-Application Meeting Date: \_\_\_\_\_

(Attach Pre-Application Form)

Application Fee: \$ 200.00Applicant's Signature: David H. Grant  
(Signature) (Date)David H. Grant  
(Print)Owner's Signature: David H. Grant  
(Provide letter of (Signature) (Date)  
Authorization)David H. Grant  
(Print)**Applications must be complete to initiate the review process.**



# 135 West Magnolia Ave.

Item 6.



March 15, 2022

pointLayer



Override 1

polygonLayer



Override 1

Street Names

— Local Streets

— Subdivision Lot Numbers

+ Address Locations

Property Name

Tax Parcels Alternate Key

□ Tax Parcels

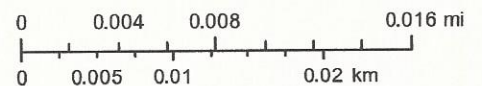


County Boundary



Surrounding Counties

1:500



Lake County Property Appraiser  
Lake BCC

Lake County Board of County Comm

178





TMHConsulting@cfl.rr.com  
 97 N. Saint Andrews Dr.  
 Ormond Beach, FL 32174  
 PH: 386.316.8426

## MEMORANDUM

**TO:** Howey-in-the-Hills Planning Board  
**CC:** J. Brock, Town Clerk, A. Botts, Code Officer  
**FROM:** Thomas Harowski, AICP, Planning Consultant  
**SUBJECT:** 135 W. Magnolia Avenue Shed Appeal  
**DATE:** March 15, 2022

The property owner at 135 West Magnolia Avenue purchased and installed a 10 x 10 residential storage shed without first obtaining a building permit. The Town's code enforcement officer notified the property owner that a permit is required, and the property owner agreed to purchase the permit. A copy of the permit application is included in the case information packet. When the permit application was reviewed, it became clear that the site does not include a location that easily accommodates a shed in full conformance with Section 5.01.09 of the land development code. A location map for the subject property and a copy of the code section on sheds is provided at the end of this memorandum.

When the land development code was last amended, the section on sheds was revised to include a process whereby the Planning Board could approve a shed location when specific site conditions limited the options to locate a shed in full conformance with the code. This section, 5.01.09 F, was created to address lots such as the subject property. The parcel is a triangular shaped lot which has essentially all front yards as can be seen from the location map. Also included in the information packet is a map showing the existing shed location (A) and potential alternative locations (B) and (C). The applicant prefers to leave the shed in its current location providing the Planning Board approves the request.

Staff has developed a short matrix comparing the current location and the possible alternative locations. The option to approve an alternate location arises when the proposed location cannot be placed in a rear or side yard at least five-feet from the property line. Sheds are not allowed to extend in front of the front plane of the dwelling. A third diagram has been included in the information packet showing the front plane of the structure along Magnolia Avenue and along Cypress Avenue. While there is no location on the parcel that is not "in front of" at least some portion of the structure and visible from adjoining properties, there are some options to recess the shed into the front plane of the structure. These options clearly apply to Location A and Location B. Location C might be too small to accommodate even a modest 10 x10 shed.

Regulation	Location A	Location B	Location C
Extends beyond front plane of structure	Set Back for a portion of the front of the structure	Set Back for a portion of the front of the structure	Small area of compliance
Setback 5-feet from property line	Yes	Possible	Possible
Screening from neighbors	Fence to east	Fence to east	Trees to west

- Based on this analysis both Location A and Location B can fit into a nook behind the primary extension of the front façade.
- Location C is more exposed to public view and the area outside of the primary extension of the two front facades may not be large enough to accommodate the shed.
- The property to the east, 131 W. Magnolia, has a fence that screens Location A and Location B from direct view of the shed.
- Location A is visible from the two residences on the north side of W. Magnolia and Location B is visible from the two residences on the south side of W. cypress. Location C would be screened to some degree but could be visible from multiple properties.

## Recommendation

This property is a good example of why waiver process was included in the code. Had the property owner applied for a permit prior to placing the shed, the location issues could have been addressed prior to initiating a code compliance action, but the property owner has expressed a willingness to obtain the required permit and has applied for the permit. The Planning Board can contribute to the process by authorizing a location. Either Location A or Location B offers a reasonable option for placement of a shed. The applicant prefers Location A as he would not be required to move the shed, but from the staff analysis both Location A and Location B are about equal in impact. Location C seems to be unsuitable based on the size and visibility of the location. Any location approval by the Planning Board is final and would allow the property owner to complete the permitting process.



### 5.01.09 Storage Sheds

- A. Storage sheds are permitted as an accessory structure subject to the provisions of Section 5.01.03 and the provisions of this section.
- B. Storage sheds shall not be permitted in front of the rear plane of the principal structure and shall not be permitted beyond the plane of the side of the principal structure on a street side yard.
- C. Storage sheds shall be placed in rear yards at least five (5) feet from rear property lines and shall not extend beyond the plane of the sides of the principal structure.
- D. Storage sheds that exceed 144 square feet shall be painted a neutral color matching the base color of the dwelling. Where the principal structure is constructed of a natural material such as brick or stone, sheds exceeding 144 square feet shall be painted a neutral color matching primary structure or complementary to the color of the principal structure. Sheds which are site built shall use the same materials and colors as the principal structure whenever possible. Sheds over 144 square feet shall comply with the setback requirements for accessory structures as set forth in Section 5.01.03F.
- E. Storage cabinets measuring less than 30-inches in depth and 36-inches in width and less than 72-inches in height may be placed on a property without permit provided the storage cabinet is placed adjacent to the rear of the principal structure, detached garage, or storage shed. Storage cabinets shall not count towards the two permitted accessory structures.
- F. The Planning Board may approve the placement of shed in another location on the subject property based upon a finding that a location complying with Subsections B and C above is not practical due to specific site conditions such as steep slopes, tree preservation, site access limitations or other conditions that the Planning Board finds relevant. In no case shall the Planning Board approve a shed location in any front yard. This section is not intended to prohibit a property owner from seeking variance to the code using the procedures set forth in Chapter 4.

(Excerpt from Land Development Code)



\*\*Provide building finish. All accessory structures that exceed 144 sq ft shall have same building finishes as the primary structure, including exterior materials (i.e., stucco, siding, and brick) and color. \* If applicable to your project\* - \* Commercial or Tenant must use a Contractor (Form 2015)

Item 6.

## Town of Howey-in-the-Hills Building Permit Application

Date: 3/8/2022  
Alt Key: 1439256 Building Permit #: 20220056 SH  
Owner Name: David & Libby Grant Phone #: 727-686-3408  
Owner Address: 135 W Magnolia Ave  
Fee Simple Titleholder (If other than Owner) \_\_\_\_\_  
Fee Simple Address (If other than Owner) \_\_\_\_\_  
City: Howey in the Hills State: FL Zip: 34737  
Contractor's Name: DAVID H GRANT  
Contractor's Address: \_\_\_\_\_  
City: Howey in the Hills State: FL Zip: 34737

Contractors Phone #: \_\_\_\_\_  
Contractor's State Certification or Registration No: \_\_\_\_\_  
Job Name: GRANT School Estimated Value \$: 6,000  
Job Address: 135 W Magnolia Ave Howey in the Hills FL 34737  
Subdivision: N/A # Stories: \_\_\_\_\_  
Job Description: Install / Move  
Total Sq. Ft.: \_\_\_\_\_ # Bedrooms: \_\_\_\_\_  
Proposed Occupancy: \_\_\_\_\_ Current Code: Florida Building Code 2014  
Legal Description: \_\_\_\_\_ Section: \_\_\_\_\_  
Township: \_\_\_\_\_ Range: \_\_\_\_\_ Lot: \_\_\_\_\_

Bonding Company: \_\_\_\_\_  
Bonding Company Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Architectural Engineer: \_\_\_\_\_  
Architectural Engineer Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

OWNER'S AFFIDAVIT: I certify that all the forgoing information is accurate and that all work will be done in compliance with the applicable laws regulating construction and development, and that the building is designed per code-mandated wind load design.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

THE ISSUANCE OF A BUILDING PERMIT DOES NOT ASSURE THE BUILDING SETBACKS HAVE BEEN MET OR THAT THE STRUCTURE DOES NOT ENCROACH ON AN EASEMENT OR OTHER PROPERTY. THE OWNER AND / OR CONTRACTOR HAVE THE SOLE RESPONSIBILITY OF DETERMINING COMPLIANCE WITH SETBACKS AND NON-ENCROACHMENT OF EASEMENTS AND OTHER PROPERTY. IF THE BUILDING OFFICIAL DETERMINES THE STRUCTURE DOES NOT MEET APPLICABLE SETBACKS OR IMPROPERLY ENCROACHES ON AN EASEMENT OR OTHER PROPERTY, THE OWNER IS RESPONSIBLE FOR MOVING THE STRUCTURE, RESTORING THE EASEMENT AND OTHER PROPERTY TO ITS ORIGINAL CONDITION, OR OTHERWISE MAKING THE STRUCTURE COMPLY WITH THE TOWN OF HOWEY-IN-THE-HILLS' SETBACKS AND OTHER LAND USE REQUIREMENTS.

*Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, SPAS, TANKS and AIR CONDITIONERS, etc.*


Owner Signature: *David H. Grant*

Contractor Signature: \_\_\_\_\_

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON: March 8th, 2022  
BY: David Henry Grant

(HE) SHE IS PERSONALLY KNOWN TO ME OR HAS PRESENTED: Florida Driver's license

AS IDENTIFICATION AND WHO DID ✓ OR DID NOT TAKE AN OATH \_\_\_\_\_

 Victoria Dominique Eilers  
Notary Public  
State of Florida  
Comm# HH153962  
Expires 7/14/2025

*Victoria Dominique Eilers*  
NOTARY PUBLIC

<u>Trade Company Name:</u>	<u>License #:</u>	<u>Phone #:</u>
Electrician: _____	_____	_____
Plumber: _____	_____	_____
Mechanical: _____	_____	_____
Concrete: _____	_____	_____
Roofer: _____	_____	_____
Framer: _____	_____	_____
Gas: _____	_____	_____
Irrigation: _____	_____	_____



Ron Frank von Frankenstein  
 Building Official (352) 636-8024  
[progressiveinsp@gmail.com](mailto:progressiveinsp@gmail.com)

## Town of Howey-in-the-Hills Permit Application Check List

Site Address: \_\_\_\_\_  
 Owner: \_\_\_\_\_ Phone # \_\_\_\_\_  
 Contact Person Phone #: Home: \_\_\_\_\_ Cell # \_\_\_\_\_  
 Email: \_\_\_\_\_

This Checklist must be completed and submitted with your Permit Application

- ☒ Application Form
- ☒ Property Record Card (download from [www.lakecopropappr.com](http://www.lakecopropappr.com))
- \_\_\_\_\_ Two sets of Engineered Plans or Scope of Work
- \_\_\_\_\_ Two sets of Surveys or Plot Plans depending on the type of job
- \*Effective as of July 20, 2017\* The following paper sizes will be used for all plans and drawings submitted:
  1. For all new construction, residential or commercial, the plans must be printed on architectural size D paper (24"x36") or larger.
  2. For all renovations or alterations and for Pools, Residential or Commercial, the plans must be printed on Architectural size C paper (18"x24") or larger.
  3. For sheds, fences, window or door replacements, etc., Residential or Commercial, the plans must be printed on Architectural size A paper (9"x12"), or size B paper (12"x18"), or Legal size (8 1/2 x 11 or 8 1/2 X 14).
- ☒ Copies of Zoning Clearance
- \_\_\_\_\_ Two copies of Truss Engineering
- \_\_\_\_\_ Two sets of Energy Codes
- \_\_\_\_\_ Copy of Contract for: Pools, Alum., Construction, Windows, Renovations, Re-roof, etc.
- \_\_\_\_\_ Recorded Notice of Commencement required for projects over \$2,500.00 (\$7,500.00 Mechanical)
- \_\_\_\_\_ Environmental Health (Septic Only). Evaluation Permit from Lake County Health Department. If you have any questions, call (352) 253-6130 Owner / Builder Form
- \_\_\_\_\_ Product Approval Specification Sheet
- \_\_\_\_\_ \*Copy of License
- \_\_\_\_\_ \*Copy of General Liability Insurance
- \_\_\_\_\_ \*Copy of Workers Compensation Insurance
- \_\_\_\_\_ \*Letter of Authorization from Owner/Contactor
- \_\_\_\_\_ \*Letter of Authorization from Subs to Contractor
- \_\_\_\_\_ Pool Barrier Certificate
- \_\_\_\_\_ **FOR NEW CONSTRUCTION ONLY:** Wastewater Certificate from CDD (if applicable)
- \_\_\_\_\_ **FOR NEW CONSTRUCTION ONLY (SFR):** Impact Fee receipt for Lake County Impact Fees
- \_\_\_\_\_ **FOR NEW CONSTRUCTION ONLY (SFR):** Landscape Design Plans
- \_\_\_\_\_ Set of plans on a CD or Thumb Drive



# PROPERTY RECORD CARD

## General Information

<b>Name:</b>	GRANT DAVID H & LIBBY M	<b>Alternate Key:</b>	1439256
<b>Mailing Address:</b>	135 W MAGNOLIA AVE HOWEY IN THE HILLS, FL 34737 <a href="#">Update Mailing Address</a>	<b>Parcel Number:</b>	26-20-25-0100- E03-01300
		<b>Millage Group and City:</b>	000H HOWEY IN THE HILLS
		<b>2021 Total Certified Millage Rate:</b>	20.7552
		<b>Trash/Recycling/Water/Info:</b>	<a href="#">My Public Services Map</a>
<b>Property Location:</b>	135 W MAGNOLIA AVE HOWEY IN THE HILLS <a href="#">Update Property Location</a>	<b>Property Name:</b>	-- <a href="#">Submit Property Name</a>
		<b>School Information:</b>	<a href="#">School Locator &amp; Bus Stop Map</a> <a href="#">School Boundary Maps</a>
<b>Property Description:</b>	HOWEY LOT 13, SW'LY 1/2 OF LOT 14. BEG AT SW COR OF LOT 20, RUN E 29.8 FT, N 33 DEG 13 MIN W TO SE'LY LINE OF LOT 14, SW'LY TO POB, BLK E-3 *UNRECORDED PLAT SEE DEED FOR FULL PROPERTY DESCRIPTION ORB 5763 PG 1279		

NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.

## Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class	Value	Land Value
1	SINGLE FAMILY (0100)	109	125		13625.000	FD		\$0.00	\$44,431.00
2	SINGLE FAMILY (0100)	25	125		3125.000	FD		\$0.00	\$10,191.00
3	SINGLE FAMILY (0100)	18	164		2952.000	FD		\$0.00	\$8,150.00

[Click here for Zoning Info](#)

[FEMA Flood Map](#)

## Residential Building(s)

### Building 1

Residential

Building Value: \$160,786.00

#### Summary

Year Built: 1960	Total Living Area: 2406	Central A/C: Yes	Attached Garage: No
Bedrooms: 3	Full Bathrooms: 2	Half Bathrooms: 1	Fireplaces: 0

[Incorrect Bedroom, Bath, or other information?](#)

#### Section(s)

Section No.	Section Type	Ext. Wall Type	No. Stories	Floor Area	Finished Attic	Basement	Basement Finished	Map Color
1	FINISHED LIVING AREA (FLA)	Block (002)	1	1834	N	0%	0%	
2	FINISHED LIVING	Block (002)	1	572	N	0%	0%	

AREA (FLA)						
3	GARAGE FINISHED BLOCK (GBF)	Block (002)	1	392	N	0%
4	OPEN PORCH FINISHED (OPF)	No Wall Type (000)	1	96	N	0%

[View Larger / Print / Save](#)

Side front yard

Now

10

10

May be relocating  
to be within  
compliance, dependent  
on admin. appeal.

10

10

backyard

## Miscellaneous Improvements

There is no improvement information to display.

**NOTE:** Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted [Site Notice](#).

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Property data last updated on October 4, 2021.

**Site Notice**

# PROPERTY LAYOUT BEING USED AS PLOT PLAN/SURVEY

Item 6.

AREA (FLA)							
3	GARAGE FINISHED BLOCK (GBF)	Block (002)	1	392	N	0%	0%
4	OPEN PORCH FINISHED (OPF)	No Wall Type (000)	1	96	N	0%	0%

[View Larger](#) / [Print](#) / [Save](#)

Side front yard

Now

May be relocating to be within compliance, dependent on admin. appeal.

backyard

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Copyright © 2014 Lake County Property Appraiser. All rights reserved.  
Property data last updated on October 4, 2021.

**Site Notice**

After Recording Return to:

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Permit #: \_\_\_\_\_

Tax Folio or Alternate Key#: \_\_\_\_\_

**NOTICE OF COMMENCEMENT**

Astatula, Clermont, Eustis, Fruitland Park, Howey in  
 the Hills, Groveland, Lady Lake, Lake County, Leesburg,  
 Mascotte, Minneola, Montverde, Mount Dora,  
 Tavares, Umatilla

The undersigned hereby gives notice that improvement will be made to certain real property, and In accordance with Chapter 713, Florida Statutes, the following Information Is provided in this Notice of Commencement.

1. Description of property: Legal Description: (legal description of the property, and street address if available):

Lot 13 SW 1/4 1/2 of Lot 14 Beg At SW Cor Lot 20  
Run E 29.8 Ft in Line N 33 Deg 13 Min W to SE 1/4 Line of Lot 14 SW 1/4 to  
DB, B/K E-3 UNRecorded Plat see Deed for full Property Description ORB  
 Street Address: 135 W. Magnolia Ave Howey in the Hills FL 34737

2. General description of improvement: Installing Sited

3. Owner's Information:

Name: DAVID & Libby GRANTAddress: 135 W. Magnolia AveHowey in the Hills State: FL Zip: 34737

Interest in Property: \_\_\_\_\_

Name and Address or fee simple Titleholder if other than owner): \_\_\_\_\_

4. Contractor Information

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone #: \_\_\_\_\_

INSTRUMENT #2022033308

OR BK 5912 PG 2424 - 2425 (2 PGS)

DATE: 3/9/2022 12:32:16 PM

GARY J. COONEY, CLERK OF THE CIRCUIT COURT  
AND COMPTROLLER, LAKE COUNTY, FLORIDA

RECORDING FEES \$18.50

5. Surely Information:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone #: \_\_\_\_\_

6. Lender Information:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone #: \_\_\_\_\_

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) 7., Florida Statutes:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone #: \_\_\_\_\_

8. In addition to himself or herself, Owner designates to receive a copy of the following Lienor's Notice as Provided in Section 713.13 (1) (b), Florida Statutes:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone #: \_\_\_\_\_

5763 PG 1279



9. Explanation date of notice of commencement (the expiration date is 1 year from the date of recording unless a different date is specified):

Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Telephone #: \_\_\_\_\_

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

*David H. Grant*

Signature of Owner or Owners Authorized Officer/Director /Partner /Manager

*DAVID H. GRANT*

Printed Name & Signatory's Title/Office

The foregoing instrument was acknowledged before me this 8th day March of 2022

By: David Henry Grant

who is personally known to me or has produced: Florida Driver's license

as identification and who did ☒ or did not \_\_\_\_\_ take an oath

*Victoria Dominique Elfers*

Signature of Notary Public - State of Florida



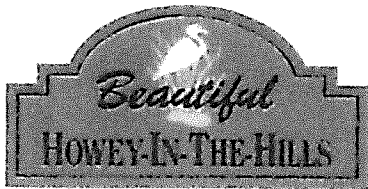
Victoria Dominique Elfers  
 Notary Public  
 State of Florida  
 Comm# HH153962  
 Expires 7/14/2025

Print, type or Stamp Commissioned Name of Notary Public

Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

*David H. Grant*

Signature of Natural Person (Owner) Signing Above



## PLANNING AND ZONING BOARD APPLICATION FOR ZONING CLEARANCE

Check all that apply: \_\_\_\_\_ Single Family Home(s)/ or 1 Residential Accessory Structure(s)  
 \_\_\_\_\_ Duplex(s)  
 \_\_\_\_\_ Commercial or Commercial Accessory Structure(s)

Application Number: \_\_\_\_\_ Application Date: \_\_\_\_\_  
 Application Fee paid by: Cash \_\_\_\_\_ Check No: \_\_\_\_\_

FOR ZONING CLEARANCE APPLICATION: (Please print legibly) Submit four (4) complete sets of signed & sealed building plans, including plot plan/survey showing general location, property (lot) lines, specifications, configuration, and square footage of existing and proposed improvements (including attached garage for new single family home construction), living area (single-family only), setbacks from property (lot) lines, tree placement (must have at least 3). Additionally, submit 10 copies (11 x 17 -tabloid size) of the signed and sealed plans, which also include the plot plan/survey along with an electronic copy. If Required by Section 1-9.20) of the Land Development Regulations, a soil erosion and sedimentation control plan shall be submitted.

NOTICE: A fee of \$75 is due with this Zoning Clearance Application. The Zoning Clearance Application is only valid for six (6) months from date of approval. If this item needs to be heard by the Planning & Zoning Board, all completed documentation is to be submitted to the Town Clerk by 12:00 p.m. (noon), 14 days prior to the meeting date. The Planning & Zoning Board meets the 4th Thursday of each month at 6:00 p.m. in the Town Hall Council Chambers, unless otherwise posted.

DESCRIPTION OF PROPOSED STRUCTURE/MODIFICATION: 10x10 shed

STREET ADDRESS OF PROPERTY:

135 W. Magnolia Ave

LOT(S) NO: \_\_\_\_\_ BLOCK: \_\_\_\_\_ SQ. FT. LIVING AREA OF STRUCTURE: \_\_\_\_\_

SIDE YARD SETBACKS: \_\_\_\_\_ FRONT SETBACKS: \_\_\_\_\_ REAR SETBACKS: \_\_\_\_\_

TREE REMOVAL (Permit Required): \_\_\_\_\_ ZONING: \_\_\_\_\_

100-YEAR FLOOD ELEVATION \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ LICENSE NO: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CONTRACTOR SIGNATURE: \_\_\_\_\_

CONTRACTOR PHONE: ( ) \_\_\_\_\_

CONTRACTOR EMAIL: \_\_\_\_\_

OWNERS NAME (Please Print): \_\_\_\_\_

COMMENTS: \_\_\_\_\_



**JACK S SHACKS, INC.**  
**P.O. BOX 684**  
**BELLEVUE, FLORIDA 34421**  
**352-245-6995**  
**jaxshacks@aol.com**

Serial Number: 2830

Item 6.

Delivery Date:

Tuesday

Name	David & Libby Grant	Date:	9/11/21
Address	135 West 11th Avenue		
City, State, Zip	Howie, in the Hills, FL	Signature:	
Phone	727-666-3408 / 727-637-2881		
Email			

	OPTIONS	TOTAL
SIZE	10x10	3303.00
STYLE	Lapsider	
DOORS	10"	
WINDOWS	2 10x2'1" 2 gable vents	
OTHER	light + outlet	
COLOR	base: beige trim: cedar roof:	
Loading Info/Property Diagram  TO Truck		Sub total: 3303.00
		Delivery: 75.00
		Sales tax: 240.66
		Misc:
		Total: 3618.66

Building Diagram

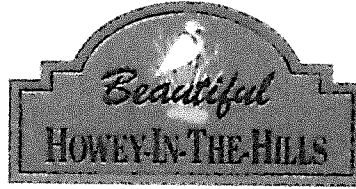
Payment Details

Deposit Paid  
+ 300.00 CC  
  
+ 3318.66 CDD

Customer agrees to provide adequate clearance for the delivery of this building. A minimum of the building width plus two feet is required as well as 14 foot height clearance. JSI is not responsible for clearing any obstacle in order to deliver your building. You hold JSI harmless from damages done to the property or building where adequate clearance has not been met. Utility and water lines must be clearly marked prior to delivery. It is the customers responsibility to obtain a building permit, know and follow zoning restrictions, or association regulations. There is a minimum charge of \$200 plus mileage for each delivery attempt for site preparation problems or accessibility. If the site is not accessible after a special order is placed, the deposit is non-refundable. Free delivery is truck and trailer placement and one block high on leveling. Additional blocks are charged at \$5 per block. If delivery is specialized, there is \$75 per hour charge. Anchoring to concrete is additional.

**WE APPRECIATE YOUR BUSINESS!**

Florida Statute 455. 228(1)  
Homeowners hiring  
unlicensed contractors  
may be subject to a fine of  
up to \$5,000.00



## HOWEY-IN-THE-HILLS OWNER/BUILDER

**TO QUALIFY FOR EXEMPTION UNDER ANY OF THE FOLLOWING SUBSECTIONS, AN OWNER MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT APPLICATION. A POWER OF ATTORNEY CANNOT BE ACCEPTED.**

### DISCLOSURE STATEMENT

Initials:                      BUILDING, PLUMBING, AND/OR MECHANICAL INSTALLATION

#### STATEMENT REQUIRED BY FLORIDA STATUTE 489.103(7)

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor with certain restrictions even though you do not have a license. You must provide direct, onsite supervision of the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building, provided your costs do not exceed \$25,000. The building or residence must be for your own use and occupancy. It may not be built or substantially improved for sale or lease. If you sell or lease a building you have built or substantially improved yourself within one (1) year after the construction is complete, the law will presume that you built or substantially improved it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person to act as your contractor or to supervise people working on your building.

### DISCLOSURE STATEMENT

Initials:                      ELECTRICIAN INSTALLATION

#### STATEMENT REQUIRED BY FLORIDA STATUTE 489.503(6)

State law requires electrical contracting to be done by licensed electrical contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own electrical contractor even though you do not have a license. You may install electrical wiring for a farm outbuilding or a single-family or duplex residence. You may also install electrical wiring in a commercial building the aggregate construction costs of which are under \$25,000. The home or building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease more than one building you have wired yourself within one (1) year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your electrical contractor.



HH Initials: It is your responsibility to make sure that the people employed by you have licenses required by State law and by county or municipal licensing ordinances.

HH Initials: You may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done.

HH Initials: Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law.

HH Initials: Your construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

HH Initials: Pursuant to Chapter 455.228 of the Florida Statutes, any individual who aids and abets the unlicensed practice of a profession by employing such unlicensed person may be fined up to \$5,000.

I will assume full responsibility as an Owner/Builder Contractor, and will personally supervise all work permitted. I hereby acknowledge that I have read and understand the above statements.


David H. Grant  
Print: Builder/Owner

David H. Grant  
Signature: Builder/Owner Name

Owner's Address: 135 W. Magnolia Ave House, in The Hills FL 34737

The Forgoing instrument was acknowledged before me this day: 03 / 08 / 2022

by David Henry Grant who is personally known to me/who produced as  
Florida Driver's license identification and who did not take an oath.

Seal:  Victoria Dominique Elfers  
Notary Public  
State of Florida  
Comm# HH153962  
My Commission Expires: Expires 7/14/2025

Notary Public: Victoria Dominique Elfers