



## **Town Council Meeting**

**July 08, 2024 at 6:00 PM**

**Howey-in the-Hills Town Hall**

**101 N. Palm Ave.,**

**Howey-in-the-Hills, FL 34737**

---

**Join Zoom Meeting:** <https://us06web.zoom.us/j/83221874587?pwd=KTbb4KH5znEPpfG0uRIzw1OtNHMf6l.1>  
**Meeting ID:** 832 2187 4587 | **Passcode:** 770394

### **AGENDA**

Call the Town Council Meeting to order  
Pledge of Allegiance to the Flag  
Invocation by Councilor Reneé Lannamañ

#### **ROLL CALL**

Acknowledgement of Quorum

#### **AGENDA APPROVAL/REVIEW**

#### **CONSENT AGENDA**

*Routine items are placed on the Consent Agenda to expedite the meeting. If Town Council/Staff wish to discuss any item, the procedure is as follows: (1) Pull the item(s) from the Consent Agenda; (2) Vote on the remaining item(s); and (3) Discuss each pulled item and vote.*

- 1.** The approval of the minutes and ratification and confirmation of all Town Council actions at the May 13, 2024 Town Council Meeting.

#### **PUBLIC HEARING**

#### **OLD BUSINESS**

#### **NEW BUSINESS**

- 2.** Consideration and Approval: **Municipal Election Proclamation**
- 3.** Consideration and Approval: **Whispering Heights Final Subdivision Plan**
- 4.** Consideration and Approval: **Selection of TRIM Meeting Dates**
- 5.** Consideration and Approval: **FY2025 School Resource Officer (SRO) Contract Approval**

#### **DEPARTMENT REPORTS**

- 6.** Town Hall

7. Police Department
8. Code Enforcement
9. Public Works
10. Library
11. Parks & Recreation Advisory Board / Special Events
12. Town Attorney
13. Finance Supervisor
14. Town Manager

### **COUNCIL MEMBER REPORTS**

15. Mayor Pro Tem Gallelli
16. Councilor Lehning
17. Councilor Miles
18. Councilor Lannamañ
19. Mayor MacFarlane

### **PUBLIC COMMENTS**

*Any person wishing to address the Mayor and Town Council and who is not on the agenda is asked to speak their name and address. Three (3) minutes is allocated per speaker.*

### **ADJOURNMENT**

#### **To Comply with Title II of the Americans with Disabilities Act (ADA):**

Qualified individuals may get assistance through the Florida Relay Service by dialing 7-1-1. Florida Relay is a service provided to residents in the State of Florida who are Deaf, Hard of Hearing, Deaf/Blind, or Speech Disabled that connects them to standard (voice) telephone users. They utilize a wide array of technologies, such as Text Telephone (TTYs) and ASCII, Voice Carry-Over (VCO), Speech to Speech (STS), Relay Conference Captioning (RCC), CapTel, Voice, Hearing Carry-Over (HCO), Video Assisted Speech to Speech (VA-STS) and Enhanced Speech to Speech.

**Howey Town Hall** is inviting you to a scheduled Zoom meeting.

Topic: **Town Council Meeting**

Time: **Jul 8, 2024 06:00 PM Eastern Time** (US and Canada)

Join Zoom Meeting

<https://us06web.zoom.us/j/83221874587?pwd=KTbb4KH5znEPpfG0uRIzw1OtNHMf6l.1>

Meeting ID: 832 2187 4587

Passcode: 770394

Dial by your location

**+1 646 558 8656 US (New York)**

**+1 346 248 7799 US (Houston)**



Meeting ID: 832 2187 4587

Passcode: 770394

Find your local number: <https://us06web.zoom.us/j/kcKss9MIOS>

Please Note: In accordance with F.S. 286.0105: Any person who desires to appeal any decision or recommendation at this meeting will need a record of the proceedings, and that for such purposes may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is based. The Town of Howey-in-the-Hills does not prepare or provide this verbatim record. Note: In accordance with the F.S. 286.26: Persons with disabilities needing assistance to participate in any of these proceedings should contact Town Hall, 101 N. Palm Avenue, Howey-in-the-Hills, FL 34737, (352) 324-2290 at least 48 business hours in advance of the meeting.



**Town Council Meeting**  
**May 13, 2024 at 6:00 PM**  
**Howey-in the-Hills Town Hall**  
**101 N. Palm Ave.,**  
**Howey-in-the-Hills, FL 34737**

**MINUTES**

Mayor Pro Tem Gallelli called the Town Council Meeting to order at 6:00 p.m.  
Mayor Pro Tem Gallelli led the attendees in the Pledge of Allegiance to the Flag.  
Councilor Reneé Lannamañ delivered an invocation.

**ROLL CALL**

Acknowledgement of Quorum

**MEMBERS PRESENT:**

Councilor Reneé Lannamañ | Councilor David Miles | Councilor George Lehning | Mayor Pro Tem Marie V. Gallelli

**MEMBERS EXCUSED ABSENT:**

Mayor Martha MacFarlane

**STAFF PRESENT:**

Sean O’Keefe, Town Manager | Tom Wilkes, Town Attorney (ZOOM) | Morgan Cates, Public Works Director | Rick Thomas, Police Chief | John Brock, Town Clerk

**AGENDA APPROVAL/REVIEW**

**Motion made by Councilor Lehning to move items 9, 13, and 10 (in that order) forward to appear directly after the Consent Agenda and remove items 1 & 2 from the Consent Agenda; seconded by Councilor Lannamañ. Motion approved unanimously by voice-vote.**

**Voting**

**Yea:** Councilor Lannamañ, Councilor Miles, Councilor Lehning, Mayor Pro Tem Gallelli

**Nay:** None

**CONSENT AGENDA**

*Routine items are placed on the Consent Agenda to expedite the meeting. If Town Council/Staff wish to discuss any item, the procedure is as follows: (1) Pull the item(s) from the Consent Agenda; (2) Vote on the remaining item(s); and (3) Discuss each pulled item and vote.*

1. The approval of the minutes and ratification and confirmation of all Town Council actions at the April 22, 2024, Town Council Meeting. **(THIS ITEM WAS REMOVED FROM THE AGENDA DURING THE AGENDA APPROVAL PROCESS)**

2. The approval of the minutes and ratification and confirmation of all Town Council actions at the April 8, 2024, Town Council Meeting. **(THIS ITEM WAS REMOVED FROM THE AGENDA DURING THE AGENDA APPROVAL PROCESS)**
3. Consideration and Approval: **Edward Byrne Memorial Justice Assistance Grant (COUNCILOR MILES REQUESTED TO HAVE THIS ITEM PULLED FROM THE CONSENT AGENDA AND DISCUSSED. IT WAS DISCUSSED AND VOTED ON AFTER THE CONSENT AGENDA WAS APPROVED)**
4. Consideration and Approval: **Storm Debris Removal Agreement Option Selection**

**Motion made by Councilor Miles to approve the Consent Agenda (this only included item #4); seconded by Mayor Pro Tem Gallelli. Motion approved unanimously by voice-vote.**

**Voting**

**Yea:** Councilor Lannamañ, Councilor Miles, Councilor Lehning, Mayor Pro Tem Gallelli

**Nay:** None

3. Consideration and Approval: **Edward Byrne Memorial Justice Assistance Grant (COUNCILOR MILES REQUESTED TO HAVE THIS ITEM PULLED FROM THE CONSENT AGENDA AND DISCUSSED. IT WAS DISCUSSED AND VOTED ON AFTER THE CONSENT AGENDA WAS APPROVED)**

Councilor Miles asked to have this item pulled from the Consent Agenda. Councilor Miles was concerned that this grant was already signed and approved by Mayor MacFarlane prior to Town Council approving of the grant. Councilor Miles stated that he would like the Town Council to approve grants prior to the Mayor signing them.

Councilor Miles questioned if the Town Manager should be signing these grants, not the Mayor. John Brock, Town Clerk, stated that when he had asked the Town Attorney about this in the past and he was told that if the Town Council votes on a contract or grant the Mayor would typically sign it. Police Chief, Rick Thomas, stated that this particular grant has a requirement that the chief elected official must be the municipality's signee.

Councilor Miles asked about the purchasing of the vehicles and how they would be purchased. Chief Thomas explained the purchasing policy as it pertains to purchasing these vehicles. Councilor Miles stated that he would like the Town Council to give final approval of the vehicles to be purchased for this grant, prior to these vehicles being ordered.

Mayor Pro Tem Gallelli opened Public Comment for this item.

**Peter Tuite, 300 E Croton Way** – Mr. Tuite was concerned about the wording of the self-reporting answers to the questions about finances in the grant contract.

Mayor Pro Tem Gallelli closed Public Comment for this item.

**Motion made by Councilor Miles to approve Agenda Item #3; seconded by Councilor Lannamañ. Motion passed unanimously by voice-vote.**

**Voting**

**Yea:** Councilor Lannamañ, Councilor Miles, Councilor Lehning, Mayor Pro Tem Gallelli

**Nay:** None

**NEW BUSINESS (ITEMS 9, 13 AND 10)****9. Presentation: New Town Police Officers Introduction**

Police Chief Rick Thomas introduced his new officers, they included: part-time Officer Troy McDonald, full-time Officer Cameron Parker, and Police Chaplain Bill Hawley.

**13. Discussion: Board Selection Process**

Town Manager, Sean O’Keefe, explained the process of how Board Members would be selected and approved by the Town Council. Mr. O’Keefe explained that one of the few restrictions that the Town’s Charter places on the selection of Board Members is that they cannot have been previously convicted of a felony.

Mayor Pro Tem Gallelli opened Public Comment for this item only but receiving no comments closed Public Comment.

**10. Consideration and Approval: Parks and Recreation Board Member Selection**

Mayor Pro Tem Gallelli asked all three candidates for the two open Park and Recreation Board Member positions to get up and speak about themselves and why they would be a good fit. All three candidates, Teresa Pileggi, Meredith Bright, and Eric Gunesch spoke about their background and why they should be appointed to the Parks and Recreation Board.

It was stated that applicant Eric Gunesch had previously been convicted of a felony. Mr. Gunesch said that his voting rights had been restored since he served his time, and that he should be allowed on the Board. Councilor Lannamañ asked Mr. Gunesch if he had proof of his voting rights being restored. Mr. Gunesch stated that he did not have proof of this with him.

Mayor Pro Tem Gallelli opened Public Comment for this item.

**Tim Everline, 1012 N. Lakeshore Blvd.** – Mr. Everline stated that he was concerned that someone anonymously sent a notice to the Town notifying the Town that Mr. Gunesch had a felony conviction. Mr. Everline stated that if it is ever determined who sent in the anonymous notice about Mr. Gunesch’s felony, they should be reprimanded. Mr. Everline endorsed Mr. Gunesch and Mrs. Pileggi for the open Board positions.

Mayor Pro Tem Gallelli closed Public Comment for this item.

**Motion made by Councilor Lannamañ to appoint Teresa Pileggi to the Parks and Recreation Board; seconded by Councilor Miles. Motion approved unanimously by voice-vote.**

**Voting**

**Yea:** Councilor Lannamañ, Councilor Miles, Councilor Lehning, Mayor Pro Tem Gallelli

**Nay:** None

**Motion made by Mayor Pro Tem Gallelli to appoint Meredith Bright to the Parks and Recreation Board; seconded by Councilor Lannamañ. Motion approved by voice vote.**

**Voting**

**Yea:** Councilor Lannamañ, Councilor Lehning, Mayor Pro Tem Gallelli

**Nay:** Councilor Miles

**PUBLIC HEARING**

5. Consideration and Approval: (Second Reading) **Ordinance 2024-003 - Land Development Code (LDC) Amendment – Signs**

Town Manager, Sean O’Keefe, read Ordinance 2024-004 out loud by title only:

**AN ORDINANCE OF THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA, PERTAINING TO SIGNS; AMENDING SECTIONS 5.03.04 THROUGH 5.03.07 OF THE LAND DEVELOPMENT CODE TO REVISE REGULATIONS GOVERNING TEMPORARY SIGNAGE; PROVIDING FOR CODIFICATION, SEVERABILITY, AND AN EFFECTIVE DATE.**

Town Attorney, Tom Wilkes, introduced and explained this item.

Mayor Pro Tem Gallelli opened Public Comment for this item.

**Teresa Pileggi, 1115 N. Lakeshore Blvd.** – Mrs. Pileggi had questions about the appropriate placement for “Open House” signs and banners.

**Paul Redmond, 309 N Lakeshore Blvd** – Mr. Redmond would like to see the dates of when yard signs are posted on the yard signs.

**Bill Dixon, 121 E Magnolia Ave.** – Mr. Dixon said that he thought this was a solid proposal.

**Peter Tuite, 300 E Croton Way** – Mr. Tuite had questions about what a Right of Way (ROW) was.

Mayor Pro Tem Gallelli closed Public Comment for this item.

Councilor Miles had concerns about his 2 internally lit address number signs that he had on his house. Mr. Wilkes said that Mr. Miles’ lit address numbers were allowed.

**Motion made by Councilor Lehning to approve Ordinance 2024-003; seconded by Mayor Pro Tem Gallelli. Motion approved unanimously by roll call vote.**

**Voting**

**Yea:** Councilor Lannamañ, Councilor Miles, Councilor Lehning, Mayor Pro Tem Gallelli

**Nay:** None

6. Consideration and Approval: (Second Reading) **Ordinance 2024-005 Capital Improvement Schedule FY2024**

Town Manager, Sean O’Keefe, read Ordinance 2024-005 out loud by title only:

**AN ORDINANCE OF THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA AMENDING THE CAPITAL IMPROVEMENTS ELEMENT IN CHAPTER 8 OF THE TOWN’S COMPREHENSIVE PLAN BY UPDATING THE FIVE-YEAR SCHEDULE OF CAPITAL IMPROVEMENTS TO INCLUDE ESTIMATED CAPITAL IMPROVEMENTS FOR FISCAL YEAR 2023-2024 THROUGH FISCAL YEAR 2028-2029 PURSUANT TO THE REQUIREMENTS OF CHAPTER 163 OF THE FLORIDA STATUTES; PROVIDING FOR CONFLICT, CODIFICATION, SEVERABILITY AND AN EFFECTIVE DATE.**

Mayor Pro Tem Gallelli opened Public Comment for this item.

**Tim Everline, 1012 N. Lakeshore Blvd.** – Mr. Everline stated that the changes that were discussed during the first reading were not changed on the 5-year schedule.

**Eric Gunesch, 448 Avila Pl.** – Mr. Gunesch agreed with Mr. Everline about not seeing the changes in the 5-year schedule that were made during the last Town Council meeting.

Town Clerk, John Brock, agreed with Mr. Everline and stated that during the first reading of the Ordinance 2024-005 the Town Council had voted to amend the 5-year schedule to remove funding for Peak Park and move the funding that was going to go to Peak Park to Lakeshore Improvements.

Councilor Miles stated that he wanted to see Peak Park moved back into the 5-year CIP schedule.

**Eric Gunesch, 448 Avila Pl.** – Mr. Gunesch suggested creating a GoFundMe account to fund Peak Park.

**Peter Tuite, 3300 E Croton Way** – Mr. Tuite stated that he thought the idea of a park on the old land fill land was a terrible idea and did not want to see Peak Park moved back into the 5-year schedule.

**Ann Griffin, 215 E Laurel Ave.** – Mrs. Griffin stated that she would also not like to see a park on the site of the Town's old landfill.

Public Works Director, Morgan Cates, recommended leaving Peak Park on the CIP for grant purposes.

**Motion made by Councilor Lannamañ to approve Ordinance 2024-005 while moving \$5,000 from Lakeshore Improvements in FY 2028 (leaving \$720,000 for Lakeshore Improvements for FY 2028) into Peak Park for FY 2029; seconded by Councilor Miles. Motion approved unanimously by roll call vote.**

#### **Voting**

**Yea:** Councilor Lannamañ, Councilor Miles, Councilor Lehning, Mayor Pro Tem Gallelli

**Nay:** None

#### 7. Consideration and Approval: (First Reading) **Ordinance 2024-006 - Petition for Creation of the Lake Hills Community Development District (CDD)**

Town Manager, Sean O'Keefe, read Ordinance 2024-006 out loud by title only:

**AN ORDINANCE OF THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA, ADOPTING ORDINANCE NO. 2024-006 TO GRANT THE PETITION FOR THE CREATION OF THE LAKE HILLS COMMUNITY DEVELOPMENT DISTRICT PURSUANT TO CHAPTER 190, FLORIDA STATUTES, CONCERNING THAT CERTAIN APPROXIMATELY 220.21 +/- ACRES OF LAND; DESCRIBING THE BOUNDARIES OF THE LAKE HILLS COMMUNITY DEVELOPMENT DISTRICT; PROVIDING FOR SEVERABILITY AND AN EFFECTIVE DATE.**

Mayor Pro Tem Gallelli asked for representatives for the applicant to come forward, introduce themselves and give their presentation. Mark Watts (Land Use Attorney with the firm of Cobb Cole), Jeff Reader (with Reader Communities), and Dean Barberree (with Reader Communities) spoke on behalf of the applicant. Mr. Watts gave a presentation on the benefits for the creation of a Community Development District (CDD).

Mayor Pro Tem Gallelli opened Public Comment for this item.

**Tim Everline, 1012 N. Lakeshore Blvd.** – Mr. Everline stated that Strong Towns author Charles L. Marohn was against the creation of CDDs. Mr. Eveline stated that he believed there was little transparency from CDDs. Mr. Eveline stated that the Town Attorney, Tom Wilkes, was against the creation of a CDD and that the Town Council should listen to him.

**Peter Tuite, 300 E Croton Way** – Mr. Tuite did not want to see the Town all the creation of this CDD.

**Paul Redmond, 309 N. Lakeshore Blvd.** – Mr. Redmond stated that he had been in the real estate business for 20 years and that CDDs reduce the value of the property. Mr Redmond was not in favor of the creation of a CDD.

**Eric Gunesch, 448 Avila Pl.** – Mr. Gunesch was not in favor of the creation of a CDD.

**Ann Griffin, 215 E Laurel Ave.** – Mrs. Griffin said that she thought the Town Councilors should listen to the advice of their own Town Attorney.

**Sandy Russ, 6813 Lake View Dr., Yalaha Fl.** – Mrs. Russ stated that she did not think a CDD created any benefit for anyone but the developer.

**Beth Flack, 607 S Florida Ave.** – Mrs. Flack said that she thought the Town Councilors should listen to the advice of their own Town Attorney.

Mayor Pro Tem Gallelli closed Public Comment for this item.

**Motion made by Mayor Pro Tem Gallelli to deny; seconded by Councilor Lehning. Motion approved unanimously by roll call vote.**

**Voting**

**Yea:** Councilor Lannamañ, Councilor Miles, Councilor Lehning, Mayor Pro Tem Gallelli

**Nay:** None

**OLD BUSINESS**

8. Discussion: **High Density Zoning Land Use Proposal**

**Motion made by Councilor Lannamañ to table this item to the next Town Council Meeting; seconded by Councilor Miles. Motion approved unanimously by voice-vote.**

**Voting**

**Yea:** Councilor Lannamañ, Councilor Miles, Councilor Lehning, Mayor Pro Tem Gallelli

**Nay:** None

**NEW BUSINESS**

9. Presentation: **New Town Police Officers Introduction (THIS ITEM WAS MOVED TO APPEAR BETWEEN THE CONSENT AGENDA AND PUBLIC HEARING SECTIONS OF THE MEETING.)**
10. Consideration and Approval: **Parks and Recreation Board Member Selection (THIS ITEM WAS MOVED TO APPEAR BETWEEN THE CONSENT AGENDA AND PUBLIC HEARING SECTIONS OF THE MEETING.)**
11. Presentation: **N. Citrus Ave. Survey**

Public Works Director, Morgan Cates, gave a status update on the N Citrus Ave repaving project. Mr. Cates presented the results of the survey of N. Citrus Ave. Mr. Cates explained that the next step for this project was to draft legal descriptions for moving the Right of Ways around the intersection of Citrus Ave. and Camellia Way.

Mayor Pro Tem Gallelli opened Public Comment for this item.

**Bill Dixon, 121 E. Magnolia Ave.** – Mr. Dixon stated that he had lived in the Town for 15 years. Mr. Dixon said that he believed he was not getting any value for the high tax rates that he pays to the Town. Mr. Dixon stated that he did not believe that the Town was maintaining its roads, curbs, and trees. Mr. Dixon stated that he believed that the Town should be obligated to bring things up to a minimum standard. Mr. Dixon wanted to see all roads repaved with curbs and sidewalks. Mr. Dixon wanted to see the correct transition on the roads going from SR 19 to the Town’s side streets. Mr. Dixon stated that he thought the Town should get a new Town Attorney and that the Town Councilors needed to wake up.

**Tim Everline, 1012 N. Lakeshore Blvd.** – Mr. Everline stated that he thinks that there were many residents that did not want money spent on improving this road.

12. Discussion: **Assessment of Town's Retired Water Tower**

Public Works Director, Morgan Cates, stated that a restoration of the Town’s retired Water Tower would cost approximately \$400,000. Mr. Cates spoke about an evaluation that he had asked USGA Water complete which surveyed the water town.

Mayor Pro Tem Gallelli opened Public Comment for this item only but seeing no comments closed Public Comment.

13. Discussion: **Board Selection Process (THIS ITEM WAS MOVED TO APPEAR BETWEEN THE CONSENT AGENDA AND PUBLIC HEARING SECTIONS OF THE MEETING.)**

**DEPARTMENT REPORTS**

14. Town Hall

This report was included in the packet for the meeting.

15. Police Department

This report was included in the packet for the meeting.

16. Code Enforcement

This report was included in the packet for the meeting.

17. Public Works

This report was included in the packet for the meeting.

18. Library

This report was included in the packet for the meeting.

19. Parks & Recreation Advisory Board / Special Events



None

20. Town Attorney

None

21. Finance Supervisor

This report was included in the packet for the meeting.

22. Town Manager

Town Manager, Sean O'Keefe, announced dates for some future meeting and events.

**COUNCIL MEMBER REPORTS**

23. Mayor Pro Tem Gallelli

Mayor Pro Tem Gallelli stated that the Asma Special Magistrate Hearing date and time had not been set yet.

Mayor Pro Tem Gallelli asked residents not to irrigate their yards between 10 a.m. and 4 p.m.

24. Councilor Lehning

Councilor Lehning asked Mr. O'Keefe if had received a date and time for an FDOT engineer to come and speak to the Town about the SR 19 sidewalk project. Mr. O'Keefe stated that nothing had been finalized.

25. Councilor Miles

None

26. Councilor Lannamañ

None

27. Mayor MacFarlane

Absent, no report.

**PUBLIC COMMENTS**

*Any person wishing to address the Mayor and Town Council and who is not on the agenda is asked to speak their name and address. Three (3) minutes is allocated per speaker.*

**Eric Gunesch, 448 Avila Pl.** – Mr. Gunesch thanked the Town Council for denying the CDD.

**Ronald Morris, 53 Camino Real** – Mr. Morris wanted to know when the Special Magistrate Hearing for the Asma property would be held.

Mr. O'Keefe stated that the hearing would be held in the Town's library and that the hearing would be advertised.

**ADJOURNMENT**

**There being no further business to discuss, a motion was made by Councilor Lehning to adjourn the meeting; Councilor Miles seconded the motion. Motion was approved unanimously by voice vote.**

The Meeting adjourned at 10:00 p.m. | **Attendees: 59**

\_\_\_\_\_  
Mayor Martha MacFarlane

ATTEST:

\_\_\_\_\_

John Brock, Town Clerk

DRAFT



**Proclamation**

**Announcement of the 2024 Municipal Election**

**WHEREAS**, the Town of Howey-in-the-Hills will hold its municipal election on Tuesday, November 5th, 2024; and

**WHEREAS**, the election will determine the holders of Town Council seats #4 and #5; and

**WHEREAS**, all eligible and interested residents are encouraged to participate in this vital democratic process;

**NOW THEREFORE**, I, Martha MacFarlane, Mayor of the Town of Howey-in-the-Hills Florida, do hereby proclaim the following:

**1. Election Date and Polling Hours:**

- The 2024 municipal election will be held on Tuesday, November 5th, 2024.
- Polls will be open from 7:00 AM to 7:00 PM Eastern Standard Time at such precinct locations as determined and noticed by the Lake County Supervisor of Elections.

**2. Qualifying Period:**

- The qualifying period for the election will commence at noon on Monday, August 5th, 2024, and will conclude at noon on Friday, August 16th, 2024.
- All interested candidates must file their candidacy within this period.

**3. Eligibility Requirements:**

- All candidates for the office of Town Councilor must be at least 21 years of age.
- Candidates must be registered voters and residents of the Town of Howey-in-the-Hills for at least one year prior to the first day of the qualifying period.
- Each candidate must file a petition with the Town Clerk, signed by no fewer than 25 Town electors, nominating the candidate for Town Council.
- Any person convicted of a felony is ineligible and disqualified from seeking election to any office or appointment to any board, commission, committee, or agency in the Town.
- No more than one family member may hold a seat on the Council concurrently. A family member includes parents, siblings, children, or spouses.
- The candidate shall also provide a statement that, if elected, he/she will serve, and if not the Council shall omit his/her name from the ballot.

**4. Qualifying Officer:**

- The Town Election Qualifying Officer is John Brock, Town Clerk.
- All parties interested in qualifying for this election may contact the Town Clerk's Office at (352) 324-2290 ext. 101, (352) 272-1925, or via email at jbrock@howey.org to schedule an appointment. Appointments will be held at Town Hall, 101 N. Palm Avenue, Howey-in-the-Hills, FL 34737.

**5. Additional Information:**

- More information about the election process can be obtained from the Town's website at howey.org or by contacting the Town Clerk.

**IN WITNESS WHEREOF**, I have hereunto set my hand and caused the Great Seal of the Town of Howey-in-the-Hills to be affixed this 8<sup>th</sup> Day of July in the year 2024.

By: \_\_\_\_\_  
Martha MacFarlane, Mayor

Attest: \_\_\_\_\_  
John Brock, Town Clerk



TMHConsulting@cfl.rr.com  
 97 N. Saint Andrews Dr.  
 Ormond Beach, FL 32174  
 PH: 386.316.8426

## MEMORANDUM

**TO:** Howey-in-the-Hills Town Council  
**CC:** J. Brock, Town Clerk  
**FROM:** Thomas Harowski, AICP, Planning Consultant  
**SUBJECT:** Whispering Heights Final Subdivision Plan  
**DATE:** July 3, 2024

---

The applicant is seeking approval of the final subdivision plan for the Whispering Heights single-family subdivision. For many years the project went under the name of Whispering Hills. The subdivision is located on Buckhill Road at the bend east of Lakeshore Drive and consists of 156 lots supported by other subdivision improvements. The project does have frontage on Little Lake Harris. The project has received preliminary subdivision approval which essentially fixes the plan for roads, lots, retention areas and similar subdivision improvements to meet the standards of the MDR-2 zoning classification. The final subdivision approval will allow the applicant to initiate construction of subdivision improvements.

### Project Summary

The project is designated Medium Density Residential on the future land use map and zoned MDR-2. The project does have a development agreement approved which addresses more process items than development standards.. For development standards, the project is guided by the standards for MDR-2 zoning and the requirements of the land development code. As noted above the basic street and lot layout was fixed with the preliminary subdivision plan, but some of the project highlights are provided here.

- All of the homes will be single-family dwellings
- The predominant lot size is 75 feet by 120 feet but the lots fronting on the lake are larger with lot widths at 100 feet. The larger lots on the lakefront are specified in the development agreement.
- The project will be served by Town water and sewer, with both services brought to the site from Lakeshore Drive area.

- Landscape irrigation will be drawn from the wet retention pond with the option to draw water from Little Lake Harris if necessary. This approach has been cleared through the water management district.
- The project does include some park areas including one park area at the lake front.
- The project will extend sidewalk along the frontage with Buckhill Road and along Buckhill Road to connect to Lakeshore Drive.
- The project will be a gated development with private roads including two access points with Buckhill Road.
- The project will include a screening wall and landscaped buffer along Buckhill Road.

### Final Subdivision Design

The final subdivision design is a technical review of the engineering to ensure the project meets the Town code and good design standards. The final subdivision design is compared with the preliminary subdivision plan to verify the final plan is consistent with the preliminary design. The plans were reviewed several times with the Development Review Committee followed by a series of exchanges between the Town's engineer and the applicant's design engineer to work through design details. The review was complicated by the need to include off-site construction to connect the project to the Town's water and sewer system as well as design considerations generated by the relatively steep slope extending from Buckhill Road to Little Lake Harris. The Town engineer has certified that the plan set meets the Town requirements, but approval needs to be conditioned on a couple of actions.

1. The plan for sewer is to use a force main to connect the project to the lift station constructed with the Venezia subdivision. The Town and the school district have been negotiating an easement to allow access to the lift station across school district property, and this negotiation process is nearing completion. The applicant has found an alternate route to connect to the lift station and avoid the school district property, so the easement should not affect this project.
2. The Central Florida Community Development district has provided the applicant with a letter stating their willingness and ability to serve the project. The applicant still needs to pay the necessary fees to reserve the actual treatment capacity.
3. The applicant will need to file an application with the school district for a school concurrency certification for any units in excess of the original 107 units. The original project is exempt from school concurrency because it preceded the establishment of the school concurrency process, however, any new units must meet the concurrency tests.

4. The applicant will need to provide current permits for stormwater treatment facilities, utility construction, and connection to Buckhill Road.

### Planning Board Recommendation

The Planning Board reviewed the application at their regular meeting of June 27, 2024. The Board recommended approval of the final subdivision plan subject to several conditions as follows:

1. The applicant completes the process for obtaining school concurrency as evidenced by a certificate of concurrency issued by the school district.
2. The applicant pays the necessary fees to reserve sewer capacity for the project.
3. The applicant provides the required permits for construction of subdivision improvements.
4. If the project does need to access the sewer lift station using school board property, the necessary easement is approved and recorded.



# FINAL CONSTRUCTION PLANS FOR WHISPERING HEIGHTS

Howey-in-the-Hills, Florida

**PROJECT DESCRIPTION (PROPOSED IMPROVEMENTS)**

- CONSTRUCTION OF A NEW 156 LOT RESIDENTIAL SUBDIVISION WITH CONNECTION TO PUBLIC SEWER AND WATER

**FLOOD CERTIFICATE:**

- ZONE "X" & "AE" PER FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 12069C0485E, dated:12/18/2012

**BEARING BASIS**

- THE COORDINATE AND BEARING STRUCTURE FOR THIS SURVEY IS BASED ON FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD83), 1990 ADJUSTMENT. HORIZONTAL CONTROL STATION UTILIZED WAS NATIONAL GEODETIC SURVEY (NGS) FIRST (1ST) ORDER CONTROL STATION "LC 06".

**Description: Project Limits**

A portion of Government Lots 5 and 6, in Section 36, Township 20 South, Range 25 East, Lake County, Florida,

more particularly described as follows:

Commence at the Southwest corner of the Southeast ¼ of Section 36, Township 20 South, Range 25 East, Lake County, Florida; thence coincident with the South Boundary of said Southeast ¼, S 89°50'08" E a distance of 32.76 feet to a point on the East Right-of-way Boundary of Buckhill Road per OSPREY HEIGHTS-PHASE 1A, as recorded in Plat Book 33, Page 66 of the public records of Lake County, Florida, said point being the POINT OF BEGINNING; thence departing said South Boundary, coincident with said East Right-of-way Boundary and the Northerly extension thereof, N 00°36'32" E a distance of 2184.33 feet; thence N 47°09'43" E a distance of 28.30 feet; thence N 31°02'11" E a distance of 24.81 feet; thence N 86°55'48" E a distance of 40.31 feet; thence N 55°05'08" E a distance of 38.19 feet; thence S 71°01'20" E a distance of 52.29 feet; thence N 64°09'46" E a distance of 61.62 feet; thence S 79°41'54" E a distance of 70.94 feet; thence N 60°39'33" E a distance of 110.96 feet; thence N 36°52'01" E a distance of 91.94 feet; thence N 13°52'52" W a distance of 29.71 feet; thence N 14°17'52" W a distance of 61.64 feet; thence N 06°23'22" E a distance of 30.93 feet; thence N 16°45'59" E a distance of 28.88 feet; thence S 86°22'27" E a distance of 91.79 feet; thence N 45°57'51" E a distance of 66.74 feet; thence S 55°54'12" E a distance of 29.18 feet; thence S 70°43'29" E a distance of 52.36 feet; thence N 89°10'11" E a distance of 183.00 feet; thence N 82°49'33" E a distance of 87.24 feet; thence N 69°29'41" E a distance of 52.88 feet; thence S 00°53'22" W a distance of 108.93 feet to a point coincident with a non-tangent curve concave to the Southwest, said curve having a radius of 46.00 feet, a delta angle of 36°39'48" and being subtended by a chord bearing S 56°23'48" E for a distance of 30.46 feet; thence coincident with the arc of said curve a distance of 31.04 feet; thence S 70°02'13" E a distance of 36.99 feet; thence N 66°26'02" E a distance of 104.12 feet; thence N 16°19'52" E a distance of 108.8 feet, more or less, to the waters edge of Little Lake Harris; thence Southerly coincident with the waters edge of Little Lake Harris to the Northeast corner of the lands described in Official Records Book 1775, Page 275 of the Public Records of Lake County, Florida; thence departing said waters edge, coincident with the North Boundary of said lands for the following five (5) courses: 1.) N 84°17'12" W a distance of 269.90 feet; 2.) thence N 88°21'36" W a distance of 293.43 feet; 3.) thence S 89°30'46" W a distance of 224.96 feet; 4.) thence S 84°47'04" W a distance of 179.68 feet; 5.) thence N 89°13'45" W a distance of 421.93 feet to a point on the West Boundary of said lands; thence departing said North Boundary, coincident with said West Boundary, S 09°31'29" W a distance of 636.42 feet to a point on the aforementioned South Boundary of the Southeast ¼ of said Section 36; thence coincident with said South Boundary, N 89°51'03" W a distance of 112.96 feet to the POINT OF BEGINNING.

Containing an area of 2651920.89 square feet, 60.880 acres more or less.

**General Notes:**

1. Stormwater Retention Areas to be Owned & Maintained by HOA.
2. All Streets are Private. Private Streets are in Tract "D"
3. All signage shall comply with City Codes
4. Electrical Power will be provided by underground service.
5. All Recreation and Landscape Tracts shall be maintained by HOA.
6. All sidewalks not fronting single family lots and all sidewalk ramps shall be installed during road construction.
7. All extra recreational area improvements are shown for reference. Actual implementation is contingent upon results of a market study.
8. Based upon the results of market research to be done, the developer may elect to replace traditional telephone, cable, and internet services with a multi-purpose fiber optic service.
9. Construction Operating Hours 7:00 AM - 6:00 PM

**Utility Contacts**

Drinking Water  
Howey-in-the-Hills  
101 N Palm Ave  
Howey-in-the-Hills, FL 34737  
Ph (352) 324-2264

Sewage Disposal  
Howey-in-the-Hills  
101 N Palm Ave  
Howey-in-the-Hills, FL 34737  
Ph (352) 324-2264

Garbage Disposal  
Howey-in-the-Hills  
101 N Palm Ave  
Howey-in-the-Hills, FL 34737  
Ph (352) 324-2264

Fire Protection  
Lake County Fire Rescue  
315 W Main Street  
Tavares, Florida 32778  
Ph (352) 343-9458

Electric  
Sumter Electric  
330 S US Highway 301  
Sumterville, Florida 33585  
Ph (352) 357-5600

Gas  
TECO Peoples Gas  
600 W Robinson St  
Orlando, FL 32801  
Ph (407) 425-4662

**Communications Options**

Phone  
Sprint  
PO Box 770339  
Winter Garden, Florida 34777  
Ph (407) 814-5246  
Fx (407) 814-5320

Cable  
Spectrum  
1670 E Highway 50 Suite D  
Clermont, Florida 34711  
Ph (352) 394-5541

Fiber Optic  
Centurylink  
33 N Main Street  
Winter Garden, Florida  
Ph (407) 814-5271

Civil Engineer:  
Darcy Unroe PE  
Unroe Engineering, Inc  
PO Box 690942  
Orlando, Florida 32869  
Ph (407) 299-0650  
Darcy@UnroeEngineering.com

Developer:  
Red Jacket Development Group  
625 Waltham Ave  
Orlando, Florida 32809  
Ph 407 855-1136  
Fx 407 851-2226  
Contact: Clay Frankel

Owner:  
Whispering Hills Unified Land Trust and its Beneficiaries:  
Whispering Hills Florida, LLC & Whispering Shores Florida, LLC & Bredco Development Group, each in its capacity as trustee  
625 Waltham Road  
Orlando, Florida 32809  
Ph 407 855-1136  
Contact Lawrence White

Surveyor:  
SurvTech Solutions, Inc  
10220 US Highway 92E  
Tampa, Florida 33610  
Ph (813) 621-4929  
fx (813) 621-7194  
Contact: David O'Brien Jr

Environmentalist:  
Modica and Associates, Inc  
302 Mahawk Street  
Clermont, Florida 34711  
Ph 352-394-2000  
Fx 352-394-1159  
Contact: Jim Modica



Table of Contents		
Sheet Number	Description	Last Revision Date
COV	Cover Sheet	11/27/2023
SPC	Specifications & Notations	9/19/2022
C1	Overall Subdivision Plan	9/19/2022
C2	Construction Phasing Plan	9/19/2022
C3	Subdivision Key Plan	9/19/2022
C4	Subdivision Layout Plan - North	5/3/2023
C5	Subdivision Layout Plan - South	5/3/2023
C6	Subdivision Grading Plan - North	9/19/2022
C7	Subdivision Grading Plan - South	12/9/2022
C8	Subdivision Utility Plan - North	2/1/2024
C9	Subdivision Utility Plan - South	12/9/2022
C10	Sewer & Storm Structure Tables	5/3/2023
C11	General Details Sheet 1	9/19/2022
C12	General Details Sheet 2	9/19/2022
C13	General Details Sheet 3	9/19/2022
C14	General Details Sheet 4	9/19/2022
C15	Howey-in-the-HillsDetails 1	9/19/2022
C16	Howey-in-the-HillsDetails 2	9/19/2022
C17	Howey-in-the-HillsDetails 3	9/19/2022
C18	Howey-in-the-HillsDetails 4	9/19/2022
C19	SANITARY SEWER LIFT STATION	11/27/2023
PP1	Plan - Profile Sheet 1	12/9/2022
PP2	Plan - Profile Sheet 2	9/19/2022
PP3	Plan - Profile Sheet 3	9/19/2022
PP4	Plan - Profile Sheet 4	9/19/2022
PP5	Plan - Profile Sheet 5	9/19/2022
PP6	Plan - Profile Sheet 6	9/19/2022
PP7	Plan - Profile Sheet 7	9/19/2022
PP8	Plan - Profile Sheet 8	9/19/2022
PP9	Plan - Profile Sheet 9	9/19/2022
PP10	Plan - Profile Sheet 10	9/19/2022
PP11	Plan - Profile Sheet 11	9/19/2022
PP12	Plan - Profile Sheet 12	9/19/2022
PP13	Plan - Profile Sheet 13	9/19/2022
PP14	Plan - Profile Sheet 14	9/19/2022
PP15	Plan - Profile Sheet 15	9/19/2022
OS1	Overall Off-Site Utility Plan	11/27/2023
OS2	Off-Site Plan-Profile #1	2/1/2024
OS3	Off-Site Plan-Profile #2	2/1/2024
OS4	Off-Site Plan-Profile #3	2/1/2024
OS5	Off-Site Plan-Profile #4	2/1/2024
OS6	Off-Site Plan-Profile #5	2/1/2024
TM1	Tree Mitigation Plan - Overall	9/19/2022
TM2	Tree Mitigation Plan - North	9/19/2022
TM3	Tree Mitigation Plan - South	9/19/2022
SL1	Site Lighting Photometrics - North	9/19/2022
SL2	Site Lighting Photometrics - South	9/19/2022
SL3	Site Lighting Details	9/19/2022
W1	Perimeter Wall Plan	9/19/2022
L100-L301	Landscape Plans	9/19/2022
L300-L318	Irrigation Plans	9/19/2022
---	Boundary Survey	9/19/2022
---	Project Limits Survey	9/19/2022
---	Topographic Survey	9/19/2022
---	Off-Site Route Survey 1	9/5/2023
---	Off-Site Route Survey 2	9/5/2023

**Development Information**

Gross Acreage 60.88 ac (2,651,933 sf)  
Wetlands Area 1.25 ac ( 54,355 sf)  
Net Acreage 59.63 AC (2,597,578 sf)

Current Zoning MDR-2  
Future Land Use Medium Density Residential

Maximum Density 4.0 DU/net acreage

Proposed Lakefront 20 Lots  
Proposed Pond Front 8 Lots  
Proposed Standard 128 Lots  
Total Number of Lots 156 Lots  
Proposed Density 2.62 DU/Net Acre

Minimum Lot Area 9,000 sf  
Minimum Lot Width 75' minimum

Code Min. Living Area 1,200 sf (Under Heat & Air)  
Plus 400 sf Min Garage  
Developer intention 2,500 sf (average)  
Maximum Height 35' feet (2.5 stories)  
Max ISR 0.50

Minimum Setbacks  
Front: 25'  
Rear: 25'  
Side: 12.5'  
Side Street: 12.5'

Phasing Multi-Phase Project

Open Space 25% Required open space

Project Traffic 1,474 Avg daily trips

Projected School Age Population 156 units x 0.404 = 63 students

Stormwater Management Provide Retention system per City & SJRWMD Regulations

100 yr Flood Flood zone X & AE  
Per 12069C0485E, dated:12/18/2012

Projected Fire Flow Final fire flow provided to site to be determined by final design of off-site water distribution system

Utilities  
Sewer: Howey-in-the-Hills  
Water: Howey-in-the-Hills

Open Space Calculation  
Required 25% of Gross land Area - 15.22 Ac

Provided Open Space	
Category	Area
Recreation Tracts	1.58 Ac
Stormwater Tract	9.18 Ac
Wetlands area	1.25 Ac
Open Space in ROW	2.55 Ac
Landscape Buffers	1.17 Ac
Common Open Space	15.73 Ac (25.8%)
Lot Open Space	18.92 Ac
Total Open Space	34.65 Ac (56.9%)

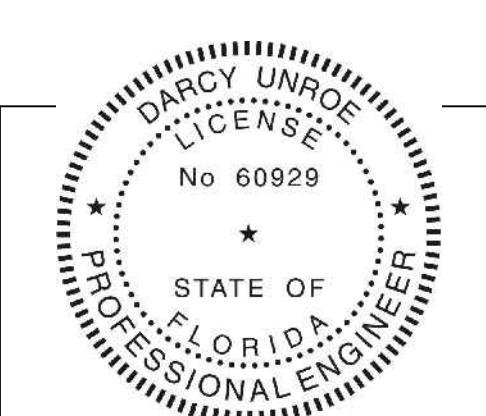
Impervious Areas  
Lots 37.84 Ac @ 50% 18.92 Ac  
Roads (9,592 lf) 5.28 Ac  
Entry Tract 0.27 Ac  
Walks (5' Wide) 1.76 Ac  
Total Impervious 26.23 Ac ( 43.1%)  
Open Space 34.65 Ac ( 56.9%)  
Total 60.88 Ac (100.0%)



Civil Engineering/Planning/Scientific Evaluation

PO Box 690942, Orlando, Florida 32869-0942

Business Authorization Number - EB 00006579 ph (407) 299-0650



COV



**G - General**

- G1. These notes shall apply to all work in this set of drawings.
- G2. It will be the responsibility of the contractor(s) to insure that all required permits are obtained and are in hand at the job site prior to the commencement of construction. Contractors shall abide by all conditions contained therein. It is the contractors sole responsibility to ensure that all construction is in accordance with local agencies codes, regulations and requirements.
- G3. Prior to commencement, the contractor shall provide a construction schedule for various site work elements so that site visits may be coordinated.
- G4. Contractor shall furnish the owner with accurate certified record drawings showing all as-constructed work at the of completion of construction. The surface water system shall include elevations and dimensions of control structures, weirs, inverts, manholes and volumes in storage ponds. Water and sewer system shall include location of all piped utilities, appurtenances and devices, elevations of manhole inverts, tops and pipe crossings. Drawings shall be certified by a Florida-registered land surveyor.
- G5. Structure elevations controlling water levels shall be built to 1/8"± (0.01 ft); inverts and water control elevations shall be built to 1/4"± (0.02 ft). Assigned volumes are absolute minimums. All other tolerances shall be built to local jurisdiction or industry standards.
- G6. The locations of all existing utilities and storm drainage shown on plans have been field verified to the best extent possible. However, it is the contractor's responsibility to verify the field locations of all underground utilities and to determine any possible conflicts prior to the start of any construction. Any delay or inconvenience to the contractor by the relocation of the various utilities shall be incidental to the contract and no extra compensation is allowed.
- G7. The contractor shall immediately notify the engineer of any discrepancies found between the drawings and the field conditions prior to construction in the area impacted by the conflict.
- G8. In accordance with Florida Law (553.851) the contractor must notify the gas or other utility a minimum of 48 hours and a maximum of five days prior to excavation. (Excluding weekends).
- G9. All requirements and recommendations of inspection personnel other than the owner's shall be reported to the engineer/owner prior to implementation. Compensation will not be allowed for work which is not authorized by the engineer/owner in writing.
- G10. All work shall be open to and subject to inspection by authorized personnel of the utility companies, project engineer and regulatory agencies.
- G11. Contractor shall notify all appropriate utility companies and water management agencies of proposed start up.
- G12. Contractor shall stake all improvements using the centerline, building dimensions and pond dimensions. Contractor shall confirm the building dimensions with the drawings prior to stakeout. It is the contractors sole responsibility to completely stake and check all improvements to ensure adequate positioning, both horizontal and vertical, including minimum building setbacks prior to the installation of any improvement. Any conflicts shall be brought to the attention of the EOR prior to construction
- G13. All work on public right-of-way shall comply with FDOT applicable indexes and all local jurisdiction regulations. Disturbed areas shall be compacted to design density and sodded. Signs and barricades per FDOT and Manual of Uniform Traffic Control Devices.
- G14. All sidewalks and curb cuts shall be installed to meet the requirements of the ADA and Florida Accessibility Code. Specifically, no running slopes greater than 5.0% and not cross slopes greater than 2.0%. All curb ramps shall be constructed per standard FDOT indexes unless specifically noted otherwise.
- G15. Compact all utility trenches within the top 2' of the roadway to 98% of the modified proctor density (AASHTO T-180). All other fill shall be compacted to 95% of maximum density.
- G16. Recommendations of the Geotechnical Report are made part of the specifications and notations and shall be followed carefully. A copy of the report may be obtained from the Owner or Engineer.
- G17 The concrete compressive strength for curb, gutter and flatwork shall be 3000 psi at 28 days (FDOT Class I). Provide concrete test cylinders and documentation.
- G18. The contractor shall reference and restore property corners and land markers disturbed during construction (under the direction of a Florida registered land surveyor).
- G19. All property affected by this work shall be restored to a condition equal to or better than existed unless specifically exempted by the plans. The cost for such restoration shall be incidental to other construction and no extra compensation will be allowed.
- G20. Roadway markings and striping to be installed in accordance with FDOT index #17345 and local jurisdiction standards. Striping shall be coordinated with local jurisdiction standards.
- G21. If seal coat is required on new pavement, temporary striping will be required until seal coat is applied (90 day curing time is required.)
- G22. Prior to implementation, the contractor shall prepare a maintenance of traffic plan. The MOT plan shall conform to FDOT and local jurisdiction standards.

**EXISTING UTILITIES**  
 THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN THE CONVENIENCE OF THE CONTRACTOR THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATIONS TO THESE UTILITIES WITH THE OWNER OF THE UTILITY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING AN UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLAN OR LOCATED BY THE UTILITY COMPANY. ALL UTILITIES THAT INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED BY THE RESPECTIVE UTILITY COMPANY AND THE CONTRACTOR SHALL COOPERATE WITH THEM DURING RELOCATION OPERATIONS. ANY DELAY OR INCONVENIENCE CAUSED TO THE CONTRACTOR BY THE RELOCATION OF VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT, AND NO EXTRA COMPENSATION WILL BE ALLOWED.

**DRAINAGE SYSTEMS**  
 THE CONTRACTOR SHALL PERFORM ALL WORK PERTAINING TO DRAINAGE INCLUDING EXCAVATION OF STORMWATER POND PRIOR TO THE COMMENCEMENT OF OTHER WORK INCLUDED IN THESE PLANS. THE DRAINAGE FACILITIES SHALL BE MAINTAINED BY THE CONTRACTOR DURING THE COURSE OF THIS CONTRACT. THE CONTRACTOR SHALL INCLUDE FUNDS IN THE DRAINAGE COSTS OF THE CONTRACT TO OPERATE AND MAINTAIN THE DRAINAGE SYSTEMS DURING THE WORK PROCESS. ANY REQUIRED DE-SILTING OF THE STORMWATER MANAGEMENT SYSTEM SHALL BE COMPLETED PRIOR TO FINAL APPROVAL BY EOR

**PERMITS AND PERMIT REQUIREMENTS**  
 THE CONTRACTOR SHALL OBTAIN FROM THE OWNER COPIES OF ALL REGULATOR YAND LOCAL AGENCY PERMITS. THE CONTRACTOR SHALL BE EXPECTED TO REVIEW AND ABIDE BY ALL THE REQUIREMENTS AND LIMITATIONS SET FORTH IN THE PERMITS. A COPY OF THE PERMIT SHALL BE KEPT ON THE JOB AT ALL TIMES.

**LAYOUT AND CONTROL**  
 UNLESS OTHERWISE NOTED ON THE PLANS, THE CONTRACTOR SHALL PROVIDE FOR THE LAYOUT OF ALL THE WORK TO BE CONSTRUCTED. BENCHMARK INFORMATION SHALL BE PROVIDED TO THE CONTRACTOR BY THE OWNER OR OWNER'S SURVEYOR. ANY DISCREPANCIES BETWEEN FIELD MEASUREMENTS AND CONSTRUCTION PLAN INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.

**QUALITY CONTROL TESTING REQUIREMENTS**  
 ALL TESTING RESULTS SHALL BE PROVIDED TO THE OWNER/OPERATOR AND THE ENGINEER. TESTING REQUIREMENT SARE TO BE IN ACCORDANC E WITH THE OWNER/OPERATOR 'S SPECIFICATION SAND REQUIREMENTS A LL TEST RESULTS SHALL BE PROVIDED (PASSING AND FAILING) ON A REGULAR AND IMMEDIATE BASIS. CONTRACTOR SHALL PROVIDE TESTING SERVICES THROUGH A FLORIDA LICENSED GEOTECHNICAL ENGINEERING FIRM ACCEPTABL E TO THE OWNER AND THE ENGINEER. CONTRACTOR TO SUBMIT TESTING FIRM TO OWNER FOR APPROVAL PRIOR TO COMMENCING TESTING.

**SHOP DRAWINGS**  
 SHOP DRAWINGS AND CERTIFICATION SFOR ALL STORM DRAINAGE, WATER SYSTEM, SEWER SYSTEM AND PAVING SYSTEM MATERIALS AND STRUCTURES ARE REQUIRED. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL PRIOR TO ORDERING THE MATERIALS REQUIRED FOR CONSTRUCTION.

**EARTHWORK**  
**EARTHWORK QUANTITIES**  
 THE CONTRACTOR SHALL PERFORM HIS OWN INVESTIGATION SAND CALCULATION SAS NECESSARY TO ASSURE HIMSELF OF EARTHWORK QUANTITIES. THERE IS NO IMPLICATION THAT EARTHWORK BALANCES, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY IMPORT FILL NEEDED, OR FOR REMOVAL AND DISPOSAL OF EXCESS MATERIALS.

**EROSION CONTROL**  
 EROSION AND SILTRATION CONTROL MEASURES ARE TO BE PROVIDED AND INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION. IT IS THE SITE CONTACTORS RESPONSIBILITY TO OBTAIN FDEP NPDES NOI PRIOR TO ANY EARTHMOVING ACTIVITIES. THESE MEASURES ARE TO BE INSPECTED BY THE CONTRACTOR ON A REGULAR BASIS AND ARE TO BE MAINTAINED OR REPAIRED ON AN IMMEDIATE BASIS AS REQUIRED. REFER TO WATER MANAGEMEN TDISTRICT PERMIT FOR ADDITIONAL REQUIREMENTS FOR EROSION CONTROL AND SURFACE DRAINAGE. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED WITH SOD WITHIN 7 DAYS OF COMPLETION OF CONSTRUCTION. SOD SHALL BE THE SAME VARIETY OF EXISTING SOD LIMITS OF DISTURBANCE.

**LIMITS OF DISTURBANCE**  
 AT NO TIME SHALL THE CONTRACTOR DISTURB SURROUNDING PROPERTIES OR TRAVEL ON SURROUNDING PROPERTIES WITHOUT WRITTEN CONSENT FROM THE PROPERTY OWNER. REPAIR OR RECONSTRUCTIO NOF DAMAGED AREAS ON SURROUNDING PROPERTIES SHALL BE PERFORMED BY THE CONTRACTOR ON AN IMMEDIATE BASIS. ALL COSTS FOR REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATIONS HALL BE PROVIDED. GRADING AND/OR CLEARING ON PROPERTIE SOTHER THAN SHOWN ON THE APPROVED PLANS IS PROHIBITED.

**TREE REMOVAL**  
 THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHEN ALL WORK IS LAID OUT (SURVEY STAKED), SO THAT A DETERMINATION MAY BE MADE OF SPECIFIC TREES TO BE REMOVED. NO TREES ON THE CONSTRUCTION NPLANS AS BEING SAVED SHALL BE REMOVED WITHOUT PERMISSION FROM THE OWNER AND ENGINEER.

**CLEARING AND GRUBBING**  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING AND GRUBBING FOR SITE CONSTRUCTION INCLUDING CLEARING FOR PAVING, UTILITIES, DRAINAGE FACILITIES AND BUILDING CONSTRUCTION. ALL AREAS TO BE CLEARED SHALL BE FIELD STAKED AND REVIEWED BY THE OWNER AND/OR ENGINEER PRIOR TO ANY CONSTRUCTION.

**MATERIAL STORAGE/DEBRIS REMOVAL**  
 1. NO COMBUSTIBLE BUILDING MATERIALS MAY BE ACCUMULATED ON THE SITE AND NO CONSTRUCTION WORK INVOLVING COMBUSTIBLE MATERIALS MAY BEGIN UNTIL INSTALLATION OF ALL REQUIRED WATER MAINS AND FIRE HYDRANTS HAVE BEEN COMPLETED. DEP APPROVAL RECEIVED FOR THE WATER MAINS, AND THE HYDRANTS ARE IN OPERATION. CONSTRUCTION WORK INVOLVING NON-COMBUSTIBLE MATERIALS, SUCH AS CONCRETE, MASONRY AND STEEL MAY BEGIN PRIOR TO THE FIRE HYDRANTS BEING OPERATIONAL.  
 2. ALL MATERIALS EXCAVATED SHALL REMAIN THE PROPERTY OF THE OWNER AND SHALL BE STOCKPILED AT ON-SITE LOCATIONS AS SPECIFIED BY THE OWNER. MATERIALS SHALL BE STOCKPILED SEPARATELY AS TO USABLE (NON-ORGANIC) FILL STOCKPILES AND ORGANIC (MUCK) STOCKPILES IF MUCK IS ENCOUNTERED C. ONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL UNSUITABLE FILL MATERIALS FROM THE SITE. ALL CLAY ENCOUNTERED SHALL BE EXCAVATED OUT AND REPLACED WITH CLEAN GRANULAR FILL MATERIALS.

**FILL MATERIAL**  
 ALL MATERIALS SHALL CONTAIN NO MUCK, STUMPS, ROOTS, BRUSH, VEGETATIVE MATTER, RUBBISH OR OTHER MATERIAL THAT WILL NOT COMPACT INTO A SUITABLE AND ENDURING BACKFILL. FILL SHALL BE CLEAN, NON-ORGANIC, GRANULAR MATERIAL WITH NOT MORE THAN 10% PASSING THE NO. 200 SIEVE.

**COMPACTION**  
 FILL MATERIALS PLACED UNDER ROADWAYS SHALL BE COMPACTED TO AT LEAST 98% OF THE MAXIMUM DENSITY AS SPECIFIED IN AASHTO T-180. ALL OTHER FILL AREAS ARE TO BE COMPACTED TO AT LEAST 95% MAXIMUM DENSITY AS SPECIFIED IN AASHTO T-180. FILL MATERIALS SHALL BE PLACED AND COMPACTED IN A MAXIMUM OF 12" LIFTS. THE CONTRACTOR SHALL PROVIDE THE ENGINEER AND OWNER WITH ALL (PASSING AND FAILING) TESTING RESULTS. RESULTS SHALL BE PROVIDED ON A TIMELY AND REGULAR BASIS PRIOR TO CONTRACTOR'S PAY REQUEST SUBMITTAL FOR THE AFFECTED WORK.

**PAVEMENT AND/OR ROAD AND RIGHT-OF-WAY WORK**  
**GENERAL DESIGN INTENT**  
 ALL PAVING SURFACES IN INTERSECTION SAND ADJACENT SECTIONS SHALL BE GRADED TO DRAIN POSITIVELY IN THE DIRECTION SHOWN BY THE FLOW ARROWS ON THE PLANS AND TO PROVIDE A SMOOTHLY TRANSITIONED DRIVING SURFACE FOR VEHICLES WITH NO SHARP BREAKS IN GRADE, AND NO UNUSUALLY STEEP OR REVERSE CROSS SLOPES. APPROACHES TO INTERSECTION SAND ENTRANCE AND EXIT GRADES TO INTERSECTION SWILL HAVE TO BE STAKED IN THE FIELD AT DIFFERENT GRADES THAN THE CENTERLINE GRADES TO ACCOMPLISH THE PURPOSES OUTLINED. IN ADDITION, THE STANDARD CROWN WILL HAVE TO BE CHANGED IN ORDER TO DRAIN POSITIVELY IN THE AREA OF INTERSECTIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH THE ABOVE AND THE ENGINEER SHALL BE CONSULTED SO THAT HE MAY MAKE ANY AND ALL REQUIRED INTERPRETATION OF THE PLANS OR GIVE SUPPLEMENTARY INSTRUCTION TO ACCOMPLISH THE INTENT OF THE PLANS.

**MATERIALS/CONSTRUCTION SPECIFICATIONS**  
 MATERIALS AND CONSTRUCTION METHODS FOR THE ROADWAY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION LATEST EDITION.

**PAVEMENT SECTION REQUIREMENTS**  
 CONSTRUCTION OF ROADWAY, SUBGRADE PREPARATION, AND PAVEMENT INSTALLATION SHALL CONFORM TO FDOT STANDARDS AND SOILS REPORT RECOMMENDATIONS UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DOCUMENTS.

**SIDEWALKS**  
 SIDEWALKS ARE TO BE CONSTRUCTED IN THE AREA AS SHOWN ON THE CONSTRUCTION PLANS. SIDEWALK SHALL BE CONSTRUCTED OF 4 INCHES OF CONCRETE WITH A 28 DAY COMPRESSION STRENGTH OF 2500 PSI. JOINTS SHALL BE EITHER TOOLED OR SAWCUT AT A DISTANCE OF 5' LENGTHS. HANDICAPPED RAMPS SHALL BE PROVIDED AT ALL INTERSECTION SAND BE IN ACCORDANCE WITH STATE REGULATIONS FOR HANDICAP ACCESSIBILITY. ALL CROSS SLOPES SHALL BE LESS THAN 2.0% AND RUNNING SLOPES SHALL BE LESS THAN 5.0%

**PAVEMENT MARKINGS/SIGNAGE**  
 PAVEMENT MARKINGS AND SIGNAGE SHALL BE PROVIDED AS SHOWN ON THE CONSTRUCTION PLANS AND SHALL MEET THE REQUIREMENTS OF THE OWNER/OPERATOR. SIGNAGE SHALL BE IN CONFORMANCE WITH MUTCD (LATEST EDITION), A 48-HOUR PAVEMENT CURING TIME WILL BE PROVIDED PRIOR TO APPLICATION OF THE PAVEMENT MARKINGS. REFLECTIVE PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH FDOT INDEX NO. 17352.

**TRAFFIC CONTROL**  
 WHERE APPLICABLE A MOT PLAN SHALL BE SUBMITTED TO THE ENGINEER PRIOR TO COMMENCEMENT OF WORK. A MINIMUM OF 2-WAY, ONE LANE TRAFFIC SHALL BE MAINTAINED IN THE WORK SITE AREA. ALL CONSTRUCTION WARNING SIGNAGE SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION AND BE MAINTAINED THROUGHOUT CONSTRUCTION. ACCESS SHALL BE CONTINUOUSLY MAINTAINED FOR ALL PROPERTY OWNERS SURROUNDING THE WORK SITE AREA. LIGHTED WARNING DEVICES ARE TO BE OPERATIONAL PRIOR TO DUSK EACH NIGHT DURING CONSTRUCTION.

**CURBING**  
 CURBING SHALL BE CONSTRUCTED WHERE NOTED ON THE CONSTRUCTION PLANS. CONCRETE FOR CURBS SHALL BE DEPARTMENT OF TRANSPORTATION CLASS "1" CONCRETE WITH A 28 DAY COMPRESSION STRENGTH OF 2500 PSI. ALL CURBS SHALL HAVE SAW CUT CONTRACTION JOINTS AND SHALL BE CONSTRUCTED AT INTERVALS NOT TO EXCEED 10'-0" ON CENTER. CONSTRUCTION OF CURBS SHALL BE IN CONFORMANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 520 AND DETAILS PROVIDED ON THE CONSTRUCTION PLANS.

**ROW RESTORATION**  
 ALL AREAS WITHIN THE RIGHT-OF-WAY SHALL BE FINISH GRADED WITH A SMOOTH TRANSITION INTO EXISTING GROUND. ALL SWALES SHALL BE STABILIZED IMMEDIATELY AFTER FINAL GRADING. ALL DISTURBED AREAS SHALL BE RAKED CLEAN OF ALL LIMEROCK AND ROCKS AND SODDED AFTER FINAL GRADING IN ACCORDANCE WITH THE CONSTRUCTION PLANS PRIOR TO FINAL INSPECTION. ALL GRASSING (SOD) SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL FINAL ACCEPTANCE BY THE OWNER/OPERATOR.

**SITE ACCESS**  
 ALL ACCESS TO THE JOB SITE FOR CONSTRUCTION AND RELATED ACTIVITIES SHALL BE BY EXISTING STREETS AND ROADS.

**LANDSCAPING**  
 PROVIDE MINIMUM 5' SEPARATION FROM UTILITIES AND TREES WITH INVASIVE ROOT SYSTEMS.

**WATER PIPE MATERIALS**  
 WATER SYSTEM SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER AND SHALL MEET THE LOCAL JURISDICTION MINIMUM REQUIREMENTS.

POLYVINYL CHLORIDE PLASTIC PIPE (PVC) 4" THROUGH 12" SHALL BE MANUFACTURED IN ACCORDANCE WITH ANSI/AWWA C900 (LATEST EDITION) AND SHALL HAVE A MINIMUM WORKING PRESSURE OF 150 PSI AND A DR (DIMENSION RATIO) OF 18. ALL PVC PIPE SHALL BEAR THE NSF LOGO FOR POTABLE WATER. JOINTS SHALL BE OF THE PUSH-ON TYPE AND COUPLINGS CONFORMING TO ASTM D3139, DR18 PIPE.

DUCTILE IRON PIPE (DIP) SHALL BE STANDARD PRESSURE CLASS 350 IN SIZES 4" THROUGH 12" AND CONFORM TO ANSI/AWWA C150/A21.50 (LATEST EDITION). ALL DUCTILE IRON PIPE SHALL HAVE A STANDARD THICKNESS OF CEMENT MORTAR LINING AS SPECIFIED IN ANSI/AWWA C104/A21.4 (LATEST EDITION). PIPE JOINTS SHALL BE OF THE PUSH-ON RUBBER GASKET TYPE CONFORMING TO ANSI/AWWA C111/A21.11 (LATEST EDITION).

PIPE DETECTOR WITH LOCATOR WIRE SHALL BE INSTALLED ON ALL WATER MAINS PER DETAIL. PIPE SIZES GREATER THAN 12" SHALL BE SEPARATELY SPECIFIED ON THE PLANS; WITH THICKNESS CLASSES TO BE SHOWN BASED ON WORKING PRESSURES, PIPE DEPTH AND TRENCH CONDITIONS. FITTINGS FOR DUCTILE IRON PIPE AND PVC C-900 PIPE SHALL BE DUCTILE IRON AND SHALL CONFORM TO ANSI/AWWA C153/A21.10 (LATEST EDITION) AND SHALL BE CEMENT LINED IN CONFORMANCE WITH ANSI/AWWA C104/A21.4 (LATEST EDITION).

POLYETHYLENE ENWRAP USED FOR CORROSION PREVENTION ON DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENT SOF ANSI/ASTM D1248, THE MINIMUM NOMINAL THICKNESS SHALL BE 0.008 IN. (8 MILS). INSTALLATION OF POLY WRAP SHALL BE IN ACCORDANCE WITH AWWA C105. TRANSMISSION MAIN SHALL BE DIP RATED FOR 250 PSI.

**VALVES**  
 GATE VALVES SHALL BE RESILIENT SEAT AND SHALL CONFORM TO ANSI/AWWA C509.87 WITH WRENCH NUT, EXTENSION STEMS AND OTHER APPURTENANCE SAS REQUIRED. MANUFACTURER'S CERTIFICATION NOF THE VALVES COMPLIANT WITH AWWA SPECIFICATIO NC509 AND TESTS LISTED THEREIN WILL BE REQUIRED. VALVES SHALL BE CLOW, DRESSER, KENNEDY, AMERICAN.

**AIR RELEASE VALVES**  
 AIR RELEASE VALVES SHALL BE PLACED AT HIGH POINTS OF THE TRANSMISSION MAIN TO PERMIT ESCAPE OF TRAPPED AIR. THE VALVE SIZE, LOCATION AND METHOD OF INSTALLATION SHALL BE INDICATED ON THE DRAWINGS, OR AS DIRECTED BY THE ENGINEER. AIR RELEASEVALVES SHALL BE CRISPEN PRESSURE AIR VALVE TYPE.

**WATER SERVICES**  
 UNLESS OTHERWISE NOTED IN THE PLANS, THE UTILITY COMPANY SHALL PROVIDE AND INSTALL WATER METERS. CONTRACTOR SHALL CONSTRUCT WATER SERVICE THROUGH THE CURB STOP AND SET METER BOXES TO FINISHED GRADE AS SHOWN ON THE WATER SYSTEM DETAIL SHEET.

POLYETHYLENE (PE) PRESSURE PIPE FOR WATER SERVICES 1/2" THROUGH 3" SHALL CONFORM TO AWWA C901.88, MIN. 200 PSI, AND SHALL BE PHILLIPS DRISCO CTS 5100 (DR-9) ASTM D-2737, 200 PSI. ALL SERVICES SHALL INCLUDE THE FOLLOWING: LOCKING CURB STOPS, WYE BRANCHES, UNIONS AS REQUIRED, PE SERVICE PIPE AND CORPORATION STOPS. THE SERVICE SHALL BE COMPLETE THROUGH THE CURB STOP AS SHOWN ON THE DETAIL SHEET AND SHALL BE OF THE TYPE REQUIRED FOR COMPATIBILITY WITH THE SERVICE LINES SPECIFIED AND FITTINGS SHALL BE MANUFACTURED BY FORD.

WHERE APPLICABLE - UNLESS OTHERWISE NOTED IN PLANS, UTILITY COMPANY SHALL PROVIDE AND INSTALL IRRIGATION METERS. WHERE RECLAIM SERVICE IS NOT PROVIDED, CONTRACTOR SHALL CONSTRUCT IRRIGATION SERVICE THROUGH THE CURB STOP AND SET NEW BOXES TO FINISHED GRADE AS SHOWN ON THE WATER SYSTEM DETAIL SHEET.

**PIPE INSTALLATION**  
 PIPE INSTALLATION NOF PVC WATER MAIN SHALL BE IN CONFORMANCE WITH ASTM D2774 (LATEST EDITION). INSTALLATION OF DUCTILE IRON PIPE WATER MAIN SHALL BE IN CONFORMANCE WITH AWWA C600.87.

COMPACTED BACKFILL SHALL BE TO 98% MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180 UNDER ALL PAVEMENTS WITH 12" MAXIMUM LIFT THICKNESS. OTHER COMPACTION OF BACKFILL SHALL BE TO 95% MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180 WITH 12" MAXIMUM LIFT THICKNESS. SEE PIPE TRENCHING DETAILS.

MINIMUM COVER OVER ALL PIPE SHALL BE 36" FROM TOP OF PIPE TO FINISHED GRADE. SEE PLAN AND PROFILE SHEETS FOR REQUIRED DEPTH.

NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE. AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

ALL WATER MAINS SHALL BE INSTALLED WITH CONCRETE THRUST BLOCKS.  
 ALL PLUGS, CAPS, TEES, BENDS, FIRE HYDRANTS, VALVES, ETC. SHALL BE MECHANICAL JOINT FITTINGS.

												Item 3.
												Description
												Date
												#
Revisions												
												Description
												Date
												#
Revisions												

**Unroe Engineering, Inc**  
 Civil Engineering/Planning/Scientific Evaluation  
 PO Box 690942, Orlando, FL 32869-0942  
 Business Authorization Number: EB 0006579 ph (407) 299-0650

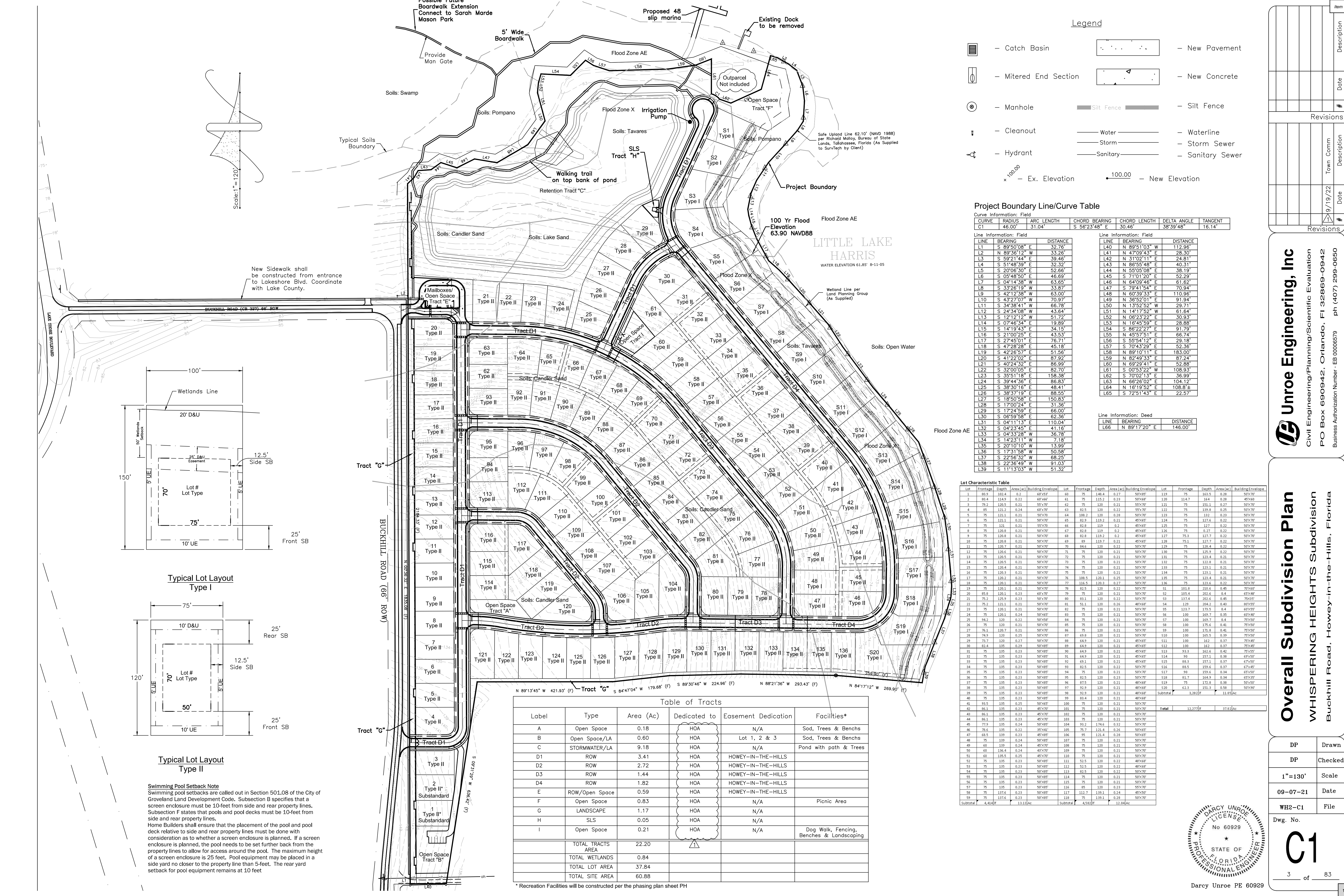
**Specifications & Notations**  
 WHISPERING HEIGHTS Subdivision  
 Buckhill Road, Howey-in-the-Hills, Florida

DP	Drawn
DP	Checked
----	Scale
09-07-21	Date
WH2-SPC	File

Dwg. No.  
**SPC**  
 2 of 83







**Project Boundary Line/Curve Table**

Curve Information: Field

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH	DELTA ANGLE	TANGENT
C1	46.00'	31.04'	S 56°23'48" E	30.46'	38°39'48"	16.14'

Line Information: Field

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	S 89°50'08" E	32.76'	L40	N 89°51'03" W	112.96'
L2	N 89°36'12" W	28.30'	L41	N 47°09'43" E	28.30'
L3	S 59°21'44" E	39.46'	L42	N 31°02'11" E	24.81'
L4	S 51°48'39" E	32.32'	L43	N 86°55'48" E	40.31'
L5	S 20°06'30" E	52.66'	L44	N 55°05'08" E	38.19'
L6	S 05°48'50" E	46.69'	L45	S 71°01'20" E	52.29'
L7	S 04°14'38" W	63.65'	L46	N 64°09'46" E	61.62'
L8	S 33°28'19" W	33.87'	L47	S 79°41'54" E	70.94'
L9	S 42°12'38" W	63.00'	L48	N 60°39'33" E	110.96'
L10	S 43°27'07" W	70.97'	L49	N 36°52'01" E	91.94'
L11	S 34°38'41" W	66.78'	L50	N 13°52'52" W	29.71'
L12	S 24°34'08" W	143.64'	L51	N 141°17'52" W	61.64'
L13	S 12°12'12" W	51.72'	L52	N 06°23'22" E	30.93'
L14	S 07°46'34" E	19.89'	L53	N 16°45'59" E	28.88'
L15	S 14°19'43" E	34.15'	L54	S 86°22'27" E	91.79'
L16	S 21°00'25" E	43.53'	L55	N 45°57'51" E	66.74'
L17	S 27°45'01" E	76.71'	L56	S 55°54'12" E	29.18'
L18	S 47°28'28" E	45.18'	L57	S 70°43'29" E	52.36'
L19	S 42°26'57" E	51.56'	L58	N 89°10'11" E	183.00'
L20	S 41°22'02" E	87.92'	L59	N 82°49'33" E	87.24'
L21	S 40°24'32" E	86.99'	L60	N 69°29'41" E	52.88'
L22	S 32°00'05" E	82.70'	L61	S 00°55'22" W	108.93'
L23	S 35°51'18" E	68.38'	L62	S 70°02'33" E	36.99'
L24	S 39°44'36" E	86.83'	L63	N 66°26'02" E	104.12'
L25	S 38°30'16" E	48.41'	L64	N 16°19'52" E	108.8±
L26	S 38°37'19" E	88.55'	L65	S 72°51'43" E	22.57'
L27	S 18°50'58" E	150.83'			
L28	S 17°00'24" E	31.36'			
L29	S 17°24'59" E	66.00'			
L30	S 06°59'58" E	62.36'			
L31	S 04°11'13" E	110.04'			
L32	S 04°23'45" E	41.16'			
L33	S 04°33'28" W	36.78'			
L34	S 14°23'11" W	7.18'			
L35	S 20°10'10" W	13.99'			
L36	S 17°31'58" W	50.58'			
L37	S 22°56'32" W	68.25'			
L38	S 22°36'49" W	91.03'			
L39	S 11°13'03" W	51.32'			

Line Information: Deed

LINE	BEARING	DISTANCE
L66	N 89°17'20" E	146.00'

**Lot Characteristic Table**

Lot	Frontage	Depth	Area (ac)	Building Envelope	Lot	Frontage	Depth	Area (ac)	Building Envelope	Lot	Frontage	Depth	Area (ac)	Building Envelope
1	88.9	102.4	0.2	60'x53'	60	75	148.4	0.27	50'x85'	119	75	163.5	0.28	50'x70'
2	88.4	114.9	0.22	60'x66'	61	75	115.2	0.23	50'x66'	120	114.7	164	0.28	45'x60'
3	79.2	120.5	0.21	50'x70'	62	75	120	0.21	50'x70'	121	75	151.1	0.21	50'x70'
4	85	121.2	0.24	60'x70'	63	82.5	120	0.22	55'x70'	122	75	139.8	0.25	50'x70'
5	75	121.1	0.21	50'x70'	64	108.2	120	0.28	50'x70'	123	75	132	0.23	50'x70'
6	75	121.1	0.21	50'x70'	65	82.8	118	0.24	45'x65'	124	75	127.6	0.22	50'x70'
7	75	121	0.21	50'x70'	66	82.8	115	0.2	45'x65'	125	75	127	0.22	50'x70'
8	75	120.8	0.21	50'x70'	67	82.8	115	0.2	45'x65'	126	75	127	0.22	50'x70'
9	75	120.8	0.21	50'x70'	68	82.8	115.2	0.2	45'x65'	127	75	127.7	0.22	50'x70'
10	75	120.8	0.21	50'x70'	69	118.7	0.21	45'x65'	128	75	127.2	0.22	50'x70'	
11	75	120.7	0.21	50'x70'	70	84.6	120	0.22	50'x70'	129	75	128.4	0.22	50'x70'
12	75	120.6	0.21	50'x70'	71	75	120	0.21	50'x70'	130	75	125.9	0.22	50'x70'
13	75	120.5	0.21	50'x70'	72	75	120	0.21	50'x70'	131	75	123.4	0.21	50'x70'
14	75	120.5	0.21	50'x70'	73	75	120	0.21	50'x70'	132	75	122.8	0.21	50'x70'
15	75	120.4	0.21	50'x70'	74	75	120	0.21	50'x70'	133	75	123.1	0.21	50'x70'
16	75	120.3	0.21	50'x70'	75	75	120	0.21	50'x70'	134	75	123.1	0.21	50'x70'
17	75	120.3	0.21	50'x70'	76	105.5	120.3	0.25	50'x70'	135	75	123.4	0.21	50'x70'
18	75	120.3	0.21	50'x70'	77	116.5	120.3	0.27	50'x70'	136	75	123.6	0.22	50'x70'
19	75	120.3	0.21	50'x70'	78	82.5	120	0.22	50'x70'	51	101.8	210.6	0.45	70'x60'
20	85.8	120.3	0.23	60'x70'	79	75	120	0.21	50'x70'	52	105.4	202.6	0.4	65'x48'
21	75.2	125.9	0.23	50'x70'	80	81.1	120	0.22	50'x70'	53	117.4	202.6	0.48	75'x50'
22	75.2	121.1	0.21	50'x70'	81	51.1	120	0.26	48'x68'	54	129	204.2	0.43	80'x55'
23	75	120.1	0.21	50'x70'	82	75	120	0.21	50'x70'	55	123.7	175.8	0.4	60'x55'
24	75	120.1	0.21	50'x70'	83	75	120	0.21	50'x70'	56	100	165.7	0.35	60'x48'
25	84.2	120	0.22	50'x68'	84	75	120	0.21	50'x70'	57	100	169.7	0.4	75'x50'
26	75	120	0.21	50'x70'	85	75	120	0.21	50'x70'	58	100	175.6	0.41	75'x50'
27	76.1	120.7	0.21	50'x70'	86	75	120	0.21	50'x70'	59	100	171.9	0.41	75'x50'
28	74.9	120	0.25	50'x70'	87	69.8	120	0.21	50'x70'	60	100	165.5	0.35	75'x50'
29	73.7	120	0.22	50'x70'	88	64.9	120	0.21	45'x65'	61	100	162	0.37	75'x45'
30	82.4	125	0.23	50'x85'	89	64.9	120	0.21	45'x65'	62	100	162	0.37	75'x45'
31	75	125	0.23	50'x85'	90	64.9	120	0.21	45'x65'	63	93.3	162.6	0.42	75'x50'
32	75	125	0.23	50'x85'	91	64.9	120	0.21	45'x65'	64	98	171.1	0.38	65'x50'
33	75	125	0.23	50'x85'	92	68.1	120	0.21	45'x65'	65	88.3	157.1	0.37	67'x50'
34	75	125	0.23	50'x85'	93	82.5	120	0.22	50'x70'	66	88.5	159.6	0.37	67'x45'
35	75	125	0.23	50'x85'	94	75	120	0.21	50'x70'	67	90	155.6	0.34	65'x50'
36	75	125	0.23	50'x85'	95	82.5	120	0.23	50'x70'	68	81.7	164.9	0.34	65'x35'
37	75	125	0.23	50'x85'	96	87.5	120	0.21	48'x68'	69	75	172.8	0.38	50'x50'
38	75	125	0.23	50'x85'	97	92.9	120	0.21	48'x68'	70	62.3	151.3	0.58	50'x30'
39	75	125	0.23	50'x85'	98	85.4	120	0.21	48'x68'	Subtotal	3,289.0'	11,855.0'		
40	75	125	0.23	50'x85'	99	85.4	120	0.21	48'x68'					
41	83.5	125	0.25	50'x85'	100	75	120	0.21	50'x70'					
42	86.1	125	0.23	45'x70'	101	75	120	0.21	50'x70'	Total	12,277'	37,923.0'		
43	86.1	125	0.23	45'x70'	102	75	120	0.21	50'x70'					
44	86.1	125	0.23	45'x70'	103	75	120	0.21	50'x70'					
45	77.9	125	0.24	50'x85'	104	93.2	174.6	0.52	50'x70'					
46	78.6	125	0.24	50'x85'	105	75	120	0.21	50'x70'					
47	68.5	125	0.23	45'x65'	106	95	121.4	0.38	50'x65'					
48	75	125	0.24	50'x85'	107	75	120	0.21	50'x70'					
49	60	125	0.24	50'x85'	108	75	120	0.21	50'x70'					
50	60	125	0.24	50'x85'	109	75	120	0.21	50'x70'					
51	60	125.5	0.25	45'x70'	110	75	120	0.21	50'x70'					
52	75	125	0.23	50'x85'	111	52.5	120	0.22	48'x68'					
53	75	125	0.23	50'x85'	112	52.5	120	0.22	48'x68'					
54	75	125	0.23	50'x85'	113	52.5	120	0.22	48'x68'					
55	75	125	0.23	50'x85'	114	75	120	0.21	50'x70'					
56	75	125	0.23	50'x85'	115	75	120	0.21	50'x70'					
57	75	125	0.23	50'x85'	116	75	120	0.21	50'x70'					
58	75	127.6	0.23	50'x85'	117	112.7	139.1	0.34	45'x50'					
59	75	127.6	0.23	50'x85'	118	75	120	0.21	50'x70'					
Subtotal	4,416.0'	13,113.0'		Subtotal	4,510.0'									

**Table of Tracts**

Label	Type	Area (Ac)	Dedicated to	Easement Dedication	Facilities*
A	Open Space	0.18	HOA	N/A	Sod, Trees & Benches
B	Open Space/LA	0.60	HOA	Lot 1, 2 & 3	Sod, Trees & Benches
C	STORMWATER/LA	9.18	HOA	N/A	Pond with path & Trees
D1	ROW	3.41	HOA	HOWEY-IN-THE-HILLS	
D2	ROW	2.72	HOA	HOWEY-IN-THE-HILLS	
D3	ROW	1.44	HOA	HOWEY-IN-THE-HILLS	
D4	ROW	1.82	HOA	HOWEY-IN-THE-HILLS	
E	ROW/Open Space	0.59	HOA	HOWEY-IN-THE-HILLS	
F	Open Space	0.83	HOA	N/A	Picnic Area
G	LANDSCAPE AREA	1.17	HOA	N/A	
H	SLS	0.05	HOA	N/A	
I	Open Space	0.21	HOA	N/A	Dog Walk, Fencing, Benches & Landscaping
TOTAL TRACTS AREA		22.20			
TOTAL WETLANDS AREA		0.84			
TOTAL LOT AREA		37.84			
TOTAL SITE AREA		60.88			

\* Recreation Facilities will be constructed per the phasing plan sheet PH



Revisions

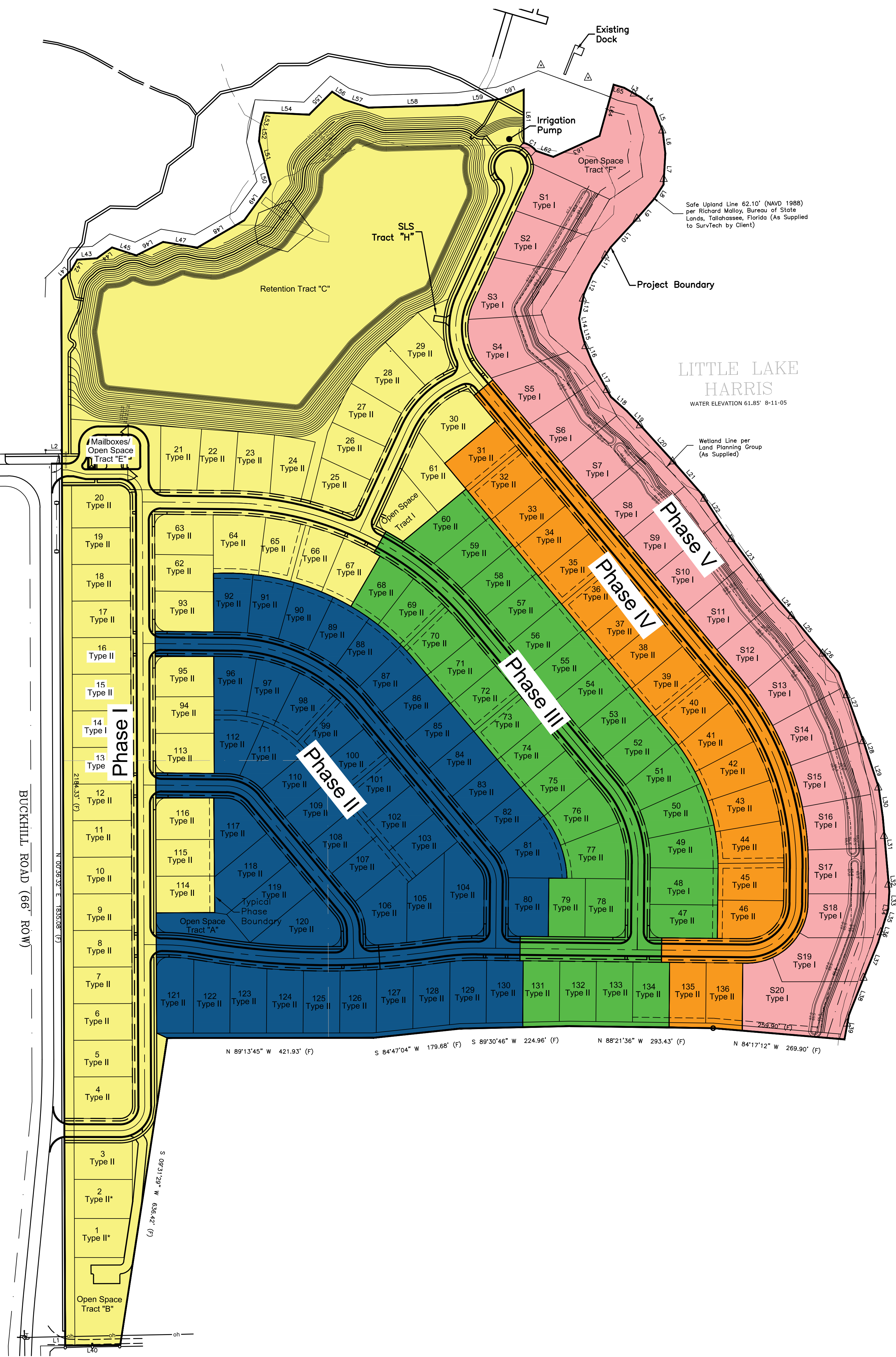
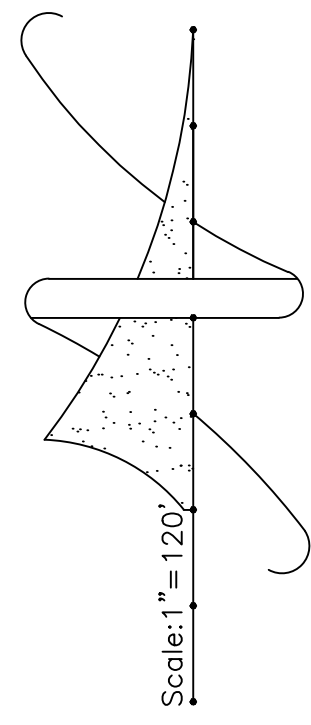
#	Date	Description
1	9/19/22	Town Comm

**Unroe Engineering, Inc**  
 Civil Engineering/Planning/Scientific Evaluation  
 PO Box 690942, Orlando, FL 32869-0942  
 Business Authorization Number: EB 00066579 ph (407) 299-0650

**Overall Subdivision Plan**  
 WHISPERING HEIGHTS Subdivision  
 Buckhill Road, Howey-in-the-Hills, Florida

DP Drawn  
 DP Checked  
 1"=130' Scale  
 09-07-21 Date  
 WH2-C1 File  
 Dwg. No. C1  
 3 of





**Phase Hatching**

- Phase I
- Phase II
- Phase III
- Phase IV
- Phase V

Note: Phasing refers to infrastructure construction and platting of lots/roads in individual phases.

Revisions		#	Date	Description

**Unroe Engineering, Inc**  
 Civil Engineering/Planning/Scientific Evaluation  
 PO Box 690942, Orlando, FL 32869-0942  
 Business Authorization Number - EB 00066579    ph (407) 299-0650

**Construction Phasing Plan**  
**WHISPERING HEIGHTS Subdivision**  
 Buckhill Road, Howey-in-the-Hills, Florida

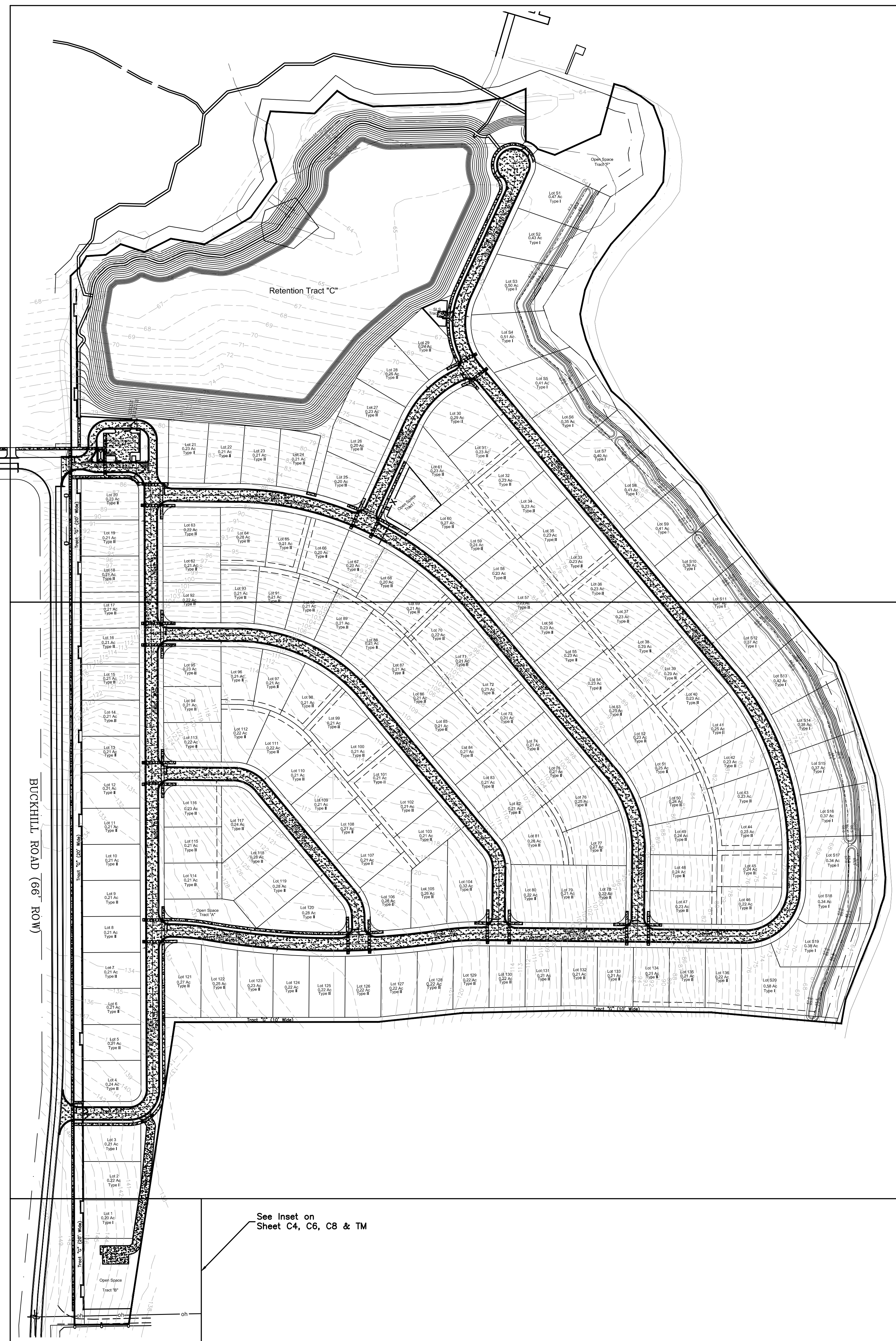
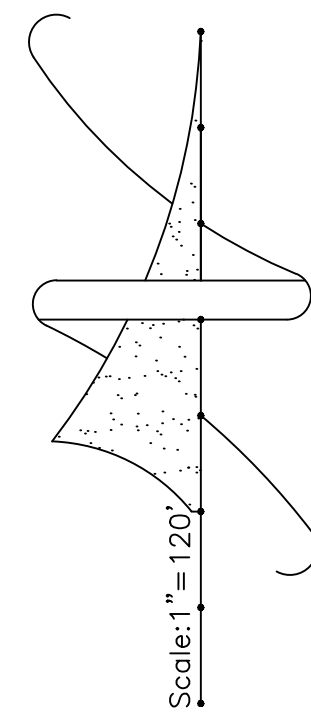
DP	Drawn
DP	Checked
1"=120'	Scale
09-07-21	Date
WH2-C2	File
Dwg. No.	

**C2**  
 4 of 83



Darcy Unroe PE 60929





See Sheet C3, C5, C7 & TM1

See Sheet C4, C6, C8 & TM2

See Inset on Sheet C4, C6, C8 & TM

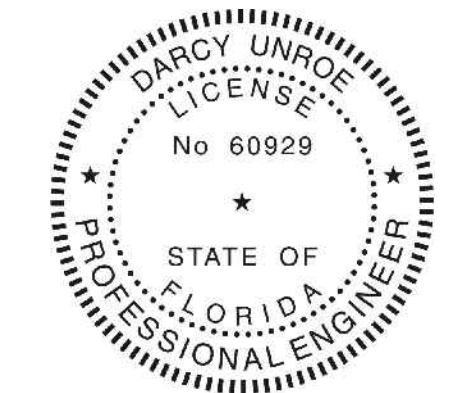
Revisions		Revisions	
#	Date	#	Date

**Unroe Engineering, Inc**  
 Civil Engineering/Planning/Scientific Evaluation  
 PO Box 690942, Orlando, FL 32869-0942  
 Business Authorization Number - EB 0006579 ph (407) 299-0650

**Subdivision Key Plan**  
**WHISPERING HEIGHTS Subdivision**  
 Buckhill Road, Howey-in-the-Hills, Florida

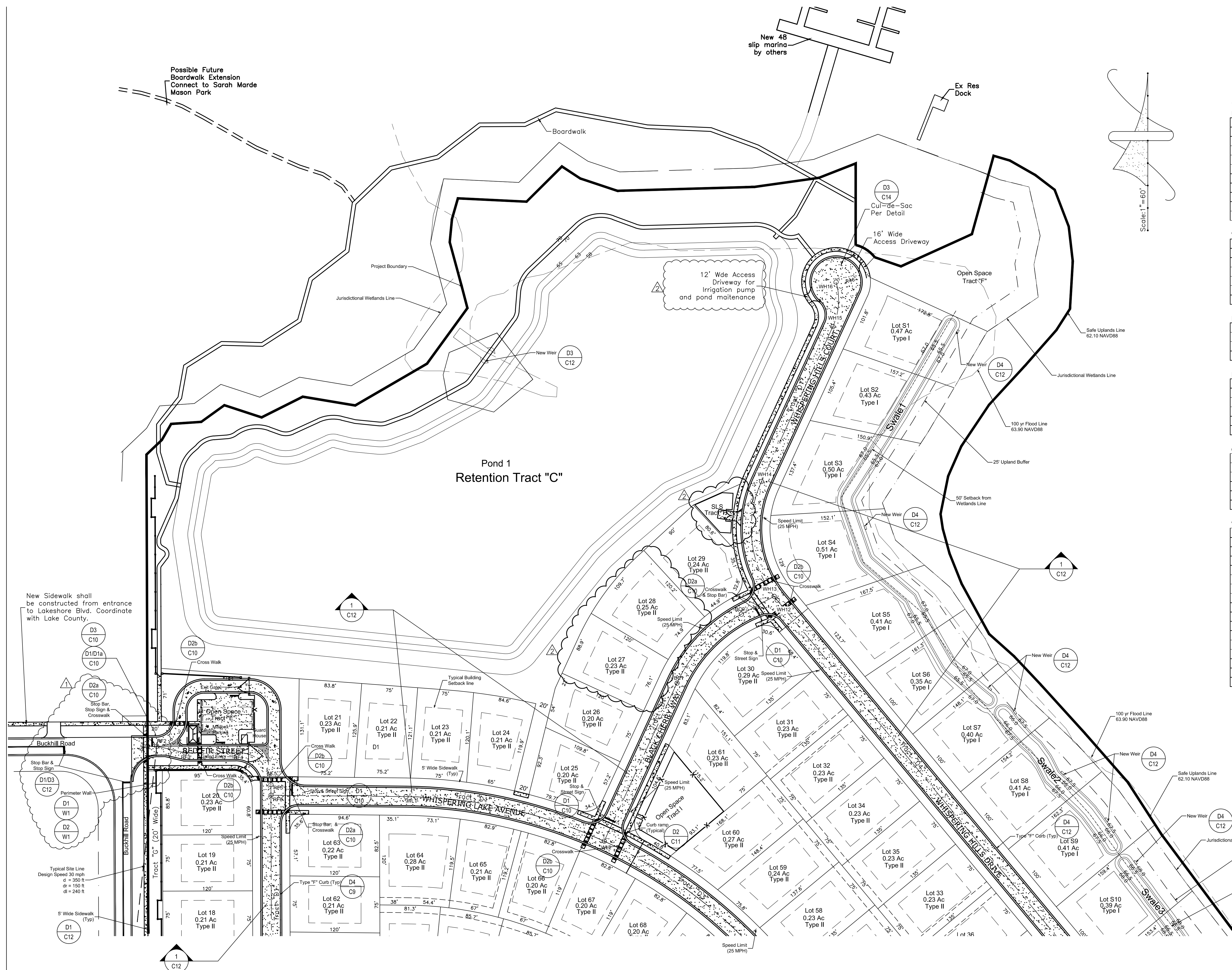
DP	Drawn
DP	Checked
1"=130'	Scale
09-07-21	Date
WH2-C3	File
Dwg. No.	

**C3**  
 5 of 83



Darcy Unroe PE 60929





**Centerline of Road Distances, Bearings & Radii**

**RED FIR STREET**

From	To	Distance	Bearing	Radius
RF1	RF2	12.56	N 89°46'46" E	
RF2	RF3	38.57	N 76°43'37" W	
RF3	RF4	71.89	S 89°46'40" W	
RF4	RF5	60.81	S 45°13'20" E	43.00
RF5	RF6	14.12	S 0°13'20" E	
RF6	RF7	290.03	S 0°13'20" E	
RF7	RF8	209.03	S 0°13'20" E	
RF8	RF9	327.03	S 0°13'20" E	
RF9	RF10	331.12	S 0°13'20" E	
RF10	RF11	114.66	S 89°53'30" E	

**WHISPERING LAKE AVENUE**

From	To	Distance	Bearing	Radius
RF6	WL1	180.50	S 89°23'48" E	
WL1	WL2	271.53	S 77°20'29" E	650.00
WL2	WL3	287.62	S 52°30'14" E	650.00
WL3	WL4	445.31	N 39°43'13" W	
WL4	WL5	172.34	S 19°33'30" E	250.00
WL5	WL6	176.34	S 0°36'14" W	

**BLACK CHERRY WAY**

From	To	Distance	Bearing	Radius
WL2	BC1	232.67	N 24°42'58" E	
BC1	BC2	125.99	N 43°4'28" E	200.00
BC2	WH13	49.83	N 61°25'59" E	

**PINES PASSAGE ROAD**

From	To	Distance	Bearing	Radius
RF7	PP1	180.94	S 89°23'48" E	
PP1	PP2	294.04	S 64°33'31" E	350.00
PP2	PP3	407.72	S 39°43'13" E	
PP3	PP4	51.70	S 19°33'30" E	75.00
PP4	WH6	134.11	S 0°36'14" W	

**OSPREY WING WAY**

From	To	Distance	Bearing	Radius
RF8	OW1	169.82	S 89°23'48" E	
OW1	OW2	63.01	S 64°33'31" E	75.00
OW2	OW3	290.82	S 39°43'13" E	
OW3	OW4	49.70	S 20°22'17" E	75.00
OW4	WH3	56.46	S 1°12'1" E	

**WHISPERING LAKE DRIVE**

From	To	Distance	Bearing	Radius
RF9	WH1	39.42	N 89°23'46" W	
WH1	WH2	78.65	S 84°53'6" E	500.00
WH2	WH3	312.56	S 86°7'24" E	1550.00
WH3	WH4	175.00	N 84°45'6" E	1550.00
WH4	WH5	78.65	N 86°5'34" E	500.00
WH5	WH6	38.18	N 89°23'46" W	
WH6	WH7	290.00	N 89°23'46" W	
WH7	WH8	224.00	N 89°23'46" W	
WH8	WH9	141.42	N 45°36'14" E	100.00
WH9	WH10	69.79	S 0°36'14" W	
WH10	WH11	396.38	N 19°33'30" W	575.00
WH11	WH12	830.21	S 39°43'13" E	
WH12	WH13	6.50	N 38°28'44" W	150.00
WH13	WH14	154.41	N 6°15'39" W	150.00
WH14	WH15	228.09	S 24°42'58" W	
WH15	WH16	59.57	N 4°43'1" E	

**Sidewalk Note:**  
All sidewalks & curb ramps depicted on this plan shall be constructed at the time of the subdivision construction.

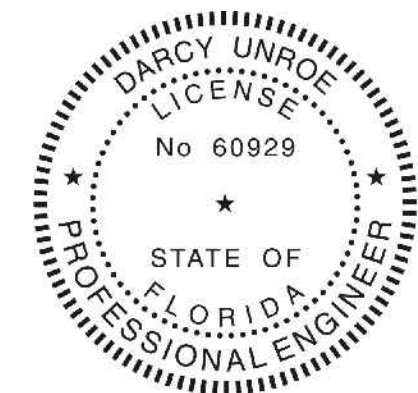
Revisions	Date	Description

**Unroe Engineering, Inc**  
 Civil Engineering/Planning/Scientific Evaluation  
 PO Box 690942, Orlando, FL 32869-0942  
 Business Authorization Number: EB 0006579    ph (407) 299-0650

**Subdivision Layout Plan - North**  
**WHISPERING HEIGHTS Subdivision**  
 Buckhill Road, Howey-in-the-Hills, Florida

DP	Drawn
DP	Checked
1"=60'	Scale
09-07-21	Date
WH2-C4	File
Dwg. No.	

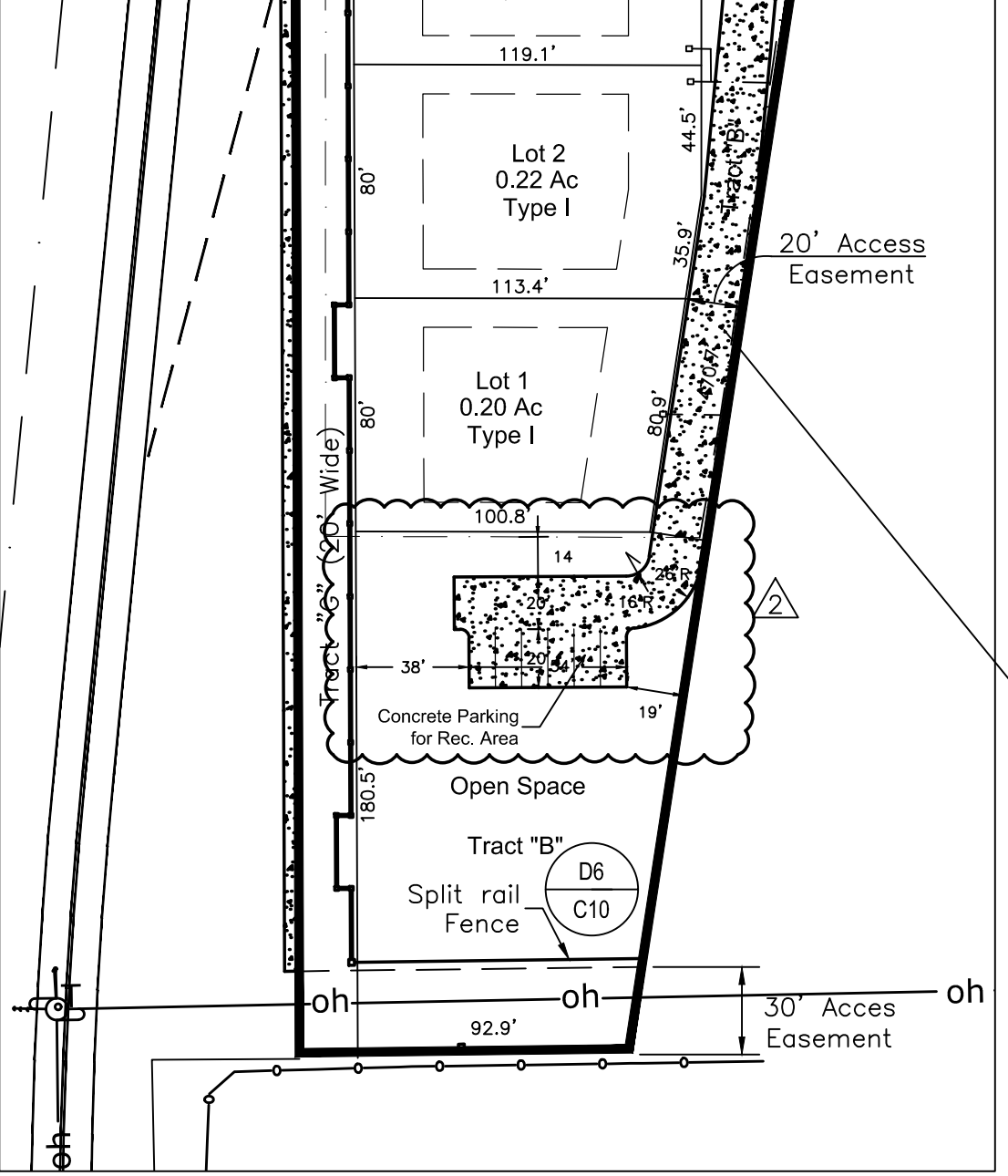
**C4**  
6 of 83







**Sidewalk Note:**  
All sidewalks & curb ramps depicted on this plan shall be constructed at the time of the subdivision construction.



**Centerline of Road Distances, Bearings & Radii**

**RED FIR STREET**

From	To	Distance	Bearing	Radius
RF1	RF2	12.56	N 89d46'46" E	
RF2	RF3	38.57	N 76d43'37" W	
RF3	RF4	71.89	S 89d46'40" W	
RF4	RF5	60.81	S 45d13'20" E	43.00
RF5	RF6	14.12	S 0d13'20" E	
RF6	RF7	290.03	S 0d13'20" E	
RF7	RF8	209.03	S 0d13'20" E	
RF8	RF9	327.03	S 0d13'20" E	
RF9	RF10	331.12	S 0d13'20" E	
RF11	RF12	114.66	S 89d53'30" E	

**PINES PASSAGE ROAD**

From	To	Distance	Bearing	Radius
PF1	PF2	180.94	S 89d23'48" E	
PF2	PF3	294.04	S 64d33'31" E	350.00
PF3	PF4	407.72	S 39d43'13" E	
PF4	PF5	51.70	S 19d33'30" E	75.00
PF6	PF7	134.11	S 0d36'14" W	

**OSPREY WING WAY**

From	To	Distance	Bearing	Radius
OW1	OW2	169.82	S 89d23'48" E	
OW2	OW3	63.01	S 64d33'31" E	75.00
OW3	OW4	290.82	S 39d43'13" E	
OW4	OW5	49.70	S 20d22'17" E	75.00
OW6	OW7	56.46	S 1c12'21" E	

**WHISPERING LAKE AVENUE**

From	To	Distance	Bearing	Radius
WL1	WL2	180.50	S 89d23'48" E	
WL2	WL3	271.53	S 77d20'29" E	650.00
WL3	WL4	287.62	S 52d30'14" E	650.00
WL4	WL5	445.31	N 39d43'13" W	
WL6	WL7	172.34	S 19d33'30" E	250.00
WL8	WL9	176.34	S 0d36'14" W	

**WHISPERING HILLS DRIVE**

From	To	Distance	Bearing	Radius
WH1	WH2	39.42	N 89d23'46" W	
WH2	WH3	78.65	S 84d53'6" E	500.00
WH3	WH4	312.56	S 86d7'24" E	1550.00
WH4	WH5	175.00	N 84d45'6" E	1550.00
WH5	WH6	78.65	N 86d53'4" E	500.00
WH6	WH7	38.18	N 89d23'46" W	
WH7	WH8	290.00	N 89d23'46" W	
WH8	WH9	224.00	N 89d23'46" W	
WH9	WH10	141.42	N 45d36'14" E	100.00
WH10	WH11	69.79	S 0d36'14" W	
WH11	WH12	396.38	N 19d33'30" W	575.00
WH12	WH13	830.21	S 39d43'13" E	
WH13	WH14	6.50	N 38d28'44" W	150.00
WH14	WH15	154.41	N 6d15'39" W	150.00
WH15	WH16	228.09	S 24d42'58" W	
WH16	WH17	59.57	N 4d43'1" E	

**BLACK CHERRY WAY**

From	To	Distance	Bearing	Radius
BC1	BC2	232.67	N 24d42'58" E	
BC2	BC3	125.99	N 43d42'28" E	200.00
BC3	BC4	49.83	N 61d25'59" E	



Item #	Date	Description

**Unroe Engineering, Inc**  
Civil Engineering/Planning/Scientific Evaluation  
PO Box 690942, Orlando, FL 32869-0942  
Business Authorization Number: EB 0006579    ph (407) 299-0650

**Subdivision Layout Plan - South**  
**WHISPERING HEIGHTS Subdivision**  
Buckhill Road, Howey-in-the-Hills, Florida

DP	Drawn
DP	Checked
1"=60'	Scale
09-07-21	Date
WH2-C5	File

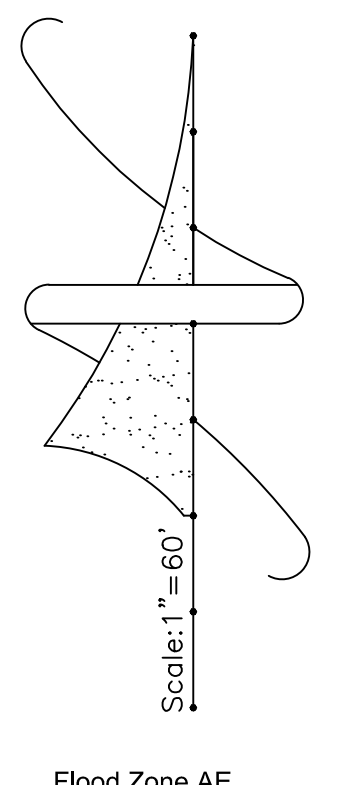
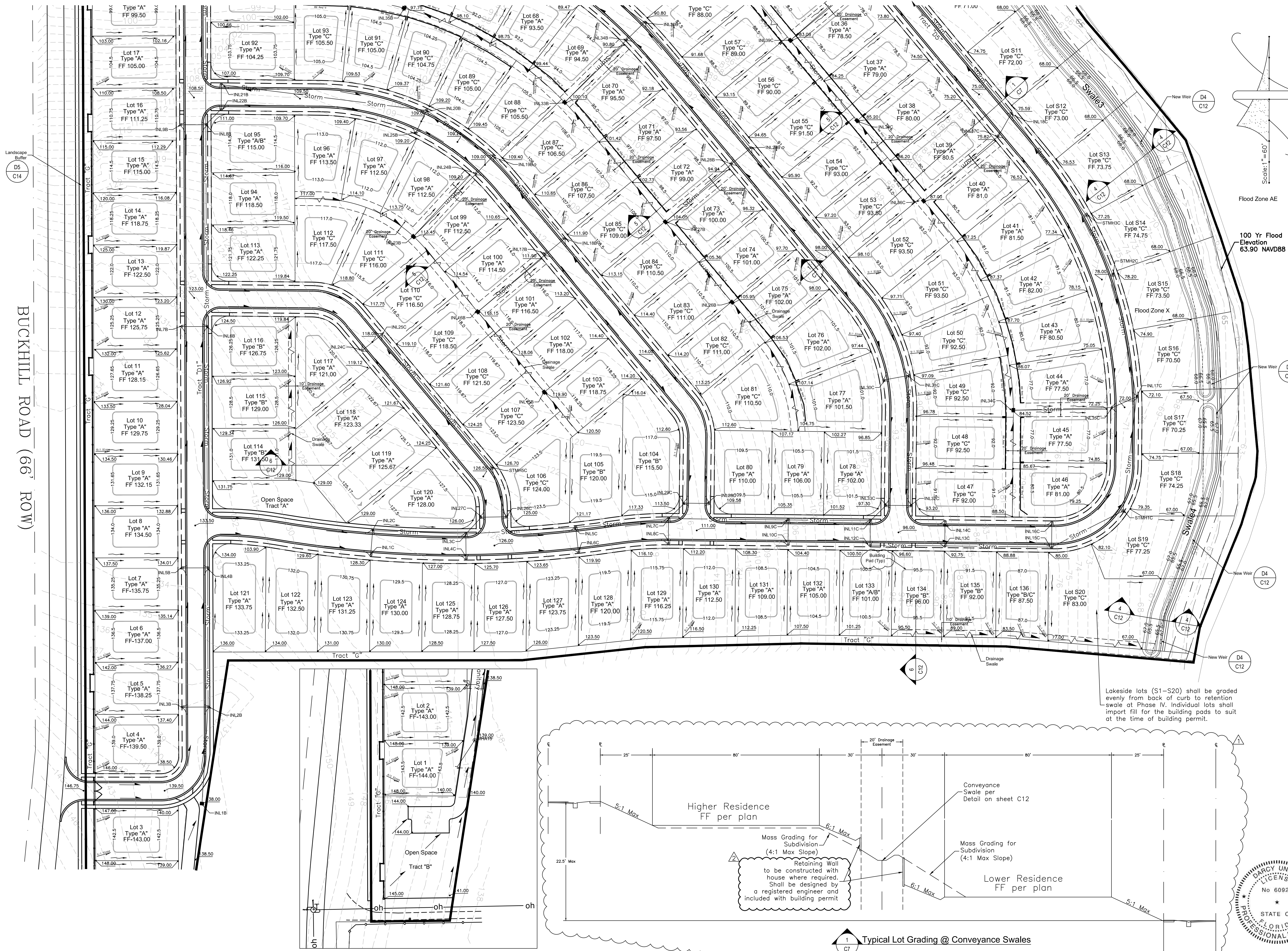
Dwg. No. **C5**  
7 of 83





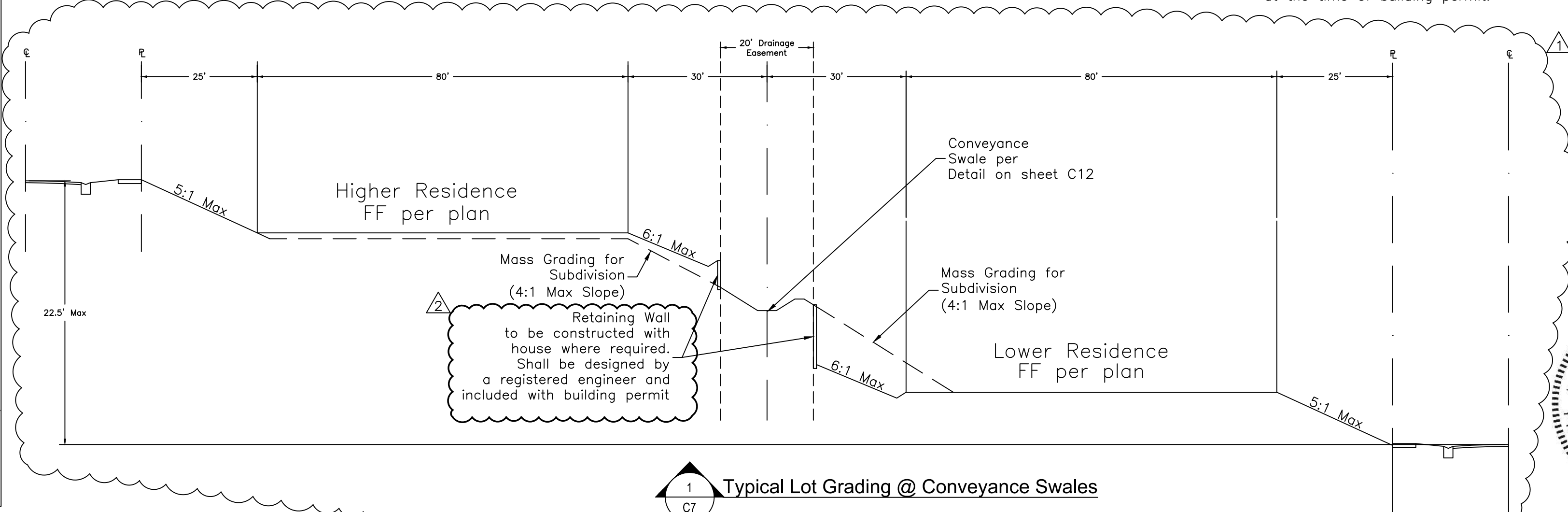


BUCKHILL ROAD (66' ROW)



Flood Zone AE  
100 Yr Flood Elevation: 63.90 NAVD88

Lakeside lots (S1-S20) shall be graded evenly from back of curb to retention swale at Phase IV. Individual lots shall import fill for the building pads to suit at the time of building permit.



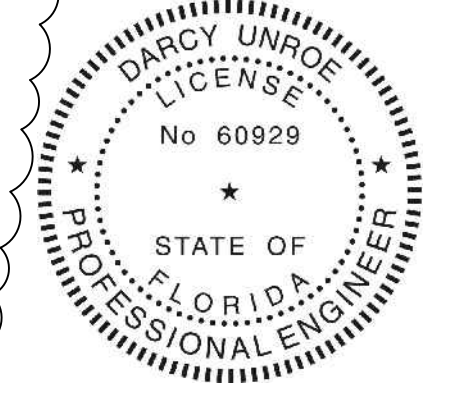
1 Typical Lot Grading @ Conveyance Swales

Item #	Date	Description
1	12/9/22	Town Comm
2	9/19/22	Town Comm

**Unroe Engineering, Inc**  
 Civil Engineering/Planning/Scientific Evaluation  
 PO Box 690942, Orlando, FL 32869-0942  
 Business Authorization Number: EB 0006579 ph (407) 299-0650

**Subdivision Grading Plan - South**  
**WHISPERING HEIGHTS Subdivision**  
 Buckhill Road, Howey-in-the-Hills, Florida

DP	Drawn
DP	Checked
1"=60'	Scale
09-07-21	Date
WH2-C7	File
Dwg. No.	



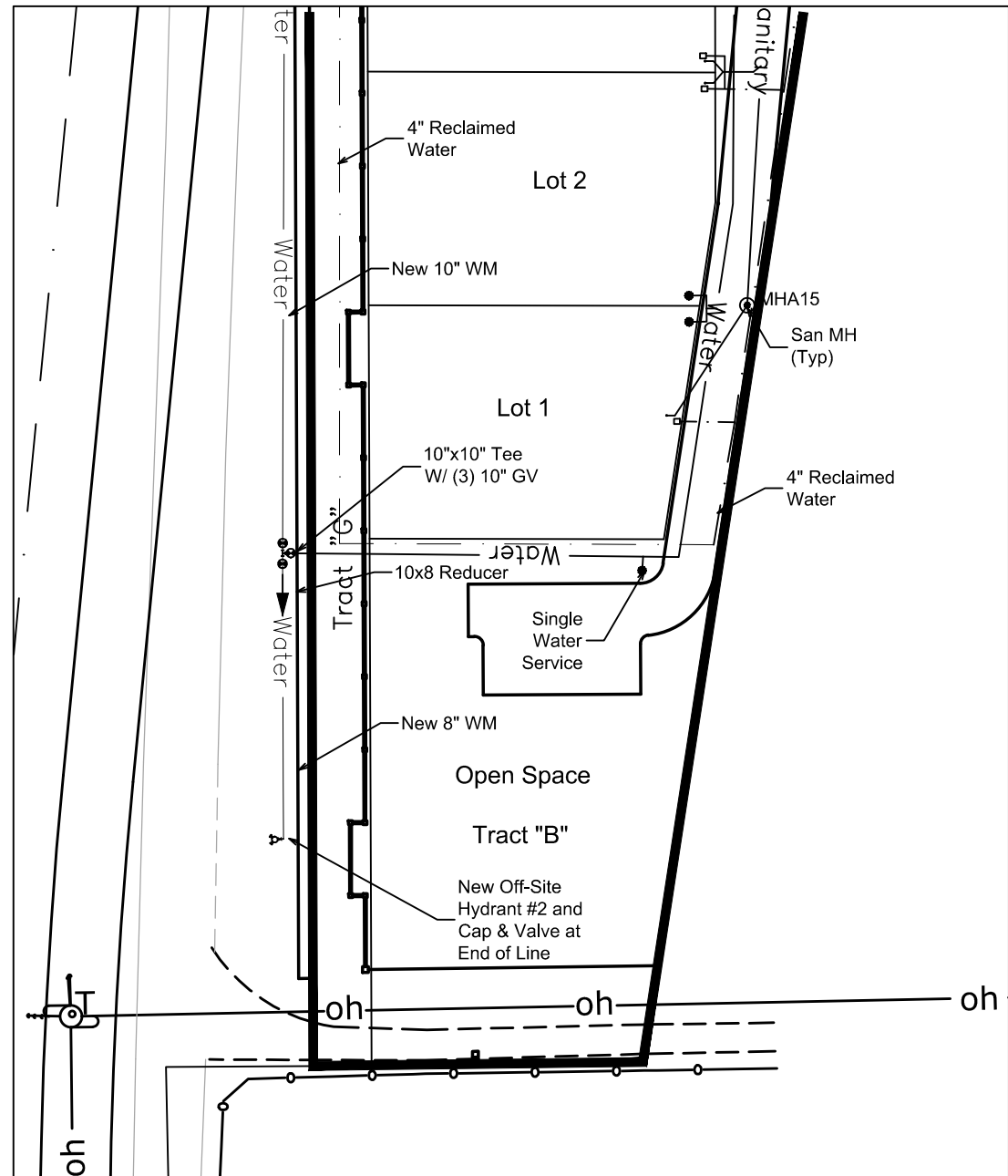
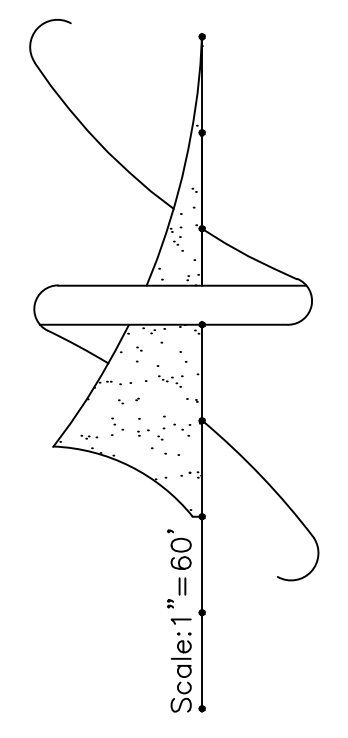
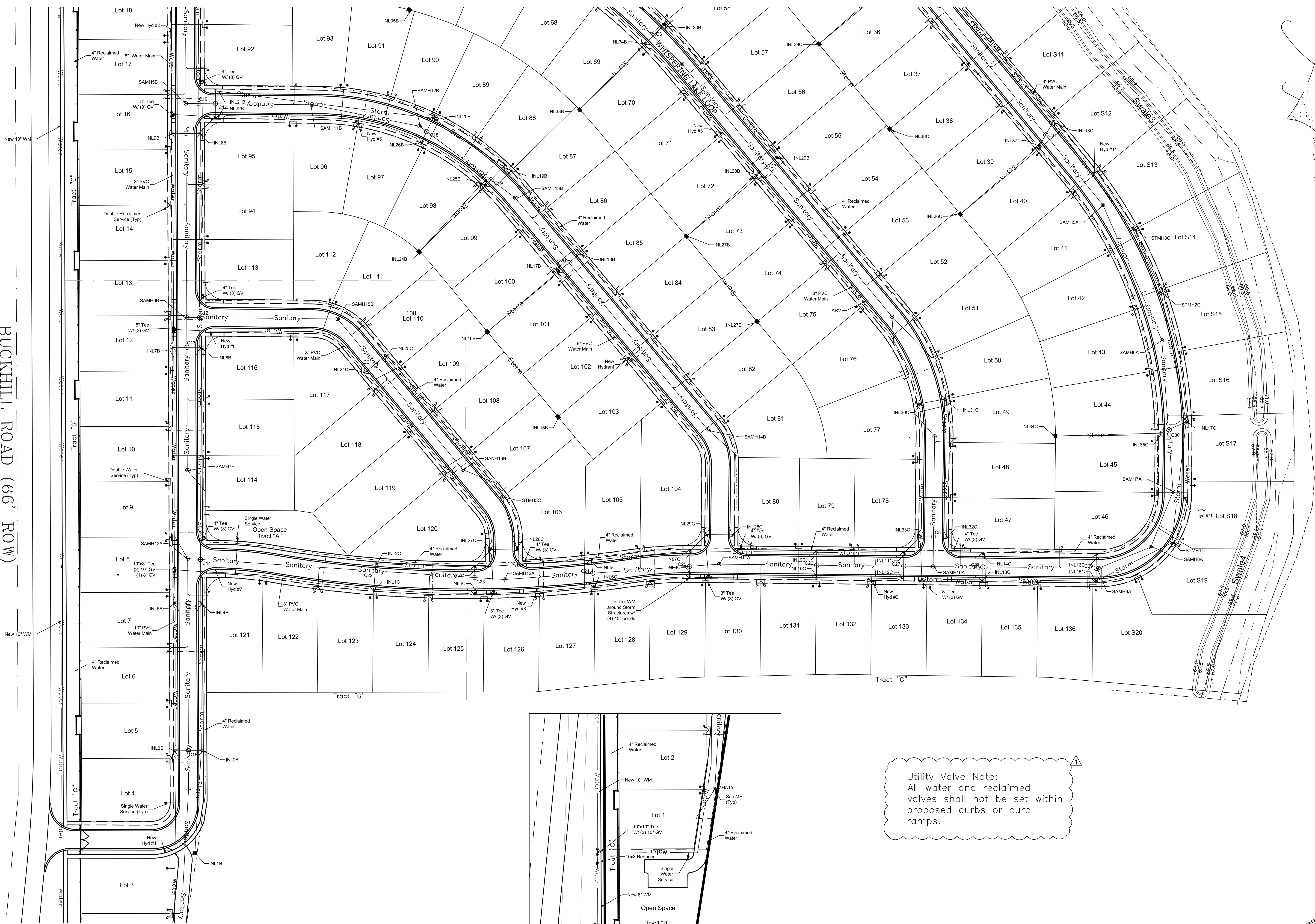
**C7**  
 9 of 83







BUCKHILL ROAD (66' ROW)



Utility Valve Note:  
All water and reclaimed valves shall not be set within proposed curbs or curb ramps.

Revisions	#	Date	Description
	1	9/19/22	Town Comm

**Unroe Engineering, Inc**  
 Civil Engineering/Planning/Scientific Evaluation  
 PO Box 690942, Orlando, FL 32869-0942  
 Business Authorization Number - EB 00066579 ph (407) 299-0650

**Subdivision Utility Plan - South**  
**WHISPERING HEIGHTS Subdivision**  
 Buckhill Road, Howey-in-the-Hills, Florida

DP	Drawn
DP	Checked
1"=60'	Scale
09-07-21	Date
WH2-C9	File
Dwg. No.	





Storm Sewer Table #1

Piping Label	Top	Inv	Drop Inv	Description
<b>Piping System A</b>				
NL1A	81.50	73.44		FDOT Type 2
MES1A	---	70.00		Mitered End Section
<b>Piping System B</b>				
NL1B	138.00	132.19		FDOT Type C
NL2B	137.30	129.41		FDOT Type 1
NL3B	137.30	129.76		FDOT Type 1
NL4B	134.15	125.41		FDOT Type 1
NL5B	134.15	125.76		FDOT Type 1
NL6B	124.25	115.00		FDOT Type 1
NL7B	124.25	115.35		FDOT Type 1
NL8B	110.80	97.60		FDOT Type 1
NL9B	110.80	97.95		FDOT Type 1
NL10B	94.75	86.85		FDOT Type 1
NL11B	94.75	87.00		FDOT Type 1
NL12B	86.75	79.27		FDOT Type 1
NL13B	86.75	79.62		FDOT Type 1
NL14B	85.75	68.12		FDOT Type 2
NL15B	119.90	110.74		FDOT Type C
NL16B	116.15	107.74		FDOT Type C
NL17B	111.65	105.20		FDOT Type 1
NL18B	111.65	104.85		FDOT Type 1
NL19B	108.75	102.50		FDOT Type 2
NL20B	108.75	101.63		FDOT Type 2
NL21B	108.50	98.85		FDOT Type 2
NL22B	108.50	98.30		FDOT Type 2
NL23B	113.45	106.46		FDOT Type C
NL24B	108.75	102.62		FDOT Type 2
NL25B	108.75	101.98		FDOT Type 2
NL26B	105.95	99.88		FDOT Type C
NL27B	104.05	95.38		FDOT Type 1
NL28B	94.80	85.68		FDOT Type 1
NL29B	94.80	81.88		FDOT Type 1
NL30B	90.55	77.14		FDOT Type 1
NL31B	87.37	73.10		FDOT Type 1
NL32B	87.40	73.45		FDOT Type 1
NL33B	100.10	87.65		FDOT Type C
NL34B	90.55	77.49		FDOT Type 1
NL35B	97.75	91.68		FDOT Type C
NL36B	85.80	68.82		FDOT Type 2
STMH1B	89.00	82.55		FDOT Type J Manhole
STMH2B	77.00	60.25		FDOT Type J Manhole
MES1B	---	56.00		Mitered End Section
<b>Piping System C</b>				
NL1C	128.00	120.62		FDOT Type 1
NL2C	128.00	118.87		FDOT Type 1
NL3C	126.45	112.17		FDOT Type 1
NL4C	126.45	112.52		FDOT Type 1
NL5C	119.80	104.27		FDOT Type 1
NL6C	119.80	104.62		FDOT Type 1
NL7C	112.75	95.23		FDOT Type 1
NL8C	112.75	95.58		FDOT Type 1
NL9C	103.97	89.35		FDOT Type 1
NL10C	103.97	89.70		FDOT Type 1
NL11C	97.83	85.81		FDOT Type 1
NL12C	97.80	84.06		FDOT Type 1
NL13C	92.50	78.71		FDOT Type 1
NL14C	92.50	79.06		FDOT Type 1
NL15C	84.75	71.01	73.00	FDOT Type 1
NL16C	84.75	73.35		FDOT Type 1
NL17C	73.95	64.26		FDOT Type 2
NL18C	75.30	62.67		FDOT Type 1
NL19C	72.50	61.63		FDOT Type 2
NL20C	71.75	60.58		FDOT Type 1
NL21C	70.25	59.20		FDOT Type 2
NL22C	70.25	58.85		FDOT Type 2
NL23C	70.25	56.65		FDOT Type 2
NL24C	118.70	113.65		FDOT Type 2
NL25C	118.70	113.53		FDOT Type 2
NL26C	128.00	112.40		FDOT Type 1
NL27C	128.00	112.28		FDOT Type 1
NL28C	111.25	96.90		FDOT Type 1
NL29C	111.25	96.55		FDOT Type 1
NL30C	96.90	89.26		FDOT Type 1
NL31C	96.90	89.14		FDOT Type 1
NL32C	95.90	88.49		FDOT Type 1
NL33C	95.90	88.37		FDOT Type 1
NL34C	84.52	76.08		FDOT Type C
NL35C	74.17	64.64		FDOT Type 2
NL36C	87.00	80.25		FDOT Type C
NL37C	75.50	64.52		FDOT Type 1
NL38C	85.20	79.37		FDOT Type 1
NL39C	83.08	74.87		FDOT Type C
NL40C	72.75	63.43		FDOT Type C
NL41C	82.25	75.46		FDOT Type C
NL42C	80.00	70.96		FDOT Type C
NL43C	72.08	62.38		FDOT Type 1
NL44C	79.90	72.20		FDOT Type 1
NL45C	79.90	70.45		FDOT Type 1
NL46C	71.20	63.80		FDOT Type 1
NL47C	71.20	61.15		FDOT Type 1
NL48C	70.25	57.00		FDOT Type 2
NL49C	70.25	62.03		FDOT Type 2
NL50C	70.25	62.38		FDOT Type 2
STMH1C	79.43	67.56		FDOT Type J Manhole
STMH2C	78.10	63.63		FDOT Type J Manhole
STMH3C	77.15	63.30		FDOT Type J Manhole
STMH4C	71.00	57.76		FDOT Type J Manhole
STMH5C	126.60	112.66		FDOT Type J Manhole
STMH6C	76.00	65.35		FDOT Type J Manhole
MES1C	---	56.00		Mitered End Section

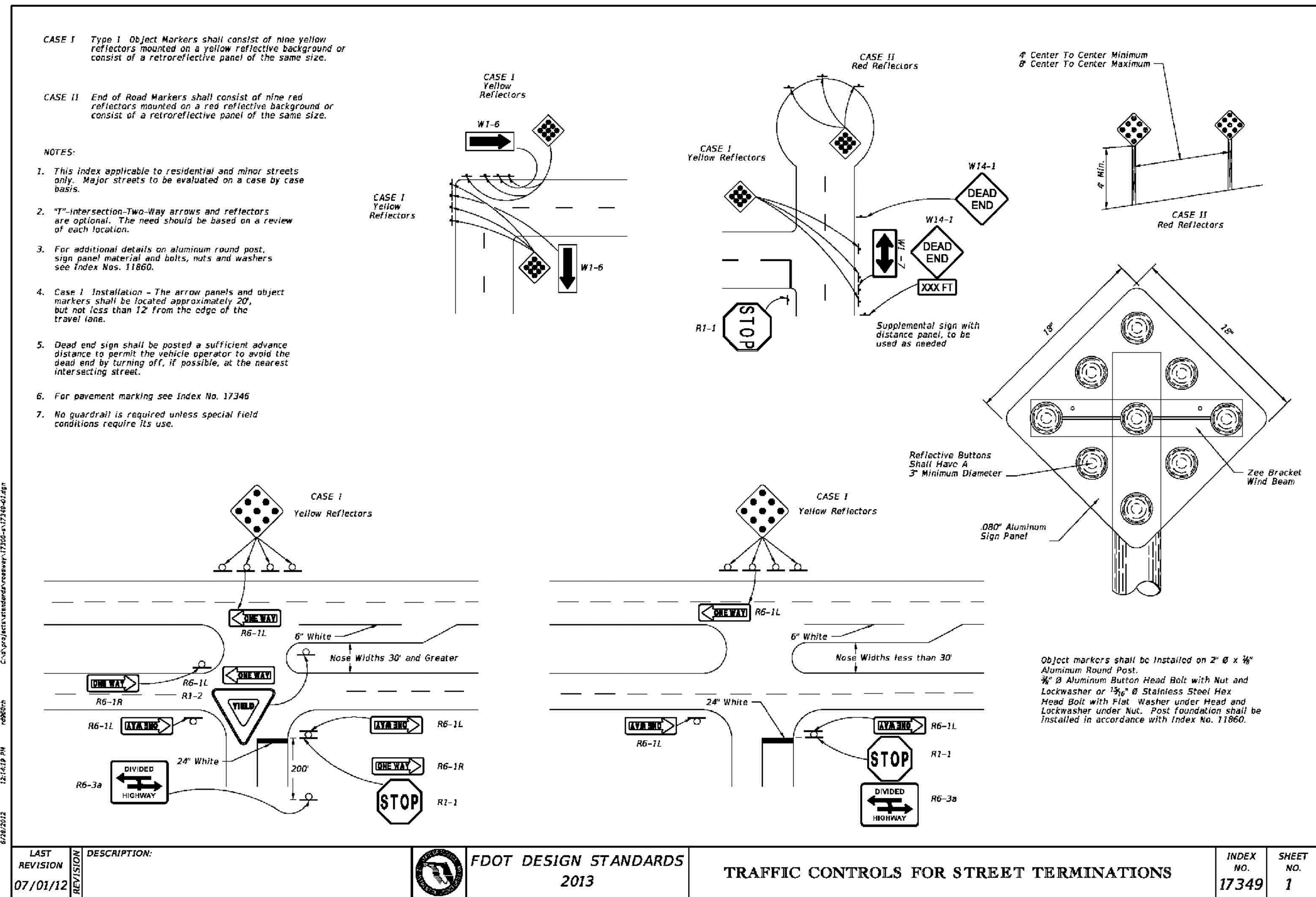
Storm Sewer Table #2

Upstream	Downstream	Size (in)	Length (ft)	Slope (%)	Pipe
NL1A	MES1A	18	43	8.00%	RCP
MES1A	NL1B	15	139	2.00%	RCP
NL1B	NL2B	18	200	2.00%	RCP
NL2B	NL4B	18	347	3.00%	RCP
NL4B	NL8B	24	290	6.00%	RCP
NL8B	NL10B	36	219	5.00%	RCP
NL10B	STMH1B	36	82	5.00%	RCP
STMH1B	NL12B	36	82	4.00%	RCP
NL12B	NL14B	36	223	5.00%	RCP
NL14B	STMH2B	48	143	5.00%	RCP
STMH2B	MES1B	48	85	5.00%	RCP
NL3B	NL2B	15	35	1.00%	RCP
NL5B	NL4B	15	35	1.00%	RCP
NL7B	NL6B	15	35	1.00%	RCP
NL9B	NL8B	15	35	1.00%	RCP
NL11B	NL10B	15	35	1.00%	RCP
NL13B	NL12B	15	35	1.00%	RCP
NL15B	NL16B	15	150	2.00%	RCP
NL16B	NL17B	15	127	2.00%	RCP
NL17B	NL18B	18	35	1.00%	RCP
NL18B	NL19B	18	157	1.50%	RCP
NL19B	NL20B	24	116	0.75%	RCP
NL20B	NL21B	24	298	1.00%	RCP
NL21B	NL22B	24	35	1.00%	RCP
NL22B	NLBB	24	35	2.00%	RCP
NL23B	NL24B	15	128	3.00%	RCP
NL24B	NL19B	18	35	0.35%	RCP
NL25B	NL20B	15	35	1.00%	RCP
NL26B	NL27B	15	150	3.00%	RCP
NL27B	NL28B	15	128	10.00%	RCP
NL28B	NL29B	18	35	2.00%	RCP
NL29B	NL30B	24	237	2.00%	RCP
NL30B	NL31B	24	202	2.00%	RCP
NL31B	NL14B	24	166	3.00%	RCP
NL32B	NL31B	15	35	1.00%	RCP
NL33B	NL34B	15	127	8.00%	RCP
NL34B	NL30B	15	35	1.00%	RCP
NL35B	NL36B	15	127	18.00%	RCP
NL36B	NL14B	15	35	2.00%	RCP
NL1C	NL2C	15	35	5.00%	RCP
NL2C	NL3C	15	134	5.00%	RCP
NL3C	NL5C	24	158	5.00%	RCP
NL5C	NL7C	24	134	6.00%	RCP
NL7C	NL9C	30	172	4.00%	RCP
NL9C	NL11C	30	118	3.00%	RCP
NL11C	NL12C	36	35	5.00%	RCP
NL12C	NL13C	36	107	5.00%	RCP
NL13C	NL15C	36	154	6.00%	RCP
NL15C	STMH1C	36	115	3.00%	RCP
STMH1C	NL17C	36	165	2.00%	RCP
NL17C	STMH2C	42	178	0.35%	RCP
STMH2C	STMH3C	42	94	0.35%	RCP
STMH3C	NL18C	42	182	0.35%	RCP
NL18C	NL19C	42	296	0.35%	RCP
NL19C	NL20C	48	300	0.35%	RCP
NL20C	NL21C	48	138	1.00%	RCP
NL21C	NL22C	48	35	1.00%	RCP
NL22C	STMH4C	54	109	1.00%	RCP
STMH4C	NL23C	54	111	1.00%	RCP
NL23C	MES1C	54	65	1.00%	RCP
NL4C	NL3C	15	35	1.00%	RCP
NL6C	NL5C	15	35	1.00%	RCP
NL8C	NL7C	15	35	1.00%	RCP
NL10C	NL9C	15	35	1.00%	RCP
NL14C	NL13C	15	35	1.00%	RCP
NL16C	NL15C	15	35	1.00%	RCP
NL34C	NL35C	15	143	8.00%	RCP
NL35C	NL17C	18	38	1.00%	RCP
NL24C	NL25C	15	35	0.35%	RCP
NL25C	STMH5C	15	249	0.35%	RCP
STMH5C	NL26C	15	73	0.35%	RCP
NL26C	NL27C	18	35	0.35%	RCP
NL27C	NL3C	18	33	0.35%	RCP
NL28C	NL29C	15	35	1.00%	RCP
NL29C	NL7C	15	32	1.00%	RCP
NL30C	NL31C	15	35	0.35%	RCP
NL31C	NL32C	15	187	0.35%	RCP
NL32C	NL33C	15	35	0.35%	RCP
NL33C	NL11C	18	32	8.00%	RCP
NL36C	NL37C	15	143	11.00%	RCP
NL37C	NL18C	15	37	5.00%	RCP
NL38C	NL39C	15	150	3.00%	RCP
NL39C	NL40C	15	143	8.00%	RCP
NL40C	NL19C	18	36	5.00%	RCP
NL41C	NL42C	15	150	3.00%	RCP
NL42C	NL43C	15	143	6.00%	RCP
NL43C	NL20C	15	36	5.00%	RCP
NL44C	NL45C	15	35	5.00%	RCP
NL45C	STMH6C	15	102	5.00%	RCP
STMH6C	NL46C	15	91	5.00%	RCP
NL46C	NL22C	15	39	5.00%	RCP
NL47C	NL46C	15	35	1.00%	RCP
NL48C	NL23C	15	35	1.00%	RCP
NL49C	NL23C	15	215	2.50%	RCP

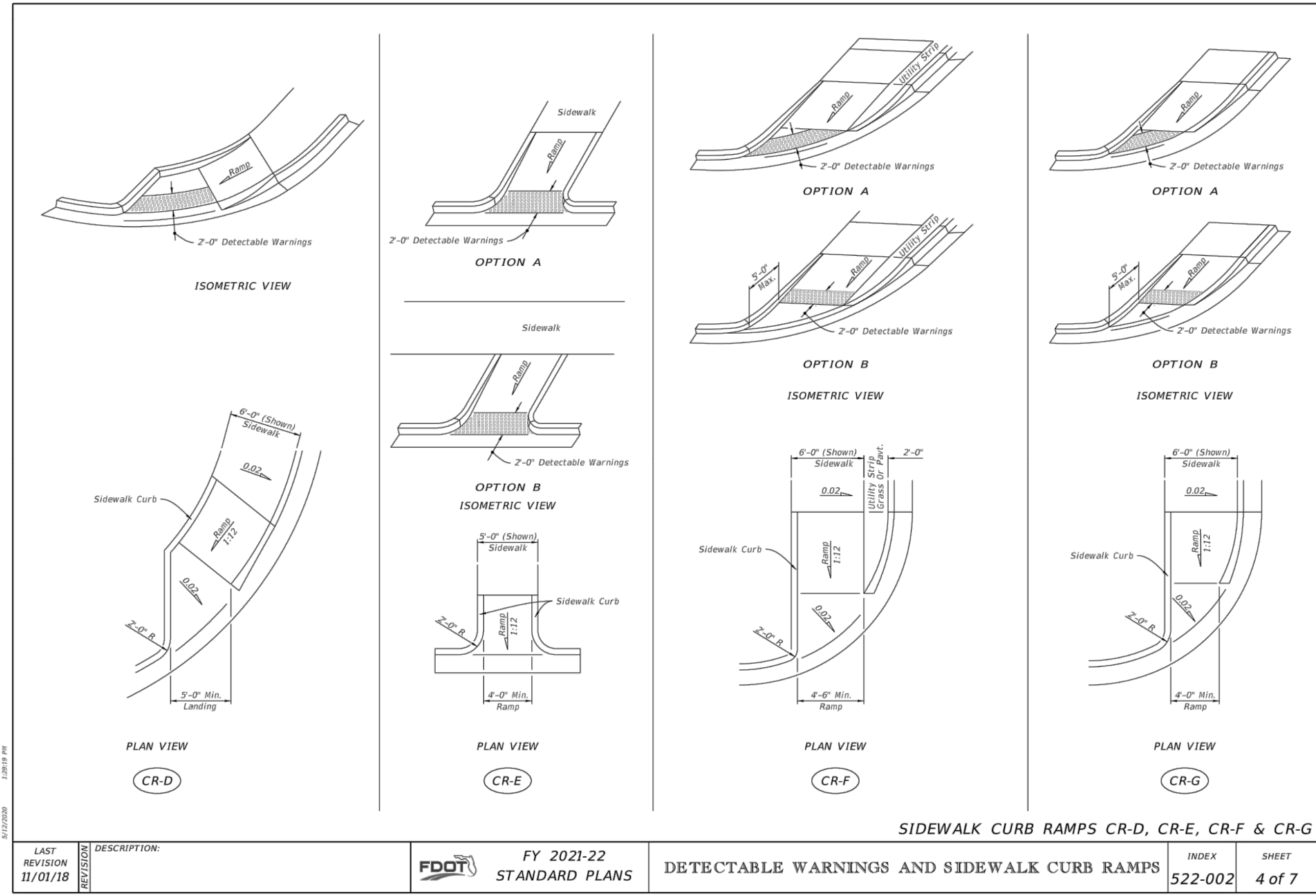
Sanitary Sewer Table #1

Description	Top	Inv In	Inv Out
MH1A	75.35	52.11	52.01
MH2A	70.75	52.27	52.17
MH3A	70.60	52.73	52.63
MH4A	73.00	54.73	54.63
MH5A	76.69	58.73	58.63
MH6A	76.00	60.73	60.63
MH7A	76.29	62.80	62.70
MH8A	79.60	66.85	66.75
MH9A	84.58	70.40	70.30
MH10A	96.00	77.12	77.02
MH11A	111.00	91.62	91.52
MH12A	125.69	101.84	101.74
MH13A	133.50	110.44	110.34
MH14A	138.10	126.09	125.99
MH15A	138.90	---	133.51
MH16A	70.65	---	58.20
MH17A	96.80	---	78.83
MH18	75.60	56.23	56.13
MH2B	87.11	69.28	69.18
MH3B	86.		

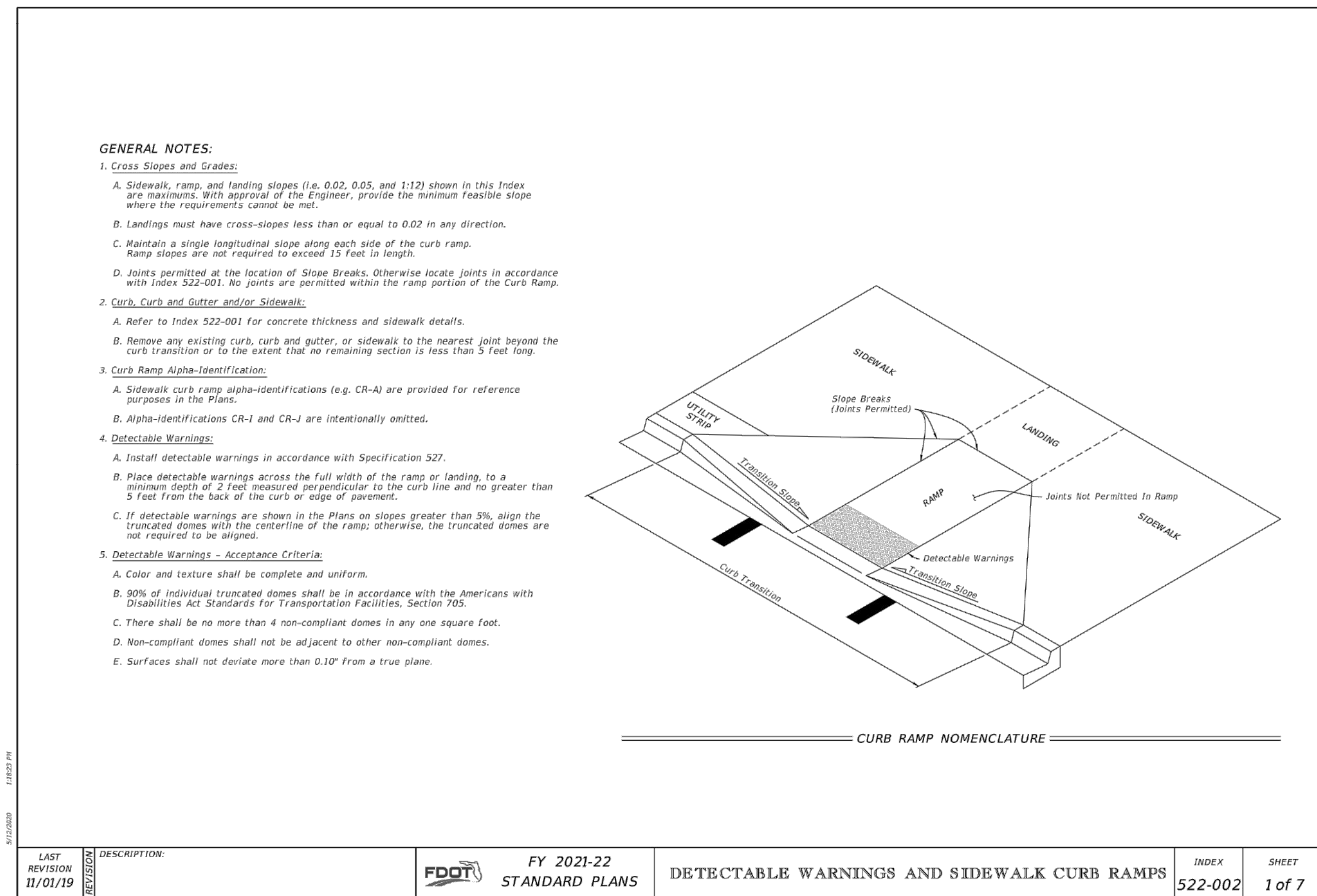




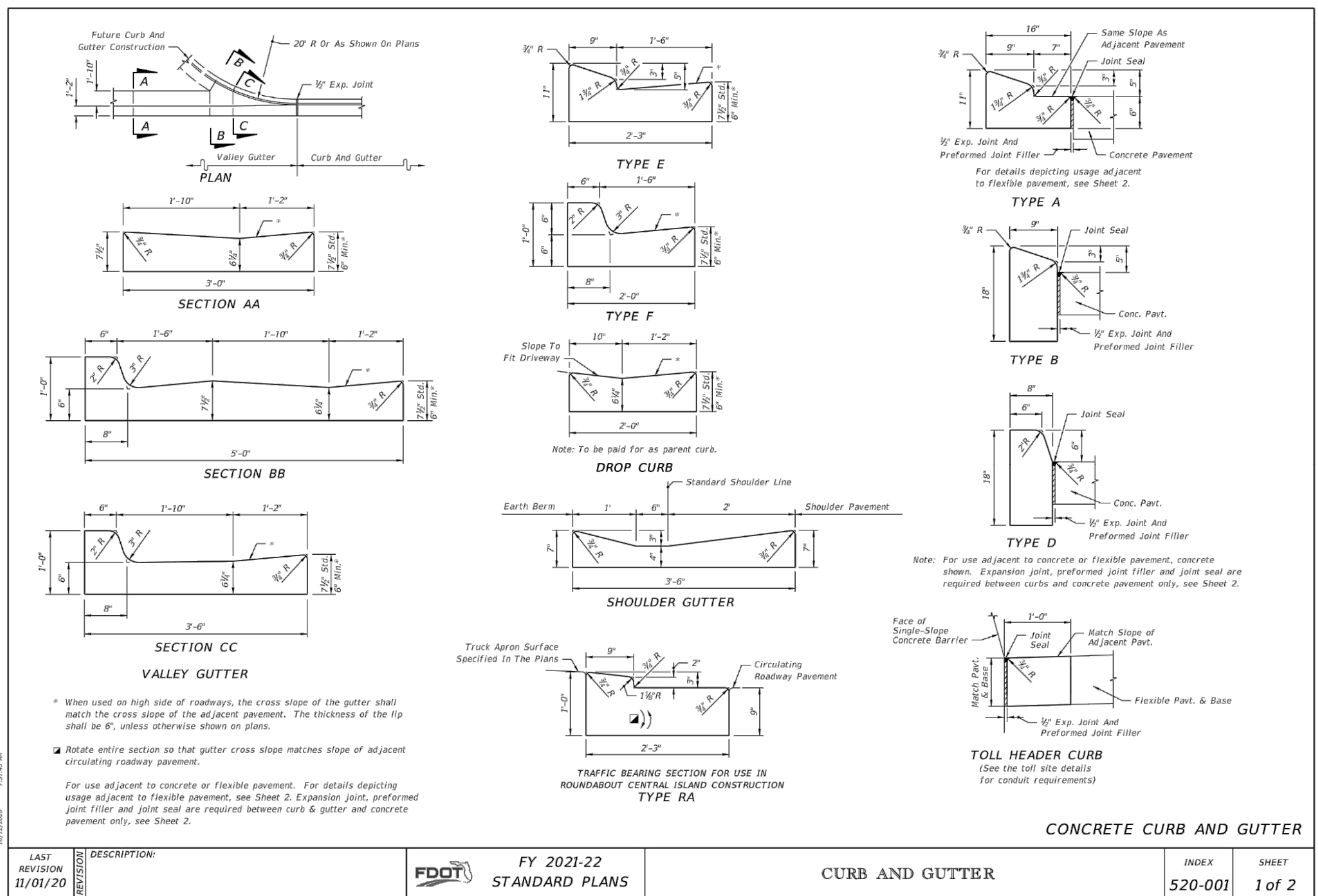
D1 Street Termination



D2 Typical Curb Ramps



D3 Detectable Warning Surface



D4 Typical Curbs Detail

Item #	Date	Description

**Unroe Engineering, Inc**

Civil Engineering/Planning/Scientific Evaluation

PO Box 690942, Orlando, FL 32869-0942

Business Authorization Number: EB 0006579 ph (407) 299-0650

**General Details Sheet 1**

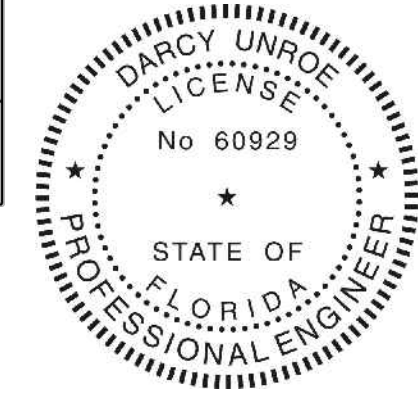
**WHISPERING HEIGHTS Subdivision**

Buckhill Road, Howey-in-the-Hills, Florida

DP	Drawn
DP	Checked
---	Scale
09-07-21	Date
WH2-C11	File

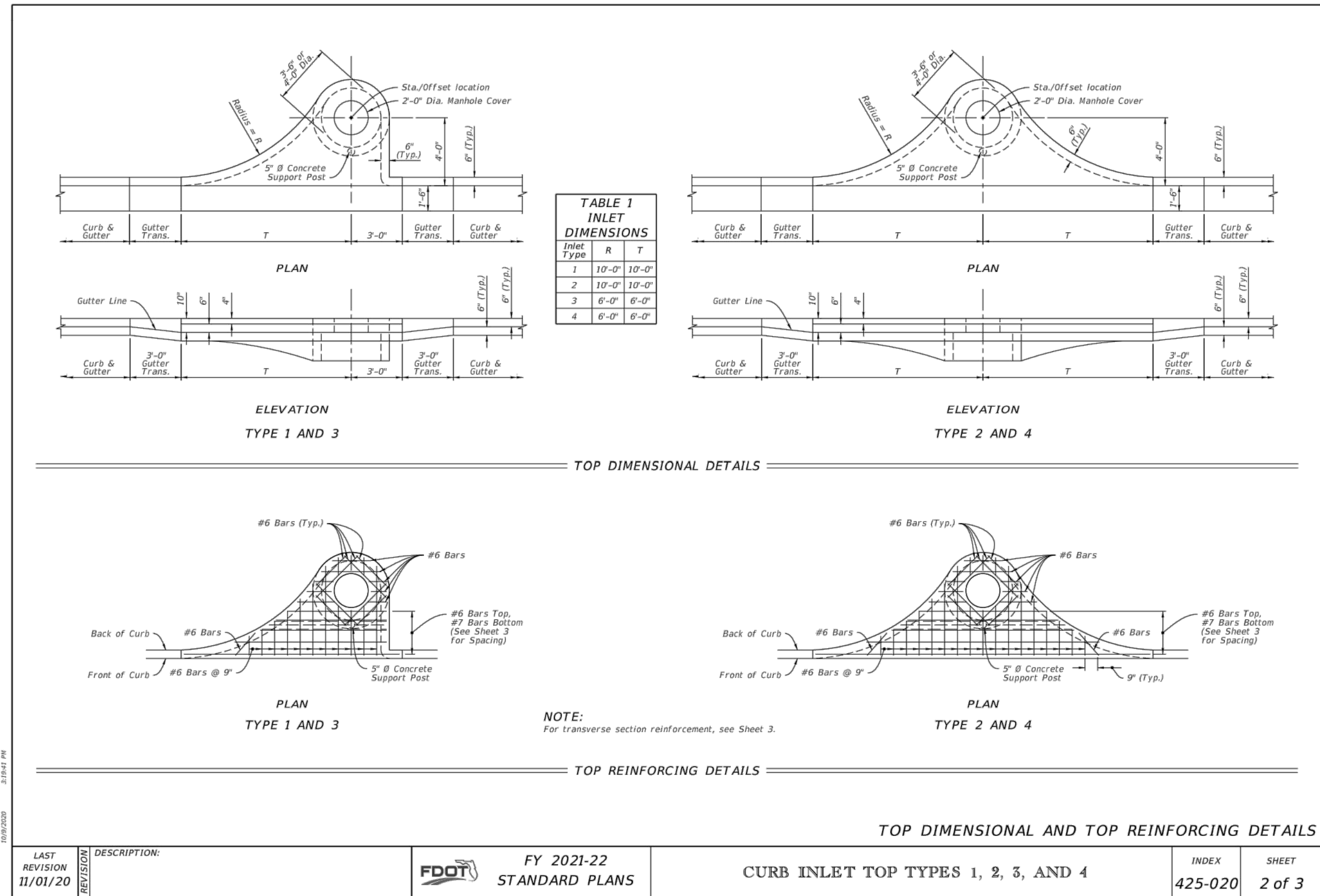
Dwg. No. **C11**

13 of 83

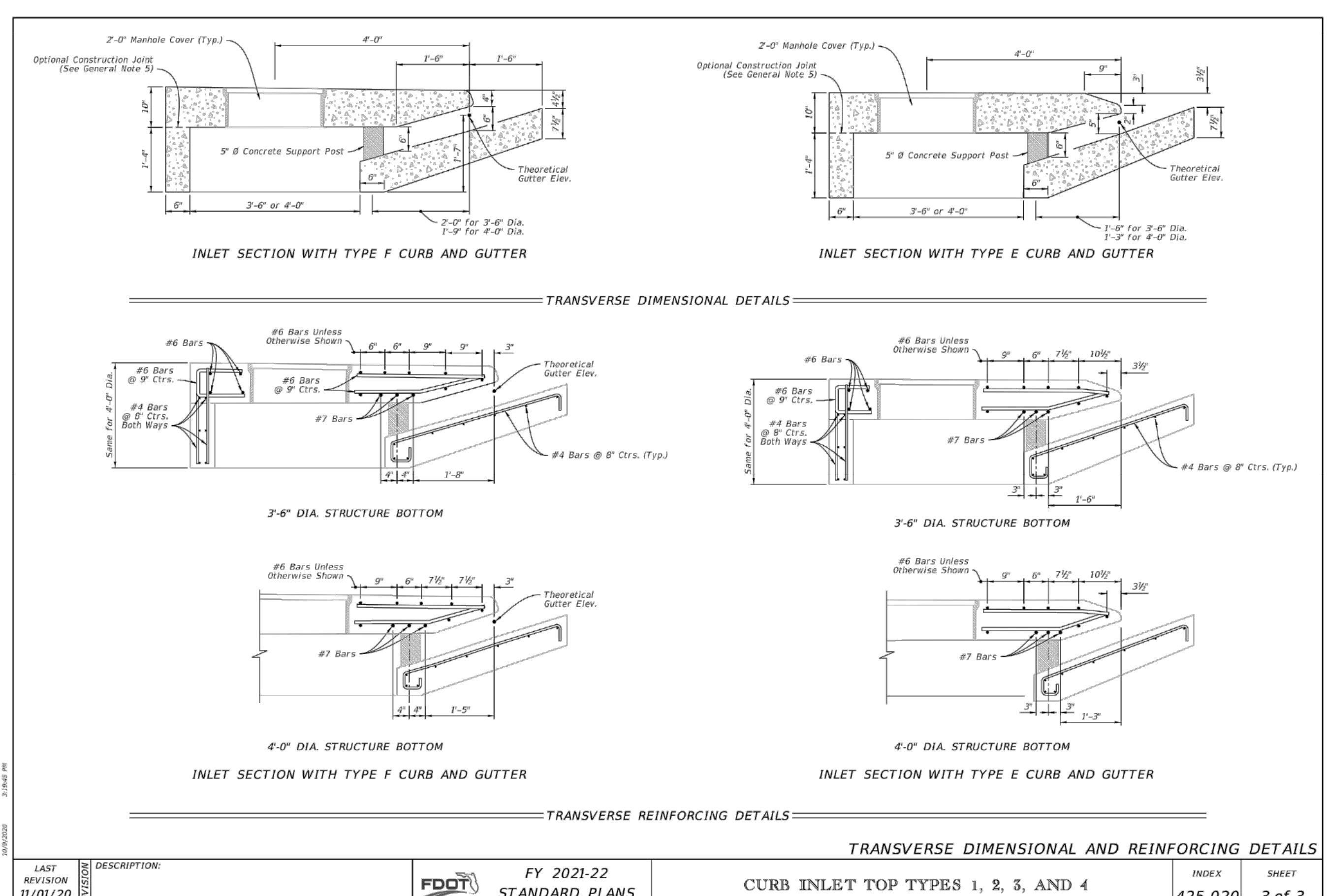




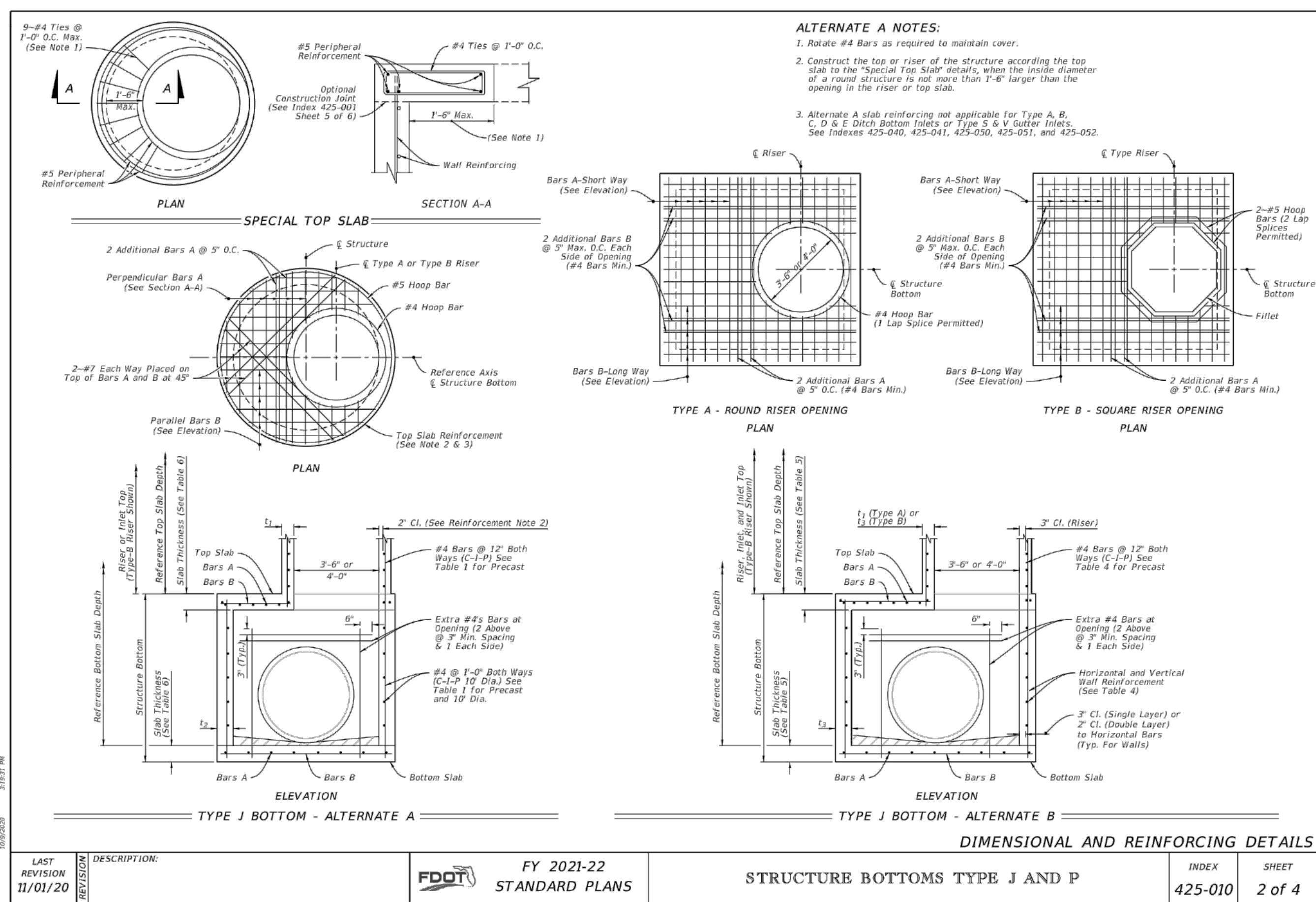




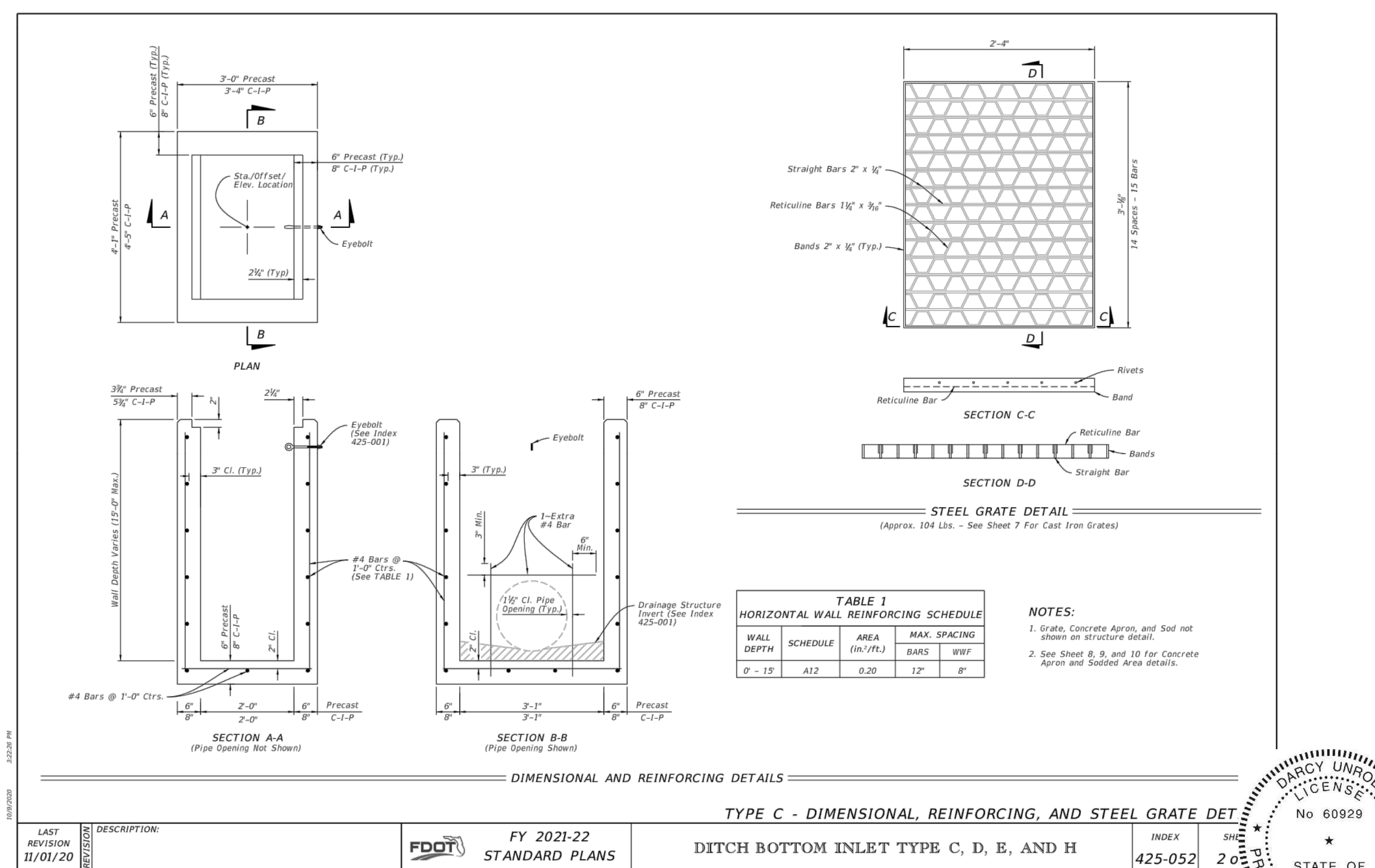
D1 C13 Curb Inlet Details



D2 C13 Curb Inlet Details



D3 C13 Storm Structure Bottom Details



D4 C13 Type "C" Ditch Bottom Inlet

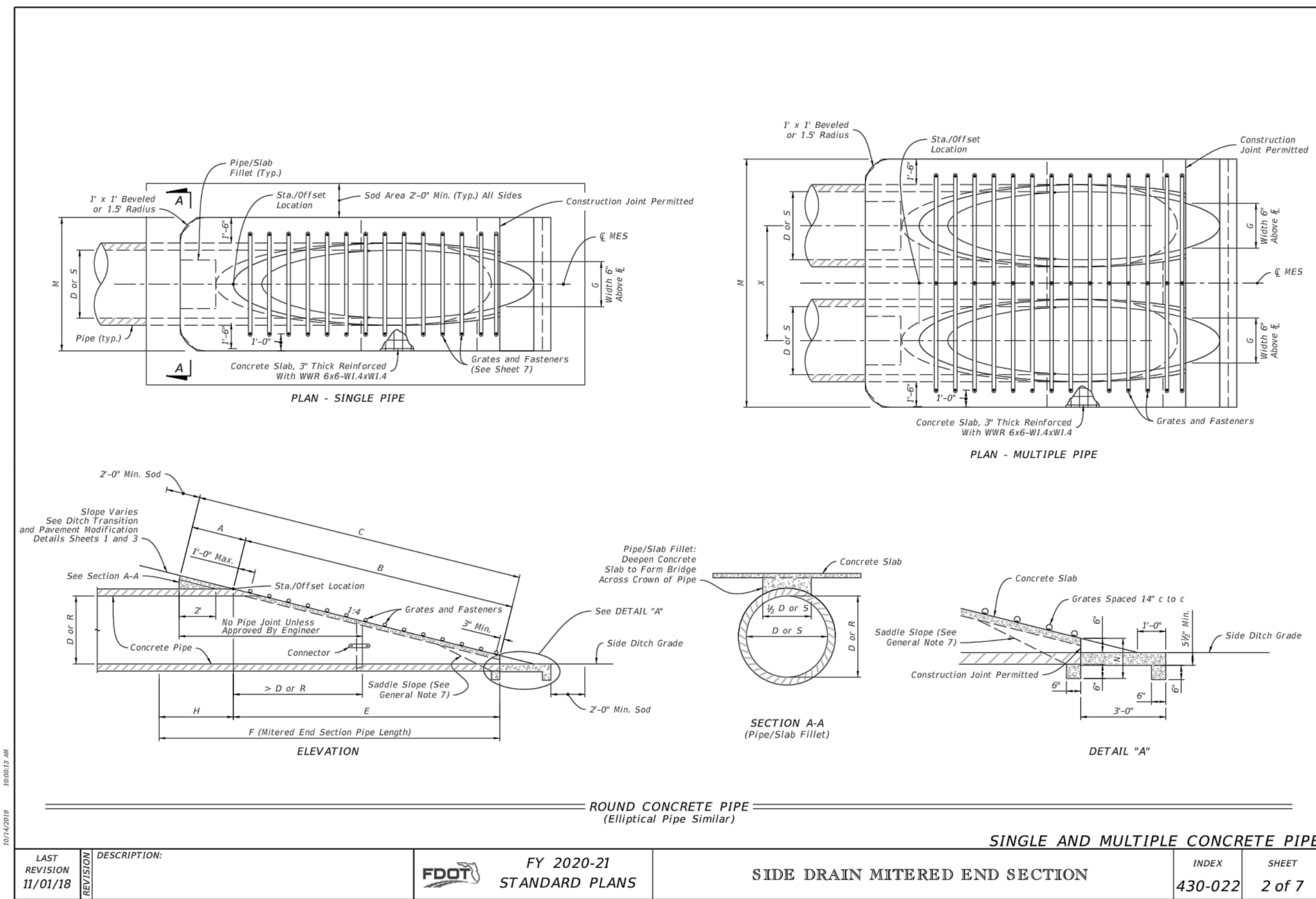
Item 3.	Description	Date	#

**Unroe Engineering, Inc**  
Civil Engineering/Planning/Scientific Evaluation  
PO Box 690942, Orlando, FL 32869-0942  
Business Authorization Number - EB 0006579 ph (407) 299-0650

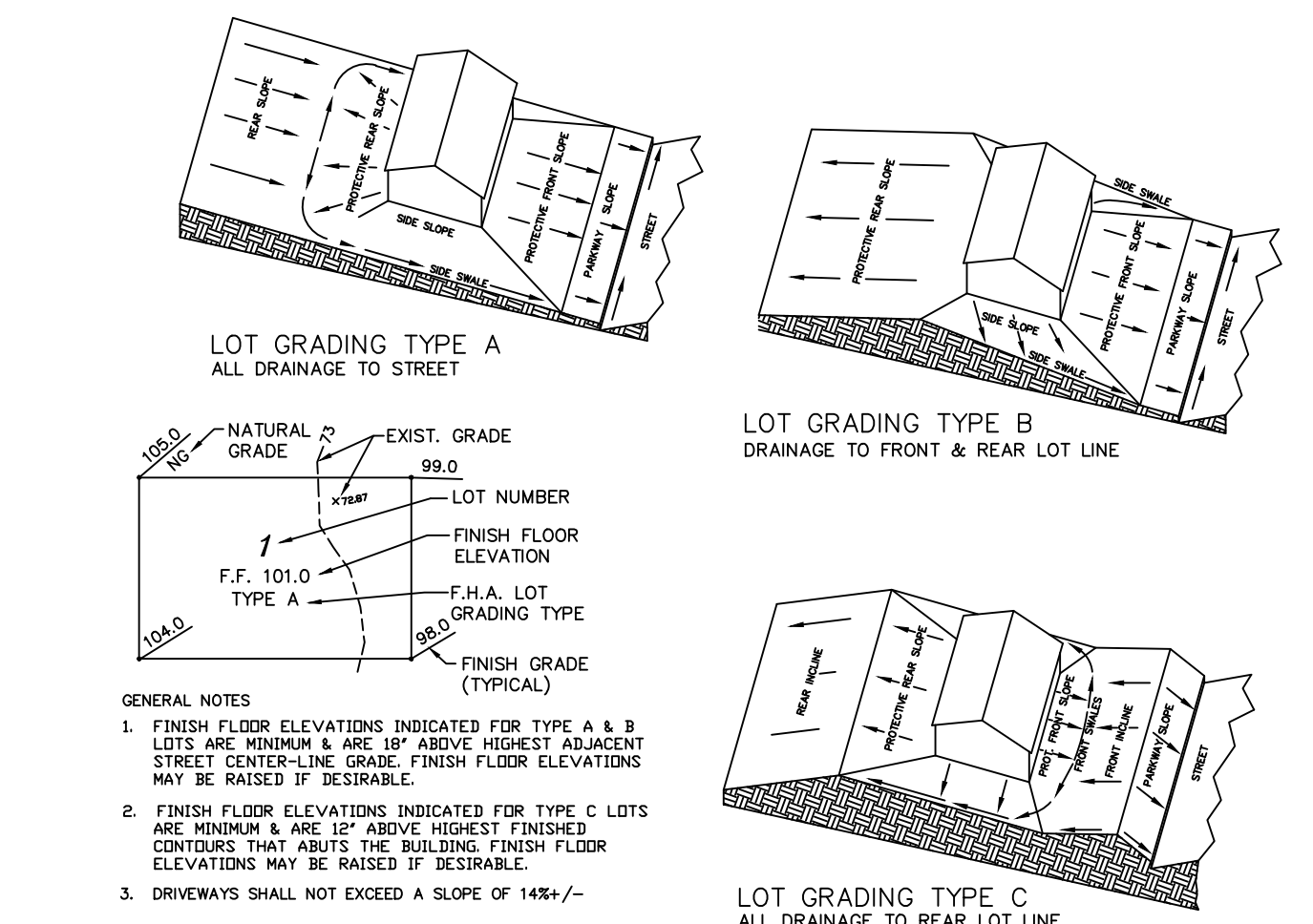
**General Details Sheet 3**  
WHISPERING HEIGHTS Subdivision  
Buckhill Road, Howey-in-the-Hills, Florida

DP	Drawn
DP	Checked
---	Scale
09-07-21	Date
WH2-C13	File
Dwg. No.	
<b>C13</b>	
15	of 83

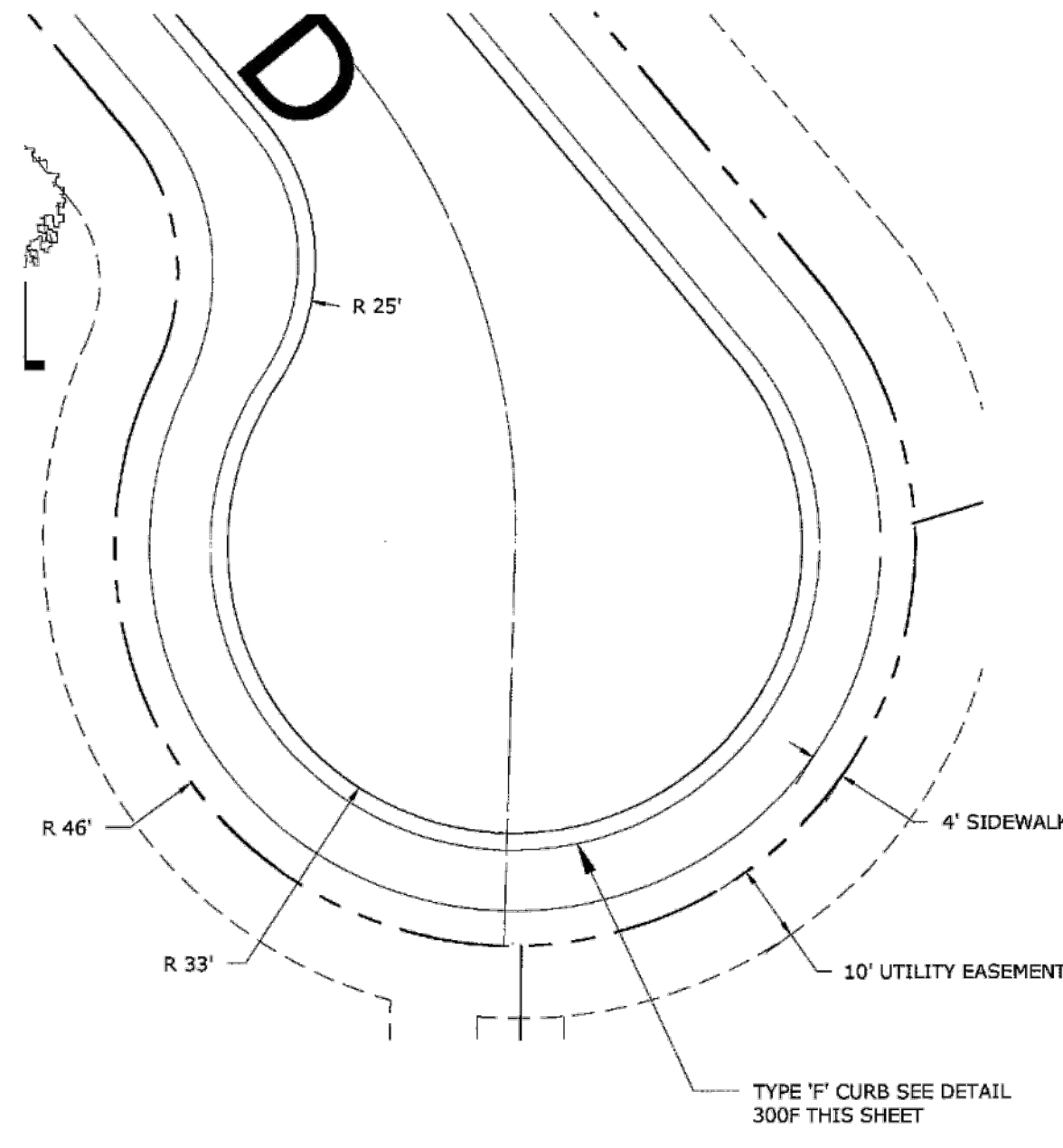




D1 Mitered End Section  
C14



D3 LOT GRADING DETAILS  
C14



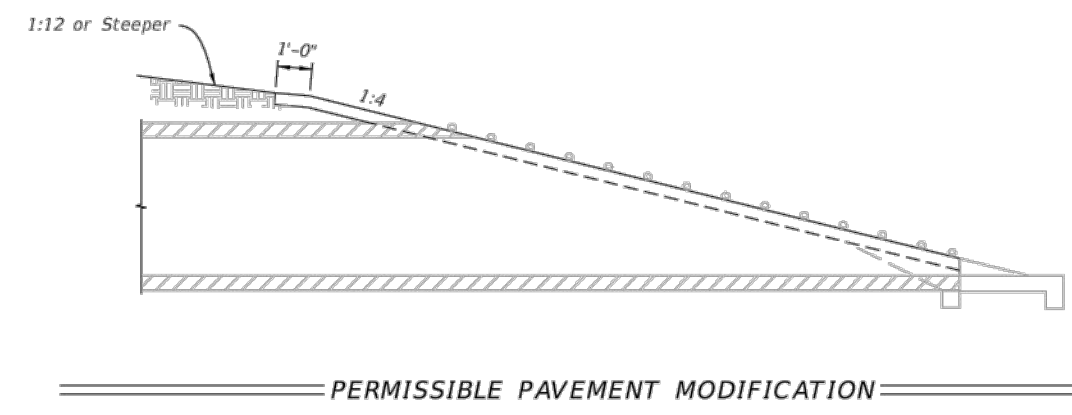
D4 TYPICAL CUL-DE-SAC DETAIL  
C14

**SINGLE AND MULTIPLE CONCRETE PIPE DIMENSIONS AND QUANTITIES**

Pipe	Dia D	Rise R	Span S	CONCRETE PIPE DIMENSIONS AND QUANTITIES																				
				A	B	C	E	F	G	H	M	N	STANDARD WEIGHT PIPE	EXTRA STRONG PIPE	3" CONC. SLAB (CY)	SODDING (SY)								
Round Concrete	12"	2'-0"	2'-0"	2.20	4.09	6.30	4.03	8	1.22	4.0	4.63	7.21	8.79	12.37	1.19	3	0.76	1.16	1.54	1.94	8	10	11	12
Elliptical Concrete	14"	2'-0"	2'-0"	2.44	3.75	6.18	3.02	8	1.80	2.3	5.38	8.11	12.04	15.98	1.23	3	0.95	1.52	2.09	2.65	10	12	13	15
	16"	2'-0"	2'-0"	2.69	4.16	6.80	3.27	8	2.32	2.6	6.04	10.04	14.04	18.04	1.37	3	1.18	1.95	2.74	3.53	11	13	15	18
	18"	2'-0"	2'-0"	2.94	4.61	7.46	3.56	8	2.84	3.0	6.79	11.19	16.19	21.19	1.51	3	1.41	2.42	3.44	4.45	12	15	18	20
	20"	2'-0"	2'-0"	3.19	5.16	8.21	3.85	8	3.36	3.5	7.50	12.42	18.42	24.42	1.65	3	1.63	2.92	4.22	5.52	13	17	20	23
	22"	2'-0"	2'-0"	3.44	5.61	8.86	4.14	8	3.88	4.0	8.42	13.34	19.34	25.34	1.79	3	1.81	3.26	4.79	6.14	15	18	21	24
	24"	2'-0"	2'-0"	3.69	6.06	9.51	4.43	8	4.40	4.5	9.44	14.26	20.26	26.26	1.93	3	1.93	3.58	5.23	6.88	17	20	23	27
	26"	2'-0"	2'-0"	3.94	6.51	10.16	4.72	8	4.92	5.0	10.48	15.18	21.18	27.18	2.07	3	2.07	3.93	5.68	7.43	19	22	25	29
	28"	2'-0"	2'-0"	4.19	6.96	10.91	5.01	8	5.44	5.5	11.52	16.02	22.02	28.02	2.21	3	2.21	4.29	6.23	8.17	21	24	27	31
	30"	2'-0"	2'-0"	4.44	7.41	11.76	5.30	8	5.96	6.0	12.56	16.86	22.86	28.86	2.35	3	2.35	4.65	6.79	8.93	23	26	29	33
	32"	2'-0"	2'-0"	4.69	7.86	12.71	5.59	8	6.48	6.5	13.60	17.70	23.70	29.70	2.49	3	2.49	5.01	7.35	9.69	25	28	31	35
	34"	2'-0"	2'-0"	4.94	8.31	13.76	5.88	8	7.00	7.0	14.64	18.54	24.54	30.54	2.63	3	2.63	5.53	8.07	10.51	27	30	33	37
	36"	2'-0"	2'-0"	5.19	8.76	14.91	6.17	8	7.52	7.5	15.68	19.34	25.34	31.34	2.77	3	2.77	6.07	8.81	11.45	29	32	35	39
	38"	2'-0"	2'-0"	5.44	9.21	16.16	6.46	8	8.04	8.0	16.72	20.00	26.00	32.00	2.91	3	2.91	6.57	9.65	12.49	31	34	37	41
	40"	2'-0"	2'-0"	5.69	9.66	17.51	6.75	8	8.56	8.5	17.76	20.84	26.84	32.84	3.05	3	3.05	7.07	10.33	13.37	33	36	39	43
	42"	2'-0"	2'-0"	5.94	10.11	18.96	7.04	8	9.08	9.0	18.88	21.72	27.72	33.72	3.19	3	3.19	7.57	11.11	14.35	35	38	41	45
	44"	2'-0"	2'-0"	6.19	10.56	20.51	7.33	8	9.60	9.5	19.96	22.48	28.48	34.48	3.33	3	3.33	8.07	11.89	15.33	37	40	43	47
	46"	2'-0"	2'-0"	6.44	11.01	22.16	7.62	8	10.12	10.0	21.04	23.16	29.16	35.16	3.47	3	3.47	8.57	12.67	16.11	39	42	45	49
	48"	2'-0"	2'-0"	6.69	11.46	23.91	7.91	8	10.64	10.5	22.16	23.84	29.84	35.84	3.61	3	3.61	9.07	13.47	17.05	41	44	47	51
	50"	2'-0"	2'-0"	6.94	11.91	25.76	8.20	8	11.16	11.0	23.28	24.56	30.56	36.56	3.75	3	3.75	9.57	14.27	17.85	43	46	49	53
	52"	2'-0"	2'-0"	7.19	12.36	27.71	8.49	8	11.68	11.5	24.40	25.48	31.48	37.48	3.89	3	3.89	10.07	15.07	18.73	45	48	51	55
	54"	2'-0"	2'-0"	7.44	12.81	29.76	8.78	8	12.20	12.0	25.52	26.40	32.40	38.40	4.03	3	4.03	10.57	15.87	19.61	47	50	53	57
	56"	2'-0"	2'-0"	7.69	13.26	31.91	9.07	8	12.72	12.5	26.64	27.36	33.36	39.36	4.17	3	4.17	11.07	16.67	20.51	49	52	55	59
	58"	2'-0"	2'-0"	7.94	13.71	34.16	9.36	8	13.24	13.0	27.76	28.32	34.24	40.24	4.31	3	4.31	11.57	17.47	21.35	51	54	57	61
	60"	2'-0"	2'-0"	8.19	14.16	36.51	9.65	8	13.76	13.5	28.88	29.28	35.16	41.16	4.45	3	4.45	12.07	18.27	22.15	53	56	59	63

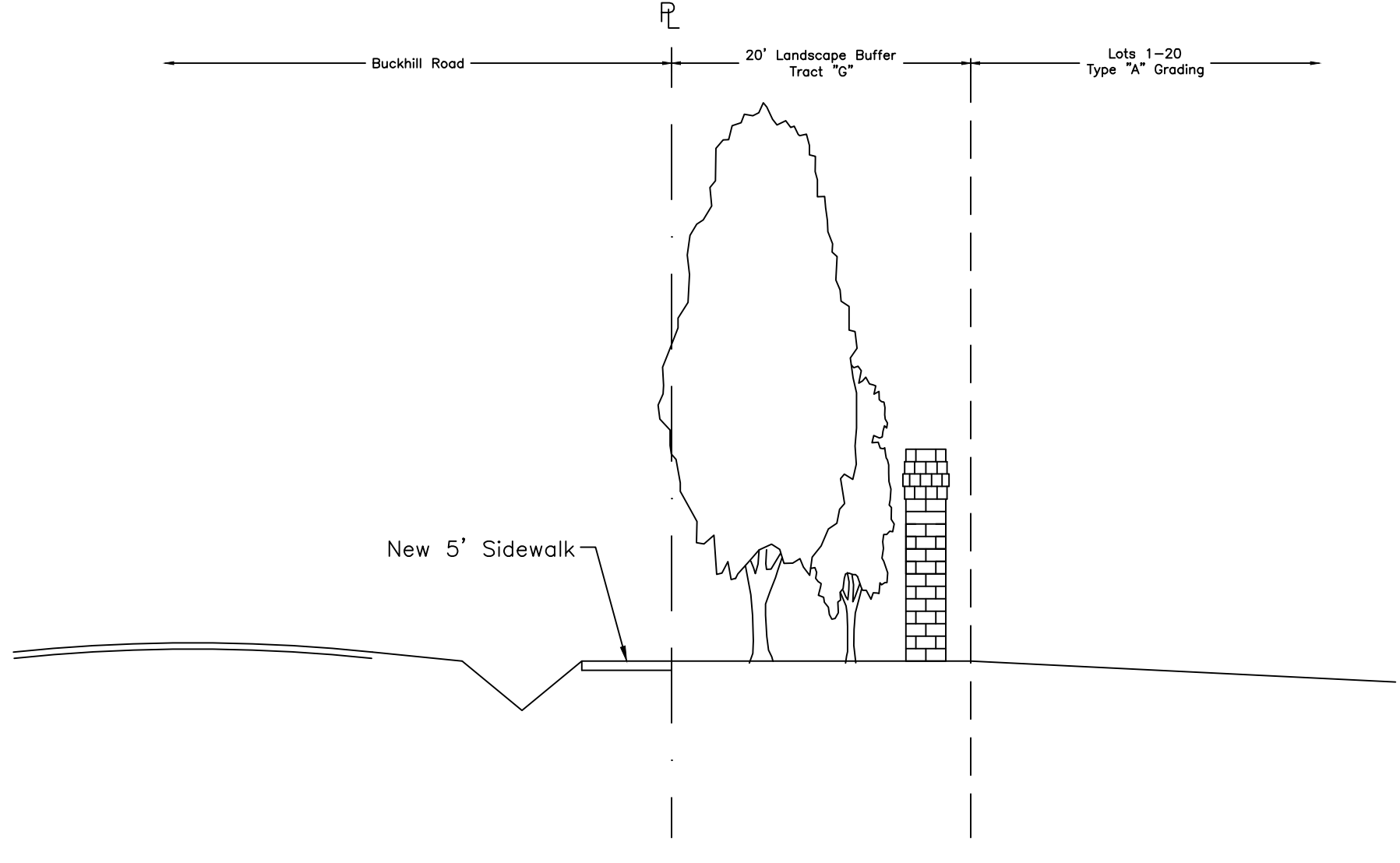
Dimensions permitted to allow use of 12 standard pipe lengths.

LAST REVISION 11/01/19  
 DESCRIPTION: FY 2020-21 STANDARD PLANS  
 INDEX 430-022  
 SHEET 3 of 7



CONCRETE PIPE DIMENSIONS AND QUANTITIES AND PERMISSIBLE PAVEMENT MODIFICATION

D2 Mitered End Section  
C14



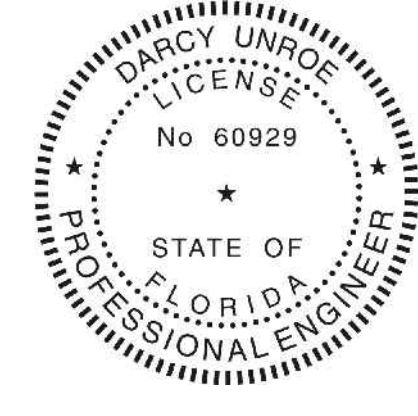
D5 Buckhill Road Landscape Buffer  
C14

Item #	Date	Description

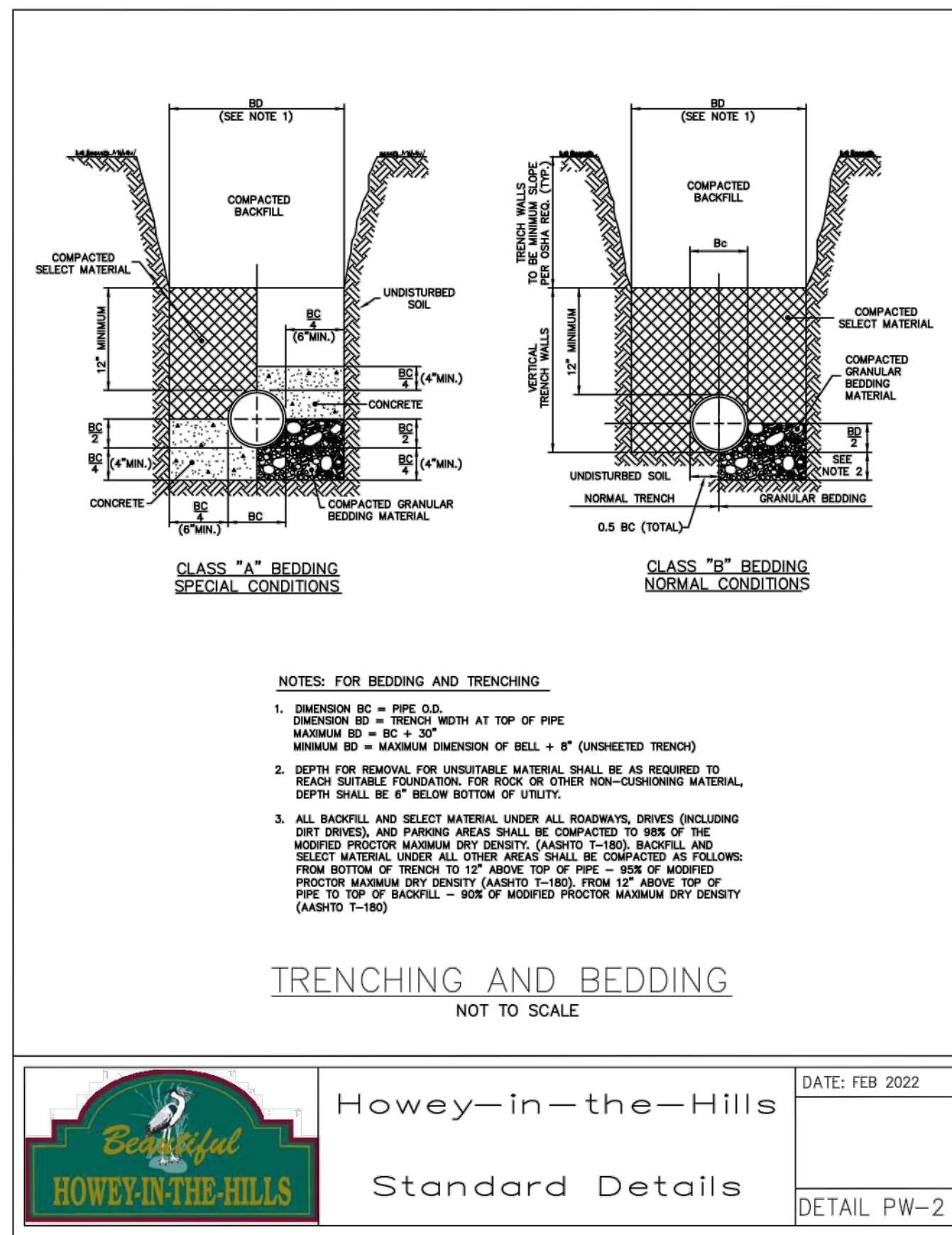
**Unroe Engineering, Inc**  
 Civil Engineering/Planning/Scientific Evaluation  
 PO Box 690942, Orlando, FL 32869-0942  
 Business Authorization Number: EB 0006579 ph (407) 299-0650

**General Details Sheet 4**  
 WHISPERING HEIGHTS Subdivision  
 Buckhill Road, Howey-in-the-Hills, Florida

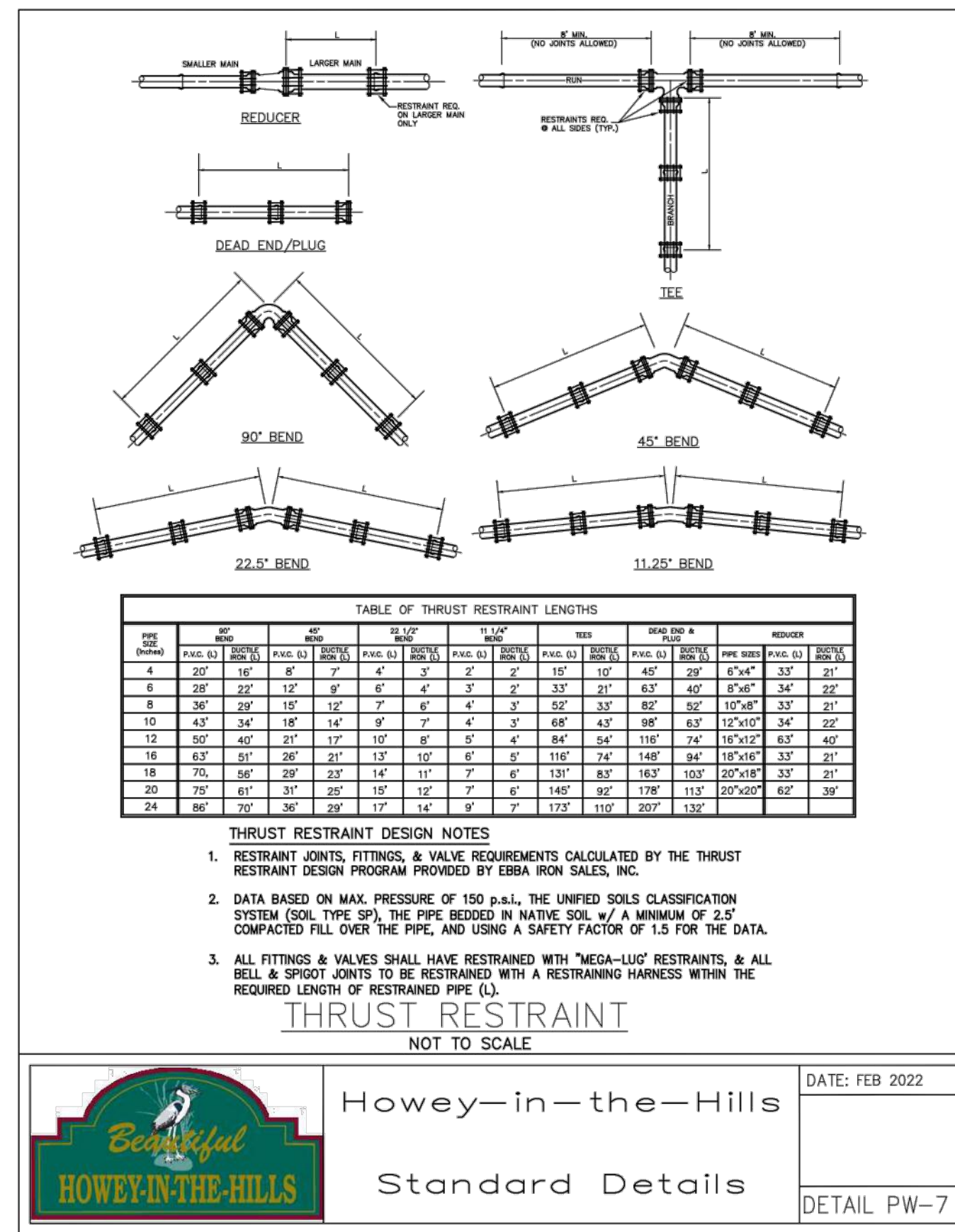
DP	Drawn
DP	Checked
----	Scale
09-07-21	Date
WH2-C14	File
Dwg. No.	
<b>C14</b>	
16	of 83



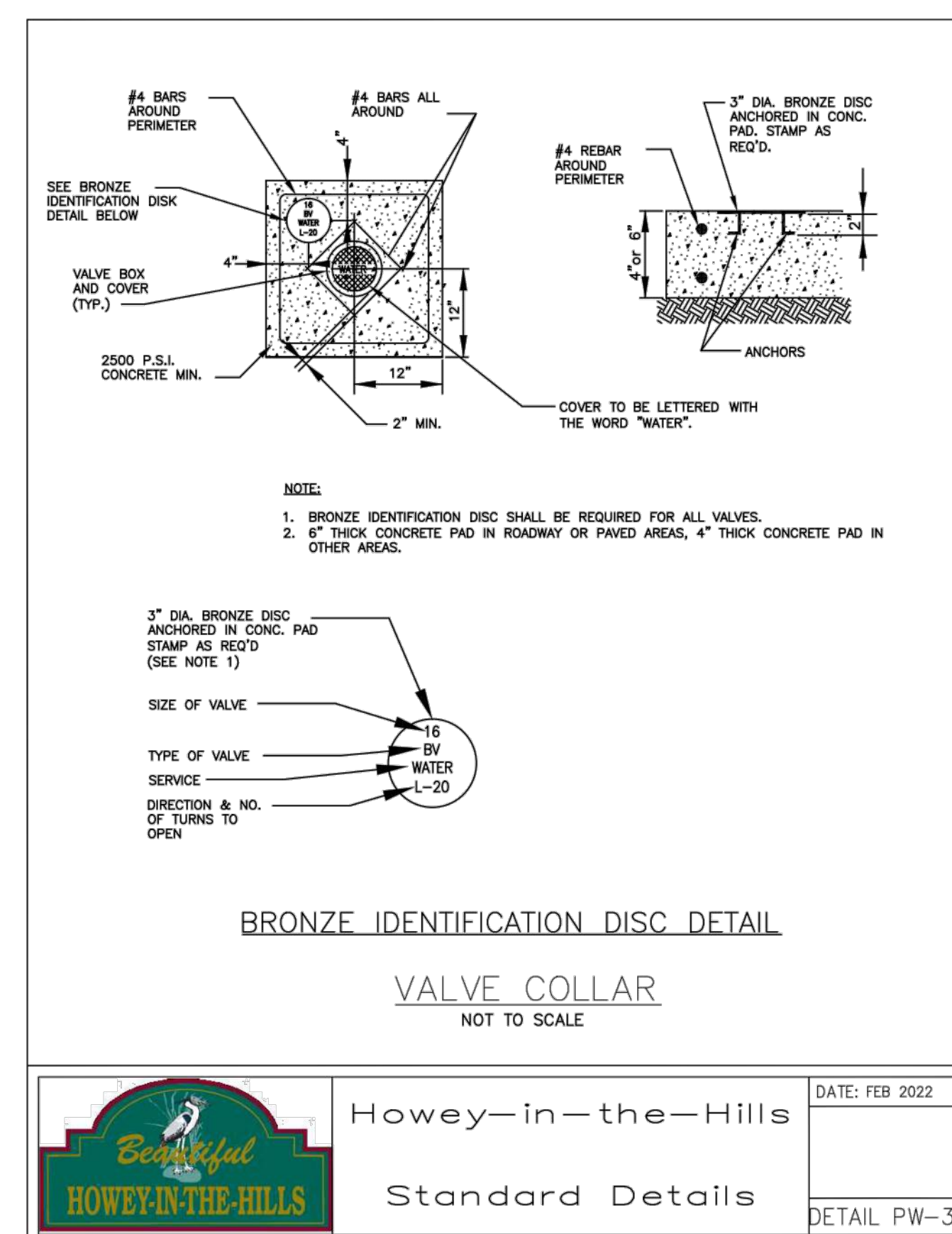




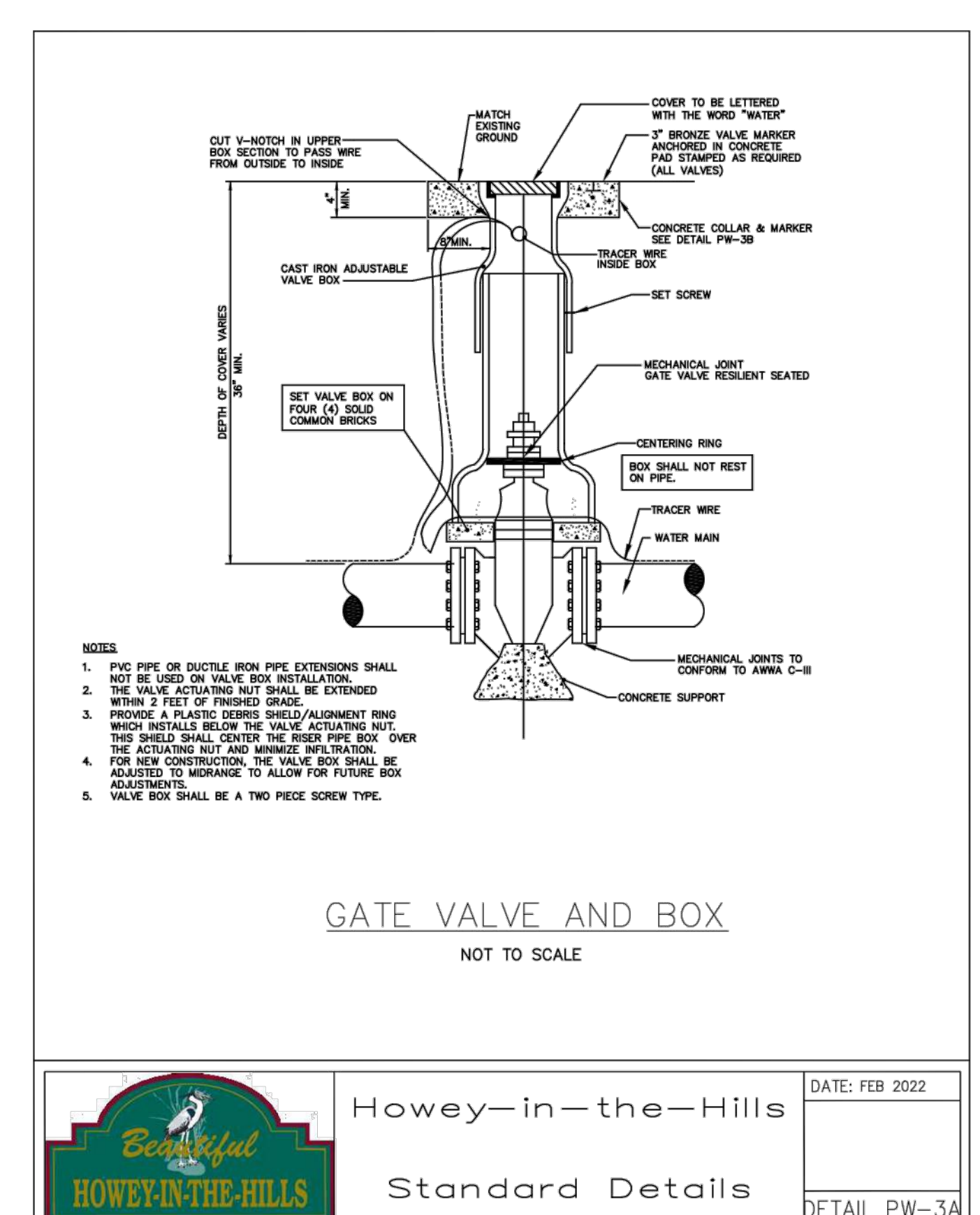
101 Bedding & Trenching



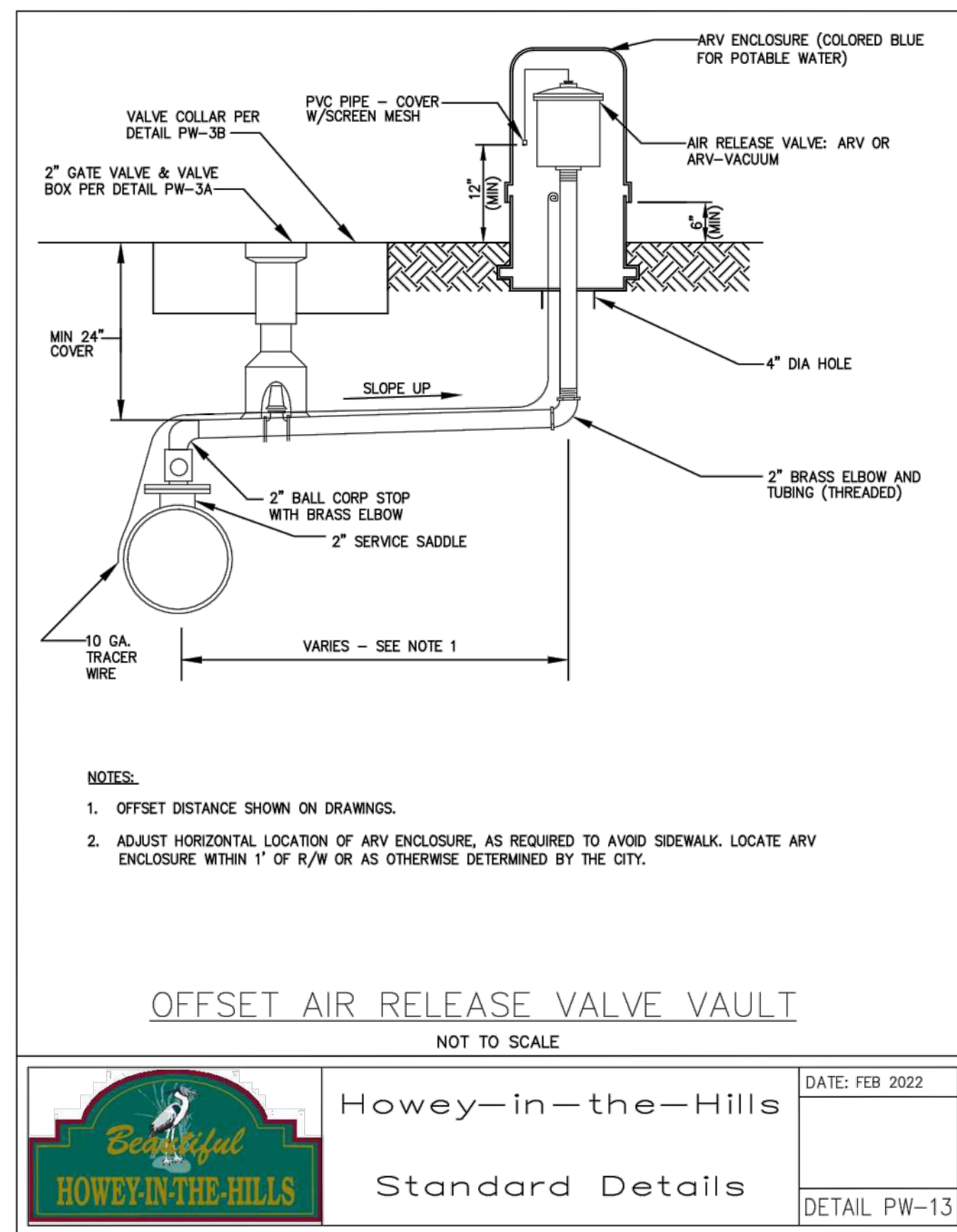
102 Restrained Joint Table



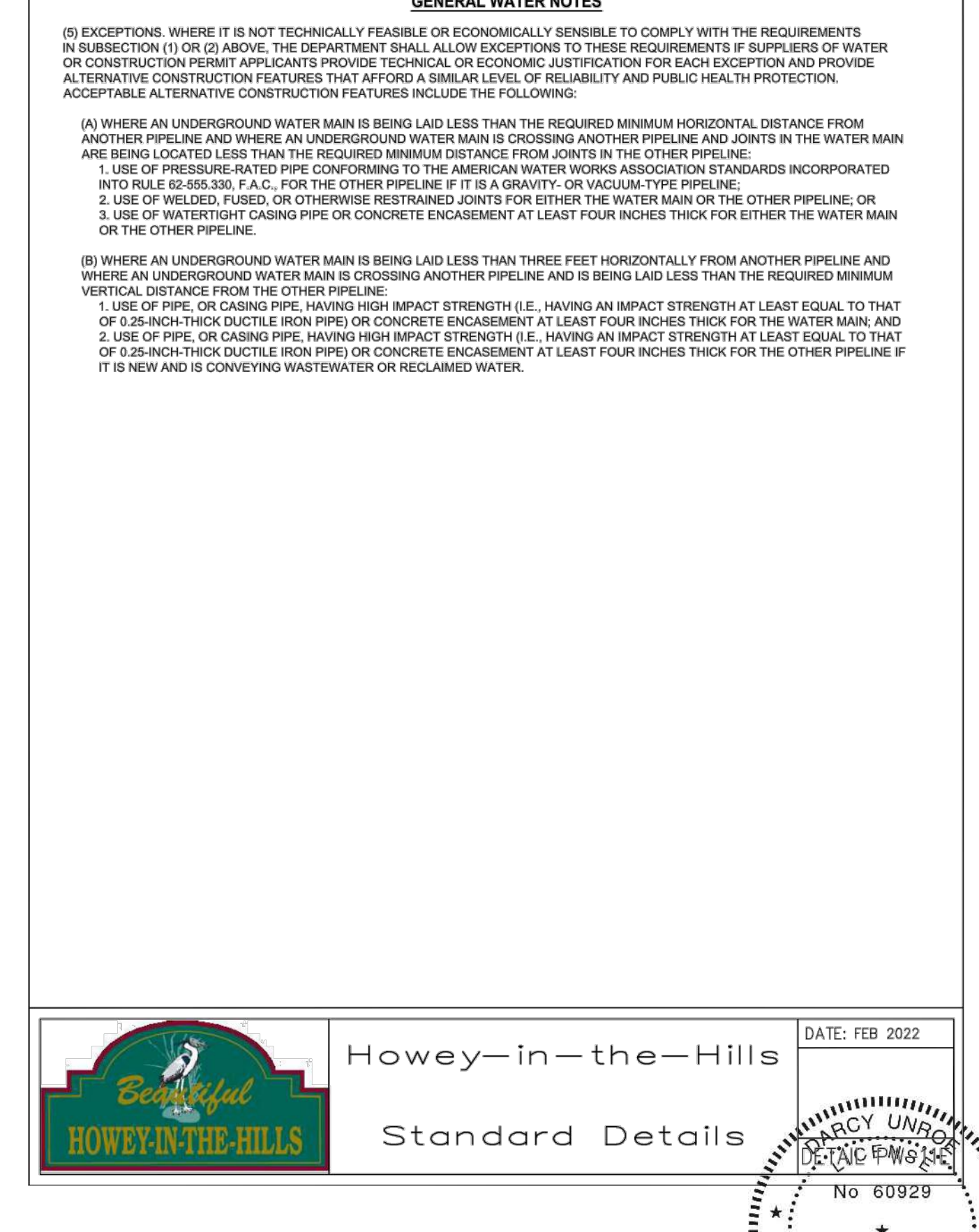
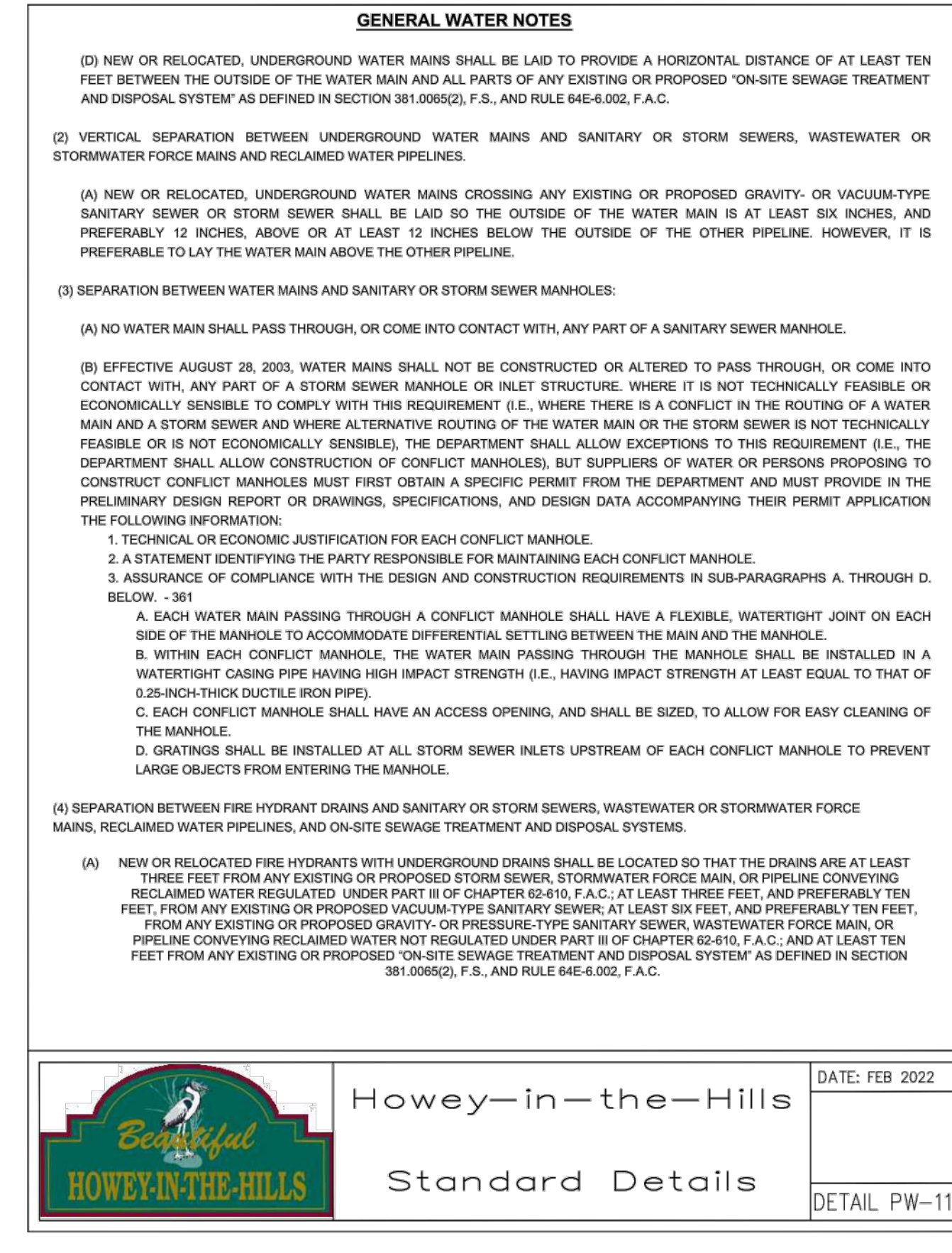
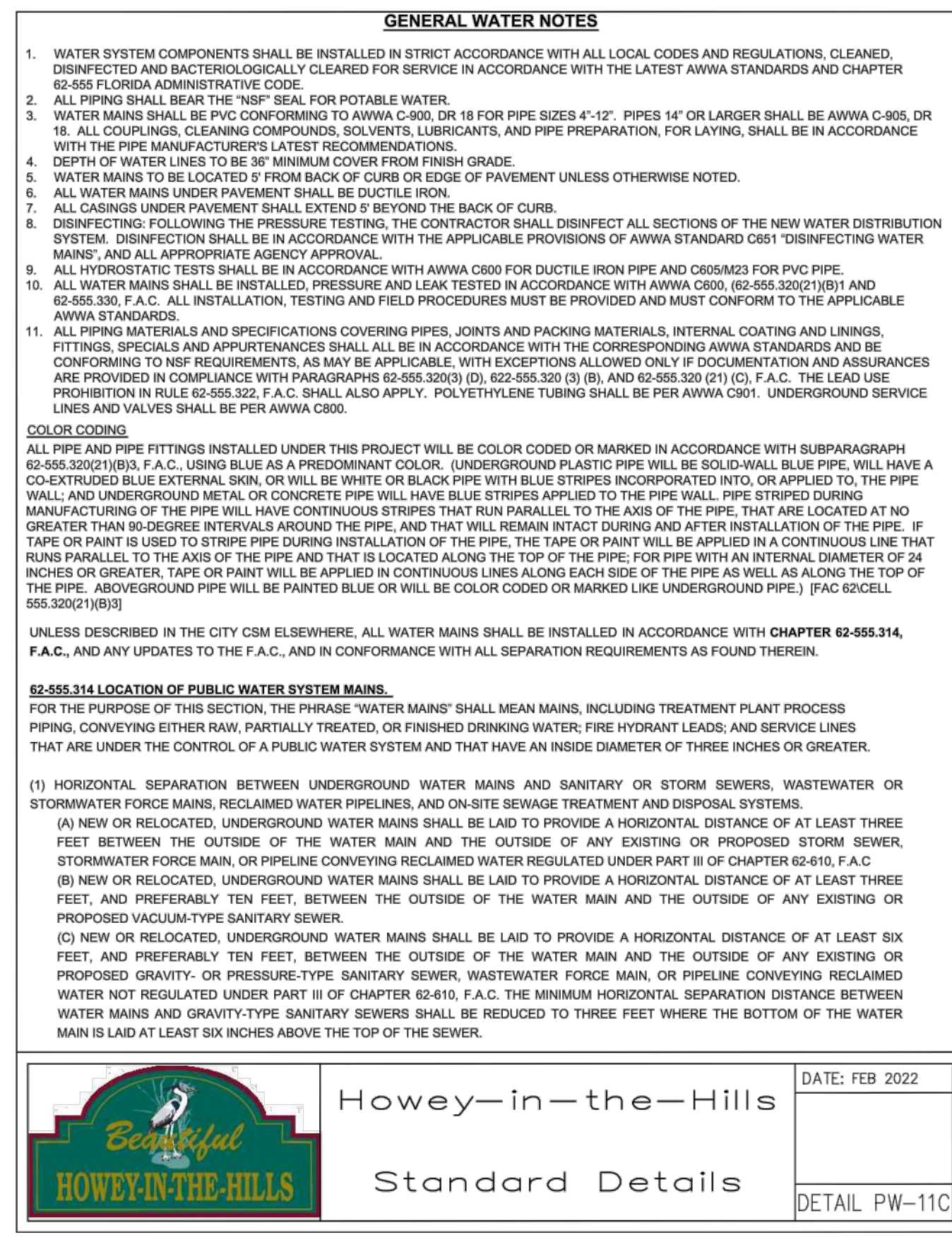
103 Valve Collar



104 Gate Valve and Box



105 Air Release Valve



Item #	Description	Date	#

**Unroe Engineering, Inc**  
Civil Engineering/Planning/Scientific Evaluation  
PO Box 609042, Orlando, FL 32869-0942  
Business Authorization Number: EB 0006579 ph (407) 299-0650

**Howey-in-the-Hills Details 1**  
WHISPERING HEIGHTS Subdivision  
Buckhill Road, Howey-in-the-Hills, Florida

DP	Drawn
DP	Checked
----	Scale
09-07-21	Date
WH2-C15	File
Dwg. No.	
<b>C15</b>	17 of 83

Darcy Unroe PE 60929





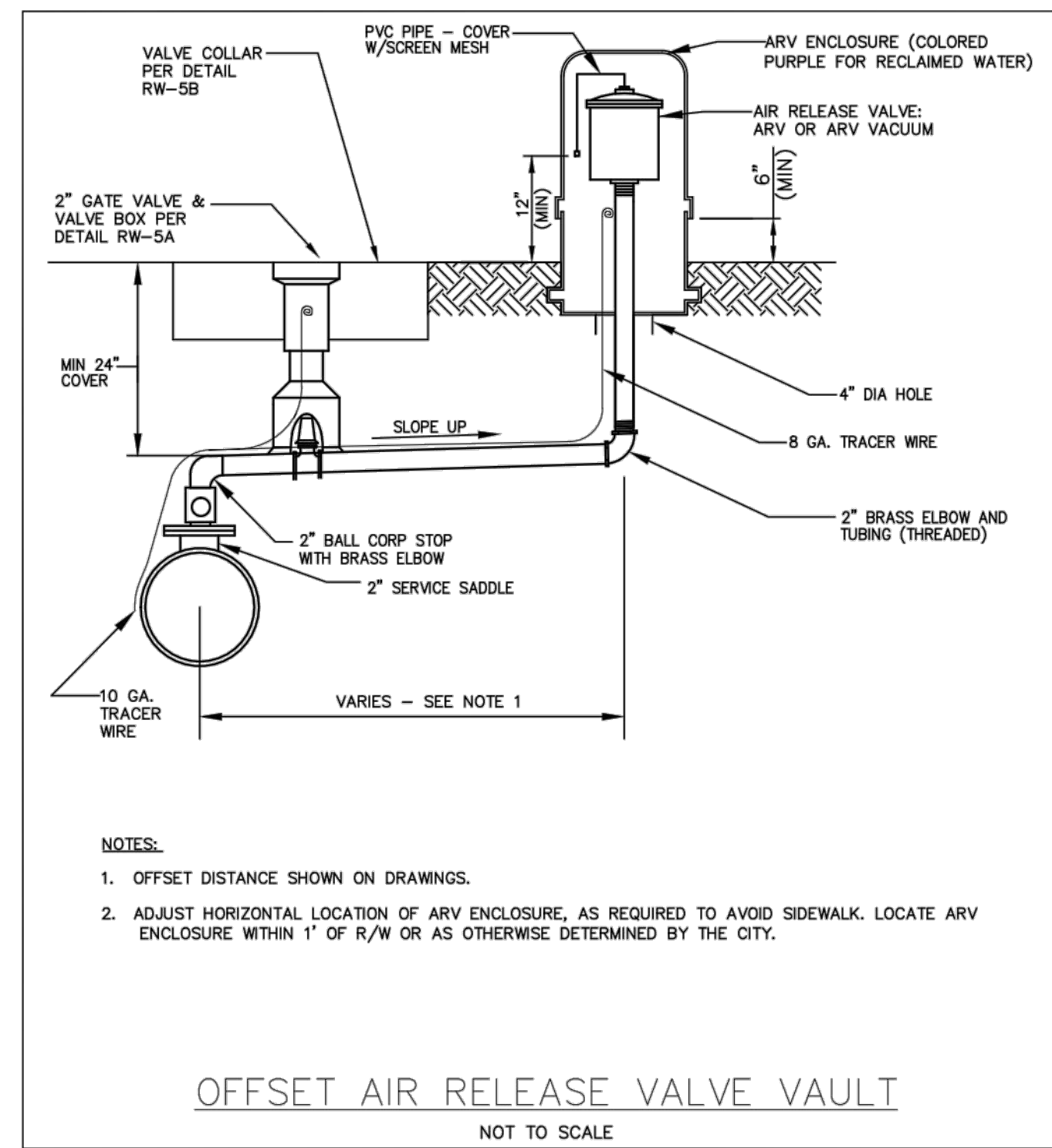


- ALL RECLAIMED WATER PIPING TO BE OWNED AND MAINTAINED BY THE TOWN SHALL BE A SOLID PANTONE PURPLE COLOR.
- RECLAIMED WATER MAINS SHALL BE PVC CONFORMING TO AWWA C-900, OR 18 FOR PIPE SIZES 4"-12", PIPES 14" & LARGER SHALL BE AWWA C-905, DR 25, PRESSURE CLASS 350 DIP IS AN ACCEPTABLE ALTERNATE. ALL COUPLINGS, CLEANING COMPOUNDS, SOLVENTS, LUBRICANTS, AND PIPE PREPARATION FOR LAYING SHALL BE IN ACCORDANCE WITH THE PIPE MANUFACTURERS LATEST RECOMMENDATIONS.
- DEPTH OF RECLAIMED WATER LINES TO BE 36" MIN. BELOW FINISHED GRADE.
- RECLAIMED WATER MAINS TO BE LOCATED 5' FROM BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL PIPING CLEARANCES SHALL BE IN ACCORDANCE WITH CHAPTER 62-555.314, F.A.C.
- ALL RECLAIMED WATER MAINS UNDER PAVEMENT SHALL BE DUCTILE IRON PIPE AND SHALL EXTEND 5' BEYOND THE EDGE OF PAVEMENT OR BACK OF CURB EXCEPT DIRECTIONAL BORES, WHICH SHALL BE SDR-11 HDPE.
- ALL IRRIGATION SLEEVING UNDER PAVEMENT SHALL EXTEND 5' BEYOND THE EDGE OF PAVEMENT OR BACK OF CURB.
- ALL OTHER REQUIREMENTS OF THE TOWN WATER SYSTEM SHALL APPLY TO THE RECLAIMED WATER SYSTEM.
- PROPER SIGNAGE FOR PUBLIC ACCESS IRRIGATION AREAS TO BE SUPPLIED BY THE DEVELOPER / CONTRACTOR, IN ACCORDANCE WITH CHAPTER 62-610.418, F.A.C.

**GENERAL RECLAIMED WATER NOTES**

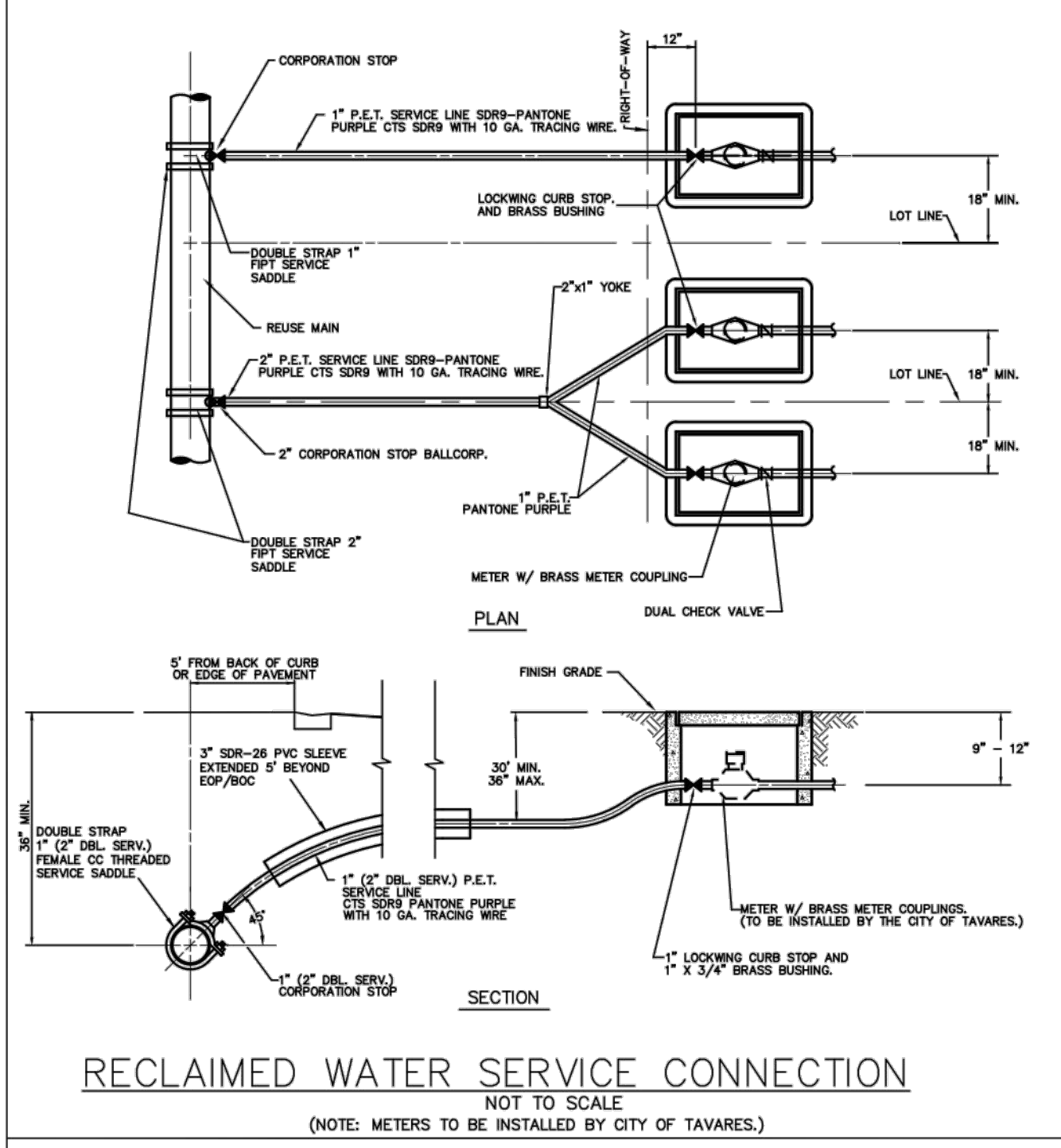


Howey-in-the-Hills  
Standard Details  
DATE: FEB 2022  
DETAIL RW-1



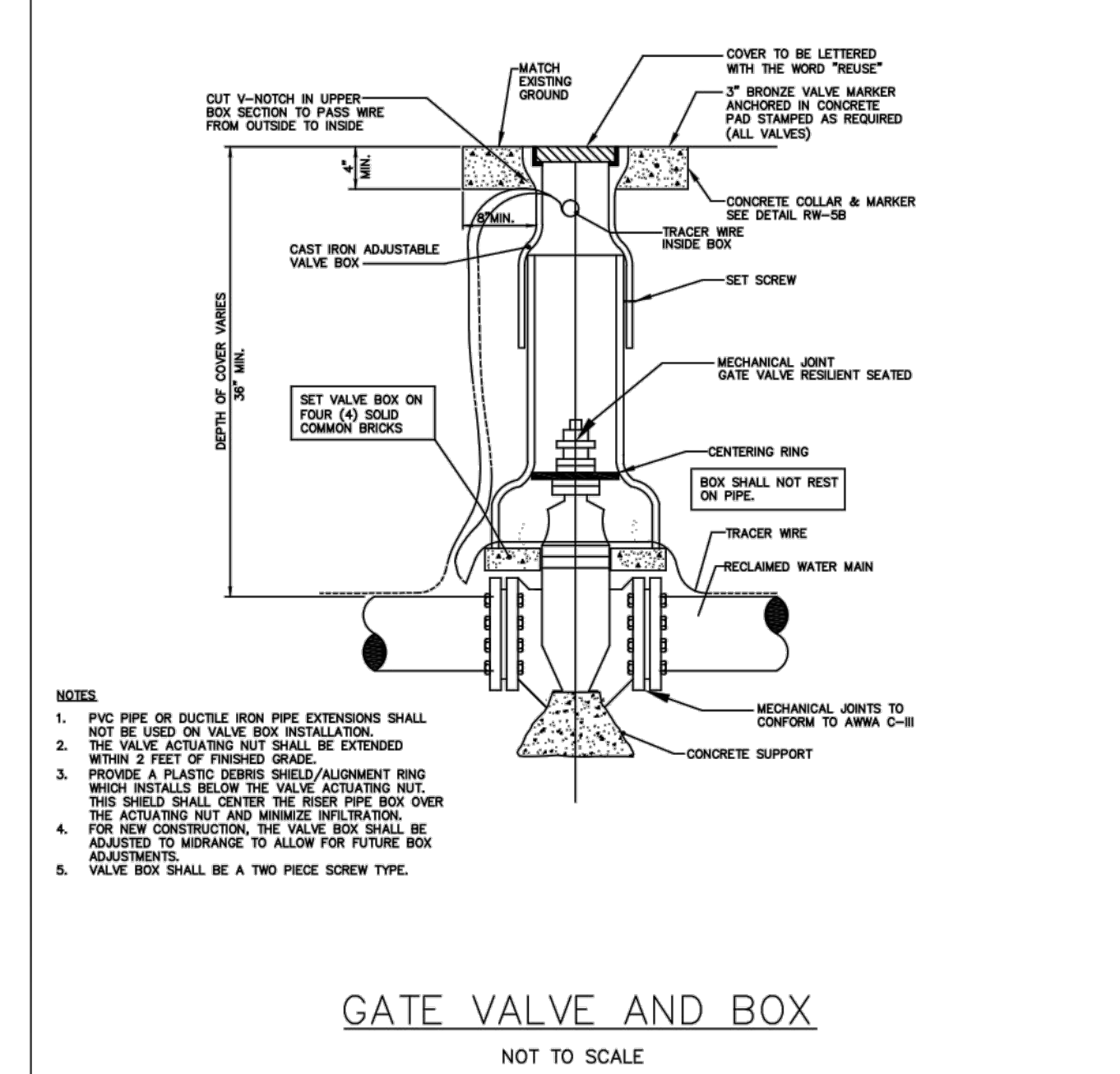

Howey-in-the-Hills  
Standard Details  
DATE: FEB 2022  
DETAIL RW-2

401 Air Release - Reclaimed



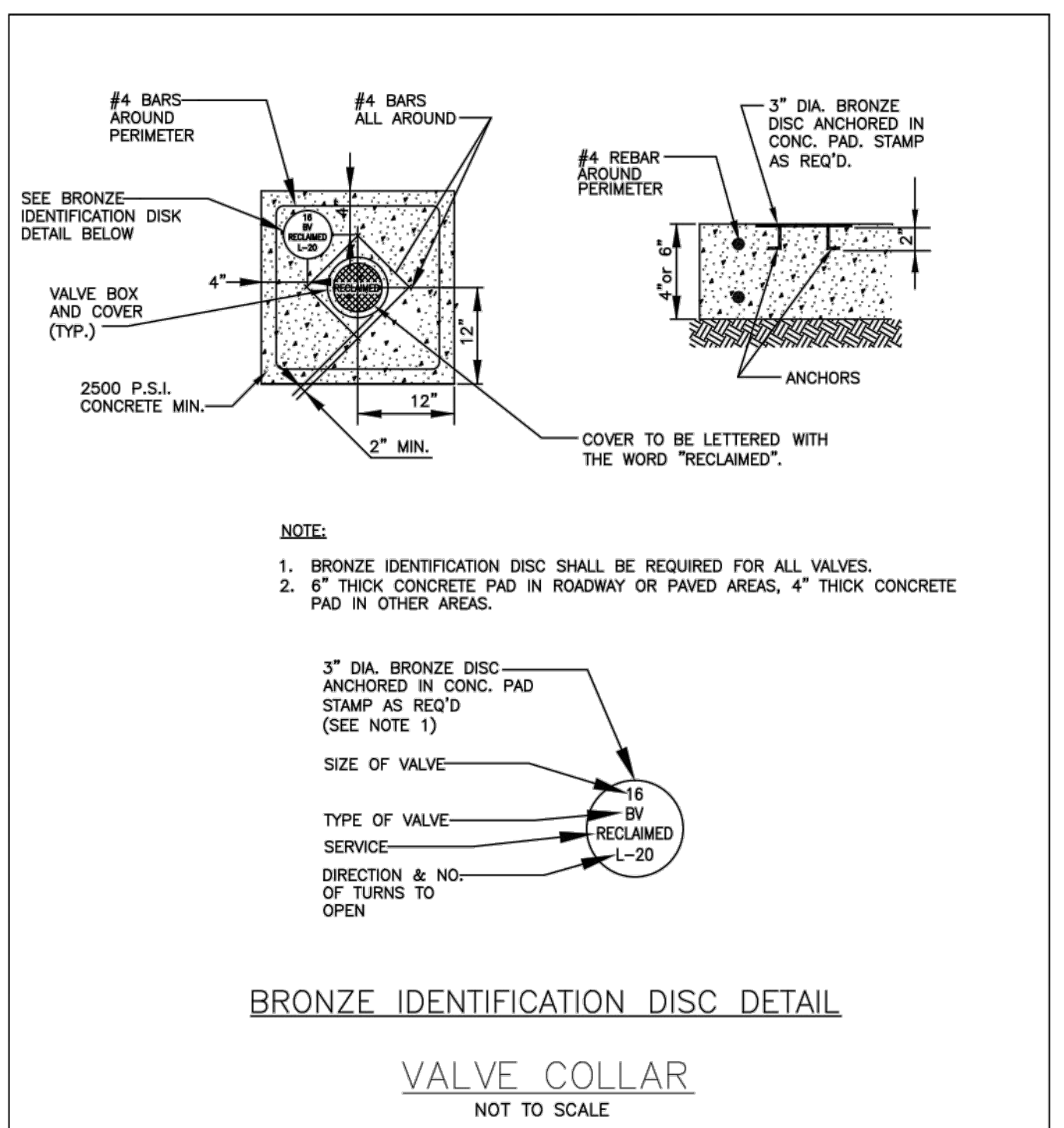


Howey-in-the-Hills  
Standard Details  
DATE: FEB 2022  
DETAIL RW-3

402 Service Connections - Reclaimed



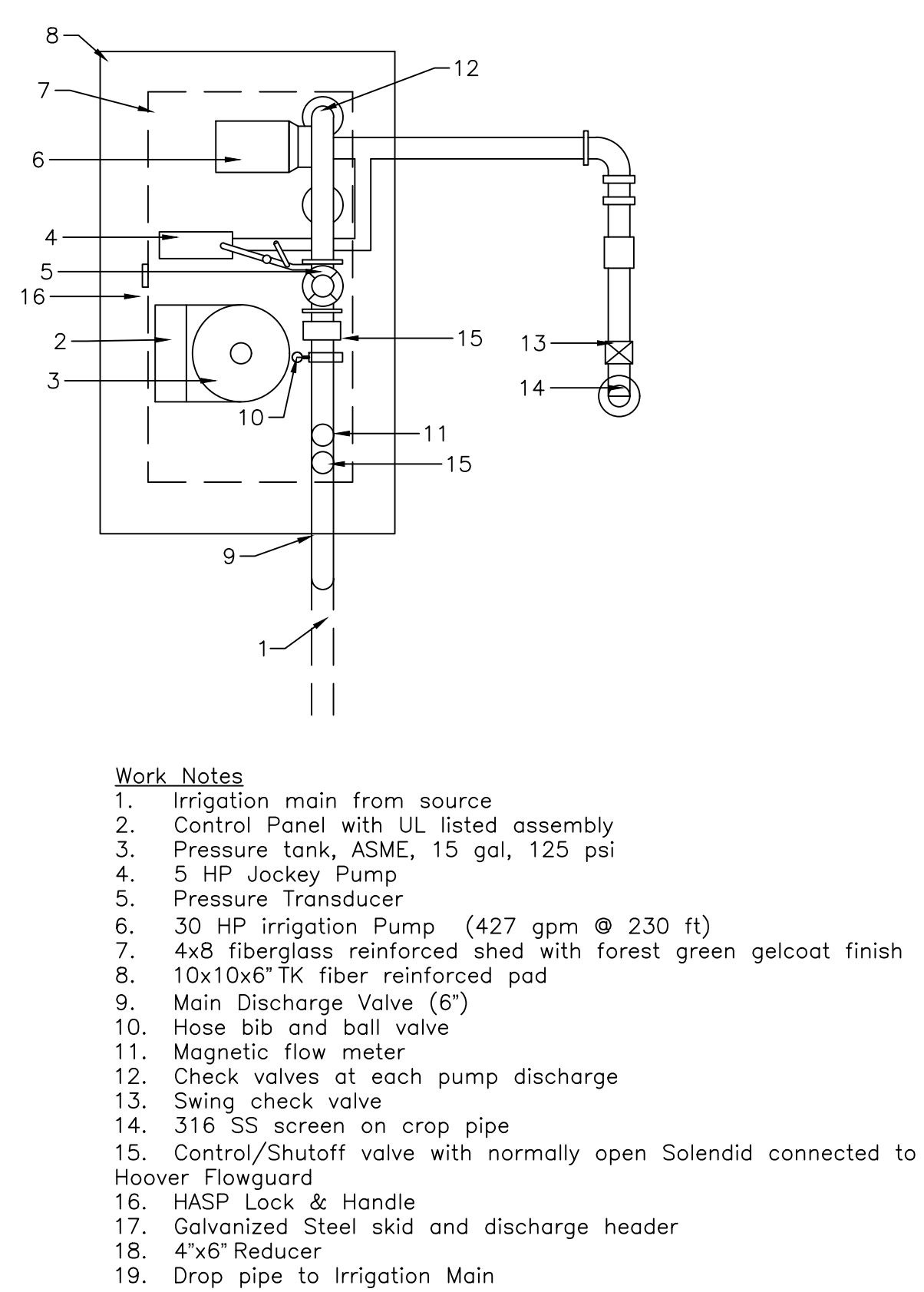

Howey-in-the-Hills  
Standard Details  
DATE: FEB 2022  
DETAIL RW-5A

403 Gate Valve & Box - Reclaimed

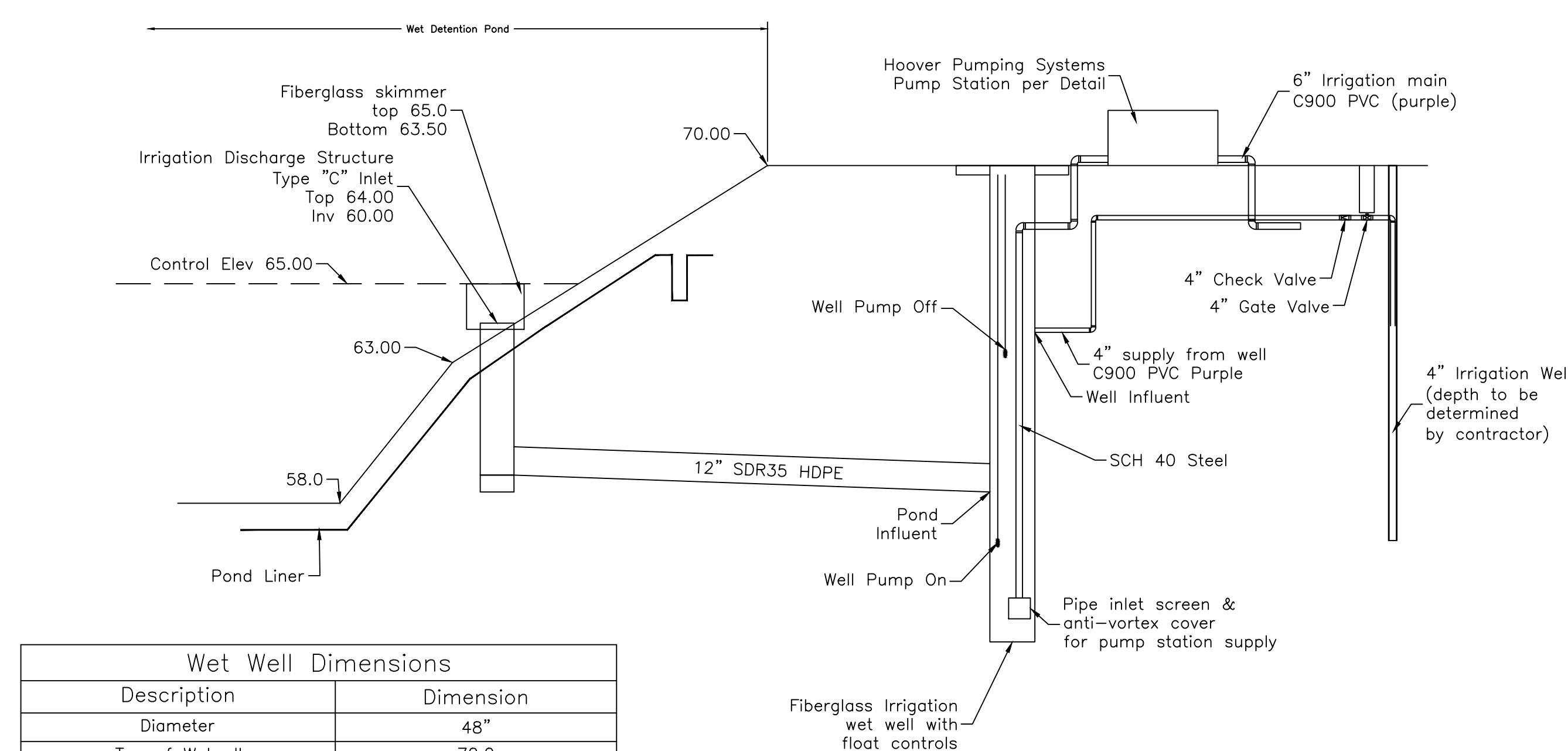



Howey-in-the-Hills  
Standard Details  
DATE: FEB 2022  
DETAIL RW-5B

404 Valve Collar - Reclaimed



405 Irrigation Pump Station



406 Irrigation/Pond Pipe Connection Detail



Item #	Date	Description

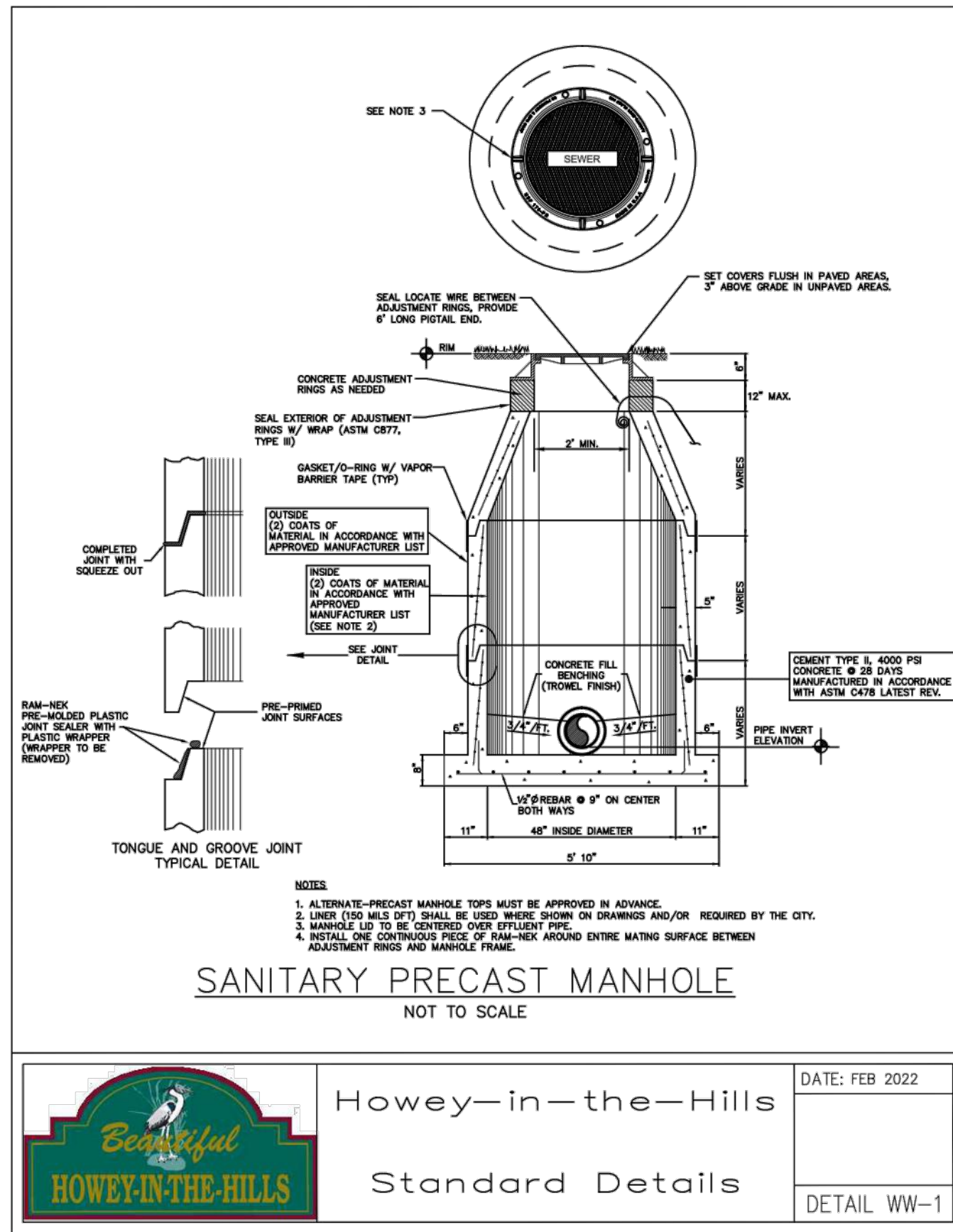
**Unroe Engineering, Inc**  
Civil Engineering/Planning/Scientific Evaluation  
PO Box 690942, Orlando, FL 32869-0942  
Business Authorization Number: EB 0006579 ph (407) 299-0650

**Howey-in-the-HillsDetails 3**  
WHISPERING HEIGHTS Subdivision  
Buckhill Road, Howey-in-the-Hills, Florida

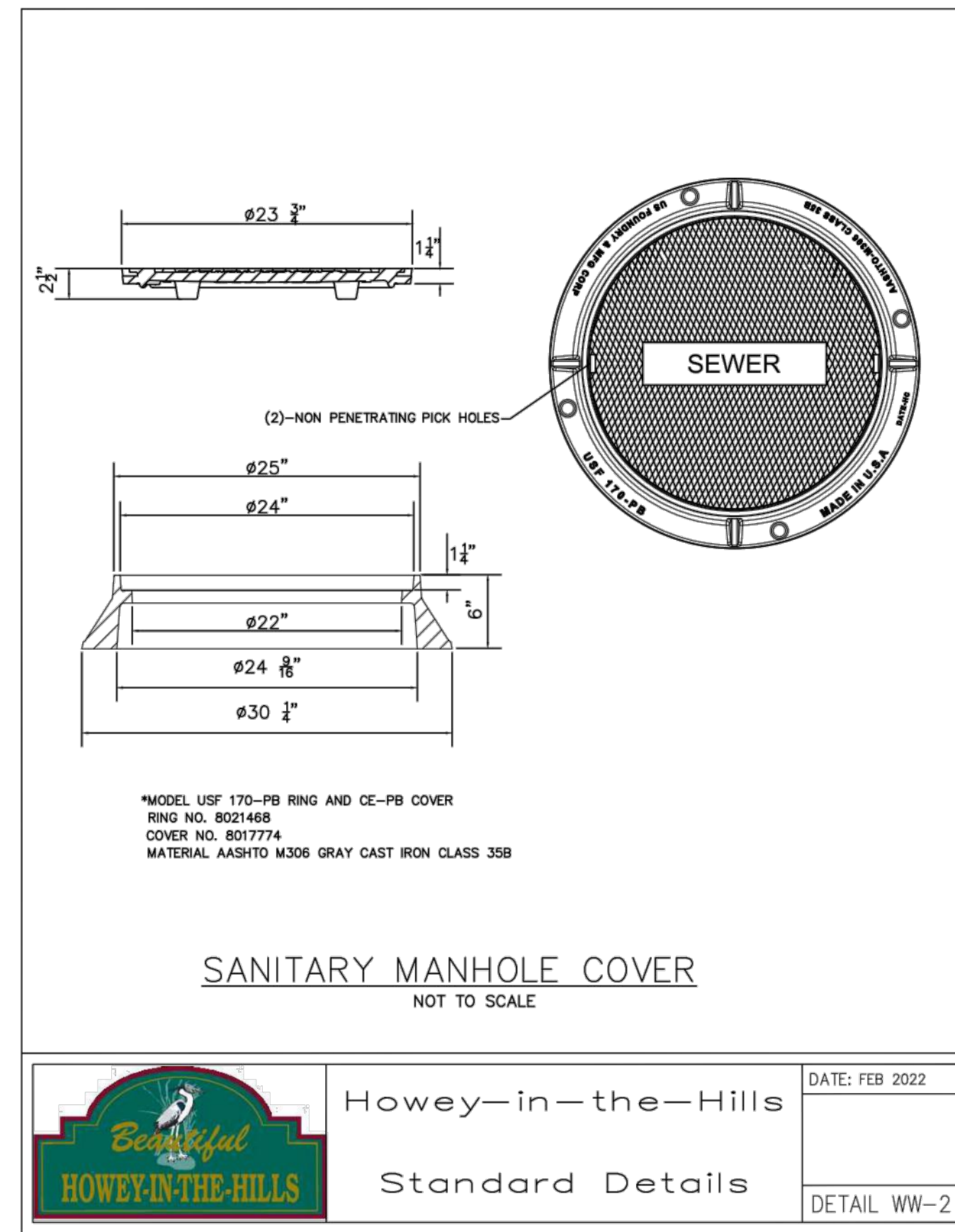
DP	Drawn
DP	Checked
----	Scale
09-07-21	Date
WH2-C16	File
Dwg. No.	

**C17**

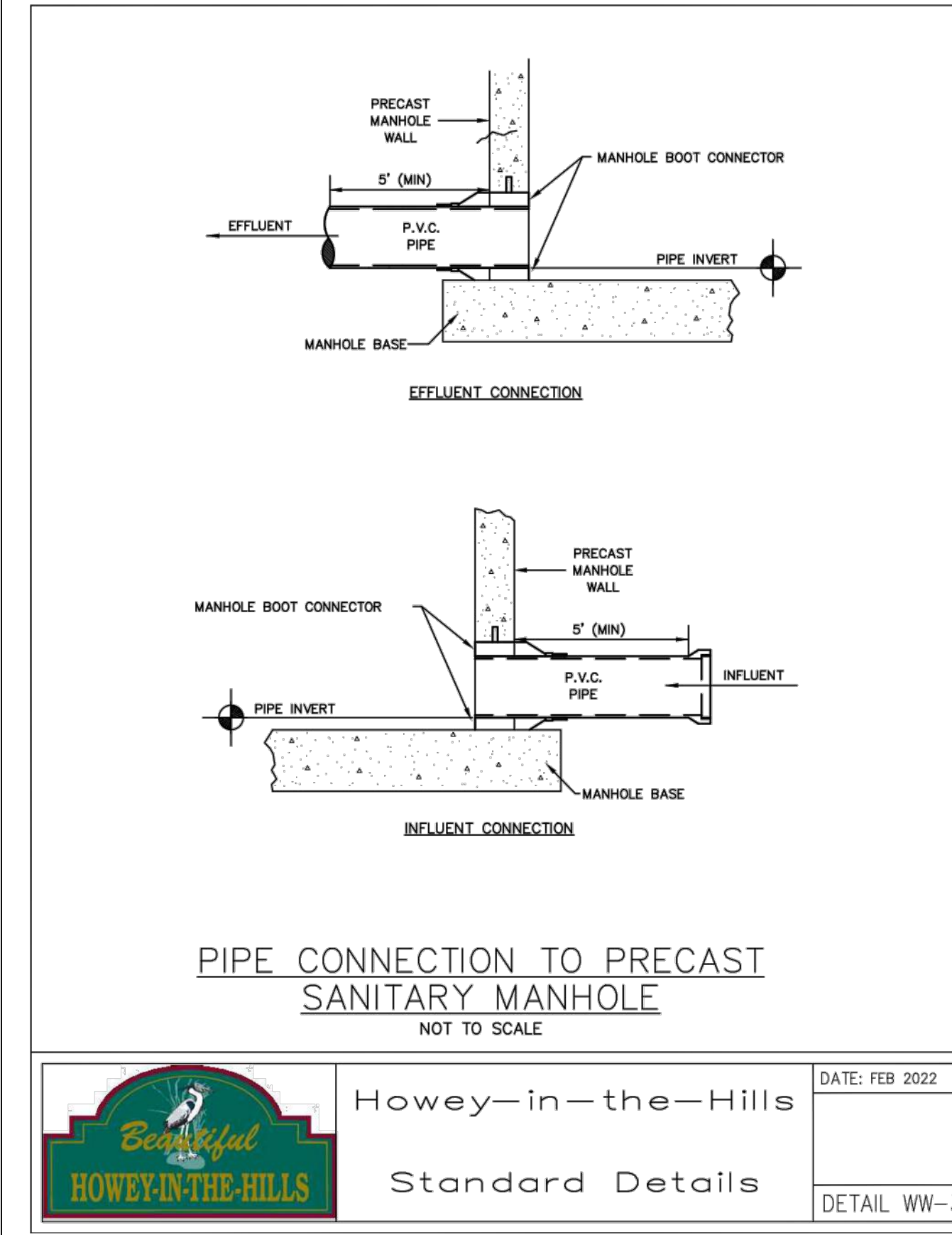




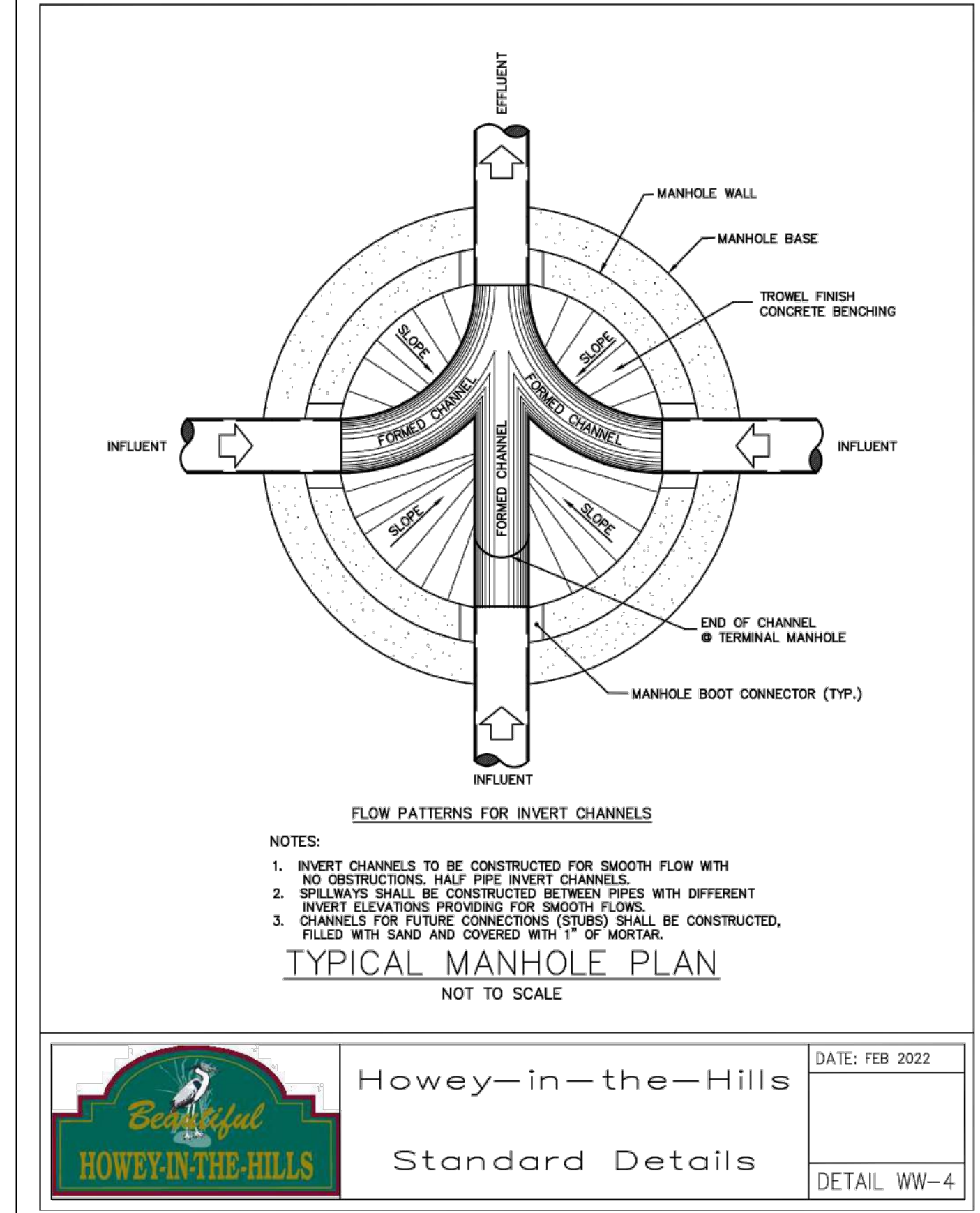
501 Sanitary Manhole



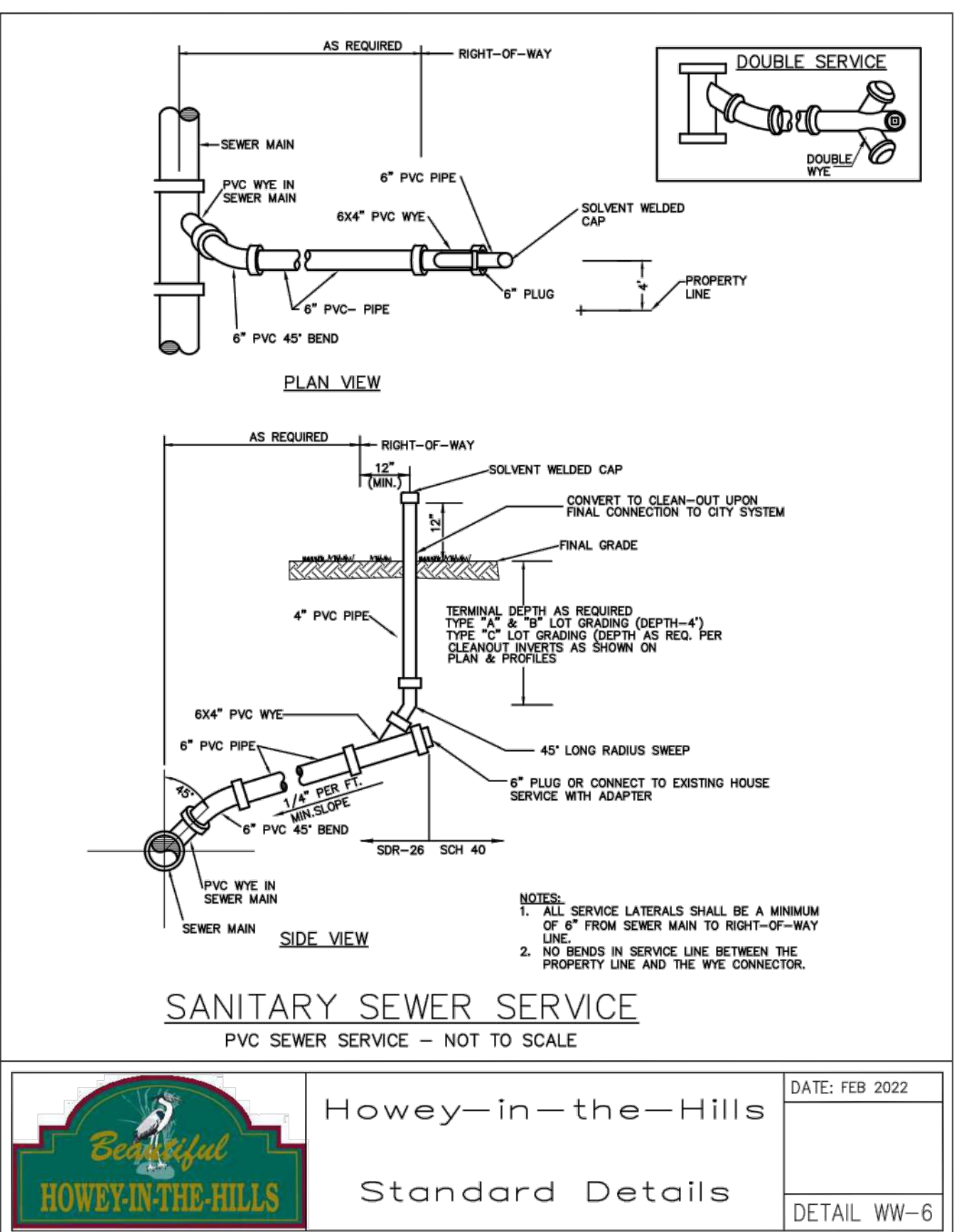
501 Sanitary Manhole Cover



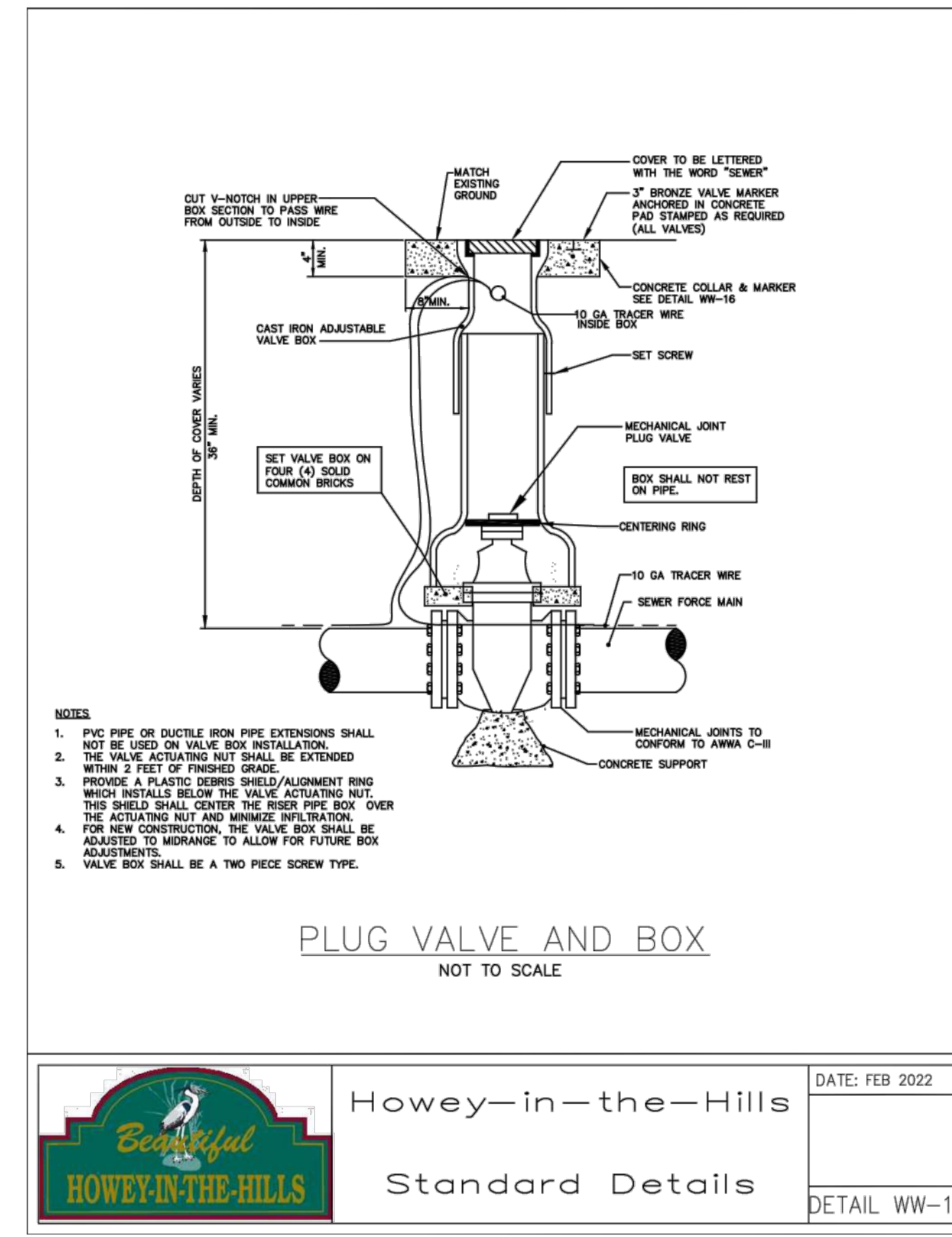
501 Pipe to MH Connection



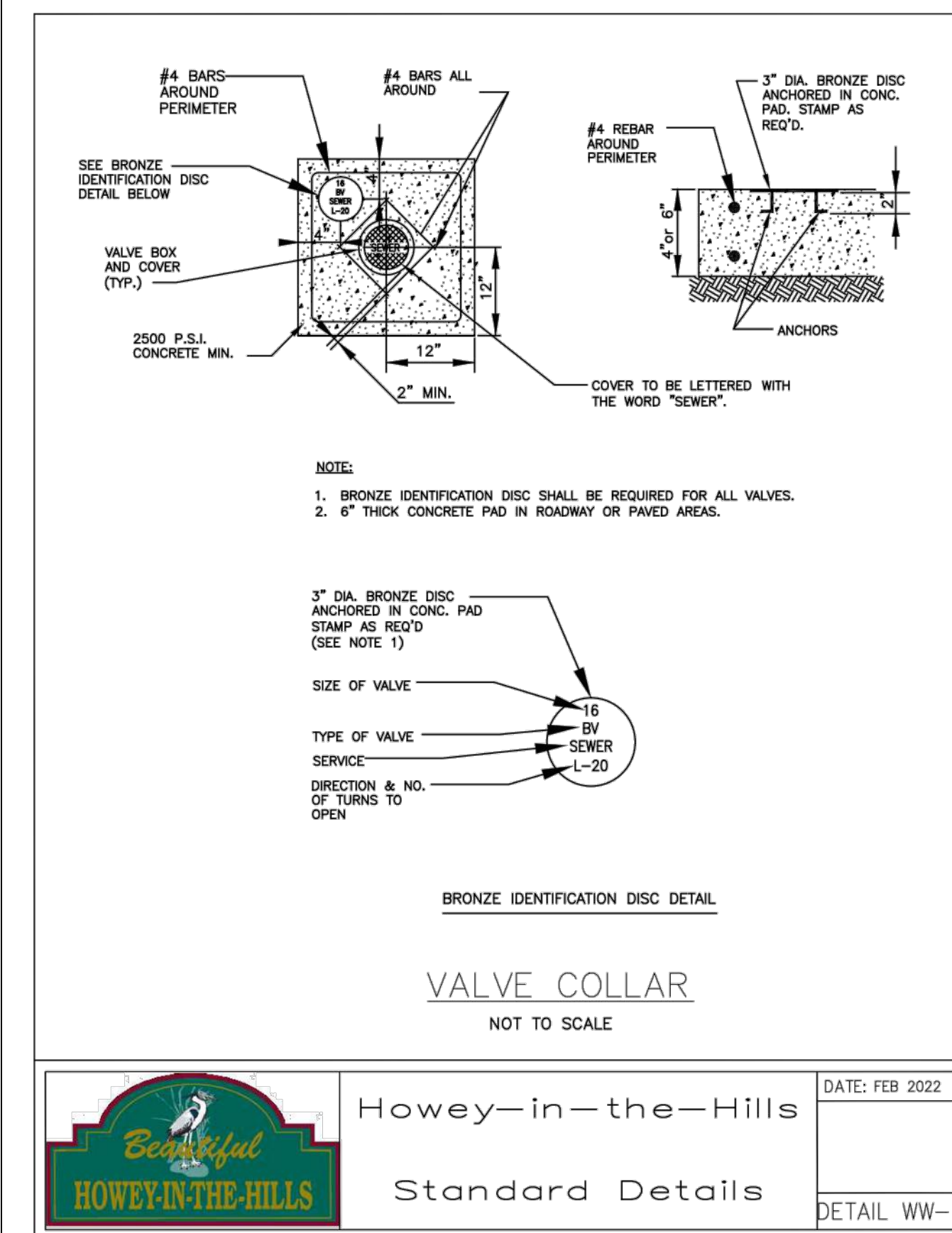
501 Manhole Plan



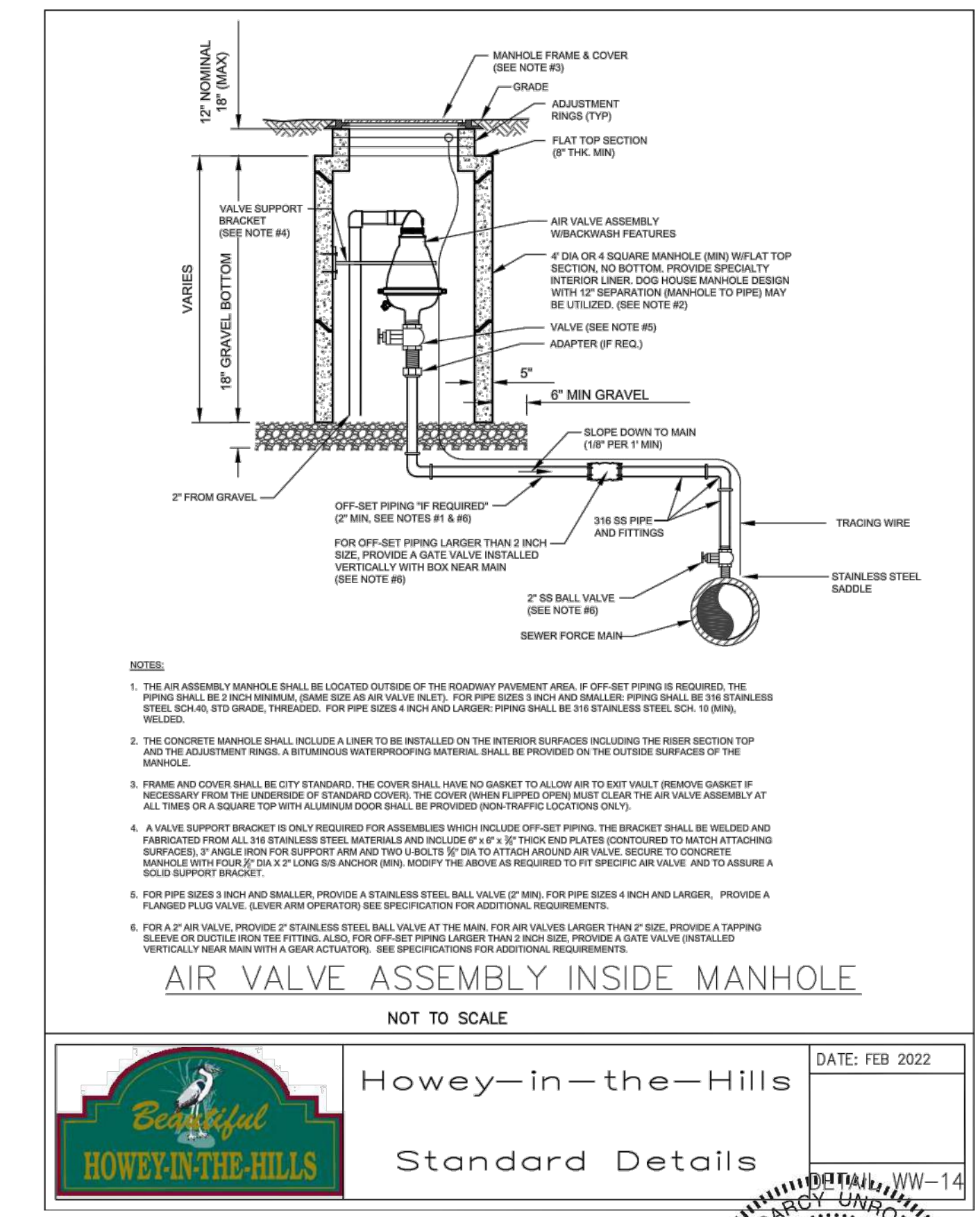
502 Sanitary Sewer Service



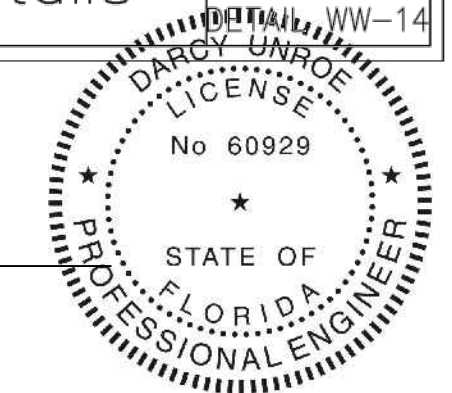
503 Plug Valve & Box - FM



501 Valve Collar - FM



503 Air Release Valve - FM



Item #	Date	Description

**Unroe Engineering, Inc**  
Civil Engineering/Planning/Scientific Evaluation  
PO Box 690942, Orlando, FL 32869-0942  
Business Authorization Number: EB 00066579 ph (407) 299-0650

**Howey-in-the-Hills Details 4**  
WHISPERING HEIGHTS Subdivision  
Buckhill Road, Howey-in-the-Hills, Florida

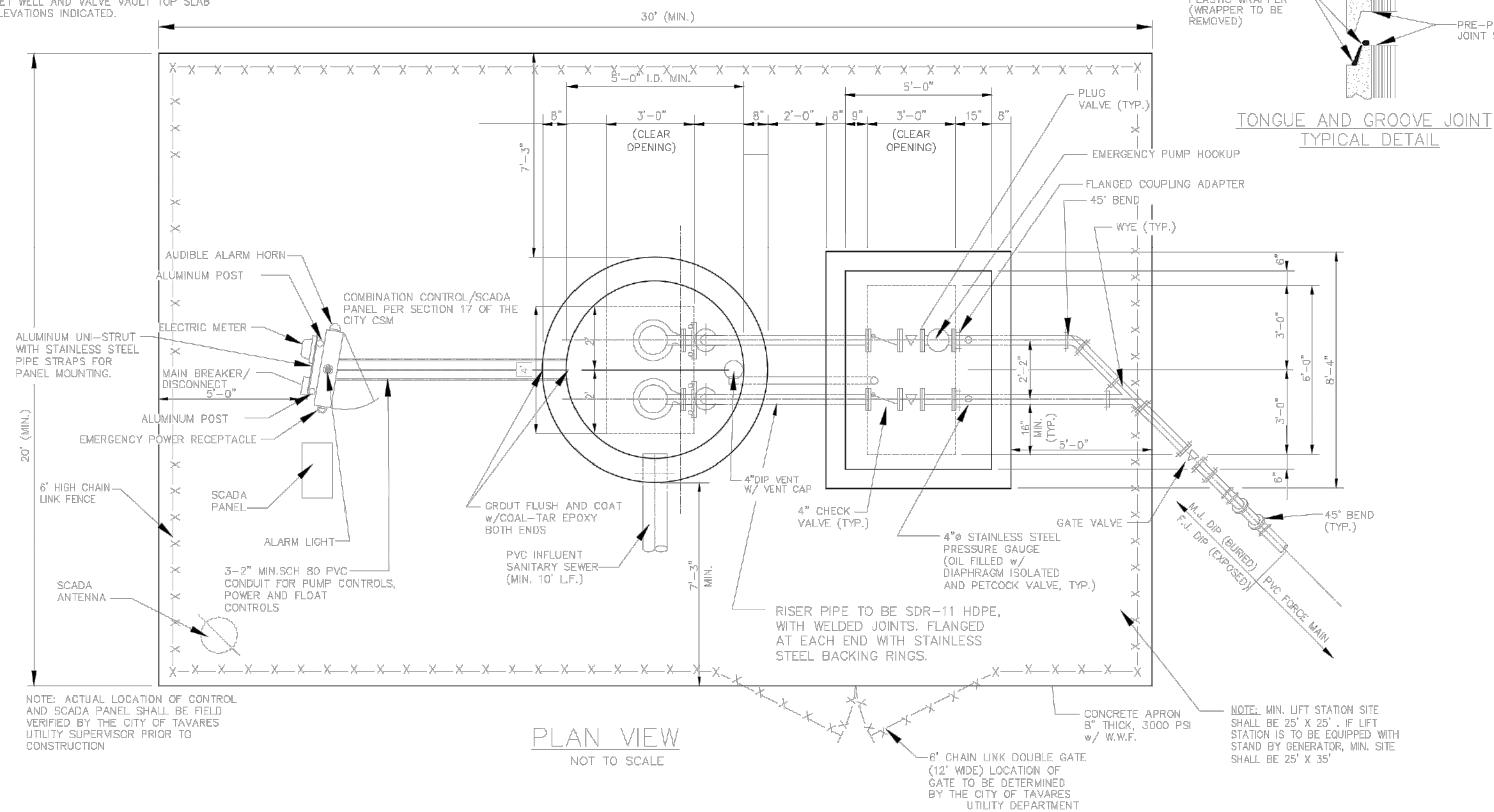
DP	Drawn
DP	Checked
---	Scale
09-07-21	Date
WH2-C17	File

Dwg. No. **C17**  
20 of 83

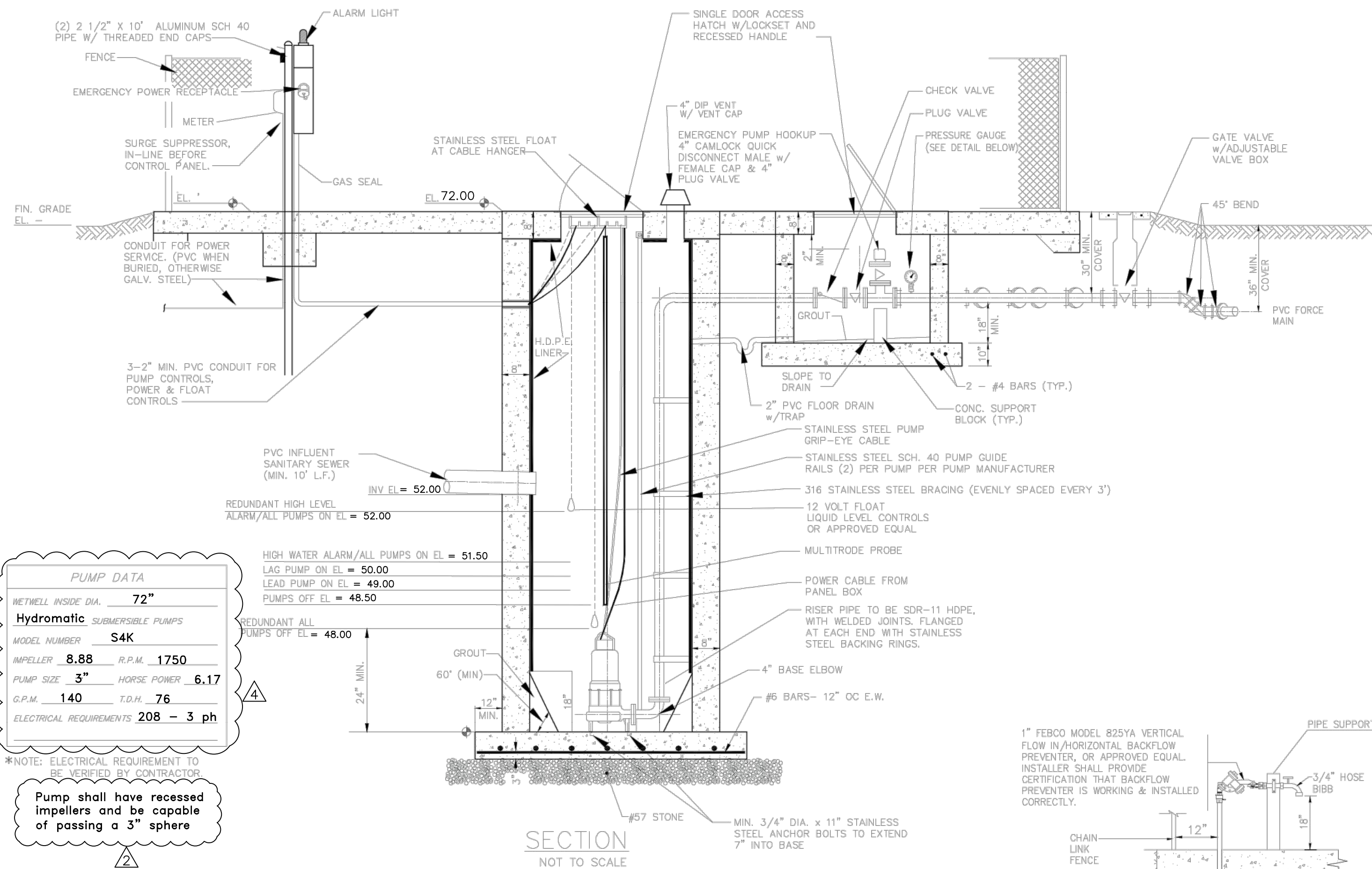


NOTES:

1. FINISH GRADE SHALL BE 6" BELOW NET WELL AND VALVE VAULT TOP SLAB ELEVATIONS INDICATED.



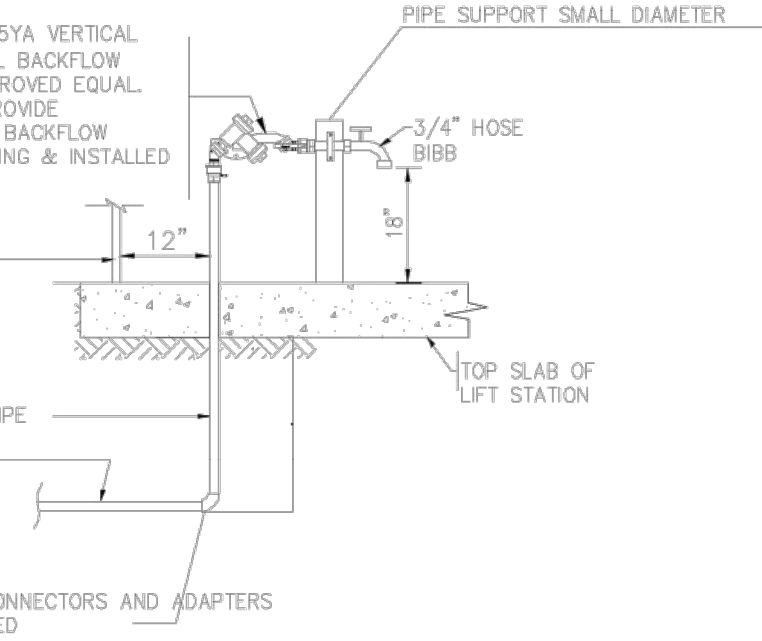
PLAN VIEW  
NOT TO SCALE



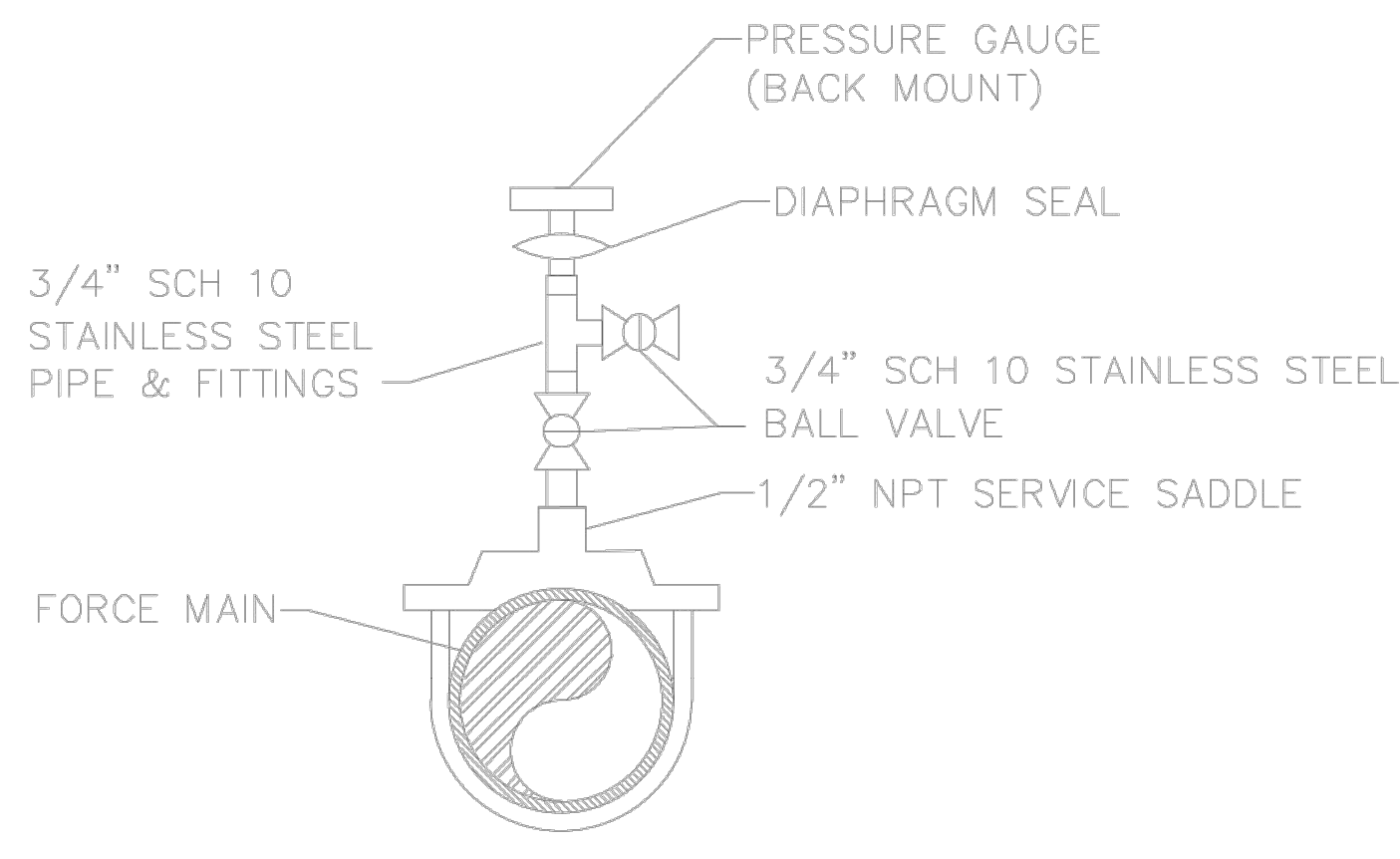
SECTION  
NOT TO SCALE

PUMP DATA	
NETWELL INSIDE DIA.	72"
Hydromatic SUBMERSIBLE PUMPS	
MODEL NUMBER	S4K
IMPELLER	8.88 R.P.M. 1750
PUMP SIZE	3" HORSE POWER 6.17
G.P.M.	140 T.O.H. 76
ELECTRICAL REQUIREMENTS	208 - 3 PH

\*NOTE: ELECTRICAL REQUIREMENT TO BE VERIFIED BY CONTRACTOR  
Pump shall have recessed impellers and be capable of passing a 3" sphere



HOSE BIBB DETAIL  
NOT TO SCALE



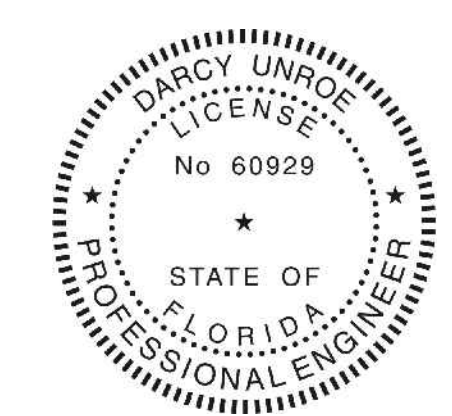
PRESSURE GAUGE DETAIL  
NOT TO SCALE

NOTES:

1. PUMPS: SHALL HAVE (2) 2" STAINLESS STEEL GUIDE RAILS PER PUMP AND A BPI FRONT DUPLEX SYSTEM.
2. LEVEL CONTROLS: SHALL BE IN ACCORDANCE WITH SECTION 17 OF THE CITY UTILITY MANUAL.
3. WET WELL ACCESS COVER: SHALL HAVE CLEAR OPENING OF 36"x48". ACCESS FRAME AND COVER SHALL HAVE A 1/4" THICK ONE-PIECE, MILL FINISH, EXTRUDED ALUMINUM FRAME, INCORPORATING A CONTINUOUS CONCRETE ANCHOR. DOOR PANEL(S) SHALL BE 1/4" ALUMINUM DIAMOND PLATE, REINFORCED TO WITHSTAND A LIVE LOAD OF 300 PSF. DOOR(S) SHALL OPEN TO 90° AND AUTOMATICALLY LOCK WITH STAINLESS STEEL HOLD OPEN ARMS WITH ALUMINUM RELEASE HANDLES. DOOR(S) SHALL CLOSE FLUSH WITH THE FRAME. UNIT SHALL LOCK WITH A NONCORROSIVE LOCKING BAR. FRAME SHALL SUPPORT GUIDE RAILS AND CABLE HOLDER FOR ELECTRICAL WIRING. ALL SURFACES IN CONTACT WITH CONCRETE SHALL HAVE A SHOP COAT OF ZINC CHROMATIC PRIMER APPROVED ALKALI RESISTANT PAINT OR APPROVED PROTECTIVE COATING. DOUBLE DOOR ACCESS COVERS SHALL HAVE REMOVABLE CENTER BAR SUPPORT. COVER MUST BE COMPATIBLE WITH PUMP.
4. VALVE VAULT ACCESS COVER: SHALL HAVE CLEAR OPENING OF 36"x72" ACCESS AS MANUFACTURED IN ACCORDANCE WITH APPENDIX A, APPROVED MANUFACTURER LIST OF THE CITY CSM. ACCESS FRAME AND COVER SHALL HAVE A 1/4" THICK ONE-PIECE, MILL FINISH, EXTRUDED ALUMINUM FRAME, INCORPORATING A CONTINUOUS CONCRETE ANCHOR. DOOR PANEL(S) SHALL BE 1/4" ALUMINUM DIAMOND PLATE, REINFORCED TO WITHSTAND A LIVE LOAD OF 300 PSF. DOOR(S) SHALL OPEN TO 90° AND AUTOMATICALLY LOCK WITH STAINLESS STEEL HOLD OPEN ARMS WITH ALUMINUM RELEASE HANDLES. DOOR(S) SHALL CLOSE FLUSH WITH THE FRAME. UNIT SHALL LOCK WITH A NONCORROSIVE LOCKING BAR. ALL ACCESS FRAME, COVER, HARDWARE, AND FASTENERS SHALL BE CONSTRUCTED OF 316 STAINLESS STEEL. ALL SURFACES IN CONTACT WITH CONCRETE SHALL HAVE A SHOP COAT OF ZINC CHROMATIC PRIMER, APPROVED ALKALI RESISTANT PAINT OR APPROVED PROTECTIVE COATING. DOUBLE DOOR ACCESS COVERS SHALL HAVE REMOVABLE CENTER BAR SUPPORT. COVER MUST BE COMPATIBLE WITH PUMP.
5. ELECTRICAL SERVICE ENTRANCE: PROVIDE METER SOCKET AND MAIN DISCONNECT MEETING APPLICABLE ELECTRIC CODES AND REQUIREMENTS OF POWER COMPANY. LIGHTNING AND VOLTAGE SURGE PROTECTION TO BE PROVIDED. COST FOR THE ELECTRICAL SERVICE AND COORDINATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
6. CONTROL PANEL: SHALL BE IN ACCORDANCE WITH SECTION 17 OF THE CITY CSM. PANEL SHALL BE EQUIPPED WITH THREE, 2" X 6" ALUMINUM NIPPLES TO THE SEALOFFS, WITH SCH 80 PVC TO WET WELL.
7. PAINT: INSIDE AND OUTSIDE OF VALVE VAULT SHALL BE PAINTED WITH TWO COATS OF MATERIAL IN ACCORDANCE WITH APPENDIX A, APPROVED MANUFACTURER LIST OF THE CITY CSM APPLIED AS PER MANUFACTURER'S RECOMMENDATIONS.
8. VALVE VAULT: PRECAST CONCRETE 60"x 84" (MINIMUM) INSIDE DIMENSIONS.
9. STEEL PLACED IN BOTTOM SLAB IS TO BE IDENTICAL TO THE TOP SLAB EXCEPT THAT DIAGONAL BARS AND OPENINGS ARE ELIMINATED. STEEL IS CONTINUOUS AND SLAB IS SOLID.
10. CONTRACTOR TO CONFIRM SERVICE ARRANGEMENTS WITH POWER COMPANY BEFORE COMMENCING WORK. CONTRACTOR TO RUN UNDERGROUND WIRING TO NEAREST TRANSFORMER OR HAND HOLE.
11. ALL FASTENERS ON FLANGES AND ETC. INSIDE WET WELL WILL BE STAINLESS STEEL.
12. DIMENSIONS BETWEEN CENTERLINE OF PIPES ARE STANDARD FOR PIPE SIZES SPECIFIED.
13. SHOP DRAWINGS OF ENTIRE INSTALLATION MUST BE APPROVED BY CITY PRIOR TO PLACEMENT OF ORDER.
14. PLUG VALVES SHALL BE CONSTRUCTED WITH RESILIENT FACED PLUGS. ON BY-PASS LINES, VALVES SHALL BE BURIED WITH ACCESS THROUGH CAST IRON VALVE BOXES. VALVES SHALL HAVE A 2" OPERATION NUT. ONE(1) 5' LONG VALVE WRENCH SHALL BE PROVIDED TO THE CITY OF TAVARES PER LIFT STATION. ALL PLUG VALVES 8" AND SMALLER SHALL BE 1/4 TURN TYPE.
15. ALL EXPOSED AND EMBEDDED CONDUITS TO BE SCHEDULE 80 PVC.
16. ALL EXPOSED METAL SHALL BE PAINTED WITH TWO (2) COATS OF EXTERIOR BLACK ENAMEL PAINT.
17. ALL EXTERNAL PIPING SHALL BE DUCTILE IRON CLASS 50 (FLANGED JOINT FOR EXPOSED PIPE & MECHANICAL JOINT FOR BURIED PIPE). ALL INTERNAL WET WELL PIPING FROM THE PUMP DISCHARGE ELBOW TO THE VALVE BOX SHALL BE MINIMUM SDR-11 HDPE.
18. ALL DIMENSIONS AND LOCATIONS OF UTILITIES TO BE FIELD VERIFIED BY CONTRACTOR.
19. PRESSURE GAUGES SHALL BE STAINLESS STEEL WITH STAINLESS STEEL DIAPHRAGM, LIQUID FILLED, 4" DIAMETER DIAL WITH 0-100 PSI RANGE. CHECK VALVES SHALL OUTSIDE LEVER AND WEIGHT.
20. PADLOCKS FOR ACCESS COVERS AND CONTROL PANEL SHALL BE KEYS ALIKE, FURNISH TWO (2) KEYS PER LOCK. BOLTS IN LOCKING DEVICE SHALL BE STAINLESS STEEL.
21. WET WELL TO BE H.D.P.E. LINED WITH A MINIMUM THICKNESS OF 2 MM, MECHANICALLY ANCHORED TO THE CONCRETE. ALL JOINTS SHALL BE EXTRUSION WELDED BY CERTIFIED WELDERS.
22. SOO ALL AREAS DISTURBED BY CONSTRUCTION.
23. ALL ALUMINUM SURFACES IN CONTACT WITH CONCRETE WILL REQUIRE SHOP COATING OF SUITABLE PROTECTIVE COATING TO RESIST CORROSION.
24. BYPASS PUMPING: CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BYPASS PUMPING. A BYPASS PUMPING PLAN SHALL BE SUBMITTED AT THE TIME OR PERMIT APPLICATION TO THE ENVIRONMENTAL SERVICES DIRECTOR. CITIZEN CONSIDERATION WILL BE REVIEWED WHEN BYPASS PUMPING EQUIPMENT IS REQUIRED. SOUND ATTENUATING ENCLOSURES MAY BE REQUIRED, AT THE DISCRETION OF THE ENVIRONMENTAL SERVICES DIRECTOR.
25. FIELD TESTING: THE CONTRACTOR SHALL FURNISH THE SERVICES OF THE SYSTEM SUPPLIER'S SERVICEMAN, ALL SPECIAL TOOLS, CALIBRATION EQUIPMENT, AND LABOR TO PERFORM THE TESTS. CERTIFIED COPIES OF THE TESTS SHALL BE FURNISHED IN DUPLICATE TO THE CITY ENGINEER PRIOR TO FINAL APPROVAL.
26. DRIVEWAY SHALL HAVE A MINIMUM WIDTH OF 12 FEET.

DATE: FEB 2022  
DETAIL WW-11

Howey-in-the-Hills  
Standard Details



Revisions	Date	Description
1	11/22/23	Town Comm
2	12/9/22	Town Comm
3	9/19/22	Town Comm

**Unroe Engineering, Inc**  
Civil Engineering/Planning/Scientific Evaluation  
PO Box 690942, Orlando, FL 32869-0942  
Business Authorization Number: EB 00066579 ph (407) 299-0650

**SANITARY SEWER LIFT STATION**  
WHISPERING HEIGHTS Subdivision  
Buckhill Road, Howey-in-the-Hills, Florida

DP	Drawn
DP	Checked
---	Scale
09-07-21	Date
WH2-C19	File
Dwg. No.	
<b>C19</b>	
21	of 83

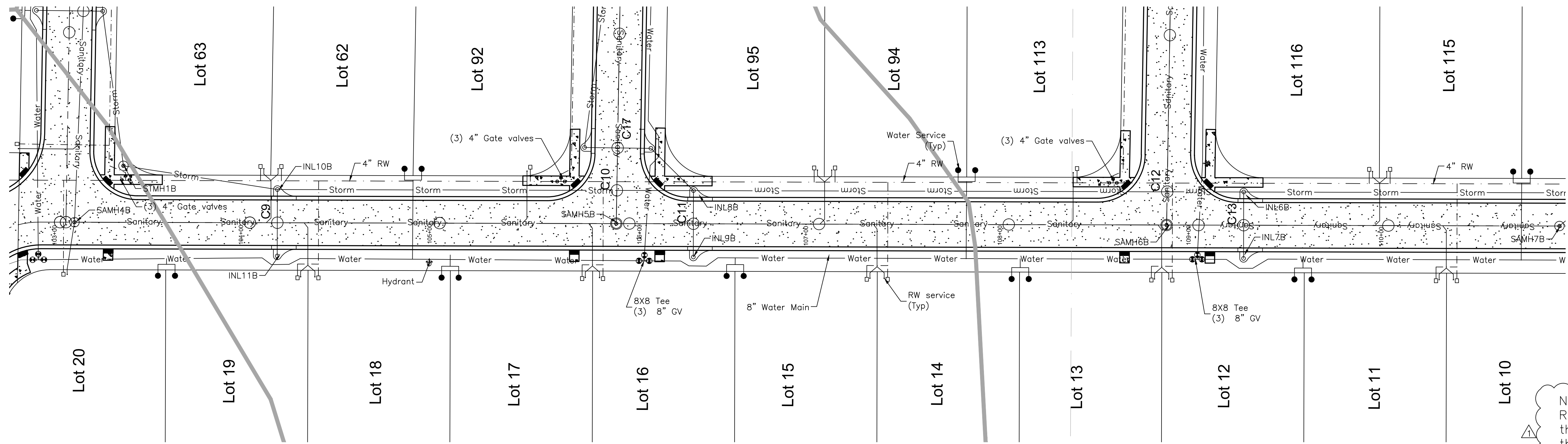






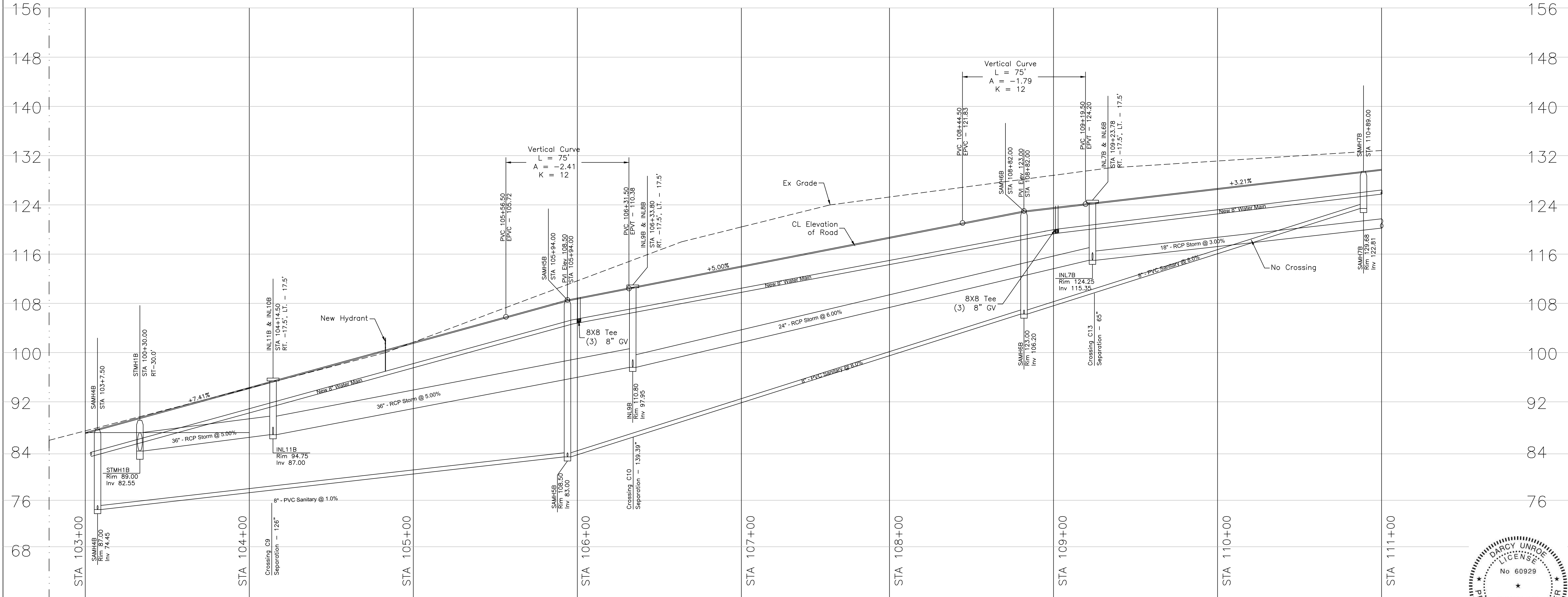




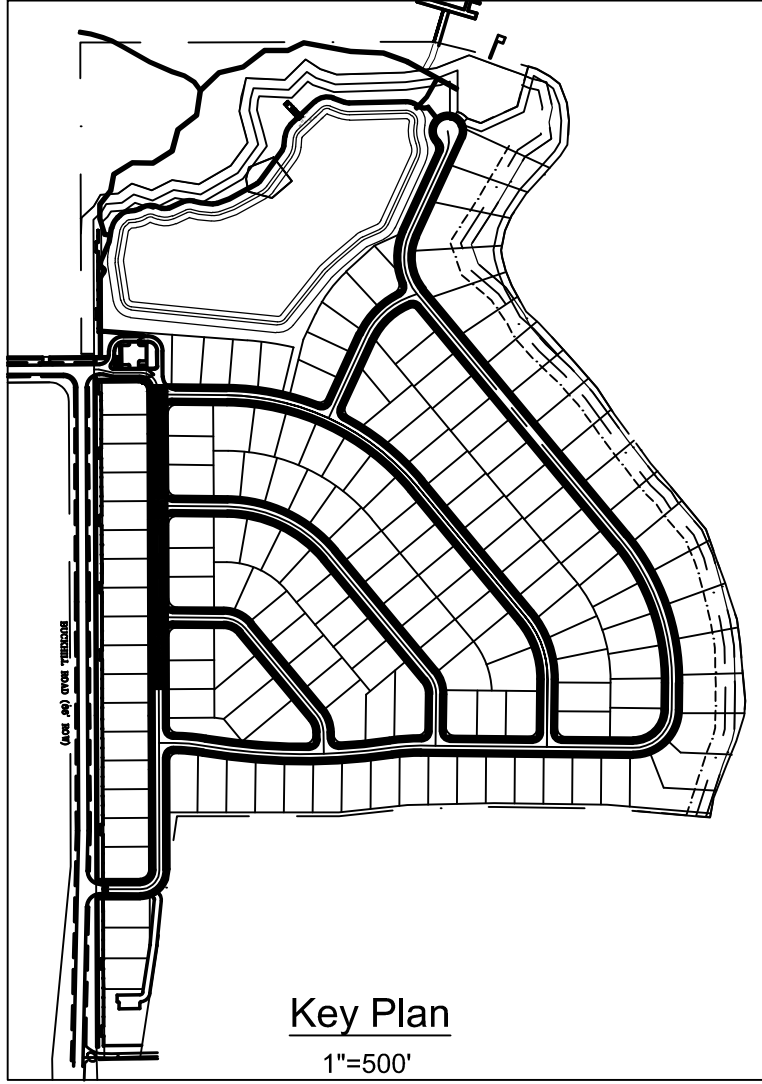


Plan View  
Scale: 1"=30'

Note:  
Reclaimed lines shall be set at the same vertical elevation as the proposed water main, on the other side of the street. The lines have been omitted from the profile for clarity.



Profile View  
Scale: 1/8"=1'



Revisions	Date	Description	#
	9/19/22	Town Comm	

**Unroe Engineering, Inc**  
 Civil Engineering/Planning/Scientific Evaluation  
 PO Box 690942, Orlando, FL 32869-0942  
 Business Authorization Number: EB 0006579 ph (407) 299-0650

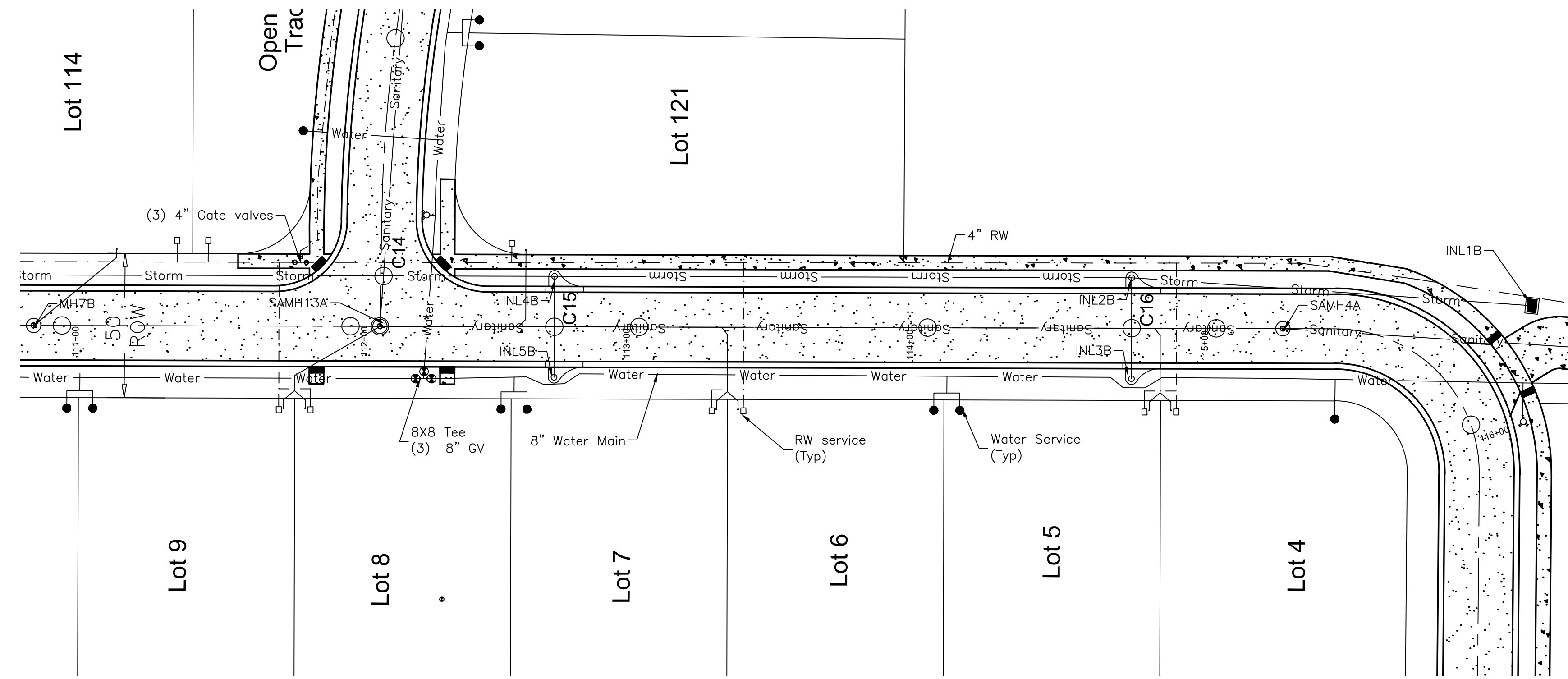
**Plan - Profile Sheet 4**  
 WHISPERING HEIGHTS Subdivision  
 Buckhill Road, Howey-in-the-Hills, Florida

DP	Drawn
DP	Checked
1"=30'	Scale
09-07-21	Date
WH2-PP4	File

Dwg. No. **PP4**  
 25 of 83

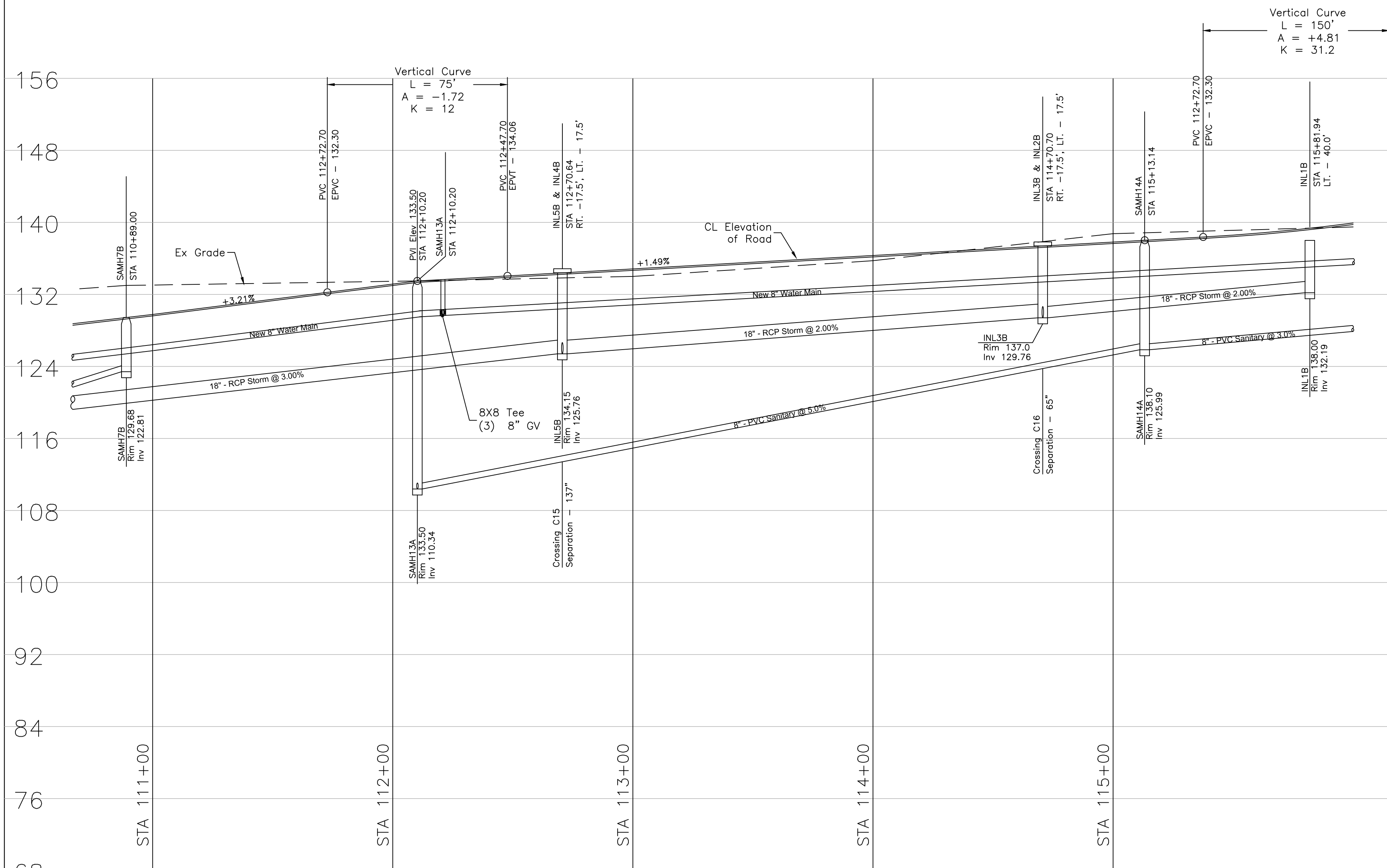


Darcy Unroe PE 60929

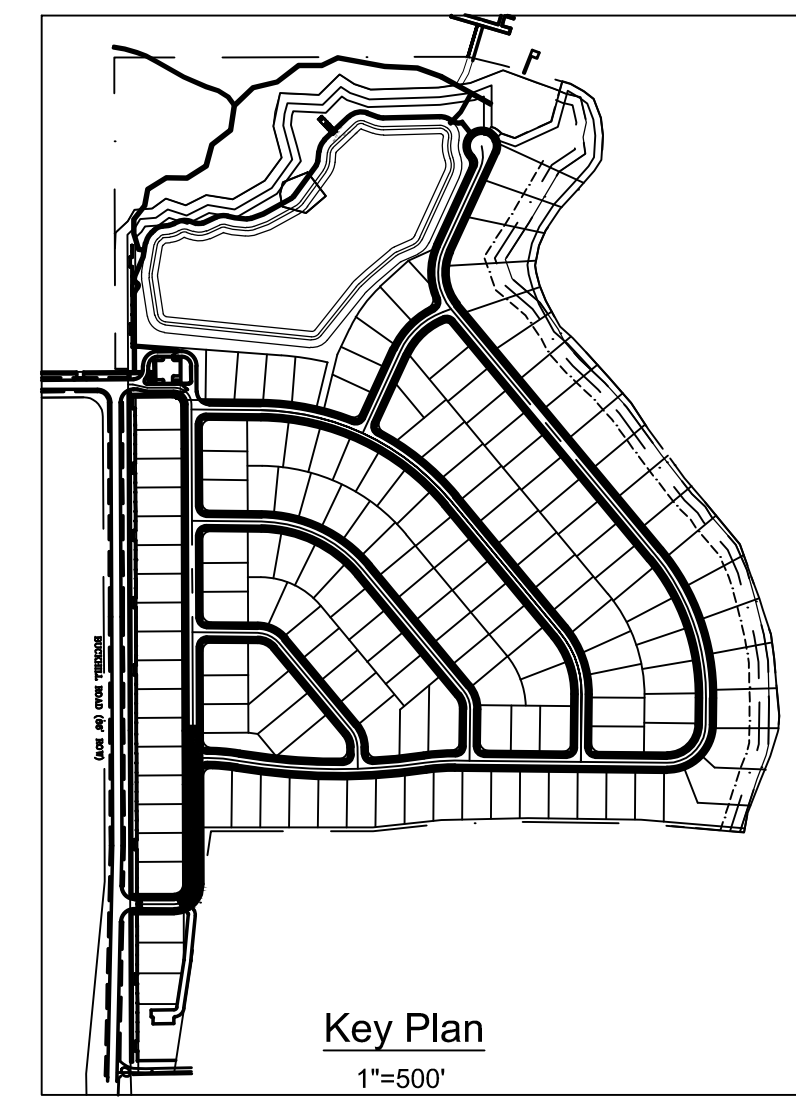


Plan View  
Scale: 1"=30"

Note:  
Reclaimed lines shall be set at the same vertical elevation as the proposed water main, on the other side of the street. The lines have been omitted from the profile for clarity.



Profile View  
Scale: 1/8"=1'



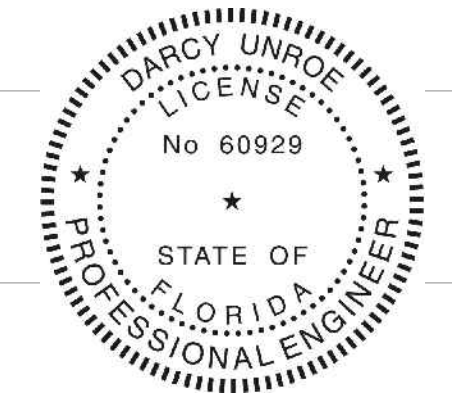
Key Plan  
1"=500'

Revisions		Item 3
#	Date	Description

**Unroe Engineering, Inc**  
 Civil Engineering/Planning/Scientific Evaluation  
 PO Box 690942, Orlando, FL 32869-0942  
 Business Authorization Number - EB 0006579    ph (407) 299-0650

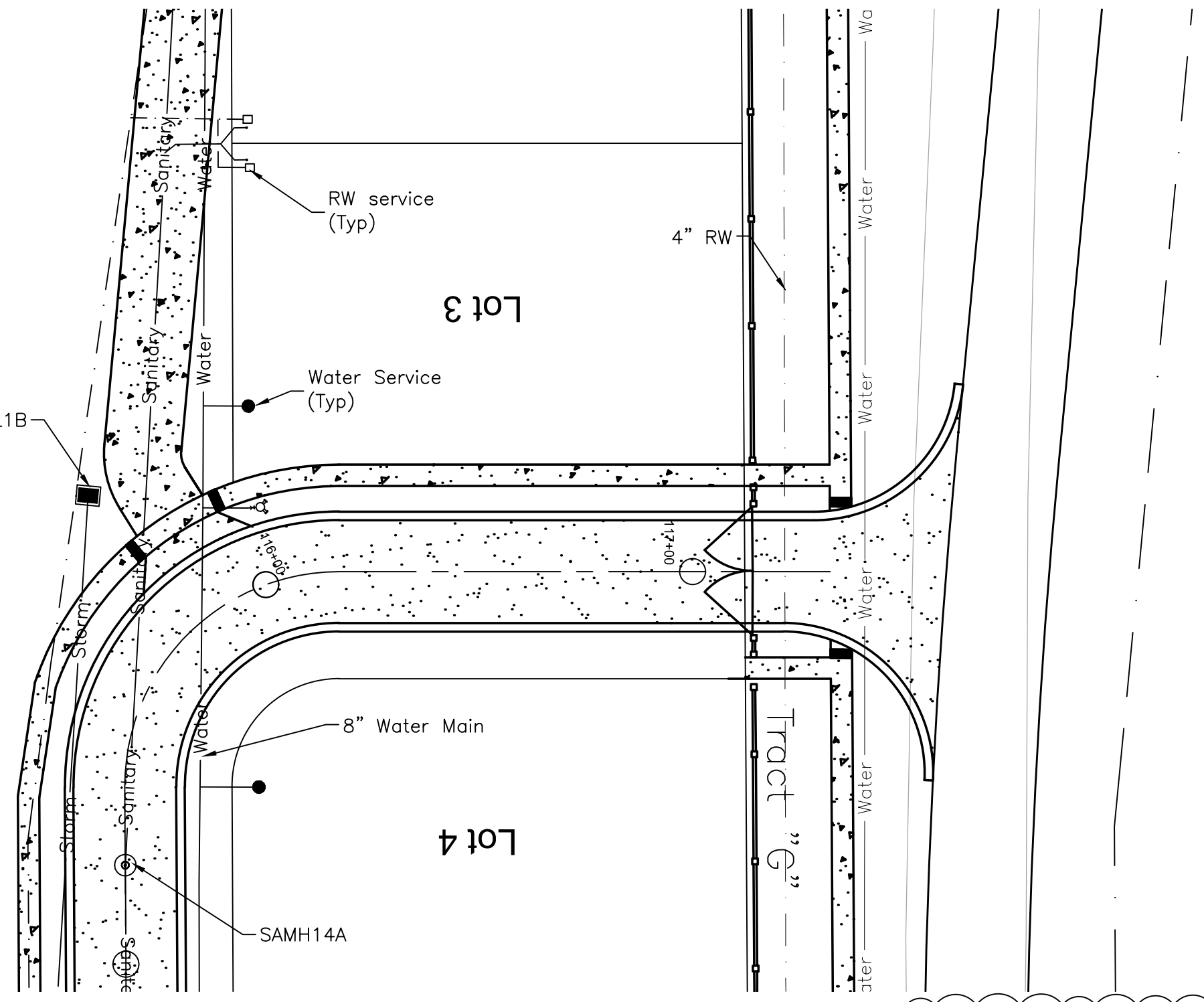
**Plan - Profile Sheet 5**  
**Whispering Hills Subdivision**  
 Buckhill Road, Howey-in-the-Hills, Florida

DP	Drawn
DP	Checked
1"=30'	Scale
09-07-21	Date
WH2-PP5	File



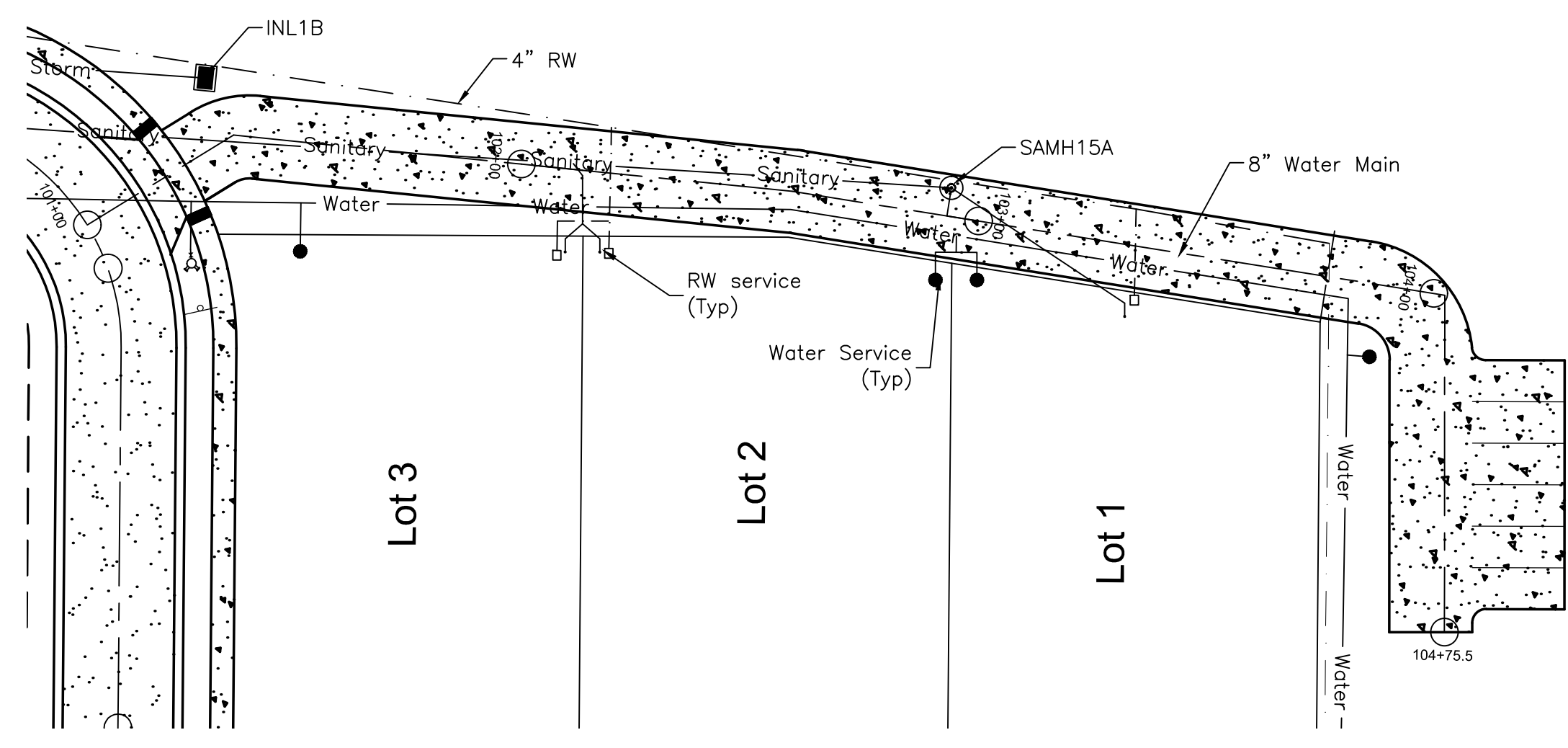
Dwg. No. **PP5**  
 26 of 83



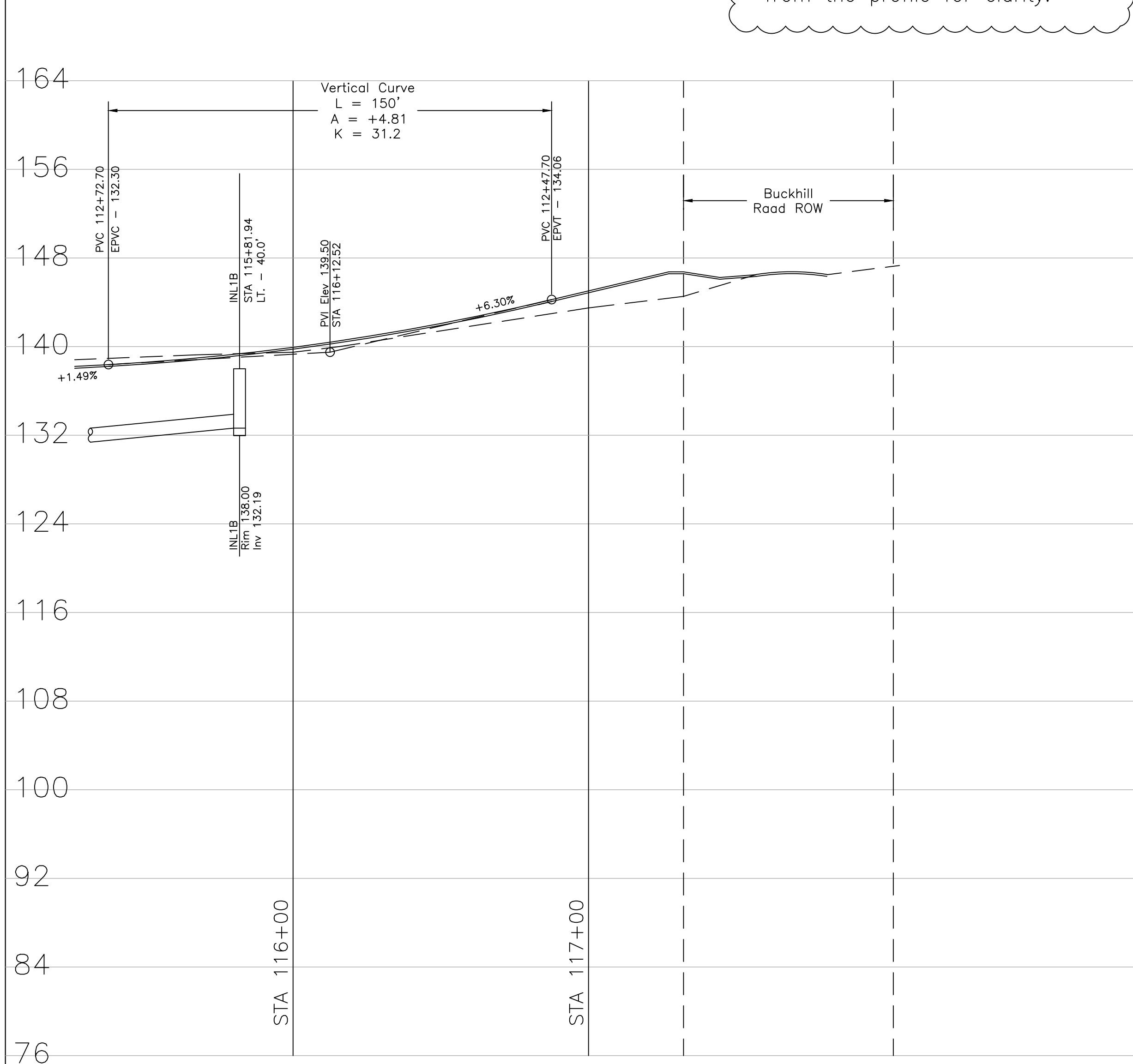
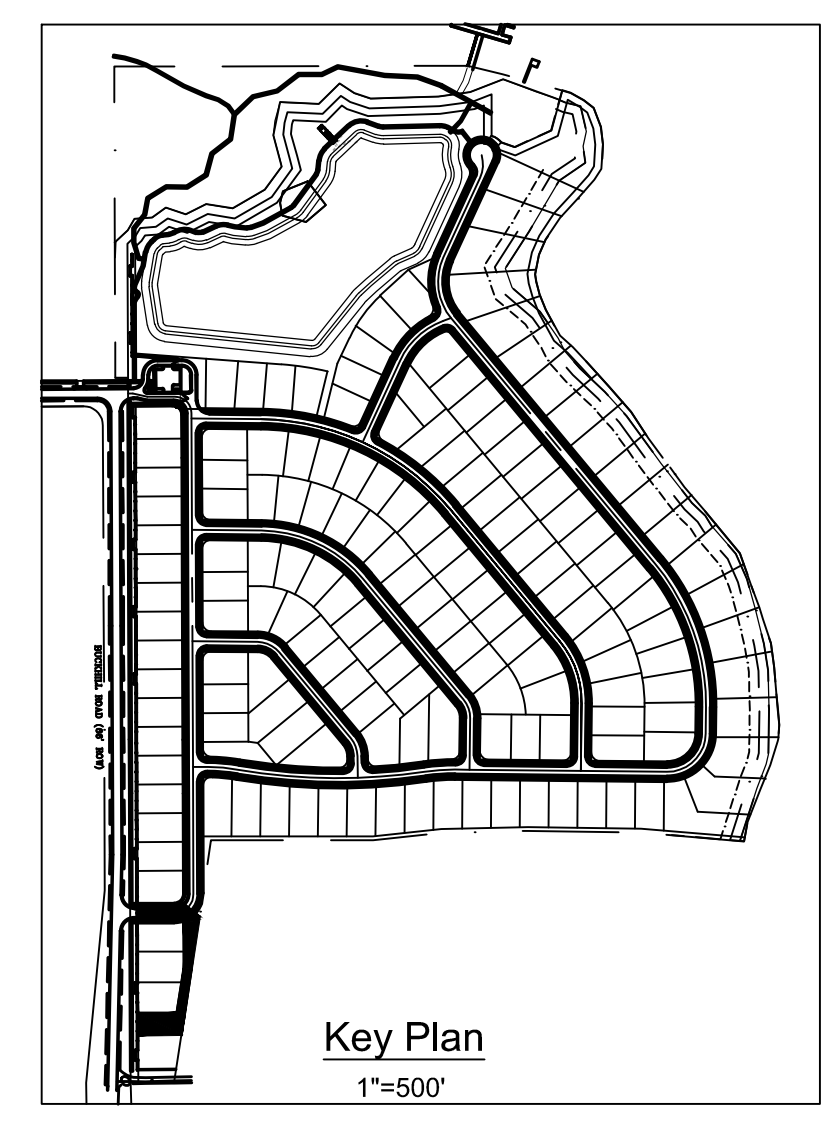


Plan View  
Scale: 1"=30"

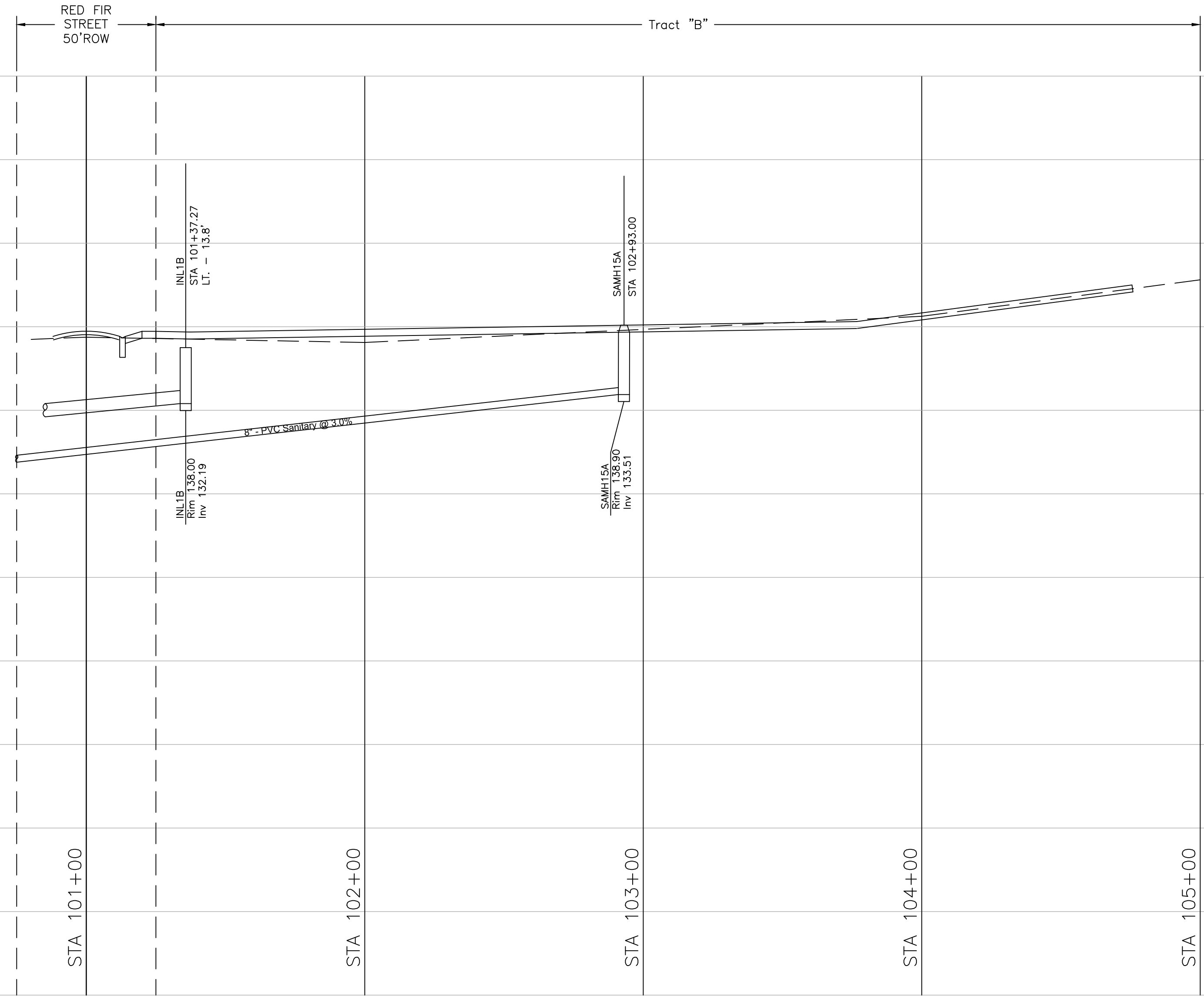
Note:  
Reclaimed lines shall be set at the same vertical elevation as the proposed water main, on the other side of the street. The lines have been omitted from the profile for clarity.



Plan View  
Scale: 1"=30"



Profile View  
Scale: 1/8"=1'



Profile View  
Scale: 1/8"=1'

Revisions	#	Date	Description

**Unroe Engineering, Inc**  
 Civil Engineering/Planning/Scientific Evaluation  
 PO Box 690942, Orlando, FL 32869-0942  
 Business Authorization Number - EB 0006579 ph (407) 299-0650

**Plan - Profile Sheet 6**  
**Whispering Hills Subdivision**  
 Buckhill Road, Howey-in-the-Hills, Florida

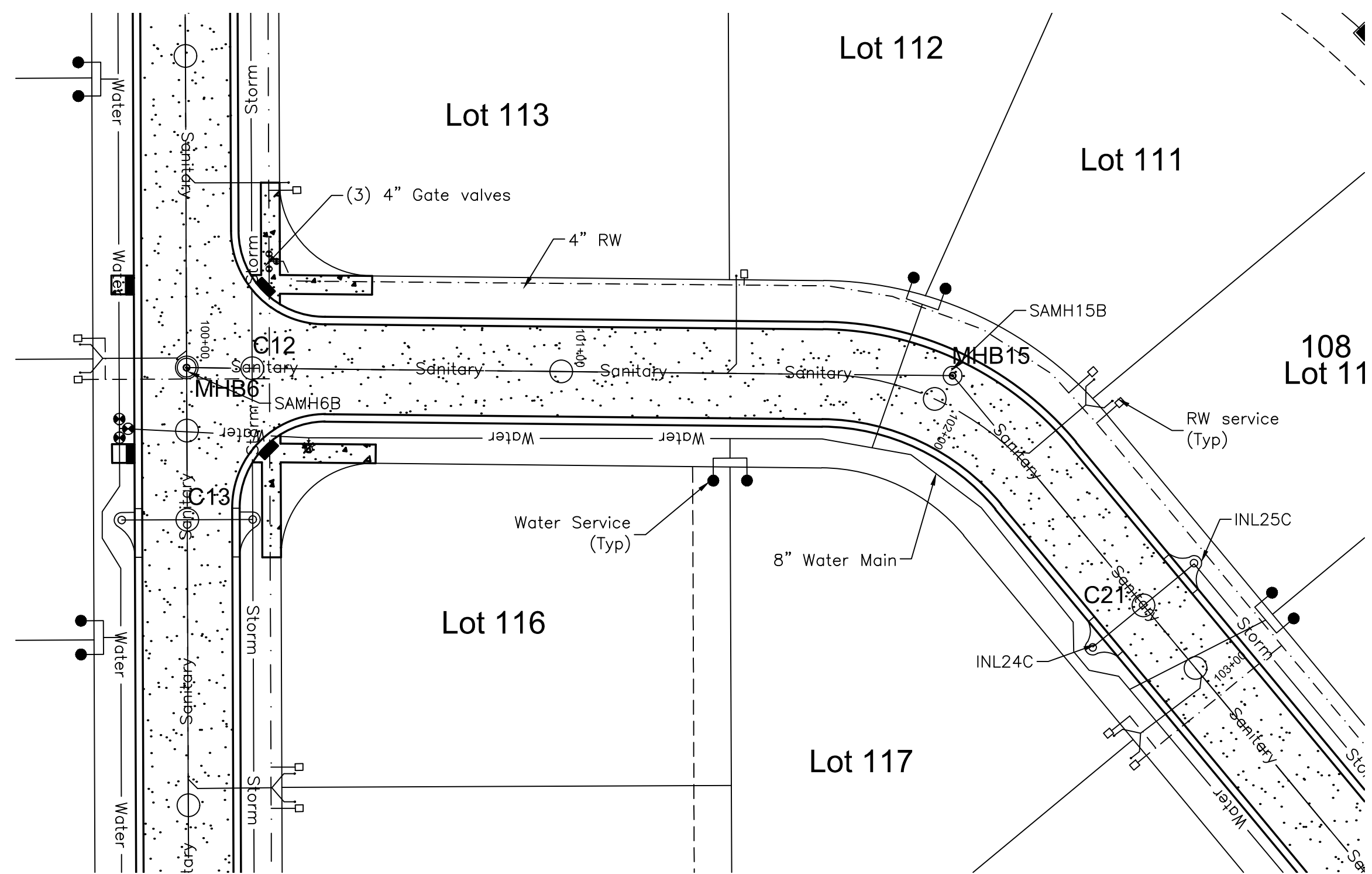
DP	Drawn
DP	Checked
1"=30'	Scale
09-07-21	Date
WH2-PP6	File



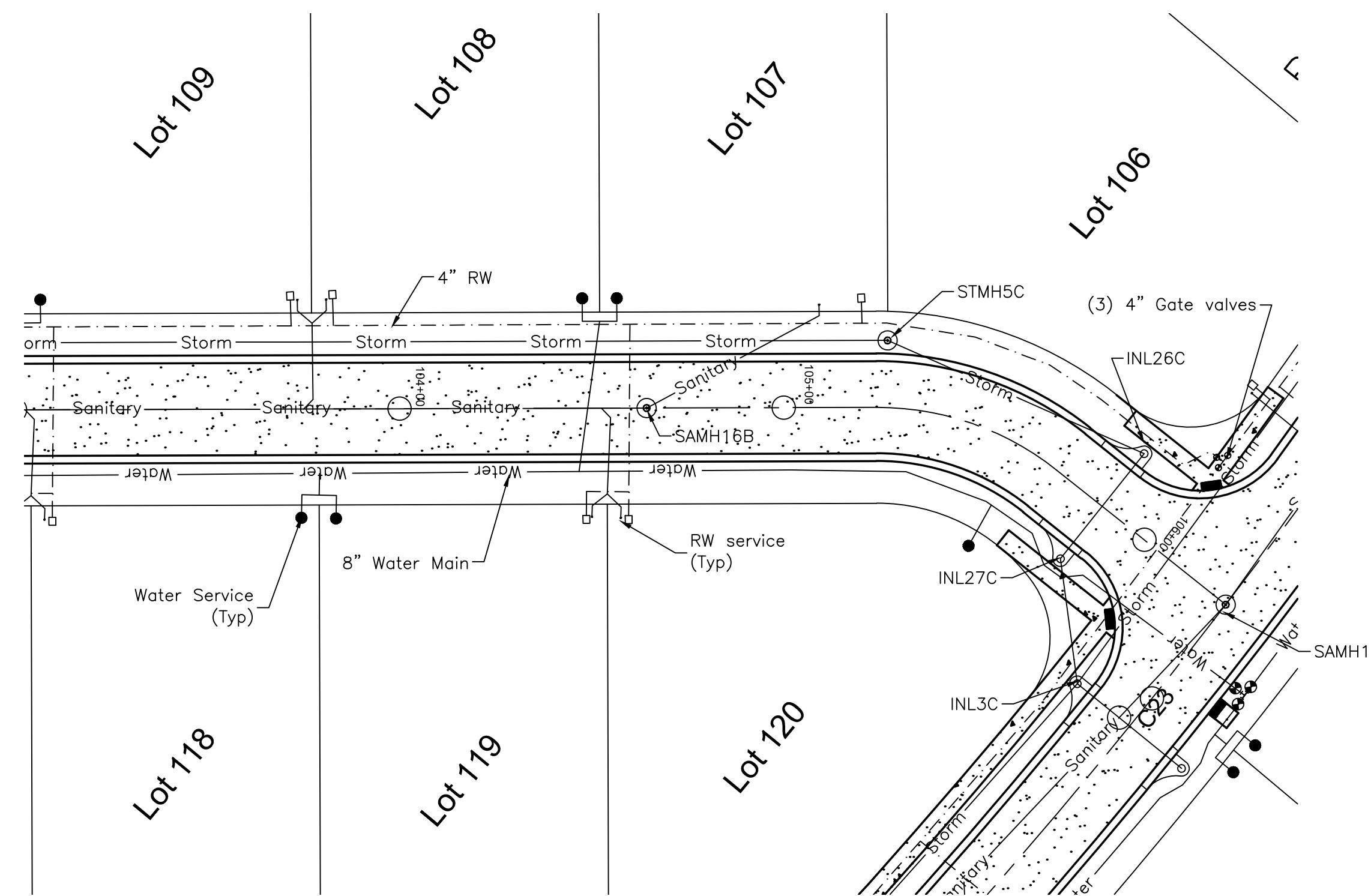
Dwg. No. **PP6**  
 27 of 83



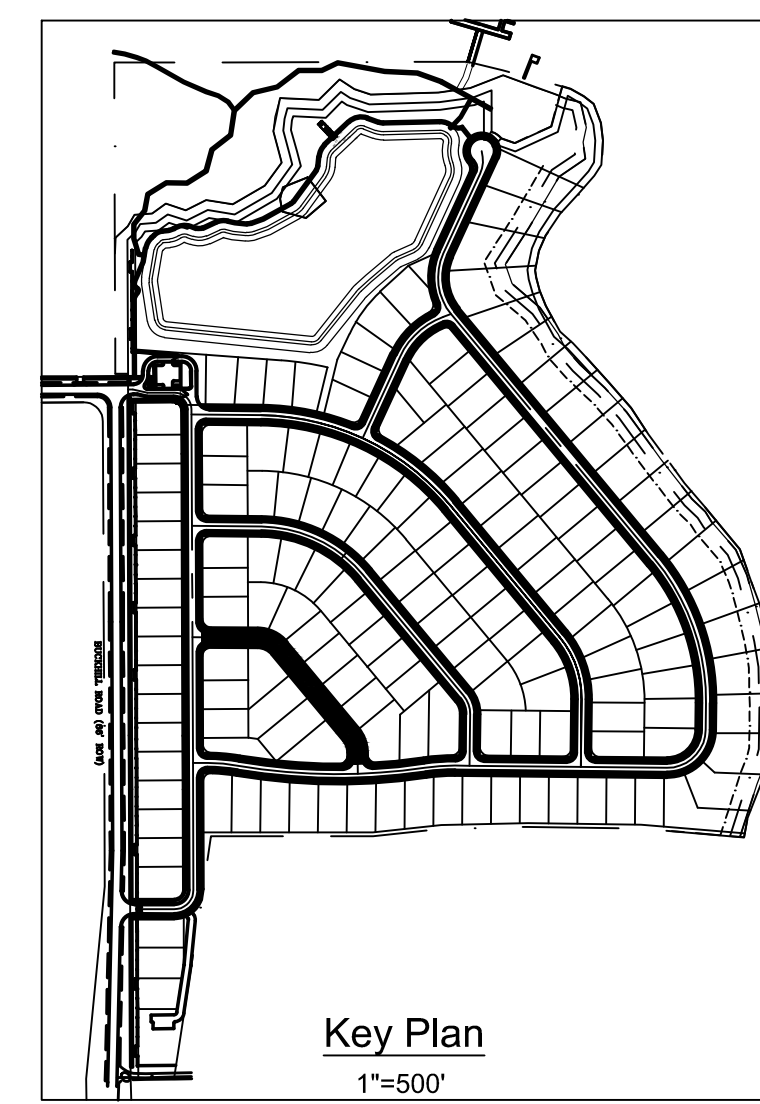




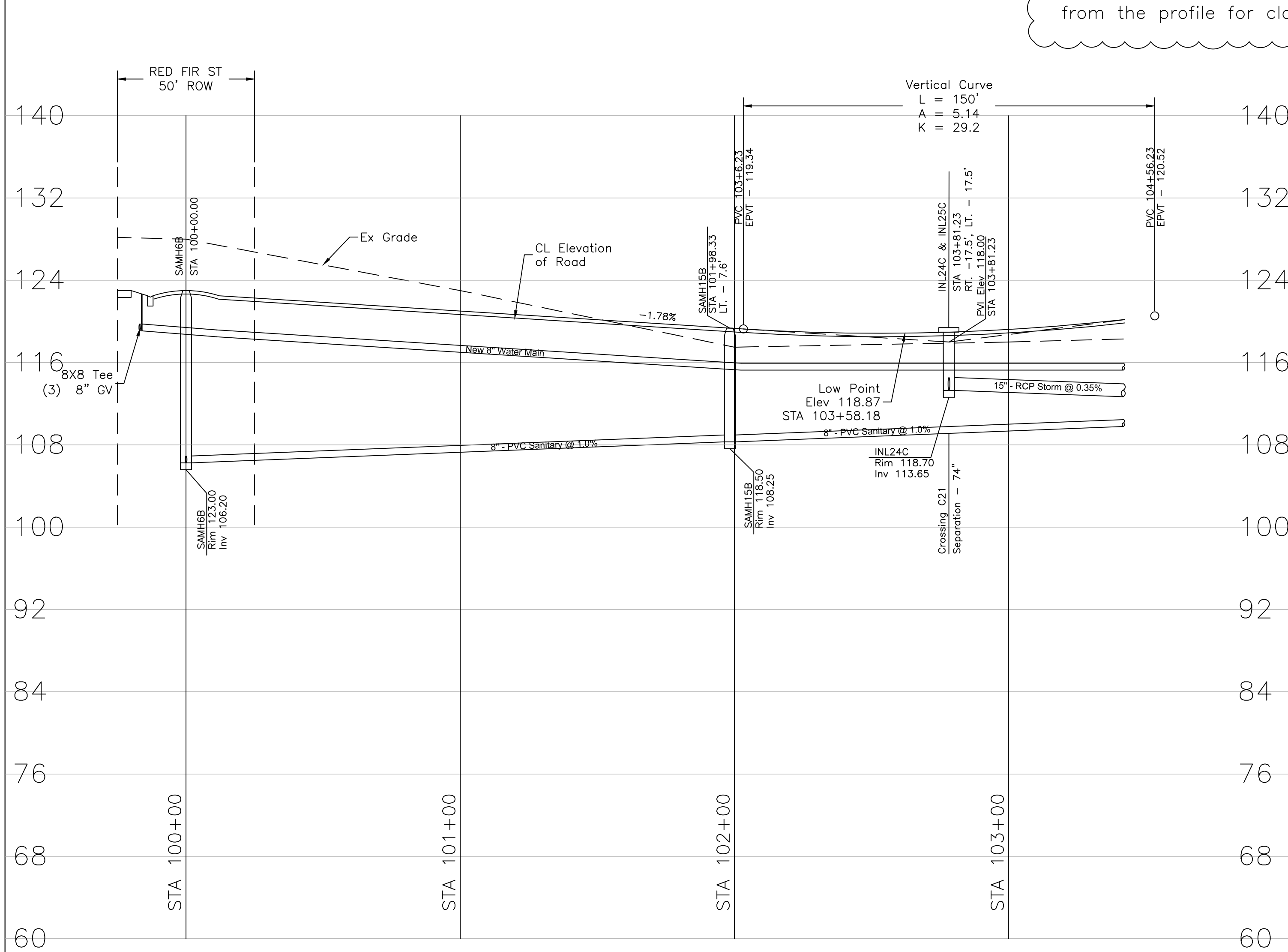
Plan View  
Scale: 1"=30"



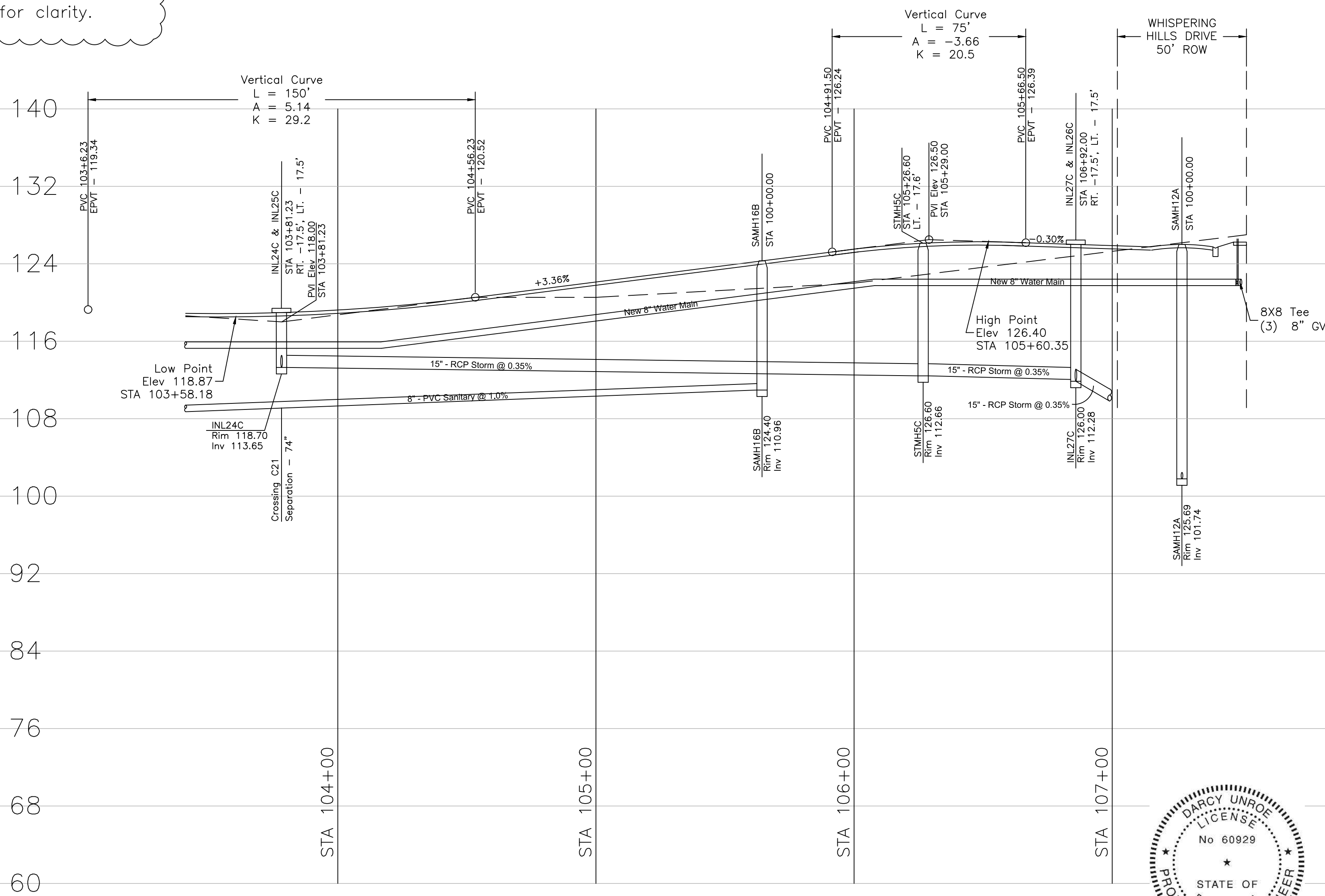
Plan View  
Scale: 1"=30"



Note:  
Reclaimed lines shall be set at the same vertical elevation as the proposed water main, on the other side of the street. The lines have been omitted from the profile for clarity.



Profile View  
Scale: 1/8"=1'



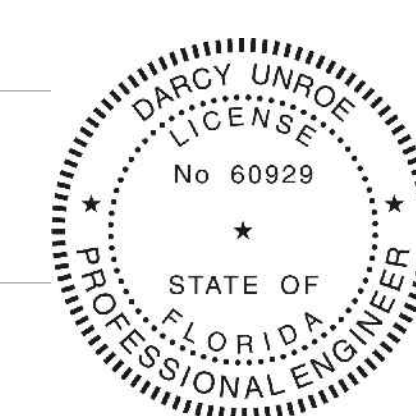
Profile View  
Scale: 1/8"=1'

Item #	Date	Description

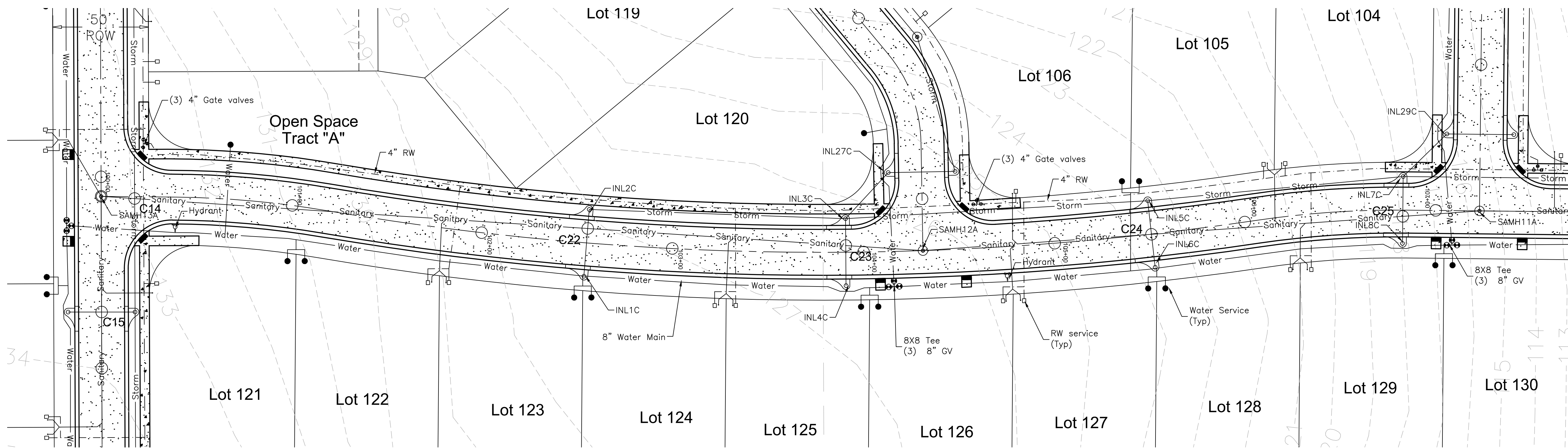
**Unroe Engineering, Inc**  
 Civil Engineering/Planning/Scientific Evaluation  
 PO Box 690942, Orlando, FL 32869-0942  
 Business Authorization Number - EB 0006579 ph (407) 299-0650

**Plan - Profile Sheet 9**  
 Whispering Hills Subdivision  
 Buckhill Road, Howey-in-the-Hills, Florida

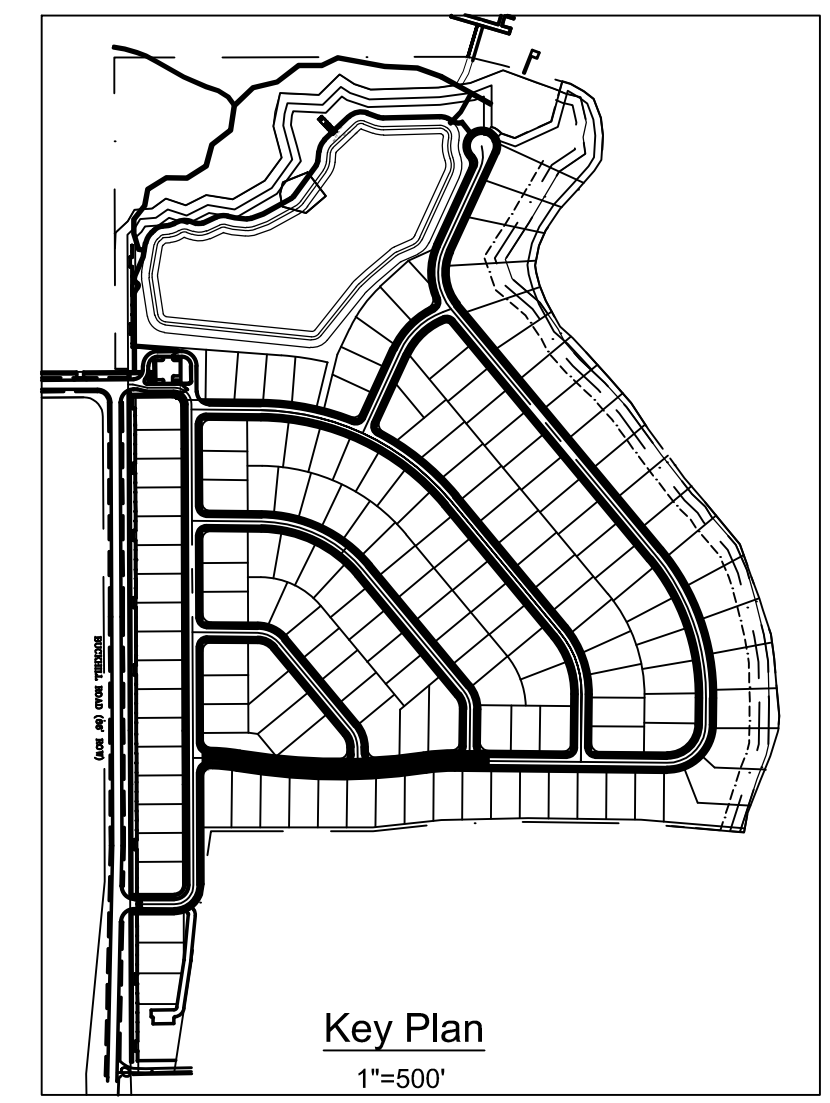
DP	Drawn
DP	Checked
1"=30'	Scale
09-07-21	Date
WH2-PP9	File
Dwg. No.	
<b>PP9</b>	
30	of 83





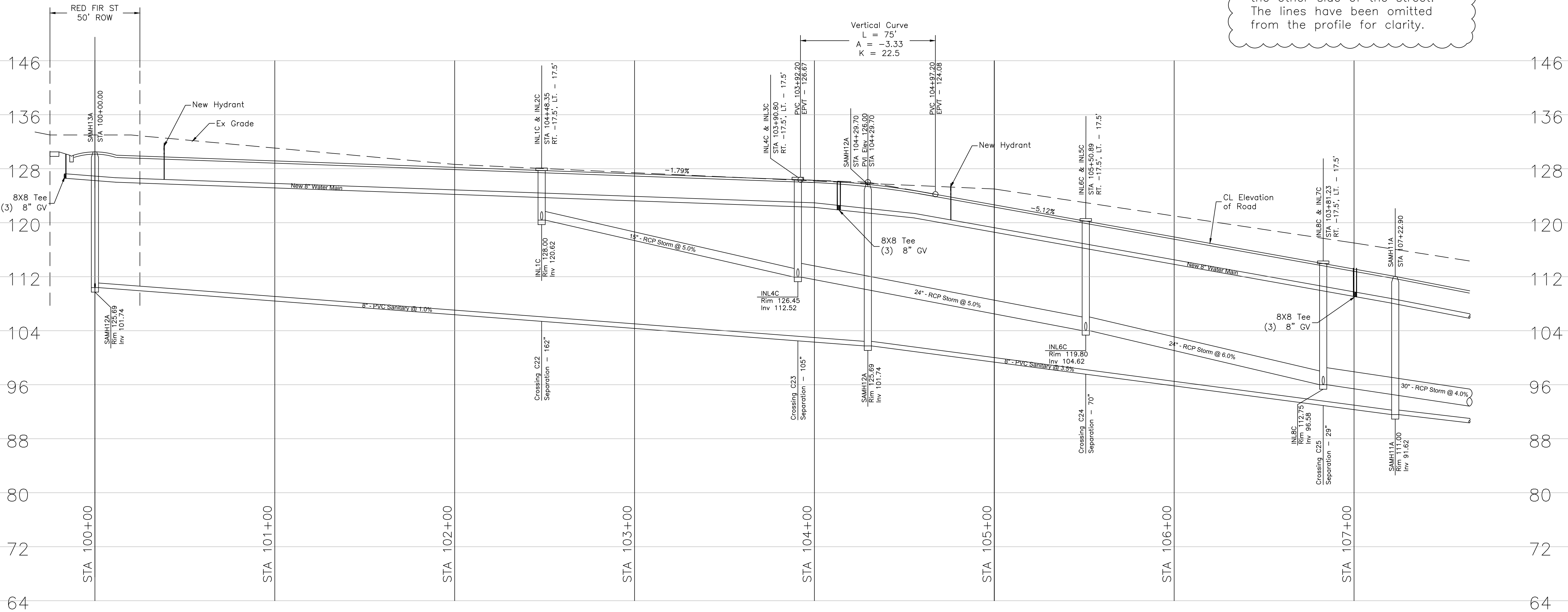


Plan View  
Scale: 1"=30'



Revisions		
#	Date	Description

Note:  
Reclaimed lines shall be set at the same vertical elevation as the proposed water main, on the other side of the street. The lines have been omitted from the profile for clarity.

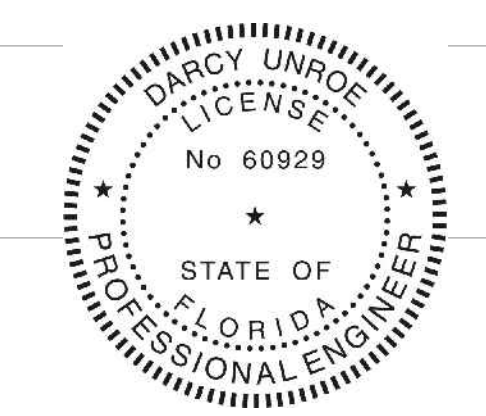


Profile View  
Scale: 1/8"=1'

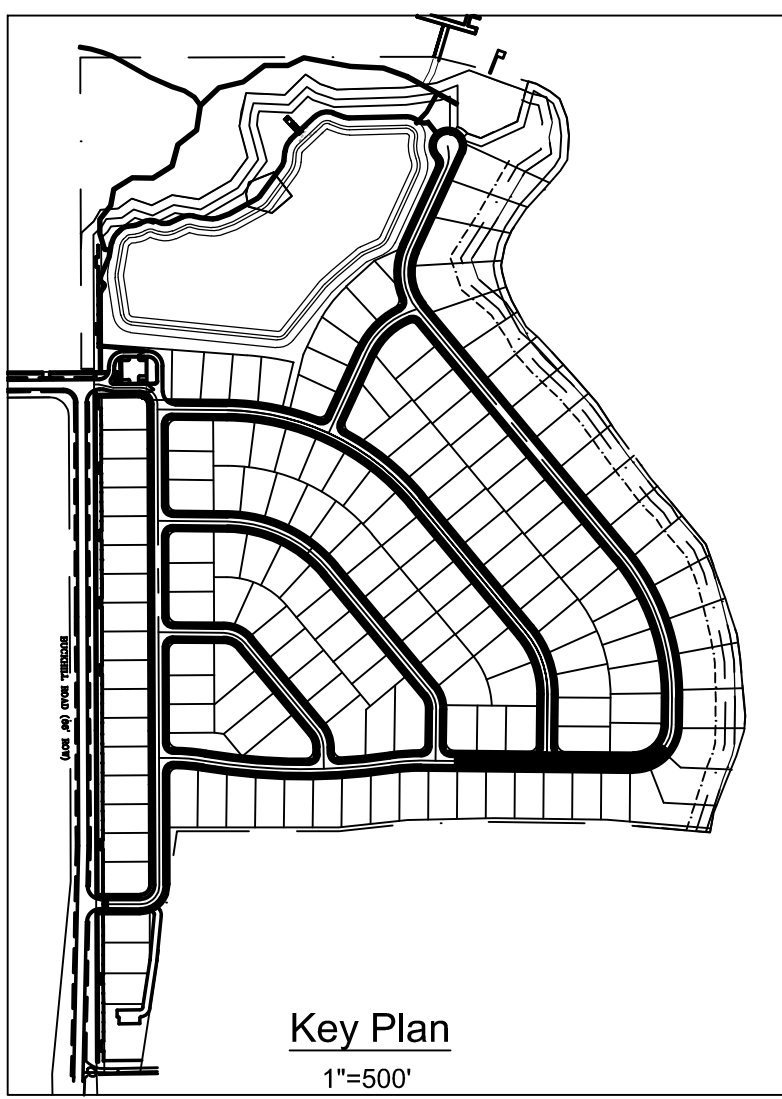
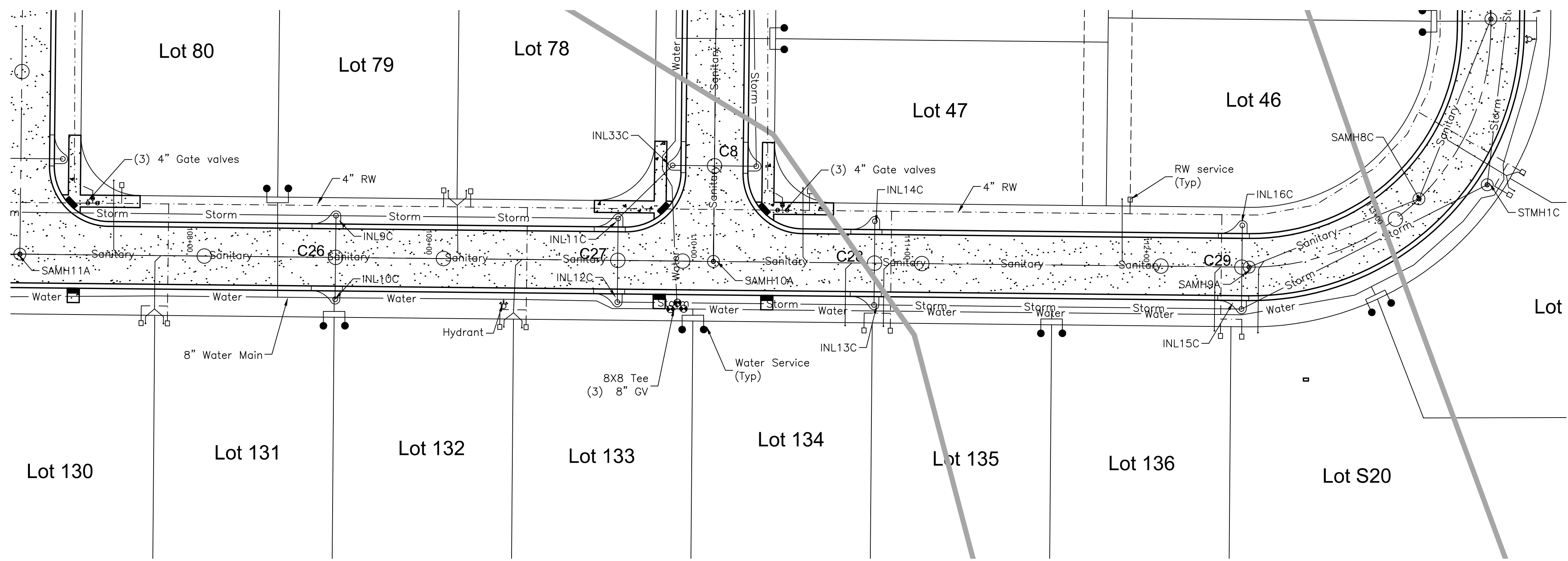
**Unroe Engineering, Inc**  
Civil Engineering/Planning/Scientific Evaluation  
PO Box 690942, Orlando, FL 32869-0942  
Business Authorization Number - EB 0006579    ph (407) 299-0650

**Plan - Profile Sheet 10**  
WHISPERING HEIGHTS Subdivision  
Buckhill Road, Howey-in-the-Hills, Florida

DP	Drawn
DP	Checked
1"=30'	Scale
09-07-21	Date
WH2-PP10	File



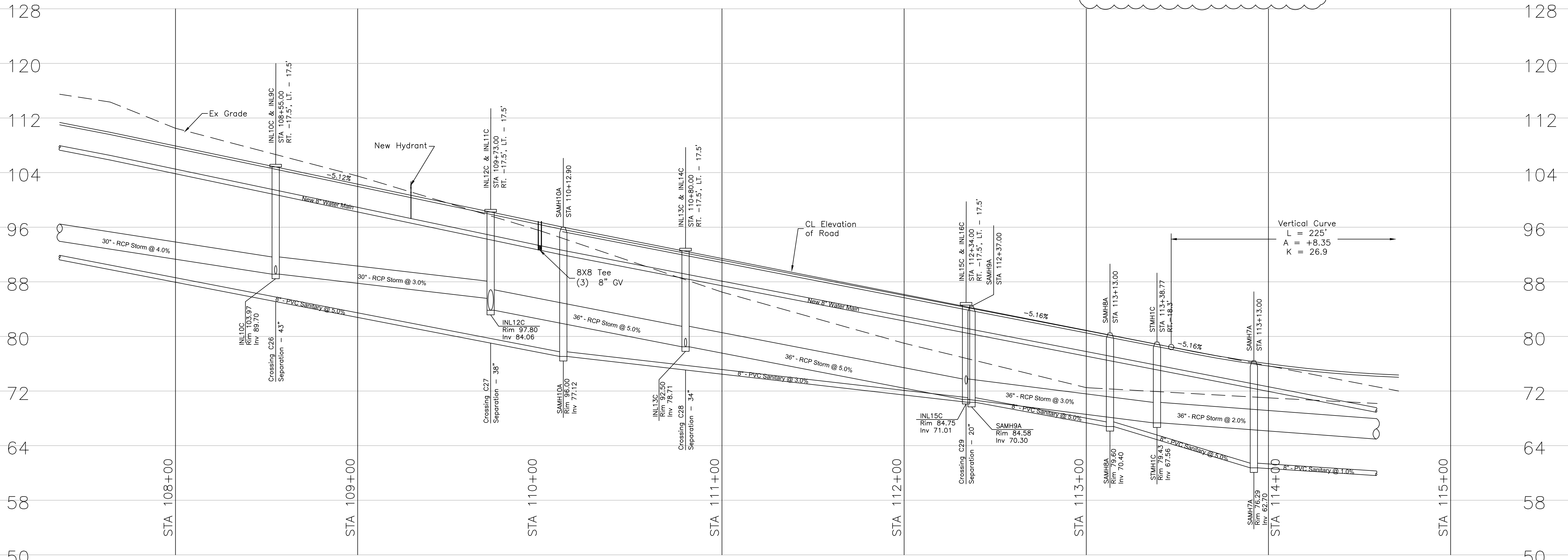
Dwg. No. **PP10**  
31 of 83



Item #	Description	Date	#

**Unroe Engineering, Inc**  
 Civil Engineering/Planning/Scientific Evaluation  
 PO Box 690942, Orlando, FL 32869-0942  
 Business Authorization Number - EB 00066579 ph (407) 299-0650

Note:  
 Reclaimed lines shall be set at the same vertical elevation as the proposed water main, on the other side of the street.  
 The lines have been omitted from the profile for clarity.

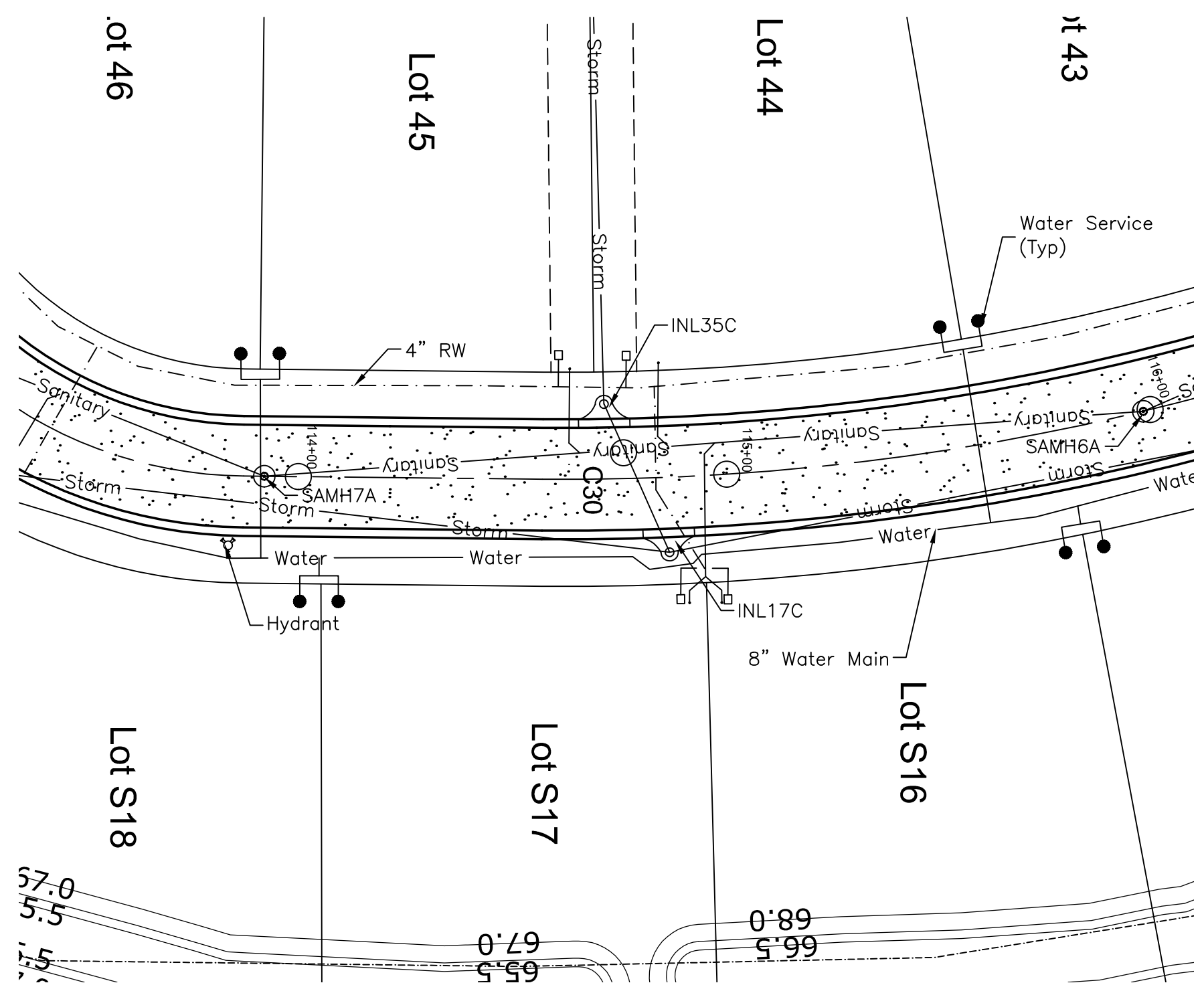


**Plan - Profile Sheet 11**  
 Whispering Hills Subdivision  
 Buckhill Road, Howey-in-the-Hills, Florida

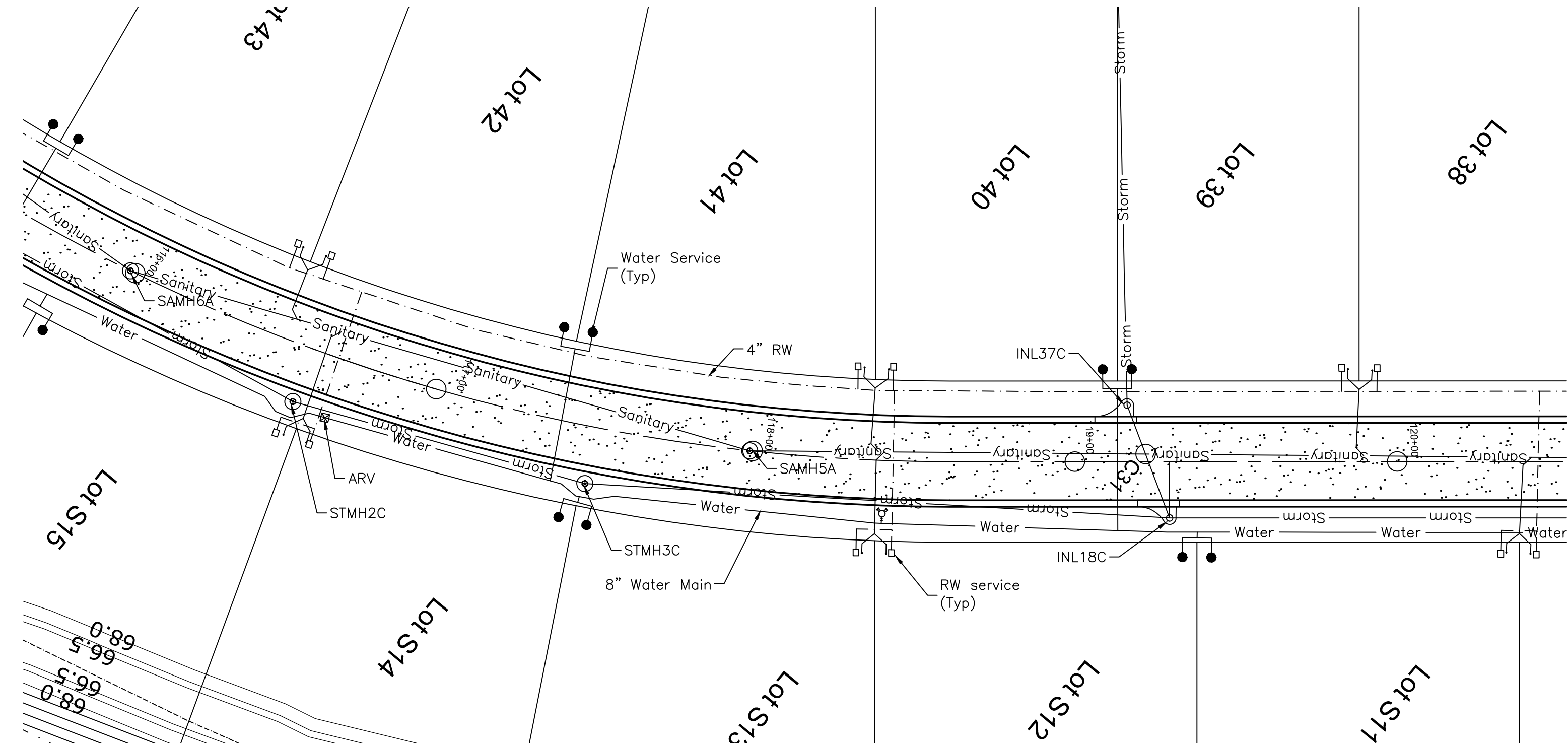
DP	Drawn
DP	Checked
1"=30'	Scale
09-07-21	Date
WH2-PP11	File
Dwg. No.	

**PP11**  
 32 of 83



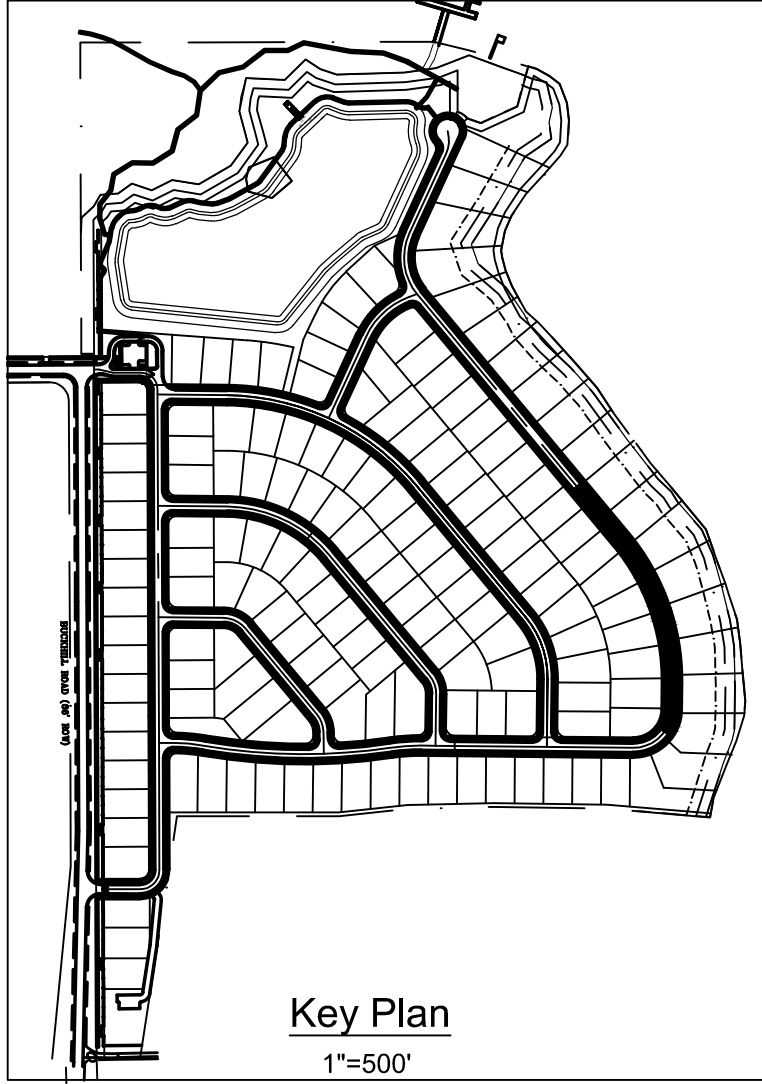


Plan View  
Scale: 1"=30"

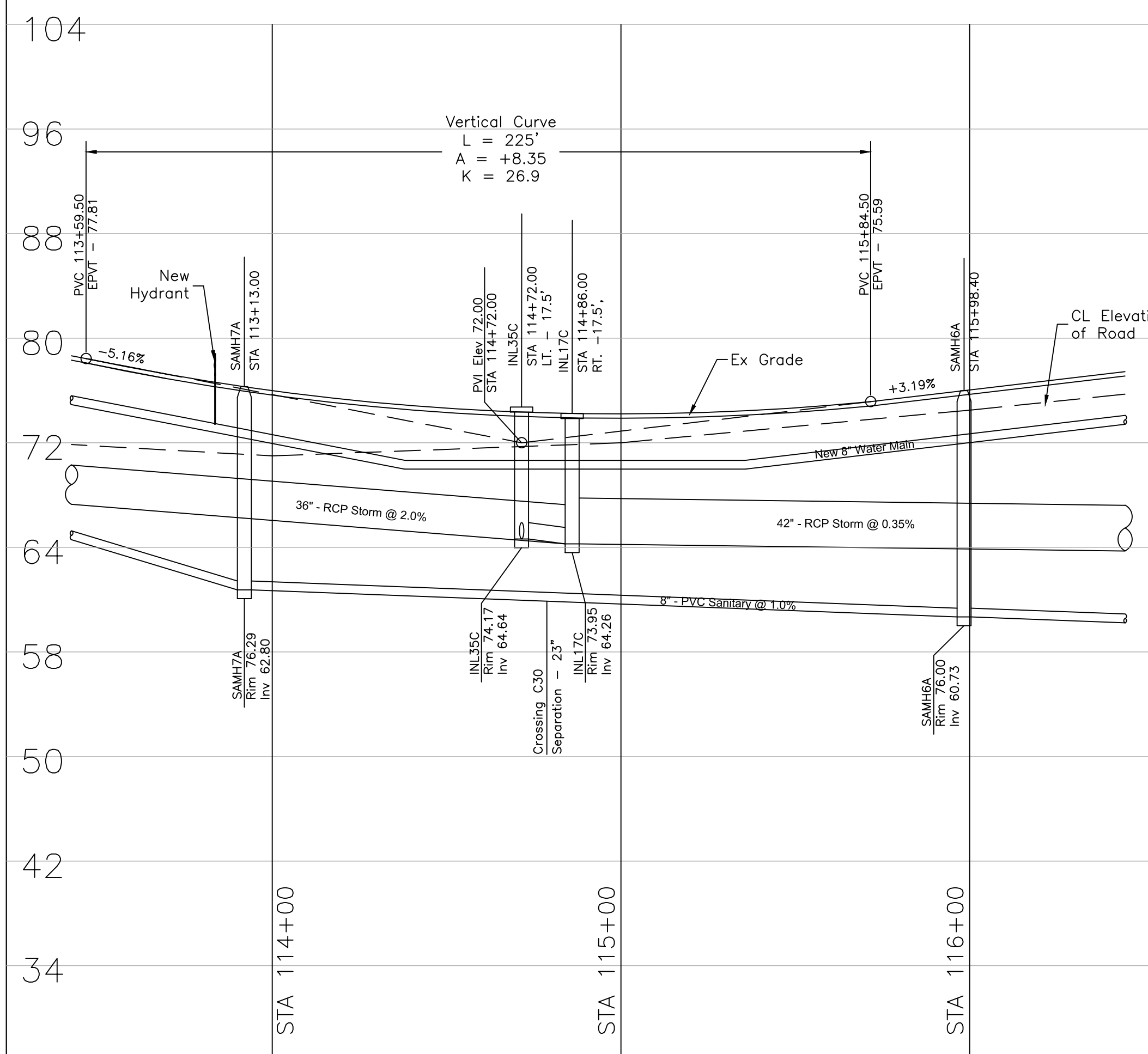


Plan View  
Scale: 1"=30"

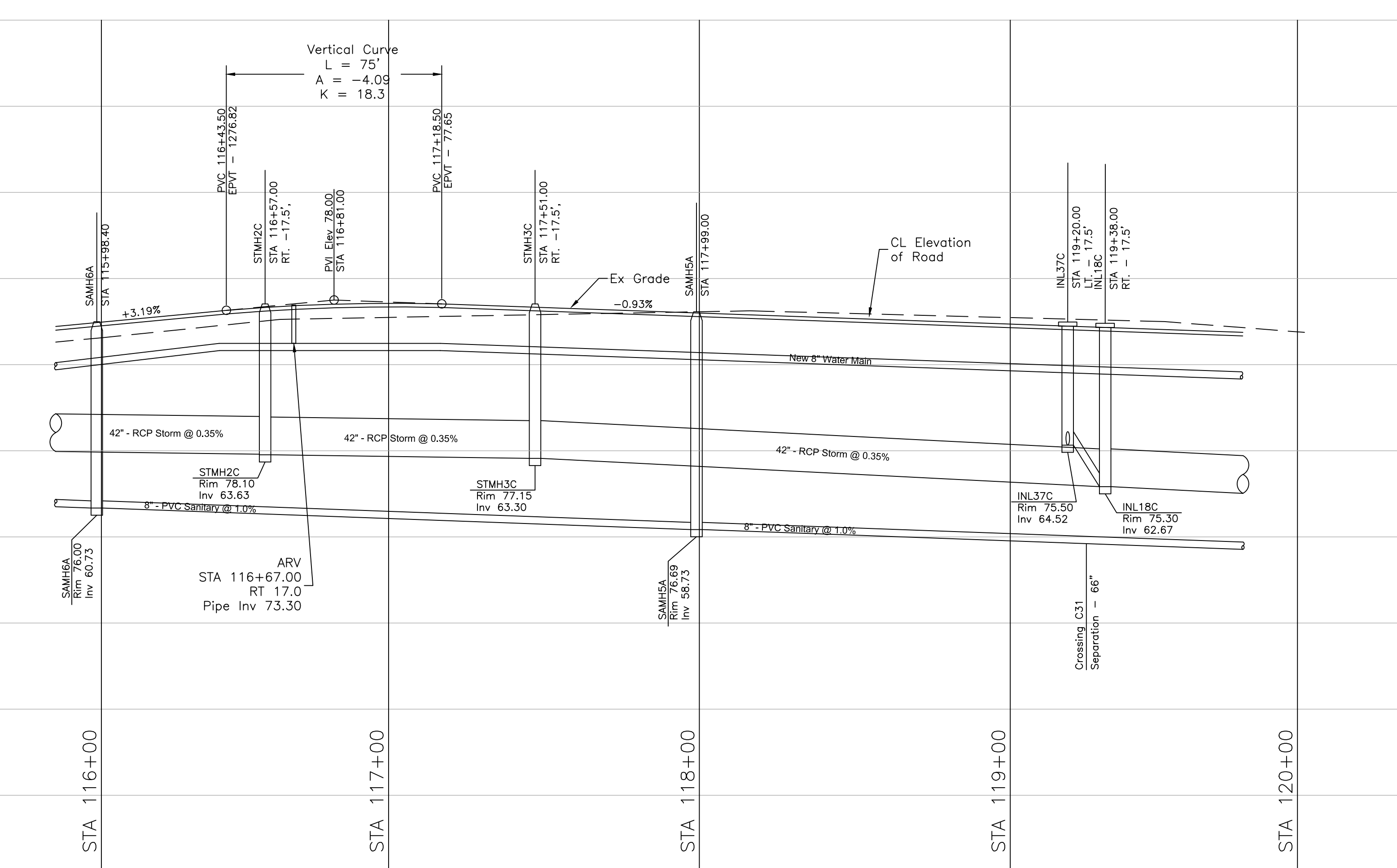
Note:  
Reclaimed lines shall be set at the same vertical elevation as the proposed water main, on the other side of the street. The lines have been omitted from the profile for clarity.



Revisions	Date	Description



Profile View  
Scale: 1/8"=1'



Profile View  
Scale: 1/8"=1'

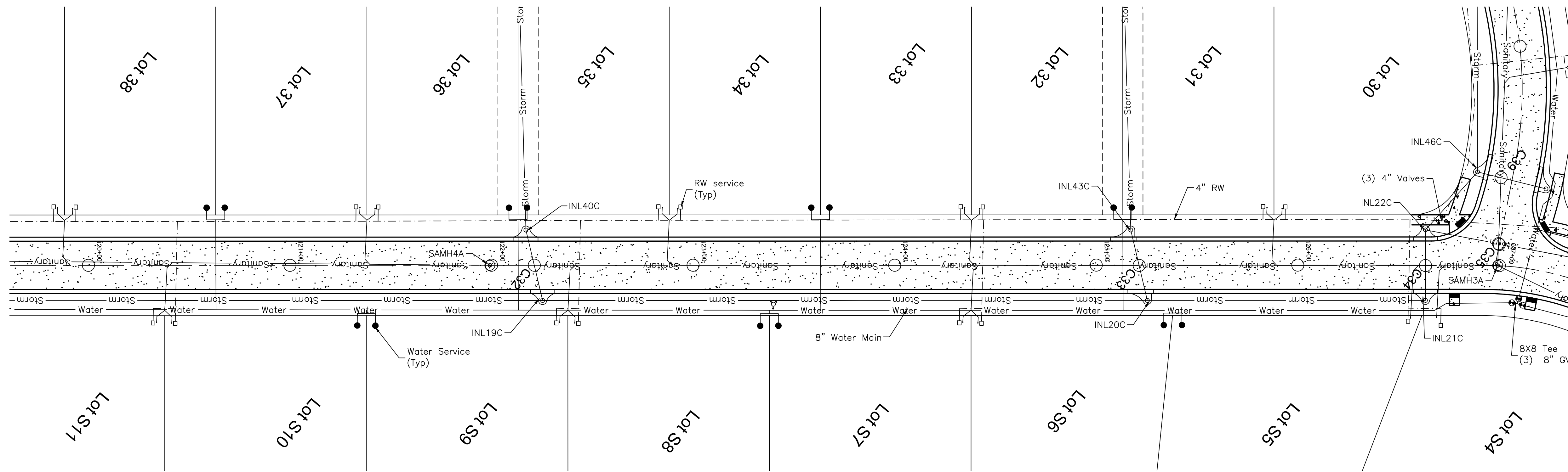
**Unroe Engineering, Inc**  
Civil Engineering/Planning/Scientific Evaluation  
PO Box 690942, Orlando, FL 32869-0942  
Business Authorization Number - EB 0006579    ph (407) 299-0650

**Plan - Profile Sheet 12**  
**Whispering Hills Subdivision**  
Buckhill Road, Howey-in-the-Hills, Florida

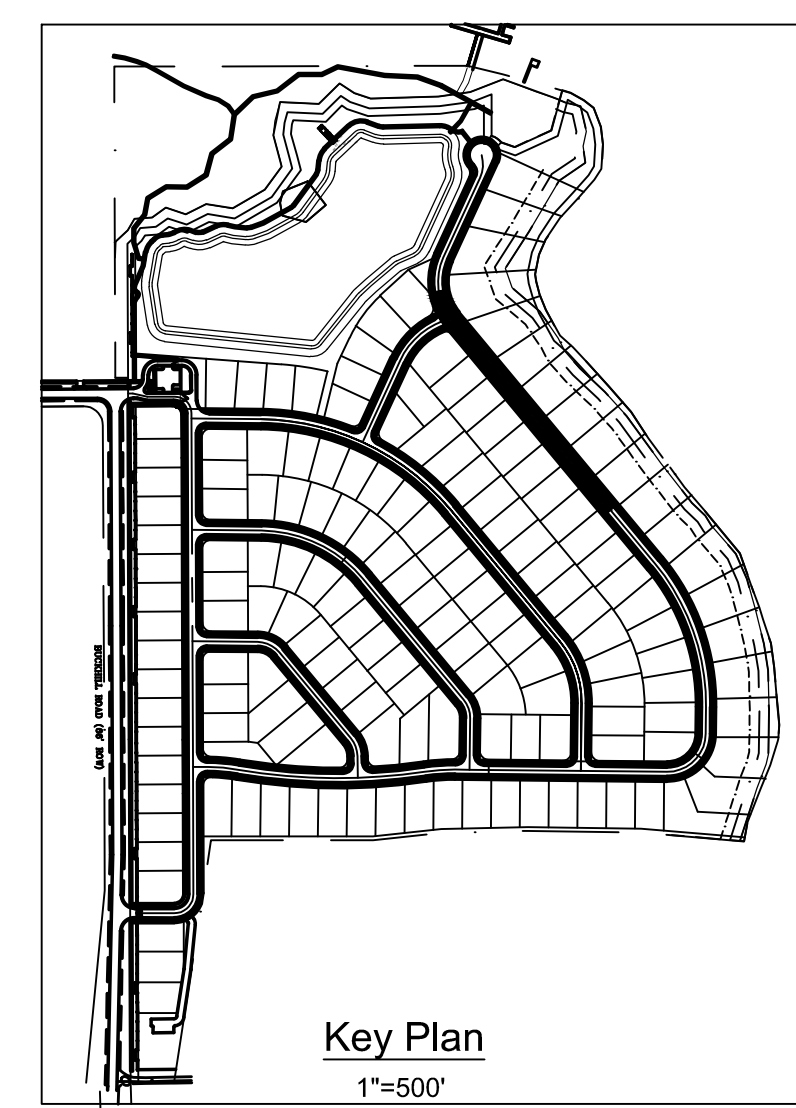
DP	Drawn
DP	Checked
1"=30'	Scale
09-07-21	Date
WH2-PP12	File



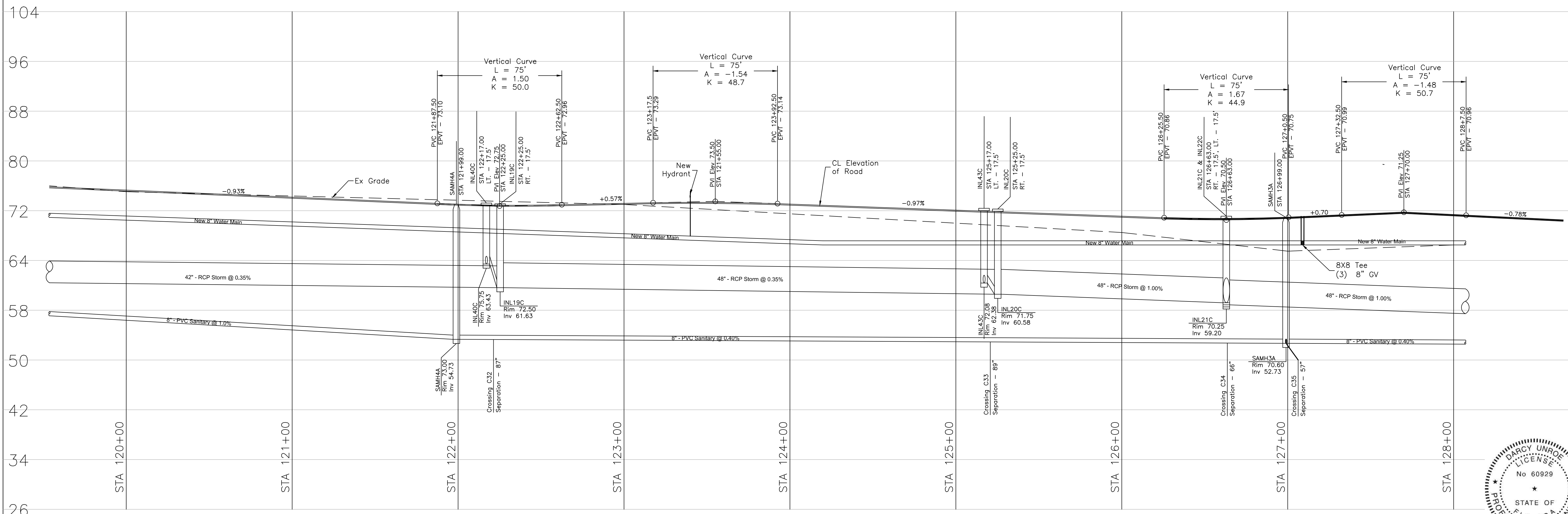
Dwg. No. **PP12**  
33 of 83



Plan View  
Scale: 1"=30"



Note:  
Reclaimed lines shall be set at the same vertical elevation as the proposed water main, on the other side of the street. The lines have been omitted from the profile for clarity.



Profile View  
Scale: 1/8"=1'

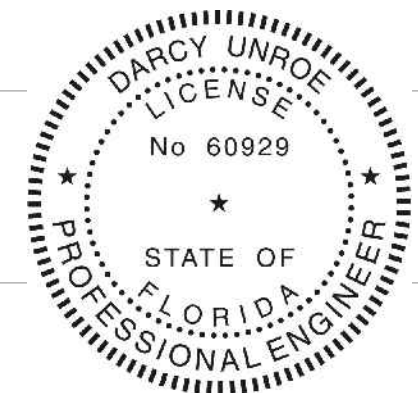
Revisions	Date	Description	#
	9/19/22	Town Comm	

**Unroe Engineering, Inc**  
 Civil Engineering/Planning/Scientific Evaluation  
 PO Box 690942, Orlando, FL 32869-0942  
 Business Authorization Number - EB 00066579 ph (407) 299-0650

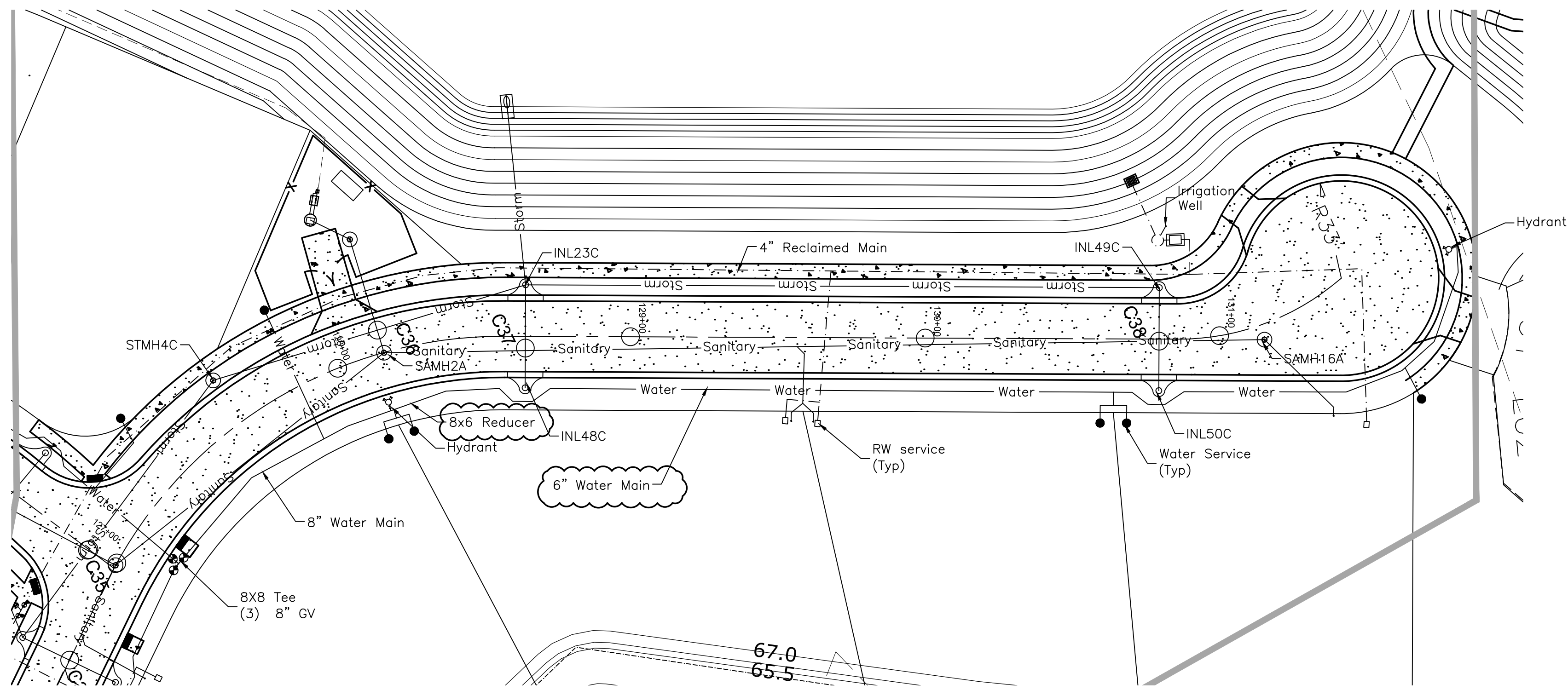
**Plan - Profile Sheet 13**  
 WHISPERING HEIGHTS Subdivision  
 Buckhill Road, Howey-in-the-Hills, Florida

DP	Drawn
DP	Checked
1"=30'	Scale
09-07-21	Date
WH2-PP13	File
Dwg. No.	

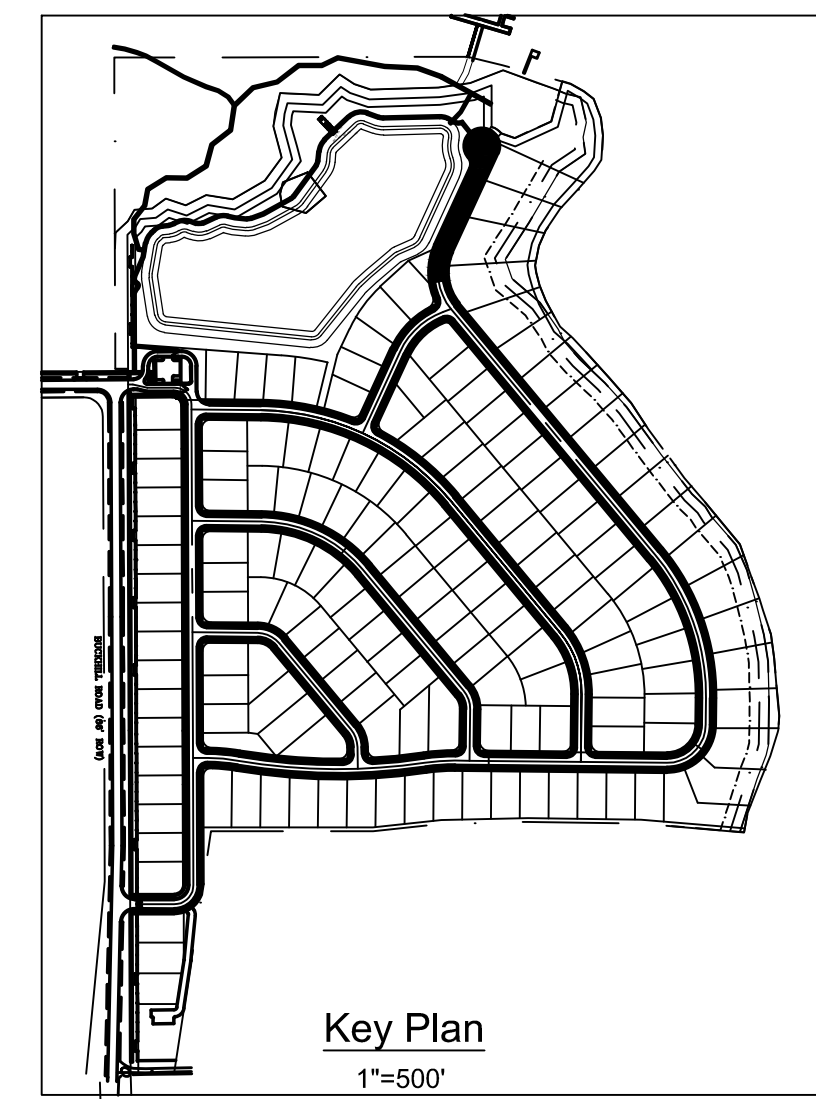
**PP13**  
 34 of 83







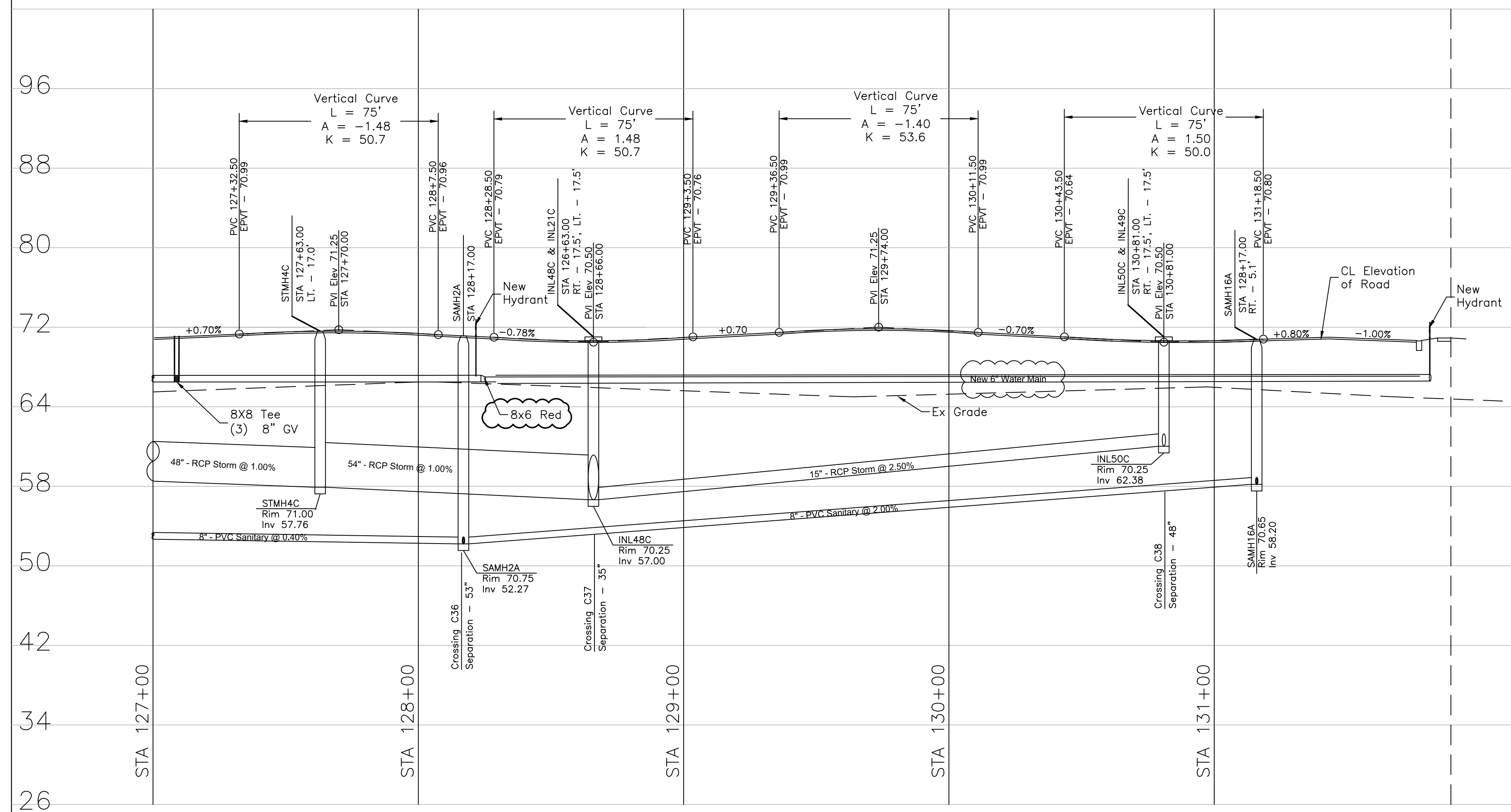
Plan View  
Scale: 1"=30"



Key Plan  
1"=500'

Revisions		Revisions	
#	Date	#	Date

**Unroe Engineering, Inc**  
 Civil Engineering/Planning/Scientific Evaluation  
 PO Box 690942, Orlando, FL 32869-0942  
 Business Authorization Number - EB 0006579 ph (407) 299-0650



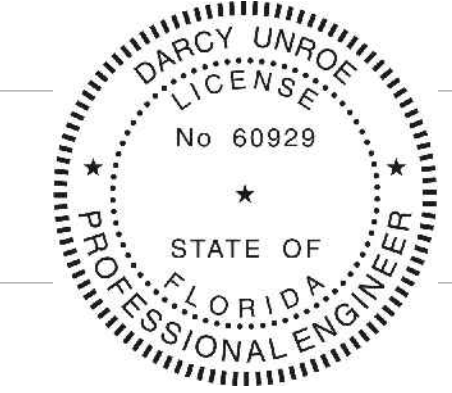
Note:  
 Reclaimed lines shall be set at the same vertical elevation as the proposed water main, on the other side of the street. The lines have been omitted from the profile for clarity.

Profile View  
Scale: 1/8"=1'

**Plan - Profile Sheet 14**  
 Whispering Hills Subdivision  
 Buckhill Road, Howey-in-the-Hills, Florida

DP	Drawn
DP	Checked
1"=30'	Scale
09-07-21	Date
WH2-PP14	File
Dwg. No.	

**PP14**  
 35 of 83





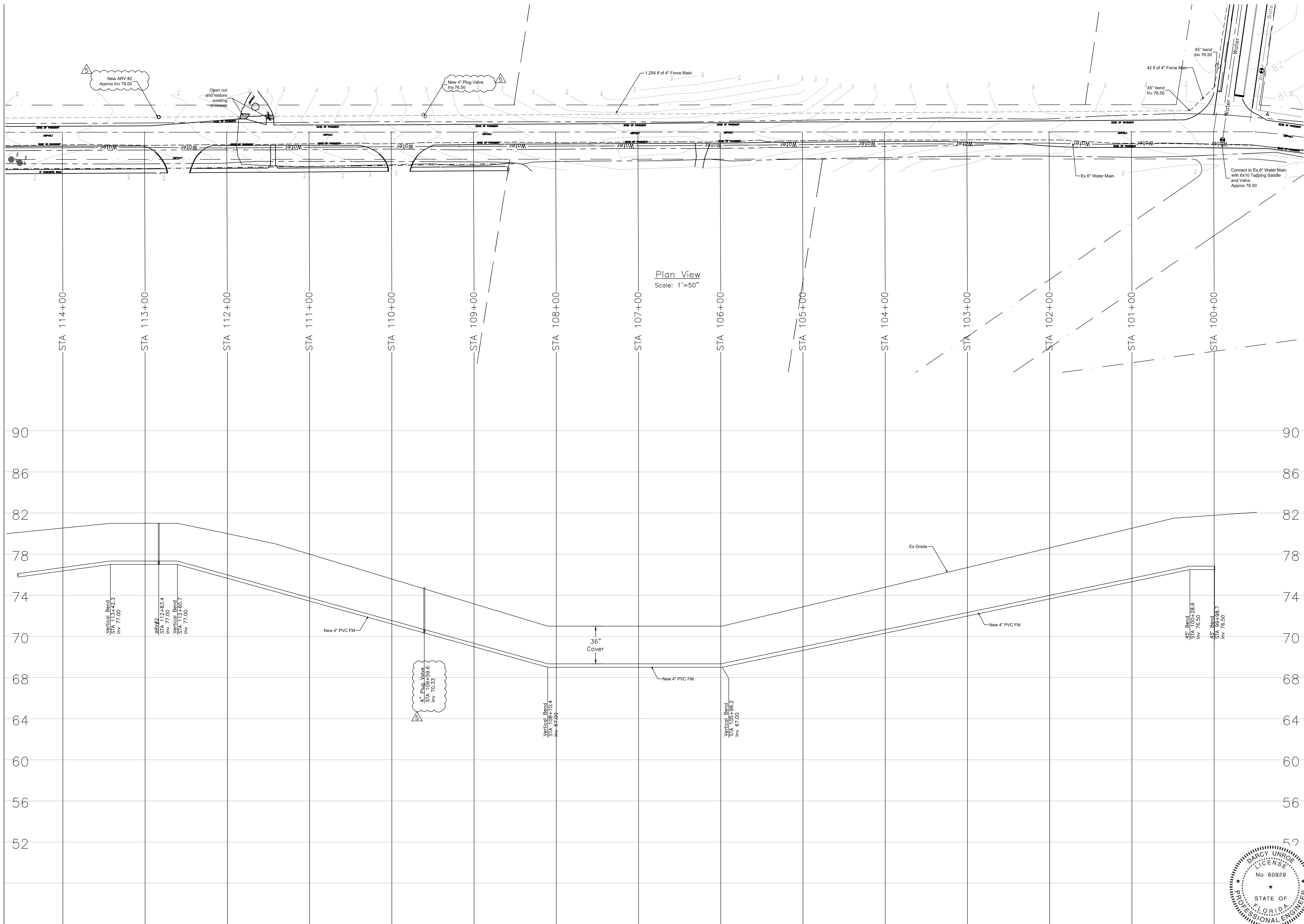












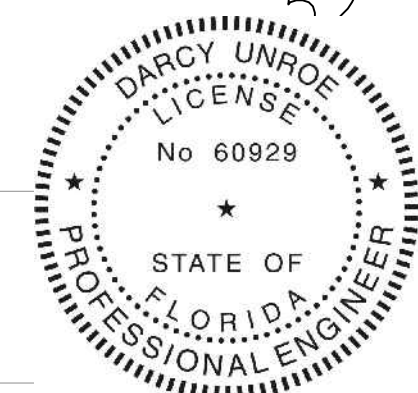
Profile View  
Scale: 1/4"=1'

Revisions		#	Date	Description

**Unroe Engineering, Inc**  
 Civil Engineering/Planning/Scientific Evaluation  
 PO Box 690942, Orlando, FL 32869-0942  
 Business Authorization Number - EB 0006579 ph (407) 299-0650

**Off-Site Plan - Profile #3**  
**Whispering Hills Subdivision**  
 Buckhill Road, Howey-in-the-Hills, Florida

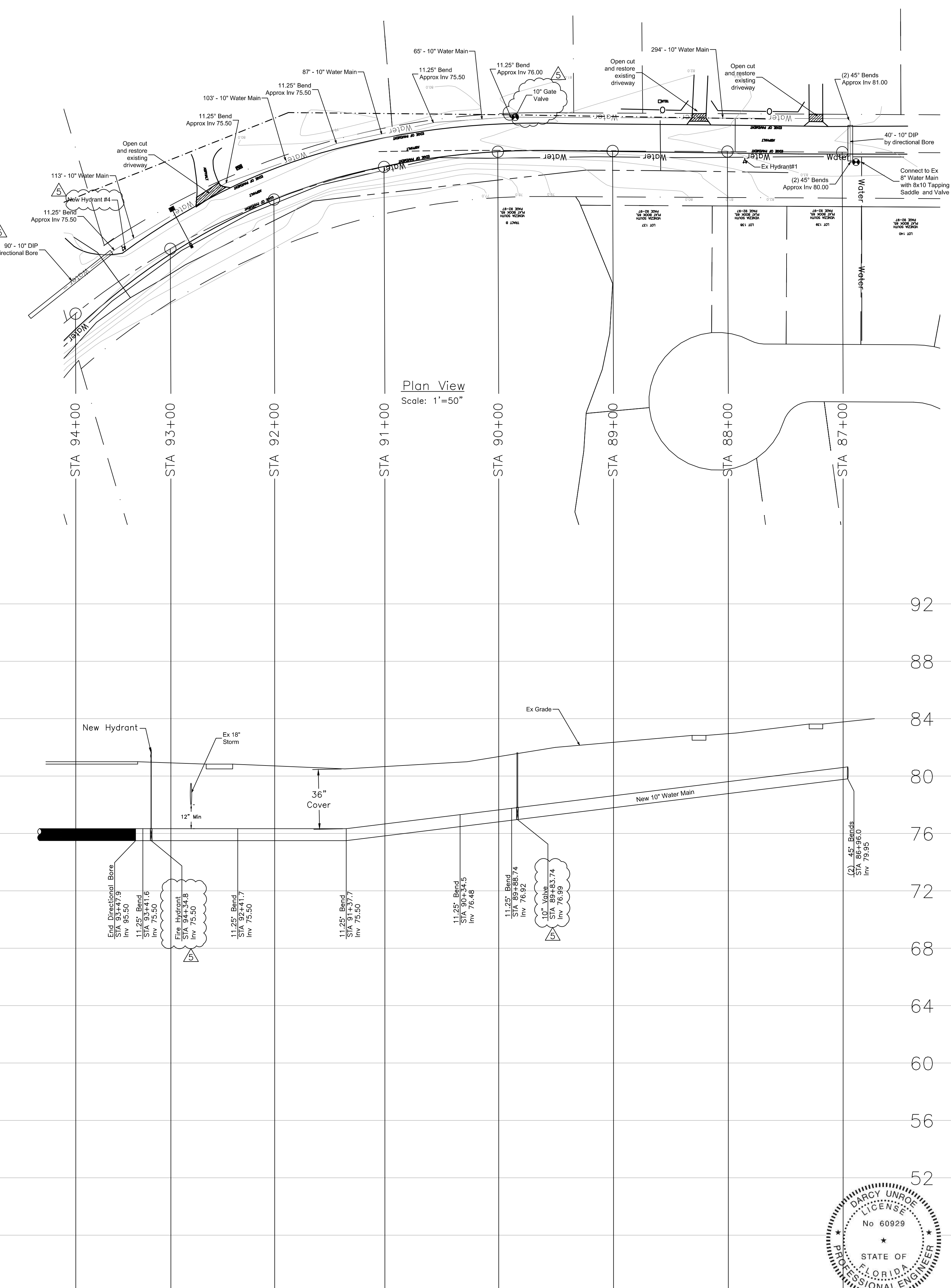
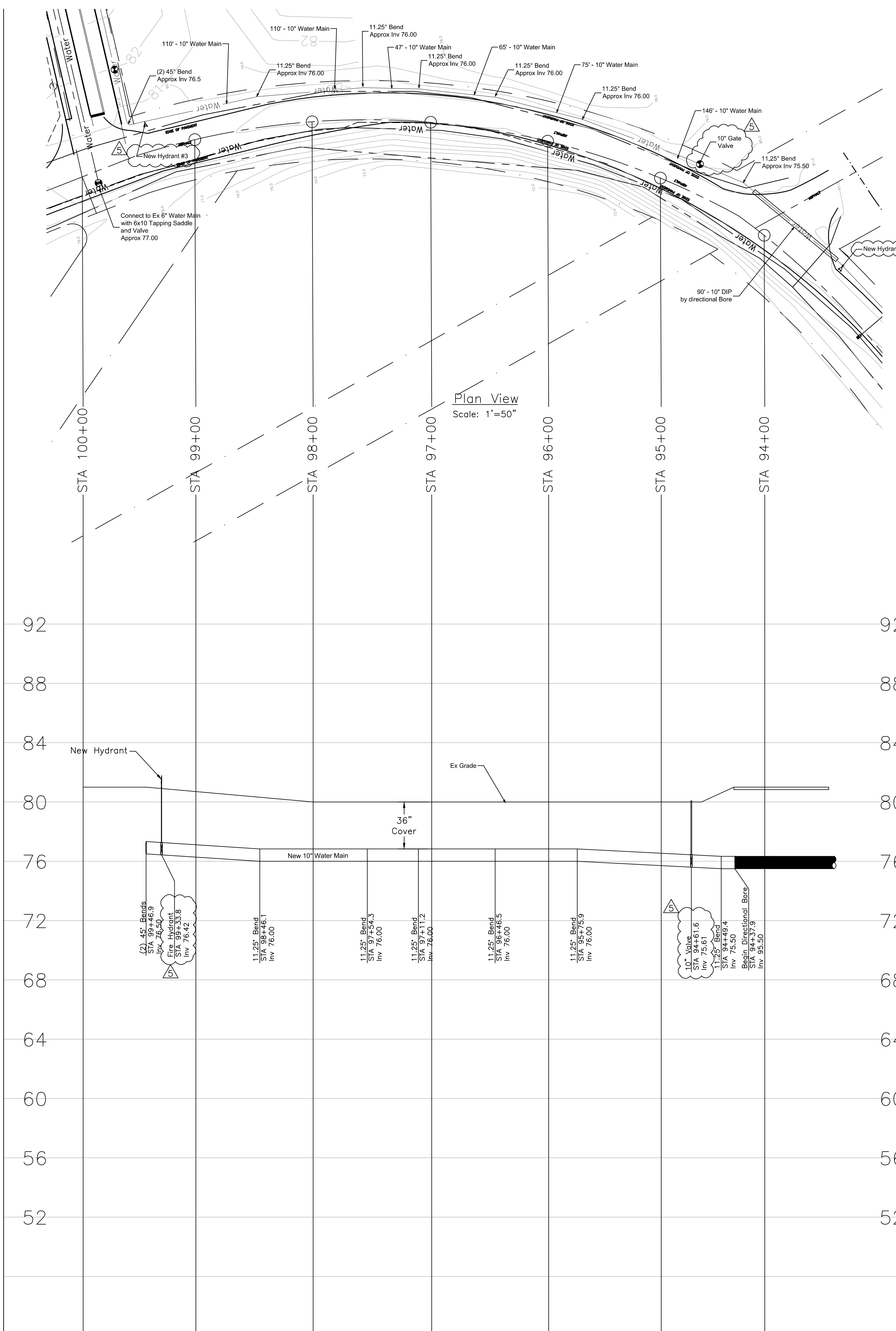
DP	Drawn
DP	Checked
1"=50'	Scale
11/27/23	Date
WH2-OS4	File



Dwg. No. **OS4**  
 40 of 83







Revisions	#	Date	Description

**Unroe Engineering, Inc**  
Civil Engineering/Planning/Scientific Evaluation  
PO Box 690942, Orlando, FL 32869-0942  
Business Authorization Number - EB 0006579 ph (407) 299-0650

**Off-Site Plan - Profile #5**  
Whispering Hills Subdivision  
Buckhill Road, Howey-in-the-Hills, Florida

DP	Drawn
DP	Checked
1"=50'	Scale
11/27/23	Date
WH2-OS6	File
Dwg. No.	
<b>OS6</b>	
42	of 83



Darcy Unroe PE 60929

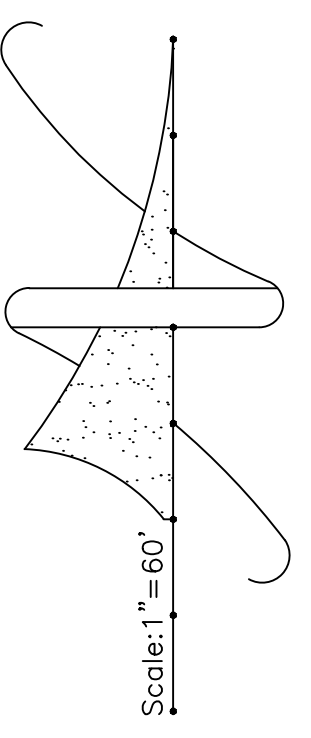








New 48 slip marina by others



Retention Tract "C"

Typical Potential tree to save  
Install Tree Protection  
Per Detail on TM1

Revisions		Revisions	
#	Date	#	Date

**Unroe Engineering, Inc**  
 Civil Engineering/Planning/Scientific Evaluation  
 PO Box 690942, Orlando, FL 32869-0942  
 Business Authorization Number - EB 0006579 ph (407) 299-0650

**Tree Mitigation Plan - North**  
 WHISPERING HEIGHTS Subdivision  
 Buckhill Road, Howey-in-the-Hills, Florida

DP	Drawn
DP	Checked
1"=60'	Scale
09-07-21	Date
WH2-TM2	File

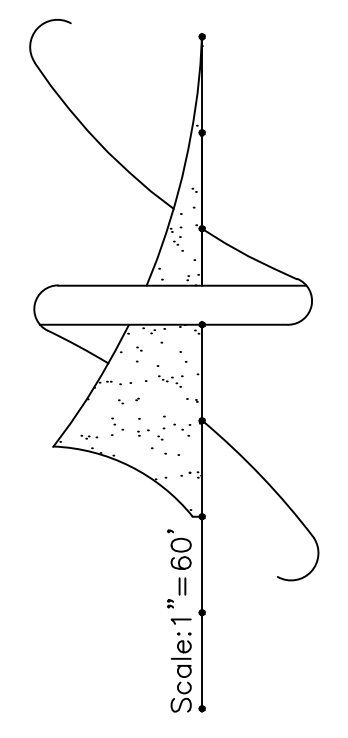
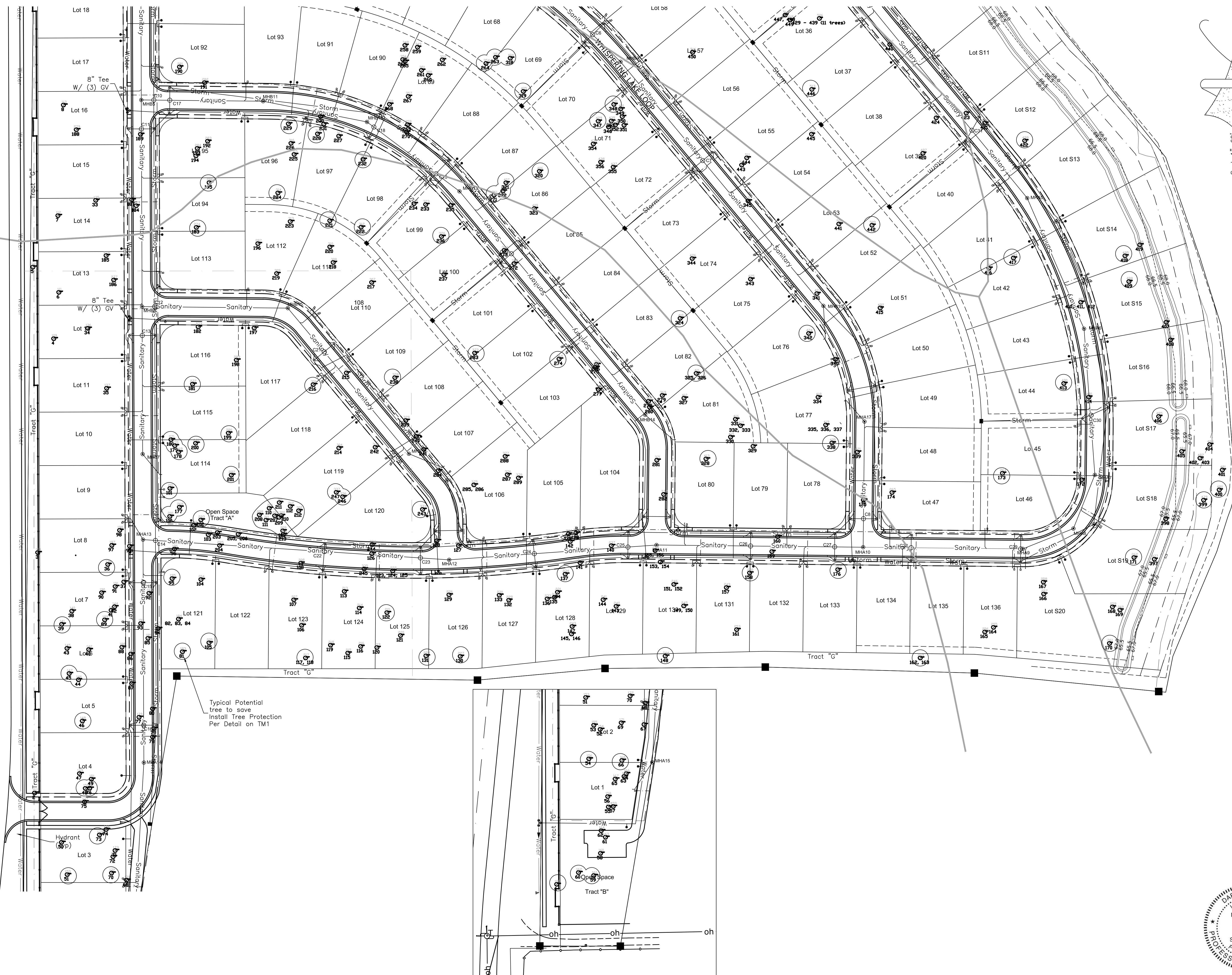
Dwg. No. **TM2**  
 44 of 83



Darcy Unroe PE 60929



BUCKHILL ROAD (66' ROW)



Darcy Unroe PE 60929

**Unroe Engineering, Inc**  
 Civil Engineering/Planning/Scientific Evaluation  
 PO Box 690942, Orlando, FL 32869-0942  
 Business Authorization Number - EB 0006579 ph (407) 299-0650

**Tree Mitigation Plan - South**  
**WHISPERING HEIGHTS Subdivision**  
 Buckhill Road, Howey-in-the-Hills, Florida

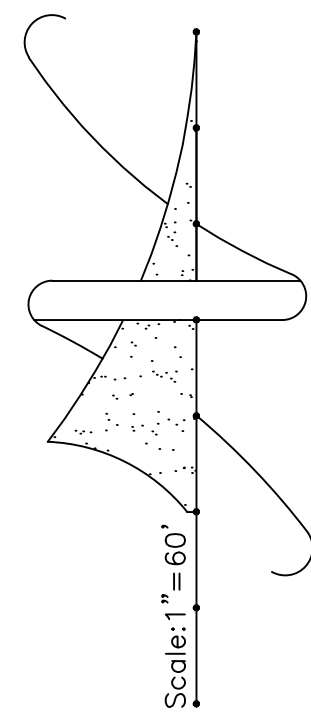
DP	Drawn
DP	Checked
1"=60'	Scale
09-07-21	Date
WH2-TM3	File
Dwg. No.	

**TM3**  
 45 of 83

Revisions	#	Date	Description



Symbol	Manufacturer	Qty	Label	Arrangement	Description	LF	Lot	Lot	Block
○	TRUSCO	1	1.5A	SMALL	1.5A-1.5B-1.5C-1.5D-1.5E-1.5F-1.5G-1.5H-1.5I-1.5J-1.5K-1.5L-1.5M-1.5N-1.5O-1.5P-1.5Q-1.5R-1.5S-1.5T-1.5U-1.5V-1.5W-1.5X-1.5Y-1.5Z	1.000	190	191	192
□	TRUSCO	1	1.5A	SMALL	1.5A-1.5B-1.5C-1.5D-1.5E-1.5F-1.5G-1.5H-1.5I-1.5J-1.5K-1.5L-1.5M-1.5N-1.5O-1.5P-1.5Q-1.5R-1.5S-1.5T-1.5U-1.5V-1.5W-1.5X-1.5Y-1.5Z	1.000	190	191	192



Scale: 1"=60'

Revisions		Revisions	
#	Date	#	Date

**Unroe Engineering, Inc**  
 Civil Engineering/Planning/Scientific Evaluation  
 PO Box 690942, Orlando, FL 32869-0942  
 Business Authorization Number - EB 00066579 ph (407) 299-0650

**Site Lighting Photometrics - North**  
**WHISPERING HEIGHTS Subdivision**  
 Buckhill Road, Howey-in-the-Hills, Florida

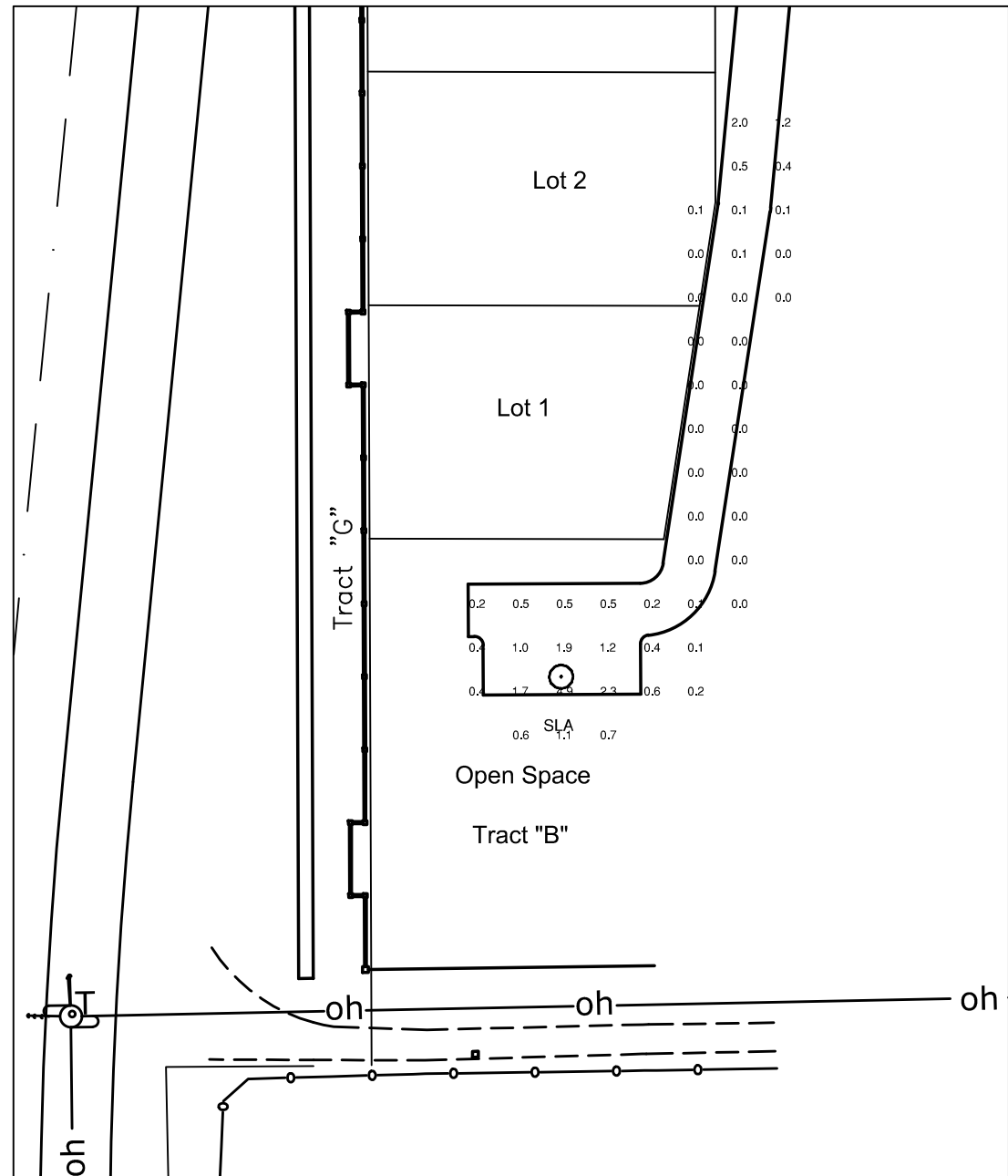
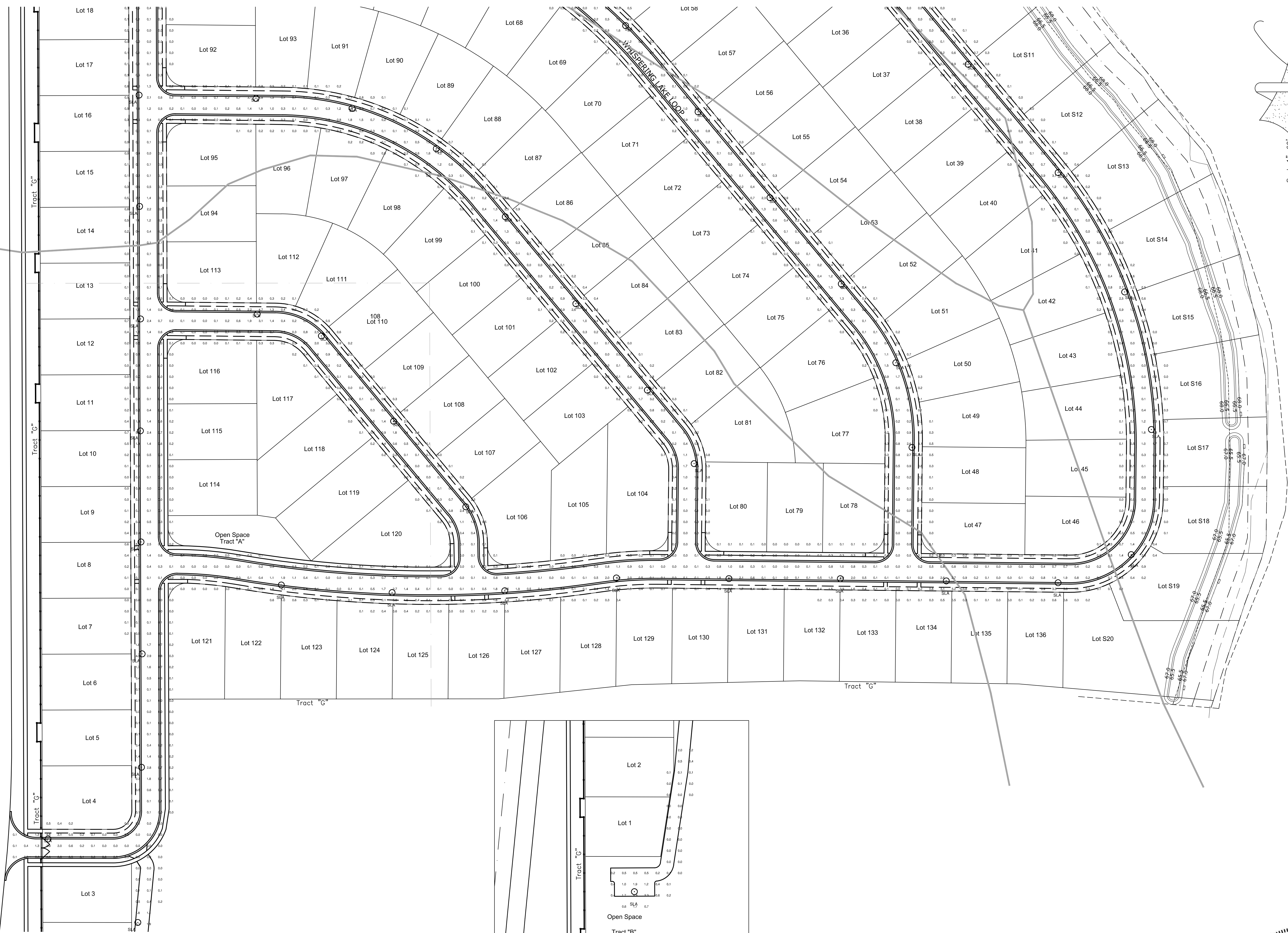
DP	Drawn
DP	Checked
1"=60'	Scale
09-07-21	Date
WH2-SL1	File
Dwg. No.	
<b>SL1</b>	
46	of 83



Darcy Unroe PE 60929



BUCKHILL ROAD (66' ROW)



Darcy Unroe PE 60929

**Unroe Engineering, Inc**  
 Civil Engineering/Planning/Scientific Evaluation  
 PO Box 690942, Orlando, FL 32869-0942  
 Business Authorization Number - EB 00066579 ph (407) 299-0650

**Site Lighting - South**  
 WHISPERING HEIGHTS Subdivision  
 Buckhill Road, Howey-in-the-Hills, Florida

DP	Drawn
DP	Checked
1"=60'	Scale
09-07-21	Date
WH2-SL2	File

Dwg. No.  
**SL2**  
 47 of 83

Revisions	#	Date	Description



### ARCHITECTURAL ARM 4

ARMS

MODEL	A	B	C	D	E	EPA SGL	EPA DBL	EPA WM
A4-S	17 in.	30 in.	1 7/8" Ø (1-1/2 in. SCH40)	N/A	N/A	1.8	3.0	1.2
A4-S-WM	17 in.	25 in.	1 7/8" Ø (1-1/2 in. SCH40)	16 in.	6 in.	-	-	-
A4-L	26 in.	38 in.	1 7/8" Ø (1-1/2 in. SCH40)	N/A	N/A	1.5	2.7	1.0
A4-L-WM	26 in.	33 in.	1 7/8" Ø (1-1/2 in. SCH40)	24 in.	7 in.	-	-	-

Architectural Arm 4 is constructed of extruded aluminum tubing. Integrates with poles or tenons of 3-1/2", 4", 4-1/2", or 5" OD and is secured with 3/8" stainless steel Allen set screws.

Contact NLS for custom configuration or others mounting options. Arms are designed, tooled, manufactured and assembled in the USA.

USA MADE

Project Name: \_\_\_\_\_ Type: \_\_\_\_\_

Cat #	Mounting	Pole or Tenon Diameter	Color
Architectural Arm 4 Small (A4-S)	Single (SGL)	3" Round (3R)	Bronze (BRZ)
	Double 180° (D180)	4" Round (4R)	White (WHT)
	Wall Mount (WM)	4" Round (4R)	Silver (SVR)
Architectural Arm 4 Large (A4-L)	Single (SGL)	4 1/2" Round (412R)	Black (BLK)
	Double 180° (D180)	5" Round (5R)	Hunter Green (HGN)
	Wall Mount (WM)	5" Round (5R)	Graphite (GPH)

701 Kingshill Place, Carson, CA 90746  
Call Us Today (310) 341-2037  
nslighting.com

370

### CALIFORNIA SMALL

SITE + ARCHITECTURAL LIGHTING

The beautiful and simple California Series LED Pedestrian Luminaires depict not only the California lifestyle, but the architecture of California as well. This ornamental piece is a delightful sight to see and a great model to illuminate any urban, rural, retail, or park, or campus setting.

The different caps and shades depict different California styles and a touch of California's historic Spanish mission era. The California Series is the perfect selection to combine both design and efficiency in light performance. Designed, tooled, manufactured and assembled in the USA.

STAR POWER OPTICAL SYSTEM  
The Star Power reflector is an excellent system which provides great value and performance.

LED WATTAGE CHART

	16L	32L
350 milliamps	18w	33w
500 milliamps	28w	54w
700 milliamps	38w	71w
1000 milliamps	50w	100w

Project Name: \_\_\_\_\_ Type: \_\_\_\_\_

Cat #	Top	Shade	Light Dist.	# of LEDs	Milliamps	Kelvin	Volts	Mount	Color	Options
California Small (CAL-S)	Top 1 (TP1)	Shade 1 (S1)	Type 2 (T2)	16 (16L)	350 (35)	3000K (30K)	120-277 (UNV)	Arm Mount (AM)	Bronze (BRZ)	House Side Shield (HSS)
	Top 2 (TP2)	Shade 6 (S6)	Type 3 (T3)	32 (32L)	530 (53)	4000K (40K)	347-480 (HV)	For Arm Mount, please select an Architectural Arm (AA) separately.	White (WHT)	Bird Collars (BS)
	Top 3 (TP3)	Shade 7 (S7)	Type 4 (T4)		700 (7)	5000K (50K)			Silver (SVR)	Marine Grade Finish (MGF)
		Shade 8 (S8)	Type 5 (T5)		1050 (1)				Hunter Green (HGN)	Phosphor (P)
									Black (BLK)	*FSP-211 with Motion Sensor (Universal Voltage) (FSP-S) *For 8" + Below (FSP-20) *For 8" to 20" (FSP-40) *For 21" to 40"

701 Kingshill Place, Carson, CA 90746  
Call Us Today (310) 341-2037  
nslighting.com

179

### PRODUCT SPECIFICATIONS

Housing: Heavy Duty Marine Grade Cast and Spun Aluminum with 4 shade options and 3 cap options  
LED: Lumileds Luxeon MKX CRI 70  
Optics: Star Power T2, T3, T4 and T5  
Watts: 18-106  
L70 Depreciation: 483,000 Hours (@77°F/ 25°C)  
L90: 70,000

Listings: UL 1598 Listed  
Driver: 0-10V Dimming driver as standard by Philips Advance  
THD @ Max Load < 15%  
Power Factor @ Max Load < 0.95  
Kelvin: 3000, 4000, or 5000  
Finish: 5 mils Powder Coat  
Warranty: Standard Warranty is 5 years for Driver and LEDs

### PRODUCT DIMENSIONS

TOPS

PART NUMBER	T2 LUMENS	LM/W	T3 LUMENS	LM/W	T4 LUMENS	LM/W	T5 LUMENS	LM/W	Watts
CAL-S-16L-35-30K	1836	102	1854	103	1872	104	1800	100	18
CAL-S-16L-35-40K	1836	101	1908	106	1926	107	1854	103	18
CAL-S-16L-35-50K	2034	113	1956	111	2016	112	1908	106	18
CAL-S-16L-53-30K	2856	102	2884	103	2912	104	2800	100	28
CAL-S-16L-53-40K	2856	106	2968	106	2996	107	2884	103	28
CAL-S-16L-53-50K	3136	112	3108	111	3136	112	2968	106	28
CAL-S-16L-7-30K	3672	102	3708	103	3744	104	3600	100	36
CAL-S-16L-7-40K	3816	106	3816	106	3822	107	3708	103	36
CAL-S-16L-7-50K	4032	112	3956	111	4032	112	3816	106	36
CAL-S-16L-3-30K	5712	102	5788	103	5824	104	5600	100	56
CAL-S-16L-3-40K	5926	106	5926	106	5922	107	5768	103	56
CAL-S-16L-3-50K	6272	112	6216	111	6272	112	5926	106	56
CAL-S-32L-35-30K	3556	102	3599	103	3642	104	3500	100	33
CAL-S-32L-35-40K	3498	106	3458	106	3531	107	3399	103	33
CAL-S-32L-35-50K	3656	112	3663	111	3696	112	3498	106	33
CAL-S-32L-53-30K	4908	102	4960	103	4976	104	4800	100	48
CAL-S-32L-53-40K	5724	106	5724	106	5778	107	5562	103	54
CAL-S-32L-53-50K	6048	112	5994	111	6048	112	5724	106	54
CAL-S-32L-7-30K	7242	102	7313	103	7384	104	7100	100	71
CAL-S-32L-7-40K	7526	106	7587	107	7587	107	7313	103	71
CAL-S-32L-7-50K	7952	112	7881	111	7952	112	7526	106	71
CAL-S-32L-3-30K	10912	102	10918	103	11024	104	10800	100	106
CAL-S-32L-3-40K	11236	106	11342	107	11342	107	10918	103	106
CAL-S-32L-3-50K	11872	112	11766	111	11872	112	11236	106	106

SHADES

701 Kingshill Place, Carson, CA 90746  
Call Us Today (310) 341-2037  
nslighting.com

180

### DIRECT BURIAL POLE

STEEL, ALUM., SQUARE, ROUND, TAPERED

POLES + BASES

**SHAFT**  
Shall be Grade B straight steel with yield strength of 46,000 PSI conforming to ASTM A500 Standards. All poles with hand hole have a welded ground lug.

Direct Burial poles can be ordered with optional coupling (specify height), optional hand hole (specify height), or optional Slot for conduit ingress and egress (specify height). When poles are ordered with a three-way combination of Coupling, Hand Hole and Ground Lug, then the Ground Lug is positioned at 90 degrees to the Hand Hole and the Coupling is opposite the Hand Hole. When the pole is ordered with Hand Hole only, the Ground Lug is at 180 to the Hand Hole.

**HAND HOLE COVER AND POLE CAP**  
Pole caps are injection molded snap-in caps in black finish. Optional hand hole covers are provided with internal bridge support. For added strength, constructed of 3" x 5" rectangular steel tubing, is welded to pole shaft.

**FINISH**  
All poles are finished with 3 to 5 mils of powder coat. All poles are sandblasted prior to powder coat application.

USA MADE

Project Name: \_\_\_\_\_ Type: \_\_\_\_\_

Cat #	Height (Main Grade)	Pole Dim.	Size	Orient.	Color	Options
STEEL Direct Burial Round Straight Steel Pole (DBRSP)	10' (10)	3" OD (3R)	120 in (114)	Single (SGL)	Bronze (BRZ)	Slot (S)
	12' (12)	4" OD (4R)	144 in (138)	Double (D-90)	White (WHT)	Coupling (COUP)
	14' (14)	4" OD (4R)	168 in (162)	Single (SGL)	Silver (SVR)	Hand Hole (HH)
	15' (15)	4" OD (4R)	180 in (174)	Tripart (T-90)	Green (GRN)	Galvanized (GALV)
ALUMINUM Direct Burial Round Straight Alum. Pole (DBRAP)	18' (18)	3" OD (3R)	180 in (174)	Quad (QD)	Black (BLK)	Tenon (TEN)
	20' (20)	3" OD (3R)	210 in (204)	No Drill (ND)	Graphite (GPH)	2 1/2" Round (T2R)
	21' (21)	3" OD (3R)	231 in (225)	When Option	Grey (GRY)	3" Round (T3R)
	24' (24)	3" OD (3R)	288 in (282)		Custom (CS)	4 1/2" Round (T412R)

701 Kingshill Place, Carson, CA 90746  
Call Us Today (310) 341-2037  
nslighting.com

348

701 Kingshill Place, Carson, CA 90746  
Call Us Today (310) 341-2037  
nslighting.com

349

Item #	Description	Date	#

**Unroe Engineering, Inc**  
Civil Engineering/Planning/Scientific Evaluation  
PO Box 690942, Orlando, FL 32869-0942  
Business Authorization Number: EB 00066579 ph (407) 299-0650

**Site Lighting - South**  
WHISPERING HEIGHTS Subdivision  
Buckhill Road, Howey-in-the-Hills, Florida

DP	Drawn
DP	Checked
1"=60'	Scale
09-07-21	Date
WH2-SL3	File
Dwg. No.	
<b>SL3</b>	
48	of 83



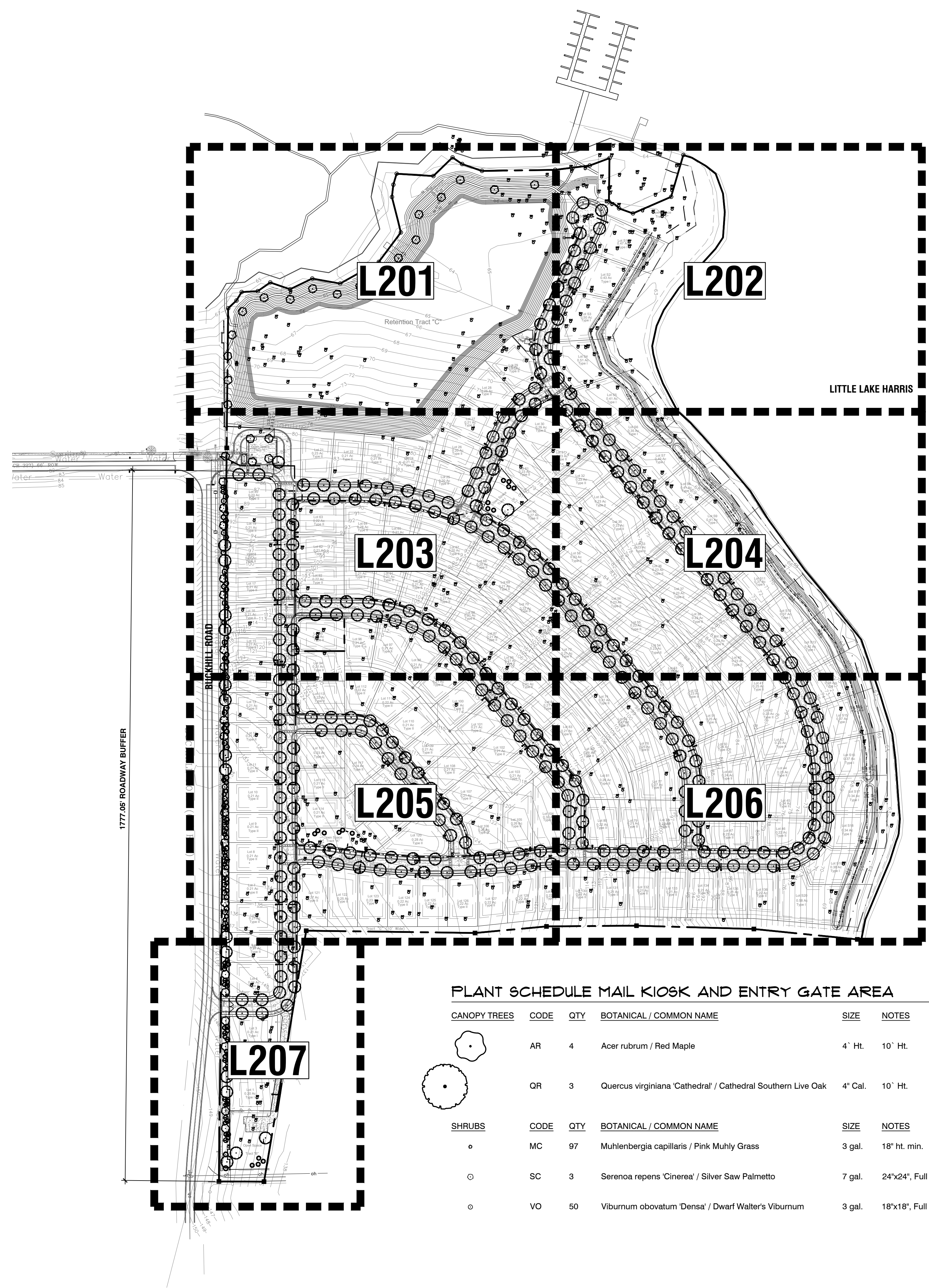
Darcy Unroe PE 60929

64









**OVERALL NOTES:** per sheet TM1 of Unroe Engineering, Inc. Whispering Hills Subdivision Plan Set dated 7/2/2020

**Tree Protection Notes**

A certified tree survey has been conducted by Ellis Surveying, Inc. Of the total non-Pines located within the Parcel, the majority have been identified as Diseased, Decayed, Dying, or Dangerous and will be removed. Of the remaining healthy non-Pines, many are in the way of construction. The Developer agree to maximize the number of healthy non-Pine trees. Trees will be saved in accordance with COHH Tree Protection Barrier Details.

**Tree Requirements:**

1. Howie LDR's require 3 trees per lot therefore a total of no less than 468 trees will be provided on the completed project. For any Lots having less than 3 trees homebuilders will be required to cure the deficiency. For single family lots that are one half acre or less in size, a minimum of three (3) canopy trees is required. Each such single family lot will be required to have one tree with a caliper of at least four inches (4") and two (2) trees each with a caliper of at least two and one half inches (4 2 1/2"). These trees shall have a minimum height of 10 feet at time of planting. These trees should be canopy trees as listed in this chapter. Existing trees may be counted as meeting this requirement, as long as they are of sufficient size and accepted species. One of the canopy trees on each such single-family lot shall be planted in the front yard, no less than 5 feet and no more than 8 feet from the sidewalk or lot line. These trees will help to form a canopy over the sidewalk and street sides. Corner lots are required to provide two such trees, one on the front and one on the side of the lot. Additionally, if the lot is more than 100 feet wide at the sidewalk, then the lot will be required to have two such trees. Existing trees in this specific area can be counted as meeting this requirement. These trees shall be coordinated with the placement of streetlights to prevent conflicts. A list of approved canopy trees is included in this chapter.

2. In addition, to satisfy the replacement plantings requirement homebuilders will be required to provide the requisite replacement trees.

PREPARED BY:

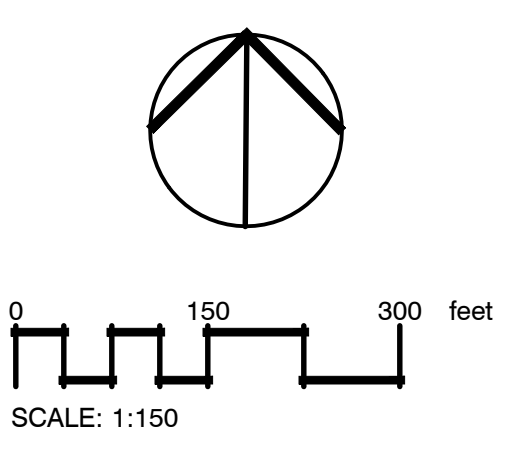
**floravie**  
design

Contact: KALEY DUNLAP  
916 VASSAR STREET  
ORLANDO, FL 32804  
TEL | 321-277-0826  
kaley@floraviedesign.com

PREPARED FOR:

**RED JACKET DEVELOPMENT**

CONTACT: CLAY FRANKEL  
625 WALTHAM AVENUE  
ORLANDO, FLORIDA 32409  
PHONE: 407-855-1136



**PLANT SCHEDULE**

CANOPY TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	NOTES
	AR	30	Acer rubrum / Red Maple Florida Fancy #1	4' Ht.	10' Ht.
	MG	12	Magnolia grandiflora / Southern Magnolia Florida Fancy #1, 30 gallon container or greater.	4" Cal.	10' Ht.
	PE	56	Pinus elliottii / Slash Pine Florida Fancy #1	4" Cal.	10' Ht.
	QR	328	Quercus virginiana 'Cathedral' / Cathedral Southern Live Oak Florida Fancy #1	4" Cal.	10' Ht.
ORNAMENTAL TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	NOTES
	IC	26	Ilex cassine / Dahoon Holly Florida Fancy #1	2.5" Cal.	8' Ht.
	LR	26	Lagerstroemia indica x fauriei 'Tuscarora' / Tuscarora Crape Myrtle Multi-Trunk Florida Fancy #1	1.5" Cal. Canes	8' Ht.
	PA	19	Prunus angustifolia / Chickasaw Plum Florida Fancy #1	2.5" Cal.	8' Ht.
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	NOTES
	HP	50	Hamelia patens 'Firefly' / Firefly Firebush	3 gal.	18"x18", Full
	MC	220	Muhlenbergia capillaris / Pink Muhly Grass	3 gal.	18" ht. min.
	SC	48	Serenoa repens 'Cinerea' / Silver Saw Palmetto	7 gal.	24"x24", Full
	VO	50	Viburnum obovatum 'Densa' / Dwarf Walter's Viburnum	3 gal.	18"x18", Full
	VS	471	Viburnum suspensum / Sandankwa Viburnum	3 gal.	30" Ht. Min.

**SOD NOTE:**  
All sod areas to be non-irrigated Bahia Sod

**PLANT SCHEDULE ROADWAY BUFFER**

CANOPY TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	NOTES
	AR	7	Acer rubrum / Red Maple	4' Ht.	10' Ht.
	MG	12	Magnolia grandiflora / Southern Magnolia	4" Cal.	10' Ht.
	PE	39	Pinus elliottii / Slash Pine	4" Cal.	10' Ht.
	QR	14	Quercus virginiana 'Cathedral' / Cathedral Southern Live Oak	4" Cal.	10' Ht.
ORNAMENTAL TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	NOTES
	IC	26	Ilex cassine / Dahoon Holly	2.5" Cal.	8' Ht.
	LR	26	Lagerstroemia indica x fauriei 'Tuscarora' / Tuscarora Crape Myrtle Multi-Trunk	1.5" Cal. Canes	8' Ht.
	PA	19	Prunus angustifolia / Chickasaw Plum	2.5" Cal.	8' Ht.
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	NOTES
	HP	50	Hamelia patens 'Firefly' / Firefly Firebush	3 gal.	18"x18", Full
	MC	123	Muhlenbergia capillaris / Pink Muhly Grass	3 gal.	18" ht. min.
	SC	45	Serenoa repens 'Cinerea' / Silver Saw Palmetto	7 gal.	24"x24", Full
	VS	471	Viburnum suspensum / Sandankwa Viburnum	3 gal.	30" Ht. Min.

**PLANT SCHEDULE MAIL KIOSK AND ENTRY GATE AREA**

CANOPY TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	NOTES
	AR	4	Acer rubrum / Red Maple	4' Ht.	10' Ht.
	QR	3	Quercus virginiana 'Cathedral' / Cathedral Southern Live Oak	4" Cal.	10' Ht.
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	NOTES
	MC	97	Muhlenbergia capillaris / Pink Muhly Grass	3 gal.	18" ht. min.
	SC	3	Serenoa repens 'Cinerea' / Silver Saw Palmetto	7 gal.	24"x24", Full
	VO	50	Viburnum obovatum 'Densa' / Dwarf Walter's Viburnum	3 gal.	18"x18", Full

No.	Date	Comment
1	2022-09-16	PER CITY COMMENTS
2	2022-12-08	UPDATED BACKGROUNDS

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA  
Landscape Architect  
Certificate No. LA6667256

Project No. 22-001

Project Phase: CITY SUBMITTAL

**WHISPERING HEIGHTS SUBDIVISION  
HOWEY-IN-THE-HILLS,  
LAKE COUNTY, FLORIDA**

Sheet Title: **OVERALL PLAN**

Designed: KMD  
Drawn: ZRR  
Checked: KMD  
Date: 01/12/2022

Sheet No.: **L100**



# LANDSCAPE REQUIREMENTS

PER HOWEY-IN-THE-HILLS LAND DEVELOPMENT CODE

## 7.02.00 BUFFERS

2. A landscaped wall buffer with a minimum depth of 15 feet. The wall shall maintain a height of six feet from grade on highest side and all walls shall have a decorative exterior (no exposed block). Acceptable materials for wall faces are brick, stucco or stone or a combination of those materials. Wall columns shall have a maximum spacing of thirty feet (30') on walls up to two hundred feet (200') in length and forty feet (40') on walls more than two hundred feet (200') in length. Wall columns may extend up to two feet (2') above the height of the wall. Within each fifty-foot (50') increment along the wall, two (2) canopy trees, two (2) understory trees, and 30 linear feet of shrubs shall be planted. The trees shall not be closer than five feet (5') to a walk or wall. The shrubs shall be at least 30" in height at time of planting. For single family subdivisions, these buffers shall be on common property and dedicated to the homeowners' association for ownership and maintenance responsibilities. For multi-family sites, the buffer will be either owned by the property owner, or in the event of multiple owners, a condominium association or other common entity will own and maintain the buffer.

*PROVIDED: 6' HEIGHT FINISHED WALL WITH LANDSCAPE BUFFER (SEE CHART BELOW) REQUIREMENT SATISFIED.*

## 7.04.01 Florida Water Star Program/Florida Friendly Landscaping

- All required landscaping and irrigation shall be installed and maintained to be consistent with the water-efficient landscaping requirements established herein. Landowners are additionally encouraged to follow Waterwise Florida Landscapes, Florida Water Star Program, and Florida Irrigation Society Standards.
- Landscape plants shall be selected based on appropriateness to the site considering conditions such as soil type, moisture, and sunlight using the principal of "right plant – right place," as described by the Florida Friendly Landscaping program. The plants shall be grouped and irrigated by hydrozone in accordance with their respective water needs. A list of appropriate plants and plant resources is contained in The Plant List for Lake County.
- Synthetic Lawns and Plants: Synthetic or artificial turf, trees and plants shall be prohibited from use in lieu of required live plantings.
- Limit irrigated lawn areas. Irrigation is not mandated by the Town. The use, type and location of irrigated lawn area in the landscape shall be selected in a planned manner and used as a fill-in material. Since most lawn varieties used in landscape require supplemental watering more frequently than other types of landscape plants, turf shall be placed so that it can be irrigated separately. The installation of turf grass shall be subject to the following:

- Irrigated turf grasses may be installed on a maximum of sixty (60) percent of the pervious (landscape) area of any lot or parcel as follows:

### TURF GRASS TABLE

Site Size	Irrigated Turf Area
< 5 Acres	60% of the pervious landscaped areas
5 to 10 Acres	60% of the pervious landscaped area, not to exceed 5 acres, whichever is less.
> 10 acres	60% of the pervious landscaped area, not to exceed 10 acres, whichever is less

## 2. Exemptions:

- Unirrigated turf having an excellent drought tolerance rating, such as Bahia grass, may be used on the entire site and is not subject to this limitation.
- Agricultural uses, commercial golf courses greens and fairways, cemeteries, and public or private active recreation fields such as ball fields are exempt from this limitation.
- Existing Development: Property owners shall be encouraged to replace lawns and plants with Florida-Friendly Landscaping and drought tolerant turf for development existing as of June 14, 2021.
- The percentage of micro irrigation and/or non-irrigated areas shall be no less than 40 percent of the total irrigable area.

*PROVIDED: BAHIA SOD AND FLORIDA FRIENDLY LANDSCAPING REQUIREMENT SATISFIED.*

## 7.05.01 Parking Lots

- Terminal islands. Each row of parking spaces shall be terminated by landscaped islands to separate parking from adjacent drive aisles. Terminal islands shall measure a minimum of ten feet (10') in width and 20 feet (20') in length. Each terminal island shall include a canopy tree which is at least 4 inches DBH at time of planting, and ground cover. Shrubs may also be included.
- Interior islands. Interior islands shall be used to shade parking lots. Interior islands are required every ten (10) parking spaces and shall be, at a minimum, the same size of a parking space (10 feet by 20 feet). Each interior island shall include a canopy tree which is at least 4 inches DBH at time of planting, and ground cover. Shrubs may also be included.
- Divider medians. Landscaped divider medians shall form a continuous landscaped strip between abutting rows of parking. The minimum width of a divider median shall be 10 feet. Canopy trees at least 4 inches DBH at time of planting shall be spaced no fewer than one tree every 40 feet. Ground cover, shrubs, and understory trees shall also be included in divider medians.
- All parking lot landscaping shall be designed with an irrigation system.

*PARKING AREA LOCATED AT MAIL KIOSK AND ENTRY GATES  
PROVIDED: (1) CANOPY TREE PER TERMINAL ISLAND AND GROUND COVER REQUIREMENT SATISFIED.*

## SURVEY NOTES:

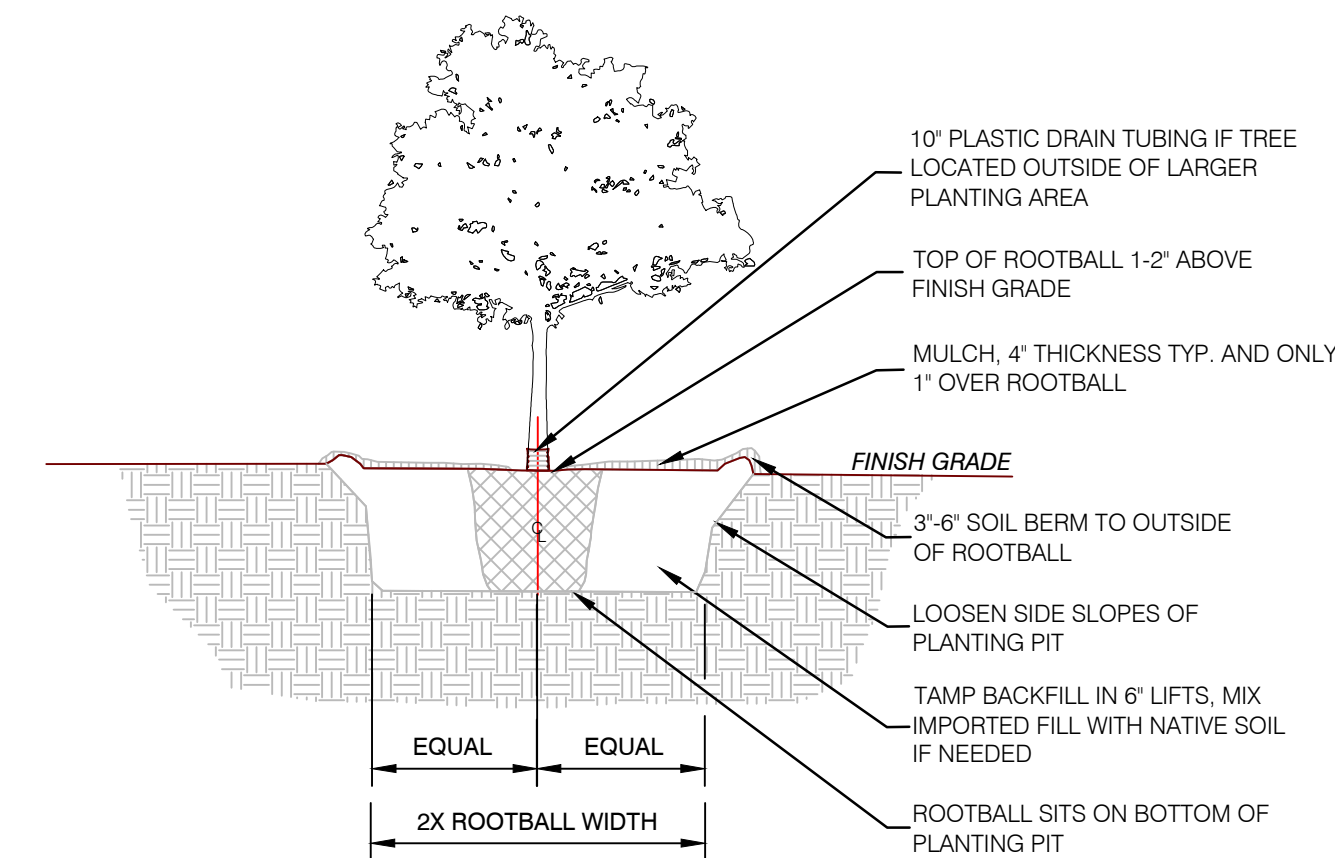
- SEE CIVIL DRAWINGS FOR EXISTING CONDITIONS SURVEY.
- SEE CIVIL DRAWINGS FOR EROSION AND SEDIMENTATION CONTROL PLAN.
- THE CONTRACTOR SHALL MAKE A FULL REVIEW OF ALL EXISTING CONDITIONS OF THE SITE AND SHALL REPORT DISCREPANCIES TO THE LANDSCAPE ARCHITECT BEFORE STARTING WORK. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ACTUAL CONDITIONS AS THEY EXIST ON SITE.
- EXISTING TREE CANOPIES WERE NOT SURVEYED. ALL TREE CANOPIES INDICATED ARE BASED ON SATELLITE IMAGERY AND AVERAGE CANOPY SIZE PER SURVEYED D.B.H. AND SPECIES.
- EXISTING AND PROPOSED UTILITY LOCATIONS SHOWN ARE APPROXIMATE UNLESS SPECIFICALLY NOTED OTHERWISE IN THE DRAWINGS. SEE CIVIL PLANS FOR LOCATION OF BOTH PROPOSED AND EXISTING UTILITIES.
- VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES IN THE FIELD AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS BETWEEN LAYOUT/GRADING AND SITE UTILITIES PRIOR TO THE START OF CONSTRUCTION.

## GENERAL NOTES:

- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REVIEW THE SITE CONDITIONS AND INFORM THE LANDSCAPE ARCHITECT AND OWNER OF ANY DISCREPANCIES IN SITE CONDITIONS OR EXISTING GRADES THAT ARE NOT DESCRIBED ON THE PLANS BEFORE COMMENCING WORK.
- LANDSCAPE PLANTING CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT TO REVIEW PLANS BEFORE COMMENCING WORK IN ORDER TO ASSURE CLOSE COORDINATION.
- PRIOR TO PROJECT COMPLETION THE SITE IS TO BE THOROUGHLY CLEANED OF ALL CONSTRUCTION DEBRIS, SIGNS, ETC. AND REVIEWED BY THE LANDSCAPE ARCHITECT AND OWNER.
- NO CONSTRUCTION ACTIVITY INCLUDING GRADE CHANGES, SURFACE TREATMENTS OR EXCAVATIONS OF ANY KIND IS PERMITTED WITHIN THE AREA IDENTIFIED AS A TREE PROTECTION ZONE (TPZ). IN ADDITION, NO ROOT CUTTING, NO STORAGE OF MATERIALS OR FILL, NO MOVEMENT OR STORAGE OF VEHICLES OR EQUIPMENT IS PERMITTED WITHIN THESE AREAS. THE AREAS IDENTIFIED AS A TPZ MUST REMAIN UNDISTURBED AT ALL TIMES.
- ARBORICULTURAL WORK: ANY ROOTS OR BRANCHES WHICH EXTEND BEYOND THE TREE PROTECTION ZONE WHICH REQUIRE PRUNING, MUST BE PRUNED BY A QUALIFIED ARBORIST OR OTHER TREE PROFESSIONAL AS APPROVED BY THE OWNER OR OWNER'S REP. ALL PRUNING OF TREE ROOTS AND BRANCHES MUST BE IN ACCORDANCE WITH APPROPRIATE ARBORICULTURAL STANDARDS.
- CONTRACTORS MUST CLEAN UP ALL TRASH AND DEBRIS ON THE CONSTRUCTION SITE AT THE END OF EACH DAY. LIGHTWEIGHT MATERIAL, PACKAGING, AND OTHER ITEMS MUST BE COVERED OR WEIGHTED DOWN TO PREVENT WIND FROM BLOWING SUCH MATERIALS OFF OF THE CONSTRUCTION SITE. DURING THE CONSTRUCTION PERIOD, THE CONSTRUCTION SITE MUST BE KEPT NEAT AND TIDY. DIRT, MUD OR OTHER DEBRIS RESULTING FROM ACTIVITY ON SITE MUST BE PROMPTLY REMOVED FROM SURROUNDING ROADS/PARKING AREAS.
- CONTRACTOR TO CALL 1-800-432-4770 (CALL 811) TWO WEEKS PRIOR TO VERIFY LOCATION OF UNDERGROUND LINES, PIPES AND CABLES.

## PLANTING INSTALLATION NOTES:

- PLANT MATERIAL TO BE FLORIDA FANCY OR FLORIDA #1 OR BETTER. ALL PLANT MATERIALS SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- ALL PLANTS SHALL BE HEALTHY, VIGOROUS, FREE OF DISEASE, INSECTS AND PESTS.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT PLANT MATERIAL AT THE NURSERY OR AT THE SITE.
- THE LANDSCAPE CONTRACTOR SHALL STAKE THE LOCATION OF ALL PROPOSED PLANT MATERIAL FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. NO PLANTS SHALL BE PLANTED BEFORE THE ACCEPTANCE OF ROUGH GRADING. THE TRUNK FLARE (AT THE BASE OF THE TREE) SHALL BE PROPERLY EXPOSED FOR ALL PLANTINGS.
- KEEP ROOTBALLS INTACT PRIOR TO AND DURING PLANTING OPERATIONS. PLANTS WITH BROKEN OR DAMAGED ROOT BALLS SHALL BE REJECTED AND IMMEDIATELY REMOVED FROM THE SITE. KEEP ROOT BALLS DAMP AND PROTECTED FROM DAMAGE DUE TO SUN AND WIND.
- PLANTING PIT EXCAVATION: EXCAVATE FOR TREES WITH SLIGHTLY VERTICAL SIDES AND WITH BOTTOM OF EXCAVATION SLIGHTLY CROWNED TO PROMOTE DRAINAGE. SOIL EXCAVATED FROM PITS WILL BE USED TO BACKFILL THE PLANTING PITS.
- ALL PLANTED AREAS WITHIN OR OUTSIDE THE LIMIT OF WORK WHICH ARE DISTURBED DURING CONSTRUCTION (INCLUDING PLANTING OPERATIONS) SHALL BE RETURNED TO ORIGINAL GRADE, LOAMED AND SEEDED OR MULCHED (AS APPROPRIATE) BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- TREE PLANTING: SEE DETAILS HEREIN FOR ADDITIONAL INFORMATION RELATED TO PLANTING PIT DIMENSIONS, PLANTING OPERATIONS, BACKFILLING, AND STAKING OF TREES.
- CONTAINER STOCK PLANTING: PLANT CONTAINER GROWN STOCK THE SAME AS SPECIFIED FOR BALLED AND BURLAPPED STOCK, BUT REMOVE CONTAINERS COMPLETELY.
- OBSTRUCTIONS: IF OBSTRUCTIONS OR OTHER CONDITIONS DETRIMENTAL TO HEALTHY PLANT GROWTH ARE ENCOUNTERED, NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY AND REQUEST ADDITIONAL INSTRUCTIONS.
- WATERING AND DRAINAGE: FILL EXCAVATIONS WITH WATER AND ALLOW WATER TO PERCOLATE OUT BEFORE PLANTING. IF PLANTING PITS DO NOT PERCOLATE OR DRAIN PROPERLY, NOTIFY LANDSCAPE ARCHITECT AND REQUEST ADDITIONAL INSTRUCTIONS PRIOR TO PLANTING. DO NOT PLANT INTO POORLY DRAINING PITS: POORLY DRAINING PLANTING PITS MAY HOLD WATER AND DROWN PLANTS.
- WATERING: FLOOD ALL PLANTS WITH WATER TWICE WITHIN THE FIRST 24 HOURS AFTER PLANTING.
13. ALL PLANT MATERIAL SHALL BE MULCHED AFTER PLANTING. BACKFILL TO ALLOW ROOM FOR 3" THICKNESS OF MULCH AFTER SETTLING, AND PLACE MULCH IN DISH AFTER FIRST WATERING AND WITHIN ONE WEEK OF PLANTING.
- PRUNING AND SHAPING: PRUNE, THIN OUT AND SHAPE PLANTS IN COMPLIANCE WITH AMERICAN ASSOCIATION OF NURSERYMEN, HORTICULTURAL STANDARDS TO PRESERVE THE NATURAL CHARACTER AND ONLY AS APPROVED BY THE LANDSCAPE ARCHITECT. RETAIN REQUIRED HEIGHT AND SPREAD. DO NOT ALTER SHAPE AND DO NOT CUT LEADERS. REMOVE ALL DEAD WOOD, SUCKERS, BROKEN OR BRUISED BRANCHES, AND CROSSING BRANCHES.



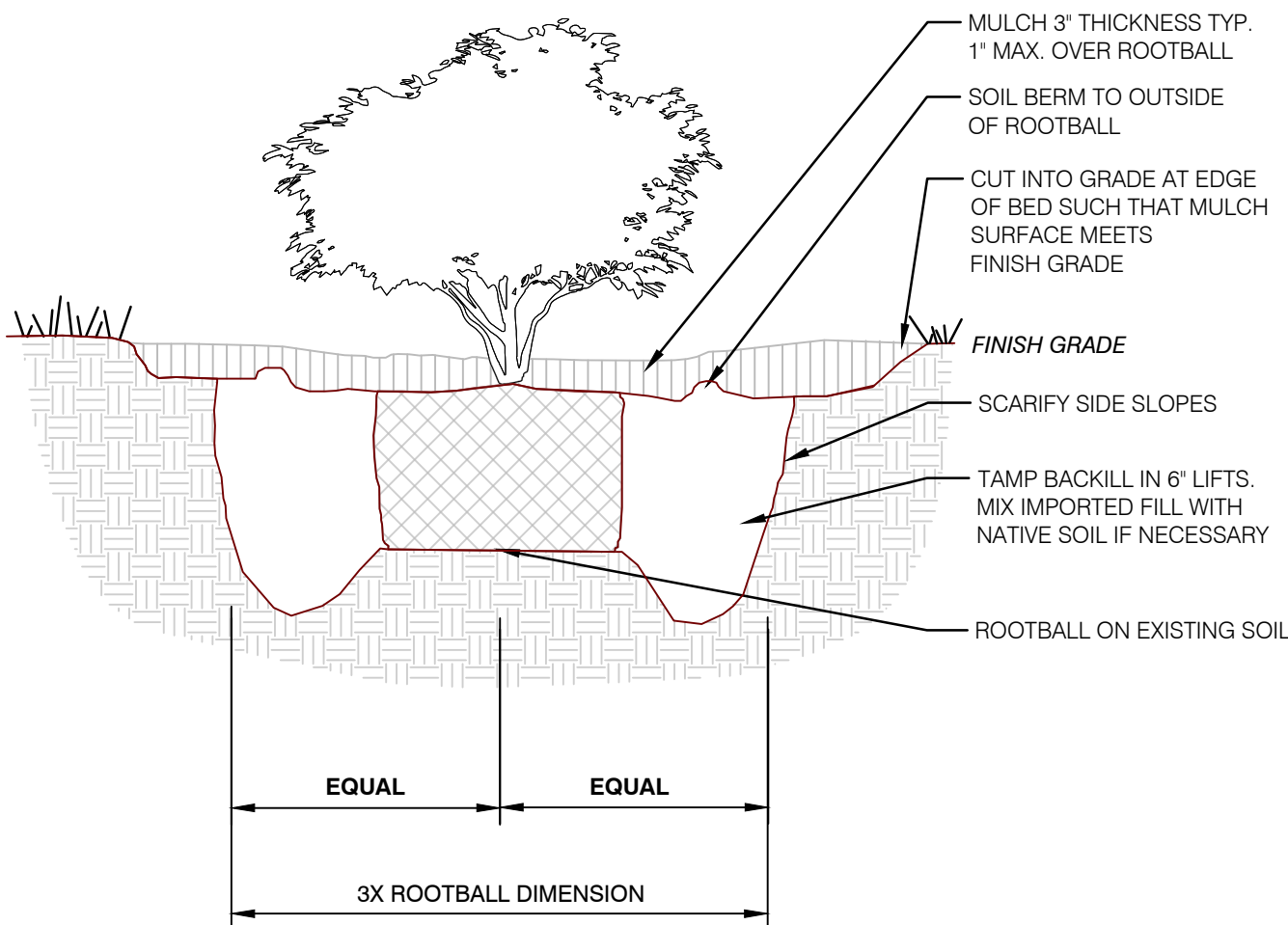
### NOTES:

- ENSURE PLANTING PIT DRAINS WELL PRIOR TO INSTALLATION.
- REMOVE TREE FROM CONTAINER OR REMOVE UPPER 1/3 OF BURLAP AND WIRE MESH FOR B&B TREES.
- SLICE ROOTBALL VERTICALLY ON OUTSIDE EDGES OF AND AROUND ROOTBALL.
- TREE TO BE PLUMB. STAKE TREE. SUBMIT TREE STAKING DETAILS AND LAYOUT FOR APPROVAL.

## 1 TREE PLANTING DETAIL

SCALE: N.T.S.

P-ED-01



## 2 SHRUB PLANTING DETAIL

SCALE: N.T.S.

P-ED-04



Know what's below.  
Call before you dig.

LOCATION AND BUFFER TYPE	REQUIREMENT	PROVIDED
NORTH Timber S 1 70 Land Use Code: 5400	not required	not required
WEST Government Submerged Land Land Use Code 8095 Little Lake Harris Wetland Area	not required	not required
SOUTH Single Family Lakefront Land Use Code: 0103	not required	not required
EAST Public R.O.W TYPE A BUFFER 1,777 linear feet	20' WIDTH per 50 linear feet 1,777 LF/50 LF = 35.54 (2) CANOPY TREES = 35.54*2 = 71 CANOPY TREES (2) ORNAMENTAL TREES = 35.54*2 = 71 ORNAMENTAL TREES (1) SINGLE ROW OF SHRUBS	SOLID WALL (71) CANOPY TREES (71) ORNAMENTAL TREES (1) HEDGE ROW

PREPARED BY:



Contact: KALEY DUNLAP  
916 VASSAR STREET  
ORLANDO, FL 32804  
TEL | 321-277-0826  
kaley@floraviedesign.com

PREPARED FOR:

RED JACKET  
DEVELOPMENT  
CONTACT: CLAY FRANKEL  
625 WALTHAM AVENUE  
ORLANDO, FLORIDA 32409  
PHONE: 407-855-1136

No.	Date	Comment
1	2022-09-16	PER CITY COMMENTS
2	2022-12-08	UPDATED BACKGROUNDS

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA LA6667256  
Landscape Architect Certificate No.

Project No. 22-001

Project Phase: CITY SUBMITTAL

Project Title:  
**WHISPERING HEIGHTS  
SUBDIVISION  
HOWEY-IN-THE-HILLS,  
LAKE COUNTY, FLORIDA**

Sheet Title:  
**LANDSCAPE CALCULATIONS,  
NOTES, AND DETAILS**

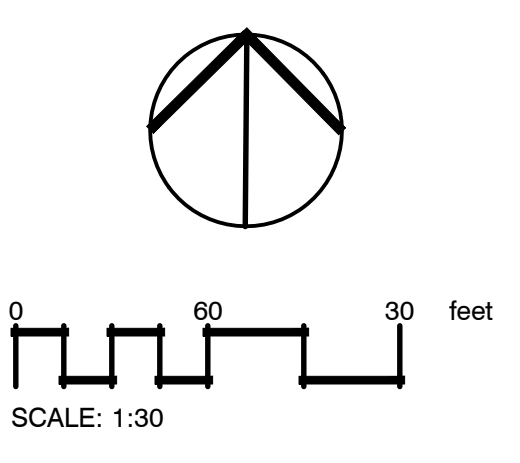
Designed: KMD Sheet No.:  
Drawn: ZRR  
Checked: KMD **L200**  
Date: 01/12/2022





PREPARED BY:  
  
 Contact: KALEY DUNLAP  
 916 VASSAR STREET  
 ORLANDO, FL 32804  
 TEL | 321-277-0826  
 kaley@floraviedesign.com

PREPARED FOR:  
**RED JACKET DEVELOPMENT**  
 CONTACT: CLAY FRANKEL  
 625 WALTHAM AVENUE  
 ORLANDO, FLORIDA 32409  
 PHONE: 407-855-1136



No.	Date	Comment
2	2022-12-08	UPDATED BACKGROUNDS

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA LA6667256  
 Landscape Architect Certificate No.

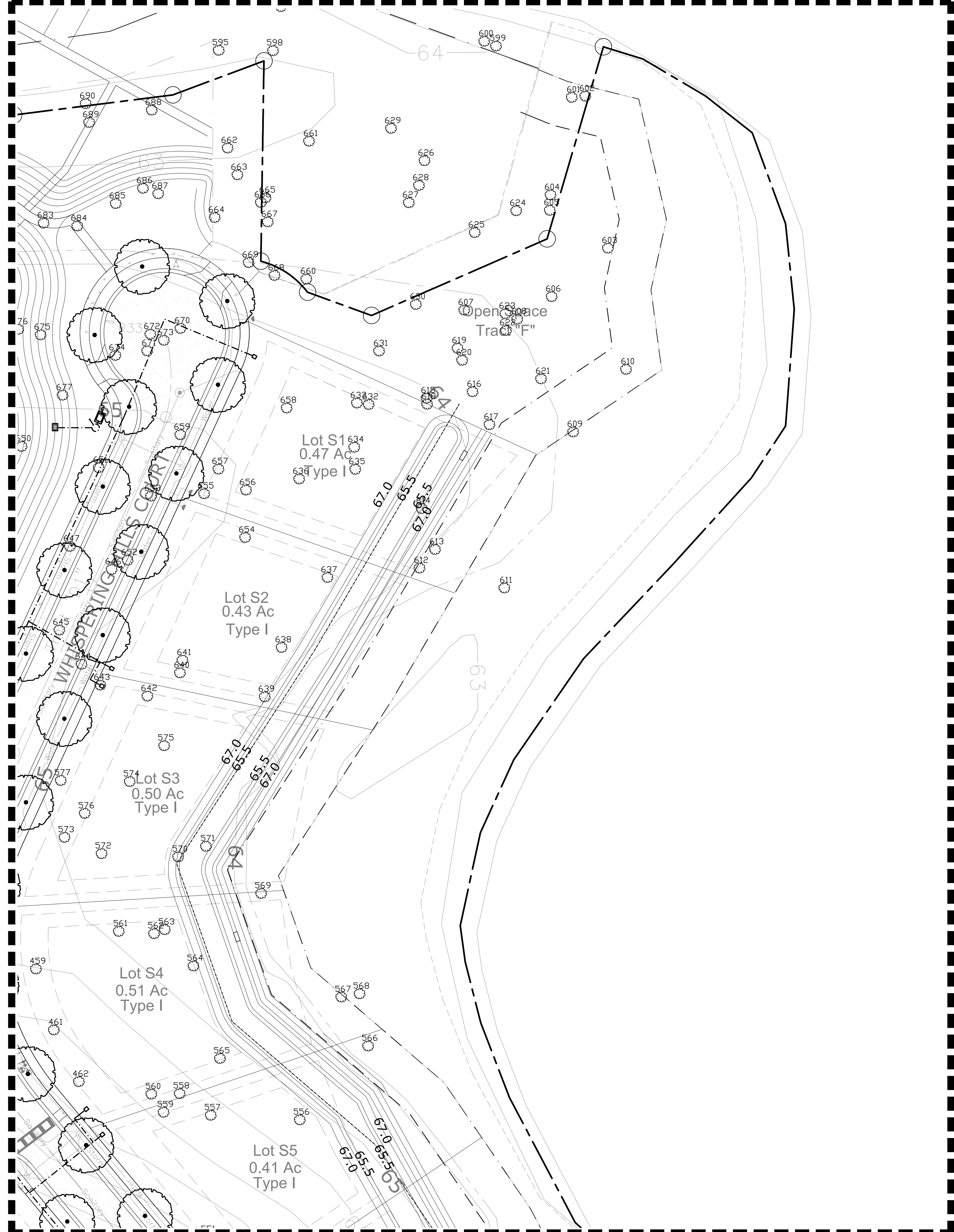
Project No: 22-001  
 Project Phase: CITY SUBMITTAL

Project Title:  
**WHISPERING HEIGHTS SUBDIVISION  
 HOWEY-IN-THE-HILLS,  
 LAKE COUNTY, FLORIDA**

Sheet Title:  
**LANDSCAPE PLAN**

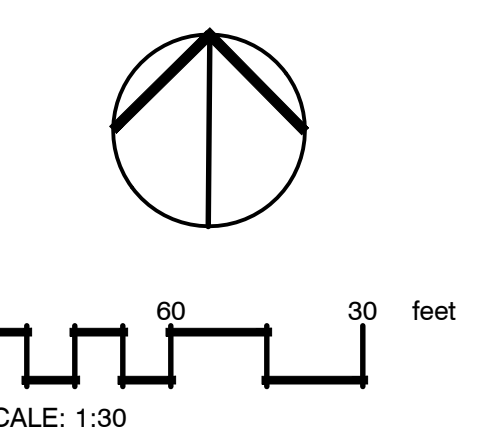
Designed: KMD	Sheet No.:
Drawn: ZPR	<b>L201</b>
Checked: KMD	
Date: 01/12/2022	





PREPARED BY:  
*floravie*  
 design  
 Contact: KALEY DUNLAP  
 916 VASSAR STREET  
 ORLANDO, FL 32804  
 TEL | 321-277-0826  
 kaley@floraviedesign.com

PREPARED FOR:  
**RED JACKET DEVELOPMENT**  
 CONTACT: CLAY FRANKEL  
 625 WALTHAM AVENUE  
 ORLANDO, FLORIDA 32409  
 PHONE: 407-855-1136



No.	Date	Comment
2	2022-12-08	UPDATED BACKGROUNDS

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA LA6667256  
 Landscape Architect Certificate No.

Project No: 22-001

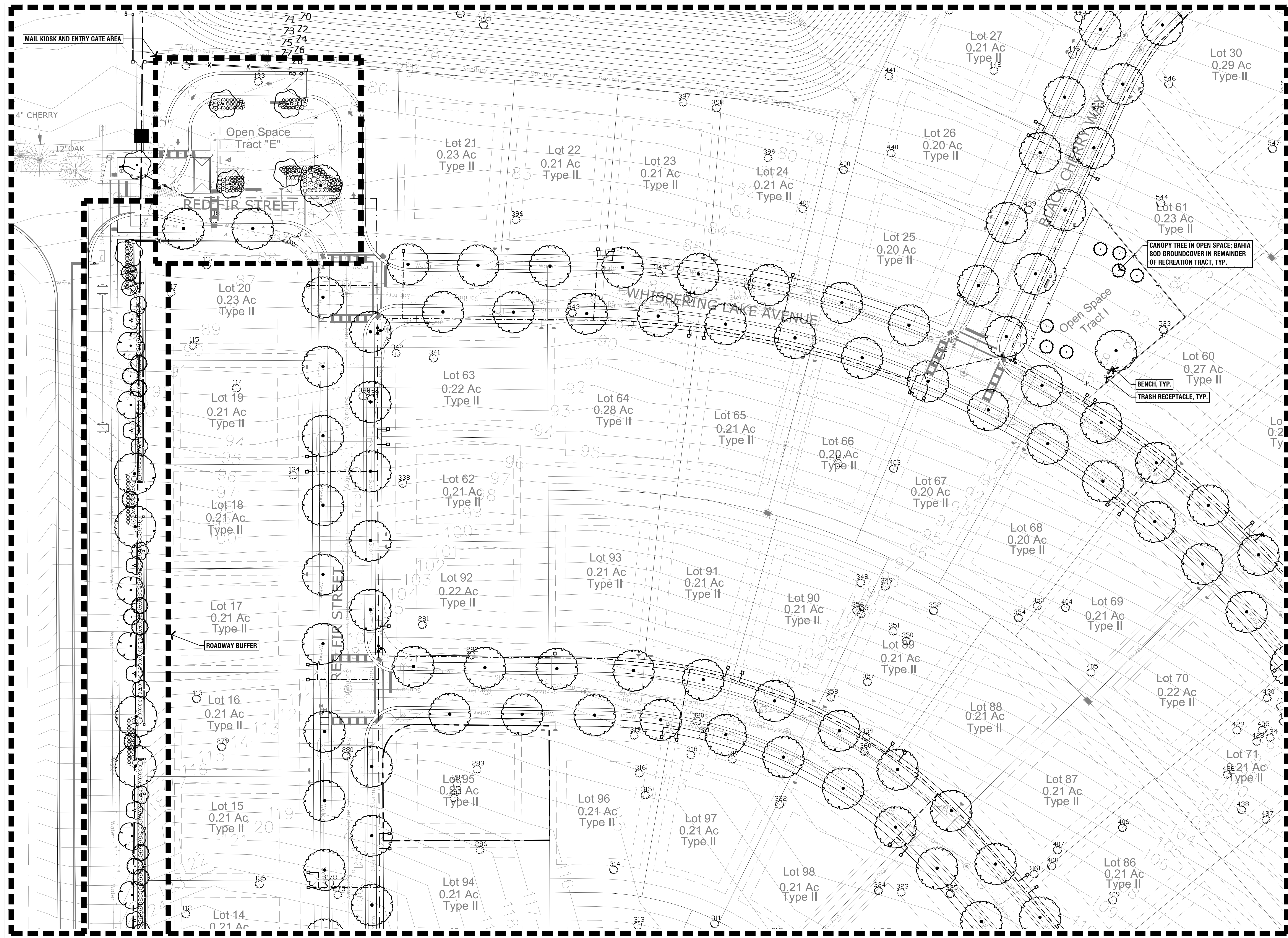
Project Phase: CITY SUBMITTAL

Project Title:  
**WHISPERING HEIGHTS SUBDIVISION  
 HOWEY-IN-THE-HILLS,  
 LAKE COUNTY, FLORIDA**

Sheet Title:  
**LANDSCAPE PLAN**

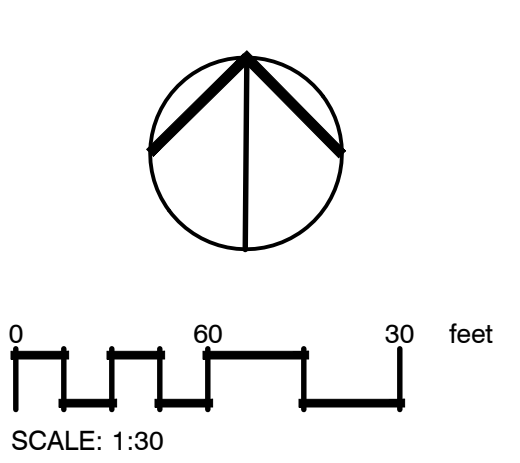
Designed: KMD	Sheet No.:
Drawn: ZRR	<b>L201</b>
Checked: KMD	
Date: 01/12/2022	





PREPARED BY:  
*floravie*  
 design  
 Contact: KALEY DUNLAP  
 916 VASSAR STREET  
 ORLANDO, FL 32804  
 TEL | 321-277-0826  
 kaley@floraviedesign.com

PREPARED FOR:  
**RED JACKET DEVELOPMENT**  
 CONTACT: CLAY FRANKEL  
 625 WALTHAM AVENUE  
 ORLANDO, FLORIDA 32409  
 PHONE: 407-855-1136



No.	Date	Comment
1	2022-09-16	PER CITY COMMENTS
2	2022-12-08	UPDATED BACKGROUNDS

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA  
 Landscape Architect  
 Project No: 22-001  
 License No: LA6667256  
 Certificate No.

Project Phase: CITY SUBMITTAL  
 Project Title: **WHISPERING HEIGHTS SUBDIVISION HOWEY-IN-THE-HILLS, LAKE COUNTY, FLORIDA**

Sheet Title: **LANDSCAPE PLAN**

Designed: KMD  
 Drawn: ZPR  
 Checked: KMD  
 Date: 01/12/2022  
 Sheet No.: **L203**

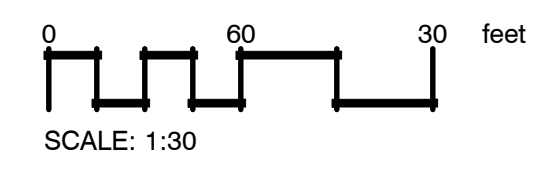
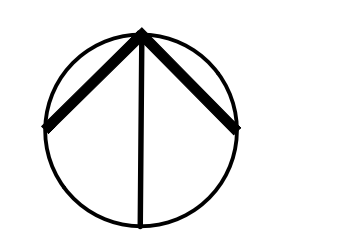




PREPARED BY:  
*floravie*  
 design

Contact: KALEY DUNLAP  
 916 VASSAR STREET  
 ORLANDO, FL 32804  
 TEL | 321-277-0826  
 kaley@floraviedesign.com

PREPARED FOR:  
**RED JACKET DEVELOPMENT**  
 CONTACT: CLAY FRANKEL  
 625 WALTHAM AVENUE  
 ORLANDO, FLORIDA 32409  
 PHONE: 407-855-1136



No.	Date	Comment
1	2022-09-16	PER CITY COMMENTS
2	2022-12-08	UPDATED BACKGROUNDS

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA LA6667256  
 Landscape Architect Certificate No.

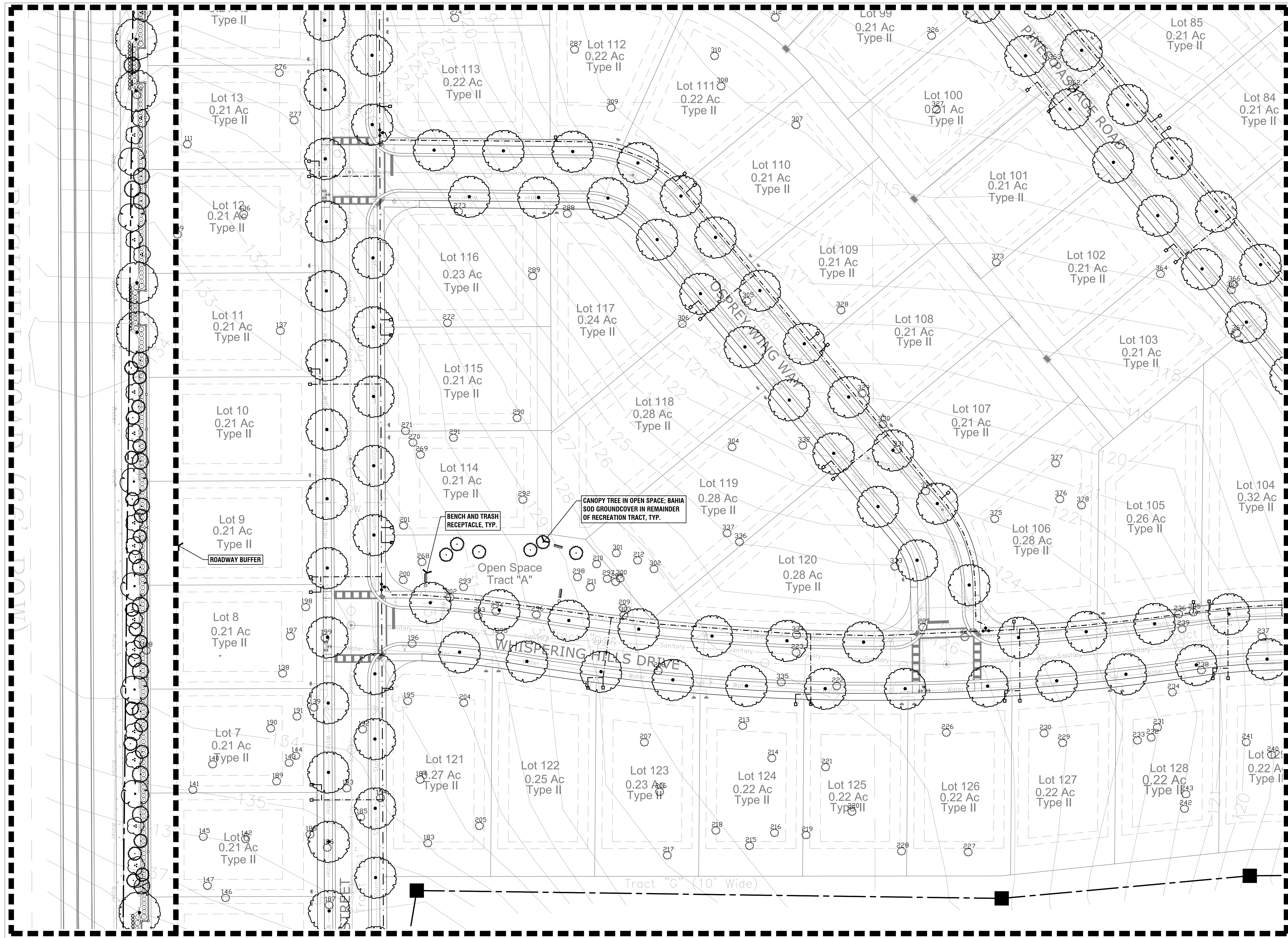
Project No: 22-001  
 Project Phase: CITY SUBMITTAL

Project Title:  
**WHISPERING HEIGHTS SUBDIVISION  
 HOWEY-IN-THE-HILLS,  
 LAKE COUNTY, FLORIDA**

Sheet Title:  
**LANDSCAPE PLAN**

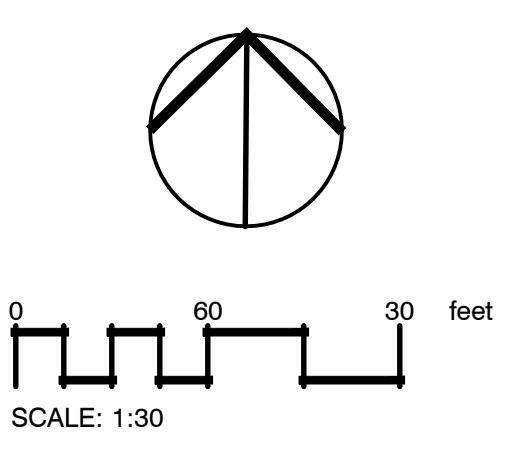
Designed: KMD Sheet No.:  
 Drawn: ZRR  
 Checked: KMD **L204**  
 Date: 01/12/2022





PREPARED BY:  
**floravie**  
 design  
 Contact: KALEY DUNLAP  
 916 VASSAR STREET  
 ORLANDO, FL 32804  
 TEL | 321-277-0826  
 kaley@floraviedesign.com

PREPARED FOR:  
**RED JACKET DEVELOPMENT**  
 CONTACT: CLAY FRANKEL  
 625 WALTHAM AVENUE  
 ORLANDO, FLORIDA 32409  
 PHONE: 407-855-1136



No.	Date	Comment
1	2022-09-16	PER CITY COMMENTS
2	2022-12-08	UPDATED BACKGROUNDS

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA  
 Landscape Architect  
 License No. LA6667256  
 Certificate No. 22-001

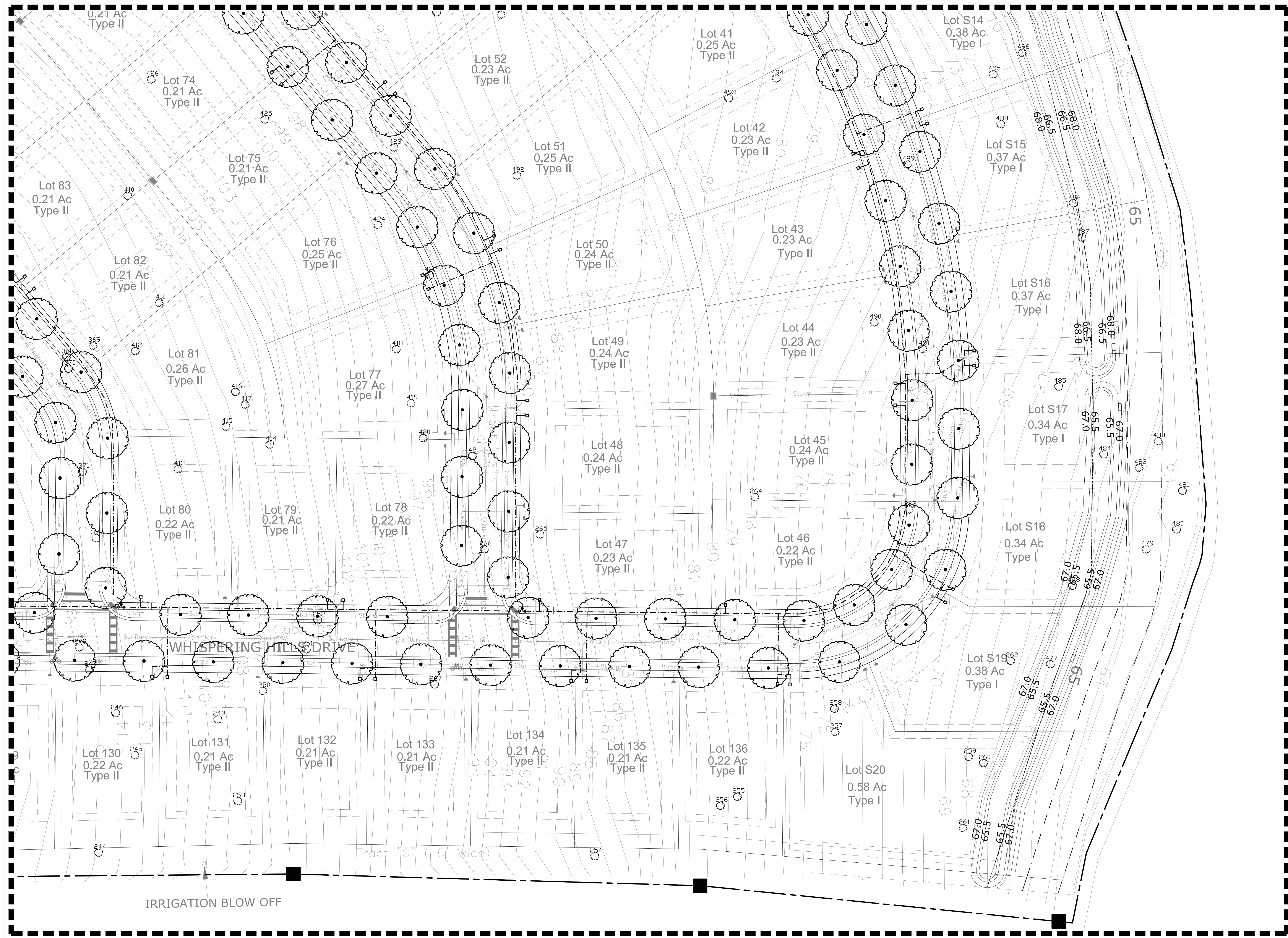
Project Phase: CITY SUBMITTAL


Project Title:  
**WHISPERING HEIGHTS SUBDIVISION  
 HOWEY-IN-THE-HILLS,  
 LAKE COUNTY, FLORIDA**

Sheet Title:  
**LANDSCAPE PLAN**

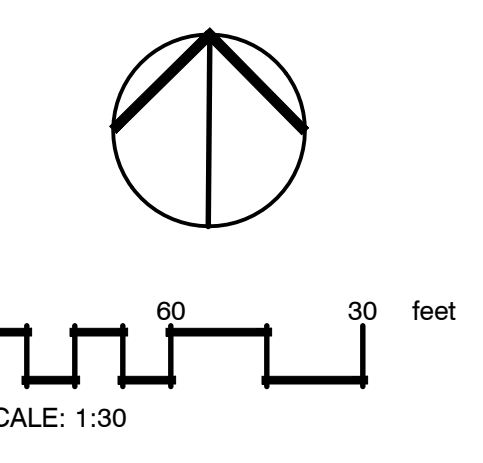
Designed: KMD  
 Drawn: ZPR  
 Checked: KMD  
 Date: 01/12/2022  
 Sheet No.:  
**L205**





PREPARED BY:  
  
 Contact: KALEY DUNLAP  
 916 VASSAR STREET  
 ORLANDO, FL 32804  
 TEL | 321-277-0826  
 kaley@floraviedesign.com

PREPARED FOR:  
**RED JACKET DEVELOPMENT**  
 CONTACT: CLAY FRANKEL  
 625 WALTHAM AVENUE  
 ORLANDO, FLORIDA 32409  
 PHONE: 407-855-1136



No.	Date	Comment
1	2022-09-16	PER CITY COMMENTS
2	2022-12-08	UPDATED BACKGROUNDS

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA  
 Landscape Architect  
 Project No. 22-001  
 Certificate No. LA6667256

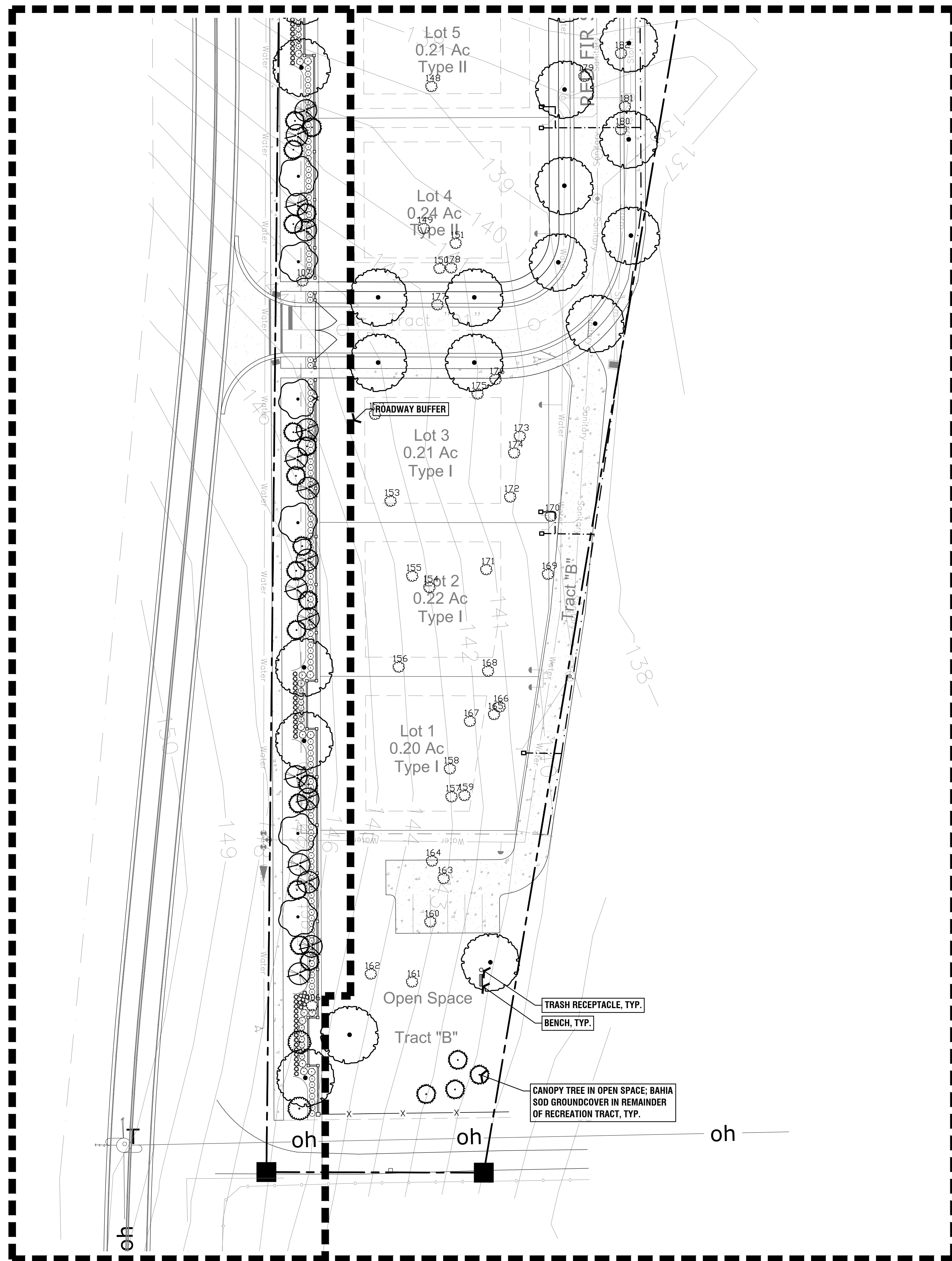
Project Phase: CITY SUBMITTAL

Project Title:  
**WHISPERING HEIGHTS SUBDIVISION  
 HOWEY-IN-THE-HILLS,  
 LAKE COUNTY, FLORIDA**

Sheet Title:  
**LANDSCAPE PLAN**

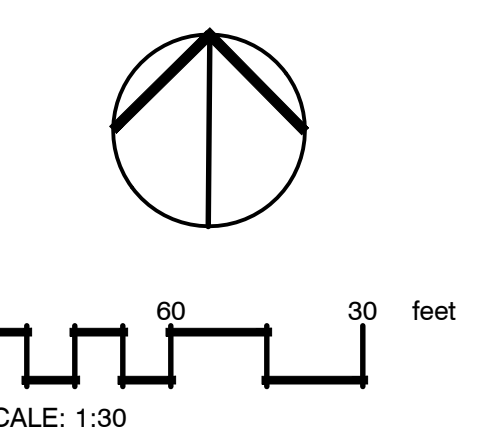
Designed: KMD  
 Drawn: ZPR  
 Checked: KMD  
 Date: 01/12/2022  
 Sheet No.:  
**L206**





PREPARED BY:  
  
 Contact: KALEY DUNLAP  
 916 VASSAR STREET  
 ORLANDO, FL 32804  
 TEL | 321-277-0826  
 kaley@floraviedesign.com

PREPARED FOR:  
**RED JACKET DEVELOPMENT**  
 CONTACT: CLAY FRANKEL  
 625 WALTHAM AVENUE  
 ORLANDO, FLORIDA 32409  
 PHONE: 407-855-1136



No.	Date	Comment
1	2022-09-16	PER CITY COMMENTS
2	2022-12-08	UPDATED BACKGROUNDS

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA  
 Landscape Architect  
 Project No. 22-001  
 Certificate No. LA6667256

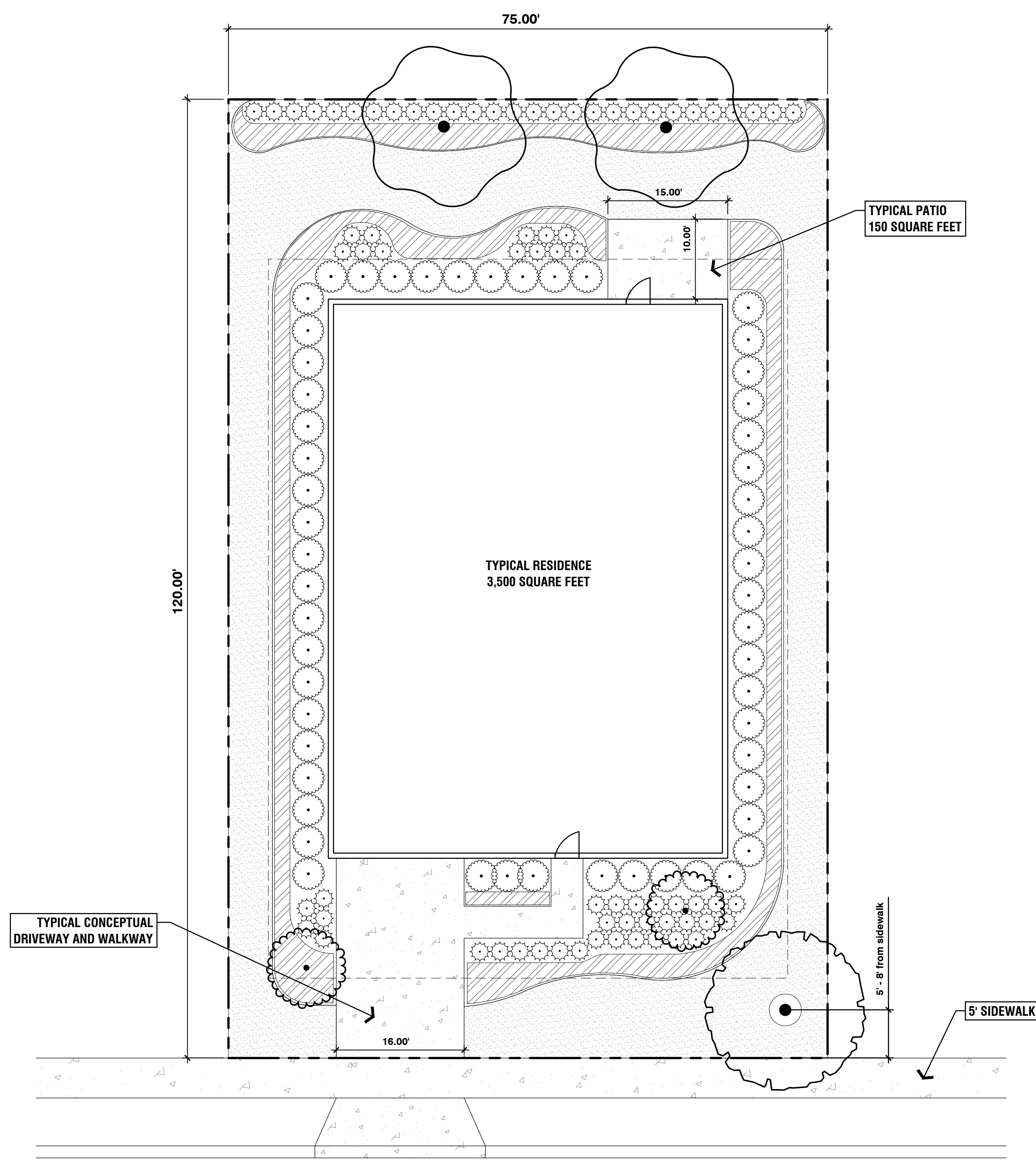
Project Phase: CITY SUBMITTAL

Project Title:  
**WHISPERING HEIGHTS SUBDIVISION  
 HOWEY-IN-THE-HILLS,  
 LAKE COUNTY, FLORIDA**

Sheet Title:  
**LANDSCAPE PLAN**

Designed: KMD  
 Drawn: ZRR  
 Checked: KMD  
 Date: 01/12/2022  
 Sheet No.:  
**L207**





**7.08.01 Required Landscaping**

- A. For single family lots that are one half acre or less in size, a minimum of three (3) canopy trees is required. Each such single family lot will be required to have one tree with a caliper of at least four inches (4") and two (2) trees each with a caliper of at least two and one half inches (4 2½"). These trees shall have a minimum height of 10 feet at time of planting. These trees should be canopy trees as listed in this chapter. Existing trees may be counted as meeting this requirement, as long as they are of sufficient size and accepted species. One of the canopy trees on each such single-family lot shall be planted in the front yard, no less than 5 feet and no more than 8 feet from the sidewalk or lot line. These trees will help to form a canopy over the sidewalk and street sides. Corner lots are required to provide two such trees, one on the front and one on the side of the lot. Additionally, if the lot is more than 100 feet wide at the sidewalk, then the lot will be required to have two such trees. Existing trees in this specific area can be counted as meeting this requirement. These trees shall be coordinated with the placement of streetlights to prevent conflicts. A list of approved canopy trees is included in this chapter.
- B. A minimum of two (2) understory trees are required for single family lots of one-half acre or less in size. For lots greater than one half acre in size, an additional understory tree is required for each additional one quarter of an acre above the one-half acre, or portion thereof.
- C. A maximum of fifty percent (50%) of the landscaped area may be covered with other ground covers should be used to the extent possible
- D. Shrubs and other plants shall be used as foundation plants along the outline of the house, except where doors or patios are located. Alternate plantings may be permitted if the architectural style of the house warrants it.
- E. A minimum of two areas of the yard that have at least 400 square feet of non-turf plantings in a row or cluster, not including the foundation plantings, is required. For single family lots greater than one half acre in size, an additional 400 square feet of non-turf plantings in a row or cluster, not including the foundation plantings, is required for each additional eighth of an acre, or portion thereof.
- F. At least 50% of the landscaped area for each single-family lot shall be drought tolerant or Florida Friendly plants. Florida Friendly plants require a minimum of irrigation and shall be grouped together on the lot in order to reduce the irrigation requirement for those zones.

**TYPICAL CALCULATIONS**

TOTAL LOT SIZE:	9,000 SQUARE FEET
PERVIOUS AREA	4,801 SQUARE FEET
50% MAX SOD AREA:	2,400.5 SQUARE FEET

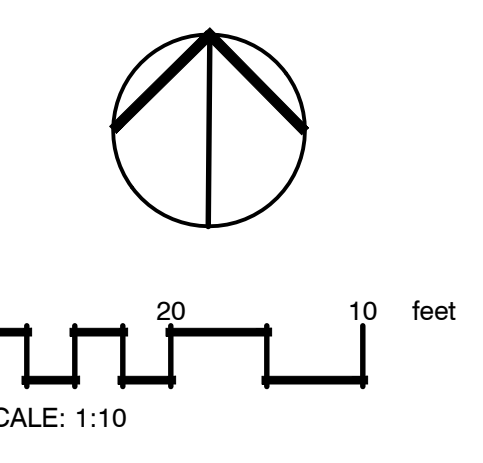
PROVIDED SOD AREA: 2,339 SQUARE FEET  
 48.7% SOD AREA  
**REQUIREMENT SATISFIED.**

**CONCEPT PLANT SCHEDULE TYPICAL LOT LAYOUT**

Plant Type	Quantity	Plant Name	Size / Spacing
LARGE CANOPY	1	Magnolia grandiflora / Southern Magnolia	4" Cal., 10' Ht.
		Quercus virginiana / Southern Live Oak	4" Cal., 10' Ht.
SMALL CANOPY	2	Acer rubrum / Red Maple	2.5" Cal., 10' Ht.
		Platanus occidentalis / American Sycamore	2.5" Cal., 10' Ht.
		Quercus shumardii / Shumard Oak	2.5" Cal., 10' Ht.
UNDERSTORY	2	Ilex opaca / American Holly	2.5" Cal., 8' Ht.
		Lagerstroemia indica / Multi-trunk Crape Myrtle	1.5" Cal. Canes, 8' Ht.
		Ligustrum japonicum / Multi-trunk Japanese Privet	1.5" Cal. Canes, 8' Ht.
		Sabal palmetto / Cabbage Palmetto	FG, 8' Clear Trunk, Slick
FOUNDATION SHRUB	54	Hamelia patens 'Firefly' / Firefly Firebush	7 gal., 24"x24", Full
		Illicium floridanum / Florida Anise	7 gal., 24"x24", Full
		Viburnum suspensum / Sandankwa Viburnum	7 gal., 24"x24", Full
SMALL SHRUBS AND GRASSES	72	Hypericum perforatum / St. John's Wort	3 gal., 15"x15"
		Muhlenbergia capillaris / Pink Muhly Grass	3 gal., 15"x15"
		Rhaphiolepis indica / Indian Hawthorn	3 gal., 15"x15"
		Sabal minor / Dwarf Palmetto	3 gal., 15"x15"
		Zamia pumila / Coontie Cycad	3 gal., 15"x15"
GROUNDCOVERS	853 sf	Arachis glabrata / Perennial Peanut	1 gal.
		Lantana camara / Lantana	1 gal.
		Liriope muscari / Lilyturf	1 gal.
		Trachelospermum asiaticum / Asiatic Jasmine	1 gal.
SOD	2,339 sf	Stenotaphrum secundatum / St. Augustine Grass	---

PREPARED BY:  
  
 Contact: KALEY DUNLAP  
 916 VASSAR STREET  
 ORLANDO, FL 32804  
 TEL | 321-277-0826  
 kaley@floraviedesign.com

PREPARED FOR:  
**RED JACKET DEVELOPMENT**  
 CONTACT: CLAY FRANKEL  
 625 WALTHAM AVENUE  
 ORLANDO, FLORIDA 32409  
 PHONE: 407-855-1136



No.	Date	Comment
1	2022-09-16	PER CITY COMMENTS
2	2022-12-08	UPDATED BACKGROUNDS

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA LA6667256  
 Landscape Architect Certificate No.

Project No: 22-001

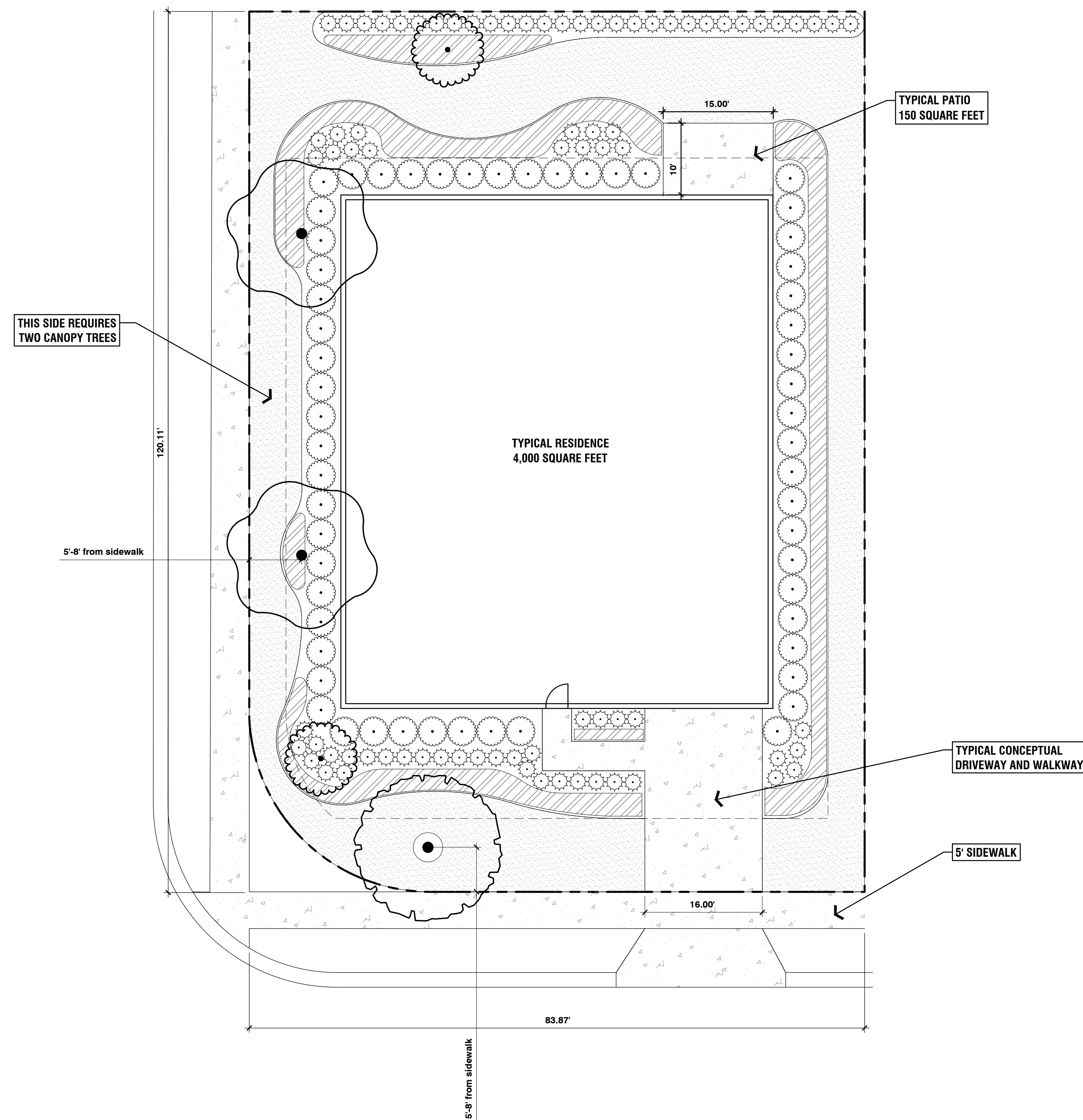
Project Phase: CITY SUBMITTAL

Project Title:  
**WHISPERING HEIGHTS SUBDIVISION  
 HOWEY-IN-THE-HILLS,  
 LAKE COUNTY, FLORIDA**

Sheet Title:  
**TYPICAL LOT  
 LANDSCAPE PLAN**

Designed: KMD	Sheet No.:
Drawn: ZRR	<b>L300</b>
Checked: KMD	
Date: 01/12/2022	





**7.08.01 Required Landscaping**

- A. For single family lots that are one half acre or less in size, a minimum of three (3) canopy trees is required. Each such single family lot will be required to have one tree with a caliper of at least four inches (4") and two (2) trees each with a caliper of at least two and one half inches (4 2½"). These trees shall have a minimum height of 10 feet at time of planting. These trees should be canopy trees as listed in this chapter. Existing trees may be counted as meeting this requirement, as long as they are of sufficient size and accepted species. One of the canopy trees on each such single-family lot shall be planted in the front yard, no less than 5 feet and no more than 8 feet from the sidewalk or lot line. These trees will help to form a canopy over the sidewalk and street sides. Corner lots are required to provide two such trees, one on the front and one on the side of the lot. Additionally, if the lot is more than 100 feet wide at the sidewalk, then the lot will be required to have two such trees. Existing trees in this specific area can be counted as meeting this requirement. These trees shall be coordinated with the placement of streetlights to prevent conflicts. A list of approved canopy trees is included in this chapter.
- B. A minimum of two (2) understory trees are required for single family lots of one-half acre or less in size. For lots greater than one half acre in size, an additional understory tree is required for each additional one quarter of an acre above the one-half acre, or portion thereof.
- C. A maximum of fifty percent (50%) of the landscaped area may be covered with other ground covers should be used to the extent possible
- D. Shrubs and other plants shall be used as foundation plants along the outline of the house, except where doors or patios are located. Alternate plantings may be permitted if the architectural style of the house warrants it.
- E. A minimum of two areas of the yard that have at least 400 square feet of non-turf plantings in a row or cluster, not including the foundation plantings, is required. For single family lots greater than one half acre in size, an additional 400 square feet of non-turf plantings in a row or cluster, not including the foundation plantings, is required for each additional eighth of an acre, or portion thereof.
- F. At least 50% of the landscaped area for each single-family lot shall be drought tolerant or Florida Friendly plants. Florida Friendly plants require a minimum of irrigation and shall be grouped together on the lot in order to reduce the irrigation requirement for those zones.

**TYPICAL CALCULATIONS**

TOTAL LOT SIZE: 9,900 SQUARE FEET  
 PERVIOUS AREA 5,276 SQUARE FEET  
 50% MAX SOD AREA: 2,638 SQUARE FEET

PROVIDED SOD AREA: 2,529 SQUARE FEET  
 47.9% SOD AREA  
**REQUIREMENT SATISFIED.**

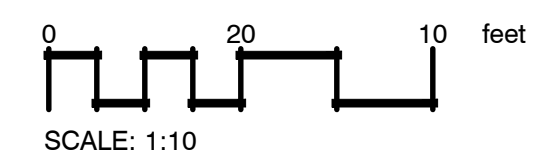
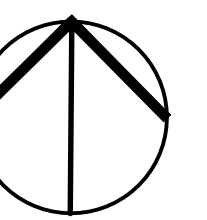
**CONCEPT PLANT SCHEDULE TYPICAL CORNER LOT**

	<b>LARGE CANOPY</b> Magnolia grandiflora / Southern Magnolia Quercus virginiana / Southern Live Oak	1	4" Cal., 10' Ht. 4" Cal., 10' Ht.
	<b>SMALL CANOPY</b> Acer rubrum / Red Maple Platanus occidentalis / American Sycamore Quercus shumardii / Shumard Oak	2	2.5" Cal., 10' Ht. 2.5" Cal., 10' Ht. 2.5" Cal., 10' Ht.
	<b>UNDERSTORY</b> Ilex opaca / American Holly Lagerstroemia indica / Multi-trunk Crape Myrtle Ligustrum japonicum / Multi-trunk Japanese Privet Sabal palmetto / Cabbage Palmetto	2	2.5" Cal., 8' Ht. 1.5" Cal. Canes, 8' Ht. 1.5" Cal. Canes, 8' Ht. FG, 8" Clear Trunk, Stick
	<b>FOUNDATION SHRUB</b> Hamelia patens 'Firefly' / Firefly Firebush Illicium floridanum / Florida Anise Viburnum suspensum / Sandankwa Viburnum	57	7 gal., 24"x24", Full 7 gal., 24"x24", Full 7 gal., 24"x24", Full
	<b>SMALL SHRUBS AND GRASSES</b> Hypericum perforatum / St. John's Wort Muhlenbergia capillaris / Pink Muhly Grass Raphiolepis indica / Indian Hawthorn Sabal minor / Dwarf Palmetto Zamia pumila / Coontie Cycad	78	3 gal., 15"x15" 3 gal., 15"x15" 3 gal., 15"x15" 3 gal., 15"x15" 3 gal., 15"x15"
	<b>GROUNDCOVERS</b> Arachis glabrata / Perennial Peanut Lantana camara / Lantana Liriope muscari / Lilyturf Trachelospermum asiaticum / Asiatic Jasmine	798 sf	1 gal. 1 gal. 1 gal. 1 gal.
	<b>SOD</b> Stenotaphrum secundatum / St. Augustine Grass	2,529 sf	---

PREPARED BY:

Contact: KALEY DUNLAP  
 916 VASSAR STREET  
 ORLANDO, FL 32804  
 TEL | 321-277-0826  
 kaley@floraviedesign.com

PREPARED FOR:  
**RED JACKET DEVELOPMENT**  
 CONTACT: CLAY FRANKEL  
 625 WALTHAM AVENUE  
 ORLANDO, FLORIDA 32409  
 PHONE: 407-855-1136



No.	Date	Comment
1	2022-09-16	PER CITY COMMENTS
2	2022-12-08	UPDATED BACKGROUNDS

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA LA6667256  
 Landscape Architect Certificate No.

Project No: 22-001

Project Phase: CITY SUBMITTAL

Project Title:  
**WHISPERING HEIGHTS SUBDIVISION  
 HOWEY-IN-THE-HILLS,  
 LAKE COUNTY, FLORIDA**

Sheet Title:  
**TYPICAL LOT  
 LANDSCAPE PLAN**

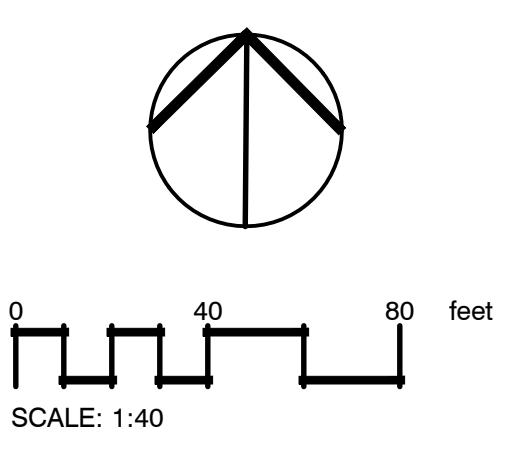
Designed: KMD Sheet No:  
 Drawn: ZRR  
 Checked: KMD **L301**  
 Date: 01/12/2022





PREPARED BY:  
**floravie**  
 design  
 Contact: KALEY DUNLAP  
 916 VASSAR STREET  
 ORLANDO, FL 32804  
 TEL | 321-277-0826  
 kaley@floraviedesign.com

PREPARED FOR:  
**RED JACKET DEVELOPMENT**  
 CONTACT: CLAY FRANKEL  
 625 WALTHAM AVENUE  
 ORLANDO, FLORIDA 32409  
 PHONE: 407-855-1136



No.	Date	Comment

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA LA6667256  
 Landscape Architect Certificate No.  
 Project No. 22-001

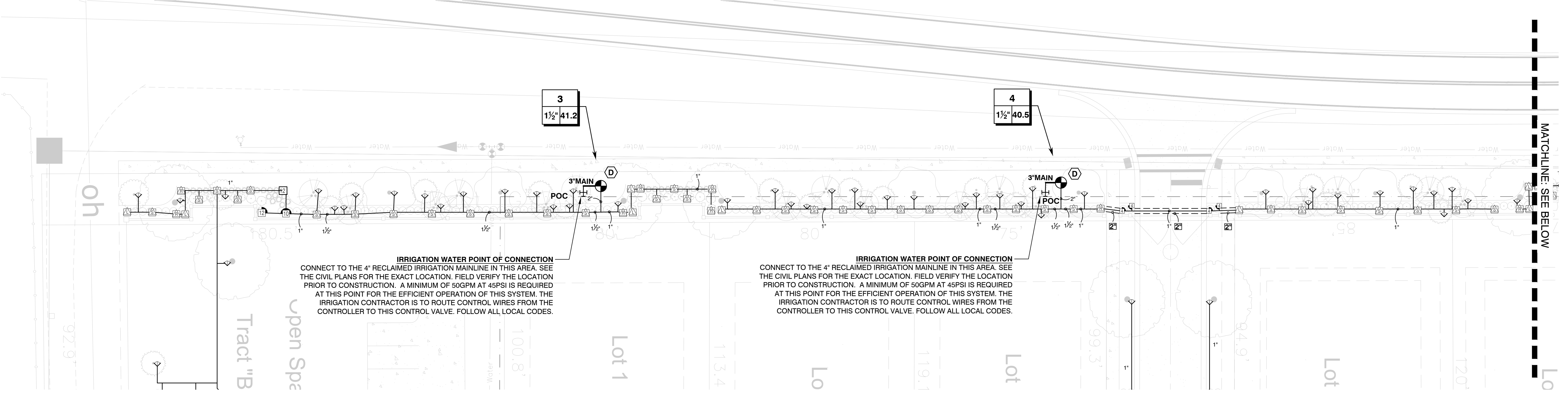
Project Phase: CITY SUBMITTAL

Project Title:  
**WHISPERING HEIGHTS SUBDIVISION  
 HOWEY-IN-THE-HILLS,  
 LAKE COUNTY, FLORIDA**

Sheet Title:  
**LANDSCAPE PLAN**

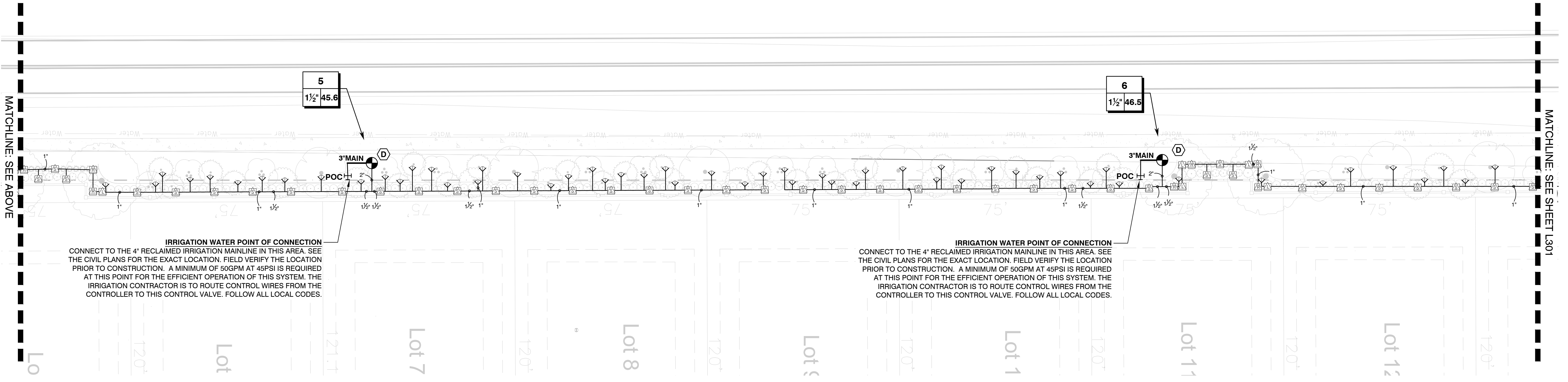
Designed: KMD	Sheet No.:
Drawn: ZRR	<b>L301</b>
Checked: KMD	
Date: 01/12/2022	





**IRRIGATION WATER POINT OF CONNECTION**  
 CONNECT TO THE 4" RECLAIMED IRRIGATION MAINLINE IN THIS AREA. SEE THE CIVIL PLANS FOR THE EXACT LOCATION. FIELD VERIFY THE LOCATION PRIOR TO CONSTRUCTION. A MINIMUM OF 50GPM AT 45PSI IS REQUIRED AT THIS POINT FOR THE EFFICIENT OPERATION OF THIS SYSTEM. THE IRRIGATION CONTRACTOR IS TO ROUTE CONTROL WIRES FROM THE CONTROLLER TO THIS CONTROL VALVE. FOLLOW ALL LOCAL CODES.

**IRRIGATION WATER POINT OF CONNECTION**  
 CONNECT TO THE 4" RECLAIMED IRRIGATION MAINLINE IN THIS AREA. SEE THE CIVIL PLANS FOR THE EXACT LOCATION. FIELD VERIFY THE LOCATION PRIOR TO CONSTRUCTION. A MINIMUM OF 50GPM AT 45PSI IS REQUIRED AT THIS POINT FOR THE EFFICIENT OPERATION OF THIS SYSTEM. THE IRRIGATION CONTRACTOR IS TO ROUTE CONTROL WIRES FROM THE CONTROLLER TO THIS CONTROL VALVE. FOLLOW ALL LOCAL CODES.

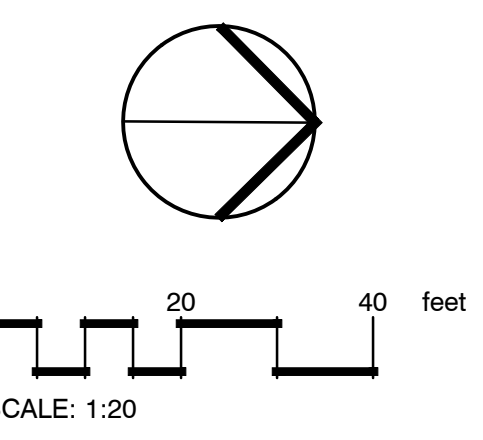


**IRRIGATION WATER POINT OF CONNECTION**  
 CONNECT TO THE 4" RECLAIMED IRRIGATION MAINLINE IN THIS AREA. SEE THE CIVIL PLANS FOR THE EXACT LOCATION. FIELD VERIFY THE LOCATION PRIOR TO CONSTRUCTION. A MINIMUM OF 50GPM AT 45PSI IS REQUIRED AT THIS POINT FOR THE EFFICIENT OPERATION OF THIS SYSTEM. THE IRRIGATION CONTRACTOR IS TO ROUTE CONTROL WIRES FROM THE CONTROLLER TO THIS CONTROL VALVE. FOLLOW ALL LOCAL CODES.

**IRRIGATION WATER POINT OF CONNECTION**  
 CONNECT TO THE 4" RECLAIMED IRRIGATION MAINLINE IN THIS AREA. SEE THE CIVIL PLANS FOR THE EXACT LOCATION. FIELD VERIFY THE LOCATION PRIOR TO CONSTRUCTION. A MINIMUM OF 50GPM AT 45PSI IS REQUIRED AT THIS POINT FOR THE EFFICIENT OPERATION OF THIS SYSTEM. THE IRRIGATION CONTRACTOR IS TO ROUTE CONTROL WIRES FROM THE CONTROLLER TO THIS CONTROL VALVE. FOLLOW ALL LOCAL CODES.

PREPARED BY:  
**floravie** design  
 Contact: KALEY DUNLAP  
 916 VASSAR STREET  
 ORLANDO, FL 32804  
 TEL | 321-277-0826  
 kaley@floraviedesign.com

PREPARED FOR:  
 RED JACKET DEVELOPMENT  
 CONTACT: CLAY FRANKEL  
 825 WALTHAM AVENUE  
 ORLANDO, FLORIDA 32409  
 PHONE: 407-855-1136



No.	Date	Comment

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA LA6667256  
 Landscape Architect Certificate No.

Project No. 22-001

Project Phase: CITY SUBMITTAL

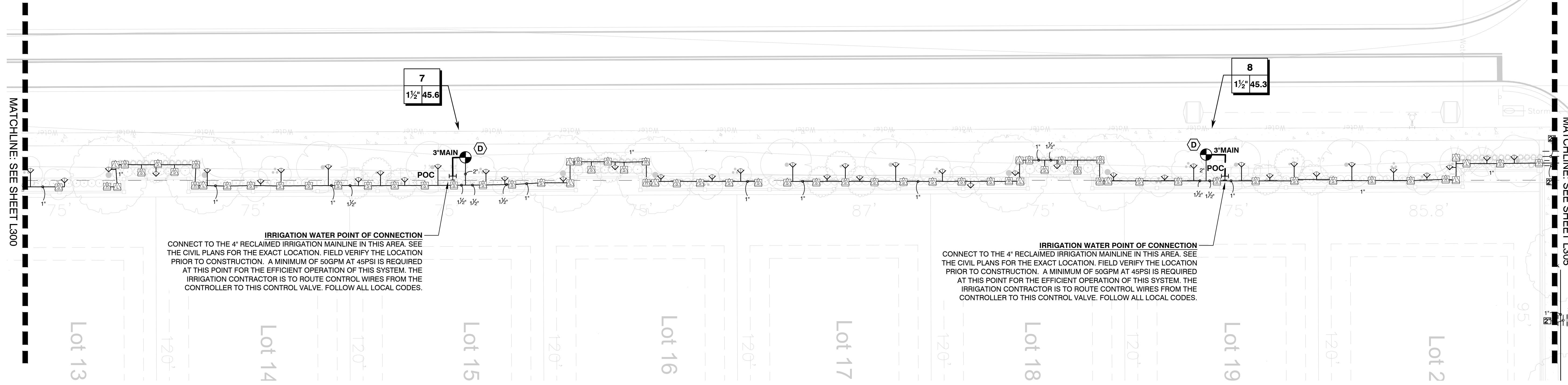
Project Title:  
**WHISPERING HILLS  
 SUBDIVISION  
 HOWEY-IN-THE-HILLS,  
 LAKE COUNTY, FLORIDA**

Sheet Title:  
**IRRIGATION PLAN**

Designed: IDS	Sheet No.:
Drawn: CAZ	<b>L300</b>
Checked: KMD	
Date: 01/12/22	

NOT FOR CONSTRUCTION.  
 THESE PLANS ARE DIAGRAMMATIC OF THE WORK TO BE PERFORMED. ALL LANDSCAPED AREAS ARE TO RECEIVED 100% COVERAGE. DO NOT IRRIGATE BAHIA SOD. IRRIGATION EQUIPMENT MAY BE SHOWN OFFSET FOR GRAPHIC CLARITY PURPOSES ONLY. AVOID ALL UTILITIES AND TREE ROOT BALLS DURING INSTALLATION. ALL PUMPING EQUIPMENT IS TO BE COORDINATED PRIOR TO CONSTRUCTION.





**IRRIGATION WATER POINT OF CONNECTION**  
 CONNECT TO THE 4" RECLAIMED IRRIGATION MAINLINE IN THIS AREA. SEE THE CIVIL PLANS FOR THE EXACT LOCATION. FIELD VERIFY THE LOCATION PRIOR TO CONSTRUCTION. A MINIMUM OF 50GPM AT 45PSI IS REQUIRED AT THIS POINT FOR THE EFFICIENT OPERATION OF THIS SYSTEM. THE IRRIGATION CONTRACTOR IS TO ROUTE CONTROL WIRES FROM THE CONTROLLER TO THIS CONTROL VALVE. FOLLOW ALL LOCAL CODES.

**IRRIGATION WATER POINT OF CONNECTION**  
 CONNECT TO THE 4" RECLAIMED IRRIGATION MAINLINE IN THIS AREA. SEE THE CIVIL PLANS FOR THE EXACT LOCATION. FIELD VERIFY THE LOCATION PRIOR TO CONSTRUCTION. A MINIMUM OF 50GPM AT 45PSI IS REQUIRED AT THIS POINT FOR THE EFFICIENT OPERATION OF THIS SYSTEM. THE IRRIGATION CONTRACTOR IS TO ROUTE CONTROL WIRES FROM THE CONTROLLER TO THIS CONTROL VALVE. FOLLOW ALL LOCAL CODES.

MATCHLINE: SEE SHEET L300

MATCHLINE: SEE SHEET L305

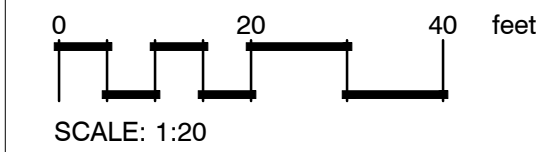
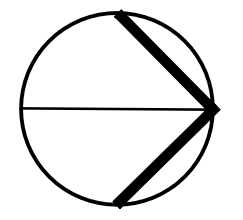
PREPARED BY:



Contact: KALEY DUNLAP  
 916 VASSAR STREET  
 ORLANDO, FL 32804  
 TEL | 321-277-0826  
 kaley@floraviedesign.com

PREPARED FOR:

RED JACKET DEVELOPMENT  
 CONTACT: CLAY FRANKEL  
 825 WALTHAM AVENUE  
 ORLANDO, FLORIDA 32409  
 PHONE: 407-855-1136



No.	Date	Comment

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA  
 Landscape Architect

LA0667256  
 Certificate No.

Project No. 22-001

Project Phase: CITY SUBMITTAL

Project Title:  
**WHISPERING HILLS  
 SUBDIVISION  
 HOWEY-IN-THE-HILLS,  
 LAKE COUNTY, FLORIDA**

Sheet Title:

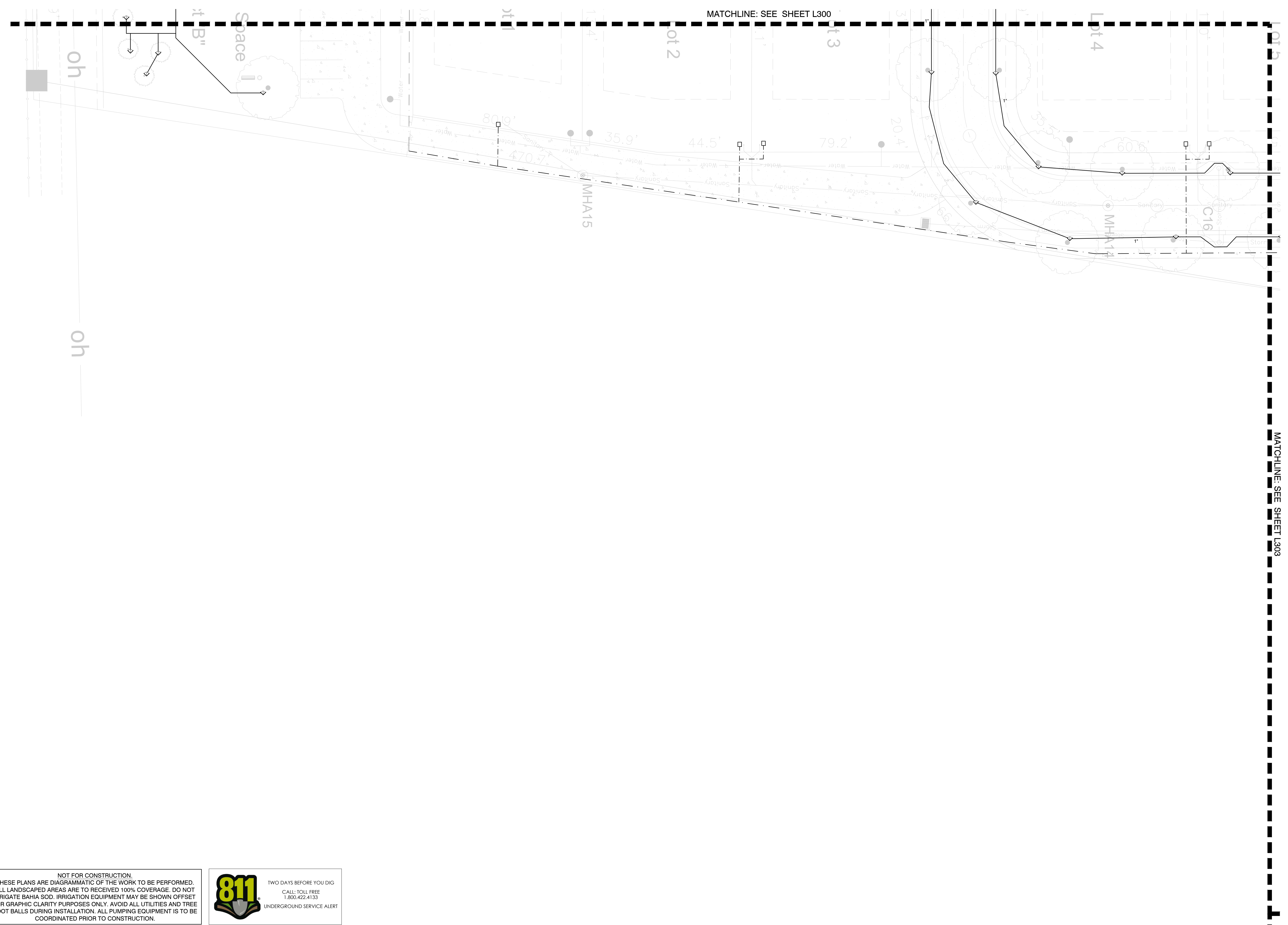
IRRIGATION PLAN

**NOT FOR CONSTRUCTION.**  
 THESE PLANS ARE DIAGRAMMATIC OF THE WORK TO BE PERFORMED. ALL LANDSCAPED AREAS ARE TO RECEIVED 100% COVERAGE. DO NOT IRRIGATE BAHIA SOD. IRRIGATION EQUIPMENT MAY BE SHOWN OFFSET FOR GRAPHIC CLARITY PURPOSES ONLY. AVOID ALL UTILITIES AND TREE ROOT BALLS DURING INSTALLATION. ALL PUMPING EQUIPMENT IS TO BE COORDINATED PRIOR TO CONSTRUCTION.



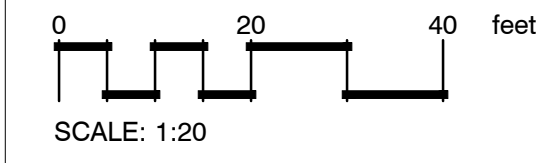
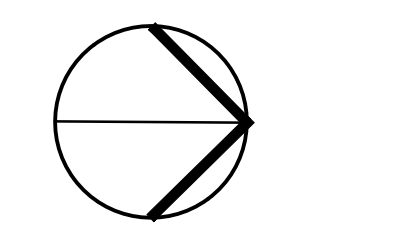
Designed: IDS	Sheet No.:
Drawn: CAZ	<b>L301</b>
Checked: KMD	
Date: 01/12/22	





PREPARED BY:  
*floravie*  
 design  
 Contact: KALEY DUNLAP  
 916 VASSAR STREET  
 ORLANDO, FL 32804  
 TEL | 321-277-0826  
 kaley@floraviedesign.com

PREPARED FOR:  
 RED JACKET DEVELOPMENT  
 CONTACT: CLAY FRANKEL  
 825 WALTHAM AVENUE  
 ORLANDO, FLORIDA 32409  
 PHONE: 407-855-1136



MATCHLINE: SEE SHEET L303

No.	Date	Comment

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA  
 Landscape Architect

LA0667256  
 Certificate No.

Project No. 22-001

Project Phase: CITY SUBMITTAL

Project Title:  
**WHISPERING HILLS  
 SUBDIVISION  
 HOWEY-IN-THE-HILLS,  
 LAKE COUNTY, FLORIDA**

Sheet Title:  
**IRRIGATION PLAN**

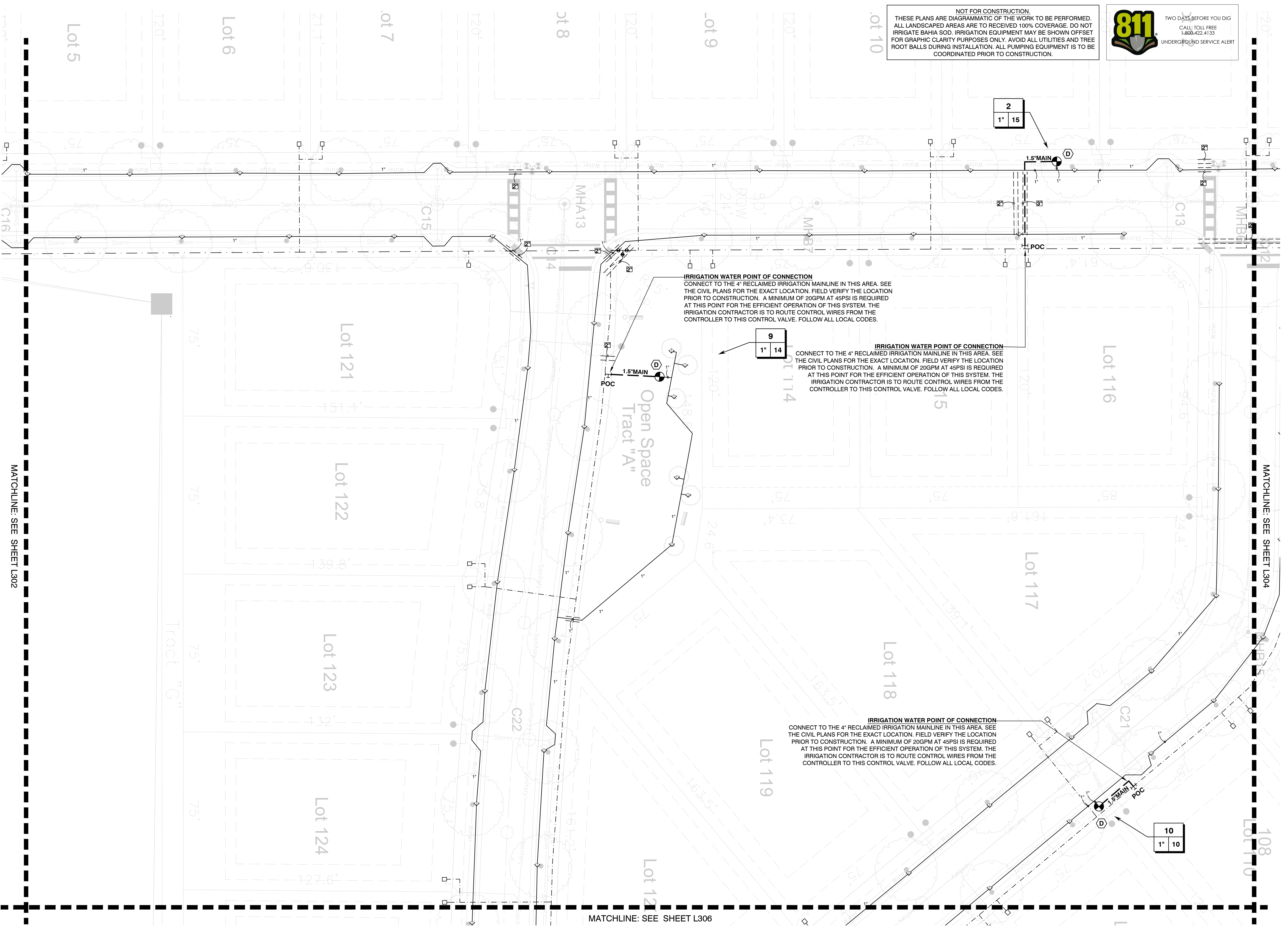
Designed: IDS	Sheet No.:
Drawn: CAZ	<b>L302</b>
Checked: KMD	
Date: 01/12/22	

NOT FOR CONSTRUCTION.  
 THESE PLANS ARE DIAGRAMMATIC OF THE WORK TO BE PERFORMED.  
 ALL LANDSCAPED AREAS ARE TO RECEIVED 100% COVERAGE. DO NOT  
 IRRIGATE BAHIA SOD. IRRIGATION EQUIPMENT MAY BE SHOWN OFFSET  
 FOR GRAPHIC CLARITY PURPOSES ONLY. AVOID ALL UTILITIES AND TREE  
 ROOT BALLS DURING INSTALLATION. ALL PUMPING EQUIPMENT IS TO BE  
 COORDINATED PRIOR TO CONSTRUCTION.





NOT FOR CONSTRUCTION.  
THESE PLANS ARE DIAGRAMMATIC OF THE WORK TO BE PERFORMED. ALL LANDSCAPED AREAS ARE TO RECEIVE 100% COVERAGE. DO NOT IRRIGATE BAHIA SOD. IRRIGATION EQUIPMENT MAY BE SHOWN OFFSET FOR GRAPHIC CLARITY PURPOSES ONLY. AVOID ALL UTILITIES AND TREE ROOT BALLS DURING INSTALLATION. ALL PUMPING EQUIPMENT IS TO BE COORDINATED PRIOR TO CONSTRUCTION.



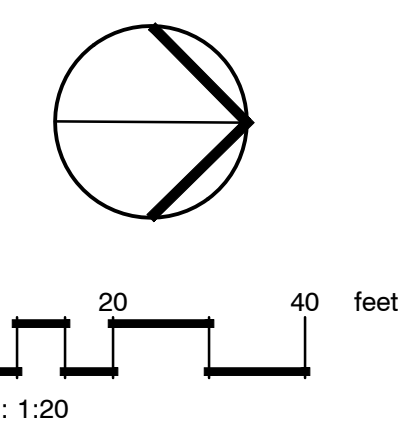
MATCHLINE: SEE SHEET L302

MATCHLINE: SEE SHEET L306

MATCHLINE: SEE SHEET L304

PREPARED BY:  
**floravie** design  
Contact: KALEY DUNLAP  
916 VASSAR STREET  
ORLANDO, FL 32804  
TEL | 321-277-0826  
kaley@floraviedesign.com

PREPARED FOR:  
RED JACKET DEVELOPMENT  
CONTACT: CLAY FRANKEL  
825 WALTHAM AVENUE  
ORLANDO, FLORIDA 32409  
PHONE: 407-855-1136



No.	Date	Comment

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA LA6667256  
Landscape Architect Certificate No.

Project No. 22-001

Project Phase: CITY SUBMITTAL

Project Title:  
**WHISPERING HILLS  
SUBDIVISION  
HOWEY-IN-THE-HILLS,  
LAKE COUNTY, FLORIDA**

Sheet Title:  
**IRRIGATION PLAN**

Designed: IDS Sheet No.:

Drawn: CAZ **L303**

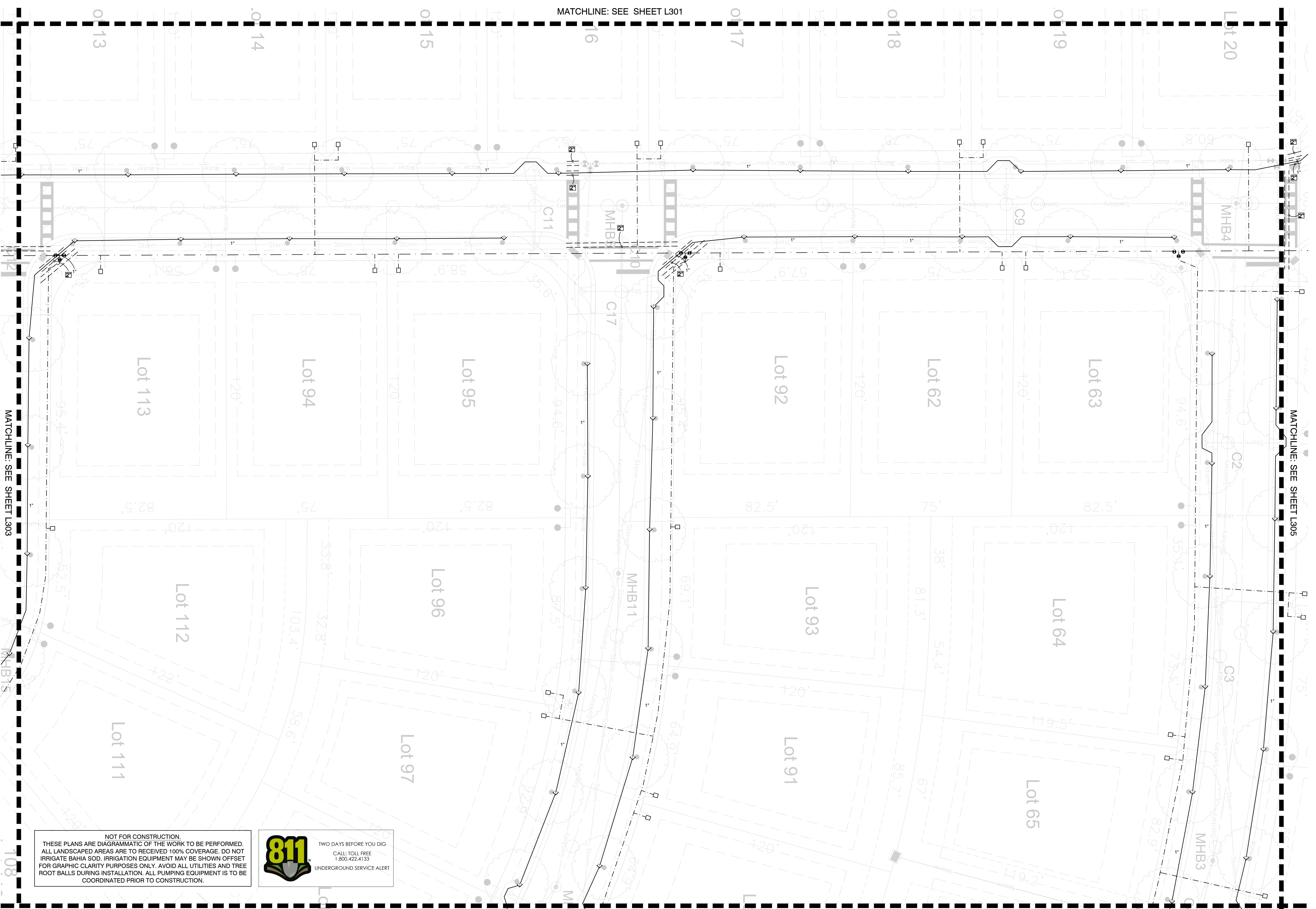
Checked: KMD

Date: 01/12/22



MATCHLINE: SEE SHEET L301

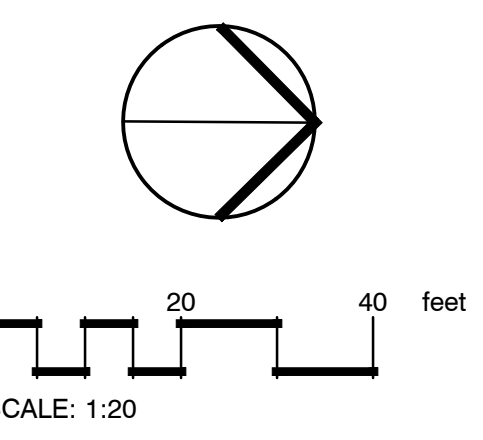
MATCHLINE: SEE SHEET L307



PREPARED BY:  
*floravie*  
 design

Contact: KALEY DUNLAP  
 916 VASSAR STREET  
 ORLANDO, FL 32804  
 TEL | 321-277-0826  
 kaley@floraviedesign.com

PREPARED FOR:  
 RED JACKET DEVELOPMENT  
 CONTACT: CLAY FRANKEL  
 825 WALTHAM AVENUE  
 ORLANDO, FLORIDA 32409  
 PHONE: 407-855-1136



MATCHLINE: SEE SHEET L303

MATCHLINE: SEE SHEET L305

No.	Date	Comment

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA  
 Landscape Architect  
 Certificate No. LA6667256

Project No. 22-001

Project Phase: CITY SUBMITTAL

Project Title:

**WHISPERING HILLS  
 SUBDIVISION  
 HOWEY-IN-THE-HILLS,  
 LAKE COUNTY, FLORIDA**

Sheet Title: IRRIGATION PLAN

Designed: IDS

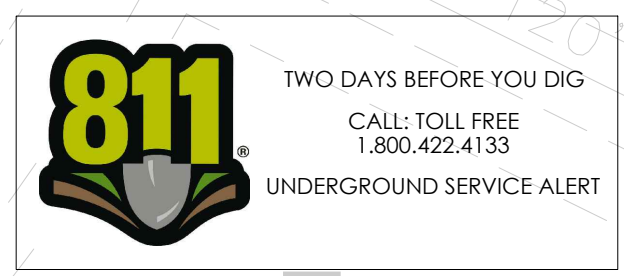
Drawn: CAZ

Checked: KMD

Date: 01/12/22

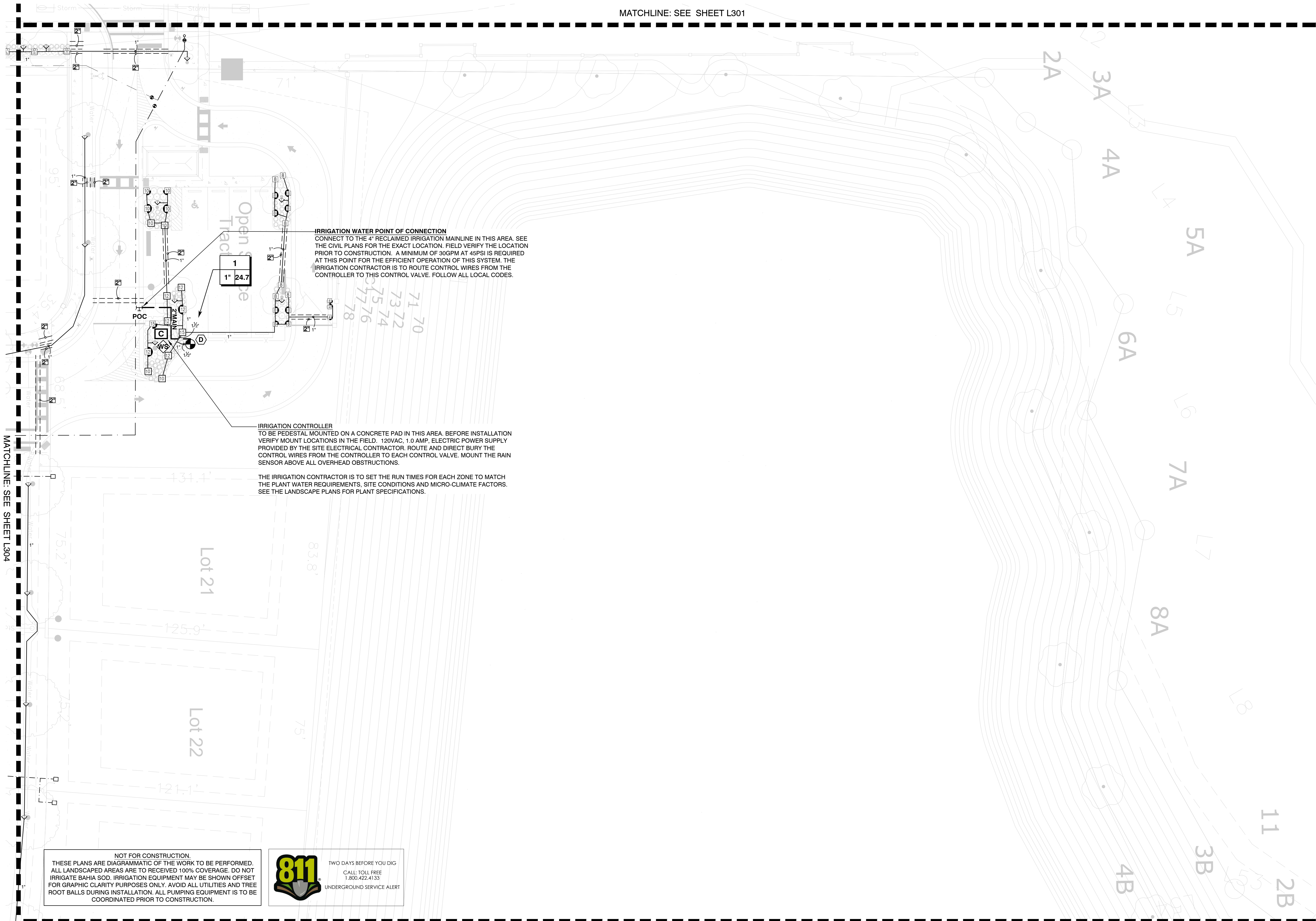
Sheet No. L304

NOT FOR CONSTRUCTION.  
 THESE PLANS ARE DIAGRAMMATIC OF THE WORK TO BE PERFORMED.  
 ALL LANDSCAPED AREAS ARE TO RECEIVED 100% COVERAGE. DO NOT  
 IRRIGATE BAHIA SOD. IRRIGATION EQUIPMENT MAY BE SHOWN OFFSET  
 FOR GRAPHIC CLARITY PURPOSES ONLY. AVOID ALL UTILITIES AND TREE  
 ROOT BALLS DURING INSTALLATION. ALL PUMPING EQUIPMENT IS TO BE  
 COORDINATED PRIOR TO CONSTRUCTION.





MATCHLINE: SEE SHEET L301



**IRRIGATION WATER POINT OF CONNECTION**  
 CONNECT TO THE 4" RECLAIMED IRRIGATION MAINLINE IN THIS AREA. SEE THE CIVIL PLANS FOR THE EXACT LOCATION. FIELD VERIFY THE LOCATION PRIOR TO CONSTRUCTION. A MINIMUM OF 30GPM AT 45PSI IS REQUIRED AT THIS POINT FOR THE EFFICIENT OPERATION OF THIS SYSTEM. THE IRRIGATION CONTRACTOR IS TO ROUTE CONTROL WIRES FROM THE CONTROLLER TO THIS CONTROL VALVE. FOLLOW ALL LOCAL CODES.

**IRRIGATION CONTROLLER**  
 TO BE PEDESTAL MOUNTED ON A CONCRETE PAD IN THIS AREA. BEFORE INSTALLATION VERIFY MOUNT LOCATIONS IN THE FIELD. 120VAC, 1.0 AMP. ELECTRIC POWER SUPPLY PROVIDED BY THE SITE ELECTRICAL CONTRACTOR. ROUTE AND DIRECT BURY THE CONTROL WIRES FROM THE CONTROLLER TO EACH CONTROL VALVE. MOUNT THE RAIN SENSOR ABOVE ALL OVERHEAD OBSTRUCTIONS.

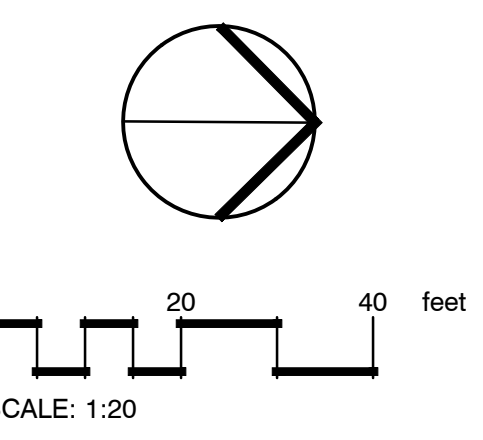
THE IRRIGATION CONTRACTOR IS TO SET THE RUN TIMES FOR EACH ZONE TO MATCH THE PLANT WATER REQUIREMENTS, SITE CONDITIONS AND MICRO-CLIMATE FACTORS. SEE THE LANDSCAPE PLANS FOR PLANT SPECIFICATIONS.

**NOT FOR CONSTRUCTION.**  
 THESE PLANS ARE DIAGRAMMATIC OF THE WORK TO BE PERFORMED. ALL LANDSCAPED AREAS ARE TO RECEIVE 100% COVERAGE. DO NOT IRRIGATE BAHIA SOD. IRRIGATION EQUIPMENT MAY BE SHOWN OFFSET FOR GRAPHIC CLARITY PURPOSES ONLY. AVOID ALL UTILITIES AND TREE ROOT BALLS DURING INSTALLATION. ALL PUMPING EQUIPMENT IS TO BE COORDINATED PRIOR TO CONSTRUCTION.



PREPARED BY:  
**floravie**  
 design  
 Contact: KALEY DUNLAP  
 916 VASSAR STREET  
 ORLANDO, FL 32804  
 TEL | 321-277-0826  
 kaley@floraviedesign.com

PREPARED FOR:  
 RED JACKET DEVELOPMENT  
 CONTACT: CLAY FRANKEL  
 825 WALTHAM AVENUE  
 ORLANDO, FLORIDA 32409  
 PHONE: 407-855-1136



No.	Date	Comment

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA  
 Landscape Architect  
 Certificate No. LA0667256

Project No. 22-001

Project Phase: CITY SUBMITTAL

Project Title:  
**WHISPERING HILLS  
 SUBDIVISION  
 HOWEY-IN-THE-HILLS,  
 LAKE COUNTY, FLORIDA**

Sheet Title: IRRIGATION PLAN

Designed: IDS  
 Drawn: CAZ  
 Checked: KMD  
 Date: 01/12/22

Sheet No.: **L305**

MATCHLINE: SEE SHEET L308



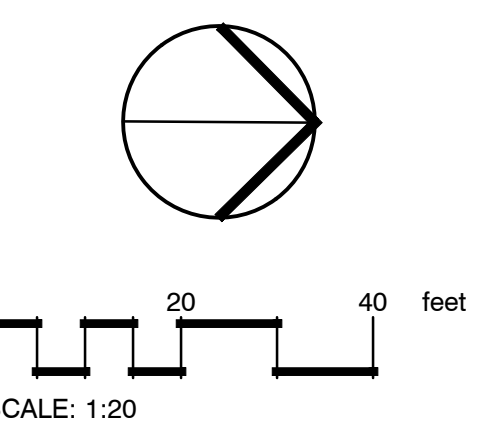
MATCHLINE: SEE SHEET L303

MATCHLINE: SEE SHEET L307

MATCHLINE: SEE SHEET L310

PREPARED BY:  
  
 Contact: KALEY DUNLAP  
 916 VASSAR STREET  
 ORLANDO, FL 32804  
 TEL | 321-277-0826  
 kaley@floraviedesign.com

PREPARED FOR:  
 RED JACKET DEVELOPMENT  
 CONTACT: CLAY FRANKEL  
 825 WALTHAM AVENUE  
 ORLANDO, FLORIDA 32409  
 PHONE: 407-855-1136



No.	Date	Comment

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA  
 Landscape Architect  
 Certificate No. LA6667256

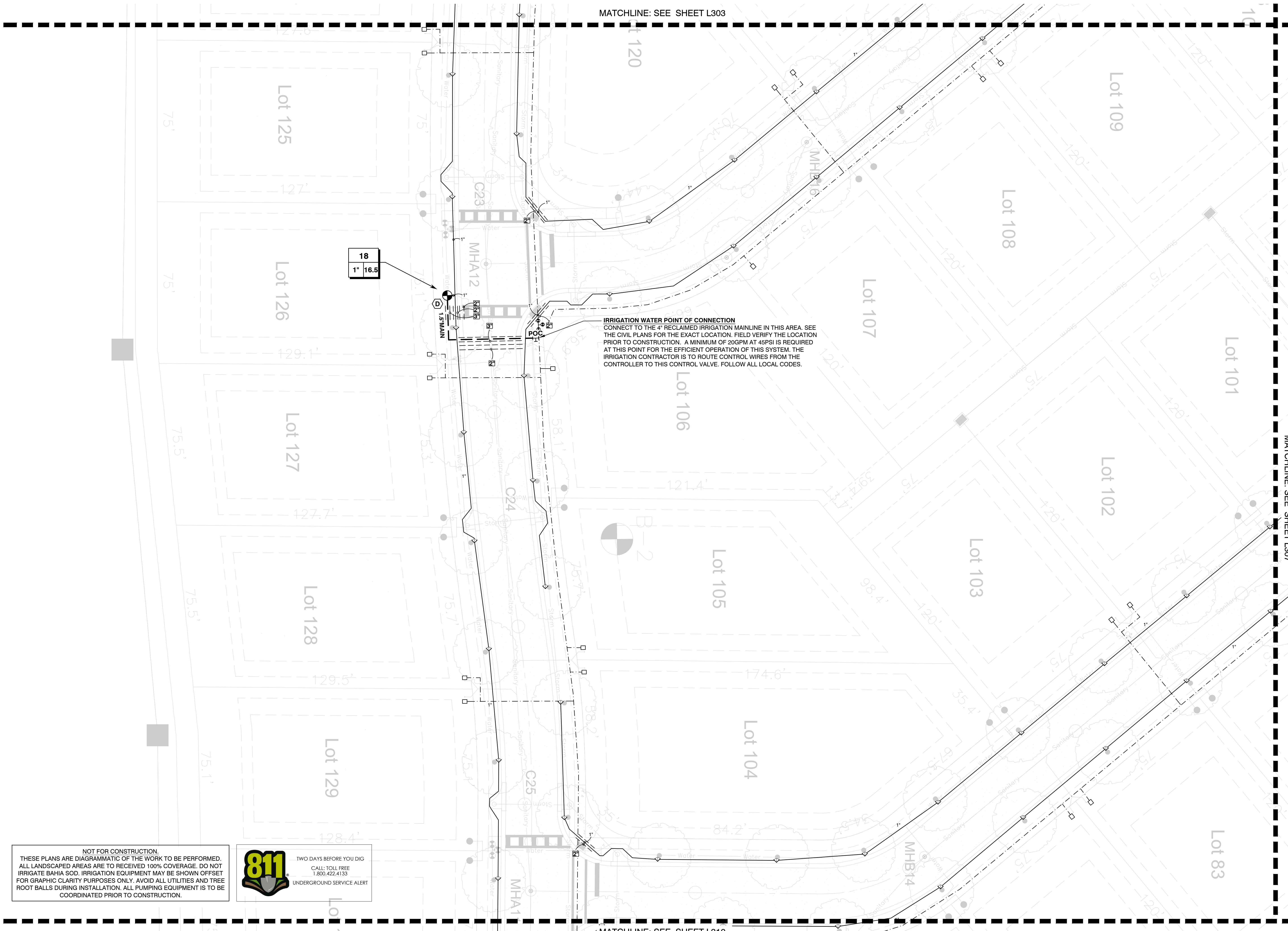
Project No. 22-001

Project Phase: CITY SUBMITTAL

Project Title:  
**WHISPERING HILLS  
 SUBDIVISION  
 HOWEY-IN-THE-HILLS,  
 LAKE COUNTY, FLORIDA**

Sheet Title: IRRIGATION PLAN

Designed: IDS	Sheet No.:
Drawn: CAZ	<b>L306</b>
Checked: KMD	
Date: 01/12/22	



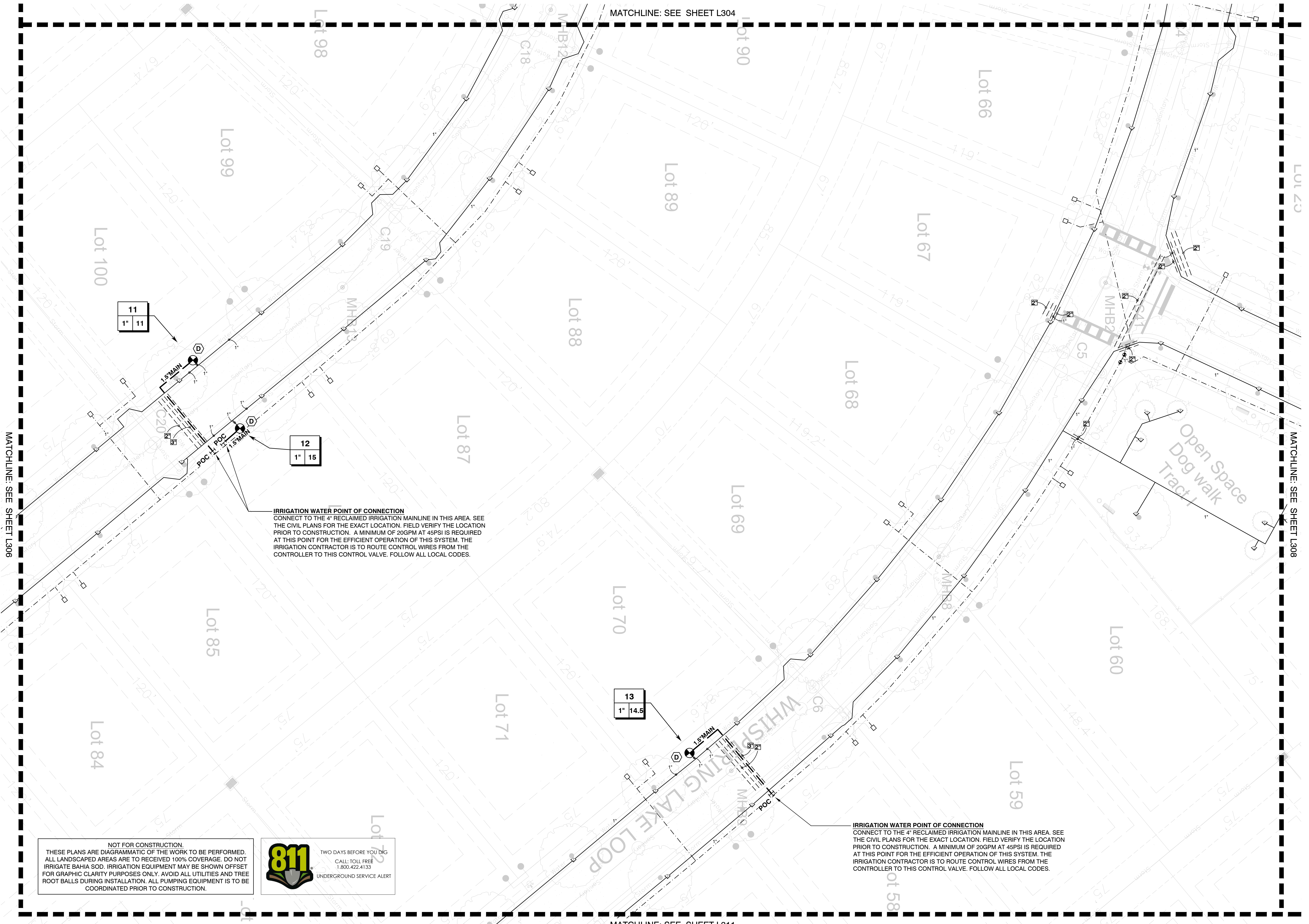
18  
 1" = 16.5'

NOT FOR CONSTRUCTION.  
 THESE PLANS ARE DIAGRAMMATIC OF THE WORK TO BE PERFORMED.  
 ALL LANDSCAPED AREAS ARE TO RECEIVED 100% COVERAGE. DO NOT  
 IRRIGATE BAHIA SOD. IRRIGATION EQUIPMENT MAY BE SHOWN OFFSET  
 FOR GRAPHIC CLARITY PURPOSES ONLY. AVOID ALL UTILITIES AND TREE  
 ROOT BALLS DURING INSTALLATION. ALL PUMPING EQUIPMENT IS TO BE  
 COORDINATED PRIOR TO CONSTRUCTION.



TWO DAYS BEFORE YOU DIG  
 CALL: TOLL FREE  
 1.800.422.4133  
 UNDERGROUND SERVICE ALERT





**IRRIGATION WATER POINT OF CONNECTION**  
 CONNECT TO THE 4" RECLAIMED IRRIGATION MAINLINE IN THIS AREA. SEE THE CIVIL PLANS FOR THE EXACT LOCATION. FIELD VERIFY THE LOCATION PRIOR TO CONSTRUCTION. A MINIMUM OF 20GPM AT 45PSI IS REQUIRED AT THIS POINT FOR THE EFFICIENT OPERATION OF THIS SYSTEM. THE IRRIGATION CONTRACTOR IS TO ROUTE CONTROL WIRES FROM THE CONTROLLER TO THIS CONTROL VALVE. FOLLOW ALL LOCAL CODES.

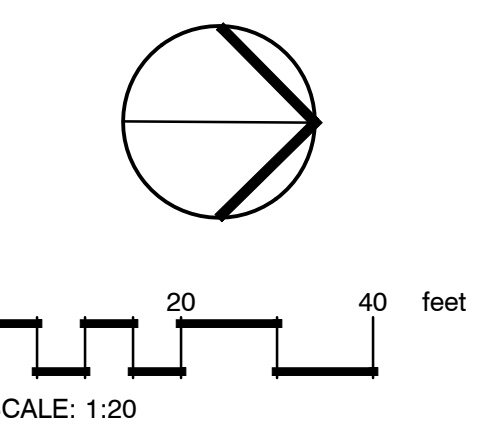
**IRRIGATION WATER POINT OF CONNECTION**  
 CONNECT TO THE 4" RECLAIMED IRRIGATION MAINLINE IN THIS AREA. SEE THE CIVIL PLANS FOR THE EXACT LOCATION. FIELD VERIFY THE LOCATION PRIOR TO CONSTRUCTION. A MINIMUM OF 20GPM AT 45PSI IS REQUIRED AT THIS POINT FOR THE EFFICIENT OPERATION OF THIS SYSTEM. THE IRRIGATION CONTRACTOR IS TO ROUTE CONTROL WIRES FROM THE CONTROLLER TO THIS CONTROL VALVE. FOLLOW ALL LOCAL CODES.

NOT FOR CONSTRUCTION.  
 THESE PLANS ARE DIAGRAMMATIC OF THE WORK TO BE PERFORMED. ALL LANDSCAPED AREAS ARE TO RECEIVED 100% COVERAGE. DO NOT IRRIGATE BAHIA SOD. IRRIGATION EQUIPMENT MAY BE SHOWN OFFSET FOR GRAPHIC CLARITY PURPOSES ONLY. AVOID ALL UTILITIES AND TREE ROOT BALLS DURING INSTALLATION. ALL PUMPING EQUIPMENT IS TO BE COORDINATED PRIOR TO CONSTRUCTION.

**811**  
 TWO DAYS BEFORE YOU DIG  
 CALL: TOLL FREE 1.800.422.4133  
 UNDERGROUND SERVICE ALERT

PREPARED BY:  
  
 Contact: KALEY DUNLAP  
 916 VASSAR STREET  
 ORLANDO, FL 32804  
 TEL | 321-277-0826  
 kaley@floraviedesign.com

PREPARED FOR:  
 RED JACKET DEVELOPMENT  
 CONTACT: CLAY FRANKEL  
 825 WALTHAM AVENUE  
 ORLANDO, FLORIDA 32409  
 PHONE: 407-855-1136



No.	Date	Comment

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA  
 Landscape Architect  
 Certificate No. LA6667256

Project No. 22-001

Project Phase: CITY SUBMITTAL

Project Title:  
**WHISPERING HILLS SUBDIVISION  
 HOWEY-IN-THE-HILLS,  
 LAKE COUNTY, FLORIDA**

Sheet Title:  
**IRRIGATION PLAN**

Designed: IDS  
 Drawn: CAZ  
 Checked: KMD  
 Date: 01/12/22

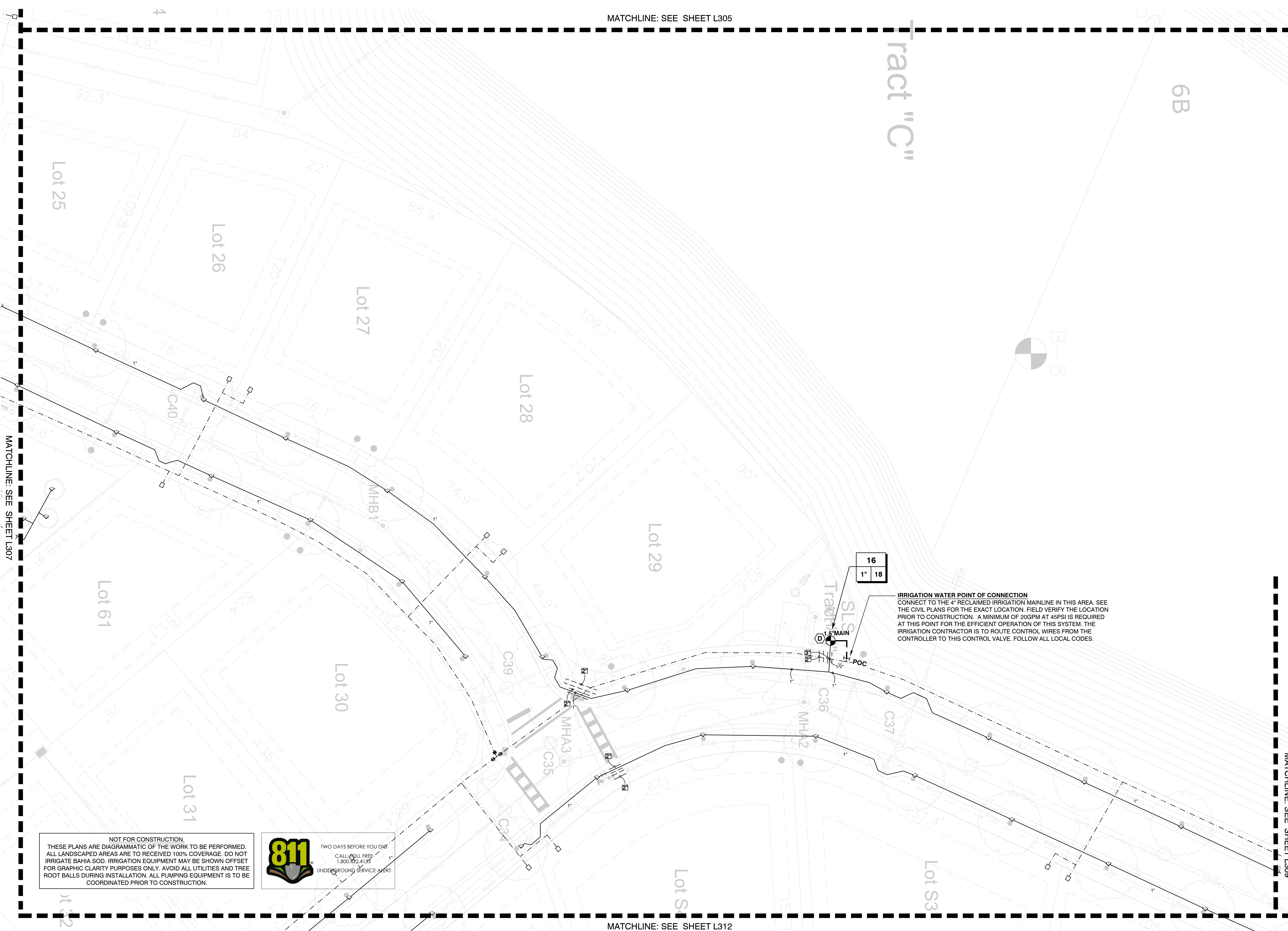
Sheet No.: **L307**



MATCHLINE: SEE SHEET L305

Tract "C"

6B



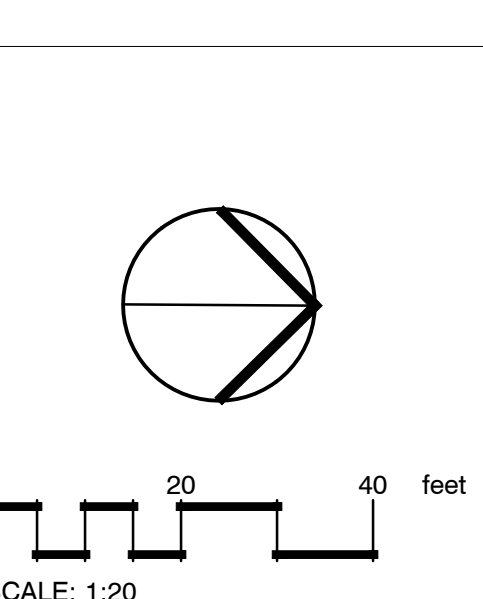
MATCHLINE: SEE SHEET L307

MATCHLINE: SEE SHEET L309

MATCHLINE: SEE SHEET L312

PREPARED BY:  
  
 Contact: KALEY DUNLAP  
 916 VASSAR STREET  
 ORLANDO, FL 32804  
 TEL | 321-277-0826  
 kaley@floraviedesign.com

PREPARED FOR:  
 RED JACKET DEVELOPMENT  
 CONTACT: CLAY FRANKEL  
 825 WALTHAM AVENUE  
 ORLANDO, FLORIDA 32409  
 PHONE: 407-855-1136



No.	Date	Comment

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA  
 Landscape Architect  
 Certificate No. LA6667256

Project No. 22-001

Project Phase: CITY SUBMITTAL

Project Title:  
**WHISPERING HILLS  
 SUBDIVISION  
 HOWEY-IN-THE-HILLS,  
 LAKE COUNTY, FLORIDA**

Sheet Title:  
**IRRIGATION PLAN**

Designed: IDS  
 Drawn: CAZ  
 Checked: KMD  
 Date: 01/12/22

Sheet No.:  
**L308**

**NOT FOR CONSTRUCTION.**  
 THESE PLANS ARE DIAGRAMMATIC OF THE WORK TO BE PERFORMED. ALL LANDSCAPED AREAS ARE TO RECEIVE 100% COVERAGE. DO NOT IRRIGATE BAHIA SOD. IRRIGATION EQUIPMENT MAY BE SHOWN OFFSET FOR GRAPHIC CLARITY PURPOSES ONLY. AVOID ALL UTILITIES AND TREE ROOT BALLS DURING INSTALLATION. ALL PUMPING EQUIPMENT IS TO BE COORDINATED PRIOR TO CONSTRUCTION.



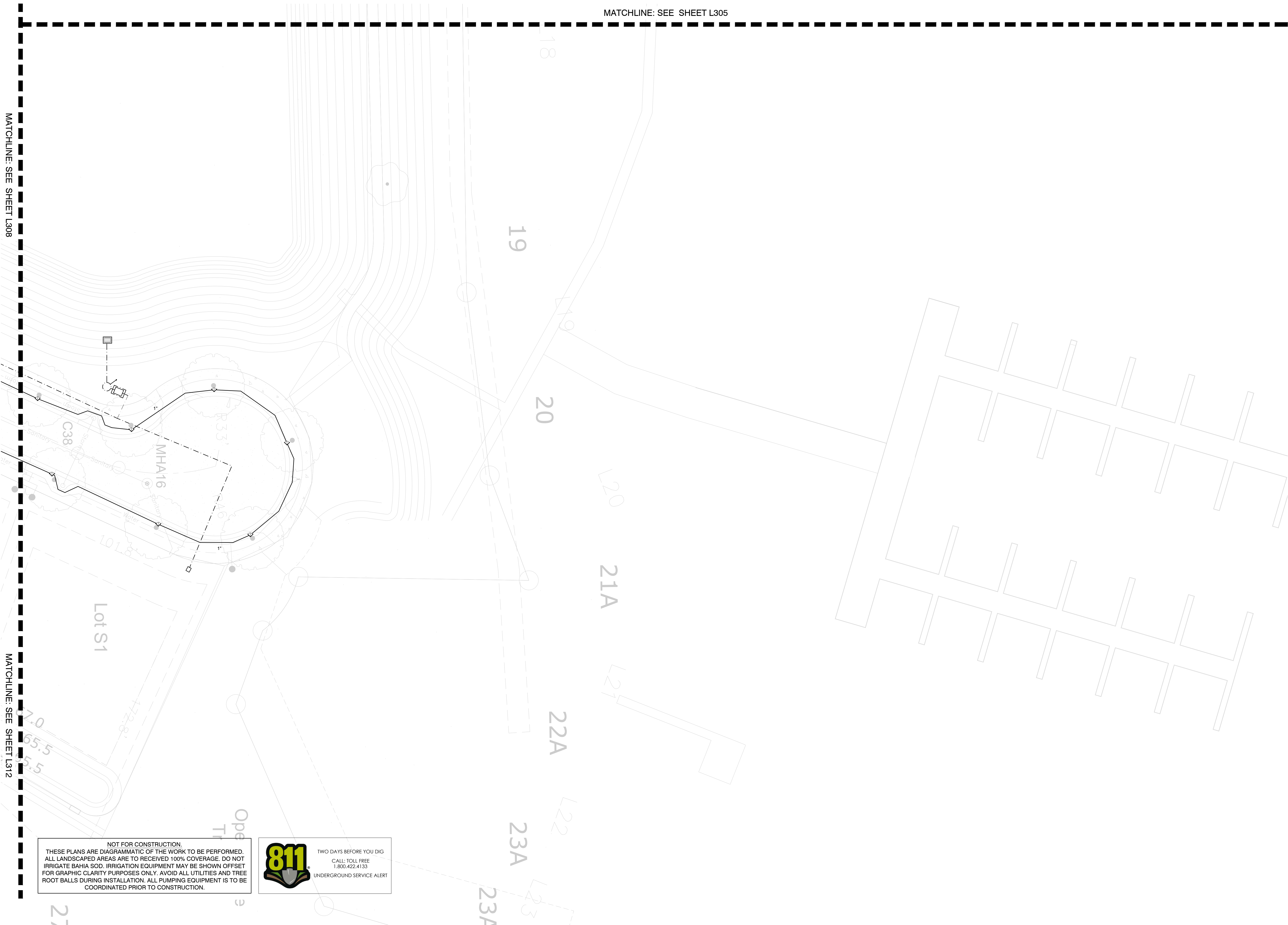
**IRRIGATION WATER POINT OF CONNECTION**  
 CONNECT TO THE 4" RECLAIMED IRRIGATION MAINLINE IN THIS AREA. SEE THE CIVIL PLANS FOR THE EXACT LOCATION. FIELD VERIFY THE LOCATION PRIOR TO CONSTRUCTION. A MINIMUM OF 20GPM AT 45PSI IS REQUIRED AT THIS POINT FOR THE EFFICIENT OPERATION OF THIS SYSTEM. THE IRRIGATION CONTRACTOR IS TO ROUTE CONTROL WIRES FROM THE CONTROLLER TO THIS CONTROL VALVE. FOLLOW ALL LOCAL CODES.



MATCHLINE: SEE SHEET L305

MATCHLINE: SEE SHEET L308

MATCHLINE: SEE SHEET L312



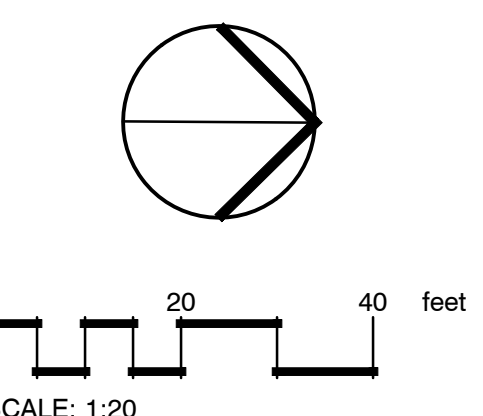
PREPARED BY:

*floravie*  
design

Contact: KALEY DUNLAP  
916 VASSAR STREET  
ORLANDO, FL 32804  
TEL | 321-277-0826  
kaley@floraviedesign.com

PREPARED FOR:

RED JACKET DEVELOPMENT  
CONTACT: CLAY FRANKEL  
825 WALTHAM AVENUE  
ORLANDO, FLORIDA 32409  
PHONE: 407-855-1136



No.	Date	Comment

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA  
Landscape Architect

LA0667256  
Certificate No.

Project No. 22-001

Project Phase: CITY SUBMITTAL

Project Title:

**WHISPERING HILLS  
SUBDIVISION  
HOWEY-IN-THE-HILLS,  
LAKE COUNTY, FLORIDA**

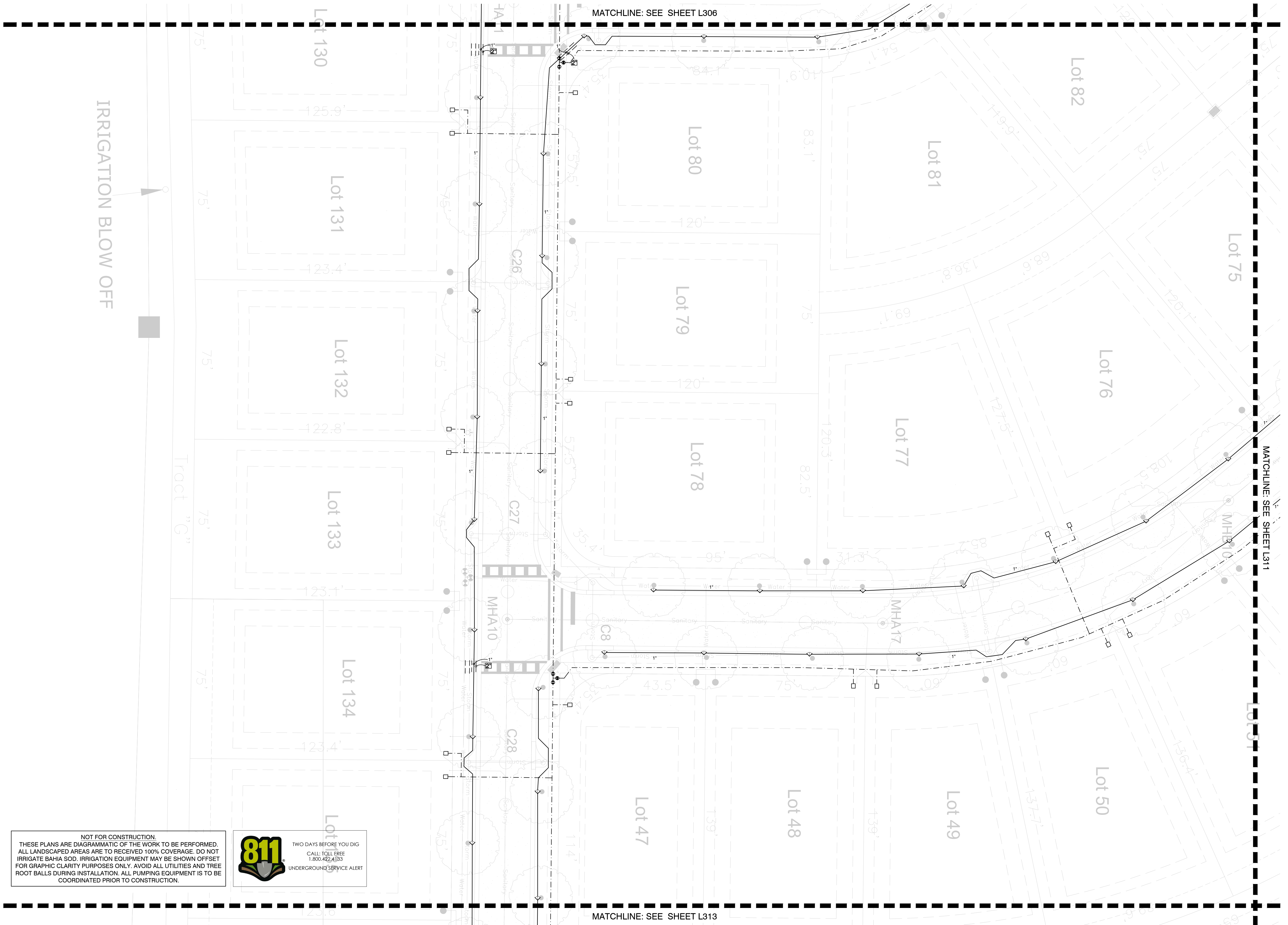
Sheet Title: IRRIGATION PLAN

Designed: IDS	Sheet No.:
Drawn: CAZ	<b>L309</b>
Checked: KMD	
Date: 01/12/22	

NOT FOR CONSTRUCTION.  
THESE PLANS ARE DIAGRAMMATIC OF THE WORK TO BE PERFORMED.  
ALL LANDSCAPED AREAS ARE TO RECEIVE 100% COVERAGE. DO NOT  
IRRIGATE BAHIA SOD. IRRIGATION EQUIPMENT MAY BE SHOWN OFFSET  
FOR GRAPHIC CLARITY PURPOSES ONLY. AVOID ALL UTILITIES AND TREE  
ROOT BALLS DURING INSTALLATION. ALL PUMPING EQUIPMENT IS TO BE  
COORDINATED PRIOR TO CONSTRUCTION.







IRRIGATION BLOW OFF

MATCHLINE: SEE SHEET L306

MATCHLINE: SEE SHEET L311

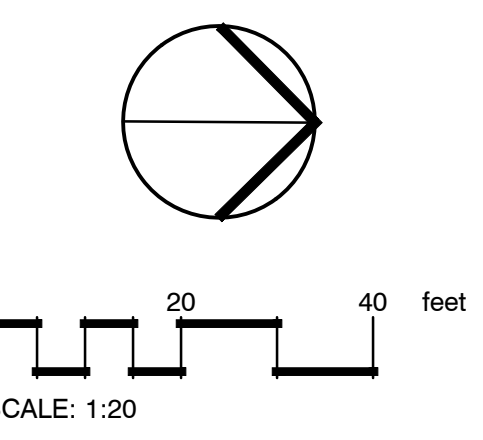
MATCHLINE: SEE SHEET L313

NOT FOR CONSTRUCTION.  
 THESE PLANS ARE DIAGRAMMATIC OF THE WORK TO BE PERFORMED.  
 ALL LANDSCAPED AREAS ARE TO RECEIVE 100% COVERAGE. DO NOT  
 IRRIGATE BAHIA SOD. IRRIGATION EQUIPMENT MAY BE SHOWN OFFSET  
 FOR GRAPHIC CLARITY PURPOSES ONLY. AVOID ALL UTILITIES AND TREE  
 ROOT BALLS DURING INSTALLATION. ALL PUMPING EQUIPMENT IS TO BE  
 COORDINATED PRIOR TO CONSTRUCTION.



PREPARED BY:  
**floravie**  
 design  
 Contact: KALEY DUNLAP  
 916 VASSAR STREET  
 ORLANDO, FL 32804  
 TEL | 321-277-0826  
 kaley@floraviedesign.com

PREPARED FOR:  
 RED JACKET DEVELOPMENT  
 CONTACT: CLAY FRANKEL  
 825 WALTHAM AVENUE  
 ORLANDO, FLORIDA 32409  
 PHONE: 407-855-1136



No.	Date	Comment

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA  
 Landscape Architect  
 Certificate No. LA0667256

Project No. 22-001

Project Phase: CITY SUBMITTAL

Project Title:  
**WHISPERING HILLS  
 SUBDIVISION  
 HOWEY-IN-THE-HILLS,  
 LAKE COUNTY, FLORIDA**

Sheet Title:  
**IRRIGATION PLAN**

Designed: IDS	Sheet No.:
Drawn: CAZ	<b>L310</b>
Checked: KMD	
Date: 01/12/22	



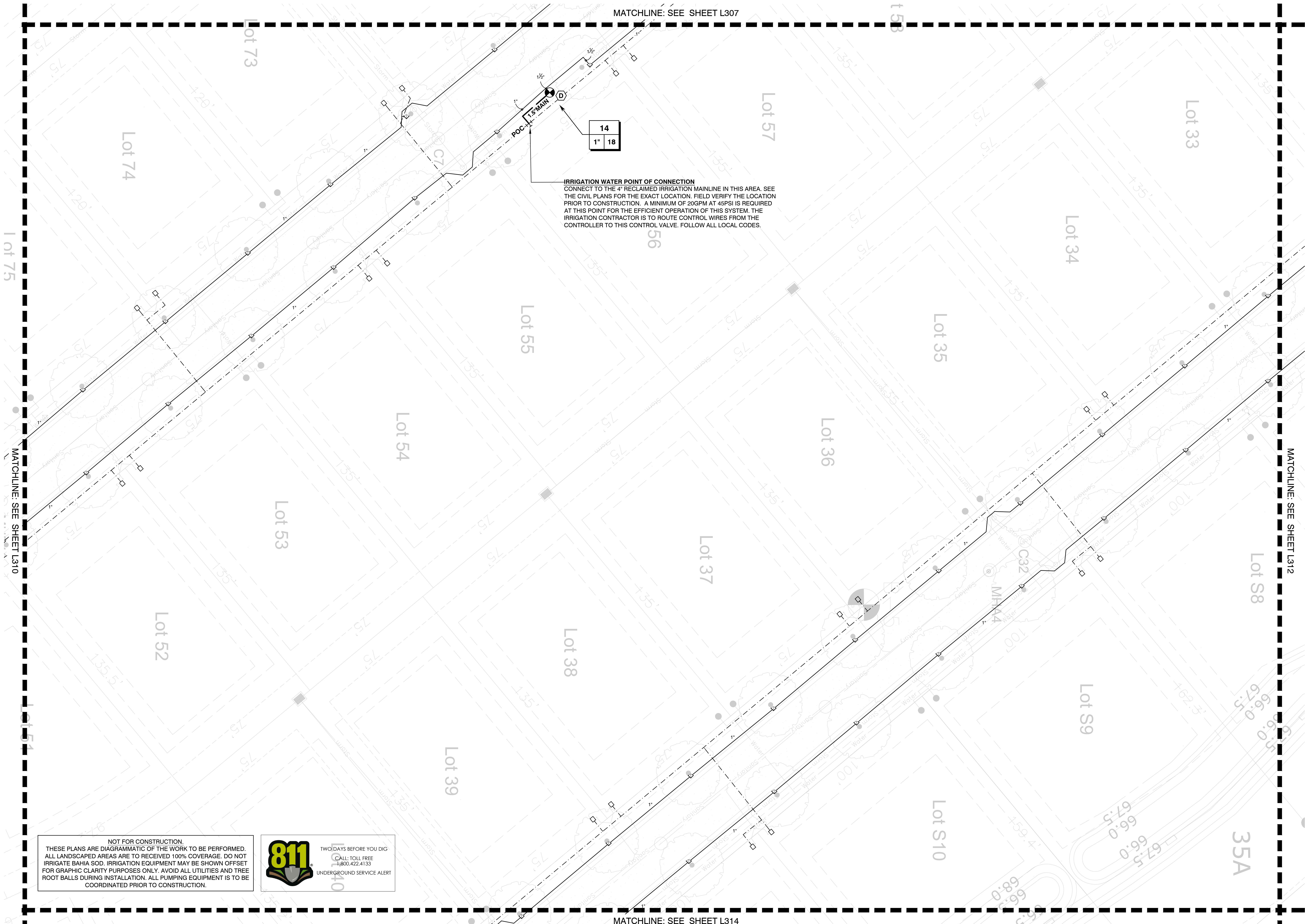
MATCHLINE: SEE SHEET L307

Lot 75

MATCHLINE: SEE SHEET L310

MATCHLINE: SEE SHEET L314

MATCHLINE: SEE SHEET L312



**IRRIGATION WATER POINT OF CONNECTION**  
 CONNECT TO THE 4" RECLAIMED IRRIGATION MAINLINE IN THIS AREA. SEE THE CIVIL PLANS FOR THE EXACT LOCATION. FIELD VERIFY THE LOCATION PRIOR TO CONSTRUCTION. A MINIMUM OF 20GPM AT 45PSI IS REQUIRED AT THIS POINT FOR THE EFFICIENT OPERATION OF THIS SYSTEM. THE IRRIGATION CONTRACTOR IS TO ROUTE CONTROL WIRES FROM THE CONTROLLER TO THIS CONTROL VALVE. FOLLOW ALL LOCAL CODES.

14
1" 18

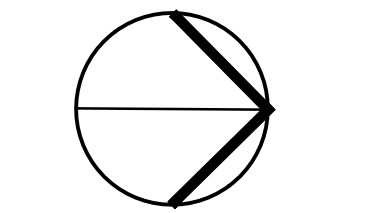
**NOT FOR CONSTRUCTION.**  
 THESE PLANS ARE DIAGRAMMATIC OF THE WORK TO BE PERFORMED. ALL LANDSCAPED AREAS ARE TO RECEIVED 100% COVERAGE. DO NOT IRRIGATE BAHIA SOD. IRRIGATION EQUIPMENT MAY BE SHOWN OFFSET FOR GRAPHIC CLARITY PURPOSES ONLY. AVOID ALL UTILITIES AND TREE ROOT BALLS DURING INSTALLATION. ALL PUMPING EQUIPMENT IS TO BE COORDINATED PRIOR TO CONSTRUCTION.



PREPARED BY:  
**floravie**  
 design

Contact: KALEY DUNLAP  
 916 VASSAR STREET  
 ORLANDO, FL 32804  
 TEL | 321-277-0826  
 kaley@floraviedesign.com

PREPARED FOR:  
 RED JACKET DEVELOPMENT  
 CONTACT: CLAY FRANKEL  
 825 WALTHAM AVENUE  
 ORLANDO, FLORIDA 32409  
 PHONE: 407-855-1136



0 20 40 feet  
 SCALE: 1:20

No.	Date	Comment

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA  
 Landscape Architect  
 LA0667256  
 Certificate No.

Project No. 22-001

Project Phase: CITY SUBMITTAL

Project Title:  
**WHISPERING HILLS  
 SUBDIVISION  
 HOWEY-IN-THE-HILLS,  
 LAKE COUNTY, FLORIDA**

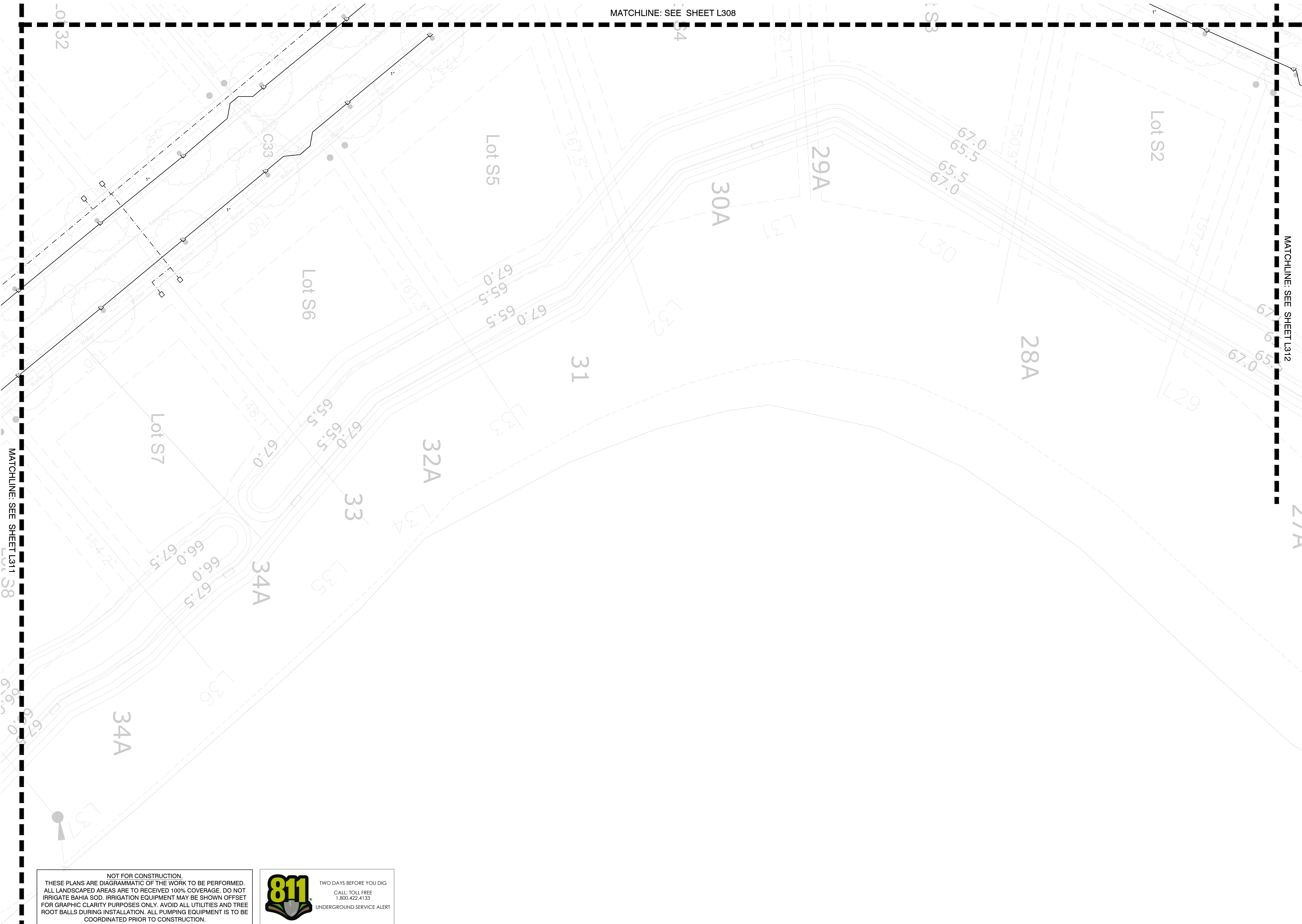
Sheet Title: IRRIGATION PLAN

Designed: IDS	Sheet No.:
Drawn: CAZ	<b>L311</b>
Checked: KMD	
Date: 01/12/22	



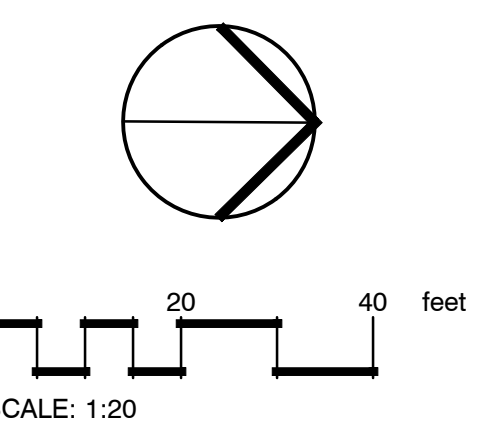
MATCHLINE: SEE SHEET L308

MATCHLINE: SEE SHEET L312



PREPARED BY:  
  
 Contact: KALEY DUNLAP  
 916 VASSAR STREET  
 ORLANDO, FL 32804  
 TEL | 321-277-0826  
 kaley@floraviedesign.com

PREPARED FOR:  
 RED JACKET DEVELOPMENT  
 CONTACT: CLAY FRANKEL  
 825 WALTHAM AVENUE  
 ORLANDO, FLORIDA 32409  
 PHONE: 407-855-1136



No.	Date	Comment

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA  
 Landscape Architect  
 LA6667256  
 Certificate No.

Project No. 22-001

Project Phase: CITY SUBMITTAL

Project Title:  
**WHISPERING HILLS  
 SUBDIVISION  
 HOWEY-IN-THE-HILLS,  
 LAKE COUNTY, FLORIDA**

Sheet Title:  
**IRRIGATION PLAN**

Designed: IDS	Sheet No.:
Drawn: CAZ	<b>L312</b>
Checked: KMD	
Date: 01/12/22	

NOT FOR CONSTRUCTION.  
 THESE PLANS ARE DIAGRAMMATIC OF THE WORK TO BE PERFORMED. ALL LANDSCAPED AREAS ARE TO RECEIVED 100% COVERAGE. DO NOT IRRIGATE BAHIA SOD. IRRIGATION EQUIPMENT MAY BE SHOWN OFFSET FOR GRAPHIC CLARITY PURPOSES ONLY. AVOID ALL UTILITIES AND TREE ROOT BALLS DURING INSTALLATION. ALL PUMPING EQUIPMENT IS TO BE COORDINATED PRIOR TO CONSTRUCTION.









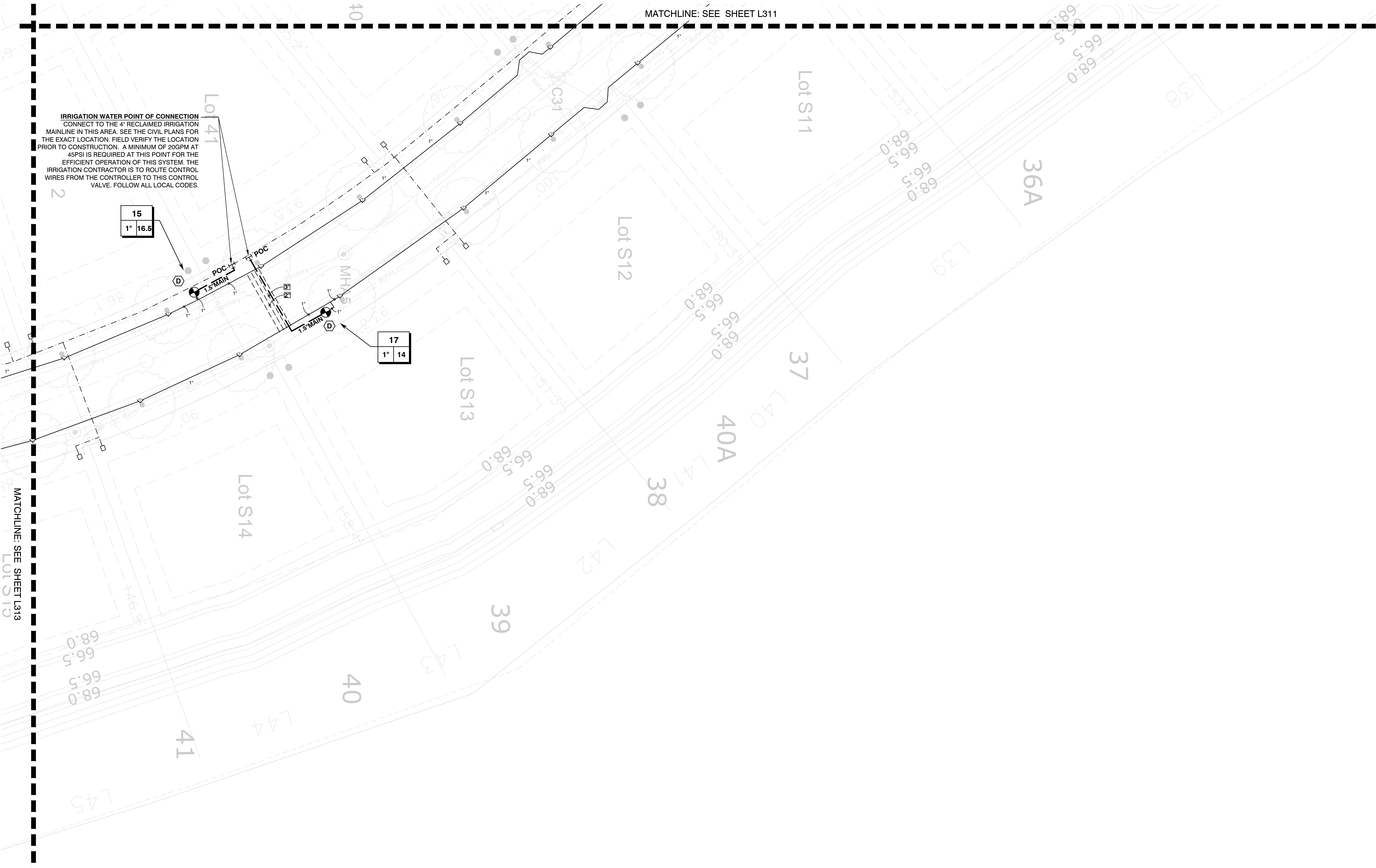
MATCHLINE: SEE SHEET L311

IRRIGATION WATER POINT OF CONNECTION  
CONNECT TO THE 4" RECLAIMED IRRIGATION  
MAINLINE IN THIS AREA. SEE THE CIVIL PLANS FOR  
THE EXACT LOCATION. FIELD VERIFY THE LOCATION  
PRIOR TO CONSTRUCTION. A MINIMUM OF 20GPM AT  
45PSI IS REQUIRED AT THIS POINT FOR THE  
EFFICIENT OPERATION OF THIS SYSTEM. THE  
IRRIGATION CONTRACTOR IS TO ROUTE CONTROL  
WIRES FROM THE CONTROLLER TO THIS CONTROL  
VALVE. FOLLOW ALL LOCAL CODES.

15  
1" 16.5

17  
1" 14

MATCHLINE: SEE SHEET L313

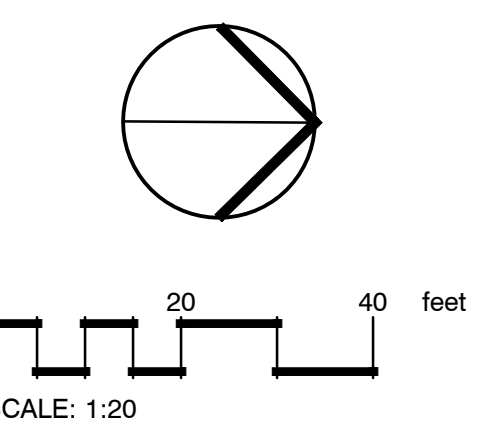


NOT FOR CONSTRUCTION.  
THESE PLANS ARE DIAGRAMMATIC OF THE WORK TO BE PERFORMED.  
ALL LANDSCAPED AREAS ARE TO RECEIVED 100% COVERAGE. DO NOT  
IRRIGATE BAHIA SOD. IRRIGATION EQUIPMENT MAY BE SHOWN OFFSET  
FOR GRAPHIC CLARITY PURPOSES ONLY. AVOID ALL UTILITIES AND TREE  
ROOT BALLS DURING INSTALLATION. ALL PUMPING EQUIPMENT IS TO BE  
COORDINATED PRIOR TO CONSTRUCTION.

**811** TWO DAYS BEFORE YOU DIG  
CALL: TOLL FREE  
1.800.422.4133  
UNDERGROUND SERVICE ALERT

PREPARED BY:  
**floravie** design  
Contact: KALEY DUNLAP  
916 VASSAR STREET  
ORLANDO, FL 32804  
TEL | 321-277-0826  
kaley@floraviedesign.com

PREPARED FOR:  
RED JACKET DEVELOPMENT  
CONTACT: CLAY FRANKEL  
825 WALTHAM AVENUE  
ORLANDO, FLORIDA 32409  
PHONE: 407-855-1136



No.	Date	Comment

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA  
Landscape Architect

LA0667256  
Certificate No.

Project No. 22-001

Project Phase: CITY SUBMITTAL

Project Title:  
**WHISPERING HILLS  
SUBDIVISION  
HOWEY-IN-THE-HILLS,  
LAKE COUNTY, FLORIDA**

Sheet Title:  
**IRRIGATION PLAN**

Designed: IDS  
Drawn: CAZ  
Checked: KMD  
Date: 01/12/22

Sheet No.:  
**L314**



**IRRIGATION NOTES**

1. THE PLANS AND DRAWINGS ARE DIAGRAMMATIC OF THE WORK TO BE PERFORMED. SOME COMPONENTS MAY BE SHOWN OUTSIDE THE WORK AREA FOR CLARITY. THE WORK SHALL BE EXECUTED IN A MANNER TO AVOID CONFLICTS WITH UTILITIES AND OTHER ELEMENTS OF CONSTRUCTION, INCLUDING LANDSCAPE MATERIALS. ALL DEVIATIONS FROM THE PLANS SHALL BE APPROVED BY THE OWNERS REPRESENTATIVE BEFORE BEING INSTALLED.
2. THE CONTRACTOR SHALL COMPLY WITH ALL CURRENT LOCAL CODES, ORDINANCES, AND REGULATIONS.
3. ALL IRRIGATION MAINLINE AND LATERAL LINES ARE TO NOT EXCEED A VELOCITY OF 5FPS.
4. THE CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY ASPECT OF THE IRRIGATION SYSTEM AS SHOWN ON THE PLANS AND DRAWINGS, WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES, OR DISCREPANCIES EXIST THAT MIGHT NOT HAVE BEEN KNOWN DURING THE DESIGN OF THE IRRIGATION SYSTEM. IN THE EVENT THAT NOTIFICATION OF THE CONFLICT IS NOT APPROVED BY THE OWNERS REPRESENTATIVE, THE CONTRACTOR WILL ASSUME FULL RESPONSIBILITY FOR ALL REVISIONS.
5. REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREE ROOT BALLS WHEN INSTALLING IRRIGATION EQUIPMENT. CALL 811 AND REFER TO UTILITY PLANS PRIOR TO TRENCHING.
6. IRRIGATION CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS, INCLUDING UTILITY LOCATIONS BEFORE INSTALLATION OF THE IRRIGATION SYSTEM. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSTALLATION WITH ALL OTHER CONSTRUCTION ON SITE, ESPECIALLY LANDSCAPE INSTALLATION. THE IRRIGATION SYSTEM SHALL BE RELOCATED AT NO ADDITIONAL COST FOR ANY CONFLICT WITH LANDSCAPE INSTALLATION OR ANY OTHER SITE CONSTRUCTION OR EXISTING CONDITIONS.
7. VERIFY THE REQUIRED MINIMUM STATIC WATER PRESSURE IS AVAILABLE AT THE PROJECT SITE PRIOR TO BEGINNING THE IRRIGATION INSTALLATION. NOTIFY THE IRRIGATION DESIGN CONSULTANT AND LANDSCAPE ARCHITECT IN WRITING IF THE MINIMUM STATIC WATER PRESSURE OR WATER VOLUME IS NOT AVAILABLE. SEE PLAN SHEET FOR REQUIREMENTS.
8. WHERE EXISTING OR NEW TREES, LIGHT FIXTURES, SIGNS, ELECTRONIC CONTROLLERS AND/OR OTHER OBJECTS ARE AN OBSTRUCTION TO AN IRRIGATION SPRINKLER'S PATTERN, THE COMPONENT AND PIPING SHALL BE RELOCATED AS NECESSARY TO OBTAIN PROPER COVERAGE OF AN IRRIGATION SPRINKLER'S PATTERN WITHOUT DAMAGING THE OBSTRUCTION.
9. 100% HEAD TO HEAD COVERAGE IS REQUIRED. ASSURE THAT ANY MODIFIED SPACING DOES NOT EXCEED THE SPACING SHOWN IN THE PLANS.
10. THE IRRIGATION CONTRACTOR SHALL ADJUST ALL SPRINKLERS TO AVOID OVER SPRAY ONTO IMPERVIOUS AREAS.
11. ALL MATERIALS AND EQUIPMENT SHOWN SHALL BE NEW, IF THE DRAWINGS DO NOT THOROUGHLY DESCRIBE THE TECHNIQUES TO BE USED, THE INSTALLER SHALL FOLLOW THE INSTALLATION METHODS AND INSTRUCTIONS RECOMMENDED BY THE PRODUCT MANUFACTURER.
12. THE LOCATION OF THE IRRIGATION MAINLINE SHALL BE IDENTIFIED IN THE FIELD AND APPROVED BY THE OWNERS REPRESENTATIVE BEFORE INSTALLATION.
13. THE IRRIGATION CONTRACTOR IS TO SUBMIT PRODUCT SPECIFICATION SHEETS FOR ALL IRRIGATION EQUIPMENT TO BE USED FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
14. THE QUANTITIES SHOWN IN THE LEGEND SHEETS SHALL NOT BE USED FOR BIDDING PURPOSES. THE CONTRACTOR WILL BE RESPONSIBLE FOR CONDUCTING A COMPREHENSIVE MATERIALS TAKEOFF TO DETERMINE THE ACTUAL QUANTITIES OF MATERIAL NECESSARY TO EXECUTE THE WORK DESCRIBED IN THE DOCUMENTS.
15. ALL TRENCHES SHALL BE BACKFILLED WITH CLEAN DEBRIS-FREE MATERIALS.
16. IRRIGATION CONTRACTOR IS TO INSTALL CHRISTY ZONE TAGS WITH THE CORRESPONDING CONTROLLER ZONE NUMBER AT EACH CONTROL VALVE.
17. WHEN THE IRRIGATION MAINLINE IS 3" OR LARGER, ALL CHANGES OF DIRECTION SHALL BE ACCOMPLISHED WITH THE USE OF DUCTILE IRON ELBOWS AND TEES W/ PROPER THRUST BLOCKING. INSTALL JOINT RESTRAINT FITTINGS AS NECESSARY.
18. AS BUILT DOCUMENTS ARE TO BE PROVIDED TO THE OWNER UPON COMPLETION OF THE PROJECT. THE MAINLINE, CONTROL VALVES, ISOLATION VALVES, GROUND RODS AND SPLICE BOXES SHALL BE LOCATED WITH A MEASUREMENT FROM TWO FIXED POINTS.
19. THE IRRIGATION CONTRACTOR SHALL SECURE ANY AND ALL NECESSARY PERMITS FOR THE WORK PRIOR TO COMMENCEMENT OF ON-SITE OPERATIONS.
20. A MAINLINE PRESSURE TEST IS TO BE CONDUCTED BEFORE BACKFILLING. ALL FINDINGS ARE TO BE REPORTED TO THE LANDSCAPE ARCHITECT WITHIN TWENTY FOUR HOURS POST TEST.
21. ALL SLEEVES ARE TO BE TWO TIMES THE SIZE OF THE PIPE AND TO BE COORDINATED WITH THE HARDSCAPE CONTRACTORS PRIOR TO CONSTRUCTION.
22. PROVIDE ALL NECESSARY EQUIPMENT FOR THE TWO-WIRE SYSTEM TO OPERATE EFFICIENTLY. SEE THE TWO-WIRE NOTES.



**TWO-WIRE NOTES**

**DECODERS**

CONTROLLER SHALL INTERFACE WITH HUNTER ICD DECODERS, EACH CAPABLE OF CONTROLLING 1, 2, 4, OR 6 VALVES (ICD-100, ICD-200, ICD-400, AND ICD-600)  
 PROVIDE AN ICD-SEN SENSOR DECODER FOR FLOW SENSOR(S) AND/OR CLIK SENSOR(S) ON TWO WIRE PATH  
 WIRE CONNECTIONS FROM DECODER OUTPUT TO SOLENOID SHALL BE 14 AWG, TYPE PE  
 WIRE DISTANCE FROM DECODER OUTPUT TO SOLENOID UNDER NORMAL CONDITIONS SHALL NOT EXCEED 150-FT [45-M]  
 INSTALL IN VALVE BOX ON DECODER STAKE KIT (DECSTAKE-10) WITH BOTTOM OF DECODER FACING UP  
 CONTRACTOR SHALL INDICATE ASSOCIATED VALVE NUMBER(S) ON MANUFACTURER PROVIDED LABEL ON DECODER WITH PERMANENT MARKER

**WIRES**

WIRE FOR TWO-WIRE PATH SHALL BE TWISTED AND JACKETED HUNTER IDWIRE, OR APPROVED EQUAL (PAIGE ELECTRIC P7354D); COATED WIRE SHALL NOT BE ACCEPTED AS AN EQUAL: ACCEPTABLE EQUAL PRODUCTS MUST CONSIST OF TWO SEPARATELY PE JACKETED WIRE TWISTED INSIDE OF A PE JACKET  
 CONTRACTOR SHALL INSTALL IDWIRE1 (14 AWG) FOR WIRE PATH LENGTH UP TO 10,000-FT [3,048-M] AND IDWIRE2 (12 AWG) FOR WIRE PATH LENGTH UP TO 15,000-FT [4,572-M], WIRE PATH LENGTHS DECREASE WITH SUBSTITUTED WIRE  
 WIRE JACKET COLORS SHALL BE SUCH TO FACILITATE THE IDENTIFICATION OF VARIOUS WIRE PATH ZONES; SEE WIRE JACKET CHART FOR WIRE TYPE, COLOR AND ASSOCIATED VALVES  
 THE CONTROLLER ALLOWS UP TO THREE (3) TWO-WIRE PATHS PER OUTPUT MODULE, CONTRACTOR SHALL NOT CONNECT ANY TWO-WIRE PATH FROM ONE OUTPUT MODULE TO ANOTHER OUTPUT MODULE  
 WIRE CONNECTION FROM DECODER OUTPUT TO SOLENOID SHALL BE COLORED TO MATCH THE ASSOCIATED DECODER OUTPUT STATION COLOR: RED AND BLUE COLORED WIRES SHALL NOT BE USED FOR CONNECTION BETWEEN DECODER OUTPUT AND SOLENOID

**SPLICES**

ALL CONNECTIONS AND SPLICES IN THE RED/BLUE TWO-WIRE PATH MUST BE MADE WITH 3M DBRY-6 WATERPROOF CONNECTORS INSTALLED PER MANUFACTURERS INSTRUCTIONS IN VALVE BOX WITH OPEN END OF CONNECTOR FACING DOWN  
 CONTRACTOR SHALL PROVIDE 3/8-IN [1-M] LOOP OF SLACK WIRE, MEASURED FROM TOP OF VALVE BOX, NEATLY COILED INSIDE ALL SPLICE BOXES AND VALVE BOXES  
 ANY SPLICES IN THE TWO-WIRE PATH NOT ASSOCIATED WITH A DECODER SHALL BE HOUSED IN SEPARATE VALVE BOXES WITH 3/8-IN [1-M] LOOP OF SLACK WIRE  
 CONTRACTOR SHALL INDICATE TWO-WIRE PATH DIRECTIONS IN PERMANENT MARKER WITHIN 6-IN [2.5-CM] OF TWO-WIRE SPLICE ON WIRE JACKET OR ID TAG ZIP TIED TO WIRE: INCOMING WIRE SHALL BE MARKED "CONTROL" ON WIRE JACKET OR ID TAG AND MUST INCLUDE ZIP-TIE ATTACHED TO WIRE JACKET EACH OUTGOING TWO-WIRE PATH SHALL BE MARKED WITH CONNECTED VALVES ON WIRE JACKET  
 CONTRACTOR SHALL ENSURE ALL CONNECTIONS TO BE WATERTIGHT WITH NO ELECTRICAL LEAKAGE TO GROUND OR SHORTING BETWEEN CONDUCTORS

**GROUNDING**

ALL GROUNDING AND INSTALLATION OF EQUIPMENT SPECIFIED SHALL BE INSTALLED IN STRICT COMPLIANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS  
 BOTH THE CONTROLLER AND THE DECODERS SHALL BE GROUNDED TO GROUND RODS OR PLATES WITH LESS THAN 10 OHMS RESISTANCE  
 IRRIGATION CONTROLLER AND PAD SHALL NOT FALL WITHIN THE SPHERE OF INFLUENCE OF A GROUND ROD OR PLATE  
 AT A MINIMUM, EARTH GROUND SHALL BE CONNECTED AT THE FIRST DECODER OF EACH WIRE PATH LEAVING THE CONTROLLER, AND EVERY 12TH VALVE/DECODER OR 1,000-FT [304-M] OF TWO-WIRE RUN (WHICHEVER IS SHORTER), AND AT THE LAST VALVE/DECODER IN ANY WIRE RUN EXCEEDING 50' FROM MAIN WIRE PATH  
 FOR USE OF GROUNDING PLATE:  
 SOLID COPPER GROUNDING PLATE SHALL HAVE A PRE-WELDED #6 AWG INSULATED GREEN-YELLOW WIRE  
 GROUND PLATES ARE TO BE INSTALLED TO A MINIMUM DEPTH OF 30-IN [76-CM]  
 GROUND PLATES SHALL BE MADE OF A COPPER ALLOY INTENDED FOR GROUNDING APPLICATIONS AND HAVE MINIMUM DIMENSIONS AS FOLLOWS:  
 A. FOR GROUNDING CONTROLLERS - 4-IN [10-CM] X 8-FT [1.2-M] X 0.0625-IN [1.5-MM] SOLID COPPER GROUNDING PLATE, WITH 25-FT [7.6-M] CONTINUOUS LENGTH OF 6 AWG, GREEN INSULATED, WITH EXTRUDED YELLOW STRIPE, SOLID BARE COPPER WIRE WELDED TO THE PLATE (PAIGE ELECTRIC 1821991C) AND TWO 50-LB [22.6-KG] BAGS OF POWERSSET EARTH CONTACT MATERIAL (PAIGE ELECTRIC 1820058) FOR POROUS SOILS OR TWO 50-LB [22.6-KG] BAGS OF POWERFILL EARTH CONTACT MATERIAL (PAIGE ELECTRIC 1820059) FOR NON-POROUS SOILS  
 B. FOR GROUNDING DECODERS - 4-IN [10-CM] X 3-FT [1-M] X 0.0625-IN [1.5-MM] SOLID COPPER GROUNDING PLATE, WITH 15-FT [4.5-M] CONTINUOUS LENGTH OF 10 AWG, GREEN INSULATED, WITH EXTRUDED YELLOW STRIPE, SOLID BARE COPPER WIRE IS WELDED TO THE PLATE (PAIGE ELECTRIC 1822011C) AND ONE 50-LB [22.6-KG] BAG OF POWERSSET EARTH CONTACT MATERIAL (PAIGE ELECTRIC 1820058) FOR POROUS SOILS OR ONE 50-LB [22.6-KG] BAG OF POWERFILL EARTH CONTACT MATERIAL (PAIGE ELECTRIC 1820059) FOR NON-POROUS SOILS  
 FOR USE OF GROUNDING ROD: GROUND ROD SHALL BE 5/8-IN [15-MM] DIAMETER X 8-FT [1.2-M] LONG COPPER CLAD STEEL GROUND RODS WITH 15-FT [4.5-M] PRE-WELDED #6 AWG INSULATED GREEN-YELLOW WIRE (PAIGE ELECTRIC PART # 1820001C6)  
 GROUND ROD SHALL BE DRIVEN INTO THE GROUND IN A VERTICAL POSITION OR AN OBLIQUE ANGLE NOT TO EXCEED 45 DEGREES AT A LOCATION 10-FT [3-M] FROM THE ELECTRONIC EQUIPMENT, THE GROUND PLATE, OR THE WIRES AND CABLES CONNECTED TO EQUIPMENT BEING GROUNDED  
 ADDITIONAL GROUND ROD IN DAISY CHAIN INSTALLATION SHALL BE 5/8-IN [15-MM] DIAMETER X 8-FT [1.2-M] LONG COPPER CLAD STEEL GROUND RODS WITH 25-FT [4.5-M] PRE-WELDED #6 AWG INSULATED GREEN-YELLOW WIRE (PAIGE ELECTRIC PART # 1820071C6)  
 GROUND RODS SHALL BE COVERED BY A VALVE BOX  
 ALL CIRCUIT COMPONENTS SHALL BE INSTALLED IN STRAIGHT LINES

**GROUND ROD AND PLATE LOCATION**

CONTRACTOR SHALL LOCATE AND INSTALL GROUND ROD AND/OR PLATE IN AREA OF MOIST SOIL TO MAXIMIZE ELECTRICAL CONDUCTIVITY

**SURGE PROTECTION (LIGHTING ARRESTOR)**

CONTRACTOR SHALL INSTALL PAIGE ELECTRIC 250090LED LIGHTENING ARRESTOR PER MANUFACTURERS SPECIFICATIONS AS CLOSE TO CONTROLLER POWER SOURCE AS POSSIBLE TO PROTECT THE IRRIGATION CONTROLLER FROM SURGES THROUGH 120 OR 240 VAC WIRES

**TURN OVER ITEMS**

CONTRACTOR SHALL PROVIDE PROJECT OWNER WITH THE FOLLOWING AT PROJECT COMPLETION AND TURN OVER: A2C-D SD CARD WITH SAVED STATION AND IRRIGATION PROGRAM INFORMATION  
 PRODUCT MANUALS

IN ADDITION TO IRRIGATION AS-BUILT REQUIREMENTS, THE CONTRACTOR SHALL INCLUDE IN THE AS-BUILT DRAWINGS OF IRRIGATION SYSTEM GRAPHICALLY DEPICTING LOCATION OF TWO-WIRE PATH(S), GROUNDING LOCATION AND TYPE, DECODERS, NON-DECODER WIRE SPLICES, INDICATION OF TWO-WIRE SPLICE TYPES (1-WAY, 2-WAY, 3-WAY, ETC), AND TERMINATION OF TWO-WIRE PATHS ICD-HP HANDHELD PROGRAMMER AND DIAGNOSTIC TOOL ROAM XL HANDHELD REMOTE AND RECEIVER

**MANUFACTURER TRAINING**

PRIOR TO INSTALLATION THE CONTRACTOR SHALL HAVE COMPLETED AND RECEIVED CERTIFICATION FOR THE FOLLOWING TRAINING MODULES PROVIDED BY HUNTER INDUSTRIES:

- DECODER SPECIALIST PROGRAM
- MULTIMETER BASICS COURSE
- EXPERT PROGRAM

**PRE-CONSTRUCTION MEETING**

PRIOR TO INSTALLATION OF TWO-WIRE IRRIGATION SYSTEM, A PRE-CONSTRUCTION MEETING SHALL BE CONDUCTED WITH PROJECT OWNER'S REPRESENTATIVE, INSTALLING CONTRACTOR, AND IRRIGATION TWO-WIRE MANUFACTURER AT NO ADDITIONAL COST FROM MANUFACTURER

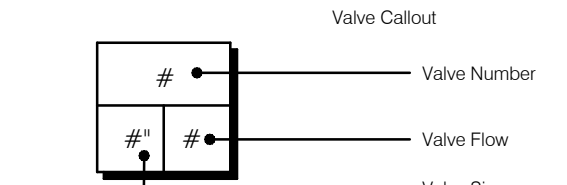
**TECHNICAL SUPPORT**

HUNTER INDUSTRIES (800) 733-2823

**IRRIGATION SCHEDULE**

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	HUNTER PROS-12-PRS30-CV-F-R SHORT RADIUS NOZZLES SHRUB SPRAY, 30 PSI REGULATED 12" POP-UP, WITH FACTORY INSTALLED DRAIN CHECK VALVE, FLOGUARD AND RECLAIMED PURPLE BODY CAP, CO-MOLDED WIPER SEAL WITH UV RESISTANT MATERIAL.	7	30
	HUNTER PROS-12-PRS30-CV-F-R 5' STRIP SPRAY SHRUB SPRAY, 30 PSI REGULATED 12" POP-UP, WITH FACTORY INSTALLED DRAIN CHECK VALVE, FLOGUARD AND RECLAIMED PURPLE BODY CAP, CO-MOLDED WIPER SEAL WITH UV RESISTANT MATERIAL.	171	30
	HUNTER PROS-12-PRS30-CV-F-R 8' RADIUS SHRUB SPRAY, 30 PSI REGULATED 12" POP-UP, WITH FACTORY INSTALLED DRAIN CHECK VALVE, FLOGUARD AND RECLAIMED PURPLE BODY CAP, CO-MOLDED WIPER SEAL WITH UV RESISTANT MATERIAL.	8	30
	HUNTER PROS-12-PRS30-CV-F-R 10' RADIUS SHRUB SPRAY, 30 PSI REGULATED 12" POP-UP, WITH FACTORY INSTALLED DRAIN CHECK VALVE, FLOGUARD AND RECLAIMED PURPLE BODY CAP, CO-MOLDED WIPER SEAL WITH UV RESISTANT MATERIAL.	5	30
	HUNTER PROS-12-PRS30-CV-F-R 12' RADIUS SHRUB SPRAY, 30 PSI REGULATED 12" POP-UP, WITH FACTORY INSTALLED DRAIN CHECK VALVE, FLOGUARD AND RECLAIMED PURPLE BODY CAP, CO-MOLDED WIPER SEAL WITH UV RESISTANT MATERIAL.	3	30
	HUNTER PROS-12-PRS30-CV-F-R 15' RADIUS SHRUB SPRAY, 30 PSI REGULATED 12" POP-UP, WITH FACTORY INSTALLED DRAIN CHECK VALVE, FLOGUARD AND RECLAIMED PURPLE BODY CAP, CO-MOLDED WIPER SEAL WITH UV RESISTANT MATERIAL.	1	30
	HUNTER PROS-12-PRS30-CV-F-R ADJUSTABLE ARC SHRUB SPRAY, 30 PSI REGULATED 12" POP-UP, WITH FACTORY INSTALLED DRAIN CHECK VALVE, FLOGUARD AND RECLAIMED PURPLE BODY CAP, CO-MOLDED WIPER SEAL WITH UV RESISTANT MATERIAL.	16	30
	HUNTER PCB-R FLOOD BUBBLER, 1/2" FIPT, WITH PURPLE CAP FOR RECLAIMED WATER USE.	477	30

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	HUNTER ICDV-G-R 1", 1-1/2", 2", AND 3" PLASTIC ELECTRIC REMOTE CONTROL VALVES, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE. WITH RECLAIMED WATER ID, PURPLE HANDLE.	18
	HUNTER ACC-PED-A2C-75D-M 75-STATION DECODER CONTROLLER IN AN OUTDOOR METAL PEDESTAL.	1
	HUNTER ICD-100 SINGLE STATION DECODER W/SURGE SUPPRESSION AND GROUND WIRE, TO BE INSTALLED ON UNIVERSAL DECODER STAKE KIT (DECSTAKE10).	18
	HUNTER RAIN-CLIK RAIN SENSOR, WITH CONDUIT INSTALLATION, MOUNT AS NOTED, NORMALLY CLOSED SWITCH.	1
	POINT OF CONNECTION 1 1/2" CONNECT TO THE RECLAIMED MAINLINE PROPOSED BY THE CIVIL ENGINEER	18
---	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21-NP	19,375 L.F.
---	IRRIGATION MAINLINE: PVC CLASS 200 SDR 21-NP	515.8 L.F.
---	PIPE SLEEVE: PVC SCHEDULE 40	1,040 L.F.



THE QUANTITIES SHOWN IN THE LEGEND SHEETS SHALL NOT BE USED FOR BIDDING PURPOSES. THE CONTRACTOR WILL BE RESPONSIBLE FOR CONDUCTING A COMPREHENSIVE MATERIALS TAKEOFF TO DETERMINE THE ACTUAL QUANTITIES OF MATERIAL NECESSARY TO EXECUTE THE WORK DESCRIBED IN THE DOCUMENTS. ALL PUMPING EQUIPMENT IS YET TO BE SPECIFIED AND COORDINATED.

**VALVE SCHEDULE**

NUMBER	MODEL	SIZE	TYPE	GPM	PSI	PSI @ POC	PRECIP
1	HUNTER ICDV-G-R	1"	SHRUB SPRAY	24.72	33.1	33.7	1.81 in/h
2	HUNTER ICDV-G-R	1"	BUBBLER	15	35.8	35.9	1.7 in/h
3	HUNTER ICDV-G-R	1-1/2"	SHRUB SPRAY	41.16	34.1	34.8	1.96 in/h
4	HUNTER ICDV-G-R	1-1/2"	SHRUB SPRAY	40.45	34.2	35.6	2.14 in/h
5	HUNTER ICDV-G-R	1-1/2"	SHRUB SPRAY	45.55	33.9	37.4	1.82 in/h
6	HUNTER ICDV-G-R	1-1/2"	SHRUB SPRAY	46.5	34.7	39.9	1.91 in/h
7	HUNTER ICDV-G-R	1-1/2"	SHRUB SPRAY	45.55	33.9	40.7	2.59 in/h
8	HUNTER ICDV-G-R	1-1/2"	SHRUB SPRAY	45.3	34.5	42.7	2.25 in/h
9	HUNTER ICDV-G-R	1"	BUBBLER	14	38.5	38.5	1.7 in/h
10	HUNTER ICDV-G-R	1"	BUBBLER	10	33.9	33.9	1.7 in/h
11	HUNTER ICDV-G-R	1"	BUBBLER	11	34.1	34.1	1.7 in/h
12	HUNTER ICDV-G-R	1"	BUBBLER	15	35.9	35.9	1.7 in/h
13	HUNTER ICDV-G-R	1"	BUBBLER	14.5	35.4	35.5	1.7 in/h
14	HUNTER ICDV-G-R	1"	BUBBLER	18	37.6	37.8	1.7 in/h
15	HUNTER ICDV-G-R	1"	BUBBLER	16.5	36.4	36.5	1.7 in/h
16	HUNTER ICDV-G-R	1"	BUBBLER	18	36.8	37.1	1.7 in/h
17	HUNTER ICDV-G-R	1"	BUBBLER	14	36.5	36.6	1.7 in/h
18	HUNTER ICDV-G-R	1"	BUBBLER	16.5	36.3	36.4	1.7 in/h

THE IRRIGATION CONTRACTOR IS TO SET THE RUN TIMES FOR EACH ZONE TO MATCH THE PLANT WATER REQUIREMENTS, SITE CONDITIONS AND MICRO-CLIMATE FACTORS. SEE THE LANDSCAPE PLANS FOR PLANT SPECIFICATIONS.

PREPARED BY:  
  
 Contact: KALEY DUNLAP  
 916 VASSAR STREET  
 ORLANDO, FL 32804  
 TEL | 321-277-0826  
 kaley@floraviedesign.com

PREPARED FOR:  
 RED JACKET DEVELOPMENT  
 CONTACT: CLAY FRANKEL  
 825 WALTHAM AVENUE  
 ORLANDO, FLORIDA 32409  
 PHONE: 407-855-1136

No.	Date	Comment

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA	LA6667256
Landscape Architect	Certificate No.

Project No: 22-001

Project Phase: CITY SUBMITTAL

Project Title:

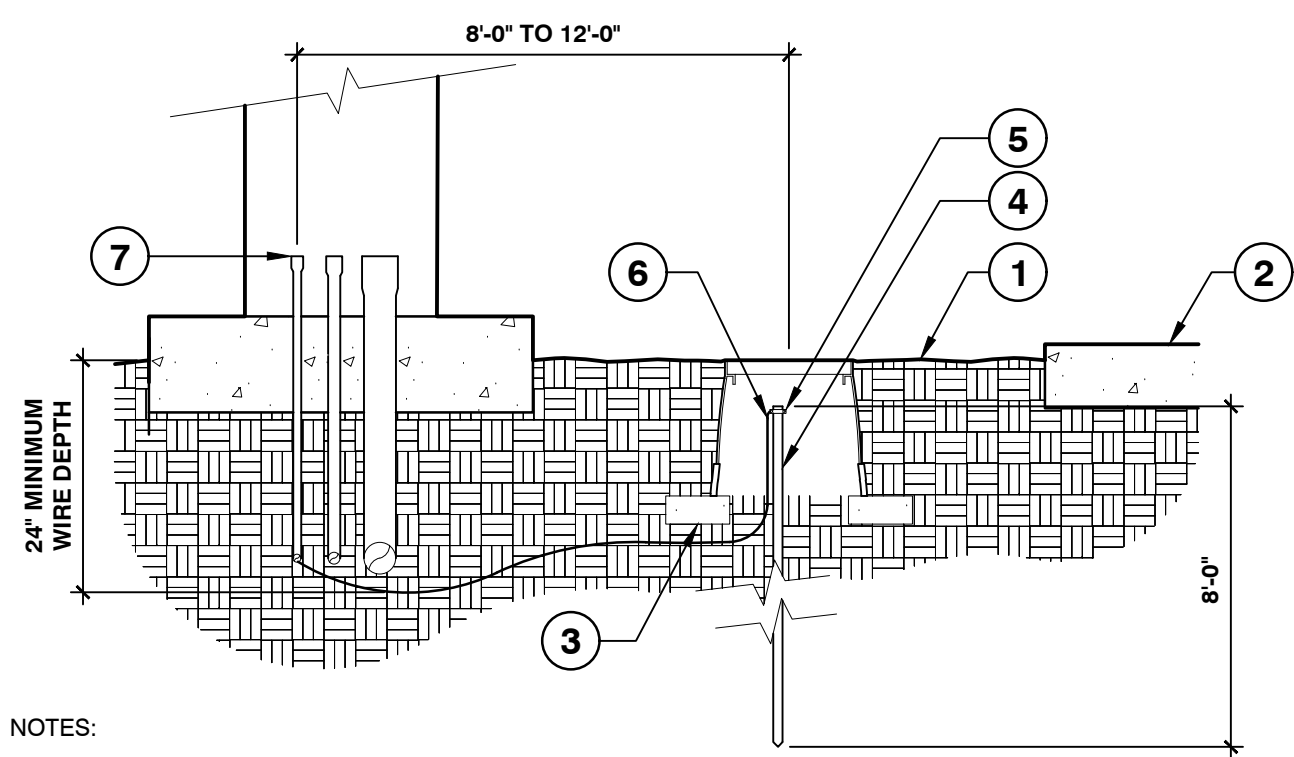
WHISPERING HILLS  
 SUBDIVISION  
 HOWEY-IN-THE-HILLS,  
 LAKE COUNTY, FLORIDA

Sheet Title:

IRRIGATION NOTES & LEGEND

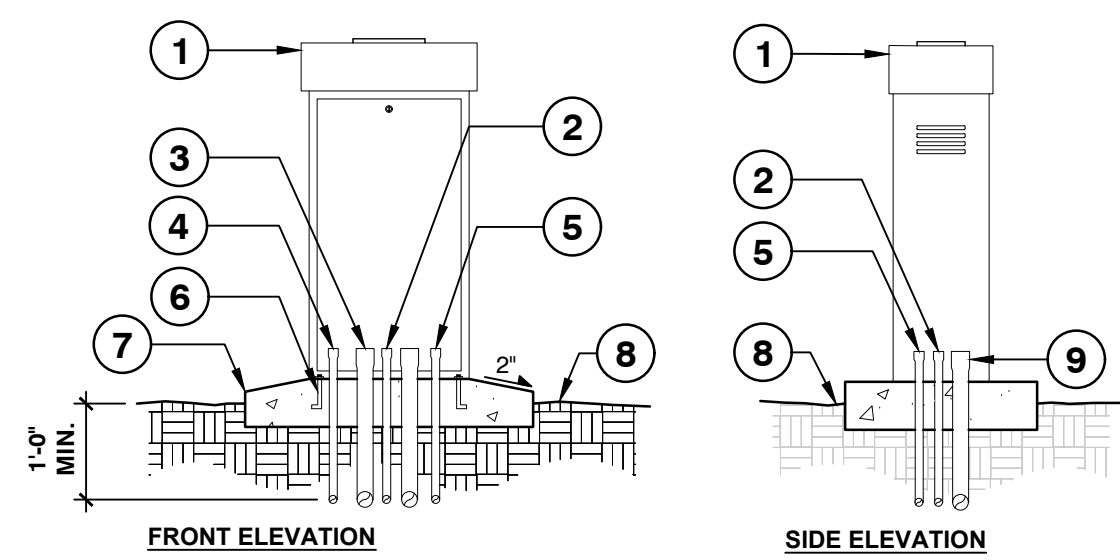
Designed: IDS	Sheet No.:
Drawn: CAZ	L315
Checked: KMD	
Date: 01/12/22	





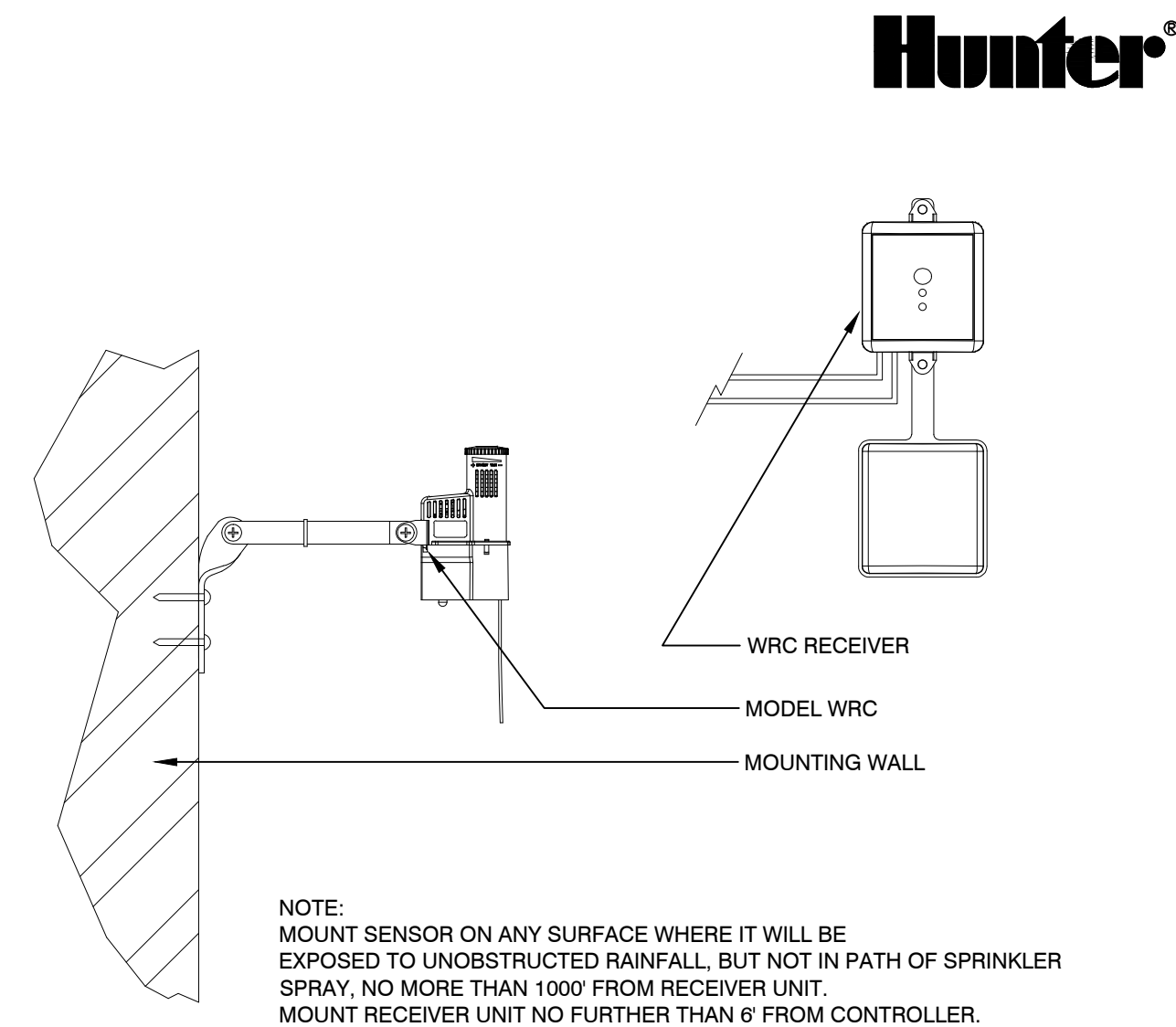
- NOTES:
- ALL GROUNDING REQUIREMENTS FOR CONTROLLERS SHALL CONFORM TO LOCAL ELECTRIC CODES.
  - GROUNDING ROD SHALL NOT BE LOCATED IN THE SAME TRENCH AS IRRIGATION MAINLINES OR LATERAL LINES.
  - VALVE BOX SHALL BE WRAPPED WITH A MINIMUM 3 MIL THICK PLASTIC AND SECURED TO THE VALVE BOX USING DUCT TAPE OR ELECTRICAL TAPE.
  - INSTALL GROUNDING ROD PER THE CONTROLLER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- FINISH GRADE
  - PAVEMENT
  - THREE (3) 4" x 8" BRICKS
  - 5/8" x 8'-0" COPPER GROUNDING ROD
  - GROUNDING ROD CLAMP
  - #6 AWG BARE COPPER WIRE
  - 1/2" PVC ELECTRICAL CONDUIT AND SWEEP FOR EARTH GROUND

**1** GROUNDING ROD  
1" = 1'-0" FX-IR-FX-AUXEQ-01



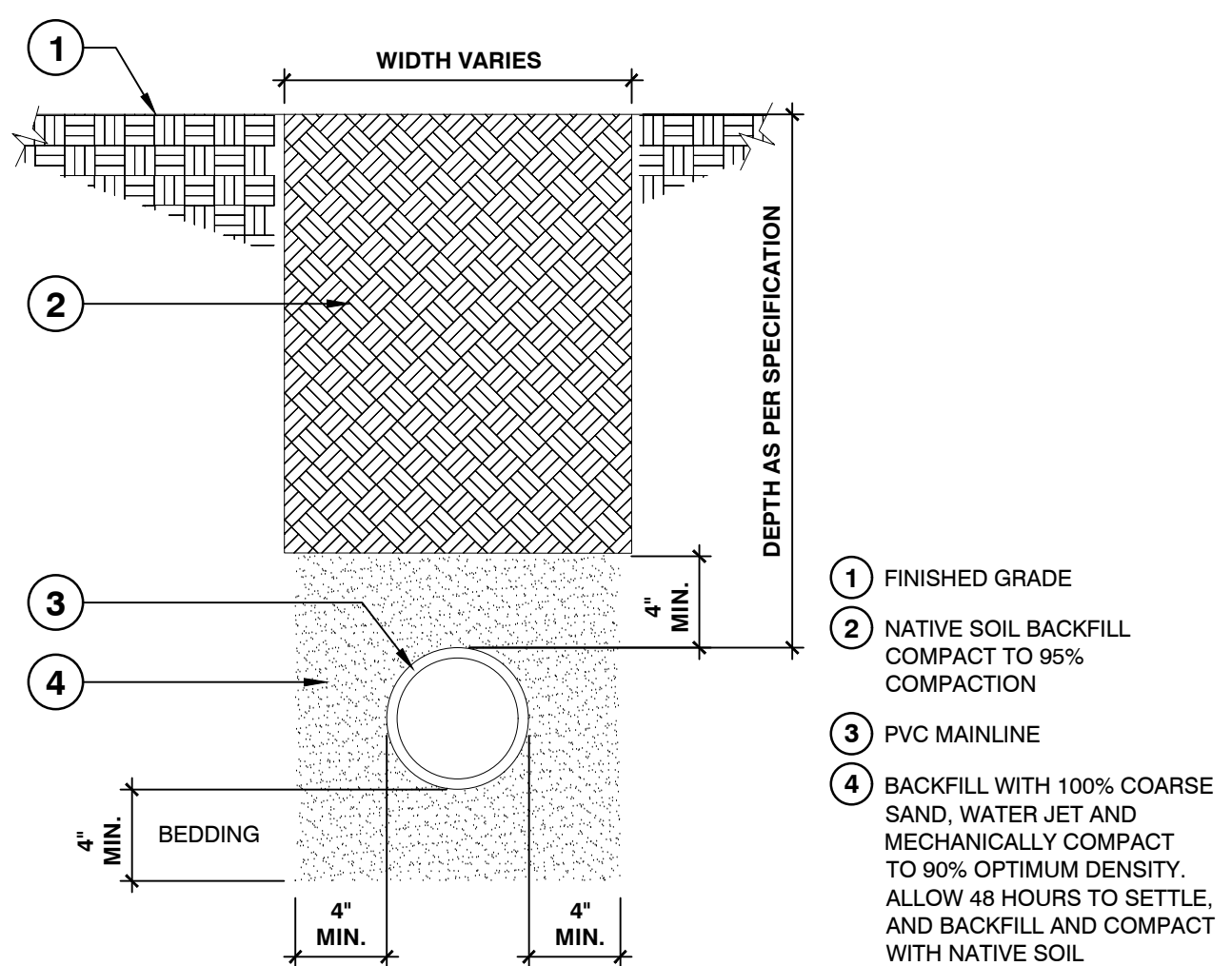
- NOTES:
- COMMON AND CONTROLLER WIRE TO BE BUNDLED USING ELECTRICAL TAPE AT 10'-0" ON CENTER.
  - GROUNDING RODS SHALL BE LOCATED BETWEEN 8'-0" AND 12'-0" AWAY FROM THE CONTROLLER. GROUNDING RODS SHALL BE 3/8" IN DIAMETER X 8' IN LENGTH. CONNECT THE GROUNDING ROD TO THE CONTROLLER USING 6 GAUGE BARE COPPER WIRE OR PER THE MANUFACTURER'S SPECIFICATIONS. SEE GROUNDING ROD DETAIL.
  - ET STATION TO BE INSTALLED NO FURTHER THAN 90' AWAY FROM THE CONTROLLER AND A MINIMUM OF 15' OFF OF THE GROUND, OUT FROM UNDER ANY OVERHEAD OBSTRUCTIONS SUCH AS, BUT NOT LIMITED TO BUILDING OVERHANGS, TREES, OR UTILITIES.
- PEDESTAL MOUNTED CONTROLLER (SEE IRRIGATION LEGEND FOR MAKE AND MODEL. INSTALL CONTROLLER PER MANUFACTURER SPECIFICATIONS)
  - 1" PVC ELECTRICAL CONDUIT FOR GROUNDING WIRE
  - 2" PVC ELECTRICAL CONDUIT FOR REMOTE CONTROL WIRES (TRADITIONAL & 2-WIRE)
  - 1" PVC ELECTRICAL CONDUIT FOR INPUT POWER PER LOCAL AND NATIONAL CODES
  - 1" PVC ELECTRICAL CONDUIT FOR SENSOR WIRES
  - 1/2" x 4" CADMIUM PLATED 1/4" ANCHOR BOLTS AT FOUR LOCATIONS
  - CONCRETE FOOTING (INSTALL PER MANUFACTURER'S SPECIFICATION)
  - FINISHED GRADE
  - OPTIONAL 2" PVC ELECTRICAL CONDUIT FOR AN ADDITIONAL WIRES

**2** PEDESTAL MOUNTED CONTROLLER  
1/2" = 1'-0" FX-IR-FX-CONT-04

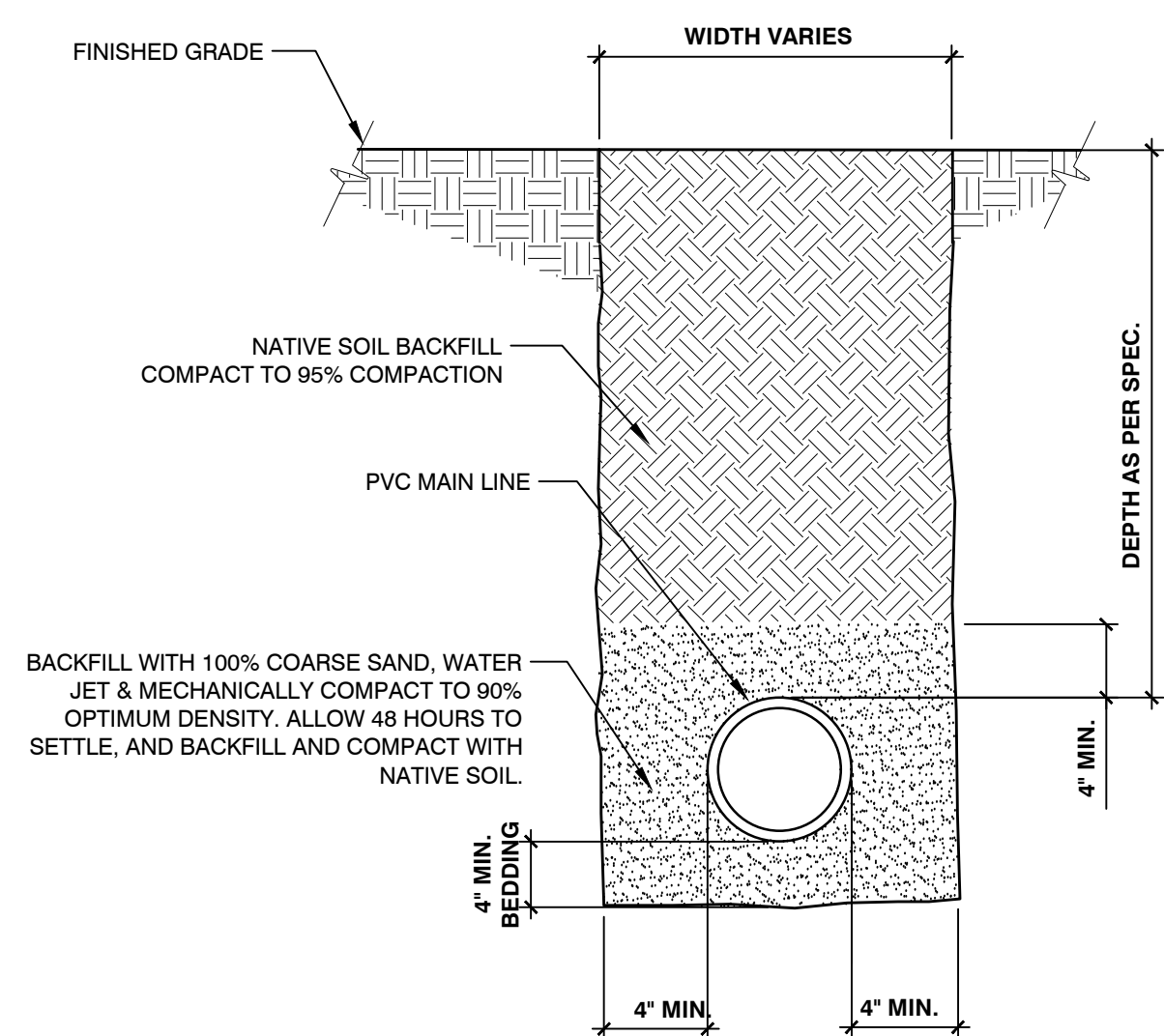


NOTE:  
MOUNT SENSOR ON ANY SURFACE WHERE IT WILL BE EXPOSED TO UNOBSTRUCTED RAINFALL, BUT NOT IN PATH OF SPRINKLER SPRAY, NO MORE THAN 1000' FROM RECEIVER UNIT. MOUNT RECEIVER UNIT NO FURTHER THAN 6' FROM CONTROLLER.

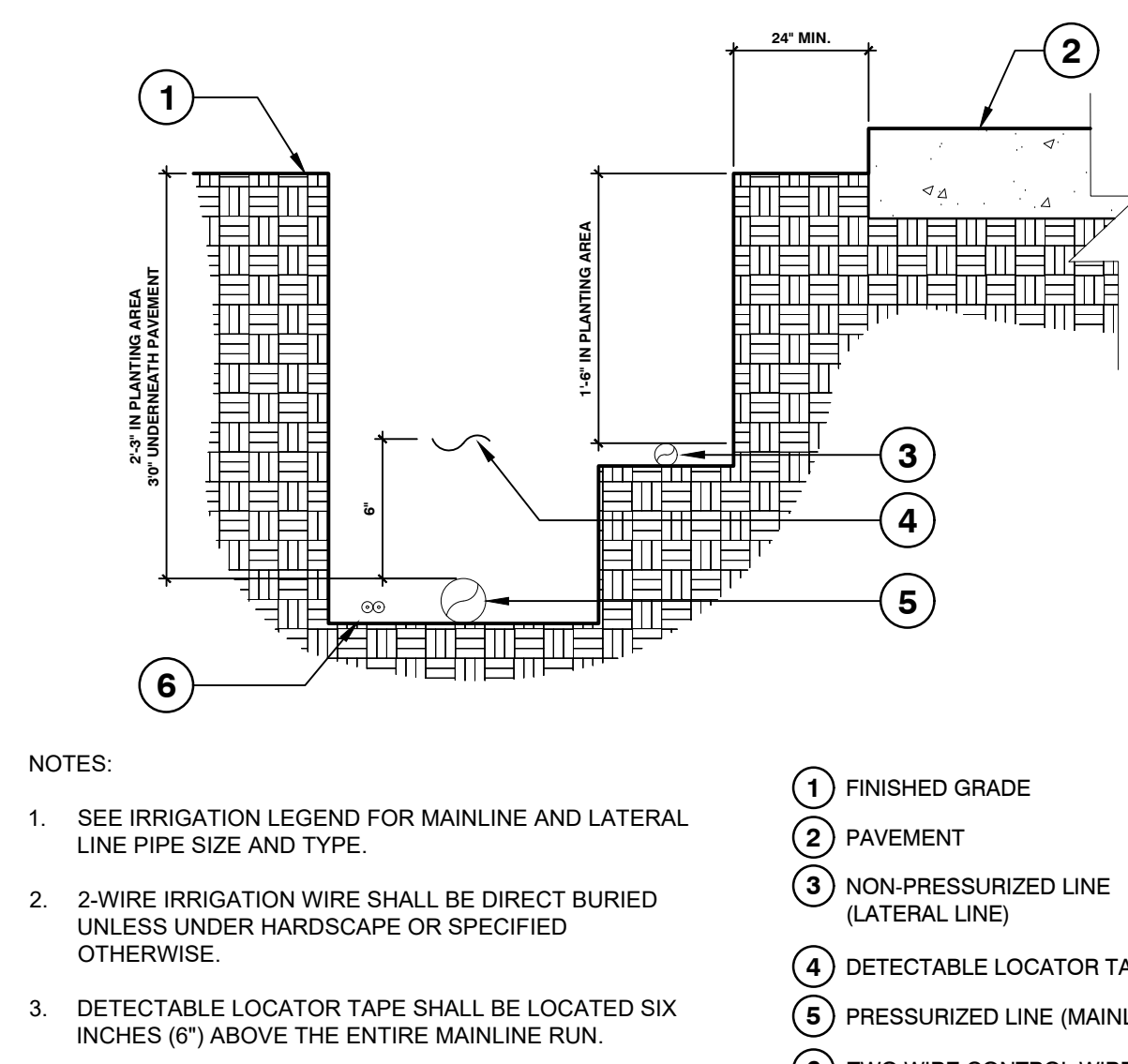
**3** WIRELESS RAIN-CLICK  
3" = 1'-0" FX-IR-HUNT-SENS-17



**4** MAINLINE WITH SAND BEDDING  
1 1/2" = 1'-0" FX-IR-FX-AUXEQ-13

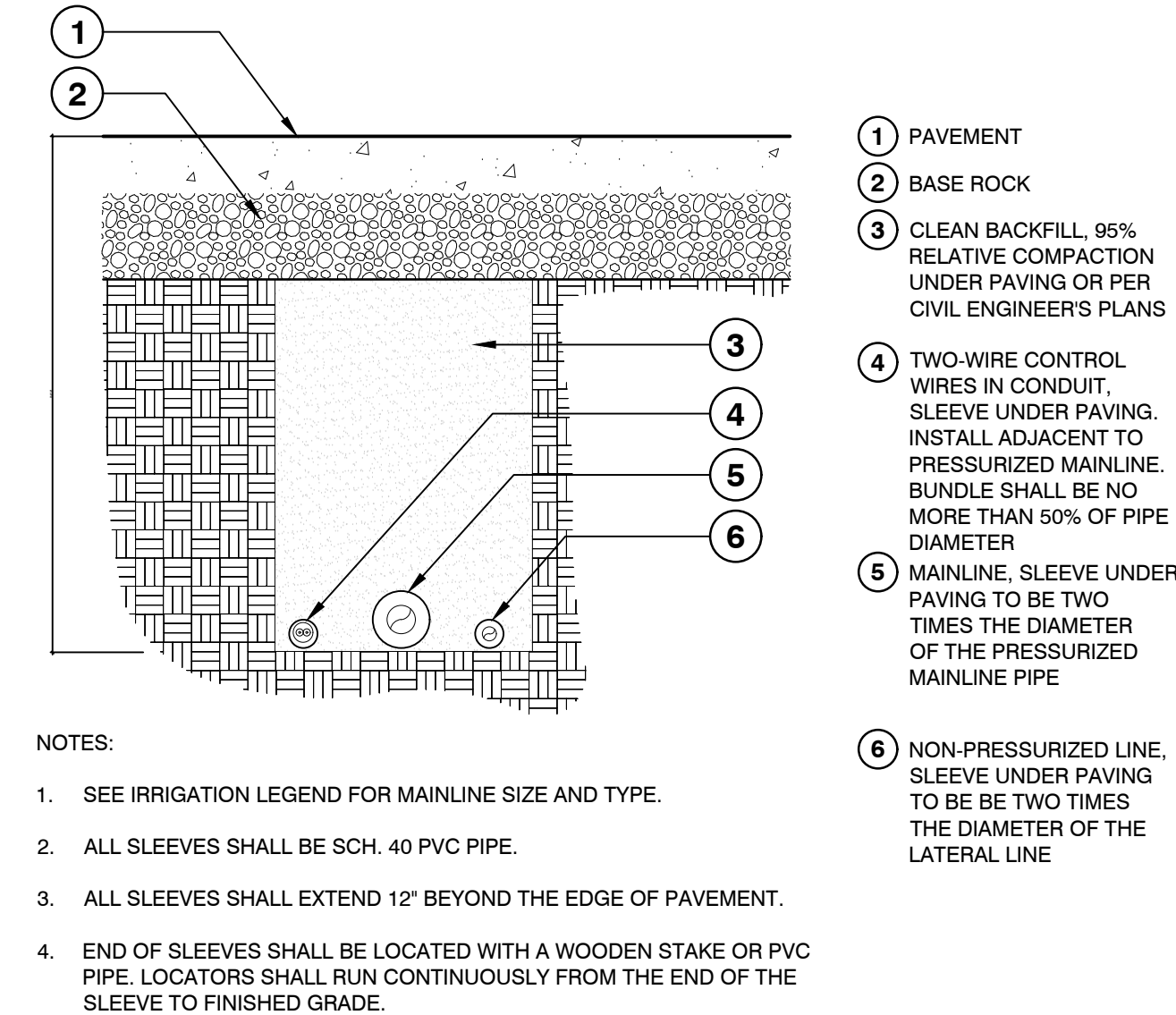


**5** SLEEVE AT ROAD  
1 1/2" = 1'-0" FX-IR-FX-AUXEQ-15



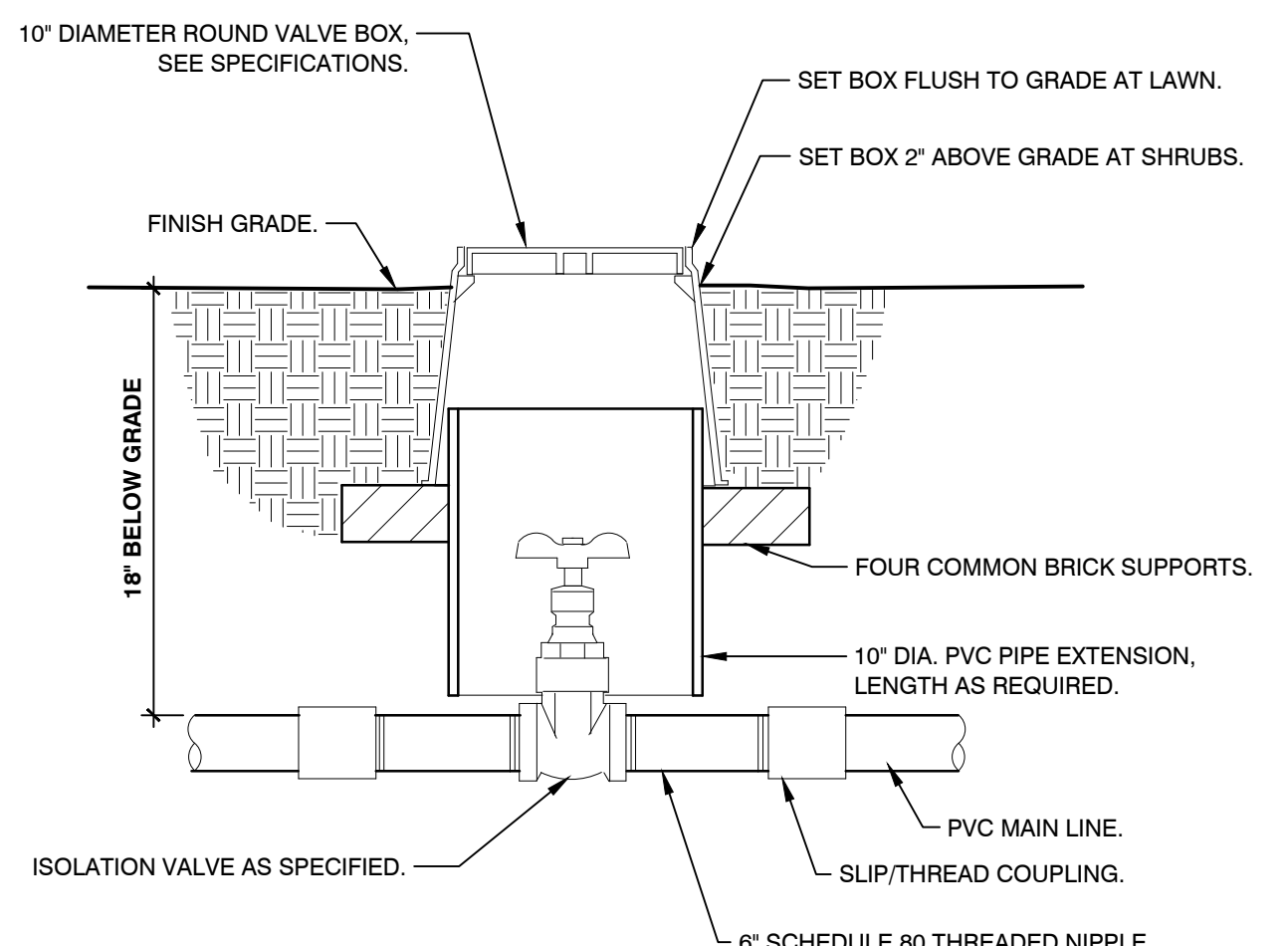
- NOTES:
- SEE IRRIGATION LEGEND FOR MAINLINE AND LATERAL LINE PIPE SIZE AND TYPE.
  - 2-WIRE IRRIGATION WIRE SHALL BE DIRECT BURIED UNLESS UNDER HARDSCAPE OR SPECIFIED OTHERWISE.
  - DETECTABLE LOCATOR TAPE SHALL BE LOCATED SIX INCHES (6") ABOVE THE ENTIRE MAINLINE RUN.
- FINISHED GRADE
  - PAVEMENT
  - NON-PRESSURIZED LINE (LATERAL LINE)
  - DETECTABLE LOCATOR TAPE
  - PRESSURIZED LINE (MAINLINE)
  - TWO WIRE CONTROL WIRES DIRECT BURY

**6** IRRIGATION TRENCHING - TWO WIRE - DIRECT BURY  
N.T.S. I-09

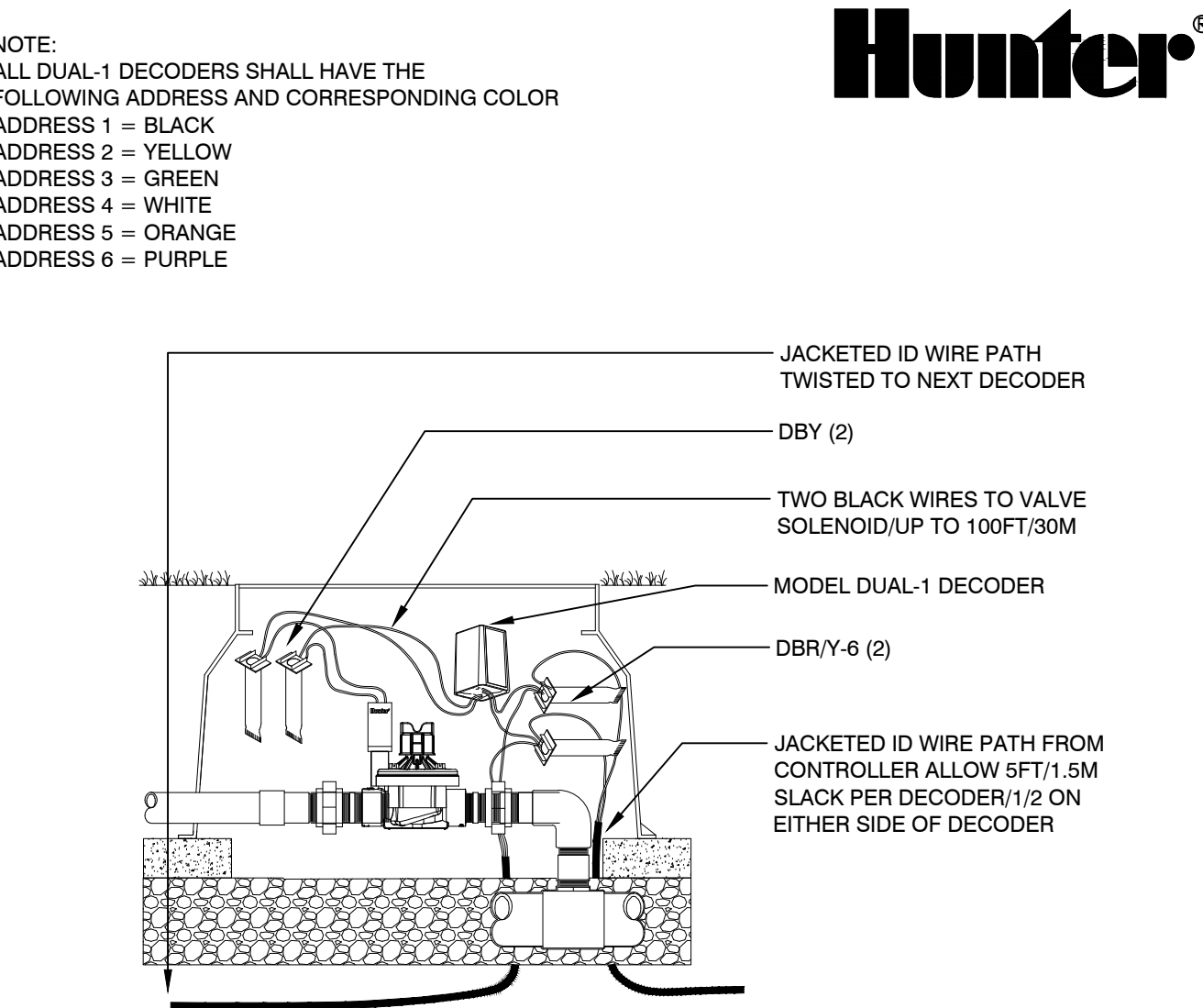


- NOTES:
- SEE IRRIGATION LEGEND FOR MAINLINE SIZE AND TYPE.
  - ALL SLEEVES SHALL BE SCH. 40 PVC PIPE.
  - ALL SLEEVES SHALL EXTEND 12" BEYOND THE EDGE OF PAVEMENT.
  - END OF SLEEVES SHALL BE LOCATED WITH A WOODEN STAKE OR PVC PIPE. LOCATORS SHALL RUN CONTINUOUSLY FROM THE END OF THE SLEEVE TO FINISHED GRADE.
- PAVEMENT
  - BASE ROCK
  - CLEAN BACKFILL, 95% RELATIVE COMPACTION UNDER PAVING OR PER CIVIL ENGINEER'S PLANS
  - TWO-WIRE CONTROL WIRES IN CONDUIT. SLEEVE UNDER PAVING. INSTALL ADJACENT TO PRESSURIZED MAINLINE. BUNDLE SHALL BE NO MORE THAN 50% OF PIPE DIAMETER
  - MAINLINE. SLEEVE UNDER PAVING TO BE TWO TIMES THE DIAMETER OF THE PRESSURIZED MAINLINE PIPE
  - NON-PRESSURIZED LINE. SLEEVE UNDER PAVING TO BE TWO TIMES THE DIAMETER OF THE LATERAL LINE

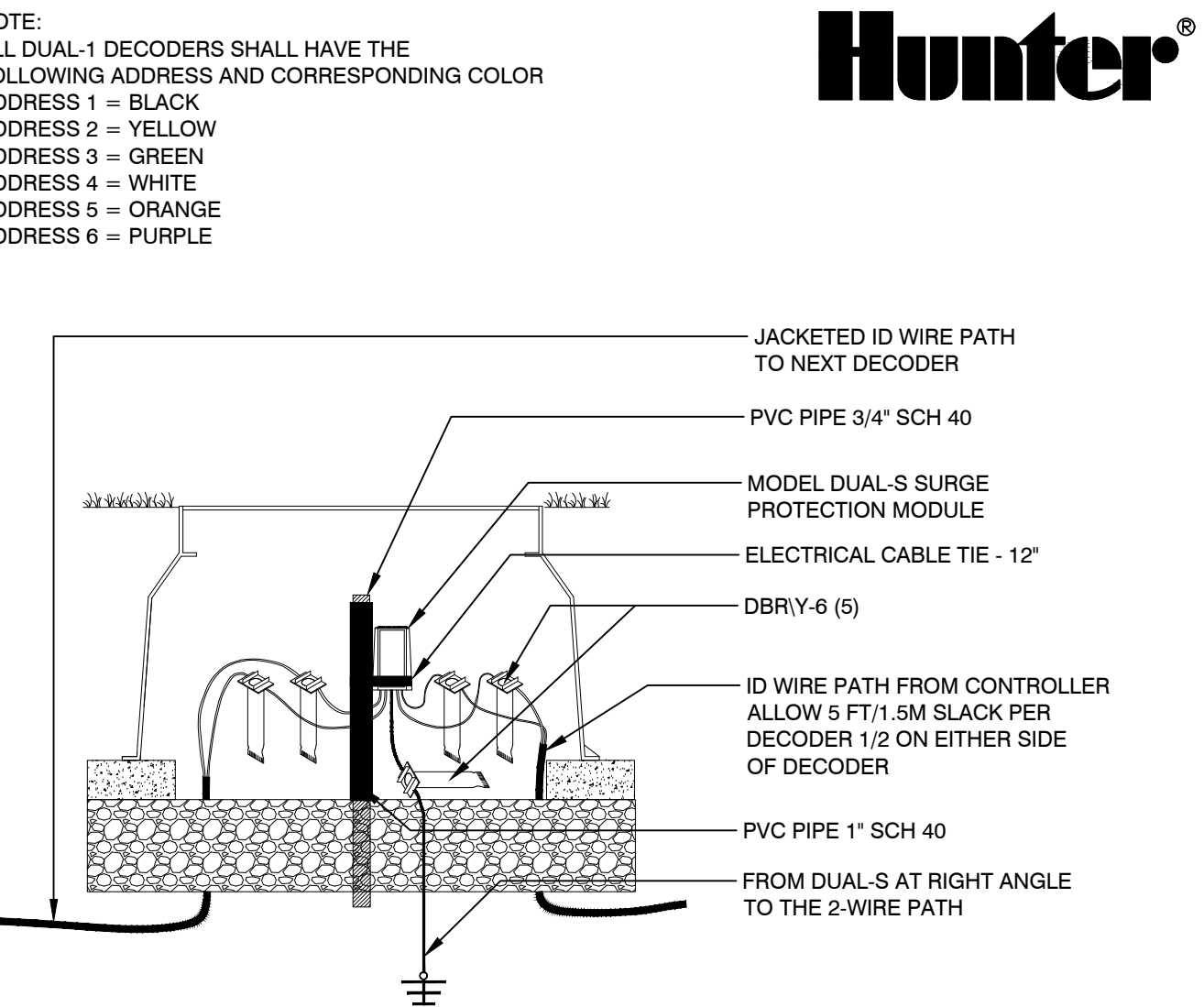
**7** PIPE BENEATH PAVEMENT - TWO WIRE  
N.T.S. I-04



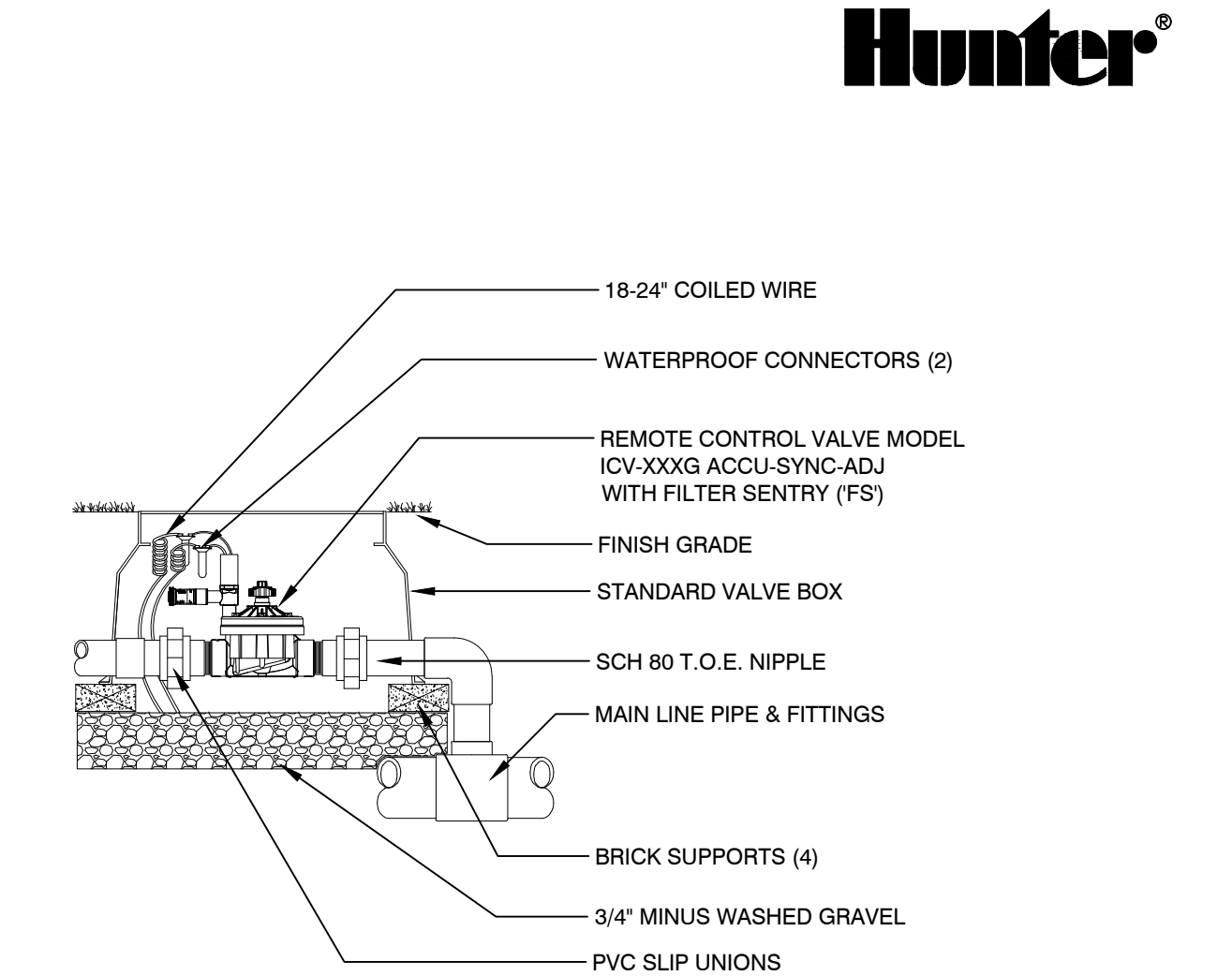
**8** BRASS ISOLATION VALVE  
1 1/2" = 1'-0" FX-IR-FX-ISOV-01



**9** DUAL-1 DECODER  
1 1/2" = 1'-0" FX-IR-HUNT-CONT-11



**10** DUAL-S SURGE DEVICE  
1 1/2" = 1'-0" FX-IR-HUNT-CONT-15



**11** ICV GLOBE VALVE W/ ACCU-SYNC-ADJ AND UNIONS  
1" = 1'-0" FX-IR-HUNT-VALV-19

**Hunter®**

**Hunter®**

**Hunter®**

**Hunter®**

NOTE:  
ALL DUAL-1 DECODERS SHALL HAVE THE FOLLOWING ADDRESS AND CORRESPONDING COLOR  
ADDRESS 1 = BLACK  
ADDRESS 2 = YELLOW  
ADDRESS 3 = GREEN  
ADDRESS 4 = WHITE  
ADDRESS 5 = ORANGE  
ADDRESS 6 = PURPLE

PREPARED BY:  
*floravie* design  
Contact: KALEY DUNLAP  
916 VASSAR STREET  
ORLANDO, FL 32804  
TEL | 321-277-0826  
kaley@floraviedesign.com

PREPARED FOR:  
RED JACKET DEVELOPMENT  
CONTACT: CLAY FRANKEL  
825 WALTHAM AVENUE  
ORLANDO, FLORIDA 32409  
PHONE: 407-855-1136

No.	Date	Comment

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA LA6667256  
Landscape Architect Certificate No.

Project No. 22-001

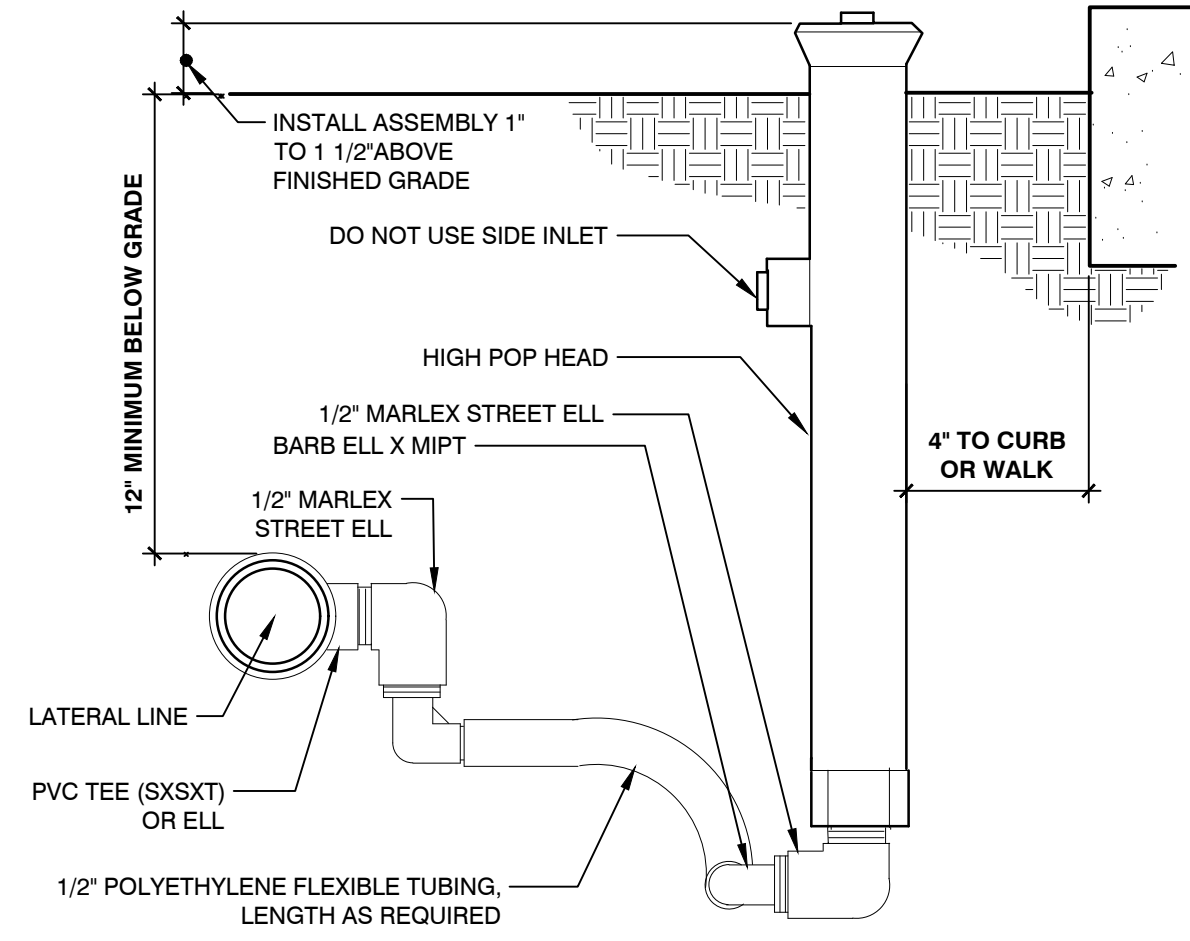
Project Phase: CITY SUBMITTAL

Project Title:  
**WHISPERING HILLS  
SUBDIVISION  
HOWEY-IN-THE-HILLS,  
LAKE COUNTY, FLORIDA**

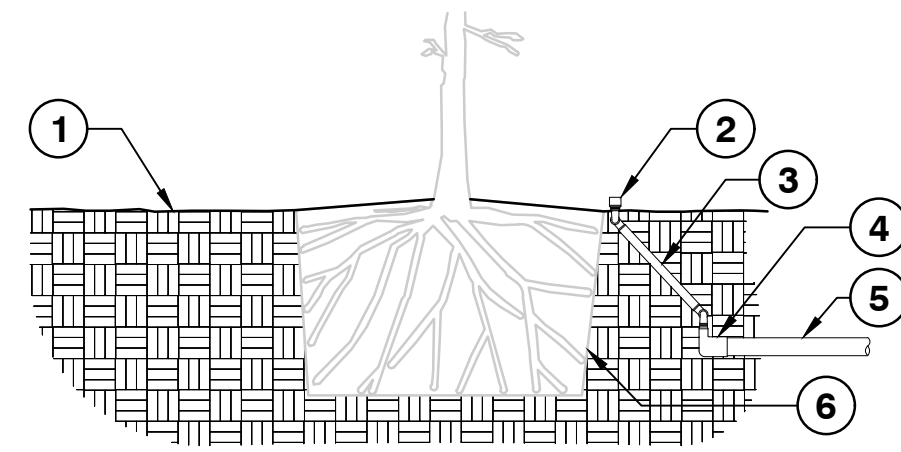
Sheet Title:  
**IRRIGATION DETAILS**

Designed: IDS	Sheet No.:
Drawn: CAZ	<b>L316</b>
Checked: KMD	
Date: 01/12/22	



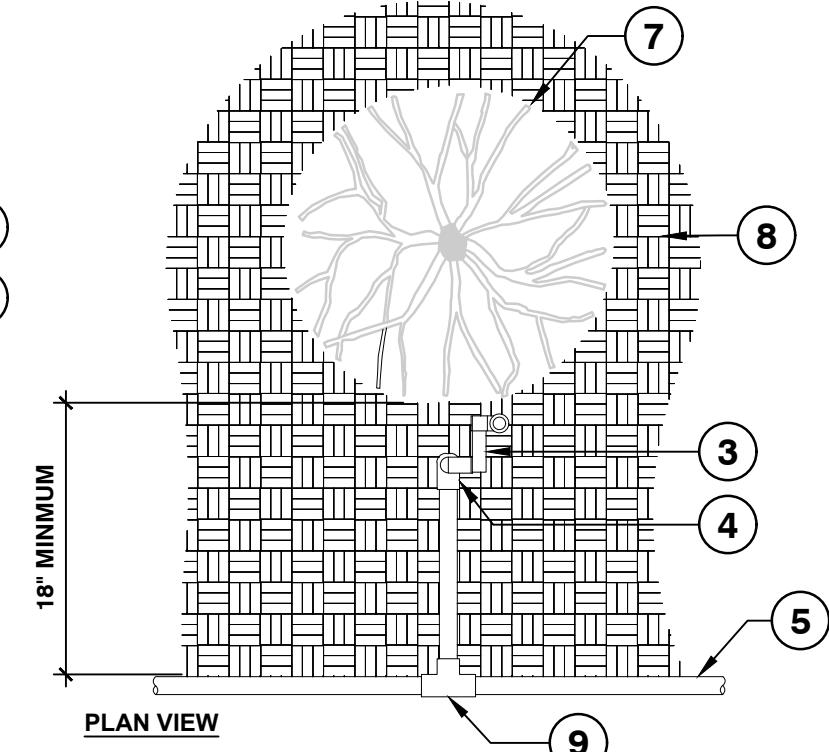


**1** SHRUB SPRAY HIGHPOP W/FLEX ASSEMBLY  
3" = 1'-0" FX-IR-FX-HEAD-08



- SECTION VIEW**
- 1 FINISHED GRADE
  - 2 PRESSURE COMPENSATING BUBBLER SHALL BE SET 1" ABOVE FINISHED GRADE (SEE IRRIGATION SCHEDULE FOR MAKE AND MODEL)
  - 3 SWING JOINT. SEE DETAIL
  - 4 SCH. 40 PVC 90° ELBOW SLIP TO THREAD
  - 5 LATERAL LINE IRRIGATION (SEE IRRIGATION PLANS FOR SIZING)
  - 6 EDGE OF ROOT BALL. SETTLE BACKFILL SO IRRIGATION FLOWS THROUGH ROOT BALL
  - 7 EDGE OF ROOT BALL
  - 8 EXISTING OR MODIFIED SOIL (SEE SPECIFICATIONS FOR SOIL MODIFICATION)
  - 9 SCH. 40 PVC TEE OR 90° ELBOW

**2** IRRIGATION BUBBLER W/ LAYOUT  
3/4" = 1'-0" FX-IR-FX-BUBB-04



- PLAN VIEW**
- NOTES:
1. ALL IRRIGATION FITTINGS SHALL BE SCH. 40 PVC UNLESS SPECIFIED OTHERWISE.
  2. ALL THREADED CONNECTIONS FROM SCH. 40 TO SCH. 80 PVC SHALL BE MADE USING TEFLON TAPE.
  3. CONTRACTOR SHALL SETTLE THE AREA AROUND THE BUBBLER AND EDGE OF THE ROOT BALL SO THAT ALL IRRIGATION FLOWS THROUGH THE ROOT BALL.

PREPARED BY:  
*floravie* design  
Contact: KALEY DUNLAP  
916 VASSAR STREET  
ORLANDO, FL 32804  
TEL | 321-277-0826  
kaley@floraviedesign.com

PREPARED FOR:  
RED JACKET DEVELOPMENT  
CONTACT: CLAY FRANKEL  
825 WALTHAM AVENUE  
ORLANDO, FLORIDA 32409  
PHONE: 407-855-1136

No.	Date	Comment

Professional Landscape Architect of Record:

Kaley M. Dunlap, PLA  
Landscape Architect

LA0667256  
Certificate No.

Project No. 22-001

Project Phase: CITY SUBMITTAL

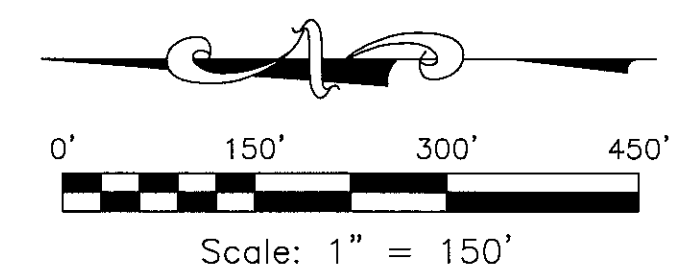
Project Title:  
**WHISPERING HILLS  
SUBDIVISION  
HOWEY-IN-THE-HILLS,  
LAKE COUNTY, FLORIDA**

Sheet Title:  
**IRRIGATION DETAILS**

Designed: IDS	Sheet No.:
Drawn: CAZ	<b>L317</b>
Checked: KMD	
Date: 01/12/22	



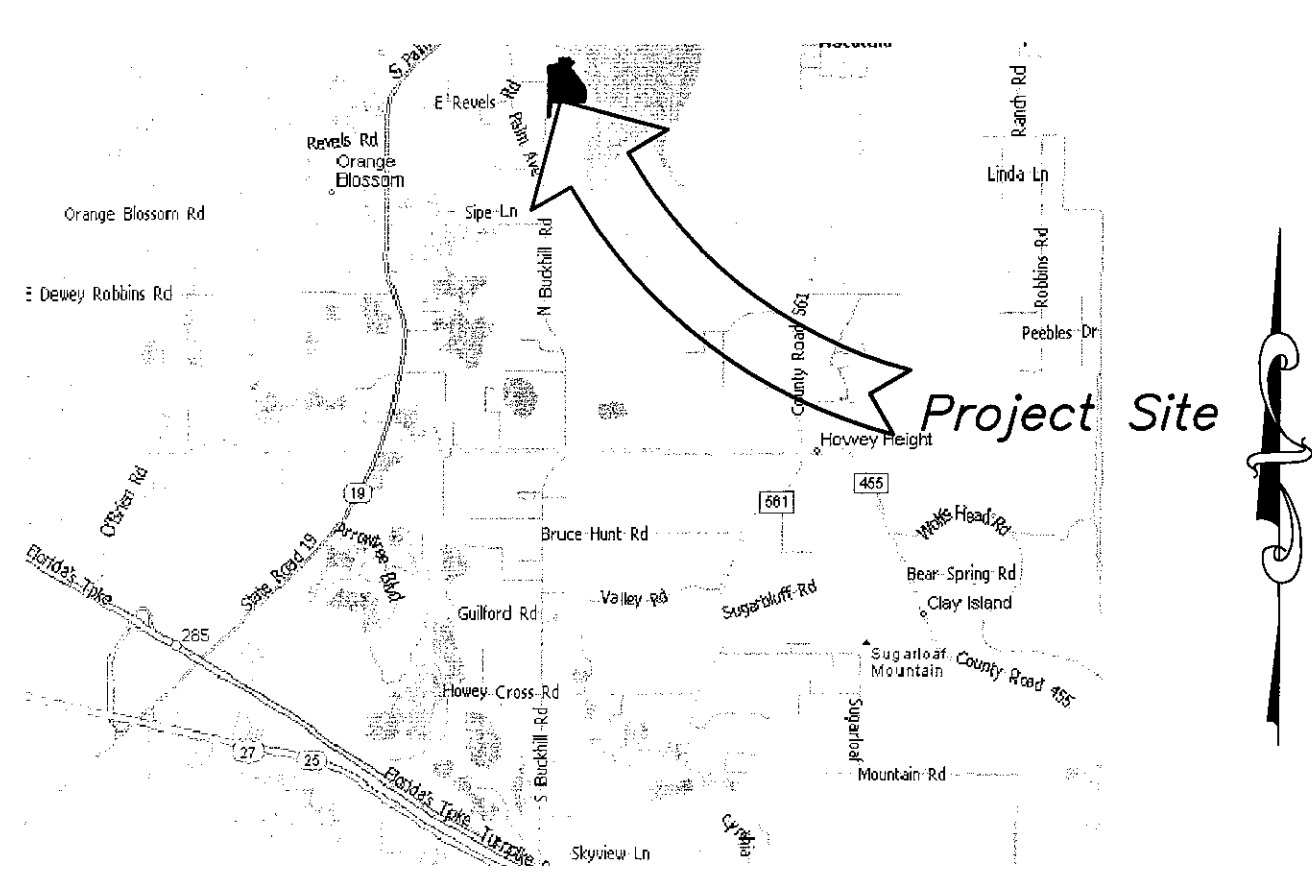
# Boundary Survey Section 36, Township 20 South, Range 25 East Lake County, Florida Whispering Hills



### Legend & Abbreviations

- Found Iron Rod or Pipe
- Found Concrete Monument
- ⊙ Found P.K. Nail & Disk
- × Found X-Cut
- Set 5/8" Capped Iron Rod
- ⊙ Set P.K. Nail & Disk
- (F) Field Measurement
- (D) Dead Reference
- (P) Plat Reference
- Power Pole
- Guy Wire
- Fence
- Overhead Utility Lines
- ⊕ Well

### Vicinity Map



### Description: Project Limits

A portion of Government Lots 5 and 6, in Section 36, Township 20 South, Range 25 East, Lake County, Florida,

more particularly described as follows:

Commence at the Southwest corner of the Southeast 1/4 of Section 36, Township 20 South, Range 25 East, Lake County, Florida; thence coincident with the South Boundary of said Southeast 1/4, S 89°50'08" E a distance of 32.76 feet to a point on the East Right-of-way Boundary of Buckhill Road per OSPREY HEIGHTS—PHASE 1A, as recorded in Plat Book 33, Page 66 of the public records of Lake County, Florida, said point being the POINT OF BEGINNING; thence departing said South Boundary, coincident with said East Right-of-way Boundary and the Northern extension thereof, N 00°36'32" E a distance of 2184.33 feet; thence N 47°09'43" E a distance of 28.30 feet; thence N 31°02'11" E a distance of 24.81 feet; thence N 86°55'48" E a distance of 40.31 feet; thence N 55°05'08" E a distance of 38.19 feet; thence S 71°01'20" E a distance of 52.29 feet; thence N 64°09'48" E a distance of 61.62 feet; thence S 79°41'54" E a distance of 70.94 feet; thence N 80°39'33" E a distance of 110.96 feet; thence N 36°52'01" E a distance of 81.94 feet; thence N 13°52'52" W a distance of 29.71 feet; thence N 14°17'52" W a distance of 61.64 feet; thence N 06°23'22" E a distance of 30.93 feet; thence N 18°45'59" E a distance of 28.88 feet; thence S 86°22'27" E a distance of 91.79 feet; thence N 16°19'52" E a distance of 66.74 feet; thence S 55°54'12" E a distance of 29.18 feet; thence S 70°43'29" E a distance of 52.36 feet; thence N 89°10'11" E a distance of 183.00 feet; thence N 82°49'33" E a distance of 87.24 feet; thence N 69°29'41" E a distance of 52.88 feet; thence S 00°53'22" W a distance of 108.93 feet to a point coincident with a non-tangent curve concave to the Southwest, said curve having a radius of 48.00 feet, a delta angle of 38°39'48" and being subtended by a chord bearing S 56°23'48" E for a distance of 30.46 feet; thence coincident with the arc of said curve a distance of 31.04 feet; thence S 70°02'13" E a distance of 36.99 feet; thence N 66°26'02" E a distance of 104.12 feet; thence N 16°19'52" E a distance of 108.8 feet, more or less, to the waters edge of Little Lake Harris; thence Southerly coincident with the waters edge of Little Lake Harris to the Northeast corner of the lands described in Official Records Book 1775, Page 275 of the Public Records of Lake County, Florida; thence departing said waters edge, coincident with the North Boundary of said lands for the following five (5) courses: 1.) N 84°17'12" W a distance of 269.90 feet; 2.) thence N 88°21'36" W a distance of 293.43 feet; 3.) thence S 89°30'46" W a distance of 224.96 feet; 4.) thence S 84°47'04" W a distance of 179.68 feet; 5.) thence N 89°13'45" W a distance of 421.83 feet to a point on the West Boundary of said lands; thence departing said North Boundary, coincident with said West Boundary, S 09°31'29" W a distance of 636.42 feet to a point on the aforementioned South Boundary of the Southeast 1/4 of said Section 36; thence coincident with said South Boundary, N 89°51'03" W a distance of 112.96 feet to the POINT OF BEGINNING.

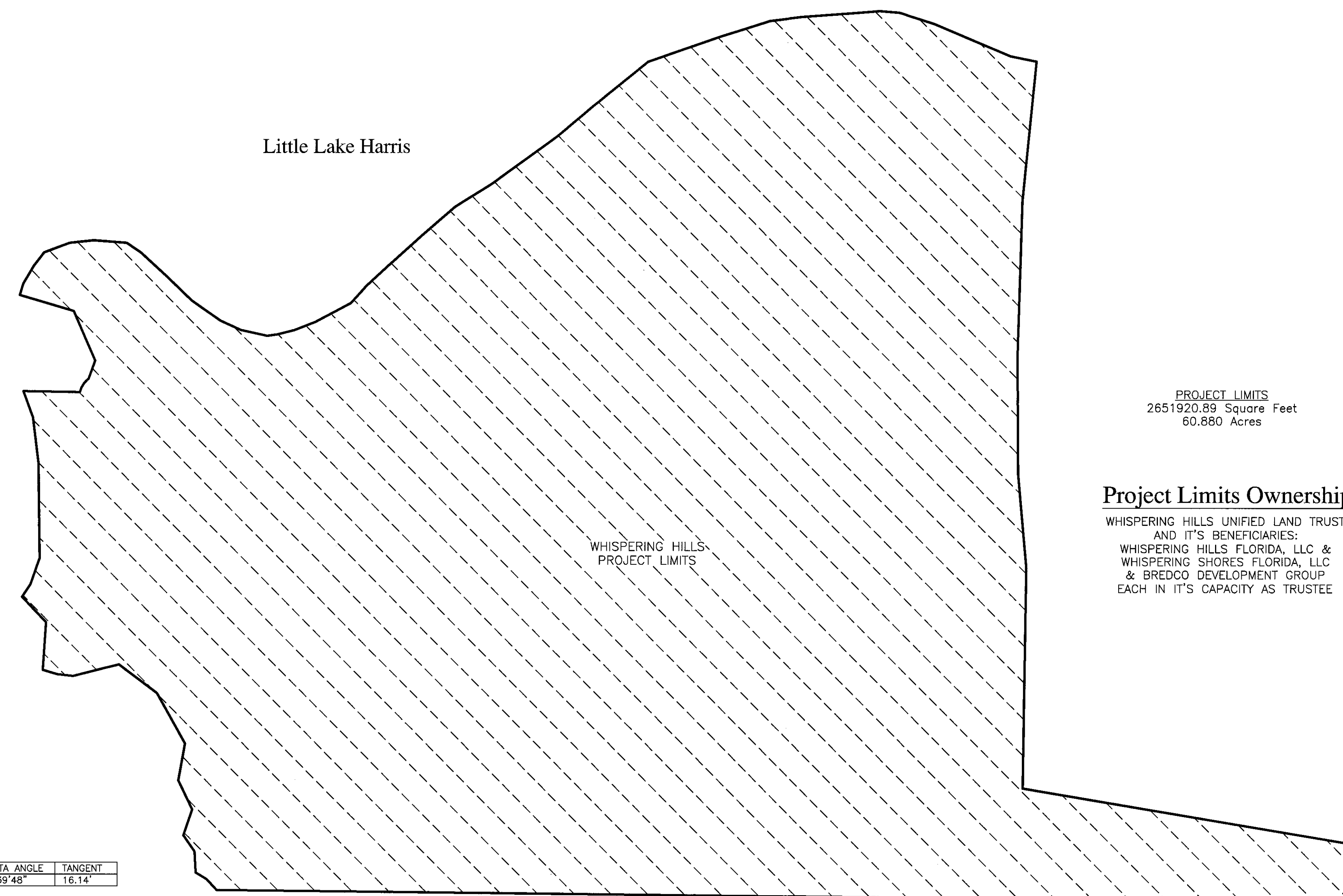
Containing an area of 2651920.89 square feet, 60.880 acres more or less.

Curve Information: Field					
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH	TANGENT
C1	46.00'	31.04'	S 56°23'48" E	30.46'	38°39'48"

Line Information: Field		
LINE	BEARING	DISTANCE
L1	S 89°50'08" E	32.76'
L2	N 89°36'12" W	33.26'
L3	S 59°21'44" E	39.46'
L4	S 51°48'39" E	32.32'
L5	S 20°06'30" E	52.66'
L6	S 05°48'50" E	46.69'
L7	S 04°14'38" W	63.65'
L8	S 33°26'19" W	33.87'
L9	S 42°12'38" W	63.00'
L10	S 43°27'07" W	70.97'
L11	S 34°38'41" W	66.78'
L12	S 24°34'08" W	43.64'
L13	S 12°12'12" W	51.72'
L14	S 07°46'34" E	19.89'
L15	S 14°19'43" E	34.15'
L16	S 21°00'25" E	43.53'
L17	S 27°45'01" E	76.71'
L18	S 47°28'28" E	45.18'
L19	S 42°26'57" E	51.56'
L20	S 41°22'02" E	87.92'
L21	S 40°24'32" E	86.99'
L22	S 32°00'05" E	82.70'
L23	S 35°51'18" E	158.38'
L24	S 39°44'36" E	86.83'
L25	S 38°30'16" E	48.41'
L26	S 38°37'19" E	88.55'
L27	S 18°50'58" E	150.83'
L28	S 17°00'24" E	31.36'
L29	S 17°24'59" E	66.00'
L30	S 06°59'58" E	62.36'
L31	S 04°11'13" E	110.04'
L32	S 04°23'45" E	41.16'
L33	S 04°33'28" W	36.78'
L34	S 14°23'11" W	7.18'
L35	S 20°10'10" W	13.99'
L36	S 17°31'58" W	50.58'
L37	S 22°56'32" W	68.25'
L38	S 22°36'46" W	91.03'
L39	S 11°13'03" W	51.32'

Line Information: Field		
LINE	BEARING	DISTANCE
L40	N 89°51'03" W	112.96'
L41	N 47°09'43" E	28.30'
L42	N 31°02'11" E	24.81'
L43	N 86°55'48" E	40.31'
L44	N 55°05'08" E	38.19'
L45	S 71°01'20" E	52.29'
L46	N 64°09'48" E	61.62'
L47	S 79°41'54" E	70.94'
L48	N 80°39'33" E	110.96'
L49	N 36°52'01" E	91.94'
L50	N 13°52'52" W	29.71'
L51	N 14°17'52" W	61.64'
L52	N 06°23'22" E	30.93'
L53	N 18°45'59" E	28.88'
L54	S 86°22'27" E	91.79'
L55	N 45°57'51" E	86.74'
L56	S 55°54'12" E	29.18'
L57	S 70°43'29" E	52.36'
L58	N 89°10'11" E	183.00'
L59	N 82°49'33" E	87.24'
L60	N 69°29'41" E	52.88'
L61	S 00°53'22" W	108.93'
L62	S 70°02'13" E	36.99'
L63	N 66°26'02" E	104.12'
L64	N 16°19'52" E	108.8'±
L65	S 72°51'43" E	22.97'

Line Information: Dead		
LINE	BEARING	DISTANCE
L66	N 89°17'20" E	146.00'



PROJECT LIMITS  
2651920.89 Square Feet  
60.880 Acres

### Project Limits Ownership

WHISPERING HILLS UNIFIED LAND TRUST  
AND ITS BENEFICIARIES:  
WHISPERING HILLS FLORIDA, LLC &  
WHISPERING SHORES FLORIDA, LLC  
& BREDOCO DEVELOPMENT GROUP  
EACH IN ITS CAPACITY AS TRUSTEE

**Buckhill Road**  
Public Right-of-way width varies  
Clay Road (width varies)

### Surveyor's Notes

- Not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper.
- The coordinate and bearing structure for this survey is based on Florida State Plane Coordinate System, East zone, North American Datum of 1983 (NAD83), 1990 adjustment. Horizontal control station utilized was National Geodetic Survey (NGS) first (1st) order station LC 067.
- All utilities depicted hereon are from visible evidence only. Surveyor did not contact subsurface utility locator service.
- No underground foundations or footers were excavated or located for this survey.
- Boundary Survey has been performed without benefit of title policy or abstract. Therefore surveyor can make no guarantees to ownership or encumbrances.

*Stacy L. Brown*  
Stacy L. Brown P.S.M. No. 6516  
SurvTech Solutions, Inc. L.B. No. 7340

Project Name: **Whispering Hills** PROJECT NO.: 20060189  
Address: **North Buckhill Road** City: **Howey-in-the-Hills** State: **Florida**

REVISION	DATE	INITIALS
Revised parent parcel & project limits boundaries.	11/18/08	T.M.
Added wetland line.	5/14/09	S.B.
Added Army Corp of Engineers wetland areas.	9/9/10	S.B.
Added information for Parcels C, F, S & T.	3/31/11	T.M.
Revised legal descriptions.	12/12/11	T.M.
Removed all internal parcels	5/16/12	S.B.

SURVEYING TODAY WITH TOMORROW'S TECHNOLOGY

Drafted By: **S. Brown** Date Drafted: **7/07/07**  
Approved By: **S. Brown** Date Approved: **7/09/07**  
Field Date: **3/28/07**

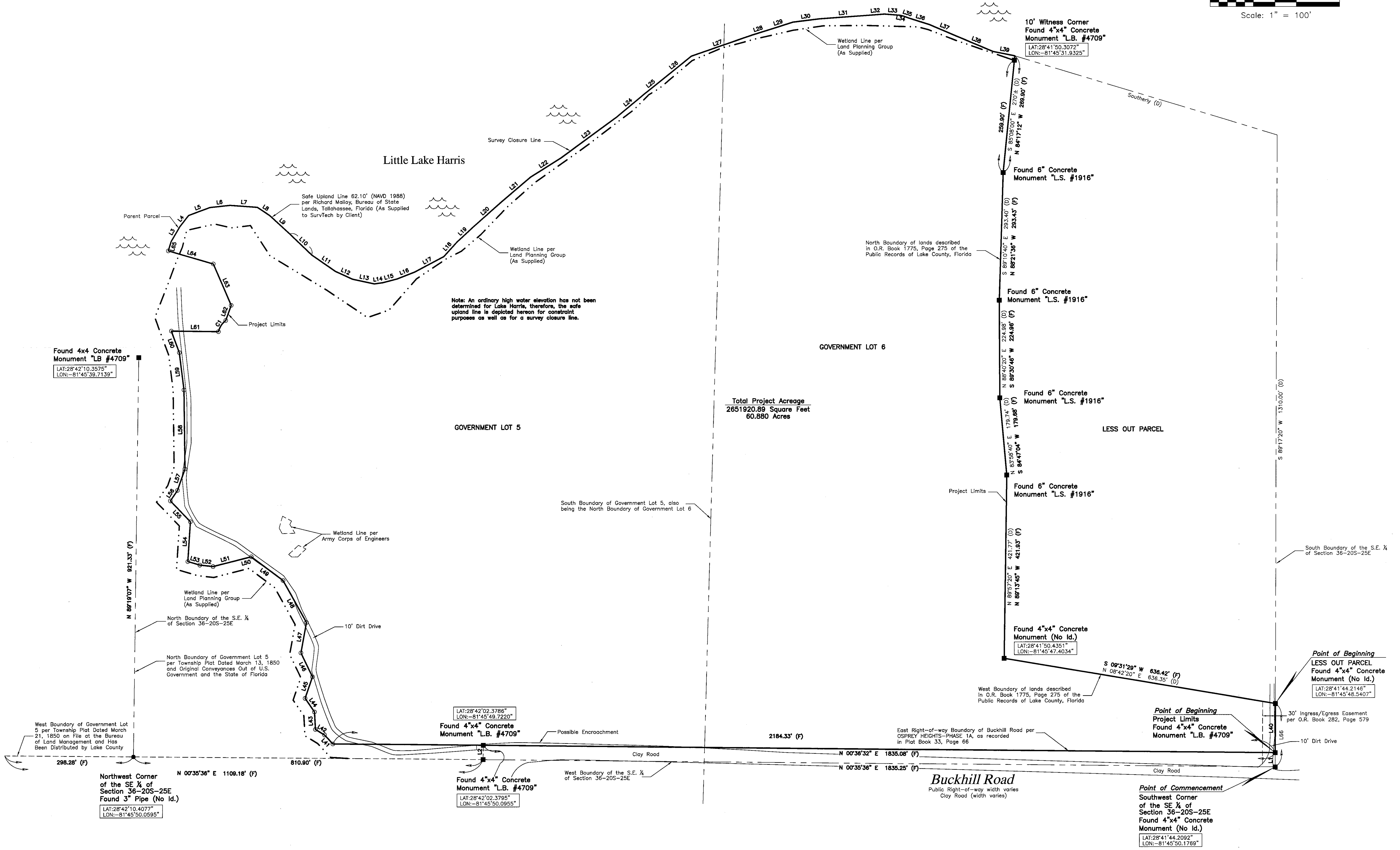
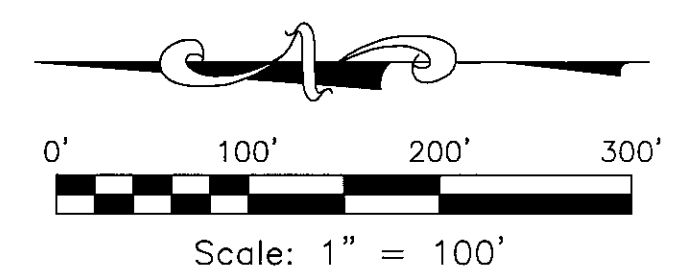
Phase: **6**  
Revision Date: **5/16/12**  
Drawing Name: **20060189\_GPI**  
Scale: **1" = 100'**  
Field Book/Page: **27-09/7**

**SURVTECH SOLUTIONS, INC.**  
10220 U.S. Highway 92 East  
Tampa, FL 33610  
Phone: (813)-621-4929  
Fax: (813)-621-7194  
Licensed Business #7340  
email: sbrown@survtechsolutions.com  
http://www.survtechsolutions.com



# Project Limits Boundary Detail Sheet Whispering Hills

Little Lake Harris



Note: An ordinary high water elevation has not been determined for Lake Harris, therefore, the safe upland line is depicted hereon for constraint purposes as well as for a survey closure line.

Total Project Acreage  
2651920.89 Square Feet  
60.880 Acres

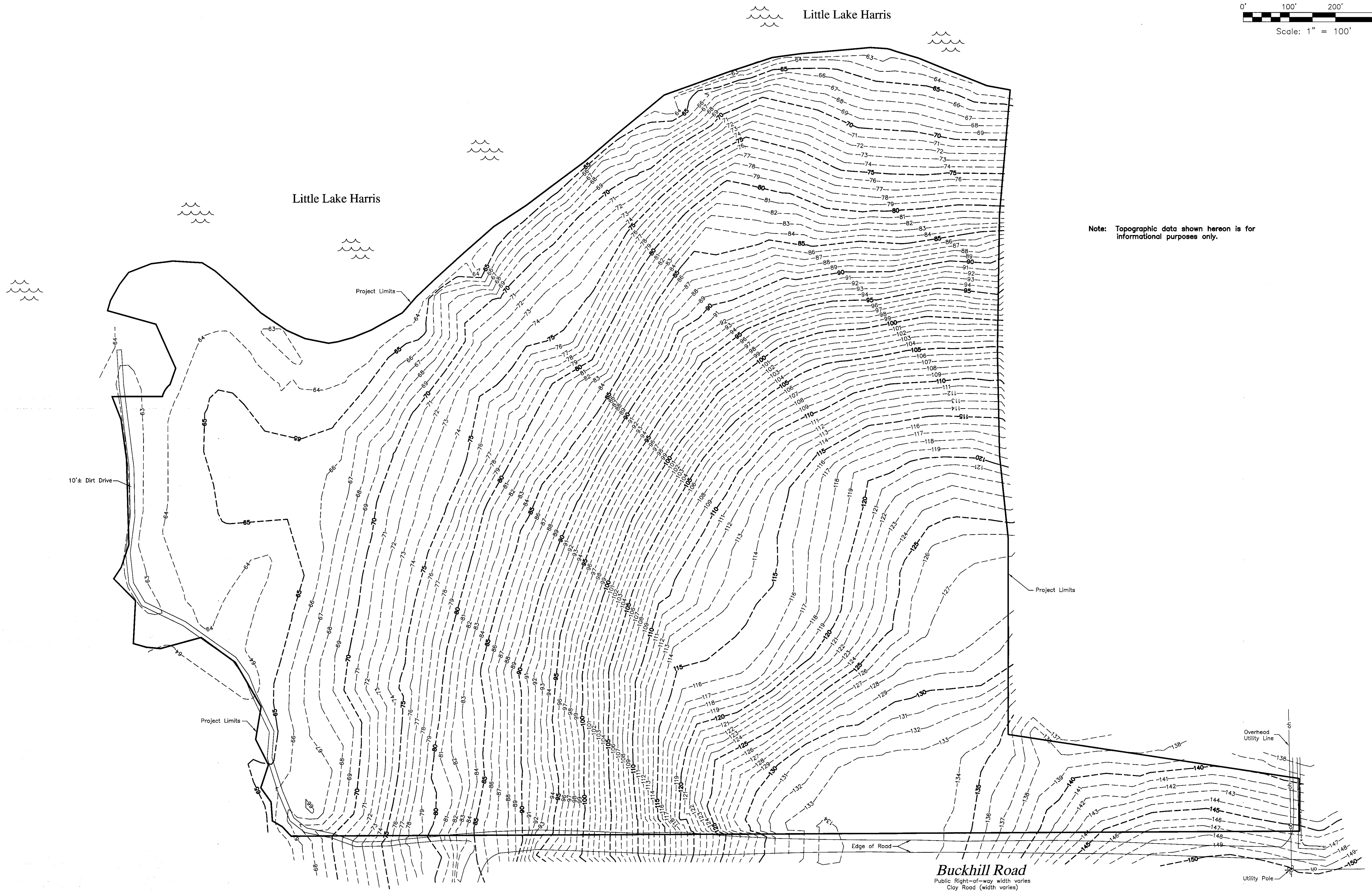
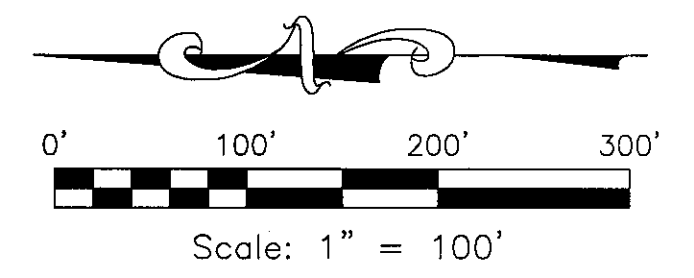
**Buckhill Road**  
Public Right-of-way width varies  
Clay Road (width varies)

Boundary Survey  
PREPARED FOR:  
Whispering Hills

**SURVTECH SOLUTIONS, INC.**  
10220 U.S. Highway 92 East  
Tampa, FL 33610  
Licensed Business #7340  
phone: (813)-621-4929  
fax: (813)-621-7194  
email: sbrown@survtechsolutions.com  
http://www.survtechsolutions.com



# Topographic Detail Sheet



Note: Topographic data shown hereon is for informational purposes only.

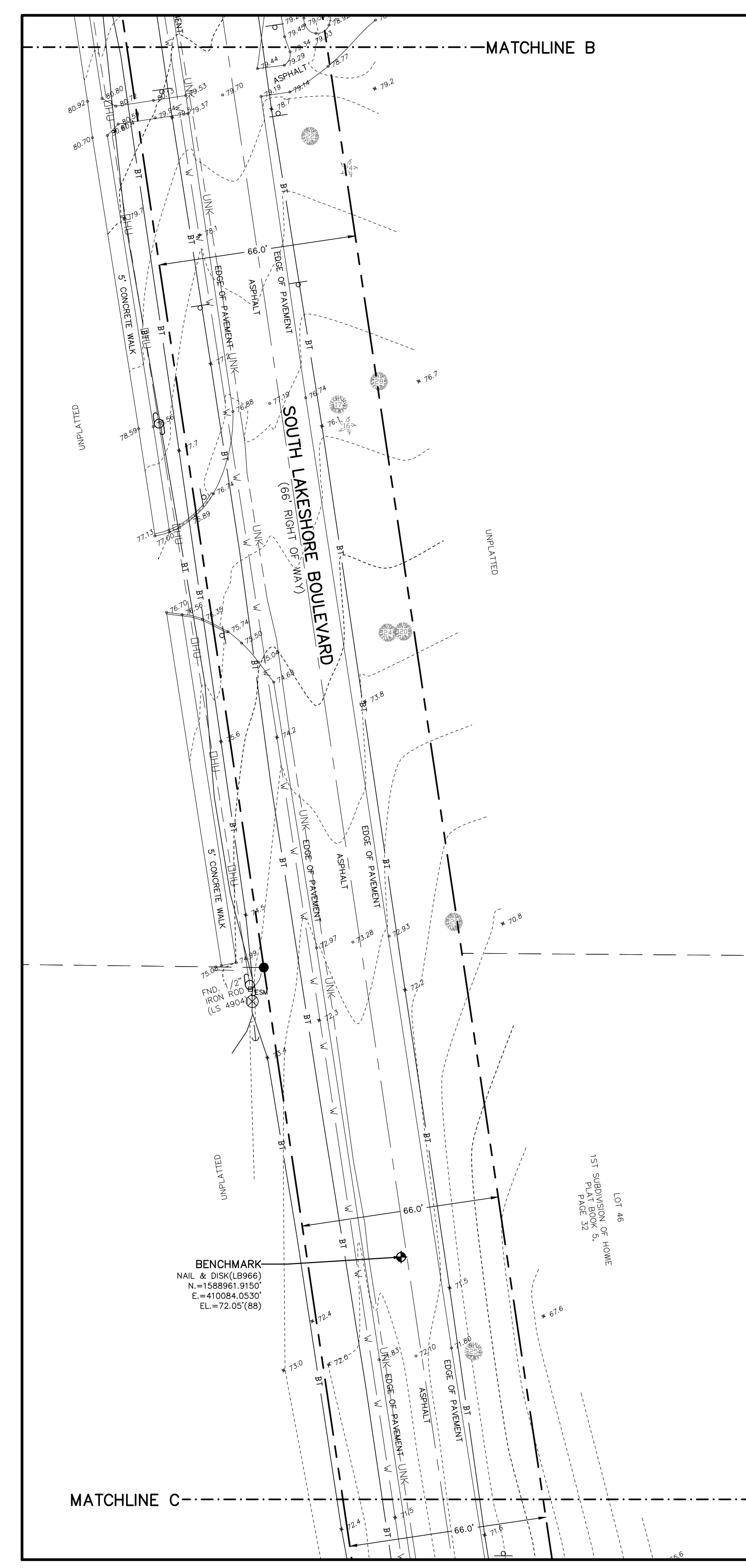
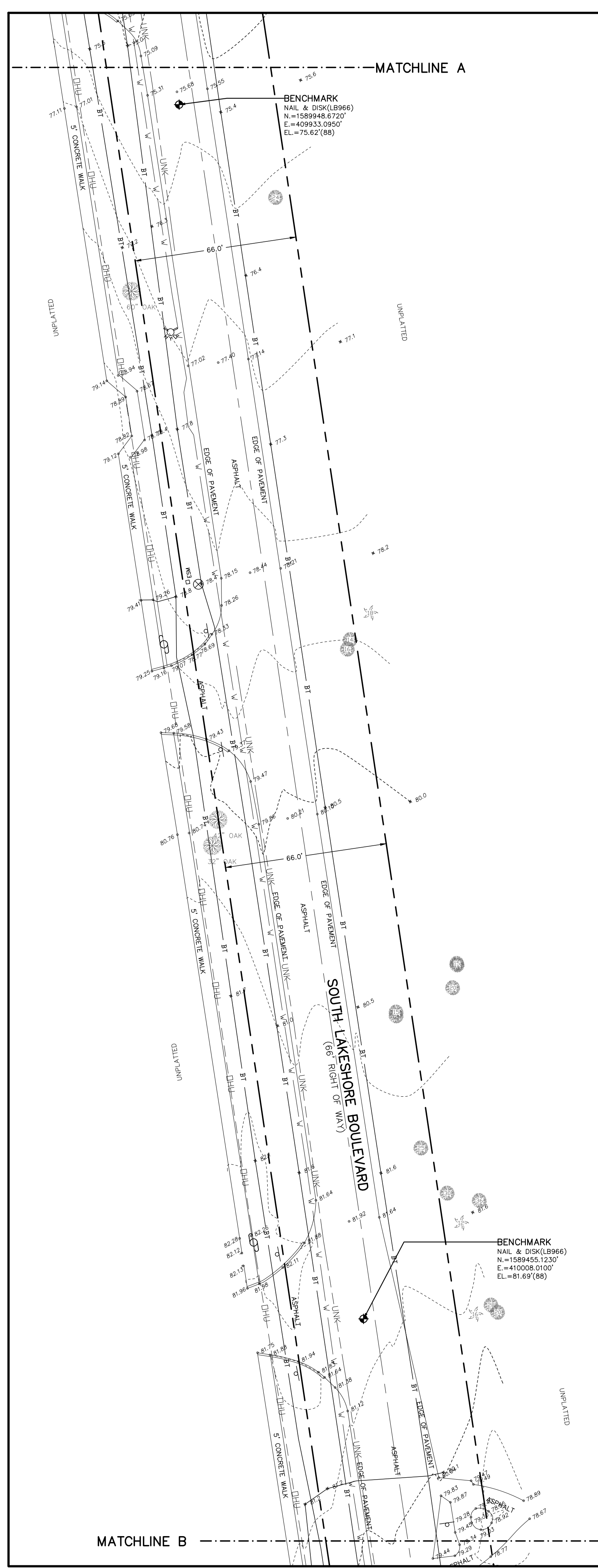
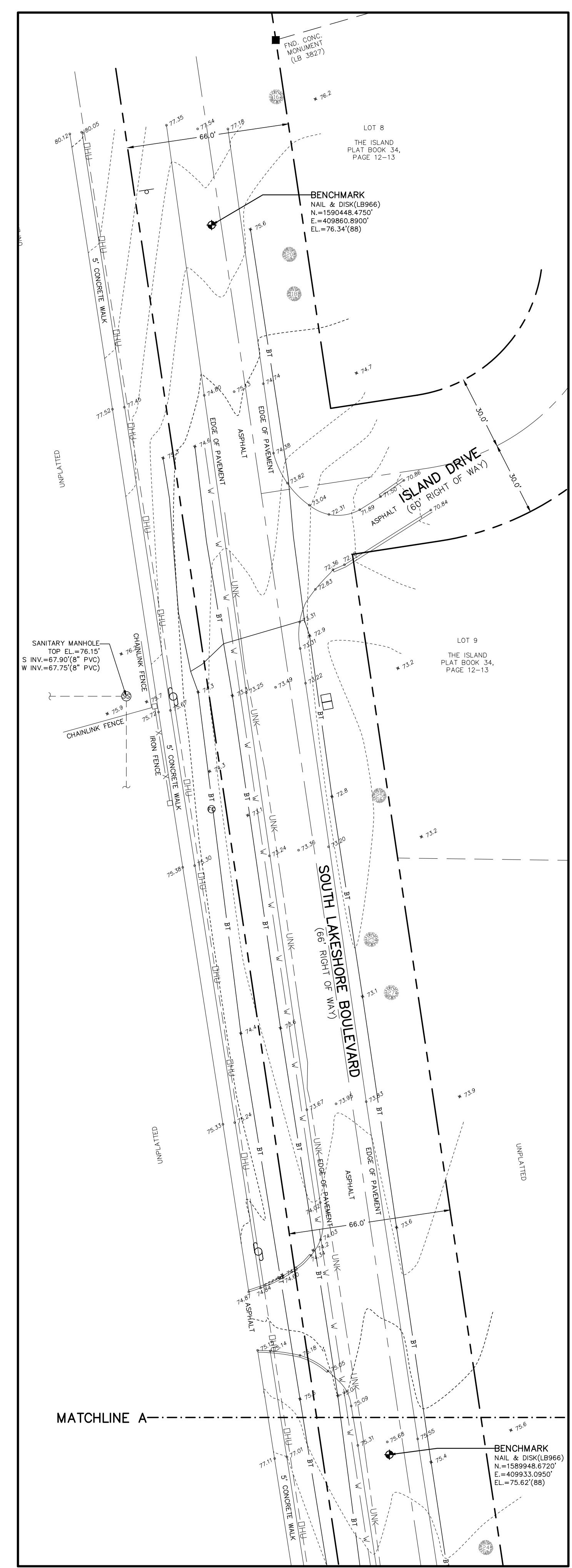
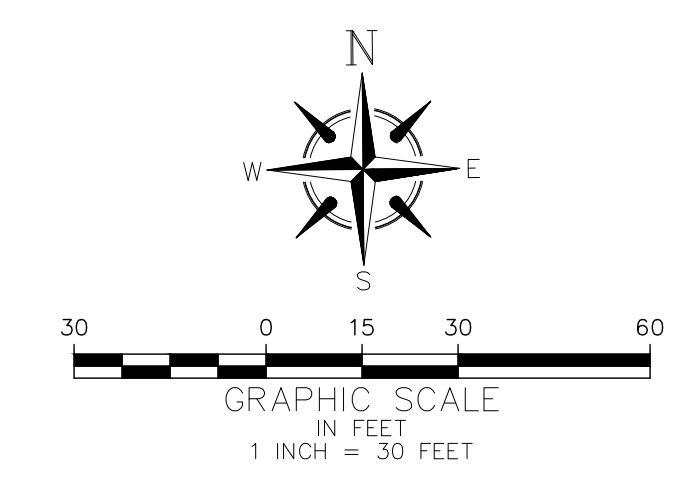
*Stacy L. Brown*  
Stacy L. Brown P.S.M. No. 6516  
SurvTech Solutions, Inc. L.B. No. 7340

Boundary Survey  
PREPARED FOR:  
Whispering Hills

**SURVTECH SOLUTIONS, INC.**  
10220 U.S. Highway 92 East  
Tampa, FL 33610  
Licensed Business #7340

phone: (813)-621-4929  
fax: (813)-621-7194  
email: sbrown@survtechsolutions.com  
http://www.survtechsolutions.com





**SURVEYOR'S NOTES:**

ELEVATIONS SHOWN HEREON ARE BASED ON N.A.V.D. 1988 DATUM. REFERENCE BENCHMARK IS XXX.

BEARINGS SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, (NAD 83, 2007 ADJUSTMENT) AS DETERMINED FROM GLOBAL POSITIONING SYSTEM (GPS).

UNLESS OTHERWISE NOTED, PLAT INFORMATION IS EQUAL TO FIELD MEASURED DATA.

NO UNDERGROUND INSTALLATIONS, IMPROVEMENTS OR ROOF OVERHANGS HAVE BEEN LOCATED EXCEPTS AS NOTED HEREON.

THE SURVEYOR HAS NOT MADE A SEARCH OF THE PUBLIC RECORDS FOR EASEMENTS, RESTRICTIONS, RESERVATIONS AND/OR RIGHTS-OF-WAY OF RECORD.

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

POINT ELEVATIONS WITH TWO DECIMAL PRECISION DENOTE PAVEMENT, CONCRETE AND TOP OF WATER SHOTS. ONE DECIMAL PRECISION DENOTES NATURAL GROUND OR A SOFT SHOT, ALL OTHERS ARE AS NOTED.

RIGHT OF WAY SHOWN HEREON IS BASED UPON FIELD MONUMENTATION AND BEST AVAILABLE RIGHT OF WAY INFORMATION.

- = PINE
- = CAMPHOR
- = PALM
- = OAK

**CERTIFICATION:**

I HEREBY CERTIFY TO:  
**RED JACKET DEVELOPMENT GROUP, LLC**

*Richard D. Brown*  
 RICHARD D. BROWN, P.S.M.  
 STATE OF FLORIDA  
 REGISTRATION NO. 5700  
 (NOT VALID WITHOUT SIGNATURE AND SEAL)

11/15/2023  
 DATE

ABBREVIATIONS		LEGEND	
P.B. PLAT BOOK	(C) CALCULATED	ALL PROPERTY CORNERS AS NOTED	EL. ELEVATION
D.B. DEED BOOK	(P) PLAT	D.U.E. DRAINAGE AND UTILITY EASEMENT	P.T. POINT OF TANGENCY
PL. PLAT PAGE	(D) DESCRIBED	M. MORE OR LESS	P.C. POINT OF CURVE
SEC. SECTION	(M) MEASURED	L.B. LICENSED BUSINESS	P.C.P. PERMANENT CONTROL POINT
TWP. TOWNSHIP	C.B. CHORD BEARING	L.S. LICENSED SURVEYOR	P.O.I. POINT OF INTERSECTION
RSE. RANGE	CH. CHORD	R. RADIUS	P.O.C. POINT OF COMMENCEMENT
CON. CORNER	L. LENGTH	H.W.F. HOOD WIRE FENCE	P.F. FINISH FLOOR ELEVATION
AD. ADJACENT	Δ. DELTA	CSF. CHAIN LINK FENCE	F.F. FLOOR FINISH ELEVATION
P.S.M. PROFESSIONAL SURVEYOR AND MAPPER	T. TANGENT	W. WOOD FENCE	R/W. RIGHT OF WAY
B.M. BENCHMARK	C/L. CENTERLINE	EP. EDGE OF PAVEMENT	CL. OFFICIAL RECORDS
C.B.S. CONCRETE BLOCK & STUCCO	G/S. OFFSET	CONC. CONCRETE	STY. STORY
UC. UNDERGROUND POWER LINE	BT. BURIED TELEPHONE LINE	W. WATER LINE	TX. TRANSFORMER
OW. OVERHEAD POWER LINE	GM. BURIED GAS MAIN	SAN. BURIED SANITARY SEWER LINE	

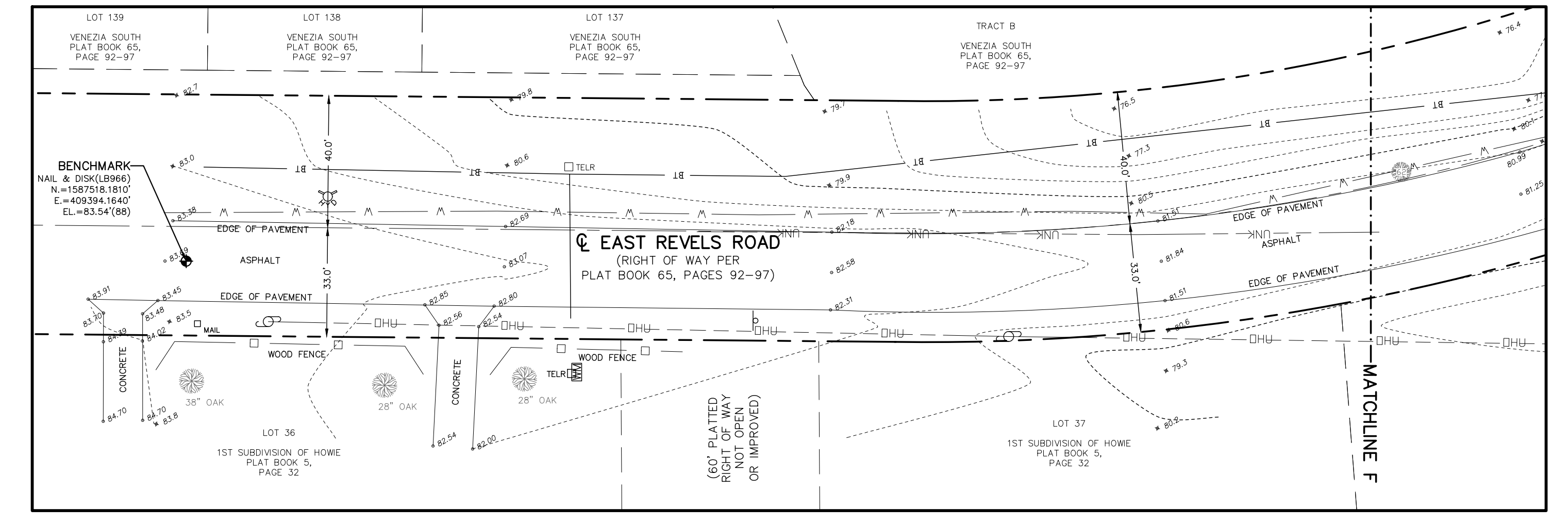
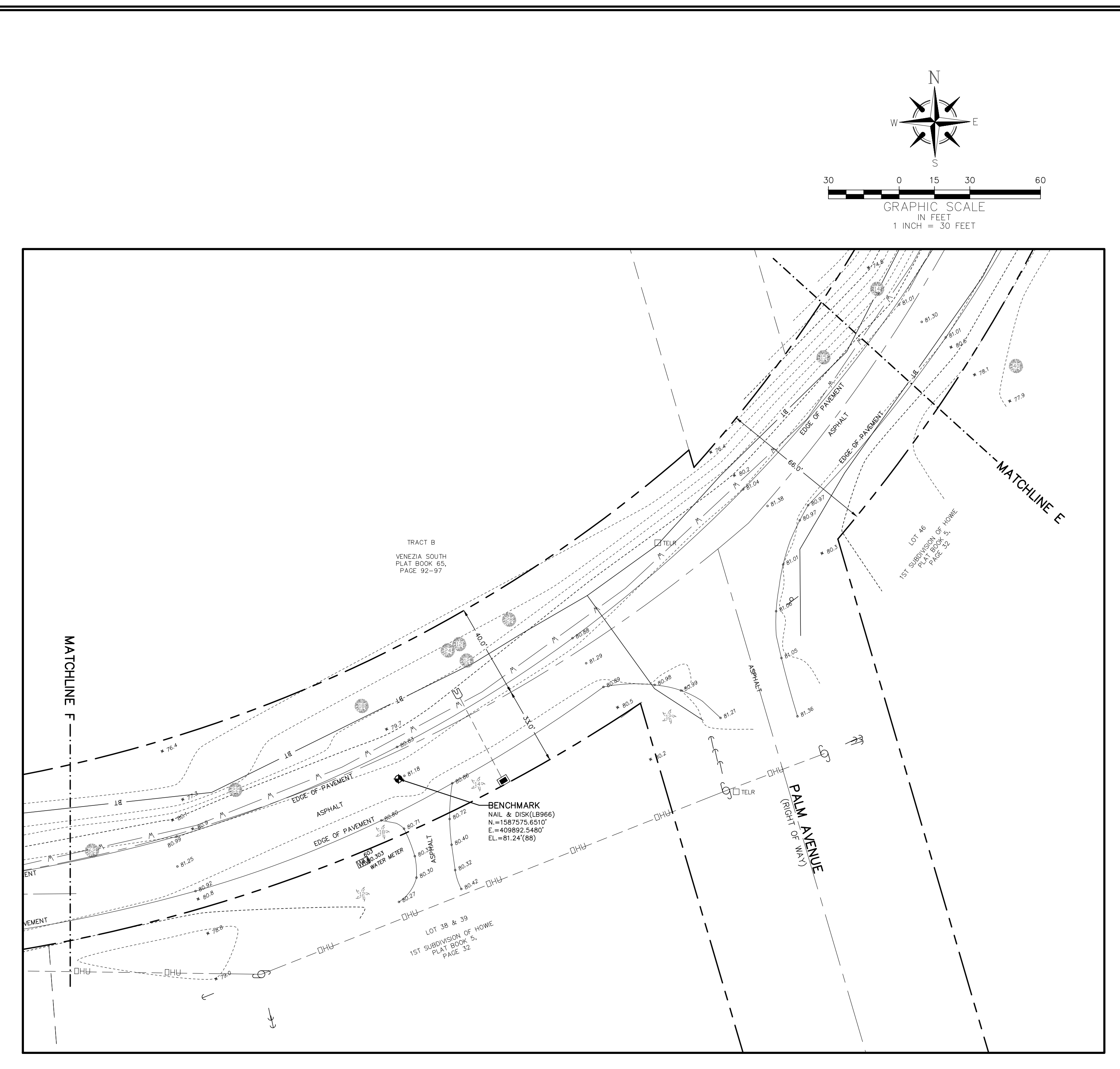
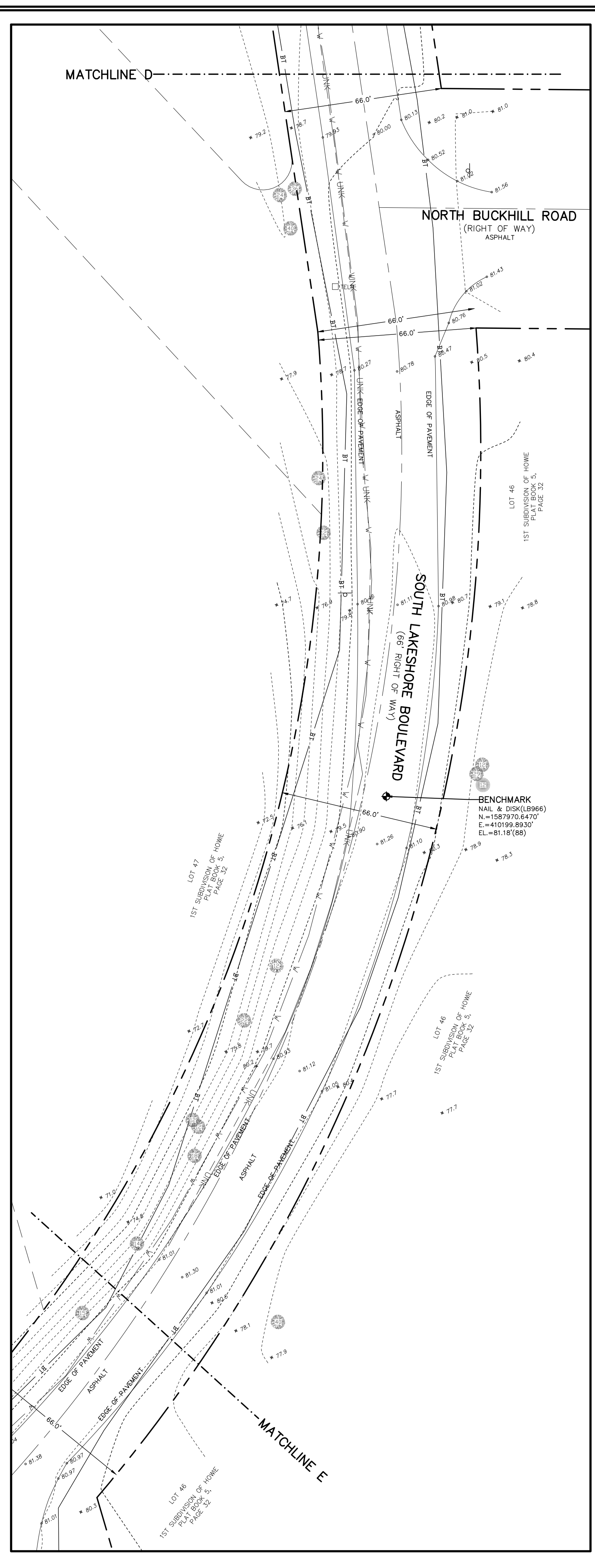
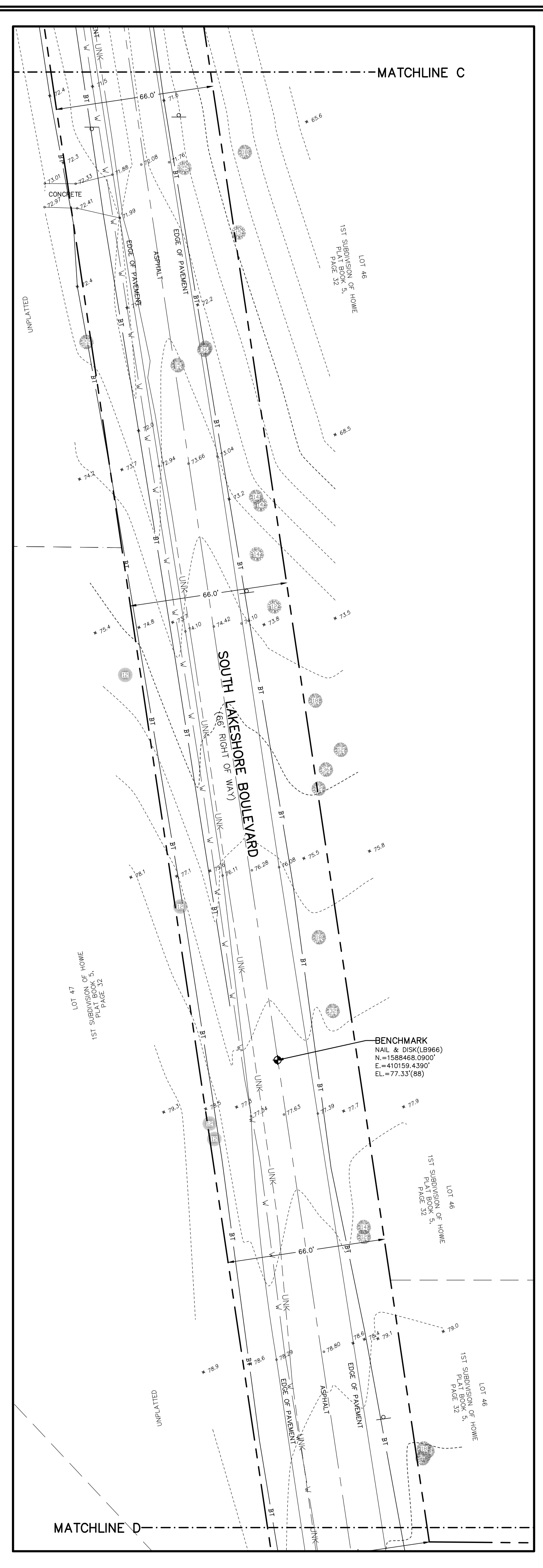
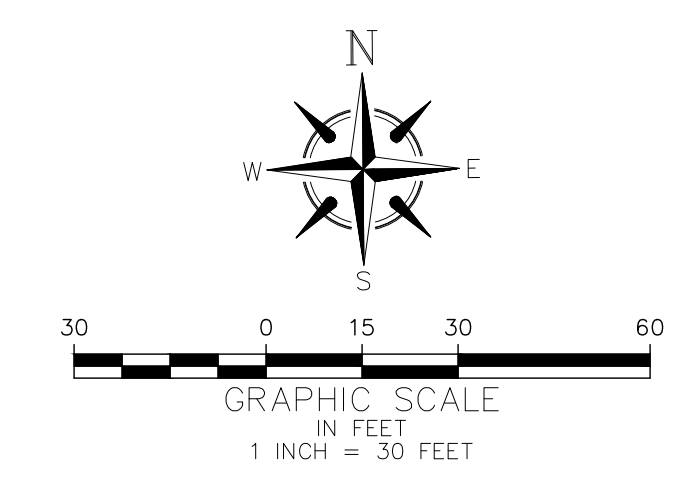
TOPOGRAPHIC SURVEY	
<b>LANDS IN SEC. 36-20-25</b>	
REVISIONS	NAVD 1988 VERTICAL DATUM
ADDITIONAL TOPD 11/15/23	
CAD FILE# 23-378 ROUTE.DWG	SECT. 36 TWP. 20 S. RGE. 25 E.
DATE OF SURVEY 9/25/23 JOB #23-378 SCALE: 1"=30' DRAWN BY: AB CHECKED BY: RDB	

LEGEND	
● BENCHMARK	○ CLEAN OUT
● WOOD POWER POLE	○ SANITARY SEWER WHOLE
● CONCRETE POWER POLE	○ STORM SEWER WHOLE
● METAL POWER POLE	○ GAS METER
● GUY WIRE ANCHOR	○ GAS VALVE
● WOOD LIGHT POLE	○ CATV CABLE TELEVISION RISER
● CONCRETE LIGHT POLE	○ TELR TELEPHONE RISER
● METAL LIGHT POLE	○ TELR TELEPHONE CONTROL BOX
● FIBERGLASS LIGHT POLE	○ TELR TELEPHONE CONTROL BOX
● WATER VALVE	○ TELR TELEPHONE CONTROL BOX
● WELL	○ TELR TELEPHONE CONTROL BOX
● RECLAIMED WATER VALVE	○ TELR TELEPHONE CONTROL BOX
● RECLAIMED WATER METER	○ TELR TELEPHONE CONTROL BOX
● AIR RELEASE VALVE	○ TELR TELEPHONE CONTROL BOX

**JOHNSTON'S SURVEYING INC**  
 900 Cross Prairie Parkway, Kissimmee, Florida 34744  
 (407) 847-2179 • Fax (407) 847-6140 LB 966  
 SHEET 1 OF 2





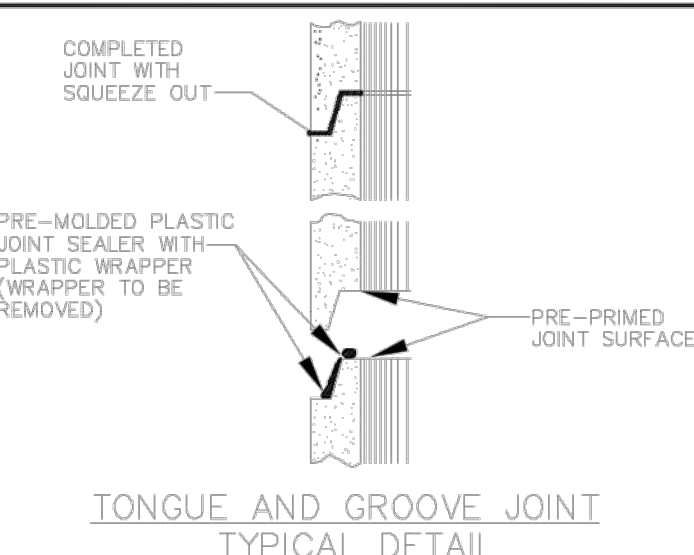
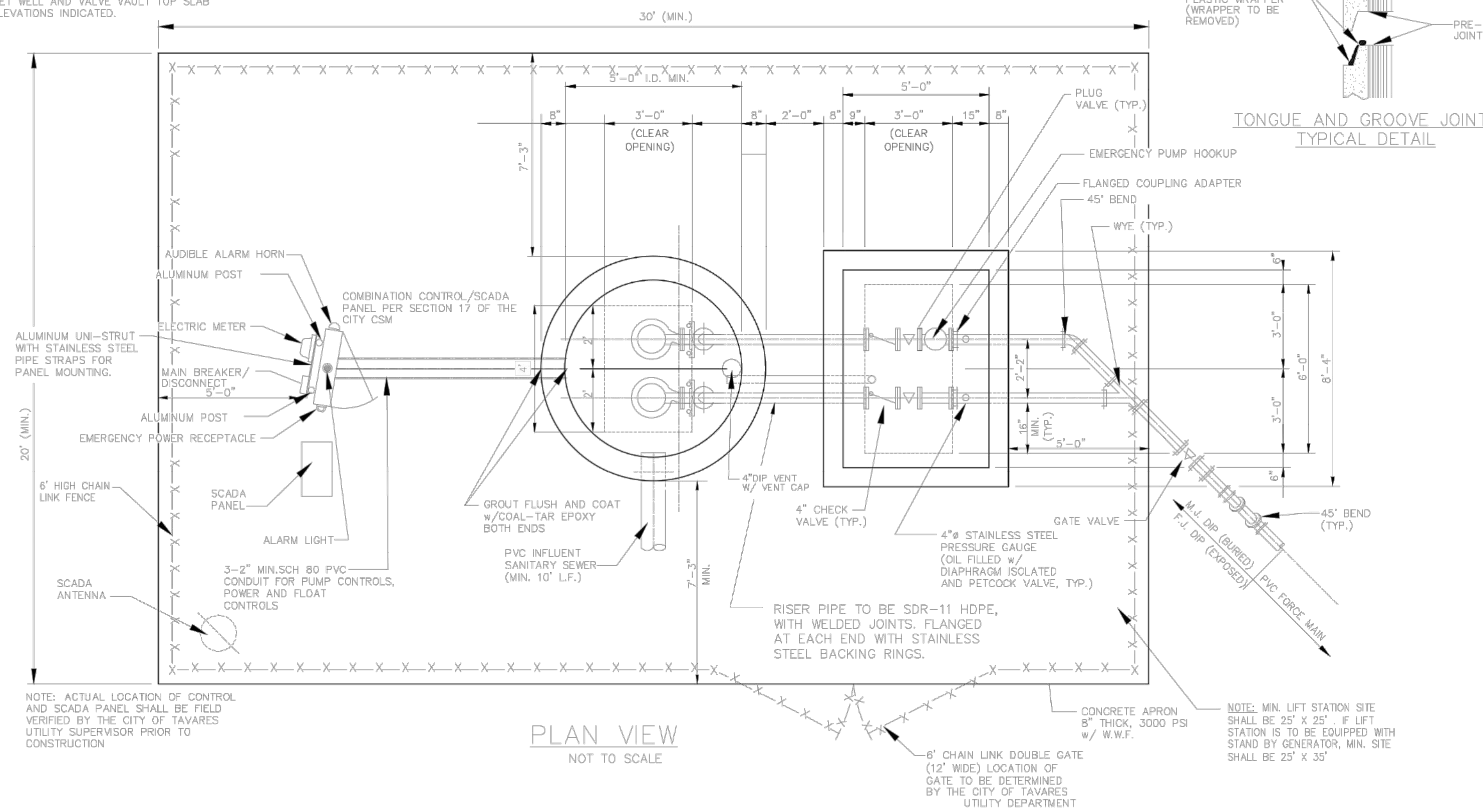






NOTES:

1. FINISH GRADE SHALL BE 6" BELOW WET WELL AND VALVE VAULT TOP SLAB ELEVATIONS INDICATED.



NOTES:

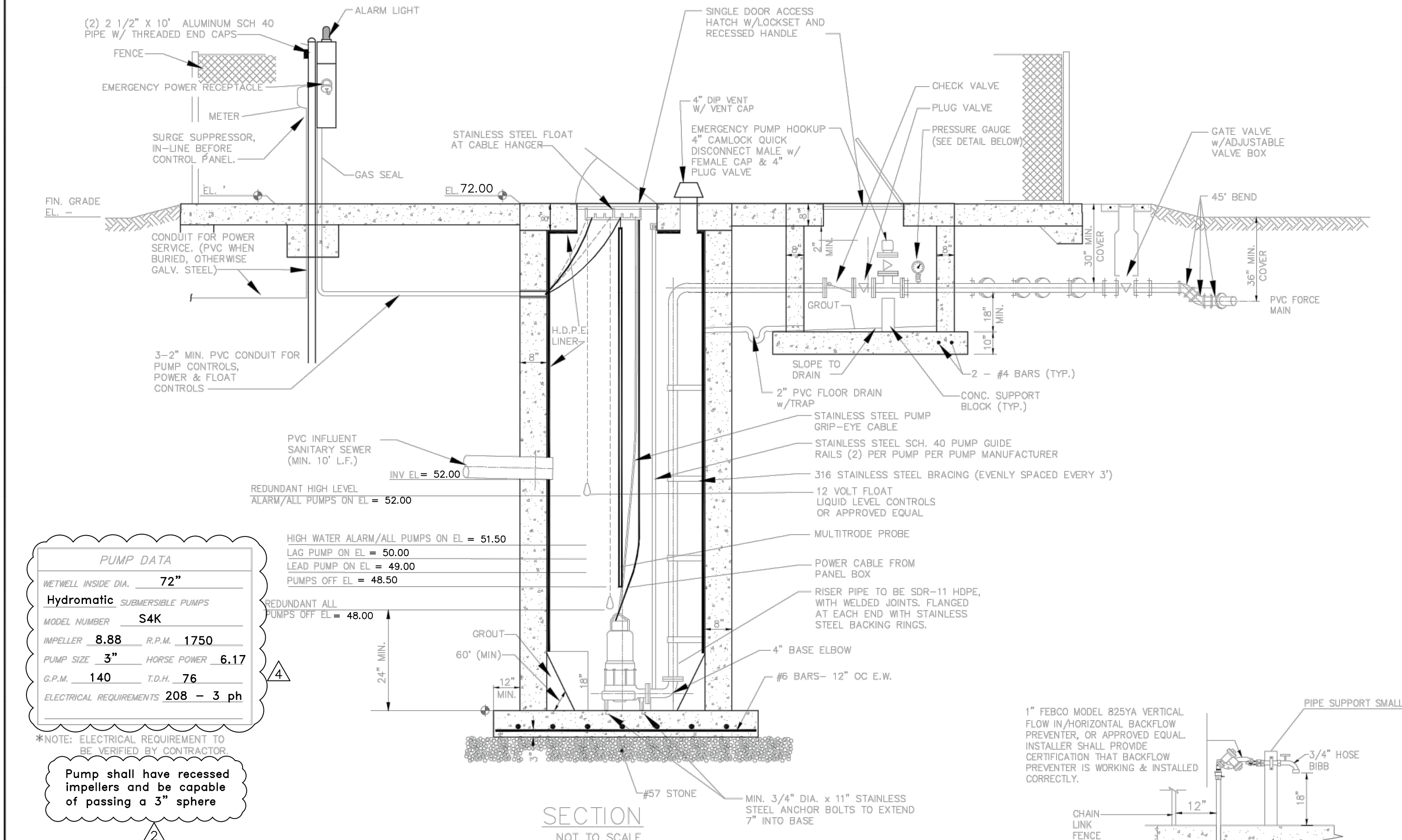
1. PUMPS: SHALL HAVE (2) 2" STAINLESS STEEL GUIDE RAILS PER PUMP AND A BPI FRONT DUPLEX SYSTEM.
2. LEVEL CONTROLS: SHALL BE IN ACCORDANCE WITH SECTION 17 OF THE CITY UTILITY MANUAL.
3. WET WELL ACCESS COVER: SHALL HAVE CLEAR OPENING OF 36"x48". ACCESS FRAME AND COVER SHALL HAVE A 1/4" THICK ONE-PIECE, MILL FINISH, EXTRUDED ALUMINUM FRAME, INCORPORATING A CONTINUOUS CONCRETE ANCHOR. DOOR PANEL(S) SHALL BE 1/4" ALUMINUM DIAMOND PLATE, REINFORCED TO WITHSTAND A LIVE LOAD OF 300 PSF. DOOR(S) SHALL OPEN TO 90° AND AUTOMATICALLY LOCK WITH STAINLESS STEEL HOLD OPEN ARMS WITH ALUMINUM RELEASE HANDLES. DOOR(S) SHALL CLOSE FLUSH WITH THE FRAME. UNIT SHALL LOCK WITH A NONCORROSIVE LOCKING BAR. FRAME SHALL SUPPORT GUIDE RAILS AND CABLE HOLDER FOR ELECTRICAL WIRING. ALL SURFACES IN CONTACT WITH CONCRETE SHALL HAVE A SHOP COAT OF ZINC CHROMATIC PRIMER APPROVED ALKALI RESISTANT PAINT OR APPROVED PROTECTIVE COATING. DOUBLE DOOR ACCESS COVERS SHALL HAVE REMOVABLE CENTER BAR SUPPORT. COVER MUST BE COMPATIBLE WITH PUMP.
4. VALVE VAULT ACCESS COVER: SHALL HAVE CLEAR OPENING OF 36"x72" ACCESS AS MANUFACTURED IN ACCORDANCE WITH APPENDIX A, APPROVED MANUFACTURER LIST OF THE CITY CSM. ACCESS FRAME AND COVER SHALL HAVE A 1/4" THICK ONE-PIECE, MILL FINISH, EXTRUDED ALUMINUM FRAME, INCORPORATING A CONTINUOUS CONCRETE ANCHOR. DOOR PANEL(S) SHALL BE 1/4" ALUMINUM DIAMOND PLATE, REINFORCED TO WITHSTAND A LIVE LOAD OF 300 PSF. DOOR(S) SHALL OPEN TO 90° AND AUTOMATICALLY LOCK WITH STAINLESS STEEL HOLD OPEN ARMS WITH ALUMINUM RELEASE HANDLES. DOOR(S) SHALL CLOSE FLUSH WITH THE FRAME. UNIT SHALL LOCK WITH A NONCORROSIVE LOCKING BAR. ALL ACCESS FRAME, COVER, HARDWARE, AND FASTENERS SHALL BE CONSTRUCTED OF 316 STAINLESS STEEL. ALL SURFACES IN CONTACT WITH CONCRETE SHALL HAVE A SHOP COAT OF ZINC CHROMATIC PRIMER, APPROVED ALKALI RESISTANT PAINT OR APPROVED PROTECTIVE COATING. DOUBLE DOOR ACCESS COVERS SHALL HAVE REMOVABLE CENTER BAR SUPPORT. COVER MUST BE COMPATIBLE WITH PUMP.
5. ELECTRICAL SERVICE ENTRANCE: PROVIDE METER SOCKET AND MAIN DISCONNECT MEETING APPLICABLE ELECTRIC CODES AND REQUIREMENTS OF POWER COMPANY. LIGHTNING AND VOLTAGE SURGE PROTECTION TO BE PROVIDED. COST FOR THE ELECTRICAL SERVICE AND COORDINATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
6. CONTROL PANEL: SHALL BE IN ACCORDANCE WITH SECTION 17 OF THE CITY CSM. PANEL SHALL BE EQUIPPED WITH THREE, 2" X 6" ALUMINUM NIPPLES TO THE SEALOFFS, WITH SCH 80 PVC TO WET WELL.
7. PAINT: INSIDE AND OUTSIDE OF VALVE VAULT SHALL BE PAINTED WITH TWO COATS OF MATERIAL IN ACCORDANCE WITH APPENDIX A, APPROVED MANUFACTURER LIST OF THE CITY CSM APPLIED AS PER MANUFACTURER'S RECOMMENDATIONS.
8. VALVE VAULT: PRECAST CONCRETE 60"x 84" (MINIMUM) INSIDE DIMENSIONS.
9. STEEL PLACED IN BOTTOM SLAB IS TO BE IDENTICAL TO THE TOP SLAB EXCEPT THAT DIAGONAL BARS AND OPENINGS ARE ELIMINATED. STEEL IS CONTINUOUS AND SLAB IS SOLID.
10. CONTRACTOR TO CONFIRM SERVICE ARRANGEMENTS WITH POWER COMPANY BEFORE COMMENCING WORK. CONTRACTOR TO RUN UNDERGROUND WIRING TO NEAREST TRANSFORMER OR HAND HOLE.
11. ALL FASTENERS ON FLANGES AND ETC. INSIDE WET WELL WILL BE STAINLESS STEEL.
12. DIMENSIONS BETWEEN CENTERLINE OF PIPES ARE STANDARD FOR PIPE SIZES SPECIFIED.
13. SHOP DRAWINGS OF ENTIRE INSTALLATION MUST BE APPROVED BY CITY PRIOR TO PLACEMENT OF ORDER.
14. PLUG VALVES SHALL BE CONSTRUCTED WITH RESILIENT FACED PLUGS. ON BY-PASS LINES, VALVES SHALL BE BURIED WITH ACCESS THROUGH CAST IRON VALVE BOXES. VALVES SHALL HAVE A 2" OPERATION NUT. ONE(1) 5' LONG VALVE WRENCH SHALL BE PROVIDED TO THE CITY OF TAVARES PER LIFT STATION. ALL PLUG VALVES 8" AND SMALLER SHALL BE 1/4 TURN TYPE.
15. ALL EXPOSED AND EMBEDDED CONDUITS TO BE SCHEDULE 80 PVC.
16. ALL EXPOSED METAL SHALL BE PAINTED WITH TWO (2) COATS OF EXTERIOR BLACK ENAMEL PAINT.
17. ALL EXTERNAL PIPING SHALL BE DUCTILE IRON CLASS 50 (FLANGED JOINT FOR EXPOSED PIPE & MECHANICAL JOINT FOR BURIED PIPE). ALL INTERNAL WET WELL PIPING FROM THE PUMP DISCHARGE ELBOW TO THE VALVE BOX SHALL BE MINIMUM SDR-11 HDPE.
18. ALL DIMENSIONS AND LOCATIONS OF UTILITIES TO BE FIELD VERIFIED BY CONTRACTOR.
19. PRESSURE GAUGES SHALL BE STAINLESS STEEL WITH STAINLESS STEEL DIAPHRAGM, LIQUID FILLED, 4" DIAMETER DIAL WITH 0-100 PSI RANGE. CHECK VALVES SHALL OUTSIDE LEVER AND WEIGHT.
20. PADLOCKS FOR ACCESS COVERS AND CONTROL PANEL SHALL BE KEYS ALIKE, FURNISH TWO (2) KEYS PER LOCK. BOLTS IN LOCKING DEVICE SHALL BE STAINLESS STEEL.
21. WET WELL TO BE H.D.P.E. LINED WITH A MINIMUM THICKNESS OF 2 MM, MECHANICALLY ANCHORED TO THE CONCRETE. ALL JOINTS SHALL BE EXTRUSION WELDED BY CERTIFIED WELDERS.
22. SOO ALL AREAS DISTURBED BY CONSTRUCTION.
23. ALL ALUMINUM SURFACES IN CONTACT WITH CONCRETE WILL REQUIRE SHOP COATING OF SUITABLE PROTECTIVE COATING TO RESIST CORROSION.
24. BYPASS PUMPING: CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BYPASS PUMPING. A BYPASS PUMPING PLAN SHALL BE SUBMITTED AT THE TIME OR PERMIT APPLICATION TO THE ENVIRONMENTAL SERVICES DIRECTOR. CITIZEN CONSIDERATION WILL BE REVIEWED WHEN BYPASS PUMPING EQUIPMENT IS REQUIRED. SOUND ATTENUATING ENCLOSURES MAY BE REQUIRED, AT THE DISCRETION OF THE ENVIRONMENTAL SERVICES DIRECTOR.
25. FIELD TESTING: THE CONTRACTOR SHALL FURNISH THE SERVICES OF THE SYSTEM SUPPLIER'S SERVICEMAN, ALL SPECIAL TOOLS, CALIBRATION EQUIPMENT, AND LABOR TO PERFORM THE TESTS. CERTIFIED COPIES OF THE TESTS SHALL BE FURNISHED IN DUPLICATE TO THE CITY ENGINEER PRIOR TO FINAL APPROVAL.
26. DRIVEWAY SHALL HAVE A MINIMUM WIDTH OF 12 FEET.

DATE: FEB 2022

DETAIL WW-11

Howey-in-the-Hills

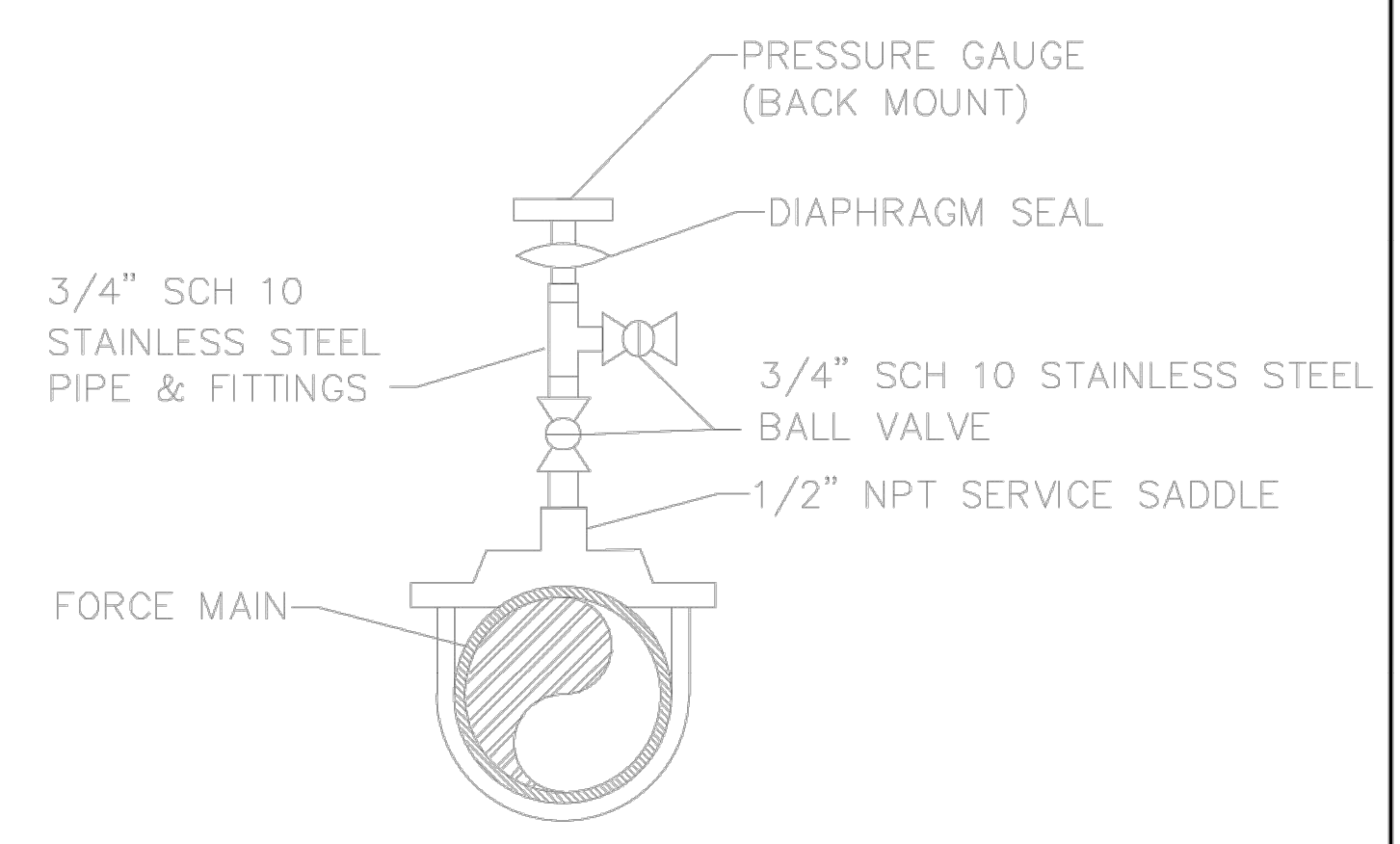
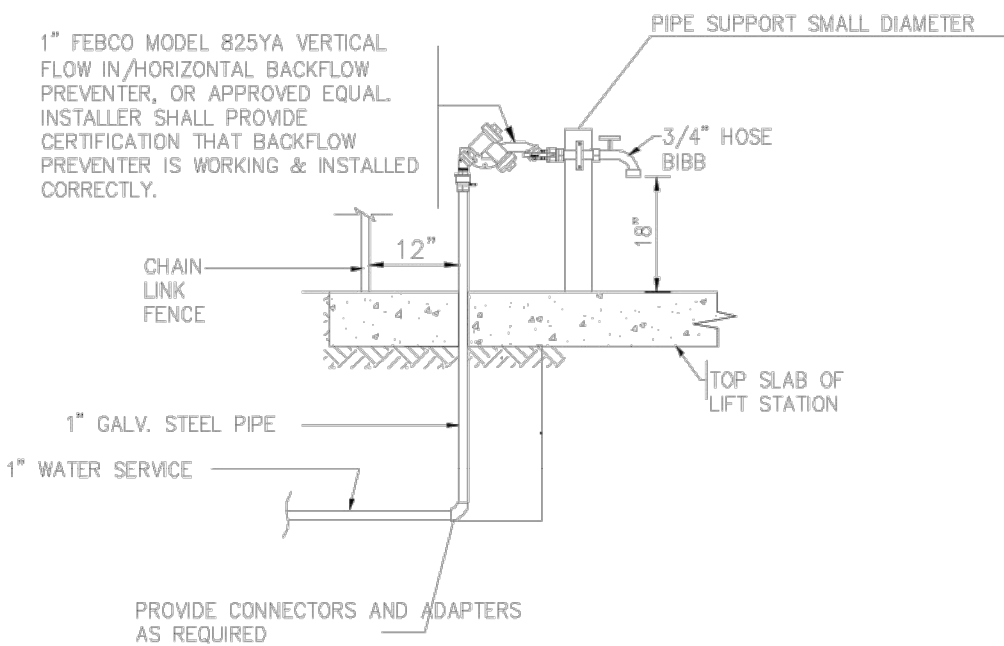
Standard Details



PUMP DATA	
WETWELL INSIDE DIA.	72"
Hydromatic SUBMERSIBLE PUMPS	
MODEL NUMBER	S4K
IMPELLER	8.88 R.P.M. 1750
PUMP SIZE	3" HORSE POWER 6.17
G.P.M.	140 T.O.H. 76
ELECTRICAL REQUIREMENTS	208 - 3 PH

\*NOTE: ELECTRICAL REQUIREMENT TO BE VERIFIED BY CONTRACTOR

Pump shall have recessed impellers and be capable of passing a 3" sphere



Revisions	
#	Description

**Unroe Engineering, Inc**

Civil Engineering/Planning/Scientific Evaluation

PO Box 690942, Orlando, FL 32869-0942

Business Authorization Number: EB 00066579 ph (407) 299-0650

**SANITARY SEWER LIFT STATION**

WHISPERING HEIGHTS Subdivision

Buckhill Road, Howey-in-the-Hills, Florida

DP	Drawn
DP	Checked
---	Scale
09-07-21	Date
WH2-C19	File
Dwg. No.	
<b>C19</b>	
21	of 83







THE OFFICE OF PUBLIC SAFETY SUPPORT  
20415 Independence Blvd., Groveland, FL 34736

October 23, 2023

RE: Whispering Heights and Whispering Shores (AK 3564219 located in Howey in the Hills)  
**Extension for Subdivision Name Reservations**

To whom it may concern,

We currently have the following Subdivision names reserved and have approved an extension of the reservation:

WHISPERING HEIGHTS
WHISPERING SHORES

The initial reservation that was made on April 13, 2022 has expired. Based on the recent request we will be renewing the above referenced Subdivision name reservations for 18 months, expiring on April 23, 2025.

Thank you,

***Office of Public Safety Support – Addressing***

[addressing@lakecountyfl.gov](mailto:addressing@lakecountyfl.gov)

352-253-1818

P 352.253.1818 • F 352.253.1815  
Board of County Commissioners • www.lakecountyfl.gov





THE OFFICE OF PUBLIC SAFETY SUPPORT  
20415 Independence Blvd., Groveland, FL 34736

October 23, 2023

RE: Whispering Heights & Whispering Shores, AK 3564219 Howey in the Hills  
**Extension for Road Name Reservations**

To whom it may concern,

We currently have the following street names reserved for the Whispering Heights & Whispering Shores Subdivision:

RED FIR STREET	OSPREY WING WAY	WHISPERING HEIGHTS AVENUE
PINES PASSAGE ROAD	BLACK CHERRY WAY	WHISPERING SHORES DRIVE

The initial reservation that was made on April 15, 2022 has expired. Based on the recent request we will be renewing the above referenced street name reservations for 18 months, expiring on April 23, 2025.

Thank you,

***Office of Public Safety Support – Addressing***

[addressing@lakecountyfl.gov](mailto:addressing@lakecountyfl.gov)

352-253-1818





# St. Johns River Water Management District

Michael A. Register, P.E., Executive Director

4049 Reid Street • P.O. Box 1429 • Palatka, FL 32178-1429 • 386-329-4500 • www.sjrwmd.com

March 15, 2024

Clay Frankel  
Red Jacket Development Group, LLC  
625 Waltham Ave  
Orlando, FL 32809-4205

SUBJECT: 102286-14  
Whispering Hills

Dear Sir/Madam:

Enclosed is your individual permit issued by the St. Johns River Water Management District on March 15, 2024. This permit is a legal document and should be kept with your other important documents. Permit issuance does not relieve you from the responsibility of obtaining any necessary permits from any federal, state, or local agencies for your project.

**Technical Staff Report:**

If you wish to review a copy of the Technical Staff Report (TSR) that provides the District’s staff analysis of your permit application, you may view the TSR by going to the Permitting section of the District’s website at [www.sjrwmd.com/permitting](http://www.sjrwmd.com/permitting). Using the “search applications and permits” feature, you can use your permit number or project name to find information about the permit. When you see the results of your search, click on the permit number and then on the TSR folder.

**Noticing Your Permit:**

For noticing instructions, please refer to the noticing materials in this package regarding closing the point of entry for someone to challenge the issuance of your permit. Please note that if a timely petition for administrative hearing is filed, your permit will become non-final and any activities that you choose to undertake pursuant to your permit will be at your own risk. Please refer to the attached Notice of Rights to determine any legal rights you may have concerning the District’s agency action.

**Compliance with Permit Conditions:**

To submit your required permit compliance information, go to the District’s website at [www.sjrwmd.com/permitting](http://www.sjrwmd.com/permitting). Under the “Apply for a permit or submit compliance data” section, click to sign-in to your existing account or to create a new account. Select the “Compliance Submittal” tab, enter your permit number, and select “No Specific Date” for the Compliance Due Date Range. You will then be able to view all the compliance submittal requirements for your

**GOVERNING BOARD**

Rob Bradley, CHAIR  
FLEMING ISLAND

Maryam H. Ghyabi-White, VICE CHAIR  
ORMOND BEACH

J. Chris Peterson, SECRETARY  
WINTER PARK

Cole Oliver, TREASURER  
MERRITT ISLAND

Ryan Atwood  
MOUNT DORA

Doug Bournique  
VERO BEACH

Douglas Burnett  
ST. AUGUSTINE

Ron Howse  
COCOA

Janet Price  
FERNANDINA BEACH



project. Select the compliance item that you are ready to submit and then attach the appropriate information or form. The forms to comply with your permit conditions are available at [www.sjrwmd.com/permitting](http://www.sjrwmd.com/permitting) under the section "Handbooks, forms, fees, final orders". Click on forms to view all permit compliance forms, then scroll to the ERP application forms section and select the applicable compliance forms. Alternatively, if you have difficulty finding forms or need copies of the appropriate forms, please contact the Bureau of Regulatory Support at (386) 329-4570.

**Transferring Your Permit:**

Your permit requires you to notify the District within 30 days of any change in ownership or control of the project or activity covered by the permit, or within 30 days of any change in ownership or control of the real property on which the permitted project or activity is located or occurs. You will need to provide the District with the information specified in rule 62-330.340, Florida Administrative Code (F.A.C.). Generally, this will require you to complete and submit Form 62-330.340(1), "Request to Transfer Permit," available at <http://www.sjrwmd.com/permitting/permitforms.html>.

Please note that a permittee is liable for compliance with the permit before the permit is transferred. The District, therefore, recommends that you request a permit transfer in advance in accordance with the applicable rules. You are encouraged to contact District staff for assistance with this process.

Thank you and please let us know if you have additional questions. For general questions contact [e-permit@sjrwmd.com](mailto:e-permit@sjrwmd.com) or (386) 329-4570.

Sincerely,



Michelle Reiber, Bureau Chief  
Division of Regulatory Services  
St. Johns River Water Management District  
525 Community College Parkway, S.E.  
Palm Bay, FL 32909  
(321) 409-2129

Enclosures: Permit  
Notice of Rights  
List of Newspapers for Publication

cc: District Permit File



**ST. JOHNS RIVER WATER MANAGEMENT DISTRICT**  
**Post Office Box 1429**  
**Palatka, Florida 32178-1429**

Item 3.

**PERMIT NO:** 102286-14

**DATE ISSUED:** March 15, 2024

**PROJECT NAME:** Whispering Hills

**A PERMIT AUTHORIZING:**

Minor Modification of Permit No. 40-069-102286-10 for Whispering Hills to include a five-year extension of time for the construction and operation of a Stormwater Management System for a 51.61-acre project, as per plans received by the February 4, 2010.

**LOCATION:** Lake County  
Section 36, Township 20 South, Range 25 East

**RECEIVING WATERBODY:** Little Lake Harris; Class III Fresh, IW

**ISSUED TO:**

Red Jacket Development Group, LLC  
625 Waltham Avenue  
Orlando, FL 32809-4205

The permittee agrees to hold and save the St. Johns River Water Management District and its successors harmless from any and all damages, claims, or liabilities which may arise from permit issuance. Said application, including all plans and specifications attached thereto, is by reference made a part hereof.

This permit does not convey to the permittee any property rights nor any rights or privileges other than those specified herein, nor relieve the permittee from complying with any law, regulation or requirement affecting the rights of other bodies or agencies. All structures and works installed by permittee hereunder shall remain the property of the permittee.

This permit may be revoked, modified or transferred at any time pursuant to the appropriate provisions of Chapter 373, Florida Statutes.

**PERMIT IS CONDITIONED UPON:**

See conditions on attached "Exhibit A", dated March 15, 2024

**AUTHORIZED BY:** St. Johns River Water Management District  
Division of Regulatory Services

By: 

\_\_\_\_\_  
Sandra Joiner  
Supervising Professional Engineer



**"EXHIBIT A"**  
**CONDITIONS FOR ISSUANCE OF PERMIT NUMBER 102286-14**  
**Whispering Hills**  
**Dated March 15, 2024**

1. All activities shall be implemented following the plans, specifications and performance criteria approved by this permit. Any deviations must be authorized in a permit modification in accordance with Rule 62-330.315, F.A.C. Any deviations that are not so authorized may subject the permittee to enforcement action and revocation of the permit under Chapter 373, F.S.
2. A complete copy of this permit shall be kept at the work site of the permitted activity during the construction phase, and shall be available for review at the work site upon request by the District staff. The permittee shall require the contractor to review the complete permit prior to beginning construction.
3. Activities shall be conducted in a manner that does not cause or contribute to violations of state water quality standards. Performance-based erosion and sediment control best management practices shall be installed immediately prior to, and be maintained during and after construction as needed, to prevent adverse impacts to the water resources and adjacent lands. Such practices shall be in accordance with the State of Florida Erosion and Sediment Control Designer and Reviewer Manual (Florida Department of Environmental Protection and Florida Department of Transportation June 2007), and the Florida Stormwater Erosion and Sedimentation Control Inspector's Manual (Florida Department of Environmental Protection, Nonpoint Source Management Section, Tallahassee, Florida, July 2008), which are both incorporated by reference in subparagraph 62-330.050(9)(b)5, F.A.C., unless a project-specific erosion and sediment control plan is approved or other water quality control measures are required as part of the permit.
4. At least 48 hours prior to beginning the authorized activities, the permittee shall submit to the District a fully executed Form 62-330.350(1), "Construction Commencement Notice," (October 1, 2013) (<http://www.flrules.org/Gateway/reference.asp?No=Ref-02505>), incorporated by reference herein, indicating the expected start and completion dates. A copy of this form may be obtained from the District, as described in subsection 62-330.010(5), F.A.C., and shall be submitted electronically or by mail to the Agency. However, for activities involving more than one acre of construction that also require a NPDES stormwater construction general permit, submittal of the Notice of Intent to Use Generic Permit for Stormwater Discharge from Large and Small Construction Activities, DEP Form 62-621.300(4)(b), shall also serve as notice of commencement of construction under this chapter and, in such a case, submittal of Form 62-330.350(1) is not required.
5. Unless the permit is transferred under Rule 62-330.340, F.A.C., or transferred to an operating entity under Rule 62-330.310, F.A.C., the permittee is liable to comply with the plans, terms and conditions of the permit for the life of the project or activity.



6. Within 30 days after completing construction of the entire project, or any independent portion of the project, the permittee shall provide the following to the Agency, as applicable:
  - a. For an individual, private single-family residential dwelling unit, duplex, triplex, or quadruplex — “Construction Completion and Inspection Certification for Activities Associated with a Private Single-Family Dwelling Unit” [Form 62-330.310(3)]; or
  - b. For all other activities — “As-Built Certification and Request for Conversion to Operation Phase” [Form 62-330.310(1)].
  - c. If available, an Agency website that fulfills this certification requirement may be used in lieu of the form.
7. If the final operation and maintenance entity is a third party:
  - a. Prior to sales of any lot or unit served by the activity and within one year of permit issuance, or within 30 days of as-built certification, whichever comes first, the permittee shall submit, as applicable, a copy of the operation and maintenance documents (see sections 12.3 thru 12.3.4 of Volume I) as filed with the Florida Department of State, Division of Corporations and a copy of any easement, plat, or deed restriction needed to operate or maintain the project, as recorded with the Clerk of the Court in the County in which the activity is located.
  - b. Within 30 days of submittal of the as- built certification, the permittee shall submit “Request for Transfer of Environmental Resource Permit to the Perpetual Operation and Maintenance Entity” [Form 62-330.310(2)] to transfer the permit to the operation and maintenance entity, along with the documentation requested in the form. If available, an Agency website that fulfills this transfer requirement may be used in lieu of the form.
8. The permittee shall notify the District in writing of changes required by any other regulatory District that require changes to the permitted activity, and any required modification of this permit must be obtained prior to implementing the changes.
9. This permit does not:
  - a. Convey to the permittee any property rights or privileges, or any other rights or privileges other than those specified herein or in Chapter 62-330, F.A.C.;
  - b. Convey to the permittee or create in the permittee any interest in real property;
  - c. Relieve the permittee from the need to obtain and comply with any other required federal, state, and local authorization, law, rule, or ordinance; or
  - d. Authorize any entrance upon or work on property that is not owned, held in easement, or controlled by the permittee.
10. Prior to conducting any activities on state-owned submerged lands or other lands of the state, title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund, the permittee must receive all necessary approvals and authorizations under Chapters 253 and 258, F.S. Written authorization that requires formal execution by the Board of Trustees of the Internal Improvement Trust Fund shall not be considered received until it has been fully executed.



11. The permittee shall hold and save the District harmless from any and all damages, claims, or liabilities that may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any project authorized by the permit.
12. The permittee shall notify the District in writing:
  - a. Immediately if any previously submitted information is discovered to be inaccurate; and
  - b. Within 30 days of any conveyance or division of ownership or control of the property or the system, other than conveyance via a long-term lease, and the new owner shall request transfer of the permit in accordance with Rule 62-330.340, F.A.C. This does not apply to the sale of lots or units in residential or commercial subdivisions or condominiums where the stormwater management system has been completed and converted to the operation phase.
13. Upon reasonable notice to the permittee, District staff with proper identification shall have permission to enter, inspect, sample and test the project or activities to ensure conformity with the plans and specifications authorized in the permit.
14. If prehistoric or historic artifacts, such as pottery or ceramics, projectile points, stone tools, dugout canoes, metal implements, historic building materials, or any other physical remains that could be associated with Native American, early European, or American settlement are encountered at any time within the project site area, the permitted project shall cease all activities involving subsurface disturbance in the vicinity of the discovery. The permittee or other designee shall contact the Florida Department of State, Division of Historical Resources, Compliance Review Section (DHR), at (850) 245-6333, as well as the appropriate permitting agency office. Project activities shall not resume without verbal or written authorization from the Division of Historical Resources. If unmarked human remains are encountered, all work shall stop immediately and the proper authorities notified in accordance with Section 872.05, F.S. For project activities subject to prior consultation with the DHR and as an alternative to the above requirements, the permittee may follow procedures for unanticipated discoveries as set forth within a cultural resources assessment survey determined complete and sufficient by DHR and included as a specific permit condition herein.
15. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered binding unless a specific condition of this permit or a formal determination under Rule 62-330.201, F.A.C., provides otherwise.
16. The permittee shall provide routine maintenance of all components of the stormwater management system to remove trapped sediments and debris. Removed materials shall be disposed of in a landfill or other uplands in a manner that does not require a permit under Chapter 62-330, F.A.C., or cause violations of state water quality standards.
17. This permit is issued based on the applicant's submitted information that reasonably demonstrates that adverse water resource-related impacts will not be caused by the completed permit activity. If any adverse impacts result, the District will require the permittee to eliminate the cause, obtain any necessary permit modification, and take any necessary corrective actions to resolve the adverse impacts.
18. A Recorded Notice of Environmental Resource Permit may be recorded in the county public records in accordance with Rule 62-330.090(7), F.A.C. Such notice is not an encumbrance upon the property.



19. At a minimum, all retention and detention storage areas must be excavated to rough grade prior to building construction or placement of impervious surface within the area to be served by those facilities. To prevent reduction in storage volume and percolation rates, all accumulated sediment must be removed from the storage area prior to final grading and stabilization.
20. All wetland areas or water bodies that are outside the specific limits of construction authorized by this permit must be protected from erosion, siltation, scouring or excess turbidity, and dewatering.
21. This permit does not authorize the permittee to cause any adverse impact to or “take” of state listed species and other regulated species of fish and wildlife. Compliance with state laws regulating the take of fish and wildlife is the responsibility of the owner or applicant associated with this project. Please refer to Chapter 68A-27 of the Florida Administrative Code for definitions of “take” and a list of fish and wildlife species. If listed species are observed onsite, FWC staff are available to provide decision support information or assist in obtaining the appropriate FWC permits. Most marine endangered and threatened species are statutorily protected and a “take” permit cannot be issued. Requests for further information or review can be sent to [FWCConservationPlanningServices@MyFWC.com](mailto:FWCConservationPlanningServices@MyFWC.com).
22. This authorization to construct will expire on March 4, 2029.
23. The proposed surface water management system must be constructed and operated in accordance with the plans received by the District on February 4, 2010.



## Notice Of Rights

1. A person whose substantial interests are or may be affected has the right to request an administrative hearing by filing a written petition with the St. Johns River Water Management District (District). Pursuant to Chapter 28-106 and Rule 40C-1.1007, Florida Administrative Code, the petition must be filed (received) either by delivery at the office of the District Clerk at District Headquarters, P. O. Box 1429, Palatka Florida 32178-1429 (4049 Reid St., Palatka, FL 32177) or by e-mail with the District Clerk at [Clerk@sjrwmd.com](mailto:Clerk@sjrwmd.com), within twenty-six (26) days of the District depositing the notice of District decision in the mail (for those persons to whom the District mails actual notice), within twenty-one (21) days of the District emailing the notice of District decision (for those persons to whom the District emails actual notice), or within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail or email actual notice). A petition must comply with Sections 120.54(5)(b)4. and 120.569(2)(c), Florida Statutes, and Chapter 28-106, Florida Administrative Code. The District will not accept a petition sent by facsimile (fax), as explained in paragraph no. 4 below.
2. Please be advised that if you wish to dispute this District decision, mediation may be available and that choosing mediation does not affect your right to an administrative hearing. If you wish to request mediation, you must do so in a timely-filed petition. If all parties, including the District, agree to the details of the mediation procedure, in writing, within 10 days after the time period stated in the announcement for election of an administrative remedy under Sections 120.569 and 120.57, Florida Statutes, the time limitations imposed by Sections 120.569 and 120.57, Florida Statutes, shall be tolled to allow mediation of the disputed District decision. The mediation must be concluded within 60 days of the date of the parties' written agreement, or such other timeframe agreed to by the parties in writing. Any mediation agreement must include provisions for selecting a mediator, a statement that each party shall be responsible for paying its pro-rata share of the costs and fees associated with mediation, and the mediating parties' understanding regarding the confidentiality of discussions and documents introduced during mediation. If mediation results in settlement of the administrative dispute, the District will enter a final order consistent with the settlement agreement. If mediation terminates without settlement of the dispute, the District will notify all the parties in writing that the administrative hearing process under Sections 120.569 and 120.57, Florida Statutes, is resumed. Even if a party chooses not to engage in formal mediation, or if formal mediation does not result in a settlement agreement, the District will remain willing to engage in informal settlement discussions.
3. A person whose substantial interests are or may be affected has the right to an informal administrative hearing pursuant to Sections 120.569 and 120.57(2), Florida Statutes, where no material facts are in dispute. A petition for an informal hearing must also comply with the requirements set forth in Rule 28-106.301, Florida Administrative Code.



## Notice Of Rights

4. A petition for an administrative hearing is deemed filed upon receipt of the complete petition by the District Clerk at the District Headquarters in Palatka, Florida during the District's regular business hours. The District's regular business hours are 8:00 a.m. – 5:00 p.m., excluding weekends and District holidays. Petitions received by the District Clerk after the District's regular business hours shall be deemed filed as of 8:00 a.m. on the District's next regular business day. The District's acceptance of petitions filed by e-mail is subject to certain conditions set forth in the District's Statement of Agency Organization and Operation (issued pursuant to Rule 28-101.001, Florida Administrative Code), which is available for viewing at [sjrwmd.com](http://sjrwmd.com). These conditions include, but are not limited to, the petition being in the form of a PDF or TIFF file and being capable of being stored and printed by the District. Further, pursuant to the District's Statement of Agency Organization and Operation, attempting to file a petition by facsimile is prohibited and shall not constitute filing.
5. Failure to file a petition for an administrative hearing within the requisite timeframe shall constitute a waiver of the right to an administrative hearing. (Rule 28-106.111, Florida Administrative Code).
6. The right to an administrative hearing and the relevant procedures to be followed are governed by Chapter 120, Florida Statutes, Chapter 28-106, Florida Administrative Code, and Rule 40C-1.1007, Florida Administrative Code. Because the administrative hearing process is designed to formulate final agency action, the filing of a petition means the District's final action may be different from the position taken by it in this notice. A person whose substantial interests are or may be affected by the District's final action has the right to become a party to the proceeding, in accordance with the requirements set forth above.
7. Pursuant to Section 120.68, Florida Statutes, a party to the proceeding before the District who is adversely affected by final District action may seek review of the action in the District Court of Appeal by filing a notice of appeal pursuant to Rules 9.110 and 9.190, Florida Rules of Appellate Procedure, within 30 days of the rendering of the final District action.
8. A District action is considered rendered, as referred to in paragraph no. 7 above, after it is signed on behalf of the District and filed by the District Clerk.
9. Failure to observe the relevant timeframes for filing a petition for judicial review as described in paragraph no. 7 above will result in waiver of that right to review.

NOR.Decision.DOC.001  
Revised 12.7.11



## NOTICING INFORMATION

Please be advised that the St. Johns River Water Management District will not publish a notice in the newspaper advising the public that it has issued a permit for this project.

Newspaper publication, using the District's notice form, notifies members of the public of their right to challenge the issuance of the permit. If proper notice is given by newspaper publication, then there is a 21-day time limit for someone to file a petition for an administrative hearing to challenge the issuance of the permit.

To close the point of entry for filing a petition, you may publish (at your own expense) a one-time notice of the District's decision in a newspaper of general circulation within the affected area as defined in Section 50.011 of the Florida Statutes. If you do not publish a newspaper notice to close the point of entry, the time to challenge the issuance of your permit will not expire and someone could file a petition even after your project is constructed.

A copy of the notice form and a partial list of newspapers of general circulation are attached for your convenience. However, you are not limited to those listed newspapers. If you choose to close the point of entry and the notice is published, the newspaper will return to you an affidavit of publication. In that event, it is important that you either submit a scanned copy of the affidavit by emailing it to [compliancesupport@sjrwm.com](mailto:compliancesupport@sjrwm.com) (preferred method) or send a copy of the original affidavit to:

Office of Records and Regulatory Support  
4049 Reid Street  
Palatka, FL 32177

If you have any questions, please contact the Office of Records and Regulatory Support at (386) 329-4570.



NOTICE OF AGENCY ACTION TAKEN BY THE  
ST. JOHNS RIVER WATER MANAGEMENT DISTRICT

Notice is given that the following permit was issued on \_\_\_\_\_:

(Name and address of applicant) \_\_\_\_\_  
permit#\_\_\_\_\_. The project is located in \_\_\_\_\_ County, Section  
\_\_\_\_\_, Township \_\_\_\_\_ South, Range \_\_\_\_\_ East. The permit authorizes a surface  
water management system on \_\_\_\_\_ acres for  
\_\_\_\_\_ known as  
\_\_\_\_\_. The receiving water body is \_\_\_\_\_.

A person whose substantial interests are or may be affected has the right to request an administrative hearing by filing a written petition with the St. Johns River Water Management District (District). Pursuant to Chapter 28-106 and Rule 40C-1.1007, Florida Administrative Code (F.A.C.), the petition must be filed (received) either by delivery at the office of the District Clerk at District Headquarters, P.O. Box 1429, Palatka FL 32178-1429 (4049 Reid St, Palatka, FL 32177) or by e-mail with the District Clerk at Clerk@sjrwm.com, within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail or email actual notice). A petition must comply with Sections 120.54(5)(b)4. and 120.569(2)(c), Florida Statutes (F.S.), and Chapter 28-106, F.A.C. The District will not accept a petition sent by facsimile (fax). Mediation pursuant to Section 120.573, F.S., may be available and choosing mediation does not affect your right to an administrative hearing.

A petition for an administrative hearing is deemed filed upon receipt of the complete petition by the District Clerk at the District Headquarters in Palatka, Florida during the District's regular business hours. The District's regular business hours are 8 a.m. – 5 p.m., excluding weekends and District holidays. Petitions received by the District Clerk after the District's regular business hours shall be deemed filed as of 8 a.m. on the District's next regular business day. The District's acceptance of petitions filed by e-mail is subject to certain conditions set forth in the District's Statement of Agency Organization and Operation (issued pursuant to Rule 28-101.001, Florida Administrative Code), which is available for viewing at www.sjrwm.com. These conditions include, but are not limited to, the petition being in the form of a PDF or TIFF file and being capable of being stored and printed by the District. Further, pursuant to the District's Statement of Agency Organization and Operation, attempting to file a petition by facsimile (fax) is prohibited and shall not constitute filing.

The right to an administrative hearing and the relevant procedures to be followed are governed by Chapter 120, Florida Statutes, Chapter 28-106, Florida Administrative Code, and Rule 40C-1.1007, Florida Administrative Code. Because the administrative hearing process is designed to formulate final agency action, the filing of a petition means the District's final action may be different from the position taken by it in this notice. **Failure to file a petition for an administrative hearing within the requisite time frame shall constitute a waiver of the right to an administrative hearing. (Rule 28-106.111, F.A.C.)**

If you wish to do so, please visit [http://www.sjrwm.com/nor\\_dec/](http://www.sjrwm.com/nor_dec/) to read the complete Notice of Rights to determine any legal rights you may have concerning the District's decision(s) on the permit application(s) described above. You can also request the Notice of Rights by contacting the Director of Office of Records and Regulatory Support, 4049 Reid St., Palatka, FL 32177-2529, tele. no. (386)329-4570.



**NEWSPAPER ADVERTISING****ALACHUA**

Gainesville Sun, Legal Advertising  
2700 SW 13<sup>th</sup> Street  
Gainesville, FL 32608  
866-858-9652

**BRAFORD**

Bradford County Telegraph, Legal Advertising  
P. O. Drawer A  
Starke, FL 32901  
904-964-6305/ fax 904-964-8628

**CLAY**

Clay Today, Legal Advertising  
1560 Kinsley Ave., Suite 1  
Orange Park, FL 32073  
904-264-3200/ fax 904-264-3285

**FLAGLER**

Flagler Tribune, c/o News Journal  
P. O. Box 2831  
Daytona Beach, FL 32120-2831  
386- 681-2322

**LAKE**

Daily Commercial, Legal Advertising  
P. O. Drawer 490007  
Leesburg, FL 34749  
352-365-8235/fax 352-365-1951

**NASSAU**

News-Leader, Legal Advertising  
P. O. Box 766  
Fernandina Beach, FL 32035  
904-261-3696/fax 904-261-3698

**ORANGE**

Sentinel Communications, Legal Advertising  
633 N. Orange Avenue  
Orlando, FL 32801  
407-420-5160/ fax 407-420-5011

**PUTNAM**

Palatka Daily News, Legal Advertising  
P. O. Box 777  
Palatka, FL 32178  
386-312-5200/ fax 386-312-5209

**SEMINOLE**

Sanford Herald, Legal Advertising  
300 North French Avenue  
Sanford, FL 32771  
407-323-9408

**BAKER**

Baker County Press, Legal Advertising  
P. O. Box 598  
Macclenny, FL 3206 3  
904-259-2400/ fax 904-259-6502

**BREVARD**

Florida Today, Legal Advertising  
P. O. Box 419000  
Melbourne, FL 32941-9000  
321-242-3832/ fax 321-242-6618

**DUVAL**

Daily Record, Legal Advertising  
P. O. Box 1769  
Jacksonville, FL 32201  
904-356-2466 / fax 904-353-2628

**INDIAN RIVER**

Treasure Coast News  
760 NW Enterprise Dr.  
Port St. Lucie, FL 34986  
772-283-5252

**MARION**

Ocala Star Banner, Legal Advertising  
2121 SW 19th Avenue Road  
Ocala, FL 34474  
352-867-4010/fax 352-867-4126

**OKEECHOBEE**

Okeechobee News, Legal Advertising  
P. O. Box 639  
Okeechobee, FL 34973-0639  
863-763-3134/fax 863-763-5901

**OSCEOLA**

Little Sentinel, Legal Advertising  
633 N. Orange Avenue  
Orlando, FL 32801  
407-420-5160/ fax 407-420-5011

**ST. JOHNS**

St. Augustine Record, Legal Advertising  
P. O. Box 1630  
St. Augustine, FL 32085  
904-819-3439

**VOLUSIA**

News Journal Corporation, Legal Advertising  
P. O. Box 2831  
Daytona Beach, FL 32120-2831  
(386) 681-2322





# St. Johns River Water Management District

Ann B. Shortelle, Ph.D., Executive Director

4049 Reid Street • P.O. Box 1429 • Palatka, FL 32178-1429 • 386-329-4500  
On the internet at [www.sjrwmd.com](http://www.sjrwmd.com).

March 06, 2019

Clay Frankel  
Red Jacket Development Group, LLC  
625 Waltham Ave  
Orlando, FL 32809-4205

SUBJECT: 102286-10  
Whispering Hills

Dear Sir/Madam:

Enclosed is your individual permit issued by the St. Johns River Water Management District on March 06, 2019. This permit is a legal document and should be kept with your other important documents. Permit issuance does not relieve you from the responsibility of obtaining any necessary permits from any federal, state, or local agencies for your project.

**Technical Staff Report:**

If you wish to review a copy of the Technical Staff Report (TSR) that provides the District's staff analysis of your permit application, you may view the TSR by going to the Permitting section of the District's website at [www.sjrwmd.com/permitting](http://www.sjrwmd.com/permitting). Using the "search applications and permits" feature, you can use your permit number or project name to find information about the permit. When you see the results of your search, click on the permit number and then on the TSR folder.

**Noticing Your Permit:**

For noticing instructions, please refer to the noticing materials in this package regarding closing the point of entry for someone to challenge the issuance of your permit. Please note that if a timely petition for administrative hearing is filed, your permit will become non-final and any activities that you choose to undertake pursuant to your permit will be at your own risk.

**Compliance with Permit Conditions:**

To submit your required permit compliance information, go to the District's website at [www.sjrwmd.com/permitting](http://www.sjrwmd.com/permitting). Under the "Apply for a permit or submit compliance data" section, click to sign-in to your existing account or to create a new account. Select the "Compliance Submittal" tab, enter your permit number, and select "No Specific Date" for the Compliance Due Date Range. You will then be able to view all the compliance submittal requirements for your project. Select the compliance item that you are ready to submit and then attach the appropriate information or form. The forms to comply with your permit conditions are available at [www.sjrwmd.com/permitting](http://www.sjrwmd.com/permitting) under the section "Handbooks, forms, fees, final orders". Click on forms to view all permit compliance forms, then scroll to the ERP application forms section and select the applicable compliance forms. Alternatively, if you have difficulty finding forms or need copies of the appropriate forms, please contact the Bureau of Regulatory Support at (386) 329-4570.

**GOVERNING BOARD**

John A. Miklos, CHAIRMAN  
ORLANDO

Fred N. Roberts Jr., VICE CHAIRMAN  
OCALA

Chuck Drake, SECRETARY  
ORLANDO

Ron Howse, TREASURER  
COCOA

Douglas C. Bournique  
VERO BEACH

Douglas Burnett  
ST. AUGUSTINE

Susan Dolan  
SANFORD

Janet Price  
FERNANDINA BEACH

Allan Roberts  
ST. AUGUSTINE



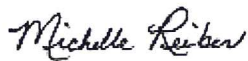
**Transferring Your Permit:**

Your permit requires you to notify the District within 30 days of any change in ownership or control of the project or activity covered by the permit, or within 30 days of any change in ownership or control of the real property on which the permitted project or activity is located or occurs. You will need to provide the District with the information specified in rule 62-330.340, Florida Administrative Code (F.A.C.). Generally, this will require you to complete and submit Form 62-330.340(1), "Request to Transfer Permit," available at <http://www.sjrwmd.com/permitting/permitforms.html>.

Please note that a permittee is liable for compliance with the permit before the permit is transferred. The District, therefore, recommends that you request a permit transfer in advance in accordance with the applicable rules. You are encouraged to contact District staff for assistance with this process.

Thank you and please let us know if you have additional questions. For general questions contact [e-permit@sjrwmd.com](mailto:e-permit@sjrwmd.com) or (386) 329-4570.

Sincerely,



Michelle Reiber, Bureau Chief  
Regulatory Services  
St. Johns River Water Management District  
525 Community College Parkway, S.E.  
Palm Bay, FL 32909  
(321) 409-2129

Enclosures: Permit

cc: District Permit File



**ST. JOHNS RIVER WATER MANAGEMENT DISTRICT**  
Post Office Box 1429  
Palatka, Florida 32178-1429

**PERMIT NO:** 102286-10

**DATE ISSUED:** March 06, 2019

**PROJECT NAME:** Whispering Hills

**A PERMIT AUTHORIZING:**

Minor Modification of Permit No. 40-069-102286-8 for Whispering Hills to include a five-year extension of time for the construction and operation of a Stormwater Management System for a 51.61-acre project, as per plans received by the February 4, 2010.

**LOCATION:**

Section(s): 36                      Township(s): 20S                      Range(s): 25E  
Lake County

**Receiving Water Body:**

Name	Class
Little Lake Harris	III Fresh, IW

**ISSUED TO:**

Red Jacket Development Group, LLC  
625 Waltham Ave  
Orlando, FL 32809-4205

The permittee agrees to hold and save the St. Johns River Water Management District and its successors harmless from any and all damages, claims, or liabilities which may arise from permit issuance. Said application, including all plans and specifications attached thereto, is by reference made a part hereof.


This permit does not convey to the permittee any property rights nor any rights or privileges other than those specified herein, nor relieve the permittee from complying with any law, regulation or requirement affecting the rights of other bodies or agencies. All structures and works installed by permittee hereunder shall remain the property of the permittee.

This permit may be revoked, modified or transferred at any time pursuant to the appropriate provisions of Chapter 373, Florida Statutes.

**PERMIT IS CONDITIONED UPON:**

See conditions on attached "Exhibit A", dated March 06, 2019

**AUTHORIZED BY:** St. Johns River Water Management District  
Division of Regulatory Services

By: 

\_\_\_\_\_  
Marjorie Cook  
Supervising Professional Engineer



**"EXHIBIT A"**  
**CONDITIONS FOR ISSUANCE OF PERMIT NUMBER 102286-10**  
**Whispering Hills**  
**DATED March 06, 2019**

1. All activities shall be implemented following the plans, specifications and performance criteria approved by this permit. Any deviations must be authorized in a permit modification in accordance with Rule 62-330.315, F.A.C. Any deviations that are not so authorized may subject the permittee to enforcement action and revocation of the permit under Chapter 373, F.S.
2. A complete copy of this permit shall be kept at the work site of the permitted activity during the construction phase, and shall be available for review at the work site upon request by the District staff. The permittee shall require the contractor to review the complete permit prior to beginning construction.
3. Activities shall be conducted in a manner that does not cause or contribute to violations of state water quality standards. Performance-based erosion and sediment control best management practices shall be installed immediately prior to, and be maintained during and after construction as needed, to prevent adverse impacts to the water resources and adjacent lands. Such practices shall be in accordance with the State of Florida Erosion and Sediment Control Designer and Reviewer Manual (Florida Department of Environmental Protection and Florida Department of Transportation June 2007), and the Florida Stormwater Erosion and Sedimentation Control Inspector's Manual (Florida Department of Environmental Protection, Nonpoint Source Management Section, Tallahassee, Florida, July 2008), which are both incorporated by reference in subparagraph 62-330.050(9)(b)5, F.A.C., unless a project-specific erosion and sediment control plan is approved or other water quality control measures are required as part of the permit.
4. At least 48 hours prior to beginning the authorized activities, the permittee shall submit to the District a fully executed Form 62-330.350(1), "Construction Commencement Notice," (October 1, 2013) (<http://www.flrules.org/Gateway/reference.asp?No=Ref-02505>), incorporated by reference herein, indicating the expected start and completion dates. A copy of this form may be obtained from the District, as described in subsection 62-330.010(5), F.A.C., and shall be submitted electronically or by mail to the Agency. However, for activities involving more than one acre of construction that also require a NPDES stormwater construction general permit, submittal of the Notice of Intent to Use Generic Permit for Stormwater Discharge from Large and Small Construction Activities, DEP Form 62-621.300(4)(b), shall also serve as notice of commencement of construction under this chapter and, in such a case, submittal of Form 62-330.350(1) is not required.
5. Unless the permit is transferred under Rule 62-330.340, F.A.C., or transferred to an operating entity under Rule 62-330.310, F.A.C., the permittee is liable to comply with the plans, terms and conditions of the permit for the life of the project or activity.
6. Within 30 days after completing construction of the entire project, or any independent portion of the project, the permittee shall provide the following to the Agency, as applicable:
  - a. For an individual, private single-family residential dwelling unit, duplex, triplex, or quadruplex — "Construction Completion and Inspection Certification for Activities Associated with a Private Single-Family Dwelling Unit" [Form 62-330.310(3)]; or
  - b. For all other activities — "As-Built Certification and Request for Conversion to Operation Phase" [Form 62-330.310(1)].



- c. If available, an Agency website that fulfills this certification requirement may be used in lieu of the form.
7. If the final operation and maintenance entity is a third party:
- a. Prior to sales of any lot or unit served by the activity and within one year of permit issuance, or within 30 days of as-built certification, whichever comes first, the permittee shall submit, as applicable, a copy of the operation and maintenance documents (see sections 12.3 thru 12.3.4 of Volume I) as filed with the Florida Department of State, Division of Corporations and a copy of any easement, plat, or deed restriction needed to operate or maintain the project, as recorded with the Clerk of the Court in the County in which the activity is located.
  - b. Within 30 days of submittal of the as- built certification, the permittee shall submit "Request for Transfer of Environmental Resource Permit to the Perpetual Operation and Maintenance Entity" [Form 62-330.310(2)] to transfer the permit to the operation and maintenance entity, along with the documentation requested in the form. If available, an Agency website that fulfills this transfer requirement may be used in lieu of the form.
8. The permittee shall notify the District in writing of changes required by any other regulatory District that require changes to the permitted activity, and any required modification of this permit must be obtained prior to implementing the changes.
9. This permit does not:
- a. Convey to the permittee any property rights or privileges, or any other rights or privileges other than those specified herein or in Chapter 62-330, F.A.C.;
  - b. Convey to the permittee or create in the permittee any interest in real property;
  - c. Relieve the permittee from the need to obtain and comply with any other required federal, state, and local authorization, law, rule, or ordinance; or
  - d. Authorize any entrance upon or work on property that is not owned, held in easement, or controlled by the permittee.
10. Prior to conducting any activities on state-owned submerged lands or other lands of the state, title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund, the permittee must receive all necessary approvals and authorizations under Chapters 253 and 258, F.S. Written authorization that requires formal execution by the Board of Trustees of the Internal Improvement Trust Fund shall not be considered received until it has been fully executed.
11. The permittee shall hold and save the District harmless from any and all damages, claims, or liabilities that may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any project authorized by the permit.
12. The permittee shall notify the District in writing:
- a. Immediately if any previously submitted information is discovered to be inaccurate; and
  - b. Within 30 days of any conveyance or division of ownership or control of the property or the system, other than conveyance via a long-term lease, and the new owner shall



request transfer of the permit in accordance with Rule 62-330.340, F.A.C. This does not apply to the sale of lots or units in residential or commercial subdivisions or condominiums where the stormwater management system has been completed and converted to the operation phase.

13. Upon reasonable notice to the permittee, District staff with proper identification shall have permission to enter, inspect, sample and test the project or activities to ensure conformity with the plans and specifications authorized in the permit.
14. If prehistoric or historic artifacts, such as pottery or ceramics, projectile points, stone tools, dugout canoes, metal implements, historic building materials, or any other physical remains that could be associated with Native American, early European, or American settlement are encountered at any time within the project site area, the permitted project shall cease all activities involving subsurface disturbance in the vicinity of the discovery. The permittee or other designee shall contact the Florida Department of State, Division of Historical Resources, Compliance Review Section (DHR), at (850) 245-6333, as well as the appropriate permitting agency office. Project activities shall not resume without verbal or written authorization from the Division of Historical Resources. If unmarked human remains are encountered, all work shall stop immediately and the proper authorities notified in accordance with Section 872.05, F.S. For project activities subject to prior consultation with the DHR and as an alternative to the above requirements, the permittee may follow procedures for unanticipated discoveries as set forth within a cultural resources assessment survey determined complete and sufficient by DHR and included as a specific permit condition herein.
15. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered binding unless a specific condition of this permit or a formal determination under Rule 62-330.201, F.A.C., provides otherwise.
16. The permittee shall provide routine maintenance of all components of the stormwater management system to remove trapped sediments and debris. Removed materials shall be disposed of in a landfill or other uplands in a manner that does not require a permit under Chapter 62-330, F.A.C., or cause violations of state water quality standards.
17. This permit is issued based on the applicant's submitted information that reasonably demonstrates that adverse water resource-related impacts will not be caused by the completed permit activity. If any adverse impacts result, the District will require the permittee to eliminate the cause, obtain any necessary permit modification, and take any necessary corrective actions to resolve the adverse impacts.
18. A Recorded Notice of Environmental Resource Permit may be recorded in the county public records in accordance with Rule 62-330.090(7), F.A.C. Such notice is not an encumbrance upon the property.
19. At a minimum, all retention and detention storage areas must be excavated to rough grade prior to building construction or placement of impervious surface within the area to be served by those facilities. To prevent reduction in storage volume and percolation rates, all accumulated sediment must be removed from the storage area prior to final grading and stabilization.
20. All wetland areas or water bodies that are outside the specific limits of construction authorized by this permit must be protected from erosion, siltation, scouring or excess turbidity, and dewatering.



21. The operation and maintenance entity shall submit inspection reports to the District one year after the operation phase of the permit becomes effective and every two years thereafter on form 62-330.331(1), "Operation and Maintenance Inspection Certification". The inspection form must be signed and sealed by an appropriate registered professional.
22. The proposed surface water management system must be constructed and operated in accordance with the plans received by the District on February 4, 2010.
23. This permit for construction will expire on March 4, 2024.



## Notice Of Rights

1. A person whose substantial interests are or may be affected has the right to request an administrative hearing by filing a written petition with the St. Johns River Water Management District (District). Pursuant to Chapter 28-106 and Rule 40C-1.1007, Florida Administrative Code, the petition must be filed (received) either by delivery at the office of the District Clerk at District Headquarters, P. O. Box 1429, Palatka Florida 32178-1429 (4049 Reid St., Palatka, FL 32177) or by e-mail with the District Clerk at [Clerk@sjrwmd.com](mailto:Clerk@sjrwmd.com), within twenty-six (26) days of the District depositing the notice of District decision in the mail (for those persons to whom the District mails actual notice), within twenty-one (21) days of the District emailing the notice of District decision (for those persons to whom the District emails actual notice), or within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail or email actual notice). A petition must comply with Sections 120.54(5)(b)4. and 120.569(2)(c), Florida Statutes, and Chapter 28-106, Florida Administrative Code. The District will not accept a petition sent by facsimile (fax), as explained in paragraph no. 4 below.
2. Please be advised that if you wish to dispute this District decision, mediation may be available and that choosing mediation does not affect your right to an administrative hearing. If you wish to request mediation, you must do so in a timely-filed petition. If all parties, including the District, agree to the details of the mediation procedure, in writing, within 10 days after the time period stated in the announcement for election of an administrative remedy under Sections 120.569 and 120.57, Florida Statutes, the time limitations imposed by Sections 120.569 and 120.57, Florida Statutes, shall be tolled to allow mediation of the disputed District decision. The mediation must be concluded within 60 days of the date of the parties' written agreement, or such other timeframe agreed to by the parties in writing. Any mediation agreement must include provisions for selecting a mediator, a statement that each party shall be responsible for paying its pro-rata share of the costs and fees associated with mediation, and the mediating parties' understanding regarding the confidentiality of discussions and documents introduced during mediation. If mediation results in settlement of the administrative dispute, the District will enter a final order consistent with the settlement agreement. If mediation terminates without settlement of the dispute, the District will notify all the parties in writing that the administrative hearing process under Sections 120.569 and 120.57, Florida Statutes, is resumed. Even if a party chooses not to engage in formal mediation, or if formal mediation does not result in a settlement agreement, the District will remain willing to engage in informal settlement discussions.
3. A person whose substantial interests are or may be affected has the right to an informal administrative hearing pursuant to Sections 120.569 and 120.57(2), Florida Statutes, where no material facts are in dispute. A petition for an informal hearing must also comply with the requirements set forth in Rule 28-106.301, Florida Administrative Code.



## Notice Of Rights

Item 3.

4. A petition for an administrative hearing is deemed filed upon receipt of the complete petition by the District Clerk at the District Headquarters in Palatka, Florida during the District's regular business hours. The District's regular business hours are 8:00 a.m. – 5:00 p.m., excluding weekends and District holidays. Petitions received by the District Clerk after the District's regular business hours shall be deemed filed as of 8:00 a.m. on the District's next regular business day. The District's acceptance of petitions filed by e-mail is subject to certain conditions set forth in the District's Statement of Agency Organization and Operation (issued pursuant to Rule 28-101.001, Florida Administrative Code), which is available for viewing at [sjrwmd.com](http://sjrwmd.com). These conditions include, but are not limited to, the petition being in the form of a PDF or TIFF file and being capable of being stored and printed by the District. Further, pursuant to the District's Statement of Agency Organization and Operation, attempting to file a petition by facsimile is prohibited and shall not constitute filing.
5. Failure to file a petition for an administrative hearing within the requisite timeframe shall constitute a waiver of the right to an administrative hearing. (Rule 28-106.111, Florida Administrative Code).
6. The right to an administrative hearing and the relevant procedures to be followed are governed by Chapter 120, Florida Statutes, Chapter 28-106, Florida Administrative Code, and Rule 40C-1.1007, Florida Administrative Code. Because the administrative hearing process is designed to formulate final agency action, the filing of a petition means the District's final action may be different from the position taken by it in this notice. A person whose substantial interests are or may be affected by the District's final action has the right to become a party to the proceeding, in accordance with the requirements set forth above.
7. Pursuant to Section 120.68, Florida Statutes, a party to the proceeding before the District who is adversely affected by final District action may seek review of the action in the District Court of Appeal by filing a notice of appeal pursuant to Rules 9.110 and 9.190, Florida Rules of Appellate Procedure, within 30 days of the rendering of the final District action.
8. A District action is considered rendered, as referred to in paragraph no. 7 above, after it is signed on behalf of the District and filed by the District Clerk.
9. Failure to observe the relevant timeframes for filing a petition for judicial review as described in paragraph no. 7 above will result in waiver of that right to review.

NOR.Decision.DOC.001  
Revised 12.7.11



**Notice Of Rights**

**Certificate of Service**

I HEREBY CERTIFY that a copy of the foregoing Notice of Rights has been sent to the permittee:

Clay Frankel  
Red Jacket Development Group, LLC  
625 Waltham Ave  
Orlando, FL 32809-4205

This 6th day of March, 2019.

*M. Daniels*

Margaret Daniels, Office Director  
Office of Business and Administrative Services  
St. Johns River Water Management District  
4049 Reid Street  
Palatka, FL 32177-2529  
(386) 329-4570

Permit Number: 102286-10



**NOTICING INFORMATION**

Dear Permittee:

Please be advised that the St. Johns River Water Management District will not publish a notice in the newspaper advising the public that it has issued a permit for this project.

Newspaper publication, using the District's notice form, notifies members of the public of their right to challenge the issuance of the permit. If proper notice is given by newspaper publication, then there is a 21-day time limit for someone to file a petition for an administrative hearing to challenge the issuance of the permit.

To close the point of entry for filing a petition, you may publish (at your own expense) a one-time notice of the District's decision in a newspaper of general circulation within the affected area as defined in Section 50.011 of the Florida Statutes. If you do not publish a newspaper notice to close the point of entry, the time to challenge the issuance of your permit will not expire and someone could file a petition even after your project is constructed.

A copy of the notice form and a partial list of newspapers of general circulation are attached for your convenience. However, you are not limited to those listed newspapers. If you choose to close the point of entry and the notice is published, the newspaper will return to you an affidavit of publication. In that event, it is important that you either submit a scanned copy of the affidavit by emailing it to [compliancesupport@sjrwmd.com](mailto:compliancesupport@sjrwmd.com) (preferred method) or send a copy of the original affidavit to:

Margaret Daniels, Office Director  
Office of Business and Administrative Services  
4049 Reid Street  
Palatka, FL 32177

If you have any questions, please contact the Office of Business and Administrative Services at (386) 329-4570.

Sincerely,



Margaret Daniels, Office Director  
Office of Business and Administrative Services



NOTICE OF AGENCY ACTION TAKEN BY THE  
ST. JOHNS RIVER WATER MANAGEMENT DISTRICT

Notice is given that the following permit was issued on \_\_\_\_\_:

(Name and address of applicant) \_\_\_\_\_  
permit# \_\_\_\_\_. The project is located in \_\_\_\_\_ County, Section  
\_\_\_\_\_, Township \_\_\_\_\_ South, Range \_\_\_\_\_ East. The permit authorizes a surface  
water management system on \_\_\_\_\_ acres for  
\_\_\_\_\_ known as  
\_\_\_\_\_. The receiving water body is \_\_\_\_\_.

A person whose substantial interests are or may be affected has the right to request an administrative hearing by filing a written petition with the St. Johns River Water Management District (District). Pursuant to Chapter 28-106 and Rule 40C-1.1007, Florida Administrative Code (F.A.C.), the petition must be filed (received) either by delivery at the office of the District Clerk at District Headquarters, P.O. Box 1429, Palatka FL 32178-1429 (4049 Reid St, Palatka, FL 32177) or by e-mail with the District Clerk at Clerk@sjrwmd.com, within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail or email actual notice). A petition must comply with Sections 120.54(5)(b)4. and 120.569(2)(c), Florida Statutes (F.S.), and Chapter 28-106, F.A.C. The District will not accept a petition sent by facsimile (fax). Mediation pursuant to Section 120.573, F.S., may be available and choosing mediation does not affect your right to an administrative hearing.

A petition for an administrative hearing is deemed filed upon receipt of the complete petition by the District Clerk at the District Headquarters in Palatka, Florida during the District's regular business hours. The District's regular business hours are 8 a.m. – 5 p.m., excluding weekends and District holidays. Petitions received by the District Clerk after the District's regular business hours shall be deemed filed as of 8 a.m. on the District's next regular business day. The District's acceptance of petitions filed by e-mail is subject to certain conditions set forth in the District's Statement of Agency Organization and Operation (issued pursuant to Rule 28-101.001, Florida Administrative Code), which is available for viewing at www.sjrwmd.com. These conditions include, but are not limited to, the petition being in the form of a PDF or TIFF file and being capable of being stored and printed by the District. Further, pursuant to the District's Statement of Agency Organization and Operation, attempting to file a petition by facsimile (fax) is prohibited and shall not constitute filing.

The right to an administrative hearing and the relevant procedures to be followed are governed by Chapter 120, Florida Statutes, Chapter 28-106, Florida Administrative Code, and Rule 40C-1.1007, Florida Administrative Code. Because the administrative hearing process is designed to formulate final agency action, the filing of a petition means the District's final action may be different from the position taken by it in this notice. **Failure to file a petition for an administrative hearing within the requisite time frame shall constitute a waiver of the right to an administrative hearing. (Rule 28-106.111, F.A.C.).**

If you wish to do so, please visit [http://www.sjrwmd.com/nor\\_dec/](http://www.sjrwmd.com/nor_dec/) to read the complete Notice of Rights to determine any legal rights you may have concerning the District's decision(s) on the permit application(s) described above. You can also request the Notice of Rights by contacting the Director of Business and Administrative Services, 4049 Reid St., Palatka, FL 32177-2529, tele. no. (386)329-4570.

**NEWSPAPER ADVERTISING****ALACHUA**

The Alachua County Record, Legal Advertising  
P. O. Box 806  
Gainesville, FL 32602  
352-377-2444/ fax 352-338-1986

**BRAFORD**

Bradford County Telegraph, Legal Advertising  
P. O. Drawer A  
Starke, FL 32901  
904-964-6305/ fax 904-964-8628

**CLAY**

Clay Today, Legal Advertising  
1560 Kinsley Ave., Suite 1  
Orange Park, FL 32073  
904-264-3200/ fax 904-264-3285

**FLAGLER**

Flagler Tribune, c/o News Journal  
P. O. Box 2831  
Daytona Beach, FL 32120-2831  
386- 681-2322

**LAKE**

Daily Commercial, Legal Advertising  
P. O. Drawer 490007  
Leesburg, FL 34749  
352-365-8235/fax 352-365-1951

**NASSAU**

News-Leader, Legal Advertising  
P. O. Box 766  
Fernandina Beach, FL 32035  
904-261-3696/fax 904-261-3698

**ORANGE**

Sentinel Communications, Legal Advertising  
633 N. Orange Avenue  
Orlando, FL 32801  
407-420-5160/ fax 407-420-5011

**PUTNAM**

Palatka Daily News, Legal Advertising  
P. O. Box 777  
Palatka, FL 32178  
386-312-5200/ fax 386-312-5209

**SEMINOLE**

Seminole Herald, Legal Advertising  
300 North French Avenue  
Sanford, FL 32771  
407-323-9408

**BAKER**

Baker County Press, Legal Advertising  
P. O. Box 598  
MacLennny, FL 32063  
904-259-2400/ fax 904-259-6502

**BREVARD**

Florida Today, Legal Advertising  
P. O. Box 419000  
Melbourne, FL 32941-9000  
321-242-3832/ fax 321-242-6618

**DUVAL**

Daily Record, Legal Advertising  
P. O. Box 1769  
Jacksonville, FL 32201  
904-356-2466 / fax 904-353-2628

**INDIAN RIVER**

Vero Beach Press Journal, Legal Advertising  
P. O. Box 1268  
Vero Beach, FL 32961-1268  
772-221-4282/ fax 772-978-2340

**MARION**

Ocala Star Banner, Legal Advertising  
2121 SW 19th Avenue Road  
Ocala, FL 34474  
352-867-4010/fax 352-867-4126

**OKEECHOBEE**

Okeechobee News, Legal Advertising  
P. O. Box 639  
Okeechobee, FL 34973-0639  
863-763-3134/fax 863-763-5901

**OSCEOLA**

Little Sentinel, Legal Advertising  
633 N. Orange Avenue  
Orlando, FL 32801  
407-420-5160/ fax 407-420-5011

**ST. JOHNS**

St. Augustine Record, Legal Advertising  
P. O. Box 1630  
St. Augustine, FL 32085  
904-819-3436

**VOLUSIA**

News Journal Corporation, Legal Advertising  
P. O. Box 2831  
Daytona Beach, FL 32120-2831  
(386) 681-2322







# St. Johns River Water Management District

Michael A. Register, P.E., Executive Director

4049 Reid Street • P.O. Box 1429 • Palatka, FL 32178-1429 • 386-329-4500 • www.sjrwmd.com

September 26, 2022

Clay Frankel  
Red Jacket Development Group  
625 Waltham Ave  
Orlando, FL 32809-4205

SUBJECT: 102286-13  
Whispering Shores - Permit Extension

Dear Sir/Madam:

Enclosed is your individual permit issued by the St. Johns River Water Management District on September 26, 2022. This permit is a legal document and should be kept with your other important documents. Permit issuance does not relieve you from the responsibility of obtaining any necessary permits from any federal, state, or local agencies for your project.

**Technical Staff Report:**

If you wish to review a copy of the Technical Staff Report (TSR) that provides the District’s staff analysis of your permit application, you may view the TSR by going to the Permitting section of the District’s website at [www.sjrwmd.com/permitting](http://www.sjrwmd.com/permitting). Using the “search applications and permits” feature, you can use your permit number or project name to find information about the permit. When you see the results of your search, click on the permit number and then on the TSR folder.

**Noticing Your Permit:**

For noticing instructions, please refer to the noticing materials in this package regarding closing the point of entry for someone to challenge the issuance of your permit. Please note that if a timely petition for administrative hearing is filed, your permit will become non-final and any activities that you choose to undertake pursuant to your permit will be at your own risk. Please refer to the attached Notice of Rights to determine any legal rights you may have concerning the District’s agency action.

**Compliance with Permit Conditions:**

To submit your required permit compliance information, go to the District’s website at [www.sjrwmd.com/permitting](http://www.sjrwmd.com/permitting). Under the “Apply for a permit or submit compliance data” section, click to sign-in to your existing account or to create a new account. Select the “Compliance Submittal” tab, enter your permit number, and select “No Specific Date” for the Compliance Due Date Range. You will then be able to view all the compliance submittal requirements for your project. Select the compliance item that you are ready to submit and then attach the appropriate information or form. The forms to comply with your permit conditions are available at [www.sjrwmd.com/permitting](http://www.sjrwmd.com/permitting) under the section “Handbooks, forms, fees, final orders”. Click on forms to view all permit compliance forms, then scroll to the ERP application forms section and

**GOVERNING BOARD**

Rob Bradley, CHAIR  
FLEMING ISLAND

Maryam H. Ghyabi-White, VICE CHAIR  
ORMOND BEACH

J. Chris Peterson, SECRETARY  
WINTER PARK

Ron Howse, TREASURER  
COCOA

Ryan Atwood  
MOUNT DORA

Doug Bourmique  
VERO BEACH

Douglas Burnett  
ST. AUGUSTINE

Cole Oliver  
MERRITT ISLAND

Janet Price  
FERNANDINA BEACH



select the applicable compliance forms. Alternatively, if you have difficulty finding forms or need copies of the appropriate forms, please contact the Bureau of Regulatory Support at (386) 329-4570.

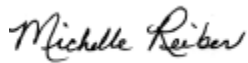
**Transferring Your Permit:**

Your permit requires you to notify the District within 30 days of any change in ownership or control of the project or activity covered by the permit, or within 30 days of any change in ownership or control of the real property on which the permitted project or activity is located or occurs. You will need to provide the District with the information specified in rule 62-330.340, Florida Administrative Code (F.A.C.). Generally, this will require you to complete and submit Form 62-330.340(1), "Request to Transfer Permit," available at <http://www.sjrwmd.com/permitting/permitforms.html>.

Please note that a permittee is liable for compliance with the permit before the permit is transferred. The District, therefore, recommends that you request a permit transfer in advance in accordance with the applicable rules. You are encouraged to contact District staff for assistance with this process.

Thank you and please let us know if you have additional questions. For general questions contact e-permit@sjrwmd.com or (386) 329-4570.

Sincerely,



Michelle Reiber, Bureau Chief  
Division of Regulatory Services  
St. Johns River Water Management District  
525 Community College Parkway, S.E.  
Palm Bay, FL 32909  
(321) 409-2129

Enclosures: Permit  
Notice of Rights  
List of Newspapers for Publication

cc: District Permit File

Darcy Unroe  
Unroe Engineering  
2750 Taylor Ave Ste A-3  
Orlando, FL 32806-4474

**ST. JOHNS RIVER WATER MANAGEMENT DISTRICT**  
**Post Office Box 1429**  
**Palatka, Florida 32178-1429**

**PERMIT NO:** 102286-13

**DATE ISSUED:** September 26, 2022

**PROJECT NAME:** Whispering Shores - Permit Extension

**A PERMIT AUTHORIZING:**

Minor Modification of Permit #IND-069-102286-9 for Whispering Shores to include a five-year extension of time for the construction as per plans received by the District on September 21, 2017.

**LOCATION:**

Section(s): 36                      Township(s): 20S                      Range(s): 25E  
Lake County

**Receiving Water Body:**

Name	Class
Little Lake Harris	III Fresh, IW

**ISSUED TO:**

Red Jacket Development Group  
625 Waltham Ave  
Orlando, FL 32809-4205

The permittee agrees to hold and save the St. Johns River Water Management District and its successors harmless from any and all damages, claims, or liabilities which may arise from permit issuance. Said application, including all plans and specifications attached thereto, is by reference made a part hereof.

This permit does not convey to the permittee any property rights nor any rights or privileges other than those specified herein, nor relieve the permittee from complying with any law, regulation or requirement affecting the rights of other bodies or agencies. All structures and works installed by permittee hereunder shall remain the property of the permittee.

This permit may be revoked, modified or transferred at any time pursuant to the appropriate provisions of Chapter 373, Florida Statutes.

**PERMIT IS CONDITIONED UPON:**

See conditions on attached "Exhibit A", dated September 26, 2022

**AUTHORIZED BY:** St. Johns River Water Management District  
Division of Regulatory Services

By:



\_\_\_\_\_  
Sandra Joiner  
Supervising Professional Engineer



**"EXHIBIT A"**  
**CONDITIONS FOR ISSUANCE OF PERMIT NUMBER 102286-13**  
**Whispering Shores - Permit Extension**  
**DATED September 26, 2022**

1. All activities shall be implemented following the plans, specifications and performance criteria approved by this permit. Any deviations must be authorized in a permit modification in accordance with Rule 62-330.315, F.A.C. Any deviations that are not so authorized may subject the permittee to enforcement action and revocation of the permit under Chapter 373, F.S.
2. A complete copy of this permit shall be kept at the work site of the permitted activity during the construction phase, and shall be available for review at the work site upon request by the District staff. The permittee shall require the contractor to review the complete permit prior to beginning construction.
3. Activities shall be conducted in a manner that does not cause or contribute to violations of state water quality standards. Performance-based erosion and sediment control best management practices shall be installed immediately prior to, and be maintained during and after construction as needed, to prevent adverse impacts to the water resources and adjacent lands. Such practices shall be in accordance with the State of Florida Erosion and Sediment Control Designer and Reviewer Manual (Florida Department of Environmental Protection and Florida Department of Transportation June 2007), and the Florida Stormwater Erosion and Sedimentation Control Inspector's Manual (Florida Department of Environmental Protection, Nonpoint Source Management Section, Tallahassee, Florida, July 2008), which are both incorporated by reference in subparagraph 62-330.050(9)(b)5, F.A.C., unless a project-specific erosion and sediment control plan is approved or other water quality control measures are required as part of the permit.
4. At least 48 hours prior to beginning the authorized activities, the permittee shall submit to the District a fully executed Form 62-330.350(1), "Construction Commencement Notice," (October 1, 2013) (<http://www.flrules.org/Gateway/reference.asp?No=Ref-02505>), incorporated by reference herein, indicating the expected start and completion dates. A copy of this form may be obtained from the District, as described in subsection 62-330.010(5), F.A.C., and shall be submitted electronically or by mail to the Agency. However, for activities involving more than one acre of construction that also require a NPDES stormwater construction general permit, submittal of the Notice of Intent to Use Generic Permit for Stormwater Discharge from Large and Small Construction Activities, DEP Form 62-621.300(4)(b), shall also serve as notice of commencement of construction under this chapter and, in such a case, submittal of Form 62-330.350(1) is not required.
5. Unless the permit is transferred under Rule 62-330.340, F.A.C., or transferred to an operating entity under Rule 62-330.310, F.A.C., the permittee is liable to comply with the plans, terms and conditions of the permit for the life of the project or activity.
6. Within 30 days after completing construction of the entire project, or any independent portion of the project, the permittee shall provide the following to the Agency, as applicable:
  - a. For an individual, private single-family residential dwelling unit, duplex, triplex, or quadruplex — "Construction Completion and Inspection Certification for Activities Associated with a Private Single-Family Dwelling Unit" [Form 62-330.310(3)]; or
  - b. For all other activities — "As-Built Certification and Request for Conversion to Operation Phase" [Form 62-330.310(1)].

- c. If available, an Agency website that fulfills this certification requirement may be used in lieu of the form.
7. If the final operation and maintenance entity is a third party:
- a. Prior to sales of any lot or unit served by the activity and within one year of permit issuance, or within 30 days of as-built certification, whichever comes first, the permittee shall submit, as applicable, a copy of the operation and maintenance documents (see sections 12.3 thru 12.3.4 of Volume I) as filed with the Florida Department of State, Division of Corporations and a copy of any easement, plat, or deed restriction needed to operate or maintain the project, as recorded with the Clerk of the Court in the County in which the activity is located.
  - b. Within 30 days of submittal of the as- built certification, the permittee shall submit "Request for Transfer of Environmental Resource Permit to the Perpetual Operation and Maintenance Entity" [Form 62-330.310(2)] to transfer the permit to the operation and maintenance entity, along with the documentation requested in the form. If available, an Agency website that fulfills this transfer requirement may be used in lieu of the form.
8. The permittee shall notify the District in writing of changes required by any other regulatory District that require changes to the permitted activity, and any required modification of this permit must be obtained prior to implementing the changes.
9. This permit does not:
- a. Convey to the permittee any property rights or privileges, or any other rights or privileges other than those specified herein or in Chapter 62-330, F.A.C.;
  - b. Convey to the permittee or create in the permittee any interest in real property;
  - c. Relieve the permittee from the need to obtain and comply with any other required federal, state, and local authorization, law, rule, or ordinance; or
  - d. Authorize any entrance upon or work on property that is not owned, held in easement, or controlled by the permittee.
10. Prior to conducting any activities on state-owned submerged lands or other lands of the state, title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund, the permittee must receive all necessary approvals and authorizations under Chapters 253 and 258, F.S. Written authorization that requires formal execution by the Board of Trustees of the Internal Improvement Trust Fund shall not be considered received until it has been fully executed.
11. The permittee shall hold and save the District harmless from any and all damages, claims, or liabilities that may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any project authorized by the permit.
12. The permittee shall notify the District in writing:
- a. Immediately if any previously submitted information is discovered to be inaccurate; and
  - b. Within 30 days of any conveyance or division of ownership or control of the property or the system, other than conveyance via a long-term lease, and the new owner shall request transfer of the permit in accordance with Rule 62-330.340, F.A.C. This does



not apply to the sale of lots or units in residential or commercial subdivisions or condominiums where the stormwater management system has been completed and converted to the operation phase.

13. Upon reasonable notice to the permittee, District staff with proper identification shall have permission to enter, inspect, sample and test the project or activities to ensure conformity with the plans and specifications authorized in the permit.
14. If prehistoric or historic artifacts, such as pottery or ceramics, projectile points, stone tools, dugout canoes, metal implements, historic building materials, or any other physical remains that could be associated with Native American, early European, or American settlement are encountered at any time within the project site area, the permitted project shall cease all activities involving subsurface disturbance in the vicinity of the discovery. The permittee or other designee shall contact the Florida Department of State, Division of Historical Resources, Compliance Review Section (DHR), at (850) 245-6333, as well as the appropriate permitting agency office. Project activities shall not resume without verbal or written authorization from the Division of Historical Resources. If unmarked human remains are encountered, all work shall stop immediately and the proper authorities notified in accordance with Section 872.05, F.S. For project activities subject to prior consultation with the DHR and as an alternative to the above requirements, the permittee may follow procedures for unanticipated discoveries as set forth within a cultural resources assessment survey determined complete and sufficient by DHR and included as a specific permit condition herein.
15. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered binding unless a specific condition of this permit or a formal determination under Rule 62-330.201, F.A.C., provides otherwise.
16. The permittee shall provide routine maintenance of all components of the stormwater management system to remove trapped sediments and debris. Removed materials shall be disposed of in a landfill or other uplands in a manner that does not require a permit under Chapter 62-330, F.A.C., or cause violations of state water quality standards.
17. This permit is issued based on the applicant's submitted information that reasonably demonstrates that adverse water resource-related impacts will not be caused by the completed permit activity. If any adverse impacts result, the District will require the permittee to eliminate the cause, obtain any necessary permit modification, and take any necessary corrective actions to resolve the adverse impacts.
18. A Recorded Notice of Environmental Resource Permit may be recorded in the county public records in accordance with Rule 62-330.090(7), F.A.C. Such notice is not an encumbrance upon the property.
19. At a minimum, all retention and detention storage areas must be excavated to rough grade prior to building construction or placement of impervious surface within the area to be served by those facilities. To prevent reduction in storage volume and percolation rates, all accumulated sediment must be removed from the storage area prior to final grading and stabilization.
20. All wetland areas or water bodies that are outside the specific limits of construction authorized by this permit must be protected from erosion, siltation, scouring or excess turbidity, and dewatering.
21. The operation and maintenance entity shall inspect the stormwater or surface water management system once within two years after the completion of construction and every

two years thereafter to determine if the system is functioning as designed and permitted. The operation and maintenance entity must maintain a record of each required inspection, including the date of the inspection, the name and contact information of the inspector, and whether the system was functioning as designed and permitted, and make such record available for inspection upon request by the District during normal business hours. If at any time the system is not functioning as designed and permitted, then within 30 days the entity shall submit a report electronically or in writing to the District using Form 62-330.311(1), "Operation and Maintenance Inspection Certification," describing the remedial actions taken to resolve the failure or deviation.

- 22. This permit does not authorize the permittee to cause any adverse impact to or "take" of state listed species and other regulated species of fish and wildlife. Compliance with state laws regulating the take of fish and wildlife is the responsibility of the owner or applicant associated with this project. Please refer to Chapter 68A-27 of the Florida Administrative Code for definitions of "take" and a list of fish and wildlife species. If listed species are observed onsite, FWC staff are available to provide decision support information or assist in obtaining the appropriate FWC permits. Most marine endangered and threatened species are statutorily protected and a "take" permit cannot be issued. Requests for further information or review can be sent to [FWCConservationPlanningServices@MyFWC.com](mailto:FWCConservationPlanningServices@MyFWC.com).
- 23. The proposed surface water management system shall be constructed and operated in accordance with the plans received by the District on September 21, 2017.
- 24. This permit for construction will expire on September 22, 2027.



## Notice Of Rights

1. A person whose substantial interests are or may be affected has the right to request an administrative hearing by filing a written petition with the St. Johns River Water Management District (District). Pursuant to Chapter 28-106 and Rule 40C-1.1007, Florida Administrative Code, the petition must be filed (received) either by delivery at the office of the District Clerk at District Headquarters, P. O. Box 1429, Palatka Florida 32178-1429 (4049 Reid St., Palatka, FL 32177) or by e-mail with the District Clerk at [Clerk@sjrwmd.com](mailto:Clerk@sjrwmd.com), within twenty-six (26) days of the District depositing the notice of District decision in the mail (for those persons to whom the District mails actual notice), within twenty-one (21) days of the District emailing the notice of District decision (for those persons to whom the District emails actual notice), or within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail or email actual notice). A petition must comply with Sections 120.54(5)(b)4. and 120.569(2)(c), Florida Statutes, and Chapter 28-106, Florida Administrative Code. The District will not accept a petition sent by facsimile (fax), as explained in paragraph no. 4 below.
2. Please be advised that if you wish to dispute this District decision, mediation may be available and that choosing mediation does not affect your right to an administrative hearing. If you wish to request mediation, you must do so in a timely-filed petition. If all parties, including the District, agree to the details of the mediation procedure, in writing, within 10 days after the time period stated in the announcement for election of an administrative remedy under Sections 120.569 and 120.57, Florida Statutes, the time limitations imposed by Sections 120.569 and 120.57, Florida Statutes, shall be tolled to allow mediation of the disputed District decision. The mediation must be concluded within 60 days of the date of the parties' written agreement, or such other timeframe agreed to by the parties in writing. Any mediation agreement must include provisions for selecting a mediator, a statement that each party shall be responsible for paying its pro-rata share of the costs and fees associated with mediation, and the mediating parties' understanding regarding the confidentiality of discussions and documents introduced during mediation. If mediation results in settlement of the administrative dispute, the District will enter a final order consistent with the settlement agreement. If mediation terminates without settlement of the dispute, the District will notify all the parties in writing that the administrative hearing process under Sections 120.569 and 120.57, Florida Statutes, is resumed. Even if a party chooses not to engage in formal mediation, or if formal mediation does not result in a settlement agreement, the District will remain willing to engage in informal settlement discussions.
3. A person whose substantial interests are or may be affected has the right to an informal administrative hearing pursuant to Sections 120.569 and 120.57(2), Florida Statutes, where no material facts are in dispute. A petition for an informal hearing must also comply with the requirements set forth in Rule 28-106.301, Florida Administrative Code.

## Notice Of Rights

4. A petition for an administrative hearing is deemed filed upon receipt of the complete petition by the District Clerk at the District Headquarters in Palatka, Florida during the District's regular business hours. The District's regular business hours are 8:00 a.m. – 5:00 p.m., excluding weekends and District holidays. Petitions received by the District Clerk after the District's regular business hours shall be deemed filed as of 8:00 a.m. on the District's next regular business day. The District's acceptance of petitions filed by e-mail is subject to certain conditions set forth in the District's Statement of Agency Organization and Operation (issued pursuant to Rule 28-101.001, Florida Administrative Code), which is available for viewing at [sjrwmd.com](http://sjrwmd.com). These conditions include, but are not limited to, the petition being in the form of a PDF or TIFF file and being capable of being stored and printed by the District. Further, pursuant to the District's Statement of Agency Organization and Operation, attempting to file a petition by facsimile is prohibited and shall not constitute filing.
5. Failure to file a petition for an administrative hearing within the requisite timeframe shall constitute a waiver of the right to an administrative hearing. (Rule 28-106.111, Florida Administrative Code).
6. The right to an administrative hearing and the relevant procedures to be followed are governed by Chapter 120, Florida Statutes, Chapter 28-106, Florida Administrative Code, and Rule 40C-1.1007, Florida Administrative Code. Because the administrative hearing process is designed to formulate final agency action, the filing of a petition means the District's final action may be different from the position taken by it in this notice. A person whose substantial interests are or may be affected by the District's final action has the right to become a party to the proceeding, in accordance with the requirements set forth above.
7. Pursuant to Section 120.68, Florida Statutes, a party to the proceeding before the District who is adversely affected by final District action may seek review of the action in the District Court of Appeal by filing a notice of appeal pursuant to Rules 9.110 and 9.190, Florida Rules of Appellate Procedure, within 30 days of the rendering of the final District action.
8. A District action is considered rendered, as referred to in paragraph no. 7 above, after it is signed on behalf of the District and filed by the District Clerk.
9. Failure to observe the relevant timeframes for filing a petition for judicial review as described in paragraph no. 7 above will result in waiver of that right to review.

NOR.Decision.DOC.001  
Revised 12.7.11



## NOTICING INFORMATION

Please be advised that the St. Johns River Water Management District will not publish a notice in the newspaper advising the public that it has issued a permit for this project.

Newspaper publication, using the District's notice form, notifies members of the public of their right to challenge the issuance of the permit. If proper notice is given by newspaper publication, then there is a 21-day time limit for someone to file a petition for an administrative hearing to challenge the issuance of the permit.

To close the point of entry for filing a petition, you may publish (at your own expense) a one-time notice of the District's decision in a newspaper of general circulation within the affected area as defined in Section 50.011 of the Florida Statutes. If you do not publish a newspaper notice to close the point of entry, the time to challenge the issuance of your permit will not expire and someone could file a petition even after your project is constructed.

A copy of the notice form and a partial list of newspapers of general circulation are attached for your convenience. However, you are not limited to those listed newspapers. If you choose to close the point of entry and the notice is published, the newspaper will return to you an affidavit of publication. In that event, it is important that you either submit a scanned copy of the affidavit by emailing it to [compliancesupport@sjrwmd.com](mailto:compliancesupport@sjrwmd.com) (preferred method) or send a copy of the original affidavit to:

Office of Records and Regulatory Support  
4049 Reid Street  
Palatka, FL 32177

If you have any questions, please contact the Office of Records and Regulatory Support at (386) 329-4570.

NOTICE OF AGENCY ACTION TAKEN BY THE  
ST. JOHNS RIVER WATER MANAGEMENT DISTRICT

Notice is given that the following permit was issued on \_\_\_\_\_:

(Name and address of applicant) \_\_\_\_\_  
permit# \_\_\_\_\_. The project is located in \_\_\_\_\_ County, Section  
\_\_\_\_\_, Township \_\_\_\_\_ South, Range \_\_\_\_\_ East. The permit authorizes a surface  
water management system on \_\_\_\_\_ acres for  
\_\_\_\_\_ known as  
\_\_\_\_\_. The receiving water body is \_\_\_\_\_.

A person whose substantial interests are or may be affected has the right to request an administrative hearing by filing a written petition with the St. Johns River Water Management District (District). Pursuant to Chapter 28-106 and Rule 40C-1.1007, Florida Administrative Code (F.A.C.), the petition must be filed (received) either by delivery at the office of the District Clerk at District Headquarters, P.O. Box 1429, Palatka FL 32178-1429 (4049 Reid St, Palatka, FL 32177) or by e-mail with the District Clerk at Clerk@sjrwm.com, within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail or email actual notice). A petition must comply with Sections 120.54(5)(b)4. and 120.569(2)(c), Florida Statutes (F.S.), and Chapter 28-106, F.A.C. The District will not accept a petition sent by facsimile (fax). Mediation pursuant to Section 120.573, F.S., may be available and choosing mediation does not affect your right to an administrative hearing.

A petition for an administrative hearing is deemed filed upon receipt of the complete petition by the District Clerk at the District Headquarters in Palatka, Florida during the District's regular business hours. The District's regular business hours are 8 a.m. – 5 p.m., excluding weekends and District holidays. Petitions received by the District Clerk after the District's regular business hours shall be deemed filed as of 8 a.m. on the District's next regular business day. The District's acceptance of petitions filed by e-mail is subject to certain conditions set forth in the District's Statement of Agency Organization and Operation (issued pursuant to Rule 28-101.001, Florida Administrative Code), which is available for viewing at www.sjrwm.com. These conditions include, but are not limited to, the petition being in the form of a PDF or TIFF file and being capable of being stored and printed by the District. Further, pursuant to the District's Statement of Agency Organization and Operation, attempting to file a petition by facsimile (fax) is prohibited and shall not constitute filing.

The right to an administrative hearing and the relevant procedures to be followed are governed by Chapter 120, Florida Statutes, Chapter 28-106, Florida Administrative Code, and Rule 40C-1.1007, Florida Administrative Code. Because the administrative hearing process is designed to formulate final agency action, the filing of a petition means the District's final action may be different from the position taken by it in this notice. **Failure to file a petition for an administrative hearing within the requisite time frame shall constitute a waiver of the right to an administrative hearing. (Rule 28-106.111, F.A.C.)**

If you wish to do so, please visit [http://www.sjrwm.com/nor\\_dec/](http://www.sjrwm.com/nor_dec/) to read the complete Notice of Rights to determine any legal rights you may have concerning the District's decision(s) on the permit application(s) described above. You can also request the Notice of Rights by contacting the Director of Office of Records and Regulatory Support, 4049 Reid St., Palatka, FL 32177-2529, tele. no. (386)329-4570.



**NEWSPAPER ADVERTISING****ALACHUA**

The Alachua County Record, Legal Advertising  
P. O. Box 806  
Gainesville, FL 32602  
352-377-2444/ fax 352-338-1986

**BRAFORD**

Bradford County Telegraph, Legal Advertising  
P. O. Drawer A  
Starke, FL 32901  
904-964-6305/ fax 904-964-8628

**CLAY**

Clay Today, Legal Advertising  
1560 Kinsley Ave., Suite 1  
Orange Park, FL 32073  
904-264-3200/ fax 904-264-3285

**FLAGLER**

Flagler Tribune, c/o News Journal  
P. O. Box 2831  
Daytona Beach, FL 32120-2831  
386-681-2322

**LAKE**

Daily Commercial, Legal Advertising  
P. O. Drawer 490007  
Leesburg, FL 34749  
352-365-8235/fax 352-365-1951

**NASSAU**

News-Leader, Legal Advertising  
P. O. Box 766  
Fernandina Beach, FL 32035  
904-261-3696/fax 904-261-3698

**ORANGE**

Sentinel Communications, Legal Advertising  
633 N. Orange Avenue  
Orlando, FL 32801  
407-420-5160/ fax 407-420-5011

**PUTNAM**

Palatka Daily News, Legal Advertising  
P. O. Box 777  
Palatka, FL 32178  
386-312-5200/ fax 386-312-5209

**SEMINOLE**

Sanford Herald, Legal Advertising  
300 North French Avenue  
Sanford, FL 32771  
407-323-9408

**BAKER**

Baker County Press, Legal Advertising  
P. O. Box 598  
Macclenny, FL 32063  
904-259-2400/ fax 904-259-6502

**BREVARD**

Florida Today, Legal Advertising  
P. O. Box 419000  
Melbourne, FL 32941-9000  
321-242-3832/ fax 321-242-6618

**DUVAL**

Daily Record, Legal Advertising  
P. O. Box 1769  
Jacksonville, FL 32201  
904-356-2466 / fax 904-353-2628

**INDIAN RIVER**

Treasure Coast News  
760 NW Enterprise Dr.  
Port St. Lucie, FL 34986  
772-283-5252

**MARION**

Ocala Star Banner, Legal Advertising  
2121 SW 19th Avenue Road  
Ocala, FL 34474  
352-867-4010/fax 352-867-4126

**OKEECHOBEE**

Okeechobee News, Legal Advertising  
P. O. Box 639  
Okeechobee, FL 34973-0639  
863-763-3134/fax 863-763-5901

**OSCEOLA**

Little Sentinel, Legal Advertising  
633 N. Orange Avenue  
Orlando, FL 32801  
407-420-5160/ fax 407-420-5011

**ST. JOHNS**

St. Augustine Record, Legal Advertising  
P. O. Box 1630  
St. Augustine, FL 32085  
904-819-3439

**VOLUSIA**

News Journal Corporation, Legal Advertising  
P. O. Box 2831  
Daytona Beach, FL 32120-2831  
(386) 681-2322

GRIFFEY ENGINEERING, INC.

Whispering Heights Construction Plans – 6th Submittal  
Engineering Review Comments  
Page 1

Add lift station details WW-10 & WW-10A to the plan [This comment was not addressed in the resubmittal].

No construction shall commence until all applicable outside agency permits are provided to the Town.



**Town of Howey in the Hills, Florida**  
**SRO Cost Projections**  
**FY 2020- 2021**

Pos #	Job Classification	Employee Name	Allocat %	Ann Hrs	Hourly Rate	Benefits								Administrative Costs	Total Salary/Benefits 12-Month	
						Total Salary 12 Month	BW EE Paid 're-Tax De	FICA	Def Ben Pension	BW City Paid d Ins - 1-1	Annual City Paid Med Ins	Life Ins	Workers Comp			Total Benefits
1	School Safety Officer	LifeStreams Academy	100%	2,236	19.80	\$44,273		\$3,387	\$11,954		\$8,695	\$302	\$1,342	\$25,680	\$14,610	\$84,563
			100%			\$0		\$0	\$0							\$0

liability insurance cost for increased number of officers?  
 medical insurance increases?  
 COLA/5% pay increase?

**\$84,563**

40 hours of work at school a week  
 school holidays are given to them  
 How many summer vacation hours are covered by school?  
 We get them in July, but they go for training, and vacations need to be covered

Normal workyear is 260 days (5 days X 52 weeks)

Schooldays	186
SRO training days	5
Crisis intervention (SRO req)	2.5
Juv. Mental Health	0.5
Autism	0.5
Active Shooter	1
FASRO conf. (opt.)	5
sick	12
vacation	12
Howey Quarterly training	4
summer camp (potential)	0
<b>229</b>	

(This leaves about 31 days)

**Total  
Salary/Benefits  
10-Month**

\$70,469

**\$70,469**



Town of Howey in the Hills, Florida  
 SRO Cost Projections  
 FY 2020- 2021

Pos #	Job Classification	Employee Name	Allocat %	Ann Hrs	Hourly Rate	Benefits										Administrative Costs	Total Salary/Benefits 12-Month	Total Salary/Benefits 10-Month
						Total Salary 12 Month	BW EE Paid re-Tax De	FICA	Def Ben Pension	BW City Paid d Ins - 1-1	Annual City Paid Med Ins	Life Ins	Workers Comp	Total Benefits				
1	School Safety Officer	LifeStreams Academy	100% 100%	2,236	19.80	\$44,273 \$0		\$3,387 \$0	\$11,954 \$0		\$8,695	\$302	\$1,342	\$25,680	\$14,610	\$84,563 \$0	\$70,469	
1	School Safety Officer	LifeStreams Academy	100% 100%	2,236	24.50	\$54,782 \$0		\$4,191 \$0	\$14,791 \$0		\$11,043	\$302	\$2,388	\$32,715		\$84,563 \$87,497 \$0	\$70,469 \$72,914	
											\$8,695				14610	\$87,497	\$72,914	
											\$11,043							

Town of Howey in the Hills, Florida  
 SRO Cost Projections  
 FY 2020- 2021

Pos #	Job Classification	Employee Name	Allocat %	Ann Hrs	Hourly Rate	Benefits										Administrative Costs *	Total Salary/Benefits 12-Month	Total Salary/Benefits 10-Month
						Total Salary 12 Month	BW EE Paid re-Tax De	FICA	Def Ben Pension	BW City Paid d Ins - 1-1	Annual City Paid Med Ins	Life Ins	Workers Comp	Total Benefits				
1	School Safety Officer	LifeStreams Academy	100%	2,236	19.80	\$44,273		\$3,387	\$11,954		\$8,695	\$302	\$1,342	\$25,680	\$14,610	\$84,563	\$70,469	
			100%			\$0		\$0	\$0							\$0		
1	School Safety Officer	LifeStreams Academy	100%	2,236	19.80	\$44,273		\$3,387	\$11,954		\$8,695	\$302	\$1,930	\$26,268	\$14,610	\$85,150	\$70,959	
			100%			\$0		\$0	\$0							\$0		
																\$85,150	\$70,959	

Training (Req. & Adv.)  
 Vacation  
 Sick  
 Incidentals (uniform, etc)



**24-25 SRO projections**

NAME	Ann Hrs	Anticipated 5% increase	Total Salary	FICA	28.12%	Anticipated 10% increase	Life Ins	Workers Comp	Total Benefits	12 months	10 months
		Hourly Rate			Def Ben Pension	City Paid Med Ins				Total Salary/Benefits	Total Salary/Benefits
Monroe (SRO)	2,236	22.05	\$49,304	\$3,772	\$13,864	\$10,824	\$240	\$2,145	\$30,845	\$80,149	\$66,791
Corman (SRO)	2,236	21.22	\$47,448	\$3,630	\$13,342	\$10,824	\$240	\$2,020	\$30,056	\$77,504	\$64,587
Corbitt (SRO)	2,236	21.22	\$47,448	\$3,630	\$13,342	\$17,424	\$240	\$1,984	\$36,620	\$84,068	\$70,057
			144,199.64	11,031.27	40,548.94	39,072.00	720.00	6,149.00	97,521.21	\$241,720.85	\$201,434.04

**Current Salaries**

Monroe (SRO)	2,236	21.00	\$46,956	\$3,592	\$13,204	\$9,840	\$240	\$2,145	\$29,021	\$75,977	\$63,314
Corman (SRO)	2,236	20.21	\$45,190	\$3,457	\$12,707	\$9,840	\$240	\$2,020	\$28,264	\$73,454	\$61,212
Corbitt (SRO)	2,236	20.21	\$45,190	\$3,457	\$12,707	\$15,840	\$240	\$1,984	\$34,228	\$79,418	\$66,182
			137,335.12	10,506.14	38,618.64	35,520.00	720.00	6,149.00	91,513.77	\$228,848.89	\$190,707.41

**AGREEMENT BETWEEN THE SCHOOL BOARD OF LAKE COUNTY, FLORIDA,  
AND THE TOWN OF HOWEY IN THE HILLS, FOR  
SCHOOL RESOURCE OFFICER PROGRAM [2024-2025]**

This **AGREEMENT** is entered into by and between the **Town of Howey in the Hills**, a Florida municipal corporation, hereinafter referred to as “**LAW ENFORCEMENT AGENCY**” and the **School Board of Lake County, Florida**, a political subdivision of the State of Florida, hereinafter referred to as “**SCHOOL BOARD**”.

**WITNESSETH:**

**WHEREAS**, the **SCHOOL BOARD** is seeking three (3) School Resource Officers (SROs) to interact with students during the regular class schedule and at extra-curricular school activities so as to provide additional security to students, school personnel, the school community and school property; and

**WHEREAS**, the **LAW ENFORCEMENT AGENCY** is willing to place three (3) **Town of Howey in the Hills** Police Officers at **Lake Hills School (1), Academy at Lake Hills North (1), Lake Success Academy (1)** for the purpose of carrying out this school program.

**NOW, THEREFORE**, in and for consideration of the mutual covenants contained herein and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the parties hereby agree that the **LAW ENFORCEMENT AGENCY** will provide three (3) sworn **Town of Howey in the Hills** Police Officers who are certified pursuant to Section 943.10(1) *Florida Statutes* to the **SCHOOL BOARD** to act as SROs at the three (3) designated schools under the terms and conditions of this Agreement.

1. Term of Agreement. The term of this Agreement shall be for the next school year, beginning the 12<sup>th</sup> day of August 2024 through the last day of school for students in May 2025.

2. Compensation. The **SCHOOL BOARD** will pay the **Town of Howey in the Hills** an amount equivalent to the exact services rendered for that portion of the salary and benefits of the SRO(s) directly attributable to services performed provided pursuant to the terms of this Agreement. Such compensation shall be invoiced to the **SCHOOL BOARD** by the **LAW ENFORCEMENT AGENCY** in monthly installments following the services rendered for the month, commencing on the 1<sup>st</sup> day of September 2024 for services rendered beginning August 12,



2024 and continuing on the 1<sup>st</sup> day of each month thereafter until the term of the contract has expired. Invoices shall be paid by the SCHOOL BOARD within fifteen (15) days of receipt. In the event that The Board of County Commissioners of Lake County, Florida, agrees to pay for any or all of the police officers assigned to the schools pursuant to this Agreement, then the LAW ENFORCEMENT AGENCY agrees that the SCHOOL BOARD may assign its obligation to pay under this section to The Board of County Commissioners of Lake County, Florida.

3. Scope. The LAW ENFORCEMENT AGENCY shall assign an SRO for three (3) designated schools. The SROs shall interact with students and provide security at the three (3) designated schools. In addition, the SROs shall have the duties and responsibilities listed in Exhibit “A” attached hereto.

4. Background Investigations. The LAW ENFORCEMENT AGENCY represents and warrants to the SCHOOL BOARD that the LAW ENFORCEMENT AGENCY has read and is familiar with Sections 1012.32, 1012.465, 1012.467 and 1012.468, *Florida Statutes* regarding background investigations. The LAW ENFORCEMENT AGENCY covenants to comply with all requirements of the above-cited statutes and shall provide SCHOOL BOARD with proof of compliance upon request. The LAW ENFORCEMENT AGENCY agrees, to the extent permitted by law and only to the extent permitted by 768.28, *Florida Statutes*, to indemnify and hold harmless the SCHOOL BOARD, it’s officers, agents and employees from any liability in the form of physical injury, death, or property damage resulting from the LAW ENFORCEMENT AGENCY’s failure to comply with the requirements of this paragraph or Florida Statute Sections, 1012.32, 1012.465, 1012.467 and 1012.468, *Florida Statutes*. Any claim against the LAW ENFORCEMENT AGENCY by the SCHOOL BOARD under the preceding sentence shall not include punitive damages or any interest for the period before judgment. Additionally, the LAW ENFORCEMENT AGENCY shall not be liable pursuant to this indemnity to pay a claim or judgment by any one person which exceeds the sum of \$200,000 or any claim or judgment, or portions thereof, which, when totaled with all other claims or judgments paid by the LAW ENFORCEMENT AGENCY arising out of the incident or occurrence, exceeds the sum of \$300,000. Further, nothing in this paragraph shall be construed as an admission of liability on behalf of the LAW ENFORCEMENT AGENCY.

5. Assignment of Officers. The LAW ENFORCEMENT AGENCY shall determine which SROs will be assigned under this Agreement and will also determine the particular school to which the SROs will be assigned to. The LAW ENFORCEMENT AGENCY shall provide a notice of the assigned SROs to the school principals of the three (3) designated schools. In the event that the principal of the school where the SRO is assigned believes that the particular SRO is not effectively performing his/her duties and responsibilities, the Principal shall notify the SCHOOL BOARD's Director of Safety and Security in writing. If the situation is not corrected within three (3) working days, the SCHOOL BOARD's Director of Safety and Security shall contact the SRO's immediate supervisor and the Superintendent in writing and provide a copy of said notice to each of them. If the situation is not resolved to the mutual satisfaction of the SRO's immediate supervisor the SCHOOL BOARD's Director of Safety and Security and the Superintendent within ten (10) days, or if, during the same contract period, the Principal determines for a second time that the SRO is not effectively performing his/her duties and responsibilities, then the Principal shall recommend to the SCHOOL BOARD's Director of Safety and Security and Superintendent that the SRO be removed from the program at his/her school, and shall state the reasons as well as the efforts to resolve the problems in writing. The Superintendent, or his/her designee, shall review the request and, if approved, shall provide written notification to the LAW ENFORCEMENT AGENCY who shall transfer the SRO or take other appropriate action within ten (10) business days. In the event the Principal considers the SRO's conduct to present a threat to the safety or well-being of the students or staff, the principal will immediately notify the SCHOOL BOARD's Director of Safety and Security, Superintendent, and the LAW ENFORCEMENT AGENCY. Upon receipt of such notification, the LAW ENFORCEMENT AGENCY shall take appropriate and necessary action.

6. Dismissal/Replacement/Absence. The LAW ENFORCEMENT AGENCY may dismiss or reassign SROs with or without cause. In the event of the resignation, dismissal, or reassignment of an SRO, or in the case of long-term absences by an SRO, the LAW ENFORCEMENT AGENCY shall provide a temporary replacement for the SRO as soon as practical.

7. Leaves/Coverage. The Chief of Police or another designated scheduling officer will approve vacations, sick leaves, and other leaves of absence for the SRO. The SRO will



communicate approved vacation, sick leaves, trainings or any other leave that impacts SRO presence in schools with the SCHOOL BOARD's Director of Safety and Security. LAW ENFORCEMENT AGENCY shall provide coverage of an SRO during any time in which the SRO will be off campus of the school to include, but not be limited to vacations, sick leaves, other leaves of absence, or due to other related assignments.

8. Hours of Assignment. The SROs will be stationed at the three (3) designated schools for eighty (80) hours per two-week period, Monday through Friday, as assigned and scheduled by the respective school Principal and as approved by the LAW ENFORCEMENT AGENCY.

9. Additional Hours of Assignment. Additional hours of assignment during a two-week period may be made with prior approval of the LAW ENFORCEMENT AGENCY, if requested by the respective school Principal. If the additional hours worked requires additional compensation be paid to the SROs, the LAW ENFORCEMENT AGENCY will include this additional compensation on the next monthly invoice to be paid by the SCHOOL BOARD.

10. Off Campus Assignments. Upon the request of the respective school Principal and with the prior approval of the LAW ENFORCEMENT AGENCY, an SRO's duties may occasionally include his/her assignment at school functions and activities that are held off campus.

11. Reassignment in Emergency Situations. Nothing in this Agreement shall prevent or interfere with the ability of the LAW ENFORCEMENT AGENCY to temporarily withdraw an assigned SRO from his/her post at the three (3) designated schools to respond to emergency situations as determined in the sole judgment and discretion of the LAW ENFORCEMENT AGENCY.

12. Supervising Authority. During the term of this Agreement, the SROs assigned shall remain employees of the LAW ENFORCEMENT AGENCY, under the authority of the chain of command of the LAW ENFORCEMENT AGENCY, and subject to all other rules and regulations of the LAW ENFORCEMENT AGENCY. The SROs will report to their respective school Principal for assignment of duties and work schedules, including the extracurricular activities during the regular school day, for up to eighty (80) hours for each officer per two-week period.

Each SRO shall remain, at all times, an employee of the LAW ENFORCEMENT AGENCY. Workers Compensation coverage, as required by law, will be provided for the officer by the LAW ENFORCEMENT AGENCY.

13. Salary and Benefits. The LAW ENFORCEMENT AGENCY will provide the salary and benefits to each SRO assigned, including uniforms and equipment and any applicable overtime pay as agreed to above.

14. Vehicle. The LAW ENFORCEMENT AGENCY will provide vehicles for SROs if or when determined necessary by the LAW ENFORCEMENT AGENCY.

15. Threats to School Safety.

A. Pursuant to Section 1006.13(4), *Florida Statutes*, any acts that pose a threat to school safety, whether committed by a student or adult, shall be reported to the School Principal, or his or her designee, who shall report the acts to the SRO and the SCHOOL BOARD's Director of Safety and Security or SCHOOL BOARD's District Threat Management Coordinator.

B. If requested by the School Principal, or his or her designee, the SRO, or other appropriate law enforcement officers, shall assist in the investigation of the acts that pose a threat to school safety; upon conclusion of the investigation, the SRO shall report the findings of the investigation to the SCHOOL BOARD's Director of Safety and Security, or SCHOOL BOARD's District Threat Management Coordinator to properly document the disposition of the incident. Additionally, the School Principal, or his or her designee, shall consult with SRO concerning appropriate delinquent acts and crimes.

16. Termination of Agreement. This Agreement may be terminated by either party upon thirty (30) days written notice. Notice shall be deemed given as of the date of deposit of such written NOTICE in the course of transmission in the United States Postal Service and addressed as follows:



SCHOOL BOARD:

Superintendent of Schools  
School Board of Lake County  
201 West Burleigh Boulevard  
Tavares, FL 32778

LAW ENFORCEMENT  
AGENCY:

Chief of Police  
Town of Howey Police Department  
111 North Palm Avenue  
Howey in the Hills, FL 34737

Upon termination pursuant to this subsection, payment will be made by the SCHOOL BOARD or reimbursement made by the LAW ENFORCEMENT AGENCY based on a pro rata charge for services for that portion of the school year covered by this Agreement prior to termination.

17. Entire Agreement. This Agreement embodies the entire agreement and understanding between the parties with respect to the subject matter hereto and supersedes all prior Agreements, representations and understandings either oral, written or otherwise relating thereto.

**IN WITNESS WHEREOF**, the parties hereto have executed this Agreement on the respective dates under each signature.

**“SCHOOL BOARD”**

**THE SCHOOL BOARD OF LAKE COUNTY,  
FLORIDA**

By: \_\_\_\_\_  
Mollie Cunningham, Chairperson

Date: \_\_\_\_\_

Approved as to form:

Attest: \_\_\_\_\_  
Diane S. Kornegay, Superintendent

\_\_\_\_\_  
School Board Attorney

**“LAW ENFORCEMENT AGENCY”**  
**TOWN OF HOWEY IN THE HILLS, FLORIDA**

By: \_\_\_\_\_  
Martha MacFarlane, Mayor

Date: \_\_\_\_\_

Approved as to form:

Attest: \_\_\_\_\_  
Signature / Title

\_\_\_\_\_  
Town of Howey Attorney



**EXHIBIT "A"**

In addition to the routine duties and responsibilities of the SROs, the SROs shall have the following specific duties and responsibilities:

1. Each SRO shall at all times perform his/her duties in accordance with Town of Howey Police Department's standard operating procedures.
2. The SRO shall serve as resource instructors providing programs in crime prevention that encourage students to become responsible citizens.
3. The SRO shall also assist the orderly flow of traffic on school grounds.
4. Each SRO shall maintain all law enforcement powers, duties, and responsibilities inclusive of his/her position as Town of Howey Police Officers while assigned to the SRO program.
5. Each SRO shall be responsible to his/her agency in all matters relating to employment; however, activities conducted by the SRO which are part of the regular school instruction program shall be under the direction of the Principal or his/her designee.
6. Each SRO shall be at his/her school during normal school hours of operation and shall utilize the school's computer-based visitor management system to sign in and out to verify attendance. During times that the SRO is unable to be on campus or need to leave campus, those times will be coordinated with the Principal or his/her designee and each SRO's supervisor. The SRO supervisor will assure that the School has a replacement SRO on campus.
7. The SRO shall perform such duties as directed by his/her agency when school is not in session. The Principal or his/her designee shall advise the Officer's supervisor of the school's calendar.
8. The SRO may contact students during school hours in conjunction with a criminal investigation so long as such contact does not interfere with or impede the orderly operation of the school or the rights of the individual students.
9. All student record information will be maintained in accordance with the provisions of Florida Statutes.
10. The SRO shall interface with students between class breaks, during lunch periods, before and after school and at school activities at which the SRO is in attendance. The SRO will not be assigned to a permanent school related duty post so as not to establish predictable patterns.
11. In the interest of maintaining a safe and orderly school environment, student and campus supervision is of critical importance. The SRO shall take a prominent role in supervision responsibilities, which shall be coordinated with and agreed to by the SRO and the designated

school Principal. While school is in session, the SRO shall be present on and around the school campus except as permitted in paragraph 6 of this Exhibit A.

12. The SRO shall serve as a referral resource for students, faculty, and parents to community agencies.

13. The SRO shall serve as a Law Enforcement resource to school administration and the District Director of Safety and Security.

14. The SRO shall be familiar and offer support with the plans and strategies for the prevention and control of dangerous situations at the school.

15. The SRO shall be familiar with and shall remain up to date with school safety legislation, specifically Rule 6A-1.0018, F.A.C. and all corresponding Florida Statutes. Accordingly, the SRO shall assist school administration with ensuring compliance with State legislation and District best practices.

16. The SRO, or a designated officer of the LAW ENFORCEMENT AGENCY, shall serve as the mandated sworn law enforcement officer on the School-Based Threat Management Team (SBTMT); and accordingly will complete the required Florida Harm Prevention and Threat Management Model (Florida Model) training in accordance with State Board Rule 6A-1.0018, F.A.C. and §1006.07, Florida Statutes.

17. The SRO and responding LAW ENFORCEMENT AGENCY shall be present and shall actively participate in all active assailant drills, as per State Board Rule 6A-1.0018, F.A.C. [House Bill 1421 (2022)]. The presence of the SRO and each Officer shall be documented in the After Action Report submitted by school administration.

18. The SRO, in accordance with §394.463, Florida Statutes, shall take the lead with or assist District mental health personnel with initiating involuntary examinations for students and staff who meet criteria as defined in Statutes.

19. The SRO will coordinate / consult with the Florida Department of Children and Families (DCF) as necessary to provide necessary support for children and / or families in need.

20. The SRO shall coordinate activities with the school administration and the school guidance department in an effort to identify those students who exhibit indications of early delinquent behavior.

21. The SRO shall attend meetings of school faculty and requested administrative meetings during school hours on a regular basis.

22. The SRO shall not act as a school disciplinarian, as disciplining students is a school responsibility. However, the principal shall contact the SRO for any violations of the law, and the SRO shall determine whether law enforcement action is appropriate.



23. The SRO shall take law enforcement action as necessary and as permitted under Florida law and shall inform the school Principal of such action unless it would impede a criminal investigation, under such circumstances as practical. The SRO shall take appropriate law enforcement action against intruders and unwanted guests who may appear at the school and related school functions, to the extent that the SRO may do so under the authority of law. Whenever practical, the SRO shall advise the Principal before requesting additional law enforcement assistance on campus.

24. The SRO shall be informed by school personnel of any situation occurring on school grounds that would appear to be a violation of the law of criminal nature.

25. The SRO shall maintain detailed accurate records of his/her activities, and provide a written daily report to the LAW ENFORCEMENT AGENCY who shall provide such information to the Safety and Security Department of the SCHOOL BOARD.

26. The SRO and school administration shall work together to keep each other informed during the course of all criminal investigations as permitted by law and as practical. This provision shall not be interpreted so as to interfere with or impede the SRO's law enforcement duties, obligations, and/or powers.

27. The SRO shall work with school administration when determining whether an arrest should be made, or if there is an alternative solution to the incident which would still be in compliance with Florida law. The final decision on whether arrest is appropriate will lie with the attending SRO or other law enforcement officer on scene at the incident. This provision shall not be interpreted so as to interfere with or impede the SRO's law enforcement duties, obligations, or powers.

28. The SRO shall affect a physical arrest for felonies committed on school grounds, particularly those that are "Zero Tolerance", as permitted by law.

29. The SRO shall give assistance to other law enforcement officers and government agencies in matters regarding his/her school assignment, whenever necessary.

30. The parties shall comply with the provisions of the Family Educational Rights and Privacy Act ("FERPA").

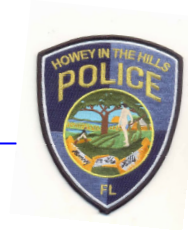
		(07/01/2023 - 06/30/2024)						
	Hrly rate	20.21	20.21	21.46	Avg. 20.62			
		(07/01/2023) - 06/30/2024)						
Object	Object Description	Corbitt	Corman	Knox		12 mths	10 mths	
120	Salaries	45,189.56	45,195.15	47,979.68		138,364.39	115,303.66	
130	Police - Reserve Salaries							
131	Events Payroll							
150	Police - Incentive Pay	480.00	480.00	720.00		1,680.00	1,400.00	Fla Law requirement
211	FICA	3,457.00	3,457.43	3,670.45		10,584.88	8,820.73	
220	Police Retirement Contribution	11,722.17	11,723.62	12,445.93		35,891.72	29,909.77	
230	Life & Health Ins.	15,840.00	9,840.00	9,840.00		62,592.97	52,160.81	
240	Workers' Compensation	1,738.06	1,738.06	1,845.56		5,321.68	4,434.73	
<b>Total Payroll Expenses</b>		<b>78,426.79</b>	<b>72,434.26</b>	<b>76,501.61</b>		<b>254,435.64</b>	<b>212,029.70</b>	
						<b>Ics offer</b>	<b>192,623.00</b>	
Difference not covered by contract for 3 officers							\$42,405.94	
cost difference from 22/23 FY								
						salary adj	7,371.00	
							\$35,034.94	
340	Other Contractual Services	Power dms, spillman						
					876.92	876.92	876.92	8,769.20
342	Software & Annual Maintenance			divided by				-
343	Special Events			13 officers	-	-	-	-
350	Pre Employment Screening				-	-	-	-
400	Travel & Per Diem				-	-	-	-
410	Telephone & Communications	cell px, mifi			1,320.00	1,320.00	1,320.00	3,960.00
420	Freight/Postage/Shipping				-	-	-	-
430	Utility Services				-	-	-	-
440	Rentals & Leases	radios/maint.						
					455.00	455.00	455.00	1,365.00
451	Insurance-Vehicle				744.00	545.00	744.00	2,033.00
460	R & M - Equipment				-	-	-	-
461	R & M - Computer Maint				-	-	-	-
462	R & M - Building				-	-	-	-
463	R & M - Vehicles				86.05	4,989.55	99.50	5,175.10
490	Miscellaneous Expenses				-	-	-	-
510	Office Supplies				-	-	-	-
520	Operating Supplies				-	-	-	-
522	Gas & Oil				1,319.00	2,100.00	3,100.00	6,519.00
523	Uniforms				680.00	368.00	-	3,680.00
525	Weapons				-	-	-	-
540	Dues and Subscriptions				-	-	-	-
550	Training/Education/Tuition				-	-	-	-
640	Cap Outlay - Equipment (Grant)				-	-	-	-
650	Cap Outlay - Vehicles (Grant/Paid)				-	-	-	-
804	PD Vest Grant - 23/24				-	-	-	-
					-	-	-	-



					5,480.97	10,654.47	6,595.42	31,501.30	
								<b>21,367.10</b>	Actual costs for 3 officers
	22/23 over \$120,000 in grant funds							<b>56,402.04</b>	Grand total for the 3 officers, including salaries & expenses.
	23/24 over \$160,000 in grant funds								
	23/24 declined cleaning service savings of \$1334.64								

TOWN OF HOWEY-IN-THE-HILLS  
**POLICE DEPARTMENT**

111 North Palm Avenue, Howey-In-The-Hills, FL 34737



Office: (352) 324-2030  
Fax: (352) 324-0523

Item 5.

July 8, 2024

Attached are the SRO costs the Town Council requested. Below are billet points of the attached documents:

1. To do a complete analysis of the costs, I used the school boards fiscal year of July 1, 2023, to June 30, 2024.
2. The difference from 12 months and 10 months is \$42,405.94. Since their fiscal year covered two separate budget cycles, I deducted the salary difference from 2023 and 2024. The cost adjustment is \$7371.00, which brings the Town's cost down to \$35,034.94
3. The remaining budget line items totaled \$31,501.30. Budget line items 340 & 440 were deducted, since these are contract and/or blocked based. The new total is \$21501.30.
4. The total costs combined are \$56,402.04, for 3 officers or \$18,800.68 per officer.





**MEMO**

To: Town Council

CC:

From: John Brock, Town Clerk

RE: June 2024 Month-End Town Hall Report

Date: 07/04/2024

**Utility Billing:**

Top Utility Bill Bad Debt for June 2024

account	last_payment_amount	last_payment_date	comments	current_charges	past_due_amount	service_address
0319-00	300.00	6/3/2024	Resident on a payment plan for the past due amount due to leak.	77.15	\$748.19	1009 N Hamlin Ave
0285-00	310.31	08/02/23	Disconnected for non-payment. Water meter is locked. Will Lien. House is empty	55.99	\$556.96	504 E Mission Lane
0541-00	\$50.00	06/10/24	Partial payments being made. Phone #s on file not in service. Bank paying \$50 each month. House is empty	\$77.15	\$218.10	503 Camino Real Blvd
0239-00	100.00	05/22/24	Related to water leak 9/22, resident in assisted living, home is empty. Family making \$100 payments monthly. Property Liened and will be removed when paid. House is empty	55.99	209.21	607 N Lakeshore Bld
0533-00	100.00	05/20/24	History of late payment. Door tagged for non payment. Water turned-off. House is empty	86.56	\$133.77	600 E Revels Road
0495-00	\$396.88	04/23/24	History of late payment. Door tagged for non payment. Water turned-off. House is empty	\$83.53	\$77.15	202 Camino Real Blvd

**Building Permits:**

PERMITS	TOTAL Q1	TOTAL Q2	Apr 24	May 24	June 24	TOTAL Q3	TOTAL Q4
Talichet - SFR	1	0	0	0	0	0	0
Venezia TH SFR	16	17	6	0	11	17	0
Independent - SFR	0	1	1	0	0	1	0
Bldg Com. (Sign)	0	0	0	0	0	0	0
Building	3	3	2	0	1	3	0
Doors	0	2	1	1	1	3	0
Electrical	2	0	0	0	0	0	0
Fence	5	5	1	3	3	7	0
Gas	1	1	0	1	0	1	0
HVAC / Mechanical	3	3	1	1	2	4	0
Plumbing	1	1	0	1	1	2	0
Pool/Decks	2	0	0	1	0	1	0
Re-Roof	13	3	6	3	1	10	0
Screen Enclosure	1	4	0	1	0	1	0
Sheds	1	1	0	1	0	1	0
Solar	6	3	4	6	1	11	0
Windows	2	4	0	4	1	5	0
<b>Monthly Totals</b>	<b>57</b>	<b>48</b>	<b>22</b>	<b>23</b>	<b>22</b>	<b>67</b>	<b>0</b>
<i>Monthly Permit Amount</i>	<b>\$237,420.02</b>	<b>\$214,634.18</b>	\$93,530.09	\$10,171.72	\$133,951.85	<b>\$237,653.66</b>	<b>\$0.00</b>
CO: Talichet - SFR	5	9	0	0	2	2	0
CO: Venezia Townhome	29	9	5	0	15	20	0
CO:Independent - SFR	0	0	0	0	0	0	0



# Activity Log Event Summary (Cumulative Totals)

Howey-in-the-Hills PD  
(06/01/2024 - 06/30/2024)

<No Event Type Specified>	4	Abandoned 911	3
Alarm Activation	8	Animal Complaint	5
Anti-Social Behavior	6	Arrest	1
Assist other Agency- Back-up	5	Assist other Agency- In Progress calls	12
Assist other Agency- Medical Call	1	Assist other Agency- Other	2
Assist other Agency- Traffic	5	Attempt to Contact	2
Be on the look-out- BOLO	1	Case Follow-Up	1
Child Neglect-Abuse	1	Citizen Assist	2
Civil Complaint-Legal Advice	3	Criminal Mischief	1
Disabled Vehicle (DAV)	10	Found / Lost Property	1
Found/Lost Property - Business	1	Fraud Investigation	1
Hazardous Materials	1	Juvenile Complaint	1
Mental Health Illness	1	Noise Complaint	2
Patrol	277	Patrol-Busines	1
Patrol-School	77	Property Check-Boat Ramp	25
Property Check-Business	55	Property Check-Residence	6
Property Check-Schools/Govt. Bldg.	34	Property Check-Town Property	127
Public Relations	7	Reckless Driver	4
Road Hazard	3	Security Check Request	13
Sick/Injured Person	8	Solicitor Complaint	1
Special Detail	1	Stolen/Recovered-Vehicle	3
Suspicious Incident	5	Suspicious Person	1
Suspicious Vehicle	1	Traffic Crash	2
Traffic Stop-Civil Citation	69	Traffic Stop-Criminal Citation	3
Traffic Stop-warning	70	Traffic Watch	57
Training-	9	Trespassing Complaint	3
Well Being Check	1		

**Total Number Of Events: 944**



## STAFF REPORT

**TO:** Sean Okeefe & John Brock

**FROM:** Chief Rick Thomas

**DATE:** July 1, 2024

**RE:** Residual Grant-vehicles

- 1) I am requesting to purchase two vehicles from a dealership in Georgia.
- 2) I have not located any in Florida and none of the allocations have been approved by Ford yet.
- 3) The cost of the truck(s) is: \$51,500 & \$49,200 for a total of \$100,700.
- 4) Piggyback contract FSA23-VEL31.0: Pursuit, Administrative, & Other Vehicles, Government Bid Management System (G.B.M.S) price concession
- 5) The costs are covered by the Residual Grant, we will need to pick up the trucks to save money on shipping them here.





**Government Bid Management System (GBMS)**

JAMEYREED (J-REE216)

Purpose:New Bid; State:FL-Florida; FIN:QL161-TOWN OF HOWEY IN THE HILLS; Bid Open Date :06/26/2024; Vehicle Line:24 - F-150 ; Model Year:2024; Body Code & Name:W1P-F150 POL RESP ; GPC Type:All

State	Model Year	Vehicle Line	Body Code & Name	Option Discounts	GPC Req #	GPC (\$)	Price Level	Bid Open / Reference # Start Date	Reference # Issue Date	FIN	GPC Type	Reference #	Expiration Date
FL	2024	24 - F-150	W1P - F150 POL RESP			2600	000	05/22/2023	06/22/2023		PIGGYBACK	04974R	
FL	2024	24 - F-150	W1P - F150 POL RESP			2300	000	09/05/2023	06/08/2023		LOCAL	Reveal	

Brannen Motor Company

(478) 488-0450 ext. 21V 498  
DEALER

VIN 1FTFW1P8XRKD99379

Item 7.

FL50 4X4 SUPERCREW POLICE	51610.00
SPECIAL DEALER ACCOUNT ADJUSTM	
SPECIAL FLEET ACCOUNT CREDIT	
1003-418R05/23/23GA	
2024 MODEL YEAR	
UM AGATE BLACK METALLIC	
PB BLACK 40/BLANK/40	
INCLUDED ON THIS VEHICLE	
EQUIPMENT GROUP 150A	
XL SERIES	
OPTIONAL EQUIPMENT/OTHER	
998 3.5L V6 ECOBOOST	
44G ELEC TEN-SPEED AUTO TRANS	
.LT265/70R18C BSW ALL-TERRAIN	
.3.31 ELECTRONIC LOCK RR AXLE	
7075# GVWR PACKAGE	
JOB #2 ORDER	
FORD FLEET SPECIAL ADJUSTMENT	NC
153 FRONT LICENSE PLATE BRACKET	NC
18B BLACK PLATFORM RUNNING BOARDS	255.00
425 50 STATE EMISSIONS	NC
595 FOG LAMPS	145.00
64H 18" ALUMINUM WHEELS	485.00
67E REMOTE KEYLESS-ENTRY KEY FOB	350.00
SPCL. DLR. ACCT. ADJ. CR.	
TOTAL OPTIONS/OTHER	1235.00
TOTAL VEHICLE & OPTIONS/OTHER	52845.00
DESTINATION & DELIVERY	1995.00
<b>TOTAL FOR VEHICLE</b>	<b>54840.00</b>
FUEL CHARGE	
NET INVOICE FLEET OPTION (B4A)	
SHIPPING WEIGHT 4891 LBS.	
<b>TOTAL</b>	<b>54840.00</b>

**Total = \$51,500.00**

Sold to Brannen Motor Company P.O. BOX 746 Unadilla		21V498 GA 31091		Order Type 5B	Ramp Code CH7Z	Batch ID RD302	Price Level 415
Ship to (if other than above)		Date Inv. Prepared 04 30 24		Item Number 21-0926		Transit Days 23	
		Ship Through					
Invoice & Unit Identification NO. 1FTFW1P8XRKD99379		Final Assembly Point KANSAS CITY		Finance Company and/or Bank GM Financial		018263	

Dealer's copy



F15M 4X4 SUPERCREW - 145	46650.00
SPECIAL DEALER ACCOUNT ADJUSTM	
SPECIAL FLEET ACCOUNT CREDIT	
1009-855P05/27/22GA'	
2023 MODEL YEAR	
M7 CARBONIZED GRAY METALLIC	
FB BLACK 40/BLANK/40	
INCLUDED ON THIS VEHICLE	
EQUIPMENT GROUP 140A	
XL SERIES	
OPTIONAL EQUIPMENT/OTHER	
.17" SILVER STEEL WHEELS	
995 5.0L V8 ENGINE	NC
44G ELEC TEN-SPEED AUTO W/TOW MODE	
.265/70R 17 BSW ALL-TERRAIN	
XL3 3.31 ELECTRONIC LOCK RR AXLE	420.00
7050# GVWR PACKAGE	
JOB #2 ORDER	
FORD FLEET SPECIAL ADJUSTMENT	NC
153 FRONT LICENSE PLATE BRACKET	NC
18B BLACK PLATFORM RUNNING BOARDS	250.00
425 50 STATE EMISSIONS	NC
53A TRAILER TOW PACKAGE	1325.00
.INTEGRATED TRAILER BRAKE CONT	
67F REMOTE KEYLESS-ENTRY KEY FOB	340.00
FLEX FUEL VEHICLE	
SPCL. DLR. ACCT. ADJ. CR.	
TOTAL OPTIONS/OTHER	2335.00
TOTAL VEHICLE & OPTIONS/OTHER	48985.00
DESTINATION & DELIVERY	1795.00
<hr/>	
TOTAL FOR VEHICLE	50780.00
FUEL CHARGE	
NET INVOICE FLEET OPTION (B4A)	
SHIPPING WEIGHT 4750 LBS.	
TOTAL	50780.00

Total= \$49,200.00 (includes admin. console)

Sold to Brannen Motor Company P.O. BOX 746 Unadilla		21B498 GA 31091		Order Type 5B	Ramp Code CH7Z	Batch ID PL282	Price Level 315
Ship to (if other than above)				Date Inv. Prepared 11 28 23		Item Number 21-0934	Transit Days 44
				Ship Through			
Invoice & Unit Identification NO. 1FTFW1T51PKF98880		Final Assembly Point KANSAS CITY		Finance Company and/or Bank GM Financial		018263	

This invoice to be used for the billing of vehicles only

Dealer's copy

# Town Council Open Monthly Case Report

06/01/2024 - 06/30/2024

Case Date	Parcel Address	Violation Type	Violation Type	Main Status	Date Closed
6/26/2024	300 E CROTON WAY	Overgrowth	Property Maintenance	Open	
6/26/2024	109 W MAGNOLIA AVE	No Tree Permit	Zoning Chapter 7	Open	
6/18/2024	107 E LAUREL	Yard Waste	Garbage	Open	
6/14/2024	115 ISLAND DR	Overgrowth	Property Maintenance	Closed	6/25/2024
6/14/2024	126 E CYPRESS AVE	Junk	Garbage	Open	
6/7/2024	BELLISSIMO PL	OVERGROWTH	Property Maintenance	Open	
6/6/2024	E MYRTLE ST	Overgrowth	Property Maintenance	Closed	6/13/2024

Total Records: 7

7/8/2024



# Town Council Closed Monthly Case Report

06/01/2024 - 06/30/2024

Main Status	Parcel Address	Violation Type	Violation Type	Case Date	Date Closed
Closed	115 ISLAND DR	Overgrowth	Property Maintenance	6/14/2024	6/25/2024
Closed	E MYRTLE ST	Overgrowth	Property Maintenance	6/6/2024	6/13/2024
Closed	118 E MAGNOLIA AVE	Overgrowth	Property Maintenance	5/20/2024	6/13/2024
Closed	N HAMLIN AVE	Overgrowth	Property Maintenance	5/17/2024	6/7/2024
Closed	N TANGERINE AVE	Overgrowth	Property Maintenance	5/17/2024	6/7/2024
Closed	E MAGNOLIA AVE	Tree Removed without permit	Zoning Chapter 7	5/7/2024	6/17/2024
Closed	448 AVILA PL	No Building Permit	Permits	3/4/2024	6/14/2024
Closed	118 SIXTH AVE	Life Safety (No Pool Barrier)	Zoning Chapter 5	2/26/2024	6/11/2024

**Total Records: 8**

**7/8/2024**



## Public Utilities

### June 2024– Monthly Report

Activity	Location/ Address	Notes
Locates	Throughout Town	53 utility locates
Service Orders	Throughout Town	30 service orders
Repairs	Well3	Cl2 injector replaced, well 3 offline for 10 days. Well 3 hydro tank flushed.





## Public Works

### June 2024 – Monthly Report

Activity	Location/ Address	Notes
Road Maintenance / Potholes	Throughout Town	PW staff has filled potholes and drop-offs throughout Town
Stormwater/Drainage	N. Lakeshore Blvd	PW staff has cleaned out stormwater inlets along N. Lakeshore Blvd.
Sidewalk Maintenance/Repair		
Building Maintenance	Town Hall	Pest control fumigated both inside and outside the Town Hall for spiders.
Grounds Maintenance	Library	PW staff trimmed plants in front of the library
Tree Trimming/Tree Removal/Stump Removal	805 N Lakeshore Blvd 109 E Cypress Ave	PW Staff removed fallen tree limbs at 805 N Lakeshore Blvd. PW Staff removed fallen tree limb at 19 E Cypress Ave.
Mowing/Weed Eating	Main Water Plant Well # 3 Lakeshore Blvd Cemetery Blevins Park Little Lake Harris Shoreline	Monthly Maintenance mowing, weed eating and edging. Monthly Mowing of Town Right of Way 9 Acre – Town Owned Parcel Contractor is mowing the Little Lake Harris Shoreline
Pre-Grade Inspections Landscape/Irrigation Inspections Sidewalk Inspections	Talichet  Talichet 2  Venezia Townhomes  In Field Lots	0 – Pre-Grade Inspection - SFR 1 – Final Lot Grading Inspection - SFR 1 – Final Landscape Inspection - SFR 0 – Sidewalk Inspection – SFR  0 – Pre-Grade Inspection – SFR 2 – Final Lot Grading Inspection 2 – Final Landscape Inspection 0 – Sidewalk Inspection  6 – Pre-Grade Inspections – Town Home 17 – Final Lot Grading Inspection – Town Home 17 – Final Landscape Inspection – Town Home 17 – Sidewalk Inspection – Town Home  0 – Final Lot Grading Inspection
Lot Grading Plan Reviews Landscape/Irrigation Plan Reviews	Talichet Phase 2 Venezia Town Homes	0 – Lot Grading Plan/Landscape/Irrigation Reviews 0 – Lot Grading Plan Reviews

## Additional Updates:

- **Sara Maude Mason Nature Preserve nature trail is open to the public:**
  - The boardwalk will stay closed. (Unsafe for pedestrian traffic)
  - Town Staff is working with FEMA Funding of reimbursement on the cost for repairs to the boardwalk.
  - The Public Works Director has completed the RFP for the Reconstruction of the Sara Maude Mason Boardwalk. The Town has selected a contractor for the Sara Maude Mason Boardwalk Restoration Project.
  - Town Attorney is reviewing the contract for the Sara Maude Mason Boardwalk Restoration Project.
  - Contract has been signed with Contractor, permitting in process, construction to start soon.
  
- **Pine Park Update:**
  - The Town Engineer has designed a concept plan of Pine Park with amenities that include a driveway, parking area with handicap spaces, pickle ball courts, restrooms, pavilions, playgrounds, bike trail and trails connecting to Venezia HOA property for Venezia resident access.
  - The Town Engineer is working with FDOT on a Driveway Permit for Pine Park. Once the permit has been issued, the Town will start construction on the driveway.
  - Trees have been removed, new sign is being made, Contractor will start constructing the driveway 2<sup>nd</sup> week of July.
  
- **LCWA Stormwater Grant Update:**
  - The Public Works is working with SJRWMD for any permitting required for the project.
  - The Public Works Director is in contact with LCWA for all grant reports and requirements.
  - The Town Engineer completed the survey for the Project Site to determine the high-water line, wetland delineation. He is currently working on the design process.
  
- **FDEM Lift Station #1 and Lift Station #2 Bypass Pump Grant Update:**
  - The Public Works Director is working with FDEM on both grant applications during the grant review process.
  - The Public Works Director is in contact with FDEM staff to provide additional documents and information needed during the review process.
  
- **N. Citrus Avenue Update:**
  - The survey has been completed; the Town has received a signed copy of the survey.
  - The Town Engineer has completed the Road Design Plan.
  - Town Manager and PW Director are working with residents on right of way and replat.
  
- **Historical Water Tower Update:**
  - The Water Tower Condition Assessment Inspection has been completed by USG Water Solutions.
  - Public Works staff has applied for National Historical Registry.
  - Public Works staff has applied for Historical Restoration Grant.





**2023**  
**Annual Drinking Water Quality Report**  
**Town of Howey in the Hills**  
**PWS #3350573**

*We're very pleased to provide you with this year's Annual Water Quality Report. We want to keep you informed about the excellent water and services we have delivered to you over the past year. Our goal is and always has been, to provide to you a safe and dependable supply of drinking water. Our water source is the Floridan Aquifer pulling ground water from wells; we use aeration to reduce hydrogen sulfide, add chlorine for disinfection and use a polyphosphate for corrosion control.*

In 2023 the Florida Department of Environmental Protection performed a Source Water Assessment on our system. The assessment was conducted to provide information about any potential sources of contamination in the vicinity of our wells. There are 3 potential sources of contamination identified for this system with a low susceptibility level. The assessment results are available on the FDEP SWAPP website <https://prodapps.dep.state.fl.us/swapp/>

- *This report shows our water quality results and what they mean.*

*If you have any questions about this report or concerning your water utility, please contact Mark McKinnon at (352) 242-7805. We encourage our valued customers to be informed about their water utility. If you want to learn more, please attend any of our regularly scheduled meetings. They are held on the second Monday of each month at 6:00 PM at the town hall.*

*The Town of Howey in the Hills routinely monitors for contaminants in your drinking water according to Federal and State laws, rules, and regulations. Except where indicated otherwise, this report is based on the results of our monitoring for the period of January 1 to December 31, 2023. Data obtained before January 1, 2023 and presented in this report are from the most recent testing done in accordance with the laws, rules, and regulations.*

*In the table below, you may find unfamiliar terms and abbreviations. To help you better understand these terms we've provided the following definitions:*

*Maximum Contaminant Level or MCL: The highest level of a contaminant that is allowed in drinking water. MCLs are set as close to the MCLGs as feasible using the best available treatment technology.*

*Maximum Contaminant Level Goal or MCLG: The level of a contaminant in drinking water below which there is no known or expected risk to health. MCLGs allow for a margin of safety.*

*Action Level (AL): The concentration of a contaminant which, if exceeded, triggers treatment or other requirements that a water system must follow.*

*Initial Distribution System Evaluation (IDSE): An important part of the Stage 2 Disinfection By-Products Rule (DBPR). The IDSE is a one-time study conducted by water systems to identify distribution system locations with high concentrations of trihalomethanes (THMs) and haloacetic acids (HAAs). Water systems will use results from the IDSE, in conjunction with their Stage 1 DBPR compliance monitoring data, to select compliance monitoring locations for the Stage 2 DBPR.*

*Maximum residual disinfectant level or MRDL: The highest level of a disinfectant allowed in drinking water. There is convincing evidence that addition of a disinfectant is necessary for control of microbial contaminants.*

*Maximum residual disinfectant level goal or MRDLG: The level of a drinking water disinfectant below which there is no known or expected risk to health. MRDLGs do not reflect the benefits of the use of disinfectants to control microbial contaminants.*

*Millirem per year (mrem/yr): measure of radiation absorbed by the body.*

*"ND" means not detected and indicates that the substance was not found by laboratory analysis.*

*Parts per billion (ppb) or Micrograms per liter ( $\mu\text{g}/\text{l}$ ): one part by weight of analyte to 1 billion parts by weight of the water sample.*

*Parts per million (ppm) or Milligrams per liter ( $\text{mg}/\text{l}$ ): one part by weight of analyte to 1 million parts by weight of the water sample.*

*Picocurie per liter ( $\text{pCi}/\text{L}$ ): measure of the radioactivity in water.*

*Treatment Technique (TT): A required process intended to reduce the level of a contaminant in drinking water.*



Contaminant and Unit of Measurement	Dates of sampling (mo./yr.)	MCL Violation Y/N	Level Detected	Range of Results	MCLG	MCL	Likely Source of Contamination
<b>Inorganic Contaminants</b>							
Barium (ppm)	5/2021	N	0.016	0.0118-.0016	2	2	Discharge of drilling wastes; discharge from metal refineries; erosion of natural deposits
Chromium (ppb)	5/2021	N	1.3	1.2-1.3	100	100	Discharge from steel and pulp mills; erosion of natural deposits
Nitrate (as Nitrogen) (ppm)	3/2023	N	.675	ND-1.82	10	10	Runoff from fertilizer use; leaching from septic tanks, sewage; erosion of natural deposits
Sodium (ppm)	5/2021	N	8.33	5.6-8.33	N/A	160	Salt water intrusion, leaching from soil

<b>Stage 2 Disinfectants and Disinfection By-Products</b>							
Disinfectant or Contaminant and Unit of Measurement	Dates of sampling (mo./yr.)	MCL or MRDL Violation Y/N	Level Detected	Range of Results	MCLG or MRDLG	MCL or MRDL	Likely Source of Contamination
Chlorine (ppm)	1/2023-12/2023	N	1.44	0.8-2.05	MRDLG = 4	MRDL = 4.0	Water additive used to control microbes
Haloacetic Acids (five) (HAA5) (ppb)	8/23-11/23	N	35.2	9-35.2	NA	MCL = 60	By-product of drinking water disinfection
TTHM [Total trihalomethanes] (ppb)	8/23-11/23	Y	313	15.25-313	NA	MCL = 80	By-product of drinking water disinfection

Contaminant and Unit of Measurement	Dates of sampling (mo./yr.)	AL Exceeded (Y/N)	90th Percentile Result	No. of sampling sites exceeding the AL	MCLG	AL (Action Level)	Likely Source of Contamination
<b>Lead and Copper (Tap Water)</b>							
Copper (tap water) (ppm)	7/2021	N	.252	0	1.3	1.3	Corrosion of household plumbing systems; erosion of natural deposits; leaching from wood preservatives

In August of 2023 we exceeded the MCL for TTHM's. Subsequent testing has shown no other exceedances for this contaminate. We also missed on quarter of testing for Disinfection By-Products. We have taken steps to ensure that this does not happen again.

Haloacetic acids (five) (HAA5): Some people who drink water containing haloacetic acids in excess of the MCL over many years may have an increased risk of getting cancer.

TTHM [Total Trihalomethanes]. Some people who drink water containing trihalomethanes in excess of the MCL over many years may experience problems with their liver, kidneys, or central nervous systems, and may have an increased risk of getting cancer.

If present, elevated levels of lead can cause serious health problems, especially for pregnant women and young children. Lead in drinking water is primarily from materials and components associated with service lines and home plumbing. The Town of Howey in the Hills is responsible for providing high quality drinking water but cannot control the variety of materials used in plumbing components. When your water has been sitting for several hours, you can minimize the potential for lead exposure by flushing your tap for 30 seconds to 2 minutes before using water for drinking or cooking. If you are concerned about lead in your water, you may wish to have your water tested. Information on lead in drinking water, testing methods, and steps you can take to minimize exposure is available from the Safe Drinking Water Hotline or at <http://www.epa.gov/safewater/lead>.

*The sources of drinking water (both tap water and bottled water) include rivers, lakes, streams, ponds, reservoirs, springs, and wells. As water travels over the surface of the land or through the ground, it dissolves naturally occurring minerals and, in some cases, radioactive material, and can pick up substances resulting from the presence of animals or from human activity.*

*Contaminants that may be present in source water include:*

- (A) *Microbial contaminants, such as viruses and bacteria, which may come from sewage treatment plants, septic systems, agricultural livestock operations, and wildlife.*
- (B) *Inorganic contaminants, such as salts and metals, which can be naturally occurring or result from urban stormwater runoff, industrial or domestic wastewater discharges, oil and gas production, mining, or farming.*
- (C) *Pesticides and herbicides, which may come from a variety of sources such as agriculture, urban stormwater runoff, and residential uses.*
- (D) *Organic chemical contaminants, including synthetic and volatile organic chemicals, which are by-products of industrial processes and petroleum production, and can also come from gas stations, urban stormwater runoff, and septic systems.*
- (E) *Radioactive contaminants, which can be naturally occurring or be the result of oil and gas production and mining activities.*

*In order to ensure that tap water is safe to drink, the EPA prescribes regulations, which limit the number of certain contaminants in water provided by public water systems. The Food and Drug Administration (FDA) regulations establish limits for contaminants in bottled water, which must provide the same protection for public health.*

*Drinking water, including bottled water, may reasonably be expected to contain at least small amounts of some contaminants. The presence of contaminants does not necessarily indicate that the water poses a health risk. More information about contaminants and potential health effects can be obtained by calling the Environmental Protection Agency's Safe Drinking Water Hotline at 1-800-426-4791.*

*Thank you for allowing us to continue providing your family with clean, quality water this year. In order to maintain a safe and dependable water supply, we sometimes need to make improvements that will benefit all of our customers. These improvements are sometimes reflected as rate structure adjustments. Thank you for understanding.*

*Some people may be more vulnerable to contaminants in drinking water than the general population. Immuno-compromised persons such as persons with cancer undergoing chemotherapy, persons who have undergone organ transplants, people with HIV/AIDS or other immune system disorders, some elderly, and infants can be particularly at risk from infections. These people should seek advice about drinking water from their health care providers. EPA/CDC guidelines on appropriate means to lessen the risk of infection by *Cryptosporidium* and other microbiological contaminants are available from the Safe Drinking Water Hotline (800-426-4791).*

*We at Howey in the Hills would like you to understand the efforts we make to continually improve the water treatment process and protect our water resources. We are committed to insuring the quality of your water. If you have any questions or concerns about the information provided, please feel free to call any of the numbers listed.*





**Library Director's Report  
Marianne Beck Memorial Library  
For the Month of June 2024**

**Statistics for June 2024:**

There are no County Statistics at this time.

**Lake County Library System Update:**

The contract with Comcast for the County computers will begin on or after July 1<sup>st</sup>. Summit will continue to provide month-to-month service at all locations until Comcast is installed at each site. The county will continue to request reimbursements from Summit for the next couple of months. Billing for Comcast will not begin until service is switched over at each location. At that point, the bill from Comcast will reflect the 90% discounted rate that we will each be responsible for paying.

**Funds collected for June:**

**Copies/Fax:** \$35.05 **Fines:** \$89.80 **Total:** \$124.95

**Activities during the month of June:**

Hannah began the Summer Reading Program on June 13<sup>th</sup>. 41 one kids were in attendance. The following week was the Foam party which used a foam canyon to spray the kids. 39 kids were in attendance. Additional Patrons joined in after seeing the foam rise over the library. On the 27<sup>th</sup>, local resident Pete Deschenes, demonstrated and helped the kids make emergency kits to carry with them, which was followed by a hike at Hickory Point. Another good showing of 35 kids. The Friends of the Library hosted our first "Howey's Got Talent". There were 17 acts and 55 residents that came to enjoy the show. Over \$500 was raised for the Friends of the Library to help with future programming.

**Total Program Attendance for June:** 475 patrons.

**June Reading Challenge:** Is directly connected to the Summer Reading Program. Hannah has been keeping a spreadsheet tracking how many pages are being read by the participants and will total the pages at the end of the Summer Reading Program. The challenge covers all ages. Prizes will be presented to the patron who is the winner in each age category.

Respectively Submitted,

Tara Hall, Library Director





1 GENERAL FUND

Account	Object	Committed Current Month	Committed YTD	Original Appropriation	Current Appropriation	Available Appropriation	% Commit
511000	Legislative						
511000	Legislative						
110	Executive Salaries	0.00	9,200.00	16,200.00	16,200.00	7,000.00	57 %
210	Fica	0.00	570.40	1,004.00	1,004.00	433.60	57 %
211	Medicare	0.00	133.44	235.00	235.00	101.56	57 %
342	Software & Annual Maintenance	0.00	890.73	580.00	580.00	-310.73	154 %
400	Travel & Per Diem	50.00	337.43	1,000.00	1,000.00	662.57	34 %
410	Telephone & Communications	0.00	1,567.21	2,075.00	2,075.00	507.79	76 %
415	Website	0.00	2,810.00	4,450.00	4,450.00	1,640.00	63 %
470	Printing - General	0.00	0.00	125.00	125.00	125.00	%
493	Employee Appreciation	0.00	1,615.96	2,500.00	2,500.00	884.04	65 %
497	Compassion Flowers	0.00	0.00	100.00	100.00	100.00	%
510	Office Supplies	0.00	0.00	200.00	200.00	200.00	%
520	Operating Supplies	0.00	0.00	3,620.00	3,620.00	3,620.00	%
540	Dues and Subscriptions	0.00	609.98	1,800.00	1,800.00	1,190.02	34 %
550	Training/Education/Tuition	0.00	158.00	1,500.00	1,500.00	1,342.00	11 %
820	Contributions/Donations	0.00	0.00	2,000.00	2,000.00	2,000.00	%
950	Other Non Operating Uses	0.00	0.00	28,865.00	28,865.00	28,865.00	%
	<b>Account Total:</b>	<b>50.00</b>	<b>17,893.15</b>	<b>66,254.00</b>	<b>66,254.00</b>	<b>48,360.85</b>	<b>27 %</b>
	<b>Account Group Total:</b>	<b>50.00</b>	<b>17,893.15</b>	<b>66,254.00</b>	<b>66,254.00</b>	<b>48,360.85</b>	<b>27 %</b>
513000	Financial And Administrative						
513000	Financial And Administrative						
110	Executive Salaries	995.38	22,087.43	26,322.00	26,322.00	4,234.57	84 %
120	Salaries	694.90	16,147.66	27,098.00	27,098.00	10,950.34	60 %
140	Overtime Wages	0.00	150.08	521.00	521.00	370.92	29 %
210	Fica	102.16	2,317.25	3,344.00	3,344.00	1,026.75	69 %
211	Medicare	23.92	541.88	782.00	782.00	240.12	69 %
225	ICMA Retirement Contribution	117.16	3,090.75	5,394.00	5,394.00	2,303.25	57 %
230	Life & Health Ins.	230.37	5,774.74	8,444.00	8,444.00	2,669.26	68 %
240	Workers' Compensation	209.53	817.88	703.00	703.00	-114.88	116 %
250	Unemployment Expense	0.00	0.00	6,275.00	6,275.00	6,275.00	%
320	Accounting & Auditing	6,037.50	14,662.50	38,000.00	38,000.00	23,337.50	39 %
321	Bank Fees	0.00	0.00	600.00	600.00	600.00	%
340	Other Contractual Services	0.00	2,398.22	4,500.00	4,500.00	2,101.78	53 %
342	Software & Annual Maintenance	0.00	8,215.60	19,300.00	19,300.00	11,084.40	43 %
350	Pre Employment Screening	0.00	1,149.00	1,400.00	1,400.00	251.00	82 %
400	Travel & Per Diem	0.00	3,452.85	4,700.00	4,700.00	1,247.15	73 %
410	Telephone & Communications	0.00	6,247.85	12,400.00	12,400.00	6,152.15	50 %
420	Freight/Postage/Shipping	0.00	1,584.53	2,000.00	2,000.00	415.47	79 %
430	Utility Services	0.00	3,553.53	6,000.00	6,000.00	2,446.47	59 %
440	Rentals & Leases	169.00	2,150.27	2,700.00	2,700.00	549.73	80 %
451	Insurance	0.00	0.00	2,132.00	2,132.00	2,132.00	%
460	R & M - Equipment	0.00	0.00	200.00	200.00	200.00	%
461	R & M - Computer Maint	0.00	350.99	3,000.00	3,000.00	2,649.01	12 %
463	R & M - Vehicles	0.00	0.00	2,000.00	2,000.00	2,000.00	%
470	Printing - General	0.00	188.50	250.00	250.00	61.50	75 %
510	Office Supplies	0.00	1,816.12	1,825.00	1,825.00	8.88	100 %
520	Operating Supplies	0.00	7,665.07	3,800.00	3,800.00	-3,865.07	202 %
522	Gas & Oil	0.00	0.00	2,000.00	2,000.00	2,000.00	%
540	Dues and Subscriptions	0.00	2,478.00	4,100.00	4,100.00	1,622.00	60 %

1 GENERAL FUND

Account	Object	Committed Current Month	Committed YTD	Original Appropriation	Current Appropriation	Available Appropriation	% Commit
550	Training/Education/Tuition	0.00	1,502.00	4,000.00	4,000.00	2,498.00	38 %
	<b>Account Total:</b>	<b>8,579.92</b>	<b>108,342.70</b>	<b>193,790.00</b>	<b>193,790.00</b>	<b>85,447.30</b>	<b>56 %</b>
	<b>Account Group Total:</b>	<b>8,579.92</b>	<b>108,342.70</b>	<b>193,790.00</b>	<b>193,790.00</b>	<b>85,447.30</b>	<b>56 %</b>
519000	Other General Government						
519000	Other General Government						
310	Legal Fees	15,352.50	193,154.75	115,000.00	115,000.00	-78,154.75	168 %
316	Town Planning/Engineering	0.00	41,586.75	50,000.00	50,000.00	8,413.25	83 %
318	Town Planning	0.00	38,818.16	70,000.00	70,000.00	31,181.84	55 %
340	Other Contractual Services	0.00	4,188.00	4,000.00	4,000.00	-188.00	105 %
347	Codification	0.00	1,325.00	5,000.00	5,000.00	3,675.00	27 %
415	Website	0.00	0.00	1,000.00	1,000.00	1,000.00	%
451	Insurance	31,061.25	124,245.00	107,225.00	107,225.00	-17,020.00	116 %
470	Printing - General	0.00	0.00	200.00	200.00	200.00	%
492	Advertising	0.00	5,531.57	8,000.00	8,000.00	2,468.43	69 %
	<b>Account Total:</b>	<b>46,413.75</b>	<b>408,849.23</b>	<b>360,425.00</b>	<b>360,425.00</b>	<b>-48,424.23</b>	<b>113 %</b>
	<b>Account Group Total:</b>	<b>46,413.75</b>	<b>408,849.23</b>	<b>360,425.00</b>	<b>360,425.00</b>	<b>-48,424.23</b>	<b>113 %</b>
521000	Police						
521000	Police						
110	Executive Salaries	3,299.84	89,562.09	146,204.00	146,204.00	56,641.91	61 %
120	Salaries	16,138.66	271,483.99	377,292.00	371,337.00	99,853.01	73 %
130	Police - Reserve Salaries	1,065.00	7,404.10	12,315.00	17,820.00	10,415.90	42 %
131	Events Payroll	0.00	11,562.50	12,000.00	12,000.00	437.50	96 %
140	Overtime Wages	1,141.04	33,316.90	47,301.00	47,301.00	13,984.10	70 %
150	Police - Incentive Pay	500.00	4,850.00	6,840.00	6,840.00	1,990.00	71 %
210	Fica	1,318.36	24,984.80	36,153.00	36,503.00	11,518.20	68 %
211	Medicare	308.33	5,843.24	8,455.00	8,555.00	2,711.76	68 %
220	Police Retirement Contribution	5,468.03	96,428.75	148,065.00	148,065.00	51,636.25	65 %
230	Life & Health Ins.	5,071.62	85,705.80	141,600.00	141,600.00	55,894.20	61 %
240	Workers' Compensation	4,533.60	18,483.94	18,135.00	18,135.00	-348.94	102 %
340	Other Contractual Services	0.00	922.14	3,226.00	3,226.00	2,303.86	29 %
342	Software & Annual Maintenance	0.00	8,634.54	11,400.00	11,400.00	2,765.46	76 %
343	Special Events	0.00	2,697.36	4,000.00	4,000.00	1,302.64	67 %
350	Pre Employment Screening	0.00	1,352.00	1,200.00	1,200.00	-152.00	113 %
400	Travel & Per Diem	348.00	1,211.50	3,500.00	3,500.00	2,288.50	35 %
410	Telephone & Communications	637.51	25,792.58	15,000.00	15,000.00	-10,792.58	172 %
420	Freight/Postage/Shipping	0.00	100.44	300.00	300.00	199.56	33 %
430	Utility Services	0.00	3,553.53	6,000.00	6,000.00	2,446.47	59 %
440	Rentals & Leases	0.00	43,895.82	45,100.00	45,100.00	1,204.18	97 %
451	Insurance	1,897.20	7,588.80	7,745.00	7,745.00	156.20	98 %
460	R & M - Equipment	0.00	4,286.70	7,100.00	7,100.00	2,813.30	60 %
461	R & M - Computer Maint	0.00	819.97	1,500.00	1,500.00	680.03	55 %
462	R & M - Building	0.00	208.99	2,500.00	2,500.00	2,291.01	8 %
463	R & M - Vehicles	0.00	27,337.64	27,000.00	27,000.00	-337.64	101 %
490	Miscellaneous Expenses	0.00	139.83	0.00	0.00	-139.83	%
510	Office Supplies	0.00	1,479.57	4,000.00	4,000.00	2,520.43	37 %
520	Operating Supplies	0.00	10,508.09	29,858.00	29,858.00	19,349.91	35 %
522	Gas & Oil	0.00	22,773.34	36,000.00	36,000.00	13,226.66	63 %
523	Uniforms	0.00	1,021.42	4,000.00	4,000.00	2,978.58	26 %
525	Weapons	0.00	4,834.98	5,000.00	5,000.00	165.02	97 %



1 GENERAL FUND

Account	Object	Committed Current Month	Committed YTD	Original Appropriation	Current Appropriation	Available Appropriation	% Commit
540	Dues and Subscriptions	0.00	830.50	1,500.00	1,500.00	669.50	55 %
550	Training/Education/Tuition	0.00	2,830.00	5,000.00	5,000.00	2,170.00	57 %
804	PD Vest Grant - 09/10	0.00	2,512.27	3,500.00	3,500.00	987.73	72 %
	<b>Account Total:</b>	<b>41,727.19</b>	<b>824,958.12</b>	<b>1,178,789.00</b>	<b>1,178,789.00</b>	<b>353,830.88</b>	<b>70 %</b>
	<b>Account Group Total:</b>	<b>41,727.19</b>	<b>824,958.12</b>	<b>1,178,789.00</b>	<b>1,178,789.00</b>	<b>353,830.88</b>	<b>70 %</b>
524000	Code Enforcement						
524000	Code Enforcement						
120	Salaries	1,760.00	33,494.15	45,760.00	45,760.00	12,265.85	73 %
140	Overtime Wages	0.00	115.50	1,889.00	1,889.00	1,773.50	6 %
210	Fica	104.41	2,013.65	2,954.00	2,954.00	940.35	68 %
211	Medicare	24.42	470.93	691.00	691.00	220.07	68 %
225	ICMA Retirement Contribution	176.00	3,179.55	4,765.00	4,765.00	1,585.45	67 %
230	Life & Health Ins.	409.75	6,965.75	9,834.00	9,834.00	2,868.25	71 %
240	Workers' Compensation	187.02	728.27	621.00	621.00	-107.27	117 %
310	Legal Fees	0.00	10,182.65	6,000.00	6,000.00	-4,182.65	170 %
342	Software & Annual Maintenance	0.00	484.80	3,220.00	3,220.00	2,735.20	15 %
400	Travel & Per Diem	0.00	1,040.80	1,020.00	1,020.00	-20.80	102 %
410	Telephone & Communications	0.00	744.12	1,782.00	1,782.00	1,037.88	42 %
420	Freight/Postage/Shipping	0.00	206.99	300.00	300.00	93.01	69 %
451	Insurance	0.00	0.00	2,132.00	2,132.00	2,132.00	%
463	R & M - Vehicles	0.00	214.94	2,000.00	2,000.00	1,785.06	11 %
470	Printing - General	0.00	72.50	350.00	350.00	277.50	21 %
520	Operating Supplies	0.00	15.34	300.00	300.00	284.66	5 %
522	Gas & Oil	0.00	658.00	2,400.00	2,400.00	1,742.00	27 %
523	Uniforms	0.00	179.10	200.00	200.00	20.90	90 %
540	Dues and Subscriptions	0.00	140.37	330.00	330.00	189.63	43 %
550	Training/Education/Tuition	0.00	650.00	1,000.00	1,000.00	350.00	65 %
	<b>Account Total:</b>	<b>2,661.60</b>	<b>61,557.41</b>	<b>87,548.00</b>	<b>87,548.00</b>	<b>25,990.59</b>	<b>70 %</b>
	<b>Account Group Total:</b>	<b>2,661.60</b>	<b>61,557.41</b>	<b>87,548.00</b>	<b>87,548.00</b>	<b>25,990.59</b>	<b>70 %</b>
538000	Stormwater Maintenance						
538000	Stormwater Maintenance						
340	Other Contractual Services	0.00	1,500.00	110,000.00	110,000.00	108,500.00	1 %
	<b>Account Total:</b>	<b>0.00</b>	<b>1,500.00</b>	<b>110,000.00</b>	<b>110,000.00</b>	<b>108,500.00</b>	<b>1 %</b>
	<b>Account Group Total:</b>	<b>0.00</b>	<b>1,500.00</b>	<b>110,000.00</b>	<b>110,000.00</b>	<b>108,500.00</b>	<b>1 %</b>
539000	Public Services						
539000	Public Services						
110	Executive Salaries	145.74	2,905.11	3,790.00	3,790.00	884.89	77 %
120	Salaries	937.45	17,663.46	23,646.00	23,646.00	5,982.54	75 %
140	Overtime Wages	18.77	453.44	3,200.00	3,200.00	2,746.56	14 %
210	Fica	63.95	1,234.61	1,899.00	1,899.00	664.39	65 %
211	Medicare	14.93	288.79	444.00	444.00	155.21	65 %
225	ICMA Retirement Contribution	37.68	634.63	3,064.00	3,064.00	2,429.37	21 %
230	Life & Health Ins.	415.44	6,926.79	6,884.00	6,884.00	-42.79	101 %
240	Workers' Compensation	119.02	464.57	399.00	399.00	-65.57	116 %
340	Other Contractual Services	0.00	31,035.48	87,000.00	87,000.00	55,964.52	36 %
350	Pre Employment Screening	0.00	0.00	100.00	100.00	100.00	%
400	Travel & Per Diem	0.00	95.85	500.00	500.00	404.15	19 %
410	Telephone & Communications	0.00	876.40	2,150.00	2,150.00	1,273.60	41 %

1 GENERAL FUND

Account	Object	Committed Current Month	Committed YTD	Original Appropriation	Current Appropriation	Available Appropriation	% Commit
430	Utility Services	0.00	973.50	1,500.00	1,500.00	526.50	65 %
440	Rentals & Leases	0.00	0.00	2,500.00	2,500.00	2,500.00	%
460	R & M - Equipment	0.00	4,891.17	5,000.00	5,000.00	108.83	98 %
461	R & M - Computer Maint	0.00	0.00	650.00	650.00	650.00	%
462	R & M - Building	0.00	11,657.85	12,000.00	12,000.00	342.15	97 %
463	R & M - Vehicles	0.00	316.79	1,000.00	1,000.00	683.21	32 %
510	Office Supplies	0.00	0.00	1,000.00	1,000.00	1,000.00	%
520	Operating Supplies	0.00	9,567.44	12,000.00	12,000.00	2,432.56	80 %
522	Gas & Oil	0.00	6,098.79	7,000.00	7,000.00	901.21	87 %
523	Uniforms	0.00	443.78	1,000.00	1,000.00	556.22	44 %
524	Safety Equipment	0.00	887.90	1,500.00	1,500.00	612.10	59 %
540	Dues and Subscriptions	0.00	0.00	300.00	300.00	300.00	%
550	Training/Education/Tuition	0.00	0.00	650.00	650.00	650.00	%
650	Cap Outlay - Vehicles	0.00	0.00	5,000.00	5,000.00	5,000.00	%
	<b>Account Total:</b>	<b>1,752.98</b>	<b>97,416.35</b>	<b>184,176.00</b>	<b>184,176.00</b>	<b>86,759.65</b>	<b>53 %</b>
	<b>Account Group Total:</b>	<b>1,752.98</b>	<b>97,416.35</b>	<b>184,176.00</b>	<b>184,176.00</b>	<b>86,759.65</b>	<b>53 %</b>
541000	Transportation						
541000	Transportation						
110	Executive Salaries	145.75	2,905.37	3,790.00	3,790.00	884.63	77 %
120	Salaries	937.46	17,559.59	23,646.00	23,646.00	6,086.41	74 %
140	Overtime Wages	18.77	465.63	2,000.00	2,000.00	1,534.37	23 %
210	Fica	63.89	1,228.95	1,825.00	1,825.00	596.05	67 %
211	Medicare	14.95	287.39	427.00	427.00	139.61	67 %
225	ICMA Retirement Contribution	37.69	632.23	2,944.00	2,944.00	2,311.77	21 %
230	Life & Health Ins.	415.46	6,910.84	6,884.00	6,884.00	-26.84	100 %
240	Workers' Compensation	114.30	446.22	384.00	384.00	-62.22	116 %
316	Town Planning/Engineering	0.00	0.00	1,000.00	1,000.00	1,000.00	%
340	Other Contractual Services	0.00	0.00	20,000.00	20,000.00	20,000.00	%
431	Street Lighting	0.00	20,243.52	28,000.00	28,000.00	7,756.48	72 %
520	Operating Supplies	0.00	0.00	2,000.00	2,000.00	2,000.00	%
524	Safety Equipment	0.00	0.00	1,000.00	1,000.00	1,000.00	%
530	Road Materials & Supplies	0.00	0.00	2,000.00	2,000.00	2,000.00	%
	<b>Account Total:</b>	<b>1,748.27</b>	<b>50,679.74</b>	<b>95,900.00</b>	<b>95,900.00</b>	<b>45,220.26</b>	<b>53 %</b>
	<b>Account Group Total:</b>	<b>1,748.27</b>	<b>50,679.74</b>	<b>95,900.00</b>	<b>95,900.00</b>	<b>45,220.26</b>	<b>53 %</b>
542000	Cemetery						
542000	Cemetery						
340	Other Contractual Services	0.00	0.00	10,000.00	10,000.00	10,000.00	%
430	Utility Services	0.00	336.93	1,500.00	1,500.00	1,163.07	22 %
460	R & M - Equipment	0.00	0.00	2,500.00	2,500.00	2,500.00	%
	<b>Account Total:</b>	<b>0.00</b>	<b>336.93</b>	<b>14,000.00</b>	<b>14,000.00</b>	<b>13,663.07</b>	<b>2 %</b>
	<b>Account Group Total:</b>	<b>0.00</b>	<b>336.93</b>	<b>14,000.00</b>	<b>14,000.00</b>	<b>13,663.07</b>	<b>2 %</b>
571000	Library						
571000	Library						
110	Executive Salaries	1,954.62	37,180.05	50,820.00	50,820.00	13,639.95	73 %
120	Salaries	1,108.80	20,600.63	28,829.00	28,829.00	8,228.37	71 %
140	Overtime Wages	0.00	893.99	0.00	0.00	-893.99	%
210	Fica	187.09	3,595.20	4,938.00	4,938.00	1,342.80	73 %
211	Medicare	43.75	840.72	1,155.00	1,155.00	314.28	73 %



1 GENERAL FUND

Account	Object	Committed Current Month	Committed YTD	Original Appropriation	Current Appropriation	Available Appropriation	% Commit
225	ICMA Retirement Contribution	306.34	3,393.17	7,965.00	7,965.00	4,571.83	43 %
230	Life & Health Ins.	419.50	6,312.00	19,668.00	19,668.00	13,356.00	32 %
240	Workers' Compensation	312.62	1,217.36	1,038.00	1,038.00	-179.36	117 %
340	Other Contractual Services	0.00	4,207.46	4,500.00	4,500.00	292.54	93 %
342	Software & Annual Maintenance	0.00	811.86	0.00	695.88	-115.98	117 %
350	Pre Employment Screening	0.00	0.00	150.00	150.00	150.00	%
400	Travel & Per Diem	0.00	104.91	500.00	500.00	395.09	21 %
410	Telephone & Communications	0.00	9,539.19	20,480.00	20,480.00	10,940.81	47 %
420	Freight/Postage/Shipping	0.00	0.00	110.00	110.00	110.00	%
430	Utility Services	0.00	8,067.40	10,000.00	10,000.00	1,932.60	81 %
461	R & M - Computer Maint	0.00	0.00	144.00	144.00	144.00	%
480	Promotional Activities	0.00	1,119.86	1,856.00	1,856.00	736.14	60 %
493	Employee Appreciation	0.00	428.75	500.00	500.00	71.25	86 %
510	Office Supplies	0.00	563.98	2,800.00	2,800.00	2,236.02	20 %
520	Operating Supplies	0.00	2,299.98	4,000.00	4,000.00	1,700.02	57 %
540	Dues and Subscriptions	142.00	242.00	350.00	350.00	108.00	69 %
550	Training/Education/Tuition	0.00	0.00	400.00	400.00	400.00	%
660	Cap Outlay - Books &	0.00	6,945.95	15,000.00	15,000.00	8,054.05	46 %
662	Cap Outlay - Books/Publ -	0.00	0.00	1,100.00	404.12	404.12	%
	<b>Account Total:</b>	<b>4,474.72</b>	<b>108,364.46</b>	<b>176,303.00</b>	<b>176,303.00</b>	<b>67,938.54</b>	<b>61 %</b>
	<b>Account Group Total:</b>	<b>4,474.72</b>	<b>108,364.46</b>	<b>176,303.00</b>	<b>176,303.00</b>	<b>67,938.54</b>	<b>61 %</b>
572000	Parks & Recreation						
572000	Parks & Recreation						
340	Other Contractual Services	0.00	8,000.00	10,000.00	8,000.00	0.00	100 %
343	Special Events	0.00	3,966.65	7,000.00	9,000.00	5,033.35	44 %
430	Utility Services	0.00	2,401.56	5,500.00	5,500.00	3,098.44	44 %
460	R & M - Equipment	0.00	0.00	25,000.00	25,000.00	25,000.00	%
468	R & M - Recreation Equip	1,073.23	1,073.23	1,000.00	1,000.00	-73.23	107 %
520	Operating Supplies	0.00	420.00	3,000.00	3,000.00	2,580.00	14 %
	<b>Account Total:</b>	<b>1,073.23</b>	<b>15,861.44</b>	<b>51,500.00</b>	<b>51,500.00</b>	<b>35,638.56</b>	<b>31 %</b>
	<b>Account Group Total:</b>	<b>1,073.23</b>	<b>15,861.44</b>	<b>51,500.00</b>	<b>51,500.00</b>	<b>35,638.56</b>	<b>31 %</b>
573000	Historical Preservation						
573000	Historical Preservation						
410	Telephone & Communications	0.00	0.00	60.00	60.00	60.00	%
510	Office Supplies	0.00	0.00	1,000.00	1,000.00	1,000.00	%
950	Other Non Operating Uses	0.00	0.00	4,693.00	4,693.00	4,693.00	%
	<b>Account Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>5,753.00</b>	<b>5,753.00</b>	<b>5,753.00</b>	<b>%</b>
	<b>Account Group Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>5,753.00</b>	<b>5,753.00</b>	<b>5,753.00</b>	<b>%</b>
574000	Special Events						
574000	Special Events						
340	Other Contractual Services	0.00	34,940.82	26,250.00	26,250.00	-8,690.82	133 %
343	Special Events	0.00	1,582.28	2,000.00	2,000.00	417.72	79 %
440	Rentals & Leases	0.00	0.00	2,000.00	2,000.00	2,000.00	%
470	Printing - General	0.00	0.00	250.00	250.00	250.00	%
480	Promotional Activities	0.00	0.00	1,000.00	1,000.00	1,000.00	%
	<b>Account Total:</b>	<b>0.00</b>	<b>36,523.10</b>	<b>31,500.00</b>	<b>31,500.00</b>	<b>-5,023.10</b>	<b>116 %</b>
	<b>Account Group Total:</b>	<b>0.00</b>	<b>36,523.10</b>	<b>31,500.00</b>	<b>31,500.00</b>	<b>-5,023.10</b>	<b>116 %</b>

07/02/24  
15:10:42

TOWN OF HOWEY-IN-THE-HILLS  
Statement of Expenditure - Budget vs. Actual Report  
For the Accounting Period: 6 / 24

Page: 6 of 19  
Report ID: B100

Item 13.

1 GENERAL FUND

Account	Object	Committed Current Month	Committed YTD	Original Appropriation	Current Appropriation	Available Appropriation	% Commit
	<b>Fund Total:</b>	108,481.66	1,732,282.63	2,555,938.00	2,555,938.00	823,655.37	68 %



07/02/24  
15:10:42

TOWN OF HOWEY-IN-THE-HILLS  
Statement of Expenditure - Budget vs. Actual Report  
For the Accounting Period: 6 / 24

Page: 7 of 19  
Report ID: B100

Item 13.

120 POLICE ADVANCED TRAINING FUND

Account	Object	Committed Current Month	Committed YTD	Original Appropriation	Current Appropriation	Available Appropriation	% Commit
521000	Police						
521000	Police						
	400 Travel & Per Diem	172.50	172.50	1,000.00	1,000.00	827.50	17 %
	550 Training/Education/Tuition	0.00	0.00	1,000.00	1,000.00	1,000.00	%
	950 Other Non Operating Uses	0.00	0.00	1,000.00	1,000.00	1,000.00	%
	<b>Account Total:</b>	<b>172.50</b>	<b>172.50</b>	<b>3,000.00</b>	<b>3,000.00</b>	<b>2,827.50</b>	<b>6 %</b>
	<b>Account Group Total:</b>	<b>172.50</b>	<b>172.50</b>	<b>3,000.00</b>	<b>3,000.00</b>	<b>2,827.50</b>	<b>6 %</b>
	<b>Fund Total:</b>	<b>172.50</b>	<b>172.50</b>	<b>3,000.00</b>	<b>3,000.00</b>	<b>2,827.50</b>	<b>6 %</b>

130 TREE FUND

Account	Object	Committed Current Month	Committed YTD	Original Appropriation	Current Appropriation	Available Appropriation	% Commit
572000	Parks & Recreation						
572000	Parks & Recreation						
	950 Other Non Operating Uses	0.00	0.00	1,000.00	1,000.00	1,000.00	%
	<b>Account Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>1,000.00</b>	<b>1,000.00</b>	<b>1,000.00</b>	<b>%</b>
	<b>Account Group Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>1,000.00</b>	<b>1,000.00</b>	<b>1,000.00</b>	<b>%</b>
	<b>Fund Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>1,000.00</b>	<b>1,000.00</b>	<b>1,000.00</b>	<b>%</b>



140 WATER IMPACT FEE FUND

Account	Object	Committed Current Month	Committed YTD	Original Appropriation	Current Appropriation	Available Appropriation	% Commit
533000	Water Utility Services						
533000	Water Utility Services						
	640 Cap Outlay - Equipment	0.00	1,447,238.00	600,000.00	600,000.00	-847,238.00	241 %
	950 Other Non Operating Uses	0.00	0.00	562,653.00	562,653.00	562,653.00	%
	<b>Account Total:</b>	<b>0.00</b>	<b>1,447,238.00</b>	<b>1,162,653.00</b>	<b>1,162,653.00</b>	<b>-284,585.00</b>	<b>124 %</b>
	<b>Account Group Total:</b>	<b>0.00</b>	<b>1,447,238.00</b>	<b>1,162,653.00</b>	<b>1,162,653.00</b>	<b>-284,585.00</b>	<b>124 %</b>
	<b>Fund Total:</b>	<b>0.00</b>	<b>1,447,238.00</b>	<b>1,162,653.00</b>	<b>1,162,653.00</b>	<b>-284,585.00</b>	<b>124 %</b>

141 PARKS & REC IMPACT FEE FUND

Account	Object	Committed Current Month	Committed YTD	Original Appropriation	Current Appropriation	Available Appropriation	% Commit
572000	Parks & Recreation						
572000	Parks & Recreation						
	615 Parks Expansion	0.00	55,180.00	400,000.00	400,000.00	344,820.00	14 %
	630 Cap Outlay - Improvements	0.00	2,250.00	0.00	0.00	-2,250.00	%
	640 Cap Outlay - Equipment	0.00	28,564.89	0.00	0.00	-28,564.89	%
	950 Other Non Operating Uses	0.00	0.00	338,000.00	338,000.00	338,000.00	%
	<b>Account Total:</b>	<b>0.00</b>	<b>85,994.89</b>	<b>738,000.00</b>	<b>738,000.00</b>	<b>652,005.11</b>	<b>12 %</b>
	<b>Account Group Total:</b>	<b>0.00</b>	<b>85,994.89</b>	<b>738,000.00</b>	<b>738,000.00</b>	<b>652,005.11</b>	<b>12 %</b>
	<b>Fund Total:</b>	<b>0.00</b>	<b>85,994.89</b>	<b>738,000.00</b>	<b>738,000.00</b>	<b>652,005.11</b>	<b>12 %</b>



07/02/24  
15:10:42

TOWN OF HOWEY-IN-THE-HILLS  
Statement of Expenditure - Budget vs. Actual Report  
For the Accounting Period: 6 / 24

Page: 11 of 19  
Report ID: B100

Item 13.

142 POLICE IMPACT FEE FUND

Account	Object	Committed Current Month	Committed YTD	Original Appropriation	Current Appropriation	Available Appropriation	% Commit
521000	Police						
521000	Police						
	640 Cap Outlay - Equipment	0.00	7,309.98	7,500.00	9,000.00	1,690.02	81 %
	950 Other Non Operating Uses	0.00	0.00	730,500.00	729,000.00	729,000.00	%
	<b>Account Total:</b>	<b>0.00</b>	<b>7,309.98</b>	<b>738,000.00</b>	<b>738,000.00</b>	<b>730,690.02</b>	<b>1 %</b>
	<b>Account Group Total:</b>	<b>0.00</b>	<b>7,309.98</b>	<b>738,000.00</b>	<b>738,000.00</b>	<b>730,690.02</b>	<b>1 %</b>
	<b>Fund Total:</b>	<b>0.00</b>	<b>7,309.98</b>	<b>738,000.00</b>	<b>738,000.00</b>	<b>730,690.02</b>	<b>1 %</b>

07/02/24  
15:10:42

TOWN OF HOWEY-IN-THE-HILLS  
Statement of Expenditure - Budget vs. Actual Report  
For the Accounting Period: 6 / 24

Page: 12 of 19  
Report ID: B100

Item 13.

143 ROAD IMPACT FEE FUND

Account	Object	Committed Current Month	Committed YTD	Original Appropriation	Current Appropriation	Available Appropriation	% Commit
541000	Transportation						
541000	Transportation						
	950 Other Non Operating Uses	0.00	0.00	1.00	1.00	1.00	%
	<b>Account Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>1.00</b>	<b>1.00</b>	<b>1.00</b>	<b>%</b>
	<b>Account Group Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>1.00</b>	<b>1.00</b>	<b>1.00</b>	<b>%</b>
	<b>Fund Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>1.00</b>	<b>1.00</b>	<b>1.00</b>	<b>%</b>



144 WASTEWATER IMPACT FEE FUND

Account	Object	Committed Current Month	Committed YTD	Original Appropriation	Current Appropriation	Available Appropriation	% Commit
535000	Sewer, Wastewater Services						
535000	Sewer, Wastewater Services						
	950 Other Non Operating Uses	0.00	0.00	1.00	1.00	1.00	%
	<b>Account Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>1.00</b>	<b>1.00</b>	<b>1.00</b>	<b>%</b>
	<b>Account Group Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>1.00</b>	<b>1.00</b>	<b>1.00</b>	<b>%</b>
	<b>Fund Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>1.00</b>	<b>1.00</b>	<b>1.00</b>	<b>%</b>

145 STORMWATER IMPACT FEE FUND

Account	Object	Committed Current Month	Committed YTD	Original Appropriation	Current Appropriation	Available Appropriation	% Commit
538000	Stormwater Maintenance						
538000	Stormwater Maintenance						
	950 Other Non Operating Uses	0.00	0.00	1.00	1.00	1.00	%
	<b>Account Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>1.00</b>	<b>1.00</b>	<b>1.00</b>	<b>%</b>
	<b>Account Group Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>1.00</b>	<b>1.00</b>	<b>1.00</b>	<b>%</b>
	<b>Fund Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>1.00</b>	<b>1.00</b>	<b>1.00</b>	<b>%</b>



150 INFRASTRUCTURE FUND

Account	Object	Committed Current Month	Committed YTD	Original Appropriation	Current Appropriation	Available Appropriation	% Commit
541000	Transportation						
541000	Transportation						
	630 Cap Outlay - Improvements	0.00	21,150.00	273,355.00	273,355.00	252,205.00	8 %
	<b>Account Total:</b>	<b>0.00</b>	<b>21,150.00</b>	<b>273,355.00</b>	<b>273,355.00</b>	<b>252,205.00</b>	<b>8 %</b>
	<b>Account Group Total:</b>	<b>0.00</b>	<b>21,150.00</b>	<b>273,355.00</b>	<b>273,355.00</b>	<b>252,205.00</b>	<b>8 %</b>
	<b>Fund Total:</b>	<b>0.00</b>	<b>21,150.00</b>	<b>273,355.00</b>	<b>273,355.00</b>	<b>252,205.00</b>	<b>8 %</b>

155 BUILDING SERVICES FUND

Account	Object	Committed Current Month	Committed YTD	Original Appropriation	Current Appropriation	Available Appropriation	% Commit
513000	Financial And Administrative						
513000	Financial And Administrative						
110	Executive Salaries	3,677.83	68,946.14	97,611.00	97,611.00	28,664.86	71 %
120	Salaries	3,277.98	58,164.37	110,870.00	110,870.00	52,705.63	52 %
140	Overtime Wages	0.00	790.80	600.00	600.00	-190.80	132 %
210	Fica	419.40	7,712.81	12,936.00	12,936.00	5,223.19	60 %
211	Medicare	98.07	1,803.79	3,032.00	3,032.00	1,228.21	59 %
225	ICMA Retirement Contribution	417.83	9,052.34	20,908.00	20,908.00	11,855.66	43 %
230	Life & Health Ins.	1,434.52	22,319.55	41,931.00	41,931.00	19,611.45	53 %
240	Workers' Compensation	821.85	3,199.26	2,725.00	2,725.00	-474.26	117 %
340	Other Contractual Services	0.00	0.00	1,419.00	1,419.00	1,419.00	%
342	Software & Annual Maintenance	0.00	484.79	860.00	860.00	375.21	56 %
350	Pre Employment Screening	0.00	0.00	200.00	200.00	200.00	%
410	Telephone & Communications	0.00	224.00	300.00	300.00	76.00	75 %
495	DBPR/DCA Impact Fees	0.00	4,339.55	0.00	0.00	-4,339.55	%
510	Office Supplies	0.00	145.00	1,000.00	1,000.00	855.00	15 %
520	Operating Supplies	0.00	0.00	10,491.00	10,491.00	10,491.00	%
950	Other Non Operating Uses	0.00	0.00	69,204.00	69,204.00	69,204.00	%
	<b>Account Total:</b>	<b>10,147.48</b>	<b>177,182.40</b>	<b>374,087.00</b>	<b>374,087.00</b>	<b>196,904.60</b>	<b>47 %</b>
	<b>Account Group Total:</b>	<b>10,147.48</b>	<b>177,182.40</b>	<b>374,087.00</b>	<b>374,087.00</b>	<b>196,904.60</b>	<b>47 %</b>
519000	Other General Government						
519000	Other General Government						
341	Contractor - (Bldg Inspector -	0.00	209,749.58	304,478.00	304,478.00	94,728.42	69 %
520	Operating Supplies	0.00	0.00	1,000.00	1,000.00	1,000.00	%
	<b>Account Total:</b>	<b>0.00</b>	<b>209,749.58</b>	<b>305,478.00</b>	<b>305,478.00</b>	<b>95,728.42</b>	<b>69 %</b>
	<b>Account Group Total:</b>	<b>0.00</b>	<b>209,749.58</b>	<b>305,478.00</b>	<b>305,478.00</b>	<b>95,728.42</b>	<b>69 %</b>
	<b>Fund Total:</b>	<b>10,147.48</b>	<b>386,931.98</b>	<b>679,565.00</b>	<b>679,565.00</b>	<b>292,633.02</b>	<b>57 %</b>



401 WATER/SANITATION FUND

Account	Object	Committed Current Month	Committed YTD	Original Appropriation	Current Appropriation	Available Appropriation	% Commit
533000	Water Utility Services						
533000	Water Utility Services						
110	Executive Salaries	5,135.32	98,950.72	135,506.00	135,506.00	36,555.28	73 %
120	Salaries	9,973.53	190,884.93	289,218.00	289,218.00	98,333.07	66 %
140	Overtime Wages	786.17	13,516.16	15,500.00	15,500.00	1,983.84	87 %
210	Fica	953.78	18,282.90	27,294.00	27,294.00	9,011.10	67 %
211	Medicare	223.07	4,275.86	6,383.00	6,383.00	2,107.14	67 %
225	ICMA Retirement Contribution	725.17	14,845.74	44,022.00	44,022.00	29,176.26	34 %
230	Life & Health Ins.	3,703.39	62,916.54	89,134.00	89,134.00	26,217.46	71 %
240	Workers' Compensation	1,710.55	6,676.49	5,737.00	5,737.00	-939.49	116 %
310	Legal Fees	165.00	15,792.50	30,000.00	30,000.00	14,207.50	53 %
316	Town Planning/Engineering	0.00	7,505.00	20,000.00	20,000.00	12,495.00	38 %
320	Accounting & Auditing	0.00	0.00	14,250.00	14,250.00	14,250.00	%
340	Other Contractual Services	8,430.00	288,969.08	300,000.00	300,000.00	11,030.92	96 %
342	Software & Annual Maintenance	0.00	1,949.04	9,600.00	9,600.00	7,650.96	20 %
400	Travel & Per Diem	0.00	0.00	500.00	500.00	500.00	%
410	Telephone & Communications	0.00	3,300.86	5,050.00	5,050.00	1,749.14	65 %
420	Freight/Postage/Shipping	0.00	0.00	200.00	200.00	200.00	%
430	Utility Services	0.00	35,641.63	44,000.00	44,000.00	8,358.37	81 %
440	Rentals & Leases	0.00	500.11	1,500.00	1,500.00	999.89	33 %
451	Insurance	10,080.72	40,364.21	42,000.00	42,000.00	1,635.79	96 %
460	R & M - Equipment	503.52	2,747.42	45,000.00	45,000.00	42,252.58	6 %
461	R & M - Computer Maint	0.00	0.00	500.00	500.00	500.00	%
462	R & M - Building	0.00	404.13	5,000.00	5,000.00	4,595.87	8 %
463	R & M - Vehicles	0.00	7,140.92	1,100.00	8,100.00	959.08	88 %
466	R & M - Water	0.00	5,581.00	0.00	0.00	-5,581.00	%
470	Printing - General	0.00	0.00	100.00	100.00	100.00	%
490	Miscellaneous Expenses	0.00	0.00	100.00	50.00	50.00	%
492	Advertising	0.00	0.00	300.00	300.00	300.00	%
510	Office Supplies	0.00	114.82	1,000.00	1,000.00	885.18	11 %
520	Operating Supplies	2,511.80	82,745.57	221,400.00	221,400.00	138,654.43	37 %
523	Uniforms	0.00	0.00	150.00	150.00	150.00	%
524	Safety Equipment	0.00	227.99	400.00	400.00	172.01	57 %
540	Dues and Subscriptions	0.00	268.33	800.00	800.00	531.67	34 %
550	Training/Education/Tuition	0.00	549.00	500.00	550.00	1.00	100 %
613	Cap Outlay - Wetland	0.00	0.00	8,050.00	8,050.00	8,050.00	%
630	Cap Outlay - Improvements	0.00	0.00	10,000.00	10,000.00	10,000.00	%
633	Cap Outlay - Water	0.00	0.00	4,260,000.00	4,260,000.00	4,260,000.00	%
650	Cap Outlay - Vehicles	0.00	0.00	6,076.00	6,076.00	6,076.00	%
710	Debt Principal/loan	0.00	0.00	114,085.00	114,085.00	114,085.00	%
720	Debt Interest/loan	0.00	30,544.62	30,545.00	30,545.00	0.38	100 %
950	Other Non Operating Uses	0.00	0.00	404,776.00	397,776.00	397,776.00	%
	<b>Account Total:</b>	<b>44,902.02</b>	<b>934,695.57</b>	<b>6,189,776.00</b>	<b>6,189,776.00</b>	<b>5,255,080.43</b>	<b>15 %</b>
	<b>Account Group Total:</b>	<b>44,902.02</b>	<b>934,695.57</b>	<b>6,189,776.00</b>	<b>6,189,776.00</b>	<b>5,255,080.43</b>	<b>15 %</b>
534000	Sanitation Department						

401 WATER/SANITATION FUND

Account	Object	Committed Current Month	Committed YTD	Original Appropriation	Current Appropriation	Available Appropriation	% Commit
534000	Sanitation Department						
	340 Other Contractual Services	0.00	192,301.12	268,960.00	268,960.00	76,658.88	71 %
	<b>Account Total:</b>	<b>0.00</b>	<b>192,301.12</b>	<b>268,960.00</b>	<b>268,960.00</b>	<b>76,658.88</b>	<b>71 %</b>
	<b>Account Group Total:</b>	<b>0.00</b>	<b>192,301.12</b>	<b>268,960.00</b>	<b>268,960.00</b>	<b>76,658.88</b>	<b>71 %</b>
535000	Sewer, Wastewater Services						
535000	Sewer, Wastewater Services						
	430 Utility Services	8,894.28	119,835.21	100,000.00	100,000.00	-19,835.21	120 %
	460 R & M - Equipment	0.00	1,175.00	315,000.00	315,000.00	313,825.00	%
	466 R & M - Water	0.00	0.00	70,000.00	70,000.00	70,000.00	%
	<b>Account Total:</b>	<b>8,894.28</b>	<b>121,010.21</b>	<b>485,000.00</b>	<b>485,000.00</b>	<b>363,989.79</b>	<b>25 %</b>
	<b>Account Group Total:</b>	<b>8,894.28</b>	<b>121,010.21</b>	<b>485,000.00</b>	<b>485,000.00</b>	<b>363,989.79</b>	<b>25 %</b>
	<b>Fund Total:</b>	<b>53,796.30</b>	<b>1,248,006.90</b>	<b>6,943,736.00</b>	<b>6,943,736.00</b>	<b>5,695,729.10</b>	<b>18 %</b>



651 POLICE RETIREMENT FUND

Account	Object	Committed Current Month	Committed YTD	Original Appropriation	Current Appropriation	Available Appropriation	% Commit
521000	Police						
521000	Police						
	310 Legal Fees	0.00	2,418.75	0.00	0.00	-2,418.75	%
	340 Other Contractual Services	0.00	9,638.21	0.00	0.00	-9,638.21	%
	490 Miscellaneous Expenses	0.00	0.00	198,423.00	198,423.00	198,423.00	%
	494 Benefit Payments	0.00	47,899.75	0.00	0.00	-47,899.75	%
	<b>Account Total:</b>	<b>0.00</b>	<b>59,956.71</b>	<b>198,423.00</b>	<b>198,423.00</b>	<b>138,466.29</b>	<b>30 %</b>
	<b>Account Group Total:</b>	<b>0.00</b>	<b>59,956.71</b>	<b>198,423.00</b>	<b>198,423.00</b>	<b>138,466.29</b>	<b>30 %</b>
	<b>Fund Total:</b>	<b>0.00</b>	<b>59,956.71</b>	<b>198,423.00</b>	<b>198,423.00</b>	<b>138,466.29</b>	<b>30 %</b>
	 <b>Grand Total:</b>	 <b>172,597.94</b>	 0.00	 13,293,673.00	 13,293,673.00	 8,304,629.41	 38 %
			4,989,043.59	13,293,673.00	13,293,673.00	8,304,629.41	38 %

1 GENERAL FUND

Account	Received Current Month	Received YTD	Estimated Revenue	Revenue To Be Received	% Received
<b>310000 TAXES</b>					
311100 Ad Valorem Taxes	0.00	1,360,944.46	1,337,378.00	-23,566.46	102 %
311200 Tax Certificate Sale	0.00	60.00	0.00	-60.00	** %
314100 U.S.T. - Electricity	32.19	100,696.38	139,000.00	38,303.62	72 %
314300 U.S.T. - Water	61,209.93	61,209.93	84,879.00	23,669.07	72 %
314400 U.S.T. - Gas	461.09	2,077.49	0.00	-2,077.49	** %
314800 U.S.T. - Propane	117.58	732.64	2,500.00	1,767.36	29 %
315100 CST - Communications Services Tax	0.00	45,601.66	60,000.00	14,398.34	76 %
<b>Account Group Total:</b>	<b>61,820.79</b>	<b>1,571,322.56</b>	<b>1,623,757.00</b>	<b>52,434.44</b>	<b>97 %</b>
<b>320000 LICENSES AND PERMITS</b>					
321100 Town Business Tax Receipt	0.00	1,627.50	2,200.00	572.50	74 %
322201 Developer Fees Pd to Town	0.00	33,283.07	117,500.00	84,216.93	28 %
322202 Variance Fees	0.00	4,200.00	5,000.00	800.00	84 %
322205 DRC Fees	0.00	400.00	0.00	-400.00	** %
323100 Franchise Fee - Electric	0.00	60,298.19	110,000.00	49,701.81	55 %
323202 Franchise Fee - Sprint Tower Lease	3,386.00	29,688.22	44,000.00	14,311.78	67 %
323400 Franchise Fee - Gas	0.00	2,683.61	5,000.00	2,316.39	54 %
323700 Franchise Fee - Solid Waste	378.10	1,250.32	0.00	-1,250.32	** %
329100 Inspection Fees Collected Due Contractor	0.00	125.00	0.00	-125.00	** %
329500 Cemetery Fees-Permits	0.00	25.00	50.00	25.00	50 %
<b>Account Group Total:</b>	<b>3,764.10</b>	<b>133,580.91</b>	<b>283,750.00</b>	<b>150,169.09</b>	<b>47 %</b>
<b>330000 INTERGOVERNMENTAL REVENUE</b>					
331500 Federal Grant - Economic Environment - FEMA	0.00	0.00	20,000.00	20,000.00	0 %
331750 Marianne Beck Library, E-Rate	0.00	8,100.00	16,200.00	8,100.00	50 %
332700 ARPA Funds, Federal, Library	0.00	0.00	3,467.00	3,467.00	0 %
334200 State Grant - Public Safety	0.00	4,640.57	7,000.00	2,359.43	66 %
335125 State Revenue Sharing Proceeds	0.00	43,308.60	66,389.00	23,080.40	65 %
335150 SRS - Alcoholic Beverage License	0.00	1,419.38	2,800.00	1,380.62	51 %
335180 SRS- Local Govt. 1/2 Cent Sales Tax	0.00	87,822.84	123,547.00	35,724.16	71 %
337310 Lake County Water Authority Grant -	0.00	0.00	82,280.00	82,280.00	0 %
337710 Library Interlocal Agreement	3,963.00	35,432.14	47,556.00	12,123.86	75 %
337720 Library Expansion - Impact Fees Funds	0.00	1,318.38	0.00	-1,318.38	** %
338200 Lake County Business Tax Receipt	0.00	0.00	500.00	500.00	0 %
338900 Interest from Tax Collector	0.00	9.64	0.00	-9.64	** %
<b>Account Group Total:</b>	<b>3,963.00</b>	<b>182,051.55</b>	<b>369,739.00</b>	<b>187,687.45</b>	<b>49 %</b>
<b>340000 Charges for Services</b>					
341901 Public Record Requests	0.00	242.00	0.00	-242.00	** %
341903 Smoker Rental - non refundable	100.00	350.00	300.00	-50.00	117 %
341920 Lien Search Charges	550.00	2,700.00	5,000.00	2,300.00	54 %
342910 School Resource Officer Services	3,395.28	196,018.32	192,623.00	-3,395.32	102 %
342960 Outside Security Services	0.00	8,195.00	12,000.00	3,805.00	68 %
343920 Boat Ramp Decals	245.00	3,880.00	4,000.00	120.00	97 %
343930 Golf Cart Permits	0.00	600.00	1,000.00	400.00	60 %
343999 Miscellaneous Sales	0.00	812.13	50.00	-762.13	*** %
344990 State Reimbursement, Street Lighting	0.00	6,303.73	5,768.00	-535.73	109 %
347100 Library - Fees	0.00	7,926.00	0.00	-7,926.00	** %
347101 Library copies/Faxes	77.90	691.75	1,500.00	808.25	46 %
347400 Service Charge - Special Events	0.00	35.00	1,800.00	1,765.00	2 %



1 GENERAL FUND

Account	Received Current Month	Received YTD	Estimated Revenue	Revenue To Be Received	% Received
<b>Account Group Total:</b>	<b>4,368.18</b>	<b>227,753.93</b>	<b>224,041.00</b>	<b>-3,712.93</b>	<b>102 %</b>
350000 FINES AND FORFEITS					
351100 Court Fines & Forfeits	0.00	6,027.68	21,500.00	15,472.32	28 %
352100 Library - Fines	50.30	608.99	800.00	191.01	76 %
<b>Account Group Total:</b>	<b>50.30</b>	<b>6,636.67</b>	<b>22,300.00</b>	<b>15,663.33</b>	<b>30 %</b>
360000					
361100 Interest Earnings	0.00	40,871.85	14,000.00	-26,871.85	292 %
363400 Pd Vest Grant	0.00	0.00	3,500.00	3,500.00	0 %
363407 State Law Enforce Grant-PD Equip	0.00	0.00	5,858.00	5,858.00	0 %
364100 Sale - Cemetery Lots	0.00	25.00	3,000.00	2,975.00	1 %
366920 Donations - Police Dept.	0.00	419.25	0.00	-419.25	** %
366930 Donation Historic Board	0.00	0.00	500.00	500.00	0 %
366990 Donations - Special Events	0.00	17,410.00	0.00	-17,410.00	** %
369300 SETTLEMENTS	0.00	92.49	500.00	407.51	18 %
369400 Insurance Refund	0.00	18,566.17	0.00	-18,566.17	** %
369900 Miscellaneous Revenue	84.92	488.39	0.00	-488.39	** %
369910 Police Fees Collected	804.13	4,754.19	300.00	-4,454.19	*** %
<b>Account Group Total:</b>	<b>889.05</b>	<b>82,627.34</b>	<b>27,658.00</b>	<b>-54,969.34</b>	<b>299 %</b>
380000 OTHER SOURCES					
389900 Use Of Fund Balance	0.00	0.00	4,693.00	4,693.00	0 %
<b>Account Group Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>4,693.00</b>	<b>4,693.00</b>	<b>0 %</b>
390000					
399999	0.00	9,775.00	0.00	-9,775.00	** %
<b>Account Group Total:</b>	<b>0.00</b>	<b>9,775.00</b>	<b>0.00</b>	<b>-9,775.00</b>	<b>** %</b>
<b>Fund Total:</b>	<b>74,855.42</b>	<b>2,213,747.96</b>	<b>2,555,938.00</b>	<b>342,190.04</b>	<b>87 %</b>

07/02/24  
15:12:37

TOWN OF HOWEY-IN-THE-HILLS  
Statement of Revenue Budget vs Actuals  
For the Accounting Period: 6 / 24

Page: 3 of 14  
Report ID: B110

Item 13.

120 POLICE ADVANCED TRAINING FUND

Account	Received			Revenue To Be Received	% Received
	Current Month	Received YTD	Estimated Revenue		
350000 FINES AND FORFEITS					
351130 Local Law Enforcement Education	114.64	885.17	3,000.00	2,114.83	30 %
<b>Account Group Total:</b>	<b>114.64</b>	<b>885.17</b>	<b>3,000.00</b>	<b>2,114.83</b>	<b>30 %</b>
<b>Fund Total:</b>	<b>114.64</b>	<b>885.17</b>	<b>3,000.00</b>	<b>2,114.83</b>	<b>30 %</b>



07/02/24  
15:12:37

TOWN OF HOWEY-IN-THE-HILLS  
Statement of Revenue Budget vs Actuals  
For the Accounting Period: 6 / 24

Page: 4 of 14  
Report ID: B110

Item 13.

130 TREE FUND

Account	Received Current Month	Received YTD	Estimated Revenue	Revenue To Be Received	% Received
350000 FINES AND FORFEITS					
354300 Code Enforcement Tree Fine	0.00	0.00	1,000.00	1,000.00	0 %
<b>Account Group Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>1,000.00</b>	<b>1,000.00</b>	<b>0 %</b>
<b>Fund Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>1,000.00</b>	<b>1,000.00</b>	<b>0 %</b>

07/02/24  
15:12:37

TOWN OF HOWEY-IN-THE-HILLS  
Statement of Revenue Budget vs Actuals  
For the Accounting Period: 6 / 24

Page: 5 of 14  
Report ID: B110

Item 13.

140 WATER IMPACT FEE FUND

Account	Received Current Month	Received YTD	Estimated Revenue	Revenue To Be Received	% Received
320000 LICENSES AND PERMITS					
322306 Water Impact Fees	0.00	157,541.00	1,162,653.00	1,005,112.00	14 %
<b>Account Group Total:</b>	<b>0.00</b>	<b>157,541.00</b>	<b>1,162,653.00</b>	<b>1,005,112.00</b>	<b>14 %</b>
<b>Fund Total:</b>	<b>0.00</b>	<b>157,541.00</b>	<b>1,162,653.00</b>	<b>1,005,112.00</b>	<b>14 %</b>



07/02/24  
15:12:37

TOWN OF HOWEY-IN-THE-HILLS  
Statement of Revenue Budget vs Actuals  
For the Accounting Period: 6 / 24

Page: 6 of 14  
Report ID: B110

Item 13.

141 PARKS & REC IMPACT FEE FUND

Account	Received Current Month	Received YTD	Estimated Revenue	Revenue To Be Received	% Received
320000 LICENSES AND PERMITS					
322303 Parks & Rec Impact Fees	0.00	49,725.60	738,000.00	688,274.40	7 %
<b>Account Group Total:</b>	<b>0.00</b>	<b>49,725.60</b>	<b>738,000.00</b>	<b>688,274.40</b>	<b>7 %</b>
<b>Fund Total:</b>	<b>0.00</b>	<b>49,725.60</b>	<b>738,000.00</b>	<b>688,274.40</b>	<b>7 %</b>

07/02/24  
15:12:37

TOWN OF HOWEY-IN-THE-HILLS  
Statement of Revenue Budget vs Actuals  
For the Accounting Period: 6 / 24

Page: 7 of 14  
Report ID: B110

Item 13.

142 POLICE IMPACT FEE FUND

Account	Received Current Month	Received YTD	Estimated Revenue	Revenue To Be Received	% Received
320000 LICENSES AND PERMITS					
322302 Police Impact Fees	0.00	52,968.51	738,000.00	685,031.49	7 %
<b>Account Group Total:</b>	<b>0.00</b>	<b>52,968.51</b>	<b>738,000.00</b>	<b>685,031.49</b>	<b>7 %</b>
<b>Fund Total:</b>	<b>0.00</b>	<b>52,968.51</b>	<b>738,000.00</b>	<b>685,031.49</b>	<b>7 %</b>



07/02/24  
15:12:37

TOWN OF HOWEY-IN-THE-HILLS  
Statement of Revenue Budget vs Actuals  
For the Accounting Period: 6 / 24

Page: 8 of 14  
Report ID: B110

Item 13.

143 ROAD IMPACT FEE FUND

Account	Received Current Month	Received YTD	Estimated Revenue	Revenue To Be Received	% Received
320000 LICENSES AND PERMITS					
322311 Road Impact Fees	0.00	0.00	1.00	1.00	0 %
<b>Account Group Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>1.00</b>	<b>1.00</b>	<b>0 %</b>
<b>Fund Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>1.00</b>	<b>1.00</b>	<b>0 %</b>

07/02/24  
15:12:37

TOWN OF HOWEY-IN-THE-HILLS  
Statement of Revenue Budget vs Actuals  
For the Accounting Period: 6 / 24

Page: 9 of 14  
Report ID: B110

Item 13.

144 WASTEWATER IMPACT FEE FUND

Account	Received		Estimated Revenue	Revenue To Be Received	% Received
	Current Month	Received YTD			
320000 LICENSES AND PERMITS					
322308 Sewer Impact Fee	0.00	0.00	1.00	1.00	0 %
<b>Account Group Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>1.00</b>	<b>1.00</b>	<b>0 %</b>
<b>Fund Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>1.00</b>	<b>1.00</b>	<b>0 %</b>



07/02/24  
15:12:37

TOWN OF HOWEY-IN-THE-HILLS  
Statement of Revenue Budget vs Actuals  
For the Accounting Period: 6 / 24

Page: 10 of 14  
Report ID: B110

Item 13.

145 STORMWATER IMPACT FEE FUND

Account	Received			Estimated Revenue	Revenue To Be Received	% Received
	Current Month	Received YTD				
320000 LICENSES AND PERMITS						
322312 Stormwater Impact Fees	0.00	0.00		1.00	1.00	0 %
<b>Account Group Total:</b>	<b>0.00</b>	<b>0.00</b>		<b>1.00</b>	<b>1.00</b>	<b>0 %</b>
<b>Fund Total:</b>	<b>0.00</b>	<b>0.00</b>		<b>1.00</b>	<b>1.00</b>	<b>0 %</b>

150 INFRASTRUCTURE FUND

Account	Received Current Month	Received YTD	Estimated Revenue	Revenue To Be Received	% Received
310000 TAXES					
312300 County Ninth-Cent Gas Tax	1,114.67	9,045.02	10,000.00	954.98	90 %
312410 L.F.T. - First (1 to 6 Cents)	0.00	29,169.06	42,933.00	13,763.94	68 %
312630 Discretionary Sales Surtax - Infrastructure	0.00	149,788.40	220,422.00	70,633.60	68 %
<b>Account Group Total:</b>	<b>1,114.67</b>	<b>188,002.48</b>	<b>273,355.00</b>	<b>85,352.52</b>	<b>69 %</b>
<b>Fund Total:</b>	<b>1,114.67</b>	<b>188,002.48</b>	<b>273,355.00</b>	<b>85,352.52</b>	<b>69 %</b>

155 BUILDING SERVICES FUND

Account	Received Current Month	Received YTD	Estimated Revenue	Revenue To Be Received	% Received
320000 LICENSES AND PERMITS					
322100 Zoning Permit Application Fees	105.00	2,484.75	3,000.00	515.25	83 %
322101 Plan Review (Bldg Inspector - 100%)	0.00	681.31	50,000.00	49,318.69	1 %
322102 Admin Fee (Town - 100%)	0.00	560.99	5,000.00	4,439.01	11 %
322304 Inspection Fees Collected Due Contr	2,016.03	204,338.32	468,000.00	263,661.68	44 %
322305 Permits Town %	924.02	170,223.38	141,865.00	-28,358.38	120 %
322307 Fees Income - DCA/DBPR	33.06	6,540.10	11,700.00	5,159.90	56 %
<b>Account Group Total:</b>	<b>3,078.11</b>	<b>384,828.85</b>	<b>679,565.00</b>	<b>294,736.15</b>	<b>57 %</b>
<b>Fund Total:</b>	<b>3,078.11</b>	<b>384,828.85</b>	<b>679,565.00</b>	<b>294,736.15</b>	<b>57 %</b>



401 WATER/SANITATION FUND

Account	Received Current Month	Received YTD	Estimated Revenue	Revenue To Be Received	% Received
<b>310000 TAXES</b>					
314300 U.S.T. - Water	-53,647.37	0.00	0.00	0.00	** %
<b>Account Group Total:</b>	<b>-53,647.37</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>** %</b>
<b>330000 INTERGOVERNMENTAL REVENUE</b>					
334310 State Grant - Water Supply System	0.00	0.00	4,250,000.00	4,250,000.00	0 %
334351 State Grant - Sewer	0.00	0.00	386,250.00	386,250.00	0 %
<b>Account Group Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>4,636,250.00</b>	<b>4,636,250.00</b>	<b>0 %</b>
<b>340000 Charges for Services</b>					
343310 Water Sales	77,366.82	628,066.20	893,459.00	265,392.80	70 %
343350 FEES- NEW CON	0.00	68,073.47	664,200.00	596,126.53	10 %
343400 Recycling	0.00	0.00	2,000.00	2,000.00	0 %
343410 Water Sys Improvement Fee	10,184.91	89,674.09	166,680.00	77,005.91	54 %
343500 Sanitation Revenue	28,612.79	249,197.55	349,647.00	100,449.45	71 %
343505 Sewer	-1.42	-1.42	0.00	1.42	** %
343515 Waste Water, CDD	10,871.88	91,384.95	100,000.00	8,615.05	91 %
343525 Waste Water, Town	9,524.98	79,643.54	100,000.00	20,356.46	80 %
343600 Penalty Charges	1,688.46	14,696.85	15,500.00	803.15	95 %
<b>Account Group Total:</b>	<b>138,248.42</b>	<b>1,220,735.23</b>	<b>2,291,486.00</b>	<b>1,070,750.77</b>	<b>53 %</b>
<b>350000 FINES AND FORFEITS</b>					
353100 Utility/Meter Fines	0.00	3,525.00	0.00	-3,525.00	** %
<b>Account Group Total:</b>	<b>0.00</b>	<b>3,525.00</b>	<b>0.00</b>	<b>-3,525.00</b>	<b>** %</b>
<b>360000</b>					
361100 Interest Earnings	0.00	8,791.95	5,000.00	-3,791.95	176 %
369400 Insurance Refund	0.00	7,514.48	0.00	-7,514.48	** %
369900 Miscellaneous Revenue	340.00	9,414.01	11,000.00	1,585.99	86 %
<b>Account Group Total:</b>	<b>340.00</b>	<b>25,720.44</b>	<b>16,000.00</b>	<b>-9,720.44</b>	<b>161 %</b>
<b>Fund Total:</b>	<b>84,941.05</b>	<b>1,249,980.67</b>	<b>6,943,736.00</b>	<b>5,693,755.33</b>	<b>18 %</b>

651 POLICE RETIREMENT FUND

Account	Received Current Month	Received YTD	Estimated Revenue	Revenue To Be Received	% Received
310000 TAXES					
312520 State Pension Contribution	0.00	0.00	21,819.00	21,819.00	0 %
<b>Account Group Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>21,819.00</b>	<b>21,819.00</b>	<b>0 %</b>
360000					
361300 Investment Earnings	0.00	294,480.20	0.00	-294,480.20	** %
368100 Employee Contribution	0.00	18,649.36	28,539.00	9,889.64	65 %
368200 Employer Contribution	0.00	90,960.72	148,065.00	57,104.28	61 %
<b>Account Group Total:</b>	<b>0.00</b>	<b>404,090.28</b>	<b>176,604.00</b>	<b>-227,486.28</b>	<b>229 %</b>
<b>Fund Total:</b>	<b>0.00</b>	<b>404,090.28</b>	<b>198,423.00</b>	<b>-205,667.28</b>	<b>204 %</b>
<b>Grand Total:</b>	<b>164,103.89</b>	<b>4,701,770.52</b>	<b>13,293,673.00</b>	<b>8,591,902.48</b>	<b>35 %</b>