



Planning & Zoning Board Meeting

May 23, 2024 at 6:00 PM
Howey-in the-Hills Town Hall
101 N. Palm Ave.,
Howey-in-the-Hills, FL 34737

Join Zoom

Meeting: <https://us06web.zoom.us/j/86534270305?pwd=vqRPYyo9RHrZwfOMddw3w6mGbiaoyM.1>

Meeting ID: 865 3427 0305 | Passcode: 467854

AGENDA

CALL TO ORDER ROLL CALL

CONSENT AGENDA

Routine items are placed on the Consent Agenda to expedite the meeting. If a Planning & Zoning Board Member wishes to discuss any item, the procedure is as follows: (1) Pull the item(s) from the Consent Agenda; (2) Vote on the remaining item(s); and (3) Discuss each pulled item and vote.

1. Consideration and Approval of the April 25, 2024, Planning and Zoning Board Meeting minutes.

PUBLIC HEARING

2. Consideration and Recommendation: **440 Avila PL Variance Application**
3. Consideration and Recommendation: **Ordinance 2024-007 Esch Parcel Comprehensive Plan Amendment**

AN ORDINANCE OF THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA, PERTAINING TO LAND USE; AMENDING THE FUTURE LAND USE MAP OF THE TOWN'S COMPREHENSIVE PLAN FOR A 4.45-ACRE PARCEL LOCATED ON THE WEST SIDE OF STATE ROAD 19, SOUTH OF REVELS ROAD, AS LEGALLY DESCRIBED IN THE ORDINANCE, FROM ITS CURRENT DESIGNATION OF "VILLAGE MIXED USE" TO THE DESIGNATION OF "NEIGHBORHOOD COMMERCIAL"; PROVIDING FOR CONFLICTS, SEVERABILITY, CODIFICATION, AND AN EFFECTIVE DATE.

- Board Chair St. Clair will read the Ordinance title
- Town Planner will explain Ordinance 2024-007
- Board Chair St. Clair will allow the applicant to make their presentation.
- Board Chair St. Clair will open Public Comment and Questions for this item only.
- Board Chair St. Clair will close Public Comment.
- Motion to approve Ordinance 2024-007

- Board Discussion
- Roll Call Vote

4. Consideration and Recommendation: Esch Parcel Variance Application

5. Consideration and Recommendation: Esch Parcel Conditional Use Application

OLD BUSINESS

NEW BUSINESS

6. Consideration and Recommendation: Ordinance 2024-008 - Esch Parcel Rezoning to Neighborhood Commercial

AN ORDINANCE OF THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA, PERTAINING TO LAND USE; REZONING A 4.45-ACRE PARCEL OF LAND LOCATED ON THE WEST SIDE OF STATE ROAD 19 AND SOUTH OF REVELS ROAD AND IDENTIFIED WITH LAKE COUNTY PROPERTY APPRAISER PARCEL NUMBER 02-21-25-0002-000-00500 AND ALTERNATE KEY NUMBER 1704171; AMENDING THE TOWN’S ZONING MAP TO ZONE THE PROPERTY FROM “VILLAGE MIXED USE PLANNED USE DEVELOPMENT” TO “NEIGHBORHOOD COMMERCIAL”; PROVIDING FOR CONFLICTING ORDINANCES, SEVERABILITY, CODIFICATION AND AN EFFECTIVE DATE.

- Board Chair St. Clair will read the Ordinance title
- Town Planner will explain Ordinance 2024-008
- Board Chair St. Clair will allow the applicant to make their presentation.
- Board Chair St. Clair will open Public Comment and Questions for this item only.
- Board Chair St. Clair will close Public Comment.
- Motion to approve Ordinance 2024-008
- Board Discussion
- Roll Call Vote

7. Discussion: Review of Chapter 03 - Comprehensive Plan (Housing Element)

PUBLIC COMMENTS

Any person wishing to address the Planning and Zoning Board and who is not on the agenda is asked to speak their name and address. Three (3) minutes is allocated per speaker.

BOARD COMMENTS

ADJOURNMENT

To Comply with Title II of the Americans with Disabilities Act (ADA):

Qualified individuals may get assistance through the Florida Relay Service by dialing 7-1-1. Florida Relay is a service provided to residents in the State of Florida who are Deaf, Hard of Hearing, Deaf/Blind, or Speech Disabled that connects them to standard (voice) telephone users. They utilize a wide array of technologies, such as Text Telephone (TTYs) and ASCII, Voice Carry-Over (VCO), Speech to Speech (STS), Relay Conference Captioning (RCC), CapTel, Voice, Hearing Carry-Over (HCO), Video Assisted Speech to Speech (VA-STS) and Enhanced Speech to Speech.

NOTICE: ONE OR MORE COUNCILORS MAY BE PRESENT TO HEAR OR PARTICIPATE IN DISCUSSION REGARDING MATTERS WHICH MAY COME BEFORE TOWN COUNCIL FOR

ACTION.

Howey Town Hall is inviting you to a scheduled Zoom meeting.

Topic: Planning & Zoning Board Meeting

Time: May 23, 2024 06:00 PM Eastern Time (US and Canada)

Join Zoom Meeting

<https://us06web.zoom.us/j/86534270305?pwd=vqRPYyo9RHrZwfOMddw3w6mGbiaoyM.1>

Meeting ID: 865 3427 0305

Passcode: 467854

Dial by your location

+1 646 558 8656 US (New York)

+1 720 707 2699 US (Denver)

+1 346 248 7799 US (Houston)

Meeting ID: 865 3427 0305

Passcode: 467854

Find your local number: <https://us06web.zoom.us/j/86534270305?pwd=vqRPYyo9RHrZwfOMddw3w6mGbiaoyM.1>

Please Note: In accordance with F.S. 286.0105: Any person who desires to appeal any decision or recommendation at this meeting will need a record of the proceedings, and that for such purposes may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is based. The Town of Howey-in-the-Hills does not prepare or provide this verbatim record. Note: In accordance with the F.S. 286.26: Persons with disabilities needing assistance to participate in any of these proceedings should contact Town Hall, 101 N. Palm Avenue, Howey-in-the-Hills, FL 34737, (352) 324-2290 at least 48 business hours in advance of the meeting.



Planning & Zoning Board Meeting

April 25, 2024 at 6:00 PM

Howey-in the-Hills Town Hall
101 N. Palm Ave.,
Howey-in-the-Hills, FL 34737

MINUTES

CALL TO ORDER ROLL CALL

MEMBERS PRESENT:

Board Member Joshua Husemann | Board Member Alan Hayes | Board Member Richard Mulvany | Vice Chair Frances Wagler | Chair Tina St. Clair

MEMBERS ABSENT:

Board Member Ellen Yarckin | Board Member Shawn Johnson

STAFF PRESENT:

Sean O’Keefe, Town Manager | John Brock, Town Clerk | Tom Harowski, Town Planner | Austin Gillis, Building Services Clerk

CONSENT AGENDA

Routine items are placed on the Consent Agenda to expedite the meeting. If a Planning & Zoning Board Member wishes to discuss any item, the procedure is as follows: (1) Pull the item(s) from the Consent Agenda; (2) Vote on the remaining item(s); and (3) Discuss each pulled item and vote.

1. Consideration and Approval of the March 28, 2024, Planning and Zoning Board Meeting minutes.

Motion made by Vice Chair Wagler to approve the Consent Agenda; seconded by Board Member Mulvany. Motion approved unanimously by voice-vote.

Voting

Yea: Board Member Husemann, Board Member Hayes, Board Member Mulvany, Vice Chair Wagler, Chair St. Clair

Nay: None

PUBLIC HEARING

None

OLD BUSINESS

2. Discussion: **Review of Chapter 02 - Comprehensive Plan (Transportation Element)**

Town Planner, Tom Harowski, introduced and explained this item. Mr. Harowski reviewed his staff report with the Board.

Chair St. Clair and Vice Chair Wagler suggested that Table 3 (Sidewalk Inventory) needed to be updated.

Chair St. Clair open Public Comment for this item only.

Eric Gunesch, 448 Avila Pl. – Mr. Gunesch asked about posting the maps associated with the Comprehensive Plan on Facebook.

NEW BUSINESS

3. Discussion: **Review of Chapter 06 - Comprehensive Plan (Recreation and Open Space Element)**

Town Planner, Tom Harowski, introduced and explained this item. Mr. Harowski stated that he had reviewed this item with the Parks and Recreation board during their April meeting. Mr. Harowski reviewed his staff report with the Board.

Chair St. Clair open Public Comment for this item only.

Eric Gunesch, 448 Avila Pl. – Mr. Gunesch stated that in Policy 1.5.1 (Open Space), rather than the amount of Open Space that wetlands can be used for meeting the requirement going from 50% to 25% he would like it to be amended to 15%.

4. Discussion: **Review of Chapter 05 - Comprehensive Plan (Conservation Element)**

Town Planner, Tom Harowski, introduced and explained this item. Mr. Harowski reviewed his staff report with the Board.

Vice Chair Wagler suggested that the Town should consider expanding the Town's cemetery.

Chair St. Clair open Public Comment for this item only.

Eric Gunesch, 448 Avila Pl. – Mr. Gunesch suggested pulling water from Lake Harris for irrigations usage.

5. Discussion: **Review of Chapter 04 - Comprehensive Plan (Public Facilities Element)**

Town Planner, Tom Harowski, introduced and explained this item. Mr. Harowski reviewed his staff report with the Board.

Chair St. Clair open Public Comment for this item only.

Eric Gunesch, 448 Avila Pl. – Mr. Gunesch spoke about water rights. Mr. Gunesch stated that the Town can not stop the Lake Hills developers from asking the St Johns River Water Management District to use lake water for irrigation purposed.

PUBLIC COMMENTS

Any person wishing to address the Planning and Zoning Board and who is not on the agenda is asked to speak their name and address. Three (3) minutes is allocated per speaker.

None

BOARD COMMENTS

None

ADJOURNMENT

There being no further business to discuss, a motion was made by Board Member Mulvany to adjourn the meeting; Vice Chair Wagler seconded the motion. Motion was approved unanimously by voice vote.

The Meeting adjourned at 7:22 p.m. | **Attendees: 12**

Tina St. Clair Chairperson

ATTEST:

John Brock, Town Clerk

DRAFT



TMHConsulting@cfl.rr.com
97 N. Saint Andrews Dr.
Ormond Beach, FL 32174
PH: 386.316.8426

MEMORANDUM

TO: Howey-in-the-Hills Planning Board
CC: J. Brock, Town Clerk
FROM: Thomas Harowski, AICP, Planning Consultant
SUBJECT: 440 Avila Place Variance Request
DATE: May 1, 2024

The property owner at 440 Avila Place has requested variances from Section 5.01.10 Workshops to allow placement of a workshop on the applicant's property in the street side yard. The proposed workshop is already in place, and the requested variances would allow the workshop to remain. Section 5.01.10 reads as follows:

5.01.10 Workshops

A workshop is an accessory structure used for actively pursuing a craft or hobby such as pottery, woodcraft, etc. A workshop shall be served by electricity and shall conform to the standards for storage sheds (5.01.09) and to the standards for all accessory structures (5.01.03).

Sections 5.01.09 and 5.01.03 are attached as part of this report. As noted the workshop locational requirements are the same as required for sheds and for all accessory structures. The applicant is seeking relief from Section 5.01.09 C which requires workshops to be placed in rear yards at least five feet from the rear property line, and from Section 5.01.03 B and 5.01.09 D which require workshops in excess of 144 square feet to have the same finish as the house and be painted a neutral color matching the primary color of the house.

The applicant has submitted a survey showing the proposed location for the workshop and submitted a statement as to the conditions that support the variance request. The survey shows the house with a pool and pool deck to the rear of the house. The pool and pool deck use all of the area available to the rear of the house thus forcing any accessory structure to be placed in a side yard. The side yard to the left of the house is too small for the planned workshop, thus leaving the street side yard as the available location. The survey shows a 6-foot high fence set 10-feet off of the property line to enclose the street side yard area where the proposed workshop is to be located. As noted above the fence is already in place with the workshop placed behind the fence. The workshop roof is visible above the fence.

The proposed workshop is a kit design that has a barn-style roof. The applicant reports the workshop size is 12 feet by 24 feet for a total of 288 square feet. The data supplied by the applicant states the sehd height is 11 feet at the center peak of the roof and a little over six feet in height at the eave area. The applicant stated the building would be served by electric power and contain a work bench meeting the definition for a workshop. The roof of the workshop is visible above the fence.

The proposed placement as shown on the survey does not fully match the description in the application. The application states the building would be located five feet from the rear property line and three feet from the side property line. The assumption is that the three foot spacing would be from the fence rather than the side property line. The drawing on the survey shows different dimensions with the measurement to the rear propety line being 4'8" and 2'5" from the fence. The building would be located 11'9" off of the pool deck according to the note on the survey drawing. The survey shows 33'7" from the edge of the house to the property line suggesting the proposed dimensions will not work. Adding the distance from the property line to the fence (10'0"), the distance from the fence to the workshop (2'5"), the width of the workshop (12'0") and the proposed distance from the pool deck (11'9") gives a distance of 36'2". The workshop, if approved, will likely need to be placed closer to the edge of the pool deck. It is also important to keep sufficient distance between the proposed workshop and the fence to allow the area between the two to be properly maintained. Access to the side yard was not available during the site visit to confrim the dimensions as they currently exist.

The house is painted stucco as are most of the homes in the Talichet subdivision. The applicant claims that the workshop building design will not support a stucco coating and is asking for approval to paint the building to match the primary house color.

Summary of the Request

To properly frame the issue being presented to the Planning Board for consideration, **the applicant is asking for approval to place the proposed workshop in the street side yard and to paint the building to match the house primary color rather than match both color and material.** There is more than sufficient area to allow the proposed structure to meet the five-foot rear setback for accessory structures, so a lesser setback should not be considered. The actual impacts physically and visually can be assessed since the structure is in place, presumably without a permit.

In the written application, the applicant stated that the workshop is medically necessary to support therapudic hobby activity, and the structure would not support the additional weight required for the addition of a stucco finish. The choice of the property owner to add a pool behind the house forces the workshop into the street side yard where it is proposed. The proposed fence should shield much of the proposed structure from public view, although the roof projects about five feet above the top of the fence.

In order to recommend the variance, the Board must find that criteria A, B and C are met. If the applicant plces the building at least five feet from the rear property line and sufficiently far from the proposed fence to allow adequate room for maintenance,

criteria D and E can be met. In this case the applicant chose to construct a pool behind the house using all of the area that would allow for the placement of a workshop fully in compliance with the code. The Board can determine if the choice to prioritize a pool over a workshop obviates the opportunity for a variance or whether the applicant is entitled to both activities thus supporting the variance.

Criteria for Granting a Variance

Section 4.13.04 of the land development code lists the criteria for granting a variance. These criteria are listed below.

- A. That special conditions and circumstances exist which are peculiar to the land, structure or building involved, and which are not applicable to other lands, structures, or buildings in the same zoning district,
- B. That the special conditions and circumstances do not result from the actions of the applicant,
- C. That literal interpretation of the provisions of this LDC would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this LDC and would work unnecessary and undue hardship on the applicant,
- D. That the variance created is the minimum variance that will make possible the reasonable use of the land, building or structure, and
- E. That the granting of the variance will be in harmony with the general intent and purpose of this LDC and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.
- F. In granting any variance, the Board of Adjustment may prescribe appropriate conditions and safeguards in conformity with this LDC. Violation of such conditions and safeguards, when made a part of the terms under which the variance is granted, shall be deemed a violation of this LDC.

5.01.03 All Accessory Structures

- A. There shall be a permitted principal structure in full compliance with all development standards and requirements of this LDC prior to issuance of a permit for an accessory structure. This provision shall not be construed to prohibit the establishment of an accessory structure simultaneously with the establishment of a permitted principal structure.
- B. There shall be no more than two (2) accessory buildings (shed, workshop, etc.) on a residential lot, not including a detached garage. Detached garages shall not exceed 625 square feet on the first floor. Detached garages and workshops that exceed 144 square feet shall have the same building finishes as the primary structure, including exterior materials (i.e., stucco, siding, brick) and color.
- C. Accessory structures shall be shown on any site plan with full supporting documents as required by this LDC.
- D. Accessory structures shall be included, if applicable, in all calculations of impervious surface and stormwater runoff requirements. (Some structures such

as fences and playground equipment would not constitute an impervious surface.)

- E. With the exception of signs and fencing, accessory structures shall not be located in any required buffer or landscape area.
- F. All accessory buildings shall comply with the setback requirements as outlined in the zoning district regulations. Gazebos and similar accessory structures of 300 square feet or less may not be placed closer than ten (10) feet to the rear and side lot lines, and are not permitted in the front yard.

5.01.09 Storage Sheds

- A. Storage sheds are permitted as an accessory structure subject to the provisions of Section 5.01.03 and the provisions of this section.
- B. Storage sheds shall not be permitted in front of the rear plane of the principal structure and shall not be permitted beyond the plane of the side of the principal structure on a street side yard.
- C. Storage sheds shall be placed in rear yards at least five (5) feet from rear property lines and shall not extend beyond the plane of the sides of the principal structure.
- D. Storage sheds that exceed 144 square feet shall be painted a neutral color matching the base color of the dwelling. Where the principal structure is constructed of a natural material such as brick or stone, sheds exceeding 144 square feet shall be painted a neutral color matching primary structure or complementary to the color of the principal structure. Sheds which are site built shall use the same materials and colors as the principal structure whenever possible. Sheds over 144 square feet shall comply with the setback requirements for accessory structures as set forth in Section 5.01.03F.
- E. Storage cabinets measuring less than 30-inches in depth and 36-inches in width and less than 72-inches in height may be placed on a property without permit provided the storage cabinet is placed adjacent to the rear of the principal structure, detached garage, or storage shed. Storage cabinets shall not count towards the two permitted accessory structures.
- F. The Planning Board may approve the placement of shed in another location on the subject property based upon a finding that a location complying with Subsections B and C above is not practical due to specific site conditions such as steep slopes, tree preservation, site access limitations or other conditions that the Planning Board finds relevant. In no case shall the Planning Board approve a shed location in any front yard. This section is not intended to prohibit a property owner from seeking variance to the code using the procedures set forth in Chapter 4.



VARIANCE APPLICATION

Howey-in-the-Hills

PLEASE PRINT LEGIBLY

Property Owner (if there are multiple owners, please provide all the information on the attached ownership list): Nardy Graves

Property Owner's Contact Information (If multiple owners, please provide mailing address, daytime phone, and fax and/or email for each owner):

First Owner:

Mailing Address: 440 Avila Place Howey In The Hills, FL 34737
Daytime Phone: 305-407-4670
Fax and/or Email: EricnRoxyGraves@gmail.com

Second Owner:

Mailing Address: _____
Daytime Phone: _____
Fax and/or Email: _____

If more than two owners, please attach additional information.

Applicant (If different from owner): _____

Mailing Address: _____
Daytime Phone: _____
Fax and/or Email: _____

If the Applicant does not own the property, or is not the sole owner, please complete the Authorized Agent Affidavit form, attached.

If the Applicant is Not the Owner of the Property, is the Applicant:

- _____ A Tenant
- _____ An Authorized Agent for the Owner
- _____ Other (please explain): _____

Property's Physical Address: 440 Avila Place Howey In The Hills, FL 34737
The attached Verified Legal Description Form must also be completed as part of the application.

A survey of the property, showing all current improvements on the site, to scale, is required as part of the application submittal. The survey can be no larger than 11" X 17" in size.

An additional copy of the survey or a site plan drawn to scale should be included as part of the application which specifically shows any improvements that are being requested as part of the variance. Again, this site plan can be no larger than 11" X 17" in size.

4/10/24 ST CK
2109567880
2109567881
PAID

The applicant should provide any additional information that may be helpful to the Town in rendering a decision on the requested variance.

The workshop is for a therapeutic wood working hobby that has been active in my life for years to combat PTSD. The workshop is professionally constructed and engineered and is aesthetically pleasing. Neighbors are OK with it.

Additional information may be necessary. The applicant is required to provide a daytime telephone number where he/she can be reached.

The applicant is required to provide the names and mailing addresses of all property owners within 300 feet of the subject property, in the form of mailing labels. Three (3) sets of labels are required. These names and addresses may be obtained from the Lake County Property Appraiser's Office.

The Town will also provide a sign which must be posted on the subject property, visible from the adjacent right-of-way or road access. The sign must be posted at least one week prior to the Planning and Zoning Board meeting where this application will be on the agenda and the sign must remain posted until the Town Council public hearing.

A \$400 application fee is due and payable at the time this application is submitted to the Town. In addition to this application fee, a \$1,000 review deposit is required. By signing this application, the applicant acknowledges that the \$400 application fee covers advertising costs, mailings, and the time spent on the application by the Town Clerk. The applicant also acknowledges by his/her signature below that he/she understands he or she will be responsible for any additional costs that the Town incurs as a result of having Town consultants review the application. Once those additional costs are paid by the applicant, the Town will return the balance of the \$1,000 review deposit to the applicant. By signing this application, the applicant also acknowledges that he/she understands that variances expire if not acted upon within the timeframes outlined in the Town's Land Development Regulations.

Witnesses:

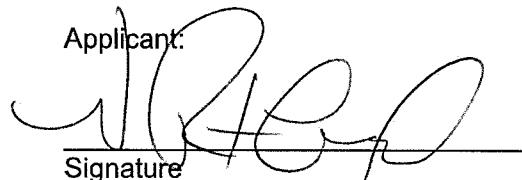
Signature

Print Name

Signature

Print Name

Applicant:



Signature

Nardy R. Graves

Print Name

03900

Property Information: Tax Parcel ID: 26-20-25-0010-000 Alt Key #: 3922832

Please identify below the current land uses located on the site and all adjacent properties. For example, land uses would be identified as single family home, office, grocery store, etc.

Subject Site: Single Family Home

Adjacent property to the North: Single Family Home

Adjacent property to the South: Street

Adjacent property to the East: Single Family Home

Adjacent property to the West: Street (Avila Place)

Does the property currently have:

- Town Water: YES NO
- Central Sewer: YES NO
- Potable Water Well: YES NO
- Septic Tank: YES NO

How long has the current owner owned the property? 01/28/2022 - 04/2024

Please attach property tax records or other documentation to verify how long the current owner has owned the property.

What specific Code requirement is the applicant seeking a variance from?

Section 5.01.10 Land code, Finishes must match the House. The Prefab workshop has siding the house has stucco. I would like to only paint to match.

What, in the applicant's point of view, are the specific special conditions or circumstances that exist on the property?

The workshop must be placed on the side of the house because of the ~~Pool~~ swimming pool. 5' rear setback and 3' side setback.

What, in the applicant's point of view, is the unnecessary and undue hardship that exists to provide justification for the variance?

The structure of the shed is prefabricated and is not designed for additional load of stucco application which could be a life safety issue. The setbacks were amended after I applied to the HOA & TOWN. They are now 10' but these are not appropriate setbacks considering lot size in the community. Would like to maintain current setbacks of the 5' off rear lot line 3' off side lot line. Will have power and work bench.



Ownership List

(must be completed by all owners)

Owner's Name: Nardy Graves
Ownership Interest: _____
Mailing Address: 440 Avila Place
Howey In The Hills, FL 34737
Legal Description: TALICHET AT VENEZIA NORTH PG 73 PG 78-81 LOT 39 ORB
5892 PG 1814

[Signature]
Signature

04/10/2024
Date

The foregoing instrument was acknowledged before me on April 10th, 2024 by Nardy Graves who is personally known to me or has presented Florida Driver License as identification and who did or did not take an oath.



CARLOS BERRUT-SANTANA
Notary Public
State of Florida
Comm# HH412372
Expires 6/19/2027

[Signature]
Notary Public

Seal

Owner's Name: _____
Ownership Interest: _____
Mailing Address: _____
Legal Description: _____

[Signature]
Signature

04/10/2024
Date

The foregoing instrument was acknowledged before me on _____ by _____ who is personally known to me or has presented _____ as identification and who did or did not take an oath.

Notary Public

Seal

MULTIPLE COPIES OF THIS FORM MAY BE MADE AND ATTACHED AS NECESSARY.



Authorized Agent Affidavit

STATE OF FLORIDA COUNTY OF LAKE

Before me, the undersigned authority, this day personally appeared Nardy Graves hereinafter "Owner", and Nardy Graves hereinafter "Applicant", who, being by me first duly sworn, upon oath, depose and says:

1. The Applicant is the duly authorized representative of the Owner, on the real property as described and listed on the pages attached to this affidavit and made a part of hereof.
2. That all Owners have given their full and complete permission for the Applicant to act in their behalf as set out in the accompanying application.
3. That the attached ownership list is made a part of the Affidavit and contains the legal description(s) for the real property, and the names and mailing addresses of all Owners having an interest in said land.

FURTHER Affiant(s) sayeth not.

Sworn to and subscribed before me this 10th day of April, 2024

Carlos
Notary Public
State of Florida at Large
My Commission Expires: 06/19/2027

[Signature]
Owner

CARLOS SERRUT-SANTAMARIA
Notary Public
State of Florida
Comm# HH412372
Expires 6/19/2027



Sworn to and subscribed before me this ___ day of _____, 20__

Notary Public
State of Florida at Large
My Commission Expires: _____

Owner

Sworn to and subscribed before me this ___ day of _____, 20__

Notary Public
State of Florida at Large
My Commission Expires: _____

Owner

Sworn to and subscribed before me this ___ day of _____, 20__

Notary Public
State of Florida at Large
My Commission Expires: _____

Owner

Please hand deliver completed application and fee to:

Town Clerk
Town of Howey in the Hills
101 N. Palm Avenue
Howey in the Hills, FL 34737

Please make application fee and review deposit checks payable to the Town of Howey in the Hills.

The Town Clerk may be reached at 352-324-2290 or by visiting Town Hall during normal business hours.

FOR TOWN CLERK OFFICE USE ONLY

Date Received: _____

_____ 3 sets of labels attached?
_____ current survey attached?
_____ site plan attached showing proposed improvements?
_____ verified legal description form attached?
_____ authorized agent affidavit attached?
_____ ownership list attached?

APPLICATION NO. _____

Reviewed and Accepted By: _____

Provided to Town Planner on: _____

Planning & Zoning Board meeting date: _____

Town Council meeting date: _____

Robert Brown

512 Avila PL

Howey in the Hills FL. 34737

Richard Monaghan

516 Avila PL

Howey in the Hills FL. 34737

David Peckins

444 Avila PL.

Howey in the Hills FL. 34737

TOWN OF HOWEY-IN-THE-HILLS
CASH RECEIPT

Printed 13:39:18 - 04/10/24

Batch:14624
Transaction:19

Reference Number: VARIANCE DEPOSIT
Name: NARDY GRAVES
Address: 440 AVILA PLACE [HOWEY FL]

Item(s) Description:	
0000 VARIANCE FEES	1000.00
Check # 2109567801	1000.00
Cash Paid	
Credit Paid	
Less Change Given	()
TOTAL:	1000.00

TOWN OF HOWEY-IN-THE-HILLS
CASH RECEIPT

Printed 13:36:31 - 04/10/24

Batch:14624
Transaction:18

Reference Number: VARIANCE FEE
Name: NARDY GRAVES
Address: 440 AVILA PLACE [HOWEY FL]

Item(s) Description:	
0000 VARIANCE FEES	400.00
Check # 2109567880	400.00
Cash Paid	
Credit Paid	
Less Change Given	()
TOTAL:	400.00

Halsey Beshears, Secretary

Ron DeSantis, Governor

January 27, 2023

Todd Gunter

Leonard Aluminum Utility Buildings, LLC
630 W. Independence Blvd, Suite 3
Mount Airy, NC 27030

RE: Manufacturer Certification, ID MFT-14344; Expiration Date: January 27, 2026

Dear Todd Gunter

It is my pleasure to inform you that Leonard Aluminum Utility Buildings, LLC, located at 249 Douglas Street, Valdosta, GA 31601, has been approved under the Manufactured Buildings Program, as provided for under Chapter 553, Part I, Florida Statutes, to manufacture Storage Sheds for installation in Florida.

Construction or modification on a manufactured building cannot begin until the Third Party Agency has approved the plans in accordance with the current Florida Building Code. Your Third Party Agency is a contractor for the Department and has statutory authority and responsibilities that must be met to maintain approved status. You may expect and demand quality plans review and inspections.

Each Code change will make your plans obsolete until they have been reviewed, approved and indicated [on the cover page of the plans] for compliance with the Code by your Third Party Agency for plans review. Please ensure that your plans are in compliance and are properly posted on our website. All site-related installation issues are subject to the local authority having jurisdiction.

The Department's contractor will make unannounced monitoring visits at least once each year. You must grant complete access to your manufacturing facility and records to remain in compliance with the rules and regulations of this program.

Your certification is approved for three years from this date. You will receive a renewal notice by Email generated by the BCIS (www.floridabuilding.org) for online renewal. If you have questions you may contact Robert Lorenzo at 850-717-1835 or our FAX at 850-414-8436.

Please visit our website at www.floridabuilding.org to see valuable information on the Florida Manufactured Buildings Program. A copy of this letter must accompany applications for local building permits.

Sincerely,



Robert Lorenzo
Manufactured Buildings Program

cc: Top Line Engineering, LLC

January 18, 2024

Mr. Thomas Campbell
Florida Department of Business and Professional Regulation
2601 Blair Stone Road, Building C
Tallahassee, Florida 32399-6563

**RE: Plan Approval
Leonard-Cook VALDOSTA
Plan # LOFTED BARN-23**

Dear Mr. Campbell,

Pursuant to the requirements of the Department of Business & Professional Regulation, the above referenced documents have been reviewed for compliance with:

**2023 Florida Building Code, 8th Edition
2020 National Electrical Code (NFPA-70)**

All mandatory comments have been satisfied and plans are approved for construction by a currently approved modular building manufacturer.

These documents were reviewed for only what is to be constructed in the factory. Any work performed at the site, such as the foundation, is under the authority and jurisdiction of the local Building Official.

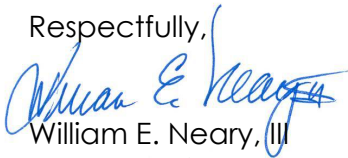
Third Party Agency approval in no way alleviates the builder/manufacturer from complying with all the applicable codes, which may or may not be identified in this review. Approval also does not preclude the local building official from requiring work be performed that was not previously reviewed, approved, and constructed under the State of Florida's Manufactured (Modular) Building Program to make the building, code compliant, for the intended use.

A signed and sealed set of plans are maintained on file with Top Line Engineering, LLC.

If you require my assistance in any way, please do not hesitate to contact me.

Thank you.

Respectfully,



William E. Neary, III
Plans Examiner
SMI-79, SMP-51, ICC 5185040, LSUCCC U02478
Business Partner
Top Line Engineering, LLC
BILL.TLE@yahoo.com

PLEASE NOTE:

Any questions regarding local permitting should be directed to the Manufacturer. The Manufacturer's contact information can be found in the title block of the plans.

LEONARD BUILDINGS

DBA COOK PORTABLE WAREHOUSES

100 DOUGLAS ST., VALDOSTA, GA 31601

132 CENTRAL INDUSTRIAL ROW, PURVIS, MS 39475

1398 HWY 95 NORTH, BASTROP, TX 78602

NOT APPROVED FOR HVHZ

LOFTED BARN SHED STATE OF FLORIDA

Design Criteria	
BUILDING CODE	2023 FLORIDA BUILDING CODE 8TH EDITION ASCE 7-22
ELECTRICAL CODE	2020 NEC, NFPA70
BUILDING TYPE	RESIDENTIAL LAWN STORAGE SHED
MANUFACTURER	LEONARD BUILDINGS
AGENCY	TOP LINE ENGINEERING
AGENCY PLAN NUMBER	LOFTED BARN 2023 FBC
CONSTRUCTION TYPE	V-B
FIRE PROTECTION	B
FIRE SUPPRESSION SYSTEM	NO
OCCUPANCY	U - UTILITY
NUMBER OF OCCUPANTS	0
ALLOWABLE # OF STORIES	1
WIND INFORMATION	160 MPH ULTIMATE, $V_{ASD} = 124$ MPH, EXPOSURE C, CATEGORY I; ENCLOSED; +/- 0.18 INTERNAL PRESSURE COEFFICIENT; 15' HEIGHT
FLOOR LIVE LOAD	40.0 PSF
FLOOR DEAD LOAD	4.0 PSF
ROOF LIVE LOAD	20.0 PSF
ROOF DEAD LOAD	7.0 PSF
WALL DEAD LOAD	3.0 PSF
UNINHABITED LOFT LIVE LOAD	10.0 PSF
GROUND SNOW LOAD	0.0 PSF
FIRE RATING OF EXTERIOR WALLS	0
"R" RATING OF FLOOR, WALL, AND ROOF	R-0, R-0, R-0
MODULES PER BUILDING	1
SQUARE FOOTAGE	LESS THAN 719 SQ. FT.
EXEMPT FROM ENERGY CONSERVATION CODE?	YES
APPROVED FOR HURRICANE PROTECTION USAGE?	NO
DESIGNED FOR HURRICANE PUBLIC SHELTER?	NO

SITE INSTALLED ITEMS:
NOTE THAT THIS LIST DOES NOT NECESSARILY LIMIT THE ITEMS OF WORK AND MATERIALS THAT MAY BE REQUIRED FOR A COMPLETE INSTALLATION. ALL SITE RELATED ITEMS ARE SUBJECT TO LOCAL JURISDICTION APPROVAL.

1. THE COMPLETE FOUNDATION SUPPORTING AND TIE-DOWN SYSTEM.
2. RAMPS, STAIRS, AND GENERAL ACCESS TO THE BUILDING IF NECESSARY.
3. GUTTERS AND DOWN SPOUTS ON ALL BUILDINGS WITH EAVES OF LESS THAN 6 INCHES HORIZONTAL PROJECTION EXCEPT FOR GABLE END RAKES.

OCCUPANCY NOTE:
THIS BUILDING IS NOT DESIGNED FOR HUMAN HABITATION AND DOES NOT HAVE RUNNING WATER OR SANITATION SERVICES. THIS BUILDING IS DESIGNED AS A UTILITY SHED TO STORE LAWN EQUIPMENT SUCH AS WHEEL BARROWS, GARDENING SUPPLIES, FLOWER POTS, AND CARDBOARD BOXES WITH VARIOUS SMALL ITEMS.

NOTE:
FLOOD VENTS TO BE INSTALLED ON SITE BY OTHERS.

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S-3	WIND LOAD TABLES
S-4	FASTENING SCHEDULE
S-5	FRAMING PLANS
S-6	ELEVATION PANEL SIDING
S-6A	ELEVATION LAP SIDING
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S-11	CROSS SECTIONS
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S-14	DETAILS
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Please note: Any questions regarding local permitting should be directed to the Manufacturer. The Manufacturer's contact information can be found in the title block of the plans.

2024-01-18 TOP LINE ENGINEERING, LLC APPROVAL



Kent M. Bice PE - This item has been electronically signed and sealed by Kent M. Bice using a Digital Signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

FL PE Name: Kent M. Bice
FL PE #: 50421
FL COA #: 30468



1552 6TH ST., WINTER HAVEN, FL 33880
(863)865-6502

COVER SHEET

DATE: 12/08/20 DRAWN BY: RD
SCALE: AS NOTED CHECKED BY: KMB

SHEET:
S-1
SHEET 1 OF 21

THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE 2023 FLORIDA BUILDING CODE 8TH EDITION ASCE 7-22.


GENERAL NOTES:

1. THIS STRUCTURE WAS DESIGNED IN ACCORDANCE WITH THE 2023 FLORIDA BUILDING CODE 8TH EDITION ASCE 7-22, (2023 FBC).
2. ALL MATERIALS AND LABOR SHALL BE IN ACCORDANCE WITH THE ABOVE CODE AND ALL OTHER APPLICABLE LOCAL CODES AT THE TIME OF MANUFACTURE.
3. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
4. THE FOUNDATION PLAN IS A SEPARATE SET OF PLANS FOR APPROVAL BY LOCAL MUNICIPALITIES.
5. EXTERIOR DIMENSIONS CAN VARY BETWEEN LIMITS SHOWN AT 2' O.C. BUT MEMBER SPACING SHALL NOT EXCEED LIMITS AS INDICATED.
6. ALL THE FOLLOWING LUMBER SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AWPAC USE CATEGORY UC4B (GROUND CONTACT, HEAVY DUTY)-SKIDS.
7. ALL THE FOLLOWING LUMBER SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AWPAC USE CATEGORY UC3B (EXTERIOR ABOVE GROUND, UNCOATED OR POOR WATER RUNOFF)-FLOOR JOISTS, PLYWOOD FLOOR DECKING, AND EXTERIOR RATED WOOD STRUCTURAL PANEL SIDING.
8. ALL FASTENERS AND CONNECTORS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE HOT DIPPED GALVANIZED (G185) OR STAINLESS STEEL.
9. ALL WINDOWS WITHIN 24" OF DOORS, AND ALL GLASS IN DOORS SHALL BE SAFETY, TEMPERED, OR ACRYLIC PLASTIC SHEET.
10. FOR ROOFS WITH ASPHALT SHINGLES AND A SLOPE BETWEEN 2 TO 12 AND 4 TO 12 SHALL HAVE A DOUBLE UNDERLAYMENT APPLICATION AS REQUIRED IN ACCORDANCE WITH SECTION 1507.2.2 OF THE 2023 FBC OR PER SHINGLE MANUFACTURER INSTRUCTIONS.
11. UNDERLAYMENT SHALL CONFORM WITH SECTION 1507.2.3 OF THE 2023 FBC OR PER SHINGLE MANUFACTURER INSTRUCTIONS.
12. ASPHALT SHINGLES SHALL CONFORM WITH SECTION 1507.2.5 OF THE 2023 FBC ATTACHMENT OF ASPHALT SHINGLES SHALL CONFORM WITH 1507.2.7 OF THE 2023 FBC.
13. FASTENERS FOR ASPHALT SHINGLES SHALL CONFORM TO SECTION 1507.2.6 OF THE 2023 FBC.
14. TIE-DOWNS SHALL MEET THE REQUIREMENTS OF ALL APPLICABLE CODES.
15. THESE PLANS HAVE NOT BEEN DESIGNED FOR HVHZ REQUIREMENTS AS SET FORTH IN THE 2023 FBC OR FOR USE AS A COMMERCIAL BUILDING.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY AND PLACEMENT OF LAWN STORAGE UNIT TO ENSURE THE INTEGRITY OF THE BUILDING AND ITS COMPONENT PARTS.
18. NO FIELD REVISIONS TO ANY STRUCTURAL COMPONENTS OR DEVIATIONS FROM THESE DRAWINGS SHALL BE MADE.
19. THE OWNER AND THE CONTRACTOR SHALL HOLD HARMLESS THE ENGINEER FROM AND AGAINST ALL LIABILITY CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING LEGAL FEES ARISING OUT OF OR RESULTING FROM ERRORS OR OMISSIONS IN THE PERFORMANCE OF THE WORK BY THE CONTRACTOR.
20. SECTIONS AND DETAILS ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY AT ALL SIMILAR LOCATIONS, UNLESS OTHER SECTIONS AND DETAILS ARE SPECIFICALLY REFERENCED.
21. REFER TO SUPPLIED FASTENING SCHEDULE FOR FASTENING BASED ON CONNECTION AND LOCATION OF MEMBERS AS PER 2023 FBC TABLE 2304.10.1 UNLESS NOTED OTHERWISE.
22. BUILDINGS HAVE BEEN DESIGNED FOR LP SMARTSIDE PRECISION PANEL SIDING, LP SMARTSIDE PRECISION LAP SIDING SHALL NOT BE USED.
23. FASTENERS IN LP SMARTSIDE PRECISION PANEL SIDING MUST NOT BE INSTALLED IN PANEL SIDING GROOVES IN THE FIELD OF THE PANEL SIDING OR WHEN THE PANEL SIDING GROOVES OCCUR AT CUT EDGES OF THE PANEL SIDING.
24. REFER TO THE ICC-ES EVALUATION REPORT ESR-1301 FOR ADDITIONAL DATA AND SPECIFICATIONS OF LP SMARTSIDE PRECISION PANEL SIDING.
25. MAX OPENINGS WIDTHS MUST COMPLY WITH DESIGN RATIOS AS PER ANSI/AF&PA SDPWS-2015. BUILDINGS HAVE BEEN DESIGNED TO HAVE ONLY OPENINGS WITH MAX WIDTHS EQUAL TO THOSE IN THE ENDWALL SHEAR WALL CHART.
26. PER SECTION 1609.1.2 OF THE 2023 FBC, STORAGE SHEDS THAT ARE NOT DESIGNED FOR HUMAN HABITATION AND THAT HAVE A FLOOR AREA OF 720 SQUARE FEET OR LESS ARE NOT REQUIRED TO COMPLY WITH THE MANDATORY WIND-BORNE-DEBRIS-IMPACT STANDARDS OF THE 2023 FBC.
27. BUILDINGS HAVE BEEN DESIGNED TO HAVE ANCHORS DIRECTLY ATTACHED TO ALL FOUR CORNERS OF THE BUILDING TO RESIST TENSION FORCES FROM LATERAL WIND LOADS. THIS DESIGN CONSIDERATION MUST BE MADE BY INSTALLER WHEN ATTACHING ANCHORING SYSTEM TO BUILDING.
28. UNLESS NOTED OTHERWISE, ATTACH ALL MANUFACTURED PRODUCTS IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
29. 2X4 SP #2 PRESSURE TREATED LUMBER SHALL BE SUBSTITUTED FOR 2X4 SPF #2 LUMBER IN WALLS FOR USE IN FLOOD PLAINS.
30. PER APA PRODUCT REPORT PR-N124, LP SMARTSIDE PRECISION SERIES TREATED-ENGINEERED-WOOD PANEL SIDING IS PERMITTED ON WALLS FOR USE IN FLOOD PLAINS.
31. 19/32" LP PROSTRUCT FLOORING WITH SMARTFINISH IS PERMITTED IN LIEU OF 5/8" APA RATED STRUCTURAL SHEATHING ON FLOOR. INSTALL PER MANUFACTURER INSTRUCTIONS.
32. BUILDINGS ARE APPROVED FOR RESIDENTIAL LAWN STORAGE ONLY.
33. IN ACCORDANCE WITH FLORIDA STATUTE 553.80 (1) D F.S., LAWN STORAGE BUILDINGS AND STORAGE SHEDS BEARING THE INSIGNIA OF APPROVAL OF THE DEPARTMENT ARE NOT SUBJECT TO S. 553.842. (FLORIDA PRODUCT APPROVALS) BUT SHALL MEET THE DESIGN WIND LOAD REQUIREMENTS OF THE 2023 FBC, 8TH EDITION. COMPONENTS AND CLADDING PRODUCTS USED TO CONSTRUCT THE SHED ARE SUBJECT TO SECTION 553.8425, F.S., AND SECTIONS 1703.5-1703.5.4, OF THE FLORIDA BUILDING CODE.
34. IN ACCORDANCE WITH FBC 1609.1.2 (3), AND FBC SECTION 1626.1 EXCEPTION (F): STORAGE SHEDS THAT ARE NOT DESIGNED FOR HUMAN HABITATION AND THAT HAVE A FLOOR AREA OF LESS THAN 720 SQUARE FEET OR LESS ARE NOT REQUIRED TO COMPLY WITH THE MANDATORY WINDBORNE DEBRIS IMPACT STANDARDS OF THIS CODE.
35. IN ACCORDANCE WITH FBC 1010.1.1, EXCEPTION (10.) BUILDINGS THAT ARE 400 SQUARE FEET OR LESS AND THAT ARE INTENDED FOR USE IN CONJUNCTION WITH ONE-AND TWO-FAMILY RESIDENCES ARE NOT SUBJECT TO THE DOOR HEIGHT AND WIDTH REQUIREMENTS OF THIS CODE.
36. THIS BUILDING IS EXEMPT FROM THE FECC PER SECTIONS R101.4.2.4, R402.1. EXCEPTION 1.2
37. IN ACCORDANCE WITH FLORIDA ADMINISTRATIVE CODE RULE 61-41.009, PHOTOCOPIES OF APPROVED PLANS SHALL BE SUFFICIENT FOR LOCAL PERMIT APPLICATION DOCUMENTS OF RECORD FOR THE MODULAR BUILDING PORTION OF THE PERMITTED PROJECT.
38. IN ACCORDANCE WITH FBC 107.3, EXCEPTION (1), BUILDING PLANS APPROVED PURSUANT TO SECTION 553.77(5), FLORIDA STATUTES, AND STATE-APPROVED MANUFACTURED BUILDINGS ARE EXEMPT FROM LOCAL CODES ENFORCING AGENCY PLAN REVIEWS EXCEPT FOR PROVISIONS OF THE CODE RELATING TO ERECTION, ASSEMBLY, OR CONSTRUCTION AT THE SITE. ERECTION, ASSEMBLY, AND CONSTRUCTION AT THE SITE ARE SUBJECT TO LOCAL PERMITTING AND INSPECTIONS.
39. ALL WINDOWS AND DOORS SHALL MEET THE MINIMUM SPECIFICATIONS PER THE APPROVED PLANS AND THE 2023 FBC, 8TH EDITION.
40. COMPONENTS/CLADDING SHALL BE IN COMPLIANCE WITH THE 2023 FBC 8TH EDITION.
41. METAL FLAT STRAPS ARE TO BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS. FLAT METAL STRAPS CAN BE BENT AROUND STRUCTURAL MEMBERS, WALL STUDS, TRUSSES, CHORDS, ETC. TO HELP SECURE THESE MEMBERS, PROVIDED THAT THE ADDED BEND DOES NOT INTERFERE WITH ANY OF THE EXISTING BREAKS/BENDS IN THE STRAP PER THE MANUFACTURER'S SPECIFICATIONS.
42. HVHZ COMPONENTS UTILIZED FOR SHEDS REQUIRE THAT INSTALLATION SHALL BE PER MANUFACTURER'S INSTRUCTIONS.
43. FOUNDATION PLANS ARE NOT PART OF THIS PLAN SET AND ARE GOVERNED BY LOCAL JURISDICTION.
44. REFER TO TIE DOWN DETAILS FOR PROPER INSTALLATION REQUIREMENTS TO MEET CODE.
45. GUTTERS SHALL BE SITE INSTALLED AND SHALL BE APPROVED BY THE AUTHORITY HAVING JURISDICTION AND SHALL COMPLY WITH LOCAL REQUIREMENTS FOR PERMITTING.
46. SHEDS LOCATED IN FLOOD HAZARD AREAS MUST COMPLY WITH THE LOCAL FLOOD ZONE REGULATIONS.
47. IF A WALL IS FRAMED FOR FUTURE HVAC UNITS, UNIT INSTALLATION SHALL BE APPROVED BY THE AUTHORITY HAVING JURISDICTION AND SHALL COMPLY WITH LOCAL REQUIREMENTS FOR PERMITTING.
48. WINDOWS AND DOORS INSTALLED BY THE CUSTOMER SHALL BE APPROVED BY THE AUTHORITY HAVING JURISDICTION AND SHALL COMPLY WITH LOCAL REQUIREMENTS FOR PERMITTING.

2024-01-18 TOP LINE ENGINEERING, LLC APPROVAL

Item 2.

Kent M. Bice PE - This item has been electronically signed and sealed by Kent M. Bice using a Digital Signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.


TOP LINE ENGINEERING, LLC
 STRUCTURAL ENGINEERS
 William E. Neary, III
 SMP-51, SMI-79, ICC 5185040
 10649 Oakview Pointe Terrace
 Gotha, Florida 34734

FL PE Name: Kent M. Bice
FL PE #: 50421
FL COA #: 30468



1552 6TH ST., WINTER HAVEN, FL 33880
(863)865-6502

GENERAL NOTES

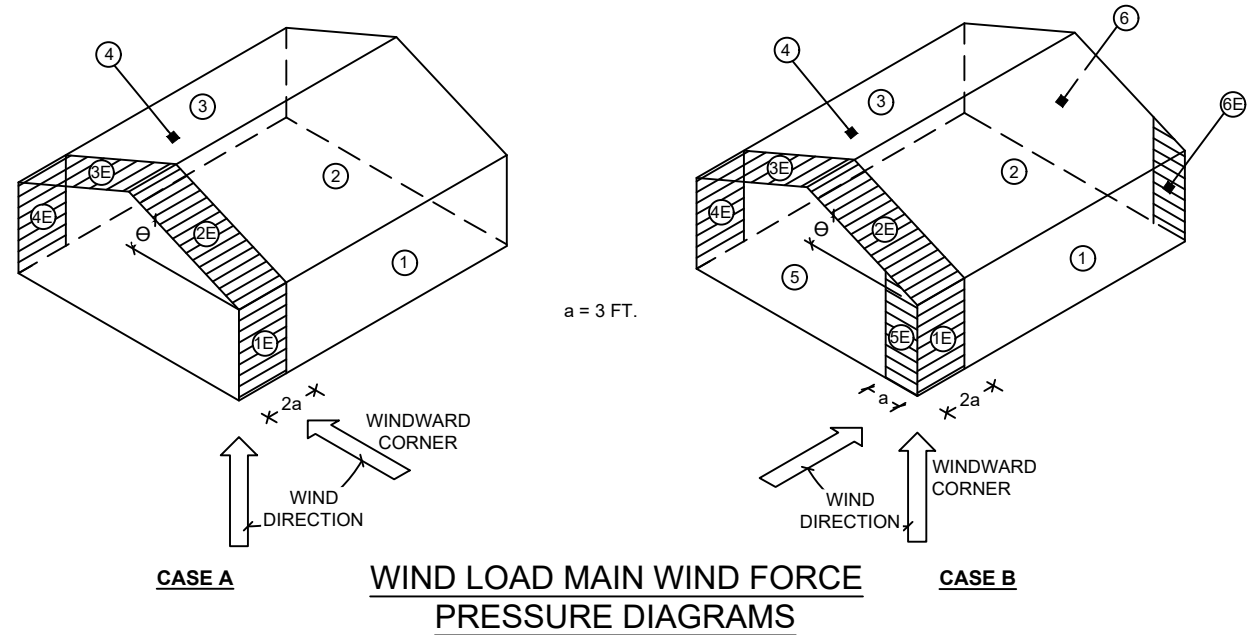
DATE: 12/08/20	DRAWN BY: RD
SCALE: AS NOTED	CHECKED BY: KMB

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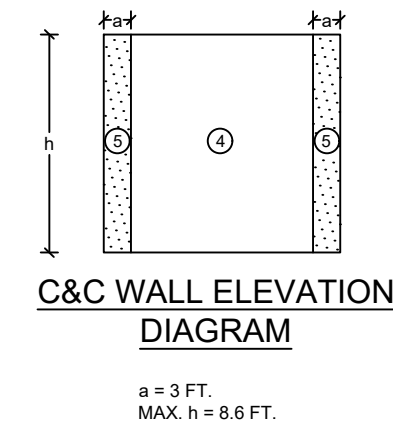
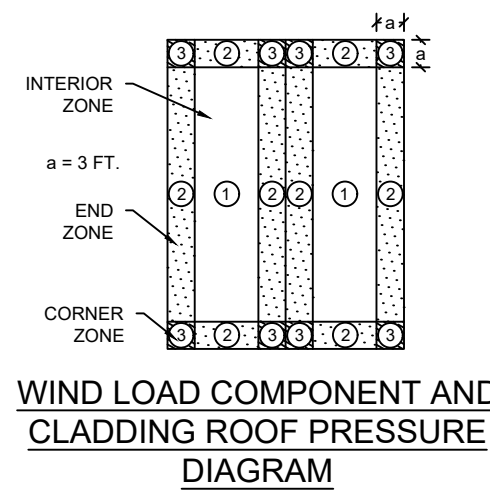
S-2

SHEET 2 OF 2

THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE 2023 FLORIDA BUILDING CODE 8TH EDITION ASCE 7-22.



BUILDING DATA		ASCE 7-22 WIND	
WIND VELOCITY V_{ULT}	160 MPH	INTERNAL PRESSURE COEFFICIENT	± 0.18
WIND VELOCITY V_{ASD}	124	(ENCLOSED BUILDING ASCE 7-22)	
BUILDING CATEGORY	I	HEIGHT & EXPOSURE ADJUSTMENT COEFFICIENT	1.21
ROOF ANGLE, ° (DEGREES)	60 DEGREES 38 DEGREES ON AVERAGE	ROOF DEAD LOAD RESISTING UPLIFT (PSF)	7.0
WIND EXPOSURE CATEGORY	C	MEAN ROOF HEIGHT	15



- NOTES:
- FOR EFFECTIVE AREAS BETWEEN THOSE GIVEN ABOVE THE LOAD MAY BE INTERPOLATED, OTHERWISE USE THE LOAD ASSOCIATED WITH THE LOWER EFFECTIVE AREA.
 - PLUS AND MINUS SIGNS SIGNIFY PRESSURES ACTING TOWARD AND AWAY FROM THE SURFACES, RESPECTIVELY.
 - PRESSURES SHOWN ARE APPLIED NORMAL TO THE SURFACE.
 - REFER TO PRESSURE ZONE DIAGRAMS PROVIDED FOR CORRESPONDING ZONES.
 - ROOF COVERINGS, FINISHES, ETC SHALL BE DESIGNED FOR THE FULL NEGATIVE DESIGN PRESSURE.

DESIGN WIND LOADS - WINDOWS, DOORS, COMPONENTS AND CLADDING

ROOF				WALLS			
ZONE	AREA (FT ²)	DESIGN PRESSURE (PSF)		ZONE	AREA (FT ²)	DESIGN PRESSURE (PSF)	
		POSITIVE	NEGATIVE			POSITIVE	NEGATIVE
1	10	50.9	-55.8	4	10	55.8	-60.5
1	20	49.6	-52.9	4	20	53.2	-58.0
1	50	47.7	-49.1	4	50	49.9	-54.6
1	100	46.2	-46.2	4	100	47.4	-52.2
2	10	50.9	-65.2	5	10	55.8	-74.7
2	20	49.6	-62.3	5	20	53.2	-69.6
2	50	47.7	-58.6	5	50	49.9	-62.9
2	100	46.2	-55.8	5	100	47.4	-58.0
3	10	50.9	-65.2				
3	20	49.6	-62.3				
3	50	47.7	-58.6				
3	100	46.2	-55.8				

Kent M. Bice PE - This item has been electronically signed and sealed by Kent M. Bice using a Digital Signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

TOP LINE ENGINEERING, LLC
STRUCTURAL ENGINEERS
William E. Neary, III
SMP-51, SMI-79, ICC 5185040
10649 Oakview Pointe Terrace
Gotha, Florida 34734

FL PE Name: Kent M. Bice
FL PE #: 50421
FL COA #: 30468



DESIGN WIND LOADS - MWFRS

LOAD CASE A	WALL				ROOF			
	SURFACE 1	SURFACE 1E	SURFACE 4	SURFACE 4E	SURFACE 2	SURFACE 2E	SURFACE 3	SURFACE 3E
	35.0	41.2	-26.0	-31.3	24.0	27.9	-27.9	-32.8

LOAD CASE B	SIDE WALL				ROOF				GABLE WALL			
	WINDWARD		LEEWARD		WINDWARD		LEEWARD		WINDWARD		LEEWARD	
	SURFACE 1	SURFACE 1E	SURFACE 4	SURFACE 4E	SURFACE 2	SURFACE 2E	SURFACE 3	SURFACE 3E	SURFACE 5	SURFACE 5E	SURFACE 6	SURFACE 6E
	-29.8	-31.3	-29.8	-31.3	-41.2	-59.2	-26.0	-33.6	27.5	37.4	-22.3	-28.9

1552 6TH ST., WINTER HAVEN, FL 33880
(863)865-6502

WIND LOAD TABLES	
DATE: 12/08/20	DRAWN BY: RD
SCALE: AS NOTED	CHECKED BY: KMB

SHEET:
S-3
SHEET 3 OF 23

THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE 2023 FLORIDA BUILDING CODE 8TH EDITION ASCE 7-22.

FASTENING SCHEDULE

CONNECTION	FASTENING ^{a, k}	LOCATION
1. JOIST TO SILL OR GIRDER	3 - 8d COMMON (2½" X 0.131") 3 - 3" X 0.131" NAILS 3 - 3", 14 GAGE STAPLES	TOENAIL
2. BRIDGING TO JOIST	2 - 8d COMMON (2½" X 0.131") 2 - 3" X 0.131" NAILS 2 - 3", 14 GAGE STAPLES	TOENAIL EACH END
3. SOLE PLATE TO JOIST OR BLOCKING	16d (3½" X 0.135") AT 12" O.C. 3" X 0.131" NAILS AT 12" O.C. 3", 14 GAGE STAPLES AT 12" O.C.	FACE NAIL
4. SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANEL	3 - 16d (3½" X 0.135") AT 16" O.C. 4 - 3" X 0.131" NAILS AT 16" O.C. 4 - 3", 14 GAGE STAPLES AT 16" O.C.	FACE NAIL
5. TOP PLATE TO STUD	2 - 16d (3½" X 0.162") 3 - 3" X 0.131" NAILS 3 - 3", 14 GAGE STAPLES	END NAIL
6. STUD TO SOLE PLATE	4 - 8d COMMON (2½" X 0.131") 4 - 3" X 0.131" NAILS 4 - 3", 14 GAGE STAPLES	TOENAIL
	2 - 16d COMMON (3½" X 0.162") 3 - 3" X 0.131" NAILS 3 - 3", 14 GAGE STAPLES	END NAIL
7. DOUBLE STUDS	16d (3½" X 0.162") AT 24" O.C. 3" X 0.131" NAILS AT 16" O.C. 3", 14 GAGE STAPLES AT 16" O.C.	FACE NAIL
8. TOP PLATE TO TOP PLATE	16d (3½" X 0.162") AT 16" O.C. 3" X 0.131" NAILS AT 12" O.C. 3", 14 GAGE STAPLES AT 12" O.C.	FACE NAIL
	8 - 16d COMMON (3½" X 0.162") 12 - 3" X 0.131" NAILS 12 - 3", 14 GAGE STAPLES	FACE NAIL AT LAP SPLICE
9. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE	3 - 8d COMMON (2½" X 0.131") 3 - 3" X 0.131" NAILS 3 - 3", 14 GAGE STAPLES	TOENAIL
10. RIM JOIST TO TOP PLATE	8d (2½" X 0.131") AT 6" O.C. 3" X 0.131" NAILS AT 6" O.C. 3", 14 GAGE STAPLES AT 6" O.C.	TOENAIL
11. TOP PLATES, LAPS AND INTERSECTIONS	2 - 16d COMMON (3½" X 0.162") 3 - 3" X 0.131" NAILS 3 - 3", 14 GAGE STAPLES	FACE NAIL
12. CONTINUOUS HEADER (2) PIECES	16d COMMON (3½" X 0.162")	16" O.C. EACH EDGE, FACE NAIL
13. CEILING JOISTS TO PLATE	3 - 8d COMMON (2½" X 0.131") 3 - 3" X 0.131" NAILS 3 - 3", 14 GAGE STAPLES	TOENAIL
14. CONTINUOUS HEADER TO STUD	4 - 8d COMMON (2½" X 0.131")	TOENAIL
15. RAFTER TO PLATE	3 - 16d (3½" X 0.162") 4 - 3" X 0.131" NAILS 4 - 3", 14 GAGE STAPLES	TOENAIL
16. 1" DIAGONAL BRACE TO EACH STUD AND PLATE	2 - 8d COMMON (2½" X 0.131") 2 - 3" X 0.131" NAILS 3 - 3", 14 GAGE STAPLES	FACE NAIL
17. BUILT-UP CORNER STUDS	16d (3½" X 0.162") 3" X 0.131" NAILS 3" 14 GAGE STAPLES	12" O.C. FACE NAIL

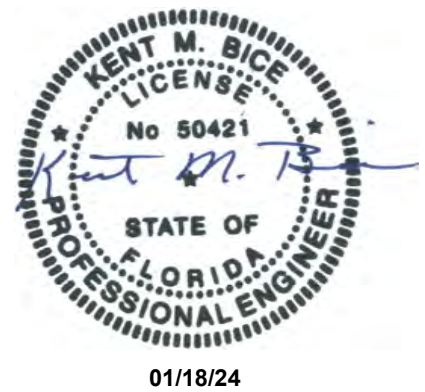
FASTENING SCHEDULE 2024-01-18 TOP LINE ENGINEERING, LLC APPROVAL

CONNECTION	FASTENING ^{a, k}	LOCATION
18. BUILT-UP GIRDER AND BEAMS	20d COMMON (4" X 0.192") at 32" O.C. 3" X 0.131" NAIL AT 24" O.C. 3" 14 GAGE STAPLE AT 24" O.C. AND	FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES
	2 - 20d COMMON (4" X 0.192") OR 3 - 3" X 0.131" NAIL OR 3 - 3" 14 GAGE STAPLE	FACE NAIL AT ENDS AND AT EACH SPLICE
19. COLLAR TIE TO RAFTER	3 - 10d COMMON (3" X 0.148") 4 - 3" X 0.131" NAILS 4 - 3" 14 GAGE STAPLES	FACE NAIL
20. ROOF RAFTER TO 2-BY RIDGE BEAM	3 - 10d COMMON (3½" X 0.148") 4 - 3" X 0.131" NAILS 4 - 3" 14 GAGE STAPLES	TOENAIL
21. JOIST TO BAND JOIST	3 - 16d COMMON (3½" X 0.162") 4 - 3" X 0.131" NAILS 4 - 3" 14 GAGE STAPLES	END NAIL
22. WOOD STRUCTURAL PANELS AND PARTICLEBOARD ^b , SUBFLOOR, ROOF AND WALL SHEATHING (TO FRAMING)	½" AND LESS 6d ^{c, j} 2⅜" X 0.113" NAIL ^l 1¾" X 16 GAGE ^m STAPLE 8d ^d OR 6d ^e	6" O.C. AT EDGES AND 12" O.C. AT INTERMEDIATE, 4" O.C. AT COMPONENT AND CLADDING EDGE STRIP # ZONE 3 [REFER TO FIGURE ON SHEET S-3]
	19/32" TO ¾" SINGLE FLOOR, COMBINATION SUBFLOOR-UNDERLAYMENT TO FRAMING 2⅜" X 0.113" NAIL ⁿ 2" 16 GAGE ⁿ STAPLE	
23. PANEL SIDING TO FRAMING	7/8" TO 1" 8d ^c 1⅛" TO 1¼" 10d ^d OR 8d ^e	6" / 12" O.C. AT EDGES / INTERMEDIATE
24. FIBERBOARD SHEATHING	½" OR LESS 6d ^f 5/8" 8d ^f	3" / 6" O.C. AT EDGES / INTERMEDIATE FOR STRUCTURAL APPLICATIONS 6" / 12" O.C. AT EDGES / INTERMEDIATE FOR NON-STRUCTURAL APPLICATIONS
	1/2" NO. II GAGE ROOFING NAIL ^h 6d COMMON NAIL (2" x 0.113") NO. 16 GAGE STAPLE ⁱ NO. II GAGE ROOFING NAIL ^h 8D COMMON NAIL (2 ½" x 0.131") NO 16 GAGE STAPLE ⁱ	

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FASTENING SCHEDULE

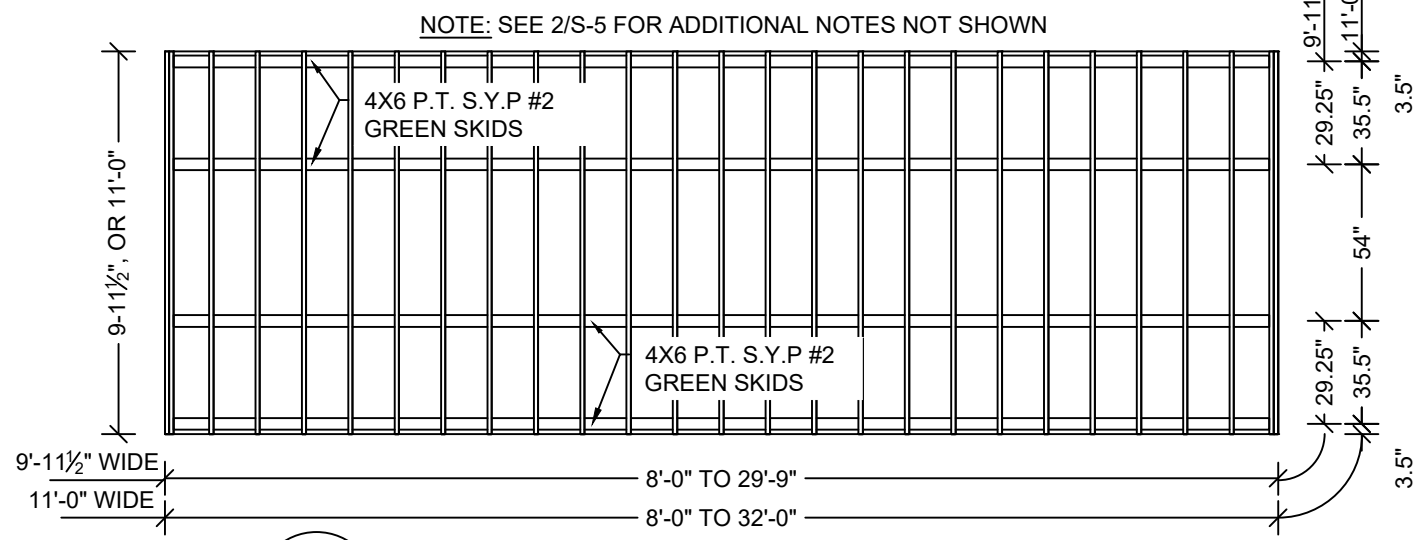
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SCALE: AS NOTED	CHECKED BY: KMB

SHEET:
S-4
SHEET 4 OF 24

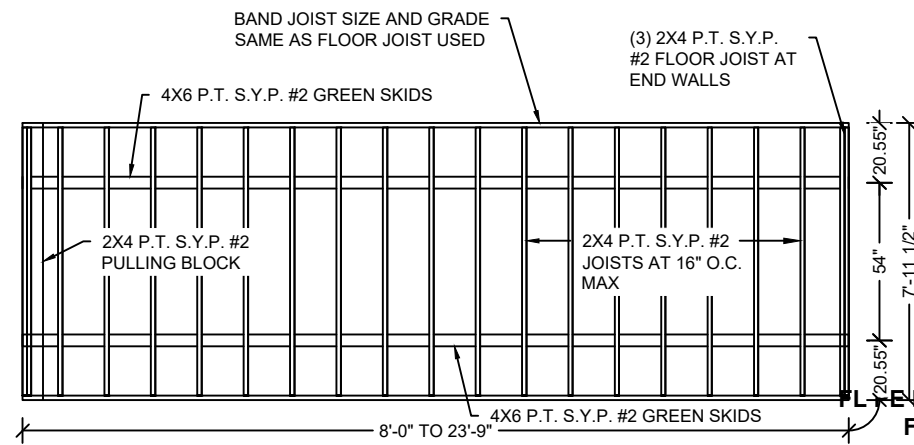
NOTES:

- a. COMMON OR BOX NAILS ARE PERMITTED TO BE USED EXCEPT WHERE OTHERWISE STATED.
- b. NAILS SPACED AT 6" O.C. AT EDGES, 12" AT INTERMEDIATE SUPPORTS EXCEPT 6" AT SUPPORTS WHERE SPANS ARE 48" OR MORE. NAILS FOR WALL SHEATHING ARE PERMITTED TO BE COMMON, BOX OR CASING.
- c. COMMON OR DEFORMED SHANK (6d - 2" x 0.113"; 8d - 2 ½" x 0.131"; 10d 3" x 0.148").
- d. COMMON (6d - 2" x 0.113"; 8d - 2 1/2" x 0.131"; 10d x 0.148").
- e. DEFORMED SHANK (6d - 2" x 0.113"; 8d - 2 1/2" x 0.131"; 10d 3" x 0.148").
- f. CORROSION-RESISTANT SIDING (6d - 1 7/8" x 0.106"; 8d 2 3/8" x 0.128") OR CASING (6d 2" x 0.099"; 8d 2 1/2" x 0.113") NAIL.
- g. FASTENERS SPACED 3" O.C. AT EXTERIOR EDGES AND 6" O.C. AT INTERMEDIATE SUPPORTS, WHEN USED AS STRUCTURAL SHEATHING. SPACING SHALL BE 6" O.C. ON THE EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS FOR NONSTRUCTURAL APPLICATIONS.
- h. CORROSION-RESISTANT ROOFING NAILS WITH 7/16" DIAMETER HEAD AND 1 ½" LENGTH FOR 1/2" SHEATHING AND 1 3/4" LENGTH FOR 25/32" SHEATHING.
- i. CORROSION-RESISTANT STAPLES WITH NOMINAL 7/16" CROWN OR 1" CROWN AND 1 1/4" LENGTH FOR 1/2" SHEATHING AND 1 1/2" LENGTH FOR 25/32" SHEATHING. PANEL SUPPORTS AT 16" (20" IF STRENGTH AXIS IS THE LONG DIRECTION OF THE PANEL, UNLESS OTHERWISE MARKED).
- j. FOR ROOF SHEATHING APPLICATIONS, 8d NAILS (2 1/2" x 0.113") ARE THE MINIMUM REQUIRED FOR WOOD STRUCTURAL PANELS.
- k. STAPLES SHALL HAVE A MINIMUM CROWN WIDTH OF 7/16".
- l. FOR ROOF SHEATHING APPLICATIONS, FASTENERS SPACED 4" O.C. AT EDGES, 8" O.C. AT INTERMEDIATE SUPPORTS.
- m. FASTENERS SPACED 4" O.C. AT EDGES, 8" O.C. AT INTERMEDIATE SUPPORTS FOR SUBFLOOR AND WALL SHEATHING AND 3" O.C. AT EDGES, 6" AT INTERMEDIATE SUPPORTS FOR ROOF SHEATHING.
- n. FASTENERS SPACED 4" O.C. AT EDGES, 8" AT INTERMEDIATE SUPPORTS.

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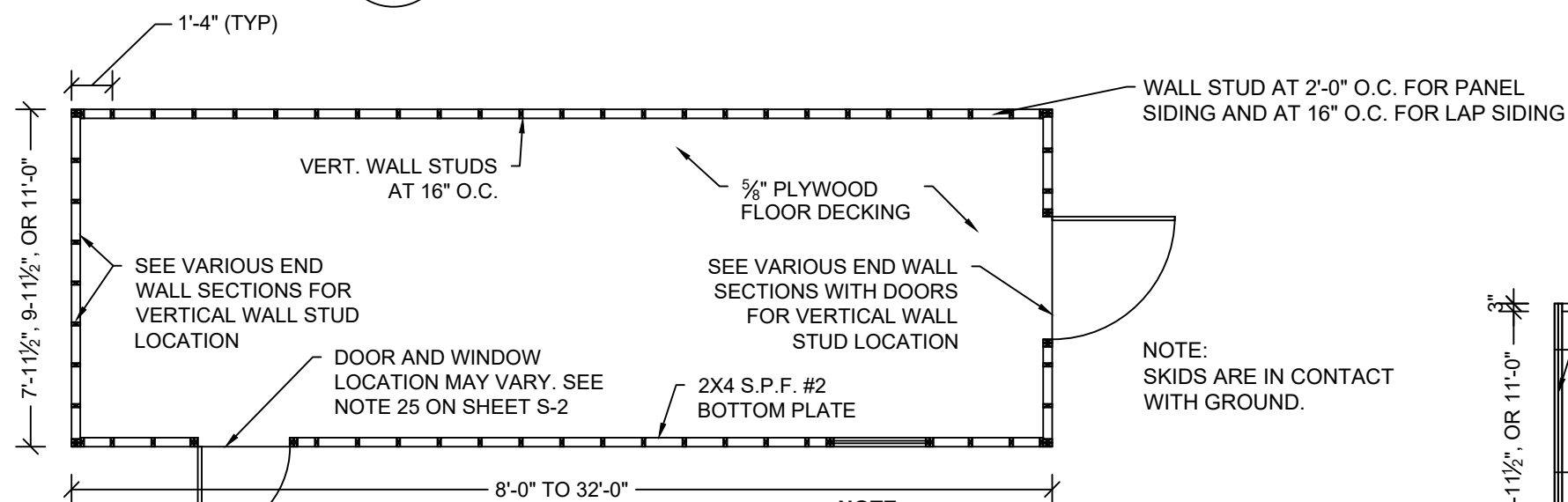
1 FLOOR FRAMING PLAN -9'-11 1/2\"
S-5 SCALE: 3/16" = 1'-0"



2 FLOOR FRAMING PLAN -7'-11 1/2\"
S-5 SCALE: 3/16" = 1'-0"

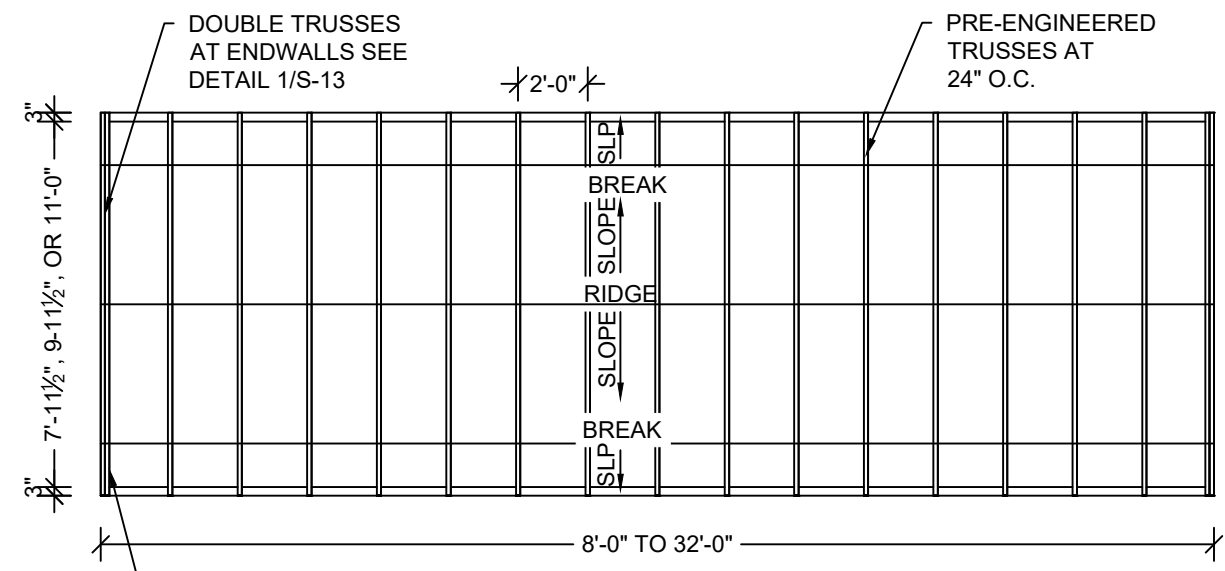


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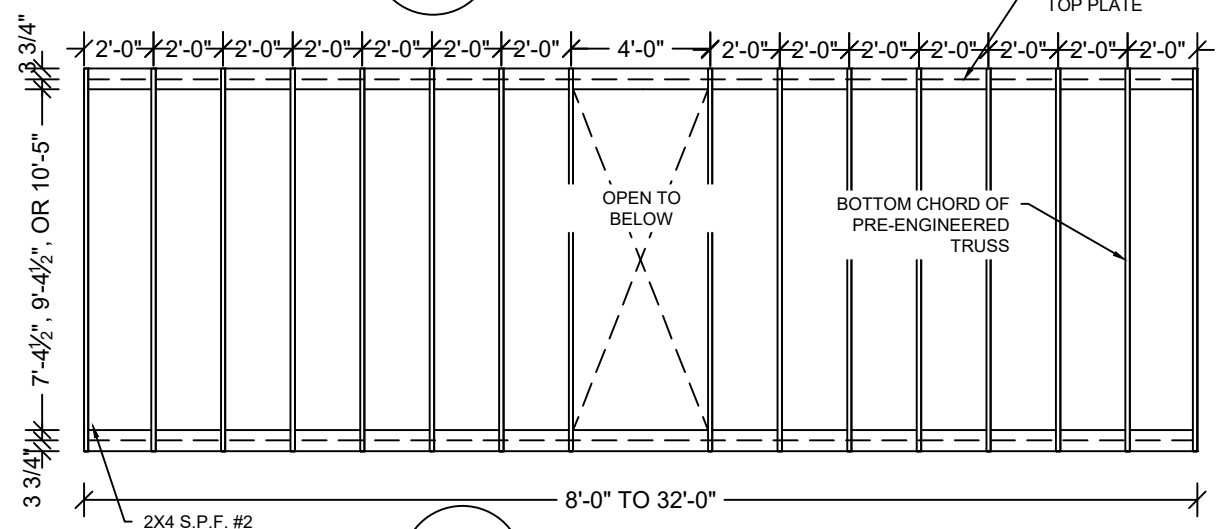


3 FLOOR DECK PLAN
S-5 SCALE: 3/16" = 1'-0"

NOTE:
IF 1 9/32" SIDING IS CHOSEN. WALL STUDS ARE TO BE 2'-0" O.C



4 ROOF FRAMING PLAN
S-5 SCALE: 3/16" = 1'-0"



5 LOFT FRAMING PLAN
S-5 SCALE: 3/16" = 1'-0"

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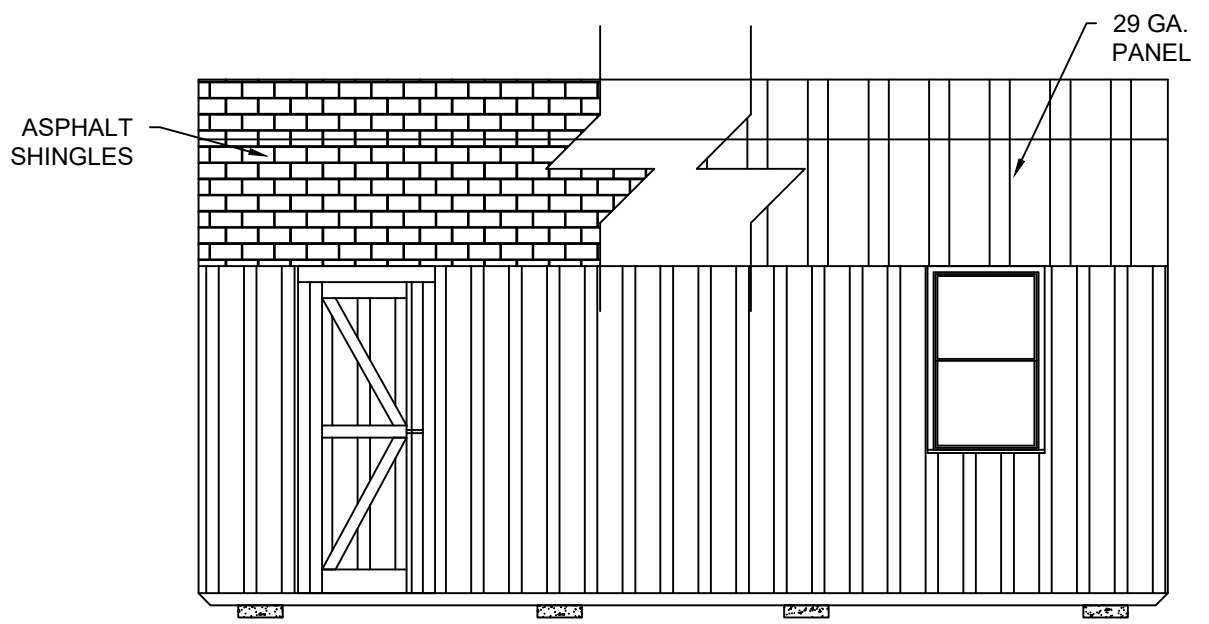
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FRAMING PLANS	
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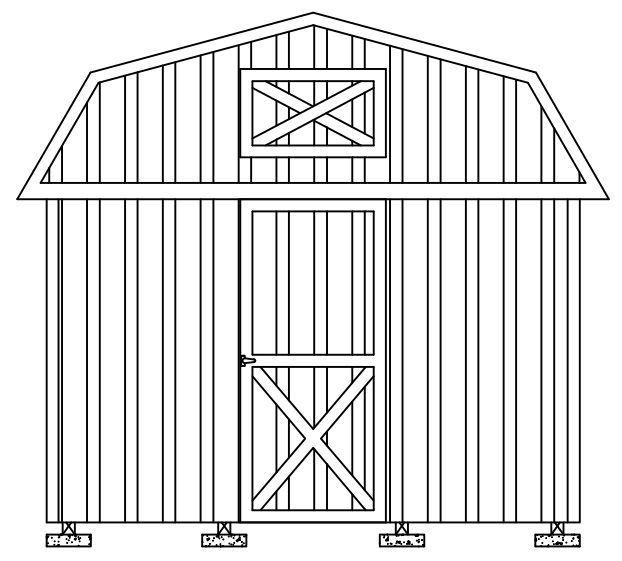
SHEET:
S-5
SHEET 5 OF 25

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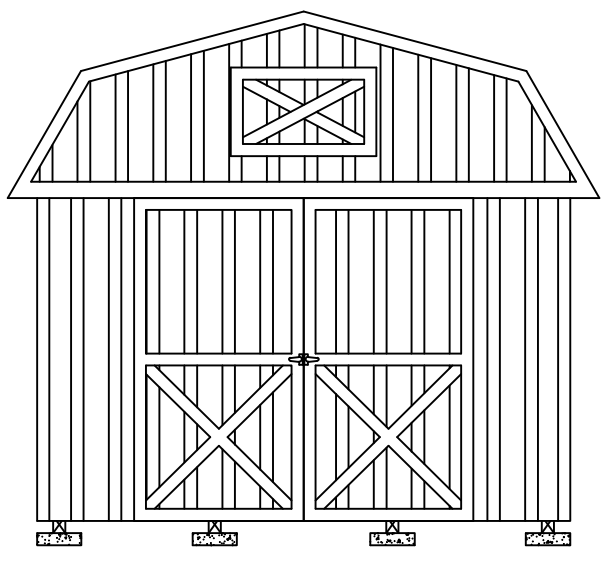
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1 SIDE WALL ELEVATION WITH PANEL SIDING
 S-6 SCALE: 1/4" = 1'-0"



SAMPLE: 11'-0" WIDE UNIT WITH 3'-0" DOOR



SAMPLE: 11'-0" WIDE UNIT WITH 7'-0" DOOR

2 ENDWALL ELEVATION WITH PANEL SIDING
 S-6 SCALE: 1/4" = 1'-0"

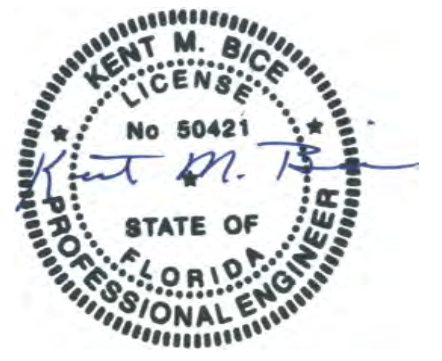
SHEARWALL WITH 3/8" LP SMART SIDING		
FLOOR WIDTH (FT)	OPENING WIDTH	
	LONG SIDE WALL	SHORT END WALL
7'-11 1/2"	2'-0", 3'-0", 4'-0", 6'-0"	2'-0", 3'-0", 4'-0"
9'-11 1/2"	2'-0", 3'-0", 4'-0", 6'-0", 7'-0"	2'-0", 3'-0", 4'-0", 6'-0"
		7'-0"
11'-0"	2'-0", 3'-0", 4'-0", 6'-0", 7'-0", 8'-0"	2'-0", 3'-0", 4'-0", 6'-0", 7'-0"
		8'-0"

- NOTES:**
- 3/8" LP SMART SIDING APA RATED SIDING 303-24" O.C. SHALL BE FASTENED USING DEFORMED (0.113" x 2 3/8") SHANK NAILS AT 6" O.C. IN FIELD AND 3" O.C. AT EDGES.
 - WINDOWS AND DOORS MAY BE LOCATED IN EITHER THE SIDE WALL OR ENDWALL. DOORS ARE PERMITTED TO BE IN BOTH ENDWALLS OR ENDWALL AND SIDEWALL IF REQUESTED BY CUSTOMER. LIMITATIONS ON THE TOTAL DIMENSIONS SHALL BE BASED ON THE SHEAR WALL HEIGHT TO WIDTH RATIO OF 3.5:1 AND SHALL NOT EXCEED (2/3) OF THE TOTAL LENGTH OF BUILDING.
 - DOOR AND WINDOW SHALL BE LOCATED SUCH THAT THEY ARE AT LEAST 3'3" APART.
 - EDGE NAILING SHALL BE PROVIDED AT TOP PLATE IN ALL END WALLS.
 - PROVIDE BLOCKING AT ALL UNSUPPORTED EDGES OF WALL SHEATHING.

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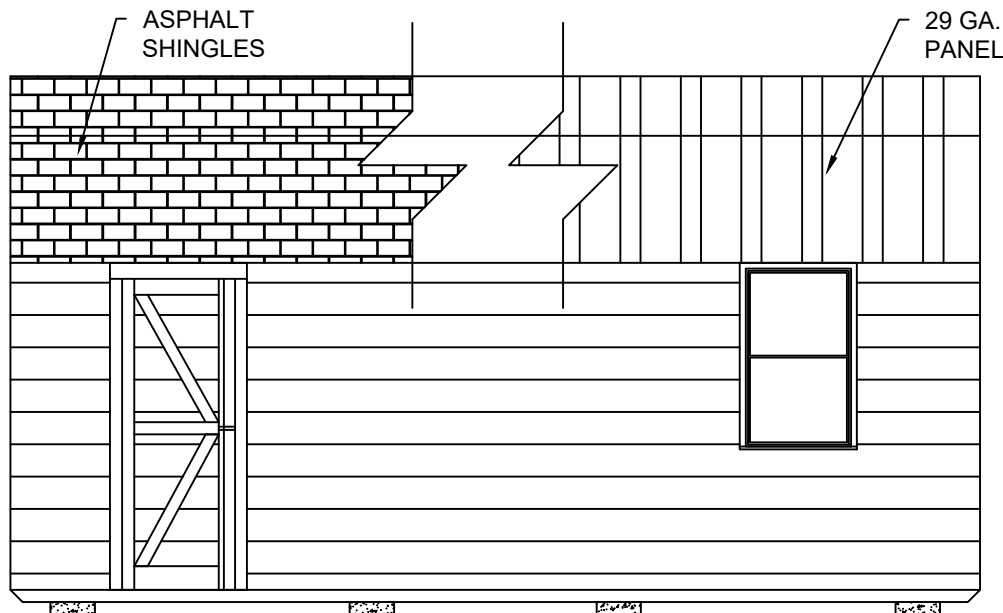
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ELEVATIONS AND SHEARWALL

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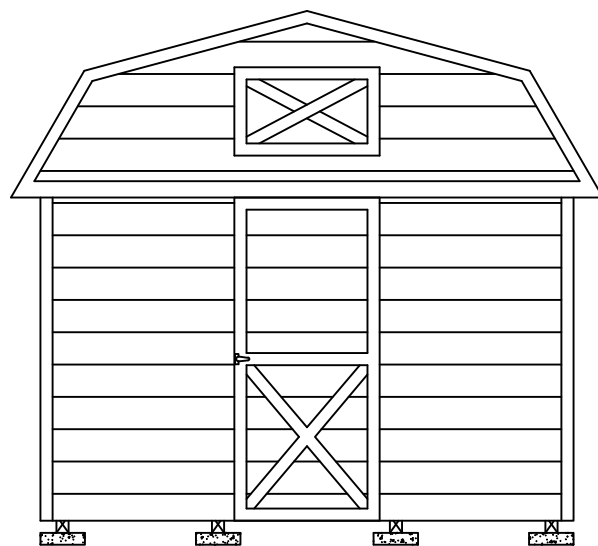
SHEET:
S-6
 SHEET 6 OF 26



1 SIDE WALL ELEVATION WITH LAP SIDING
S-6A SCALE: 1/4" = 1'-0"

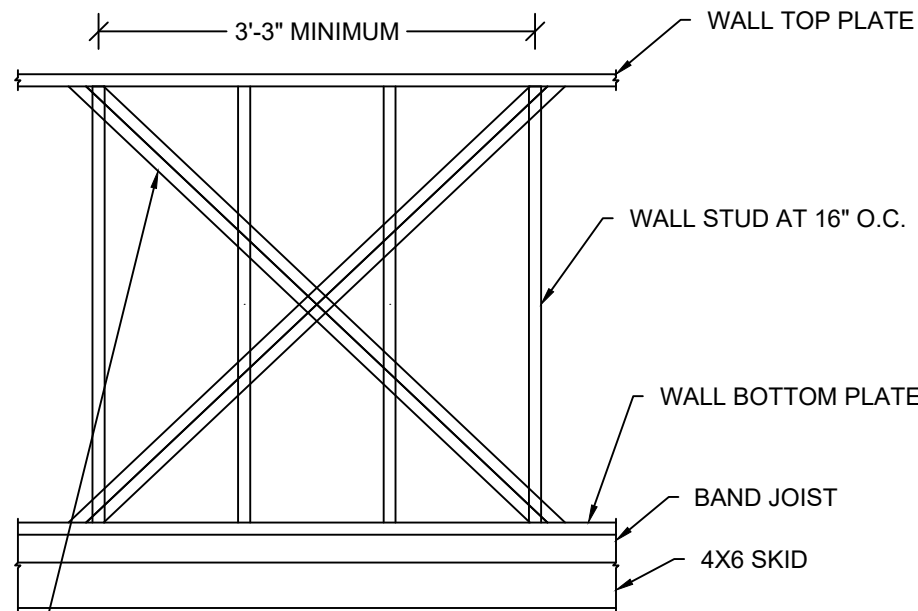
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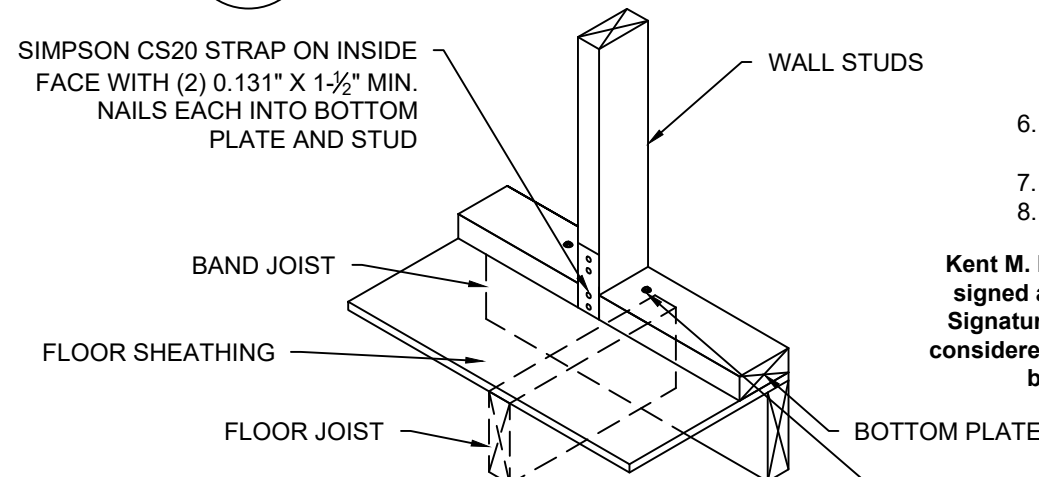
SAMPLE: 11'-0" WIDE UNIT WITH 3'-0" DOOR

4 ENDWALL ELEVATION WITH LAP SIDING
S-6A SCALE: 1/4" = 1'-0"



(2) SIMPSON CS20 (33MIL X 1-1/4", GRADE 40 STEEL, G60 COATING) X-STRAP OR EQUIVALENT ON INSIDE FACE OF WALL STUD. ATTACH STRAPS TO WALL TOP & BOTTOM PLATES WITH (5) 0.131" x 2-1/4" NAILS STAGGERED. STRAP MAY BE WRAPPED AROUND WALL TOP & BOTTOM PLATES.
ALTERNATE: 7/16" APA RATED SHEATHING ON OUTSIDE FACE OF WALL STUD FASTENED WITH 8d COMMON OR DEFORMED (0.131" x 2-1/2") NAILS AT 6" O.C. IN FIELD AND 3" O.C. AT EDGES.

2 PARTIAL SIDE WALL FRAMING ELEVATION WITH LAP SIDING
S-6A SCALE: NTS



(2) 1/4" x 4" HEX LAG SCREWS WITHIN 3" ON EITHER SIDE OF STUD AT X-BRACE END LOCATIONS AND CENTERED THRU BAND JOIST. PREDRILL MAX. 1/4" DIA. HOLE THRU BOTTOM PLATE AND 0.15" DIA. HOLE THRU SHEATHING AND BAND JOIST.

3 WALL STUD TIEDOWN FOR X-BRACE OPTION
S-6A SCALE: NTS

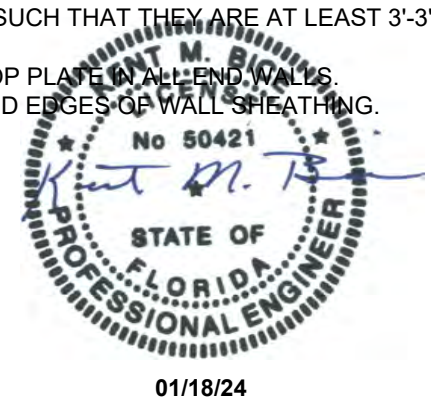
SHEARWALL WITH LP SMARTSIDE LAP SIDING ¹			MAX BUILDING LENGTH
FLOOR WIDTH (FT)	OPENING WIDTH		
	LONG SIDE WALL ²	SHORT END WALL ^{3,4}	23'-9"
7'-11 1/2"	2'-0", 3'-0", 4'-0", 6'-0", 8'-0"	2'-0", 3'-0", 4'-0"	
9'-11 1/2"	2'-0", 3'-0", 4'-0", 6'-0", 7'-0", 8'-0"	2'-0", 3'-0", 4'-0", 6'-0", 7'-0"	29'-9"
11'-0"	2'-0", 3'-0", 4'-0", 6'-0", 7'-0", 8'-0"	2'-0", 3'-0", 4'-0", 6'-0", 7'-0", 8'-0"	32'-0"

NOTES:

- MIN. 0.45" THICK LP SMARTSIDE 12" BOLD PROFILES DOUBLE 5" FIBER SUBSTRATE LAP SIDING PER ICC-ES ESR 3090, TABLES 2A, 2B AND 2C
- ON LONG SIDE WALL, ATTACH LAP SIDING TO EACH WALL STUD WITH MINIMUM 8d SINKER NAILS (0.113" X 2-3/8") AT 3/8" FROM EACH END, AND 3 NAILS PER STUD -- 3" FROM TOP EDGE, IN THE MIDDLE AND 1-1/2" FROM BOTTOM EDGE. PROVIDE X-STRAP OR SHEATHING ON WALL PER 2/S-6A.
- ON SHORT END WALL, ATTACH LAP SIDING TO SHEATHING WITH MINIMUM 8d SINKER NAILS (0.113" X 2-3/8") AT 3/8" FROM EACH END, AND 3 NAILS PER 16" SPACING -- 3" FROM TOP EDGE, IN THE MIDDLE AND 1-1/2" FROM BOTTOM EDGE.
- ON SHORT END WALL WITHOUT AN OPENING, PROVIDE MIN. 7/16" APA RATED SHEATHING ON EXTERIOR FACE FASTENED TO STUDS WITH 8d COMMON OR DEFORMED (0.131" x 2-1/2") NAILS AT 6" O.C. IN FIELD AND 4" O.C. AT EDGES. ON SHORT END WALL WITH AN OPENING, PROVIDE 19/32" APA RATED SHEATHING ON EXTERIOR FACE FASTENED TO STUDS WITH 8d COMMON OR DEFORMED (0.131" x 2-1/2") NAILS AT 6" O.C. IN FIELD AND 3" O.C. AT EDGES. ALTERNATE FOR SHORT END WALL WITH OPENING:
ON EXTERIOR FACE OF TRUSS - PROVIDE PANEL SIDING PER SHEET S-6
ON EXTERIOR FACE OF WALL - PROVIDE LAP SIDING AND
ON INTERIOR FACE OF WALL - PROVIDE 19/32" APA RATED SHEATHING.
- WINDOWS AND DOORS MAY BE LOCATED IN EITHER THE SIDE WALL OR ENDWALL. DOORS ARE PERMITTED TO BE IN BOTH ENDWALLS OR ENDWALL AND SIDEWALL IF REQUESTED BY CUSTOMER. LIMITATIONS ON THE TOTAL DIMENSIONS SHALL BE BASED ON THE SHEAR WALL HEIGHT TO WIDTH RATIO OF 3.5:1 AND SHALL NOT EXCEED (2/3) OF THE TOTAL LENGTH OF BUILDING.
- DOOR AND WINDOW SHALL BE LOCATED SUCH THAT THEY ARE AT LEAST 3'-3" APART.
- EDGE NAILING SHALL BE PROVIDED AT TOP PLATE IN ALL END WALLS.
- PROVIDE BLOCKING AT ALL UNSUPPORTED EDGES OF WALL SHEATHING.

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FL COA #: 30468

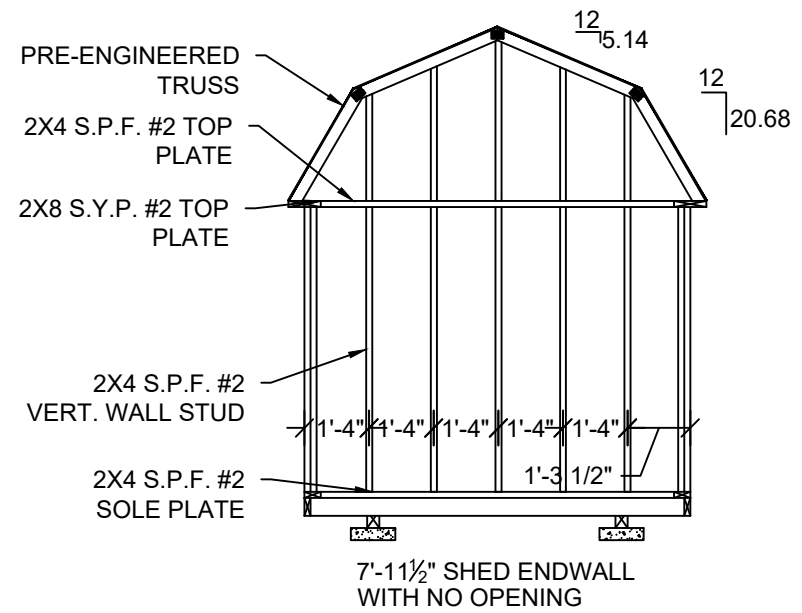


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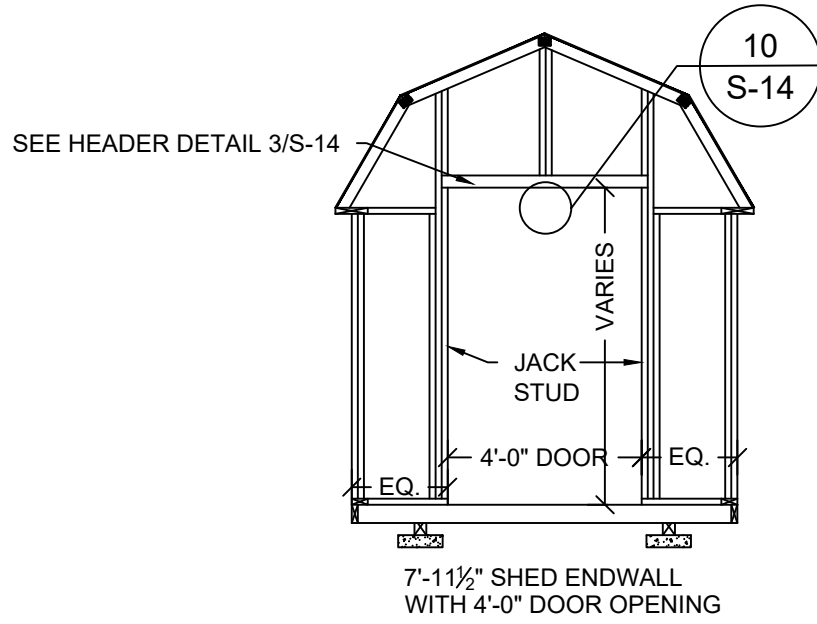
ELEVATIONS AND SHEARWALL		S-6A
DATE: 12/08/20	DRAWN BY: RD	
SCALE: AS NOTED	CHECKED BY: KMB	SHEET 7 OF 2

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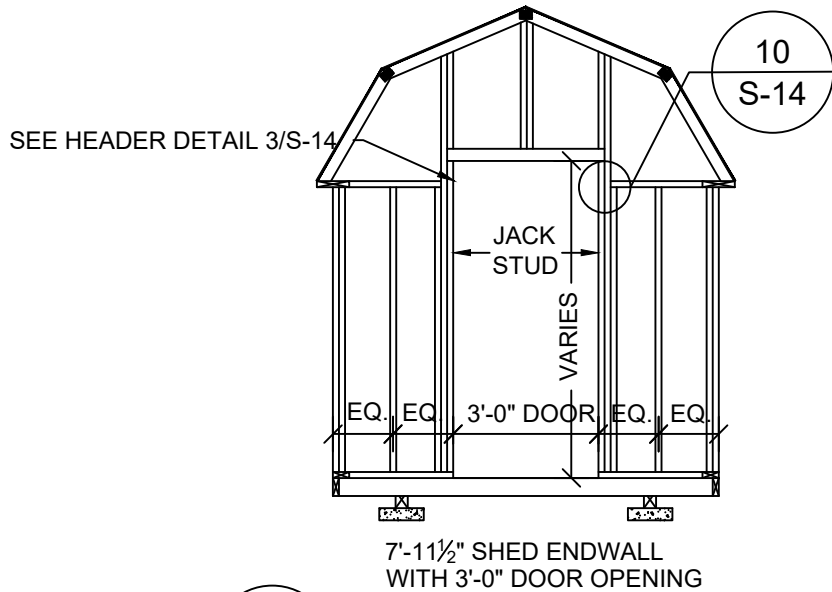
Item 2.



1
 S-7 **FRAMING ELEVATION**
 SCALE: 1/4" = 1'-0"



2
 S-7 **FRAMING ELEVATION**
 SCALE: 1/4" = 1'-0"



3
 S-7 **FRAMING ELEVATION**
 SCALE: 1/4" = 1'-0"

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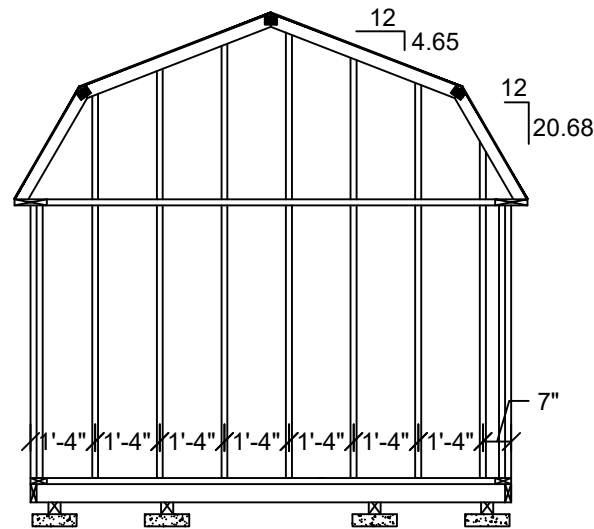
7'-11 1/2" SHED FRAMING ELEVATIONS

DATE: 12/08/20 DRAWN BY: RD
 SCALE: AS NOTED CHECKED BY: KMB

SHEET:
S-7
 SHEET 8 OF 28

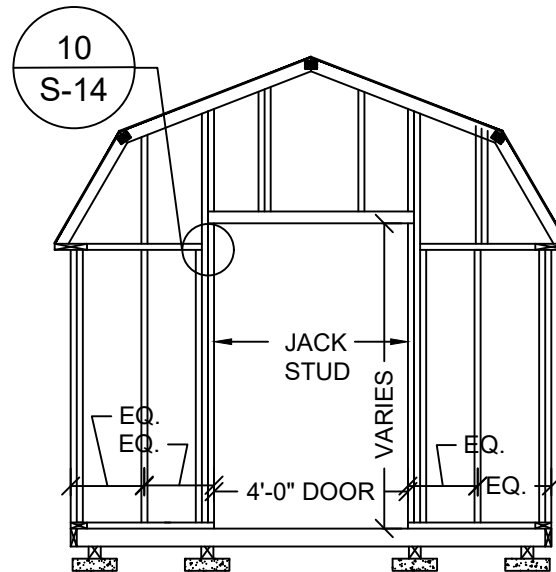
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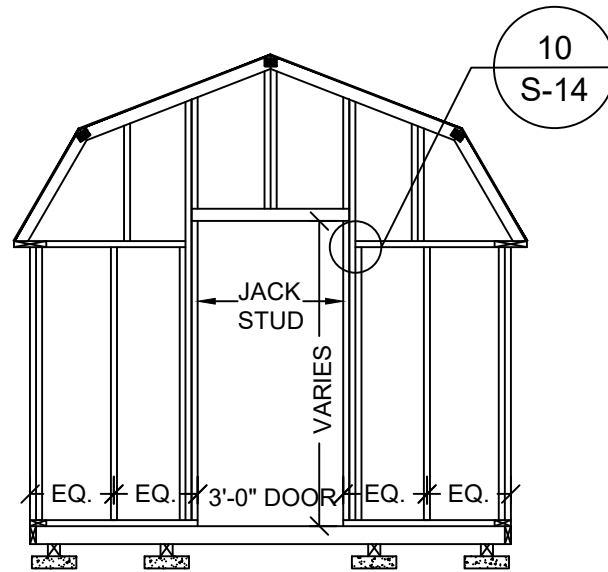
9'-11 1/2" SHED ENDWALL WITH NO OPENING

1 FRAMING ELEVATION S-8 SCALE: 1/4" = 1'-0"



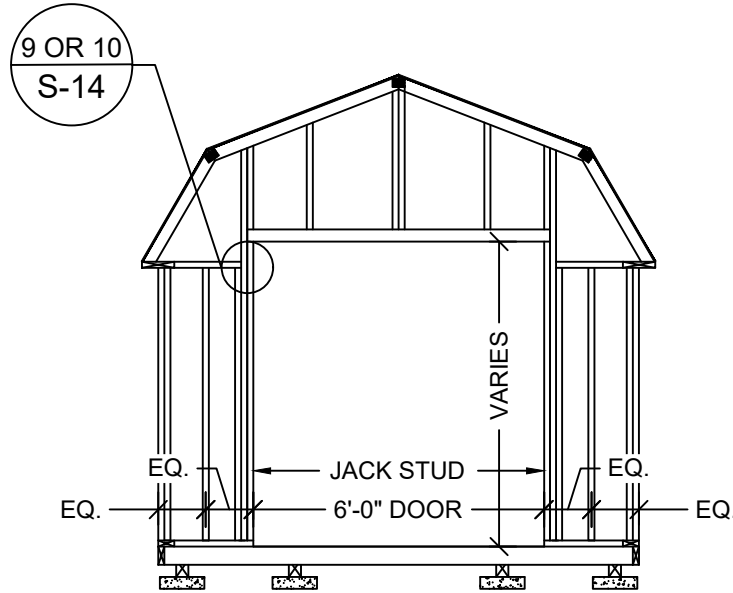
9'-11 1/2" SHED ENDWALL WITH 4'-0" DOOR OPENING

2 FRAMING ELEVATION S-8 SCALE: 1/4" = 1'-0"



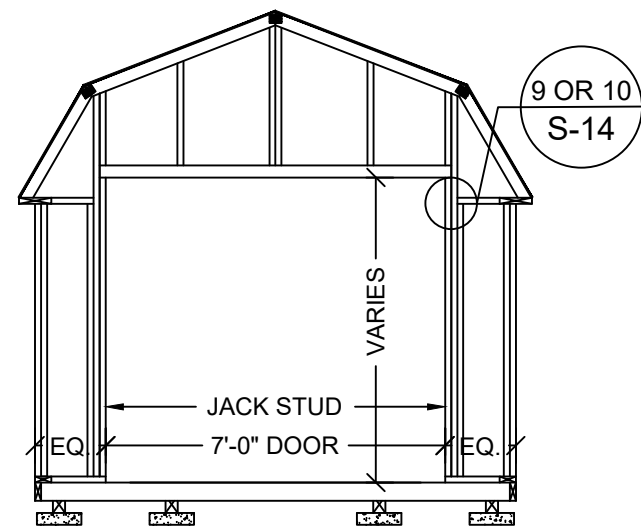
9'-11 1/2" SHED ENDWALL WITH 3'-0" DOOR OPENING

3 FRAMING ELEVATION S-8 SCALE: 1/4" = 1'-0"



9'-11 1/2" SHED ENDWALL WITH 6'-0" DOOR OPENING

4 FRAMING ELEVATION S-8 SCALE: 1/4" = 1'-0"



9'-11 1/2" SHED ENDWALL WITH 7'-0" DOOR OPENING

5 FRAMING ELEVATION S-8 SCALE: 1/4" = 1'-0"

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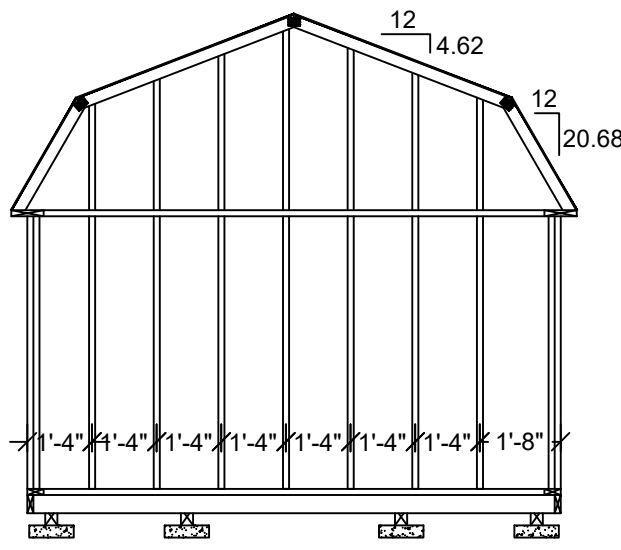
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9'-11 1/2" SHED FRAMING ELEVATIONS

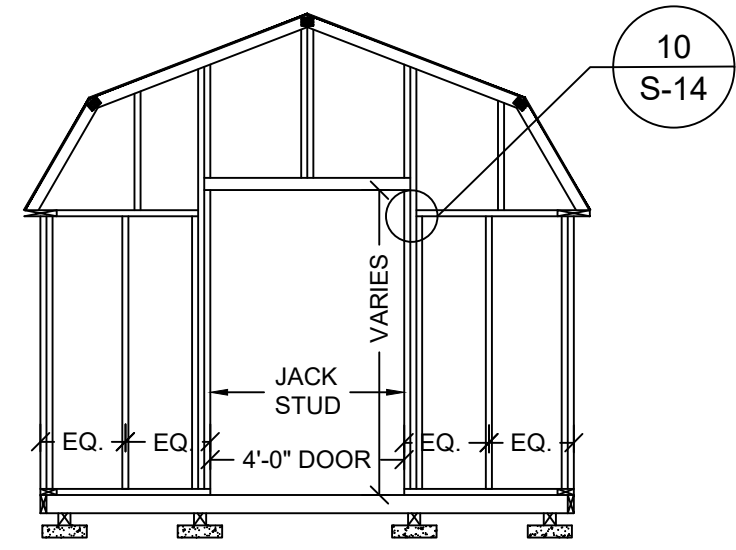
DATE: 12/08/20 DRAWN BY: RD
SCALE: AS NOTED CHECKED BY: KMB

SHEET: S-8 SHEET 9 OF 2



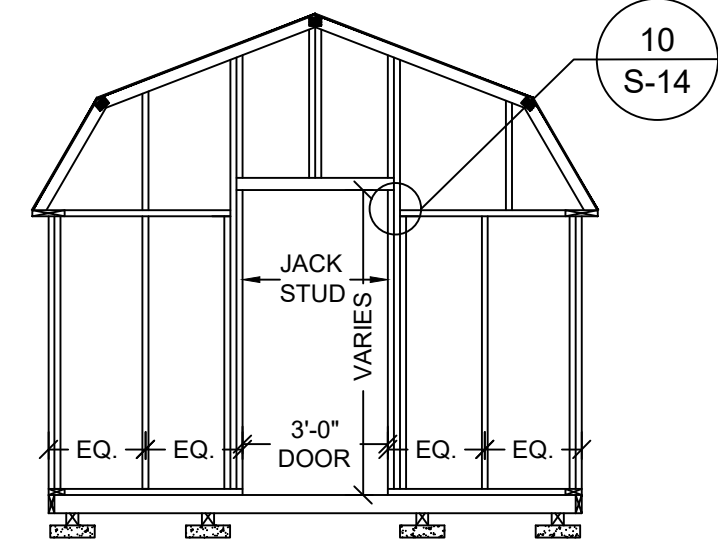
11'-0" SHED ENDWALL WITH NO OPENING

1 **FRAMING ELEVATION**
S-9 SCALE: 1/4" = 1'-0"



11'-0" SHED ENDWALL WITH 4'-0" DOOR OPENING

2 **FRAMING ELEVATION**
S-9 SCALE: 1/4" = 1'-0"



11'-0" SHED ENDWALL WITH 3'-0" DOOR OPENING

3 **FRAMING ELEVATION**
S-9 SCALE: 1/4" = 1'-0"

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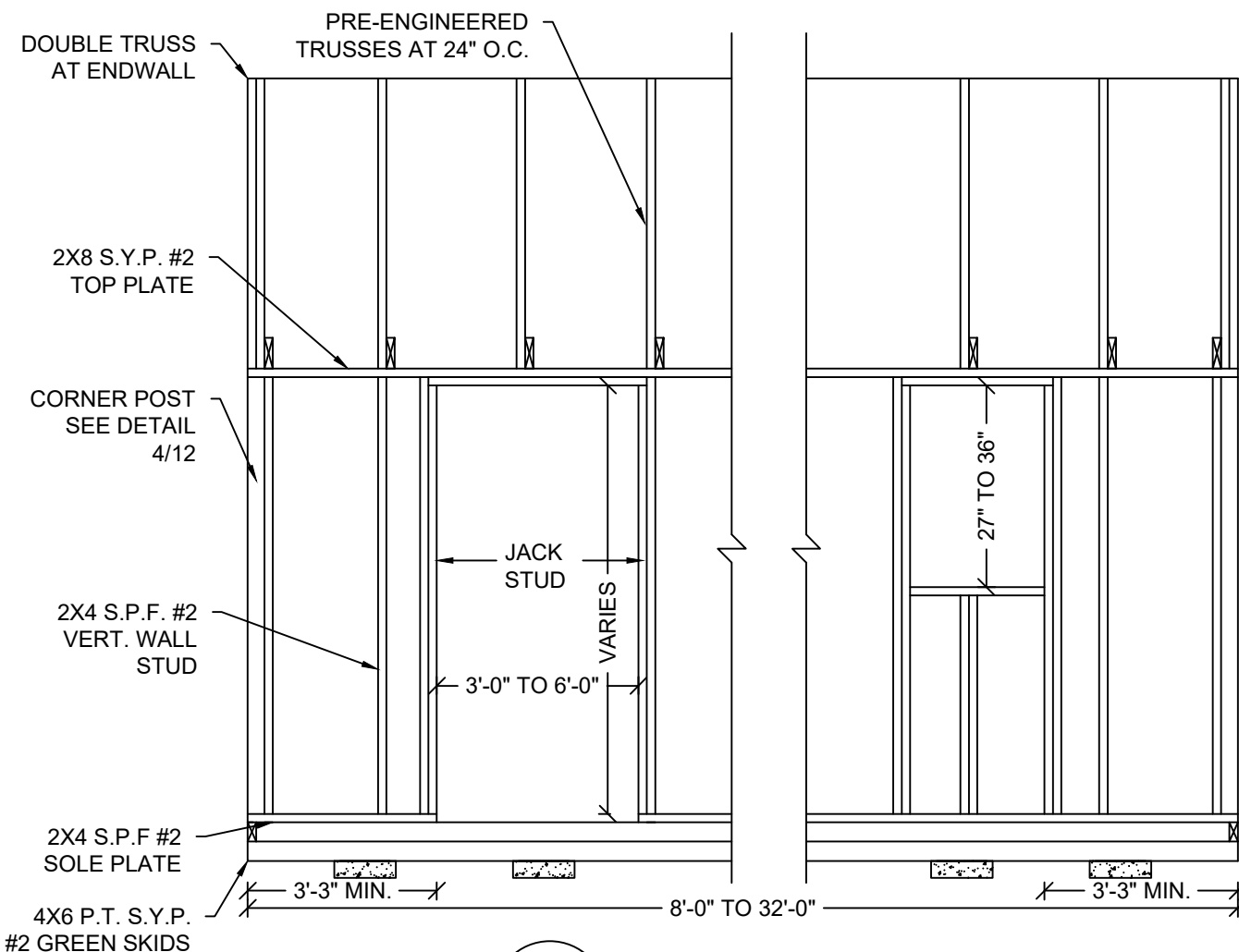
11'-0" SHED
FRAMING ELEVATIONS

DATE: 12/08/20	DRAWN BY: RD
SCALE: AS NOTED	CHECKED BY: KMB

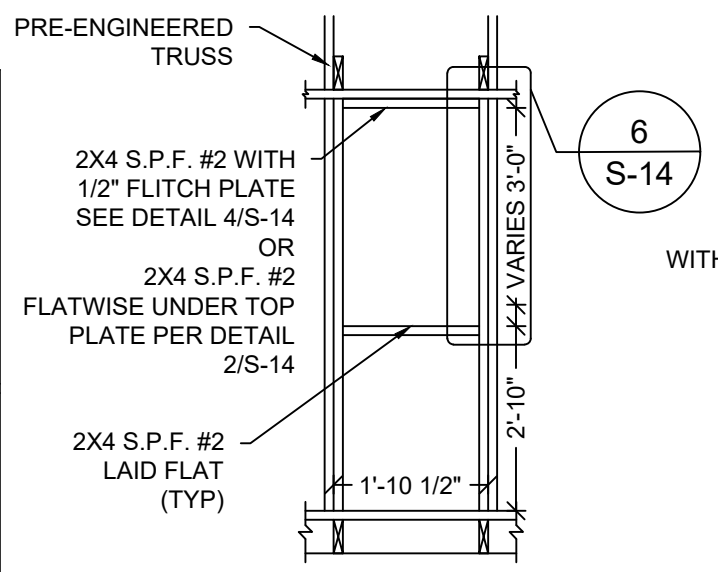
SHEET:
S-9
SHEET 10 OF 30

2024-01-18 TOP LINE ENGINEERING, LLC APPROVAL

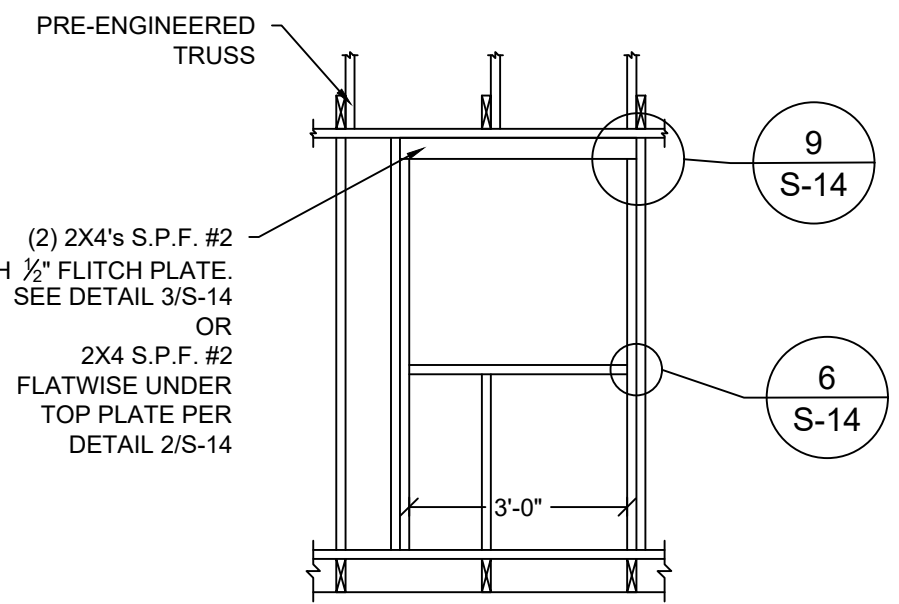
THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE 2023 FLORIDA BUILDING CODE 8TH EDITION ASCE 7-22.



1 FRAMING ELEVATION
S-10 SCALE: 3/8" = 1'-0"



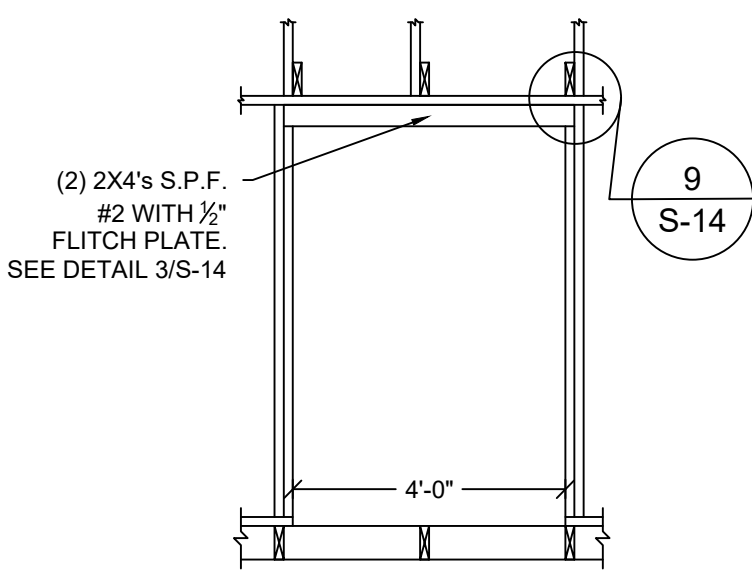
2 FRAMING ELEVATION
S-10 SCALE: 3/8" = 1'-0"



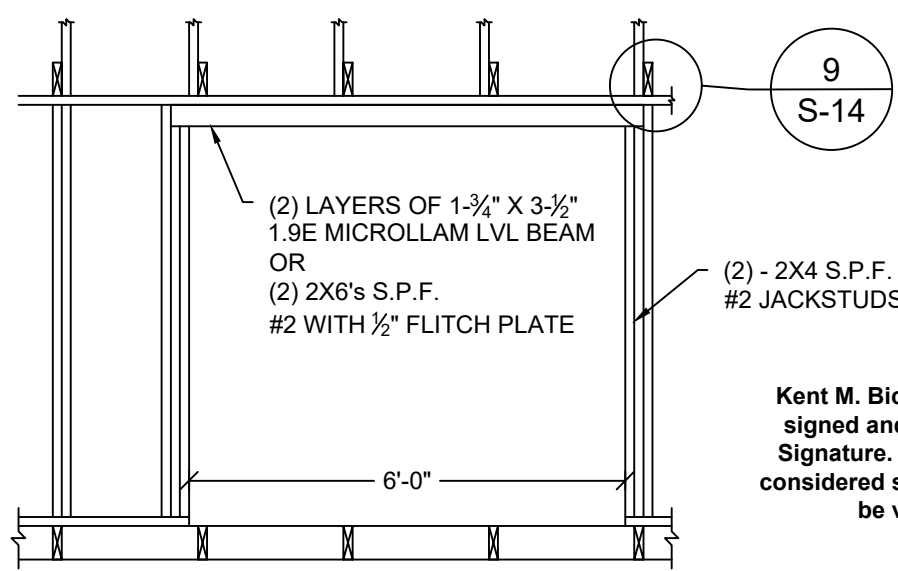
3 FRAMING ELEVATION
S-10 SCALE: 3/8" = 1'-0"

NOTE:
FOR ALL FASTENING OF FRAMING MEMBERS NOT NOTED ON THIS SHEET REFER TO FASTENING SCHEDULE ON SHEET S-4.

2024-01-18 TOP LINE ENGINEERING, LLC APPROVAL



4 FRAMING ELEVATION
S-10 SCALE: 3/8" = 1'-0"



5 FRAMING ELEVATION
S-10 SCALE: 3/8" = 1'-0"

TOP LINE ENGINEERING, LLC
STRUCTURAL ENGINEERS
William E. Neary, III
SMP-51, SMI-79, ICC 5185040
10649 Oakview Pointe Terrace
Gotha, Florida 34734

FL PE Name: Kent M. Bice
FL PE #: 50421
FL COA #: 30468



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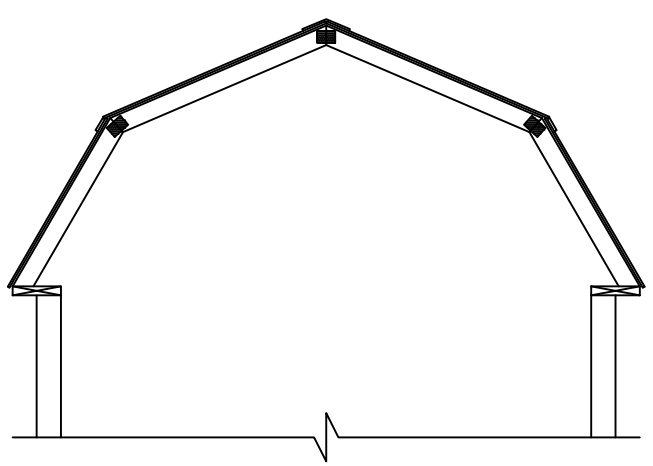
1552 6TH ST., WINTER HAVEN, FL 33880
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SIDE WALL ELEVATION

DATE: 12/08/20 DRAWN BY: RD
SCALE: AS NOTED CHECKED BY: KMB

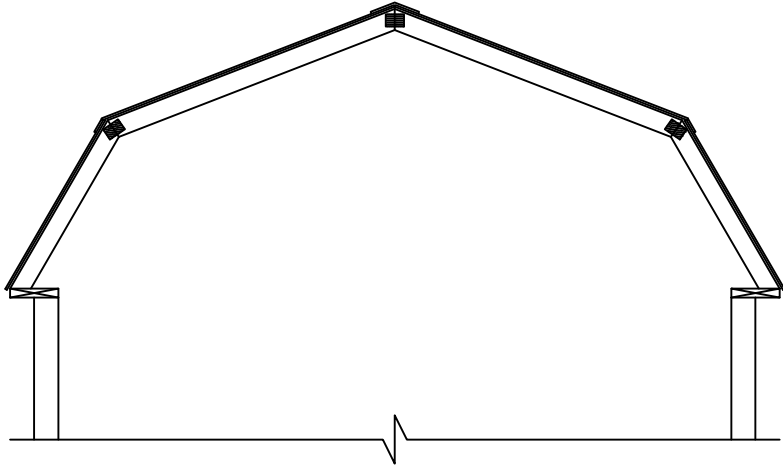
SHEET:
S-10
SHEET 11 OF 31

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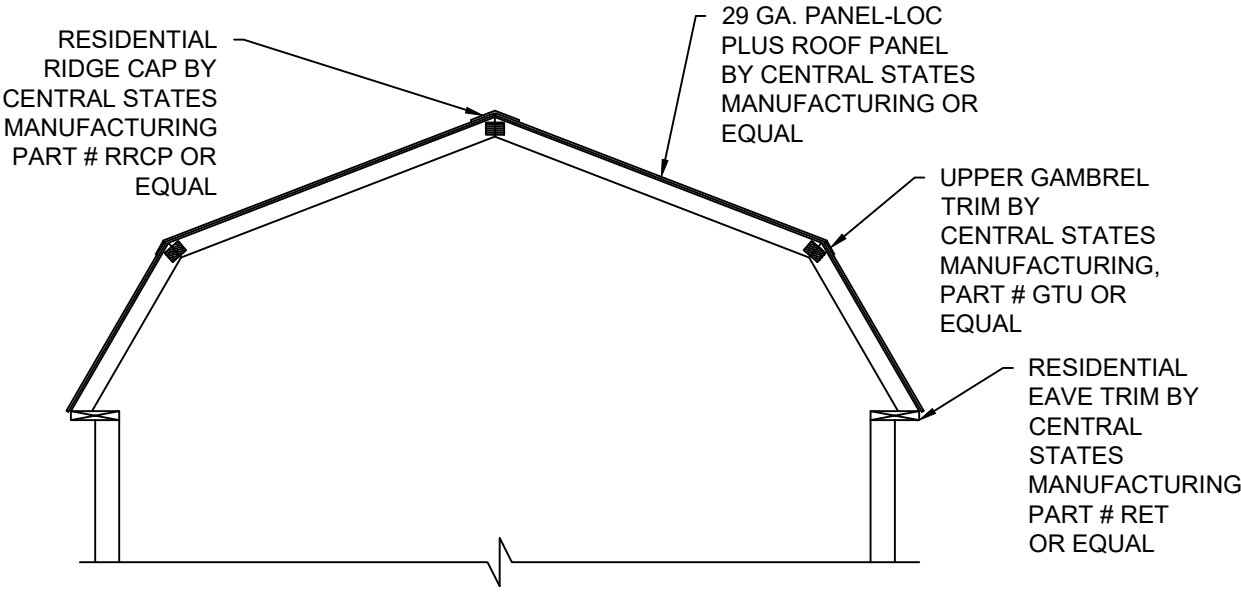
7'-11 1/2" WIDE
OPTIONAL METAL ROOF

1
S-11 **CROSS SECTION**
SCALE: 3/8" = 1'-0"



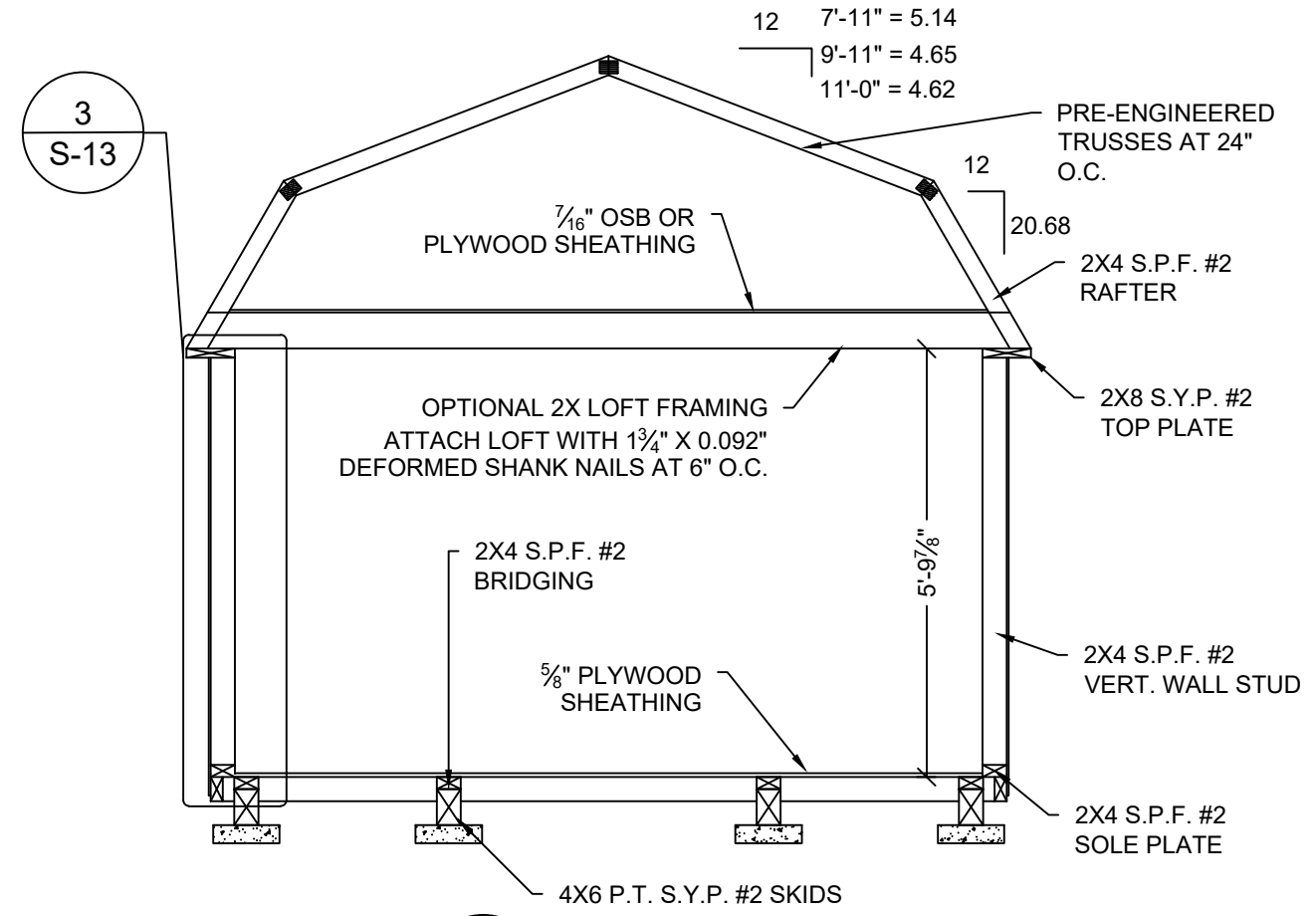
9'-11 1/2" WIDE
OPTIONAL METAL ROOF

2
S-11 **CROSS SECTION**
SCALE: 3/8" = 1'-0"



11'-0" WIDE
OPTIONAL METAL ROOF

3
S-11 **CROSS SECTION**
SCALE: 3/8" = 1'-0"



4
S-11 **CROSS SECTION**
SCALE: 3/8" = 1'-0"

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CROSS SECTIONS

DATE: 12/08/20 DRAWN BY: RD
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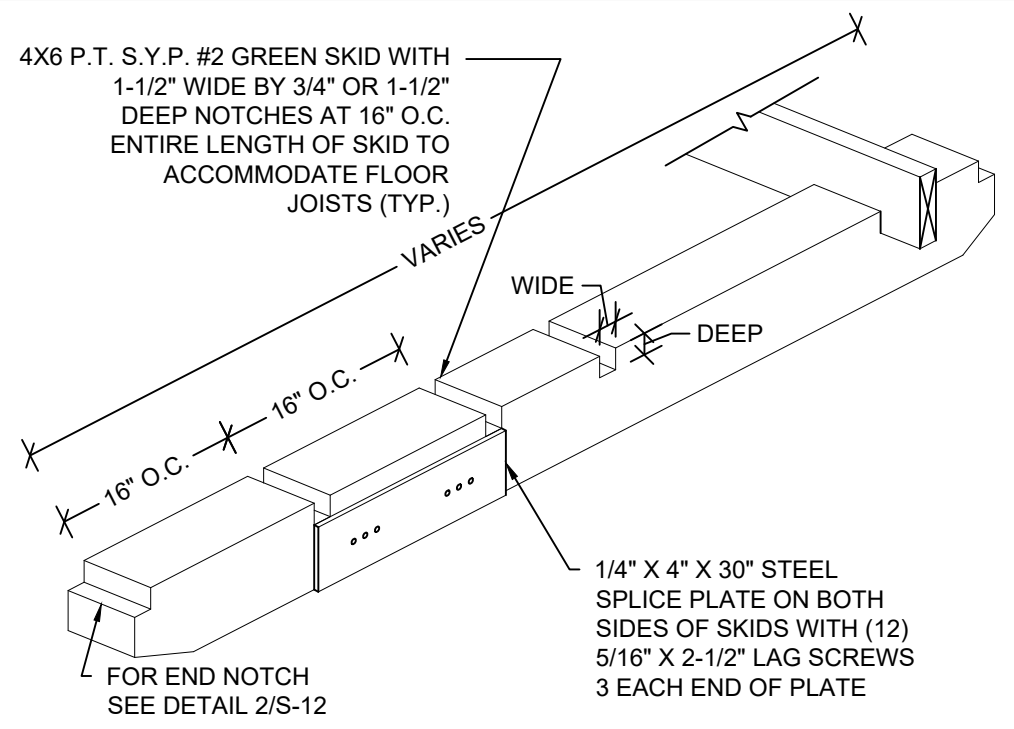
SHEET:
S-11
SHEET 12 OF 32

2024-01-18 TOP LINE ENGINEERING, LLC APPROVAL

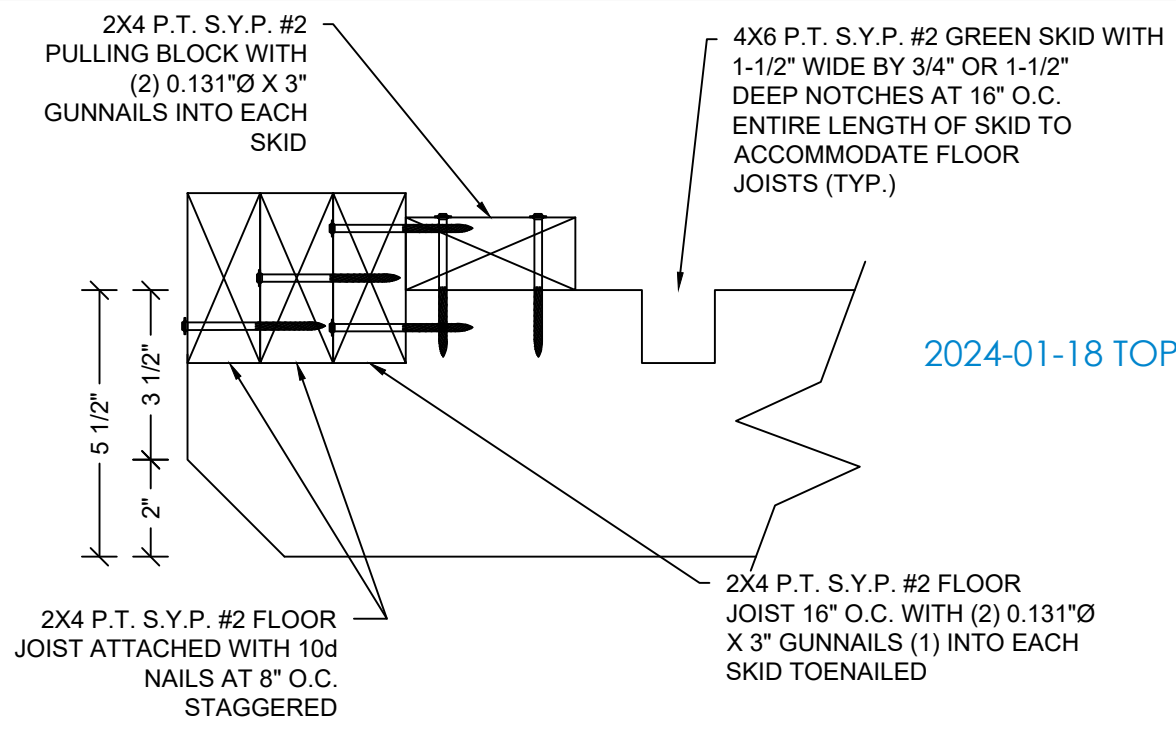
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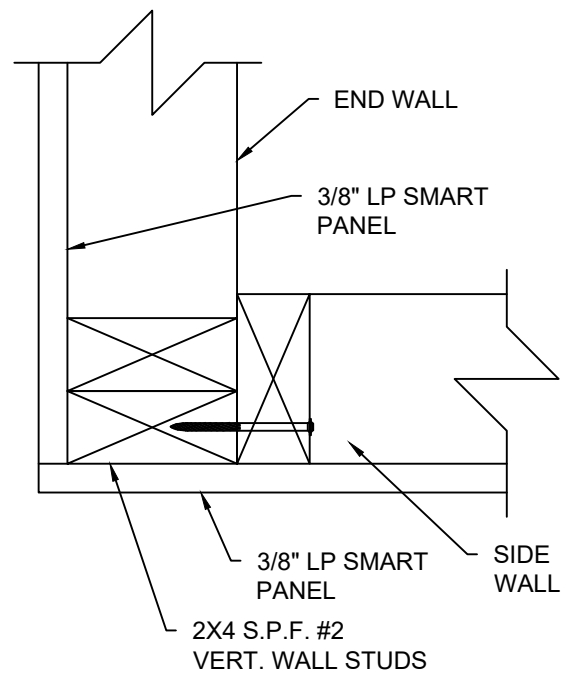
1 ISOMETRIC SKID DETAIL
S-12 SCALE: N.T.S.



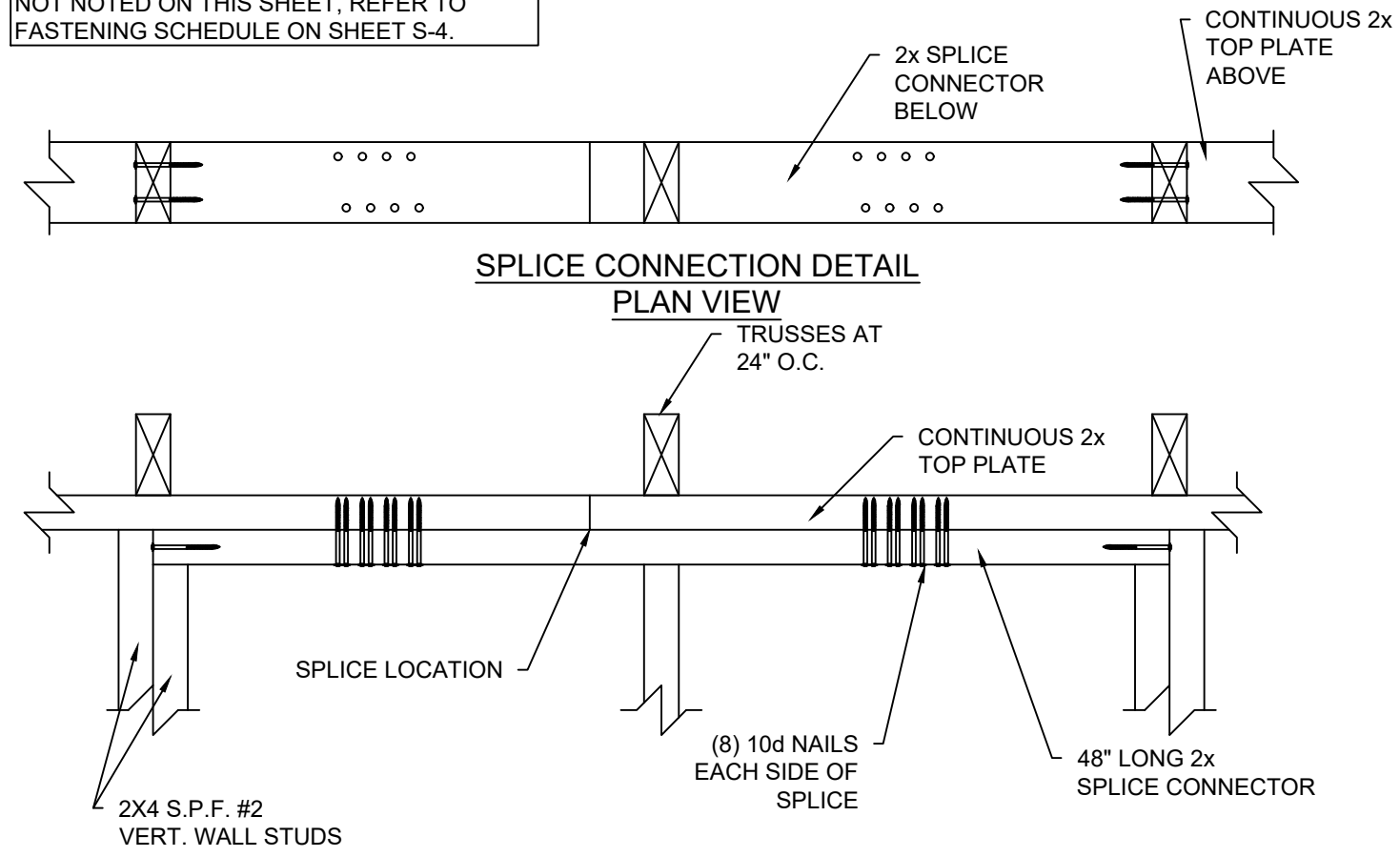
2 END WALL JOIST DETAIL
S-12 SCALE: 3" = 1'-0"

NOTE:
SKIDS ARE IN CONTACT WITH GROUND.

NOTE:
FOR ALL FASTENERS OF FRAMING MEMBERS NOT NOTED ON THIS SHEET, REFER TO FASTENING SCHEDULE ON SHEET S-4.



3 CORNER CONNECTION DETAIL
S-12 SCALE 3" = 1'-0"



4 SPLICE CONNECTION DETAIL
S-12 SCALE: 1-1/2" = 1'-0"

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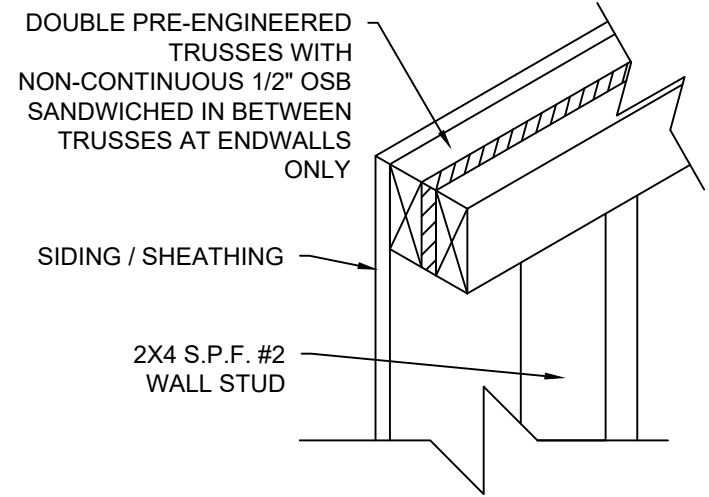


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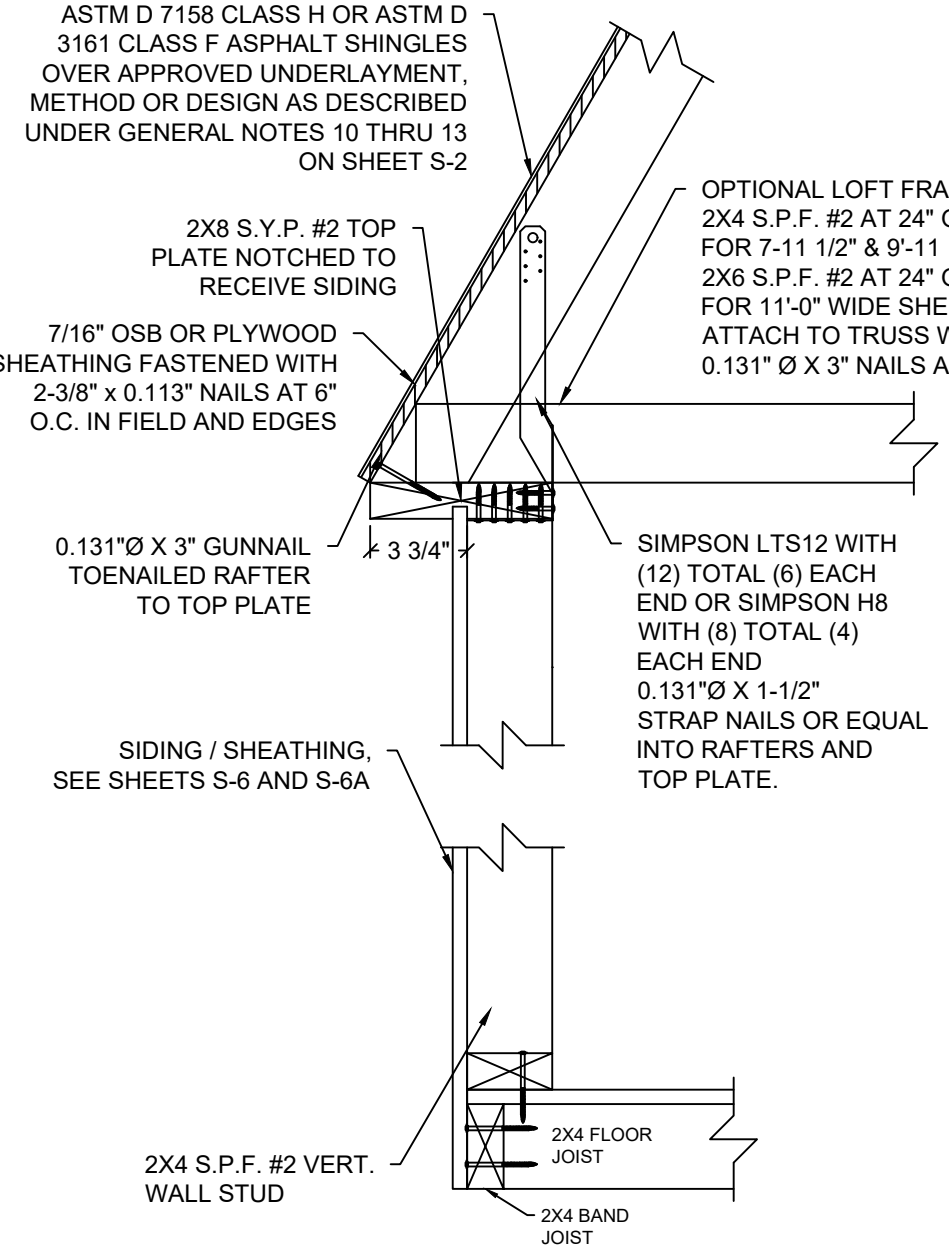
DETAILS	
DATE: 12/08/20	DRAWN BY: RD
SCALE: AS NOTED	CHECKED BY: KMB

SHEET:
S-12
SHEET 13 OF 33

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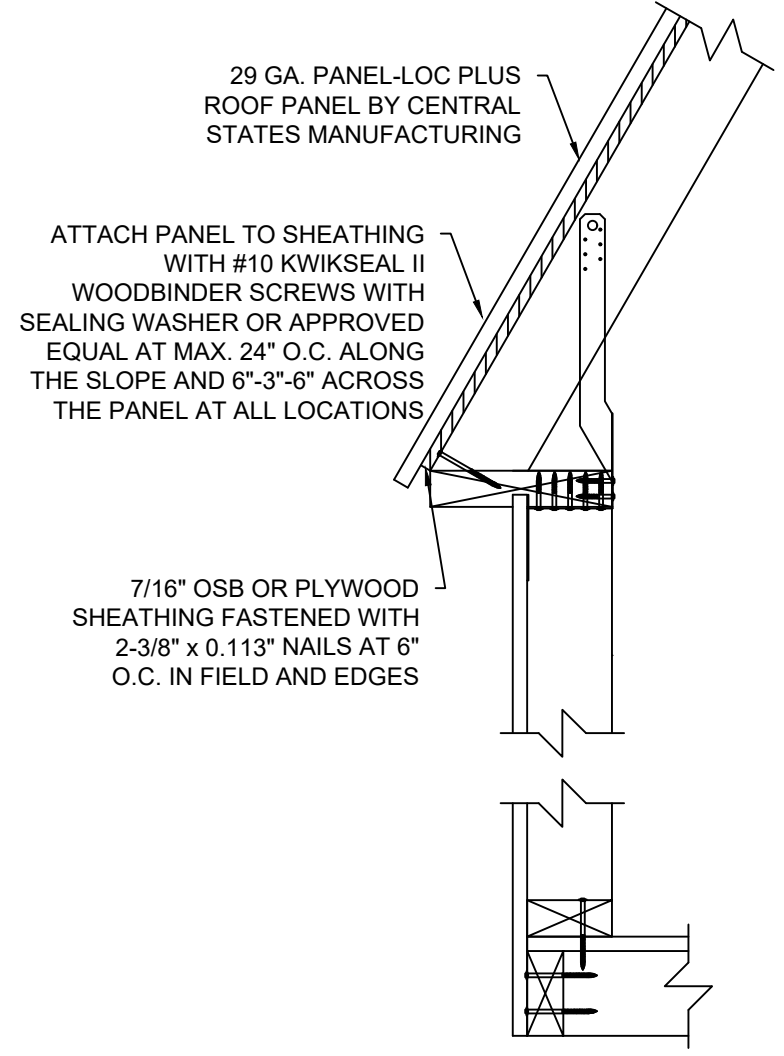


1
S-13 **DOUBLE TRUSS DETAIL**
SCALE: 1-1/2" = 1'-0"



3
S-13 **TOP PLATE TO RAFTER AND FLOOR FASTENING DETAIL**
SCALE: 1-1/2" = 1'-0"

NOTE:
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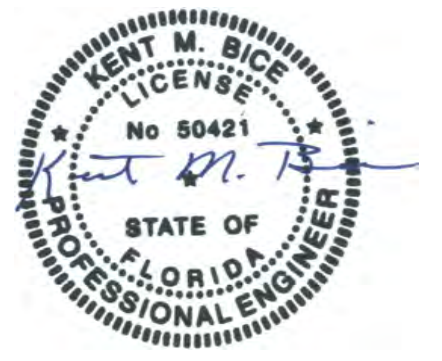


2
S-13 **TOP PLATE TO RAFTER FASTENING WITH METAL ROOF DETAIL**
SCALE: 1-1/2" = 1'-0"

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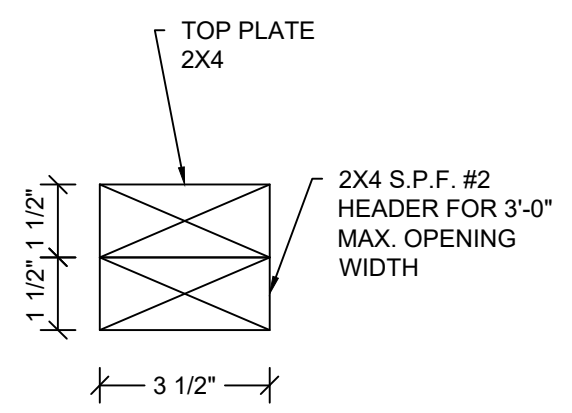
DETAILS	
DATE: 12/08/20	DRAWN BY: RD
SCALE: AS NOTED	CHECKED BY: KMB

SHEET:
S-13
SHEET 14 OF 34

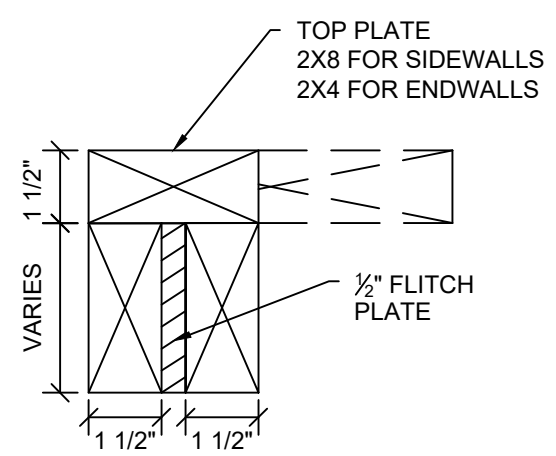


18 GA. GALVANIZED STEEL WITH (12) TOTAL (6) EACH END 0.131"Ø X 1-1/2" STRAP NAILS OR EQUAL INTO RAFTERS AND STUD WALLS

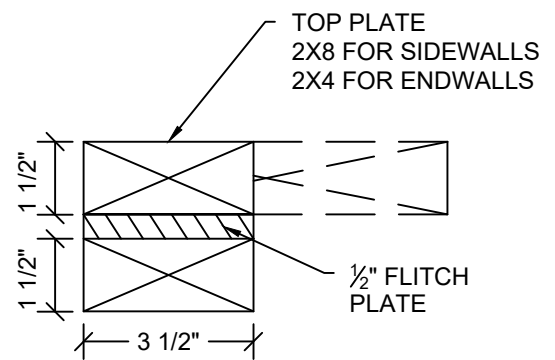
1 SIMPSON STRAP DETAIL S-14 SCALE: 3" = 1'-0"



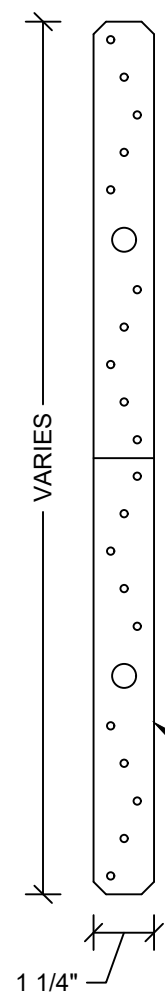
2 HEADER SECTION S-14 SCALE: 3" = 1'-0"



3 HEADER SECTION S-14 SCALE: 3" = 1'-0"



4 HEADER SECTION S-14 SCALE: 3" = 1'-0"



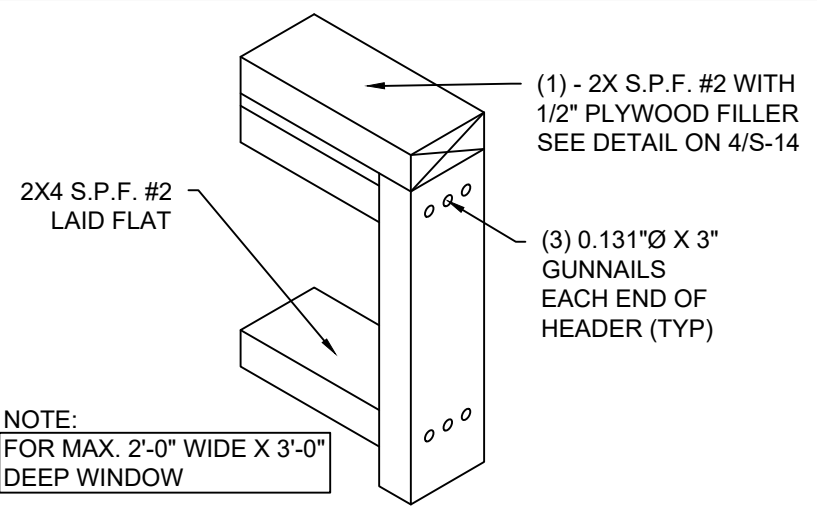
5 STRAP DETAIL S-14 SCALE: 3" = 1'-0"

NOTE: USED ON EVERY WALL STUD TO CONNECT WALL TO ROOF TRUSS.

SIMPSON CS20 20 GA X 1-1/4" GALV. STEEL STRAP WITH (18) 0.131"Ø X 2-1/4" NAILS OR EQUAL (9) INTO RAFTERS AND (9) INTO STUD WALL

NOTE: FOR MAX. 2'-0" WIDE X 3'-0" DEEP WINDOW

6 WINDOW HEADER AND SILL DETAIL S-14 SCALE: N.T.S.

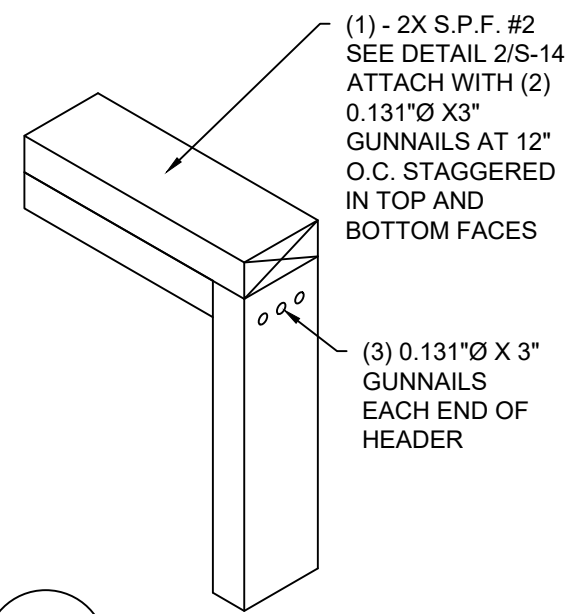


FOR MAX. 4'-0" WIDE X 5'-10" DEEP OPENINGS IN SIDE WALL - (2) 2X4 S.P.F. #2 WITH 1/2" PLYWOOD FILLER.
FOR MAX. 6'-0" WIDE X 5'-10" DEEP OPENINGS IN SIDE WALL - (2) 2X6 S.P.F. #2 WITH 1/2" PLYWOOD FILLER OR (2) 1-3/4" X 3-1/2" 1.9E MICROLLAM LVL
FOR OPENINGS IN END WALL: (2) 2X4 S.P.F. #2 WITH 1/2" PLYWOOD FILLER.

SIMPSON CS20 20GA. X 1-1/2" STRAP WRAPPED OVER HEADER. ATTACH STRAP TO EACH SIDE OF JACK STUD WITH 0.131"Ø X 2 1/4" GUNNAILS: (3) NAILS FOR UP TO 3'-0" WIDE OPENINGS (6) NAILS FOR UP TO 6'-0" WIDE OPENINGS (9) NAILS FOR UP TO 8'-0" WIDE OPENINGS

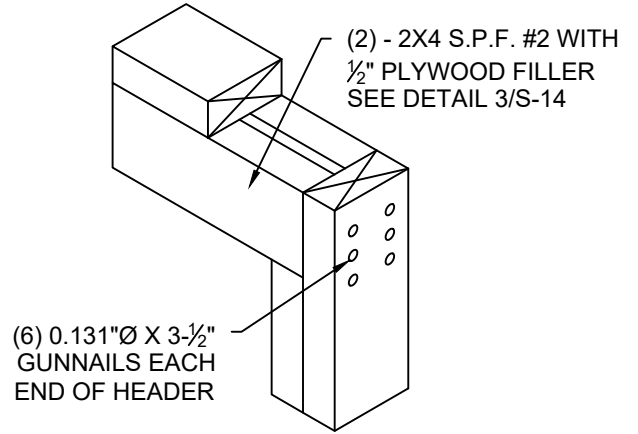
9 HEADER WITH STRAP S-14 SCALE: N.T.S.

NOTE: FOR MAX. 6'-0" WIDE X 5'-10" DEEP OPENING ON SIDE WALL AND MAX. 8'-0" WIDE X 6'-8" DEEP OPENING ON END WALL



10 HEADER WITHOUT STRAP S-14 SCALE: N.T.S.

NOTE: FOR MAX. 7'-0" WIDE X 5'-10" DEEP OPENING ON END WALL



7 CRIPPLE STUD WITH STRAP DETAIL S-14 SCALE: N.T.S.

8 HEADER WITHOUT STRAP S-14 SCALE: N.T.S. NOTE: FOR MAX. 6'-0" WIDE X 6'-8" DEEP OPENING ON END WALL

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10649 Oakview Pointe Terrace
Gotha, Florida 34734

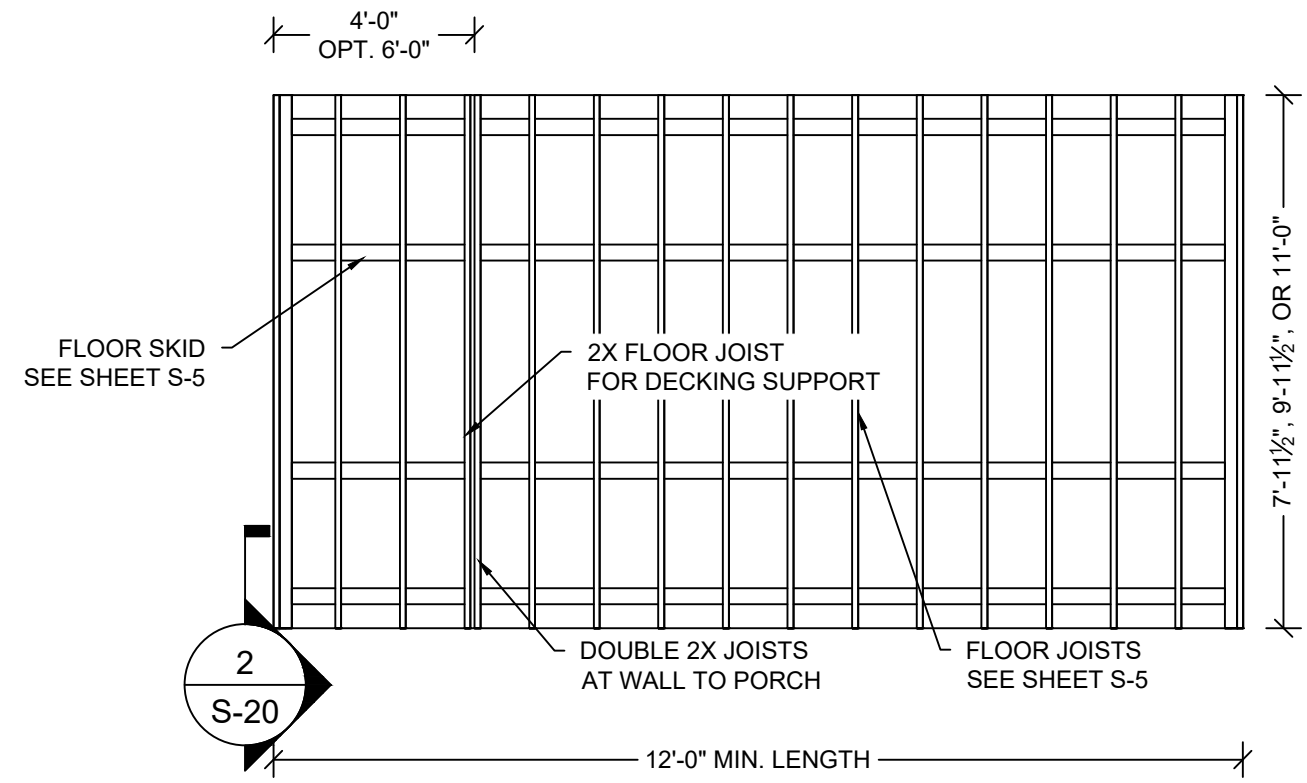
FL PE Name: Kent M. Bice
FL PE #: 50421
FL COA #: 30468



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DETAILS	
DATE: 12/08/20	DRAWN BY: RD
SCALE: AS NOTED	CHECKED BY: KMB

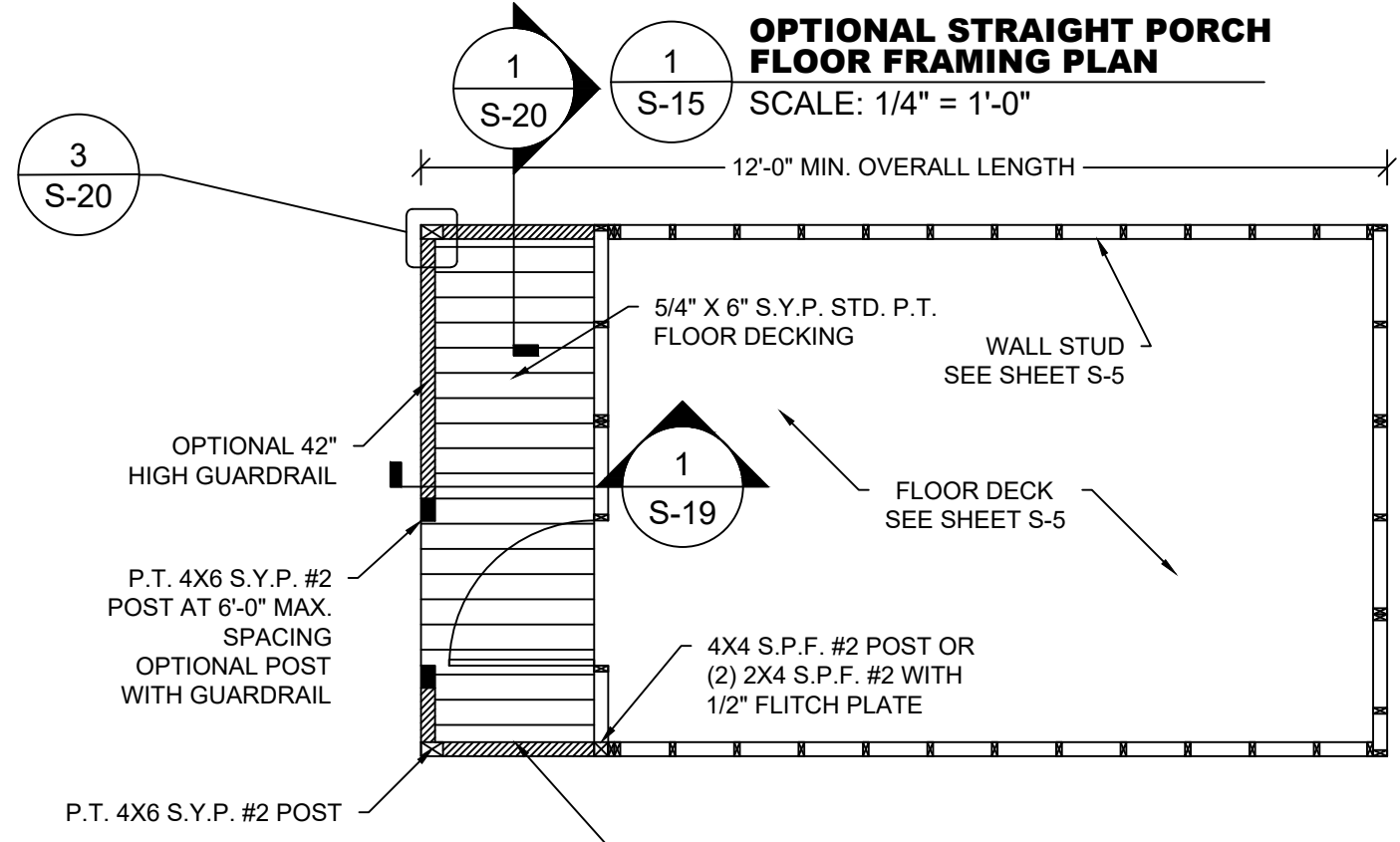
SHEET: S-14 SHEET 15 OF 35



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OPTIONAL STRAIGHT PORCH FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



2024-01-18 TOP LINE ENGINEERING, LLC APPROVAL

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STRUCTURAL ENGINEERS
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10649 Oakview Pointe Terrace
Gotha, Florida 34734

FL PE Name: Kent M. Bice
FL PE #: 50421
FL COA #: 30468



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NOTES:

- P.T. 4X6 S.Y.P. #2 POST IS SHOWN. 4X4 POST IS OR 2X4 S.P.F. #2 WITH 1/2" FLITCH PLATE IS OPTIONAL

ON SIDE WALL FOR 4' PORCH - EXTEND TOP PLATE TO TOP OF POST WITH P.T. 2X4 S.Y.P #2 BEAM UNDER IT.
ON SIDE WALL FOR 6' PORCH - (2) 1-3/4" X 3-1/2" 1.9E MICROLLAM LVL BEAM OR P.T. (2) 2X6 S.P.F. #2 WITH 1/2" FLITCH PLATE BETWEEN THE PLIES

OPTIONAL STRAIGHT PORCH FLOOR PLAN

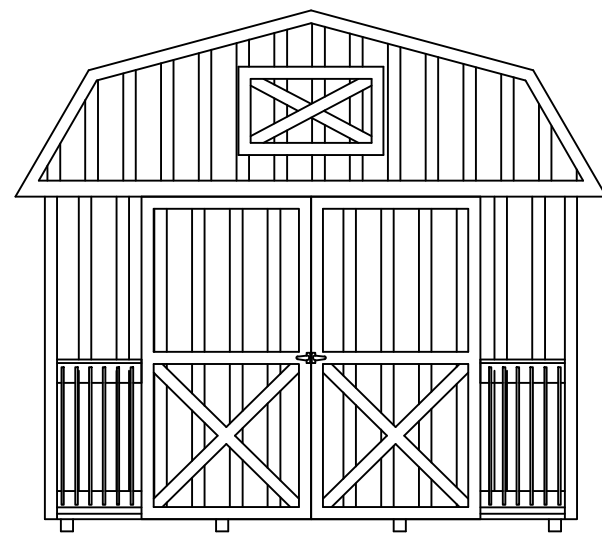
SCALE: 1/4" = 1'-0"

FRAMING & FLOOR PLAN FOR STRAIGHT PORCH	
DATE: 12/08/20	DRAWN BY: RD
SCALE: AS NOTED	CHECKED BY: KMB

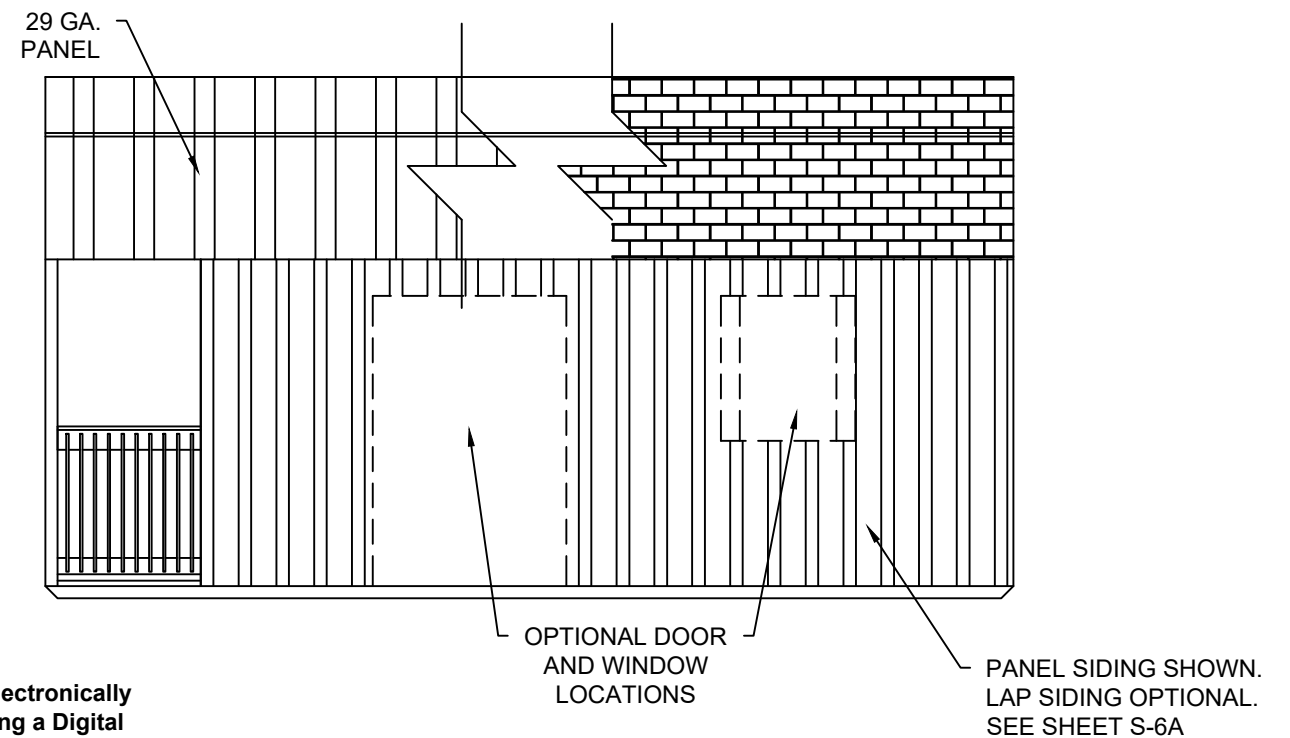
SHEET: **S-15**
SHEET 16 OF 36

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 STRUCTURAL ENGINEERS
 William E. Neary, III
 SMP-51, SMI-79, ICC 5185040
 10649 Oakview Pointe Terrace
 Gotha, Florida 34734



NOTE:
 ATTACH PORCH GUARD RAIL
 WITH (2) #8 X 2½" SCREWS
 AT EACH UPRIGHT



1
 S-16 **ENDWALL WITH OPTIONAL STRAIGHT PORCH ELEVATION**
 SCALE: 1/4" = 1'-0"

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 FL COA #: 30468



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2
 S-16 **SIDEWALL WITH OPTIONAL STRAIGHT PORCH ELEVATION**
 SCALE: 1/4" = 1'-0"

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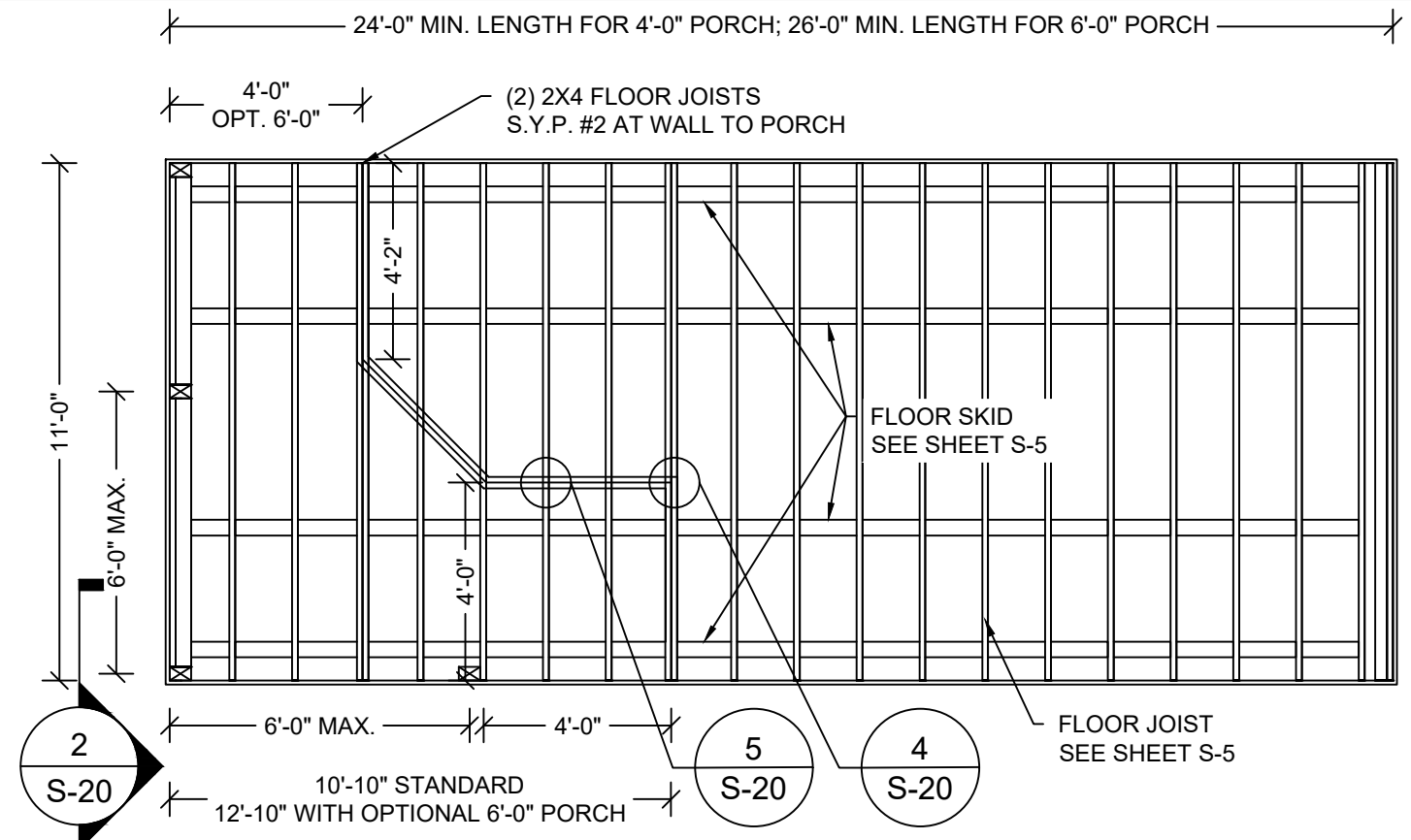
ELEVATIONS FOR STRAIGHT PORCH

DATE: 12/08/20 DRAWN BY: RD
 SCALE: AS NOTED CHECKED BY: KMB

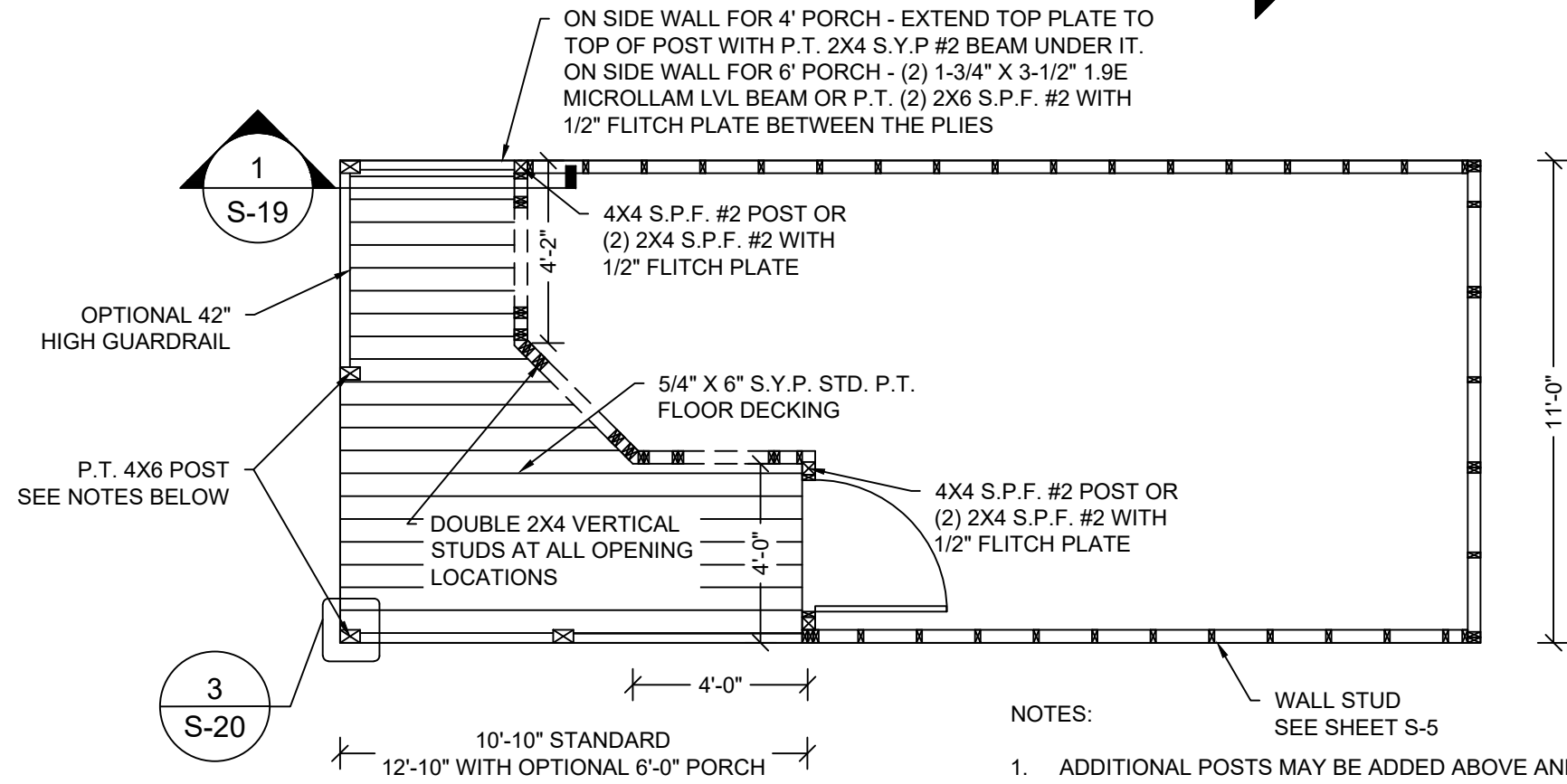
SHEET:

S-16

SHEET 17 OF 2



1
S-17
OPTIONAL CLIPPED PORCH FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



2
S-17
OPTIONAL CLIPPED PORCH FLOOR PLAN
SCALE: 1/4" = 1'-0"

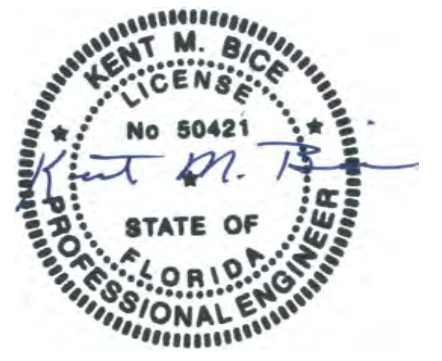
NOTES:

1. ADDITIONAL POSTS MAY BE ADDED ABOVE AND BEYOND THE AMOUNT SHOWN PROVIDED THE SPACING DOES NOT EXCEED 6'-0" O.C.
2. P.T. 4X6 S.Y.P. #2 POST IS SHOWN. 4X4 POST IS OR 2X4 S.P.F. #2 WITH 1/2" FLITCH PLATE IS OPTIONAL

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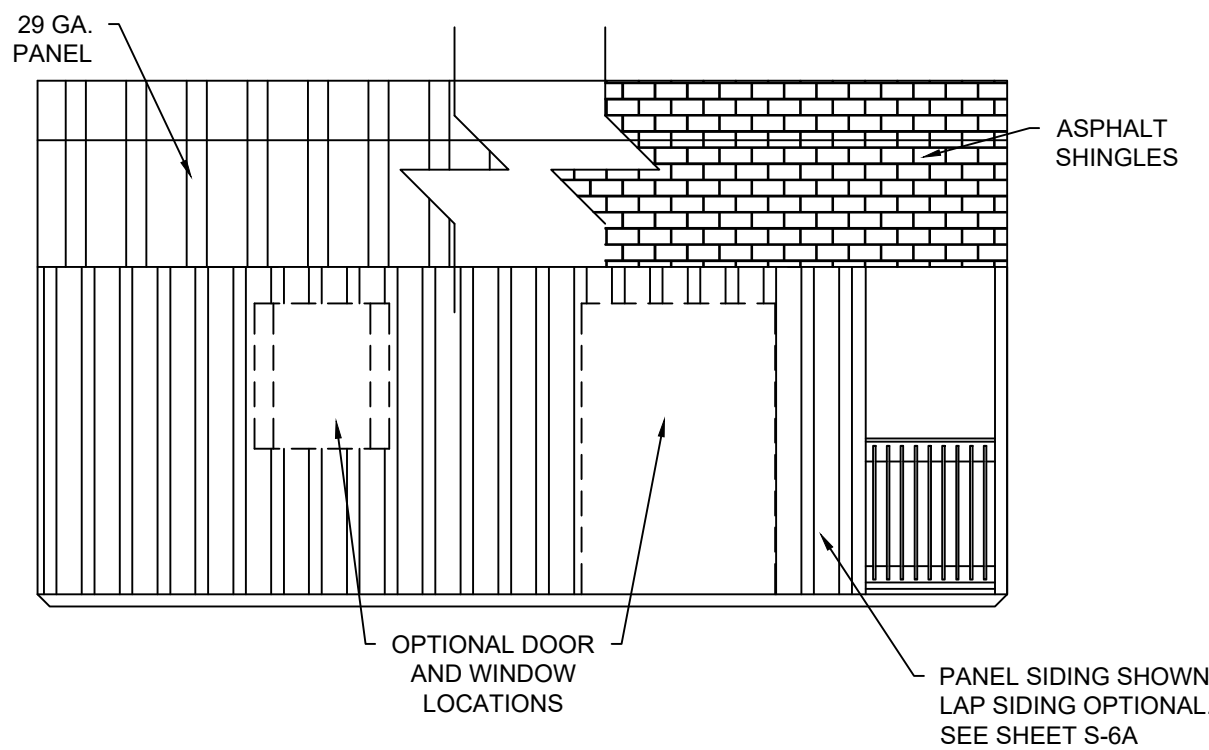
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FRAMING & FLOOR PLAN FOR CLIPPED PORCH	
DATE: 12/08/20	DRAWN BY: RD
SCALE: AS NOTED	CHECKED BY: KMB

SHEET:
S-17
SHEET 18 OF 38

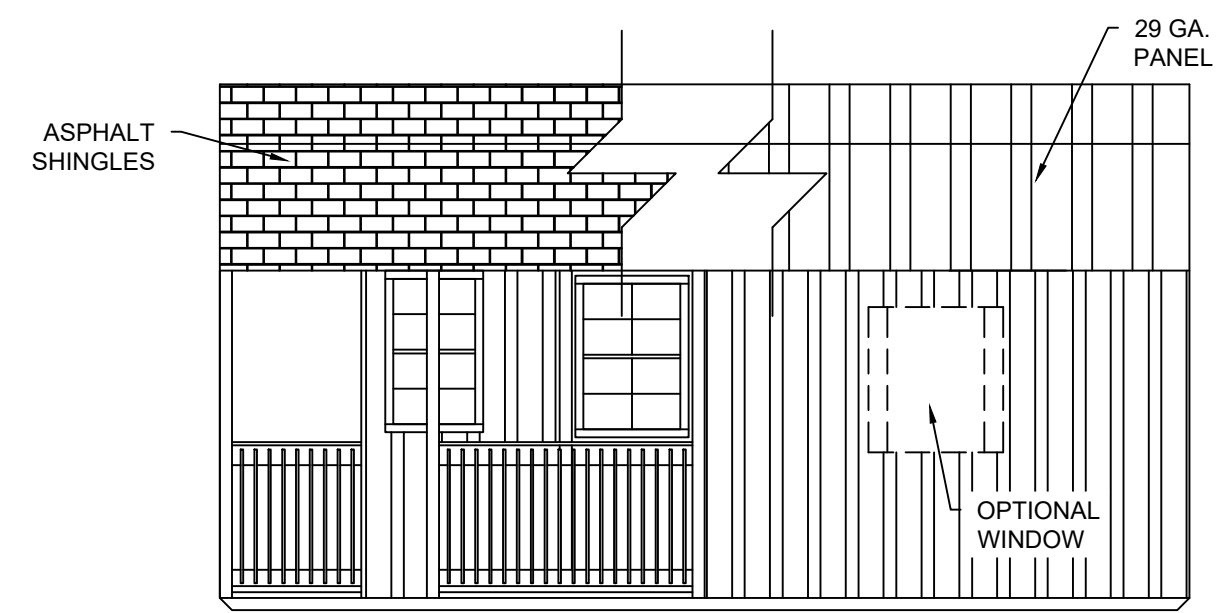
2024-01-18 TOP LINE ENGINEERING, LLC APPROVAL

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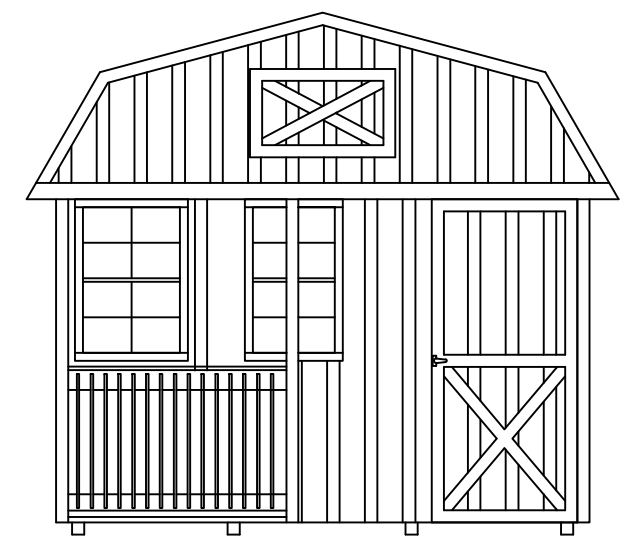


1
S-18 **OPTIONAL CLIPPED PORCH
SIDEWALL ELEVATION**
SCALE: 1/4" = 1'-0"

NOTE:
ATTACH PORCH GUARD RAIL
WITH (2) #8 X 2½" SCREWS
AT EACH UPRIGHT



2
S-18 **OPTIONAL CLIPPED PORCH
SIDEWALL ELEVATION**
SCALE: 1/4" = 1'-0"



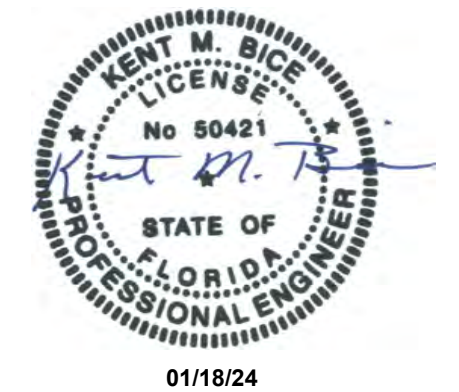
3
S-18 **OPTIONAL CLIPPED PORCH
ENDWALL ELEVATION**
SCALE: 1/4" = 1'-0"

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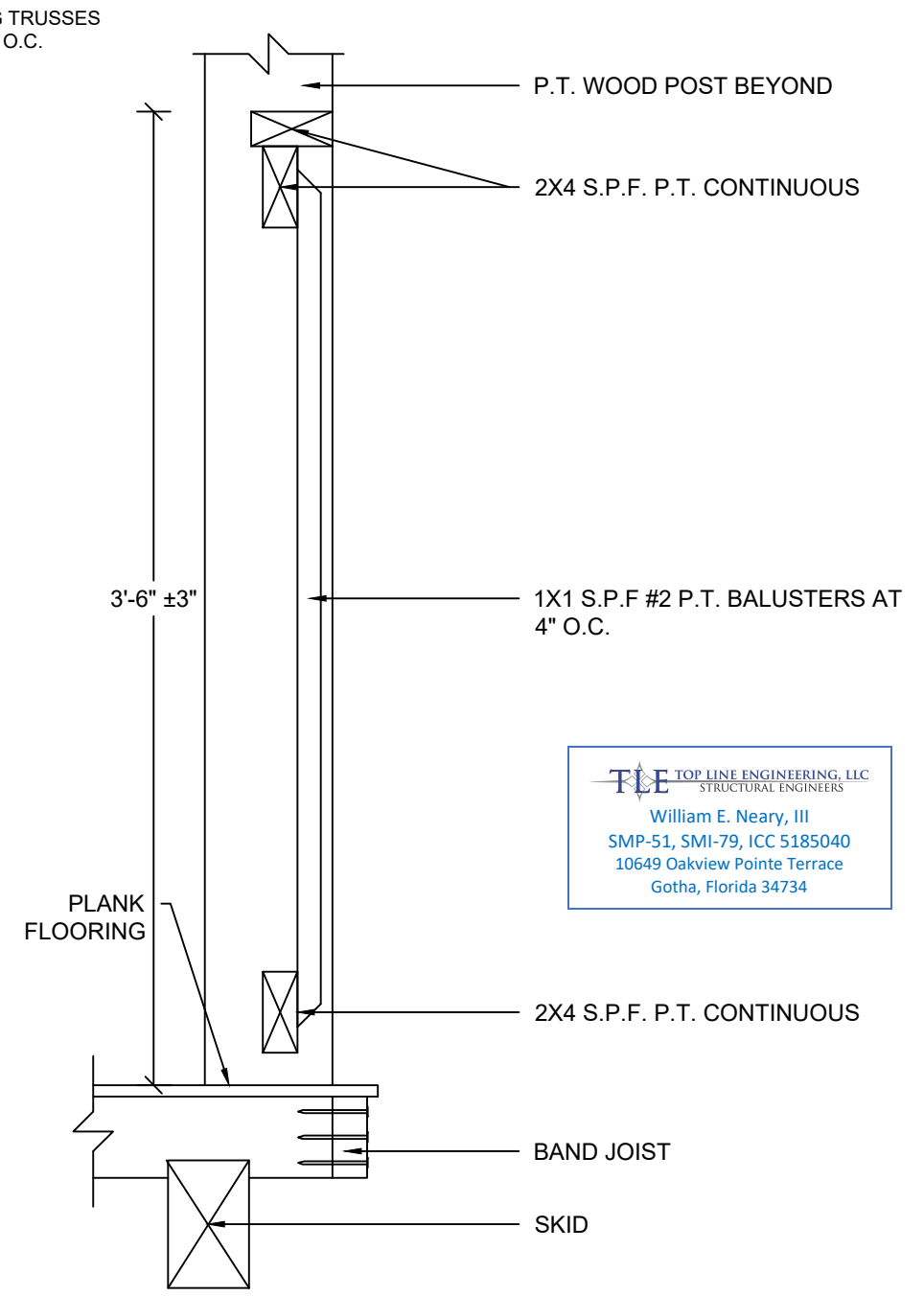
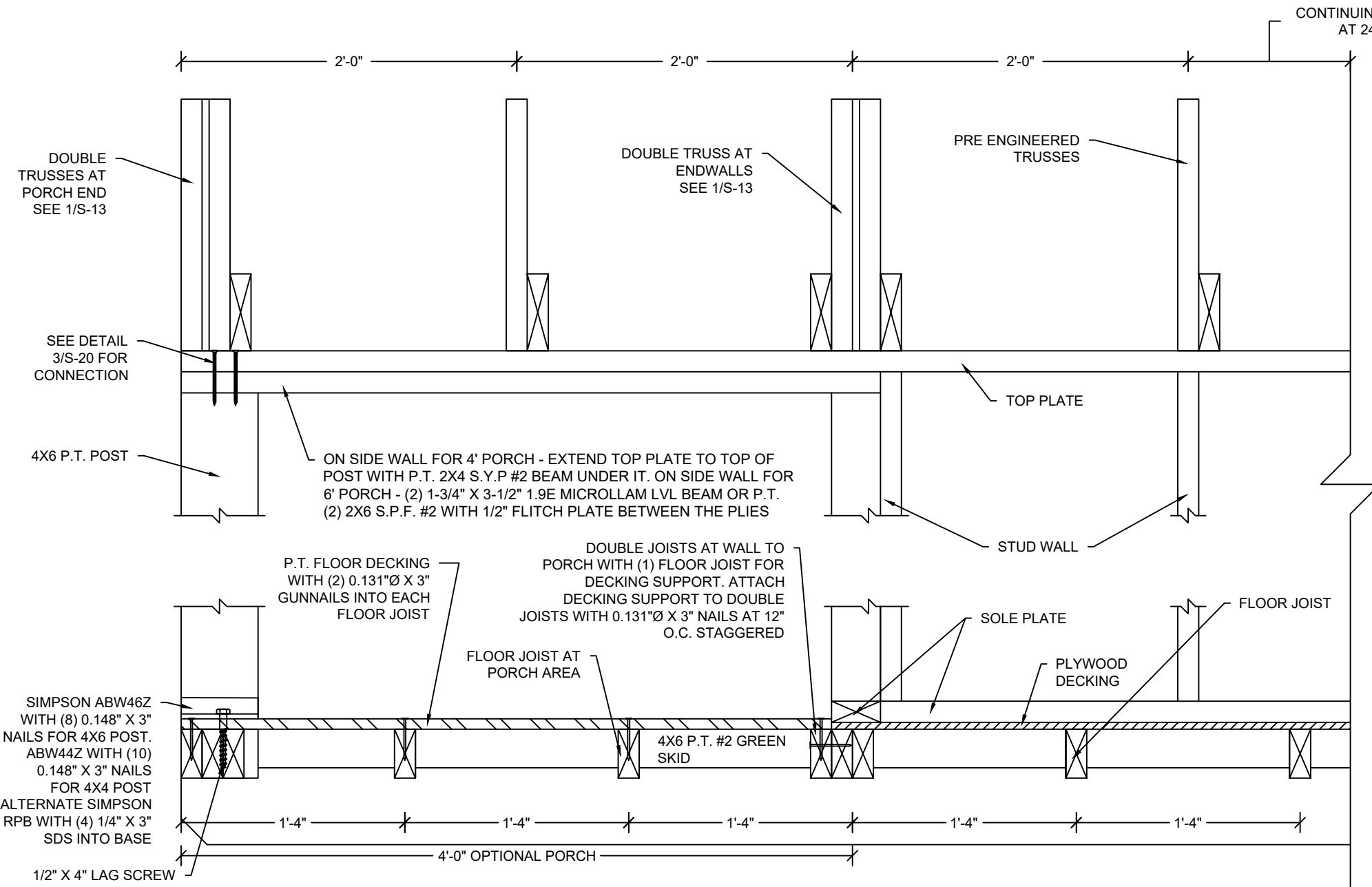


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ELEVATIONS FOR CLIPPED PORCH	
DATE: 12/08/20	DRAWN BY: RD
SCALE: AS NOTED	CHECKED BY: KMB

SHEET:
S-18
SHEET 19 OF 39

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10649 Oakview Pointe Terrace
Gotha, Florida 34734

1
S-19
OPTIONAL PORCH SECTION
SCALE: 1 1/2" = 1'-0"

2
S-19
RAILING DETAIL
SCALE: NTS

FL PE Name: Kent M. Bice
FL PE #: 50421
FL COA #: 30468



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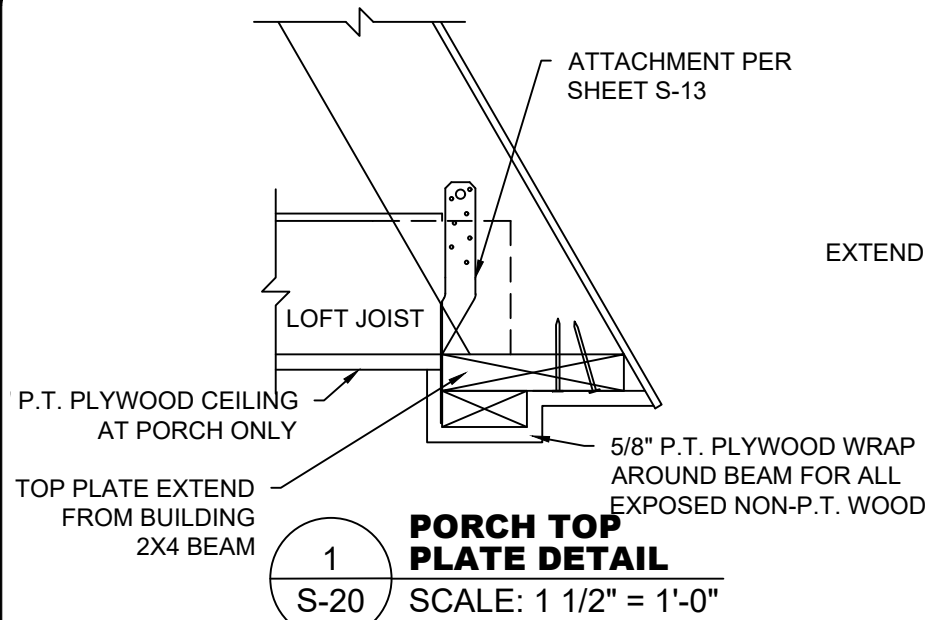
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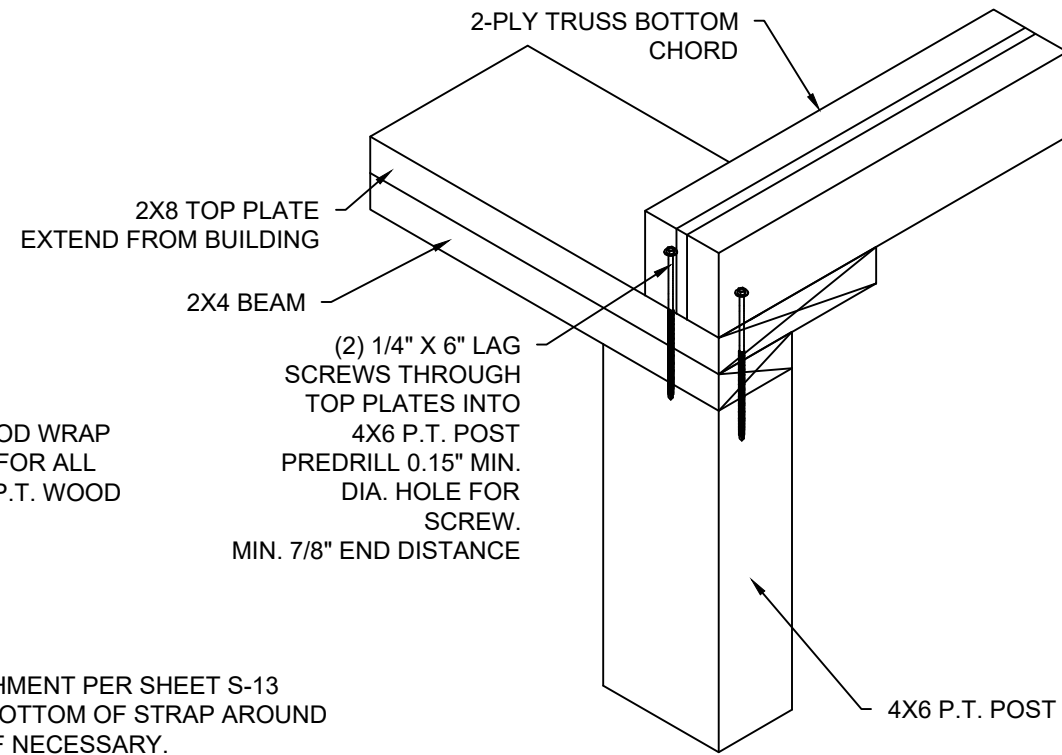
DETAILS	
DATE: 12/08/20	DRAWN BY: RD
SCALE: AS NOTED	CHECKED BY: KMB

SHEET:
S-19
SHEET 20 OF 2

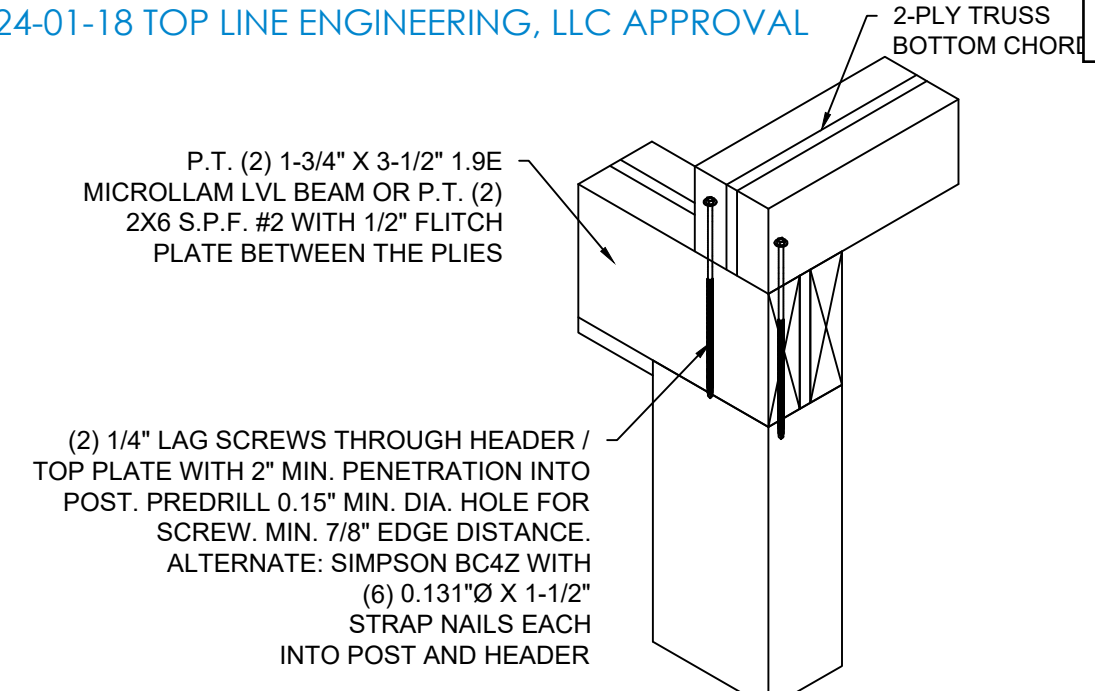
THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE 2023 FLORIDA BUILDING CODE 8TH EDITION ASCE 7-22.



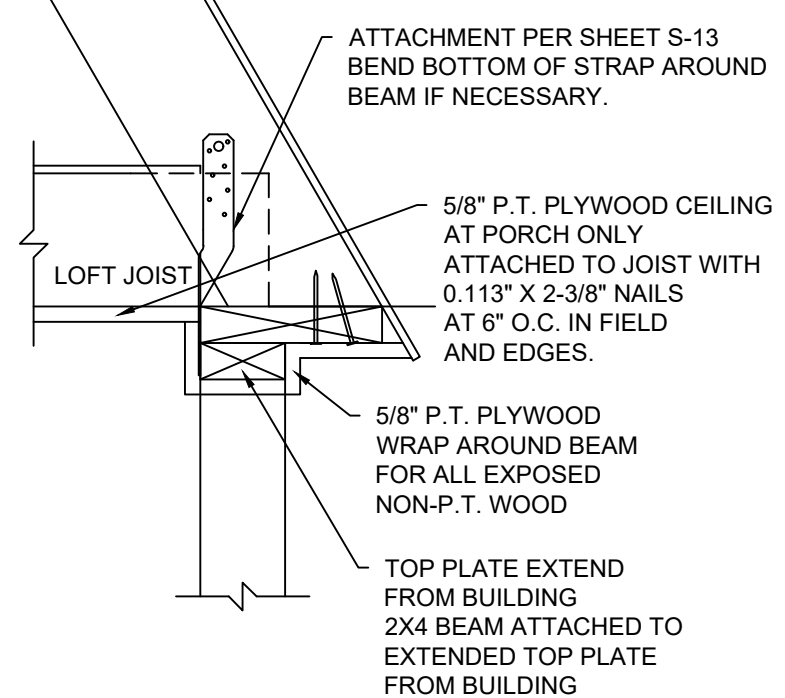
1
S-20
PORCH TOP PLATE DETAIL
SCALE: 1 1/2" = 1'-0"



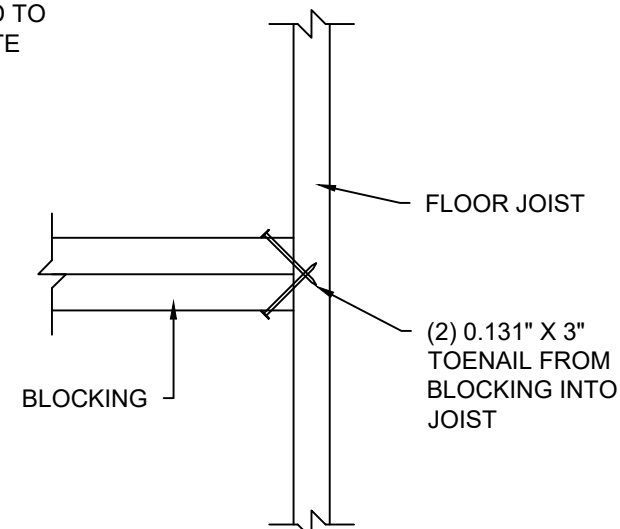
3
S-20
HEADER IN SIDE WALL TO POST CONNECTION - 4'-0\"/>



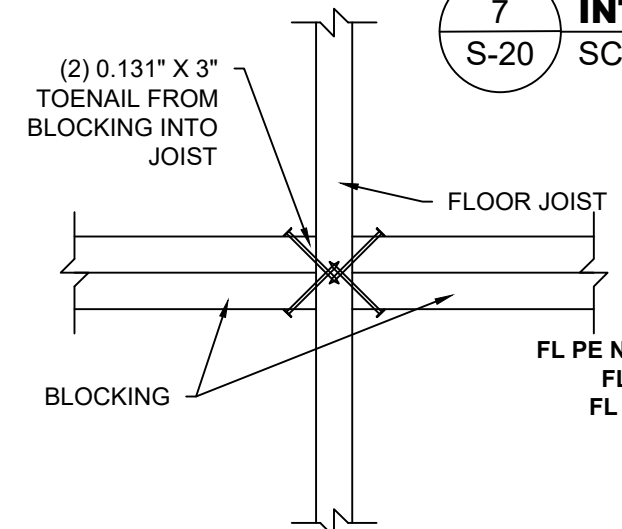
6
S-20
HEADER IN SIDE WALL TO POST CONNECTION - 6'-0\"/>



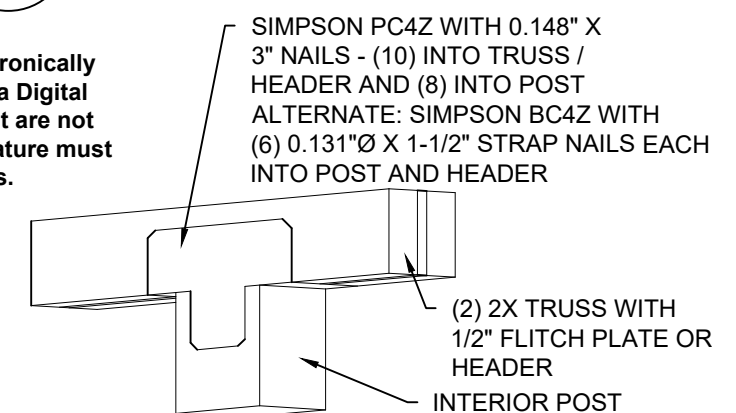
2
S-20
SECTION
SCALE: 1 1/2" = 1'-0"



4
S-20
BLOCKING ATTACHMENT DETAIL
SCALE: 1 1/2" = 1'-0"



5
S-20
BLOCKING ATTACHMENT DETAIL
SCALE: 1 1/2" = 1'-0"



7
S-20
TRUSS / HEADER TO INTERIOR POST CONNECTION
SCALE: 1 1/2" = 1'-0"

TLE TOP LINE ENGINEERING, LLC
STRUCTURAL ENGINEERS
William E. Neary, III
SMP-51, SMI-79, ICC 5185040
10649 Oakview Pointe Terrace
Gotha, Florida 34734

Kent M. Bice PE - This item has been electronically signed and sealed by Kent M. Bice using a Digital Signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



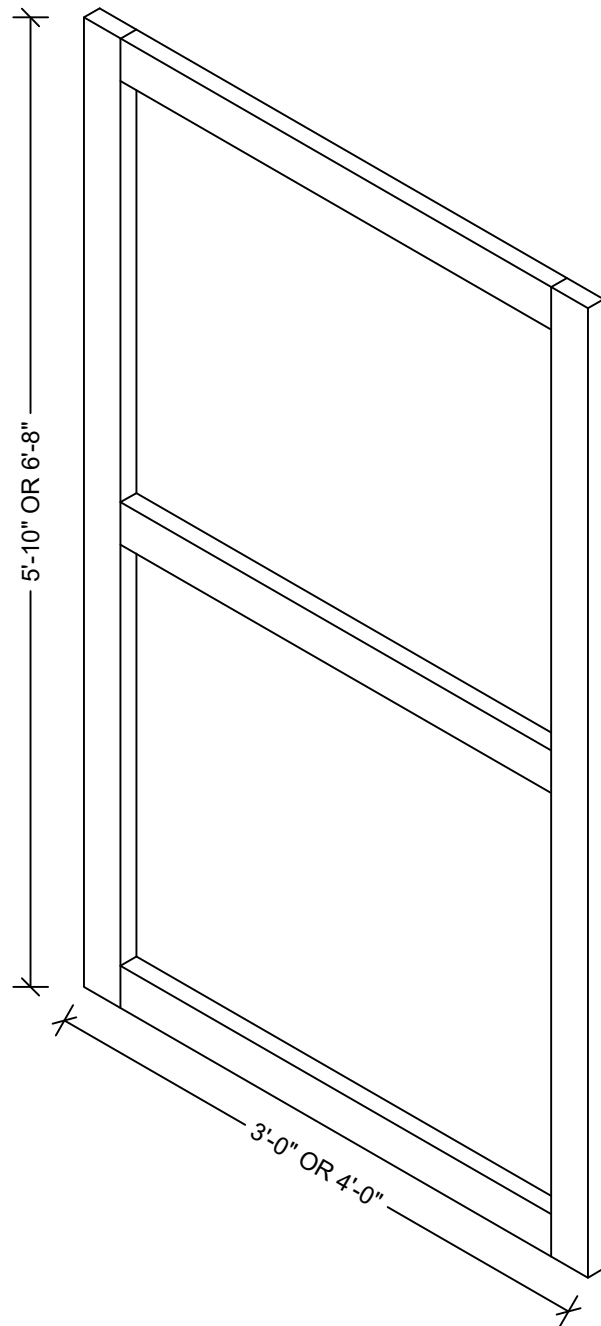
FL PE Name: Kent M. Bice
FL PE #: 50421
FL COA #: 30468

1552 6TH ST., WINTER HAVEN, FL 33880
(863)865-6502

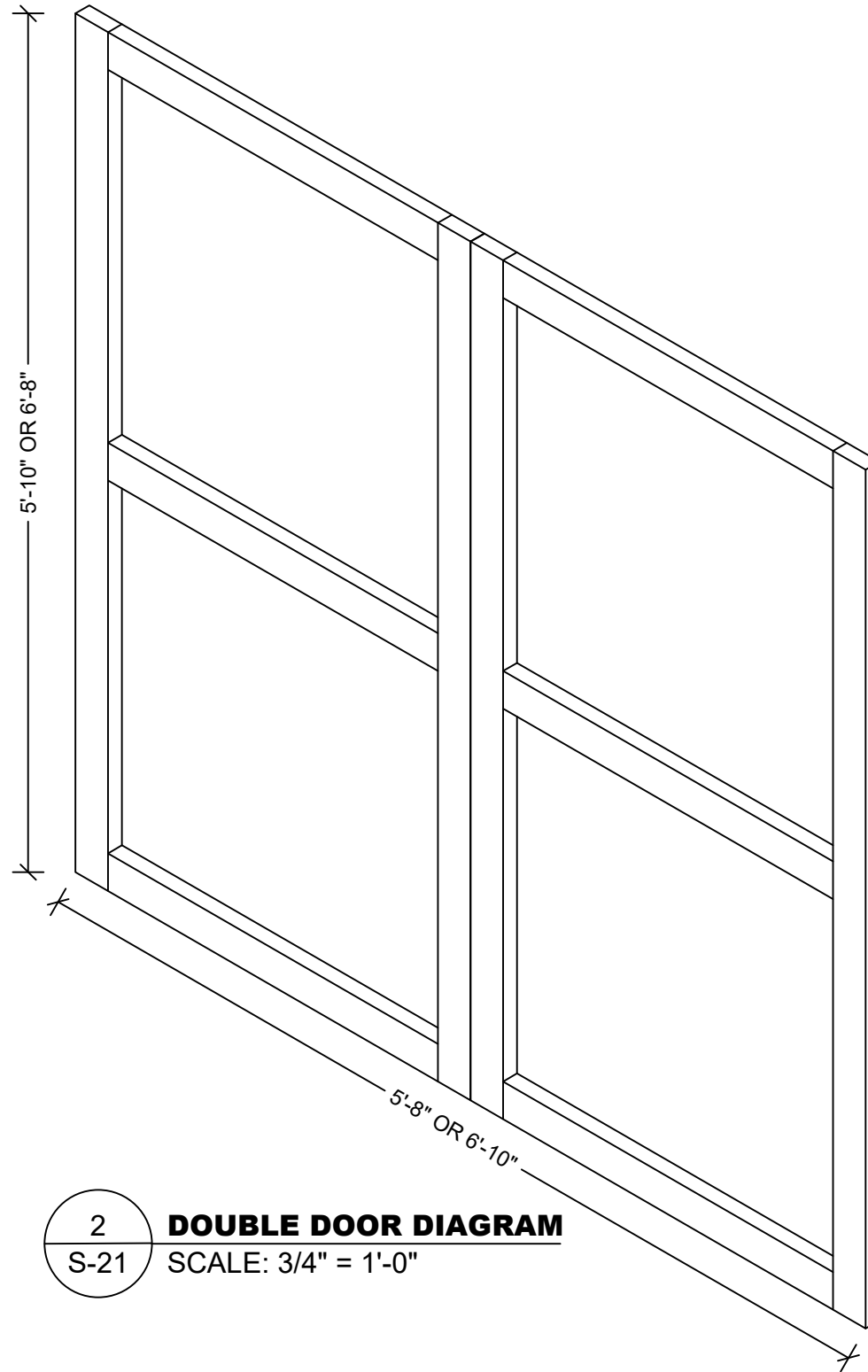
DETAILS	
DATE: 12/08/20	DRAWN BY: RD
SCALE: AS NOTED	CHECKED BY: KMB

SHEET:
S-20
SHEET 21 OF 41

THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE 2023 FLORIDA BUILDING CODE 8TH EDITION ASCE 7-22.



1 SINGLE DOOR DIAGRAM
S-21 SCALE: 3/4" = 1'-0"



2 DOUBLE DOOR DIAGRAM
S-21 SCALE: 3/4" = 1'-0"

CONNECTION NOTES:

STEEL TWIST HANDLE DOOR LOCK WITH METAL D-HANDLE THAT LATCHES BEHIND THE LEFT DOOR.

4" X 3/8 SLIDE BOLT ON TOP AND BOTTOM OF LEFT DOOR.

DOOR CLOSES AGAINST 2X2 DOOR STOP NAILED INSIDE OPENING.

FRAME IS STITCHED TOGETHER AT JOINTS WITH 5 PCS OF 1" X 1" WIDE CROWN STAPLES, SIDING ATTACHED WITH 1-3/4 X .092 RING SHANK NAILS AT 8" O.C AROUND EDGES AND ACROSS MIDDLE, 1X4 TRIM ATTACHED WITH 1-3/4 BRAD NAILS.

NOTES:

EACH DOOR SECURED TO WALL WITH 3 PCS OF 6" STEEL T-HINGE, USING A TOTAL OF 8PCS #8X 2-1/2 HINGE SCREWS. (4 IN EACH END)

STEEL LATCH HANDLE SECURED WITH 3 PCS OF #8X 2-1/2 HINGE SCREWS.

CAST STEEL D-HANDLE ATTACHED TO 1/4 LOCK SHAFT WITH TINNEMAN NUT AND 1/8 SET SCREW.

DOOR OR WINDOW WIND PRESSURE TABLE	
ENTRY DOOR	+55/-60 PSF
GARAGE DOOR 10'-0"	+40.9/-46.5 PSF
GARAGE DOOR 8'-0"	+42.9/-48.5 PSF
WINDOWS (DP66)	+55/-60 PSF

Kent M. Bice PE - This item has been electronically signed and sealed by Kent M. Bice using a Digital Signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

TOP LINE ENGINEERING, LLC
STRUCTURAL ENGINEERS
William E. Neary, III
SMP-51, SMI-79, ICC 5185040
10649 Oakview Pointe Terrace
Gotha, Florida 34734

FL PE Name: Kent M. Bice
FL PE #: 50421
FL COA #: 30468



01/16/24 01/18/24

1552 6TH ST., WINTER HAVEN, FL 33880
(863)865-6502

ISOMETRIC DOOR DIAGRAMS

DATE: 12/08/20 DRAWN BY: RD
SCALE: AS NOTED CHECKED BY: KMB

SHEET:

S-21

SHEET 21 OF 42

THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE 2023 FLORIDA BUILDING CODE 8TH EDITION ASCE 7-22.

PLOT PLAN

DESCRIPTION:(AS FURNISHED)

LOT 38, TALICHET AT VENEZIA NORTH

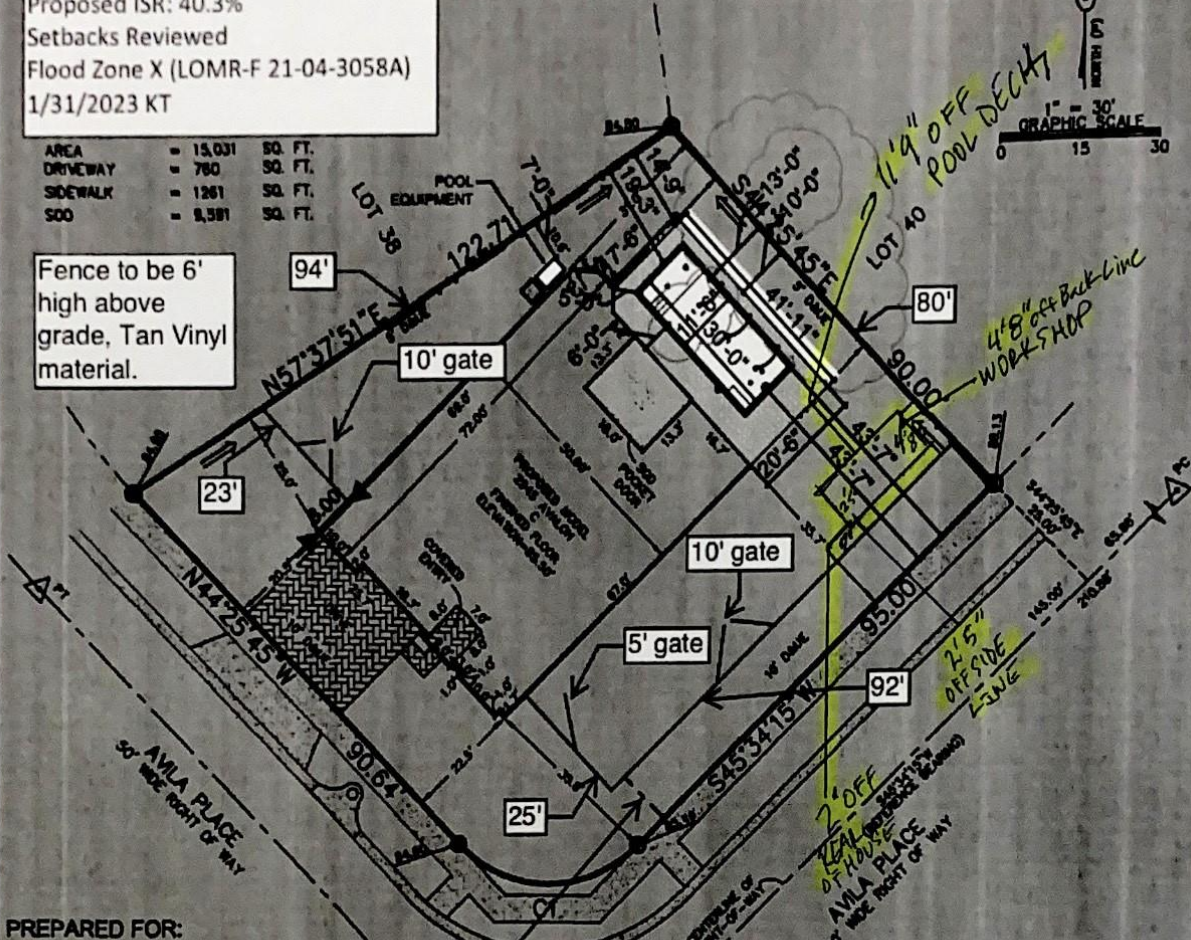
AS RECORDED IN PLAT BOOK 73, PAGE(S) 78-81, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.

Zoning Review:
 Lot Area: 12,126 sf
 Pool/Patio Area: +/- 860 sf (reduced per revised site plan)
 Total Impervious Area: +/- 4,881 sf
 Existing ISR: 33%
 Proposed ISR: 40.3%
 Setbacks Reviewed
 Flood Zone X (LOMR-F 21-04-3058A)
 1/31/2023 KT

Curve Table					
Curve #	Length	Radius	Delta	Chord Bearing	Chord
C1	28.27'	25.00'	99°00'00"	S89°25'48"E	38.36'

AREA	= 15,031	SQ. FT.
DRIVEWAY	= 760	SQ. FT.
SIDEWALK	= 1261	SQ. FT.
SOO	= 9,391	SQ. FT.

Fence to be 6' high above grade, Tan Vinyl material.



PREPARED FOR:
 DREAM FINDERS

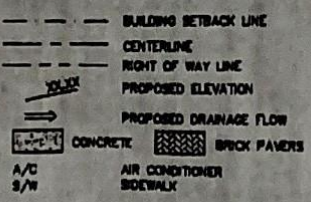
BUILDING SETBACKS
 FRONT: 20' PER CLIENT
 REAR: 15'
 SIDE: 5.5'
 SIDE STREET: 15'
 POOL: 10' REAR / 12.5' SIDE

NOTES:
 1. PROPOSED ELEVATIONS SHOWN HEREON ARE BASED ON THE APPROVED ENGINEERING PLANS PREPARED BY BESH.
 2. ELEVATIONS ARE BASED ON NAVD 1988 DATUM.

THIS PLOT PLAN IS INTENDED FOR PERMITTING PURPOSES ONLY. THIS IS NOT INTENDED FOR THE CONSTRUCTION OF THE PROPOSED STRUCTURE. THE CONTRACTOR AND/OR OWNER ARE REQUIRED TO VERIFY ALL SETBACKS, BUILDING DIMENSIONS, AND LAYOUT SHOWN HEREON PRIOR TO ANY CONSTRUCTION.

**THIS IS NOT A SURVEY
 THIS IS A PLOT PLAN ONLY**

FLOOD NOTE:
 I HAVE EXAMINED THE F.I.R.M. MAP NO. 12068C048E, DATED 12/18/12, AND FOUND THE SUBJECT PROPERTY APPEARS TO BE IN ZONE X. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. THE SURVEYOR MAKES NO GUARANTEES AS TO



LEGEND:

- PI POINT OF INTERSECTION
- PC POINT OF CURVATURE
- PT POINT OF TANGENCY
- RP RADIUS POINT
- PRC POINT OF REVERSE CURVATURE
- PCP PERMANENT CONTROL POINT
- TP TYPICAL
- CS CONCRETE SLAB
- (P) PER PLAT
- (C) CALCULATED
- PB PLAT BOOK
- PG PAGES
- PCS SQ. FT. SQUARE FEET
- F.E.M.A. FEDERAL EMERGENCY MANAGEMENT AGENCY
- F.I.R.M. FLOOD INSURANCE RATE MAP
- NAVD NORTH AMERICAN VERTICAL DATUM
- DE DRAINAGE & UTILITY EASEMENT
- UE UTILITY EASEMENT



SURVEYOR NOTES:
 1. THE SURVEYOR HAS NOT ABSTRACTED THE LAND SHOWN HEREON FOR EASEMENTS, RIGHT



TMHConsulting@cfl.rr.com
 97 N. Saint Andrews Dr.
 Ormond Beach, FL 32174
 PH: 386.316.8426

MEMORANDUM

TO: Town of Howey-in-the-Hills Planning Board
CC: J. Brock, Town Clerk
FROM: Thomas Harowski, AICP, Planning Consultant
SUBJECT: Esch Veterinary Office Development Proposal
DATE: May 15, 2024

The subject property is a 4.45-acre parcel located on SR-19 south of Revels Road (ALT 1704171). The applicant is seeking to construct a veterinary office and provide at least one additional parcel for future office or retail use. Based on the survey, the parcel measures about 740 feet along SR 19 with a depth of 262 feet. The parcel is rectangular and slopes from SR 19 at 100 feet in elevation to the west where the elevation is approximately 85 feet at the western boundary. The environmental assessment report submitted with the application shows no wetlands on site and only a minor impact of Flood Zone A property (2012 map) along the western fringe of the site. Just off the site to the west is a wooded depressional area that likely receives stormwater runoff from the subject property. The subject parcel has some scattered trees on site.

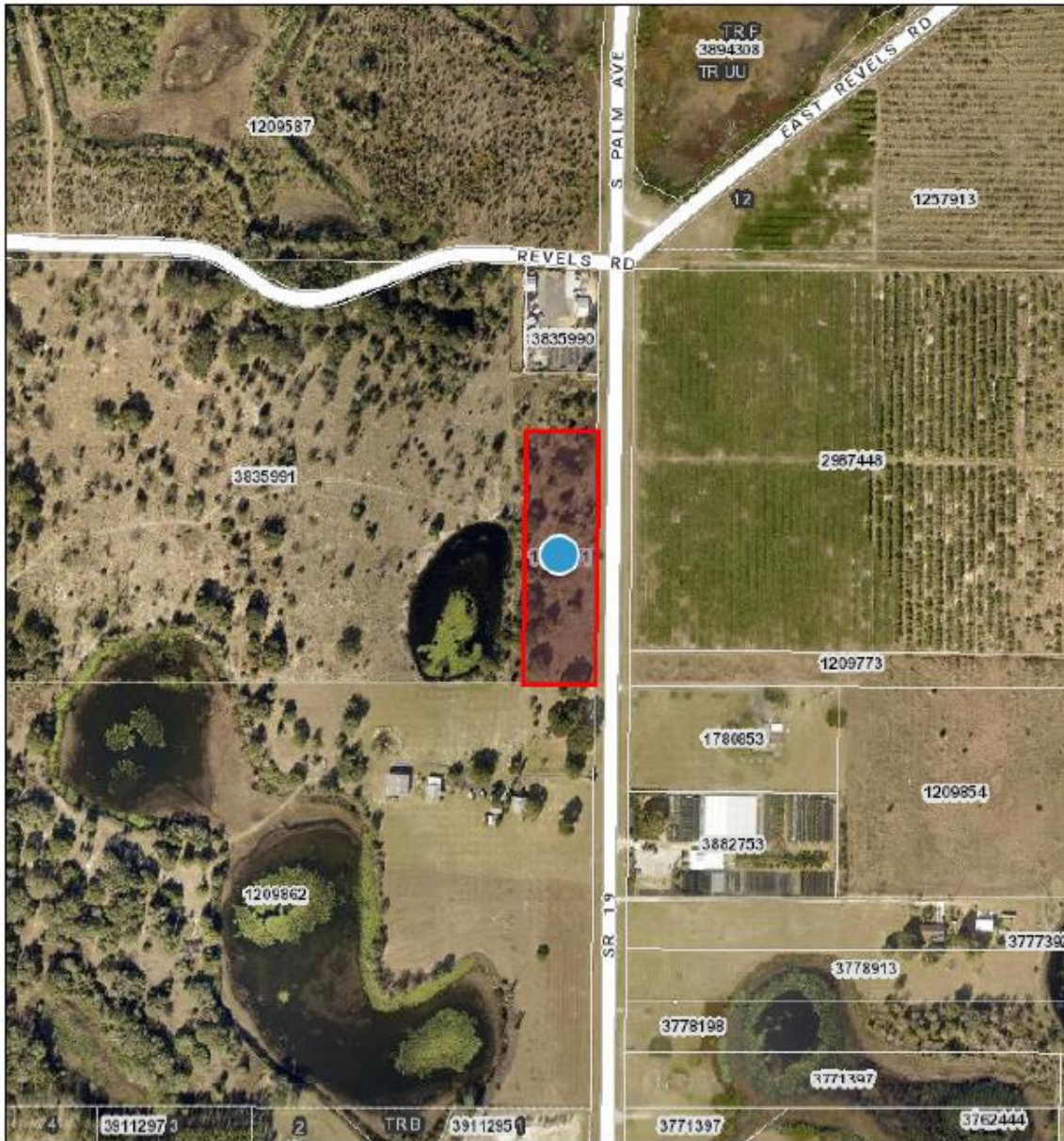
The property is designated Village Mixed Use on the future land use map which requires PUD zoning. The future land use designation may have been applied in error when the original Mission Rise project was approved. At 4.45 acres the property is too small to meet the minimum size for VMU land use, and the Town needs to change the land use and zoning to a classification that is more suitable for the parcel. This revision is the same process used for the parcel at Revels Road and SR 19 which has been developed as a landscape business and plant nursery.

To accomplish the land use and zoning changes and to take the steps to accommodate the proposed development, the following actions are required:

1. Adopt a small-scale amendment to the future land use map.
2. Adopt zoning consistent with the future land use designation.
3. Grant a conditional use approval for a veterinary clinic.
4. Grant a variance to allow a building larger than 6,000 square feet in NC
5. Approve a preliminary site plan for the construction of any proposed buildings
6. Approve a final site plan for the proposed buildings
7. Approve a subdivision plat or lot split for any proposed lots.

The current review program will address items one through four. The Town has sufficient information to review the application for preliminary site plan approval as well, but the necessary advertising for the preliminary site plan could not be completed in sufficient time for the May meeting. The preliminary site plan will need to be addressed at the June meeting.

Esch Parcel Location



May 15, 2024

1:5,000

Comprehensive Plan Amendment

As noted in the introduction, the current land use and zoning assignment for the subject parcel require more land than is available to meet code requirements. The assignment of Village Mixed Use land use which requires Planned Unit Development (PUD) zoning may have been made in error. In 2021 the Town addressed a similar case for a property also owned by the Chon Trust. This parcel, at the southwest corner of the intersection of Revels Road with SR 19, was changed to an industrial land use to allow for the development of a conditional use – the plant nursery which is currently operating on the site. The subject parcel is seeking the same treatment, although with different land uses. Based on the comprehensive plan menu of future land uses, the land use which most closely supports the proposed use is Neighborhood Commercial. The first determination is whether the property is suitable for Neighborhood Commercial Land Use.

The parcel is the last parcel in the Town going south on SR 19. The property to the west and to the north of the subject property is in the Mission Rise development which is currently under consideration by the Town for a residentially based mixed use development. The residential portion of the Mission Rise project, if approved, is west of the subject parcel. The small tract to the north of the subject parcel is proposed for use as a trail head for the bicycle system and the closest areas to west are proposed for stormwater retention area. Also to the north of the subject property is the previously discussed landscape nursery, and then across Revels Road is the beginning of The Reserve mixed use development. Opposite the subject property to the east is the Watermark residential PUD. This approved development is separated from the subject property by SR 19 and then a project buffer. To the south is land in unincorporated Lake County which is designated as Rural Transition and zoned agriculture. The Rural Transition land use allows development up to one unit per acre.

Any amendment of the future land use designation requires the proposed land use to be consistent with the goals, objectives, and policies of the comprehensive plan, to be able to be served by the necessary public services at the time of development and to avoid urban sprawl. The proposed amendment will be a small-scale map amendment. The process for approving a small-scale map amendment requires a recommendation from the planning board and approval by the Town Council with appropriate public involvement and intergovernmental coordination followed by a submittal of the amendment to the Florida Department of Economic Opportunity for review. Typically, the DEO will not conduct a detailed review small scale map amendments, but will act if other review agencies or the general public raise issues of concern.

In addition to the application form, the applicant submitted a concept site plan showing the anticipated layout for an office building of 6,000 square feet along with parking and stormwater management facilities. This review is not a formal site plan review, but the plan submitted by the applicant will be used to analyze the request in comparison with the comprehensive plan goals, objectives, and policies.

Public Policy Considerations

The following policies are drawn from the Town’s comprehensive plan Future Land Use Element and are applicable to the requested map amendment.

Policy 1.1.1 contains a section on the Neighborhood Commercial Land Use presenting limits on density and intensity of development. The key numbers are:

Maximum Floor Area Ratio (FAR)	0.50
Maximum Impervious Surface Ratio (ISR)	0.70
Maximum Building Size	5,000 square feet
Maximum Building Height	35 feet.

Based on the proposed site layout the project will comply with all the dimensional requirements except for the maximum building size. The applicant is seeking a waiver of the 5,000 square foot building maximum.

Policy 1.1.2 contains a section on the Neighborhood Commercial Land Use listing the uses permitted in neighborhood commercial development noting general commercial categories including general commercial, limited commercial and professional office along with examples of each type.

The Neighborhood Commercial Zoning Classification lists Animal Hospital or Veterinary Clinic as a conditional use with the only condition being no outdoor kennels. The applicant has agreed to the condition.

Policy 1.2.2 lists open space requirements for various land use categories. The applicable open space minimum area for Neighborhood Commercial is 30% of the gross land area. This is the inverse of the maximum impervious surface ratio.

The proposed development plan has a maximum impervious area of 40% leaving the balance of the site for preserved flood plain area, stormwater retention and buffers.

Policy 1.2.3 requires the Town to protect residential areas from incompatible non-residential development.

The property location does not directly abut current and planned residential development. The Watermark property is separated from the subject parcel by SR-19 and their buffer area. There is no residential development to the north until the north side of Revels Road with two intervening properties including the plant nursery business. The land to the south is agricultural requiring large lot (one acre) development, and the land to west has residential lots within the proposed PUD that are buffered from the subject property. The subject parcel planned development provides stormwater retention and preserved flood prone area as additional spacing from property to the west.

Policy 1.2.4 addresses screening requirements for non-residential uses.

As noted above, the site does provide some screening from the closest residential properties in addition to the buffers on the adjacent parcels. The project will provide buffers as required by Town code.

Policy 1.2.8 requires the Town to conduct a review of its ability to meet public service demands created by the application.

The property is not served by either potable water or sewer. The development will need to initially use a well and septic system until services are extended to this area. The applicant will be required to connect when services become available. The well can then be converted to irrigation use. The applicant has accepted this condition. (Note: this is the same water and sewer arrangement applied to the plant nursery property.) The applicant provided a traffic analysis and requested the project be exempt from a full traffic impact assessment based on the low volumes generated. The Town engineer has concurred with the exemption. Stormwater will be managed on site. Recreation services and school capacity do not apply to the commercial development.

Objective 1.4 of the Future Land Use Element includes a list of specific policies related to commercial development. A number of these policies address issues covered in the policies enumerated above as well as covering other topics. Objective 1.4 and supporting policies are presented below with commentary on the proposed future land use map amendment.

OBJECTIVE 1.4: *Commercial Planning Activities.* Ensure the Town's sustainability by allocating sufficient land area to accommodate commercial activities which provide a level of employment as well as goods and services demanded by local residents and guest with consideration to fiscal and environmental impacts to the Town of Howey-in-the-Hills.

- POLICY 1.4.1:** *Location and Distribution of Commercial Sites.* The location and distribution of commercial land use districts delineated on the *Future Land Use Map* shall be determined according to the following criteria:
- a. Promote mixed use land use categories to prevent strip commercial centers and reduce the dependability on the automobile;
 - b. Promote the integration of uses to include live-work environments;
 - c. Ability to comply with adopted performance standards for preventing or minimizing nuisance impacts, such as emission of air pollutants, noise, odor, and generation of hazardous waste or products;

- d. Impact to the conservation and preservation of natural resources;
- e. Demand on existing and planned public services, utilities, water resources and energy resources;
- f. Impact on designated scenic and aesthetic transportation corridors;
- g. Compatibility with surrounding land uses;
- h. The size of each individual business permitted in the Neighborhood Commercial, Village Mixed Use, or Town Center Mixed Use land uses shall comply with the guidelines established within the Policy 1.4.6; and
- i. The height of each business permitted in the Neighborhood Commercial, Village Mixed Use, or Town Center Mixed Use land uses shall comply with the guidelines established in Policy 1.4.7 of this *Element*.

Given the isolated nature of the site and the development commitments on the surrounding properties, the potential for strip commercial is low. The most likely direction for strip commercial is to south where the land use is controlled by Lake County and is currently agriculture with the potential for larger lot residential development. Commercial growth in any other direction is blocked. The applicants submitted an environmental assessment of the site noting only the presence of gopher tortoise, which can be managed through a permit process. The plan design avoids the limited flood prone area on the site. The applicant has submitted a concept plan showing the planned development can comply with the comprehensive plan and zoning standards for site development.

POLICY 1.4.2: *Screening Requirement.* The Town shall require new commercial, light industrial, and manufacturing development to install landscaping, visually obstructive fencing or man-made berms, or other appropriate screening techniques concealing the commercial, light industrial, or manufacturing site from areas designated for low or medium density residential if the proposed commercial, light industrial, or manufacturing building is not compatible.

Project screening has been previously discussed.

POLICY 1.4.3: *Availability of Facilities to Support Commercial Development.* The density and intensity of commercial uses shall be compatible with the ability of public facilities to provide adequate services according to adopted level of service standards.

Service availability has been previously discussed. Major development in the area will be extending water and sewer service at some time in the near future.

POLICY 1.4.4: *Provision of Open Space.* All new commercial development shall be subject to the open space standards established in Policy 1.2.2 of this element.

Open space compliance has been previously discussed.

POLICY 1.4.5: *Maximum Intensity of Commercial Uses.* Maximum intensity of use for commercial development is outlined within the respective land use categories and further refined in the Land Development Regulations.

The project complies with the applicable floor area ratio standards.

POLICY 1.4.6: *Commercial Building Size Limitations.* Individual businesses within the Town Center Mixed Use and Neighborhood Commercial shall be limited to 5,000 sq. ft. unless a waiver is granted to the developer by the Town Council. Individual businesses within the Village Mixed Use land uses shall be limited to 30,000 sq. ft. unless a waiver is granted to the developer by the Town Council. These guidelines shall be used to determine the maximum allowable size for all new commercial buildings in Town. Waivers shall be based on the particular needs of the individual business, the compatibility of the proposed building and business with the business site and other affected development, enhanced architectural design of the proposed building, and other factors which the Town Council determines as relevant to development of the proposed site and impacts to the general area.

The applicant is requesting a waiver to allow a 6,000 square foot building.

POLICY 1.4.7: *Commercial Building Height Limitations.* Commercial buildings within the Town Center Mixed Use, Village Mixed Use, and Neighborhood Commercial land uses shall be limited to a maximum of 35 feet in height.

The applicant is proposing a one-story building of less than 35 feet in height.

POLICY 1.4.8: *Acceptable Uses within Commercial Areas.* Activities allowed within areas designated for commercial uses established in the Town Center Mixed Use, Village Mixed Use, or Neighborhood Commercial land uses shall be limited to the following:

1. Retail business (drive-thru establishments in the Town Center Mixed Use shall be located to the rear of properties fronting on Central Avenue)
2. Community centers and fraternal lodges;
3. Hotels or motels;
4. Marinas;
5. Service businesses, Personal Services such as barber/beauty, personal training, spa, salons, pottery shops, art/painting galleries or studios, dance studios, etc.;
6. Professional and Business offices;
7. Veterinarian offices, provided the facility has no outside kennels;
8. Financial Institutions and banks;

9. Residential development, low, medium, or high density (second story);
10. Recreation and Parks;
11. Manufacturing, as permitted according to policies cited in this *Element*;
12. Elementary and middle schools in the Neighborhood Commercial land use; and
13. Elementary, middle, and high schools in the Village Mixed Use land use.

The proposed use is listed at number 7.

POLICY 1.4.9: *Strip Commercial Development and State Road 19 and County Road 48.* The Town shall discourage strip commercial style development from occurring along State Road 19 and County Road 48. Prior to the approval of each proposed annexations along the State Road 19 and County Road 48 corridors, the Town shall consider the potential of a strip commercial style development being established as a direct result of such

The potential for strip commercial has been previously discussed. The only route for expansion from this proposed commercial site is to the south which is controlled by Lake County.

POLICY 1.4.10: *Adequate Commercial Land and the Future Land Use Map.* The Town will ensure that adequate land is designated on the *Future Land Use Map* to support the commercial needs of the residents and guests of Howey-in-the-Hills during the planning period. All such lands shall be compatible and consistent with the surrounding land uses.

While the goal for commercial development is to direct new commercial projects to the Central Avenue corridor or to the Village Mixed Use projects, the small size and isolated nature of the subject property suggests commercial as a possible option. The currently applied land use and zoning classifications actually block development of the site as the site is too small to meet their minimum standards. There are no nearby residential units that might be adversely affected by a commercial project at this location, and the parcel is likely too small to support some type of multi-family development.

Proposed Zoning Amendment

The most appropriate zoning and the zoning consistent with the recommended land use designation is also Neighborhood Commercial (Section 2.02.05 in the land development code). Under the NC zoning veterinary offices and clinics are designated as a conditional use, which means that they may be permitted if specific conditions are met (Section 2.02.05 B3 k). In this case the only specific condition is that there be no outside kennels (Section 6.02.13). The applicant has agreed to abide by this condition,

and a note to this effect will be required on the approved site plan. The specific requirements of the NC Neighborhood Commercial Zoning are as follows:

Requirement	Standard	Vet Site	Future Site
Minimum Lot Size	0.5 Acres	2.0 Acres	2.45 Acres
Minimum Lot Width	100 feet	333 feet	407 feet
Minimum Lot Depth	150 feet	262 feet	262 feet
Maximum Building Height	35 feet	>35 feet	>35
Maximum FAR	0.50%	0.07%	TBD
Maximum Lot Coverage	70%	40.1%	TBD
Setbacks			
Front	30 feet	74.5 feet	TBD
Side	20 feet	44.5 feet	TBD
Side	30 feet	202.2 feet	TBD
Rear	30 feet	117.4 feet	TBD

Both of the proposed development sites will meet the minimum dimensional requirements should the applicant elect to develop them as separate parcels. The proposed veterinary building will meet the other dimensional requirements, and any future buildings will be required to complete a site plan review process where compliance with the NC standards can be confirmed.

Conditional Use

A conditional use is one that is appropriate for a zoning classification provided that a specific condition or conditions are met. The only specific standard applicable to the veterinary business is the exclusion of outdoor kennels. The use is also required to meet the minimum requirements of the NC zoning classification. The analysis provided above demonstrates that the standards can be met.

Minimum Building Size

The applicant has proposed a 6,000 square foot building as needed to support the proposed business. The Neighborhood Commercial zoning sets a cap of 5,000 square feet unless the Town Council grants a waiver. Technically buildings in excess of 5,000 square feet are listed as a conditional use in NC, but there are no specific criteria called out in Chapter 6. Policy 1.4.6 on commercial building size (see text above) gives some guidance on the criteria to be applied. The policy cites the following criteria:

1. Needs of the business
2. Compatibility with the business and business site
3. Other affected development
4. Enhanced architectural design
5. Other items

We assume the applicant has sized the building based on his business needs, and the analysis to this point has demonstrated the building is compatible with the site (meets or

exceeds standards). The analysis has also demonstrated limited, if any, effect on nearby development. With regard to the architectural design, the staff recommends a condition that the buildings be designed to meet the architectural standards for non-residential development as set out in Section 4.06.05 and Section 4.06.06.

Recommendation

The staff recommends the Planning Board recommend to Town Council the amendment of the future land use map to designate the subject property as neighborhood commercial and assign neighborhood commercial zoning to the parcel. The staff further recommends the Planning Board recommend the veterinary business as a conditional use provided that no outside kennels are constructed and that this limitation be noted on the final site plan. The staff further recommends that the Planning Board recommend the Town Council grant the waiver to allow the 6,000 square foot building provided the applicant meets or exceeds the design requirements of Section 4.06.05 and 4.06.06 of the Town's land development code. Compliance with the building design requirements are to be confirmed with the final site plan approval.

ORDINANCE NO. 2024-007

AN ORDINANCE OF THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA, PERTAINING TO LAND USE; AMENDING THE FUTURE LAND USE MAP OF THE TOWN’S COMPREHENSIVE PLAN FOR A 4.45-ACRE PARCEL LOCATED ON THE WEST SIDE OF STATE ROAD 19, SOUTH OF REVELS ROAD, AS LEGALLY DESCRIBED IN THE ORDINANCE, FROM ITS CURRENT DESIGNATION OF “VILLAGE MIXED USE” TO THE DESIGNATION OF “NEIGHBORHOOD COMMERCIAL”; PROVIDING FOR CONFLICTS, SEVERABILITY, CODIFICATION, AND AN EFFECTIVE DATE.

BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA:

Section 1. Findings. The Town Council of the Town of Howey-in-the-Hills, Florida, hereby finds and declares the following:

- a. Robert Ziegenfuss and/or Julie Farr of Z Development Services have applied on behalf of the current owner, Jeffrey S. Esch, for a change of the land use designation on the Future Land Use Map of the Town’s Comprehensive Plan for the 4.45-acre parcel legally described in Attachment A to this ordinance from its current designation of “Village Mixed Use” to “Neighborhood Commercial”; and
- b. The Town Council has determined that the proposed amendment to the land-use designation for the subject parcel to “Neighborhood Commercial is consistent with the Town’s Comprehensive Plan and promotes the public health, safety, and welfare.

Section 2. Approvals. The Town’s Future Land Use Map is amended hereby to change the land-use designation for the subject parcel from “Village Mixed Use” to “Neighborhood Commercial.”

Section 3. Severability. If any portion of this ordinance is declared by a court of competent jurisdiction to be void, unconstitutional, or unenforceable, the remaining portions of this ordinance shall remain in full effect. To that end, this ordinance is declared to be severable.

Section 4. Conflicts. In the event of a conflict between this ordinance and one or more existing ordinances, this ordinance shall supersede the existing ordinances and shall govern.

Section 5. Codification. The amendments enacted by this ordinance to the Future Land Use Map of the Town’s Comprehensive Plan shall be codified and made part of the Town’s Land Development Code, but not the Town’s Code of Ordinances.

Section 6. Effective Date. This Ordinance takes effect upon its enactment.

ORDAINED AND ENACTED this _____ day of May, 2024 by the Town Council of the Town of Howey-in-the-Hills, Florida:

Town of Howey-in-the-Hills, Florida
By: its Town Council

By: _____
Martha MacFarlane, Mayor

ATTEST:

John Brock, Town Clerk

APPROVED AS TO FORM AND LEGALITY
(for use and reliance of the Town only).

Thomas J. Wilkes, Town Attorney

First reading of the ordinance held on _____, 2022
Planning and Zoning Board meeting held on _____, 2022
Second reading, public hearing and adoption held on _____, 2022

ATTACHMENT A
LEGAL DESCRIPTION

THE SOUTH 740 FEET OF THE EAST 262 FEET OF THE FOLLOWING DESCRIBED PROPERTY:

NORTH HALF OF GOVERNMENT LOT 3, SECTION 2, TOWNSHIP 21 SOUTH, RANGE 25 EAST, LAKE COUNTY, FLORIDA. LYING WEST OF THE RIGHT OF WAY FOR STATE ROAD 19.

Lake County Property Appraiser Parcel No. 02-21-25-0002-000-00500

ALTKEY No. _____

/40286/5#60414663 v1



Comprehensive Plan Amendment Application



Item 3.

Please complete the application to the best of your knowledge, and submit the completed form and any required materials to the Town of Howey-in-the-Hills, 103 N. Palm Avenue, Howey-in-the-Hills, FL 34737

REQUESTED ACTION: SMALL SCALE FUTURE LAND USE MAP AMENDMENT: X
LARGE SCALE FUTURE LAND USE MAP AMENDMENT:
TEXT AMENDMENT:

REQUESTED FUTURE LAND USE DESIGNATION: Neighborhood Commercial

SUPPORTING STATEMENT: (Describe reason for requested amendment. For land use map amendment, please compare the proposed land use with the current land use. Attach separate sheet if necessary.)

Current land use is vacant PUD. Proposing construction of a 6,000 sf veterinary office, with associated site and utility work. Also, there will be a future commercial use to the west with associated site and utility work.

PROPERTY INFORMATION:

SHORT PARCEL ID (12 DIGITS): 02-21-25-0002-000-00500

ADDRESS OF PROPERTY: SR 19, Howey In The Hills, FL 34737

CROSS STREETS: SR 19 AND Revels Road

SIZE OF EXISTING PARCEL: 4.45 acres total (2.0 vet) SQ. FT. **ACRES** circle one)

LEGAL DESCRIPTION (attach separate sheet if necessary): Attached

ZONING: PUD (Mission Rise) CURRENT FUTURE LAND USE: VMU

SURROUNDING LAND USE & ZONING DESIGNATIONS:

	LAND USE	ZONING
NORTH	Commercial	PUD
SOUTH	Vacant	PUD
EAST	Vacant / Orange Groves	ROW / Medium Density Residential
WEST	Vacant	County A - Agriculture District

APPLICANT/AGENT:	
NAME: Robert Ziegenfuss and/or Julie Farr of Z Development Services	
COMPANY: Z Development Services	
ADDRESS: 1201 E Robinson Street	
CITY, STATE, ZIP: Orlando, FL 32801	
TELEPHONE: 407-271-8910	FAX:
EMAIL: permits@zdevelopmentservices.com	

OWNER (if different from applicant)	
NAME: Jeffrey S. Esch	
COMPANY: n/a	
ADDRESS: 103 Blackstone Creek Road	
CITY, STATE, ZIP: Groveland, FL 34736	
TELEPHONE: 336-314-7826	FAX:
EMAIL: jeschdvm@gmail.com	

SIGNATURE OF APPLICANT: 

SIGNATURE OF OWNER (if different): 

*Please attach a notarized Authorization of Owner and/or notarized Power of Attorney, if applicant is different from owner.

*If owner of the property is a corporation or company, a corporate resolution must be submitted with the application. An original resolution currently on file in the Planning Dept. that is less than one year old may be used. The resolution must state the name of the person(s) who have been resolved by the company as having authority to execute documents on behalf of the company. It must 1) be current; 2) state a termination date; 3) be signed and certified by the secretary; 4) be embossed with the corporate seal; and 5) be an original document.

*For every person doing business under a fictitious name, an Affidavit of Publication must be submitted.

THE FOLLOWING MUST BE SUBMITTED AT THE TIME OF APPLICATION:

- One (1) current (no older than 2 years) signed and sealed survey of the subject property, including total acreage of the land use change
- Legal Description of the subject property (Word format)
- Vicinity Map
- Traffic Impact Analysis, per section 8.02.10 (see traffic evaluation request for exemption)
- n/a For residential projects, verification from the Lake County School Board of submittal of the "School Planning and Concurrency Application" (Application available from Lake County School Board web site under Growth Planning.)
- Environmental Impact Analysis, per section 4.02.06J
- Authorization of owner, power of attorney, and/or affidavit of publication, if required (see above section)



TOWN OF HOWEY-IN-THE-HILLS, FLORIDA GENERAL LAND DEVELOPMENT APPLICATION

101 N. Palm Avenue, Howey-in-the-Hills, Florida 34737
Phone: (352) 324-2290 • Fax: (352) 324-2126

Date Received: Application ID: Received By:

REQUESTED ACTION

- | | | |
|---|--|--|
| <input checked="" type="checkbox"/> Comp Plan Amendment | <input checked="" type="checkbox"/> Variance | <input type="checkbox"/> Site Plan (check one below) |
| <input type="checkbox"/> PUD | <input checked="" type="checkbox"/> Rezoning | <input type="checkbox"/> Preliminary |
| <input checked="" type="checkbox"/> Conditional Use | <input type="checkbox"/> Subdivision Minor | <input type="checkbox"/> Final |
| <input type="checkbox"/> Preliminary Plat | <input type="checkbox"/> Other | <input type="checkbox"/> Subdivision (check one below) |
| | | <input type="checkbox"/> Preliminary Subdivision |
| | | <input type="checkbox"/> Final Subdivision |
| | | <input type="checkbox"/> Final Plat |

Describe Request: Proposed construction of a 6,000 sf veterinary office with associated site and utility work. Also, future construction of a retail building with associated site and utility work.

APPLICANT INFORMATION:

Name: Z Development Services / Robert Ziegenfuss and/or Julie Farr
 Address: 1201 E. Robinson Street
 Orlando, FL 32801
 Owner Agent for Owner

E-Mail: permits@zdevelopmentservices.com
 Phone: 407-271-8910 Fax: _____
 Attorney for Owner

OWNER INFORMATION:

Name: Jeffrey S. Esch
 Address: 103 Blackstone Creek Road
Groveland, FL 34736

E-Mail: jeschdvm@gmail.com
 Phone: 336-314-7826
 Fax: _____

PROPERTY INFORMATION:

Address: SR 19, Howey In The Hills, FL 34737

General Location: SR 19, South of Revels Road, Howey in the Hills

Current Zoning: PUD

Current Land Use: VMU

Parcel Size:

Tax Parcel #: 02-21-25-0002-000-00500

Legal Description Attached Yes No

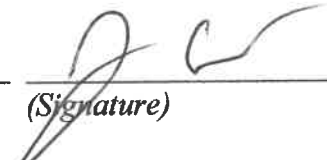
Survey Attached Yes No

Pre-Application Meeting Date: 11/2/23
(Attach Pre-Application Form)

Application Fee: \$ _____

Applicant's Signature:  4/3/24
(Signature) *(Date)*

Julie Farr
(Print)

Owner's Signature:  25 March 2024
(Provide letter of Authorization) *(Signature)* *(Date)*

Jeffrey S. Esch
(Print)

Applications must be complete to initiate the review process.



201 Basque Road
 St. Augustine, FL 32080
 Tel. (904) 347-9133
 Fax (904) 512-0459
 www.atlanticeco.com

August 14, 2023

Dr. Jeffery Esch
 jeschdvm@gmail.com

RE: Howey in the Hills
 Protected Species Report
 Lake County, FL
 AES #23-106

Dear Dr. Esch,

Atlantic Ecological Services, LLC (AES) visited the Howey in the Hills Property for the purposes of conducting a review for the presence of protected species based on direct and indirect observations, as well as to determine potential for occurrence of protected species based on suitable habitat. The site assessment was conducted on August 8, 2023. The property is located west of Highway 19, south of Revels Road, and north of Woodland Hills Court. The project area consists of Lake County Parcel ID #02-21-25-0002-000-00500, and is approximately 3.61 acres in total size. The subject property is located in Section 2, Township 21 South, Range 25 East in Lake County, Florida. Please see the attached Location and Aerial Maps.

This general area is known to be occupied by the protected gopher tortoise (*Gopherus polyphemus*) and lies within the Consultation Area for the blue-tailed mole skink (*Eumeces egregius lividus*) and sand skink (*Neoseps reynoldsi*).

Prior to clearing and grading a gopher tortoise survey is required by The Florida Fish & Wildlife Conservation Service (FWC), as well as a blue tailed mole and sand skink survey by the U.S. Fish & Wildlife Service (USFWS). The results are documented within this letter report.

METHODS

Wetland Delineation

Criteria used to determine the presence of the boundaries of wetlands and surface waters were in accordance with Chapter 62-340 F.A.C. There are no wetlands within the subject parcel.

Habitat Mapping

Each community and land use area was categorized according to the Florida Department of Transportation's (FDOT) 1999 *Florida Land Use, Cover and Forms Classification System* (FLUCCS). The boundaries of each FLUCCS code were delineated based on vegetative composition, soil characteristics, topography, and aerial interpretation. See the Results Section

below for a description of the habitats found. Please also see the attached Habitat Map depicting the findings.

Protected Species Review

Prior to visiting the site, a background literature search was conducted to compile a list of state and federally protected animal and plant species that could occur on-site. The three primary sources of literature reviewed include the Florida Fish and Wildlife Conservation Commission's (FWC) *Florida's Endangered Species, Threatened Species, And Species of Special Concern*, the United States Fish and Wildlife Service's (USFWS) Threatened and Endangered Species System (TESS) database, and the Florida Department of Agriculture and Consumer Services (FDACS), Division of Plant Industry's (DPI) *Notes on Florida's Endangered and Threatened Plants*. Additional information was gathered from the Florida Natural Areas Inventory (FNAI) *Field Guides to the Rare Animals/Plants of Florida*, and the Florida Committee on Rare and Endangered Plants and Animals (FCREPA) *Rare and Endangered Biota of Florida: Volumes 1-5*, and the FWC's Eagle Nest Locator web site were also reviewed to obtain location data recorded by others for those species.

A review was also completed utilizing guidelines from the USFWS and FWC to determine potential habitat for blue tailed mole skink and sand skink. Based on the guidelines, properties which maintain elevations 82 feet above sea level and higher with open sand patches and suitable soils are considered potential habitat. The list of suitable soils includes; Apopka, Arredondo, Archbold, Astatula, Candler, Daytona, Duette, Florahome, Gainesville, Hague, Kendrick, Lake, Millhopper, Orsino, Paola, Pomello, Satellite, St. Lucie, Tavares, and Zuber soil series.

Mr. Jason Lynn of AES performed the protected species review on the subject property. Mr. Lynn currently holds certification from the FWC as an Authorized Gopher Tortoise Agent under permit # GTA-23-00007.

RESULTS

Habitats

Uplands

Unimproved Pasture (FLUCCS 212) – The property consists of unimproved pasture; however, no active cattle operations were observed. Vegetation comprised primarily of Bahia grass (*Paspalum notatum*) with prickly pear cactus (*Opuntia humifusa*), dog fennel (*Eupatorium capillifolium*), milk pea (*Galactia elliottii*), grape vine (*Vitis sp.*) and rag weed (*Ambrosia artemisiifolia*). Scattered canopy trees included sabal pam (*Sabal palmetto*), elephant-ear tree (*Enterolobium cyclocarpum*), cherry laurel (*Prunus laurocerasus*) and sand live oak (*Quercus geminate*). No open patches of sand were observed.

Wildlife Observations

Wildlife observations, both direct and indirect, were made throughout the course of the site investigation. A list of species observed is provided in the following table:

Table 1: Wildlife species observed on the project site in Lake County, Florida.

Taxon	Common Name	Scientific Name	Protected*
Birds	Carolina wren	<i>Thryothorus ludovicianus</i>	No
	American Crow	<i>Corvus brachyrhynchos</i>	No
Mammals	Marsh rabbit	<i>Sylvilagus palustris</i>	No
Reptile	Brown anole	<i>Anolis sagrei</i>	No
	Gopher Tortoise	<i>Gopherus polyphemus</i>	Yes

Protected Species

A 100% gopher tortoise survey was conducted on August 8, 2023, in accordance with the techniques outlined in the publication, *Ecology and Habitat Protection Needs of Gopher Tortoise (Gopherus polyphemus) Populations Found on Lands Slated for Development in Florida*. Mr. Jason Lynn led the survey and is currently a FWC Authorized Gopher Tortoise Agent (GTA-23-00007). A total of 5 potentially occupied burrows were identified. Surveys are valid for a period of 90 days. Prior to construction an updated survey should be completed. Any burrow located within 25 feet of construction will require FWC permitting and relocation.

The eastern indigo snake (*Drymarchon corais couperi*) has a low likelihood to occur on the subject property since the primary habitat is unimproved pasture. The eastern indigo snake is a gopher tortoise commensal species due to its association with and utilization of gopher tortoise burrows for their life requisites. All tortoise burrows identified on the site will be permitted and excavation of the burrows will occur. If commensal species are identified during the excavation of the burrows, then each will be relocated to an appropriate relocation site. Best Management Practices during construction for the eastern indigo snake will also be incorporated. Eastern indigo snake signage will be installed at the construction office for instruction on procedures if an indigo snake enters the construction area. With the above measures being incorporated, no effect to the eastern indigo snake is anticipated.

The Florida burrowing owl utilizes open dry pasture or disturbed lands such as those within the subject property. Pedestrian transects were completed throughout the entire subject property and no Florida burrowing owls or evidence of their burrows were observed.

The subject property lies within the Consultation Area for the blue-tailed mole skink and sand skink. Soils (Apopka, Tavares and Chandler sands), and elevations (82 feet above sea level and higher) within the property are considered suitable for these species. Unimproved pasture

habitats within the subject property does not provide suitable habitat for the blue-tailed skink or the sand skink. No patches of open sand were observed within the property and a formal skink survey is not recommended.

The FWC's Eagle Nest Locator website was queried for data regarding documented southern bald eagle (*Haliaeetus l. leucocephalus*) nests in the project vicinity. The southern bald eagle is protected under the Bald and Golden Eagle Protection Act. Development guidelines are required for any proposed projects with 330 feet for urban areas and 660 feet for non-urban areas. The nearest known nest is located 2.15 miles east of the subject property. Therefore, development of the subject property is not likely to adversely affect the southern bald eagle.

No other protected flora or fauna species are expected to inhabit the subject property.

CONCLUSION

Atlantic Ecological Services, LLC conducted a site review on the Howey in the Hills property for the purposes of wetland delineation and determining the presence of and/or potential presence of state and federally protected wildlife and plant species.

No wetlands are located within the subject property.

A 100% gopher tortoise survey was completed on the subject property and a total of 5 potentially occupied burrows were located. Prior to construction any burrows within 25 feet of construction will be required to be permitted and relocated.

The subject property lies within the Consultation Area for the blue tailed mole skink and sand skink. Elevations, soils are suitable for these species, however, no suitable habitat was found and a formal survey is not recommended.

Should you have any questions or concerns please feel free to contact me at 386-314-9897 or jonathan@atlanticeco.com.

Sincerely,



Jonathan Oravetz
Project Manager

Enclosures

Technical Literature References

Chafin, L.G. 2000. *Field Guide to the Rare Animals of Florida*. Florida Natural Areas Inventory, Tallahassee, Florida.

Coile, Nancy C. 1998. *Notes of Florida's Endangered and Threatened Plants*. (Rule 5B-40 Florida's Regulated Plant Index), Botany Contribution 38, 2nd Ed. Florida Department of Agriculture and Consumer Services, Division of Plant Industry, Gainesville, Florida. 119 pp.

Cox, Jeffrey. A. 1987 *Status and Distribution of the Florida Scrub-Jay*. Florida Ornithological Society. Special Publication No. 3, Gainesville, Florida 110 pp.

Cox, James, D. Inkley, R. Kautz. 1987. *Ecology and Habitat Protection Needs of Gopher Tortoise (Gopherus polyphemus) Populations Found on Lands Slated for Large-Scale Development in Florida*. Florida Game and Freshwater Fish Commission, Nongame Wildlife Program. Technical Report No. 4. Tallahassee, Florida. 69 pp.

Deyrup, Mark, Franz, Richard 1994. *Rare and Endangered Biota of Florida, Volume IV Invertebrates*. Special Committee on Invertebrates, Florida Committee on Rare and Endangered Plants and Animals.

Division of Endangered Species. *Threatened and Endangered Species System*. Web Page Address: http://ecos.fws.gov/tess_public/TESSWebpage. United States Fish and Wildlife Service, Denver, Colorado.

Environmental Laboratory, Wetlands Research Program. 1987. *Corps of Engineers Wetlands Delineation Manual*. Technical Report Y-87-1. Department of the Army, Vicksburg, Mississippi.

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Gilbert, Carter R., 1992. *Rare and Endangered Biota of Florida, Volume II Fishes*. Special Committee on Fishes, Florida Committee on Rare and Endangered Plants and Animals.

Gilbert, K.M., J.D. Tobe, R.W. Cantrell, M.E. Sweeley, J.R. Cooper. 1995. *The Florida Wetlands Delineation Manual*. Florida Department of Environmental Protection, South Florida Water Management District, St. Johns River Water Management District, Suwannee River Water Management District, Southwest Florida Water Management District, and Northwest Florida Water Management District. 198 pp.

Hipes, D. D.R. Jackson, K. NeSmith, D. Printiss, K. Brandt. 2001. *Field Guide to the Rare Animals of Florida*. Florida Natural Areas Inventory, Tallahassee, Florida.

Humphrey, Stephen R., 1992. *Rare and Endangered Biota of Florida, Volume I. Mammals*. Special Committee on Mammals, Florida Committee on Rare and Endangered Plants and Animals.

Moler, Paul E., 1992. *Rare and Endangered Biota of Florida, Volume III Amphibians and Reptiles*. Special Committee on Amphibians and Reptiles Florida Committee on Rare and Endangered Plants and Animals.

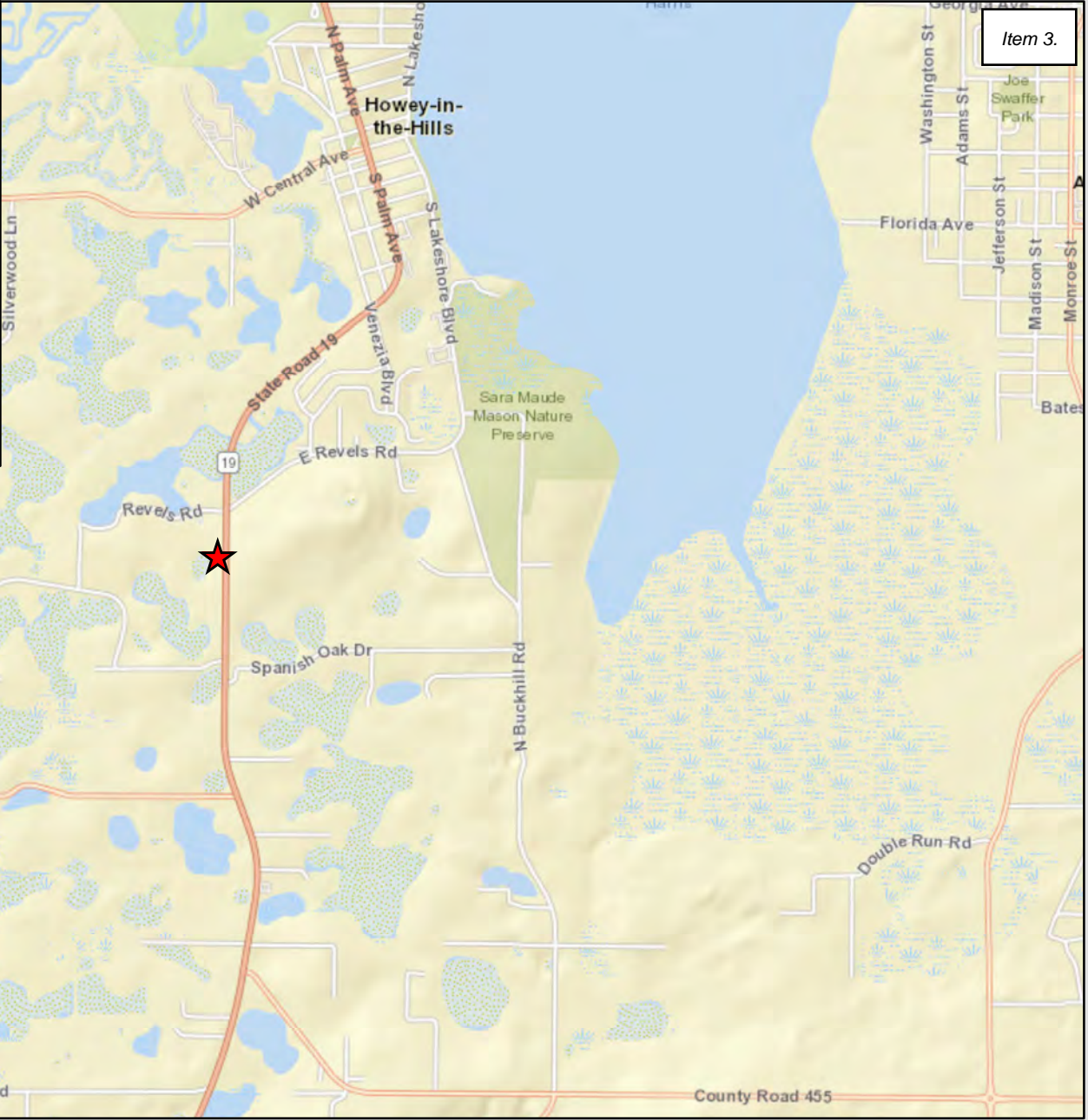
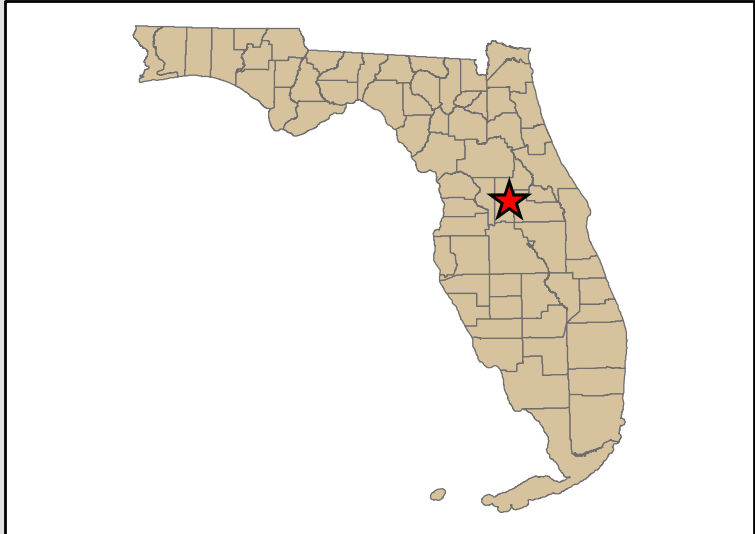
Natural Resource Conservation Service (Soil Conservation Service at time of publication). Circa 1965. *Soil Survey of Lake County, Florida*. United States Department of Agriculture.

Rogers, James A. Jr., Kale, Herbert W. III, Smith, Henry T. 1996. *Rare and Endangered Biota of Florida Volume V. Birds*. Special Committee on Birds Florida Committee on Rare and Endangered Plants and Animals.

Surveying and Mapping Office, Thematic Mapping Section. Department of Transportation. 1999. *Florida Land Use, Cover and Forms Classification System* 3rd ed. State of Florida, Department of Administration. 81 pp.

Wunderlin, Richard P. 1998. *Guide to the Vascular Plants of Florida*. University Press of Florida. 804 pp.

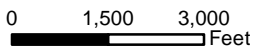
Wunderlin, R. P., and B. F. Hansen. 2004. *Atlas of Florida Vascular Plants* (<http://www.plantatlas.usf.edu/>).[S. M. Landry and K. N. Campbell (application development), Florida Center for Community Design and Research.] Institute for Systematic Botany, University of South Florida, Tampa.



Item 3.

Latitude: 28° 41' 35.83"N
Longitude: 81° 46' 51.37"W
Section 2
Township 21 South
Range 25 East

Image Source: ESRI 2023
Date: 8-7-23



Location Map Highway 19 Howey in the Hills Property Lake County, Florida



Item 3.



 Parcel

Image: ESRI 2022
Date: 8-7-23

0 50 100 Feet



Aerial Map Highway 19 Howey in the Hills Property Lake County, Florida

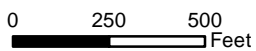


WWW.ATLANTICECO
904-347-9133 | jody@atlanticeco.com
201 Basque Rd | St. Augustine, FL 32080

Item 3.



Image: ESRI 2022
Date: 8-7-23




Topographic Map
 Highway 19 Howey in the Hills Property
 Lake County, Florida



Item 3.



 Parcel

Soil




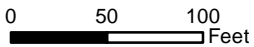
-  5 - Apopka sand
-  8 - Candler sand
-  45 - Tavares Sand

Image: ESRI 2022
Date: 8-7-23



Soil Map

Highway 19 Howey in the Hills Property

Lake County, Florida



Item 3.



Parcel
212-Unimproved Pasture - 3.61 ac.

Image: ESRI 2022
Date: 8-14-23

0 50 100 Feet



Habitat Map Highway 19 Howey in the Hills Property Lake County, Florida



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904-347-9133 | jody@atlanticecologicalservices.com
201 Basque Rd | St. Augustine, FL 32080



Image: ESRI 2022
Date: 8-9-23

0 50 100 Feet



Gopher Tortoise Burrow Location Map Highway 19 Howey in the Hills Property Lake County, Florida

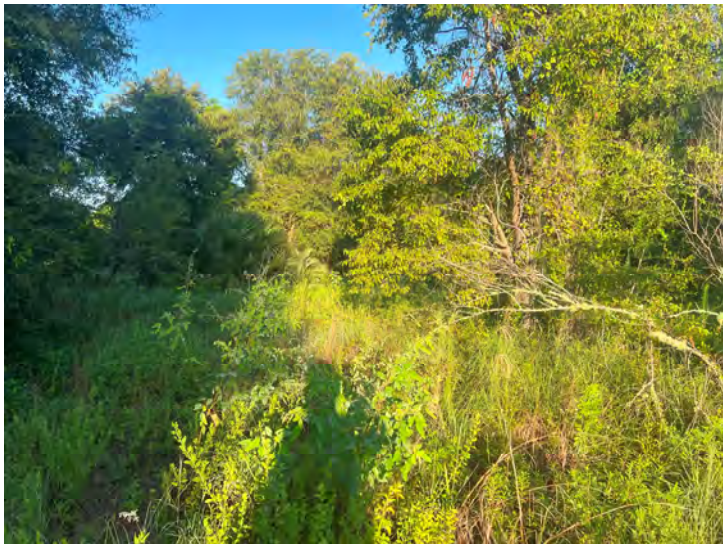


Photo Documentation
Howie in the Hills Property



Location: Habitat within parcel

Date: August 8, 2023



Location: Habitat within parcel

Date: August 8, 2023

Photo Documentation
Howie in the Hills Property



Location: Habitat within parcel

Date: August 8, 2023



Location: Habitat within parcel

Date: August 8, 2023

Photo Documentation
Howie in the Hills Property



Location: Habitat within parcel

Date: August 8, 2023



Location: Habitat within parcel

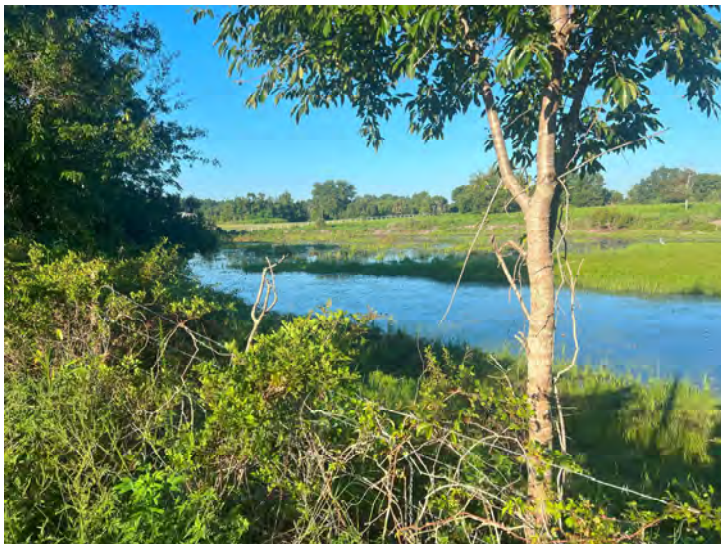
Date: August 8, 2023

Photo Documentation
Howie in the Hills Property



Location: Habitat within parcel

Date: August 8, 2023



Location: Offsite wetland

Date: August 8, 2023

Photo Documentation
Howie in the Hills Property



Location: Offsite wetland

Date: August 8, 2023



Veterinary Office Traffic Evaluation Request for Exemption Letter

The purpose of this evaluation is to provide a traffic analysis for a proposed veterinary office development in Lake County and request an exemption from conducting a Traffic Impact Study (TIS). The site of the development is located on the west side of SR 19, approximately 1,000 ft south of its intersection with Revels Road in Howey in the Hills, Florida. **Figure 1** depicts the site location and its one-mile impact area. The proposed development will consist of a 6,000 square-foot veterinary clinic. The anticipated completion year of the project is 2025. Access to the site will be provided via a full access driveway on SR 19. **Figure 2** depicts the site plan and access configuration.

Trip Generation

The trip generation of the proposed development was calculated with the use of data from the 11th Edition of the ITE Trip Generation Manual. **Table 1** summarizes the trip generation, and the ITE trip generation sheets are attached. Copies of the ITE trip generation worksheets are included in Attachment A.

Table 1
Trip Generation Calculation Summary

ITE LUC	Land Use	Size (KSF)	Daily		A.M. Peak Hour			P.M. Peak Hour				
			Rate	Trips	Rate	Enter	Exit	Total	Rate	Enter	Exit	Total
640	Veterinary Clinic	6	21.50	129	3.64	15	7	22	3.67	9	13	22
Total New Trips				129	--	15	7	22	--	9	13	22

1- KSF = 1,000 square feet

2- ITE equations were used where R2>0.75

Based upon ITE data the proposed development will generate 129 daily trips, 22 A.M. peak hour trips and 22 P.M. peak hour trips.

TPD No. 5880
11/16/2023



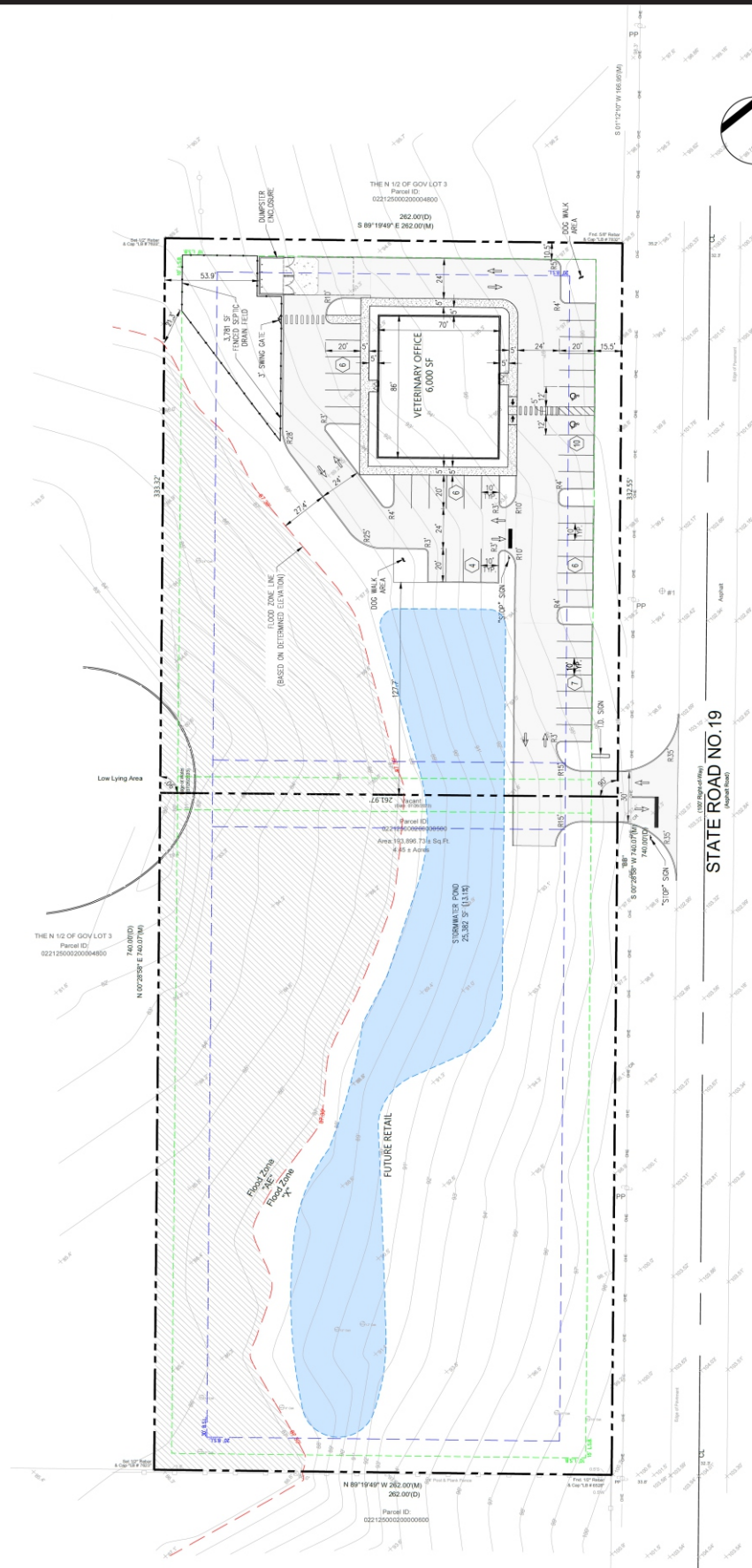
Item 3.



Site Location

Veterinary Office
Project No 5880
Figure 1





STATE ROAD NO. 19
 100' Right of Way
 100' Right of Way
 100' Right of Way



Veterinary Office
 Project № 5880
 Figure 2



Based upon our knowledge of the area and its socioeconomic characteristics, a distribution pattern for the project trips was determined as follows:

- To/From the south on State Road 19.....54%
- To/From the north on State Road 19.....46%

This distribution is illustrated in **Figure 3** which also shows the project’s daily and P.M. peak hour trips assigned to the area roadways.

Area of Influence/Impact Assessment

Based upon the project’s trip generation, the proposed project is a de minimis development and considered to create non-substantial impacts. The Applicant believes that this project is more in keeping with a Tier 1 type project and, therefore, this Request for Exemption Letter is being submitted. The area of influence for a Tier 1 TIA is defined as having a minimum one-mile radius from the main access point of the project.

The capacity analysis for the roadway segments to be impacted by the proposed development within one-mile is summarized in **Table 2**. The table shows that the impacted roadways have ample excess capacity to accommodate the project trips. Pertinent roadway segment data sheets showing the existing trips along with the corresponding segment capacities are included in Attachment B.

**Table 2
 Existing Roadway Capacity**


Roadway Segment	Lns	Adopted		P.M. Peak Hour				
		LOS	Capacity	Direction	Volume	Available Capacity	V/C	LOS
SR 19								
Central Avenue to CR 455	2L	D	1,200	NB	433	767	0.36	B
				SB	372	828	0.31	B



Trip Distribution

Request for Exemption for Tier 1 Traffic Impact Analysis

The proposed development will result in 129 daily trips, 22 A.M. peak hour trips (15 inbound and 7 outbound) and 22 P.M. peak hour trips (9 inbound and 13 outbound) to be added to the area roadways. As shown in Table 2, the impacted roadway network has adequate capacity without reducing the Level of Service (LOS). Therefore, an exemption from doing a Tier 1 Traffic Impact Analysis is requested.

NAME: Turgut Dervish, P.E.
P.E. No.: 20400
DATE: November 16, 2023
SIGNATURE: 

ATTACHMENT A

Animal Hospital/Veterinary Clinic (640)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday

Setting/Location: General Urban/Suburban

Number of Studies: 6

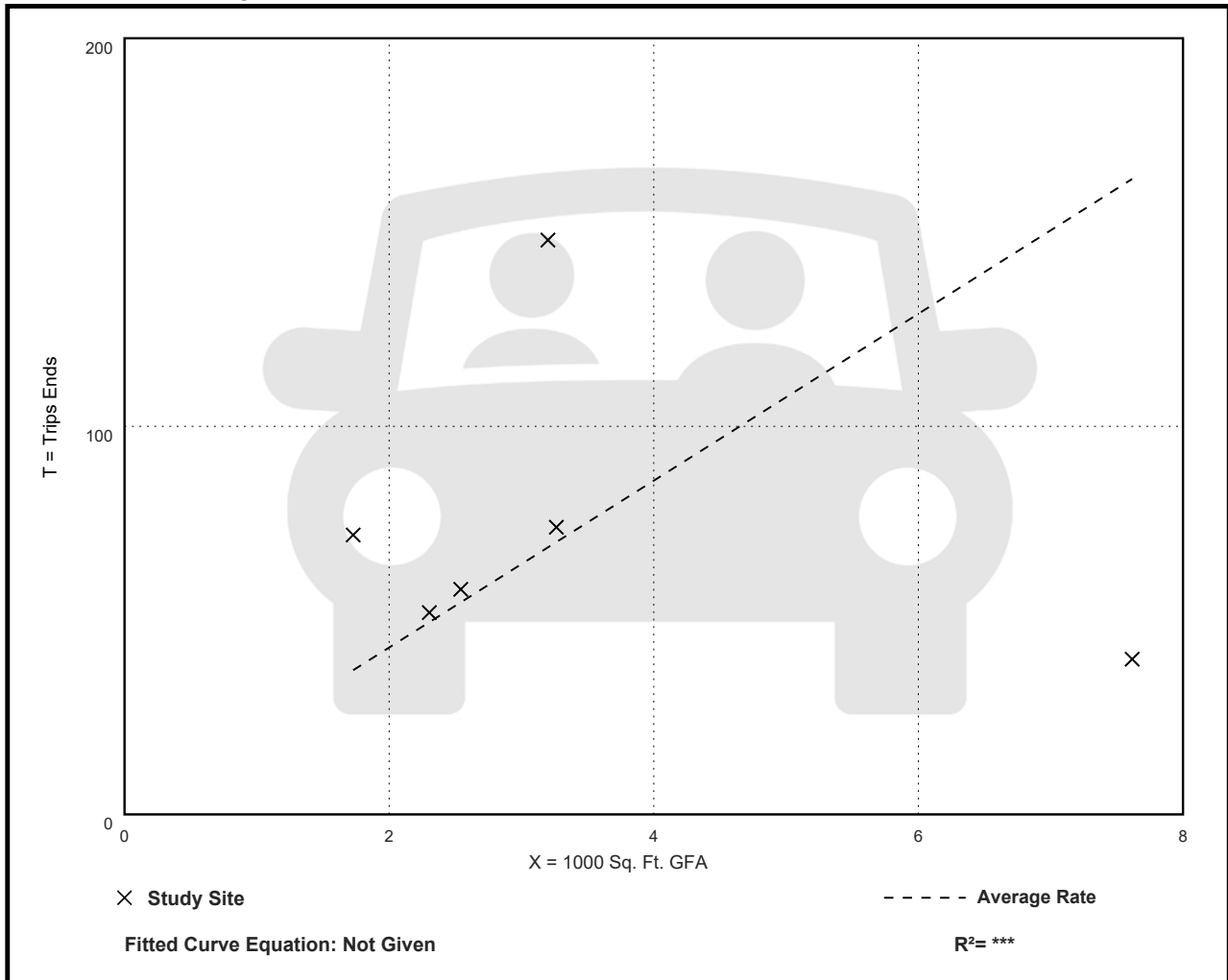
Avg. 1000 Sq. Ft. GFA: 3

Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
21.50	5.25 - 46.25	16.50

Data Plot and Equation



Animal Hospital/Veterinary Clinic (640)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

Number of Studies: 8

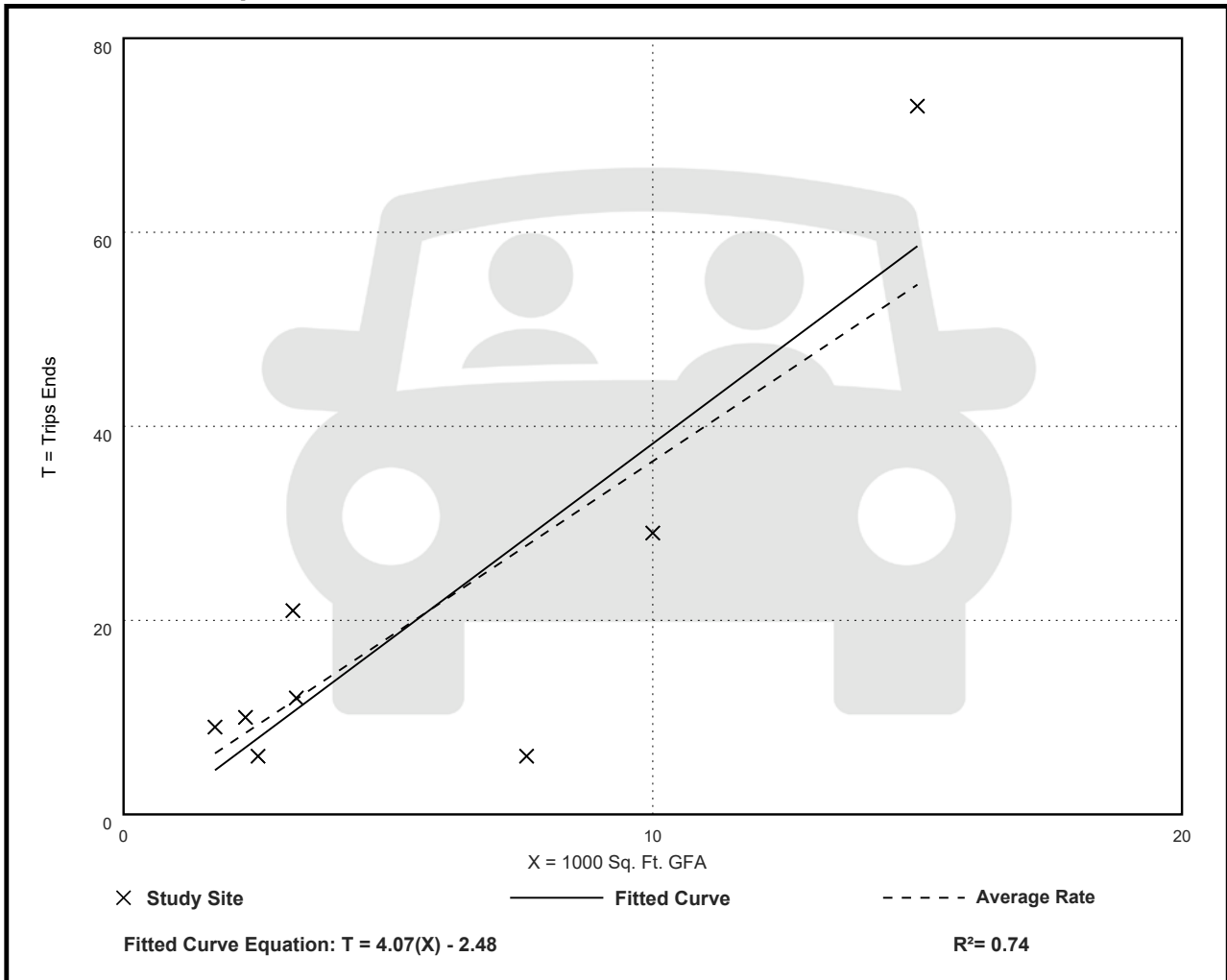
Avg. 1000 Sq. Ft. GFA: 6

Directional Distribution: 67% entering, 33% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
3.64	0.79 - 6.56	1.78

Data Plot and Equation



Animal Hospital/Veterinary Clinic (640)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: **Weekday,**

Peak Hour of Adjacent Street Traffic,

One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 8

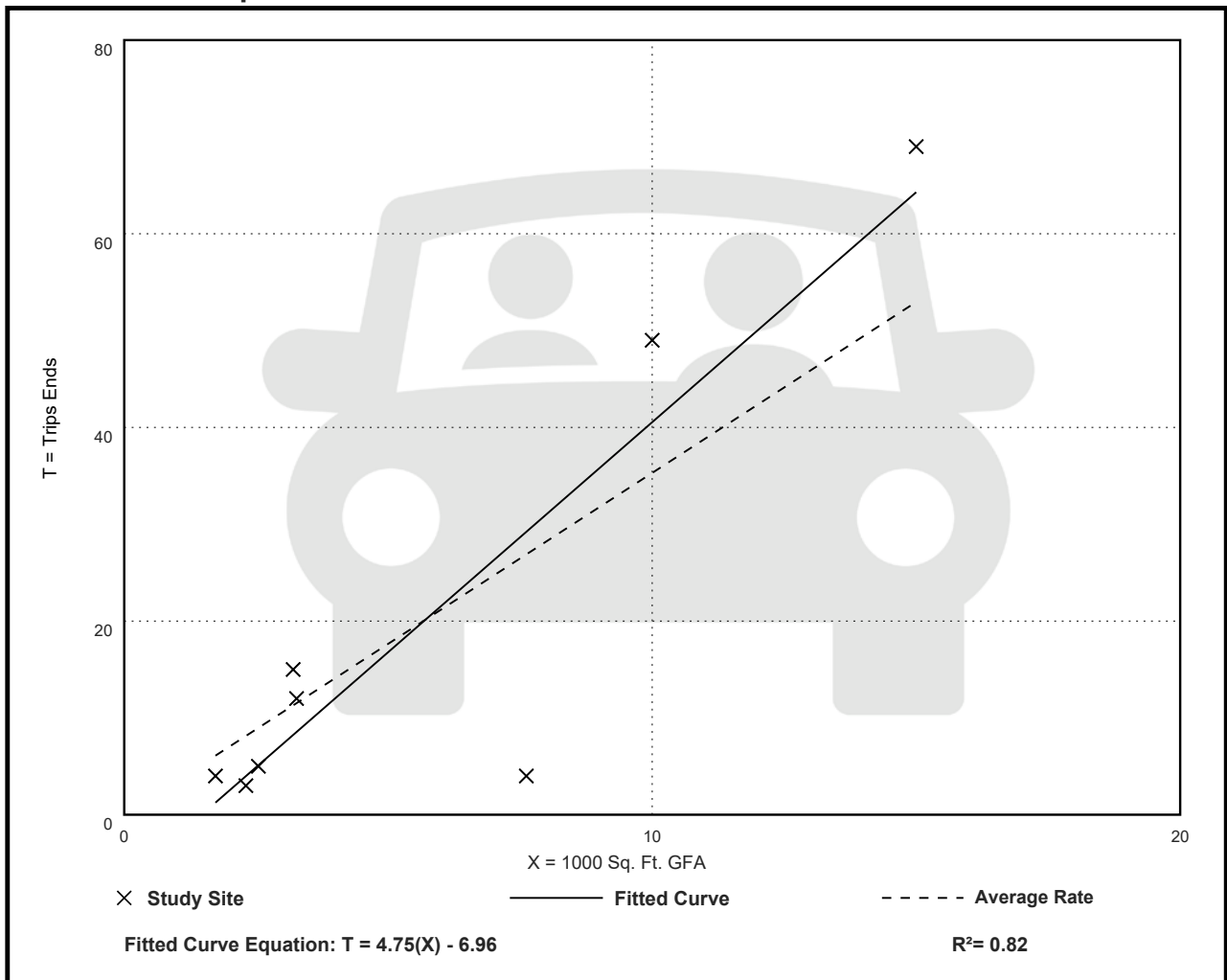
Avg. 1000 Sq. Ft. GFA: 6

Directional Distribution: 40% entering, 60% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
3.53	0.53 - 4.90	1.80

Data Plot and Equation



ATTACHMENT B



TMHConsulting@cfl.rr.com
 97 N. Saint Andrews Dr.
 Ormond Beach, FL 32174
 PH: 386.316.8426

MEMORANDUM

TO: Town of Howey-in-the-Hills Planning Board
CC: J. Brock, Town Clerk
FROM: Thomas Harowski, AICP, Planning Consultant
SUBJECT: Esch Veterinary Office Development Proposal
DATE: May 15, 2024

The subject property is a 4.45-acre parcel located on SR-19 south of Revels Road (ALT 1704171). The applicant is seeking to construct a veterinary office and provide at least one additional parcel for future office or retail use. Based on the survey, the parcel measures about 740 feet along SR 19 with a depth of 262 feet. The parcel is rectangular and slopes from SR 19 at 100 feet in elevation to the west where the elevation is approximately 85 feet at the western boundary. The environmental assessment report submitted with the application shows no wetlands on site and only a minor impact of Flood Zone A property (2012 map) along the western fringe of the site. Just off the site to the west is a wooded depressional area that likely receives stormwater runoff from the subject property. The subject parcel has some scattered trees on site.

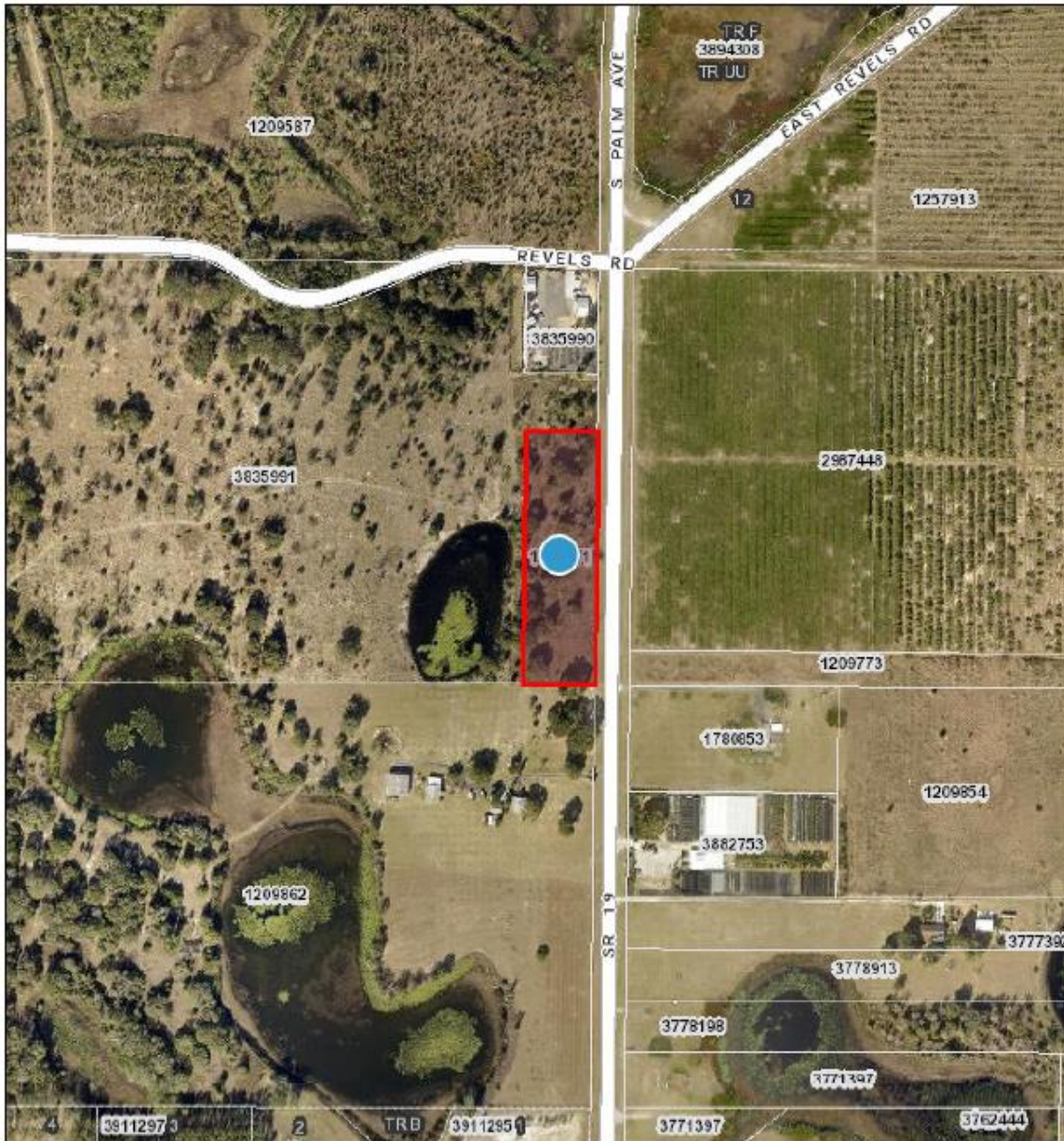
The property is designated Village Mixed Use on the future land use map which requires PUD zoning. The future land use designation may have been applied in error when the original Mission Rise project was approved. At 4.45 acres the property is too small to meet the minimum size for VMU land use, and the Town needs to change the land use and zoning to a classification that is more suitable for the parcel. This revision is the same process used for the parcel at Revels Road and SR 19 which has been developed as a landscape business and plant nursery.

To accomplish the land use and zoning changes and to take the steps to accommodate the proposed development, the following actions are required:

1. Adopt a small-scale amendment to the future land use map.
2. Adopt zoning consistent with the future land use designation.
3. Grant a conditional use approval for a veterinary clinic.
4. Grant a variance to allow a building larger than 6,000 square feet in NC
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Esch Parcel Location



May 15, 2024

1:5,000

Comprehensive Plan Amendment

As noted in the introduction, the current land use and zoning assignment for the subject parcel require more land than is available to meet code requirements. The assignment of Village Mixed Use land use which requires Planned Unit Development (PUD) zoning may have been made in error. In 2021 the Town addressed a similar case for a property also owned by the Chon Trust. This parcel, at the southwest corner of the intersection of Revels Road with SR 19, was changed to an industrial land use to allow for the development of a conditional use – the plant nursery which is currently operating on the site. The subject parcel is seeking the same treatment, although with different land uses. Based on the comprehensive plan menu of future land uses, the land use which most closely supports the proposed use is Neighborhood Commercial. The first determination is whether the property is suitable for Neighborhood Commercial Land Use.

The parcel is the last parcel in the Town going south on SR 19. The property to the west and to the north of the subject property is in the Mission Rise development which is currently under consideration by the Town for a residentially based mixed use development. The residential portion of the Mission Rise project, if approved, is west of the subject parcel. The small tract to the north of the subject parcel is proposed for use as a trail head for the bicycle system and the closest areas to west are proposed for stormwater retention area. Also to the north of the subject property is the previously discussed landscape nursery, and then across Revels Road is the beginning of The Reserve mixed use development. Opposite the subject property to the east is the Watermark residential PUD. This approved development is separated from the subject property by SR 19 and then a project buffer. To the south is land in unincorporated Lake County which is designated as Rural Transition and zoned agriculture. The Rural Transition land use allows development up to one unit per acre.

Any amendment of the future land use designation requires the proposed land use to be consistent with the goals, objectives, and policies of the comprehensive plan, to be able to be served by the necessary public services at the time of development and to avoid urban sprawl. The proposed amendment will be a small-scale map amendment. The process for approving a small-scale map amendment requires a recommendation from the planning board and approval by the Town Council with appropriate public involvement and intergovernmental coordination followed by a submittal of the amendment to the Florida Department of Economic Opportunity for review. Typically, the DEO will not conduct a detailed review small scale map amendments, but will act if other review agencies or the general public raise issues of concern.

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The proposed development plan has a maximum impervious area of 40% leaving the balance of the site for preserved flood plain area, stormwater retention and buffers.

Policy 1.2.3 requires the Town to protect residential areas from incompatible non-residential development.

The property location does not directly abut current and planned residential development. The Watermark property is separated from the subject parcel by SR-19 and their buffer area. There is no residential development to the north until the north side of Revels Road with two intervening properties including the plant nursery business. The land to the south is agricultural requiring large lot (one acre) development, and the land to west has residential lots within the proposed PUD that are buffered from the subject property. The subject parcel planned development provides stormwater retention and preserved flood prone area as additional spacing from property to the west.

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As noted above, the site does provide some screening from the closest residential properties in addition to the buffers on the adjacent parcels. The project will provide buffers as required by Town code.

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Objective 1.4 of the Future Land Use Element includes a list of specific policies related to commercial development. A number of these policies address issues covered in the policies enumerated above as well as covering other topics. Objective 1.4 and supporting policies are presented below with commentary on the proposed future land use map amendment.

OBJECTIVE 1.4: *Commercial Planning Activities.* Ensure the Town's sustainability by allocating sufficient land area to accommodate commercial activities which provide a level of employment as well as goods and services demanded by local residents and guest with consideration to fiscal and environmental impacts to the Town of Howey-in-the-Hills.

- POLICY 1.4.1:** *Location and Distribution of Commercial Sites.* The location and distribution of commercial land use districts delineated on the *Future Land Use Map* shall be determined according to the following criteria:
- a. Promote mixed use land use categories to prevent strip commercial centers and reduce the dependability on the automobile;
 - b. Promote the integration of uses to include live-work environments;
 - c. Ability to comply with adopted performance standards for preventing or minimizing nuisance impacts, such as emission of air pollutants, noise, odor, and generation of hazardous waste or products;

- d. Impact to the conservation and preservation of natural resources;
- e. Demand on existing and planned public services, utilities, water resources and energy resources;
- f. Impact on designated scenic and aesthetic transportation corridors;
- g. Compatibility with surrounding land uses;
- h. The size of each individual business permitted in the Neighborhood Commercial, Village Mixed Use, or Town Center Mixed Use land uses shall comply with the guidelines established within the Policy 1.4.6; and
- i. The height of each business permitted in the Neighborhood Commercial, Village Mixed Use, or Town Center Mixed Use land uses shall comply with the guidelines established in Policy 1.4.7 of this *Element*.

Given the isolated nature of the site and the development commitments on the surrounding properties, the potential for strip commercial is low. The most likely direction for strip commercial is to south where the land use is controlled by Lake County and is currently agriculture with the potential for larger lot residential development. Commercial growth in any other direction is blocked. The applicants submitted an environmental assessment of the site noting only the presence of gopher tortoise, which can be managed through a permit process. The plan design avoids the limited flood prone area on the site. The applicant has submitted a concept plan showing the planned development can comply with the comprehensive plan and zoning standards for site development.

POLICY 1.4.2: *Screening Requirement.* The Town shall require new commercial, light industrial, and manufacturing development to install landscaping, visually obstructive fencing or man-made berms, or other appropriate screening techniques concealing the commercial, light industrial, or manufacturing site from areas designated for low or medium density residential if the proposed commercial, light industrial, or manufacturing building is not compatible.

Project screening has been previously discussed.

POLICY 1.4.3: *Availability of Facilities to Support Commercial Development.* The density and intensity of commercial uses shall be compatible with the ability of public facilities to provide adequate services according to adopted level of service standards.

Service availability has been previously discussed. Major development in the area will be extending water and sewer service at some time in the near future.

POLICY 1.4.4: *Provision of Open Space.* All new commercial development shall be subject to the open space standards established in Policy 1.2.2 of this element.

Open space compliance has been previously discussed.

POLICY 1.4.5: *Maximum Intensity of Commercial Uses.* Maximum intensity of use for commercial development is outlined within the respective land use categories and further refined in the Land Development Regulations.

The project complies with the applicable floor area ratio standards.

POLICY 1.4.6: *Commercial Building Size Limitations.* Individual businesses within the Town Center Mixed Use and Neighborhood Commercial shall be limited to 5,000 sq. ft. unless a waiver is granted to the developer by the Town Council. Individual businesses within the Village Mixed Use land uses shall be limited to 30,000 sq. ft. unless a waiver is granted to the developer by the Town Council. These guidelines shall be used to determine the maximum allowable size for all new commercial buildings in Town. Waivers shall be based on the particular needs of the individual business, the compatibility of the proposed building and business with the business site and other affected development, enhanced architectural design of the proposed building, and other factors which the Town Council determines as relevant to development of the proposed site and impacts to the general area.

The applicant is requesting a waiver to allow a 6,000 square foot building.

POLICY 1.4.7: *Commercial Building Height Limitations.* Commercial buildings within the Town Center Mixed Use, Village Mixed Use, and Neighborhood Commercial land uses shall be limited to a maximum of 35 feet in height.

The applicant is proposing a one-story building of less than 35 feet in height.

POLICY 1.4.8: *Acceptable Uses within Commercial Areas.* Activities allowed within areas designated for commercial uses established in the Town Center Mixed Use, Village Mixed Use, or Neighborhood Commercial land uses shall be limited to the following:

1. Retail business (drive-thru establishments in the Town Center Mixed Use shall be located to the rear of properties fronting on Central Avenue)
2. Community centers and fraternal lodges;
3. Hotels or motels;
4. Marinas;
5. Service businesses, Personal Services such as barber/beauty, personal training, spa, salons, pottery shops, art/painting galleries or studios, dance studios, etc.;
6. Professional and Business offices;
7. Veterinarian offices, provided the facility has no outside kennels;
8. Financial Institutions and banks;

9. Residential development, low, medium, or high density (second story);
10. Recreation and Parks;
11. Manufacturing, as permitted according to policies cited in this *Element*;
12. Elementary and middle schools in the Neighborhood Commercial land use; and
13. Elementary, middle, and high schools in the Village Mixed Use land use.

The proposed use is listed at number 7.

POLICY 1.4.9: *Strip Commercial Development and State Road 19 and County Road 48.* The Town shall discourage strip commercial style development from occurring along State Road 19 and County Road 48. Prior to the approval of each proposed annexations along the State Road 19 and County Road 48 corridors, the Town shall consider the potential of a strip commercial style development being established as a direct result of such

The potential for strip commercial has been previously discussed. The only route for expansion from this proposed commercial site is to the south which is controlled by Lake County.

POLICY 1.4.10: *Adequate Commercial Land and the Future Land Use Map.* The Town will ensure that adequate land is designated on the *Future Land Use Map* to support the commercial needs of the residents and guests of Howey-in-the-Hills during the planning period. All such lands shall be compatible and consistent with the surrounding land uses.

While the goal for commercial development is to direct new commercial projects to the Central Avenue corridor or to the Village Mixed Use projects, the small size and isolated nature of the subject property suggests commercial as a possible option. The currently applied land use and zoning classifications actually block development of the site as the site is too small to meet their minimum standards. There are no nearby residential units that might be adversely affected by a commercial project at this location, and the parcel is likely too small to support some type of multi-family development.

Proposed Zoning Amendment

The most appropriate zoning and the zoning consistent with the recommended land use designation is also Neighborhood Commercial (Section 2.02.05 in the land development code). Under the NC zoning veterinary offices and clinics are designated as a conditional use, which means that they may be permitted if specific conditions are met (Section 2.02.05 B3 k). In this case the only specific condition is that there be no outside kennels (Section 6.02.13). The applicant has agreed to abide by this condition,

and a note to this effect will be required on the approved site plan. The specific requirements of the NC Neighborhood Commercial Zoning are as follows:

Requirement	Standard	Vet Site	Future Site
Minimum Lot Size	0.5 Acres	2.0 Acres	2.45 Acres
Minimum Lot Width	100 feet	333 feet	407 feet
Minimum Lot Depth	150 feet	262 feet	262 feet
Maximum Building Height	35 feet	>35 feet	>35
Maximum FAR	0.50%	0.07%	TBD
Maximum Lot Coverage	70%	40.1%	TBD
Setbacks			
Front	30 feet	74.5 feet	TBD
Side	20 feet	44.5 feet	TBD
Side	30 feet	202.2 feet	TBD
Rear	30 feet	117.4 feet	TBD

Both of the proposed development sites will meet the minimum dimensional requirements should the applicant elect to develop them as separate parcels. The proposed veterinary building will meet the other dimensional requirements, and any future buildings will be required to complete a site plan review process where compliance with the NC standards can be confirmed.

Conditional Use

A conditional use is one that is appropriate for a zoning classification provided that a specific condition or conditions are met. The only specific standard applicable to the veterinary business is the exclusion of outdoor kennels. The use is also required to meet the minimum requirements of the NC zoning classification. The analysis provided above demonstrates that the standards can be met.

Minimum Building Size

The applicant has proposed a 6,000 square foot building as needed to support the proposed business. The Neighborhood Commercial zoning sets a cap of 5,000 square feet unless the Town Council grants a waiver. Technically buildings in excess of 5,000 square feet are listed as a conditional use in NC, but there are no specific criteria called out in Chapter 6. Policy 1.4.6 on commercial building size (see text above) gives some guidance on the criteria to be applied. The policy cites the following criteria:

1. Needs of the business
2. Compatibility with the business and business site
3. Other affected development
4. Enhanced architectural design
5. Other items

We assume the applicant has sized the building based on his business needs, and the analysis to this point has demonstrated the building is compatible with the site (meets or

exceeds standards). The analysis has also demonstrated limited, if any, effect on nearby development. With regard to the architectural design, the staff recommends a condition that the buildings be designed to meet the architectural standards for non-residential development as set out in Section 4.06.05 and Section 4.06.06.

Recommendation

The staff recommends the Planning Board recommend to Town Council the amendment of the future land use map to designate the subject property as neighborhood commercial and assign neighborhood commercial zoning to the parcel. The staff further recommends the Planning Board recommend the veterinary business as a conditional use provided that no outside kennels are constructed and that this limitation be noted on the final site plan. The staff further recommends that the Planning Board recommend the Town Council grant the waiver to allow the 6,000 square foot building provided the applicant meets or exceeds the design requirements of Section 4.06.05 and 4.06.06 of the Town's land development code. Compliance with the building design requirements are to be confirmed with the final site plan approval.



TOWN OF HOWEY-IN-THE-HILLS, FLORIDA
PETITION FOR VARIANCE
CHECKLIST AND REQUIREMENTS

VARIANCE APPLICATION CHECKLIST

- General Land Development Application
- Application Fee and Estimated Deposit
- Description of the Variance and how it complies with Sec. 4.13.04
- List of property owners within 300 feet
- One signed and sealed survey of the property (no more than 2 years old).
- Legal Description
- Notarized Authorization of Owner (if applicant is other than owner or attorney for owner).

PUBLIC NOTIFICATION (Sec. 4.13.03)

The applicant shall provide written notice to property owners within 300 feet regarding his intention to seek a variance. Notice shall be sent by certified mail no later than ten (10) days prior to the scheduled meeting and shall include the date, time and place of the public hearing and a description of the proposed variance. A notice letter will be provided to the applicant by the Town.

In addition to written notice Town staff shall also post a notice on the subject property ten days prior to the public hearing and publish a notice of the hearing in a newspaper of general circulation at least ten (10) days prior to the public hearing.

VARIANCE HEARING PROCESS

The Planning and Zoning Board shall review the application for variance at their next available meeting following receipt of a completed application. The Planning and Zoning Board shall make a recommendation to the Town Council acting as the Board of Adjustment as to whether to approve, approve with changes or deny the variance. Upon receipt of the recommendation from the Planning and Zoning Board, the Board of Adjustment shall schedule a public hearing on the variance application and shall approve, approve with changes or deny the variance.

VARIANCE REQUIREMENTS

The following items must be completed in sufficient detail to allow the Town to determine if the application complies with the criteria for approving a variance.

Describe the requested variance. Attach any supplemental information that can assist in understanding the variance request and the negative impacts that the application of the land development code may have on the subject property.

A variance is required to be requested from Town Council for any building exceeding 5,000 sf.

1. What special condition(s) and circumstance(s) exist that are peculiar to your land, structure, building, or sign and are not applicable to other lands, structures, buildings, or signs in the same zoning classification?

The parcel is too small to meet the minimum requirements for a VMC/PUD project. In discussions with staff, this may have been assigned to this site in error.

2. Were these special condition(s) and circumstance(s) the result of actions by you? YES NO If Yes, Explain.

3. Would literal interpretation of the code deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the City Code? YES NO If Yes, Explain

A rezone to NC (Neighborhood Commercial) would allow the owner to develop the property for a veterinary office, which would benefit the surrounding residents. The variance for the extra 1,000 sf of space would be a benefit that others could apply for as well.

4. Will granting the variance requested confer on the applicant any special privilege that is denied by other lands, buildings or structures in the same zoning district? YES NO Explain

The variance from 5,000 sf to 6,000 sf of space would allow the property to be developed and would not impose any special privilege that surrounding property owners could not also enjoy.

5. Explain how the Variance(s) you are requesting is/are the minimum Variance(s) that will make it possible for you to make reasonable use of your land, building, structure or sign.

The NC (Neighborhood Commercial) zoning would allow for the development of the veterinary office. The variance from 5,000 sf to 6,000 sf would make the office large enough to fit all the necessary offices and equipment required for this type of business. This proposed building is actually about a 15% reduction from the optimal site preferred for a veterinary office.

6. Would the granting of the variance be in harmony with the general intent and purpose of the Code and the city's comprehensive plan? YES NO Explain

The property in it's current state is vacant and is of no benefit to the owner or community. The development of a veterinary office, would benefit the surrounding residents and bring care closer to where they live.

7. Would the granting of the variance be injurious to the area involved or otherwise detrimental to the public welfare? YES NO Explain

The proposed business operates during normal business hours, does not have excessive traffic generation and would benefit the surrounding residents.


Print Applicant Name

Julie Farr
Applicant Signature

4/3/24
Date

April 5, 2024

Town of Howey in the Hills
100 N Palm Avenue
Howey in the Hills, FL 34737

RE: Parcel 02-21-25-0002-000-00500 – Variance Narrative

To Whom It May Concern,

Please accept this letter as explanation why granting a variance for a 6,000 sf building (versus the 5,000 sf building allowed in code) will not be contrary to the public interest. Per 4.13.04, Standards in Granting a Variance, The Board of Adjustment may authorize a variance from the terms of the LDC as will not be contrary to public interest, where owing to special conditions a literal enforcement of the provisions of this Code will result in unnecessary and undue hardship.

The granting of the variance is the minimum variance that will make possible the reasonable use of the land, building or structure. A smaller building would not be able to accommodate all the offices and equipment necessary to establish a successful veterinary office. The additional space would give the practice the ability to serve more people, as well as make the investment in construction more financially sound. This would also bring a new business into an area that has few businesses established to serve the surrounding properties.

The granting of the variance does not harm surrounding property owners.

Please feel free to contact me for additional information.

Sincerely,



Bob Ziegenfuss, PE, LEED AP

**1201 E. Robinson St.
Orlando, Florida 32801**

Phone: (407) 271-8910



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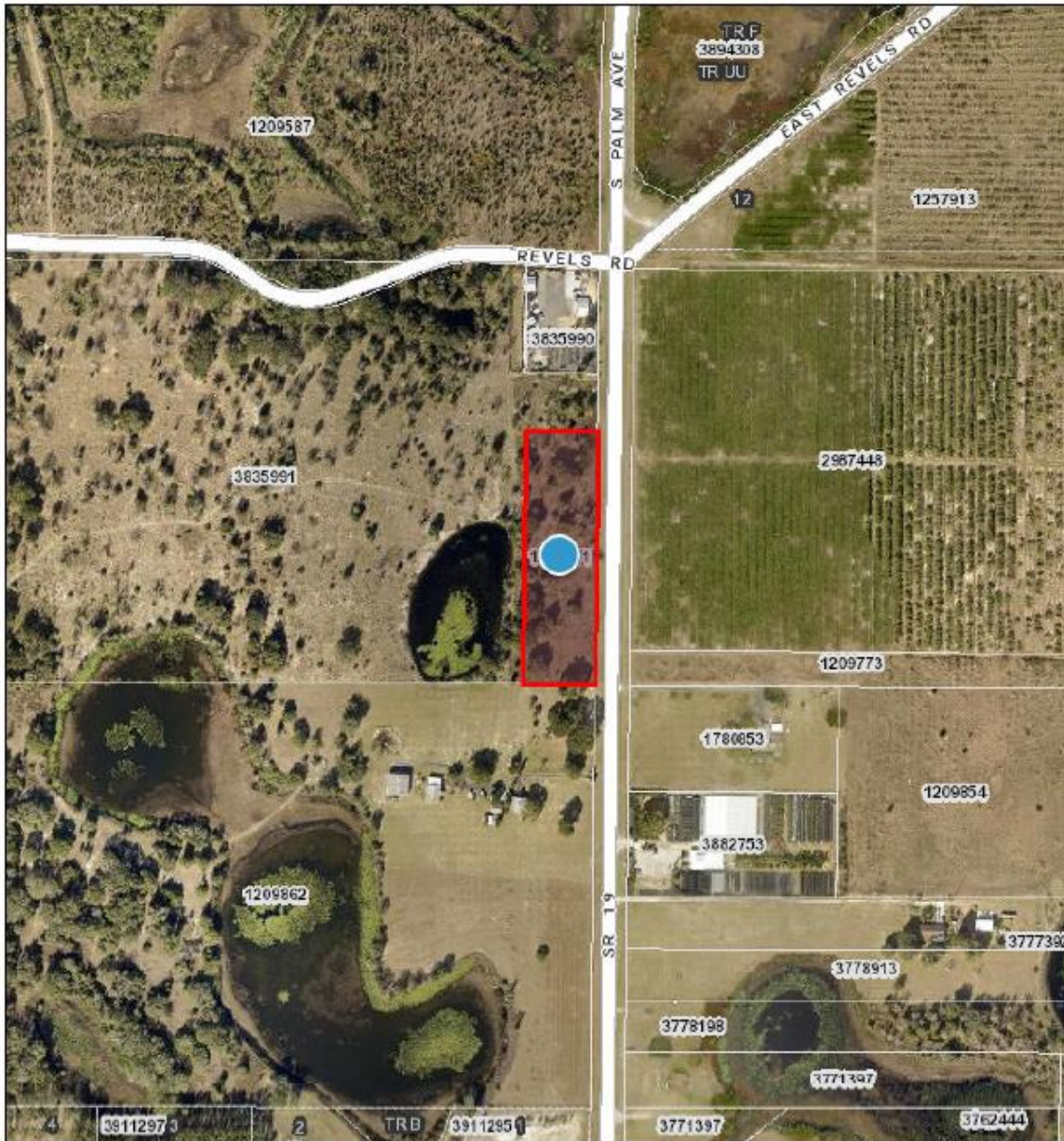
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Objective 1.4 of the Future Land Use Element includes a list of specific policies related to commercial development. A number of these policies address issues covered in the policies enumerated above as well as covering other topics. Objective 1.4 and supporting policies are presented below with commentary on the proposed future land use map amendment.

OBJECTIVE 1.4: *Commercial Planning Activities.* Ensure the Town's sustainability by allocating sufficient land area to accommodate commercial activities which provide a level of employment as well as goods and services demanded by local residents and guest with consideration to fiscal and environmental impacts to the Town of Howey-in-the-Hills.

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- a. Promote mixed use land use categories to prevent strip commercial centers and reduce the dependability on the automobile;
 - b. Promote the integration of uses to include live-work environments;
 - c. Ability to comply with adopted performance standards for preventing or minimizing nuisance impacts, such as emission of air pollutants, noise, odor, and generation of hazardous waste or products;

- d. Impact to the conservation and preservation of natural resources;
- e. Demand on existing and planned public services, utilities, water resources and energy resources;
- f. Impact on designated scenic and aesthetic transportation corridors;
- g. Compatibility with surrounding land uses;
- h. The size of each individual business permitted in the Neighborhood Commercial, Village Mixed Use, or Town Center Mixed Use land uses shall comply with the guidelines established within the Policy 1.4.6; and
- i. The height of each business permitted in the Neighborhood Commercial, Village Mixed Use, or Town Center Mixed Use land uses shall comply with the guidelines established in Policy 1.4.7 of this *Element*.

Given the isolated nature of the site and the development commitments on the surrounding properties, the potential for strip commercial is low. The most likely direction for strip commercial is to south where the land use is controlled by Lake County and is currently agriculture with the potential for larger lot residential development. Commercial growth in any other direction is blocked. The applicants submitted an environmental assessment of the site noting only the presence of gopher tortoise, which can be managed through a permit process. The plan design avoids the limited flood prone area on the site. The applicant has submitted a concept plan showing the planned development can comply with the comprehensive plan and zoning standards for site development.

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Project screening has been previously discussed.

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5. Service businesses, Personal Services such as barber/beauty, personal training, spa, salons, pottery shops, art/painting galleries or studios, dance studios, etc.;
6. Professional and Business offices;
7. Veterinarian offices, provided the facility has no outside kennels;
8. Financial Institutions and banks;

9. Residential development, low, medium, or high density (second story);
10. Recreation and Parks;
11. Manufacturing, as permitted according to policies cited in this *Element*;
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The proposed use is listed at number 7.

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While the goal for commercial development is to direct new commercial projects to the Central Avenue corridor or to the Village Mixed Use projects, the small size and isolated nature of the subject property suggests commercial as a possible option. The currently applied land use and zoning classifications actually block development of the site as the site is too small to meet their minimum standards. There are no nearby residential units that might be adversely affected by a commercial project at this location, and the parcel is likely too small to support some type of multi-family development.

Proposed Zoning Amendment

The most appropriate zoning and the zoning consistent with the recommended land use designation is also Neighborhood Commercial (Section 2.02.05 in the land development code). Under the NC zoning veterinary offices and clinics are designated as a conditional use, which means that they may be permitted if specific conditions are met (Section 2.02.05 B3 k). In this case the only specific condition is that there be no outside kennels (Section 6.02.13). The applicant has agreed to abide by this condition,

and a note to this effect will be required on the approved site plan. The specific requirements of the NC Neighborhood Commercial Zoning are as follows:

Requirement	Standard	Vet Site	Future Site
Minimum Lot Size	0.5 Acres	2.0 Acres	2.45 Acres
Minimum Lot Width	100 feet	333 feet	407 feet
Minimum Lot Depth	150 feet	262 feet	262 feet
Maximum Building Height	35 feet	>35 feet	>35
Maximum FAR	0.50%	0.07%	TBD
Maximum Lot Coverage	70%	40.1%	TBD
Setbacks			
Front	30 feet	74.5 feet	TBD
Side	20 feet	44.5 feet	TBD
Side	30 feet	202.2 feet	TBD
Rear	30 feet	117.4 feet	TBD

Both of the proposed development sites will meet the minimum dimensional requirements should the applicant elect to develop them as separate parcels. The proposed veterinary building will meet the other dimensional requirements, and any future buildings will be required to complete a site plan review process where compliance with the NC standards can be confirmed.

Conditional Use

A conditional use is one that is appropriate for a zoning classification provided that a specific condition or conditions are met. The only specific standard applicable to the veterinary business is the exclusion of outdoor kennels. The use is also required to meet the minimum requirements of the NC zoning classification. The analysis provided above demonstrates that the standards can be met.

Minimum Building Size

The applicant has proposed a 6,000 square foot building as needed to support the proposed business. The Neighborhood Commercial zoning sets a cap of 5,000 square feet unless the Town Council grants a waiver. Technically buildings in excess of 5,000 square feet are listed as a conditional use in NC, but there are no specific criteria called out in Chapter 6. Policy 1.4.6 on commercial building size (see text above) gives some guidance on the criteria to be applied. The policy cites the following criteria:

1. Needs of the business
2. Compatibility with the business and business site
3. Other affected development
4. Enhanced architectural design
5. Other items

We assume the applicant has sized the building based on his business needs, and the analysis to this point has demonstrated the building is compatible with the site (meets or

exceeds standards). The analysis has also demonstrated limited, if any, effect on nearby development. With regard to the architectural design, the staff recommends a condition that the buildings be designed to meet the architectural standards for non-residential development as set out in Section 4.06.05 and Section 4.06.06.

Recommendation

The staff recommends the Planning Board recommend to Town Council the amendment of the future land use map to designate the subject property as neighborhood commercial and assign neighborhood commercial zoning to the parcel. The staff further recommends the Planning Board recommend the veterinary business as a conditional use provided that no outside kennels are constructed and that this limitation be noted on the final site plan. The staff further recommends that the Planning Board recommend the Town Council grant the waiver to allow the 6,000 square foot building provided the applicant meets or exceeds the design requirements of Section 4.06.05 and 4.06.06 of the Town's land development code. Compliance with the building design requirements are to be confirmed with the final site plan approval.



TOWN OF HOWEY- IN-THE- HILLS, FLORIDA
PETITION FOR CONDITIONAL USE
CHECKLIST AND REQUIREMENTS

SPECIAL EXCEPTION CHECKLIST

- General land Development Application
- Application Fee and Estimated Deposit
- Description of the proposed conditional use and how it meets the applicable criteria
- One signed and sealed survey of the property (no more than 2 years old).
- Legal Description
- Notarized Authorization of Owner (if applicant is other than owner or attorney for owner).
- List of property owners within 300 feet

PUBLIC NOTIFICATION (Sec. 4.12.04)

The applicant shall provide written notice to property owners within 300 feet regarding his intention to seek a variance. Notice shall be sent by certified mail no later than ten (10) days prior to the scheduled meeting and shall include the date, time and place of the public hearing and a description of the proposed variance. A notice letter will be provided to the applicant by the Town.

In addition to written notice Town staff shall also post a notice on the subject property ten (10) days prior to the public hearing and publish a notice of the hearing in a newspaper of general circulation at least ten (10) days prior to the public hearing.

CONDITIONAL USE APPROVAL PROCESS (Section 4.12.03)

All requests for conditional use shall be reviewed administratively by the Development Review Committee. The DRC shall prepare a report of its findings for presentation to the Planning and Zoning Board. The Planning and Zoning Board shall schedule a public hearing to consider the application and make a recommendation to the Town Council.

Upon receipt of the recommendation from the Planning and Zoning Board, the Town Council shall schedule a public hearing to consider the conditional use application. Following the public hearing, the Town Council shall approve, approve with conditions, or deny the conditional use.

WRITTEN PETITION FOR A CONDITIONAL USE

The following items must be completed in sufficient detail to allow the Town to determine if the application complies with the Section 4.12.02 of the land development code.

Describe the requested conditional use. Attach any supplemental information that can assist in understanding how the request complies with the purpose and intent of the code.

<p>Requesting a conditional use permit to put a 6,000 sf Veterinary Clinic on a property that we have submitted a rezone application for, to rezone to NC (Neighborhood Commercial). Buildings over 5,000 sf are a conditional use in NC (Neighborhood Commercial) zoning. The building needs to be 6,000 sft to be large enough for exam rooms and equipment needed. Site is currently zoned VMU/PUD.</p>

1. Is it inconsistent with the purpose or intent of the zoning district? YES NO Explain.

The purpose of the NC Zoning district is to provide attractive and functional areas to meet the daily needs of residents and visitors. A Veterinary office is consistent with this Zoning District.

2. Is it inconsistent with any element of the comprehensive plan? YES NO Explain.

A Veterinary Clinic provides convenience services for the surrounding areas.

3. Will it adversely affect the public interest? YES NO Explain.

The Veterinary Clinic will be a positive addition to the community.

4. Does it meet the expressed requirements of the applicable conditional use? YES NO Explain.

A Veterinary Clinic provides services in close proximity to the neighboring community, so it meets the expressed requirement of the NC Zoning district.

5. Is the applicant able to meet all requirements imposed by federal, state or local governments, or by the council? YES NO Explain. Item 5.

Yes, the business will abide by all requirements imposed..

6. Will it generate undue traffic congestion? YES NO Explain.

A Veterinary Clinic will have a limited number of exam rooms and that will limit the amount of traffic visiting the site at one time.

7. Will it create a hazard or a public nuisance, or be dangerous to individuals or to the public? YES NO Explain.

The Veterinary Clinic will be a good neighbor and provide a needed service to the surrounding neighbors. There is nothing loud or dangerous from this type of business.

8. Will it materially alter the character of surrounding neighborhoods, or adversely affect the value of surrounding land, structures or buildings? YES NO Explain.

A nice looking building will be a boost, in place of the current vacant lot.

9. Will it adversely affect the natural environment, natural resources or scenic beauty, or cause excessive pollution? YES NO Explain.

A Veterinary Clinic will have minimal impact on their surroundings or environment. A developed site will be much more visually appearing than a vacant lot.

Julie Farr

Print Applicant Name



Applicant Signature

4/3/24

Date

X Application deposit made payable to: Town of Howey-in-the-Hills in the amount directed by the Town Clerk

Staff Use Only

Complete Application Received By & Date: _____

Incomplete Application Received By & Date: _____

Missing Items: _____

Scheduled Application Closing Date: _____

Scheduled Planning Board Meeting Date: _____

Scheduled City Commission Meeting Date: _____

Payment Received: Check Amount: \$ _____ **Date Paid:** _____

April 5, 2024

Town of Howey in the Hills
100 N Palm Avenue
Howey in the Hills, FL 34737

RE: Parcel 02-21-25-0002-000-00500 – Conditional Use Narrative

To Whom It May Concern,

Please accept this letter as explanation why granting a conditional use for NC Zoning for a 6,000 sf building (versus the 5,000 sf building allowed in code) is a use that would not be appropriate generally without restriction throughout the particular zoning district, but which, if controlled as to number, area, location or relation to the neighborhood, would not adversely affect the public health, safety, appearance or general welfare.

The granting of the conditional use would not adversely affect anyone in this area. In fact, it would bring a new business, new service and jobs to this area. A smaller building would not be able to accommodate all the offices and equipment necessary to establish a successful veterinary office. The additional space would give the practice the ability to serve more people, as well as make the investment in construction more financially sound. This would also bring a new business into an area that has few businesses established to serve the surrounding properties.

The granting of the conditional use does not harm surrounding property owners and would make it easier for the surrounding property owners to take care of their pets, without traveling to a further away practice.

Please feel free to contact me for additional information.

Sincerely,



Bob Ziegenfuss, PE, LEED AP

**1201 E. Robinson St.
Orlando, Florida 32801**

Phone: (407) 271-8910



TMHConsulting@cfl.rr.com
 97 N. Saint Andrews Dr.
 Ormond Beach, FL 32174
 PH: 386.316.8426

MEMORANDUM

TO: Town of Howey-in-the-Hills Planning Board
CC: J. Brock, Town Clerk
FROM: Thomas Harowski, AICP, Planning Consultant
SUBJECT: Esch Veterinary Office Development Proposal
DATE: May 15, 2024

The subject property is a 4.45-acre parcel located on SR-19 south of Revels Road (ALT 1704171). The applicant is seeking to construct a veterinary office and provide at least one additional parcel for future office or retail use. Based on the survey, the parcel measures about 740 feet along SR 19 with a depth of 262 feet. The parcel is rectangular and slopes from SR 19 at 100 feet in elevation to the west where the elevation is approximately 85 feet at the western boundary. The environmental assessment report submitted with the application shows no wetlands on site and only a minor impact of Flood Zone A property (2012 map) along the western fringe of the site. Just off the site to the west is a wooded depression area that likely receives stormwater runoff from the subject property. The subject parcel has some scattered trees on site.

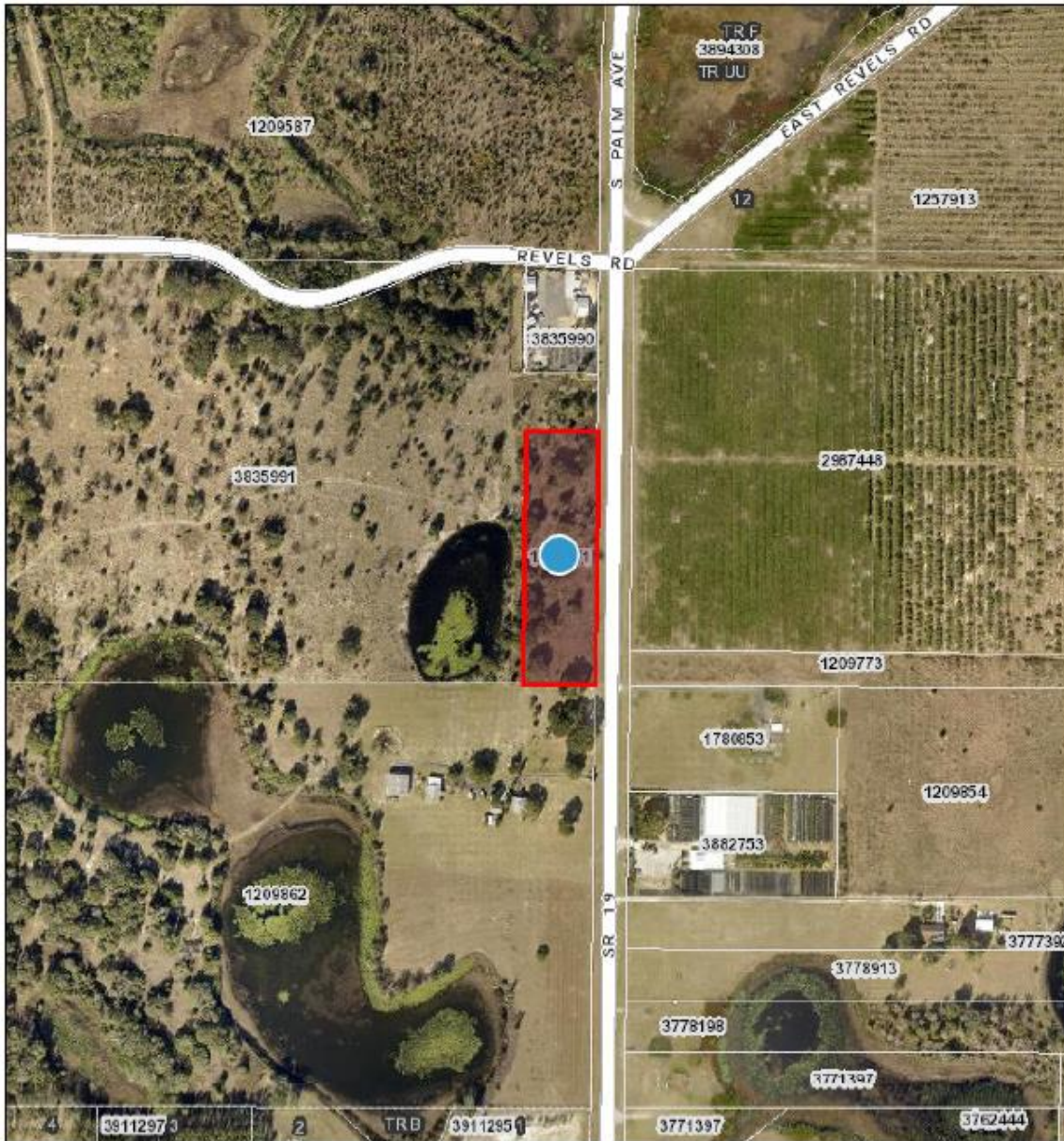
The property is designated Village Mixed Use on the future land use map which requires PUD zoning. The future land use designation may have been applied in error when the original Mission Rise project was approved. At 4.45 acres the property is too small to meet the minimum size for VMU land use, and the Town needs to change the land use and zoning to a classification that is more suitable for the parcel. This revision is the same process used for the parcel at Revels Road and SR 19 which has been developed as a landscape business and plant nursery.

To accomplish the land use and zoning changes and to take the steps to accommodate the proposed development, the following actions are required:

1. Adopt a small-scale amendment to the future land use map.
2. Adopt zoning consistent with the future land use designation.
3. Grant a conditional use approval for a veterinary clinic.
4. Grant a variance to allow a building larger than 6,000 square feet in NC
5. Approve a preliminary site plan for the construction of any proposed buildings
6. Approve a final site plan for the proposed buildings
7. Approve a subdivision plat or lot split for any proposed lots.

The current review program will address items one through four. The Town has sufficient information to review the application for preliminary site plan approval as well, but the necessary advertising for the preliminary site plan could not be completed in sufficient time for the May meeting. The preliminary site plan will need to be addressed at the June meeting.

Esch Parcel Location



May 15, 2024

1:5,000

Comprehensive Plan Amendment

As noted in the introduction, the current land use and zoning assignment for the subject parcel require more land than is available to meet code requirements. The assignment of Village Mixed Use land use which requires Planned Unit Development (PUD) zoning may have been made in error. In 2021 the Town addressed a similar case for a property also owned by the Chon Trust. This parcel, at the southwest corner of the intersection of Revels Road with SR 19, was changed to an industrial land use to allow for the development of a conditional use – the plant nursery which is currently operating on the site. The subject parcel is seeking the same treatment, although with different land uses. Based on the comprehensive plan menu of future land uses, the land use which most closely supports the proposed use is Neighborhood Commercial. The first determination is whether the property is suitable for Neighborhood Commercial Land Use.

The parcel is the last parcel in the Town going south on SR 19. The property to the west and to the north of the subject property is in the Mission Rise development which is currently under consideration by the Town for a residentially based mixed use development. The residential portion of the Mission Rise project, if approved, is west of the subject parcel. The small tract to the north of the subject parcel is proposed for use as a trail head for the bicycle system and the closest areas to west are proposed for stormwater retention area. Also to the north of the subject property is the previously discussed landscape nursery, and then across Revels Road is the beginning of The Reserve mixed use development. Opposite the subject property to the east is the Watermark residential PUD. This approved development is separated from the subject property by SR 19 and then a project buffer. To the south is land in unincorporated Lake County which is designated as Rural Transition and zoned agriculture. The Rural Transition land use allows development up to one unit per acre.

Any amendment of the future land use designation requires the proposed land use to be consistent with the goals, objectives, and policies of the comprehensive plan, to be able to be served by the necessary public services at the time of development and to avoid urban sprawl. The proposed amendment will be a small-scale map amendment. The process for approving a small-scale map amendment requires a recommendation from the planning board and approval by the Town Council with appropriate public involvement and intergovernmental coordination followed by a submittal of the amendment to the Florida Department of Economic Opportunity for review. Typically, the DEO will not conduct a detailed review small scale map amendments, but will act if other review agencies or the general public raise issues of concern.

In addition to the application form, the applicant submitted a concept site plan showing the anticipated layout for an office building of 6,000 square feet along with parking and stormwater management facilities. This review is not a formal site plan review, but the plan submitted by the applicant will be used to analyze the request in comparison with the comprehensive plan goals, objectives, and policies.

Public Policy Considerations

The following policies are drawn from the Town’s comprehensive plan Future Land Use Element and are applicable to the requested map amendment.

Policy 1.1.1 contains a section on the Neighborhood Commercial Land Use presenting limits on density and intensity of development. The key numbers are:

Maximum Floor Area Ratio (FAR)	0.50
Maximum Impervious Surface Ratio (ISR)	0.70
Maximum Building Size	5,000 square feet
Maximum Building Height	35 feet.

Based on the proposed site layout the project will comply with all the dimensional requirements except for the maximum building size. The applicant is seeking a waiver of the 5,000 square foot building maximum.

Policy 1.1.2 contains a section on the Neighborhood Commercial Land Use listing the uses permitted in neighborhood commercial development noting general commercial categories including general commercial, limited commercial and professional office along with examples of each type.

The Neighborhood Commercial Zoning Classification lists Animal Hospital or Veterinary Clinic as a conditional use with the only condition being no outdoor kennels. The applicant has agreed to the condition.

Policy 1.2.2 lists open space requirements for various land use categories. The applicable open space minimum area for Neighborhood Commercial is 30% of the gross land area. This is the inverse of the maximum impervious surface ratio.

The proposed development plan has a maximum impervious area of 40% leaving the balance of the site for preserved flood plain area, stormwater retention and buffers.

Policy 1.2.3 requires the Town to protect residential areas from incompatible non-residential development.

The property location does not directly abut current and planned residential development. The Watermark property is separated from the subject parcel by SR-19 and their buffer area. There is no residential development to the north until the north side of Revels Road with two intervening properties including the plant nursery business. The land to the south is agricultural requiring large lot (one acre) development, and the land to west has residential lots within the proposed PUD that are buffered from the subject property. The subject parcel planned development provides stormwater retention and preserved flood prone area as additional spacing from property to the west.

Policy 1.2.4 addresses screening requirements for non-residential uses.

As noted above, the site does provide some screening from the closest residential properties in addition to the buffers on the adjacent parcels. The project will provide buffers as required by Town code.

Policy 1.2.8 requires the Town to conduct a review of its ability to meet public service demands created by the application.

The property is not served by either potable water or sewer. The development will need to initially use a well and septic system until services are extended to this area. The applicant will be required to connect when services become available. The well can then be converted to irrigation use. The applicant has accepted this condition. (Note: this is the same water and sewer arrangement applied to the plant nursery property.) The applicant provided a traffic analysis and requested the project be exempt from a full traffic impact assessment based on the low volumes generated. The Town engineer has concurred with the exemption. Stormwater will be managed on site. Recreation services and school capacity do not apply to the commercial development.

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Proposed Zoning Amendment

The most appropriate zoning and the zoning consistent with the recommended land use designation is also Neighborhood Commercial (Section 2.02.05 in the land development code). Under the NC zoning veterinary offices and clinics are designated as a conditional use, which means that they may be permitted if specific conditions are met (Section 2.02.05 B3 k). In this case the only specific condition is that there be no outside kennels (Section 6.02.13). The applicant has agreed to abide by this condition,

and a note to this effect will be required on the approved site plan. The specific requirements of the NC Neighborhood Commercial Zoning are as follows:

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Maximum Building Height	35 feet	>35 feet	>35
Maximum FAR	0.50%	0.07%	TBD
Maximum Lot Coverage	70%	40.1%	TBD
Setbacks			
Front	30 feet	74.5 feet	TBD
Side	20 feet	44.5 feet	TBD
Side	30 feet	202.2 feet	TBD
Rear	30 feet	117.4 feet	TBD

Both of the proposed development sites will meet the minimum dimensional requirements should the applicant elect to develop them as separate parcels. The proposed veterinary building will meet the other dimensional requirements, and any future buildings will be required to complete a site plan review process where compliance with the NC standards can be confirmed.

Conditional Use

A conditional use is one that is appropriate for a zoning classification provided that a specific condition or conditions are met. The only specific standard applicable to the veterinary business is the exclusion of outdoor kennels. The use is also required to meet the minimum requirements of the NC zoning classification. The analysis provided above demonstrates that the standards can be met.

Minimum Building Size

The applicant has proposed a 6,000 square foot building as needed to support the proposed business. The Neighborhood Commercial zoning sets a cap of 5,000 square feet unless the Town Council grants a waiver. Technically buildings in excess of 5,000 square feet are listed as a conditional use in NC, but there are no specific criteria called out in Chapter 6. Policy 1.4.6 on commercial building size (see text above) gives some guidance on the criteria to be applied. The policy cites the following criteria:

1. Needs of the business
2. Compatibility with the business and business site
3. Other affected development
4. Enhanced architectural design
5. Other items

We assume the applicant has sized the building based on his business needs, and the analysis to this point has demonstrated the building is compatible with the site (meets or

exceeds standards). The analysis has also demonstrated limited, if any, effect on nearby development. With regard to the architectural design, the staff recommends a condition that the buildings be designed to meet the architectural standards for non-residential development as set out in Section 4.06.05 and Section 4.06.06.

Recommendation

The staff recommends the Planning Board recommend to Town Council the amendment of the future land use map to designate the subject property as neighborhood commercial and assign neighborhood commercial zoning to the parcel. The staff further recommends the Planning Board recommend the veterinary business as a conditional use provided that no outside kennels are constructed and that this limitation be noted on the final site plan. The staff further recommends that the Planning Board recommend the Town Council grant the waiver to allow the 6,000 square foot building provided the applicant meets or exceeds the design requirements of Section 4.06.05 and 4.06.06 of the Town's land development code. Compliance with the building design requirements are to be confirmed with the final site plan approval.

ORDINANCE NO. 2024-008

AN ORDINANCE OF THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA, PERTAINING TO LAND USE; REZONING A 4.45-ACRE PARCEL OF LAND LOCATED ON THE WEST SIDE OF STATE ROAD 19 AND SOUTH OF REVELS ROAD AND IDENTIFIED WITH LAKE COUNTY PROPERTY APPRAISER PARCEL NUMBER 02-21-25-0002-000-00500 AND ALTERNATE KEY NUMBER 1704171; AMENDING THE TOWN’S ZONING MAP TO ZONE THE PROPERTY FROM “VILLAGE MIXED USE PLANNED USE DEVELOPMENT” TO “NEIGHBORHOOD COMMERCIAL”; PROVIDING FOR CONFLICTING ORDINANCES, SEVERABILITY, CODIFICATION AND AN EFFECTIVE DATE.

BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA:

Section 1. Findings. In adopting this ordinance, the Town Council of the Town of Howey-in-the-Hills, Florida hereby makes the following findings:

(1) By enacting its Ordinance No. 2024-007 on _____, 2024, the Town Council amended the Future Land Use Element of the Town’s Comprehensive Plan to designate the 4.45-acre parcel of land described in **Attachment A** to this ordinance for the future land use of “Neighborhood Commercial” on the Town’s Future Land Use Map.

(2) The Town Council has determined that rezoning the Property from “Village Mixed Use Planned Unit Development” to “Neighborhood Commercial” is consistent with both the Town’s Comprehensive Plan and the Town’s Land Development Code (LDC) and will not adversely affect the public health, safety, and welfare of the Town.

Section 2. Amendment of the Official Zoning Map. The Town Council hereby amends the Town’s Official Zoning Map to zone the subject property Neighborhood Commercial. Use of the Property under its Neighborhood Commercial zoning is subject to the conditions, requirements, restrictions, and other terms of the following:

- (1) Ordinance 2024-007 and this Ordinance 2024-008;
- (2) The Town’s Land Development Code; and
- (3) All other Town ordinances governing the development of property zoned Neighborhood Commercial.

Section 3. Severability. If any part of this ordinance is declared by a court of competent jurisdiction to be void, unconstitutional, or unenforceable, the remaining parts of this ordinance shall remain in full effect. To that end, this ordinance is declared to be severable.

Section 4. Conflicts. In a conflict between this ordinance and other existing ordinances, this ordinance shall control and supersede.

Section 5. Codification. The amendment to the Official Zoning Map described in Section 2 shall be codified and made part of the Town’s LDC and Official Zoning Map.

Section 6. Effective Date. This ordinance shall take effect upon the later of (i) its enactment by the Town Council or (ii) the date on which Ordinance 2024-007, designating the future land use for the subject property, takes effect.

PASSED AND ORDAINED this 23rd day of May, 2022, by the Town Council of the Town of Howey-in-the-Hills, Florida.

**TOWN OF HOWEY-IN-THE-HILLS,
FLORIDA**

By: its Town Council

By: _____
Martha MacFarlane, Mayor

ATTEST:

APPROVED AS TO FORM AND LEGALITY
(for use and reliance of the Town only)

John Brock, Town Clerk

Thomas J. Wilkes, Town Attorney

Planning and Zoning hearing held **April 28, 2022**
First Reading held **May 9, 2022**
Second Reading and Adoption held **May 23, 2022**
Advertised **April 18, 2022**

ATTACHMENT A
LEGAL DESCRIPTION

THE SOUTH 740 FEET OF THE EAST 262 FEET OF THE FOLLOWING DESCRIBED PROPERTY:

NORTH HALF OF GOVERNMENT LOT 3, SECTION 2, TOWNSHIP 21 SOUTH, RANGE 25 EAST, LAKE COUNTY, FLORIDA. LYING WEST OF THE RIGHT OF WAY FOR STATE ROAD 19.

Lake County Property Appraiser Parcel No. 02-21-25-0002-000-00500

ALTKEY No. 1704171

#60415181 v1



TOWN OF HOWEY-IN-THE-HILLS, FLORIDA
PETITION FOR REZONING
CHECKLIST AND REQUIREMENTS

VARIANCE APPLICATION CHECKLIST

- General Land Development Application
- Application Fee and Estimated Deposit
- Description of Requested Zoning Amendment
- List of property owners within 300 feet
- One signed and sealed survey of the property (no more than 2 years old).
- Legal Description
- Notarized Authorization of Owner (if applicant is other than owner or attorney for owner).

PUBLIC NOTIFICATION (Sec. 4.13.03)

The applicant shall provide written notice to property owners within 300 feet regarding his intention to seek a rezoning. Notice shall be sent by certified mail no later than ten (10) days prior to the scheduled meeting and shall include the date, time and place of the public hearing and a description of the proposed rezoning. A notice letter will be provided to the applicant by the Town.

In addition to written notice Town staff shall also post a notice on the subject property ten days prior to the public hearing and publish a notice of the hearing in a newspaper of general circulation at least ten (10) days prior to the public hearing.

REZONING HEARING PROCESS

The Planning and Zoning Board shall review the application for rezoning at its next available meeting following receipt of a completed application. The Planning and Zoning Board shall make a recommendation to the Town Council as to whether to approve, approve with changes or deny the rezoning. Upon receipt of the recommendation from the Planning and Zoning Board, the Town Council shall schedule a public hearing on the rezoning application and shall approve, approve with changes or deny the rezoning.

REZONING REQUEST

The applicant is seeking a rezoning of the property described in the attached legal description as follows:

Proposed Zoning: NC - Neighborhood Commercial

Requested Zoning: NC - Neighborhood Commercial

Zoning on Adjacent Parcels: North: PUD (Mission Rise)

East: ROW / MDR - Medium Density Residential 1

South: Country A (Agriculture Dist)

West: PUD (Mission Rise)

Parcel Size: Total parcel 4.45 acres, veterinary +/- 2.0 acres. Flood Zone Area 59,798 sf

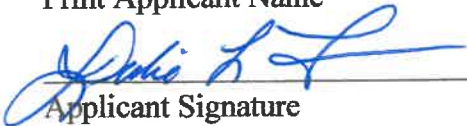
REZONING REQUIREMENTS

The following items must be completed in sufficient detail to allow the Town to determine if the application complies with the criteria for approving a rezoning. Attach any supplemental information that can assist in understanding the rezoning request.

1. Is the rezoning request consistent with the Town's comprehensive plan? Yes.
2. Describe any changes in circumstances of conditions affecting the property and the surrounding area that support a change in the current zoning. Adjacent parcel to the north developed a commercial retail business.
3. Will the proposed rezoning have any negative effects on adjacent properties? No.
4. Will the proposed rezoning have any impacts upon natural resources? No.
5. Will the proposed rezoning have any impacts upon adjacent properties? No.
6. Will the rezoning create any impacts on services including schools, transportation, utilities, stormwater management and solid waste disposal? The impacts would be to to transportation, utilities, stormwater management and solid waste disposal.
7. Are there any mistakes in the assignment of the current zoning classification?
Possibly, it was mentioned during the pre-application meeting that the parcel is too small to meet the minimum requirements for a VMU/PUD project. It was discussed with staff that this may have been done in error.

Julie Farr

Print Applicant Name


Applicant Signature

4/3/24

Date



TMHConsulting@cfl.rr.com
97 N. Saint Andrews Dr.
Ormond Beach, FL 32174
PH: 386.316.8426

MEMORANDUM

TO: Howey-in-the-Hills Planning Board
CC: J. Brock, Town Clerk
FROM: Thomas Harowski, AICP, Planning Consultant
SUBJECT: EAR Review Housing Element
DATE: May 15, 2024

Over the past several months we have been reviewing the various elements of the comprehensive plan to update the data and analysis sections of the plan and review the goals, objectives and policies. This month the housing element has been updated and is being presented for review.

The bulk of the changes are updates to the data and analysis including extensive revisions to the characteristics of the housing stock using data from the 2020 Census and other sources. The tables in the element are being updated with more current data, and the specifics regarding some of the housing developments in process have been revised to reflect the current status. We should expect this set of data to age quickly as housing projects tend to change quickly as developments progress. The key findings from the analysis of the updated information include:

- The Town is entering into a period of rapid housing development that is the most significant since the 1950s.
- The overall housing stock is getting younger on average as more recent construction is added to the unit base. The percentage of housing older than 50 years of age is about 33%.
- The housing stock is dominated by owner occupied units at nearly 80%.
- Housing values are increasing with 60% of the housing units valued at more than \$300,000.
- The quality of the housing stock remains excellent, even for the older housing units.
- Affordability for rental housing is becoming an issue with nearly 60% of renters paying in excess of 30% of income for housing.

In the review comments from the Town Council and planning board members there were several comments about eliminating mobile homes from the allowable housing unit types. The Town is required to provide for mobile homes by state law. As the plan is currently structured, mobile homes, if proposed, would be directed to the Village Mixed Use land use location.

Similarly, the Town is required to address the housing needs for low and moderate income households. Consequently, the housing element includes policies which address both mobile home units and affordable housing needs. The policy sets for both of these topics have been in the plan since the 2010 – 2012 time period and possibly longer. No recommendations are suggested regarding amending these policies. In fact, there are no significant revisions proposed to the policy set in this element.

HOUSING ELEMENT



TOWN OF HOWEY-IN-THE-HILLS

LAKE COUNTY, FLORIDA

ADOPTED ON OCTOBER 11, 2010

AMENDED APRIL 22, 2020

**HOUSING ELEMENT
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CHAPTER 3 HOUSING ELEMENT

A. INTRODUCTION

The purpose of this *Element* is to provide guidance to the Town of Howey-in-the-Hills to develop appropriate plans and policies to demonstrate their commitment to meet identified or projected deficits in the supply of housing. These plans and policies address government activities as well as provide direction and assistance to the efforts of the private sector.

B. INVENTORY

An examination of the Town’s housing stock by type, age, tenure, value, and condition, is essential in determining the type of new housing which should be built within the Town. To a large extent, characteristics of existing structures determine what can be built and marketed in the future. The following comprises a housing inventory, the first step in a supply side analysis, compiled primarily from the ~~2010~~ 2020 US Census and subsequent survey data from the American Community Survey. According to ~~2010 Census data~~ these sources, the Town had ~~630~~ 782 dwelling units in ~~2010~~ 2020 and 896 units in 2022.

1. Housing Characteristics

This section provides an inventory of Howey-in-the-Hills’ dwelling units by their type (single family, multi-family, and mobile home), age, tenure (owner- or renter-occupied), and cost.

a. Housing Unit Structure

The ~~2010~~ 2020 Census found that about ~~88~~ 84 percent (~~544~~ 660 units) of the Town’s housing stock was comprised of single-family units (see Table 1). There were no mobile homes in the Town and to date, the Town does not have any mobile home/RV parks.

b. Age of Housing Units

~~Howey in the Hills entered a residential construction housing boom between 1950 and 1989 and another peak during 1995-1998. Consequently, about 34% of housing in Town is less than 30 years old and 53% is less than 45 years old (see Table 2). The effects of the housing market collapse and the 2008 recession are evident in the lack of new housing construction between 2010 and 2015. Table 2 shows some interesting trends in housing growth over time. For most decades the Town added about 100 to 110 new houses. During the 1950’s the Town added about one and one-half times the normal range with 157 units. The effects of the recession were clearly evident as the Town added on 64 units through the next~~

decade. Since 2020 the statistics show a rapid growth that looks to be equivalent to the 1950’s boom period.

Generally speaking, the economically useful age of residential structures is considered to be approximately 50 years. Once a residence has reached that age, repairs become more costly and the ability to modernize the structure to include amenities considered standard for today’s lifestyles is diminished. Therefore, when a community’s housing stock reaches this age threshold, the need for housing rehabilitation, demolition, and new construction may become more apparent. As indicated in Table 2, about 34 33 percent of the Town’s housing stock is 50 or more years of age.

**TABLE 1: HOUSING UNIT BY STRUCTURE TYPE
HOWEY-IN-THE-HILLS**

<u>Structure Type</u>	<u>2000</u>		<u>2010</u>		<u>2015</u>	
	<u>Number of Units</u>	<u>Percent of Total Units</u>	<u>Number of Units</u>	<u>Percent of Total Units</u>	<u>Number of Units</u>	<u>Percent of Total Units</u>
<u>Single-Family Detached</u>	<u>392</u>	<u>86.92%</u>	<u>510</u>	<u>81.4%</u>	<u>515</u>	<u>80.7%</u>
<u>Single-Family Attached</u>	<u>30</u>	<u>6.65%</u>	<u>34</u>	<u>7.0%</u>	<u>20</u>	<u>3.1%</u>
<u>Two-Family*</u>	<u>9</u>	<u>2.00%</u>	<u>0</u>	<u>0%</u>	<u>22</u>	<u>3.1%</u>
<u>Multi-Family</u>	<u>18</u>	<u>3.99%</u>	<u>86</u>	<u>11.6%</u>	<u>75</u>	<u>11.8%</u>
<u>Mobile Homes</u>	<u>2</u>	<u>0.44%</u>	<u>0</u>	<u>0%</u>	<u>6</u>	<u>1.3%</u>
<u>Other</u>	<u>0</u>	<u>0.00%</u>	<u>0</u>	<u>0%</u>	<u>0</u>	<u>0%</u>
<u>Total</u>	<u>451</u>	<u>100.00%</u>	<u>630</u>	<u>100.00%</u>	<u>638</u>	<u>100%</u>

<u>Structure Type</u>	<u>2010</u>		<u>2020</u>		<u>2022</u>	
	<u>Number of Units</u>	<u>Percent of Total Units</u>	<u>Number of Units</u>	<u>Percent of Total Units</u>	<u>Number of Units</u>	<u>Percent of Total Units</u>
<u>Single-Family Detached</u>	<u>510</u>	<u>81.4%</u>	<u>660</u>	<u>84.4</u>	<u>753</u>	<u>84.0</u>
<u>Single-Family Attached</u>	<u>34</u>	<u>7.0%</u>	<u>16</u>	<u>2.0</u>	<u>35</u>	<u>3.9</u>
<u>Two-Family*</u>	<u>0</u>	<u>0%</u>	<u>8</u>	<u>1.0</u>	<u>6</u>	<u>0.7</u>
<u>Multi-Family</u>	<u>86</u>	<u>11.6%</u>	<u>98</u>	<u>12.5</u>	<u>97</u>	<u>10.8</u>
<u>Mobile Homes</u>	<u>0</u>	<u>0%</u>	<u>0</u>	<u>0</u>	<u>5</u>	<u>0.6</u>
<u>Other</u>	<u>0</u>	<u>0%</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>0</u>
<u>Total</u>	<u>630</u>	<u>100.0%</u>	<u>782</u>	<u>100.0</u>	<u>896</u>	<u>100.0</u>

Note: The ACS which is the source for 2022 data is based on statistical analysis rather than actual counts so there will be some error in the totals and in some case the type of units such as mobile homes.

**TABLE 2: NUMBER OF YEAR-ROUND UNITS BY AGE
HOWEY-IN-THE-HILLS**

<u>Year Constructed</u>	<u>2000</u>		<u>2010</u>		<u>2015</u>	
	<u>Number of Units</u>	<u>Percent of Total</u>	<u>Number of Units</u>	<u>Percent of Total</u>	<u>Number of Units</u>	<u>Percent of Total</u>
<u>2014 or Later</u>					<u>0</u>	<u>0.0</u>
<u>2010-2013</u>					<u>0</u>	<u>0.0</u>
<u>2000-2009</u>			<u>160</u>	<u>25.4</u>	<u>123</u>	<u>19.3</u>
<u>1990-1999</u>	<u>93</u>	<u>20.6</u>	<u>75</u>	<u>11.9</u>	<u>126</u>	<u>19.7</u>
<u>1980-1989</u>	<u>59</u>	<u>13.1</u>	<u>56</u>	<u>8.9</u>	<u>93</u>	<u>14.6</u>
<u>1970-1979</u>	<u>86</u>	<u>19.1</u>	<u>93</u>	<u>14.8</u>	<u>79</u>	<u>12.4</u>
<u>1960-1969</u>	<u>64</u>	<u>14.2</u>	<u>64</u>	<u>10.2</u>	<u>57</u>	<u>8.9</u>
<u>1949-1959</u>	<u>90</u>	<u>20.0</u>	<u>129</u>	<u>20.5</u>	<u>104</u>	<u>16.3</u>
<u>1940-1949</u>	<u>11</u>	<u>2.4</u>	<u>16</u>	<u>2.5</u>	<u>12</u>	<u>1.9</u>
<u>1939 or Earlier</u>	<u>48</u>	<u>10.6</u>	<u>37</u>	<u>5.8</u>	<u>44</u>	<u>6.9</u>

<u>Year Constructed</u>	<u>2010</u>		<u>2020</u>		<u>2022</u>	
	<u>Number of Units</u>	<u>Percent of Total</u>	<u>Number of Units</u>	<u>Percent of Total</u>	<u>Number of Units</u>	<u>Percent of Total</u>
<u>2020 or Later</u>					<u>114</u>	<u>12.7</u>
<u>2010-2019</u>			<u>64</u>	<u>8.2</u>	<u>64</u>	<u>7.1</u>
<u>2000-2009</u>	<u>160</u>	<u>25.4</u>	<u>113</u>	<u>14.5</u>	<u>113</u>	<u>12.6</u>
<u>1990-1999</u>	<u>75</u>	<u>11.9</u>	<u>111</u>	<u>14.2</u>	<u>111</u>	<u>12.4</u>
<u>1980-1989</u>	<u>56</u>	<u>8.9</u>	<u>96</u>	<u>12.3</u>	<u>96</u>	<u>10.7</u>
<u>1970-1979</u>	<u>93</u>	<u>14.8</u>	<u>105</u>	<u>13.4</u>	<u>105</u>	<u>11.7</u>
<u>1960-1969</u>	<u>64</u>	<u>10.2</u>	<u>101</u>	<u>12.9</u>	<u>101</u>	<u>11.3</u>
<u>1949-1959</u>	<u>129</u>	<u>20.5</u>	<u>157</u>	<u>20.1</u>	<u>157</u>	<u>17.5</u>
<u>1940-1949</u>	<u>16</u>	<u>2.5</u>	<u>8</u>	<u>1.0</u>	<u>8</u>	<u>0.9</u>
<u>1939 or Earlier</u>	<u>37</u>	<u>5.8</u>	<u>27</u>	<u>3.4</u>	<u>27</u>	<u>3.0</u>

c. Tenure and Vacancy

~~Based on 2010 Census data, about 77% of the Town's dwelling units were occupied and the remaining 146 units were vacant. The occupancy rate was lower than the dwelling unit occupancy rate for the Town in 2000 reflecting the local~~

~~impacts of the recession. About 22% of the units in the Town were used for seasonal, recreational, or occasional use.~~

~~Table 3 shows the Town’s housing stock continues to be dominated by owner-occupied homes. The trend line shows a slight decrease in the percentage of renter households. Vacant housing unit totals will include seasonally occupied units. Compared to many Florida communities the seasonal usage is relatively low at less than 10%.~~

**TABLE 3: HOUSING CHARACTERISTICS BY TENURE
HOWEY-IN-THE-HILLS**

Tenure	2000		2010		2015	
	Units	Percent	Units	Percent	Units	Percent
Total Housing Units	451	100.0	630	100.0	638	100.0
Owner-Occupied	336	74.5	407	64.6	442	69.3
Renter Occupied	54	12.0	77	12.2	85	13.3
Vacant Housing Units	61	13.5	146	23.2	111	17.4
Vacant Housing Units (For Seasonal or Recreational Use)	24	39.3	32	21.9		

Tenure	2010		2020		2022	
	Units	Percent	Units	Percent	Units	Percent
Total Housing Units	630	100.0	782	100.0	896	100.0
Owner-Occupied	407	64.6	591	75.6	710	79.2
Renter Occupied	77	12.2	124	15.8	107	11.9
Vacant Housing Units	146	23.2	67	8.6	79	8.8
Vacant Housing Units (For Seasonal or Recreational Use)	32	5.1	NA	NA	NA	NA

d. Housing Values and Rent

Value and Cost of Owner-Occupied Housing

~~Census 2010 data show that about 17.5% of the houses in Howey in the Hills were valued less than \$150,000 (see Table 4). This change in lower values housing ranges shows the impact of the housing boom of the early 2000s. Housing survey data for 2015 shows this trend had reversed with the percentage of housing valued under \$150,000 increased to about 40%.~~

Table 4 shows a gradual increase in the value of owner-occupied housing units. Nearly 60% of the housing units have values in excess of \$300,000 compared to about 28% in 2010. The percentage of housing between \$200,000 and \$300,000 has remained relatively constant since 2010 at about 30%. The median housing value is reported as \$243,500 for 2020.

**TABLE 4: VALUE OF SPECIFIED OWNER-OCCUPIED HOUSING UNITS
HOWEY-IN-THE-HILLS**

Total Value	2000		2010		2015	
	Number Of Units	Percent of Total	Number of Units	Percent of Total	Number of Units	Percent of Total
<\$50,000	8	2.56%	7	1.7	25	5.7
\$50,000-\$99,999	119	38.14%	34	8.4	42	9.5
\$100,000-\$149,999	94	30.13%	30	7.4	111	25.1
\$150,000-\$199,999	60	19.23%	90	22.1	99	22.4
\$200,000-\$299,999	25	8.01%	126	31.0	103	23.3
\$300,000-\$499,000	4	1.28%	100	24.6	59	13.3
\$500,000-\$999,999	2	0.64%	20	4.9	3	0.7
\$1,000,000 or more	0	0.00%	0	0.0	0	0.0
Total	312	100.00%	407	100.0	442	100.0

Total Value	2010		2020		2022	
	Number Of Units	Percent of Total	Number of Units	Percent of Total	Number of Units	Percent of Total
<\$50,000	7	1.7	4	0.7	17	2.4
\$50,000-\$99,999	34	8.4	22	3.7	5	0.7
\$100,000-\$149,999	30	7.4	97	16.4	36	5.1
\$150,000-\$199,999	90	22.1	116	19.6	25	3.5
\$200,000-\$299,999	126	31.0	166	28.1	209	29.4
\$300,000-\$499,000	100	24.6	114	19.3	292	41.1
\$500,000-\$999,999	20	4.9	72	12.2	126	17.7
\$1,000,000 or more	0	0.0	0	0.0	0	0.0
Total	407	100.0	591	100.0	710	100.0

e. Cost of Rental Housing

Rental housing is minor part of the current housing profile in the Town. The ~~2016 American FactFinder data (Table S2503)~~ 2020 Census identified only ~~67~~ 124 occupied rental units, and the number of rental housing units where the occupants

where paying in excess of 30% of income for housing was ~~only a handful significant at 62%~~. Median rent was reported as \$1,347. As the Village Mixed Use projects develop over time there may be more rental housing introduced into the community, but ~~currently the cost of rental housing is a minor issue for the rental housing already in the Town, affordability has increasingly become an issue as it has across Florida.~~

f. Subsidized Housing

According to the Florida Housing Data Clearinghouse there are no renter-occupied housing developments in Town listed in the Assisted Housing Inventory database with any subsidized units. ~~Overall, there are 66 subsidized housing developments in the County with 5,324 subsidized units.~~

2. Group Homes

The Florida Department of Children and Family Services (DCF) licenses group homes for children 19 years or less. Group homes that serve persons with disabilities are regulated by the Agency for Persons with Disabilities (APD). The Town currently has no licensed group homes.

The Town has adopted and enforces Land Development Regulations which specifically address foster homes and nursing homes. Foster homes and nursing homes are allowed in the residential zoning districts.

3. Housing Conditions

Effective public policy requires that the condition of housing be measured on an objective scale. To measure adequacy, the U.S. Census records the presence or absence of items such as water supply, kitchen facilities, central heating and plumbing and whether housing units are overcrowded¹. Plumbing facilities have usually been singled out as the equipment most relevant to an overall evaluation of housing conditions. The lack of central heating equipment is excluded since it is not considered a reliable indicator of local housing adequacy due to the Town's and County's warm climate. According to the ~~2010~~ 2020 Census data, no homes in the Town's housing stock were reported as substandard² or in an unacceptable condition.

¹ Meaning that more than one person per room was housed in the occupied housing unit.

² Housing units are considered to be substandard if they are overcrowded, do not have heat, or lack complete kitchens or plumbing.

A Code Enforcement ~~Ordinance and Board have~~ process has been established to assist in correction of problems and the maintenance of the housing stock. The Town has adopted and enforces the state-mandated building codes.

a. Housing Improvement Strategies

The key to implementing a housing improvement strategy is selecting the appropriate treatment for an area and applying it at the proper time. There are essentially three approaches to halting or preventing structural quality decline. They are preservation, rehabilitation, and redevelopment.

Preservation. The preservation technique is appropriate for structures found to be in sound condition. The concept of preservation involves continued maintenance and protection of the existing housing stock through code enforcement, as well as the provision of necessary public facilities and services.

Preservation is intended to be a long-term approach to combat structural decay. The process jointly involves property owners, tenants, local officials, and private lending institutions. Further, preservation techniques involve conservation, maintenance, continued protection through ordinance enforcement, and infrastructure improvement in areas where most structures are found to be in sound condition, with only a small percentage rated as deteriorating or substandard.

Rehabilitation. Rehabilitation is appropriate for areas where between 10 and 49 percent of the residential structures are classified as deteriorating or in substandard condition. The Town currently has no areas with this concentration of substandard housing structures, so the use of a concentrated rehabilitation technique is not required at this time.

Rehabilitation strategies include the repair of existing structural defects, the correction of environmental deficiencies, and the upgrading of public services and facilities to eliminate blighting conditions. Deteriorating units can be improved to meet the standards of established codes. Construction or reconstruction in the vicinity of these dwelling units may also be necessary to increase the potential for private investment. Rehabilitation activities would require the Town to provide information to property owners describing procedures and methods of undertaking rehabilitation projects. Participation in housing assistance programs may be a component of this strategy. Homeowners may be eligible for financial assistance from the County administered programs.

Redevelopment. A rehabilitation program may not be economically feasible if 50 percent or more of the dwelling units in an area are rated as deteriorated or

substandard. In such case, a redevelopment strategy is appropriate. Redevelopment primarily involves the clearance of existing structures to allow for the construction of new structures in the area in accordance with an approved plan. This treatment is intended to have a long-term effect, ensuring satisfactory conditions for 50 years or more.

4. Historically Significant Housing

The Florida Division of Historical Resources maintains and regularly updates the Florida Master Site File. The Florida Master Site File is a paper file archive and computer database of recorded historical cultural resources in Florida. Categories of resources recorded at the Site File include archaeological sites, historical structures, historical cemeteries, historical bridges and historic districts. The Site File also holds copies of survey reports and other manuscripts relevant to Florida history and prehistory. There are six historic structures or sites added to the State’s *Master Site File*. The Howey House was listed in the National Register of Historic Places.

TABLE 5: HISTORIC SITES AND STRUCTURES

Site Name	Address/Site Type	Year Built	Architectural Style/ Archaeological culture	Date Certified
TOM Line	Pre-historic Mound		St. Johns, 700 B.C. – A.D. 1500	
Flagship 1	Land-terrestrial		Prehistoric	
Flagship 2	Land-terrestrial		20 th Century American, 1900-present	
Howey Water Tower	316 Grant Street	1926	Unspecified	
Howey Academy		1923	Unspecified	
Howey House <u>Mansion</u>		1925	Mediterranean Revival ca. 1880-1940	1/27/1983

Source: Florida Department of Historical Resources, Florida Master Site File – March 2010.

5. Mobile Home Parks

The Florida Department of Business and Professional Regulation (DBPR) maintains an inventory of the licensed mobile home projects in Florida. DBPR reported that there are no mobile home parks in Howey-in-the-Hills. ~~Mobile homes are permitted in all residential districts within Town if the units comply with the guidelines established in the Land Development Regulations.~~

6. Housing Construction

~~Between 2010 and 2015, housing development in the Town was nearly at a standstill. Available statistical data shows the housing stock increased by eight units over the five-year period. With the restart of the Venezia Phase 1 subdivision, housing growth began a recovery in the late 2015 and 2016 time period. Current and recently completed construction includes more than 70 units with another 24 units in some stage of permitting. This subdivision will ultimately include 170 single-family units plus some potential townhouse units. As noted above since 2020, the Town has entered one of the most significant housing construction periods in its history. To a large degree this growth is reflective of area growth trends as development pressure has extended northward from the four corners area and Groveland along the SR 19 corridor. New housing construction has been located in the larger projects approved during the 2004 to 2008 time frame. These projects were dormant for many years, but have now moved forward with development in The Reserve and Lake Hills moving through the approval process in 2022, 2023 and 2024.~~

C. PROJECTED HOUSING DEMANDS AND NEEDS

Howey-in-the-Hills has relatively few issues with the quality of housing, and it has relatively little experience in dealing with low or moderate-income housing, mobile homes, and even market rate multi-family housing. As noted above, demand for these types of housing has been relatively low in the community. The Town desires a housing stock that is largely owner occupied and dominated by single-family housing. The policies in the plan and the active market forces are producing this result, so the plan is effective in this regard. The Housing Element does include policies dealing with affordable housing issues, mobile homes, group housing, historic structures and other related issues. The Town will have guidance in addressing these housing issues should they arise.

~~One of the key items in the 2010 housing analysis is the identification of sufficient land area to support future housing demand. Actual demand has been lower than expected due to the lower than projected population growth. The conclusion in 2010 was that the Town did have sufficient available land area to support the projected housing need, and nothing has occurred in the succeeding years to alter this conclusion. The local market is in the process of absorbing the 172 lot Venezia South subdivision while the Whispering Hills (107 lots) has progressed through the plat stage. With the two large residential projects (The Reserve and Lake Hills) actively moving to market, the Town should have an adequate supply of housing to meet anticipated demand. Pending projects including Watermark and Whispering Heights have also received development approval and are ready for development if additional market rate housing is needed. The town is actively developing housing policy for the other potential development areas that would support larger lot, lower density housing.~~

Much of the potential for housing diversity lies in the Village Mixed Use projects. Venezia ~~is~~ was the first of these to come to market with the current single-family subdivision

supported by commercial and townhouse development areas ~~that are yet to be developed~~. There are ~~three~~ two other VMU projects that received conceptual approval prior to the recession ~~and have not resumed development~~ these are now moving through active development phases. ~~One of these, the Lake Hills development at SR 19 and CR 48 has received approval for a revised layout. The revised plan still contains single family and townhouse residential units with some commercial development area and recreation facilities. Development timing on this project and the other VMU development is uncertain. However, these projects offer the opportunity to introduce a more diverse housing stock when the market demand appears.~~ The comprehensive plan intended these projects to accommodate the mixed use and more diverse housing types so that the established single-family neighborhoods would maintain their traditional character. ~~The plan to date is working in this regard and no major change in direction is indicated. The Town is actively working to modify the housing policy for other potential development areas to reinforce the larger lot, single-family neighborhoods that form the core of the older housing areas in the Town.~~ The key housing trends identified by the analysis include:

- The Town is entering into a period of rapid housing development that is the most significant since the 1950s.
- The overall housing stock is getting younger on average as more recent construction is added to the unit base. The percentage of housing older than 50 years of age is about 33%.
- The housing stock is dominated by owner occupied units at nearly 80%.
- Housing values are increasing with 60% of the housing units valued at more than \$300,000.
- The quality of the housing stock remains excellent.
- Affordability for rental housing is becoming an issue with nearly 60% of renters paying in excess of 30% of income for housing.

~~Given the small growth in total housing units, major changes in the housing profile are not expected, and the comparison data generally supports this position. Of note:~~

- ~~Single family housing still comprises over 80% of the total housing units. Multi family housing, primarily townhouse development, expected with the Village Mixed Use projects did not appear as these projects, except for Venezia, were lost during the recession. Several of these projects are being recast, but no active development is occurring.~~
- ~~The rework of Table 4 shows housing values have drifted downward. The Town's housing stock, in terms of value, has clearly not fully recovered from the recession impacts. Despite this trend median housing value remains relatively high at \$171,900.~~

- ~~• The number of vacant housing units has decreased as units vacated during the recession have been reabsorbed by new owners and renters.~~
- ~~• Of units identified as vacant, a significant portion are identified as seasonally occupied. This factor tends to overstate the vacancy level somewhat.~~
- There has been some aging of the population. This trend is noticeable in many of the outer counties in the Orlando Metropolitan Area.

~~Other statistics indicate the Town has eliminated housing units that are declared overcrowded (more than one person per room) and housing units that lack a kitchen or lack some plumbing. While never a significant problem in the Town, this data suggests improvements in the overall condition of the housing stock however minor in scope. For 2015 the number of persons reported as living in poverty was 1.9%. When combined with the Town's median household income of \$63,021, affordable housing does not comprise a significant demand within the community.~~

1. Land Requirement

The Town's *Existing Land Use Map* shows that there are ~~208~~ 321 acres of residential land use supporting ~~1,234~~ 1,643 residents in ~~2015~~ 2020. At this ratio, the Town will need ~~212~~ 564 additional acres for residential development to support the ~~2035~~ 2045 population. The *Future Land Use Map* shows a total of ~~525~~ 780 acres of residential lands in Village Mixed Use areas. As such, the Town has sufficient land to accommodate the projected housing needs for the planning period. Additionally, there is a significant amount of vacant land adjacent to the Town boundary in the event of future annexations.

2. Private sector contribution

All new construction or redevelopment is expected to be provided by the private sector as it has in the past. Several small builders currently build in the area. The Town shall continue to work with developers interested in constructing residential units on the Town's vacant residential lots.

3. Private sector housing delivery process

Like other small, affluent areas, the delivery process is simple. A buyer purchases a vacant lot from the owner or through a real estate broker and arranges his/her financing through local lenders and contracts with a local contractor for construction or he/she may buy from the local contractor who has purchased a lot and built a house. The builder may or may not have financing arranged. This method has been adequate since the Town was incorporated.

4. Provision of housing for very low, low, and moderate income households

~~Given the price of land in the Town, the provision of land or housing for persons in the very low, low, and moderate income groups is possible. As residential demand increases, the cost for vacant residential land increases putting added pressure on the ability to provide housing for low and moderate income groups.~~ The minimum lot size for single-family residential in Town is 9,000 square feet. The Town's approved Village Mixed use developments include options for multi-family development and allow some lot sizes smaller than 9,000 square feet that are the best opportunities for lower cost housing. ~~As such, the Town's existing Land Development Regulations do not establish a great hindrance for a low price family home.~~

The County's State Housing Initiatives Partnership (SHIP) program is designed to assist low and moderate income households with home purchases. The funds can be used for down payments, closing costs and mortgage buydowns for new homes, or for existing homes that have been or will be repaired within twelve months of transfer of title. Extremely low, very low and low income households purchasing newly constructed homes will also be eligible for partial impact fee waivers. The Town encourages low income residents seeking assistance with housing to participate in the County's SHIP program. The Town shall avoid the concentration of affordable housing units in specific areas of the Town.

5. Rural and Farm Worker Households

The Town has adopted 'Rural Lifestyle' as a land use category in the *Future Land Use Element* and *Future Land Use Map* to meet the housing needs of rural and farm worker households in Town. These lands are primarily for single-family detached homes with agricultural uses. The Town requires the following for lands with a Rural Lifestyle land use:

- Must have a minimum of 2 acres for this land use;
- Maximum density of 1 dwelling unit per 2 acres;
- All buildings shall not exceed 0.15 floor area ratio;
- The maximum Impervious surface coverage is 20%; and
- 50% open space is required.

The Town will continue to ensure that there is a sufficient amount of land needed to support the rural and farm worker household needs during the planning period.

6. Infrastructure Requirements

Housing is affected by the availability and quality of public services and facilities such as water, sewer, drainage, and roadways. The level of service standards for the public services and facilities are presented in the *Capital Improvements Element*.

The Town's existing potable water demand meets the adopted LOS standard for water capacity. The Town has sufficient potable water capacity to meet the population demands during the planning period. The Town is in the process of a comprehensive analysis of the water system to address the operational characteristics of the network and recommend improvements. ~~This report is expected to be complete in 2018. The replacement of the north water treatment plant now under construction will address most of the system's capacity and operating concerns.~~

The Town has agreements in place to provide limited wastewater treatment for ~~all~~ some new subdivisions and residential development in the Village Mixed Use projects. ~~The Venezia South project is on sewer, and the Town is in the process of adding sewer to the core commercial area on Central Avenue. This system is being designed to be expandable to nearby residential areas as the resources to fund the expansions become available.~~ For all current housing units, this service is currently managed through septic tanks which are permitted through the Lake County Health Department. The Town is in the process of developing a plan for the provision of wastewater services for all new development.

The Town ensures the provision of adequate stormwater drainage systems through the development review process. The Town's adopted level of service standards are used in reviewing all new development. Permits are also required from all applicable State, Federal, and local agencies regarding stormwater. No development is approved or can begin construction until all such permits are received by the Town.

The Town shall continue to ensure that the provision of housing is supported with the appropriate infrastructure for the current and anticipated residents of Howey-in-the-Hills.

D. GOALS, OBJECTIVES AND IMPLEMENTING POLICIES

GOAL 1: The provision of safe, adequate, sanitary, and energy-efficient housing to meet the needs of the present and future residents of the Town while encouraging retention of historically significant structures.

OBJECTIVE 1.1: *Housing Implementation Program.* The Town shall update its housing implementation program to require safe, adequate, sanitary and affordable housing for the existing population and by 2025 for the anticipated population growth to include those persons needing special housing.

POLICY 1.1.1: *Housing Discrimination.* The Town shall continue to promote standards to eliminate any housing discrimination and encourage housing opportunities for all its citizens, and encourage involvement of the Town, its citizens and both private and non-profit sector in the housing production effort.

POLICY 1.1.2: *Environmentally Sensitive Lands Compatibility.* The Town shall ensure that residential land use policies are compatible with environmentally sensitive areas and continue to encourage residential development into areas which do not demonstrate significant environmental constraints.

POLICY 1.1.3: *Innovative Standards.* The Town shall continue to enforce regulations established in the Land Development Code to create innovative permitting, building, zoning and parking codes and standards that support the residents' visions of the Town's image.

POLICY 1.1.4: *Eliminating Excessive Requirements.* The Town shall provide clear and concise ordinances, codes, regulations and permitting processes for the purpose of eliminating excessive requirements in order to increase private sector participation in meeting the housing needs.

POLICY 1.1.5: *Sufficient Residential Land.* The Town shall designate sufficient sites on the *Future Land Use Map* to meet the ~~2035~~ 2045 projected housing needs of the Town.

POLICY 1.1.6: *Limitation of Multiple Family Housing.* Multiple family houses may only locate within areas established in the Town's Land Development Regulations.

- POLICY 1.1.7:** *Job Training/Development and Economic Development.* The Town shall support job training, job creation and economic development as a part of the overall strategy addressing the affordable housing needs of the Town, while recognizing that these efforts will be limited due to the limited amount of non-residential development in Howey-in-the-Hills.
- POLICY 1.1.8:** *Annexation.* The Town shall continue to investigate the benefits of annexation to enhance the Town’s housing stock.
- OBJECTIVE 1.2:** *Housing Opportunities for Rural and Farm Worker Households.*
Provide housing opportunities for rural and farm worker households within agricultural areas.
- POLICY 1.2.1:** *Available Lands for Farm Worker Households.* The Town shall ensure that adequate ‘Rural Residential’ lands needed to support the rural and farm worker households demands during the planning period are designated on the *Future Land Use Map*. The Town shall also continue to provide a diversity of housing types to accommodate all income groups, including those employed by agricultural businesses.
- OBJECTIVE 1.3:** *Adequate Sites for Very-low, Low and Moderate Income Households.* The Town shall assure adequate sites and housing opportunities are present for very low, low and moderate income households.
- POLICY 1.3.1:** *Promote Diversity in Housing Types.* The Town shall promote a diversity of housing types by designating an adequate number of sites for single family and multiple family housing needed to support the short-range and long-range population demands of the Town on the *Future Land Use Map*.
- POLICY 1.3.2:** *County-wide Formation of an Affordable Housing Program.* The Town shall support the formation of a county-wide affordable housing program which seeks to develop public/private partnerships to improve the efficiency of the housing delivery system to meeting demands for affordable housing within unincorporated and municipal jurisdictions.
- POLICY 1.3.3:** *Sites for Federal and State Housing Programs.* The Town shall help Lake County to identify sites for housing supported by the Farmer’s Mortgage Housing Administration or by other Federal and State housing programs.

POLICY 1.3.4: *Principles to Ensure the Availability of Adequate Sites for Very-low, Low and Moderate Income Housing.* To ensure adequate sites are available for very-low, low and moderate income housing, the Town shall enforce the standards established in the Land Development Regulations regarding the minimum floor area for single-family medium density land use, multi-family residential land use and multi-family units established in the Village Mixed Use and Town Center Mixed Use land use designations.

POLICY 1.3.5: *Concentration of Affordable Housing.* The Town shall avoid the concentration of affordable housing units in specific areas of the Town.

POLICY 1.3.6: *Creating and Preserving Affordable Housing.* The Town shall coordinate with Lake County in efforts to minimize the need for additional local affordable housing services by creating and preserving affordable housing units in Town and encouraging developers to incorporate affordable/workforce housing in new developments.

OBJECTIVE 1.4: *Mobile Homes and Low and Moderate Income Housing.* The Town shall require that development regulations do not prevent the provision of very low, low and moderate income housing or mobile homes and assure that adequate sites are available for mobile homes.

POLICY 1.4.1: *Development Guidelines.* The Town shall continue to ensure that guidelines established in the Land Development Regulations are not exclusionary, with respect to permitting very low, low and moderate income housing and mobile homes. The regulations shall also provide development guidelines for mobile homes and address the required public services and facilities needed to support mobile home developments.

POLICY 1.4.2: *Accessory Apartments.* The Town shall continue to enforce the guidelines and standards established in the Town's Land Development Regulations to enable single family homeowners to provide accessory apartments as a means of extending the pool of affordable housing for the elderly.

POLICY 1.4.3: *Cooperation with Lake County.* The Town shall cooperate with the Lake County Housing Authority and other appropriate agencies to determine possible sites and programs for housing for very low, low, and moderate income persons.

POLICY 1.4.4: *Projected Affordable Housing Needs.* The Town shall designate sufficient sites on the *Future Land Use Map* to meet the projected affordable housing needs of the Town.

OBJECTIVE 1.5: *Group Homes and Foster Care Facilities.* The Town shall require that the needs of those residents requiring group home or foster care are met.

POLICY 1.5.1: *Licensed Foster Care, Community Residential or Group Home Facilities.* All group homes, community residential or foster care facilities within Howey-in-the-Hills shall be licensed by the Florida Department of Health and Rehabilitative Services. The development review process shall require applicants of group home and community residential home developments to provide evidence of appropriate HRS licenses prior to the issuance of a development order or permit.

POLICY 1.5.2: *Location of Group Homes, Community Residential Facilities, and Foster Care Facilities.* The Town shall continue to permit the location of foster care, community residential homes, and group homes in residential areas as well as any additional land use districts permitted in the Town's Land Development Regulations. These facilities shall serve as alternatives to institutionalization.

OBJECTIVE 1.6: *Archeological Sites and Historical Buildings.* The Town shall identify archeological sites and buildings of historical significance and develop means of preserving and/or maintaining such items.

POLICY 1.6.1: *Identification of Historically Significant Housing.* The Town shall promote the identification of historically significant housing worthy of preservation by offering opportunities to the Lake County Historical Society, other historical and architectural societies, and Town citizens to inform Town officials of housing units and other structures containing significant historical or architectural value.

POLICY 1.6.2: *Distinguishing Historic Buildings.* The Town shall distinguish buildings as historic if the following criteria are met:

- a. The age of the subject site exceeds fifty years.
- b. Whether the house represents the last remaining example of its kind in the neighborhood or Town.

- c. Whether documented proof indicates that the house played a significant role in the history of Howey-in-the-Hills, Lake County, or the State of Florida.

POLICY 1.6.3: *Technical Assistance.* The Town shall provide technical assistance to property owners of historically significant housing by supporting applications pursuing historical designations on the Florida Department of State Master File and the National Register of Historic Places. The Town shall also promote the rehabilitation of historically significant structures through assistance with grantsmanship functions and coordination with State technical services available for such activities.

POLICY 1.6.4: *Rehabilitation or Relocation of Historic Structures.* Criteria pertaining to the rehabilitation or relocation of a designated historic structure shall follow the U.S. Secretary of the Interiors “Standard for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.” Additional criteria for approving the relocation, demolition, or rehabilitation of a historic structure shall follow provisions consistent with Florida State Statutes.

POLICY 1.6.5: *Lake County Historical Society.* The Town shall continue to assist the Lake County Historical Society in its efforts to provide information, education and technical assistance relating to archeological sites and historic preservation programs and to assist in preparation of any needed regulations.

POLICY 1.6.6: *Useful Life of the Existing Housing Stock.* The Town shall encourage the extension of useful life of the existing housing stock, as well as improve and stabilize neighborhood quality.

POLICY 1.6.7: *Florida Master Site File.* The Town shall use the *Florida Master Site File* as a resource to identify archeological resources and historically significant structures.

OBJECTIVE 1.7: *Neighborhood Stabilization.* Establish principles and guidelines to eliminate substandard housing, regulate demolition, and improve quality of existing housing, and support neighborhood character.

POLICY 1.7.1: *Demolition of Housing.* To protect the useful life of existing housing, and to preserve the availability of affordable housing, the Town shall regulate the demolition of housing through its permitting program to review the merits of all proposed demolitions. The Town shall evaluate demolition applications

predicated on its contribution to the improvement of public health, safety, and welfare, and to the preservation and stabilization of the surrounding neighborhood. No housing unit shall be demolished without issuance of a demolition permit.

POLICY 1.7.2: *Promote Maintenance of Housing.* The Town shall continue to enforce building and housing codes; and enforce construction, electrical, septic and plumbing requirements to maintain the quality of existing housing stock and to protect public health and safety.

POLICY 1.7.3: *Provide Supportive Services and Facilities.* The Town shall assure that necessary potable water, sanitary sewer, solid waste collection, and drainage facilities are available for residential areas through the annual update of the Town's Concurrency Management System. The Town shall also coordinate with Lake County, the State of Florida, and the private sector to plan for facilities and services that cannot be provided within Howey-in-the-Hills due to the regional nature or economy-of-scales associated with the provision of such facilities and services.

POLICY 1.7.4: *Elimination of Substandard Housing Conditions.* The Town shall not allow housing to deteriorate to a state qualifying conditions as substandard by enforcing building and housing codes, as well as other building requirements discussed in Policy 1.7.2. The Town shall continue to inspect housing units for compliance with building and zoning requirements and rules stipulated within the Land Development Regulations upon receipt of a written or verbal complaint filed with the Town Clerk.

POLICY 1.7.5: *Structural and Aesthetic Improvement.* Land development regulations controlling the aesthetic qualities of residential structures shall be uniformly applied and enforced without any distinction as to whether a building is a conventionally constructed or manufactured building and shall be consistent with Florida Statutes.

POLICY 1.7.6: *Federal and State Funding.* The Town shall continue to seek federal and state funding for housing subsidy programs and the rehabilitation and/or demolition of identified substandard housing.

OBJECTIVE 1.8: *Displaced Persons.* The Town shall require that persons displaced by actions of governmental agencies are provided fair and uniform treatment consistent with Florida Statutes.

- POLICY 1.8.1:** *Relocation of Housing Due to Removal or Demolition.* No projects scheduled within the *Five-Year Capital Improvements Program* and *Schedule* will require land occupied by existing housing stock. However, if an unanticipated need arises where housing must be destroyed to provide right-of-way or land for a public facility or service necessary to protect or enhance public health, safety, and welfare, the Town shall require the entity, whether public or private, removing such structures to assist in the relocation of displaced households to homes within the incorporated or unincorporated areas of Lake County.
- POLICY 1.8.2:** *Housing Relocation Funds.* The Town shall pursue funds from the Federal Housing Relocation Program, administered by the Department of Housing and Urban Development, to financially assist the relocation of displaced households. The Town shall also coordinate with Lake County and the private sector to assure the availability of comparable or improved housing for those requiring relocations.
- POLICY 1.8.3:** *Private Sector Initiated Housing.* The Town shall require developers initiating public housing for very low, low, and moderate income household which are financed (in part or completely) with Federal or State grants or loan assistance to assume full fiscal responsibility for obtaining temporary or permanent housing for households displaced by such construction activities.
- POLICY 1.8.4:** *Compliance with State Statutes.* The Town shall ensure that requirements of State Statutes are met when property is taken, whether for relocation, or for other reasons.
- POLICY 1.8.5:** *Relocation Housing Verification.* The availability of relocation housing shall be researched and verified by Town Staff prior to commencement of any governmental residential revitalization program enacted for the Town.
- OBJECTIVE 3-1-9:** *Housing Implementation Programs and Strategies.* To establish mechanisms to improve the implementation of housing programs.
- POLICY 1.9.1:** *Development Review Process.* The Town’s development review process shall be efficient and equitable with a reasonable review schedule and timeframe assuring that development occurs in compliance with concurrency requirements, building and

construction codes, subdivision regulations, infrastructure performance requirements, and other rules and principles. The Land Development Regulations shall clearly explain all procedures and stages involved in the development review process, administration and enforcement activities and responsibilities of the Town, responsibilities of an applicant of development, opportunities for public participation, all responsibilities and duties of citizen boards, and an appeal process available to an applicant in cases involving a dispute with the Planning and Zoning Committee.

The Development Review Process shall be compatible with State statutes pertaining to the review and issuance of development orders, public participation procedures, and advertisement of public meetings and workshops.

POLICY 1.9. 2: *Administer Housing Codes and Development Regulations.* The Town shall annually evaluate (by the month of March) the effectiveness of its housing code enforcement program and the adequacy of all Town construction codes. Where such evaluation identifies an inadequate codes or enforcement procedures, the Town shall improve the regulatory and permitting processes to promote public health, safety, and welfare, and to maintain the desired character of neighborhoods and a small Town image.

POLICY 1.9. 3: *Intergovernmental Coordination.* The Town shall coordinate housing issues, concerns, and problems with other relevant State, Federal, and local agencies pursuant to policies stipulated within the *Intergovernmental Coordination Element*.

OBJECTIVE 1.10: *Special Population Groups.* The Town shall continue to cooperate with other governmental agencies and any private organizations to ensure that the needs of special population groups are met.

POLICY 1.10.1: *Community Development Block Grants.* The Town shall cooperate with Lake County by participation in Community Development Block grants from HUD.

POLICY 1.10.2: *Local, State and Federal Housing Programs.* The Town shall encourage Lake County to utilize local, State and Federal housing programs to upgrade existing substandard units and to provide rental and mortgage assistance to very low, low, and moderate income and special needs groups.

OBJECTIVE 1.11: *Green House Gas Emissions.* The Town shall establish mechanisms to reduce greenhouse gas emissions and encourage the use of renewable resources in the design and construction of new housing.

POLICY 1.11.1: *Green Development.* The Town shall promote the highest feasible level of “green” development in both private and municipally-supported housing. Green development specifically relates to the environmental implications of development. Green building integrates the built environment with natural systems, using site orientation, local sources, sustainable material selection and window placement to reduce energy demand and greenhouse gas emissions.

POLICY 1.11.2: *Energy Efficiency.* The Town shall require energy-efficient and water saving measures to be implemented in all new construction and redevelopment projects.

POLICY 1.11. 3: *Energy Conservation Techniques.* The Town shall promote energy conservation techniques such as Federal Energy Star Standards, as consistent with the requirements of the Florida Building Code.

POLICY 1.11. 4: *Building Orientation.* The Town shall encourage building orientation that maximizes energy efficiency and fosters the use of alternative energy sources where appropriate, such as solar or small wind energy systems, to reduce the demand for electricity and reduce greenhouse gas emissions.

POLICY 1.11. 5: *Orientation of Trees and Shrubs.* Encourage appropriate orientation of trees and shrubs on a development site to reduce cooling loads by taking advantage of evapotranspiration and shade.

POLICY 1.11. 6: *Florida Friendly Landscaping.* Maximize natural areas and assets and incorporate Florida Friendly landscaping into development projects to reduce energy and water consumption.