



Planning & Zoning Board Meeting

September 22, 2022 at 6:00 PM

Howey-in the-Hills Town Hall

101 N. Palm Ave.,

Howey-in-the-Hills, FL 34737

Join Zoom Meeting: <https://us06web.zoom.us/j/89732653595?pwd=RVpaSXY5S0Z0TE9jYitTY3pHaFVZdz09>
Meeting ID: 897 3265 3595 | **Passcode:** 324635

CALL TO ORDER

ROLL CALL

CONSENT AGENDA

Routine items are placed on the Consent Agenda to expedite the meeting. If Town Council/Staff wish to discuss any item, the procedure is as follows: (1) Pull the item(s) from the Consent Agenda; (2) Vote on the remaining item(s); and (3) Discuss each pulled item and vote.

- 1.** Consideration and Approval of the August 25, 2022, Planning and Zoning Board Meeting minutes.

PUBLIC HEARING

- 2.** Consideration and Recommendation: **469 Avila Place Pool Variance**
- 3.** Consideration and Recommendation: **Ordinance 2022-019 - Reserve/Hillside Groves Development - PUD Amendment Submission**

OLD BUSINESS

NEW BUSINESS

- 4.** Consideration and Recommendation: **Howey Self Storage Final Site Plan Submission**
- 5.** Consideration and Recommendation: **Applicants for Planning & Zoning Board**

PUBLIC COMMENTS

Any person wishing to address the Planning and Zoning Board and who is not on the agenda is asked to speak their name and address. Three (3) minutes is allocated per speaker.

ADJOURNMENT

To Comply with Title II of the Americans with Disabilities Act (ADA):

Qualified individuals may get assistance through the Florida Relay Service by dialing 7-1-1. Florida Relay is a

service provided to residents in the State of Florida who are Deaf, Hard of Hearing, Deaf/Blind, or Speech Disabled that connects them to standard (voice) telephone users. They utilize a wide array of technologies, such as Text Telephone (TTYs) and ASCII, Voice Carry-Over (VCO), Speech to Speech (STS), Relay Conference Captioning (RCC), CapTel, Voice, Hearing Carry-Over (HCO), Video Assisted Speech to Speech (VA-STTS) and Enhanced Speech to Speech.

NOTICE: ONE OR MORE COUNCILORS MAY BE PRESENT TO HEAR OR PARTICIPATE IN DISCUSSION REGARDING MATTERS WHICH MAY COME BEFORE TOWN COUNCIL FOR ACTION.

Howey Town Hall is inviting you to a scheduled Zoom meeting.

Topic: Planning & Zoning Board Meeting

Time: Sept 22, 2022 06:00 PM Eastern Time (US and Canada)

Join Zoom Meeting

<https://us06web.zoom.us/j/89732653595?pwd=RVpaSXY5S0Z0TE9jYitTY3pHaFVZdz09>

Meeting ID: 897 3265 3595

Passcode: 324635

Dial by your location

+1 646 558 8656 US (New York)

+1 720 707 2699 US (Denver)

+1 346 248 7799 US (Houston)

Meeting ID: 897 3265 3595

Passcode: 324635

Find your local number: <https://us06web.zoom.us/j/89732653595>

Please Note: In accordance with F.S. 286.0105: Any person who desires to appeal any decision or recommendation at this meeting will need a record of the proceedings, and that for such purposes may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is based. The Town of Howey-in-the-Hills does not prepare or provide this verbatim record. Note: In accordance with the F.S. 286.26: Persons with disabilities needing assistance to participate in any of these proceedings should contact Town Hall, 101 N. Palm Avenue, Howey-in-the-Hills, FL 34737, (352) 324-2290 at least 48 business hours in advance of the meeting.



Planning & Zoning Board Meeting

August 25, 2022 at 6:00 PM

Howey-in the-Hills Town Hall
101 N. Palm Ave.,
Howey-in-the-Hills, FL 34737

CALL TO ORDER ROLL CALL

BOARD MEMBERS PRESENT:

Tina St. Clair - Chairperson | Sheldon Lucien | Shawn Johnson | Frances O'Keefe Wagler (via Zoom) | Ron Francis III – Vice Chairperson (arrived at 6:03 p.m.)

BOARD MEMBERS ABSENT:

John Manning

STAFF PRESENT:

John Brock - Town Clerk | Tom Harowski - Town Planner | Sean O'Keefe – Town Administrator

CONSENT AGENDA

Routine items are placed on the Consent Agenda to expedite the meeting. If Town Council/Staff wish to discuss any item, the procedure is as follows: (1) Pull the item(s) from the Consent Agenda; (2) Vote on the remaining item(s); and (3) Discuss each pulled item and vote.

1. Consideration and Approval of the July 28, 2022, Planning and Zoning Board Meeting minutes.

Motion made Shawn Johnson to approve the agenda; Richard Mulvany seconded the motion. Motion was approved unanimously by voice vote.

PUBLIC HEARING

2. Consideration and Recommendation: **The applicant is requesting a variance from Section 5.01.08 Swimming Pools and Pool Enclosures. The applicant is requesting a variance of seven feet from the minimum rear yard setback of ten feet to allow a pool and pool deck to be constructed with three feet of the rear property line.**

Tina St. Clair, Board Chairperson, asked Tom Harowski, Town Planner, to introduce and explain this item. Mr. Harowski explained that the property in question was 414 Amola Way, within the Talichet Subdivision. Mr. Harowski explained that there was a 5-foot drainage easement at the rear of the property that could not be encroached upon, so it would be impossible to give a variance that went into that 5-foot easement. Mr. Harowski explained that the applicant stated several factors in support of their request, including: orientation of the house to the rear property line narrows the distance to the rear property line from 29 feet on one end to 23 feet on the other end, rear lot orientation leaves inadequate room for a typical pool and pool deck,

proposed deck area is necessary to allow full access to all sides of the pool, and they were no neighbors to be impacted by the reduced rear yard setback. Mr. Harowski also explained section 4.13.01 which lays out the standards for granting a variance. Mr. Harowski also stated that the applicant did not meet all the criteria for approval of the requested variance. Mr. Harowski explained that if the variance was recommended to the Town Council, approval of the variance should be for a lesser incursion into the rear yard set back (not into the last 5-feet, which is for the drainage easement), and requiring relocation or replacement of the trees in the proposed pool area.

Matthew Pedlar (applicant and homeowner of 414 Amola Way) stated that maybe a 5-foot variance would be acceptable to him, instead of the 7-foot variance and that he had already replanted his trees out of the area of the proposed pool.

Motion made by Richard Mulvany to recommend approval of the variance with a 5-foot rear set back; seconded by Shawn Johnson. Motion was approved unanimously by voice vote.

3. Consideration and Recommendation: Ordinance 2022-016 - Simpson Parcels - Rezoning from MDR-1 and MDR-2 to PUD

Tina St. Clair, Board Chairperson, asked Tom Harowski, Town Planner, to introduce and explain this item. Mr. Harowski stated that the applicant was seeking to rezone their parcels from MDR-1 and MDR-2 to Planned Unit Development (PUD) and also seeking approval of a preliminary subdivision plan (which would be considering in Item #4 of the meeting) Mr. Harowski summarized his staff report that was presented to the Planning and Zoning Board. Mr. Harowski's project description summary included:

- Two hundred and seventy-five single-family lots (measuring 60' x 120' as the dominant lot size with lots measuring 70' x 120' at corner lots)
- A relocation of a portion of Revels Road to connect with SR 19 at a standard 90-degree intersection
- Three access points to the project including two access points on Revels Road and one access point to the south that would connect with potential future development
- No street connection to SR 19 or the large-lot single-family development area to the east
- Landscape buffers along SR 19 and Revels Road that meet the Town's required design standards
- Perimeter buffers at all other project boundaries
- Stormwater retention areas at the perimeter of the project to further add to buffering of adjacent properties (Note that retention areas are likely to be dry except for major storm events.)
- A proposed park area and pedestrian trails on the eastern and southern areas of the project
- Construction of a multi-use bicycle/pedestrian trail along the Revels Road frontage in accordance with the Town's bicycle and pedestrian plan

Mr. Harowski explained the proposed project was consistent with the goals, objectives, and policies of the comprehensive plan and summarized his concurrency assessment, as outlined in his staff report. Mr. Harowski also stated that if the board chose to not recommend the project, they would need to state what the Board's justification was for this recommendation.

Chris Gardner, owner of the parcels, and Tim Greene, Applicant for the owner, spoke on behalf of the proposed development. Mr. Greene stated that project was designed to be unobtrusive to the surrounding community, with only 26 lots backing other's property. Mr. Greene also stated the PUD would not allow detached garages or sheds. Mr. Greene further stated that, they were only asking for 60% impervious area, 60 and 70-foot lot widths, 20-foot front set backs, 5-foot side set backs, 20-foot rear set backs, and 15-foot buffer property with a wall on Revels Road and SR. 19. Mr. Gardner stated that he would like to meet with the community in the future to answer questions about the PUD.

Tina St. Clair, Board Chair, opened up Public Comment.

Mike Ford, (parents live at) 400 Mission Lane – Mr. Ford was concerned about traffic and was opposed to the development.

Laura Channell, 10738 E. Revels Road – Mrs. Channell was concerned about right of ways and buffers and was opposed to the development.

Todd Hawkins, 1110 N. Lakeshore Blvd. – Mr. Hawkins was concerned that there would not be enough space for a future roundabout at SR. 19 and Revels Rd. Mr. Hawkins stated that he loved tree and green spaces in Howey and this development would not allow for enough treescapes.

Christina Hawkins, 1110 N. Lakeshore Blvd. – Mrs. Hawkins stated that she thought 10-feet between homes would produce a fire risk for the whole development burning down. Mrs. Hawkins was opposed to the development.

Dixie Peterson, 1016 N Lakeshore Blvd. – Mrs. Peterson was concerned about water concurrency with this development and was opposed to this development.

Matthew Pedlar, 414 Amola Way – Mr. Pedlar asked about how many homes would be coming into Howey over the next 5-years and was not in favor of this future growth.

Paul Hoar, 503 Mission Lane – Mr. Hoar was concerned about the density of the Thompson Grove project.

Board Chair, Tina St. Clair, closed Public Comment and gave the project applicants time to respond.

Chris Gardner stated that square footage for the homes within the development would range between 1,600 square feet and 3,000 square feet, with the typical home exceeding 2,000 square feet. Mr. Greene stated that there was space for a potential roundabout at SR. 19 and Revels Rd.

Frances O’Keefe Wagler, Board Member, stated that residents did not want smaller lot sizes.

Richard Mulvany, Board Member, stated that he was not in favor of 5-foot side setbacks.

Motion made by Ron Francis III to recommend deny this PUD and that the parcels should retain their existing zoning; seconded by Frances O’Keefe Wagler. Motion was approved unanimously by roll-call vote.

John Manning	Absent	Chair Tina St. Clair	YES
Fran O’Keefe Wagler	YES	Richard Mulvany	YES
Shawn Johnson	YES	Ron Francis III	YES

REASON FOR DENIAL: The Board did not see the purpose in rezoning to a PUD and felt that the existing zoning was sufficient.

4. Consideration and Recommendation: Simpson Parcels - Preliminary Subdivision Plan

Tom Harowski stated that since the rezoning to PUD was not recommended, the Board would be unable to recommend this Preliminary Subdivision Plan.

Tina St. Clair opened Public Comment for this item only, seeing as there was no public comment, Public Comment was closed

Motion made by Francis O’Keefe Wagler to recommend deny this Preliminary Subdivision Plan; seconded by Ron. Motion was approved unanimously by voice vote.

REASON FOR DENIAL: The Board did not recommend due to its prior recommendation on the PUD.

OLD BUSINESS

- 5. Consideration and Recommendation: Town Council requested the Planning & Zoning Board input on policy 1.11.6 of the Future Land Use element requiring the extension of grid street patterns where possible. The Town Council is asking for a recommendation on keeping the policy as is, amending the policy, or deleting the policy.**

Tina St. Clair, Board Chairperson, asked Tom Harowski, Town Planner, to introduce and explain this item. Mr. Harowski explained that this was discussed during the May Planning and Zoning Board meeting. Mr. Harowski explained this current policy in the Town Comprehensive Plan. Mr. Harowski explained a sample Traffic Study that he had completed for a possible development in the Thompson Grove area, that would have connecting streets to the south.

Tina St. Clair, Board Chair, stated she was concerned about the current roads in “Old Howey” being narrow and not able to handle more traffic.

Frances O’Keefe Wagler, Board Member, stated that infrastructure in the “Old Howey” was not sufficient to allow for grid street.

Tina St. Clair, Board Chair, opened Public Comment.

Tim Everline, 1012 N. Lakeshore Blvd. Mr. Everline was not in favor of the grid street policy and that if the Thompson Grove development was created that they should perhaps only allow an Emergency Gate and a path for pedestrian, bike, and golf carts.

Marcia Meiring, 300 E Croton Way – Mrs. Meiring stated that the historic area of “Old Howey” should be left intact and was not in favor of grid street.

Duncan Rose, 210 E Cypress Avenue – Mr. Rose doesn’t want any road connects between “Old Howey” and Thompson Grove.

Don Peterson, 1016 N Lakeshore Blvd. – Mr. Peterson recommend only an emergency gated connection.

Mike Ford, (parents live at) 400 Mission Lane – Mr. Ford stated that he didn’t believe residents of Howey owe developers anything.

Carlos Miranda, 1007 N Temple Ave – Mr. Miranda was opposed to connecting grid streets.

Danny Castillo 1102 Hamlin Ave – Mr. Castillo stated he believed that Howey should only allow 2 homes an acre.

Todd Hawkins, 1110 N. Lakeshore Blvd. – Mr. Hawkins recommended changing the Town’s Comprehensive Plan and Land Development Code to remove requirements for grid street.

Board Chair, Tina St. Clair, closed Public Comment.

Motion made by Frances O’Keefe Wagler to recommend deleting the grid street requirements from the Comprehensive Plan; seconded by Tina St. Clair. Motion was approved unanimously by roll-call vote.

John Manning	Absent	Chair Tina St. Clair	YES
Fran O’Keefe Wagler	YES	Richard Mulvany	YES
Shawn Johnson	YES	Ron Francis III	YES

NEW BUSINESS

6. Consideration and Approval: 2022-2023 Planning and Zoning Board, Development Review Committee (DRC), and application submission cut-off dates

Tina St. Clair, Board Chairperson, asked Tom Harowski, Town Planner, to introduce and explain this item. Mr. Harowski explained that he had presented the Board with calendar of Planning and Zoning Board dates for the next year, Development Review Committee (DRC) dates for the next year, and the dates that would be required to submit applications to be considered for a meeting.

Motion made by Ron Francis III to approve the 2022-2023 Planning and Zoning Board, Development Review Committee (DRC), and application submission cut-off dates calendar; seconded by Richard Mulvany. Motion was approved unanimously by voice vote.

PUBLIC COMMENTS

Any person wishing to address the Planning and Zoning Board and who is not on the agenda is asked to speak their name and address. Three (3) minutes is allocated per speaker.

None

ADJOURNMENT

There being no further business to discuss, a motion was made by Richard Mulvany to adjourn the meeting; Ron Francis III seconded the motion. Motion was approved unanimously by voice vote.

The Meeting adjourned at 8:38 p.m. | **Attendees: 50**

Tina St. Clair Chairperson

ATTEST:

John Brock, Town Clerk



TMHConsulting@cfl.rr.com
97 N. Saint Andrews Dr.
Ormond Beach, FL 32174
PH: 386.316.8426

MEMORANDUM

TO: Howey-in-the-Hills Planning Board
CC: J. Brock, Town Clerk
FROM: Thomas Harowski, AICP, Planning Consultant
SUBJECT: 469 Avila Way Variance Request
DATE: August 18, 2022

The applicant is requesting relief from the requirement that swimming pools and pool decks be setback ten (10) feet from rear property lines (Section 5.01.08 B). The applicant has submitted a statement explaining why the requested variance is needed and how the variance is justified. The applicant is seeking a variance of four feet to allow the pool and pool deck to extend within six feet of the rear property line.

The subject property is located within the Talichet Subdivision located off South Florida Avenue, and the house is a newly constructed residential unit. Avila Way is a loop street that runs through the length of the subdivision. The subject property is located at the closed end of the loop making the lot what is effectively a corner lot. (Refer to the attached location map.) The applicant has submitted a survey showing the lot and position of the existing house on the property. The survey shows a five-foot drainage and utility easement extending across the full width of the rear property line. The applicant submitted a proposed design for the pool and pool deck with the application form showing a portion of the pool and pool deck extending into the required rear yard setback by up to four feet at the deepest penetration. The applicant submitted a survey showing the positioning of the pool on the lot and a graphic showing the pool design.

The applicant has stated several factors which are offered in support of the request. These include:

- There is insufficient space to accommodate the pool
- Five-foot setbacks are typical in most communities
- A narrower pool does not meet needs
- They want to maximize the use of the property

As stated previously a variance stands on its own merits. Prior variances should have no effect on the current case. Each variance is supposed to address a specific hardship unique to the property that does not allow the property to be developed in full compliance with the code unless some relief is granted.

Analysis

The land development regulations set out a series of criteria to evaluate requests for variances in Section 4.13.04. These criteria are listed below:

4.13.01 Standards in Granting a Variance

The Board of Adjustment may authorize a variance from the terms of this LDC as will not be contrary to the public interest where, owing to special conditions, a literal enforcement of the provisions of this Code will result in unnecessary and undue hardship. In authorizing a variance from the terms of this LDC, the Board of Adjustment shall find:

- A. That special conditions and circumstances exist which are peculiar to the land, structure or building involved, and which are not applicable to other lands, structures, or buildings in the same zoning district,
- B. That the special conditions and circumstances do not result from the actions of the applicant,
- C. That literal interpretation of the provisions of this LDC would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this LDC and would work unnecessary and undue hardship on the applicant,
- D. That the variance created is the minimum variance that will make possible the reasonable use of the land, building or structure, and
- E. That the granting of the variance will be in harmony with the general intent and purpose of this LDC and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.
- F. In granting any variance, the Board of Adjustment may prescribe appropriate conditions and safeguards in conformity with this LDC. Violation of such conditions and safeguards, when made a part of the terms under which the variance is granted, shall be deemed a violation of this LDC.

For the current application the staff evaluation is as follows:

- A. There is nothing unique about the subject lot in the Talichet Subdivision. The size and placement of the house on the lot determines the available rear yard area rather than any physical trait of the lot.
- B. The pool design is not overly large with most of the key features arranged along the house rather than projecting away from the house. However, the survey seems to indicate that the pool could be shifted closer to the house by integrating some of the current patio area into the pool deck design. This would further minimize or eliminate the need to extend into the required rear yard.
- C. A literal interpretation of the code does not prohibit the construction of a pool, but would require some shifting or minor redesign of the pool.

- D. The proposed minimum variance of four feet is not essential to allow construction of the pool. The proposed design does avoid the the drainage and utility easement that runs along the rear lot line. However, shoould the Planning Board elect to recommend the variance to Town Council, the Planning Board should include a provision that no grade change be done which impacts the five-foot utility and drainage easement.
- E. The approval of the proposed design is in harmony with the general intent of the code. Approval of the variance and construction of the pool and pool deck is consistent with standard residential use of the property and would have no apparent impact to other properties.
- F. If any required trees trees will need to be removed or relocated to permit construction of the pool, the trees will need to be relocated or replaced. These trees are part of the minimum landscape requirement and the trees either need to be transplanted or replaced with trees meeting the code minimum. If the trees are transplanted and then die, they must be replaced. Should the Planning Board recommend approval of the variance to Town Council, the tree relocation or replacement requirement should be recommended as a condition of approval.

Summary

Technically the request does not meet all of the criteria for approval of the requested variance. Construction of the pool and deck as proposed is in harmony with the use of the property as a single-family home and with the neighborhood in general, but the application has not demonstrated any hardship linked to the property. Should the Planning Board elect to recommend the variance to Town Council, approval of the variance should be a maximum of four feet into the required rear yard and require relocation or replacement of the trees in the proposed pool area. The Board shoould also prohibit any grade change from fill or other action that impacts the five-foot drainage and utility easement.

469 Avila Location Map

Item 2.



August 18, 2022

pointLayer



Override 1

polygonLayer



Override 1



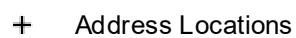
County Boundary



Surrounding Counties

Street Names

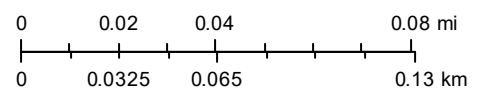
Subdivision Lot Numbers



Address Locations

Property Name

1:2,500



Lake County Property Appraiser
Lake BCC



VARIANCE APPLICATION

Howey-in-the-Hills

PLEASE PRINT LEGIBLY

Property Owner (if there are multiple owners, please provide all the information on the attached ownership list): Peter + Janice DeJoseph

Property Owner's Contact Information (If multiple owners, please provide mailing address, daytime phone, and fax and/or email for each owner):

First Owner:

Mailing Address: 469 Arila Pl Howey in the Hills
 Daytime Phone: 561-685-2292
 Fax and/or Email: Dejose63@hotmail.com

Second Owner:

Mailing Address: _____
 Daytime Phone: _____
 Fax and/or Email: _____

If more than two owners, please attach additional information.

Applicant (If different from owner): _____

Mailing Address: _____
 Daytime Phone: _____
 Fax and/or Email: _____

If the Applicant does not own the property, or is not the sole owner, please complete the Authorized Agent Affidavit form, attached.

If the Applicant is Not the Owner of the Property, is the Applicant:

_____ A Tenant
 _____ An Authorized Agent for the Owner
 _____ Other (please explain): _____

Property's Physical Address: 469 Arila Place Howey in the Hills
 The attached Verified Legal Description Form must also be completed as part of the application.

A survey of the property, showing all current improvements on the site, to scale, is required as part of the application submittal. The survey can be no larger than 11" X 17" in size.

An additional copy of the survey or a site plan drawn to scale should be included as part of the application which specifically shows any improvements that are being requested as part of the variance. Again, this site plan can be no larger than 11" X 17" in size.

Property Information: Tax Parcel ID: 2620-25-0010 Alt Key #: 3922840
000-0470

Please identify below the current land uses located on the site and all adjacent properties. For example, land uses would be identified as single family home, office, grocery store, etc.

Subject Site: Lot #47 469 A.

Adjacent property to the North: Single family Home

Adjacent property to the South: Single family Home

Adjacent property to the East: Street / Conservation Area

Adjacent property to the West: Single family home

Does the property currently have:

Town Water:	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
Central Sewer:	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
Potable Water Well:	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Septic Tank:	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO

How long has the current owner owned the property? Since 4/2022

Please attach property tax records or other documentation to verify how long the current owner has owned the property.

What specific Code requirement is the applicant seeking a variance from?

10 ft Building Setback to be
Vacated

What, in the applicant's point of view, are the specific special conditions or circumstances that exist on the property?

Not enough space between house
and rear property line.

What, in the applicant's point of view, is the unnecessary and undue hardship that exists to provide justification for the variance?

Not enough space to build
a pool that would be safe.

The applicant should provide any additional information that may be helpful to the Town in rendering a decision on the requested variance.

- 1. 5 ft setbacks are standard in most other municipalities.
- 2. A 5 ft wide pool would be unsafe and too small for our family
- 3. we'd like to use as much of our property as possible
- 4. Other homes in the Area have rec'd this variance


Additional information may be necessary. The applicant is required to provide a daytime telephone number where he/she can be reached.

The applicant is required to provide the names and mailing addresses of all property owners within 300 feet of the subject property, in the form of mailing labels. Three (3) sets of labels are required. These names and addresses may be obtained from the Lake County Property Appraiser's Office.

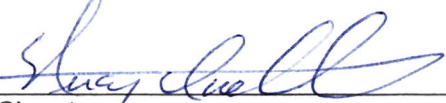
The Town will also provide a sign which must be posted on the subject property, visible from the adjacent right-of-way or road access. The sign must be posted at least one week prior to the Planning and Zoning Board meeting where this application will be on the agenda and the sign must remain posted until the Town Council public hearing.

A \$400 application fee is due and payable at the time this application is submitted to the Town. In addition to this application fee, a \$1,000 review deposit is required. By signing this application, the applicant acknowledges that the \$400 application fee covers advertising costs, mailings, and the time spent on the application by the Town Clerk. The applicant also acknowledges by his/her signature below that he/she understands he or she will be responsible for any additional costs that the Town incurs as a result of having Town consultants review the application. Once those additional costs are paid by the applicant, the Town will return the balance of the \$1,000 review deposit to the applicant. By signing this application, the applicant also acknowledges that he/she understands that variances expire if not acted upon within the timeframes outlined in the Town's Land Development Regulations.

Witnesses:

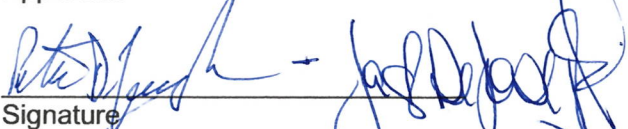

Signature

Jalen Leslie
Print Name


Signature

Nancy J. Escabi-Ortiz
Print Name

Applicant:


Signature

Peter DeJoseph + Janice DeJoseph
Print Name



Authorized Agent Affidavit

STATE OF FLORIDA
COUNTY OF LAKE

Before me, the undersigned authority, this day personally appeared _____ hereinafter “Owner”, and _____ hereinafter “Applicant”, who, being by me first duly sworn, upon oath, depose and says:

- 1. The Applicant is the duly authorized representative of the Owner, on the real property as described and listed on the pages attached to this affidavit and made a part of hereof.
- 2. That all Owners have given their full and complete permission for the Applicant to act in their behalf as set out in the accompanying application.
- 3. That the attached ownership list is made a part of the Affidavit and contains the legal description(s) for the real property, and the names and mailing addresses of all Owners having an interest in said land.

FURTHER Affiant(s) sayeth not.

Sworn to and subscribed before me this
16th day of August, 2022

Chirag Patel
Notary Public
State of Florida at Large
My Commission Expires: 08/03/2026



Reto D. Singh
Owner

Chirag Patel
Owner

Sworn to and subscribed before me this
16th day of August, 2022

Chirag Patel
Notary Public
State of Florida at Large
My Commission Expires: 08/03/2026



Sworn to and subscribed before me this
____ day of _____, 20__

Notary Public
State of Florida at Large
My Commission Expires: _____

Owner

Sworn to and subscribed before me this
____ day of _____, 20__

Notary Public
State of Florida at Large
My Commission Expires: _____

Owner

Please hand deliver completed application and fee to:

Town Clerk
Town of Howey in the Hills
101 N. Palm Avenue
Howey in the Hills, FL 34737

Please make application fee and review deposit checks payable to the Town of Howey in the Hills.

The Town Clerk may be reached at 352-324-2290 or by visiting Town Hall during normal business hours.

FOR TOWN CLERK OFFICE USE ONLY

Date Received:

3 sets of labels attached?

current survey attached?

site plan attached showing proposed improvements?

verified legal description form attached?

authorized agent affidavit attached?

ownership list attached?

APPLICATION NO.

Reviewed and Accepted By:

Provided to Town Planner on:

Planning & Zoning Board meeting date:

Town Council meeting date:

PROPERTY RECORD CARD

General Information

Name:	DE JOSEPH PETER & JANICE M	Alternate Key:	3922840
Mailing Address:	469 AVILA PL HOWEY IN THE HILLS, FL 34737 Update Mailing Address	Parcel Number:	26-20-25-0010-000-04700
		Millage Group and City:	000H Howey in the Hills
		2021 Total Certified Millage Rate:	20.7552
		Trash/Recycling/Water/Info:	My Public Services Map
Property Location:	469 AVILA PL HOWEY IN THE HILLS FL, 34737 Update Property Location	Property Name:	-- Submit Property Name
		School Information:	School Locator & Bus Stop Map School Boundary Maps
Property Description:	TALICHET AT VENEZIA NORTH PB 73 PG 78-81 LOT 47 ORB 5951 PG 456		
<p>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</p>			

Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	VACANT RESIDENTIAL (0000)	0	0		1.000	Lot	\$0.00	\$50,000.00
Click here for Zoning Info ⓘ				FEMA Flood Map				

Miscellaneous Improvements

There is no improvement information to display.

Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
5951 / 456	04/2022	Warranty Deed	Qualified	Improved	\$445,600.00
5706 / 863	05/2021	Warranty Deed	Qualified	Vacant	\$567,000.00
Click here to search for mortgages, liens, and other legal documents. ⓘ					

Values and Estimated Ad Valorem Taxes ⓘ

Values shown below are 2022 CERTIFIED VALUES.
The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL	\$50,000	\$50,000	\$50,000	5.0529	\$252.65

FUND					
SCHOOL BOARD STATE	\$50,000	\$50,000	\$50,000	3.5940	\$179.70
SCHOOL BOARD LOCAL	\$50,000	\$50,000	\$50,000	2.9980	\$149.90
LAKE COUNTY WATER AUTHORITY	\$50,000	\$50,000	\$50,000	0.3229	\$16.15
NORTH LAKE HOSPITAL DIST	\$50,000	\$50,000	\$50,000	0.0000	\$0.00
ST JOHNS RIVER FL WATER MGMT DIST	\$50,000	\$50,000	\$50,000	0.2189	\$10.95
TOWN OF HOWEY IN THE HILLS	\$50,000	\$50,000	\$50,000	7.5000	\$375.00
LAKE COUNTY MSTU AMBULANCE	\$50,000	\$50,000	\$50,000	0.4629	\$23.15
LAKE COUNTY VOTED DEBT SERVICE	\$50,000	\$50,000	\$50,000	0.0918	\$4.59
LAKE COUNTY MSTU FIRE	\$50,000	\$50,000	\$50,000	0.5138	\$25.69
				Total:	Total:
				20.7552	\$1,037.78

Exemptions Information

This property is benefitting from the following exemptions with a checkmark ✓

Homestead Exemption (first exemption up to \$25,000)	Learn More View the Law
Additional Homestead Exemption (up to an additional \$25,000)	Learn More View the Law
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	Learn More View the Law
Limited Income Senior Exemption (applied to city millage - up to \$25,000)	Learn More View the Law
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	Learn More View the Law
Widow / Widower Exemption (up to \$500)	Learn More View the Law
Blind Exemption (up to \$500)	Learn More View the Law
Disability Exemption (up to \$500)	Learn More View the Law
Total and Permanent Disability Exemption (amount varies)	Learn More View the Law
Veteran's Disability Exemption (\$5000)	Learn More View the Law
Veteran's Total and Permanent Disability Exemption (amount varies)	Learn More View the Law
Veteran's Combat Related Disability Exemption (amount varies)	Learn More View the Law
Deployed Servicemember Exemption (amount varies)	Learn More View the Law
First Responder Total and Permanent Disability Exemption (amount varies)	Learn More View the Law
Surviving Spouse of First Responder Exemption (amount varies)	Learn More View the Law
Conservation Exemption (amount varies)	Learn More View the Law
Tangible Personal Property Exemption (up to \$25,000)	Learn More View the Law
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)	Learn More View the Law
Economic Development Exemption	Learn More View the Law
Government Exemption (amount varies)	Learn More View the Law

NOTE: Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted [Site Notice](#).

Copyright © 2014 Lake County Property Appraiser. All rights reserved.
Property data last updated on March 21, 2022.

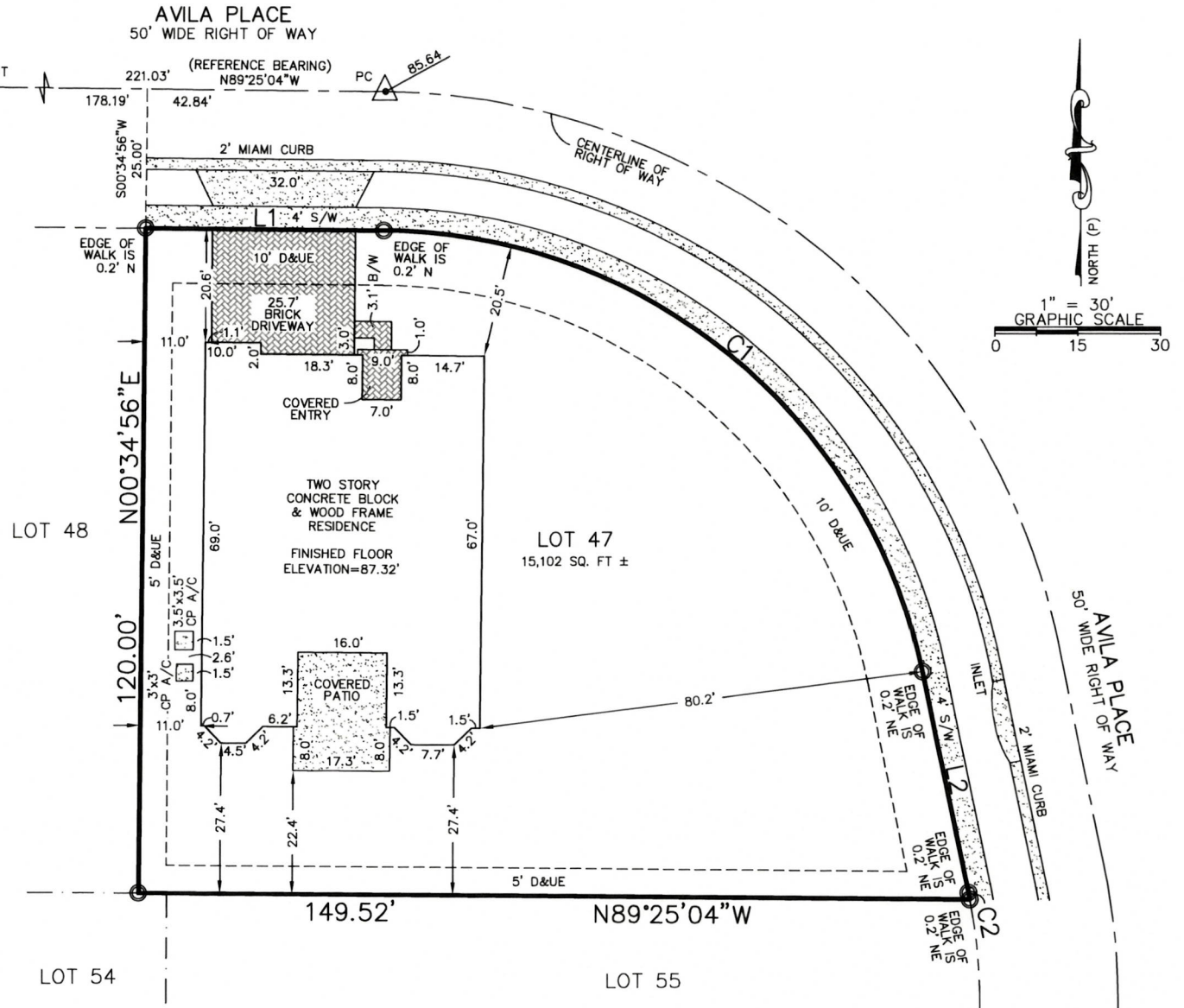
Site Notice

BOUNDARY & AS-BUILT SURVEY

DESCRIPTION: (AS FURNISHED)

LOT 47, TALICHET AT VENEZIA NORTH

AS RECORDED IN PLAT BOOK 73, PAGE(S) 78-81, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.



ADDRESS:
469 AVILA PLACE
HOWEY IN THE HILLS, FLORIDA 34737

FOR THE BENEFIT AND
EXCLUSIVE USE OF:

PETER DEJOSEPH & JANICE MIREYA DEJOSEPH
UNITED WHOLESAL MORTGAGE, LLC.
GOLDEN DOG TITLE & TRUST
FIDELITY NATIONAL TITLE INSURANCE COMPANY

OFFICIAL HOME BUILDER OF THE JACKSONVILLE JAGUARS



NOTES:

1. ALL DIRECTIONS AND DISTANCES HAVE BEEN FIELD VERIFIED, INCONSISTENCIES HAVE BEEN NOTED ON THE SURVEY, IF ANY.
2. PROPERTY CORNERS SHOWN HEREON WERE SET/FOUND ON 05/02/2022, UNLESS OTHERWISE SHOWN.
3. THE SURVEYOR HAS NOT ABSTRACTED THE LAND SHOWN HEREON FOR EASEMENTS, RIGHT OF WAY, RESTRICTIONS OF RECORD WHICH MAY AFFECT THE TITLE OR USE OF THE LAND.
4. NO UNDERGROUND IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN.
5. BUILDING TIES SHOWN HEREON ARE NOT TO BE USED TO RECONSTRUCT THE BOUNDARY LINES.
6. ELEVATIONS SHOWN HEREON ARE BASED ON NATIONAL GEODETIC SURVEY BENCHMARK A 431, ELEVATION=99.32' NAVD 88 DATUM

LEGEND:

- CENTERLINE
--- RIGHT OF WAY LINE
--- DRAINAGE FLOW
--- EXISTING ELEVATION
XX.XX
- A/C AIR CONDITIONER
- CONCRETE BRICK PAVERS
- CBW CONCRETE BLOCK WALL
CNA CORNER NOT ACCESSIBLE
CP CONCRETE PAD
CS CONCRETE SLAB
C/W CONCRETE WALK
B/W BRICK WALK
F.E.M.A. FEDERAL EMERGENCY MANAGEMENT AGENCY
F.I.R.M. FLOOD INSURANCE RATE MAP
ID IDENTIFICATION
LB LICENSED BUSINESS
LS LICENSED SURVEYOR
D&UE DRAINAGE & UTILITY EASEMENT
DE DRAINAGE EASEMENT
UE UTILITY EASEMENT
NAVD NORTH AMERICAN VERTICAL DATUM

Line Table		
Line #	Direction	Length
L1	S89°25'04"E	42.84'
L2	S11°41'39"E	40.94'

Curve Table					
Curve #	Length	Radius	Delta	Chord Bearing	Chord
C1	135.65'	100.00'	77°43'25"	S50°33'21"E	125.49'
C2	1.29'	100.00'	0°44'22"	S11°19'28"E	1.29'

- △ FOUND NAIL AND DISC LB #7514
○ FOUND 5/8" IRON ROD AND CAP LB #7514
(P) PER PLAT
(M) MEASURED
O/S OFFSET
PC POINT OF CURVATURE
PCC POINT OF COMPOUND CURVE
PCP PERMANENT CONTROL POINT
PI POINT OF INTERSECTION
PK PARKER KALON
POC POINT ON CURVE
POL POINT ON LINE
PRC POINT OF REVERSE CURVATURE
PRM PERMANENT REFERENCE MONUMENT
PSM PROFESSIONAL SURVEYOR AND MAPPER
PT POINT OF TANGENCY
SQ. FT. SQUARE FEET
S/W SIDEWALK
TYP TYPICAL

FLOOD NOTE:
I HAVE EXAMINED THE F.I.R.M. MAP NO. 12069C0485E, DATED 12/18/12, AND FOUND THE SUBJECT PROPERTY APPEARS TO LIE IN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. THE SURVEYOR MAKES NO GUARANTEES AS TO THE ABOVE INFORMATION. PLEASE CONTACT THE LOCAL F.E.M.A. AGENT FOR VERIFICATION.

BEARING BASIS:
BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF AVILA PLACE BEING N89°25'04"W, PER PLAT.

(FIELD DATE:) 06-02-21	REVISED:
SCALE: 1" = 30 FEET	
APPROVED BY: JB	
JOB NO. 200824 LOT 47	FINAL 05/02/2022 LU
DRAWN BY: RMB	FORMBOARD 06-08-2021 AV
	PLOT PLAN 04-19-2021 JG

ASM
AMERICAN SURVEYING & MAPPING INC.
CERTIFICATION OF AUTHORIZATION NUMBER LB#6393
3191 MAGUIRE BOULEVARD, SUITE 200
ORLANDO, FLORIDA 32803
(407) 426-7979
WWW.AMERICANSURVEYINGANDMAPPING.COM

CERTIFICATION NOTE:
I HEREBY CERTIFY, THAT THIS SURVEY, SUBJECT TO THE SURVEYOR'S NOTES CONTAINED HEREON MEETS THE APPLICABLE "MINIMUM TECHNICAL STANDARDS" SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO CHAPTER 472.027, FLORIDA STATUTES.

Digitally signed by James W. Boleman
DN: cn=James W. Boleman, o=American Surveying & Mapping Inc., ou=HB, email=jboleman@asmcorporate.com, c=US
Date: 2022.05.02 10:00:32 -04'00'
Adobe Acrobat version: 11.0.23

JAMES W. BOLEMAN PSM# 6485
THIS BOUNDARY & AS-BUILT SURVEY IS NOT VALID WITHOUT THE AUTHENTIC ELECTRONIC SIGNATURE OF THE AUTHENTIC ELECTRONIC SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

FOR THE FIRM DATE

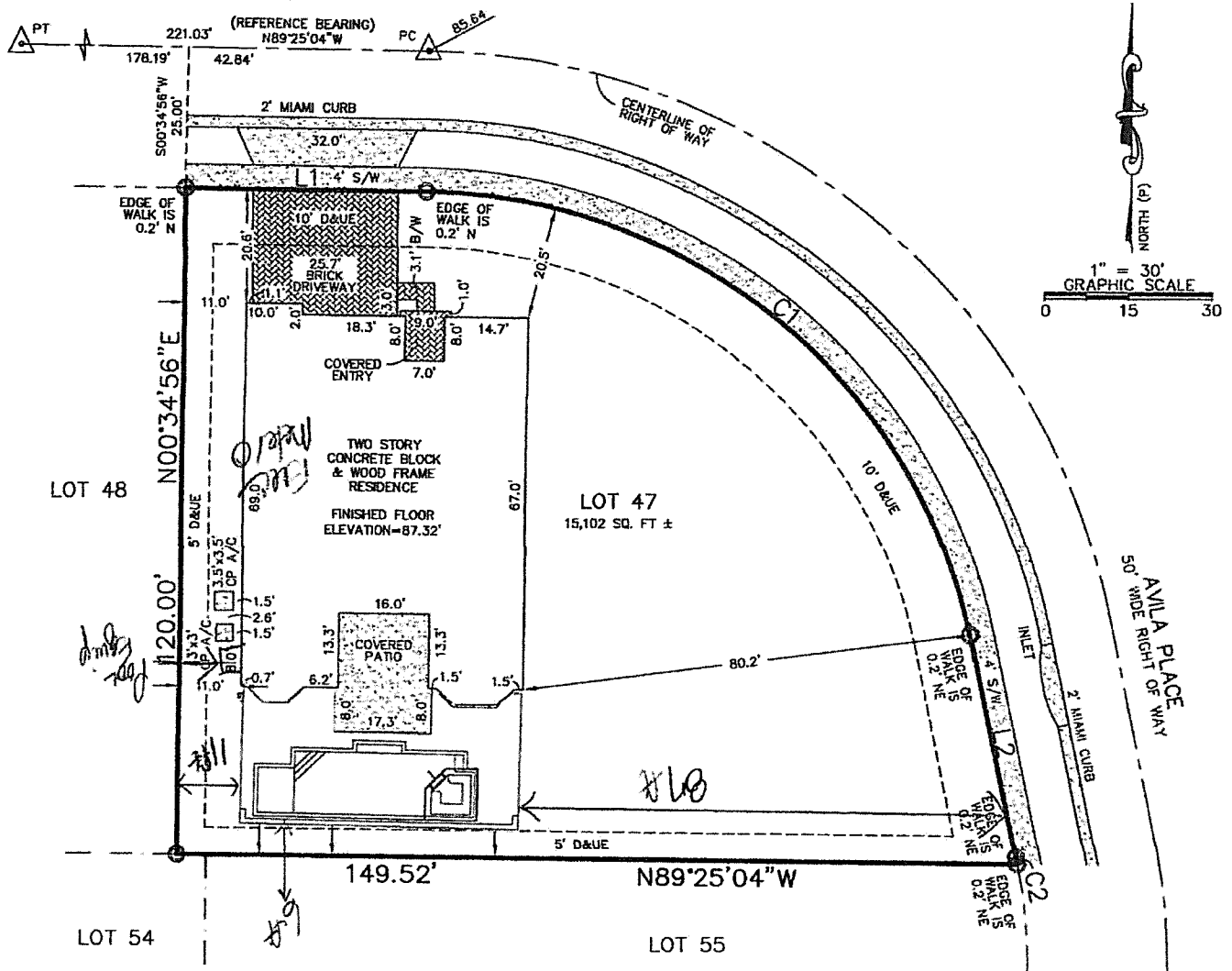
BOUNDARY & AS-BUILT SURVEY

DESCRIPTION: (AS FURNISHED)

LOT 47, TALICHET AT VENEZIA NORTH

AS RECORDED IN PLAT BOOK 73, PAGE(S) 78-81, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.

AVILA PLACE
50' WIDE RIGHT OF WAY



ADDRESS:
469 AVILA PLACE
HOWEY IN THE HILLS, FLORIDA 34737

FOR THE BENEFIT AND
EXCLUSIVE USE OF:

PETER DEJOSEPH & JANICE MIREYA DEJOSEPH
UNITED WHOLESALE MORTGAGE, LLC.
GOLDEN DOG TITLE & TRUST
FIDELITY NATIONAL TITLE INSURANCE COMPANY

图 1-1-1 所示: 图中各点均位于同一水平面上, 且各点均位于同一水平面上, 且各点均位于同一水平面上。



NOTES:

1. ALL DIRECTIONS AND DISTANCES HAVE BEEN FIELD VERIFIED, INCONSISTENCIES HAVE BEEN NOTED ON THE SURVEY, IF ANY.

2. PROPERTY CORNERS SHOWN HEREON WERE SET/FOUND ON 05/02/2022, UNLESS OTHERWISE SHOWN.

3. THE SURVEYOR HAS NOT ABSTRACTED THE LAND SHOWN HEREON FOR EASEMENTS, RIGHT OF WAY, RESTRICTIONS OF RECORD WHICH MAY AFFECT THE TITLE OR USE OF THE LAND.

4. NO UNDERGROUND IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN.


5. BUILDING TIES SHOWN HEREON ARE NOT TO BE USED TO RECONSTRUCT THE BOUNDARY LINES.

6. ELEVATIONS SHOWN HEREON ARE BASED ON NATIONAL GEODETIC SURVEY BENCHMARK A 431, ELEVATION=99.32' NAVD 88 DATUM

Line Table		
Line #	Direction	Length
L1	S89°25'04"E	42.84'
L2	S11°41'39"E	40.94'

Curve Table					
Curve #	Length	Radius	Delta	Chord Bearing	Chord
C1	135.65'	100.00'	77°43'25"	S50°33'21"E	125.49'
C2	1.29'	100.00'	0°44'22"	S11°19'28"E	1.29'

LEGEND:


 CENTERLINE
 RIGHT OF WAY LINE
 DRAINAGE FLOW
 EXISTING ELEVATION

A/C AIR CONDITIONER

 CONCRETE BRICK PAVERS

CBW	CONCRETE BLOCK WALL
CNA	CORNER NOT ACCESSIBLE
CP	CONCRETE PAD
CS	CONCRETE SLAB
C/W	CONCRETE WALK
B/W	BRICK WALK
F.E.M.A.	FEDERAL EMERGENCY MANAGEMENT AGENCY
F.I.R.M.	FLOOD INSURANCE RATE MAP
ID	IDENTIFICATION
LS	LICENSED BUSINESS
LS	LICENSED SURVEYOR
DA/E	DRAINAGE & UTILITY EASEMENT
DA/E	DRAINAGE EASEMENT
UE	UTILITY EASEMENT
NAV/D	NORTH ANCHOR VERTICAL DATUM

▲	FOUND NAIL AND DISC
○	LB #7514
○	FOUND 5/8" IRON ROD AND CAP
	LB #7514
(P)	PER PLAT
(M)	MEASURED
O/S	OFFSET
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVE
PCP	PERMANENT CONTROL POINT
PI	POINT OF INTERSECTION
PK	PARKER KALON
POC	POINT ON CURVE
POL	POINT ON LINE
PRC	POINT OF REVERSE CURVATURE
PRM	PERMANENT REFERENCE MONUMENT
PSM	PROFESSIONAL SURVEYOR AND MAPPER
PT	POINT OF TANGENCY
SQ. FT.	SQUARE FEET
S/W	SIDEWALK
TYP	TYPICAL

FLOOD NOTE:

I HAVE EXAMINED THE F.I.R.M. MAP NO. 12069C0485E,
DATED 12/18/12, AND FOUND THE SUBJECT PROPERTY APPEARS TO LIE
IN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL
CHANCE FLOODPLAIN. THE SURVEYOR MAKES NO GUARANTEES AS TO
THE ABOVE INFORMATION. PLEASE CONTACT THE LOCAL F.E.M.A. AGENT
FOR VERIFICATION.

BEARING BASIS:

BEARING BASIS:
BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF AVILA
PLACE BEING N89°25'04"W. PER PLAT.

(FIELD DATE:) 06-02-21

SCALE: 1" = 30 FEET

APPROVED BY: JB

JOB NO 200824 LOT 47

DRAWN BY: RMB

REVISÉ:

FINAL 05/02/2022 LU

FORMBOARD 05-08-2021 AV

PLOT PLAN 04-19-2021 JG

ASMA

**AMERICAN
SURVEYING
& MAPPING INC.**

CERTIFICATION OF AUTHORIZATION NUMBER LB#6393
3191 MAGUIRE BOULEVARD, SUITE 200
ORLANDO, FLORIDA 32803
(407) 426-7979
WWW.AMERICANSURVEYINGANDMAPPING.COM

CERTIFICATION NOTE:

CERTIFICATION NOTE:
I HEREBY CERTIFY, THAT THIS SURVEY, SUBJECT TO THE SURVEYOR'S NOTES CONTAINED HEREON MEETS THE APPLICABLE "MINIMUM TECHNICAL STANDARDS" SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO CHAPTER 472.027, FLORIDA STATUTES.



Digitally signed by James W.
Boleman
DN: cn=James W. Boleman,
o=American Surveying &
Mapping Inc., ou=HB,
email=jboleman@asmcorporate.c
om, c=US
Date: 2022.05.02 10:00:32 -04'00'
Adobe Acrobat version: 11.0.23

JAMES W. BOLEMAN PSM# 6485
THIS BOUNDARY & AS-BUILT SURVEY IS NOT VALID
WITHOUT THE AUTHENTIC ELECTRONIC SIGNATURE AND
THE AUTHENTIC ELECTRONIC SEAL OF A FLORIDA
LICENSED SURVEYOR AND MAPPER.

ERIC GRAVE
440 AVILA PL
HOWEY IN THE HILLS
FL, 34737

MARK BISHOP
456 AVILA PL
HOWEY IN THE HILLS
FL, 34737

EDWIN DIAZ
463 AVILA PL
HOWEY IN THE HILLS
FL, 34737

ISRAEL VALENTIN
501 AVILA PL
HOWEY IN THE HILLS
FL, 34737

DERRICK ANDERSON
485 AVILA PL
HOWEY IN THE HILLS
FL, 34737

CHRISTOPHER BEHAN
492 AVILA PL
HOWEY IN THE HILLS
FL, 34737

ERIC GRAVE
440 AVILA PL
HOWEY IN THE HILLS
FL, 34737

MARK BISHOP
456 AVILA PL
HOWEY IN THE HILLS
FL, 34737

EDWIN DIAZ
463 AVILA PL
HOWEY IN THE HILLS
FL, 34737

ISRAEL VALENTIN
501 AVILA PL
HOWEY IN THE HILLS
FL, 34737

DAVID PECKINS
444 AVILA PL
HOWEY IN THE HILLS
FL, 34737

ANDREW HOOTEN
460 AVILA PL
HOWEY IN THE HILLS
FL, 34737

MATTHEW BEATTY
456 AVILA PL
HOWEY IN THE HILLS
FL, 34737

ERIX OROVIA
493 AVILA PL
HOWEY IN THE HILLS
FL, 34737

BRENT MOAKE
476 AVILA PL
HOWEY IN THE HILLS
FL, 34737

MICHAELNARAIN
500 AVILA PL
HOWEY IN THE HILLS
FL, 34737

DAVID PECKINS
444 AVILA PL
HOWEY IN THE HILLS
FL, 34737

ANDREW HOOTEN
460 AVILA PL
HOWEY IN THE HILLS
FL, 34737

MATTHEW BEATTY
456 AVILA PL
HOWEY IN THE HILLS
FL, 34737

ERIX OROVIA
493 AVILA PL
HOWEY IN THE HILLS
FL, 34737

LORETTA DARDNO
448 AVILA PL
HOWEY IN THE HILLS
FL, 34737

WILLIE RANDEL
464 AVILA PL
HOWEY IN THE HILLS
FL, 34737

DIXON RODRIGUEZ
433 AVILA PL
HOWEY IN THE HILLS
FL, 34737

DAVID ELIAS
489 AVILA PL
HOWEY IN THE HILLS
FL, 34737

JACK PAVLIK
480 AVILA PL
HOWEY IN THE HILLS
FL, 34737

CESAL RODRIGUEZ
504 AVILA PL
HOWEY IN THE HILLS
FL, 34737

LORETTA DARDNO
448 AVILA PL
HOWEY IN THE HILLS
FL, 34737

WILLIE RANDEL
464 AVILA PL
HOWEY IN THE HILLS
FL, 34737

DIXON RODRIGUEZ
433 AVILA PL
HOWEY IN THE HILLS
FL, 34737

DAVID ELIAS
489 AVILA PL
HOWEY IN THE HILLS
FL, 34737



TMHConsulting@cfl.rr.com
97 N. Saint Andrews Dr.
Ormond Beach, FL 32174
PH: 386.316.8426

MEMORANDUM

TO: Town of Howey-in-the-Hills Planning Board
CC: J. Brock, Town Clerk
FROM: Thomas Harowski, AICP, Planning Consultant
SUBJECT: The Reserve/Hilltop Groves First Amendment to the Development Agreement
DATE: September 12, 2022

The developers of the residential portion of The Reserve development have asked for an amendment to the approved development agreement to make some revisions to the preliminary subdivision plan that qualify as major amendments under the terms of the adopted PUD agreement. The applicants have submitted a list of plan adjustments on the updated master site plan map including a number key locating each revision. Some of these adjustments could be considered minor amendments, but since the plan was undergoing a major amendment review, we elected to include all the revisions in the proposed update.

The Town's Development Review Committee reviewed the proposed amendments at their meeting on September 8, 2022 and have prepared the following recommendations for the Planning Board's consideration.

1. The applicants are requesting a revised design for the central collector road, identified as Road A on the preliminary subdivision plan, from four lanes to two lanes through the residential portion of The Reserve development. Most of the portion of Road A through the commercial portion of the project will remain as a four-lane section. In support of the requested change the applicants have submitted an analysis from their traffic engineer documenting that a two-lane road is sufficient to support the projected traffic volumes. The Town engineer has reviewed the request and supports the finding that the two-lane section is adequate for the traffic demand, and that with protected left turn lanes can result in reduced speed and increased safety within the project.

The applicants have noted that the road through the commercial area has been increased the right-of-way from 90 feet to 100 feet as shown on the roadway cross-sections. The wider right-of-way is proposed to give more room to fit all the necessary components in the four-lane road section. The intersection with SR 19 has moved south about 250 feet, and driveway connections for the commercial area are shown.

(Refer to map items 2, 3, 4 and 12.)

2. The applicants are proposing minor adjustments to Roads D and F and the adjoining lots to reduce the amount of road area and improve safety while still providing access to the adjacent lots. **(Refer to map item 1.)**
3. The applicants are requesting revisions to Roads B and N along with adjacent lots to improve the connection between Phase 2 and Phase 3. This change improves traffic flow and reduces the number of lots on closed-end streets. **(Refer to map item 6.)**
4. The applicants are revising the collector road cross-sections to include the minimum 10-foot bicycle/pedestrian pathway that extends from SR 19 to Number Two Road. This facility has been a commitment of the project, but roadway cross-section submitted prior to this plan did not fully identify the bicycle/pedestrian path. **(Refer to the revised cross-sections for the two-lane and four-lane sections.)**
5. Residential lots along Road AA and Road Z have been changed to the 50 x 115 lot type rather than the originally proposed 50 x 80 lot type. **(Refer to map item 8.)**
6. The staff has asked for the addition of a street crossing detail where the bicycle/pedestrian path crosses a roadway. This detail is intended to limit the opportunity for cars to inadvertently drive on the path. They have agreed to provide a detail.
7. The applicants have been requested to update the totals of residential units by type and phase. **(The revised totals for units by phase are shown on the table on the left side of the master site plan.)**
8. The applicants have been requested to provide a maximum impervious area for each type of residential unit. The lack of a maximum impervious area has been creating some review issues with our other PUD-based neighborhoods. **(The maximum impervious areas by unit type are shown on the table on the left side of the master site plan.)**

The Development Review Committee supports these eight revisions to the approved development agreement.

The revised plan includes several other small adjustments that are noted here as part of the overall amendment. Please note the following revisions:

- The emergency access via Mare Avenue has been removed. The revised street pattern between Phase 2 and Phase 3 will serve this purpose. **(Refer to map item 5.)**

- The driveway connection to Talichet Phase 2 has been removed as the connection is no longer possible. **(Refer to map item 7.)**
- A revised roadway connection in Phase 4 has been added. **(Refer to map item 9.)**
- Stormwater pond locations have been added to Phase 4. **(Refer to map item 10.)**
- The phase line for Phase 1 has been adjusted. **(Refer to map item 11)**

During the review, the DRC also agreed that the intersection designs of the primary collector road at SR 19 and Number Two Road will be considered minor amendment to the development agreement as the permitting agencies (FDOT and Lake County) will ultimately be directing the intersection designs. The preliminary subdivision plan will also provide for a driveway connection from the collector road to the Town's public safety parcel at the intersection with the primary collector road. It is expected that this connection will provide an opportunity to reduce fire and police response times to properties within the project.

ORDINANCE NO. 2022-019

AN ORDINANCE OF THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA, PERTAINING TO LAND USE; AMENDING ORDINANCE 2021-010 PERTAINING TO THE USE OF LAND WITHIN THE PROPERTY KNOWN AS THE RESERVE AT HOWEY-IN-THE-HILLS; PROVIDING FINDINGS OF THE TOWN COUNCIL; AMENDING THE AMENDED AND RESTATED DEVELOPER’S AGREEMENT FOR THE RESERVE AT HOWEY-IN-THE-HILLS TO ALLOW A CHANGE IN THE REQUIREMENTS FOR CONSTRUCTION OF A NORTH-SOUTH ROAD; RATIFYING AND CONFIRMING THE PROVISIONS OF ORDINANCE 2021-010, AS AMENDED; PROVIDING FOR SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA:

Section 1. Findings. The owners of the land zoned under Ordinance 2021-010 for The Reserve at Howey-in-the-Hills Planned Unit Development (“The Reserve”) have requested an amendment to the land-use approvals for The Reserve to allow the north-south spine road labeled “Road A” to be constructed as a two-lane road instead of a four-lane road. The request is reasonable and the Town Council is willing to approve it.

Section 2. Amendments to Land-Use Approvals.

a) The proposed “First Amendment to the Amended and Revised Developer’s Agreement for The Reserve at Howey-in-the-Hills” (“First Amendment”) is approved. The Town Manager and the Town Clerk are authorized and directed to execute and deliver to the Owners the First Amendment as presented to the Town Council, with such amendments (if any) approved by Town Council.

b) The list in section 2 of Ordinance 2021-010 of the land-use approvals and other documents containing the conditions, requirements, restrictions, and other terms pertaining to development of The Reserve is amended to add the following:

- i. The First Amendment to Amended and Restated Developer’s Agreement for The Reserve at Howey-in-the-Hills, dated as of _____, 202__, including its Attachment 1; and
- ii. The Master Site Plan for The Reserve at Howey-in-the-Hills dated August 2022

- and contained in Attachment 1 to the First Amendment; and
- iii. The Typical Roadway Cross Section for 90' Right of Way contained in Attachment 1 to the First Amendment; and
 - iv. The Typical Roadway Cross Section for 90' Right of Way (4 lane section) contained in Attachment 1 to the First Amendment.

Section 3. Ratification; Future Amendments to Developer's Agreement.

- a) The First Amendment shall prevail over and supersede Ordinance 2021-010 and the land-use approvals itemized in section 2 of Ordinance 2021-010, but only to the extent a conflict exists between or among them. Otherwise, Ordinance 2021-010 and the land-use approvals and other instruments and documents identified in section 2 of the ordinance are ratified, validated, and confirmed herewith and declared to remain in full force and effect.
- b) The Town Council is authorized to approve future amendments (if any) to the Amended and Restated Developer's Agreement for The Reserve at Howey-in-the-Hills without the necessity of amending either Ordinance 2021-010 or this ordinance.

Section 4. Severability. If any part of this ordinance is declared by a court of competent jurisdiction to be void, unconstitutional, or unenforceable, the remaining parts of this ordinance shall remain in full effect. To that end, this ordinance is declared to be severable.

Section 5. Codification. This ordinance shall be codified only if the Town Manager determines, upon consultation with the Town Attorney and Town Planner, that codification is necessary or useful to the Town and its citizens.

Section 6. Effective Date. This ordinance shall take effect upon the later of (i) its enactment by the Town Council or (ii) the date on which the First Amendment to the Amended and Restated Developer's Agreement for Howey-in-the-Hills takes effect.

ORDAINED AND ENACTED this ____ day of _____, 2022, by the Town Council of the Town of Howey-in-the-Hills, Florida.

**TOWN OF HOWEY-IN-THE-HILLS,
FLORIDA**

By: its Town Council

By: _____
Martha MacFarlane, Mayor

ATTEST:

APPROVED AS TO FORM AND LEGALITY
(for use and reliance of the Town only)

John Brock
Town Clerk

Thomas J. Wilkes
Town Attorney

Planning and Zoning hearing held **September 22, 2022**

First Reading held _____, **2022**

Second Reading and Adoption held _____, **2022**

Advertised _____, **2022**

Record and Return to:

Thomas J. Wilkes
Gray Robinson, P.A.
301 East Pine Street, Suite 1400
Orlando, FL 32801

As approved by Town Council
for the Town of Howey-in-the-Hills, Florida

FIRST AMENDMENT *to the* AMENDED AND RESTATED DEVELOPER'S AGREEMENT

THE RESERVE AT HOWEY-IN-THE-HILLS

This **FIRST AMENDMENT to THE AMENDED AND RESTATED DEVELOPER'S AGREEMENT for THE RESERVE AT HOWEY-IN-THE-HILLS** ("First Amendment") is made as of the ____ day of _____, 2022, among the **Town of Howey-in-the-Hills, Florida**, a Florida municipal corporation, whose address for purposes of this First Amendment is 101 North Palm Avenue, Howey-in-the-Hills, Florida 34737 (the "Town"), **Eagle's Landing at Ocoee, LLC**, a Florida limited liability company f/k/a Eagles Landing at Ocoee, Inc., a Florida corporation, whose address for purposes of this First Amendment is P.O. Box 770609, Winter Garden, Florida 34777, **Howey In the Hills, Ltd.**, a Florida limited partnership, whose address for purposes of this First Amendment is 10165 NW 19th Street, Miami, Florida 33172 and **ASF TAP FL I, LLC**, a Delaware limited liability company authorized to do business in the State of Florida, whose address for purposes of this First Amendment is 3565 Piedmont Road NE, Building 1, Suite 200, Atlanta, GA 30305 (collectively, the "Owners").

RECITALS

A. The Town and the Owners entered into that certain Amended and Restated Developer's Agreement for The Reserve at Howey-in-the-Hills dated as of November 8, 2021 ("Developer's Agreement"), under which the Town and the Owners set forth the requirements, restrictions, terms, and conditions for the development of the planned unit development known as The Reserve at Howey-in-the-Hills ("The Reserve"). The Developer's Agreement is recorded at Official Records Book 5903, page 1507, of the Public Records of Lake County, Florida.

B. The Owners are the owners of the approximately 378 acres of land that comprise The Reserve, which land is more particularly described on Exhibit A to the Developer's Agreement ("the Property").

C. The Property is within the corporate limits of the Town, has a future-land-use designation of Village Mixed Use, and is zoned for PUD-Planned Unit Development. The

Developer's Agreement allows the Owners to develop the Property as a mixed-use planned development consisting of single-family residential, multi-family residential, commercial, and institutional land uses, as more specifically set forth in the Developer's Agreement.

D. ASF TAP FL I, LLC, is the successor in interest to REO Funding Solutions IV, LLC, an original party to the Developer's Agreement, and has full right and authority to enter into and execute this First Amendment.

D. The Town and the Owners now intend to enter into this First Amendment for the sole purpose of modifying the requirements and restrictions applicable to the north-south road known on the site plan as "Road A."

NOW, THEREFORE, the Town and the Owners agree as follows:

1. Recitals. The foregoing recitals are true and correct and are hereby incorporated as terms.

2. Authority . This First Amendment is entered into by the Town under the home rule powers granted to it by the Florida Constitution (including Article VIII, Section 2(b) thereof), the home-rule powers granted municipalities by statute and otherwise (including Chapters 163 and 166, Florida Statutes), and the Town's Charter. The Agreement as amended by this First Amendment does not constitute a "development agreement" under the Florida Local Government Development Agreement Act.

3. Amendment. The Owners may construct the north-south spine road labeled "Road A" in accordance with the following contained in Attachment 1 to this First Amendment: (i) the Master Site Plan dated as of August 2022 and (ii) the two-lane and four-lane road cross sections. Road A shall be completed as part of the improvements required in Phase 1 of the development.

4. Ratification. Except as provided in paragraph 3 of this First Amendment, all provisions of the Developer's Agreement remain in full force and effect and are ratified and confirmed by the parties to the Developer's Agreement.

5. Notices. All notices or payments required to be made hereunder shall be made at the following addresses:

To Town: Hon. Martha MacFarlane, Mayor,
Town of Howey-in-the-Hills
101 North Palm Avenue
Howey-in-the-Hills, FL 34737
mmacfarlane@howey.org

With copies to: Sean O'Keefe, Town Administrator

Town of Howey-in-the-Hills
101 North Palm Avenue
Howey-in-the-Hills, FL 34737
sokeefe@howey.org

Thomas J. Wilkes
Gray Robinson, P.A.
301 East Pine Street, Suite 1400
Orlando, FL 32801
twilkes@gray-robinson.com

To Owner: Eagles Landing at Ocoee, Inc.
Attention: Randy June
June Engineering Consultants, Inc.
23 W. Joiner Street
Winter Garden, Florida 34787
randy@jec3.com

With a copy to: C. Nick Asma, *Esquire*
Asma & Asma, P.A.
884 South Dillard Street
Winter Garden, Florida 34787
Phone: 407-656-5750 | Fax: 407-656-0486
Nick.Aasma@asmapa.com

To Owner: Howey in the Hills, Ltd.
Attention: Edward J. Easton
10165 NW 19th Street
Miami, FL 33172

With copies to: Joe Hernandez
Weiss, Serota Helfman Cole and Bierman, P.L
2525 Ponce de Leon Blvd. Suite 700
Coral Gables, Florida 33134
jhernandez@wsh-law.com

Lennar
Attn. Mark McDonald
6675 Westwood Boulevard, 5th Floor
Orlando, Florida 32821
Mark.McDonald@Lennar.com

To Owner: ASF TAP FL I, LLC
3565 Piedmont Road NE, Bldg. 1, Suite 200
Atlanta, GA 30305
Attn: Dror Bezalel, CFO
[*add email address*]

With copies to:

20. Entire Agreement. The Developer's Agreement as amended by this First Amendment constitutes the entire agreement of the parties with respect to the transactions contemplated herein and supersedes all prior understandings or agreements among the parties relating to The Reserve PUD. No amendment to the Developer's Agreement, as amended hereby, shall be effective unless it is in writing signed by all parties hereto. Amendments to the Developer's Agreement will take effect and be binding against the Town only if approved by a vote of the Town Council.

21. Recording. This First Amendment shall be recorded in the Public Records of Lake County, Florida, by the Owners, at their expense.

22. Effective Date. This First Amendment shall become effective concurrently with the effectiveness of Ordinance 2022-____ after enactment of that ordinance by the Town Council and execution of this Agreement by all parties.

[Signatures on the following pages]

IN WITNESS WHEREOF, the parties have executed this instrument as of the day and year first above written.

**TOWN OF HOWEY-IN-THE HILLS,
FLORIDA**

By: its Town Council

By: _____
Martha MacFarlane, Mayor

Attest:

By: _____
John Brock, Town Clerk

Approved as to form and legality:
(for the use and reliance of the Town only)

By: _____
Thomas J. Wilkes, Town Attorney

STATE OF FLORIDA
COUNTY OF LAKE

The foregoing instrument was executed, sworn to and acknowledged before me by means of ____ physical presence or ____ online notarization, this ____ day of _____, 2022, by MARTHA MACFARLANE, as Mayor of TOWN OF HOWEY-IN-THE-HILLS, a Florida municipal corporation, on its behalf.

(SEAL)

Signature of Notary Public

Name of Notary Public
(Typed, Printed or stamped)

Personally Known ____ **OR** Produced Identification _____
(Type of Identification Produced)

IN WITNESS WHEREOF, the parties have executed this instrument as of the day and year first above written.

Signed, sealed and delivered
in the presence of:

“WITNESSES”

“OWNER”

EAGLES LANDING AT OCOEE, LLC,
a Florida limited liability company f/k/a Eagles
Landing at Ocoee, Inc., a Florida corporation

Printed Name: _____

By: _____

Printed Name: _____

As its: _____

Printed Name: _____

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was executed, sworn to and acknowledged before me by means of ____ physical presence or ____ online notarization, this ____ day of _____, 2021, by _____, as _____ of EAGLES LANDING AT OCOEE, LLC, a Florida limited liability company f/k/a Eagles Landing at Ocoee, Inc., a Florida corporation, on its behalf.

(SEAL)

Signature of Notary Public

Name of Notary Public
(Typed, Printed or stamped)

Personally Known ____ **OR** Produced Identification _____
(Type of Identification Produced)

IN WITNESS WHEREOF, the parties have executed this instrument as of the day and year first above written.

Signed, sealed and delivered
in the presence of:

“OWNER”

HOWEY IN THE HILLS, LTD., a Florida
limited partnership

“WITNESSES”

Printed Name: _____

By: _____
Printed Name: _____
Title: _____

Printed Name: _____

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was executed, sworn to and acknowledged before me by means of _____ physical presence or _____ online notarization, this _____ day of _____, 2022, by _____, as _____ of HOWEY IN THE HILLS, LTD., a Florida limited partnership, on its behalf.

(SEAL)

Signature of Notary Public

Name of Notary Public
(Typed, Printed or stamped)

Personally Known _____ **OR** Produced Identification _____
(Type of Identification Produced)

IN WITNESS WHEREOF, the parties have executed this instrument as of the day and year first above written.

Signed, sealed and delivered
in the presence of:

“WITNESSES”

“OWNER”

Printed Name: _____

ASF TAP FL I, LLC, a Delaware limited liability company

By: _____

Printed Name: _____

As its: _____

Printed Name: _____

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was executed, sworn to and acknowledged before me by means of ____ physical presence or ____ online notarization, this ____ day of _____, 2022, by _____, as _____ of **ASF TAP FL I, LLC**, a Delaware limited liability company, on its behalf.

(SEAL)

Signature of Notary Public

Name of Notary Public
(Typed, Printed or stamped)

Personally Known ____ **OR** Produced Identification _____
(Type of Identification Produced)

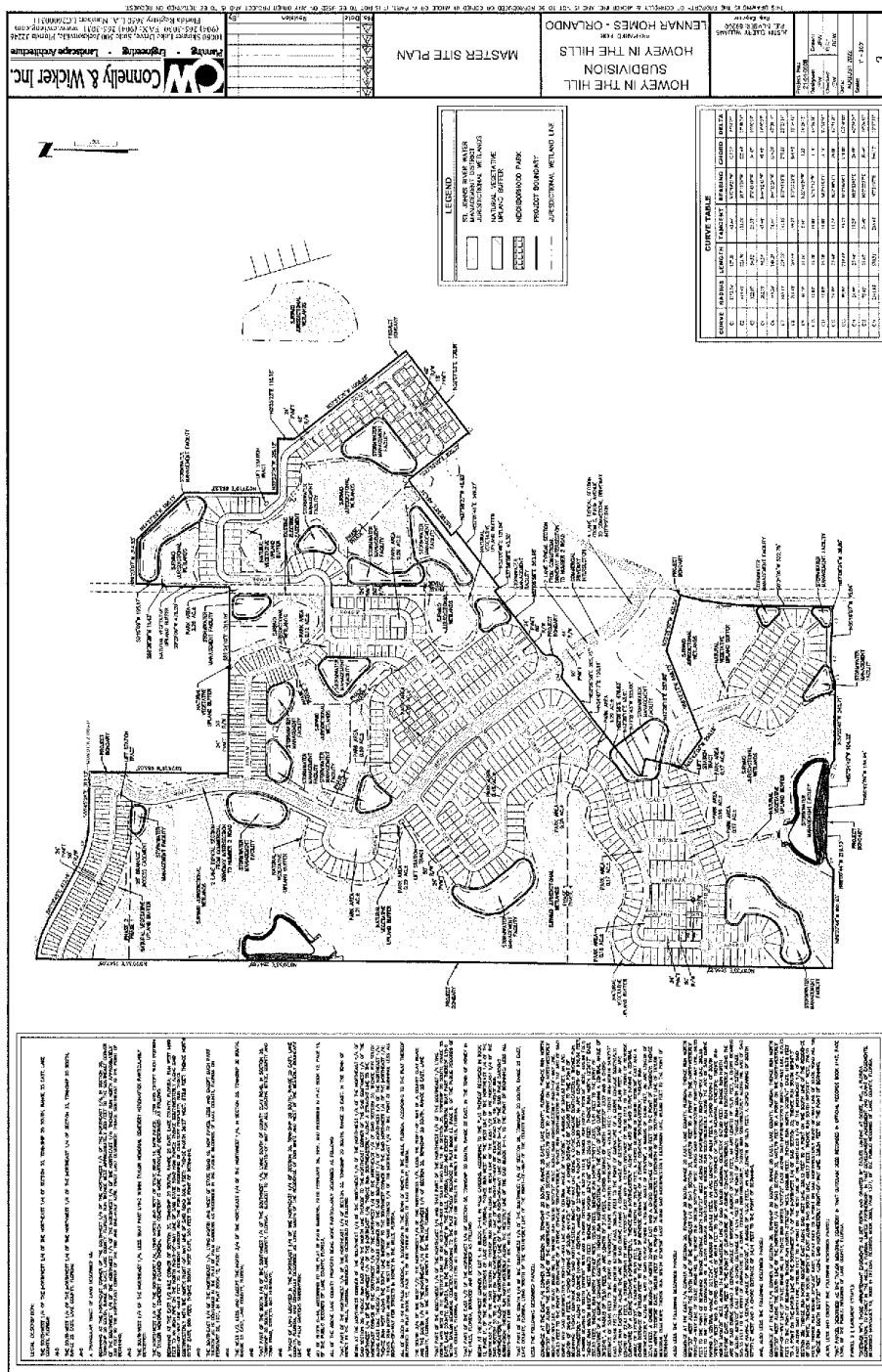
ATTACHMENT 1
to the
FIRST AMENDMENT
to
AMENDED AND RESTATED DEVELOPER'S AGREEMENT
for
THE RESERVE AT HOWEY-IN-THE-HILLS

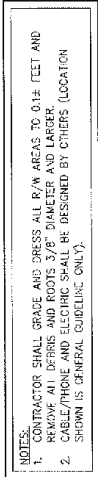
Master Site Plan dated August 2022

Typical Roadway Cross Section for 90' Right of Way

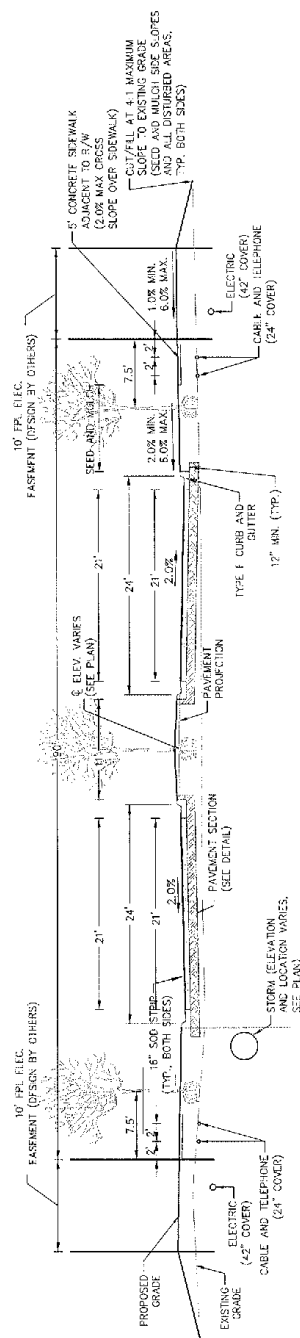
And

Typical Roadway Cross Section for 90' Right of Way
(4 lane section)





TYPICAL ROADWAY CROSS SECTION FOR 90' RIGHT OF WAY



- NOTES:
1. CONTRACTOR SHALL GRADE AND DRESS ALL R/W AREAS TO 0.1% TILT AND REMOVE ALL DEBRIS AND ROOTS 3/8\" DIAMETER AND LARGER.
 2. CABLE/PHONE AND ELEC. INC. SHALL BE DESIGNED BY OTHERS (LOCATION SHOWN IS GENERAL GUIDELINE ONLY).

TYPICAL ROADWAY CROSS SECTION FOR 90' RIGHT OF WAY
(4 LANE SECTION)

NTS



September 12, 2022

Town of Howey-In-The-Hills
Planning & Zoning Dept.
101 N. Palm Avenue
Howey-In-The-Hills, FL 34737

RE: Hillside Grove (fka. Reserve at Howey-in-the-Hills)
PUD Major Amendment PUD Ordinance 2004-322
CWI Job# 21-04-0008

To whom it may concern,

Please find the following items attached for your review of the above reference project:

- Redlined Master Site Plan
- Typical Section of 90' Right of Way with 2 lanes
- Typical Section of 100' Right of Way with 4 lanes

In addition to the above items, we submit the following summary of the revisions on the attached redlined Master Site Plan from the original approval PUD exhibit. The project has now begun detailed engineering design and a greater level of detail is now shown. Each number below corresponds with a number listed in red on the Master Site Plan

1. The roadway alignment has been revised to create a safer condition for both pedestrians and vehicles.
2. The entrance roadway connection to S. Palm Drive has shifted south approximately 250'.
3. The anticipated driveway apron locations to the commercial area are shown. Previously no driveway aprons were shown.
4. The spine road connecting S. Palm Avenue to has been reduced to a two lane section starting at the commercial driveway apron location north to Number 2 Road.
5. The emergency access adjacent to a stormwater pond at the north side of the project has been removed.
6. A roadway connection is added between phase 2 and phase 3 in lieu of a cul-de-sac in phase 2.
7. The driveway apron pictorially shown previously has been removed.
8. Lots are revised to be 50'x115' lots in lieu of 50'x80' lots.
9. A roadway connection is shown connecting all of phase 4 development.
10. Added stormwater management facility locations.
11. The phase line revised so that spine road connection to Number 2 Road is included in phase 1.

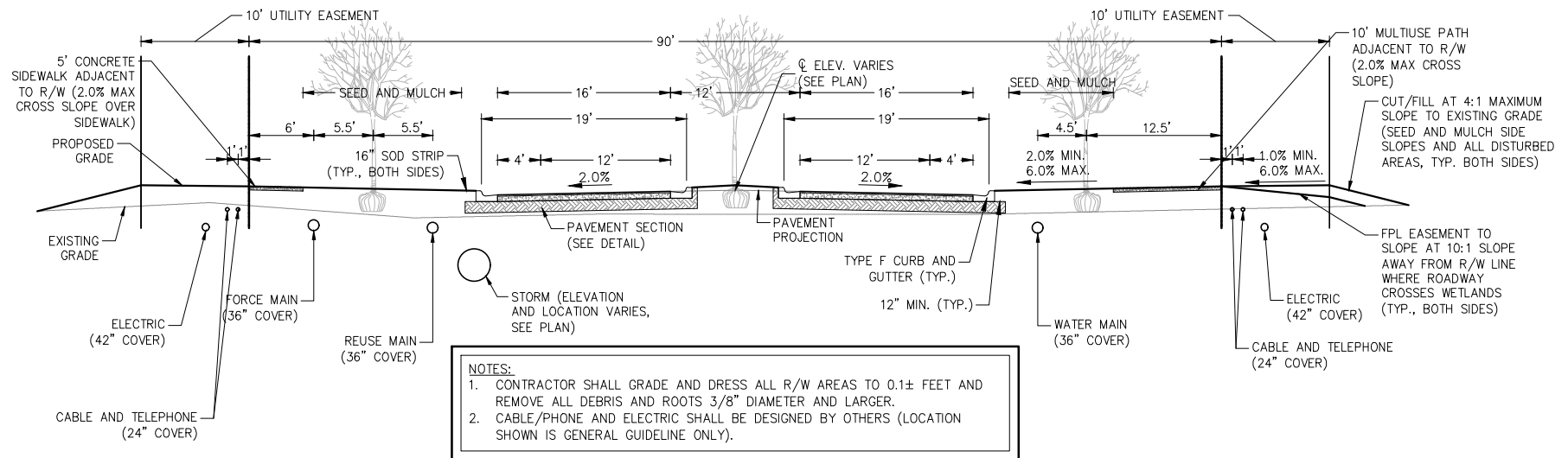
12. The right of way between S. Palm Drive to the project boundary is revised to be a 100' wide to allow for additional green space for tree plantings.
13. Other minor revisions that are a result of additional progress on detailed design that are not numbered but are identified here are:
 - a. Shifting of lot lines
 - b. Relocation of Pump Stations
 - c. Addition of Natural / Vegetative Upland Buffers
 - d. Pond banks and normal water lines more accurately depicted

We trust this information is sufficient for your review and approval of the PUD modification. Should you have comments or require additional information, please feel free to contact me at your convenience.

Sincerely,
Connelly & Wicker, Inc.

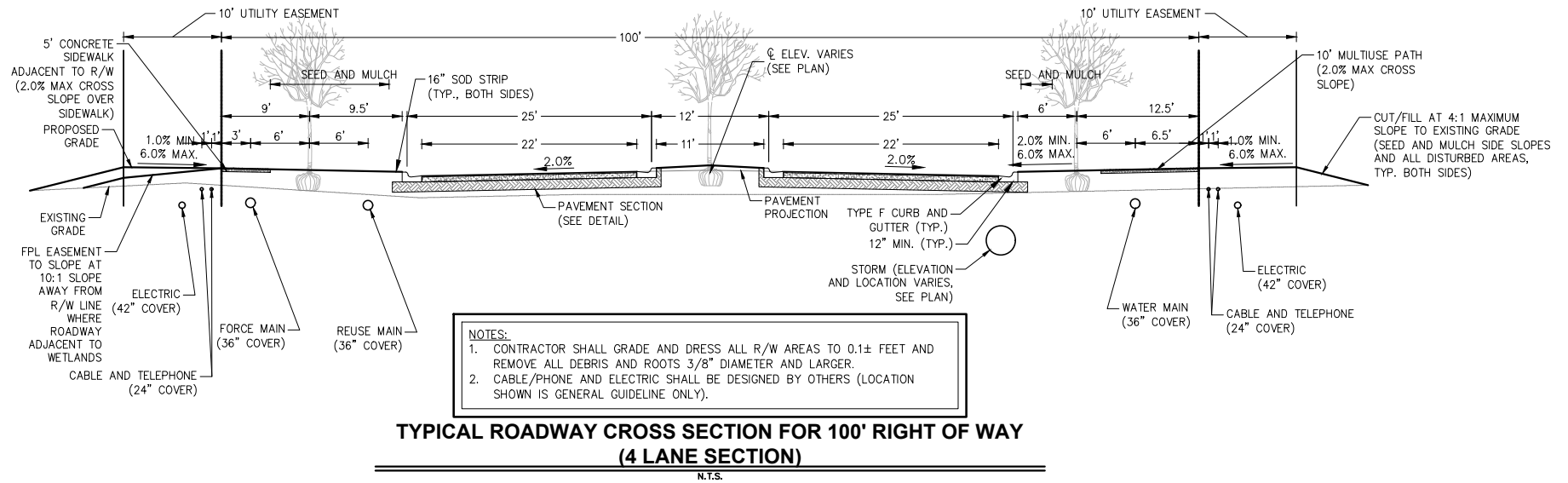
Richard C. Welch, P.E.
President

44



TYPICAL ROADWAY CROSS SECTION FOR 90' RIGHT OF WAY

N.T.S.



MEMORANDUM

September 12, 2022

Re: The Reserve at Howey in the Hills
Internal Spine Road Capacity Analysis
Town of Howey in the Hills, Florida
Project № 21082, v1.1

Traffic & Mobility Consultants (TMC) prepared a Traffic Impact Analysis (TIA) for The Reserve at Howey in the Hills project in November 2021. The TIA was reviewed and approved by the Town of Howey in the Hills early 2022. The approved TIA was based on a Site Plan that included a 4-lane divided boulevard, which serves as the main internal roadway (Road A in the PUD Plan) to the development. The spine road connects the main project entrance on SR 19 to the south and the secondary project entrance on Number 2 Road to the north.

The Developer of this project is proposing to modify the configuration of the internal spine road to have the 4-lane divided section that extends from SR 19 to the commercial driveway intersection, then dropping the road section to a 2-lane divided roadway from the commercial driveway intersection to Number 2 Road.

The purpose of this Technical Memorandum is to examine the capacity of the internal spine road (Road A) to ensure that the road can accommodate the projected traffic generated by the proposed development with the proposed change in the cross-section.

The peak hour directional capacity used in the traffic study for the internal spine road is 612 vehicles/hour for the 2-lane roadway section. The capacity of the 4-lane divided roadway section for the same roadway would be 1,314 vehicles/hour for a 4-lane divided roadway section. The traffic study prepared for this development shows a peak hour directional volume of 201 vehicles/hour in the westbound direction (traffic entering the site during the PM peak hour period) of the 2-lane internal divided roadway section of the spine road (Road A). Excerpts of the TIA report showing the projected AM and PM peak hour volumes are provided in the **Attachments**. Since the capacity of the 2-lane section is 612 vehicles/hour, it is evident that the roadway will have sufficient capacity to accommodate the projected traffic generated by the residential portion of the project.

As for the 4-lane divided section of the internal spine road (Road A) from SR 19 to the commercial driveway intersection, the projected traffic volume generated by the commercial outparcels had to be calculated, since it was not included in the TIA report.

Trip Generation Analysis

A trip generation analysis was conducted for the northern and southern commercial outparcels. Based on the developable land area for the commercial outparcels, it was assumed that the total buildings will be 230,000 square feet. The trip generation analysis was conducted using the Institute of Transportation Engineers (ITE) *Trip Generation Manual, 11th Edition*, and the resulting trip generation of the two (2) commercial outparcels are presented in **Table 1**.

Table 1
Trip Generation Summary (Commercial Outparcels)

ITE Code	Land Use	Size	Daily		AM Peak Hour				PM Peak Hour			
			Rate	Trips	Rate	Total	Enter	Exit	Rate	Total	Enter	Exit
820	Shopping Center (>150k)	230 KSF	37.01	8,512	0.84	193	120	73	3.40	782	375	407

Source: Trip generation analysis based on ITE *Trip Generation Manual, 11th Edition*
* ITE regression equations are used when R-squared is greater than 0.75

As shown above, the proposed commercial outparcels are projected to generate 8,512 daily trips, of which 193 trips occur during AM peak hour, and 782 trips occur during the PM peak hour.

Assuming all the commercial trips entering the site during the PM peak hour period will use the main spine road (Road A), which would be 375 vehicles/hour. Accordingly, the total peak hour directional traffic entering the site during the PM peak hour period would be 576 vehicles/hour (201 trips from the residential land uses + 375 trips from the commercial land uses). Since the capacity of the 4-lane divided roadway section is 1,314 vehicles/hour; therefore, the 4-lane section of the internal spine road (Road A) will have sufficient capacity to accommodate the projected traffic for The Reserve at Howey in the Hills development.

Queuing & Turn Lane Analysis

The maximum queue length was calculated at the left turn lane into the southern commercial tract was calculated to determine if there would be sufficient distance between SR 19 and the commercial entrance along Road A (Internal Spine Road). Based on the size of the southern commercial parcel proportionate to the total commercial parcels (northern & southern parcels), it was assumed that 40% of the entering commercial traffic during the PM peak hour period would turn left at the commercial entrance on Road A, which is calculated to be 150 vehicles/hour (375 vehicles/hour x 0.40). Based on roadway design speed of 35 mph, the required length of the westbound left turn lane at the intersection of Road A and Commercial Entrance was calculated as the total of the Deceleration Length plus the Queue Length as shown below:

Left Turn Lane = Deceleration Length + Queue Length

Deceleration Length @ 35 mph design speed = 145 feet (using FDM Exhibit 212-1)

Queue length = $2 \times 25 \times \text{Left Turn Volume (150 vehicles)}/60 = 125 \text{ feet}$

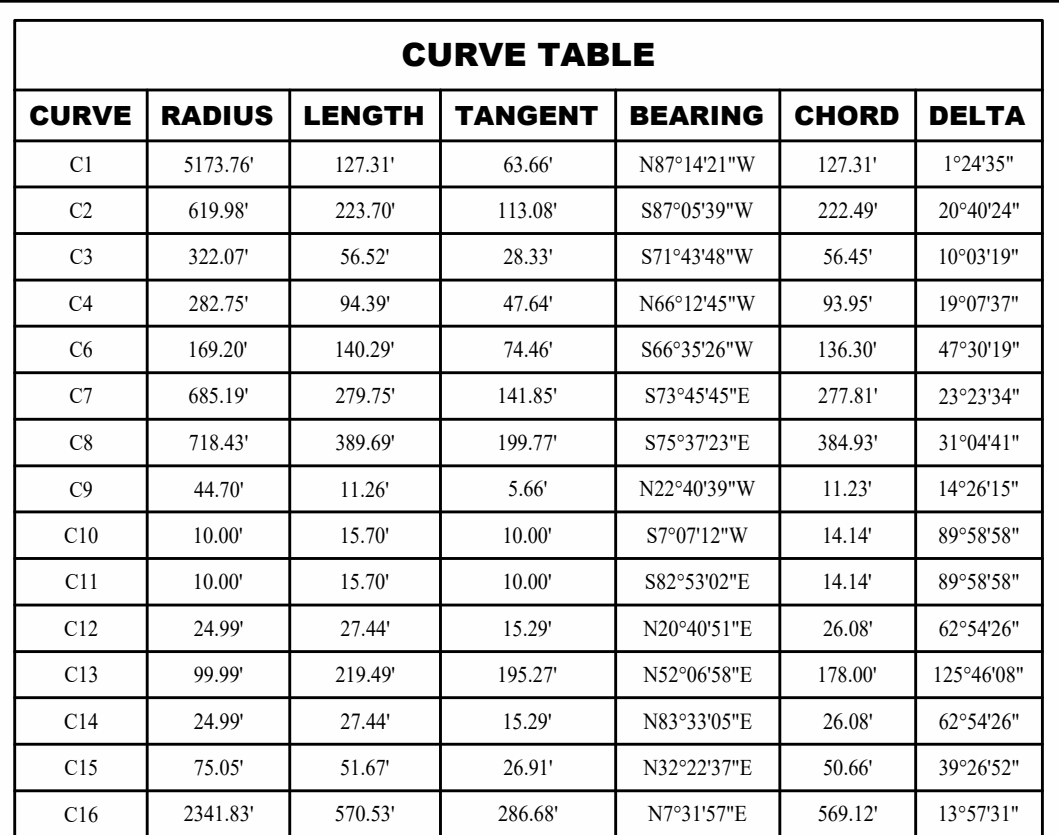
Left Turn Lane = 145+ 125 = 270 feet (including a 50-foot taper)

Summary & Recommendations

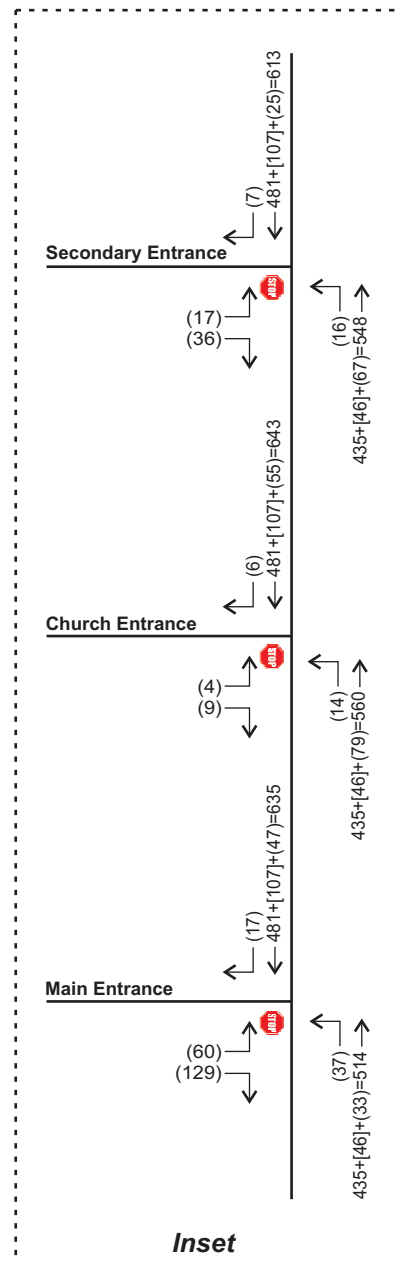
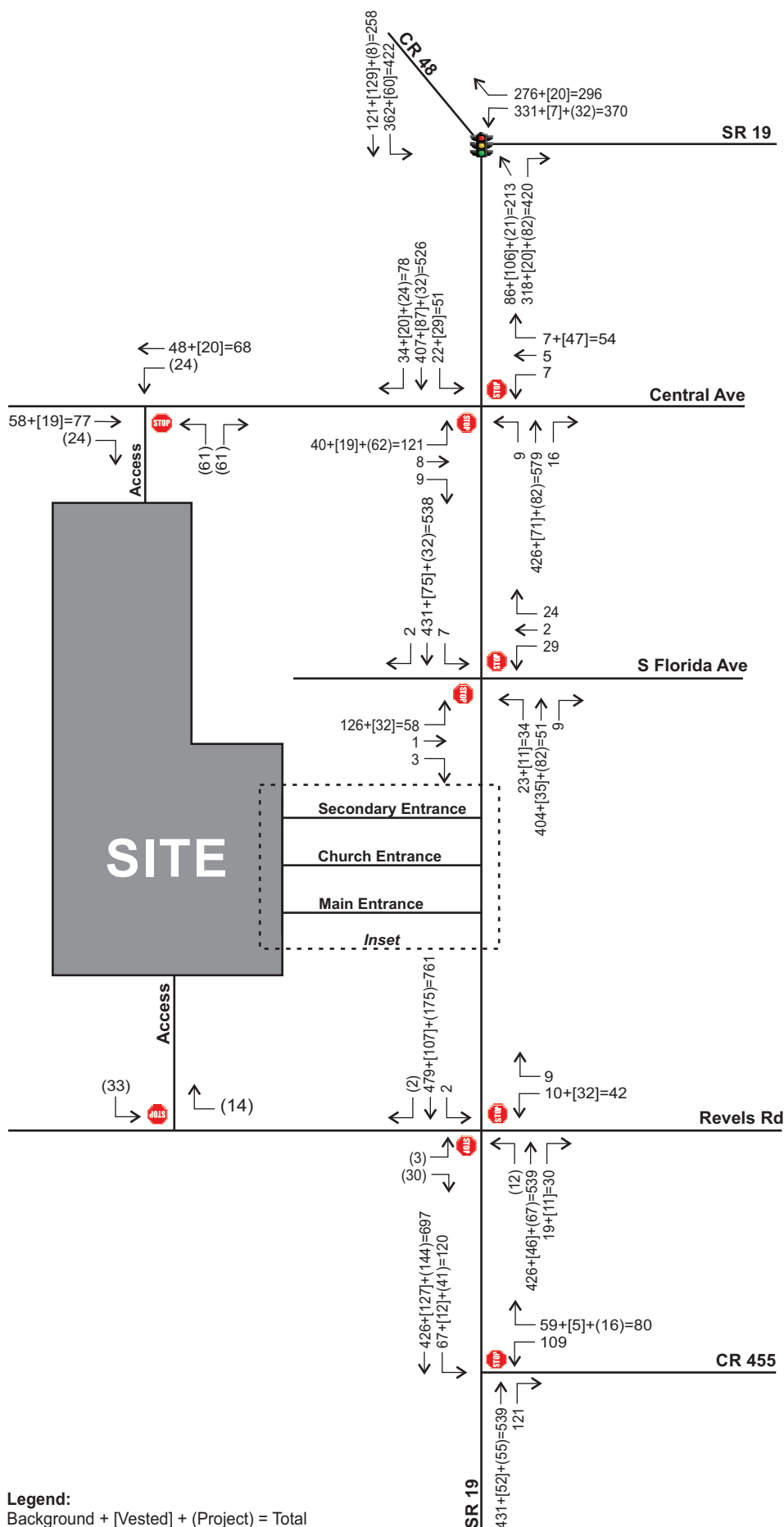
This technical memorandum supports the proposed modification of the Boulevard section through the residential area of the PUD to be a 2-lane divided roadway. Furthermore, with a maximum queue length for the westbound left turn calculated at 125 feet, a 270-foot left turn lane would be sufficient to accommodate the commercial traffic turning left into the southern outparcel. Since the distance between the main entrance on SR 19 and the commercial entrance on Road A (internal Spine Road) is approximately 500 feet, it is recommended to accept the proposed internal roadway design as shown on the latest site plan attached.

Attachments

TOGETHER WITH THOSE APPURTENANT EASEMENTS AS SET FORTH AND GRANTED BY EAGLES LANDING AT OCOEE, INC., A FLORIDA CORPORATION, TO HOWEY IN THE HILLS, A FLORIDA LIMITED PARTNERSHIP, IN THAT DEVELOPMENT AGREEMENT AND GRANT OF EASEMENTS, RECORDED NOVEMBER 10, 2005 IN OFFICIAL RECORDS BOOK 3003, PAGE 1377, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.



Sheet 3



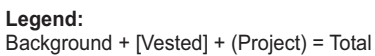
Projected AM Peak Intersection Volumes

The Reserve at Howey in the Hills
21082

Figure

5

52





TOWN OF HOWEY-IN-THE-HILLS, FLORIDA
GENERAL LAND DEVELOPMENT APPLICATION

101 N. Palm Avenue, Howey-in-the-Hills, Florida 34737

Phone: (352) 324-2290 • Fax: (352) 324-2126

Date Received:

Application ID:

Received By:

REQUESTED ACTION

- | | | |
|---|--|--|
| <input type="checkbox"/> Comp Plan Amendment | <input type="checkbox"/> Variance | <input type="checkbox"/> Site Plan (check one below) |
| <input checked="" type="checkbox"/> PUD | <input type="checkbox"/> Rezoning | <input type="checkbox"/> Preliminary |
| <input type="checkbox"/> Conditional Use | <input type="checkbox"/> Subdivision Minor | <input type="checkbox"/> Final |
| <input type="checkbox"/> Land Development Code Text | <input type="checkbox"/> Other | <input type="checkbox"/> Subdivision (check one below) |
| | | <input type="checkbox"/> Preliminary Subdivision |
| | | <input type="checkbox"/> Final Subdivision |
| | | <input type="checkbox"/> Final Plat |

Describe Request: PUD Major Amendment to Modify Boulevard Typical Section

APPLICANT INFORMATION:

Name: _____

E-Mail: _____

Address: _____

Phone: _____ Fax: _____

☐ Owner

☐ Agent for Owner

☐ Attorney for Owner

OWNER INFORMATION:

Name: HOWEY IN THE HILLS LTD

E-Mail: _____

Address: _____ C/O EASTON & ASSOC

Phone: 786-437-5806

_____ 10165 NW 19TH ST

Fax: _____

MIAMI FL 33172

PROPERTY INFORMATION:

Address: _____

General Location: SOUTH OF #2 ROAD, NORTH OF SR19Current Zoning: PUDCurrent Land Use: VMUParcel Size: 375.2 AC +/-Tax Parcel #: ATTACHEDLegal Description Attached ☒ Yes ☐ NoSurvey Attached ☒ Yes ☐ NoPre-Application Meeting Date: ATTACHED*(Attach Pre-Application Form)*Application Fee: \$ 3,000

Applicant's Signature: _____

*(Signature)**(Date)*Rob Bonin
(Print)

Owner's Signature: _____

*(Provide letter of
Authorization)**(Signature)**(Date)*_____
*(Print)***Applications must be complete to initiate the review process.**



HOWEY IN THE HILLS, LTD.
10165 NW 19th Street
Miami, Florida 33172
(786)437-5806
EWEaston@TheEastonGroup.com

April 14, 2021

TOWN OF HOWEY-IN-THE-HILLS
101 N. Palm Avenue
Howey-in-the-Hills, FL 34737

Re: Letter of Authorization

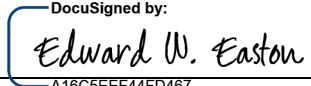
To Whom it may Concern:

The purpose of this letter is to provide notice that Howey in the Hills LTD as owner of The Reserve at Howey in the Hills, hereby authorizes Lennar Homes, LLC. as the applicant for the attached Modification to PUD Ordinance 2004-322 and to act on our behalf in regard to amending the PUD and any related approvals.

If you have any question or concerns, please do not hesitate to contact me.

Respectfully,

HOWEY IN THE HILLS, LTD.,
a Florida limited liability company

DocuSigned by:

By: _____
Print Name: Edward W. Easton



TMHConsulting@cfl.rr.com
97 N. Saint Andrews Dr.
Ormond Beach, FL 32174
PH: 386.316.8426

MEMORANDUM

TO: Howey-in-the-Hills Development Review Committee
CC: J. Brock, Town Clerk
FROM: Thomas Harowski, AICP, Planning Consultant
SUBJECT: The Reserve/Hilltop Groves First Major Amendment
DATE: August 30, 2022

The development team has submitted an application to amend the approved development agreement. This is the first major amendment to the adopted development agreement. The amendment has been triggered by the proposal to reduce the central collector road from four lanes to two lanes for most of the project length, but there are other revisions to the approved development plan that will need to be addressed and included as part of the amendment.

The Town will be adopting a revised preliminary subdivision plan as part of the amendment, but the adopting ordinance should include a list of all amendment items, so it is clear to all parties what is being approved. Once final action is taken by the Town Council, the adopting ordinance needs to be recorded in the public records to provide a document trail of the fully approved project. The planning comments are as follows:

1. The applicant should present a list of all revisions from the original approved preliminary subdivision plan so that the Town can be sure all items have been reviewed and included in the amending ordinance.
2. The applicant should review the text portions of the adopting ordinance to determine if there are other revisions that are needed or desired.
3. As one example, the plan set needs to include a maximum impervious area for each lot type. The lack of an impervious area number has been an issue with other new developments and needs to be added. The maximum impervious area then needs to be used as an input into the stormwater system design or an explanation needs to be provided as to why a different number is used. This number can be added to the plan set if desired rather than included in the text of the agreement. The maximum impervious area might be different for each of the housing types.

4. The revised roads D and F and the revised lot adjustments are recognized and acceptable. These changes could be considered a minor amendment, but we will include them in the overall amendment since other items are needed.
5. The reduction in the width of the central collector road from 4-lanes to 2-lanes with left turn lanes is acceptable from a speed control and safety perspective, but the applicant's traffic engineer needs to submit an analysis demonstrating that the reduced facility will still accommodate the projected traffic.
6. The transition from the 4-lane segment in the commercial area to the 2-lane segment in the residential area should be moved further north to allow more flexibility in locating access points to the commercial parcel.
7. The intersection designs at SR 19 and Number 2 Road are not fully detailed in the approved plan set. These intersection designs will be directed by FDOT and Lake County through their respective permit processes. When permitting is completed, these will be considered minor amendments to the development agreement.
8. The proposed amendment includes a revised road connection between Phase 2 and Phase 3 with the new alignment following Road B and Road N. The revised road alignment and associated adjustment to the residential lots is recommended for approval.
9. The new plan proposes a revision to the road network within the townhouse area adjacent to Number 2 Road. The approved plan shows a connection Number 2 Road at the west end of this road and not a terminal point. This area has 78 units and therefore requires a second access point. The applicant needs to provide for a second access point or reduce the number of units in the area below 50 units.
10. The revised plan proposes to eliminate the connection to the Town parcel at the intersection of the collector road and Number 2 Road. The Town still needs to retain the option to include a driveway connection. An access at this point could reduce emergency services response times to the project. To facilitate future driveway options, the collector road right-of-way needs to abut the Town parcel for the full length of the parcel if possible.
11. The revised plan proposes to eliminate the connection from Road EE/FF to Revels Road. This deletion is not acceptable. The approved design needs to be retained.
12. The applicant needs to revise the unit totals by type of unit and phase to reflect the current plan.
13. The proposed lot pattern along Road AA and Road Z appears to be different than the currently approved plan. The Town needs to verify that the unit totals by type remain unchanged or approve any revision to the product mix.

14. The revised cross-section for the collector road (Road A) shows 4-foot bicycle lanes on the 2-lane segment and no bicycle lane on the 4-lane segment. The agreement and the cross-section in the approved plan set shows a separate bicycle path. Both cross-sections need to be revised to reflect the bicycle path. Adding the two bicycle lane areas to one of the sidewalks will allow for a 12-foot-wide bicycle/pedestrian facility on one side of the road and save one foot of paved area. A decision should be made as to which side of Road A the bicycle path is to be located.
15. An intersection detail needs to be added where the bicycle path crosses intersection. The bicycle path should have some type of divider to make it clear automotive traffic is not permitted. Some type of pavement markings are appropriate as well.
16. With the 2-lane design, the central median has been reduced from 14-feet for the approved design to about 9 feet with the proposed design. This dimension seems a little skimpy for a quality landscape program and might be less than the minimum width needed for a protected left turn bay. The median in the 2-lane and 4-lane segments should be retained at 14 feet.

September 5, 2022
Hillside Groves – PUD Amendment
Engineering Review Comments
Page 1

1. Provide a volume and capacity evaluation to show that the 2-lane boulevard will be able to handle the projected future traffic.
2. The master site plan shows the multiuse trail on the east side of the spine road, but the cross-sections don't. Add the trail to the cross-sections, and label the trail on the site plan. Both cross-sections should call out a 5' sidewalk on the west side and a 10' trail on the east side.
3. The cross-section for the 4-lane boulevard needs to show 24' pavement width, not 21'.
4. Move the commercial driveway intersection further north to provide additional left turn lane decal & storage length for northbound vehicles.
5. All legs of all intersections need to provide full pedestrian accommodation including ADA curb ramps & crosswalks. Crosswalks are to be per FDOT Design Standards 2017-18 Index 17346 Sheet 12 of 17. The crosswalks at stop conditions should be standard crosswalks. The crosswalks not at a stop condition should be special emphasis.



August 26, 2022

Town of Howey-In-The-Hills
Planning & Zoning Dept.
101 N. Palm Avenue
Howey-In-The-Hills, FL 34737

RE: Reserve at Howey-in-the-Hills
PUD Major Amendment PUD Ordinance 2004-322
CWI Job # 21-04-0008

Dear Town of Howey in the Hills,

Please find the following items attached for the Major Amendment to the PUD to modify the Boulevard Section through the residential area of the PUD:

- Completed Application
- Letter of Authorization from the owner to Lennar
- 2 copies PUD Plans and supporting Roadway Section Drawings
- Flashdrive with Digital Copies
- \$3,000.00 Fee

Please let me know if you need anything else to be scheduled on the September 22, 2022 Planning and Zoning agenda and the following Town Council Meeting on October 10, 2022 and October 24, 2022.

Sincerely,
Connelly & Wicker Inc.

Richard C. Welch, P.E.
Project Manager



TMHConsulting@cfl.rr.com
97 N. Saint Andrews Dr.
Ormond Beach, FL 32174
PH: 386.316.8426

MEMORANDUM

TO: Howey-in-the-Hills Planning Board
CC: J. Brock, Town Clerk
FROM: Thomas Harowski, AICP, Planning Consultant
SUBJECT: Howey Self Storage Final Site Plan
DATE: September 9, 2022

The applicant is requesting approval of the final site plan for the Howey Self Storage project. This proposed development was included in The Reserve development first approved by the Town in 2007 and is now being presented for approval. The project consists of approximately 96,000 square feet of storage divided into 732 individual units. The project also includes a rental office of about 1,500 square feet. The project fronts on SR 19 just south of the intersection with Florida Avenue, but the project will not be directly accessed from SR-19. Access will be provided via a road along the south side of the project which primarily serves The Reserve/Hilltop Groves development. (This road is identified as Road B on the Hilltops Grove plan.) The self-storage project is currently proposed for development in two phases.

Adequate parking is provided with the rental office area and within the project adjacent to the storage units. A landscaped buffer will be provided along SR-19 and along the south side of the project to buffer the self-storage project from the residential area to the south. A wetland and stormwater retention area separates the project from properties along Florida Avenue and other residential areas within The Reserve.

The project has undergone a series of reviews at the Development Review Committee, and at the September 8, 2022, DRC meeting the committee and the applicant finalized a few conditions that are recommended for inclusion with the overall site plan approval. These include:

1. The project buildings fronting SR-19 must comply with design standards included in the overall agreement for The Reserve. The applicant agrees to the review of the construction drawing in comparison with the design included in the plan set at the time a building permit is requested.
2. The applicant intends to use a well for site irrigation rather than using potable water.

3. The applicant will add a note to the landscape plans requiring that any tree trimming done to the shade trees will be done in a manner consistent with the growth of the trees as shade trees.
4. The applicant will provide a standard cross-walk detail where the project sidewalk meets the entrance road. A supplemental detail is to be submitted.
5. The applicant will provide the Town copies of all required permits prior to the issuance of a Town building permit.
6. The applicant will document adequate turning radius for emergency vehicles on the internal driveways.

GRIFFEY ENGINEERING, INC.

September 5, 2022
Howey Self Storage
Engineering Review Comments
Page 1

1. Provide copies of all outside agency permits required for the project (SJRWMD, FDOT, FDEP, FWC, etc).
2. Provide standard crosswalk striping (FDOT Index 17346) at the entrance on SR 19 and a terminal sidewalk ramp on the west side of the new driveway.



TMHConsulting@cfl.rr.com
97 N. Saint Andrews Dr.
Ormond Beach, FL 32174
PH: 386.316.8426

MEMORANDUM

TO: Howey-in-the-Hills Development Review Committee
CC: J. Brock, Town Clerk; S. O'Keefe, Town Administrator
FROM: Thomas Harowski, AICP, Planning Consultant
SUBJECT: Howey Self Storage Site Plan
DATE: September 1, 2022

This review is based on the staff report dated May 4, 2022 and the plan set dated August 29, 2022. The "Planning Considerations" comments have been addressed with the following notes:

- The building design compliance for the buildings fronting on SR 19 will be reviewed for compliance with the plan when the building permits are submitted.

The landscape comments have been addressed with the following notes:

- The water source for irrigation was to be reviewed to determine if there is an alternate source other than potable water. Is an alternate source feasible?
- We understood the 30-inch camphor tree was to be preserved, but the landscape plans call for its removal. Why is this change occurring?
- Please add a note to the landscape plans directing that trimming of canopy trees and understory trees is to be done consistent with the natural shape of the trees. Shade trees and understory trees are not to be trimmed like topiaries.



August 29, 2022

John Brock, Town Clerk
Planning Department
Town of Howey in the Hills
101 N. Palm Avenue
Howey-in-the-Hills, FL 34737

RE: HOWEY SELF STORAGE

Mr. Brock,

Please accept this letter and attachments as our response to the DRC comments dated May 4, 2022. We have addressed each comment below as they appeared in the DRC memorandum.

Planning Considerations

1. Please provide a survey as a separate page. It was very difficult to review the survey when it is used as a base for other pages.

RESPONSE: The survey has been added as a separate page on sheet 5b.

2. Please make sure the plans include the following required site plan data. Dimensions of all buildings, parking calculations, stop signs and stop bars, etc. Review Section 4.03.18 to check that all applicable items have been included.

RESPONSE: Parking calculations and additional building dimensions have been added to sheet 3. Stop bars & signs have been added and called out on sheets 4 and 6.

3. The plan set shows intersection improvements on SR 19 at the Florida Avenue/Venezia Boulevard intersection. Are these improvements part of the proposed project? Is FDOT requiring these improvements?

RESPONSE: The only improvement near the Florida Avenue intersection is our connection to the existing water main. We have toned down the existing striping, piping, etc. to show more clearly.

4. The plan set shows a building concept that follows the design component of the development agreement. Verification of the building design details will be done with the application for the building permit. The applicant needs to be careful to include the detailed design elements with the building construction plans.

RESPONSE: Details of the proposed building design will be submitted separately with the building permit.

5. The construction of the sidewalk on SR-19 is required by the project. Section E on page 4 covers the sidewalk area but does not show the sidewalk as part of the cross-section. Please update the cross-section to show the sidewalk. (This same cross-section appears with the landscape plans and needs to be corrected in all locations.)

RESPONSE: The sidewalk has been added to section E on sheet 4.

6. The sign needs to be setback at least 10 feet from the south property line. Landscaping should be included around the base of the sign.

RESPONSE: The sign has been located 15 feet from the south property line and a small hedge placed around the perimeter of the sign has been added.

7. It looks like one of the pole-mounted lights at the front of the project is located in the driveway entrance. Please move the pole to a safer location.

RESPONSE: Pole-mounted light has been relocated out of the drive lane..

Landscaping and Irrigation Considerations

1. The landscape plans need to be sealed by a qualified landscape architect unless the applicant can document an exception to this requirement.

RESPONSE: Plans signed by our Landscape Architect.

2. Buffer requirements per code are a minimum of 15-feet when adjacent to a street and 10-feet when adjacent to an interior property line. The Boyer Singleton Plan called for a 10-foot buffer on the south side of the property, and the Boyer Singleton plan will be applied. The most recent plans have eliminated the planting in the buffer, and the plantings need to be restored consistent with the buffer content requirements. Section A on page 4 shows trees, but these are not shown on the landscape plans. As shown the trees are too close to the wall and need to be moved outboard.

RESPONSE: Landscaping has been modified to show the landscaping along the south side of the property and the wall has been relocated to allow the planting of the trees.

3. The applicant should dimension the front buffer and document the specified width of the buffer on SR-19. The application of the 75-foot setback from the SR-19 centerline was based on increased landscaping, and this consideration should be included in the front buffer analysis. The applicant needs to document the plant content in the front buffer meets the code requirements.

RESPONSE: Buffer along SR19 is 22 feet from the property line and 72.5' from the centerline.

4. The SR 19 buffer should present more of a free-flow layout. Mass some of the shrubs into planting beds and place some of the understory trees into groupings.

RESPONSE: See revised landscape plans.

5. The swales in the front buffer and the side buffer are negatively impacting the landscape design, the swales need to be removed.

RESPONSE: Swales have been relocated as to not negatively impact the landscape design.

6. The code for non-residential buffers requires one canopy tree, two understory trees and 30 linear feet of shrubs per each 50 linear feet of buffer. The planting plan needs to be amended to conform to these requirements.

RESPONSE: See revised Landscape plan.

7. Landscaping for the parking area with the office needs further modification. The landscaped islands require ground cover and shrubs per 7.05.01 B. Just showing mulch is insufficient.

RESPONSE: See revised Landscape plan.

8. The Town has recently adopted revised irrigation standards, and the plan is being reviewed for compliance with these standards.

RESPONSE: See revised Landscape plan.

9. Is there another feasible water source for irrigation other than potable water?

RESPONSE: We will look into using a well on site.

10. Earlier reviews noted at least one large tree (30-inch camphor) near the perimeter of the retention area. Is this tree still present on site? Do the plans show preservation of the tree?

RESPONSE: The 30 inch Camphor has been shown on the revised plans. This tree will be saved. It is within the upland buffer and is not proposed to be removed.

Engineering Comments

1. The plan needs to incorporate the town's new standard details.

RESPONSE: The plan detail sheets have been revised with the most recent Town details.

2. The proposed access drive from the site is too close to SR 19. It needs to be moved further away from the right-of-way/property line to allow for vehicle movement into and out of the site as well as vehicle queuing on the Hillside Groves (Reserve) road connecting to SR 19.

RESPONSE: As per our discussion we have shifted the proposed entrance.

3. Provide a vehicle turning evaluation of the project. Demonstrate for the entrance and the internal areas of the site, that it can be successfully navigated by a passenger vehicle pulling and trailer and a fire truck.

RESPONSE: We have added sheet 5a to show the truck turning radii.

4. Will this project construct the road segment connecting to SR 19? If so, it needs to conform to the attached concept plan for SR 19 improvements.

RESPONSE: Plans have been revised to show our entrance to be consistent with the over concept plan.

5. Remove the drainage swale from the landscape buffer.

RESPONSE: The drainage swale has been removed from the landscape buffer.

6. Provide crosswalk striping between the onsite curb ramps.

RESPONSE: Proposed crosswalk striping has been called out on sheet 3.

7. Field-locate the existing 4" water main from your project's SW corner to the east side of Florida Avenue and add it into your offsite improvement plan. Depending on its location, the town may choose to keep it operational. If it is not needed, the unused portion should be removed, and not abandoned in place.

RESPONSE: The existing 4" water main has been shown on sheet 6 of the revised plans. We have shown this main to remain.

8. Show on the plan how and where the exiting 4" will tie in to the new 12". It should be west of the new road connection.

RESPONSE: The connection to the existing 4" WM has been show west of our proposed new driveway access.

9. Update the Utility Connection Detail on sheet 6 to add the ex. 4" WM, correct the new WM size, remove the FM connection note.

RESPONSE: The FM connection note has been removed.

10. Identify on the plan the water main jumper locations and BacT testing points. Add the town's temporary jumper detail PW-5A.

RESPONSE: Sample points SP-1, SP-2 and SP-3 are shown on sheet 6. The temporary jumper detail is shown on sheet 9.

We hope that all of your comments have been addressed and will allow for your approval. Please let us know if you have any additional comments or questions. Thank you.

Sincerely,

Jeffrey A Sedloff

Jeffrey A. Sedloff, P.E.
JUNE ENGINEERING CONSULTANTS, INC.

CONSTRUCTION PLANS

FOR

Howey Self Storage

S.R. 19

HOWEY IN THE HILLS, FLORIDA

LAND DESCRIPTION (EAGLES LANDING AT OCDEE, INC. PARCEL)(VILLAGE 4 OF THE RESERVE AT HOWEY IN THE HILLS)

COMMENCE AT THE EAST 1/4 CORNER OF SECTION 35, TOWNSHIP 20 SOUTH, RANGE 25 EAST, LAKE COUNTY FLORIDA; THENCE RUN N89°21'35"W ALONG THE SOUTH LINE OF THE NORTHEAST 1/4 OF SAID SECTION 35, 1487.79 FEET TO A POINT ON THE NORTHWESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 19; THENCE RUN N52°07'27"E ALONG SAID NORTHWESTERLY RIGHT-OF-WAY LINE, 673.75 FEET TO THE POINT OF BEGINNING; THENCE RUN N37°53'02"W, 1008.88 FEET; THENCE RUN N00°35'47"E, 116.78 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 35; THENCE RUN S89°24'13"E ALONG SAID NORTH LINE, 270.08 FEET TO A POINT ON THE WEST LINE OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 35; THENCE RUN N00°35'58"E ALONG SAID WEST LINE, 256.12 FEET TO A POINT ON THE SOUTH LINE OF THE RESIDENCE OF DON WHITE; THENCE RUN S89°24'13"E ALONG SAID SOUTH LINE, 418.17 FEET; THENCE RUN S00°35'47"W, 709.10 FEET; THENCE RUN S37°52'33"E, 317.47 FEET TO A POINT ON SAID NORTHWESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 19; THENCE RUN S52°07'27"W ALONG SAID NORTHWESTERLY RIGHT-OF-WAY LINE, 329.54 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 11.978 ACRES MORE OR LESS.

LAND DESCRIPTION (HOWEY IN THE HILLS, LTD. PARCEL)

HOWEY FROM E 1/4 COR OF SEC 35-20-25 RUN N 89-21-35 W 1487.79 FT TO NWLY R/W LINE OF SR 19, N 52-07-27 E ALONG SAID NWLY R/W LINE 1003.29 FT FOR POB, RUN N 37-52-33 W 317.47 FT, N 0-35-47 E 709.10 FT, S 89-24-13 E TO NW COR OF LOT 1 BLK D-14 OF PALM GARDENS SUB, SE'LY ALONG SAID WLY LINE OF BLK D-14 OF PALM GARDENS SUB TO NWLY LINE OF SR 19, SWLY ALONG SAID R/W LINE TO POB ORB 3003 PG 1362 ORB 3446 PG 103

THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 11.00 ACRES MORE OR LESS.

DEVELOPER:	HOWEY SELF STORAGE C/O P.O. BOX 770609 WINTER GARDEN, FL. 34777-0609	(407) 905-8180
ENGINEER:	JUNE ENGINEERING CONSULTANTS P.O. BOX 770609 WINTER GARDEN, FL. 34777-0609	(407) 905-8180
SURVEYOR:	BISHMAN SURVEYING & MAPPING 13610 GRANVILLE AVENUE CLERMONT, FL. 34711	(407) 905-8877
GEOTECHNICAL ENGINEER:	YOVAISH ENGINEERING SCIENCES, INC. 953 SUNSHINE LANE ALTAMONTE SPRINGS, FL. 32714	(407) 774-9383
ENVIRONMENTAL CONSULTANT:	BIO-TECH CONSULTING, INC. 2002 EAST ROBINSON STREET ORLANDO, FL. 32803	(407) 894-5969
UTILITIES	Water Sewer Telephone Electric	Town of Howey in the Hills Town of Howey in the Hills Centurylink Duke Energy

February 4, 2008
Revised June 1, 2022



Location Map

INDEX OF SHEETS	
SHEET TITLE	No.
Cover Sheet	1
Site Plan - Overall	2
Site Plan - Utilities	3
Site Plan - Paving & Drainage	4
Design Requirements	4a
SWPPP	5
Truck Turn Radius Plan	5a
Survey - Boundary & Topo	5b
Offsite Improvements	6
FDOT Details	7
Standard Details	8-9
Lift Station Detail Sheet	10
Landscape Plan	L-1
Irrigation Plan	I-1
Photometric Plan	P-1

GENERAL NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE TOWN OF HOWEY-IN-THE HILLS STANDARDS AND SPECIFICATIONS AND TO THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, MOST RECENT EDITIONS.
- ALL DISTURBED AREAS SHALL BE GRASSED UPON COMPLETION OF CONSTRUCTION.
- ALL LANDSCAPING SHALL CONFORM TO THE TOWN OF HOWEY-IN-THE HILLS LANDSCAPE CODE, MOST RECENT ADDITION.
- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES.
- THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE OF THE SITE TO THE SPILLWAYS AS INDICATED BY GRADES AND FLOW ARROWS.
- UTILITIES SHOWN WERE LOCATED FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION ALL UTILITY COMPANIES AND FOR THE LOCATION AND PROTECTION OF ALL UTILITIES THAT MAY EXIST.
- EXISTING ZONING OF THE SUBJECT SITE IS PCD.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE EROSION AND SEDIMENT CONTROL THROUGHOUT THE CONSTRUCTION PHASE WHICH SHALL INCLUDE, BUT NOT LIMITED TO THE PLACEMENT OF SILT FENCES, STACKED HAY BALES OR OTHER SIMILAR STRUCTURES ALONG THE PERIMETER OF THE SITE. THIS WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT AND THE FLORIDA DEPARTMENT OF TRANSPORTATION AS OUTLINED IN F.D.O.T. STANDARD INDEX #102 & CITY CODE. THE CONTRACTOR SHALL PROVIDE AN EROSION PROTECTION PLAN, PRIOR TO PRE-CONSTRUCTION MEETING.
- REMOVE ALL STRIPPINGS AND UNCLASSIFIED MATERIALS OFFSITE AND DISPOSE OF IN LEGAL MANNER.
- FILL TO BE PLACED AND COMPACTED TO A MINIMUM 95% MAXIMUM DENSITY (PER AASHTO T-180)
- JUNE ENGINEERING CONSULTANTS, INC. SHALL BE NOTIFIED IMMEDIATELY OF ANY PROBLEMS REQUIRING DEVIATION FROM THESE PLANS AND SPECIFICATIONS.
- ALL PAVEMENT SHALL BE GRADED TO OBTAIN A MINIMUM GRADE OF 0.50% AND SHALL DRAIN POSITIVELY TO ALL INLETS OR SPILLWAYS.
- CONTRACTOR SHALL PROVIDE AND COORDINATE PLACEMENT OF ANY REQUIRED UNDERGROUND CONDUITS NECESSARY FOR PLACEMENT OF UTILITIES (TELEPHONE, ELECTRIC, CABLE, ETC.) AND THE SPRINKLER SYSTEM.
- CONTRACTOR SHALL PROVIDE JUNE ENGINEERING CONSULTANTS WITH AS-BUILT INFORMATION ON THE FOLLOWING: LOCATIONS AND INVERTS OF ALL UTILITIES AND STORM STRUCTURES; PAVEMENT LOCATIONS AND GRADES; AND POND GRADES SHOWN ON PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE NOTIFICATION, LOCATION & PROTECTION OF ALL UTILITIES THAT MAY EXIST. WITHIN THE PROJECT LIMITS.

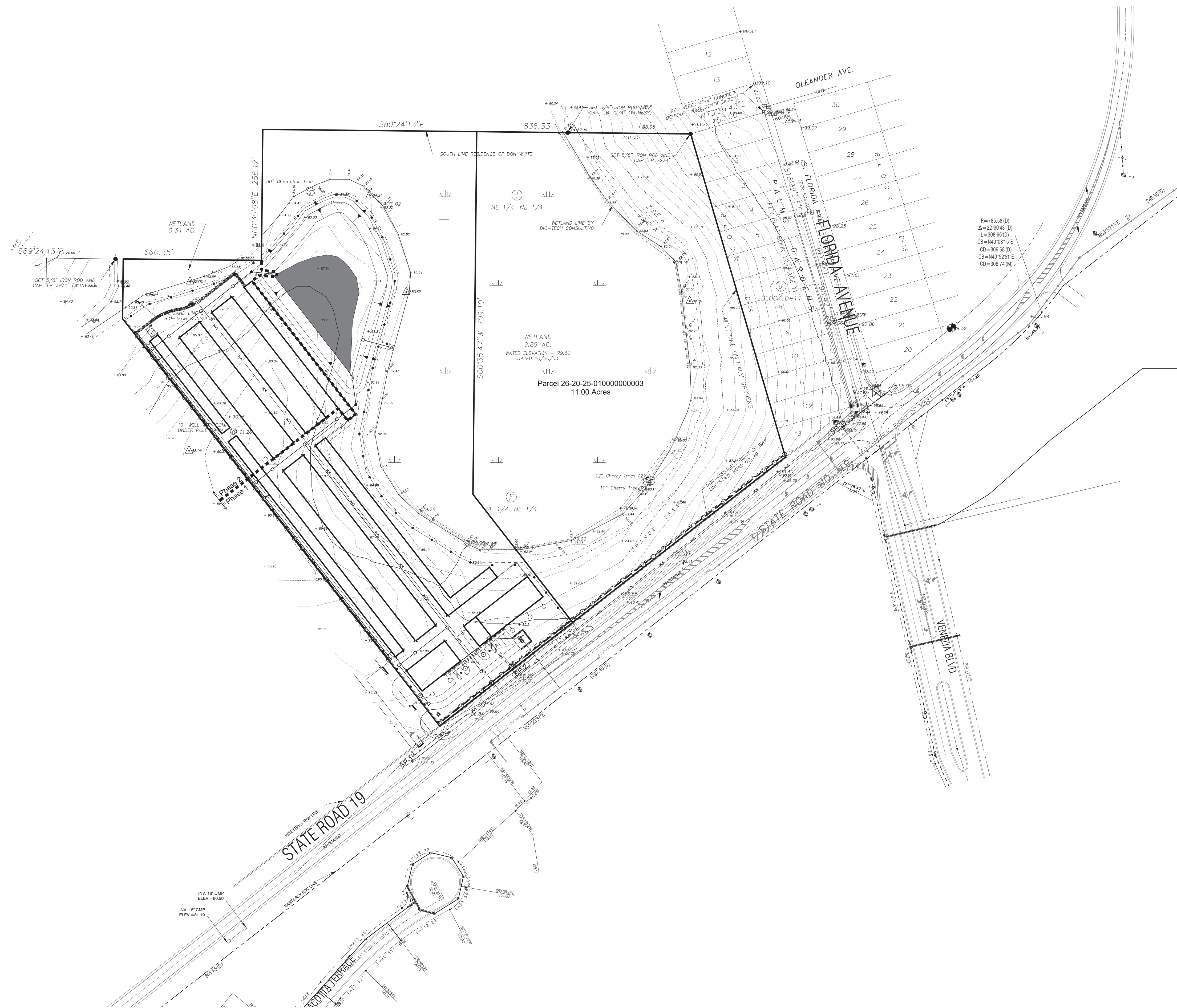


june engineering
consultants, inc.

23 W. Joiner Street
Winter Garden, FL 34787
Ph. 407-905-8180
Fax 407-905-6232

Certificate of Authorization #00031567

JEFFREY A. SEDLOFF
PE # 51506



DATE	REVISION
11/17/09	FDOT / Town Comments
6/21/21	Town Comments
8/23/21	Town Comments
2/16/22	Town Comments
6/1/22	Town/FDOT Comments

Site Plan – Overall
Howey Self Storage



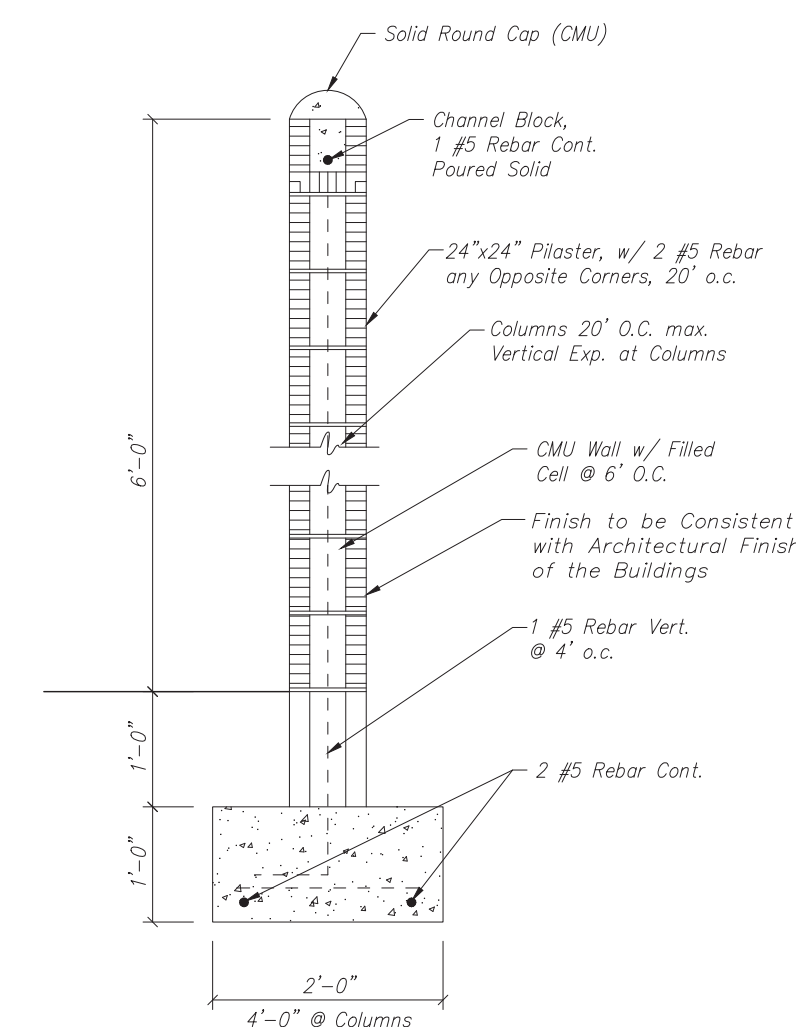
june engineering
consultants, inc. | 23 W. Joiner Street
Winter Garden, FL 34787
Ph. 407-905-8180
Fax 407-905-6232
Certificate of Authorization #00008507

JEFFREY A. SEDLOFF
PE# 51506

JOB NO.
07-0398
SHEET
2
OF 10

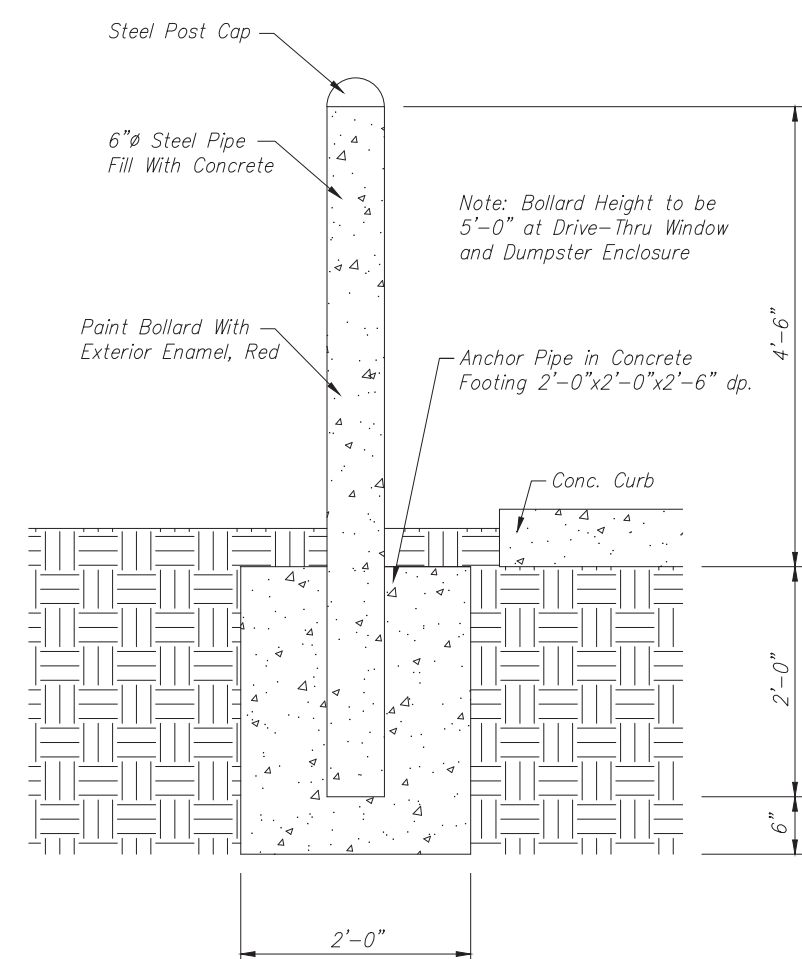
LEGEND	
Existing Contours	
Lot Number	
Direction of Flow	
Existing Grade	
Proposed Grade	
Water Main	
Sanitary Sewer	
Stormpipe	
Fire Hydrant	
Storm Inlet	
Concrete	
Gate Valve	
Water Blowoff	





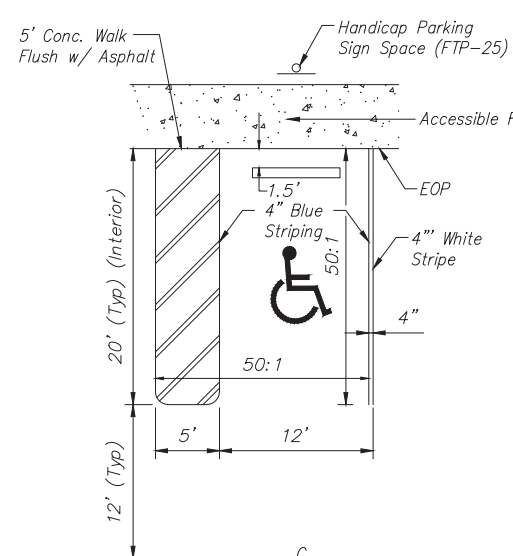
TYPICAL WALL SECTION

N.T.S.



STEEL PIPE BOLLARD DETAIL

N.T.S.



Note: PARKING STALLS SHALL BE MARKED WITH WHITE & BLUE PAINT PER FLORIDA ACCESSIBILITY CODE SECTION 4.6.1.

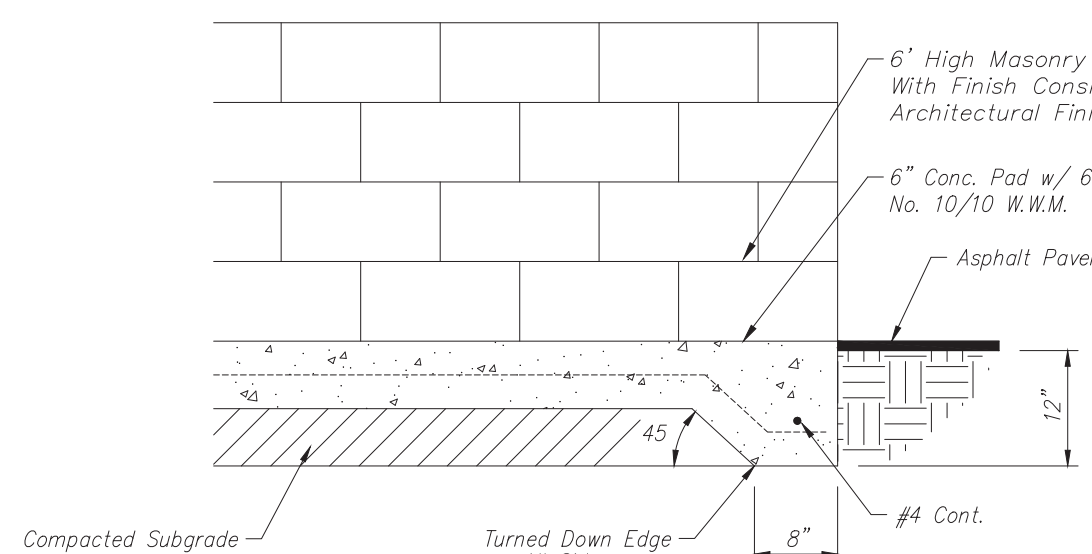
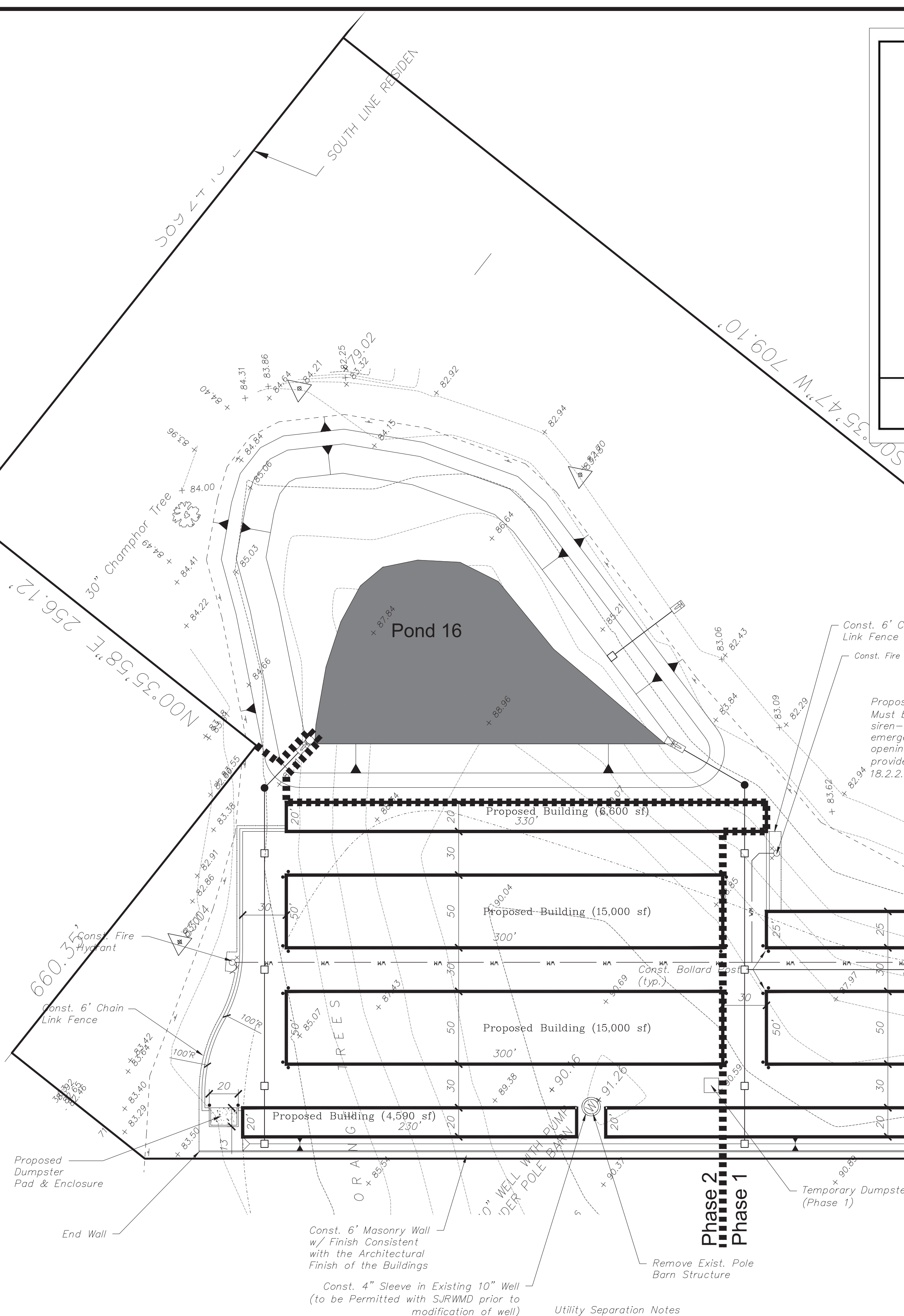
ACCESSIBILITY: A) IN ACCORDANCE WITH THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION, 4.1.3 SECTION (1), DATED OCT. 1996, AT LEAST ONE ACCESSIBLE ROUTE COMPLYING WITH 4.1.3 SHALL CONNECT ACCESSIBLE BUILDING OR FACILITY ENTRANCES WITH ALL ACCESSIBLE SPACES AND ELEMENTS WITHIN THE BUILDING OR FACILITY. DOOR ACCESSING THE BUILDING MUST BE DEPICTED ON SITE PLAN. RAMP DETAILS WITH SLOPE INFORMATION SHALL BE DEPICTED ON SITE PLAN. B) THE LOCATION OF HANDICAPPED PARKING STALLS, LOADING ZONES, SIDEWALKS AND RAMP ON SITE SHALL MEET CHAPTER 316.1955 OF THE FLORIDA STATUTES AND SECTION 4.1.3 OF THE FLORIDA ACCESSIBILITY CODE. CURB RAMP SHALL NOT EXCEED 1:12 SLOPE. PARKING SPACE AND AISLE SHALL NOT EXCEED 50:1 CROSS-SLOPE. (TLO 11-26-96) 12-11-96.

NOTE: (HANDICAP SIGN ONLY)

- ALL LETTERS SHALL BE BLACK AND SHALL CONFORM TO FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS.
- TOP PORTION OF SIGN SHALL HAVE REFLECTORIZED (ENGINEERING GRADE) BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.
- BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK BORDER.
- ONE SIGN REQUIRED FOR EACH PARKING SPACE.
- HEIGHT OF SIGN SHALL BE 7' ABOVE GROUND IN ACCORDANCE WITH FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS.

HANDICAP SYMBOL & SIGN

N.T.S.



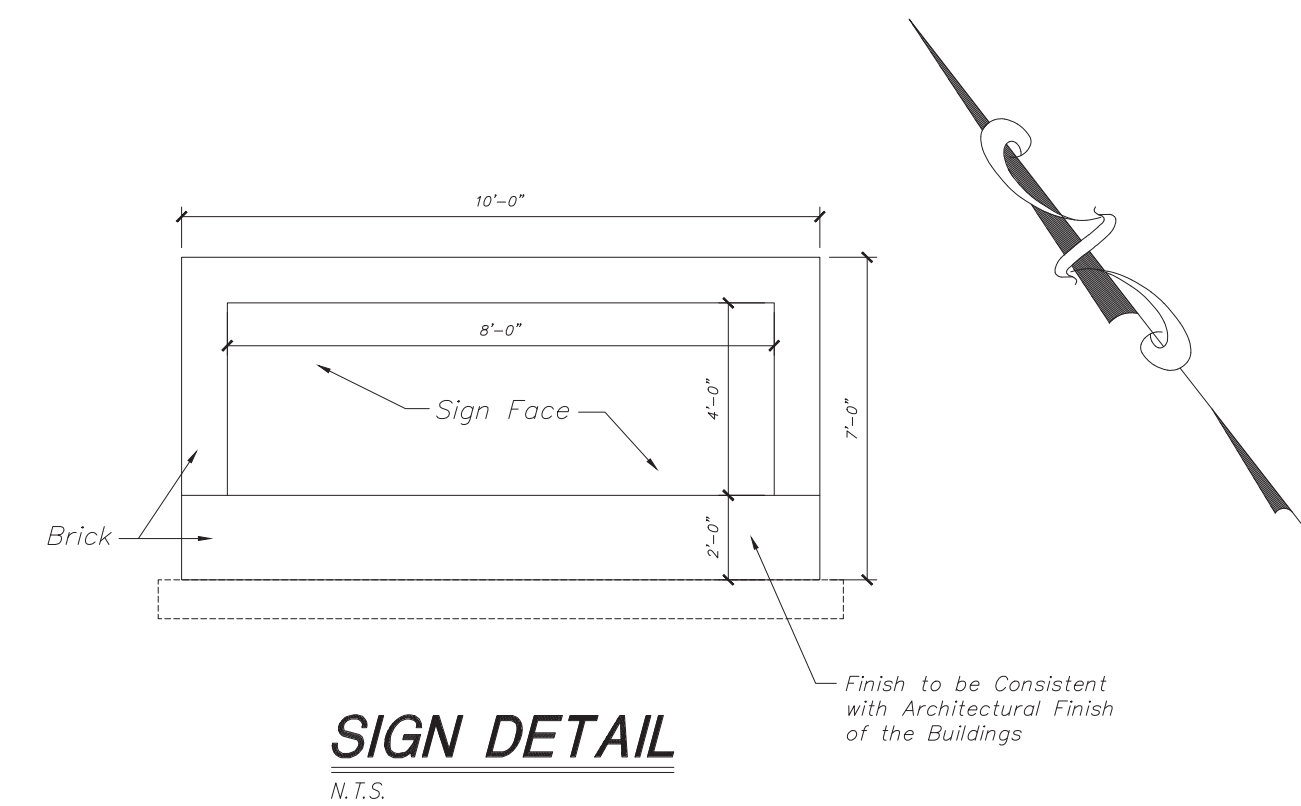
DUMPSTER PAD

N.T.S.

Other Pipe	Horizontal Separation	Crossings (1)	Joint Spacing & Crossings (Full Joint Centered)
Storm Sewer, Stormwater Force Main, Reclaimed Water (2)	Water Main 3 ft. minimum	Water Main 12 inches is the minimum, except for storm sewer, then 6 inches is the minimum and 12 inches is preferred	Alternate 3 ft. minimum
Vacuum Sanitary Sewer	Water Main 10 ft. preferred 3 ft. minimum	Water Main 12 inches preferred 6 inches minimum	Alternate 3 ft. minimum
Gravity or Pressure Sanitary Sewer, Sanitary Sewer Force Main, Reclaimed Water (4)	Water Main 10 ft. preferred 6 ft. minimum (3)	Water Main 12 inches is the minimum, except for gravity sewer, then 6 inches is the minimum and 12 inches is preferred	Alternate 6 ft. minimum
On-Site Sewage Treatment & Disposal System	10 ft. minimum	---	---

(1) Water main should cross above other pipes. When water main must be below other pipes, the minimum separation is 12 inches.
(2) Backflow water regulated under Part III of Chapter 62-610, F.A.C.
(3) 3 ft. for gravity sanitary sewer where the bottom of the water main is laid at least 6 inches above the top of the gravity sanitary sewer.
(4) Backflow water not regulated under Part III of Chapter 62-610, F.A.C.

Disclaimer: This document is prepared for your convenience only. Please refer to F.A.C. Rule 62-610.1 for additional construction requirements.



SIGN DETAIL

N.T.S.

Parking Calculation

Storage Area	96,136 sf	Const. 24" White Thermoplastic Stop Bar
Office Area	1,500 sf	Const. "Hi-Intensity" "R1-1" 36" Stop Sign
Spaces Required	1 space/10 units x 732 Units = 74 spaces	Proposed Gate (Refer to Note for North Gate for Specifications)
Spaces Provided	1 space per each 22' along proposed storage building x 4,525 LF. = 205 spaces	
	Spaces in front of office = 7	
	Total spaces provided = 212 spaces	

Traffic Calculation

96,136 SF x 1.51 TPD/1,000 SF = 145 TPD (as per ITE ISI - Mini Warehousing)	
AM Peak Hour = 19 Trips	PM Peak Hour = 19 Trips
Water Demand 1 ERU = 350 gpd	Solid Waster: 16.7 PPP
Sewer Demand 1 ERU = 300 gpd	Stormwater: Provided on site

Village 4	
Setbacks:	
Front	25'
South Side	10'
North Side	10'
Rear	10'
SR 19	75' from old R/W

LEGEND	
Existing Contours	
Lot Number	12
Direction of Flow	
Existing Grade	x 79.3
Proposed Grade	x 79.3
Water Main	8" WM
Sanitary Sewer	S
Stormpipe	
Fire Hydrant	
Storm Inlet	
Concrete	
Gate Valve	
Water Blowoff	

Utility Separation Notes

New or relocated, underground water mains shall be laid to provide a horizontal distance of at least six feet, and preferably ten feet, between the outside of the water main and the outside of any existing or proposed gravity- or pressure-type sanitary sewer, wastewater force main, or pipeline conveying reclaimed water not regulated under Part III of Chapter 62-610, F.A.C. The minimum horizontal separation distance between water mains and gravity-type sanitary sewers shall be reduced to three feet where the bottom of the water main is laid at least six inches above the top of the sewer. New or relocated, underground water mains crossing any existing or proposed gravity- or vacuum-type sanitary sewer shall be laid so the outside of the water main is at least six inches, and preferably 12 inches, above or at least 12 inches below the outside of the other pipeline. However, it is preferable to lay the water main above the other pipeline.

At the utility crossings described above, one full length of water main pipe shall be centered above or below the other pipeline so the water main joints will be as far as possible from the other pipeline. Alternatively, at such crossings, the pipes shall be arranged so that all water main joints are at least three feet from all joints in vacuum-type sanitary sewers, or pipelines conveying reclaimed water regulated under Part III of Chapter 62-610, F.A.C., and at least six feet from all joints in gravity- or pressure-type sanitary sewers, wastewater force mains, or pipelines conveying reclaimed water not regulated under Part III of Chapter 62-610, F.A.C.

DATE	REVISION
7/22/09	City / SJRWMD Comments
11/17/09	FDOT / Town Comments
6/21/21	Town Comments
2/16/22	Town Comments
6/1/22	Town/FDOT Comments

Site Plan - Utilities

Howey Self Storage



june engineering
consultants, inc.

23 W. Joiner Street
Winter Garden, FL 34787
Ph. 407-905-8180
Fax 407-905-6232

Certificate of Authorization #00008507


DRAWN BY: CLK
DATE: 2/4/08

CHECKED BY: RAJ
DATE: 2/4/08

SCALE: 1" = 50'

JEFFREY A. SEDLOFF
PE# 51506

JOB NO.
07-0398
SHEET
3
OF 10

DATE	REVISION	 <div> <p>23 W. Joier Street Winter Garden, FL 34787 Ph. 407-905-8180 Fax 407-905-6232</p> <p>june engineering consultants, inc.</p> <p>Certificate of Authorization #00008507</p> </div>	<div> <p>JEFFREY A. SEDLOFF PE# 51506</p> </div>	<div> <p>JOB NO. 07-0398</p> <p>SHEET 4</p> <p>OF 10</p> </div>
11/17/09	FDOT / Town Comments			
6/21/21	Town Comments			
2/16/22	Town Comments			
5/3/22	SURWMD Comments			
6/1/22	Town/FDOT Comments			

Site Plan - Paving & Drainage

Howey Self Storage

DRAWN BY: CLK
DATE: 2/4/09

CHECKED BY: RAJ
DATE: 2/4/09

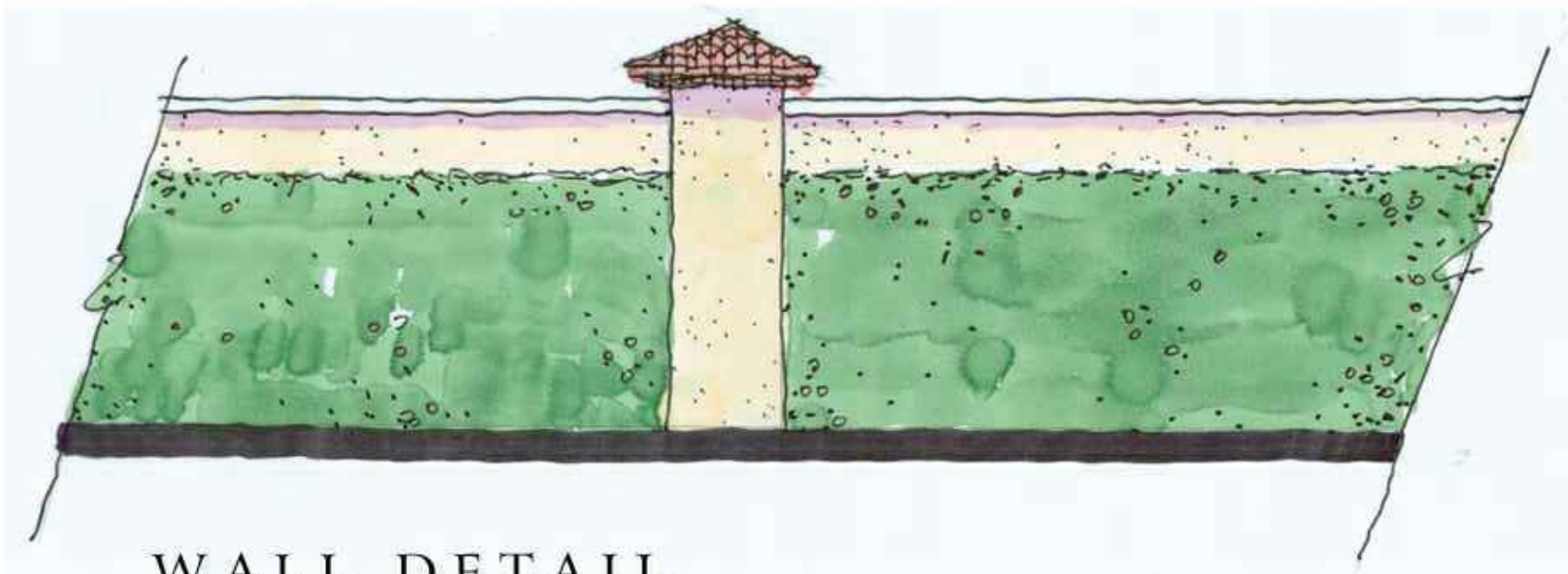
SCALE: 1" = 50'

Type "D" Inlet

86

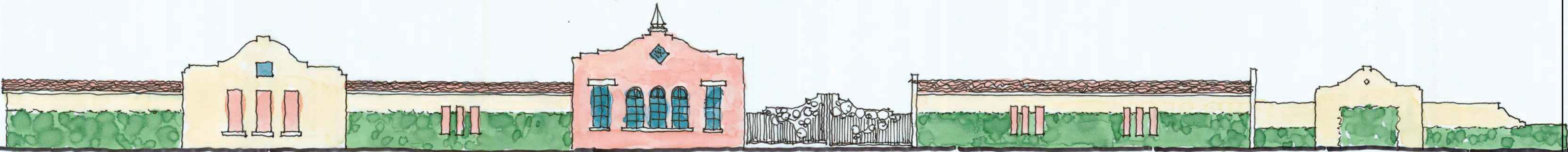
THE RESERVE
AT HOWEY IN THE HILLS
SELF STORAGE FACILITY

The street frontage buildings of the facility will be modeled in the same fashion as the Village Center. The interior buildings will be low profile single story structures surrounded by the architecture on the street and a wall along the residential areas.



WALL DETAIL

AREA PLAN




BUILDING ELEVATIONS

MORRISSEY DESIGN STUDIO

DATE	REVISION
6/21/21	Town Comments

Design Requirements
Howey Self Storage



june engineering
consultants, inc.

23 W. Joiner Street
Winter Garden, FL 34787
Ph. 407-905-8180
Fax 407-905-6232

Certificate of Authorization #00008507

DRAWN BY: CLK
DATE: 2/4/08

CHECKED BY: RAJ
DATE: 2/4/08

SCALE
1" = 50'

JEFFREY A. SEDLOFF
PE# 51506

JOB NO.
07-0398

SHEET
4a
OF 10

Project Name: Howey Self Storage
FDEP Project ID # FLR 10GL81
Site Area: The total site is approximately 10.5 acres of which 10.5 will be disturbed by construction activities.

Owner Name: Howey Self Storage, LLC
132 W. Plant Street, Suite 200
Winter Garden, FL 34787

Contractor Name:

Project Description: Construct infrastructure associated with an self storage facility. Clearing and grubbing; installing a stabilized construction entrance; perimeter and other erosion and sediment controls; grading; excavation for the stormwater ponds, storm sewer, utilities and building foundations; construction of roads, curbing, sidewalks; preparation for final planting and seeding.

Construction Sequence:
1. Install stabilized construction entrance.
2. Clear and Grub for silt fence installation.
3. Install Silt Fence
4. Construct Retention ponds/Mass Site Grading
5. Install Infrastructure - (Storm Sewer, Utilities, Roads, etc.)
6. Complete final grading and install permanent seeding and plantings.
7. Remove any accumulated sediment from basin
8. When construction activity is complete and the site is stabilized, remove silt fence and reseed/redo any areas disturbed by their removal.

Soil Type: Site is primarily underlain with USDA-SCS Type "A" Soils
(Candler & Tavares Fine Sands)

Runoff Coefficient: The final runoff coefficient for the site will be C=0.76

Dewatering Methods: Point well

Receiving Water
Body: Adjacent Wetlands

CONTROLS (BMPs)

Erosion and Sediment Controls

Stabilization Practices
Temporary Stabilization - Top stock piles and disturbed portions of the site where construction activity temporarily ceases for at least 7 days will be stabilized with temporary seed and mulch.
Permanent Stabilization - Disturbed portions of the site where construction activities permanently ceases shall be stabilized with permanent seed and mulch and/or sod no later than 30 days after the last construction activity.

Structural Practices
Silt Fencing - Will be constructed around the perimeter of the site as indicated on the overall plans of the construction plans.

Retention Pond/
Sediment Basin - Will be constructed with the site grading. Once construction activities are nearly complete, the accumulated sediment will be removed from the basin.

Other Controls

Waste Disposal
Waste Materials - All waste materials will be collected and stored in a dumpster or as required by the City of Ocoee. All trash and debris from the site will be stored in the dumpster.

Hazardous Waste - All hazardous waste materials will be disposed of in the manner specified by local or state regulation or by the manufacturer.

Sanitary Waste - All sanitary waste will be collected from the portable units as per the requirement of the City of Ocoee.

Offsite Vehicle Tracking
A stabilized construction entrance has been provided to help reduce vehicle tracking of sediments. The paved street adjacent to the site entrance will be swept as necessary to remove any excess mud, dirt or rock tracked from the site. Dump trucks hauling material from the construction site will be covered with a tarpaulin.

TIMING OF CONTROLS/MEASURES

As indicated in the Sequence of Major Activities, the silt fence, stabilized construction entrance will be constructed prior to clearing or grading of any other portions of the site. Areas where construction activity temporarily ceases for more than 7 days will be stabilized with a temporary seed and mulch. Once construction activity ceases permanently in an area, that area will be stabilized with permanent seed and mulch and/or sod. After the entire site is stabilized, the accumulated sediment will be removed from the retention ponds and along the silt fence.

CERTIFICATION OF COMPLIANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS

The storm water pollution prevention plan reflects the Town of Howey in the Hills, Lake County, St. Johns River Water Management District, Florida Department of Environmental Protection and the U.S. Environmental Protection Agency requirements for storm water management and erosion and sediment control.

MAINTENANCE/INSPECTION PROCEDURES

These are the inspection and maintenance practices that will be used to maintain erosion and sediment controls.
All control measures will be inspected at least once each week and following any storm event of 0.5 inches or greater. A rain gauge will be on site to measure rainfall amounts.
All measures will be maintained in good working order; if repair is necessary, it will be initiated within 24 hours of the report.
Built up sediment will be removed from silt fence when it has reached one-third the height of the fence.
Silt fence will be inspected for depth of sediment, tears, to see if the fabric is securely attached to the fence posts, and to see that the fence posts are firmly in the ground.
The retention pond/sediment basins will be inspected, and sediment will be removed at the end of the job.
Temporary and permanent seeding and planting will be inspected for bare spots, washouts, and healthy growth.

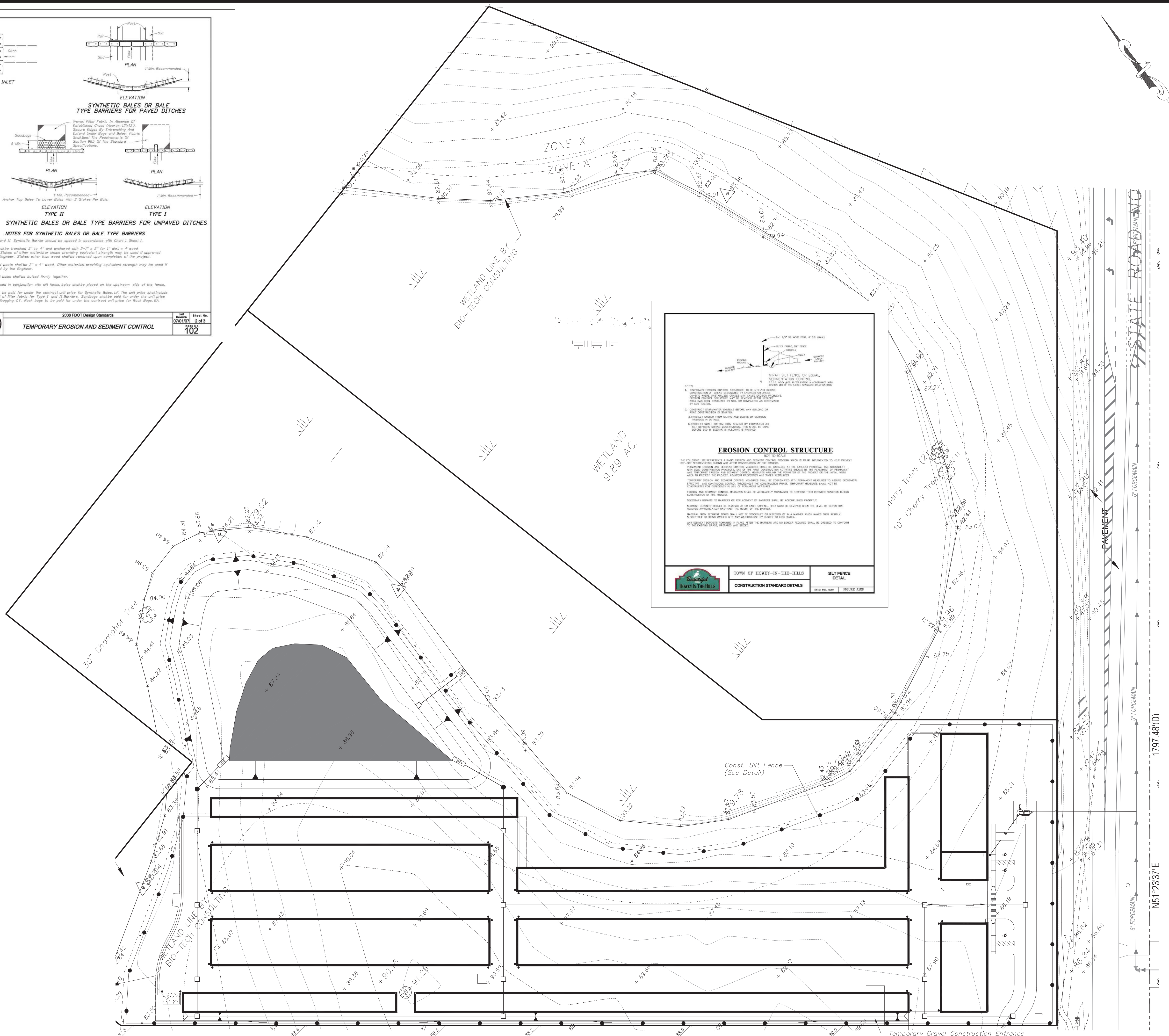
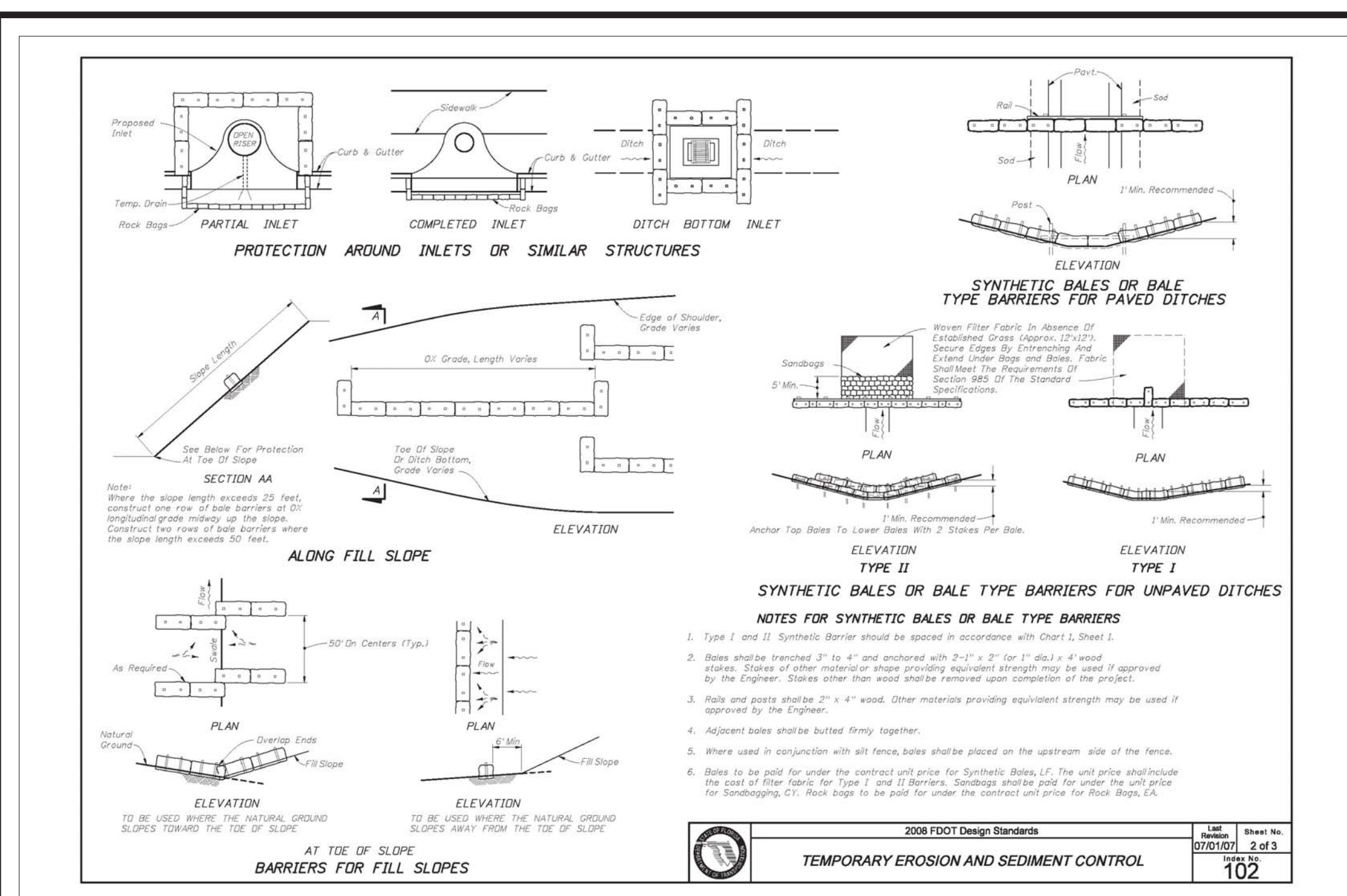
It is expected that the following non-stormwater discharges will occur from the site during construction:
Water from flushing of the water lines.
Water from the washing of the pavement (where no spills or leaks of toxic or hazardous materials have occurred).
Uncontaminated groundwater (from dewatering excavation)
All non-storm water discharges will be directed to the sediment basin prior to discharge.

INVENTORY FOR POLLUTION PREVENTION PLAN

The materials or substances listed below are expected to be present onsite during construction:

- Concrete
- Asphalt
- Wood
- Masonry Block
- Roofing Shingles
- Petroleum Based Products
- Fertilizers
- Cleaning Solvents
- Paints (Enamel and Latex)
- Metal Sheds
- Detergents

CONTRACTOR IS RESPONSIBLE FOR INSTALLING ANY ADDITIONAL EROSION CONTROL IF IT BECOMES NECESSARY TO MEET STATE AND LOCAL STANDARDS



Stormwater Pollution Prevention Plan

DATE	REVISION
7/22/09	City / SURMID Comments
11/17/09	FDOT / Town Comments
6/1/22	Town/FDOT Comments

JOB NO.
07-0398

SHEET
5

OF 10

23 W. Jailer Street
Winter Garden, FL 34787
Ph. 407-905-8180
Fax 407-905-6232

june engineering
consultants, inc.

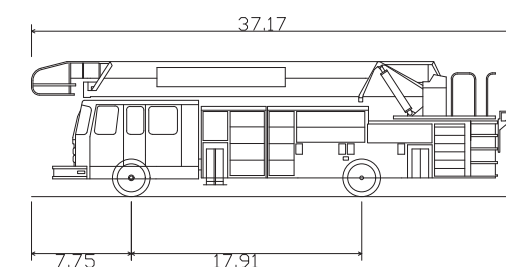
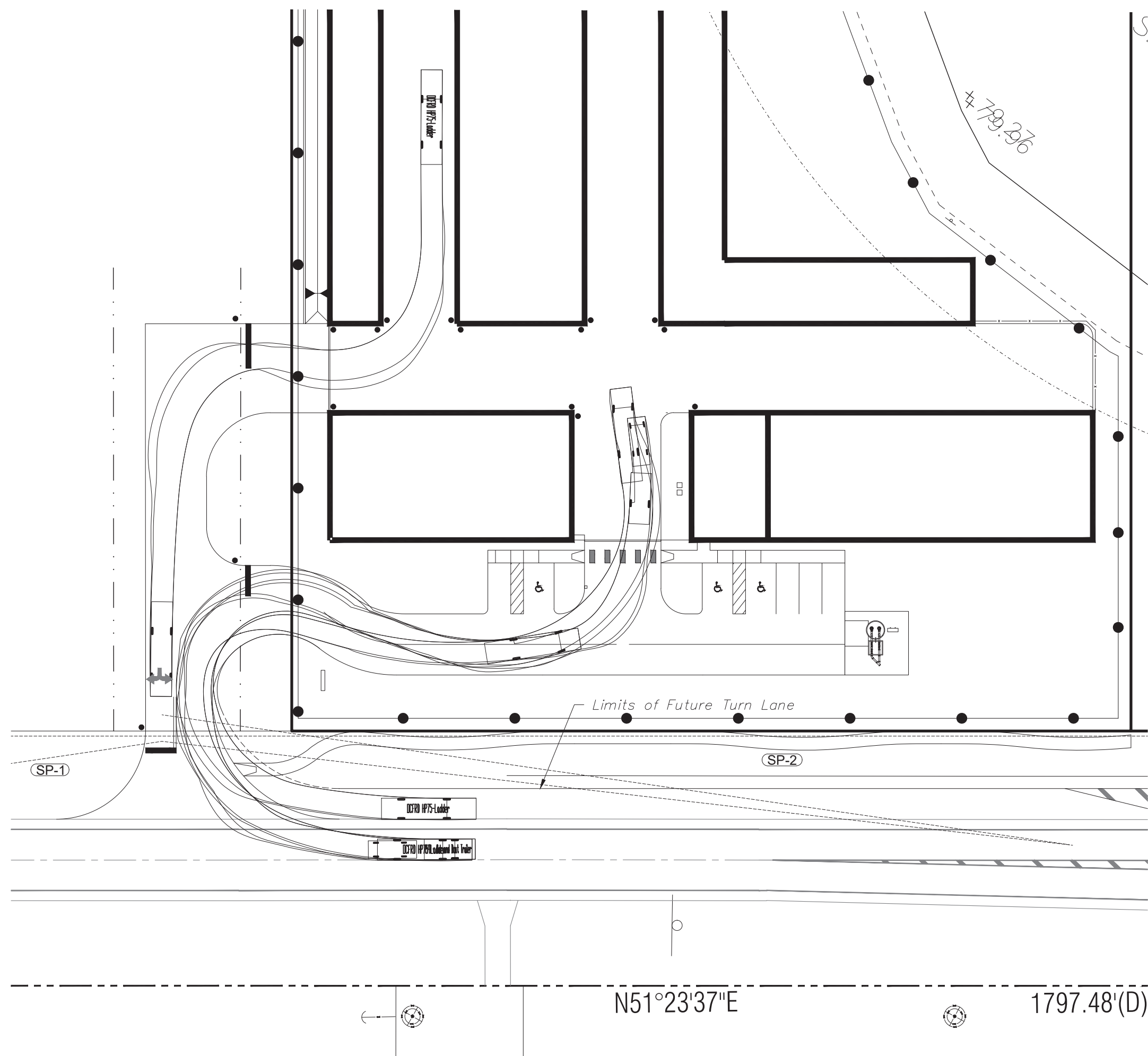
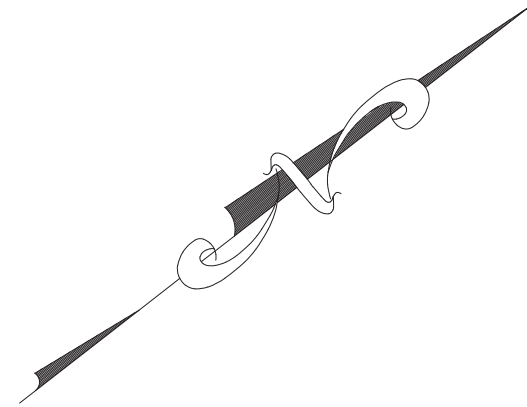


Stormwater Pollution Prevention Plan
Howey Self Storage

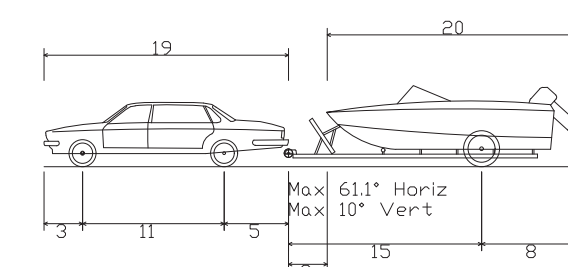
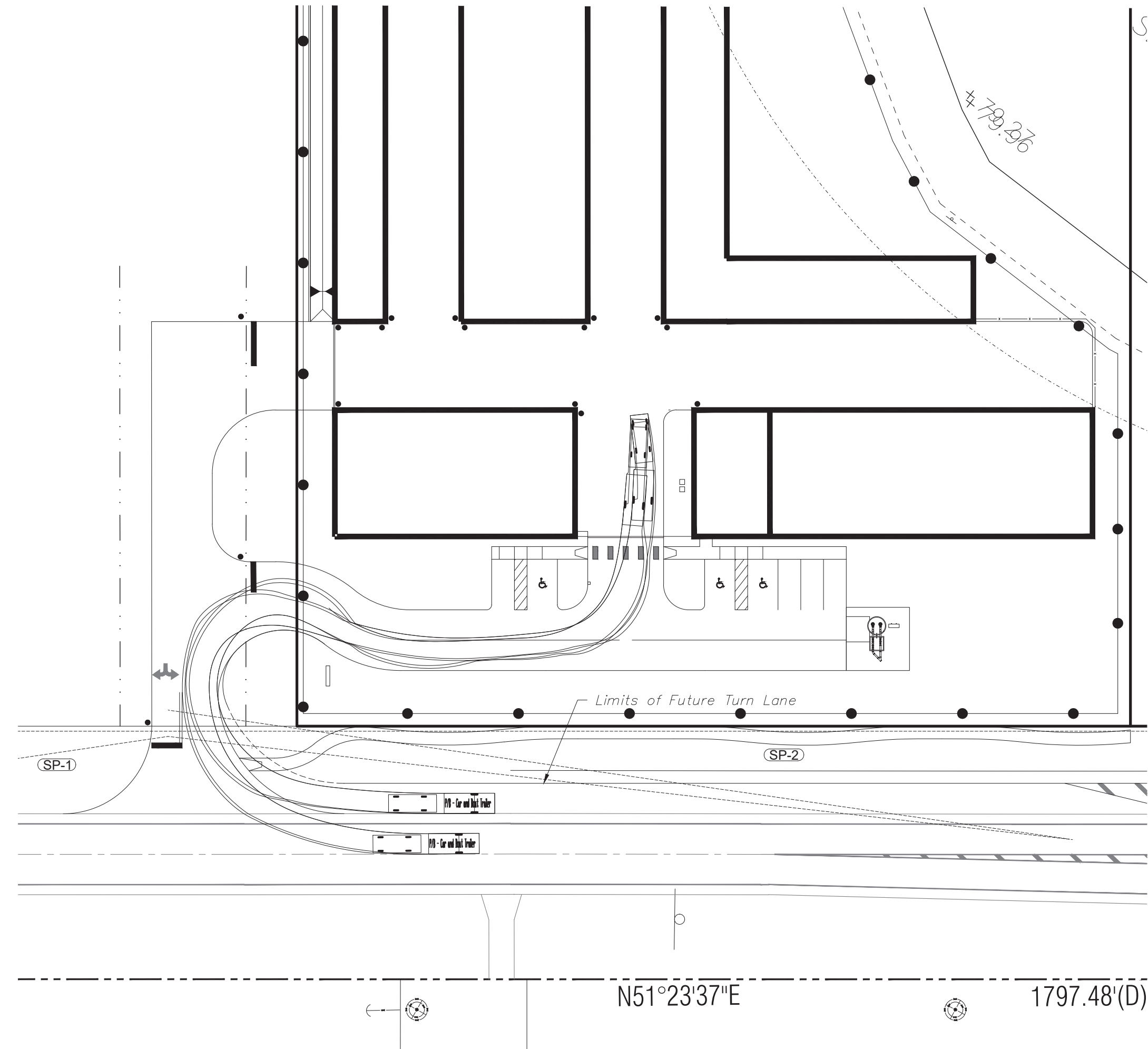
DATE	REVISION
7/22/09	City / SURMID Comments
11/17/09	FDOT / Town Comments
6/1/22	Town/FDOT Comments

JEFFREY A. SEDLOFF
PE # 51506

Certificate of Authorization #00008507
DRAWN BY: CLK
CHECKED BY: RAJ
DATE: 2/4/08
SCALE: 1" = 50'



QCFRD HP75-Ladder
Overall Length 37.170ft
Overall Width 8.330ft
Overall Body Height 10.489ft
Min Body Ground Clearance 0.920ft
Track Width 8.330ft
Lock-to-lock time 6.00s
Max Wheel Angle 31.80°



P/B - Car and Boat Trailer
Overall Length 42.000ft
Overall Width 8.000ft
Overall Body Height 6.305ft
Min Body Ground Clearance 0.681ft
Max Track Width 8.000ft
Lock-to-lock time 4.00s
Curb to Curb Turning Radius 24.000ft

LEGEND	
Existing Contours	
Lot Number	(12)
Direction of Flow	
Existing Grade	+79.3
Proposed Grade	+79.2
Water Main	8" WM
Sanitary Sewer	S
Stormpipe	
Fire Hydrant	
Storm Inlet	
Concrete	
Gate Valve	
Water Blowoff	

DATE	REVISION

Truck Turn Radius Plan
Howey Self Storage

 june engineering consultants, inc. Certificate of Authorization #00008507 DRAWN BY: CLK DATE: 2/4/08 CHECKED BY: RAJ DATE: 2/4/08 SCALE: 1" = 50'	23 W. Joiner Street Winter Garden, FL 34787 Ph. 407-905-8180 Fax 407-905-6232	JEFFREY A. SEDLOFF PE# 51506	JOB NO. 07-0398 SHEET 5a OF 10

LAND DESCRIPTION (EAGLES LANDING AT OCOEE, INC. PARCEL)(VILLAGE 4 OF THE RESERVE AT HOWEY IN THE HILLS)

COMMENCE AT THE EAST 1/4 CORNER OF SECTION 35, TOWNSHIP 20 SOUTH, RANGE 25 EAST, LAKE COUNTY, FLORIDA; THENCE RUN N89°21'35"W ALONG THE SOUTH LINE OF THE NORTHEAST 1/4 OF SAID SECTION 35, 1487.79 FEET TO A POINT ON THE NORTHWESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 19; THENCE RUN N52°07'27"E ALONG SAID NORTHWESTERLY RIGHT-OF-WAY LINE, 673.75 FEET TO THE POINT OF BEGINNING; THENCE RUN N37°53'02"W, 1008.88 FEET; THENCE RUN N00°35'47"E, 116.78 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 35; THENCE RUN S89°24'13"E ALONG SAID NORTH LINE, 270.08 FEET TO A POINT ON THE WEST LINE OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 35; THENCE RUN N00°35'58"E ALONG SAID WEST LINE, 256.12 FEET TO A POINT ON THE SOUTH LINE OF THE RESIDENCE OF DON WHITE; THENCE RUN S89°24'13"E ALONG SAID SOUTH LINE, 418.17 FEET; THENCE RUN S00°35'47"W, 709.10 FEET; THENCE RUN S37°52'33"E, 317.47 FEET TO A POINT ON SAID NORTHWESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 19; THENCE RUN S52°07'27"W ALONG SAID NORTHWESTERLY RIGHT-OF-WAY LINE, 329.54 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 11.978 ACRES MORE OR LESS.

LAND DESCRIPTION (HOWEY IN THE HILLS, LTD. PARCEL)


HOWEY FROM E 1/4 COR OF SEC 35-20-25 RUN N 89-21-35 W 1487.79 FT TO NWLY R/W LINE OF SR 19, N 52-07-27 E ALONG SAID NWLY R/W LINE 1003.29 FT FOR POB, RUN N 37-52-33 W 317.47 FT, N 0-35-47 E 709.10 FT, S 89-24-13 E TO NW COR OF LOT 1 BLK D-14 OF PALM GARDENS SUB, SE'LY ALONG SAID WLY LINE OF BLK D-14 OF PALM GARDENS SUB TO NWLY LINE OF SR 19, SWLY ALONG SAID R/W LINE TO POB ORB 3003 PG 1362 ORB 3446 PG 103

THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 11.00 ACRES MORE OR LESS.



DATE	REVISION

Survey – Boundary & Topo
Howey Self Storage



june engineering
consultants, inc.

23 W. Joiner Street
Winter Garden, FL 34787
Ph. 407-905-8180
Fax 407-905-6232

Certificate of Authorization #00008507

DRAWN BY: CLK
DATE: 2/4/08

CHECKED BY: RAJ
DATE: 2/4/08

SCALE
1" = 100'

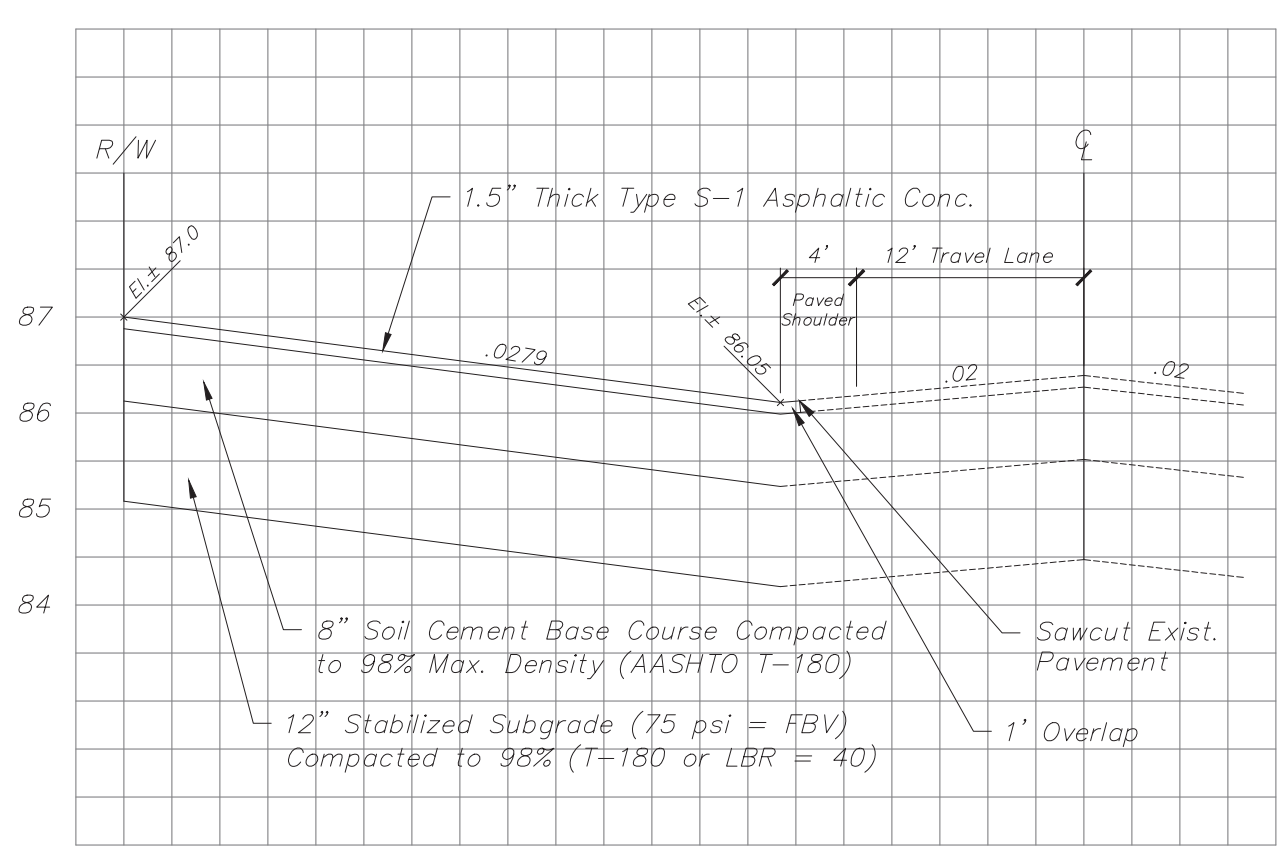
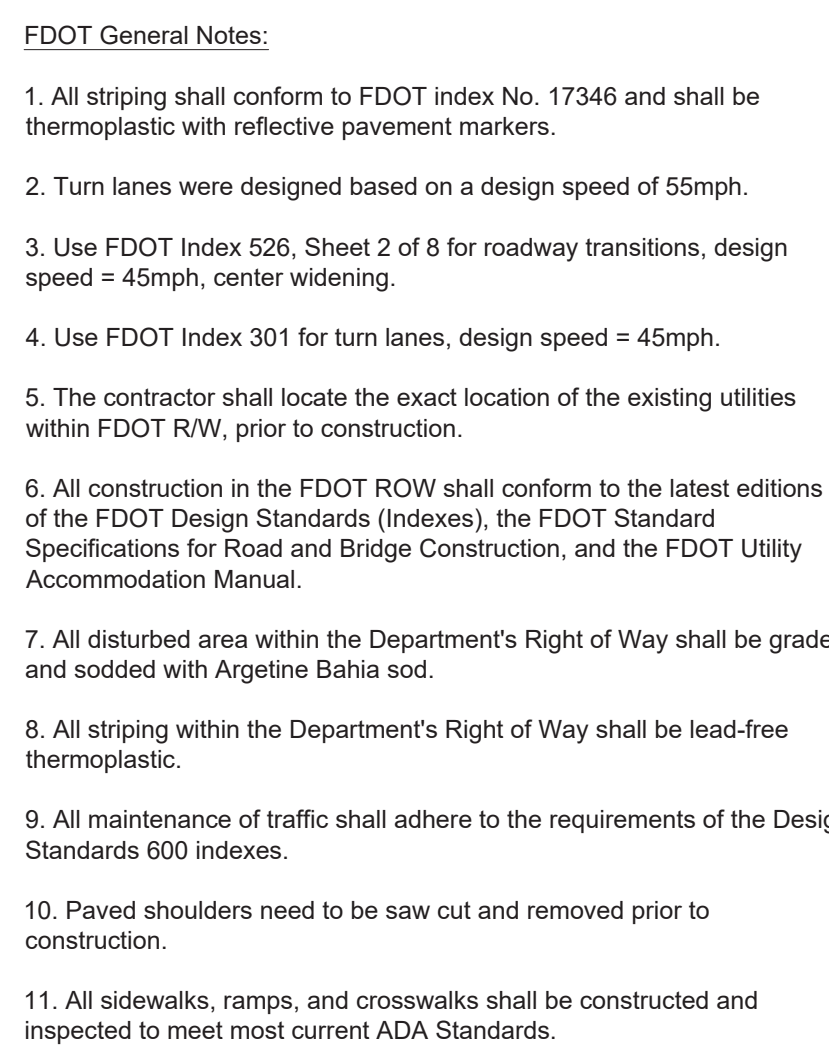
LEGEND	
Existing Contours	
Lot Number	
Direction of Flow	
Existing Grade	
Proposed Grade	
Water Main	
Sanitary Sewer	
Stormpipe	
Fire Hydrant	
Storm Inlet	
Concrete	
Gate Valve	
Water Blowoff	

JOB NO.
07-0398

SHEET
5b

OF 10

JEFFREY A. SEDLOFF
PE# 51506

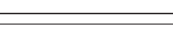

$$\begin{array}{l} H: 1'' = 10' \\ V: 1'' = 2' \end{array}$$

$$\begin{aligned} H: 1'' &= 20' \\ V: 1'' &= 4' \end{aligned}$$


Scale: 1" = 20'

DATE	REVISION
11/17/09	FDOT / Town Comments
6/21/21	Town Comments
2/16/22	Town Comments
6/1/22	Town/FDOT Comments
6/23/22	Town Comments

Offsite Improvements

Howey Self Storage

 june engineering consultants, inc.	23 W. Joiner Street Winter Garden, FL. 34787 Ph. 407-905-8180 Fax 407-905-6232		JOB NO. 07-0398
	Certificate of Authorization #00008507		SHEET 6 OF 10
DRAWN BY: CLK DATE: 2/4/08	CHECKED BY: RAJ DATE: 2/4/08	SCALE 1" = 50'	JEFFREY A. SEDLOFF PE# 51506

	Howey-in-the-Hills	DATE: FEB 2022
	Standard Details	DETAIL R-15A

	<p>Howey-in-the-Hills</p> <p>Standard Details</p>	<p>DATE: FEB 2022</p> <p>DETAIL R-16A</p>
--	---	---

	Howey-in-the-Hills	DATE: FEB 2022
	Standard Details	DETAIL R-15

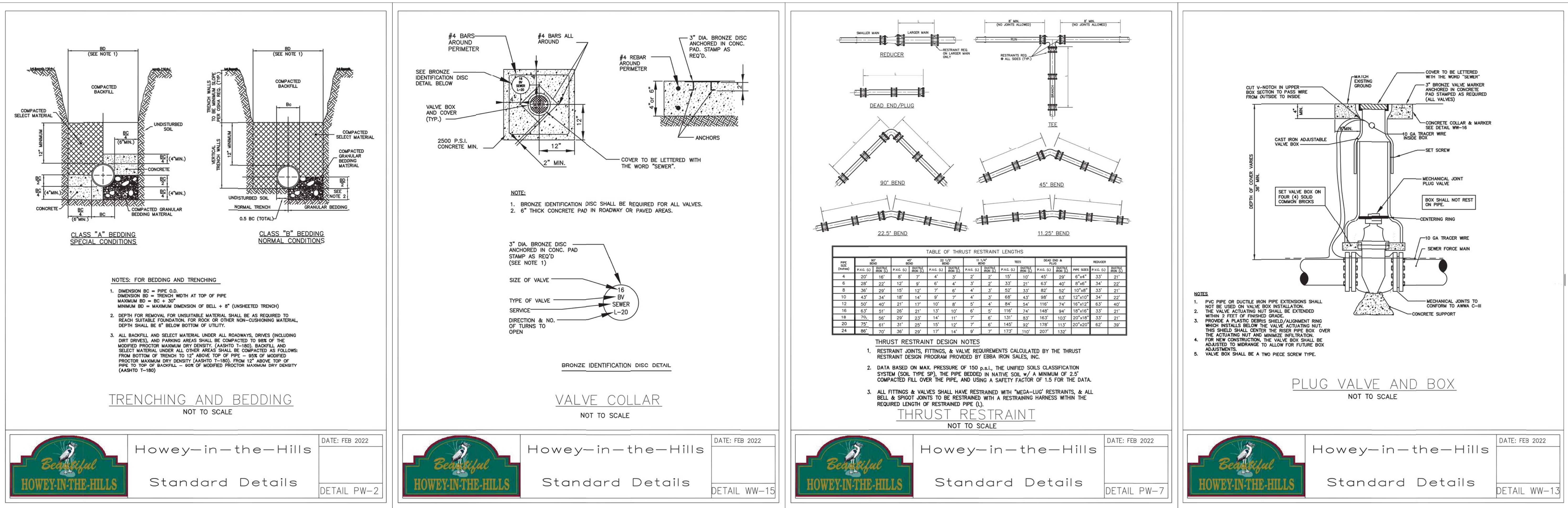
	Howey-in-the-Hills	DATE: FEB 2022
	Standard Details	DETAIL R-16

	Howey-in-the-Hills	DATE: FEB 2022
	Standard Details	DETAIL R-18

	Howey-in-the-Hills	DATE: FEB 2022
	Standard Details	DETAIL R-19

	Howey-in-the-Hills	DATE: FEB 2022
	Standard Details	DETAIL R-23

DATE	REVISION
7/22/09	City / SJRWMD Comments
11/17/09	FDOT / Town Comments
6/21/21	Town Comments
6/1/22	Town/FDOT Comments



DATE	REVISION
7/22/09	City / SJRWMD Comments
11/17/09	FDOT / Town Comments
6/21/21	Town Comments
6/1/22	Town/FDOT Comments

Standard Details

Howey Self Storage



june engineering
consultants, inc.

23 W. Joiner Street
Winter Garden, FL 34787
Ph. 407-905-8180
Fax 407-905-6232

Certificate of Authorization #00008507

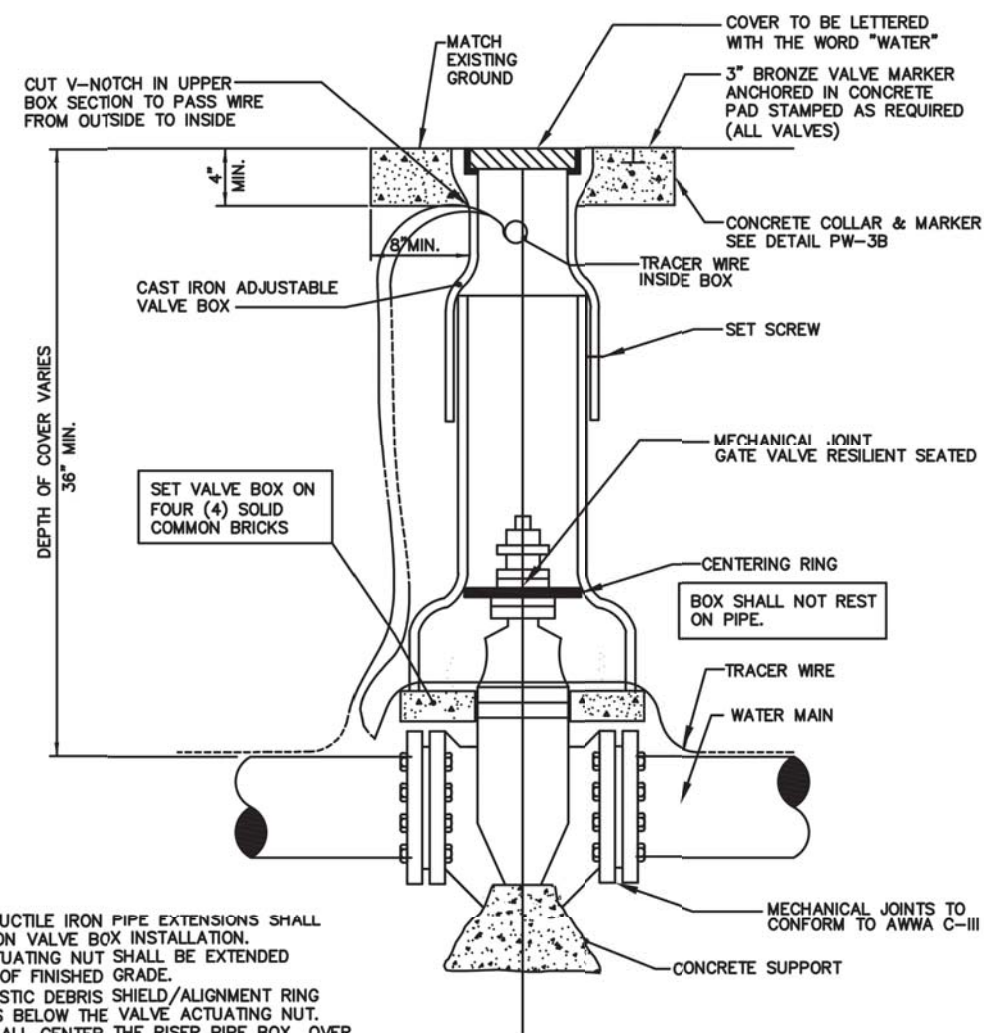
DRAWN BY: CLK
DATE: 2/4/08

CHECKED BY: RAJ
DATE: 2/4/08

SCALE
1" = 50'

JEFFREY A. SEDLOFF
PE # 51506

JOB NO.
07-0398
SHEET
8
OF 10



NOTES

1. PVC PIPE OR DUCTILE IRON PIPE EXTENSIONS SHALL NOT BE USED ON VALVE BOX INSTALLATION.
2. THE VALVE ACTUATING NUT SHALL BE EXTENDED WITHIN 2 FEET OF FINISHED GRADE.
3. PROVIDE A PLASTIC DEBRIS SHIELD/ALIGNMENT RING WHICH INSTALLS BELOW THE VALVE ACTUATING NUT. PIPING, CONVEYING EITHER RAW, PARTIALLY TREATED, OR FINISHED DRINKING WATER, FIRE HYDRANT LEADS, AND SERVICE LINES THAT ARE UNDER THE CONTROL OF A PUBLIC WATER SYSTEM AND THAT HAVE AN INSIDE DIAMETER OF THREE INCHES OR GREATER.
4. IF TAPE OR PAINT IS USED TO STRIPE PIPE DURING INSTALLATION OF THE PIPE, THE TAPE OR PAINT WILL BE APPLIED IN A CONTINUOUS LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE AND THAT IS LOCATED ALONG THE TOP OF THE PIPE. FOR PIPE WITH AN INTERNAL DIAMETER OF 24 INCHES OR GREATER, TAPE OR PAINT WILL BE APPLIED IN CONTINUOUS LINES ALONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP OF THE PIPE. ABOVEGROUND PIPE WILL BE PAINTED BLUE OR WILL BE COLOR CODED OR MARKED LINE UNDERGROUND PIPE.) (FAC 62-555.322(1)(B)3).
5. VALVE BOX SHALL BE A TWO PIECE SCREW TYPE.

GATE VALVE AND BOX

NOT TO SCALE

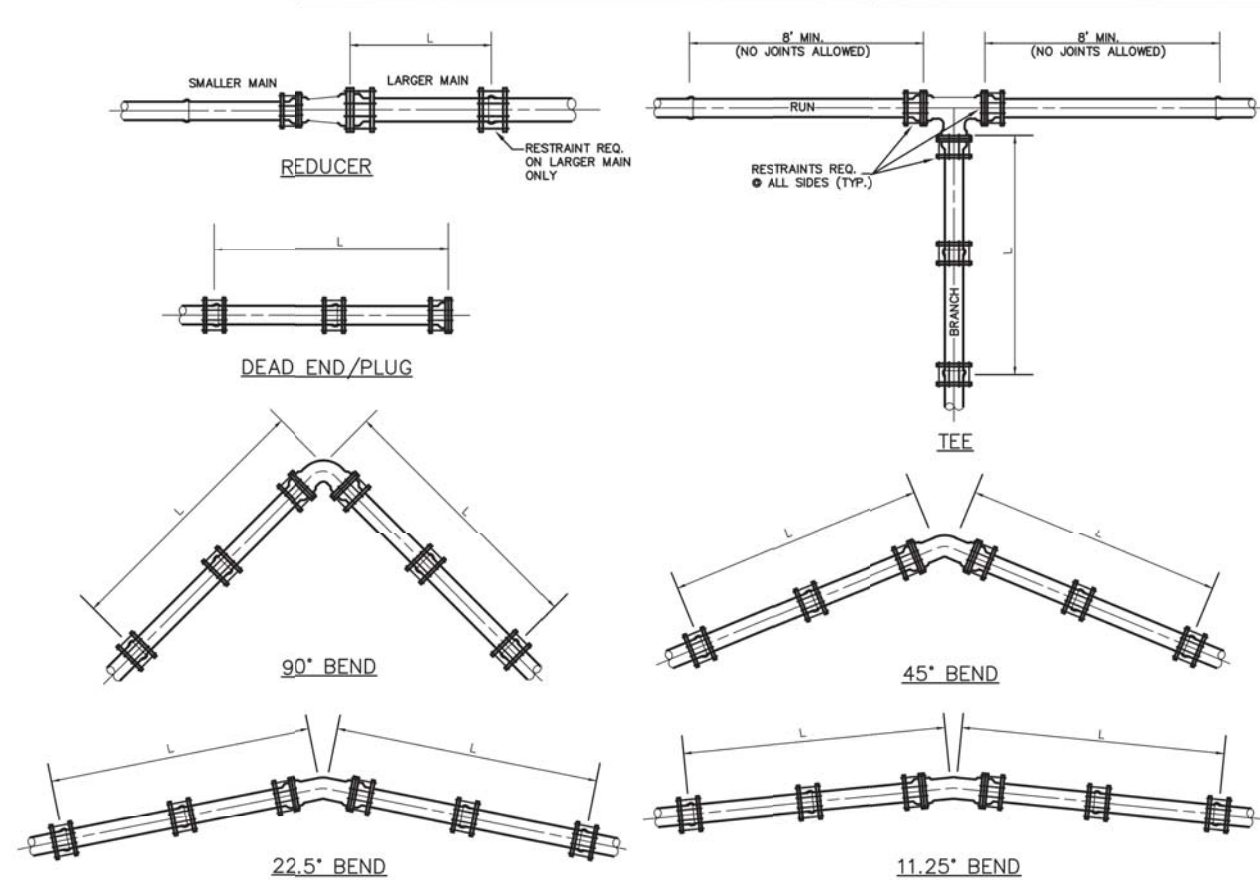


Howey-in-the-Hills

Standard Details

DATE: FEB 2022

DETAIL PW-3A



		12.12°		11.25°		90°		45°		22.5°	
PIPE SIZE (INCHES)	PIPE WALL THICKNESS (INCHES)	PIPE SIZE (INCHES)	PIPE WALL THICKNESS (INCHES)	PIPE SIZE (INCHES)	PIPE WALL THICKNESS (INCHES)	PIPE SIZE (INCHES)	PIPE WALL THICKNESS (INCHES)	PIPE SIZE (INCHES)	PIPE WALL THICKNESS (INCHES)	PIPE SIZE (INCHES)	PIPE WALL THICKNESS (INCHES)
4	20'	16	8	7	4	3	2	15	10	45	29
6	28	22	12	9	6	4	3	2	33	21	63
8	36	28	15	12	7	6	4	3	42	33	82
10	43	34	18	14	9	7	4	3	68	43	98
12	50	40	21	17	10	8	5	4	84	54	116
16	63	51	26	21	13	10	6	5	116	74	148
18	70	56	29	23	14	11	7	6	130	82	163
20	75	61	31	25	15	12	7	6	143	92	178
24	86	70	36	29	17	14	8	7	173	110	207

THRUST RESTRAINT DESIGN NOTES

1. RESTRAINT JOINTS, FITTINGS, & VALVE REQUIREMENTS CALCULATED BY THE THRUST RESTRAINT DESIGN PROGRAM PROVIDED BY EBBA IRON SALES, INC.
2. DATA BASED ON MAX. PRESSURE OF 150 p.s.i., THE UNIFIED SOIL CLASSIFICATION SYSTEM (SOIL TYPE SP), THE PIPE BEDED IN NATIVE SOIL w/ A MINIMUM OF 2.5' COMPACTED FILL OVER THE PIPE, AND USING A SAFETY FACTOR OF 1.5 FOR THE DATA.
3. ALL FITTINGS & VALVES SHALL HAVE RESTRAINED WITH "MEGA-LOC" RESTRAINTS, & ALL BELL & SPIGOT JOINTS TO BE RESTRAINED WITH A RESTRAINING HARNESS WITHIN THE REQUIRED LENGTH OF RESTRAINED PIPE (L).

THRUST RESTRAINT

NOT TO SCALE



Howey-in-the-Hills

Standard Details

DATE: FEB 2022

DETAIL PW-7

GENERAL WATER NOTES

1. WATER SYSTEM COMPONENTS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND REGULATIONS, CLEANED, DISINFECTED AND BACTERIOLOGICALLY CLEARED FOR SERVICE IN ACCORDANCE WITH THE LATEST AWWA STANDARDS AND CHAPTER 62-555 FLORIDA ADMINISTRATIVE CODE.
2. ALL PIPING SHALL BEAR THE "NSF" SEAL FOR POTABLE WATER.
3. WATER MAINS SHALL BE PVC CONFORMING TO AWWA C-900, DR 18 FOR PIPE SIZES 4"-12". PIPES 14" OR LARGER SHALL BE AWWA C-905, DR 18. ALL COUPLINGS, CLEANING COMPOUNDS, SOLVENTS, LUBRICANTS, AND PIPE PREPARATION, FOR LAYING, SHALL BE IN ACCORDANCE WITH THE PIPE MANUFACTURER'S LATEST RECOMMENDATIONS.
4. DEPTH OF WATER LINES TO BE 36" MINIMUM COVER FROM FINISH GRADE.
5. WATER MAINS TO BE LOCATED 5' FROM BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
6. ALL WATER MAINS UNDER PAVEMENT SHALL BE DUCTILE IRON.
7. ALL CASINGS UNDER PAVEMENT SHALL EXTEND 5' BEYOND THE BACK OF CURB.
8. DISINFECTING FOLLOWING THE PRESSURE TESTING, THE CONTRACTOR SHALL DISINFECT ALL SECTIONS OF THE NEW WATER DISTRIBUTION SYSTEM. DISINFECTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF AWWA STANDARD C651 'DISINFECTING WATER MAINS', AND ALL APPROPRIATE AGENCY APPROVAL.
9. ALL HYDROSTATIC TESTS SHALL BE IN ACCORDANCE WITH AWWA C600 FOR DUCTILE IRON PIPE AND C605M23 FOR PVC PIPE.
10. ALL WATER MAINS SHALL BE INSTALLED, PRESSURE AND LEAK TESTED IN ACCORDANCE WITH AWWA C600, (62-555.320(2)(1)(B)1 AND 62-555.330, F.A.C. ALL INSTALLATION, TESTING AND FIELD PROCEDURES MUST BE PROVIDED AND MUST CONFORM TO THE APPLICABLE AWWA STANDARDS.
11. ALL PIPING MATERIALS AND SPECIFICATIONS COVERING PIPES, JOINTS AND PACKING MATERIALS, INTERNAL COATING AND LININGS, FITTINGS, SPECIALS AND APPURTENANCES SHALL ALL BE IN ACCORDANCE WITH THE CORRESPONDING AWWA STANDARDS AND BE CONFORMING TO NSF REQUIREMENTS, AS MAY BE APPLICABLE, WITH EXCEPTIONS ALLOWED ONLY IF DOCUMENTATION AND ASSURANCES ARE PROVIDED IN COMPLIANCE WITH PARAGRAPHS 62-555.320(3) (D), 62-555.320 (2) (C), F.A.C. THE LEAD USE PROHIBITION IN RULE 62-555.322, F.A.C. SHALL ALSO APPLY. POLYETHYLENE TUBING SHALL BE PER AWWA C801. UNDERGROUND SERVICE LINES AND VALVES SHALL BE PER AWWA C800.

COLOR CODING

ALL PIPE AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT WILL BE COLOR CODED OR MARKED IN ACCORDANCE WITH SUBPARAGRAPH 62-555.320(2)(B)3, F.A.C. USING BLUE AS A PREDOMINANT COLOR. (UNDERGROUND PLASTIC PIPE WILL BE SOLID-WALL BLUE PIPE, WILL HAVE A CO-EXTRUDED BLUE EXTERNAL SKIN, OR WILL BE WHITE OR BLACK PIPE WITH BLUE STRIPES INCORPORATED INTO, OR APPLIED TO, THE PIPE WALL, AND UNDERGROUND METAL OR CONCRETE PIPE WILL HAVE BLUE STRIPES APPLIED TO THE PIPE WALL. PIPE STRIPES DURING MANUFACTURING OF THE PIPE WILL HAVE CONTINUOUS STRIPES THAT RUN PARALLEL TO THE AXIS OF THE PIPE, THAT ARE LOCATED AT NO GREATER THAN 90 DEGREE INTERVALS AROUND THE PIPE, AND THAT WILL REMAIN INTACT DURING AND AFTER INSTALLATION OF THE PIPE. IF TAPE OR PAINT IS USED TO STRIPE PIPE DURING INSTALLATION OF THE PIPE, THE TAPE OR PAINT WILL BE APPLIED IN A CONTINUOUS LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE AND THAT IS LOCATED ALONG THE TOP OF THE PIPE. FOR PIPE WITH AN INTERNAL DIAMETER OF 24 INCHES OR GREATER, TAPE OR PAINT WILL BE APPLIED IN CONTINUOUS LINES ALONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP OF THE PIPE. ABOVEGROUND PIPE WILL BE PAINTED BLUE OR WILL BE COLOR CODED OR MARKED LINE UNDERGROUND PIPE.) (FAC 62-555.320(2)(B)3).

UNLESS DESCRIBED IN THE CITY CSM ELSEWHERE, ALL WATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH CHAPTER 62-555.314, F.A.C., AND ANY UPDATES TO THE F.A.C., AND IN CONFORMANCE WITH ALL SEPARATION REQUIREMENTS AS FOUND THEREIN.

62-555.314 LOCATION OF PUBLIC WATER SYSTEM MAINS.

FOR THE PURPOSE OF THIS SECTION, THE PHASE "WATER MAINS" SHALL MEAN MAINS, INCLUDING TREATMENT PLANT PROCESS PIPING, CONVEYING EITHER RAW, PARTIALLY TREATED, OR FINISHED DRINKING WATER, FIRE HYDRANT LEADS, AND SERVICE LINES THAT ARE UNDER THE CONTROL OF A PUBLIC WATER SYSTEM AND THAT HAVE AN INSIDE DIAMETER OF THREE INCHES OR GREATER.

- (1) HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS.
 - (A) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
 - (B) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER.
 - (C) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER.



Howey-in-the-Hills

Standard Details

DATE: FEB 2022

DETAIL PW-11C

GENERAL WATER NOTES

- (D) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.0065(2), F.S., AND RULE 64E-6.002, F.A.C.
- (2) VERTICAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS AND RECLAIMED WATER PIPELINES.
 - (A) NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
 - (3) SEPARATION BETWEEN WATER MAINS AND SANITARY OR STORM SEWER MANHOLES:
 - (A) NO WATER MAIN SHALL PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A SANITARY SEWER MANHOLE.

- (B) EFFECTIVE AUGUST 28, 2003, WATER MAINS SHALL NOT BE CONSTRUCTED OR ALTERED TO PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A STORM SEWER MANHOLE OR INLET STRUCTURE, WHERE IT IS NOT TECHNICALLY FEASIBLE OR ECONOMICALLY SENSIBLE TO COMPLY WITH THIS REQUIREMENT (I.E., WHERE THERE IS A CONFLICT IN THE ROUTING OF A WATER MAIN AND A STORM SEWER AND WHERE ALTERNATIVE ROUTING OF THE WATER MAIN OR THE STORM SEWER IS NOT TECHNICALLY FEASIBLE OR IS NOT ECONOMICALLY SENSIBLE), THE DEPARTMENT SHALL ALLOW EXCEPTIONS TO THIS REQUIREMENT (I.E., THE DEPARTMENT SHALL ALLOW CONSTRUCTION OF CONFLICT MANHOLES), BUT SUPPLIERS OF WATER OR PERSONS PROPOSING TO CONSTRUCT CONFLICT MANHOLES MUST FIRST OBTAIN A SPECIFIC PERMIT FROM THE DEPARTMENT AND MUST PROVIDE IN THE PRELIMINARY DESIGN REPORT OR DRAWINGS, SPECIFICATIONS, AND DESIGN DATA ACCOMPANYING THEIR PERMIT APPLICATION THE FOLLOWING INFORMATION:
 1. TECHNICAL AND ECONOMIC JUSTIFICATION FOR EACH CONFLICT MANHOLE.
 2. A STATEMENT IDENTIFYING THE PARTY RESPONSIBLE FOR MAINTAINING EACH CONFLICT MANHOLE.
 3. ASSURANCE OF COMPLIANCE WITH THE DESIGN AND CONSTRUCTION REQUIREMENTS IN SUB-PARAGRAPHS A. THROUGH D. BELOW.
 - A. EACH WATER MAIN PASSING THROUGH A CONFLICT MANHOLE SHALL HAVE A FLEXIBLE, WATERTIGHT JOINT ON EACH SIDE OF THE MANHOLE TO ACCOMMODATE DIFFERENTIAL SETTLING BETWEEN THE MAIN AND THE MANHOLE.
 - B. WITHIN EACH CONFLICT MANHOLE, THE WATER MAIN PASSING THROUGH THE MANHOLE SHALL BE INSTALLED IN A WATERTIGHT CASING PIPE HAVING HIGH IMPACT STRENGTH (I.E., HAVING IMPACT STRENGTH AT LEAST EQUAL TO THAT OF 0.25-INCH-THICK DUCTILE IRON PIPE).
 - C. EACH CONFLICT MANHOLE SHALL HAVE AN ACCESS OPENING, AND SHALL BE SIZED, TO ALLOW FOR EASY CLEANING OF THE MANHOLE.
 - D. GRATINGS SHALL BE INSTALLED AT ALL STORM SEWER INLETS UPSTREAM OF EACH CONFLICT MANHOLE TO PREVENT LARGE OBJECTS FROM ENTERING THE MANHOLE.

- (4) SEPARATION BETWEEN FIRE HYDRANT DRAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS.

- (A) NEW OR RELOCATED FIRE HYDRANTS WITH UNDERGROUND DRAINS SHALL BE LOCATED SO THAT THE DRAINS ARE AT LEAST THREE FEET FROM ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. AT LEAST THREE FEET, AND PREFERABLY TEN FEET, FROM ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER, AT LEAST SIX FEET, AND PREFERABLY TEN FEET, FROM ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. AND AT LEAST TEN FEET FROM ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.0065(2), F.S., AND RULE 64E-6.002, F.A.C.



Howey-in-the-Hills

Standard Details

DATE: FEB 2022

DETAIL PW-11D

GENERAL WATER NOTES

(6) EXCEPTIONS, WHERE IT IS NOT TECHNICALLY FEASIBLE OR ECONOMICALLY SENSIBLE TO COMPLY WITH THE REQUIREMENTS IN SUBSECTION (1) OR (2) ABOVE, THE DEPARTMENT SHALL ALLOW EXCEPTIONS TO THESE REQUIREMENTS IF SUPPLIERS OF WATER OR CONSTRUCTION PERMIT APPLICANTS PROVIDE TECHNICAL OR ECONOMIC JUSTIFICATION FOR EACH EXCEPTION AND PROVIDE ALTERNATIVE CONSTRUCTION FEATURES THAT AFFORD A SIMILAR LEVEL OF RELIABILITY AND PUBLIC HEALTH PROTECTION. ACCEPTABLE ALTERNATIVE CONSTRUCTION FEATURES INCLUDE THE FOLLOWING:

- (A) WHERE AN UNDERGROUND WATER MAIN IS BEING LAID LESS THAN THE REQUIRED MINIMUM HORIZONTAL DISTANCE FROM ANOTHER PIPELINE AND WHERE AN UNDERGROUND WATER MAIN IS CROSSING ANOTHER PIPELINE AND JOINTS IN THE WATER MAIN ARE BEING LOCATED LESS THAN THE REQUIRED MINIMUM DISTANCE FROM JOINTS IN THE OTHER PIPELINE:
 1. USE OF PRESSURE-RATED PIPE CONFORMING TO THE AMERICAN WATER WORKS ASSOCIATION STANDARDS INCORPORATED INTO RULE 62-555.330, F.A.C. FOR THE OTHER PIPELINE IF IT IS A GRAVITY- OR VACUUM-TYPE PIPELINE.
 2. USE OF WELDED, FUSED, OR OTHERWISE RESTRAINED JOINTS FOR EITHER THE WATER MAIN OR THE OTHER PIPELINE; OR
 3. USE OF WATERTIGHT CASING PIPE OR CONCRETE ENCASMENT AT LEAST FOUR INCHES THICK FOR EITHER THE WATER MAIN OR THE OTHER PIPELINE.

- (B) WHERE AN UNDERGROUND WATER MAIN IS BEING LAID LESS THAN THREE FEET HORIZONTALLY FROM ANOTHER PIPELINE AND WHERE AN UNDERGROUND WATER MAIN IS CROSSING ANOTHER PIPELINE AND IS BEING LAID LESS THAN THE REQUIRED MINIMUM VERTICAL DISTANCE FROM THE OTHER PIPELINE:
 1. USE OF PIPE, OR CASING PIPE, HAVING HIGH IMPACT STRENGTH (I.E., HAVING AN IMPACT STRENGTH AT LEAST EQUAL TO THAT OF 0.25-INCH-THICK DUCTILE IRON PIPE) OR CONCRETE ENCASMENT AT LEAST FOUR INCHES THICK FOR THE WATER MAIN, AND
 2. USE OF PIPE, OR CASING PIPE, HAVING HIGH IMPACT STRENGTH (I.E., HAVING AN IMPACT STRENGTH AT LEAST EQUAL TO THAT OF 0.25-INCH-THICK DUCTILE IRON PIPE) OR CONCRETE ENCASMENT AT LEAST FOUR INCHES THICK FOR THE OTHER PIPELINE IF IT IS NEW AND IS CONVEYING WASTEWATER OR RECLAIMED WATER.

PAINTING

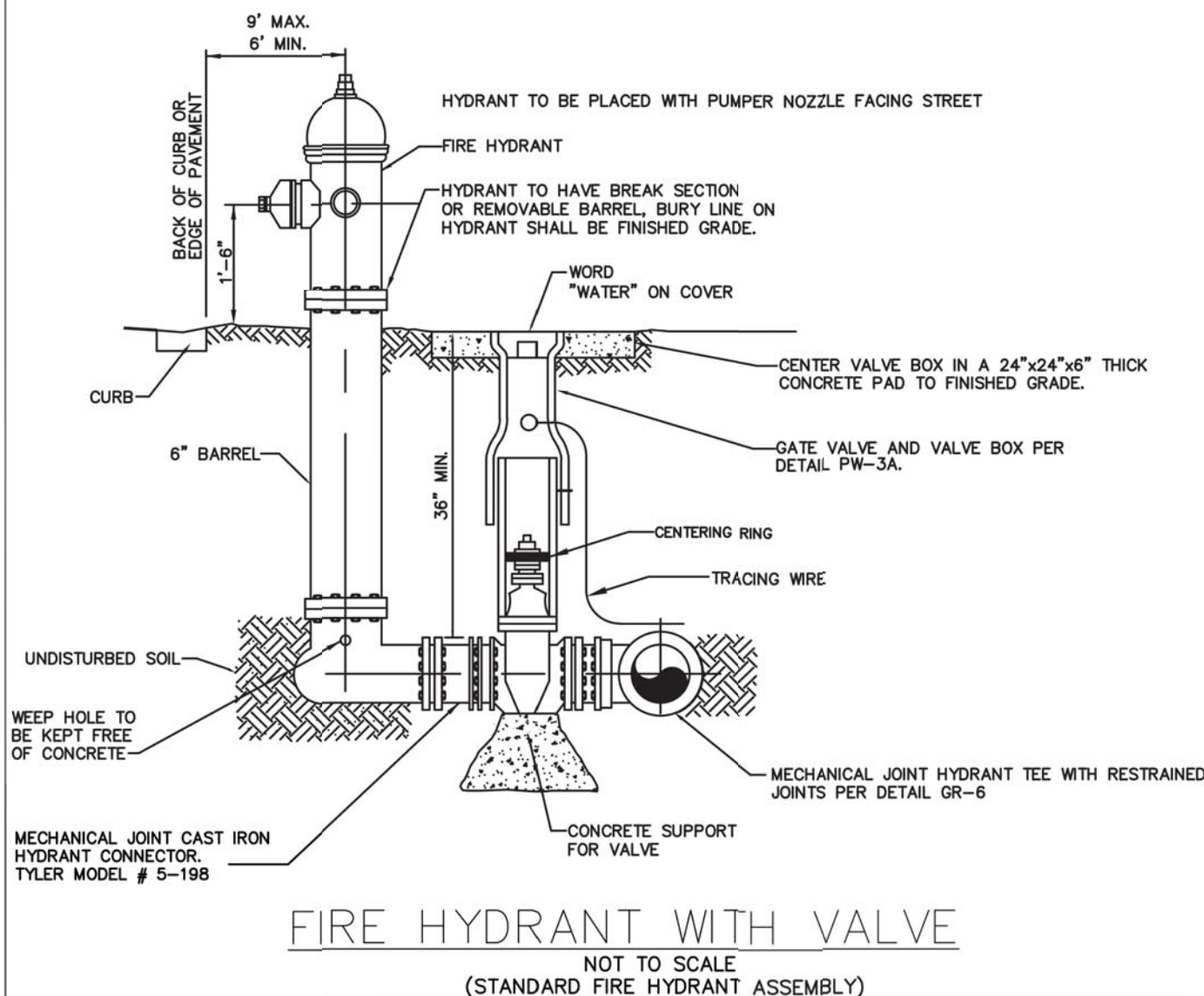
1. APPLY TWO COATS OF OSHA SAFETY INDUSTRIAL RED PAINT TO HYDRANT BARREL.

2. APPLY TWO COATS OF OSHA SAFETY INDUSTRIAL ENAMEL PAINT TO THE BONNET AND NOZZLE CAPS. THE UTILITY DEPARTMENT INSPECTOR WILL DETERMINE THE COLOR TO PAINT THE HYDRANT BONNET AND NOZZLE CAPS BY FLOW TESTING HYDRANTS.

BLUE	1500 GPM OR MORE (SHERWIN WILLIAMS #5W4086)
GREEN	1000 GPM TO 1499 GPM (SHERWIN WILLIAMS #5W4614)
ORANGE	500 GPM TO 999 GPM (SHERWIN WILLIAMS #5W4230)
RED	499 GPM OR LESS (SHERWIN WILLIAMS #5W4R38)

SPECIFICATIONS

1. AWWA SPECIFICATIONS C-502
2. TWO 2-1/2" HOSE NOZZLE DISCHARGE
3. ONE 4-1/2" PUMPER NOZZLE DISCHARGE
4. ONE 1-1/2" OPERATING NUT, LEFT
5. ALL HYDRANTS SHALL BE EQUIPPED WITH FITTINGS TO ALLOW FOR ELEVATION ADJUSTMENTS.
6. 5/2" MAIN VALVE OPENING
7. RESTRAINED JOINTS OR ALL THREADED ROD REQUIRED TO SECURE PIPE, RISER AND VALVE IN THE FIRE HYDRANT ASSEMBLY TO THE MAIN



FIRE HYDRANT WITH VALVE

NOT TO SCALE
(STANDARD FIRE HYDRANT ASSEMBLY)

Howey-in-the-Hills

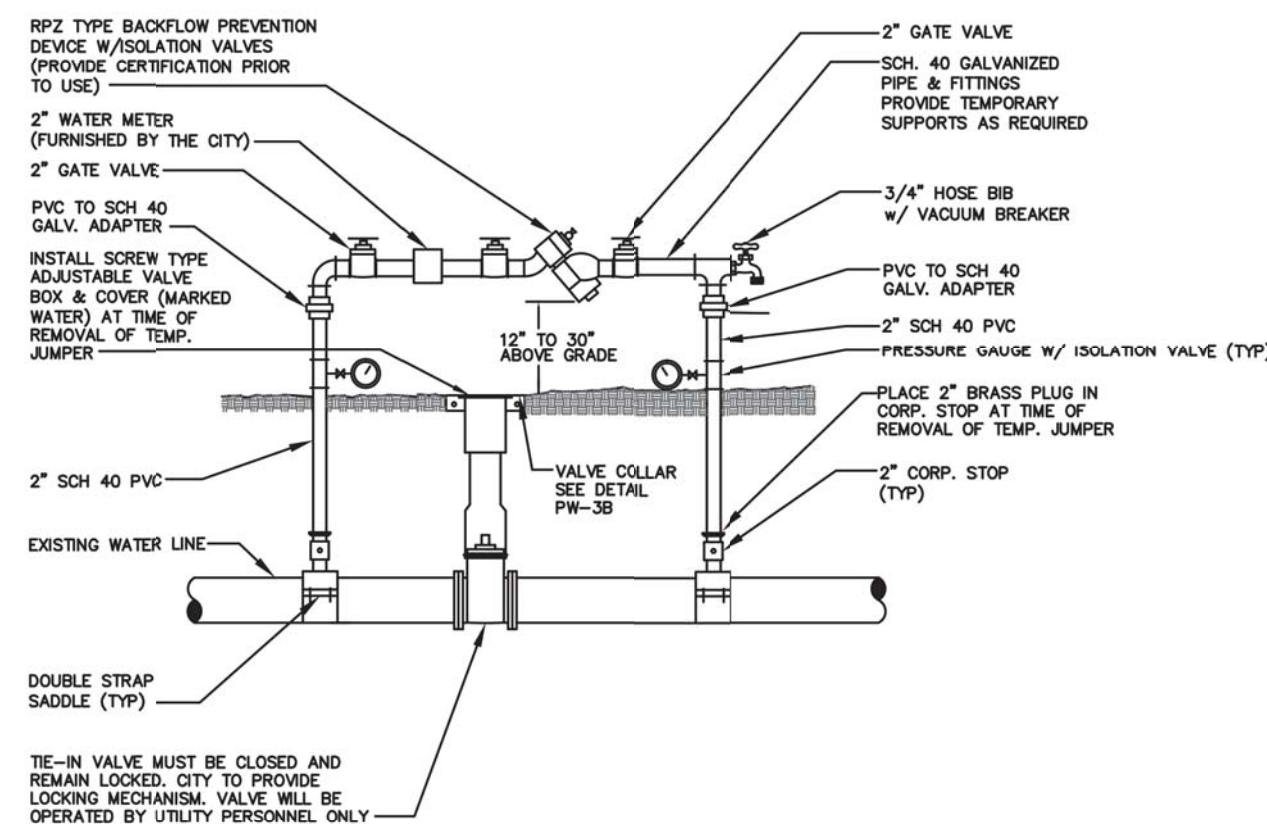
Standard Details

DATE: FEB 2022

DETAIL PW-18

TEMPORARY JUMPER CONNECTION

NOT TO SCALE



NOTE: LOCATION TO BE DETERMINED AT TIME OF PRECONSTRUCTION CONFERENCE W/ CITY.



Howey-in-the-Hills

Standard Details

DATE: FEB 2022

DETAIL PW-6A



Howey-in-the-Hills

Standard Details

DATE: FEB 2022

DETAIL PW-11E

DATE	REVISION
7/22/09	City / SJRWMD Comments
11/17/09	FDOT / Town Comments
6/21/21	Town Comments
6/1/22	Town/FDOT Comments

Standard Details

Howey Self Storage



june engineering
consultants, inc.

23 W. Joiner Street
Winter Garden, FL 34787
Ph. 407-905-8180
Fax 407-905-6232

Certificate of Authorization #00008507

DRAWN BY: CLK
DATE: 2/4/08

CHECKED BY: RAJ
DATE: 2/4/08

SCALE
1" = 50'

JEFFREY A. SEDLOFF
PE# 51506

JOB NO.
07-0398
SHEET
9
OF 10

RILEY & Company, Inc. (H-20 GP)

w/ BATTERY BACK-UP FOR AUDIO AND VISUAL ALARMS

SCOPE: Supply one complete H-20 GP Pre-Fab Lift Station, per design.
Pumps shall be capable of grinding and pumping domestic & commercial sewage.

Complete system shall be supplied by:

RILEY & Company, Inc.
Sanford, FL 32773 (Ph. 407-265-9963)

NO SUBSTITUTIONS - NO ALTERNATES

The H-20 Load Rated Fiberglass Wetwell Must Be Warranted For 20 Years
And Manufactured By L.F. Manufacturing, Giddings, Texas.

After the H-20 load rated wetwell has been installed, the ASTM Certification
Number and Serial Tracking Number must be visible.

PUMPS: Submersible grinder pumps shall be HOMA Model GRP. The pumps shall be installed in the H-20 GP FRP wetwell utilizing a dual slide rail system. The grinder unit shall be capable of macerating materials normally found in domestic and commercial sewage into a fine slurry which will pass through the pump and the Sch.80 PVC discharge piping.

Stator winding shall be open type with Class F insulation and shall be heat-shrink fitted into the stator housing. The use of pins, bolts, or other fastening devices is not acceptable.

A heat sensor thermostat shall be attached to the top end of the motor winding and shall be connected in series with the magnetic contactor coil in the control panel to stop motor if winding temperature exceeds 140 C., but shall automatically reset when the winding temperature returns to normal. Two heat sensor thermostats shall be used on three phase motors.

The pump motor grinder shaft shall be AISI 430F SS threaded to take the pump impeller and the grinder impeller.
Upper & lower mechanical seals shall be Silicon Carbide vs Silicon Carbide.

DUPLEX CONTROL PANEL:

Control panel shall be assembled and built by a TUV (UL508A CERTIFIED) manufacturing facility.

The Enclosure shall be NEMA 4X, minimum 30" high x 30" wide x 10" deep fiberglass with padlockable draw latches.

The enclosure shall have external mounting feet to allow for wall mounting.

The following components shall be mounted through the enclosure:

- 1- ea. Red Alarm Beacon (Light)
- 1- ea. Alarm Horn
- 1- ea. Generator Receptacle w/ weatherproof cover
- 1- ea. Alarm Silence Pushbutton

The backpanel shall be fabricated from .125, 5052-H32 marine alloy aluminum. All components shall be mounted by machined stainless steel screws.

The following components shall be mounted to backpanel:

- 2- ea. Motor Contactors
- 1- ea. Volt Monitor (Single Phase) Phase Monitor (Three Phase)
- 1- ea. Control Transformer (480 Volt Only)
- 1- ea. Silence Relay
- 1- ea. Duplex Alternator
- 1- ea. Model BOAC5AH Battery Back-Up w/ Smart Charger
- 20- ea. Terminals For Field Connections
- 6- ea. Terminals For Motor Connections (Single Phase Only)
- 3- ea. Grounding Lugs

The innerdoor shall be fabricated from .080, 5052-H32 marine alloy aluminum. The innerdoor shall have a continuous aluminum piano hinge.

The following components shall be mounted through the innerdoor:

- 1- ea. Main Circuit Breaker
- 1- ea. Emergency Circuit Breaker
- 1- ea. Mechanical Interlock For Emergency And Main Breakers
- 2- ea. Short Circuit Protectors
- 1- ea. Control Circuit Breaker
- 2- ea. Seal Failure Indicator Lights
- 1- ea. Hand-Off-Auto Selector Switches
- 2- ea. Pump Run Pilot Lights
- 1- ea. Power On Pilot Light
- 2- ea. Elapse Time Meters (Non-Resetable)
- 1- ea. GFI Duplex Convenience Outlet

COMPONENT SPECIFICATIONS:

All circuit breakers shall be molded thermal magnetic. The mechanical interlock shall prevent the normal and emergency main breakers being energized at the same time.

An emergency generator receptacle shall be supplied in accordance with DEP standards. The generator receptacle shall be adequately sized to meet the equipment operating conditions.

NEUTRAL TO BE SUPPLIED FOR BOTH 230V 3PHASE OR 230V SINGLE PHASE POWER

All motor short circuit protection devices must provide for undervoltage release and class 10 overload protection on all three phases. Visible trip indication, test, and reset capability must be provided without opening inner door. Open frame, across the line, contactors shall be rated per IEC standards and properly sized per the motor requirements. Contactors shall provide for safe touch power and control terminals.

Lightning Arrestor shall meet or exceed the requirements of ANSI/IEEE Std. C62.21-1984 section 8.6.1. and 8.7.3 shall be supplied by electrician and mounted on the bottom side of the switch disconnect ahead of the pump control panel.

A voltage monitor shall be supplied for single phase service.

A phase monitor shall be supplied for (3) phase service.

A green pilot light shall be supplied for each motor. The pilot light shall illuminate each time the motor is called to run.

Each pump shall have an Elapse Time Meter to record the accumulated run time. The ETM shall be 2" diameter, non-resettable, six digit, totally encapsulated unit.

A Red pilot light shall be supplied for control power. The pilot light shall illuminate when the control power is available inside the control panel.

Relays shall be ice-cube plug in type. Relay contacts shall be rated 10 amp minimum, DPDT.

Twenty (20) terminals shall be supplied for field connections.

The terminals shall be rated 25 amps minimum.

Each motors over-temperature contact shall be connected to the terminal strip and shall open a contact to de-energize the appropriate motor upon a high temperature within the motor.

A 15 Amp GFI duplex receptacle shall be supplied and mounted on the innerdoor.

Ground lugs shall be supplied and appropriately sized for each motor and for service entrance.

Nameplates for the innerdoor and back panel shall be of a graphic design, specifically depicting the intent for each device.

FASTNERS & APPURTANCES: All fasternes, lifting cables, float cable bracket, hinges, and appurtances shall be made of AISI 304SS.

A 304SS slide/latch assembly shall be provided tor holding the doors open on the wetwell and valve box.

Slide rails shall be made of SCH.40 AISI 304SS pipe.

Pump lifting cables shall be made of AISI 304 SS.

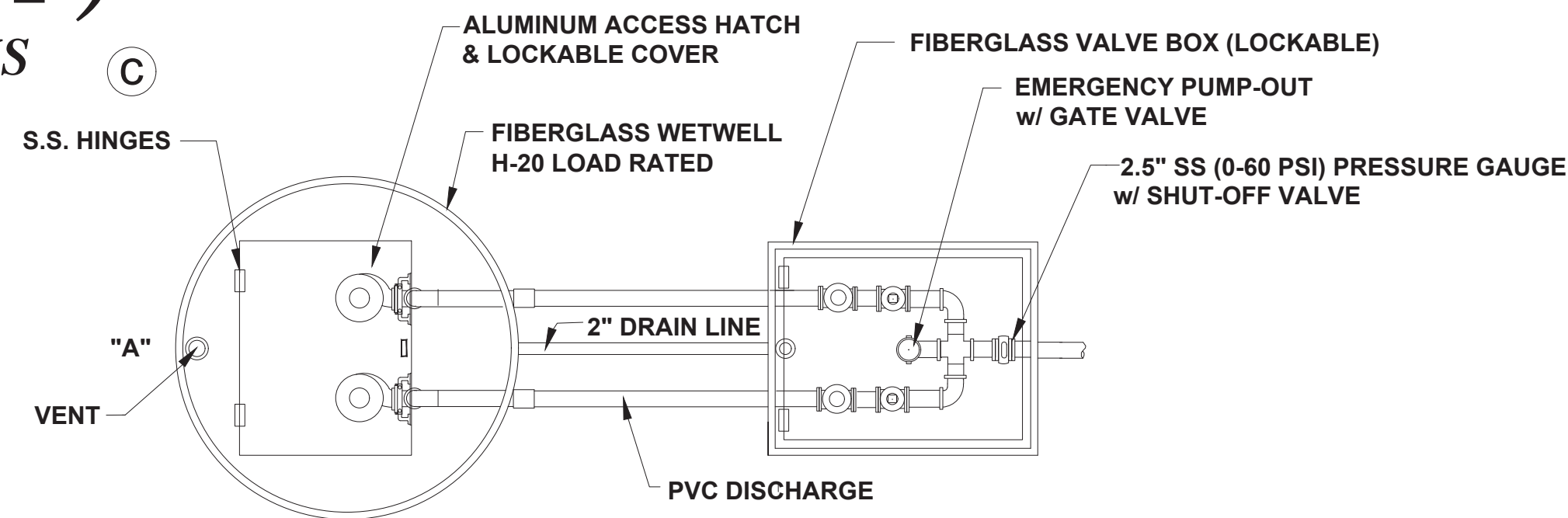
Pump lifting bales shall be made of AISI 304 SS.

H-20 LOAD RATED WETWELL WITH LIFTING LUGS:

The fiberglass wetwell must be H-20 load rated with integral lifting lugs, fiberglass slope in bottom of wetwell and valve box.

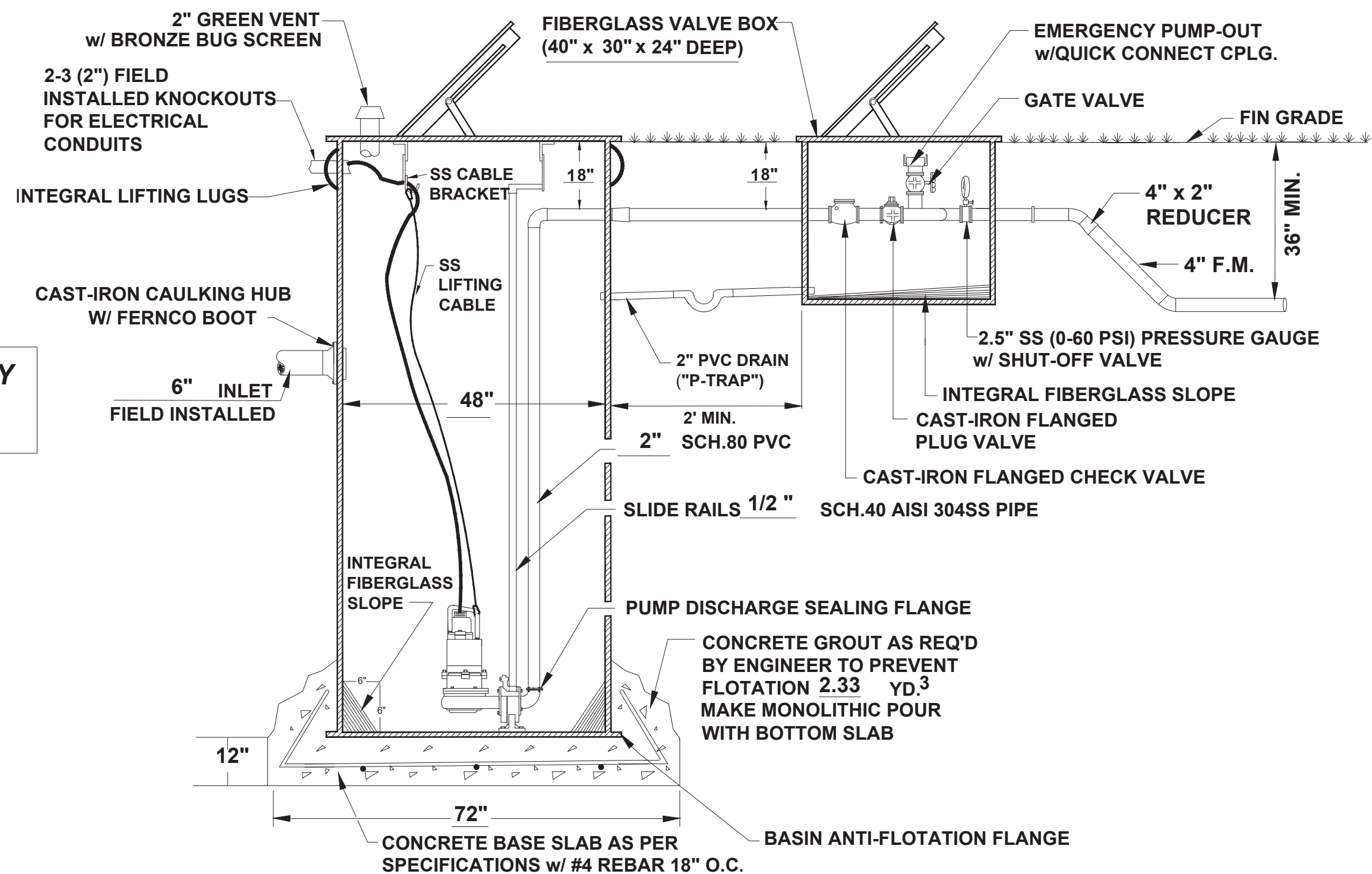
Certification of the H-20 load rating must be supplied at the time of submittals to Engineer.

The wetwell shall be manufactured of fiberglass reinforced polyester (FRP) of depth and diameter as shown on the lift station elevation detail. The wall thickness shall be adequate for the depth of the wetwell to maintain the H-20 LOAD RATING.

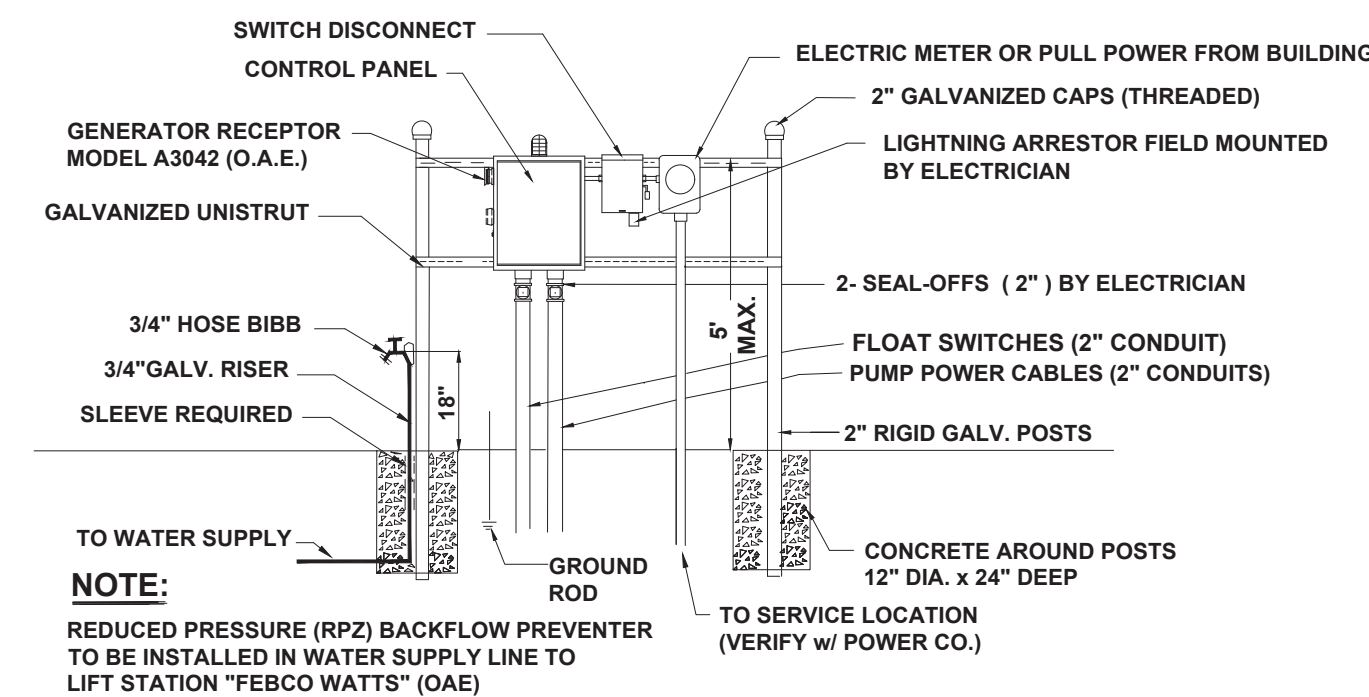


NOTE: PUMP CONTROL PANEL SHALL BE LOCATED 3 FEET FROM WETWELL PERIMETER AT POINT "A"

LIFT STATION PLAN



LIFT STATION SECTION



ELECTRICAL RISER

RILEY & CO. / H-20 GP 06-19-08

* ELECTRICIAN NOTES:

1. DRAWING NOT TO SCALE
- * 2. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES
- * 3. ELECTRICIAN SHALL SEAL OFF CONDUIT RUNS
- * 4. ELECTRICIAN TO MOUNT LIGHTNING ARRESTOR AT SWITCH DISCONNECT
- * 5. CONTRACTOR SHALL VERIFY POWER SOURCE PRIOR TO ORDERING EQUIPMENT
- * 6. NEUTRAL TO BE SUPPLIED FOR 230V-3 PHASE OR 230V-SINGLE PHASE POWER.

RILEY & Company, Inc.
5491 Benchmark Lane
Sanford, FL 32773
PH. 407-265-9963

DRAWN

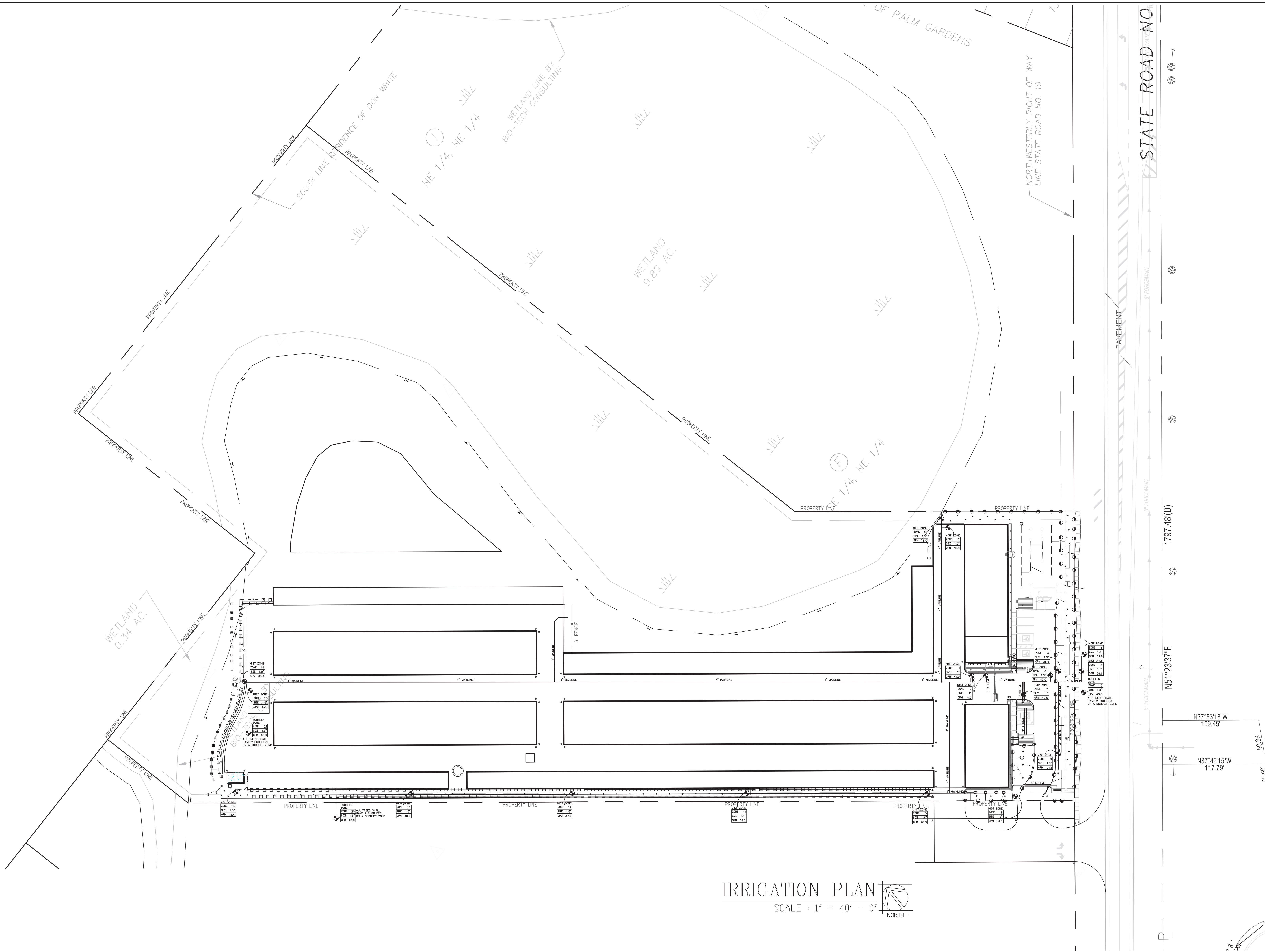
CHECKED

DATE

SCALE

JOB NO.

10 of 10



IRRIGATION PLAN
SCALE : 1" = 40' - 0"
NORTH

STATE ROAD NO. 19
PAVEMENT
6" FORCE MAIN
1797.48'(D)
N51°23'37"E
N37°53'18"W 109.45'
N37°49'15"W 117.79'
50.83'
NORTH

Project Name
HOWEY SELF STORAGE
S. PALM AVENUE, S.R. 19, HOWEY IN THE HILLS FLORIDA
Drawing Title
IRRIGATION PLAN

FLORIDA IRRIGATION DESIGN.COM
FLORIDARRIGATIONDESIGN@GMAIL.COM
407-912-9083

754 ELLWOOD AVENUE
ORLANDO FLORIDA 32804
407-912-9083
FLORIDARRIGATIONDESIGN@GMAIL.COM
WWW.FLORIDARRIGATIONDESIGN.COM

Digitally signed by
Randall S. Baker
DN: cn=Randall S. Baker, o=Land Art Landscape Architecture, ou=Florida RLA 0001760,
email=Randall@LandArtLA.com, c=US
Date: 2022.08.24 16:25:04-0400
Adobe Acrobat Reader version:
2022.002.20191

RSB
22038.00
DATE: 08/23/22
Drawing No.

IR-1

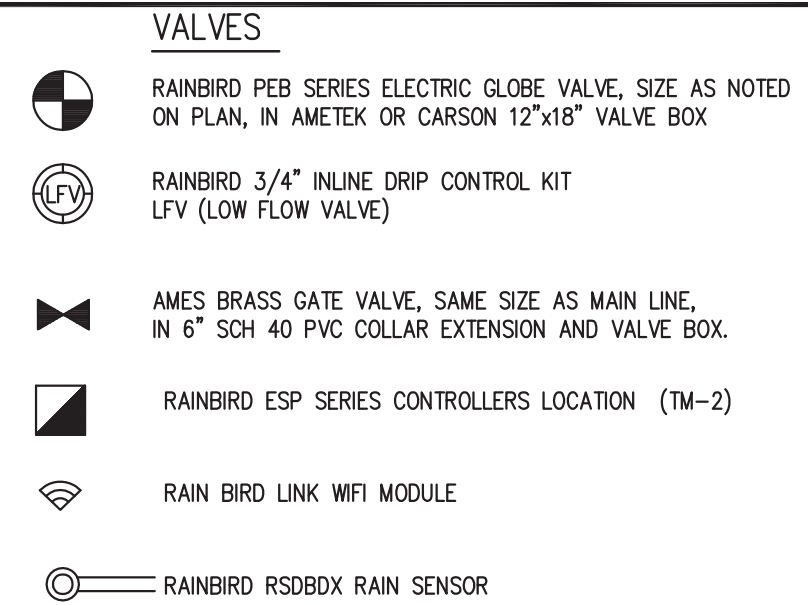
2. PER COUNTY COMMENT
RSB
08/19/21

CITY / COUNTY PROJECT NUMBER

83

ISSUED FOR PERMIT

DIPLINE (ON SURFACE, BELOW MULCH):



IRRIGATION INSTALLATION NOTES:

CALL 811 FOR A UTILITY LOCATE BEFORE YOU DIG

Project Name
HOWEY SELF STORAGE
 S. PALM AVENUE, S.R. 19, HOWEY IN THE HILLS FLORIDA
 Drawing Title
Drip Irrigation Details, Notes

754 ELLWOOD AVENUE
ORLANDO FLORIDA, 32804
407-912-9083
FLORIDAIRRIGATIONDESIGN@GMAIL.COM
WWW.FLORIDAIRRIGATIONDESIGN.COM



Drawing No.

ISSUED FOR PERMIT



COUNTY PROJECT NUMBER



1
L-1
BIKE RACK



5
L-1
ASH URN

4
L-1
RECEPTACLE



3
L-1
BENCH



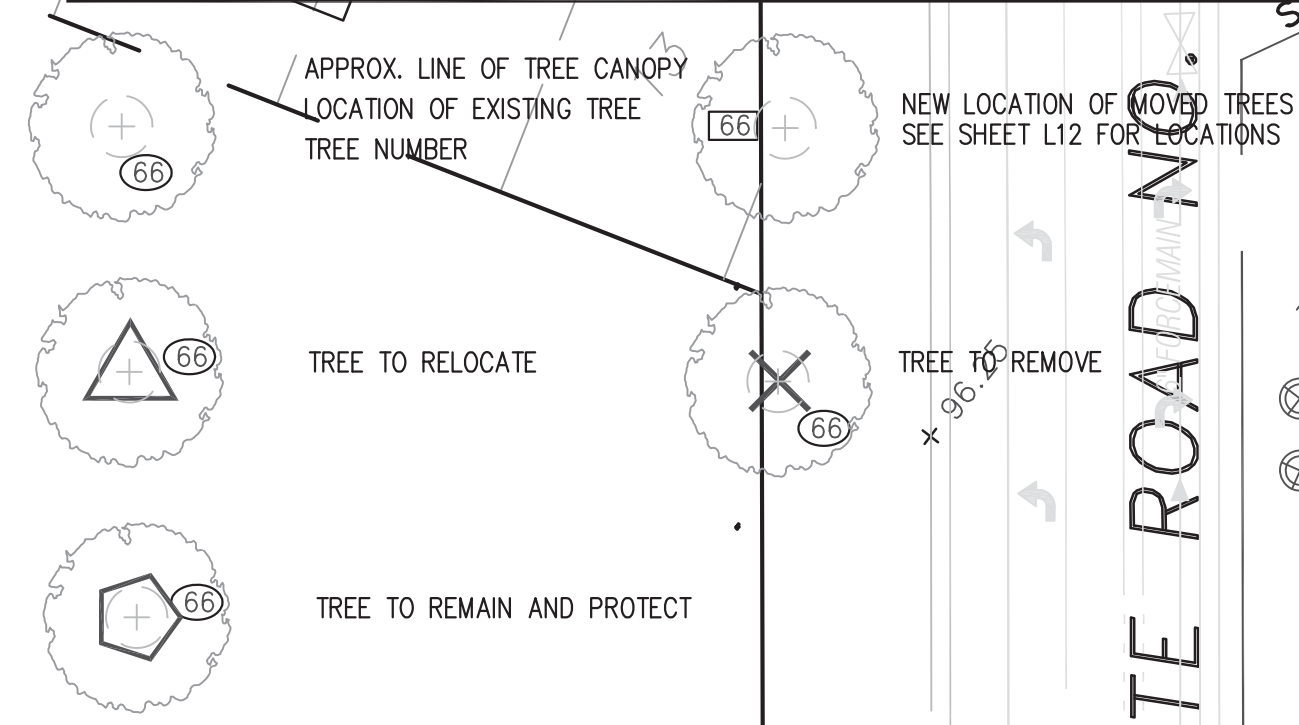
1
L-1
PAVER

MATERIAL SCHEDULE			
SYMBOL	ITEM	DESCRIPTION	QUAN
①	BIKE RACK	RING BY LANDSCAPE FORMS, SILVER, SEE DETAILS THIS SHEET, LANDSCAPEFORMS.COM, 800-430-6209	1 EACH
②	PERVIOUS PAVER	BELGARD TURFSTONE 16" X 24" GREY OLDCASTLE COASTAL ORLANDO - 800-226-9117	160 SF
③	BENCH	PEVO SPORT 7.5' COVERED BENCH, SKY BLUE, NO IMAGE, ROB@PEVOSPORTS.COM, 910-397-9388	1 EA.
④	TRASH RECEPTACLE	AUSTIN SIDE OPEN TRASN BIN, SILVER, LANDSCAPEFORMS.COM, 800-430-6209	1 EA.
⑤	ASH URN	HUMO VERTICAL ASH URN, SILVER, DECK MOUNT, LANDSCAPEFORMS.COM, 800-430-6209	1 EA.
⑥	VEHICLE GATE	VERTICAL PIVOT LIFT BUCKEYE GATE AND OPERATOR BY AUTOGATE.COM 800-944-4283 CONTACT BILL RODWANCY OR BRIAN FRITZ	2 EA.
⑦	PEDESTRIAN GATE	BUCKEYE PEDESTRIAN GATE BY AUTOGATE.COM 800-944-4283 CONTACT BILL RODWANCY OR BRIAN FRITZ	2 EA.

6
L-1
MATERIALS LIST

- KEY:
- A PROPOSED ENTRY DRIVE
 - B PROPOSED SIGN (UNDER SEPARATE PERMIT)
 - C PROPOSED ACCESSIBLE PARKING
 - D PROPOSED ACCESSIBLE PARKING SIGNAGE
 - E PROPOSED PARKING SPACE
 - F PROPOSED LIFT STATION
 - G PROPOSED DUMPSTER
 - H PROPOSED 6' MASONRY WALL
 - I PROPOSED 6' FENCE
 - J PROPOSED STORAGE OFFICE
 - K PROPOSED STORAGE BUILDING
 - L PROPOSED RETENTION
 - J PROPOSED CANOPY TREE ☼
 - K PROPOSED PALM TREE *
 - L PROPOSED FLOWERING / UNDERSTORY TREE ☼
 - M PROPOSED CONIFER TREE ●
 - N SAVE AS MUCH NATIVE VEGETATION AND TREES AS POSSIBLE. REMOVE ANY INVASIVES

LEGEND



STATE ROAD NO. 1

57°28'41" 73.05

94.25

90.45

88.28

87.31

86.80

86.00

85.00

84.00

83.00

82.00

81.00

80.00

79.00

78.00

77.00

76.00

75.00

74.00

73.00

72.00

71.00

70.00

69.00

68.00

67.00

66.00

65.00

64.00

63.00

62.00

61.00

60.00

59.00

58.00

57.00

56.00

55.00

54.00

53.00

52.00

51.00

50.00

49.00

48.00

47.00

46.00

45.00

44.00

43.00

42.00

41.00

40.00

39.00

38.00

37.00

36.00

35.00

34.00

33.00

32.00

31.00

30.00

29.00

28.00

27.00

26.00

25.00

24.00

23.00

22.00

21.00

20.00

19.00

18.00

17.00

16.00

15.00

14.00

13.00

12.00

11.00

10.00

9.00

8.00

7.00

6.00

5.00

4.00

3.00

2.00

1.00

0.00

-1.00

-2.00

-3.00

-4.00

-5.00

-6.00

-7.00

-8.00

-9.00

-10.00

-11.00

-12.00

-13.00

-14.00

-15.00

-16.00

-17.00

-18.00

-19.00

-20.00

-21.00

-22.00

-23.00

-24.00

-25.00

-26.00

-27.00

-28.00

-29.00

-30.00

-31.00

-32.00

-33.00

-34.00

-35.00

-36.00

-37.00

-38.00

-39.00

-40.00

-41.00

-42.00

-43.00

-44.00

-45.00

-46.00

-47.00

-48.00

-49.00

-50.00

-51.00

-52.00

-53.00

-54.00

-55.00

-56.00

-57.00

-58.00

-59.00

-60.00

-61.00

-62.00

-63.00

-64.00

-65.00

-66.00

-67.00

-68.00

-69.00

-70.00

-71.00

-72.00

-73.00

-74.00

-75.00

-76.00

-77.00

-78.00

-79.00

-80.00

-81.00

-82.00

-83.00

-84.00

-85.00

-86.00

-87.00

-88.00

-89.00

-90.00

-91.00

-92.00

-93.00

-94.00

-95.00

-96.00

-97.00

-98.00

-99.00

-100.00

-101.00

-102.00

-103.00

-104.00

-105.00

-106.00

-107.00

-108.00

-109.00

-110.00

-111.00

-112.00

-113.00

-114.00

-115.00

-116.00

-117.00

-118.00

-119.00

-120.00

-121.00

-122.00

-123.00

-124.00

-125.00

-126.00

-127.00

-128.00

-129.00

-130.00

-131.00

-132.00

-133.00

-134.00

-135.00

-136.00

-137.00

-138.00

-139.00

-140.00

-141.00

-142.00

-143.00

-144.00

-145.00

-146.00

-147.00

-148.00

-149.00

-150.00

-151.00

-152.00

-153.00

-154.00

-155.00

-156.00

-157.00

-158.00

-159.00

-160.00

-161.00

-162.00

-163.00

-164.00

-165.00

-166.00

-167.00

-168.00

-169.00

-170.00

-171.00

-172.00

-173.00

-174.00

-175.00

-176.00

-177.00

[illegible]

APPROX. LINE OF TREE CANOPY
LOCATION OF EXISTING TREE
TREE NUMBER

TREE TO RELOCATE

TREE TO REMAIN AND PROTECT

TREE REMOVAL NOTES

1. INSTALL SILT FENCE AT PERIMETER TO PROTECT WETLAND FROM CONSTRUCTION RUNOFF. SEE SHEET L-5
2. MAKE ALL ATTEMPTS TO SAVE ALL TREES AND NATIVE VEGETATION WITHIN THE AREA MARKED AS "N" ON SHEETS L-1 AND L-2. REMOVE ANY INVASIVES.
3. PROTECT ALL EXISTING TREES TO REMAIN FROM ROOT ZONE DAMAGE. DO NOT ALLOW PARKING, MATERIALS STORAGE OR OTHER ACTIVITIES BENEATH THE CANOPY.



Project Name
HOWEY SELF STORAGE
 S. PALM AVENUE, S.R. 19, HOWEY IN THE HILLS FLORIDA
 Drawing Title
TREE REMOVAL PLAN

L.a.l.a.
LANDART
LANDSCAPE ARCHITECTURE

754 ELLWOOD AVENUE
ORLANDO FLORIDA, 32804
407-484-6099
PROJECTS@LANDARTLA.COM
WWW.LANDARTLA.COM



Digitally signed by
Randall S. Baker
DN: cn=Randall S.
Baker, o=Land Art
Landscape
Architecture,
ou=Florida RLA
0001760,
email=Randall@La
ndArtLA.com, c=US
Date: 2022.08.24
20:33:16 -04'00'
Adobe Acrobat
Reader version:
2022.002.20191

RSB
22038.00
DATE: 08/23/22
Drawing No.

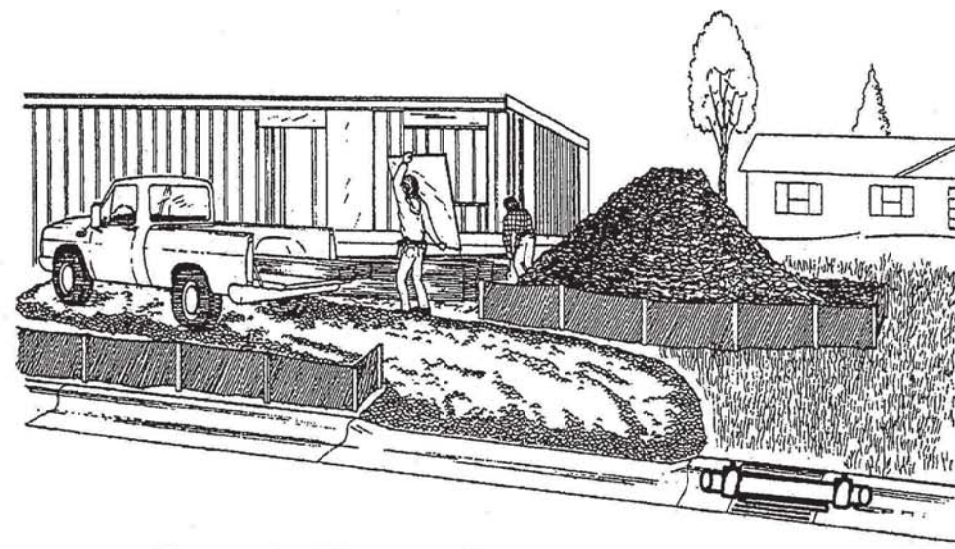
L-2

ISSUED FOR PERMIT



CITY OF ORLANDO

EROSION & SEDIMENTATION CONTROL FOR CONSTRUCTION SITES



*By controlling erosion and sedimentation,
Orlando builders keep our streets and waterways clean.*

Erosion Is a Costly Problem

Eroding construction sites are a leading cause of water quality problems in Florida. For every acre under construction, about 1 ½ dump truck loads of soil wash into the stormwater system and into a nearby lake unless builders use proper erosion control measures.

Controlling Erosion Can Be Easy

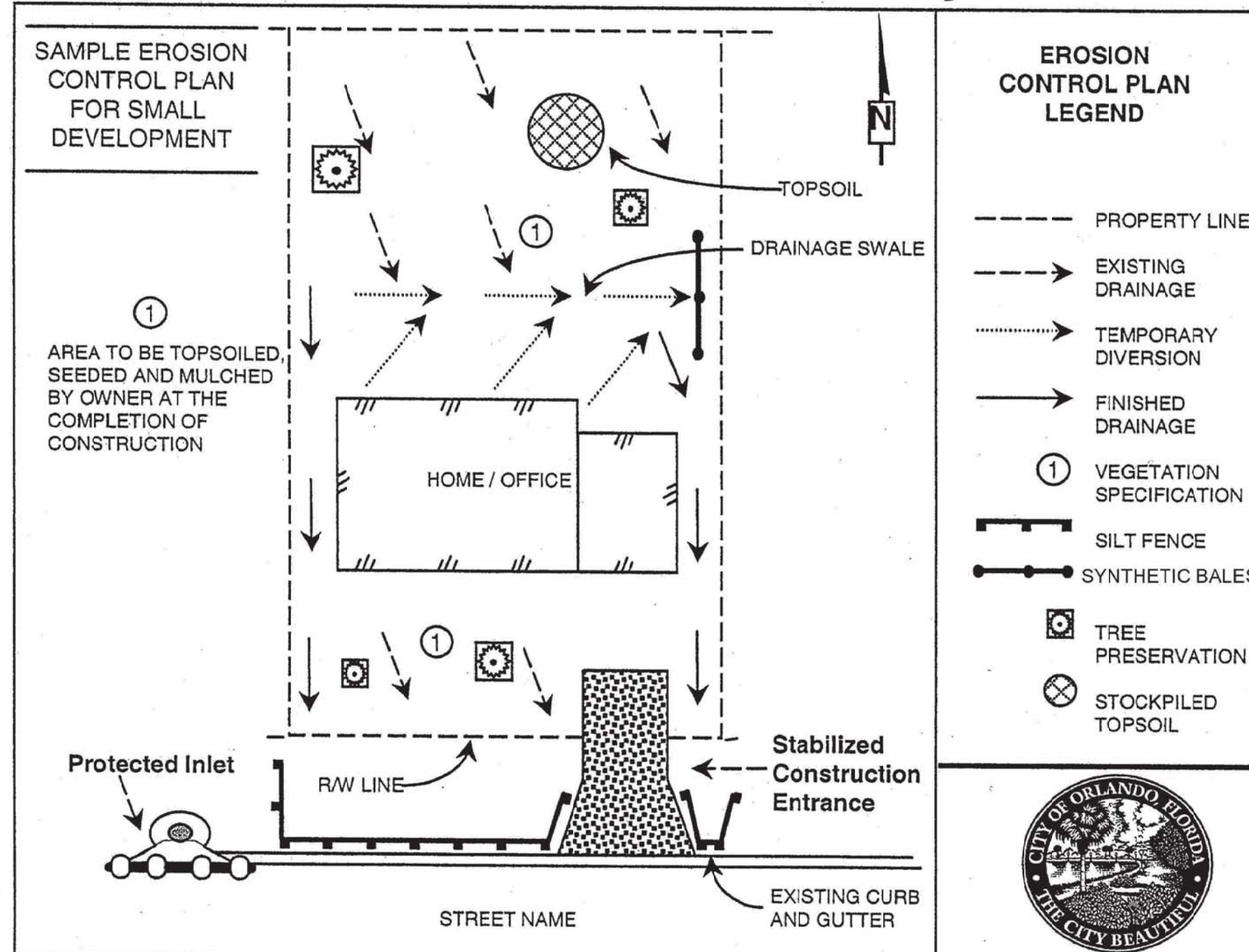
Erosion control is important and necessary for all development sites. The materials needed are easy to find and relatively inexpensive - silt fencing, synthetic bales, stakes, inlet protection, and grass seed. Putting these materials to use is a straightforward process. Maintenance to those Best Management Practices (BMP's) is key to staying in compliance.

This fact sheet includes shows step-by-step instructions that can be used by builders. Additional controls will be needed for sites that are adjacent to lakes, wetlands, and streams, have steep slopes, receive runoff from adjacent land, or are larger than one acre.

When areas are stabilized and not endanger of eroding, the temporary erosion control measures can be removed. BMP's should not be left on finished sites.

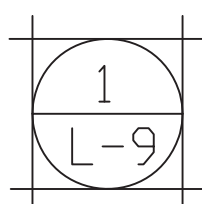
For more information on erosion and sediment control issues and how you can help save our lakes, please contact the City of Orlando Streets and Stormwater Hotline at 407-246-2370.

Ways to help keep Orlando "The City Beautiful"



Under the Stormwater Utility Code, Section 31.19, the City prohibits the discharge of pollutants (including sediment and construction debris) into lakes, stormwater drains, or any part of the stormwater conveyance system (ex. streets, gutters, alleyways, ditches, canals, parking lots, and retention/detention ponds, etc.). For more information about erosion and sediment control, refer to the Florida Development Manual: A Guide to Sound Land and Water Management, and the FDEP Erosion, Sediment, and Stormwater Inspector Manual. Violators may be subject to civil penalties, citations, pollution abatement costs, and/or action by the City of Orlando Code Board.

(over)



EROSION CONTROL (BLUE SHEET)

SCALE : N.T.S.

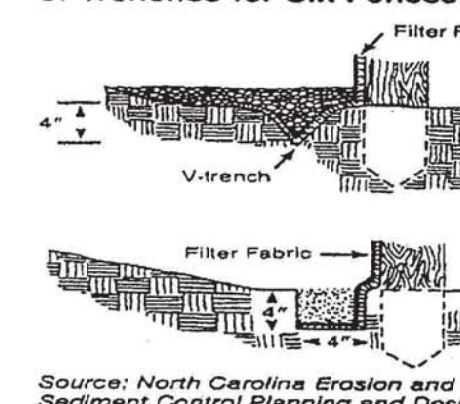
COMMONLY USED EROSION CONTROL MEASURES

PERIMETER CONTROLS

- Examples may include trenched-in silt fence, trenched-in synthetic bales, berms, sod buffers, wattles, turbidity barrier, etc.
- Install within 24 hours of land disturbance.
- Ensure that perimeter controls are installed properly (trenched-in, no gaps, appropriate BMP for conditions) and maintained until area is stabilized.
- Special attention to perimeter controls needs to be taken along sensitive and critical areas such as wetlands, waterbodies, stormwater systems, roads, adjacent parcels, etc.
- Inspect, repair, replace, and remove accumulated sediments weekly and after ½ inch rain event.

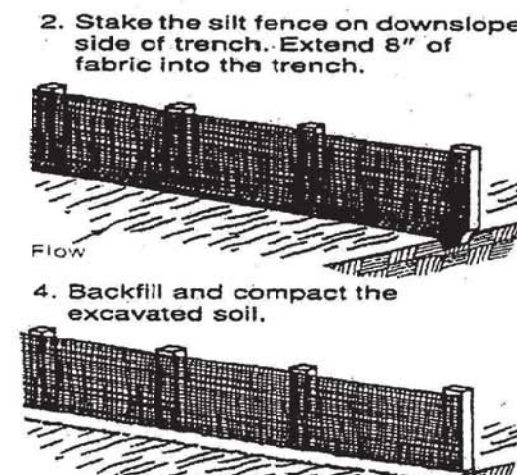
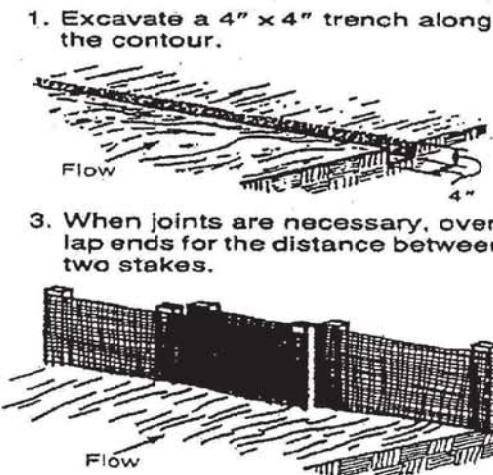
Silt Fences

Figure 3—Cross Sections of Trenches for Silt Fences



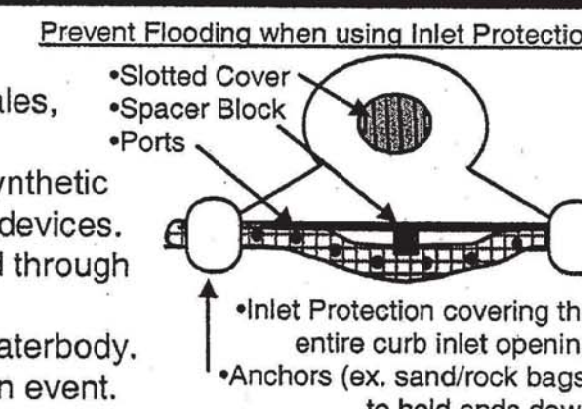
Source: North Carolina Erosion and Sediment Control Planning and Design Manual, 1998.

Figure 4—How to Install a Silt Fence



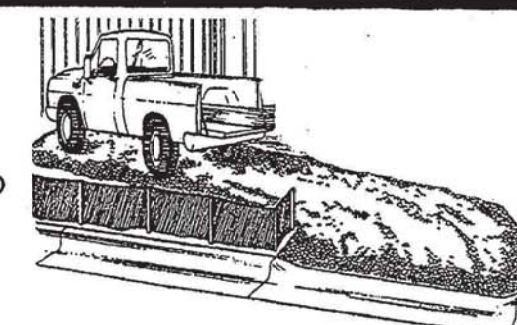
STORMWATER SYSTEM PROTECTION

- Examples of stormwater systems may include stormwater inlets and grates, ditches, swales, retention/detention ponds, canals, lakes, etc.
- Method of protecting on-site and off-site stormwater systems include properly installed synthetic bales, silt fence fabric, filter fabric, sock-covered perforated pipe, or other inlet protection devices.
- In problem flood-prone areas (such as streets), ensure that floodwaters can be alleviated through ports and bypasses.
- Floating turbidity curtain may need to be installed for added protection to the receiving waterbody.
- Inspect, repair, replace, and remove accumulated sediments weekly and after ½ inch rain event.



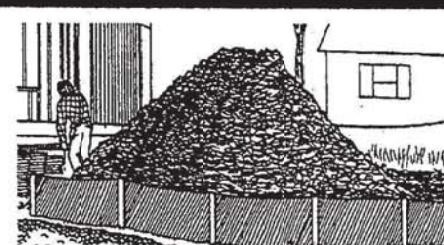
OFFSITE TRACKING

- Prevent offsite tracking of sediment onto streets by stabilizing the site entrance.
- Examples include at least 50 foot of gravel with geo-fabric underlay, tire wash area, etc.
- At the end of each workday, remove sediment by sweeping and scraping up soil tracked onto the street. Frequent sweeping of street and curb line will prevent sediment accumulation.
- Sediment in the streets and curbs can become major safety and environmental hazards for your site. Sediment can impede traffic, cause flooding, and degrade lakes.



SOIL STOCKPILES

- Locate away from any down-slope street, driveway, stream, lake, wetland, ditch, or drainage way.
- If stockpiles are located near a perimeter, cover stockpiles with plastic sheeting.
- Add perimeter controls at the toe of stockpile.
- Wet down exposed soil with a light spray or sprinkler to keep dust and erosion at a minimum.



STABILIZE AREAS

- Wherever possible, preserve existing trees, shrubs, and other vegetation to minimize exposed areas.
- Stabilize exposed areas immediately. Do not wait till end of project.
- Stabilization can be achieved with sod, seeding, mulch, erosion control blankets, etc. Hard armor (ex. rip-rap, netting, concrete, rock, etc.) may be more appropriate in channels, flumes, steep slopes, swift moving water, etc.
- Revegetate exposed areas with seed, sod, or mulch as soon as possible.
- To prevent root damage to existing trees, do not grade, place soil stockpiles, or park near trees marked for preservation.
- Mulch may need to be anchored down by disk, crimping, or nets. Sod may need to be anchored down with staples - especially on side slopes.
- Seed and sod must be watered and maintained to establish effective cover per City Engineering Standards Manual specs.

DEWATERING OPERATIONS

- Dewatering a site to install underground utilities will require a permit through the Water Management District (St Johns River WMD 407-659-4800 or South Florida WMD 407-858-6100).
- Dewatering methods include well-points, sock filters, sump pumps, etc.
- Directing the water offsite will require the discharge to meet FDEP Surface Water Quality Classifications (62-302.530). The water will need to be tested for pollutants.
- Turbidity levels on the discharge water shall not exceed 29 N.T.U.'s above the receiving waterbody. This can be achieved through well-point and sock filter methods, velocity controls, armored spillways, sediment basins, use of chemical clarifiers, etc.
- Floating turbidity curtains should be installed in the receiving waterbody. Curtain must extend to bottom of waterbody and attached to sides of bank.



MAINTENANCE TO BMP's

- Inspect BMP's at least weekly and after ½ inch rain event.
- Remove sediment and repair spots of erosion immediately.
- If site is subject to NPDES permitting (1+ acres disturbed), keep a weekly log of erosion control efforts.

For more information on Erosion and Sediment Control Issues and how you can help save our lakes, please contact the City of Orlando Streets and Stormwater Hotline at 407-246-2370.

NOTES

- THE GUIDELINES FOR EROSION SEDIMENT CONTROL BLUE SHEET WILL SERVE AS A GUIDE FOR THE IMPLEMENTATION OF EROSION SEDIMENT CONTROL MEASURES IF NONE OTHER IS PROVIDED.
- THE CONTRACTOR SHALL NOT AND PROTECT ALL SUNSHINE ONE CALL UTILITY MARKINGS THROUGHOUT THE PROJECT.
- THE PROPOSED PROJECT IS DESIGNED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE AND FLORIDA BUILDING CODE COMMERCIAL, CURRENT EDITION WITH REVISIONS.
- THE PROPOSED PROJECT CONSTRUCTION IS DESIGNED FOR 140 M.P.H. WIND SPEED.

1	REVISED	05/19/21
2	REVISED	05/19/21

Project Name: HOWEY SELF STORAGE
S. PALM AVENUE, S.R. 19, HOWEY IN THE HILLS FLORIDA
Drawing Title: EROSION CONTROL

L.A.L.A.
LANDART
LANDSCAPE ARCHITECTURE
75A ELLWOOD AVENUE
ORLANDO, FLORIDA 32804
407-484-6099
PROJECT@LANDARTLA.COM
WWW.LANDARTLA.COM



Digitally signed by
Randall S. Baker
DN: cn=Randall S.
Baker, o=Land Art
Landscape
Architecture,
ou=Florida RLA
0001760,
email=Randall@La
ndArtLA.com,
c=US

Date: 2022.08.24
20:35:24 -04'00'
Adobe Acrobat
Reader version:
2022.002.20191

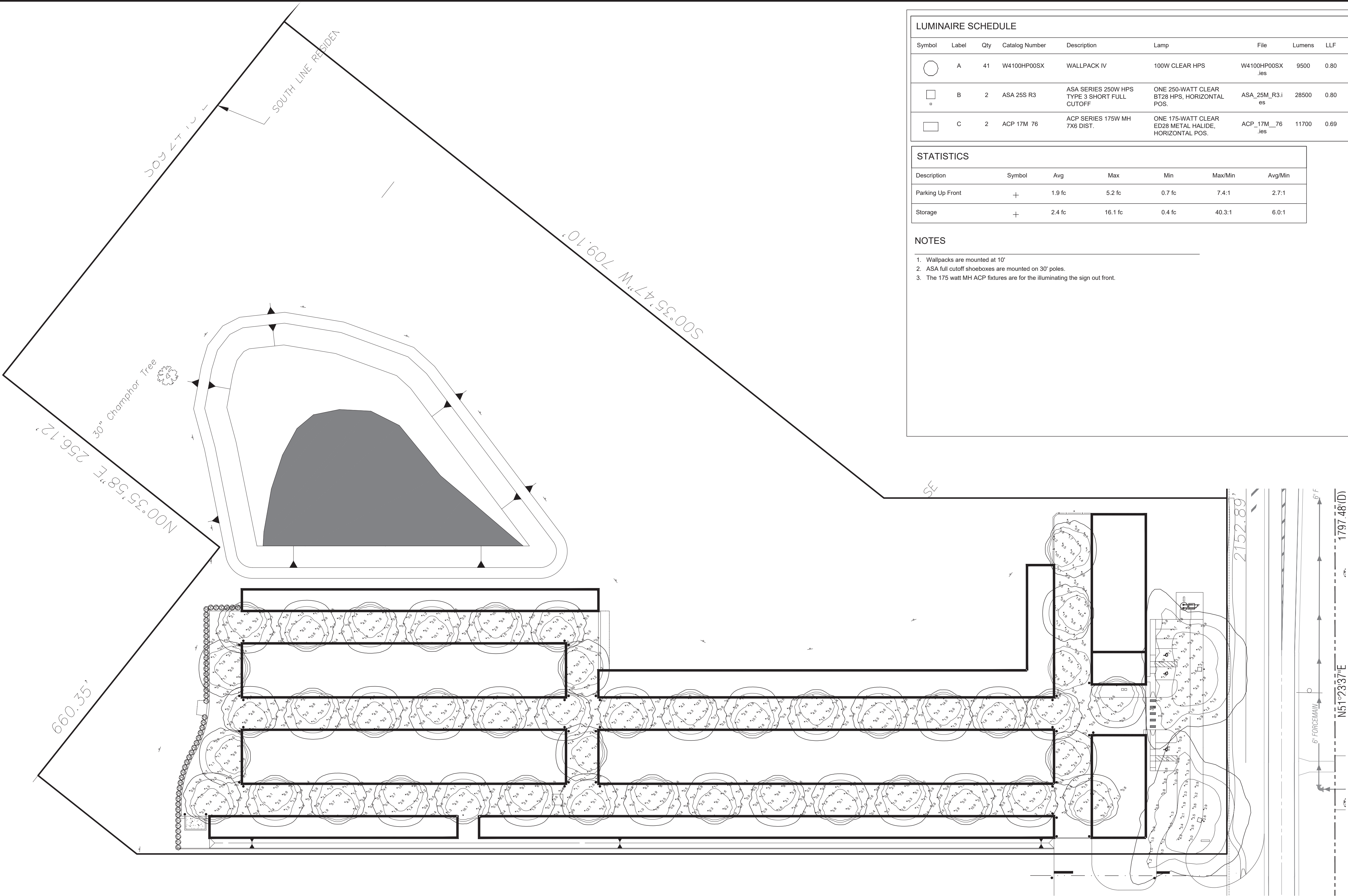
RSB

22038.00

DATE: 08/23/22

Drawing No.

L-5



LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	A	41	W4100HP00SX	WALLPACK IV	100W CLEAR HPS	W4100HP00SX .ies	9500	0.80	128
	B	2	ASA 25S R3	ASA SERIES 250W HPS TYPE 3 SHORT FULL CUTOFF	ONE 250-WATT CLEAR BT28 HPS, HORIZONTAL POS.	ASA_25M_R3.i es	28500	0.80	294
	C	2	ACP 17M 76	ACP SERIES 175W MH 7X6 DIST.	ONE 175-WATT CLEAR ED28 METAL HALIDE, HORIZONTAL POS.	ACP_17M_76 .ies	11700	0.69	213

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Up Front	+	1.9 fc	5.2 fc	0.7 fc	7.4:1	2.7:1
Storage	+	2.4 fc	16.1 fc	0.4 fc	40.3:1	6.0:1

- NOTES
- Wallpacks are mounted at 10'
 - ASA full cutoff shoeboxes are mounted on 30' poles.
 - The 175 watt MH ACP fixtures are for the illuminating the sign out front.

Howey Self Storage
Hologram Wallpacks
AEL ASA Shoeboxes

Designer
Steve Prior
Date
Aug 7 2009
Scale
Drawing No.

1 of 1

DATE	REVISION
6/21/21	Town Comments

Photometric Plan

Howey Self Storage



june engineering
consultants, inc.

132 W. Plant Street, Suite 200
Winter Garden, FL 34787
Ph. 407-905-8180
Fax 407-905-6232

Certificate of Authorization #00008507

DRAWN BY: CLK
DATE: 2/4/08

CHECKED BY: RAJ
DATE: 2/4/08

SCALE
1" = 50'

JEFFREY A. SEDLOFF
PE# 51506

JOB NO.
07-0398
SHEET
P-1
OF 10

TOWN OF HOWEY-IN-THE-HILLS

APPLICATION FOR BOARDS/COMMITTEES

Please Print Legibly

Name: ALAN HAYES Date: 8.16.22
 Home Mailing Address: 111 ISLAND DR HOWEY-IN-THE-HILLS, FL 34737
 Home Physical Address: same
 Florida Drivers License or ID: _____
 Phone Number: 352.324.2000 E-mail Address: HAYESINHOWEY@gmail.com
 Education: AA degree and 3 yrs toward B.S.
 Business (Name & Type): retired
 Business Address: _____
 Business Phone: _____ Position: _____

Training or experience related to activities of boards or committees to which appointment is sought:
Lic Florida Contractor, extensive residential construction experience

Professional Organizations: FAEE (code enforcement) FSPA (Florida Pool + Spa)

Have you served on a Town Board(s)/Committee(s) in the past? _____ Yes X No

Name of Boards/Committee(s): _____

Dates Served: _____

Please check Board(s)/Committee(s) that interest you.

- ☐ Cemetery Board
☐ Historic Preservation Board
☐ Library Board
☐ Parks & Recreation Board
☒ Planning & Zoning Board

- ☐ Police Pension Board
☐ Utility Advisory Board
☐ Visioning Committee

- ☒ Other development review
☒ Other advisory

(or anywhere I would be helpful.)

I will attend meetings in accordance with the adopted policies of the Town of Howey-in-the-Hills. If at any time my business or professional interests conflict with the interests of this Board or Committee, I will not participate in such deliberations. References may be secured from the following individuals:

Name	Address	Phone Number
1 <u>Kandace Pourbaix</u>	<u>12526 S. Putney Ct. Leesburg</u>	<u>786.236.7808</u>
2 <u>Amy Bisbo</u>	<u>400 S. Palm Ave Howey</u>	<u>352.636.5032</u>
3 <u>Linda Fulkord</u>	<u>2395 Rollins Ave Clermont</u>	<u>407.394.4330</u>

Alan Hayes
 Signature of Applicant

In completing this application, you are acknowledging that personal information you provide is subject to Florida's Public Records Policy as stated in Chapter 119, Florida Statutes, and Article I, Section 24 of the State Constitution.

Additional information may be attached to this form.

FOR TOWN HALL USE

Received by _____ Date _____
 Reviewed by Board _____
 Appointed by Town Council _____ Date _____

TOWN OF HOWEY-IN-THE-HILLS

APPLICATION FOR BOARDS/COMMITTEES

Please Print Legibly

Name: Ellen Yarckin Date: 05/04/2022

Home Mailing Address: 800 Citrus Ave Howey in the Hills, FL 34737

Home Physical Address: 800 Citrus Ave Howey in the Hills, FL 34737

Florida Drivers License or ID: _____

Phone Number: 407-252-5703 E-mail Address: Eyarckin@aol.com

Education: Masters in Mental Health Counseling from Rollins

Business (Name & Type): Neal Development Group Commercial and Residential Building inspections and site development.

Business Address: 29305 CR 561

Business Phone: 352-240-1360 Position: Owner VP

Training or experience related to activities of boards or committees to which appointment is sought:
Underground Utility Contractor's License. Home Inspection License, 12 years of commercial experience in subdivision growth inspections

Professional Organizations: Board of CFCAR(Commercial Real Estate Association)

Have you served on a Town Board(s)/Committee(s) in the past? Yes x No

Name of Boards/Committee(s):

Dates Served:

Please check Board(s)/Committee(s) that interest you.

<u> </u> Cemetery Board	<u> </u> Police Pension Board
<u> x </u> Historic Preservation Board	<u> </u> Utility Advisory Board
<u> </u> Library Board	<u> </u> Visioning Committee
<u> </u> Parks & Recreation Board	<u> </u> Other
<u> x </u> Planning & Zoning Board	<u> </u> Other

I will attend meetings in accordance with the adopted policies of the Town of Howey-in-the-Hills. If at any time my business or professional interests conflict with the interests of this Board or Committee, I will not participate in such deliberations. References may be secured from the following individuals:

	Name	Address	Phone Number
1	Larry Morris	Howey in the Hills	352-603-0034
2	Fran O'Keefe	Howey in the Hills	352-874-0209
3	Sue Garner	Howey in the Hills	407-808-2674

Ellen Yarckin

Signature of Applicant

In completing this application, you are acknowledging that personal information you provide is subject to Florida's Public Records Policy as stated in Chapter 119, Florida Statutes, and Article I, Section 24 of the State Constitution.

Additional information may be attached to this form.

FOR TOWN HALL USE

Received by _____ Date _____

Reviewed by Board _____

Appointed by Town Council _____ Date _____