



Planning & Zoning Board Meeting

October 26, 2023 at 6:00 PM

Howey-in the-Hills Town Hall

101 N. Palm Ave.,

Howey-in-the-Hills, FL 34737

Join Zoom Meeting: <https://us06web.zoom.us/j/89114138884?pwd=NwIFpk0jyc5o4bxawWK8ERaNSHpW0.1>
Meeting ID: 891 1413 8884 | **Passcode:** 066511

AGENDA

CALL TO ORDER ROLL CALL

CONSENT AGENDA

Routine items are placed on the Consent Agenda to expedite the meeting. If a Planning & Zoning Board Member wishes to discuss any item, the procedure is as follows: (1) Pull the item(s) from the Consent Agenda; (2) Vote on the remaining item(s); and (3) Discuss each pulled item and vote.

- 1.** Consideration and Approval of the September 28, 2023, Planning and Zoning Board Meeting minutes.

PUBLIC HEARING

OLD BUSINESS

NEW BUSINESS

- 2.** Consideration and Approval: **Elevation Approval - 559 Via Bella Ct.**
- 3.** Discussion: **Comprehensive Plan Evaluation and Appraiser Review (EAR) Process**

PUBLIC COMMENTS

Any person wishing to address the Planning and Zoning Board and who is not on the agenda is asked to speak their name and address. Three (3) minutes is allocated per speaker.

BOARD COMMENTS

ADJOURNMENT

To Comply with Title II of the Americans with Disabilities Act (ADA):

Qualified individuals may get assistance through the Florida Relay Service by dialing 7-1-1. Florida Relay is a

service provided to residents in the State of Florida who are Deaf, Hard of Hearing, Deaf/Blind, or Speech Disabled that connects them to standard (voice) telephone users. They utilize a wide array of technologies, such as Text Telephone (TTYs) and ASCII, Voice Carry-Over (VCO), Speech to Speech (STS), Relay Conference Captioning (RCC), CapTel, Voice, Hearing Carry-Over (HCO), Video Assisted Speech to Speech (VA-STTS) and Enhanced Speech to Speech.

NOTICE: ONE OR MORE COUNCILORS MAY BE PRESENT TO HEAR OR PARTICIPATE IN DISCUSSION REGARDING MATTERS WHICH MAY COME BEFORE TOWN COUNCIL FOR ACTION.

Howey Town Hall is inviting you to a scheduled Zoom meeting.

Topic: **Planning & Zoning Board Meeting**

Time: **Oct 26, 2023 06:00 PM Eastern Time (US and Canada)**

Join Zoom Meeting

<https://us06web.zoom.us/j/89114138884?pwd=NwIFpk0jyc5o4bxawWK8ERaNSHpnW0.1>

Meeting ID: 891 1413 8884

Passcode: 066511

Dial by your location

+1 646 558 8656 US (New York)

+1 720 707 2699 US (Denver)

+1 346 248 7799 US (Houston)

Meeting ID: 891 1413 8884

Passcode: 066511

Find your local number: <https://us06web.zoom.us/j/89114138884>

Please Note: In accordance with F.S. 286.0105: Any person who desires to appeal any decision or recommendation at this meeting will need a record of the proceedings, and that for such purposes may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is based. The Town of Howey-in-the-Hills does not prepare or provide this verbatim record. Note: In accordance with the F.S. 286.26: Persons with disabilities needing assistance to participate in any of these proceedings should contact Town Hall, 101 N. Palm Avenue, Howey-in-the-Hills, FL 34737, (352) 324-2290 at least 48 business hours in advance of the meeting.



Planning & Zoning Board Meeting

September 28, 2023 at 6:00 PM
Howey-in the-Hills Town Hall
101 N. Palm Ave.,
Howey-in-the-Hills, FL 34737

MINUTES

CALL TO ORDER ROLL CALL

BOARD MEMBERS PRESENT:

Board Member Alan Hayes | Board Member Richard Mulvany | Board Member Ellen Yarckin | Board Member Shawn Johnson | Board Member Frances Wagler | Vice-Chair Ron Francis III | Chair Tina St. Clair

STAFF PRESENT:

John Brock, Town Clerk | Tom Harowski, Town Planner

CONSENT AGENDA

Routine items are placed on the Consent Agenda to expedite the meeting. If a Planning & Zoning Board Member wishes to discuss any item, the procedure is as follows: (1) Pull the item(s) from the Consent Agenda; (2) Vote on the remaining item(s); and (3) Discuss each pulled item and vote.

1. Consideration and Approval of the May 17, 2023, Planning and Zoning Board Joint Workshop with Town Council minutes.

Motion made by Vice-Chair Francis III to approve the Minutes for the May 17, 2023 Planning and Zoning Board Joint Workshop with Town Council; seconded by Board Member Mulvany. Motion approved unanimously by voice vote.

Voting

Yea: Board Member Hayes, Board Member Mulvany, Board Member Yarckin, Board Member Johnson, Board Member Wagler, Vice-Chair Francis III, Chair St. Clair

Nay: None

2. Consideration and Approval of the June 22, 2023, Planning and Zoning Board Meeting minutes.

Motion made by Board Member Johnson to approve the Minutes for the June 22, 2023 Planning and Zoning Board Meeting; seconded by Vice-Chair Francis III. Motion approved unanimously by voice vote.

Voting

Yea: Board Member Hayes, Board Member Mulvany, Board Member Yarckin, Board Member Johnson, Board Member Wagler, Vice-Chair Francis III, Chair St. Clair

Nay: None

PUBLIC HEARING

3. Consideration and Recommendation: **Ordinance 2023-009 Comprehensive Plan FLU Amendment and Rezoning - ASMA Parcel**

Town Planner, Tom Harowski, introduced and explained this item. Mr. Harowski reviewed his staff report that had been included in this meeting's packet with the Board.

Chair St. Clair allowed the applicants to make their presentation and speak on their own behalf. Present from the applicant included Nicole Gargas, Gemini Design LLC, Nick Asma, Owner of the property, and Brent Spain, Land Use Attorney representing Mr. Asma.

Mr. Spain gave a lengthy presentation in support of the applicant's project. Mr. Spain stated that the parcel in question was not ideally shaped for residential use but would be compatible for commercial use.

Chair St. Clair open Public Comment for this item only.

Brittany Lerch, 25926 Bloomfield Ave., Howey-in-the-Hills (unincorporated Lake County) – Mrs. Lerch stated that she lived in unincorporated Lake County, so she did not want to share her opinion about this proposed development. Mrs. Lerch did want to share information about crashes and the information that could be gathered from the Lake-Sumter MPO.

Rodney Tate, 1003 Hamlin Ave. – Mr. Tate lives near this area and was concerned about traffic this would bring. Mr. Tate was not in favor of this proposed project.

Peter Tuite, 300 E. Croton Way – Mr. Tuite had traffic concerns and was not in favor of this project.

Tim Everline, 1012 N. Lakeshore Blvd. – Mr. Everline had a problem with the traffic study and was not in favor of this project.

Frank Martinez, 10400 Woodland Hills Ct., Howey-in-the-Hills (unincorporated Lake County) – Mr. Martinez was concerned about parking for this project and was not in favor of this project.

Larry Morris, 800 N. Citrus Ave. – Mr. Morris was concerned about traffic and parking issues, and he was not in favor of this proposed project.

Ron Holcomb, 902 N. Citrus Ave. – Mr. Holcomb stated that the intersection of SR. 19 and N. Citrus Ave. was inadequate, and he was not in favor of this proposed project.

Todd Hawkins, 1110 N. Lakeshore Blvd. – Mr. Hawkins thinks this project would be wonderful, just not on this site; another area of the Town would be better.

Sue Garner, 900 N. Citrus Ave. - Ms. Garner had well placement and septic tank issues. Ms. Garner was upset that a commercial building would have an entrance onto a residential street, and she was not in favor of this proposed project.

Town Clerk, John Brock, read out loud two letters and an email that had been submitted to Town Hall about this item. The first was from Mercedes and Ron Holcomb, the second was from Lynn and Rodney Poling and Jeff Haertel, and the third was from Nick Ripostella.

Brent Spain, representing the applicant, spoke to answer the concerns of the public. Mr. Spain spoke up on 10 points. They were:

- 1) Concern that the Commercial building would need to be on a septic system – A residential building would need to be on a septic system as well.
- 2) Retail Uses – These would require a review and conditional uses that require a review were what was read out by a member of the public earlier.
- 3) Traffic Use – General office uses were used to determine this number.
- 4) Parking Requirements – The proposed amount of parking is what the Town requires.
- 5) The owner of the property was not obligated to help the Howey Mansion and their need for additional parking.
- 6) Dumpster – The owner had stated that a dumpster would not be used; trash cans that would be shielded from public view would be used.
- 7) Density concerns – This was a low intensity project.
- 8) Driveway – FDOT controls the ability to put a driveway on to SR 19, and N. Citrus Ave. was a public road.
- 9) Preserving Howey and Mansion – The property owner was working hard to fit in to the neighborhood, and all four sides of the proposed building would be consistent. Also, his client has property rights.
- 10) Traffic Safety – Anything built on this property would have an effect.

Chair St. Clair opened Board Comments for this item.

Board Member Wagler admitted that she was employed by the Howey Mansion, and that she was the Manager of the Howey Mansion. She stated that she did not believe that she needed to recuse herself from this vote.

Board Member Wagler stated that she believed that, historically, Mr. Howey would have wanted commercial growth on Central Ave.

Board Member Wagler asked the property owner, Mr. Asma, if he had offered to sell this parcel of land to the owners of the Howey Mansion. Mr. Asma stated that he had not.

Motion made by Board Member Mulvany to NOT Recommend Ordinance 2023-009 to the Town Council; seconded by Board Member Wagler. Motion to NOT Recommend Ordinance 2023-009 passed unanimously by roll-call vote.

Voting

Yea: Board Member Hayes, Board Member Mulvany, Board Member Yarckin, Board Member Johnson, Board Member Wagler, Vice-Chair Francis III, Chair St. Clair

Nay: None

The Board's stated reasons for voting to NOT recommend this Ordinance were: they were concerned about the safety factor with traffic from this project going onto E. Citrus Ave then turning onto SR 19; the Town of Howey had pride in the Howey Mansion and Griffin Village and this would detract from it; they were concerned about the increase in traffic that this project would bring; this was a residential neighborhood, not a commercial area; and they were concerned about the value of the residential property going down in this area if they were to recommend.

None

NEW BUSINESS

4. Consideration and Approval: **Final Subdivision Plans - Hillside Groves**

Town Planner, Tom Harowski, introduced and explained this item. Mr. Harowski reviewed his staff report that had been included in this meeting's packet with the Board. Mr. Harowski stated that what the Board was reviewing during this meeting was only if the Final Subdivision Plans met the Town's Engineering Standards. Mr. Harowski explained that, if approved, the applicant would have 18 months to begin construction on the development.

Vice Chair Francis III voiced his concern about whether Number Two Road could handle any traffic from this project.

Board Member Hays wanted to know if the Town Council had gone against the recommendation of the Planning and Zoning Board when approving this project.

Chair St. Clair allowed the applicants to make their presentation and speak on their client's behalf. Present on behalf of the applicant were Bill Ray, Planner for the applicant, and Justin Williams, Engineer on Record for the project.

Mr. Ray gave a brief presentation on the history of the project. Mr. Ray stated the revised binding agreement would dedicate right-of-way (ROW) on Number Two Road to Lake County.

Mr. Ray explained that Duke Energy would do the final lighting engineering for the streetlights in the development.

Board Member Wagler asked about sewer services for the project. Mr. Ray explained that the owners already had agreements with the Central Lake CDD for wastewater services.

Chair St. Clair open Public Comment for this item only.

Tim Everline, 1012 N. Lakeshore Blvd – Mr. Everline stated that he believed all Development Agreements needed to have sunset dates. Mr. Everline wanted to know who the builder would be for this development.

Brittany Lerch, 25926 Bloomfield Ave., Howey-in-the-Hills (unincorporated Lake County) – Mrs. Lerch was not in favor of this development. Mrs. Lerch stated that the county residents on Number Two Rd. wanted the spine road that connected SR. 19 to Number Two Rd. to be removed.

David Miles, 500 E Camellia Way – Mr. Miles stated that he had 8 items that he had questions about. Mr. Miles asked about a 2nd entrance onto Number Two Rd., turn lane road improvement on Number Two Rd, a sign at the north entrance, number of streetlights on the spine road, and the number of lanes at the south entrance to the development.

Sandy Russ, 6183 Lake View Dr, Yalaha, FL – Ms. Russ was concerned about the extra road traffic this development would cause. Ms. Russ would like to see a pause in all development around her.

Chair St. Clair allowed representatives of the applicant to speak again.

Mr. Ray stated that the Hillside Groves project was fully vested in 2009 when the applicant had submitted Engineering plans and that the Town Attorney had confirmed that at the last round of hearings.

Mr. Ray said that the state of Number Two Rd. was a Lake County issue, not a Town issue and that the spine road that was incorporated in the plans for the development had been added at the request of the Town.

Mr. Ray stated that Duke Energy would complete the final engineering plans for the streetlights for the development.

Mr. Williams addressed issues with turn lanes and street designs at the south entrance of the development.

Mr. Harowski, Town Planner, reiterated that the decision that the Board had this evening was not a debate about lot sizes or setbacks, but the Board was there to determine if the submitted plans complied with the Town's Engineering and Construction standards.

Motion made by Board Member Johnson to recommend approval; seconded by Vice-Chair Francis III. Motion approved by roll-call vote.

Voting

Yea: Board Member Hayes, Board Member Mulvany, Board Member Johnson, Board Member Wagler, Vice-Chair Francis III, Chair St. Clair

Nay: Board Member Yarckin

5. Consideration and Approval: **Fiscal Year 2023-2024 Planning & Zoning Board Meeting and DRC Meeting Schedules**

Town Planner, Tom Harowski, explained that the Planning and Zoning Board typically approves both the Planning and Zoning Board's schedule for the next year, but also the Development Review Committee's (DRC) schedule. It was decided that there would be one change in Mr. Harowski's proposed schedule, that the March 28, 2023, Planning and Zoning Board meeting would be moved to March 21, 2023.

Board Member Wagler stated that she had a conflict with the November Planning and Zoning Board Meeting date, but the consensus from the other Board Members was to leave that date alone.

Motion made by Board Member Yarckin to approve the Fiscal Year 2023-2024 Planning & Zoning Board Meeting and DRC Meeting Schedules with the amendment that the March 28, 2023, Planning and Zoning Board meeting would be moved to March 21, 2023; seconded by Board Member Johnson. Motion approved by roll-call vote.

Voting

Yea: Board Member Hayes, Board Member Mulvany, Board Member Yarckin, Board Member Johnson, Vice-Chair Francis III, Chair St. Clair

Nay: Board Member Wagler

Board Member Wagler voiced her frustration that that November Planning and Zoning Board Meeting date would not be moved even though the March date had been moved. Board Member Wagler stated that she was upset that there had been Planning and Zoning Board meetings that had been canceled and that she was not going to attend the November meeting.

Board Member Mulvany stated that he had been "called on the carpet" by Town Councilors and wants the Planning and Zoning Board to meet even if there is no business.

PUBLIC COMMENTS

Any person wishing to address the Planning and Zoning Board and who is not on the agenda is asked to speak their name and address. Three (3) minutes is allocated per speaker.

David Miles, 500 E. Camellia Way- Mr. Miles stated that Town Councilors value the Planning and Zoning Board’s input. Mr. Miles reminded everyone that the original plan for the Reserves was to have a spine road with four lanes, not two.

Mr. Miles stated that he wanted the Planning and Zoning Board to hold developers to the Town’s Code. Mr. Miles stated that he believed the developers had allowed too much density in the past.

BOARD COMMENTS

Board Member Yarckin stated that she was concerned that the Town Council did not have to follow the recommendations of the Planning and Zoning Board.

Chair St. Clair stated that Town Council had gotten better about following the Planning and Zoning Board’s recommendations.

ADJOURNMENT

There being no further business to discuss, a motion was made by Board Member Mulvany to adjourn the meeting; Vice-Chair Francis III seconded the motion. Motion was approved unanimously by voice vote.

The Meeting adjourned at 9:06 p.m. | **Attendees: 53**

Tina St. Clair Chairperson

ATTEST:

John Brock, Town Clerk



TMHConsulting@cfl.rr.com
97 N. Saint Andrews Dr.
Ormond Beach, FL 32174
PH: 386.316.8426

MEMORANDUM

TO: Howey-in-the-Hills Planning Board
CC: J. Brock, Town Clerk
FROM: Thomas A. Harowski, AICP, Planning Consultant
SUBJECT: Dreamfinder Homes House Design Waiver
DATE: October 11, 2023

The Town has received a request from Dreamfinder Homes for permission to construct a residential unit within the minimum spacing distance for separation of designs. A waiver is permitted by code when a subdivision is within the last 10% of the available lots. The specific code section is 4.06.02 A and reads as follows:

4.06.02 Residential Developments

In order to promote architectural character, the Town shall require new housing developments to offer a variety of architectural styles and elevations. These regulations promote both diversity in the exterior elevations of neighboring homes, as well as individual character in the design of each residence.

A. For new single-family residential developments or infill single family development with six (6) or more adjacent lots:

1. The same house model may not be used more than three times within a single block face. For purposes of this requirement, a different house model is a different floor plan, not the same floor plan flipped in a different direction and not the same floor plan with a different exterior treatment. **When less than ten (10%) percent of the lots in a subdivision remain to be developed, the Planning Board may approve a home design to be used more than three times within a single block face. This option is intended to provide some flexibility in finishing the subdivision development while maintaining diversity in building design.**
2. Front porches shall be a required component on at least one quarter of the house models offered in a development. These porches shall be at least 6 feet deep and 10 feet wide.
 - a. Front porches may encroach into the front setback up to five (5) feet in Single Family Residential and Medium Density Residential developments.
 - b. Front porches may be screened, provided that the screen is located behind the railings.

3. Recessed garages or side entry garages shall be a required component on at least one quarter of the house models offered in a development. To be considered recessed, the garage shall be set back a minimum of ten (10) feet from the main building face, or five (5) feet if the house has a front porch.

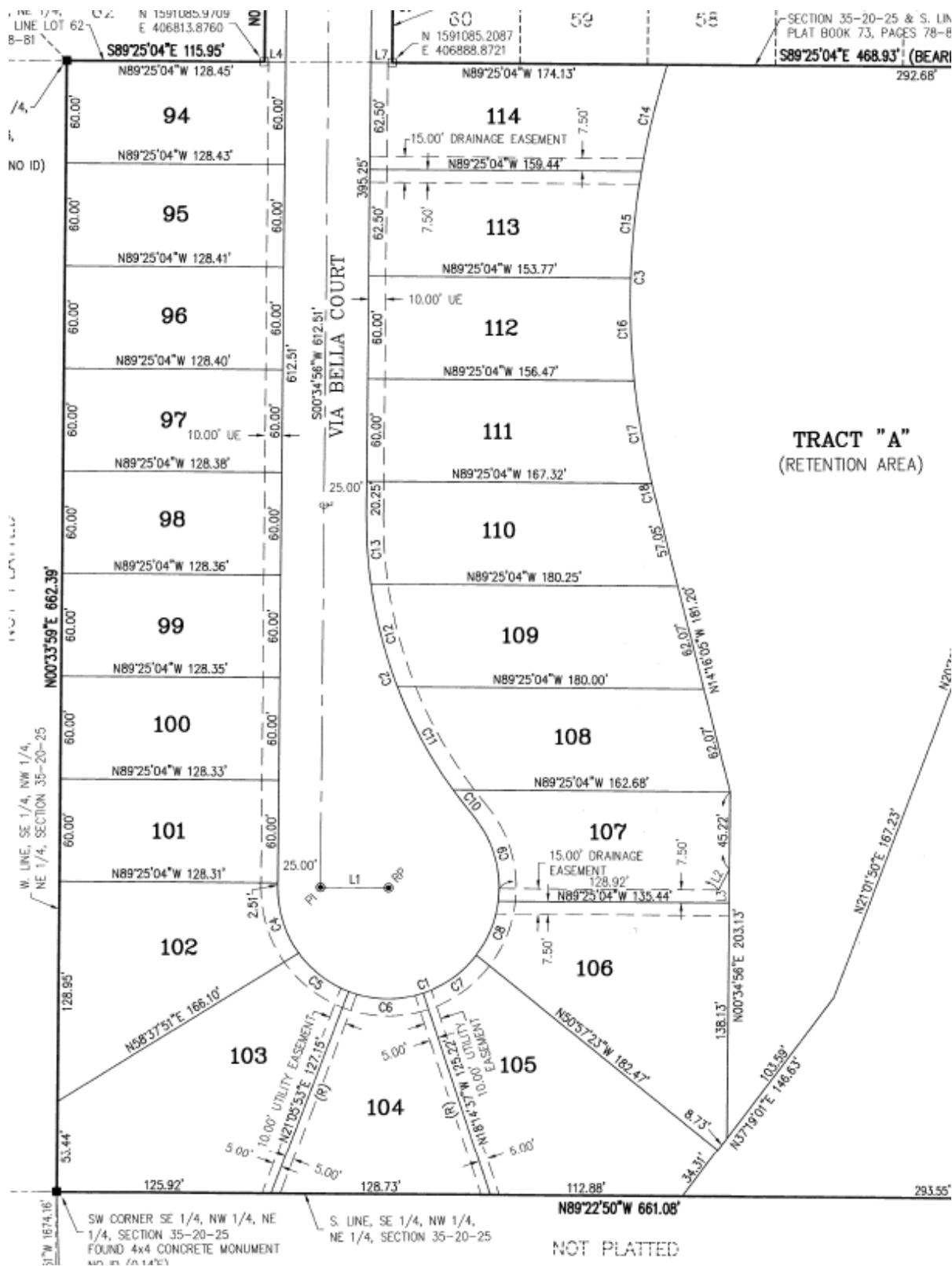
The applicant has provided a report which identifies 111 lots of 113 total lots in Talichet Phase 1 and Phase 2 have been constructed or permitted for construction. The number of committed lots which have passed the design spacing requirement is 98% of the proposed project, so the application meets the final 10% test.

The block face for this subdivision is defined as 300 feet, so the proposal is to allow a fourth unit of this design within the defined block area. The other units approved for the same model are on lots 94, 99, and 113. The requested lot is 95. The following graphic shows the lot numbers for Talichet Phase 2. The approval will result in a small cluster of these models with lots 94 and 95 adjacent and lot 113 across the street. The fourth unit is four lots down on the west side of the street. The proposed unit is the Avalon with Bonus which was approved as an accepted design in October, 2020. The staff report with the model design (page 12 of that report) is provided in the packet.

Lot 95, along with all of the lots on the west side of Via Bella Court, will back up to units 456 through 460 in the Hillside Groves subdivision. These lots have been approved as 50 x 115 so they are reasonably consistent with the 60 x 120 lots in Talichet Phase 2. The proposed units in Hillside Groves are currently designated for construction in Phase 3. There is no time frame currently for construction of that phase.

Recommendation

The purpose of this provision is to allow for full development of the subdivision when few lots are left and the range of house model options is restricted by prior design choices. The waiver allows a prospective homeowner to purchase his desired unit when there may not be another viable option in the subdivision. It also helps the builder complete the subdivision. The only criterion for granting the approval for the added design is that the subdivision be within the final 10% of the lots available for construction. Staff recommends approval.





October 4, 2023
Town of Howey in The Hills
Building Dept.
101 N Palm Avenue
Howey-In-The-Hills, FL 34737

I, Gerald Boeneman of Dream Finders Homes LLC, would like to request approval for the proposed unit located at 559 Via Bella Court. Currently per development standards the proposed elevation conflicts with guidelines regarding repetition and variety of Single-Family residences. There is a total of 113 homes in this community (including both phase 1&2). Of the 113 total homes 111 have already been issued an approved building permit and began construction. This lot is 1 of 2 homes left in the community to be built. Meaning more than 98% of the community has started construction and 76% are closed and occupied by new home owners.

Please approve this request to build the proposed Avalon with Bonus - Elevation A at 559 Via Bella Court.

Name: Gerald Boeneman
Title: Division President

Tyler Williams
p. 407-615-1946
e. Tyler.Williams@dreamfinderhomes.com

NOTARY PUBLIC
STATE OF FLORIDA
TYLER WILLIAMS
Commission # GG 960740
Expires February 20, 2024
Bonded Thru Budget Notary Services

Re: Talihcet Permit applications - pending zoning approval

1 message

Kelly Turner <kelly@alpha-inspections.net>

Thu, Sep 28, 2023 at 2:32 PM

To: Tom Harowski <tom@tmhconsultinginc.com>

Cc: Permit Tech <352permits@gmail.com>, John Brock <jbrock@howey.org>

Thank you, Tom! Jordan, can you please forward the information to the applicant?

Thank you,

Kelly Turner, AICP, CFM
Floodplain Manager/
Zoning Administrator
Alpha Inspections, Inc

From: Tom Harowski <tom@tmhconsultinginc.com>**Sent:** Thursday, September 28, 2023 10:12 AM**To:** Kelly Turner <kelly@alpha-inspections.net>**Cc:** Permit Tech <352permits@gmail.com>; John Brock <jbrock@howey.org>**Subject:** RE: Talihcet Permit applications - pending zoning approval

Here is the relevant section from the land development code.

4.06.02 Residential Developments

In order to promote architectural character, the Town shall require new housing developments to offer a variety of architectural styles and elevations. These regulations promote both diversity in the exterior elevations of neighboring homes, as well as individual character in the design of each residence.

A. For new single-family residential developments or infill single family development with six (6) or more adjacent lots:

1. The same house model may not be used more than three times within a single block face. For purposes of this requirement, a different house model is a different floor plan, not the same floor plan flipped in a different direction and not the same floor plan with a different exterior treatment. When less than ten (10%) percent of the lots in a subdivision remain to be developed, the Planning Board may approve a home design to be used more than three times within a single block face. This option is intended to provide some flexibility in finishing the subdivision development while maintaining diversity in building design.
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 - a. Front porches may encroach into the front setback up to five (5) feet in Single Family Residential and Medium Density Residential developments.
 - b. Front porches may be screened, provided that the screen is located behind the railings.
3. Recessed garages or side entry garages shall be a required component on at least one quarter of the house models offered in a development. To be considered recessed, the garage shall be set back a minimum of ten (10) feet from the main building face, or five (5) feet if the house has a front porch.

If they are down to the last 10% of the lots in the subdivision they could petition the Planning Board to allow the unit as proposed. The timing is unfortunate as the Planning Board meets tonight and does not meet again until October 26th. If they want to ask for approval, I think a simple letter request to the Town Clerk with the drawings they have would be sufficient. They would need to provide documentation that they have 90% or more of the lots developed. This is not a public hearing item, but it does need to be properly added to an agenda.

Thomas A. Harowski, AICP

President

Please make note of my NEW email address: Tom@TMHConsultingInc.com

(386) 316-8426

From: Kelly Turner <kelly@alpha-inspections.net>
Sent: Wednesday, September 27, 2023 9:52 PM
To: Tom Harowski <tom@tmhconsultinginc.com>
Cc: Permit Tech <352permits@gmail.com>
Subject: Fw: Talihcet Permit applications - pending zoning approval

Tom,

Please see the attached review and comment from the applicant. Would the "flipped" elevation and addition of decorative stone meet the intention of the cited section from the approved developer's agreement? The "2945 AVALON W/BONUS (A)" model is proposed on lot 95. The "2945 AVALON W/BONUS (A)" model was approved on the abutting lot (94) back in April.

Here's the model proposed on lot 95:



Here's the model approved for lot 94:

Item 2.

Alpha Inspections, Inc.
Review for Submittals
Design Only

INCHES & FEET
Date: 2023.02.2
09:54:57-05'00'



Thank you,

Kelly Turner, AICP, CFM
Floodplain Manager/
Zoning Administrator
Alpha Inspections, Inc

From: Permit Tech <352permits@gmail.com>
Sent: Tuesday, September 26, 2023 6:56 PM
To: Kelly Turner <kelly@alpha-inspections.net>
Subject: Fwd: Talihcet Permit applications - pending zoning approval

Good evening,

Please see the response below from the builder.

Thank you,
Jordan Freeman
Permit Tech
Alpha-Inspections

----- Forwarded message -----
From: Tyler Williams <tyler.williams@dreamfindershomes.com>

Date: Tue, Sep 26, 2023 at 12:15 PM
Subject: RE: Talihcet Permit applications - pending zoning approval
To: Permit Tech <352permits@gmail.com>

Item 2.

Hey Jordan,

Lot 94 has stone added to the elevation and this lot (95) does not. Although the elevations are the same does this actually still violate the monotony rule since one has stone and the other does not?

Tyler Williams

Permit Coordinator

Hammock Reserve

Cypress Park

Lakewood Park

Eden Hills

Lakeside at Hamlin

Rivington

Bella Collina

Deer Island

Dream Finders Homes


a: [8529 Southpark Circle Ste. 130](#)

o: 407.573.5765

m: 407.615.1946

e: tyler.williams@dreamfindershomes.com

w: www.dreamfindershomes.com

 Dream Finders Homes

 Facebook  Twitter  LinkedIn  Instagram  YouTube

From: Permit Tech <352permits@gmail.com>
Sent: Monday, September 25, 2023 6:08 PM
To: Tyler Williams <tyler.williams@dreamfindershomes.com>
Subject: Re: Talihcet Permit applications - pending zoning approval

Caution: CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good evening,

Please see attached comments for 559 Via Bella Ct.

Thank you,
Jordan Freeman
Permit Tech
Alpha-Inspections

On Mon, Sep 25, 2023 at 12:44 PM Tyler Williams <tyler.williams@dreamfindershomes.com> wrote:

Hey Jordan,

Any update on the 2 permits still pending zoning approval?

Tyler Williams

Permit Coordinator

Hammock Reserve
Cypress Park
Lakewood Park
Eden Hills
Lakeside at Hamlin
Rivington
Bella Collina

Deer Island

Dream Finders Homes

a: [8529 Southpark Circle Ste. 130](#)

o: 407.573.5765

m: 407.615.1946

e: tyler.williams@dreamfindershomes.com

w: www.dreamfindershomes.com



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2945 AVALON W/ BONUS (A)

DREAM FINDERS HOMES

LOT: 0095, TALICHET

SHEET INDEX- ELEVATION 'A'

00A	COVER SHEET
01A.0	FOUNDATION PLAN
02A.0	FLOOR PLAN W/ DIMENS.
03A.0	FLOOR PLAN W/ NOTES
04A.0	UPPER FLOOR PLAN W/ DIM.
05A.0	UPPER FLOOR PLAN W/ NOTES
06A.0	EXT. ELEV.- FRONT/REAR
07A.0	EXT. ELEV.- LEFT/RIGHT
08	INT. ELEV. / CROSS SECTION
09A.0	ELECTRICAL PLAN
10A.0	UPPER ELECTRICAL PLAN
11A.0	TRUSS LAYOUT
12A.0	UPPER TRUSS LAYOUT
13A.0	PRECAST LINTEL LAYOUT 'A'
14	PRECAST LINTEL DATA / STRUCT. DETAILS
15	STAIR DATA/ CONNECTOR SCHEDULE
16	STRUCTURAL DETAILS
17	STRUCTURAL DETAILS
18	STRUCTURAL DETAILS
19	NOT USED
20	STRUCTURAL DETAILS
D1	TYPICAL STRUCTURAL DETAILS
D2	TYPICAL STRUCTURAL DETAILS
D3	TYPICAL STRUCTURAL DETAILS
D4	TYPICAL STRUCTURAL DETAILS (2 STORY)
D5	TYPICAL STRUCTURAL DETAILS

REVISION SCHEDULE - STARTS			
NO.	DATE	DESCRIPTION	BY
①	08-11-23	-LOT SPECIFIC PLAN PER ORDER RECEIVED (01-20-23) STANDARD OPTIONS: -WRAP AROUND KITCHEN EXTENSION -ENLARGED ISLAND -PRE-PLUMB L.T. SINK AT LAUNDRY ROOM -12080 HID. S.G.D. @ LANAI -GOURM. KIT. (C-TOP W/ MICRO, OVEN) -EXTENDED BONUS W/ BR. 546 (2ND FLOOR)	RH
		CUSTOM OPTIONS: -ELECTRICAL LAYOUT -OVERHEAD RAINFALL SHD. @ MASTER BATH	
①	08-15-23	-APPLIED TRUSSES FROM HART-0036 (DJ TRUSS)	AC
②	09-05-23	-ADDED (2) P.W. PENDANT LIGHTS @ KIT. ISLAND PER C.O.L. REC'D (03-01-23)	DAL

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LOT: 0095, TALICHET PH.2

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Item 2.

REVISIONS 06-24-23 BY: LK

CODE 2020

BY: LK

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COVER SHEET

2945 AVALON W/ BONUS

DREAM FINDERS HOMES

DATE 07-26-16

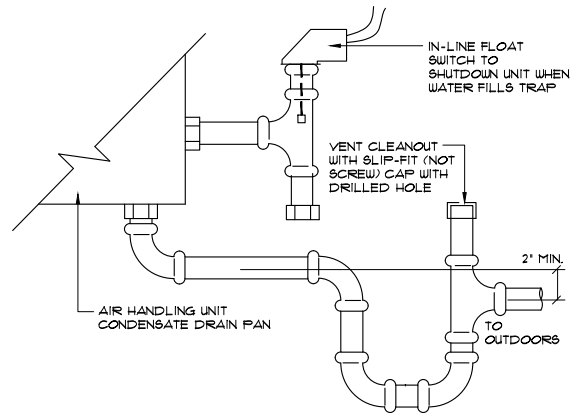
SCALE AS NOTED

DRAWN JR & RDC

JOB 2945

OF 26 SHEETS

19



CONDENSATE LINE DETAIL
N.T.S.

NOTE:
STANDARD C.U. LOCATION SHOWN. CAN BE RELOCATED PER PLOT PLAN

NOTE:
ALL CONDENSATE DRAIN LINES SHALL BE PVC AND INSTALLED WITH A "P" TRAP AT THE UNIT WITH A MINIMUM DEPTH OF 2".

FOUNDATION NOTES

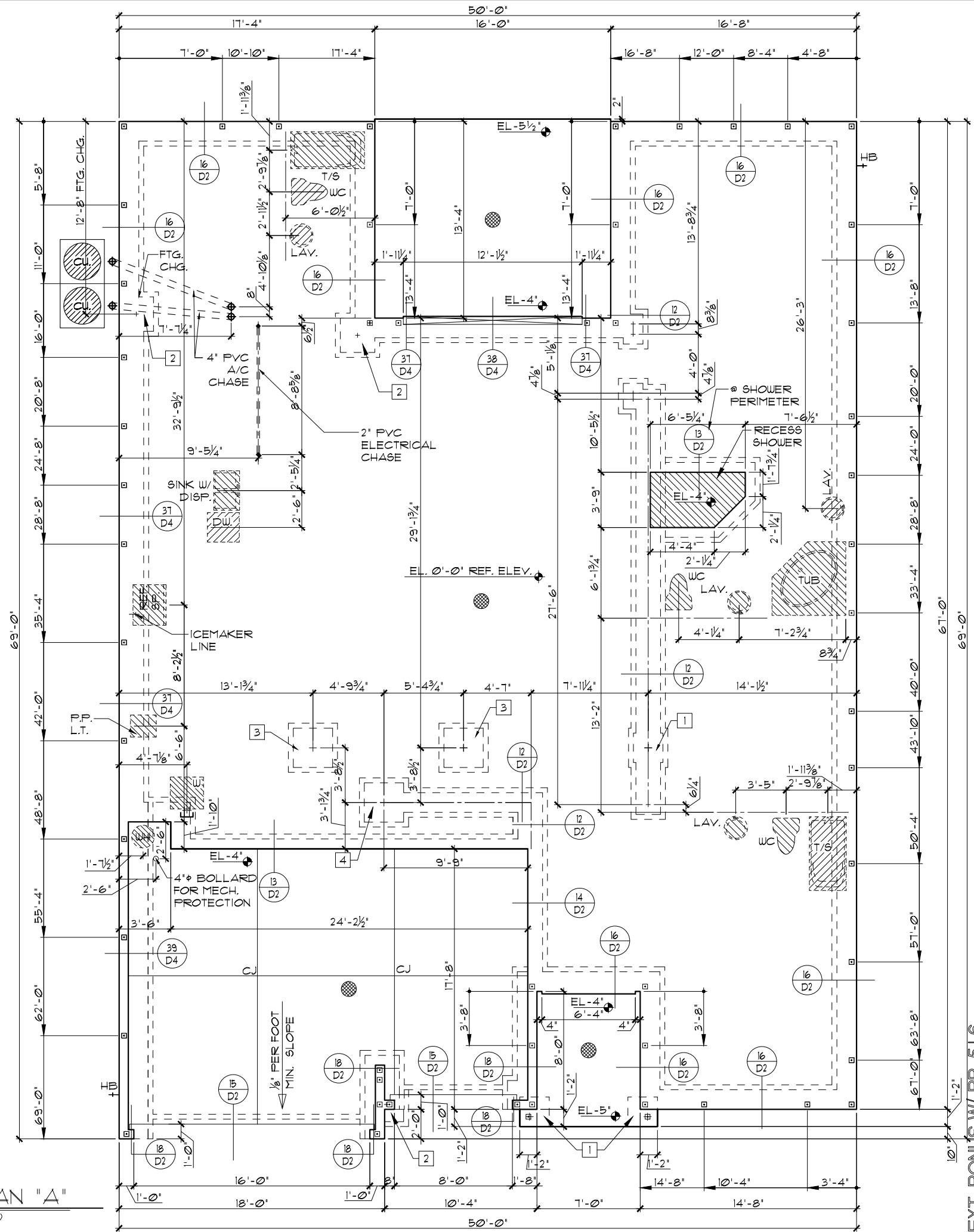
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
- DENOTES FILLED CELL REINFORCED W/ CONC. & (1) #5 REBAR, GRADE 60
- DENOTES FILLED CELL REINFORCED W/ CONC. & (2) #5 REBAR, GRADE 60
- DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY AND ALL DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION
- WATER HEATER T&P RELIEF VALVE SHALL BE FULL SIZE TO EXTERIOR WATER HEATER AT OR ABOVE FLOOR LEVEL SHALL BE IN A PAN W/ DRAIN TO EXTERIOR WATER HEATER SHALL HAVE APPROVED THERMAL EXPANSION DEVICE
- DENOTES FLOOR SLAB OF PLANT MIX CONCRETE 2500 P.S.I., 3 1/2" THICK W/ 6x6 10/10 GAUGE REINFORCING MAT. W/ MINIMUM 1" COVER TERMITE TREATED SOIL W/ .006mm (6 mil) POLYETHYLENE VAPOR BARRIER OVER COMPACTED CLEAN FILL. WVF SHALL BE PLACED IN THE MIDDLE TO UPPER 1/3 OF THE SLAB AND SUPPORTED BY APPROVED SLAB BOLSTERS. ***NOTE: FIBERMESH REINFORCEMENT MAY BE USED AS AN ALTERNATE TO WIRE MESH.
- PAVERS MAY BE USED ILO CONCRETE IN PATIO, PORCH, DRIVEWAYS AND WALKWAYS. DELETE SLAB IN AREAS PAVERS ARE USED.
- NOT USED
- IN LIEU OF TERMITE TREATING THE SOIL, TERMICIDE MAY BE USED AS AN ALTERNATIVE.
- NOT USED

FOOTING PAD SCHEDULE

- | | |
|---|--------------------------------------|
| 1 | 24" x 24" x 12" W/ (2) #5'S EACH WAY |
| 2 | 28" x 28" x 12" W/ (3) #5'S EACH WAY |
| 3 | 30" x 30" x 12" W/ (3) #5'S EACH WAY |
| 4 | 36" x 36" x 12" W/ (3) #5'S EACH WAY |
| 5 | 42" x 42" x 12" W/ (3) #5'S EACH WAY |
| 6 | 48" x 48" x 12" W/ (4) #5'S EACH WAY |
| C | FOOTING CHANGE / TRANSITION |

FOUNDATION PLAN "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



EXT. BONUS W/ BR. 5+6

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020 1TH EDITION. THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY RICHARD J. WIND, R.A. ON THE DATE SHOWN ON THE TIME STAMP USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED BY THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPY.

LOT: 0095, TALICHET PH.2 **REVISIONS 06-24-23** **BY: LK**

DATE 07-26-16
SCALE AS NOTED
DRAWN JR & RDC
JOB 2945
OF 26 SHEETS

2945 AVALON W/ BONUS
DREAM FINDERS HOMES

FOUNDATION PLAN

DREAM FINDERS
THE MAKERS OF A QUALITY HOME

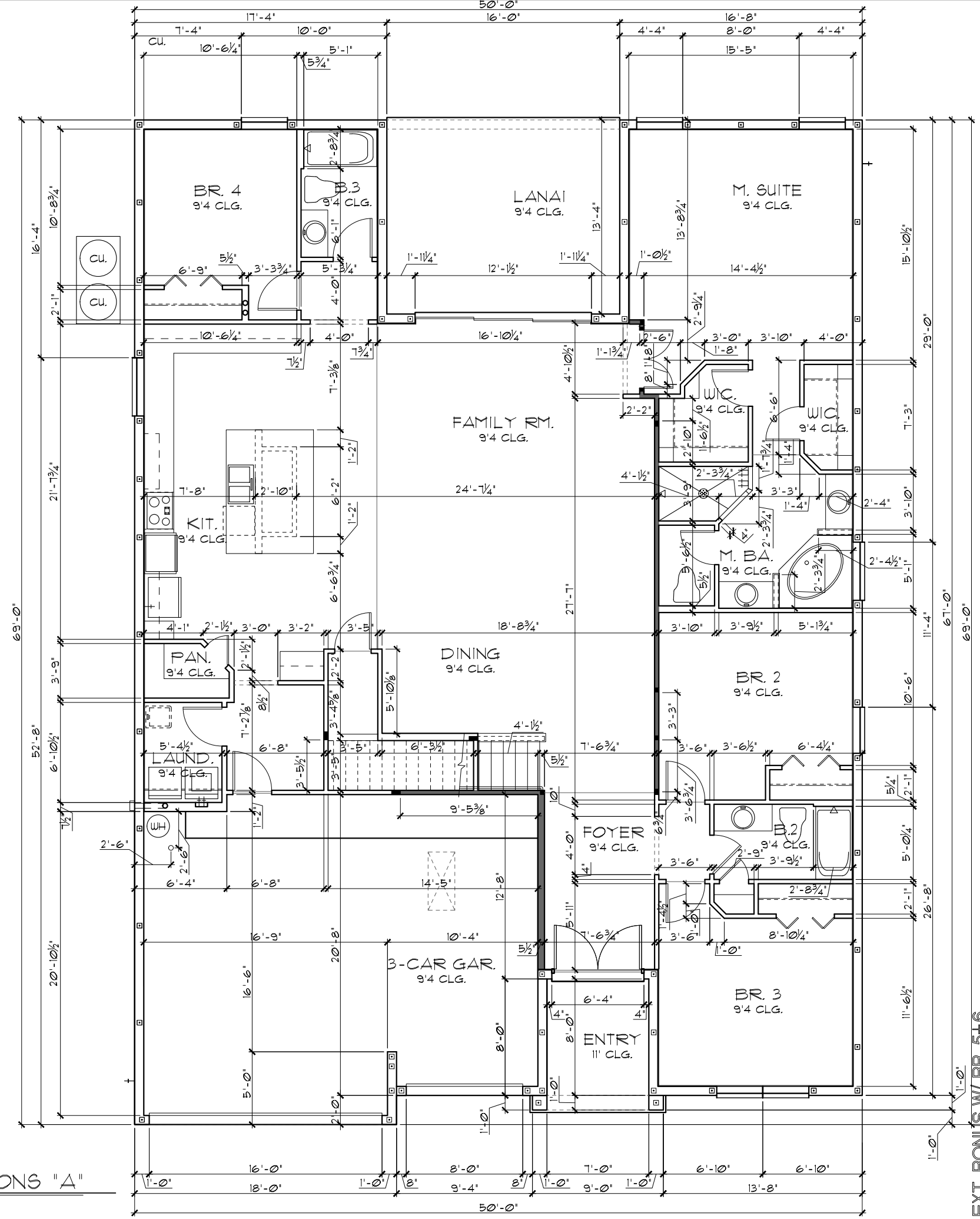
Item 2.

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TABULATION	
UPPER LIVING	1,481 SF.
LOWER LIVING	2,510 SF.
TOTAL LIVING	3,991 SF.
GARAGE	606 SF.
ENTRY	65 SF.
LANAI	213 SF.
TOTAL UNDER ROOF	4,815 SF.

- GENERAL NOTES**
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
 - DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
 - ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3/2" UNLESS NOTED OTHERWISE.
 - ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 1/2" UNLESS NOTED OTHERWISE.
 - ALL INTERIOR CEILINGS AT 9'-4" UNLESS NOTED OTHERWISE.
 - NOT USED

FLOOR PLAN W/ DIMENSIONS "A"
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



EXT. BONUS W/ BR. 5+6

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LOT: 0095, TALICHET PH.2 **REVISIONS 06-24-23** **BY: LK**

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2945 AVALON W/ BONUS
DREAM FINDERS HOMES

DATE 07-26-16
 SCALE AS NOTED
 DRAWN JR & RDC
 JOB 2945

21

26 SHEETS

DREAM FINDERS
 THE MAKERS OF A QUALITY HOME

RDC
 REGISTERED PROFESSIONAL DESIGNER

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Item 2.

LA: 06-24-23 BY: LK

LOAD INFORMATION

PER 17TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE

DEAD LOADS

FLOOR: STRUCTURE	1 P/SF
CEILING	3 P/SF
MECH/ELEC	5 P/SF
PARTITIONS	5 P/SF
TOTAL	20 P/SF

ROOF: SHEATHING

STRUCTURE	1 P/SF
CEILING	3 P/SF
MECH/ELEC	5 P/SF
TOTAL	20 P/SF

FLOOR LIVE LOADS

RESIDENTIAL FLOOR:	40 P/SF
ATTIC WITHOUT STORAGE:	10 P/SF
ATTIC WITH LIMITED STORAGE:	20 P/SF
GUARDRAILS & HANDRAILS:	200 LBS
GUARDRAILS IN-FLL COMP.:	50 P/SF
SLEEPING ROOMS:	30 P/SF
ROOMS OTHER THAN SLEEPING:	40 P/SF
STAIR LIVE LOAD:	40 P/SF

ROOF LIVE LOADS

MINIMUM ROOF LIVE LOAD (P/SF)
TRIBUTARY LOADED AREA (SQ. FT.)
FOR ANY STRUCTURAL MEMBER

ROOF SLOPE	0-200	201-600	OVER 600
0:12 < 4:12	20	16	12
≥ 4:12 < 12:12	16	14	12
≥ 12:12	12	12	12

WIND INFORMATION

PER 17TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE

- BASIC WIND SPEED: -140 MPH
- RISK CATEGORY: II
- BUILDING WIND EXPOSURE: B
- INTERNAL PRESSURE: +/- .18, INCLUDED COEFFICIENT: IN NOTE #5
- COMPONENT / CLADDING: SEE PLAN DESIGN WIND PRESSURE

+ .XXX	DESIGN WIND PRESSURE IAW FLA
- .XXX	RESIDENTIAL CODE, SECTION R301

NOTE: DESIGN PRESSURES BASED ON BASIC WIND SPEED AND NOT ULTIMATE WIND SPEED.

- ### GENERAL NOTES
- PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.
 - VENT DRYER THRU EXT. WALL
 - PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
 - DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
 - NOT USED
 - | | |
|--|---|
| | DENOTES CONC. BLOCK WALL HGT. @ 9'-4" AFF. |
| | DENOTES CONC. BLOCK WALL HGT. @ 11'-0" AFF. |
 - REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH SPECIFICATIONS
 - REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES
 - ANCHOR THE CONDENSER UNIT TO SLAB PER CODE: M1307.2 + 1307.3.1
 - ALL INTER. FIRST FLOOR CEILING AT 9'-4" UNLESS NOTED OTHERWISE.
ALL INTER. SECOND FLOOR CEILING AT 8'-0" UNLESS NOTED OTHERWISE.

POST SCHEDULE

1	DBL. STUD POST
2	TRPL. STUD POST
3	3 1/2 X 3 1/2 PARALLAM OR VERSALAM
4	3 1/2 X 5 1/4 PARALLAM OR VERSALAM
5	3 1/2 X 1 PARALLAM OR 3 1/2 X 1 1/4 VERSALAM
6	5 1/2 X 5 1/2 PARALLAM OR VERSALAM
7	5 1/2 X 1 PARALLAM OR 5 1/2 X 1 1/4 VERSALAM
8	1 X 1 PARALLAM (ONLY)

- STUDS TO BE SFF-STUD GRADE OR BETTER
- VERSALAM TO BE LVL 1.8E 2650 Fb MIN.
- PARALLAM TO BE PSL 1.8E 2400 Fb MIN.

NOTE: OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" (35 MM) IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8" (35 MM) THICK, OR 20-MINUTE FIRE-RATED DOORS IAW R302.5.1 OF THE FBCR 2020, 7TH ED.

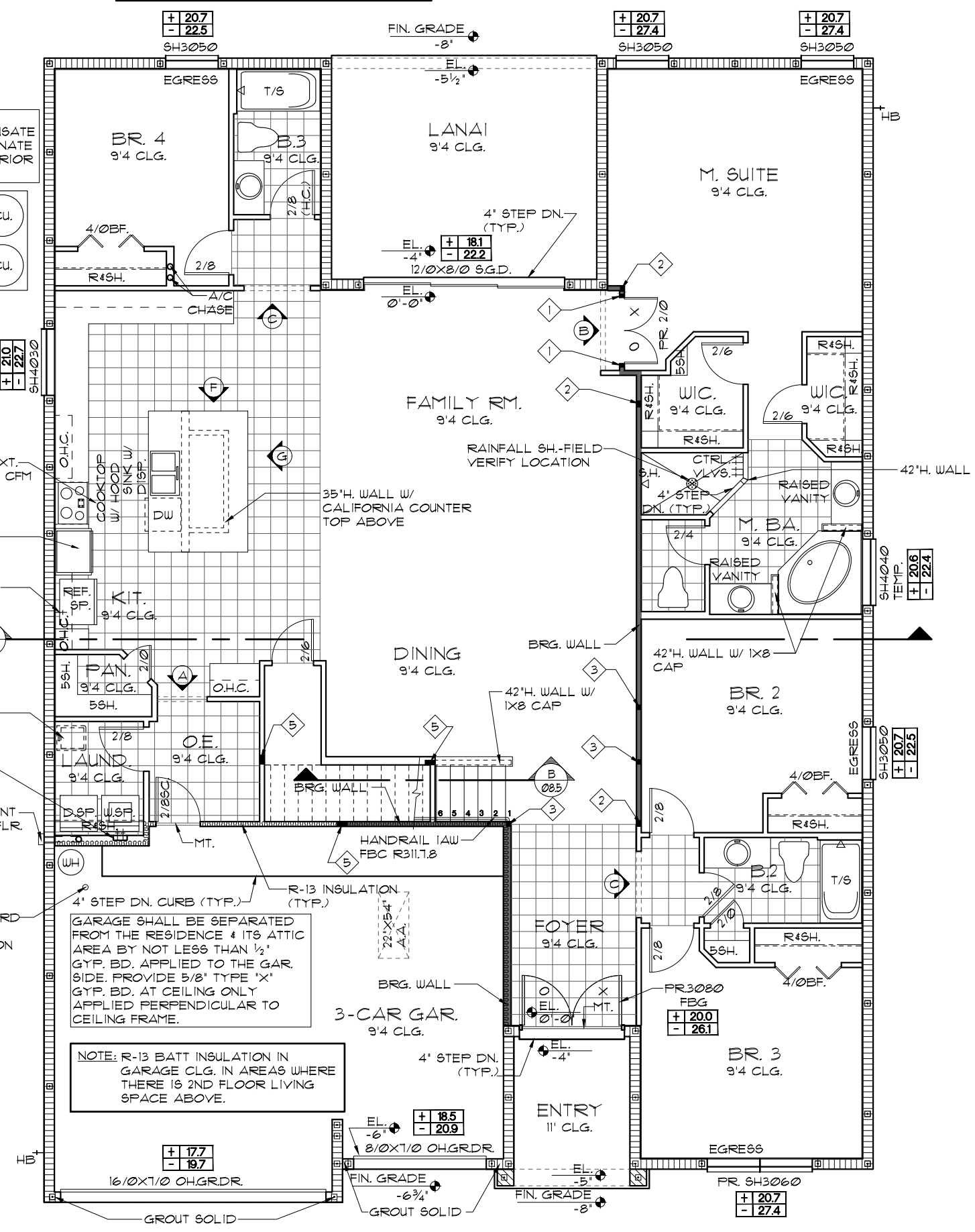
WINDOW SCHEDULE

(ROUGH OPENINGS ARE APPROXIMATE ONLY, REFER TO WINDOW SPECIFICATIONS)

WINDOW- FIN (SINGLE HUNG)	ROUGH OPENING		EGRESS OPENING	
	FRAME	BLOCK	OPENING H' X W'	MIN. NET CLEAR
SH2030	24' X 36'			
SH2040	24' X 48'			
SH3030	36' X 36'			
SH3040	36' X 48'			
SH3050	36' X 60'		26.62' X 30.81'	5.71 SQFT
SH3060	36' X 72'		32.62' X 30.81'	7.00 SQFT
SH4040	48' X 48'			
SH4050	48' X 60'		26.62' X 42.81'	7.93 SQFT
SH4060	48' X 72'		32.62' X 42.81'	9.71 SQFT

NOTE: HVAC CONDENSATE LINE TO TERMINATE NEXT TO EXTERIOR HVAC UNITS.

NOTE: STANDARD C.U. LOCATION SHOWN. CAN BE RELOCATED PER PLOT PLAN



FLOOR PLAN W/ NOTES "A"
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

NOTE: ALL INTERIOR DOORS ON THIS FLOOR TO BE: 6'-8" U.N.O. - VERIFY WITH COLOR SHEET.

EXT. BONUS W/ BR. 5+6

LOT: 0095, TALICHET PH.2
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 CODE 2020 REVISIONS 06-24-23 BY: LK

2945 AVALON W/ BONUS
 DREAM FINDERS HOMES
 DATE 07-26-16
 SCALE AS NOTED
 DRAWN JR & RDC
 JOB 2945
 22 OF 26 SHEETS

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DREAM FINDERS
 THE NAME OF A QUALITY HOME

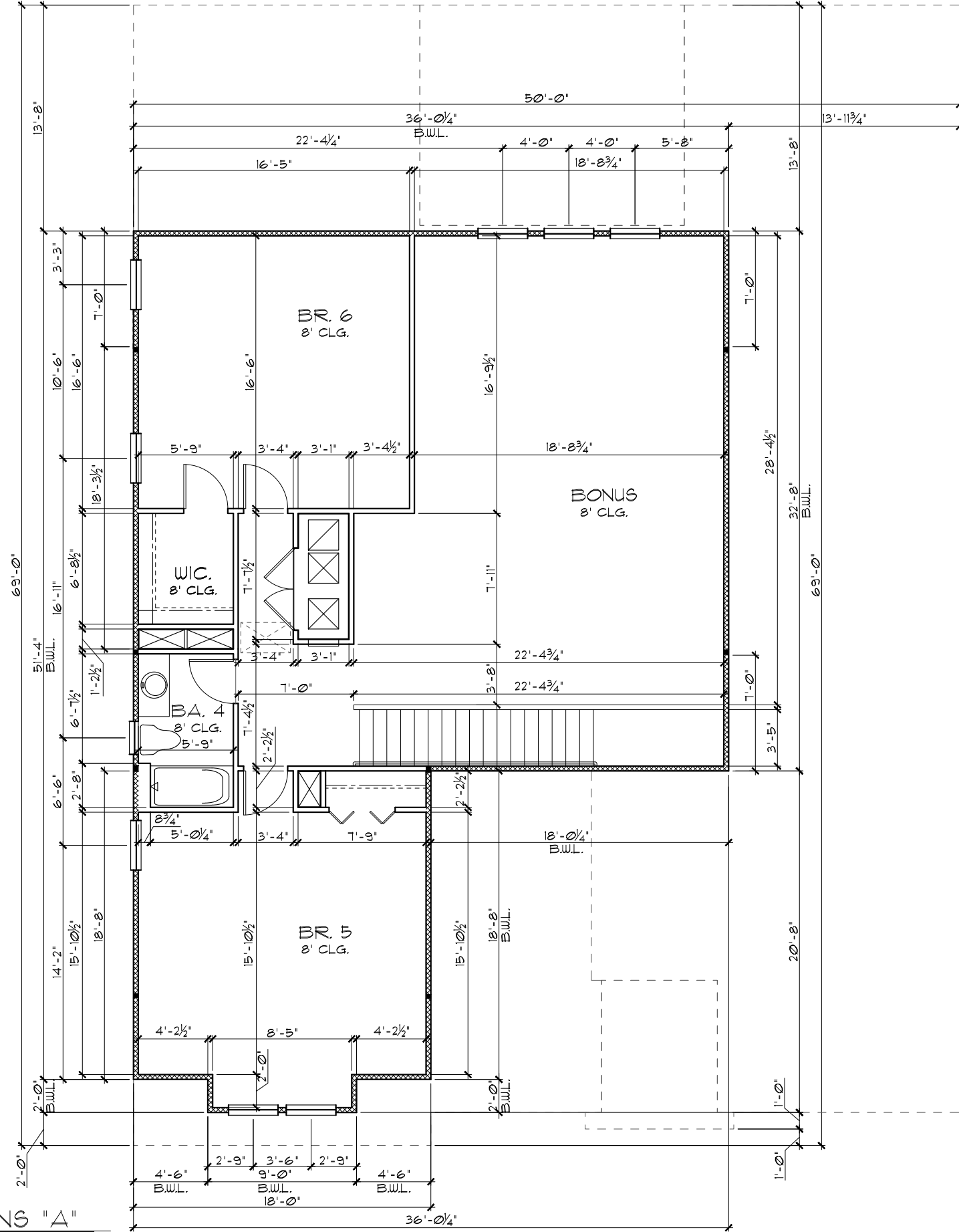
FLOOR PLAN W/ NOTES
 DREAM FINDERS HOMES

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
2. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
3. ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3/2" UNLESS NOTED OTHERWISE.
4. ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 1 1/2" UNLESS NOTED OTHERWISE.
5. ALL INTERIOR CEILINGS AT 8'-0" UNLESS NOTED OTHERWISE.
6. NOT USED

UPPER FLOOR PLAN W/ DIMENSIONS "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



EXT. BONUS W/ BR. 5+6

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LOT: 0095, TALICHET PH.2

DATE	07-26-16
SCALE	AS NOTED
DRAWN	JR & RDC
JOB	2945
SHEET	23
TOTAL SHEETS	26

2945 AVALON W/ BONUS
DREAM FINDERS HOMES

UPPER FLOOR PLAN
W/ DIMENSIONS



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LA: 06-24-23 BY: LK

Item 2.

LOAD INFORMATION

PER 2020 FLORIDA RESIDENTIAL CODE

DEAD LOADS

FLOOR: STRUCTURE	-----	1 PSF
CEILING	-----	3 PSF
MECH/ELEC	-----	5 PSF
PARTITIONS	-----	5 PSF
TOTAL	-----	20 PSF

ROOF: SHEATHING ----- 5 PSF
STRUCTURE ----- 1 PSF
CEILING ----- 3 PSF
MECH/ELEC ----- 5 PSF
TOTAL ----- **20 PSF**

FLOOR LIVE LOADS

RESIDENTIAL FLOOR:	-----	40 PSF
ATTIC WITHOUT STORAGE:	-----	10 PSF
ATTIC WITH LIMITED STORAGE:	-----	20 PSF
GUARDRAILS & HANDRAILS:	-----	200 LBS
GUARDRAILS IN-FLL COMP.:	-----	50 PSF
SLEEPING ROOMS:	-----	30 PSF
ROOMS OTHER THAN SLEEPING:	-----	40 PSF
STAIR LIVE LOAD:	-----	40 PSF

ROOF LIVE LOADS

MINIMUM ROOF LIVE LOAD (PSF)
TRIBUTARY LOADED AREA (SQ. FT.)
FOR ANY STRUCTURAL MEMBER

ROOF SLOPE	0-200	201-600	OVER 600
0:12 < 4:12	20	16	12
≥ 4:12 < 12:12	16	14	12
≥ 12:12	12	12	12

WIND INFORMATION

PER 17TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE

- BASIC WIND SPEED: ----- 140 MPH
- RISK CATEGORY: ----- II
- WIND EXPOSURE: ----- B
- INTERNAL PRESSURE: ----- +/- .18, INCLUDED COEFFICIENT: IN NOTE #5
- COMPONENT / CLADDING: ----- SEE PLAN DESIGN WIND PRESSURE:

+ XXX	DESIGN WIND PRESSURE 1AW FLA
- XXX	RESIDENTIAL CODE, SECTION R301

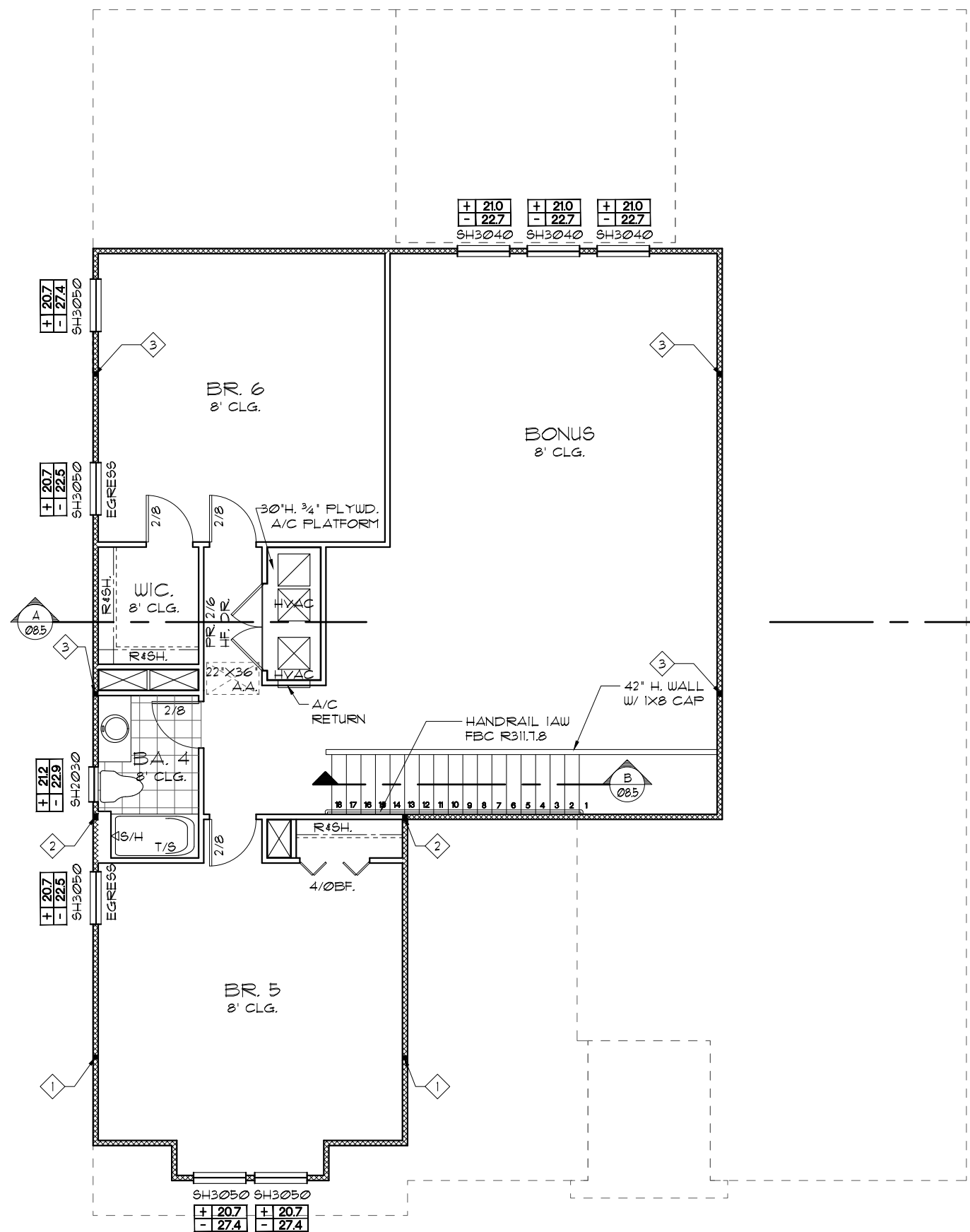
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- ### GENERAL NOTES
- PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.
 - VENT DRYER THRU EXT. WALL.
 - PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
 - DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
 - NOT USED
 - ALL 2ND. FLR. INTERIOR CEILING AT **8'-0"** UNLESS NOTED OTHERWISE.
 - DENOTES EXT. LOAD BRG. WALL HGT. @ **8'-0" A.F.F.**
 - REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH SPECIFICATIONS

POST SCHEDULE

1	DBL. STUD POST
2	TRPL. STUD POST
3	3 1/2 X 3 1/2 PARALLAM OR VERSALAM
4	3 1/2 X 5 1/4 PARALLAM OR VERSALAM
5	3 1/2 X 7 PARALLAM OR 3 1/2 X 7 1/4 VERSALAM
6	5 1/2 X 5 1/2 PARALLAM OR VERSALAM
7	5 1/2 X 7 PARALLAM OR 5 1/2 X 7 1/4 VERSALAM
8	7 X 7 PARALLAM (ONLY)

- STUDS TO BE SFF-STUD GRADE OR BETTER.
- VERSALAM TO BE LVL 1.8E 2650 Fb MIN.
- PARALLAM TO BE PSL 1.8E 2400 Fb MIN.



UPPER FLOOR PLAN W/ NOTES "A"
1/8" = 1'-0" (11X17) 1/4" = 1'-0" (22X34)

NOTE: ALL INTERIOR DOORS ON THIS FLOOR TO BE: **6'-8"** U.N.O. - VERIFY WITH COLOR SHEET.

BY: LK
LA: 06-24-23

Item 2.

CODE 2020
REVISIONS 06-24-23

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DREAM FINDERS
THE MAKER OF A QUALITY HOME

UPPER FLOOR PLAN
W/ NOTES

2945 AVALON W/ BONUS
DREAM FINDERS HOMES

DATE 07-26-16
SCALE AS NOTED
DRAWN JR & RDC
JOB 2945

24
OF 26 SHEETS

EXT. BONUS W/ BR. 5+6
LOT: 0095, TALICHET PH.2
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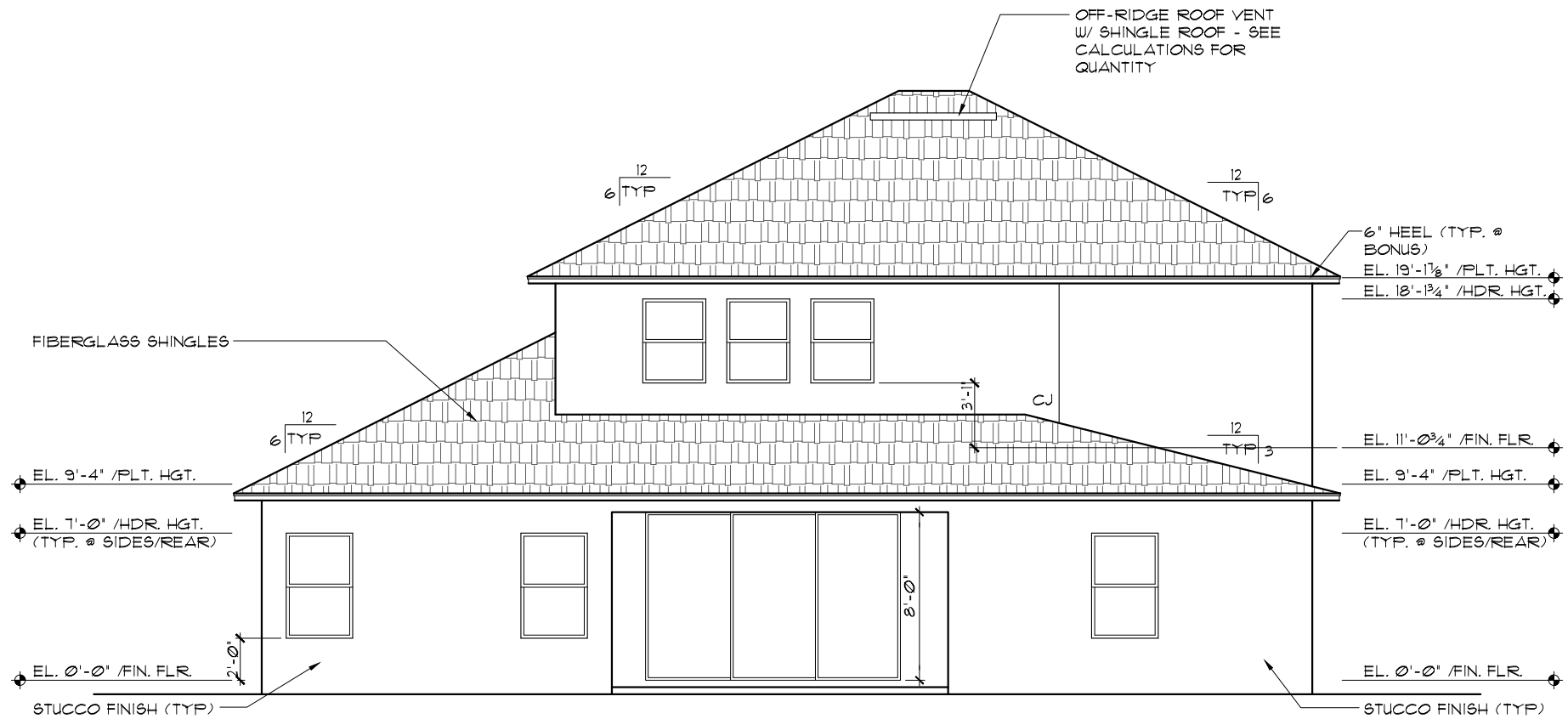
EXTERIOR FINISH NOTES

1. LATH TO BE ATTACHED IAW R103.1.1 OF THE 11TH EDITION, FBCR 2020
2. PLASTERING TO BE WITH PORTLAND CEMENT, INSTALLED IAW R103.1.2 OF THE 11TH EDITION, FBCR 2020
3. WEEP SCREED TO BE INSTALLED IAW R103.1.2.1 OF THE 11TH EDITION, FBCR 2020
4. WATER RESISTANT BARRIER TO BE INSTALLED IAW R103.1.3 OF THE 11TH EDITION, FBCR 2020
5. 'ZIP SYSTEMS' WALL AND ROOF SHEATHING MAY BE USED AS AN ALTERNATIVE FOR WALL AND ROOF SHEATHING AND VAPOR BARRIER, ON EXTERIOR WALLS AND ROOF.



FRONT ELEVATION "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



REAR ELEVATION "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

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EXT. BONUS W/ BR. 5+6

LOT: 0095, TALICHET PH.2

BY: LK REVISIONS: 06-24-23

BY: LK

Item 2.

EXTERIOR ELEVATION
FRONT AND REAR

2945 AVALON W/ BONUS
DREAM FINDERS HOMES

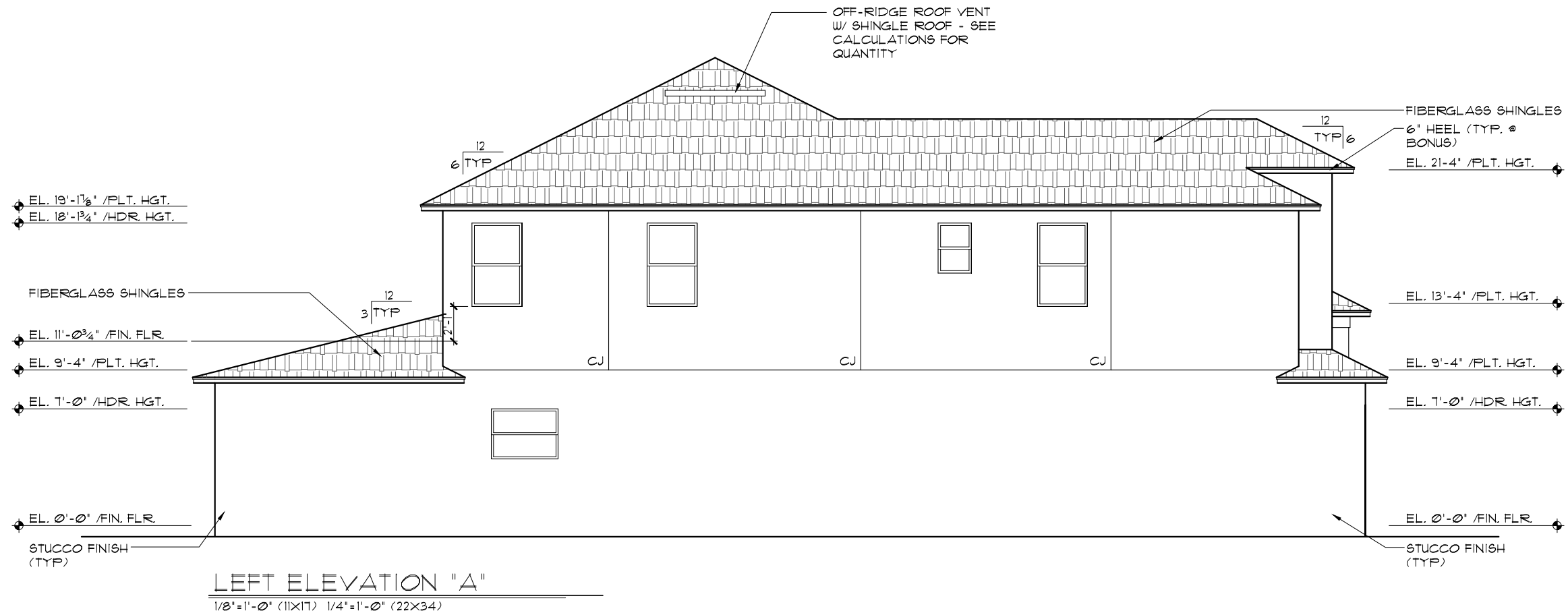
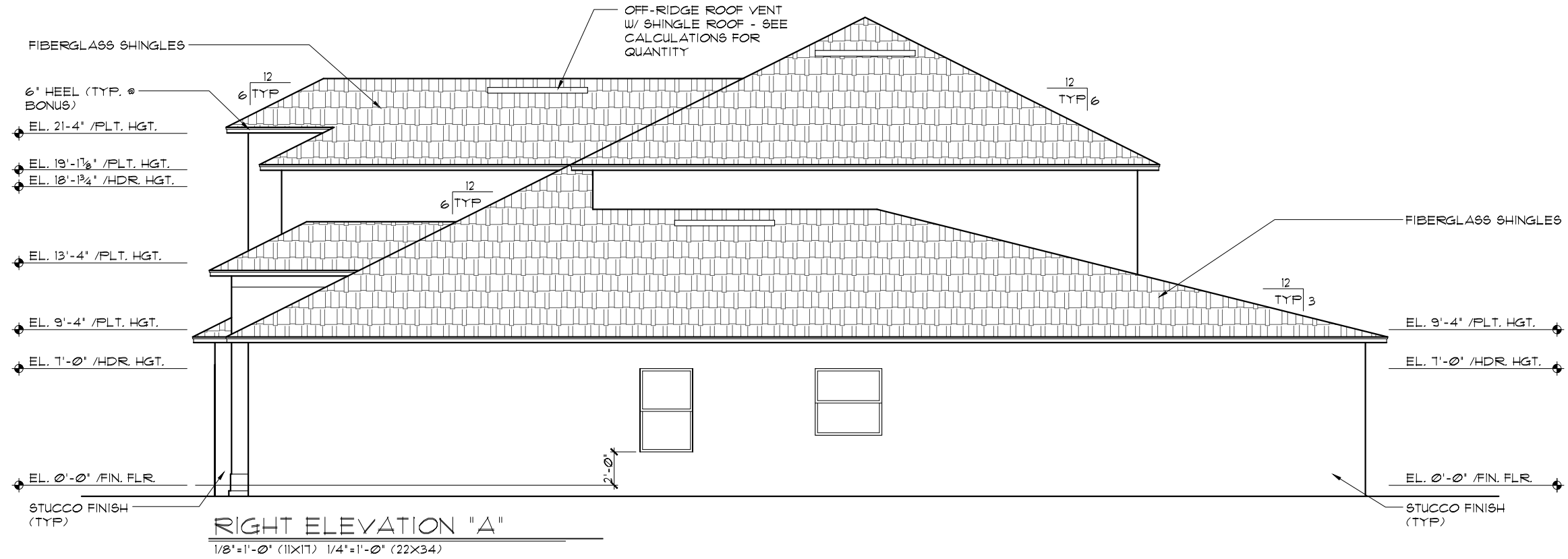
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DREAM FINDERS
THE MAKERS OF A QUALITY HOME

DATE 07-26-16
 SCALE AS NOTED
 DRAWN JR & RDC
 JOB 2945
 OF 26 SHEETS

EXTERIOR FINISH NOTES

1. LATH TO BE ATTACHED IAW R103.1.1 OF THE 11TH EDITION, FBCR 2020
2. PLASTERING TO BE WITH PORTLAND CEMENT, INSTALLED IAW R103.1.2 OF THE 11TH EDITION, FBCR 2020
3. WEEP SCREED TO BE INSTALLED IAW R103.1.2.1 OF THE 11TH EDITION, FBCR 2020
4. WATER RESISTANT BARRIER TO BE INSTALLED IAW R103.1.3 OF THE 11TH EDITION, FBCR 2020
5. 'ZIP SYSTEMS' WALL AND ROOF SHEATHING MAY BE USED AS AN ALTERNATIVE FOR WALL AND ROOF SHEATHING AND VAPOR BARRIER, ON EXTERIOR WALLS AND ROOF.



EXT. BONUS W/ BR. 5+6
 LOT: 0095, TALICHET PH.2
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 LA: 06-24-23 BY: LK
 REVISIONS: 06-24-23
 CODE 2020
 THIS DOCUMENT IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020 11TH EDITION

Item 2.

Certified By:
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 RWIND@RDCFLA.COM

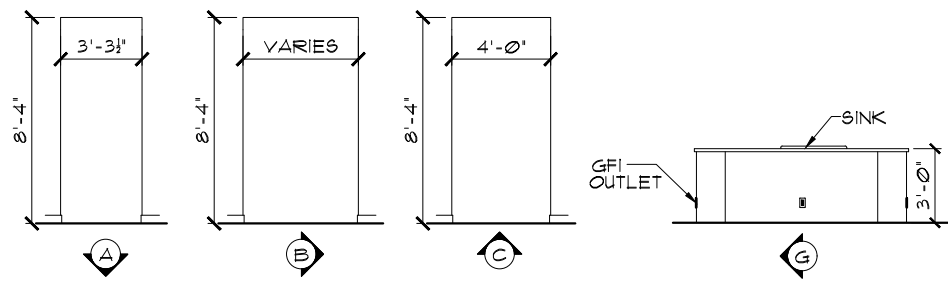
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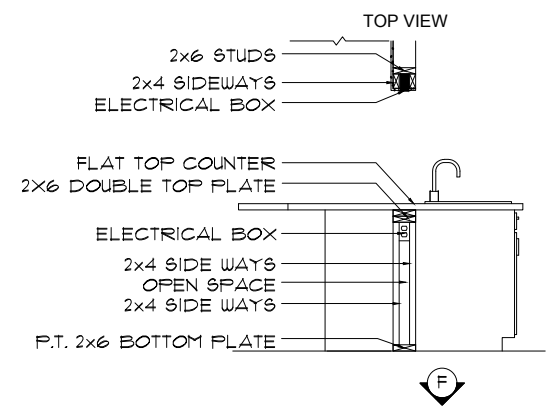
EXTERIOR ELEVATION
 LEFT AND RIGHT

2945 AVALON W/ BONUS
 DREAM FINDERS HOMES

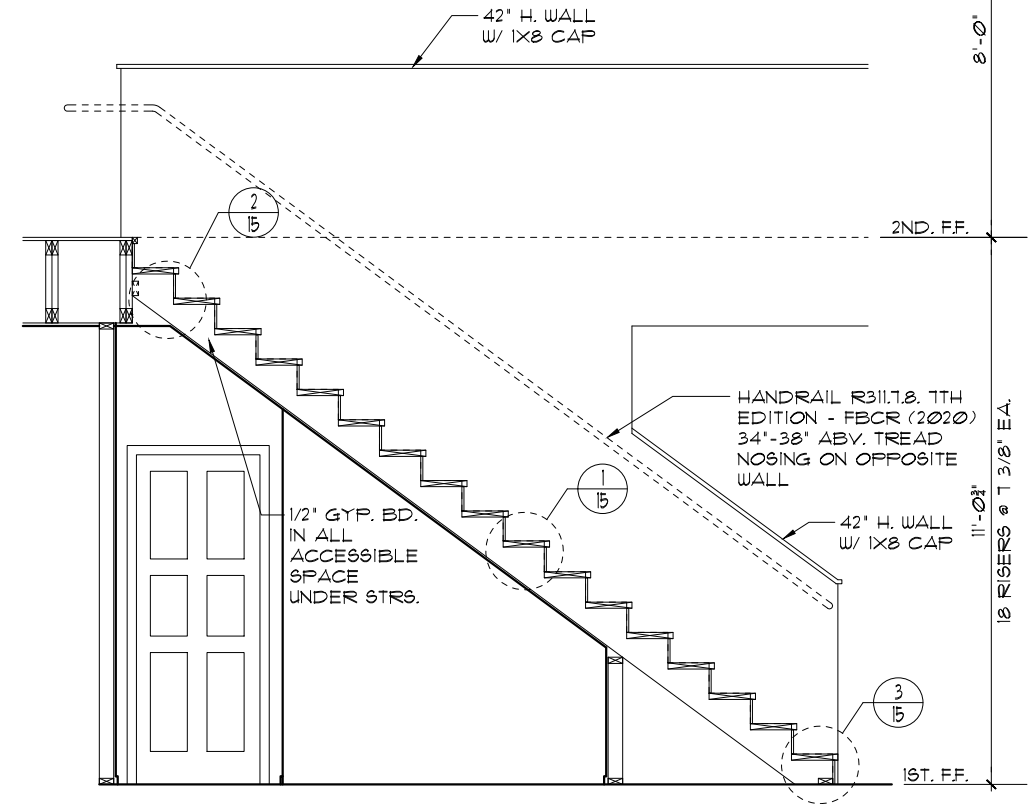
DATE 07-26-16
 SCALE AS NOTED
 DRAWN JR & RDC
 JOB 2945
 26 OF 26 SHEETS



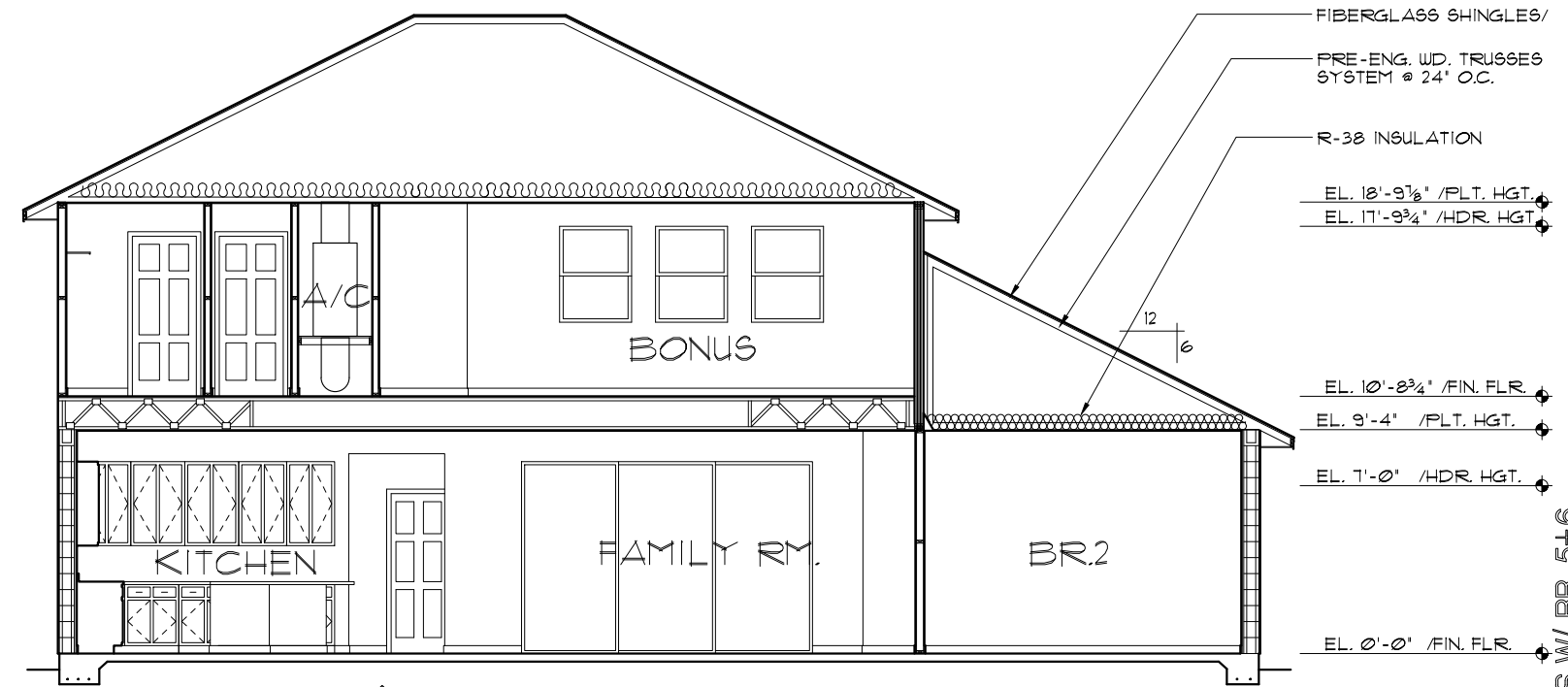
INTERIOR ELEVATIONS
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



1/4"=1'-0" (11X17) 1/2"=1'-0" (22X34)
 (THIS ELEV. ONLY)



STAIR SECTION
 1/4"=1'-0" (11X17) 1/2"=1'-0" (22X34)



CROSS SECTION
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

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 LOT: 0095, TALICHET PH.2
 EXT. BONUS W/ BR. 5+6
 BY: LK
 REVISIONS 06-24-23
 CODE 2020
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INTERIOR ELEVATIONS AND CROSS SECTION

2945 AVALON W/ BONUS
DREAM FINDERS HOMES

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 407-930-1111

DREAM FINDERS
THE MAKERS OF A QUALITY HOME

DATE 07-26-16
 SCALE AS NOTED
 DRAWN JR & RDC
 JOB 2945
 OF 26 SHEETS

MECHANICAL/ELECTRICAL NOTES
PER 11th ED. 2020 FLA BLD. CODE-RESIDENTIAL

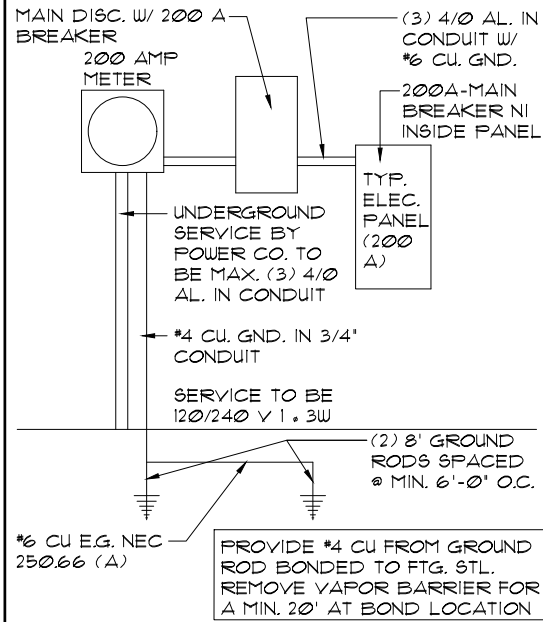
- 1.) COMPLETE DUCT DESIGN W/ SIZES & R-VALUE COMPLYING W/ THE FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION 610.1 ABC.1
- 2.) SUFFICIENT SPACE SHALL BE PROVIDED ADJACENT TO THE MECHANICAL COMPONENTS TO ASSURE ADEQUATE ACCESS FOR:
A) CONSTRUCTION AND SEALING, AND
B) SECTION M1601 PER THE FBCR 2020 11th ED.
- 3.) AIR CONDITIONING SYSTEM SHALL BE COMPLETELY BALANCED. ALL ROOMS ISOLATED FROM THE RETURN AIR SHALL BE PROVIDED WITH MEANS TO COMPLY WITH SECTION M1602 OF THE FBCR CODE 2020 11th EDITION.
- 4.) IAW NEC 2017- 210.12-ALL 15A OR 20A, 120V BRANCH CIRCUITS THAT SUPPLY OUTLETS IN DWELLING UNITS- FAMILY RMS, DINING RMS, LIVING RMS, PARLORS, LIBRARIES, BEDROOMS DENS, CLOSETS, SUNROOMS, RECREATION RMS, HALLWAYS OR SIMILAR AREAS SHALL BE PROTECTED BY A LISTED AFCI DEVICE OF THE COMBINATION TYPE.
- 5.) IAW NEC 2017- 406.11, ALL 15A AND 20A, 125V RECEPTACLES SHALL BE LISTED AS TAMPER RESISTANT.
- 6.) SMOKE ALARMS SHALL BE IN ALL SLEEPING AREAS, SHALL BE INTERCONNECTED, SHALL BE WITHIN 1' TO 3' OF PEAK & SHALL BE 3' FROM THE SUPPLY OR RETURN AIR- STREAM & EQUIPPED W/ A BATTERY BACKUP. ALARMS MAY NOT BE CONNECTED WHERE ALARMS ARE WIRELESS & ALL ALARMS SOUND UPON ACTIVATION IAW FBCR R314.3 & R314.4. MODEL* TO BE USED ON THIS JOB TO BE:
BRK: SMOKE-9120B, C/O- SC9120B
KIDDE: SMOKE-21007581, C/O 21006377-N

- 7.) ALL WATER HEATERS HAVING AN IGNITION SOURCE TO BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS MINIMUM 18" ABOVE GARAGE FLOOR UNLESS WATER HEATER IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. IAW FBCR 2020, 11th ED. P220.17
- 8.) ALL EQUIPMENT & APPLIANCES, INCLUDING WATER HEATERS HAVING AN IGNITION SOURCE TO BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS MINIMUM 18" ABOVE GARAGE FLOOR UNLESS IT IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. IAW FBCR 2020, 11th ED.
- 9.) THE TOTAL DEVELOPED LENGTH OF VENTING FOR DRYER TO BE: **25'-0" MAXIMUM**-THE EXHAUST DUCT SHALL TERMINATE NOT LESS THAN 3 FEET (914MM) IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.
PER FBCR 2020, 11th ED. M1502.3
- 10.) FEEDER CONDUCTORS SHALL BE SIZED FOR A MAX. VOLTAGE DROP OF 2% AT DESIGN LOAD. BRANCH CIRCUIT CONDUCTORS SHALL BE SIZED FOR A MAX. VOLTAGE DROP OF 3% AT DESIGN LOAD.

ELECTRICAL LEGEND

⊞	SINGLE POLE SWITCH	◀	OUTLET, TV/CABLE
⊞	THREE WAY SWITCH	◀	OUTLET, PHONE
⊞	OUTLET 110-115	◻	INTERCOM
⊞	OUT. 110-115, SPLIT WIRED	◻	CHIMES
⊞	OUT. 110-115, W/ USB	◻	SMOKE DETECTOR
⊞	OUT. 110-115, CLG. MOUNT.	◻	CARBON MONOXIDE
⊞	OUT. 110-115, FLR. MOUNT.	◻	PUSH BUTTON
⊞	SPCL. PURPOSE 220-240	◻	EXHAUST FAN
⊞	LIGHT FIXT., CLG. MTD.	◻	EX. FAN/LIGHT COMBO
⊞	LIGHT FIXT., WALL MTD.	◻	DISPOSAL
⊞	LIGHT FIXT., RECESSED	◻	ELECTRICAL PANEL
⊞	LIGHT FIXT., REC. ADJUST.	◻	CEILING FAN, PREWIRE
⊞	LIGHT FIXT., PULL CHAIN	◻	CEILING FAN, INSTALL
⊞	LIGHT FIXT., FLUORESCENT	◻	ELECT. JUNCTION BOX
⊞	LIGHT FIXT., EXT. FLOODS	◻	THERMOSTAT
⊞	LIGHT FIXT., EMERG. EXIT	◻	DISCONNECT SWITCH
⊞	LIGHT FIXT., EXIT/BACKUP	◻	ELEC. POWER METER

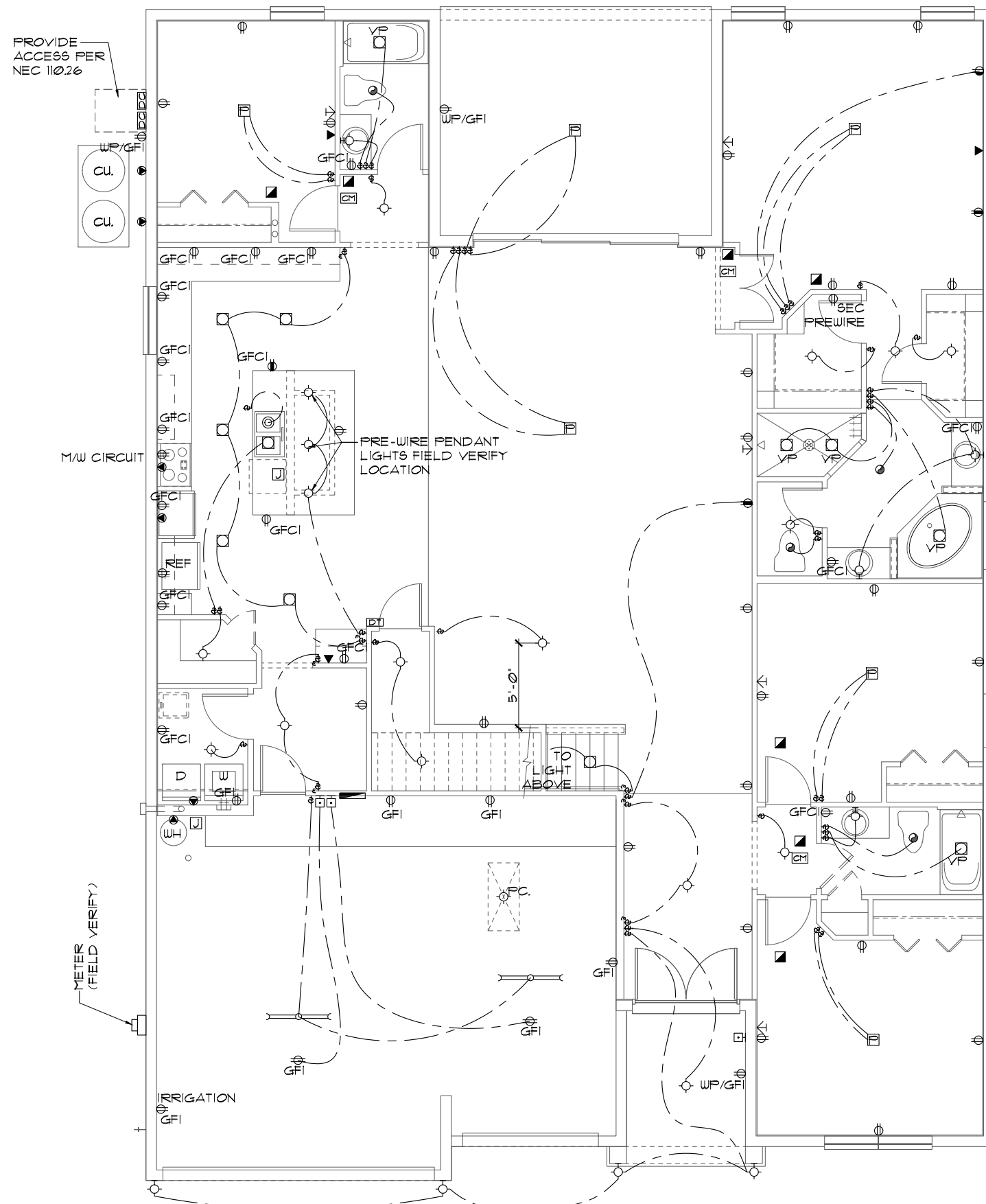
NOTE:
ELECTRICAL MATERIALS AND INSTALLATIONS SHALL COMPLY W/ APPLICABLE PROVISIONS OF THE NATIONAL ELEC. CODE 250.52(A)(1) TO (6), LOCAL CODES, AND THE LOCAL POWER COMPANY.



ELECTRICAL RISER DIAGRAM
N.T.S.

NOTE:
EC TO VERIFY AFC W/ UTIL. PRIOR TO ORDERING GEAR TO ENSURE CORRECT AIC RATING

NOTE:
- ALL KITCHEN COUNTER OUTLETS TO BE INSTALLED HORIZONTALLY @ 50" AFF TO CENTERLINE OF OUTLET
- ALL BATHROOM VANITY OUTLETS TO BE INSTALLED HORIZONTALLY @ 44" AFF TO CENTERLINE OF OUTLET



ELECTRICAL PLAN "A"
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

EXT. BONUS W/ BR. 5+6

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LOT: 0095, TALICHET PH.2
DATE 07-26-16
SCALE AS NOTED
DRAWN JR & RDC
JOB 2345
28 OF 26 SHEETS

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2945 AVALON W/ BONUS
DREAM FINDERS HOMES

DATE 07-26-16
SCALE AS NOTED
DRAWN JR & RDC
JOB 2345

28 OF 26 SHEETS

2945 AVALON W/ BONUS
DREAM FINDERS HOMES

DATE 07-26-16
SCALE AS NOTED
DRAWN JR & RDC
JOB 2345

Item 2.

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ELECTRICAL PLAN

2945 AVALON W/ BONUS
DREAM FINDERS HOMES

DATE 07-26-16
SCALE AS NOTED
DRAWN JR & RDC
JOB 2345

28 OF 26 SHEETS

BY: LK

REVISIONS 06-24-23

CODE 2020

BY: LK

LA: 06-24-23

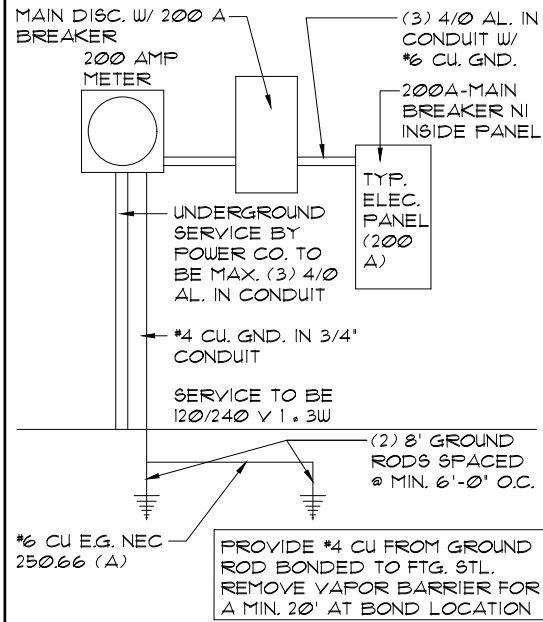
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PER 11TH ED. 2020 FLA BLD. CODE-RESIDENTIAL

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NOTE:
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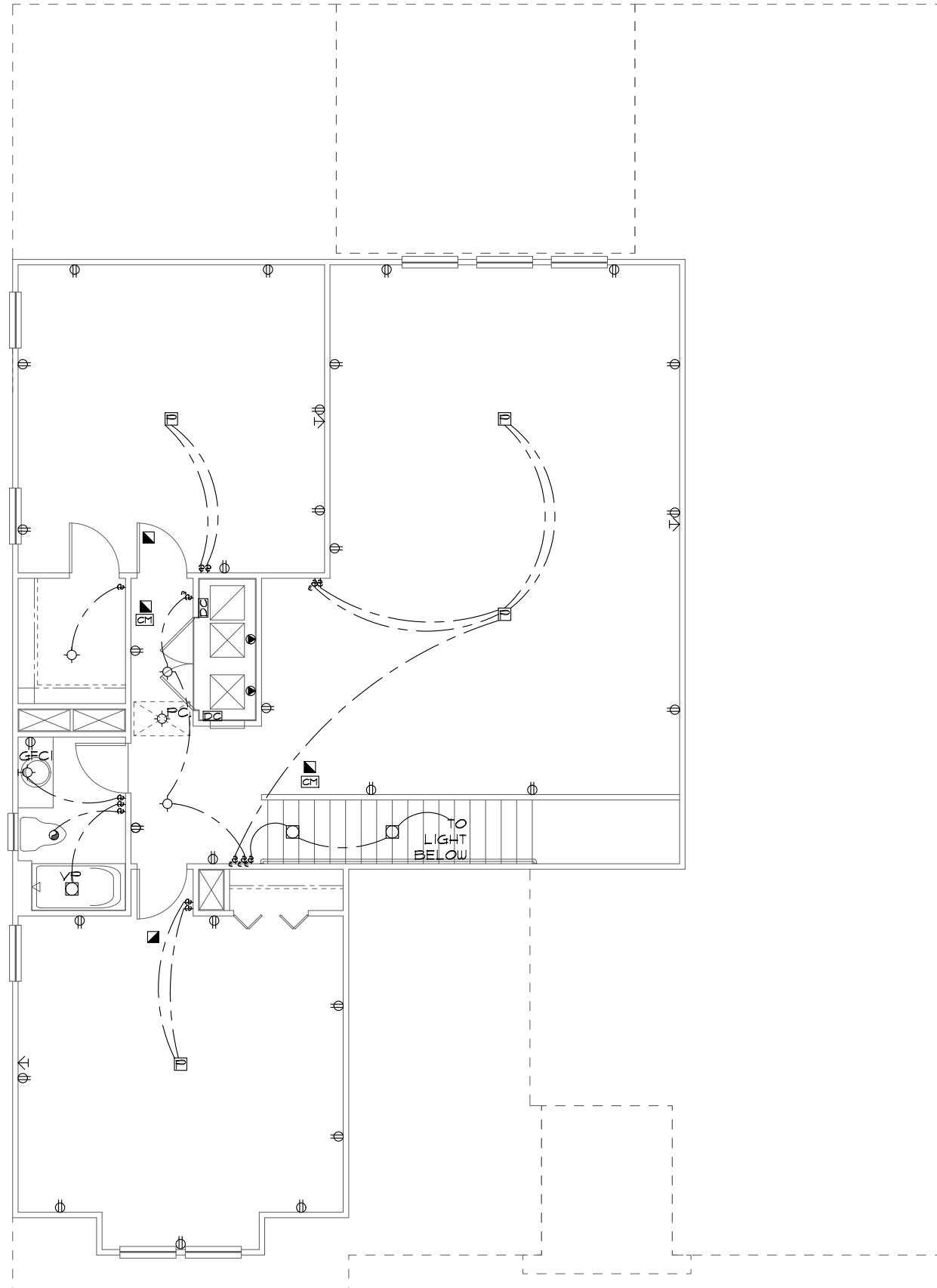
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NOTE:

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- ALL BATHROOM VANITY OUTLETS TO BE INSTALLED HORIZONTALLY @ 44" AFF TO CENTERLINE OF OUTLET

ELECTRICAL LEGEND

⊕	SINGLE POLE SWITCH	◀	OUTLET, TV/CABLE
⊕	THREE WAY SWITCH	◀	OUTLET, PHONE
⊕	OUTLET 110-115	◻	INTERCOM
⊕	OUT. 110-115, SPLIT WIRED	◻	CHIMES
⊕	OUT. 110-115, W/ USB	◻	SMOKE DETECTOR
⊕	OUT. 110-115, CLG. MOUNT.	◻	CARBON MONOXIDE
⊕	OUT. 110-115, FLR. MOUNT.	◻	PUSH BUTTON
⊕	SPCL. PURPOSE 220-240	◻	EXHAUST FAN
⊕	LIGHT FIXT., CLG. MTD.	◻	EX. FAN/LIGHT COMBO
⊕	LIGHT FIXT., WALL MTD.	◻	DISPOSAL
⊕	LIGHT FIXT., RECESSED	◻	ELECTRICAL PANEL
⊕	LIGHT FIXT., REC. ADJUST.	◻	CEILING FAN, PREWIRED
⊕	LIGHT FIXT., PULL CHAIN	◻	CEILING FAN, INSTALL
⊕	LIGHT FIXT., FLUORESCENT	◻	ELECT. JUNCTION BOX
⊕	LIGHT FIXT., EXT. FLOODS	◻	THERMOSTAT
⊕	LIGHT FIXT., EMERG. EXIT	◻	DISCONNECT SWITCH
⊕	LIGHT FIXT., EXIT/BACKUP	◻	ELEC. POWER METER



EXT. BONUS W/ BR. 5+6

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LOT: 0095, TALICHET PH.2

DATE 07-26-16

SCALE AS NOTED

DRAWN JR & RDC

JOB 2945

29

26 SHEETS

Item 2.

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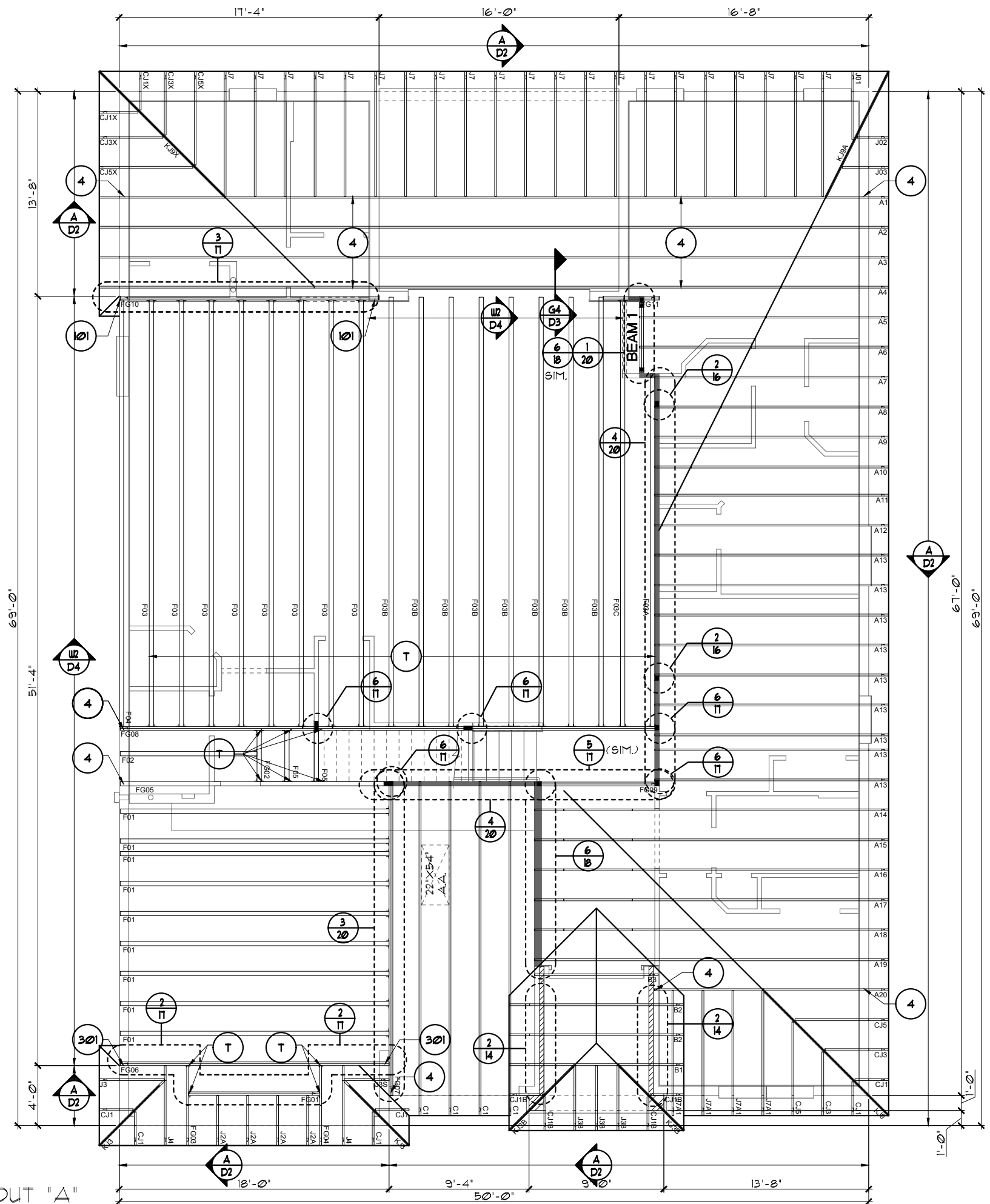
UPPER ELECTRICAL PLAN

2945 AVALON W/ BONUS
DREAM FINDERS HOMES

DATE 07-26-16
SCALE AS NOTED
DRAWN JR & RDC
JOB 2945
29
26 SHEETS

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 DATE 07-26-16
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 JOB 2945
 OF 26 SHEETS

Item 2.



BEAM SCHEDULE

BEAM 1: (2) 2X8'S W/ 1/2" PLYWD. FLITCH PLATE

BEAM 2: NOT USED

ATTIC VENTILATION CALCULATIONS

PER FBC 2020, 1TH EDITION R306: MIN. 40% - MAX. 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).

THE MINIMUM NET VENTILATION AREA SHALL BE 1/300 OF VENTED SPACE:

TOTAL VENTED SPACE: $\frac{3,394\text{S.F.}}{300} = 11.31\text{S.F.}$ NET FREE REQUIRED

UPPER PORTION VENTILATION TOTAL: 4.85S.F.
 PROVIDED W/OFF RIDGE VENTS: 5 VENTS @ .97S.F. /VENT.
 (TILE: O'HAGIN MODEL 'S' (.85S.F.), SHINGLE: LOMANCO T10-D)

LOWER PORTION VENTILATION TOTAL: 21.84S.F.
 PROVIDED W/OFFITS @ EAVE: 251L.F. @ 0.087S.F. VENTING/L.F.

UPPER PORTION PERCENTAGE: 43%
 LOWER PORTION PERCENTAGE: 57%

- NOTES**
1. TYPICAL ROOF GABLE OVERHANG TO BE 9" UNLESS OTHERWISE NOTED.
 2. TYPICAL ROOF EAVES OVERHANG TO BE 16" UNLESS OTHERWISE NOTED.
 3. PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IAW THE 2020 1TH EDITION FBCR. PROVIDE ROOF VALLEY FLASHING IAW FBCR R303.2
 4. ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZED BY TRUSS MANUFACTURER OR FL. REG. ENG.
 5. TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTCA BC91.1.
 6. REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
 7. TILE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 1TH EDITION R305.3.3
 OR
 SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 1TH EDITION R305.1.1

TRUSS LAYOUT "A"
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

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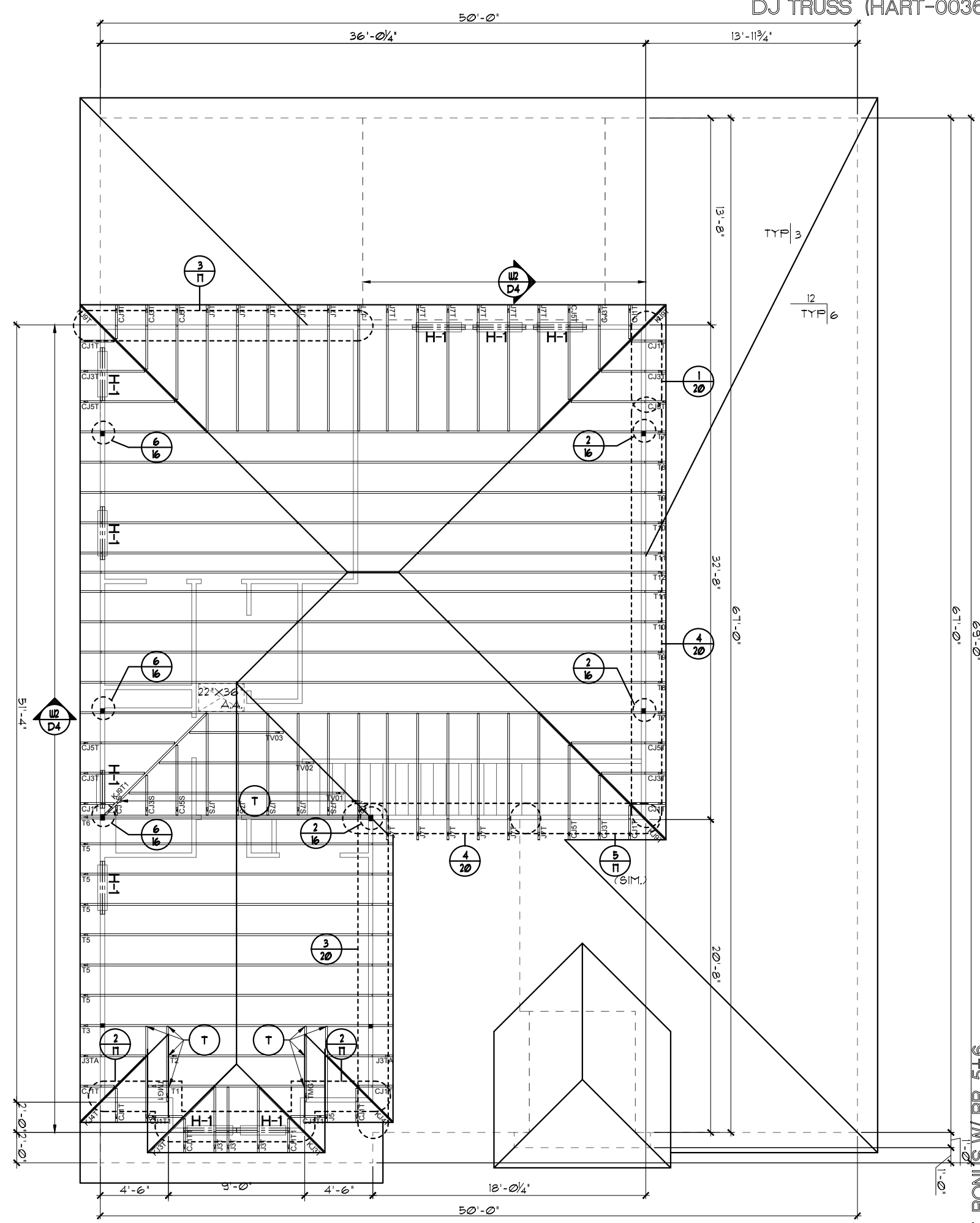
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 407-930-1111



TRUSS LAYOUT

2945 AVALON W/ BONUS
 DREAM FINDERS HOMES

Item 2.



HEADER SCHEDULE

H-1: (2) 2X8'S W/ 1/2" PLYWD. FLITCH PLATE W/ (6) 16d NAILS EA. END TO BYPASS STUDS. NO ADDITIONAL STRAPPING IS REQ'D.

- NOTES**
1. TYPICAL ROOF GABLE OVERHANG TO BE 9" UNLESS OTHERWISE NOTED.
 2. TYPICAL ROOF EAVES OVERHANG TO BE 16" UNLESS OTHERWISE NOTED.
 3. PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IAW THE 2020 11TH EDITION FBCR. PROVIDE ROOF VALLEY FLASHING IAW FBCR R303.2
 4. ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZED BY TRUSS MANUFACTURER OR FL. REG. ENG.
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 6. REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
 7. TILE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.3.3
OR
SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.1.1

UPPER TRUSS LAYOUT "A"
 1/8" = 1'-0" (11X17) 1/4" = 1'-0" (22X34)

EXT. BONUS W/ BR. 5+6
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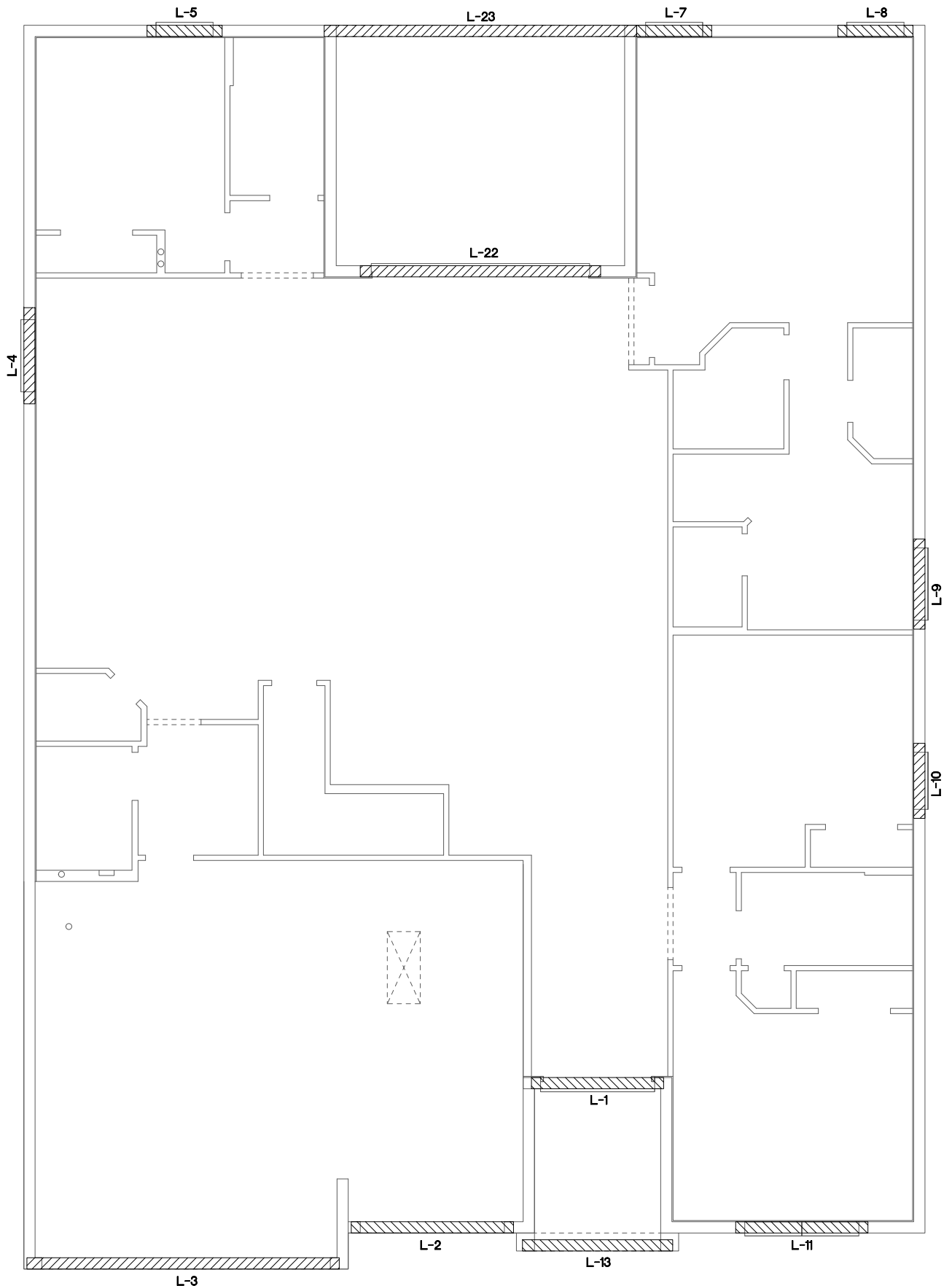
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DATE 07-26-16
 SCALE AS NOTED
 DRAWN JR & RDC
 JOB 2945
 31
 26 SHEETS

NOTE:
 1. LINTEL DEPTH(S) ARE RELATIVE TO FINISHED FLOOR, CONTRACTOR IS ALLOWED A VARIANCE IN DEPTH OF PLUS/MINUS 4"

CAST CRETE / LOTT'S / WEKIWA / FLORIDA ROCK LINTEL SCHEDULE			
LINTEL NO.	LENGTH	TYPE	COMMENTS
L 1	7'-6"	8F12-0B/1T	FRONT DOOR
L 2	9'-4"	8F32-0B/1T	GARAGE DOOR SEE NOTE #1
L 3	17'-4"	8F32-1B/1T	GARAGE DOOR SEE NOTE #1
L 4	5'-4"	8F28-0B/1T	SH4030
L 5	4'-6"	8F28-0B/1T	SH3050
L 6	NOT USED		
L 7	4'-6"	8F28-0B/1T	SH3050
L 8	4'-6"	8F28-0B/1T	SH3050
L 9	5'-4"	8F28-0B/1T	SH4040 TEMP.
L 10	4'-6"	8F28-0B/1T	SH3050
L 11	7'-6"	8F20-0B/1T	FR. SH3060
L 13	8'-4"	8F12-0B/1T	ENTRY
L 22	13'-4"	8F16-0B/1T	12/0X8/0 S.G.D.
L 23	17'-4"	8F16-1B/1T	REAR LANAI

PRE CAST LINTEL LAYOUT "A"
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



EXT. BONUS W/ BR. 5+6

LOT: 0095, TALICHET PH.2

DATE 07-26-16
 SCALE AS NOTED
 DRAWN JR & RDC
 JOB 2945
 OF 26 SHEETS

2945 AVALON W/ BONUS
 DREAM FINDERS HOMES

PRE CAST
 LINTEL LAYOUT "A"



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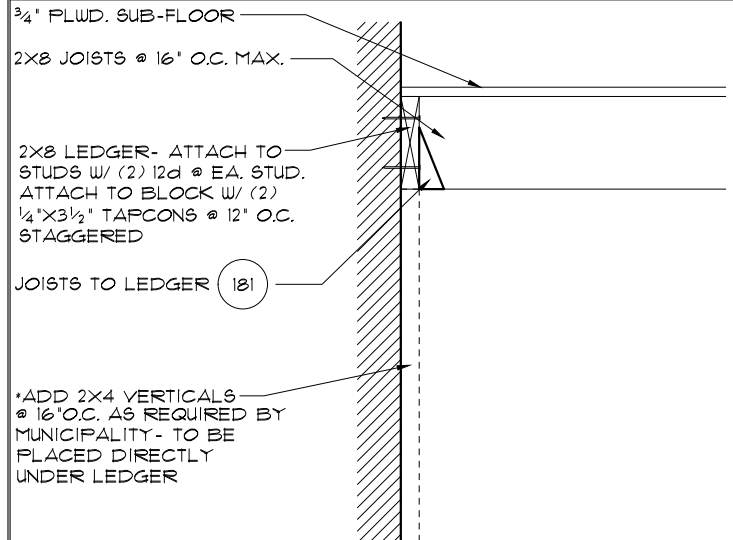
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 RICHARD WIND, P.E.
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 ORLANDO, FL 32811
 PHONE: 407-930-1111
 RWIND@RDCFLA.COM

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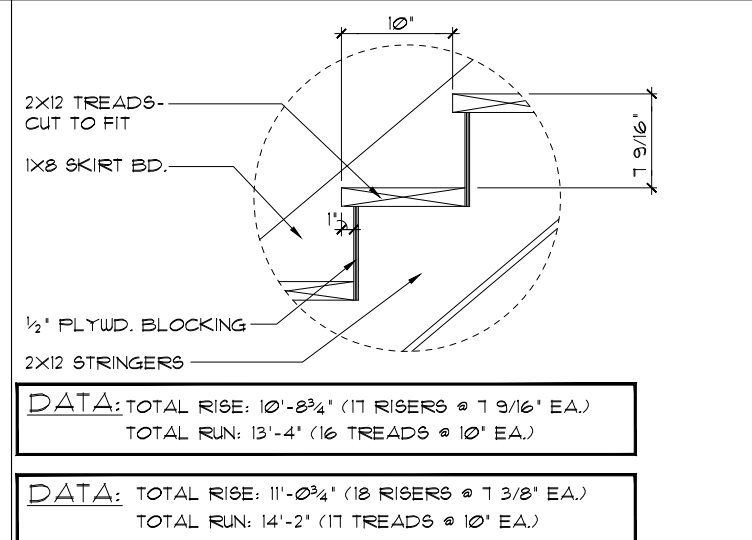
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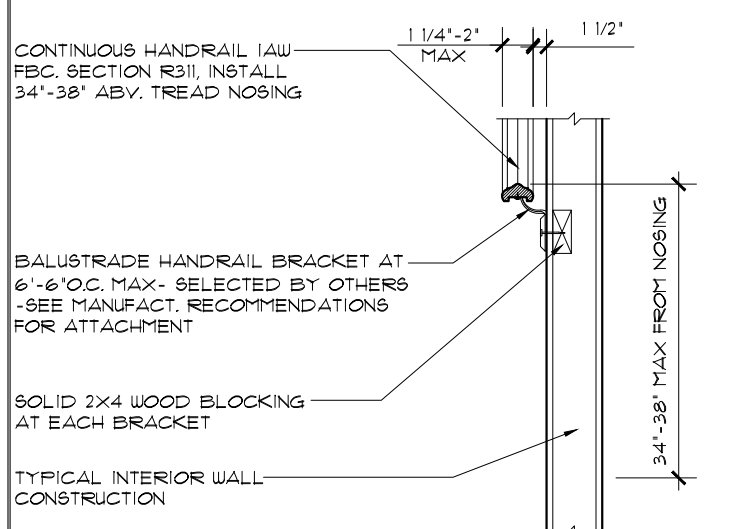
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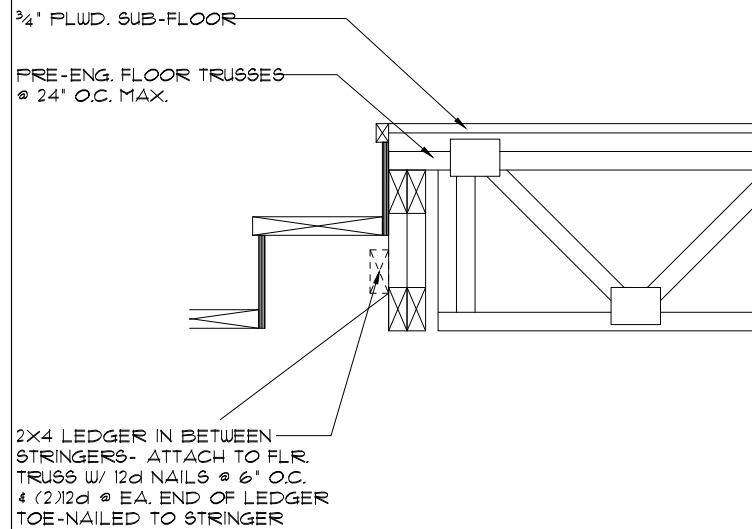
4 TYP. STAIR CONNECT.
 15 3/4" = 1'-0" (11X17) 1 1/2" = 1'-0" (22"X34") PLATFORM FRAMING



1 STAIR DETAIL
 15 3/4" = 1'-0" (11X17) 1 1/2" = 1'-0" (22"X34") STAIR DATA



5 TYP. HANDRAIL DET.
 15 3/4" = 1'-0" (11X17) 1 1/2" = 1'-0" (22"X34")



2 TYP. STAIR CONNECT.
 15 3/4" = 1'-0" (11X17) 1 1/2" = 1'-0" (22"X34") STRINGER TO FLOOR TRUSS

NOTES:

STAIRWAY CONSTRUCTION TO CONFORM TO FBCR 2020, 11TH EDITION SECTION R311.7

MAX. HGT. OF RISER TO BE 7 3/8", WITH THE GREATEST RISER HEIGHT NOT EXCEEDING THE SMALLEST BY MORE THAN 3/8".

MIN. DEPTH OF TREAD TO BE NO LESS THAN 10", WITH THE GREATEST TREAD DEPTH NOT EXCEEDING THE SMALLEST BY MORE THAN 3/8".

WINDER TREADS SHALL HAVE A TREAD DEPTH OF NO LESS THAN 10" MEASURED BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION.

WINDER TREADS SHALL HAVE A TREAD DEPTH OF NO LESS THAN 6" AT ANY POINT WITHIN THE CLEAR WIDTH OF THE STAIR.

THE LARGEST WINDER TREAD DEPTH AT THE WALKLINE SHALL NOT EXCEED THE SMALLEST WINDER BY MORE THAN 3/8".

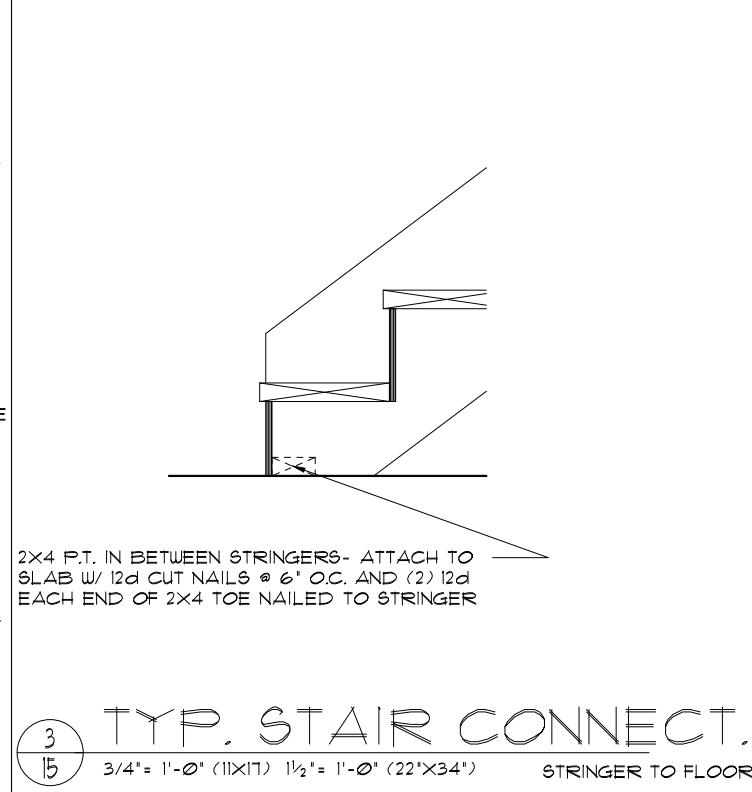
CONSISTENTLY SHAPED WINDERS AT THE WALKLINE SHALL BE ALLOWED WITHIN THE SAME FLIGHT OF STAIRS AS RECTANGULAR TREADS AND DO NOT NEED TO BE WITHIN 3/8" OF THE RECTANGULAR TREAD DEPTH.

HANDRAIL CIRCULAR CROSS SECTION DIA. TO BE 1 1/4" - 2" OR TO PROVIDE EQUIVALENT GRASPABILITY.

34"-38" HANDRAIL HGT. MEASURED FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FINISH SURFACE OF RAMP SLOPE.

HEADROOM IN STAIRWAYS SHALL BE NOT LESS THAN 6'-8" MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF THE STAIRWAY.

ALL FASTENERS AND CONNECTORS IN CONTACT WITH TREATED WOOD SHALL BE HOT DIPPED GALVANIZED, SILICON BRONZE, STAINLESS, OR EQUAL IN CORROSION RESISTANCE. THIS APPLIES TO ALL ITEMS LESS THAN 1/2" IN THICKNESS OR DIAMETER (INCLUDING NAILS AND SCREWS)



3 TYP. STAIR CONNECT.
 15 3/4" = 1'-0" (11X17) 1 1/2" = 1'-0" (22"X34") STRINGER TO FLOOR

CONNECTOR SCHEDULE

CONNECT. TYPE	SIMPSON		USP		MAX. UPLIFT	LAT. LDS. FI / F2
	DESCRIPTION	FASTENERS PER CONNECTOR	DESCRIPTION	FASTENERS PER CONNECTOR		
4	HETA20	14-10d x 1 1/2"	ETA20	14-10d	1,810	65 / 960
22	H10A	RFT: 9-10d x 1 1/2" PLT: 9-10d x 1 1/2"	RT16	RFT: 9-10d x 1 1/2" PLT: 9-10d	1,140	590/285
23	LUS26	HDR: 4-10d/JST: 4-10d	JUS26	HDR: 4-10d/JST: 4-10d	935	N/A
24	H1	RFT / TRS: 4-8d	RT20	RFT / TRS: 9-10d	985	400 / N/A
26	H25	PLT / STD: 10-8d	RT1	PLT / STD: 13-10d	415	150 / 150
35	A35F	RFT: 5-8d / PLT: 5-8d	RTT	RFT: 5-8d / PLT: 5-8d	440	440 / N/A
37	MTS12	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	MPAIF	H: 6-8dx1 1/2" / P: 6-8dx1 1/2"	1,000	N/A
38	MTS16	14-10d	MTW16	14-10d	1,000	N/A
39	MTSM16	BLK: (4) 1/4" x 2 1/4" T.C. TRUSS: (7) 10d	MTW16	BLK: (4) 1/4" x 2 1/4" T.C. TRUSS: (7) 10d	860	N/A
43	LSTA12	10-10d	LSTA12	10-10d	905	N/A
44	HGA10	RFT / 4-SDS 1/4" x 1 1/2" PLT / 4-SDS 1/4" x 3"	N/A	N/A	500	840/675
45	ST18	14-16d	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	N/A	N/A	5,495	N/A
79	SF1	STD: 6-10d / PLT: 4-10d	SPT22	STD: 4-10d / PLT: 4-10d	535	560 / 260
80	SF2	STD: 6-10d / PLT: 6-10d	SPT224	STD: 6-10d / PLT: 6-10d	605	560 / 260
81	SPH468	12-10d x 1 1/2"	TP46,48	12-10d x 1 1/2"	885	N/A
86	ECCLL/RQ-SDS2.5	1/4" x 2 1/2" STRONG DRIVE SDS H.D. CON. SCREWS	N/A	N/A	M: 2835 S: 1840	N/A
88	CBSQ88	12 SDS 1/4x2"			3,975	N/A
89	CB66	(2) 3/8" BOLTS	PA8X8	4-10d	2,300	985
90	ABU66	12-16d	PAU66	12-16d	2,240	N/A
91	CBSQ66	14 SDS 1/4x2"			3,190	N/A
92	ABU44	12-16d	PAU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	PBS66	24-16d	1,815	1,070
94	AC4 (MAX)	28-16d	PBS44	24-16d	1,815	1,070
95	HTS20	20-10d	HTU20	20-10d	1,450	N/A
99	A35	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	MPAI	H: 6-8dx1 1/2" / P: 6-8dx1 1/2"	440	440 / N/A
101	HTT4	3/8" BOLT / 18-16d x 2 1/2"	N/A	N/A	3,640	N/A
102	HTT5	3/8" BOLT / 26-10d	N/A	N/A	4,275	N/A
103	VGTR/L	32-SDS 1/4" x 3" / (2) 3/8" BLT	N/A	N/A	3,990	N/A
104	HDU8-SDS2.5	7/8" BLT / 20-SDS 1/4" x 2 1/2"	N/A	N/A	5,020	N/A
105	HD7B	7/8" - 3-3/4"	N/A	N/A	6,645	N/A
181	HUS26	20-16d	THD26	H: 20-16d / J: 10-10d	1,550	N/A
184	HUC28-2	H: 14-16d / J: 4-10d	N/A	N/A	1,085	N/A
212	HUC410	BLOCK: 10-1/4" x 1 1/2" TC JOIST: 10-16d	N/A	N/A	1,810	N/A
213	HSUR/L410	BLOCK: 20-16d JOIST: 6-16d	N/A	BLOCK: N/A JOIST: N/A	1,300	N/A
214	HUC412	BLOCK: 10-1/4" x 1 1/2" TC JOIST: 10-16d	HUS412	BLOCK: 10-1/4" x 1 1/2" TC JOIST: 10-16d	1,895	N/A
215	HGUS210-2	HDR: 46-16d / JST: 10-16d	EHUH210-2	HDR: 40-16d / JST: 16-10d	2,720	N/A
216	HUCS412	BLOCK: 10-1/4" x 1 1/2" TC JOIST: 10-16d	HUS412	BLOCK: 10-1/4" x 1 1/2" TC JOIST: 10-16d	3,240	N/A
217	HUS212-2	BLOCK: 10-1/4" x 1 1/2" TC JOIST: 10-16d	HUS212-2	BLOCK: 10-1/4" x 1 1/2" TC JOIST: 10-16d	2,630	N/A
219	MBHA412	H: 1-ATR 3/4 x 8 TOP & FACE JOIST: 18-10d	NFM35X12U	H: 1-1/2" J-BOLT J: 5-1/2" BOLTS	3,145	N/A
231	MBHA3.56/16	HDR: (2) 3/4" x 8" JOIST: 18-10d	NFM3.5X16U	HDR: MIN. 1/2" x J-BOLTS JOIST: (5) 1/2" x BOLTS	3,450	N/A
232	MBHA5.50/16	HDR: (2) 3/4" x 8" JOIST: 18-10d	NFM5.5X16U	HDR: MIN. 1/2" x J-BOLTS JOIST: (5) 1/2" x BOLTS	3,450	N/A
241	LGT2	30-16d-sinker	LUGT2	32-10d	2,000	1015 / 440
242	LGT3	G: (12) SDS 1/4" x 2 1/2"	N/A	W: (4) 3/8" x 5" TITEN	2,365	N/A
243	LGT4-SDS3	G: (16) SDS 1/4" x 3"	N/A	W: (4) 3/8" x 5" TITEN HD	2,365	N/A
301	MGT	(1) 3/4" BLTS / GIR: 22-10d	N/A	N/A	3,965	N/A
302	HGT-2 or 3	LTL: 3/4" BLTS / GIR: 8-10d	USC63	LTL: 3/4" BLTS / GIR: 8-16d	6,485	N/A
303	HGT-4	LTL: 3/4" BLTS / GIR: 16-10d	N/A	N/A	9,250	N/A
305	FGTR (2-PLY)	TRUSS: 36 SDS 1/2" x 3" WALL: (4) 1/2" x 5" TITEN HD	N/A	N/A	9,400	N/A
401	SUR/L414	FACE: 18-16d / JST: 8-16d	N/A	N/A	1,700	N/A
501A	LSU26	6-10d - 5-10dx1 1/2"	N/A	N/A	535	N/A
501B	LSU28	10-10d - 5-10dx1 1/2"	N/A	N/A	535	N/A
501C	LSU210	10-10d - 7-10dx1 1/2"	N/A	N/A	875	N/A
502A	LSU26	6-10d - 5-10dx1 1/2"	N/A	N/A	535	N/A
502B	LSU28	9-10d - 5-10dx1 1/2"	N/A	N/A	450	N/A
502C	LSU210	9-10d - 7-10dx1 1/2"	N/A	N/A	785	N/A
503	HRC22	6-10dx1 1/2 - 2-10dx1 1/2"	N/A	N/A	290	N/A
504	VPA2	8-10d - 2-10dx1 1/2"	N/A	N/A	295	375/250
505	HCP2	6-10dx1 1/2 - 6-10dx1 1/2"	N/A	N/A	645	N/A
T	CONNECTORS TO BE SPECIFIED AND PROVIDED BY TRUSS MANUFACTURERS					

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2945 AVALON W/ BONUS

STAIR DATA / CONNECTOR SCHEDULE

DREAM FINDERS HOMES

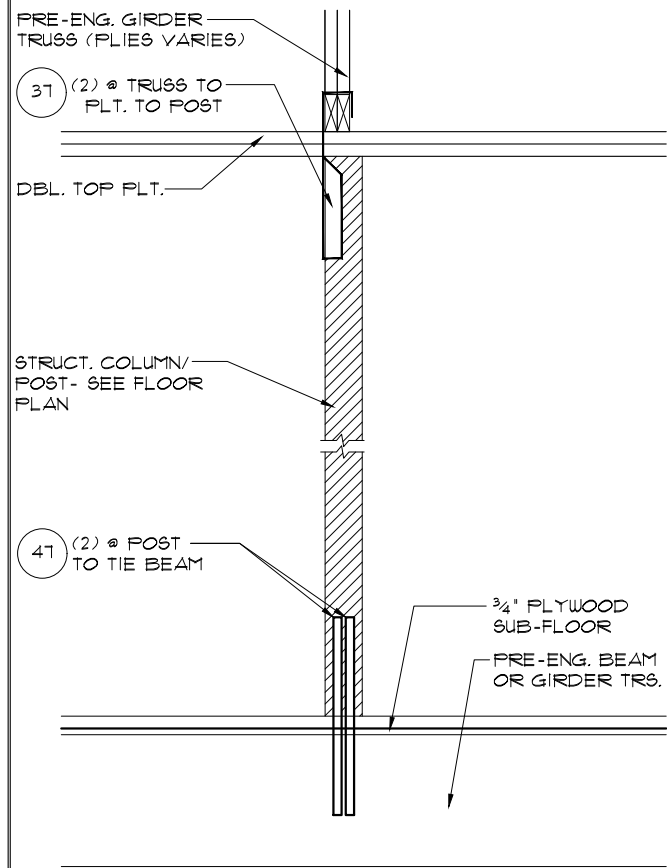
DATE 07-26-16
 SCALE AS NOTED
 DRAWN JR & RDC
 JOB 2945
 OF 26 SHEETS

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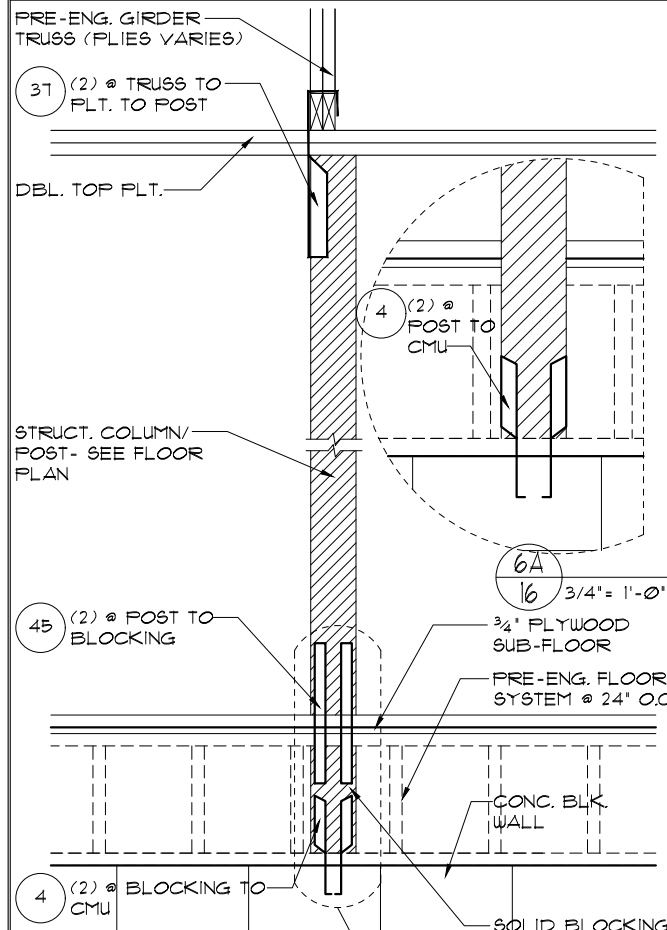
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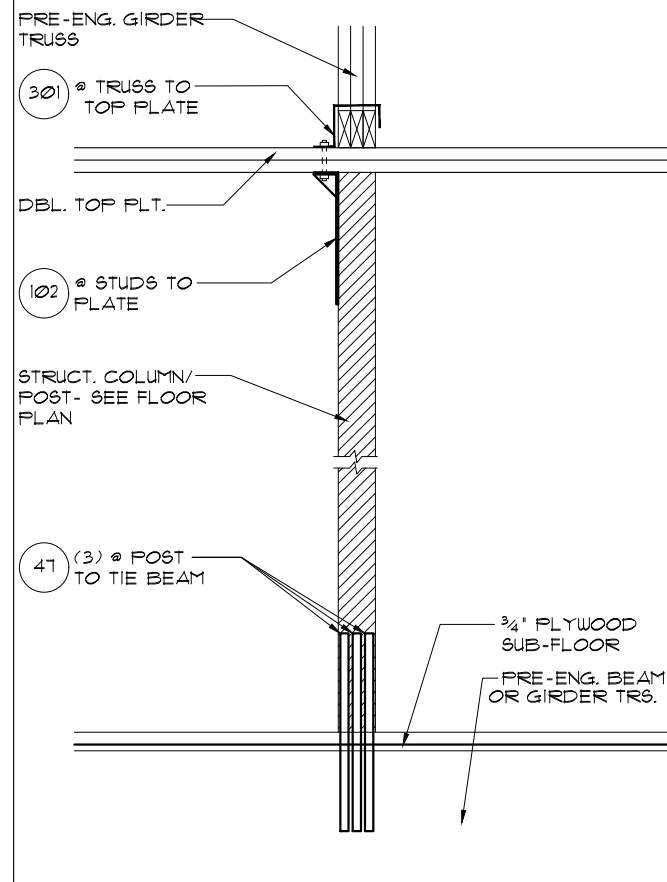
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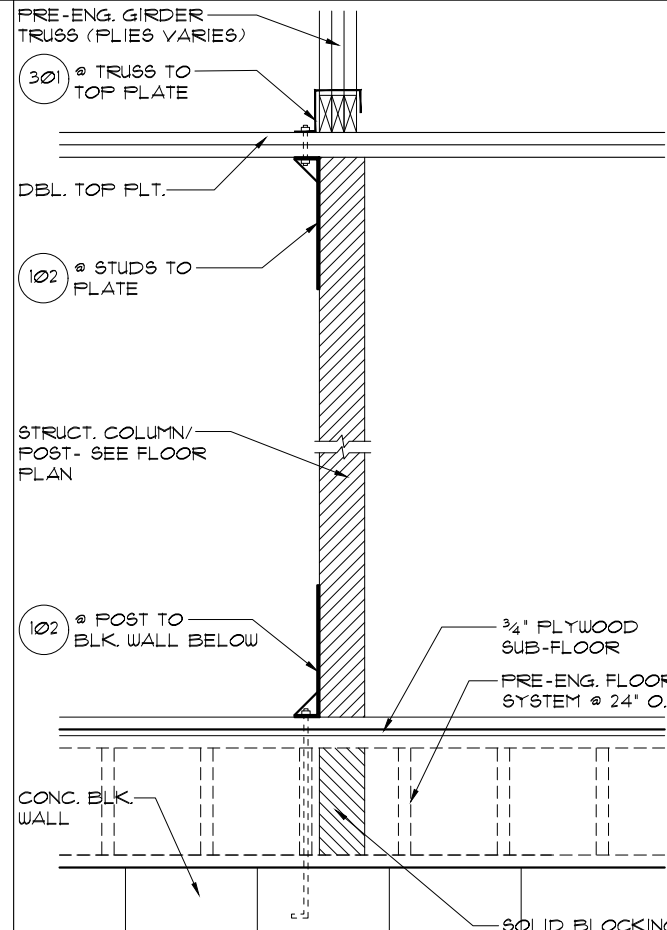
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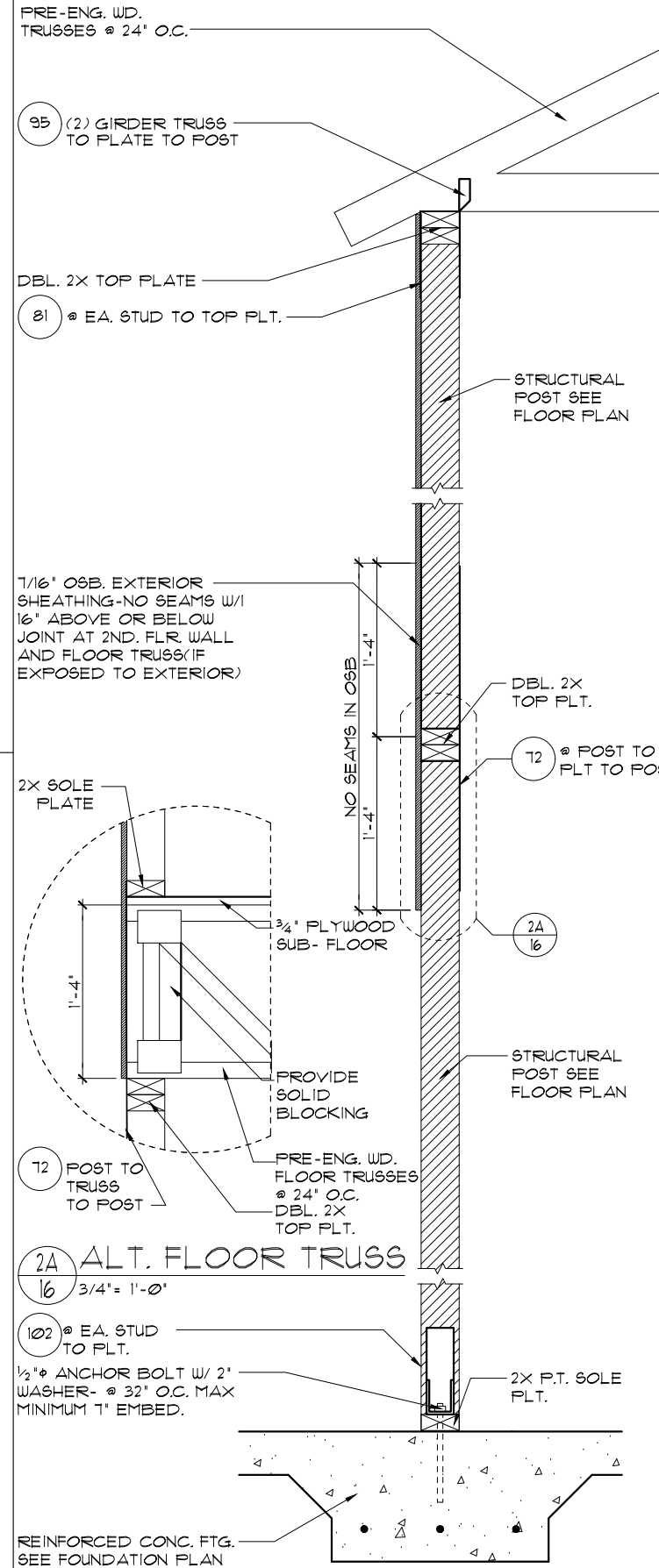
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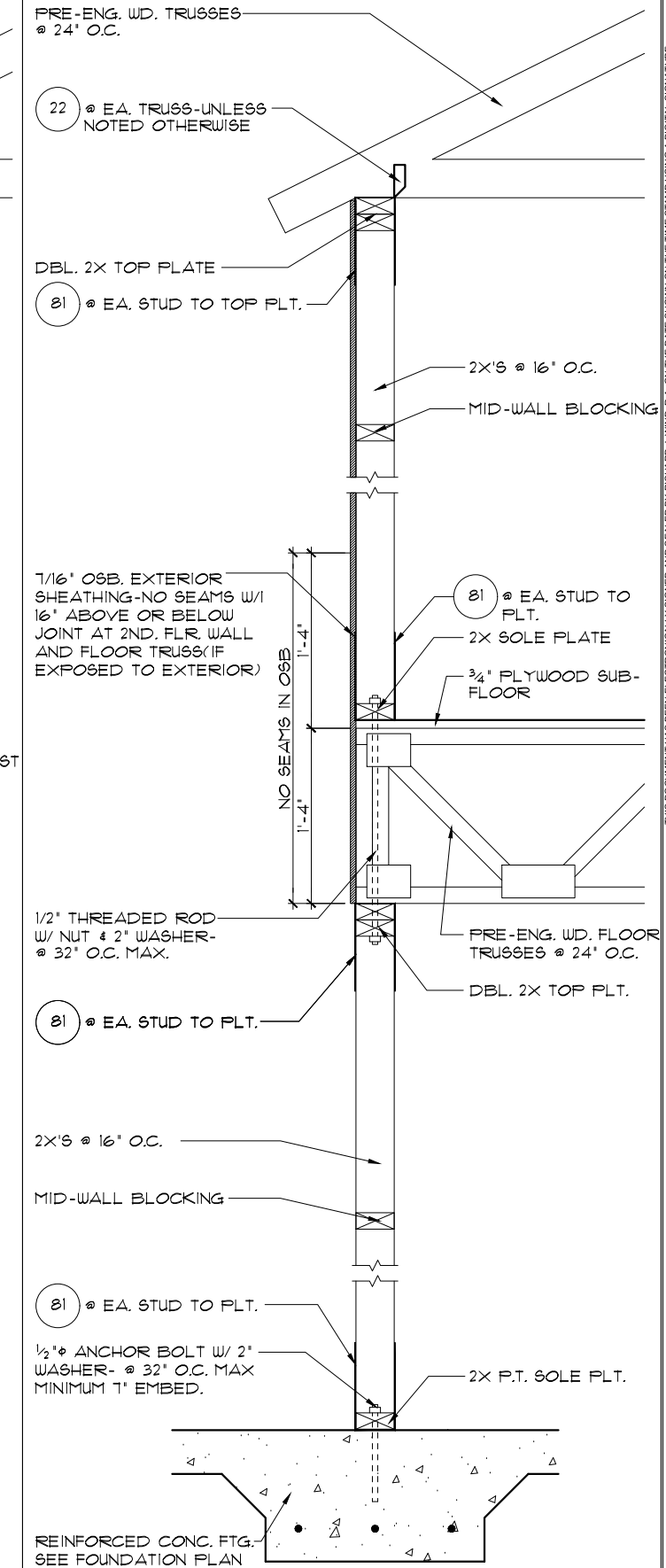
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4 DETAIL
16 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



2 DETAIL
16 3/4"=1'-0" (11X17) 1/2"=1'-0" (22X34)



1 DETAIL
16 3/4"=1'-0" (11X17) 1/2"=1'-0" (22X34)

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Item 2.

STRUCTURAL DETAILS

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DREAM FINDERS HOMES

DATE 07-26-16
SCALE AS NOTED
DRAWN JR & RDC
JOB 2945

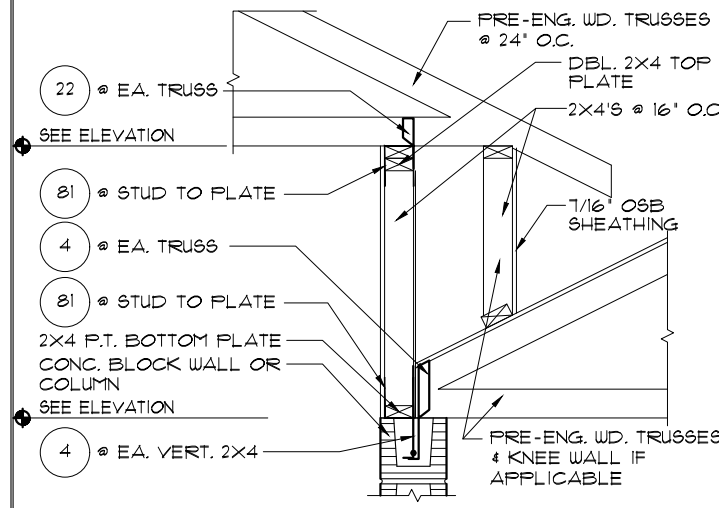
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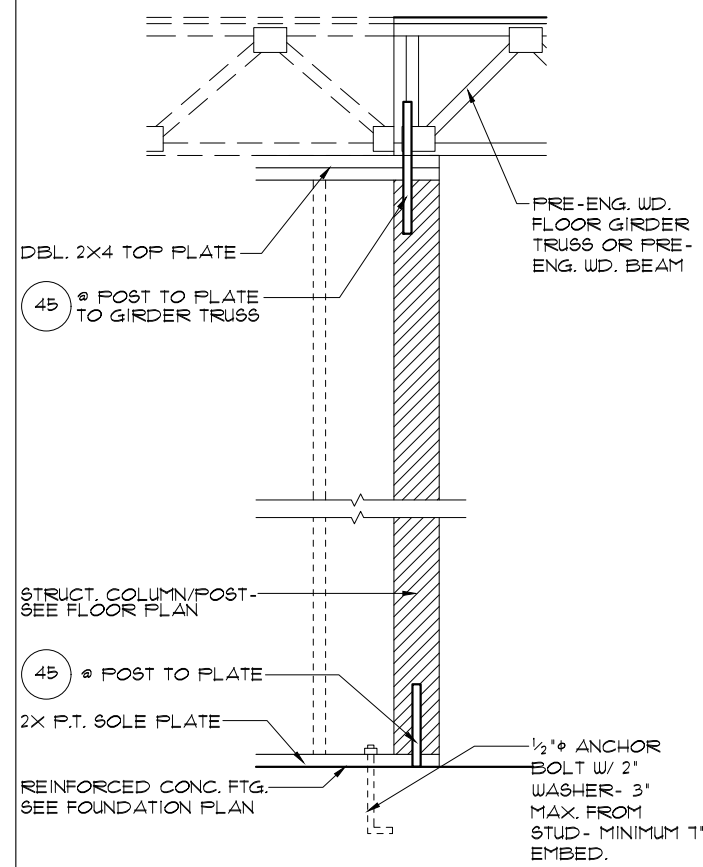
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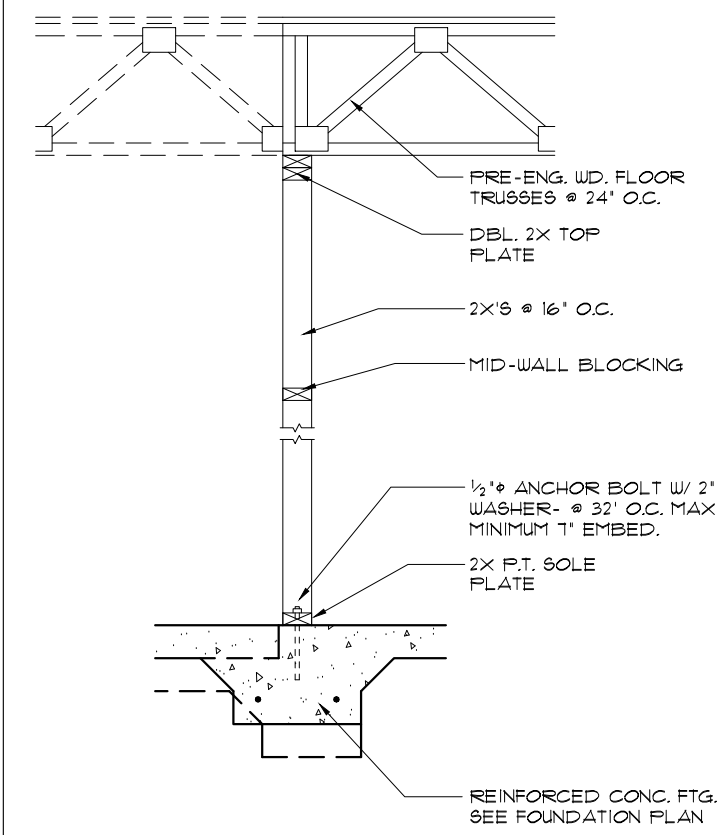




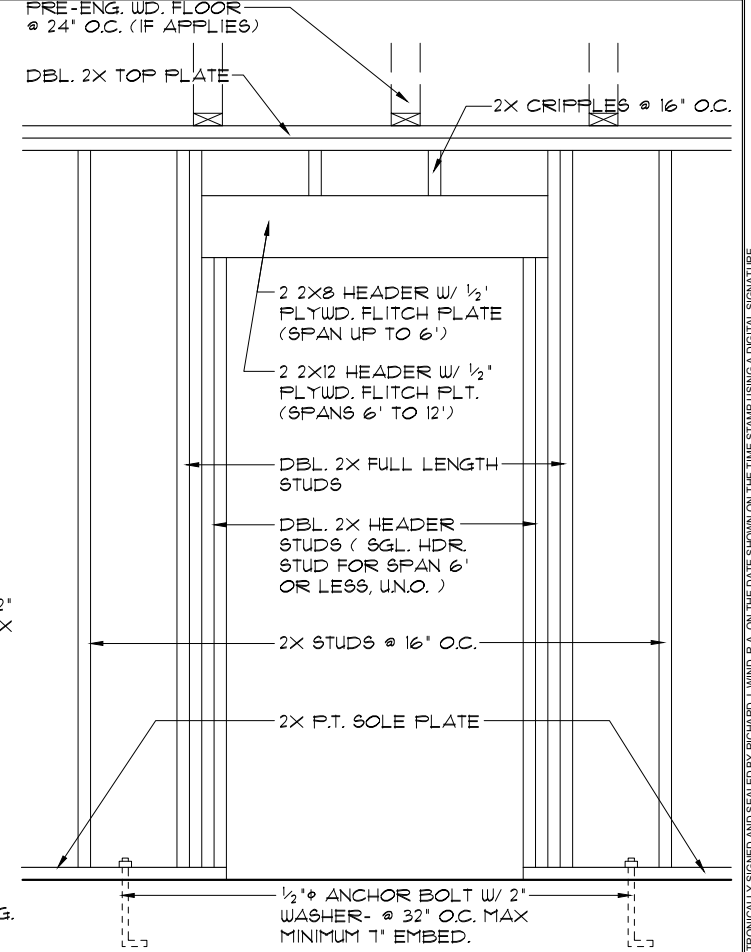
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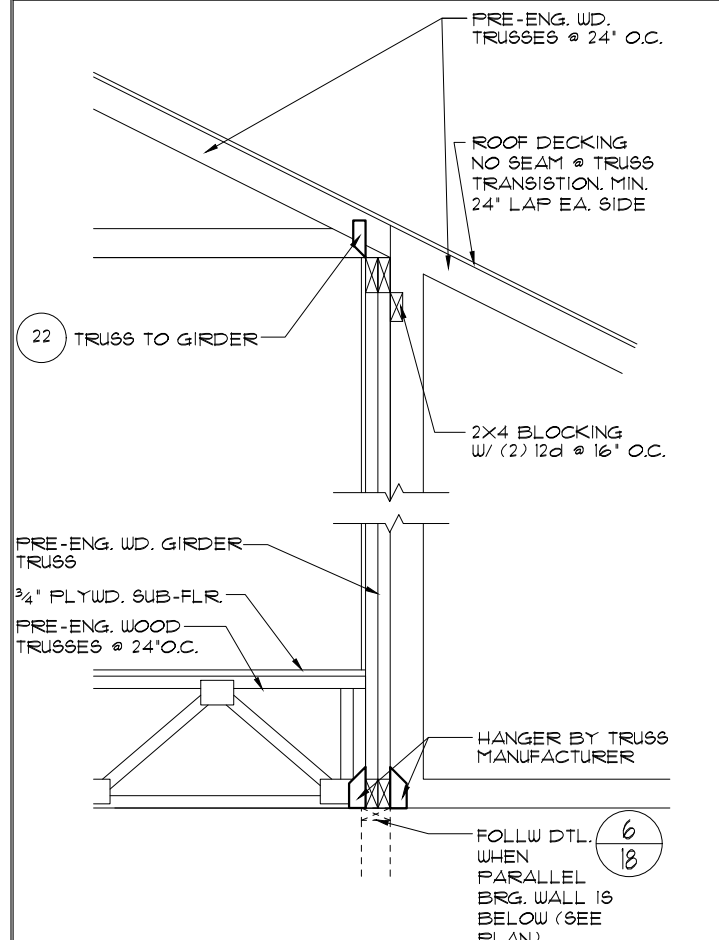
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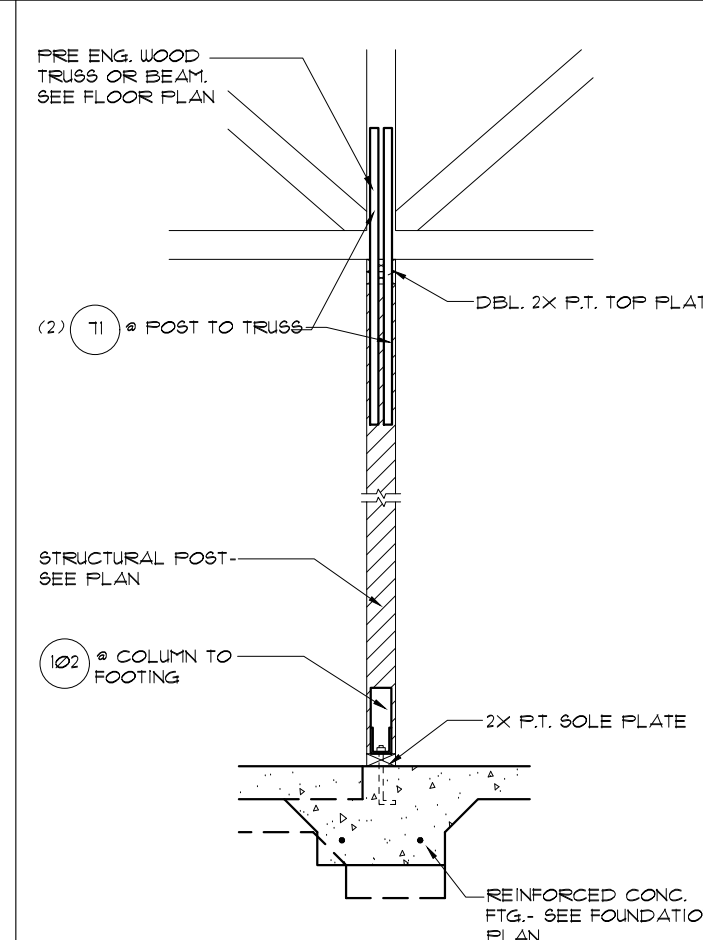
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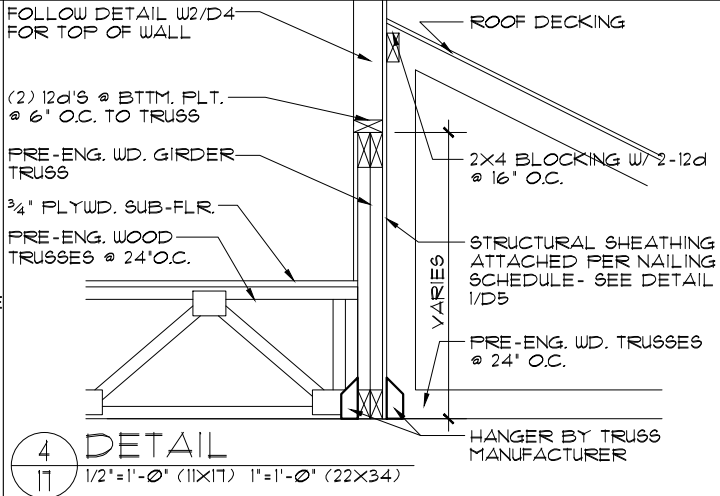
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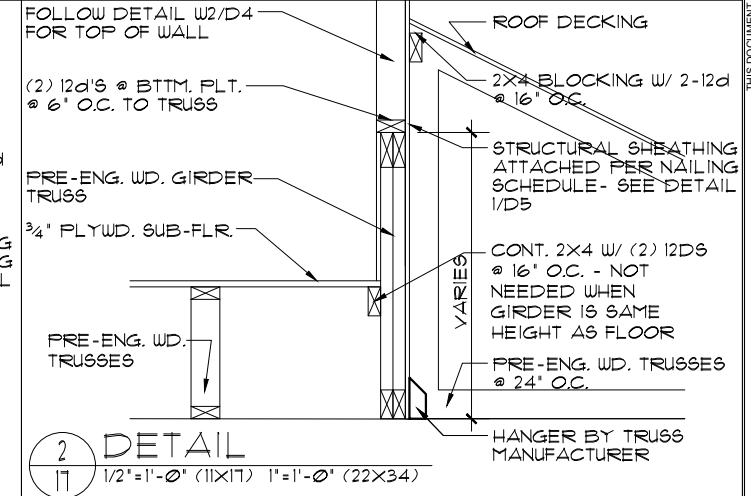
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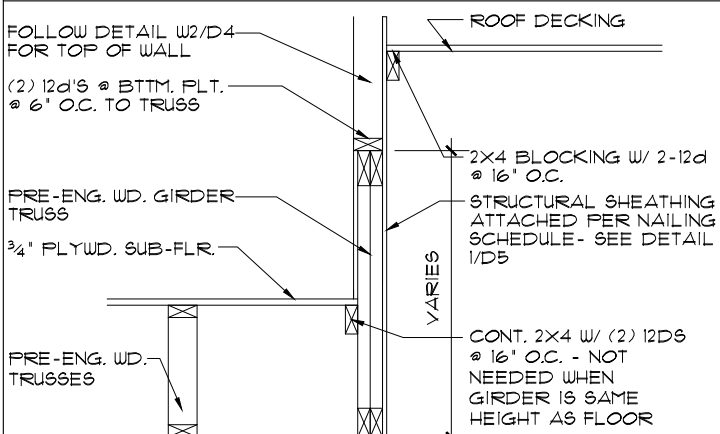
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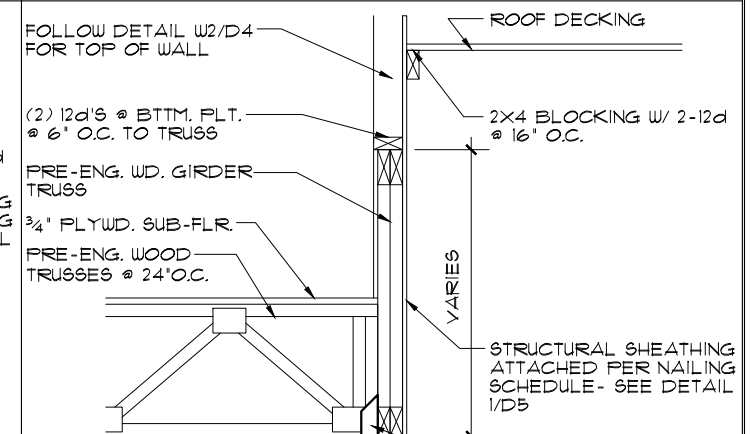
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2 DETAIL
1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



5 DETAIL
1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



3 DETAIL
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CODE 2020

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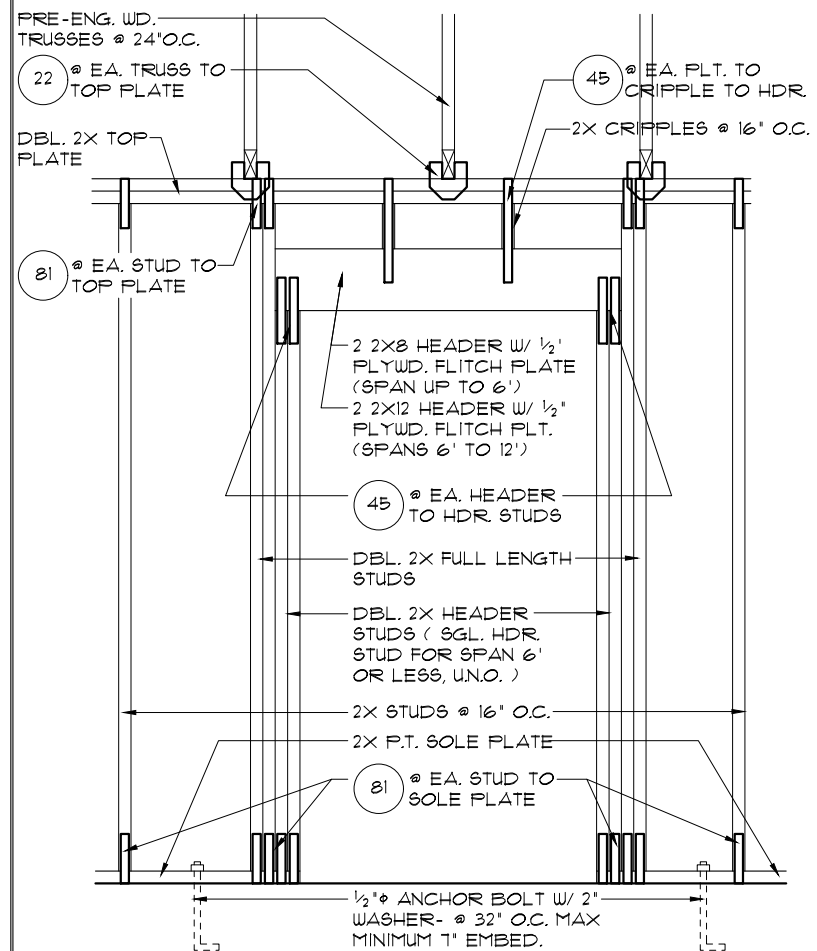
DREAM FINDERS
 THE MAKERS OF A QUALITY HOME

STRUCTURAL DETAILS

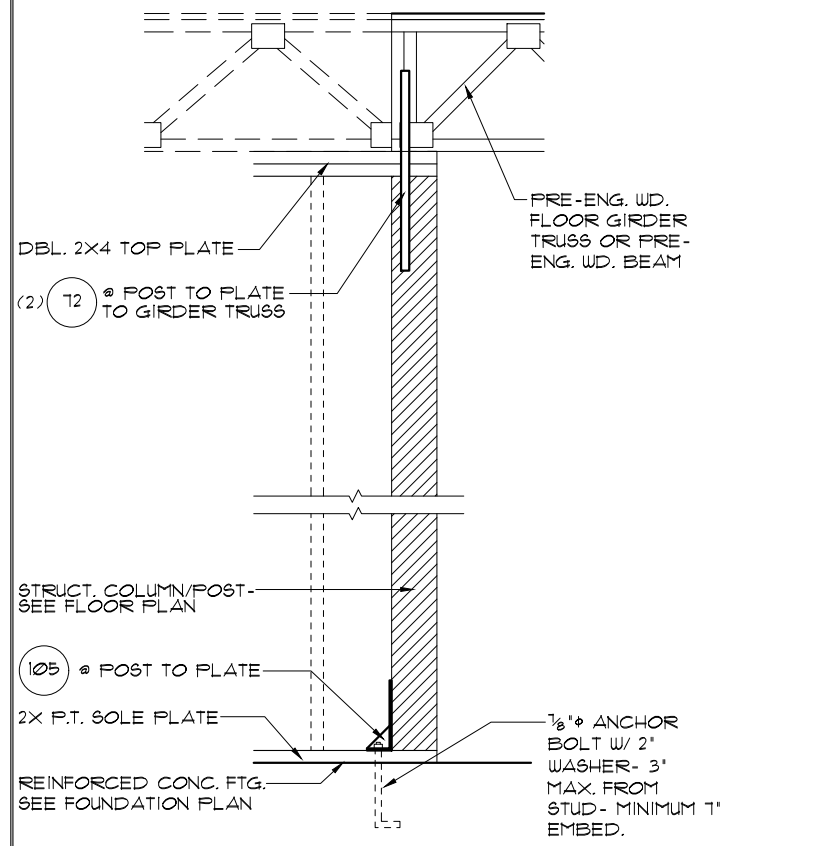
2945 AVALON W/ BONUS
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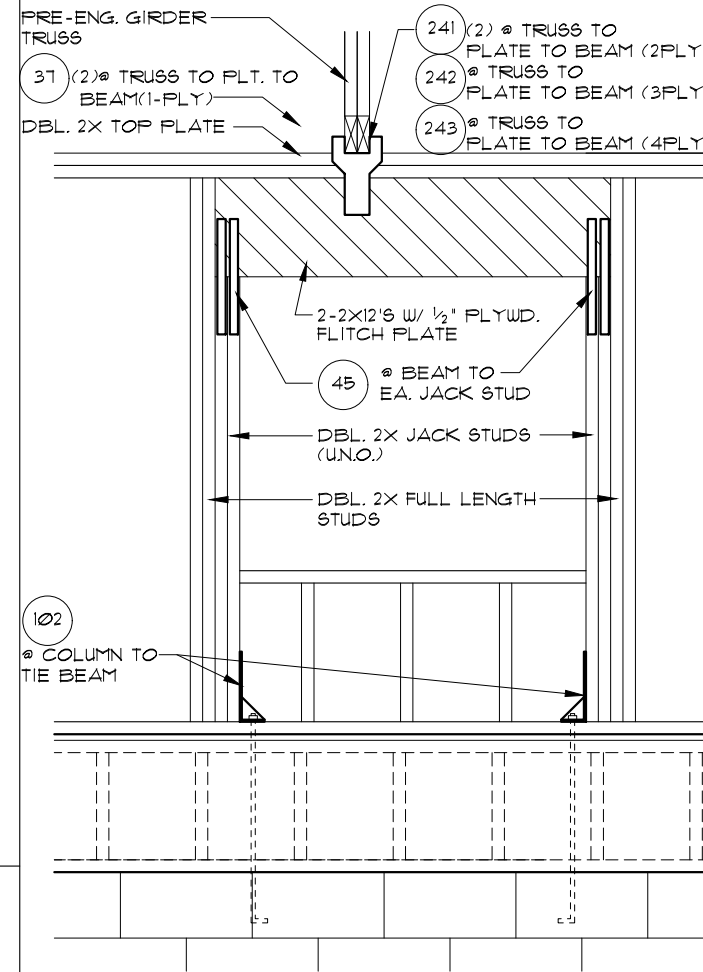
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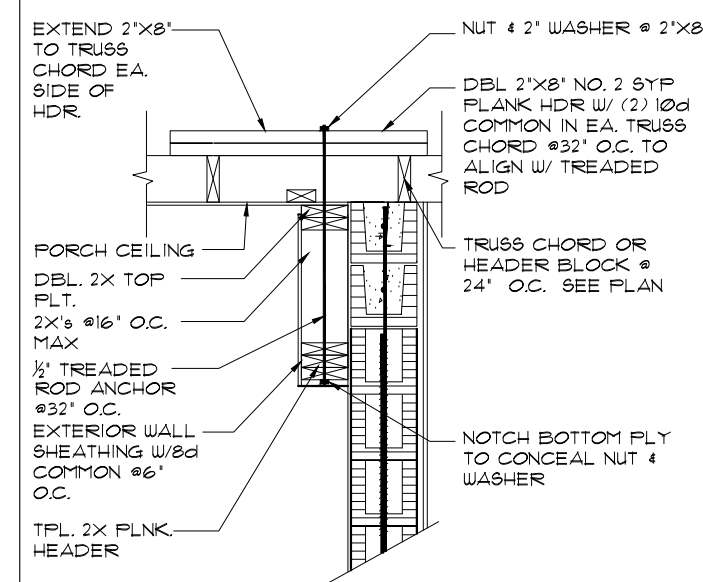
6 DETAIL (BRG. W/ UPLIFT)
 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



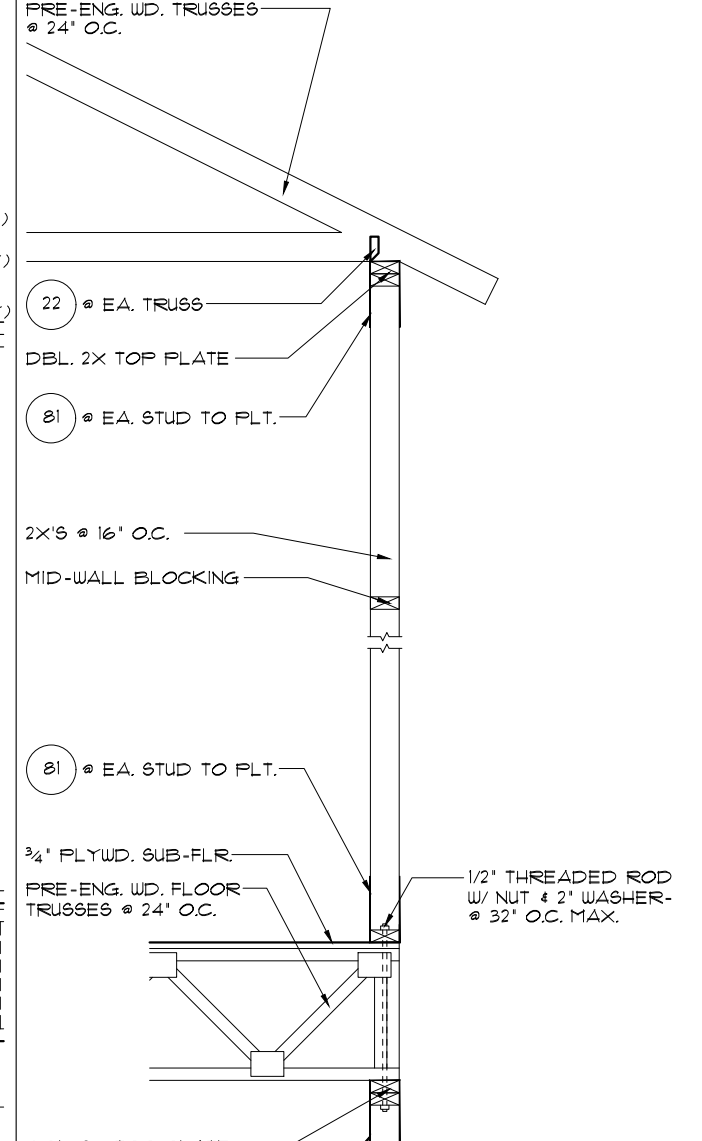
5 DETAIL
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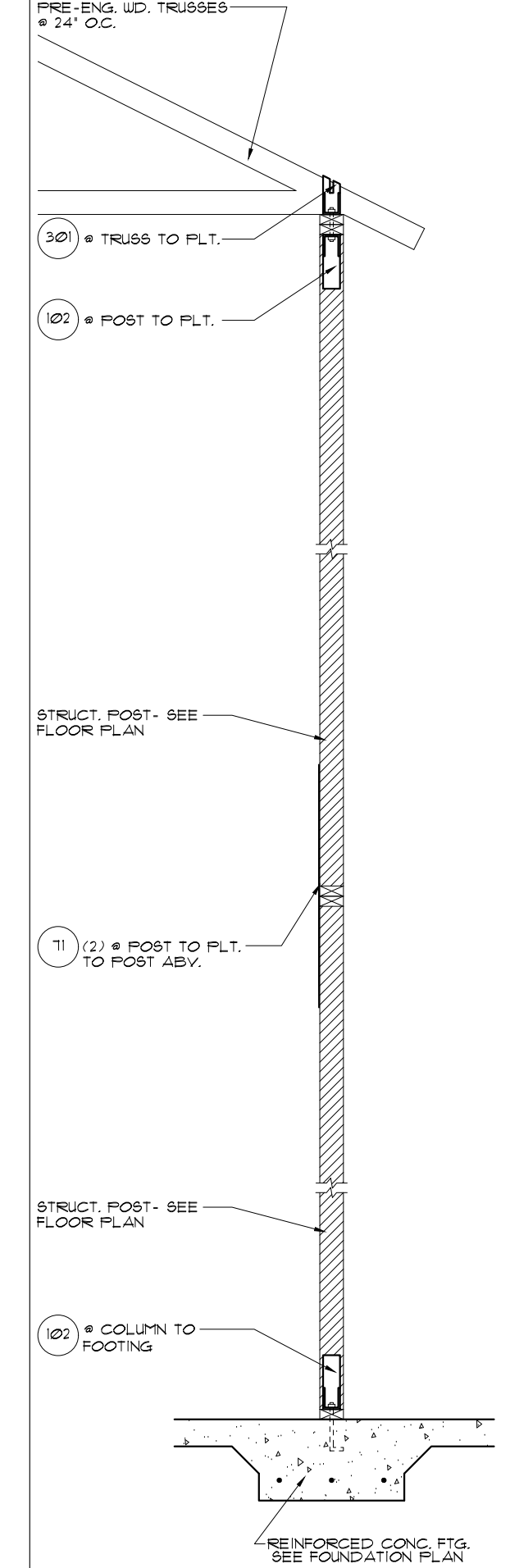
4 DETAIL
 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



3 BOX HDR DETAIL
 3/4"=1'-0" (11X17) 1/2"=1'-0" (22X34)



2 DETAIL
 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



1 DETAIL
 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)

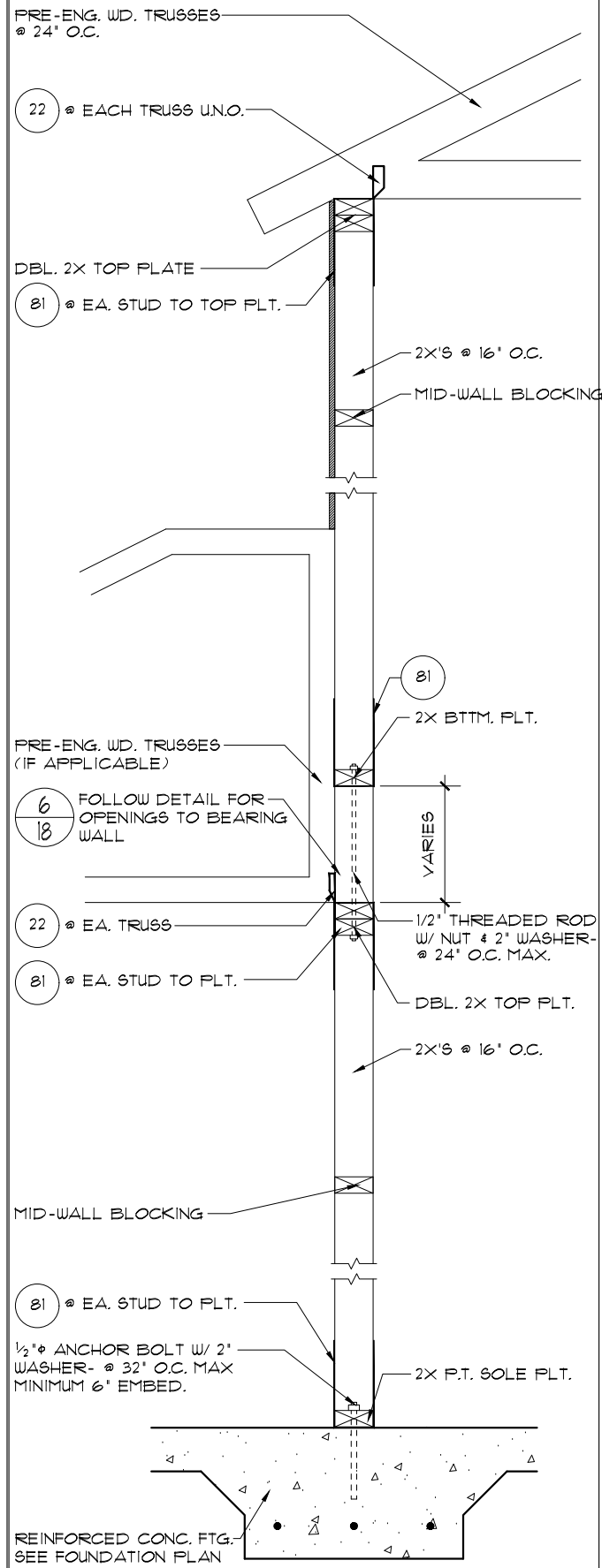
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LOT: 0095, TALICHET PH.2
 2945 AVALON W/ BONUS
 DREAM FINDERS HOMES
 DATE 07-26-16
 SCALE AS NOTED
 DRAWN JR & RDC
 JOB 2945
 OF 26 SHEETS

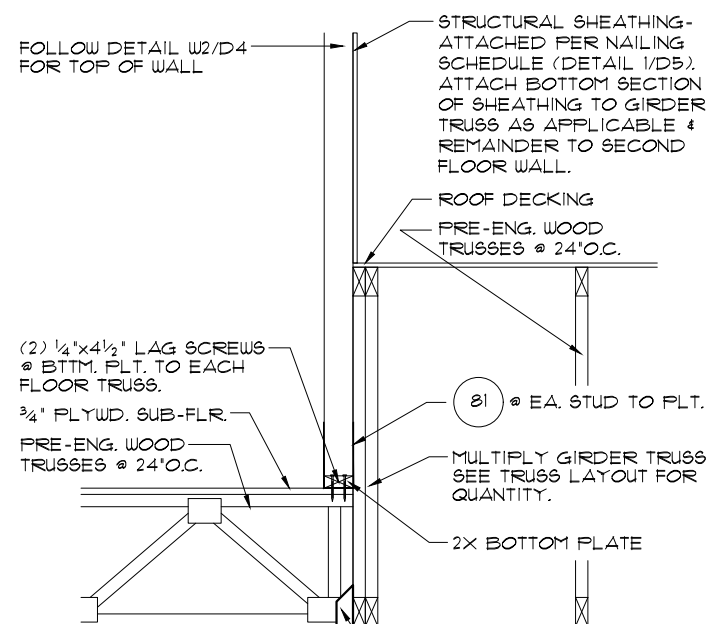
CODE 2020
 REVISIONS 06-24-23
 BY: LK
 Certified By:
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DREAM FINDERS
 THE MAKERS OF A REALITY HOME
 2945 AVALON W/ BONUS
 DREAM FINDERS HOMES
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Item 2.

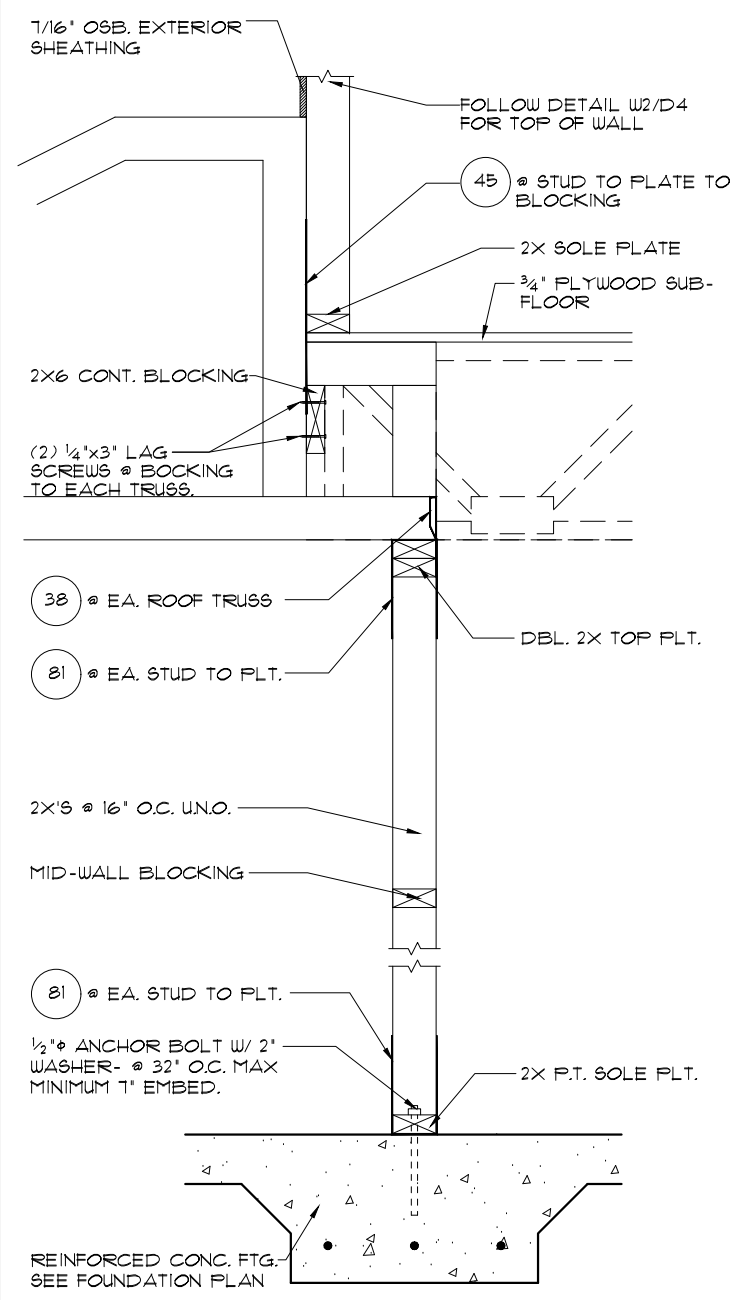
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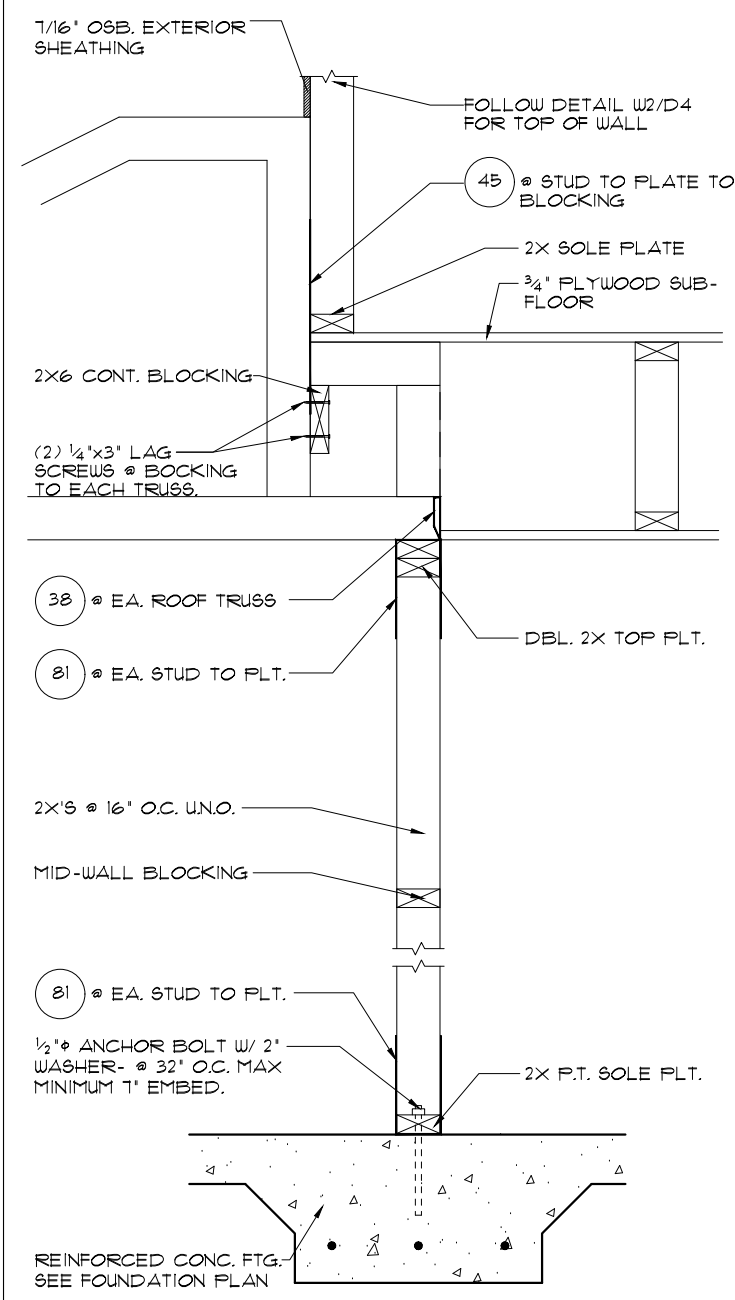
4
20
3/4"=1'-0" (11X17) 1/2"=1'-0" (22X34)



3
20
1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



2
20
3/4"=1'-0" (11X17) 1/2"=1'-0" (22X34)



1
20
3/4"=1'-0" (11X17) 1/2"=1'-0" (22X34)

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA RESIDENTIAL CODE 2020 1TH EDITION. THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY RICHARD J. WIND, P.E. ON THE DATE SHOWN ON THE TIME STAMP USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPY.

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CODE 2020 REVISIONS 06-24-23 BY: LK

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STRUCTURAL DETAILS

2945 AVALON W/ BONUS
DREAM FINDERS HOMES

DATE 07-26-16
SCALE AS NOTED
DRAWN JR & RDC
JOB 2945
38
OF 26 SHEETS

Item 2.

STRUCTURAL NOTES

- THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 17TH EDITION, FBGR 2020 (WIND LOAD @ 140 MPH.)
- WINDOWS, DOORS, AND GARAGE DOORS TO BE DESIGNED TO MEET FBGR SECTION R301
- ALL FLOOR SLABS TO BE OF 2500 PSI CONC. PLANT MIX MIN. 3/2" THICK WITH 6x6 10/10 WIRE MESH 6 MIL. POLY. VAPOR-BARRIER OVER TERMITE TREATED COMPACTED CLEAN FILL.
- CONCRETE MASONRY UNITS SHALL MEET: CH. 1-3 OF ACI 530/ASCE 5/TMS 402 OR BIA BUILDING CODE REQUIREMENTS.
- MORTAR TO BE TYPE 'M' OR 'S', GROUT - 2500 PSI @ 28 DAYS.
- MASONRY CLEAN OUTS REQUIRED @ GROUT GREATER THAN FIVE (5) FEET IN HEIGHT AND ALL VERTICALS.
- REBAR TO BE #5'S GRADE 60, W/ MIN. LAP OF 25". USE 'L' BARS @ CORNERS AND USE STANDARD HOOKS @ CHANGE IN DIRECTION WITH MIN. LAP 12"
- GYP. BD. CEILING SHALL BE INSTALLED PERP. TO FRAMING & NAILED @ 1" O.C. WITH 5d NAILS. GYP. BD. WALLS SHALL BE NAILED @ 8" O.C. WITH 5d NAILS
- UPLIFT CONNECTORS TO PROVIDE CONTINUITY FROM ROOF TRUSSES THRU PLATES TO SLAB AND FOUNDATION PER ENCLOSED DETAILS.
- EPOXY ANCHOR ALTERNATIVE:
THREADED ANCHOR ROD MAY BE USED IN LIEU OF ANCHOR BOLTS FOR USE AS PLATE ANCHORS OR HURRICANE ANCHORS. THE FOLLOWING CRITERIA MUST BE MET:

ANCHOR SIZE	CONC. HOLE SIZE	MIN. HOLE DEPTH
1/2"	3/4"	1'
5/8"	7/8"	1'
3/4"	1"	8"
7/8"	1 1/8"	9"

AFTER HOLE IS DRILLED, ALL CONCRETE DUST MUST BE REMOVED PRIOR TO EPOXY INSTALLATION. THREADED ROD TO BE MIN. A36 STEEL AND FREE OF DIRT OR GREASE. LOAD ON ROD CANNOT BE APPLIED UNTIL 12 HOURS AFTER INSTALLATION. 2 COMPONENT EPOXY RESIN MATERIAL TO BE MIXED PER MFG. DIRECTIONS.
- SOIL BEARING CAPACITY 2000 PSF MINIMUM

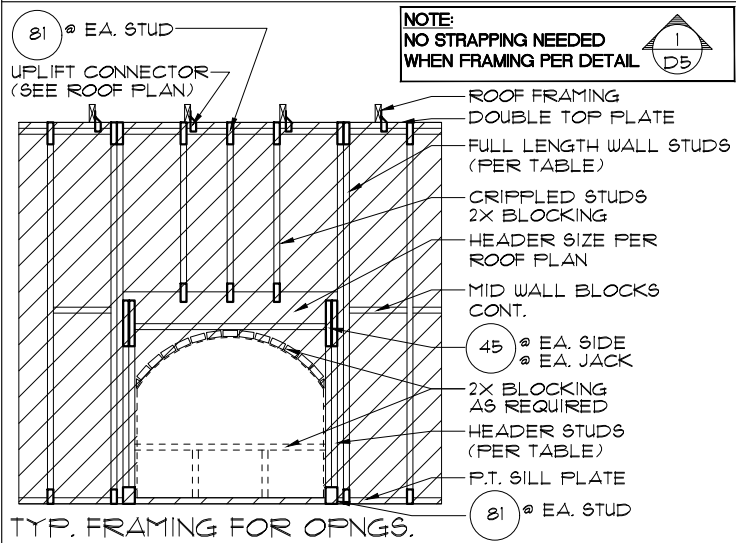
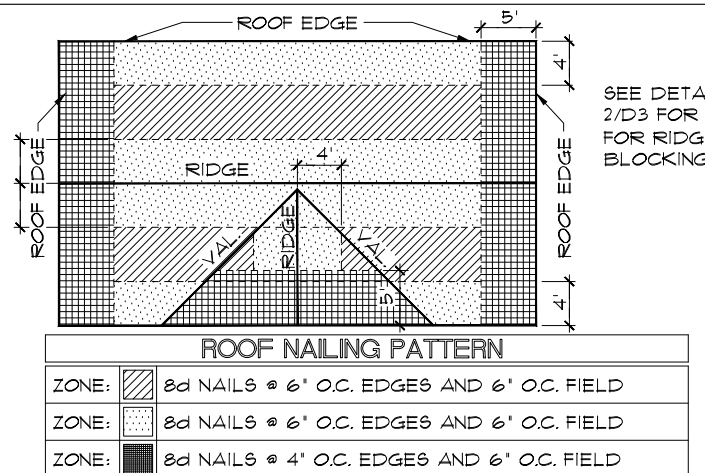
WOOD STRUCTURAL NOTES

- ALL WOOD TO BE SPECIES, GROUP, AND GRADE AS NOTED BELOW. DAMAGED WOOD NOT TO BE USED.
- ALL STRUCTURAL LUMBER SHALL BE SPF (SPRUCE-PINE-FIR) #2 OR BETTER UNLESS OTHERWISE NOTED. (PRE ENG. TRUSSES EXCLUDED)
- END JOINT IN STRUCTURAL DOUBLE TOP PLATE TO BE OFFSET AT LEAST 4'. STRUCTURAL DOUBLE PLATES TO BE NAILED @ 6" O.C.
- PLYWOOD OR OSB. WALL SHEATHING NAIL PATTERN TO BE 10d @ 6" O.C. UNLESS OTHERWISE NOTED.
- NUMBER OF HEADER STUDS AND ADJACENT FULL LENGTH STUDS PER WALL AND HEADER STUD REQUIREMENT SCHEDULE.
- MAX. 1" HOLE DRILLED INTO EXTERIOR STRUCTURAL STUDS.
- DBL. STUDS @ EA. END OF SHEAR WALL. SPLICING IS PERMITTED IN DOUBLE TOP PLATE ABOVE STUDS.
- WHEN ANCHORING MULTIPLE WD. ITEMS TOGETHER, THE LENGTH OF HURRICANE STRAP MUST BE CENTERED.
- NAIL PATTERN -DOUBLE PLATE 12" O.C. OUTSIDE SPLICE ZONE (SEE NOTE 3)
-DOUBLE STUDS @ 12" O.C.
-DOUBLE OR TRIPLE HEADER @ 6" O.C. @ EDGE @ 12" O.C. INTERMEDIATE.
-HEADER TO STUD @ 4" O.C. EA. HEADER MEMBER.
-STUD TO TOP OR BOTTOM PLATE : (2) 16d THRU FLT. OR (2) 16d EA. SIDE TOE NAILED TO FLT.
- 'ZIP SYSTEMS' WALL SHEATHING MAY BE USED AS AN ALTERNATIVE FOR WALL SHEATHING AND VAPOR BARRIER, ON EXTERIOR WALLS.
- ROOF SHEATHING FOR SHINGLE ROOF TO BE MIN. 1/16" OSB, NAILED TO ROOF TRUSSES SPACED @ 24" O.C. (MAX) WITHOUT BLOCKING.
-ROOF SHEATHING FOR TILE ROOF TO BE MIN. 1/2" CDX PLYWOOD . NAILED TO ROOF TO ROOF TRUSS SPACED @ 24" O.C. (MAX) WITHOUT BLOCKING.
- FLOOR SHEATHING TO BE MIN. 23/32" PLYWOOD NAILED @ 6" O.C. W/ #8 RING SHANK NAILS AND LIQUID NAIL ADHESIVE.
- ALL FLOOR TRUSSES TO BE END BLOCKED @ BEARING LOCATIONS
- TRUSS BRACING PER TRUSS MANUFACTURE'S DRAWINGS.
- ALL NAILING SPECIFIED TO BE APPLIED BY NAIL GUN OR MANUALLY
- ALL WOOD IN DIRECT CONTACT WITH MASONRY SHALL BE PRESSURE TREATED.
- 2000 PSF MINIMUM SOIL BEARING CAPACITY

- ALL EXTERIOR FRAME WALLS SHALL BE CONSTRUCTED WITH 2X4 STUDS @ 16" O.C. MIN. UNLESS SPECIFICALLY NOTED OTHERWISE ON PLAN.

FIELD REPAIR NOTES

- MISSED LINTEL STRAPS FOR MASONRY CONSTRUCTION MAY BE SUBSTITUTED W/ (1) USF MTW16 OR HC10 OR SIMPSON MTS16 W/ (4) 1/4" X 2 1/4" TAPCONS TO BOND BEAM AND (7) 10d NAILS TO TRUSS FOR UPLIFTS LESS THAN 800 LBS (USE (2) MTS16 FOR UPLIFTS LESS THAN 1720*). NO MORE THAN 10 STRAPS MAY BE SUBSTITUTED OR NO MORE THAN 3 IN A ROW. IF GIRDER TRUSS CONNECTIONS ARE MISSED CONTACT ENGINEER FOR SUBSTITUTION
- MISSED J-BOLTS FOR FRAMED EXTERIOR/ BEARING WALLS MAY BE SUBSTITUTED W/ 1/2" DIA. X 1" LONG WEDGE ANCHORS (REDHEADS).
- MISSED FOOTING DOWELS MAY BE SUBSTITUTED W/ A STRAIGHT #5 REBAR SET IN A 3/4" DIA. X 6" DEEP HOLE FILLED W/ UNITEX PROFOXY 300 OR SIMPSON SET OR ETF ADHESIVES.
- BLOCK WALL OVERHANGING SLAB CONDITION:
UP TO 1/8" - NO REPAIR NECESSARY
1/8" TO 1 1/4" - ADD FILLED CELL (NO VERTICAL STEEL) MIDPOINT OF WALL BETWEEN EXISTING FILLED CELLS (WITH STEEL) IN AREAS AFFECTED
1 1/4" + - REQUIRE SPECIAL ENGINEERING LETTER
- PENETRATION OF PLUMBING PIPES/DRYER VENTS THRU PLATES OF A LOAD BEARING WALL MAY OCCUR PROVIDED DBL. STUDS ARE ADDED ON EITHER SIDE OF PENETRATION WITHIN 3" AND TRUSS/ FLOOR TRUSS IS NO CLOSER THAN 3" FROM PENETRATION. ADD (1) MTS12 @ TOP AND BOTTOM PLATE
- EXTERIOR CMU COLUMN HEIGHT LOWER THAN REQ'D:
- FOR ALL CONDITIONS WHERE BLOCK COLUMN HEIGHT IS LESS THAN 6" LOWER THAN REQ'D., CONTRACTOR SHALL INSTALL 2X P.T. BLKG. AS REQ'D. TO FILL GAP, W/ 1/2" THRU-BOLT DRILLED & EPOXIED TO EXIST. BLOCK COLUMN, MIN. 6" EMBED. META STRAP TO BE REPLACED WITH M5AM24. IF HOLDDOWN SPECIFIED IS DIFFERENT THAN META, CONTACT E.O.R FOR SUB.
- FOR ALL CONDITIONS WHERE BLOCK COLUMN HEIGHT IS 6" OR GREATER THAN REQ'D., CONTRACTOR SHALL INSTALL GROUT FILLED CMU OR C.I.P. CONC. (2000PSI MIN.) W/ #5 VERT. @ 12" O.C. DRILLED & EPOXIED TO EXIST. BLOCK COLUMN, MIN. 6" EMBED.

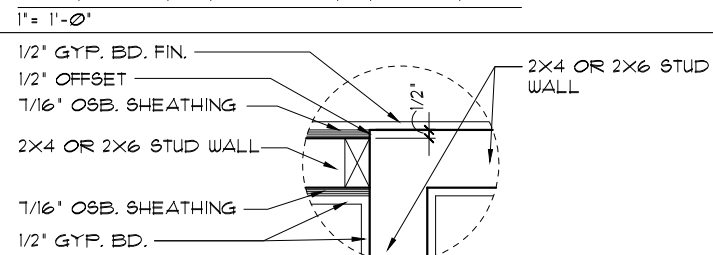


- DETAIL TO SATISFY 140 MPH WIND LOAD
- MASONRY FRAME SHALL BE MIN 8X16 ASTM C-90
- GROUT FILLED CELL W/ 1/2" ASTM 2 #5 REBAR (GRADE 60) @ EA. SIDE OF GARAGE DOOR OPENING
- MAX. DISTANCE TO CORNER OF C.B.S. WALL REINF. 48"
- REINF. TO BE CONT. FROM FTG. TO TIE BEAM W/ ALL 'ACI' DETAILS & DEVELOPMENT LENGTHS ADHERED TO
- GARAGE DOOR MANUF. TO PROVIDE ATTACHMENT TO 'BUCK'

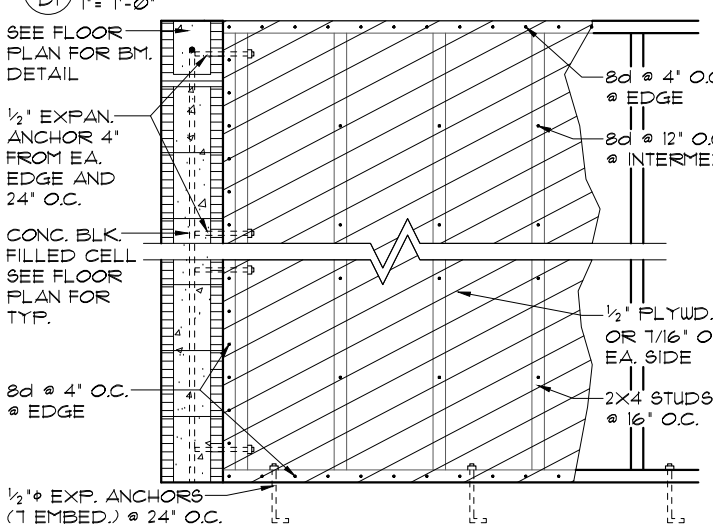
- THE GARAGE DOOR ASSEMBLY SHALL BE DESIGNED FOR POSITIVE AND NEGATIVE WIND PRESSURES OF 25 PSF IN ACCORDANCE WITH SECTION R301 OF THE FLORIDA RESIDENTIAL CODE CERTIFICATION SHALL BE SUBMITTED FROM THE GARAGE DOOR MANUFACTURER TO THE BUILDING DEPARTMENT FOR THE FOLLOWING ITEMS:
 - THE DESIGN OF THE DOOR CAN WITHSTAND POSITIVE AND NEGATIVE WIND PRESSURES OF 25 PSF.
 - THE DESIGN OF THE DOOR COMPLIES WITH THE CRITERIA SPECIFIED IN SECTION R613 OF THE 2020 FLORIDA BUILDING CODE RESIDENTIAL, 17TH EDITION
 - DOOR SIZE, TYPE AND GLAZING
 - TRACK SIZE AND FASTENER DETAILS.
 - TRACK BRACKET QUANTITY, SPACING AND FASTENER DETAILS.
 - REINFORCING MEMBER QUANTITY, LOCATION, SIZE, TYPE AND FASTENER DETAILS. (IF REQUIRED)

- THE DESIGN OF THE DOOR CAN WITHSTAND POSITIVE AND NEGATIVE WIND PRESSURES OF 25 PSF.
- THE DESIGN OF THE DOOR COMPLIES WITH THE CRITERIA SPECIFIED IN SECTION R613 OF THE 2020 FLORIDA BUILDING CODE RESIDENTIAL, 17TH EDITION
- DOOR SIZE, TYPE AND GLAZING
- TRACK SIZE AND FASTENER DETAILS.
- TRACK BRACKET QUANTITY, SPACING AND FASTENER DETAILS.
- REINFORCING MEMBER QUANTITY, LOCATION, SIZE, TYPE AND FASTENER DETAILS. (IF REQUIRED)

GARAGE BUCK DETAIL



DETAIL @ CONN. TO REG. WALL

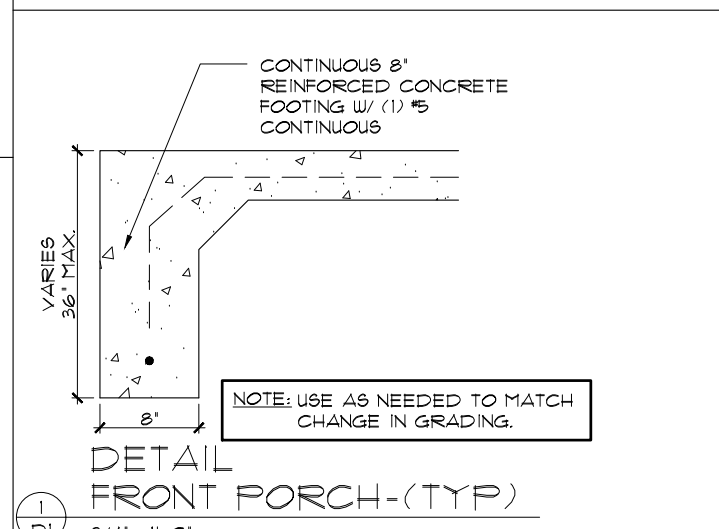
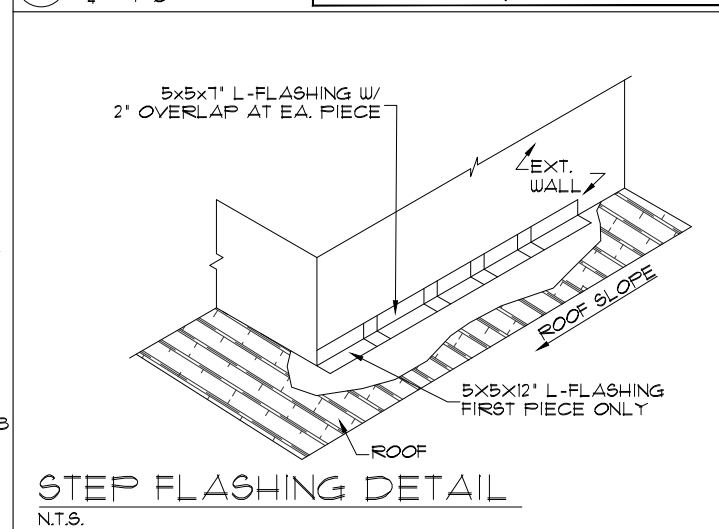
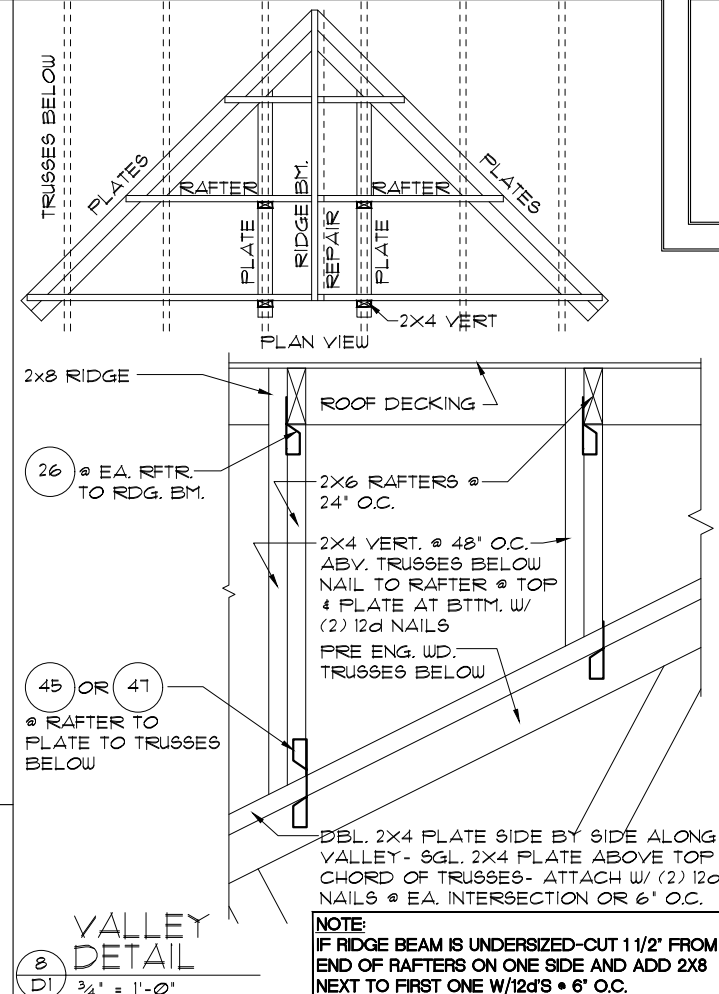


SHEAR WALL DETAIL

USE ONLY WHEN NOTED AS SHEAR WALL ON PLANS

MIN. WALL AND HEADER REQUIREMENTS

UNSUPPORTED WALL HEIGHT	STUD SPACING	MAXIMUM HEADER SPAN (ft.)					
		3'	6'	9'	12'	15'	18'
10' OR LESS	1	1	2	2	2	2	
	2	2	3	3	3	3	
GREATER THAN 10'	1	2	3	4	5	5	
	2	2	3	4	5	5	



Item 2.

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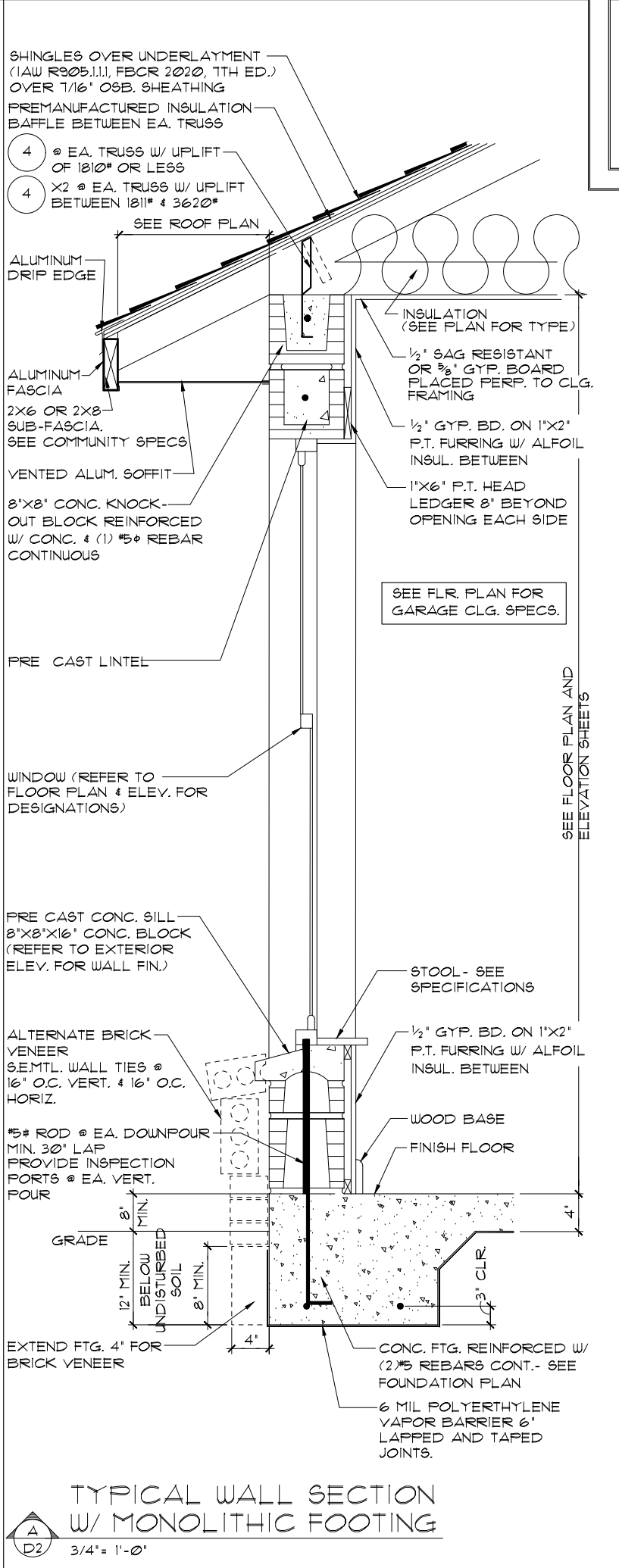
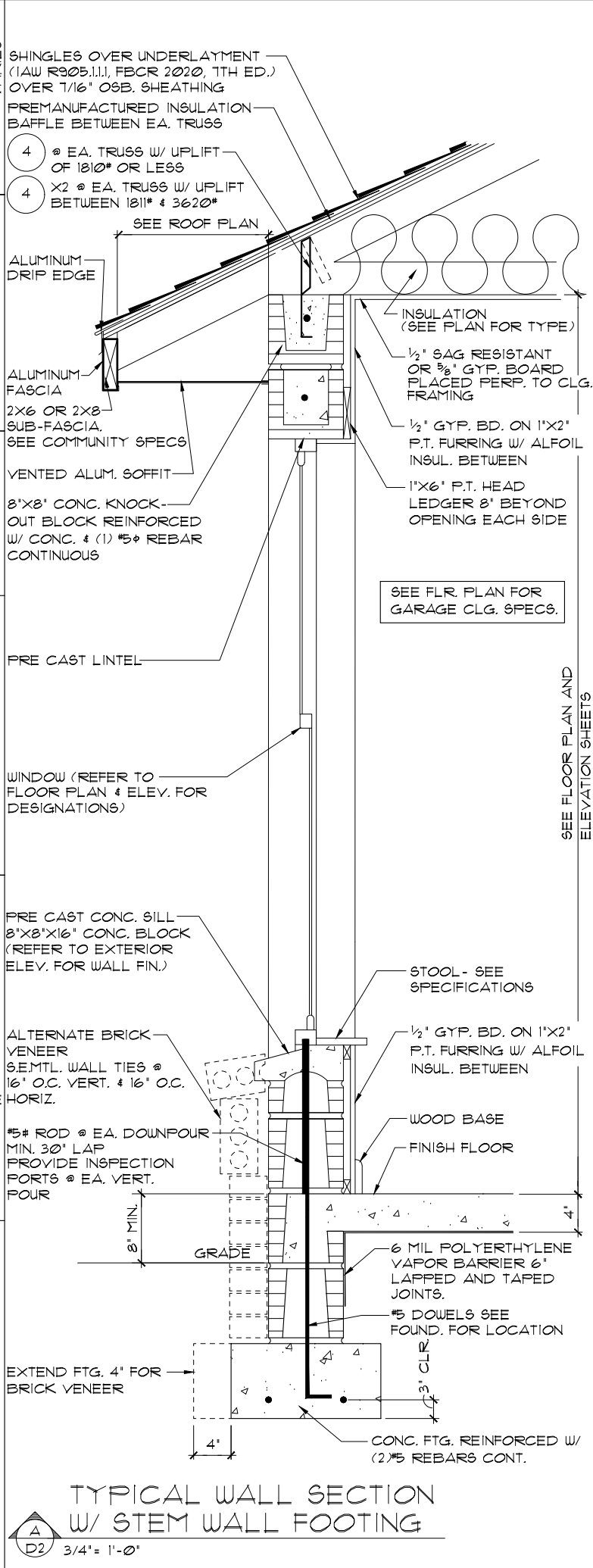
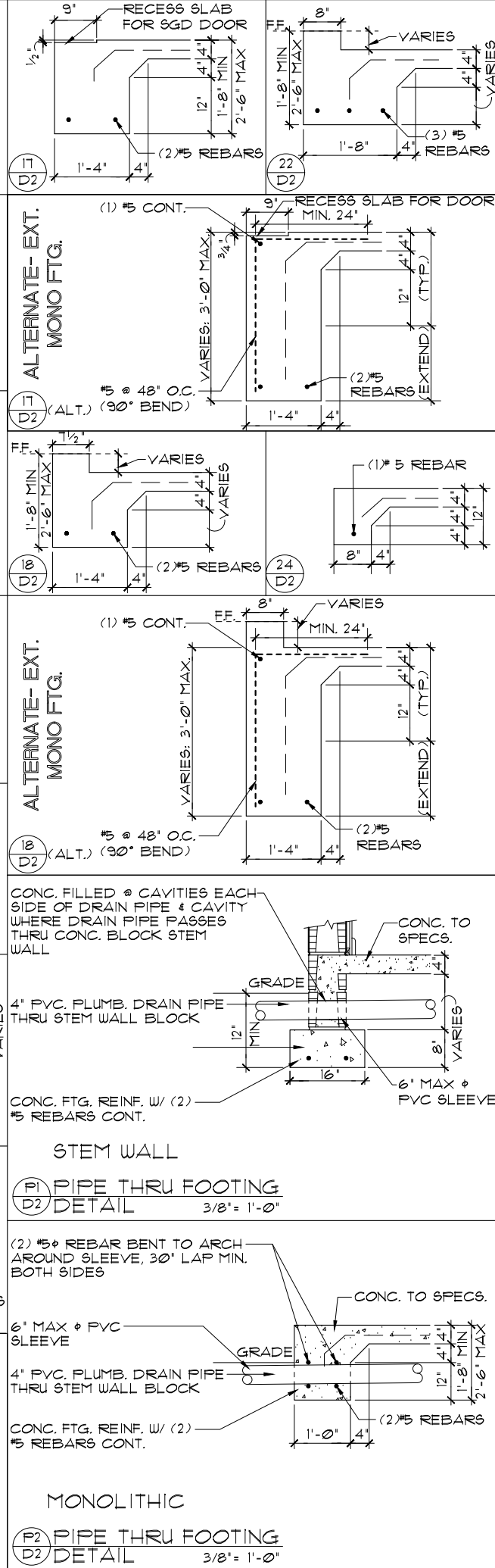
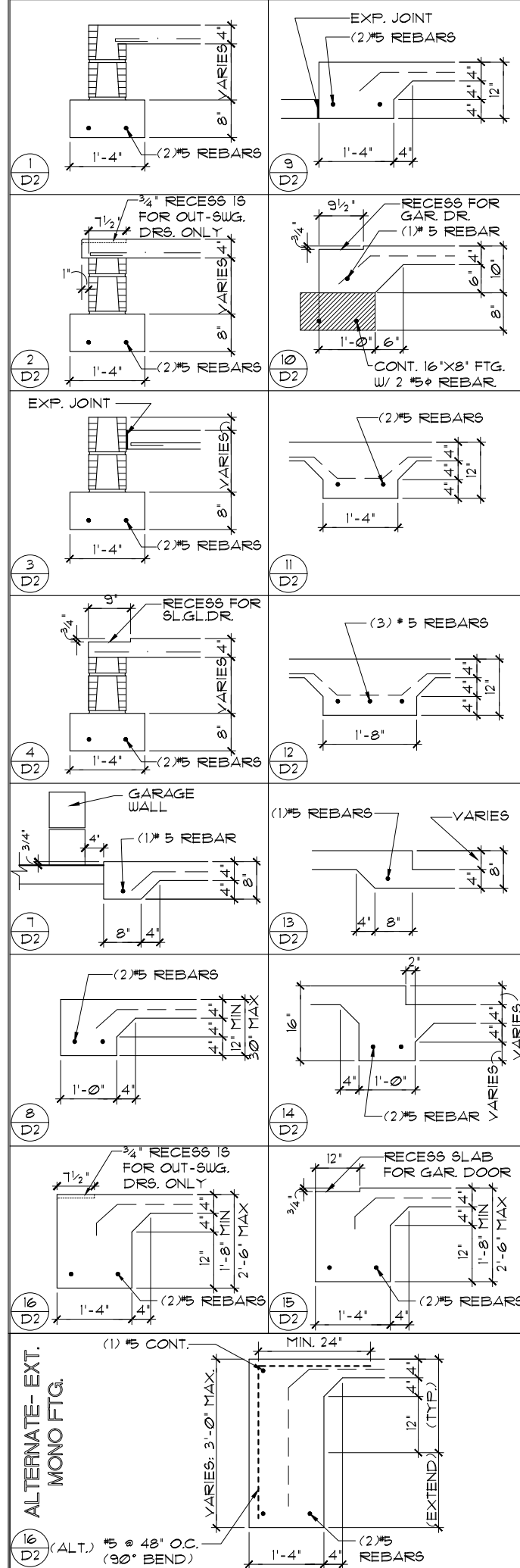
DREAM FINDERS
 THE MAKE OF A QUALITY HOME

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TYPICAL STRUCTURAL DETAILS

STANDARD DETAILS
 SHINGLE-STD. GRADE-PLUMB-CMU

DATE 04-18-17
 SCALE AS NOTED
 DRAWN JR & RDC
 JOB 39
 OF SHEETS



TYPICAL WALL SECTION W/ STEM WALL FOOTING
3/8" = 1'-0"

TYPICAL WALL SECTION W/ MONOLITHIC FOOTING
3/8" = 1'-0"

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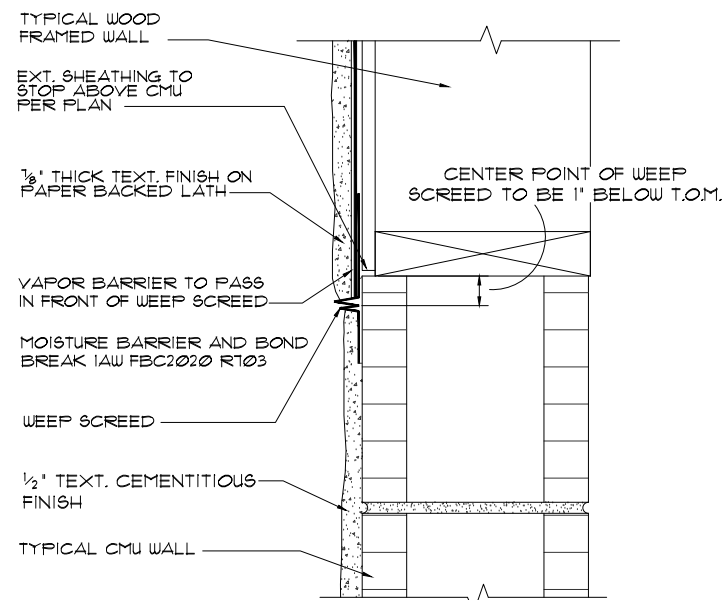
DREAM FINDERS THE MAKERS OF A QUALITY MARK

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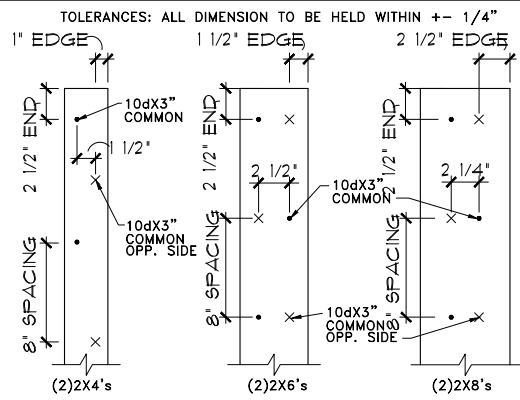
STANDARD DETAILS SHINGLE-STD. GRADE-PLUMB-CMU

TYPICAL STRUCTURAL DETAILS

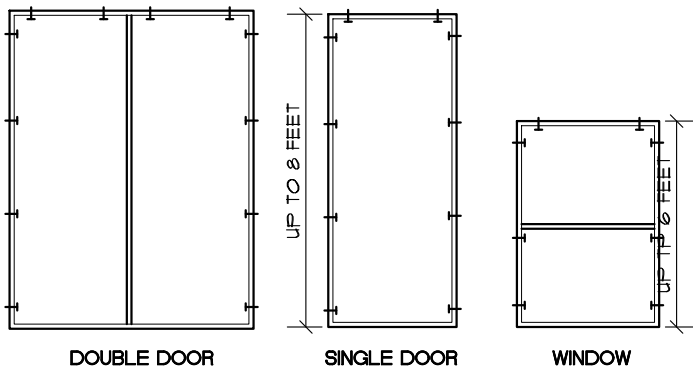
DATE 04-18-17
SCALE AS NOTED
DRAWN JR & RDC
JOB 40
SHEETS



A FLASHING DETAIL
D3 N.T.S. W/ EXT. STUCCO FINISH



B 2X BUILT-UP STUD COLUMN DETAILS
1 1/2" = 1'-0"



FOR MULTIPLE WINDOWS AND DOORS USE 2 TAPCONS PER WINDOW AT THE HEAD AND 4 TAPCONS AT THE JAMB.

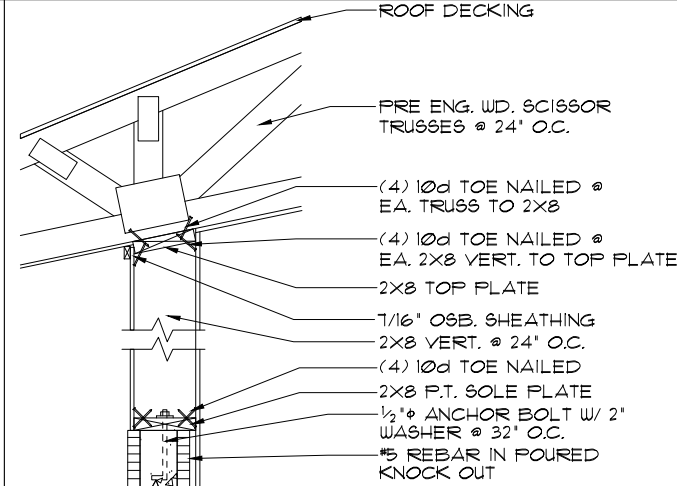
BUCK ATTACHMENT DATA

BUCKS SHALL BE 1x4 OR 2x8 PT AT WINDOWS OR 2x8 PT AT DOORS IN FINE OR SPRUCE. AT WINDOWS ATTACH BUCKS TO BLOCK WITH COMMON T-NAILS AND PLACEMENT SIMILAR TO TAPCONS SHOWN. AT DOORS OR FIN WINDOWS IN BLOCK, ATTACH BUCKS W/ 2 T-NAILS TOP AND BOTTOM AND 8" O.C. STAGGERED IN THE FIELD.

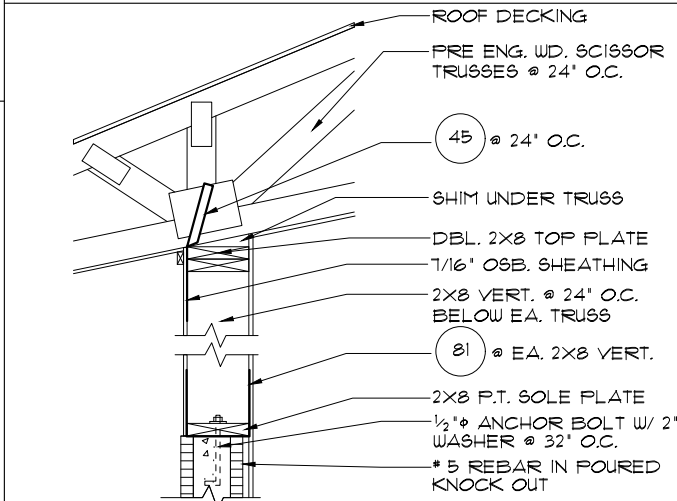
USE MIN. 2 1/4" T-NAILS W/ 1x BUCK. USE MIN. 1/4" x 3" TAPCONS W/ 2x BUCK. START ALL END TAPCONS WITHIN 6" OF CORNERS AND 30" ON CENTER MAXIMUM.

NOTE

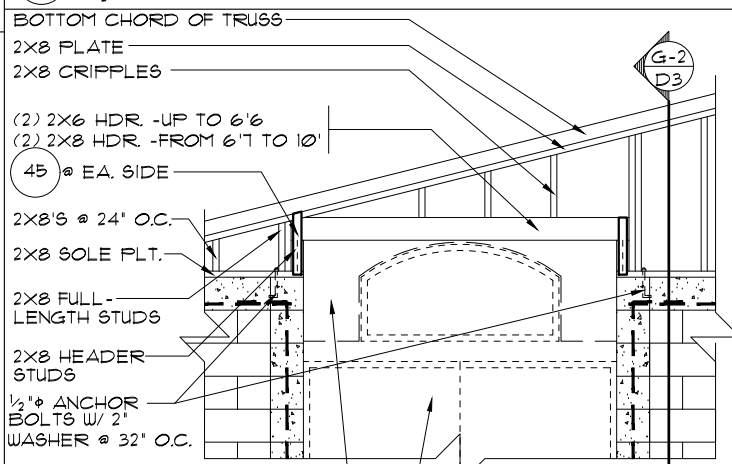
IN CASES OF BLOCK OPENINGS LARGER THAN DOOR FRAMING: ATTACH ADDITIONAL 2X FRAMING TO THE BLOCK WALL USING 1/4" x 4" TAPCONS AT 3' FROM END AND 12" O.C. IN THE CENTER. ATTACH TOP FRAMING TO HEADER USING 1/4" x 1 3/4" TAPCONS W/ (1) 6" FROM END TO END AND 12" O.C. IN THE CENTER.



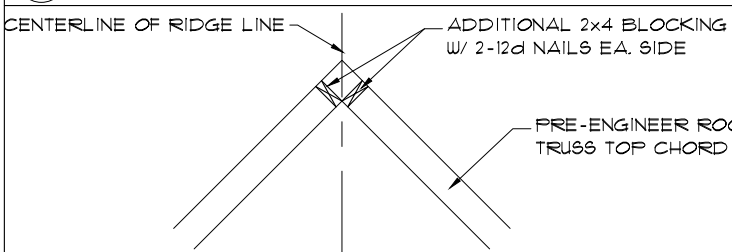
G-6 NON-BEARING
D3 1 1/2" = 1'-0"



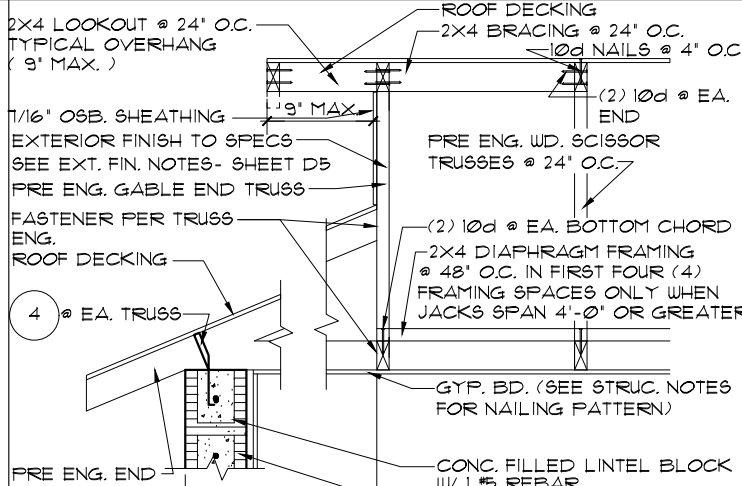
G-1 BEARING
D3 1 1/2" = 1'-0"



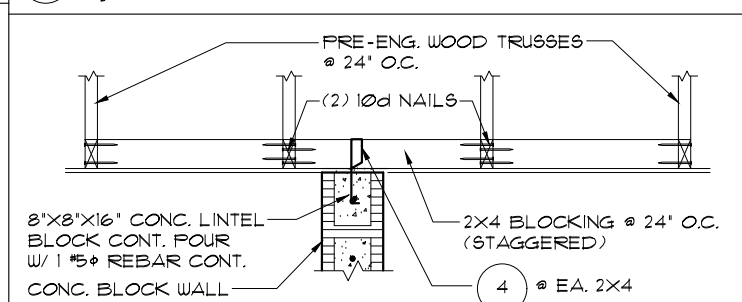
B GABLE END
D3 1 1/2" = 1'-0"



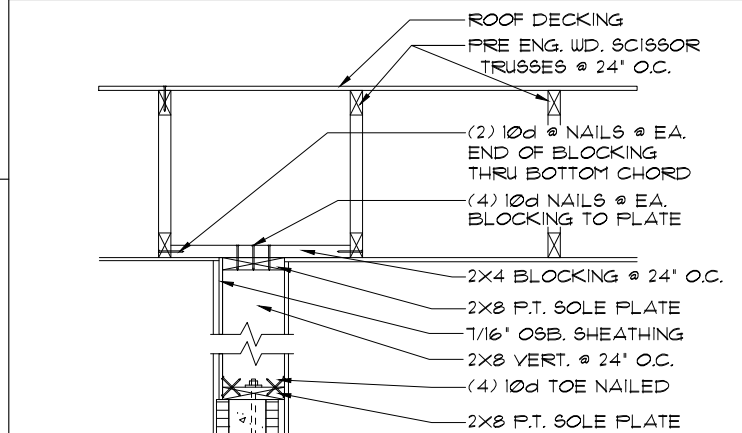
2 RIDGE DETAIL
D3 N.T.S.



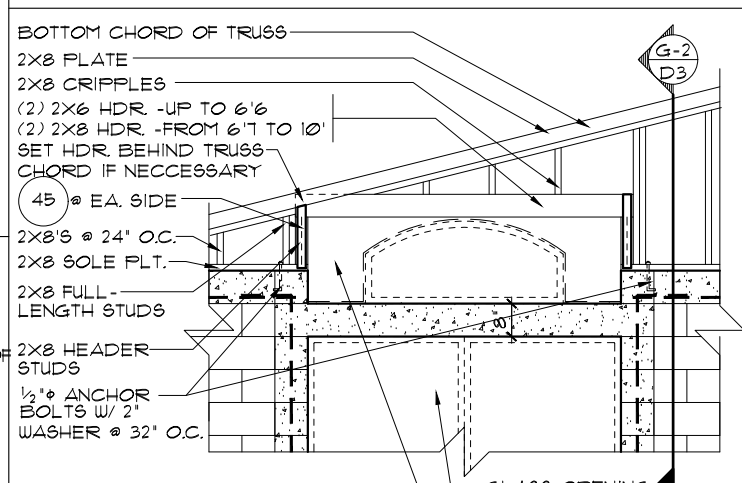
G-3 GABLE END
D3 1 1/2" = 1'-0"



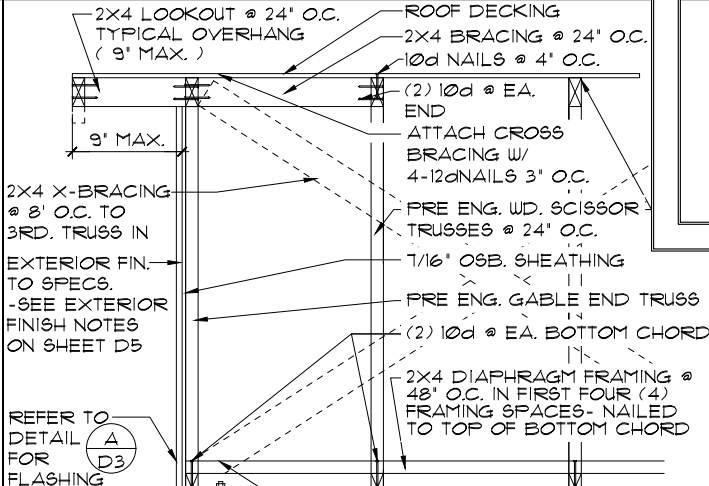
G-4 DETAIL
D3 1 1/2" = 1'-0"



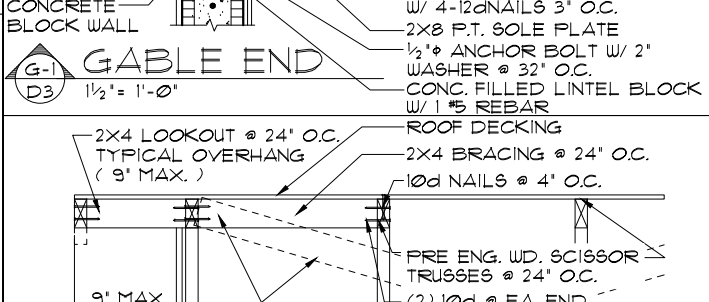
G-5 GABLE END
D3 1 1/2" = 1'-0"



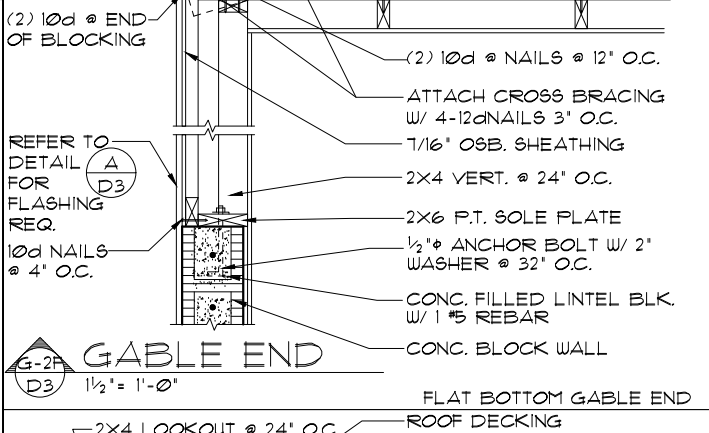
CB DETAIL
D3 1 1/2" = 1'-0"



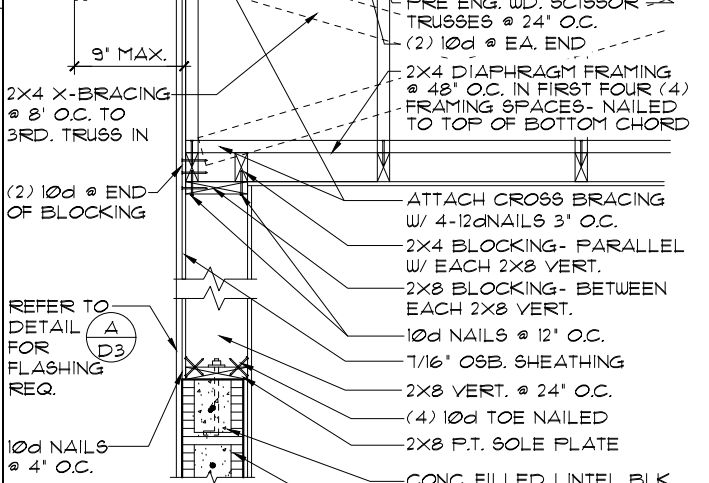
G-1 GABLE END
D3 1 1/2" = 1'-0"



G-2 GABLE END
D3 1 1/2" = 1'-0"



G-2 GABLE END
D3 1 1/2" = 1'-0"



G-2 GABLE END
D3 1 1/2" = 1'-0"

Item 2.

Certified By: RICHARD WIND, RA. 4301 VINELAND RD. E-1 ORLANDO, FL 32811 PHONE: 407-960-1111 RWIN@RDCFLA.COM

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DREAM FINDERS

TYPICAL STRUCTURAL DETAILS

STANDARD DETAILS

SINGLE-STD. GRADE-PLUMB-CMU

DATE 04-18-11

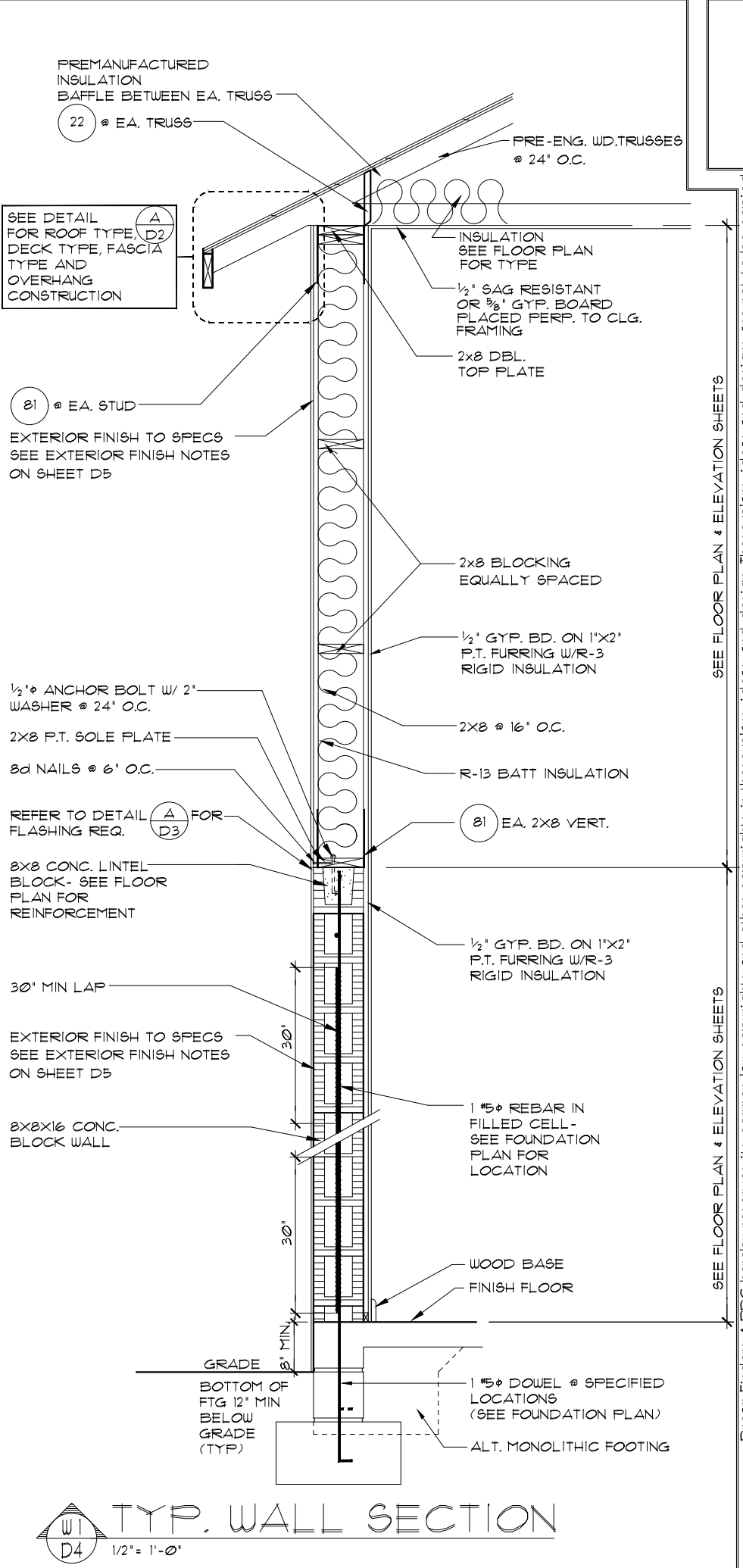
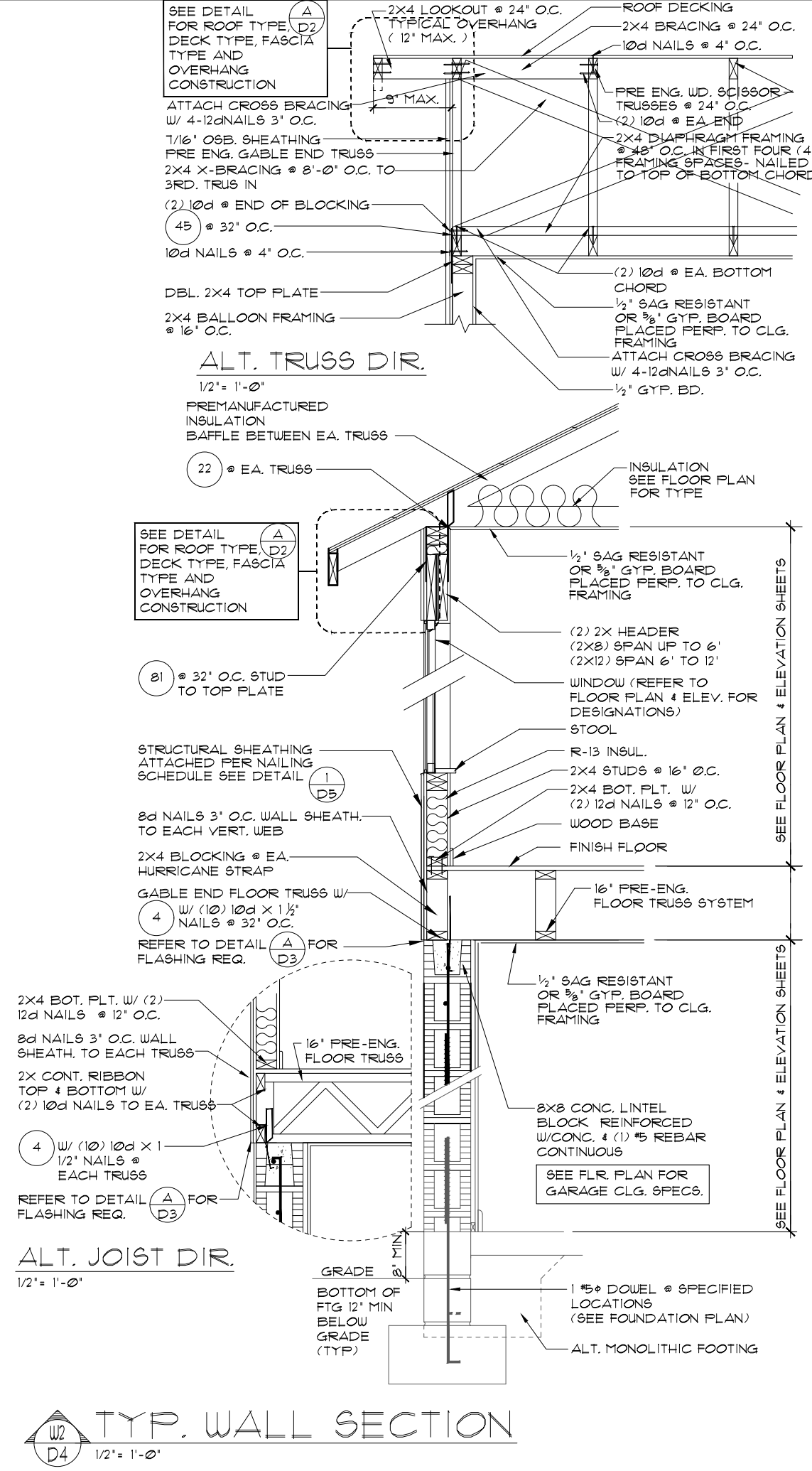
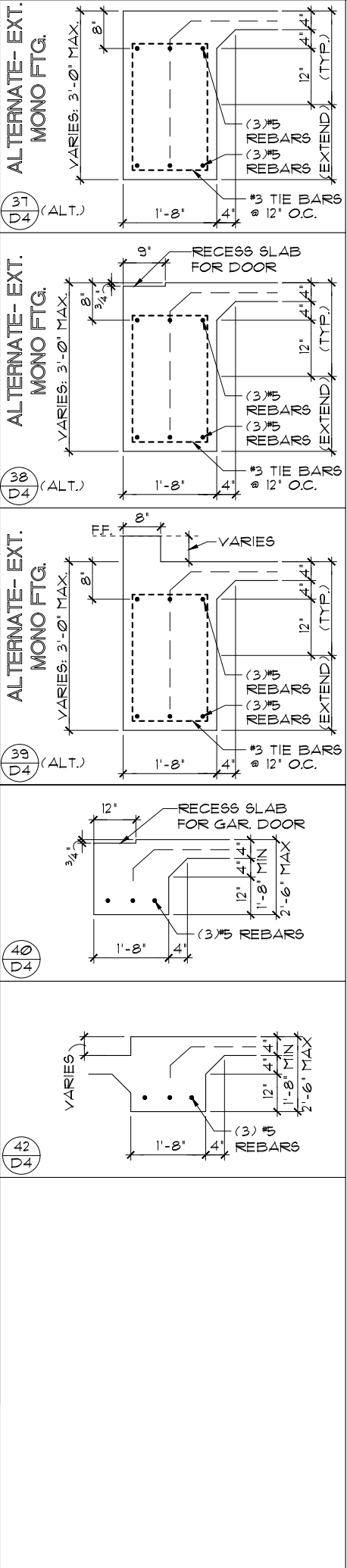
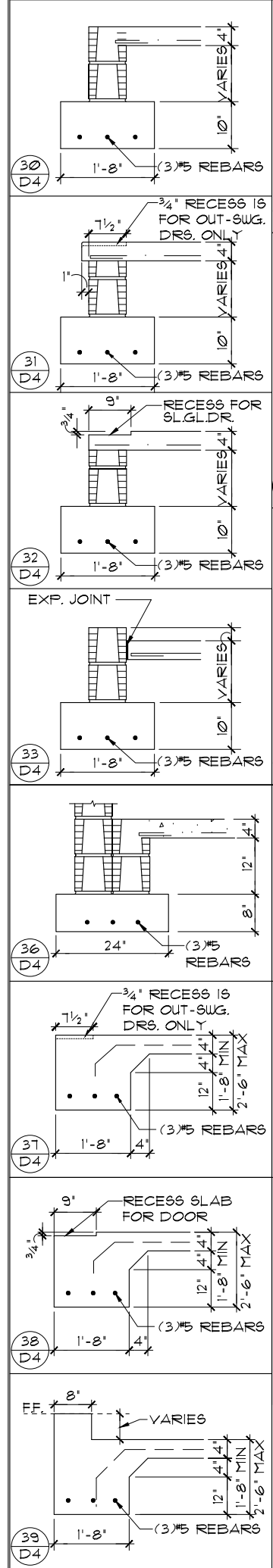
SCALE AS NOTED

DRAWN JR & RDC

JOB 41

OF SHEETS

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DREAM FINDERS
THE MAKERS OF A QUALITY SEAL

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TYPICAL STRUCTURAL DETAILS
(2 STORY)

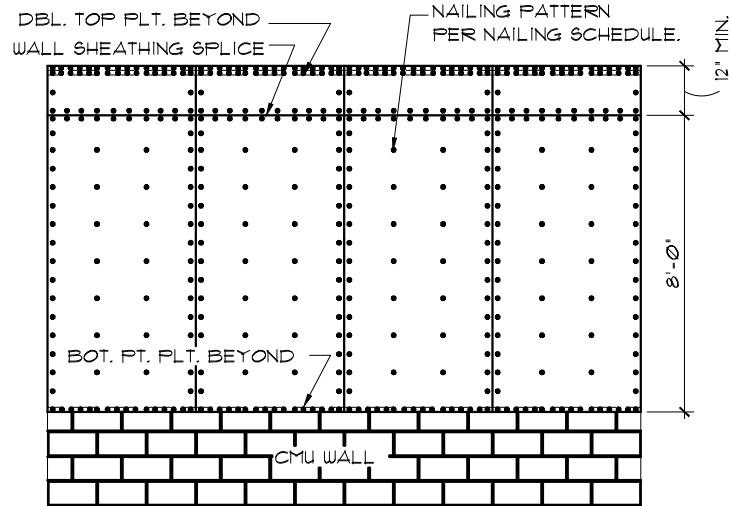
STANDARD DETAILS
SHINGLE-STD. GRADE-PLUMB-CMU

DATE 04-18-11
SCALE AS NOTED
DRAWN JR & RDC
JOB 42
OF 4 SHEETS

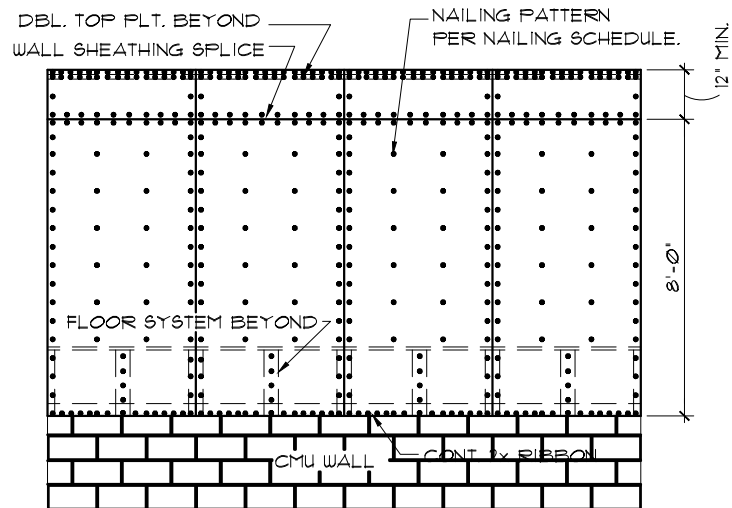
NOTE:
 1/2" PLYWOOD OR 1/16" O.S.B. TO BE USED AS UPLIFT RESISTANCE NO OTHER FASTENERS REQ'D. EXCEPT AS NOTED ON PLANS IN TWO STORY FRAME APPLICATIONS. SHEATHING SHALL EXTEND MIN. 1'-0" W/O BREAK ABV. 2nd FLOOR BOTTOM FLT. TO T.O.M.

NAILING SCHEDULE:

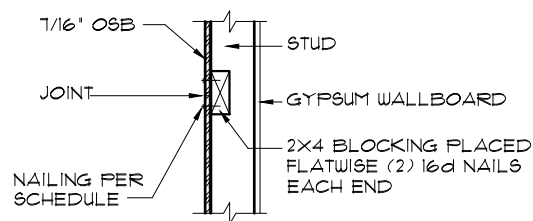
(2) ROWS @ 3' O.C. AT TOP AND (1) ROW AT BOTTOM OF WALL, 6" O.C. ALL OTHER EDGES AND 12" IN FIELD. BLOCKING SHALL BE PLACED AT ALL SHEATHING JOINTS.



A SHEATHING ELEV. BALLOON FRAMING N.T.S.

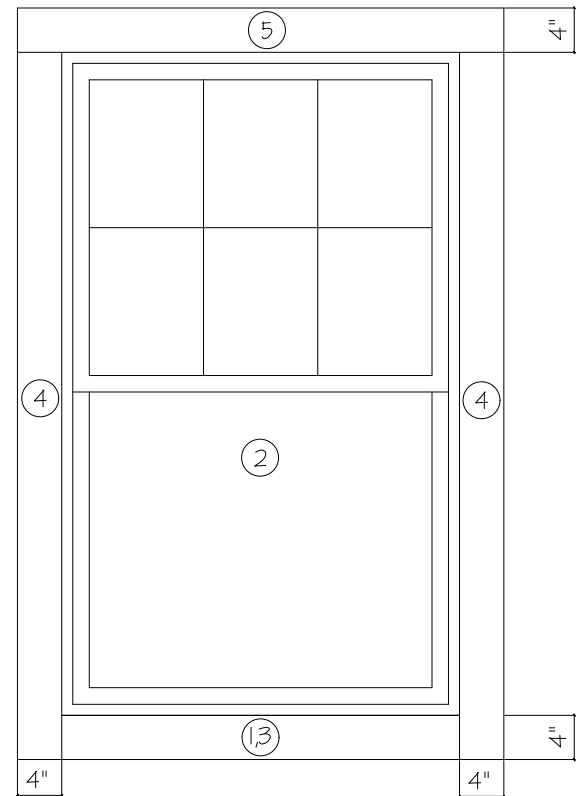


B SHEATHING ELEV. 2-STORY FRAMING N.T.S.



C SHEATHING BLOCKING @ HORIZONTAL JOINTS N.T.S.

1 SHEATHING UPLIFT DETAILS N.T.S.



INSTALLATION NOTES:

- THROUGHOUT INSTALLATION, KEEP THE WINDOW JAMBS PLUMB AND SQUARE. KEEP HEAD AND SILL LEVEL AND SQUARE. MAKE SURE HEAD AND SILL ARE NOT CROWNED UP OR DOWN.
- CONSTANTLY CHECK WIDTH AT MEETING RAILS (i.e. DOUBLE HUNG) TO AVOID "BOWED OUT" INSTALLATION.
- APPLY GENEROUS BEAD OF CAULK ALONG INTERIOR SURFACE OF NAILING FIN ON ALL SIDES PRIOR TO SETTING WINDOW INTO OPENING.
- PLACE 1/4" SHIMS AT SILL CORNERS AND SET WINDOW INTO SHIMS. CENTER THE WINDOW IN THE OPENING ALLOWING A 1/4" GAP BETWEEN WINDOW AND FRAMING MATERIAL ON EACH SIDE. WHEN INSTALLATION IS COMPLETE, THESE SHIMS MAY BE REMOVED.
- INSTALL FASTENERS (STRAIGHT, NOT ANGLED) IN EVERY OTHER FASTENER SLOT STARTING AT THE MIDDLE OF THE WINDOW. FASTENER MUST BE EMBEDDED INTO SOLID WOOD A MINIMUM OF 1". KEEP WINDOW LOCKED UNTIL ALL SIDES ARE SECURED.
- CAULK OVER FASTENERS AND ANY FASTENER SLOTS NOT USED.
- CAULK OUTSIDE PERIMETER OF INSTALLED WINDOW.
- INSULATE AROUND PERIMETER WITH BATT TYPE INSULATION. DO NOT USE EXPANDABLE FOAM. THE USE OF EXPANDABLE FOAM WILL VOID WARRANTY.
- FOR ANY INSTALLATION FINISHED WITH BRICK OR STONE, ALLOW 1/4" GAP AT SILL BETWEEN STRUCTURE AND WINDOW. THEN, CAULK THIS GAP.
- CAULK GAP BETWEEN INSTALLED WINDOW EXTERIOR PERIMETER AND J-CHANNEL (OR BRICK OR OTHER EXTERIOR FINISHING MATERIAL WHICH SURROUNDS WINDOW).

FLASHING SEQUENCING:

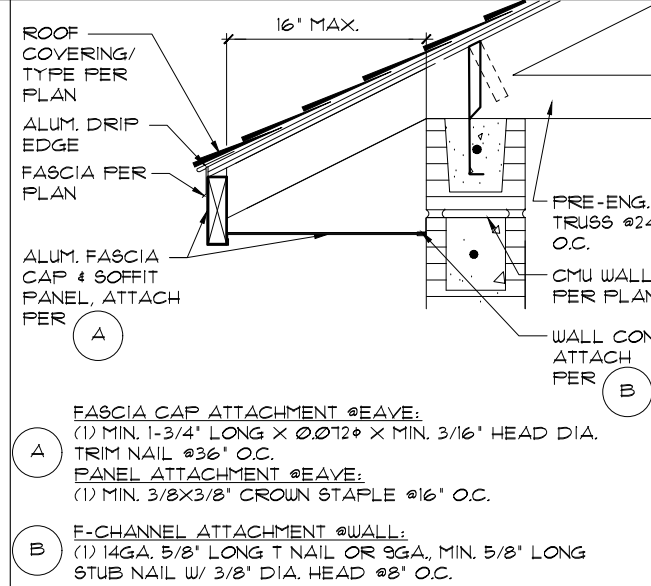
- APPLY BOTTOM PIECE OF SELF-ADHESIVE TYPE FLASHING OVER ALL OF ROUGH OPENING.
- SET WINDOW UNIT.
- APPLY 2ND BOTTOM PIECE OF SELF-ADHESIVE TYPE FLASHING OVER NAILING FIN AND BLDG PAPER.
- APPLY SIDE STRIPS OF SELF-ADHESIVE TYPE FLASHING.
- APPLY TOP PIECE OF SELF-ADHESIVE TYPE FLASHING.

NOTE:
 SELF-ADHESIVE TYPE FLASHING IS A GENERIC TERM. SEE SPECIFICATIONS FOR MATERIAL TO BE USED.

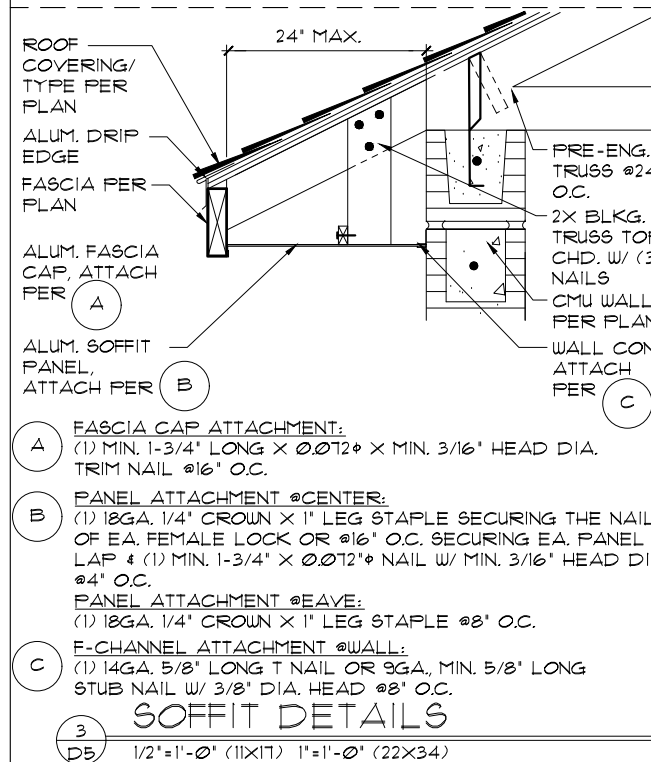
IMPORTANT:

IT IS THE RESPONSIBILITY OF THE OWNER OR BUILDER TO SELECT PRODUCTS IN COMPLIANCE WITH APPLICABLE LAWS AND BUILDING CODES. DO NOT USE MURIATIC ACID ON HOMES AFTER INSTALLING THIS WINDOW. THE ACID MAY DESTROY THE COIL SPRING BALANCE SYSTEM. WINDOWS WILL NOT BE UNDER WARRANTY IF EXPOSED TO MURIATIC ACID. DO NOT LAY WINDOWS FLAT OR STORE IN SUN BEFORE INSTALLING. ALL WARRANTIES NULL AND VOID IF ANY VERTICAL HOLES ARE PUT INTO WINDOW SILL AREA OF ANY WINDOW.

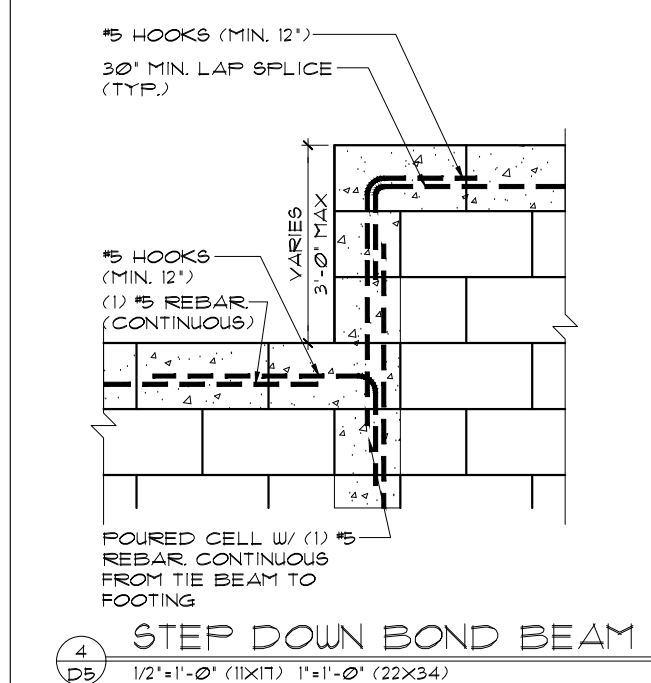
2 WINDOW FLASHING DETAIL N.T.S.



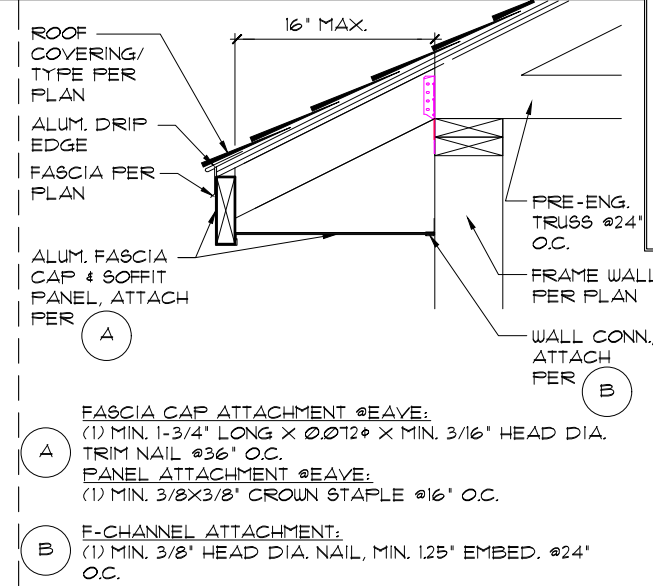
- A FASCIA CAP ATTACHMENT @EAVE:**
 (1) MIN. 1-3/4" LONG X 0.012" X MIN. 3/16" HEAD DIA. TRIM NAIL @36" O.C.
PANEL ATTACHMENT @EAVE:
 (1) MIN. 3/8X3/8" CROWN STAPLE @16" O.C.
- B F-CHANNEL ATTACHMENT @WALL:**
 (1) 14GA. 5/8" LONG T NAIL OR 3GA., MIN. 5/8" LONG STUB NAIL W/ 3/8" DIA. HEAD @8" O.C.



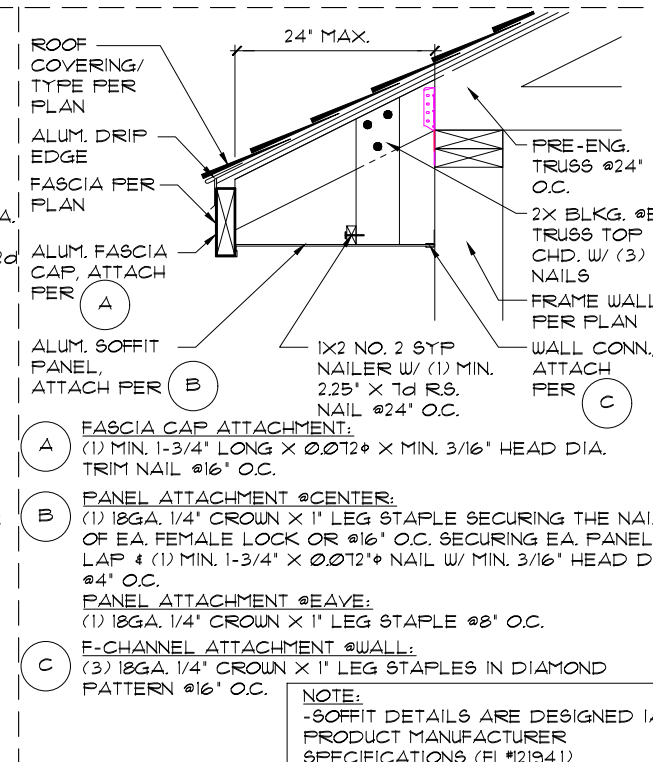
- A FASCIA CAP ATTACHMENT:**
 (1) MIN. 1-3/4" LONG X 0.012" X MIN. 3/16" HEAD DIA. TRIM NAIL @16" O.C.
- B PANEL ATTACHMENT @CENTER:**
 (1) 18GA. 1/4" CROWN X 1" LEG STAPLE SECURING THE NAILER OF EA. FEMALE LOCK OR @16" O.C. SECURING EA. PANEL LAP & (1) MIN. 1-3/4" X 0.012" NAIL W/ MIN. 3/16" HEAD DIA. @4" O.C.
- PANEL ATTACHMENT @EAVE:**
 (1) 18GA. 1/4" CROWN X 1" LEG STAPLE @8" O.C.
- C F-CHANNEL ATTACHMENT @WALL:**
 (1) 14GA. 5/8" LONG T NAIL OR 3GA., MIN. 5/8" LONG STUB NAIL W/ 3/8" DIA. HEAD @8" O.C.
- 3 SOFFIT DETAILS**
 D5 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



4 STEP DOWN BOND BEAM 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



- A FASCIA CAP ATTACHMENT @EAVE:**
 (1) MIN. 1-3/4" LONG X 0.012" X MIN. 3/16" HEAD DIA. TRIM NAIL @36" O.C.
PANEL ATTACHMENT @EAVE:
 (1) MIN. 3/8X3/8" CROWN STAPLE @16" O.C.
- B F-CHANNEL ATTACHMENT:**
 (1) MIN. 3/8" HEAD DIA. NAIL, MIN. 1.25" EMBED. @24" O.C.



- A FASCIA CAP ATTACHMENT:**
 (1) MIN. 1-3/4" LONG X 0.012" X MIN. 3/16" HEAD DIA. TRIM NAIL @16" O.C.
- B PANEL ATTACHMENT @CENTER:**
 (1) 18GA. 1/4" CROWN X 1" LEG STAPLE SECURING THE NAILER OF EA. FEMALE LOCK OR @16" O.C. SECURING EA. PANEL LAP & (1) MIN. 1-3/4" X 0.012" NAIL W/ MIN. 3/16" HEAD DIA. @4" O.C.
- PANEL ATTACHMENT @EAVE:**
 (1) 18GA. 1/4" CROWN X 1" LEG STAPLE @8" O.C.
- C F-CHANNEL ATTACHMENT @WALL:**
 (3) 18GA. 1/4" CROWN X 1" LEG STAPLES IN DIAMOND PATTERN @16" O.C.
- NOTE:**
 -SOFFIT DETAILS ARE DESIGNED IAW PRODUCT MANUFACTURER SPECIFICATIONS (FL#12194.1)

EXTERIOR FINISH NOTES

- LATH TO BE ATTACHED IAW R103.7.1 OF THE 11TH EDITION, FBCR 2020
- PLASTERING TO BE WITH PORTLAND CEMENT, INSTALLED IAW R103.7.2 OF THE 11TH EDITION, FBCR 2020
- WEEP SCREED TO BE INSTALLED IAW R103.7.2.1 OF THE 11TH EDITION, FBCR 2020
- WATER RESISTANT BARRIER TO BE INSTALLED IAW R103.7.3 OF THE 11TH EDITION, FBCR 2020
- 'ZIP SYSTEMS' WALL SHEATHING MAY BE USED AS AN ALTERNATIVE FOR WALL SHEATHING AND VAPOR BARRIER, ON EXTERIOR WALLS ONLY.
- STUCCO APPLICATION MUST BE IAW R103.7.4 OF THE 11TH EDITION, FBCR 2020
- UNDERLAYMENT REQUIREMENTS MUST BE IAW R905.1.1 OF THE 11TH EDITION, FBCR 2020

Item 2.

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RDC
 THE MAKER OF A QUALITY MARK

DREAM FINDERS
 THE MAKER OF A QUALITY MARK

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TYPICAL STRUCTURAL DETAILS

STANDARD DETAILS
 SHINGLE-STD. GRADE-PLUMB-CMU

DATE 04-18-17
 SCALE AS NOTED
 DRAWN JR & RDC
 JOB 43
 SHEETS



TMHConsulting@cfl.rr.com
97 N. Saint Andrews Dr.
Ormond Beach, FL 32174
PH: 386.316.8426

MEMORANDUM

TO: Howey-in-the-Hills Planning Board
CC: L. Chinama, Town Clerk
FROM: Thomas Harowski, AICP, Planning Consultant
SUBJECT: Dream Finders House Plan Approval – Talichet Subdivision
DATE: October 15, 2020

Dream Finders homebuilders has submitted a package of house designs for review in compliance with the Town’s architectural standards for new subdivisions. There are three aspects to the required review. The first compliance review is to ascertain whether the house is properly placed on the lot. The second compliance review is to determine whether the house meets the minimum design requirements of Section 4.06.03; and the third compliance review is to determine compliance with the design diversity requirements of Section 4.06.02 for new subdivisions. This last review is required as the Talichet Development includes more than six lots.

Six individual house plans encompassing five different models or variations on models were submitted for approval. The Town’s approval process for compliance with design standards requires the design be approved by the Howey-in-the-Hills Planning Board. This is the process for homes built in Venezia South where the Planning Board reviewed the set of standard models which could then be permitted without further review by the Planning Board. Planning Board review was only required when additional models were proposed. These designs were reviewed for compliance with all three compliance factors. The applicant submitted two additional designs, the Sweetwater (Winzey Groves) and Montego (Winzey Groves) for evaluation but are not currently proposed for model construction. These plans were reviewed for individual unit design and for compliance with the minimum requirements for porches and recessed garages.

For initial model construction, the applicant has submitted designs for six lots with five of the models being variations on the Avalon model. The models and lots identified include:

- | | |
|-----------------|-------------------|
| 413 Amola Way | Avalon A |
| 611 Avila Place | Montego A |
| 615 Avila Place | Avalon B |
| 639 Avila Place | Avalon with bonus |
| 659 Avila Place | Avalon C |
| 663 Avila Place | Avalon with bonus |

Review Part 1 Setback Compliance: A review of the plot plans documented that the placement of the homes on site in all instances met or exceeded the minimum setback requirements. Please note that the plot plan for 413 Amola Way identified the proposed building as Avalon with Bonus while the plans submitted are for Avalon A. The applicant should verify that the plot plan and house plan are in agreement.

Review Part 2 House Design Compliance: Section 4.06.03 sets out specific requirements for individual houses as follows:

4.06.03 *Single Family Residential Development Architectural Plans*

At the time of Final Plan submittal (or at building permit for infill development), the applicant shall submit a complete set of the residential design plans. This shall include the front, side, and rear elevations for each model that will be constructed within the development. The building elevations shall include the following:

- A. Roof plan: Residential homes shall have variations in roof lines and use dormers, wide eaves, and other architectural elements to add interest and sustainability.
- B. Wall materials and color options: See Section 4.06.02(B)(1) above for material options. Walls cannot be all one material and/or all one color. Primary facades shall have one base color and a minimum of one complementary accent color. A complementary wall material may be used to meet the second color requirement.
- C. Exterior architectural details: Each home shall incorporate architectural details to add interest to all sides of the building. Primary facades shall incorporate a minimum of four (4) architectural details and secondary facades shall incorporate a minimum of two (2) architectural details. These include, but are not limited to:
 1. Windows
 2. Shutters
 3. Porches
 4. Decorative elements
 5. Doors
 6. Columns
 7. Window boxes
 8. Porticos
 9. Cupolas
 10. Chimneys
 11. Enhanced landscape treatment which provides for one additional planting area with a minimum size of 400 square feet
 12. Other elements approved by the Town

In addition to these design requirements, Section 4.06.02 lists acceptable materials for roof and wall components. Each house plan was reviewed for compliance with these requirements. (The Avalon models have been approved for the Venezia South project,

but have been reviewed here to verify the application of these designs still meets code requirements.) The results were as follows:

413 Amola Way: Complies with the design requirements. (Painting specifications documenting multiple colors for base, accent and trim colors were supplied.)

611 Avila Place: Complies with design requirements. (Stone finish qualifies as the second color.)

615 Avila Place: Complies with design requirements.

639 Avila Place: Because this unit is located on a corner lot, the second street side is considered a primary façade and requires a minimum of four design elements. The applicant submitted supplemental information documenting the addition of one additional design element to the second primary façade and the intent to include added landscaping as the fourth design element.

659 Avila Place: Complies with design requirements.

663 Avila Place: Complies with design requirements.

Review Part 2 Additional House Designs. Two additional models have been provided but are not currently proposed for model construction. These units were evaluated for compliance with the design criteria cited above and the front and rear facades for both units were found to be in compliance with the code requirements. As with any of the designs, application of one of these designs on a corner property will create a second primary façade and require additional enhancement from the submitted design to upgrade the second primary façade.

Review Part 3 Subdivision Development Standards: Section 4.06.02 includes design standards that are applicable to this review. This section reads as follows:

4.06.02 Residential Developments

In order to promote architectural character, the Town shall require new housing developments to offer a variety of architectural styles and elevations. These regulations promote both diversity in the exterior elevations of neighboring homes, as well as individual character in the design of each residence.

1. For new single-family residential developments or infill single family development with six (6) or more adjacent lots:
 1. The same house model may not be used more than three times within a single block face. For purposes of this requirement, a different house model is a different floor plan, not the same floor plan flipped in a different direction and not the same floor plan with a different exterior treatment. When less than ten (10%) percent of the lots in a subdivision

- remain to be developed, the Planning Board may approve a home design to be used more than three times within a single block face. This option is intended to provide some flexibility in finishing the subdivision development while maintaining diversity in building design.
2. Front porches shall be a required component on at least one quarter of the house models offered in a development. These porches shall be at least 6 feet deep and 10 feet wide.
 - a. Front porches may encroach into the front setback up to five (5) feet in Single Family Residential and Medium Density Residential developments.
 - b. Front porches may be screened, provided that the screen is located behind the railings.
 3. Recessed garages or side entry garages shall be a required component on at least one quarter of the house models offered in a development. To be considered recessed, the garage shall be set back a minimum of ten (10) feet from the main building face, or five (5) feet if the house has a front porch.
 2. For all new residential development
 1. Residential building walls shall be wood clapboard, wood shingle, wood drop siding, Hardie board siding, brick, stone, stucco, approved vinyl siding, or similar material.
 2. Residential roofs shall be wood, synthetic, or fiberglass shingles or tile. Metal roofs may be permitted if determined to be an integral feature of a recognized architectural style. Eaves are an important component of the roof design; they not only provide architectural character, but they help to protect building walls and reduce cooling costs.
 3. Fencing or decorative walls in residential front yards shall be a maximum of three (3) feet tall. Fencing in side and rear yards shall be a maximum of six (6) feet tall. Fences shall be wood, vinyl, wrought iron, or aluminum that is designed to resemble wrought iron. The architectural style and color of walls shall match the primary dwelling unit. Fences shall be erected so that the finished side is towards adjacent lots or the public right-of-way. Chain link fencing is permitted along the sides and rear lot lines of residential lots that back up to either a lake or wetland. Residential development in Agricultural and Rural Estates zoning districts may also propose special purpose fencing in conjunction with farm animals and horses.
 4. Perimeter fences or walls are permitted around a residential development up to a maximum of six (6) feet, provided that the fence and/or wall has architectural features compatible with the neighborhood. Fences and walls shall also include details such as banding, capping, columns (which may be up to 8 feet tall), and other elements to add interest. To enhance design, perimeter fences and walls are required to incorporate landscaping with breaks in the fence or wall (or change in direction). Perimeter fences shall be wrought iron, or aluminum that is designed to resemble wrought iron. Perimeter walls shall be faced with stucco, brick, or stone or a combination of those materials.

The seven models submitted for the Talichet project were evaluated for compliance with the requirement to have 25% of the units offer a front porch measuring at least 60 square feet and 25% of the models having a side entry or recessed garage. The Sweetwater and Montego (Winsey Groves) model each provide a recessed garage, and each provide an option for a front porch meeting the minimum 60 square foot area. Based on seven total models, the units with recessed garages and added porches meet the 25% requirement.

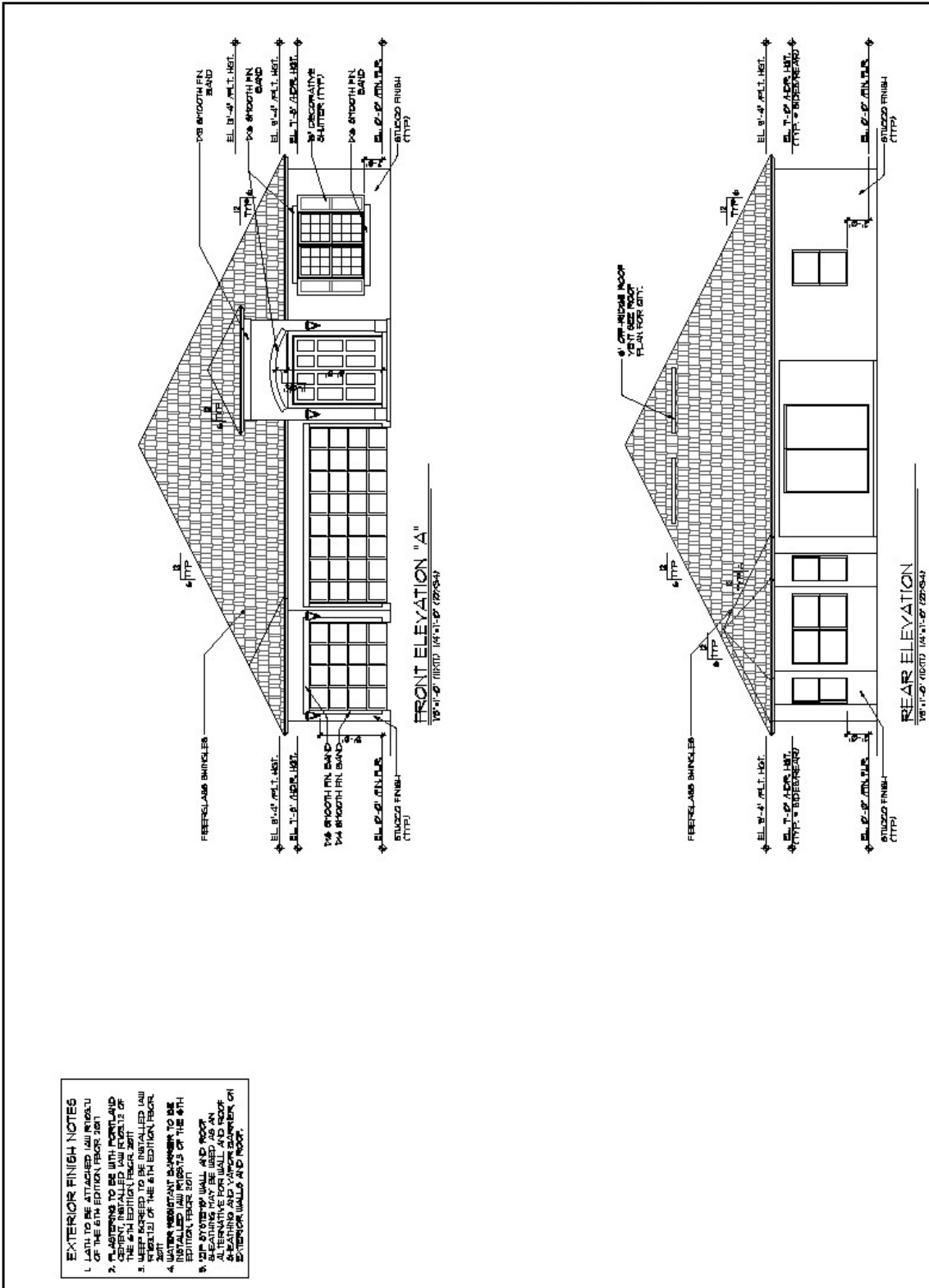
Staff Recommendation:

Staff recommends approval of the package of models as meeting the minimum requirements for individual unit design and the overall requirements for units offering front porches and recessed garages. As each model is presented for permitting, the application will need to be reviewed to verify compliance with the setback requirements and for compliance with the spacing requirements between the same unit designs. (See Section 4.02.01 1 above.) Staff also notes that the permitting of any model on a corner property will require a design modification to fully implement the minimum requirements for the second primary façade. Finally, staff notes that units with front porches meeting the minimum requirements have the option of placing the porch up to five feet into the required front yard without the necessity for variance action.

The following graphics show the front façade designs and basic floor plans for each of the models submitted in the following order:

- Avalon A
- Avalon B
- Avalon C
- Avalon Bonus
- Montego A
- Montego Winsey Groves
- Sweetwater Winsey Groves

LOT 0018, TALLENT
 2510 AVALON
 DREAM FINDERS HOMES
 EXTERIOR ELEVATIONS
 FRONT AND REAR
 DREAM FINDERS
 2510 AVALON
 04A0
 DATE: 08-11-17
 DRAWN BY: J. H. H. H.
 CHECKED BY: J. H. H. H.
 PROJECT NO: 2510 AVALON
 SHEET NO: 04A0
 SCALE: AS SHOWN
 DATE: 08-11-17



- EXTERIOR FINISH NOTES**
1. WALLS TO BE ATTACHED WITH ANCHORS TO THE 6TH EDITION TRUSS JOIST.
 2. FLASHINGS TO BE WITH PORTLAND CEMENT, INSTALLED WITH FURDIZ OF THE 6TH EDITION TRUSS JOIST.
 3. WATER RESISTANT BARRIER TO BE INSTALLED TO THE 6TH EDITION TRUSS JOIST.
 4. WATER RESISTANT BARRIER TO BE INSTALLED TO THE 6TH EDITION TRUSS JOIST.
 5. 1/2\"/>

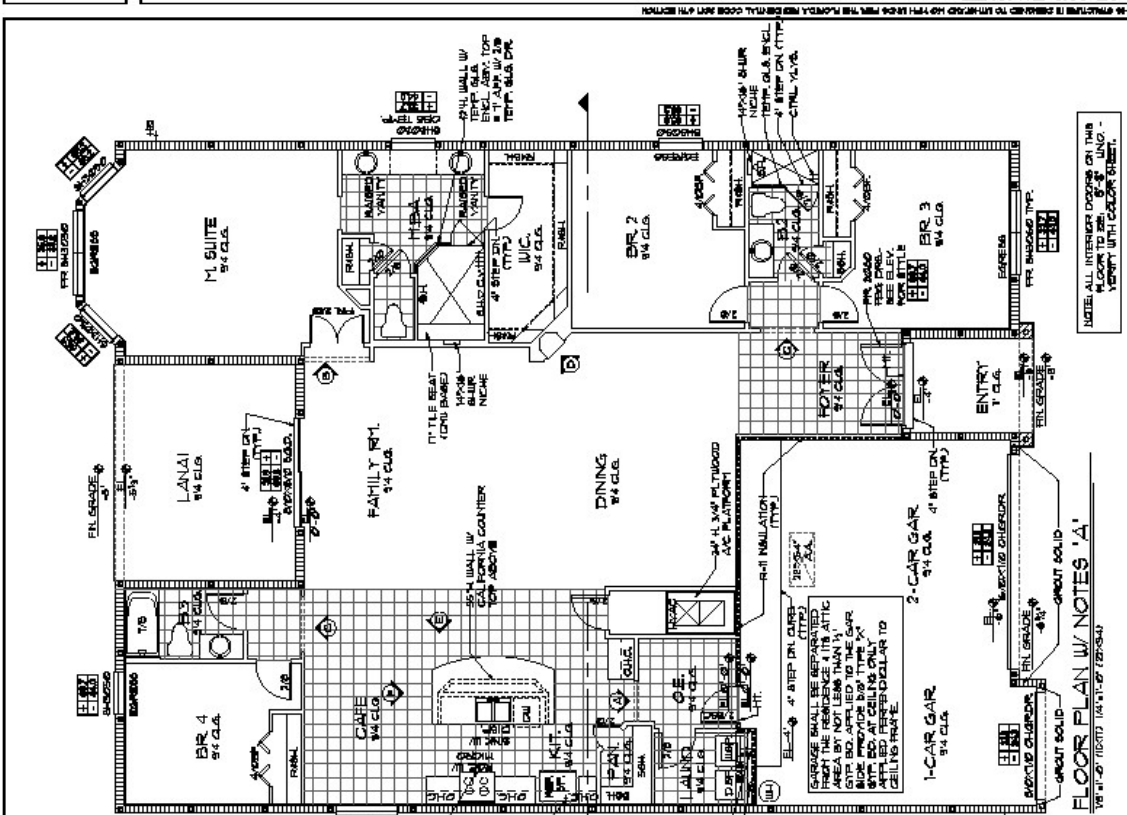
2510 AVALON
DREAM FINDERS HOMES

DATE: 08/11/10
 DRAWN BY: J. J. JONES
 CHECKED BY: J. J. JONES
 PROJECT NO.: 2510 AVALON

LOT 008 TALKER

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Prepared by: J. J. JONES
 10000 W. BAYVIEW BLVD.
 SUITE 100
 MIAMI, FL 33154
 (305) 555-1234



NOTE: ALL INTERIOR DOORS ON THIS FLOOR PLAN ARE TO BE OPENED INTO THE INTERIOR UNLESS NOTED OTHERWISE.

NOTE: DOOR SWING IS TO GARAGE UNLESS NOTED OTHERWISE. DOORS TO BE OPENED INTO THE INTERIOR UNLESS NOTED OTHERWISE.

LOAD INFORMATION
 PER 2010 FLORIDA RESIDENTIAL CODE

FLOOR STRUCTURE	1 PSF
CEILING	3 PSF
ROOF	20 PSF
WIND	150 MPH
SEISMIC	1 PSF
STAIRS	40 PSF
MECHANICAL	10 PSF
PLUMBING	10 PSF
ELECTRICAL	10 PSF
TELEPHONE	10 PSF
TELEVISION	10 PSF
REFRIGERATION	10 PSF
AIR CONDITIONING	10 PSF
HEATING	10 PSF
WATER	10 PSF
SEWER	10 PSF
STAIRS	40 PSF
MECHANICAL	10 PSF
PLUMBING	10 PSF
ELECTRICAL	10 PSF
TELEPHONE	10 PSF
TELEVISION	10 PSF
REFRIGERATION	10 PSF
AIR CONDITIONING	10 PSF
HEATING	10 PSF
WATER	10 PSF
SEWER	10 PSF

WIND INFORMATION
 PER 6TH EDITION 2010 FLORIDA BUILDING CODE

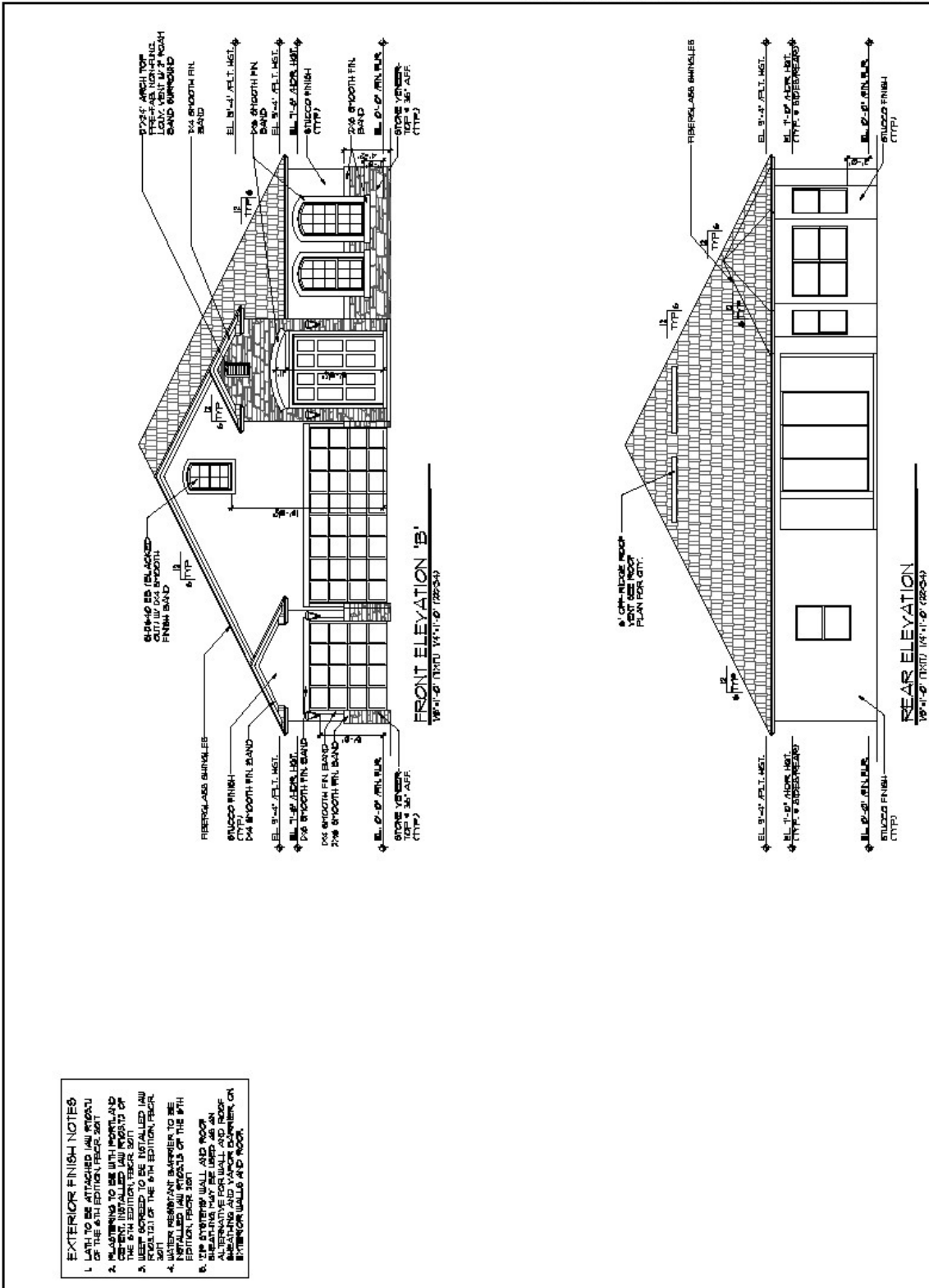
1. BASIC WIND SPEED	150 MPH
2. WIND IMPORTANCE FACTOR	1.0
3. BUILDING CATEGORY	II
4. EXPOSURE CATEGORY	B
5. WIND PRESSURE COEFFICIENT	SEE PLAN
6. COMPONENT / CLADDING	SEE PLAN
7. DESIGN WIND PRESSURE (AS PL)	SEE PLAN
8. DESIGN WIND PRESSURE (AS PL)	SEE PLAN
9. DESIGN WIND PRESSURE (AS PL)	SEE PLAN
10. DESIGN WIND PRESSURE (AS PL)	SEE PLAN

- GENERAL NOTES**
- PROVIDE REZEVA HOT & COLD WATER WITH DRAIN & WARMER BRACE.
 - VENT DRYER THRU EXT. WALL.
 - PROVIDE COLD WATER LINE FOR CEILING UNIT & REFR. UNIT.
 - DO NOT SCALE CEILING CONSTRUCTION TO BE REFORMED. PROVIDE TO BE REFORMED. PROVIDE TO BE REFORMED. PROVIDE TO BE REFORMED.
 - DO NOT SCALE CEILING CONSTRUCTION TO BE REFORMED. PROVIDE TO BE REFORMED. PROVIDE TO BE REFORMED.
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 - DO NOT SCALE CEILING CONSTRUCTION TO BE REFORMED. PROVIDE TO BE REFORMED. PROVIDE TO BE REFORMED.

WINDOW SCHEDULE

WINDOW (SINGLE HUNG)	ROUGH FLOOR	FINISH FLOOR	FINISH OPENING	FINISH NET CLEAR
B-107A	24" X 24"	24" X 24"	24" X 24"	24" X 24"
B-107B	24" X 48"	24" X 48"	24" X 48"	24" X 48"
B-107C	36" X 48"	36" X 48"	36" X 48"	36" X 48"
B-107D	36" X 60"	36" X 60"	36" X 60"	36" X 60"
B-107E	36" X 72"	36" X 72"	36" X 72"	36" X 72"
B-107F	48" X 48"	48" X 48"	48" X 48"	48" X 48"
B-107G	48" X 60"	48" X 60"	48" X 60"	48" X 60"
B-107H	48" X 72"	48" X 72"	48" X 72"	48" X 72"
B-107I	48" X 84"	48" X 84"	48" X 84"	48" X 84"

		EXTERIOR ELEVATIONS FRONT AND REAR		2810 AVALON DREAM FINDES HOMES	
DATE	04-21-17	SCALE	AS SHOWN	JOB NO.	1701
DRAWN BY	J. H. H.	CHECKED BY	J. H. H.	DATE	04-21-17
LOT: 0028 TALLECH 156' x 100' (APPROXIMATE)		© Copyright 2017 by J. H. H. All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without permission in writing from the copyright owner.			



- EXTERIOR FINISH NOTES:**
1. WALLS TO BE STUCCOED AND FINISHED AS SHOWN ON THE 5TH EDITION REAR 301T.
 2. MATERIALS TO BE USED WITH ROOFING AND CEILING SHALL BE INSTALLED AND FINISHED AS SHOWN ON THE 5TH EDITION REAR 301T.
 3. ROOFING TO BE INSTALLED AS SHOWN ON THE 5TH EDITION REAR 301T.
 4. WATER RESISTANT BARRIER TO BE INSTALLED AS SHOWN ON THE 5TH EDITION REAR 301T.
 5. THE EXTERIOR WALL AND ROOF FINISHES MAY BE USED AS AN ALTERNATIVE FOR WALL AND ROOF FINISHES AS SHOWN ON THE 5TH EDITION REAR 301T.

LOT: 0028 TALKET

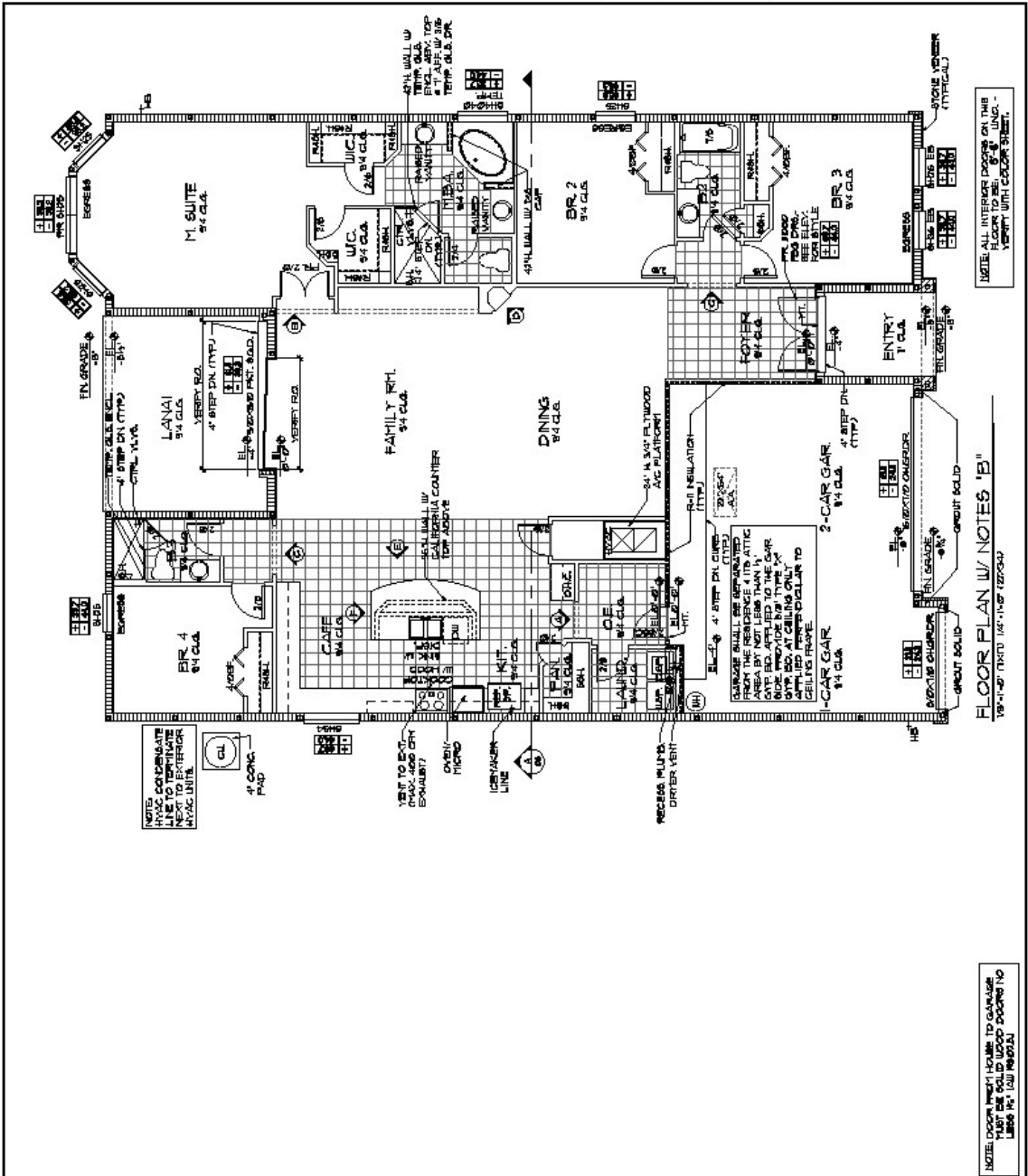
FLOOR PLAN W/ NOTES

2810 AVALON

DREAM FINDERS HOMES

DATE: 08-21-17
 DRAWN BY: JAC
 CHECKED BY: JAC
 PROJECT NO: 2810AVALON

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LOAD INFORMATION

PER 2018 FLORIDA RESIDENTIAL CODE

DEAD LOADS	1 PSF
FLOOR STRUCTURE	5 PSF
CEILING	5 PSF
WALLS	20 PSF
ROOF	20 PSF
ROOF STRUCTURE	5 PSF
CEILING	5 PSF
WALLS	20 PSF
ROOF TOTAL	25 PSF
RESIDENTIAL FLOOR	40 PSF
ATTIC WITH-OUT STORAGE	10 PSF
ATTIC WITH LIMITED STORAGE	20 PSF
CEILING	5 PSF
WALLS	20 PSF
SLEEPING ROOMS	30 PSF
ROOMS OTHER THAN SLEEPING	40 PSF
STAIR LIVE LOAD	40 PSF
ROOF LIVE LOAD	40 PSF

PER ANY STRUCTURAL MEMBER

ROOF ALONE	0-750	100-400	OTHER	4000
0-25' x 10'	20	14	16	0
25'-0" x 10'	14	14	16	0
25'-0" x 25'	14	14	16	0

WIND INFORMATION

PER 6TH EDITION 2011 FLORIDA BUILDING CODE

- BASIC WIND SPEED: 140 MPH
- WIND PROTECTION FACTOR: 1.0
- BUILDING CATEGORY: II
- INTERNAL PRESSURE: ±0.18, INCLUDE COMPONENT / CLADDING (SEE PLAN DESIGN AND PRESURE)
- COMPONENT / CLADDING: PER PLAN DESIGN AND PRESURE

PER 6TH EDITION 2011 FLORIDA BUILDING CODE SECTION 1609.10.1

NOTE: DESIGN PRESSURES BASED ON 30 MINUTE WIND SPEED AND NOT ULTIMATE WIND SPEED.

- GENERAL NOTES**
- PROVIDE RECESS HOT & COLD WATER WITH DRAIN & BARRIER SPACE.
 - VENT DRYER THRU INT. WALL.
 - VENT HOT COLD WATER LINE FOR BATHROOM LINE & VEST. SPACE.
 - DO NOT SCALE CEILING CONSTRUCTION TO BE REPORTED PROBABLY TO SUPERVISOR FOR CLARIFICATION.
 - NOT USED
 - DESIGNED CORNER WALL, HT. 8'-0" TO 8'-6"
 - DESIGNED CORNER WALL, HT. 8'-0" TO 8'-6"
 - REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH SPECIFICATIONS
 - REFER TO DETAIL SHEETS FOR FINISHING REQUIREMENTS AT ALL WOOD TO FABRICATOR INTERFACES
 - ANCHOR THE CLOSETBEN UNIT TO 8" x 8" PER CODE (TYP. 4" DIA.)
 - ALL INTER FLOOR CEILING AT 8'-0" UNLESS NOTED OTHERWISE
 - ALL INTER SECOND FLOOR CEILING AT 8'-0" UNLESS NOTED OTHERWISE

NOTE: ALL INTERIOR DOORS ON THIS PLAN TO BE SOLID WOOD DOORS - 1 3/4" WITH 24" X 36" PANELS.

FLOOR PLAN W/ NOTES 'B'

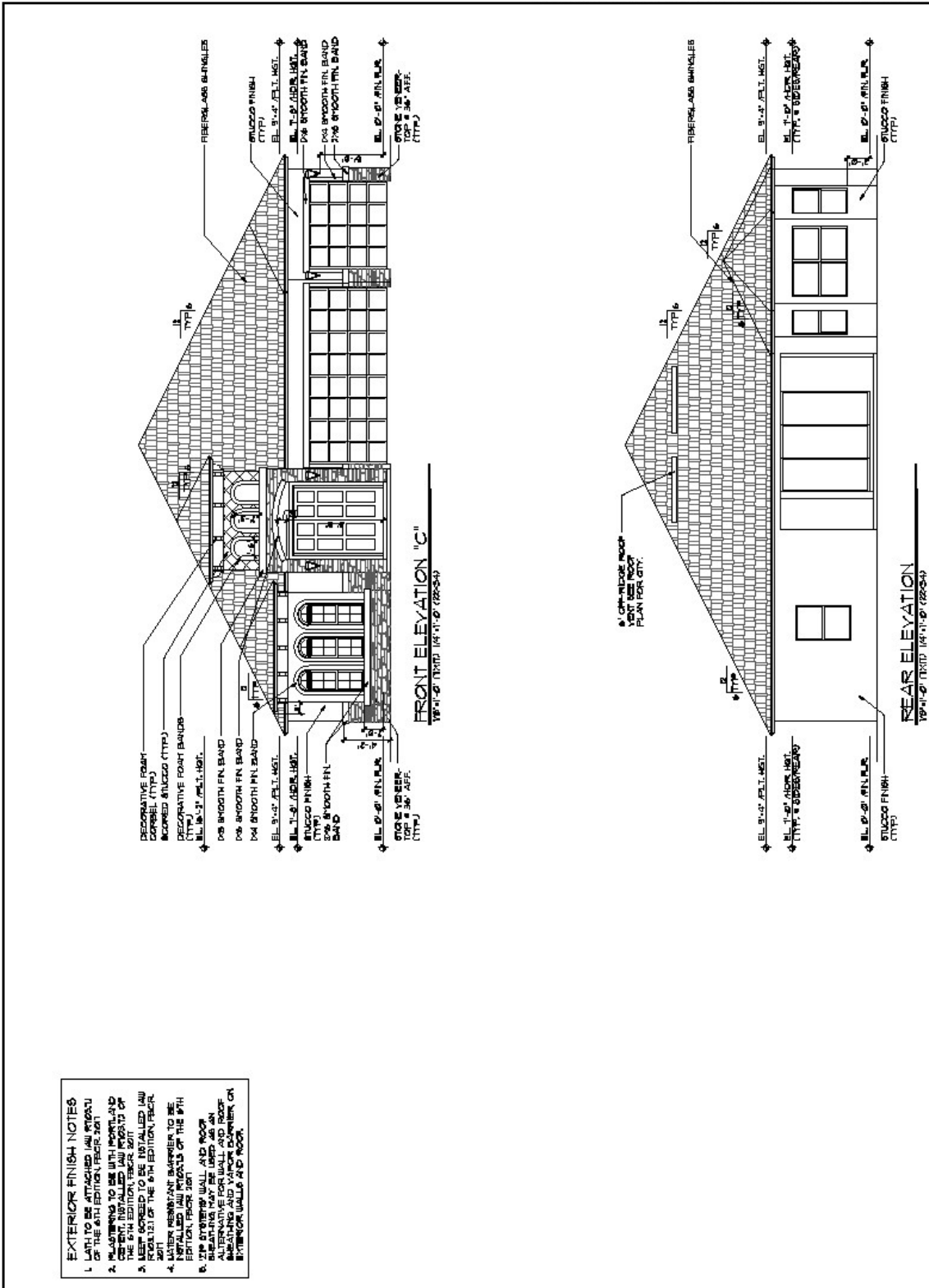
NOTE: DOOR MUST HANG TO GARAGE THAT BE SOLID WOOD DOORS NO LESS 1 3/4" TALL MINIMUM

LOT: 0008 TALCHET
 164 WESTINGHOUSE BLVD UNIT 102 FLYING SAUCER PHASE 1A FLYING SAUCER PHASE 1A TALCHET
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DATE	04-21-18
SCALE	AS SHOWN
DRAWN BY	TRP
CHECKED BY	TRP
PROJECT	04100

2810 AVALON
 DREAM FINDERS HOMES
 EXTERIOR ELEVATIONS
 FRONT AND REAR

DREAM FINDERS
 10000 W. BOULEVARD, SUITE 100
 CHANDLER, AZ 85226
 PH: 480-949-4000
 WWW.DREAMFINDERSHOMES.COM



LOAD INFORMATION
PER 2018 FLORIDA RESIDENTIAL CODE

DEAD LOADS: 10 PSF
FLOOR STRUCTURE: 5 PSF
CELLARS: 5 PSF
MECH/ELEC: 5 PSF
PARTITIONS: 5 PSF
TOTAL: 20 PSF

ROOF: 10 PSF
STRUCTURE: 5 PSF
CELLARS: 5 PSF
MECH/ELEC: 5 PSF
TOTAL: 20 PSF

RESIDENTIAL FLOOR: 40 PSF
ATTIC WITH LIMITED STORAGE: 10 PSF
ATTIC WITH UNLIMITED STORAGE: 20 PSF
GARAGE: 20 PSF
GARAGE WITH 10' CLEARANCE: 20 PSF
SLEEPING PORCHES: 40 PSF
POORH OTHER THAN SLEEPING: 40 PSF
STAIR LIVE LOAD: 40 PSF

SECE LIVE LOADS: 100 PSF
PER ANY STRUCTURAL MEMBER

ROOF SLATE 6-725 20-400 OTHER 4000
625-412 50 14 5
2-215 5 15 2

WIND INFORMATION
PER 6TH EDITION 2018 FLORIDA BUILDING CODE

1. BASIC WIND SPEED: 140 MPH
2. WIND IMPORTANCE FACTOR: 1.0
3. BUILDING CATEGORY: II
4. INTERNAL PRESSURE: +/- 0.18, INCLUDED COMPONENT IN NOTE 5
5. COMPONENT / CLADDING: SEE PLAN DESIGN WIND PRESSURE

PER 6TH EDITION 2018 FLORIDA BUILDING CODE SECTION 1603.1
WIND DESIGN PRESSURES BASED ON WIND SPEED AND NOT ULTIMATE WIND SPEED.

GENERAL NOTES

- PROVIDE RECESS HOT & COLD WATER WITH DRAIN & WASHER SPACE.
- VENT DRYER THRU ROOF WALL.
- PROVIDE COLD WATER LINE FOR BATHROOM LINE & REST SPACE.
- DO NOT SCALE CEILING CONSTRUCTION TO BE REPORTED PROBABLY TO SUPERVISOR FOR CLARIFICATION.
- NOT USED
- DESICATED COVE: 2" x 2" WALL HGT. 2' 0" MAX. CEILING COVE: 2" x 2" WALL HGT. 3' 0" MAX.
- REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH SPECIFICATIONS
- REFER TO DETAIL SHEETS FOR FINISHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES
- ANCHOR THE CONCRETE UNIT TO B.L.B. PER CODE (TYP. 4" DIA.)
- ALL INTERIOR FLOOR CEILING AT 8'-0" UNLESS NOTED OTHERWISE
- ALL INTERIOR FLOOR CEILING AT 8'-0" UNLESS NOTED OTHERWISE

FLOOR PLAN W/ NOTES

LOT: 0008 TALLECH

DATE: 08-21-17
SCALE: AS SHOWN
DRAWN BY: JED
JOB: 2810 AVALON
FIRM: DREAM FINDERS HOMES

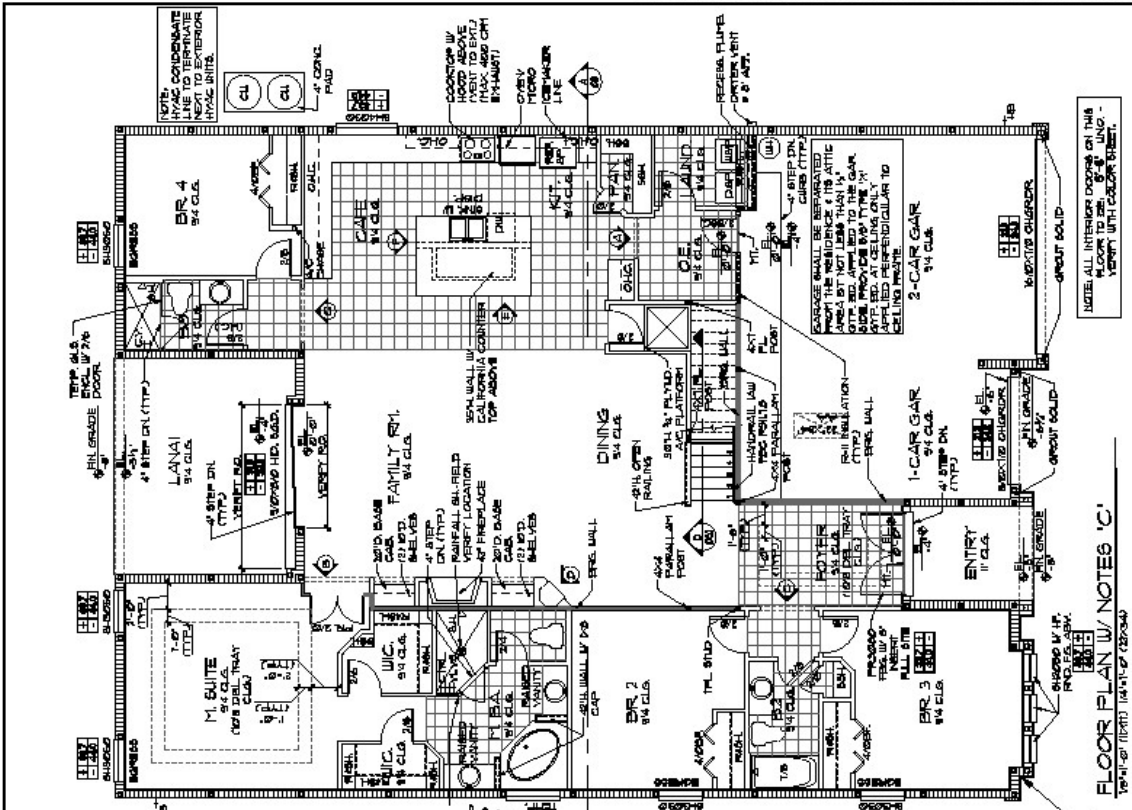
FLOOR PLAN W/ NOTES

DREAM FINDERS HOMES

2810 AVALON

DATE: 08-21-17
SCALE: AS SHOWN
DRAWN BY: JED
JOB: 2810 AVALON
FIRM: DREAM FINDERS HOMES

LOT 0017 TALKER
 2945 AVALON W/ BONUS
 DREAM FINDERS HOMES
 FLOOR PLAN W/ NOTES
 DREAM FINDERS
 DATE: 07-14-14
 SCALE: AS SHOWN
 SHEET NO: 0304
 OF: 0304



LOAD INFORMATION
 PER 6TH EDITION, 2010 FLORIDA BUILDING CODE

DEAD LOAD	1 PSF
FLOOR STRUCTURE	5 PSF
CEILING	5 PSF
ROOF	20 PSF
ROOF STRUCTURE	20 PSF
CEILING	5 PSF
MECH/ELEC	5 PSF
TOTAL	40 PSF
WIND LOAD	30 PSF
RESIDENTIAL M. LOAD	40 PSF
ATTIC WITH LIMITED STORAGE	20 PSF
UNFINISHED ATTIC	10 PSF
GLAZED WALLS N.M. CORNER	20 PSF
SLEEPING PORCHES	30 PSF
ROOMS OTHER THAN SLEEPING	40 PSF
STAIR LIVE LOAD	40 PSF
ROOF LIVE LOAD	20 PSF
MINIMUM UNIFORM ROOF LIVE LOAD (RMS)	20 PSF
REINFORCED CONCRETE SLAB	15 PSF
REINFORCED CONCRETE SLAB	15 PSF
ROOF SLAB	15 PSF
ROOF SLAB	15 PSF
ROOF SLAB	15 PSF

WINDOW SCHEDULE

WINDOW FR (SINGLE HX)	ROUGH OPENING	BLOCK	OPENING H. X W. FIN. NET CLEAR
6-4000	34" X 36"		
6-5000	34" X 48"		
6-6000	36" X 36"		
6-6000	36" X 48"		
6-6000	36" X 60"		
6-6000	36" X 72"		
6-6000	48" X 48"		
6-6000	48" X 60"		
6-6000	48" X 72"		

GENERAL NOTES

- PROVIDE REARER HOT & COLD WATER WITH DRAIN & WARMER BRACE.
- VENT DRYER THROUGH EXTERIOR WALL.
- WIND RESISTANT WALLS ARE TO BE CONSTRUCTED WITH 2" MIN. SPACE.
- DO NOT SCALE EXTERIOR CONSTRUCTION TO BE REPORTED PERMIT, & TO SUPERVISOR FOR CLARIFICATION.
- NOT USED.
- DESIGNER TO PROVIDE WALL, ROOF & FLOOR FINISHES.
- DESIGNER TO PROVIDE WALL, ROOF & FLOOR FINISHES.
- REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH SPECIFICATIONS.
- REFER TO DETAIL SHEETS FOR M. J. FINISHES & ALL WOOD TO BE FINISHED INTERIORS.
- ANCHOR THE CONNECTION UNIT TO B. AS PER CODES 1003.7.1 & 1003.7.2.
- ALL INTERIOR DOORS ON THIS FLOOR TO BE OPENED TO THE RIGHT UNLESS NOTED OTHERWISE.
- ALL INTERIOR DOORS TO BE OPENED TO THE RIGHT UNLESS NOTED OTHERWISE.
- ALL INTERIOR DOORS TO BE OPENED TO THE RIGHT UNLESS NOTED OTHERWISE.

FLOOR PLAN W/ NOTES 'C'
 10'-0" (10'-0") 10'-0" (10'-0") 10'-0" (10'-0")

2273 MONTEGO
DREAM FINDERS HOMES

EXTERIOR ELEVATION
FRONT AND REAR

DREAM FINDERS
A DIVISION OF THE BURNS GROUP
10000 W. 11TH AVENUE, SUITE 100
DENVER, CO 80233
TEL: 303.751.1100
WWW.DREAMFINDERS.COM

Prepared by: [Signature]
Checked by: [Signature]
Date: 08/14/2017

LOT: 0024 TALLECHET

DATE: 08/14/2017
SCALE: AS SHOWN
SHEET: 06A0
JOB NO: 2273

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FRONT ELEVATION 'A'
08/14/2017 (08/14/2017 08/14/2017 08/14/2017)

REAR ELEVATION
08/14/2017 (08/14/2017 08/14/2017 08/14/2017)

EXTERIOR FINISH NOTES

1. LATH TO BE ATTACHED (AW 100X11) OF THE 6TH EDITION (PCB 2017)
2. FLASHINGS TO BE WITH PORTLAND CEMENT MORTAR OF THE 6TH EDITION (PCB 2017)
3. WATER RESISTANT BARRIER TO BE INSTALLED (AW 100X11) OF THE 6TH EDITION (PCB 2017)
4. WATER RESISTANT BARRIER TO BE INSTALLED (AW 100X11) OF THE 6TH EDITION (PCB 2017)
5. ZIP STRIP(S) WALL AND ROOF FLASHINGS TO BE INSTALLED (AW 100X11) OF THE 6TH EDITION (PCB 2017) ALTERNATIVE FOR WALL AND ROOF FLASHINGS AND VAPOR BARRIER ON EXTERIOR WALLS AND ROOF.

FRONT ELEVATION 'A' FINISH CALLOUTS:

- PERFORATED SHINGLES, OPT. TILE ROOF
- 1/2" TEXT. BRUCCO FINISH ON METAL LATH OVER EXTERIOR SHEATHING
- EL. 10'-0" FIN. H.L.
- EL. 9'-6" FIN. H.L.
- EL. 9'-0" FIN. H.L.
- EL. 8'-6" FIN. H.L.
- EL. 8'-0" FIN. H.L.
- EL. 7'-6" FIN. H.L.
- EL. 7'-0" FIN. H.L.
- EL. 6'-6" FIN. H.L.
- EL. 6'-0" FIN. H.L.
- EL. 5'-6" FIN. H.L.
- EL. 5'-0" FIN. H.L.
- EL. 4'-6" FIN. H.L.
- EL. 4'-0" FIN. H.L.
- EL. 3'-6" FIN. H.L.
- EL. 3'-0" FIN. H.L.
- EL. 2'-6" FIN. H.L.
- EL. 2'-0" FIN. H.L.
- EL. 1'-6" FIN. H.L.
- EL. 1'-0" FIN. H.L.
- EL. 0'-6" FIN. H.L.
- EL. 0'-0" FIN. H.L.

REAR ELEVATION FINISH CALLOUTS:

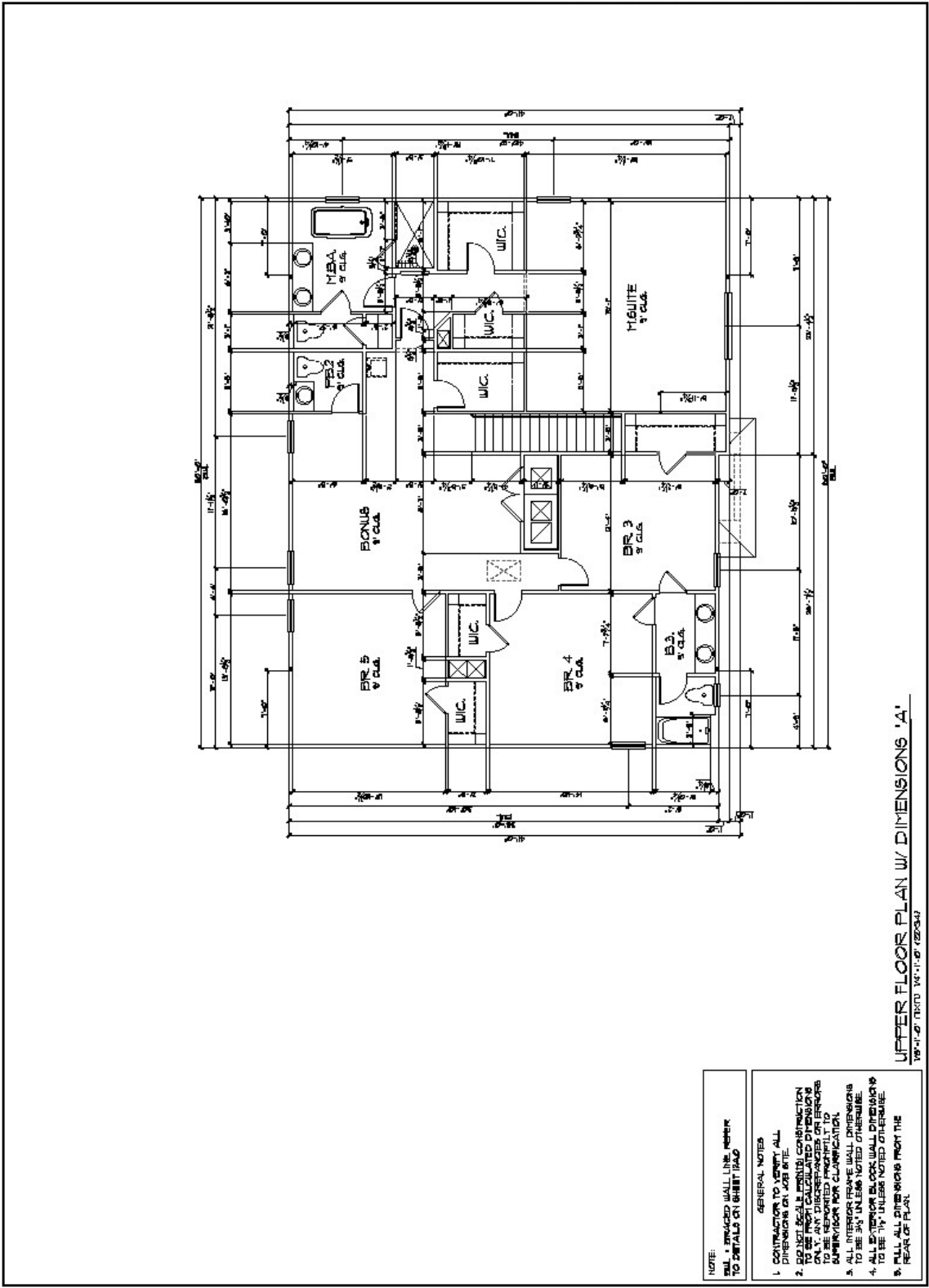
- PERFORATED SHINGLES, OPT. TILE ROOF
- 1/2" TEXT. BRUCCO FINISH ON METAL LATH OVER EXTERIOR SHEATHING
- EL. 10'-0" FIN. H.L.
- EL. 9'-6" FIN. H.L.
- EL. 9'-0" FIN. H.L.
- EL. 8'-6" FIN. H.L.
- EL. 8'-0" FIN. H.L.
- EL. 7'-6" FIN. H.L.
- EL. 7'-0" FIN. H.L.
- EL. 6'-6" FIN. H.L.
- EL. 6'-0" FIN. H.L.
- EL. 5'-6" FIN. H.L.
- EL. 5'-0" FIN. H.L.
- EL. 4'-6" FIN. H.L.
- EL. 4'-0" FIN. H.L.
- EL. 3'-6" FIN. H.L.
- EL. 3'-0" FIN. H.L.
- EL. 2'-6" FIN. H.L.
- EL. 2'-0" FIN. H.L.
- EL. 1'-6" FIN. H.L.
- EL. 1'-0" FIN. H.L.
- EL. 0'-6" FIN. H.L.
- EL. 0'-0" FIN. H.L.

GENERAL NOTES:

- 1. ADD 1/2" SMOOTH FINISH BANDS TO ALL WINDOW DOORS / ACCESS TYPES & ROSES & REAR ELEVATIONS

		DREAM FINDER'S HOMES 3273 MONTEGO UPPER FLOOR PLAN DIMENSIONS	
PROJECT NO: 04AA DATE: 04-10-10 SCALE: AS SHOWN	DRAWN BY: [Name] CHECKED BY: [Name]	PREPARED BY: [Name] DATE: 04-10-10 PROJECT NO: 04AA	SHEET NO: 04AA OF 04

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UPPER FLOOR PLAN W/ DIMENSIONS 1/4"
 108-11-07 (REV) 104-11-07 (REV) 04AA

- NOTE:**
 1. BRACKETED WALL LINE REFER TO DETAILS ON SHEET 104D
- GENERAL NOTES**
1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
 2. EXISTING LOCAL (MUNICIPAL) CONSTRUCTION DIMENSIONS SHALL TAKE PRECEDENCE OVER DIMENSIONS TO BE REPORTED FROM CITY TO SUBMITTALS FOR CLARIFICATION.
 3. ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3/4" UNLESS NOTED OTHERWISE.
 4. ALL DIMENSIONS TO BE TO THE INSIDE UNLESS NOTED OTHERWISE.
 5. ALL DIMENSIONS FROM THE REAR OF PLAN.

MONTEGO



FRONT ELEVATION 'D'



FRONT ELEVATION 'E'

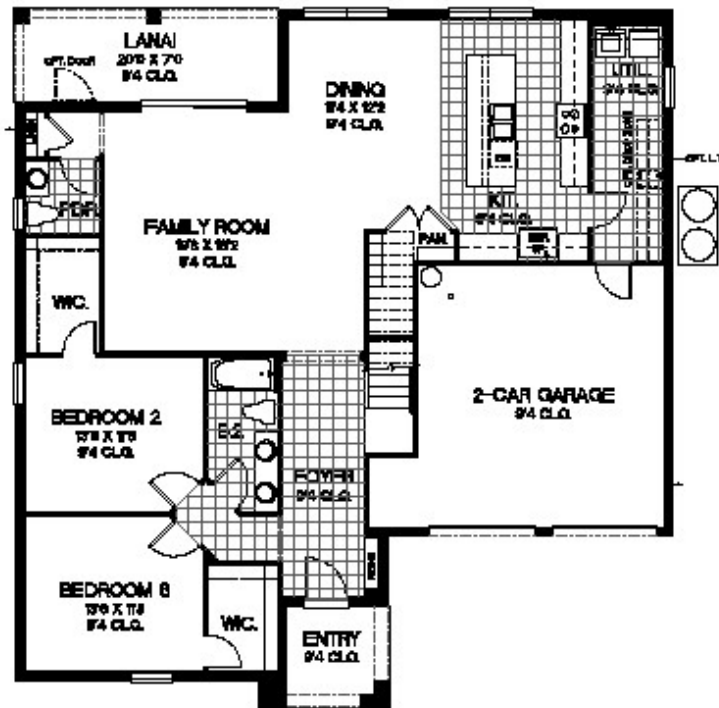


FRONT ELEVATION 'F'

WINCEY GROVES

MONTEGO

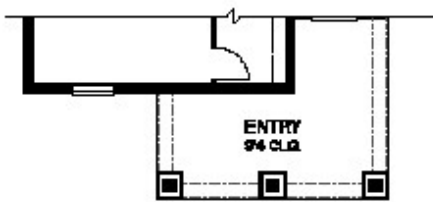
WINCEY GROVES



ELEVATION D



ELEVATION E FRONT PORCH



ELEVATION F FRONT PORCH

MONTEGO

TABULATION	
LOWER LIVING	1705
UPPER LIVING	1962
TOTAL LIVING	3,667
GARAGE	483
ENTRY	68
LANAI	140
TOTAL UNDER ROOF	4,298

SWEETWATER



FRONT ELEVATION 'D'



FRONT ELEVATION 'E'

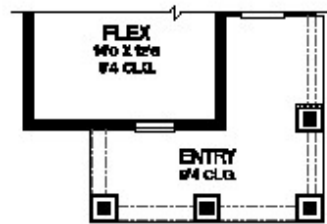
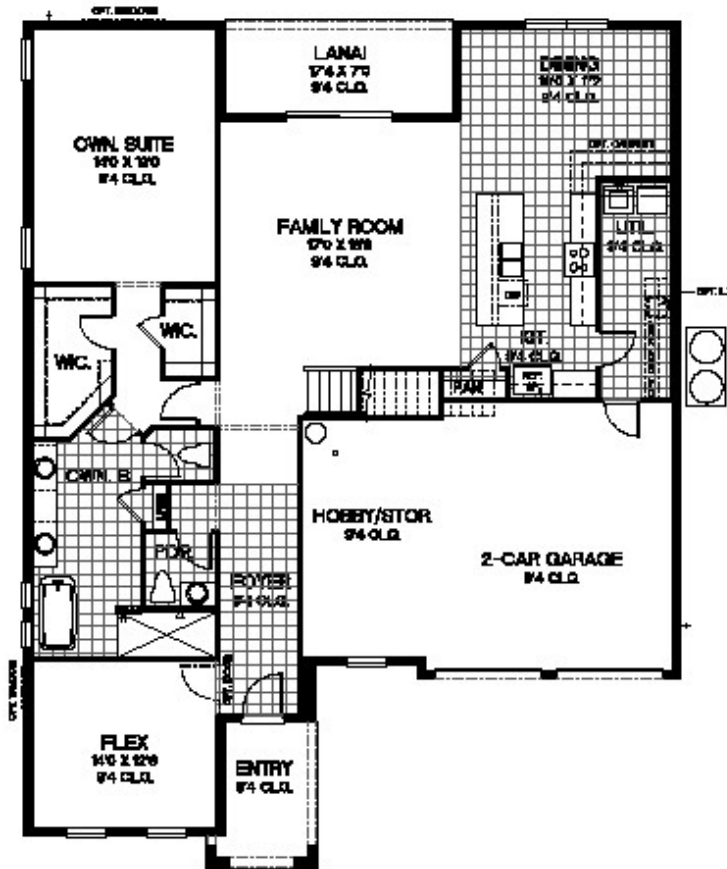


FRONT ELEVATION 'F'

WINCEY GROVES

SWEETWATER

WINCEY GROVES



ELEVATION F FRONT PORCH

SWEETWATER

TABULATION	
LOWER LIVING	1,897
UPPER LIVING	2,448
TOTAL LIVING	4,443
GARAGE	581
ENTRY	80
LANAI	121
TOTAL UNDER ROOF	5,225



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 97 N. Saint Andrews Dr.
 Ormond Beach, FL 32174
 PH: 386.316.8426

MEMORANDUM

TO: Howey-in-the-Hills Planning Board
CC: J. Brock, Town Clerk
FROM: Thomas Harowski, AICP, Planning Consultant
SUBJECT: 2023-2024 EAR Review Program
DATE: October 23, 2023

As we have reviewed the comprehensive plan and development code issues over the past few months, one of the tasks that has been identified is the undertaking of periodic review and update of the comprehensive plan. The review, called the Evaluation and Appraisal Review (EAR), is required every seven years by state law. The last review by the Town was undertaken in 2017 with the EAR-based comprehensive plan amendments being approved in 2018. Given the self-examination of the comprehensive plan the Town has been doing, this seemed like an appropriate time to undertake the full EAR-based amendment process.

During the last review, the staff prepared a series of reports, one for each element of the comprehensive plan, which were reviewed by the Planning Board. Where amendments to the goals, objectives and policies were needed, the Planning Board made recommendations to the Town Council. Eventually, the EAR-based amendments were adopted, approved through the standard state review process, and the comprehensive plan document was edited and updated. Staff is proposing a similar process for this review.

The staff recommendation is to begin the process with an update to the key sets of data for information such as population projections, changes to land use, changes to public services, and identification of development trends affecting the Town. This information and analysis stage seems like a good place to begin and the objective will be to present a report at the November Planning Board meeting. Prior to that meeting is the joint workshop with the Town Council and the Planning Board on November 1st which will present a package of comprehensive plan recommendations that were generated by the review and comment process that was recently concluded. The output from this meeting can then be considered along with any other proposals for revisions to the Future Land Use Element. Beginning in December, we can initiate the individual element reviews of goals, objectives, and policies that can lead to proposed amendments to the comprehensive plan. The intended approach is to look at two elements at each meeting where one of the major elements will be paired with the smaller or single-purpose elements. If discussion extends beyond one meeting, the schedule can be adjusted as

needed. The following schedule is offered as the initial proposal for review at the October Planning Board meeting.

Month	Primary Element	Secondary Element
November	Data Updates	Data Updates
December	Future Land Use	Public Participation Property Rights
January	Traffic Circulation	School Concurrency
February	Housing	Intergovernmental Coordiantion
March	Public Facilities	Capital Improvements
April	Recreation and Open Space	Conservation

In addition to the updates to the data, inputs to the review will include any required changes mandated by recent state law, community inputs from our recent review process, and any other sources of relevant information that may be available. As always, the meetings will be open to the public and there will be opportunities for general public comment. We expect to use a similar report style to that applied in 2017. A copy of one of the 2017 reports is attached to give an idea of the report style. The report format was as follows:

- Introduction
- Data and Analysis Review
- Changed Conditions
- Goals, Objectives and Policies
- Action Recommendations

Several of the maps supporting the comprehensive were correctly criticized as being difficult to read, so one of our objectives will be to provide improved maps. The Board will want to consider if all of the maps included in the comprehensive plan need to be continued in the updated plan. Some of the maps repeat data that is readily available from other sources and in some cases are difficult to read and understand just based on the scale involved. For example, the plan includes a map of contour elevations which even in an improved presentation will be difficult to read just based on the scale involved. This information is readily available from Lake County sources including the property appraiser’s web site. Because the original source data for many of the maps is no longer available to the Town, reproducing updated maps will be time consuming and relatively expensive. We will want to make sure the mapped data needs to be included in the plan document.

Another choice to consider is whether the data and analysis sections of the plan need to be formally adopted as part of the plan. This is the approach currently used in the Town’s plan. Many communities include only the goals, objectives and policies along with the required maps as the officially adopted plan document. This option reduces the bulk of the comprehensive plan document which will hopefully make it more understandable for the general public. The supporting data and analysis reports are

retained as separate documents that are available for public review as the basis for the planning decisions made in the adopted plan documents.

HOWEY-IN-THE-HILLS

HOUSING ELEMENT

EVALUATION AND APPRAISAL REPORT

INTRODUCTION

At least every seven years the Town is required to review its comprehensive plan and determine if any changes are required as a result of changed conditions or as a result of changes in State requirements. Since the last evaluation and appraisal was done in 2010, the Town is due to conduct a review in 2017. According to the schedule issued by the Department of Economic Opportunity, the Town is due to submit its determination on needed revisions by October 1, 2017. The Town has established a schedule for review of individual elements over the first half of 2017 to allow the Planning Board to digest the comprehensive plan in manageable sections and discuss potential revisions.

In support of this effort, the staff will provide a summary report for each element discussing the current contents of the element, changes to conditions that have occurred since the last review, changes to requirements, and other relevant information. This report presents the Housing Element for consideration. The Housing Element deals with a range of issues related to the quantity and quality of housing the community, and these will be explored in this report based on housing trends and the goals, objective and policies contained in the Housing element.

DATA AND ANALYSIS REVIEW

Since 2010, housing development in the Town has been nearly at a standstill. Available statistical data shows the housing stock increased by eight units over the five-year period between 2010 and 2015. With the restart of the Venezia Phase 1 subdivision, housing growth began a recovery in the late 2015 and 2016-time period. Current and recently completed construction includes more than 20 units. Appendix A includes several tables from the current plan element which have been reworked to include data from the 2010 Census and 2015 housing data from the American Community Survey. The data is organized to show trends within Howey-in-the-Hills rather than comparisons between the Town and Lake County as a whole. There are some inconsistencies in the data from table to table due in part to the sampling process used and the small sample sizes that Howey-in-the-Hills yields as small town.

Given the very small growth in total housing units, major changes in the housing profile are not expected, and the comparison data generally supports this position. Of note:

- Single-family housing still comprises over 80% of the total housing units. Multi-family housing, primarily townhouse development, expected with the Village Mixed Use projects did not

appear as these projects, with the exception of Venezia, were gobbled up by the recession. Several of these projects are being recast, but no active development is occurring.

- The rework of Table 4 shows housing values have drifted downward. The Town's housing stock, in terms of value, has clearly not fully recovered from the recession impacts. Despite this trend median housing value remains relatively high at \$171,900.
- The number of vacant housing units has decreased as units vacated during the recession have been reabsorbed by new owners and renters.
- Of units identified as vacant, a significant portion are identified as seasonally occupied. This factor tends to overstate the vacancy level somewhat.
- There has been some aging of the population. This trend is noticeable in many of the outer counties in the Orlando Metropolitan Area.

Other statistics indicate the Town has eliminated housing units that are declared overcrowded (more than one person per room) and housing units that lack a kitchen or lack some plumbing. While never a significant problem in the Town, this data suggests improvements in the overall condition of the housing stock however minor in scope. For 2015 the number of persons reported as living in poverty was 1.9%. When combined with the Town's median household income of \$63,021, affordable housing does not comprise a significant demand within the community.

ANALYSIS OF CHANGED CONDITIONS

Howey-in-the-Hills has relatively few issues with the quality of housing, and it has relatively little experience in dealing with low or moderate income housing, mobile homes, and even market rate multi-family housing. As noted above, demand for these types of housing has been relatively low in the community. The Town desires a housing stock that is largely owner occupied and dominated by single-family housing. The policies in the plan and the active market forces are producing this result, so the plan is effective in this regard. The Housing Element does include policies dealing with affordable housing issues, mobile homes, group housing, historic structures and other related issues. The Town will have guidance in addressing these housing issues should they arise.

One of the key items in the 2010 housing analysis is the identification of sufficient land area to support future housing demand. Actual demand has been lower than expected due to the lower than projected population growth. The conclusion is 2010 was that the Town did have sufficient available land area to support the projected housing need, and nothing has occurred in the succeeding years to alter this conclusion. The local market is in the process of absorbing the 172-lot Venezia South subdivision while the Venezia North subdivision and Whispering Hills (107 lots) have progressed through the plat stage.

Much of the potential for housing diversity lies in the Village Mixed Use projects. Venezia is the first of these to come to market with the current single-family subdivision

supported by commercial and townhouse development areas that are yet to be developed. There are three other VMU projects that received conceptual approval prior to the recession and have not resumed development. One of these, the Lake Hill development at SR 19 and CR 48 has received approval for a revised layout. The revised plan still contains single-family and townhouse residential units with some commercial development area and recreation facilities. Development timing on this project and the other VMU development is uncertain. However, these projects offer the opportunity to introduce a more diverse housing stock when the market demand appears. The comprehensive plan intended these projects to accommodate the mixed use and more diverse housing types so that the established single-family neighborhoods would maintain their traditional character. The plan to date is working in this regard and no major change in direction is indicated.

GOALS, OBJECTIVES AND POLICIES

A review of the goals, objectives and policies that comprise the Housing Element identified two pairs of policies that had performance time frames associated with them. Policies 1.9.2 and 1.9.3 relate to an annual report on housing demand. This report has not been done, and really has not been necessary given the very low level of development demand. The Town should determine whether an annual report is useful and eliminate or modify the policies as appropriate.

Policy 1.11.3 required the Town to post information on the web site by 2012 regarding renewable energy systems. With the much greater abundance of internet sources for individuals to research these items, the posting of general information on renewable energy sources seems superfluous. This policy should be deleted. Policy 1.11.4 directed code provisions regarding green building practices be incorporated into the development regulations by 2012. This task has been accomplished and the policy may be modified or removed from the plan.

RECOMMENDATION

As other revisions to the comprehensive plan are expected, the housing element should be modified to update selected data tables and to modify the policies described in the preceding section.

APPENDIX A BEIGNS ON NEXT PAGE

**TABLE 1: HOUSING UNIT BY STRUCTURE TYPE
HOWEY-IN-THE-HILLS**

Structure Type	2000		2010		2015	
	Number of Units	Percent of Total Units	Number of Units	Percent of Total Units	Number of Units	Percent of Total Units
Single-Family Detached	392	86.92%	510	81.4%	515	80.7%
Single-Family Attached	30	6.65%	34	7.0%	20	3.1%
Two-Family*	9	2.00%	0	0%	22	3.1%
Multi-Family	18	3.99%	86	11.6%	75	11.8%
Mobile Homes	2	0.44%	0	0%	6	1.3%
Other	0	0.00%	0	0%	0	0%
Total	451	100.00%	630	100.00%	638	100%

**TABLE 2: NUMBER OF YEAR-ROUND UNITS BY AGE
HOWEY-IN-THE-HILLS**

Year Constructed	2000		2010		2015	
	Number of Units	Percent of Total	Number of Units	Percent of Total	Number of Units	Percent of Total
2014 or Later					0	0.0
2010-2013					0	0.0
2000-2009			160	25.4	123	19.3
1990-1999	93	20.6	75	11.9	126	19.7
1980-1989	59	13.1	56	8.9	93	14.6
1970-1979	86	19.1	93	14.8	79	12.4
1960-1969	64	14.2	64	10.2	57	8.9
1959-1959	90	20.0	129	20.5	104	16.3
1940-1949	11	2.4	16	2.5	12	1.9
1939 or Earlier	48	10.6	37	5.8	44	6.9

**TABLE 3: HOUSING CHARACTERISTICS BY TENURE
HOWEY-IN-THE-HILLS**

Tenure	2000		2010		2015	
	Units	Percent	Units	Percent	Units	Percent
Total Housing Units	451	100.0	630	100.0	638	100.0
Owner-Occupied	336	74.5	407	64.6	442	69.3
Renter Occupied	54	12.0	77	12.2	85	13.3
Vacant Housing Units	61	13.5	146	23.2	111	17.4
Vacant Housing Units (For Seasonal or Recreational Use)	24	39.3	32	21.9		

**TABLE 4: VALUE OF SPECIFIED OWNER OCCUPIED HOUSING UNITS
HOWEY-IN-THE-HILLS**

Total Value	2000		2010		2015	
	Number Of Units	Percent of Total	Number of Units	Percent of Total	Number of Units	Percent of Total
<\$50,000	8	2.56%	7	1.7	25	5.7
\$50,000-\$99,999	119	38.14%	34	8.4	42	9.5
\$100,000-\$149,999	94	30.13%	30	7.4	111	25.1
\$150,000-\$199,999	60	19.23%	90	22.1	99	22.4
\$200,000-\$299,999	25	8.01%	126	31.0	103	23.3
\$300,000-\$499,000	4	1.28%	100	24.6	59	13.3
\$500,000-\$999,999	2	0.64%	20	4.9	3	0.7
\$1,000,000 or more	0	0.00%	0	0.0	0	0.0
Total	312	100.00%	407	100.0	442	100.0

**TABLE 10: POPULATION PROJECTION BY AGE
HOWEY-IN-THE-HILLS**

Age Group	2010 PLAN	2010 CENSUS	VARIANCE	2015 ESTIMATE
0-14 years old	184	148	-36	166
15-24 years old	135	108	-28	107
25-34 years old	72	84	12	119
35-44 years old	121	131	10	143
45-54 years old	270	183	-87	151
55-64 years old	200	194	-6	196
65-74 years old	150	137	-13	205
75+ years old	93	113	20	147
Total	1,225	1098	-127	1234