



Development Review Committee

April 10, 2025 at 2:00 PM
Howey-in the-Hills Town Hall
101 N. Palm Ave.,
Howey-in-the-Hills, FL 34737

Join Zoom Meeting: <https://us06web.zoom.us/j/85709698331?pwd=TtbtC8HdO1HswcXTzGpoEKpvr5rVZp.1>
Meeting ID: 857 0969 8331 | **Passcode:** 927081

AGENDA

CALL TO ORDER ATTENDANCE

NEW BUSINESS

- 1. Discussion: Mission Rise Preliminary Subdivision Plan Submittal**

PUBLIC COMMENTS

Any person wishing to address the Development Review Committee and who is not on the agenda is asked to speak their name and address. Three (3) minutes is allocated per speaker. The general Public Question & Comment period will be limited to a maximum of thirty (30) minutes unless extended by the Presiding Officer.

ADJOURNMENT

To Comply with Title II of the Americans with Disabilities Act (ADA):

Qualified individuals may get assistance through the Florida Relay Service by dialing 7-1-1. Florida Relay is a service provided to residents in the State of Florida who are Deaf, Hard of Hearing, Deaf/Blind, or Speech Disabled that connects them to standard (voice) telephone users. They utilize a wide array of technologies, such as Text Telephone (TTYs) and ASCII, Voice Carry-Over (VCO), Speech to Speech (STS), Relay Conference Captioning (RCC), CapTel, Voice, Hearing Carry-Over (HCO), Video Assisted Speech to Speech (VA-STS) and Enhanced Speech to Speech.

Howey Town Hall is inviting you to a scheduled Zoom meeting.

Topic: **Development Review Committee**

Time: **Apr 10, 2025 02:00 PM Eastern Time (US and Canada)**

Join Zoom Meeting

<https://us06web.zoom.us/j/85709698331?pwd=TtbtC8HdO1HswcXTzGpoEKpvr5rVZp.1>

Meeting ID: 857 0969 8331

Passcode: 927081

Dial by your location

+1 646 558 8656 US (New York)

+1 346 248 7799 US (Houston)

Meeting ID: 857 0969 8331

Passcode: 927081

Find your local number: <https://us06web.zoom.us/j/85709698331>

Please Note: In accordance with F.S. 286.0105: Any person who desires to appeal any decision or recommendation at this meeting will need a record of the proceedings, and that for such purposes may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is based. The Town of Howey-in-the-Hills does not prepare or provide this verbatim record. Note: In accordance with the F.S. 286.26: Persons with disabilities needing assistance to participate in any of these proceedings should contact Town Hall, 101 N. Palm Avenue, Howey-in-the-Hills, FL 34737, (352) 324-2290 at least 48 business hours in advance of the meeting.



ZONING MEMORANDUM

April 9, 2025

Prepared for
Town of Howey-in-the-Hills
Attn: Sean O'Keefe, Town Manager



Mission Rise: Pre-Application Subdivision Plan Review Comments

Applicant: ASF TAP FL I LLC c/o Jason Humm

Planning staff reviewed the proposed Mission Rise Preliminary Subdivision Plans for pre-application. All previous review comments have been addressed. Thank you. Below is some information that will help the applicant prepare for the Final Subdivision Plans review stage regarding requirements for tree replacement.

Please note that Landscaping, hardscaping, and irrigation plans are required to be submitted with Final Site Plans and Final Subdivision Plans. These plans shall be signed and sealed by a licensed landscape architect registered in the State of Florida. The Land Development Code (LDC) Chapter 7 provides the requirements for landscaping, hardscaping, and irrigation. This also includes tree replacements plans and will need to detail the following at that time:

- a. Based on the Tree Removal Table (Sheet C211) it appears that 4652.8 feet of trees are to be removed. Please provide the total number of trees on site and any replacement data consistent with the Land Development Code (LDC). Please revise the Table to indicate which are Specimen Trees and which are Heritage Trees and provide the replacement data in concert with the LDC. LDC Section 7.11.03 requires 50% of all specimen trees be preserved on a parcel. LDC Section 7.11.02 requires protection of all Historic Trees unless one of the following conditions is met:
 - i. The tree is not suitable for preservation as determined by a certified arborist.
 - ii. The tree is a threat to a principal structure or otherwise constitutes a hazard requiring removal as determined by a qualified arborist or professional engineer.
 - iii. The placement of the tree prohibits the economic use of the property for permissible development.



- b. Please indicate why the trees are being removed on the Tree Removal Table (Sheet C211) and whether any proposed to be removed are on the Town's prohibited plant list. If they are plant species that are prohibited by the Florida Department of Environmental Protection or the Florida Department of Agriculture, or listed as invasive by the Florida Exotic Pest Control, this information needs to be provided on the Tree Removal Table for each tree listed.
- c. Please provide data and evaluate, consistent with LDC Section 7.11.04, if any trees can be saved by redesign.
- d. Tree Protection Detail needs to be provided on the plans to comply with LDC Section 7.11.01.

April 7, 2025
Mission Rise – Preliminary Subdivision Plan
Engineering Review Comments
Page 1

The survey at the east end along SR 19 conflicts with the surveys of the two outparcels. The survey differences will need to be resolved prior to Final Subdivision Plan approval. If the final determination is in favor of the outparcels, it would result in a reduction of 0.92 acres from the Mission Rise project area. For this PSP provide alternate site data demonstrating that project densities and open space requirements would still be met with the reduced project area.

Mission Rise should be designed as a Complete Streets, pedestrian friendly community. The intersections of the residential streets need to provide full pedestrian accommodation. Pedestrians need to have clearly designated means (crosswalks & signage) to safely traverse an intersection from any corner to any other corner or side. Additionally, intersection geometry and crosswalk layout needs to conform to the town standard (see Howey detail R-1A). The configuration of the sidewalks & crosswalks in this PSP do not sufficiently meet the above criteria. This can be addressed in further detail during the Final Subdivision Plan review process.



Date: March 26, 2025

Howey in the Hills
101 N. Palm Avenue
Howey-in the-Hills, Florida 34737

**RE: Mission Rise
Preliminary Subdivision Plan Transmittal Letter**

Dear John Brock,

Please find enclosed all required documents pertaining to the 2nd Submittal of the Preliminary Subdivision Plan for the single-family development, Mission Rise. These documents include the required items/plans by the review comments received on March 12, 2025:

REQUIRED ITEMS	INCLUDED
Eight (8) Sets of Plans	X
One (1) Electronic Copy	X
Comments Response Letter	X

Respectfully,

Katlyn Crowell, P.E.

Project Manager

ATWELL, LLC

Orlando, FL - Magnolia



3/27/2025

Town of Howey-in-the-Hills
101 N. Palm Avenue
Howey-in the-Hills, Florida 34737

RE: Mission Rise
Atwell Project Number: 23000180

This letter is in response to your review of the Mission Rise project. The plans have been revised per the comments in your letter dated 3/12/2025. Below is a list of each comment with our responses in bold.

Town Planner

1. Please show Phasing consistent with the Mission Rise PUD Development Agreement dated September 4, 2024 and recorded in Lake County Official Records OR Book 6406, Page 1267.
Response: Please see sheet C100 for the Phasing Plan.
2. Please revise the lot widths on Lot 49 and Lot 135.
Response: Please see revised sheet C201 for the additional callouts for Lots 49 and 135.
3. Please revise the plans to show the acreage of each amenity tract and the access restrictions consistent with the Mission Rise PUD Development Agreement dated September 4, 2024 and recorded in Lake County Official Records OR Book 6406, Page 1267.
Response: Please see the Tract Area Table on sheet C200. The Acreage and Ownership for all tracts including Amenities were included in that table.
4. Please revise the plans to demonstrate on the plans how the Open Space calculations comply with Comprehensive Plan Policy 1.1.4- Interpretation of Open Space and Density Designations, which states:
Open space and parks and recreation requirements are figured on the Gross Land Area. Up to 25% of the open space requirement may be met with wetlands. Open space may include landscaped buffers and stormwater facilities if they are designed to be a park-like setting with pedestrian amenities and free form ponds. Open space may be passive or active. Open space may include public recreational components of developments. The majority of the open space shall be permeable; however, up to



10% may be impervious (plazas, recreational facilities, etc.). Wet ponds are not counted as part of that 10%.

Response: The revision to Chapter 1 of the Comprehensive Plan Policy was published after our Zoning application was submitted. We should be grandfathered into the old code and not have to change out open space requirements. Per our PUD Concept Plan under Notes, we are allowed “Up to 50% of required Open Space can be from Preserved Wetlands”.

5. Please demonstrate how the proposed buffers are consistent with Mission Rise PUD Development Agreement dated September 4, 2024 and recorded in Lake County Official Records OR Book 6406, Page 1267.

Response: Please see revised sheets C201 to C203 for all buffers that are consistent with the Mission Rise PUD Development Agreement.

6. An Amenity is called out on Sheet C202 on the South side of the project but it is not listed an Amenity Tract. What is this Amenity and please identify it on the Sheet.

Response: Please see revised sheet C202 for the callout for Tract E.

7. Please explain “Option 1” and “Option 2” for road design and how they relate to the Mission Rise PUD Development Agreement dated September 4, 2024 and recorded in Lake County Official Records OR Book 6406, Page 1267

Response: For the 50’ ROW there are two options, one is a typical 50’ ROW and the second includes parallel parking along the roadway. These are consistent with the Mission Rise PUD Development Agreement. Please refer to Sheet C200 for the typical sections.

8. Consistent with LDC Section 4.05.12 (M), please show the tree survey as a layer on the Preliminary Subdivision Plans to show the relation of the trees to the proposed improvements. The plans should also include a table indicating which trees are proposed to be saved and which are proposed to be removed.

Response: Please see sheets C204 to C211 for the tree survey over the preliminary layout and the tree tables. Refer to Sheet C211 for the save/remove feet.

9. Thank you for providing a copy of the application for concurrency review to the School District. Please provide subsequent communication with/from the Lake County School District as concurrency requirements are met.

Response: Acknowledged. Once we hear back from the Lake County School District, we will let you know.

Town Engineer

General

111 N. Magnolia Ave., Suite 1350, Orlando, FL 32801

www.atwell-group.com



1. Additional comments may be added to these with the reviews of subsequent submittals.
Response: Acknowledged.
2. The survey at the east end along SR 19 conflicts with the surveys of the two outparcels. Copies of those surveys are attached. The survey will need to be corrected and the PSP modified to reflect the adjusted project boundary.
Response: Acknowledged, we are working with all parties to resolve the survey issue.

Traffic & Transportation

1. The connection of Revels Rd & SR 19 should reflect the proposed roundabout. Attached is the most recent concept plan for the intersection. Building the roundabout with the construction of Mission Rise is a provision in the Development Agreement. The town is working with FDOT to establish the roundabout as the town's preferred improvement to this intersection. Revise the plan to incorporate the roundabout.
Response: Please see sheet C203 for the Roundabout Option at SR19 and Revels Road.
2. Provide greater detail on the proposed connection to No. 2 Road. Include turn lane configuration, additional right-of-way dedication, trail accommodation along No. 2 Rd.
Response: Per conversation with Lake County, they only want a Left Turn into our property as well as a Right Out Only leaving our property. This is shown on sheet C201 for reference.

Roads

1. Mission Rise should be designed as a Complete Streets, pedestrian friendly community. The intersections of the residential streets need to provide full pedestrian accommodation. Pedestrians need to have clearly designated means (crosswalks & signage) to safely traverse an intersection from any corner to any other corner or side.
Response: Please see revised sheets C201 to C203 for the additional pedestrian accommodations.
2. Intersection geometry and crosswalk layout needs to conform to the town standard (see Howey detail R-1A).
Response: Please see revised sheets C201 to C203 for the additional intersection geometry and crosswalks.
3. Revise the configuration of the Revels Road realignment to match the attached exhibit.



Response: Please see revised sheet C203 for the updated section of Revels Road to be a 65' ROW instead of 90'. We are working with Hillside Groves for ROW along Revels Road.

- 4. Revise the spine road to incorporate the comments in the attached markup.

Response: Please see sheets C201 to C203 for the addition of the comments from the previously attached markup.

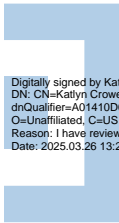
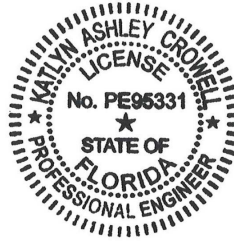
Respectfully,

Atwell, LLC

Katlyn Crowell, PE
Project Engineer

ATWELL, LLC

Orlando, FL - Magnolia

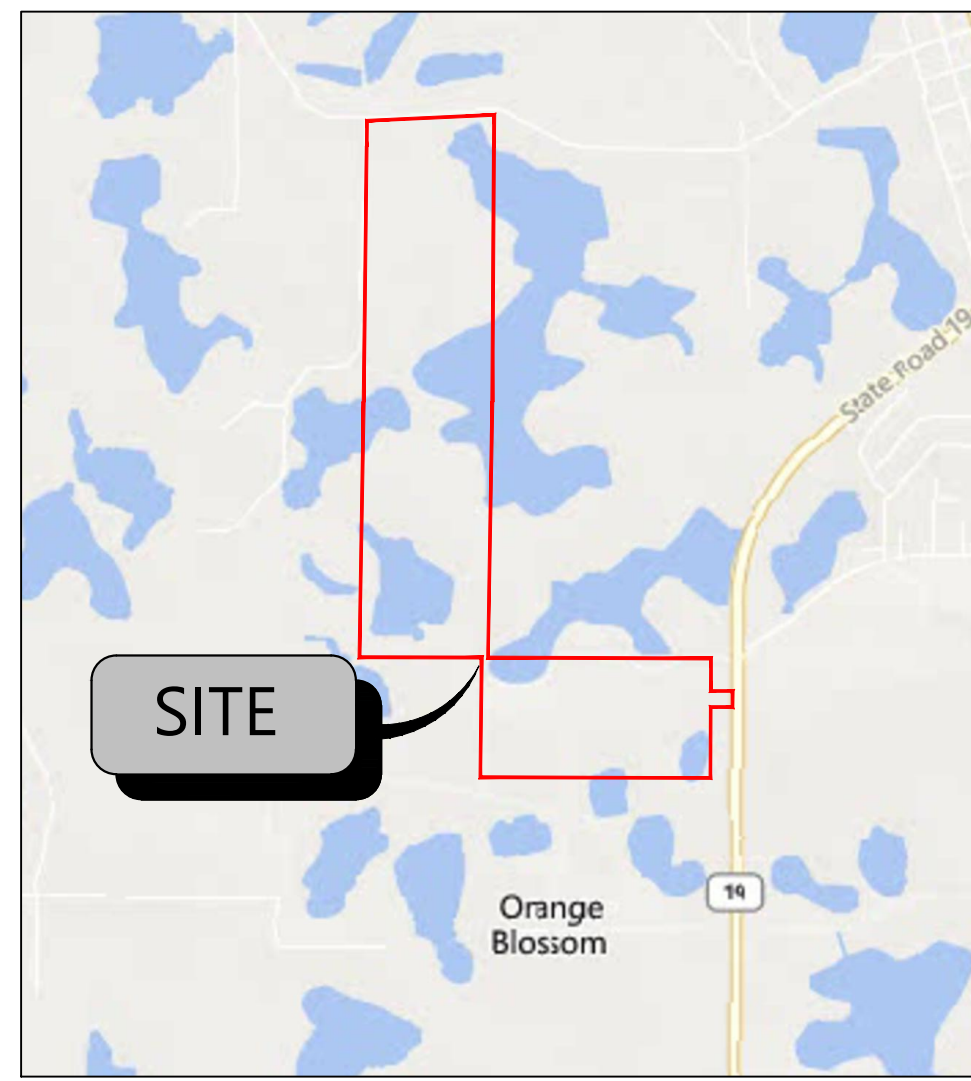


Digitally signed by Katlyn Crowell
DN: cn=Katlyn Crowell,
dnQualifier=A01410DD00001947027F0D900283595,
o=Unaffiliated, c=US
Reason: I have reviewed this document
Date: 2025.03.26 13:26:37-04'00'

PRELIMINARY SUBDIVISION PLAN FOR MISSION RISE

HOWEY-IN-THE-HILLS, FLORIDA

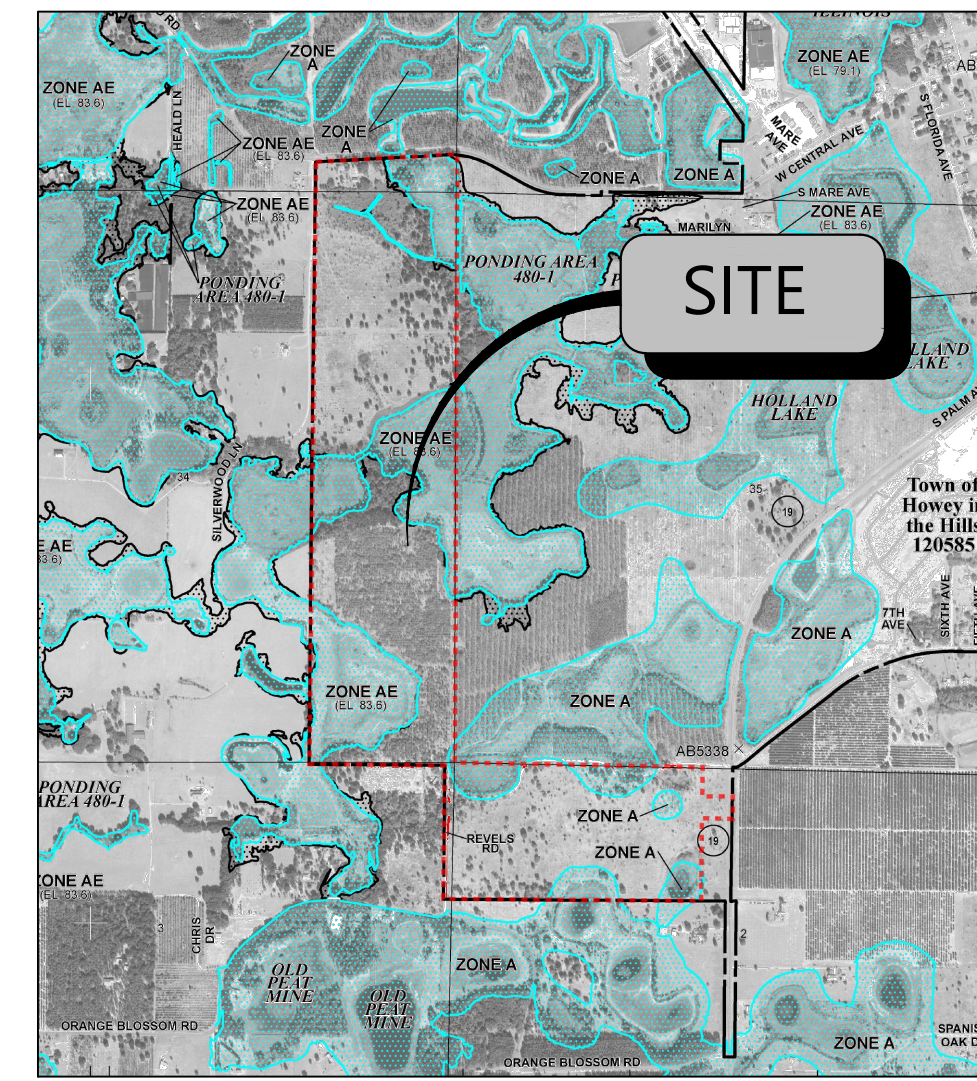
TAX PARCELS: 34-20-25-0004-000-01003, 27-20-25-0004-000-01200, 34-20-25-0001-000-00100, &
02-21-25-0002-000-04800



VICINITY MAP
1" = 2000'



AERIAL MAP
N.T.S.



FEMA MAP
N.T.S.



SOILS MAP
N.T.S.

BASED ON GRAPHIC DETERMINATION, THIS PROPERTY LIES IN A
F.E.M.A./F.I.R.M. SPECIAL FLOOD HAZARD AREA (ZONES "A" & "AE")
PER COMMUNITY PANEL NO.12069C0485E, DATED 12/18/2012.

DEVELOPMENT TEAM

OWNER

ASF TAP FL, LLC
3565 PIEDMONT RD
NE BLDG ONE #200
ATLANTA, GA 30305
PHONE: (630) 816-7002
CONTACT: JASON HUMM
EMAIL:
JHUMM@TURNSTONEGROUP.COM

DEVELOPER

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CIVIL ENGINEER

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RVi PLANNING + LANDSCAPE
ARCHITECTURE
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EMAIL:
JCALDWELL@RVIPLANNING.COM

ENVIRONMENTAL

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3025 EAST SOUTH STREET
ORLANDO, FL 32803
PHONE: (407) 894-5969
CONTACT: KATE GRONINGRT
EMAIL:
KATE@BIO-TECHCONSULTING.COM

GEOTECH

UES PROFESSIONAL SOLUTIONS,
LLC
3532 MAGGIE BOULEVARD
ORLANDO, FLORIDA 32811
PHONE: (407) 423-0504
CONTACT: RICARDO C. KIRIAKIDIS L.
EMAIL: RKIRIAKIDIS@TEAMUES.COM

TRAFFIC

TRAFFIC & MOBILITY CONSULTANTS
3101 MAGUIRE BOULEVARD
SUITE 265
ORLANDO, FLORIDA 32803
PHONE: (407) 531-5332
CONTACT: CHARLOTTE N. DAVIDSON, P.E.
EMAIL: CHARLOTTED@TRAFFICMOBILITY.COM

GOVERNING AGENCIES AND UTILITY PROVIDERS

ST. JOHNS RIVER WATER
MANAGEMENT DISTRICT
4049 REID STREET
PALATKA, FL 32177
PHONE: (386) 329-4500

TOWN OF HOWEY-IN-THE-HILLS
101 N PALM AVE
HOWEY-IN-THE-HILLS, FL 34737
PHONE: (352) 324-2290

WATER

TOWN OF HOWEY-IN-THE-HILLS
101 N PALM AVE
HOWEY-IN-THE-HILLS, FL 34737
PHONE: (352) 324-2290

SANITARY SEWER

CENTRAL LAKE CDD
219 E LIVINGSTON ST
ORLANDO, FL 32801
PHONE: (407) 841-5524

ELECTRIC

SECO ENERGY
330 US-301
SUMTERVILLE, FL 33585
PHONE: (352) 661-0479

NATURAL GAS

TECO PEOPLES GAS
600 W ROBINSON ST
ORLANDO, FL 32801
PHONE: (407) 425-4662

TELEPHONE/INTERNET

COMCAST
PHONE: (561) 512-9726

PROJECT NARRATIVE

THIS PROJECT REPRESENTS A SIGNIFICANT OPPORTUNITY TO ENHANCE THE TOWN OF HOWEY-IN-THE-HILLS BY THOUGHTFULLY DEVELOPING A 241.48-ACRE PROPERTY AS A SINGLE-FAMILY RESIDENTIAL COMMUNITY WHILE PRESERVING ITS ENVIRONMENTAL ASSETS. MISSION RISE PROJECT FOLLOWS THE APPROVED PUD AND PROPOSES 408 SINGLE FAMILY WITH ASSOCIATED INFRASTRUCTURE, INCLUDING BUT NOT LIMITED TO DRAINAGE AND WATER AND SEWER UTILITIES. RUNOFF WILL BE CONNECTED IN A SERIES OF INLETS AND PIPES AND BE CONVEYED TO PROPOSED PONDS WHICH WILL OUTFALL TO WETLANDS ADJACENT TO THE PROPERTY. THE PROJECT IS LOCATED TO THE SOUTHWEST OF STATE ROAD 19 AND NUMBER 2 RD.

LEGAL DESCRIPTION

PARCEL 1:
THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 20 SOUTH, RANGE 25 EAST, SAID LAND LYING AND BEING IN LAKE COUNTY, FLORIDA.

PARCEL 2:
THAT PART OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER LYING SOUTH OF CLAY ROAD (NUMBER TWO ROAD) IN SECTION 27, TOWNSHIP 20 SOUTH, RANGE 25 EAST, SAID LAND LYING AND BEING SITUATE IN LAKE COUNTY, FLORIDA.

PARCEL 3:
THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 20 SOUTH, RANGE 25 EAST, SAID LAND LYING AND BEING SITUATE IN LAKE COUNTY, FLORIDA.

PARCEL 4:
THE NORTH HALF OF GOVERNMENT LOTS 3 AND 4, ALSO KNOWN AS THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 2, TOWNSHIP 21 SOUTH, RANGE 25 EAST, LAKE COUNTY, FLORIDA, SAID LAND LYING AND BEING SITUATE IN LAKE COUNTY, FLORIDA.

LESS: THE EAST 262 FEET OF THE FOLLOWING DESCRIBED PROPERTY: NORTH HALF OF GOVERNMENT LOT 3, SECTION 2, TOWNSHIP 21 SOUTH, RANGE 25 EAST, LAKE COUNTY, FLORIDA, LYING WEST OF ROAD RIGHT-OF-WAY FOR HIGHWAY 19. LESS THE SOUTH 907 FEET THEREOF.

AND

LESS: THE SOUTH 740 FEET OF THE EAST 262 FEET OF THE FOLLOWING DESCRIBED PROPERTY: NORTH HALF OF GOVERNMENT LOT 3, SECTION 2, TOWNSHIP 21 SOUTH, RANGE 25 EAST, LAKE COUNTY, FLORIDA, LYING WEST OF ROAD RIGHT-OF-WAY FOR HIGHWAY 19.

SHEET INDEX	
Sheet Number	Sheet Title
C000	COVER
C100	PHASING PLAN
C200	OVERALL SITE PLAN
C201	SITE PLAN
C202	SITE PLAN
C203	SITE PLAN
C204	TREE MITIGATION PLAN
C205	TREE MITIGATION PLAN
C206	TREE MITIGATION PLAN
C207	TREE MITIGATION TABLE
C208	TREE MITIGATION TABLE
C209	TREE MITIGATION TABLE
C210	TREE MITIGATION TABLE
C211	TREE MITIGATION TABLE
C301	PAVING AND GRADING
C302	PAVING AND GRADING
C303	PAVING AND GRADING
C401	DRAINAGE PLAN
C402	DRAINAGE PLAN
C403	DRAINAGE PLAN
C501	UTILITY PLAN
C502	UTILITY PLAN
C503	UTILITY PLAN

Know what's below.
Call before you dig.
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER AND HAVE NOT BEEN REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND ACCEPTS FULL RESPONSIBILITY FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR. THE CONTRACTOR SHALL LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR ANY ACCIDENTS OR INJURIES TO PERSONS OR PROPERTY OF ANY KIND ARISING FROM THE WORK OF ANY PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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24 HOUR
EMERGENCY CONTACT

ATWELL
866.850.4200 www.atwell-group.com
111 N. MAGNOLIA AVENUE, SUITE 1350
ORLANDO, FL 32801
COA# 23091

SEC 27,34 TWP 20 S RGE 25 E
HOWEY-IN-THE-HILLS
LAKE COUNTY, FLORIDA

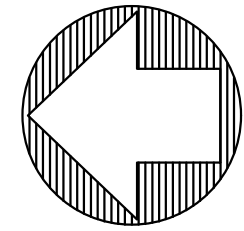
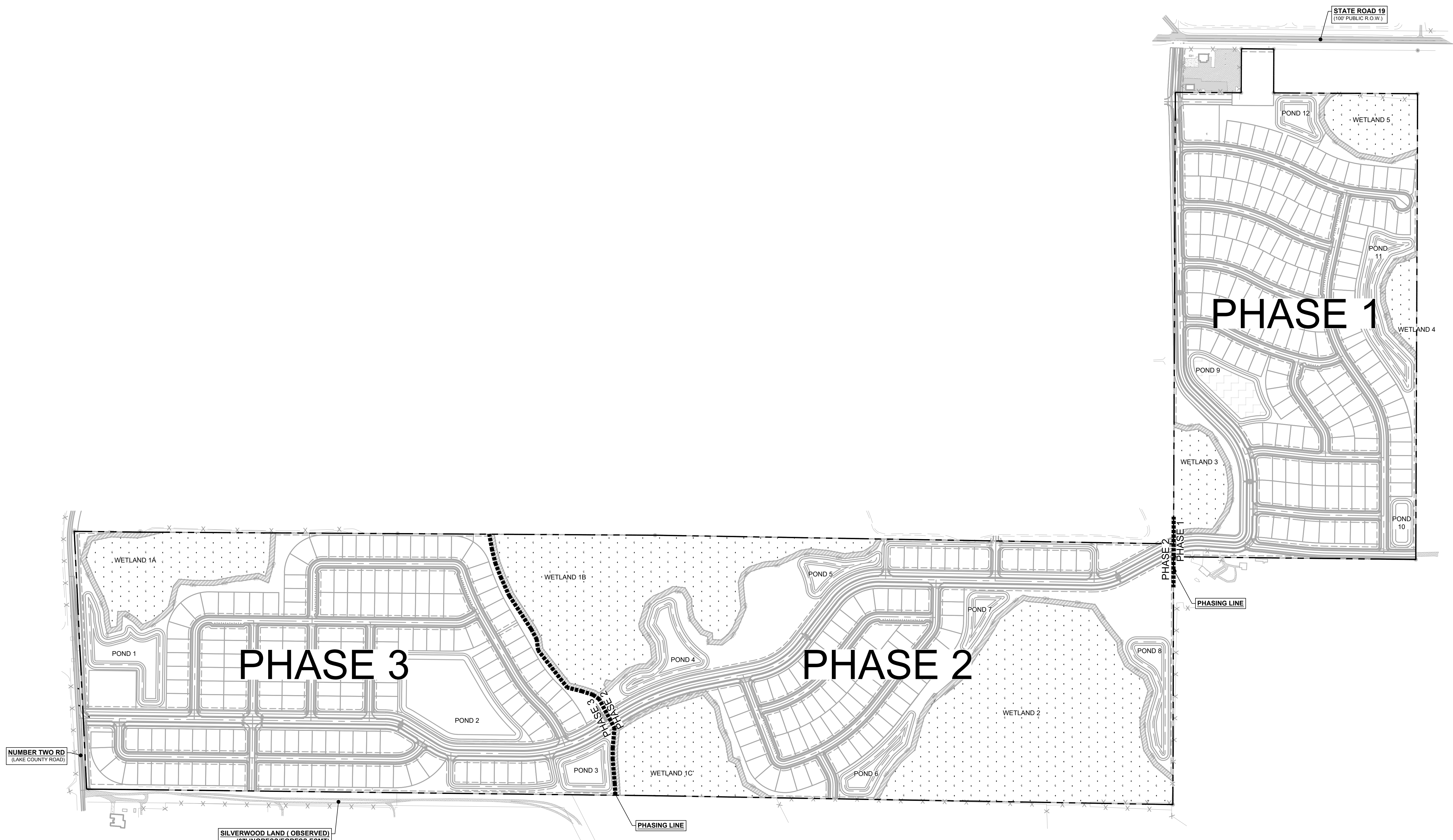
MISSION RISE
TURNSTONE GROUP
PRELIMINARY SUBDIVISION PLAN
COVER

DATE 02/27/2025



DRAWN BY: AP
CHECKED BY: ZOR
PROJECT MANAGER: KC
JOB #: 23000180
FILE CODE: --
SHEET NO. C000

FILE NAME: A:\23000180 Mission Rise 03 and 04\DWG\Phase 1\Phase 1 Preliminary Subdivision\1818-1107 Phase 1 Preliminary Subdivision.dwg DATE: 02/27/2025 11:58 AM PLOTTED BY: Katelyn Greenleaf 3/29/2025 9:45:45 AM PLOTTED IN: Katelyn Greenleaf 3/29/2025 9:45:45 AM PLOTTER: HP DesignJet 2550c (44x36) (14400 x 3600) (Metric) DEVICE: HP10 HP PLOT 2550c (44x36) (14400 x 3600) (Metric) STYL: ATWELL.ctb



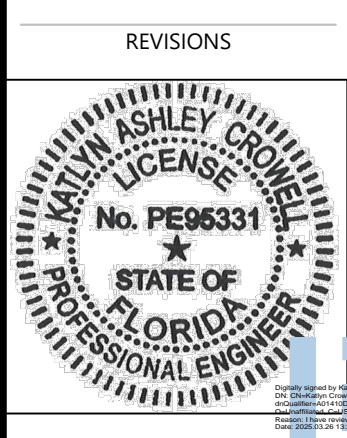
811
Know what's below.
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24 HOUR EMERGENCY CONTACT

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111 N. MAGNOLIA AVENUE, SUITE 1350
ORLANDO, FL 32801
COA# 23091

SEC 27,34 TWP 20 S RGE 25 E
HOWEY-IN-THE-HILLS
LAKE COUNTY, FLORIDA

MISSION RISE
TURNSTONE GROUP
PRELIMINARY SUBDIVISION PLAT
PHASING PLAN

DATE 02/27/2025



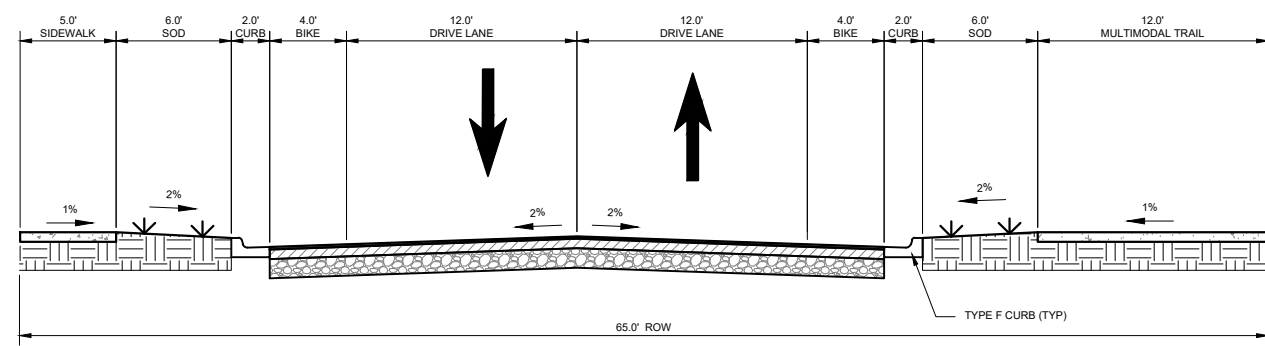
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PROJECT MANAGER: KC
JOB #: 23000180
FILE CODE: --
SHEET NO.

LSPXX-XXXX

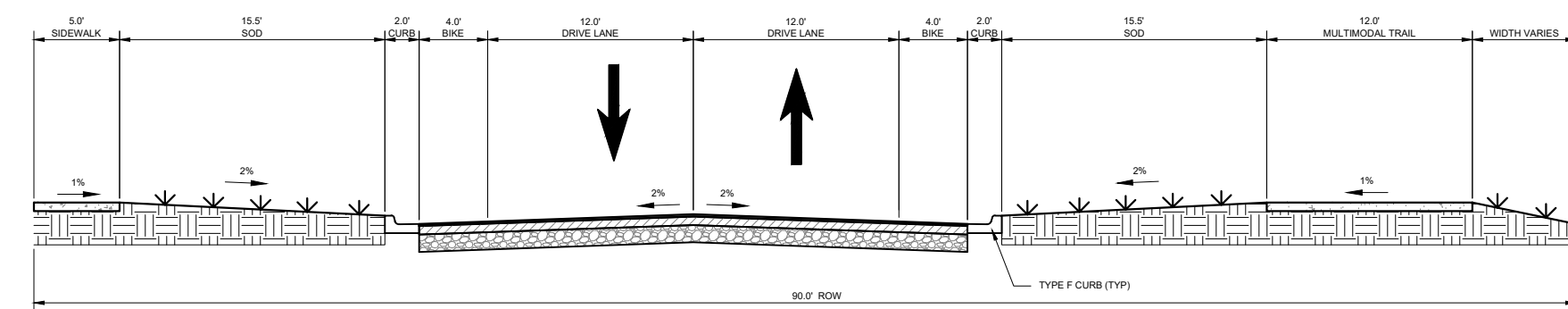
C100

ISSUED FOR CONSTRUCTION

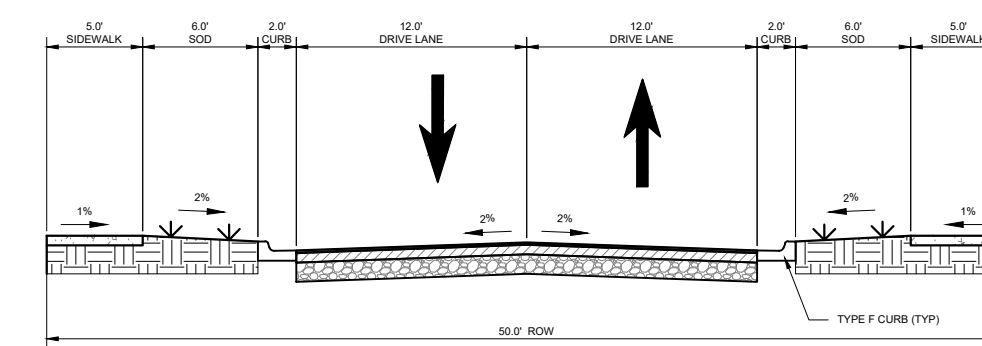
TYPICAL SECTIONS



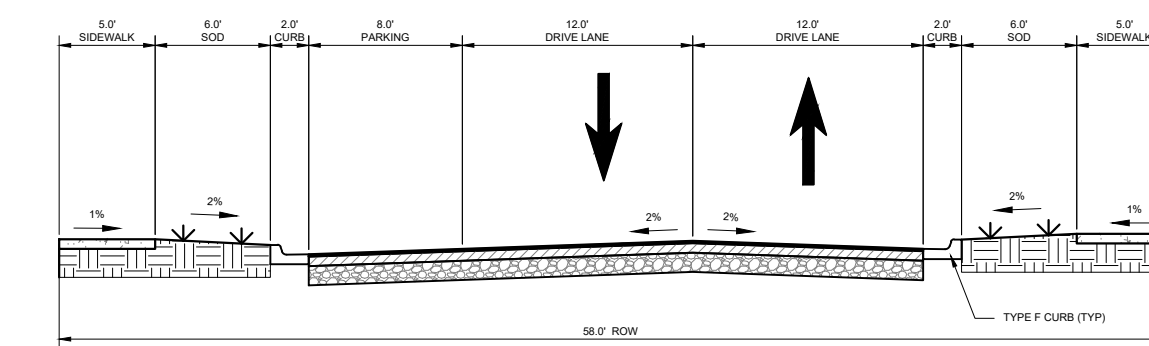
SPINE ROAD
65' ROW WITH BIKE LANE



SPINE ROAD
90' ROW WITH BIKE LANE & 12' MULTIMODAL TRAIL



OPT 1 - NEIGHBORHOOD ROAD
50' ROW



OPT 2 - NEIGHBORHOOD ROAD (PARALLEL PARKING)
58' ROW

TRACT AREA TABLE			
TRACT NAME	USE DESCRIPTION	AREA	OWNERSHIP
LS	PUBLIC LIFT STATION	0.04 AC.	TOWN OF HOWEY-IN-THE-HILLS
OS-1	OPEN SPACE	0.95 AC.	H.O.A. (PRIVATE)
OS-2	OPEN SPACE	0.14 AC.	H.O.A. (PRIVATE)
OS-3	OPEN SPACE	0.14 AC.	H.O.A. (PRIVATE)
OS-4	OPEN SPACE	0.22 AC.	H.O.A. (PRIVATE)
OS-5	OPEN SPACE	1.83 AC.	H.O.A. (PRIVATE)
OS-6	OPEN SPACE	1.03 AC.	H.O.A. (PRIVATE)
OS-7	OPEN SPACE	0.88 AC.	H.O.A. (PRIVATE)
OS-8	OPEN SPACE	0.25 AC.	H.O.A. (PRIVATE)
OS-9	OPEN SPACE	0.13 AC.	H.O.A. (PRIVATE)
OS-10	OPEN SPACE	0.43 AC.	H.O.A. (PRIVATE)
OS-11	OPEN SPACE	0.36 AC.	H.O.A. (PRIVATE)
OS-12	OPEN SPACE	0.99 AC.	H.O.A. (PRIVATE)
OS-13	OPEN SPACE	2.97 AC.	H.O.A. (PRIVATE)
OS-14	OPEN SPACE	0.14 AC.	H.O.A. (PRIVATE)
POND 1	STORMWATER POND	2.31 AC.	H.O.A. (PRIVATE)
POND 2	STORMWATER POND	4.23 AC.	H.O.A. (PRIVATE)
POND 3	STORMWATER POND	1.15 AC.	H.O.A. (PRIVATE)
POND 4	STORMWATER POND	1.75 AC.	H.O.A. (PRIVATE)
POND 5	STORMWATER POND	0.87 AC.	H.O.A. (PRIVATE)
POND 6	STORMWATER POND	1.06 AC.	H.O.A. (PRIVATE)
POND 7	STORMWATER POND	0.69 AC.	H.O.A. (PRIVATE)
POND 8	STORMWATER POND	1.46 AC.	H.O.A. (PRIVATE)
POND 9	STORMWATER POND	1.70 AC.	H.O.A. (PRIVATE)
POND 10	STORMWATER POND	0.49 AC.	H.O.A. (PRIVATE)
POND 11	STORMWATER POND	1.79 AC.	H.O.A. (PRIVATE)
POND 12	STORMWATER POND	0.84 AC.	H.O.A. (PRIVATE)
REVELS ROAD ROW	PUBLIC RIGHT-OF-WAY	16.83 AC.	TOWN OF HOWEY-IN-THE-HILLS
ROW A	PRIVATE RIGHT-OF-WAY	2.30 AC.	H.O.A. (PRIVATE)
ROW B	PRIVATE RIGHT-OF-WAY	6.14 AC.	H.O.A. (PRIVATE)

TRACT AREA TABLE			
TRACT NAME	USE DESCRIPTION	AREA	OWNERSHIP
ROW C	PRIVATE RIGHT-OF-WAY	0.41 AC.	H.O.A. (PRIVATE)
ROW D	PRIVATE RIGHT-OF-WAY	3.81 AC.	H.O.A. (PRIVATE)
ROW E	PRIVATE RIGHT-OF-WAY	0.84 AC.	H.O.A. (PRIVATE)
ROW F	PRIVATE RIGHT-OF-WAY	9.58 AC.	H.O.A. (PRIVATE)
TRACT A	AMENITY	1.09 AC.	H.O.A. (PRIVATE)
TRACT B	NEIGHBORHOOD PARK/OPEN SPACE	3.24 AC.	TOWN OF HOWEY-IN-THE-HILLS
TRACT C	MINI PARK	0.41 AC.	H.O.A. (PRIVATE)
TRACT D	NEIGHBORHOOD PARK/OPEN SPACE	6.93 AC.	TOWN OF HOWEY-IN-THE-HILLS
TRACT E	AMENITY/OPEN SPACE	6.30 AC.	H.O.A. (PRIVATE)
TRACT F	NEIGHBORHOOD PARK/OPEN SPACE	0.82 AC.	TOWN OF HOWEY-IN-THE-HILLS
TRACT G	NEIGHBORHOOD PARK/OPEN SPACE	1.14 AC.	TOWN OF HOWEY-IN-THE-HILLS
TRACT H	NEIGHBORHOOD PARK/OPEN SPACE	1.30 AC.	TOWN OF HOWEY-IN-THE-HILLS
TRACT H (ACCESS ROAD)	TRAIL HEAD SITE ACCESS ROAD	0.38 AC.	TOWN OF HOWEY-IN-THE-HILLS
TRACT I	AMENITY	0.84 AC.	TOWN OF HOWEY-IN-THE-HILLS
TRAIL HEAD SITE	TRAIL HEAD SITE	1.19 AC.	TOWN OF HOWEY-IN-THE-HILLS
WB-1A	WETLAND BUFFER	1.22 AC.	H.O.A. (PRIVATE)
WB-1B	WETLAND BUFFER	2.00 AC.	H.O.A. (PRIVATE)
WB-1C	WETLAND BUFFER	0.88 AC.	H.O.A. (PRIVATE)
WB-2	WETLAND BUFFER	1.59 AC.	H.O.A. (PRIVATE)
WB-3	WETLAND BUFFER	0.54 AC.	H.O.A. (PRIVATE)
WB-4	WETLAND BUFFER	0.39 AC.	H.O.A. (PRIVATE)
WB-5	WETLAND BUFFER	0.43 AC.	H.O.A. (PRIVATE)
WETLAND 1A	WETLAND CONSERVATION	6.38 AC.	H.O.A. (PRIVATE)
WETLAND 1B	WETLAND CONSERVATION	16.37 AC.	H.O.A. (PRIVATE)
WETLAND 1C	WETLAND CONSERVATION	5.91 AC.	H.O.A. (PRIVATE)
WETLAND 2	WETLAND CONSERVATION	23.37 AC.	H.O.A. (PRIVATE)
WETLAND 3	WETLAND CONSERVATION	2.86 AC.	H.O.A. (PRIVATE)
WETLAND 4	WETLAND CONSERVATION	1.31 AC.	H.O.A. (PRIVATE)
WETLAND 5	WETLAND CONSERVATION	3.10 AC.	H.O.A. (PRIVATE)

Tract Name	Minimum Features
Tract A	Dog park or tot lot, flex lawn, benches, picnic table(s)
Tract B	Benches, picnic table(s), flex lawn, pathways, gathering area, pet station(s)
Tract C	Benches, picnic table(s), flex lawn, pet station(s), gathering area
Tract D	Benches, picnic table(s), flex lawn, pathways, exercise station(s), gathering area, pet station(s)
Tract E	Pool & Cabana, Pickleball Court(s), tot lot, flex lawn, pet station(s), pathways
Tract F	Benches, picnic table(s), exercise station(s), flex lawn, pet station, gathering
Tract G	Benches, picnic table(s), exercise station(s), flex lawn, pet station, gathering
Tract H	Benches, pathway(s)
Tract I	Dog park or tot lot, flex lawn, benches, picnic table(s)
Trail Head Site	Restrooms, benches, picnic tables, bike repair stations, cooling stations, pet

TOTAL PROJECT AREA:	241.48 AC
TOTAL WETLANDS:	60.03 AC
IMPACTED:	0.45 AC
SECONDARY IMPACT:	0.29 AC
PRESERVED:	59.29 AC
RESIDENTIAL NET DEVELOPABLE AREA:	151.09 AC
REQUIRED OPEN SPACE (25%):	60.37 AC
PROVIDED OPEN SPACE (25.32%):	61.15 AC
MISC OPEN SPACE:	20.83 AC
WETLANDS (50% AREA)	30.01 AC
STORMWATER:	10.31 AC
NON-RESIDENTIAL ACREAGE (15%):	22.66 AC
PROVIDED (16.57%):	25.04 AC
CIVIC (REQUIRED 5%):	1.19 AC
AMENITIES:	7.93 AC
NEIGHBORHOOD PARK:	15.92 AC

SITE INFORMATION

PARCEL ID: 02-21-25-0002-000-04800
34-20-25-0001-000-00100
34-20-25-0004-000-01003
27-20-25-0004-000-01200

TOTAL PROJECT AREA: 241.48 AC

NUMBER OF LOTS: 408 TOTAL
310 UNITS - 8,400 SQ.FT. (76%)
98 UNITS - 9,600 SQ.FT. (24%)

UNIT TYPE: SINGLE FAMILY - DETACHED

LOT COVERAGE: 55% IMPERVIOUS LOT COVERAGE

RESIDENTIAL DENSITY (DUA): 4 DU/ACRE

ZONING CLASSIFICATION

JURISDICTION: HOWEY-IN-THE-HILLS
ZONING: PUD, PLANNED UNIT DEVELOPMENT
FUTURE LAND USE: VNU - VILLAGE MIXED USE
ADJACENT ZONING: PUD (THE RESERVE) - EAST
MDR-1 - EAST
AG - WEST

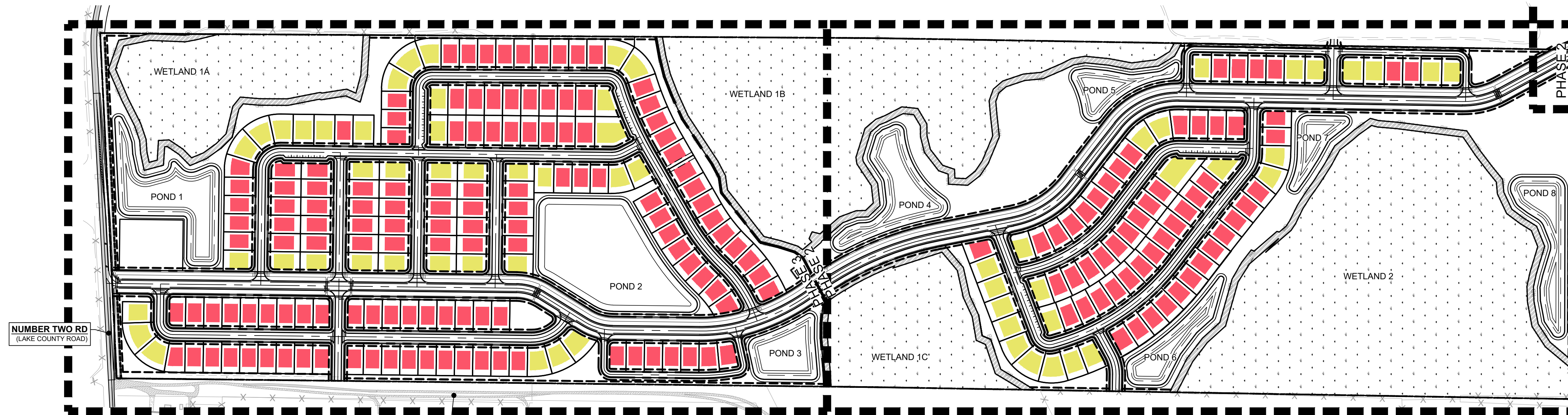
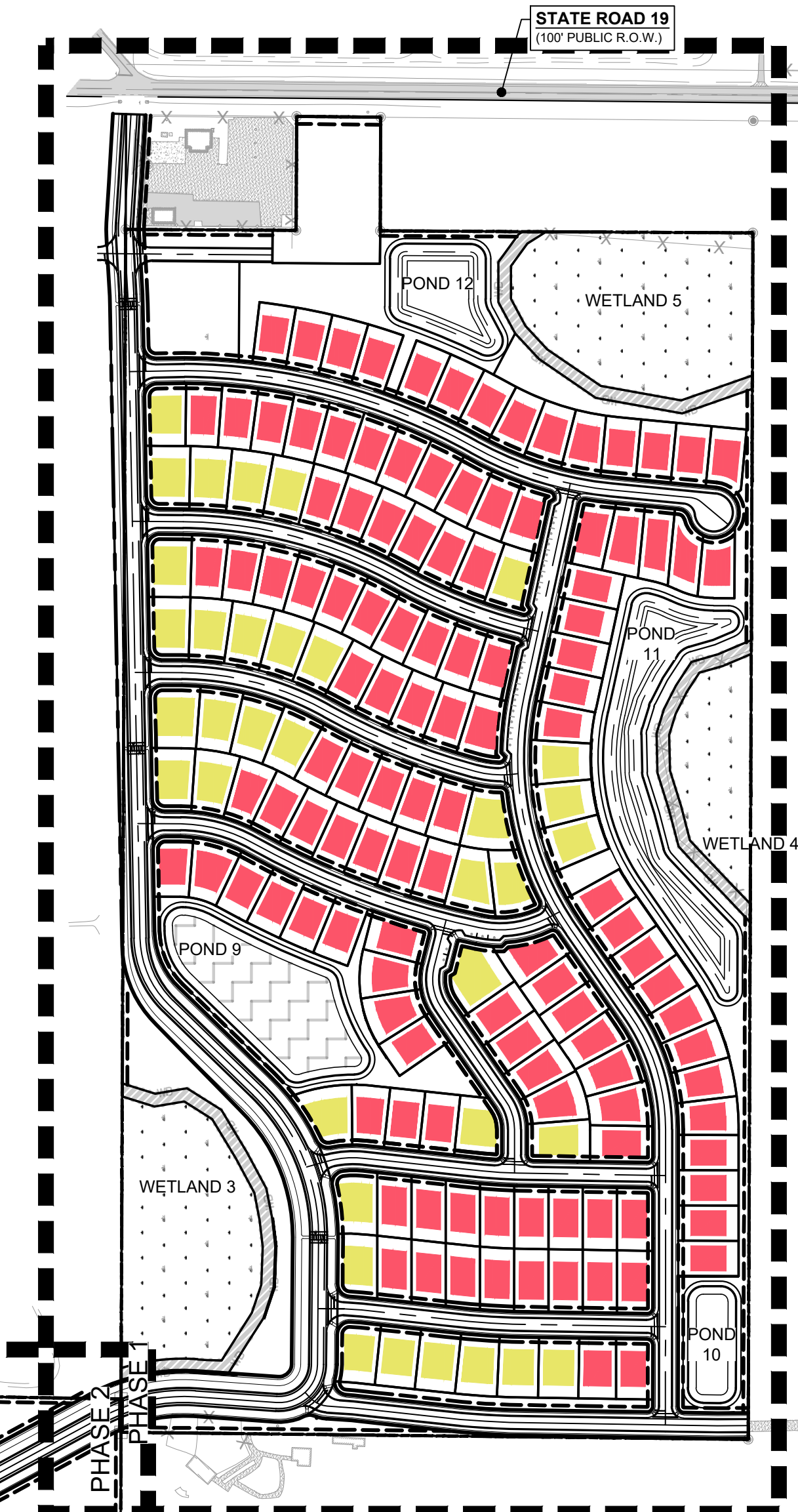
FLOODPLAIN: LOCATED IN FEMA FLOOD ZONE A AND AE PER
MAP NO. 12069C0485E, EFF. DATE 12/18/2012
ZONE AE 100 YR-24 HR FLOOD ELEV = 83.6 (ESTABLISHED)

SERVICES / UTILITY PROVIDER

WATER: TOWN OF HOWEY-IN-THE-HILLS
SANITARY SEWER: CENTRAL LAKE CDD
ELECTRIC: SECO
STORMWATER MANAGEMENT: SURWMD

BUILDING SETBACKS AND BUFFERS

FRONT BUILDING SETBACK: 25'
(EXCLUDING FRONT PORCH, WHICH SHALL BE 19 FEET)
REAR BUILDING SETBACK: 25'
SIDE BUILDING SETBACK: 10'
CORNER SETBACK: 12.5'
POOL / ACCESSORY SETBACK: 10'



SHEETS : C203 - SITE PLAN
C303 - PAVING AND GRADING
C403 - DRAINAGE PLAN
C503 - UTILITY PLAN

LEGEND

- CONSTRUCTION LIMITS LINE
- RIGHT OF WAY LINE
- STREET CENTER LINE
- DRAINAGE EASEMENT LINE
- PLANS MATCH LINE
- PROPOSED CONCRETE PAVEMENT
- PROPOSED CONCRETE SIDEWALK

SHEETS : C201 - SITE PLAN
C301 - PAVING AND GRADING
C401 - DRAINAGE PLAN
C501 - UTILITY PLAN

SHEETS : C202 - SITE PLAN
C302 - PAVING AND GRADING
C402 - DRAINAGE PLAN
C502 - UTILITY PLAN

811
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NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE RESPONSIBLE TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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CO#F 23091

SEC 27.34 TWP 20 S RGE 25 E
HOWEY-IN-THE-HILLS
LAKE COUNTY, FLORIDA

MISSION RISE
TURNSTONE GROUP
PRELIMINARY SUBDIVISION PLAN
OVERALL SITE PLAN

DATE 02/27/2025

REVISIONS

ASHLEY PROFFER
LICENSE
No. PE96331
STATE OF FLORIDA
PROFESSIONAL ENGINEER

0 125' 250'
DRAWN BY: AP
CHECKED BY: ZOR
PROJECT MANAGER: KC
JOB #: 23000180
FILE CODE: --
SHEET NO.

PSPXX-XXXX

C200



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NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE INCURRED BY THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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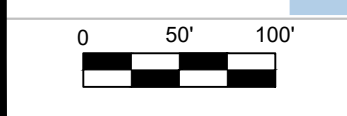
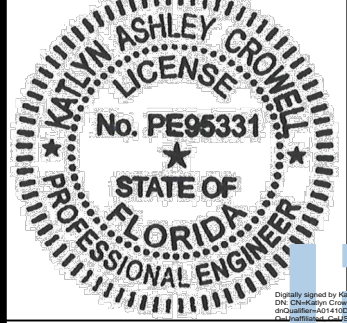
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111 N. MAGNOLIA AVENUE, SUITE 1350
ORLANDO, FL 32801
CO # F 23091

SEC 27.34 TWP 20 S RGE 25 E
HOWEY-IN-THE-HILLS
LAKE COUNTY, FLORIDA

MISSION RISE
TURNSTONE GROUP
PRELIMINARY SUBDIVISION PLAT
SITE PLAN

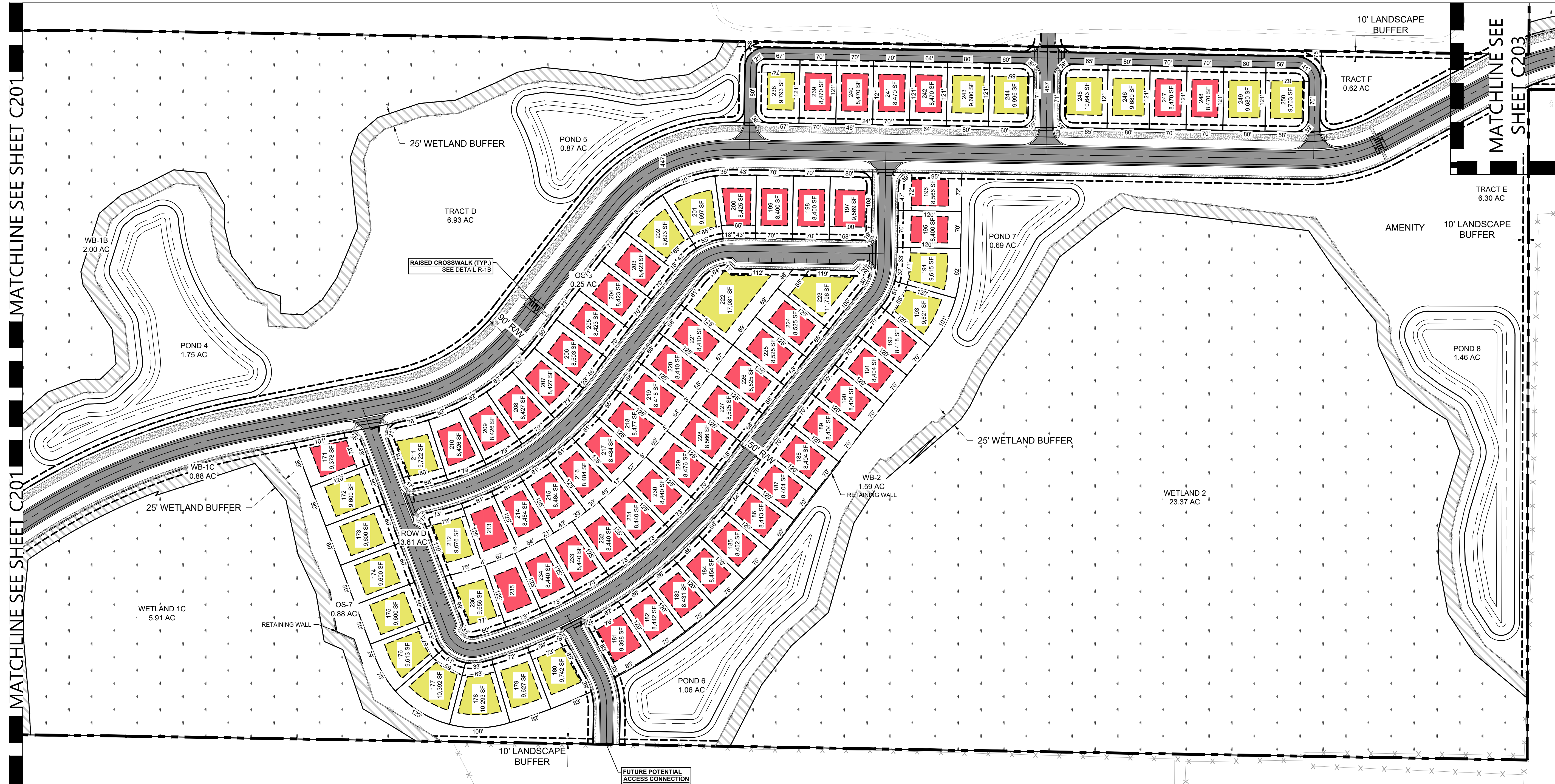
DATE 02/27/2025

REVISIONS



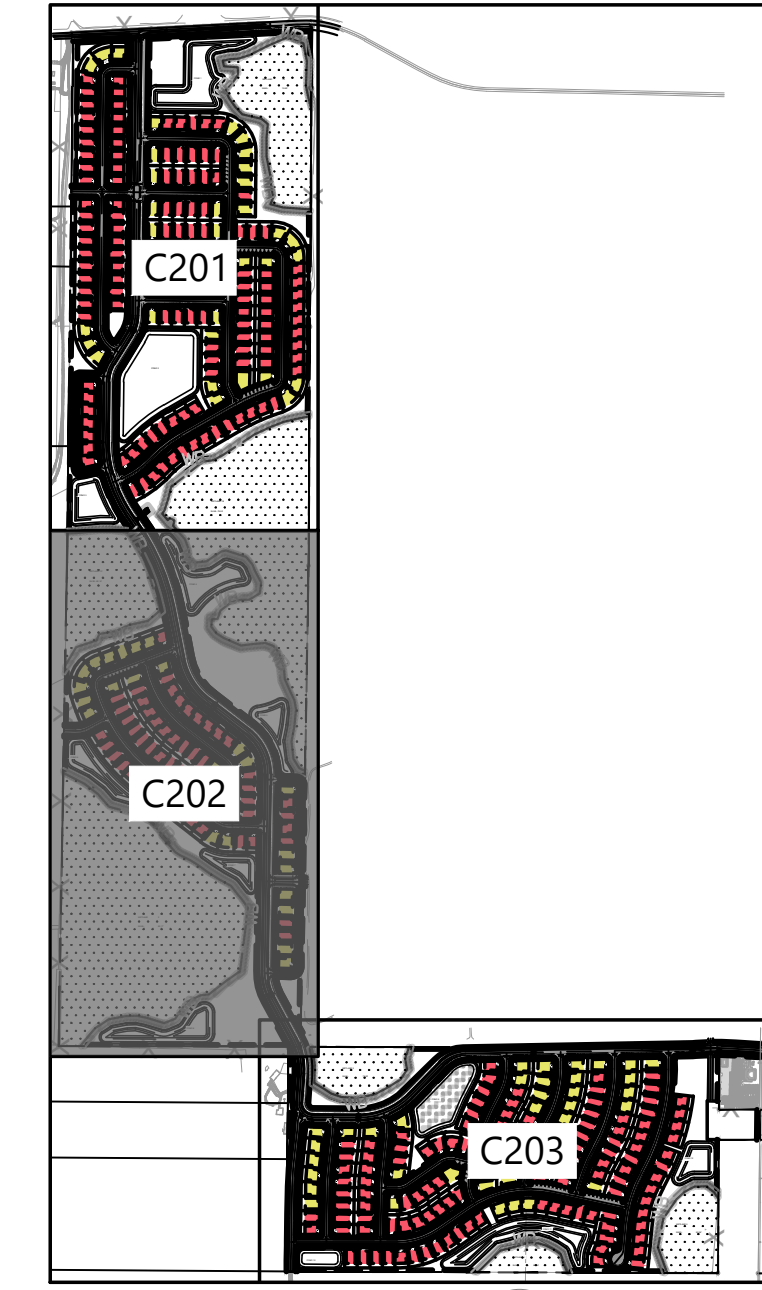
DRAWN BY: AP
CHECKED BY: ZOR
PROJECT MANAGER: KC
JOB #: 23000180
FILE CODE: --
SHEET NO.

ISSUED - FOR CONSTRUCTION
C202



MATCHLINE SEE SHEET C201

MATCHLINE SEE SHEET C203



LEGEND

- CONSTRUCTION LIMITS LINE
- STREET CENTER LINE
- DRAINAGE EASEMENT / BUFFER LINE
- PLANS MATCH LINE
- PROPOSED ASPHALT PAVEMENT
- EXISTING ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- EXISTING WETLAND
- PROPOSED WETLAND BUFFER
- PROPOSED POND AREA

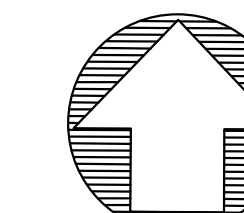
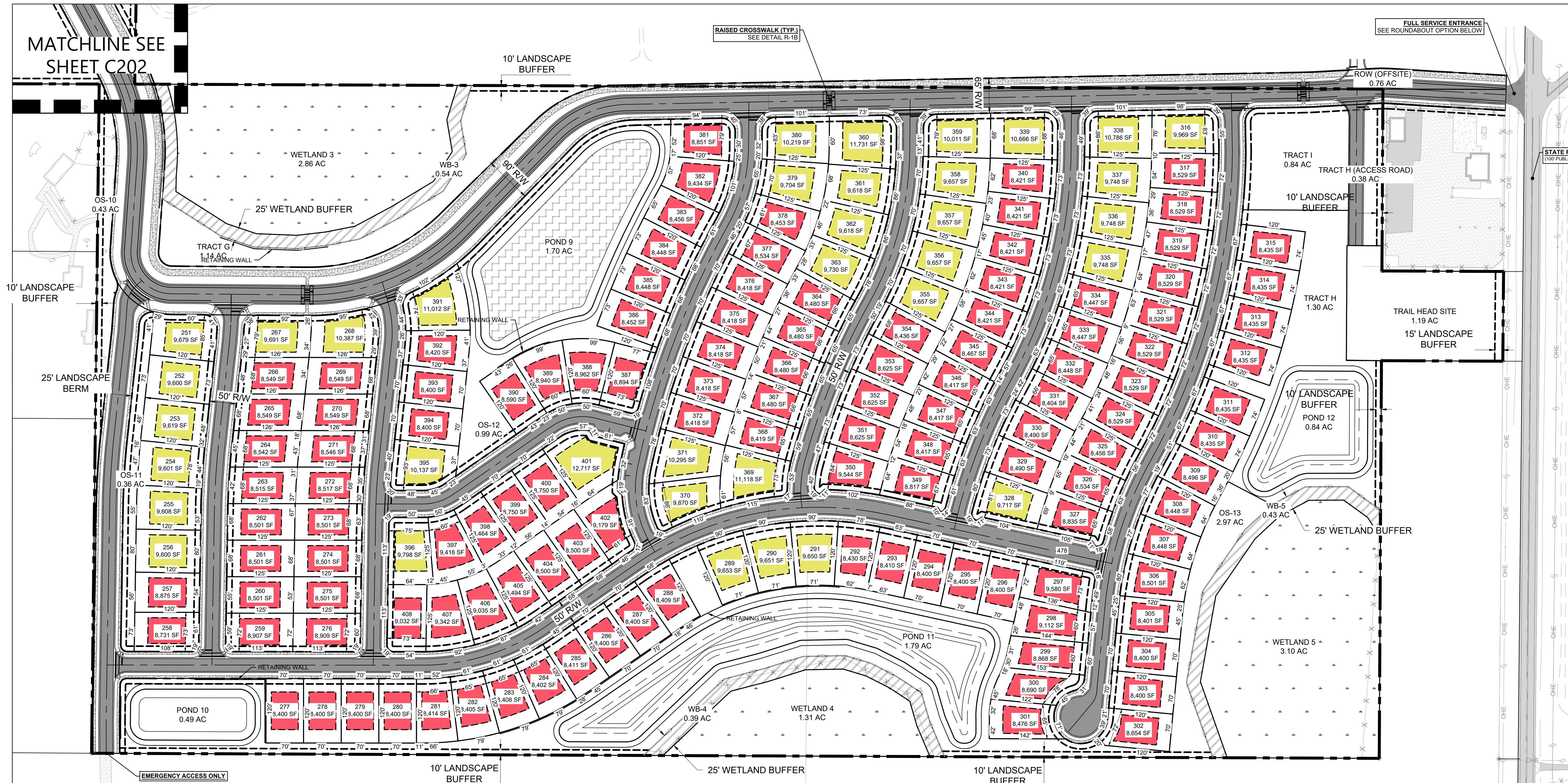
NOTES:

- THE LOCATIONS OF THE RAISED CROSSWALKS CAN BE SHIFTED AS NEEDED DUE TO GRADING AND PROXIMITY TO INTERSECTIONS.

FILE NAME: A:\23000180 Mission Rise AP and PAV\Drawings\23000180-0202 SITE PLAN.dwg LAST DATE: 2/27/2025 10:52 AM PLOTTED BY: Ashley Crowther 2/27/2025 10:52 AM PLOTTER: HP DesignJet 5000 Plotter

LSPXX-XXXX

MATCHLINE SEE SHEET C202



811
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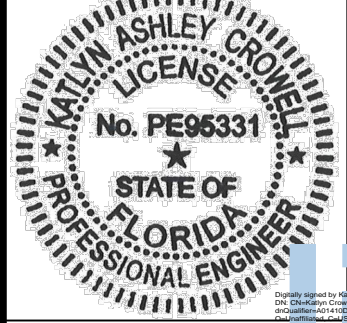
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ORLANDO, FL 32801
COAF 23091

SEC 27.34 TWP 20 S RGE 25 E
HOWEY-IN-THE-HILLS
LAKE COUNTY, FLORIDA

MISSION RISE
TURNSTONE GROUP
PRELIMINARY SUBDIVISION PLAT
SITE PLAN

DATE 02/27/2025

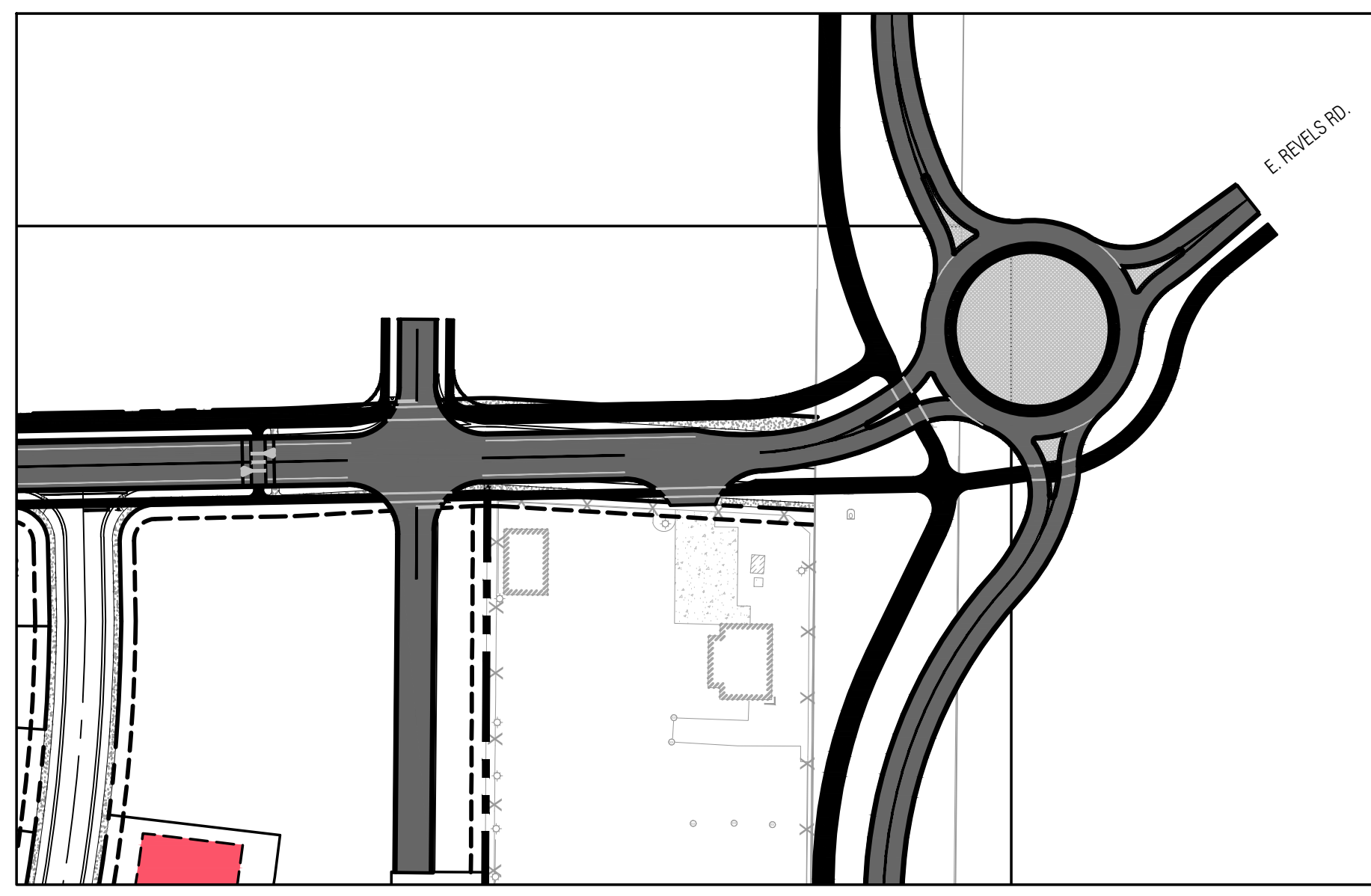
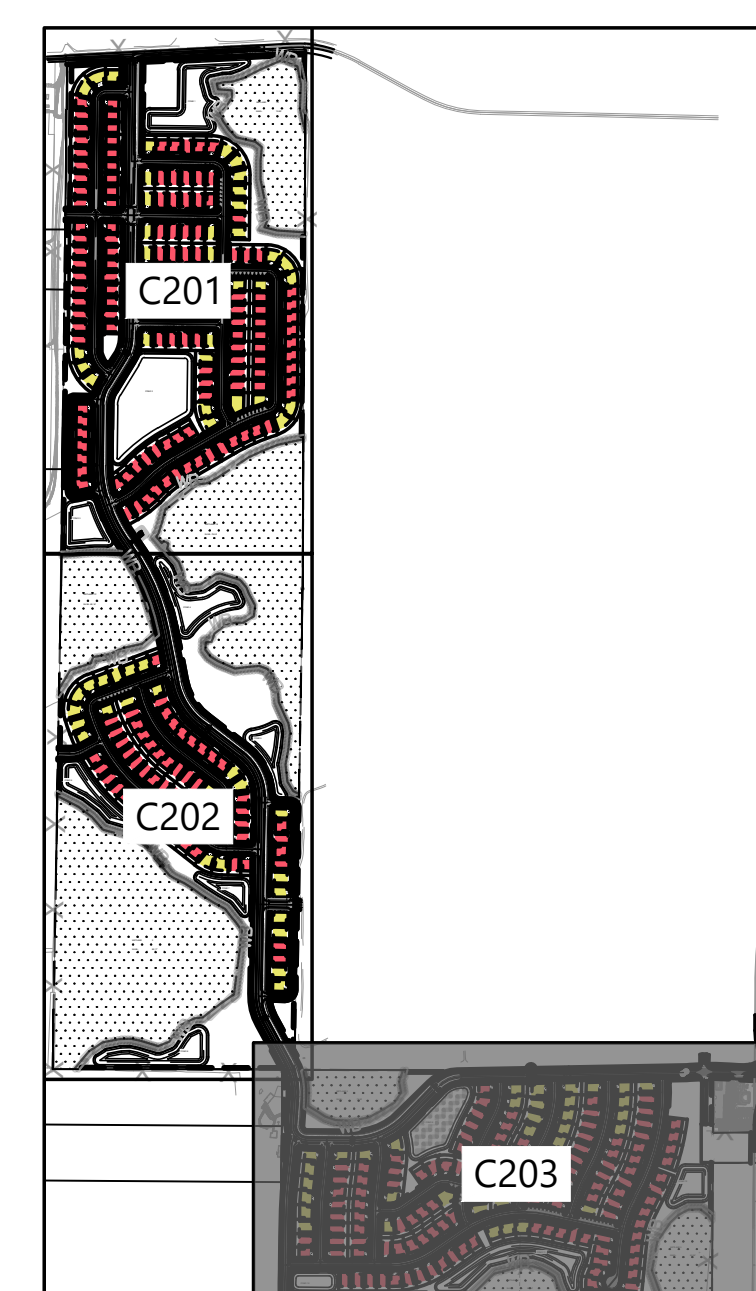
REVISIONS



DRAWN BY: AP
CHECKED BY: ZOR
PROJECT MANAGER: KC
JOB #: 23000180
FILE CODE: --
SHEET NO. C203

ISSUED - FOR CONSTRUCTION

FILE NAME: A:\23000180 Mission Rise 20 and 20A\2025\Drawings\23000180-2025-0227-01 SITE PLAN.dwg LAST DATE: 2/27/2025 10:52 AM PLOTTED BY: Jeffrey Crowther 3/28/2025 10:52 AM PLOTTER: HP DesignJet T1300 PS (PCL6) 36x48 inches SCALE: 1/8"=1'-0" SHEET: C203 OF 16



ROUNDABOUT OPTION (PENDING FDOT APPROVAL)
SCALE: 1"=100'

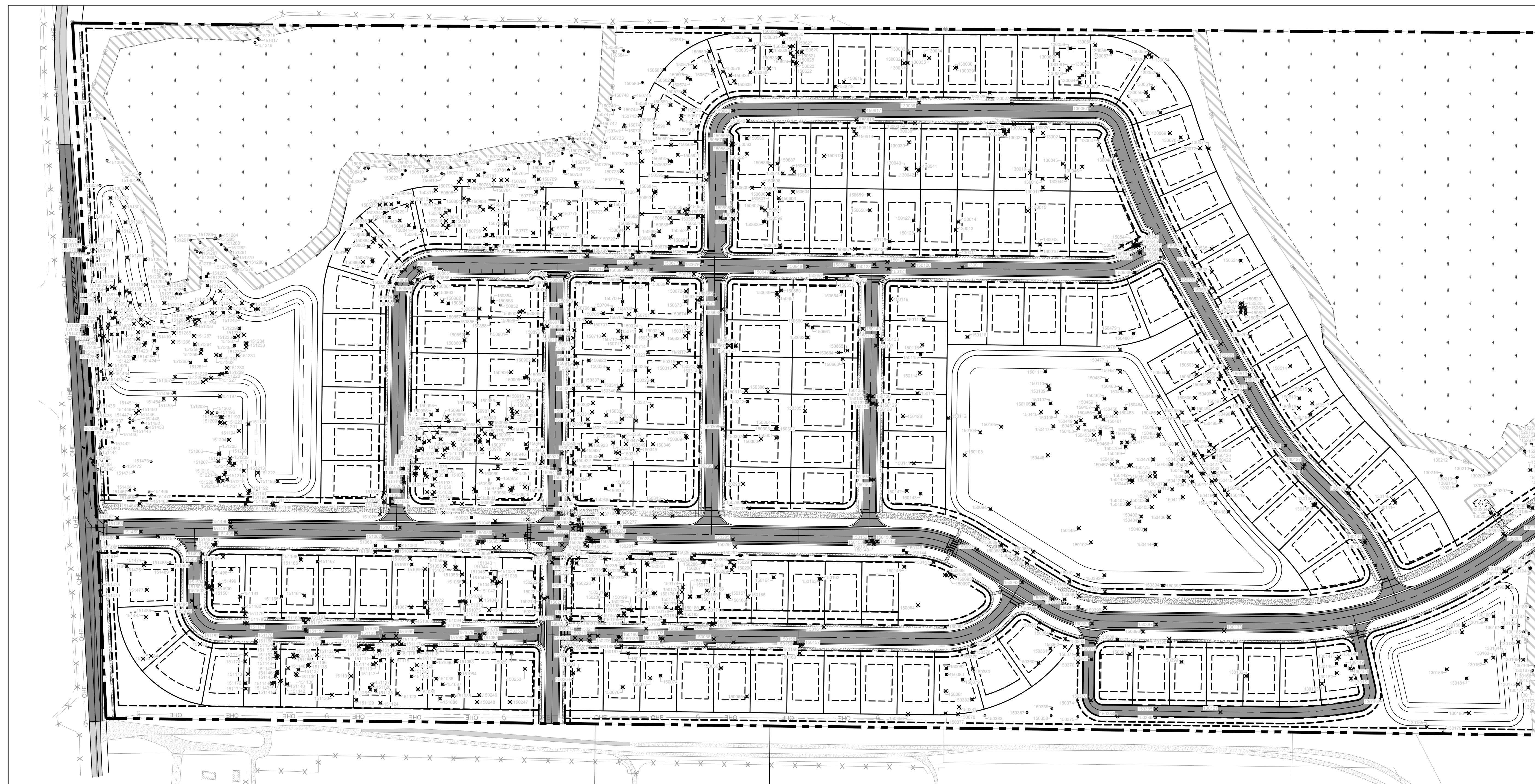
LEGEND

	CONSTRUCTION LIMITS LINE
	STREET CENTER LINE
	DRAINAGE EASEMENT / BUFFER LINE
	PLANS MATCH LINE
	PROPOSED ASPHALT PAVEMENT
	EXISTING ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	EXISTING WETLAND
	PROPOSED WETLAND BUFFER
	PROPOSED POND AREA

NOTES:
1. THE LOCATIONS OF THE RAISED CROSSWALKS CAN BE SHIFTED AS NEEDED DUE TO GRADING AND PROXIMITY TO INTERSECTIONS.

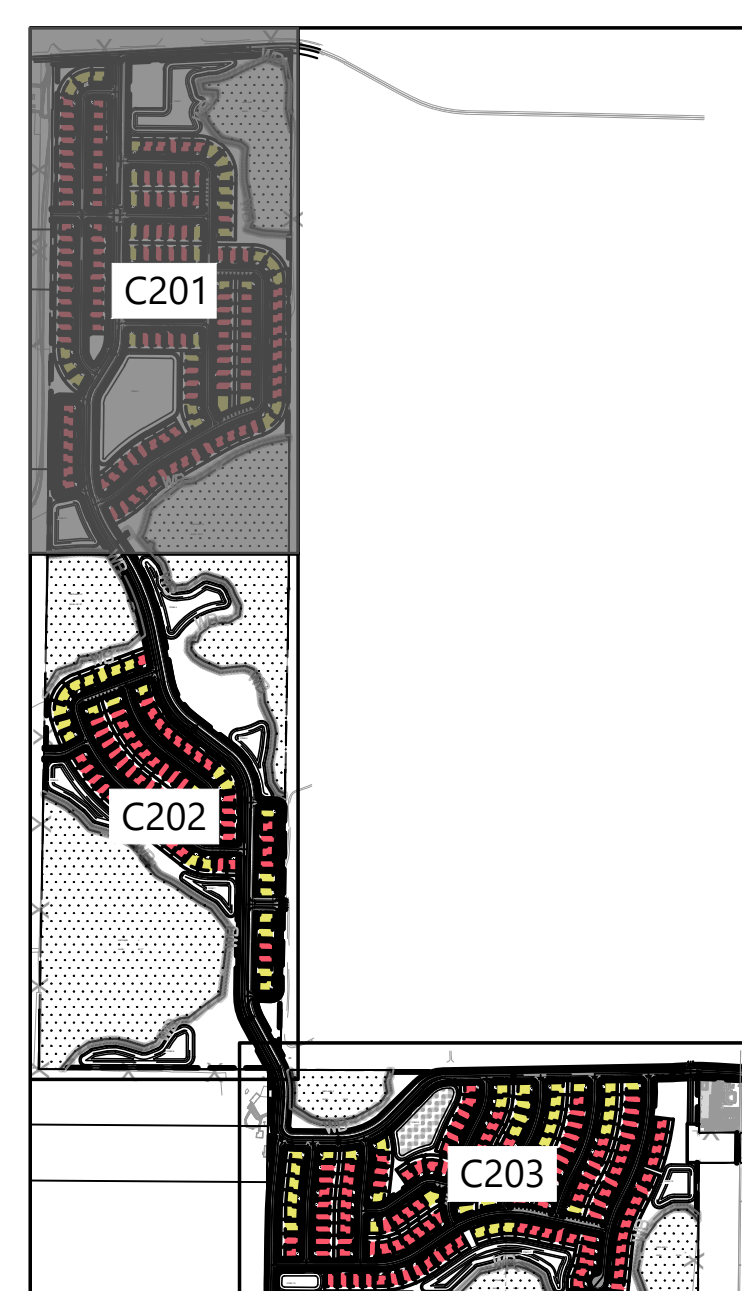
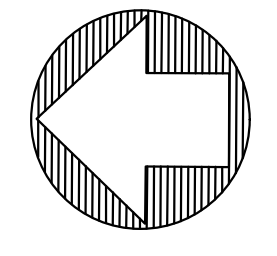
PSPXX-XXXX

FILE NAME: A:\23000180 Mission Rise 00 and P&P\Drawings\Submittal\1818-C201 SITE PLAN.dwg LAST DATE: 3/29/2025 10:52 AM PLOTTED BY: Jeffrey Greenfield 3/29/2025 10:52 AM PLOTTER: HP DesignJet 2550C Plotter



MATCHLINE SEE SHEET C201

MATCHLINE SEE SHEET C202



KEY MAP
NTS

LEGEND	
	CONSTRUCTION LIMITS LINE
	STREET CENTER LINE
	DRAINAGE EASEMENT / BUFFER LINE
	PLANS MATCH LINE
	PROPOSED ASPHALT PAVEMENT
	EXISTING ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	EXISTING WETLAND
	PROPOSED WETLAND BUFFER
	PROPOSED POND AREA

NOTES:
1. THE SAVE/REMOVE TREES CAN CHANGE DUE TO FINAL GRADING AND AMENITIES LAYOUT.

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Call before you dig.
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ORLANDO, FL 32801
COA# 23091

MISSION RISE
TURNSTONE GROUP
PRELIMINARY SUBDIVISION PLAN
TREE MITIGATION PLAN

SEC. 27, 34 TWP. 20 S. RGE. 25 E.
HOWEY-IN-THE-HILLS
LAKE COUNTY, FLORIDA

DATE: 02/27/2025

REVISIONS

ASHLEY PROFFER
LICENSE
No. PE96331
STATE OF FLORIDA
PROFESSIONAL ENGINEER

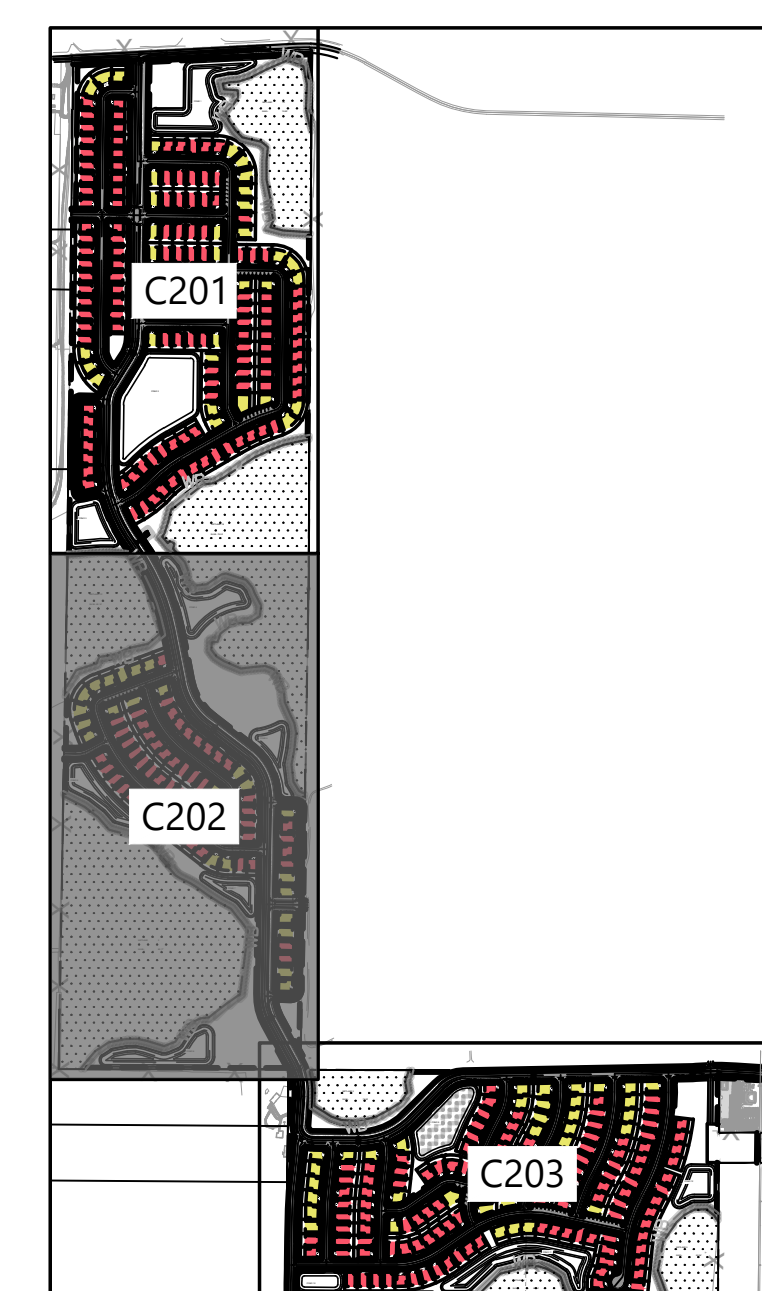
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DRAWN BY: AP
CHECKED BY: ZOR
PROJECT MANAGER: KC
JOB #: 23000180
FILE CODE: --
SHEET NO.

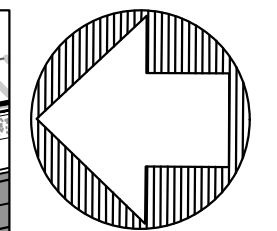
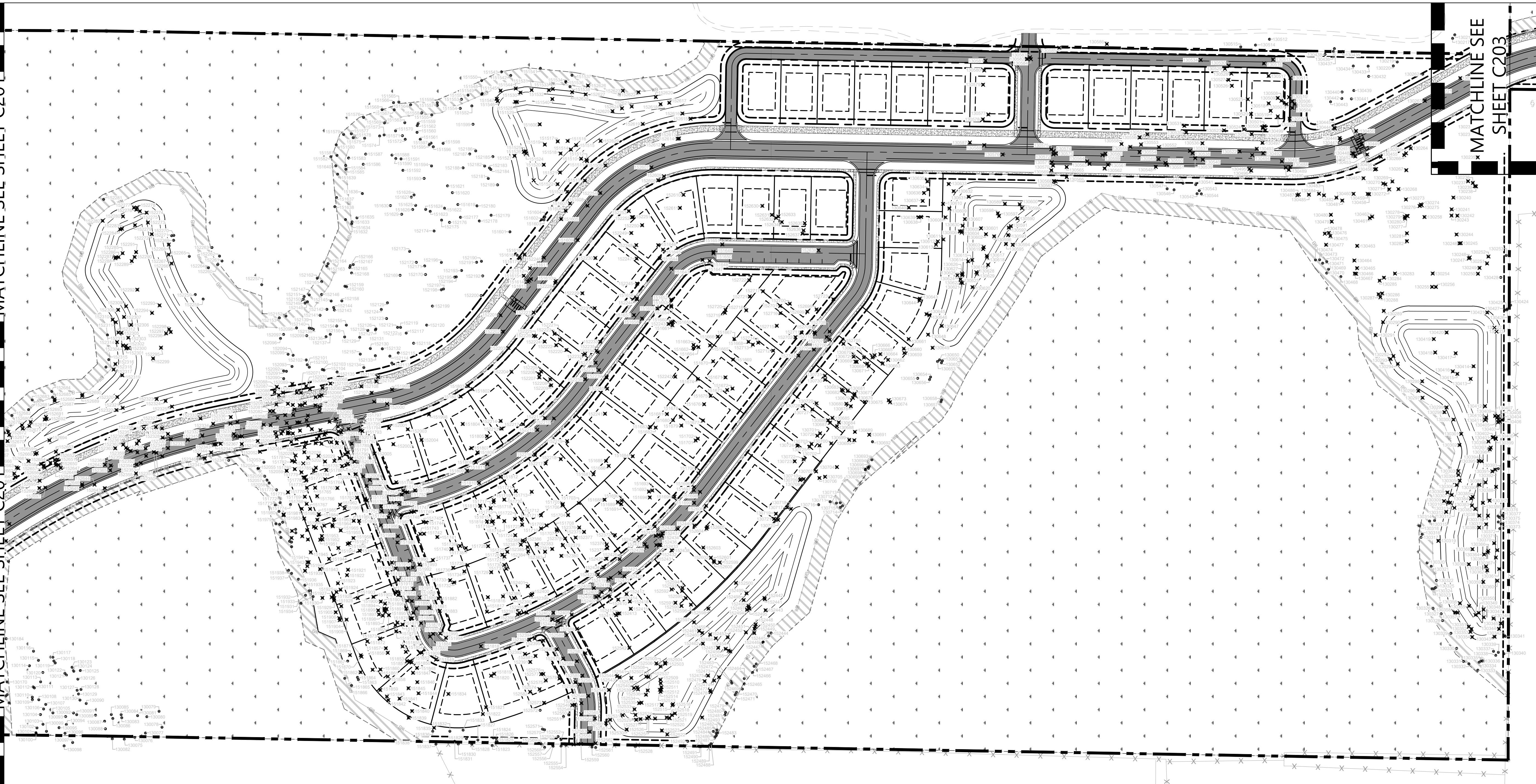
FILE NAME: A:\23000180 Mission Rise 00 and P&P\Drawings\23000180-0205 SITE PLAN.dwg LAST DATE: 3/29/2025 10:52 AM PLOTTED BY: Jeffrey Greenwell 3/29/2025 10:52 AM PLOTTER: HP DesignJet 2600PSD 24" x 36" (inches) SCALE: 1/8" = 1'-0" (AS SHOWN) SHEET: SITE PLAN (P&P) (18 OF 24) SHEET NO.: 18

MATCHLINE SEE SHEET C201

MATCHLINE SEE SHEET C203



KEY MAP
NTS



LEGEND	
	CONSTRUCTION LIMITS LINE
	STREET CENTER LINE
	DRAINAGE EASEMENT / BUFFER LINE
	PLANS MATCH LINE
	PROPOSED ASPHALT PAVEMENT
	EXISTING ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	EXISTING WETLAND
	PROPOSED WETLAND BUFFER
	PROPOSED POND AREA

NOTES:
1. THE SAVE/REMOVE TREES CAN CHANGE DUE TO FINAL GRADING AND AMENITIES LAYOUT.

811
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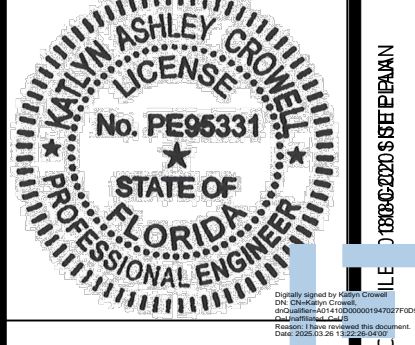
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ORLANDO, FL 32801
COA# 23091

SEC 27.34 TWP 20 S RGE 25 E
HOWEY-IN-THE-HILLS
LAKE COUNTY, FLORIDA

MISSION RISE
TURNSTONE GROUP
PRELIMINARY SUBDIVISION PLAN
TREE MITIGATION PLAN

DATE: 02/27/2025

REVISIONS



DRAWN BY: AP
CHECKED BY: ZOR
PROJECT MANAGER: KC
JOB #: 23000180
FILE CODE: --
SHEET NO. C205

18

Main table with 32 columns (Point #, Raw Description, TREE TO BE SAVED OR REMOVED) and 100 rows of tree inventory data.

8m Know what's below. Call before you dig. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN AS AN APPROXIMATE INDICATION AND SHOULD NOT BE CONSIDERED GUARANTEED.

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MISSION RISE TURNSTONE GROUP PRELIMINARY SUBDIVISION PLAT TREE MITIGATION TABLE

DATE 02/27/2025

REVISIONS

DRAWN BY: AP CHECKED BY: ZOR PROJECT MANAGER: KC JOB #: 2300180 FILE CODE: -- SHEET NO. C207

FILE NAME: A:\33004898.dwg Plot Date: 02/27/2025 10:55 AM PLOTTED BY: KATIE GREENE 3/27/2025 10:55 AM PLOTTER: HP DesignJet 5600c

Table with 3 columns: Point #, Raw Description, TREE TO BE SAVED OR REMOVED. Contains data for trees 130938 to 131030.

Table with 3 columns: Point #, Raw Description, TREE TO BE SAVED OR REMOVED. Contains data for trees 131031 to 131120.

Table with 3 columns: Point #, Raw Description, TREE TO BE SAVED OR REMOVED. Contains data for trees 131121 to 131210.

Table with 3 columns: Point #, Raw Description, TREE TO BE SAVED OR REMOVED. Contains data for trees 131211 to 131300.

Table with 3 columns: Point #, Raw Description, TREE TO BE SAVED OR REMOVED. Contains data for trees 131301 to 131390.

Table with 3 columns: Point #, Raw Description, TREE TO BE SAVED OR REMOVED. Contains data for trees 131391 to 131480.

Table with 3 columns: Point #, Raw Description, TREE TO BE SAVED OR REMOVED. Contains data for trees 131481 to 131570.

Table with 3 columns: Point #, Raw Description, TREE TO BE SAVED OR REMOVED. Contains data for trees 131571 to 131660.

Table with 3 columns: Point #, Raw Description, TREE TO BE SAVED OR REMOVED. Contains data for trees 131661 to 131750.

Table with 3 columns: Point #, Raw Description, TREE TO BE SAVED OR REMOVED. Contains data for trees 131751 to 131840.

Project information including title 'PRELIMINARY SUBDIVISION PLAN', date '02/27/2025', and various engineering and construction details.

8m logo and 'Know what's below. Call before you dig.' slogan with contact information.

ATWELL logo and '24 HOUR EMERGENCY CONTACT' information.

MISSION RISE logo and 'TURNSTONE GROUP' information.

Professional Engineer seal for 'ASHLEY D. HILL' and 'STATE OF FLORIDA'.

Scale bar, north arrow, and 'DRAWN BY: AP' information.

FILE NAME: A:\20250520 Mission Rise 00 and Park Way\Drawings\250520 Mission Rise 00 and Park Way.dwg PLOTTED BY: KIMBERLY J. HARRIS DATE PLOTTED: 5/29/2025 10:52 AM PLOTTER: HP DesignJet T1200

Table with 3 columns: Point #, Raw Description, TREE TO BE SAVED OR REMOVED. Contains rows 151559 to 151652.

Table with 3 columns: Point #, Raw Description, TREE TO BE SAVED OR REMOVED. Contains rows 151653 to 151746.

Table with 3 columns: Point #, Raw Description, TREE TO BE SAVED OR REMOVED. Contains rows 151747 to 151840.

Table with 3 columns: Point #, Raw Description, TREE TO BE SAVED OR REMOVED. Contains rows 151841 to 151934.

Table with 3 columns: Point #, Raw Description, TREE TO BE SAVED OR REMOVED. Contains rows 151935 to 152028.

Table with 3 columns: Point #, Raw Description, TREE TO BE SAVED OR REMOVED. Contains rows 152029 to 153022.

Table with 3 columns: Point #, Raw Description, TREE TO BE SAVED OR REMOVED. Contains rows 153023 to 154016.

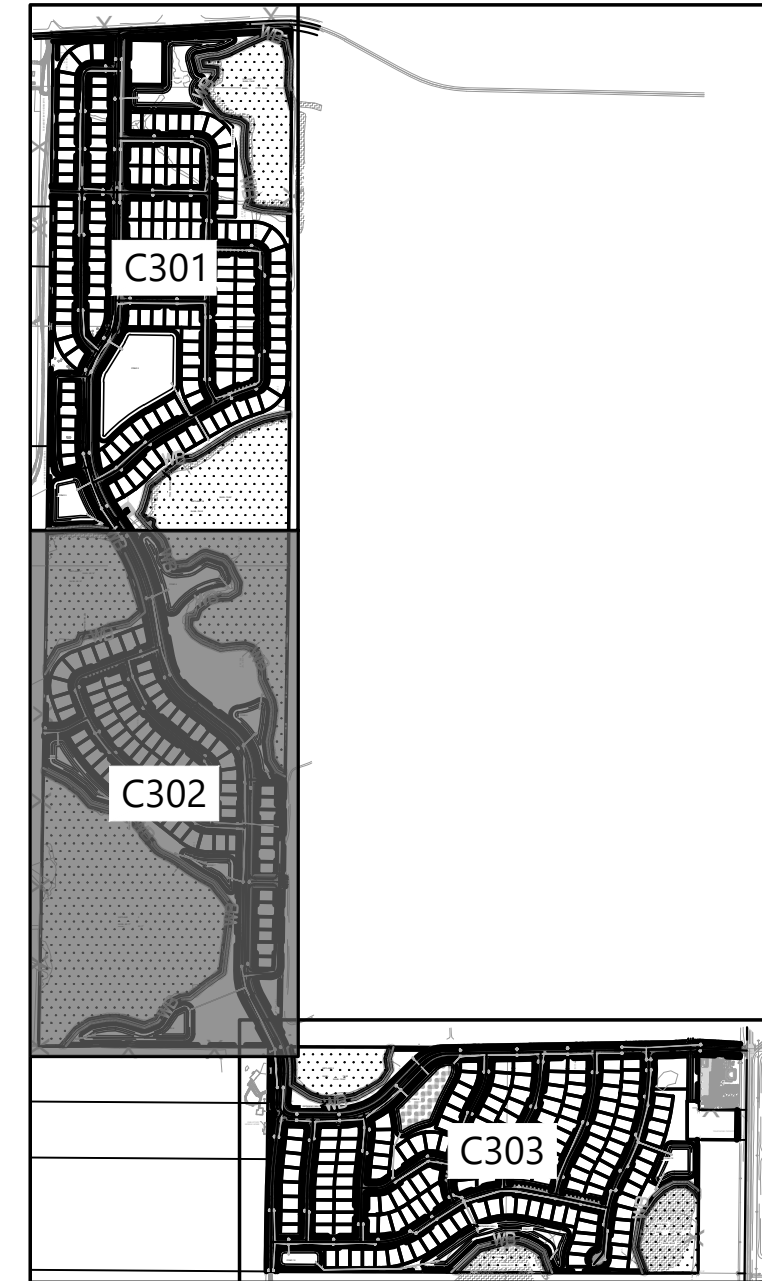
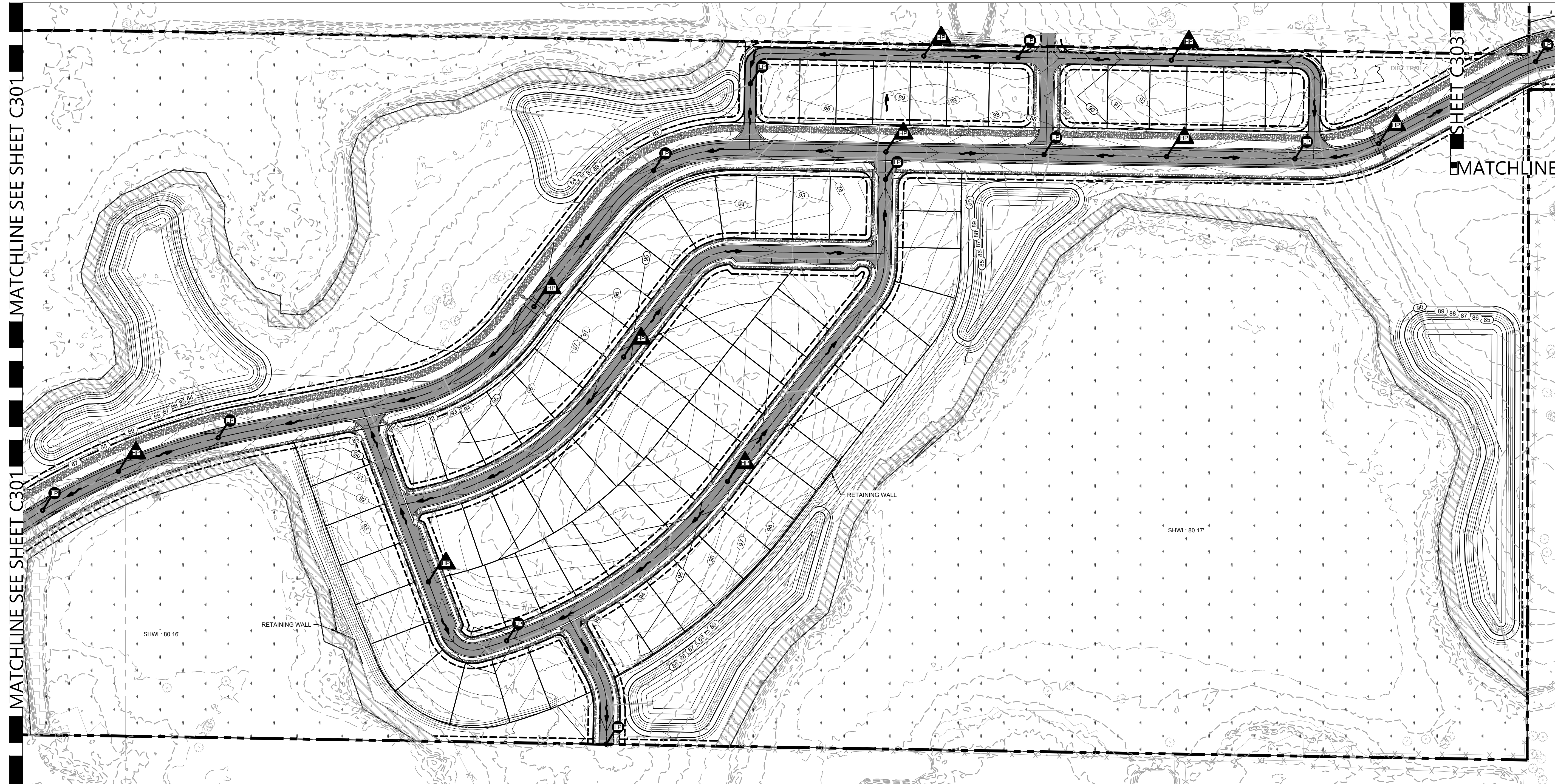
Table with 3 columns: Point #, Raw Description, TREE TO BE SAVED OR REMOVED. Contains rows 154017 to 155010.

Table with 3 columns: Point #, Raw Description, TREE TO BE SAVED OR REMOVED. Contains rows 155011 to 156004.

Table with 3 columns: Point #, Raw Description, TREE TO BE SAVED OR REMOVED. Contains rows 156005 to 156998.

Project information including 'MISSION RISE', 'TURNSTONE GROUP', 'PRELIMINARY SUBDIVISION PLAN', 'TREE MITIGATION TABLE', and 'C210'. Includes logos for ATWELL and 8m.

FILE NAME: A:\23000180\Mission Rise 00.mxd PLOT DATE: 02/27/2025 12:28 PM PLOTTED BY: KATIE DAVIS (23000180) DATE PLOTTED: 02/27/2025 12:28 PM PLOTTER: HP DesignJet 5000 Plotter



LEGEND

- CONSTRUCTION LIMITS LINE
- PROPOSED ELEVATION
- FLOW ARROW
- LOW POINT
- HIGH POINT
- PROPOSED ASPHALT PAVEMENT

811
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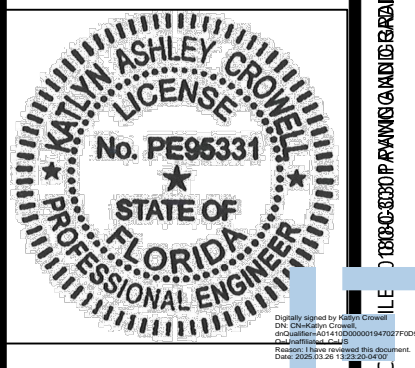
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 111 N. MAGNOLIA AVENUE, SUITE 1350
 ORLANDO, FL 32801
 COA# 23091

SEC 27.34 TWP 20 S RGE 25 E
 HOWEY-IN-THE-HILLS
 LAKE COUNTY, FLORIDA

MISSION RISE
 TURNSTONE GROUP
 PRELIMINARY SUBDIVISION PLAT
 PAVING AND GRADING

DATE: 02/27/2025

REVISIONS



0 50' 100'
 DRAWN BY: AP
 CHECKED BY: ZOR
 PROJECT MANAGER: KC
 JOB #: 23000180
 FILE CODE: --
 SHEET NO.



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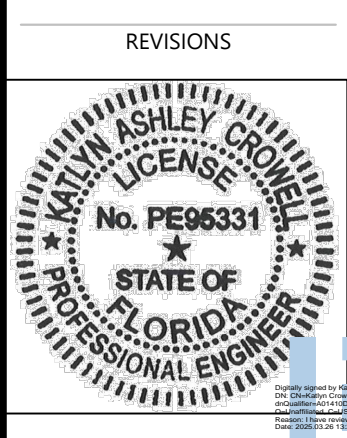
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 LAKE COUNTY, FLORIDA

MISSION RISE
 TURNSTONE GROUP
 PRELIMINARY SUBDIVISION PLAT
 PAVING AND GRADING

DATE 02/27/2025

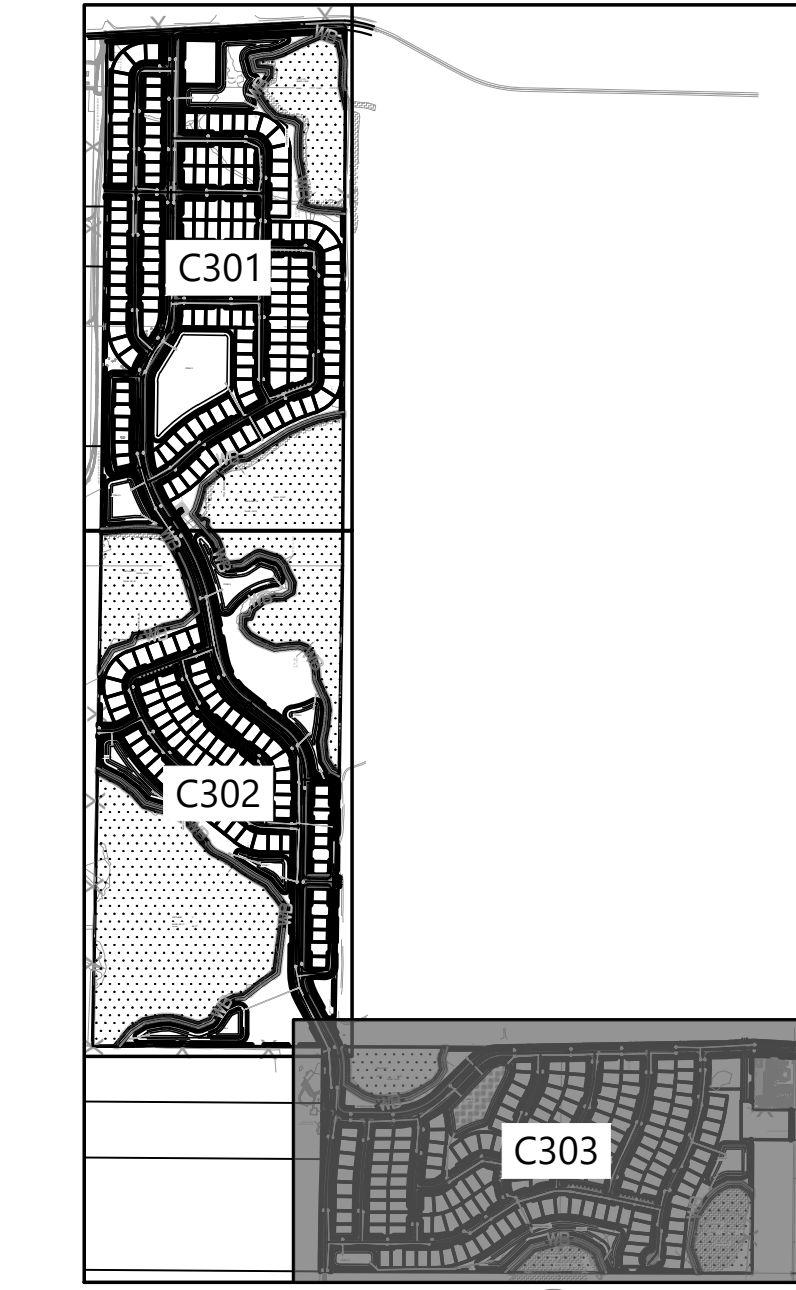
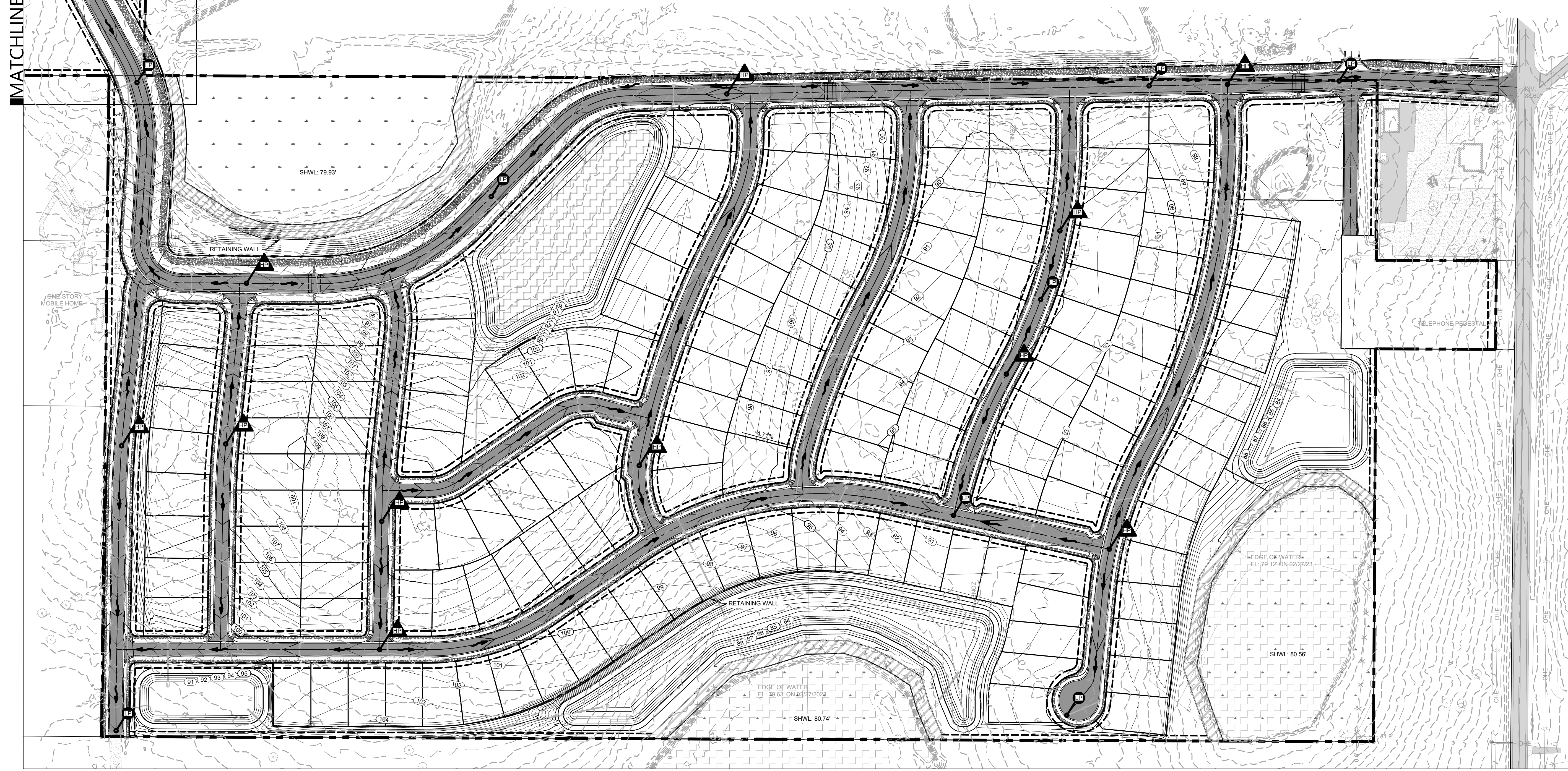


0 50' 100'

DRAWN BY: AP
 CHECKED BY: ZOR
 PROJECT MANAGER: KC
 JOB #: 23000180
 FILE CODE: --
 SHEET NO.

C303

SHEET C302



LEGEND

- CONSTRUCTION LIMITS LINE
- PROPOSED ELEVATION
- FLOW ARROW
- LOW POINT
- ▲ HIGH POINT
- PROPOSED ASPHALT PAVEMENT

FILE NAME: A:\23000180 Mission Rise 02 and 03\02\2025\Draw\23000180 Preliminary\2302-C302.dwg
 PLOT DATE: 02/27/2025 12:28 PM
 PLOTTER: HP DesignJet 5000 Series
 PLOT SCALE: 1:1
 PLOT SHEET: 27 OF 27
 PLOT AREA: 11.00 X 17.00
 PLOT ORIGIN: 11.00, 17.00
 PLOT SIZE: 11.00 X 17.00
 PLOT UNIT: Feet
 PLOT WEIGHT: 100 LBS
 PLOT COLOR: Black
 PLOT LINE WEIGHT: 0.008
 PLOT LINE WEIGHT RANGE: 0.008 - 0.008
 PLOT LINE WEIGHT INCREMENT: 0.000
 PLOT LINE WEIGHT MINIMUM: 0.008
 PLOT LINE WEIGHT MAXIMUM: 0.008
 PLOT LINE WEIGHT STANDARD DEVIATION: 0.000
 PLOT LINE WEIGHT VARIATION: 0.000
 PLOT LINE WEIGHT TOLERANCE: 0.000
 PLOT LINE WEIGHT THRESHOLD: 0.000
 PLOT LINE WEIGHT WEIGHTING: 1.000
 PLOT LINE WEIGHT WEIGHTING RANGE: 1.000 - 1.000
 PLOT LINE WEIGHT WEIGHTING INCREMENT: 0.000
 PLOT LINE WEIGHT WEIGHTING MINIMUM: 1.000
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 PLOT LINE WEIGHT WEIGHTING TOLERANCE: 0.000
 PLOT LINE WEIGHT WEIGHTING THRESHOLD: 0.000
 PLOT LINE WEIGHT WEIGHTING WEIGHTING: 1.000



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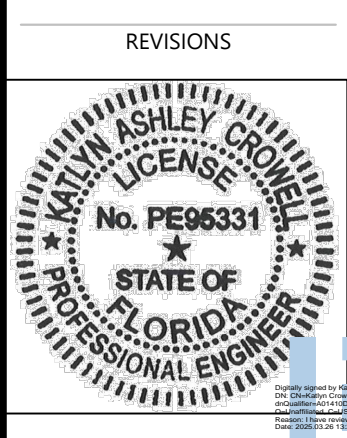
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SEC 27.34 TWP 20 S RGE 25 E
HOWEY-IN-THE-HILLS
LAKE COUNTY, FLORIDA

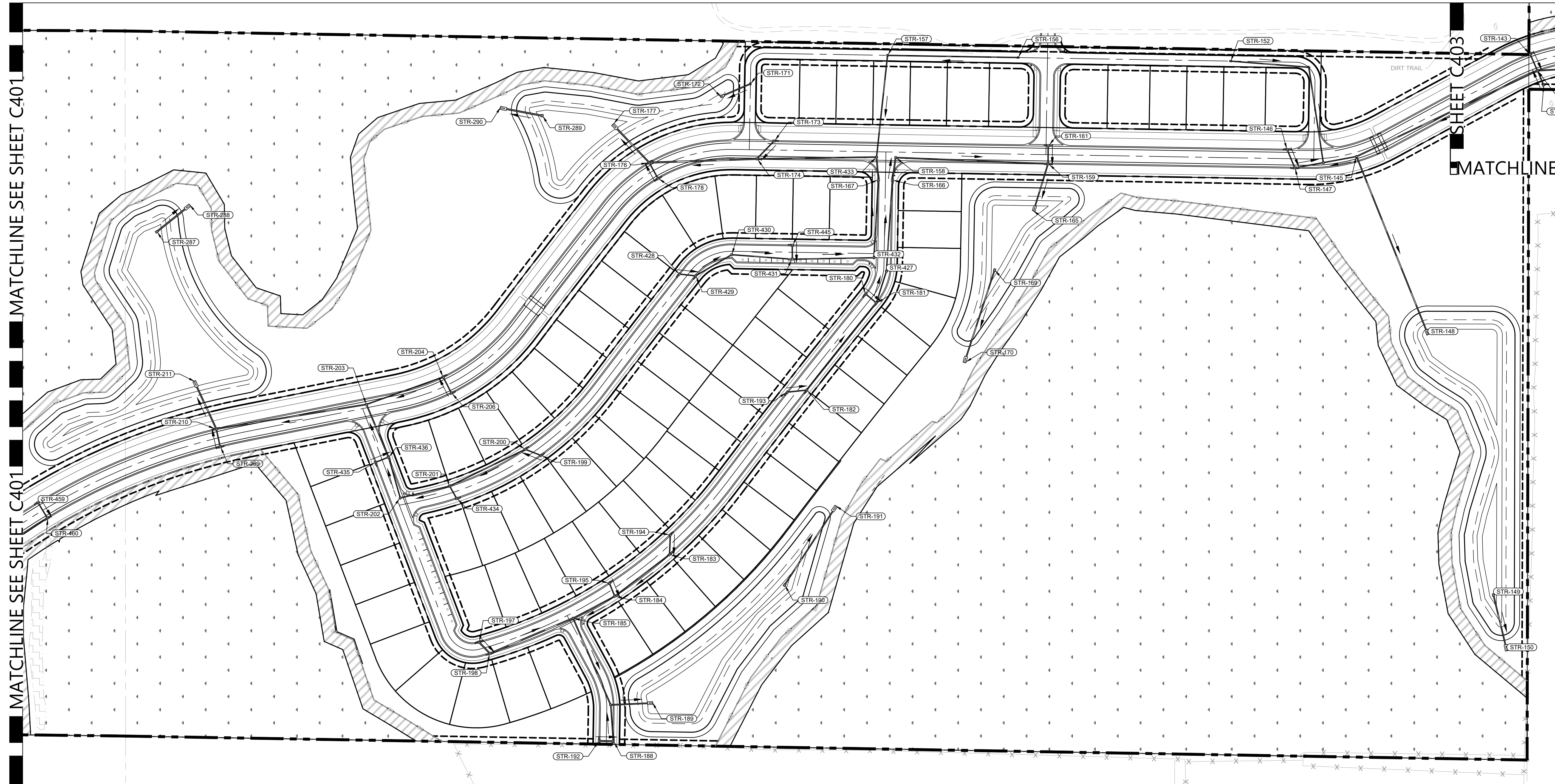
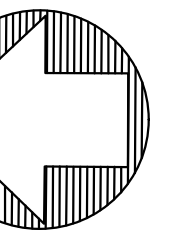
MISSION RISE
TURNSTONE GROUP
PRELIMINARY SUBDIVISION PLAT
DRAINAGE PLAN

DATE 02/27/2025



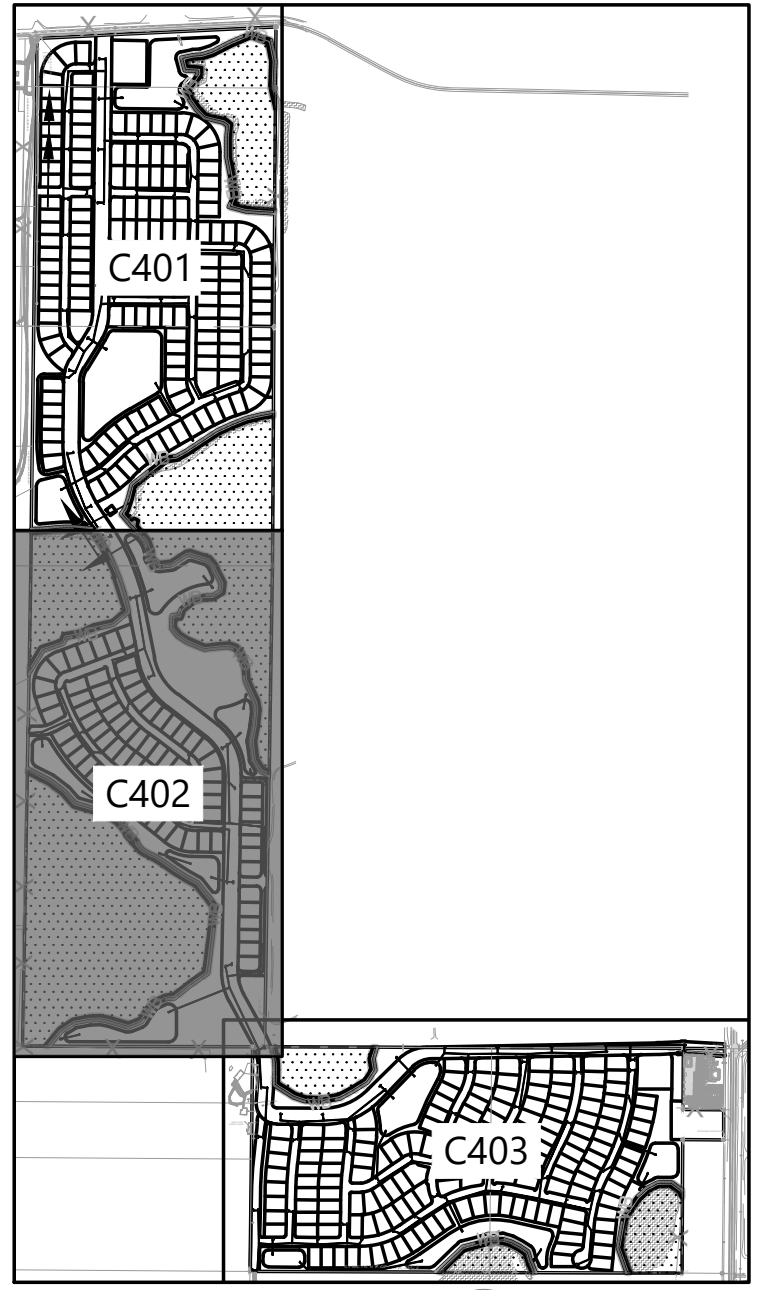
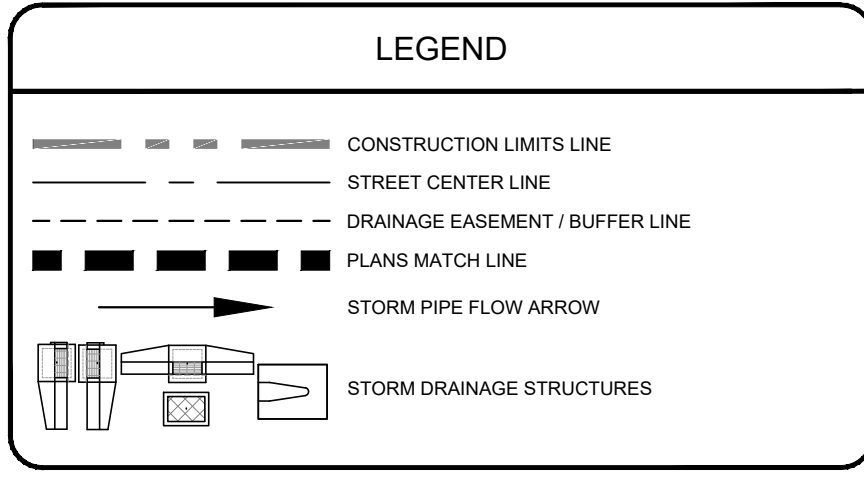
0 50' 100'

DRAWN BY: AP
CHECKED BY: ZOR
PROJECT MANAGER: KC
JOB #: 23000180
FILE CODE: --
SHEET NO. C402



MATCHLINE SEE SHEET C401

MATCHLINE SHEET C403

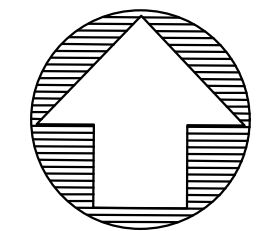
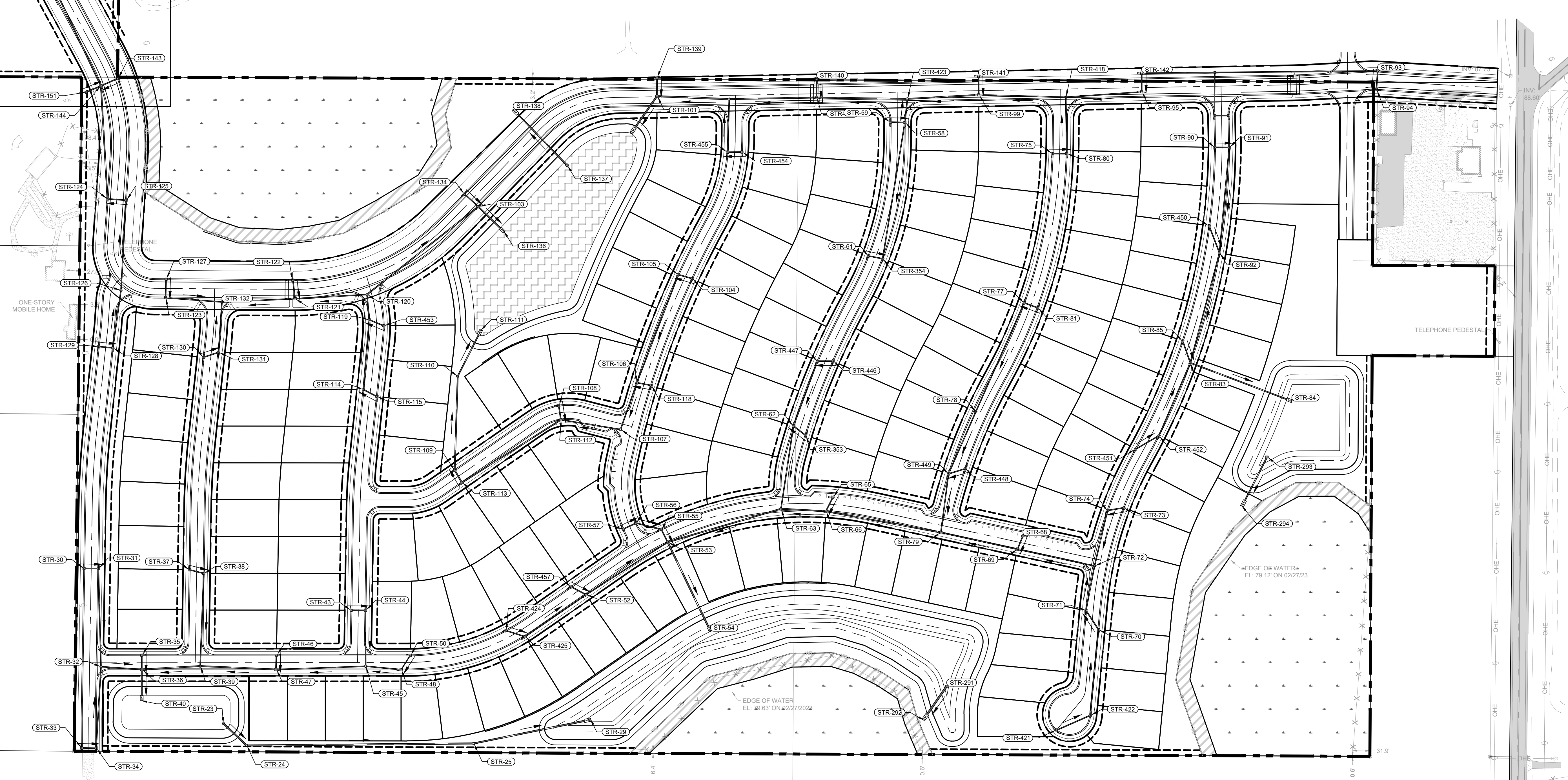


FILE NAME: A:\23000180 Mission Rise 00 - 02/27/2025.dwg
DATE PLOTTED: 02/27/2025 1:42 PM
PLOTTER: HP DesignJet 2750
PLOT SCALE: 1:1
PLOT SHEETS: 1/1
PLOT AREA: 11.00 x 17.00 INCHES
PLOT DEVICE: HP DesignJet 2750
PLOT STATUS: SUCCESS

PSPPXX-XXXX

ISSUED FOR CONSTRUCTION

MATCHLINE



811
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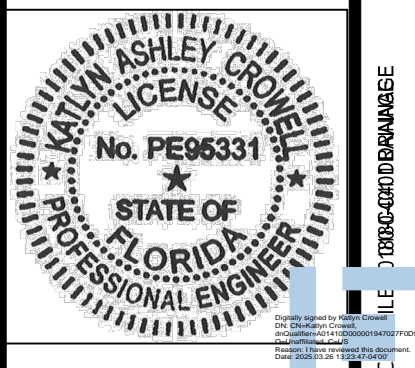
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SEC 27.34 TWP 20 S RGE 25 E
 HOWEY-IN-THE-HILLS
 LAKE COUNTY, FLORIDA

MISSION RISE
 TURNSTONE GROUP
 PRELIMINARY SUBDIVISION PLAT
 DRAINAGE PLAN

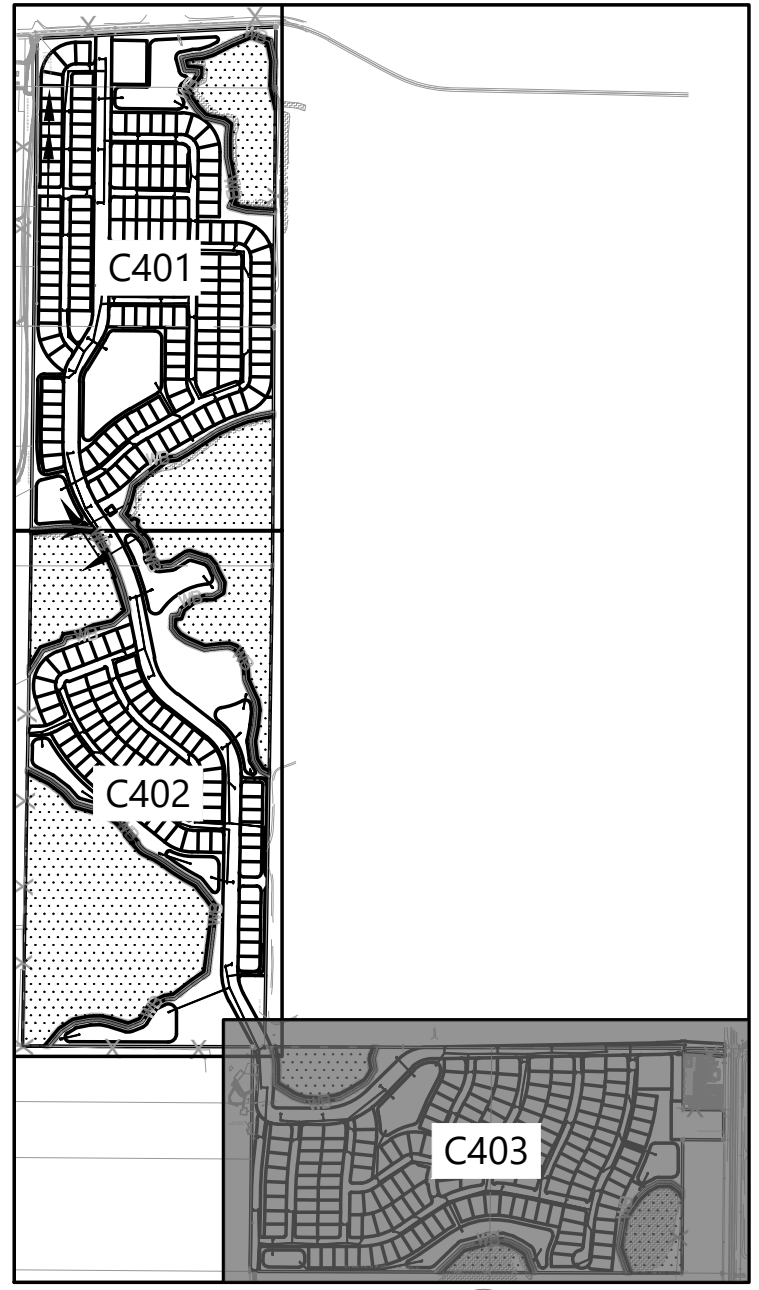
DATE 02/27/2025

REVISIONS



0 50 100
 DRAWN BY: AP
 CHECKED BY: ZOR
 PROJECT MANAGER: KC
 JOB #: 23000180
 FILE CODE: --
 SHEET NO.

FILE NAME: A:\23000180 Mission Rise AP and P&I\Drawings\Subdivisions\1818-C401\1818C402.dwg DATE: 02/27/2025 1:42 PM PLOTTED BY: ashley.crombie



PSPPXX-XXXX



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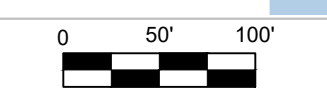
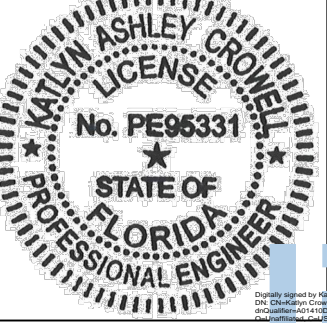
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 CCA# 23091

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 HOWEY-IN-THE-HILLS
 LAKE COUNTY, FLORIDA

MISSION RISE
 TURNSTONE GROUP
 PRELIMINARY SUBDIVISION PLAT
 UTILITY PLAN

DATE 02/27/2025

REVISIONS



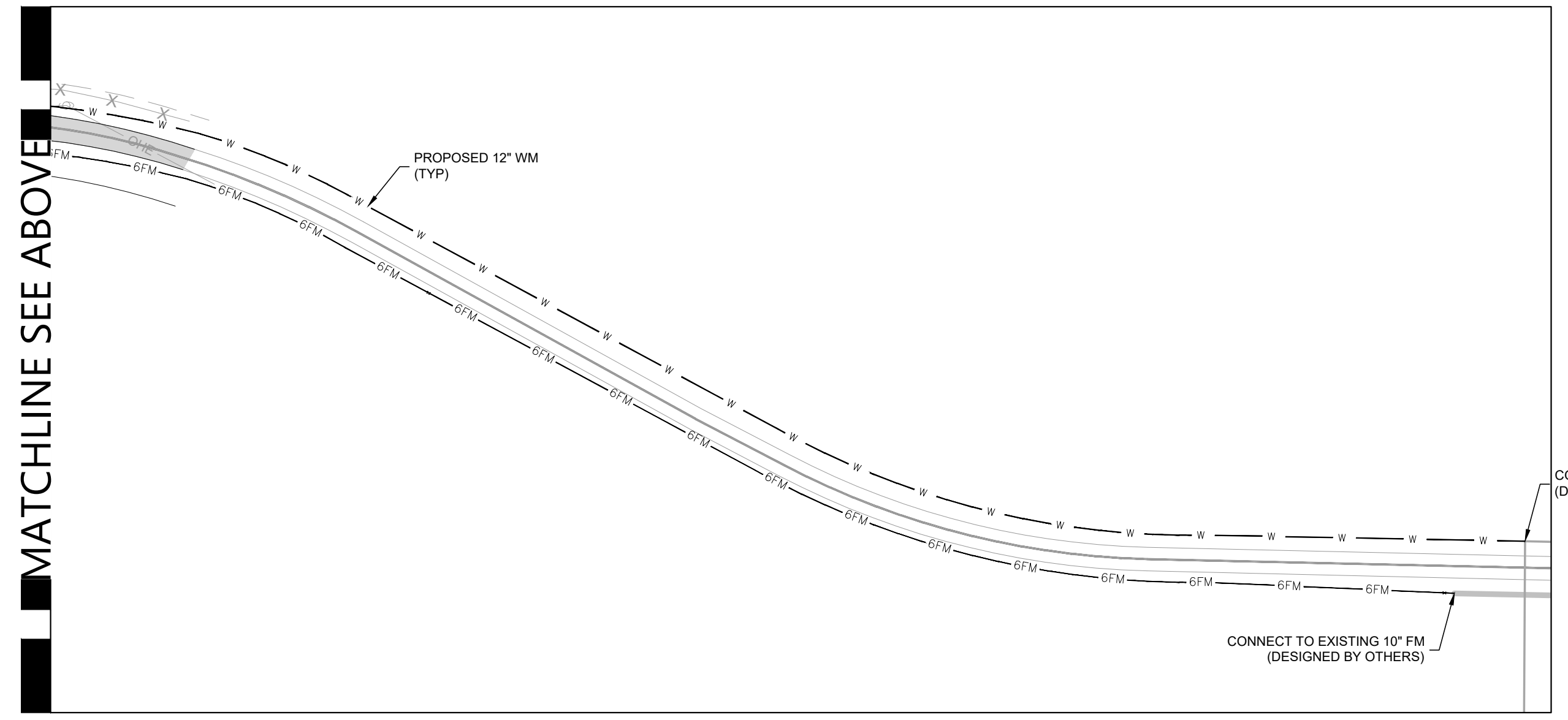
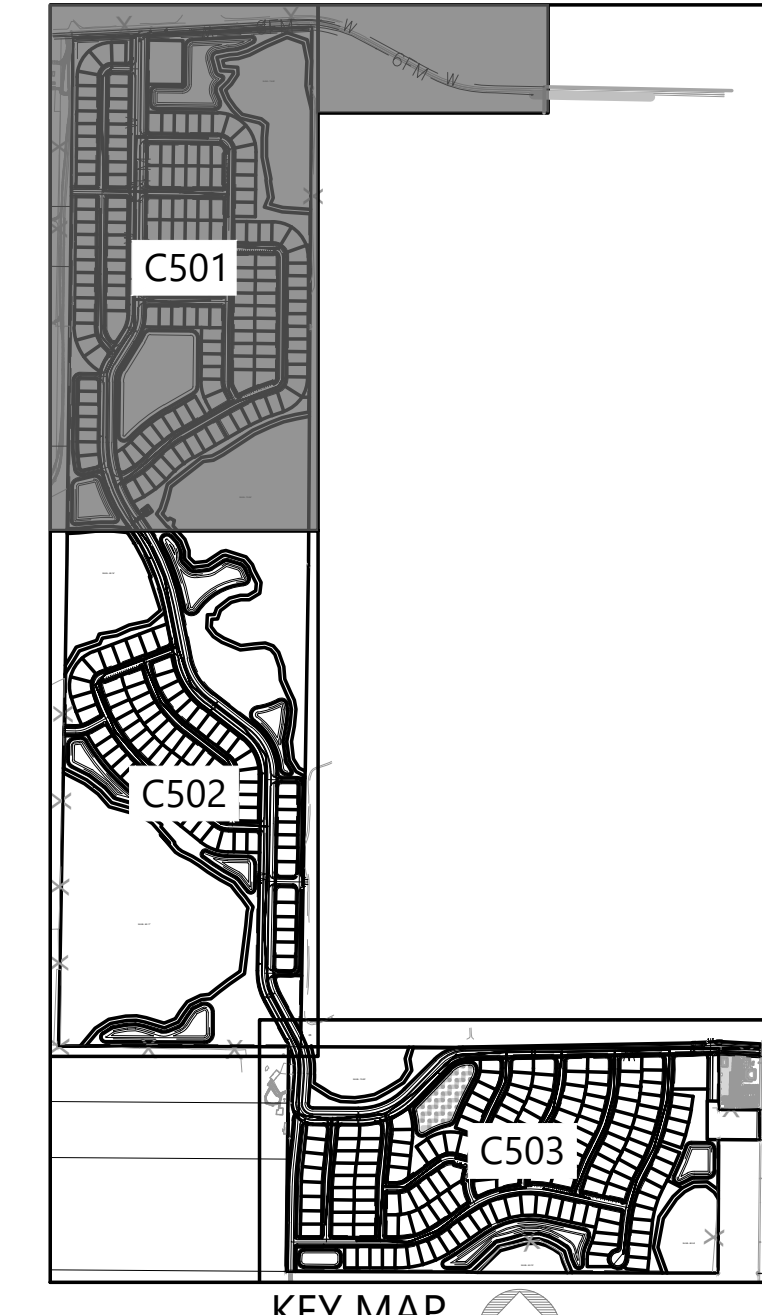
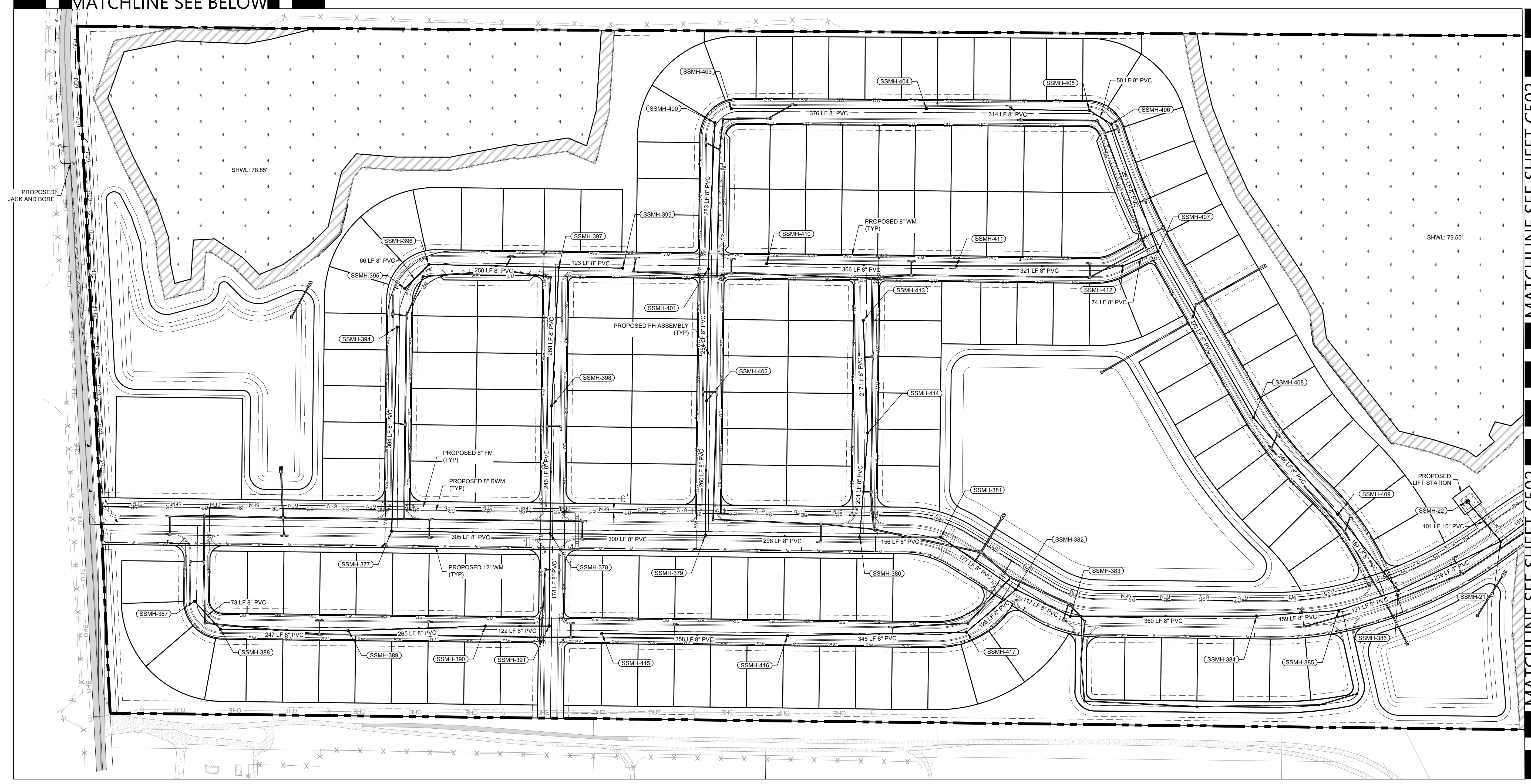
DRAWN BY: AP
 CHECKED BY: ZOR
 PROJECT MANAGER: KC
 JOB #: 23000180
 FILE CODE: --
 SHEET NO.

C501

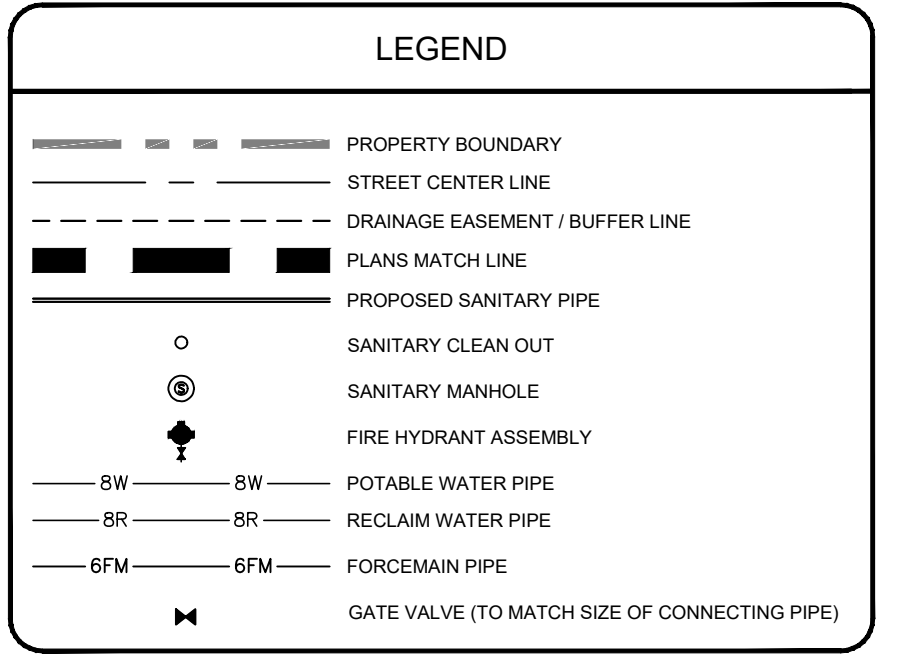
ISSUED FOR CONSTRUCTION

MATCHLINE SEE BELOW

MATCHLINE SEE SHEET C502



OFFSITE CONNECTION EXHIBIT



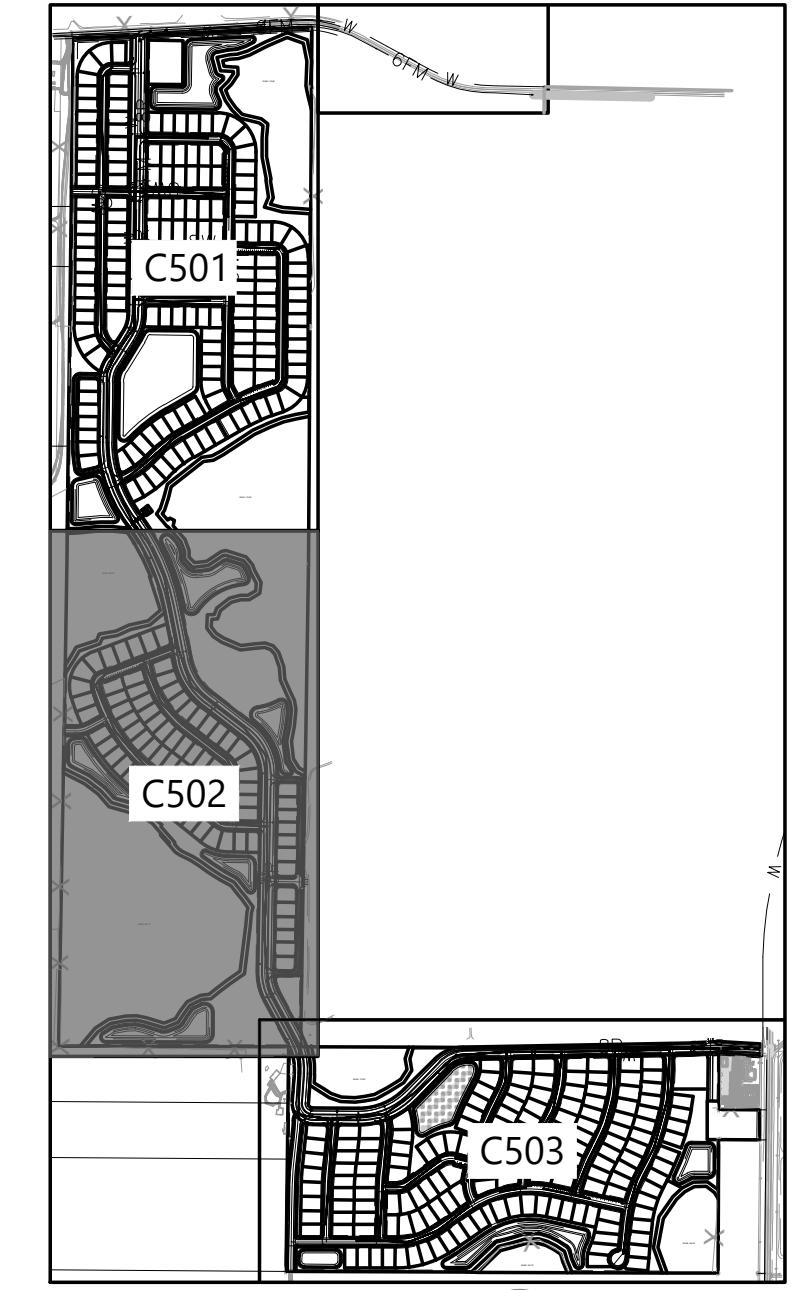
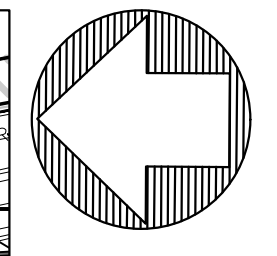
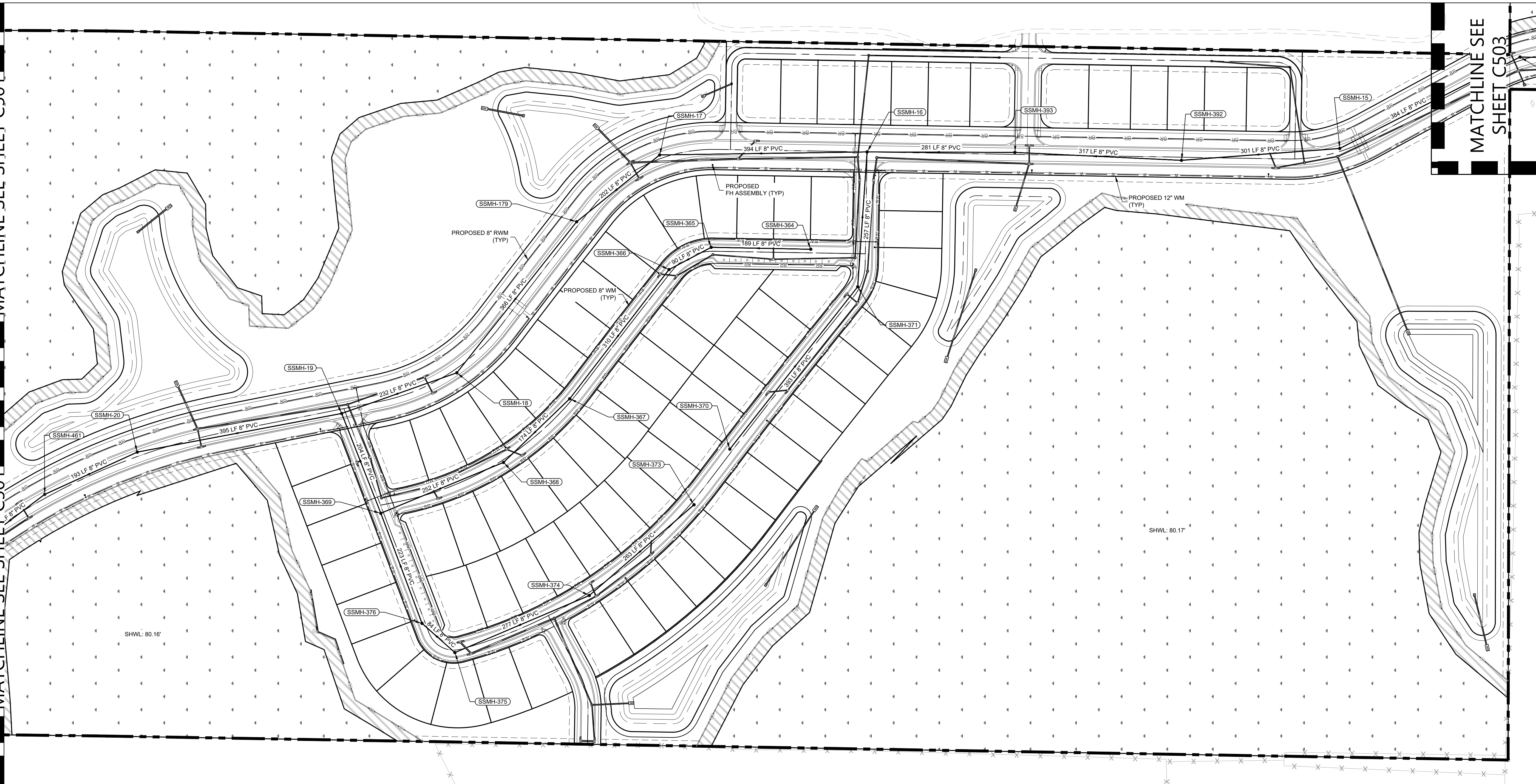
PSPXX-XXXX

FILE NAME: A:\30000180 Mission Rise 02 and 03\DWG\Plan_Sanitary\Utility\Utility_Preliminary\180-C501.dwg Plot Path: D:\Mission Rise 02 and 03\DWG\Plan_Sanitary\Utility\Utility_Preliminary\180-C501.plt

FILE NAME: A:\330000000\mission_rise_00_wd\pwp\mwp\plan_sch\02-Utility-Subdivision\1818-0501 UTILITY Preliminary.dwg DATE: 2/27/2025 15:15 PLOTTED BY: kalin_cornell 2/27/2025 PAPER: ARCH D (36" X 48" (914 X 1219)) SCALE: 1/8" = 1'-0" (3.175) DEVICE: HP DesignJet T1100PS (44" x 36")

MATCHLINE SEE SHEET C501

MATCHLINE SEE SHEET C503



KEY MAP
NTS

LEGEND	
	PROPERTY BOUNDARY
	STREET CENTER LINE
	DRAINAGE EASEMENT LINE
	PLANS MATCH LINE
	PROPOSED SANITARY PIPE
	SANITARY CLEAN OUT
	SANITARY MANHOLE
	FIRE HYDRANT ASSEMBLY
	POTABLE WATER PIPE
	RECLAIM WATER PIPE
	FORCEMAIN PIPE
	GATE VALVE (TO MATCH SIZE OF CONNECTING PIPE)

811
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SEC 27.34 TWP 20 S RGE 25 E
MISSION RISE
TURNSTONE GROUP
PRELIMINARY SUBDIVISION PLAT
UTILITY PLAN
HOWEY-IN-THE-HILLS
LAKE COUNTY, FLORIDA

DATE: 02/27/2025
REVISIONS:

PROFESSIONAL ENGINEER
STATE OF FLORIDA
No. PE96331
ASHLEY PROHOFER
LICENSE

0 50' 100'
DRAWN BY: AP
CHECKED BY: ZOR
PROJECT MANAGER: KC
JOB #: 23000180
FILE CODE: --
SHEET NO. C502
PSPXX-XXXX



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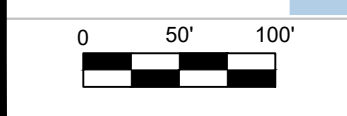
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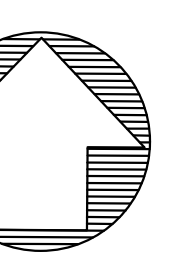
MISSION RISE TURNSTONE GROUP PRELIMINARY SUBDIVISION PLAT UTILITY PLAN

DATE 02/27/2025

REVISIONS

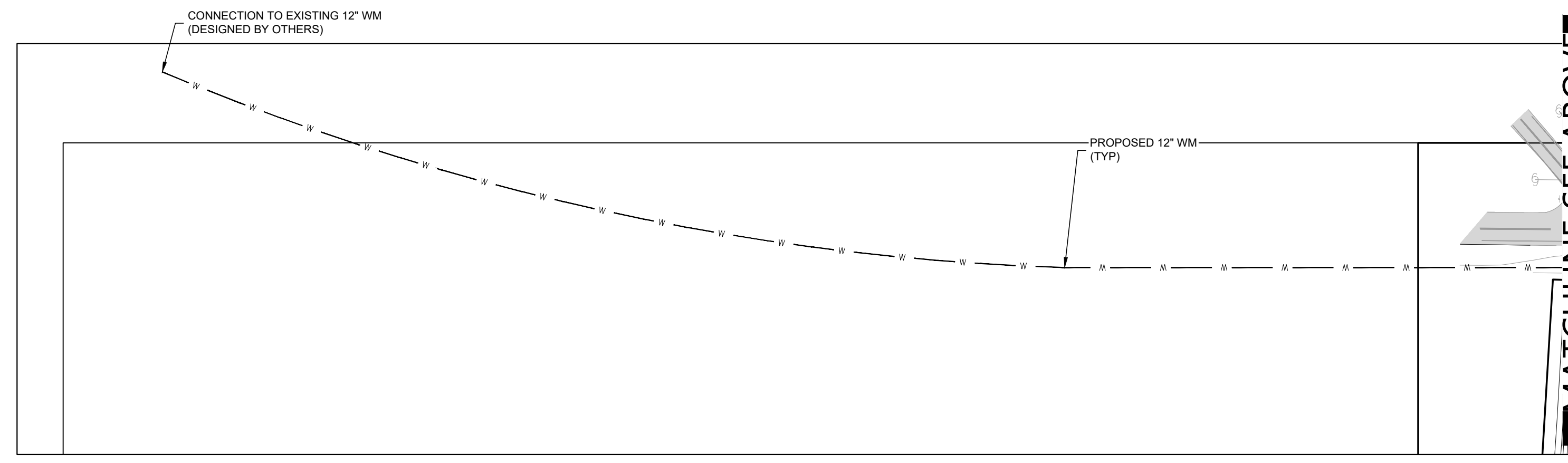
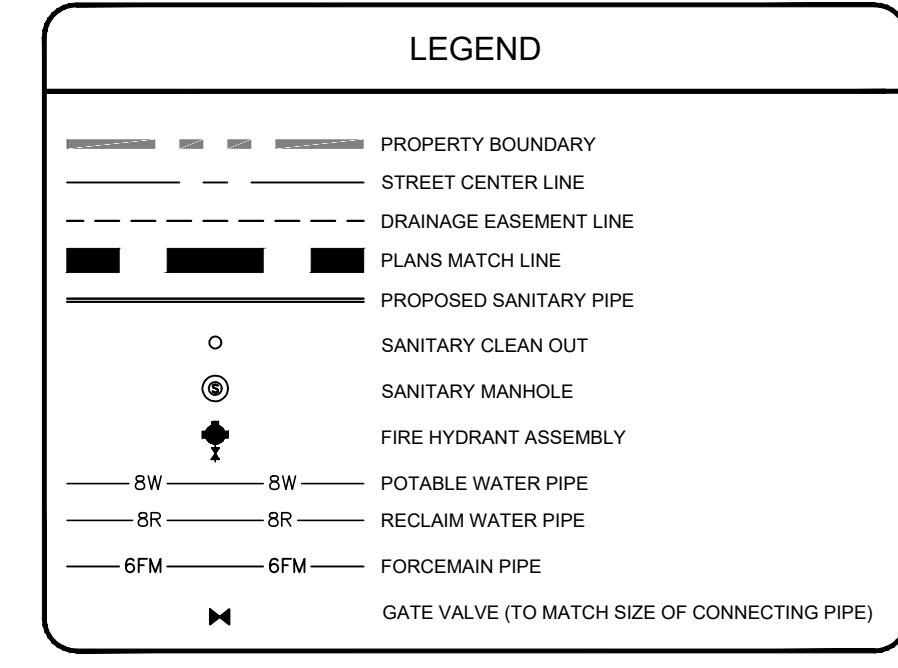
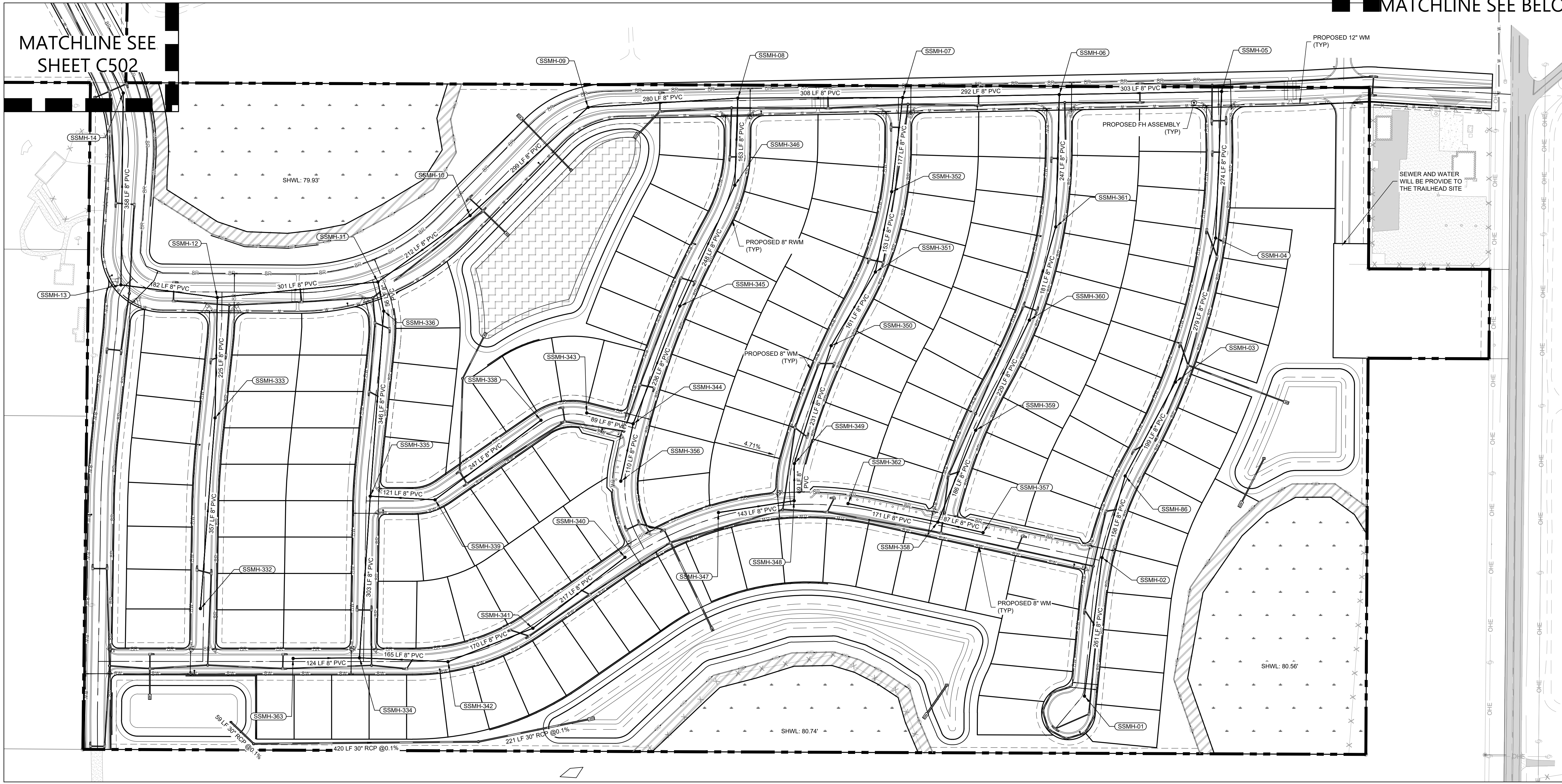


DRAWN BY: AP CHECKED BY: ZOR PROJECT MANAGER: KC JOB #: 23000180 FILE CODE: -- SHEET NO. C503

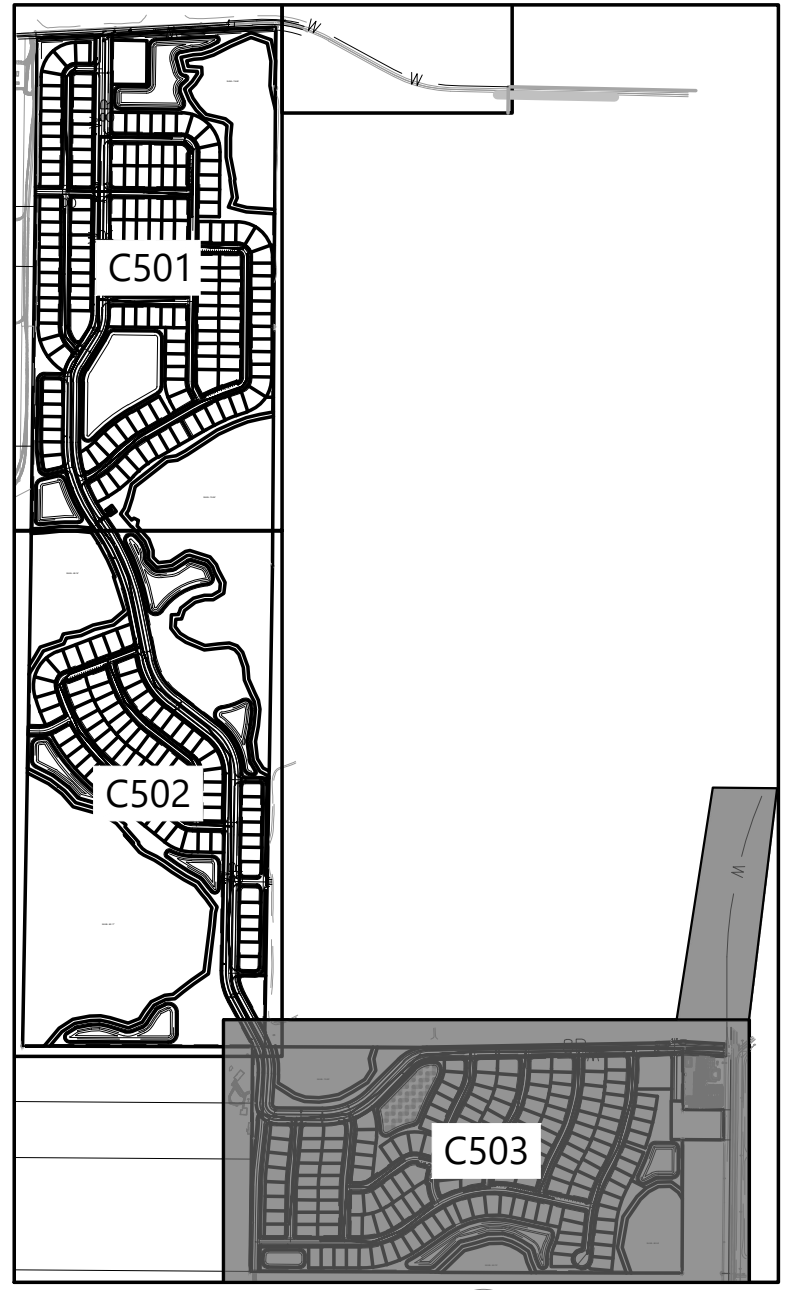
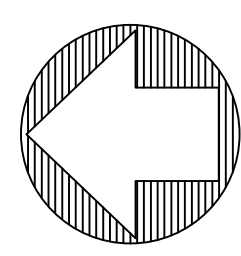


MATCHLINE SEE BELOW

MATCHLINE SEE SHEET C502



MATCHLINE SEE ABOVE



FILE NAME: A:\23000180 Mission Rise AP and P&M\Drawings\23000180-0501 UTILITY Preliminary Subdivision Plat.dwg DATE PLOTTED: 02/27/2025 12:15 PM PLOTTED BY: kaitlyn.crowell PLOT DEVICE: HP DesignJet 5600 Series PLOT SCALE: 1.0000

LPSPXX-XXXX

ISSUED FOR CONSTRUCTION