



Town Council Meeting

November 14, 2022 at 6:00 PM

Howey-in the-Hills Town Hall

101 N. Palm Ave.,

Howey-in-the-Hills, FL 34737

Join Zoom Meeting:

<https://us06web.zoom.us/j/85911837321?pwd=Vk5VNhU2cUV4Z3lKbWJWYWluNkl4UT09>

Meeting ID: 859 1183 7321 | **Passcode:** 807682

AGENDA

Call the Town Council Meeting to order
Pledge of Allegiance to the Flag

Administer Oath of Office to: Reneé Lannaman
Martha MacFarlane
David Miles

ROLL CALL

Acknowledgement of Quorum

AGENDA APPROVAL/REVIEW

CONSENT AGENDA

Routine items are placed on the Consent Agenda to expedite the meeting. If Town Council/Staff wish to discuss any item, the procedure is as follows: (1) Pull the item(s) from the Consent Agenda; (2) Vote on the remaining item(s); and (3) Discuss each pulled item and vote.

- 1.** The approval of the minutes and ratification and confirmation of all Town Council actions at the October 24, 2022 Town Council Meeting.

PUBLIC HEARING

- 2.** Consideration and Approval: (Second Reading) **Ordinance 2022-019 - Reserve/Hillside Groves Development - PUD Amendment**

AN ORDINANCE OF THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA, PERTAINING TO LAND USE; AMENDING ORDINANCE 2021-010 PERTAINING TO THE USE OF LAND WITHIN THE PROPERTY KNOWN AS THE RESERVE AT HOWEY-IN-THE-HILLS; PROVIDING FINDINGS OF THE TOWN COUNCIL; AMENDING THE AMENDED AND RESTATED DEVELOPER'S AGREEMENT FOR THE RESERVE AT HOWEY-IN-THE-HILLS TO ALLOW A CHANGE IN THE REQUIREMENTS FOR CONSTRUCTION OF A NORTH-SOUTH ROAD; RATIFYING AND CONFIRMING THE PROVISIONS OF

ORDINANCE 2021-010, AS AMENDED; PROVIDING FOR SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

- Mayor MacFarlane will read the Ordinance title
- Town Manager will explain Ordinance 2022-019
- Mayor MacFarlane will open Public Comment and Questions for this item only.
- Mayor MacFarlane will close Public Comment.
- Motion to approve Ordinance 2022-019
- Council Discussion
- Roll Call Vote

3. Discussion: **Water Utility Improvements - (Well 5 & 6 / Water Treatment Plant #3)**

OLD BUSINESS

NEW BUSINESS

- 4. Consideration and Approval: Selection of Town Councilor for the Offices of Mayor and Mayor Pro Tempore**
- 5. Consideration and Approval: Hausinger Well Drilling Contract**
- 6. Discussion: (First Reading) Ordinance 2022-016 - Simpson Parcels - Rezoning from MDR1 and MDR 2 to PUD**

AN ORDINANCE OF THE TOWN OF HOWEY IN THE HILLS, FLORIDA, PERTAINING TO LAND USE; PROVIDING FINDINGS OF THE TOWN COUNCIL; AMENDING THE TOWN'S OFFICIAL ZONING MAP TO REZONE FROM MDR-1 AND MDR-2 TO PLANNED UNIT DEVELOPMENT CERTAIN LANDS LOCATED IN THE SOUTHEAST QUADRANT OF THE INTERSECTION OF STATE ROAD 19 AND REVELS ROAD, AS MORE PARTICULARLY DESCRIBED IN ATTACHMENT A TO THIS ORDINANCE; INCORPORATING CONDITIONS, REQUIREMENTS, RESTRICTIONS, AND OTHER TERMS GOVERNING THE USE AND DEVELOPMENT OF THE PROPERTY; PROVIDING FOR SEVERABILITY, CONFLICTS, CODIFICATION, AND AN EFFECTIVE DATE.

- Mayor MacFarlane will read the Ordinance title
- Town Manager will explain Ordinance 2022-016
- Mayor MacFarlane will open Public Comment and Questions for this item only.
- Mayor MacFarlane will close Public Comment.
- Council Discussion

7. Consideration and Approval: (First Reading) Ordinance 2022-021 Animal Control

AN ORDINANCE OF THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA, CREATING CHAPTER 54 IN THE TOWN OF HOWEY-IN-THE-HILLS' CODE OF ORDINANCES TITLED "ANIMAL CONTROL"; PROVIDING REGULATIONS FOR RESTRAINT OF ANIMALS, NUISANCE ANIMALS, THE POSSESSION, OWNERSHIP, CARE, AND CUSTODY OF ANIMALS; PROVIDING FOR SEVERABILITY, CODIFICATION AND AN EFFECTIVE DATE.

- Mayor MacFarlane will read the Ordinance title
- Code Enforcement Officer will explain Ordinance 2022-021
- Mayor MacFarlane will open Public Comment and Questions for this item only.
- Mayor MacFarlane will close Public Comment.
- Motion to approve Ordinance 2022-021

- Council Discussion
- Roll Call Vote

8. Consideration and Approval: **Town Council Holiday Meeting Schedule**

DEPARTMENT REPORTS

- [9.](#) Town Hall
- [10.](#) Police Department
- [11.](#) Code Enforcement
- [12.](#) Public Works
- [13.](#) Library
- 14. Parks & Recreation Advisory Board / Special Events
- 15. Town Attorney
- [16.](#) Finance Department
- 17. Town Manager

COUNCIL MEMBER REPORTS

- 18. Mayor Pro Tem Gallelli
- 19. Councilor Lehning
- 20. Councilor Miles
- 21. Councilor Lannaman
- 22. Mayor MacFarlane

PUBLIC COMMENTS

Any person wishing to address the Mayor and Town Council and who is not on the agenda is asked to speak their name and address. Three (3) minutes is allocated per speaker.

ADJOURNMENT

To Comply with Title II of the Americans with Disabilities Act (ADA):

Qualified individuals may get assistance through the Florida Relay Service by dialing 7-1-1. Florida Relay is a service provided to residents in the State of Florida who are Deaf, Hard of Hearing, Deaf/Blind, or Speech Disabled that connects them to standard (voice) telephone users. They utilize a wide array of technologies, such as Text Telephone (TTYs) and ASCII, Voice Carry-Over (VCO), Speech to Speech (STS), Relay Conference Captioning (RCC), CapTel, Voice, Hearing Carry-Over (HCO), Video Assisted Speech to Speech (VA-STs) and Enhanced Speech to Speech.

Howey Town Hall is inviting you to a scheduled Zoom meeting.
Topic: **Town Council Meeting**

Time: **Nov 14, 2022 06:00 PM Eastern Time** (US and Canada)

Join Zoom Meeting

<https://us06web.zoom.us/j/85911837321?pwd=Vk5VNXU2cUV4Z3lKbWJWYkluNk14UT09>

Meeting ID: 859 1183 7321

Passcode: 807682

Dial by your location

+1 646 558 8656 US (New York)

+1 346 248 7799 US (Houston)

Meeting ID: 859 1183 7321

Passcode: 807682

Find your local number: <https://us06web.zoom.us/u/kbYqWSGggY>

Please Note: In accordance with F.S. 286.0105: Any person who desires to appeal any decision or recommendation at this meeting will need a record of the proceedings, and that for such purposes may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is based. The Town of Howey-in-the-Hills does not prepare or provide this verbatim record. Note: In accordance with the F.S. 286.26: Persons with disabilities needing assistance to participate in any of these proceedings should contact Town Hall, 101 N. Palm Avenue, Howey-in-the-Hills, FL 34737, (352) 324-2290 at least 48 business hours in advance of the meeting.



Town Council Meeting

October 24, 2022 at 6:00 PM

Howey-in the-Hills Town Hall
101 N. Palm Ave.,
Howey-in-the-Hills, FL 34737

AGENDA

Mayor MacFarlane called the Town Council Meeting to order at 6:00 p.m.
Mayor MacFarlane led the attendees in the Pledge of Allegiance to the Flag.

ROLL CALL

Acknowledgement of Quorum

MEMBERS PRESENT:

Councilor David Miles | Councilor Rick Klein (via Zoom) | Councilor George Lehning | Mayor Pro Tem Marie V Gallelli | Mayor Martha MacFarlane

STAFF PRESENT:

Sean O'Keefe, Town Administrator | Morgan Cates, Public Works Director | James Southall, Public Utilities Supervisor (Zoom) | Rick Thomas, Police Chief | Azure Botts, Code Enforcement Officer | Abigail Herrera, Finance Supervisor | Tom Wilkes, Town Attorney | Tom Harowski, Town Planner (via Zoom)

Motion made by Councilor Miles to allow Councilor Klein to participate and vote remotely via Zoom; seconded by Mayor Pro Tem Gallelli. Motion approved unanimously by voice vote.

Voting

Yea: Councilor Miles, Councilor Lehning, Mayor Pro Tem Gallelli, Mayor MacFarlane

Nay: None

AGENDA APPROVAL/REVIEW

Motion made by Mayor Pro Tem Gallelli to approve the Meeting's Agenda; seconded by Councilor Miles. Motion approved unanimously by voice vote.

Voting

Yea: Councilor Miles, Councilor Klein, Councilor Lehning, Mayor Pro Tem Gallelli, Mayor MacFarlane

Nay: None

CONSENT AGENDA

Routine items are placed on the Consent Agenda to expedite the meeting. If Town Council/Staff wish to discuss any item, the procedure is as follows: (1) Pull the item(s) from the Consent Agenda; (2) Vote on the remaining

item(s); and (3) Discuss each pulled item and vote.

1. The approval of the minutes and ratification and confirmation of all Town Council actions at the October 10, 2022 Town Council Meeting.

Motion made by Councilor Miles to approve of the Consent Agenda; seconded by Councilor Lehning. Motion approved unanimously by voice vote.

Voting

Yea: Councilor Miles, Councilor Klein, Councilor Lehning, Mayor Pro Tem Gallelli, Mayor MacFarlane

Nay: None

PUBLIC HEARING

2. Consideration and Approval: **469 Avila Place Pool Variance**

Mayor MacFarlane asked Tom Harowski, Town Planner, to introduce and explain this item. Mr. Harowski summarized his staff report to the Town Council. Mr. Harowski explained that the Planning & Zoning Board had recommended the variance to the Town Council with two conditions. The first condition was that placing fill dirt in the drainage easement that runs across the rear of the lot be prohibited. The second condition was that any trees that would be displaced by the pool area be replaced or moved to another area of the lot.

Motion made by Councilor Miles to approve the variance with the conditions that the Planning & Zoning Board had recommended; seconded by Councilor Klein.

Councilor Lehning stated, if this variance was granted, he felt that the Town should remove the zoning requirements for pool placement due to multiple variances being granted recently. Councilor Lehning opined that the Council should either do away with the requirements, or just say “No.”

Mayor Pro Tem Gallelli spoke about a one-foot step that seemed to be between the patio and the pool area and asked if that step could be removed to bring the pool a foot closer to the house.

Peter DeJoseph, 469 Avila Pl (applicant and homeowner) – Mr. DeJoseph explained that the one-foot step area had been discussed in the Planning & Zoning Board meeting and he had originally agreed to do that, however, the engineer tasked with planning the pool had stated that it was impossible to do so, and Mr. DeJoseph had agreed to just make the pool one foot smaller in width. This was reflected in the current set of plans that was presented to the Town Council.

Councilor Miles withdrew his first motion and made a new motion to approve the requested variance with a preference of putting in the pool in the side yard of the lot but allowing the applicant to place the pool in the rear of the lot if that was not possible. There was no second for this motion.

Town Councilor Elect, Renee Lannaman, stated that the Talichet HOA most likely had HOA declarations similar to Venezia HOA, which would not allow a pool in the side yard.

Joshua Husemann, 671 Avila Pl – Mr. Husemann agreed with Mrs. Lannaman’s statement that the Talichet HOA would not allow a pool in the side yard without HOA Architectural Control Committee approval.

Motion made by Councilor Miles to approve the variance with the conditions that the Planning & Zoning Board had recommended; seconded by Councilor Klein. Motion approved by roll-call vote.

Voting**Yea:** Councilor Miles, Councilor Klein, Mayor Pro Tem Gallelli, Mayor MacFarlane**Nay:** Councilor Lehning

3. Consideration and Approval: (Second Reading) **Ordinance 2022-019 - Reserve/Hillside Groves Development - PUD Amendment**

AN ORDINANCE OF THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA, PERTAINING TO LAND USE; AMENDING ORDINANCE 2021-010 PERTAINING TO THE USE OF LAND WITHIN THE PROPERTY KNOWN AS THE RESERVE AT HOWEY-IN-THE-HILLS; PROVIDING FINDINGS OF THE TOWN COUNCIL; AMENDING THE AMENDED AND RESTATED DEVELOPER'S AGREEMENT FOR THE RESERVE AT HOWEY-IN-THE-HILLS TO ALLOW A CHANGE IN THE REQUIREMENTS FOR CONSTRUCTION OF A NORTH-SOUTH ROAD; RATIFYING AND CONFIRMING THE PROVISIONS OF ORDINANCE 2021-010, AS AMENDED; PROVIDING FOR SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

Councilor Miles asked for an explanation for why this item was coming back up for consideration since, during its first reading at the prior Town Council Meeting, it was voted down with a two to one vote.

Town Attorney, Tom Wilkes, gave his legal opinion of why the Town Council needed to give this item a second reading. Mr. Wilkes stated that Florida Statutes say that the Town can enact more rigorous requirements than the state requires. Mr. Wilkes stated that, in 1990, the Town enacted a requirement that the Town Council vote at each reading of an Ordinance. However, twenty years later, the Town adopted its current Land Development Code (LDC). The current LDC requires that PUD ordinances are given two readings with Town Council and that Town Council approves or disapproves a PUD ordinance during the second reading.

Lane Register, representative from Lennar, asked for a continuance for this item.

Motion made by Councilor Lehning for continuance of this item to the November 14th Town Council Meeting; seconded by Mayor Pro Tem Gallelli. Motion approved by voice vote.

Voting**Yea:** Councilor Miles, Councilor Lehning, Mayor Pro Tem Gallelli, Mayor MacFarlane**Nay:** Councilor Klein

Pat Hartman, 110 Palmyra Court, Leesburg Florida – Mrs. Hartman stated that she was on the Audubon Eagle Watch. She stated that the Reserve property might have a bald eagle nest on or near the property. The Florida Fish and Wildlife Commission has number it as LA220.

OLD BUSINESS

4. Consideration and Approval: **Appointment of Alan Hayes to the Planning and Zoning Board**

Motion made by Mayor Pro Tem Gallelli appoint Alan Hayes to the Planning & Zoning Board; seconded by Councilor Miles

Voting**Yea:** Councilor Miles, Councilor Klein, Councilor Lehning, Mayor Pro Tem Gallelli, Mayor MacFarlane**Nay:** None

5. Consideration and Approval: **Fencing around Town Lift Stations in Central Park and Griffin Park**

Mayor MacFarlane asked Public Works Director, Morgan Cates, to introduce and explain this topic. Mr. Cates stated that he had only received two estimates for fencing around the lift stations but should have more within the next week. So far, the lowest bid, which was from Fence-It In, Inc, was for \$2,360 for the Central Park lift station and \$1,945 for the Griffin Park lift station.

Councilor Lehning asked, if the Town were to install bollards at the Griffin Park lift station, would they stop a car driving into it at a substantial speed. Mr. Cates said that no, it would most likely not stop the car. Councilor Lehning stated that, if the bollards would not stop a car, the Town should just build the fences and not install bollards.

Mayor MacFarlane opened Public Comment for this item only.

Peter Tuite, 300 E Croton Way – Mr. Tuite questioned if the lift stations were underground. Mr. Tuite stated that he would like the fences to be opaque.

Motion made by Councilor Miles to approve of fencing in both the Central Park lift station and Griffin Park lift station for an amount less than \$5,000 for both areas to be fenced (to be paid out of the Town's reserves); seconded by Mayor Pro Tem Gallelli. Motion approved unanimously by roll-call vote.

Voting

Yea: Councilor Miles, Councilor Klein, Councilor Lehning, Mayor Pro Tem Gallelli, Mayor MacFarlane

Nay: None

NEW BUSINESS

6. Presentation: **Well 5 & 6 / Water Treatment Plant #3 Overview**

Mayor MacFarlane explained that this item was necessary to educate the public on the importance of the new North Water Treatment Plant #3 and the new Wells #5 and #6. Mayor MacFarlane asked for the public to support the Town's upcoming efforts in getting appropriations passed in the State Budget to assist with the drilling of the Wells and the building of the new Water Treatment Plant.

Sean O'Keefe, Town Manager, stated that the Town would have Public Hearings for this project during both November Town Council Meetings. Mr. O'Keefe asked James South, Public Utilities Supervisor, to give a presentation on the wells, water treatment plant, and their necessity.

Mayor MacFarlane opened Public Comment for this item only.

Joe Saladino, 500 E Mission Lane- Mr. Saladino suggested that the Town create a petition for residents to sign, to show support.

Peter Tuite, 300 E Croton Way – Mr. Tuite stated that he believes the Town's CUP has run out (but there was a request in from the Town) and asked if there are any plans to supply water to areas outside of the Town limits.

7. Consideration and Approval: (First Reading) **Ordinance 2022-020 - Compensation of the Mayor, Mayor Pro Tempore and Town Council Members.**

Martha MacFarlane, Mayor, read Ordinance 2022-020 by title only:

AN ORDINANCE OF THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA, PERTAINING TO TOWN COUNCIL; REVISING THE COMPENSATION TO BE PAID TO THE MAYOR, MAYOR PRO TEMPORE AND COUNCILORS UNDER SECTION 42-10 OF THE TOWN'S CODE OF ORDINANCES; PROVIDING FOR SEVERABILITY, CODIFICATION AND AN EFFECTIVE DATE.

Mayor MacFarlane opened Public Comment for this item only.

Banks Helfrich, 9100 Sam's Lake Road, Clermont FL – Mr. Helfrich questioned how much the Town Councilors were currently being paid and how much this would increase their pay.

Peter Tuite, 300 E Croton Way – Mr. Tuite stated he was happy with the job the Town Councilors were doing and the amount they were being paid and thought the raise was justified.

Motion made by Councilor Klein approve Ordinance 2022-020 and move it to a second reading; Seconded by Councilor Lehning. Motion failed by roll-call vote.

Voting

Yea: Councilor Klein

Nay: Councilor Miles, Councilor Lehning, Mayor Pro Tem Gallelli, Mayor MacFarlane

DEPARTMENT REPORTS

8. Town Manager

Sean O'Keefe, Town Manager, deferred some of his time to Code Enforcement Officer, Azure Botts, to give a status update in the Town's FEMA submission due to Hurricane Ian. Officer Botts explained the Town's current FEMA status and that the Town would be hiring an Engineer to review the status of the damage done to the boardwalk at the Sara Maude Mason Nature Preserve.

Mr. O'Keefe discussed upcoming events, including the Town Halloween Bash, Veterans Day Event, and Christmas Festival. Mr. O'Keefe also stated that the Drake Pointe development project would be coming before the Lake County Board of County Commissioners at their November 1st meeting, and that he encouraged participation from the Town's residents.

COUNCIL MEMBER REPORTS

9. Mayor Pro-Tem Gallelli

Mayor Pro Tem Gallelli has questions about the Lake County Board of County Commissioners' meeting in which the Drake Pointe development would be discussed.

10. Councilor Lehning

Councilor Lehning thanked the audience members that showed up and participated in the meeting.

11. Councilor Miles

Councilor Miles stated he would like the Town Manager to prepare a study on setting up a Wastewater Impact Fee just for new properties that would be served by a sewer system. Councilor Miles also stated that he would like the Town Manger to look into requirements and costs for requiring existing residents that are near existing sewer lines to be hooked up to sewer instead of septic systems. Councilor Miles also said that he would like the Town Manger to have a meeting with the owners or managers of the Juice Plant and try to get them to agree to annexing into the Town and using Town water. Councilor

Miles also wanted the Public Works to look into making the corner of Citrus and Camelia safer to traverse (Public Works should look into buying more right of way from properties in that area), and also trim the bushes on the corner of Tangerine and Lakeshore (the stop sign and no turning sign were hard to see).

12. Councilor Klein

Prior to Councilor Klein's report, Mayor MacFarlane acknowledged that this was Councilor Klein's last meeting as a Town Councilor and thanked him for his service on the Town Council.

Councilor Klein thanked the Mayor for her comment and had nothing further to report.

13. Mayor MacFarlane

Mayor MacFarlane spoke about the Christmas Festival Car Show and Christmas Festival. Mayor MacFarlane stated she wanted Morgan Cates, Public Works Director, to work on the Christmas tree at the library and try to make it appear bigger. Mayor MacFarlane stated that FloDash was helping the town with the Christmas race, as they had in previous years.

PUBLIC COMMENTS

Any person wishing to address the Mayor and Town Council and who is not on the agenda is asked to speak their name and address. Three (3) minutes is allocated per speaker.

Carol Roque, 505 Mission Lane – Mrs. Roque said that she felt very positive about that night's Town Council Meeting.

Banks Helfrich, 9100 Sam's Lake Road, Clermont FL – Mr. Helfrich spoke about Breast Cancer Awareness month and the importance of voting.

ADJOURNMENT

There being no further business to discuss, a motion was made by Councilor Lehning to adjourn the meeting; Councilor Miles seconded the motion. Motion was approved unanimously by voice vote.

The Meeting adjourned at 7:57 p.m. | **Attendees: 37**

Mayor Martha MacFarlane

ATTEST:

John Brock, Town Clerk



TMHConsulting@cfl.rr.com
 97 N. Saint Andrews Dr.
 Ormond Beach, FL 32174
 PH: 386.316.8426

MEMORANDUM

TO: Howey-in-the-Hills Town Council
CC: S. O'Keefe, Town Manager; J. Brock, Town Clerk
FROM: Thomas Harowski, AICP, Planning Consultant
SUBJECT: The Reserve/Hilltop Groves First Amendment to the Development Agreement
DATE: October 5, 2022

The developers of the residential portion of The Reserve development have asked for an amendment to the approved development agreement to make revisions to the preliminary subdivision plan included as an attachment to the development agreement. Some of these proposed revisions qualify as major amendments under the terms of the adopted PUD agreement, so all the requested changes have been included in the proposal. The applicants have submitted a list of plan adjustments on the updated master site plan map including a number key locating each revision. Other than the change of the collector road from 4-lanes to 2-lanes the proposed revisions result from more detailed design and engineering work to harden the preliminary subdivision design. Approval of the requested changes will clear the way for submittal of the final subdivision plan for the first development phase.

The Town's Development Review Committee reviewed the proposed amendments at their meeting on September 8, 2022 and prepared a list of recommendations for the proposed changes. The Planning Board reviewed the package of revisions at their regular meeting of September 22, 2022 and recommended the amendments to Town Council for approval. The changes are limited to the preliminary subdivision plan with no proposed changes to the text of the development agreement. The proposed revisions include the following items:

1. The applicants are requesting a revised design for the central collector road, identified as Road A on the preliminary subdivision plan, from four lanes to two lanes through the residential portion of The Reserve development. Most of the portion of Road A through the commercial portion of the project will remain as a four-lane section. In support of the requested change the applicants have submitted an analysis from their traffic engineer documenting that a two-lane road is sufficient to support the projected traffic volumes. The Town engineer has reviewed the request and supports the finding that the two-lane section is adequate for the traffic demand, and that with protected left turn lanes can result in reduced speed and increased safety within the project.

The applicants have noted that the road right-of-way through the commercial area has been increased from 90 feet to 100 feet as shown on the roadway cross-sections. The wider right-of-way is proposed to give more room to fit all the necessary components in the four-lane road section. The intersection with SR 19 has moved south about 250 feet, and driveway connections for the commercial area are shown.

(Refer to map items 2, 3, 4 and 12.)

2. The applicants are proposing minor adjustments to Roads D and F and the adjoining lots to reduce the amount of road area and improve safety while still providing access to the adjacent lots. **(Refer to map item 1.)**
3. The applicants are requesting revisions to Roads B and N along with adjacent lots to improve the connection between Phase 2 and Phase 3. This change improves traffic flow and reduces the number of lots on closed-end streets. **(Refer to map item 6.)**
4. The applicants are revising the collector road cross-sections to include the minimum 10-foot bicycle/pedestrian pathway that extends from SR 19 to Number Two Road. This facility has been a commitment of the project, but roadway cross-section submitted prior to this plan did not fully identify the bicycle/pedestrian path. **(Refer to the revised cross-sections for the two-lane and four-lane sections.)**
5. Residential lots along Road AA and Road Z have been changed to the 50 x 115 lot type rather than the originally proposed 50 x 80 lot type. **(Refer to map item 8.)**
6. The staff has asked for the addition of a street crossing detail where the bicycle/pedestrian path crosses a roadway. This detail is intended to limit the opportunity for cars to inadvertently drive on the path. They have agreed to provide a detail.
7. The applicants have been requested to update the totals of residential units by type and phase. The changes resulting from the road and engineering design changes have reduced the number of cluster units (4) and townhouse units (7) while increasing the total number of single-family units (11). There is no change to the total number of units. **(The revised totals for units by phase are shown on the table on the left side of the master site plan.)**
8. The applicants have been requested to provide a maximum impervious area for each type of residential unit. The lack of a maximum impervious area has been creating some review issues with our other PUD-based neighborhoods. **(The maximum impervious areas by unit type are shown on the table on the left side of the master site plan.)**

The Development Review Committee supports these eight revisions to the approved development agreement and the Planning Board recommended the changes to the Town Council.

The revised plan includes several other small adjustments that are noted here as part of the overall amendment. Please note the following revisions:

- The emergency access via Mare Avenue has been removed. The revised street pattern between Phase 2 and Phase 3 will serve this purpose. **(Refer to map item 5.)**
- The driveway connection to Talichet Phase 2 has been removed as the connection is no longer possible. **(Refer to map item 7.)**
- A revised roadway connection in Phase 4 has been added. **(Refer to map item 9.)**
- Stormwater pond locations have been added to Phase 4. **(Refer to map item 10.)**
- The phase line for Phase 1 has been adjusted. **(Refer to map item 11)**

During the review, the DRC also agreed that the intersection designs of the primary collector road at SR 19 and Number Two Road will be considered minor amendment to the development agreement as the permitting agencies (FDOT and Lake County) will ultimately be directing the intersection designs. The preliminary subdivision plan will also provide for a driveway connection from the collector road to the Town's public safety parcel at the intersection with the primary collector road. It is expected that this connection will provide an opportunity to reduce fire and police response times to properties within the project.



September 12, 2022

Town of Howey-In-The-Hills
Planning & Zoning Dept.
101 N. Palm Avenue
Howey-In-The-Hills, FL 34737

RE: Hillside Grove (fka. Reserve at Howey-in-the-Hills)
PUD Major Amendment PUD Ordinance 2004-322
CWI Job# 21-04-0008

To whom it may concern,

Please find the following items attached for your review of the above reference project:

- Redlined Master Site Plan
- Typical Section of 90' Right of Way with 2 lanes
- Typical Section of 100' Right of Way with 4 lanes

In addition to the above items, we submit the following summary of the revisions on the attached redlined Master Site Plan from the original approval PUD exhibit. The project has now begun detailed engineering design and a greater level of detail is now shown. Each number below corresponds with a number listed in red on the Master Site Plan

1. The roadway alignment has been revised to create a safer condition for both pedestrians and vehicles.
2. The entrance roadway connection to S. Palm Drive has shifted south approximately 250'.
3. The anticipated driveway apron locations to the commercial area are shown. Previously no driveway aprons were shown.
4. The spine road connecting S. Palm Avenue to has been reduced to a two lane section starting at the commercial driveway apron location north to Number 2 Road.
5. The emergency access adjacent to a stormwater pond at the north side of the project has been removed.
6. A roadway connection is added between phase 2 and phase 3 in lieu of a cul-de-sac in phase 2.
7. The driveway apron pictorially shown previously has been removed.
8. Lots are revised to be 50'x115' lots in lieu of 50'x80' lots.
9. A roadway connection is shown connecting all of phase 4 development.
10. Added stormwater management facility locations.
11. The phase line revised so that spine road connection to Number 2 Road is included in phase 1.

12. The right of way between S. Palm Drive to the project boundary is revised to be a 100' wide to allow for additional green space for tree plantings.
13. Other minor revisions that are a result of additional progress on detailed design that are not numbered but are identified here are:
 - a. Shifting of lot lines
 - b. Relocation of Pump Stations
 - c. Addition of Natural / Vegetative Upland Buffers
 - d. Pond banks and normal water lines more accurately depicted

We trust this information is sufficient for your review and approval of the PUD modification. Should you have comments or require additional information, please feel free to contact me at your convenience.

Sincerely,
Connelly & Wicker, Inc.

Richard C. Welch, P.E.
President

ORDINANCE NO. 2022-019

AN ORDINANCE OF THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA, PERTAINING TO LAND USE; AMENDING ORDINANCE 2021-010 PERTAINING TO THE USE OF LAND WITHIN THE PROPERTY KNOWN AS THE RESERVE AT HOWEY-IN-THE-HILLS; PROVIDING FINDINGS OF THE TOWN COUNCIL; AMENDING THE AMENDED AND RESTATED DEVELOPER'S AGREEMENT FOR THE RESERVE AT HOWEY-IN-THE-HILLS TO ALLOW A CHANGE IN THE REQUIREMENTS FOR CONSTRUCTION OF A NORTH-SOUTH ROAD; RATIFYING AND CONFIRMING THE PROVISIONS OF ORDINANCE 2021-010, AS AMENDED; PROVIDING FOR SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA:

Section 1. Findings. The owners of the land zoned under Ordinance 2021-010 for The Reserve at Howey-in-the-Hills Planned Unit Development ("The Reserve") have requested an amendment to the land-use approvals for The Reserve to allow the north-south spine road labeled "Road A" to be constructed as a two-lane road instead of a four-lane road. The request is reasonable and the Town Council is willing to approve it.

Section 2. Amendments to Land-Use Approvals.

a) The proposed "First Amendment to the Amended and Revised Developer's Agreement for The Reserve at Howey-in-the-Hills" ("First Amendment") is approved. The Town Manager and the Town Clerk are authorized and directed to execute and deliver to the Owners the First Amendment as presented to the Town Council, with such amendments (if any) approved by Town Council.

b) The list in section 2 of Ordinance 2021-010 of the land-use approvals and other documents containing the conditions, requirements, restrictions, and other terms pertaining to development of The Reserve is amended to add the following:

- i. The First Amendment to Amended and Restated Developer's Agreement for The Reserve at Howey-in-the-Hills, dated as of _____, 202__, including its Attachment 1; and
- ii. The Master Site Plan for The Reserve at Howey-in-the-Hills dated August 2022

- and contained in Attachment 1 to the First Amendment; and
- iii. The Typical Roadway Cross Section for 90' Right of Way contained in Attachment 1 to the First Amendment; and
 - iv. The Typical Roadway Cross Section for 90' Right of Way (4 lane section) contained in Attachment 1 to the First Amendment.

Section 3. Ratification; Future Amendments to Developer's Agreement.

- a) The First Amendment shall prevail over and supersede Ordinance 2021-010 and the land-use approvals itemized in section 2 of Ordinance 2021-010, but only to the extent a conflict exists between or among them. Otherwise, Ordinance 2021-010 and the land-use approvals and other instruments and documents identified in section 2 of the ordinance are ratified, validated, and confirmed herewith and declared to remain in full force and effect.
- b) The Town Council is authorized to approve future amendments (if any) to the Amended and Restated Developer's Agreement for The Reserve at Howey-in-the-Hills without the necessity of amending either Ordinance 2021-010 or this ordinance.

Section 4. Severability. If any part of this ordinance is declared by a court of competent jurisdiction to be void, unconstitutional, or unenforceable, the remaining parts of this ordinance shall remain in full effect. To that end, this ordinance is declared to be severable.

Section 5. Codification. This ordinance shall be codified only if the Town Manager determines, upon consultation with the Town Attorney and Town Planner, that codification is necessary or useful to the Town and its citizens.

Section 6. Effective Date. This ordinance shall take effect upon the later of (i) its enactment by the Town Council or (ii) the date on which the First Amendment to the Amended and Restated Developer's Agreement for Howey-in-the-Hills takes effect.

ORDAINED AND ENACTED this ____ day of _____, 2022, by the Town Council of the Town of Howey-in-the-Hills, Florida.

**TOWN OF HOWEY-IN-THE-HILLS,
FLORIDA**

By: its Town Council

By: _____
Martha MacFarlane, Mayor

ATTEST:

APPROVED AS TO FORM AND LEGALITY
(for use and reliance of the Town only)

John Brock
Town Clerk

Thomas J. Wilkes
Town Attorney

Planning and Zoning hearing held **September 22, 2022**

First Reading held _____, **2022**

Second Reading and Adoption held _____, **2022**

Advertised _____, **2022**

Record and Return to:

Thomas J. Wilkes
Gray Robinson, P.A.
301 East Pine Street, Suite 1400
Orlando, FL 32801

As approved by Town Council
for the Town of Howey-in-the-Hills, Florida

FIRST AMENDMENT *to the* AMENDED AND RESTATED DEVELOPER'S AGREEMENT

THE RESERVE AT HOWEY-IN-THE-HILLS

This **FIRST AMENDMENT to THE AMENDED AND RESTATED DEVELOPER'S AGREEMENT for THE RESERVE AT HOWEY-IN-THE-HILLS** ("First Amendment") is made as of the ____ day of _____, 2022, among the **Town of Howey-in-the-Hills, Florida**, a Florida municipal corporation, whose address for purposes of this First Amendment is 101 North Palm Avenue, Howey-in-the-Hills, Florida 34737 (the "Town"), **Eagle's Landing at Ocoee, LLC**, a Florida limited liability company f/k/a Eagles Landing at Ocoee, Inc., a Florida corporation, whose address for purposes of this First Amendment is P.O. Box 770609, Winter Garden, Florida 34777, **Howey In the Hills, Ltd.**, a Florida limited partnership, whose address for purposes of this First Amendment is 10165 NW 19th Street, Miami, Florida 33172 and **ASF TAP FL I, LLC**, a Delaware limited liability company authorized to do business in the State of Florida, whose address for purposes of this First Amendment is 3565 Piedmont Road NE, Building 1, Suite 200, Atlanta, GA 30305 (collectively, the "Owners").

RECITALS

A. The Town and the Owners entered into that certain Amended and Restated Developer's Agreement for The Reserve at Howey-in-the-Hills dated as of November 8, 2021 ("Developer's Agreement"), under which the Town and the Owners set forth the requirements, restrictions, terms, and conditions for the development of the planned unit development known as The Reserve at Howey-in-the-Hills ("The Reserve"). The Developer's Agreement is recorded at Official Records Book 5903, page 1507, of the Public Records of Lake County, Florida.

B. The Owners are the owners of the approximately 378 acres of land that comprise The Reserve, which land is more particularly described on Exhibit A to the Developer's Agreement ("the Property").

C. The Property is within the corporate limits of the Town, has a future-land-use designation of Village Mixed Use, and is zoned for PUD-Planned Unit Development. The

Developer's Agreement allows the Owners to develop the Property as a mixed-use planned development consisting of single-family residential, multi-family residential, commercial, and institutional land uses, as more specifically set forth in the Developer's Agreement.

D. ASF TAP FL I, LLC, is the successor in interest to REO Funding Solutions IV, LLC, an original party to the Developer's Agreement, and has full right and authority to enter into and execute this First Amendment.

D. The Town and the Owners now intend to enter into this First Amendment for the sole purpose of modifying the requirements and restrictions applicable to the north-south road known on the site plan as "Road A."

NOW, THEREFORE, the Town and the Owners agree as follows:

1. Recitals. The foregoing recitals are true and correct and are hereby incorporated as terms.

2. Authority . This First Amendment is entered into by the Town under the home rule powers granted to it by the Florida Constitution (including Article VIII, Section 2(b) thereof), the home-rule powers granted municipalities by statute and otherwise (including Chapters 163 and 166, Florida Statutes), and the Town's Charter. The Agreement as amended by this First Amendment does not constitute a "development agreement" under the Florida Local Government Development Agreement Act.

3. Amendment. The Owners may construct the north-south spine road labeled "Road A" in accordance with the following contained in Attachment 1 to this First Amendment: (i) the Master Site Plan dated as of August 2022 and (ii) the two-lane and four-lane road cross sections. Road A shall be completed as part of the improvements required in Phase 1 of the development.

4. Ratification. Except as provided in paragraph 3 of this First Amendment, all provisions of the Developer's Agreement remain in full force and effect and are ratified and confirmed by the parties to the Developer's Agreement.

5. Notices. All notices or payments required to be made hereunder shall be made at the following addresses:

To Town: Hon. Martha MacFarlane, Mayor,
Town of Howey-in-the-Hills
101 North Palm Avenue
Howey-in-the-Hills, FL 34737
mmacfarlane@howey.org

With copies to: Sean O'Keefe, Town Administrator

Town of Howey-in-the-Hills
101 North Palm Avenue
Howey-in-the-Hills, FL 34737
sokeefe@howey.org

Thomas J. Wilkes
Gray Robinson, P.A.
301 East Pine Street, Suite 1400
Orlando, FL 32801
twilkes@gray-robinson.com

To Owner: Eagles Landing at Ocoee, Inc.
Attention: Randy June
June Engineering Consultants, Inc.
23 W. Joiner Street
Winter Garden, Florida 34787
randy@jec3.com

With a copy to: C. Nick Asma, *Esquire*
Asma & Asma, P.A.
884 South Dillard Street
Winter Garden, Florida 34787
Phone: 407-656-5750 | Fax: 407-656-0486
Nick.Asma@asmapa.com

To Owner: Howey in the Hills, Ltd.
Attention: Edward J. Easton
10165 NW 19th Street
Miami, FL 33172

With copies to: Joe Hernandez
Weiss, Serota Helfman Cole and Bierman, P.L.
2525 Ponce de Leon Blvd. Suite 700
Coral Gables, Florida 33134
jhernandez@wsh-law.com

Lennar
Attn. Mark McDonald
6675 Westwood Boulevard, 5th Floor
Orlando, Florida 32821
Mark.McDonald@Lennar.com

To Owner: ASF TAP FL I, LLC
3565 Piedmont Road NE, Bldg. 1, Suite 200
Atlanta, GA 30305
Attn: Dror Bezalel, CFO
[*add email address*]

With copies to:

20. Entire Agreement. The Developer's Agreement as amended by this First Amendment constitutes the entire agreement of the parties with respect to the transactions contemplated herein and supersedes all prior understandings or agreements among the parties relating to The Reserve PUD. No amendment to the Developer's Agreement, as amended hereby, shall be effective unless it is in writing signed by all parties hereto. Amendments to the Developer's Agreement will take effect and be binding against the Town only if approved by a vote of the Town Council.

21. Recording. This First Amendment shall be recorded in the Public Records of Lake County, Florida, by the Owners, at their expense.

22. Effective Date. This First Amendment shall become effective concurrently with the effectiveness of Ordinance 2022-____ after enactment of that ordinance by the Town Council and execution of this Agreement by all parties.

[Signatures on the following pages]

IN WITNESS WHEREOF, the parties have executed this instrument as of the day and year first above written.

**TOWN OF HOWEY-IN-THE HILLS,
FLORIDA**

By: its Town Council

By: _____
Martha MacFarlane, Mayor

Attest:

By: _____
John Brock, Town Clerk

Approved as to form and legality:
(for the use and reliance of the Town only)

By: _____
Thomas J. Wilkes, Town Attorney

STATE OF FLORIDA
COUNTY OF LAKE

The foregoing instrument was executed, sworn to and acknowledged before me by means of ____ physical presence or ____ online notarization, this ____ day of _____, 2022, by MARTHA MACFARLANE, as Mayor of TOWN OF HOWEY-IN-THE-HILLS, a Florida municipal corporation, on its behalf.

(SEAL)

Signature of Notary Public

Name of Notary Public
(Typed, Printed or stamped)

Personally Known ____ **OR** Produced Identification _____
(Type of Identification Produced)

IN WITNESS WHEREOF, the parties have executed this instrument as of the day and year first above written.

Signed, sealed and delivered
in the presence of:

“WITNESSES”

“OWNER”

EAGLES LANDING AT OCOEE, LLC,
a Florida limited liability company f/k/a Eagles
Landing at Ocoee, Inc., a Florida corporation

Printed Name: _____

By: _____

Printed Name: _____

As its: _____

Printed Name: _____

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was executed, sworn to and acknowledged before me by means of ____ physical presence or ____ online notarization, this ____ day of _____, 2021, by _____, as _____ of EAGLES LANDING AT OCOEE, LLC, a Florida limited liability company f/k/a Eagles Landing at Ocoee, Inc., a Florida corporation, on its behalf.

(SEAL)

Signature of Notary Public

Name of Notary Public
(Typed, Printed or stamped)

Personally Known ____ **OR** Produced Identification _____
(Type of Identification Produced)

IN WITNESS WHEREOF, the parties have executed this instrument as of the day and year first above written.

Signed, sealed and delivered
in the presence of:

“OWNER”

HOWEY IN THE HILLS, LTD., a Florida
limited partnership

“WITNESSES”

Printed Name: _____

By: _____

Printed Name: _____

Title: _____

Printed Name: _____

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was executed, sworn to and acknowledged before me by means of _____ physical presence or _____ online notarization, this _____ day of _____, 2022, by _____, as _____ of HOWEY IN THE HILLS, LTD., a Florida limited partnership, on its behalf.

(SEAL)

Signature of Notary Public

Name of Notary Public
(Typed, Printed or stamped)

Personally Known _____ **OR** Produced Identification _____
(Type of Identification Produced)

IN WITNESS WHEREOF, the parties have executed this instrument as of the day and year first above written.

Signed, sealed and delivered
in the presence of:

“WITNESSES”

“OWNER”

Printed Name: _____

ASF TAP FL I, LLC, a Delaware limited liability company

By: _____

Printed Name: _____

As its: _____

Printed Name: _____

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was executed, sworn to and acknowledged before me by means of ____ physical presence or ____ online notarization, this ____ day of _____, 2022, by _____, as _____ of **ASF TAP FL I, LLC**, a Delaware limited liability company, on its behalf.

(SEAL)

Signature of Notary Public

Name of Notary Public
(Typed, Printed or stamped)

Personally Known ____ **OR** Produced Identification _____
(Type of Identification Produced)

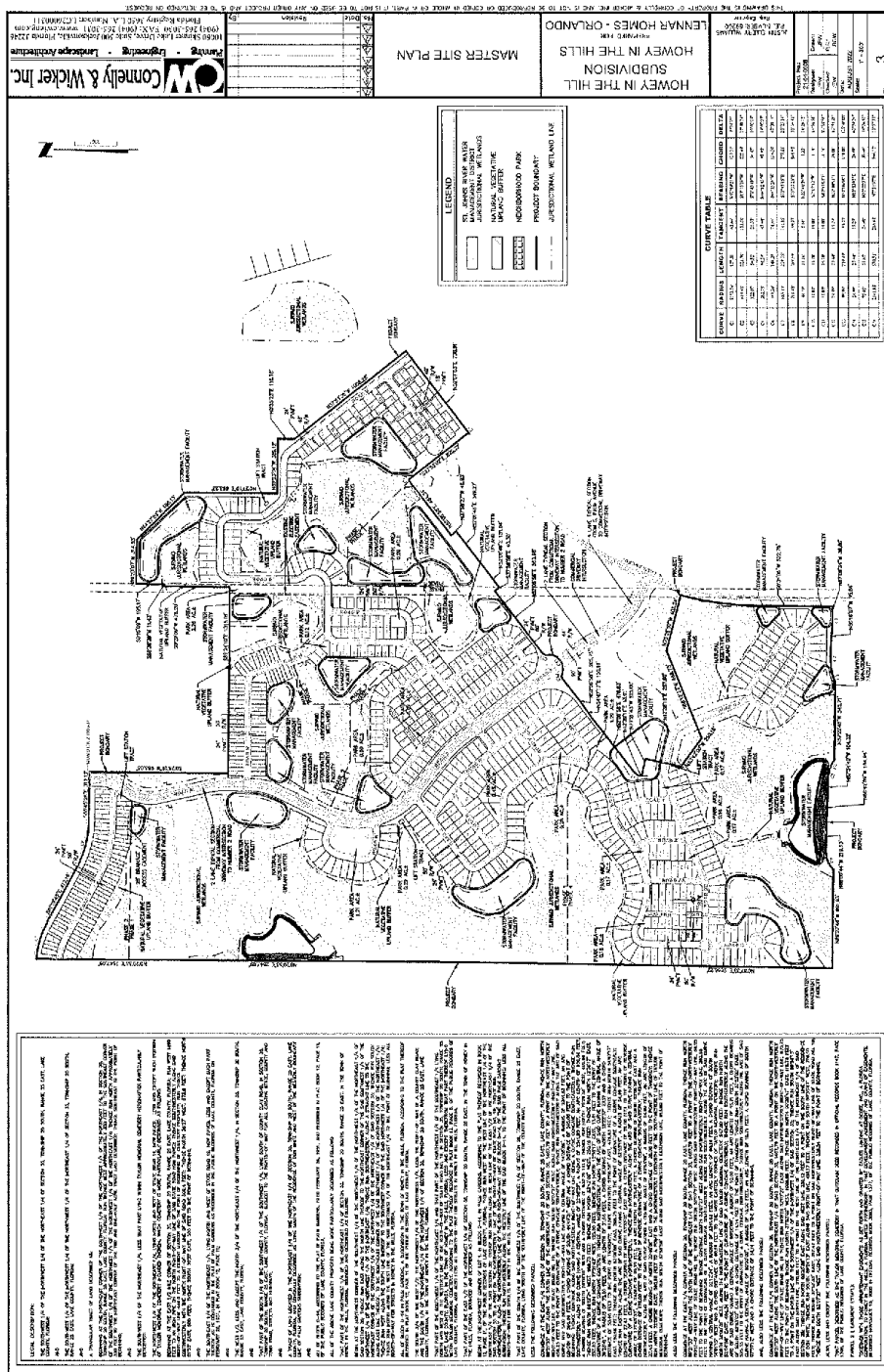
ATTACHMENT 1
to the
FIRST AMENDMENT
to
AMENDED AND RESTATED DEVELOPER'S AGREEMENT
for
THE RESERVE AT HOWEY-IN-THE-HILLS

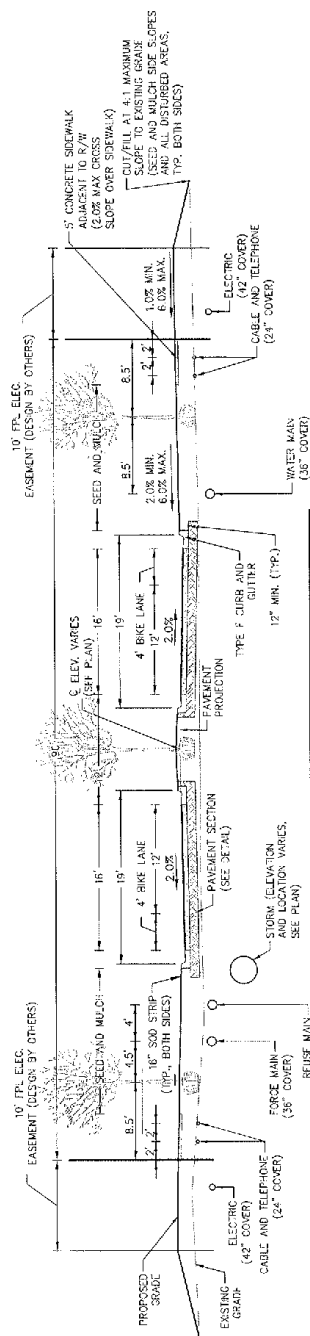
Master Site Plan dated August 2022

Typical Roadway Cross Section for 90' Right of Way

And

Typical Roadway Cross Section for 90' Right of Way
(4 lane section)

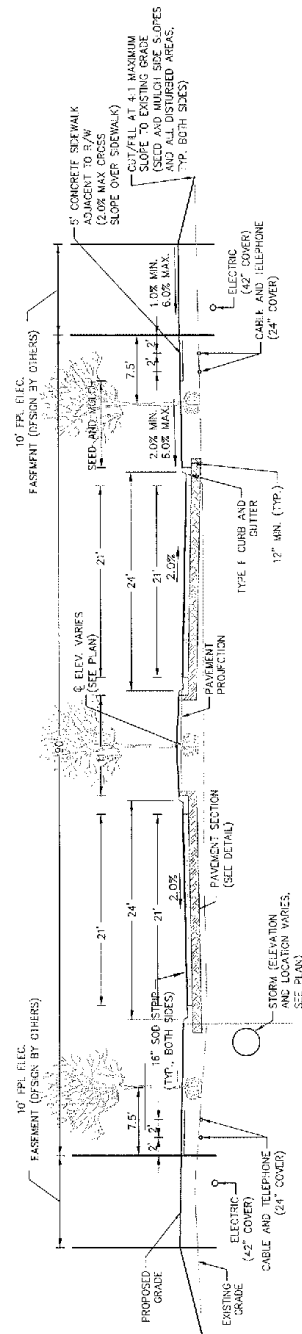




- NOTES:
1. CONTRACTOR SHALL GRADE AND DRESS ALL R/W AREAS TO 0.1% FEET AND REMOVE ALL DEBRIS AND ROOTS 3/8" DIAMETER AND LARGER.
 2. CABLE/PHONE AND ELECTRIC SHALL BE DESIGNED BY OTHERS (LOCATION SHOWN IS GENERAL GUIDELINE ONLY).

TYPICAL ROADWAY CROSS SECTION FOR 90' RIGHT OF WAY

N.T.S.



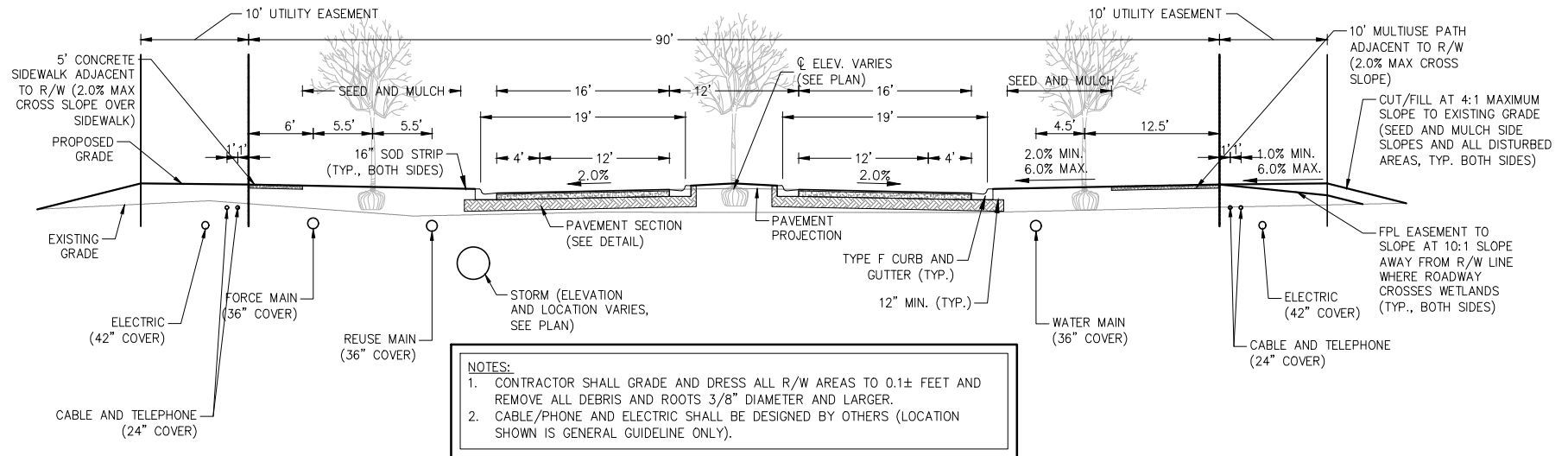
- NOTES:
1. CONTRACTOR SHALL GRADE AND DRESS ALL R/W AREAS TO 0.1% TILT AND REMOVE ALL DEBRIS AND ROOTS 3/8\" DIAMETER AND LARGER.
 2. CABLE/PHONE AND ELEC. INC. SHALL BE DESIGNED BY OTHERS (LOCATION SHOWN IS GENERAL GUIDELINE ONLY).

**TYPICAL ROADWAY CROSS SECTION FOR 90' RIGHT OF WAY
(4 LANE SECTION)**

NTS

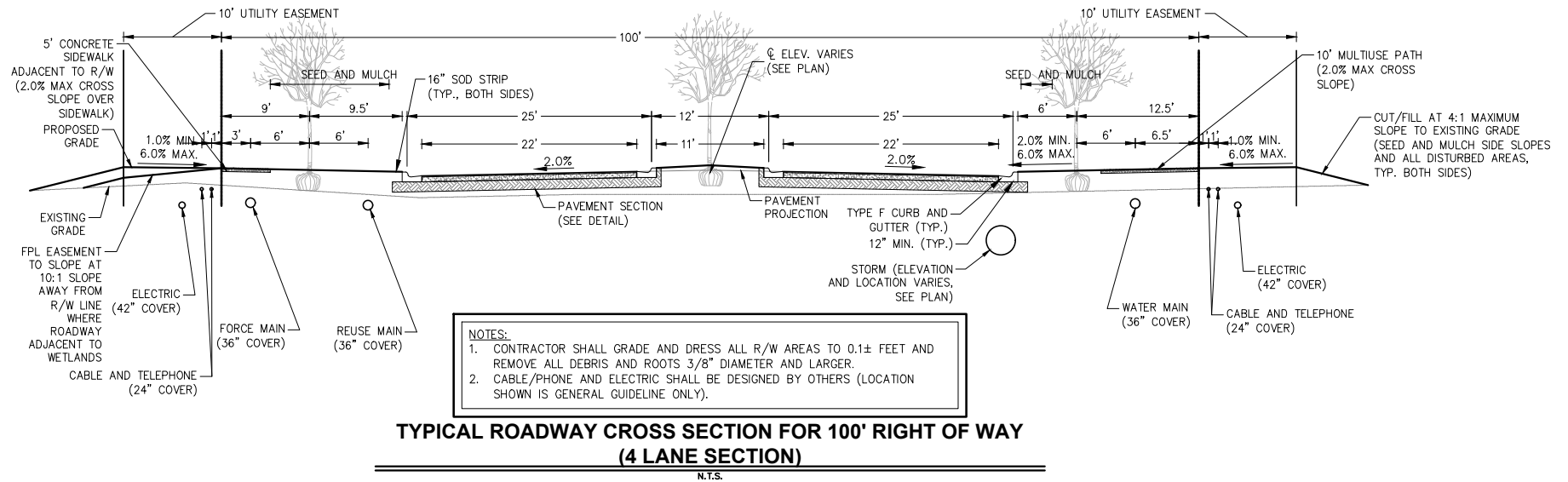
#48304220 v2

48304220v1



TYPICAL ROADWAY CROSS SECTION FOR 90' RIGHT OF WAY

N.T.S.



MEMORANDUM

September 12, 2022

Re: The Reserve at Howey in the Hills
Internal Spine Road Capacity Analysis
Town of Howey in the Hills, Florida
Project № 21082, v1.1

Traffic & Mobility Consultants (TMC) prepared a Traffic Impact Analysis (TIA) for The Reserve at Howey in the Hills project in November 2021. The TIA was reviewed and approved by the Town of Howey in the Hills early 2022. The approved TIA was based on a Site Plan that included a 4-lane divided boulevard, which serves as the main internal roadway (Road A in the PUD Plan) to the development. The spine road connects the main project entrance on SR 19 to the south and the secondary project entrance on Number 2 Road to the north.

The Developer of this project is proposing to modify the configuration of the internal spine road to have the 4-lane divided section that extends from SR 19 to the commercial driveway intersection, then dropping the road section to a 2-lane divided roadway from the commercial driveway intersection to Number 2 Road.

The purpose of this Technical Memorandum is to examine the capacity of the internal spine road (Road A) to ensure that the road can accommodate the projected traffic generated by the proposed development with the proposed change in the cross-section.

The peak hour directional capacity used in the traffic study for the internal spine road is 612 vehicles/hour for the 2-lane roadway section. The capacity of the 4-lane divided roadway section for the same roadway would be 1,314 vehicles/hour for a 4-lane divided roadway section. The traffic study prepared for this development shows a peak hour directional volume of 201 vehicles/hour in the westbound direction (traffic entering the site during the PM peak hour period) of the 2-lane internal divided roadway section of the spine road (Road A). Excerpts of the TIA report showing the projected AM and PM peak hour volumes are provided in the **Attachments**. Since the capacity of the 2-lane section is 612 vehicles/hour, it is evident that the roadway will have sufficient capacity to accommodate the projected traffic generated by the residential portion of the project.

As for the 4-lane divided section of the internal spine road (Road A) from SR 19 to the commercial driveway intersection, the projected traffic volume generated by the commercial outparcels had to be calculated, since it was not included in the TIA report.

Trip Generation Analysis

A trip generation analysis was conducted for the northern and southern commercial outparcels. Based on the developable land area for the commercial outparcels, it was assumed that the total buildings will be 230,000 square feet. The trip generation analysis was conducted using the Institute of Transportation Engineers (ITE) *Trip Generation Manual, 11th Edition*, and the resulting trip generation of the two (2) commercial outparcels are presented in **Table 1**.

Table 1
Trip Generation Summary (Commercial Outparcels)

| ITE Code | Land Use | Size | Daily | | AM Peak Hour | | | | PM Peak Hour | | | |
|----------|-------------------------|---------|-------|-------|--------------|-------|-------|------|--------------|-------|-------|------|
| | | | Rate | Trips | Rate | Total | Enter | Exit | Rate | Total | Enter | Exit |
| 820 | Shopping Center (>150k) | 230 KSF | 37.01 | 8,512 | 0.84 | 193 | 120 | 73 | 3.40 | 782 | 375 | 407 |

Source: Trip generation analysis based on ITE *Trip Generation Manual, 11th Edition*
* ITE regression equations are used when R-squared is greater than 0.75

As shown above, the proposed commercial outparcels are projected to generate 8,512 daily trips, of which 193 trips occur during AM peak hour, and 782 trips occur during the PM peak hour.

Assuming all the commercial trips entering the site during the PM peak hour period will use the main spine road (Road A), which would be 375 vehicles/hour. Accordingly, the total peak hour directional traffic entering the site during the PM peak hour period would be 576 vehicles/hour (201 trips from the residential land uses + 375 trips from the commercial land uses). Since the capacity of the 4-lane divided roadway section is 1,314 vehicles/hour; therefore, the 4-lane section of the internal spine road (Road A) will have sufficient capacity to accommodate the projected traffic for The Reserve at Howey in the Hills development.

Queueing & Turn Lane Analysis

The maximum queue length was calculated at the left turn lane into the southern commercial tract was calculated to determine if there would be sufficient distance between SR 19 and the commercial entrance along Road A (Internal Spine Road). Based on the size of the southern commercial parcel proportionate to the total commercial parcels (northern & southern parcels), it was assumed that 40% of the entering commercial traffic during the PM peak hour period would turn left at the commercial entrance on Road A, which is calculated to be 150 vehicles/hour (375 vehicles/hour x 0.40). Based on roadway design speed of 35 mph, the required length of the westbound left turn lane at the intersection of Road A and Commercial Entrance was calculated as the total of the Deceleration Length plus the Queue Length as shown below:

Left Turn Lane = Deceleration Length + Queue Length

Deceleration Length @ 35 mph design speed = 145 feet (using FDM Exhibit 212-1)

Queue length = $2 \times 25 \times \text{Left Turn Volume (150 vehicles)}/60 = 125 \text{ feet}$

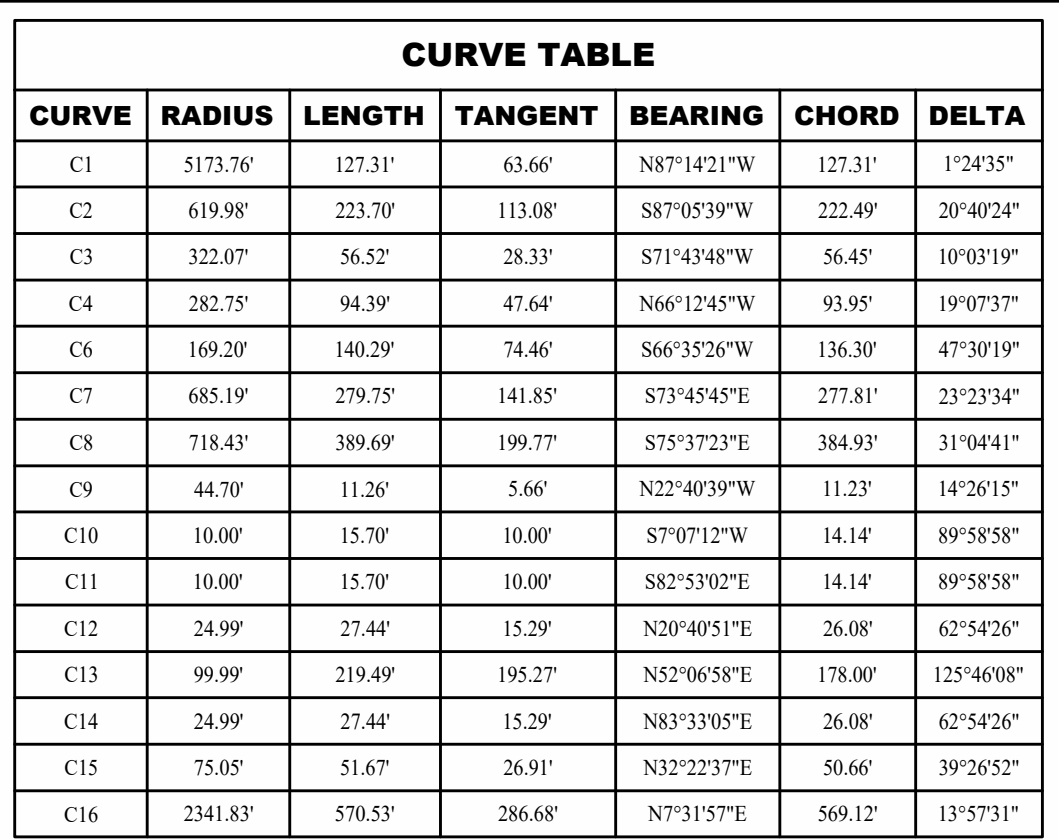
Left Turn Lane = 145+ 125 = 270 feet (including a 50-foot taper)

Summary & Recommendations

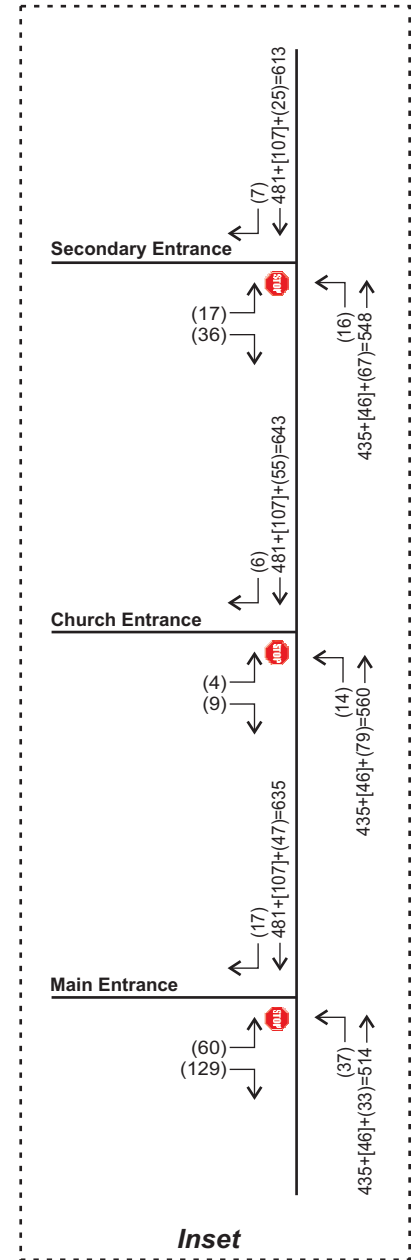
This technical memorandum supports the proposed modification of the Boulevard section through the residential area of the PUD to be a 2-lane divided roadway. Furthermore, with a maximum queue length for the westbound left turn calculated at 125 feet, a 270-foot left turn lane would be sufficient to accommodate the commercial traffic turning left into the southern outparcel. Since the distance between the main entrance on SR 19 and the commercial entrance on Road A (internal Spine Road) is approximately 500 feet, it is recommended to accept the proposed internal roadway design as shown on the latest site plan attached.

Attachments

TOGETHER WITH THOSE APPURTENANT EASEMENTS AS SET FORTH AND GRANTED BY EAGLES LANDING AT OCOEE, INC., A FLORIDA CORPORATION, TO HOWEY IN THE HILLS, A FLORIDA LIMITED PARTNERSHIP, IN THAT DEVELOPMENT AGREEMENT AND GRANT OF EASEMENTS, RECORDED NOVEMBER 10, 2005 IN OFFICIAL RECORDS BOOK 3003, PAGE 1377, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.

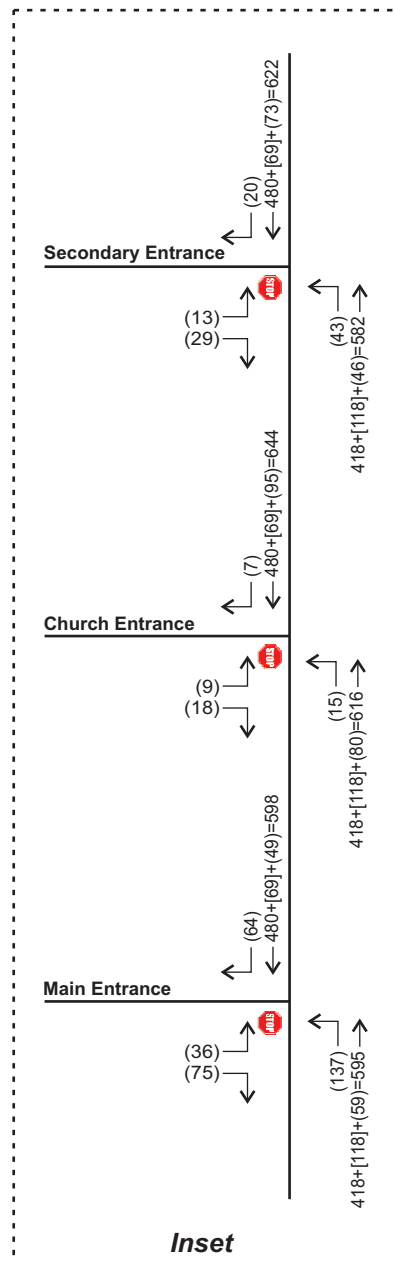
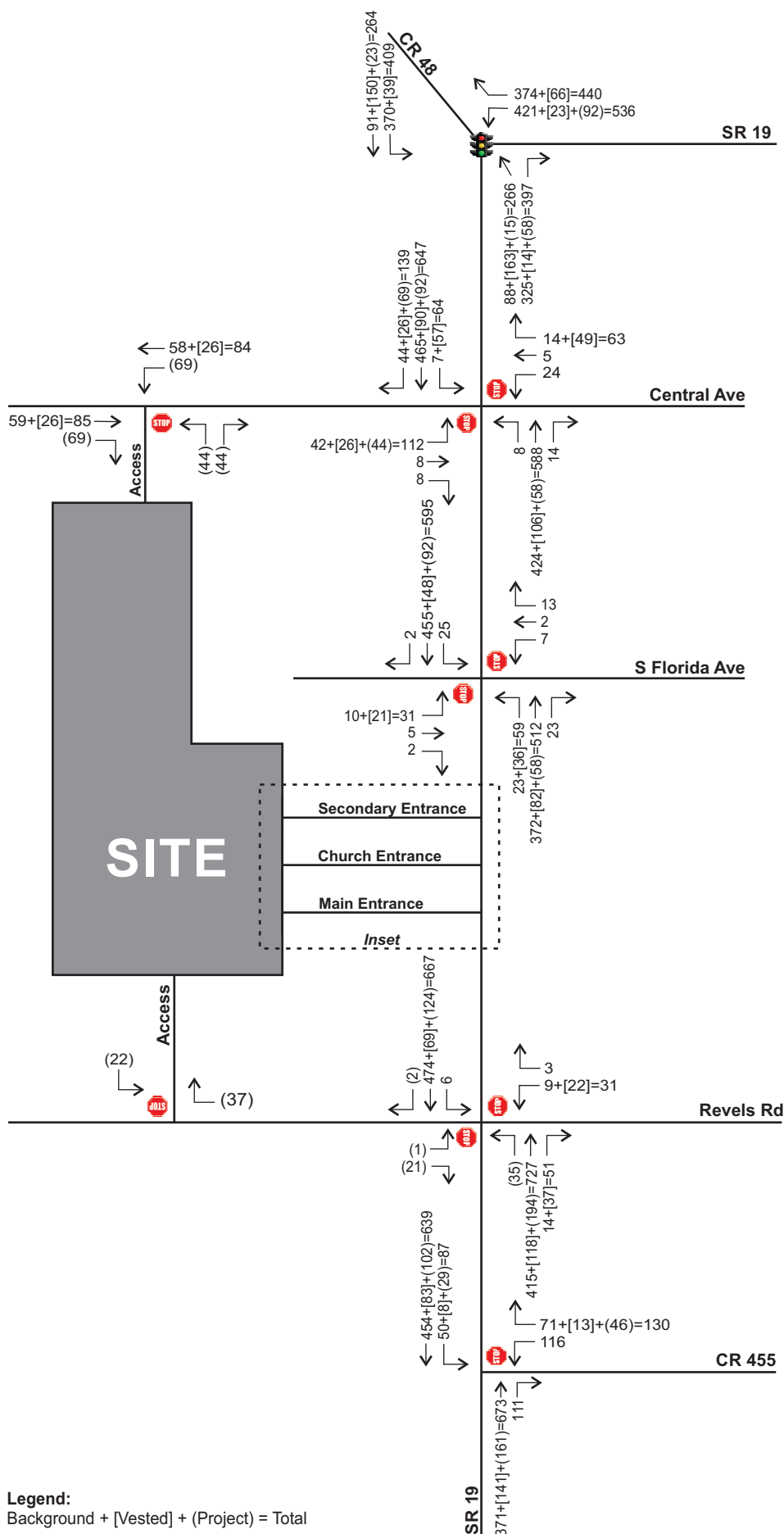


Sheet 3



The Reserve at Howey in the Hills
21082

5 39



Projected PM Peak Intersection Volumes

The Reserve at Howey in the Hills
21082

Figure

6

40



TOWN OF HOWEY-IN-THE-HILLS, FLORIDA
GENERAL LAND DEVELOPMENT APPLICATION

101 N. Palm Avenue, Howey-in-the-Hills, Florida 34737

Phone: (352) 324-2290 • Fax: (352) 324-2126

Date Received:

Application ID:

Received By:

REQUESTED ACTION

- | | | |
|---|--|--|
| <input type="checkbox"/> Comp Plan Amendment | <input type="checkbox"/> Variance | <input type="checkbox"/> Site Plan (check one below) |
| <input checked="" type="checkbox"/> PUD | <input type="checkbox"/> Rezoning | <input type="checkbox"/> Preliminary |
| <input type="checkbox"/> Conditional Use | <input type="checkbox"/> Subdivision Minor | <input type="checkbox"/> Final |
| <input type="checkbox"/> Land Development Code Text | <input type="checkbox"/> Other | <input type="checkbox"/> Subdivision (check one below) |
| | | <input type="checkbox"/> Preliminary Subdivision |
| | | <input type="checkbox"/> Final Subdivision |
| | | <input type="checkbox"/> Final Plat |

Describe Request: PUD Major Amendment to Modify Boulevard Typical Section

APPLICANT INFORMATION:

Name: _____

E-Mail: _____

Address: _____

Phone: _____ Fax: _____

☐ Owner

☐ Agent for Owner

☐ Attorney for Owner

OWNER INFORMATION:

Name: HOWEY IN THE HILLS LTD

E-Mail: _____

Address: _____ C/O EASTON & ASSOC

Phone: 786-437-5806

_____ 10165 NW 19TH ST

Fax: _____

MIAMI FL 33172

PROPERTY INFORMATION:

Address: _____

General Location: SOUTH OF #2 ROAD, NORTH OF SR19Current Zoning: PUDCurrent Land Use: VMUParcel Size: 375.2 AC +/-Tax Parcel #: ATTACHEDLegal Description Attached ☒ Yes ☐ NoSurvey Attached ☒ Yes ☐ NoPre-Application Meeting Date: ATTACHED*(Attach Pre-Application Form)*Application Fee: \$ 3,000

Applicant's Signature: _____

*(Signature)**(Date)*Rob Bonin
(Print)

Owner's Signature: _____

*(Provide letter of
Authorization)**(Signature)**(Date)**(Print)***Applications must be complete to initiate the review process.**



HOWEY IN THE HILLS, LTD.
10165 NW 19th Street
Miami, Florida 33172
(786)437-5806
EWEaston@TheEastonGroup.com

April 14, 2021

TOWN OF HOWEY-IN-THE-HILLS
101 N. Palm Avenue
Howey-in-the-Hills, FL 34737

Re: Letter of Authorization

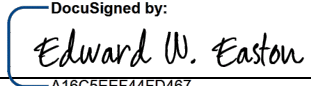
To Whom it may Concern:

The purpose of this letter is to provide notice that Howey in the Hills LTD as owner of The Reserve at Howey in the Hills, hereby authorizes Lennar Homes, LLC. as the applicant for the attached Modification to PUD Ordinance 2004-322 and to act on our behalf in regard to amending the PUD and any related approvals.

If you have any question or concerns, please do not hesitate to contact me.

Respectfully,

HOWEY IN THE HILLS, LTD.,
a Florida limited liability company

DocuSigned by:

By: _____
Print Name: Edward W. Easton



August 26, 2022

Town of Howey-In-The-Hills
Planning & Zoning Dept.
101 N. Palm Avenue
Howey-In-The-Hills, FL 34737

RE: Reserve at Howey-in-the-Hills
PUD Major Amendment PUD Ordinance 2004-322
CWI Job # 21-04-0008

Dear Town of Howey in the Hills,

Please find the following items attached for the Major Amendment to the PUD to modify the Boulevard Section through the residential area of the PUD:

- Completed Application
- Letter of Authorization from the owner to Lennar
- 2 copies PUD Plans and supporting Roadway Section Drawings
- Flashdrive with Digital Copies
- \$3,000.00 Fee

Please let me know if you need anything else to be scheduled on the September 22, 2022 Planning and Zoning agenda and the following Town Council Meeting on October 10, 2022 and October 24, 2022.

Sincerely,
Connelly & Wicker Inc.

Richard C. Welch, P.E.
Project Manager



TMHConsulting@cfl.rr.com
97 N. Saint Andrews Dr.
Ormond Beach, FL 32174
PH: 386.316.8426

MEMORANDUM

TO: Town of Howey-in-the-Hills Planning Board
CC: J. Brock, Town Clerk
FROM: Thomas Harowski, AICP, Planning Consultant
SUBJECT: The Reserve/Hilltop Groves First Amendment to the Development Agreement
DATE: September 12, 2022

The developers of the residential portion of The Reserve development have asked for an amendment to the approved development agreement to make some revisions to the preliminary subdivision plan that qualify as major amendments under the terms of the adopted PUD agreement. The applicants have submitted a list of plan adjustments on the updated master site plan map including a number key locating each revision. Some of these adjustments could be considered minor amendments, but since the plan was undergoing a major amendment review, we elected to include all the revisions in the proposed update.

The Town's Development Review Committee reviewed the proposed amendments at their meeting on September 8, 2022 and have prepared the following recommendations for the Planning Board's consideration.

1. The applicants are requesting a revised design for the central collector road, identified as Road A on the preliminary subdivision plan, from four lanes to two lanes through the residential portion of The Reserve development. Most of the portion of Road A through the commercial portion of the project will remain as a four-lane section. In support of the requested change the applicants have submitted an analysis from their traffic engineer documenting that a two-lane road is sufficient to support the projected traffic volumes. The Town engineer has reviewed the request and supports the finding that the two-lane section is adequate for the traffic demand, and that with protected left turn lanes can result in reduced speed and increased safety within the project.

The applicants have noted that the road through the commercial area has been increased the right-of-way from 90 feet to 100 feet as shown on the roadway cross-sections. The wider right-of-way is proposed to give more room to fit all the necessary components in the four-lane road section. The intersection with SR 19 has moved south about 250 feet, and driveway connections for the commercial area are shown.

(Refer to map items 2, 3, 4 and 12.)

2. The applicants are proposing minor adjustments to Roads D and F and the adjoining lots to reduce the amount of road area and improve safety while still providing access to the adjacent lots. **(Refer to map item 1.)**
3. The applicants are requesting revisions to Roads B and N along with adjacent lots to improve the connection between Phase 2 and Phase 3. This change improves traffic flow and reduces the number of lots on closed-end streets. **(Refer to map item 6.)**
4. The applicants are revising the collector road cross-sections to include the minimum 10-foot bicycle/pedestrian pathway that extends from SR 19 to Number Two Road. This facility has been a commitment of the project, but roadway cross-section submitted prior to this plan did not fully identify the bicycle/pedestrian path. **(Refer to the revised cross-sections for the two-lane and four-lane sections.)**
5. Residential lots along Road AA and Road Z have been changed to the 50 x 115 lot type rather than the originally proposed 50 x 80 lot type. **(Refer to map item 8.)**
6. The staff has asked for the addition of a street crossing detail where the bicycle/pedestrian path crosses a roadway. This detail is intended to limit the opportunity for cars to inadvertently drive on the path. They have agreed to provide a detail.
7. The applicants have been requested to update the totals of residential units by type and phase. **(The revised totals for units by phase are shown on the table on the left side of the master site plan.)**
8. The applicants have been requested to provide a maximum impervious area for each type of residential unit. The lack of a maximum impervious area has been creating some review issues with our other PUD-based neighborhoods. **(The maximum impervious areas by unit type are shown on the table on the left side of the master site plan.)**

The Development Review Committee supports these eight revisions to the approved development agreement.

The revised plan includes several other small adjustments that are noted here as part of the overall amendment. Please note the following revisions:

- The emergency access via Mare Avenue has been removed. The revised street pattern between Phase 2 and Phase 3 will serve this purpose. **(Refer to map item 5.)**

- The driveway connection to Talichet Phase 2 has been removed as the connection is no longer possible. **(Refer to map item 7.)**
- A revised roadway connection in Phase 4 has been added. **(Refer to map item 9.)**
- Stormwater pond locations have been added to Phase 4. **(Refer to map item 10.)**
- The phase line for Phase 1 has been adjusted. **(Refer to map item 11)**

During the review, the DRC also agreed that the intersection designs of the primary collector road at SR 19 and Number Two Road will be considered minor amendment to the development agreement as the permitting agencies (FDOT and Lake County) will ultimately be directing the intersection designs. The preliminary subdivision plan will also provide for a driveway connection from the collector road to the Town's public safety parcel at the intersection with the primary collector road. It is expected that this connection will provide an opportunity to reduce fire and police response times to properties within the project.



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PH: 386.316.8426

MEMORANDUM

TO: Howey-in-the-Hills Development Review Committee
CC: J. Brock, Town Clerk
FROM: Thomas Harowski, AICP, Planning Consultant
SUBJECT: The Reserve/Hilltop Groves First Major Amendment
DATE: August 30, 2022

The development team has submitted an application to amend the approved development agreement. This is the first major amendment to the adopted development agreement. The amendment has been triggered by the proposal to reduce the central collector road from four lanes to two lanes for most of the project length, but there are other revisions to the approved development plan that will need to be addressed and included as part of the amendment.

The Town will be adopting a revised preliminary subdivision plan as part of the amendment, but the adopting ordinance should include a list of all amendment items, so it is clear to all parties what is being approved. Once final action is taken by the Town Council, the adopting ordinance needs to be recorded in the public records to provide a document trail of the fully approved project. The planning comments are as follows:

1. The applicant should present a list of all revisions from the original approved preliminary subdivision plan so that the Town can be sure all items have been reviewed and included in the amending ordinance.
2. The applicant should review the text portions of the adopting ordinance to determine if there are other revisions that are needed or desired.
3. As one example, the plan set needs to include a maximum impervious area for each lot type. The lack of an impervious area number has been an issue with other new developments and needs to be added. The maximum impervious area then needs to be used as an input into the stormwater system design or an explanation needs to be provided as to why a different number is used. This number can be added to the plan set if desired rather than included in the text of the agreement. The maximum impervious area might be different for each of the housing types.

4. The revised roads D and F and the revised lot adjustments are recognized and acceptable. These changes could be considered a minor amendment, but we will include them in the overall amendment since other items are needed.
5. The reduction in the width of the central collector road from 4-lanes to 2-lanes with left turn lanes is acceptable from a speed control and safety perspective, but the applicant's traffic engineer needs to submit an analysis demonstrating that the reduced facility will still accommodate the projected traffic.
6. The transition from the 4-lane segment in the commercial area to the 2-lane segment in the residential area should be moved further north to allow more flexibility in locating access points to the commercial parcel.
7. The intersection designs at SR 19 and Number 2 Road are not fully detailed in the approved plan set. These intersection designs will be directed by FDOT and Lake County through their respective permit processes. When permitting is completed, these will be considered minor amendments to the development agreement.
8. The proposed amendment includes a revised road connection between Phase 2 and Phase 3 with the new alignment following Road B and Road N. The revised road alignment and associated adjustment to the residential lots is recommended for approval.
9. The new plan proposes a revision to the road network within the townhouse area adjacent to Number 2 Road. The approved plan shows a connection Number 2 Road at the west end of this road and not a terminal point. This area has 78 units and therefore requires a second access point. The applicant needs to provide for a second access point or reduce the number of units in the area below 50 units.
10. The revised plan proposes to eliminate the connection to the Town parcel at the intersection of the collector road and Number 2 Road. The Town still needs to retain the option to include a driveway connection. An access at this point could reduce emergency services response times to the project. To facilitate future driveway options, the collector road right-of-way needs to abut the Town parcel for the full length of the parcel if possible.
11. The revised plan proposes to eliminate the connection from Road EE/FF to Revels Road. This deletion is not acceptable. The approved design needs to be retained.
12. The applicant needs to revise the unit totals by type of unit and phase to reflect the current plan.
13. The proposed lot pattern along Road AA and Road Z appears to be different than the currently approved plan. The Town needs to verify that the unit totals by type remain unchanged or approve any revision to the product mix.

14. The revised cross-section for the collector road (Road A) shows 4-foot bicycle lanes on the 2-lane segment and no bicycle lane on the 4-lane segment. The agreement and the cross-section in the approved plan set shows a separate bicycle path. Both cross-sections need to be revised to reflect the bicycle path. Adding the two bicycle lane areas to one of the sidewalks will allow for a 12-foot-wide bicycle/pedestrian facility on one side of the road and save one foot of paved area. A decision should be made as to which side of Road A the bicycle path is to be located.
15. An intersection detail needs to be added where the bicycle path crosses intersection. The bicycle path should have some type of divider to make it clear automotive traffic is not permitted. Some type of pavement markings are appropriate as well.
16. With the 2-lane design, the central median has been reduced from 14-feet for the approved design to about 9 feet with the proposed design. This dimension seems a little skimpy for a quality landscape program and might be less than the minimum width needed for a protected left turn bay. The median in the 2-lane and 4-lane segments should be retained at 14 feet.

September 5, 2022
Hillside Groves – PUD Amendment
Engineering Review Comments
Page 1

1. Provide a volume and capacity evaluation to show that the 2-lane boulevard will be able to handle the projected future traffic.
2. The master site plan shows the multiuse trail on the east side of the spine road, but the cross-sections don't. Add the trail to the cross-sections, and label the trail on the site plan. Both cross-sections should call out a 5' sidewalk on the west side and a 10' trail on the east side.
3. The cross-section for the 4-lane boulevard needs to show 24' pavement width, not 21'.
4. Move the commercial driveway intersection further north to provide additional left turn lane decal & storage length for northbound vehicles.
5. All legs of all intersections need to provide full pedestrian accommodation including ADA curb ramps & crosswalks. Crosswalks are to be per FDOT Design Standards 2017-18 Index 17346 Sheet 12 of 17. The crosswalks at stop conditions should be standard crosswalks. The crosswalks not at a stop condition should be special emphasis.

HILLSIDE GROVE

LIFT STATION #1

DESIGN REPORT

FOR

Lennar Homes - Orlando
6750 Forum Drive, Suite 310
Orlando, FL 32821
(904) 431-6499

PREPARED BY:



Connelly & Wicker, Inc.

10060 Skinner Lake Drive, Suite 500
Jacksonville, Florida 32246

Florida Registry: 3650 L.A. Number: LC26000311

Phone: (904) 265-3030 Fax: (904) 265-3031

www.cwieng.com

DATE: 10/7/2022

CWI Project No.: 21-04-0008

HILLSIDE GROVE Index Sheet

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Prepared under the direction of

Justin E. Williams, P.E.
PE # 69260

GENERAL SITE DESCRIPTION

THE PROJECT

The proposed development is located within Lake County, Florida (Town of Howey in the Hills) within the Town of Howey in the Hills service area. The project is located west of State Road 19 (South Palm Avenue) and Taylor Memorial Cemetery, north of Revels Road, and south of Number 2 Road. The proposed development will be constructed in 4 phases and include up to 728 single family units. Lift Station #1 will serve up to 640 of the proposed residential units.

PUMP STATION

The pump station is located on the western side of the property and more specifically is located south of Road "K", North of Road "C" and west of Road "A". The effluent will pump through a 6" force main to Road A where the forcemain will increase to 10" and extend to Number 2 Road right of way where it will connect to an existing 10" force main, and will ultimately connect to an existing wastewater treatment facility. (Refer CWI 21-04-0008 Water and Sewer Plans for connection details).

EXISTING CONDITIONS MODELING DATA

The connection head condition was determined by modeling the existing wastewater system based on data provided by Griffey Engineering, Inc. to Connelly and Wicker on September 23rd, 2022, Construction Plans obtained from the SJRWMD and Lidar data for existing grades. Information obtained from those documents are the basis for the existing conditions modeling.

A summary of the peak flow requirements from each of the existing system pump stations and the anticipated flows modeled as part of these calculations is included.

DESIGN ANALYSIS

The modeling for this system was accomplished using Bentley OpenFlows WaterCad CONNECT Edition Update 3.

DESIGN OF SANITARY LIFT STATION

Connelly & Wicker, Inc.

Project Name: HILLSIDE GROVE
 Project No: 21-04-0008
 Date: October 7, 2022

COMPUTATION OF AVERAGE DAILY FLOW

| Type of Development | Units | Average Flow (GPD) | / Unit | G.P.D. | G.P.M. |
|---------------------------|-------|--------------------|--------|--------|--------|
| Phase 1 | | | / Unit | 0 | 0.00 |
| Single Family Residential | 245 | 300 | / Unit | 73500 | 51.04 |
| | | | / Unit | 0 | 0.00 |
| Phase 2 | | | / Unit | 0 | 0.00 |
| Single Family Townhomes | 146 | 300 | / Unit | 43800 | 30.42 |
| Phase 3 (Portion) | | | / Unit | 0 | 0.00 |
| Single Family Residential | 47 | 300 | / Unit | 14100 | 9.79 |
| Phase 4 | | | / Unit | 0 | 0.00 |
| Single Family Residential | 202 | 300 | / Unit | 60600 | 42.08 |
| | | | / Unit | 0 | 0.00 |

Average Daily Flow = 192000 G.P.D. = 133.33 G.P.M.

Runout Peaking Factor = (Per CSM Section 17 Part 1.03.C) 3.00

Total Peak Flow = (A.D.F.)*(P.F.) = 400 G.P.M.

Use Total Peak Flow = Q = 400 G.P.M.

FORCE MAIN SIZE

Maximum Flow in Pipe = $Q(\text{G.P.M.}) * \left(\frac{1 \text{ Cu.Ft.}}{7.48 \text{ Gal.}} \right) * \left(\frac{1 \text{ Min.}}{60 \text{ Sec.}} \right) = \underline{0.891} \text{ Cfs.}$

| Pipe Diameter | Cross-Sectional Area | Flow (Cfs.) | Flow Velocity |
|------------------------|----------------------|-------------|---------------|
| 1. Use 4.27 Inch Pipe | 0.099 Sq. Ft. | 0.891 | 8.96 Ft/Sec. |
| 2. Use 6.13 Inch Pipe | 0.205 Sq. Ft. | 0.891 | 4.35 Ft/Sec. |
| 3. Use 8.04 Inch Pipe | 0.353 Sq. Ft. | 0.891 | 2.53 Ft/Sec. |
| 4. Use 9.87 Inch Pipe | 0.531 Sq. Ft. | 0.891 | 1.68 Ft/Sec. |
| 5. Use 11.73 Inch Pipe | 0.750 Sq. Ft. | 0.891 | 1.19 Ft/Sec. |

Use Force Main of Diameter = 6.13 Inches

LIFT STATION FOR: HILLSIDE GROVE
PROJECT NO.: 21-04-0008

Connelly & Wicker, Inc.

DESIGN OF WET WELL

Use a cycle time (T) = 10 Minutes

$$\text{Storage Required (Vr)} = (T \cdot Q) / 4 = 10 \text{ Min.} \cdot \left(\frac{400 \text{ G.P.M.}}{4} \right) \cdot \left(\frac{1 \text{ Cu.Ft.}}{7.48 \text{ Gal.}} \right) = 133.69 \text{ Cu.Ft.}$$

Storage Height Required for Each Size Wet Well

| Diameter of Wet Well (Ft.) | 4.00 | 5.00 | 6.00 | 8.00 | 10.00 | 12.00 |
|----------------------------|-------|------|------|------|-------|-------|
| Storage Height (Ft.) | 10.64 | 6.81 | 4.73 | 2.66 | 1.70 | 1.18 |

Provide Wet Well Diameter = 8.00 Ft. Storage Height Required (Vr) = 2.66 Ft.

Provide Storage Height = 2.70 Ft. Actual Cycle Time = 10 Min.

Volume Provide (Vp) = 135.72 Cu.Ft.

Since $V_r < V_p$, Then, Adequate Storage is Provided

WET WELL INFORMATION

Wet Well Diameter = 8.00 Ft.
Wall Thickness (t) = 0.75 Ft.
Over Hang (L) = 1.00 Ft.

Refer To Construction Plans For Actual
Pump Station Configuration

Top El. 88.40
Grade El. 87.90

Effluent El. (Force Main) 85.40

Control El. 69.60

Alarm El. 69.10

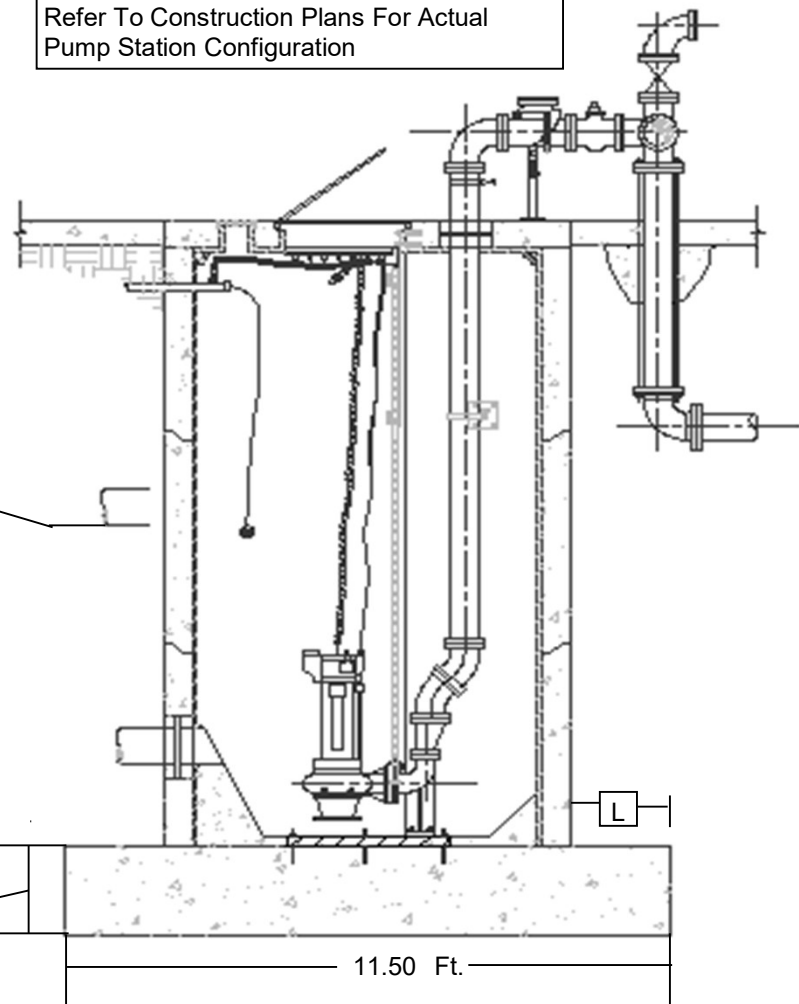
Lag Pump On El. 68.60

Lead Pump On El. 68.10

All Pumps Off El. 65.40

Bottom El. 63.40

Bottom Pad Thickness 1.00



LIFT STATION FOR: HILLSIDE GROVE

PROJECT NO.: 21-04-0008

Connelly & Wicker, Inc.**VERIFY THE STABILITY OF THE WET WELL****Assume:**

| | | | |
|-------------------------------|---|-----|-----------------|
| Submerged Unit Weight of Soil | = | 60 | Lbs. Per Cu.Ft. |
| Unit Weight of Fiberglass | = | 110 | Lbs. Per Cu.Ft. |
| Unit Weight of Concrete | = | 150 | Lbs. Per Cu.Ft. |
| Angle of Repose ϕ | = | 5 | Degrees |

Wet Well:

| | | | |
|---|---|-----------|-----|
| Outer Diameter of Wet Well (D_{WW}) | = | 9.50 | Ft. |
| Diameter of Base | = | 11.50 | Ft. |
| Thickness of Top Cover | = | 0.83 | Ft. |
| Thickness of Walls (t) | = | 0.75 | Ft. |
| Thickness of Bottom Pad | = | 1.00 | Ft. |
| Depth of Wetwell below Grade (H) | = | 24.50 | Ft. |
| Width of Collar | = | 1.00 | Ft. |
| Depth of Collar (if any) | = | 0.00 | Ft. |
| Hatch Size | = | 36" X 60" | |

Assume Saturated Conditions

| | | | |
|------------------------|---|-------|--|
| Ground Water Elevation | = | 87.90 | |
|------------------------|---|-------|--|

SELF WEIGHT OF WET WELL

Self Weight of Slabs (Lbs.) = (Volume) * (Unit Weight)

Weight of Soil Acting on Wet Well* (Lbs.) = (V_s)*(Unit Weight) Based on Angle of Repose (ϕ)

$$V_s = \left[\pi * (H) * \left((L)^2 + 2 \left(\frac{D_{WW}}{2} \right) (L) + \left(\frac{D_{WW}}{2} \right) (H) (\tan(\phi)) + (L) (H) (\tan(\phi)) + \left(\frac{((H)(\tan(\phi)))^2}{3} \right) \right) \right]$$

| | | | | | | |
|--------------|--------------------|---|----------------------------|---|------------------|-------------|
| | <u>Volume (CF)</u> | * | <u>Unit Weight (lb/CF)</u> | = | <u>Force</u> | <u>Lbs.</u> |
| Top Cover : | 46.38 | * | 150 | = | 6957.33 | Lbs. |
| Bottom Pad : | 103.87 | * | 150 | = | 15580.34 | Lbs. |
| Collar | 0.00 | * | 150 | = | 0.00 | Lbs. |
| Walls : | 498.31 | * | 150 | = | 74745.85 | Lbs. |
| Soil : | 1874.69 | * | 60 | = | <u>112481.56</u> | Lbs. |

Total Downward Force: 209765.08 Lbs.

UPLIFT FORCE

Uplift Force = (Volume Displaced) * (Unit Weight of Water)

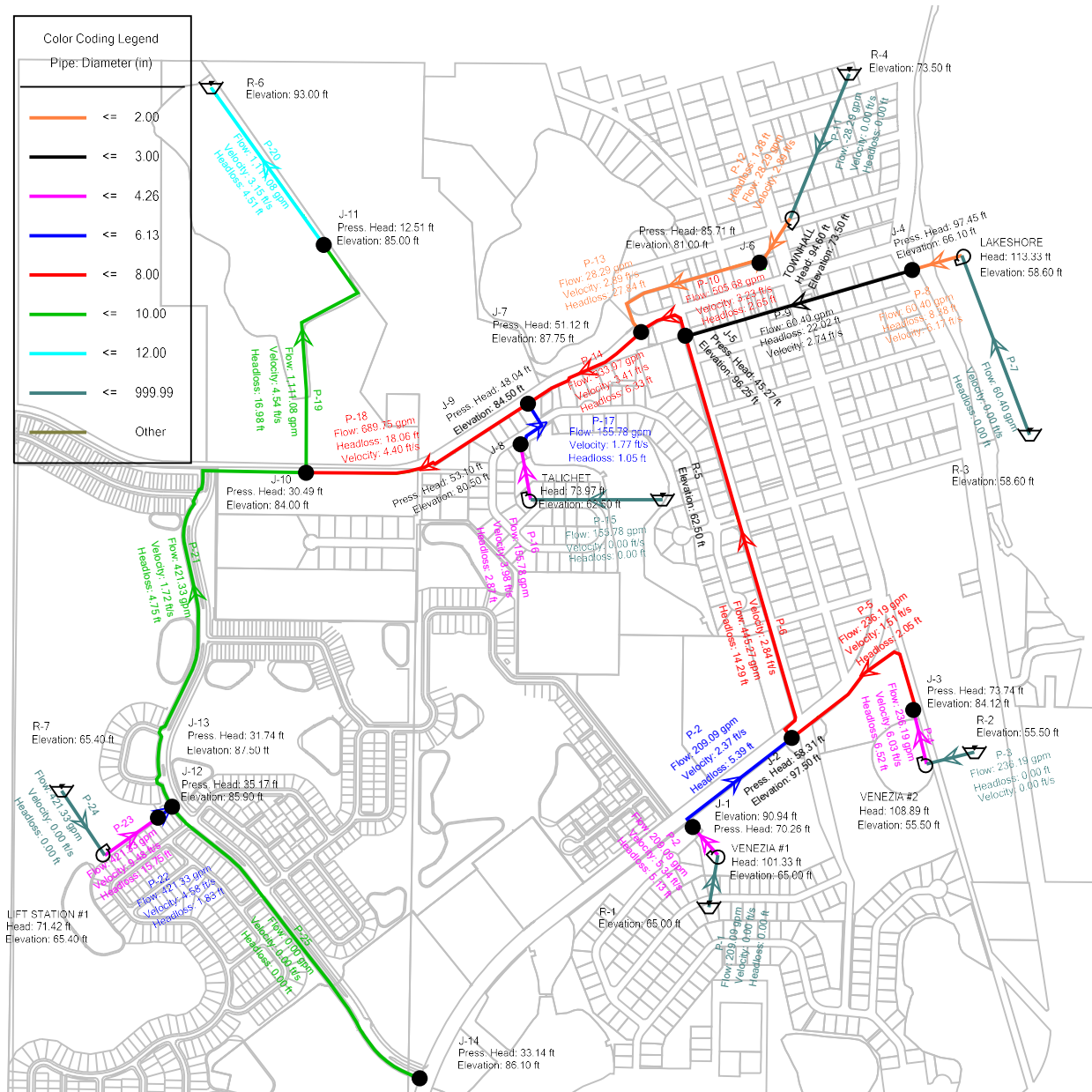
| | | | | | | | |
|--------------|---|---------|---|------|---|-----------|------|
| Uplift Force | = | 1840.48 | * | 62.4 | = | 114846.10 | Lbs. |
|--------------|---|---------|---|------|---|-----------|------|

FACTOR OF SAFETY

$$\text{Factor of Safety} = \frac{\text{Downward Force}}{\text{Uplift Force}} = \frac{209765.08}{114846.10} = 1.83$$

| Pump Information - Flygt | | | | |
|--------------------------------------|-------------------------------|-------|-------|--------|
| Pump Type | 2 Submersible Pumps | | | |
| Pump Model | NP 3153 HT 3~ 456 | | | |
| Motor | N3153.660 21-15-4AA-W 15hp | | | |
| H.P. / Voltage / Phases / Amps | 15 HP / 230V / 3 Phase / 32 A | | | |
| RPM | 1755 | | | R.P.M. |
| Impeller Diameter | 229 | | | mm |
| Discharge Pipe Size | 4 | | | Inches |
| Force Main Size | 4 | | | Inches |
| Design Point | 400.00 | GPM @ | 72.00 | TDH |
| Operating Point - Manifold Condition | 421.33 | GPM @ | 71.42 | TDH |
| Operating Point - Runout Condition | 515.45 | GPM @ | 65.78 | TDH |

Scenario: Base (MANIFOLD CONDITIONS)



FlexTable: Junction Table (MANIFOLD CONDITIONS)

| Label | Demand (gpm) | Elevation (ft) | Pressure (psi) | Pressure Head (ft) |
|-------|-----------------|-------------------|-------------------|-----------------------|
| J-1 | 0.00 | 90.94 | 30.4 | 70.26 |
| J-2 | 0.00 | 97.50 | 25.2 | 58.31 |
| J-3 | 0.00 | 84.12 | 31.9 | 73.74 |
| J-4 | 0.00 | 66.10 | 42.2 | 97.45 |
| J-5 | 0.00 | 96.25 | 19.6 | 45.27 |
| J-6 | 0.00 | 81.00 | 37.1 | 85.71 |
| J-7 | 0.00 | 87.75 | 22.1 | 51.12 |
| J-8 | 0.00 | 80.50 | 23.0 | 53.10 |
| J-9 | 0.00 | 84.50 | 20.8 | 48.04 |
| J-10 | 0.00 | 84.00 | 13.2 | 30.49 |
| J-11 | 0.00 | 85.00 | 5.4 | 12.51 |
| J-12 | 0.00 | 85.90 | 15.2 | 35.17 |
| J-13 | 0.00 | 87.50 | 13.7 | 31.74 |
| J-14 | 0.00 | 86.10 | 14.3 | 33.14 |

FlexTable: Pipe Table (MANIFOLD CONDITIONS)

| Label | Diameter (in) | Length (User Defined) (ft) | Length (ft) | Material | Hazen-Williams C | Minor Loss Coefficient (Unified) | Flow (gpm) | Velocity (ft/s) | Headloss (Friction) (ft) | Headloss (Minor) (ft) | Headloss (ft) |
|-------|---------------|----------------------------|-------------|----------|------------------|----------------------------------|------------|-----------------|--------------------------|-----------------------|---------------|
| P-1 | 999.00 | 1 | 1 | PVC | 120.0 | 0.000 | 209.09 | 0.00 | 0.00 | 0.00 | 0.00 |
| P-2 | 4.00 | 28 | 28 | PVC | 120.0 | 9.430 | 209.09 | 5.34 | 0.95 | 4.18 | 5.13 |
| P-2 | 6.00 | 0 | 927 | PVC | 110.0 | 2.580 | 209.09 | 2.37 | 5.16 | 0.23 | 5.39 |
| P-3 | 999.00 | 1 | 1 | PVC | 120.0 | 0.000 | 236.19 | 0.00 | 0.00 | 0.00 | 0.00 |
| P-4 | 4.00 | 28 | 28 | PVC | 120.0 | 9.430 | 236.19 | 6.03 | 1.19 | 5.33 | 6.52 |
| P-5 | 8.00 | 0 | 1,310 | PVC | 120.0 | 3.770 | 236.19 | 1.51 | 1.92 | 0.13 | 2.05 |
| P-6 | 8.00 | 0 | 2,771 | PVC | 120.0 | 9.340 | 445.27 | 2.84 | 13.12 | 1.17 | 14.29 |
| P-7 | 999.00 | 1 | 1 | PVC | 120.0 | 0.000 | 60.40 | 0.00 | 0.00 | 0.00 | 0.00 |
| P-8 | 2.00 | 28 | 28 | PVC | 120.0 | 9.430 | 60.40 | 6.17 | 2.80 | 5.58 | 8.38 |
| P-9 | 3.00 | 0 | 1,548 | PVC | 120.0 | 4.170 | 60.40 | 2.74 | 21.54 | 0.49 | 22.02 |
| P-10 | 8.00 | 0 | 411 | PVC | 120.0 | 1.190 | 505.68 | 3.23 | 2.46 | 0.19 | 2.65 |
| P-11 | 999.00 | 1 | 1 | PVC | 120.0 | 0.000 | -28.29 | 0.00 | 0.00 | 0.00 | 0.00 |
| P-12 | 2.00 | 18 | 18 | PVC | 120.0 | 7.270 | 28.29 | 2.89 | 0.44 | 0.94 | 1.38 |
| P-13 | 2.00 | 0 | 1,132 | HDPE | 120.0 | 0.000 | 28.29 | 2.89 | 27.84 | 0.00 | 27.84 |
| P-14 | 8.00 | 0 | 884 | PVC | 120.0 | 2.580 | 533.97 | 3.41 | 5.86 | 0.47 | 6.33 |
| P-15 | 999.00 | 1 | 1 | PVC | 120.0 | 0.000 | 155.78 | 0.00 | 0.00 | 0.00 | 0.00 |
| P-16 | 4.00 | 28 | 28 | PVC | 120.0 | 9.430 | 155.78 | 3.98 | 0.55 | 2.32 | 2.87 |
| P-17 | 6.00 | 0 | 362 | PVC | 120.0 | 1.190 | 155.78 | 1.77 | 0.99 | 0.06 | 1.05 |
| P-18 | 8.00 | 0 | 1,578 | PVC | 120.0 | 4.170 | 689.75 | 4.40 | 16.80 | 1.26 | 18.06 |
| P-19 | 10.00 | 0 | 1,779 | PVC | 120.0 | 4.770 | 1,111.08 | 4.54 | 15.45 | 1.53 | 16.98 |
| P-20 | 12.00 | 0 | 1,262 | PVC | 120.0 | 0.000 | 1,111.08 | 3.15 | 4.51 | 0.00 | 4.51 |
| P-21 | 10.00 | 0 | 3,027 | PVC | 120.0 | 8.490 | 421.33 | 1.72 | 4.36 | 0.39 | 4.75 |
| P-22 | 6.13 | 0 | 117 | PVC | 120.0 | 0.000 | 421.33 | 4.58 | 1.83 | 0.00 | 1.83 |
| P-23 | 4.26 | 28 | 28 | PVC | 120.0 | 9.430 | 421.33 | 9.48 | 2.56 | 13.18 | 15.75 |
| P-24 | 999.00 | 1 | 1 | PVC | 120.0 | 0.000 | 421.33 | 0.00 | 0.00 | 0.00 | 0.00 |
| P-25 | 10.00 | 0 | 2,429 | PVC | 120.0 | 3.900 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |

FlexTable: Pump Table (MANIFOLD CONDITIONS)

| Label | Pump Definition | Elevation (ft) | Hydraulic Grade (Suction) (ft) | Hydraulic Grade (Discharge) (ft) | Flow (Total) (gpm) | Pump Head (ft) |
|-----------------|-----------------|-------------------|--------------------------------------|---|-----------------------|-------------------|
| LAKESHORE | LAKESHORE | 58.60 | 58.60 | 171.93 | 60.40 | 113.33 |
| LIFT STATION #1 | Flygt Pump | 65.40 | 65.40 | 136.82 | 421.33 | 71.42 |
| TALICHET | TALICHET | 62.50 | 62.50 | 136.47 | 155.78 | 73.97 |
| TOWNHALL | TOWNHALL | 73.50 | 73.50 | 168.10 | 28.29 | 94.60 |
| VENEZIA #1 | VENEZIA #1 | 65.00 | 65.00 | 166.33 | 209.09 | 101.33 |
| VENEZIA #2 | VENEZIA #2 | 55.50 | 55.50 | 164.39 | 236.19 | 108.89 |

Pump Definition Detailed Report: LAKESHORE (MANIFOLD CONDITIONS)

Element Details

| | | |
|-------|-----------|-------|
| ID | 173 | Notes |
| Label | LAKESHORE | |

Pump Curve

| Flow (gpm) | Head (ft) |
|------------|-----------|
| 0.00 | 157.00 |
| 3.00 | 155.00 |
| 9.00 | 150.00 |
| 17.00 | 145.00 |
| 24.00 | 140.00 |
| 32.00 | 135.00 |
| 39.00 | 130.00 |
| 47.00 | 125.00 |
| 53.00 | 120.00 |
| 61.00 | 115.00 |
| 65.00 | 110.00 |
| 69.00 | 105.00 |
| 73.00 | 100.00 |
| 77.00 | 95.00 |
| 81.00 | 90.00 |
| 84.00 | 85.00 |
| 87.50 | 80.00 |
| 90.00 | 75.00 |
| 93.00 | 70.00 |
| 97.00 | 65.00 |
| 99.00 | 60.00 |
| 102.50 | 55.00 |
| 105.00 | 50.00 |
| 108.00 | 45.00 |

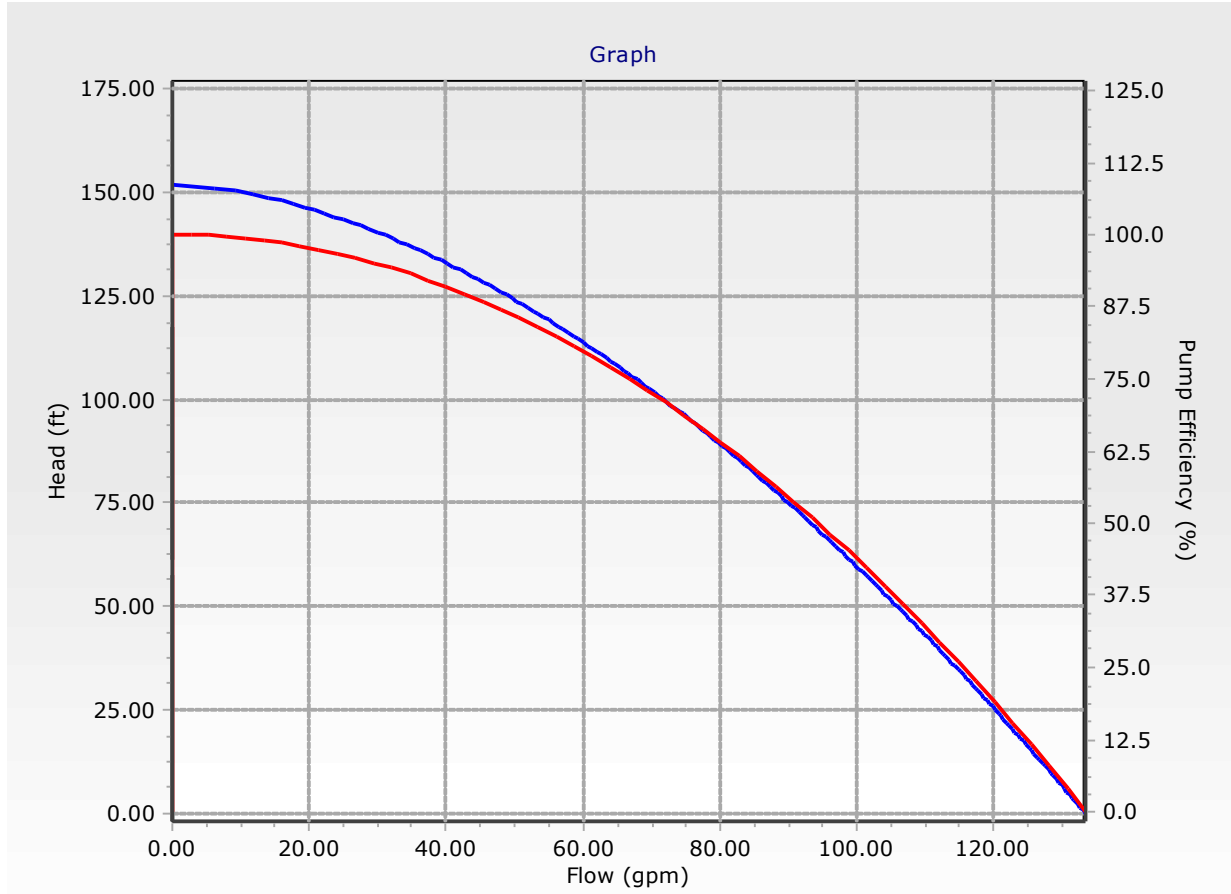
Pump Efficiency Type

| | | | |
|----------------------|-----------------------|--------------------------|---------|
| Pump Efficiency Type | Best Efficiency Point | Motor Efficiency | 100.0 % |
| BEP Efficiency | 100.0 % | Is Variable Speed Drive? | False |
| BEP Flow | 0.00 gpm | | |

Transient (Physical)

| | | | |
|--------------------------|--------------------------|-----------------------|-------------------|
| Inertia (Pump and Motor) | 0.000 lb·ft ² | Specific Speed | SI=25, US=1280 |
| Speed (Full) | 0 rpm | Reverse Spin Allowed? | True |

Pump Definition Detailed Report: LAKESHORE (MANIFOLD CONDITIONS)



Pump Definition Detailed Report: TALICHET (MANIFOLD CONDITIONS)

Element Details

| | | |
|-------|----------|-------|
| ID | 183 | Notes |
| Label | TALICHET | |

Pump Curve

| Flow (gpm) | Head (ft) |
|---------------|--------------|
| 0.04 | 104.92 |
| 18.66 | 100.40 |
| 37.27 | 96.18 |
| 55.88 | 92.18 |
| 74.50 | 88.34 |
| 93.11 | 84.65 |
| 111.73 | 81.08 |
| 130.34 | 77.63 |
| 148.95 | 74.27 |
| 167.57 | 70.98 |
| 186.18 | 67.73 |
| 204.79 | 64.49 |
| 223.41 | 61.22 |
| 242.02 | 57.88 |
| 260.63 | 54.44 |
| 279.25 | 50.89 |
| 297.86 | 47.22 |
| 316.47 | 43.43 |
| 335.09 | 39.54 |
| 353.00 | 35.56 |
| 372.31 | 31.51 |
| 390.93 | 27.40 |
| 409.54 | 23.22 |
| 428.15 | 18.97 |
| 446.77 | 14.65 |
| 480.45 | 6.91 |

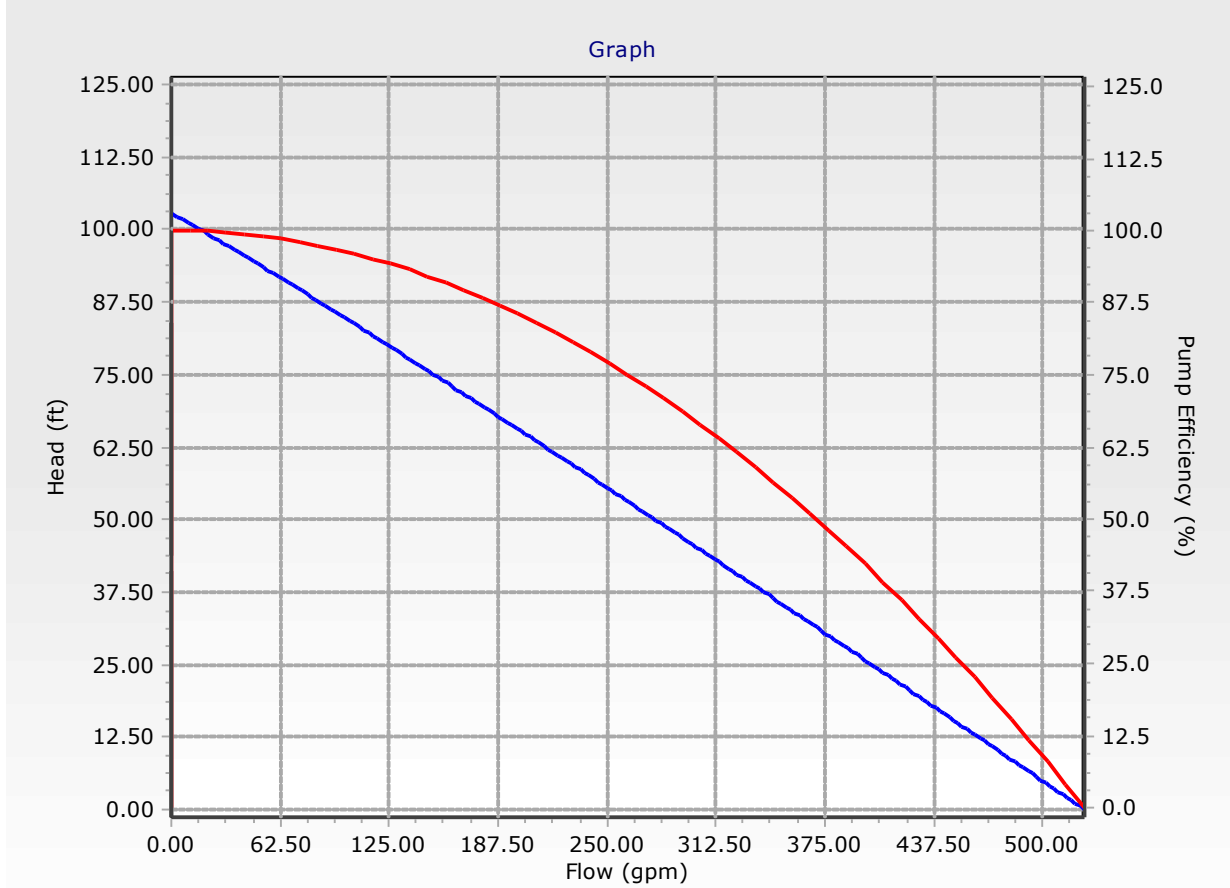
Pump Efficiency Type

| | | | |
|----------------------|-----------------------------|--------------------------|---------|
| Pump Efficiency Type | Best Efficiency Point | Motor Efficiency | 100.0 % |
| BEP Efficiency | 100.0 % | Is Variable Speed Drive? | False |
| BEP Flow | 0.00 gpm | | |

Transient (Physical)

| | | | |
|--------------------------|--------------------------|-----------------------|-------------------|
| Inertia (Pump and Motor) | 0.000 lb·ft ² | Specific Speed | SI=25, US=1280 |
| Speed (Full) | 0 rpm | Reverse Spin Allowed? | True |

Pump Definition Detailed Report: TALICHET (MANIFOLD CONDITIONS)



Pump Definition Detailed Report: TOWNHALL (MANIFOLD CONDITIONS)

Element Details

| | | |
|-------|----------|-------|
| ID | 178 | Notes |
| Label | TOWNHALL | |

Pump Curve

| Flow (gpm) | Head (ft) |
|---------------|--------------|
| 0.00 | 114.20 |
| 5.60 | 111.00 |
| 11.40 | 108.00 |
| 15.90 | 105.00 |
| 20.00 | 102.00 |
| 23.80 | 99.00 |
| 27.10 | 96.00 |
| 30.10 | 93.00 |
| 33.00 | 90.00 |
| 35.60 | 87.00 |
| 38.10 | 84.00 |
| 40.50 | 81.00 |
| 42.90 | 78.00 |
| 45.00 | 75.00 |
| 47.70 | 72.00 |
| 49.50 | 69.00 |
| 51.80 | 66.00 |

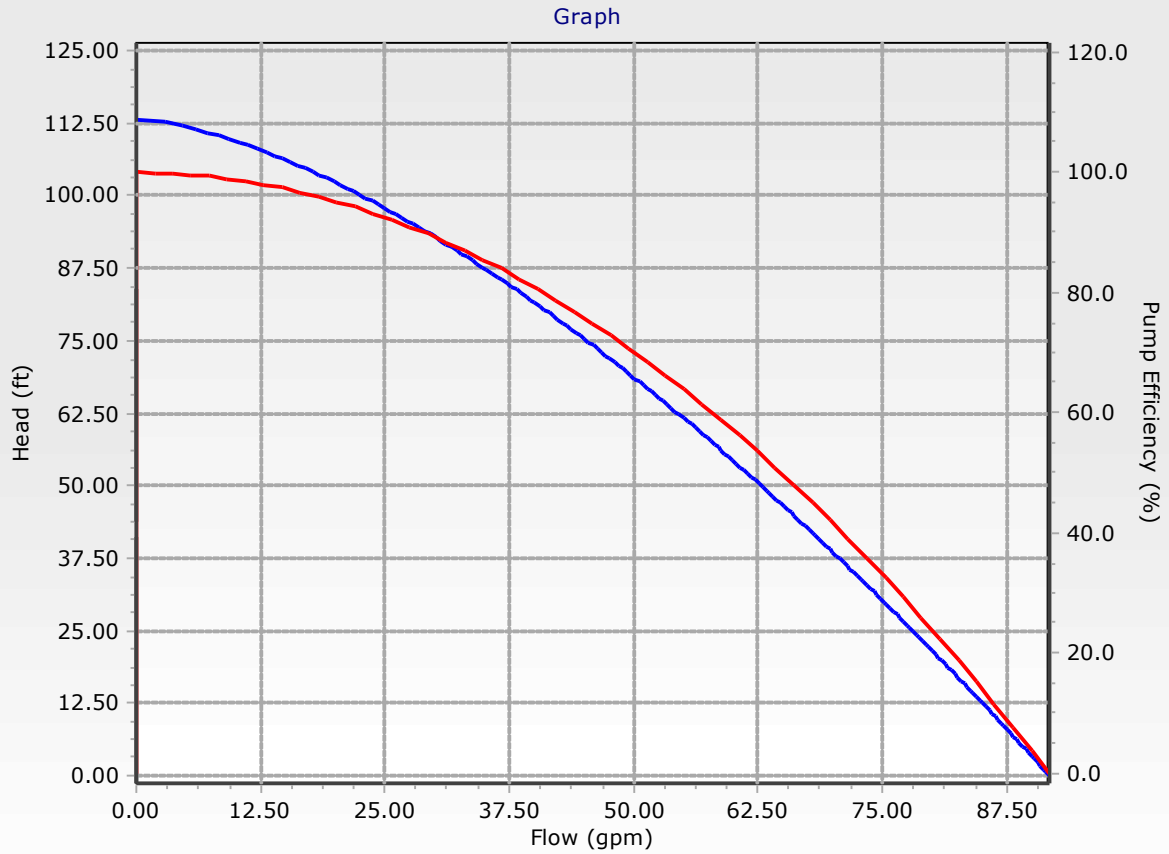
Pump Efficiency Type

| | | | |
|----------------------|-----------------------|--------------------------|---------|
| Pump Efficiency Type | Best Efficiency Point | Motor Efficiency | 100.0 % |
| BEP Efficiency | 100.0 % | Is Variable Speed Drive? | False |
| BEP Flow | 0.00 gpm | | |

Transient (Physical)

| | | | |
|--------------------------|--------------------------|-----------------------|-------------------|
| Inertia (Pump and Motor) | 0.000 lb·ft ² | Specific Speed | SI=25, US=1280 |
| Speed (Full) | 0 rpm | Reverse Spin Allowed? | True |

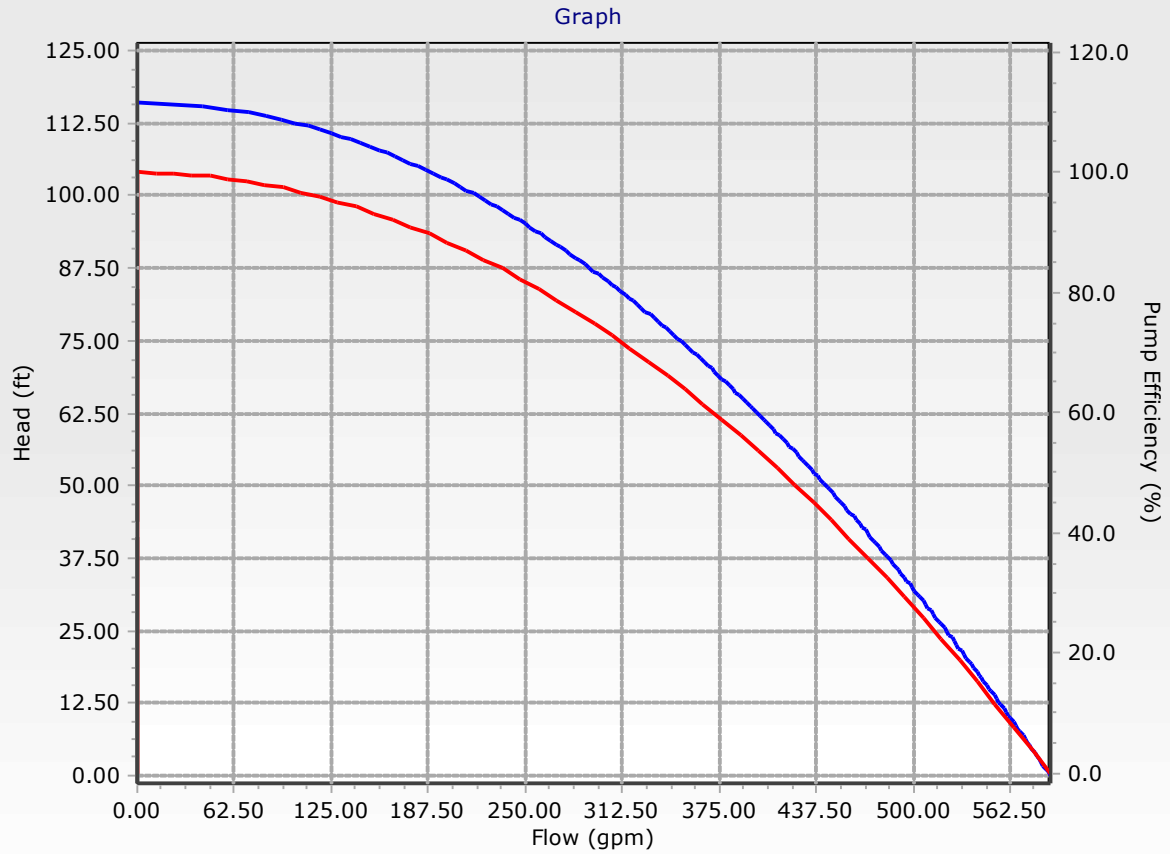
Pump Definition Detailed Report: TOWNHALL (MANIFOLD CONDITIONS)



Pump Definition Detailed Report: VENEZIA #1 (MANIFOLD CONDITIONS)

| Element Details | | | |
|--------------------------|-----------------------------|--------------------------|-------------------|
| ID | 59 | Notes | |
| Label | VENEZIA #1 | | |
| Pump Definition Type | | | |
| Pump Definition Type | Design Point (1 Point) | Design Head | 87.00 ft |
| Shutoff Flow | 0.00 gpm | Maximum Operating Flow | 0.00 gpm |
| Shutoff Head | 0.00 ft | Maximum Operating Head | 0.00 ft |
| Design Flow | 294.00 gpm | | |
| Pump Efficiency Type | | | |
| Pump Efficiency Type | Best Efficiency Point | Motor Efficiency | 100.0 % |
| BEP Efficiency | 100.0 % | Is Variable Speed Drive? | False |
| BEP Flow | 0.00 gpm | | |
| Transient (Physical) | | | |
| Inertia (Pump and Motor) | 0.000 lb·ft² | Specific Speed | SI=25, US=1280 |
| Speed (Full) | 0 rpm | Reverse Spin Allowed? | True |

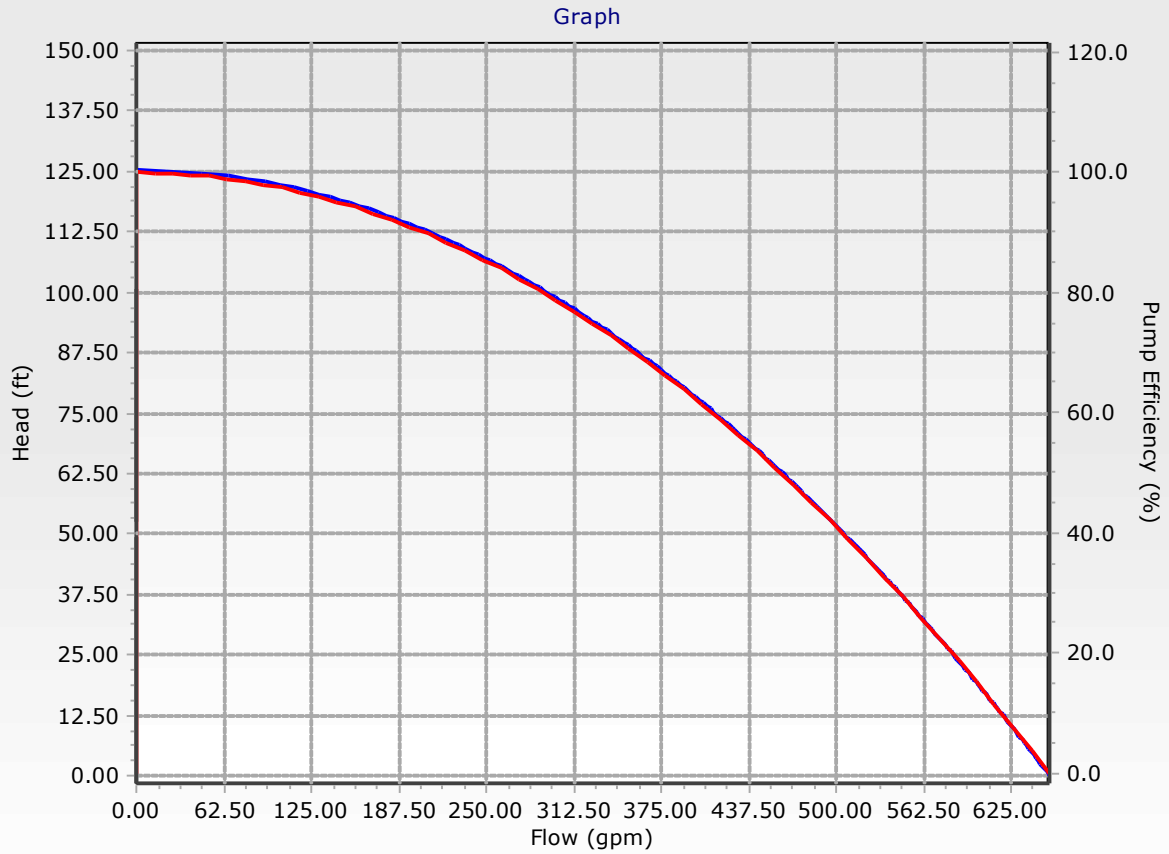
Pump Definition Detailed Report: VENEZIA #1 (MANIFOLD CONDITIONS)



Pump Definition Detailed Report: VENEZIA #2 (MANIFOLD CONDITIONS)

| Element Details | | | |
|--------------------------|-----------------------------|--------------------------|-------------------|
| ID | 163 | Notes | |
| Label | VENEZIA #2 | | |
| Pump Definition Type | | | |
| Pump Definition Type | Design Point (1 Point) | Design Head | 94.00 ft |
| Shutoff Flow | 0.00 gpm | Maximum Operating Flow | 0.00 gpm |
| Shutoff Head | 0.00 ft | Maximum Operating Head | 0.00 ft |
| Design Flow | 326.00 gpm | | |
| Pump Efficiency Type | | | |
| Pump Efficiency Type | Best Efficiency Point | Motor Efficiency | 100.0 % |
| BEP Efficiency | 100.0 % | Is Variable Speed Drive? | False |
| BEP Flow | 0.00 gpm | | |
| Transient (Physical) | | | |
| Inertia (Pump and Motor) | 0.000 lb·ft² | Specific Speed | SI=25, US=1280 |
| Speed (Full) | 0 rpm | Reverse Spin Allowed? | True |

Pump Definition Detailed Report: VENEZIA #2 (MANIFOLD CONDITIONS)



Pump Definition Detailed Report: Flygt Pump (MANIFOLD CONDITIONS)

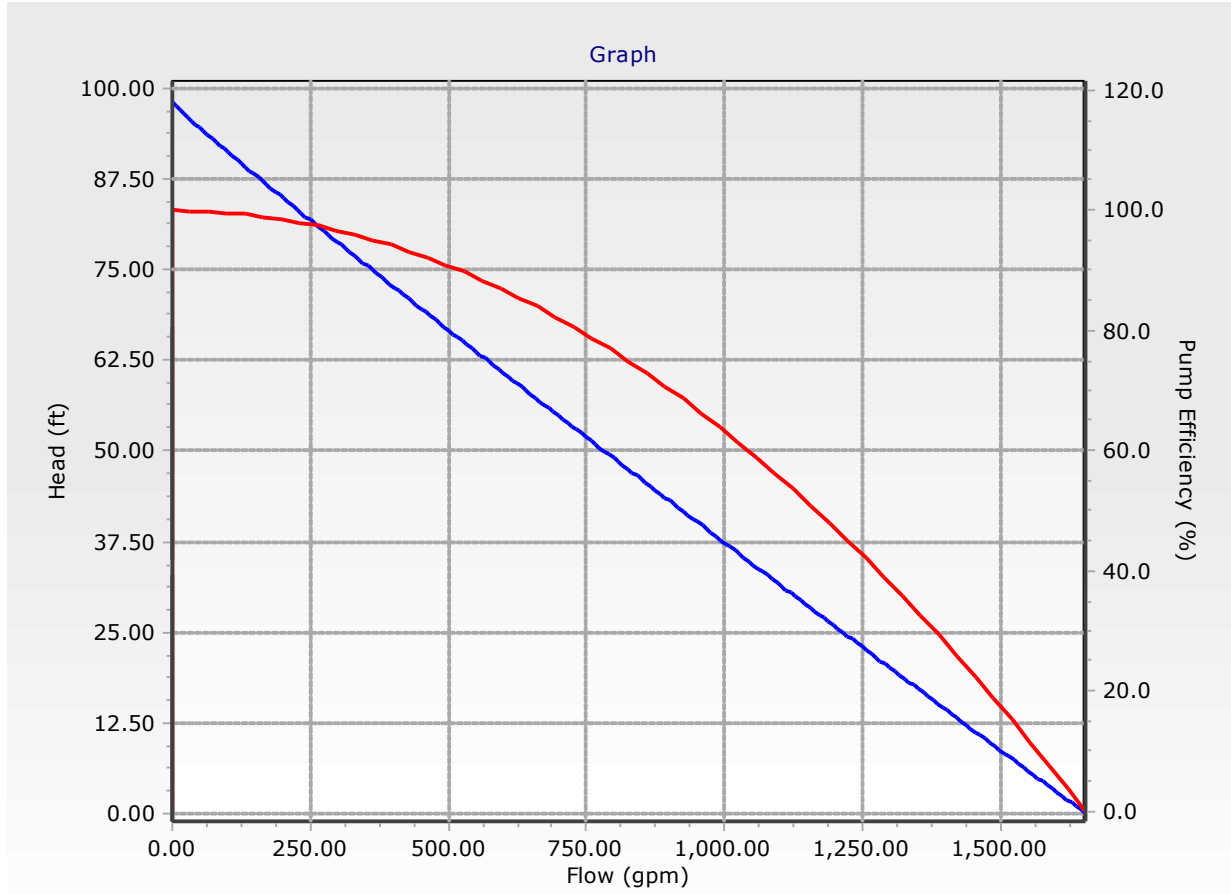
| Element Details | | |
|-----------------|------------|-------|
| ID | 86 | Notes |
| Label | Flygt Pump | |

Pump Curve

| Flow (gpm) | Head (ft) |
|---------------|--------------|
| 0.10 | 98.68 |
| 48.71 | 95.04 |
| 97.33 | 91.49 |
| 145.95 | 88.07 |
| 194.57 | 84.78 |
| 243.19 | 81.63 |
| 291.80 | 78.62 |
| 340.42 | 75.72 |
| 389.04 | 72.91 |
| 437.66 | 70.16 |
| 486.28 | 67.45 |
| 534.90 | 64.75 |
| 583.51 | 62.05 |
| 632.13 | 59.34 |
| 680.75 | 56.59 |
| 729.37 | 53.81 |
| 777.99 | 50.99 |
| 826.61 | 48.12 |
| 875.22 | 45.19 |
| 923.84 | 42.17 |
| 972.46 | 39.08 |
| 1,021.08 | 35.89 |
| 1,069.70 | 32.64 |
| 1,132.07 | 28.43 |

| Pump Efficiency Type | | | |
|--------------------------|--------------------------|--------------------------|-------------------|
| Pump Efficiency Type | Best Efficiency Point | Motor Efficiency | 100.0 % |
| BEP Efficiency | 100.0 % | Is Variable Speed Drive? | False |
| BEP Flow | 0.00 gpm | | |
| Transient (Physical) | | | |
| Inertia (Pump and Motor) | 0.000 lb·ft ² | Specific Speed | SI=25, US=1280 |
| Speed (Full) | 0 rpm | Reverse Spin Allowed? | True |

Pump Definition Detailed Report: Flygt Pump (MANIFOLD CONDITIONS)



FlexTable: Reservoir Table (MANIFOLD CONDITIONS)

| Label | Elevation (ft) | Flow (Out net) (gpm) |
|-------|-------------------|-------------------------|
| R-1 | 65.00 | 209.09 |
| R-2 | 55.50 | 236.19 |
| R-3 | 58.60 | 60.40 |
| R-4 | 73.50 | 28.29 |
| R-5 | 62.50 | 155.78 |
| R-6 | 93.00 | -1,111.08 |
| R-7 | 65.40 | 421.33 |

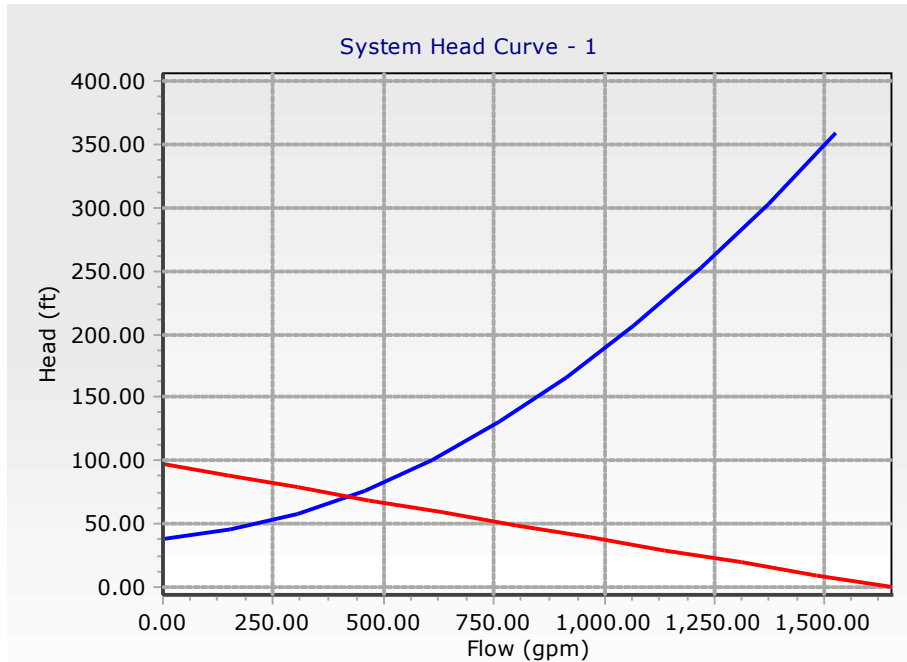
System Head Curve Detailed Report - System Head Curve - 1 (MANIFOLD CONDITIONS)

| Element Details | | | |
|-----------------|-----------------------|------------------------------|-------|
| Label | System Head Curve - 1 | Number of Intervals | 10 |
| Pump | LIFT STATION #1 | Specify vertical axis limits | False |
| Maximum Flow | 1,523.97 gpm | | |

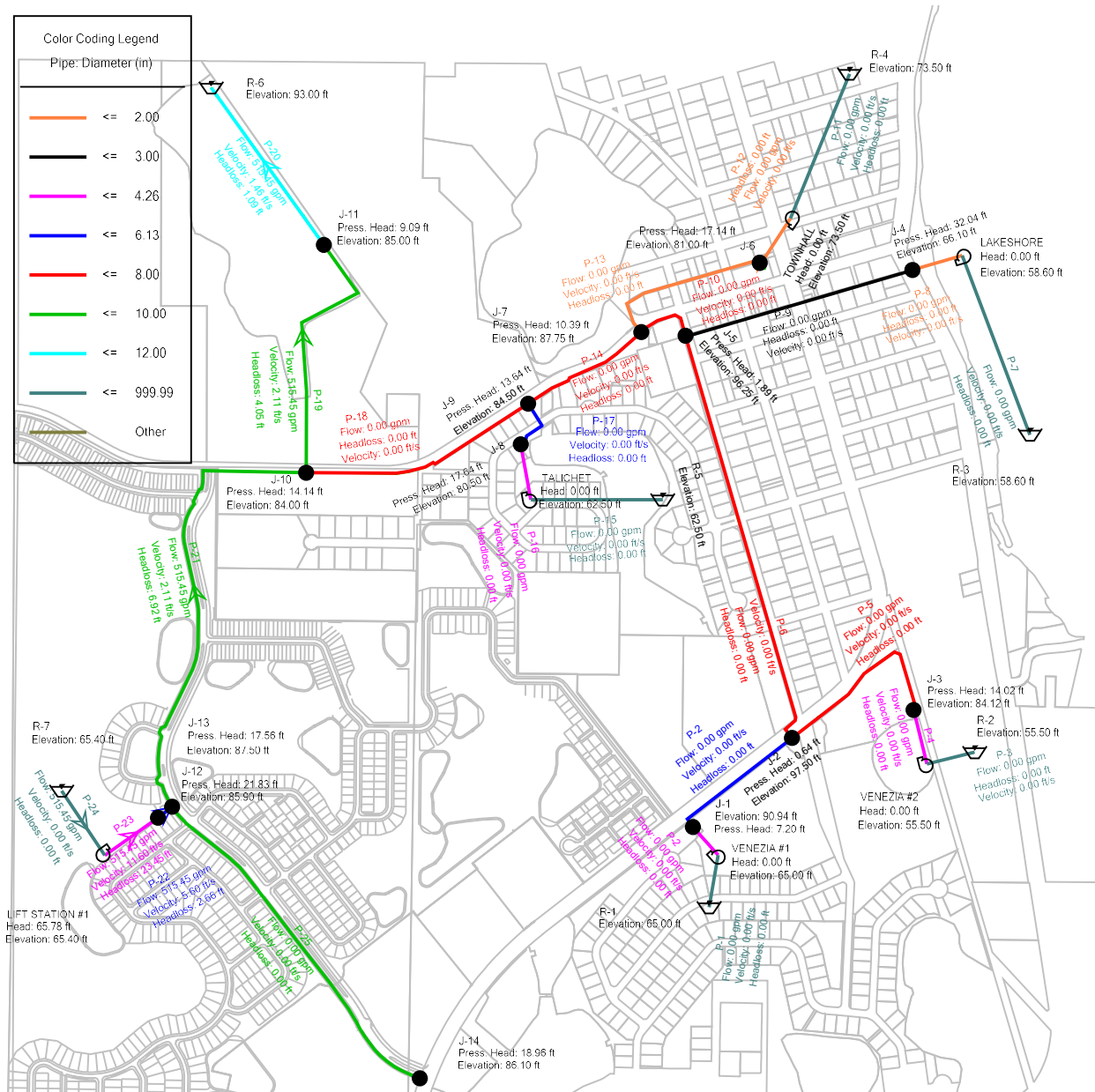
| Time (hours) |
|-----------------|
| 0.000 |

| System Head Curve @ 0.000 hours Flow (gpm) | System Head Curve @ 0.000 hours Head (ft) | Flygt Pump Flow (gpm) | Flygt Pump Head (ft) |
|--|---|-----------------------|----------------------|
| 0.00 | 38.24 | 1,654.66 | 0.00 |
| 152.40 | 44.89 | 1,481.54 | 9.80 |
| 304.79 | 57.70 | 1,309.36 | 19.60 |
| 457.19 | 76.31 | 1,138.23 | 29.41 |
| 609.59 | 100.58 | 968.29 | 39.21 |
| 761.99 | 130.38 | 799.75 | 49.01 |
| 914.38 | 165.63 | 632.85 | 58.81 |
| 1,066.78 | 206.24 | 468.00 | 68.62 |
| 1,219.18 | 252.13 | 305.88 | 78.42 |
| 1,371.57 | 303.23 | 147.84 | 88.22 |
| 1,523.97 | 359.46 | 0.00 | 98.02 |

System Head Curve Detailed Report - System Head Curve - 1 (MANIFOLD CONDITIONS)



Scenario: Base (RUNOUT CONDITIONS)



FlexTable: Junction Table (RUNOUT CONDITIONS)

| Label | Demand (gpm) | Elevation (ft) | Pressure (psi) | Pressure Head (ft) |
|-------|-----------------|-------------------|-------------------|-----------------------|
| J-1 | 0.00 | 90.94 | 3.1 | 7.20 |
| J-2 | 0.00 | 97.50 | 0.3 | 0.64 |
| J-3 | 0.00 | 84.12 | 6.1 | 14.02 |
| J-4 | 0.00 | 66.10 | 13.9 | 32.04 |
| J-5 | 0.00 | 96.25 | 0.8 | 1.89 |
| J-6 | 0.00 | 81.00 | 7.4 | 17.14 |
| J-7 | 0.00 | 87.75 | 4.5 | 10.39 |
| J-8 | 0.00 | 80.50 | 7.6 | 17.64 |
| J-9 | 0.00 | 84.50 | 5.9 | 13.64 |
| J-10 | 0.00 | 84.00 | 6.1 | 14.14 |
| J-11 | 0.00 | 85.00 | 3.9 | 9.09 |
| J-12 | 0.00 | 85.90 | 9.4 | 21.83 |
| J-13 | 0.00 | 87.50 | 7.6 | 17.56 |
| J-14 | 0.00 | 86.10 | 8.2 | 18.96 |

FlexTable: Pipe Table (RUNOUT CONDITIONS)

| Label | Diameter (in) | Length (User Defined) (ft) | Length (ft) | Material | Hazen- Williams C | Minor Loss Coefficient (Unified) | Flow (gpm) | Velocity (ft/s) | Headloss (Friction) (ft) | Headloss (Minor) (ft) | Headloss (ft) |
|-------|------------------|-------------------------------------|----------------|----------|-------------------------|---|---------------|--------------------|--------------------------------|-----------------------------|------------------|
| P-1 | 999.00 | 1 | 1 | PVC | 120.0 | 0.000 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| P-2 | 4.00 | 28 | 28 | PVC | 120.0 | 9.430 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| P-2 | 6.00 | 0 | 927 | PVC | 110.0 | 2.580 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| P-3 | 999.00 | 1 | 1 | PVC | 120.0 | 0.000 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| P-4 | 4.00 | 28 | 28 | PVC | 120.0 | 9.430 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| P-5 | 8.00 | 0 | 1,310 | PVC | 120.0 | 3.770 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| P-6 | 8.00 | 0 | 2,771 | PVC | 120.0 | 9.340 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| P-7 | 999.00 | 1 | 1 | PVC | 120.0 | 0.000 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| P-8 | 2.00 | 28 | 28 | PVC | 120.0 | 9.430 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| P-9 | 3.00 | 0 | 1,548 | PVC | 120.0 | 4.170 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| P-10 | 8.00 | 0 | 411 | PVC | 120.0 | 1.190 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| P-11 | 999.00 | 1 | 1 | PVC | 120.0 | 0.000 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| P-12 | 2.00 | 18 | 18 | PVC | 120.0 | 7.270 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| P-13 | 2.00 | 0 | 1,132 | HDPE | 120.0 | 0.000 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| P-14 | 8.00 | 0 | 884 | PVC | 120.0 | 2.580 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| P-15 | 999.00 | 1 | 1 | PVC | 120.0 | 0.000 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| P-16 | 4.00 | 28 | 28 | PVC | 120.0 | 9.430 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| P-17 | 6.00 | 0 | 362 | PVC | 120.0 | 1.190 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| P-18 | 8.00 | 0 | 1,578 | PVC | 120.0 | 4.170 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| P-19 | 10.00 | 0 | 1,779 | PVC | 120.0 | 4.770 | 515.45 | 2.11 | 3.73 | 0.33 | 4.05 |
| P-20 | 12.00 | 0 | 1,262 | PVC | 120.0 | 0.000 | 515.45 | 1.46 | 1.09 | 0.00 | 1.09 |
| P-21 | 10.00 | 0 | 3,027 | PVC | 120.0 | 8.490 | 515.45 | 2.11 | 6.34 | 0.58 | 6.92 |
| P-22 | 6.13 | 0 | 117 | PVC | 120.0 | 0.000 | 515.45 | 5.60 | 2.66 | 0.00 | 2.66 |
| P-23 | 4.26 | 28 | 28 | PVC | 120.0 | 9.430 | 515.45 | 11.60 | 3.72 | 19.73 | 23.45 |
| P-24 | 999.00 | 1 | 1 | PVC | 120.0 | 0.000 | 515.45 | 0.00 | 0.00 | 0.00 | 0.00 |
| P-25 | 10.00 | 0 | 2,429 | PVC | 120.0 | 3.900 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |

Pump Definition Detailed Report: Flygt Pump (RUNOUT CONDITIONS)

Element Details

| | | |
|-------|------------|-------|
| ID | 86 | Notes |
| Label | Flygt Pump | |

Pump Curve

| Flow (gpm) | Head (ft) |
|---------------|--------------|
| 0.10 | 98.68 |
| 48.71 | 95.04 |
| 97.33 | 91.49 |
| 145.95 | 88.07 |
| 194.57 | 84.78 |
| 243.19 | 81.63 |
| 291.80 | 78.62 |
| 340.42 | 75.72 |
| 389.04 | 72.91 |
| 437.66 | 70.16 |
| 486.28 | 67.45 |
| 534.90 | 64.75 |
| 583.51 | 62.05 |
| 632.13 | 59.34 |
| 680.75 | 56.59 |
| 729.37 | 53.81 |
| 777.99 | 50.99 |
| 826.61 | 48.12 |
| 875.22 | 45.19 |
| 923.84 | 42.17 |
| 972.46 | 39.08 |
| 1,021.08 | 35.89 |
| 1,069.70 | 32.64 |
| 1,132.07 | 28.43 |

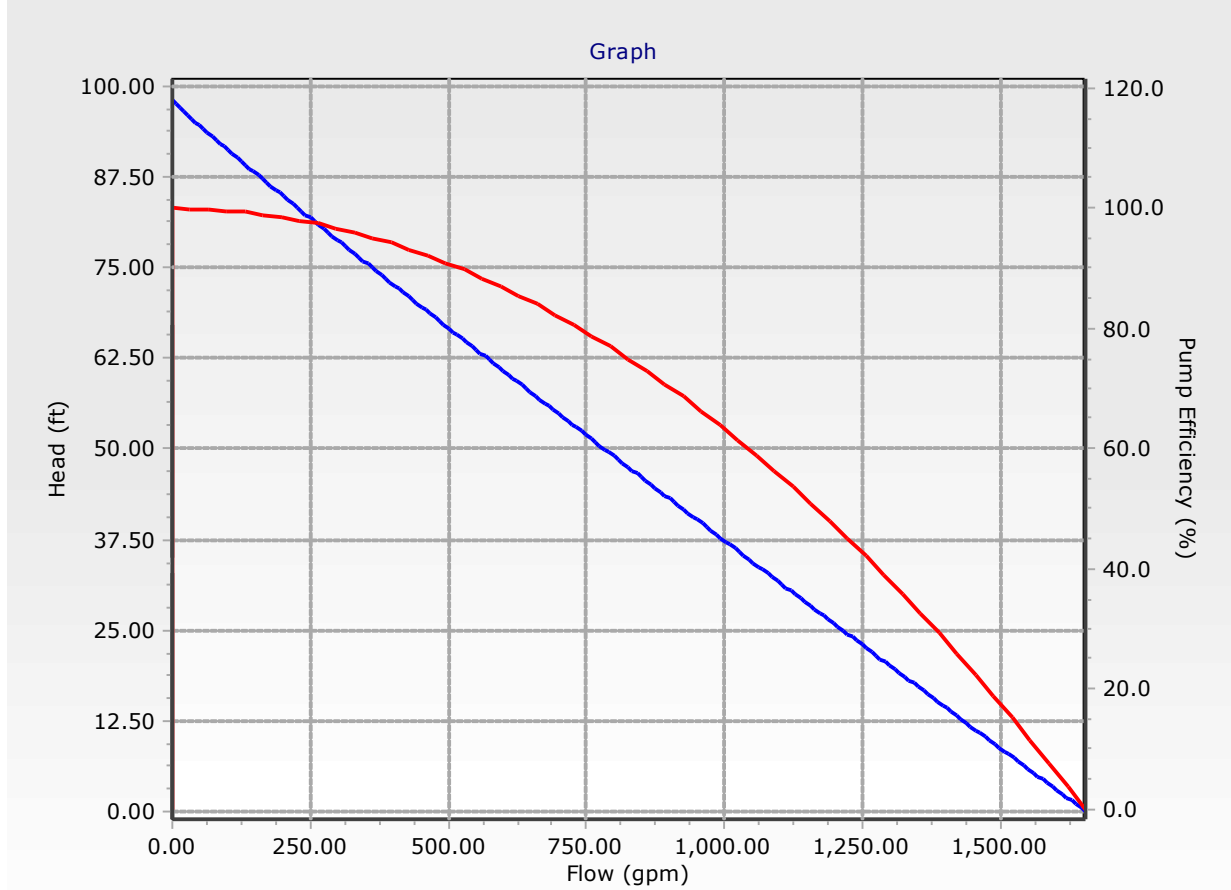
Pump Efficiency Type

| | | | |
|----------------------|-----------------------|--------------------------|---------|
| Pump Efficiency Type | Best Efficiency Point | Motor Efficiency | 100.0 % |
| BEP Efficiency | 100.0 % | Is Variable Speed Drive? | False |
| BEP Flow | 0.00 gpm | | |

Transient (Physical)

| | | | |
|--------------------------|--------------------------|-----------------------|-------------------|
| Inertia (Pump and Motor) | 0.000 lb·ft ² | Specific Speed | SI=25, US=1280 |
| Speed (Full) | 0 rpm | Reverse Spin Allowed? | True |

Pump Definition Detailed Report: Flygt Pump (RUNOUT CONDITIONS)



FlexTable: Pump Table (RUNOUT CONDITIONS)

| Label | Pump Definition | Elevation (ft) | Hydraulic Grade (Suction) (ft) | Hydraulic Grade (Discharge) (ft) | Flow (Total) (gpm) | Pump Head (ft) |
|-----------------|-----------------|-------------------|--------------------------------------|---|-----------------------|-------------------|
| LAKESHORE | LAKESHORE | 58.60 | 58.60 | 98.14 | 0.00 | 0.00 |
| LIFT STATION #1 | Flygt Pump | 65.40 | 65.40 | 131.18 | 515.45 | 65.78 |
| TALICHET | TALICHET | 62.50 | 62.50 | 98.14 | 0.00 | 0.00 |
| TOWNHALL | TOWNHALL | 73.50 | 73.50 | 98.14 | 0.00 | 0.00 |
| VENEZIA #1 | VENEZIA #1 | 65.00 | 65.00 | 98.14 | 0.00 | 0.00 |
| VENEZIA #2 | VENEZIA #2 | 55.50 | 55.50 | 98.14 | 0.00 | 0.00 |

FlexTable: Reservoir Table (RUNOUT CONDITIONS)

| Label | Elevation (ft) | Flow (Out net) (gpm) |
|-------|-------------------|-------------------------|
| R-1 | 65.00 | 0.00 |
| R-2 | 55.50 | 0.00 |
| R-3 | 58.60 | 0.00 |
| R-4 | 73.50 | 0.00 |
| R-5 | 62.50 | 0.00 |
| R-6 | 93.00 | -515.45 |
| R-7 | 65.40 | 515.45 |

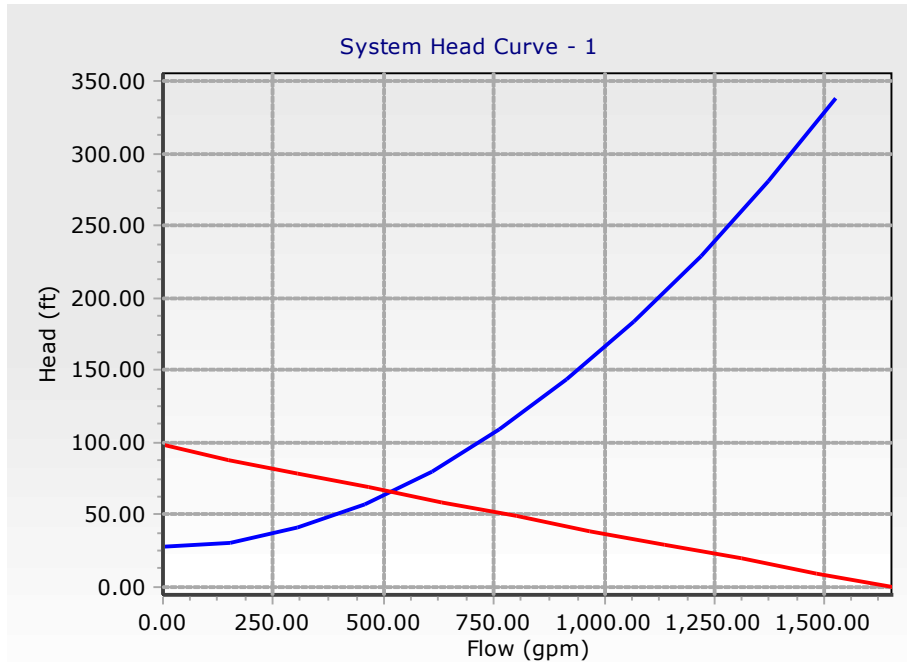
System Head Curve Detailed Report - System Head Curve - 1 (RUNOUT CONDITIONS)

| Element Details | | | |
|-----------------|-----------------------|------------------------------|-------|
| Label | System Head Curve - 1 | Number of Intervals | 10 |
| Pump | LIFT STATION #1 | Specify vertical axis limits | False |
| Maximum Flow | 1,523.97 gpm | | |

| Time (hours) |
|--------------|
| 0.000 |

| System Head Curve @ 0.000 hours Flow (gpm) | System Head Curve @ 0.000 hours Head (ft) | Flygt Pump Flow (gpm) | Flygt Pump Head (ft) |
|--|---|-----------------------|----------------------|
| 0.00 | 27.60 | 1,654.66 | 0.00 |
| 152.40 | 31.24 | 1,481.54 | 9.80 |
| 304.79 | 41.45 | 1,309.36 | 19.60 |
| 457.19 | 57.89 | 1,138.23 | 29.41 |
| 609.59 | 80.40 | 968.29 | 39.21 |
| 761.99 | 108.88 | 799.75 | 49.01 |
| 914.38 | 143.26 | 632.85 | 58.81 |
| 1,066.78 | 183.47 | 468.00 | 68.62 |
| 1,219.18 | 229.46 | 305.88 | 78.42 |
| 1,371.57 | 281.18 | 147.84 | 88.22 |
| 1,523.97 | 338.61 | 0.00 | 98.02 |

System Head Curve Detailed Report - System Head Curve - 1 (RUNOUT CONDITIONS)



SUMMARY OF REQUIRED VS MODELED FLOWS

Connelly & Wicker, Inc.

Project Name: HILLSIDE GROVE

Project No: 21-04-0008

Date: October 6, 2022

COMPUTATION OF EXISTING SYSTEM FLOWS

| Talichet Pump Station | Quantity | ADF | Unit | ADF (GPD) | ADF (GPM) | Peaking Factor | Peak Flow (GPM) |
|---|----------|-----|--------|-----------|-----------|----------------|-----------------|
| Single Family Residential | 93 | 300 | / Unit | 27900 | 19.4 | 3.72 | 72.1 |
| * Data taken from Construction Plans for Venezia North Subdivision obtained from the SJRWMD | | | | | | | |

SUMMARY OF EXISTING PUMP STATION REQUIRED VS MODELED FLOWS

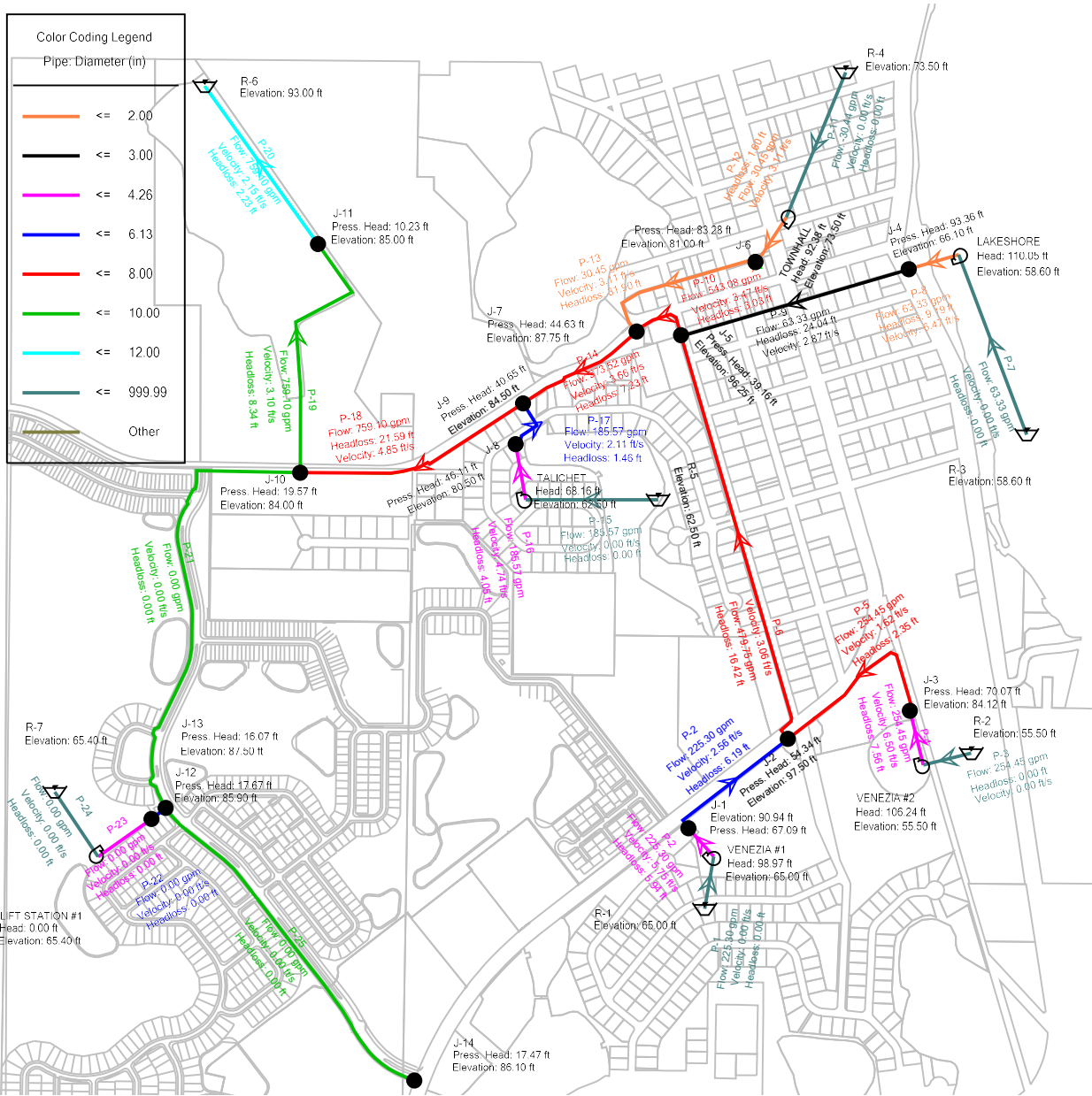
| Pump Station Name | Required Peak Flow (GPM) | Peak Flow at Manifold Condition per Watercad Modeling (GPM) |
|--|--------------------------|---|
| Venezia Pump Station #1 | 133 | 209 |
| * Data taken from Howey-In-The-Hills Wastewater Master Plan dated October 2018 | | |
| Venezia Pump Station #2 | 204 | 236 |
| * Data taken from Howey-In-The-Hills Wastewater Master Plan dated October 2018 | | |
| Talichet Pump Station | 72 | 156 |
| * Data calculated above | | |
| Lakeshore Pump Station | 59 | 60 |
| * Data taken Pump Station Engineering Plan provided by Griffey Engineering, Inc. | | |
| Townhall Pump Station | 26 | 28 |
| * Data taken Pump Station Engineering Plan provided by Griffey Engineering, Inc. | | |

HILLSIDE GROVE PUMP STATION REQUIRED VS PROVIDED FLOWS

| Pump Station Name | Required Peak Flow (GPM) | Flow at Manifold Condition per Watercad Modeling (GPM) | Flow at Runout Condition per Watercad Modeling (GPM) |
|-------------------|--------------------------|--|--|
| Pump Station #1 | 400 | 421 | 515 |

APPENDIX

Scenario: Base (EXISTING NETWORK CONDITIONS)



FlexTable: Pump Table (EXISTING NETWORK CONDITIONS)

| Label | Pump Definition | Elevation (ft) | Hydraulic Grade (Suction) (ft) | Hydraulic Grade (Discharge) (ft) | Flow (Total) (gpm) | Pump Head (ft) |
|-----------------|-----------------|-------------------|--------------------------------------|---|-----------------------|-------------------|
| LAKESHORE | LAKESHORE | 58.60 | 58.60 | 168.65 | 63.33 | 110.05 |
| LIFT STATION #1 | Flygt Pump | 65.40 | 65.40 | 103.57 | 0.00 | 0.00 |
| TALICHET | TALICHET | 62.50 | 62.50 | 130.66 | 185.57 | 68.16 |
| TOWNHALL | TOWNHALL | 73.50 | 73.50 | 165.88 | 30.45 | 92.38 |
| VENEZIA #1 | VENEZIA #1 | 65.00 | 65.00 | 163.97 | 225.30 | 98.97 |
| VENEZIA #2 | VENEZIA #2 | 55.50 | 55.50 | 161.74 | 254.45 | 106.24 |

NP 3153 HT 3~ 456

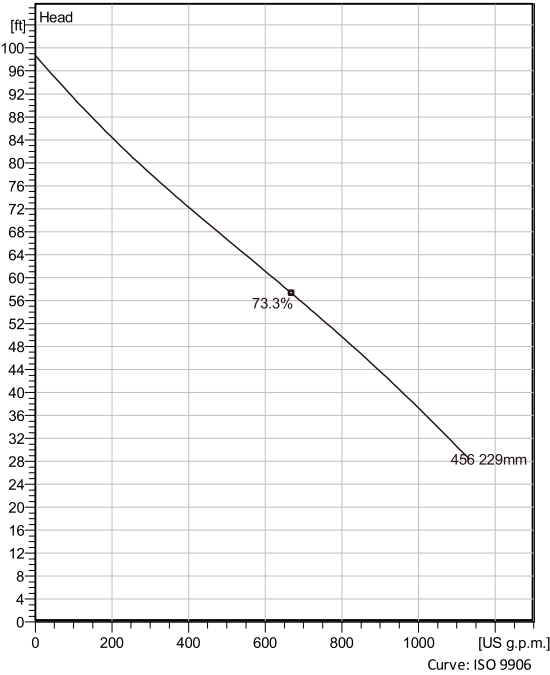
Patented self cleaning semi-open channel impeller, ideal for pumping in waste water applications. Modular based design with high adaptation grade.



Technical specification



Curves according to: Water, pure Water, pure [100%], 39.2 °F, 62.43 lb/ft³, 1.6888E-5 ft²/s



Configuration

| | |
|--|---|
| Motor number N3153.660 21-15-4AA-W 15hp | Installation type P - Semi permanent, Wet |
| Impeller diameter 229 mm | Discharge diameter 4 inch |

Pump information

| |
|--|
| Impeller diameter 229 mm |
| Discharge diameter 4 inch |
| Inlet diameter 150 mm |
| Maximum operating speed 1755 rpm |
| Number of blades 2 |
| Max. fluid temperature 40 °C |

Materials

| |
|------------------------------------|
| Impeller Stainless steel |
|------------------------------------|

| | | |
|----------------|--------------------|-----------------|
| Project | Created by | Garrett Queener |
| Block | Created on | 10/7/2022 |
| | Last update | 10/7/2022 |

NP 3153 HT 3~ 456

Technical specification



Motor - General

| | | | |
|--|-------------------------------|--------------------------------|-----------------------------|
| Motor number N3153.660 21-15-4AA-W 15hp | Phases 3~ | Rated speed 1755 rpm | Rated power 15 hp |
| ATEX approved No | Number of poles 4 | Rated current 39 A | Stator variant 5 |
| Frequency 60 Hz | Rated voltage 230 V | Insulation class H | Type of Duty S1 |
| Version code 660 | | | |

Motor - Technical

| | | | |
|--|--|---|-----------------------------------|
| Power factor - 1/1 Load 0.82 | Motor efficiency - 1/1 Load 87.8 % | Total moment of inertia 1.76 lb ft ² | Starts per hour max. 30 |
| Power factor - 3/4 Load 0.77 | Motor efficiency - 3/4 Load 88.7 % | Starting current, direct starting 228 A | |
| Power factor - 1/2 Load 0.65 | Motor efficiency - 1/2 Load 88.3 % | Starting current, star-delta 76 A | |

Project

Block 0

Created by

Garrett Queener

Created on

10/7/2022

Last update

10/7/2022

NP 3153 HT 3~ 456

Performance curve

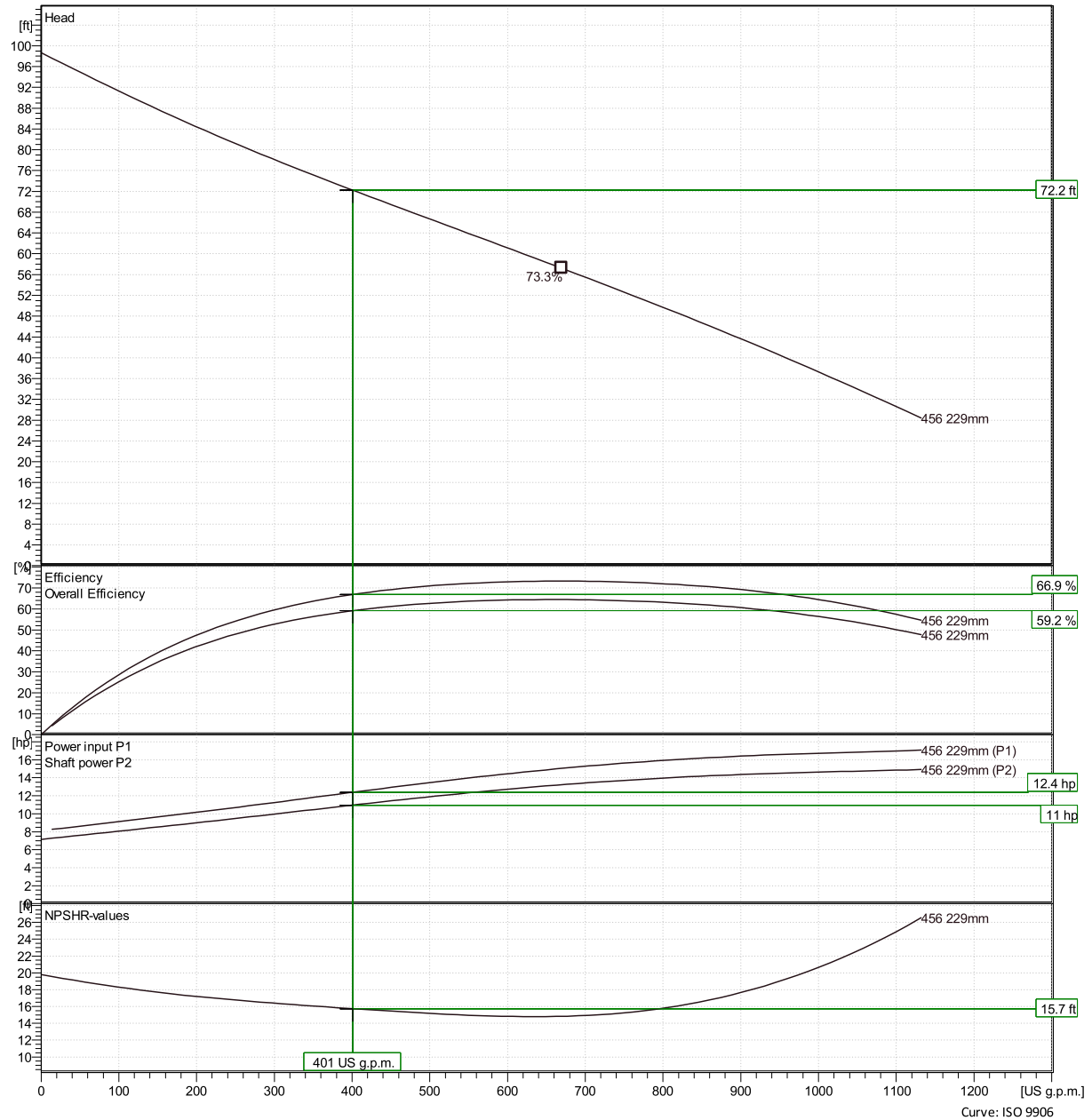


Duty point

Flow
401 US g.p.m.

Head
72.2 ft

Curves according to: Water, pure Water, pure [100%], 39.2 °F, 62.43 lb/ft³, 1.6888E-5 ft²/s



Garrett Queener

0

Created on

10/7/2022

Last update

10/7/2022

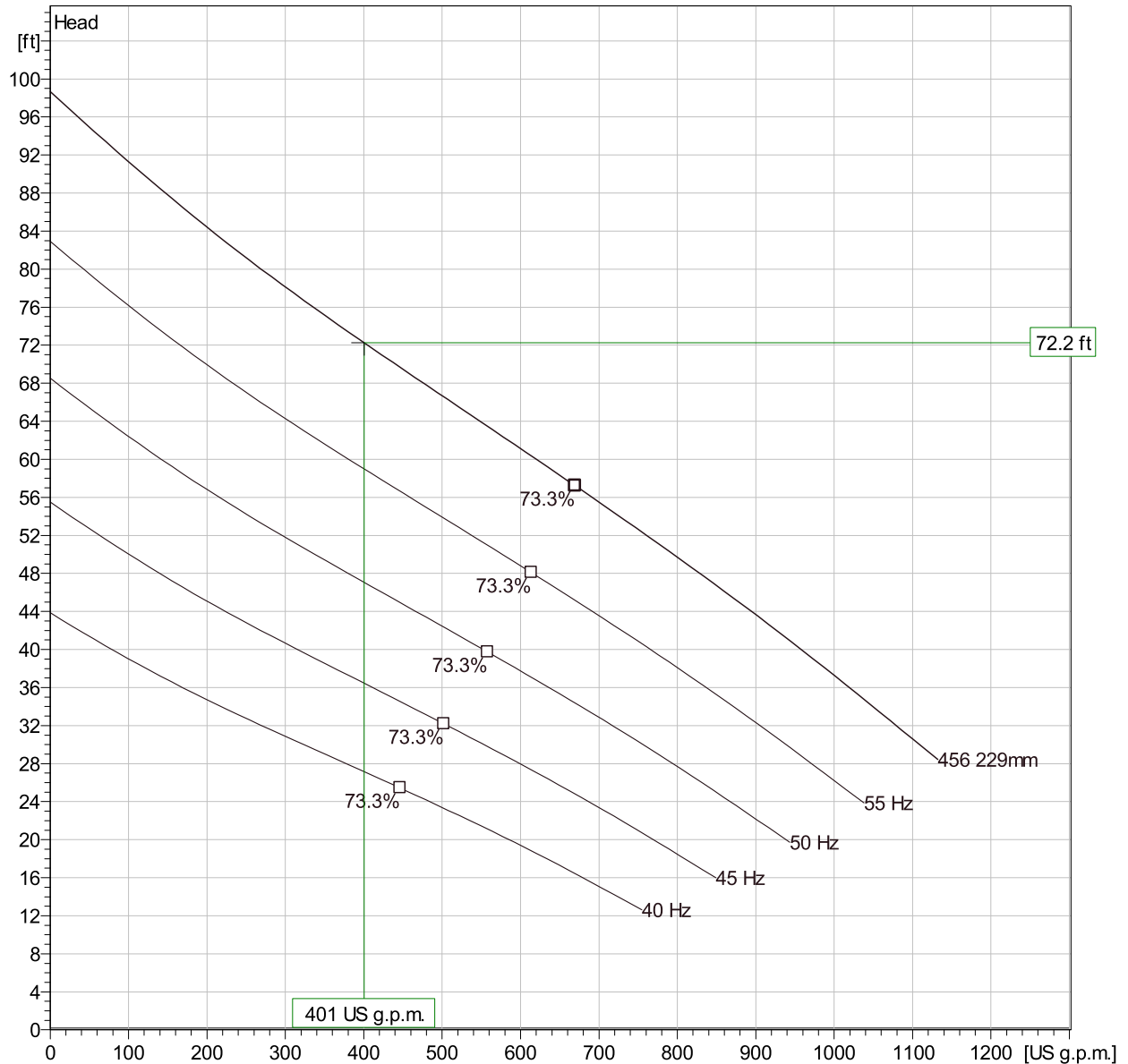
Curve: ISO 9906

NP 3153 HT 3~ 456

Duty Analysis



Curves according to: Water, pure [100%] ; 39.2°F; 62.43lb/ft³; 1.6888E-5ft²/s



Operating characteristics

| Pumps / Systems | Flow US g.p.m. | Head ft | Shaft power hp | Flow US g.p.m. | Head ft | Shaft power hp | Hydr. eff. | Spec. Energy kWh/US MG | NPSHre ft |
|-----------------|-------------------|------------|-------------------|-------------------|------------|-------------------|------------|---------------------------|--------------|
| 1 | 401 | 72.2 | 11 | 401 | 72.2 | 11 | 66.9 % | 384 | 15.7 |

Project

Created by

Garrett Queener

Block

Created on

10/7/2022

Last update

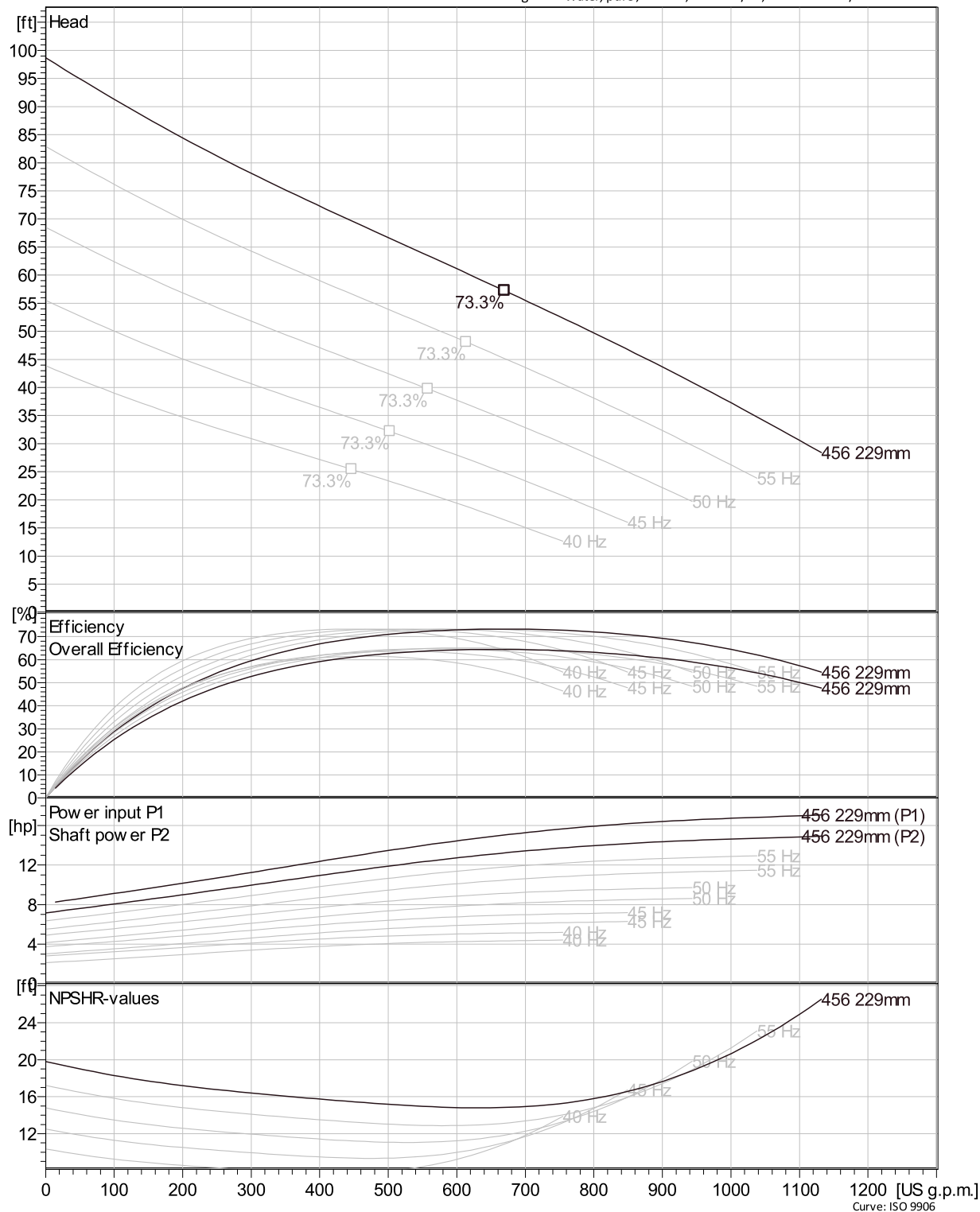
10/7/2022

NP 3153 HT 3~ 456

VFD Curve



Curves according to: Water, pure, 39.2 °F, 62.43 lb/ft³, 1.6888E-5 ft²/s



Project

Block 0

Created by

Garrett Queener

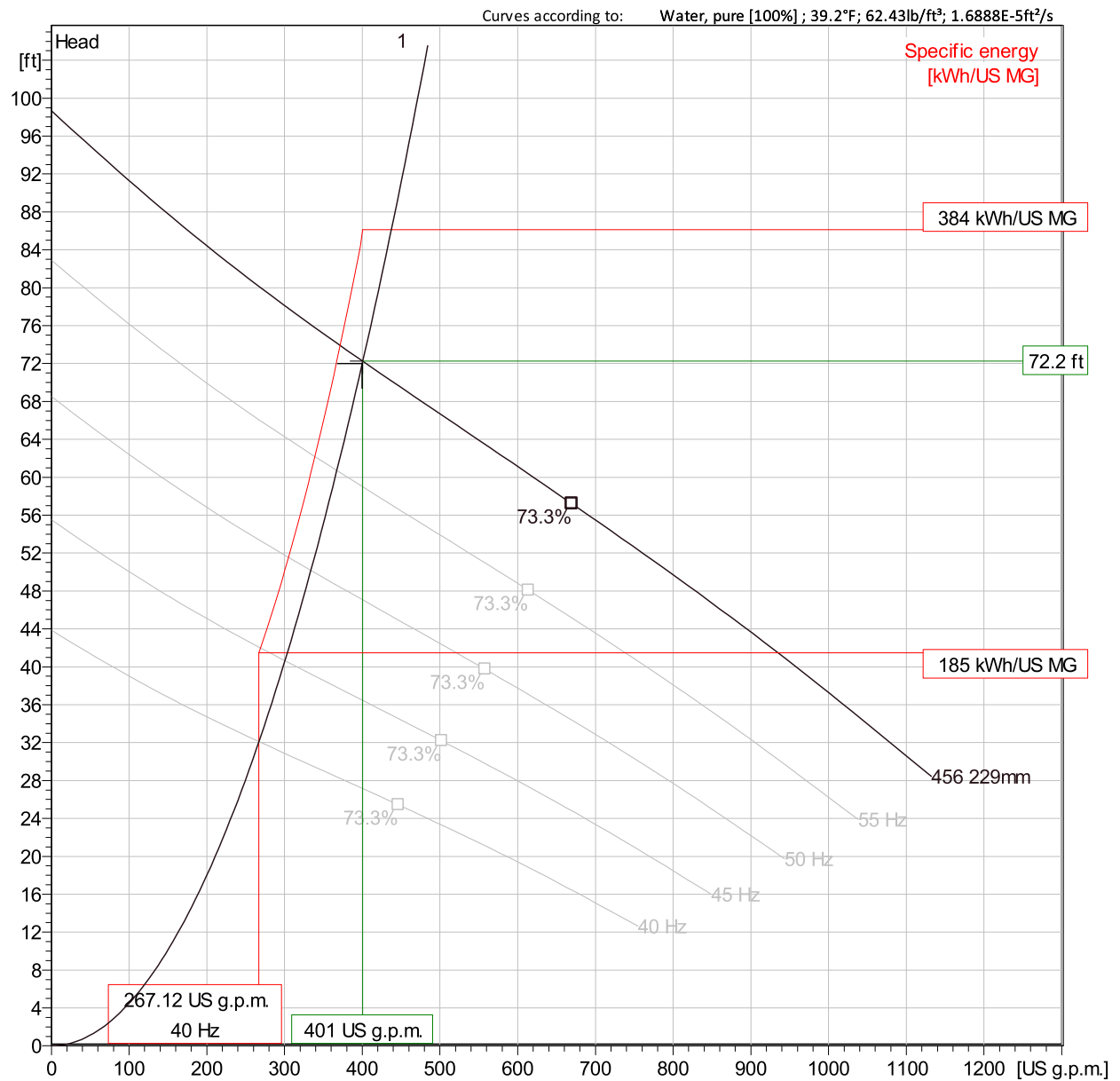
Created on

10/7/2022

Last update 10/7/2022

NP 3153 HT 3~ 456

VFD Analysis



Operating Characteristics

| Pumps / Systems | Frequency | Flow | Head | Shaft power | Flow | Head | Shaft power | Hydr. eff. | Specific energy | NPSH _{re} |
|-----------------|-----------|-----------|------|-------------|-----------|------|-------------|------------|-----------------|--------------------|
| | | US g.p.m. | ft | hp | US g.p.m. | ft | hp | | kWh/US MG | |
| 1 | 60 Hz | 401 | 72.2 | 11 | 401 | 72.2 | 11 | 66.9 % | 384 | 15.7 |
| 1 | 55 Hz | 367 | 60.7 | 8.44 | 367 | 60.7 | 8.44 | 66.9 % | 322 | 13.7 |
| 1 | 50 Hz | 334 | 50.2 | 6.34 | 334 | 50.2 | 6.34 | 66.9 % | 269 | 11.8 |
| 1 | 45 Hz | 301 | 40.6 | 4.62 | 301 | 40.6 | 4.62 | 66.9 % | 224 | 9.93 |

Project

Block 0

Created by

Garrett Queener

Created on

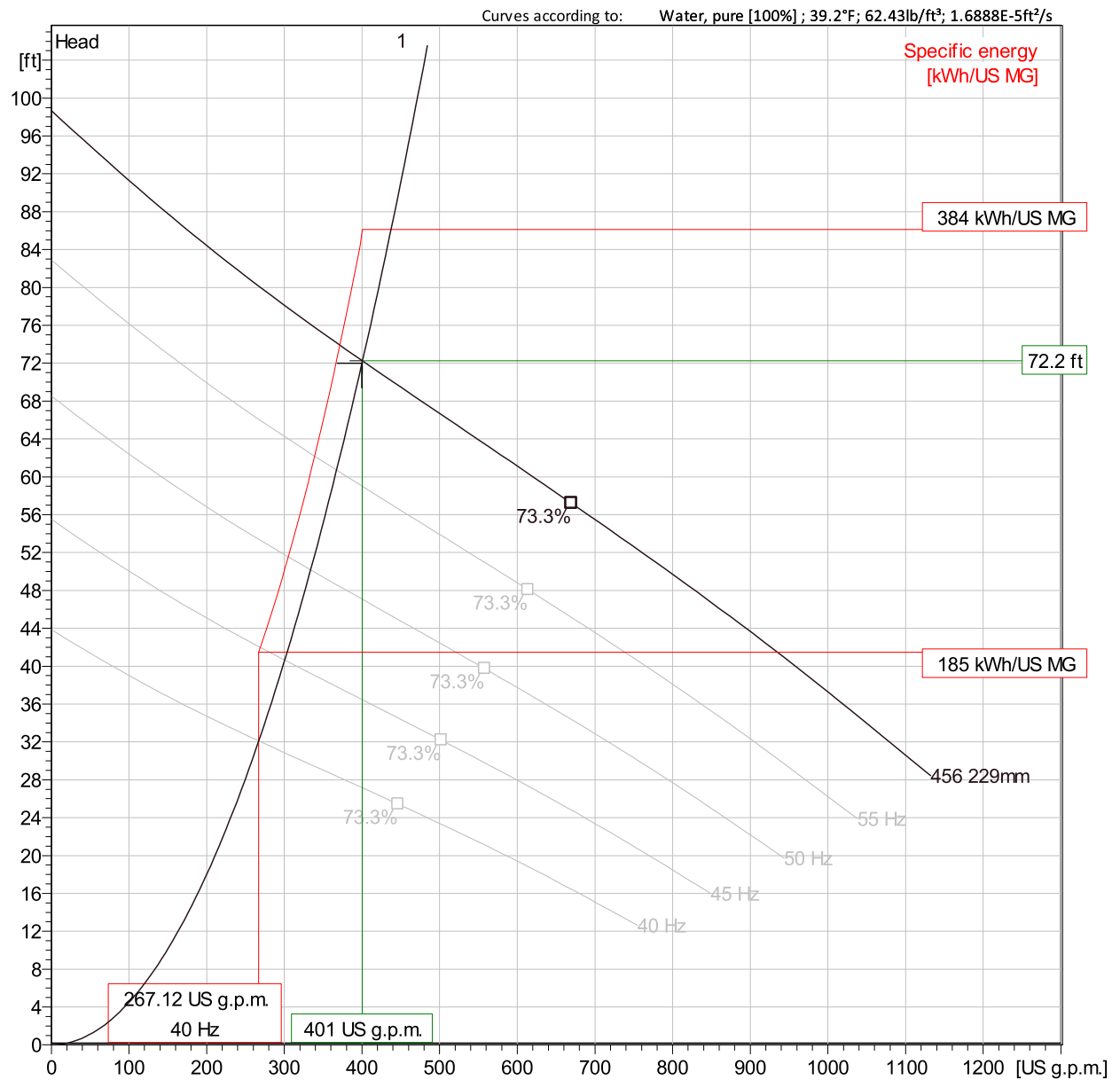
10/7/2022

Last update

10/7/2022

NP 3153 HT 3~ 456

VFD Analysis



Operating Characteristics

| Pumps / Systems | Frequency | Flow US g.p.m. | Head ft | Shaft power hp | Flow US g.p.m. | Head ft | Shaft power hp | Hydr. eff. | Specific energy kWh/US MG | NPSHre ft |
|-----------------|-----------|-------------------|------------|-------------------|-------------------|------------|-------------------|------------|------------------------------|--------------|
| 1 | 40 Hz | 267 | 32.1 | 3.25 | 267 | 32.1 | 3.25 | 66.9 % | 185 | 8.23 |

Project

Block 0

Created by

Garrett Queener

Created on

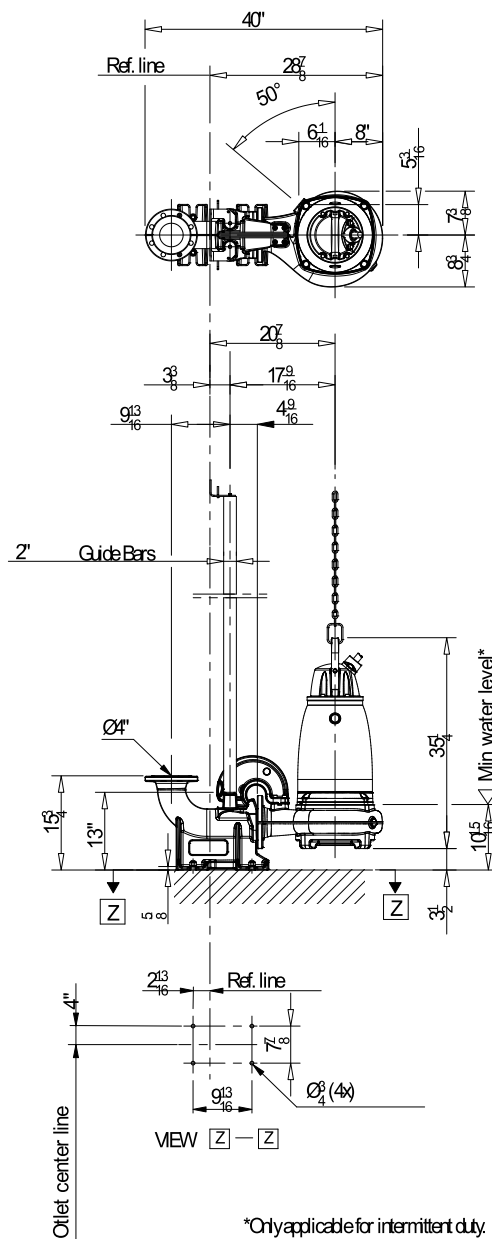
10/7/2022

Last update

10/7/2022

NP 3153 HT 3~ 456

Dimensional drawing



*Only applicable for intermittent duty.

Consult the IOM for more info

12/10/2021

Weight (lbs)

Pump 465 Disch 95

Scale 1:20 Date 2/20/22

Drawing number 6504500 Revision 13

Project

Block 0

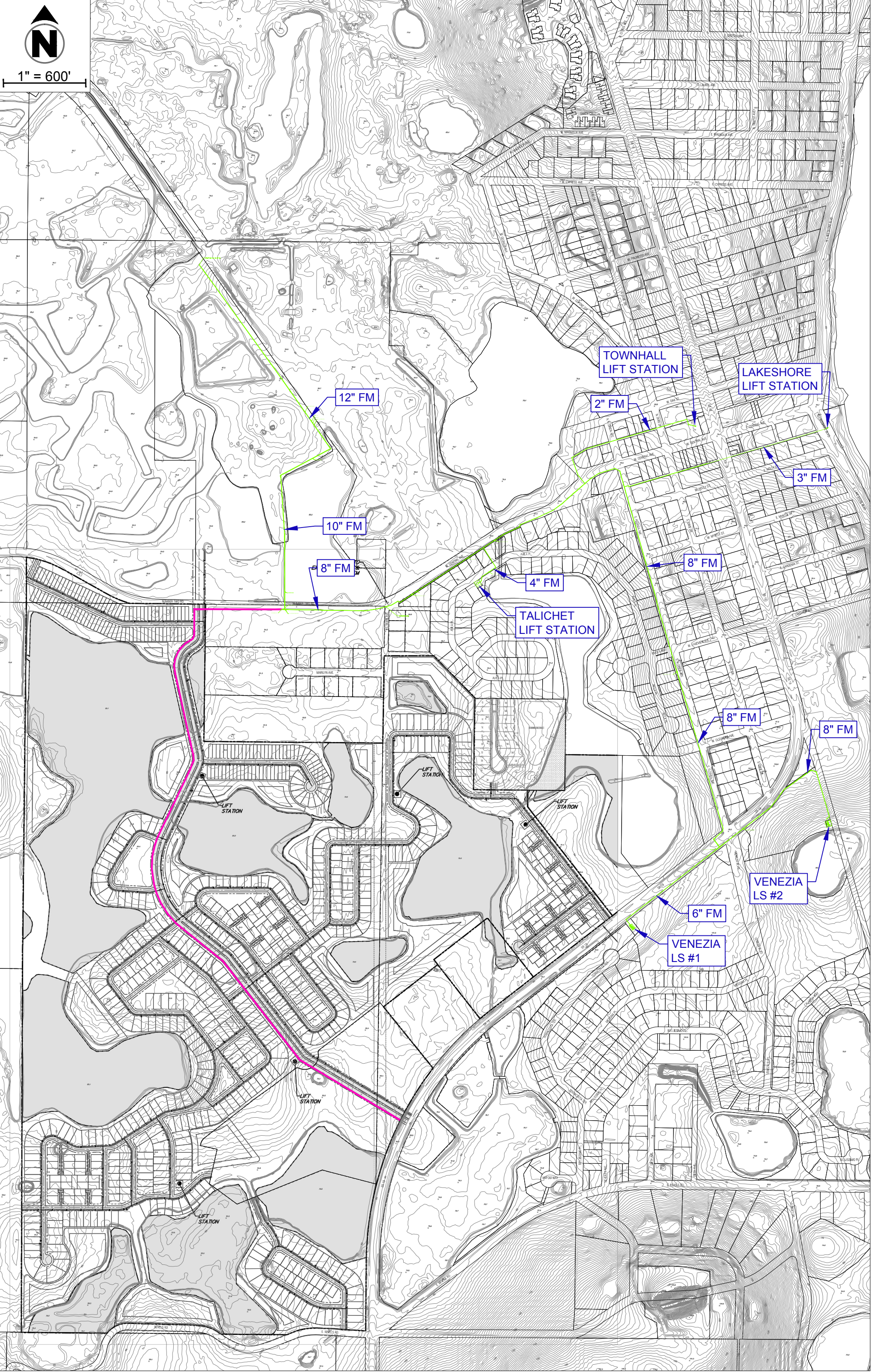
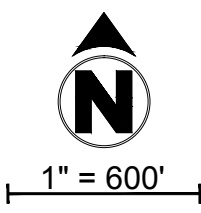
Created by

Garrett Queener

Created on

10/7/2022 Last update

10/7/2022



WASTEWATER MASTER PLAN

Town of Howey in the Hills Public Wastewater System

Prepared For:



Prepared By:



October 2018

APPENDIX C

Venezia's Existing Lift Station Calculations

LIFT STATION CALCULATIONS

Venezia Lift Station #1

I. Design Flow Rates:

| Parcel ID | Land Use Description | Unit Description | Units | Unit Flow (GPD/Unit) | Average Daily Flow (GPD) | Average Daily Flow (GPM) | Minimum Daily Flow (GPM) | Maximum Daily Flow (GPM) | Peak Daily Flow (GPM) |
|-------------------------|---------------------------------------|------------------|--------|----------------------|--------------------------|--------------------------|--------------------------|--------------------------|-----------------------|
| 1 | Residential - SF (detached) | dwelling unit | 94 | 300 | 28,200 | 20 | 10 | 39 | 78 |
| 2 | Commercial - Shopping Center | square feet | 70,000 | 0.1 | 7,000 | 5 | 2 | 10 | 19 |
| 3 | Commercial - Shopping Center - Deli | square feet | 500 | 0.4 | 200 | 0.1 | 0.1 | 0.3 | 0.6 |
| 4 | Commercial - Shopping Center - Bakery | square feet | 500 | 0.4 | 200 | 0.1 | 0.1 | 0.3 | 0.6 |
| 5 | Commercial - Shopping Center - Meat | square feet | 500 | 0.75 | 375 | 0.3 | 0.1 | 0.5 | 1.0 |
| 6 | Commercial - Restaurant <16 hrs | seat | 300 | 40 | 12,000 | 8 | 4 | 17 | 33 |
| 7 | | | | | 0 | 0 | 0 | 0 | 0 |
| 8 | | | | | 0 | 0 | 0 | 0 | 0 |
| 9 | | | | | 0 | 0 | 0 | 0 | 0 |
| 10 | | | | | 0 | 0 | 0 | 0 | 0 |
| Total | | | | | 47,975 | 33 | 17 | 67 | 133 |
| Design Peaking Factors: | | | | | | | F _{min} | F _{max} | F _{peak} |
| | | | | | | | 0.5 | 2.0 | 4.0 |

II. Wet Well Dimensions:

| | | |
|--------------------------------|------------|---------------------|
| <u>Wet Well Configuration:</u> | | Duplex |
| No. of Wet Wells: | | 1 |
| Layout: | | Circular |
| Inner Diameter = | 8.00 | feet |
| Volume = | 376 | gallons/foot |
| Total Volume = | 376 | gallons/foot |
| Wall Thickness = | 8 | inches |
| Outer Diameter = | 9.33 | feet |
| Slab Lip = | 18 | inches |
| Slab Diameter = | 12.33 | feet |
| Slab Thickness = | 12 | inches |

III. Minimum Cycle Time & Storage Volume:

$$T = (V / (Q - S)) + (V / S)$$

Where: T = Cycle Time (Min.)
 S = Peak Inflow (gpm)
 Q = Pump Discharge (gpm)
 V = Req. Storage Vol. (gal.)

Note: T_{min} occurs when $S = 1/2Q$ (Duplex)
 $V = (QT) / 4$

For Minimum T = 10 Min.
 S = 147 GPM

Q = 294 GPM (per pump)
 Then V = 735 Gallons
Min. Storage Depth = 1.95 Feet (Pump ON - Pump OFF)

Cycle Time for Peak Flow Condition, T = 10 Minutes > 5 minutes, OK

Note: Allow an additional 50% Storage Depth for Triplex and 100% for Quadplex
 Note: Rule of Thumb: Min. Q = 150 gpm

IV. Wet Well Control Levels:

| | |
|---|--------------|
| Wet Well Top Elevation | 89.00 |
| Assume Ground Water Table @ Elevation | 88.50 |
| Influent Gravity Sewer Invert Elev. | 71.54 |
| Freeboard = | 0.54 Feet |
| Audible Alarm ON Elevation | 71.00 |
| Freeboard = | 1.00 Feet |
| 4 TH Pump & Alarm Light ON Elev. | 0.00 |
| Freeboard = | 0.00 Feet |
| 3 RD Pump & Alarm Light ON Elev. | 0.00 |
| Freeboard = | 0.00 Feet |
| 2 ND Pump & Alarm Light ON Elev. | 70.00 |
| Freeboard = | 1.00 Feet |
| Lead Pump ON Elev. | 69.00 |
| Storage Depth = | 4.00 Feet |
| Both Pumps OFF Elev. | 65.00 |
| Sump Depth = | 1.50 Feet |
| Wet Well Bottom Elevation | 63.50 |
| Total Depth of Wet Well = | 25.50 Feet |
| Station Yard Finish Grade Elevation = | 88.50 |
| Minimum Station Yard Width = | 25.0 Feet |
| Min. Station Easement Length & Width = | 59.3 Feet |
| Forcemain High Point Elevation = | 125.00 ft |
| Connection Point Elevation = | 0.00 ft |
| Connection Pressure = | 0.00 psi |
| Static Head for Pumps = | 60.00 Feet |

V. Buoyancy Calculation:

| | | |
|---------------------------------------|----------------|-------------|
| Structure Rim El. = | 89.00 | feet |
| Structure Base El. = | 63.50 | feet |
| Structure Depth = | 25.50 | feet |
| Structure Volume = | 1,282 | CF |
| Wall Volume = | 463 | CF |
| Slab Volume = | 119 | CF |
| Volume of Concrete = | 582 | CF |
| Density of Concrete = | 144 | lbs/CF |
| Weight of Concrete = | 83,855 | lbs. |
| Volume of Soil Above Slab = | 1,302 | CF |
| Density of Soil = | 47 | lbs/CF |
| Weight of Soil Above Slab = | 61,184 | lbs. |
| Total Resistance Force = | 145,040 | lbs. |
| <u>Ground Water Table @ Elevation</u> | 88.50 | feet |
| Volume of Water Displaced = | 1,830 | CF |
| Density of Water = | 62.4 | lbs/CF |
| Total Uplift Force = | 114,185 | lbs. |
| Factor of Safety = | 1.3 | |

LIFT STATION CALCULATIONS (Cont'd) Venezia Lift Station #1

VI. Calculation of System Head Curve:

Total Static Head = 60.00 Feet

Pump Selection *Flygt* 15 hp

Model: NP3151. Curve: 63-464-00-4550

Impeller: 253 mm

No. Pumps in Parallel = 1 Duplex 87 ft TDH

Operating Point = 294 gpm @ 87 ft TDH

OP 2 Pumps = gpm @ ft TDH

OP 3 pumps = gpm @ ft TDH

Wet Well Area = 50.3 sf per wet well

Pump On El. = 66.00 ft

Pump Off El. = 65.00 ft

Storage Volume = 201 cf

1,504 gallons per wet well

Pump On Time = Storage Volume / (Outflow - Inflow)

= 9.4 minutes (Peak)

= 5.8 minutes (Average)

Pump Off Time = Storage Volume / (Inflow)

= 11.3 minutes (Peak)

= 45.1 minutes (Average)

Inflow = 33 gpm (Average)

Inflow = 193 gpm (Peak)

Outflow = 294 gpm

| | Station Piping | Force Main Piping | | | | N/A | | | |
|---------------------------|----------------|-------------------|-------------|-------------|---------|-----|---------|-----|---------|
| | | New On-Site | New On-Site | New On-Site | | | | | |
| Pipe Length (feet) | 27 | 947 | 5,600 | 3,140 | 0 | | | | |
| Pipe Inside Dia. (inches) | 6 | 6 | 8 | 10 | 12 | | | | |
| Pipe Area (Sq.-Ft.) | 0.196 | 0.196 | 0.349 | 0.545 | 0.785 | | | | |
| Pipe Material | DIP | PVC | PVC | PVC | PVC | | | | |
| Roughness C | 100 | 120 | 120 | 120 | 120 | | | | |
| Fittings: | K-Value | No. | Total K | No. | Total K | No. | Total K | No. | Total K |
| Discharge | 1.0 | 1 | 1.0 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 |
| 90° Bend | 0.6 | 2 | 1.2 | 0 | 0.0 | 2 | 1.2 | 0 | 0.0 |
| 45° Bend | 0.4 | 2 | 0.8 | 4 | 1.6 | 4 | 1.6 | 0 | 0.0 |
| 22.5° Bend | 0.25 | 0 | 0.0 | 4 | 1.0 | 4 | 1.0 | 0 | 0.0 |
| 11.25° Bend | 0.15 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 |
| Expansion | 0.5 | 0 | 0.0 | 1 | 0.5 | 0 | 0.0 | 0 | 0.0 |
| Plug Valve | 0.4 | 1 | 0.4 | 6 | 2.4 | 3 | 1.2 | 0 | 0.0 |
| Check Valve | 2.5 | 1 | 2.5 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 |
| Wye Branch | 0.5 | 1 | 0.5 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 |
| Contraction | 0.5 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 |
| Total K-Value | | | 6.4 | | 3.5 | | 5.5 | | 6.0 |

Step Interval = 25 gpm Add. Manifold Flows (gpm): $\frac{6}{0}$ $\frac{8}{0}$ $\frac{10}{0}$ $\frac{12}{0}$

| | Q (gpm) | Pipe & Fitting Friction Losses in Feet - Velocity in Feet per Second | | | | | | | | | | | | | | | Friction Head (feet) | TDH (feet) |
|-------------------|---------|--|---------------|----------------|-----------|---------------|----------------|-----------|---------------|----------------|-----------|---------------|----------------|------|------|--------|----------------------|------------|
| | | 6 | | | 8 | | | 10 | | | 12 | | | | | | | |
| | | Pipe (ft) | Fittings (ft) | Velocity (fps) | Pipe (ft) | Fittings (ft) | Velocity (fps) | Pipe (ft) | Fittings (ft) | Velocity (fps) | Pipe (ft) | Fittings (ft) | Velocity (fps) | | | | | |
| System Head Curve | 0 | 0.00 | 0.00 | 0.0 | 0.00 | 0.00 | 0.0 | 0.00 | 0.00 | 0.0 | 0.00 | 0.00 | 0.0 | 0.00 | 0.00 | 0.0 | 0.00 | 60.00 |
| | 25 | 0.00 | 0.01 | 0.3 | 0.09 | 0.00 | 0.3 | 0.13 | 0.00 | 0.2 | 0.02 | 0.00 | 0.1 | 0.00 | 0.00 | 0.0 | 0.27 | 60.27 |
| | 50 | 0.02 | 0.03 | 0.6 | 0.33 | 0.02 | 0.6 | 0.47 | 0.01 | 0.3 | 0.09 | 0.00 | 0.2 | 0.00 | 0.00 | 0.0 | 0.96 | 60.96 |
| | 75 | 0.04 | 0.07 | 0.9 | 0.69 | 0.04 | 0.9 | 0.99 | 0.02 | 0.5 | 0.19 | 0.01 | 0.3 | 0.00 | 0.00 | 0.0 | 2.05 | 62.05 |
| | 100 | 0.07 | 0.13 | 1.1 | 1.17 | 0.07 | 1.1 | 1.69 | 0.03 | 0.6 | 0.32 | 0.02 | 0.4 | 0.00 | 0.00 | 0.0 | 3.50 | 63.50 |
| | 125 | 0.10 | 0.20 | 1.4 | 1.78 | 0.11 | 1.4 | 2.55 | 0.05 | 0.8 | 0.49 | 0.02 | 0.5 | 0.00 | 0.00 | 0.0 | 5.31 | 65.31 |
| | 150 | 0.14 | 0.29 | 1.7 | 2.49 | 0.16 | 1.7 | 3.58 | 0.08 | 1.0 | 0.68 | 0.03 | 0.6 | 0.00 | 0.00 | 0.0 | 7.45 | 67.45 |
| | 175 | 0.19 | 0.39 | 2.0 | 3.31 | 0.21 | 2.0 | 4.76 | 0.11 | 1.1 | 0.91 | 0.05 | 0.7 | 0.00 | 0.00 | 0.0 | 9.93 | 69.93 |
| | 200 | 0.25 | 0.51 | 2.3 | 4.24 | 0.28 | 2.3 | 6.10 | 0.14 | 1.3 | 1.16 | 0.06 | 0.8 | 0.00 | 0.00 | 0.0 | 12.74 | 72.74 |
| | 225 | 0.31 | 0.65 | 2.6 | 5.28 | 0.35 | 2.6 | 7.58 | 0.18 | 1.4 | 1.44 | 0.08 | 0.9 | 0.00 | 0.00 | 0.0 | 15.87 | 75.87 |
| | 250 | 0.38 | 0.80 | 2.8 | 6.42 | 0.44 | 2.8 | 9.21 | 0.22 | 1.6 | 1.75 | 0.10 | 1.0 | 0.00 | 0.00 | 0.0 | 19.31 | 79.31 |
| | 275 | 0.45 | 0.97 | 3.1 | 7.65 | 0.53 | 3.1 | 10.99 | 0.26 | 1.8 | 2.09 | 0.12 | 1.1 | 0.00 | 0.00 | 0.0 | 23.07 | 83.07 |
| | 294 | 0.51 | 1.11 | 3.3 | 8.66 | 0.60 | 3.3 | 12.44 | 0.30 | 1.9 | 2.37 | 0.13 | 1.2 | 0.00 | 0.00 | 0.0 | 26.13 | 86.13 |
| | 300 | 0.53 | 1.15 | 3.4 | 8.99 | 0.63 | 3.4 | 12.91 | 0.31 | 1.9 | 2.46 | 0.14 | 1.2 | 0.00 | 0.00 | 0.0 | 27.13 | 87.13 |
| | 325 | 0.62 | 1.35 | 3.7 | 10.43 | 0.74 | 3.7 | 14.97 | 0.37 | 2.1 | 2.85 | 0.16 | 1.3 | 0.00 | 0.00 | 0.0 | 31.50 | 91.50 |
| | 350 | 0.71 | 1.57 | 4.0 | 11.97 | 0.86 | 4.0 | 17.18 | 0.43 | 2.2 | 3.27 | 0.19 | 1.4 | 0.00 | 0.00 | 0.0 | 36.17 | 96.17 |
| | 375 | 0.81 | 1.80 | 4.3 | 13.60 | 0.98 | 4.3 | 19.51 | 0.49 | 2.4 | 3.71 | 0.22 | 1.5 | 0.00 | 0.00 | 0.0 | 41.13 | 101.13 |
| | 400 | 0.92 | 2.05 | 4.5 | 15.33 | 1.12 | 4.5 | 21.99 | 0.56 | 2.6 | 4.19 | 0.25 | 1.6 | 0.00 | 0.00 | 0.0 | 46.39 | 106.39 |
| | 425 | 1.03 | 2.31 | 4.8 | 17.15 | 1.26 | 4.8 | 24.60 | 0.63 | 2.7 | 4.68 | 0.28 | 1.7 | 0.00 | 0.00 | 0.0 | 51.95 | 111.95 |
| | 450 | 1.15 | 2.59 | 5.1 | 19.06 | 1.42 | 5.1 | 27.35 | 0.70 | 2.9 | 5.21 | 0.31 | 1.8 | 0.00 | 0.00 | 0.0 | 57.79 | 117.79 |
| 475 | 1.27 | 2.89 | 5.4 | 21.07 | 1.58 | 5.4 | 30.22 | 0.78 | 3.0 | 5.75 | 0.35 | 1.9 | 0.00 | 0.00 | 0.0 | 63.93 | 123.93 | |
| 500 | 1.41 | 3.20 | 5.7 | 23.18 | 1.75 | 5.7 | 33.23 | 0.87 | 3.2 | 6.33 | 0.39 | 2.0 | 0.00 | 0.00 | 0.0 | 70.35 | 130.35 | |
| 525 | 1.54 | 3.53 | 6.0 | 25.37 | 1.93 | 6.0 | 36.37 | 0.96 | 3.4 | 6.93 | 0.43 | 2.1 | 0.00 | 0.00 | 0.0 | 77.05 | 137.05 | |
| 550 | 1.69 | 3.87 | 6.2 | 27.65 | 2.12 | 6.2 | 39.65 | 1.05 | 3.5 | 7.55 | 0.47 | 2.2 | 0.00 | 0.00 | 0.0 | 84.04 | 144.04 | |
| 575 | 1.83 | 4.23 | 6.5 | 30.03 | 2.31 | 6.5 | 43.04 | 1.15 | 3.7 | 8.20 | 0.51 | 2.3 | 0.00 | 0.00 | 0.0 | 91.31 | 151.31 | |
| 600 | 1.99 | 4.61 | 6.8 | 32.49 | 2.52 | 6.8 | 46.57 | 1.25 | 3.8 | 8.87 | 0.56 | 2.5 | 0.00 | 0.00 | 0.0 | 98.86 | 158.86 | |
| 625 | 2.15 | 5.00 | 7.1 | 35.05 | 2.73 | 7.1 | 50.23 | 1.36 | 4.0 | 9.56 | 0.61 | 2.6 | 0.00 | 0.00 | 0.0 | 106.68 | 166.68 | |
| 650 | 2.32 | 5.41 | 7.4 | 37.69 | 2.96 | 7.4 | 54.01 | 1.47 | 4.1 | 10.28 | 0.66 | 2.7 | 0.00 | 0.00 | 0.0 | 114.79 | 174.79 | |
| 675 | 2.49 | 5.83 | 7.7 | 40.42 | 3.19 | 7.7 | 57.92 | 1.59 | 4.3 | 11.03 | 0.71 | 2.8 | 0.00 | 0.00 | 0.0 | 123.16 | 183.16 | |
| 700 | 2.67 | 6.27 | 7.9 | 43.24 | 3.43 | 7.9 | 61.95 | 1.70 | 4.5 | 11.80 | 0.76 | 2.9 | 0.00 | 0.00 | 0.0 | 131.81 | 191.81 | |
| 725 | 2.85 | 6.72 | 8.2 | 46.14 | 3.68 | 8.2 | 66.10 | 1.83 | 4.6 | 12.59 | 0.82 | 3.0 | 0.00 | 0.00 | 0.0 | 140.74 | 200.74 | |
| 750 | 3.04 | 7.20 | 8.5 | 49.13 | 3.94 | 8.5 | 70.39 | 1.96 | 4.8 | 13.40 | 0.87 | 3.1 | 0.00 | 0.00 | 0.0 | 149.93 | 209.93 | |

LIFT STATION CALCULATIONS

Venezia Lift Station #2

I. Design Flow Rates:

| Parcel ID | Land Use Description | Unit Description | Units | Unit Flow (GPD/Unit) | Average Daily Flow (GPD) | Average Daily Flow (GPM) | Minimum Daily Flow (GPM) | Maximum Daily Flow (GPM) | Peak Daily Flow (GPM) |
|-------------------------|-----------------------------|------------------|-------|----------------------|--------------------------|--------------------------|--------------------------|--------------------------|-----------------------|
| 1 | Residential - SF (detached) | dwelling unit | 77 | 300 | 23,100 | 16 | 8 | 32 | 64 |
| 2 | Residential - SF (attached) | dwelling unit | 113 | 300 | 33,900 | 24 | 12 | 47 | 94 |
| 3 | Institutional - School | student | 494 | 33 | 16,302 | 11 | 6 | 23 | 45 |
| 4 | | | | 0 | 0 | 0 | 0 | 0 | 0 |
| 5 | | | | 0 | 0 | 0 | 0 | 0 | 0 |
| 6 | | | | 0 | 0 | 0 | 0 | 0 | 0 |
| 7 | | | | 0 | 0 | 0 | 0 | 0 | 0 |
| 8 | | | | 0 | 0 | 0 | 0 | 0 | 0 |
| 9 | | | | 0 | 0 | 0 | 0 | 0 | 0 |
| 10 | | | | 0 | 0 | 0 | 0 | 0 | 0 |
| Total | | | | | 73,302 | 51 | 25 | 102 | 204 |
| Design Peaking Factors: | | | | | | | F _{min} | F _{max} | F _{peak} |
| | | | | | | | 0.5 | 2.0 | 4.0 |

II. Wet Well Dimensions:

| | | |
|--------------------------------|------------|---------------------|
| <u>Wet Well Configuration:</u> | | Duplex |
| No. of Wet Wells: | | 1 |
| Layout: | | Circular |
| Inner Diameter = | 8.00 | feet |
| Volume = | 376 | gallons/foot |
| Total Volume = | 376 | gallons/foot |
| Wall Thickness = | 8 | inches |
| Outer Diameter = | 9.33 | feet |
| Slab Lip = | 18 | inches |
| Slab Diameter = | 12.33 | feet |
| Slab Thickness = | 12 | inches |

III. Minimum Cycle Time & Storage Volume:

$$T = (V / (Q - S)) + (V / S)$$

Note: T_{min} occurs when $S = 1/2Q$ (Duplex)

$$V = (QT / 4)$$

Where: T = Cycle Time (Min.)
S = Peak Inflow (gpm)
Q = Pump Discharge (gpm)
V = Req. Storage Vol. (gal.)

For Minimum T = 10 Min.
S = 163 GPM

Q = 326 GPM (per pump)
Then V = 815 Gallons
Min. Storage Depth = 2.17 Feet (Pump ON - Pump OFF)

Cycle Time for Peak Flow Condition, T = 10 Minutes > 5 minutes, OK

Note: Allow an additional 50% Storage Depth for Triplex and 100% for Quadplex
Note: Rule of Thumb: Min. Q = 150 gpm

IV. Wet Well Control Levels:

| | | |
|---|--------|------|
| Wet Well Top Elevation | 82.00 | |
| Assume Ground Water Table @ Elevation | 81.50 | |
| Influent Gravity Sewer Invert Elev. | 61.72 | |
| Freeboard = | 0.72 | Feet |
| Audible Alarm ON Elevation | 61.00 | |
| Freeboard = | 1.00 | Feet |
| 4 TH Pump & Alarm Light ON Elev. | 0.00 | |
| Freeboard = | 0.00 | Feet |
| 3 RD Pump & Alarm Light ON Elev. | 0.00 | |
| Freeboard = | 0.00 | Feet |
| 2 ND Pump & Alarm Light ON Elev. | 60.00 | |
| Freeboard = | 1.00 | Feet |
| Lead Pump ON Elev. | 59.00 | |
| Storage Depth = | 3.00 | Feet |
| Both Pumps OFF Elev. | 56.00 | |
| Sump Depth = | 1.50 | Feet |
| Wet Well Bottom Elevation | 54.50 | |
| Total Depth of Wet Well = | 27.50 | Feet |
| Station Yard Finish Grade Elevation = | 81.50 | |
| Minimum Station Yard Width = | 27.0 | Feet |
| Min. Station Easement Length & Width = | 63.3 | Feet |
| Forcemain High Point Elevation = | 125.00 | ft |
| Connection Point Elevation = | 0.00 | ft |
| Connection Pressure = | 0.00 | psi |
| Static Head for Pumps = | 69.00 | Feet |

V. Buoyancy Calculation:

| | | |
|--------------------------------|---------|--------|
| Structure Rim El. = | 82.00 | feet |
| Structure Base El. = | 54.50 | feet |
| Structure Depth = | 27.50 | feet |
| Structure Volume = | 1,382 | CF |
| Wall Volume = | 499 | CF |
| Slab Volume = | 119 | CF |
| Volume of Concrete = | 619 | CF |
| Density of Concrete = | 144 | lbs/CF |
| Weight of Concrete = | 89,083 | lbs. |
| Volume of Soil Above Slab = | 1,404 | CF |
| Density of Soil = | 47 | lbs/CF |
| Weight of Soil Above Slab = | 65,983 | lbs. |
| Total Resistance Force = | 155,066 | lbs. |
| Ground Water Table @ Elevation | 81.50 | feet |
| Volume of Water Displaced = | 1,967 | CF |
| Density of Water = | 62.4 | lbs/CF |
| Total Uplift Force = | 122,724 | lbs. |
| Factor of Safety = | 1.3 | |

LIFT STATION CALCULATIONS (Cont'd) Venezia Lift Station #2

VI. Calculation of System Head Curve:

Total Static Head = 69.00 Feet

| | Station Piping | | Force Main Piping | | | | | | | |
|---------------------------|----------------|-----|-------------------|-----|-------------|-----|--------------|-----|-------|-----|
| | | | New On-Site | | New On-Site | | New Off-Site | | N/A | |
| Pipe Length (feet) | 30 | | 1,260 | | 5,600 | | 3,140 | | 0 | |
| Pipe Inside Dia. (inches) | 6 | | 8 | | 8 | | 10 | | 12 | |
| Pipe Area (Sq.-ft.) | 0.196 | | 0.349 | | 0.349 | | 0.545 | | 0.785 | |
| Pipe Material | DIP | | PVC | | PVC | | PVC | | PVC | |
| Roughness C | 100 | | 120 | | 120 | | 120 | | 120 | |
| Fittings: | K-Value | No. | Tot.K | No. | Tot.K | No. | Tot.K | No. | Tot.K | No. |
| Discharge | 1.0 | 1 | 1.0 | 0 | 0.0 | 0 | 0.0 | 1 | 1.0 | 0 |
| 90° Bend | 0.6 | 2 | 1.2 | 0 | 0.0 | 0 | 0.0 | 2 | 1.2 | 0 |
| 45° Bend | 0.4 | 2 | 0.8 | 4 | 1.6 | 4 | 1.6 | 4 | 1.6 | 0 |
| 22.5° Bend | 0.25 | 0 | 0.0 | 4 | 1.0 | 4 | 1.0 | 4 | 1.0 | 0 |
| 11.25° Bend | 0.15 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 | 0 |
| Expansion | 0.5 | 0 | 0.0 | 1 | 0.5 | 1 | 0.5 | 0 | 0.0 | 0 |
| Plug Valve | 0.4 | 1 | 0.4 | 2 | 0.8 | 6 | 2.4 | 3 | 1.2 | 0 |
| Check Valve | 2.5 | 1 | 2.5 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 | 0 |
| Wye Branch | 0.5 | 1 | 0.5 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 | 0 |
| Contraction | 0.5 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 | 0 |
| Total K-Value | | | 6.4 | | 3.9 | | 5.5 | | 6.0 | 0.0 |

| | | | |
|-------------------------|-------------------------------------|----------------------|----------------|
| Pump Selection | Flygt | 15 | hp |
| Model: | CP3152 | Curve: | 63-487-00-3855 |
| Impeller: | 265 | mm | |
| No. Pumps in Parallel = | 1 | Duplex | |
| Operating Point = | 326 | gpm @ | 94 ft TDH |
| OF 2 Pumps = | | gpm @ | ft TDH |
| OP 3 pumps = | | gpm @ | ft TDH |
| Wet Well Area = | 50.3 | sq per wet well | |
| Pump On El. = | 59.00 | ft | |
| Pump Off El. = | 56.00 | ft | |
| Storage Volume = | 151 | cf | |
| | 1,128 | gallons per wet well | |
| Pump On Time = | Storage Volume / (Outflow - Inflow) | | |
| | = 9.2 | minutes (Peak) | |
| | = 4.1 | minutes (Average) | |
| Pump Off Time = | Storage Volume / (Inflow) | | |
| | = 5.5 | minutes (Peak) | |
| | = 22.2 | minutes (Average) | |
| Inflow = | 51 | gpm (Average) | |
| Inflow = | 204 | gpm (Peak) | |
| Outflow = | 326 | gpm | |

Step Interval = 25 gpm Add. Manifold Flows (gpm): 8 8 10 12
0 0 0 0

| System Head Curve | Pipe & Fitting Friction Losses in Feet - Velocity in Feet per Second | | | | | | | | | | | | | | | | | | Friction Head (feet) | TDH (feet) |
|-------------------|--|-----------|---------------|----------------|-----------|---------------|----------------|-----------|---------------|----------------|-----------|---------------|----------------|------|-----|--------|--------|--|----------------------|------------|
| | Q (gpm) | 6 | | | 8 | | | 10 | | | 12 | | | | | | | | | |
| | | Pipe (ft) | Fittings (ft) | Velocity (fps) | Pipe (ft) | Fittings (ft) | Velocity (fps) | Pipe (ft) | Fittings (ft) | Velocity (fps) | Pipe (ft) | Fittings (ft) | Velocity (fps) | | | | | | | |
| 0 | 0.00 | 0.00 | 0.0 | 0.00 | 0.00 | 0.0 | 0.00 | 0.00 | 0.0 | 0.00 | 0.00 | 0.0 | 0.00 | 0.00 | 0.0 | 0.00 | 69.00 | | | |
| 25 | 0.01 | 0.01 | 0.3 | 0.03 | 0.00 | 0.2 | 0.13 | 0.00 | 0.2 | 0.02 | 0.00 | 0.1 | 0.00 | 0.00 | 0.0 | 0.20 | 69.20 | | | |
| 50 | 0.02 | 0.03 | 0.6 | 0.11 | 0.01 | 0.3 | 0.47 | 0.01 | 0.3 | 0.09 | 0.00 | 0.2 | 0.00 | 0.00 | 0.0 | 0.73 | 69.73 | | | |
| 75 | 0.04 | 0.07 | 0.9 | 0.23 | 0.01 | 0.5 | 0.99 | 0.02 | 0.5 | 0.19 | 0.01 | 0.3 | 0.00 | 0.00 | 0.0 | 1.56 | 70.56 | | | |
| 100 | 0.07 | 0.13 | 1.1 | 0.39 | 0.02 | 0.6 | 1.69 | 0.03 | 0.6 | 0.32 | 0.02 | 0.4 | 0.00 | 0.00 | 0.0 | 2.67 | 71.67 | | | |
| 125 | 0.11 | 0.20 | 1.4 | 0.58 | 0.04 | 0.8 | 2.55 | 0.05 | 0.8 | 0.49 | 0.02 | 0.5 | 0.00 | 0.00 | 0.0 | 4.05 | 73.05 | | | |
| 150 | 0.15 | 0.29 | 1.7 | 0.82 | 0.06 | 1.0 | 3.58 | 0.08 | 1.0 | 0.68 | 0.03 | 0.6 | 0.00 | 0.00 | 0.0 | 5.69 | 74.69 | | | |
| 175 | 0.21 | 0.39 | 2.0 | 1.09 | 0.08 | 1.1 | 4.76 | 0.11 | 1.1 | 0.91 | 0.05 | 0.7 | 0.00 | 0.00 | 0.0 | 7.58 | 76.58 | | | |
| 200 | 0.26 | 0.51 | 2.3 | 1.39 | 0.10 | 1.3 | 6.10 | 0.14 | 1.3 | 1.16 | 0.06 | 0.8 | 0.00 | 0.00 | 0.0 | 9.73 | 78.73 | | | |
| 225 | 0.33 | 0.65 | 2.6 | 1.73 | 0.12 | 1.4 | 7.58 | 0.18 | 1.4 | 1.44 | 0.08 | 0.9 | 0.00 | 0.00 | 0.0 | 12.11 | 81.11 | | | |
| 250 | 0.40 | 0.80 | 2.8 | 2.10 | 0.15 | 1.6 | 9.21 | 0.22 | 1.6 | 1.75 | 0.10 | 1.0 | 0.00 | 0.00 | 0.0 | 14.74 | 83.74 | | | |
| 275 | 0.48 | 0.97 | 3.1 | 2.51 | 0.19 | 1.8 | 10.99 | 0.26 | 1.8 | 2.09 | 0.12 | 1.1 | 0.00 | 0.00 | 0.0 | 17.61 | 86.61 | | | |
| 300 | 0.57 | 1.16 | 3.4 | 2.95 | 0.22 | 1.9 | 12.91 | 0.31 | 1.9 | 2.46 | 0.14 | 1.2 | 0.00 | 0.00 | 0.0 | 20.72 | 89.72 | | | |
| 325 | 0.66 | 1.35 | 3.7 | 3.42 | 0.26 | 2.1 | 14.97 | 0.37 | 2.1 | 2.85 | 0.16 | 1.3 | 0.00 | 0.00 | 0.0 | 24.05 | 93.05 | | | |
| 350 | 0.77 | 1.57 | 4.0 | 3.92 | 0.30 | 2.2 | 17.18 | 0.43 | 2.2 | 3.27 | 0.19 | 1.4 | 0.00 | 0.00 | 0.0 | 27.62 | 96.62 | | | |
| 375 | 0.87 | 1.80 | 4.3 | 4.46 | 0.35 | 2.4 | 19.51 | 0.49 | 2.4 | 3.71 | 0.22 | 1.5 | 0.00 | 0.00 | 0.0 | 31.41 | 100.41 | | | |
| 400 | 0.99 | 2.05 | 4.5 | 5.03 | 0.39 | 2.6 | 21.99 | 0.56 | 2.6 | 4.19 | 0.25 | 1.6 | 0.00 | 0.00 | 0.0 | 35.44 | 104.44 | | | |
| 425 | 1.11 | 2.31 | 4.8 | 5.62 | 0.45 | 2.7 | 24.60 | 0.63 | 2.7 | 4.68 | 0.28 | 1.7 | 0.00 | 0.00 | 0.0 | 39.68 | 108.68 | | | |
| 450 | 1.23 | 2.59 | 5.1 | 6.25 | 0.50 | 2.9 | 27.35 | 0.70 | 2.9 | 5.21 | 0.31 | 1.8 | 0.00 | 0.00 | 0.0 | 44.15 | 113.15 | | | |
| 475 | 1.37 | 2.89 | 5.4 | 6.91 | 0.56 | 3.0 | 30.22 | 0.78 | 3.0 | 5.75 | 0.35 | 1.9 | 0.00 | 0.00 | 0.0 | 48.83 | 117.83 | | | |
| 500 | 1.51 | 3.20 | 5.7 | 7.60 | 0.62 | 3.2 | 33.23 | 0.87 | 3.2 | 6.33 | 0.39 | 2.0 | 0.00 | 0.00 | 0.0 | 53.74 | 122.74 | | | |
| 525 | 1.65 | 3.53 | 6.0 | 8.32 | 0.68 | 3.4 | 36.37 | 0.96 | 3.4 | 6.93 | 0.43 | 2.1 | 0.00 | 0.00 | 0.0 | 58.87 | 127.87 | | | |
| 550 | 1.81 | 3.87 | 6.2 | 9.07 | 0.75 | 3.5 | 39.65 | 1.05 | 3.5 | 7.55 | 0.47 | 2.2 | 0.00 | 0.00 | 0.0 | 64.21 | 133.21 | | | |
| 575 | 1.96 | 4.23 | 6.5 | 9.85 | 0.82 | 3.7 | 43.04 | 1.15 | 3.7 | 8.20 | 0.51 | 2.3 | 0.00 | 0.00 | 0.0 | 69.76 | 138.76 | | | |
| 600 | 2.13 | 4.61 | 6.8 | 10.66 | 0.89 | 3.8 | 46.57 | 1.25 | 3.8 | 8.87 | 0.56 | 2.5 | 0.00 | 0.00 | 0.0 | 75.53 | 144.53 | | | |
| 625 | 2.30 | 5.00 | 7.1 | 11.49 | 0.96 | 4.0 | 50.23 | 1.36 | 4.0 | 9.56 | 0.61 | 2.6 | 0.00 | 0.00 | 0.0 | 81.51 | 150.51 | | | |
| 650 | 2.48 | 5.41 | 7.4 | 12.36 | 1.04 | 4.1 | 54.01 | 1.47 | 4.1 | 10.28 | 0.66 | 2.7 | 0.00 | 0.00 | 0.0 | 87.71 | 156.71 | | | |
| 675 | 2.66 | 5.83 | 7.7 | 13.25 | 1.12 | 4.3 | 57.92 | 1.59 | 4.3 | 11.03 | 0.71 | 2.8 | 0.00 | 0.00 | 0.0 | 94.11 | 163.11 | | | |
| 700 | 2.86 | 6.27 | 7.9 | 14.18 | 1.21 | 4.5 | 61.95 | 1.70 | 4.5 | 11.80 | 0.76 | 2.9 | 0.00 | 0.00 | 0.0 | 100.72 | 169.72 | | | |
| 725 | 3.05 | 6.72 | 8.2 | 15.13 | 1.30 | 4.6 | 66.10 | 1.83 | 4.6 | 12.59 | 0.82 | 3.0 | 0.00 | 0.00 | 0.0 | 107.54 | 176.54 | | | |
| 750 | 3.26 | 7.20 | 8.5 | 16.11 | 1.39 | 4.8 | 70.39 | 1.96 | 4.8 | 13.40 | 0.87 | 3.1 | 0.00 | 0.00 | 0.0 | 114.57 | 183.57 | | | |

APPENDIX D

Venezia's Existing Lift Station Record Drawings

RTU SYSTEM SPECIFICATIONS:

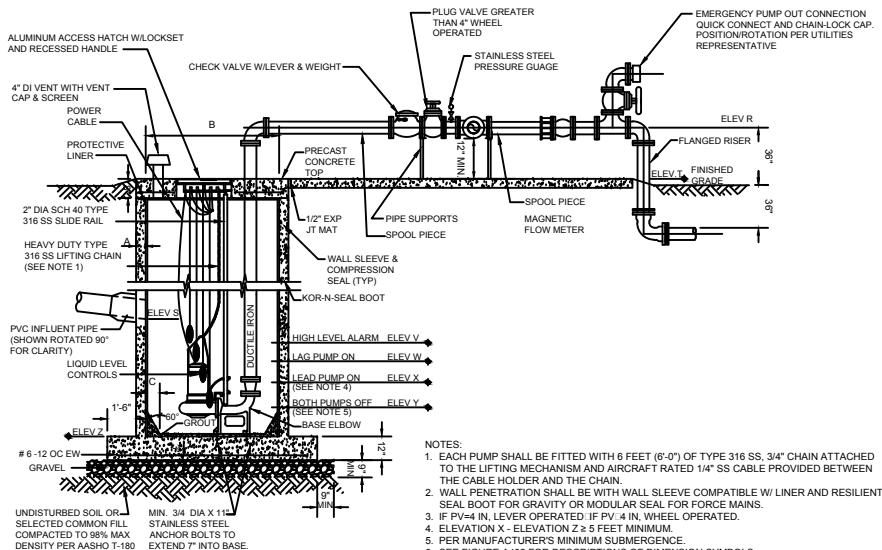
- A MICROPROCESSOR-BASED PUMP CONTROLLER/TRANSCIEVER (CC) MODEL SIEMENS WATER TECHNOLOGIES LC-150 SHALL BE PROVIDED.
- THE RTU SHALL BE MOUNTED IN A NEMA 3R 316 STAINLESS STEEL ENCLOSURE ADJACENT TO THE PUMP CONTROL PANEL AND SHALL BE PROVIDED WITH A CLASS II UL LISTED TRANSFORMER/POWER SUPPLY.
- STANDARDS:
 - FCC PART 15, SUBPART J, CLASS A - RADIO EMISSIONS
 - ANSI/IEEE C37.90 - SURGE WITHSTAND CAPABILITY
 - ANSI/IPC-S815A - QUALITY CONTROL
- APPROVED SYSTEM SUPPLIER IS SIEMENS WATER TECHNOLOGIES. CONTACT RON ROBINETTE 800-247-0880.

GENERAL NOTES:

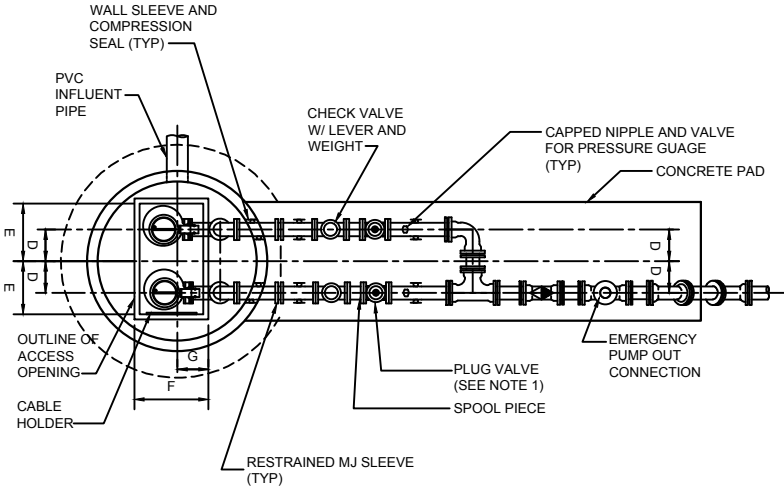
- COATING SHALL BE AS SCHEDULED IN TABLE BELOW.
- ALL LOCATIONS WHERE GRAVITY PIPES ENTER OR LEAVE THE WET WELL SHALL BE MADE WATERTIGHT WITH AN APPROVED BOOT.
- ALL LOCATIONS WHERE PRESSURE PIPES ENTER THE WET WELL SHALL BE MADE WATERTIGHT WITH A WALL SLEEVE AND SEAL.
- THERE SHALL BE NO VALVES OR ELECTRICAL JUNCTION BOXES IN THE WET WELL.
- WET WELL COVERS SHALL BE ALUMINUM WITH 316 STAINLESS STEEL HARDWARE WITH LOCK BRACKET.
- ALL HARDWARE IN WET WELL SHALL BE 316 STAINLESS STEEL.
- PUMP SUBMERGENCE REQUIREMENTS SHALL BE MET AS MINIMUM.
- ALL CONNECTIONS IN THE WET WELL SHALL BE FLANGED JOINTS. ALL REMAINING CONNECTIONS BETWEEN THE WET WELL AND THE CONNECTION TO THE FORCE MAIN SHALL BE RESTRAINED MECHANICAL JOINTS.
- CHECK VALVE ARM SHALL BE LOCATED WITH THE SAME ORIENTATION (ALL ARMS ON THE LEFT SIDE OF VALVE).

| PUMP STATION COATING SCHEDULE | | |
|-------------------------------|---|---|
| AREA | APPLICABLE COATING | NOTES |
| Outside Wet Well | Standard Coating System | Consult CS-S5 |
| Inside Wet Well | Waterproofing System | See PG 1000-1000 |
| Finished Bottom of Wet Well | 100% Solid Epoxy Coating | Minimum 2 mils thick |
| Wet Well Piping | Double End Pipe Coating and Liner (or 100% Solid Epoxy Coating) | Protect 401 Corrosion Resistant |
| Electric Motor Enclosure | Protective Finish Paint (Field Paint) and Protective Finish (Factory) | Temperature 37-77 H C - Prior to 2000 G 2H F 1000 |

PUMP STATION GENERAL NOTES



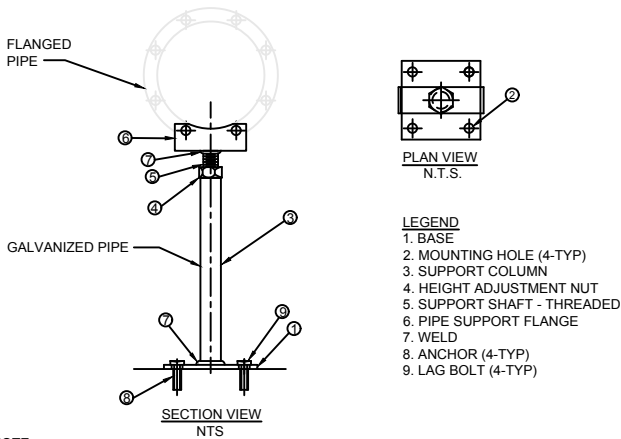
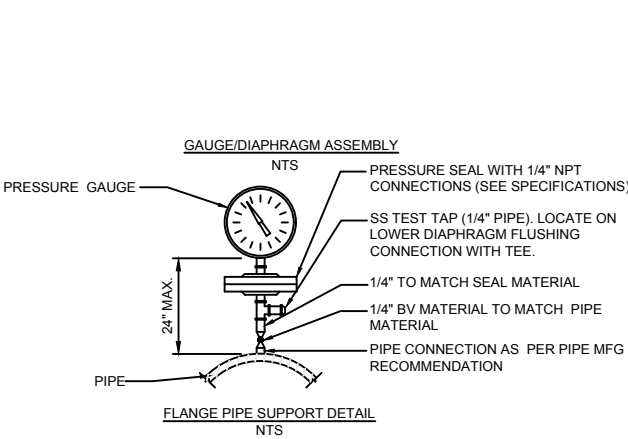
- NOTES:
- EACH PUMP SHALL BE FITTED WITH 6 FEET (8'-0") OF TYPE 316 SS, 3/4" CHAIN ATTACHED TO THE LIFTING MECHANISM AND AIRCRAFT RATED 1/4" SS CABLE PROVIDED BETWEEN THE CABLE HOLDER AND THE CHAIN.
 - WALL PENETRATION SHALL BE WITH WALL SLEEVE COMPATIBLE W/ LINER AND RESILIENT SEAL BOOT FOR GRAVITY OR MODULAR SEAL FOR FORCE MAINS.
 - IF PV=4 IN, LEVER OPERATED; IF PV=4 IN, WHEEL OPERATED.
 - ELEVATION X - ELEVATION Z ≥ 5 FEET MINIMUM.
 - PER MANUFACTURER'S MINIMUM SUBMERGENCE.
 - SEE FIGURE A402 FOR DESCRIPTIONS OF DIMENSION SYMBOLS.
 - INSIDE OF WETWELL TO BE LINED WITH SUPERCAT PG.



- NOTES:
- IF PV=4 IN, LEVER OPERATED; IF PV=4 IN, WHEEL OPERATED.
 - SEE FIGURE A402 FOR DESCRIPTIONS OF DIMENSION SYMBOLS.

DUPLEX PUMP STATION PLAN

FIGURE A404-2



- NOTE:
- ALL PIPING TO BE 316 SS OR BRASS

| PUMP DATA | |
|-------------------------------|--|
| WETWELL INSIDE DIA. 8"0" | |
| FLYGT SUBMERSIBLE PUMPS | |
| MODEL NUMBER NP3153.181 | |
| IMPELLER 253 | |
| HORSE POWER 15 | |
| G.P.M. 294 T.D.H. 87.0 | |
| ELECTRICAL REQUIREMENTS 230 V | |
| 3 PHASE | |

- NOTE: ELECTRICAL REQUIREMENT TO BE VERIFIED BY CONTRACTOR.

| PUMP DATA | |
|-------------------------------|--|
| WETWELL INSIDE DIA. 8"0" | |
| FLYGT SUBMERSIBLE PUMPS | |
| MODEL NUMBER CP3152.181 | |
| IMPELLER 265 | |
| HORSE POWER 15 | |
| G.P.M. 326 T.D.H. 94.0 | |
| ELECTRICAL REQUIREMENTS 480 V | |
| 3 PHASE | |

- NOTE: ELECTRICAL REQUIREMENT TO BE VERIFIED BY CONTRACTOR.

| PUMP DATA | |
|-------------------------------|--|
| WETWELL INSIDE DIA. 8"0" | |
| FLYGT SUBMERSIBLE PUMPS | |
| MODEL NUMBER NP3102 | |
| IMPELLER 135 | |
| HORSE POWER 6.5 | |
| G.P.M. 200 T.D.H. 65.0 | |
| ELECTRICAL REQUIREMENTS 230 V | |
| 3 PHASE | |

- NOTE: ELECTRICAL REQUIREMENT TO BE VERIFIED BY CONTRACTOR.

| DESCRIPTION | SYMBOL | DIMENSION | ELEVATION |
|--------------------------------|--------|------------|-----------|
| THICKNESS OF WALL | A | 8" | — |
| DIAMETER OF WET WELL | B | 8" | — |
| WIDTH OF BOTTOM FILLET | C | SEE NOTE 1 | — |
| C/L TO C/L OF PUMPS | D | SEE NOTE 1 | — |
| LENGTH OF PUMP ACCESS OPENING | E | SEE NOTE 1 | — |
| WIDTH OF PUMP ACCESS OPENING | F | SEE NOTE 1 | — |
| BASE ELBOW TO EDGE OF PIT | G | SEE NOTE 1 | — |
| VALVE BOX HATCH OPENING | H | 5.0' | — |
| VALVE BOX HATCH OPENING | I | 7.0' | — |
| TOP OF WET WELL | T | — | 88.94' |
| FINISHED GRADE | U | — | 88.50' |
| HIGH LEVEL ALARM | V | — | 71.00' |
| LAG PUMP ON | W | — | 70.00' |
| LEAD PUMP ON | X | SEE NOTE 2 | 69.00' |
| PUMPS OFF (TOP OF PUMP VOLUTE) | Y | — | 65.00' |
| FLOOR OF WET WELL | Z | — | 63.33' |

- NOTE:
- PER PUMP MANUFACTURER'S REQUIREMENTS
 - ELEVATION X - ELEVATION Z ≥ 5 FEET MINIMUM
 - TOP ELEVATION OF WET WELL SHALL BE A MINIMUM OF 1' ABOVE THE 100 YEAR FLOOD ELEVATION AND THE ELEVATION OF THE CROWN OF THE ROAD.

LIFT STATION #1

| DESCRIPTION | SYMBOL | DIMENSION | ELEVATION |
|--------------------------------|--------|------------|-----------|
| THICKNESS OF WALL | A | 8" | — |
| DIAMETER OF WET WELL | B | 8" | — |
| WIDTH OF BOTTOM FILLET | C | SEE NOTE 1 | — |
| C/L TO C/L OF PUMPS | D | SEE NOTE 1 | — |
| LENGTH OF PUMP ACCESS OPENING | E | SEE NOTE 1 | — |
| WIDTH OF PUMP ACCESS OPENING | F | SEE NOTE 1 | — |
| BASE ELBOW TO EDGE OF PIT | G | SEE NOTE 1 | — |
| VALVE BOX HATCH OPENING | H | 5.0' | — |
| VALVE BOX HATCH OPENING | I | 7.0' | — |
| TOP OF WET WELL | T | — | 82.12' |
| FINISHED GRADE | U | — | 81.50' |
| HIGH LEVEL ALARM | V | — | 61.00' |
| LAG PUMP ON | W | — | 60.00' |
| LEAD PUMP ON | X | SEE NOTE 2 | 59.00' |
| PUMPS OFF (TOP OF PUMP VOLUTE) | Y | — | 55.50' |
| FLOOR OF WET WELL | Z | — | 54.29' |

- NOTE:
- PER PUMP MANUFACTURER'S REQUIREMENTS
 - ELEVATION X - ELEVATION Z ≥ 5 FEET MINIMUM
 - TOP ELEVATION OF WET WELL SHALL BE A MINIMUM OF 1' ABOVE THE 100 YEAR FLOOD ELEVATION AND THE ELEVATION OF THE CROWN OF THE ROAD.

LIFT STATION #2

| DESCRIPTION | SYMBOL | DIMENSION | ELEVATION |
|--------------------------------|--------|------------|-----------|
| THICKNESS OF WALL | A | 8" | — |
| DIAMETER OF WET WELL | B | 8" | — |
| WIDTH OF BOTTOM FILLET | C | SEE NOTE 1 | — |
| C/L TO C/L OF PUMPS | D | SEE NOTE 1 | — |
| LENGTH OF PUMP ACCESS OPENING | E | SEE NOTE 1 | — |
| WIDTH OF PUMP ACCESS OPENING | F | SEE NOTE 1 | — |
| BASE ELBOW TO EDGE OF PIT | G | SEE NOTE 1 | — |
| VALVE BOX HATCH OPENING | H | 5.0' | — |
| VALVE BOX HATCH OPENING | I | 7.0' | — |
| TOP OF WET WELL | T | — | 82.00' |
| FINISHED GRADE | U | — | 81.50' |
| HIGH LEVEL ALARM | V | — | 69.00' |
| LAG PUMP ON | W | — | 68.00' |
| LEAD PUMP ON | X | SEE NOTE 2 | 67.00' |
| PUMPS OFF (TOP OF PUMP VOLUTE) | Y | — | 65.50' |
| FLOOR OF WET WELL | Z | — | 64.00' |

- NOTE:
- PER PUMP MANUFACTURER'S REQUIREMENTS
 - ELEVATION X - ELEVATION Z ≥ 5 FEET MINIMUM
 - TOP ELEVATION OF WET WELL SHALL BE A MINIMUM OF 1' ABOVE THE 100 YEAR FLOOD ELEVATION AND THE ELEVATION OF THE CROWN OF THE ROAD.

LIFT STATION #3

Item 2.

REVISIONS

| DATE | DESCRIPTION | BY | CHKD | APP'D |
|-----------|-----------------------------------|----|------|-------|
| 1 6-29-07 | ADD ALARM HORN | | | |
| 2 7-8-08 | CHANGE VOLTAGE FOR 1 AND 3 TO 230 | | | |
| 3 4-29-09 | A-1111111111111111 | | | |
| 4 | | | | |
| 5 | | | | |
| 6 | | | | |
| 7 | | | | |

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VENEZIA NORTH & SOUTH
RESIDENTIAL SUBDIVISION
LIFT STATION DETAILS

DESIGNED BY: CH

PROJECT NO.: 0000000000

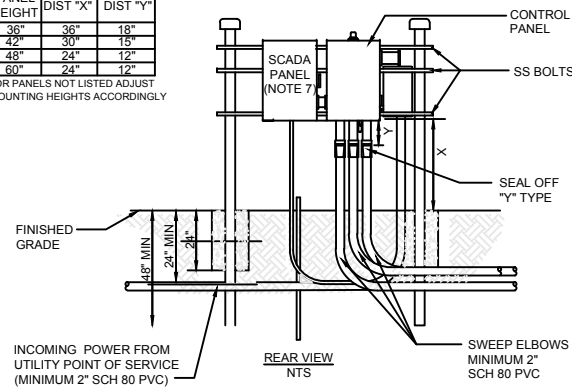
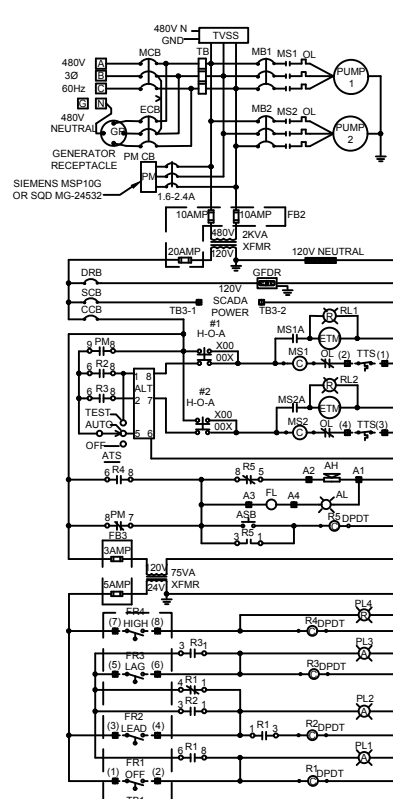
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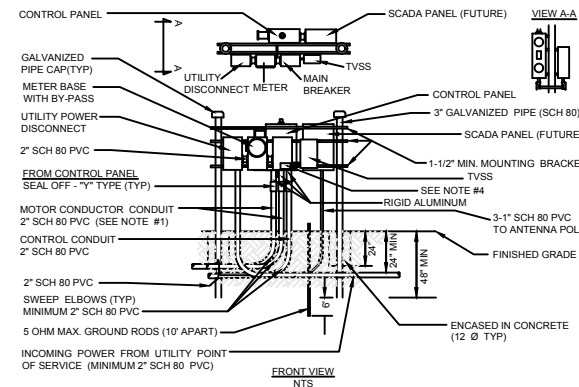
BY: 47 OF 52

AS-BUILT DRAWING
CHARLES C. HOTT, P.E.
PROFESSIONAL ENGINEER 54813

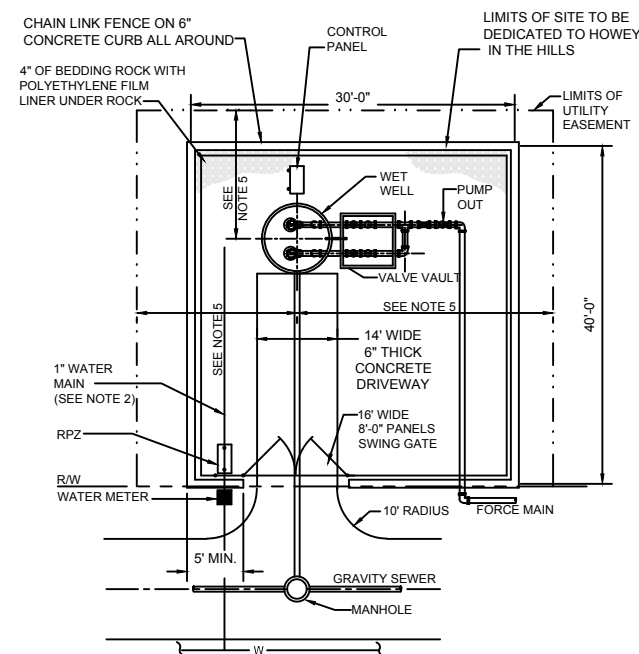
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- PANEL INSTALLATION NOTES:**
1. PUMP MOTOR CONDUIT SHALL BE SIZE TO ACCOMMODATE 40% CONDUIT FILL. MINIMUM CONDUIT SIZE TO BE 2" SCH 80 PVC.
 2. POWER SUPPLY SHALL BE UNDERGROUND ON THE LIFT STATION SITE AND SHALL BE 3-PHASE, FROM A 3-PHASE SOURCE ONLY.
 3. AN ELECTRICAL GROUNDING SYSTEM SHALL BE INSTALLED AS PER THE NATIONAL ELECTRICAL CODE, LOCAL CODES AND ORDINANCES. AN UNDERGROUND PERIMETER CABLE GROUNDING SYSTEM SHALL BE INSTALLED WITH CONNECTIONS TO AT LEAST WET WELL COVER, VALVE VAULT COVER, CONTROL PANELS, GENERATOR, UTILITY COMPANY TRANSFORMER, MANUAL DISCONNECT SWITCH, AND METAL FENCE. REFER TO GROUNDING DETAILS.
 4. THE STATION NAME, UTILITIES ID NUMBER, AND ADDRESS SHALL BE AFFIXED TO THE FRONT OF THE METER CABINET.
 5. ALL MOUNTING HARDWARE AND BRACKETS SHALL BE 316 STAINLESS STEEL.
 6. ON A 4-WIRE, DELTA SYSTEM, THE HIGH-LEG SHALL BE IDENTIFIED WITH ORANGE COLOR TAPE AT ALL CONNECTION POINTS AND SHALL BE LOCATED ON THE "B" PHASE AT THE LINE SIDE OF THE MAIN DISCONNECT.
 7. THE SCADA PANEL IS TO SHOWN FOR INFORMATION ONLY AND WILL BE INSTALLED IN THE FUTURE (BY OTHERS).

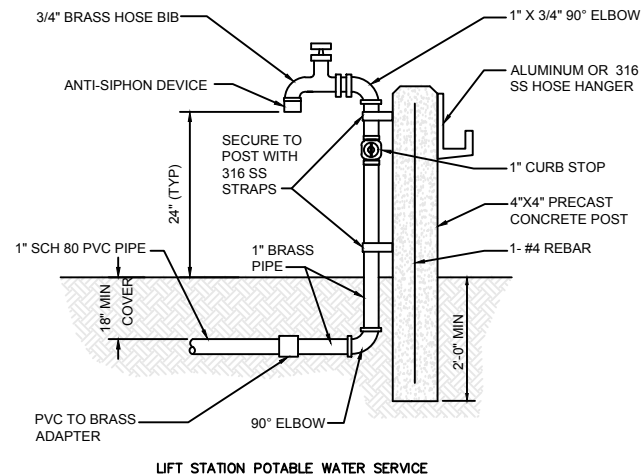


- PANEL INSTALLATION NOTES:**
1. PUMP MOTOR CONDUIT SHALL BE SIZE TO ACCOMMODATE 40% CONDUIT FILL. MINIMUM CONDUIT SIZE TO BE 2" SCH 80 PVC.
 2. POWER SUPPLY SHALL BE UNDERGROUND ON THE LIFT STATION SITE AND SHALL BE 3-PHASE, FROM A 3-PHASE SOURCE ONLY.
 3. AN ELECTRICAL GROUNDING SYSTEM SHALL BE INSTALLED AS PER THE NATIONAL ELECTRICAL CODE, LOCAL CODES AND ORDINANCES. AN UNDERGROUND PERIMETER CABLE GROUNDING SYSTEM SHALL BE INSTALLED WITH CONNECTIONS TO AT LEAST WET WELL COVER, VALVE VAULT COVER, CONTROL PANELS, GENERATOR, UTILITY COMPANY TRANSFORMER, MANUAL DISCONNECT SWITCH, AND METAL FENCE. SEE GROUNDING DETAILS.
 4. THE STATION NAME, HOWEY IN THE HILLS I.D. NUMBER, AND ADDRESS SHALL BE AFFIXED TO THE FRONT OF THE METER CABINET.
 5. ALL MOUNTING HARDWARE & BRACKETS SHALL BE 316 STAINLESS STEEL.
 6. ON A 4-WIRE, DELTA SYSTEM, THE HIGH-LEG SHALL BE IDENTIFIED WITH ORANGE COLOR TAPE AT ALL CONNECTION POINTS AND SHALL BE LOCATED ON THE "B" PHASE AT THE LINE SIDE OF THE MAIN DISCONNECT.
 7. THE SCADA PANEL IS SHOWN FOR INFORMATION ONLY AND WILL BE INSTALLED IN THE FUTURE (BY OTHERS).

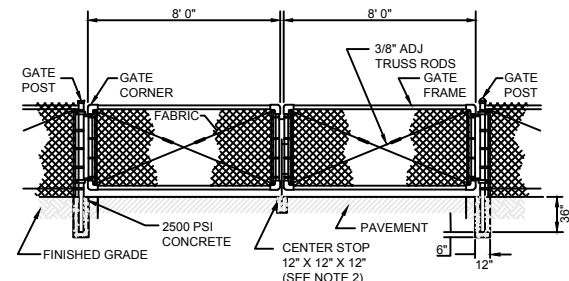
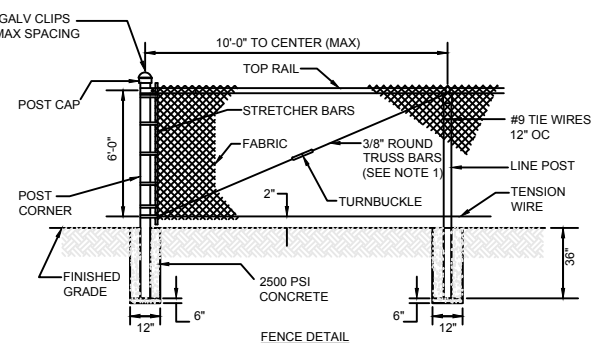


- FRONT.
- NOTES:
1. DEADPOINT LAYOUT NEMA TYPE 3R SS ENCLOSURE W/CONTINUOUS HINGE. ALL HARDWARE TYPE 316 SS TYPICAL ACTUAL LAYOUT MAY VARY WITH HORSEPOWER.
 2. THIS CONTROL PANEL INCLUDING THE GENERATOR RECEPTACLE, COMPLIES WITH THE STANDARD LIST OF COMPONENTS REQUIRED BY UTILITIES.
 3. ALL CONTROL WIRE TO BE #14 AWG MINIMUM.
 4. CONTROL PANEL SHALL BE UL LISTED AND LABELED.
 5. 30 SPARE TERMINALS (T32).
 6. PHASE MONITOR CIRCUIT BREAKER TO BE SEIMENS P/N: MSP10G, OR SO-Q P/N: MG24532.

- NOTES:
1. MINIMUM 20' ACCESS DRIVEWAY FROM EDGE OF PAVEMENT TO THE GATE SHALL BE PROVIDED ON NON-RESIDENTIAL ROADS.
 2. WASHDOWN WATER SOURCE SHALL BE CONNECTED TO THE POTABLE WATER MAIN.
 3. ENGINEER SHALL PROVIDE A SCALED (1" = 20' MIN.) SITE SPECIFIC DETAIL.
 4. MINIMUM DISTANCE BETWEEN FENCE AND ALL INSTALLED EQUIPMENT SHALL BE 8'.
 5. THIS DIMENSION SHALL BE AT LEAST EQUAL TO THE DEPTH OF THE WET WELL WHEN MEASURED FROM THE CENTER OF THE WET WELL.



- AH _ ALARM HORN
- AL _ ALARM LIGHT
- ASB _ ALARM SILENCE BUTTON
- ATS _ ALTERNATOR TEST SWITCH
- CCB _ CONTROL CIRCUIT BREAKER
- DPDT _ DOUBLE POLE DOUBLE THROW
- DRB _ DUPLEX RECEPTACLE BREAKER
- ECB _ EMERGENCY CIRCUIT BREAKER
- ETM _ ELAPSED TIME METER
- F _ FUSE
- FB _ FUSE BLOCK
- FL _ FLASHER
- FR _ FLOAT REGULATOR
- GFDR _ GROUND FAULT DUPLEX RECEPTACLE
- GR _ GENERATOR RECEPTACLE
- HOA _ HAND-OFF-AUTO SELECTOR SWITCH
- MB _ MOTOR BREAKER
- MCB _ MAIN CIRCUIT BREAKER
- MS _ MOTOR STARTER
- OL _ OVERLOAD
- PL _ PILOT LIGHT
- PM _ PHASE MONITOR
- R _ RELAY
- RL _ RUNNING LIGHT
- SCB _ SCADA CIRCUIT BREAKER
- TB _ TERMINAL BLOCK
- TTS _ THERMAL TERMINAL STRIP
- TVSS _ TRANSIENT VOLTAGE SURGE SUPPRESSOR
- XFMR _ TRANSFORMER



- NOTES:
1. TRUSS BARS ARE REQUIRED FOR EACH GATE SECTION AND THE FIRST SPAN ON EACH SIDE OF A CORNER POST ONLY.
 2. PROVIDE CHAIN AND LOCK FOR SECURING GATE.
 3. FENCING SHALL BE BLACK, VINYL CLAD.

CONSTRUCTION PLANS FOR Venezia South Subdivision

*Section 35 & 36, Township 22 South, Range 25 East
Town of Howey in the Hills, Lake County, Florida*

WAIVER REQUEST:
REQUEST WAIVER FOR LENGTH OF CUL - DE- SACs
TERRACOTTA TERRACE TO BE 1410' LF
CALABRIA WAY TO BE 1088' LF
INSTEAD OF THE REQUIRED 600' LF.

SHEET INDEX

1. Cover Sheet
2. Aerial Overlay
3. Master Site Plan Sheet A
4. Master Site Plan Sheet B
5. Boundary & Topographic Survey
6. Boundary & Topographic Survey
7. Boundary & Topographic Survey
8. Land Use Summary Sheet A
9. Land Use Summary Sheet B
10. Utility Plan Sheet A
11. Utility Plan Sheet B
12. Grading Plan Sheet A
13. Grading Plan Sheet B
14. Intersection Details Sheet A
15. Intersection Details Sheet B
16. Erosion Control/S.W.P.P.P. Sheet A
17. Erosion Control/S.W.P.P.P. Sheet B
18. Drainage Plan Sheet A
19. Drainage Plan Sheet B
20. Venezia Boulevard (Sta. 100+00 to 113+50) Plan & Profile
21. Venezia Boulevard (Sta. 113+50 to 119+36.07) Plan & Profile
22. Bellissimo Place (Sta. 200+00 to 214+50) Plan & Profile
23. Bellissimo Place (Sta. 214+50 to 226+50) Plan & Profile
24. Bellissimo Place (Sta. 226+50 to 232+21.41) Plan & Profile
25. Napoli Way Plan & Profile
26. Terracotta Terrace Plan & Profile
27. Messina Place (Sta. 500+00 to 510+00) Plan & Profile
28. Messina Place (Sta. 510+00 to 519+00) Plan & Profile
29. Calabria Way Plan & Profile
30. Tree Location Plan
31. Drainage Cross-Sections
32. Sanitary Sewer Details
33. Lift Station Details
34. Potable Water Details
35. Reclaimed Water Details
36. Paving & Drainage Details
37. General Project Details

OWNER:

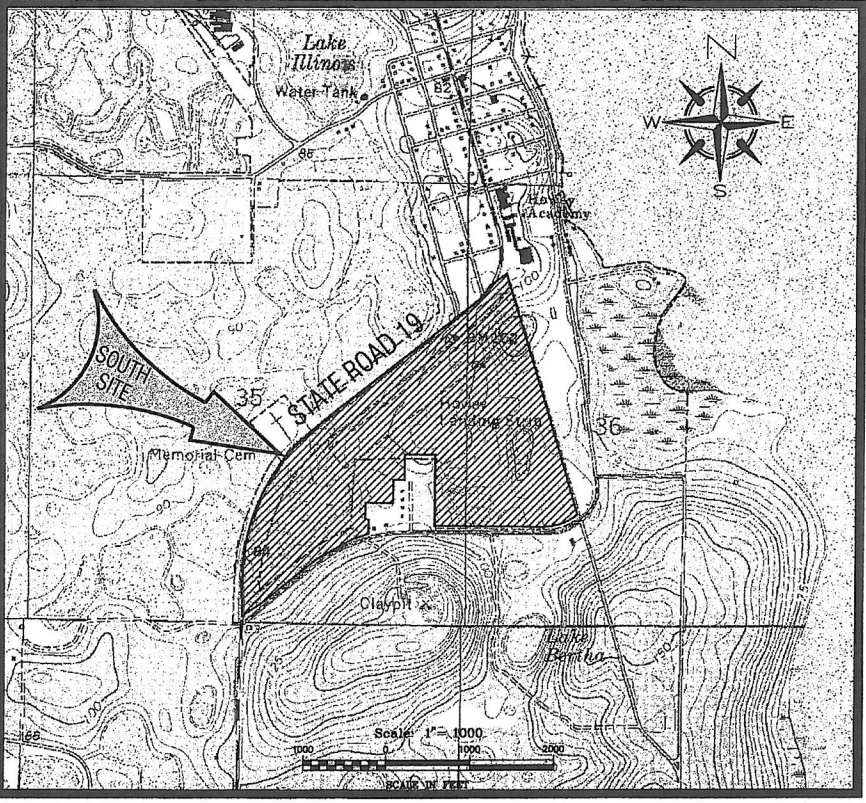
FRED BENNETT
LYKES BROTHERS, INC.
400 NORTH TAMPA STREET
TAMPA, FLORIDA 33601
(813) 470-5509
(813) 470-5020 FAX

DEVELOPER:

FLAGSHIP HARB, LLC
916 HIGHLAND AVENUE
ORLANDO, FLORIDA 32803
(407) 246-1144
(407) 246-1155 FAX
CONTACT: TED BOLIN

ENGINEER:

BOOTH, ERN, STRAUGHAN & HIOTT, INC.
350 NORTH SINCLAIR AVENUE
TAVARES, FLORIDA 32778
(352) 343-8481
CONTACT: CHARLES HIOTT, P.E.



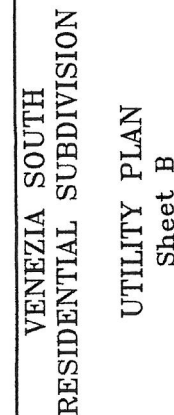
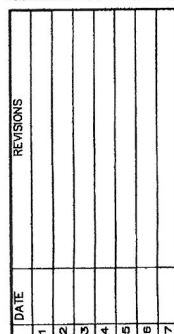
LEGAL DESCRIPTION:

SOUTH PARCEL.
A PARCEL OF LAND BEING A PORTION OF "HOWEY-IN-THE-HILLS" (AN UNRECORDED PLAT) LYING IN SECTIONS 35 AND 36, TOWNSHIP 22 SOUTH, RANGE 25 EAST, LAKE COUNTY, FLORIDA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE SOUTHWEST CORNER OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 35, TOWNSHIP 22 SOUTH, RANGE 25 EAST, LAKE COUNTY, FLORIDA; THENCE ALONG THE WEST BOUNDARY OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 35 80°02'16"W, A DISTANCE OF 1208.95 FEET TO A POINT OF INTERSECTION WITH THE SOUTHERLY RIGHT OF WAY LINE OF PALM AVENUE (STATE ROAD NO. 19) SAID POINT BEING THE POINT OF BEGINNING; THENCE ALONG SAID RIGHT OF WAY N51°23'37"E, A DISTANCE OF 1787.45 FEET TO A POINT OF CURVATURE; THENCE ALONG THE ARC OF SAID CURVE 303.86 FEET, CONCAVE NORTHEASTERLY AND HAVING A RADIUS OF 783.56 FEET, A CENTRAL ANGLE OF 22°04'40" AND A CHORD BEARING AND DISTANCE OF N40°08'15"E, 304.84 FEET; THENCE DEPARTING SAID RIGHT OF WAY N52°02'15"E, A DISTANCE OF 248.38 FEET; THENCE N72°56'00"E, A DISTANCE OF 7.90 FEET; THENCE S17°04'35"E, A DISTANCE OF 2208.95 FEET TO A POINT OF INTERSECTION WITH THE NORTHERLY RIGHT OF WAY LINE OF COUNTY ROAD, (A.K.A. REVELS ROAD), SAID POINT BEING A POINT OF CURVATURE; THENCE ALONG SAID RIGHT OF WAY AND THE ARC OF SAID CURVE 440.81 FEET, CONCAVE NORTHERLY, HAVING A RADIUS OF 810.22 FEET, A CENTRAL ANGLE OF 41°40'17" AND A CHORD BEARING AND DISTANCE OF S89°14'52"W, 434.19 FEET TO A POINT OF TANGENCY; THENCE S89°48'55"W, A DISTANCE OF 1287.88 FEET; THENCE DEPART SAID RIGHT OF WAY N03°12'10"W, A DISTANCE OF 849.40 FEET; THENCE S88°44'55"W, A DISTANCE OF 968.14 FEET; THENCE S89°07'50"E, A DISTANCE OF 305.15 FEET; THENCE S89°58'00"W, A DISTANCE OF 135.00 FEET; THENCE S89°08'07"E, A DISTANCE OF 275.35 FEET; THENCE S89°48'00"W, A DISTANCE OF 308.16 FEET; THENCE S89°37'45"W, A DISTANCE OF 200.21 FEET; THENCE N89°47'38"E, A DISTANCE OF 45.00 FEET; THENCE S00°12'22"W, A DISTANCE OF 168.45 FEET TO A POINT OF INTERSECTION WITH THE NORTHERLY RIGHT OF WAY LINE OF SAID COUNTY ROAD, SAID POINT BEING A POINT ON A CURVE; THENCE ALONG SAID RIGHT OF WAY AND THE ARC OF SAID CURVE 189.84 FEET, CONCAVE SOUTHERLY, HAVING A RADIUS OF 3270.02 FEET, A CENTRAL ANGLE OF 9°10'41" AND A CHORD BEARING AND DISTANCE OF S77°29'23"W, 189.81 FEET; THENCE DEPART SAID RIGHT OF WAY LINE S89°21'50"W, A DISTANCE OF 531.85 FEET; THENCE S51°11'58"W, A DISTANCE OF 785.55 FEET; THENCE S52°04'40"W, A DISTANCE OF 308.80 FEET TO THE EASTERLY RIGHT OF WAY LINE OF STATE ROAD NO. 19, SAID RIGHT OF WAY BEING COMPRISED IN PART BY PORTIONS OF MARIE AVENUE AND PALM AVENUE; THENCE ALONG SAID RIGHT OF WAY N00°05'35"W, A DISTANCE OF 488.11 FEET TO A POINT OF CURVATURE; THENCE ALONG THE ARC OF SAID CURVE 2911.24 FEET, CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 2241.83 FEET, A CENTRAL ANGLE OF 51°33'39" AND A CHORD BEARING AND DISTANCE OF N25°36'52"E, 1849.96 FEET TO A POINT OF TANGENCY; THENCE N51°23'37"E, A DISTANCE OF 601.65 FEET TO THE POINT OF BEGINNING.
THENCE S89°50'24"W, A DISTANCE OF 232.67 FEET TO THE POINT OF BEGINNING.

STATE OF FLORIDA CERTIFICATION OF AUTHORIZATION NO. 27029

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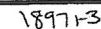
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JUN 2 2007

CCM

CHARLES C. HOTT, P.E.
PROFESSIONAL ENGINEER 548



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1. SUPPORT FRAME TO BE FABRICATED FROM 316 STAINLESS STEEL.
- ALL SCREWS, NUTS, BOLTS, STRAPS, AND SIMILAR CONNECTORS SHALL BE 316 STAINLESS STEEL.
- PROVIDE NEOPRENE AND/OR FIBER WASHERS BETWEEN DISSIMILAR METALS.
- ALL CONDUIT AND FITTINGS WITHIN 12" OF EQUIPMENT PAD AND GRADE TO BE RG5.
- ALL BOXES, FITTINGS AND PIPES TO BE NEMA 4X STAINLESS STEEL.
- MINIMUM 2 GROUND RODS SPACED A MINIMUM OF 6.0' APART.
- * THIS INFO APPLIES TO TYPICAL 25 HP OR LESS LIFT STATION INSTALLATIONS.
- ENGINEER/CONTRACTOR SHALL VERIFY SPECIFIC ELECTRICAL AMPERAGE REQUIREMENTS PRIOR TO ORDERING OR INSTALLING.

PACKAGED LIFT STATION
ELECTRICAL EQUIPMENT RACK



1. ALL BOXES, INCLUDING SWITCH GEAR, ELECTRIC METER CANS, DISCONNECT, AND ALL MISC. ELECTRICAL BOXES SHALL BE A316 SS STAINLESS STEEL. ALL BRACKETS, PIPING, BOLTS, NUTS, WASHERS, AND ANY FASTENERS SHALL BE 316 SS.
2. METER WITH BYPASS
3. SERVICE GROUND TO INCLUDE 3 - 10" ELECTRODES ON 10' CENTERS BOND TO SLAB REBAR. USE #4 BARE COPPER MIN.
4. 100 AMP 3-POLE, CIRCUIT BREAKER MANUAL TRANSFER SWITCH IN WEATHER-PROOF ENCLOSURE.
5. 100 AMP 3 POLE S-N FUSED 240 VOLT WEATHER-PROOF DISCONNECT
6. GENERATOR RECEPTACLE, RUSSELL & STOLL
7. PACKAGE PUMP STATION CONTROL PANEL
8. LIGHTNING ARRESTOR - SQUARE D No. SDSA 3650.

PACKAGED LIFT STATION ELECTRICAL SERVICE SCHEMATIC



Southwestern
HOTTEL
ENGINEERS • SURVEYORS • LAND PLANNERS

350 North Sinder Ave.
Tereven, Florida 32778
www.bsandh.com

Office: 352.243.9861
Fax: 352.243.9898
Certificate of Authorization Number: 27009

| | |
|--|------------|
| CHECKED BY: | CCH |
| PROJECT NO.: | 051373.000 |
| DATE: | JUNE 2006 |
| DRAWN BY: | LCS |
| DESIGNED BY: | LCS |
| <div style="display: flex; justify-content: space-between;"> SHT. 33 37 </div> | |

JUN 29 2007

CHARLES C. HOTT, P.E.
PROFESSIONAL ENGINEER 5438

CONSTRUCTION PLANS FOR Venezia North Subdivision

*Section 35 & 36, Township 22 South, Range 25 East
Town of Howey in the Hills, Lake County, Florida*

OWNER:

FRED BENNETT
LYKES BROTHERS, INC.
400 NORTH TAMPA STREET
TAMPA, FLORIDA 33601
(813) 470-5509
(813) 470-5020 FAX

DEVELOPER:

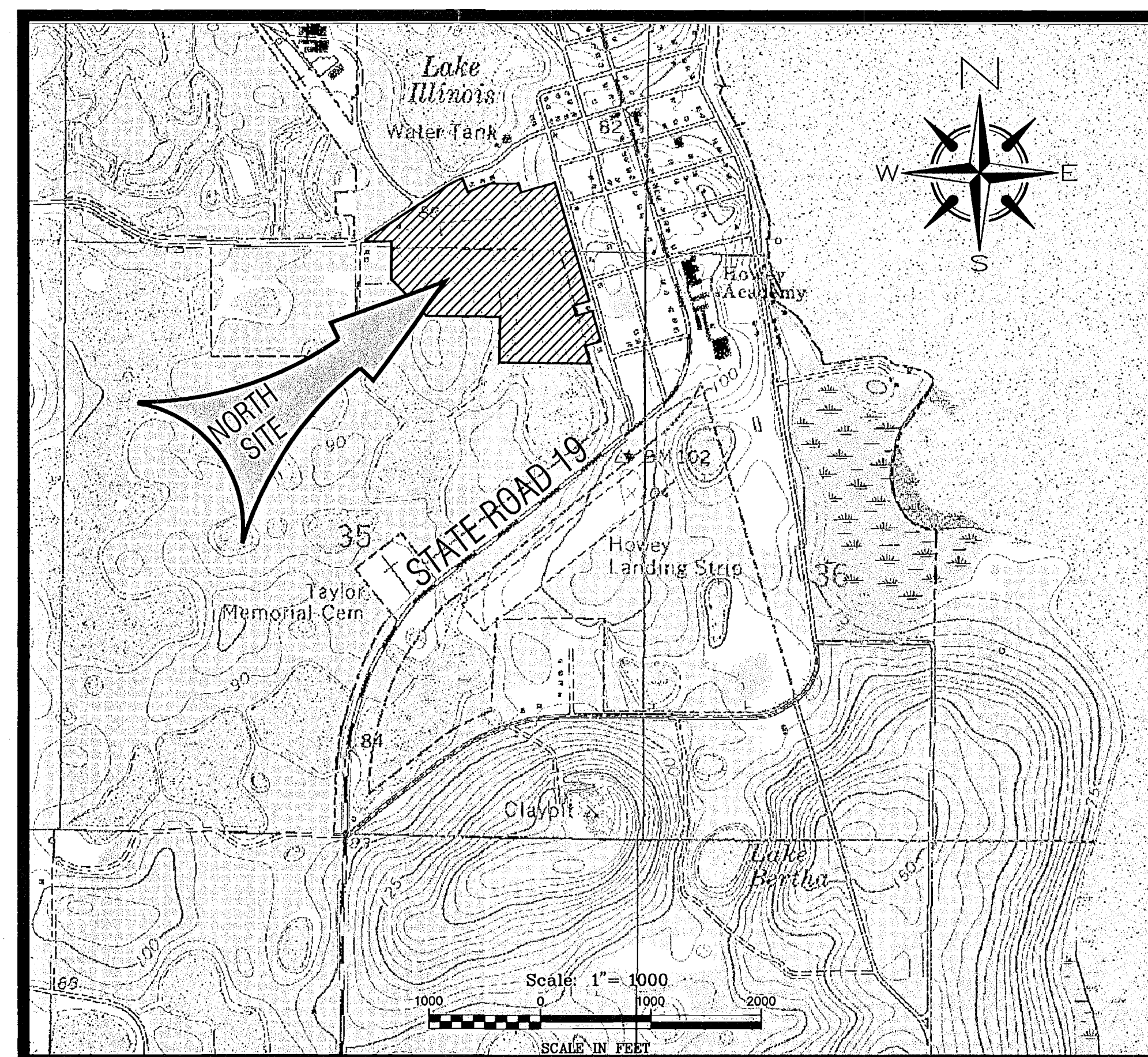
FLAGSHIP HARB, LLC
916 HIGHLAND AVENUE
ORLANDO, FLORIDA 32803
(407) 246-1144
(407) 246-1155 FAX
CONTACT: TED BOLIN

ENGINEER:

BOOTH, ERN, STRAUGHAN & HIOTT, INC.
350 NORTH SINCLAIR AVENUE
TAVARES, FLORIDA-32778
(352) 343-8481
CONTACT: CHARLES HIOTT, P.E.

LEGAL DESCRIPTION:

NORTH PARCEL
A PARCEL OF LAND BEING A PORTION OF "GROVE GARDENS" (PLAT BOOK 17, PAGE 2) AND "HOWE-IN-THE-HILLS" (AN UNRECORDED PLAT) LYING IN SECTIONS 26 AND 35, TOWNSHIP 20 SOUTH, RANGE 25 EAST, LAKE COUNTY, FLORIDA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF SECTION 35, TOWNSHIP 20 SOUTH, RANGE 25 EAST, LAKE COUNTY, FLORIDA; THENCE ALONG THE NORTH BOUNDARY OF SAID SECTION N89°49'22"E, A DISTANCE OF 97.92 FEET TO THE POINT OF BEGINNING; THENCE DEPART SAID SECTION BOUNDARY N00°00'00"E, A DISTANCE OF 29.70 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF GRANT STREET; THENCE ALONG SAID RIGHT OF WAY N66°00'00"E, A DISTANCE OF 821.20 FEET; THENCE N64°54'03"E, A DISTANCE OF 134.15 FEET; THENCE DEPART SAID RIGHT OF WAY LINE S22°46'58"E, A DISTANCE OF 134.90 FEET; THENCE N67°23'46"E, A DISTANCE OF 249.96 FEET; THENCE S06°03'40"E, A DISTANCE OF 12.16 FEET; THENCE N89°52'29"E, A DISTANCE OF 222.15 FEET; THENCE S17°01'37"E, A DISTANCE OF 79.32 FEET; THENCE N72°54'16"E, A DISTANCE OF 315.08 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF FLORIDA AVENUE; THENCE ALONG SAID RIGHT OF WAY S17°04'04"E, A DISTANCE OF 1132.61 FEET; THENCE DEPART SAID RIGHT OF WAY S72°57'30"W, A DISTANCE OF 149.84 FEET; THENCE S17°10'01"E, A DISTANCE OF 74.94 FEET; THENCE N72°58'13"E, A DISTANCE OF 149.30 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF FLORIDA AVENUE; THENCE ALONG SAID RIGHT OF WAY S17°02'44"E, A DISTANCE OF 300.03 FEET; THENCE DEPART SAID RIGHT OF WAY S72°58'07"W, A DISTANCE OF 149.83 FEET; THENCE S17°02'42"E, A DISTANCE OF 164.96 FEET; THENCE N00°00'00"W, A DISTANCE OF 835.94 FEET TO A POINT ON THE WEST BOUNDARY OF THE NORTHEAST 1/4 OF SAID SECTION 35; THENCE ALONG SAID SECTION BOUNDARY N00°19'41"W, A DISTANCE OF 404.92 FEET; THENCE DEPARTING SAID SECTION BOUNDARY S89°51'12"W, A DISTANCE OF 659.75 FEET; THENCE N45°09'29"W, A DISTANCE OF 468.37 FEET; THENCE N00°06'38"W, A DISTANCE OF 331.44 FEET; THENCE S89°50'24"W, A DISTANCE OF 232.87 FEET TO THE POINT OF BEGINNING.



VICINITY MAP

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2. Aerial Overlay
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5. Land Use Summary
6. Utility Plan
7. Grading Plan
8. Intersection Details
9. Erosion Control/S.W.P.P.P.
10. Drainage Plan
11. Amola Way Plan & Profile
12. Avila Place Cul-de-Sac Plan & Profile
13. Avila Place (Sta. 30+00 to 42+50) Plan & Profile
14. Avila Place (Sta. 42+50 to 56+50) Plan & Profile
15. Avila Place (Sta. 56+50 to 70+11.63) Plan & Profile
16. Drainage Cross-Sections
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18. Lift Station Details
19. Potable Water Details
20. Reclaimed Water Details
21. Paving & Drainage Details
22. General Project Details

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ALTAMONTE SVC. CTR.



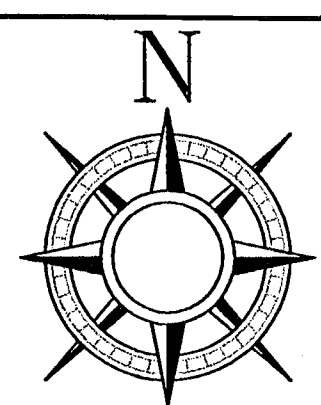
STATE OF FLORIDA CERTIFICATION OF AUTHORIZATION NO. 27029

SANITARY PIPE CHART

| MANHOLE ID | STATION | RIM | INV | TO | INV | PIPE | LENGTH | SLOPE |
|------------|----------|-------|-------|--------|-------|-----------|--------|-------|
| MH #18 | 64+54.35 | 84.68 | 78.83 | MH #17 | 77.59 | 8" SDR-35 | 309LF | 0.40% |
| MH #17 | 67+63.37 | 86.88 | 77.49 | MH #14 | 76.49 | 8" SDR-35 | 249LF | 0.40% |
| MH #16 | 60+71.72 | 85.09 | 78.86 | MH #15 | 77.34 | 8" SDR-35 | 380LF | 0.40% |
| MH #15 | 56+89.57 | 88.56 | 77.24 | MH #14 | 76.66 | 8" SDR-35 | 145LF | 0.40% |
| MH #14 | 55+42.88 | 89.47 | 76.39 | MH #13 | 75.62 | 8" SDR-35 | 193LF | 0.40% |
| MH #13 | 53+48.70 | 89.36 | 75.52 | MH #12 | 74.09 | 8" SDR-35 | 358LF | 0.40% |
| MH #12 | 49+90.52 | 86.02 | 73.99 | MH #11 | 73.25 | 8" SDR-35 | 186LF | 0.40% |
| MH #11 | 13+85.83 | 85.24 | 81.24 | MH #8 | 80.33 | 8" SDR-35 | 227LF | 0.40% |
| MH #10 | 25+29.01 | 93.29 | 89.41 | MH #9 | 88.52 | 8" SDR-35 | 223LF | 0.40% |
| MH #9 | 23+01.41 | 91.99 | 88.42 | MH #8 | 87.22 | 8" SDR-35 | 299LF | 0.40% |
| MH #8 | 11+57.71 | 95.00 | 80.23 | MH #7 | 77.10 | 8" SDR-35 | 240LF | 0.40% |
| MH #7 | 32+40.66 | 87.39 | 77.00 | MH #6 | 75.92 | 8" SDR-35 | 271LF | 0.40% |
| MH #6 | 35+12.71 | 87.45 | 75.82 | MH #5 | 74.70 | 8" SDR-35 | 280LF | 0.40% |
| MH #5 | 37+93.82 | 86.87 | 74.60 | MH #4 | 73.91 | 8" SDR-35 | 173LF | 0.40% |
| MH #4 | 39+67.93 | 84.92 | 73.81 | MH #3 | 72.95 | 8" SDR-35 | 215LF | 0.40% |
| MH #3 | 41+83.97 | 84.36 | 72.85 | MH #2 | 71.64 | 8" SDR-35 | 302LF | 0.40% |
| MH #2 | 44+86.36 | 87.35 | 71.54 | MH #1 | 70.27 | 8" SDR-35 | 318LF | 0.40% |
| MH #1 | 48+05.39 | 88.24 | 70.17 | LS | 70.02 | 8" SDR-35 | 37LF | 0.40% |

GENERAL NOTES:

1. ALL PIPE LENGTHS ARE APPROXIMATE AND ROUNDED OFF TO THE NEAREST FOOT.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL MATERIALS PRIOR TO FINAL BIDDING.
3. ALL STRUCTURE INVERTS SHALL BE POURED AND SHAPED TO PROMOTE FLOW AND TO PREVENT STANDING WATER.
4. ALL CONSTRUCTION MATERIALS SHALL CONFORM TO THE LATEST TOWN OF HOWEY-IN-THE-HILLS STANDARDS AND SPECIFICATIONS.
5. ALL CONSTRUCTION SHALL BE SUBJECT TO INSPECTIONS AND APPROVALS BY THE PROJECT ENGINEER AND THE TOWN OF HOWEY-IN-THE-HILLS.



UTILITY LEGEND

- Gate Valve & Box
- Pipe Elbow
- Tee
- Fire Hydrant Assembly
- Double Water Service
- Single Water Service
- Water Main
- Double Re-use Water Service
- Single Re-use Water Service
- Re-use Water Main
- Sanitary Sewer Service
- Sanitary Manhole
- Sanitary Gravity Main
- Sanitary Force Main
- Drainage Easement
- Utility Easement

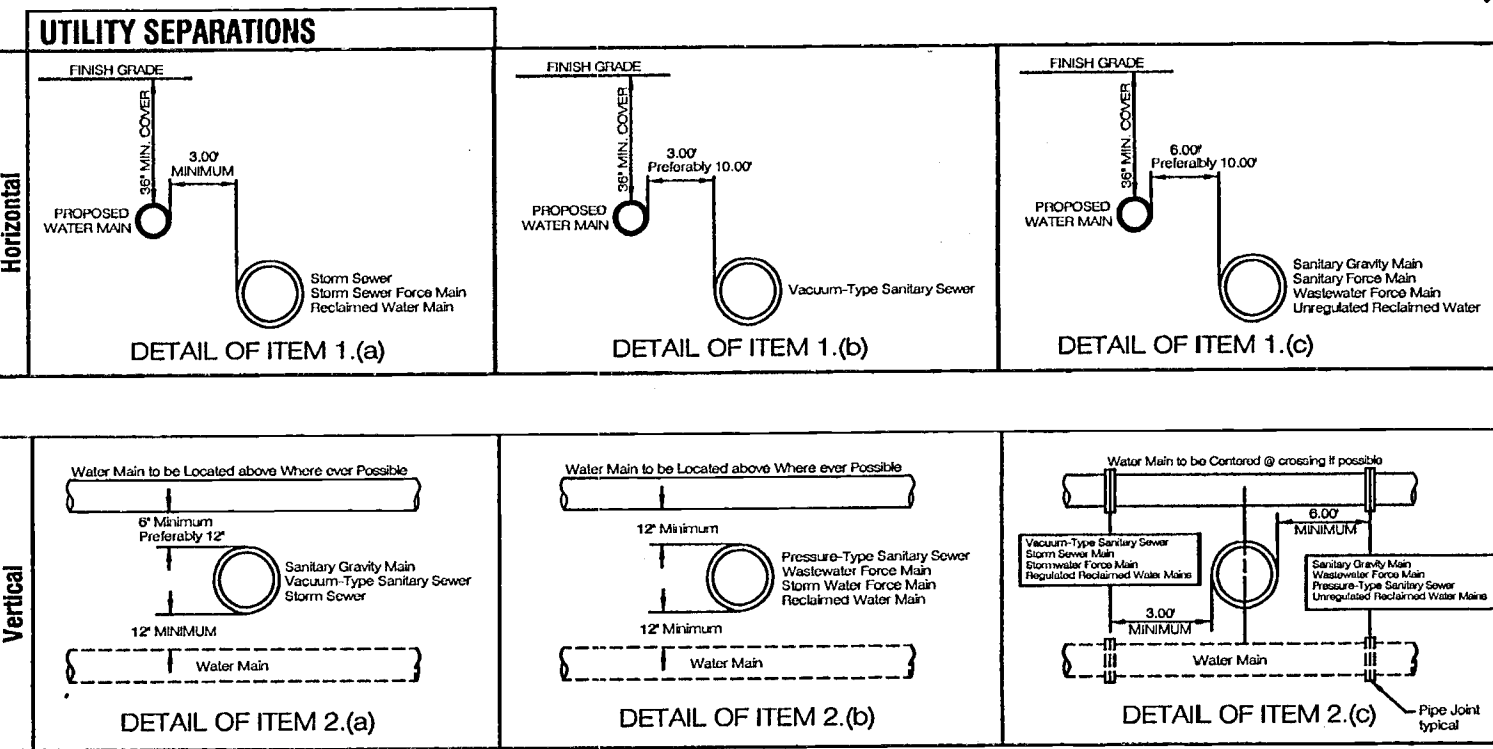
NOTE: ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF HOWEY-IN-THE-HILLS CONSTRUCTION SPECIFICATIONS.



VENEZIA NORTH RESIDENTIAL SUBDIVISION UTILITY PLAN

CHECKED BY: COH
PROJECT NO.: 051373.0000
DATE: JUNE 2008
DESIGNED/DRAWN BY: LCS
SHEET 6 OF 22

RECEIVED
APR 13 2007
PDS
ALTA MONTE CIV. CTR.
CHARLES C. HOIT, P.E.
PROFESSIONAL ENGINEER 54813



62-555.314 Location of Public Water System Mains: For the purpose of this section, the phrase "Water Mains" shall mean Mains, including Treatment Plant process piping, conveying either raw, partially treated, or finished drinking water; Fire Hydrantless; and service lines that are under the control of a Public Water System and that have an inside diameter of three (3) inches or greater.

(1) Horizontal Separation Between Water Mains and Sanitary or Storm Sewers, Wastewater or Stormwater Force Mains, Reclaimed Water Pipelines, and On-site Sewage Treatment and Disposal Systems:

(a) New or relocated, underground water mains shall be laid to provide a horizontal distance of at least (3) three feet, and preferably (10) Ten feet, between the outside of the water main and the outside of any existing or proposed vacuum-type Sanitary Sewer, Stormwater Force Main, or pipeline conveying reclaimed water regulated under Part III of Chapter 62-610, F.A.C.

(b) New or relocated, underground water mains shall be laid to provide a horizontal distance of at least (6) six feet, and preferably (10) Ten feet, between the outside of the water main and the outside of any existing or proposed gravity- or pressure-type Sanitary Sewer, Stormwater Force Main, or pipeline conveying reclaimed water regulated under Part III of Chapter 62-610, F.A.C. The minimum horizontal separation distance between water mains and gravity-type Sanitary Sewers shall be reduced to (3) three feet where the bottom of the water main is laid at least (6) six inches above the top of the sewer.

(c) New or relocated, underground water mains shall be laid to provide a horizontal distance of at least (10) Ten feet between the outside of the water main and all parts of any existing or proposed "on-site Sewage Treatment and Disposal System" as defined in Section 381.006(2), F.S. and Rule 64E-6.002, F.A.C.

(2) Vertical Separation Between Water Mains and Sanitary or Storm Sewers, Wastewater or Stormwater Force Mains, Reclaimed Water Pipelines:

(a) New or relocated, underground water mains crossing any existing or proposed gravity- or vacuum-type sanitary sewer, wastewater or stormwater force main, or pipeline conveying reclaimed water shall be laid so the outside of the water main is at least (12) twelve inches above, or at least 12 inches below the outside of the other pipeline. However, it is preferable to lay the water main above the other pipeline.

(b) New or relocated, underground water mains crossing any existing or proposed pressure-type sanitary sewer, wastewater or stormwater force main, or pipeline conveying reclaimed water shall be laid so the outside of the water main is at least (12) twelve inches above or below the outside of the other pipeline. However, it is preferable to lay the water main above the other pipeline.

(c) At the utility crossings described in paragraphs (a) & (b) Above, one full length of Water Main Pipe shall be centered above or below the other pipeline so the water main joints will be as far as possible from the other pipeline. Alternatively, at such crossings, the pipes shall be arranged so that all water main joints are at least (3) Three feet from all joints in Gravity- or Pressure-type Sanitary Sewers, Stormwater Force Mains, or pipelines conveying reclaimed water regulated under Part III of Chapter 62-610, F.A.C., and at least (6) Six feet from all joints in Gravity- or Pressure-type Sanitary Sewers, Stormwater Force mains, or pipelines conveying reclaimed water not regulated under Part III of Chapter 62-610, F.A.C.

(3) Separation Between Water Mains and Sanitary or Storm Sewer Manholes:

(a) No water main shall pass thru, or come into contact with any part of a Sanitary Manhole or a Storm Sewer Manhole.

(4) Separation Between Fire Hydrant Drains and Sanitary or Storm Sewers, Wastewater or Stormwater Force Mains, Reclaimed Water Pipelines, and On-site Sewage Treatment and Disposal Systems: New or relocated Fire Hydrants with underground drains shall be located so that the drains are at least (3) Three feet from any existing or proposed storm sewer, stormwater force main, or pipeline conveying reclaimed water regulated under Part III of Chapter 62-610, F.A.C.; at least (3) Three feet, and preferably (10) Ten feet, from any existing or proposed gravity- or pressure-type sanitary sewer, wastewater force main, or pipeline conveying reclaimed water not regulated under Part III of Chapter 62-610, F.A.C.; and at least (10) Ten feet from any existing or proposed "on-site sewage treatment and disposal system" as defined in Section 381.006(2), F.S. and Rule 64E-6.002, F.A.C.

(5) Exceptions/Relief: Adherence to the above constraints and separations in Items 1 through 4 shall be permitted, "WITHOUT EXCEPTION", if for some reason where it is not technically feasible or economically sensible that Items 1 through 4 cannot be complied with, Contractor will Stop Work and Notify the Engineer or record for the appropriate solution, which will be submitted to "The Department of Environmental Protection" for APPROVAL, prior to work commencement.

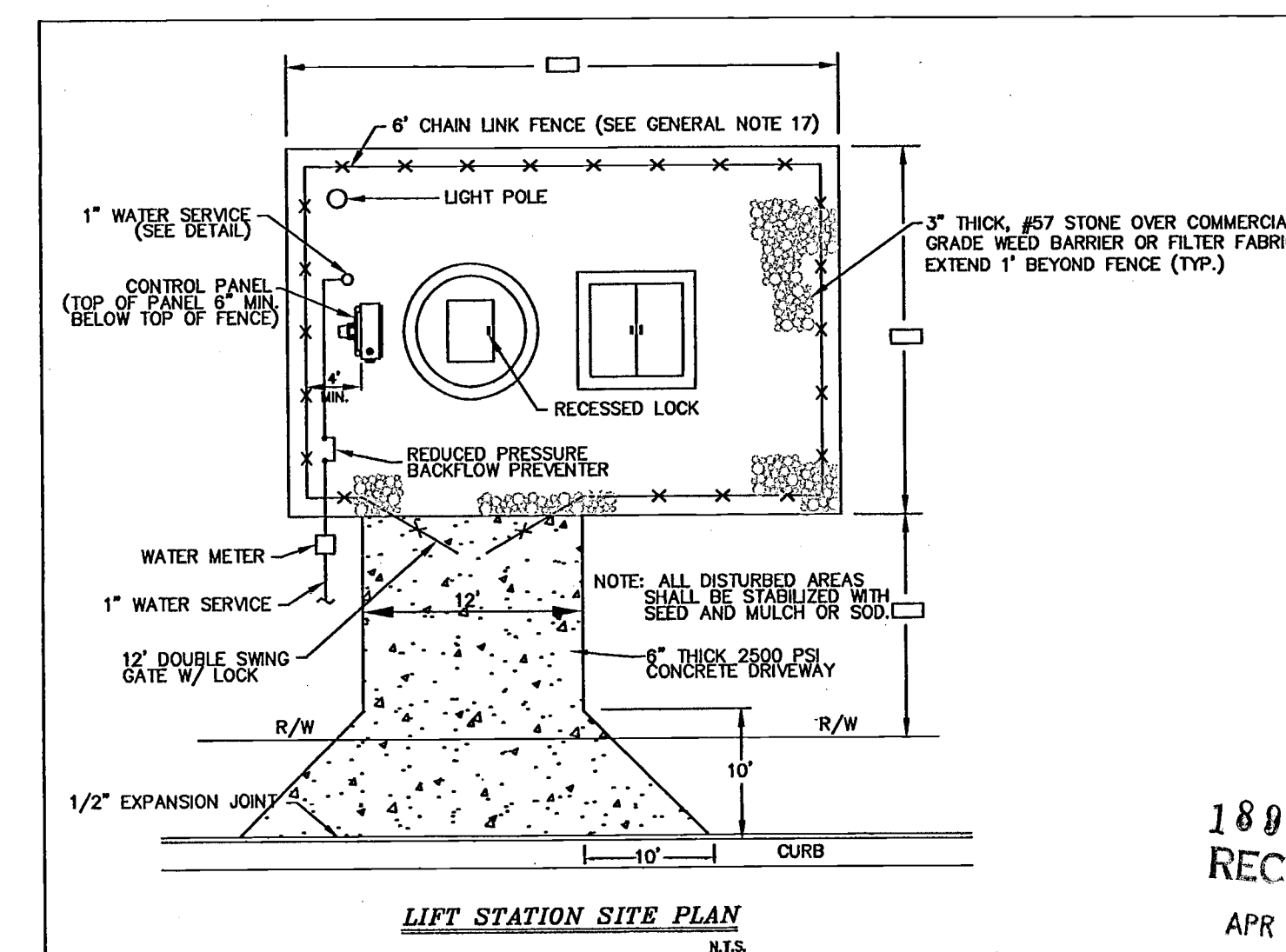
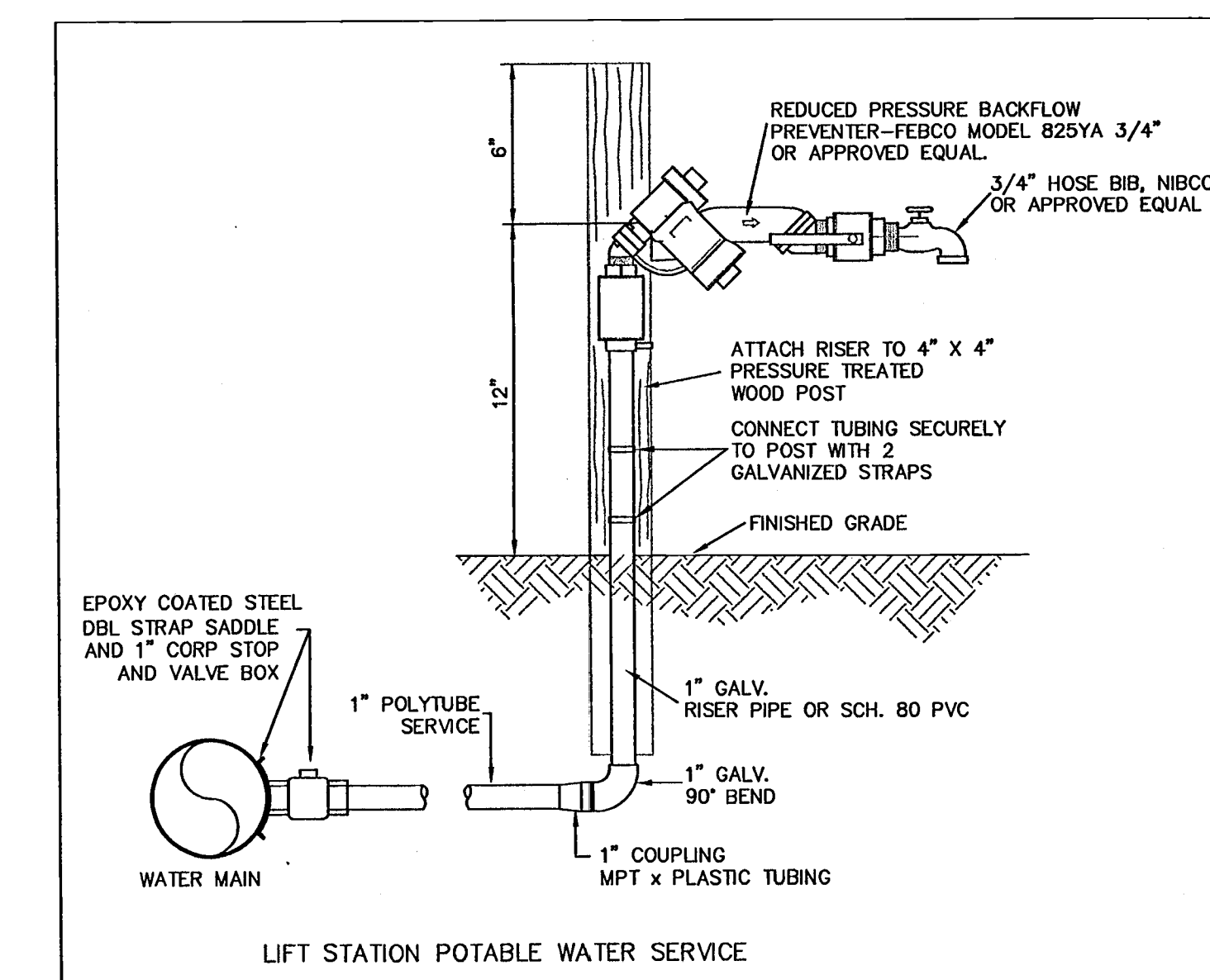
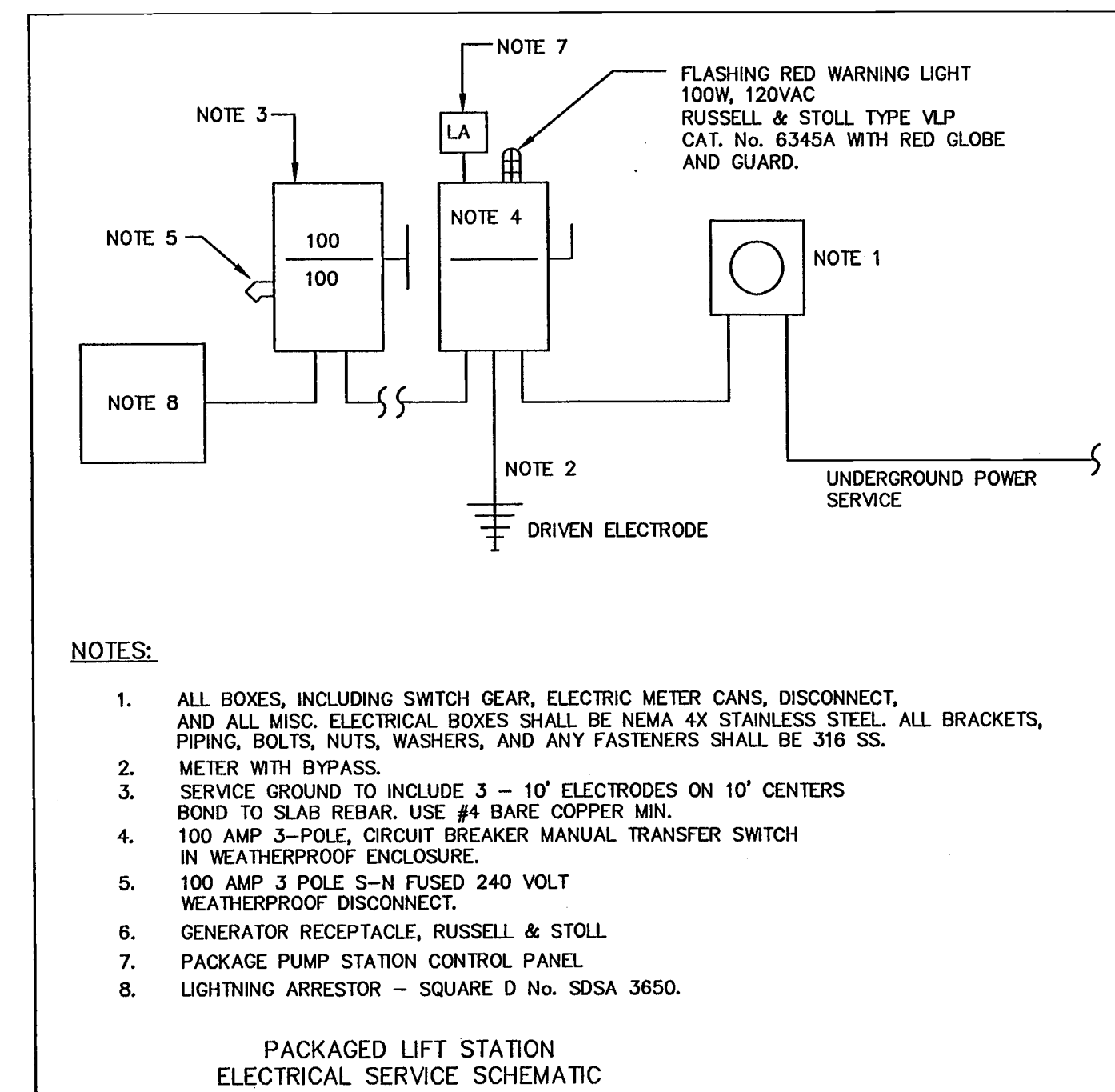
COLOR CODING

All water main pipe, including fittings, installed on or after August 28, 2003, except pipe installed under a construction permit for which the Department received complete application before August 28, 2003, shall be color coded or marked using blue as a predominate color to differentiate drinking water from reclaimed or other water.

Underground plastic pipe shall be solid-wall blue pipe, shall have a co-extruded blue external skin, or shall be white or black pipe with blue stripes incorporated into, or applied to, the pipe wall. Pipe stripes during manufacturing of the pipe shall have continuous stripes that run parallel to the axis of the pipe, that are located at no greater than 90" intervals around the pipe, and will remain intact during and after installation of the pipe. If tape or paint is used to stripe pipe during installation of the pipe, the tape or paint shall be applied in a continuous line that runs parallel to the axis of the pipe and that is located along the top of the pipe; for pipes with an internal diameter of 24 inches or greater, tape or paint shall be applied in continuous lines along each side of the pipe as well as along the top of the pipe. Aboveground pipe as drinking water treatment plants shall be color coded and labeled in accordance with subsection 62-555.320(10), F.A.C., and all other aboveground pipe shall be painted blue or shall be color-coded or marked like underground pipe.

GENERAL WATER NOTES

1. Water system components shall be installed in strict accordance with all local codes and regulations, cleaned, disinfected and bacteriologically cleared for service in accordance with the latest ANMA Standards and Chapter 62-555 Florida Administrative Code.
2. All piping shall bear the "NSF" seal for Potable Water.
3. Water mains shall be PVC conforming to ANMA C-900, DR 18 for all pipe sizes 4" - 12". Pipes 14" or larger shall be ANMA C-905, DR 18. All couplings, clearing compounds, solvents, lubricants, and pipe preparation, for laying, shall be in accordance with the pipe manufacturers latest recommendations.
4. Depth of water lines to be 30" minimum cover from finish grade.
5. Water mains to be located 6.00' from curb or edge of pavement unless otherwise noted.
6. All sleeves under pavement shall extend 5' beyond the back of curb.
7. Disinfecting: Following the pressure testing, the Contractor shall disinfect all sections of the water distribution system. Disinfection shall be in accordance with the applicable provisions of ANMA Standard C651 "Disinfecting Water Mains", and all appropriate agency approval.
8. All hydrostatic tests shall be in accordance with ANMA C600 for Ductile Iron Pipe and C608/623 for PVC pipe.
9. All water mains shall be installed, pressure and leak tested in accordance with ANMA C600, (62-555.320(1)) and (62-555.320(2)) and (62-555.320(3)) and (62-555.320(4)) and (62-555.320(5)) and (62-555.320(6)) and (62-555.320(7)) and (62-555.320(8)) and (62-555.320(9)) and (62-555.320(10)) and (62-555.320(11)) and (62-555.320(12)) and (62-555.320(13)) and (62-555.320(14)) and (62-555.320(15)) and (62-555.320(16)) and (62-555.320(17)) and (62-555.320(18)) and (62-555.320(19)) and (62-555.320(20)) and (62-555.320(21)) and (62-555.320(22)) and (62-555.320(23)) and (62-555.320(24)) and (62-555.320(25)) and (62-555.320(26)) and (62-555.320(27)) and (62-555.320(28)) and (62-555.320(29)) and (62-555.320(30)) and (62-555.320(31)) and (62-555.320(32)) and (62-555.320(33)) and (62-555.320(34)) and (62-555.320(35)) and (62-555.320(36)) and (62-555.320(37)) and (62-555.320(38)) and (62-555.320(39)) and (62-555.320(40)) and (62-555.320(41)) and (62-555.320(42)) and (62-555.320(43)) and 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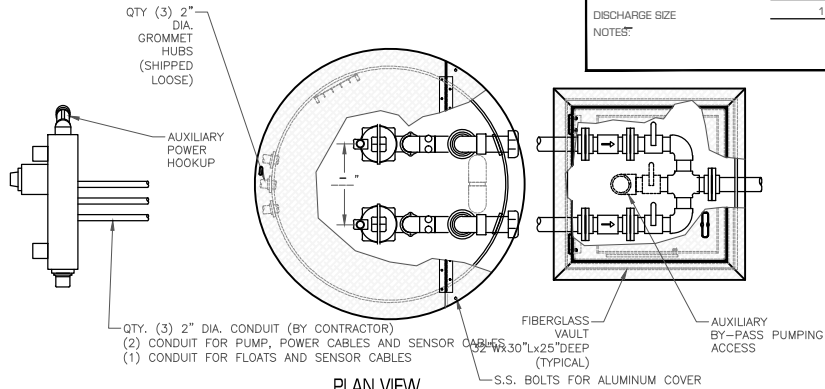
VENEZIA NORTH
RESIDENTIAL SUBDIVISION
LIFT STATION DETAILS

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| PROJECT NO.: | 0513733.0000 |
| DATE: | JUNE 2006 |
| DRAWN BY: | LCS |
| DESIGNED BY: | LCS |
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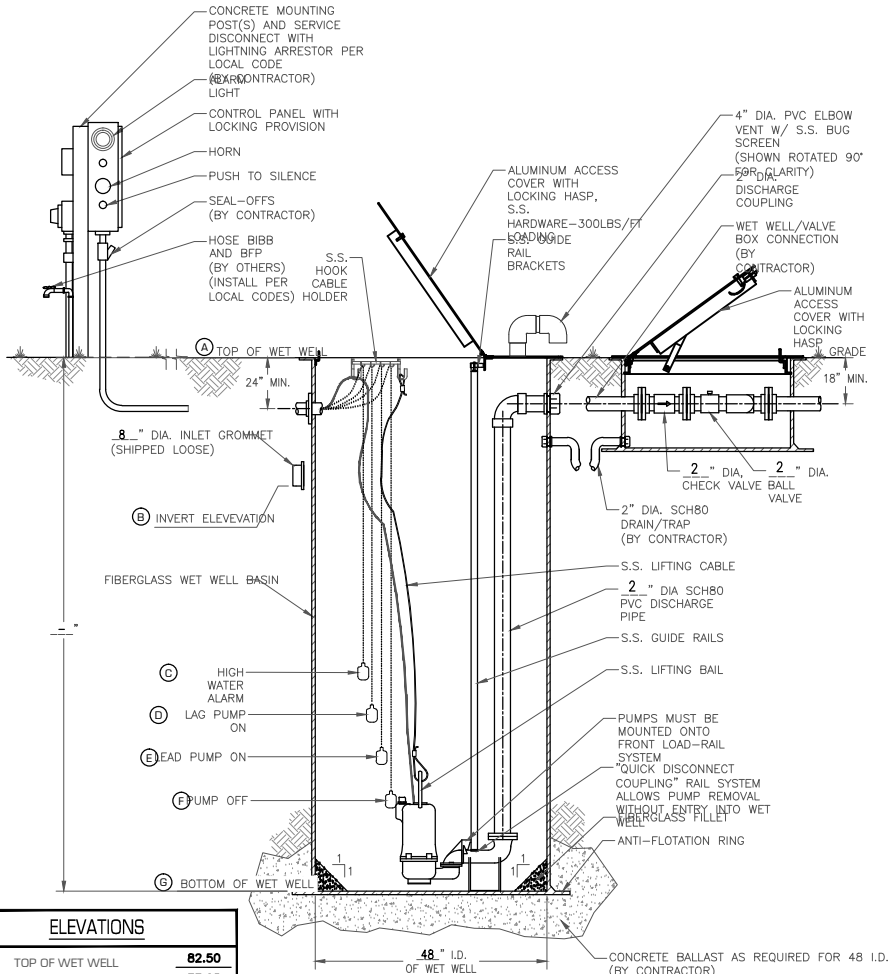
CHARLES C. HIOTT, P.E.
PROFESSIONAL ENGINEER 54813

LIFT STATION #1

WET WELL/VALVE BOX LAYOUT



PLAN VIEW



SECTION VIEW

| ELEVATIONS | |
|----------------------|-------|
| A TOP OF WET WELL | 82.50 |
| B INLET INVERT | 77.25 |
| C HIGH WATER ALARM | 76.75 |
| D LAG PUMP ON | 76.25 |
| E LEAD PUMP ON | 75.75 |
| F PUMP OFF | 73.50 |
| G BOTTOM OF WET WELL | 72.50 |

| PUMP DATA TABLE | |
|----------------------|--------|
| PUMP MODEL | HPG200 |
| IMPELLER DIAMETER | 5.25" |
| PUMP DESIGN CAPACITY | 28 GPM |
| PUMP DESIGN TDH | 97 FT |
| SECONDARY CAPACITY | 33 GPM |
| SECONDARY TDH | 89 FT |
| HORSEPOWER | 2 HP |
| VOLTAGE | 230 V |
| PHASE | 3 PH |
| DISCHARGE SIZE | 1 1/4" |
| NOTES: | |

GENERAL NOTES

PUMPS SHALL BE OF THE SUBMERSIBLE TYPE (MANUFACTURED BY HYDRAMATIC OR HOMA). EACH PUMP SHALL BE MOUNTED ON A 62" RAIL SYSTEM. THE RAIL SYSTEM SHALL BE SELF ENGAGING RESULTING IN A LEAKPROOF COUPLING. THE RAIL SYSTEM SHALL INCLUDE THE BASE ELBOW, DISCHARGE FLANGE ASSEMBLY, 304SS GUIDE RAILS, 316SS UPPER GUIDE BRACKET, 316SS LIFTING BAIL AND CABLE, AND A SIX-HOOK 316SS CABLE HOLDER. THE RAIL SYSTEM SHALL BE MOUNTED AND PRE-PIPED BY THE PUMP SUPPLIER.

PUMP CONSTRUCTION

THE PUMP VOLUTE, MOTOR AND SEAL HOUSING SHALL BE CONSTRUCTED OF CAST IRON. ALL EXTERNAL FASTENERS SHALL BE SERIES 300 STAINLESS STEEL. THE PUMP SHAFT SHALL BE CONSTRUCTED OF SERIES 416 STAINLESS STEEL.

IMPELLER

THE IMPELLER SHALL BE OF MULTI-VANE, SEMI-OPEN CONSTRUCTION. THE IMPELLER SHALL BE STATICALLY AND HYDRAULICALLY BALANCED.

CUTTERS

A CUTTER ASSEMBLY SHALL BE MOUNTED ON THE SUCTION SIDE OF THE PUMP WITH DIRECT DISCHARGE INTO THE PUMP IMPELLER. THE GRINDER SHALL BE CAPABLE OF GRINDING MATERIALS FOUND IN NORMAL, DOMESTIC SEWAGE. BOTH THE STATIONARY AND ROTATING CUTTERS SHALL BE CONSTRUCTED OF HARDENED STEEL.

MOTOR

THE MOTOR SHALL BE MOUNTED IN A SEALED, SUBMERSIBLE TYPE HOUSING. THE STATOR SHALL BE SECURELY HELD IN PLACE WITH A REMOVABLE END RING AND THREADED FASTENERS FOR EASE OF REMOVAL WITHOUT THE USE OF HEAT OR A PRESS. THE MOTOR WILL HAVE TWO HEAVY-DUTY BALL BEARINGS; ONE UPPER (RADIAL) AND ONE LOWER (THRUST), TO SUPPORT THE SHAFT. THE MOTOR SHALL BE EQUIPPED WITH A WINDING THERMOSTAT THAT IS WIRED TO SHUT THE MOTOR OFF IN CASE OF MOTOR OVERHEATING.

SEAL CHAMBER

THE PUMP SHALL HAVE TWO MECHANICAL SEALS, MOUNTED IN TANDEM WITH AN OIL CHAMBER BETWEEN THE SEALS. THE PUMP SHALL BE EQUIPPED WITH A SEAL LEAK DETECTION PROBE AND WARNING SYSTEM BY USING A SEAL FAILURE SENSOR INSTALLED IN THE SEAL CHAMBER.

WET WELL

THE PUMP SUPPLIER SHALL PROVIDE THE WET WELL. THIS GLASS FIBER-REINFORCED POLYESTER BASIN SHALL BE CONSTRUCTED OF A COMMERCIAL GRADE OF GLASS FIBER AND SHALL BE PROVIDED WITH FILLET AND AN ANTI-FLOATATION RING WITH A MINIMUM DIAMETER OF THREE INCHES LARGER THAN THE BASIN DIAMETER. THE RAIL SYSTEM, INTERNAL PIPING AND DISCHARGE CONNECTIONS SHALL BE PRE-INSTALLED BY THE PUMP SUPPLIER.

HATCH COVER

THE HATCH COVER SHALL BE 2/3 HINGED TO ALLOW FOR MAXIMUM ACCESS TO THE WET WELL. THE HATCH COVER SHALL BE ALUMINUM WITH STAINLESS STEEL FASTENERS, RATED FOR 300 PSF OR GREATER. THE HATCH COVER SHALL INCLUDE A SINGLE OR DUAL DOOR OF DIMENSIONS SPECIFIED BY THE PUMP MANUFACTURER FOR PROPER PUMP CLEARANCE. THE COVER SHALL BE MANUFACTURED BY US FABRICATION, OR EQUAL.

VALVE BOX

THE VALVE BOX IS FIBERGLASS WITH ALUMINUM LOCKABLE COVER. STANDARD SIZE VALVE BOX IS 32"x30"x25".

VALVES

VALVES SHALL BE SEWAGE SWING CHECK WITH CLEAN-OUT PORTS AND BRASS GATE VALVES.

FLOATS

FLOATS SHALL BE ANCHOR SCIENTIFIC ROTO-FLOATS OR EQUAL.

CONTROLS

THE CONTROL PANEL SHALL BE UL508 LISTED. A NEMA 3R ENCLOSURE SHALL BE PROVIDED IN 4X FIBERGLASS. THE PANEL SHALL INCLUDE AN ALTERNATING CONTROL SCHEME (DUPLEX AND ABOVE), MAIN CIRCUIT BREAKER, GENERATOR RECEPTACLE, HIGH LEVEL ALARM LIGHT AND HORN, ELAPSED TIME METERS, VOLTAGE OR PHASE MONITOR, SEAL FAILURE AND OVERLOAD SENSORS. THE LIGHTNING ARRESTOR SHALL BE PROVIDED BY CONTRACTOR.

ELECTRICAL

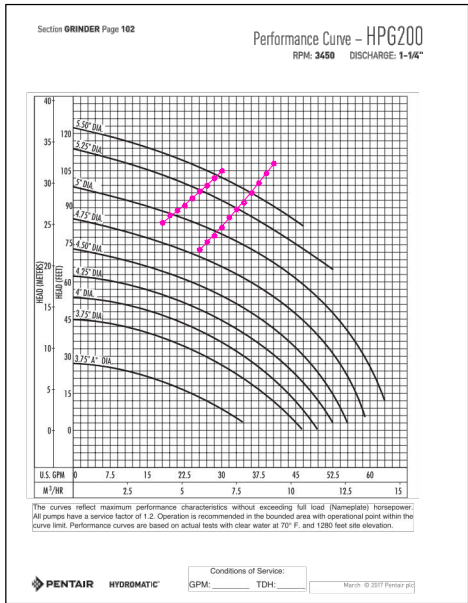
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SUPPLIER

PUMP SUPPLIER SHALL PROVIDE SUBMERSIBLE PUMPS, SLIDE RAIL ASSEMBLIES, FIBERGLASS BASIN AND VALVE BOX, CONTROL PANEL, FLOAT SWITCHES, ALUMINUM HATCHES AND ACCESSORIES TO INSURE PROPER OPERATIONS AND WARRANTY. THE COMPLETE PACKAGE PUMPING STATION SHALL HAVE PUMP BASINS, RAIL ASSEMBLIES, AND DISCHARGE PIPING ASSEMBLED BY BARNEY'S PUMPS INC. READY FOR FIELD INSTALLATION.

PUMP PACKAGE SHALL BE SUPPLIED BY BARNEY'S PUMPS INC. IN LAKELAND (863-665-8500), CORAL SPRINGS (954-346-0669), OR JACKSONVILLE (904-260-0669), FL.

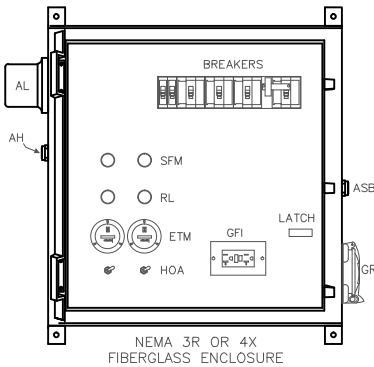
PUMP PERFORMANCE CURVE



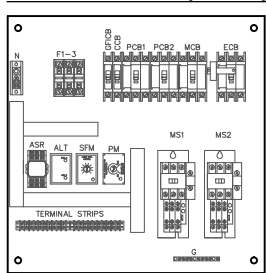
ELECTRICAL

INCOMING POWER: _____ V _____ Ø
(CONTRACTOR TO VERIFY)

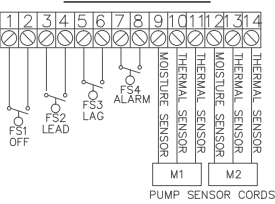
ENCLOSURE AND DEADFRONT LAYOUT (TYPICAL)
(OUTER DOOR REMOVED)



BASE PLATE LAYOUT (TYPICAL)



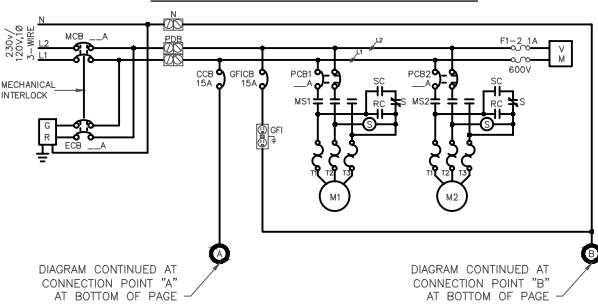
FIELD TERMINALS



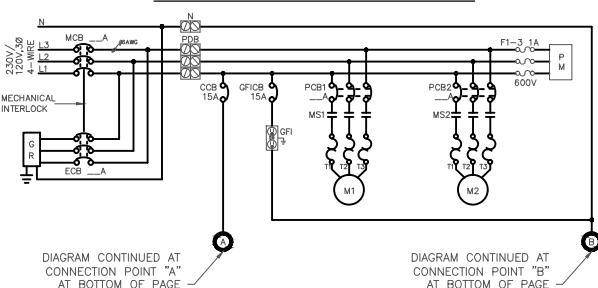
LEGEND

| ABBR. | DESCRIPTION |
|--------|---------------------------|
| ENC. | ENCLOSURE, 4X, NEMA 4X |
| MCB | MAIN CIRCUIT BREAKER |
| ECB | EMERGENCY CIRCUIT BREAKER |
| N | NEUTRAL BLOCK |
| PDB | POWER DISTRIBUTION BLOCK |
| PCB1,2 | PUMP CIRCUIT BREAKER |
| CCB | CONTROL CIRCUIT BREAKER |
| GFCB | GFI CIRCUIT BREAKER |
| MS1,2 | MOTOR STARTER |
| OL | OVERLOAD HEATER |
| S | START RELAY |
| SC | START CAPACITOR |
| RC | RUN CAPACITOR |
| GR | GENERATOR RECEPTACLE |
| F | FUSE, 1A, 600V |
| VM | VOLTAGE MONITOR |
| PM | PHASE MONITOR |
| XFMR | TRANSFORMER |
| GFI | GFI RECEPTACLE |
| AL | ALARM LIGHT |
| AH | ALARM HORN |
| ASB | ALARM SILENCE BUTTON |
| ASR | ALARM SILENCE RELAY |
| SFM | SEAL FAIL MODULE |
| IL | INDICATING LIGHT, RED |
| ALT | ALTERNATOR |
| HOA | HAND OFF AUTO SWITCH |
| RL | RUN LIGHT, GREEN |
| ETM | ELAPSED TIME METER |

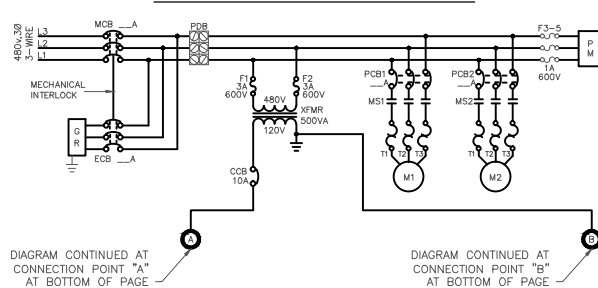
230V SINGLE PHASE WIRING DIAGRAM



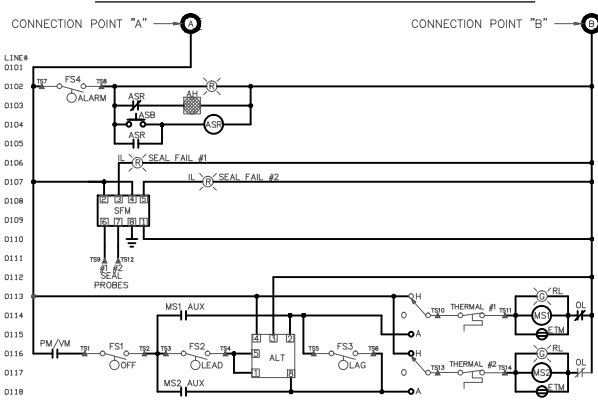
230V THREE PHASE WIRING DIAGRAM



480V THREE PHASE WIRING DIAGRAM



CONTINUATION OF WIRING DIAGRAMS FROM ABOVE



PANEL MANUFACTURER SHALL BE UL 508 AND UL 698A LISTED.



BARNEY'S PUMPS, INC.
PO BOX 3529, LAKELAND, FL 33802
PHONE: (863) 665-8500 FAX: (863) 666-3858

PROJECT

CUSTOMER

TITLE GRINDER DUPLEX FIBERGLASS LIFT STATION

DATE 04/26/2018

SALESPERSON

DRAWN BY: R.R.B.

REV. 0

Item 2.

DONALD A. GR
FLORIDA 036799

GRIFFEY ENGINEERING, INC.
36202 East Eldorado Lake Dr.
EUSTIS, FLORIDA 32736
(352) 589-2368

Town of Howey-In-The-Hills
101 N. Palm Avenue
P.O. Box 128
Howey-In-The-Hills, FL 34737
(352) 324-2290

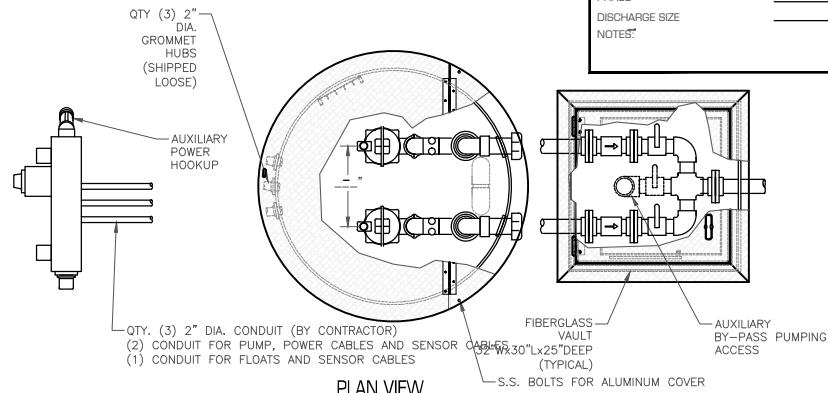
HOWEY-IN-THE-HILLS
DOWNTOWN SEWER

LIFT STATION 1

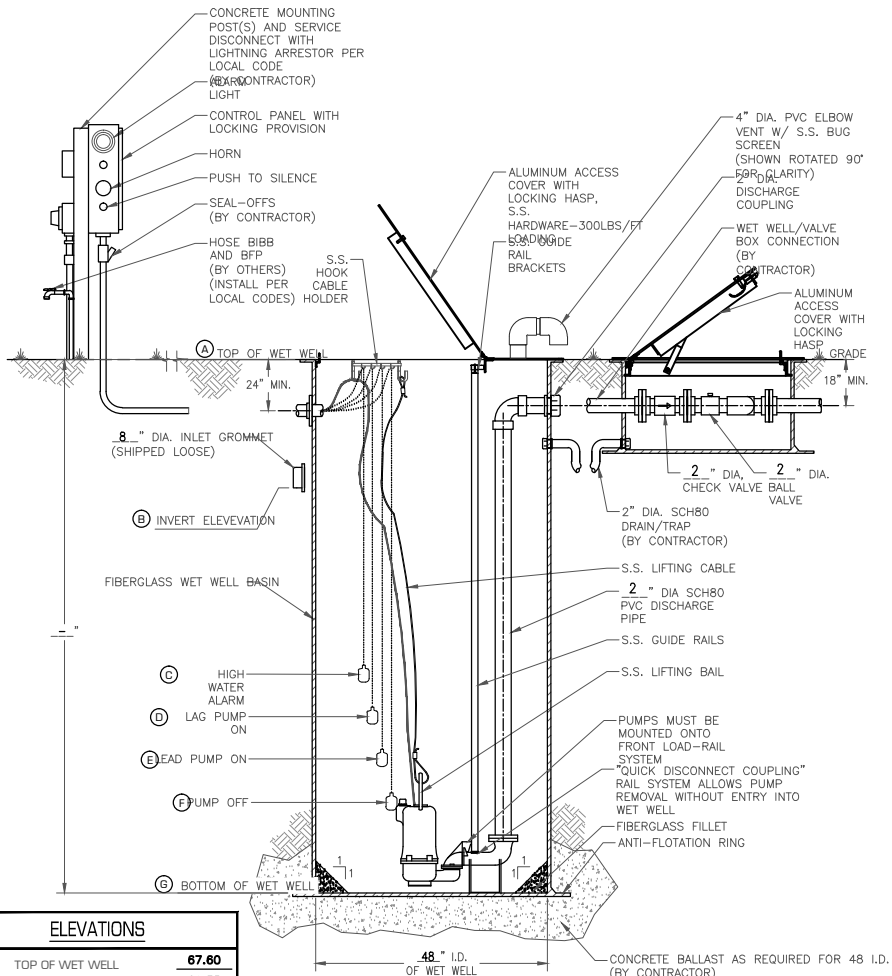
| | |
|----------|------------|
| Date | Drawn By: |
| | DAG |
| | Drawing #: |
| | DWTN SEWER |
| | Project #: |
| | 15028 |
| 04-06-21 | Scale: |
| 03-08-21 | |
| SHEET 19 | 116 |

LIFT STATION #2

WET WELL/VALVE BOX LAYOUT



PLAN VIEW



SECTION VIEW

ELEVATIONS

| | | |
|---|--------------------|-------|
| A | TOP OF WET WELL | 67.60 |
| B | INLET INVERT | 61.35 |
| C | HIGH WATER ALARM | 61.10 |
| D | LAG PUMP ON | 60.85 |
| E | LEAD PUMP ON | 60.60 |
| F | PUMP OFF | 58.60 |
| G | BOTTOM OF WET WELL | 57.60 |

PUMP DATA TABLE

| | |
|--------------------|----------|
| PUMP MODEL | MPGH-500 |
| IMPELLER DIAMETER | 8.25" |
| PUMP DESIGN TDH | 58 GPM |
| PUMP DESIGN TDH | 1117 FT |
| SECONDARY CAPACITY | 70 GPM |
| SECONDARY TDH | 104 FT |
| HORSEPOWER | 5 HP |
| VOLTAGE | 230 V |
| PHASE | 1 PH |
| DISCHARGE SIZE | 2" |
| NOTES: | |

GENERAL NOTES

PUMPS SHALL BE OF THE SUBMERSIBLE TYPE (MANUFACTURED BY HYDOMATIC OR HOMA). EACH PUMP SHALL BE MOUNTED ON A 02" RAIL SYSTEM. THE RAIL SYSTEM SHALL BE SELF ENGAGING RESULTING IN A LEAKPROOF COUPLING. THE RAIL SYSTEM SHALL INCLUDE THE BASE ELBOW, DISCHARGE FLANGE ASSEMBLY, 304SS GUIDE RAILS, 316SS UPPER GUIDE BRACKET, 316SS LIFTING BAIL AND CABLE, AND A SIX-HOOK 316SS CABLE HOLDER. THE RAIL SYSTEM SHALL BE MOUNTED AND PRE-PIPED BY THE PUMP SUPPLIER.

PUMP CONSTRUCTION

THE PUMP VOLUTE, MOTOR AND SEAL HOUSING SHALL BE CONSTRUCTED OF CAST IRON. ALL EXTERNAL FASTENERS SHALL BE SERIES 300 STAINLESS STEEL. THE PUMP SHAFT SHALL BE CONSTRUCTED OF SERIES 416 STAINLESS STEEL.

IMPELLER

THE IMPELLER SHALL BE OF MULTI-VANE, SEMI-OPEN CONSTRUCTION. THE IMPELLER SHALL BE STATICALLY AND HYDRAULICALLY BALANCED.

CUTTERS

A CUTTER ASSEMBLY SHALL BE MOUNTED ON THE SUCTION SIDE OF THE PUMP WITH DIRECT DISCHARGE INTO THE PUMP IMPELLER. THE GRINDER SHALL BE CAPABLE OF GRINDING MATERIALS FOUND IN NORMAL, DOMESTIC SEWAGE. BOTH THE STATIONARY AND ROTATING CUTTERS SHALL BE CONSTRUCTED OF HARDENED STEEL.

MOTOR

THE MOTOR SHALL BE MOUNTED IN A SEALED, SUBMERSIBLE TYPE HOUSING. THE STATOR SHALL BE SECURELY HELD IN PLACE WITH A REMOVABLE END RING AND THREADED FASTENERS FOR EASE OF REMOVAL WITHOUT THE USE OF HEAT OR A PRESS. THE MOTOR WILL HAVE TWO HEAVY-DUTY BALL BEARINGS; ONE UPPER (RADIAL) AND ONE LOWER (THRUST), TO SUPPORT THE SHAFT. THE MOTOR SHALL BE EQUIPPED WITH A WINDING THERMOSTAT THAT IS WIRED TO SHUT THE MOTOR OFF IN CASE OF MOTOR OVERHEATING.

SEAL CHAMBER

THE PUMP SHALL HAVE TWO MECHANICAL SEALS, MOUNTED IN TANDEM WITH AN OIL CHAMBER BETWEEN THE SEALS. THE PUMP SHALL BE EQUIPPED WITH A SEAL LEAK DETECTION PROBE AND WARNING SYSTEM BY USING A SEAL FAILURE SENSOR INSTALLED IN THE SEAL CHAMBER.

WET WELL

THE PUMP SUPPLIER SHALL PROVIDE THE WET WELL. THIS GLASS FIBER-REINFORCED POLYESTER BASIN SHALL BE CONSTRUCTED OF A COMMERCIAL GRADE OF GLASS FIBER AND SHALL BE PROVIDED WITH FILLET AND AN ANTI-FLOTATION RING WITH A MINIMUM DIAMETER OF THREE INCHES LARGER THAN THE BASIN DIAMETER. THE RAIL SYSTEM, INTERNAL PIPING AND DISCHARGE CONNECTIONS SHALL BE PRE-INSTALLED BY THE PUMP SUPPLIER.

HATCH COVER

THE HATCH COVER SHALL BE 2/3 HINGED TO ALLOW FOR MAXIMUM ACCESS TO THE WET WELL. THE HATCH COVER SHALL BE ALUMINUM WITH STAINLESS STEEL FASTENERS, RATED FOR 300 PSF OR GREATER. THE HATCH COVER SHALL INCLUDE A SINGLE OR DUAL DOOR OF DIMENSIONS SPECIFIED BY THE PUMP MANUFACTURER FOR PROPER PUMP CLEARANCE. THE COVER SHALL BE MANUFACTURED BY US FABRICATION, OR EQUAL.

VALVE BOX

THE VALVE BOX IS FIBERGLASS WITH ALUMINUM LOCKABLE COVER. STANDARD SIZE VALVE BOX IS 32"x30"x25".

VALVES

VALVES SHALL BE SEWAGE SWING CHECK WITH CLEAN-OUT PORTS AND BRASS GATE VALVES.

FLOATS

FLOATS SHALL BE ANCHOR SCIENTIFIC ROTO-FLOATS OR EQUAL.

CONTROLS

THE CONTROL PANEL SHALL BE UL508 LISTED. A NEMA 3R ENCLOSURE SHALL BE PROVIDED IN 4X FIBERGLASS. THE PANEL SHALL INCLUDE AN ALTERNATING CONTROL SCHEME (DUPLX AND ABOVE), MAIN CIRCUIT BREAKER, GENERATOR RECEPTACLE, HIGH LEVEL ALARM LIGHT AND HORN, ELAPSED TIME METERS, VOLTAGE OR PHASE MONITOR, SEAL FAILURE AND OVERLOAD SENSORS. THE LIGHTNING ARRESTOR SHALL BE PROVIDED BY CONTRACTOR.

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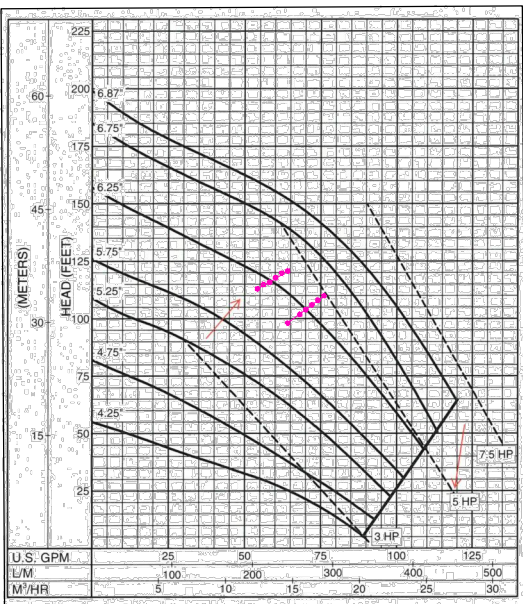
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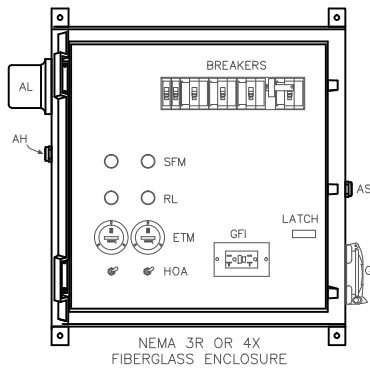
PUMP PERFORMANCE CURVE



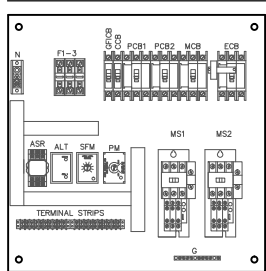
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INCOMING POWER: _____ V _____ Ø
(CONTRACTOR TO VERIFY)

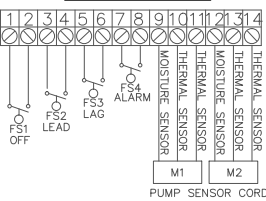
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(OUTER DOOR REMOVED)



BASE PLATE LAYOUT (TYPICAL)



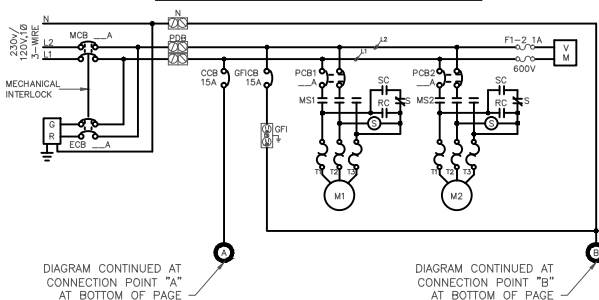
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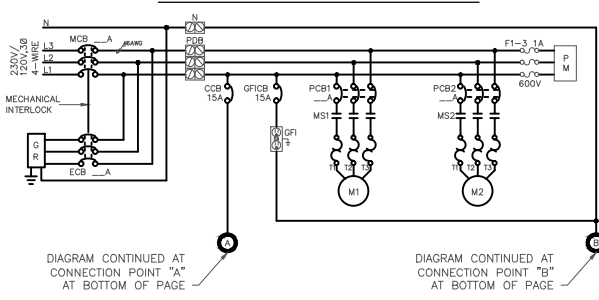
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| ABBR. | DESCRIPTION |
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| MS1,2 | MOTOR STARTER |
| OL | OVERLOAD HEATER |
| S | START RELAY |
| SC | START CAPACITOR |
| RC | RUN CAPACITOR |
| GR | GENERATOR RECEPTACLE |
| F | FUSE, TA 600V |
| VM | VOLTAGE MONITOR |
| PM | PHASE MONITOR |
| XFMR | TRANSFORMER |
| GFI | GFI RECEPTACLE |
| AL | ALARM LIGHT |
| ASB | ALARM SILENCE BUTTON |
| ASR | ALARM SILENCE RELAY |
| SFM | SEAL FAILURE MODULE |
| IL | INDICATING LIGHT, RED |
| ALT | ALTERNATOR |
| HOA | HAND OFF AUTO SWITCH |
| RL | RUN LIGHT, GREEN |
| ETM | ELAPSED TIME METER |

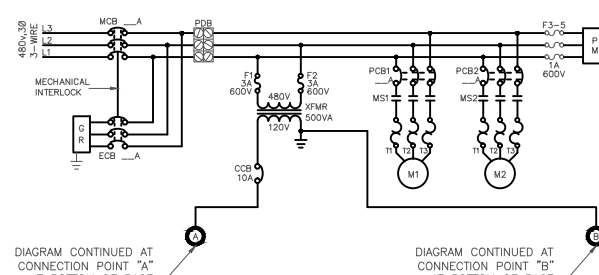
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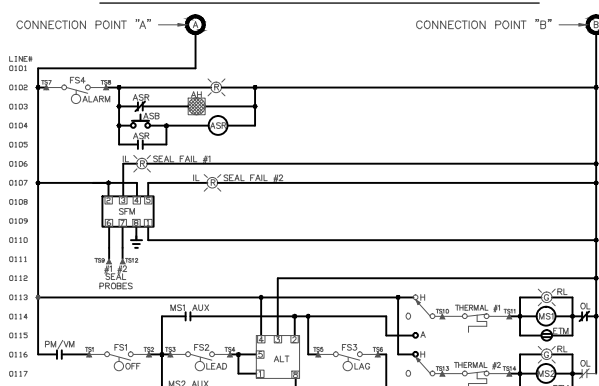
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480V THREE PHASE WIRING DIAGRAM



CONTINUATION OF WIRING DIAGRAMS FROM ABOVE



PANEL MANUFACTURER SHALL BE UL 508 AND UL 698A LISTED.



BARNEY'S PUMPS, INC.

PO BOX 3529, LAKELAND, FL 33802
PHONE: (863) 665-8500 FAX: (863) 666-3858

PROJECT

CUSTOMER

TITLE

DATE

04/26/2018

SALESPERSON

SALESPERSON

SALESPERSON

SALESPERSON

SALESPERSON

SALESPERSON

SALESPERSON

SALESPERSON

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SALESPERSON

SALESPERSON

Item 2.

DONALD A. GRIFF
FLORIDA 036799

GRIFFEY ENGINEERING, INC.
36202 East Eldorado Lake Dr.
EUSTIS, FLORIDA 32736
(352) 589-2368

Town of Howey-In-The-Hills
101 N. Palm Avenue
P.O. Box 128
Howey-In-The-Hills, FL 34737
(352) 324-2290

HOWEY-IN-THE-HILLS
DOWNTOWN SEWER

LIFT STATION 2

| | |
|----------|------------|
| Date | Drawn By: |
| | DAG |
| | Drawing #: |
| | DWTN SEWER |
| | Project #: |
| 04-06-21 | 15028 |
| 03-19-21 | Scale: |
| 03-08-21 | |

| | |
|--------------------------|--|
| Account Number: | 532726 |
| Customer Name: | Town Of Howie In The Hills |
| Customer Address: | Town Of Howey-In-The-Hills 101 N Palm AVE Howey In The Hills FL 34737-3418 |
| Contact Name: | John Brock |
| Contact Phone: | 352-324-2290 |
| Contact Email: | jbrock@howey.org |
| PO Number: | |

| | |
|---------------------------|------------|
| Date: | 11/01/2022 |
| Order Number: | 8008387 |
| Prepayment Amount: | \$ 0.00 |

| | |
|--------------------------|---------|
| Column Count: | 1.0000 |
| Line Count: | 72.0000 |
| Height in Inches: | 0.0000 |

Print

| Product | #Insertions | Start - End | Category |
|-------------------------|-------------|-------------------------|---------------------|
| LEE Daily Commercial | 1 | 11/04/2022 - 11/04/2022 | Govt Public Notices |
| LEE dailycommercial.com | 1 | 11/04/2022 - 11/04/2022 | Govt Public Notices |

Total Order Confirmation **\$123.76**

NOTICE OF PUBLIC HEARING
TOWN OF HOWEY-IN-THE-HILLS, FLORIDA

Item 2.

RINGS
THE-

Ordinance No. 2022-019

AN ORDINANCE OF THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA, PERTAINING TO LAND USE; AMENDING ORDINANCE 2021-010 PERTAINING TO THE USE OF LAND WITHIN THE PROPERTY KNOWN AS THE RESERVE AT HOWEY-IN-THE-HILLS; PROVIDING FINDINGS OF THE TOWN COUNCIL; AMENDING THE AMENDED AND RESTATED DEVELOPER'S AGREEMENT FOR THE RESERVE AT HOWEY-IN-THE-HILLS TO ALLOW A CHANGE IN THE REQUIREMENTS FOR CONSTRUCTION OF A NORTH-SOUTH ROAD; RATIFYING AND CONFIRMING THE PROVISIONS OF ORDINANCE 2021-010, AS AMENDED; PROVIDING FOR SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

The Town Council for the Town of Howey-in-the-Hills will hold a second and final public hearing for Ordinance 2022-019 on November 14, 2022, at 06:00 P.M. (or as soon thereafter as the matter may be considered).

All public hearings will be held in Town Hall at 101 North Palm Avenue, Howey-in-the-Hills, Florida.

NOTE: A condition of approval (if granted) of the PUD zoning will be compliance by the land developer with the requirements of a proposed "Developer's Agreement".

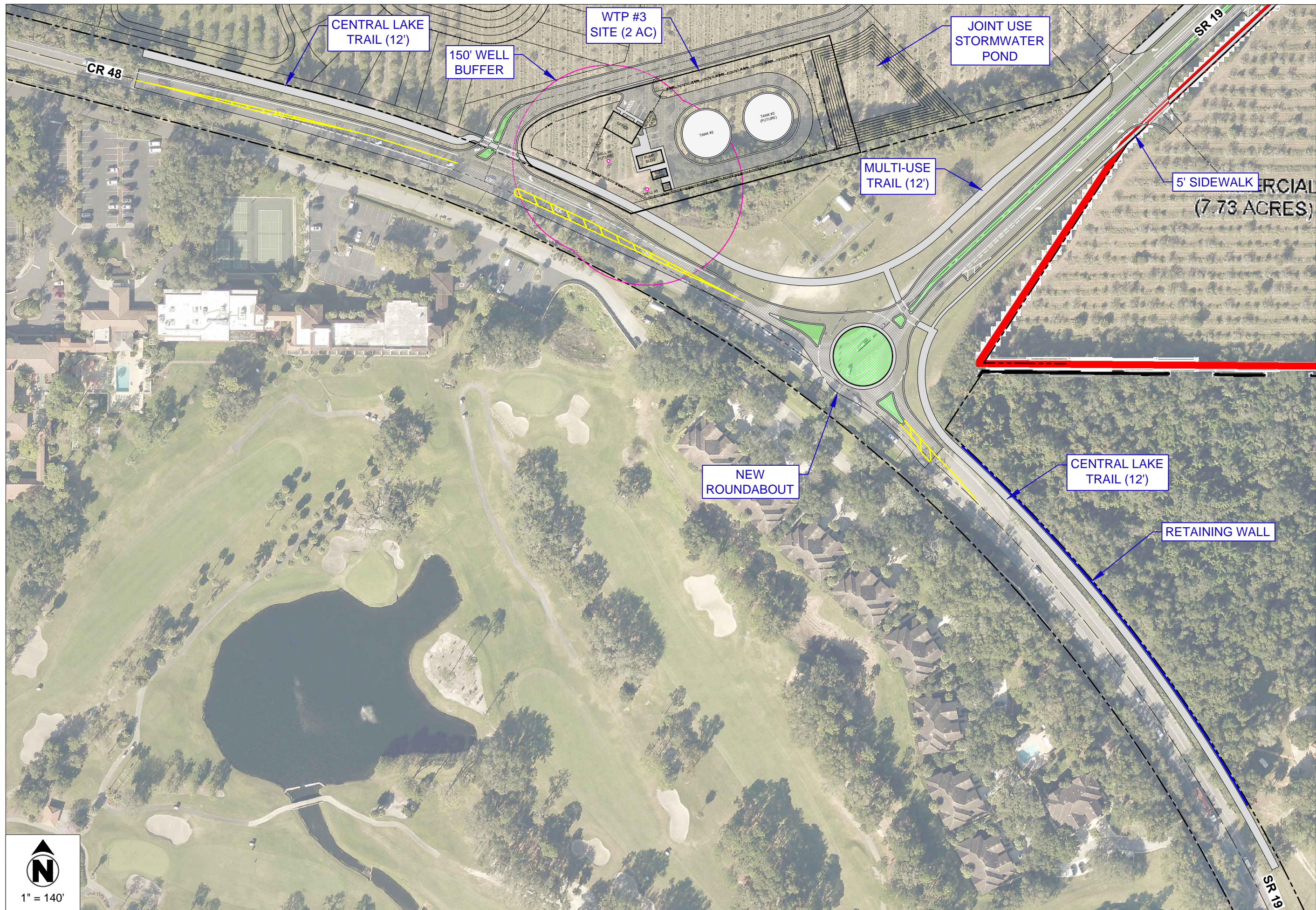
All parties in interest and persons for or against the proposed ordinance shall have an opportunity to be heard at said public hearings. Copies of Ordinance 2022-019 and its proposed Developer's Agreement are available in the Town Clerks Office, 101 N. Palm Ave., Howey-in-the-Hills, FL 34737 for inspection during normal business hours of Mon-Thurs 8 a.m. – 5 p.m. In compliance with the Americans with Disabilities Act (ADA) anyone who needs a special accommodation for this meeting should contact the Town Clerk at least 48 hours before the meeting.

Persons are advised that if they decide to appeal any decision made at this meeting, they will need a record of the proceeding, and for such purposes, they may need to ensure that a verbatim record of the proceeding is made which includes testimony and evidence upon which the appeal is based per Section 286.0105 of the Florida Statutes.

John Brock, Town Clerk
Town of Howey-in-the-Hills

Publish Date: Nov. 4, 2022

8008387 11/4/22



Item 3.

DONALD A. GR
FLORIDA 036799

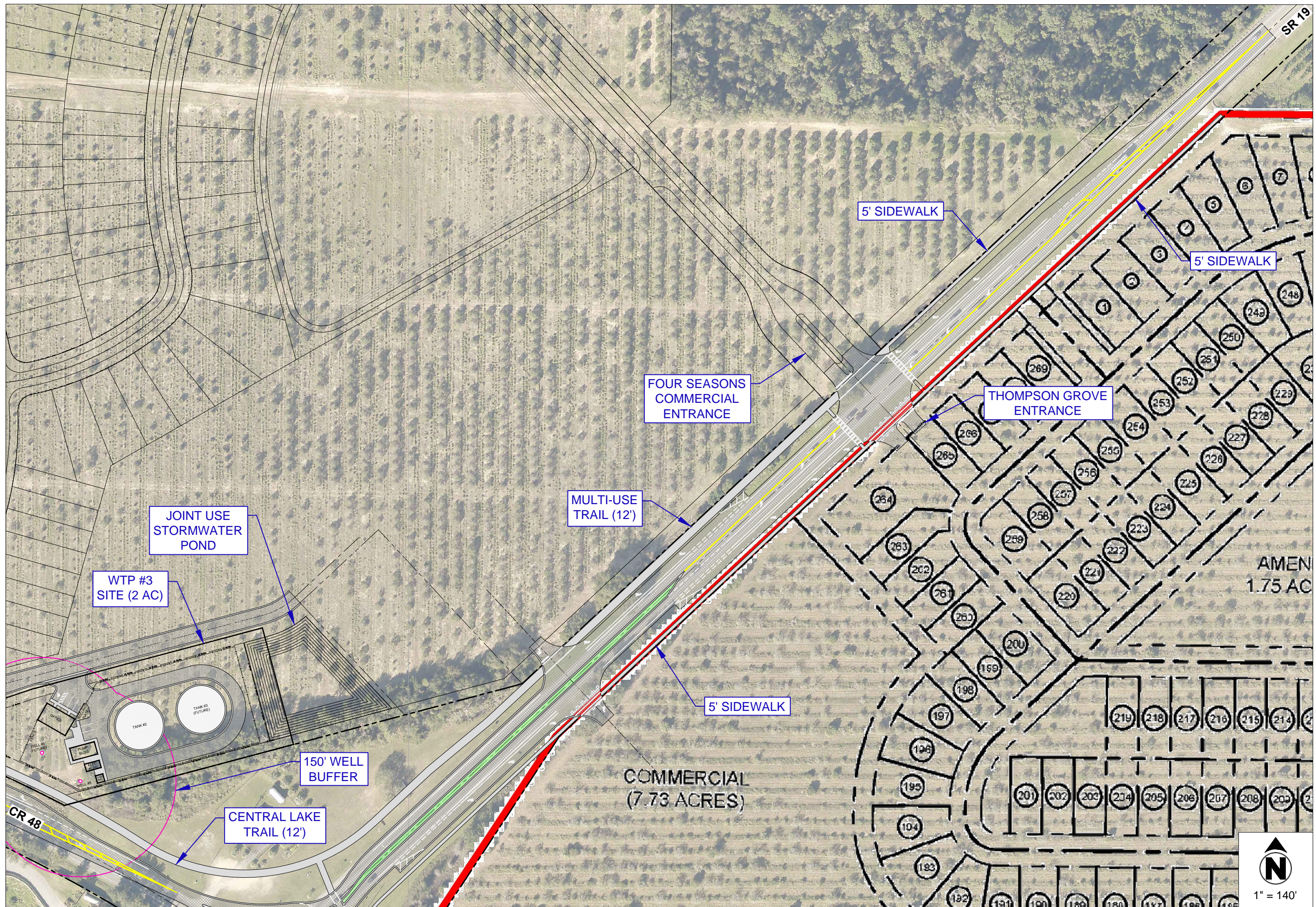
GRIFFEY ENGINEERING, INC.
36202 East Eldorado Lake Dr.
EUSTIS, FLORIDA 32736
(352) 589-2368

TOWN OF
HOWEY-IN-THE-HILLS
101 N. PALM AVENUE
P.O. BOX 128
HOWEY-IN-THE-HILLS, FL 34737
(352) 324-2290

SR 19 & CR 48
INTERSECTION IMPROVEMENT

CONCEPTUAL PLAN

| | |
|------------|---------------|
| Date | Drawn By: |
| | DAG |
| | Drawing #: |
| | Intersections |
| 09/08/2022 | Project #: |
| 07/06/2022 | 15028 |
| 03/22/2022 | Scale: |



Item 3.

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FLORIDA 036799

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36202 East Eldorado Lake Dr.
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| | Project #: |
| | 15028 |
| 09/08/2022 | Scale: |
| 03/22/2022 | |



Date: November 11, 2022

To: Mayor and Town Council

From: Sean O’Keefe

Re: Consideration and Approval: **Hausinger Well Drilling Contract**

Objective:

To procure a contractor to drill the necessary wells at the future Water Treatment Plant #3 (corner of S.R. 19 and C.R. 48).

Summary:

This contractor was recommended by Sarah Whitaker as being able to perform the dual rotary drilling required for the Town’s wells. Mascotte has recently been engaged for the same services, and the Town would piggyback off of this contract. The work would be scheduled for early 2023, pending contract approval.

Recommended Motions:

The Town Council has the following options:

1. The Town Council motions to approve
OR
2. The Town Council motions to approve with the following conditions
OR
3. Motion to Deny

Fiscal Impact:

There is an estimated one-time fiscal impact to the Town of \$1,500,000 for both wells, based on the work performed in Mascotte; this would primarily be paid for through the St. John’s River Water Management Grant (\$1,000,000).

Staff Recommendation:

Staff recommends Town Council’s approval to allow the Town Attorney and Town Manager to establish a piggyback agreement.

SECTION 00 52 10

AGREEMENT FORM

THIS AGREEMENT is by and between City of Mascotte, Florida (“Owner”) and

Hausinger & Associates, Inc. (“Contractor”). Owner and Contractor hereby agree as follows.

ARTICLE 1 – WORK

- 1.01 Contractor shall complete all Work as specified or indicated in the Contract Documents. The Work is generally described as efficient construction, development, testing and logging of two new 12-inch Lower Floridan aquifer production wells, Knight Street Well #3 and #4.

ARTICLE 2 – THE PROJECT

- 2.01 The Project under the Contract Documents is generally known as “Lower Floridan Aquifer Production Well”.

ARTICLE 3 – ENGINEER

- 3.01 The Project has been designed by Woodard & Curran, Inc. (Engineer), which is to act as Owner’s representative, assume all duties and responsibilities and have the rights and authority assigned to Engineer in the Contract Documents in connection with the completion of the Work in accordance with the Contract Documents.

ARTICLE 4 – CONTRACT TIMES

4.01 *Time of the Essence*

- A. All time limits for Milestones, if any, Substantial Completion, and completion and readiness for final payment as stated in the Contract Documents are of the essence of the Contract.

4.02 *Substantial Completion and Final Payment*

- A. Award of the Base Bid Plus Bid Alternate: The Work shall be substantially complete within **240** calendar days from the commencement of Contract Times as provided in Paragraph 2.03 of the Standard General Conditions and completed and ready for final payment in accordance with Paragraph 14.07 of the Standard General Conditions, **270** calendar days from the commencement of Contract Times.

4.03 *Liquidated Damages*

- A. Contractor and Owner recognize that time is of the essence as stated in Paragraph 4.01 above and that Owner will suffer financial loss if the Work is not completed within the times specified in Paragraph 4.02 above, plus any extensions thereof allowed in accordance with Article 12 of the Standard General Conditions and Supplementary Conditions, if any. The parties also recognize the delays, expense, and difficulties involved in proving in a legal proceeding the actual loss suffered by Owner if the Work is not completed on time. Accordingly, instead of requiring any such proof, Owner and Contractor agree that as liquidated damages for delay (but not as a penalty), Contractor shall pay Owner **\$500** for each day that expires after the time specified in Paragraph 4.02 above for Substantial Completion until the Work is substantially complete. After Substantial Completion, if Contractor shall neglect, refuse, or fail to complete the remaining Work within the Contract Time or any proper extension thereof granted by Owner, Contractor shall pay Owner **\$500** for each day that expires after the time specified in Paragraph 4.02 above for completion and readiness for final payment until the Work is completed and ready for final payment.

ARTICLE 5 – CONTRACT PRICE

5.01 Owner shall pay Contractor for completion of the Work in accordance with the Contract Documents an amount in current funds equal to the sum of the amounts determined pursuant to Paragraph 5.01.A below based on unit pricing stated in Contractor's Bid attached hereto:

TOTAL PRICE

One Million, Five Hundred Forty-Three Thousand, Nine
Hundred Dollars and Zero Cents \$1,543,900.00

- A. Unit Prices have been computed in accordance with Paragraph 11.03.A of the Standard General Conditions and Supplementary Conditions, if any.
- B. The prices for Unit Price Work set forth as of the Effective Date of the Agreement are based on estimated quantities. As provided in Paragraph 11.03 of the Standard General Conditions and Supplementary Conditions, if any, estimated quantities are not guaranteed (except for those that may be estimated by the Contractor), and determinations of actual quantities and classifications are to be made by Engineer as provided in Paragraph 9.07 of the Standard General Conditions and Supplementary Conditions, if any. Final payment for unit price items will be based on actual quantities determined and based on the unit prices in the Bid Form.
- C. When the accepted quantity of any item of Unit Price Work performed by the Contractor (as measured in accordance with 9.07 of the General and Supplementary Conditions, if any) differs from the estimated quantity indicated in the attachment(s) to this Agreement for an item of Unit Price Work, no adjustment or allowance will be made for any increased expenses, loss of expected reimbursement, or loss of anticipated profits suffered or claimed by the Contractor resulting either directly or indirectly from such increased or decreased quantities, or from

unbalanced allocation of overhead expense among the Unit Price Work items on the part of the Contractor, or subsequent loss of expected reimbursements therefor.

ARTICLE 6 – PAYMENT PROCEDURES

6.01 *Submittal and Processing of Payments*

- A. Contractor shall submit Applications for Payment in accordance with Article 14 of the Standard General Conditions and Supplementary Conditions, if any. Applications for Payment will be processed by Engineer as provided in the Standard General Conditions and Supplementary Conditions, if any, and the General Requirements.

6.02 *Progress Payments; Retainage*

- A. Owner shall make progress payments on account of the Contract Price on the basis of Contractor's Applications for Payment each month during performance of the Work as provided in Paragraph 6.02.A.1 below. All such payments will be measured by the schedule of values established as provided in Paragraph 2.07.A of the Standard General Conditions and Supplementary Conditions, if any, (and in the case of Unit Price Work based on the number of units completed).
 - 1. Prior to Substantial Completion, progress payments will be made in an amount equal to the percentage indicated below but, in each case, less the aggregate of payments previously made and less such amounts as Engineer may determine or Owner may withhold, including but not limited to liquidated damages, in accordance with Paragraph 14.02 of the Standard General Conditions and Supplementary Conditions, if any, and additional retainage allowed by Laws and Regulations.
 - a. 90 percent of Work completed (with the balance of 10 percent being retainage)
 - b. 90 percent of cost of materials and equipment not incorporated in the Work (with the balance of 10 percent being retainage)
 - c. After 50 percent completion of the Work, Owner shall reduce the amount to be the withheld from each subsequent progress payment made to the Contractor 5 percent retainage, pursuant to Section 255.078, Florida Statutes.
 - d. Owner shall not be obligated to pay or release any amounts that are the subject of a good faith dispute, the subject of a claim brought pursuant to a construction bond provided pursuant to this Contract, or otherwise the subject of a claim or demand by the Owner or Contractor.
 - 2. Pursuant to Section 255.052 Florida Statutes, the Contractor may, from time to time, withdraw the whole or any portion of the amount retained for payments to the contractor pursuant to the terms of the contract, upon depositing with the Owner's chief financial officer:

- United States Treasury bonds, United States Treasury notes, United States Treasury certificates of indebtedness, or United States Treasury bills;
 - Bonds or notes of the State of Florida; or
 - Bonds of any political subdivision in the state; or
 - Cash delivered to the State Treasury for the Treasury Cash Deposit Trust Fund; or
 - Certificates of deposit from state or national banks or state or federal savings and loan associations in the state. Certificates of deposit shall possess the eligibility characteristics defined in Section 625.52 Florida Statutes.
3. Upon Substantial Completion of the entire construction to be provided under the Contract Documents, Owner shall pay an amount sufficient to increase total payments to Contractor to 95 percent of the Work completed, less such amounts set off by Owner pursuant to Paragraph 15.01.E of the General Conditions, and less Engineer's estimate of the value of Work to be completed or corrected as shown on the punch list of items to be completed or corrected prior to final payment.
1. Owner shall not be obligated to pay or release any amounts that are the subject of a good faith dispute, the subject of a claim brought pursuant to a construction bond provided pursuant to this Contract, or otherwise the subject of a claim or demand by the Owner or Contractor.

6.03 *Final Payment*

- A. Upon final completion and acceptance of the Work in accordance with Paragraph 14.07 of the General and Supplementary Conditions, if any, Owner shall pay the remainder of the Contract Price as recommended by Engineer as provided in said Paragraph 14.07.

ARTICLE 7 – INTEREST

- 7.01 All moneys not paid when due as provided in Article 14 of the General and Supplementary Conditions, if any, shall bear interest comparable to current short term lending rates in the state where the Project is located or allowed by Laws and Regulations. Interest shall not be accrued on retainage.

ARTICLE 8 – CONTRACTOR'S REPRESENTATIONS AND CERTIFICATIONS

- 8.01 In order to induce Owner to enter into this Agreement, Contractor makes the following representations:
- A. Contractor has examined and carefully studied the Contract Documents and the other related data identified in the Bidding Documents.

- B. Contractor has visited the Site and become familiar with and is satisfied as to the general, local, and Site conditions that may affect cost, progress, and performance of the Work.
- C. Contractor is familiar with and is satisfied as to all federal, state, and local Laws and Regulations that may affect cost, progress, and performance of the Work.
- D. Contractor has carefully studied all: (1) reports of explorations and tests of subsurface conditions at or contiguous to the Site and all drawings of physical conditions relating to existing surface or subsurface structures at the Site (except Underground Facilities), if any, that have been identified in Paragraph SC-4.02 of the Supplementary Conditions as containing reliable "technical data," and (2) reports and drawings of Hazardous Environmental Conditions, if any, at the Site that have been identified in Paragraph SC-4.06 of the Supplementary Conditions as containing reliable "technical data."
- E. Contractor has considered the information known to Contractor; information commonly known to contractors doing business in the locality of the Site; information and observations obtained from visits to the Site; the Contract Documents; and the Site-related reports and drawings identified in the Contract Documents, with respect to the effect of such information, observations, and documents on (1) the cost, progress, and performance of the Work; (2) the means, methods, techniques, sequences, and procedures of construction to be employed by Contractor, including any specific means, methods, techniques, sequences, and procedures of construction expressly required by the Contract Documents; and (3) Contractor's safety precautions and programs.
- F. Based on the information and observations referred to in Paragraph 8.01.E above, Contractor does not consider that further examinations, investigations, explorations, tests, studies, or data are necessary for the performance of the Work at the Contract Price, within the Contract Times, and in accordance with the other terms and conditions of the Contract Documents.
- G. Contractor is aware of the general nature of work to be performed by Owner and others at the Site that relates to the Work as indicated in the Contract Documents.
- H. Contractor has given Engineer written notice of all conflicts, errors, ambiguities, or discrepancies that Contractor has discovered in the Contract Documents, and the written resolution thereof by Engineer is acceptable to Contractor.
- I. The Contract Documents are generally sufficient to indicate and convey understanding of all terms and conditions for performance and furnishing of the Work.

8.02 The Contractor certifies, under the penalties of perjury, that:

- A. Contractor has not engaged in corrupt, fraudulent, collusive, or coercive practices in competing for or in executing the Contract. For the purposes of this Paragraph:

1. “corrupt practice” means the offering, giving, receiving, or soliciting of anything of value likely to influence the action of a public official in the bidding process or in the Contract execution;
2. “fraudulent practice” means an intentional misrepresentation of facts made (a) to influence the bidding process or the execution of the Contract to the detriment of Owner, (b) to establish Bid or Contract prices at artificial non-competitive levels, or (c) to deprive Owner of the benefits of free and open competition;
3. “collusive practice” means a scheme or arrangement between two or more Bidders, with or without the knowledge of Owner, a purpose of which is to establish Bid prices at artificial, non-competitive levels; and
4. “coercive practice” means harming or threatening to harm, directly or indirectly, persons or their property to influence their participation in the bidding process or affect the execution of the Contract.

8.03 Statutory

- A. In accordance with Section 119.0701, Florida Statutes, Contractor agrees to comply with Florida’s Public Records Law, including the following.
1. Keep and maintain public records required by the Owner to perform the services under this Agreement.
 2. Upon request by the Owner, provide the Owner with copies of the requested records, having redacted records in total on in part that are exempt from disclosure by law or allow the records to be inspected or copied within a reasonable time (with provision of a copy of such records to the Owner) on the same terms and conditions that the Owner would provide the records and at a cost that does not exceed that provided in Chapter 119, Florida Statutes, or as otherwise provided by Law.
 3. Ensure that records, in part or in total, that are exempt or that are confidential and exempt from disclosure requirements are not disclosed except as authorized by law for the duration of the Agreement term and following completion (or earlier termination) of the Agreement if Contractor does not transfer the records to the Owner;
 4. Upon completion (or earlier termination) of the Agreement, Contractor shall within 30 days after such event either transfer to the Owner, at no cost, all public records in possession of the Contractor or keep and maintain the public records in compliance with Chapter 119, Florida Statutes. If Contractor transfers all public records to the Owner upon completion (or earlier termination) of the Agreement, Contractor shall destroy any duplicate records that are exempt or confidential and exempt from public records disclosure requirements. If Contractor keeps and maintains public records upon completion (or earlier termination) of the Agreement, Contractor shall meet all applicable requirements for retaining public

records. All records stored electronically must be provided to the Owner in a format that is compatible with the information technology systems of the Owner.

5. The failure of Contractor to comply with Chapter 119, Florida Statutes, and/or the provisions set forth in this Article shall be grounds for immediate unilateral termination of the Agreement by the Owner. The Owner shall also have the option to withhold compensation due Contractor until records are received as provided herein.

6. IF THE CONTRACTOR HAS QUESTIONS REGARDING THE APPLICATION OF CHAPTER 119, FLORIDA STATUTES, TO THE CONTRACTOR'S DUTY TO PROVIDE PUBLIC RECORDS RELATING TO THIS AGREEMENT, CONTACT THE CUSTODIAN OF PUBLIC RECORDS AT:

**CITY CLERK'S OFFICE
CITY OF MASCOTTE
100 EAST MYERS BLVD
120 E MAIN STREET
MASCOTTE, FL 34753
STEPHANIE.ABRAMS@CITYOFMASCOTTE.COM
(352) 429-3341**

- B. Florida Statute 287.87, providing for a preference for drug-free workplace programs, is hereby made a part of this Contract.
- C. Contractor has certified that it has not been placed on the convicted vendor list pursuant to Section 287.133, Florida Statutes.
- D. Contractor has certified that it has not been placed on the discriminatory vendor list pursuant to Section 287.134, Florida Statutes.
- E. Contractor has certified it is not in violation of Section 287.135, Florida Statutes, and it is not on either the Scrutinized Companies with Activities in Sudan List or the Scrutinized Companies with Activities in the Iran Petroleum Energy Sector List, created pursuant to Section 215.473, Florida Statutes, or it is not on the Scrutinized Companies that Boycott Israel List, created pursuant to Section 215.4725, Florida Statutes, (effective October 1, 2016) or it is not engaged in a boycott of Israel (effective October 1, 2016) or it is not engaged in business operations in Cuba or Syria.

- 8.04 The representations and certifications Contractor submitted with its Bid shall remain valid during the period of this Agreement.

- 8.05 Contractor agrees to incorporate the applicable provisions of the Contract Documents into all subcontracts and Purchase Orders so that such provisions will be binding upon each Subcontractor or Supplier.

ARTICLE 9 – CONTRACT DOCUMENTS

9.01 *Contents*

A. The Contract Documents consist of the following:

1. This Agreement and attachments
 - Bid Form (submitted by Jeffery Hausinger and dated January 5, 2022)
 - Bid Supplements and attachments
 - Public Construction Bond
 - Insurance certificates
2. Forms listed in 00 60 00
3. Standard General Conditions in Section 00 72 05
4. Supplementary Conditions as listed in Section 00 01 10, Table of Contents
5. General Requirements and Specifications as listed in Section 00 01 10, Table of Contents
6. The following which may be delivered or issued on or after the Effective Date of the Agreement and are not attached hereto:
 - a. Notice to Proceed
 - b. Work Change Directives
 - c. Change Orders

B. The documents listed in Paragraph 9.01.A are attached to this Agreement and made a part hereof.

C. There are no Contract Documents other than those listed above in this Article 9.

D. The Contract Documents may only be amended, modified, or supplemented as provided in Paragraph 3.04 of the Standard General Conditions and Supplementary Conditions, if any.

ARTICLE 10 – MISCELLANEOUS

10.01 *Terms*

- A. Terms used in this Agreement will have the meanings stated in the Standard General Conditions and Supplementary Conditions, if any.

10.02 *Assignment of Contract*

- A. No assignment by a party hereto of any rights under or interests in the Contract will be binding on another party hereto without the written consent of the party sought to be bound; and, specifically but without limitation, moneys that may become due and moneys that are due may not be assigned without such consent (except to the extent that the effect of this restriction may be limited by law), and unless specifically stated to the contrary in any written consent to an assignment, no assignment will release or discharge the assignor from any duty or responsibility under the Contract Documents.

10.03 *Successors and Assigns*

- A. Owner and Contractor each binds itself, its partners, successors, assigns, and legal representatives to the other party hereto, its partners, successors, assigns, and legal representatives in respect to all covenants, agreements, and obligations contained in the Contract Documents.

10.04 *Severability*

- A. Any provision or part of the Contract Documents held to be void or unenforceable under any Law or Regulation shall be deemed stricken, and all remaining provisions shall continue to be valid and binding upon Owner and Contractor, who agree that the Contract Documents shall be reformed to replace such stricken provision or part thereof with a valid and enforceable provision that comes as close as possible to expressing the intention of the stricken provision.

SIGNATURES APPEAR ON THE FOLLOWING PAGE

IN WITNESS WHEREOF, Owner and Contractor have signed this Agreement. Counterparts have been delivered to Owner and Contractor. All portions of the Contract Documents have been signed or have been identified by Owner and Contractor or on their behalf.

This Agreement will be effective on 04-05-2022 (which is the Effective Date of the Agreement).

OWNER:

CITY OF MASCOTTE, FL

By: Steve Sheffield

Printed Name

Title Mayor

By: Stephanie Abrams

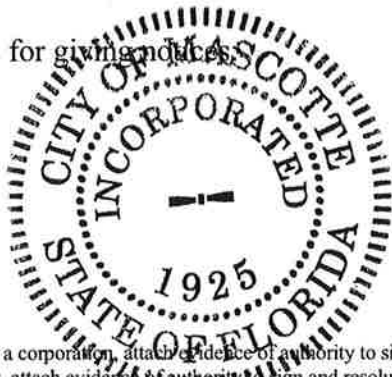
Printed Name

Title City Clerk

Attest: Sasha Lasso

Title Asst. City Clerk

Address for giving notices:



(If Owner is a corporation, attach evidence of authority to sign. If Owner is a public body, attach evidence of authority to sign and resolution or other documents authorizing execution of this Agreement.)

CONTRACTOR:

By: Jeffrey J. Hausinger

Printed Name

President

Title

License No. 9151

Attest: Joanne G. Hausinger

Joanne G. Hausinger, Secretary

Title

Address for giving notices:

P.O. Box 559
Parrish, FL 34219

Agent for service of process:

Jeffrey J. Hausinger

(If Contractor is a corporation, a partnership, or a joint venture, attach evidence of authority to sign.)

END OF SECTION

WOODARD & CURRAN

AGREEMENT FORM
00 52 10-10

SECTION 00 41 01

BID FORM

ARTICLE 1 – DEFINED TERMS

- 1.01 The terms used in this Bid with initial capital letters have the meanings stated in the Instructions to Bidders, the General Conditions and Supplementary Conditions, if any.

ARTICLE 2 – BID RECIPIENT

- 2.01 This Bid is submitted to:

**City of Mascotte, FL
100 E Myers Blvd
Mascotte, FL 34753
Attn: Larry Walker**

- 2.02 The undersigned Bidder proposes and agrees, if this Bid is accepted, to enter into an Agreement with Owner in the form included in the Bidding Documents to perform all Work as specified or indicated in the Bidding Documents for the prices and within the times indicated in this Bid and in accordance with the other terms and conditions of the Bidding Documents.

ARTICLE 3 – BIDDER’S ACKNOWLEDGEMENTS

- 3.01 Bidder accepts all of the terms and conditions of the Bidding Documents including, without limitation:
- A. those dealing with disposition of Bid security;
 - B. those included in the Supplementary Instructions to Bidders;
 - C. insurance and bonding requirements (Payment Bond and Performance Bond each equal to 100% of the total Contract Price) set forth in the General Conditions and Supplementary Conditions, if any;
 - D. Contract Times as set forth in the Agreement; and
 - E. provisions for liquidated damages as set forth in the Agreement.
- 3.02 This Bid will remain subject to acceptance for 60 days after the Bid opening or for such longer period of time that Bidder may agree to in writing upon request of Owner.

3.03 Bidder acknowledges receipt of the following Addenda.

| <u>Addendum No.</u> | <u>Addendum Date</u> |
|---------------------|----------------------|
| 1 | December 21, 2021 |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |

3.04 Bidder acknowledges the representations and certifications included in Section 00 45 05 are made a condition of the Bid.

ARTICLE 4 – BASIS OF BID

4.01 Bidder shall submit Bids for the base Bid and all Alternates. However, a single Contract, if awarded, will be awarded at the Owner's option in accordance with Article 19 of Section 00 21 13, Instructions to Bidders. **Bidder must complete all items.**

4.02 Bidder will complete the Work in accordance with the Contract Documents for the following price(s) based on unit prices included in the following schedule. The method for determining award is as set forth in Section 00 21 13. **Bidder must complete all items.**

BID PRICES SHALL EXCLUDE SALES AND USE TAX.

BASE BID

| Item No. | Description | Unit | Estimated Quantity | Bid Unit Price | Bid Price |
|------------------------------|---|------|--------------------|----------------|--------------|
| Knight Street Well #3 | | | | | |
| 1 | Mobilization/Demobilization (not to exceed 15% of Items 2 – 22) | LS | 1 | \$100,000.00 | \$100,000.00 |
| 2 | Standby Time – Rig and Crew | HR | 24 | \$350.00 | \$8,400.00 |
| 3 | Drill, Install and Grout 24-Inch Black Steel Surface Casing (Includes plus 2 feet Above Grade) | LF | 202 | \$450.00 | \$90,900.00 |
| 4 | Drill, Install and Grout 18-Inch Black Steel Intermediate Casing (Includes plus 2 feet Above Grade) | LF | 682 | \$400.00 | \$272,800.00 |
| 5 | Drill Minimum 6-Inch Diameter Pilot Borehole | LF | 420 | \$75.00 | \$31,500.00 |
| 6 | Develop/Clear Pilot Borehole | LS | 1 | \$2,500.00 | \$2,500.00 |
| 7 | Conduct Geophysical and Video Logging – Pilot Hole | LS | 1 | \$10,000.00 | \$10,000.00 |

| Item No. | Description | Unit | Estimated Quantity | Bid Unit Price | Bid Price |
|---|--|------|--------------------|----------------|-------------|
| 8 | Ream Pilot Borehole to Nominal 18-Inch Diameter | LF | 120 | \$200.00 | \$24,000.00 |
| 9 | Install 12-Inch Black Steel Production Casing (Includes plus 3 feet Above Grade) | LF | 803 | \$100.00 | \$80,300.00 |
| 10 | Grout 12-Inch Diameter Casing | CF | 740 | \$45.00 | \$33,300.00 |
| 11 | Drill 12-Inch Diameter Open Hole | LF | 300 | \$150.00 | \$45,000.00 |
| 12 | Specific Capacity Testing | EA | 25 | \$500.00 | \$12,500.00 |
| 13 | Install Test Pump and Setup for all Testing and Logging of Final Open Hole | LS | 1 | \$20,000.00 | \$20,000.00 |
| 14 | Well Development of Final Open Hole | LS | 1 | \$10,000.00 | \$10,000.00 |
| 15 | Step Rate Drawdown Test | LS | 1 | \$5,000.00 | \$5,000.00 |
| 16 | Conduct Geophysical and Video Logging – Final Open Hole | LS | 1 | \$10,000.00 | \$10,000.00 |
| 17 | Plumbness and Alignment Test | LS | 1 | \$750.00 | \$750.00 |
| 18 | Water Quality Testing – All Public Water System and Drinking Water Parameters | LS | 1 | \$10,000.00 | \$10,000.00 |
| 19 | Well Disinfection | LS | 1 | \$1,500.00 | \$1,500.00 |
| 20 | Permanent Access Port, Well Pad and Flange Cap | LS | 1 | \$2,500.00 | \$2,500.00 |
| 21 | Grout Backfill | CY | 10 | \$700.00 | \$7,000.00 |
| 22 | Gravel Fill for Cavernous Zones | CY | 10 | \$400.00 | \$4,000.00 |
| TOTAL BASE BID PRICE (All Items 1 through 22) | | | | \$ 781,950.00 | |
| Seven Hundred Eighty One Thousand, Nine Hundred Fifty | | | | | |
| ***** Dollars and <u>Zero</u> /Cents | | | | (Use figures) | |
| (Use words) | | | | | |

ALTERNATE A - Knight Street Well #4 (if awarded by Owner)

| Item No. | Description | Unit | Estimated Quantity | Bid Unit Price | Bid Price |
|------------------------------|---|------|--------------------|-----------------------|------------------------|
| Knight Street Well #4 | | | | | |
| A1 | Mobilization/Demobilization (not to exceed 15% of Items A2- | LS | 1 | \$80,000.00 | \$80,000.00 |
| A2 | Standby Time – Rig and Crew | HR | 24 | \$350.00 | \$8,400.00 |
| A3 | Drill, Install and Grout 24-Inch Black Steel Surface Casing (Includes plus 2 feet Above Grade) | LF | 202 | \$450.00 | \$90,900.00 |
| A4 | Drill, Install and Grout 18-Inch Black Steel Intermediate Casing (Includes plus 2 feet Above Grade) | LF | 682 | \$400.00 | \$272,800.00 |
| A5 | Drill Minimum 6-Inch Diameter Pilot Borehole | LF | 420 | \$75.00 | \$31,500.00 |
| A6 | Develop/Clear Pilot Borehole | LS | 1 | \$2,500.00 | \$2,500.00 |
| A7 | Conduct Geophysical and Video Logging – Pilot Hole | LS | 1 | \$10,000.00 | \$10,000.00 |
| A8 | Ream Pilot Borehole to Nominal 18-Inch Diameter | LF | 120 | \$200.00 | \$24,000.00 |
| A9 | Install 12-Inch Black Steel Production Casing (Includes plus 3 feet Above Grade) | LF | 803 | \$100.00 | \$80,300.00 |
| A10 | Grout 12-Inch Diameter Casing | CF | 740 | \$45.00 | \$33,300.00 |
| A11 | Drill 12-Inch Diameter Open Hole | LF | 300 | \$150.00 | \$45,000.00 |
| A12 | Specific Capacity Testing | EA | 25 | \$500.00 | \$12,500.00 |
| A13 | Install Test Pump and Setup for all Testing and Logging of Final Open Hole | LS | 1 | \$20,000.00 | \$20,000.00 |
| A14 | Well Development of Final Open Hole | LS | 1 | \$10,000.00 | \$10,000.00 |
| A15 | Step Rate Drawdown Test | LS | 1 | \$5,000.00 | \$5,000.00 |
| A16 | Conduct Geophysical and Video Logging – Final Open Hole | LS | 1 | \$10,000.00 | \$10,000.00 |
| A17 | Plumbness and Alignment Test | LS | 1 | \$750.00 | \$750.00 |
| A18 | Water Quality Testing – All Public Water System and Drinking Water Parameters | LS | 1 | \$10,000.00 | \$10,000.00 |
| A19 | Well Disinfection | LS | 1 | \$1,500.00 | \$1,500.00 |
| A20 | Permanent Access Port, Well Pad and Flange Cap | LS | 1 | \$2,500.00 | \$2,500.00 |

| Item No. | Description | Unit | Estimated Quantity | Bid Unit Price | Bid Price |
|--|---------------------------------|------|--------------------|----------------|------------|
| A21 | Grout Backfill | CY | 10 | \$700.00 | \$7,000.00 |
| A22 | Gravel Fill for Cavernous Zones | CY | 10 | \$400.00 | \$4,000.00 |
| TOTAL ALTERNATE A PRICE (All Items A1 through A22) | | | | | |
| Seven Hundred Sixty One Thousand, Nine Hundred Fifty ***** | | | | \$ 761,950.00 | |
| *****Dollars and <u>Zero</u> /Cents | | | | (Use figures) | |
| (Use words) | | | | | |

| | | | |
|--|--|-----------------|--|
| TOTAL BASE BID AND ALTERNATE A PRICE | | | |
| One Million, Five Hundred Forty Three Thousand, Nine Hundred ***** | | \$ 1,543,900.00 | |
| *****Dollars and <u>Zero</u> /Cents | | (Use figures) | |
| (Use words) | | | |

- 4.03 Unit Prices have been computed in accordance with Paragraph 11.03.A of the General Conditions and Supplementary Conditions, if any.
- 4.04 Bidder acknowledges that estimated quantities are not guaranteed, and are solely for the purpose of comparison of Bids, and final payment for unit price items will be based on actual quantities determined and based on the unit prices included above, as provided in the General Conditions and Supplementary Conditions, if any.

ARTICLE 5 – TIME OF COMPLETION

- 5.01 Bidder agrees that the Work will be substantially complete and will be completed and ready for final payment in accordance with Paragraph 14.07 of the General Conditions and Supplementary Conditions, if any, on or before the dates or within the number of calendar days indicated in the Agreement.
- 5.02 Bidder accepts the provisions of the Agreement as to liquidated damages.

5.03

ATTACHMENTS TO THIS BID

5.04 The following documents are fully completed, submitted with and made a part of and a condition of this Bid.

☒ 00 43 13 Bid Bond

OR

☐ Required Bid security in the form of _____

Supplements

☒ 00 43 40 Information, Schedules and Data

☒ 00 45 05 Bidder's Representations and Certifications **including required documents and submittals specified**

☒ 00 45 13 Bidder's Qualifications

☒ 00 45 19 Non-collusion Affidavit

ARTICLE 6 – COMMUNICATIONS WITH BIDDER

6.01 Communications concerning this Bid shall be addressed to:

| | |
|------------------|--------------------------------|
| Name | Jeffrey J. Hausinger |
| Title | President |
| Business Address | P.O. Box 559 Parrish, FL 34219 |
| Telephone No. | 941-721-7667 |
| Facsimile No. | 941-721-8878 |
| Email address | jjh@myhausinger.com |

ARTICLE 7 – BID SUBMITTAL

| | |
|---------------|-----------------|
| SUBMITTED ON: | January 5, 2022 |
| EIN/FEIN: | 65-0444524 |

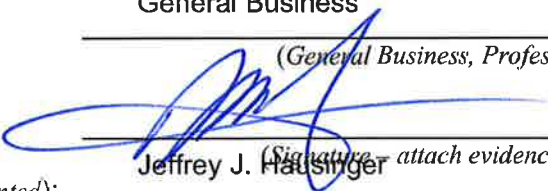
7.01 This Bid is submitted by:

A Corporation

Corporation Name: Hausinger & Associates, Inc.


State of incorporation: Florida

Type: General Business
(General Business, Professional, Service, other)

By: 
Jeffrey J. Hausinger (Signature - attach evidence of authority to sign)

Name (typed or printed): Jeffrey J. Hausinger

Title: President

(CORPORATE SEAL)
Attest: 
Joanne G. Hausinger (Signature of Corporate Secretary)

Business Address: P.O. Box 559 Parrish, FL 34219

Phone & Facsimile Nos: Ph. 941-721-7667 Fx. 941-721-8878

Email address: jjh@myhausinger.com

Date of qualification to do business as out-of-state corporation: October 23, 1993

A Limited Liability Company (LLC)

LLC Name: _____
State in which organized: _____
By: _____
(Signature – attach evidence of authority to sign)
Name (typed or printed): _____
Title: _____
Business Address: _____

Phone & Facsimile Nos: _____
Email address: _____

A Joint Venture

First Joint Venturer Name: _____
By: _____
(Signature – attach evidence of authority to sign)
Name (typed or printed): _____
Title: _____
Business Address: _____

Phone & Facsimile Nos: _____
Email address: _____

Second Joint Venturer Name:

By:

(Signature – attach evidence of authority to sign)

Name *(typed or printed)*:

Title:

Business Address:

Phone & Facsimile Nos:

Email address:

(Each joint venturer must sign. The manner of signing for each individual, partnership, corporation and limited liability company that is a party to the joint venture should be in the manner indicated above.)

A Partnership

Partnership Name:

(SEAL)

By:

(Signature of general partner – attach evidence of authority to sign)

Name *(typed or printed)*:

Business Address:

Phone & Facsimile Nos:

Email address:

An Individual

Name (*typed or printed*): _____

By: _____
(*Individual's signature*)

Doing business as: _____

Business Address: _____

Phone & Facsimile Nos: _____

Email address: _____

END OF SECTION

0232301.10

Issue Date: December 2021

Lower Floridan Aquifer Production V Item 5.
City of Mascotte, FL

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WOODARD & CURRAN

BID FORM
00 41 01-12

BID BOND

Any singular reference to Bidder, Surety, Owner or other party shall be considered plural where applicable.

BIDDER (Name and Address):

Hausinger & Associates, Inc.
PO Box 559
Parrish, FL 34219

SURETY (Name and Address of Principal Place of Business):

FCCI Insurance Company
6300 University Parkway
Sarasota, FL 34240 - 8424

OWNER (Name and Address):

City of Mascotte
100 E. Myers Blvd.
Mascotte, FL 34753

BID

Bid Due Date: January 5th, 2022

Description (Project Name and Include Location): Lower Floridan Aquifer Production Well
161 Knight Street, Mascotte FL 34753

BOND

Bond Number: NA

Date (Not earlier than Bid due date): January 5th, 2022

Penal sum Five Percent of Amount Bid

(Words)

\$ 5% of Amount Bid

(Figures)

Surety and Bidder, intending to be legally bound hereby, subject to the terms set forth below, do each cause this Bid Bond to be duly executed by an authorized officer, agent, or representative.

BIDDER

Hausinger & Associates, Inc.
Bidder's Name and Corporate Seal

By:

Signature

JEFFREY I. HAUSINGER

Print Name

PRESIDENT

Title

Attest:

Signature

SECRETARY

Title

SURETY

FCCI Insurance Company
Surety's Name and Corporate Seal

By:

Signature (Attach Power of Attorney)

Kevin Wojtowicz

Print Name

Attorney-in-Fact &
FL Licensed Agent

Title

Witness:
Attest:

Signature Margaret A. Schulz

CSR

Title

Note: Above addresses are to be used for giving any required notice. Provide execution by any additional parties, such as joint venturers, if necessary.

1. Bidder and Surety, jointly and severally, bind themselves, their heirs, executors, administrators, successors, and assigns to pay to Owner upon default of Bidder the penal sum set forth on the face of this Bond. Payment of the penal sum is the extent of Bidder's and Surety's liability. Recovery of such penal sum under the terms of this Bond shall be Owner's sole and exclusive remedy upon default of Bidder.
2. Default of Bidder shall occur upon the failure of Bidder to deliver within the time required by the Bidding Documents (or any extension thereof agreed to in writing by Owner) the executed Agreement required by the Bidding Documents and any performance and payment bonds required by the Bidding Documents.
3. This obligation shall be null and void if:
 - 3.1 Owner accepts Bidder's Bid and Bidder delivers within the time required by the Bidding Documents (or any extension thereof agreed to in writing by Owner) the executed Agreement required by the Bidding Documents and any performance and payment bonds required by the Bidding Documents, or
 - 3.2 All Bids are rejected by Owner, or
 - 3.3 Owner fails to issue a Notice of Award to Bidder within the time specified in the Bidding Documents (or any extension thereof agreed to in writing by Bidder and, if applicable, consented to by Surety when required by Paragraph 5 hereof).
4. Payment under this Bond will be due and payable upon default of Bidder and within 30 calendar days after receipt by Bidder and Surety of written notice of default from Owner, which notice will be given with reasonable promptness, identifying this Bond and the Project and including a statement of the amount due.
5. Surety waives notice of any and all defenses based on or arising out of any time extension to issue Notice of Award agreed to in writing by Owner and Bidder, provided that the total time for issuing Notice of Award including extensions shall not in the aggregate exceed 120 days from Bid due date without Surety's written consent.
6. No suit or action shall be commenced under this Bond prior to 30 calendar days after the notice of default required in Paragraph 4 above is received by Bidder and Surety and in no case later than one year after Bid due date.
7. Any suit or action under this Bond shall be commenced only in a court of competent jurisdiction located in the state in which the Project is located.
8. Notices required hereunder shall be in writing and sent to Bidder and Surety at their respective addresses shown on the face of this Bond. Such notices may be sent by personal delivery, commercial courier, or by United States Registered or Certified Mail, return receipt requested, postage pre-paid, and shall be deemed to be effective upon receipt by the party concerned.
9. Surety shall cause to be attached to this Bond a current and effective Power of Attorney evidencing the authority of the officer, agent, or representative who executed this Bond on behalf of Surety to execute, seal, and deliver such Bond and bind the Surety thereby.
10. This Bond is intended to conform to all applicable statutory requirements. Any applicable requirement of any applicable statute that has been omitted from this Bond shall be deemed to be included herein as if set forth at length. If any provision of this Bond conflicts with any applicable statute, then the provision of said statute shall govern and the remainder of this Bond that is not in conflict therewith shall continue in full force and effect.
11. The term "Bid" as used herein includes a Bid, offer, or proposal as applicable.

GENERAL POWER OF ATTORNEY

Know all men by these presents: That the FCCI Insurance Company, a Corporation organized and existing under the laws of the State of Florida (the "Corporation") does make, constitute and appoint:

Kevin R Wojtowicz

Each, its true and lawful Attorney-In-Fact, to make, execute, seal and deliver, for and on its behalf as surety, and as its act and deed in all bonds and undertakings provided that no bond or undertaking or contract of suretyship executed under this authority shall exceed the sum of (not to exceed \$2,500,000): **\$2,500,000.00**

This Power of Attorney is made and executed by authority of a Resolution adopted by the Board of Directors. That resolution also authorized any further action by the officers of the Company necessary to effect such transaction.

The signatures below and the seal of the Corporation may be affixed by facsimile, and any such facsimile signatures or facsimile seal shall be binding upon the Corporation when so affixed and in the future with regard to any bond, undertaking or contract of surety to which it is attached.

In witness whereof, the FCCI Insurance Company has caused these presents to be signed by its duly authorized officers and its corporate Seal to be hereunto affixed, this 22ND day of September, 2011.

Attest:

Craig Johnson
Craig Johnson, President
FCCI Insurance Company



Thomas A. Koval
Thomas A. Koval Esq., SVP, General Counsel,
Government Affairs and Corporate Secretary
FCCI Insurance Company

State of Florida
County of Sarasota

Before me this day personally appeared Craig Johnson, who is personally known to me and who executed the foregoing document for the purposes expressed therein.

My commission expires: 9/25/2016

ARLENE CUEMAN
Notary Public, State of Florida
My Comm. Expires Sept. 25, 2016
No. EE 213092

Arlene Cueman
Notary Public

State of Florida
County of Sarasota

Before me this day personally appeared Thomas A. Koval, Esq., who is personally known to me and who executed the foregoing document for the purposes expressed therein.

My commission expires: 9/25/2016

ARLENE CUEMAN
Notary Public, State of Florida
My Comm. Expires Sept. 25, 2016
No. EE 213092

Arlene Cueman
Notary Public

CERTIFICATE

I, the undersigned Secretary of FCCI Insurance Company, a Florida Corporation, DO HEREBY CERTIFY that the foregoing Power of Attorney remains in full force and has not been revoked; and furthermore that the February 24, 2011 Resolution of the Board of Directors, referenced in said Power of Attorney, is now in force.

Dated this 5th day of January, 2022

Thomas A. Koval
Thomas A. Koval, Esq., SVP, General Counsel,
Government Affairs and Corporate Secretary

Kayla Marquis

From: Margie Schulz <MSchulz@nielsonbonds.com>
Sent: Friday, January 7, 2022 7:42 AM
To: Kayla Marquis
Cc: Kevin Wojtowicz; Jeff Hausinger
Subject: RE: Lower Floridan Aquifer Product Well Bid - More Information
Attachments: image001.jpg; image002.png; image003.png; image004.png; image005.png; image006.png; image007.png; image008.png; image009.png

Good Morning Kayla,

We are the surety bonding agents for Hausinger & Associates, Inc. We issued the bid bond for the 5% of the amount bid, so that Mr. Hausinger count work his submittal to you for this project. We acknowledge that the contract amount will be in the amount of (\$1,543,900.00), once the contract is issued and signed. We will work with him to provide the Performance and Payment bonds.

Let us know if you should need anything further at this time.

Happy New Year & Have a FANTASTIC Weekend,
 Margie



Appreciate you and have a GREAT Day!
My Normal working hours are 7:30 – 3:30 M-F



ACRISURE Agency Partner

Margie Schulz

Contract Bond Specialist
mschulz@nielsonbonds.com
 Direct: 727.258.0802
 Main: 727.209.1803 Ext. 214
 Fax: 727.209.1335

Nielson, Wojtowicz, Neu & Associates

A Nielson Hoover Group Company
 1000 Central Avenue, Suite 200
 St. Petersburg, FL 33705
nielsonbonds.com





Download NHC's #1 Bond Request app on iTunes for FREE

The free app for iPhone and Ipad allows you to easily and quickly submit a bond request from anywhere at anytime.

Item 5.

In compliance with new federal regulations, if you wish to opt out of receiving e-mails from me concerning our products or services - please notify me by return e-mail. This email and any files transmitted with it may contain PRIVILEGED or CONFIDENTIAL information and may be read or used only by the intended recipient. If you are not the intended recipient of the email or any of its attachments, please be advised that you have received this email in error and that any use, dissemination, distribution, forwarding, printing, or copying of this email or any attached files is strictly prohibited. If you have received this email in error, please immediately purge it and all attachments and notify the sender by reply email or contact the sender at the number listed.

From: Jeff Hausinger <jjh@myhausinger.com>
Sent: Thursday, January 6, 2022 3:53 PM
To: Margie Schulz <MSchulz@nielsonbonds.com>
Cc: Kevin Wojtowicz <kevin@nielsonbonds.com>
Subject: Fwd: Lower Floridan Aquifer Product Well Bid - More Information

Please address the below request.

Regards,
Jeff Hausinger
Hausinger & Assoc. Inc.
PO Box 559
Parrish, FL 34219
Cell 941-720-3416
(from my iPhone)

Begin forwarded message:

From: Kayla Marquis <KMarquis@woodardcurran.com>
Date: January 6, 2022 at 3:27:14 PM EST
To: Jeff Hausinger <jjh@myhausinger.com>
Subject: Lower Floridan Aquifer Product Well Bid - More Information

Hi Jeff,

In reviewing your Bid we noted that the Bid Bond states "*Five Percent of Amount Bid*" under the Penal sum line item. Could you provide confirmation from the Surety that the Amount Bid is as presented on the Bid Form (\$1,543,900)? Something as simple as an email will suffice.

Thanks in advance,
Kayla

Kayla Marquis
Engineer
Woodard & Curran
80 Exchange Street Suite 400
Bangor, ME 04401
Office: 207.558.3761
www.woodardcurran.com

COMMITMENT & INTEGRITY DRIVE RESULTS

SECTION 00 43 40

INFORMATION, SCHEDULES AND DATA

1.01 PROJECT INFORMATION

- A. The Project is located at 161 Knight Street, Mascotte, FL 34753. Refer to the Location Map included at the end of the Technical Specifications.
- B. Geotechnical investigations will be conducted by the City prior to the commencement of this project to confirm the absence of underground utilities at the drilling location. Contractor shall not commence work until such confirmation has been made by the Owner.

1.02 PROPOSED SCHEDULE AND WORKPLAN

- A. The City has obtained grant funding from St. Johns River Water Management District (SJRWMD) and Florida Department of Environmental Protection (FDEP) for this project, and the construction schedule is critical to ensure the City receives such funding. Provide an estimated project start date in the space below based on the Bidders availability and current commitments at the time of the Bid.

Proposed/Estimated Project Start Date: March 1, 2022

- B. A dual rotary rig drilling method is specified in the Technical Specifications for installation of the 24-inch surface and 18-inch intermediate casings. Please note that alternative drilling methods will not be considered.

1.03 EXCEPTIONS TO SPECIFICATIONS

List all exceptions to Bid requirements.

| | |
|----------|--|
| 1 | |
| 2 | |
| 3 | |
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| 5 | |

END OF SECTION

SECTION 00 45 05

BIDDER'S REPRESENTATIONS AND CERTIFICATIONS

The undersigned, under the penalties of perjury, represents and certifies the following which is made a condition of the Bid.

1.01 BIDDER'S REPRESENTATIONS

- A. Bidder has examined and carefully studied the Bidding Documents and other related data identified in the Bidding Documents.
- B. Bidder has visited the Site and become familiar with and is satisfied as to the general, local, and Site conditions that may affect cost, progress, and performance of the Work.
- C. Bidder is familiar with and is satisfied as to all Laws and Regulations that may affect cost, progress, and performance of the Work.
- D. Bidder has considered the information known to Bidder; information and observations obtained from visits to the Site; the Bidding Documents; and the Site-related reports and drawings identified in the Bidding Documents, with respect to the effect of such information, observations, and documents on (1) the cost, progress, and performance of the Work; (2) the means, methods, techniques, sequences, and procedures of construction to be employed by Bidder, including applying the specific means, methods, techniques, sequences, and procedures of construction expressly required by the Bidding Documents; and (3) Bidder's safety precautions and programs.
- E. Based on the information and observations referred to in Paragraph E above, Bidder does not consider that further examinations, investigations, explorations, tests, studies, or data are necessary for the determination of the Bid for performance of the Work at the price(s) bid and within the times required, and in accordance with the other terms and conditions of the Bidding Documents.
- F. Bidder is aware of the general nature of work to be performed by Owner and others at the Site that relates to the Work as indicated in the Bidding Documents.
- G. Bidder has given Engineer written notice of all conflicts, errors, ambiguities, or discrepancies that Bidder has discovered in the Bidding Documents, and the written resolution thereof by Engineer is acceptable to Bidder.
- H. The Bidding Documents are generally sufficient to indicate and convey understanding of all terms and conditions for the performance of the Work for which the Bid is submitted.

1.02 BIDDER'S CERTIFICATIONS

- A. The Bid is genuine and not made in the interest of or on behalf of any undisclosed individual or entity and is not submitted in conformity with any collusive agreement or rules of any group, association, organization, or corporation.
- B. Bidder has not directly or indirectly induced or solicited any other Bidder to submit a false or sham Bid and has not solicited or induced any individual or entity to refrain from bidding.
- C. Bidder has not engaged in corrupt, fraudulent, collusive, or coercive practices in competing for the Contract. For the purposes of this Paragraph:
 - 1. "corrupt practice" means the offering, giving, receiving, or soliciting of anything of value likely to influence the action of a public official in the bidding process;
 - 2. "fraudulent practice" means an intentional misrepresentation of facts made (a) to influence the bidding process to the detriment of Owner, (b) to establish Bid prices at artificial non-competitive levels, or (c) to deprive Owner of the benefits of free and open competition;
 - 3. "collusive practice" means a scheme or arrangement between two or more Bidders, with or without the knowledge of Owner, a purpose of which is to establish Bid prices at artificial, non-competitive levels; and
 - 4. "coercive practice" means harming or threatening to harm, directly or indirectly, persons or their property to influence their participation in the bidding process or affect the execution of the Contract.
- D. Bidder will comply with the requirements of the Contract Documents, and if Bidder is awarded a Contract, agrees to incorporate applicable provisions into all subcontracts and Purchase Orders so that such provisions will be binding upon each Subcontractor or Supplier, including as a minimum, Statutory Requirements, safety and health regulations; and Wage Rate Requirements.


1.03 STATUTORY CERTIFICATIONS

- A. Bidder has not been found guilty by a court of any violation of federal labor or employment tax laws regarding subjects such as safety, tax withholding, workers' compensation, reemployment assistance or unemployment tax, social security and Medicare tax, wage or hour, or prevailing rate laws within the past 5 years pursuant to Section 255.20 Florida Statutes, and is therefore is eligible to Bid pursuant to Section 255.20 Florida Statutes.
- B. If the Bid is \$1,000,000 or more, Bidder is not on either the Scrutinized Companies with Activities in Sudan List or the Scrutinized Companies with Activities in the

**BIDDER'S REPRESENTATIONS
AND CERTIFICATIONS**

Iran Petroleum Energy Sector List, created pursuant to Section 215.473, Florida Statutes, and is not on the Scrutinized Companies that Boycott Israel List, created pursuant to Section 215.4725, Florida Statutes, (effective October 1, 2016) or is not engaged in a boycott of Israel (effective October 1, 2016) or is not engaged in business operations in Cuba or Syria, and is therefore is eligible to Bid, pursuant to Section 287.135, Florida Statutes.

- C. Bidder has not been placed on the convicted vendor list, has submitted the Affidavit on Public Entity Crimes included as an attachment to this Section, and therefore is eligible to Bid pursuant to Section 287.133, Florida Statutes.
- D. Bidder has not been placed on the discriminatory vendor list, and therefore is eligible to Bid pursuant to pursuant to Section 287.134, Florida Statutes.
- E. If awarded a Contract, Bidder agrees to utilize the U.S. Department of Homeland Security's E-Verify Systems to verify the employment eligibility of all persons employed during the term of the Contract.
- F. Bidder has implemented a drug-free workplace program. ☐Yes ☐No

| | |
|--|---------------------------------------|
| SUBMITTED ON: | January 5, 2022 |
| By:  | Jeffrey J. Hausinger, President |
| | <i>Authorized person per Bid Form</i> |

END OF SECTION

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SECTION 00 45 13

BIDDER'S QUALIFICATIONS

The following data, statements of experience, personnel, equipment and general qualifications are submitted as a part of the Bid and the Bidder represents and guarantees the truthfulness and accuracy thereof and its **ability to meet the qualifications requirements specified in Section 01 43 05 and the Specifications**. Attach additional sheets as necessary properly cross referenced.

1.01 GENERAL

- A. Bidder's organization is a Florida Corporation
(entity type) and has been in business continuously from the year
1993.

Bidder has operated under the same business name and organization structure for
the last 5 years on at least 5 projects ☒ yes ☐ no

If no, indicate other business names: _____

- B. Bidder's organization has had experience in construction comparable to that
required by the Contract Documents as a prime contractor for 28 years
and as a subcontractor for _____ years.

1.02 BIDDER EXPERIENCE

- A. Identify at least 2 projects in the state the Project is located completed within the past 5 years **which are similar** in type, character, physical size, and complexity to that required by the Contract Documents.

| Client/Owner Name/Address | Project Name/Location | CURRENT Contact Name, Phone, Email | Contract Value | Time Period |
|---|--|--|-------------------------------------|----------------|
| Bonita Springs Utilities 11900 E. Terry St. Bonita Springs, FL 34135 | 5 New Production Wells Bonita Springs, FL | Patrick Suniewick 239-992-0711 office 239-940-0427 cell PSuniewick@bsu.us | \$1,752,315.00 | 05/17 to 12/18 |
| The Villages c/o Arnett Environmental LLC 1038 Lake Sumter Landings The Villages, FL 32162 | 9 New Production Wells The Villages, FL | Brian Foulks, PE 352-753-4747 brian.foulkes@ArnettEnvironmental.com | 9 @ \$350,000.00 to \$400,000.00 | 07/21 to 01/22 |
| | | | | |
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1.09 BUSINESS INTERESTS

- A. Identify the names and addresses of the members of the Board of Directors of corporation, or the names and addresses of all persons and parties interested in this Bid as partners of a partnership or as individuals. Attach additional sheets as necessary.

| Name | Address | Telephone No. |
|----------------------|--------------------------------|---------------|
| Jeffrey J. Hausinger | P.O. Box 559 Parrish, FL 34219 | 941-721-7667 |
| | | |
| | | |
| | | |
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| | | |

- B. Identify the bank or banks representing the financial responsibility of the Bidder.

| Name of Bank | Address | Contact Name and Telephone No. |
|--------------|-------------------------------------|---|
| Ameris Bank | 995 Haben Blvd., Palmetto, FL 34221 | Sherry Harris, VP 941-981-6024 Sherry.Harris@amerisbank.com |
| | | |
| | | |
| | | |
| | | |

1.10 VIOLATIONS

- A. Following is a list of violations Bidder and its main Subcontractors have received or been the subject of, or otherwise been involved in, regarding any state or local ethic laws, regulation, code, ordinance, policy, or standard, or offenses arising out of submission of bids or the performance of work on public works projects or contracts over the last 10 years. Attach additional sheets as necessary.

| | |
|--|-----|
| Name and Location of the Project | N/A |
| Nature of the Violation/Offense | |
| Duration and dates during which the violation/offense took place | |
| Name and Location of the Project | N/A |
| Nature of the Violation/Offense | |
| Duration and dates during which the violation/offense took place | |
| Name and Location of the Project | N/A |
| Nature of the Violation/Offense | |
| Duration and dates during which the violation/offense took place | |

1.11 LABOR DISPUTES

- A. Identify labor disputes the Bidder has been the subject of, or otherwise been involved in, during the last 10 years. For these purposes, "labor disputes" shall include picketing or any other activity which disrupted or delayed the work. Attach additional sheets as necessary.

| | |
|--|-----|
| Name and Location of the Project | N/A |
| Nature of the Dispute | |
| Duration and dates during which the dispute took place | |
| How the dispute was resolved | |
| Name and Location of the Project | N/A |
| Nature of the Dispute | |
| Duration and dates during which the dispute took place | |
| How the dispute was resolved | |

END OF SECTION

SECTION 00 45 19

NON-COLLUSION AFFIDAVIT

Jeffrey J. Hausinger, President, being duly sworn,
depose and, under the penalty of perjury, say that the following is true:

1. I am the person responsible within my firm for the final decision as to the price(s) and amount of this Bid or, if not, that I have written authorization, enclosed herewith, from that person to make the statements set out below on his or her behalf and on the behalf of my firm.
2. The price(s) and amount of this Bid have been arrived at independently, without collusion, consultation, communication, or agreement for the purpose of restricting competition with any other contractor, competitor, Bidder, or potential Bidder.
3. Unless otherwise required by law, neither the price(s) nor the amount of this Bid have been disclosed to any other firm or person who is a Bidder, competitor, or potential Bidder on the Project, and will not be so disclosed either directly or indirectly prior to Bid opening.
4. No attempt has been made or will be made to solicit, cause, or induce any firm, partnership, corporation, or person to submit or not submit a Bid on this Project, or to submit a Bid higher than the Bid of this firm, or submit an intentionally high or noncompetitive Bid or other form of complementary Bid, or for the purpose of restricting competition.
5. The Bid of my firm is made in good faith and not pursuant to any agreement or discussion with, or inducement from, any firm or person to submit a complementary Bid.
6. My firm has not offered or entered into a subcontracting agreement regarding the purchase of materials or services from any firm or person, or offered, promised, or paid cash or anything of value to any firm or person, whether in connection with this or any other Project, in consideration for an agreement or promise by any firm or person to refrain from proposing or to submit a complementary Bid on the Project.
7. My firm has not accepted nor been promised any subcontract or agreement regarding the sale of materials or services to any firm or person, and has not been promised or paid cash or anything of value to any firm or person, whether in connection with this or any other project, in consideration for my firm's submitting a complementary Bid or agreeing to do so, on the Project.

8. I have made a diligent inquiry of all members, officers, employees, and agents of my firm with responsibilities relating to the preparation, approval, or submission of my firm's Bid on the Project and have been advised by each of them that he or she has not participated in any communication, consultation, discussion, agreement, collusion, act, or other conduct inconsistent with any of the statements and representations made in this affidavit.

Hausinger & Associates, Inc.

Company Name



Signature

Jeffrey J. Hausinger, President

Company Position

Date: January 5, 2022


Attest: _____

Joanne G. Hausinger, Secretary

Date: January 5, 2022

END OF SECTION



July 31, 2023
Expiration Date

Well Construction Section
Water Use Permit Bureau

PUBLIC CONSTRUCTION BOND
(per Section 255.05, Florida Statutes)

CONTRACTOR (name and address telephone number):

Hausinger & Associates, Inc.
P.O. Box 559
Parrish, FL 34219
941-721-7667

SURETY NAME (if more than one list each)

FCCI Insurance Company
6300 University Parkway
Sarasota, FL 34240 - 8424

Address of principal place of business):

6300 University Parkway
Sarasota, FL 34240 - 8424

OWNER (name and address and telephone number):

City of Mascotte
100 E. Myers Blvd.
Mascotte, FL 34753
352-429-3341

Telephone number:

(800) 226-3224

BOND

Bond Number: 3302485

CONSTRUCTION CONTRACT

Effective Date of the Agreement:

Amount: \$1,543,900.00

Description (name and location):

Lower Floridan Aquifer Production Well
161 Knight Street
Mascotte, FL 34753

Date (not earlier than the Effective Date of the Agreement
of the Construction Contract):

Amount: \$1,543,900.00

KNOW ALL MEN BY THESE PRESENTS that we,

HAUSINGER & ASSOCIATES, INC.

(Name of CONTRACTOR)

hereinafter called Principal, of the State of FLORIDA, and

FCCI Insurance Company

(Name of SURETY)

a corporation organized and existing under and by virtue of the laws of the State of Florida
and regularly authorized to do business in the State of Florida, as SURETY, are held and firmly bound unto

CITY OF MASCOTTE

(Name of OWNER)

a CITY, organized and existing under the laws of the State of
Florida, hereinafter called Owner,

in the penal sum of One million, five hundred forty three thousand, nine hundred Dollars and zero Cents
(\$ 1,543,900.00), lawful money of the United States of America, for the
payment whereof well and truly to be made, we bind ourselves, our heirs, executors, and administrators, successors
and assigns, jointly and severally, firmly by these presents.

THE CONDITION OF THIS BOND is that if Principal:

1. Performs the Contract dated _____, between Principal and Owner for construction of the Construction Contract specified above, the contract being made a part of this Bond by reference, in the time and in the manner prescribed in the contract; and
2. Promptly makes payments to all claimants, as defined in Section 255.05(1) (Section 713.01), Florida Statutes, supplying Principal with labor, materials, or supplies, used directly or indirectly by Principal in the prosecution of the work provided for in the contract; and
3. Pays Owner all losses, damages, expenses, costs, and attorney's fees, including appellate proceedings, that Owner sustains because of a default by Principal under the contract; and
4. Performs the guarantee of all work and materials furnished under the contract for the time specified in the contract, then this Bond is void; otherwise it remains in full force.

Principal and Surety acknowledge that the Work for which this Bond has been issued may be one of several such Contract Documents for a group of projects. This Bond does not secure covenants to pay for or to perform design services survey or program management services. The Owner is expected to reasonably account for damages that are caused to Owner with respect to Principal's (Contractor's) default in performance of the scope of the Work incorporated by reference into the Bond, and notwithstanding any contractual or common law remedy permitted to Owner as against Contractor, the obligation of Surety for any damages under this Bond shall be determined by the cost of completion of the Work less the contract balance unpaid upon default of Contractor for the Work plus liquidated damages at the daily rate stated in the Agreement for delays by the Contractor and/or Surety in reaching Substantial Completion.

The notice requirements for claimants and conditions for entitlement to payment set forth in Section 255.05(2), Florida Statutes and the limitations period to actions upon Section 255.05, Florida Statutes, bonds apply to claimants seeking payment from surety under this Bond. Any action instituted by a claimant under this Bond for payment must be in accordance with the notice and time limitation provisions in Section 255.05, Florida Statutes.

The Surety, for value received, hereby stipulates and agrees that no changes, extensions of time, alterations or additions to the terms of the Contract Documents or other Work to be performed hereunder, or the Specifications referred to therein shall in any way affect its obligations under this Bond, and it does hereby waive notice of any such changes, extensions of time, alterations or additions to the terms of the Contract or to Work or to the Specifications.

The above Surety states that it has read all of the Contract Documents made by the Contractor with the Owner, hereto attached, and the terms and conditions of the Contract and Work, and is familiar therewith and in particular those portions of the Agreement concerning the guaranty of such Contract for a period of one year following the date of the final acceptance of the completed Work under the Contract by the Owner, all of which this Bond includes.

Surety and Contractor, intending to be legally bound hereby, subject to the terms set forth above, do each cause this Bond to be duly executed by an authorized officer, agent, or representative.

DATED ON _____

CONTRACTOR AS PRINCIPAL

HAUSINGER & ASSOCIATES, INC.

(seal)

Contractor's Name and Corporate Seal

By: _____

Signature

Jeffrey J. Hausinger

Print Name

President

Title

Attest: _____

Signature

Joanne G. Hausinger, Secretary

Title

SURETY

FCCI Insurance Company

(seal)

Surety's Name and Corporate Seal

By: _____

Signature (attach power of attorney)

Kevin R. Wojtowicz

Print Name

Attorney-in-Fact &
FL Licensed Agent

Title

Witness: _____

~~Attest:~~

Signature

Margaret A. Schulz

Witness

Title

Notes: (1) Provide supplemental execution by any additional parties, such as joint venturers. (2) Any singular reference to Contractor, Surety, Owner, or other party shall be considered plural where applicable.



GENERAL POWER OF ATTORNEY

Know all men by these presents: That the FCCI Insurance Company, a Corporation organized and existing under the laws of the State of Florida (the "Corporation") does make, constitute and appoint:

Kevin R Wojtowicz; John R Neu; David R Turcios; Tracey C Brown-Boone; Laura Mosholder; Jessica Reno

Each, its true and lawful Attorney-In-Fact, to make, execute, seal and deliver, for and on its behalf as surety, and as its act and deed in all bonds and undertakings provided that no bond or undertaking or contract of suretyship executed under this authority shall exceed the sum of (not to exceed \$10,000,000.00): \$10,000,000.00

This Power of Attorney is made and executed by authority of a Resolution adopted by the Board of Directors. That resolution also authorized any further action by the officers of the Company necessary to effect such transaction.

The signatures below and the seal of the Corporation may be affixed by facsimile, and any such facsimile signatures or facsimile seal shall be binding upon the Corporation when so affixed and in the future with regard to any bond, undertaking or contract of surety to which it is attached.

In witness whereof, the FCCI Insurance Company has caused these presents to be signed by its duly authorized officers and its corporate seal to be hereunto affixed, this 31st day of January, 2019.

Attest:

Craig Johnson

Craig Johnson, President
FCCI Insurance Company



Cina Welch

Cina Welch, EVP, General Counsel,
Chief Audit & Compliance Officer, Secretary
FCCI Insurance Company

State of Florida
County of Sarasota

Before me this day personally appeared Craig Johnson, who is personally known to me and who executed the foregoing document for the purposes expressed therein.

My commission expires: 9/25/2020



Arlene Alonso

Notary Public

State of Florida
County of Sarasota

Before me this day personally appeared Cina Welch, who is personally known to me and who executed the foregoing document for the purposes expressed therein.

My commission expires: 9/25/2020



Arlene Alonso

Notary Public

CERTIFICATE

I, the undersigned Secretary of FCCI Insurance Company, a Florida Corporation, DO HEREBY CERTIFY that the foregoing Power of Attorney remains in full force and has not been revoked; and furthermore that the February 24, 2011 Resolution of the Board of Directors, referenced in said Power of Attorney, is now in force.

Dated this _____ day of _____

Cina Welch

Cina Welch, EVP, General Counsel,
Chief Audit & Compliance Officer, Secretary

PUBLIC CONSTRUCTION BOND
(per Section 255.05, Florida Statutes)

CONTRACTOR (name and address telephone number):

Hausinger & Associates, Inc.
P.O. Box 559
Parrish, FL 34219
941-721-7667

SURETY NAME (if more than one list each)

FCCI Insurance Company
6300 University Parkway
Sarasota, FL 34240 - 8424

Address of principal place of business):

6300 University Parkway
Sarasota, FL 34240 - 8424

Telephone number:

(800) 226-3224

OWNER (name and address and telephone number):

City of Mascotte
100 E. Myers Blvd.
Mascotte, FL 34753
352-429-3341

BOND

Bond Number: 3302485

CONSTRUCTION CONTRACT

Effective Date of the Agreement:

Amount: \$1,543,900.00

Description (name and location):

Lower Floridan Aquifer Production Well
161 Knight Street
Mascotte, FL 34753

Date (not earlier than the Effective Date of the Agreement of the Construction Contract):

Amount: \$1,543,900.00

KNOW ALL MEN BY THESE PRESENTS that we,

HAUSINGER & ASSOCIATES, INC.

(Name of CONTRACTOR)

hereinafter called Principal, of the State of FLORIDA, and

FCCI Insurance Company

(Name of SURETY)

a corporation organized and existing under and by virtue of the laws of the State of Florida and regularly authorized to do business in the State of Florida, as SURETY, are held and firmly bound unto

CITY OF MASCOTTE

(Name of OWNER)

a CITY, organized and existing under the laws of the State of Florida, hereinafter called Owner,

in the penal sum of One million, five hundred forty three thousand, nine hundred Dollars and zero Cents (\$ 1,543,900.00), lawful money of the United States of America, for the payment whereof well and truly to be made, we bind ourselves, our heirs, executors, and administrators, successors and assigns, jointly and severally, firmly by these presents.

THE CONDITION OF THIS BOND is that if Principal:

1. Performs the Contract dated _____, between Principal and Owner for construction of the Construction Contract specified above, the contract being made a part of this Bond by reference, in the time and in the manner prescribed in the contract; and
2. Promptly makes payments to all claimants, as defined in Section 255.05(1) (Section 713.01), Florida Statutes, supplying Principal with labor, materials, or supplies, used directly or indirectly by Principal in the prosecution of the work provided for in the contract; and
3. Pays Owner all losses, damages, expenses, costs, and attorney's fees, including appellate proceedings, that Owner sustains because of a default by Principal under the contract; and
4. Performs the guarantee of all work and materials furnished under the contract for the time specified in the contract, then this Bond is void; otherwise it remains in full force.

Principal and Surety acknowledge that the Work for which this Bond has been issued may be one of several such Contract Documents for a group of projects. This Bond does not secure covenants to pay for or to perform design services survey or program management services. The Owner is expected to reasonably account for damages that are caused to Owner with respect to Principal's (Contractor's) default in performance of the scope of the Work incorporated by reference into the Bond, and notwithstanding any contractual or common law remedy permitted to Owner as against Contractor, the obligation of Surety for any damages under this Bond shall be determined by the cost of completion of the Work less the contract balance unpaid upon default of Contractor for the Work plus liquidated damages at the daily rate stated in the Agreement for delays by the Contractor and/or Surety in reaching Substantial Completion.

The notice requirements for claimants and conditions for entitlement to payment set forth in Section 255.05(2), Florida Statutes and the limitations period to actions upon Section 255.05, Florida Statutes, bonds apply to claimants seeking payment from surety under this Bond. Any action instituted by a claimant under this Bond for payment must be in accordance with the notice and time limitation provisions in Section 255.05, Florida Statutes.

The Surety, for value received, hereby stipulates and agrees that no changes, extensions of time, alterations or additions to the terms of the Contract Documents or other Work to be performed hereunder, or the Specifications referred to therein shall in any way affect its obligations under this Bond, and it does hereby waive notice of any such changes, extensions of time, alterations or additions to the terms of the Contract or to Work or to the Specifications.

The above Surety states that it has read all of the Contract Documents made by the Contractor with the Owner, hereto attached, and the terms and conditions of the Contract and Work, and is familiar therewith and in particular those portions of the Agreement concerning the guaranty of such Contract for a period of one year following the date of the final acceptance of the completed Work under the Contract by the Owner, all of which this Bond includes.

Surety and Contractor, intending to be legally bound hereby, subject to the terms set forth above, do each cause this Bond to be duly executed by an authorized officer, agent, or representative.

DATED ON _____

CONTRACTOR AS PRINCIPAL

HAUSINGER & ASSOCIATES, INC. _____ (seal)
 Contractor's Name and Corporate Seal

By: _____
 Signature
 Jeffrey J. Hausinger

Print Name
 President

Title
 Attest: _____
 Signature
 Joanne G. Hausinger, Secretary

Title

SURETY

FCCI Insurance Company _____ (seal)
 Surety's Name and Corporate Seal

By: _____
 Signature (attach power of attorney)

Kevin R. Wojtowicz
 Print Name

Attorney-in-Fact &
 FL Licensed Agent
 Title

Witness: _____
 Signature
 Margaret A. Schulz

Witness
 Title

Notes: (1) Provide supplemental execution by any additional parties, such as joint venturers. (2) Any singular reference to Contractor, Surety, Owner, or other party shall be considered plural where applicable.



More than a policy. A promise.

GENERAL POWER OF ATTORNEY

Know all men by these presents: That the FCCI Insurance Company, a Corporation organized and existing under the laws of the State of Florida (the "Corporation") does make, constitute and appoint:

Kevin R Wojtowicz; John R Neu; David R Turcios; Tracey C Brown-Boone; Laura Mosholder; Jessica Reno

Each, its true and lawful Attorney-In-Fact, to make, execute, seal and deliver, for and on its behalf as surety, and as its act and deed in all bonds and undertakings provided that no bond or undertaking or contract of suretyship executed under this authority shall exceed the sum of (not to exceed \$10,000,000.00): \$10,000,000.00

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Attest:

Craig Johnson

Craig Johnson, President
FCCI Insurance Company



Cina Welch

Cina Welch, EVP, General Counsel,
Chief Audit & Compliance Officer, Secretary
FCCI Insurance Company

State of Florida
County of Sarasota

Before me this day personally appeared Craig Johnson, who is personally known to me and who executed the foregoing document for the purposes expressed therein.

My commission expires: 9/25/2020



Arlene Alonso

Notary Public

State of Florida
County of Sarasota

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Arlene Alonso

Notary Public

CERTIFICATE

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Dated this _____ day of _____

Cina Welch

Cina Welch, EVP, General Counsel,
Chief Audit & Compliance Officer, Secretary





CERTIFICATE OF LIABILITY INSURANCE

DATE (M)
2/10
Item 5.

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an **ADDITIONAL INSURED**, the policy(ies) must have **ADDITIONAL INSURED** provisions or be endorsed. If **SUBROGATION** IS **WAIVED**, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

| | | | |
|---|--|--|--|
| PRODUCER Blackadar Insurance Agency, Inc. 1436 N Ronald Reagan Blvd Longwood FL 32750 | | CONTACT NAME: Denise Carberry PHONE (A/C, No, Ext): 407-831-3832 E-MAIL ADDRESS: denise@blackadar.com FAX (A/C, No): 407-830-4681 | |
| | | INSURER(S) AFFORDING COVERAGE | |
| | | INSURER A: FFVA Mutual Insurance Company | |
| | | INSURER B: Guideone National Insurance Company | |
| | | INSURER C: Allied Insurance | |
| | | INSURER D: Depositors Insurance Company | |
| | | INSURER E: | |
| | | INSURER F: | |

COVERAGES **CERTIFICATE NUMBER:** 1681180677 **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

| INSR LTR | TYPE OF INSURANCE | ADDL INSD | SUBR WVD | POLICY NUMBER | POLICY EFF (MM/DD/YYYY) | POLICY EXP (MM/DD/YYYY) | LIMITS |
|----------|--|-----------|----------|---------------------|-------------------------|-------------------------|--|
| C | <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER: | Y | Y | ACP3019657182 | 3/1/2021 | 3/1/2022 | EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 300,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 \$ |
| D | <input checked="" type="checkbox"/> AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY | Y | Y | ACP3019657182 | 3/1/2021 | 3/1/2022 | COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ PIP \$ 10,000 |
| C | <input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$ | | | ACP3019657182 | 3/1/2021 | 3/1/2022 | EACH OCCURRENCE \$ 5,000,000 AGGREGATE \$ 5,000,000 \$ |
| A | WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below | Y/N | N/A | WC840-0034742-2021A | 3/1/2021 | 3/1/2022 | <input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000 |
| B | Pollution | | | ENV562002522-01 | 3/1/2021 | 3/1/2022 | Each Condition Aggregate 1,000,000 2,000,000 |

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
General Liability - Blanket AI ongoing & completed operations per written contract. Primary and non contributory and Waiver of Subrogation applies. Auto Liability - Blanket Additional Insured and Waiver of Subrogation applies per written contract. Pollution policy certificate holder is included as Additional insured on a primary and non contributory basis and Waiver of Subrogation applies.
Waiver of Subrogation applies to the Workers Compensation per written contract. Umbrella policy follows form for the General Liability, Auto Liability and Workers Compensation policies.

| | |
|--|--|
| CERTIFICATE HOLDER CITY OF MASCOTTE 100 E. MYERS BLVD. Mascotte FL 34753 | CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE |
|--|--|

**BUSINESS AUTO
AC 01 01A 03 08**

THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.

COMMERCIAL AUTO PLUS ENDORSEMENT

This endorsement modifies insurance provided under the following:

BUSINESS AUTO COVERAGE FORM

A. NEWLY ACQUIRED OR FORMED ENTITIES

The Named Insured shown in the Declarations is amended to include any organization you newly acquire or form, other than a partnership, joint venture, or limited liability company, and over which you maintain ownership or majority (more than 50%) interest; if there is no other similar insurance available to that organization. Coverage under this provision is afforded until the 180th day after you acquire or form the organization or the end of the policy period, whichever is later.

B. TEMPORARY SUBSTITUTE AUTOS – PHYSICAL DAMAGE COVERAGE

The following is added to paragraph C. Certain Trailers, Mobile Equipment And Temporary Substitute Autos of SECTION I – COVERED AUTOS:

If Physical Damage Coverage is provided by this Coverage Form, the following types of vehicles are also covered "autos" for Physical Damage Coverage:

Any "auto" you do not own while used with the permission of its owner as a temporary substitute for a covered "auto" you own that is out of service because of its:

- a. Breakdown;
- b. Repair;
- c. Servicing;
- d. "Loss"; or
- e. Destruction

The coverage that applies is the same as the coverage provided for the vehicle being replaced.

C. EMPLOYEES AS INSUREDS – NONOWNED AUTOS

The following is added to paragraph A.1. Who Is An Insured of SECTION II – LIABILITY Coverage:

- d. Any "employee" of yours is an "insured" while using a covered "auto" you don't own,

hire or borrow in your business or your personal affairs.

D. SUPPLEMENTARY PAYMENTS – BAIL BONDS

Paragraph A.2.a. (2) of Section II – LIABILITY COVERAGE is revised as follows:

- (2) Up to \$2,500 for cost of bail bonds (including bonds for related traffic law violations) required because of an "accident" we cover. We do not have to furnish these bonds.

E. SUPPLEMENTARY PAYMENTS – LOSS OF EARNINGS

Paragraph A.2.a.(4) of Section II – LIABILITY COVERAGE is revised as follows:

- (2) All reasonable expenses incurred by the "insured" at our request, including actual loss of earnings up to \$500 a day because of time off from work.

F. FELLOW EMPLOYEE – OFFICERS, MANAGERS, AND SUPERVISORS

Paragraph B.5. Fellow Employee of SECTION II LIABILITY COVERAGE is replaced by the following:

5. "Bodily injury" to any fellow "employee" of the "insured" arising out of and in the course of the fellow "employee's" employment or while performing duties related to the conduct of your business. This exclusion does not apply to an "insured" who occupies a position as an officer, manager, or supervisor.

G. PERSONAL EFFECTS AND PROPERTY OF OTHERS EXTENSION

1. Paragraph B.6. Care, Custody or Control of SECTION II - LIABILITY COVERAGE does not apply to "property damage" to property, other than your property, up to an amount not exceeding \$250 in any one "accident". Coverage is excess over any other valid and collectible insurance.

AC 01 01A 03 08

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Page 1 of 3

AC 01 01A 03 08

2. The following paragraph is added to Section A.4. Coverage Extensions of SECTION III – PHYSICAL DAMAGE COVERAGE:

- c. We will pay up to \$500 for your property that is lost or damaged as a result of a covered "loss", without applying a deductible. Coverage is excess over any other valid and collectible insurance.

H. HIRED AUTO PHYSICAL DAMAGE

If covered "auto" designation symbols 1 or 8 apply to Liability Coverage and if at least one "auto" you own is covered by this policy for Comprehensive, Specified Causes of Loss, or Collision coverages, then the Physical Damage coverages provided are extended to "autos" you lease, hire, rent or borrow without a driver; and provisions in the Business Auto Coverage Form applicable to Hired Auto Physical Damage apply. The deductible will be equal to the largest deductible applicable to any owned "auto" for that coverage. Any Comprehensive deductible does not apply to fire or lightning.

I. EXPANDED TOWING COVERAGE

We will pay up to:

1. \$100 for a covered "auto" you own of the private passenger type, or
2. \$250 for a covered "auto" you own that is not of the private passenger type,

for towing and labor costs incurred each time the covered "auto" is disabled. However, the labor must be performed at the place of disablement.

This coverage applies only for an "auto" covered on this policy for Comprehensive or Specified Causes of Loss Coverage and Collision Coverages.

J. AUTO LOAN OR LEASE COVERAGE

1. In the event of a total "loss" to a covered "auto", we will pay any unpaid amount due on the loan or lease, including up to a maximum of \$500 for early termination fees or penalties, for your covered "auto" less:
 - a. The amount paid under SECTION III - PHYSICAL DAMAGE of this policy; and
 - b. Any:
 - 1) Overdue lease/loan payments at the time of the "loss";
 - 2) Financial penalties imposed under a lease for excessive use, abnormal wear and tear or high mileage;

- 3) Security deposits not refunded by a lessor;
- 4) Costs of extended warranties, Credit Life insurance, Health, Accident, or Disability insurance purchased with the lease; and
- 5) Carry-over balances from previous leases.

2. This coverage only applies to a "loss" which is also covered under this policy for Comprehensive, Specified Causes of Loss, or Collision coverage.
3. Coverage does not apply to any unpaid amount due on a loan for which the covered "auto" is not the sole collateral.

K. RENTAL REIMBURSEMENT COVERAGE

1. This coverage applies only to a covered "auto" for which Physical Damage Coverage is provided on this policy.
2. We will pay for rental reimbursement expenses incurred by you for the rental of an "auto" because of "loss" to a covered "auto". Payment applies in addition to the otherwise applicable amount of each coverage you have on a covered "auto." No deductibles apply to this coverage.
3. We will pay only for those expenses incurred during the policy period beginning 24 hours after the "loss" and ending, regardless of the policy's expiration, with the lesser of the following number of days:
 - a. The number of days reasonably required to repair or replace the covered "auto". If "loss" is caused by theft, this number of days is added to the number of days it takes to locate the covered "auto" and return it to you.
 - b. The number of days shown in the Schedule.
4. Our payment is limited to the lesser of the following amounts:
 1. Necessary and actual expenses incurred.
 2. \$75 for any one day or for a maximum of 30 days.
5. This coverage does not apply while there are spare or reserve "autos" available to you for your operations.
6. If "loss" results from the total theft of a covered "auto" of the private passenger type, we will pay under this coverage only that amount of your rental reimbursement ex-

AC 01 01A 03 08

penses which is not already provided for under the PHYSICAL DAMAGE COVERAGE Coverage Extension.

7. Coverage does not apply to any covered "auto" for which coverage is provided by endorsement form CA9923 on this policy.

L. EXPANDED TRANSPORTATION EXPENSE

Paragraph A.4.a. of SECTION III - PHYSICAL DAMAGE is replaced by the following:

We will pay up to \$50 per day to a maximum of \$1000 for temporary transportation expense incurred by you because of the total theft of a covered "auto" of the private passenger type. We will only pay for those covered "autos" for which you carry Comprehensive or Specified Causes of Loss Coverage. We will pay for temporary transportation expenses incurred during the period beginning 48 hours after the theft and ending, regardless of the policy's expiration, when the covered "auto" is returned to us or we pay for its "loss".

M. EXTRA EXPENSE – STOLEN AUTOS

The following paragraph is added to Section A.4. of SECTION III – PHYSICAL DAMAGE COVERAGE:

- c. We will pay for up to \$5,000 for the expense of returning a stolen covered "auto" to you. We will pay only for those covered "autos" for which you carry Comprehensive or Specified Causes of Loss Coverage

N. NEW VEHICLE REPLACEMENT COST

The following is added to paragraph C.Limit of Insurance of SECTION III - PHYSICAL DAMAGE INSURANCE:

4. The provisions of paragraphs 1. and 2. do not apply to a covered "auto" of the private passenger type or a vehicle with a gross ve-

hicle weight of 20,000 pounds or less which is a new vehicle.

In the event of a total "loss" to your new vehicle to which this coverage applies, we will pay at your option:

- a. The verifiable new vehicle purchase price you paid for your damaged vehicle, not including any insurance or warranties purchased;
- b. If it is available, the purchase price, as negotiated by us, of a new vehicle of the same make, model, and equipment or the most similar model available, not including any furnishings, parts, or equipment not installed by the manufacturer or manufacturers' dealership; or .
- c. The market value of your damaged vehicle, not including any furnishings, parts, or equipment not installed by the manufacturer or manufacturer's dealership.

We will not pay for initiation or set up costs associated with loans or leases

In this endorsement, a new vehicle means an "auto" of which you are the original owner that has not been previously titled and which you purchased less than 365 days before the date of the "loss".

O. BLANKET WAIVER OF SUBROGATION

The following is added to paragraph 5. Transfer Of Rights Of Recovery Against Others To Us of SECTION IV – BUSINESS AUTO CONDITIONS):

We waive any right of recovery we may have against any person or organization to the extent required of you by a written contract executed prior to any "accident" because of payments we make for damages under this coverage form.

All terms and conditions of this policy apply unless modified by this endorsement.

**BUSINESS AUTO
AC 01 02-FL 03 08**

THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.

BUSINESS AUTO ENDORSEMENT FORM - FLORIDA

This endorsement modifies insurance provided under the following:

BUSINESS AUTO COVERAGE FORM

A. CHANGES FOR TRAILERS AND FARM EQUIPMENT

1. Under SECTION I - COVERED AUTOS, the following are added to Paragraph C. Certain Trailers, Mobile Equipment and Temporary Substitute Autos:
 4. "Trailers" designed to be towed by a private passenger type "auto" or a pickup, panel truck or van if not used for business purposes, other than farming or ranching.
 5. Farm wagons or farm implements while being towed by a covered "auto".

B. CHANGES FOR ADDITIONAL NEWLY ACQUIRED VEHICLES

2. Paragraph B.2 of SECTION 1 – COVERED AUTOS is replaced by the following:
 2. If Symbol 7 is entered next to a coverage in Item Two of the Declarations, an "auto" you acquire will be a covered "auto" for that coverage only if:
 - a. We already cover at least one "auto" you own for that coverage or it replaces an "auto" you previously owned that had that coverage; and
 - b. You tell us within 30 days after you acquire it that you want us to cover it for that coverage.

The most we will pay for Physical Damage Coverage for "loss" under this Coverage Extension is \$100,000 per "auto", subject to the largest deductible applicable to any "auto" for that Coverage.

C. BLANKET ADDITIONAL INSURED

Any person or organization which you have agreed to name as an additional insured in a written contract, executed prior to an accident, other than a contract for the lease or rental of a vehicle is an "insured" for Liability Coverage, but only to the extent that person

or organization qualifies as an "insured" under the Who Is An Insured Provision contained in Section II – LIABILITY COVERAGE of the Coverage Form

D. REPLACED EXCLUSIONS

The Expected or Intended Injury Exclusion IN SECTION II – LIABILITY COVERAGE is replaced by the following:

Expected or Intended Injury

"Bodily injury" or "property damage" which is expected or intended by the "insured". This exclusion applies even if the resulting "bodily injury" or "property damage":

- a. is of a different kind, quality or degree than initially expected or intended; or
- b. is sustained by a different person, entity, real property, or personal property than that initially expected or intended.

E. ADDITIONAL EXCLUSIONS

The following exclusions are added to SECTION II – LIABILITY COVERAGE:

Damage to Named Insured's Property

Any claim or "suit" for "property damage" by you or on your behalf against any other person or entity that is also a Named Insured under this policy.

Abuse or Molestation

"Bodily injury" or "property damage" arising out of:

- a. The actual or threatened abuse or molestation by anyone or any person while in the care, custody or control of any "insured", or
- b. The negligent:
 - 1) Employment;
 - 2) Investigation;
 - 3) Supervision;
 - 4) Reporting to the proper authorities, or failure to so report; or

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Page 1 of 3

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- 5) Retention;
of a person for whom any "insured" is or ever was legally responsible and whose conduct would be excluded by Paragraph a. above.

Abuse means an act which is committed with the intent to cause harm.

Explosives

"Bodily injury" or "property damage" caused by the explosion of explosives you make, sell or transport.

Rolling Stores

If a covered "auto" is a rolling store, "bodily injury" or "property damage" resulting from the handling, use or condition of any item the "insured" makes, sells or distributes if the injury or damage occurs after the "insured" has given up possession of the item.

Wrong Delivery of Liquid Products

"Bodily injury" or "property damage" resulting from the delivery of any liquid into the wrong receptacle or to the wrong address, or from the delivery of one liquid for another, if the "bodily injury" or "property damage" occurs after the delivery has been completed.

Delivery is considered completed even if further service or maintenance work, or correction, repair or replacement is required because of wrong delivery.

Professional Services

"Bodily injury":

- a. Resulting from the providing or the failure to provide any medical or other professional services.
- b. Resulting from food or drink furnished with these services.

"Bodily injury" or "property damage" resulting from the handling of corpses.

F. MOTOR HOME CONTENTS COVERAGE

1. For a covered "auto" that is a motor home the following exclusions are added TO SECTION III – PHYSICAL DAMAGE:

Motor Home Contents

This insurance does not apply to:

- a. "Loss" to the covered "auto's" contents, except equipment usual to trucks or private passenger "autos".

- b. "Loss" to TV antennas, awnings or cabanas.

- c. "Loss" to equipment designed to create added living facilities.

However, these exclusions do not apply if Miscellaneous Personal Property Coverage is provided by endorsement to this policy.

G. ACCIDENTAL AIRBAG DISCHARGE COVERAGE

Under Paragraph B.3.a. of SECTION III - PHYSICAL DAMAGE, the following is added:

Mechanical breakdown does not include the accidental discharge of an airbag.

H. PHYSICAL DAMAGE LIMIT OF INSURANCE

Paragraph C. Limit of Insurance of SECTION III - PHYSICAL DAMAGE INSURANCE is replaced by the following:

C. Limit Of Insurance

1. The most we will pay for "loss" in any one "accident" is the lesser of:
 - a. The actual cash value of the damaged or stolen property as of the time of the "loss"; or
 - b. The cost of repairing or replacing the damaged or stolen property.
2. An adjustment for depreciation and physical condition will be made in determining actual cash value in the event of total "loss".
3. The cost of repairing or replacing may:
 - a. Be based on an estimate which includes parts furnished by the original equipment manufacturer or other sources including non-original equipment manufacturers and
 - b. Include a deduction for betterment for a part or parts that are normally subject to repair or replacement during the useful life of the "auto", such as, but not limited to tires and batteries.

Betterment means the difference between the actual cash value of a part immediately before the "loss" and the cost to replace that part with a new part.

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I. AMENDED DUTIES IN EVENT OF ACCIDENT, CLAIM, SUIT, OR LOSS

The requirement in Loss Condition 2.a. Duties In The Even Of Accident, Claim, Suit Or Loss – of SECTION IV – BUSINESS AUTO CONDITIONS that you must notify us of an “accident”, “claim”, “suit”, or “loss” applies only when the “accident”, “claim”, “suit”, or “loss” is known to :

1. You, if you are an individual
2. A partner, if you are a partnership;
3. An executive officer or the employee designated by you to give such notice if you are a corporation; or
4. A member, if you are a limited liability company.

J. UNINTENTIONAL FAILURE TO DISCLOSE HAZARDS

SECTION IV – BUSINESS AUTO CONDITIONS – B.2. is amended by the addition of the following:

If you unintentionally fail to disclose any hazards existing at the inception date of your policy, we will not deny coverage under this Coverage Form because of such failure. However, this provision does not affect our right to collect additional premium or exercise our right of cancellation or nonrenewal.

K. AUTOS HIRED OR RENTED BY EMPLOYEES

If hired or rented “autos” are covered “autos” on this policy, the following provisions apply:

A. Changes In Liability Coverage

The following is added to the Who Is An Insured Provision in SECTION II – LIABILITY COVERAGE:

An “employee” of yours is an “insured” while operating an “auto” hired or rented under a

contract or agreement in that “employee’s” name, with your permission, while performing duties related to the conduct of your business.

B. Changes In General Conditions

Paragraph **5.b.** of the **Other Insurance** Condition in the Business Auto Coverage Form is replaced by the following:

For Hired Auto Physical Damage Coverage, the following are deemed to be covered “autos” you own:

1. Any covered “auto” you lease, hire, rent or borrow; and
2. Any covered “auto” hired or rented by your “employee” under a contract in that individual “employee’s” name, with your permission, while performing duties related to the conduct of your business.

However, any “auto” that is leased, hired, rented or borrowed with a driver is not a covered “auto”.

L. EMERGENCY LOCKOUT – PRIVATE PASSENGER VEHICLES

We will reimburse you up to \$50 for reasonable expense incurred for the services of a locksmith to gain entry into your covered “auto” of the private passenger type subject to these provisions:

1. Your door key or key entry pad has been lost, stolen or locked in your covered “auto” and you are unable to enter such “auto”, or
2. Your key or key entry pad has been lost or stolen and you have changed the lock to prevent an unauthorized entry; and
3. Original copies of receipts for services of a locksmith must be provided before reimbursement is payable.

All terms and conditions of this policy apply unless modified by this endorsement.

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Page 3 of 3

THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.

ADDITIONAL INSURED – OWNERS, LESSEES OR CONTRACTORS – AUTOMATIC STATUS FOR OTHER PARTIES WHEN REQUIRED IN WRITTEN CONSTRUCTION AGREEMENT

This endorsement modifies insurance provided under the following:

COMMERCIAL GENERAL LIABILITY COVERAGE PART

- A. Section II – Who Is An Insured** is amended to include as an additional insured:

Ongoing Operations

1. Any person or organization for whom you are performing operations when you and such person or organization have agreed in writing in a contract or agreement that such person or organization be added as an additional insured on your policy; and
2. Any other person or organization you are required to add as an additional insured under the contract or agreement described in Paragraph 1. above.

Such person(s) or organization(s) is an additional insured only with respect to liability for "bodily injury", "property damage" or "personal and advertising injury" caused, in whole or in part, by:

- a. Your acts or omissions; or
- b. The acts or omissions of those acting on your behalf;

in the performance of your ongoing operations for the additional insured.

However, the insurance afforded to such additional insured described above:

- a. Only applies to the extent permitted by law; and
- b. Will not be broader than that which you are required by the contract or agreement to provide for such additional insured.

A person's or organization's status as an additional insured for ongoing operations ends when your operations for the person or organization described in Paragraph 1. above are completed.

With respect to insurance afforded to these additional insureds for ongoing operations, this insurance does not apply to "bodily injury" or "property damage" occurring after:

- a. All work, including material, parts or equipment furnished in connection with such work, on the project (other than service, maintenance or repairs) to be performed by or on behalf of the additional insured(s) at the location of the covered operations has been completed; or
- b. that operation of "your work" out of which the injury or damage arises has been put to its intended use by any person or organization other than another contractor or subcontractor engaged in performing operations for a principal as a part of the same project.

- B. Section II – Who Is An Insured** is amended to include as an additional insured:

Products–Completed Operations

Any person or organization with whom you have agreed in writing in a contract or agreement that such person or organization be added as an additional insured on your policy with respect to liability for "bodily injury" or "property damage" caused, in whole or in part, by "your work" performed for such person or organization and included in the "products-completed operations hazard".

However, the insurance afforded to such additional insured described above:

- a. Only applies to the extent permitted by law; and
- b. Will not be broader than that which you are required by the contract or agreement to provide for such additional insured.

- C. With respect to the insurance afforded to these additional insureds, this insurance does not apply to "bodily injury", "property damage" or "personal and advertising injury" arising out of the rendering**

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of, or the failure to render, any professional architectural, engineering or surveying services, including:

1. The preparing, approving, or failing to prepare or approve, maps, shop drawings, opinions, reports, surveys, field orders, change orders or drawings and specifications; or
2. Supervisory, inspection, architectural or engineering activities.

This exclusion applies even if the claims against any insured allege negligence or other wrongdoing in the supervision, hiring, employment, training or monitoring of others by that insured, if the "occurrence" which caused the "bodily injury" or "property damage", or the offense which caused the "personal and advertising injury", involved the rendering of, or the failure to render, any professional architectural, engineering or surveying services.

- D.** With respect to the insurance afforded to these additional insureds, the following is added to **Section III – Limits Of Insurance:**

The most we will pay on behalf of the additional insured is the amount of insurance:

1. Required by the contract or agreement described in Paragraph **A.1.** or Paragraph **B.**;
or

2. Available under the applicable Limits of Insurance shown in the Declarations;
whichever is less.

This endorsement shall not increase the applicable Limits of Insurance shown in the Declarations.

- E.** With respect to the insurance afforded to these additional insureds, the following is added to **Section IV – Commercial General Liability Conditions**, Condition **4. Other Insurance** and supersedes any provision to the contrary:

Primary And Noncontributory Insurance

This insurance is primary to and will not seek contribution from any other insurance available to an additional insured under your policy provided that:

- (1) The additional insured is a Named Insured under such other insurance; and
- (2) You have agreed in writing in a contract or agreement that this insurance would be primary and would not seek contribution from any other insurance available to the additional insured.

All terms and conditions of this policy apply unless modified by this endorsement.

**COMMERCIAL GENERAL LIABILITY
CG 73 23 12 16**

THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.

CONTRACTORS ENHANCEMENT PLUS ENDORSEMENT INCLUDING MEDICAL PAYMENTS

This endorsement modifies insurance provided under the following:

COMMERCIAL GENERAL LIABILITY COVERAGE PART

A. Lost Key Coverage

1. Under **Section I – Coverages, Coverage A Bodily Injury And Property Damage Liability**, coverage is extended to include the following:

If a customer's master or grand key, excluding electronic key card, is lost, damaged or stolen while in your care, custody or control we will pay the cost of replacing the keys, including the master lock and all keys used in the same lock, the cost of adjusting locks to accept the new keys, or the cost to replace the locks, whichever is less.

2. **Limit of Insurance** – For the purpose of this coverage the most we will pay is \$ 10,000 per "occurrence".

B. Voluntary Property Damage

1. **Section I – Coverages, Coverage A Bodily Injury And Property Damage Liability**, coverage is extended to include the following:

At your request, we will pay for "property damage" to property of others caused by you and while in your possession, arising out of your business operations and occurring during the policy period.

2. **Limit of Insurance** – For the purpose of this coverage the most we will pay is \$1,500 per "occurrence".

C. Non-Owned Watercraft

Under **Section I – Coverages, Coverage A Bodily Injury And Property Damage Liability, 2. Exclusions, Exclusion g. Aircraft, Auto Or Watercraft Paragraph (2) (a)** is replaced with:

- (a) Less than 51 feet long; and

D. Expanded Property Damage Coverage

1. For the purposes of this endorsement only: **Section I – Coverages, Coverage A Bodily Injury And Property Damage Liability, 2. Exclusions, Exclusion j. Damage To Property** is amended as follows:

- a. Paragraphs (3), (5), and (6) are deleted in their entirety.

- b. Paragraph (4) is deleted in its entirety and replaced with:

(4) Personal property in the care, custody, or control of the insured:

- (a) for storage or sale at premises you own, rent or occupy; or

- (b) while being transported by any aircraft, "auto" or watercraft owned or operated by or rented to or loaned to any insured.

- c. The coverage provided by this endorsement does not apply to "property damage":

- (1) Arising out of the disappearance or loss of use of personal property; or

- (2) Included in the "products-completed operations hazard".

2. **Limit of Insurance** - The most we will pay for loss arising out of any one "occurrence" is \$5,000.

3. **Deductible** - Our obligation to pay for a covered loss applies only to the amount of loss in excess of \$250.

We will pay the deductible amount to effect settlement of any claim or "suit" and, upon notification of this action having been taken, you shall promptly reimburse us for the deductible as has been paid by us.

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This insurance is primary to any expanded property damage coverage provided by a separate endorsement attached to this policy, and it will supplant any deductible in said endorsement

E. Damage To Premises Rented To You

1. Under **Section I – Coverages, Coverage A Bodily Injury And Property Damage Liability**, the last paragraph of **2. Exclusions** is replaced with:

If **Damage To Premises Rented To You** is not otherwise excluded, Exclusions c. through n. do not apply to damage by fire, lightning, explosion, smoke, or sprinkler leakage to premises while rented to you or temporarily occupied by you with permission of the owner.

2. Under **Section III – Limits Of Insurance**, Paragraph 6 is replaced with:

6. Subject to 5. above, the Damage To Premises Rented To You Limit is the most we will pay under Coverage A for damages because of "property damage" to any one premises, while rented to you, or in the case of damage by fire, lightning, explosion, smoke or sprinkler leakage, while rented to you or temporarily occupied by you with permission of the owner. The limit is increased to \$1,000,000.

3. Under **Section IV – Commercial General Liability Conditions**, **4. Other Insurance**, b. **Excess Insurance (1) (a) (ii)** is replaced with:

(ii) That is Fire, Lightning, Explosion, Smoke or Sprinkler leakage insurance for premises rented to you or temporarily occupied by you with permission of the owner.

F. Supplementary Payments

Under **Section I – Coverages, Supplementary Payments – Coverages A and B Paragraphs 1.b and 1.d.** are replaced with:

- b. Up to \$2,500 for cost of bail bonds required because of accidents or traffic law violations arising out of the use of any vehicle to which the Bodily Injury Liability Coverage applies. We do not have to furnish these bonds.

- d. All reasonable expenses incurred by the insured at our request to assist us in the investigation or defense of the claim or "suit", including actual loss of earnings up to \$500 a day because of time off from work.

G. Newly Formed And Acquired Organizations

Under **SECTION II – WHO IS AN INSURED** Paragraph 3.a. is replaced with:

- a. Coverage under this provision is afforded only until the 180th day after you acquire or form the organization or the end of the policy period, whichever is earlier;

H. Additional Insured – Automatic Status When Required In An Agreement Or Contract With You

Section II – Who Is An Insured is amended to include:

1. Any person(s) or organization(s) described in Paragraph a. – d. below with whom you have agreed in writing in a contract or written agreement that such person or organization be added as an additional insured on your policy during the policy period shown in the Declarations.
2. Any other person or organization you are required to add as an additional insured under the contract or agreement described in Paragraph 1. above.

The person or organization added as an insured by this endorsement is an insured only for liability due to:

- a. **Lessors of Leased Equipment** – with respect to their liability for "bodily injury", "property damage", or "personal and advertising injury", caused in whole or in part by your maintenance, operation, or use of equipment leased to you by such person(s) or organization(s). This insurance does not apply to any "occurrence" which takes place after the equipment lease expires.

However, their status as additional insured under this policy ends when their lease, contract, or agreement with you for such leased equipment expires.

- b. **Managers or Lessors of Premises** – with respect to liability arising out of the ownership, maintenance, or use of that part of the premises you own, rent, lease, or occupy.

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This insurance does not apply to:

- (1) Any "occurrence" which takes place after you cease to be a tenant in that premises.
- (2) Structural alterations, new construction, or demolition operations performed by or on behalf of the person or organization.

However, their status as additional insured under this policy ends when you cease to be a tenant of such premises.

c. State or Political Subdivision – Permits Relating to Premises – with respect to the following hazards for which the state or political subdivision has issued a permit or authorization in connection with premises you own, rent, or control and to which this insurance applies.

- (1) The existence, maintenance, repair, construction, erection, or removal of advertising signs, awnings, canopies, cellar entrances, coal holes, driveways, manholes, marquees, hoist away openings, sidewalk vaults, street banners, or decorations and similar exposures; or
- (2) The construction, erection, or removal of elevators; or
- (3) The ownership maintenance or use of any elevators covered by this insurance.

This insurance does not apply to:

- (1) "Bodily injury" or "property damage" or "personal or advertising injury" arising out of operations performed for the state or municipality; or
- (2) "Bodily injury" or "property damage" included within the "products-completed operations hazard".

However, such state or political subdivision's status as additional insured under this policy ends when the permit ends.

d. Owners, Lessees, or Contractors – with respect to liability for "bodily injury", "property damage", or "personal and advertising injury" caused in whole or in part, by:

(1) Your acts or omissions; or

- (2) The acts or omissions of those acting on your behalf; in the performance of your ongoing operations performed for that additional insured, whether the work is performed by you or on your behalf.

The insurance does not apply to:

- (1) "Bodily injury", "property damage", or "personal and advertising injury" arising out of the rendering of or the failure to render any professional architectural, engineering, or survey services, including:

- (a) The preparing, approving, or failing to prepare or approve maps, shop drawings, opinions, reports, survey, field orders, change orders, or drawings and specifications; or

- (b) Supervisory, inspection, architectural or engineering activities.

This exclusion applies even if the claims against any insured allege negligence or other wrongdoing in the supervision, hiring, employment, training or monitoring of others by that insured, if the "occurrence" which caused the "bodily injury" or "property damage", or the offense which caused the "personal and advertising injury", involved the rendering of, or failure to render, any professional, architectural, engineering, or surveying services.

- (2) "Bodily injury" or "property damage" occurring after:

- (a) All work, including materials, parts, or equipment furnished in connection with such work, on the project (other than service, maintenance, or repairs) to be performed by or on behalf of the additional insured(s) at the location of the covered operations has been completed; or

CG 73 23 12 16

- (b) That portion of "your work" out of which the injury or damage arises has been put to its intended use by any person or organization other than another contractor or subcontractor engaged in performing operations for a principal as a part of the same project.

However, a person or organization's status as additional insured under this policy ends when your operations for that additional insured are completed.

With respect to the insurance afforded to such additional insureds a. – d. described above, the following is added to **Section III – Limits Of Insurance**:

If coverage provided to the additional insured is required by a contract or agreement, the most we will pay on behalf of the additional insured is the amount of insurance:

1. Required by the contract or agreement; or
2. Available under the applicable Limits of Insurance shown in the Declarations:

whichever is less.

This endorsement shall not increase the applicable Limits of Insurance shown in the Declarations.

However, the insurance afforded to such additional insureds a. – d. described above:

1. Only applies to the extent permitted by law; and
 2. Will not be broader than that which you are required by the contract or agreement to provide for such additional insured.
3. **Primary and Noncontributory – Other Insurance Conditions**

The following is added to the **Other Insurance** Condition and supersedes any provisions to the contrary:

Primary and Noncontributory Insurance

This insurance is primary to and will not seek contribution from any other insurance available to an additional insured under your policy provided that:

- a. The additional insured is a Named Insured under such other insurance; and

- b. You have agreed in writing in a contract or agreement that this insurance would be primary and would not seek contribution from any other insurance available to the additional insured.

I. Employee Bodily Injury To Another Employee

Under **Section II – Who Is An Insured** The following is added to Paragraph 2.a.(1):

Paragraphs 2.a.(1) (a), (b) and (c) do not apply to "bodily injury" to a co-"employee" in the course of the co-"employee's" employment by you, or to "bodily injury" to a co-"volunteer worker" while performing duties related to the conduct of your business.

J. Broad Form Named Insured

Under **Section II – Who Is An Insured** The following is added to Paragraph 2.:

- e. Any business entity incorporated or organized under the laws of the United State of America (including any State thereof), its territories or possessions, or Canada (including any Province thereof) in which the Named Insured shown in the Declarations owns, during the policy period, an interest of more than fifty percent. If other valid collectible insurance is available to any business entity covered by this solely by reason of ownership by the Named Insured shown in the Declarations in excess of fifty percent, this insurance is excess over the other insurance, whether primary, excess, contingent, or on any other basis.

K. Aggregate Limit Per Location

Under **Section III – Limits Of Insurance** the following is added to Paragraph 2:

The General Aggregate Limit under **Section III Limits Of Insurance** applies separately to each of your locations owned by or rented to you or temporarily occupied by you with the permission of the owner. For the purposes of this provision, location means premises involving the same or connecting lots, or premises whose connection is interrupted only by a public street, roadway, waterway or railroad right-of-way.

L. Aggregate Limit Per Project

Under **Section III – Limits Of Insurance** The following paragraph is added to Paragraph 2:

The General Aggregate Limit under **Section III Limits Of Insurance** applies separately to each of your construction projects away from premises owned by or rented to you.

CG 73 23 12 16

M. Medical Payments

Under **Section III – Limits Of Insurance**, Paragraph 7. is replaced with:

7. Subject to 5. above, the higher of:

- a. \$10,000; or
- b. The amount shown in the Declarations for Medical Expense Limit is the most we will pay under Coverage C for all medical expenses because of "bodily injury" sustained by one person.

This coverage does not apply if **Coverage C – Medical Payments** is excluded either by the provisions of any coverage forms attached to the policy or by endorsement.

N. Knowledge Of An Occurrence

Under **Section IV – Commercial General Liability Conditions**, the following is added to 2. **Duties In The Event Of Occurrence, Offense, Claim Or Suit:**

- e. Knowledge of an occurrence, offense, claim or suit by an agent or employee of any insured shall not in itself constitute knowledge of the insured unless you, a partner, if you are a partnership; or an executive officer or insurance manager, if you are a corporation receives such notice of an occurrence, offense, claim or suit from the agent or employee.
- f. The requirements in **Paragraph b.** will not be considered breached unless there is knowledge of occurrence as outlined in Paragraph e. above.

O. Unintentional Failure To Disclose Hazard

Under **Section IV – Commercial General Liability Conditions**, Condition 6. **Representations** the following paragraph is added:

- d. Your failure to disclose all hazards or prior "occurrences" or offenses existing as of the

inception date of the policy shall not prejudice the coverage afforded by this policy provided such failure to disclose all hazards or prior "occurrences" or offenses is not intentional. This provision does not affect our right to collect additional premium or exercise our right of cancellation or non-renewal.

P. Waiver Of Subrogation

Under **Section IV – Commercial General Liability Conditions**, 8. **Transfer Of Rights Of Recovery Against Others To Us** the following paragraph is added:

If required by a written contract executed prior to loss, we waive any right of subrogation we may have against the contracting person or organization because of payments we make for injury or damage arising out of your ongoing operations or "your work" done under a contract with that person or organization and included in the "products-completed operations hazard".

Q. Liberalization

Under **Section IV – Commercial General Liability Conditions**, the following paragraph is added:

10. Liberalization

If we revise this coverage form to provide more coverage without additional premium charge, your policy will automatically provide the additional coverage as of the day the revision is effective in your state.

R. Broadened Bodily Injury Definition (Mental Anguish)

Under **Section V – Definitions** Definition 3. "Bodily Injury" is replaced with:

- 3. "Bodily injury" means physical injury, sickness, or disease to a person and if arising out of the foregoing, mental anguish, mental injury, shock, or humiliation, including death at any time resulting therefrom.

All terms and conditions of this policy apply unless modified by this endorsement.

WORKERS' COMPENSATION AND EMPLOYERS LIABILITY INSURANCE POLICY**WC 00 03 13**
(Ed. 4-1-84)**WAIVER OF OUR RIGHTS TO RECOVER FROM OTHERS ENDORSEMENT**Endorsement No.
Endorsement Effective 03/01/2021

NCCI Co. No 31321

Policy Number WC840-0034742-2021A
Insured Hausinger & Associates Inc.FFVA Mutual Insurance Co.
(NAME OF INSURANCE COMPANY)

We have the right to recover our payments from anyone liable for an injury covered by this policy. We will not enforce our right against the person or organization named in the Schedule. (This agreement applies only to the extent that you perform work under a written contract that requires you to obtain this agreement from us.)

This agreement shall not operate directly or indirectly to benefit anyone not named in the Schedule.

Schedule

Any person or organization for whom the Named Insured has agreed by written contract to furnish this waiver.

ORDINANCE 2022-016

AN ORDINANCE OF THE TOWN OF HOWEY IN THE HILLS, FLORIDA, PERTAINING TO LAND USE; PROVIDING FINDINGS OF THE TOWN COUNCIL; AMENDING THE TOWN'S OFFICIAL ZONING MAP TO REZONE FROM MDR-1 AND MDR-2 TO PLANNED UNIT DEVELOPMENT CERTAIN LANDS LOCATED IN THE SOUTHEAST QUADRANT OF THE INTERSECTION OF STATE ROAD 19 AND REVELS ROAD, AS MORE PARTICULARLY DESCRIBED IN ATTACHMENT A TO THIS ORDINANCE; INCORPORATING CONDITIONS, REQUIREMENTS, RESTRICTIONS, AND OTHER TERMS GOVERNING THE USE AND DEVELOPMENT OF THE PROPERTY; PROVIDING FOR SEVERABILITY, CONFLICTS, CODIFICATION, AND AN EFFECTIVE DATE.

BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA:

Section 1. Findings. In enacting this ordinance, the Town Council of the Town of Howey-in-the-Hills, Florida makes the following findings and declarations:

(1) The land described in **Attachment A**, located generally in the southeast quadrant of the intersection of State Road 19 and Revels Road ("**Property**"), is located within the town limits of the Town of Howey-in-the-Hills;

(2) The Town's Comprehensive Plan designates the Property on the Town's Future Land Use Map for medium density residential future land use, and current zoning of the Property is MDR-1 and MDR-2.

(3) The owner of the Property intends to use and develop the Property for single-family residential purposes.

(4) The Town Council finds that rezoning the Property from MDR-1 and MDR-2 to Planned Unit Development is consistent with both the Town's Comprehensive Plan and the Town's Land Development Code ("LDC") and will not adversely affect the public health, safety, and welfare of the Town.

Section 2. Amendment to the Official Zoning Map. The Town Council hereby amends the Town's Official Zoning Map to zone the Property for Planned Unit Development.

Section 3. Use and Development of the Property. Use and development of the Property under its Planned Unit Development zoning is subject to the conditions, requirements, restrictions, and other terms of the following:

- (1) This Ordinance 2022- 016
- (2) A development agreement, to be approved by Town Council and executed by the Mayor, setting forth the specific conditions, requirements, restrictions and other terms for the use and development of the Property;
- (3) The Town's Land Development Code; and
- (4) The Town Code and all other Town ordinances governing the development of the Property.

Section 4. Severability. If any part of this ordinance is declared by a court of competent jurisdiction to be void, unconstitutional, or unenforceable, the remaining parts of this ordinance shall remain in full effect. To that end, this ordinance is declared to be severable.

Section 5. Conflicts. If this ordinance conflicts with other ordinances in regulation of the use and development of the Property, this ordinance shall control and supersede to the extent of the conflict.

Section 6. Codification. The amendment to the Official Zoning Map in Section 2 shall be codified and made part of the Town's LDC and Official Zoning Map.

Section 7. Effective Date. This ordinance shall take effect upon the later of (i) its enactment by the Town Council or (ii) the date by which a development agreement for the Property has been approved by Town Council and taken effect.

[Signatures on the next page]

ENACTED AND ORDAINED this ____ day of _____, 2022, by the Town Council of the Town of Howey-in-the-Hills, Florida.

**TOWN OF HOWEY-IN-THE-HILLS,
FLORIDA**

By: its Town Council

By: _____
Hon. Martha MacFarlane, Mayor

ATTEST:

APPROVED AS TO FORM AND LEGALITY
(for use and reliance of the Town only)

John Brock
Town Clerk

Thomas J. Wilkes
Town Attorney

Planning and Zoning Meeting held _____, **2022**

First Reading held _____, **2022**

Second Reading and Adoption held _____, **2022**

Advertised _____, **2022**, _____, **2022**

and _ _____, **2022**

**Attachment A
To
Ordinance 2022 - 016**

LEGAL DESCRIPTION

(35-20-25-0150-000-01200)
ORB 2732, PG 1039

LOT 12; ALSO BEGIN 99 FEET SOUTH 1°32' WEST OF THE NORTHWEST CORNER OF LOT 16, THENCE RUN EAST TO THE SOUTHEASTERN BOUNDARY OF LOT 16; THENCE SOUTHWESTERLY ALONG THE SOUTHEASTERN BOUNDARY OF LOT 16; THENCE NORTHERLY ALONG THE WESTERN BOUNDARY OF LOT 16 TO THE POINT OF BEGINNING; LOTS 26 AND 27, LESS THAT PART INCLUDED IN CLAY PIT, ALL ACCORDING TO THE PLAT OF FIRST SUBDIVISION OF HOWEY, RECORDED IN PLAT BOOK 5, PAGE 32, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.
ORB 2732 PG 1041

PARCEL NO. 1 (35-20-25-0150-000-00100)
LOT 1 IN 1ST SUBDIVISION OF HOWEY, ACCORDING TO THE TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 5, PAGE 32, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.

PARCEL NO.2 (35-20-25-0150-000-00100)
THAT PART OF 1ST SUBDIVISION OF HOWEY, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 5, PAGE 32, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, BOUNDED AND DESCRIBED AS FOLLOWS: BEGIN AT THE INTERSECTION OF THE NORTH LINE OF SECTION 1, TOWNSHIP 21 SOUTH, RANGE 25 EAST, IN LAKE COUNTY, FLORIDA, WITH THE EASTERLY LINE OF THE RIGHT OF WAY OF SUNSET DRIVE AS SHOWN UPON SAID PLAT AND RUN THENCE EAST ALONG SAID NORTH LINE TO A POINT ON THE WATERS-EDGE OF LAKE BERTHA, SAID POINT BEING HEREBY DESIGNATED AS POINT "A". BEGIN AGAIN AT THE POINT OF BEGINNING AND RUN SOUTHERLY AND SOUTHEASTERLY ALONG THE EASTERLY LINE OF SAID RIGHT OF WAY TO THE WESTERLY LINE OF LOT 4 AS SHOWN UPON SAID PLAT; THENCE NORTHEASTERLY ALONG THE WESTERLY LINE OF SAID LOT 4 TO THE WATERS OF LAKE BERTHA; THENCE WESTERLY AND NORTHERLY ALONG AND WITH THE WATERS OF LAKE BERTHA TO THE ABOVE-DESIGNATED POINT "A".

PARCEL NO. 3 (02-21-25-0001-000-03700)
THAT PART OF THE NORTH 1/2 OF GOVERNMENT LOTS 1 AND 2 IN SECTION 2, TOWNSHIP 21 SOUTH, RANGE 25 EAST, IN LAKE COUNTY, FLORIDA, BOUNDED AND DESCRIBED AS FOLLOWS: BEGIN AT THE NORTHEAST CORNER OF SAID SECTION

2, RUN THENCE SOUTH 00°06'05" EAST ALONG THE EAST LINE THERE OF, 1139.8 FEET; THENCE RUN NORTH 89°29'20" WEST 2668.76 FEET TO THE WEST LINE OF SAID GOVERNMENT LOT 2; THENCE RUN NORTH 00°09'00" WEST ALONG SAID WEST LINE 1125.96 FEET TO THE NORTHWEST CORNER OF SAID GOVERNMENT LOT 2; THENCE RUN SOUTH 89°46'40" EAST ALONG THE NORTH LINE OF SAID SECTION 2 FOR 2669.20 FEET TO THE POINT OF BEGINNING.

Total Acreage: 99.19

#47800843 v2

This instrument prepared by
and should be returned to:

Thomas J. Wilkes
GrayRobinson
301 East Pine Street, Suite 1400
Orlando, Florida 32801

As approved by Town Council
for the Town of Howey-in-the-Hills, Florida

WATERMARK PUD DEVELOPMENT AGREEMENT

This **WATERMARK PUD DEVELOPMENT AGREEMENT** (“Agreement”) is made as of the _____ day of _____, 2022 (“Effective Date”), between the **Town of Howey-in-the-Hills, Florida**, a Florida municipal corporation (the “Town”), and **Revels Road Investors, LLC**, a Florida limited liability company (the “Owner”).

RECITALS

A. The Owner owns approximately 99.19 acres of property more particularly described in **Attachment A** to this Agreement (“the Property”).

B. The Property is within the corporate limits of the Town. The Town has assigned the Property a future-land-use designation of Medium Density Residential and has rezoned the Property from MDR-1 and MDR-2 to PUD - Planned Unit Development.

C. The Owner intends to develop and use the Property for single-family residential purposes as more specifically set forth herein (“the Project”), to be known as the “Watermark PUD.”

D. The Town and Owner enter into this Agreement to set forth the terms and conditions of approval negotiated between them for the development and use of the Property as the Watermark PUD.

NOW, THEREFORE, the Town and the Owner agree as follows:

Section 1: Land development and uses. Development and use of the Property is subject to the following conditions, requirements, restrictions, and terms:

(a) **General.** Development of the Project and use of the Property shall be governed by this Agreement, the Town’s Comprehensive Plan, the Town’s Land Development Code (“LDC”) and Code of Ordinances (“Town Code”), and all other applicable state laws and regulations and Town ordinances and rules. Where in conflict, the terms of this Agreement shall supersede and prevail over the LDC and Town Code, but only to the extent of the conflict.

In the Conceptual Land Use Plan for the Project the term “conceptual” means the location of land uses on the site, including areas for residential development, open space, stormwater management, parks, and roads in relation to the site area and other uses on the site. Subsequent plan development may refine the details based on detailed engineering design. “Conceptual” does not mean or contemplate the modification of proposed housing types or the relocation of land uses and roads other than minor adjustments dictated by engineering needs and best practices.

Unless otherwise noted, the definition of terms in this Agreement shall be the same as the definitions set forth in the LDC.

(b) Phasing The project will be developed in two phases, as shown on the Conceptual Land Use/Preliminary Subdivision Plan. Each phase must be designed and built to operate independently with regard to traffic and utility services. Revisions to the phasing schedule shall be considered as minor amendments to this Agreement, which may be approved by Town Council with no formal amendment to this Agreement required.

(c) Purpose. The purpose of the Watermark PUD is to:

1. Create an attractive and high-quality single-family housing development compatible with the scale and character of existing residential development and land uses in the Town;
2. Develop a residential area that is safe, comfortable and attractive for and to pedestrians;
3. Create a community with direct visual and physical access to open land, with a strong community identity, and with amenities in the form of community open space;
4. Provide a network of open space for future homeowners; and
5. Provide a variety of lot sizes and housing choices for diverse age and income groups and residential preferences.

(d) Land uses. The Conceptual Land Use Plan for the Project is contained in **Attachment B** and is an integral part of the approval of the Project. Elements in the Concept Plan include single-family detached homes and approximately 31.32 acres of recreation.

(e) Development standards.

Setbacks

The following setbacks shall be applied:

| | |
|--------|----------|
| Front: | 20 feet |
| Rear: | 25 feet |
| Side: | 7.5 feet |

| | |
|------------------|-----------|
| Wetland: | 25 feet |
| Corner: | 12.5 feet |
| Pool / Accessory | 10 feet |

The recorded covenants, conditions, and restrictions for the Property must recite that (i) 65-foot lots may require a zoning variance before a pool can be installed and (ii) the Town Council legally may grant or deny such a zoning variance in its sole discretion. Also, each initial purchaser of a home on a 65-foot lot must be informed in writing by the developer or homebuilder before closing the purchase that Town Council may refuse to grant a variance for a pool on the lot, should the purchaser need a variance to install a pool. The substance of the disclosure statement used by the developer or builder must be approved by the Town Manager before being delivered to prospective homebuyers.

Lot Size

A range of lot sizes shall be provided in order to create variety and offer opportunity for different income households. Minimum lot size will be 65' x 120'. The Project may consist of up to 235 total lots of 65' x 120' and 75' x 120'. No fewer than 118 lots must be 75' x 120'.

Dwelling Size

The minimum dwelling size for all single-family residences shall be 1,600 square feet of heated/air-conditioned space under roof plus a two-car garage with a minimum of 400 square feet.

Lot Width

The minimum lot width at building line shall be 65 feet with a minimum street frontage of 30 feet.

Lot Coverage

Lots shall have a maximum lot coverage of 60%, to include principal dwelling, all paved areas, and swimming pools, except that on a 65-foot lot the maximum lot coverage may be 70% if a swimming pool is built.

Height of Structures

No residential structure may exceed 35 feet in height.

Building Design

Building design shall be in accordance with the Architectural Requirements of the Town's LDC and will comply specifically with the design requirements of LDC Sections 4.06.02 and 4.06.03.

The following principles seek to promote a high quality development that will create a sense of place and community through the development of the site.

- Housing styles, shapes and materials shall meet the Towns Land Development Regulations.
- The different housing types shall be integrated architecturally in order to give the development a harmonious appearance.

- The creation of visual richness shall be considered when choosing materials and details. Local characteristics are encouraged.
- Side entrances for garages are encouraged.
- A variety of roof heights, pitches and materials will be encouraged.
- Landscaping shall be incorporated into the overall design as a means of linking the development areas with the open spaces.
- Each exterior wall for a single-family home must be a minimum of two materials and a minimum of two colors. Primary facades must have one base color and a complementary wall material may be used to meet the second color requirement.
- Block face restrictions may be reduced to 300 linear feet. The same house model may not be used more than three times within a single block face. For purposes of this requirement, a different house model is a different floor plan, not the same floor plan flipped in a different direction and not the same floor plan with a different exterior treatment.

(f) Wetlands Buffer Requirement. No development is allowed within jurisdictional wetlands on the property. A minimum upland buffer of 25 feet along each wetland must be platted in a tract, to be maintained by the HOA. No development except passive recreation is permitted in wetland areas.

(g) Potable water, wastewater, and reclaimed water. Well and septic systems are not allowed. The Project must be connected to and served by the Town's potable-water and wastewater systems prior to a certificate of occupancy being issued for a structure in the Project (except temporary construction uses).

Except as may be set forth otherwise in this Agreement, the Owner must install all on-site potable-water, wastewater, and reclaimed-water infrastructure and connect to the Town's water and wastewater systems, and to the Town's reclaimed-water system when available at the Property boundary, all at no cost to the Town. The Owner must pay potable-water, wastewater, and reclaimed-water capital and connection charges, impact fees, and other Town rates, fees, and charges, either applicable currently or in the future.

1. Potable Water. The Town will provide potable water, and may in the future provide reclaimed water, to the Project in accordance with its applicable ordinances, resolutions, operating regulations, policies and procedures. The Town will provide potable water to the Property in sufficient quantities for development of the Project as contemplated herein, subject to the limitations and requirements of permits issued to the Town from time to time by the St. John's River Water Management District in connection with water consumption.

The Owner shall construct, at no expense to the Town, all off-site potable-water-system facilities, lines, pumps, valves, control structures, and appurtenances (other than water-treatment plants) necessary to serve the Project. The construction and route of off-site lines and other structures shall be done according to engineering plans prepared by the Owner and approved by the Town Manager.

2. *Wastewater.* The Town will provide wastewater-collection and -transmission service to the Project, transmitting Project wastewater to the Central Lake Community Development District (“CDD”). The Owner must obtain from the CDD a contract right for the Project to receive treatment and disposal of its wastewater at the CDD’s treatment and disposal facilities.

The Owner shall construct, at no expense to the Town, all off-site wastewater-system facilities, lines, lift stations, pumps, valves, control structures, and appurtenances (other than wastewater-treatment plants and disposal facilities) necessary to serve the Project. The construction and route of off-site lines, lift stations, pumps, and other structures shall be done according to engineering plans prepared by the Owner and approved by the Town Manager.

3. *Town Option to Oversize Water and Wastewater Lines.* Within 180 days of the effective date of the Owner’s contract right to receive wastewater-treatment and –disposal service from the CDD, as referenced above, the Town may elect to oversize the off-site lines, pumps, improvements, or other facilities or appurtenances for the Town’s water or wastewater system, or for both. If the Town elects to oversize one or both systems, it must inform the Owners in writing of the specifications for the oversizing(s) within the 180-day period. The Town shall reimburse the Owner for the difference in the increase in cost of design, materials and construction to oversize the improvements based on plans and cost estimates provided by the Owner to the Town and approved by the Town Manager, which approval shall not be unreasonably withheld, conditioned or delayed. The Town shall reimburse the Owners for the difference in the costs within 60 days following (i) completion of the improvements and (ii) receipt by the Town of documentation reasonably demonstrating that the Owner has completed the work and has incurred the costs attributable to the over-sizing, all in keeping with the plans and cost estimate previously approved by the Town Manager.

4. *Permit-Induced Costs, Restrictions, Requirements, and Risks.* Under state and federal laws and regulations, the Town may provide its potable-water and wastewater services to the Property and the Owner and its successors only if the Town first has been issued certain required permits. The Owner acknowledges that the permits are inevitably conditioned with requirements and restrictions that typically impose costs and risks. The Owner further acknowledges that, for the Town to operate its potable-water and wastewater systems in an orderly, dependable, and cost-effective manner, the Town must have the ability legally to spread the costs and risks among customers and property owners benefiting from the services. The Owner acknowledges, therefore, that (i) from time to time the Town may impose rates, fees, and charges and may issue potable-water system and wastewater-system regulations and policies that impose restrictions and requirements on its customers and benefiting property owners, such as the Owner and its successors, and (ii) so long as the Owner or successors are required to pay only their fair share for such rates, fees, and charges, then the imposition of such rates, fees, and charges and the issuance of such system regulations are not prohibited by or otherwise a breach of this Agreement.

5. *Reclaimed Water.* The Owner must install reclaimed water lines as required by the Town’s Code of Ordinances, and shall obtain reclaimed-water service for the Project when the Town constructs reclaimed-water lines to the Project’s boundaries. Until such time as the Town supplies reclaimed water, the Owner and its successors shall use the reclaimed

water lines to irrigate properties within the Project boundaries, but only with stormwater from on-site stormwater-retention ponds or with sources other than potable water as may be approved by the Town.

(h) Solid Waste

Solid Waste collection shall be pursuant to Town regulations.

(i) Drainage

The maintenance, repair, and replacement of the drainage system shall be the responsibility of the homeowners association(s).

(j) Transportation

Street and Sidewalks

There must be two ingress and egress points to Revels Road and one ingress/egress point to Lake County-A, each a full intersection in the approximate location shown on the Conceptual Land Use Plan. Also, there must be paved access stubbed to the north line of the property at the parcel owned by the Town, as shown on the Conceptual Land Use Plan.

All streets must have a minimum 50-foot right-of-way, curb and gutter, and a minimum 24-foot-wide pavement with minimum 12-foot travel lanes. Provision must be made in the rights-of-way for underground utilities.

Realignment of East Revels Road must be completed as part of the first phase of the Project and approved as part of the subdivision construction plans. The realignment is a material condition of approval of the Project and this Agreement. If the realignment is not approved by FDOT substantially as shown on the Conceptual Land Use Plan, the Town may require resubmittal and further review and approval, as a major amendment, of a revised Conceptual Land Use Plan.

The Project must have a connected street system that serves vehicles, pedestrians and bicycles and that connects to recreation facilities and adjacent residential/community areas. All streets must be public, dedicated to and maintained by the Town. No streets in the Project may be gated or otherwise restricted or obstructed by the Owner, by a homeowners' or property owners' association, or by any other person or entity.

All portions of the development must be accessible by a direct, convenient, attractive, safe, and comfortable system of pedestrian facilities. The development must provide appropriate pedestrian amenities. A bicycle/pedestrian path with minimum width of ten feet must be constructed along Revels Road, consistent with the Town's bicycle/pedestrian plan and connecting to the proposed trailhead on SR 19 and a pathway to be built through The Reserve PUD to No. 2 Road. A minimum five-foot sidewalk must be constructed along both sides of each interior street. All sidewalks within rights-of-way must be dedicated to and maintained by the Town.

Transportation Concurrency and Proportionate Fair Share Mitigation

The Project must undergo concurrency review. The Owner must complete and submit for review prior to building permits a traffic-impact analysis. If required based on that traffic study, the Owner must fund its proportionate fair share of traffic improvements along SR-19 and other key roads as concluded by the traffic study's analysis of project traffic contributing to the needed improvements. Payment of the Owner's fair share must be made on or before the issuance of the 50th building permit.

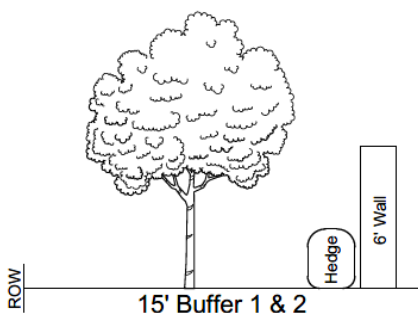
(k) Schools. The Project must apply for concurrency review at Lake County Public Schools. The school district has a specific application process. The Project must be shown to have appropriate school concurrency before building permits are issued.

(l) Landscaping Requirements. All landscaping and buffer requirements shall be in accordance with the LDC and as illustrated on the Conceptual Land Use Plan with the exception of the following:

1. All buffer, street, and canopy trees planted at the Project will be a minimum of a 2" caliper;
2. the Owner shall require homebuilders to plant at least one canopy tree for each single-family lot of at least 3" DBH; and
3. the developer will replace the equivalent of 30% of total tree-inches removed.

All trees planted at the Project shall adhere to the current guidelines established by the Florida Grades and Standards for nursery-grown trees and must be Florida grade #1 or better.

Developer must install street trees along the roadway where common areas abuts the road as required by the LDC. The cross section for the buffer areas is shown below.



Cross-Section of Buffers 1 and 2

(m) Tree Protection. Under no circumstances may any tree, regardless of size or species, be removed from any designated wetland or conservation easement. Trees proposed to be maintained on site must comply with LDC requirements. No construction activity, equipment or material is permitted inside a tree protection barrier.

Citrus trees are excluded from Town tree-protection requirements. However, where citrus grove exists in an open-space area on the Conceptual Land Use Plan, all or a portion of the grove, as

determined by the Town Manager, must remain in the open-space area as a community-garden type activity.

(n) Lighting. Decorative street lighting (Sanibel fixture, a Duke Energy standard fixture) must be installed (i) at every intersection, (ii) at the end of each cul-de-sac, and (iii) at intervals of 300 feet or as approved otherwise by the Town Manager. Street lighting must be installed by the Owner. All lighting must be directional, shielded lighting designed to minimize light pollution. All lighting must be maintained by the HOA.

(o) Utilities. All utilities must be underground.

(p) Signage. Entrance signs and informational signage may be located in buffers, setbacks/and or signage easements as approved by the Planning and Zoning Board. The Owner shall present a sign plan for review and approval by the Planning and Zoning Board with the final site plan. The Town Council has approved use by the Owner and/or builder(s) of vertical marketing flags, also known as feather banners, with the following stipulations:

1. Feather banners must be placed no less than 200 feet apart.
2. A maximum of 10 feather banners, in total.
3. Feather banners cannot be placed within the right of way.
4. Feather banners cannot be located offsite of PUD property.
5. Feather banners cannot exceed 12 feet in height.
6. Feather banners must be replaced or removed if they become faded, torn, or tattered.
7. Feather banners must be removed when 90% of the homes in the development have received building permit approval.

Pole signs and billboards are prohibited. All additional signage not previously approved must be in compliance with the requirements in the LDC.

(q) Maintenance of Common Areas. Maintenance of all common areas within the Project is the responsibility of the homeowners' association(s) for the affected subdivision.

(r) Prohibited Uses. No manufactured or modular homes are allowed.

Section 2. Amendments. A substantial deviation from the Conceptual Land Use Plan in Attachment B or deviation from the other terms of this Agreement may occur only if approved by the Town Council in the manner required by law or otherwise as determined by Town Council, which may include public notice(s) and hearing(s).

Minor amendments needed once final engineering is completed may be reviewed and approved by the Town Manager without referral to the Planning and Zoning Board or Town Council. Whether a proposed amendment is major or minor will be determined by the Town Manager.

Section 3: Notices. All notices or payments required to be made hereunder shall be made at the following addresses:

To Town: Sean O’Keefe, Town Manager
Town of Howey-in-the-Hills
101 North Palm Avenue
Howey-in-the-Hills, FL 34737
sokeefe@howey.org

With copies to: John Brock, CMC, Town Clerk
Town of Howey-in-the-Hills
101 North Palm Avenue
Howey-in-the-Hills, FL 34737
jbrock@howey.org

Thomas J. Wilkes, Town Attorney
Gray Robinson, P.A.
301 East Pine Street, Suite 1400
Orlando, FL 32801
twilkes@gray-robinson.com

To Owner: Craig C. Harris, Manager
Revels Road Investors, LLC
210 Hangar Road
Kissimmee, FL 34741

With copies to: Chris Gardner, Manager
CKG Development and Realty, LLC
1482 Granville Drive
Winter Park, FL 32789
chris@condevfl.com

Carolyn Haslam
Akerman LLP
420 S. Orange Avenue, Suite 1200
Orlando, Florida 32801
carolyn.haslam@akerman.com

Section 4: Severability. If any provision or portion of this Agreement is declared by a court of competent jurisdiction to be void, unconstitutional, or unenforceable, then all remaining provisions and portions of this Agreement shall remain in full force and effect. To that end, this Agreement is declared to be severable.

Section 5: Binding Effect. This Agreement runs with the land and is binding on and enforceable by and against the parties hereto and all their successors in interest. However, no Lot Owner shall have the obligations imposed on the Owner as the developer of the Project under this Agreement. For that purpose, a “Lot Owner” means an end-user of a lot created within the Property with a completed residential unit constructed thereon, for which a certificate of occupancy has been issued. Each party covenants to each other party that this Agreement is a legal, valid, and binding agreement, enforceable against the party in accordance with its terms.

Section 6: Negotiated Agreement. The land uses, densities, intensities, and other conditions of approval of the Project have been negotiated and agreed to by the Owner and the Town. The Conceptual Land Use Plan and this Agreement together constitute an agreement between the parties with the knowledge that the Owner's successors in title, the future homeowners, and other landowners within the Property, as well as the Town and its affected property owners and residents, all will rely justifiably on the agreed-to land uses, densities, and intensities authorized hereby for the Property. For that reason, the Owner and the Owner's successors in interest have the contract right to develop the PUD with the uses, densities, and intensities approved by the Town, subject to the restrictions and requirements in the conditions of approval set forth in this Agreement. Neither the Owner (and its successors in interest) nor the Town shall have the right in the future to rezone or downzone the property, or otherwise alter the uses, densities and intensities, or delete, waive or amend any conditions of approval except through an amendment to the Plan negotiated and approved by the Town Council and the owner of the then-subject parcel. This section shall survive the termination and expiration of this Agreement.

Section 7. Homeowners' Association(s).

(a) **Association Responsibilities.** A homeowner's association and/or a property owner's association ("HOA") must be created by the Owner. Membership in the HOA shall be mandatory for all property owners within the Project. The HOA shall be responsible for maintaining all parks, open-space and buffer areas, streetlights, stormwater-management areas and drainage systems, entrance features, boundary walls and/or fences, access tracts, and landscaped tracts within the Project.

(b) **Requirement for Plat Recording.** Before a plat may be recorded for the Property and the Project, the Owner shall furnish to the Town copies of the pertinent documents for the homeowners' or property owners' association or associations, plus the covenants, conditions and restrictions for the Property, setting forth the requirements and restrictions enumerated in this section 7 and other applicable parts of this Agreement.

Section 8. Additional Requirements.

a. **Letter of credit.** Construction and dedication to the Town of the public facilities and improvements required under this Agreement will be a condition precedent to final plat approval. In lieu of construction and dedication, however, the Owner may post a letter of credit with the Town for 125% of the cost of such improvements, in which event this condition precedent to final plat approval will be deemed satisfied.

b. **Conveyances to the Town.** Property dedicated or otherwise conveyed to the Town under this Agreement must be free and clear of encumbrances unless and to the extent an encumbrance is acceptable to the Town. Encumbrances discovered after the Effective Date of this Agreement must be removed or resolved by the Owner or its successor developer prior to dedication or conveyance of the affected property to the Town.

c. **Changes in status of land.** Until completion of the Project, the Owner or its successor developer of the Project has a continuing duty (i) to disclose promptly to the Town all changes in ownership, encumbrances, and other matters of record affecting the Property and (ii) to resolve all issues, title or otherwise, that may be identified by the Town as a result of such changes. Failure to disclose such changes or to resolve resulting issues may result in delay in issuance of development permits.

d. **Developer representations binding.** If at Town Council hearings on the approval of the Project the Owner makes a written or oral promise or representation, and if the promise or representation was relied upon by Town Council in approving the Project or otherwise acted to induce or materially influence Town Council in its vote to approve the Project, the promise or representation is a condition of approval of the Project. The promise or representation is binding on the Owner and its successors and enforceable by the Town against the Owner and its successors as if set forth fully in this Agreement.

Section 9. Governing Law. This Agreement shall be governed by the laws of the State of Florida. Venue for any judicial proceeding pertaining to the Agreement shall be in the Fifth Judicial Circuit of Florida, in Lake County, Florida.

Section 10. Effective Date; Termination.

(a) **Effective Date.** This Agreement shall take effect upon the Effective Date above, or on the date when it has been executed by both the Town Council and the Owner, whichever is later.

(b) **Termination.** This Agreement shall remain in effect unless and until terminated under one of the following conditions:

1. If as of the **second** anniversary of the Effective Date of this Agreement an Owner's contract right to treatment and disposal services by the CDD, as required under Section 1(g)1 above, has not taken effect, the Town may terminate this Agreement by vote of its Town Council. The vote must occur no later than (i) the **third** anniversary of the Effective Date or (ii) the CDD Contract Date, whichever occurs first. The "CDD Contract Date" is the date on which the Owner's contract right to treatment and disposal services by the CDD takes effect.
2. If as of the **second** anniversary of the CDD Contract Date no building permit for a residential unit in the Project has been issued, the Town may terminate this Agreement by vote of its Town Council. The vote must occur no later than (i) the **third** anniversary of the CDD Contract Date or (ii) the date a building permit is issued, whichever occurs first.
3. If as of the **fifth** anniversary of the CDD Contract Date no building permit for a residential unit in the second phase of the Project has been issued, the Town may terminate this Agreement by vote of its Town Council, but only as it applies to development of the second phase. The vote must occur no later than (i) the **sixth** anniversary of the CDD Contract Date or (ii) the date a building permit is issued

for a residential unit in the second phase, whichever occurs first. Termination of the Agreement for this reason will not act to preclude the Owner or its successor from completing the first phase of the Project.

Termination of this Agreement, in whole or in part, under this section shall be without prejudice to the Owner or its successor to apply for Town approvals to undertake or continue development of the Property in accordance with the circumstances and land-development regulations then existing in the Town.

Section 11. Recording. This Agreement shall be recorded by the Town, at the Owner's expense, in the Public Records of Lake County, Florida, and shall constitute a covenant running with the land.

Section 12. Authority. This Agreement is entered into by the Town under the home-rule powers granted to it by the Florida constitution (including specifically Article VIII, Section 2(b) thereof), the home-rule powers granted municipalities by statute (including specifically Chapter 166, Florida Statutes), and the Town's Charter. This Agreement does not constitute a "development agreement" under the Florida Local Government Development Agreement Act.

Section 13. Entire Agreement. This Agreement constitutes the entire agreement of the parties with respect to the transactions contemplated herein. It supersedes all prior understandings or agreements between the parties relating to the Property and the Project. No amendment to the terms of this Agreement shall be effective unless in writing signed by all parties hereto. Amendments to this Agreement will take effect and will be binding against the Town only if approved by a vote of the Town Council.

Section 14. Waiver. The failure of a party hereto to insist upon or enforce any right or privilege granted hereunder shall not constitute or operate as a waiver thereof and nothing shall constitute a waiver of any party's right to insist upon strict compliance with the terms hereof. However, any party may waive in writing the benefit of any provision or condition for its benefit which is contained herein. Waivers of material provisions of either this Agreement or the Town's LDC will be valid and binding against the Town only if approved by a vote of the Town Council.

[Signature pages follow]

IN WITNESS WHEREOF, the parties are signing this Agreement as of the Effective Date or, if later, the date by which both parties have fully executed this Agreement.

**TOWN OF HOWEY-IN-THE HILLS,
FLORIDA**

By: its Town Council

By: _____
Hon. Martha McFarlane, Mayor

Attest:

By: _____
John Brock, CMC, Town Clerk

Approved as to form and legality:
(for the use and reliance of the Town only)

Thomas J. Wilkes, Town Attorney

**STATE OF FLORIDA
COUNTY OF LAKE**

The foregoing instrument was executed, sworn to and acknowledged before me this ____ day of _____, 2022, by Martha McFarlane, as Mayor of the Town of Howey-in-the-Hills.

(SEAL)

Signature of Notary Public

Name of Notary Public
(Typed, Printed or stamped)

Personally Known ____ OR Produced Identification ____
Type of Identification Produced: _____

Witnesses:

REVELS ROAD INVESTORS, LLC

By: _____

Craig C. Harris

As its Manager

Printed Name: _____

Printed Name: _____

STATE OF FLORIDA

COUNTY OF _____

The foregoing instrument was executed, sworn to and acknowledged before me this ____ day of _____, 2022, by Craig C. Harris, Manager of REVELS ROAD INVESTORS, LLC, a Florida limited liability company, on their behalf.

(SEAL)

Signature of Notary Public

Name of Notary Public
(Typed, Printed or stamped)

Personally Known ____ OR Produced Identification ____

Type of Identification Produced: _____

**Attachment A
To
WATERMARK PUD DEVELOPMENT AGREEMENT**

LEGAL DESCRIPTION

(35-20-25-0150-000-01200)
ORB 2732, PG 1039

LOT 12; ALSO BEGIN 99 FEET SOUTH 1°32' WEST OF THE NORTHWEST CORNER OF LOT 16, THENCE RUN EAST TO THE SOUTHEASTERN BOUNDARY OF LOT 16; THENCE SOUTHWESTERLY ALONG THE SOUTHEASTERN BOUNDARY OF LOT 16; THENCE NORTHERLY ALONG THE WESTERN BOUNDARY OF LOT 16 TO THE POINT OF BEGINNING; LOTS 26 AND 27, LESS THAT PART INCLUDED IN CLAY PIT, ALL ACCORDING TO THE PLAT OF FIRST SUBDIVISION OF HOWEY, RECORDED IN PLAT BOOK 5, PAGE 32, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.
ORB 2732 PG 1041

PARCEL NO. 1 (35-20-25-0150-000-00100)
LOT 1 IN 1ST SUBDIVISION OF HOWEY, ACCORDING TO THE TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 5, PAGE 32, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.

PARCEL NO.2 (35-20-25-0150-000-00100)
THAT PART OF 1ST SUBDIVISION OF HOWEY, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 5, PAGE 32, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, BOUNDED AND DESCRIBED AS FOLLOWS: BEGIN AT THE INTERSECTION OF THE NORTH LINE OF SECTION 1, TOWNSHIP 21 SOUTH, RANGE 25 EAST, IN LAKE COUNTY, FLORIDA, WITH THE EASTERLY LINE OF THE RIGHT OF WAY OF SUNSET DRIVE AS SHOWN UPON SAID PLAT AND RUN THENCE EAST ALONG SAID NORTH LINE TO A POINT ON THE WATERS-EDGE OF LAKE BERTHA, SAID POINT BEING HEREBY DESIGNATED AS POINT "A". BEGIN AGAIN AT THE POINT OF BEGINNING AND RUN SOUTHERLY AND SOUTHEASTERLY ALONG THE EASTERLY LINE OF SAID RIGHT OF WAY TO THE WESTERLY LINE OF LOT 4 AS SHOWN UPON SAID PLAT; THENCE NORTHEASTERLY ALONG THE WESTERLY LINE OF SAID LOT 4 TO THE WATERS OF LAKE BERTHA; THENCE WESTERLY AND NORTHERLY ALONG AND WITH THE WATERS OF LAKE BERTHA TO THE ABOVE-DESIGNATED POINT "A".

PARCEL NO. 3 (02-21-25-0001-000-03700)
THAT PART OF THE NORTH 1/2 OF GOVERNMENT LOTS 1 AND 2 IN SECTION 2, TOWNSHIP 21 SOUTH, RANGE 25 EAST, IN LAKE COUNTY, FLORIDA, BOUNDED AND DESCRIBED AS FOLLOWS: BEGIN AT THE NORTHEAST CORNER OF SAID

SECTION 2, RUN THENCE SOUTH 00°06'05" EAST ALONG THE EAST LINE THERE OF, 1139.8 FEET; THENCE RUN NORTH 89°29'20" WEST 2668.76 FEET TO THE WEST LINE OF SAID GOVERNMENT LOT 2; THENCE RUN NORTH 00°09'00" WEST ALONG SAID WEST LINE 1125.96 FEET TO THE NORTHWEST CORNER OF SAID GOVERNMENT LOT 2; THENCE RUN SOUTH 89°46'40" EAST ALONG THE NORTH LINE OF SAID SECTION 2 FOR 2669.20 FEET TO THE POINT OF BEGINNING.

Total Acreage: 99.19

Attachment B
To
WATERMARK PUD DEVELOPMENT AGREEMENT

CONCEPTUAL LAND USE PLAN

[to be added]

#47805050 v6



ORDINANCE NO. 2022-021

AN ORDINANCE OF THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA,
CREATING CHAPTER 54 IN THE TOWN OF HOWEY-IN-THE-HILLS'
CODE OF ORDINANCES TITLED "ANIMAL CONTROL"; PROVIDING
REGULATIONS FOR RESTRAINT OF ANIMALS, NUISANCE ANIMALS,
THE POSSESSION, OWNERSHIP, CARE, AND CUSTODY OF ANIMALS;
PROVIDING FOR SEVERABILITY, CODIFICATION AND AN EFFECTIVE
DATE.

Whereas, under the Constitution of the State of Florida, specifically Article VIII, subsection 1(f), the animal-control ordinance enacted by the Lake County Board of County Commissioners, codified at Chapter 4 of the Lake County Code of Ordinances, is fully in effect within the boundaries of the Town of Howey-in-the-Hills; and

Whereas, the Town of Howey-in-the-Hills entered into an interlocal agreement with Lake County Sheriff for animal services and enforcement of Chapter 4 of the County Code; and

Whereas, the Town Council has determined that (i) the Town's Code of Ordinances should reference Chapter 4 and inform Town residents of the location of regulations governing animals in the Town.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN OF HOWEY-IN-THE-HILLS, FLORIDA:

Section 1. Recitals. The recitals set forth above are true and correct and constitute the legislative findings of the Town Council.

Section 2. Amendments to the Town of Howey-in-the-Hills Code of Ordinances. Chapter 54 of the Town of Howey-in-the-Hills' Code of Ordinances is added as follows:

Chapter 54 - ANIMALS

Sec. 54-1. – County ordinance to apply.

Chapter 4 of the Lake County Code of Ordinances, as it may be amended from time to time, is fully in effect within the boundaries of the Town and shall regulate the possession, ownership, care, and custody of animals, including licensure of animals, dangerous dogs and animals, and seizure and impoundment of animals. Enforcement of this Chapter 54 shall be as set forth in said chapter 4 of the Lake County Code of Ordinances.

Section 3. Severability. The provisions of this ordinance are declared to be severable. If any section, sentence, clause or phrase of this ordinance shall for any reason be held invalid or unconstitutional, such decision shall not affect the validity of the remaining sections, sentences, clauses and phrases of this ordinance, but they shall remain in effect, it being the legislative intent that this ordinance shall stand notwithstanding the invalidity of any part.

Section 4. Codification. The provisions of only section 2 shall be codified in the Town's Code of Ordinances.

Section 5. Effective Date. This ordinance takes effect upon its enactment.

PASSED AND ORDAINED this 28th day of November, 2022, by the Town Council of the Town of Howey-in-the-Hills, Florida.

Town of Howey-in-the-Hills, Florida

By: its Town Council

By: _____
Martha MacFarlane, Mayor

ATTEST:

APPROVED AS TO FORM AND LEGALITY

(for the use and reliance of the Town only)

John Brock, Town Clerk

Thomas J. Wilkes, Town Attorney

First Reading held November 14, 2022

Second Reading, Public Hearing and Adoption held November 28, 2022

Advertised November 18, 2022

#48764759 v2



MEMO

To: Town Council

CC:

From: John Brock, Town Clerk

RE: October 2022 Month-End Town Hall Report

Date: 11/09/2022

Utility Billing:

Top Utility Bill Bad Debt for October 2022

| last_payment _amount | last_ payme nt_ date | service_address | Comments | Curren t Due | past_ due_ amou nt |
|-------------------------|-------------------------------|---------------------------------|---|-----------------|-----------------------------|
| 63.27 | 01/28/ 2019 | 107 E MYRTLE ST | Lien, Locked. No water usage | 110.55 | 3331. 42 |
| 43.63 | 08/09/ 2022 | 463 BELLISSIMO PL-IRRIGATION | Lock, needs to be liened | 354.87 | 901.2 6 |
| 41.13 | 10/10/ 2022 | 607 N LAKESHORE BLVD | Related to water leak. | 98.21 | 853.3 6 |
| 97.54 | 10/05/ 2022 | 606 S FLORIDA AVE | Payment plan | 58.93 | 477.8 1 |
| 300.4 | 08/22/ 2022 | 440 AVILA PL- IRRIGATION | Payment plan | 44.5 | 426.2 6 |
| 87.13 | 08/09/ 2022 | 463 BELLISSIMO PL-POTABLE | Locked, needs to be liened. | 110.59 | 232.9 7 |
| 150 | 08/01/ 2022 | 464 AVILA PL- POTABLE | Has been out of town, waiting for payment plan | 122.2 | 188.2 2 |
| 120 | 11/01/ 2022 | 325 TERRACOTTA TER-POTABLE | Payment plan | 104.93 | 175.7 8 |
| 250 | 09/22/ 2022 | 219 MESSINA PL- IRRIGATION | Payment plan | 72.11 | 115.0 3 |
| 129.89 | 09/12/ 2022 | 409 AMOLA WAY- POTABLE | Not responding to requests | 122.2 | 110.3 8 |
| 93.13 | 10/12/ 2022 | 1104 N HAMLIN AVE | Payment plan | 64.45 | 103.4 7 |

Building Permits:

| PERMITS | Oct-22 | Nov-22 | Dec-22 | Q 1 Totals |
|----------------------------|------------|--------|--------|------------|
| Talichet - SFR | 15 | 0 | 0 | 15 |
| Independent - SFR | 1 | 0 | 0 | 1 |
| Building | 4 | 0 | 0 | 4 |
| Building Commercial (Sign) | 1 | 0 | 0 | 1 |
| Re-Roof | 2 | 0 | 0 | 2 |
| Screen Enclosure | 1 | 0 | 0 | 1 |
| Sheds | 0 | 0 | 0 | 0 |
| Fence | 5 | 0 | 0 | 5 |
| Electrical | 5 | 0 | 0 | 5 |
| Pool/Decks | 0 | 0 | 0 | 0 |
| Solar | 4 | 0 | 0 | 4 |
| Gas | 1 | 0 | 0 | 1 |
| HVAC / Mechanical | 2 | 0 | 0 | 2 |
| Plumbing | 1 | 0 | 0 | 1 |
| Windows | 3 | 0 | 0 | 3 |
| Monthly Totals | 45 | 0 | 0 | 45 |
| Monthly Permit Amount | \$ | \$ | \$ | \$ |
| \$ | 312,954.71 | - | - | 312,954.71 |
| Talichet CO's | 2 | 0 | 0 | 2 |
| Independent CO's | 0 | 0 | 0 | 0 |

TOWN OF HOWEY-IN-THE-HILLS POLICE DEPARTMENT



Item 10.

(352) 324-2030 / FAX (352) 324-0523

111 North Palm Avenue
Howey-In-The-Hills, FL 34737

November 1, 2022

The Honorable Town of Howey in the Hills Council

C/O Town Manager Sean O'Keefe (via email: sokeefe@howey.org Notification

to Civilian Governing Body and Local Community

Dear Councilors:

On May 25, 2022, President Biden signed Presidential Executive Order (EO) 14074 "Advancing Effective, Accountable Policing and Criminal Justice Practices to Enhance Public Trust and Public Safety."

In accordance with EO 14074, State, Tribal, local, and Territorial Law Enforcement agencies must notify: (1) their civilian governing body of their intent to request property from Federal sources (including Federal funds or grants) and (2) the local community of their request for property transfers, purchases from Federal funds, agencies or subcontractors (including existing transfer contracts or grants).

The Howey in the Hills Police Department may request the below controlled property items from the Law Enforcement Support Office or other Federal sources:

| Controlled Property Items | | |
|---|---------------------------------------|---------------------------------|
| AIRCRAFT ACCESSORIES, COMPONENTS, MISC | HEAVY EQUIPMENT/VEHICLES | SEARCHLIGHT |
| AIRCRAFT REPAIR PARTS/ COMPONENTS | INSULATION BLANKET | SHIPPING CONTAINER |
| AIRCRAFT, ROTARY WING | LIFE PRESERVER, VEST | SIGHT, BORE, OPTICAL |
| ALL TERRAIN VEHICLE (ATV) | MAGNIFIER | SIGHT, HOLOGRAPHIC |
| ANALYZER, HAZARDOUS MATERIAL IDENTIFICATION | MEDICAL/FIRST AID SUPPLIES | SIGHT, INFINITY |
| ANTENNA | MISCELLANEOUS COMMUNICATION EQUIPMENT | SIGHT, REFLEX |
| ARMORED VEHICLE | NIGHT VISION DEVICE | SMALL ARMS STORAGE RACKS |
| BINOCULAR | NIGHT VISION GOGGLE | SPOTTING INSTRUMENT, OPTICAL |
| BLANKETS | OFFICE EQUIPMENT | TENTS/PORTABLE SHELTERS |
| BREATHING APPARATUS | OFFICE SUPPLIES | THERMAL CAMERA |
| CAMERA SYSTEM | PREFAB & PORTABLE BUILDINGS | THERMAL CAMERA ACCESSORIES |
| COMPASS | PROTECTIVE EYEWEAR | TRUCK, CARGO |
| EXPLOSIVE ORDNANCE DISPOSAL ROBOT | RANGE FINDER, LASER | TRUCK, TANK |
| FLASHLIGHTS | RED DOT SIGHT | VEHICLE REPAIR PARTS/COMPONENTS |
| FLOODLIGHT | RIFLESCOPE | WARM WEATHER CLOTHING/SHOES |
| GENERATOR SET | | |

Thank you for your time and consideration.

Sincerely,

Rick Thomas

Rick Thomas
Chief of Police

Activity Log Event Summary (Cumulative Totals)

Howey-in-the-Hills PD
(10/01/2022 - 10/31/2022)

| | | | |
|------------------------------------|-----|--|-----|
| <No Event Type Specified> | 4 | Abandoned 911 | 1 |
| Abandoned Vehicle | 1 | Alarm Activation | 3 |
| Alarm Activation - Business | 1 | Animal Complaint | 2 |
| Anti-Social Behavior | 96 | Arrest | 5 |
| Assault & Battery | 2 | Assist other Agency- Alarms | 2 |
| Assist other Agency- Back-up | 8 | Assist other Agency- In Progress calls | 2 |
| Assist other Agency- Medical Call | 2 | Assist other Agency- Other | 6 |
| Assist other Agency- Traffic | 4 | Baker Act | 7 |
| Be on the look-out- BOLO | 1 | Case Follow-Up | 2 |
| Child Neglect-Abuse | 1 | Citizen Assist | 8 |
| Civil Complaint-Legal Advice | 7 | Criminal Mischief | 1 |
| Disabled Vehicle (DAV) | 2 | Disturbance | 2 |
| Found / Lost Property | 2 | Fraud Investigation | 2 |
| Juvenile Complaint | 1 | Mental Health Illness | 2 |
| Missing/Found Child | 1 | Missing/Found Person | 1 |
| Noise Complaint | 4 | Patrol | 200 |
| Patrol-School | 255 | Property Check-Boat Ramp | 23 |
| Property Check-Business | 64 | Property Check-Residence | 61 |
| Property Check-Schools/Govt. Bldg. | 67 | Property Check-Town Property | 140 |
| Public Relations | 21 | Reckless Driver | 3 |
| Road Hazard | 1 | Sick/Injured Person | 5 |
| Special Detail | 1 | Suspicious Incident | 3 |
| Suspicious Person | 6 | Traffic Complaint | 1 |
| Traffic Crash | 4 | Traffic Stop-Civil Citation | 121 |
| Traffic Stop-Criminal Citation | 6 | Traffic Stop-warning | 53 |
| Traffic Watch | 63 | Training- | 5 |
| Trespassing Complaint | 1 | VIN Verification | 1 |
| Well Being Check | 3 | | |

Total Number Of Events: 1,291

Code Summary Report Violation Name

Violation Date 10/01/2021 TO 09/30/2022

| | Jan | Feb | Mar | Apr | May | Jun | Jul | Aug | Sep | Oct | Nov | Dec | Row | Total |
|--|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|----------|------------|-------|
| Accumulation of Junk. Chapter 127, Sec. 127-4 | 4 | 1 | 1 | 2 | 1 | 0 | 2 | 1 | 1 | 0 | 6 | 0 | 19 | |
| Accumulation of Refuse Sec. 127-2 | 4 | 0 | 0 | 2 | 0 | 1 | 3 | 2 | 3 | 0 | 5 | 0 | 20 | |
| Adoption by reference of State standards. Chapter 61, Sec. 61-1 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 0 | 0 | 1 | |
| Excessive or Untended Growth of Vegetation Sec. 127-3 | 1 | 1 | 0 | 6 | 2 | 6 | 2 | 6 | 1 | 0 | 2 | 0 | 27 | |
| Fence Material 5.01.07(D) | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 0 | 0 | 0 | 1 | |
| Fence Permit 5.01.07(A) | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 2 | 0 | 0 | 0 | 0 | 2 | |
| Florida Building Code 105.1 | 2 | 1 | 1 | 0 | 1 | 0 | 0 | 0 | 1 | 4 | 0 | 2 | 12 | |
| Junk definition Chapter 127, Sec. 127-1. - Definitions | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 0 | 0 | 1 | |
| Land Clearing LDC Chap 7.13.00 | 0 | 0 | 1 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | |
| Movable Module Storage Units LDC 5.02.06 | 1 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 0 | 0 | 0 | 2 | |
| Parking-Boats and RVs (A) Article I, Sec. 166-3 | 0 | 0 | 0 | 0 | 2 | 0 | 0 | 1 | 6 | 2 | 2 | 0 | 13 | |
| Parking-Boats and RVs (C) Article I, Sec. 166-3 | 2 | 2 | 1 | 1 | 3 | 0 | 2 | 2 | 5 | 0 | 0 | 0 | 18 | |
| Parking-Boats and RVs (D) Article I, Sec. 166-3 | 0 | 1 | 4 | 1 | 0 | 0 | 0 | 1 | 4 | 0 | 0 | 0 | 11 | |
| Political Signs 5.03.05(K) | 4 | 0 | 0 | 0 | 7 | 0 | 0 | 0 | 0 | 0 | 3 | 0 | 14 | |
| Prohibited Signs 5.03.04 | 0 | 0 | 0 | 0 | 9 | 0 | 0 | 0 | 0 | 8 | 2 | 0 | 19 | |
| Required Landscaping 7.08.01 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 66 | 4 | 0 | 0 | 0 | 70 | |
| Storm water Management 8.05.05 (K)(2)(o) | 0 | 1 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | |
| Stormwater Maintenance 8.05.05(I)(5)(b)(2) | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 0 | 0 | 0 | 1 | |
| Stormwater Maintenance 8.05.05(M)(4) | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 0 | 0 | 0 | 1 | |
| Stormwater Maintenance 8.05.05(M)(5) | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 0 | 0 | 0 | 1 | |
| Temp Carports and Covers LDC 05.02.08 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 0 | 0 | 1 | |
| Tree Permit LDC Chap 7.12.01 | 0 | 0 | 1 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | |
| Use of Parking Areas - Sales and Repairs Article II, Sec. 166-13 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 0 | 0 | 1 | |
| Water Restriction Sec. 171-123(c)(1) | 1 | 5 | 0 | 2 | 8 | 5 | 23 | 1 | 0 | 0 | 0 | 0 | 45 | |
| Water Restriction Sec. 171-123(c)(2) | 0 | 0 | 10 | 0 | 2 | 6 | 0 | 0 | 0 | 0 | 0 | 0 | 18 | |
| Totals: | 19 | 12 | 19 | 14 | 35 | 18 | 32 | 87 | 29 | 14 | 20 | 2 | 301 | |

Code Summary Report Violation Name

Violation Date 10/01/2022 TO 10/31/2022

| | Jan | Feb | Mar | Apr | May | Jun | Jul | Aug | Sep | Oct | Nov | Dec | Row | Total |
|---|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|-----|----------|
| Accumulation of Junk. Chapter 127, Sec. 127-4 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 0 | | 1 |
| Accumulation of Refuse Sec. 127-2 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 0 | | 1 |
| Excessive or Untended Growth of Vegetation Sec. 127-3 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 2 | 0 | 0 | | 2 |
| Totals: | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 4 | 0 | 0 | | 4 |

Code Summary Report Activity Type

Activity Date 10/01/2021 TO 09/30/2022

| | Jan | Feb | Mar | Apr | May | Jun | Jul | Aug | Sep | Oct | Nov | Dec | Row Total |
|--------------------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|------------|------------|-----------|-----------|-----------|-------------|
| Email | 2 | 1 | 3 | 0 | 1 | 0 | 0 | 155 | 5 | 0 | 0 | 2 | 169 |
| Initial Inspection | 18 | 25 | 14 | 14 | 26 | 18 | 9 | 86 | 22 | 18 | 12 | 3 | 265 |
| Issue Citation | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 2 | 0 | 0 | 2 |
| Meeting | 0 | 0 | 0 | 1 | 0 | 1 | 0 | 67 | 12 | 0 | 0 | 0 | 81 |
| Office visit | 1 | 0 | 2 | 0 | 0 | 0 | 0 | 1 | 0 | 0 | 0 | 1 | 5 |
| Personal Service | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 0 | 0 | 1 |
| Phone call | 7 | 4 | 10 | 4 | 11 | 1 | 9 | 21 | 4 | 10 | 6 | 5 | 92 |
| Posting | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 0 | 0 | 1 |
| Re-Inspection | 13 | 6 | 16 | 7 | 28 | 15 | 15 | 3 | 40 | 17 | 12 | 12 | 184 |
| Research | 2 | 0 | 10 | 1 | 17 | 14 | 27 | 96 | 80 | 0 | 2 | 2 | 251 |
| Send Letter | 2 | 3 | 13 | 3 | 6 | 2 | 2 | 8 | 5 | 4 | 3 | 1 | 52 |
| Verbal Warning | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 1 |
| Totals: | 45 | 39 | 68 | 30 | 89 | 51 | 62 | 437 | 170 | 51 | 36 | 26 | 1104 |

Code Summary Report Activity Type

Activity Date 10/01/2022 TO 10/31/2022

| | Jan | Feb | Mar | Apr | May | Jun | Jul | Aug | Sep | Oct | Nov | Dec | Row Total |
|--------------------|----------|----------|----------|----------|----------|----------|----------|----------|----------|------------|----------|----------|------------|
| Email | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 3 | 0 | 0 | 3 |
| Hurricane recovery | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 278 | 0 | 0 | 278 |
| Initial Inspection | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 3 | 0 | 0 | 3 |
| Personal Service | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 0 | 1 |
| Phone call | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 0 | 1 |
| Re-Inspection | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 0 | 1 |
| Send Letter | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 3 | 0 | 0 | 3 |
| Totals: | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 290 | 0 | 0 | 290 |



Public Works

October 2022 – Monthly Report

| Activity | Location/ Address | Notes |
|--|--|--|
| Road Maintenance / Potholes | W. Holly Street at S. Florida Ave. | PW staff filled a pothole at the intersection of W. Holly Street and S. Florida Ave. |
| Street Signs | N. Lakeshore Blvd at N. Tangerine Ave | Trimmed hedge blocking the view of the Stop Sign |
| Stormwater/Drainage | | |
| Sidewalk Maintenance | Library | Grinded sidewalk joints to prevent trip hazards |
| Building Maintenance | Town Hall | Removed broken concrete at Town Hall back door |
| Grounds Maintenance | Cemetery Central Park | Trimmed Hedges at the Cemetery Removed wood playground borders around swing set at Central Park, will be installing new safer plastic border. |
| Tree Trimming/Tree Removal/Stump Removal | Sara Maude Nature Preserve Cemetery Blevin's Park | Tree Contractor removed trees from Sara Maude, the Cemetery and Blevin's Park that were damaged during Hurricane Ian |
| Mowing/Weed Eating | Main Water Plant Well # 3 Lakeshore Blvd Cemetery | Monthly Maintenance mowing, weed eating and edging. Monthly Mowing of Town Right of Way |
| Boardwalk Repairs | Sara Maude Mason Nature Preserve | Sara Maude still closed due to storm damage (see update below) |
| Landscape/Irrigation/Lot Grading Inspections/Sidewalk Inspections | Talichet Venezia | 2 Landscape/Irrigation Inspections 2 Lot Grading Inspections 2 Sidewalk Inspections |
| | | |

Additional Notes:

- **Sara Maude Mason Nature Preserve will be closed until further notice:**
 - The boardwalk was damaged in multiple areas due to fallen trees. (Unsafe for pedestrian traffic)
 - The Town's tree contractor has removed all trees from the boardwalk and nature trail.
 - Public Works Director met with Hottinger Construction on Friday 10/7/2022 for an estimate on replacing the damaged sections of the boardwalk. Hottinger Construction provided multiple options for the repairs to the damaged sections of the boardwalk and options for full replacement of the sections of the existing boardwalk between the damaged areas.
 - Town Staff is working with FEMA for clearance of reimbursement on the cost of repairs to the boardwalk. FEMA is requiring an inspection of the boardwalk by a structural engineer.



Public Utilities

October 2022– Monthly Report

| Activity | Location/ Address | Notes |
|----------------|-------------------|---|
| Locates | Throughout Town | 45 utility locates |
| Data log | Throughout Town | 3 data logs high usage and leak checks |
| Service Orders | Throughout town | 36 utility service orders, register change out, reread, move in/out reading |
| Repairs | Well 3 | Phase voltage issue in the Soft start at well 3. |
| | | |
| | | |
| | | |
| | | |
| | | |



**Library Director's Report
Marianne Beck Memorial Library
For the Month of October 2022**

Statistics for October 2022

KOHA: 1,892, Digital: 120 total KOHA: 2,012. Computer sessions: 91. We signed up 16 new patrons for library cards in October.

Funds collected for October:

Copies/Fax: \$152.50 **Fines:** \$47.50 **Total:** \$ 200.00

Activities during the month of October:

Morgan is ordering a door to replace one between the LEC and the main library. I received a county impact grant to purchase two book fixtures, storage bins with seats and a display cube. The cube should arrive at the end of this month, the storage seats in January and the book fixtures in February. The county also awarded Howey a grant for a home school collection that will benefit the entire library system. I will speak with cataloging because all the titles we ordered are not available anywhere in the system and will need to be added to the catalog. We will be distributing the Chromebooks beginning next week to qualifying home school students.

In an effort to reach more public school students we are looking into purchasing small drones to have drone competitions. The Library Foundation has offered to purchase the drones for the program. Hannah is also working on a "Marvel movie club" to begin in November.

In conjunction with the Lake County extension we hosted a series on "Living with Diabetes" and have begun a "Living Your Best Life Series". This is a five part series. Beginning in November we are also partnering with the Extension on a series of gardening programs. The first one will be on succulents.

I have registered for a class on November 17th called "the Art & Science of Marketing Communications". It will explain the use of language and the science of psychology to craft

effective marketing communications. Starting in November Hannah and I will be visiting each library to gain insight the operations of other libraries.

At this time, we are planning and organizing the Friday night of the Howey Christmas Festival. We have a craft planned, the FOL is be hosting a baked goods auction, we will have the Christmas tree lighting and story time with Santa among other events throughout the evening.

We actively working toward becoming more invested in the community and the residents of Howey.

Respectively Submitted,
Tara Hall, Library Director

HOWEY-IN-THE-HILLS FINANCIAL REPORT

Oct-22

| <u>REVENUES</u> | | <u>FYE</u> | <u>RECEIVED</u> | <u>RECEIVED</u> | <u>ESTIMATED</u> | <u>REVENUE</u> | <u>PERCENT</u> | <u>DIFFERENCE</u> |
|-----------------------|--|-----------------|------------------------|---------------------|------------------|-----------------------|-----------------|-----------------------|
| | | <u>2022</u> | <u>SINCE LAST REP.</u> | <u>YEAR-TO-DATE</u> | <u>REVENUE</u> | <u>TO BE RECEIVED</u> | <u>RECEIVED</u> | <u>FROM LAST REP.</u> |
| GENERAL | | \$ 2,098,222.36 | | \$ 29,800.84 | \$ 2,479,898.00 | \$ 2,450,097.16 | 1% | |
| POLICE ADV TRAINING | | \$ 3,091.26 | | \$ 14.00 | \$ 3,000.00 | \$ 2,986.00 | 0% | |
| POLICE IMPACT FEES* | | \$ 32,556.73 | | \$ 24,486.28 | \$ 50,000.00 | \$ 25,513.72 | 49% | |
| PARK IMPACT FEES* | | \$ 28,472.62 | | \$ 22,987.12 | \$ 192,600.00 | \$ 169,612.88 | 12% | |
| WATER IMPACT FEES* | | \$ 53,563.94 | | \$ 37,809.84 | \$ 384,000.00 | \$ 346,190.16 | 10% | |
| INFRASTRUCTURE FUND | | \$ 257,003.41 | | \$ 924.24 | \$ 233,227.00 | \$ 232,302.76 | 0% | |
| BUILDING FUND | | \$ 184,426.29 | | \$ 118,501.30 | \$ 219,615.00 | \$ 101,113.70 | 54% | |
| WATER/SANITATION FUND | | \$ 1,640,810.12 | | \$ 123,140.65 | \$ 1,463,696.00 | \$ 1,340,555.35 | 8% | |
| POLICE RETIREMENT | | \$ (139,083.00) | | \$ - | \$ 95,653.00 | \$ 95,653.00 | 0% | |
| TOTALS | | \$ 4,159,063.73 | | \$ 357,664.27 | \$ 5,121,689.00 | \$ 4,764,024.73 | 7% | |

| | | | | |
|------------------------------------|----|-------------|----|-----------|
| *Subtotal for Impact Fees Revenues | \$ | (29,310.05) | \$ | 85,283.24 |
|------------------------------------|----|-------------|----|-----------|

| <u>EXPENDITURES</u> | | <u>FYE</u> | <u>COMMITTED</u> | <u>COMMITTED</u> | <u>CURRENT</u> | <u>AVAILABLE</u> | <u>PERCENT</u> | <u>DIFFERENCE</u> |
|-----------------------|--|-----------------|------------------------|---------------------|----------------------|----------------------|------------------|-----------------------|
| | | <u>2022</u> | <u>SINCE LAST REP.</u> | <u>YEAR-TO-DATE</u> | <u>APPROPRIATION</u> | <u>APPROPRIATION</u> | <u>COMMITTED</u> | <u>FROM LAST REP.</u> |
| GENERAL | | \$ 2,107,476.51 | | \$ 178,022.14 | \$ 2,479,898.00 | \$ 2,301,875.86 | 7% | |
| POLICE ADV TRAINING | | \$ - | | \$ - | \$ 3,000.00 | \$ 3,000.00 | 0% | |
| POLICE IMPACT FEES* | | \$ 184,250.14 | | \$ 44,004.82 | \$ 34,600.00 | \$ (9,404.82) | 127% | |
| PARK IMPACT FEES* | | \$ 41,625.23 | | \$ - | \$ 208,000.00 | \$ 208,000.00 | 0% | |
| WATER IMPACT FEES* | | \$ 17,263.23 | | \$ - | \$ 384,000.00 | \$ 384,000.00 | 0% | |
| INFRASTRUCTURE FUND | | \$ 190,672.05 | | \$ - | \$ 233,227.00 | \$ 233,227.00 | 0% | |
| BUILDING FUND | | \$ 126,596.35 | | \$ 6,664.82 | \$ 219,615.00 | \$ 212,950.18 | 3% | |
| WATER/SANITATION FUND | | \$ 1,191,020.05 | | \$ 59,516.30 | \$ 1,463,696.00 | \$ 1,404,179.70 | 4% | |
| POLICE RETIREMENT | | \$ 80,793.86 | | \$ - | \$ 95,653.00 | \$ 95,653.00 | 0% | |
| TOTALS | | \$ 3,939,697.42 | | \$ 288,208.08 | \$ 5,121,689.00 | \$ 4,833,480.92 | 6% | |

| | | | | |
|--|----|--------------|----|-----------|
| *Subtotal for Impact Fees Expenditures | \$ | (199,133.78) | \$ | 44,004.82 |
|--|----|--------------|----|-----------|

HOWEY IN THE HILLS FINANCIAL REPORT Oct-22

ACCOUNTS

LOANS

151200

Florida Prime Account**STATE BOARD ADMINISTRATION BALANCE** (usually comes in 2nd week of month)

| | | |
|--------------------------------------|----|-----------|
| SBA FUND A | \$ | 19,245.80 |
| INTEREST RECEIVED (APY 0.10%) | \$ | 51.50 |
| TOTAL | \$ | 19,297.30 |

101076

SEACOAST MONEY MARKET ACCOUNT

| | | | |
|------------|--------------------------------------|----|------------|
| (RESERVES) | BEGINNING BALANCE | \$ | 658,617.43 |
| | TRANSFERS IN (OUT) | | |
| | INTEREST RECEIVED (APY 0.05%) | \$ | 27.97 |
| | ENDING BALANCE | \$ | 658,645.40 |

101080

SEACOAST #2 MONEY MARKET ACCOUNT

| | | | |
|----------------|--------------------------------------|----|----------|
| (BISHOPS GATE) | BEGINNING BALANCE | | 2,926.09 |
| Sinking Fund | TRANSFERS IN (OUT) | | |
| | INTEREST RECEIVED (APY 0.01%) | \$ | 0.02 |
| | ENDING BALANCE | \$ | 2,926.11 |

101005

SEACOAST CHECKING ACCOUNT (Operating)

| | | | |
|--------------------|-----------------------------|----|--------------|
| Operating Checking | BEGINNING BALANCE | \$ | 2,417,088.49 |
| | REVENUES DEPOSITED | \$ | 505,410.84 |
| | TRANSFERS IN (OUT) | | |
| | EXPENDITURES CLEARED | \$ | (476,292.51) |
| | ENDING BALANCE | \$ | 2,446,206.82 |

101160

SEASIDE MONEY MARKET ACCOUNT

| | | | |
|--|--------------------------------------|----|------------|
| | BEGINNING BALANCE | \$ | 343,344.68 |
| | TRANSFERS IN (OUT) | \$ | - |
| | INTEREST RECEIVED (APY 0.10%) | \$ | 29.16 |
| | ENDING BALANCE | \$ | 343,373.84 |

101110

SEASIDE CHECKING ACCOUNT (Pays to Loan)

| | | | |
|--|---------------------------|----|-----------|
| | BEGINNING BALANCE | \$ | 18,083.56 |
| | TRANSFERS IN (OUT) | | |
| | DEPOSITED | \$ | - |
| | ENDING BALANCE | \$ | 18,083.56 |

101120

SEASIDE SRF LOAN SWEEP ACCOUNT

| | | | |
|--|-----------------------------|----|-------------|
| | BEGINNING BALANCE | \$ | 2,490.97 |
| | TRANSFERS IN (OUT) | \$ | 72,314.68 |
| | EXPENDITURES CLEARED | \$ | (72,314.68) |
| | ENDING BALANCE | \$ | 2,490.97 |

TOTAL \$ 3,491,024.00**FDEP SRF LOAN (2.71%/2.12% interest)***

| | |
|-------------------------------|-----------------|
| BEGINNING BALANCE | \$ 1,322,737.88 |
| TRANSFERS IN (OUT) | \$0.00 |
| ALLOCATED TO PRINCIPAL | \$0.00 |
| ALLOCATED TO INTEREST | \$0.00 |
| ENDING BALANCE | \$ 1,322,737.88 |

*payments of \$72,314.68 are made in April and Oct. and will continue until 2032

TOTAL \$ 1,322,737.88

United Community Bank (renamed from Seaside)

HOWEY-IN-THE-HILLS FINANCIAL REPORT (Previous Month)

Sep-22

(revenues and expenditures updated one month after initial report completion)

| <u>REVENUES</u> | <u>Balance Brought</u> | <u>FYE</u> | <u>RECEIVED</u> | <u>RECEIVED</u> | <u>ESTIMATED</u> | <u>REVENUE</u> | <u>PERCENT</u> |
|-----------------------|------------------------|-----------------|---------------------|---------------------|------------------|-----------------------|-----------------|
| | <u>Forward</u> | <u>2021</u> | <u>CURRENT MON.</u> | <u>YEAR-TO-DATE</u> | <u>REVENUE</u> | <u>TO BE RECEIVED</u> | <u>RECEIVED</u> |
| GENERAL | \$ 796,058 | \$ 2,490,840.72 | \$ 60,157.67 | \$ 2,098,222.36 | \$ 2,074,421.00 | \$ (23,801.36) | 101% |
| POLICE ADV TRAINING | | \$ 3,318.28 | \$ 396.26 | \$ 3,091.26 | \$ 3,000.00 | \$ (91.26) | 103% |
| POLICE IMPACT FEES* | \$ 273,218 | \$ 101,152.17 | \$ 4,572.68 | \$ 32,556.73 | \$ 50,000.00 | \$ 17,443.27 | 65% |
| PARK IMPACT FEES* | \$ 273,129 | \$ 93,591.14 | \$ 4,292.72 | \$ 28,472.62 | \$ 40,000.00 | \$ 11,527.38 | 71% |
| WATER IMPACT FEES* | \$ 731,659 | \$ 201,671.56 | \$ 6,301.64 | \$ 53,563.94 | \$ 90,000.00 | \$ 36,436.06 | 60% |
| INFRASTRUCTURE FUND | \$109,297 | \$ 216,889.55 | \$ 17,994.24 | \$ 257,003.41 | \$ 219,707.00 | \$ (37,296.41) | 117% |
| BUILDING FUND | \$ 158,928 | | \$ 22,407.71 | \$ 184,426.29 | \$ - | \$ (184,426.29) | |
| WATER/SANITATION FUND | | \$ 1,067,854.09 | \$ 92,827.92 | \$ 1,640,810.12 | \$ 1,126,500.00 | \$ (514,310.12) | 146% |
| POLICE RETIREMENT | \$1,676,709 | \$ 486,776.74 | \$ (106,066.35) | \$ (139,083.00) | \$ 214,653.00 | \$ 353,736.00 | -65% |
| TOTALS | | \$ 4,662,094.25 | \$ 102,884.49 | \$ 4,159,063.73 | \$ 3,818,281.00 | \$ (340,782.73) | 109% |

*Subtotal for Impact Fees Revenues \$ 15,167.04 \$ 114,593.29

| <u>EXPENDITURES</u> | <u>FYE</u> | <u>COMMITTED</u> | <u>COMMITTED</u> | <u>CURRENT</u> | <u>AVAILABLE</u> | <u>PERCENT</u> |
|-----------------------|-----------------|---------------------|---------------------|----------------------|----------------------|----------------|
| | <u>2021</u> | <u>CURRENT MON.</u> | <u>YEAR-TO-DATE</u> | <u>APPROPRIATION</u> | <u>APPROPRIATION</u> | <u>COMM.</u> |
| GENERAL | \$ 1,963,604.45 | \$ 171,005.60 | \$ 2,107,476.51 | \$ 2,300,202.00 | \$ 192,725.49 | 92% |
| POLICE ADV TRAINING | \$ 1,950.82 | \$ - | \$ - | \$ 3,100.00 | \$ 3,100.00 | 0% |
| POLICE IMPACT FEES* | \$ 31,022.45 | \$ 11,720.88 | \$ 184,250.14 | \$ 198,600.00 | \$ 14,349.86 | 93% |
| PARK IMPACT FEES* | \$ 11,675.00 | \$ 260.86 | \$ 41,625.23 | \$ 29,456.00 | \$ (12,169.23) | 141% |
| WATER IMPACT FEES* | \$ 2,598.45 | \$ - | \$ 17,263.23 | \$ 54,000.00 | \$ 36,736.77 | 32% |
| INFRASTRUCTURE FUND | \$ 108,974.72 | \$ 3,716.00 | \$ 190,672.05 | \$ 178,523.00 | \$ (12,149.05) | 107% |
| BUILDING FUND | | \$ 17,857.26 | \$ 126,596.35 | \$ - | \$ (126,596.35) | |
| WATER/SANITATION FUND | \$ 921,015.41 | \$ 112,164.51 | \$ 1,191,020.05 | \$ 1,174,269.00 | \$ (16,751.05) | 101% |
| POLICE RETIREMENT | \$ 93,290.98 | \$ 7,222.86 | \$ 80,793.86 | \$ 79,438.00 | \$ (1,355.86) | 102% |
| TOTALS | \$ 3,134,132.28 | \$ 323,947.97 | \$ 3,939,697.42 | \$ 4,017,588.00 | \$ 77,890.58 | 98% |

| | | |
|--|--------------|---------------|
| *Subtotal for Impact Fees Expenditures | \$ 11,981.74 | \$ 243,138.60 |
|--|--------------|---------------|