



CITY OF HENDERSONVILLE CURRENT PLANNING COMMITTEE

City Hall | 2nd Floor Meeting Room | 160 6th Ave. E. | Hendersonville NC 28792
Thursday, June 12, 2025 – 3:00 PM

AGENDA

1. **CALL TO ORDER**
2. **APPROVAL OF AGENDA**
3. **APPROVAL OF MINUTES**
4. **OLD BUSINESS**
5. **NEW BUSINESS**
 - A. Rezoning: Conditional Zoning District –Spartanburg Highway Medical Office Building (25-23-CZD)–*Tyler Morrow– Current Planning Manager*
 - B. Administrative Review: Preliminary Site Plan– Signal Hill Townhomes (25-20-SPR)– *Sam Hayes – Planner II*
 - C. Rezoning: Standard Rezoning – Old Sunset Hill Rd Rezoning | Albea & Taylor (25-38-RZO) – *Matthew Manley, AICP – Long-Range Planning Manager*
 - D. Rezoning: Standard Rezoning–Quattlebaum Properties F LLC (Sheetz Upward Road) (25-37-RZO) – *Sam Hayes–Planner II*
6. **OTHER BUSINESS**
7. **ADJOURNMENT**

The City of Hendersonville is committed to providing accessible facilities, programs and services for all people in compliance with the Americans with Disabilities Act (ADA). Should you need assistance or an accommodation for this meeting please contact the Community Development Department no later than 24 hours prior to the meeting at 828-697-3010.

<p>The petition is consistent with a range of Goals, Guiding Principles and the Future Land Use Designation of Chapter IV of the Gen H Comprehensive Plan.</p> <p>4. Furthermore, we find this petition to be reasonable and in the public interest based on the information from the staff analysis, public hearing and because:</p> <ol style="list-style-type: none">1. The proposed development would provide citizens who reside on the southern side of Henderson County the opportunity to have primary care, physical therapy, and pharmacy service within a closer proximity to where they live.2. The proposed development is within close proximity to other institutional uses along this corridor. <p>[DISCUSS & VOTE]</p>	<p>[DISCUSS & VOTE]</p>
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***SUMMARY:** The City of Hendersonville is in receipt of an application for a Conditional Rezoning from John Bryant, Vice President, Operations and Support Services for UNC Health Pardee, applicant and Bryan Rhodes, Capital Projects Construction Manager for Henderson County Government, property owner. The applicant is requesting to rezone the subject property, PINs 9578-41-6876 & 9578-42-5074 and located between Spartanburg Highway and Old Spartanburg Road, from C-3 SU, Highway Business Special Use to CHMU-CZD, Commercial Highway Mixed Use Conditional Zoning District for the construction of a 42,520 square foot medical office building.*

The site plan shows one building proposed at a height of 32'. The development will have access from both Spartanburg Highway and Old Spartanburg Road. The site plan shows the development providing 196 parking spaces to serve the development. There will be a public drop off area on the southern façade of the building and a pharmacy line on the eastern façade.

PROJECT/PETITIONER NUMBER:	25-23-CZD
PETITIONER NAME:	<ul style="list-style-type: none">• John Bryant, Vice President, Operations and Support Services for UNC Health Pardee [Applicant]• Bryan Rhodes, Capital Projects Construction Manager for Henderson County Government [Owner]

ATTACHMENTS:	<ol style="list-style-type: none">1. Staff Report2. Comprehensive Plan Review3. Preliminary Site Plan and Rendering Package4. Neighborhood Compatibility Meeting Summary5. Proposed Zoning Map6. Draft Ordinance7. Application8. Deed
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REZONING: CONDITIONAL REZONING –SPARTANBURG HIGHWAY MEDICAL
OFFICE BUILDING (25-23-CZD)
CITY OF HENDERSONVILLE - COMMUNITY DEVELOPMENT STAFF REPORT

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PROJECT SUMMARY

- Project Name & Case #:
 - Spartanburg Highway Medical Office Building
 - 25-23-CZD
- Applicant & Property Owner:
 - John Bryant, Vice President, Operations and Support Services for UNC Health Pardee [Applicant]
 - Bryan Rhodes, Capital Projects Construction Manager for Henderson County Government [Owner]
- Property Address:
 - 0 Spartanburg Highway
- Project Acreage:
 - 4.54 Acres
- Parcel Identification (PIN):
 - 9578-41-6876
 - 9578-42-5074
- Current Parcel Zoning:
 - C-3 SU, Highway Business Special Use
- Future Land Use Designation:
 - Mixed Use-Employment
- Requested Zoning:
 - CHMU-CZD, Commercial Highway Mixed Conditional Zoning District.
- Requested Uses:
 - Offices, business, professional and public
- Neighborhood Compatibility Meeting:
 - April 29th, 2025

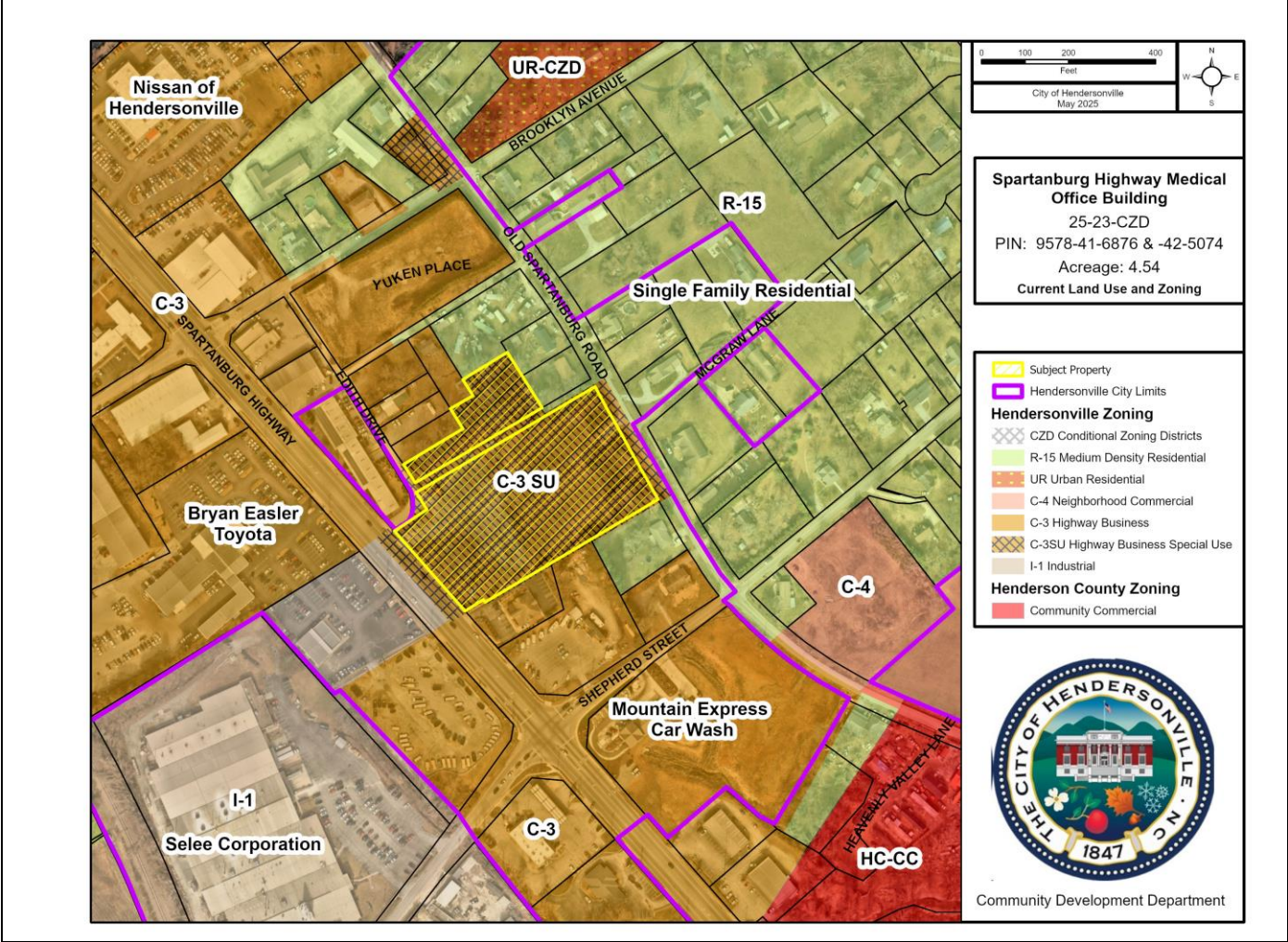


SITE VICINITY MAP

The City of Hendersonville is in receipt of an application for a Conditional Rezoning from John Bryant, Vice President, Operations and Support Services for UNC Health Pardee, applicant and Bryan Rhodes, Capital Projects Construction Manager for Henderson County Government, property owner. The applicant is requesting to rezone the subject property, PINs 9578-41-6876 & 9578-42-5074 and located between Spartanburg Highway and Old Spartanburg Road, from C-3 SU, Highway Business Special Use to CHMU-CZD, Commercial Highway Mixed Use Conditional Zoning District for the construction of a 42,520 square foot medical office building.

The site plan shows one building proposed at a height of 32'. The development will have access from both Spartanburg Highway and Old Spartanburg Road. The site plan shows the development providing 196 parking spaces to serve the development. There will be a public drop off area on the southern façade of the building and a pharmacy line on the eastern façade.

EXISTING ZONING & LAND USE



City of Hendersonville Current Zoning & Land Use Map

The subject property is currently a large vacant property that fronts on both Spartanburg Highway and Old Spartanburg Road. It appears that the site is being utilized currently by utility companies for training. The subject property is zoned C-3-SU, or Highway Business Special Use for a cycle center that was never constructed. The special use permit for that development expired in 2008.

Spartanburg Highway is prominently made up of C-3 Highway Business zoning, a district that is historically found along our major commercial corridors. Just beyond the intersection of Shepherd Street and Spartanburg Highway the corridor transitions to Henderson County's jurisdiction and is zoned community commercial.

Parcels to the east are zoned R-15 medium density residential and are mostly comprised of single family homes. To the northeast sits the recently approved Mabry Woods development which is zoned Urban Residential Conditional Zoning District.

SITE IMAGES



Typical view of the subject property looking southeast from Edith Drive.



View of the subject property from Old Spartanburg Road looking westward.

SITE IMAGES



View of the Duke Energy Transmission lines that run the frontage of the subject property.



View of the subject property frontage on Spartanburg Highway looking south.

SITE IMAGES



View of the privately maintained road that abuts the property known as Edith Drive.



View from the subject property looking west.

SITE IMAGES

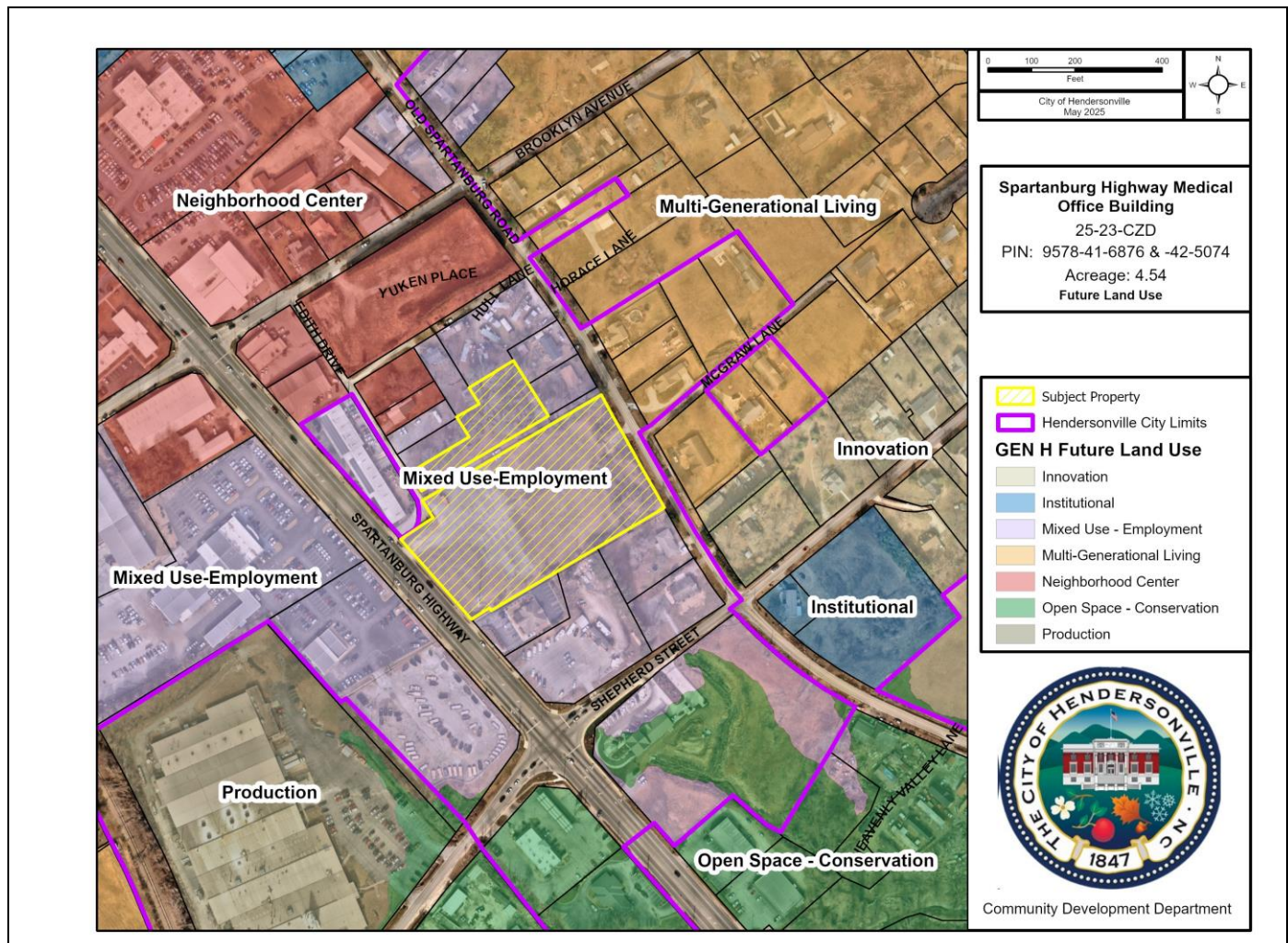


View of a mature grove of trees along the northern property boundary.



View of the existing drive access from the subject property onto Old Spartanburg Road.

FUTURE LAND USE



City of Hendersonville Future Land Use Map

The subject property is designated as Mixed Use-Employment, a designation that is found east of the railroad tracks running perpendicular to 176 and follows 176 until Shepherd Street. A node of Neighborhood Center can be found to the north; this node surrounds the Brooklyn Ave and Spartanburg Highway intersection.

Parcels to the south are designated as Open Space Conservation. This designation corresponds with this areas proximity to King Creek and its associated floodplain.

Two parcels to the southeast of the subject property are designated as institutional and this corresponds to the proposed City fire station number 3 and the property directly adjacent to it.

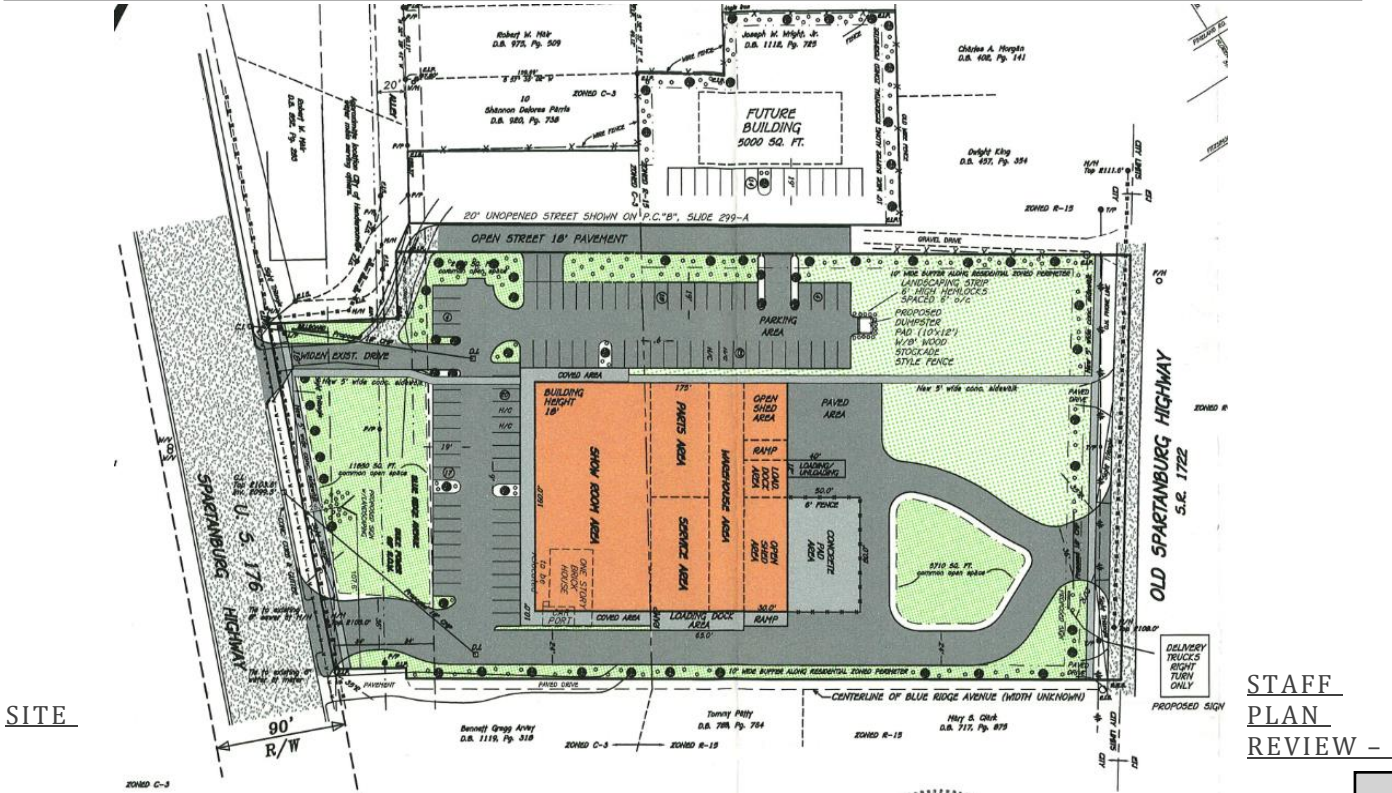
The Selee Corporation to the southwest is designated as production.

REZONING HISTORY

Prior Rezoning (P03-112-SUR)	Summary of Prior Petition	Status
March 4 th , 2004 (C-3 and R-15 to C-3 SU)	Development of a 28,000 square foot Dal-Kawa Cycle Center on 3.79 acres, with a 5,000 square foot future expansion building.	Expired (March 4, 2008)

Subject Property History

- March 4th, 2004:** City Council rezoned and granted a special use permit for the subject property. The subject property was rezoned from C-3 and R-15 to C-3-SU for the construction of a 28,000 square foot Dal Kawa Cycle Center on the 3.79-acre lot and a future 5,000 square foot building on the 0.75-acre lot. The cycle center was to include a showroom, sales, service and parts facility and a warehouse area. The special use permit for this development was set to expire on March 4, 2006.
 - Meeting Minutes:
<https://library.municode.com/nc/hendersonville/munidocs/munidocs?nodeId=2d9b5a74a0bf4>
- March 9th, 2006:** The Special Use Permit for this project was set to expire on March 4, 2006. The applicant requested a 2-year extension, which was approved by City Council. The project was never constructed and the special use permit expired on March 4th, 2008.
 - Meeting Minutes:
<https://library.municode.com/nc/hendersonville/munidocs/munidocs?nodeId=2d9b59cf0447b>



SUMMARY COMMENTS

PROPOSED REQUEST DETAILS

Site Plan Summary:

- Proposed Uses:
 - Offices, business, professional and public
- Building:
 - 42,520 square feet of gross floor area.
 - 19,180 Square feet footprint.
- Building Design
 - The building/site is required to meet all building and design requirements of a Commercial Highway Mixed Use development, and this includes but is not limited to building materials, building offsets, building projections, building orientation, building scale, etc.
 - The proposed building meets the design requirements for CHMU developments.
- Height
 - CHMU allows 4 stories for commercial and institutional buildings.
 - Proposed- 32' (2 stories).
- Transportation
 - The site plan shows two access points onto the subject property, both of which are proposed as full movements.
 - One access will be off of Spartanburg Highway and the other access will be from Old Spartanburg Road.
- Sidewalks
 - Sidewalks are provided along the property frontage of Spartanburg Highway and Old Spartanburg Road.
 - Sidewalks will also be provided from the public frontage sidewalks to the front main access of the building.
- Lighting
 - All site lighting will be required to conform to the City's lighting standards for nonresidential developments.
- Parking: Office, Medical
 - Required vs. proposed
 - 1 per each 250 square feet of gross floor area
 - Total required- 170
 - Total provided- 196
 - The subject property is within the Entry Corridor which allows for a 20%

reduction in the required parking. The development is not currently utilizing this reduction, but the reduction is supported by staff.

- Common Space
 - CHMU developments are to provide Common Space. This development is proposing to...
 - Install all service utility lines underground.
 - Provide seating under the main covered entry for better social interaction.
 - Provide an Apple Country bus stop and shelter along the Spartanburg Highway frontage and a bike rack at the building as amenities of the project.
- Natural Resources
 - The most recent USGS topographic maps indicate a blueline stream running through the subject property. However, this stream was piped many years ago and would not be subject to the stream buffer requirements.



- Planting requirements.
 - The site will be required to provide the following landscaping:
 - Vehicular use area plantings
 - Common Space trees
 - Common Open Space Plantings
 - Street trees
 - The new landscaping requirements are being met through new plantings and the utilization of tree credits for qualifying trees.

- Tree preservation
 - The site currently has 53,554 square feet of existing tree canopy (27.07%) of the site.
 - The development is proposing to retain a minimum of 11,335 square feet or 21.17%.
 - The applicants are choosing option 3 for tree preservation and will be required to plant 15% of new canopy.

DEVELOPER-PROPOSED CONDITIONS:

- I. None

OUTSTANDING ISSUES & CITY PROPOSED CONDITIONS:

COMMUNITY DEVELOPMENT

Site Plan Comments:

- The site plan accompanying this petition meets the standards established by the Zoning Ordinance for Commercial Highway Mixed Use Developments (5-27).

Proposed City-Initiated Conditions:

- None

DEVELOPMENT REVIEW COMMITTEE COMMENTS:

The Development Review Committee consists of the following Departments/Divisions and Agencies: Engineering, Water/Sewer, Fire Marshal, Stormwater Administration, Floodplain Administration, Public Works, NCDOT, Henderson County Soil & Erosion Control and the City's Traffic Consultant. While all pertinent members of the DRC reviewed this project, staff have provided only the relevant/outstanding comments / conditions below:

TRANSPORTATION CONSULTANT (KIMLEY HORN)

TIA Comments:

- The Traffic Impact Analysis for the development was submitted on May 19th, 2025, by the developer's traffic consultant Mattern and Craig Inc. The City's traffic consultant Kimley Horn provided their review comments on May 28th, 2025. Kimley Horn stated that "Based on a technical review of the TIA as submitted, the analysis as stated should be updated to address the technical issues found. All noted discrepancies, however, are minor and it is not expected that there would be any changes to recommendations once revised."
- The expected new trip generation for the proposed development is as follows:
 - 1,826 Daily Trips
 - 118 AM Peak Hour Trips
 - 180 PM Peak Hour Trips

TIA Proposed Mitigation:

- Spartanburg Highway & Old Spartanburg Road (signalized)
 - Mattern and Craig's Findings: Given the lack of any significant degradation in level of service or increase in delay within the analysis area, the findings of this report show that no additional improvements should be necessary to accommodate the additional site trips from the

- proposed development.
- Kimley Horn's Response: The intersection experiences LOS degradation for the EB in the PM peak hour. However, as noted in the report, this is due to the Background LOS being on the cusp of two levels of service. The site is proposed to have minimum impact, and the intersection still performs acceptably. Therefore, no improvements are necessary.
- Spartanburg Highway & Brooklyn Avenue (signalized)
 - Mattern and Craig's Findings: Given the lack of any significant degradation in level of service or increase in delay within the analysis area, the findings of this report show that no additional improvements should be necessary to accommodate the additional site trips from the proposed development.
 - Kimley Horn's Response: Concur
- Spartanburg Highway & Shepherd Street (signalized)
 - Mattern and Craig's Findings: Given the lack of any significant degradation in level of service or increase in delay within the analysis area, the findings of this report show that no additional improvements should be necessary to accommodate the additional site trips from the proposed development.
 - Kimley Horn's Response: The intersection experiences LOS degradation for the EB and SB in the PM peak hour. However, as noted in the report, this is due to the Background LOS being on the cusp of two levels of service. The site is proposed to have minimum impact, and the intersection still performs acceptably. Therefore, no improvements are necessary.
- Old Spartanburg Road & Brooklyn Avenue (unsignalized)
 - Mattern and Craig's Findings: Given the lack of any significant degradation in level of service or increase in delay within the analysis area, the findings of this report show that no additional improvements should be necessary to accommodate the additional site trips from the proposed development.
 - Kimley Horn's Response: Concur
- Old Spartanburg Road & Shepherd Street (unsignalized)
 - Mattern and Craig's Findings: Given the lack of any significant degradation in level of service or increase in delay within the analysis area, the findings of this report show that no additional improvements should be necessary to accommodate the additional site trips from the proposed development.
 - Kimley Horn's Response: Concur
- Spartanburg Highway & Site Drive #1
 - Mattern and Craig's Findings: Given the lack of any significant degradation in level of service or increase in delay within the analysis area, the findings of this report show that no additional improvements should be necessary to accommodate the additional site trips from the

- proposed development.
- Kimley Horn's Response: Concur
- Old Spartanburg Road & Site Drive #2
 - Mattern and Craig's Findings: Given the lack of any significant degradation in level of service or increase in delay within the analysis area, the findings of this report show that no additional improvements should be necessary to accommodate the additional site trips from the proposed development.
 - Kimley Horn's Response: Concur

REZONING ANALYSIS – GENERAL REZONING STANDARDS (ARTICLE 11-4)

GENERAL REZONING STANDARDS	
1) Comprehensive Plan Consistency	Land Supply, Suitability & Intensity The subject property was listed as underdeveloped in the land suitability map. The subject property was listed as underdeveloped in the land supply map. Both parcels were designated between “moderately suitable” and “most suitable” for commercial uses.
	Future Land Use & Conservation Map- See Gen H appendix. Designation: Mixed Use-Employment Character Area Description: Somewhat Consistent Zoning Crosswalk: Consistent
2) Compatibility	Whether and the extent to which the proposed amendment is compatible with existing and proposed uses surrounding the subject property –
	The proposed development is strategically located near other institutional facilities along this corridor, such as the Henderson County Social Services building and the planned City Fire Station number 3. Introducing CHMU zoning along the Spartanburg Highway corridor aligns with the goals of the Gen H Comprehensive Plan for this area. Therefore, this project is not only compatible with the current character of the corridor but also with its envisioned future.
3) Changed Conditions	Whether and the extent to which there are changed conditions, trends or facts that require an amendment -
	The subject property is currently associated with a special use permit that expired in 2008. To proceed with any development on the property, it will first need to be rezoned.
4) Public Interest	Whether and the extent to which the proposed amendment would result in a logical and orderly development pattern that benefits the surrounding neighborhood, is in the public interest and promotes public health, safety and general welfare -
	This development would offer residents on the southern side of Henderson County greater access to primary care, physical therapy, and pharmacy services, bringing these amenities closer to their homes.
5) Public Facilities	Whether and the extent to which adequate public facilities and services such as water supply, wastewater treatment, fire and police protection and transportation are available to support the proposed amendment

	The site will be served with City services. The property abuts two NCDOT maintained roadways.
6) Effect on Natural Environment	Whether and the extent to which the proposed amendment would result in significantly adverse impacts on the natural environment including but not limited to water, air, noise, storm water management, streams, vegetation, wetlands and wildlife -
	According to the 2008 floodplain maps, no part of this property is located within the floodplain or floodway. The most recent USGS topographic maps indicate a blueline stream running through the subject property. However, this stream was piped many years ago and would not be subject to the stream buffer requirements. As indicated in the site plans, the development currently includes 53,554 square feet of tree canopy, covering 27.07% of the site. The proposed development is proposing to retain 11,335 square feet, or 21.17%, of the existing tree canopy.

DRAFT COMPREHENSIVE PLAN CONSISTENCY AND REZONING REASONABLENESS STATEMENT

The petition is found to be **consistent** with the City of Hendersonville Gen H 2045 Comprehensive Plan based on the information from the staff analysis and the public hearing, and because:

The petition is consistent with a range of Goals, Guiding Principles and the Future Land Use Designation of Chapter IV of the Gen H Comprehensive Plan.

We **[find/do not find]** this petition to be reasonable and in the public interest based on the information from the staff analysis and the public hearing, and because:

DRAFT [Rationale for Approval]

- The proposed development would provide citizens who reside on the southern side of Henderson County the opportunity to have primary care, physical therapy, and pharmacy service within a closer proximity to where they live.*
- The proposed development is within close proximity to other institutional uses along this corridor.*

DRAFT [Rational for Denial]

- The proposed development is not compatible at this location.*

Spartanburg Highway Medical Office Building (25-23-CZD)			
Chapter 4 - The Vision for the Future	Consistent	Inconsistent	Staff Notes
SUPPLY, SUITABILITY, & INTENSITY			
LAND SUPPLY MAP (Pg. 81, Figure 4.4)	Consistent		The subject property is listed as underdeveloped.
LAND SUITABILITY MAP (Pg. 84-86, Figure 4.5-4.7)	Consistent		The subject property is listed as suitable for commercial uses.
DEVELOPMENT INTENSITY MAP (Pg. 89, Figure 4.9)	N/A		The subject property is not within a focused intensity node.
FUTURE LAND USE & CONSERVATION MAP			
Future Land Use and Conservation Map (Note classification here, Pg. 117, Figure 4.12)	Mixed Use-Employment		
Character Area Description (Pg. 122-131)	Somewhat Consistent		The project does not propose a mix of uses within the development.
Zoning Crosswalk (Pg. 132-133, Figure 4.18)	Consistent		

Spartanburg Highway Medical Office Building (25-23-CZD)			
Chapter 4 - The Vision for the Future	Consistent	Inconsistent	Staff Notes
GOALS			
Vibrant Neighborhoods (Pg. 93)			
Promote lively neighborhoods that increase local safety.	Consistent		
Enable well-maintained homes, streets, and public spaces.	Consistent		
Promote diversity of ages (stage of life), income levels, and a range of interests.	Consistent		
The design allows people to connect to nearby destinations, amenities, and services.	Consistent		
Abundant Housing Choices (Pg. 93)			
Housing provided meets the need of current and future residents.	N/A		
Range of housing types provided to help maintain affordability in Hendersonville.	N/A		
Housing condition/quality exceeds minimum standards citywide	N/A		
Healthy and Accessible Natural Environment (Pg. 94)			
Recreational (active and passive) open spaces are incorporated into the development.	Consistent		
Water quality is improved with the conservation of natural areas that serve as filters and soil stabilizers.	Consistent		
Natural system capacity (floodplains for stormwater; habitats to support flora/fauna; tree canopy for air quality, stormwater management, and microclimate) is maintained.	Consistent		The development is saving 20% of the existing tree canopy.
Development is compact (infill/redevelopment) to minimize the ecological footprint.	Consistent		
New development respects working landscapes (e.g., orchards, managed forests), minimizing encroachment.	Consistent		
Authentic Community Character (Pg. 94)			
Downtown remains the heart of the community and the focal point of civic activity	N/A		
A development near a gateway sets the tone, presenting the image/brand of the community.	Consistent		The development follows the guidelines of CHMU.
Historic preservation is utilized to maintain the city's identity.	N/A		
City Centers and neighborhoods are preserved through quality development.	N/A		
Safe Streets and Trails (Pg. 95)			
Interconnectivity is promoted between existing neighborhoods through the building out of street networks, including retrofits and interconnectivity of new developments.	Consistent		A cross access easement is provided for the development.
Access is increased for all residents through the provision of facilities that promote safe walking, biking, transit, automobile, ride share, and bike share.	Consistent		The site is proposing a bus stop and is providing sidewalks from the street to the building.
Design embraces the principles of walkable development.	Consistent		
Reliable & Accessible Utility Services			
Wastewater treatment (service and capacity) adequately serves existing and future development	Consistent		

A compact service area (infill, redevelopment) maximizes the utilization of existing infrastructure and feasible service delivery.	Consistent		
Satisfying Work Opportunities (pg. 96)			
The development promotes quality job options.	Consistent		
The lives of residents are enriched with opportunities to learn, build skills, and grow professionally.	Consistent		
Welcoming & Inclusive Community			
Accessibility exceeds minimum standards of ADA, fostering residents' and visitors' sense of belonging.	Consistent		
An inviting public realm (i.e., parks, public buildings) reflects the attitudes of city residents and leaders, and helps residents develop a sense of place and attachment to Hendersonville.	Consistent		
Accessible & Available Community Uses and Services (Pg. 97)			
Private development is plentiful, meeting the demands of current and future populations.	Consistent		
Resilient Community			
N/A			
GUIDING PRINCIPALS (pg. 98)			
Mix of Uses (Pg. 98)			
Revitalization of Outdated Commercial Areas	Consistent		
New business and office space promotes creative hubs.	N/A		
Compact Development (Pg. 100)			
Development is consistent with efforts in the area to establish 15-minute neighborhoods.	Consistent		
The infill project is context sensitive.	Consistent		
Sense of Place (Pg. 102)			
The development contributes to Hendersonville's character and the creation of a sense of place through its architecture and landscape elements. [Place keeping and Placemaking and 3rd Places]	Consistent		
Conserved & Integrated Open Spaces (Pg. 106)			
A diverse range of open space elements are incorporated into the development.	Consistent		
Desirable & Affordable Housing (Pg. 108)			
Missing middle housing concepts are used in the development.	N/A		
Connectivity (Pg. 112)			
The development encourages multimodal design solutions to enhance mobility.	Consistent		
Efficient & Accessible Infrastructure (Pg. 114)			
The development utilizes existing infrastructure	Consistent		

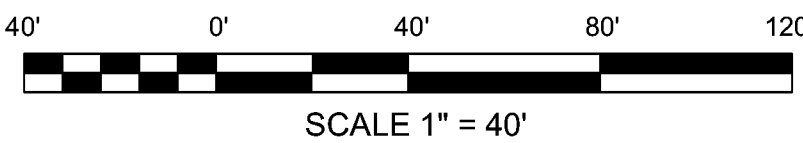
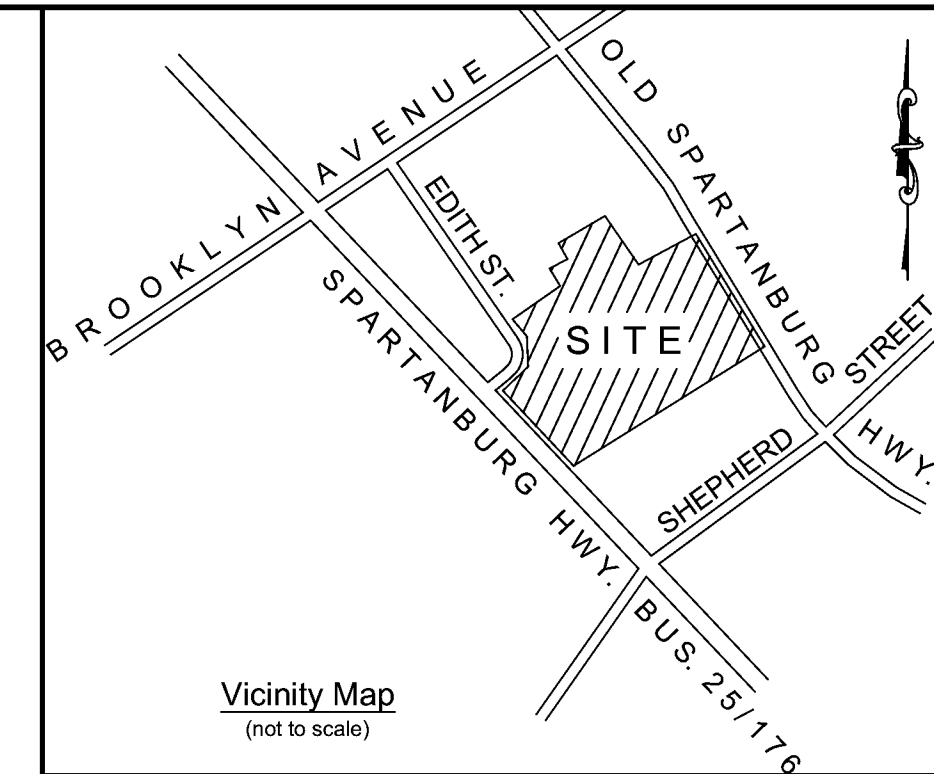
NC GRID NORTH
NAD 83 (2011)

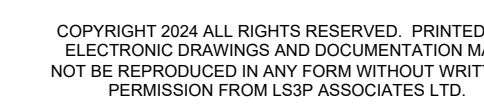
A circular professional seal for Robert C. Brown, a North Carolina Land Surveyor. The outer ring contains the text "NORTH CAROLINA" at the top and "ROBERT C. BROWN" at the bottom. Inside this ring, the words "PROFESSIONAL" and "LAND SURVEYOR" are positioned at the top and bottom respectively. In the center of the seal, the word "SEAL" is above the license number "L-2748".



N:\JOBS\24156 Pardee Spartanburg Hwy\DWG\24156 Pardee Spartanburg Hwy Easler CE.dwg

_____	PROPERTY LINE (SURVEYED)
_____	DEED / PLAT LINE (NOT SURVEYED)
— W — W — W — W —	UNDERGROUND WATER LINE
SS SS SS SS	UNDERGROUND SANITARY SEWER LINE
OU OU OU OU	OVERHEAD UTILITY LINE
_____	UNDERGROUND STORMWATER LINE
_____	EDGE OF CONCRETE
_____	CONCRETE CURB
_____	ROAD RIGHT-OF-WAY LINE
_____	PERMANENT UTILITY EASEMENT LINE
_____	PERMANENT DRAINAGE EASEMENT LINE
_____	FENCE (AS DESCRIBED)
_____	BUILDING SETBACK LINE
— UT — UT — UT — UT —	UNDERGROUND COMMUNICATIONS LINE
— EE — EE — EE — EE —	UNDERGROUND ELECTRICAL LINE
— GAS — GAS — GAS — GAS —	UNDERGROUND GAS LINE





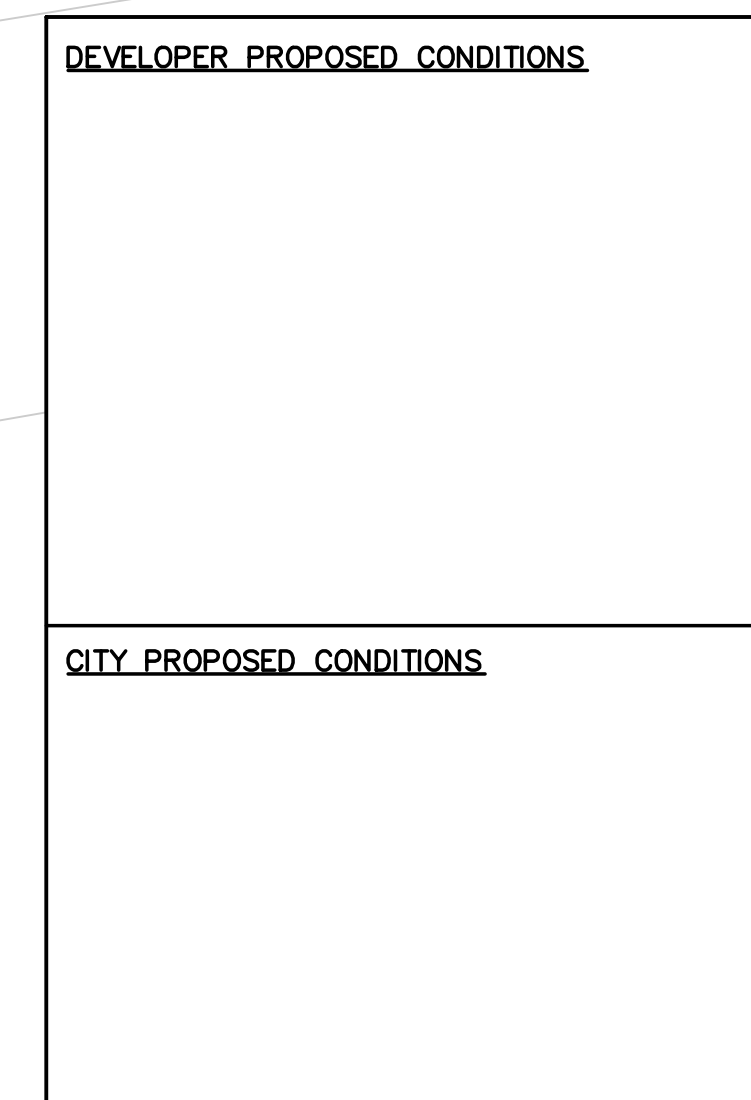
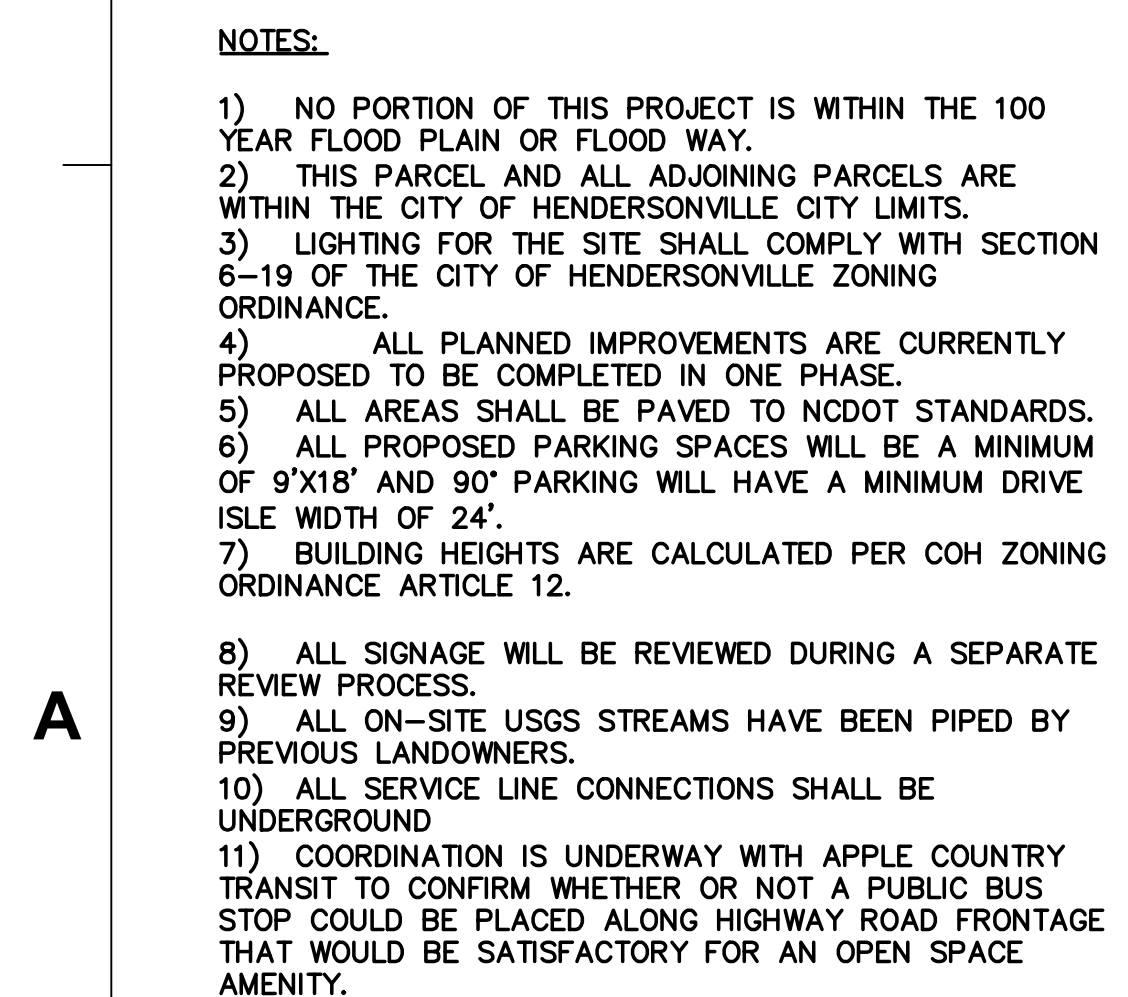
LS3P PROJECT: 0403-240136

WGLA
Engineering

WGLA ENGINEERING, PLLC
724 5th AVENUE WEST
HENDERSONVILLE, NC 28739
(828) 687-7177
WGLA.COM
NC LICENSE P-1342

SHEET: **C-200**

DESIGN DEVELOPMENT



14 O'HENRY AVENUE, SUITE 21
ASHEVILLE, NC 28801
TEL. 828.254.1963
WWW.LS3P.COM

NOT FOR
CONSTRUCTION

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1427 OLD SPARTANBURG ROAD
HENDERSONVILLE, NC 28792

S3P PROJECT: 0403-240301

[illegible]

SHEET NAME:
DEPARTMENTAL
PLAN- LEVEL 1

ORIG 2025.04.14
SUBMISSION:










SHEET: **A-101A**

DESIGN DEVELOPMENT

A

B1 DEPARTMENTAL PLAN- LEVEL 1
1/8" = 1'-0"

DEPARTMENTAL LEGEND

- | | |
|---|-----------------------------|
|  | BUILDING SUPPORT |
|  | COMMUNITY CONFERENCE CENTER |
|  | GENERAL STAFF SUPPORT |
|  | IMAGING |
|  | PHARMACY |
|  | PUBLIC |
|  | REHAB |
|  | VERT CIRCL |
|  | UNASSIGNED/ ADD ALTERNATE |



TRUE NORTH PROJECT NORTH

NOT FOR
CONSTRUCTION

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**HENDERSON CO. & UNCH
PARDEE SH MOB**

1427 OLD SPARTANBURG ROAD
HENDERSONVILLE NC 28792

LS3P PROJECT: 0403-240301

[illegible]

OVERALL FLOOR PLAN- LEVEL 1

1/8" = 1'-0"

FLOOR PLAN SHEET NOTES

- A. EXTERIOR DIMENSIONS AT MASONRY VENEER ARE COURSING, INTENDED DIMENSION FROM THE FACE OF MASONRY.
- B. EXTERIOR DIMENSIONS AT STUCCO VENEER ARE FACE OF METAL STUD, INTENDED DIMENSION FROM THE FACE OF STUCCO, FACE OF MASONRY AND CENTERLINES OF COLUMNS UNO.
- C. EXTERIOR DIMENSIONS AT DOOR AND WINDOW THRESHOLS ARE FROM NEAREST PERPENDICULAR WALL, UNLESS NOTED OTHERWISE ON DOOR SCHEDULE OR DIMENSIONED OTHERWISE.
- D. RATED WALLS/PARTITIONS TO BE CONSTRUCTED TIGHT TO STRUCTURE, ALL JOINTS AND GAPS TO BE SEALED WITH GASKETING OR MATERIAL AS SHOWN OR APPLICABLE, UNO JOINT OR PENETRATION RATING.
- E. WALLS/PARTITIONS OF DIFFERENT FIRE RATINGS INTERSECT, THE HIGHEST RATED WALL SHALL CONTINUE THROUGH THE LOWER RATED PARTITION FIRE RATING BEHIND RECESSED FIRE EXTINGUISHER CABINETS.
- F. INTERIOR WALLS AT EXTERIOR WALLS SHALL EXTEND TO THE INSIDE FACE OF EXTERIOR SHEATHING.
- G. INSTALL BLOCKING IN PARTITIONS FOR CASEWORK, WALL MOUNTED EQUIPMENT, WALL MOUNTED CASEWORK, WALL MOUNTED CASEWORK, WALL MOUNTED CASEWORK, LIFE SAFETY PLANS FOR LOCATIONS OF FIRE RATED AND SMOKE WALLS.
- H. SEE SHEET **A-001** FOR CONSTRUCTION SUBSYSTEMS.
- I. SEE SHEET **A-002** A-003 A-004 A-005 A-006 A-007 A-008 A-009 A-010 A-011 A-012 A-013 A-014 A-015 A-016 A-017 A-018 A-019 A-020 A-021 A-022 A-023 A-024 A-025 A-026 A-027 A-028 A-029 A-030 A-031 A-032 A-033 A-034 A-035 A-036 A-037 A-038 A-039 A-040 A-041 A-042 A-043 A-044 A-045 A-046 A-047 A-048 A-049 A-050 A-051 A-052 A-053 A-054 A-055 A-056 A-057 A-058 A-059 A-060 A-061 A-062 A-063 A-064 A-065 A-066 A-067 A-068 A-069 A-070 A-071 A-072 A-073 A-074 A-075 A-076 A-077 A-078 A-079 A-080 A-081 A-082 A-083 A-084 A-085 A-086 A-087 A-088 A-089 A-090 A-091 A-092 A-093 A-094 A-095 A-096 A-097 A-098 A-099 A-100 A-101 A-102 A-103 A-104 A-105 A-106 A-107 A-108 A-109 A-110 A-111 A-112 A-113 A-114 A-115 A-116 A-117 A-118 A-119 A-120 A-121 A-122 A-123 A-124 A-125 A-126 A-127 A-128 A-129 A-130 A-131 A-132 A-133 A-134 A-135 A-136 A-137 A-138 A-139 A-140 A-141 A-142 A-143 A-144 A-145 A-146 A-147 A-148 A-149 A-150 A-151 A-152 A-153 A-154 A-155 A-156 A-157 A-158 A-159 A-160 A-161 A-162 A-163 A-164 A-165 A-166 A-167 A-168 A-169 A-170 A-171 A-172 A-173 A-174 A-175 A-176 A-177 A-178 A-179 A-180 A-181 A-182 A-183 A-184 A-185 A-186 A-187 A-188 A-189 A-190 A-191 A-192 A-193 A-194 A-195 A-196 A-197 A-198 A-199 A-200 A-201 A-202 A-203 A-204 A-205 A-206 A-207 A-208 A-209 A-210 A-211 A-212 A-213 A-214 A-215 A-216 A-217 A-218 A-219 A-220 A-221 A-222 A-223 A-224 A-225 A-226 A-227 A-228 A-229 A-230 A-231 A-232 A-233 A-234 A-235 A-236 A-237 A-238 A-239 A-240 A-241 A-242 A-243 A-244 A-245 A-246 A-247 A-248 A-249 A-250 A-251 A-252 A-253 A-254 A-255 A-256 A-257 A-258 A-259 A-260 A-261 A-262 A-263 A-264 A-265 A-266 A-267 A-268 A-269 A-270 A-271 A-272 A-273 A-274 A-275 A-276 A-277 A-278 A-279 A-280 A-281 A-282 A-283 A-284 A-285 A-286 A-287 A-288 A-289 A-290 A-291 A-292 A-293 A-294 A-295 A-296 A-297 A-298 A-299 A-300 A-301 A-302 A-303 A-304 A-305 A-306 A-307 A-308 A-309 A-310 A-311 A-312 A-313 A-314 A-315 A-316 A-317 A-318 A-319 A-320 A-321 A-322 A-323 A-324 A-325 A-326 A-327 A-328 A-329 A-330 A-331 A-332 A-333 A-334 A-335 A-336 A-337 A-338 A-339 A-340 A-341 A-342 A-343 A-344 A-345 A-346 A-347 A-348 A-349 A-350 A-351 A-352 A-353 A-354 A-355 A-356 A-357 A-358 A-359 A-360 A-361 A-362 A-363 A-364 A-365 A-366 A-367 A-368 A-369 A-370 A-371 A-372 A-373 A-374 A-375 A-376 A-377 A-378 A-379 A-380 A-381 A-382 A-383 A-384 A-385 A-386 A-387 A-388 A-389 A-390 A-391 A-392 A-393 A-394 A-395 A-396 A-397 A-398 A-399 A-400 A-401 A-402 A-403 A-404 A-405 A-406 A-407 A-408 A-409 A-410 A-411 A-412 A-413 A-414 A-415 A-416 A-417 A-418 A-419 A-420 A-421 A-422 A-423 A-424 A-425 A-426 A-427 A-428 A-429 A-430 A-431 A-432 A-433 A-434 A-435 A-436 A-437 A-438 A-439 A-440 A-441 A-442 A-443 A-444 A-445 A-446 A-447 A-448 A-449 A-450 A-451 A-452 A-453 A-454 A-455 A-456 A-457 A-458 A-459 A-460 A-461 A-462 A-463 A-464 A-465 A-466 A-467 A-468 A-469 A-470 A-471 A-472 A-473 A-474 A-475 A-476 A-477 A-478 A-479 A-480 A-481 A-482 A-483 A-484 A-485 A-486 A-487 A-488 A-489 A-490 A-491 A-492 A-493 A-494 A-495 A-496 A-497 A-498 A-499 A-500 A-501 A-502 A-503 A-504 A-505 A-506 A-507 A-508 A-509 A-510 A-511 A-512 A-513 A-514 A-515 A-516 A-517 A-518 A-519 A-520 A-521 A-522 A-523 A-524 A-525 A-526 A-527 A-528 A-529 A-530 A-531 A-532 A-533 A-534 A-535 A-536 A-537 A-538 A-539 A-540 A-541 A-542 A-543 A-544 A-545 A-546 A-547 A-548 A-549 A-550 A-551 A-552 A-553 A-554 A-555 A-556 A-557 A-558 A-559 A-560 A-561 A-562 A-563 A-564 A-565 A-566 A-567 A-568 A-569 A-570 A-571 A-572 A-573 A-574 A-575 A-576 A-577 A-578 A-579 A-580 A-581 A-582 A-583 A-584 A-585 A-586 A-587 A-588 A-589 A-590 A-591 A-592 A-593 A-594 A-595 A-596 A-597 A-598 A-599 A-600 A-601 A-602 A-603 A-604 A-605 A-606 A-607 A-608 A-609 A-610 A-611 A-612 A-613 A-614 A-615 A-616 A-617 A-618 A-619 A-620 A-621 A-622 A-623 A-624 A-625 A-626 A-627 A-628 A-629 A-630 A-631 A-632 A-633 A-634 A-635 A-636 A-637 A-638 A-639 A-640 A-641 A-642 A-643 A-644 A-645 A-646 A-647 A-648 A-649 A-650 A-651 A-652 A-653 A-654 A-655 A-656 A-657 A-658 A-659 A-660 A-661 A-662 A-663 A-664 A-665 A-666 A-667 A-668 A-669 A-670 A-671 A-672 A-673 A-674 A-675 A-676 A-677 A-678 A-679 A-680 A-681 A-682 A-683 A-684 A-685 A-686 A-687 A-688 A-689 A-690 A-691 A-692 A-693 A-694 A-695 A-696 A-697 A-698 A-699 A-700 A-701 A-702 A-703 A-704 A-705 A-706 A-707 A-708 A-709 A-710 A-711 A-712 A-713 A-714 A-715 A-716 A-717 A-718 A-719 A-720 A-721 A-722 A-723 A-724 A-725 A-726 A-727 A-728 A-729 A-730 A-731 A-732 A-733 A-734 A-735 A-736 A-737 A-738 A-739 A-740 A-741 A-742 A-743 A-744 A-745

EQUIPMENT & FURNITURE LEGEND

IN THE SUBSEQUENT ROOM DATA SHEETS, REFER TO THIS SCHEDULE AND
LEGEND FOR INFORMATION ON TAGGED EQUIPMENT.


- TOILET & OTHER ACCESSORIES. REFER TO RESPONSIBILITY MATRIX ON SHEET **A-012** FOR OWNER OR CONTRACTOR RESPONSIBILITY.
-
- ARCHITECTURALLY-SIGNIFICANT EQUIPMENT, APPLIANCES AND/OR FURNISHINGS THAT REQUIRE BLOCKING, POWER, DATA, AND/OR OTHER CONTRACTOR RESPONSIBILITIES PRIOR TO INSTALLATION. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE. CONFIRM SPECIFICATIONS AND COORDINATE INSTALLATION REQUIREMENTS WITH THE OWNER PRIOR TO INSTALLATION. REFER TO RESPONSIBILITY MATRIX ON SHEET **A-004** FOR OWNER AND CONTRACTOR RESPONSIBILITY.
-
- ROLLER SHADES AT ALL WINDOWS; OWNER-FURNISHED, OWNER-INSTALLED. CONTRACTOR SHALL PROVIDE 9" GWB SOFFIT POCKET FOR RECESSED INSTALLATION AT ALL EXTERIOR WALL LOCATIONS.
-
- NON-ARCHITECTURALLY-SIGNIFICANT EQUIPMENT AND / OR FURNISHING. ALL ITEMS ARE OWNER FURNISHED, OWNER INSTALLED.

PARTITION GRAPHICS

GRAPHIC SAMPLE: 1 HOUR RATED CMU FIRE/SMOKE BARRIER:

- 18M1C
- SEE FILL PATTERN LEGEND FOR FIRE-RESISTANCE RATING
 - SEE COLOR LEGEND FOR HEIGHT CONDITION AND FIRE/SMOKE PROTECTION TYPE
 - SEE PARTITION TAG AND SCHEDULE FOR COMPLETE PARTITION INFORMATION

COLOR LEGEND

-  NON-RATED PARTITION TO 6" ABOVE CEILING, U.N.O.
 NON-RATED PARTITION TO DECK

FLOOR PLAN NOTES BY NUMBER

NUMBER	NOTE
01	PLUMBING FIXTURE SPECIFICATIONS SHALL BE COORDINATED WITH VENDOR-PROVIDED MECHANICAL. CLARIFICATION OF RESPONSIBILITY OF SINK (OWNER VS. VENDOR) PROVIDED IS REQ'D; CONTRACTOR SHALL, AT MINIMUM, PROVIDE PLUMBING SERVICE (SUPPLY AND WATER) PIPING
02	ADD ALTERNATE: CARBON MONOXIDE DETECTOR
03	ADD ALTERNATE: WAVE OPERATED DOOR AUTO-OPERATOR, BOTH SIDES OF DOOR
04	CARD READER, SLIP PROFILE WHERE INSTALLED ON WINDOW MULLION. FOR AFTERHOURS / STAFF ACCESS
05	PLUMB BENCH, REFER TO DETAIL E504-761; LOCATION IS APPROXIMATE
06	WOOD VENEER BENCH, REFER TO DETAIL E504-761; LOCATION IS APPROXIMATE
07	WALL MOUNTED TO SERV. AREA, REFER TO DETAIL E504-761; 4'-6" AFF. FOR FULL LENGTH OF WALL BETWEEN VESTIBULE AND DRIVE-THROUGH WINDOW. PROVIDE WALL-BLOCKING FOR VENDOR-PROVIDED SHELVEING
08	OWNER-PROVIDED EQUIPMENT: COORDINATE STRUCTURAL AND MECHANICAL REQUIREMENTS WITH MANUFACTURER'S RECOMMENDATIONS; LEAD-LINING REQUIREMENTS SHALL BE DETERMINED BY OWNER'S PHYSICIST.
09	PLUMBING FIXTURES SHALL HAVE SHUT-OFF OPERABLE FROM LABORATORY SIDE FOR DRUG TESTING
10	PARTIAL HEIGHT WALL W/ SOLID SURFACE CAP
11	PARTIAL HEIGHT WALL W/ SOLID SURFACE WATERFALL CAP AND SIDES; COUNTERS/ISLANDS SUSPENDED BY 1/2" CLEAR RESIN PEA 7-7 1/4"
12	SHOREPOWER CONNECTION FOR MOBILE IMAGING
13	ELEVATOR BASIS OF DESIGN: OTIS GENIEC 4500 LB WITH FLOOR OPENING 48" DIAM. CAB CLEAR DIMENSIONS: 7'-11D X 5'-6W X 7'-7 1/4" - NON-SEISMIC, TWO-STOP
14	PLUG-MOLD AROUND PERIMETER OF ROOM
15	PLUG-MOLD AROUND PERIMETER OF ROOM, REFER TO ELECTRICAL AND INTERIOR FINISHING

FLOOR PLAN NOTES BY NUMBER

NUMBER	NOTE
15	PUG-MOLD IN UPPER CABINETS FOR IPAD CHARGING
16	CONTRACTOR SHALL PROVIDE 100 LF OF WALL BLOCKING IN THE PROJECT BUILDING FOR OWNER-PROVIDED WALL-MOUNTED EQUIPMENT. PRIOR TO INSTALLATION OF GWB, THE OWNER SHALL DETERMINE THE SPECIFIC LOCATIONS OF WALL BLOCKING WITHIN THE BUILDING.
17	PHARMACY SHALL BE OUTFIT BY OWNER-PROVIDED VENDOR. ALL MILLWORK AND SHELVEYS BY OTHERS. CONTRACTOR SHALL PROCURE BIDS FROM OWNER-SELECTED VENDORS AS OWNER-PREFERRED ALTERNATES.
18	RETAIL PHARMACY SERVICE WINDOW W/ OPERABLE PANE AND SECURITY DRAWER. PROVIDE CALL BUTTON ON EXTERIOR OF WINDOW TO NOTIFY PHARMACY SOMEONE IS WAITING.
19	ROOM SHALL HAVE RESILIENT CHANNEL WALL TYPE AND GASKETED DOOR FOR ENHANCED SOUND-PROOFING
20	AT FREE END OF WING WALL, PROVIDE POST INSTALLED ANCHOR FOR ENHANCED RIGIDITY & STIFFNESS. REFER TO DETAIL, FREE STANDING BASE, ON SHEET D33A-003
21	WALL MONITOR ON ARTICULATING ARM. BLOCKINGS AS REQUIRED. COORDINATE WITH MEP
22	LADDER TO ROOF ACCESS: COORDINATE WITH STRUCTURAL
23	ROOM POWER AND DATA SHALL BE PROVIDED SIMILAR TO NURSE WORK ROOM. REFER TO ELECTRICAL FOR OUTLET LOCATIONS AND FLOOR BOXES REQUIRE TO SERVE DESK
24	PROVIDE FLOOR DRAIN TO SERVE FUTURE OWNER-PROVIDED EQUIPMENT; COORDINATE LOCATION WITH OTHER
25	UNDER-COUNTER PANIC BUTTON
26	KNOX BOX. COORDINATE FINAL LOCATION WITH FIRE MARSHAL AND AHJ
27	PROVIDE RECESSED FLOOR BOXES (SINGLE OUTLETS) FOR POWER UNDER TABLE. COORDINATE LOCATIONS WITH ELECTRICAL

FLOOR PLAN NOTES BY NUMBER

NUMBER	NOTE
29	PROVIDE RECESSED FLOOR BOXES FOR POWER UNDER TABLE, COORDINATE LOCATIONS W/ ELECTRICAL

SHEET NAME:
REFERENCE PLAN-
LEVEL 1

ORIG 2025.04.14
SUBMISSION:

SHEET: **A-101B**

DESIGN DEVELOPMENT

14 O'HENRY AVENUE, SUITE 21
ASHEVILLE, NC 28801
TEL. 828.254.1963
WWW.LS3P.COM

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S3P PROJECT: 0403-240301

SHEET NAME:
DEPARTMENTAL
PLAN- LEVEL 2





ORIG 2025.04.14
SUBMISSION:

SHEET: **A-102A**

DESIGN DEVELOPMENT



DEPARTMENTAL LEGEND

-  BLUE MD PRIMARY CARE
 BUILDING SUPPORT
 PUBLIC
 VERT CIRC





FLOOR PLAN SHEET NOTES		EQUIPMENT & FURNITURE LEGEND		PARTITION GRAPHICS		FLOOR PLAN NOTES BY NUMBER		FLOOR PLAN NOTES BY NUMBER		FLOOR PLAN NOTES BY NUMBER	
<p>A. EXTERIOR DIMENSIONS AT MASONRY VENEER ARE COURSING, INTENDED DIMENSION FROM THE FACE OF MASONRY.</p> <p>B. EXTERIOR DIMENSIONS AT STUCCO VENEER ARE TO FACE OF METAL STUD, CENTERLINES OF COLUMNS, UNO.</p> <p>C. INTERIOR DIMENSIONS INDICATED ARE TO FACE OF STUD, FACE OF MASONRY AND CENTERLINES OF COLUMNS, UNO.</p> <p>D. LOCATE INTERIOR DOOR OPENINGS 4" FROM NEAREST PERPENDICULAR WALL, UNLESS NOTED OTHERWISE ON DOOR SCHEDULE OR DIMENSIONED OTHERWISE.</p> <p>E. RATED WALLS/PARTITIONS TO BE CONSTRUCTED TIGHT TO STRUCTURE. ALL PENETRATIONS AND TERMINAL JOINTS ARE TO BE INSTALLED AS SHOWN IN APPLICABLE UL JOINT OR PENETRATION DETAIL.</p> <p>F. WHERE PARTITIONS OF DIFFERENT FIRE RATINGS INTERSECT, THE HIGHEST RATED PARTITION SHALL CONTINUE THROUGH. MAINTAIN PARTITION FIRE RATING BEHIND RECESSED FIRE EXTINGUISHER CABINETS.</p> <p>G. RATED WALLS INTERSECTING EXTERIOR WALLS SHALL EXTEND TO THE INSIDE FACE OF EXTERIOR SHEATHING.</p> <p>H. INSTALL BLOCKING IN PARTITIONS FOR CASEWORK, WALL MOUNTED EQUIPMENT, TRIM, AND RELATED CONSTRUCTION.</p> <p>I. SEE LIFE SAFETY PLANS FOR LOCATIONS OF FIRE RATED AND SMOKE WALLS.</p> <p>J. SEE SHEET A-001 FOR CONSTRUCTION SUBSYSTEMS.</p> <p>K. SEE SHEET A-002, A-003 FOR PARTITION TYPES.</p> <p>L. SEE SHEET A-012 FOR INTERIOR ELEVATIONS, ACCESSORY DESCRIPTIONS & MOUNTING HEIGHTS.</p> <p>M. SEE STRUCTURAL DRAWINGS FOR SLAB DEPRESSIONS AND CUTOUTS.</p> <p>N. SEE BUILDING ELEVATION DRAWINGS FOR LOCATION OF EXTERIOR MASONRY CONTROL JOINTS.</p> <p>O. FIELD VERIFY LOCATION OF INTERIOR WALL & CEILING CONTROL JOINTS REQUIRED IN THE SPECIFICATION WITH ARCHITECT PRIOR TO INSTALLATION.</p> <p>P. WALLS, INCLUDING GYP. BD. AT PERIMETER OF ROOMS/SPACES WITHOUT CEILING, i.e. EXPOSED STRUCTURE, SHALL EXTEND TO STRUCTURE ABOVE.</p> <p>Q. GO TO SUBMIT CONTROL JOINT SHOP DRAWINGS PROVIDING INTERIOR CONTROL JOINT LOCATIONS TO MEET ASTM C840.</p>		<p>IN THE SUBSEQUENT ROOM DATA SHEETS, REFER TO THIS SCHEDULE AND LEGEND FOR INFORMATION ON TAGGED EQUIPMENT.</p> <p>TOILET & OTHER ACCESSORIES, REFER TO RESPONSIBILITY MATRIX ON SHEET A-012 FOR OWNER OR CONTRACTOR RESPONSIBILITY.</p> <p>ARCHITECTURALLY-SIGNIFICANT EQUIPMENT, APPLIANCES AND/OR FURNISHINGS THAT REQUIRE BLOCKING, POWER, DATA, AND/OR OTHER CONTRACTOR RESPONSIBILITIES FOR INSTALLATION. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE. CONFIRM SPECIFICATIONS AND COORDINATE INSTALLATION REQUIREMENTS WITH THE OWNER PRIOR TO INSTALLATION. REFER TO RESPONSIBILITY MATRIX ON SHEET A-004 FOR OWNER AND CONTRACTOR RESPONSIBILITY.</p> <p>ROLLER SHADES AT ALL WINDOWS; OWNER-FURNISHED, OWNER-INSTALLED. CONTRACTOR SHALL PROVIDE 9" GWB SOFFIT POCKET FOR RECESSED INSTALLATION AT ALL EXTERIOR WALL LOCATIONS.</p> <p>NON-ARCHITECTURALLY-SIGNIFICANT EQUIPMENT AND / OR FURNISHING. ALL ITEMS ARE OWNER FURNISHED, OWNER INSTALLED.</p>		<p>GRAPHIC SAMPLE: 1 HOUR RATED CMU FIRE/SMOKE BARRIER:</p> <p>SEE FILL PATTERN LEGEND FOR FIRE-RESISTANCE RATING</p> <p>SEE COLOR LEGEND FOR HEIGHT CONDITION AND FIRE/SMOKE PROTECTION TYPE</p> <p>SEE PARTITION TAG AND SCHEDULE FOR COMPLETE PARTITION INFORMATION</p> <p>COLOR LEGEND</p> <p>NON-RATED PARTITION TO 6" ABOVE CEILING, U.N.O.</p> <p>NON-RATED PARTITION TO DECK</p>		<p>PLUMBING FIXTURE SPECIFICATIONS SHALL BE COORDINATED WITH VENDOR-PROVIDED MILLWORK. CLARIFICATION OF RESPONSIBILITY OF SINK (OWNER VS. VENDOR) PROVIDED IS REQ'D. CONTRACTOR SHALL, AT MINIMUM, PROVIDE PLUMBING SERVICE (SUPPLY AND WASTE) PIPING</p> <p>ADD ALTERNATE: CARD READER</p> <p>ADD ALTERNATE: WAVE OPERATED DOOR AUTO-OPERATOR, BOTH SIDES OF DOOR</p> <p>CARD READER, SLIM PROFILE WHERE INSTALLED ON WINDOW MULLION; FOR AFTER-HOURS / STAFF ACCESS</p> <p>PLAM BENCH, REFER TO DETAIL E5A-761; LOCATION IS APPROXIMATE</p> <p>WOOD VENEER BENCH, REFER TO DETAIL E5A-761; LOCATION IS APPROXIMATE</p> <p>ALL OUTLETS TO SERVE OWNER-PROVIDED EQUIPMENT SHALL BE 40" AFF</p> <p>FOR FULL LENGTH OF WALL BETWEEN VESTIBULE AND DRIVE-THROUGH WINDOW, PROVIDE WALL-BLOCKING FOR VENDOR-PROVIDED SHELVING</p> <p>OWNER-PROVIDED EQUIPMENT: COORDINATE STRUCTURAL AND MEP REQUIREMENTS WITH MANUFACTURER'S RECOMMENDATIONS; LEAD-LINING REQUIREMENTS SHALL BE DETERMINED BY OWNER'S PHYSICIST</p> <p>PLUMBING FIXTURES SHALL HAVE SHUT-OFF OPERABLE FROM LABORATORY SIDE FOR DRUG-TESTING</p> <p>PARTIAL HEIGHT WALL W/ SOLID SURFACE CAP</p> <p>PARTIAL HEIGHT WALL W/ SOLID SURFACE WATERFALL CAP AND SIDES; FRAMELESS SUSPENDED 3-FORM RESIN PANEL</p> <p>SHOREPOWER CONNECTION FOR MOBILE IMAGING</p> <p>ELEVATOR BASIS OF DESIGN: OTIS GEN3EDGE 4500 LB WITH FRONT OPENING 48" DOOR (CAB CLEAR DIMENSIONS: 7'-11 1/2" X 5'-7 1/4" X 7'-7 1/4"), NON-SEISMIC, TWO-STOP</p> <p>PLUG-MOLD AROUND PERIMETER OF ROOM</p> <p>PLUG-MOLD AROUND PERIMETER OF ROOM, REFER TO ELECTRICAL AND INTERIOR ELEVATIONS</p>		<p>PLUG-MOLD IN UPPER CABINETS FOR IPAD CHARGING</p> <p>CONTRACTOR SHALL PROVIDE 100 LF OF WALL BLOCKING IN THE PROJECT BUDGET FOR OWNER-PROVIDED WALL-MOUNTED EQUIPMENT. PRIOR TO INSTALLATION OF GWB, THE OWNER SHALL DETERMINE THE SPECIFIC LOCATIONS OF WALL BLOCKING WITHIN THIS ALLOWANCE</p> <p>PHARMACY SHALL BE OUTFIT BY OWNER-PROVIDED VENDOR: ALL MILLWORK AND SHELVING BY OTHERS. CONTRACTOR SHALL PROCURE BIDS FROM OWNER-SELECTED VENDORS AS OWNER-PREFERRED ALTERNATES</p> <p>RETAIL PHARMACY SERVICE WINDOW W/ OPERABLE PANE AND SECURITY DRAWER. PROVIDE CALL BUTTON ON EXTERIOR OF WINDOW TO NOTIFY PHARMACY SOMEONE IS WAITING</p> <p>ROOM SHALL HAVE RESILIENT CHANNEL WALL TYPE AND GASKETED DOOR FOR ENHANCED SOUND-PROOFING</p> <p>AT FREE END OF WING WALL, PROVIDE POST INSTALLED ANCHOR FOR ENHANCED RIGIDITY & STIFFNESS, REFER TO DETAIL, FREE STANDING BASE, ON SHEET D3A-003</p> <p>WALL MONITOR ON ARTICULATING ARM. BLOCKING AS REQUIRED. COORDINATE WITH MEP</p> <p>LADDER TO ROOF ACCESS: COORDINATE WITH STRUCTURAL</p> <p>ROOM POWER AND DATA SHALL BE PROVIDED SIMILAR TO NURSE WORK 2061. REFER TO ELECTRICAL FOR OUTLET LOCATIONS AND FLOOR BOXES REQUIRED TO SERVE DESK</p> <p>PROVIDE FLOOR DRAIN TO SERVE FUTURE OWNER-PROVIDED EQUIPMENT; COORDINATE LOCATION WITH OWNER</p> <p>UNDER-COUNTER PANIC BUTTON</p> <p>KNOX BOX; COORDINATE FINAL LOCATION WITH FIRE MARSHAL AND AHJ</p> <p>PLUG-MOLD AROUND PERIMETER OF ROOM, REFER TO ELECTRICAL AND INTERIOR ELEVATIONS</p>		<p>PROVIDE RECESSED FLOOR BOXES FOR POWER UNDER TABLE, COORDINATE LOCATIONS W/ ELECTRICAL</p>	

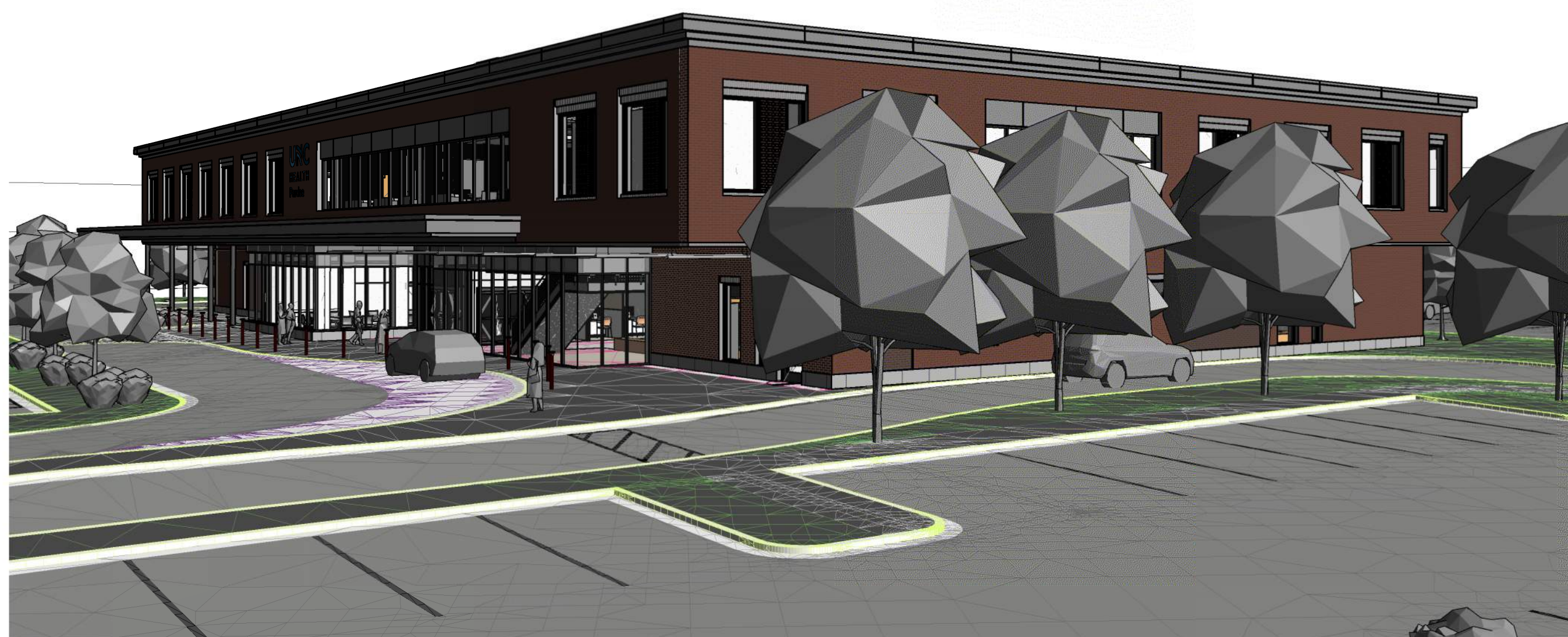
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SHEET NAME:
REFERENCE PLAN-
LEVEL 2

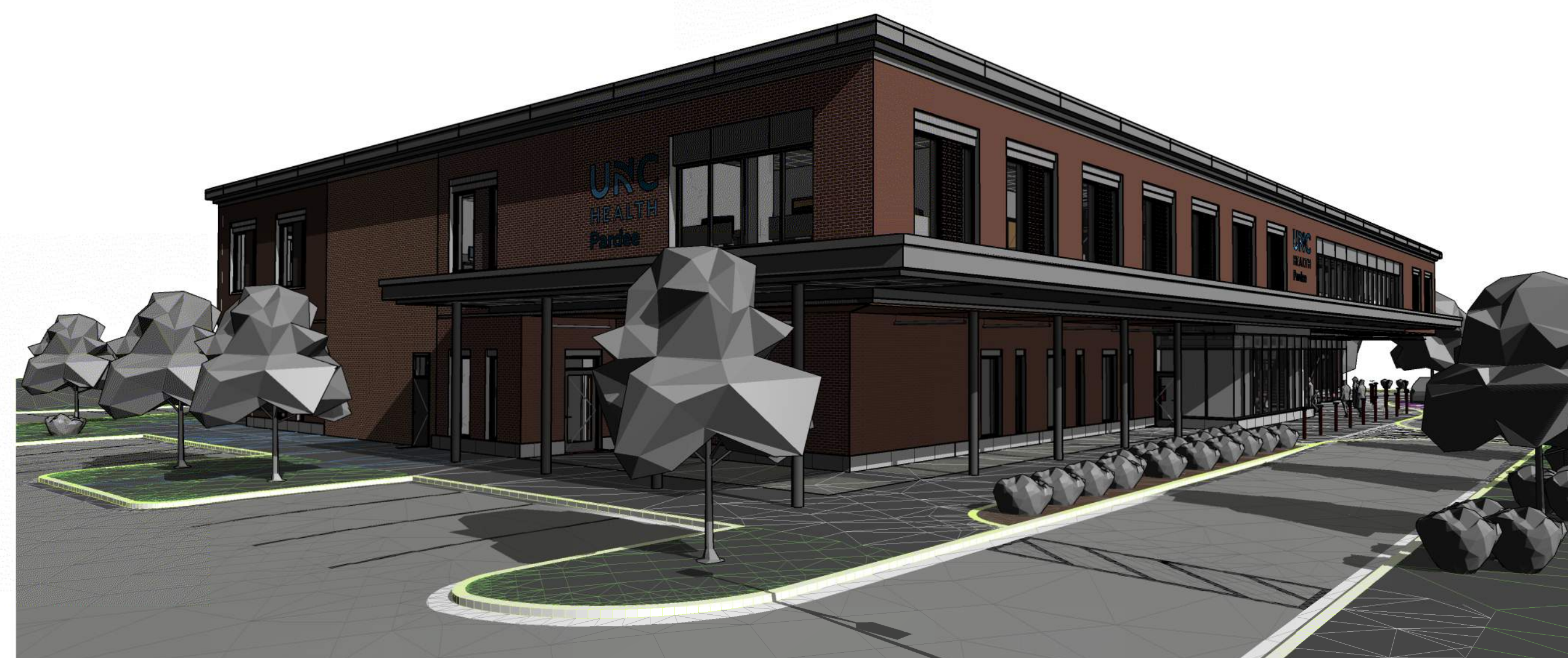
ORIG
SUBMISSION: 2025.04.14

SHEET:
A-102B

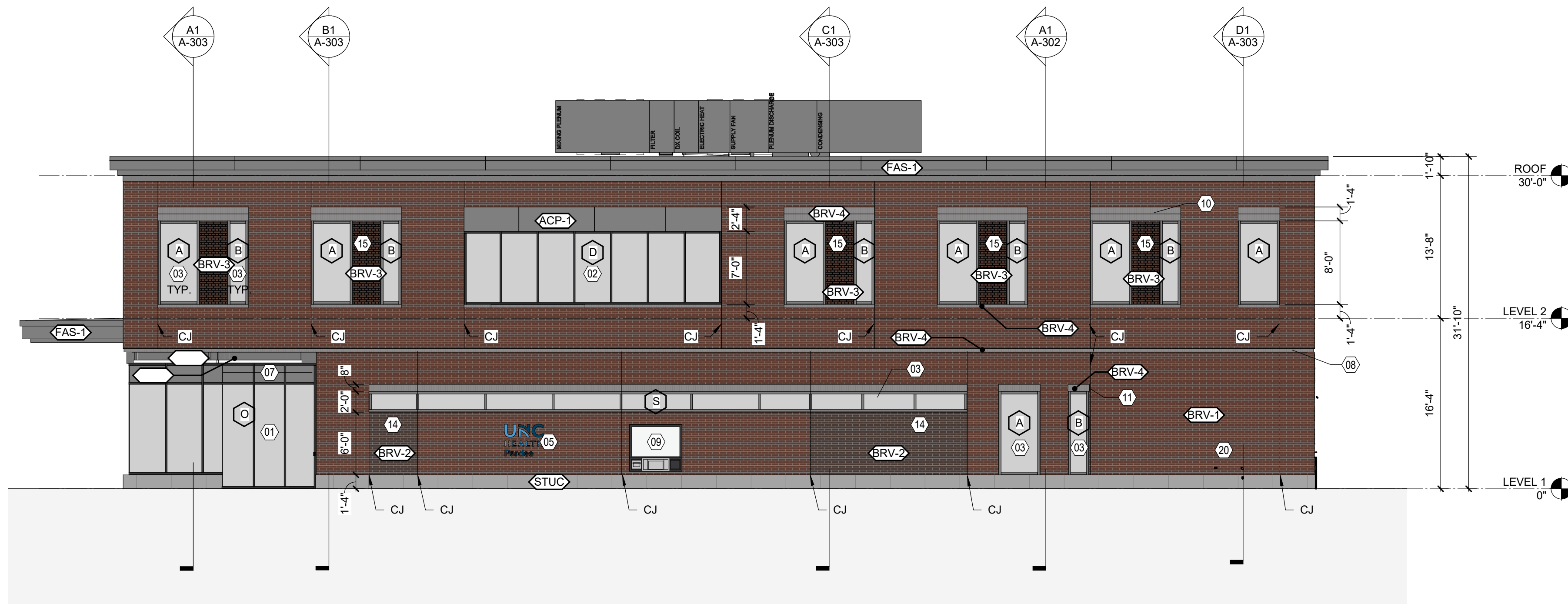
DESIGN DEVELOPMENT

F

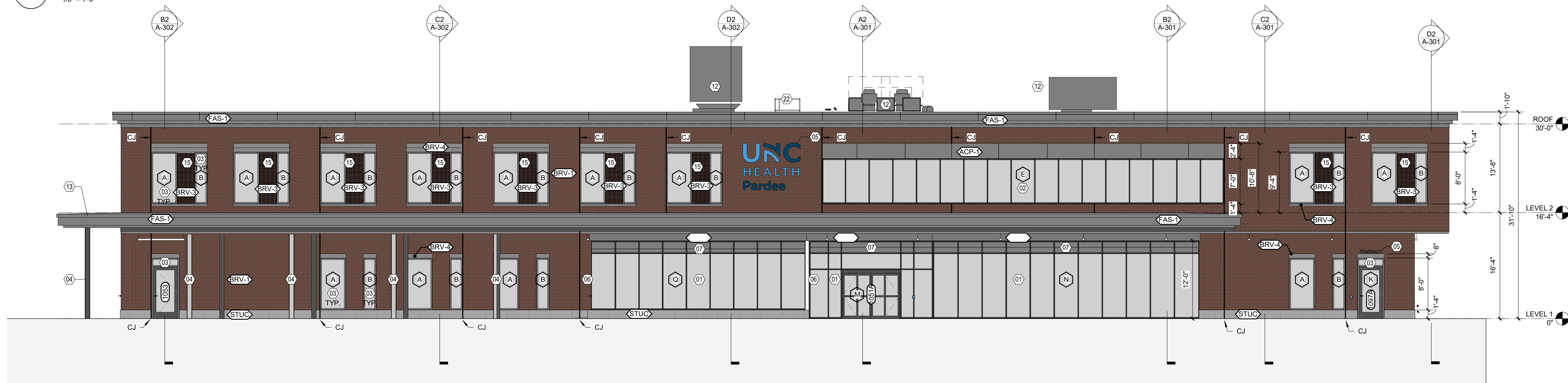
□



D3



B1 — ELE
1/8" = 1'-0"



A1 — ELE
1/8" = 1'-0"

BUILDING ELEVATION SHEET NOTES

- A. SEE A-103 FOR SHEET-SPECIFIC GRAPHICS & SYMBOLS.
- B. LOCATIONS AND SIZES OF MECHANICAL EQUIPMENT ARE APPROXIMATE. COORDINATE WITH STRUCTURAL, MECHANICAL PLAN AND EQUIPMENT SHOP DRAWINGS.
- C. SEE PLUMBING DRAWINGS FOR ADDITIONAL THROUGH WALL SCUPPER INFORMATION.
- D. COORDINATE EXTERIOR LIGHTING WITH ELECTRICAL DRAWINGS. WALL PACKS TO BE NOTED AT 10' AFF. UNL.
- E. CONTROL JOINTS ARE REQUIRED IN BRICK VENEER MASONRY, RECOMMENDED AT 20' O.C. MAX. MARKED WITH "CJ"
- F. CONTROL JOINTS ARE REQUIRED IN STUCCO. MAX SPACING AT 3'-8" O.C.

NUMBER	NOTE
01	SF-1: STRUCTURAL SILICONE GLAZED STOREFRONT SYSTEM. 2" X 6" FRONTSET
02	SF-2: STRUCTURAL SILICONE GLAZED STOREFRONT SYSTEM. 2" X 4-1/2" FRONTSET
03	SF-3: STAINLESS STEEL STOREFRONT SYSTEM. 2" X 4-1/2" CENTER SET. TYPICAL AT PUNCHED WINDOWS
04	8" TUBE COLUMN. SEE STRUCT. PAINT SELECTED BY ARCHITECT
05	EXTERNAL SIGNAGE. BY OWNER. COORDINATE POWER AND BLOCKING RAILS
06	DOWNSPOUT. CONNECTED TO STORMWATER SYSTEM. 8" OUTSIDE DIA. PAINT SELECTED BY OWNER
07	INSULATED OPAQUE SPANDREL PANEL. PER STOREFRONT SYSTEM
08	SHINER BOND BRICK COURSE. SUPPORTED BY SHELF ANGLE AT CANTILEVERS. SEE STRUCT.
09	UNIT TRANSDUCTION WINDOW W/ SECURITY DRAWER AND VOICE AMPLIFICATION. COORD. W/ ELECTRICAL.
10	DOUBLE SOLIDER COURSE (8" DEEP). WRACKED. TYPICAL AT 2ND STORY PUNCHED WINDOW OPENINGS
11	SINGLE SOLIDER COURSE (8" DEEP). WRACKED. TYPICAL AT 1ST STORY PUNCHED WINDOW OPENINGS
12	ROOF TOP EQUIPMENT. SEE ROOF PLAN.
13	6" GUTTER
14	WRACKED PANEL. SEE SECTIONS
15	CORBELLED STRETCHER PANEL. SEE DETAIL
16	WALL PACE. TYP. SEE ELECTRICAL DRAWINGS.
17	DISCONNECT FOR IMAGING. SEE ELECTRICAL DRAWINGS.
18	LAMBSTONGUE OVER FLOW
19	RUNNING BOND PANEL WITH CORBELLED BRICKS. SEE DETAIL.
20	NS SERVICE ENTRANCE
21	LOUVER. COLOR SHALL MATCH EXTERIOR STOREFRONT. COORDINATE SIZE WITH MECHANICAL
22	ROOF HATCH. SEE ROOF PLAN

NOT FOR
CONSTRUCTION

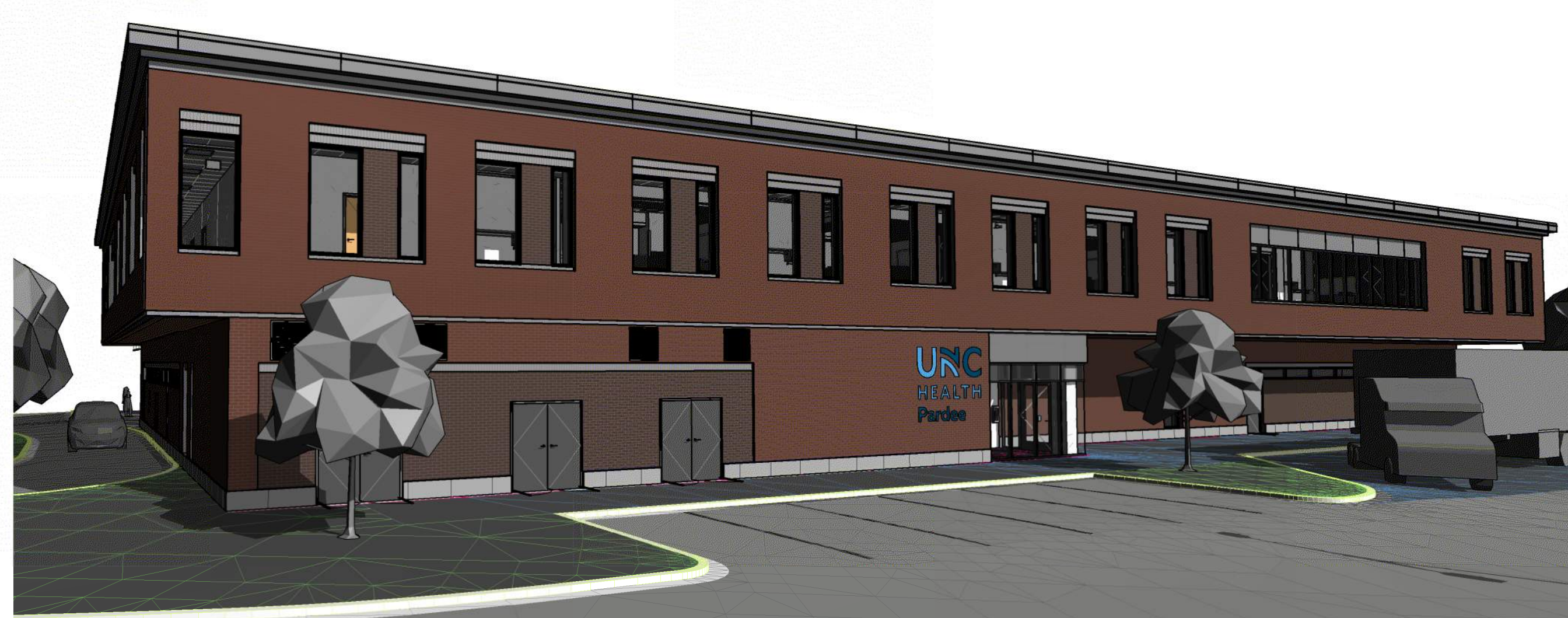
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LS3P PROJECT: 0403-240301

[illegible]

A-202

DESIGN DEVELOPMENT



EXTERIOR PERSPECTIVE- NORTHEAST



THE LINE SHOWN ABOVE IS EXACTLY ONE FOOT LONG. THE LINE SHOWN ABOVE IS EXACTLY ONE FOOT LONG. THE LINE SHOWN ABOVE IS EXACTLY ONE FOOT LONG.

E

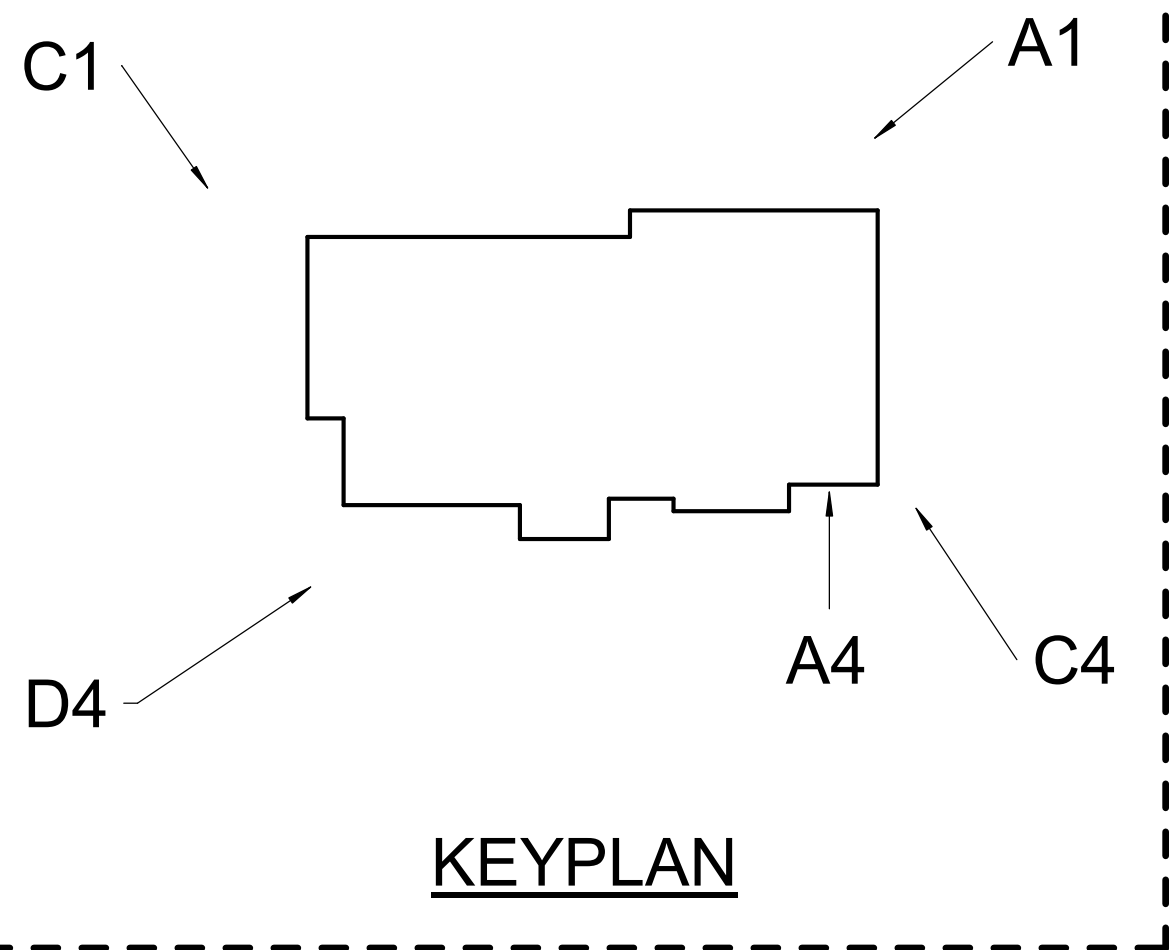
D

C

B

A

4/14/2025 11:32:54 AM



C1 EXTERIOR PERSPECTIVE - FROM THE NORTH WEST
NTS



A1 EXTERIOR PERSPECTIVE - FROM THE NORTHEAST
NTS



D4 EXTERIOR PERSPECTIVE - FROM THE SOUTHWEST
NTS



C4 EXTERIOR PERSPECTIVE - ENTRANCE
NTS



A4 EXTERIOR PERSPECTIVE - FROM THE SOUTHEAST
NTS

DATE	DESCRIPTION

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1427 OLD SPARTANBURG ROAD
HENDERSONVILLE, NC 28792

US3P PROJECT: 0403-240301

SHEET NAME:
BUILDING
SECTIONS

SHEET:

A-301

DESIGN DEVELOPMENT

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D

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4/14/2025 11:33:03 AM



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4

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1427 OLD SPARTANBURG ROAD
HENDERSONVILLE, NC 28792

US3P PROJECT: 0403-240301

SHEET NAME:
BUILDING
SECTIONS

SHEET:

A-302

DESIGN DEVELOPMENT

A

4/14/2025 11:33:28 AM





UNC
HEALTH
Pardee

LS3P

14 O'HENRY AVENUE, SUITE 210
ASHEVILLE, NC 28801
TEL. 828.254.1963
WWW.LS3P.COM

NOT FOR
CONSTRUCTION

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HENDERSON CO. & UNCH
PARDEE SH MOB

1427 OLD SPARTANBURG ROAD
HENDERSONVILLE, NC 28792

LS3P PROJECT: 0403-240301

DATE	DESCRIPTION

SHEET NAME:
BUILDING
SECTIONS

ORIG SUBMISSION: 2025.04.14

SHEET:

A-303

DESIGN DEVELOPMENT

THE LINE DRAWINGS ARE IN EXACTLY
ONE INCH PER FOOT UNLESS
OTHERWISE NOTED

E

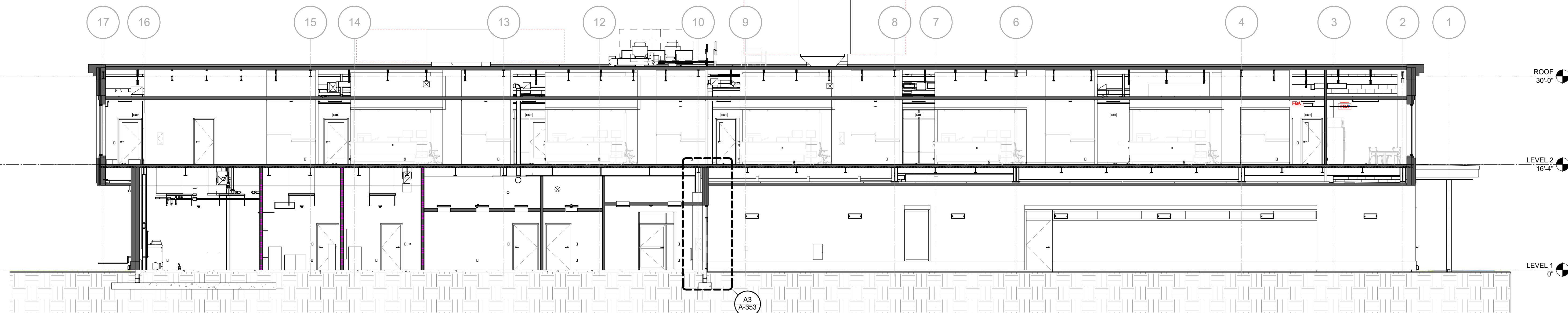
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C

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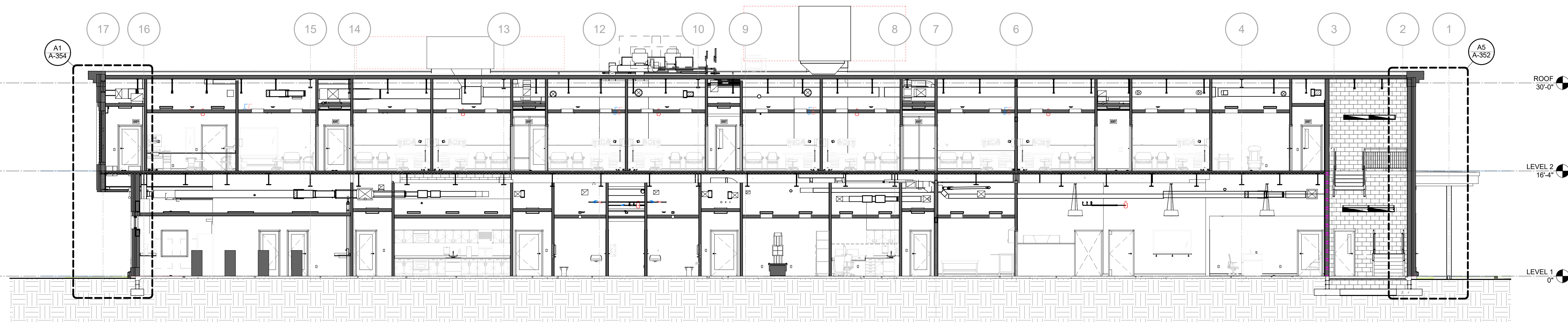
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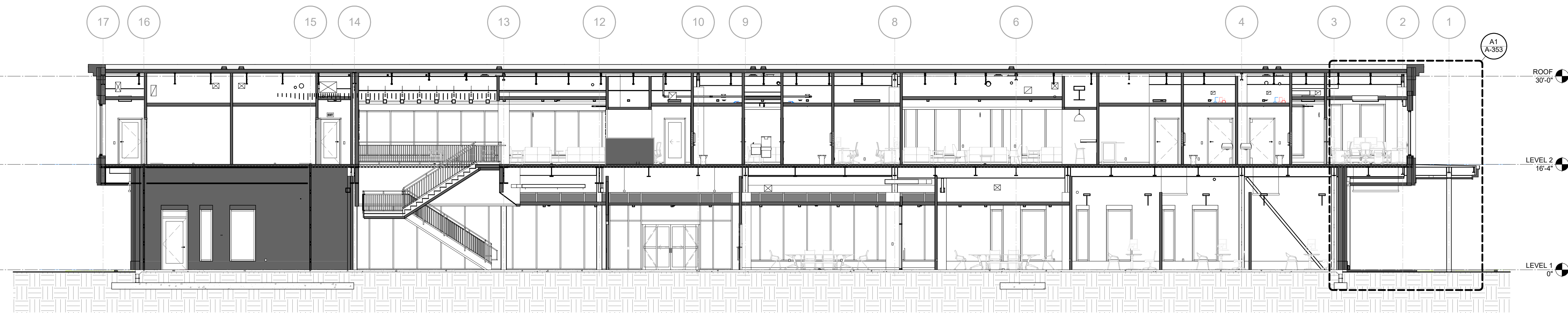
D1 SECTION BETWEEN GRIDS L AND K

1/8" = 1'-0"



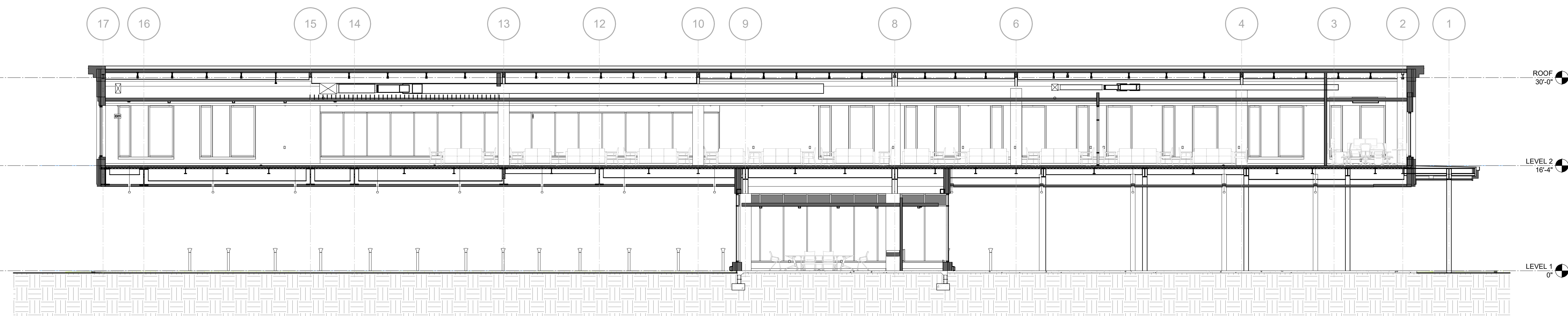
C1 SECTION BETWEEN GRIDS H AND F

1/8" = 1'-0"



B1 SECTION BETWEEN GRIDS F AND C

1/8" = 1'-0"



A1 SECTION BETWEEN GRIDS C AND A

1/8" = 1'-0"

1

2

3

4

5

6



NEIGHBORHOOD COMPATIBILITY MEETING REPORT
SPARTANBURG HIGHWAY MEDICAL OFFICE BUILDING (25-
23-CZD)
NCM MEETING DATE: APRIL 29TH, 2025

PETITION REQUEST: Rezoning: Commercial Highway Mixed Use-Conditional Zoning District (CHMU-CZD)

APPLICANT/PETITIONER: John Bryant, Vice President, Operations and Support Services for UNC Health Pardee [Applicant] & Bryan Rhodes, Capital Projects Construction Manager for Henderson County Government [Owner]

NEIGHBORHOOD COMPATIBILITY MEETING SUMMARY:

A Neighborhood Compatibility Meeting was held for this project on April 19th, 2025, at 2pm in the 3rd floor conference room of City Hall, 160 6th Ave. East. and via Zoom. The meeting lasted approximately 1 hour and 10 minutes.

There were 2 members of the public in attendance in-person and 1 attended virtually. The applicant and their development team were present as were 3 members of City staff.

Staff gave the formal introduction and a brief overview of the request.

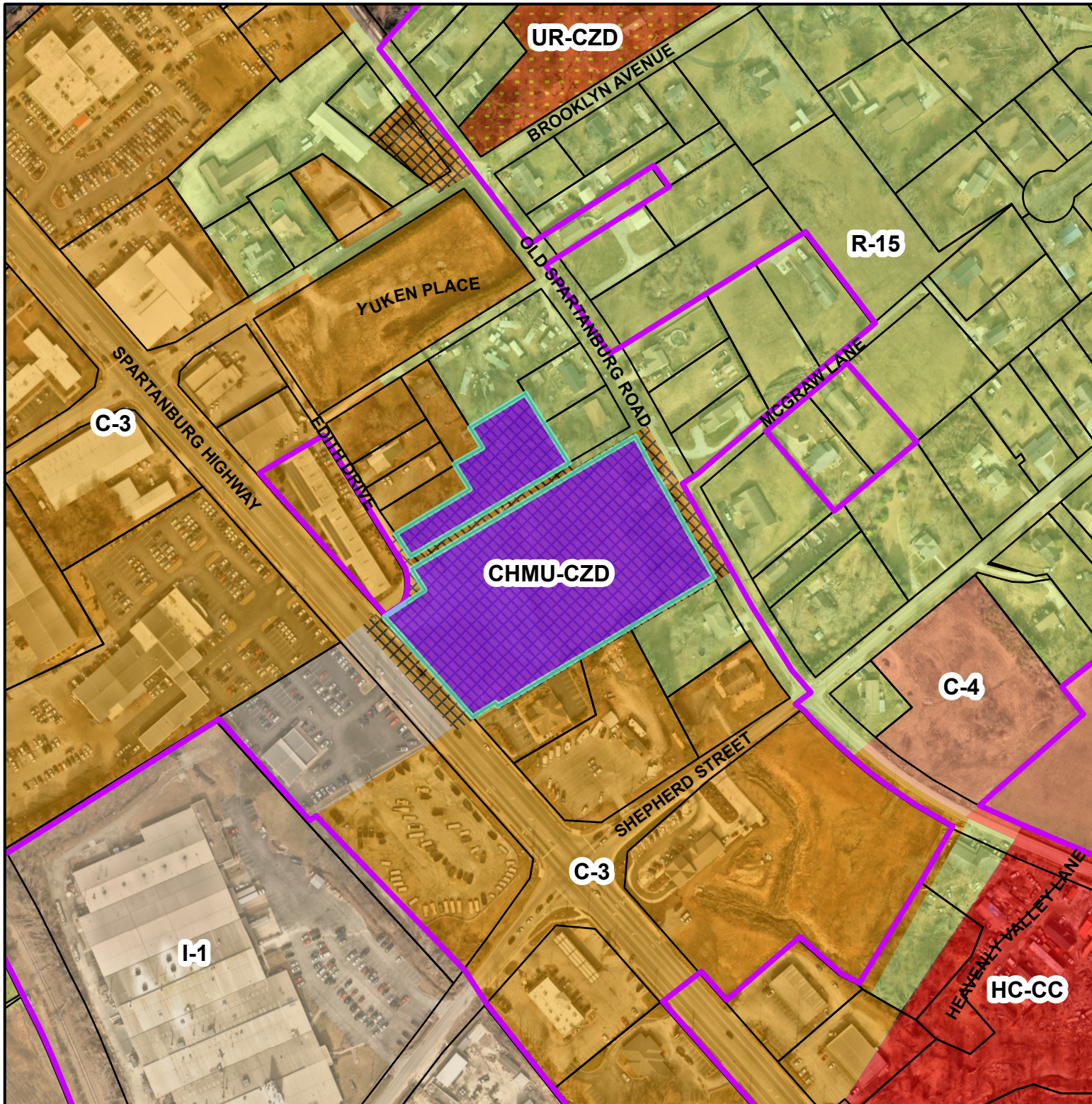
There were 0 pre-submitted public comments.

The development team presented their project proposal for the 42,520 square foot medical office building.

Concerns and questions from the public related to:

- The type of medical services that would be provided.
- Whether or not behavioral health programs would be incorporated into the development.
- How the open space along Spartanburg highway would be maintained and landscaped.
- The Duke Energy transmission line easement impacts on the project.
- Drainage, stormwater and the blueline stream shown on the USGS maps were discussed.
- It was noted that Pardee is an incredible asset to our community.
- Funding for the project and Henderson County's involvement.

Full minutes from the Neighborhood Compatibility Meeting and pre-submitted public comments are available for review by request.



Spartanburg Highway Medical Office Building
25-23-CZD
PIN: 9578-41-6876 & -42-5074
Acreage: 4.54
Proposed Zoning

- Subject Property (CHMU-CZD)
 Hendersonville City Limits
- Hendersonville Zoning**
- CZD Conditional Zoning Districts
 - R-15 Medium Density Residential
 - UR Urban Residential
 - C-4 Neighborhood Commercial
 - C-3 Highway Business
 - C-3SU Highway Business Special Use
 - I-1 Industrial
- Henderson County Zoning**
- Community Commercial

Ordinance # ____ - ____

AN ORDINANCE OF THE CITY OF HENDERSONVILLE CITY COUNCIL TO AMEND THE OFFICIAL ZONING MAP OF THE CITY OF HENDERSONVILLE FOR A PARCELS POSSESSING PIN NUMBERS: 9578-41-6876 & 9578-42-5074 BY CHANGING THE ZONING DESIGNATION FROM C-3 SU, HIGHWAY BUSINESS SPECIAL USE TO CHMU-CZD, COMMERCIAL HIGHWAY MIXED USE CONDITIONAL ZONING DISTRICT

IN RE: Parcel Numbers: 9578-41-6876 & 9578-42-5074
Address: 0 Spartanburg Highway
Spartanburg Highway Medical Office Building: (File # 25-23-CZD)

WHEREAS, the City is in receipt of a Conditional Rezoning application from applicant, John Bryant, Vice President, Operations and Support Services for UNC Health Pardee, and property owner, Bryan Rhodes, Capital Projects Construction Manager for Henderson County Government, for the construction of a 42,520 square foot medical office building on approximately 4.54 acres, and

WHEREAS, the Planning Board took up this application at its regular meeting on June 12th 2025; voting 0-0 to recommend/not recommend City Council approve an ordinance amending the official zoning map of the City of Hendersonville, and

WHEREAS, City Council took up this application at its regular meeting on July 2nd, 2025, and

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Hendersonville, North Carolina:

1. Pursuant to Article XI of the Zoning Ordinance of the City of Hendersonville, North Carolina, the Zoning Map is hereby amended by changing the zoning designation of the following: Parcel Numbers: 9578-41-6876 & 9578-42-5074, changing the zoning designation from C-3 SU, Highway Business Special Use to CHMU-CZD, Commercial Highway Mixed Use Conditional Zoning District.
2. Development of the parcel pursuant to this Ordinance is subject to the following.
 - a. Development shall comply with the master site plan submitted by the applicant dated June 4th, 2025, including the conditions listed therein, [and/or as modified and presented to City Council][and/or including modifications approved by City Council which shall be added to the site plan. The updated site shall be submitted to the City at or before the applicant’s execution of this Ordinance].
 - b. Permitted uses shall include:
 - i. Offices, business, professional and public
 - c. Additional conditions that shall be satisfied prior to final site plan approval include:
 - i.
3. Except where modified by the terms of this Ordinance, development of the parcel(s) shall occur in accordance with the final site plan requirements of Article VII of the Zoning Ordinance of the City of Hendersonville, North Carolina.
4. Except where explicit relief is granted by the terms of this Ordinance, the development of the parcel(s) shall occur in accordance with all applicable standards within local ordinances and policies.

This ordinance shall be not be effective until the list of use(s) and conditions, established herein, is consented to in writing by the applicant and all owners of the subject property. Upon such written consent, this ordinance shall be effective retroactive to the date of its adoption.

Attest: Barbara G. Volk, Mayor, City of Hendersonville

Jill Murray, City Clerk

Approved as to form:

Angela S. Beeker, City Attorney

With their signatures below, the undersigned applicant(s) and property owner(s) consent to and agree to all conditions imposed pursuant to the terms of this Ordinance.

IN RE: Parcel Numbers: 9578-41-6876 & 9578-42-5074
 Address: 0 Spartanburg Highway
 Spartanburg Highway Medical Office Building: (File # 25-23-CZD)

Applicant/Developer: John Bryant, Vice President, Operations and Support Services for UNC Health Pardee

Signature: _____

Printed Name: _____

Title: _____

Date: _____

Property Owner: Bryan Rhodes, Capital Projects Construction Manager for Henderson County Government

Signature: _____

Printed Name: _____

Title: _____

Date: _____



Community Development Department-Planning Division

160 6th Ave. E. Hendersonville NC 28792

For use by Principal Authority / Para uso de la Autoridad Principal

Cloudpermit application number / Número de solicitud de Cloudpermit

US-NC30720-P-2025-56

PIN / Número de rollo

9578416876

Application submitted to / Solicitud presentada a

Hendersonville, NC, North Carolina / Hendersonville, NC, Carolina del Norte

Description of Subject Property

Address / Dirección

0 NO ADDRESS ASSIGNED

Municipality / Municipio

Hendersonville, NC, North Carolina /
Hendersonville, NC, Carolina del Norte

PIN / Número de rollo

9578416876

Purpose of Application

Application type / Tipo de solicitud

Conditional Rezoning

Applicant

Last name / Apellido

Bryant

First name / Nombre de pila

John

Corporation or partnership /
Corporación o sociedad

UNC Health Pardee

Street address / Dirección de la calle

800 N Justice Street

Unit number / Número de unidad

Lot / Con.

Municipality / Municipio

Hendersonville

State / Provincia

Default

ZIP code / Código postal

28791

Other phone / Otro teléfono

+1 8285514326

Mobile phone / Teléfono móvil

+1 8286964719



Fax

Email / Correo electrónico

john.bryant@unchealth.unc.edu

Property owner		
Last name / Apellido Rhodes	First name / Nombre de pila Bryan	Corporation or partners Corporación o sociedad Henderson County
Street address / Dirección de la calle 100 N. King St.	Unit number / Número de unidad	Lot / Con.
Municipality / Municipio Hendersonville	State / Provincia North Carolina	ZIP code / Código postal 28792
Other phone / Otro teléfono +1 828-694-6525	Mobile phone / Teléfono móvil +1 828-606-9094	
Fax	Email / Correo electrónico brhodes@hendersoncountync.gov	

Section 5, Item A.

Declaration and Signatures
<p>Applicant</p> <p>I, John Bryant (The Applicant), do hereby declare that the information contained in this application, the attached schedules and forms, the attached plans and specifications, and other attached documentation is true to the best of my knowledge. If a permit is granted, I agree to comply with Local Ordinances and the conditions of the permit. If the Applicant is a corporation or partnership, I have the authority to bind the corporation or partnership by signing off, I understand that it constitutes a legal signature confirming that I acknowledge and agree to the above declaration.</p> <p> Digitally signed on 05/20/2025, 12:21:37 PM EDT by John Bryant. / Firmado digitalmente el 20/5/25 12:21:37 EDT por John Bryant.</p> <p>Property owner</p> <p>I, Bryan Rhodes (The Property owner), do hereby declare that the information contained in this application, the attached schedules and forms, the attached plans and specifications, and other attached documentation is true to the best of my knowledge. If a permit is granted, I agree to comply with Local Ordinances and the conditions of the permit. If the Property owner is a corporation or partnership, I have the authority to bind the corporation or partnership by signing off, I understand that it constitutes a legal signature confirming that I acknowledge and agree to the above declaration.</p> <p> Digitally signed on 05/22/2025, 8:08:41 AM EDT by Bryan Rhodes. / Firmado digitalmente el 22/5/25 8:08:41 EDT por Bryan Rhodes.</p>

Required Information		
<table border="1"> <tr> <td>Scheduled Neighborhood Compatibility Meeting - NCM Date 04/29/2025</td> <td>NCM Time 2:00 PM</td> </tr> </table> <p>Transportation Impact Analysis - (if applicable) Required for complete application but not due until 24 calendar days prior to Planning Board Meeting</p>	Scheduled Neighborhood Compatibility Meeting - NCM Date 04/29/2025	NCM Time 2:00 PM
Scheduled Neighborhood Compatibility Meeting - NCM Date 04/29/2025	NCM Time 2:00 PM	

Information										
<table border="1"> <tr> <td>Type of Development: Commercial</td> <td>Current Zoning C-3SU</td> <td>Proposed Zoning: CHMU- CZD</td> <td>Total Acreage 4</td> <td>Proposed Building Square Footage: 42520.0 sq.ft.</td> </tr> <tr> <td colspan="4">Number of Dwelling Units: 0</td> <td>List of Requested Uses: Medical Office Building</td> </tr> </table>	Type of Development: Commercial	Current Zoning C-3SU	Proposed Zoning: CHMU- CZD	Total Acreage 4	Proposed Building Square Footage: 42520.0 sq.ft.	Number of Dwelling Units: 0				List of Requested Uses: Medical Office Building
Type of Development: Commercial	Current Zoning C-3SU	Proposed Zoning: CHMU- CZD	Total Acreage 4	Proposed Building Square Footage: 42520.0 sq.ft.						
Number of Dwelling Units: 0				List of Requested Uses: Medical Office Building						



This document presented and filed:
08/16/2024 03:02:41 PM

WILLIAM LEE KING, Henderson COUNTY, NC
Transfer Tax: \$4,000.00

NORTH CAROLINA GENERAL WARRANTY DEED

This instrument was prepared by Sherri L. Brewer, a licensed North Carolina Attorney. Delinquent taxes, if any, will be paid by the Closing Attorney to the Henderson County Tax Collector upon disbursement of closing proceeds.

Excise Tax: \$4,000.00

Parcel Identifier No: 105531 & 110896 Verified by _____ County on the _____ day of _____, 20____
By: _____

Mail/Box to: Prince, Massagee & Alexander, PLLC, 240 3rd Avenue West, Hendersonville, NC 28739

This instrument was prepared by: Sherri L. Brewer – DEED PREP ONLY – NO TITLE EXAMINED

Brief description for the Index: 4.5 acres +/- off Old Spartanburg Highway

THIS DEED made this _____ day of August, 2024, by and between

GRANTOR

GRANTEE

BRYAN EASLER ENTERPRISES, INC.,
a North Carolina Corporation

HENDERSON COUNTY, one of the 100
Counties of the State of North Carolina

1409 Spartanburg Hwy
Hendersonville, NC 28792

800 N. Justice Street
Hendersonville, NC 28791

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot or parcel of land situated in the City of Hendersonville, Henderson County, North Carolina and more particularly described as follows:

SEE ATTACHED EXHIBIT A.

A portion of that property hereinabove described was acquired by Grantor by instrument recorded in Book 1393 at Page 180.

All or a portion of the property herein conveyed __ includes or X does not include the primary residence of a Grantor.

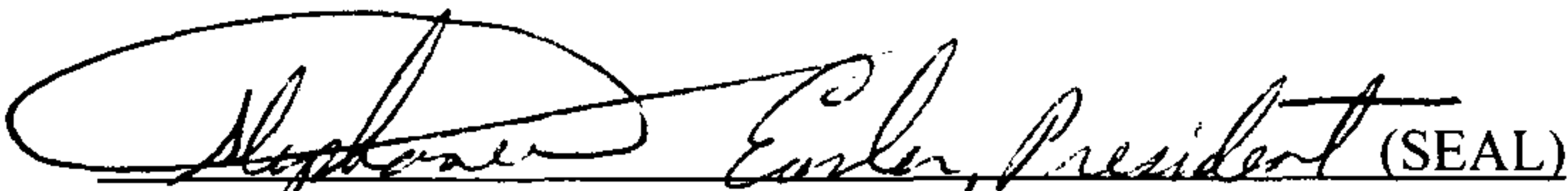
A map showing the above-described property is recorded in Plat Slide.

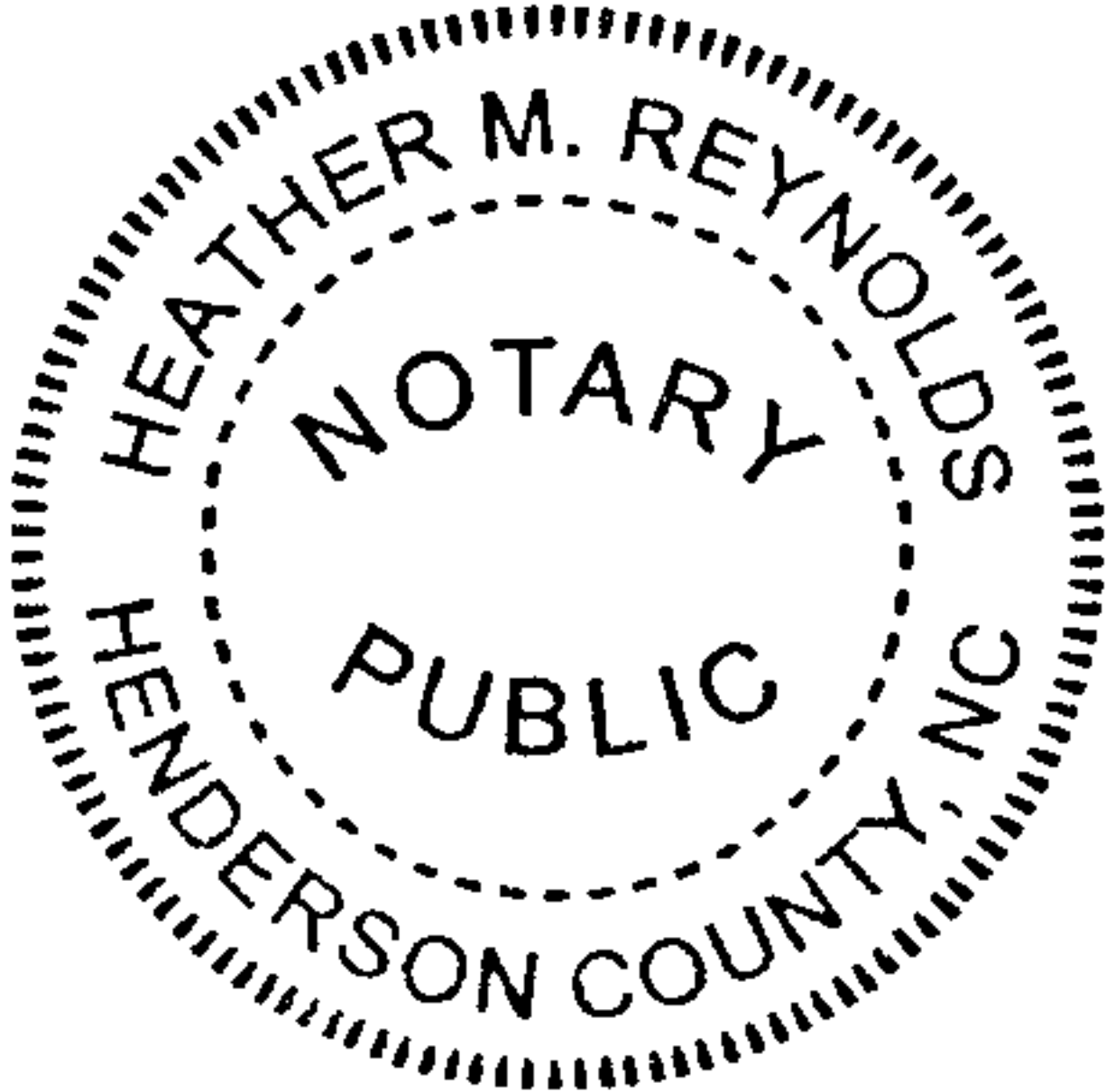
TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

And the Grantor covenants with the Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and defend the title against the lawful claims of all persons whomsoever, other than the following exceptions:

Subject to Hendersonville City ad valorem taxes.
Subject to Henderson County ad valorem taxes.
Subject to Restrictions, Easements, and Rights of Way of Record.

IN WITNESS WHEREOF, the Grantor has duly executed the foregoing as of the day and year first above written.


STEPHANIE EASLER, President of
BRYAN EASLER ENTERPRISES, INC.,
a North Carolina Corporation



(Affix Seal)

State of NORTH CAROLINA- County of HENDERSON

I, the undersigned Notary Public of the County and State aforesaid, certify that Stephanie Easler personally came before me this day and acknowledged that she is the President of Bryan Easler Enterprises, Inc. a North Carolina Corporation, and that by authority duly given and as the act of such entity, she signed the foregoing instrument in its name on its behalf as its act and deed. Witness my hand and Notarial stamp or seal this 5th day of August, 2024.

My Commission Expires:
10-16-27

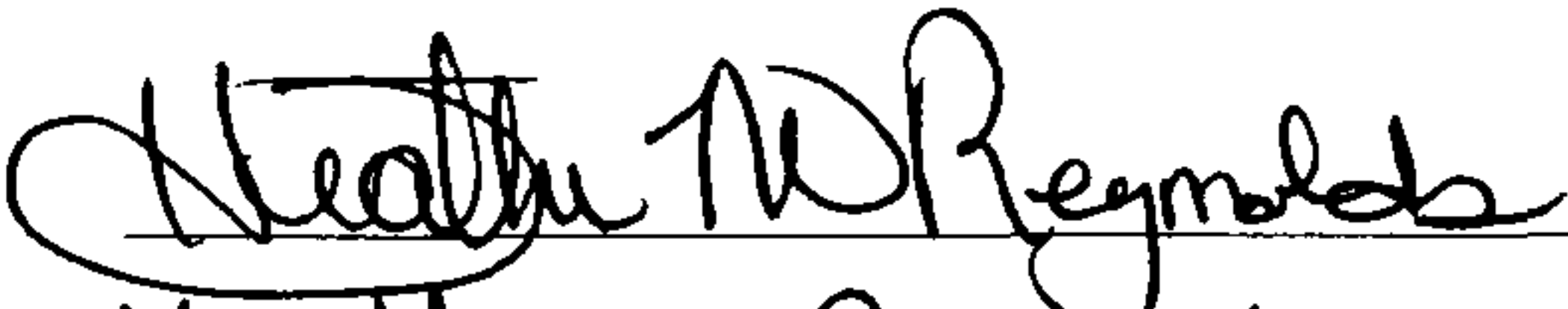

Heather M. Reynolds Notary Public
Notary's Printed or Typed Name

EXHIBIT A

Tract One

BEING all of that 3.79 acre tract as depicted on plat of record at Plat Slide 15794 in the office of the Register of Deeds for Henderson County, North Carolina, reference to which plat is hereby made for a more particular description.

ALSO BEING all of Tract One described in that deed of record in Deed Book 1275, Page 77 in the office of the Register of Deeds for Henderson County, North Carolina and being a portion of the property described in deed of record in Deed Book 1393, Page 180, Henderson County Registry.

Tract Two

BEING all of that 0.74 acre tract as depicted on plat of record at Plat Slide 15794 in the office of the Register of Deeds for Henderson County, North Carolina, reference to which plat is hereby made for a more particular description.

ALSO BEING all of Tract Two described in that deed of record in Deed Book 1275, Page 77 in the office of the Register of Deeds for Henderson County, North Carolina and being a portion of the property described in deed of record in Deed Book 1393, Page 180, Henderson County Registry.

SUBJECT to the right-of-way of Blue Ridge Avenue, a fifteen (15') foot right of way along the margin of Old Spartanburg Highway, (SR 172), that 20' private road depicted on plat of record in Plat Cabinet B, Slide 299A in the office of the Register of Deeds for Henderson County, North Carolina and utilities rights of way as shown on the above-described plat.

units with current zoning. City Council is set to hear a zoning text amendment at their June 5th, 2025 meeting that could increase the density to 4 units per acre, or 54 units. More information concerning the requirements and process for Minor Planned Residential Developments can be found in the staff report.

PROJECT/PETITIONER NUMBER:	(25-20-SPR)
PETITIONER NAME:	- First Victory Construction and Development [Applicant] - Herta G Suess Trustees [Owner]
ATTACHMENTS:	1. Staff Report 2. Preliminary Site Plan Packet 3. Application / Owner Signature Addendum

PRELIMINARY SITE PLAN–SIGNAL HILL TOWNHOMES (25-20-SPR)
CITY OF HENDERSONVILLE - COMMUNITY DEVELOPMENT STAFF REPORT

PROJECT SUMMARY 2

PRELIMINARY SITE PLAN AND MINOR PRD REVIEW GUIDELINES 3

UPDATED ZONING - PRELIMINARY SITE PLAN AND MINOR PRD REVIEW GUIDELINES 4

EXISTING ZONING & LAND USE 4

SITE IMAGES..... 6

SITE IMAGES..... 7

SITE IMAGES..... 8

PROPOSED DEVELOPMENT DETAILS..... 9

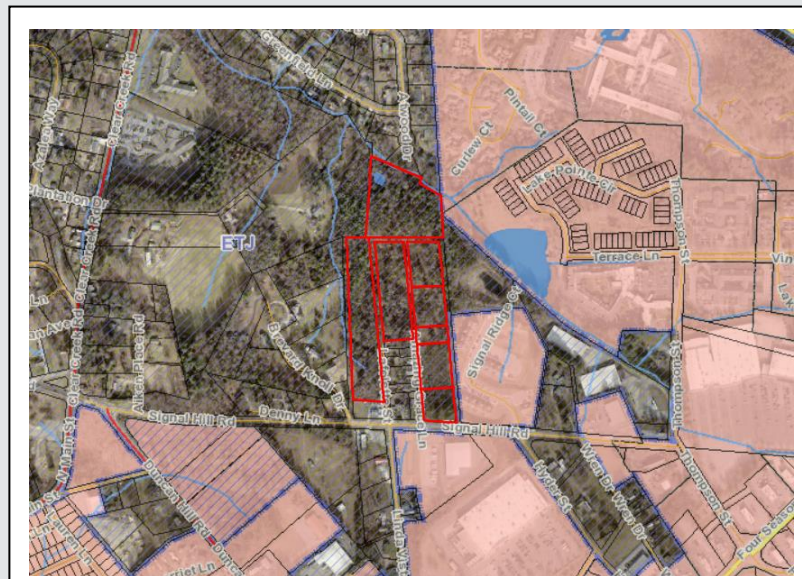
OUTSTANDING PRELIMINARY SITE PLAN COMMENTS..... 9

STAFF ANALYSIS..... 9



PROJECT SUMMARY

- Project Name & Case #:
 - Signal Hill Townhomes
 - 25-20-SPR
- Applicant & Property Owner:
 - First Victory Construction and Development [Applicant]
 - Herta G Suess Trustees [Owners]
- Property Address:
 - 0 Signal Hill Road
- Project Acreage:
 - 13.73 acres
- Parcel Identification (PIN):
 - 9579-07-6259
 - 9579-06-7975
 - 9579-06-5791
 - 9579-06-8507
 - 9579-06-8308
 - 9579-06-8117
- Parcel Zoning:
 - R-15, Medium Density Residential
- Future Land Use Designation:
 - Multi-Generational Living
 - Open Space - Recreation
- Requested Uses:
 - Planned Residential Development (minor)
- Type of Review:
 - **Administrative-** Decisions made in the implementation, administration, or enforcement of the Zoning and Subdivision Ordinances that involve the determination of facts and the application of objective standards set forth in the Zoning and Subdivision Ordinances.



SITE VICINITY MAP

The City of Hendersonville is in receipt of an application for preliminary site plan review from First Victory Construction and Development (applicant) and Herta G. Suess Trustees (property owner). The applicant is proposing to construct 50 single-family attached homes on the subject property located at 0 Signal Hill Road (PINs 9579-07-6259, -06-7975, -06-5791, -06-8507, -06-8308, -06-8117).

The proposed site plan shows that the lot sizes of the development will be .07 acres large.

The proposed density of the development is approximately 3.64 units per acre. An R-15 Minor Planned Residential Development allows a max density of 3.75 units an acre or 51 units with current zoning. City Council is set to hear a zoning text amendment at its June 5th, 2025 meeting that could increase the density to 4 units per acre, or 54 units. More information concerning the requirements and process for Minor Planned Residential Developments can be found below.

Since this development is proposing detached single-family units, the land must be subdivided in order to be built and sold. Due to this, this project must also go through the City's subdivision process. Due to this project including 8 or more lots and the dedication of a new street the project meets the criteria of a major subdivision and therefore will be reviewed according to the standards of section 2.04 H of the subdivision ordinance. **The project will be required to come back to the Planning Board in order to receive Preliminary Plat Approval.**

PRELIMINARY SITE PLAN AND MINOR PRD REVIEW GUIDELINES

Review of Preliminary Site Plans

Review of preliminary site plans applies to larger projects where the costs of developing detailed final plans can be substantial. It is designed to provide the applicant an opportunity to obtain authorization for a site specific development while incurring reduced expense. Review of preliminary plans is a function of the Planning Board.

Preliminary plan review is required of all development undergoing Site Plan Review for the following:

- Any commercial, industrial or institutional development consisting of more than 20,000 square feet of floor area.
- Addition of more than 30 parking spaces.
- Any Minor Planned Residential Development consisting of 9 or more dwelling units.

Approval of a preliminary site plan shall **not** entitle the applicant to the issuance of a zoning compliance permit. Upon approval of the preliminary site plan by the Planning Board the applicant must then submit an application and final site plans meeting the requirements of of the zoning ordinance, in addition to any other approval including but not limited to stormwater approval, utility approval, driveway permits, land disturbance approval, etc. The applicant shall have two years from the date of such approval to obtain final site plan approval.

5-14-7. Minor Planned Residential Developments

The maximum number of dwelling units which may be constructed in a Minor Planned Residential Development shall be 50 or a number computed on the basis of the following table, whichever is less:

Use District	Dwelling Units Per Acre
R-40	1.0
R-20	2.5
R-15	3.75
R-10	5.5
R-6	8.5
MIC	5.5
RCT	5.5
C-2	8.5
C-3	8.5
I-1	8.5

Minor Planned Residential Developments (Minor PRD) shall be governed by the development standards for Planned Residential Developments (PRD). Unlike Major PRDS, there is no minimum site requirement for a Minor Planned Residential Development, nor is there a requirement that access be by means of a designated thoroughfare. Unlike Major PRDs which undergo a rezoning to a Conditional Zoning District, Minor PRDs undergo site plan review only and do **not** require a rezoning. In cases, where the Minor Planned Residential Development contains 9 or more units, the development must go through preliminary site plan review by the Planning Board. If approved, the subject property would retain its R-15 zoning.

UPDATED ZONING - PRELIMINARY SITE PLAN AND MINOR PRD REVIEW GUIDELINES

The City Council is set to hear a zoning text amendment at their June 5th, 2025 meeting that would revise the Minor Planned Residential Development ordinance. The changes, if adopted, would not restrict the proposed development but would provide for the ability to construct more homes on the property. However, doing so would change this project from a Minor Planned Residential Development to a Major Planned Residential Development and would require a conditional zoning district. The applicant has not expressed interest in doing this.

5-14-75. Minor planned residential developments.

An applicant may elect to have a development processed as a minor planned residential development so long as the proposed development, including all phases, is greater than 2 dwelling units but does not exceed 50 dwelling units. Minor planned residential developments may consist of any residential uses permitted under Sec. 5-14-2, regardless of the underlying zoning district. and so long as no accessory No commercial development may be part of a minor planned residential development. is requested for the project. A minor planned residential development may be located in one or more of the following zoning district classifications: R-40, R-20, R-15, R-10, R-6, MIC, RCT, C-2, C-3, C-4 I-I.

5-14-75.1 Density.

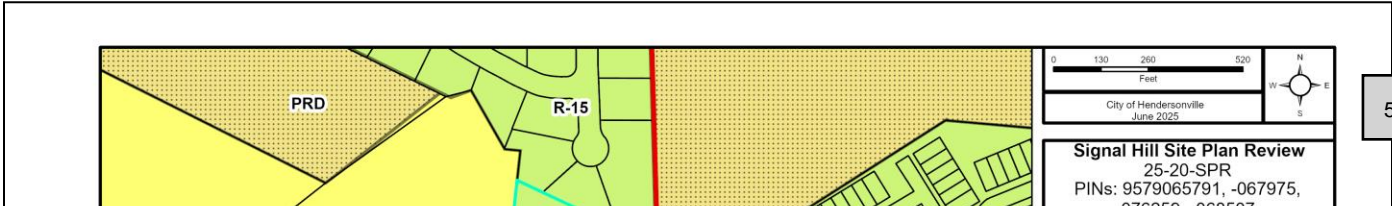
The maximum number of dwelling units which may be constructed in a minor planned residential development shall be 50 or a number computed on the basis of the following table, whichever is less.

Use District	Dwelling Units Per Acre
R-40	1.0 <u>2.0</u>
R-20	2.5 <u>3.0</u>
R-15	3.75 <u>4.0</u>
R-10	5.5
R-6	8.5
MIC	5.5 <u>8.5</u>
RCT	5.5 <u>8.5</u>
<u>C-4</u>	<u>8.5</u>
C-2	8.5 <u>10.0</u>
C-3	8.5 <u>10.0</u>
I-I	8.5

5-14-75.2 Development standards for minor planned residential developments. Except as otherwise noted herein, minor planned residential developments shall be governed by the development standards for planned residential developments contained in subsection 5-14-64, above.

5-14-75.3 Procedures for reviewing. Unlike other planned developments which undergo rezoning to a conditional zoning district, minor planned residential developments undergo site plan review pursuant to section 7-3.

EXISTING ZONING & LAND USE



City of Hendersonville Current Zoning & Land Use Map

The subject property is zoned R-15 medium density residential and is a part of the single-family neighborhoods within the immediate area. The property fronts on Signal Hill Road which is maintained by NCDOT. The property has two public right of ways within its boundaries which are named Amazing Grace Lane and Lafolette Street.

To the south along Signal Hill Road, you will find a mix of residential and commercial and uses. To the immediate south, there is a storage unit facility. To the east, there is an apartment complex. North and west of the property there is a mix of single family, townhomes, and quadplexes.

SITE IMAGES



View of Lafolette Street from entrance near Signal Hill Road.



View of portion of road that developer received variance for to only have a 30' ROW instead of 45'.

SITE IMAGES



View of Amazing Grace Lane taken from near entrance from Signal Hill Road.



View of storage unit facility located south of the subject property across Signal Hill Road.

SITE IMAGES



View of woods on the rear of the property.

- **Units**
 - 50 Single-Family Attached Homes (Townhomes)
- **Proposed Use:**
 - R-15, Medium Density Residential Minor Planned Residential Development (R-15, Minor PRD)
- **Acres/Density**
 - 13.73 acres
 - Proposed density-3.64 units per acre or 50 units.
 - Allowed density (Previous zoning) - 3.75 units an acre or 51 units.
 - Allowed density (New zoning – if passed by City Council on 6/5/25) – 4 units an acre or 54 units.
- **Natural Resource**
 - The property has a natural slope of less than 15.1% which does not trigger any additional steep slop requirements.
 - The site has one stream that runs along the northern boundary of the property.
 - The site does not have any associated floodplains.
- **Streets**
 - All internal streets to the site will be built to public street standards and dedicated to the City for maintenance.
 - The applicant received a variance in 2023 to reduce a portion of the entrance road from the required 45' right of way to 30'.
- **Parking**
 - PRD requires -1 parking space per unit for 1–2-bedroom units and 1.5 parking spaces for 3+ bedroom units. The proposed development will be providing 2 parking spaces for all units (1 in garage, 1 in driveway).
- **Sidewalks**
 - The development shows sidewalks along all internal streets and provides sidewalks on the Signal Hill Road property frontage.
 - Sidewalks are not currently being extended to Signal Hill Drive on the eastern curve of the road. Staff has included a condition to have this issue resolved by final site plan approval.
- **Public Utilities**
 - The site will be served by City of Hendersonville Water and Sewer.
 - Provision of City Utilities requires that the property owner petition to annex.
- **Tree Canopy and Landscaping**
 - The site currently has approximately 531,923 square feet of tree canopy.
 - The development is proposing to save 106,385 square feet of that canopy

- (20%)
- The development is also proposing the preservation of an additional 11.1% of the trees to satisfy the tier two requirements.
- The development is also providing the following landscaping:
 - Common Open Space
 - Open Space
 - Street Trees

OUTSTANDING PRELIMINARY SITE PLAN COMMENTS

COMMUNITY DEVELOPMENT

Site Plan Comments:

The preliminary site plan accompanying this petition meets the standards established by the Zoning Ordinance for Planned Residential Development (5-14), Preliminary Site Plan (7-3-3).

Staff has included a condition for planning board to consider that would require the developer to determine if they can either include sidewalks along the portion of road with a 30' right of way, or to pay a fee-in-lieu.

CITY ENGINEER

Preliminary Site Plan Comments:

- None

WATER / SEWER

Preliminary Site Plan Comments:

- None

FIRE MARSHAL

Preliminary Site Plan Comments:

- None

STORMWATER ADMINISTRATOR

Preliminary Site Plan Comments:

- None

FLOODPLAIN ADMINISTRATOR

Preliminary Site Plan Comments:

- None

PUBLIC WORKS

Preliminary Site Plan Comments:

- None

NCDOT

Preliminary Site Plan Comments:

- Face of curb must be 4' from edge of the traveled land. The southern side of the island must also prevent left turns out of or into the development (resolved by final site plan).

TRANSPORTATION CONSULTANT

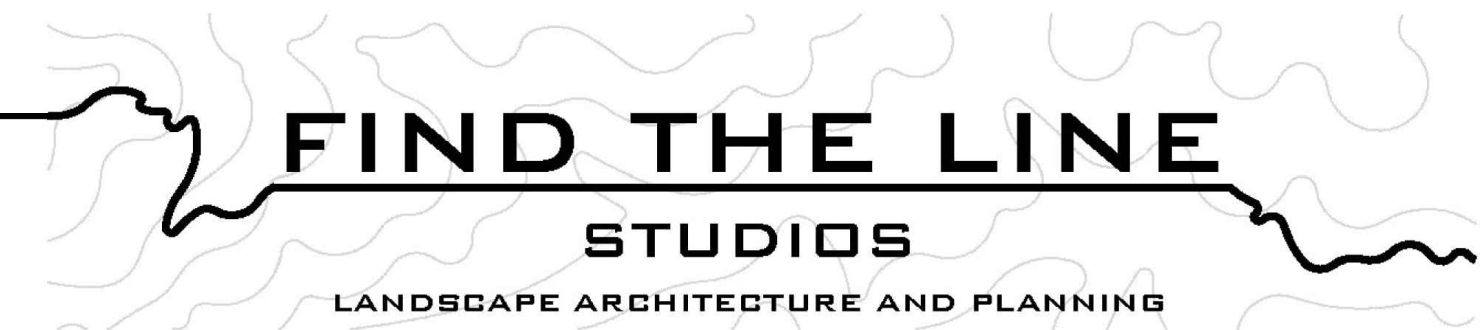
Preliminary Site Plan Comments:

- None (the proposed use and unit count did not trigger a TIA)

STAFF ANALYSIS

Zoning Compliance:

Based on the review by staff, the submitted preliminary site plan for the Signal Hill Townhomes project meets the Zoning Ordinance standards established for Minor Planned Residential Developments (Section 5-14) and Preliminary Site Plan Review (Section 7-3-3.2).



SIGNAL HILL TOWNHOMES

ZONING COMPLIANCE PLANS

HENDERSONVILLE, NORTH CAROLINA

MARCH 20, 2025

MAY 15, 2025

PROPERTY OWNER / DEVELOPER:

FIRST VICTORY INC
542 S. CALDWELL STREET
BREVARD, NC 28712
828.884.7934

PIN NUMBERS: 9579076259; 9579067975; 9579065791;
9579068507; 9579068308; 9579068117

PROPERTY ADDRESS:

99999 SIGNAL HILL ROAD
HENDERSONVILLE, NC

TOTAL SIZE OF PROPERTY:

13.73 ACRES (598,078.8 SF)

ZONING:

R-15 MINOR PRD
ALLOWABLE DENSITY = 3.75 UNITS PER ACRE (51)
PROPOSED DENSITY = 50 SINGLE FAMILY ATTACHED UNITS

SETBACKS:

40' FROM ADJOINING R.O.W.
30' FROM EXTERIOR PROPERTY LINE
10' STRUCTURE FROM EDGE OF PAVEMENT
35' STRUCTURE FROM CENTERLINE OF ROAD
6' OFFSET FROM STRUCTURE TO LOT LINE

OPEN SPACE:

60% OF TOTAL LOT REQUIRED = 358,848 SF
TOTAL OPEN SPACE PROPOSED = 397,938 SF (66.5%)

TOTAL FOOTPRINT ALLOWED: 20% (119,616 SF)

TOTAL FOOTPRINT PROPOSED = 12% (71,500 SF)

COMMON OPEN SPACE:

10% OF TOTAL LOT REQUIRED = 59,808 SF
TOTAL COMMON OPEN SPACE PROPOSED = 67,580 SF (11.3%)

PARKLAND DEDICATION:

500 SF PER UNIT REQUIRED = 25,000 SF
PARKLAND DEDICATION PROPOSED AS PART OF GREENWAY
EASEMENT = 27,210 SF

GREENWAY DEDICATION:

50' WIDE EASEMENT WITH 10' PATH REQUIRED (OR FEE IN LIEU)
FEE IN LIEU PROPOSED

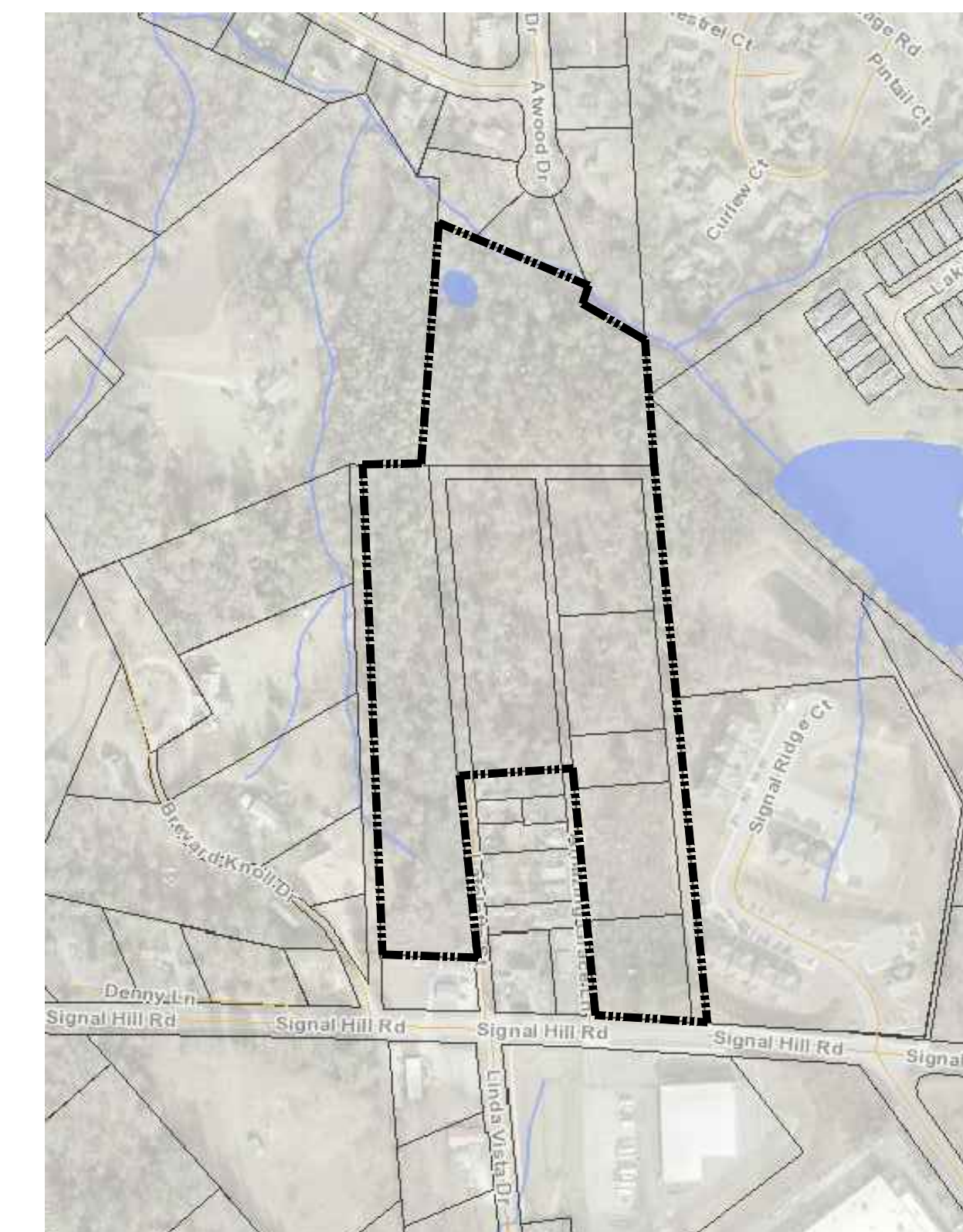
PARKING REQUIREMENTS:

1 PARKING SPACE PER 1 OR 2 BEDROOM UNIT REQUIRED = 50 SPACES MIN.
TOTAL PROPOSED PARKING: 100 SPACES (1 IN GARAGE, 1 IN DRIVEWAY)

CONTACT:

ROB DULL, PLA
362 DEPOT STREET, SUITE 107
ASHEVILLE, NC
828.674.5592
ROB@FINDTHELINESTUDIOS.COM

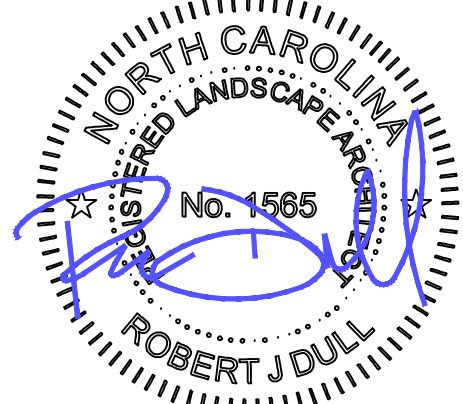
VICINITY MAP



DRAWING INDEX

SHEET #	SHEET TITLE
L-100	SITE ZONING COMPLIANCE PLAN
L-200	LANDSCAPE COMPLIANCE PLAN
L-201	LANDSCAPE NOTES AND DETAILS
L-400	TREE CANOPY PROTECTION PLAN

CONSULTANTS



SIGNAL HILL TOWNHOMES

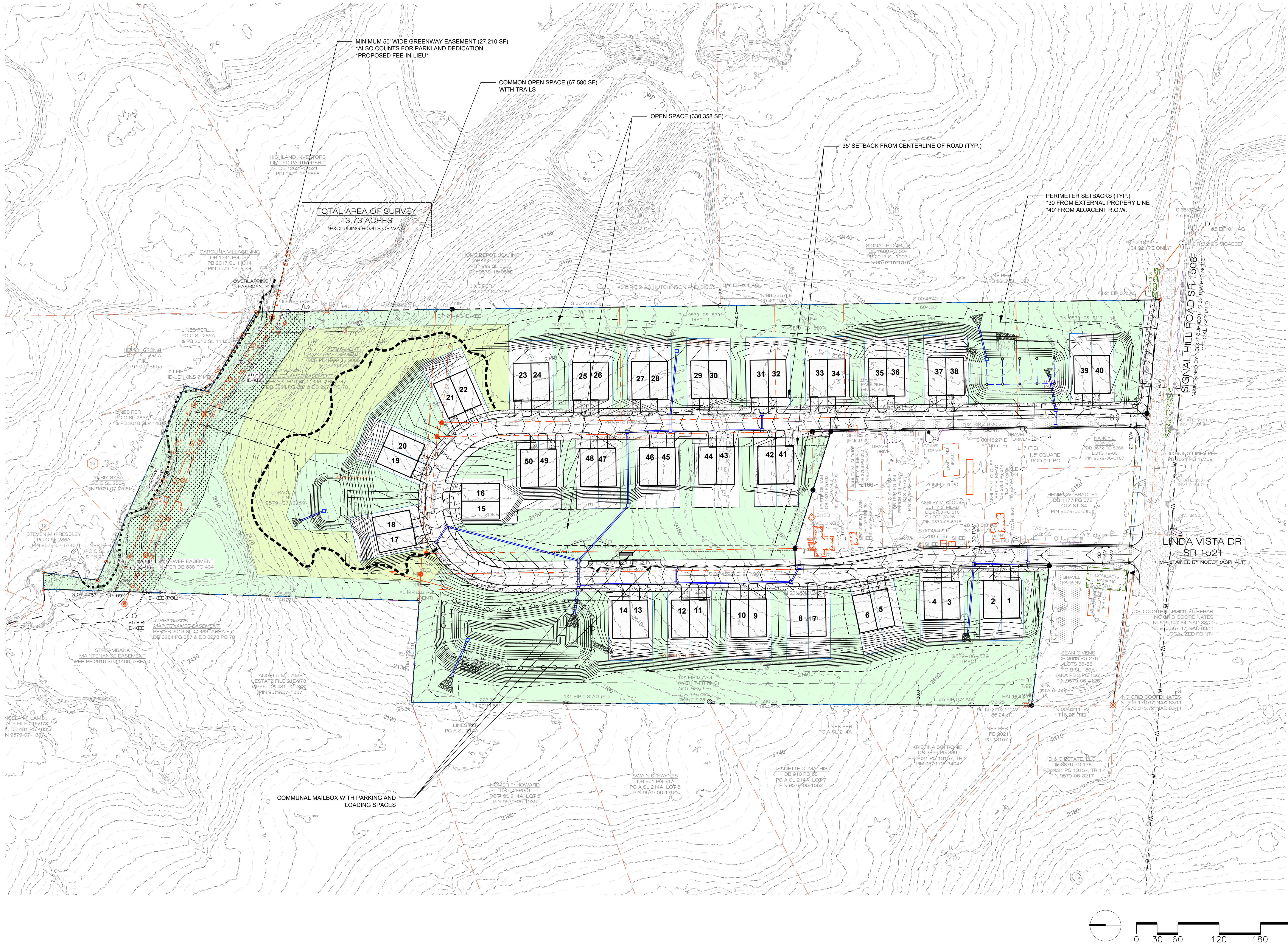
SIGNAL HILL ROAD
HENDERSONVILLE, NC

PREPARED FOR:
FIRST VICTORY INC

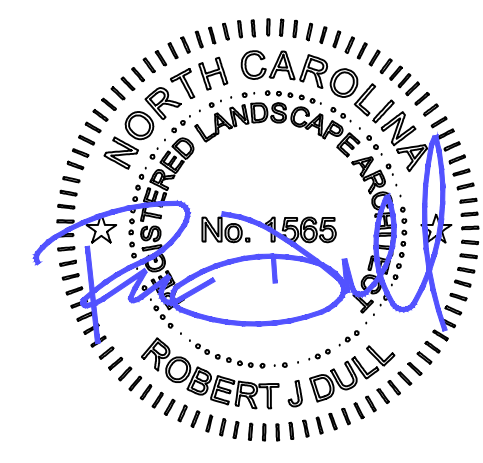
ZONING COMPLIANCE PLAN

PLAN SET		
#	DATE	DESCRIPTION
1	3.20.25	ZONING COMPLIANCE
2	5.15.25	ZONING COMPLIANCE

SHEET NO.
L-100



CONSULTANTS



SIGNAL HILL TOWNHOMES
LANDSCAPE COMPLIANCE PLAN

PREPARED FOR:
FIRST VICTORY INC

SIGNAL HILL ROAD
HENDERSONVILLE, NC

PLAN SET

#	DATE	DESCRIPTION
1	3.20.25	LS COMPLIANCE
2	5.15.25	LS COMPLIANCE

SHEET NO.

L-200

VEHICLE USE AREA (VUA): NOT APPLICABLE

PLANTING STRIPS (PS): NOT APPLICABLE

STREET TREES (ST):

1 TREE PER 35 LF OF PROPERTY ABUTTING A STREET
TOTAL LF: 3,268 LF (INTERNAL ROAD) & 186 LF (SIGNAL HILL ROAD)
TREES REQUIRED: 98 (69 LARGE MATURING TREES / 29 MEDIUM MATURING)
TREES PROVIDED: 75 LARGE-MATURING TREES / 42 MEDIUM MATURING TREE

COMMON SPACE TREE PLANTINGS (CS):

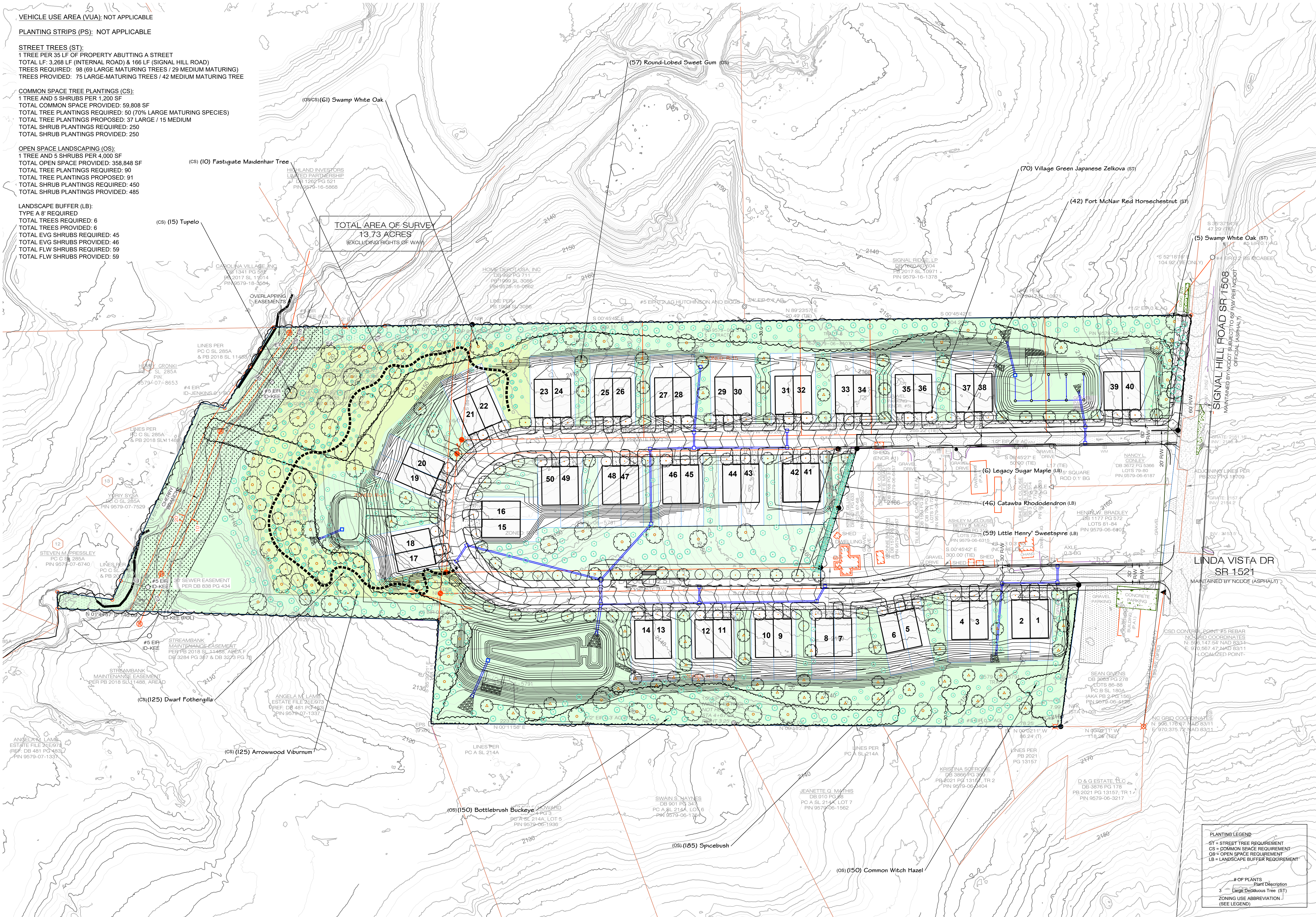
1 TREE AND 5 SHRUBS PER 1,200 SF
TOTAL COMMON SPACE PROVIDED: 59,808 SF
TOTAL TREE PLANTINGS REQUIRED: 50 (70% LARGE MATURING SPECIES)
TOTAL TREE PLANTINGS PROPOSED: 37 LARGE / 15 MEDIUM
TOTAL SHRUB PLANTINGS REQUIRED: 250
TOTAL SHRUB PLANTINGS PROVIDED: 250

OPEN SPACE LANDSCAPING (OS):

1 TREE AND 5 SHRUBS PER 4,000 SF
TOTAL OPEN SPACE PROVIDED: 358,848 SF
TOTAL TREE PLANTINGS REQUIRED: 90
TOTAL TREE PLANTINGS PROPOSED: 91
TOTAL SHRUB PLANTINGS REQUIRED: 450
TOTAL SHRUB PLANTINGS PROVIDED: 485

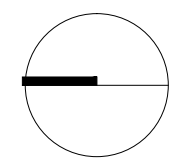
LANDSCAPE BUFFER (LB):

TYPE A 8' REQUIRED
TOTAL TREES REQUIRED: 6
TOTAL TREES PROVIDED: 6
TOTAL EVG SHRUBS REQUIRED: 45
TOTAL EVG SHRUBS PROVIDED: 46
TOTAL FLW SHRUBS REQUIRED: 59
TOTAL FLW SHRUBS PROVIDED: 59



PLANTING LEGEND
ST = STREET TREE REQUIREMENT
CS = COMMON SPACE REQUIREMENT
OS = OPEN SPACE REQUIREMENT
LB = LANDSCAPE BUFFER REQUIREMENT

OF PLANTS
Plant Description
3 Large Deciduous Tree (ST)
ZONING USE ABBREVIATION
(SEE LEGEND)



0 30 60 120 180 240'

PLANT SCHEDULE

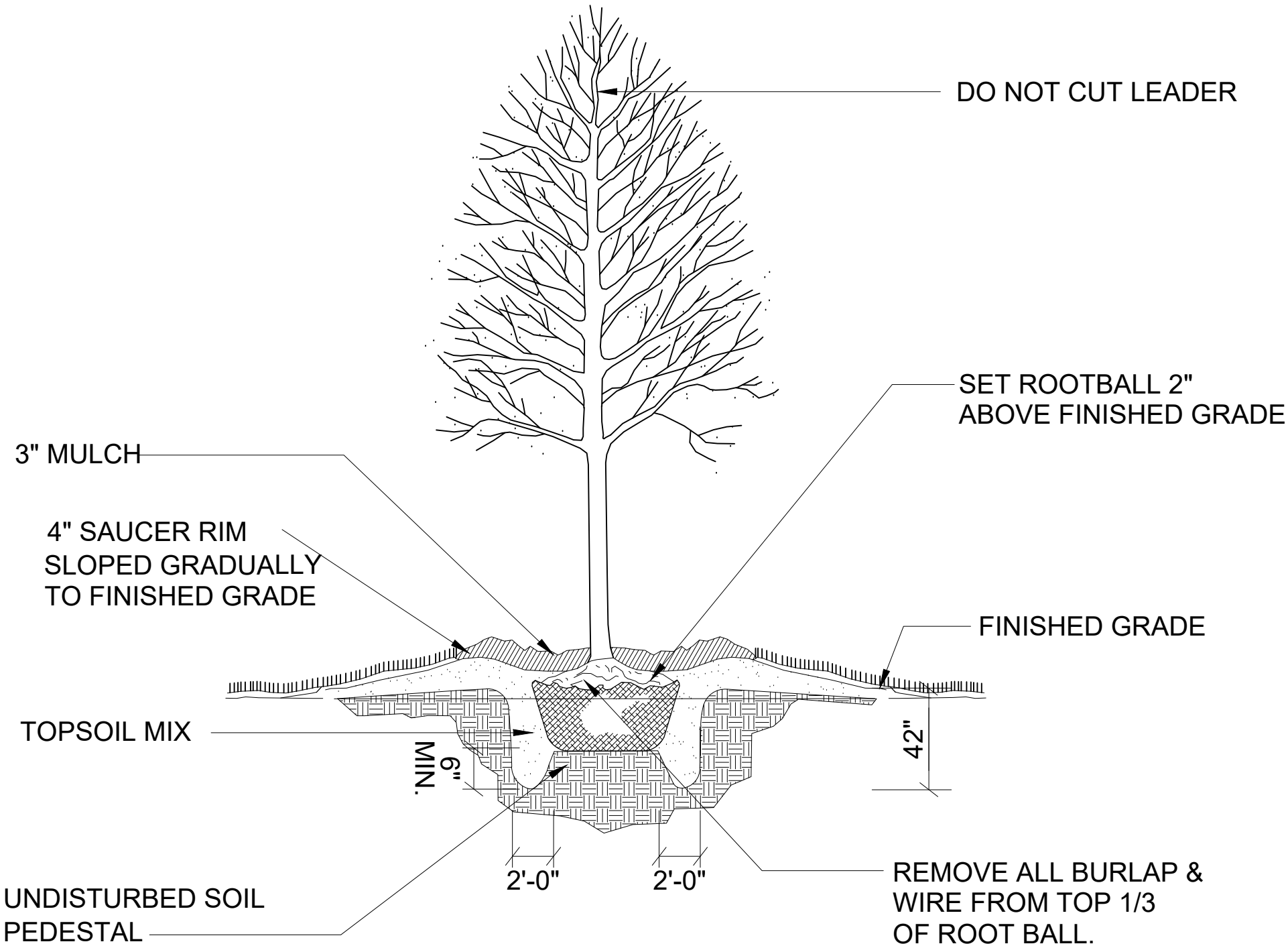
SYMBOLCODEBOTANICAL / COMMON NAMESIZESIZECONTAINERQTYDETAILREMARKS

TREES

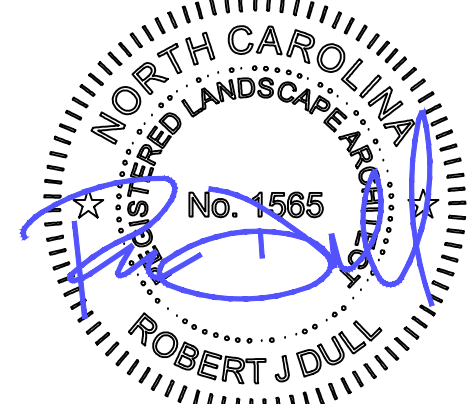
	ACE LEG	Acer saccharum 'Legacy' / Legacy Sugar Maple	3" Cal.	B&B	6		
	AES FOR	Aesculus x carnea 'Fort McNair' / Fort McNair Red Horsechestnut	3" Cal.	B&B	42		
	GIN FAS	Ginkgo biloba 'Fastigiata' / Fastigate Maidenhair Tree	3" Cal.	B&B	10		
	LIQ RO3	Liquidambar styraciflua 'Rotundiloba' / Round-Lobed Sweet Gum	2" Cal.	B&B	57		
	NYS SYL	Nyssa sylvatica / Tupelo	2" Cal.	B&B	15		
	QUE NU2	Quercus bicolor / Swamp White Oak	3" Cal.	B&B	66		
	ZEL VIL	Zelkova serrata 'Village Green' / Village Green Japanese Zelkova	2" Cal.	B&B	70		

SHRUBS

	AES PVF	Aesculus parviflora / Bottlebrush Buckeye	3 gal, 18-24" ht.	Pot	150		
	FOT GAR	Fothergilla gardenii / Dwarf Fothergilla	3 gal.		125		
	HAM VIR	Hamamelis virginiana / Common Witch Hazel	3 gal, 18-24" ht.	Pot	150		
	ITE SPR	Itea virginica 'Sprich' / Little Henry® Sweetspire	3 gal, 18-24" ht.	Container	59		
	LIN BEN	Lindera benzoin / Spicebush	3 gal, 18-24" ht.	Pot	185		
	RHO AN2	Rhododendron catawbiense 'Anah Kruschke' / Catawba Rhododendron	3 gal, 18-24" ht.	Container	46		
	VIB DEN	Viburnum dentatum 'Arrowwood' / Arrowwood Viburnum	3 gal.		125		



CONSULTANTS



SIGNAL HILL TOWNHOMES

SIGNAL HILL ROAD
HENDERSONVILLE, NC

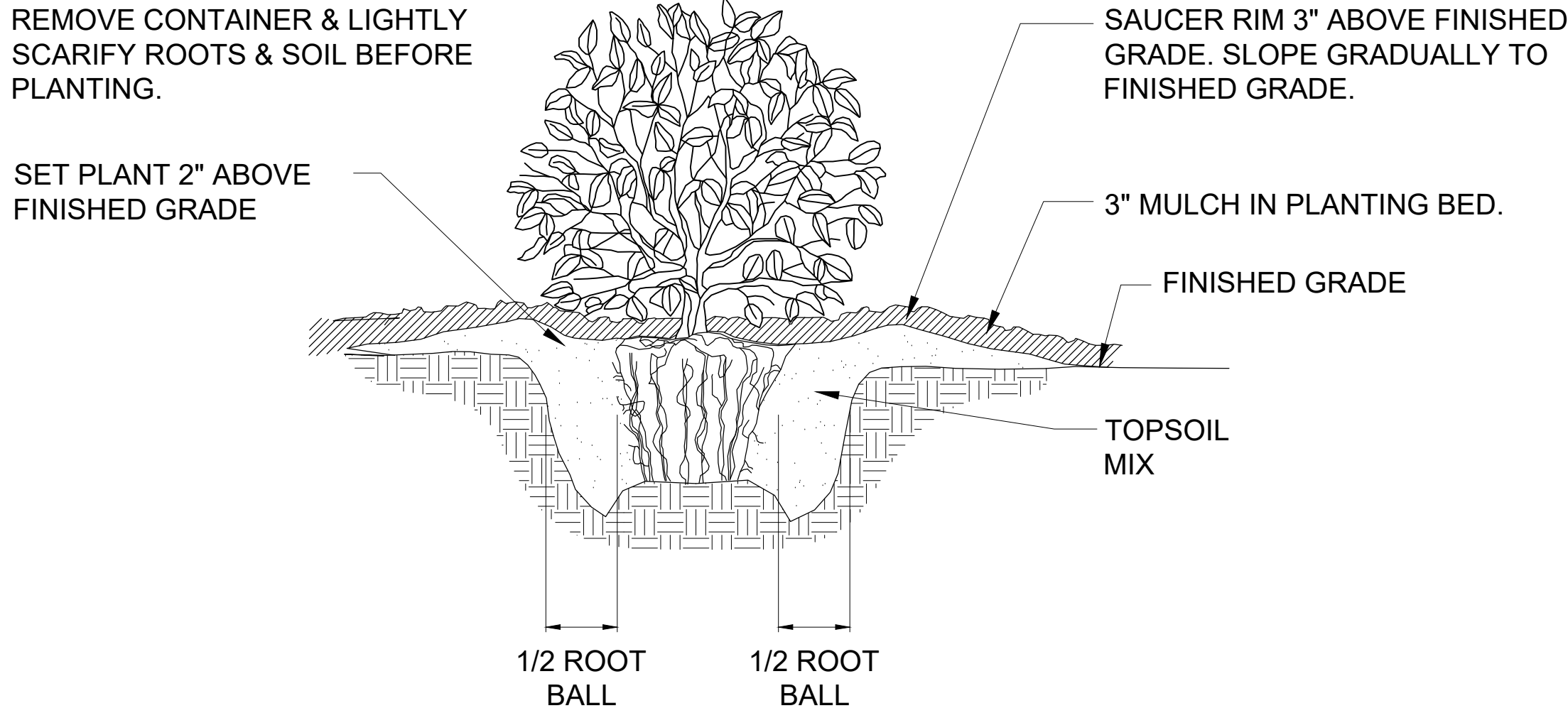
PREPARED FOR:
FIRST VICTORY INC

LANDSCAPE COMPLIANCE NOTES

LANDSCAPE NOTES:

1. PROCEED WITH AND COMPLETE LANDSCAPE WORK AS RAPIDLY AS PORTIONS OF SITE BECOME AVAILABLE, WORKING WITHIN SEASONAL LIMITATIONS FOR EACH KIND OF LANDSCAPE WORK REQUIRED.
2. CONTRACTOR SHALL GUARANTEE ALL PLANTINGS FOR ONE YEAR FROM COMPLETION OF THE WORK. REPLACEMENT PLANTS AND LABOR SHALL BE PROVIDED AT THE CONTRACTOR'S EXPENSE.
3. DETERMINE LOCATION OF UNDERGROUND UTILITIES AND IRRIGATION OR DRAINAGE PIPING AND PERFORM WORK IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE. HAND EXCAVATE, AS REQUIRED. ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S COST.
4. PROVIDE TREES, SHRUBS AND PLANTS OF QUANTITY, SIZE, GENUS, SPECIES AND VARIETY SHOWN AND SCHEDULE FOR LANDSCAPE WORK AND COMPLYING WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". PROVIDE HEALTHY, VIGOROUS STOCK, GROWN IN RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL, INCLUDING POOR BRANCHING STRUCTURE OR DAMAGED TRUNKS.
5. REPORT ANY POORLY DRAINED SOILS OR ANY DRAINAGE PROBLEMS TO LANDSCAPE ARCHITECT IMMEDIATELY. FAILURE TO REPORT SUCH CONDITIONS WILL RESULT IN THE CONTRACTOR BEING RESPONSIBLE FOR CORRECTING THE PROBLEM AND REPLACING DAMAGED OR LOST PLANTS.
6. BED PREPARATION:
REMOVE ALL DEBRIS, BRUSH, STUMPS, ROCKS, AND CONSTRUCTION TRASH.
SPRAY WEEDS WITH GLYPHOSATE TWO WEEKS BEFORE PLANTING. WHEN SOIL IS DRY, TILL EXISTING CLAY TO A DEPTH OF 8" AND RAKE OUT ALL CLODS AND DEBRIS. SPREAD TRIPLE SUPER PHOSPHATE AT RATE OF 5 LBS/1000 SF OR 1/2 LB/100SF. SPREAD 3" OF SOIL MIX (SEE #7 BELOW), TILL MIX THOROUGHLY INTO NATIVE SOIL AND RAKE SMOOTH. WHERE SLOPES ARE TOO STEEP TO TILL, PLANT HOLE BY HOLE, DIGGING SOIL AMENDMENTS THOROUGHLY INTO NATIVE SOIL, AND DIGGING HOLES A MINIMUM OF 2 X THE SIZE OF ROOTBALL.

SOIL MIX IS A 60/40 BLEND OF WHICH 60% IS COMPOST AND 40% IS BLACK SCREENED TOPSOIL. ASHEVILLE MULCH YARD'S AEB MIX IS AN ACCEPTABLE SUBSTITUTE FOR COMPOST. LA TO APPROVE ANY SUBS. MUST BE CERTIFIED WEED FREE AND BLACK, WELL-ROTTED WITH NO CLUMPS OF PARTIALLY DECOMPOSED LEAVES.
7. PLANT AND WATER THOROUGHLY. CONFIRM THAT PERENNIAL AND GROUNDCOVER ROOT BALLS WILL BE COVERED WHEN SOIL HAS SETTLED AFTER WATERING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO RETURN TO THE SITE AND COVER WITH COMPOST ANY ROOT BALLS THAT ARE EXPOSED 1" OR MORE ABOVE GRADE DUE TO SETTLING OR FREEZE/THAW.
8. B&B TREES CAN BE PLANTED IN NATIVE SOIL, UNLESS THAT SOIL IS COMPACTED CONSTRUCTION CLAY(IF SO, USE40% NATIVE SOIL AND 60% SOIL MIX AS BACKFILL). DO NOT USE MUDDY SOIL FOR BACKFILLING.
9. INSTALLATION OF PLANT MATERIAL BELOW EXISTING TREES SHALL BE DONE WITHOUT TILLING TO PROTECT THE EXISTING ROOT STRUCTURES. HOLES FOR PLANT MATERIAL IN THESE AREAS SHALL BE DUG BY HAND. HAND DUG HOLES FOR SHRUBS AND CONTAINER TREES SHALL RECEIVE 60% SOIL MIX AS BACKFILL.
10. INSTALLATION OF PERENNIALS AND GROUND COVERS UNDER EXISTING TREES - BUILD UP SOIL (MAX HEIGHT 3") USING SOIL MIX AND SPREAD PLANT ROOTS OUT FOR SHALLOWER PLANTING.
11. MULCH: FOR TREES AND SHRUBS, MULCH SHALL BE 2" DOUBLE GROUND PINE, FREE FROM DELETERIOUS MATERIALS. PERENNIALS, GRASSES AND GROUND COVERS SHALL BE MULCHED WITH 2" ASHEVILLE MULCH YARDS AEB OR SIMILAR COMPOST.



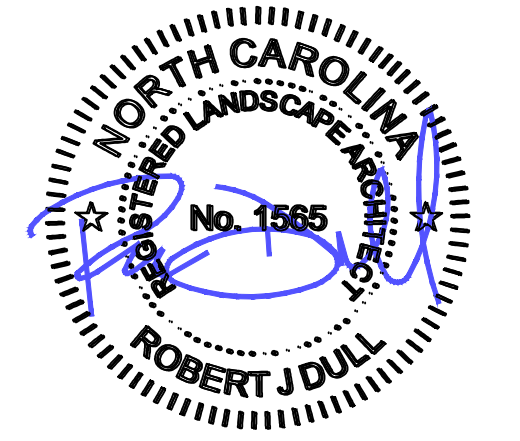
PLAN SET

#	DATE	DESCRIPTION
1	3.20.25	LS NOTES
2	5.15.25	LS NOTES

SHEET NO.

L-201

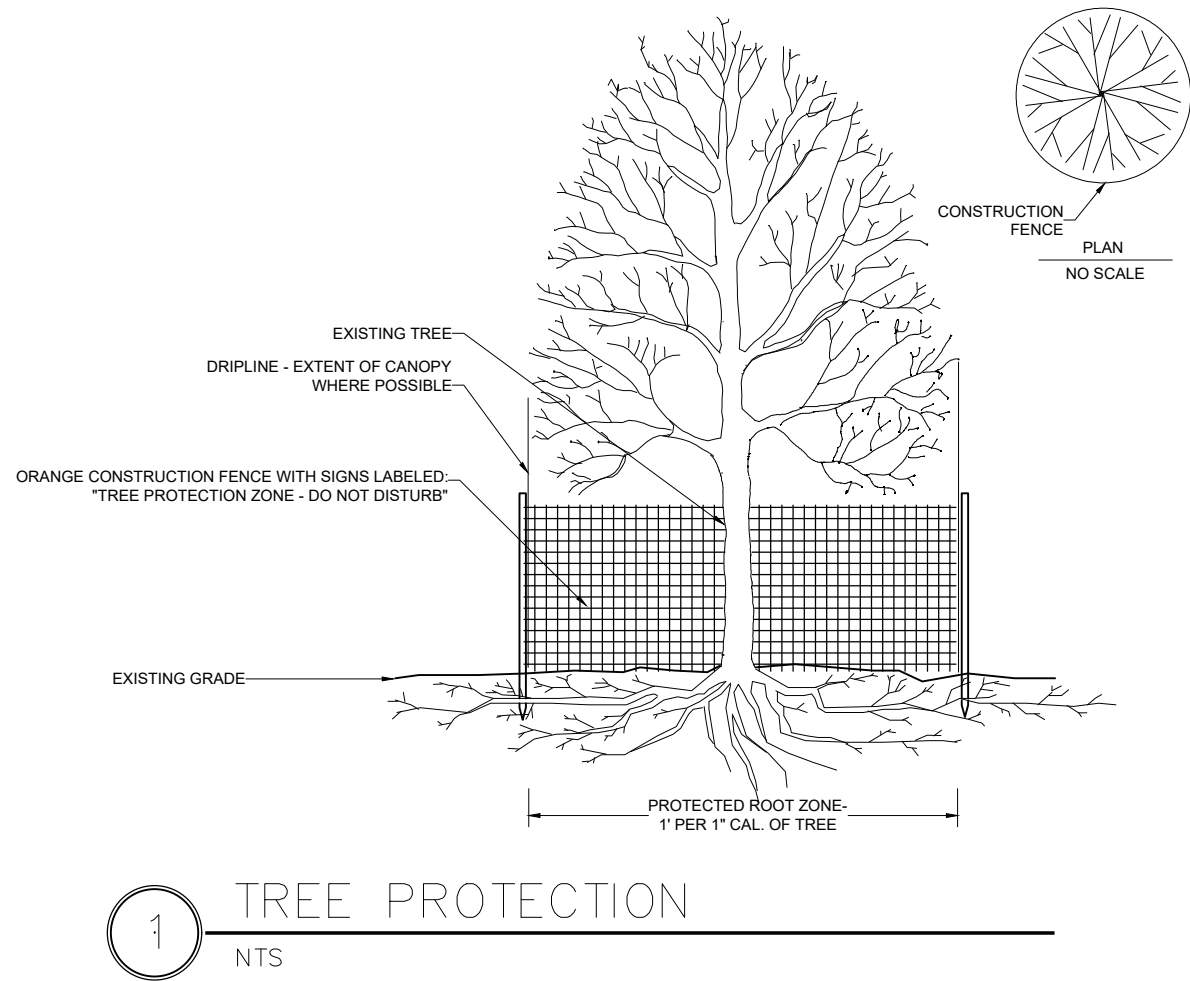
CONSULTANTS



SIGNAL HILL TOWNHOMES
SIGNAL HILL ROAD
HENDERSONVILLE, NC
PREPARED FOR:
FIRST VICTORY INC
TREE CANOPY PROTECTION PLAN

PLAN SET		
#	DATE	DESCRIPTION
1	3.20.25	TREE CANOPY PLAN
2	5.15.25	TREE CANOPY PLAN

SHEET NO.
L-400



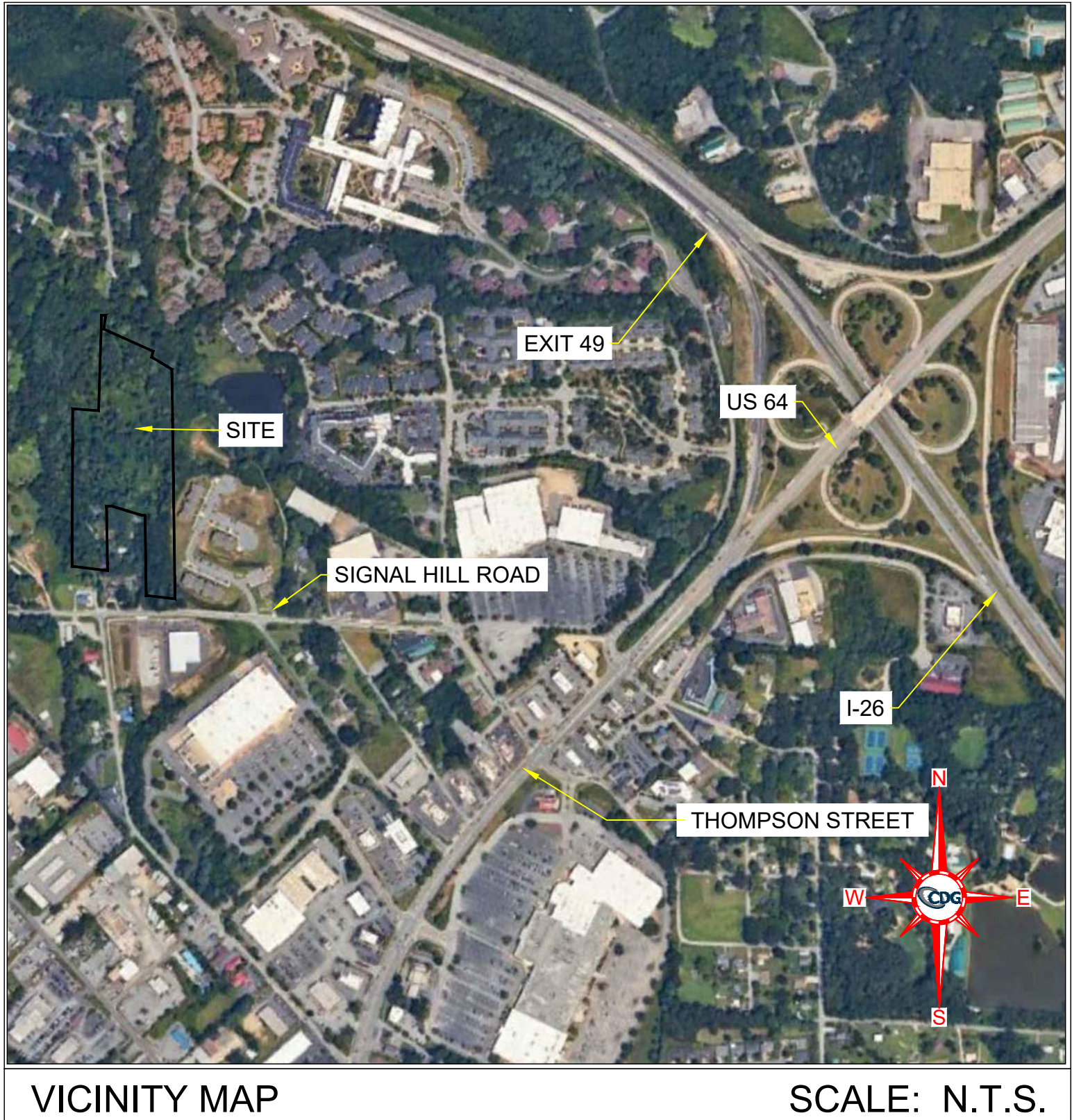
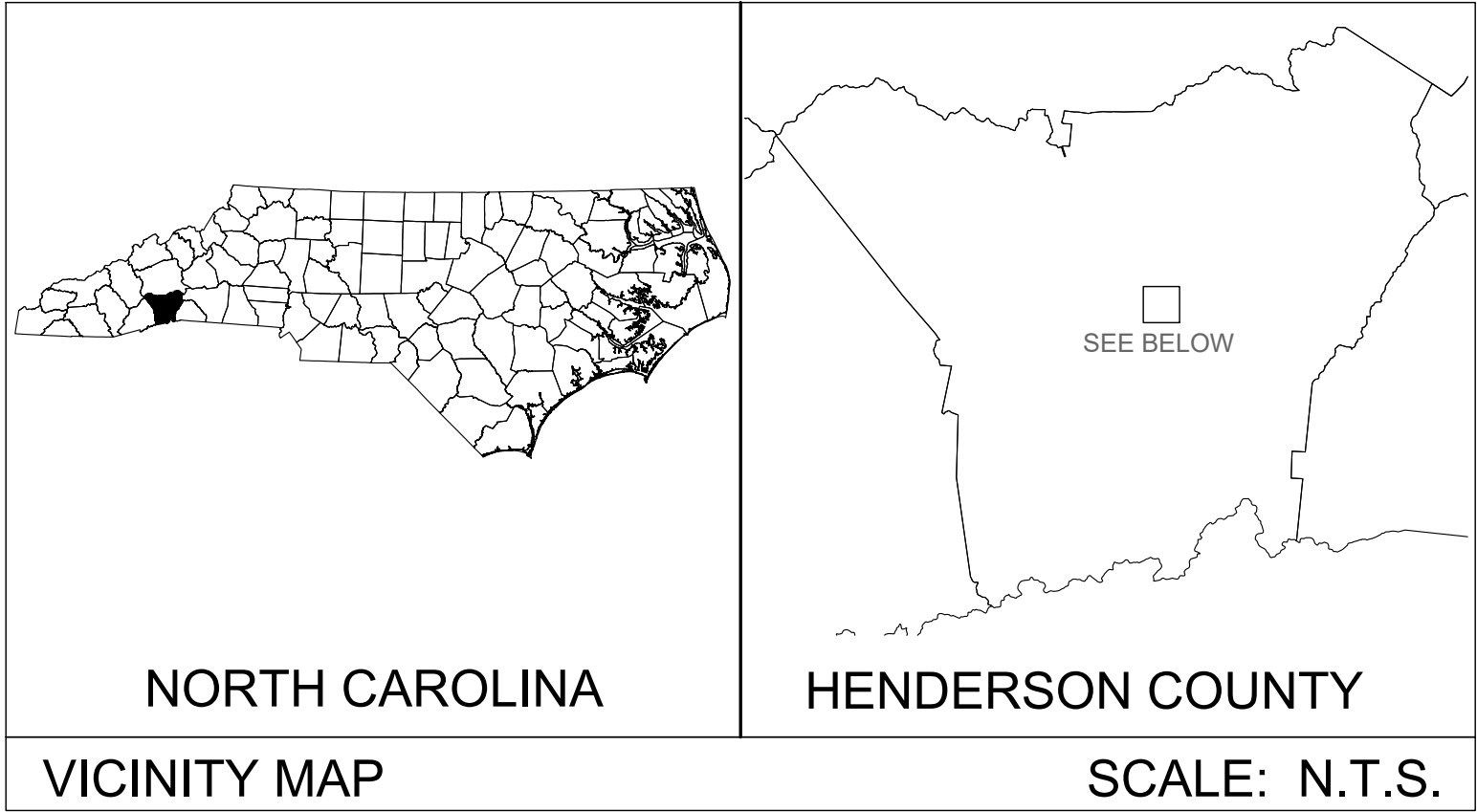
TREE CANOPY PROTECTION DATA			
TOTAL LAND AREA: 553,647.6 SF (12.71 AC)			
EXISTING TREE CANOPY (FROM GIS TREE CANOPY MAP) 96.1 % (531,923 SF)			
TIER ONE CANOPY REQUIRED	20 % (106,385 sf)	TIER ONE CANOPY PROVIDED 20 % (106,385 SF)	
TIER TWO CANOPY REQUIRED	TIER TWO PRESERVED	TIER TWO PLANTED	TIER TWO PAYMENT-IN-LIEU
53,192 sf (10 %)	59,052 sf (11.1%)	0 sf (0 %)	0 sf (0 %)
TIER ONE + TIER TWO TOTAL CANOPY PRESERVED 31.1 % (165,437 SF)			
NOTE: AREAS DESIGNATED AS TREE CANOPY PROTECTION AREAS SHALL REMAIN AS SUCH IN PERPETUITY. TREE REMOVAL SHALL BE PROHIBITED IN THESE AREAS UNLESS OTHERWISE PERMITTED.			



CONSTRUCTION PLANS
FOR
SIGNAL HILL

HENDERSONVILLE, NORTH CAROLINA

Sheet List Table	
Sheet Number	Sheet Title
1	COVER
2	EXISTING CONDITIONS PLAN
3	SITE PLAN
4	ROAD PLAN & PROFILE 0+00 - 11+00
5	ROAD PLAN & PROFILE 11+00 - 21+93
6	EROSION CONTROL PH 1 PLAN
7	EROSION CONTROL PH 2 PLAN
8	ESC DETAILS-1
9	ESC DETAILS-2
10	ESC DETAILS-3
11	NCG01-1
13	GRADING & STORMWATER PLAN
14	SCM DETAIL 1
15	SCM DETAIL 2
16	SCM DETAIL 3
17	ADS DETAILS
18	STORM PLAN & PROFILE - 1
19	STORM PLAN & PROFILE - 2
20	STORM PLAN & PROFILE - 3
21	STORM DETAILS-1
22	STORM DETAILS-2
23	UTILITY PLAN
24	SANITARY SEWER PLAN & PROFILE - 1
25	SANITARY SEWER PLAN & PROFILE - 2
26	SANITARY SEWER DETAILS
27	WATERMAIN PLAN & PROFILE 0+00 - 11+00
28	WATERMAIN PLAN & PROFILE 11+00 - 22+00
29	WATERMAIN DETAILS - 1
30	WATERMAIN DETAILS - 2
31	MISCELLANEOUS DETAILS
32	PRE DEVELOPMENT DRAINAGE AREA MAP
33	POST DEVELOPMENT DRAINAGE AREA MAP



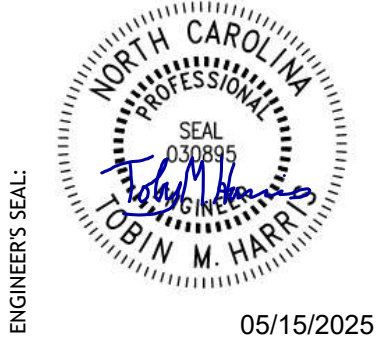
DEVELOPMENT DATA	
SUBDIVISION CONFIGURATION	
ZONING:	R-15 / R-20
PARCEL ID NUMBER:	9579065791 9579068507 9579068308 9579068117 9579067975 9579076259
TYPE OF DEVELOPMENT:	RESIDENTIAL
DISTURBED AREA:	DA
TOTAL SITE AREA (Ac.):	13.01
NO. OF LOTS:	50
GROSS DENSITY (UNITS/Ac.):	
BUILDING SETBACKS:	FRONT: 30' SIDE: 10' REAR: 15'
MINIMUM LOT SIZE:	15,000 / 20,000
MINIMUM LOT WIDTH:	85 / 100
RIGHT-OF-WAY WIDTH	45' MIN.
UTILITY PROVIDERS	
WATER PROVIDER:	
HENDERSONVILLE WATER & SEWER	
10 8th AVENUE EAST	
HENDERSONVILLE, NC 28792	
828.697.3052	
SEWER PROVIDER:	
HENDERSONVILLE WATER & SEWER	
160 6TH AVENUE EAST	
HENDERSONVILLE, NC 28792	
828.697.3052	
TELEPHONE AND CABLE PROVIDER:	
SPECTRUM	
352 AIRPORT ROAD SUITE 70	
ARDEN, NC 28704	
866.874.2389	
POWER PROVIDER:	
DUKE ENERGY	
957 SPARTANBURG HWY	
HENDERSONVILLE, NC 28792	
828-698-2034	

CONTACT INFORMATION	
OWNER/DEVELOPER	
FIRST VICTORY	
542 S. CALDWELL ST.	
BREVARD, NC 28712	
828.884.7934	
SURVEYOR	
COLE SURVEYING AND DESIGN	
549 ELK PARK DRIVE, SUITE 707	
ASHEVILLE, NC 28804	
828.251.7025	
ENGINEER	
THREE NOTCH GROUP	
4301 TAGGART CREEK ROAD	
CHARLOTTE, NC 28208	
(704) 394-6913	
CLIENT CONTACT	
TRAVIS FOWLER	
828.884.7934	

FIRST VICTORY
542 S. CALDWELL ST.
BREVARD, NC 28712
828.884.7934

REVISIONS

REV.	DATE	COMMENTS
1	09/20/2024	ADDRESS CLIENT COMMENTS
2	01/17/2025	ADDRESS CITY & COUNTY COMMENTS
3	02/18/2025	ADDRESS CITY & COUNTY COMMENTS
4	05/15/2025	ADDRESS ZONING COMMENTS



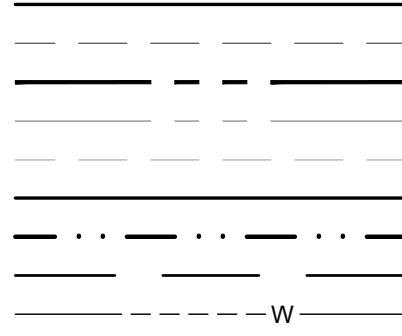
PROJECT #	656609823
DATE:	09/16/2024
DESIGN BY:	DW
DRAWN BY:	DW
APPROVED:	TWH
SCALE:	AS SHOWN

THREE NOTCH GROUP
4301 TAGGART CREEK ROAD
CHARLOTTE, NC 28208
Phone: 704-394-6913
www.3notch.com
License No. C-4973

SIGNAL HILL SIGNAL HILL ROAD HENDERSONVILLE, NORTH CAROLINA	SHEET TITLE: COVER
DRAWING NO: 1	

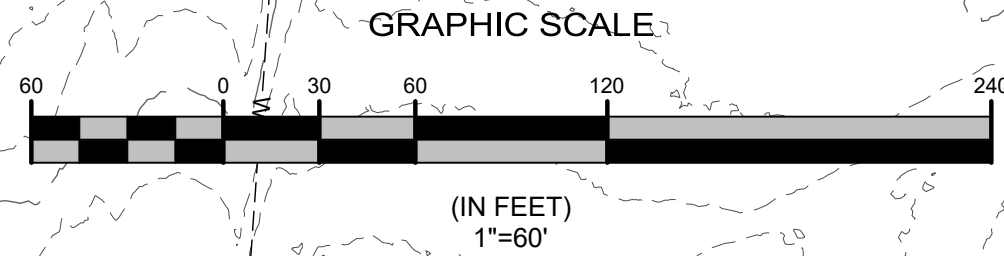
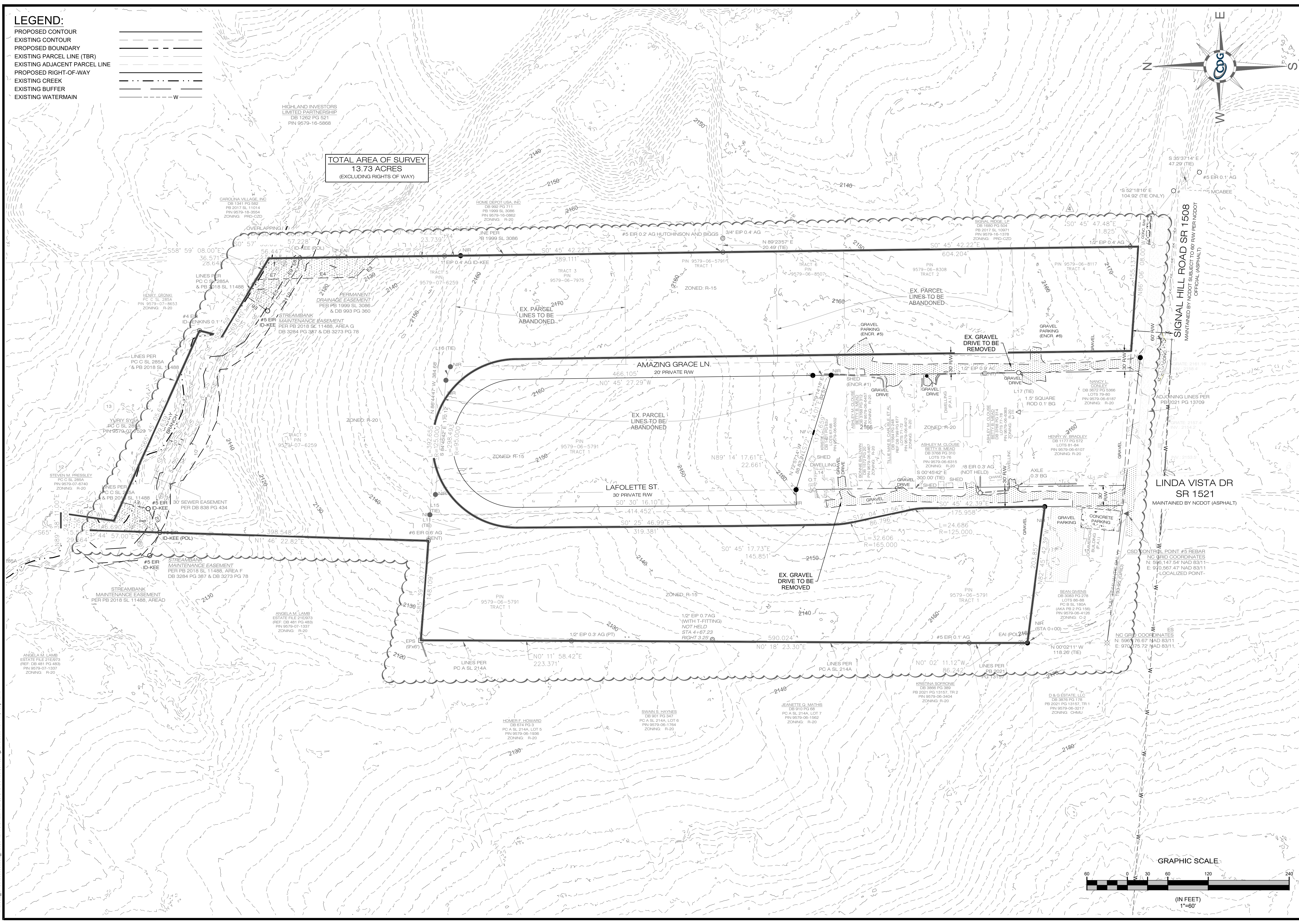
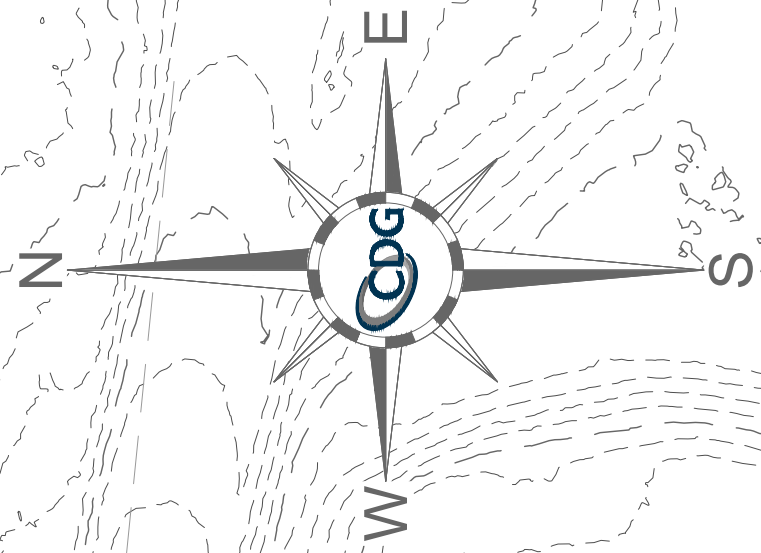


LEGEND:
PROPOSED CONTOUR
EXISTING CONTOUR
PROPOSED BOUNDARY
EXISTING PARCEL LINE (TBR)
EXISTING ADJACENT PARCEL LINE
PROPOSED RIGHT-OF-WAY
EXISTING CREEK
EXISTING BUFFER
EXISTING WATERMAIN



HIGHLAND INVESTORS
LIMITED PARTNERSHIP
DB 1262 PG 521
PIN 9579-16-5868

TOTAL AREA OF SURVEY
13.73 ACRES
(EXCLUDING RIGHTS OF WAY)



REVISIONS

REV.	DATE	COMMENTS
4	05/15/2025	ADDRESS ZONING COMMENTS

ENGINEER'S SEAL:



05/15/2025

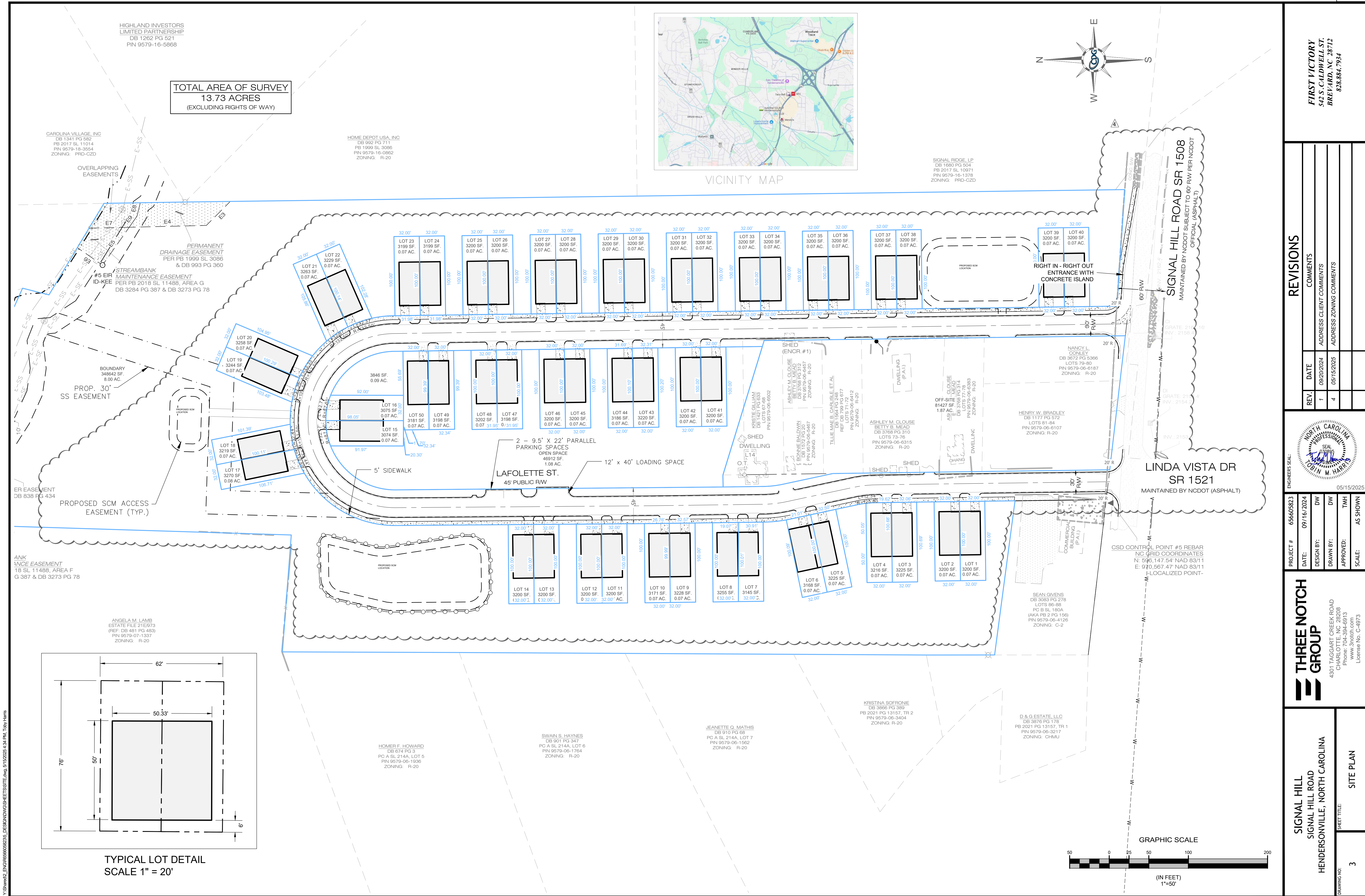
PROJECT #	656405823
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DESIGN BY:	DW
DRAWN BY:	DW
APPROVED:	THH
SCALE:	AS SHOWN

THREE NOTCH GROUP

4301 TAGGART CREEK ROAD
CHARLOTTE, NC 28208
Phone: 336-661-6913
License No. C-4973

SIGNAL HILL
SIGNAL HILL ROAD
HENDERSONVILLE, NORTH CAROLINA

SHEET TITLE:
EXISTING CONDITIONS PLAN
DRAWING NO: 2



REVISIONS

REV.	DATE	COMMENTS
1	09/20/2024	ADDRESS CLIENT COMMENTS
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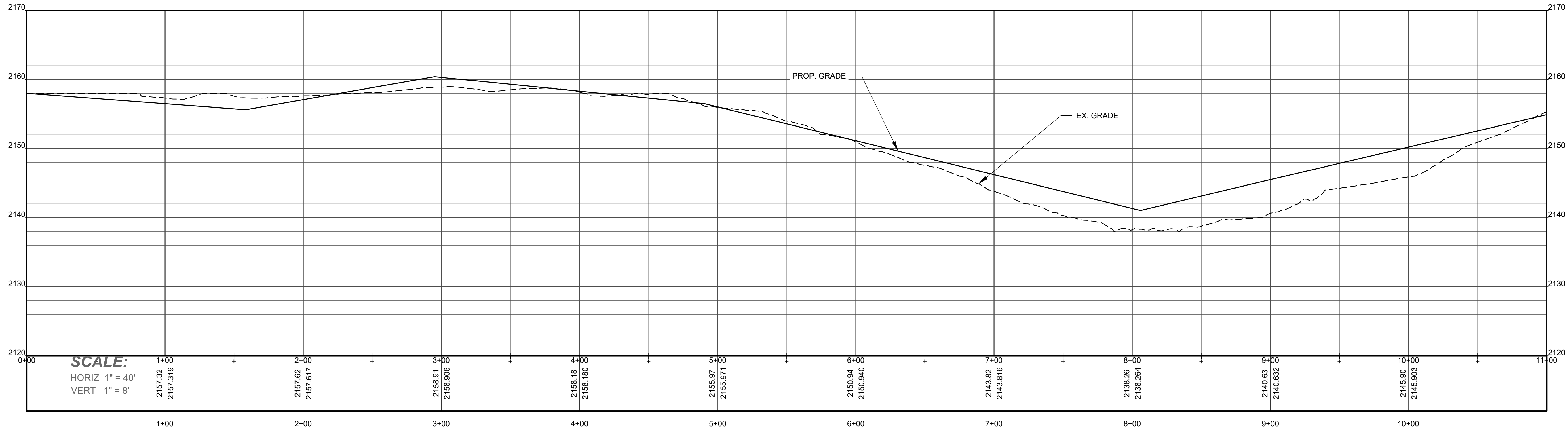
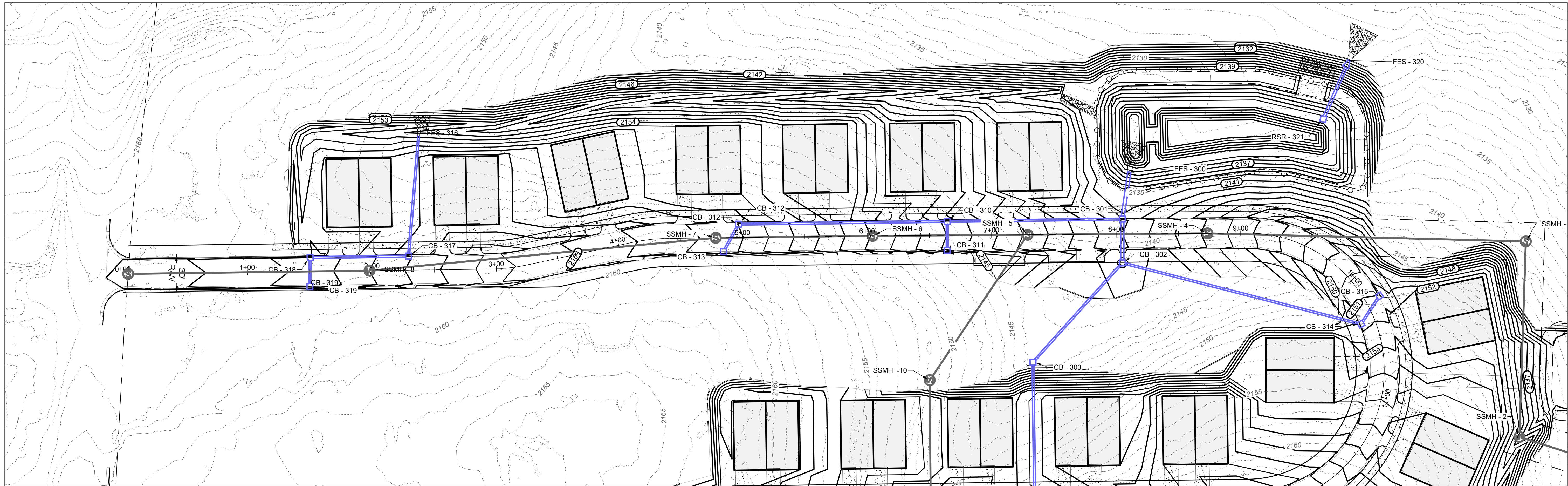


PROJECT #	656605923
DATE:	09/16/2024
DESIGN BY:	DW
DRAWN BY:	DW
APPROVED:	TMH
SCALE:	AS SHOWN

THREE NOTCH GROUP
4301 TAGGART CREEK ROAD
CHARLOTTE, NC 28208
Phone: 704-394-6913
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SIGNAL HILL SIGNAL HILL ROAD HENDERSONVILLE, NORTH CAROLINA	SHEET TITLE: 3
SHEET TITLE: SIGNAL HILL SIGNAL HILL ROAD HENDERSONVILLE, NORTH CAROLINA	

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SCALE:
HORIZ 1" = 40'
VERT 1" = 8'

SIGNAL HILL
SIGNAL HILL ROAD
HENDERSONVILLE, NORTH CAROLINA

BRAWING NO: 4
SHEET TITLE: ROAD PLAN & PROFILE
0+00 - 11+00

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CHARLOTTE, NC 28208
Phone: 704-394-6913
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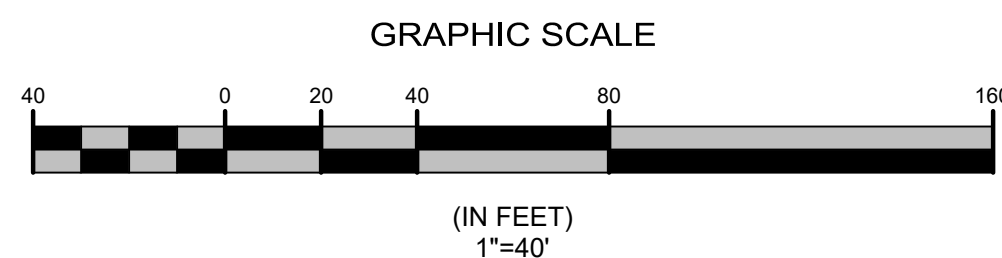
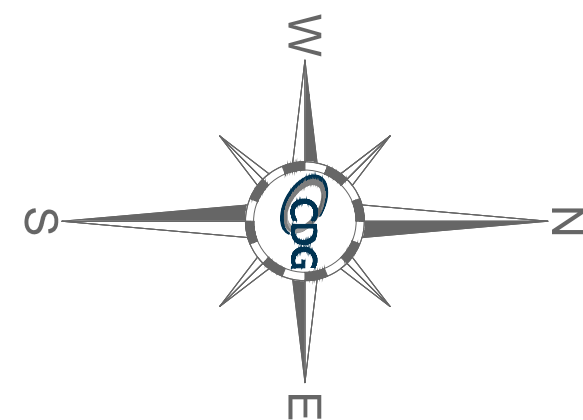
PROJECT # 65605923
DATE: 09/16/2024
DESIGN BY: DW
DRAWN BY: DW
APPROVED: TMH
SCALE: AS SHOWN

ENGINEER'S SEAL:
NORTH CAROLINA
PROFESSIONAL
SEAL
Toby W. Harris
09/16/2024

REVISIONS

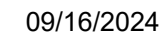
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FIRST VICTORY
542 S. CALDWELL ST.
BREVARD, NC 28712
828.884.7934



REV.	DATE	COMMENTS

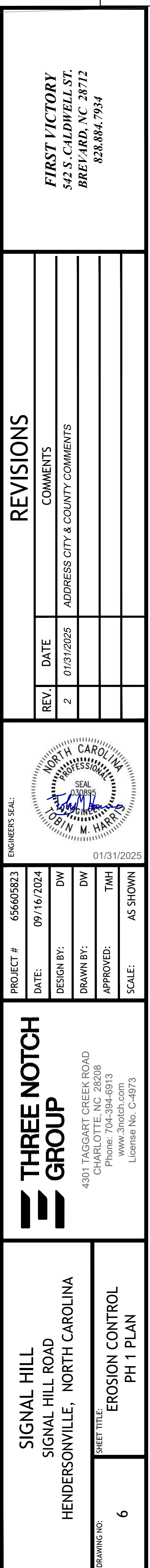
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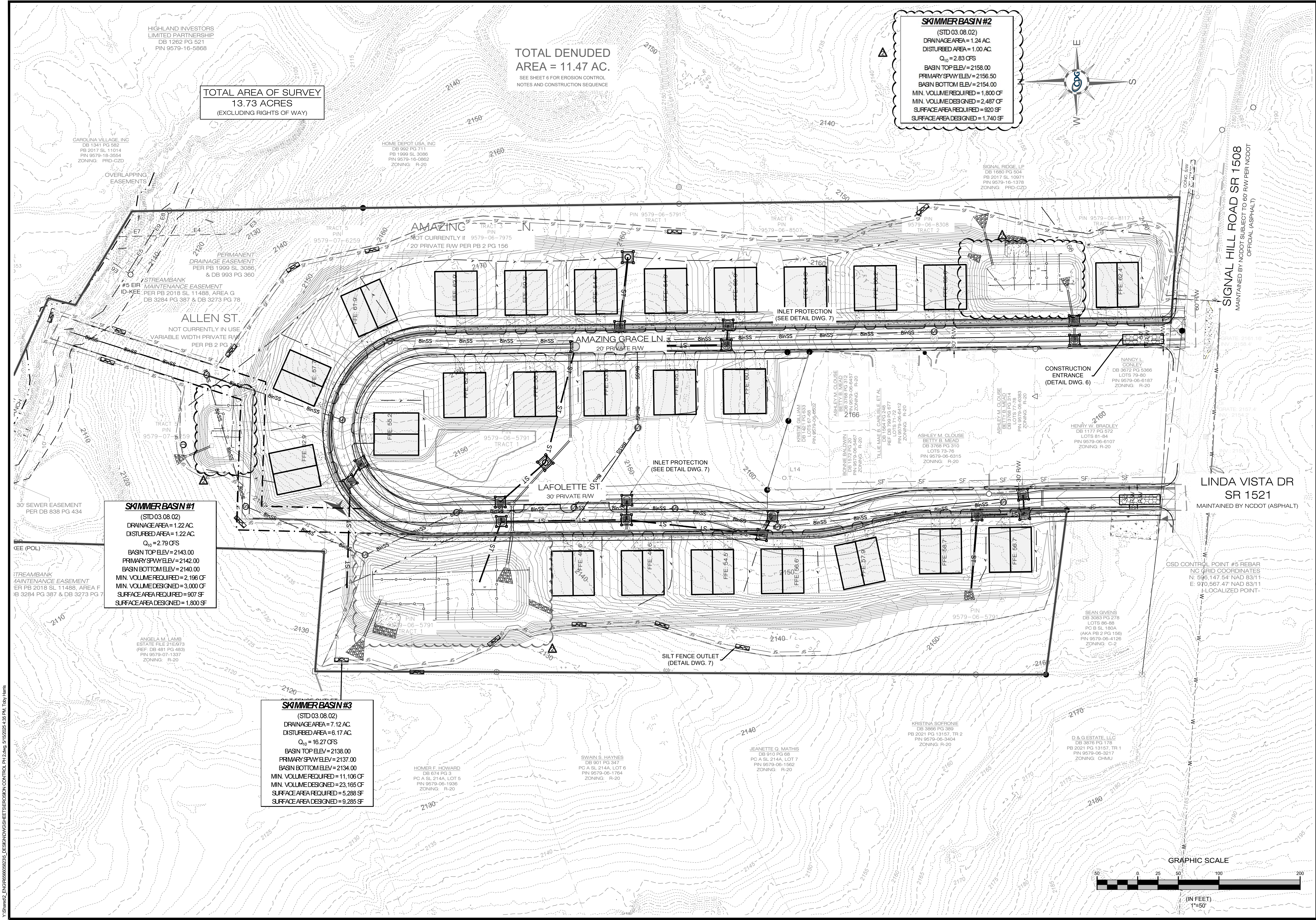


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CHARLOTTE, NC 28208
Phone: 704-394-6913
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DRAWING NO:	5	SHEET TITLE:	ROAD PLAN & PROFILE 11+00 - 21+93
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2	01/31/2025	ADDRESS CITY & COUNTY COMMENTS	

ENGINEER'S SEAL	

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THREE NOTCH GROUP	
4301 TAGGART CREEK ROAD CHARLOTTE, NC 28208 Phone: 336.468.0915 License No. C-4973	

SIGNAL HILL	EROSION CONTROL
SIGNAL HILL ROAD	PH 2 PLAN
HENDERSONVILLE, NORTH CAROLINA	

DRAWING NO:	7
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CONSTRUCTION SEQUENCE:

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT EROSION IS MINIMIZED AND THAT COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, REGULATIONS, AND ORDINANCES IS MAINTAINED THROUGHOUT EXECUTION OF THIS PROJECT.

- OBTAIN A LAND DISTURBING PERMIT. SCHEDULE A PRE-CONSTRUCTION MEETING.
- CLEAR FOR AND INSTALL GRAVEL CONSTRUCTION ENTRANCES. CLEAR FOR AND INSTALL ONSITE PERIMETER SILT FENCE AS SHOWN ON THE APPROVED PLANS. ONCE IN PLACE, CONTRACTOR MAY THEN CLEAR FOR AND INSTALL SEDIMENT BASINS, FOLLOWED BY ANY TEMPORARY DIVERSIONS AS SHOWN ON THE APPROVED PLANS. PERMANENT BASIN / POND OUTFALL STRUCTURES AND PIPING WILL REQUIRE INSTALLATION DURING PHASE 1 EROSION CONTROL. ALL SEDIMENT BASINS AND TRAPS MUST REMAIN IN PLACE AND FUNCTIONAL UNTIL ALL UPGRADIENT AREAS ARE STABILIZED.
- ONCE EROSION CONTROL MEASURES HAVE BEEN APPROVED BY INSPECTOR, COMPLETE DEMOLITION OF ALL FEATURES ON SITE NOT ALREADY NECESSARY TO BE REMOVED FOR BASIN INSTALLATION.
- EXCAVATION MAY BEGIN AT THIS TIME. ANY FILL OPERATIONS MUST BEGIN AT THE REAR / UPSTREAM SIDE OF THE SITE AND WORK THEIR WAY FORWARD / DOWNSTREAM. THIS WILL ENSURE POSITIVE DRAINAGE OF THE SITE TOWARDS THE SEDIMENT BASINS THROUGHOUT THE MASS GRADING PORTION OF CONSTRUCTION. CONTRACTOR TO ENSURE NO SUMPS ARE CREATED IN GRADED AREAS UNTIL STORM INLETS CAN BE PROVIDED FOR THOSE SUMPS.
- BEGIN INSTALLATION OF STORM DRAIN, SEWER AND WATER UTILITIES. STORM DRAIN INSTALLATION MUST START AT MOST DOWN STREAM STRUCTURE AND MOVE UPSTREAM. AS INLETS ARE INSTALLED, PROVIDE INLET PROTECTION IMMEDIATELY. AFTER INLETS ARE INSTALLED, CURBING MAY BE INSTALLED WHERE NECESSARY AND WHEN EVER A TEMPORARY DITCH IS TO BE FILLED IN / RELOCATED, CONTRACTOR MUST CONTACT AN EROSION CONTROL INSPECTOR BEFORE AND AFTER THE RELOCATION HAS TAKEN PLACE WITH 48 HOURS NOTICE BEING GIVEN PRIOR TO RELOCATION. AS AREAS ARE BROUGHT UP TO GRADE, TEMPORARILY OR PERMANENTLY STABILIZE PER TIME FRAMES LISTED ON THIS SHEET.
NOTE: ALL SEDIMENT BASINS AND TRAPS MUST REMAIN IN PLACE AND FUNCTIONAL UNTIL ALL UPGRADIENT AREAS HAVE BEEN STABILIZED AND THE STORM DRAIN SYSTEM IS IN PLACE. DIVERTING DRAINAGE FROM THESE TEMPORARY TRAPS / BASINS TO THE PERMANENT BASINS. A NC DEMLR REPRESENTATIVE MUST APPROVE THE REMOVAL OF ANY SEDIMENT BASIN OR TRAP PRIOR TO IT TAKING PLACE.
- PROVIDE PAVEMENT IN ROADWAY AND PARKING AREAS IN ORDER TO PERMANENTLY STABILIZE THESE AREAS. IF ALL BUILDING PERMITS HAVE BEEN ACQUIRED, CONSTRUCTION MAY ALSO BEGIN ON BUILDINGS AND RETAINING WALLS AT THIS TIME.
NOTE: THE CONTRACTOR SHALL ENSURE THAT THE EROSION CONTROL DEVICES REMAIN UNDISTURBED DURING CONSTRUCTION OF THE BUILDING PADS AND ASSOCIATED PARKING/DRIVE AREAS ADJACENT TO THESE DEVICES UNTIL THE CONTRIBUTING UPSTREAM AREAS HAVE BEEN STABILIZED AND APPROVED.
- ONCE SITE IS APPROVED BY INSPECTOR, SILT FENCING AND CONSTRUCTION ENTRANCE MAY BE REMOVED. SEDIMENT BASINS MAY BE CONVERTED TO THEIR FINAL WET POND CONDITIONS. PERMANENTLY STABILIZE ANY REMAINING AREAS WITH SOD, SEED AND MULCH, OR PAVING AS NECESSARY.

DATE:

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Construction:

1. Clear the entrance and exit area of all vegetation, roots, and other objectionable material and properly grade.
2. Place the gravel pad in a condition to prevent mud or sediment from leaving the construction site. This may require periodic topdressing with 2-inch stone.
3. Provide drainage to carry water to a sediment trap or other suitable outlet.
4. Use geotextile fabrics in order to improve stability of the foundation in locations subject to seepage or high water table.

Maintenance:

1. Inspect all measures at least weekly and after each rainfall of 1.0 inch or greater.
2. Make any required repairs immediately.
3. Maintain the gravel pad in a condition to prevent mud or sediment from leaving the construction site. This may require periodic topdressing with 2-inch stone.
4. Sediment on roadways is to be removed immediately by broom and shovel, either by manual or mechanical means, and not to be washed off where it has the potential to enter a stream, drainage way or storm drain system.

Effective Date: 9/1/2023
In accordance with the 2013
Design Manual Updates

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Effective Date: 9/1/2023
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TEMPORARY SEEDING RECOMMENDATIONS FOR LATE WINTER AND EARLY SPRING

Seeding Mixture Species	Rate (lb/acre)
Rye (grain)	120
Annual lespedeza (Kobe in Piedmont and Coastal Plain, Korean in Mountains)	50

Omit annual lespedeza when duration of temporary cover is not to extend beyond June.

Seeding Dates
Mountains—Above 2500 feet: Feb. 15 - May 15
Below 2500 feet: Feb. 1 - May 1
Piedmont—Jan. 1 - May 1
Coastal Plain—Dec. 1 - Apr. 15

Mulch
Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

Maintenance
Rebroadcast if growth is not fully adequate. Reseed, reseed, and mulch immediately following erosion or other damage.

TEMPORARY SEEDING RECOMMENDATIONS FOR SUMMER

Seeding Mixture Species	Rate (lb/acre)
German millet	40

In the Piedmont and Mountains, a small-stemmed Sudangrass may be substituted at a rate of 50 lb/acre.

Seeding Dates
Mountains—Aug. 15 - Dec. 15
Coastal Plain and Piedmont—Aug. 15 - Dec. 31

Mulch
Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

Maintenance
Repair and reseed damaged areas immediately. Topdress with 50 lb/acre of nitrogen in March. If it is necessary to extend temporary cover beyond June 15, overseed with 50 lb/acre Kobe (Piedmont and Coastal Plain) or Korean (Mountains) lespedeza in late February or early March.

TEMPORARY SEEDING RECOMMENDATIONS FOR FALL

Seeding Mixture Species	Rate (lb/acre)
Rye (grain)	120

Seeding Dates
Mountains—Aug. 15 - Dec. 15
Coastal Plain and Piedmont—Aug. 15 - Dec. 31

Mulch
Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

Maintenance
Repair and reseed damaged areas immediately. Topdress with 50 lb/acre of nitrogen in March. If it is necessary to extend temporary cover beyond June 15, overseed with 50 lb/acre Kobe (Piedmont and Coastal Plain) or Korean (Mountains) lespedeza in late February or early March.

SEED BED PREPARATION:
LIMING- Apply lime according to soil test recommendations. If the pH (acidity) of the soil is not known, an application of ground agricultural limestone at the rate of 1-1½ tons/acre on coarse-textured soils and 2-3 tons/acre on fine-textured soils is usually sufficient. Apply limestone uniformly and incorporate into the top 4-6 inches of soil. Soils with a pH of 6 or higher need not be limed.
FERTILIZER- Base application rates on soil tests. When these are not possible, apply a 10-10-10 grade fertilizer at 700 - 1,000 lb/acre. Both fertilizer and lime should be incorporated into the top 4-6 inches of soil. If a hydraulic seeder is used, do not mix seed and fertilizer more than 30 minutes before application.
SURFACE ROUGHENING- If recent tillage operations have resulted in a loose surface additional roughening may not be required, except to break up large clods. If rainfall causes the surface to become sealed or crusted, loosen it just prior to seeding by raking, harrowing, or other suitable methods for fine grading. The finished grade shall be a smooth even soil surface with a loose uniformly fine texture. All ridges and depressions shall be removed and filled to provide the approved surface drainage. Planting is to be done immediately after finished grades are obtained and seedbed preparation is completed.

Effective Date: 9/1/2023
In accordance with the 2013
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PAGE:

PIPE OUTLET TO FLAT AREA NO WELL-DEFINED CHANNEL

Effective Date: 9/1/2023
In accordance with the 2013
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DATE:

PAGE:

NON-INVASIVE PERMANENT SEEDING RECOMMENDATIONS FOR LATE WINTER AND EARLY SPRING

Seeding Mixture Species	Rate
Centipede	5 lbs/acre
Indian Woodoats	1.5-2.5 lbs/acre*
Virginia Wild Rye	4-6 lbs/acre

*Depending upon mix with other species. See table 6.11.d from Chapter 6 of the NC Erosion and Sediment Control Planning and Design Manual.

Seeding Dates
Coastal or Eastern Piedmont for Centipede- Sept. 1 - May 1
Coastal and Piedmont for Indian Woodoats and Virginia Wild Rye- Feb 15 - April 1
Mountains for Indian Woodoats and Virginia Wild Rye- March 1 - May 15

Maintenance:
Significant maintenance may be required to obtain desired cover.

NON-INVASIVE PERMANENT SEEDING RECOMMENDATIONS FOR SUMMER

Seeding Mixture Species	Rate
Hard Fescue	15 lbs/acre
Switchgrass	2.5-3.5 lbs/acre*
Indian Grass	5-7 lbs/acre*
Big Bluestem	5-7 lbs/acre*
Indian Woodoats	1.5-2.5 lbs/acre*
Virginia Wild Rye	4-6 lbs/acre*

*Depending upon mix with other species. See table 6.11.d from Chapter 6 of the NC Erosion and Sediment Control Planning and Design Manual.

Seeding Dates
Mountains - Hard Fescue- Aug 1 - June 1
Mountains- Switchgrass, Indian Grass, Big Bluestem- Dec 1 - April 15
Piedmont and Coastal- Switchgrass, Indian Grass, Big Bluestem- Dec 1 - April 1
Coastal- Indian Woodoats and Virginia Wild Rye- Sept 1 - Nov 1

Maintenance:
Indian Woodoats and Virginia Wild Rye are both sun and shade tolerant.
Hard Fescue is not recommended for slopes > 5%. Prefers shade.

SEED BED PREPARATION:

LIMING- Apply lime according to soil test recommendations. If the pH (acidity) of the soil is not known, an application of ground agricultural limestone at the rate of 1 to 1½ tons/acre on coarse-textured soils and 2-3 tons/acre on fine-textured soils is usually sufficient. Apply limestone uniformly and incorporate into the top 4-6 inches of soil. Soils with a pH of 6 or higher need not be limed.
FERTILIZER- Base application rates on soil tests. When these are not possible, apply a 10-10-10 grade fertilizer at 700-1,000 lb/acre. Both fertilizer and lime should be incorporated into the top 4-6 inches of soil. If a hydraulic seeder is used, do not mix seed and fertilizer more than 30 minutes before application.
SURFACE ROUGHENING- If recent tillage operations have resulted in a loose surface additional roughening may not be required, except to break up large clods. If rainfall causes the surface to become sealed or crusted, loosen it just prior to seeding by raking, harrowing, or other suitable methods for fine grading. The finished grade shall be a smooth even soil surface with a loose uniform fine texture. All ridges and depressions shall be removed and filled to provide the approved surface drainage. Planting is to be done immediately after finished grades are obtained and seedbed preparation is completed.

NOTES:

1. Permanent seeding, sodding or other means of stabilization are required when all construction work is completed according to the NPDES timeframes table.
2. A North Carolina Department of Agriculture soils test (or equal) is highly recommended to be obtained for all areas to be seeded, sprigged, sodded or planted.
3. Use a seeding mix that will produce fastgrowing nurse crops and includes non-invasive species that will eventually provide a permanent groundcover. Soil blankets may be used in lieu of nurse crops.
4. Mat, tack or crimp mulch, as needed to stabilize seeded areas until root establishment. Mulch must cover at least 80% of the soil surface.
5. Ground cover shall be maintained until permanent vegetation is established and stable against accelerated erosion.

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USE OF DIVERSIONS TO PROTECT CUT OR FILL SLOPES, PROTECT STRUCTURES OR OFF-SITE PROPERTY, OR BREAK LONG SLOPES.

Effective Date: 9/1/2023
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Mulching Materials and Application Rates

Material	Rate Per Acre	Quality	Notes
Straw	1-2 tons	Dry, unchopped, unwashed, avoid weeds.	Should come from wheat or oats; spread by hand or machine; must be tacked down.
Wood Chips	5-6 tons	Air dry	Treat with 12 lbs nitrogen. Apply with mulch blower, chip handle, or by hand. Not for use in fine turf.
Wood Fiber	0.5-1 tons	Also referred to as wood cellulose. May be shredded in 4-8 inch lengths.	Apply with mulch blower or by hand. Not for use in fine turf.
Bark	35 cubic yards	Air dry, shredded or hammer-milled, or chips.	Apply with mulch blower, chip handle, or by hand. Do not use asphalt tack.
Com Stalks	4-6 tons	Cut or shredded in 4-8 inch lengths.	Apply with mulch blower or by hand. Not for use in fine turf.
Series Lespedeza seed-bearing stems	1-3 tons	Green or dry; should contain mature seed.	Apply with mulch blower or by hand. Not for use in fine turf.
Nets and Mats*			
Jute net	Cover area	Heavy, uniform, woven of single jute yarn.	Withstands waterflow. Best when used with organic mulch.
Fiberglass net	Cover area	Withstands waterflow. Best when used with organic mulch.	Withstands waterflow. Best when used with organic mulch.
Excelsior (wood fiber net)	Cover area	Continuous fibers of drawn glass bound together with a non-toxic agent.	Withstands waterflow.
Chemical Stabilizers**			
Aquatan Aerospray Curaclad AK Petrowest SB Terra Tack Crust 500 Genasque 743 M-145		Follow manufacturer's specifications	Not beneficial to plant growth

*Refer to Practice No. 6.30, Grass Line Channels in the NC DEQ E&SC Planning and Design Manual.
**Use of trade names does not imply endorsement of product.

Effective Date: 9/1/2023
In accordance with the 2013
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REVISIONS

FIRST VICTORY
542 S. CALDWELL ST.
BREYFORD, NC 28712
828.884.7934

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2	01/31/2025	ADDRESS CITY & COUNTY COMMENTS



ENGINEER'S SEAL:

PROJECT #	656405823	DATE:	09/16/2024	DESIGN BY:	DW	DRAWN BY:	DW	APPROVED:	THH	SCALE:	AS SHOWN
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THREE NOTCH GROUP

4301 TAGGART CREEK ROAD
CHARLOTTE, NC 28208
Phone: 336.464-6915
Fax: 336.464-6913
License No. C-4973

SIGNAL HILL ROAD

SIGNAL HILL ROAD
HENDERSONVILLE, NORTH CAROLINA

SHEET TITLE: ESC DETAILS-1

DRAWING NO:

8

The diagram consists of two cross-sectional views of diversion dikes.

TEMPORARY EARTHEN DIVERSION DIKE:

- The dike has a top width of 2' MIN.
- The crest is composed of COMPACTED SOIL.
- The side slopes are 2:1 MAX.
- The height from the base to the crest is 18" MIN.
- The base width is 6' TYPICAL.
- An arrow labeled "FLOW" indicates water flowing over the right side of the dike.

TEMPORARY GRAVEL DIVERSION DIKE FOR VEHICLE CROSSING:

- The dike has a top width of 2' MIN.
- The crest is composed of COURSE AGGREGATE.
- The side slopes are 3:1 MAX.
- The height from the base to the crest is 18" MIN.
- The base width is 9' TYPICAL.
- An arrow labeled "FLOW" indicates water flowing over the right side of the dike.

NOTES:

- Remove and properly dispose of all tree, brush, stumps, and other objectionable material.
- Temporary diversions are to only be used for drainage areas of 5 acres or less.
- Ridges will have a 2 feet minimum top width, 2:1 or flatter side slopes and a minimum of 0.3 feet freeboard.
- Channels will have a parabolic, trapezoidal, or V shape with side slopes of 2:1 or flatter.
- Any point where vehicles will be crossing should have 3:1 or flatter side slopes.
- Ensure the top of the dike is not lower at any point than the design elevation plus the specified settlement.
- Provide sufficient room around diversions to permit machine re-grading and deconstruction.
- Vegetate the ridge immediately after construction unless it will remain in place less than 30 working days.

MAINTENANCE:

- Inspect all measures at least weekly and after every rainfall of 1.0 inch or greater.
- Make all repairs immediately.
- Immediately remove any sediment from the flow area and repair the diversion ridge.
- Check outlets and make timely repairs as needed.

	TEMPORARY DIVERSIONS		Effective Date: 9/1/2023 In accordance with the 2013 Update Manual Updates
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<div> <div>REVIEWS</div> <div>COMMENTS</div> </div>	

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L = THE DISTANCE SUCH THAT POINTS A AND B ARE OF EQUAL ELEVATION

CROSS-SECTION VIEW

PLAN VIEW

NOTES:

1. Place stone on a filter fabric foundation.
2. The center stone section must be at least 9 inches below natural ground level where the dam abuts the channel banks.
3. Extend stone at least 1.5 feet beyond the ditch bank to keep water from cutting around the ends of the check dam.
4. Set spacing between dams to ensure that the elevation at the top of the lower dam is the same as the toe elevation of the upper dam.
5. Protect the channel after the lowest check dam from heavy flow that could cause erosion.
6. Make sure the channel reach above the most upstream dam is stable.
7. Ensure that other areas of the channel, such as culvert entrances below the check dams, are not subject to damage or blockage from displaced stones.
8. Riprap and filter fabric should be keyed in to prevent under cutting.
9. Ends of check dams may need to be turned up to prevent bypass and better conform to site conditions.
10. Do not place check dams in intermittent or perennial streams.


MAINTENANCE:

1. Inspect check dams and channels at least weekly and after each rainfall of 1.0 inch or greater. Clean out sediment, straw, limbs or other debris that could clog the channel when needed.
2. Anticipate submergence and deposition above the check dam and erosion from high flows around the edges of the dam. Correct all damage immediately. If significant erosion occurs between dams, additional measures can be taken such as, installing a protective riprap liner in that portion of the channel.
3. Remove sediment accumulated behind the dams as needed to prevent damage to channel vegetation, allow the channel to drain through the stone check dam, and prevent large flows from carrying sediment over the dam. Add stones to the dams as needed to maintain design height and cross section.

CHECK DAM

Effective Date: 9/1/2023
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PROJECT #	656605823	ENGINEERS SEAL	
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DRAWN BY:	DW		
APPROVED:	TWH		
SCALE:	AS SHOWN		



09/16/2024

PLAN VIEW

Labels: #57 OR #5 WASHED STONE, FLOW, SILT FENCE FABRIC TO OVERLAP HARDWARE CLOTH BY 12 INCHES, STEEL FENCE POST, WIRE FENCE, HARDWARE CLOTH ON WIRE FENCE, SILT FENCE FABRIC ON WIRE FENCE, STEEL FENCE POST.

NOTE:
USE SILT FENCE OUTLETS ONLY WHEN DRAINAGE AREA DOES NOT EXCEED 1/4 ACRE AND THERE IS A LOW AREA, USE AS A REPAIR OF SILT FENCE FAILURES.

SIDE VIEW

Labels: #57 OR #5 WASHED STONE, FLOW DIRECTION, GRADE, 18", 6".

FRONT VIEW


Labels: HARDWARE CLOTH, STEEL FENCE POST SET MAXIMUM 2'-0" APART, WIRE FENCE, SILT FENCE FABRIC, OVERLAP 12 TO 18 INCHES, GRADE, OVERLAP 12 TO 18 INCHES.

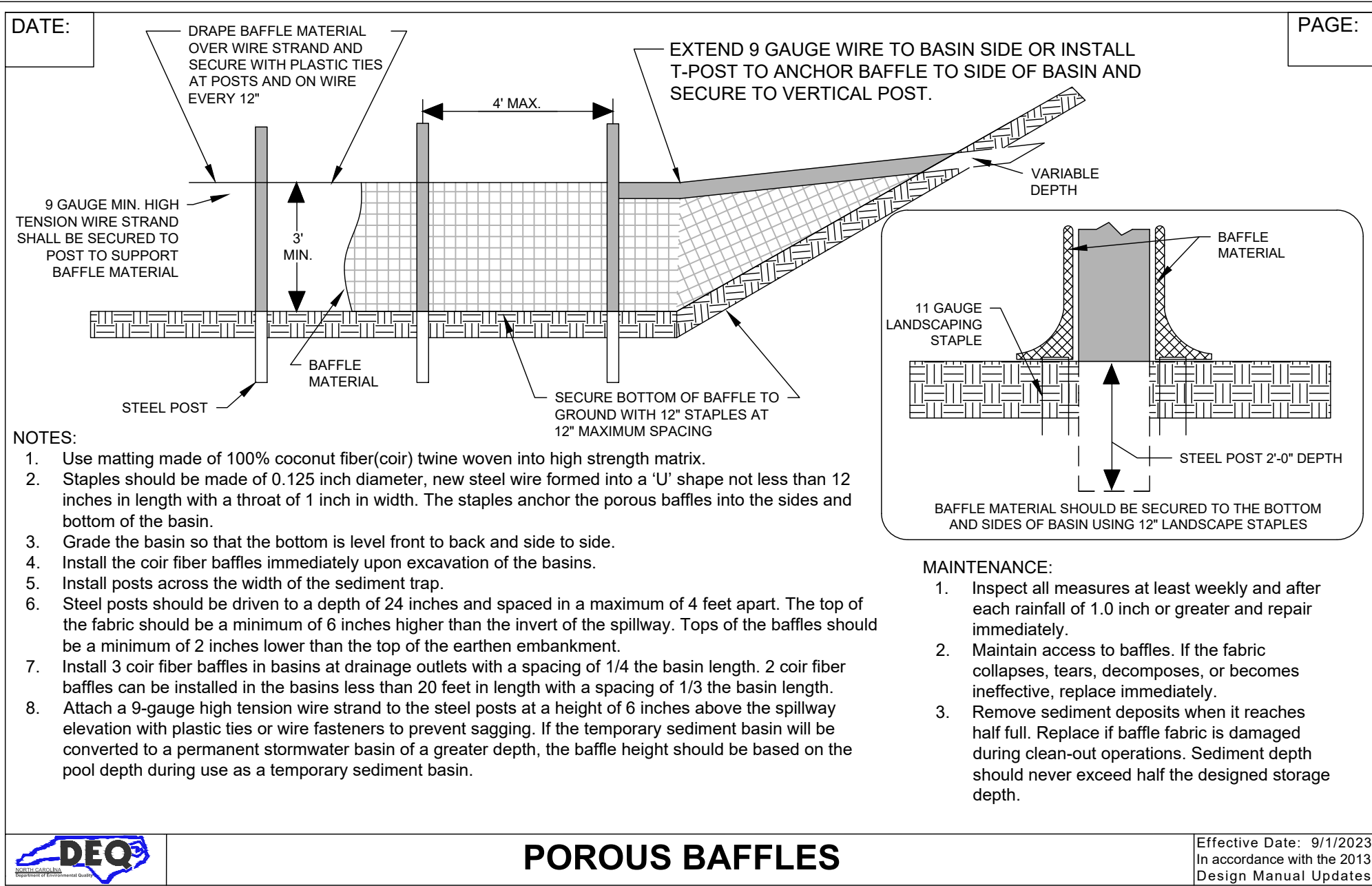
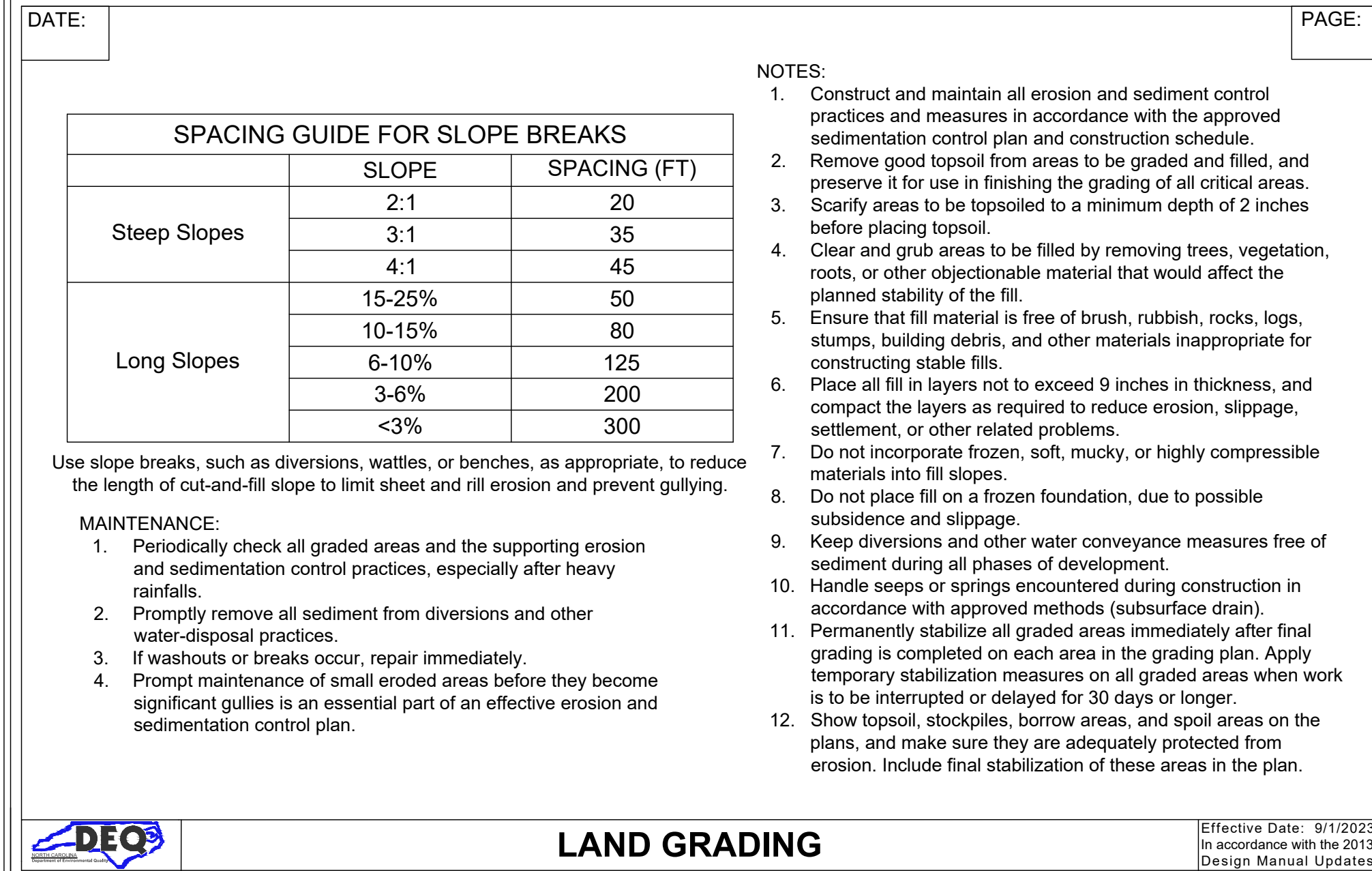
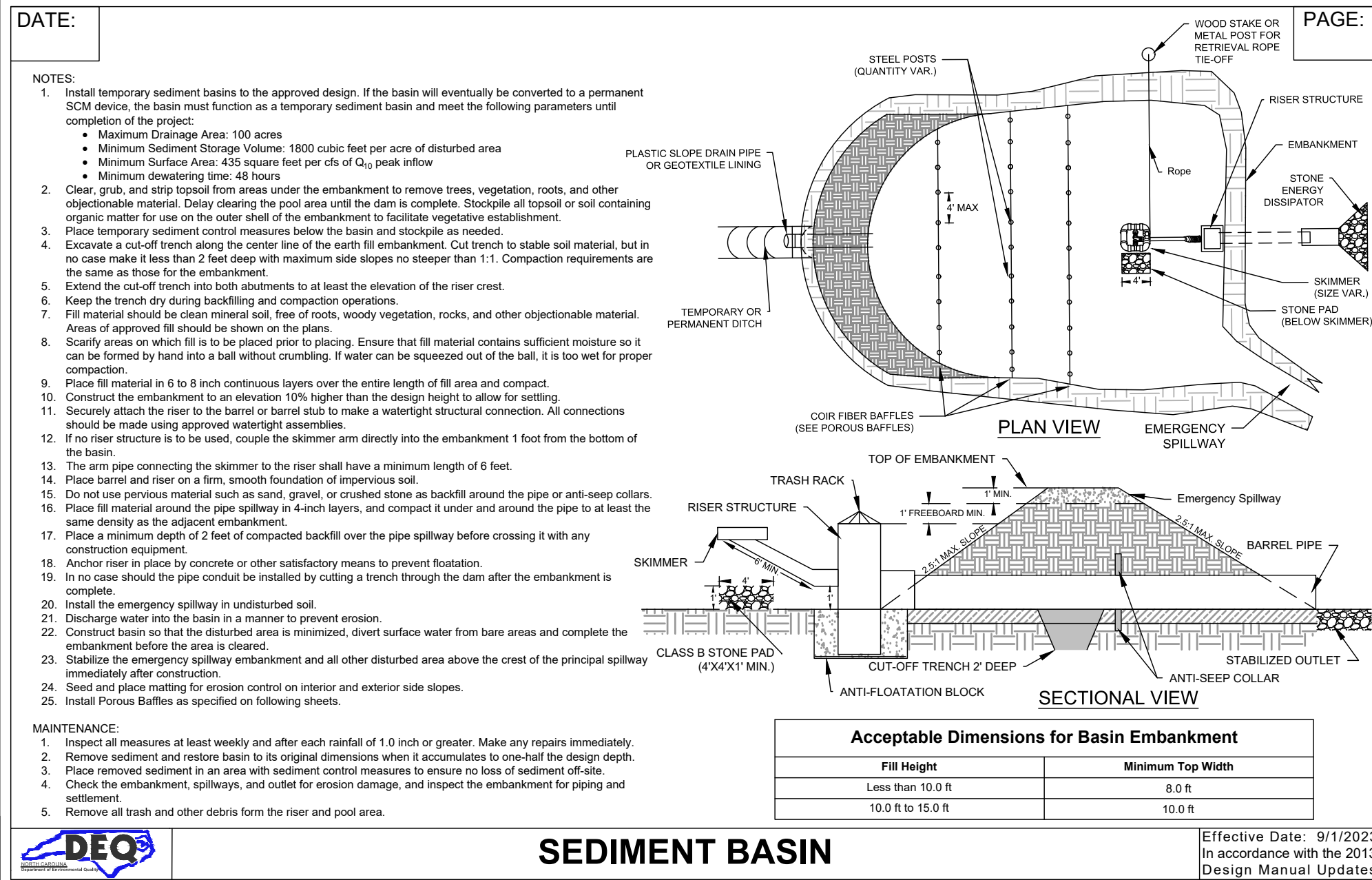
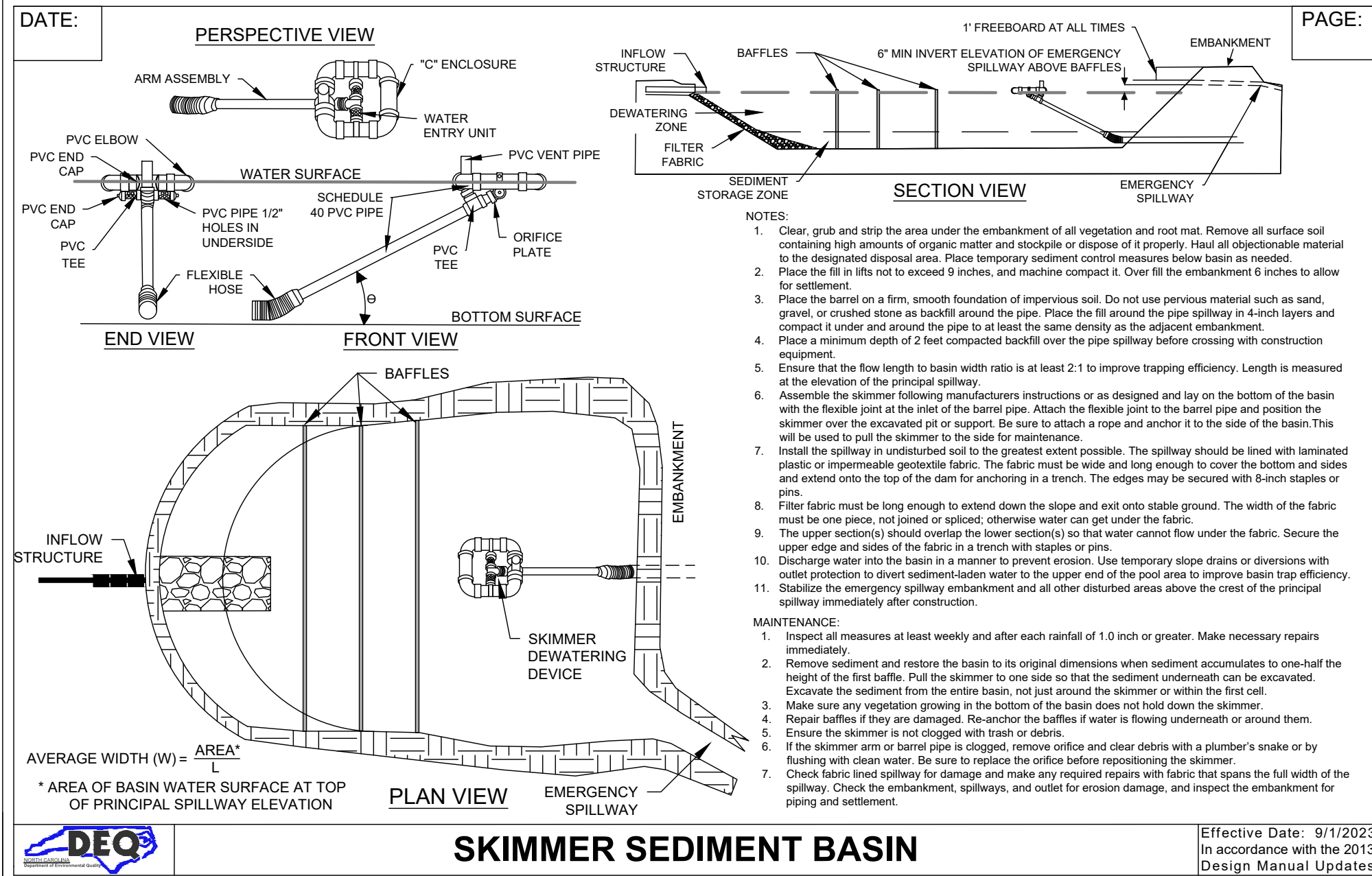
NOTE:
BURY WIRE FENCE, HARDWARE CLOTH, AND SILT FENCE FABRIC 8 INCHES INTO THE TRENCH.

MAINTENANCE:

1. INSPECT WEEKLY AND AFTER EACH RAINFALL EVENT.
2. CLEAR THE WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS.
3. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE AND SILT FENCE FABRIC DURING SEDIMENT REMOVAL.
4. REFRESH AND REPLACE STONE AS NEEDED.

STANDARD SILT FENCE OUTLET

SIGNAL HILL SIGNAL HILL ROAD HENDERSONVILLE, NORTH CAROLINA	DRAWING NO: 9	SHEET TITLE: ESC DETAILS-2
	 THREE NO GROUP 4801 TAGGART CREEK ROAD CHARLOTTE, NC 28208 Phone: 704-384-8913 www.3nctech.com License No. C-4873	



REVISIONS

COMMENTS

REV. DATE



09/16/2024

PROJECT #	656605823
DATE:	09/16/2024
DESIGN BY:	DW
DRAWN BY:	DW
APPROVED:	THH
SCALE:	AS SHOWN

THREE NOTCH GROUP

4301 TAGGART CREEK ROAD
CHARLOTTE, NC 28208
Phone: 704-364-6613
Fax: 704-364-4973
License No. C-4973

SIGNAL HILL
SIGNAL HILL ROAD
HENDERSONVILLE, NORTH CAROLINA

SHEET TITLE: ESC DETAILS-3

DRAWING NO: 10

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION Required Ground Stabilization Timeframes		
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10 feet or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
• Temporary grass seed covered with straw or other mulches and tackifiers. • Hydroseeding • Rolled erosion control products with or without temporary grass seed • Appropriately applied straw or other mulch • Plastic sheeting	• Permanent grass seed covered with straw or other mulches and tackifiers • Geotextile fabrics such as permanent soil reinforcement matting • Hydroseeding • Shrubs or other permanent plantings • Mulched with mulch distributed ground cover sufficient to restrain erosion • Structural methods such as concrete, asphalt or retaining walls • Rolled erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCULANTS

- Select floculants that are appropriate for the soils being exposed during construction, selecting from the NC DWR List of Approved PAMS/Floculants.
- Apply floculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply floculants at the concentrations specified in the NC DWR List of Approved PAMS/Floculants and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store floculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.



EFFECTIVE DATE: 11/12/2020

NCG-01 GROUND COVER & MATERIALS HANDLING

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Identify drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the site (recycle when possible).
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been resolved.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint wastehuts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

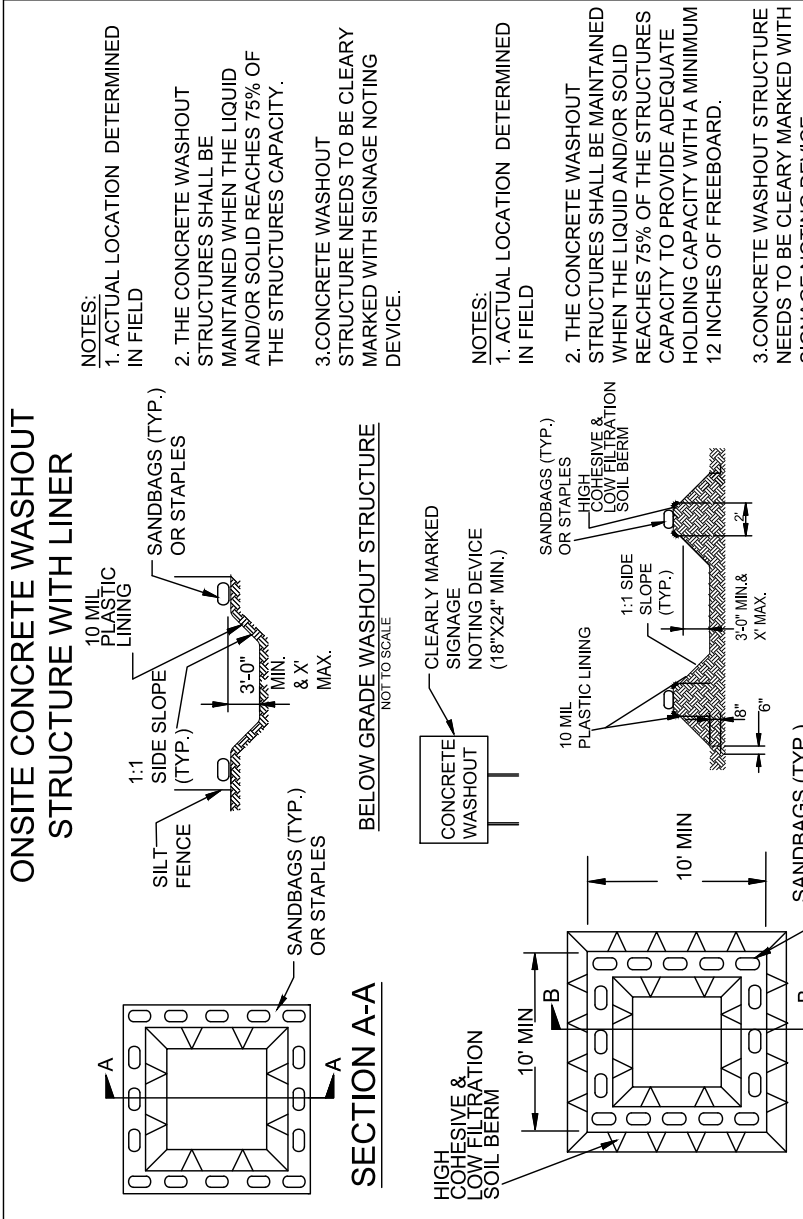
- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.

HAZARDOUS AND TOXIC WASTE

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.



CONCRETE WASHOUTS

- Do not discharge concrete or cement slurry from the site.
- Dispose of or recycle sealed, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits.
- Post signage on the washout itself to identify this location.
- Remove leaveings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leaveings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill. Clean up spills immediately. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

PART II, SECTION G, ITEM (4)

DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

The approved EASC plan as well as any approved deviation shall be kept on the site. The approved EASC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the EASC plan shall be kept on site and available for inspection at all times during normal business hours.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING		
SECTION B: RECORDKEEPING		
1. EASC Plan Documentation The approved EASC plan as well as any approved deviation shall be kept on the site. The approved EASC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the EASC plan shall be kept on site and available for inspection at all times during normal business hours.		
Item to Document	Document Requirements	
(a) Each EASC measure has been installed and signed inspection report that lists each EASC measure shown on the approved EASC plan. This documentation is required upon the initial installation of the measures.	Initial and date each EASC measure on a copy of the approved EASC plan or complete, date and sign an inspection report that lists each EASC measure shown on the approved EASC plan. This documentation is required upon the initial installation of the measures.	
(b) A phase of grading has been completed.	Initial and date a copy of the approved EASC plan or complete, date and sign an inspection report to indicate completion of the construction phase.	
(c) Ground cover is located and installed in accordance with the approved EASC plan.	Initial and date a copy of the approved EASC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.	
(d) The maintenance and repair requirements for all EASC measures have been performed.	Complete, date and sign an inspection report.	
(e) Corrective actions have been taken to EASC measures.	Initial and date a copy of the approved EASC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.	
2. Additional Documentation to be Kept on Site In addition to the EASC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical. (a) This General Permit as well as the Certificate of Coverage, after it is received. (b) Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection report that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if the permittee maintains a hard-copy record. 3. Documentation to be Submitted After the Inspection All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]		

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.



EFFECTIVE DATE: 11/12/2020

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING		
SECTION C: REPORTING		
1. Occurrences that Must be Reported Permittees shall report the following occurrences: (a) Visible sediment deposition in a stream or wetland. (b) Oil spills if: <ul style="list-style-type: none">They are 25 gallons or more,They are less than 25 gallons but cannot be cleaned up within 24 hours,They cause sheen on surface waters (regardless of volume), orThey are within 100 feet of surface waters (regardless of volume).		
(c) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (40 CFR 117.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.		
(d) Anticipated bypasses and unanticipated bypasses.		
(e) Noncompliance with the conditions of this permit that may endanger health or the environment.		
2. Reporting Timeframes and Other Requirements After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.		
Occurrence	Reporting Timeframe (After Discovery) and Other Requirements	
(a) Visible sediment deposition in a stream or wetland	• Within 24 hours, an oral or electronic notification. • Within 7 Calendar Days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. • If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring and reporting. The permittee shall determine if additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.	
(b) Oil spills and release of hazardous substances per item 1(b)-(c) above	• Within 24 hours, an oral or electronic notification. • Within 7 Calendar days, a report that includes an evaluation of the quality and effect of the bypass. • Within 24 hours, an oral or electronic notification. • Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance is expected to continue; and steps taken or planned to reduce, eliminate and prevent recurrence of the noncompliance. [40 CFR 122.41(i)(6).]	
(c) Anticipated or unanticipated bypasses [40 CFR 122.41(m)(3)]	• A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and the bypass. • Within 24 hours, an oral or electronic notification. • Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.	
(d) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(i)(7)]	• Division staff may waive the requirement for a written report on a case-by-case basis.	

NCG01- SELF INSPECTION

SIGNAL HILL
SIGNAL HILL ROAD
HENDERSONVILLE, NORTH CAROLINA

THREE NOTCH GROUP
4301 TAGGART CREEK ROAD
CHARLOTTE, NC 28208
Phone: 304-616-6913
License No. C-4973

PROJECT # 65605823

DATE: 09/16/2024

DESIGN BY: DW

DRAWN BY: DW

APPROVED: THH

SCALE: AS SHOWN

DATE: 05/15/2025

REVISIONS

REV. 4

DATE 05/15/2025

COMMENTS ADDRESS ZONING COMMENTS

FIRST VICTORY

542 S. CALDWELL ST.

BREVARD

828.884.7934

REVISIONS

REV. 4

DATE 05/15/2025

COMMENTS ADDRESS ZONING COMMENTS

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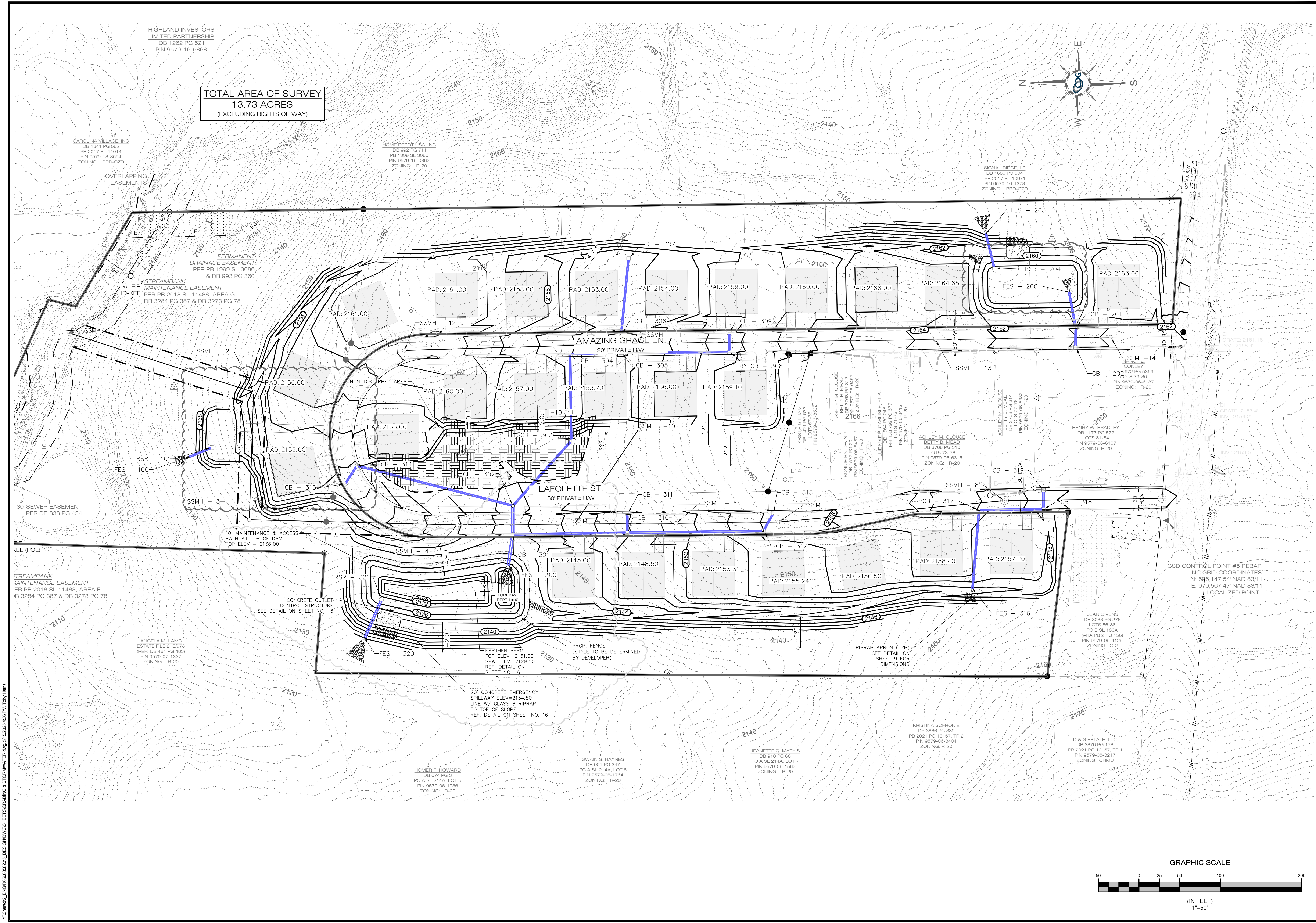
BREVARD

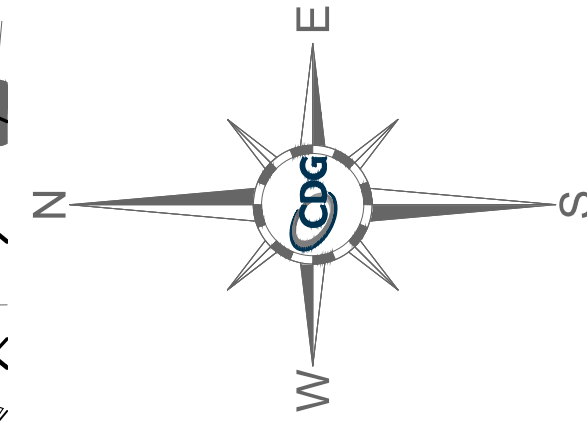
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REVISIONS

REV. 4

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SCALE= 1"=20



SCALE= 1" : 2'



SCALE= 1" : 2'

100.0" Wide x 9.0" Spacing = 109.0" C-C Row Spacing

7 Chambers/Row x 6.59' Long + 2.73' Cap Length x 2 = 51.61' Row Length + 12.0" End Stone x 2 = 53.61' Base Length

3 Rows x 100.0" Wide x 9.0" Spacing x 2 + 12.0" Side Stone x 2 = 28.50' Base Width

12.0" Stone Base + 60.0" Chamber Height + 12.0" Stone Cover = 7.00' Field Height

21 Chambers x 175.9 cf + 39.5 cf Cap Volume x 2 x 3 Rows = 3,930.4 cf Chamber Storage

10,694.9 cf Field - 3,930.4 cf Chambers = 6,764.5 cf Stone x 40.0% Voids = 2,705.8 cf Stone Storage

Chamber Storage + Stone Storage = 6,636.2 cf = 0.152 af

Overall Storage Efficiency = 62.1%

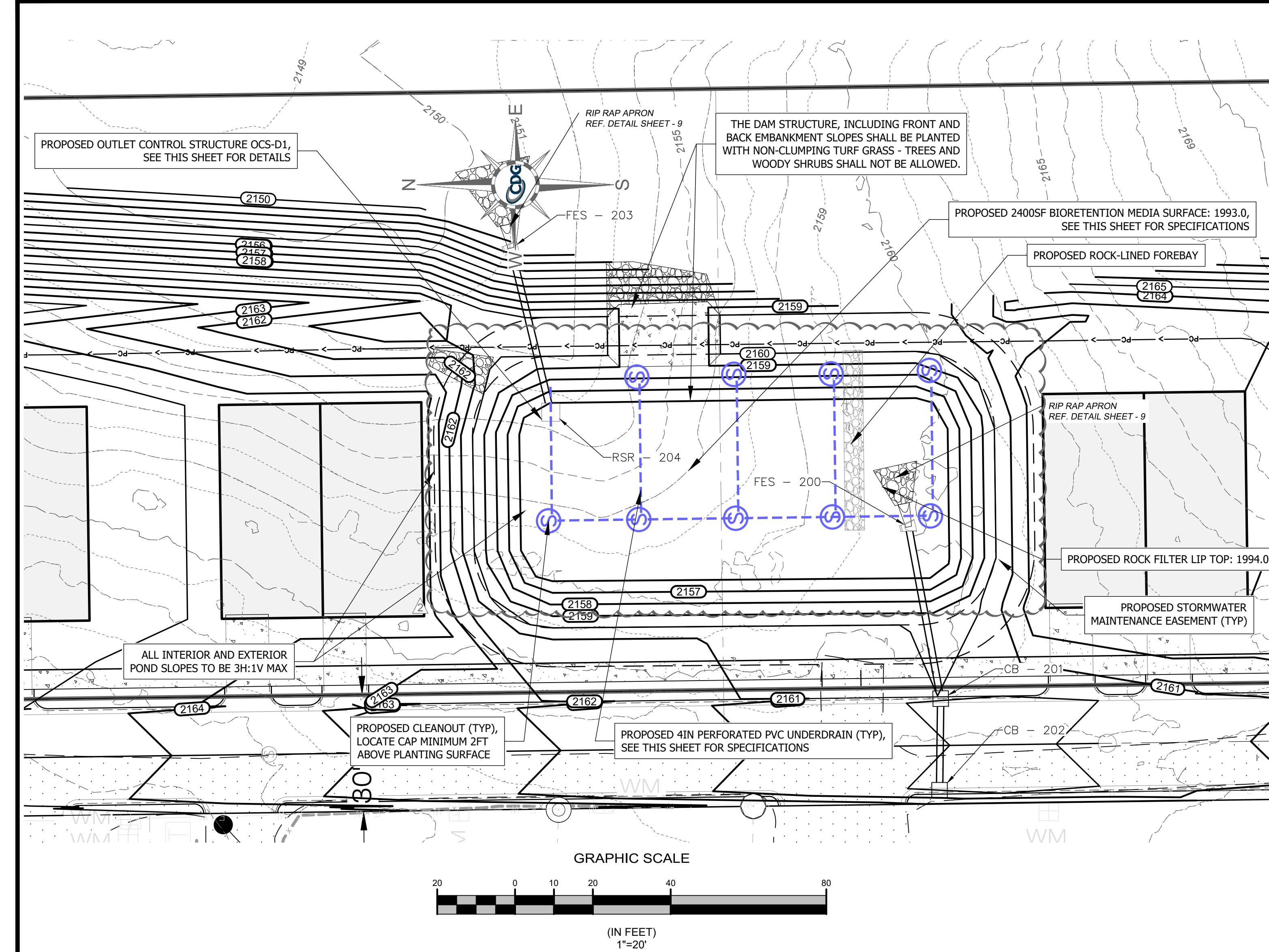
Overall System Size = 53.61' x 28.50' x 7.00'

21 Chambers
396.1 cy Field
250.5 cy Stone

SCALE= NTS

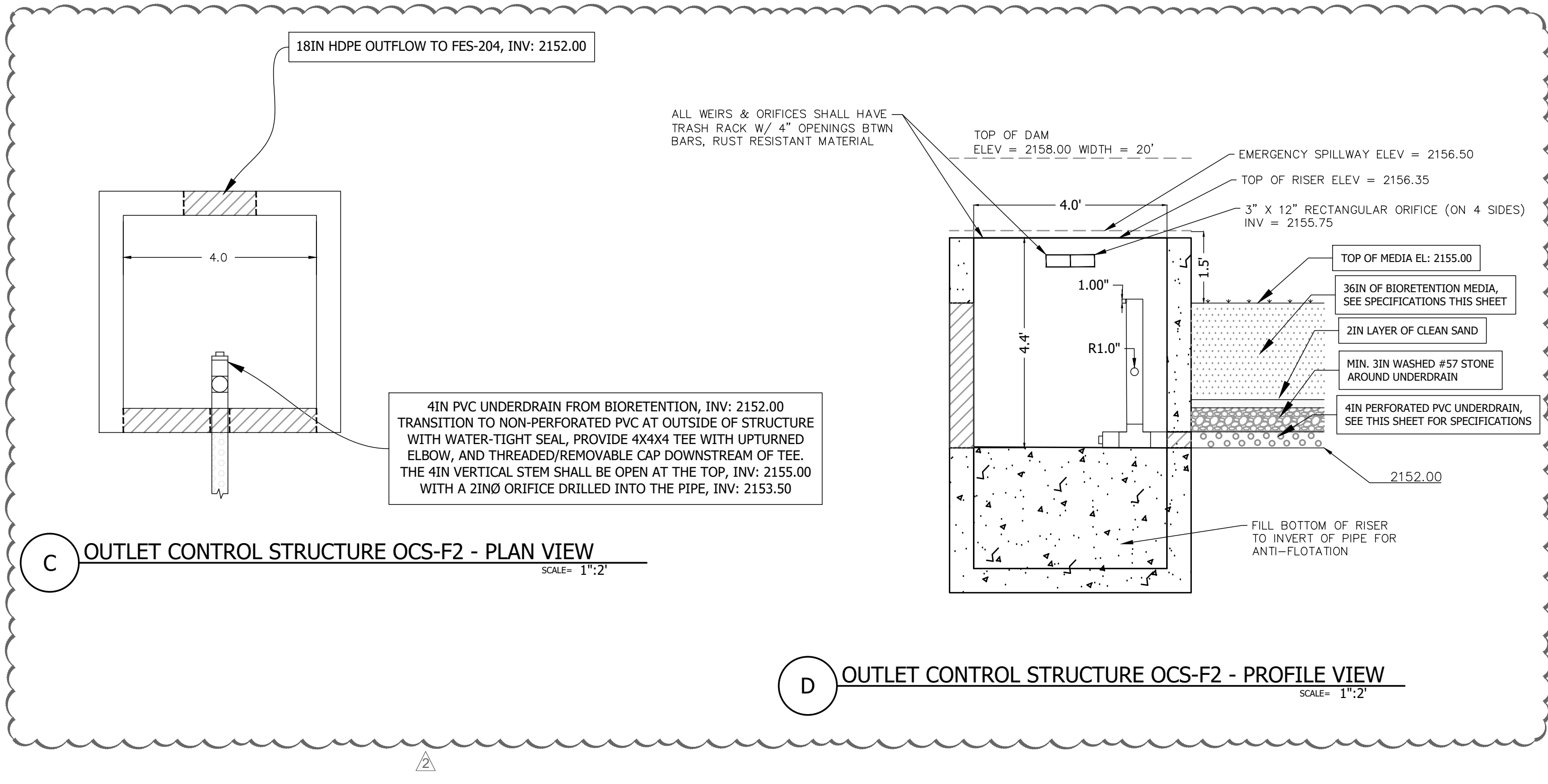
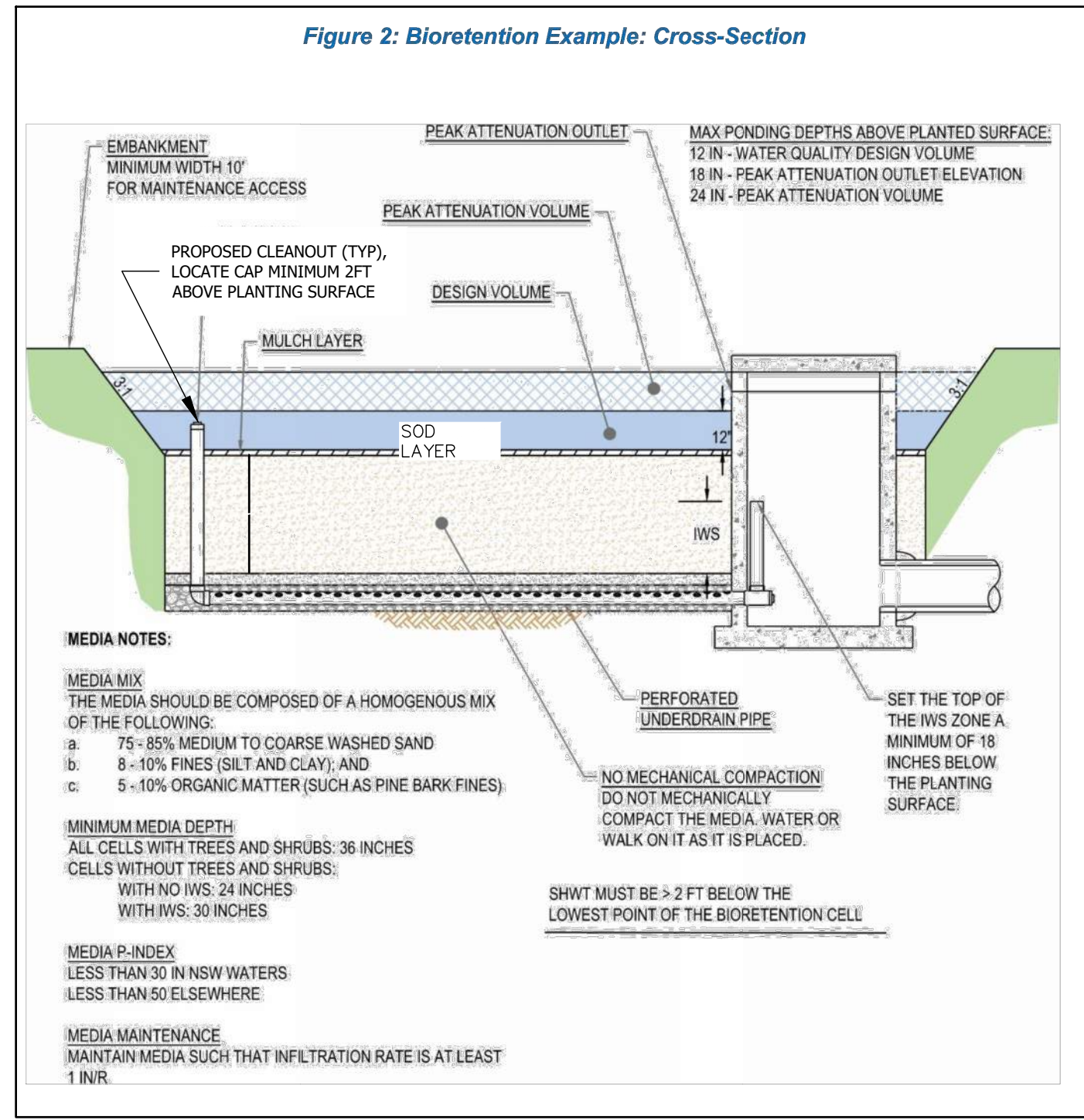
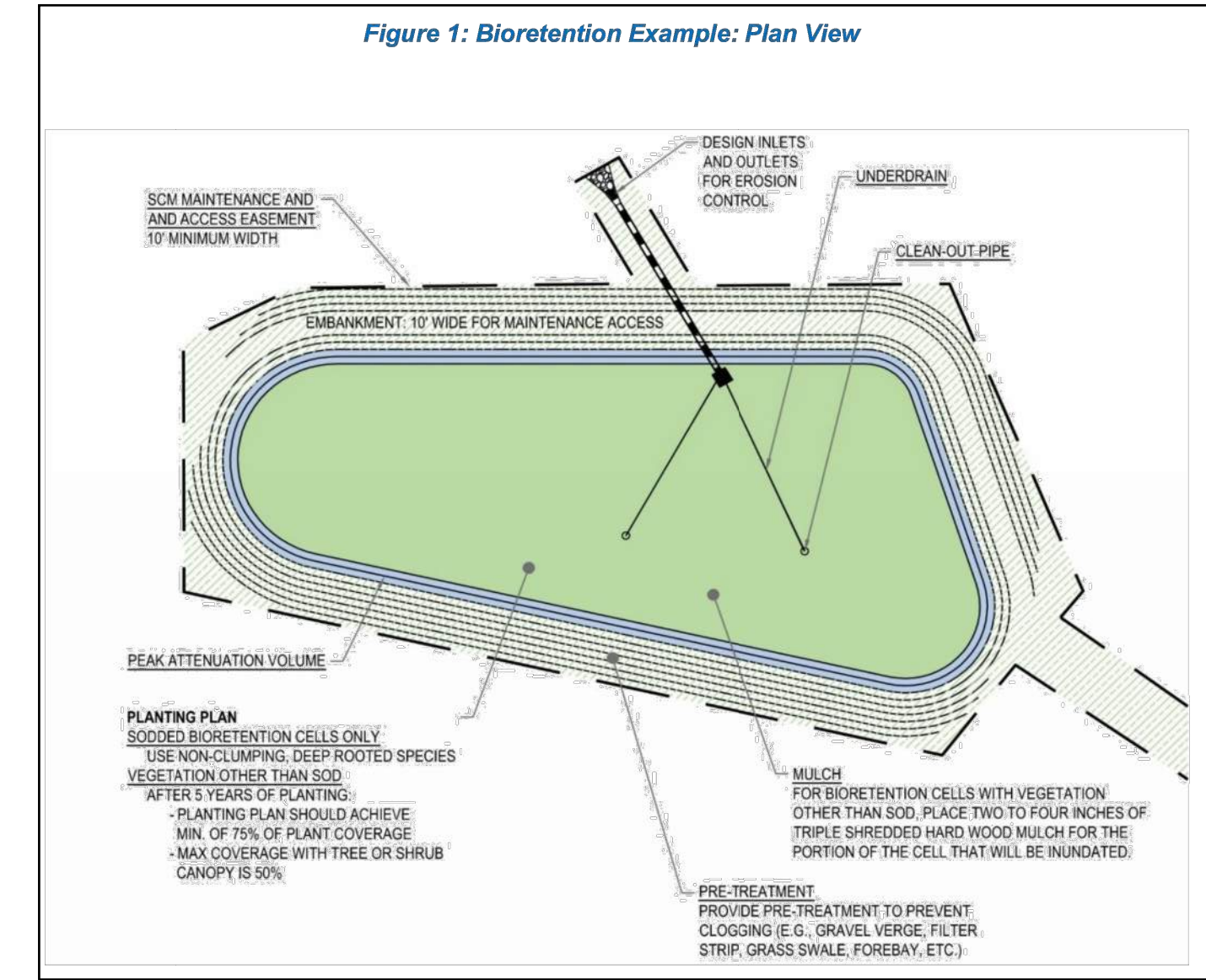
COMMON NAME
SWAMP MILKWEED
QUILL SEDGE
WHITE TURTLEHEAD
DWARF JOE PYE WEED
JOE PYE WEED
SPOTTED TRUMPETWEED
SCARLET ROSE MALLOW
HALBERDLEAF ROSE MALLOW
SEASHORE MALLOW
CARDINAL FLOWER
LONGLEAF LOBELIA
GREAT BLUE LOBELIA
STARRUSH WHITETOP
NARROW PLUMEGRASS

01/31/202514



STORMWATER WETLAND PLANT RECOMMENDATIONS (FROM NC DEQ MANUAL)	
BOTANICAL NAME	COMMON NAME
ASCLEPIAS INCARNATA	SWAMP MILKWEED
CAREX TENERA	QUILL SEDGE
CHELONE GLABRA	WHITE TURTLEHEAD
EUPATORIADELPHUS DUBIUS	DWARF JOE PYE WEED
EUPATORIADELPHUS FISTULOSUS	JOE PYE WEED
EUPATORIADELPHUS MACULATUS	SPOTTED TRUMPETWEED
HIBISCUS COCCINEUS	SCARLET ROSE MALLOW
HIBISCUS LAEVIS	HALBERDLEAF ROSE MALLOW
KOSTELETKYA VIRGINICA	SEASHORE MALLOW
LOBELIA CARDINALIS	CARDINAL FLOWER
LOBELIA ELONGATA	LONGLEAF LOBELIA
LOBELIA SIPHILITICA	GREAT BLUE LOBELIA
RHYNCHOSPORA COLORATA	STARRUSH WHITETOP
SACCHARUM BALDWINII	NARROW PLUMEGRASS

- UNDERDRAIN NOTES:
- ALL PIPING IN THE UNDERDRAIN SYSTEM SHOULD HAVE A MINIMUM SLOPE OF 0.5% AND SHOULD BE CONSTRUCTED OF SCHEDULE 40 OR SDR-35 SMOOTH WALL PVC PIPE
 - A MINIMUM OF 4 ROWS OF PERFORATIONS SHOULD BE PROVIDED AROUND THE DIAMETER OF THE PIPE. THE PERFORATIONS SHOULD BE PLACED 6IN ON CENTER WITHIN EACH ROW FOR THE ENTIRE LENGTH OF THE DRAINAGE LATERAL. PERFORATIONS SHOULD BE 3/8IN DIAMETER.
 - UNDERDRAIN PIPES SHOULD HAVE A MINIMUM OF 3IN OF WASHED #57 STONE ABOVE AND ON EACH SIDE OF THE PIPE (NOT REQUIRED BELOW THE PIPE). ABOVE THE STONE, EITHER FILTER FABRIC OR 2IN OF CHOKING STONE SHOULD BE INSTALLED TO PROTECT THE UNDERDRAIN FROM BLOCKAGE (FILTER FABRIC SHOULD BE AVOIDED IF THERE IS ANY QUESTION ABOUT THE FUTURE STABILITY OF THE DRAINAGE AREA). ABOVE THE FILTERING DEVICE, A MINIMUM OF 2IN OF WASHED SAND SHOULD BE INSTALLED. CHOKING STONE (#8 OR #89) IN LIEU OF FILTER FABRIC IS RECOMMENDED IF THERE IS POTENTIAL FOR HIGHER SEDIMENT LOADS THAT WOULD LEAD TO CLOGGING. PIPE SOCKS ARE ALSO NOT RECOMMENDED



B BIORETENTION DETAILS

SCALE= NTS

MEDIUM TO COARSE WASHED SAND SHALL BE ASTM C33, AASHTO M 6/M 80, ASTM C330, AASHTO M195, OR EQUIVALENT

THE ENTIRE SURFACE OF THE CELL WILL BE VEGETATED. SOD SHOULD BE INSTALLED WHEN GRASS IS USED FOR BIORETENTION CELLS AS SEEDING IS TYPICALLY NOT A VIABLE OPTION.

THREE NOTCH GROUP

SIGNAL HILL
SIGNAL HILL ROAD
HENDERSONVILLE, NORTH CAROLINA

DRAWING NO: 15
SHEET TITLE: SCM DETAIL 2

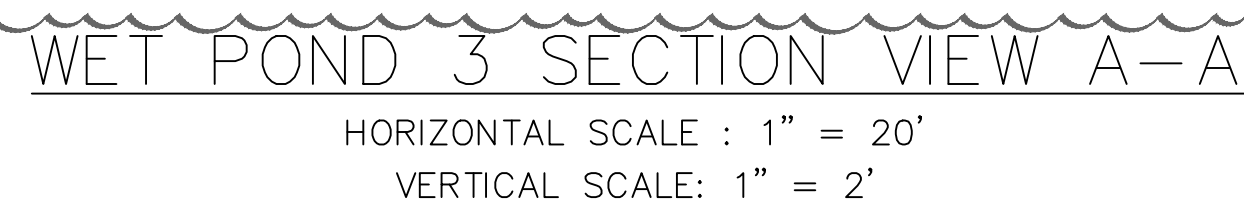
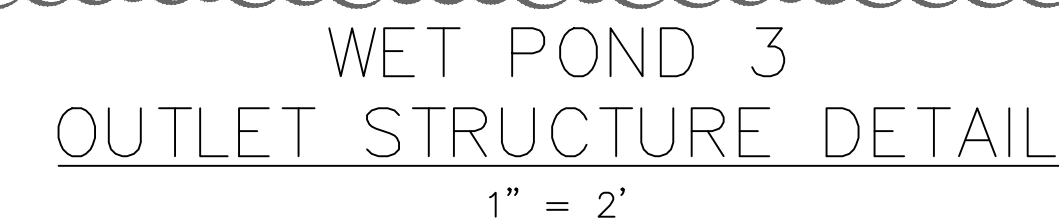
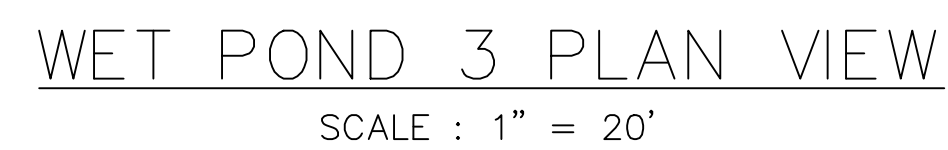
PROJECT # 656605823
DATE: 09/16/2024
DESIGN BY: DW
DRAWN BY: DW
APPROVED: TMH
SCALE: 1" = 50'

ENGINEER'S SEAL
NORTH CAROLINA
PROFESSIONAL SEAL
TOMMY M. HARRIS
01/31/2025

REVISIONS

REV.	DATE	COMMENTS
2	01/31/2025	ADDRESS CITY & COUNTY COMMENTS

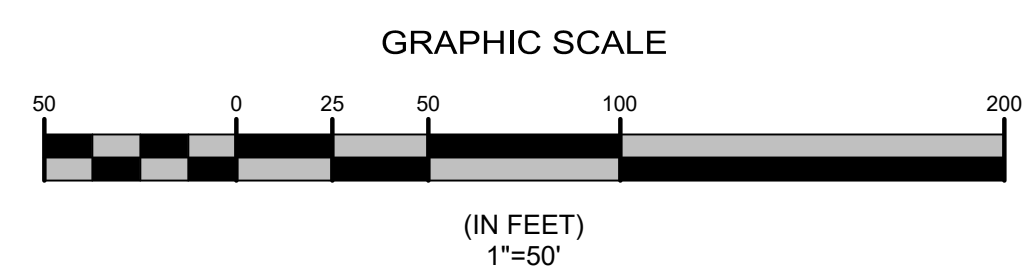
FIRST VICTORY
542 S. CALDWELL ST.
BREVARD, NC 28712
888.884.7934



WET DETENTION POND DESIGN CRITERIA
DRAINAGE AREA = 8.79 AC
IMPERVIOUS AREA = 2.18 AC (24.80%)
WATER QUALITY VOLUME = 11,245 CF

TOP OF DAM ELEV = 2136.00
TOP OF VEGETATED SHEL = 2131.00
PERMANENT POOL ELEVATION = 2130.00
BOTTOM OF FOREBAY = 2126.00
BOTTOM OF MAIN POOL = 2125.00

MAIN POOL VOLUME = 17,819 CF
FOREBAY VOLUME = 3,207 CF (18.0%)



DRAWING NO:		16	SHEET TITLE:		SCM DETAIL 3															
SIGNAL HILL SIGNAL HILL ROAD HENDERSONVILLE, NORTH CAROLINA																				
<div><div><div><div><div></div><div></div><div></div></div><div>THREE NOTCH GROUP</div></div><div><div>4301 TAGGART CREEK ROAD CHARLOTTE, NC 28208 Phone: 704-394-6913 www.3notch.com License No. C-4973</div></div></div></div>																				
PROJECT #		656605823	<div>ENGINEERS SEAL:</div> <div><div><div><div><div></div><div></div><div></div></div><div>NORTH CAROLINA PROFESSIONAL SEAL EXPIRES 01/31/2025 JOHN W. HART</div></div></div><div>01/31/2025</div></div>																	
DATE:		09/16/2024																		
DESIGN BY:		DW																		
DRAWN BY:		DW																		
APPROVED:		TWH																		
SCALE:		1" = 50'																		
<div>REVISIONS</div> <table><tr><th>REV.</th><th>DATE</th><th>COMMENTS</th></tr><tr><td>2</td><td>01/31/2025</td><td>ADDRESS CITY & COUNTY COMMENTS</td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr></table> <div><div><div>FIRST VICTORY</div><div>542 S. CALDWELL ST.</div><div>BREVARD, NC 28712</div><div>828.884.7934</div></div></div>						REV.	DATE	COMMENTS	2	01/31/2025	ADDRESS CITY & COUNTY COMMENTS									
REV.	DATE	COMMENTS																		
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PROJECT INFORMATION	
ENGINEER/PRODUCT MANAGER	
ADS SALES REP	
PROJECT NO.	



SIGNAL HILL HENDERSONVILLE, NC, USA

MC-7200 STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE ARCH-SHAVED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT MODIFIED POLYPROPYLENE COMPOUND.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2413, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION RM101.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPIDE TOW OR LIFT ACCESS FOR INSPECTION.
- THE FOUNDATION STONE SHALL BE LEVELLED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM 1" (25 mm) SPACING BETWEEN THE CHAMBER ROWS.
- INLET AND OUTLET MANFOLDS MUST BE INSERTED A MINIMUM OF 12" (305 mm) INTO CHAMBER END CAPS.
- STONE SHALL BE BROUGHT UP EVENLY AROUND CHAMBERS SO AS NOT TO DISTORT THE CHAMBER SHAPE. STONE DEPTHS SHOULD NEVER EXCEED BY MORE THAN 12" (305 mm) BETWEEN ADJACENT CHAMBER ROWS.
- STONE MUST BE PLACED ON THE TOP CENTER OF THE CHAMBER TO ANCHOR THE CHAMBER IN PLACE AND PRESERVE ROW SPACING.
- TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 80 LB/IN². THE ARCH IS DEFINED IN SECTION 2.2.3 OF ASTM F2413 AND TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 77 °F / 25 °C), CHAMBERS SHALL BE PRODUCED FROM POLYESTER GOLD OR YELLOW COLOR.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (1 MIN) AASHTO DESIGN TRUCK LIVE LOAD OR MINIMUM COVER 2) MAJOR PERMANENT (1-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH RANDED (1 WEEK) AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTERNAL, INTERLOCKING STACLING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 1".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 80 LB/IN². THE ARCH IS DEFINED IN SECTION 2.2.3 OF ASTM F2413 AND TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 77 °F / 25 °C), CHAMBERS SHALL BE PRODUCED FROM POLYESTER GOLD OR YELLOW COLOR.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE. IT SHALL INCLUDE:
 - THE STRUCTURAL EVALUATION SHALL BE PERFORMED BY A REGISTERED PROFESSIONAL ENGINEER.
 - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.5 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD. THE MINIMUM ISSUED BY ASTM F2787 AND BY SECTIONS 3 AND 12.1.1 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS.
 - THE TEST DERIVED CRISP MODULUS AS SPECIFIED IN ASTM F2413 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.
- MANFOLD SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECH NOTE 86-2 FOR MANFOLD SIZING GUIDANCE. DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONDITIONS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPES TO STANDARD MANFOLD COMPONENTS IN THE FIELD.
- ADS DOES NOT DESIGN OR PROVIDE MEMBRANE LINE SYSTEMS. TO MINIMIZE THE LEAKAGE POTENTIAL OF LINE SYSTEMS, THE MEMBRANE LINE SYSTEM SHOULD BE DESIGNED BY A KNOWLEDGEABLE GEOTECHNICAL PROFESSIONAL AND INSTALLED BY A QUALIFIED CONTRACTOR.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF MC-7200 CHAMBER SYSTEM

- STORMTECH MC-7200 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLER.
- STORMTECH MC-7200 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-7200 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR EXCAVATOR SITUATED OUTSIDE THE CHAMBERS.
 - STONE/ROCKERS LOCATED ON TOP OF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR BURIED.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELLED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM 1" (25 mm) SPACING BETWEEN THE CHAMBER ROWS.
- INLET AND OUTLET MANFOLDS MUST BE INSERTED A MINIMUM OF 12" (305 mm) INTO CHAMBER END CAPS.
- STONE SHALL BE BROUGHT UP EVENLY AROUND CHAMBERS SO AS NOT TO DISTORT THE CHAMBER SHAPE. STONE DEPTHS SHOULD NEVER EXCEED BY MORE THAN 12" (305 mm) BETWEEN ADJACENT CHAMBER ROWS.
- STONE MUST BE PLACED ON THE TOP CENTER OF THE CHAMBER TO ANCHOR THE CHAMBER IN PLACE AND PRESERVE ROW SPACING.
- TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 80 LB/IN². THE ARCH IS DEFINED IN SECTION 2.2.3 OF ASTM F2413 AND TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 77 °F / 25 °C), CHAMBERS SHALL BE PRODUCED FROM POLYESTER GOLD OR YELLOW COLOR.
- ADS RECOMMENDS THE USE OF "ELEVATION CATCH" IT INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

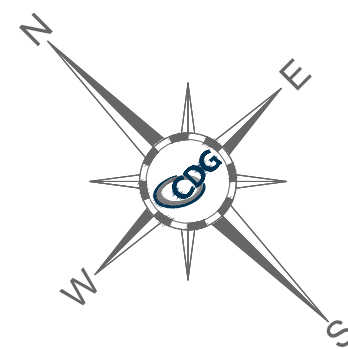
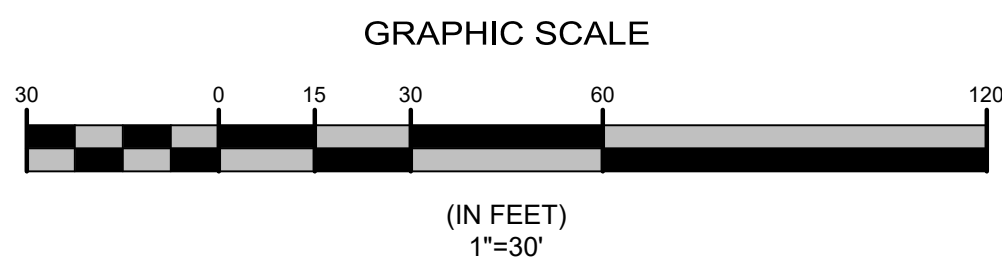
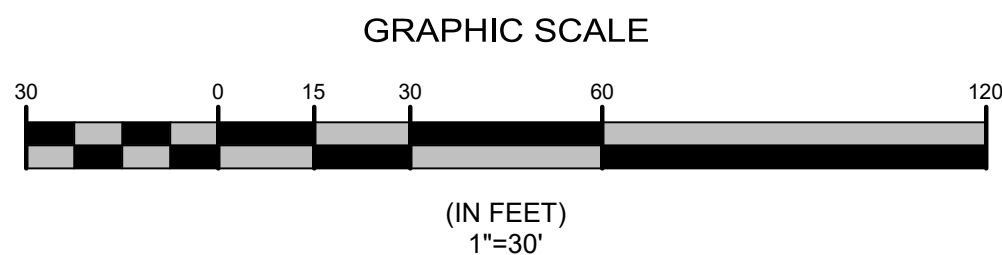
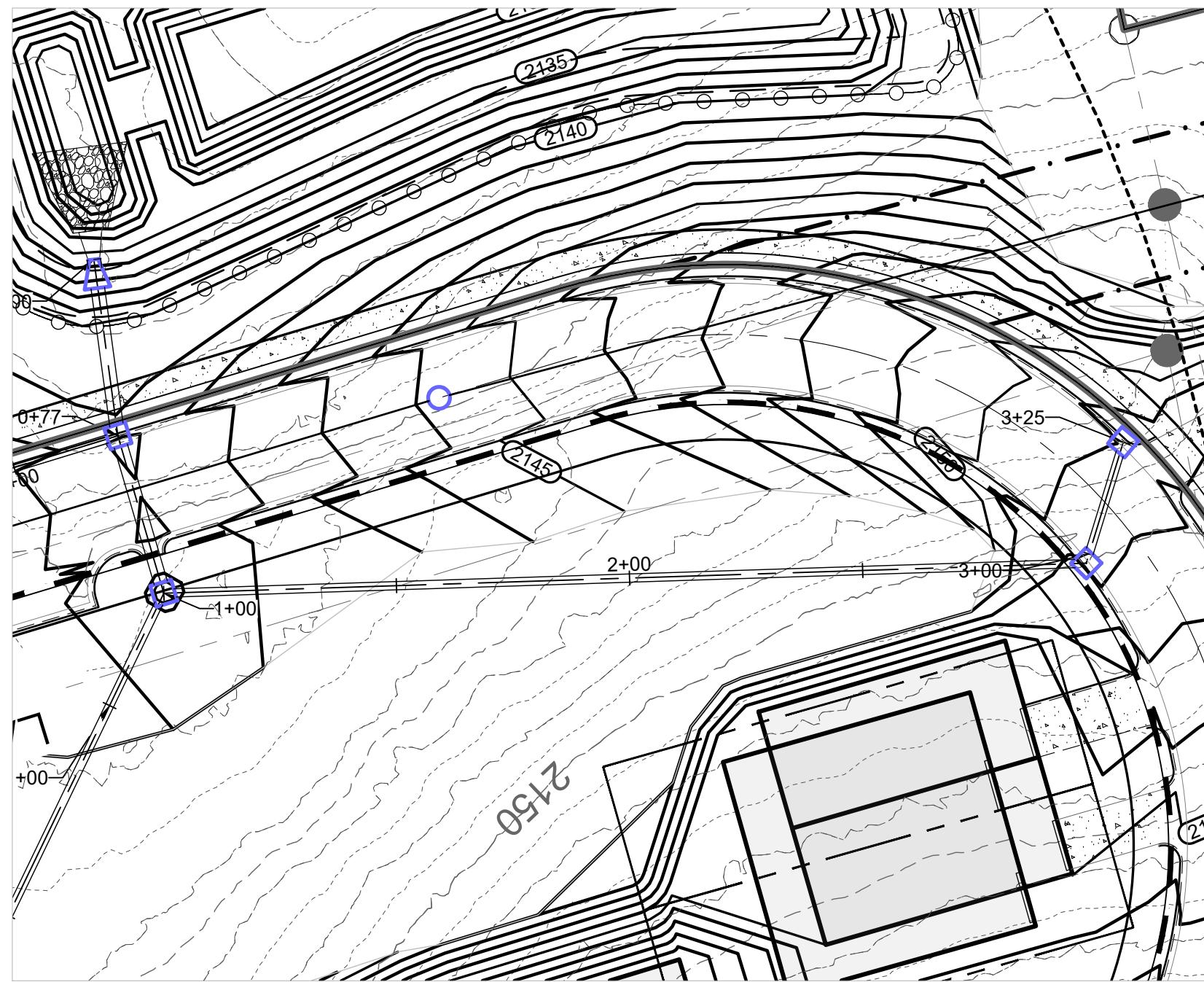
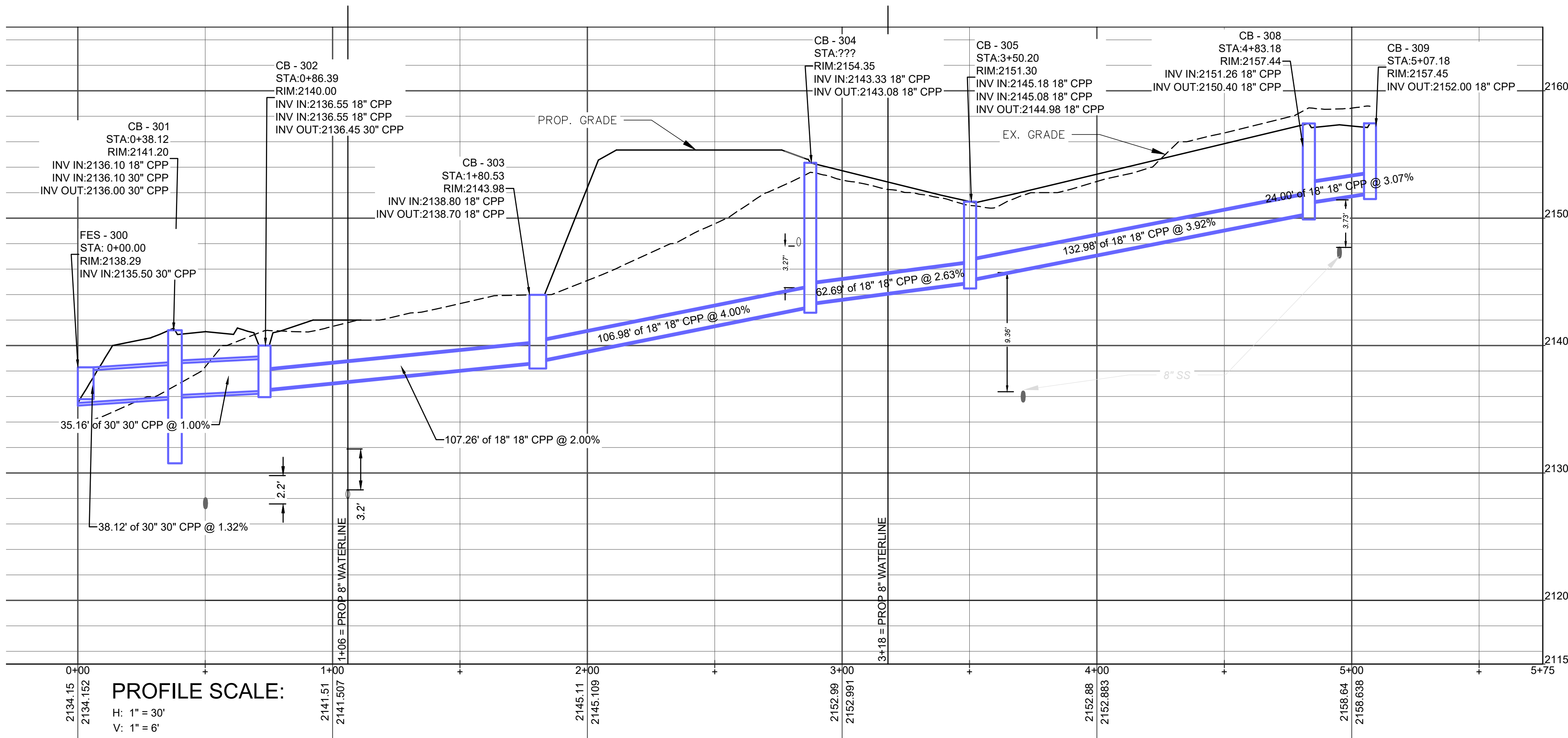
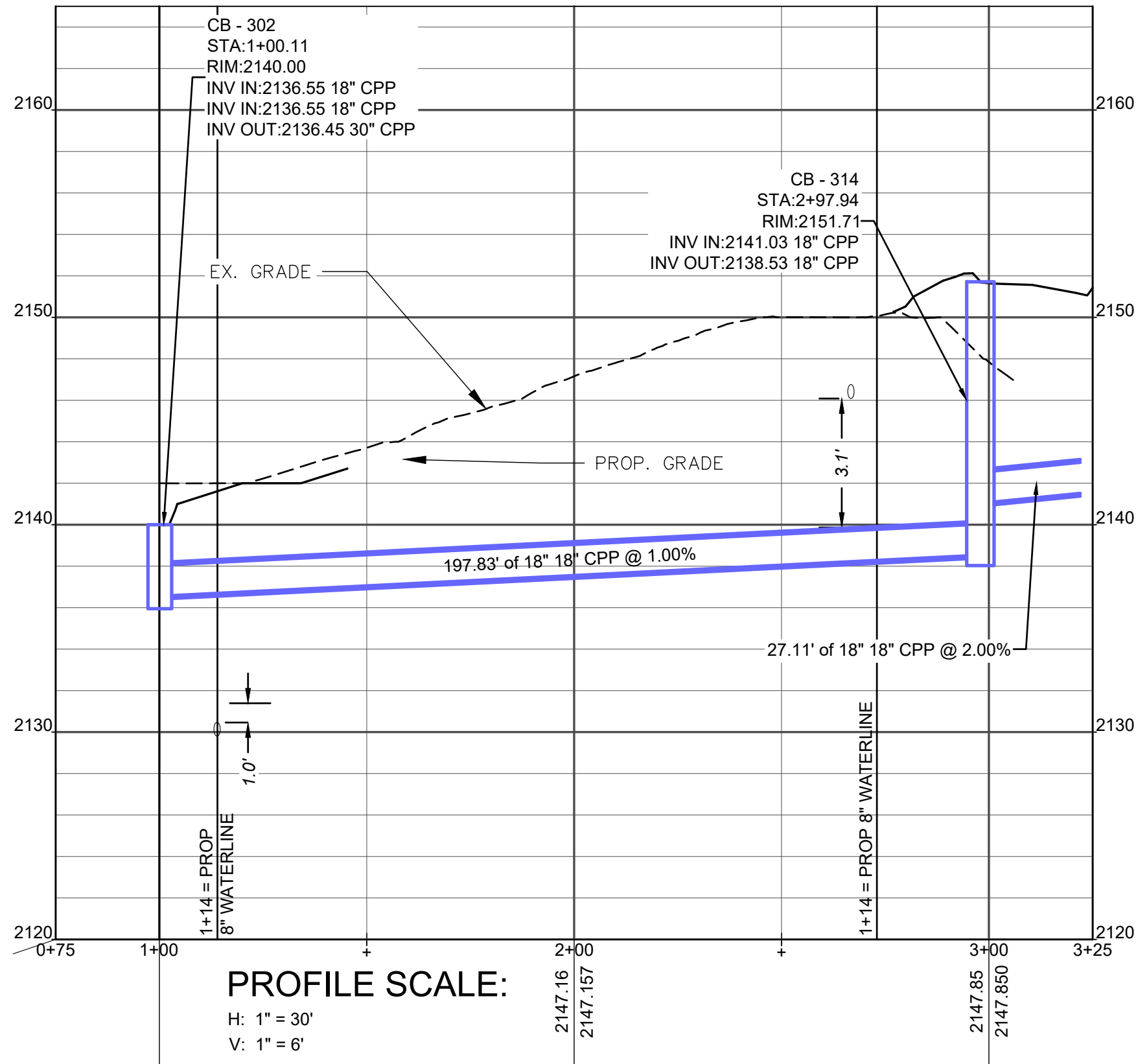
NOTES FOR CONSTRUCTION EQUIPMENT

- STORMTECH MC-7200 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-7200 CONSTRUCTION GUIDE".
- THE USE OF EQUIPMENT OVER MC-7200 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON CHAMBERS.
 - NO RUBBER TRED LOADERS, DUMP TRUCKS OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE STORMTECH MC-7200 CONSTRUCTION GUIDE.
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH MC-7200 CONSTRUCTION GUIDE".
- FULL 12" (305 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

USE OF A DOZER TO PUSH EMBEDED STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY USING THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-800-821-6710 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

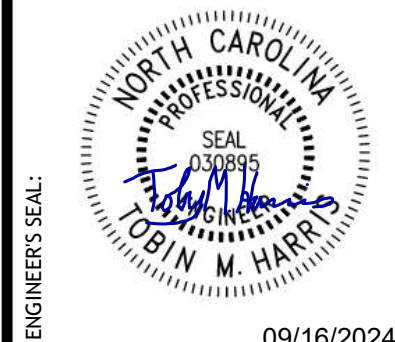
PROPOSED LAYOUT: BED 4		PROPOSED ELEVATIONS		PART TYPE		ITEM OR LAYOUT		DESCRIPTION		INVERT ABOVE BASE OF CHAMBER	
10	STORMTECH MC-7200 CHAMBER	MAXIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	1	REPAVED/REPLACE END CAP	1	1	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
11	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	2	REPAVED/REPLACE END CAP	2	2	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
12	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	3	REPAVED/REPLACE END CAP	3	3	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
13	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	4	REPAVED/REPLACE END CAP	4	4	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
14	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	5	REPAVED/REPLACE END CAP	5	5	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
15	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	6	REPAVED/REPLACE END CAP	6	6	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
16	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	7	REPAVED/REPLACE END CAP	7	7	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
17	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	8	REPAVED/REPLACE END CAP	8	8	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
18	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	9	REPAVED/REPLACE END CAP	9	9	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
19	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	10	REPAVED/REPLACE END CAP	10	10	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
20	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	11	REPAVED/REPLACE END CAP	11	11	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
21	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	12	REPAVED/REPLACE END CAP	12	12	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
22	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	13	REPAVED/REPLACE END CAP	13	13	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
23	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	14	REPAVED/REPLACE END CAP	14	14	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
24	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	15	REPAVED/REPLACE END CAP	15	15	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
25	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	16	REPAVED/REPLACE END CAP	16	16	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
26	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	17	REPAVED/REPLACE END CAP	17	17	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
27	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	18	REPAVED/REPLACE END CAP	18	18	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
28	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	19	REPAVED/REPLACE END CAP	19	19	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
29	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	20	REPAVED/REPLACE END CAP	20	20	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
30	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	21	REPAVED/REPLACE END CAP	21	21	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
31	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	22	REPAVED/REPLACE END CAP	22	22	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
32	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	23	REPAVED/REPLACE END CAP	23	23	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
33	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	24	REPAVED/REPLACE END CAP	24	24	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
34	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	25	REPAVED/REPLACE END CAP	25	25	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
35	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	26	REPAVED/REPLACE END CAP	26	26	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
36	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	27	REPAVED/REPLACE END CAP	27	27	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
37	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	28	REPAVED/REPLACE END CAP	28	28	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
38	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	29	REPAVED/REPLACE END CAP	29	29	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
39	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	30	REPAVED/REPLACE END CAP	30	30	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
40	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	31	REPAVED/REPLACE END CAP	31	31	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
41	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	32	REPAVED/REPLACE END CAP	32	32	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
42	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	33	REPAVED/REPLACE END CAP	33	33	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
43	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	34	REPAVED/REPLACE END CAP	34	34	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
44	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	35	REPAVED/REPLACE END CAP	35	35	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
45	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	36	REPAVED/REPLACE END CAP	36	36	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
46	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	37	REPAVED/REPLACE END CAP	37	37	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
47	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	38	REPAVED/REPLACE END CAP	38	38	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
48	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	39	REPAVED/REPLACE END CAP	39	39	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
49	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	40	REPAVED/REPLACE END CAP	40	40	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
50	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	41	REPAVED/REPLACE END CAP	41	41	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
51	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	42	REPAVED/REPLACE END CAP	42	42	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
52	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	43	REPAVED/REPLACE END CAP	43	43	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
53	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	44	REPAVED/REPLACE END CAP	44	44	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
54	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	45	REPAVED/REPLACE END CAP	45	45	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
55	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	46	REPAVED/REPLACE END CAP	46	46	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
56	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	47	REPAVED/REPLACE END CAP	47	47	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
57	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	48	REPAVED/REPLACE END CAP	48	48	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
58	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	49	REPAVED/REPLACE END CAP	49	49	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
59	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	50	REPAVED/REPLACE END CAP	50	50	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
60	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	51	REPAVED/REPLACE END CAP	51	51	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
61	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	52	REPAVED/REPLACE END CAP	52	52	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
62	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	53	REPAVED/REPLACE END CAP	53	53	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
63	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	54	REPAVED/REPLACE END CAP	54	54	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
64	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	55	REPAVED/REPLACE END CAP	55	55	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
65	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	56	REPAVED/REPLACE END CAP	56	56	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
66	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	57	REPAVED/REPLACE END CAP	57	57	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
67	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	58	REPAVED/REPLACE END CAP	58	58	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
68	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	59	REPAVED/REPLACE END CAP	59	59	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
69	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	60	REPAVED/REPLACE END CAP	60	60	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
70	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	61	REPAVED/REPLACE END CAP	61	61	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
71	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	62	REPAVED/REPLACE END CAP	62	62	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
72	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	63	REPAVED/REPLACE END CAP	63	63	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
73	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	64	REPAVED/REPLACE END CAP	64	64	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
74	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	65	REPAVED/REPLACE END CAP	65	65	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
75	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	66	REPAVED/REPLACE END CAP	66	66	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
76	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	67	REPAVED/REPLACE END CAP	67	67	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
77	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	68	REPAVED/REPLACE END CAP	68	68	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
78	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	69	REPAVED/REPLACE END CAP	69	69	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
79	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	70	REPAVED/REPLACE END CAP	70	70	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
80	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	71	REPAVED/REPLACE END CAP	71	71	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
81	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	72	REPAVED/REPLACE END CAP	72	72	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
82	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	73	REPAVED/REPLACE END CAP	73	73	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
83	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	74	REPAVED/REPLACE END CAP	74	74	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
84	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	75	REPAVED/REPLACE END CAP	75	75	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
85	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	76	REPAVED/REPLACE END CAP	76	76	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
86	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	77	REPAVED/REPLACE END CAP	77	77	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
87	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	78	REPAVED/REPLACE END CAP	78	78	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
88	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	79	REPAVED/REPLACE END CAP	79	79	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
89	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	80	REPAVED/REPLACE END CAP	80	80	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
90	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	81	REPAVED/REPLACE END CAP	81	81	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
91	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	82	REPAVED/REPLACE END CAP	82	82	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
92	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	83	REPAVED/REPLACE END CAP	83	83	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
93	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	84	REPAVED/REPLACE END CAP	84	84	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
94	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	85	REPAVED/REPLACE END CAP	85	85	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
95	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	86	REPAVED/REPLACE END CAP	86	86	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
96	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	87	REPAVED/REPLACE END CAP	87	87	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
97	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	88	REPAVED/REPLACE END CAP	88	88	12" (305 mm) TYP. OF ALL 24" TOP CONNECTIONS	24.00	24.00	24.00
98	STONE BELOW	MINIMUM ALLOWABLE STONE TOP ELEVATION (UNIMPROVED)	248.00	89	REPAVED/REPLACE END CAP	89	89	1			



FIRST VICTORY
542 S. CALDWELL ST.
BREVARD, NC 28712
828.884.7934

REVISIONS

REV.	DATE	COMMENTS



PROJECT #	656405823
DATE	09/16/2024
DESIGN BY:	DW
DRAWN BY:	DW
APPROVED:	TWH
SCALE:	AS SHOWN

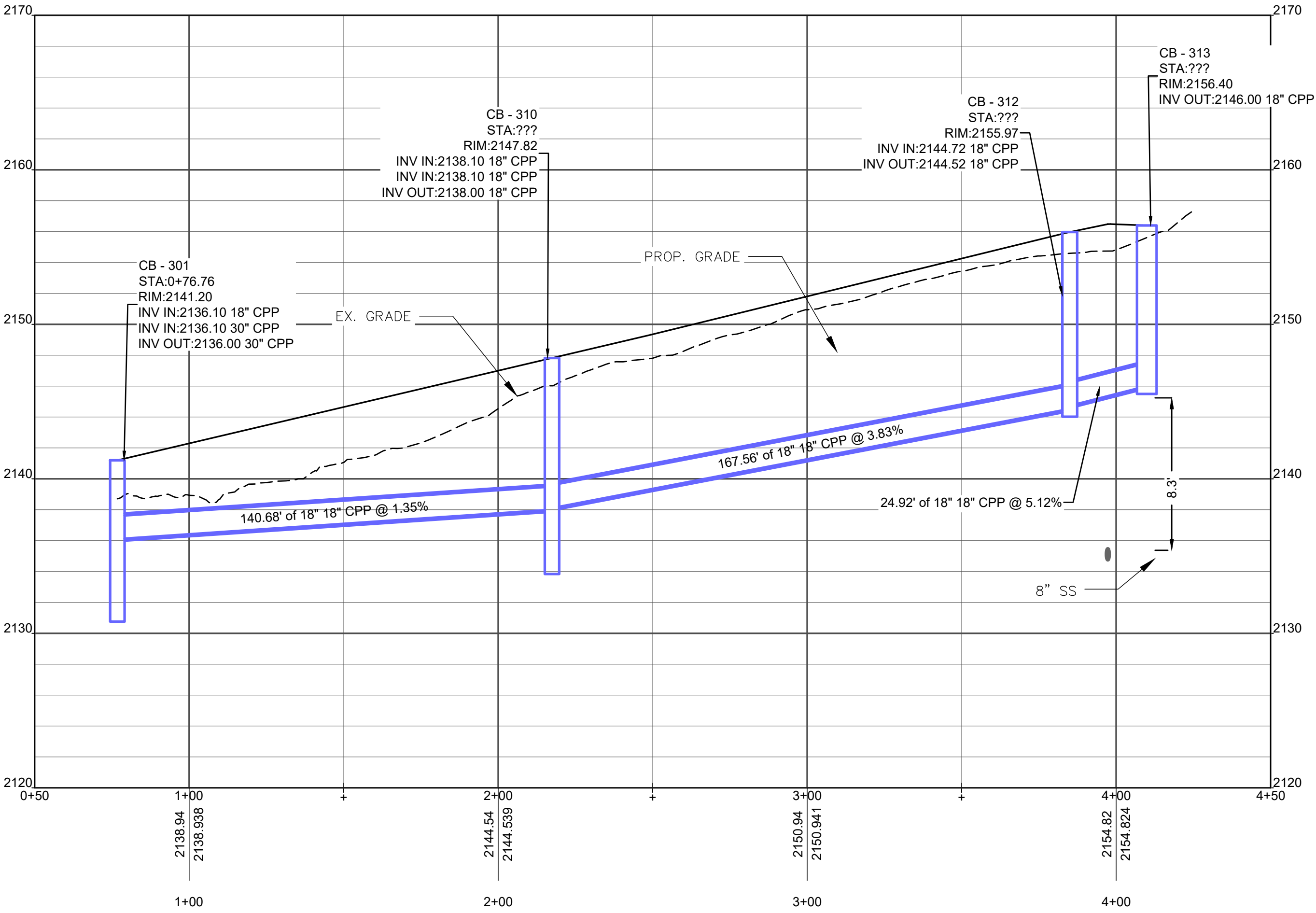
THREE NOTCH GROUP

4301 TAGGART CREEK ROAD
CHARLOTTE, NC 28208
Phone: 704-394-6913
www.3notch.com
License No. C-4973

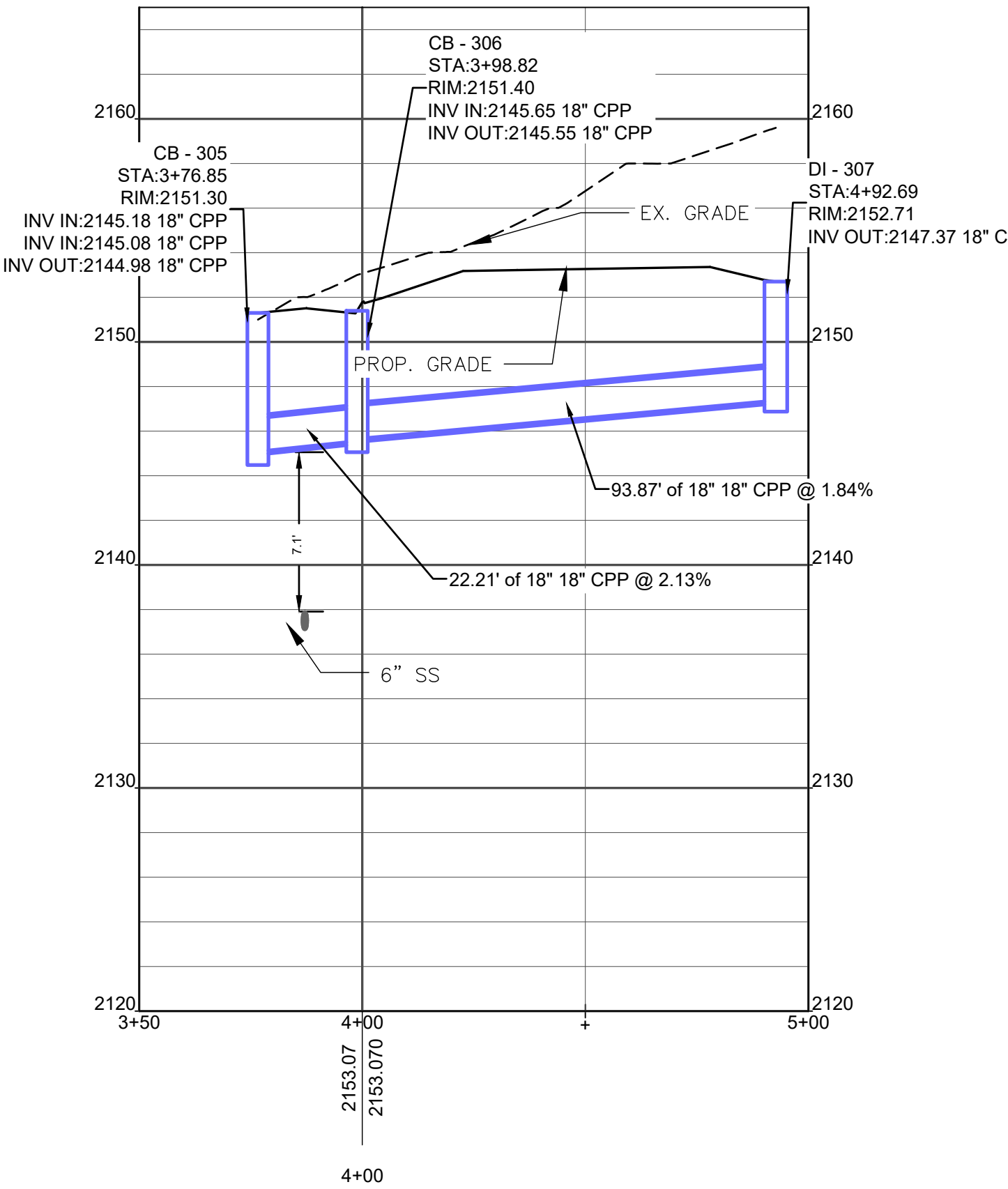
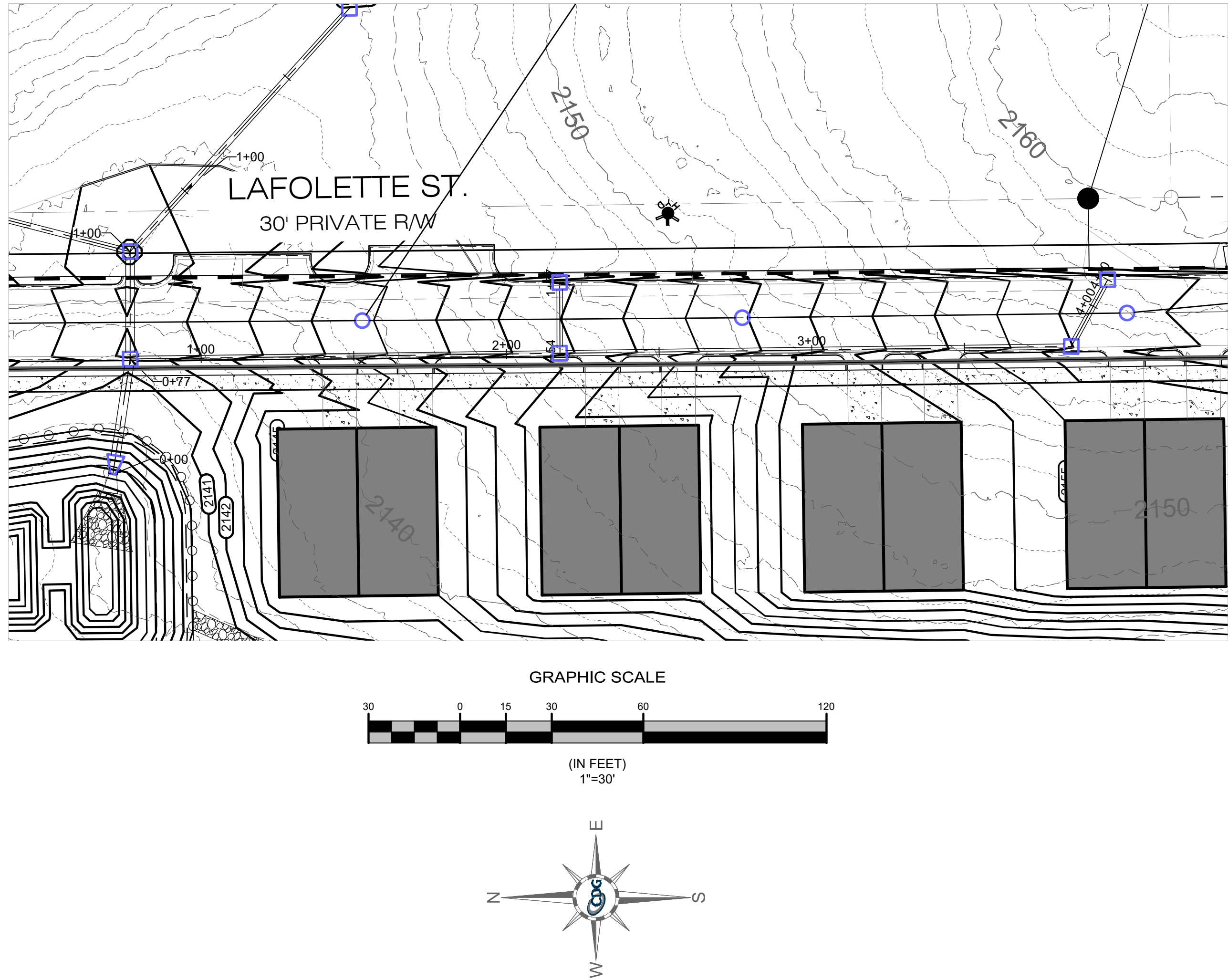
SIGNAL HILL
SIGNAL HILL ROAD
HENDERSONVILLE, NORTH CAROLINA

SHEET TITLE:
STORM PLAN & PROFILE - 1

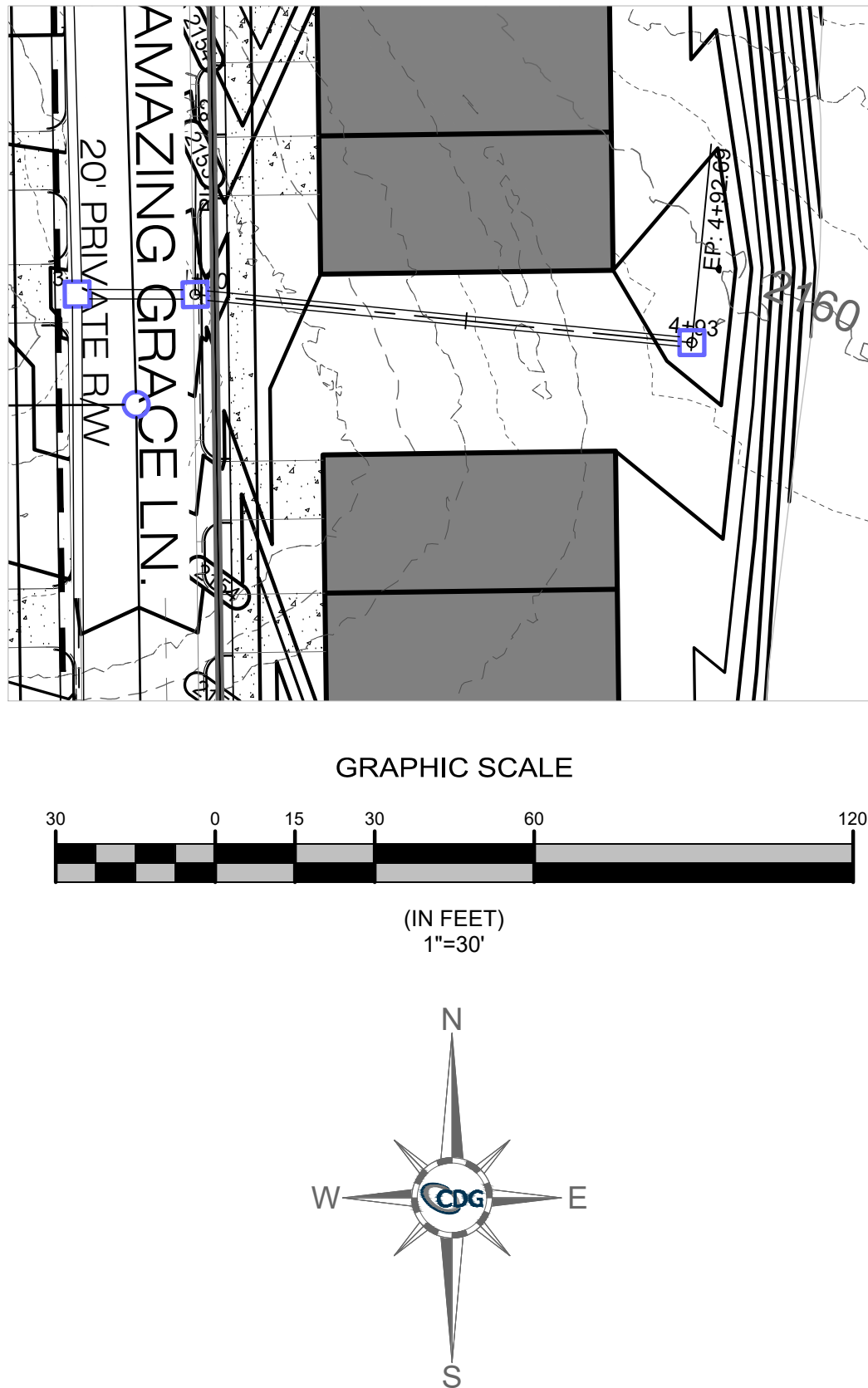
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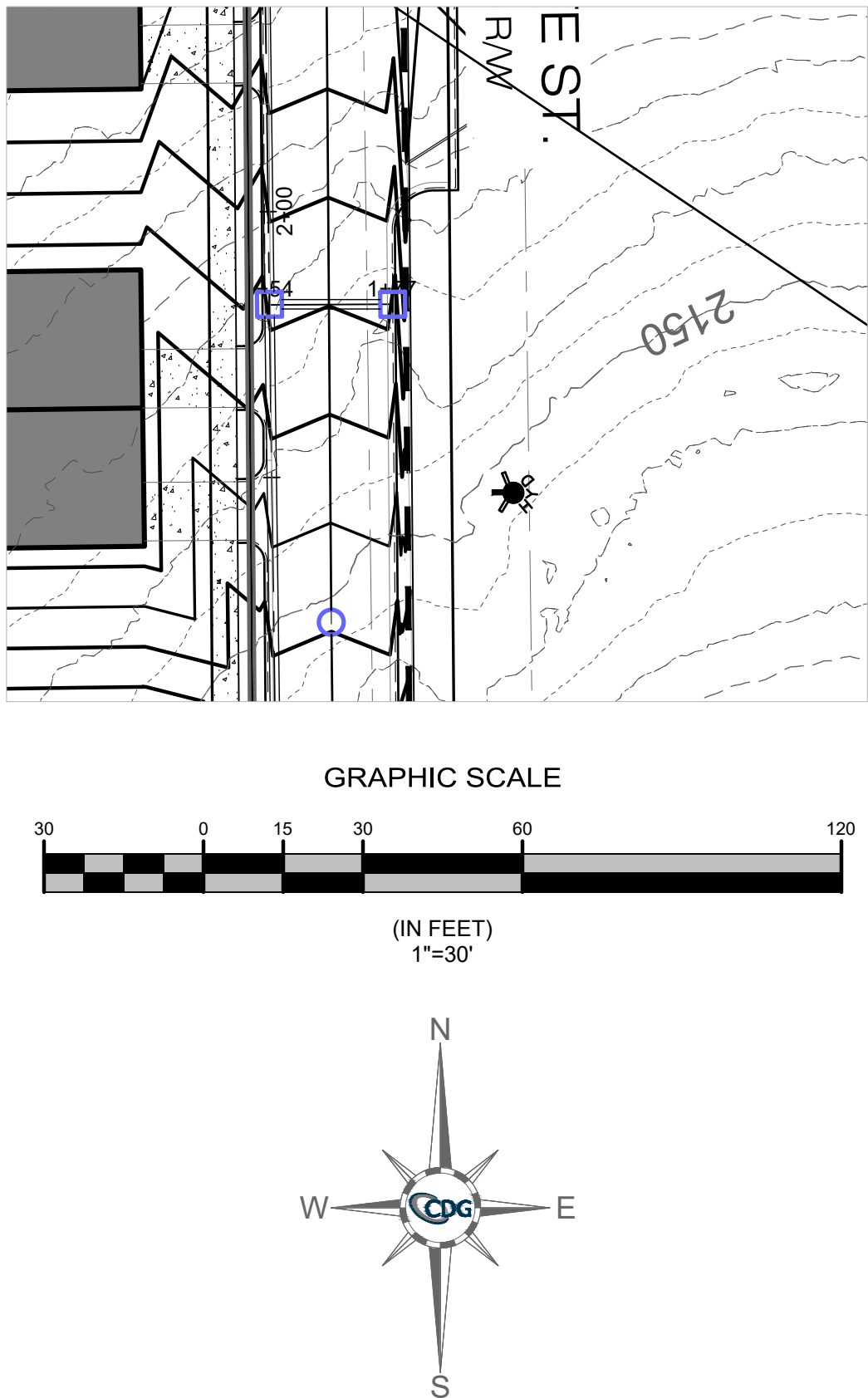
PROFILE SCALE:
H: 1" = 30'
V: 1" = 6'



PROFILE SCALE:
H: 1" = 30'
V: 1" = 6'



PROFILE SCALE:
H: 1" = 30'
V: 1" = 6'



FIRST VICTORY
542 S. CALDWELL ST.
BREVARD, NC 28712
888.884.7934

REVISIONS

COMMENTS

REV. DATE



ENGINEER'S SEAL:

09/16/2024

PROJECT #	656605823
DATE:	09/16/2024
DESIGN BY:	DW
DRAWN BY:	DW
APPROVED:	TMH
SCALE:	AS SHOWN

THREE NOTCH GROUP

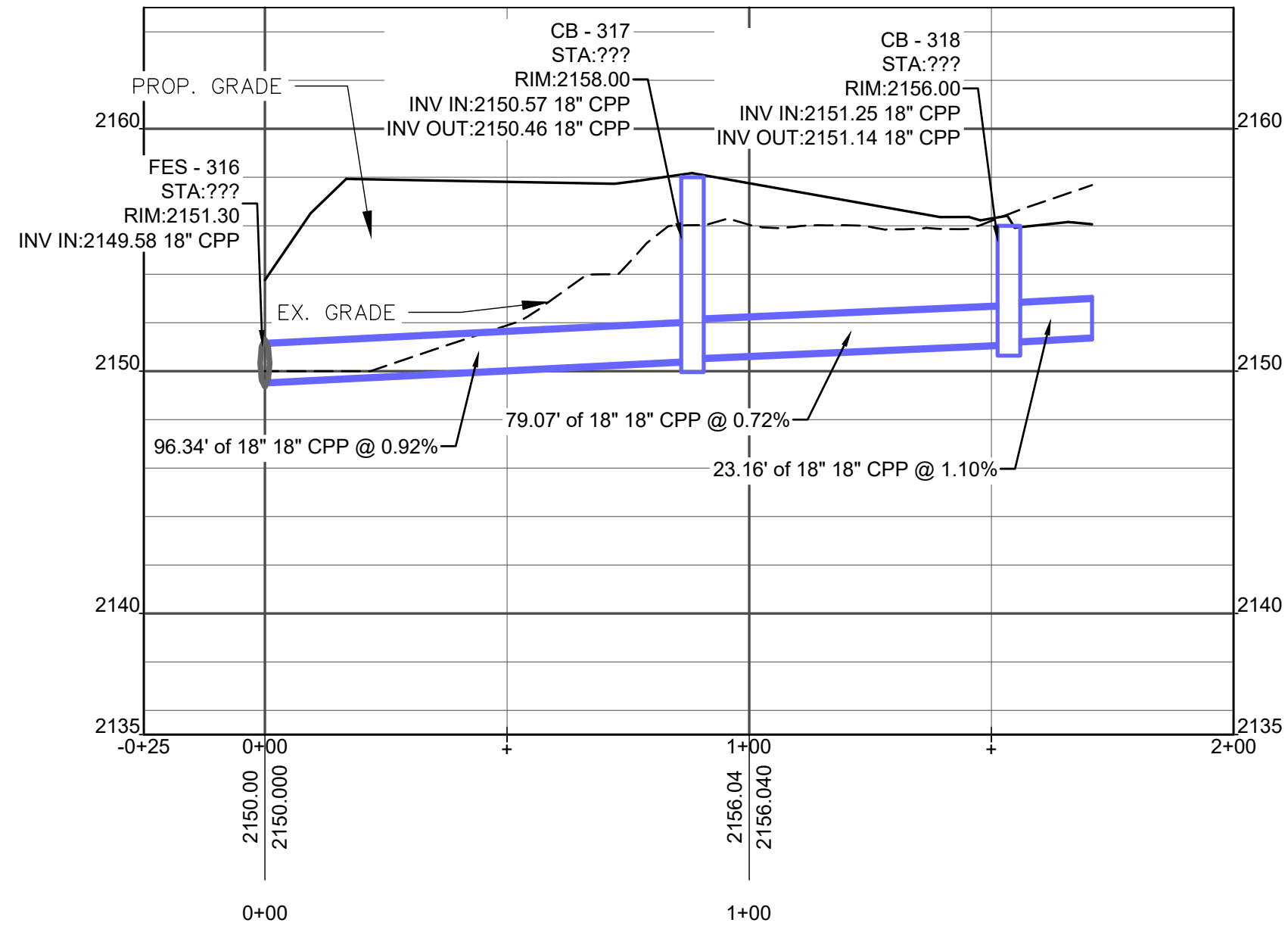
4301 TAGGART CREEK ROAD
CHARLOTTE, NC 28208
Phone: 704.304.1113
Email: info@3notch.com
License No. C-4973

SIGNAL HILL
SIGNAL HILL ROAD
HENDERSONVILLE, NORTH CAROLINA

SHEET TITLE:
STORM PLAN & PROFILE - 2

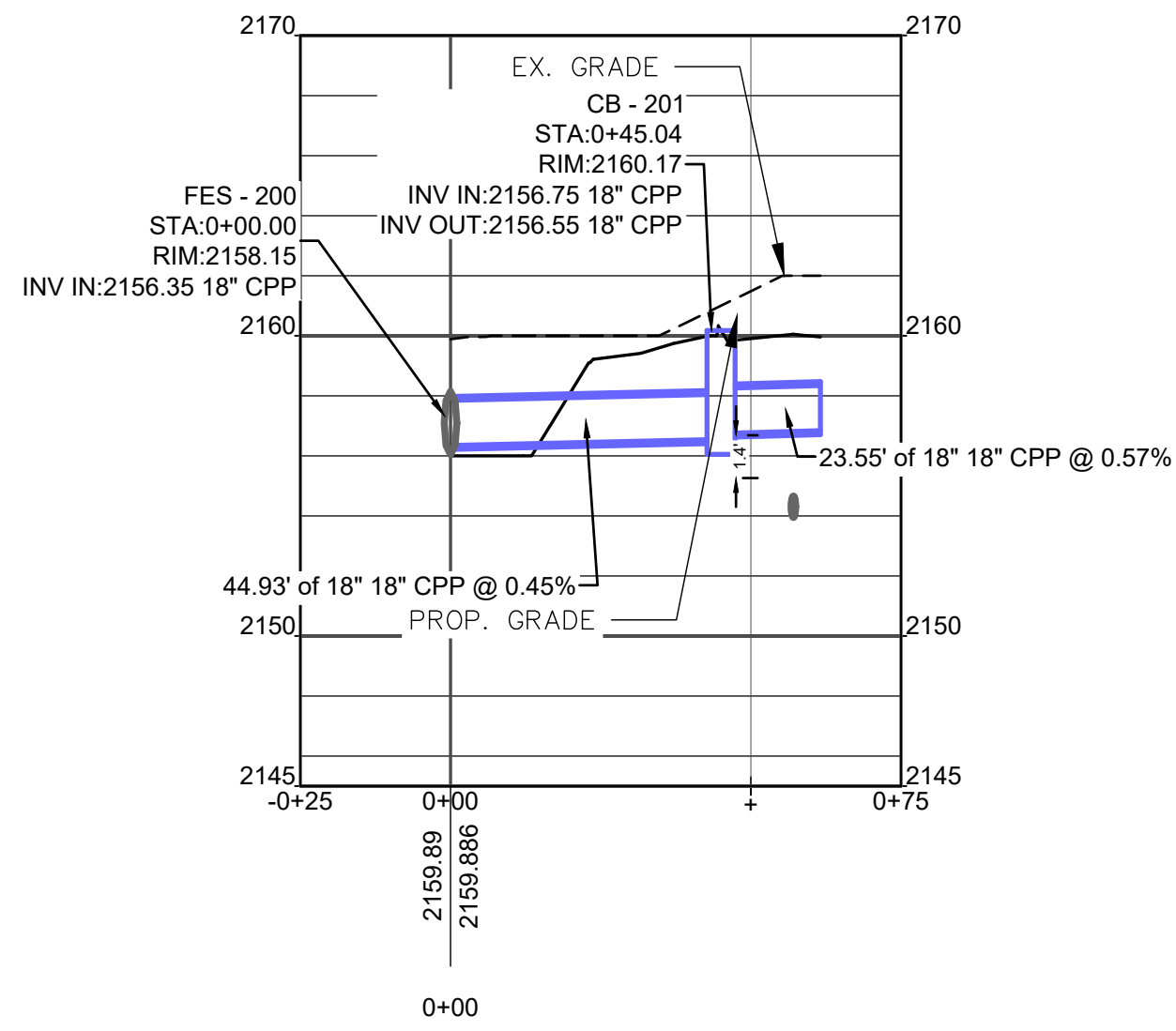
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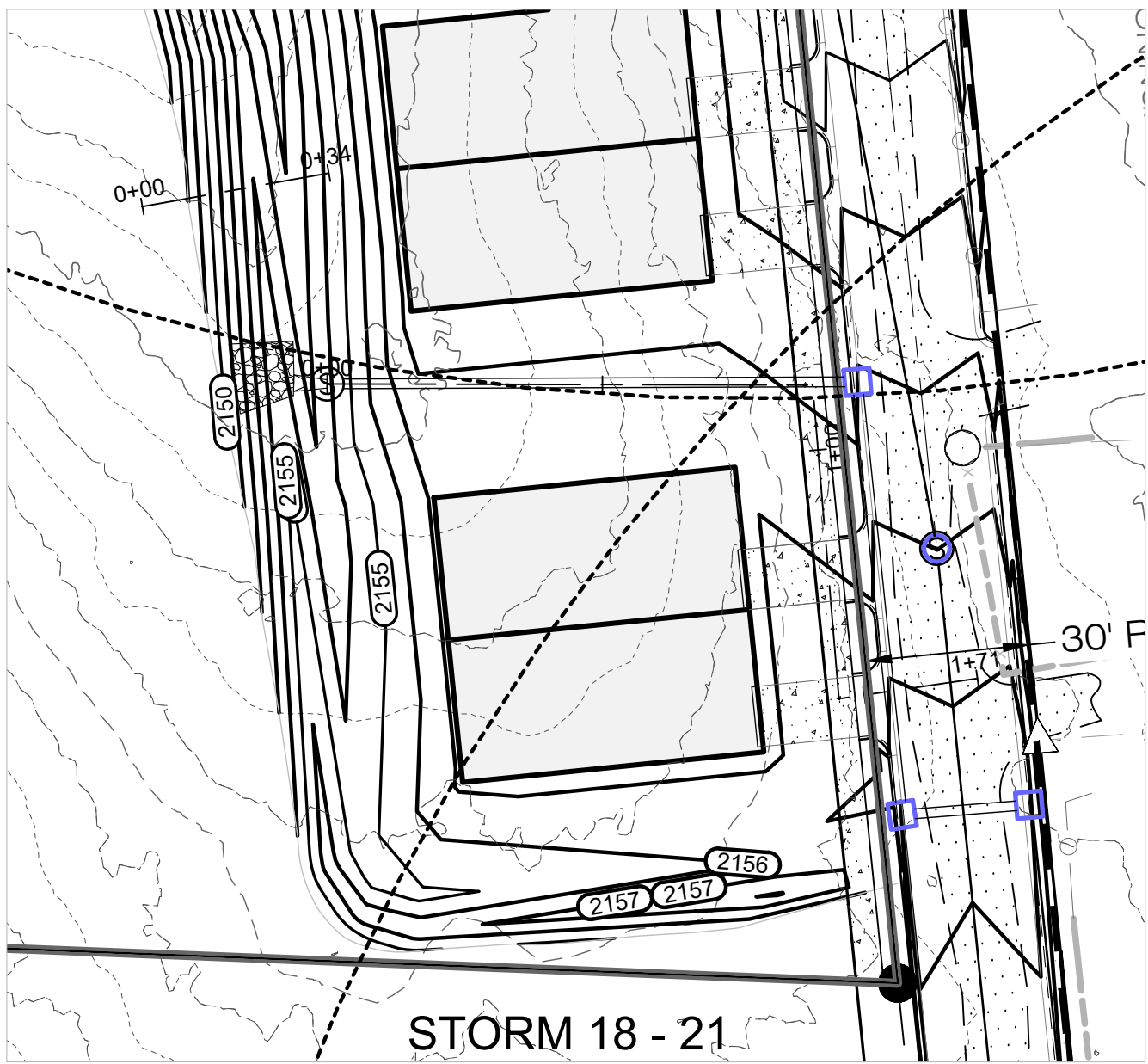
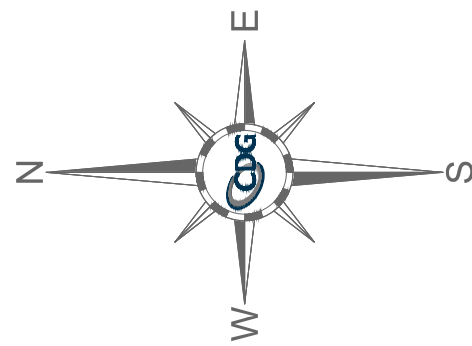
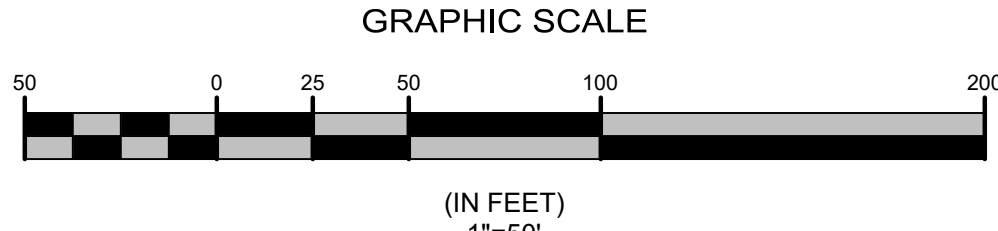
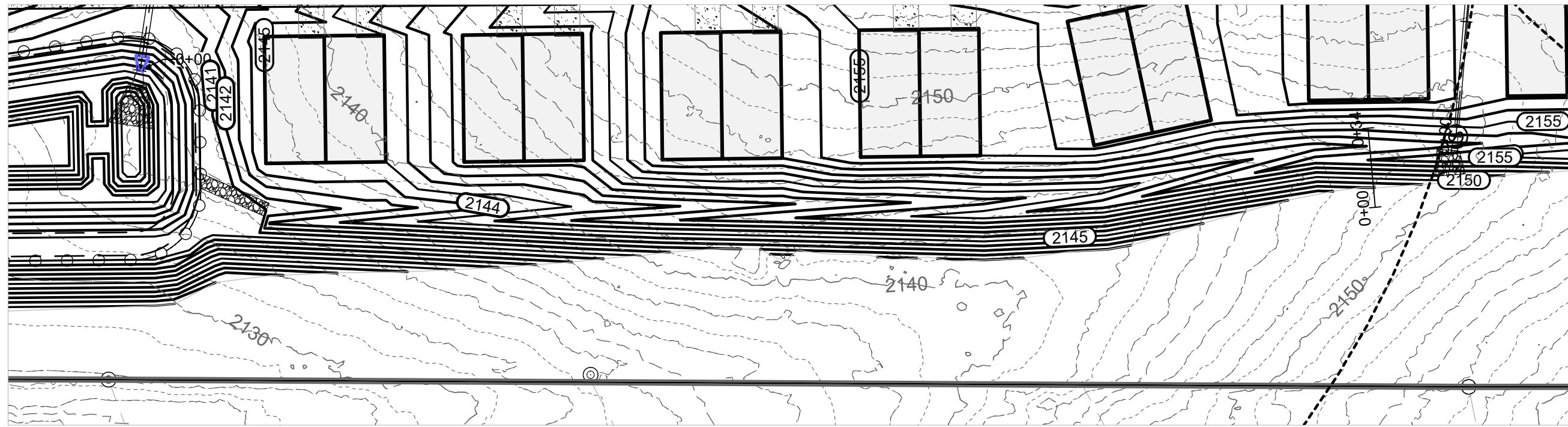
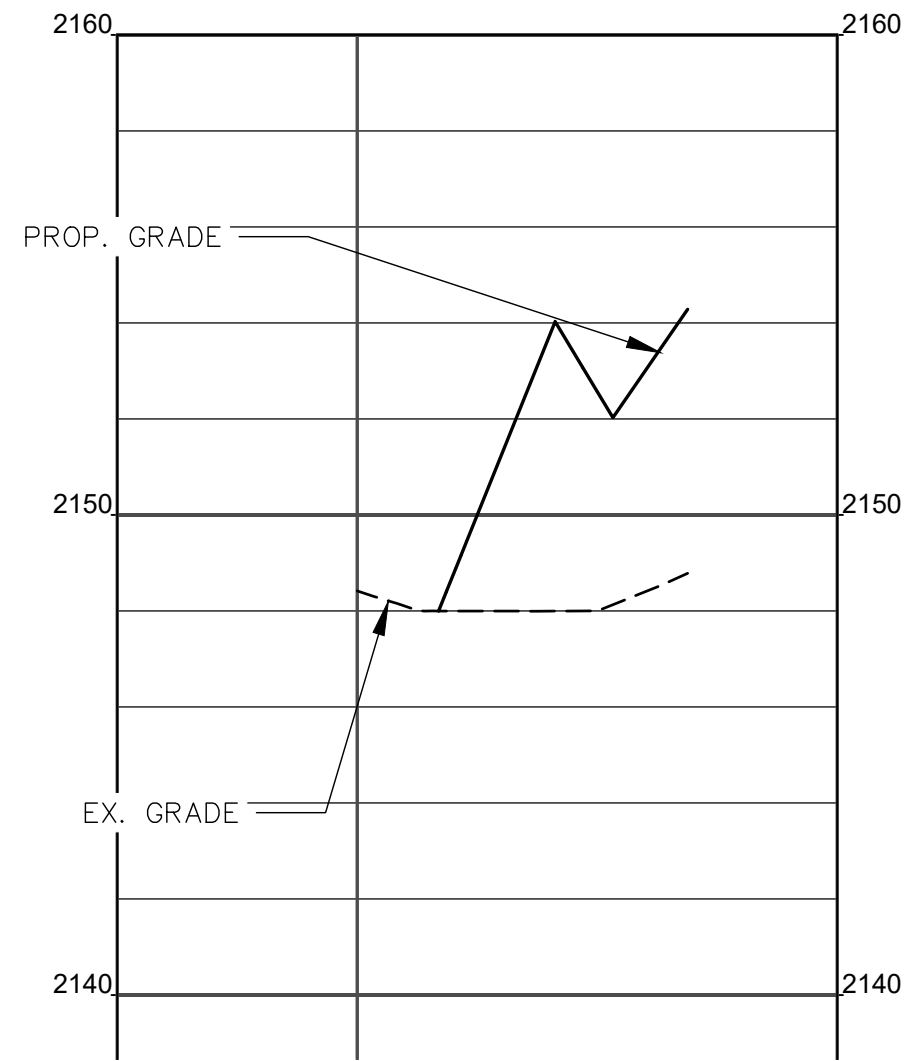
PROFILE SCALE:

H: 1" = 30'
V: 1" = 6'

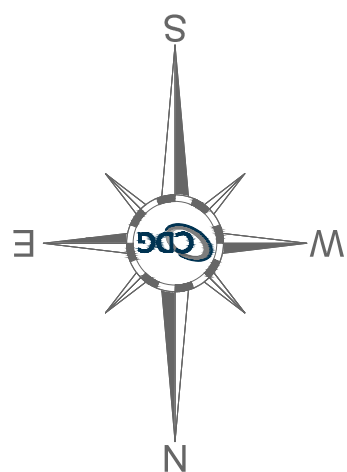
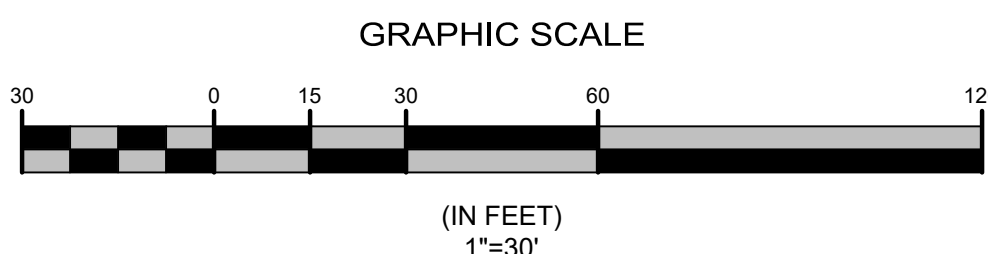
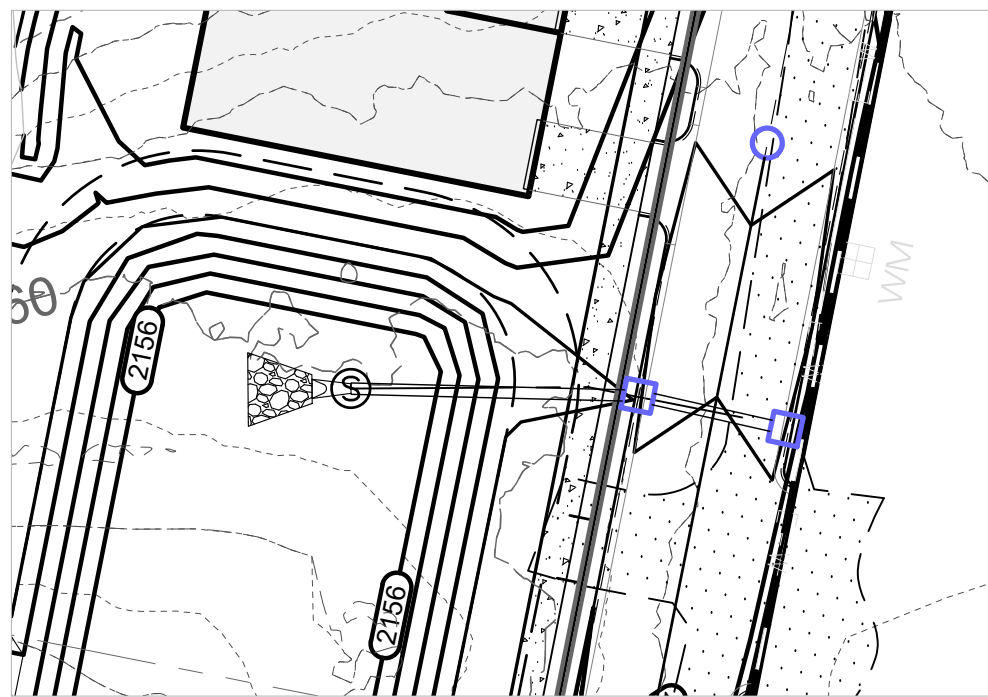
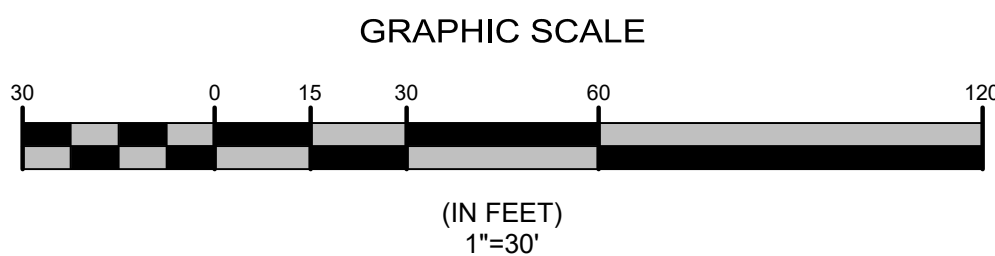


PROFILE SCALE:

H: 1" = 30'
V: 1" = 6'



STORM 18 - 21



STORM CALCULATIONS

100 - NETWORK

Line No.	Line ID	Dmg Area	Line Size	Line Length	Line Slope	Line Type	Invert Dn	Invert Up	Incr Q	Vel Dn	Vel Up	HGL Dn	HGL Up
		(ac)	(in)	(ft)	(%)		(ft)	(ft)	(cfs)	(ft/s)	(ft/s)	(ft)	(ft)
1	RSR-101 - FES-100	0.01	18	37.326	0.99	Cir	2134.63	2135.00	0.04	0.04	1.22	2135.41	2135.07

200 - NETWORK

Line No.	Line ID	Dmg Area	Line Size	Line Length	Line Slope	Line Type	Invert Dn	Invert Up	Incr Q	Vel Dn	Vel Up	HGL Dn	HGL Up
		(ac)	(in)	(ft)	(%)		(ft)	(ft)	(cfs)	(ft/s)	(ft/s)	(ft)	(ft)
1	CB-201 - FES-200	0.34	18	37.085	0.54	Cir	2156.35	2156.55	1.23	4.13	3.81	2156.92	2157.15
2	CB-202 - CB-201	0.37	18	24.500	0.53	Cir	2156.75	2156.88	1.34	3.44	3.17	2157.16	2157.31
3	RSR-204 - FES-203	0.01	18	41.349	1.21	Cir	2151.50	2152.00	0.04	1.52	1.22	2151.56	2152.07

300 - NETWORK

Line No.	Line ID	Dmg Area	Line Size	Line Length	Line Slope	Line Type	Invert Dn	Invert Up	Incr Q	Vel Dn	Vel Up	HGL Dn	HGL Up
		(ac)	(in)	(ft)	(%)		(ft)	(ft)	(cfs)	(ft/s)	(ft/s)	(ft)	(ft)
1	CB-301 - FES-300	0.21	30	62.678	1.00	Cir	2129.00	2129.63	1.06	3.83	3.83	2133.73	2133.84
2	CB-302 - CB-301	0.99	30	23.359	2.01	Cir	2129.73	2130.20	5.02	2.95	2.95	2134.19	2134.21
3	CB-303 - CB-302	0.59	18	94.448	4.83	Cir	2130.73	2135.29	2.99	4.91	6.02	2134.50	2136.43
4	CB-304 - CB-303	0.14	18	162.565	3.00	Cir	2137.00	2141.88	0.71	9.96	5.25	2137.59	2142.86
5	CB-305 - CB-304	0.06	18	55.000	3.00	Cir	2143.33	2144.98	0.30	9.72	5.07	2143.89	2145.91
6	CB-308 - CB-305	0.05	18	130.469	4.00	Cir	2145.18	2150.40	0.25	1.02	2.81	2145.91	2150.75
7	CB-309 - CB-308	0.13	18	24.532	3.02	Cir	2151.26	2152.00	0.66	5.16	2.61	2151.45	2152.30
8	CB-306 - CB-305	0.32	18	23.671	1.99	Cir	2145.08	2145.55	1.62	5.69	5.03	2145.91	2146.47
9	DI-307 - CB-306	0.84	18	86.197	2.00	Cir	2145.65	2147.37	4.26	4.28	4.51	2146.47	2148.16
10	CB-310 - CB-301	0.11	18	154.064	2.00	Cir	2131.26	2134.34	0.56	2.16	4.35	2134.19	2135.09
11	CB-312 - CB-310	0.16	18	168.026	6.00	Cir	2134.44	2144.52	0.81	1.55	3.02	2135.09	2144.92
12	CB-313 - CB-312	0.08	18	25.529	5.01	Cir	2144.72	2146.00	0.41	2.95	2.29	2144.92	2146.24
13	CB-314 - CB-302	0.20	18	178.583	5.71	Cir	2130.73	2140.93	1.01	1.32	3.72	2134.50	2141.51
14	CB-315 - CB-314	0.27	18	27.156	1.99	Cir	2141.03	2141.57	1.37	2.84	3.19	2141.51	2142.01
15	CB-311 - CB-310	0.58	18	23.342	2.01	Cir	2134.44	2134.91	2.94	4.03	3.99	2135.09	2135.56
16	CB-317 - FES-316	0.04	18	88.172	0.54	Cir	2148.10	2148.58	0.20	1.45	3.47	2149.10	2149.09
17	CB-318 - CB-317	0.21	18	57.179	0.54	Cir	2148.69	2149.00	1.06	3.71	3.39	2149.15	2149.49
18	CB-319 - CB-318	0.14	18	25.421	0.59	Cir	2149.10	2149.25	0.71	1.94	2.66	2149.49	2149.56
19	RSR-321 - FES-320	0.01	24	56.616	1.01	Cir	2125.43	2126.00	0.05	0.03	1.29	2126.47	2126.08

FIRST VICTORY
542 S. CALDWELL ST.
BREVARD, NC 28712
888.884.7934

REVISIONS

REV.	DATE	COMMENTS
1	09/20/2024	ADDRESS CLIENT COMMENTS



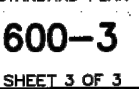
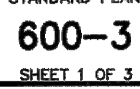
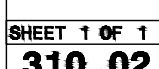
PROJECT #	656605823
DATE:	09/16/2024
DESIGN BY:	DW
DRAWN BY:	DW
APPROVED:	TMH
SCALE:	AS SHOWN

THREE NOTCH GROUP
4301 TAGGART CREEK ROAD
CHARLOTTE, NC 28208
Phone: 704.368.0013
License No. C-4973

SIGNAL HILL
SIGNAL HILL ROAD
HENDERSONVILLE, NORTH CAROLINA

SHEET TITLE:
STORM PLAN & PROFILE - 3

DRAWING NO:
20



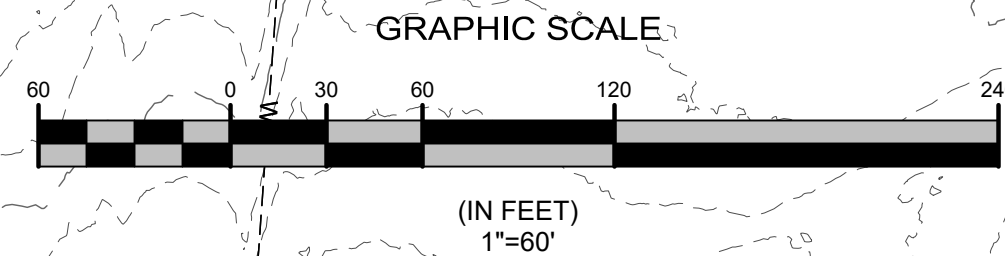
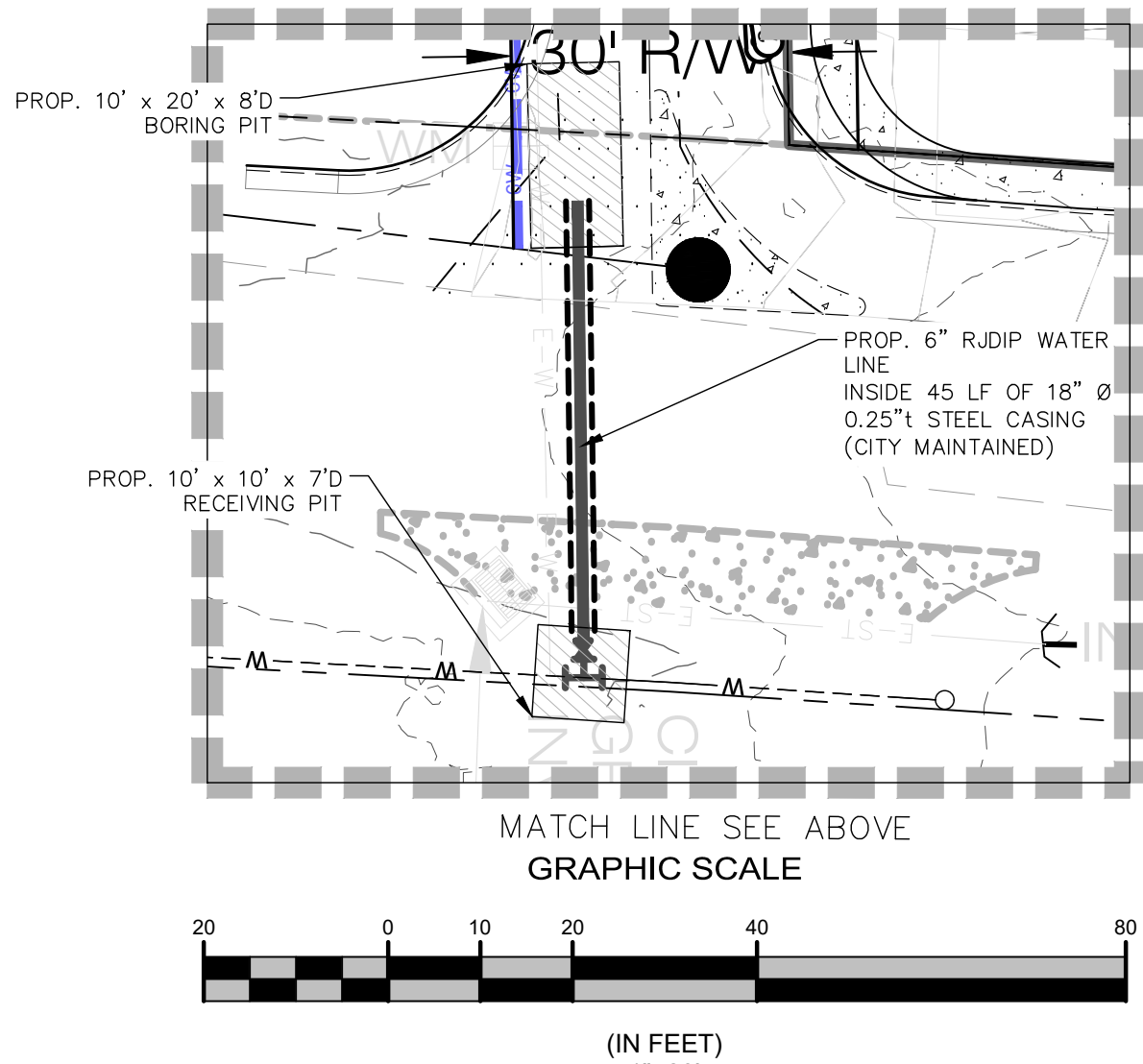
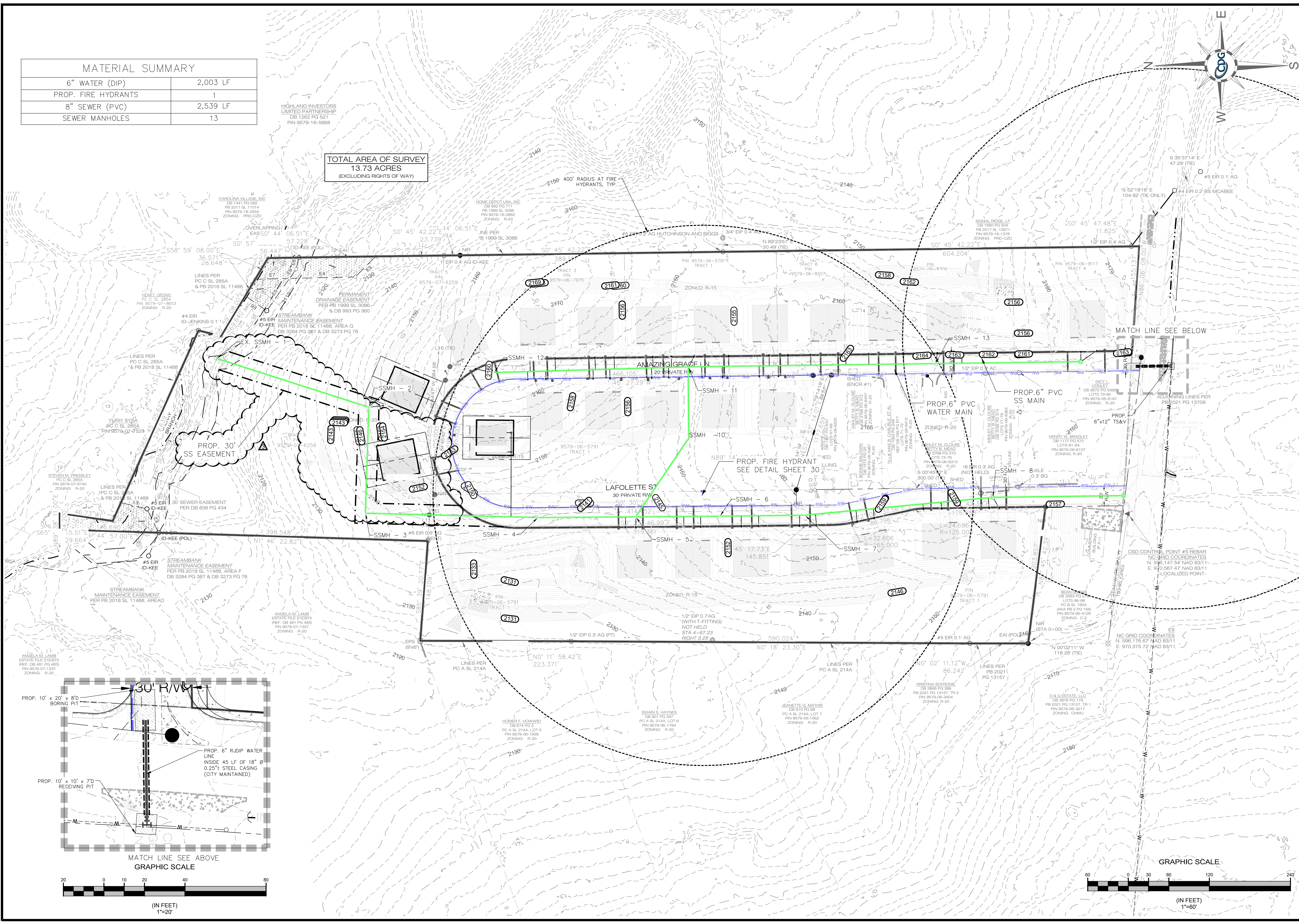
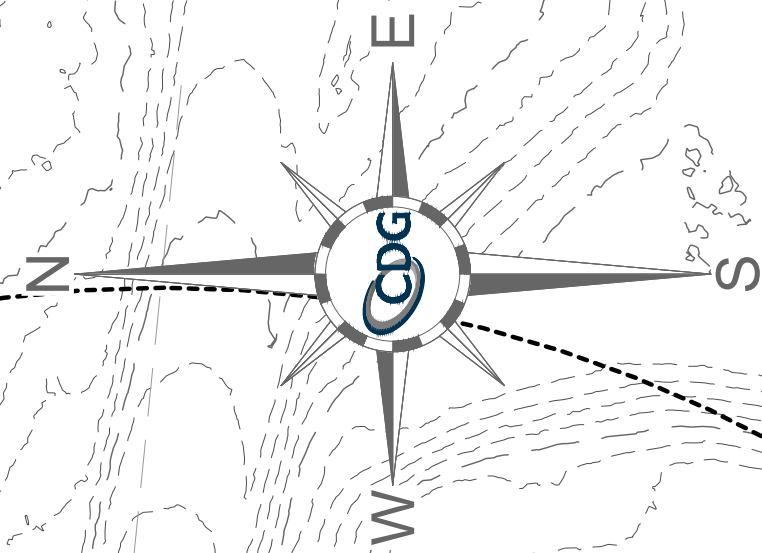
- NOTES:**
1. SECURE DRIVE-IT GALVANIZED CAP TO POST WITH 1/4" (6 mm) ROUND-HARD RIVET.
 2. H DENOTES FABRIC WIDTH AND NOMINAL FENCE HEIGHT. $H = 5'$ (1.5 m) UNLESS OTHERWISE NOTED.
 3. IF FENCE WITH TOP RAIL IS SPECIFIED, DELETE STEEL TENSION WIRE AT TOP OF POST AND PRE LAYS AT INTERMEDIATE, SPECIES, END AND CORNER POSTS. EXTEND TENSION ROD TO TOP RAIL.
 4. BARBED WIRE SHALL BE USED ONLY WHEN SPECIFIED.
 5. POST SPACING IS MAXIMUM 10' (3.0 m).
 6. FILL GALL OPENINGS GREATER THAN 5/32" (75 mm) WITH FABRIC. FOR OPENINGS LESS THAN 5/32" (450 mm), THE FABRIC TO POST.
 7. USE ONE POST FOR COMBINED SLOPE AND TENSION ROD IF TOP OF CHANNEL WALL IS CONSTRUCTED AS SHOWN FOR "ALTERNATE".
 8. STEEL BANDS AT TENSION BARS SHALL BE 1/8" x 1" (3 x 25 mm), MINIMUM, SPACED AT MAXIMUM 16" (400 mm).
 9. SECURE TENSION WIRES TO EACH LINE POST WITH THE WIRES.

22

MATERIAL SUMMARY	
6" WATER (DIP)	2,003 LF
PROP. FIRE HYDRANTS	1
8" SEWER (PVC)	2,539 LF
SEWER MANHOLES	13

HIGHLAND INVESTORS
LIMITED PARTNERSHIP
DB 1262 PG 521
PIN 9579-16-9868

TOTAL AREA OF SURVEY
13.73 ACRES
(EXCLUDING RIGHTS OF WAY)



REVISIONS

REV.	DATE	COMMENTS
3	02/18/2025	ADDRESS CITY & COUNTY COMMENTS

ENGINEER'S SEAL:



PROJECT # 656405823

DATE:	09/16/2024
DESIGN BY:	DW
DRAWN BY:	DW
APPROVED:	TMH
SCALE:	AS SHOWN

THREE NOTCH GROUP

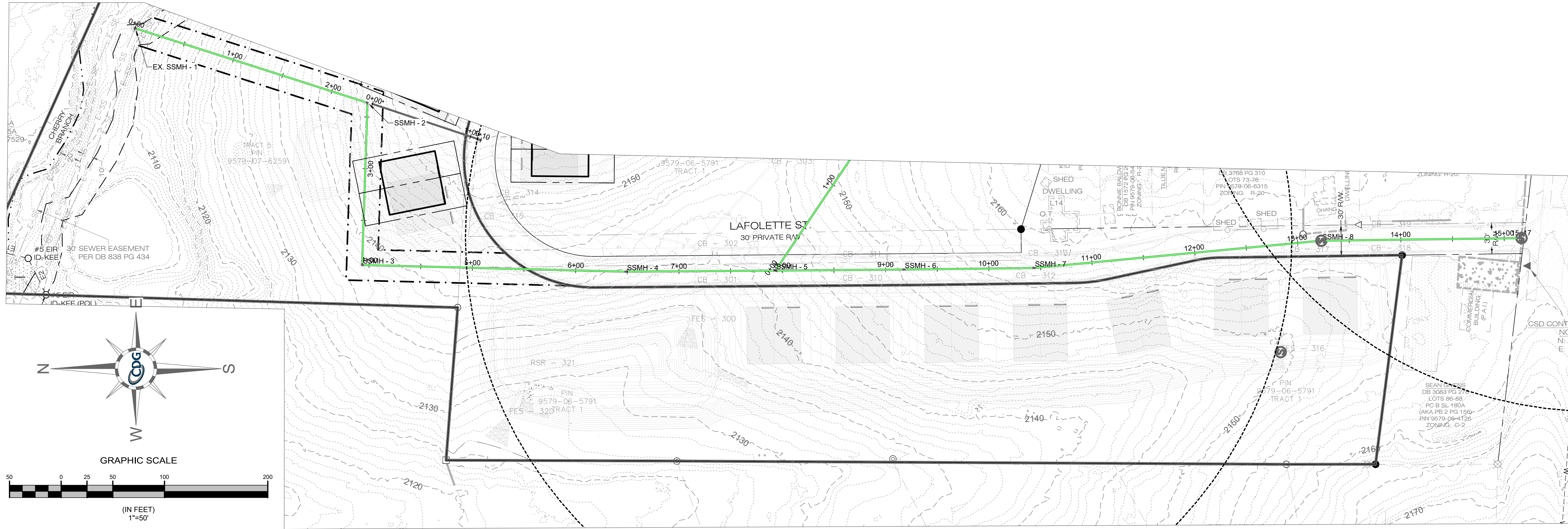
4301 TAGGART CREEK ROAD
CHARLOTTE, NC 28208
Phone: 304-968-6913
License No. C-4973

SIGNAL HILL
SIGNAL HILL ROAD
HENDERSONVILLE, NORTH CAROLINA

SHEET TITLE:
UTILITY PLAN

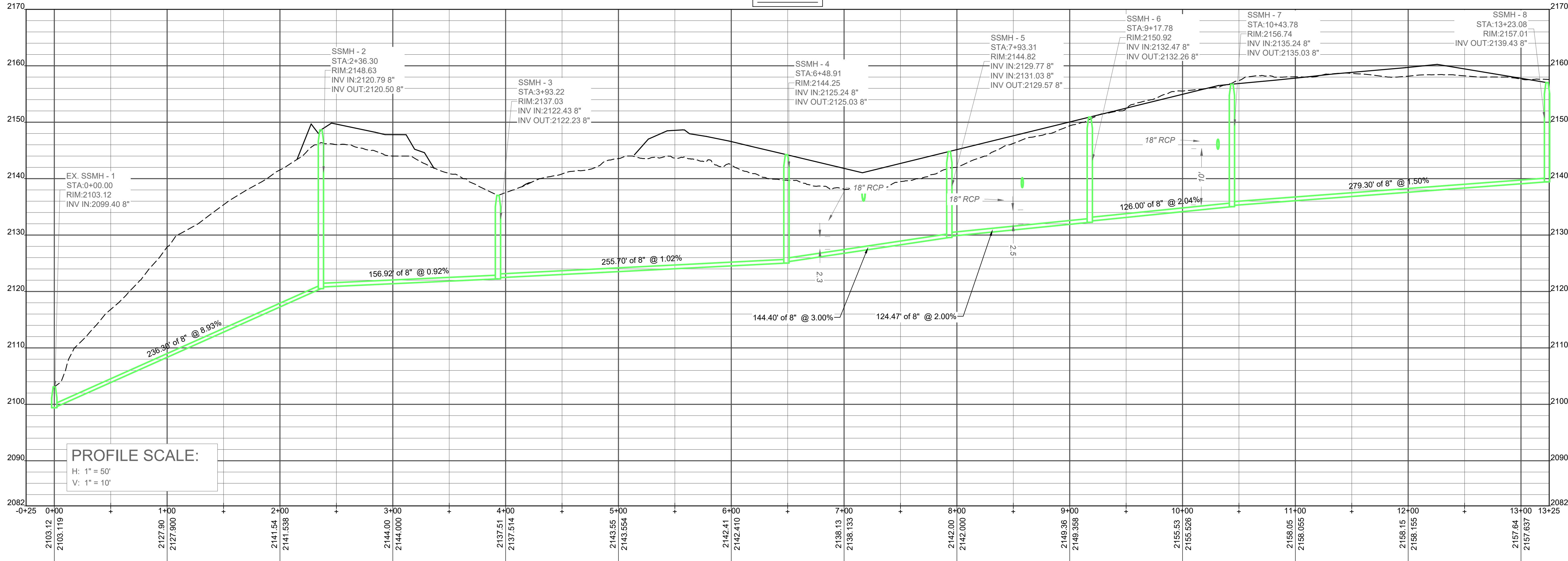
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Y:\shared2\ENGINEERING\DESIGN\DWG\SSPLAN PROFILE SSN.dwg 5/15/2025 4:42 PM Tody Hems



PROFILE SCALE:
H: 1" = 50'
V: 1" = 10'

SS 1-9



FIRST VICTORY
542 S. CALDWELL ST.
BREVARD, NC 28712
888.884.7934

REVISIONS

REV.	DATE	COMMENTS

ENGINEER'S SEAL:



09/16/2024

PROJECT #	656605823
DATE:	09/16/2024
DESIGN BY:	DW
DRAWN BY:	DW
APPROVED:	THH
SCALE:	AS SHOWN

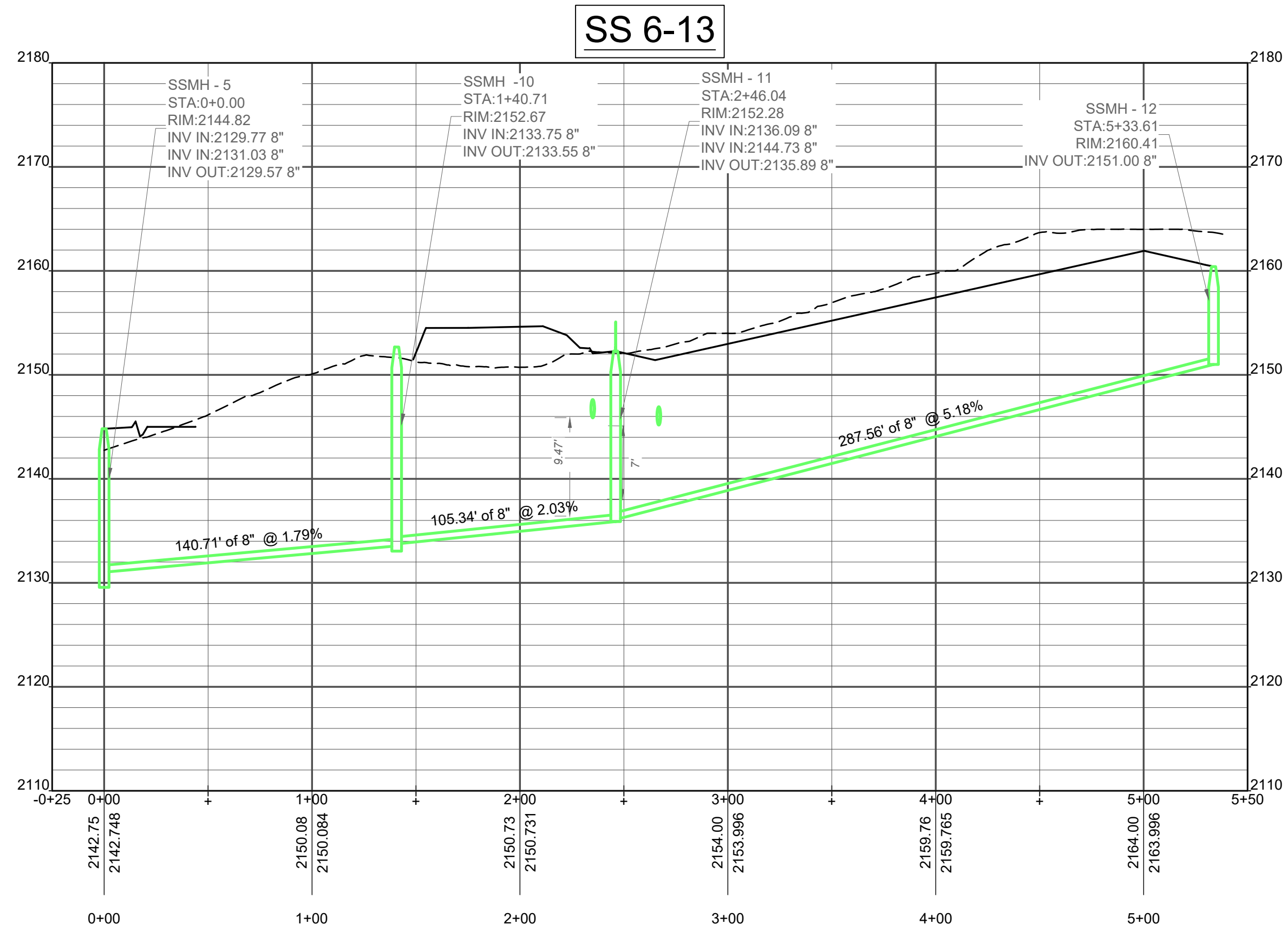
THREE NOTCH GROUP

4301 TAGGART CREEK ROAD
CHARLOTTE, NC 28208
Phone: 704.308.6615
License No. C-4973

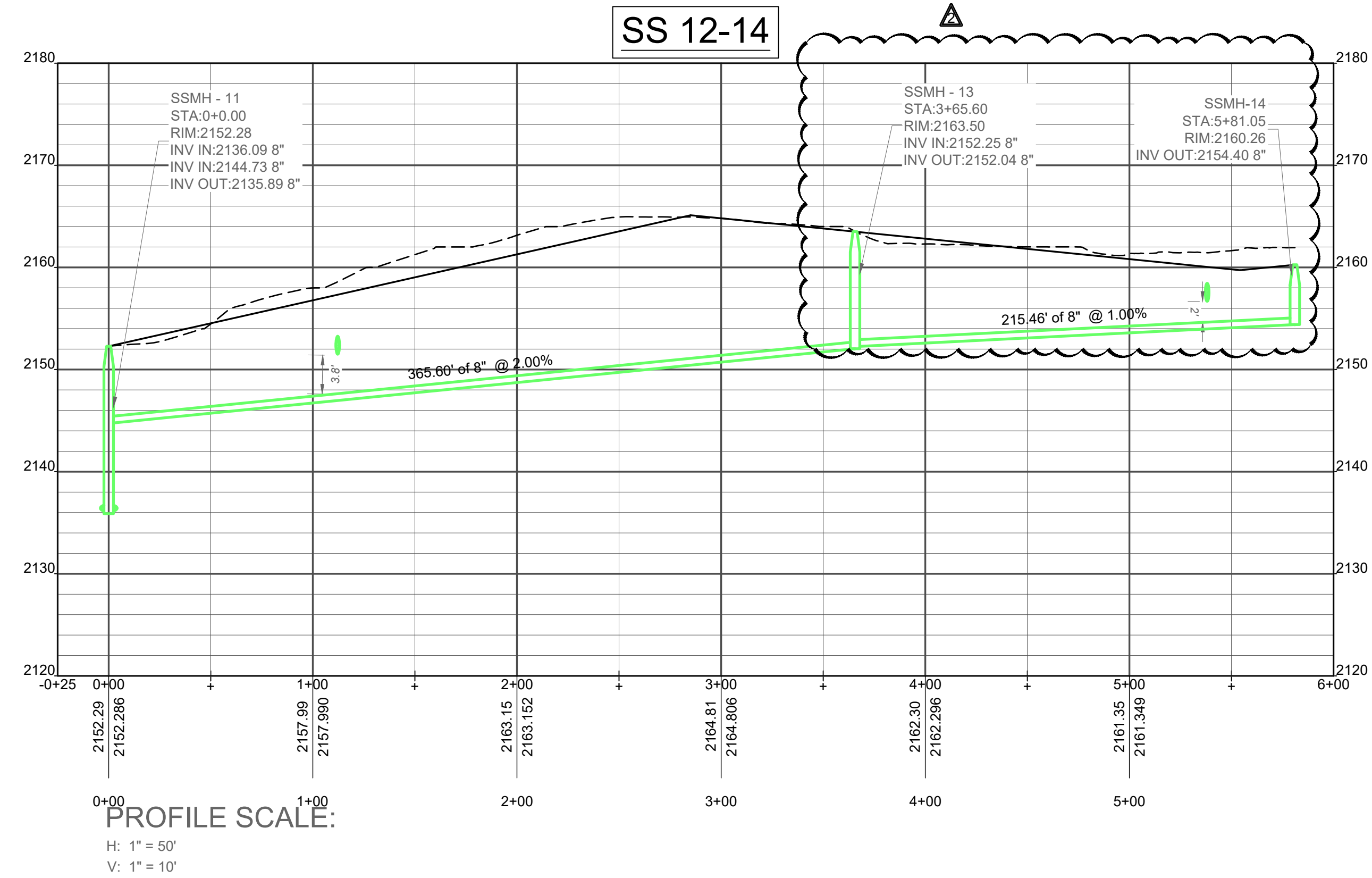
SIGNAL HILL
SIGNAL HILL ROAD
HENDERSONVILLE, NORTH CAROLINA

SHEET TITLE:
SANITARY SEWER PLAN &
PROFILE - 1

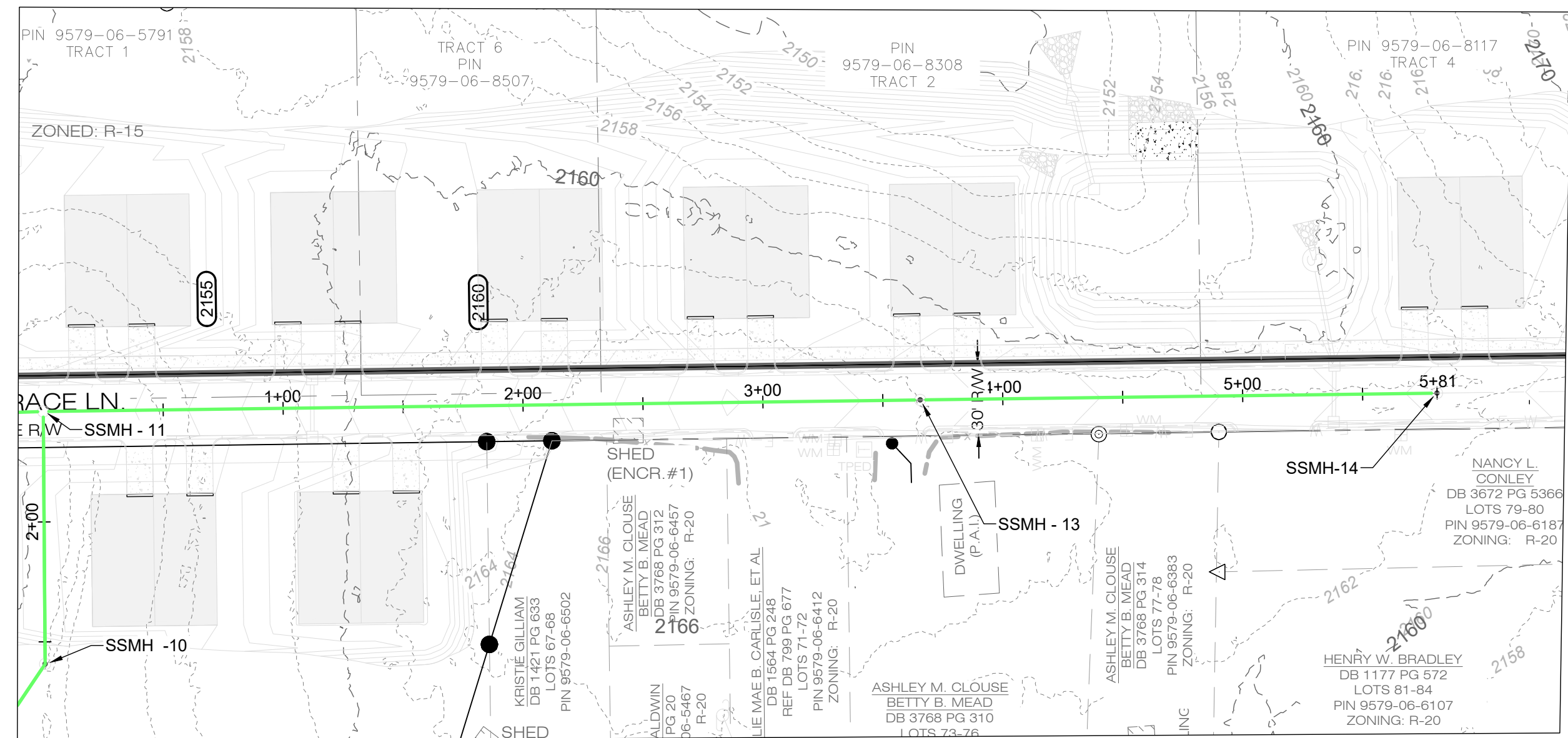
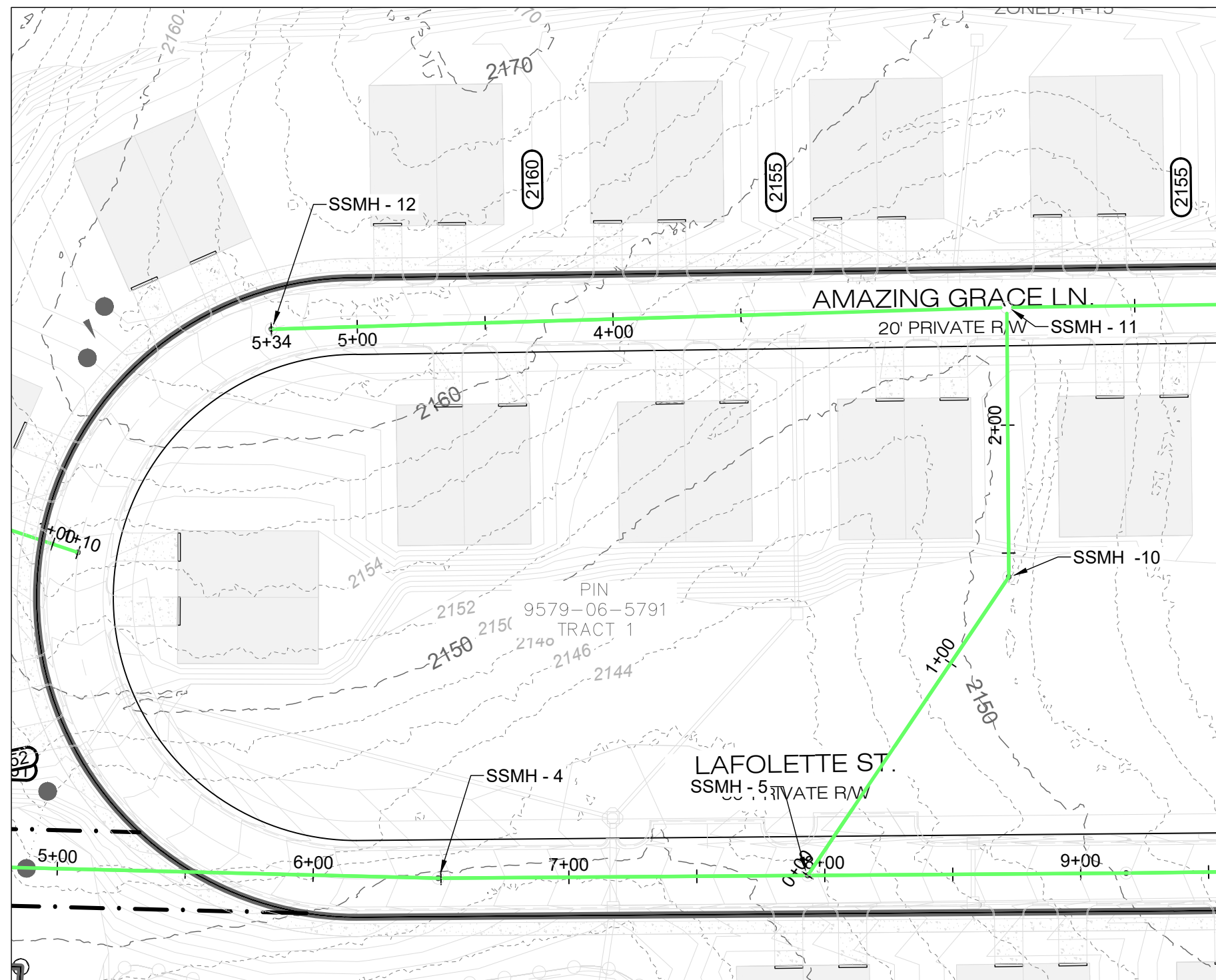
DRAWING NO:
24



PROFILE SCALE:
H: 1" = 50'
V: 1" = 10'



PROFILE SCALE:
H: 1" = 50'
V: 1" = 10'



FIRST VICTORY
542 S. CALDWELL ST.
BREVARD, NC 28712
828.884.7934

REVISIONS

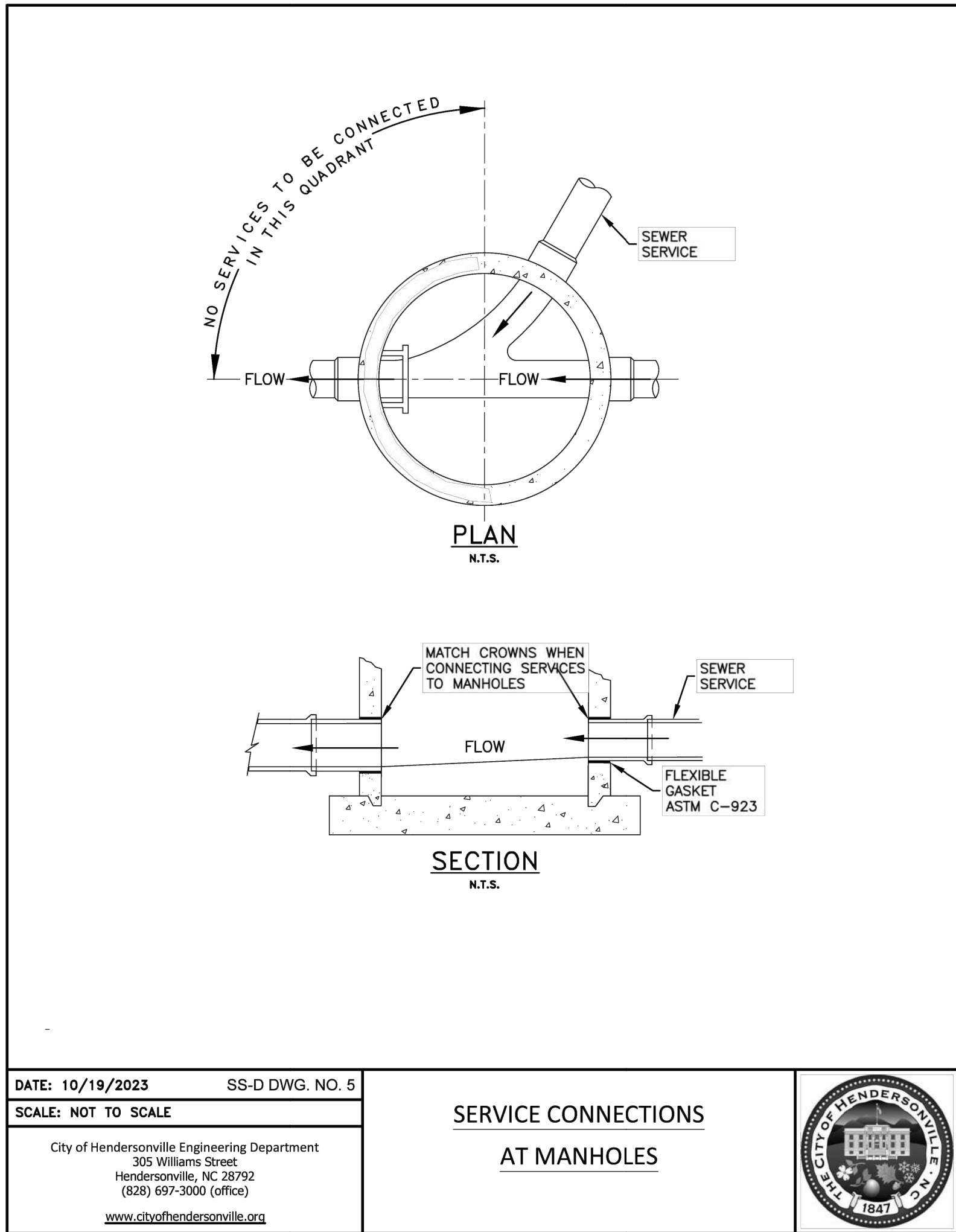
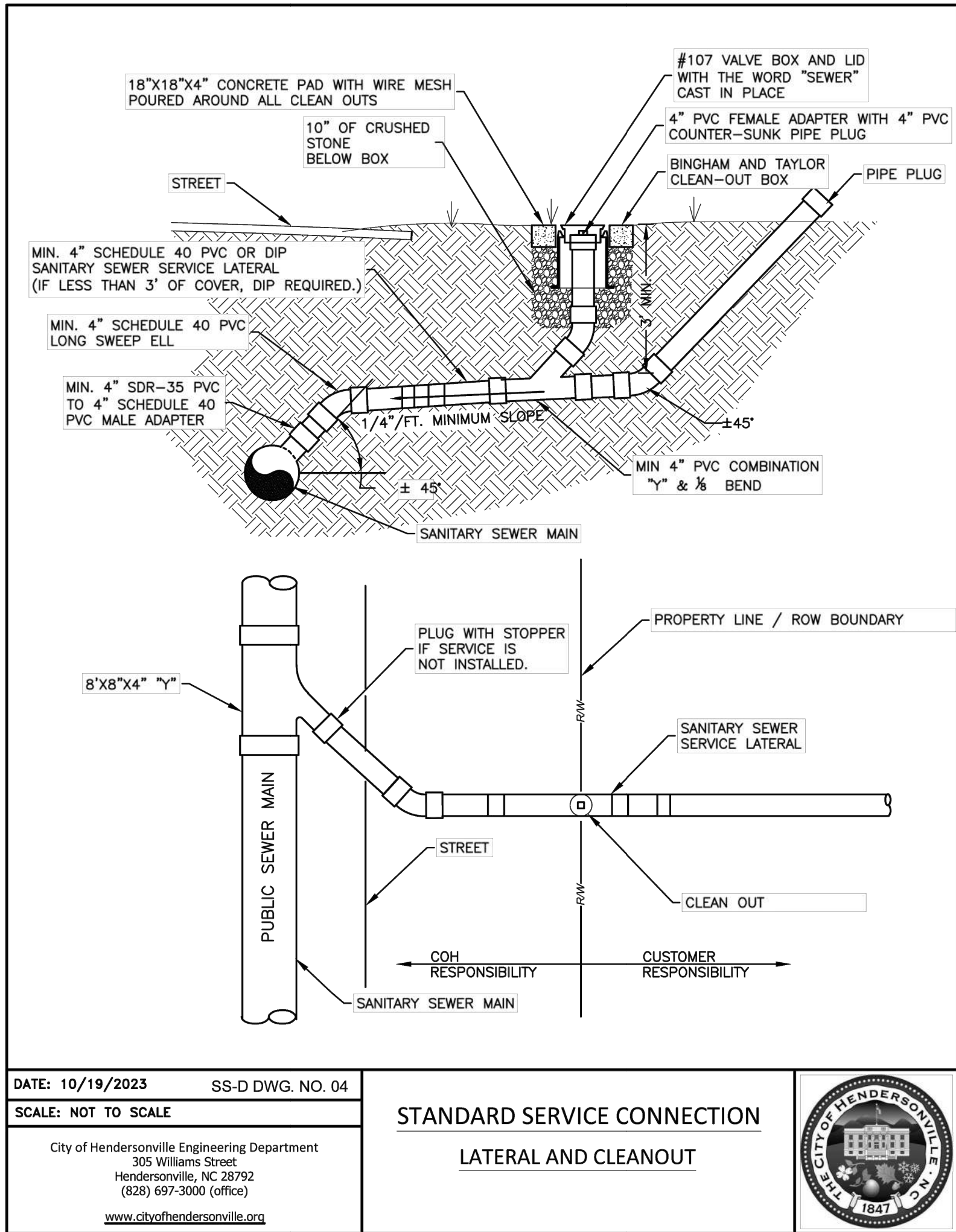
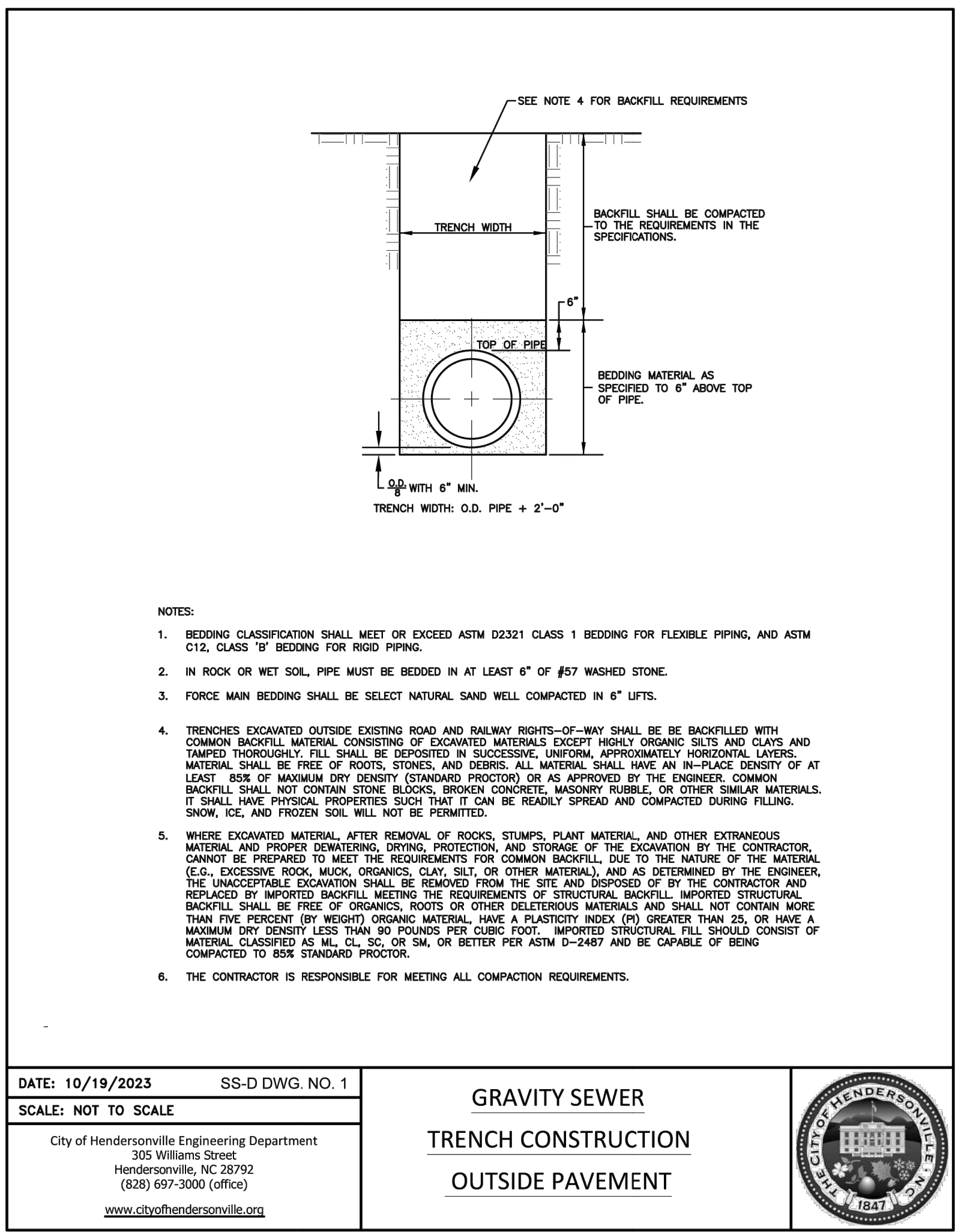
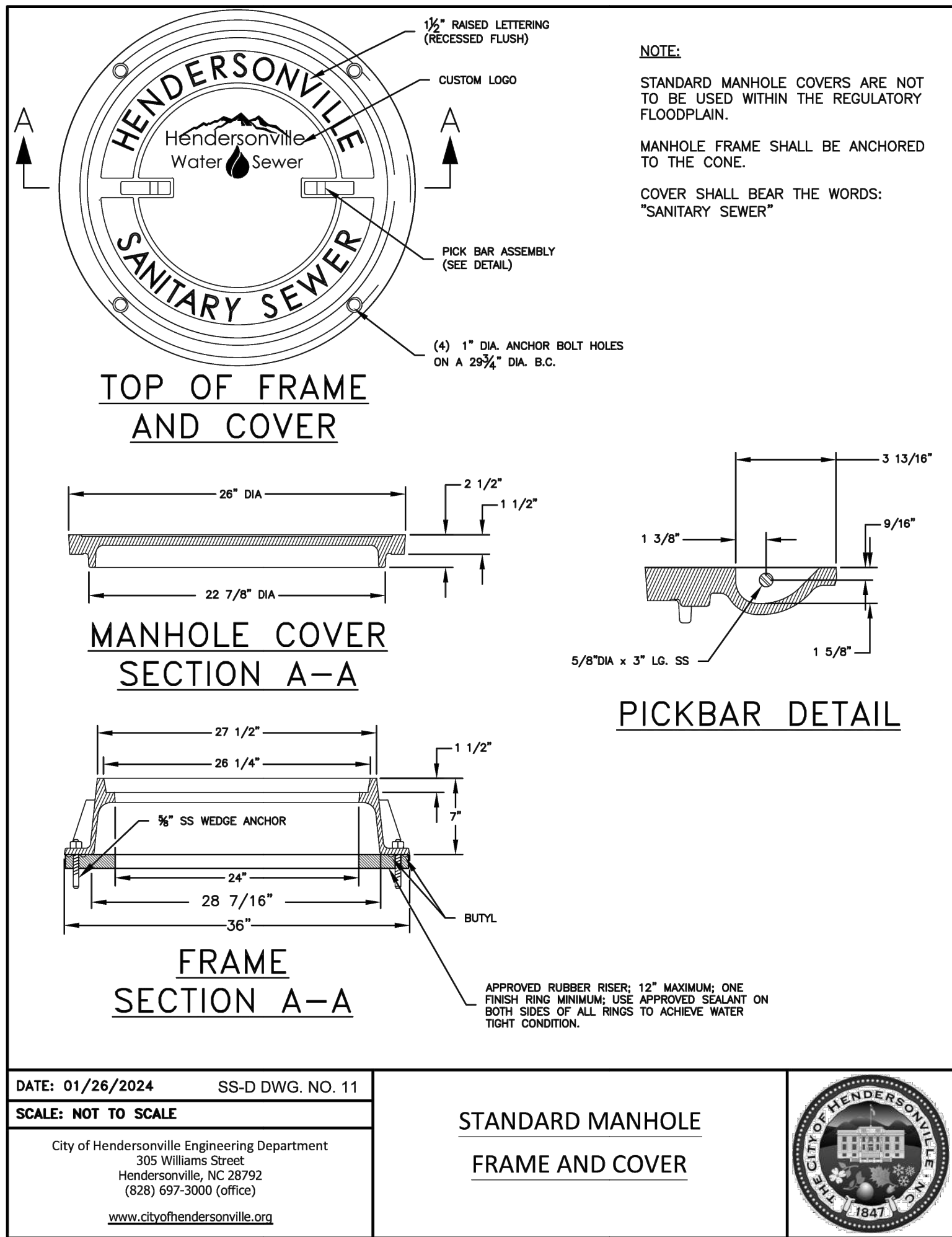
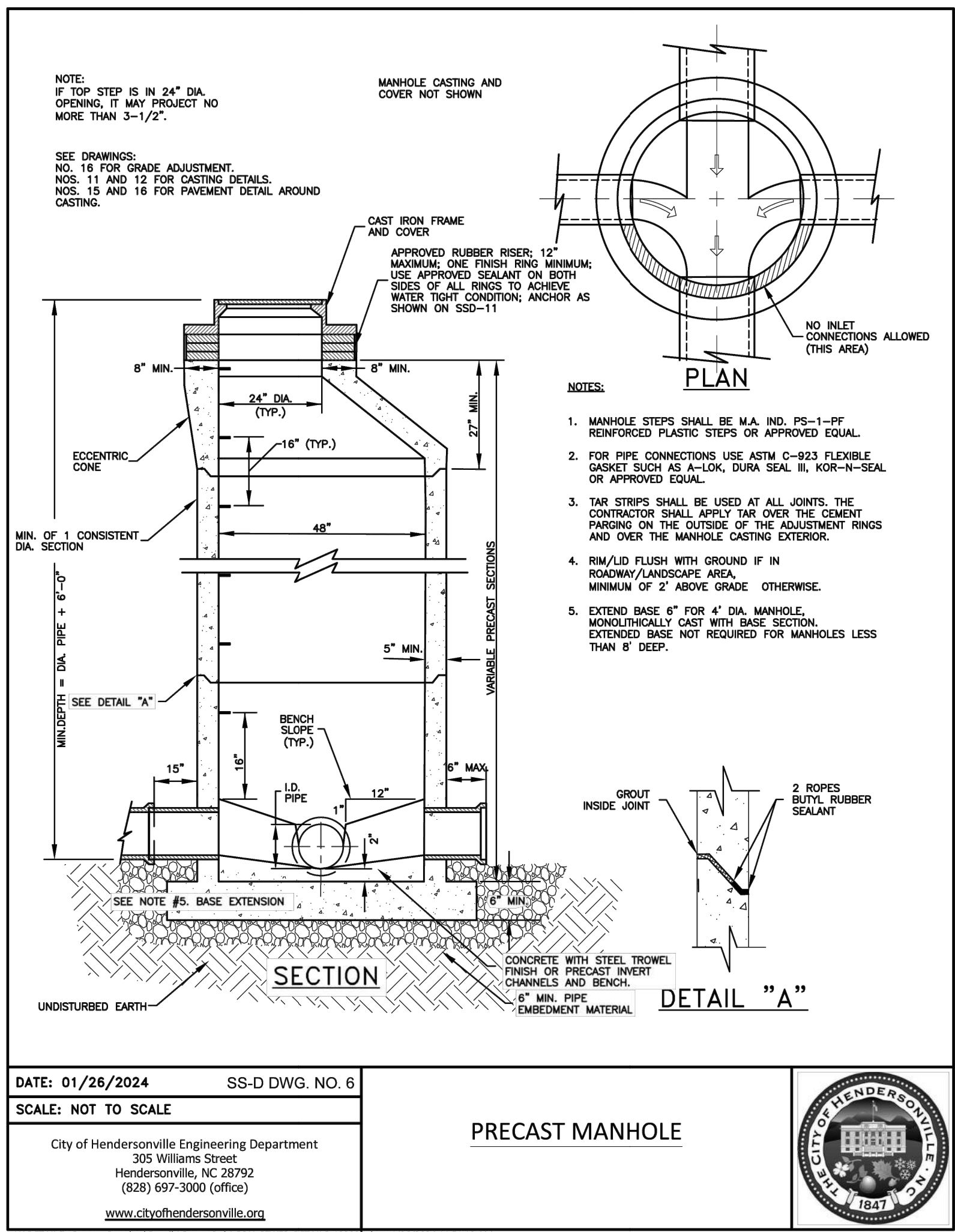
REV.	DATE	COMMENTS
2	01/31/2025	ADDRESS CITY & COUNTY COMMENTS



PROJECT #	656605823
DATE:	09/16/2024
DESIGN BY:	DW
DRAWN BY:	DW
APPROVED:	TMH
SCALE:	AS SHOWN

THREE NOTCH GROUP
4301 TAGGART CREEK ROAD
CHARLOTTE, NC 28208
Phone: 704-384-6913
www.3notch.com
License No. C-4973

SIGNAL HILL
SIGNAL HILL ROAD
HENDERSONVILLE, NORTH CAROLINA
SHEET TITLE:
SANITARY SEWER PLAN &
PROFILE - 2
DRAWING NO: 25



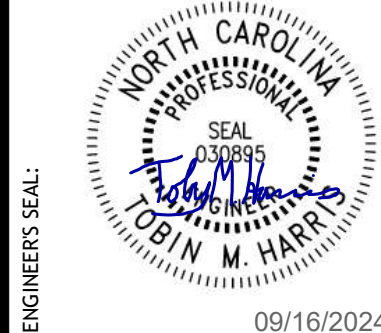
FIRST VICTORY
542 S. CALDWELL ST.
BREVARD, NC 28712
828.884.7934

REVISIONS

COMMENTS

DATE

REV.



PROJECT #	656605823
DATE:	09/16/2024
DESIGN BY:	DW
DRAWN BY:	DW
APPROVED:	THH
SCALE:	AS SHOWN

THREE NOTCH GROUP

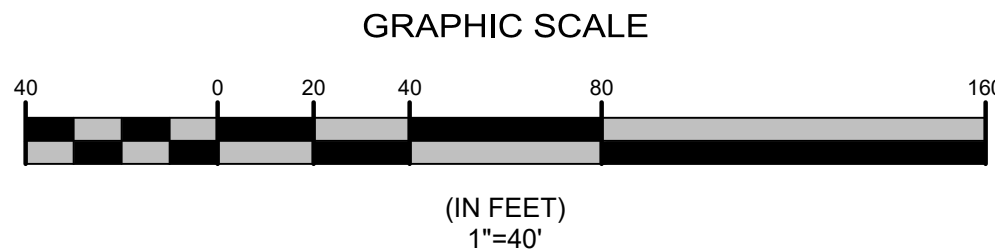
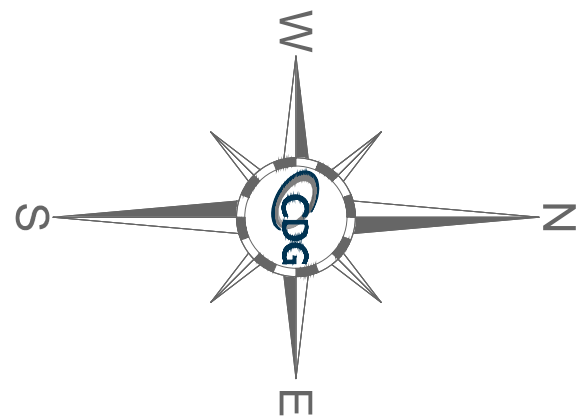
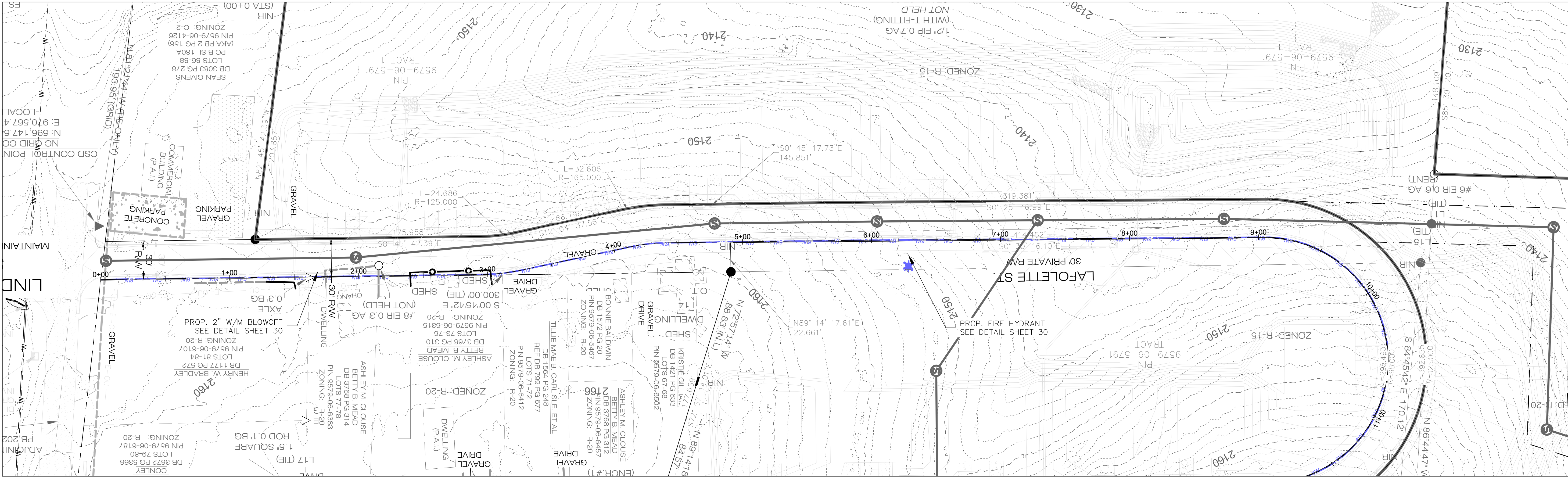
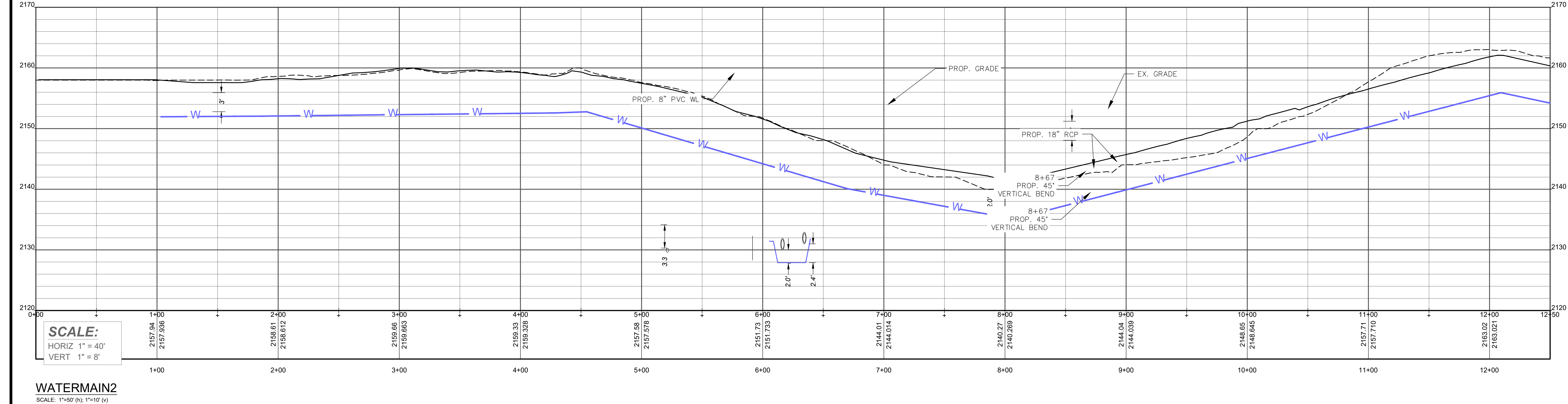
4301 TAGGART CREEK ROAD
CHARLOTTE, NC 28208
Phone: 704.304.4000
www.thre notch.com
License No. C-4973

SIGNAL HILL
SIGNAL HILL ROAD
HENDERSONVILLE, NORTH CAROLINA

SANITARY SEWER DETAILS

26

Y:\shared2\ENGR\66060623E_DESIGN\DWG\SHS\WATER PLAN PROFILE.dwg, 5/16/2025, 4:45 PM, Tcdy/Hrms



FIRST VICTORY
542 S. CALDWELL ST.
BREVARD, NC 28712
888.884.7934

REVISIONS

REV.	DATE	COMMENTS

ENGINEER'S SEAL:



09/16/2024

PROJECT #	656405823
DATE:	09/16/2024
DESIGN BY:	DW
DRAWN BY:	DW
APPROVED:	TMH
SCALE:	#####

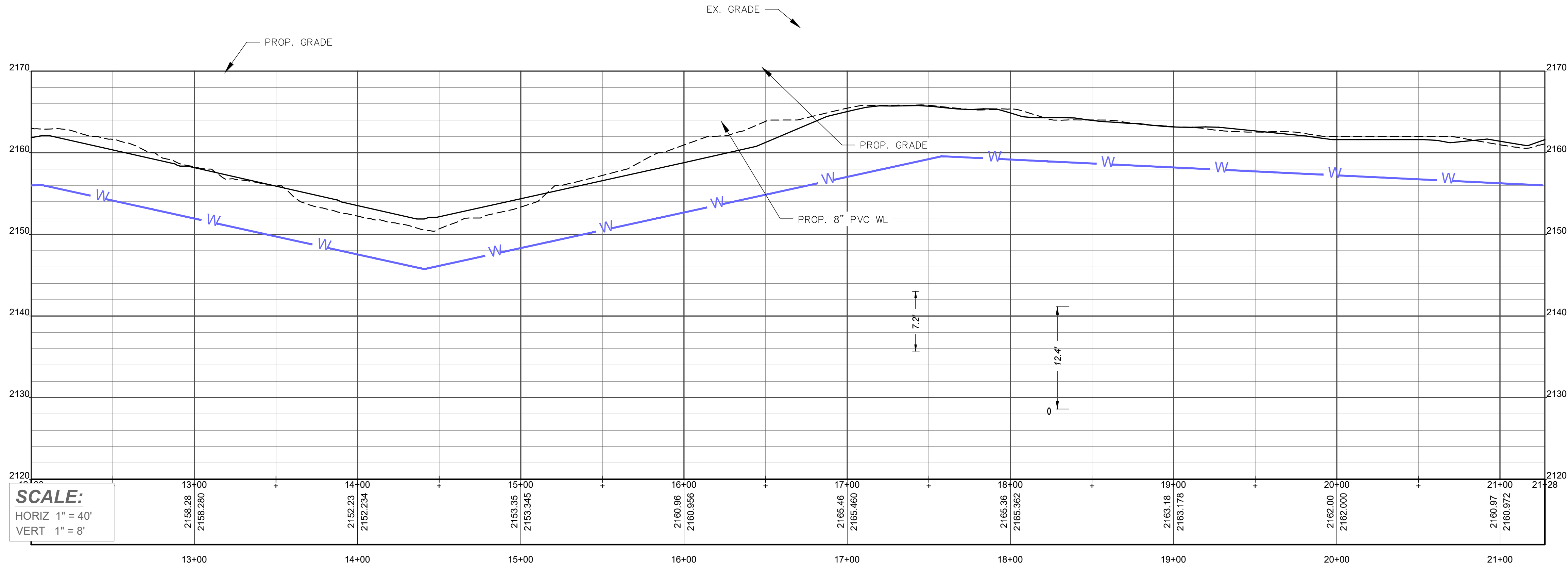
THREE NOTCH GROUP

4301 TAGGART CREEK ROAD
CHARLOTTE, NC 28208
Phone: 304-666-6913
License No. C-4973

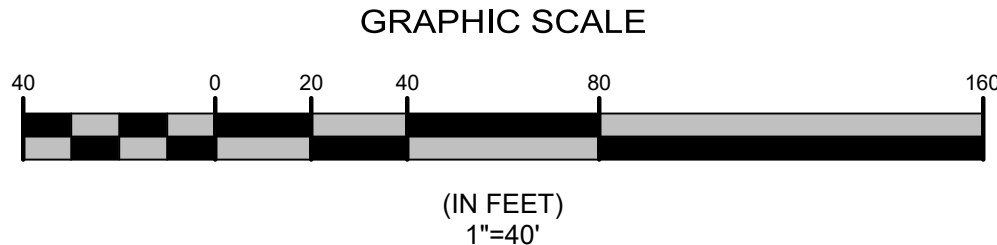
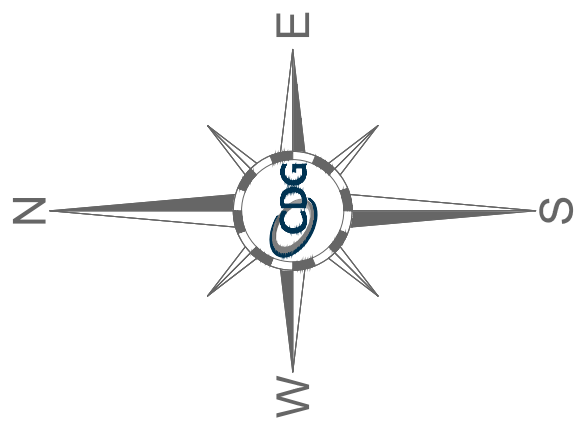
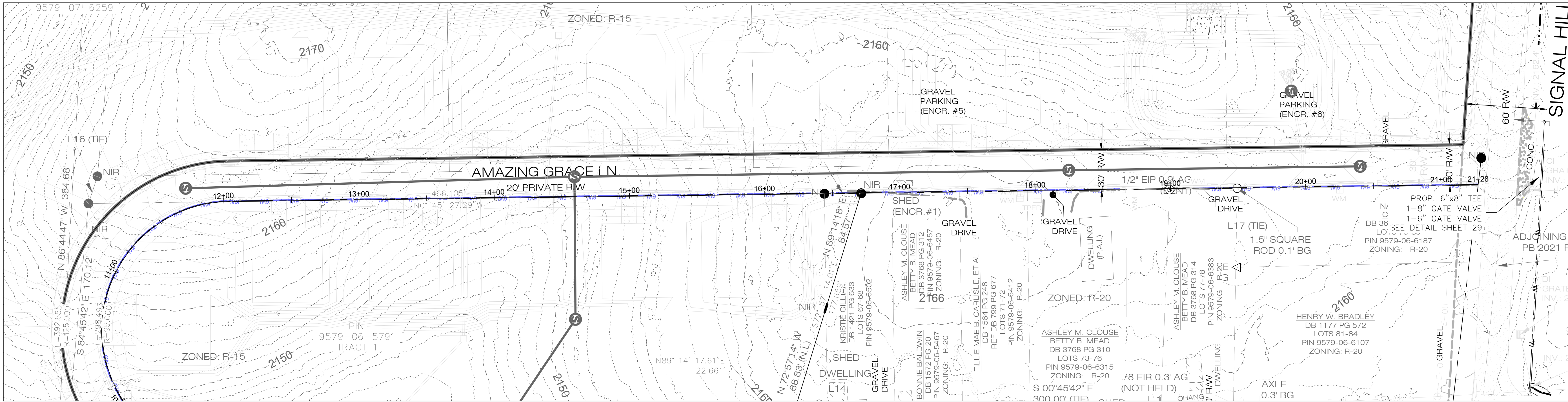
SIGNAL HILL
SIGNAL HILL ROAD
HENDERSONVILLE, NORTH CAROLINA

SHEET TITLE:
WATERMAIN PLAN & PROFILE
0+00 - 11+00

DRAWING NO:
27



WATERMAIN2
SCALE: 1"=50' (H), 1"=10' (V)



FIRST VICTORY
542 S. CALDWELL ST.
BREVARD, NC 28712
828.884.7934

REVISIONS

REV.	DATE	COMMENTS

ENGINEER'S SEAL:



09/16/2024

PROJECT #	656-05823
DATE:	09/16/2024
DESIGN BY:	DW
DRAWN BY:	DW
APPROVED:	TMH
SCALE:	#####

THREE NOTCH GROUP

4301 TAGGART CREEK ROAD
CLARKESVILLE, NC 28626
Phone: 704-394-6813
www.3notch.com
License No. C-4973

SIGNAL HILL
SIGNAL HILL ROAD
HENDERSONVILLE, NORTH CAROLINA

WATERMAIN PLAN & PROFILE
11+00 - 22+00

DRAWING NO: 28

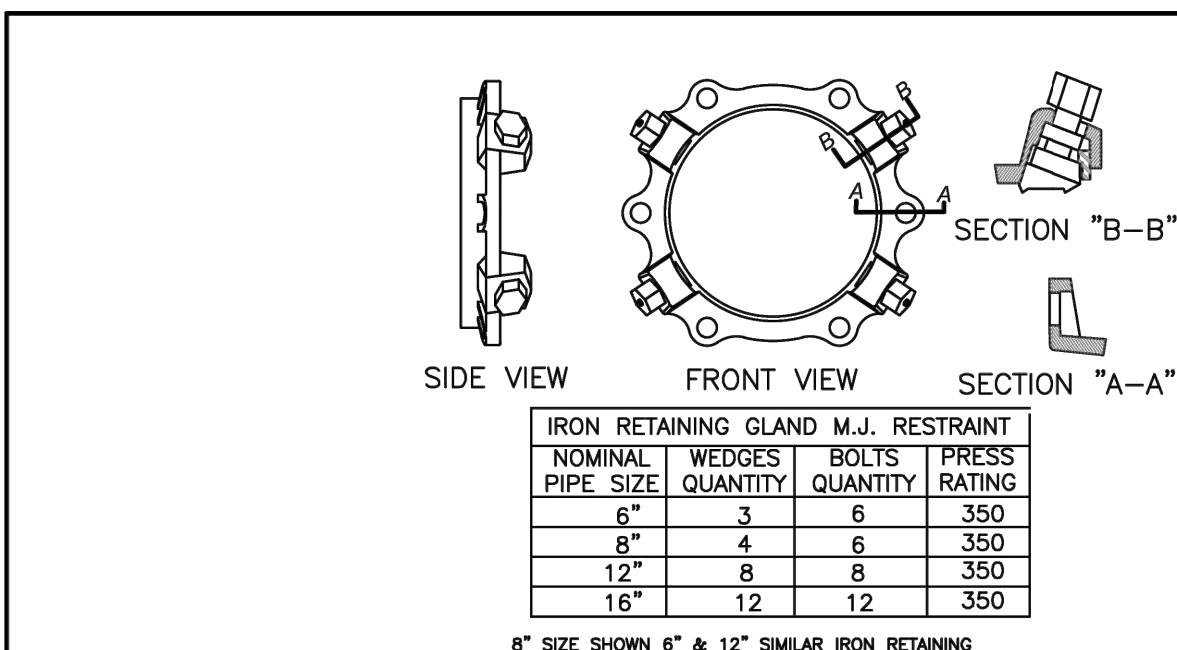
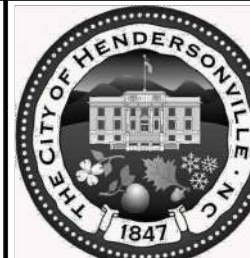
GENERAL NOTES:

- WATER CONSTRUCTION ON THIS SITE IS AUTHORIZED BY PERMITS ISSUED BY THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY (NCEM) AND AUTHORIZED BY THE CITY OF HENDERSONVILLE. THE WORK IS SUBJECT TO INSPECTIONS AT ALL TIMES BY REPRESENTATIVES OF NCEM. THE CITY OF HENDERSONVILLE, THE OWNER OR THE ENGINEER, THE PERMITS REQUIRE CERTIFICATION OF COMPLETION OF THE WATER SYSTEMS BY THE ENGINEER AND THE APPLICANT PRIOR TO ISSUANCE OF FINAL OPERATION APPROVAL.
- MATERIALS AND INSTALLATION FOR WATER CONSTRUCTION SHALL CONFORM TO THE LATEST VERSIONS OF CITY SPECIFICATION AND DETAILS AND ANMA STANDARDS AND REQUIREMENTS.
- CONTRACTOR SHALL NOTIFY NCEM1 & APPROPRIATE UTILITIES AGENCIES PRIOR TO PERFORMING ANY WORK.
- REGULAR WORKING HOURS SHALL BE FROM 7:00 AM TO 5:00 PM MONDAY THROUGH FRIDAY, EXCEPT IN CASES OF EMERGENCY OR OTHERWISE APPROVED IN WRITING BY THE CITY OR AUTHORIZED REPRESENTATIVES. THE CONTRACTOR SHALL ENSURE THE CONSTRUCTION SITE IS SAFE FOR ANY PERSONS WHO MAY BE ON SITE DURING NON-WORKING HOURS.
- ALL PERSONS SHALL BE COURTEOUS AND RESPECTFUL TO THE PUBLIC. CURSING OR RUD LANGUAGE IS NOT PERMITTED AND WILL NOT BE TOLERATED.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL ON ALL ROADS DURING THE PROJECT. THE CONTRACTOR SHALL NOTIFY LOCAL EMERGENCY, SCHOOL, AND OTHER NECESSARY AGENCIES PRIOR TO ANY STREET CLOSURE OR TRAFFIC CONTROL.
- THE CONTRACTOR AT HIS OWN EXPENSE SHALL KEEP THE CONSTRUCTION SITE AND ADJACENT PUBLIC AND PRIVATE ROADWAYS CLEAR DURING THE PROJECT. THE CONTRACTOR IS ALSO RESPONSIBLE FOR CONTROLLING FLOOD WITHIN THE PROJECT AREA.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION IN ACCORDANCE WITH THE LINES, GRADES AND ELEVATIONS SHOWN ON THE PLANS OR AS GIVEN BY THE ENGINEER IN THE FIELD.
- CONTRACTOR SHALL VERIFY THE EXIST LOCATION AND THE ELEVATION FOR ALL UTILITIES, DRAINAGE AND OTHER UNDERGROUND FACILITIES BOTH EXISTING AND PROPOSED, AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT EXISTING UTILITIES DURING CONSTRUCTION. REPAIRS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE STANDARDS OF APPROPRIATE AGENCIES AT THE CONTRACTOR'S EXPENSE.
- DURING CONSTRUCTION THE CONTRACTOR SHALL MAINTAIN THE OPERATION OF EXISTING UTILITIES WITH THE LEAST AMOUNT OF SERVICE INTERRUPTION POSSIBLE. IN COORDINATION WITH THE CITY OF HENDERSONVILLE, CONTINUOUS SERVICE, PUBLIC SAFETY AND SAFETY CONSIDERATIONS SHALL EXCEED ALL OTHERS AND CONTRACTOR'S SCHEDULE, PLANS AND WORK SHALL BE SUBJECT TO ALTERATION AND REVISION IF NECESSARY FOR THESE CONSIDERATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TEMPORARY OR PERMANENT RELOCATION OF STRUCTURES AND UTILITIES, INCLUDING BUT NOT LIMITED TO POLES, SIGNS, FENCES, HYDRANTS, VALVES, PIPING, CONDUITS AND DRAINS THAT INTERFERE WITH THE POSITIONS OF THE WORK AS SHOWN ON THE DRAWINGS.
- CONTRACTOR SHALL BE REQUIRED TO CONFORM AND COMPLY WITH ALL RESTRICTIONS AND EASEMENT CONDITIONS AND IS RESPONSIBLE FOR ALL RELATED INCIDENTAL COSTS INVOLVED.
- EXISTING WATER SERVICES SHALL BE REPLACED TO THE EXISTING WATER UNLESS OTHERWISE APPROVED IN WRITING BY THE CITY. THE WATER SERVICE ON THE CONTRASTREAM SIDE OF THE METER IS NOT PERMITTED.
- ALL DISTURBED AREAS, INCLUDING BUT NOT LIMITED TO ASPHALT, CONCRETE, GRASS, SOILS, LANDSCAPING, SHALL BE REPLACED TO EQUAL OR BETTER CONDITION THAN THE ORIGINAL. SIGNS AND LANDSCAPING AREAS SHALL BE REPLACED IN ACCORDANCE WITH TRENCH TO GRADE AS SOON AS WATERLINE CONSTRUCTION ALLOWS. ADEQUATE SEEDING AND MULCH OR MULCH SHALL THEN BE APPLIED TO THE RESTORED TRENCH AREA. ADDITIONAL FILL AND SITE RESTORATION MAY BE REQUIRED WITHIN THE WARRANTY PERIOD AT THE CITY'S DISCRETION.
- CONTRACTOR SHALL PROVIDE EROSION CONTROL DEVICES TO CONTROL RUNOFF AS REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR ANY FINES THAT MAY BE LOVED DUE TO RUNOFF FROM CONSTRUCTION.
- IF IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO FOLLOW ALL APPLICABLE FEDERAL, STATE AND LOCAL HEALTH AND SAFETY REGULATIONS PERTAINING TO CONSTRUCTION OPERATIONS.
- ALL WATER MAINS SHALL HAVE 3 FEET MINIMUM COVER.
- INSTALL FERROUS PIPING FOR BOTH WATER AND SEWER WITHIN 10 FT. OF A CROSSING.
- SEWER LINE CROSSES OVER WATER, OR
- VERTICAL CLEARANCE BETWEEN WATER AND SEWER IS LESS THAN 18 INCHES.
- MAINTAIN 10 FEET HORIZONTAL SEPARATION BETWEEN SEWER AND WATER MAINS UNLESS LAD IN SEPARATE TRENCHES WITH THE BOTTOM OF THE WATER LINE AT LEAST 6 INCHES ABOVE THE TOP OF THE SEWER LINE OR USE FERROUS MATERIAL FOR BOTH WATER AND SEWER.

DISCLAIMER:

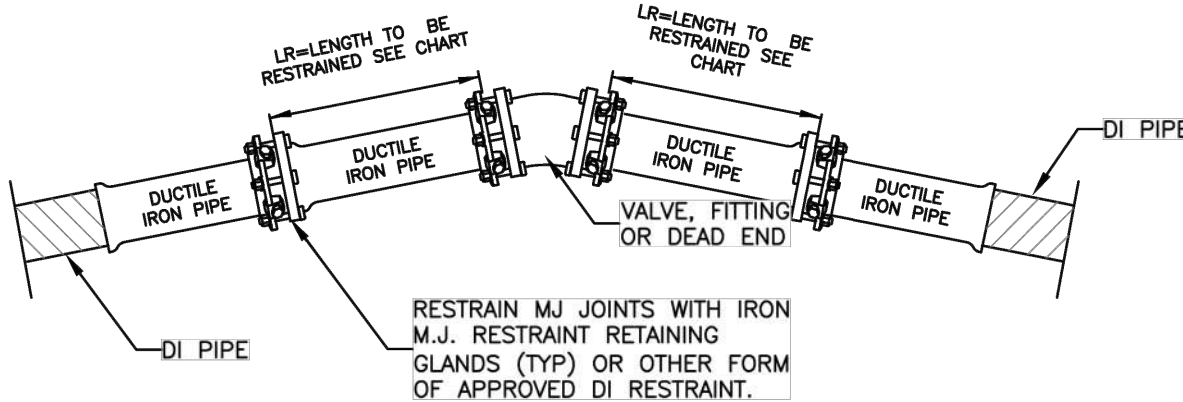
THE STANDARD WATER DETAILS ARE FOR THE SOLE USE OF PROJECTS DIRECTLY FOR, OR THOSE PROJECTS IN WHICH OWNERSHIP WILL BE TRANSFERRED TO THE CITY OF HENDERSONVILLE. THESE TYPICALS ARE INTENDED TO SHOW THE CITY OF HENDERSONVILLE'S SPECIFICATIONS FOR THE GENERAL LAYOUT, ARRANGEMENT, AND THE QUALITY OF EQUIPMENT AND MATERIALS FOR WATER CONSTRUCTION SYSTEM ITEMS AND THEIR RELATED APPURTENANCES. IT REMAINS THE SOLE RESPONSIBILITY OF THE ENGINEER IN RESPONSIBLE CHARGE (EPC) OF EACH APPLICATION TO DETERMINE DESIGN TO AND CARRY OUT THE DESIGN NECESSARY FOR EACH INSTALLATION. THE EPC MUST ALSO ENSURE THE DESIGN COMPLIES WITH THE MINIMUM DESIGN CRITERIA OF NC DIVISION OF ENVIRONMENTAL QUALITY AND ALL LOCAL AND STATE LAWS AND REGULATIONS.

DATE: 05/22/2023 WD DWG. NO. 1
SCALE: NOT TO SCALE

WATER DETAILS
GENERAL NOTES

LR (MIN. LENGTH OF RESTRAINT EACH DIRECTION OF THRUST IN LINEAR FEET)
Based on 200 psig pressure, Safety Factor of 2.0:1, BARE DI PIPE AND ML Soil, 3.5' cover
Chart does not apply to pipes wrapped in polyethylene wrap

PIPE SIZE	VALVES DEAD ENDS TEES	90° ELBOWS	45° ELBOW & CROSSES	22-1/2° ELBOWS	REDUCER
6"	55'	31'	13'	7'	6"x2" 67'
8"	72'	40'	17'	8'	8"x6" 30'
12"	102'	57'	24'	12'	12"x8" 54'
16"	130'	72'	30'	15'	16"x8" 95'



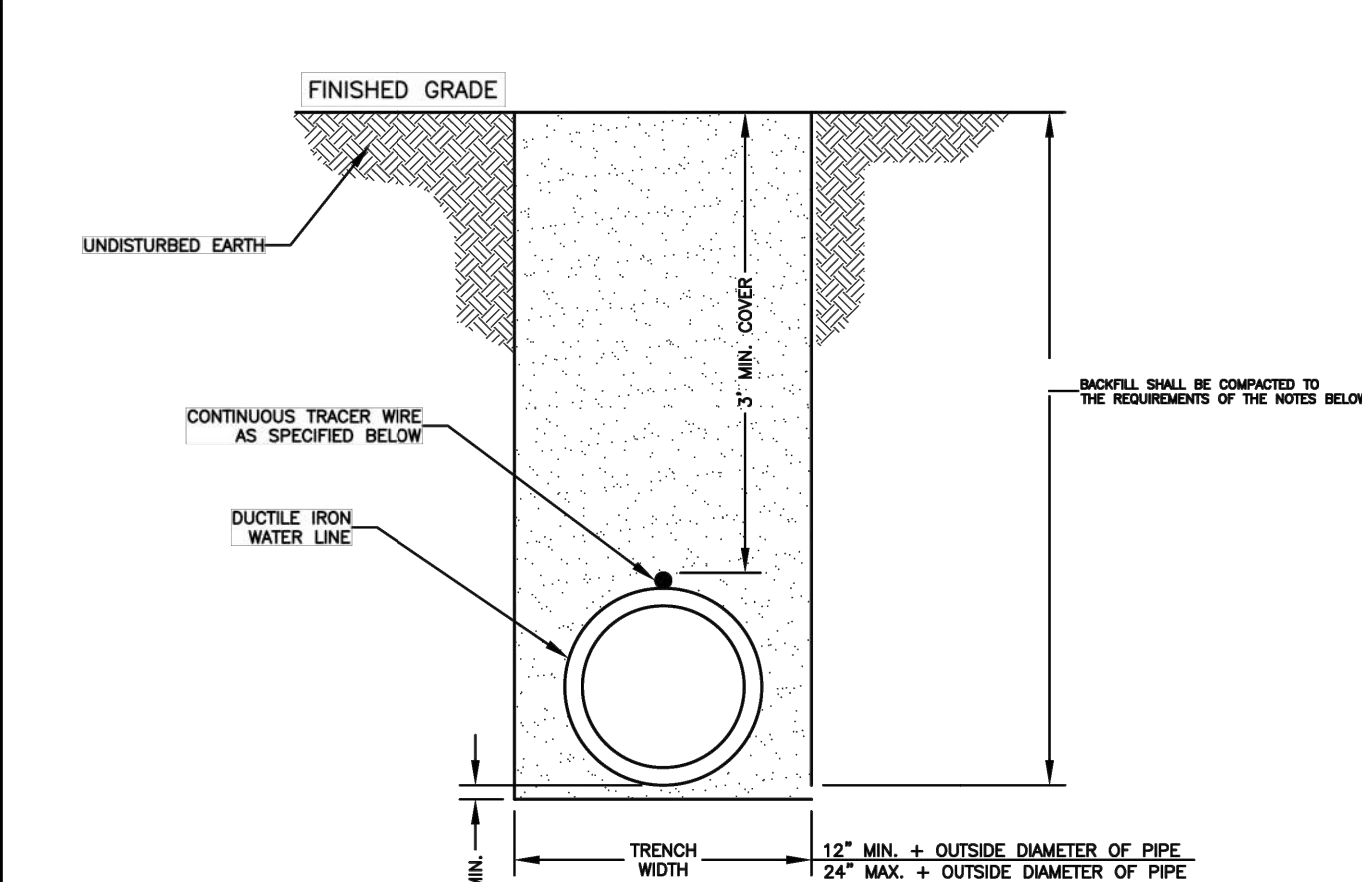
DATE: 05/22/2023 WD DWG. NO. 4-1
SCALE: NOT TO SCALE

DUCTILE IRON PIPE
RESTRAINT DETAIL

SHEET 1 OF 2



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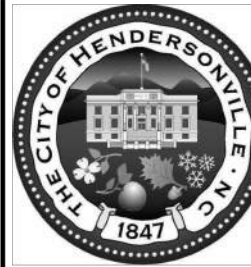
NOTES:

- TRENCHES EXCAVATED OUTSIDE EXISTING ROAD AND RAILWAY RIGHTS-OF-WAY SHALL BE BACKFILLED WITH COMMON BACKFILL MATERIAL, CONSISTING OF EXCAVATED MATERIALS EXCEPT HIGHLY ORGANIC SILTS AND CLAYS AND TAMPED THOROUGHLY. FILL SHALL BE DEPOSITED IN SUCCESSIVE, UNIFORM, APPROXIMATELY HORIZONTAL LAYERS. MATERIAL SHALL BE FREE OF ROOTS, STONES, AND DEBRIS. ALL MATERIAL SHALL HAVE AN IN-PLACE DENSITY OF AT LEAST 95% OF MAXIMUM DRY DENSITY (STANDARD PROCTOR) OR AS APPROVED BY THE ENGINEER. COMMON BACKFILL SHALL NOT CONTAIN STONE BLOCKS, BROKEN CONCRETE, MASONRY RUBBLE, OR OTHER SIMILAR MATERIALS. IT SHALL HAVE PHYSICAL PROPERTIES SUCH THAT IT CAN BE READILY SPREAD AND COMPACTED DURING FILLING. SNOW, ICE, AND FROZEN SOIL WILL NOT BE PERMITTED.
- WHERE EXCAVATED MATERIAL, AFTER REMOVAL OF ROCKS, STUMPS, PLANT MATERIAL, AND OTHER EXTRANEIOUS MATERIAL, AND PROPER DOWNTERRING, DRYING, PROTECTION, AND STORAGE OF THE EXCAVATION BY THE CONTRACTOR, CANNOT BE PREPARED TO MEET THE REQUIREMENTS FOR COMMON BACKFILL, DUE TO THE NATURE OF THE MATERIAL (E.G., EXCESSIVE ROCK, MUCK, ORGANICS, CLAY SILT, OR OTHER MATERIAL) AND AS DETERMINED BY THE ENGINEER, THE UNACCEPTABLE EXCAVATION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR AND REPLACED BY IMPORTED BACKFILL MEETING THE REQUIREMENTS OF STRUCTURAL BACKFILL. IMPORTED STRUCTURAL BACKFILL SHALL BE FREE OF ORGANICS, ROOTS OR OTHER DELETERIOUS MATERIALS AND SHALL NOT CONTAIN MORE THAN FIVE PERCENT (BY WEIGHT) ORGANIC MATERIAL. HAVE A PLASTICITY INDEX (PI) GREATER THAN 25, OR HAVE A MAXIMUM DRY DENSITY LESS THAN 90 POUNDS PER CUBIC FOOT. IMPORTED STRUCTURAL FILL SHOULD CONSIST OF MATERIAL CLASSIFIED AS ML, CL, SC, OR SM, OR BETTER PER ASTM D-2487 AND BE CAPABLE OF BEING COMPACTED TO 98% STANDARD PROCTOR.
- THE WATER LINE SHALL HAVE A MINIMUM OF 3' OF COVER AT FINISHED GRADE.

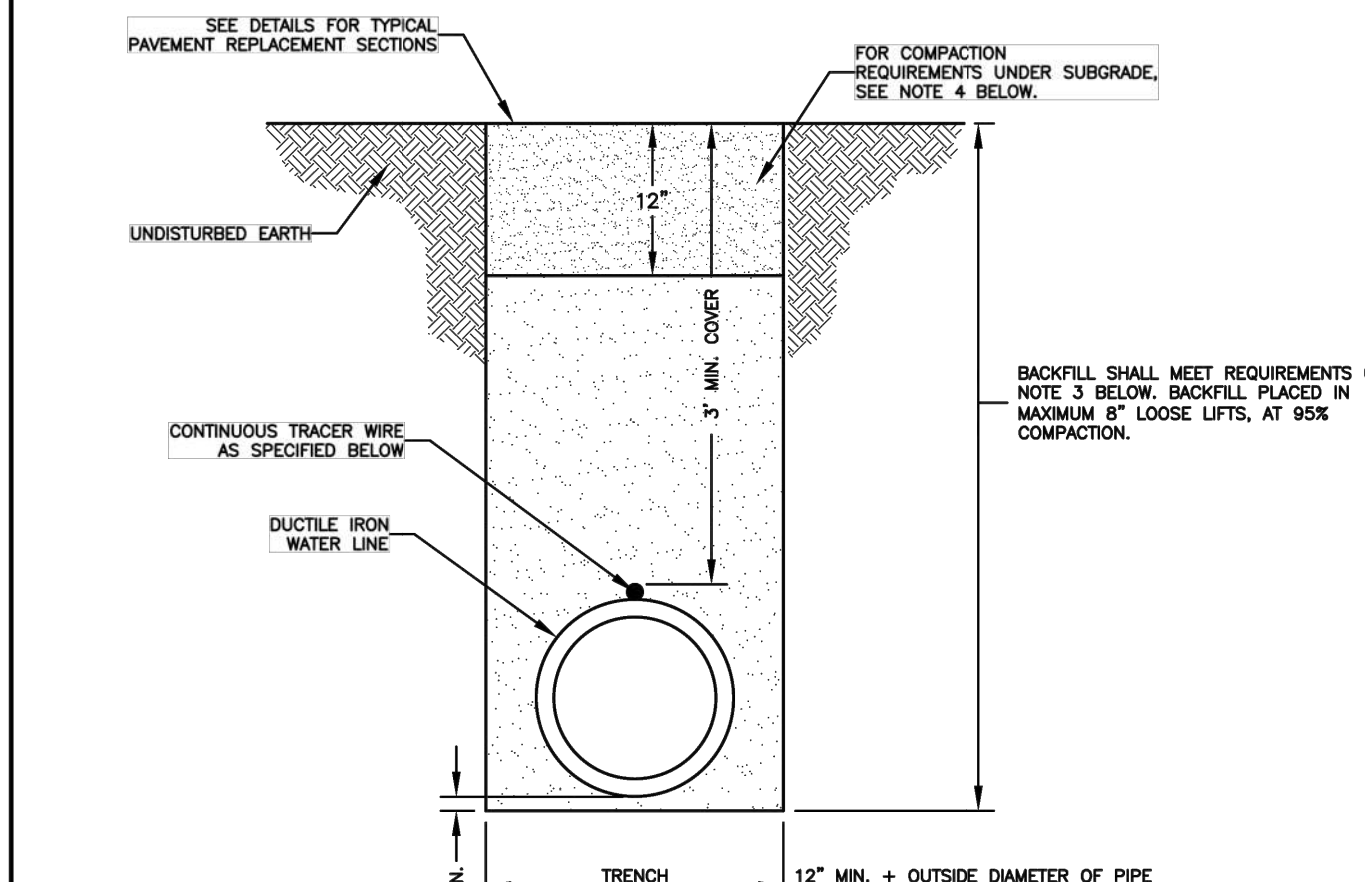
TRACER WIRE WILL BE A 19 GAUGE, TIN COATED, COPPER CONDUCTOR WITH POLYETHYLENE INSULATION. CORE MATERIAL COMPRISED OF HIGH-TENSILE, WOVEN POLYESTER WITH WATER BLOCKING YARNS ENCAPSULATED IN 30 MIL BLUE HOPE JACKET PROVIDING CORROSION RESISTANCE, FLEXIBILITY, IMPACT STRENGTH AND 1800 LBS. TENSILE STRENGTH. TRACER WIRE WILL NOT CONDUCT AN ELECTRICAL CURRENT WHEN STRUCK BY LIGHTNING AND IS DESIGNED FOR DIRECT BURY AND DIRECTIONAL BORING APPLICATIONS. WHEN SPLICES AND LATERAL CONNECTIONS ARE MADE, ONLY GEL FILLED CONNECTORS DESIGNED FOR WIRE WITH WOVEN POLYESTER FIBER CORE ARE TO BE USED. TRACER WIRE AND CONNECTORS SHALL BE TRACE-SAFER® WATER BLOCKING TRACER WIRE AND RELATED CONNECTORS, MANUFACTURED BY NEPTCO, INC., OR EQUIVALENT APPROVED BY ENGINEER, AND PRODUCED IN THE UNITED STATES OF AMERICA.

TRACER WIRE SHALL BE EXTENDED ALONG ALL WATER LINES, FITTINGS, VALVES, SERVICES, AND HYDRANTS. LOCATING CLIPS SHALL BE PROVIDED AT ALL VALVES, HYDRANT VALVES AND METER BOXES. THE CONTRACTOR SHALL DUCT TAPE TRACER WIRE ON CROWN OF WATER LINE EVERY FIVE FEET.

DATE: 01/12/2019 WD DWG. NO. 2
SCALE: NOT TO SCALE

WATER TRENCH CONSTRUCTION
OUTSIDE PAVEMENT

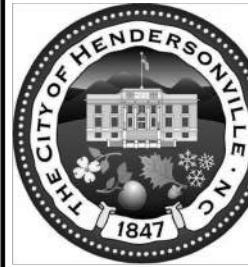
4/30/2019 10:51:55 AM, mpmorning



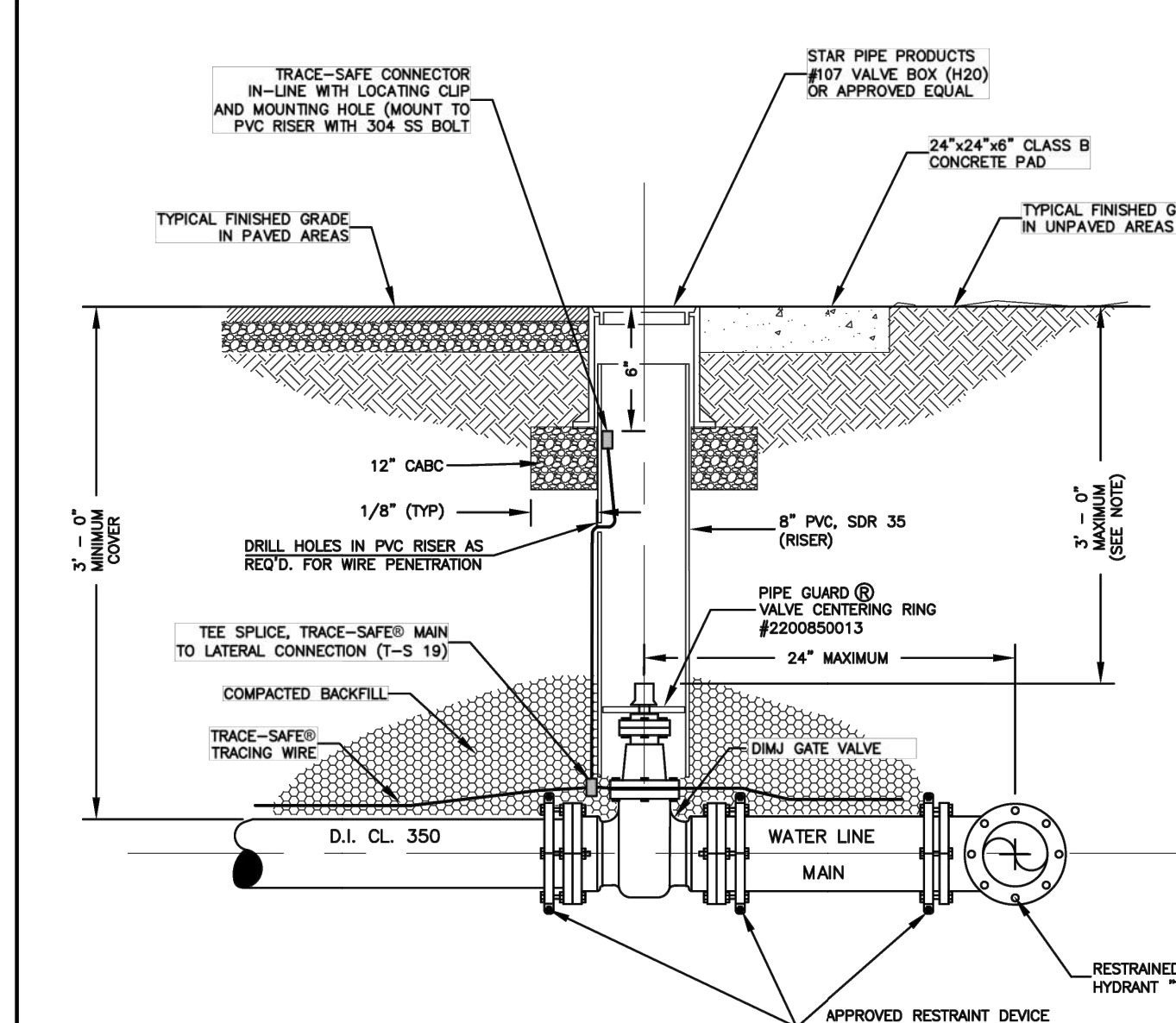
NOTES:

- THIS TRENCH BACKFILL DETAIL APPLIES TO AREAS UNDER PAVEMENT, CURB, GUTTER, SIDEWALK OR AREAS WHERE THE TRENCH IS WITHIN FIVE (5) FEET OF THE EDGE OF PAVEMENT.
- COMPACTION OF THE BACKFILL SHALL BE ACHIEVED THROUGH THE USE OF AN APPROVED VIBRATORY PLATE TAMPER OR ROLLER. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL COMPACTION REQUIREMENTS.
- COMPACTION TESTING OF THE BACKFILL SHALL BE PROVIDED, DIRECTED AND COORDINATED BY THE OWNER. INTERVALS OF TESTING SHALL BE AT THE TOTAL DISCRETION OF THE OWNER AND MAY BE CHANGED AT ANY TIME.
- IF A TEST DOES NOT PASS, THE CONTRACTOR SHALL REMOVE THE DEFECTIVE BACKFILL, REDO THE WORK AND THE AREA WILL BE RETESTED. THE CONTRACTOR SHALL BE AWARE OF THE LEVEL OF COMPACTION REQUIRED.
- IF THE WORK IS SUSPECT TO BE DEFECTIVE BY THE OWNER, THE WORK SHALL BE RETESTED.
- THE WATER CONTENT OF THE BACKFILL MATERIAL SHALL ALSO BE TESTED AND RECORDED FOR EACH TEST COMPLETED. THE CONTRACTOR WILL BE ALLOWED TO ADD WATER TO THE BACKFILL MATERIAL IN ORDER TO OBTAIN THE OPTIMUM WATER CONTENT. HOWEVER, THE CONTRACTOR SHALL NOT BE ALLOWED TO UTILIZE THE ADDITION OF WATER AS A MEANS OF COMPACTION. FURTHERMORE, SHOULD THE BACKFILL MATERIAL BE FOUND TO HAVE WATER CONTENT RATIOS WHICH IN THE OPINION OF THE ENGINEER OR THE OWNER PREVENTS THE APPROPRIATE COMPACTION OF THE TRENCH, THE CONTRACTOR SHALL REMOVE ALL DEFECTIVE MATERIAL AND UNDERTAKE THE NECESSARY CORRECTIVE WORK.
- THE TOP TWELVE INCHES OF THE FINAL BACKFILL SHALL BE COMPACTED TO 98% STANDARD PROCTOR.
- THE WATER LINE SHALL HAVE A MINIMUM OF 3' OF COVER AT FINISHED GRADE.
- TRACER WIRE WILL BE A 19 GAUGE, TIN COATED, COPPER CONDUCTOR WITH POLYETHYLENE INSULATION. CORE MATERIAL COMPRISED OF HIGH-TENSILE, WOVEN POLYESTER WITH WATER BLOCKING YARNS ENCAPSULATED IN 30 MIL BLUE HOPE JACKET PROVIDING CORROSION RESISTANCE, FLEXIBILITY, IMPACT STRENGTH AND 1800 LBS. TENSILE STRENGTH. TRACER WIRE WILL NOT CONDUCT AN ELECTRICAL CURRENT WHEN STRUCK BY LIGHTNING AND IS DESIGNED FOR DIRECT BURY AND DIRECTIONAL BORING APPLICATIONS. WHEN SPLICES AND LATERAL CONNECTIONS ARE MADE, ONLY GEL FILLED CONNECTORS DESIGNED FOR WIRE WITH WOVEN POLYESTER FIBER CORE ARE TO BE USED. TRACER WIRE AND CONNECTORS SHALL BE TRACE-SAFER® WATER BLOCKING TRACER WIRE AND RELATED CONNECTORS, MANUFACTURED BY NEPTCO, INC., OR EQUIVALENT APPROVED BY ENGINEER, AND PRODUCED IN THE UNITED STATES OF AMERICA.
- TRACER WIRE SHALL BE EXTENDED ALONG ALL WATER LINES, FITTINGS, VALVES, SERVICES, AND HYDRANTS. LOCATING CLIPS SHALL BE PROVIDED AT ALL VALVES, HYDRANT VALVES AND METER BOXES. THE CONTRACTOR SHALL DUCT TAPE TRACER WIRE ON CROWN OF WATER LINE EVERY FIVE FEET.

DATE: 06/10/2019 WD DWG. NO. 3
SCALE: NOT TO SCALE

WATER TRENCH CONSTRUCTION
UNDER PAVEMENT

6/10/2019 3:34:31 PM, mpmorning



NOTES:

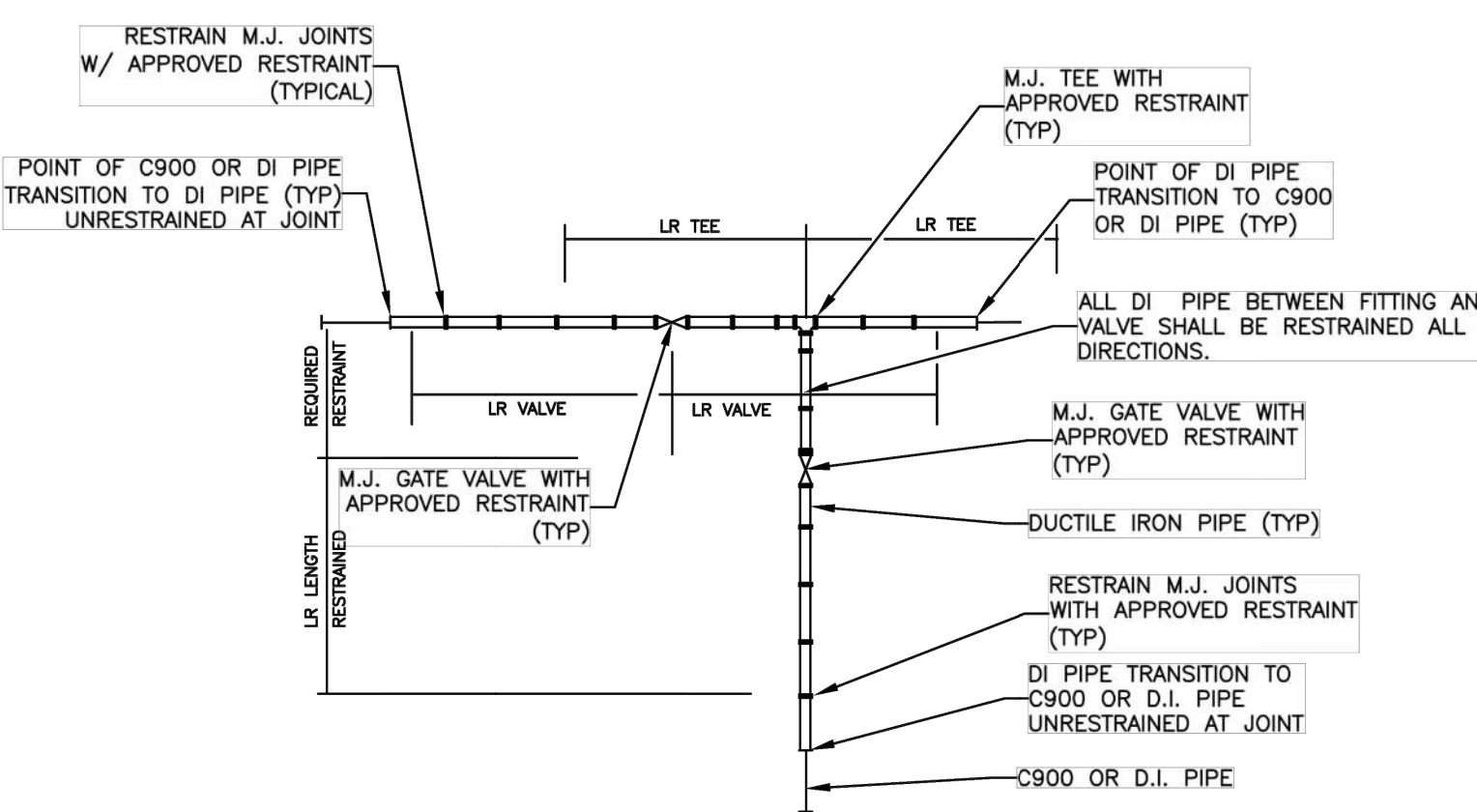
- TOP OF COVER SHALL BE STAMPED "WATER"
- VALVE PAD REQUIREMENTS SHALL NOT BE APPLICABLE FOR PAVED SURFACES.
- PAVEMENT REPAIR SHALL MATCH EXISTING ROAD PAVING SECTION. SEE NCDDOT ASPHALT REPAIR DETAIL # 654.01.
- WHEN OPERATING NUT DEPTH EXCEEDS 3'-0" BELOW FINISHED GRADE, PROVIDE EXTENSION STEM WITH STANDARD 2" SQUARE OPERATING NUT. TOP OF NUT SHALL BE WITHIN 5" TO 9" OF FINISHED GRADE.
- TRACER WIRE WILL BE A 19 GAUGE, TIN COATED, COPPER CONDUCTOR WITH POLYETHYLENE INSULATION. CORE MATERIAL COMPRISED OF HIGH-TENSILE, WOVEN POLYESTER WITH WATER BLOCKING YARNS ENCAPSULATED IN 30 MIL BLUE HOPE JACKET PROVIDING CORROSION RESISTANCE, FLEXIBILITY, IMPACT STRENGTH AND 1800 LBS. TENSILE STRENGTH. TRACER WIRE WILL NOT CONDUCT AN ELECTRICAL CURRENT WHEN STRUCK BY LIGHTNING AND IS DESIGNED FOR DIRECT BURY AND DIRECTIONAL BORING APPLICATIONS. WHEN SPLICES AND LATERAL CONNECTIONS ARE MADE, ONLY GEL FILLED CONNECTORS DESIGNED FOR WIRE WITH WOVEN POLYESTER FIBER CORE ARE TO BE USED. TRACER WIRE AND CONNECTORS SHALL BE TRACE-SAFER® WATER BLOCKING TRACER WIRE AND RELATED CONNECTORS, MANUFACTURED BY NEPTCO, INC., OR EQUIVALENT APPROVED BY ENGINEER, AND PRODUCED IN THE UNITED STATES OF AMERICA.

DATE: 10/11/2021 WD DWG. NO. 5
SCALE: NOT TO SCALE

VALVE INSTALLATION DETAIL



H:\DETAILS\Current Standard Details\Water Only\Updated_Water_Details-Bulletin202021.dwg, 10/11/2021 1:42:17 PM



NOTES:

- THRUST RESTRAINT SHALL BE INSTALLED ON DUCTILE IRON WATER DISTRIBUTION LINES 6" THRU 12" DIAMETER IN THE MANNER SHOWN.
- IRON RETAINING GLAND M.J. RESTRAINT OR OTHER FORMS OF IRON RESTRAINT SHALL NOT BE USED ON PVC PIPE.
- PIPE GREATER THAN 12 INCH DIAMETER SHALL REQUIRE RESTRAINED JOINT PIPE FOR THE PROPER LENGTH.
- COMPACT FITTINGS ARE ACCEPTABLE FOR USE WITH IRON RETAINING GLAND M.J. RESTRAINT AND OTHER FORMS OF DI RESTRAINT.
- THE MINIMUM LENGTH OF RESTRAINT INDICATED SHALL REQUIRE ALL JOINTS WITHIN THE LR DISTANCE TO BE RESTRAINED.
- RESTRAINT SYSTEM SHALL BE INSPECTED AND APPROVED PRIOR TO BACKFILLING.
- RESTRAINT SYSTEMS MAY VARY BASED UPON THE ENGINEERS' DESIGN AS SHOWN ON THE PLAN AND PROFILE SHEETS.
- GRIPPER RING AND FIELD LOK GASKETS ARE AN ACCEPTABLE METHOD OF RESTRAINT ON DUCTILE IRON PIPE ONLY.
- TRACER WIRE NOT SHOWN FOR CLARITY. WIRE SHALL BE INSTALLED PER OTHER DETAILS.
- MECHANICAL JOINTS SHALL BE PRODUCED IN THE UNITED STATES.

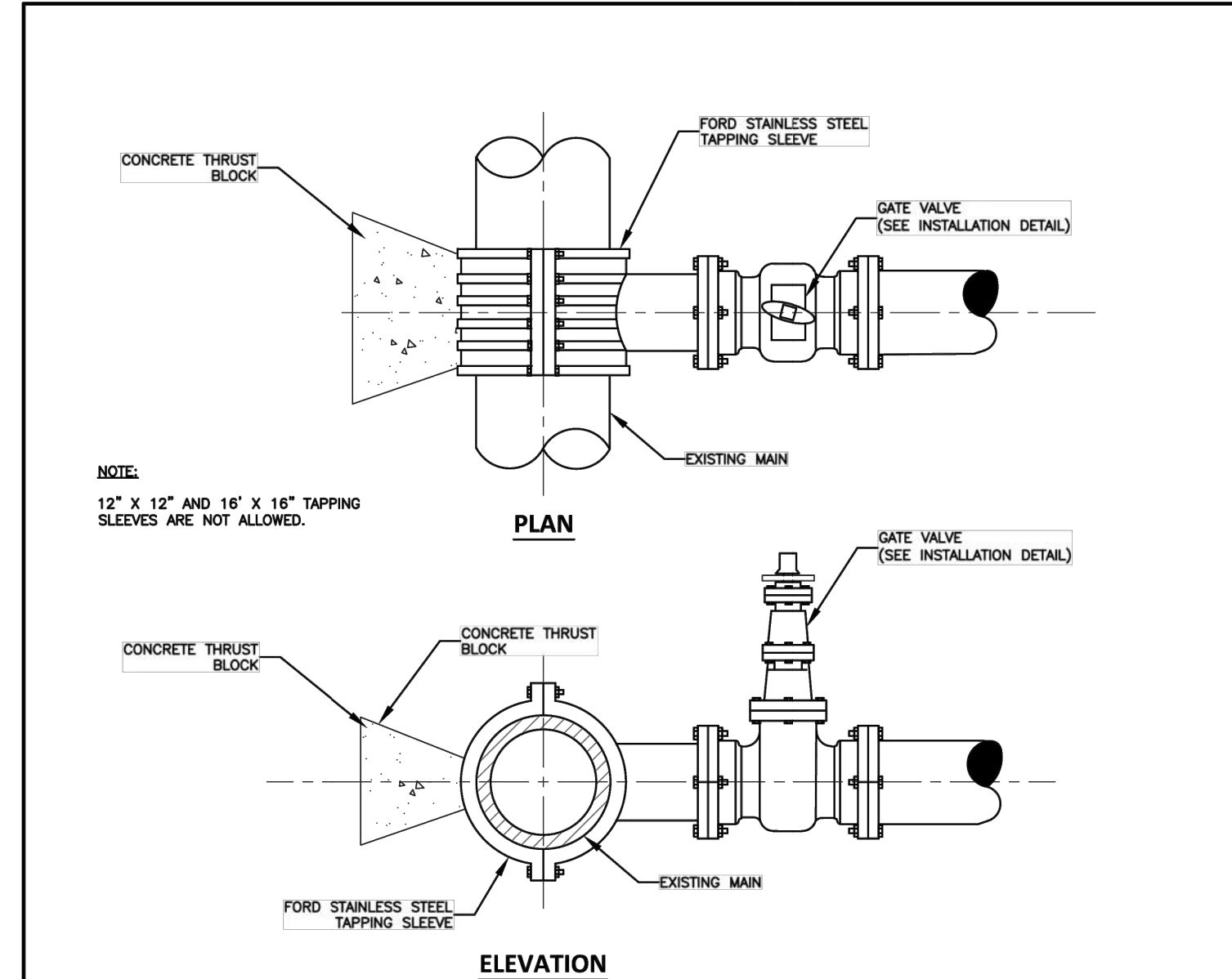
DATE: 05/22/2023 WD DWG. NO. 4-2
SCALE: NOT TO SCALE

DUCTILE IRON PIPE
RESTRAINT DETAIL

SHEET 2 OF 2



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NOTE:

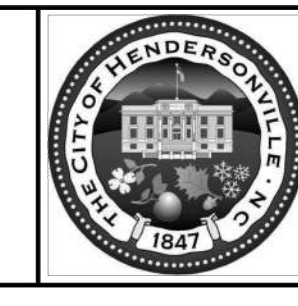
12" x 12" AND 16" x 16" TAPPING SLEEVES ARE NOT ALLOWED.

NOTE:

- CONCRETE SHALL BE 3000 PSI.
- CONCRETE SHALL NOT CONTACT BOLTS OR ENDS OF MECHANICAL JOINT FITTINGS BY THE INSTALLATION OF POLYETHYLENE FILM PLACED BETWEEN THE FITTINGS AND POURED CONCRETE.
- SEE TABLE A-1 FOR AREA OF CONCRETE REQUIRED FOR MAIN SIZED 6-INCH THROUGH 18-INCH.

TABLE A-1
TBD

DATE: 01/12/2019 WD DWG. NO. 6
SCALE: NOT TO SCALE

STANDARD TAPPING SLEEVE
AND VALVE ASSEMBLY

4/30/2019 11:02:39 AM, mpmorning

THREE NOTCH
GROUP

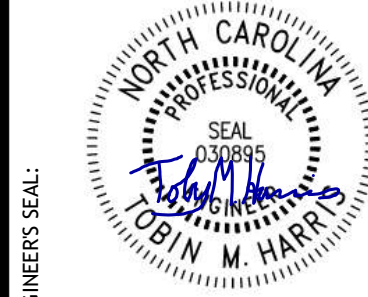
SIGNAL HILL
SIGNAL HILL ROAD
HENDERSONVILLE, NORTH CAROLINA

SHEET TITLE: WATERMAIN DETAILS - 1
(SHEET 1 OF 2)

DRAWING NO: 29

PROJECT # 656405823
DATE: 09/16/2024
DESIGN BY: DW
DRAWN BY: DW
APPROVED: THH
SCALE: #####

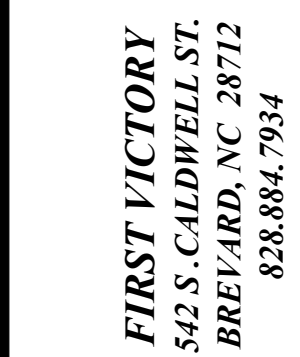
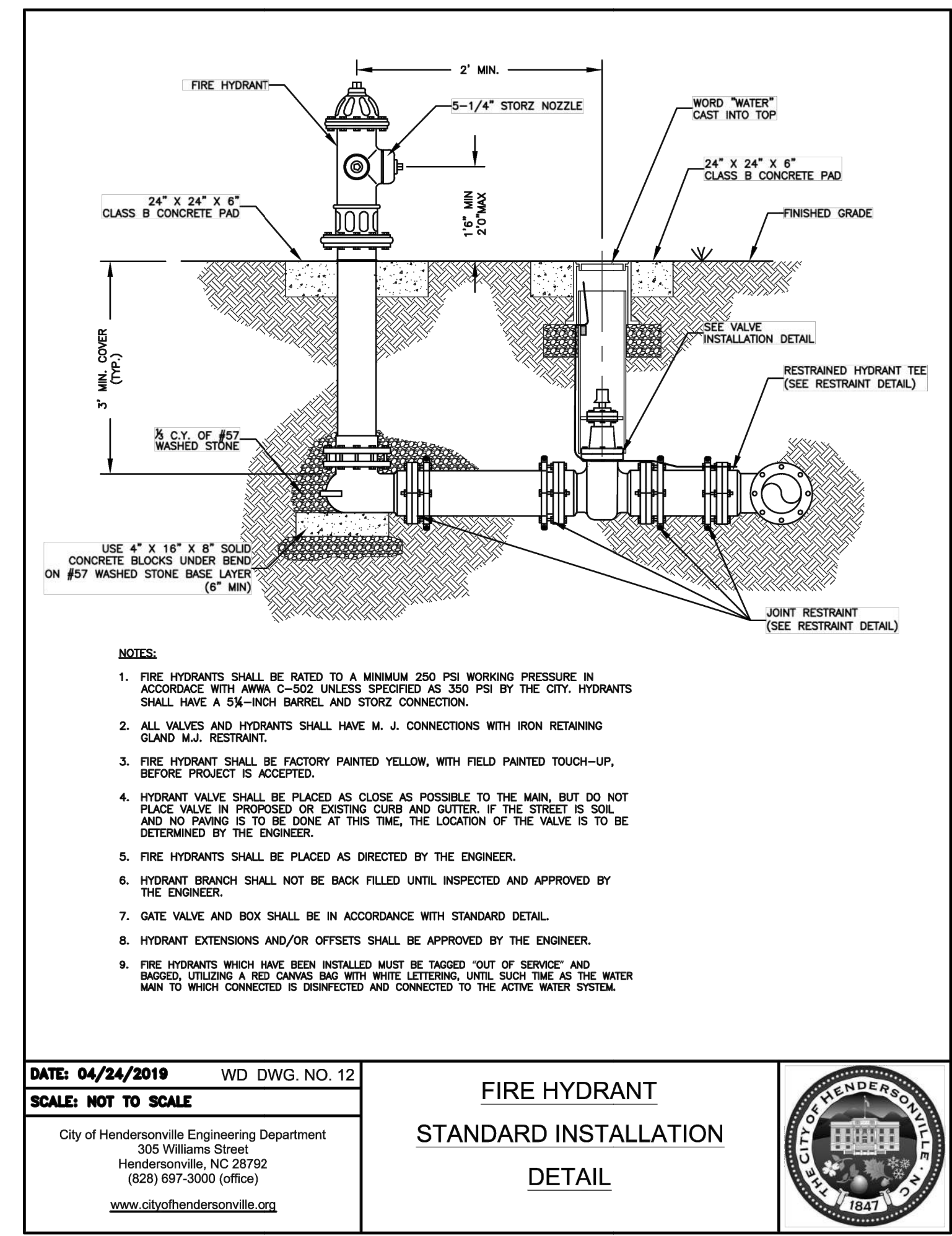
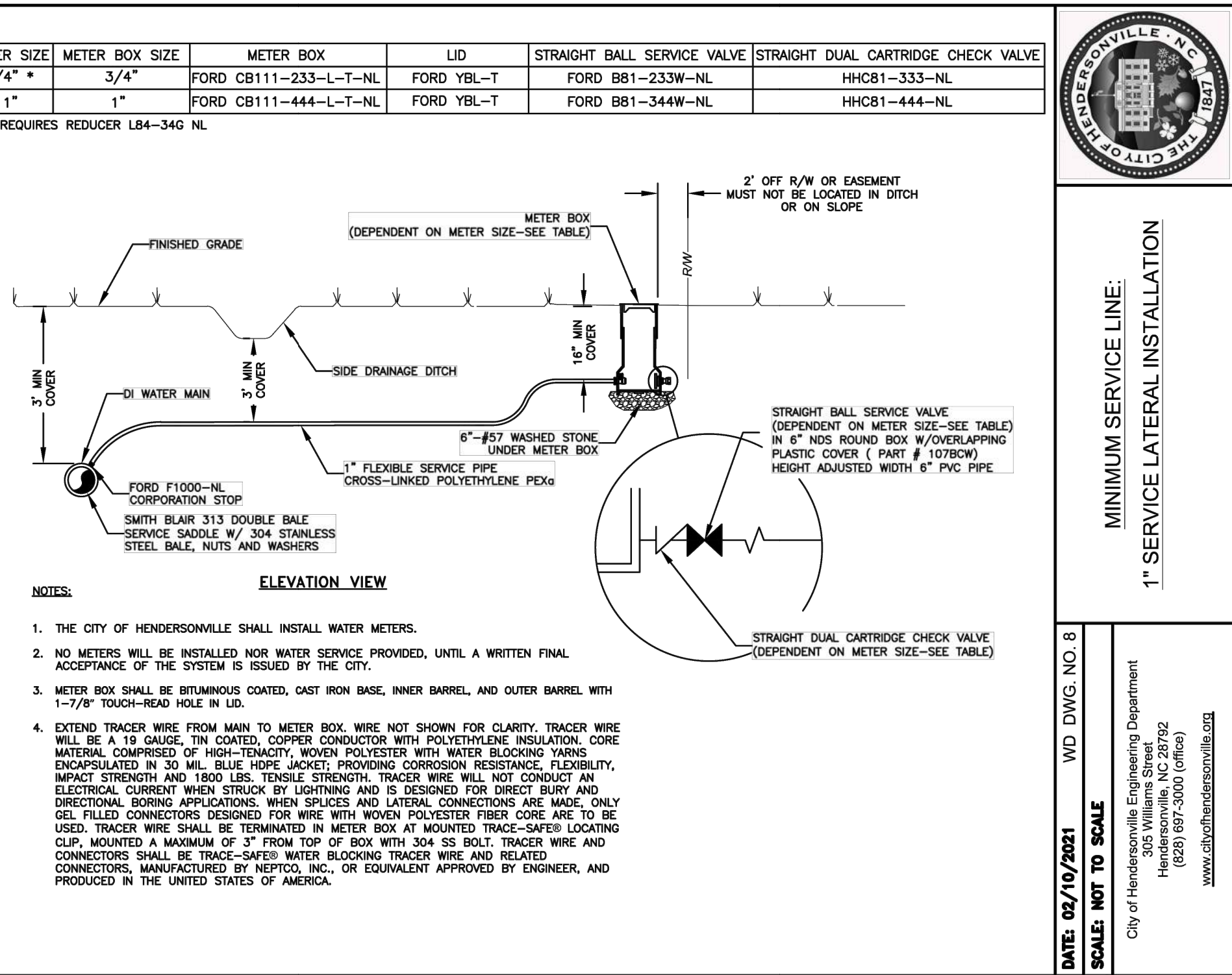
09/16/2024



4301 TAGGART CREEK ROAD
CHARLOTTE, NC 28208
Phone: 704.368.4661
Fax: 704.368.4661
License No. C-4973

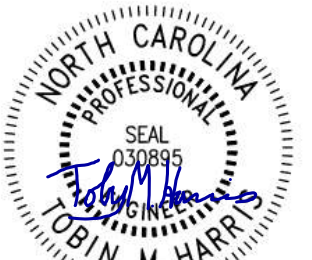
SIGNAL HILL
SIGNAL HILL ROAD
HENDERSONVILLE, NORTH CAROLINA

DRAWING NO: 29



REVISIONS

REV.	DATE	COMMENTS



09/16/2024

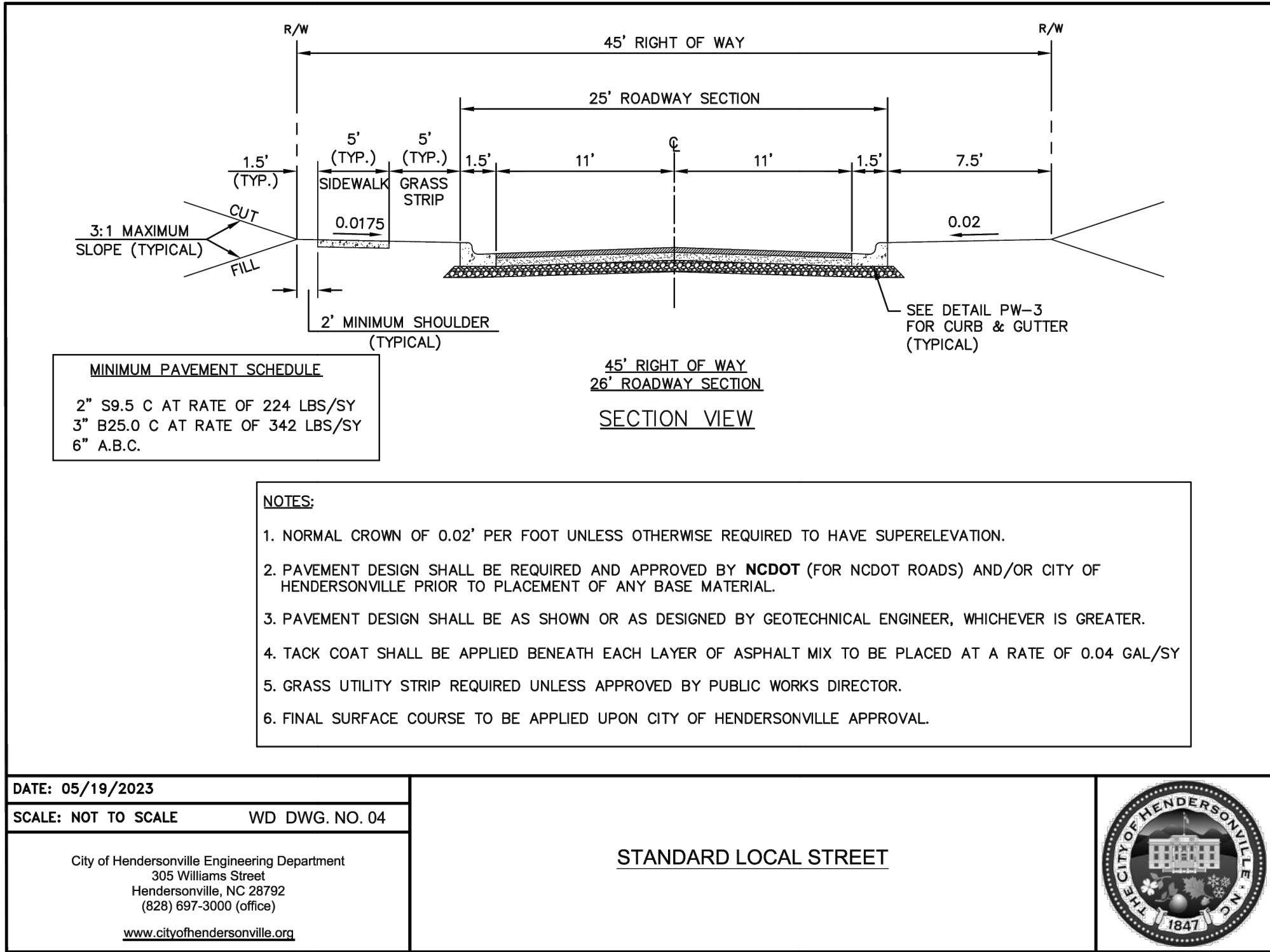
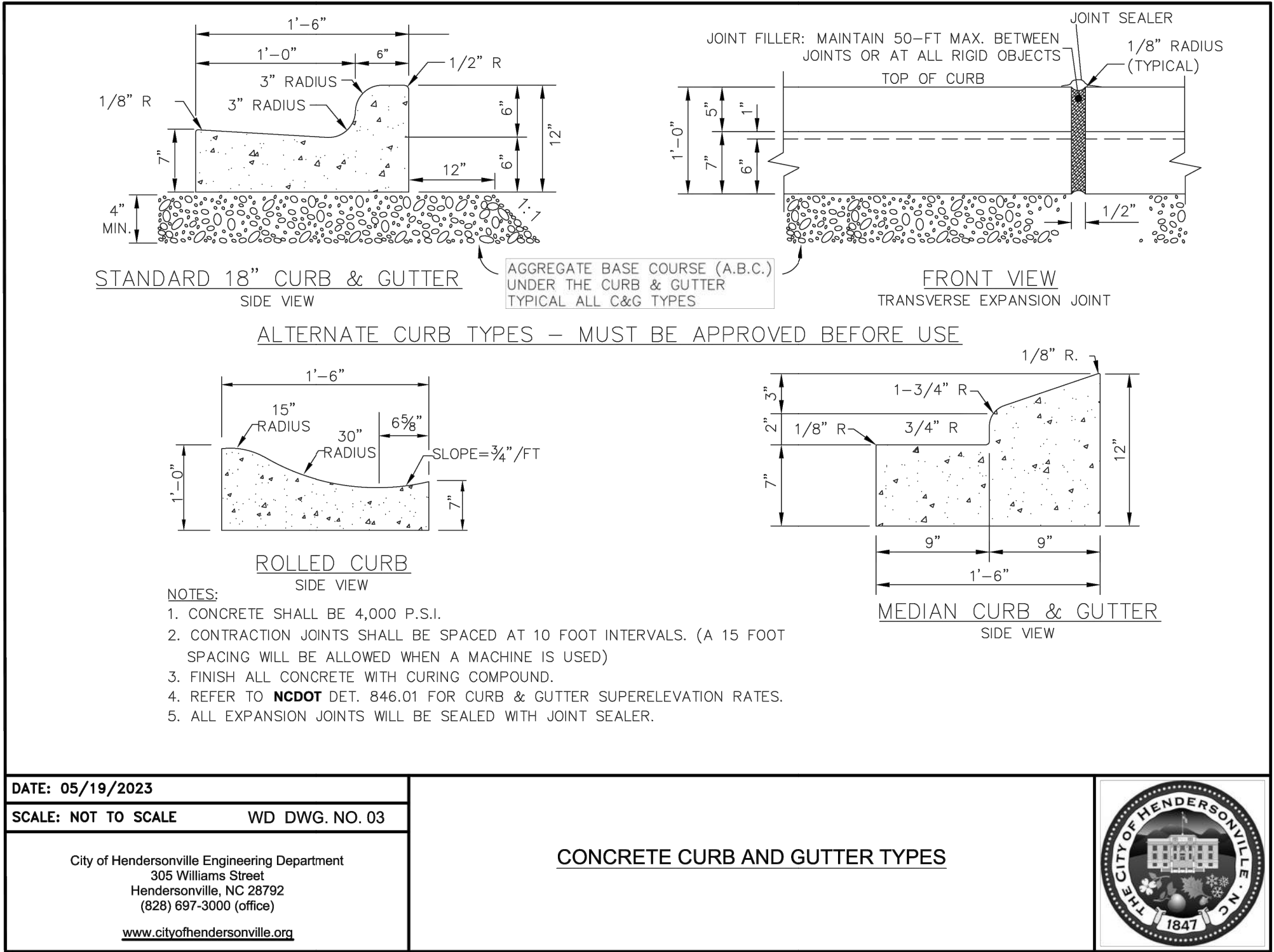
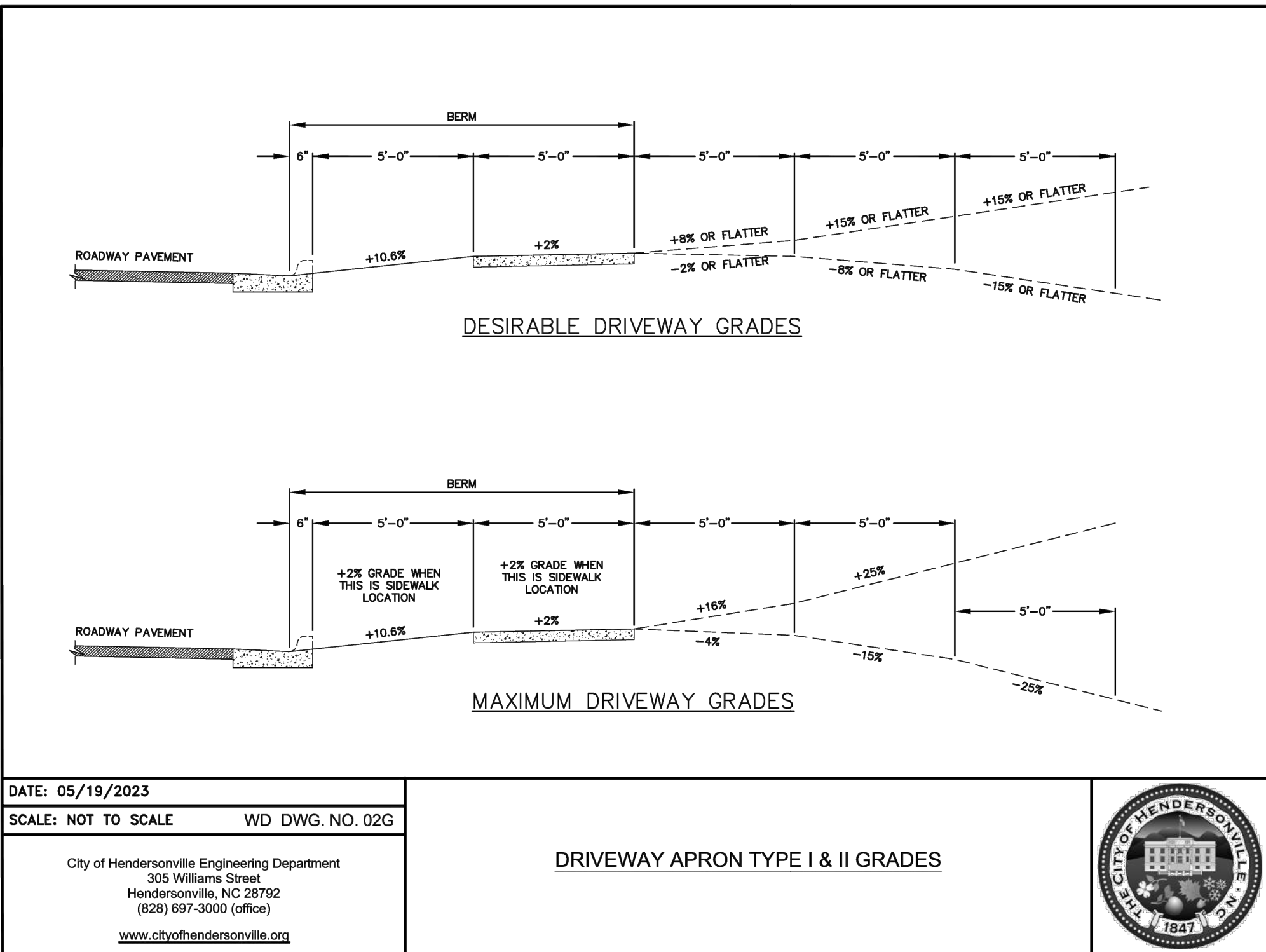
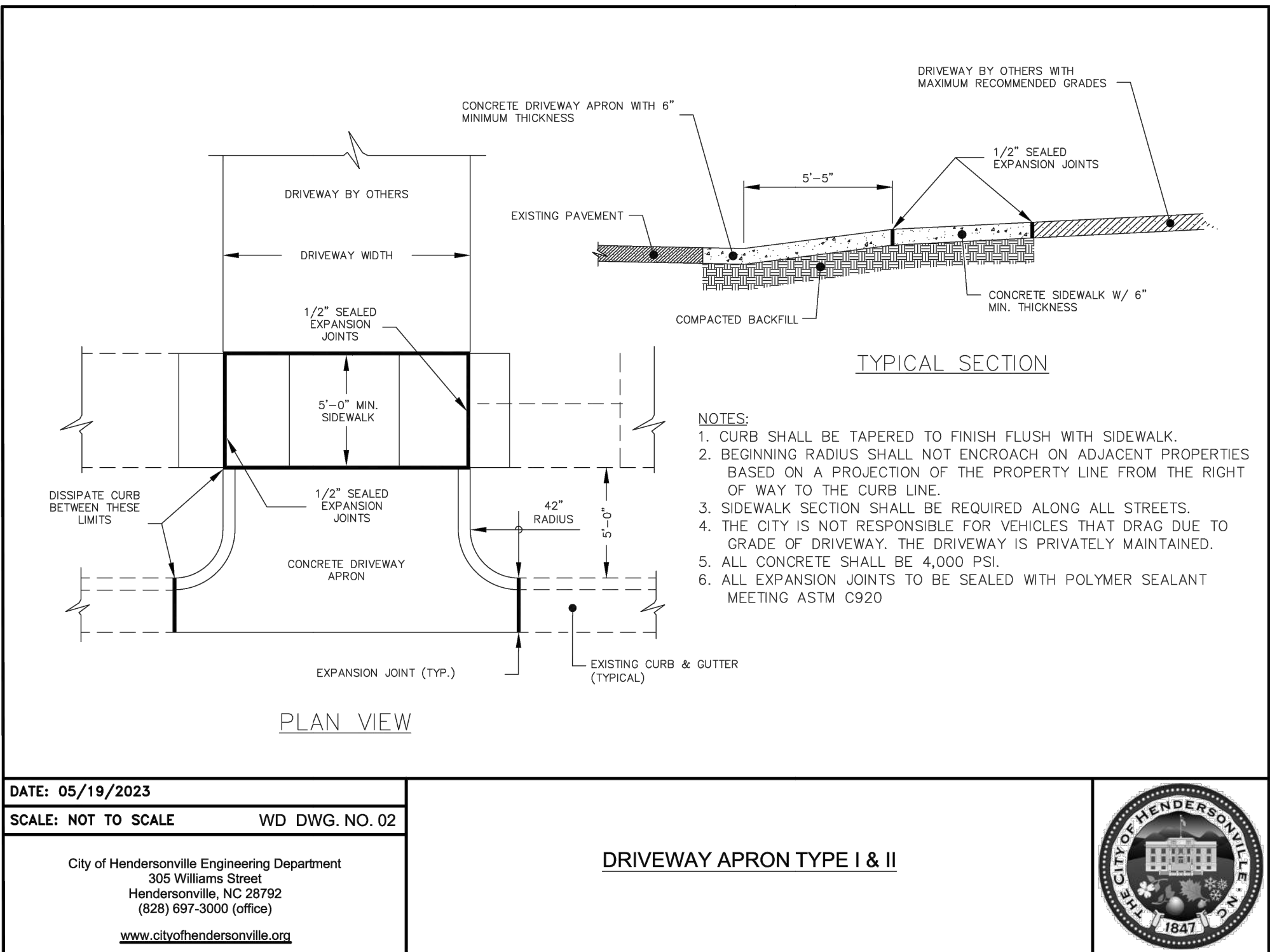
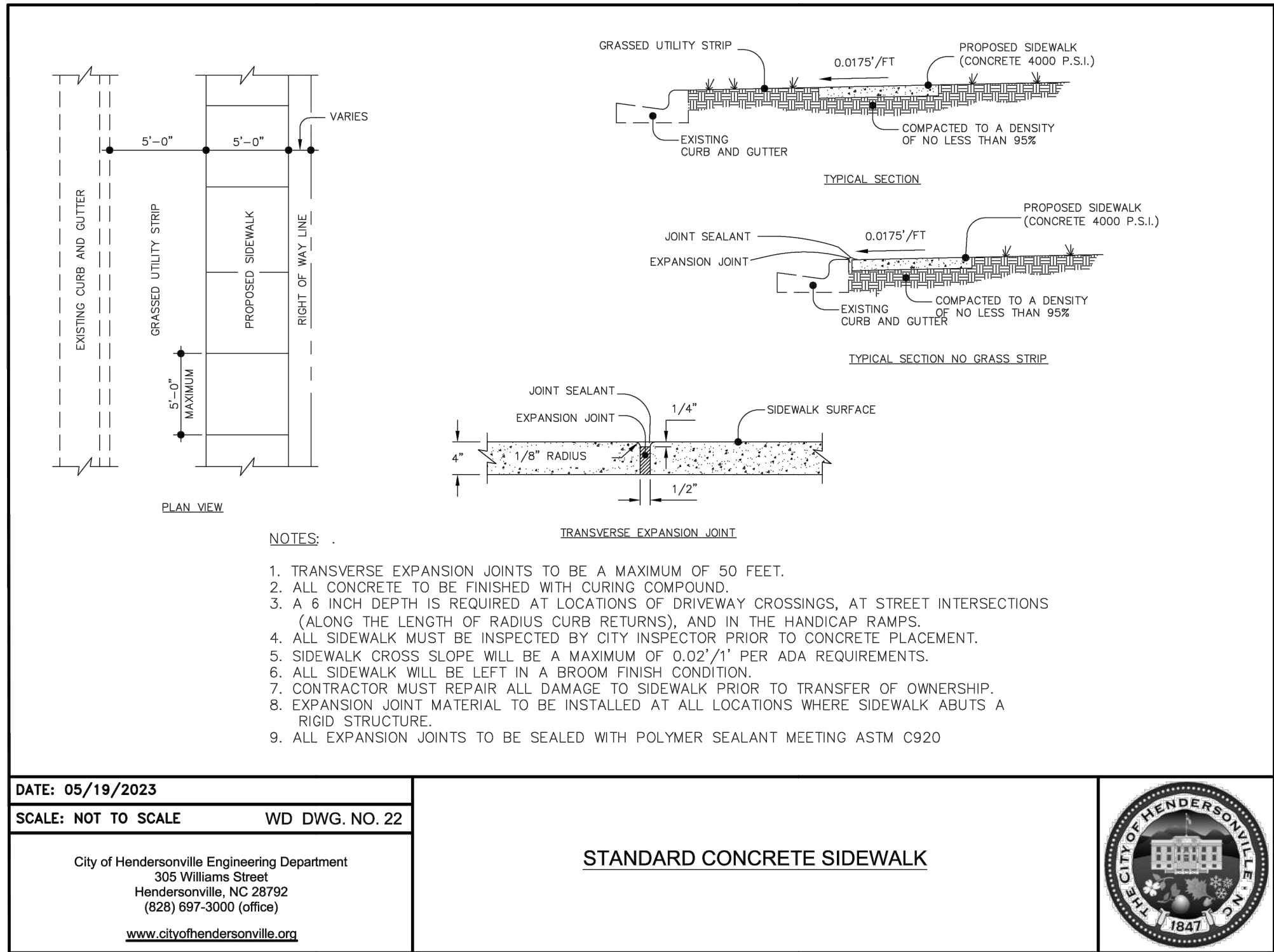
PROJECT #	656605823
DATE:	09/16/2024
DESIGN BY:	DW
DRAWN BY:	DW
APPROVED:	TMH
SCALE:	#####



4301 TAGGART CREEK ROAD
CHARLOTTE, NC 28208
Phone: 704-394-6913
www.3notch.com
License No. C-4973

SIGNAL HILL
SIGNAL HILL ROAD
HENDERSONVILLE, NORTH CAROLINA

SHEET TITLE:
WATERMAIN DETAILS - 2
(SHEET 2 OF 2)

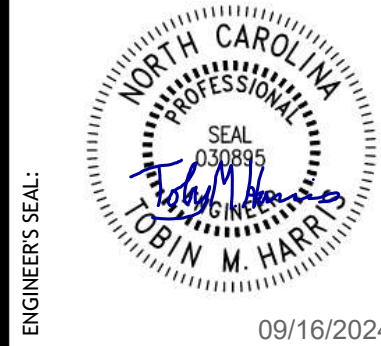


FIRST VICTORY
542 S. CALDWELL ST.
BREVARD, NC 28712
828.884.7934

REVISIONS

COMMENTS

REV. DATE



ENGINEER'S SEAL:

09/16/2024

PROJECT #	656605823
DATE:	09/16/2024
DESIGN BY:	DW
DRAWN BY:	DW
APPROVED:	THH
SCALE:	AS SHOWN

THREE NOTCH GROUP

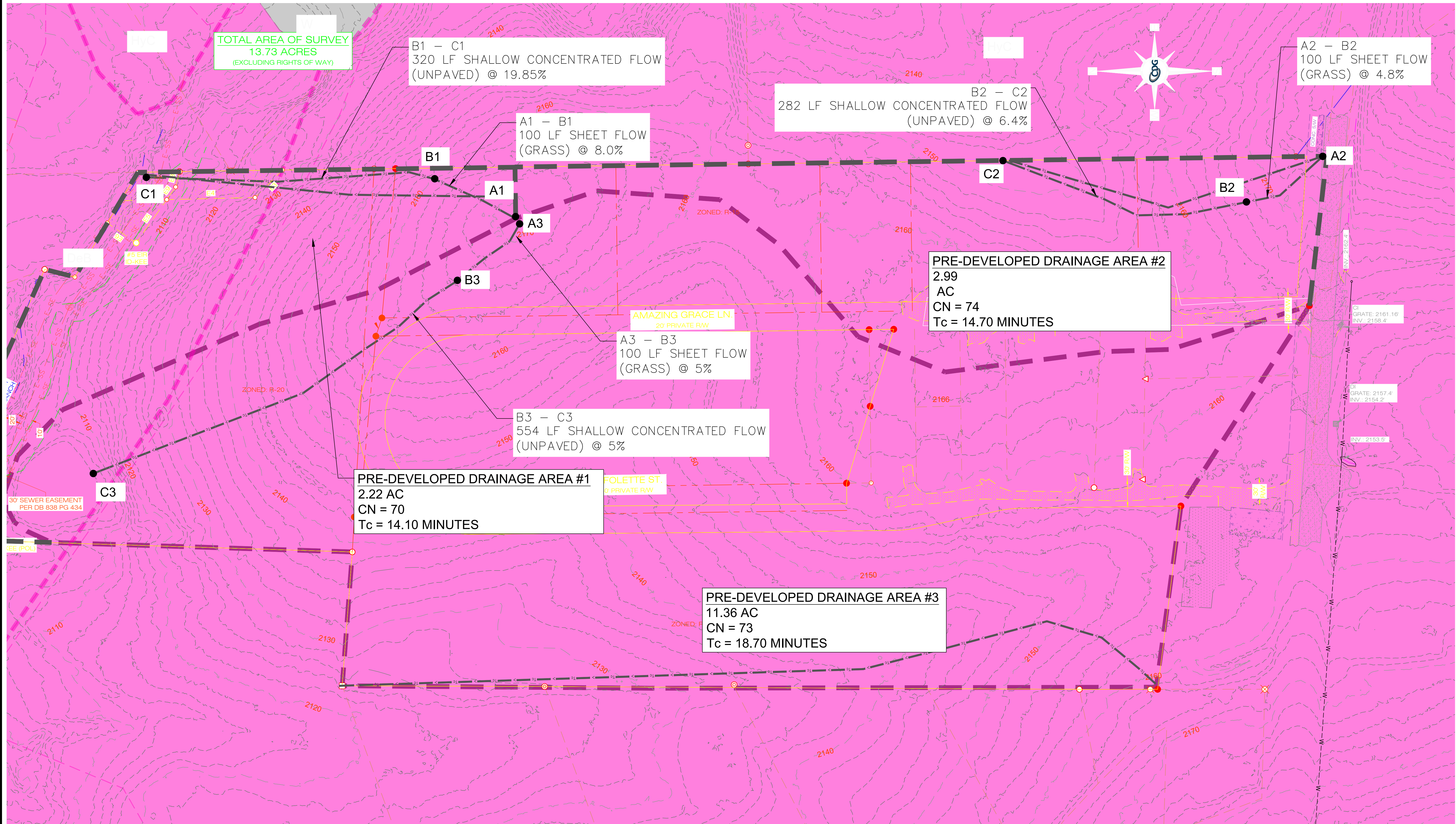
4301 TAGGART CREEK ROAD
CHARLOTTE, NC 28208
Phone: 704.368.6615
Fax: 704.368.6616
License No. C-4973

SIGNAL HILL
SIGNAL HILL ROAD
HENDERSONVILLE, NORTH CAROLINA

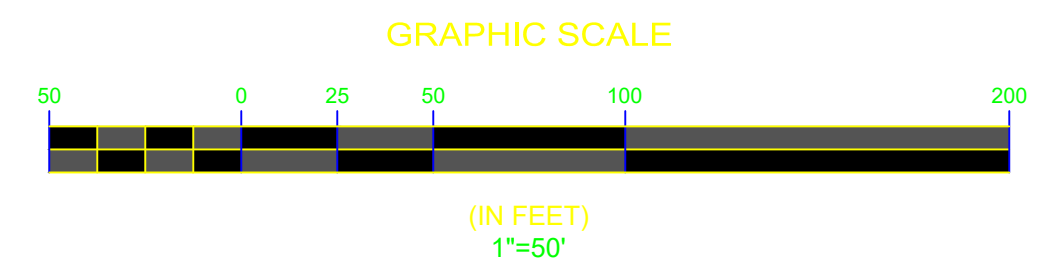
SHEET TITLE:
MISCELLANEOUS DETAILS

DRAWING NO:
31

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HYDRAULIC SOIL GROUP
C (HyC, DeB)
W



REVISIONS

REV.	DATE	COMMENTS

PROJECT #

65605823

DATE

09/16/2024

DESIGN BY

DW

DRAWN BY

DW

APPROVED

SCALE

AS SHOWN

THREE NOTCH GROUP

4301 TAGGART CREEK ROAD
CHARLOTTE, NC 28208
Phone: 704-394-6813
www.3notch.com
License No. C-4493

SIGNAL HILL
SIGNAL HILL ROAD
HENDERSONVILLE, NORTH CAROLINA

SHEET TITLE

PRE DEVELOPMENT
DRAINAGE AREA MAP

DRAWING NO.

32

97

FIRST VICTORY

542 S. CALDWELL ST.
BREVARD, NC 28712
828.884.7934

Section 5, Item B.



FIRST VICTORY
542 S. CALDWELL ST.
BREVARD, NC 28712
828.884.7934



For use by Principal Authority / Para uso de la Autoridad Principal
Cloudpermit application number / Número de solicitud de Cloudpermit US-NC30720-P-2025-93
PIN / Número de rollo 8235
Application submitted to / Solicitud presentada a Hendersonville, NC, North Carolina / Hendersonville, NC, Carolina del Norte



Description of Subject Property
Address / Dirección 0 NO ADDRESS ASSIGNED
Municipality / Municipio Hendersonville, NC, North Carolina / Hendersonville, NC, Carolina del Norte
PIN / Número de rollo 8235

Purpose of Application
Application type / Tipo de solicitud Site Plan Review — Preliminary Site Plan Review

Applicant		
Last name / Apellido Sexton	First name / Nombre de pila Catherine	Corporation or partnership / Corporación o sociedad First Victory Construction and Development
Street address / Dirección de la calle 542 S. Caldwell Street	Unit number / Número de unidad	Lot / Con.
Municipality / Municipio Brevard	State / Provincia NC	ZIP code / Código postal 28712
Other phone / Otro teléfono	Mobile phone / Teléfono móvil +1 8288847934	
Fax	Email / Correo electrónico	

Property owner		
Last name / Apellido SUESS, HERTA G TRUSTEE;HERTA G SUESS TRUST	First name / Nombre de pila	Corporation or partners Corporación o sociedad
Street address / Dirección de la calle 17187 GULF PINE CIR WELLINGTON FL 33414 6354	Unit number / Número de unidad	Lot / Con.
Municipality / Municipio	State / Provincia	ZIP code / Código postal
Other phone / Otro teléfono	Mobile phone / Teléfono móvil	
Fax	Email / Correo electrónico	

Section 5, Item B.

Declaration and Signatures
<p>Applicant</p> <p>I, Catherine Sexton (The Applicant), do hereby declare that the information contained in this application, the attached schedules and forms, the attached plans and specifications, and other attached documentation is true to the best of my knowledge. If a permit is granted, I agree to comply with Local Ordinances and the conditions of the permit. If the Applicant is a corporation or partnership, I have the authority to bind the corporation or partnership by signing off, I understand that it constitutes a legal signature confirming that I acknowledge and agree to the above declaration.</p> <p> Digitally signed on 05/16/2025, 1:44:33 PM EDT by Sam Hayes with an authorization letter from Catherine Sexton. / Firmado digitalmente el 16/5/25 13:44:33 EDT por Sam Hayes con una carta de autorización de Catherine Sexton.</p> <p>Property owner</p> <p>I, SUESS, HERTA G TRUSTEE;HERTA G SUESS TRUST (The Property owner), do hereby declare that the information contained in this application, the attached schedules and forms, the attached plans and specifications, and other attached documentation is true to the best of my knowledge. If a permit is granted, I agree to comply with Local Ordinances and the conditions of the permit. If the Property owner is a corporation or partnership, I have the authority to bind the corporation or partnership by signing off, I understand that it constitutes a legal signature confirming that I acknowledge and agree to the above declaration.</p> <p> Digitally signed on 05/16/2025, 1:43:35 PM EDT by Sam Hayes with an authorization letter from SUESS, HERTA G TRUSTEE;HERTA G SUESS TRUST. / Firmado digitalmente el 16/5/25 13:43:35 EDT por Sam Hayes con una carta de autorización de SUESS, HERTA G TRUSTEE;HERTA G SUESS TRUST.</p>

Required Information	
<div>Projects proposing any of the following must submit a complete application at least 32 days prior to any Planning Board meeting.</div> <div> <ul style="list-style-type: none"> Any commercial, industrial or institutional development consisting of 20,000 or more square feet of floor area. Addition of more than 30 parking spaces. Any minor planned residential development consisting of nine or more dwelling units. </div>	

Section 5, Item B.

Information			
Type of Plan Review Preliminary		List 10 digit PIN or 7 digit PID number for each property 9579065791, 9579068507, 9579068308, 9599068117, 9579067975, 9599076259	
CHECK TYPE OF DEVELOPMENT Residential			
Current Zoning R-15	Total Acreage 13	Proposed Building Sq.ft. 1258.0 sq.ft.	# of Dwelling Units 50

***SUMMARY:** The City of Hendersonville is initiating zoning for 4 properties totaling 21.32 acres that were recently annexed into the City Limits. The properties are owned by Gregory Albea, Julianne Albea, Jospheh Taylor, and Laura Taylor. The City is requesting to assign zoning to the subject properties, PINs: 9579-98-0375, 9579-98-3527, 9579-99-4115, 9579-99-8724, located off Old Sunset Hill Road. The properties were zoned under Henderson County as ‘Residential Two Rural’. Planning staff is recommending that they be given a City zoning of R-15, Medium Density Residential. This zoning would allow for a variety of residential development arrangements. Sixty-one standard R-15 lots could be created out of the 21.32 Acres. Single-family or two-family homes could be placed on those lots - though a unit count exceeding 51 units would require a rezoning to a Conditional Zoning District.*

If rezoned, there will not be a binding site plan, list of uses, nor conditions placed on the site. All permitted uses within the R-15 district would be allowed on the site.

PROJECT/PETITIONER NUMBER:	25-38-RZO
PETITIONER NAME:	<ul style="list-style-type: none">• City of Hendersonville [Applicant]• Gregory Albea, Julianne Albea, Jospheh Taylor, and Laura Taylor [Owner]
ATTACHMENTS:	<ol style="list-style-type: none">1. Staff Report2. Proposed Zoning Map3. Draft Ordinance

REZONING: CONDITIONAL REZONING –OLD SUNSET HILL REZONING |
ALBEA & TAYLOR (25-38-RZO)
CITY OF HENDERSONVILLE - COMMUNITY DEVELOPMENT STAFF REPORT

PROJECT SUMMARY 2

EXISTING ZONING & LAND USE 3

SITE IMAGES..... 4

FUTURE LAND USE 9

DEVELOPER-PROPOSED CONDITIONS:**Error! Bookmark not defined.**

OUTSTANDING ISSUES & CITY PROPOSED CONDITIONS:**Error! Bookmark not defined.**

REZONING ANALYSIS – GENERAL REZONING STANDARDS (ARTICLE 11-4) 10

DRAFT COMPREHENSIVE PLAN CONSISTENCY AND REZONING REASONABLENESS STATEMENT 11



PROJECT SUMMARY

- Project Name & Case #:
 - 25-38-RZO
- Applicant & Property Owner:
 - City of Hendersonville [Applicant]
 - Gregory and Julianne Albea [Owner]
 - Joseph and Laura Taylor [Owner]
- Property Address:
 - 205 Old Sunset Hill Road
- Project Acreage:
 - 21.32 total
- Parcel Identification (PIN):
 - 9579-98-0375
 - 9579-98-3527
 - 9579-99-4115
 - 9579-99-8724
- Current Parcel Zoning:
 - Henderson County Residential Two Rural
- Future Land Use Designation:
 - Henderson County- Infill Area
 - City of Hendersonville- Multi-Generational Living
- Recommended Zoning:
 - R-15

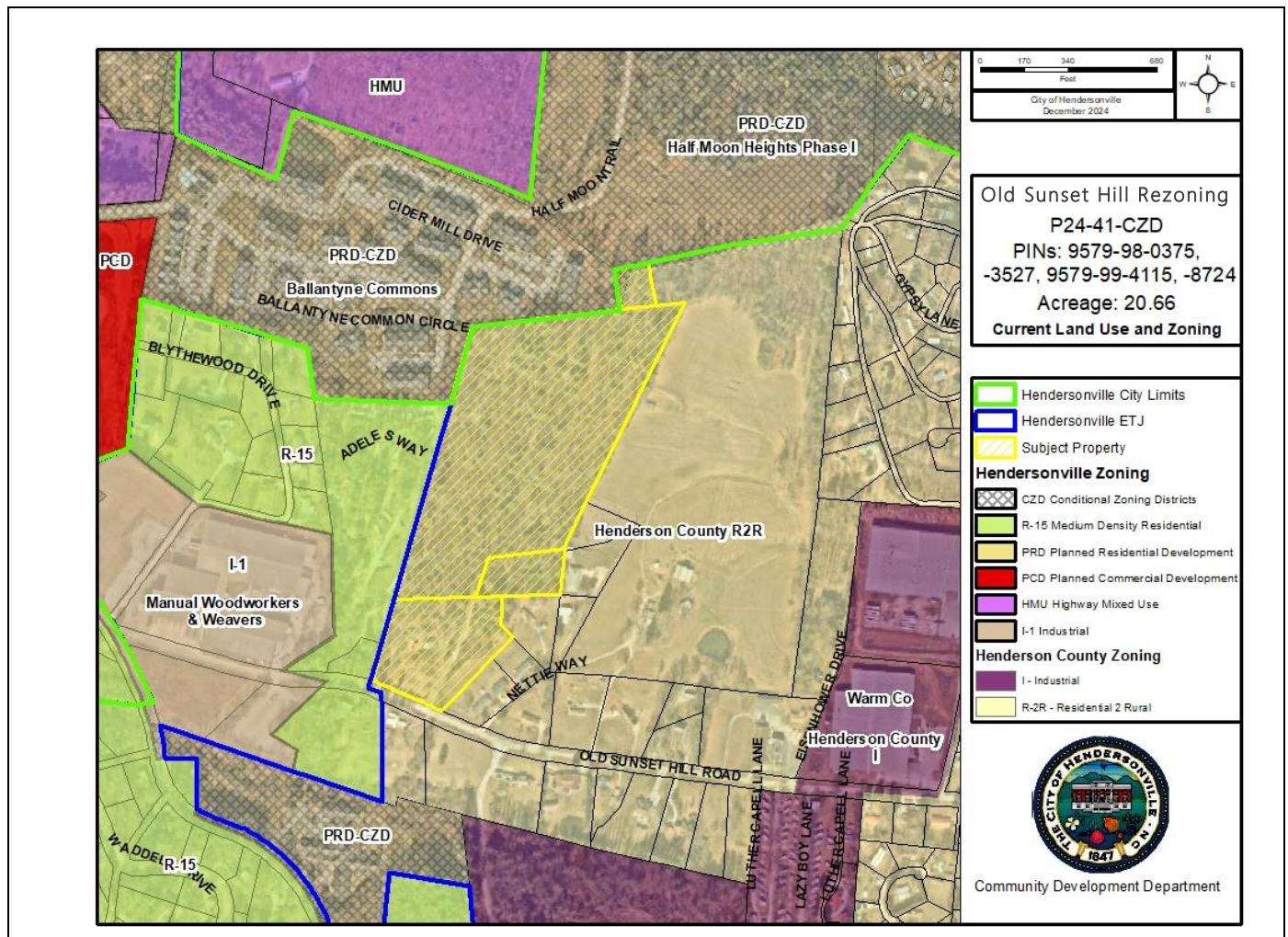


SITE VICINITY MAP

The City of Hendersonville is initiating zoning for 4 properties totaling 21.32 acres that were recently annexed into the City Limits. The properties are owned by Gregory Albea, Julianne Albea, Joseph Taylor, and Laura Taylor. The City is requesting to assign zoning to the subject properties, PINs: 9579-98-0375, 9579-98-3527, 9579-99-4115, 9579-99-8724, located off Old Sunset Hill Road. The properties were zoned under Henderson County as 'Residential Two Rural'. Planning staff is recommending that they be given a City zoning of R-15, Medium Density Residential. This zoning would allow for a variety of residential development arrangements. Sixty-one standard R-15 lots could be created out of the 21.32 Acres. Single-family or two-family homes could be placed on those lots - though a unit count exceeding 51 units would require a rezoning to a Conditional Zoning District.

If rezoned, there will not be a binding site plan, list of uses, nor conditions placed on the site. All permitted uses within the R-15 district would be allowed on the site.

EXISTING ZONING & LAND USE



City of Hendersonville Current Zoning & Land Use Map

The subject property comprises four parcels currently zoned Henderson County Residential Two Rural. To the north, parcels are zoned Planned Residential Development Conditional Zoning District and include Ballantyne Commons, an apartment community with a density of 12 units per acre, and Half Moon Heights Phase One, a single-family development with a density of 2.67 units per acre. A stub out from Half Moon Heights Phase One should provide connectivity to the subject properties. Farther north, single-family home subdivisions (Major PRDs), including Wolf Chase and Wolf Pen, have densities of 2.6 and 2.7 units per acre, respectively.

Parcels to the east consist primarily of smaller lots with single-family homes. However, a large, underutilized property directly adjacent to the subject property has redevelopment potential in the future.

To the west, the Connor Creek Mobile Home Park occupies the neighboring parcel. This park contains 94 mobile/manufactured home units, with a density of 12 units per acre. According to a recent survey, some mobile homes in Connor Creek encroach on the subject property.

SITE IMAGES



View of one of the streams that run through the subject property.



View from the subject property to the adjacent apartment development (Ballentyne Commons)

SITE IMAGES



Typical view within the subject property.



View of the largely underutilized land to the east of the subject property.

SITE IMAGES



View of Half Moon Heights Phase I from the subject property.



View of the adjacent mobile home park (Connor Creek).

SITE IMAGES



View of the stream that runs along the western portion of the property.



View of an existing house located on the subject property.

SITE IMAGES

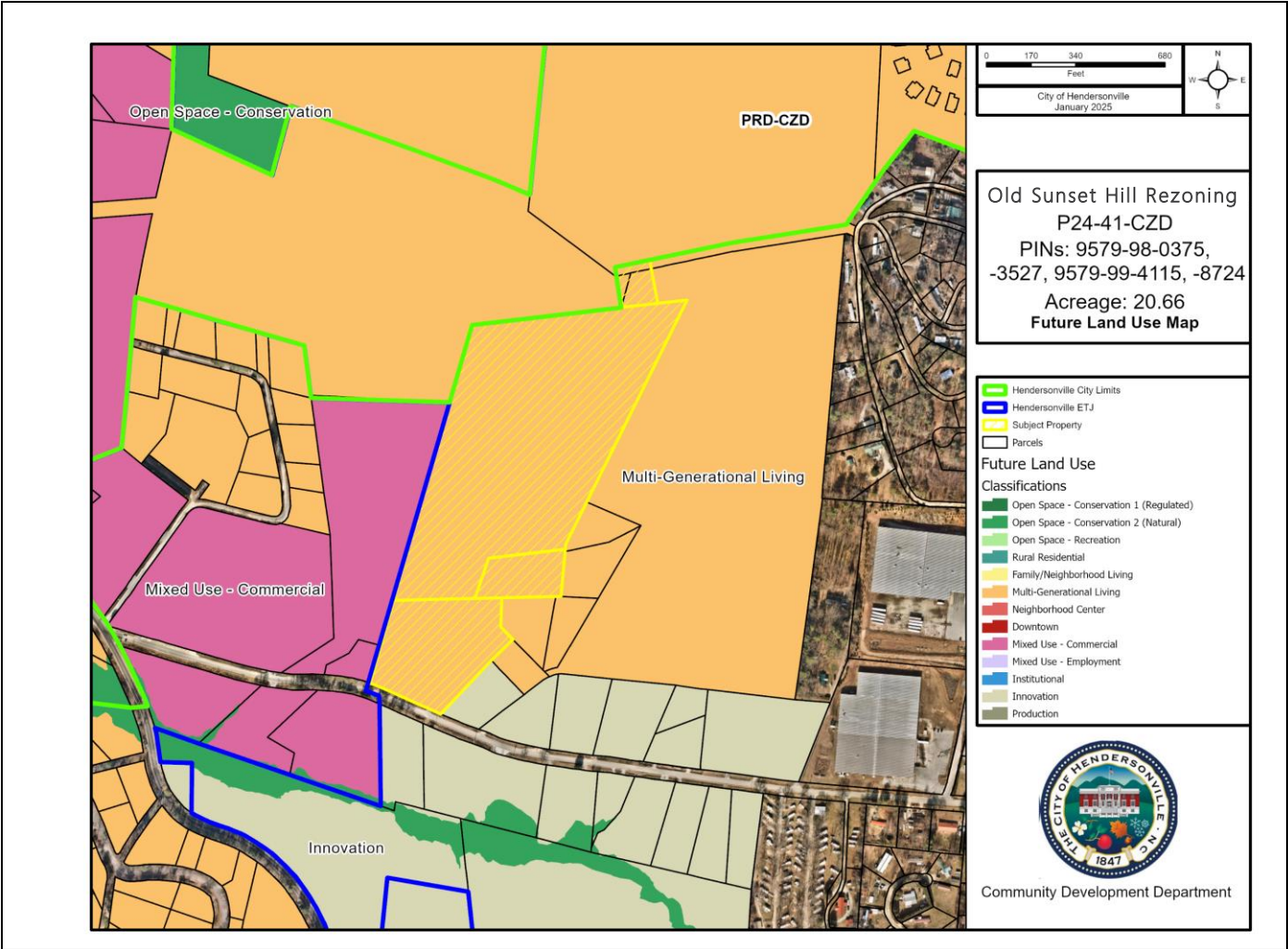


View of the subject property from Old Sunset Hill Road



View of the subject property's Old Sunset Hill Road frontage

FUTURE LAND USE



City of Hendersonville Future Land Use Map

The subject property is designated as Multi-Generational Living. These parcels and all other surrounding parcels included in existing Planned Residential Developments have this designation. Parcels to the west are designated as Mixed-Use Commercial and these parcels include the Connor Creek Mobile Home Park as well as the Manual Woodworkers & Weavers. The large, underdeveloped parcel to the east is designated as Multi-Generational Living. Parcels to the south along Old Sunset Hill Road are designated as innovation and Open Space Conservation.

REZONING ANALYSIS – GENERAL REZONING STANDARDS (ARTICLE 11-4)

GENERAL REZONING STANDARDS	
1) Comprehensive Plan Consistency	Land Supply, Suitability & Intensity Land Supply: The subject property is outside the scope of the land supply map. Land Suitability: The subject property was not evaluated. Focused Intensity Node: The subject property is in a Focused Intensity Node centered at the intersection of Howard Gap Road and Chimney Rock Road. Development Intensity: Highest Focus Area: N/A
	Future Land Use & Conservation Map- Designation: Multi-Generational Living Character Area Description: Consistent Zoning Crosswalk: Inconsistent
2) Compatibility	Whether and the extent to which the proposed amendment is compatible with existing and proposed uses surrounding the subject property –
	<p>The subject property is located near four Planned Residential Developments, including three single-family developments and one multi-family development. Additionally, it is in close proximity to Chestnut Ridge, a subdivision under Henderson County's jurisdiction that was platted in 1988 and consists of approximately 118 lots on 62 acres. The US 64 corridor continues to experience growth, driven by the presence of large undeveloped and underdeveloped parcels in the surrounding area.</p>
3) Changed Conditions	Whether and the extent to which there are changed conditions, trends or facts that require an amendment -
	<p>The subject property is requesting to be annexed into the City. If annexed, the City must apply zoning to the parcels. City staff recommends that the zoning be consistent with surrounding land uses.</p>
4) Public Interest	Whether and the extent to which the proposed amendment would result in a logical and orderly development pattern that benefits the surrounding neighborhood, is in the public interest and promotes public health, safety and general welfare -
	<p>Based on the 2021 Bowen Housing Needs Assessment for Western North Carolina, Henderson County has an estimated rental housing gap of 1,650 to 2,008 Units for incomes between <50%-120% AMI. This represents one of the largest gaps in the WNC region. Over the last 3 years, the City of Hendersonville has approved 634 detached single-family homes. It should also be noted that the Housing Needs Assessment Study does not account for the housing gap for incomes above 120% AMI. An additional gap, beyond that reflected in the “1,650 to 2,008-unit gap”, exist for those income levels greater than 120% AMI.</p>

<p>5) Public Facilities</p>	<p>Whether and the extent to which adequate public facilities and services such as water supply, wastewater treatment, fire and police protection and transportation are available to support the proposed amendment</p> <p>Howard Gap Road is a NCDOT maintained road, identified in the Comprehensive Transportation Plan as a boulevard in need of improvements. If approved, the site would be served by City of Hendersonville water and sewer services. Water infrastructure is already available on Old Sunset Hill Road, while sewer service would need to be extended from the Connor Creek Mobile Home Park to the west.</p>
<p>6) Effect on Natural Environment</p>	<p>Whether and the extent to which the proposed amendment would result in significantly adverse impacts on the natural environment including but not limited to water, air, noise, storm water management, streams, vegetation, wetlands and wildlife -</p> <p>No development is proposed at this time. Therefore there are no known impacts on the natural environment as a result of this rezoning. Approximately 19.5 acres of the 21+acre property are currently covered by an existing tree canopy. The site also includes blue-line streams. These streams would be required to be protected in compliance with the natural resource provisions of the zoning ordinance. Additionally, wetlands have been identified on the site; however, unlike blue-line streams, the zoning ordinance does not extend specific protections to wetlands.</p>

DRAFT COMPREHENSIVE PLAN CONSISTENCY AND REZONING REASONABLENESS STATEMENT

The petition is found to be **consistent** with the City of Hendersonville Gen H 2045 Comprehensive Plan based on the information from the staff analysis and the public hearing, and because:

The petition is consistent with the Future Land Use and Conservation Map Designations of Multi-Generational Living and is located in a focused intensity node within chapter 4 of the Gen H Comprehensive Plan.

We **[find/do not find]** this petition to be reasonable and in the public interest based on the information from the staff analysis and the public hearing, and because:

DRAFT [Rationale for Approval]

- *The proposed zoning allows for the provision of additional housing to offset local demand.*
- *The proposed zoning district's minimum lot size is consistent with nearby developments.*
- *The proposed zoning district's permitted uses are consistent with nearby developments*

DRAFT [Rational for Denial]

- *The proposed zoning is incompatible with the surrounding land uses*
- *The proposed zoning would result in increased traffic congestion to the surrounding area*
- *The proposed zoning would result in environmental degradation*

Ordinance # ____ - ____

AN ORDINANCE OF THE CITY OF HENDERSONVILLE CITY COUNCIL TO AMEND THE OFFICIAL ZONING MAP OF THE CITY OF HENDERSONVILLE, FOR CERTAIN PARCELS (POSSESSING PIN NUMBERS 9579-98-0375, 9579-98-3527, 9579-99-4115, 9579-99-8724), BY ASSIGNING THE ZONING DESIGNATION FROM HENDERSON COUNTY R2R, RESIDENTIAL TWO RURAL, TO R-15, MEDIUM DENSITY RESIDENTIAL

IN RE: Parcel Numbers: 9579-98-0375, 9579-98-3527, 9579-99-4115, 9579-99-8724
205 Old Sunset Hill Rd (Albea & Taylor) | File # 25-38-RZO

WHEREAS, Planning Board took up this application at its regular meeting on June 12, 2025; voting to recommend City Council adopt an ordinance amending the official zoning map of the City of Hendersonville, and

WHEREAS, City Council took up this application at its regular meeting on July 2, 2025, and

WHEREAS, City Council has found that this zoning map amendment is consistent with the City’s comprehensive plan, and that it is reasonable and in the public interest for the reasons stated, and

WHEREAS, City Council has conducted a public hearing as required by the North Carolina General Statutes on July 2, 2025,

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Hendersonville, North Carolina:

1. Pursuant to Article XI of the Zoning Ordinance of the City of Hendersonville, North Carolina, the Zoning Map is hereby amended by changing the zoning designation of the following: Parcel Numbers: 9579-98-0375, 9579-98-3527, 9579-99-4115, 9579-99-8724, by changing the zoning designation from Henderson County R2R, Residential Two Rural, to R-15, Medium Density Residential
2. Any development of this parcel shall occur in accordance with the Zoning Ordinance of the City of Hendersonville, North Carolina.
3. This ordinance shall be in full force and effect from and after the date of its adoption.

Adopted this 2nd day of July 2025.

Attest: _____
Barbara G. Volk, Mayor, City of Hendersonville

Jill Murray, City Clerk

Approved as to form:

Angela S. Beeker, City Attorney



CITY OF HENDERSONVILLE

AGENDA ITEM SUMMARY

PLANNING DIVISION

SUBMITTER:	Sam Hayes	MEETING DATE:	June 12 th , 2025
AGENDA SECTION:	New Business	DEPARTMENT:	Community Development
TITLE OF ITEM:	Rezoning: Standard Rezoning–Quattlebaum Properties F LLC (Sheetz Upward Road) (25-37-RZO) – <i>Sam Hayes–Planner II</i>		

SUGGESTED MOTION(S):

<u>For Recommending Approval:</u>	<u>For Recommending Denial:</u>
<p>I move Planning Board recommend City Council <u>adopt</u> an ordinance amending the official zoning map of the City of Hendersonville changing the zoning designation of the subject property (PIN 9588-40-7325) from Henderson County Zoning RC – Regional Commercial to CHMU – Commercial Highway Mixed Use, based on the following:</p> <p>1. The petition is found to be consistent with the City of Hendersonville Gen H 2045 Comprehensive Plan based on the information from the staff analysis and the public hearing, and because:</p> <p style="padding-left: 40px;">The petition is consistent with a range of Goals, Guiding Principles and the Future Land Use Designation of Chapter IV of the Gen H Comprehensive Plan.</p> <p>2. Furthermore, we find this petition to be reasonable and in the public interest based on the information from the staff analysis, public hearing and because:</p> <ol style="list-style-type: none"> 1. The proposed map amendment would rezone the property to an appropriate zoning district meant for the Upward Road corridor. 2. The adjacent property uses are congruent with the proposed use. <p style="text-align: center;">[DISCUSS & VOTE]</p>	<p>I move Planning Board recommend City Council <u>deny</u> an ordinance amending the official zoning map of the City of Hendersonville changing the zoning designation of the subject property (PIN 9588-40-7325) from Henderson County Zoning RC – Regional Commercial to CHMU – Commercial Highway Mixed Use, based on the following:</p> <p>1. The petition is found to be consistent with the City of Hendersonville Gen H 2045 Comprehensive Plan based on the information from the staff analysis and the public hearing, and because:</p> <p style="padding-left: 40px;">The petition is consistent with a range of Goals, Guiding Principles and the Future Land Use Designation of Chapter IV of the Gen H Comprehensive Plan.</p> <p>2. We do not find this petition to be reasonable and in the public interest based on the information from the staff analysis, public hearing and because:</p> <ol style="list-style-type: none"> 1. The proposed zoning district and rezoning is not appropriate for the type of development in this area. <p style="text-align: center;">[DISCUSS & VOTE]</p>

***SUMMARY:** The City of Hendersonville has initiated a standard rezoning for a property located along Upward Road. The property owner has submitted a petition to annex the parcel, identified as PIN 9588-40-7325. If annexed into the City, the property must be assigned a zoning designation. Because the applicant did not request a specific zoning district in the annexation petition, the City has proposed CHMU (Commercial Highway Mixed Use) zoning.*

CHMU was established specifically for properties along the Upward Road corridor. The proposed use for the property—a gas station—is permitted within the CHMU district. Additionally, surrounding parcels that have been annexed into the City through satellite annexations are also predominantly zoned CHMU.

PROJECT/PETITIONER NUMBER:	25-37-RZO
PETITIONER NAME:	<ul style="list-style-type: none"> City of Hendersonville (Initial zoning only done if the property is successfully annexed into the City)
ATTACHMENTS:	<ol style="list-style-type: none"> Staff Report Comprehensive Plan Review Annexation Plat for Reference Proposed Zoning Map Draft Ordinance

REZONING: STANDARD REZONING –QUATTLEBAUM PROPERTIES F LLC
(SHEETZ UPWARD ROAD) (25-37-RZO) CITY OF HENDERSONVILLE -
COMMUNITY DEVELOPMENT STAFF REPORT

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DRAFT COMPREHENSIVE PLAN CONSISTENCY AND REZONING REASONABLENESS STATEMENT 8



PROJECT SUMMARY

- Project Name & Case #:
 - Quattlebaum Properties F LLC (Sheetz Upward Road)
 - 25-37-RZO
- Applicant & Property Owner:
 - City of Hendersonville [Applicant]
- Property Address:
 - 0 Upward Road
- Project Acreage:
 - 2.65 Acres
- Parcel Identification (PIN):
 - 9588-40-7325
- Current Parcel Zoning:
 - RC – Regional Commercial (County Zoning)
- Future Land Use Designation:
 - Mixed-Use Commercial
- Requested Zoning:
 - CHMU – Commercial Highway Mixed Use
- Requested Uses:
 - Convenience stores with gasoline sales

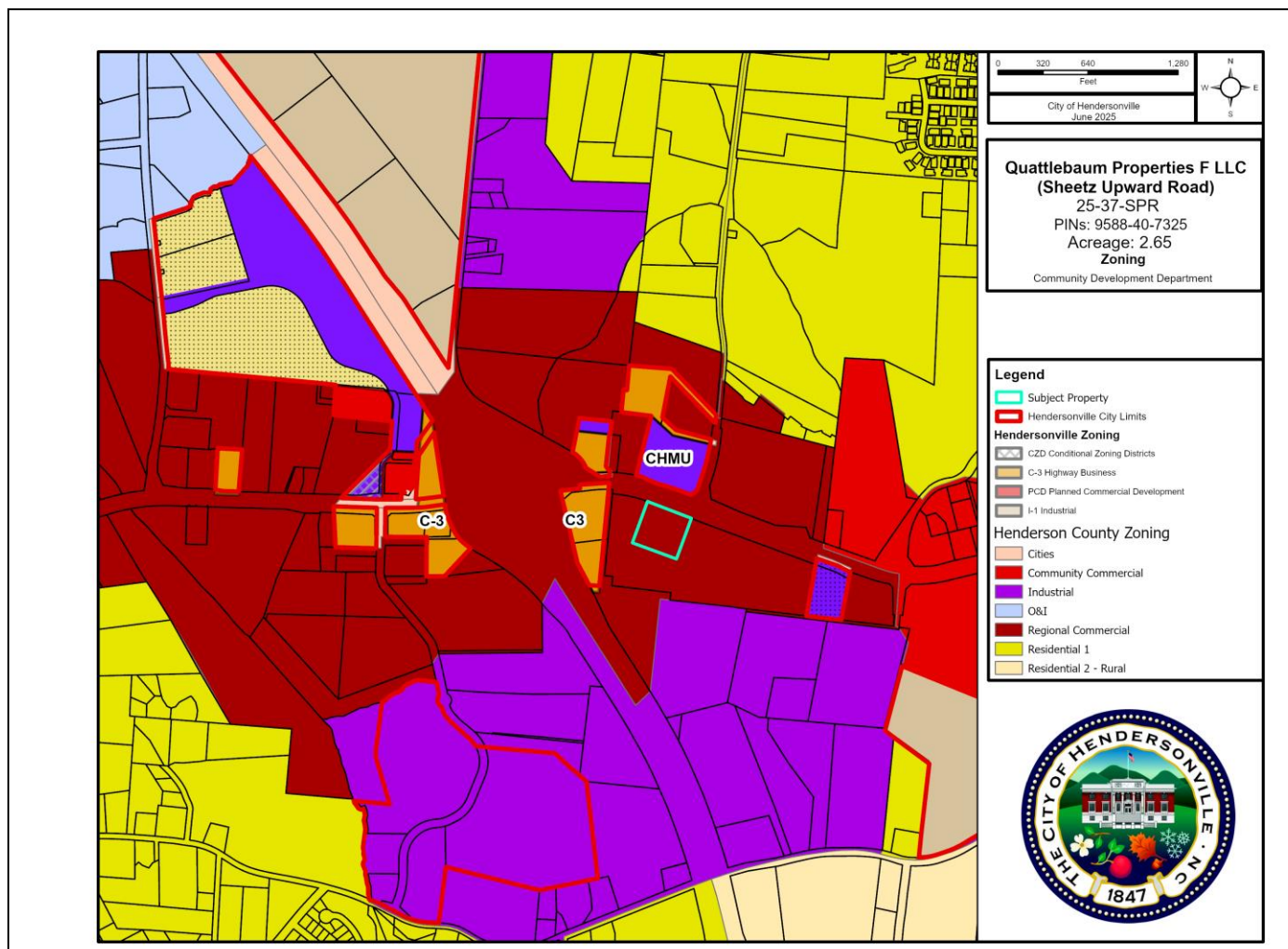


SITE VICINITY MAP

The City of Hendersonville has initiated a standard rezoning for a property located along Upward Road. The property owner has submitted a petition to annex the parcel, identified as PIN 9588-40-7325. If annexed into the City, the property must be assigned a zoning designation. Because the applicant did not request a specific zoning district in the annexation petition, the City has proposed CHMU (Commercial Highway Mixed Use) zoning.

CHMU was established specifically for properties along the Upward Road corridor. The proposed use for the property—a gas station—is permitted within the CHMU district. Additionally, surrounding parcels that have been annexed into the City through satellite annexations are also zoned CHMU.

EXISTING ZONING & LAND USE



City of Hendersonville Current Zoning & Land Use Map

The subject property is currently zoned Henderson County RC – Regional Commercial, given that it is located within the County jurisdiction. If annexed, there are several other satellite annexations that have occurred in the surrounding area. The zoning districts for these properties include CHMU, C-3, and PCD.

In 2011, City planning staff brought forward a proposal for the creation of the Commercial Highway Mixed Use District. Additionally, City Council created the Upward Road Planning District in line with the City’s sewer extension policy.

SITE IMAGES



View of property looking east from Upward Road.



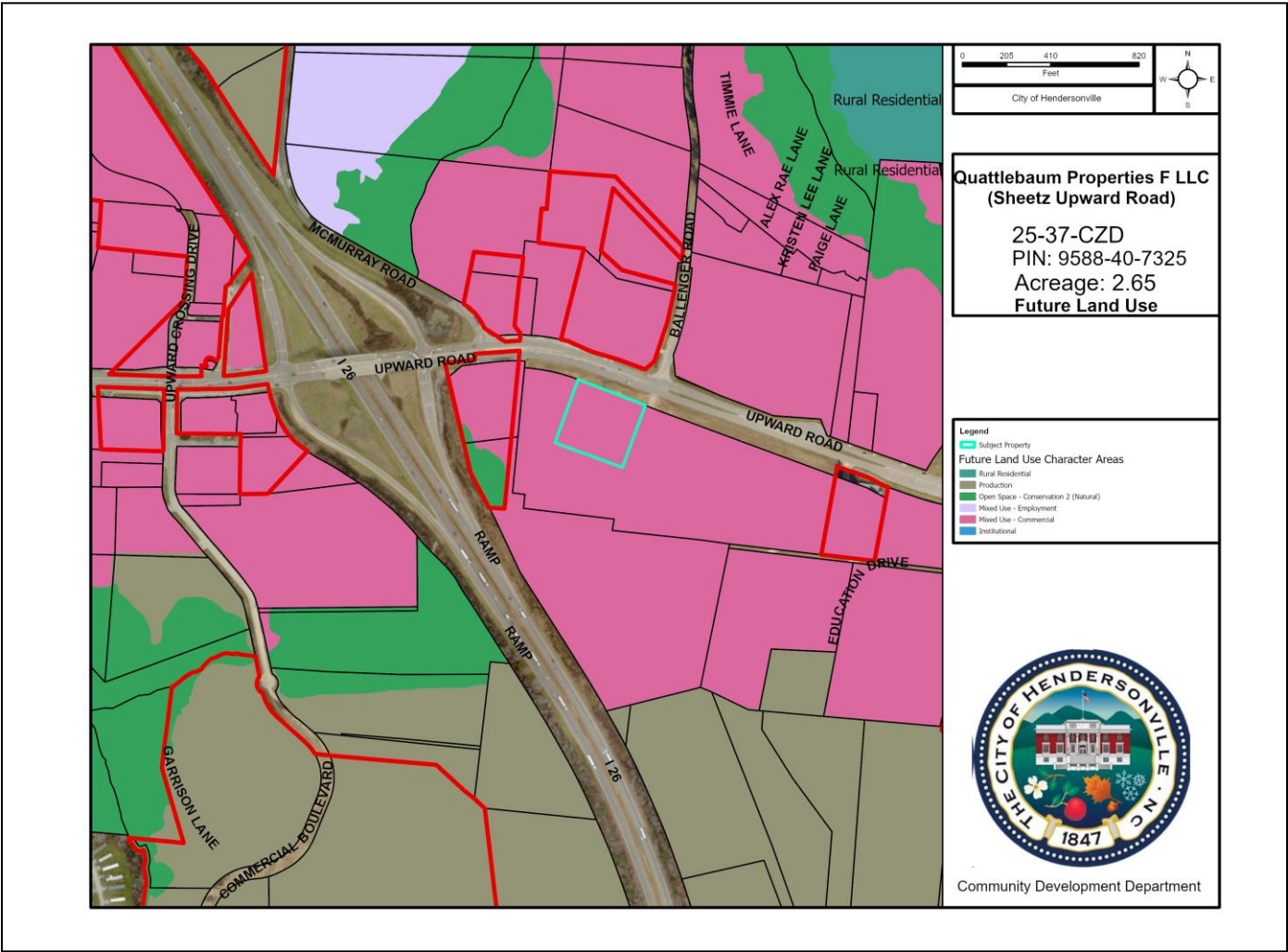
View south onto property from Upward Road.

SITE IMAGES



View west onto property from Upward Road.

FUTURE LAND USE



City of Hendersonville Future Land Use Map

The subject property is designated as mixed-use commercial in the future land use map in the Gen H Comprehensive Plan. Almost all of the parcels along Upward Road are classified as this in the comprehensive plan. The designation states, “These areas are centers of activity with a mix of retail, restaurant, service, office, and civic uses, as well as various residential housing types. The mix can be horizontal or vertical, with changes in use between floors of the same building. Buildings of two or more stories are common, and streets feature short block lengths and pedestrian facilities. Open spaces include plazas, formal greens, and pocket parks. This activity center is intended to be the City’s most intense district outside of the Downtown character area.”

REZONING ANALYSIS – GENERAL REZONING STANDARDS (ARTICLE 11-4)

GENERAL REZONING STANDARDS	
1) Comprehensive Plan Consistency	<p><u>LAND SUPPLY, SUITABILITY & INTENSITY</u></p> <p>The subject property is was excluded from the analysis for the Land Supply Map and therefore is not ranked for Suitability for Residential, Commercial and Industrial uses.</p> <p>The subject property is located in an area designated as “High” for Development Intensity.</p> <p>The subject property is not located in one of the the 5 Focus Areas.</p> <p>The subject property is located in a Focused Intensity Node. A Focused Intensity Node is classified as: “Concentration of more intense development are envisioned for key nodes where ‘Mixed-Use Commercial Center (MU-C)’ character areas are delineated on the Future Land Use Map. These nodes are intended to be the largest activity centers outside of downtown and support a broad range of compatible uses.”</p>
	<p><u>FUTURE LAND USE & CONSERVATION MAP</u></p> <p>Character Area Designation: Mixed Use - Commercial</p> <p>Character Area Description: Consistent</p> <p>Zoning Crosswalk: Consistent</p> <p>Focus Area Map: NA</p>
2) Compatibility	<p>Whether and the extent to which the proposed amendment is compatible with existing and proposed uses surrounding the subject property –</p>
	<p>The proposed use as a gas station is compatible with other uses along this corridor. Additionally, the zoning to CHMU is compatible with the City’s desire to utilize this zoning district along this corridor.</p>
3) Changed Conditions	<p>Whether and the extent to which there are changed conditions, trends or facts that require an amendment -</p>
	<p>The property is currently going through the annexation process.</p>
4) Public Interest	<p>Whether and the extent to which the proposed amendment would result in a logical and orderly development pattern that benefits the surrounding neighborhood, is in the public interest and promotes public health, safety and general welfare -</p>
	<p>Rezoning to this zoning district will enable this corridor to be developed in the same zoning district over time, ensuring cohesive progression of development.</p>
5) Public	<p>Whether and the extent to which adequate public facilities and services such as water supply, wastewater treatment, fire and</p>

Facilities	police protection and transportation are available to support the proposed amendment
	If annexed, the parcel would have the option to access City sewer. The property would be able to access City water without annexation.
6) Effect on Natural Environment	Whether and the extent to which the proposed amendment would result in significantly adverse impacts on the natural environment including but not limited to water, air, noise, storm water management, streams, vegetation, wetlands and wildlife -
	The development must comply with all the City of Hendersonville zoning ordinance provisions regarding the protection of the natural environment.

DRAFT COMPREHENSIVE PLAN CONSISTENCY AND REZONING REASONABLENESS STATEMENT

The petition is found to be **consistent** with the City of Hendersonville Gen H 2045 Comprehensive Plan based on the information from the staff analysis and the public hearing, and because:

The petition is consistent with a range of Goals, Guiding Principles and the Future Land Use Designation of Chapter IV of the Gen H Comprehensive Plan.

We **[find/do not find]** this petition to be reasonable and in the public interest based on the information from the staff analysis and the public hearing, and because:

DRAFT [Rationale for Approval]

- The proposed map amendment would rezone the property to an appropriate zoning district meant for the Upward Road corridor.*
- The adjacent property uses are congruent with the proposed use.*

DRAFT [Rational for Denial]

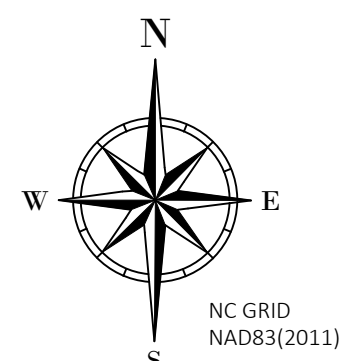
- The proposed zoning district and rezoning is not appropriate for the type of development in this area.*

Chapter 4 - The Vision for the Future	Consistent	Inconsistent
SUPPLY, SUITABILITY, & INTENSITY		
LAND SUPPLY MAP (Pg. 81, Figure 4.4)	NA	NA
LAND SUITABILITY MAP (Pg. 84-86, Figure 4.5-4.7)	NA	NA
DEVELOPMENT INTENSITY MAP (Pg. 89, Figure 4.9)	Consistent	
FUTURE LAND USE & CONSERVATION MAP		
Future Land Use and Conservation Map (Note classification here, Pg. 117, Figure 4.12)	Mixed Use - Commercial	
Character Area Description (Pg. 122-131)	Consistent	
Zoning Crosswalk (Pg. 132-133, Figure 4.18)	Consistent	
Focus Area Map (Pg. 134-159)	NA	NA

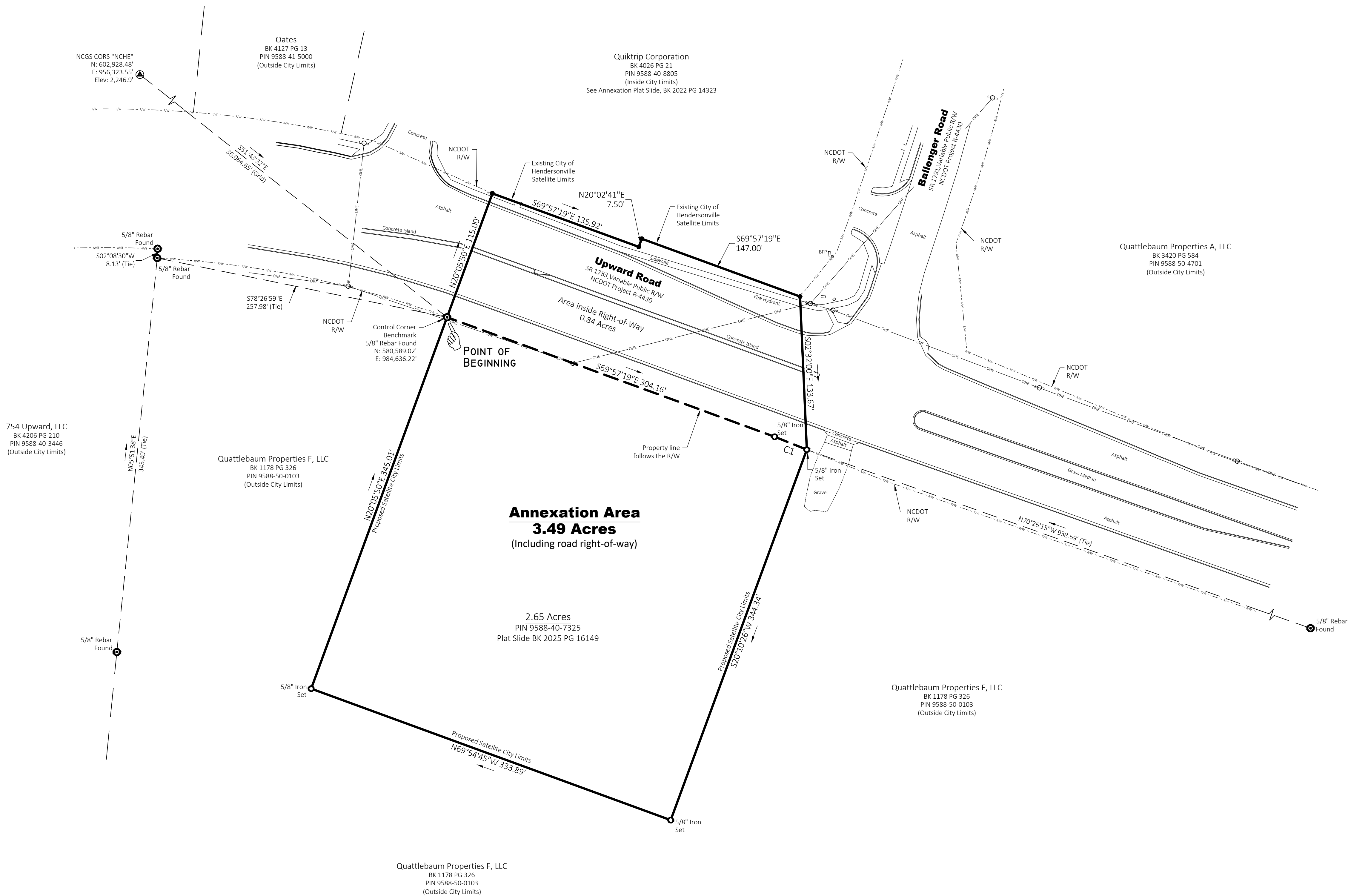
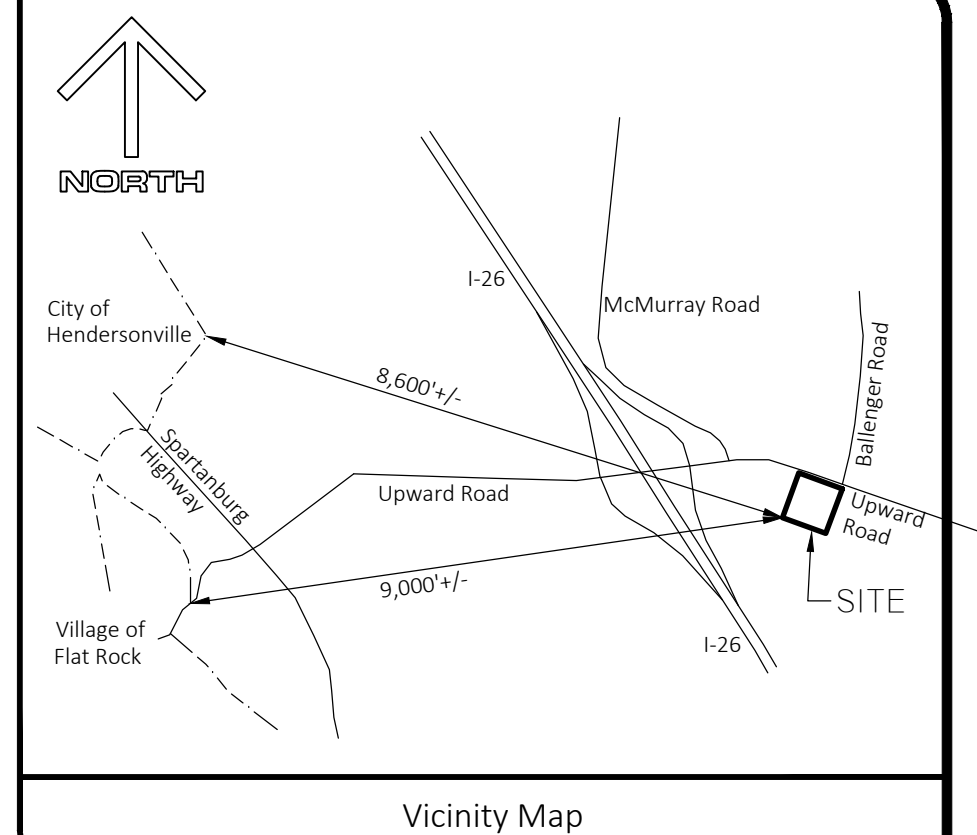
Chapter 4 - The Vision for the Future	Consistent
GOALS	
<u>Vibrant Neighborhoods (Pg. 93)</u>	
Promote lively neighborhoods that increase local safety.	Consistent
Enable well-maintained homes, streets, and public spaces.	NA
Promote diversity of ages (stage of life), income levels, and a range of interests.	NA
The design allows people to connect to nearby destinations, amenities, and services.	Consistent
<u>Abundant Housing Choices (Pg. 93)</u>	
Housing provided meets the need of current and future residents.	NA
Range of housing types provided to help maintain affordability in Hendersonville.	NA
Housing condition/quality exceeds minimum standards citywide	NA
<u>Healthy and Accessible Natural Environment (Pg. 94)</u>	
Recreational (active and passive) open spaces are incorporated into the development.	Consistent
Water quality is improved with the conservation of natural areas that serve as filters and soil stabilizers.	Consistent
Natural system capacity (floodplains for stormwater; habitats to support flora/fauna; tree canopy for air quality, stormwater management, and microclimate) is maintained.	Consistent
Development is compact (infill/redevelopment) to minimize the ecological footprint.	Consistent
New development respects working landscapes (e.g., orchards, managed forests), minimizing encroachment.	Consistent
<u>Authentic Community Character (Pg. 94)</u>	
Downtown remains the heart of the community and the focal point of civic activity	Consistent
A development near a gateway sets the tone, presenting the image/brand of the community.	Consistent
Historic preservation is utilized to maintain the city's identity.	NA
City Centers and neighborhoods are preserved through quality development.	Consistent
<u>Safe Streets and Trails (Pg. 95)</u>	
Interconnectivity is promoted between existing neighborhoods through the building out of street networks, including retrofits and interconnectivity of new developments.	Consistent
Access is increased for all residents through the provision of facilities that promote safe walking, biking, transit, automobile, ride share, and bike share.	Consistent
Design embraces the principles of walkable development.	Consistent
<u>Reliable & Accessible Utility Services</u>	
Wastewater treatment (service and capacity) adequately serves existing and future development	Consistent
A compact service area (infill, redevelopment) maximizes the utilization of existing infrastructure and feasible service delivery.	NA
<u>Satisfying Work Opportunities (pg. 96)</u>	
The development promotes quality job options.	NA

The lives of residents are enriched with opportunities to learn, build skills, and grow professionally.	NA
<u>Welcoming & Inclusive Community</u>	
Accessibility exceeds minimum standards of ADA, fostering residents' and visitors' sense of belonging.	Consistent
An inviting public realm (i.e., parks, public buildings) reflects the attitudes of city residents and leaders, and helps residents develop a sense of place and attachment to Hendersonville.	NA
<u>Accessible & Available Community Uses and Services (Pg. 97)</u>	
Private development is plentiful, meeting the demands of current and future populations.	Consistent
<u>Resilient Community</u>	
stormwater management, and microclimate) is maintained.	Consistent
<u>GUIDING PRINCIPALS (pg. 98)</u>	
Mix of Uses (Pg. 98)	
Revitalization of Outdated Commercial Areas	NA
New business and office space promotes creative hubs.	NA
Compact Development (Pg. 100)	
Development is consistent with efforts in the area to establish 15-minute neighborhoods.	
The infill project is context sensitive [Small Infill Site].	NA
Sense of Place (Pg. 102)	
The development contributes to Hendersonville's character and the creation of a sense of place through its architecture and landscape elements. [Placekeeping and Placemaking and 3rd Places]	NA
Conserved & Integrated Open Spaces (Pg. 106)	
A diverse range of open space elements are incorporated into the development.	Consistent
Desirable & Affordable Housing (Pg. 108)	
Missing middle housing concepts are used in the development.	Consistent
Connectivity (Pg. 112)	
The development encourages multimodal design solutions to enhance mobility.	Consistent
Efficient & Accessible Infrastructure (Pg. 114)	
The development utilizes existing infrastructure	Consistent

NA
NA
NA
NA
Inconsistent
NA
NA



Curve Data				
Curve #	Length	Radius	Chord Bearing	Chord Length
C1	30.20'	9000.00'	S68° 12' 29"E	30.20'



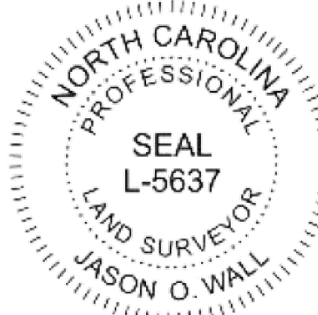
Surveyor's Certification

I certify that this plat was drawn under my supervision from an actual survey made under my supervision (see description and/or deed references below); that the boundaries not surveyed are indicated as drawn from the information noted on this plat of survey; that this survey is classified as an Urban Land Survey (Class A) having a calculated ratio of precision better than 1:10,000 before adjustments, and/or neither axis of the 95 percent confidence level error ellipse for any control point or property corner exceeds 0.10 feet; that this plat meets the requirements of The Standards of Practice for Land Surveying in North Carolina (21 NCAC 56.1603);

The provisions of G.S. 47-30 do not apply to the boundary plat of areas annexed by municipalities nor to plats of municipal boundaries, whether or not required by law to be recorded in the State of North Carolina.

Witness my signature, seal and date.

Jason O. Wall, PLS #L-5637



Surveyor's Notes:

1. The purpose of this Plan is to annex Parcel PM #9588-40-7325 (2.65 acres, and 0.84 acres within road right-of-way, totaling 3.49 acres) within the City Limits of Hendersonville as shown hereon.
2. The property which is the subject of this survey is a portion of the land described in Deed Book 1178, Page 326, being shown in plat Slide Book 2025, Page 16149, Henderson County Registry. The property owner shown in the deed at the time of this survey is: Matthew J. and Jennifer L. Smith
3. This plat reflects information discovered by the surveyor in the normal course of work and does not necessarily show every possible condition affecting the property. A complete title abstract was not performed by Survey Pro. Underground utilities may exist which are not shown. This property may be subject to easements and/or rights-of-way of record not shown. Other easements, rights-of-way, building ordinances, zoning, and other legal encumbrances may also exist. Adjoining property owner information was obtained from the local GIS.
4. The GPS portion of this survey meets the classification requirements of the Standard Practice for GPS Surveying in North Carolina (21 NCAC 56-1607) for an Urban Land Survey (Class A) such that neither axis of the 95 percent confidence level error ellipse for the project control point(s) exceeds 0.10 feet. The static GPS survey was performed on October 28, 2024 with Trimble R8 receivers. National Geodetic Survey (NGS) CORS station "NCHE" was used as the fixed control station having published NGS Grid coordinates NAD83(2011) and orthometric height NAD 83 NAVD 88. All ellipsoidal and orthometric distances were computed using Geomatics Office Business Solutions software. The geoid model used was GEOID18. The horizontal positional accuracy relative to the remote control station was 0.07 feet prior to adjustment. The vertical positional accuracy relative to the remote control station was 0.31 feet prior to adjustment. The combined grid factor at the project control point is 0.9997760478. All bearings shown are relative to NGS Grid North. All ellipsoidal and orthometric distances are relative to NAD 83. All distances shown are horizontal distances in U.S. Survey feet unless otherwise noted. All areas shown were computed by computer computation.
5. Revised on 3/26/2025; add certification, update notes, update vicinity map, and proposed satellite city limits per City of Hendersonville planner comments.

City Clerk Certification

This plat represents the area being annexed to the City of Hendersonville, N.C pursuant to NCGS 160A-31, by ordinance duly adopted (Annexation Ordinance _____).

This the ____ day of _____, 2025.

City Clerk of Hendersonville _____ Date _____

Annexation Plat
PIN 9588-40-7325
City of Hendersonville

Annexation Plat for:

City of Hendersonville

Property Location:
Upward Road, Flat Rock, NC 28731
Blue Ridge Township, Henderson County, North Carolina

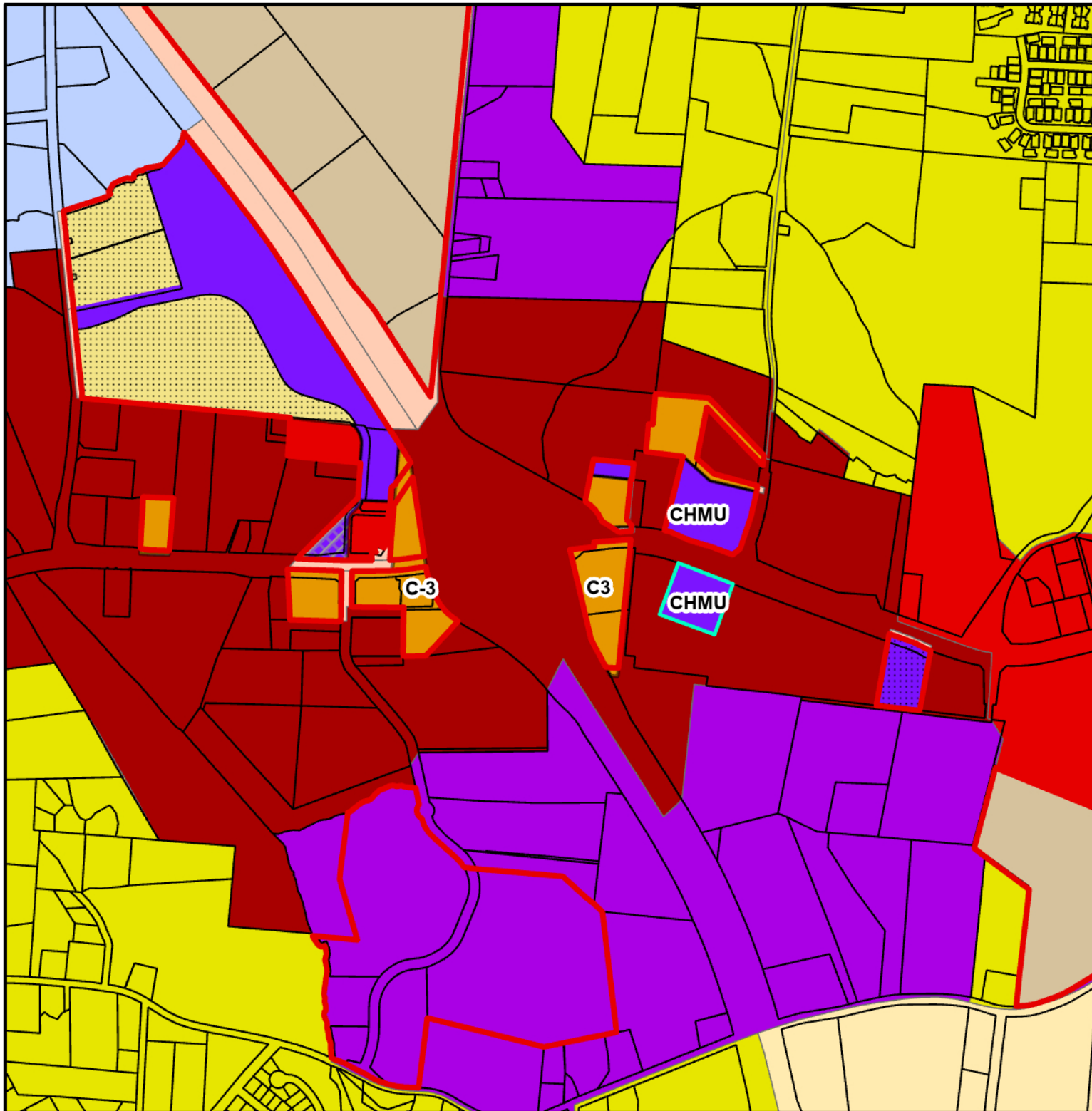


SurveyPro
(336) 667-5533

Survey Pros, PLLC 924 Main Street, Suite 300 North Wilkesboro, NC 28659 www.NCSurveyPros.com	Firm Number: P-2218
	Crew Chief: WW
	File Number: 24-160
	Date: 1-17-2025

Scale: 1 inch

0 50



Quattlebaum Properties F LLC
(Sheetz Upward Road)
25-37-SPR
PINs: 9588-40-7325
Acreage: 2.65
Zoning
Community Development Department

- Legend**
- Subject Property
 - Hendersonville City Limits
 - Hendersonville Zoning**
 - CZD Conditional Zoning Districts
 - C-3 Highway Business
 - PCD Planned Commercial Development
 - I-1 Industrial
 - Henderson County Zoning**
 - Cities
 - Community Commercial
 - Industrial
 - O&I
 - Regional Commercial
 - Residential 1
 - Residential 2 - Rural



Ordinance # ____ - ____

AN ORDINANCE OF THE CITY OF HENDERSONVILLE CITY COUNCIL TO AMEND THE OFFICIAL ZONING MAP OF THE CITY OF HENDERSONVILLE FOR A CERTAIN PARCEL (POSSESSING PIN NUMBER 9588-40-7325) BY CHANGING THE ZONING DESIGNATION FROM HENDERSON COUNTY RC (REGIONAL COMMERCIAL) ZONING DISTRICT TO CITY OF HENDERSONVILLE CHMU (COMMERCIAL HIGHWAY MIXED USE) ZONING DISTRICT

IN RE: Parcel Numbers: 9588-40-7325
Quattlebaum Properties F LLC (Sheetz Upward Road) (File # 25-37-RZO)

WHEREAS, the Planning Board took up this application at its regular meeting on June 12th, 2025; voting to recommend City Council adopt an ordinance amending the official zoning map of the City of Hendersonville, and

WHEREAS, City Council took up this application at its regular meeting on July 2nd, 2025, and

WHEREAS, City Council has found that this zoning map amendment is consistent with the City’s comprehensive plan, and that it is reasonable and in the public interest for the reasons stated, and

WHEREAS, City Council has conducted a public hearing as required by the North Carolina General Statutes on July 2nd, 2025,

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Hendersonville, North Carolina:

- 1. Pursuant to Article XI of the Zoning Ordinance of the City of Hendersonville, North Carolina, the Zoning Map is hereby amended by changing the zoning designation of the following: Parcel Number: 9588-40-7325 from Henderson County RC (Regional Commercial) Zoning District to City of Hendersonville CHMU (Commercial Highway Mixed Use) Zoning District.
- 2. Any development of this parcel shall occur in accordance with the Zoning Ordinance of the City of Hendersonville, North Carolina.
- 3. This ordinance shall be in full force and effect from and after the date of its adoption.

Adopted this 2nd day of July 2025.

Attest: _____
Barbara G. Volk, Mayor, City of Hendersonville

Jill Murray, City Clerk

Approved as to form:

Angela S. Beeker, City Attorney