



CITY OF HENDERSONVILLE CURRENT PLANNING COMMITTEE

City Hall | 2nd Floor Meeting Room | 160 6th Ave. E. | Hendersonville NC 28792
Thursday, March 13, 2025 – 3:00 PM

AGENDA

1. CALL TO ORDER

2. NEW BUSINESS

- A. Rezoning: Conditional Zoning District –Henderson County Courthouse and Detention Center Expansion (25-06-CZD) – *Tyler Morrow– Current Planning Manager*
- B. Rezoning: Standard Rezoning – 23 Brevard Knoll Dr (Cowan) | 25-07-RZO – *Matthew Manley, Long-Range Planning Manager*
- C. Rezoning: Standard Rezoning – (Alyssa Horning)– *Sam Hayes, Planner II*

3. ADJOURNMENT

The City of Hendersonville is committed to providing accessible facilities, programs and services for all people in compliance with the Americans with Disabilities Act (ADA). Should you need assistance or an accommodation for this meeting please contact the Community Development Department no later than 24 hours prior to the meeting at 828-697-3010.

<p>The petition is consistent with a range of Goals, Guiding Principles and the Future Land Use Designation of Chapter IV of the Gen H Comprehensive Plan.</p> <p>4. Furthermore, we find this petition to be reasonable and in the public interest based on the information from the staff analysis, public hearing and because:</p> <ol style="list-style-type: none"> 1. This expansion would give the County the additional space needed to improve operational efficiency and enhance the services currently provided to its citizens. 2. The proposed expansion of the detention center and courthouse builds upon a longstanding use established at this site for over three decades. 3. Expanding the courthouse is a long-term investment in the community, ensuring that the infrastructure is capable of handling future needs without requiring another expansion in the near future. <p style="text-align: center;">[DISCUSS & VOTE]</p>	<p style="text-align: center;">[DISCUSS & VOTE]</p>
--	--

***SUMMARY:** The City of Hendersonville is in receipt of an application for a Conditional Rezoning from Christopher Todd (Assistant County Manager) of Henderson County Government, applicant and William Lapsley (County Commissioner Chairman) of Henderson County Government, property owner. The applicant is requesting to rezone the subject property, PIN 9568-97-1859 and located at 200 N. Grove Street, from PID, Planned Institutional Development to PID-CZD, Planned Institutional Development Conditional Zoning District for the construction and expansion of the existing courthouse campus and detention center.*

The planned courthouse addition will span 90,859 square feet, while the detention center expansion will cover 53,443 square feet. The courthouse is proposed to reach a height of 92.75 feet to the roof coping, with the detention center proposed at 25.5 feet. The development includes a total of 579 parking spaces, marking a 117-space increase compared to existing conditions.

PROJECT/PETITIONER NUMBER:	25-06-CZD
PETITIONER NAME:	<ul style="list-style-type: none"> • Christopher Todd (Assistant County Manager) of Henderson County Government, applicant • William Lapsley (County Commissioner Chairman) of Henderson County Government, property owner

ATTACHMENTS:

1. Staff Report
2. Comprehensive Plan Review
3. Neighborhood Compatibility Summary
4. Proposed Zoning Map
5. Draft Ordinance
6. Application

REZONING: CONDITIONAL REZONING –HENDERSON COUNTY COURTHOUSE AND DETENTION CENTER EXPANSION (25-06-CZD)
CITY OF HENDERSONVILLE - COMMUNITY DEVELOPMENT STAFF REPORT

PROJECT SUMMARY 2

EXISTING ZONING & LAND USE 3

SITE IMAGES..... 4

FUTURE LAND USE 9

REZONING HISTORY 10

STAFF SITE PLAN REVIEW – SUMMARY COMMENTS 11

DEVELOPER PROPOSED CONDITIONS: 18

OUTSTANDING ISSUES & CITY PROPOSED CONDITIONS: 18

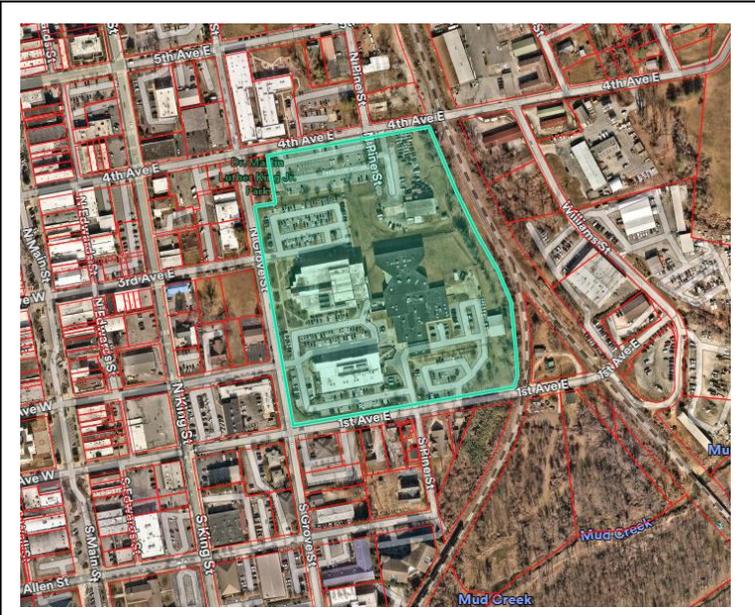
REZONING ANALYSIS – GENERAL REZONING STANDARDS (ARTICLE 11-4) 21

DRAFT COMPREHENSIVE PLAN CONSISTENCY AND REZONING REASONABLENESS STATEMENT 22



PROJECT SUMMARY

- Project Name & Case #:
 - Henderson County Courthouse and Detention Center Expansion
 - 25-06-CZD
- Applicant & Property Owner:
 - Henderson County (Christopher Todd, Assistant County Manager) [Applicant]
 - Henderson County (William Lapsley, County Commissioner Chairman) [Owner]
- Property Address:
 - 200 N. Grove Street
- Project Acreage:
 - 14.78 Acres
- Parcel Identification (PIN):
 - 9568-97-1859
- Current Parcel Zoning:
 - PID- Planned Institutional Development
- Future Land Use Designation:
 - Institutional
- Requested Zoning:
 - PID-CZD, Planned Institutional Development Conditional Zoning District.
- Requested Uses:
 - Public & quasi-public buildings
- Neighborhood Compatibility Meeting:
 - January 23, 2025

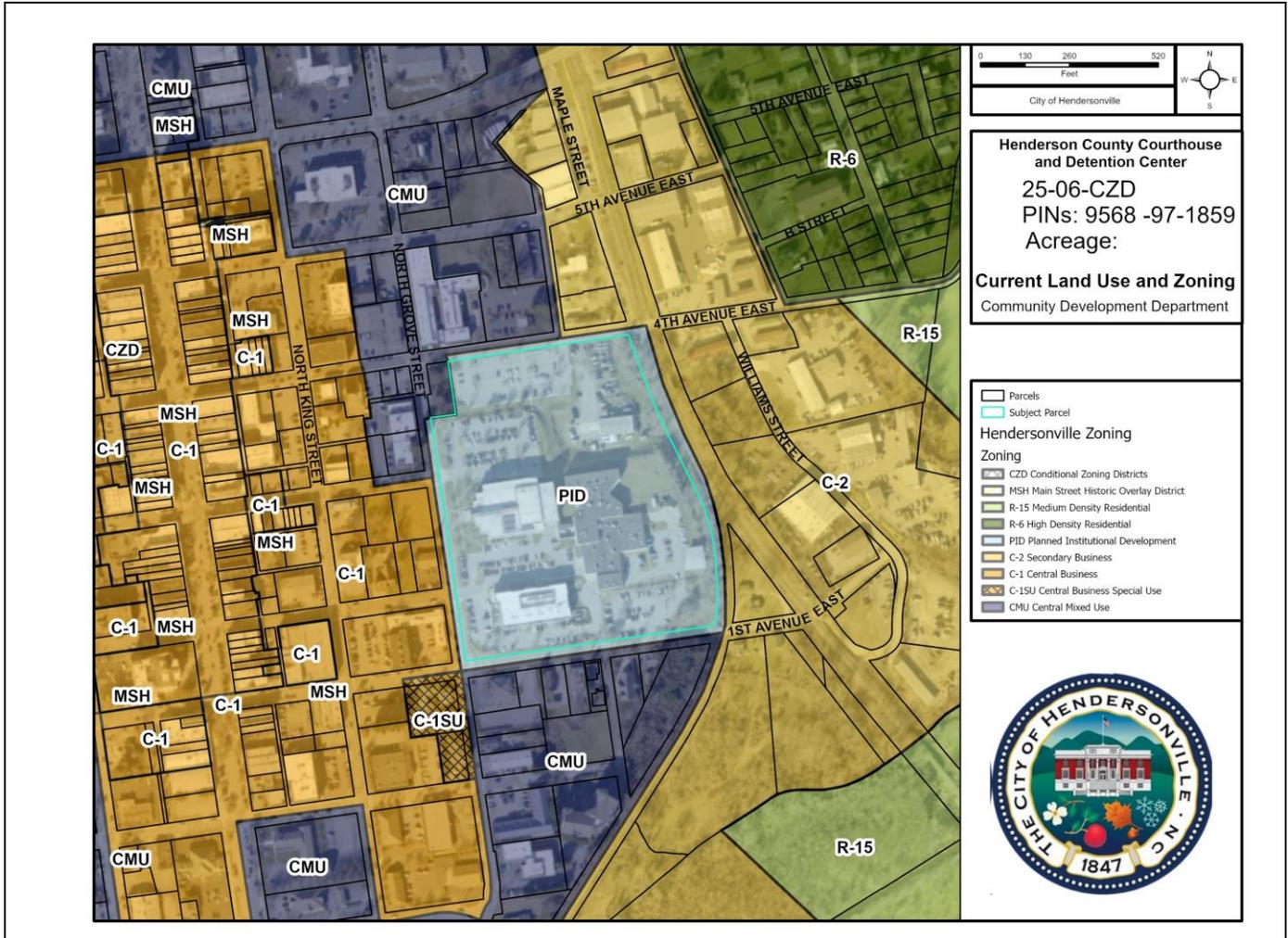


SITE VICINITY MAP

The City of Hendersonville is in receipt of an application for a Conditional Rezoning from Christopher Todd (Assistant County Manager) of Henderson County Government, applicant and William Lapsley (County Commissioner Chairman) of Henderson County Government, property owner. The applicant is requesting to rezone the subject property, PIN 9568-97-1859 and located at 200 N. Grove Street, from PID, Planned Institutional Development to PID-CZD, Planned Institutional Development Conditional Zoning District for the construction and expansion of the existing courthouse campus and detention center.

The planned courthouse addition will span 90,859 square feet, while the detention center expansion will cover 53,443 square feet. The courthouse is proposed to reach a height of 92.75 feet to the roof coping, with the detention center proposed at 25.5 feet. The development includes a total of 579 parking spaces, marking a 117-space increase compared to existing conditions.

EXISTING ZONING & LAND USE



City of Hendersonville Current Zoning & Land Use Map

The subject property is a law enforcement/judicial campus for Henderson County, making it the only Planned Institutional Development in the immediate area. Located on the edge of downtown, the property's surrounding land uses and zoning reflect this positioning. To the west, properties are zoned C-1, which encompasses the City of Hendersonville Historic Downtown. Portions of downtown are also part of a local historic district, offering additional protection to its historic character.

To the north and south of the subject property, parcels are zoned CMU (Central Mixed Use), a zoning district common throughout downtown that provides a transition between the C-1 district and other areas.

To the east, properties are zoned C-2 (secondary business), a zoning designation typically found along railroad-adjacent properties within the City.

SITE IMAGES



View of Sheriff's Office impound lot (to be removed)



The blueline stream, which runs along the eastern boundary of the property, is in need of a cleanup effort to improve its condition.

SITE IMAGES



The mature trees along the eastern boundary, at the rear of the existing detention center and Sheriff's Office, are largely covered in English ivy, which may require management to maintain their health and appearance.



The rear of the existing detention center.

SITE IMAGES



The existing public parking lot at the rear of the Sheriff's Office, near the detention center, is proposed to be reconfigured.



The existing courthouse parking lot entrance, located across from 3rd Ave and to be retained, will be used as part of the public drop-off area in front of the new courthouse.

SITE IMAGES



The front half of the existing courthouse parking lot is proposed to be replaced with the new courthouse structure.



View of the 1995 courthouse.

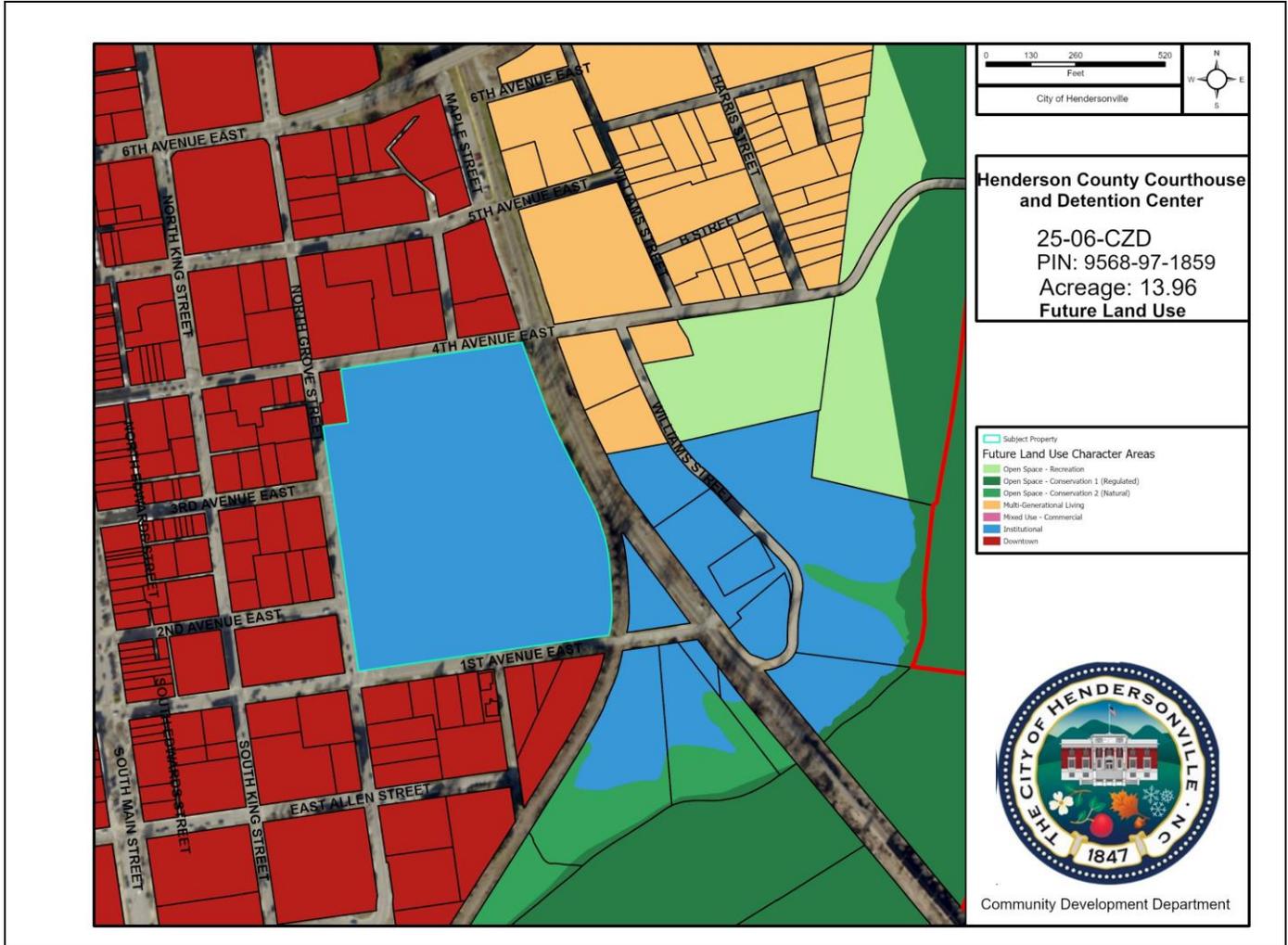


View of the existing overflow parking lot at the courthouse to be retained and expanded.



View of existing parking lot entrance near the intersection of 4th Ave and Grove Street.

FUTURE LAND USE



City of Hendersonville Future Land Use Map

The subject property is designated as Institutional, a designation shared by several nearby properties, primarily owned by government entities.

Surrounding areas to the north, south, and west are designated as downtown, encompassing a wide range of properties and zoning classifications.

To the south of the subject property, there are open spaces designations, largely comprising floodplain areas and stream buffers associated with Mud Creek.

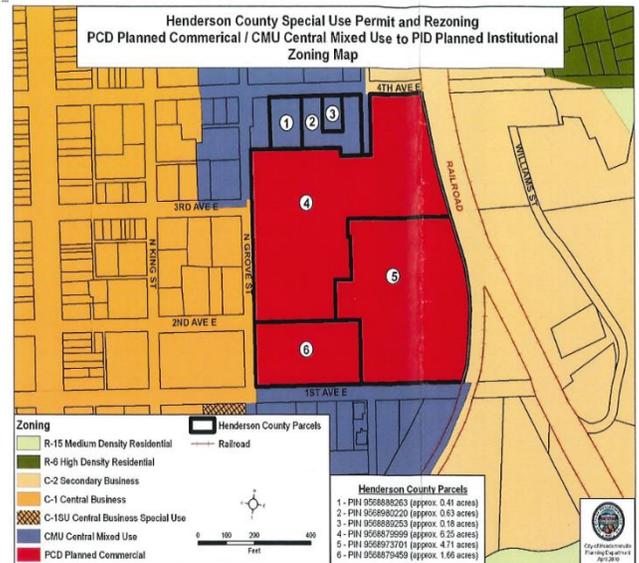
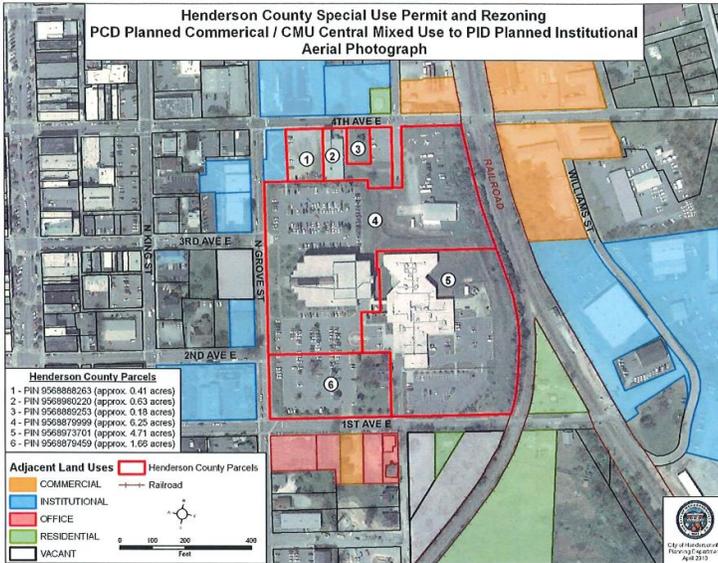
Residential areas to the northeast are designated for multi-generational living.

REZONING HISTORY

Prior Rezoning (PI0-12-SUR)	Summary of Prior Petition	Status
6-3-2010 (PCD & CMU to PID SU)	14.66 acre development for the construction of a 3 story 63,000 square foot Law Enforcement center and separate parking lot	Active

Courthouse Campus History

- May 4th 1993:** City Council issues a Special Use Permit to allow the construction of the Henderson County Courthouse which is 96,084 square feet.
 - Meeting Minutes: <https://library.municode.com/nc/hendersonville/munidocs/munidocs?nodeId=2d9c6deb10729>
- August 19th 1999:** City Council approved a Special use Permit to allow the construction of a 208 bed 53,000 square foot detention facility.
 - Meeting Minutes <https://library.municode.com/nc/hendersonville/munidocs/munidocs?nodeId=2d9c70b7b31bf>
- June 3rd 2010:** City Council rezoned 6 parcels from CMU and PCD to PID and issued a Special use Permit to allow for the construction of a 3 story 63,000 square foot law enforcement center with parking and separate parking lot on 4th Ave E.
 - Meeting Minutes <https://library.municode.com/nc/hendersonville/munidocs/munidocs?nodeId=2d9a581446034>



STAFF SITE PLAN REVIEW – SUMMARY COMMENTS**PROPOSED REQUEST DETAILS**

Site Plan Summary:

- Proposed Uses:
 - Public & quasi-public buildings

- Building:
 - **Existing:** Sheriffs Office 63,000 Square Feet.
 - **Existing:** Detention Center 60,361 Square Feet.
 - **Existing:** 1995 Courthouse Building 99,116 Square Feet.
 - **Proposed:** Detention Center Addition 53,443 Square Feet
 - **Proposed:** Courthouse Addition 90,859 Square Feet
- **Totals:**
 - Sheriffs Office: 63,000 Square Feet
 - Detention Center: 113,804 Square Feet
 - Courthouse: 189,975 Square Feet
- Height
 - **Definitions:**
 - Building, height of: The vertical distance measured from the average grade to the highest point of the coping of a flat roof.
 - Average Grade: Is determined by identifying at least three spot elevations, measured at equal distances from each other and spaced no more than 50' apart, along each façade of a building. The resultant spot elevations shall be added together and divided by the total number of spot elevations identified to determine the building's "average grade"

 - PID Max Allowable Height: 50'
 - Gen H Downtown Edge Character District Height Guidance: 64' (4 stories)
 - **Proposed:** Courthouse Addition 92.75' to the top of the roof coping
 - **Proposed:** Detention Center Addition 25.5'
 - **Existing:** Sheriffs Office: Approximately 50' (per near map measurement)
 - **Existing:** Detention Center: Approximately 26' (per near map measurement)
 - **Existing:** 1995 Courthouse Building: Approximately 45' (per near map measurement)
 - **Other Comparable Buildings Downtown**
 - 1st Citizens Bank Building (539 N. Main Street)
 - Approximately 75' (per near map measurement)
 - It is worth noting that Main Street is at a 21' higher elevation

(2,149' above sea level) than 200 N. Grove Street (2,128' above sea level).

- The Skyland (N. 538 Main Street)
 - Approximately 70' on the Main Street facade. (per near map measurement)
 - Approximately 76' on the rear façade. (per near map measurement)
 - It is worth noting that Main Street is at a 21' higher elevation (2,149' above sea level) than 200 N. Grove Street (2,128' above sea level).

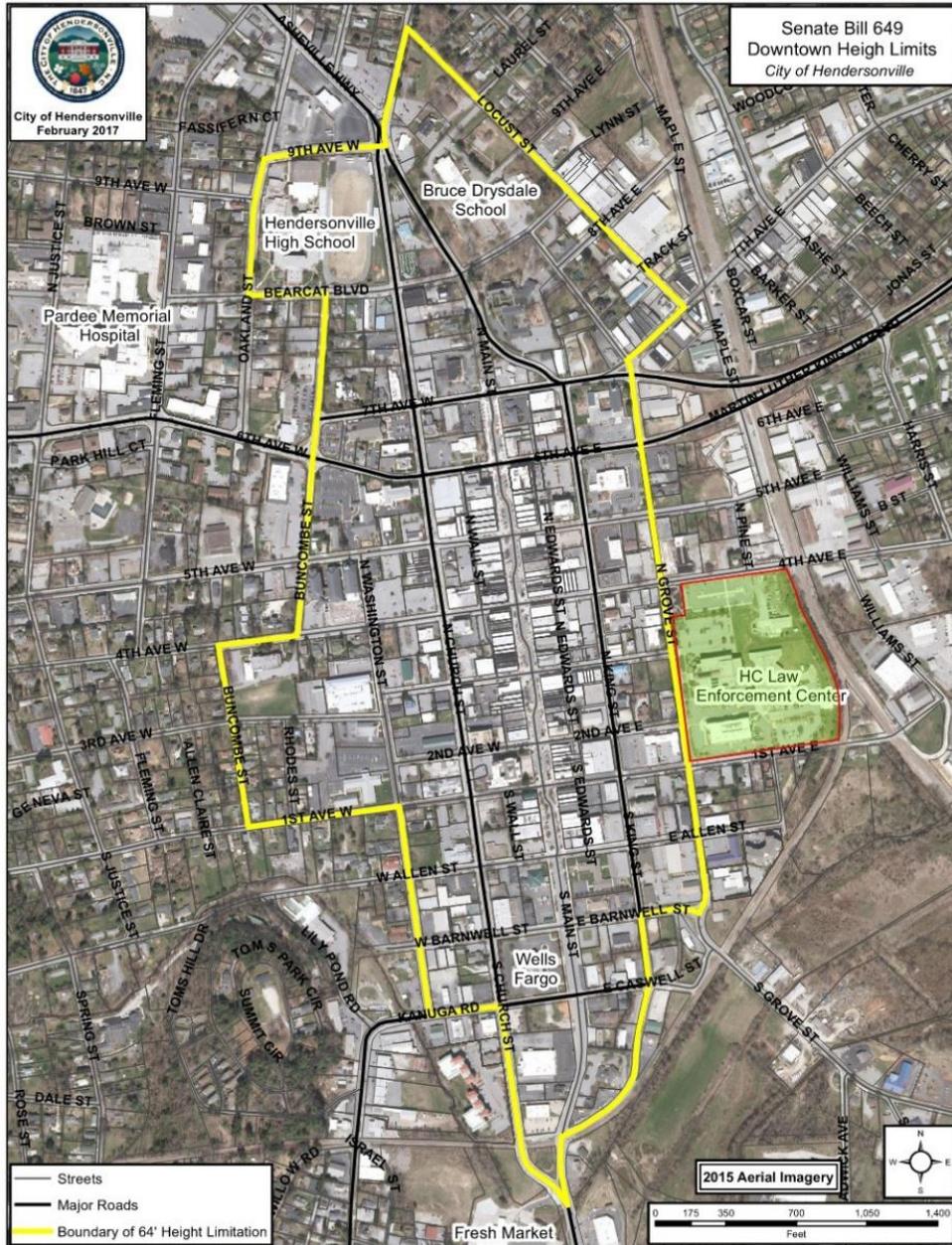
- **Session Laws on Building Height in the City of Hendersonville (64')**
 - **Session Law 2006-126 & House Bill 2688**
 - “The maximum building height on any building within the corporate limits of the City of Hendersonville shall not exceed 64 feet. For purposes of this section, building height shall mean the vertical distance measured from the average grade to the highest point of the coping of a flat roof, to the deck line of a mansard roof, or to the mean height level between the eaves and ridge of a gable, hip, or gambrel roof. The height limitation created by this subsection does not apply to spires, belfries, cupolas, antennas, water tanks, ventilators, chimneys, or other appurtenances usually required to be placed above the roof level and not intended for human occupancy. No variance to this subsection may be granted. This subsection does not apply to buildings erected prior to the effective date of this section.”

 - **Session Law 2006-259**
 - SECTION 38. Section 3(a) of S.L. 2006-126 reads as rewritten:
 - SECTION 3.(a) The maximum building height on any building within the corporate limits of the City of Hendersonville shall not exceed 64 feet. For purposes of this section, building height shall mean the vertical distance measured from the average grade to the highest point of the coping of a flat roof, to the deck line of a mansard roof, or to the mean height level between the eaves and ridge of a gable, hip, or gambrel roof. The height limitation created by this subsection does not apply to spires, belfries, cupolas, antennas, water tanks, ventilators, chimneys, or other appurtenances usually required to be placed above the roof level and not intended for human occupancy.

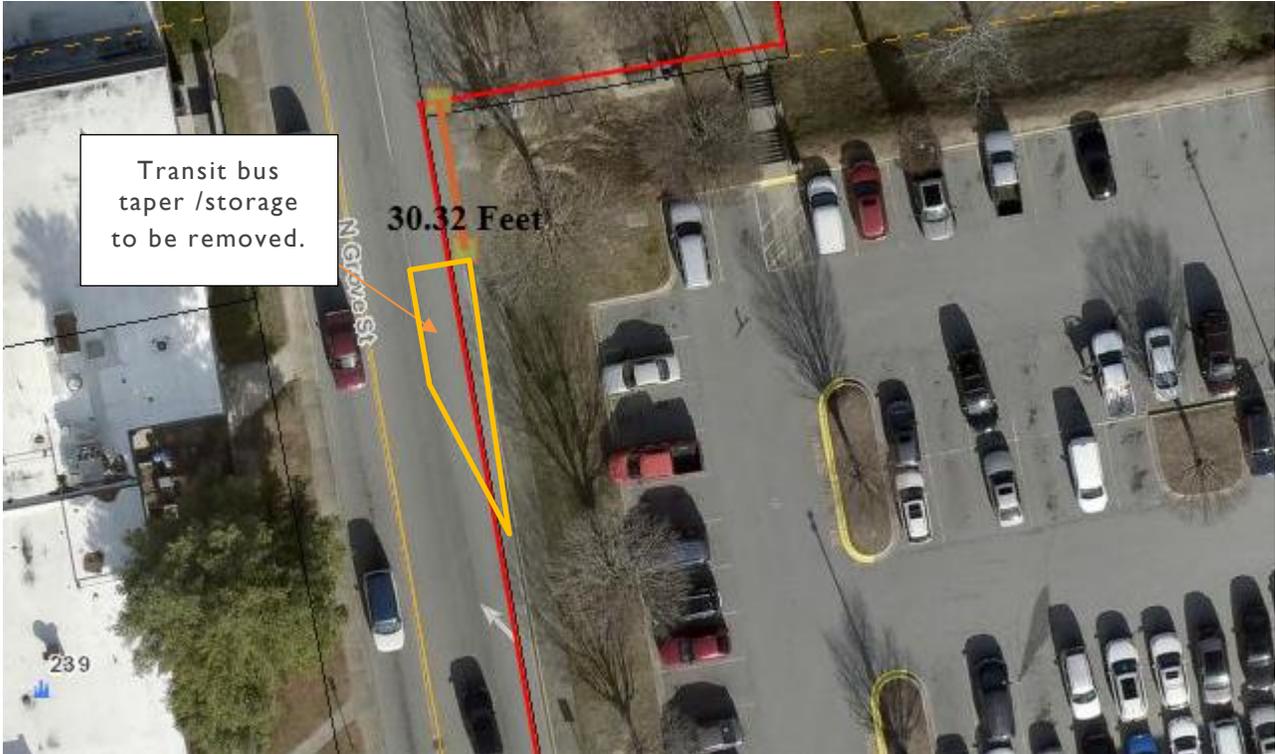
No variance to this subsection may be granted. This subsection does not apply to hospitals, churches, cultural performing arts centers, government buildings, or buildings erected prior to the effective date of this section.

- **Session Law 2007-257 & Senate Bill 649 (Current Law)**
 - SECTION 1. Section 38 of S.L. 2006-259 is repealed, thus removing four exemptions from the limit on the height of structures in the City of Hendersonville as enacted by Section 3 of S.L. 2006-126.
 - SECTION 2. Section 3 of S.L. 2006-126 is amended by adding a new subsection to read:
 - "SECTION 3.(c) This section applies only to the following described area within the corporate limits of the City of Hendersonville, with all calls being from the centerline of the road:
 - Beginning at the intersection of South Main Street and South Church Street, thence north on South Main Street to its intersection with South King Street, thence North on South King Street to its intersection with East Barnwell Street, thence east on East Barnwell Street to its intersection with South Grove Street, thence North on South Grove Street and North Grove Street to its intersection with 7th Avenue East, thence Northeast on 7th Avenue East to its intersection with Locust Street, thence Northwest on Locust Street to its intersection with North Main Street, thence South on North Main Street to its intersection with 9th Avenue West, thence West on 9th Avenue West to its intersection with Oakland Street, thence South on Oakland Street to its intersection with 8th Avenue West, thence East on 8th Avenue West to its intersection with Buncombe Street, thence South on Buncombe Street to its intersection with 4th Avenue West, thence West on 4th Avenue West to its intersection with Buncombe Street, thence South on Buncombe Street to its intersection with 1st Avenue West, thence East on 1st Avenue West to its intersection with South Washington Street, thence South in South Washington Street to its intersection with Kanuga Road, thence East on Kanuga Road to its intersection with South Church Street, thence South on South Church Street to its intersection with South Main Street, the point and place of beginning."

- **This property is outside of the area described above and is not included in the session law height restriction of 64'. See Map below for the height restricted boundary.**



- Transportation:
 - The site will have one new access onto N. Grove Street. This new access is approximately 30' from the property line shared with Martin Luther King Jr. Park. As shown in the photo below. This access will reduce the taper/storage lane for the Apple Country Transit stop. However, it has been relayed to the City by the site engineer that this change will not impact the transit stop function.



- The eastern entrance to the 4th Ave parking lot will move further eastern from its current location and will no longer line up with Pine Street.
- All other accesses will generally be in the same position as they are today.
- Sidewalks
 - Sidewalks already cover most of the property boundary, except a small section on 4th Ave near the railroad right-of-way (R/W). The county plans to replace any removed sidewalks during construction.
 - Additionally, the county will install sidewalks across driveway aprons as per the City's standards.
 - Internal sidewalks will connect from public street sidewalks to the main entrances of both the detention center and Courthouse expansion buildings.
 - 5' wide sidewalks are required for new construction from property line to property line. The site would be required to provide these sidewalks from where they currently terminate on 4th Ave. to their property line within the railroad R/W.
 - City staff is proposing a City initiated condition that states the following "The project shall extend their sidewalks along 4th Ave within the railroad right of way up to their property line. The sidewalk will maintain the same "park street" design of an 8' wide concrete sidewalk and 2' wide utility/planting strip as the existing sidewalk along this property frontage on 4th Ave." This condition was not agreed to by the developer. The developer countered by proposing to pay a fee in lieu of these sidewalks.
- Lighting
 - All site lighting will be required to conform to the City's lighting standards

for nonresidential developments as well as lighting for areas abutting stream buffers.

- Parking:
 - Courthouses, Detention Centers and Law Enforcement centers are not currently found in the City’s off street parking table.
 - The ordinance states that “For any use not specified in Table 6-5-2 or otherwise provided by ordinance, specific requirements shall be determined by the community development director and shall be based upon requirements for similar uses, expected traffic generated by the proposed use, and other information from appropriate traffic engineering and planning criteria.”
 - Henderson County is basing their parking requirements off of the following:
 - Detention Center: Based off of the City of Hendersonville parking table for employee/shift driven uses.
 - Sheriffs Office: Based off of Henderson County’s Land Development Code parking requirements for Commercial, Office, Institutional, and Civic Uses.
 - Courthouse: Based off of Per Fentress POR (Courthouse Planning & Needs Assessment) 2040 Projections
 - Existing
 - Detention Center: 28 spaces
 - Sheriff’s Office: 126 spaces
 - Courthouse: 308 spaces
 - Proposed
 - Detention Center: 43 spaces
 - Sheriff’s Office: 126 spaces
 - Courthouse: 410 spaces
- Natural Resources
 - According to the latest USGS topographic maps there is a blueline stream on the northeastern portion of the subject property. This blueline stream will require an undisturbed 30’ stream buffer and 20’ transitional area with no impervious surfaces.
- Landscaping and Tree preservation
 - The site will be required to provide the following landscaping:
 - Vehicular use area plantings
 - Common Open Space plantings
 - Street trees
 - The site currently has 58,515.58 square feet of existing tree canopy (9.63%) of the site.
 - The development is proposing to retain 13,304 square feet or 22.74%.
 - The applicants are choosing option 3 for tree preservation and will be required to plant at least 15% new canopy through tier II plantings.
-

- Public drop off area
 - The proposal to remove the public drop-off area was introduced by City Staff to Henderson County. The aim was to enhance alignment with the Gen H Comprehensive Plan, prioritizing pedestrian-friendly spaces, buildings situated closer to the street, and relocating vehicular areas to side and rear, thereby fostering a stronger sense of place. This change ensures that the courthouse design is better aligned with both the Historic Courthouse and the 1995 courthouse.
 - According to the Gen H plan, which outlines elements for the Downtown Edge, new opportunities for open spaces such as pocket parks. The intent is to design pocket parks as social hubs and incorporate placemaking amenities such as seating, landscaping, and public art.
 - (Gen H Comprehensive Plan, page 256).



Allowing for range within the Build-to-Zone allows for the inclusion of public spaces and other features that add to the public realm

- The removal of the public drop-off area also addresses a concern raised by the City's traffic consultant regarding the entrance's "protected stem." The entrance has a 29' protected stem, which the consultant identified as potentially problematic but ultimately is left to the discretion of the Public Works Director. With the removal of this access, the issue related to the protected stem is resolved.
- Public Works Director Tom Wooten notes that the exit from the public drop-off area would affect the Apple Country Transit taper/unloading lane, a concern that becomes irrelevant with the removal of the curb cut.

DEVELOPER-PROPOSED CONDITIONS:

- Developer proposed to exceed the maximum allowable building height (see building height summary on sheet CC-200 (Top of the roof coping height 92.75'. This is 42.75' taller than what is allowed in PID and 28.75' taller than what is recommended in the Gen H Downtown Edge Character District)
- Developer proposes to provide parking spaces as outlined in the parking summary on sheet CC-200.
- New landscape requirements and calculations are based on the new project area.
- The developer intends to pay fee-in-lieu as outlined in the zoning ordinance of the installation of sidewalk specified by the City proposed condition. This equates to approximately 100 LF OF. **(Developer proposed counter to City proposed condition)**

OUTSTANDING ISSUES & CITY PROPOSED CONDITIONS:

COMMUNITY DEVELOPMENT

Site Plan Comments:

- The site plan accompanying this petition meets the standards established by the Zoning Ordinance for Planned Institutional Developments (5-21) (minus any developer proposed conditions).
 - Comments that will be reviewed/addressed during final site plan review process and do not need to be addressed during the preliminary site plan review process:
 - Landscaping:
 - Final determination on planting credits, species, locations, final quantity of required vs. proposed new plantings. The current plans show “areas to be screened, fenced, walled and/or landscaped” which is what is required at the preliminary site plan stage.
 - All final landscaping comments will be addressed as part of the final site plan approval between City staff and the project designer in accordance with the City’s ordinances.

Proposed City-Initiated Conditions:

- “The project shall extend their sidewalks along 4th Ave within the railroad right of way up to their property line. The sidewalk will maintain the same “park street” design of an 8’ wide concrete sidewalk and 2’ wide utility/planting strip as the existing sidewalk along this property frontage on 4th Ave.” **This condition was not agreed to by the developer.**

DEVELOPMENT REVIEW COMMITTEE COMMENTS:

The Development Review Committee consists of the following Departments/Divisions and Agencies: Engineering, Water/Sewer, Fire Marshal, Stormwater Administration, Floodplain Administration, Public Works, NCDOT, Henderson County Soil & Erosion Control and the City's Traffic Consultant. While all pertinent members of the DRC reviewed this project, staff have provided only the relevant/outstanding comments / conditions below:

TRANSPORTATION CONSULTANT (KIMLEY HORN)**TIA Comments:**

- The Traffic Impact Analysis for the development was submitted on February 7th, 2025. Below are the review comments from the City Traffic Consultant regarding the TIA. The primary feedback on the initial TIA focused on the necessity for turn lane warrants at unsignalized intersections. These comments have been forwarded to the development team and their transportation engineer, who is currently addressing them to prepare version 2 of the TIA. We are awaiting this revised version, which will undergo review by Kimley Horn.
- The expected **new** trip generation for the proposed development is as follows:
 - 1,132 Daily Trips
 - 115 AM Peak Hour Trips
 - 94 PM Peak Hour Trips

TIA Proposed Mitigation:

- Grove Street at 4th Avenue
 - The intersection experiences LOS degradation for the overall in the AM and PM peak hours, as well as LOS degradation for the SB in the PM peak hour, and delay increase of >25% for the PM peak hour overall, SB and NB. However, as noted in the report, the site is proposed to have minimum impact and the intersection still performs acceptably. Therefore, no improvements are necessary.
- 4th Avenue at 4th Avenue Lot I
 - Turn lane warrants were not performed and need to be to evaluate the need for turn lanes into the site at this access.
- Grove Street at 2nd Avenue/ 2nd Avenue Lot
 - Turn lane warrants were not performed and need to be to evaluate the need for turn lanes into the site at this access.
 - The intersection experiences LOS degradation for the NB approach in the PM peak hour. However, this LOS degradation is from an increase in delay of 1.4 seconds which is minor and will have minor impact to the performance of the intersection. Therefore, no improvements are necessary due to capacity.

- Grove Street at 1st Avenue
 - The intersection experiences delay increase >25% for the overall, NB, and SB approaches in the PM peak hour. However, this is from an increase in delay of 1.3 seconds at most and each approach listed and the intersection as a whole is expected to operate at LOS A. Therefore, no improvements are necessary.

- 1st Avenue at 1st Avenue Lot 1/Pine Street
 - Turn lane warrants were not performed and need to be to evaluate the need for turn lanes into the site at this access.
 - The EB approach experiences delay increase >25% in the AM and PM peak hours. However, this is from an increase in delay of 0.8 seconds at most and each approach is expected to operate at LOS A. Therefore, no improvements are necessary due to capacity.

- 1st Avenue at 1st Avenue Lot 2
 - Turn lane warrants were not performed and need to be to evaluate the need for turn lanes into the site at this access.
 - The EB approach experiences delay increase >25% in the PM peak hour. However, this is from an increase in delay of 0.3 seconds at most and the approach is expected to operate at LOS A. Therefore, no improvements are necessary due to capacity.

- 4th Avenue at 4th Avenue Lot 2
 - Turn lane warrants were not performed and need to be to evaluate the need for turn lanes into the site at this access.

REZONING ANALYSIS – GENERAL REZONING STANDARDS (ARTICLE 11-4)

GENERAL REZONING STANDARDS	
1) Comprehensive Plan Consistency	<p>Land Supply, Suitability & Intensity The subject property is not listed on the land suitability or supply maps due to it being developed.</p>
	<p>Future Land Use & Conservation Map- See Gen H appendix.</p> <p>Designation: Institutional Character Area Description: Somewhat Consistent Zoning Crosswalk: Consistent</p>
2) Compatibility	<p>Whether and the extent to which the proposed amendment is compatible with existing and proposed uses surrounding the subject property –</p>
	<p>Since the 1990s, the property has functioned as a courthouse campus. Over time, it has expanded to include a detention center, Sheriff’s office, and additional surface parking lots, evolving to accommodate the growing needs of the County. The latest plan involves further expansion of this longstanding judicial campus.</p>
3) Changed Conditions	<p>Whether and the extent to which there are changed conditions, trends or facts that require an amendment -</p>
	<p>The Henderson County Commissioners have determined that an expanded judicial campus is necessary to better serve the residents of Hendersonville and Henderson County.</p>
4) Public Interest	<p>Whether and the extent to which the proposed amendment would result in a logical and orderly development pattern that benefits the surrounding neighborhood, is in the public interest and promotes public health, safety and general welfare -</p>
	<p>The current Courthouse accommodates essential offices that serve the residents of Henderson County. This expansion would provide the County with the space necessary to operate more efficiently and potentially enhance the services already offered to its citizens.</p>
5) Public Facilities	<p>Whether and the extent to which adequate public facilities and services such as water supply, wastewater treatment, fire and police protection and transportation are available to support the proposed amendment</p>
	<p>The site will continue to be served by City water and sewer service. N. Grove Street, 1st Ave and 4th Ave are all City maintained streets.</p>

<p>6) Effect on Natural Environment</p>	<p>Whether and the extent to which the proposed amendment would result in significantly adverse impacts on the natural environment including but not limited to water, air, noise, storm water management, streams, vegetation, wetlands and wildlife -</p>
	<p>According to the 2008 floodplain maps, no part of this property is located within the floodplain or floodway. The most recent USGS topographic maps, along with a wetland and stream delineation completed by Clearwater Environmental and confirmed by the Army Corps, show a blueline stream along the northeastern property boundary. This stream is subject to protection under the zoning ordinance. As indicated in the site plans, the development currently contains 58,515.58 square feet of tree canopy, covering 9.63% of the site. The proposed development is retaining 13,304 square feet, or 22.74%, of the existing tree canopy.</p>

DRAFT COMPREHENSIVE PLAN CONSISTENCY AND REZONING REASONABLENESS STATEMENT

The petition is found to be **consistent** with the City of Hendersonville Gen H 2045 Comprehensive Plan based on the information from the staff analysis and the public hearing, and because:

The petition is consistent with a range of Goals, Guiding Principles and the Future Land Use Designation of Chapter IV of the Gen H Comprehensive Plan.

We [**find/do not find**] this petition to be reasonable and in the public interest based on the information from the staff analysis and the public hearing, and because:

DRAFT [Rationale for Approval]

- *This expansion would give the County the additional space needed to improve operational efficiency and enhance the services currently provided to its citizens.*
- *The proposed expansion of the detention center and courthouse builds upon a longstanding use established at this site for over three decades.*
- *Expanding the courthouse is a long-term investment in the community, ensuring that the infrastructure is capable of handling future needs without requiring another expansion in the near future.*

DRAFT [Rational for Denial]

- *The proposed development's height and scale are inconsistent with the surrounding area's character and do not align with several design guidelines in the Gen H Comprehensive Plan that would help make the development more compatible with the City's vision for the future.*

Henderson County Courthouse and Detention Center Expansion (25-06-CZD)

Chapter 4 - The Vision for the Future	Consistent	Inconsistent	Staff Notes
SUPPLY, SUITABILITY, & INTENSITY			
LAND SUPPLY MAP (Pg. 81, Figure 4.4)	Consistent		Not listed in the land suitability map due to it being developed.
LAND SUITABILITY MAP (Pg. 84-86, Figure 4.5-4.7)	Consistent		Not listed in the land suitability map due to it being developed.
DEVELOPMENT INTENSITY MAP (Pg. 89, Figure 4.9)	Consistent		
FUTURE LAND USE & CONSERVATION MAP			
Future Land Use and Conservation Map (Note classification here, Pg. 117, Figure 4.12)	Institutional		
Character Area Description (Pg. 122-131)	Somewhat Consistent		<p>..."Institutional areas feature green spaces connected by pedestrian paths, clustered parking, and minimized vehicular access..."</p> <p>Eliminating the driveway in front of the building would help better align the development by removing an additional curb cut and replacing it with a pedestrian-friendly green space.</p>
Zoning Crosswalk (Pg. 132-133, Figure 4.18)	Consistent		

Henderson County Courthouse and Detention Center Expansion (25-06-CZD)

Chapter 4 - The Vision for the Future	Consistent	Inconsistent	Staff Notes
GOALS			
Vibrant Neighborhoods (Pg. 93)			
Promote lively neighborhoods that increase local safety.	Consistent		
Enable well-maintained homes, streets, and public spaces.	Consistent		
Promote diversity of ages (stage of life), income levels, and a range of interests.	N/A		
The design allows people to connect to nearby destinations, amenities, and services.	Somewhat Consistent		The development is proposing a fee in lieu of installing sidewalks along the 4th Ave frontage, instead of providing sidewalks leading towards Jackson Park.
Abundant Housing Choices (Pg. 93)			
Housing provided meets the need of current and future residents.	N/A		
Range of housing types provided to help maintain affordability in Hendersonville.	N/A		
Housing condition/quality exceeds minimum standards citywide	N/A		
Healthy and Accessible Natural Environment (Pg. 94)			
Recreational (active and passive) open spaces are incorporated into the development.	N/A		
Water quality is improved with the conservation of natural areas that serve as filters and soil stabilizers.	Consistent		The development will be required to provide a stream buffer and transition area
Natural system capacity (floodplains for stormwater; habitats to support flora/fauna; tree canopy for air quality, stormwater management, and microclimate) is maintained.	Somewhat Consistent		The development is saving the minimum amount of tree canopy required by the ordinance.
Development is compact (infill/redevelopment) to minimize the ecological footprint.	Consistent		
New development respects working landscapes (e.g., orchards, managed forests), minimizing encroachment.	N/A	N/A	
Authentic Community Character (Pg. 94)			
Downtown remains the heart of the community and the focal point of civic activity	Consistent		
A development near a gateway sets the tone, presenting the image/brand of the community.	Consistent		
Historic preservation is utilized to maintain the city's identity.	N/A		
City Centers and neighborhoods are preserved through quality development.	Consistent		
Safe Streets and Trails (Pg. 95)			
Interconnectivity is promoted between existing neighborhoods through the building out of street networks, including retrofits and interconnectivity of new developments.	N/A		
Access is increased for all residents through the provision of facilities that promote safe walking, biking, transit, automobile, ride share, and bike share.	Consistent		

Design embraces the principles of walkable development.	Somewhat Consistent		The development could be less automobile-centric with a greater emphasis on pedestrian walkability, particularly in the area in front of the building.
Reliable & Accessible Utility Services			
Wastewater treatment (service and capacity) adequately serves existing and future development	Consistent		
A compact service area (infill, redevelopment) maximizes the utilization of existing infrastructure and feasible service delivery.	Consistent		
Satisfying Work Opportunities (pg. 96)			
The development promotes quality job options.	Consistent		
The lives of residents are enriched with opportunities to learn, build skills, and grow professionally.	Consistent		
Welcoming & Inclusive Community			
Accessibility exceeds minimum standards of ADA, fostering residents' and visitors' sense of belonging.	Consistent		
An inviting public realm (i.e., parks, public buildings) reflects the attitudes of city residents and leaders, and helps residents develop a sense of place and attachment to Hendersonville.	Consistent		
Accessible & Available Community Uses and Services (Pg. 97)			
Private development is plentiful, meeting the demands of current and future populations.	N/A	N/A	
Resilient Community			
N/A			
GUIDING PRINCIPALS (pg. 98)			
Mix of Uses (Pg. 98)			
Revitalization of Outdated Commercial Areas	N/A		
New business and office space promotes creative hubs.	N/A		
Compact Development (Pg. 100)			
Development is consistent with efforts in the area to establish 15-minute neighborhoods.	Consistent		
The infill project is context sensitive [Large Infill Site].	Consistent		
Sense of Place (Pg. 102)			
The development contributes to Hendersonville's character and the creation of a sense of place through its architecture and landscape elements. [Place keeping and Placemaking and 3rd Places]	Somewhat Consistent		
Conserved & Integrated Open Spaces (Pg. 106)			
A diverse range of open space elements are incorporated into the development.	Somewhat Consistent		
Desirable & Affordable Housing (Pg. 108)			
Missing middle housing concepts are used in the development.	N/A		
Connectivity (Pg. 112)			

The development encourages multimodal design solutions to enhance mobility.	Somewhat Consistent	The current design appears to affect the existing Apple Country Transit loading area on N. Grove Street. However, Henderson County has stated that it will not impact the operation of Apple Country at that stop, and the stop will remain active.
Efficient & Accessible Infrastructure (Pg. 114)		
The development utilizes existing infrastructure	Consistent	



NEIGHBORHOOD COMPATIBILITY MEETING REPORT
HENDERSON COUNTY COURTHOUSE AND DETENTION
CENTER EXPANSION (25-06-CZD)
NCM MEETING DATES: JANUARY 23, 2025

PETITION REQUEST: Rezoning: Planned Institutional Development- Conditional Zoning District (PID-CZD)
APPLICANT/PETITIONER: Christopher Todd (Assistant County Manager) of Henderson County Government [Applicant] & William Lapsley (County Commissioner Chairman) of Henderson County Government [Owner]

NEIGHBORHOOD COMPATIBILITY MEETING SUMMARY:

A Neighborhood Compatibility Meeting was held for this project on January 23rd, 2025 at 2pm in the 2nd floor meeting room of City Hall, 160 6th Ave. E. and via Zoom. The meeting lasted approximately 1 hour and 1 minutes.

There were 3 members of the public in attendance in-person while 12 attended virtually. The applicant and their development team were present as were 2 members of City staff.

Staff gave the formal introduction and a brief overview of the request.

There were 0 pre-submitted public comments.

The development team presented their project proposal for the proposed courthouse and detention center development.

Concerns and questions from the public related to:

- Consideration of impacts from increased traffic.
- The need for the expansion.
- Discussion on if a TIA would be required.
- Concerns over the public drop off area being an issue.
- The concern of the visual aesthetics of the courthouse structure and how to make it more welcoming.
- Whether the project proposed any sustainable aspects (pervious pavers, solar panels, rooftop gardens, etc.)
- What type of stormwater control measure would be used for the project.
- How the existing tree canopy would be impacted.
- Whether or not bird deterrent stickers would be used on the windows.

Full minutes from the Neighborhood Compatibility Meeting and pre-submitted public comments are available for review by request.

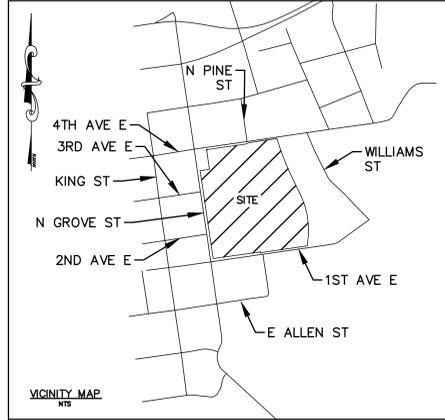
NO.	ISSUED FOR	DATE
1	PRELIMINARY SITE PLAN	01-10-20
2	REV PRELIM SITE PLAN	01-07-20
3	SITE PLAN	08-20-20
4	SITE PLAN	03-08-21



DRAWING TITLE
SITE PLAN

PROJECT #: 20220006.003
SHEET NUMBER

CC-200



VICINITY MAP

PROJECT SUMMARY

PROJECT NAME: HENDERSON COUNTY DETENTION CENTER
200 N GROVE STREET
HENDERSON COUNTY, NC

PIN # 9568-97-1859

PLAT: SLIDE #133

DEED: SLIDE 3266

EXISTING ZONING PLANNED INSTITUTIONAL DEVELOPMENT (PID)

PROPOSED ZONING PLANNED INSTITUTIONAL DEVELOPMENT / CONDITIONAL ZONING DISTRICT (PID/CZD)

OWNER HENDERSON COUNTY
1 HISTORIC COURTHOUSE SQUARE
HENDERSONVILLE, NC 28792

DEVELOPER HENDERSON COUNTY
CHRISTOPHER TODD
HENDERSON COUNTY ENGINEER
828-694-5850

ENGINEER JARED L. DERIDDER, P.E.
WGLA ENGINEERING, PLLC
724 5TH AVENUE WEST
HENDERSONVILLE, NC 28792

ARCHITECT FENTRESS ARCHITECTS
421 BROADWAY
DENVER, COLORADO 80203
CHARLES CANNON, RA

SURVEYOR ED HOLMES & ASSOCIATES
LAND SURVEYORS, P.A.
200 RIDGE FIELD COURT, SUITE 215
ASHEVILLE, NC 28806

ACRES 14.78 AC ±

PRE DEVELOPMENT GROUND COVER SUMMARY
GRASS/OPEN SPACE: 5.38 AC ± (36.4%)
IMPERVIOUS: 9.40 AC ± (63.6%)

POST DEVELOPMENT GROUND COVER SUMMARY
GRASS/OPEN SPACE: 4.81 AC ± (32.54%)
IMPERVIOUS: 9.97 AC ± (67.46%)

WATER SYSTEM ON SITE (PUBLIC) CITY OF HENDERSONVILLE

SEWER SYSTEM ON SITE (PUBLIC) CITY OF HENDERSONVILLE

BUILDING SETBACKS 40' FROM ANY ROAD RIGHT-OF-WAY
10' FROM RIGHT-OF-WAY WHEN PARKING IS SITUATED TO THE REAR OR SIDE OF THE LOT AND SCREENED FROM VIEW 25' FROM ANY EXTERIOR PROPERTY BOUNDARY

BUILDING HEIGHT SUMMARY:
MAX ALLOWABLE BUILDING HEIGHT: 50'
PER PID ZONING DISTRICT:
PER DOWNTOWN EDGE CHARACTER DISTRICT: 64'

PROPOSED BUILDING HEIGHT: (SEE NOTE #7)

COURTHOUSE
AVERAGE GRADE PLAN ELEV: 2125.75'
TOP OF ROOF COPING ELEV: 2218.50'
TOP OF ROOF COPING HEIGHT: 92.75'

DETENTION CENTER
AVERAGE GRADE PLAN ELEV: 2125.50'
MEAN RIDGE / GABLE ELEV: 2151.00'
MEAN RIDGE / GABLE HEIGHT: 25.5'

EXISTING PARKING SUMMARY: 462 SPACES TOTAL
EXISTING JAIL:
REQUIREMENT: 1 SPACE PER 2 EMPLOYEES *
REQUIRED: 56 EMPLOYEES** = 28 SPACES
PROVIDED: 28 SPACES

EXISTING SHERIFF:
REQUIREMENT: 1 SPACE PER 500 SF **
REQUIRED: 63,000 SF = 126 SPACES
PROVIDED: 126 SPACES

EXISTING COURTHOUSE:
REQUIREMENT: 1 SPACE PER 500 SF **
REQUIRED: 99,116 SF = 199 SPACES
PROVIDED: 308 SPACES

PROPOSED PARKING SUMMARY: 579 SPACES TOTAL
PROPOSED JAIL:
REQUIREMENT: 1 SPACE PER 2 EMPLOYEES *
REQUIRED: 85 EMPLOYEES** = 43 SPACES
PROVIDED: 43 SPACES

PROPOSED SHERIFF:
REQUIREMENT: 1 SPACE PER 500 SF **
REQUIRED: 63,000 SF = 126 SPACES
PROVIDED: 126 SPACES

PROPOSED COURTHOUSE:
REQUIREMENT: 1 SPACE PER 500 SF *
REQUIRED: 189,975 SF = 380 SPACES
PROVIDED: 410 SPACES

* REQUIREMENT DERIVED FROM CITY OF HENDERSONVILLE PARKING TABLE 6-5-2 FOR A PER EMPLOYEE / SHIFT DRIVEN USE.
** REQUIREMENT PER HENDERSON COUNTY COMMERCIAL, OFFICE, INSTITUTIONAL, CIVIC USE CLASSIFICATION
*** PER FENTRESS POR 2040 PROJECTION

NOTES:

- NO PORTION OF THIS PROJECT IS WITHIN THE 100 YEAR FLOOD PLAIN OR FLOOD WAY.
- THIS PARCEL AND ALL ADJOINING PARCELS ARE WITHIN THE CITY OF HENDERSONVILLE CITY LIMITS.
- LIGHTING FOR THE SITE SHALL COMPLY WITH SECTION 6-19 OF THE CITY OF HENDERSONVILLE ZONING ORDINANCE.
- ALL PLANNED IMPROVEMENTS ARE CURRENTLY PROPOSED TO BE COMPLETED IN ONE PHASE.
- ALL AREAS SHALL BE PAVED TO NCDOT STANDARDS.
- ALL PROPOSED PARKING SPACES WILL BE A MINIMUM OF 9'X18' AND 90' PARKING WILL HAVE A MINIMUM DRIVE ISLE WIDTH OF 24'.
- BUILDING HEIGHTS ARE CALCULATED PER COH ZONING ORDINANCE ARTICLE 12.
- HENDERSON COUNTY SHALL COORDINATE WITH THE RAILROAD AS REQUIRED FOR DISTURBANCE WITHIN THE RAILROAD RIGHT OF WAY PRIOR TO ANY LAND DISTURBANCE.

SITE AREA SUMMARY:

PROPERTY AREA: 643,789 SF - 14.78 AC - 100%

SITE COVERAGE - BUILDINGS: 163,796 SF - 3.76 AC - 25.44%

SITE COVERAGE - OPEN SPACE 209,496 SF - 4.81 AC - 32.54%

SITE COVERAGE - STREETS AND PARKING 229,102 SF - 5.26 AC - 35.59%

SITE COVERAGE - COMMON OPEN SPACE 64,379 SF - 1.48 AC - 10%

PROJECT AREA SUMMARY:

PROJECT AREA: 389,914 SF - 8.95 AC - 100%

PROJECT COVERAGE - BUILDINGS: 60,133 SF - 1.38 AC - 15.42%

PROJECT COVERAGE - OPEN SPACE 150,288 SF - 3.45 AC - 38.54%

PROJECT COVERAGE - STREETS AND PARKING 158,252 SF - 3.63 AC - 40.59%

PROJECT COVERAGE - COMMON OPEN SPACE 38,991 SF - 0.90 AC - 10%

DEVELOPER PROPOSED CONDITIONS

- DEVELOPER PROPOSES TO EXCEED THE MAXIMUM ALLOWABLE BUILDING HEIGHT OF THE SUBJECT ZONING DISTRICT (SEE PROPOSED BUILDING HEIGHT SUMMARY ON THIS SHEET)
 - DEVELOPER PROPOSES TO PROVIDE PARKING SPACES AS OUTLINED IN THE PARKING SUMMARY ON THIS SHEET.
 - NEW LANDSCAPE REQUIREMENTS AND CALCULATIONS ARE BASED ON THE NEW PROJECT AREA.
- DEVELOPER PROPOSED COUNTER-CONDITIONS**
1- THE DEVELOPER INTENDS TO PAY FEE-IN-LIEU (AS OUTLINED IN SECTION 6-12-3 OF THE CITY ORDINANCE) OF INSTALLATION OF THE SIDEWALK SPECIFIED BY CITY PROPOSED CONDITION. THIS EQUATES TO APPROXIMATELY 100 LF ± OF (800 SF ±).

CITY PROPOSED CONDITIONS

PROPOSED JAIL:
REQUIREMENT: 1 SPACE PER 2 EMPLOYEES *
REQUIRED: 85 EMPLOYEES** = 43 SPACES
PROVIDED: 43 SPACES

PROPOSED SHERIFF:
REQUIREMENT: 1 SPACE PER 500 SF **
REQUIRED: 63,000 SF = 126 SPACES
PROVIDED: 126 SPACES

PROPOSED COURTHOUSE:
REQUIREMENT: 1 SPACE PER 500 SF *
REQUIRED: 189,975 SF = 380 SPACES
PROVIDED: 410 SPACES

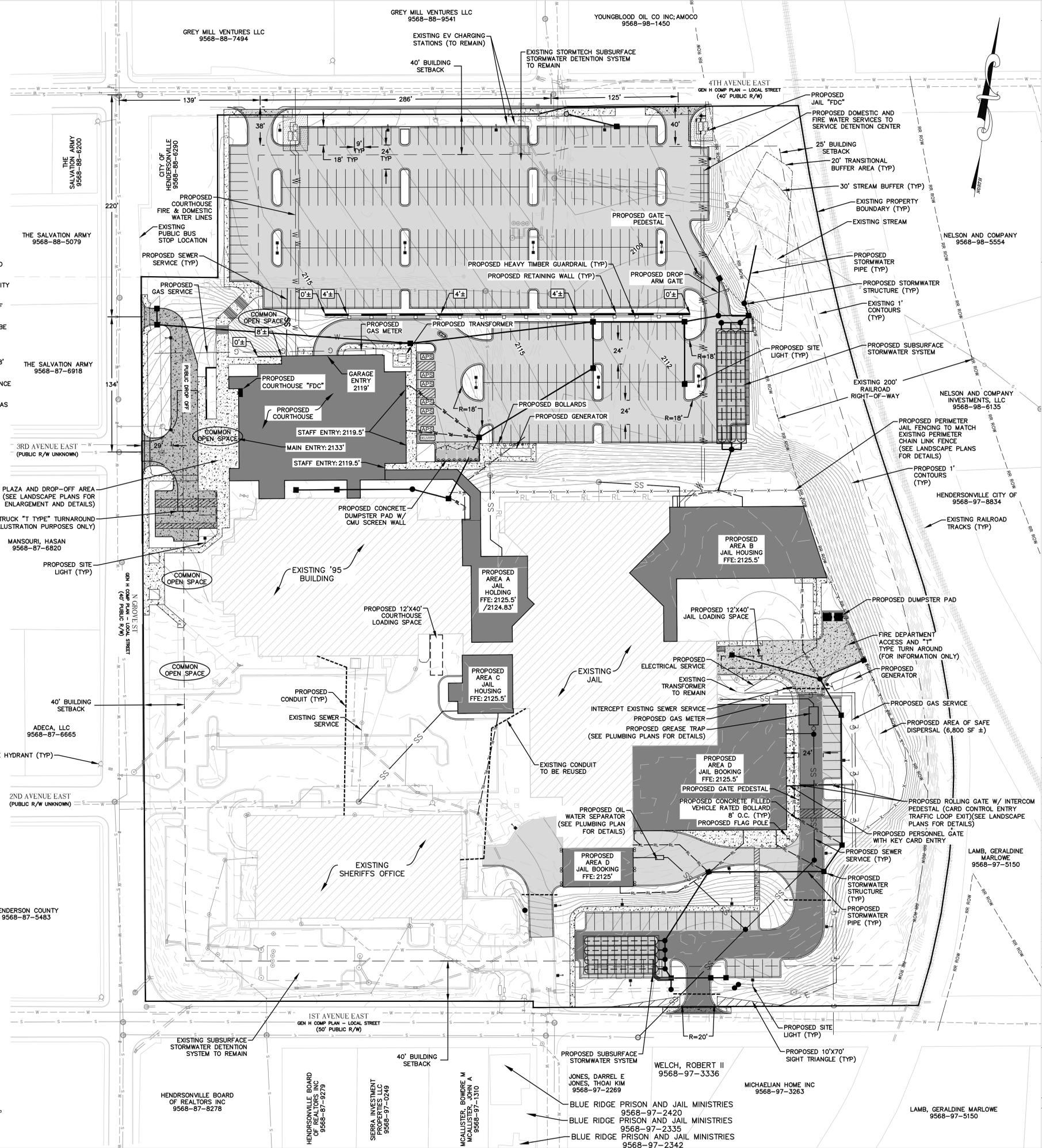
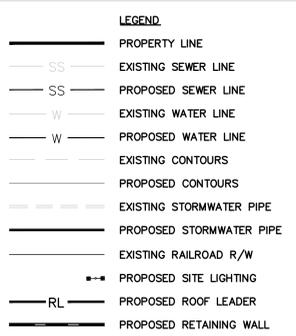
* REQUIREMENT DERIVED FROM CITY OF HENDERSONVILLE PARKING TABLE 6-5-2 FOR A PER EMPLOYEE / SHIFT DRIVEN USE.
** REQUIREMENT PER HENDERSON COUNTY COMMERCIAL, OFFICE, INSTITUTIONAL, CIVIC USE CLASSIFICATION
*** PER FENTRESS POR 2040 PROJECTION

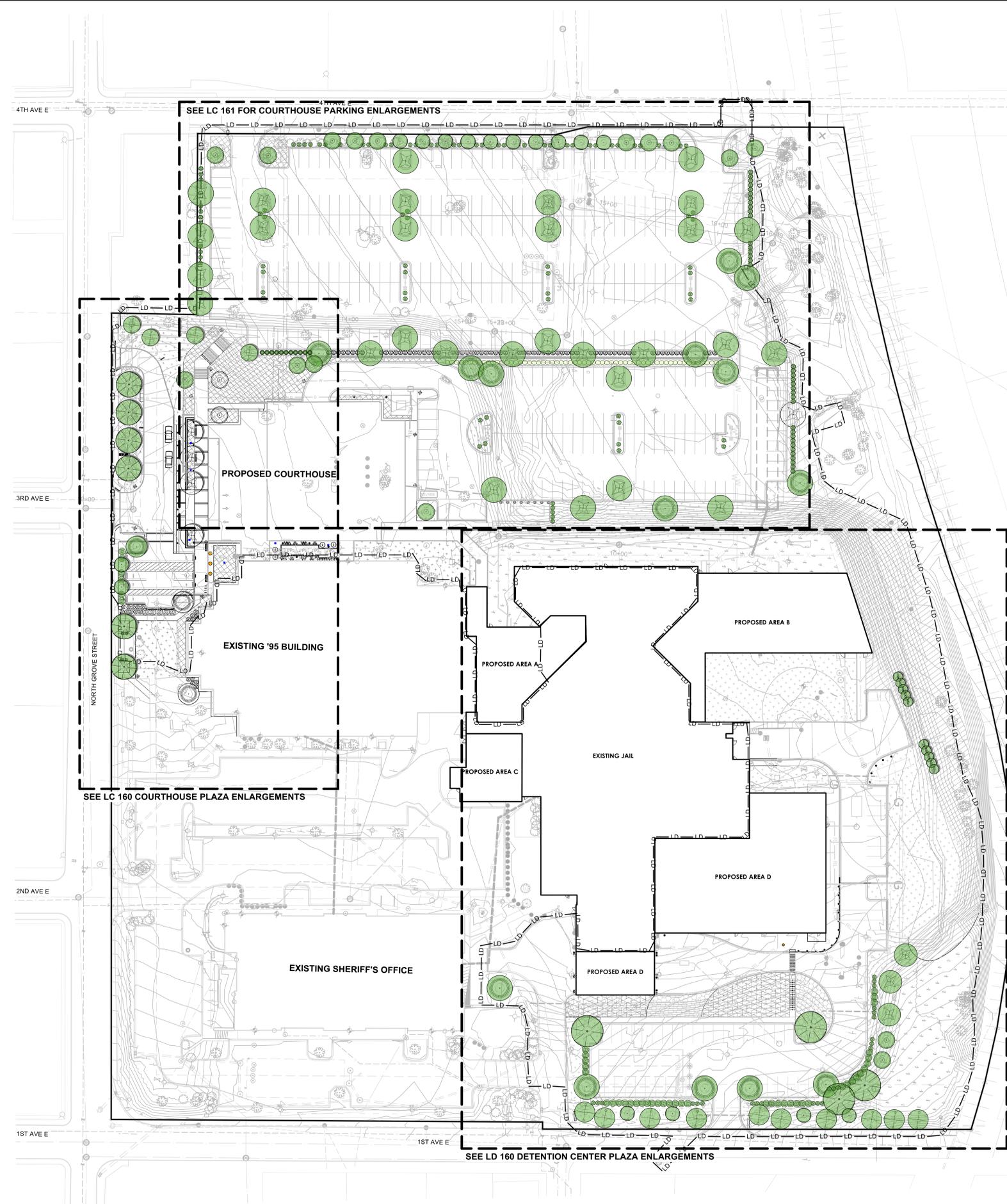
BLDG SQUARE FOOTAGE SUMMARY:

EXISTING SHERIFFS OFFICE:	63,000	SF ±
EXISTING DETENTION CENTER:	60,361	SF ±
EXISTING '95 BUILDING:	99,116	SF ±
PROPOSED DETENTION CENTER ADDITION:	53,443	SF ±
PROPOSED COURTHOUSE ADDITION:	90,859	SF ±
TOTAL SHERIFFS OFFICE:	63,000	SF ±
TOTAL DETENTION CENTER:	113,804	SF ±
TOTAL COURTHOUSE:	189,975	SF ±



GRAPHIC SCALE
(IN FEET)





SHEET INDEX

L 200	OVERALL PLAN
L 201	TREE CANOPY COVERAGE PLAN
LC 160	PLANTING PLAN
LC 161	PLANTING PLAN
LD 160	PLANTING PLAN
LC 506	DETAILS

- GENERAL NOTES**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK ZONE TRAFFIC CONTROL IN OR ADJACENT TO NCDOT OR CITY RIGHT-OF-WAY. ALL METHODS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.
 2. UNLESS NOTED ON THE DRAWINGS ALL BUFFERS, WETLANDS, STREAM CHANNELS, SETBACKS AND TREE PROTECTION AREAS SHALL BE PROTECTED WITH NO CONSTRUCTION ACCESS, STORAGE OR USE OF ANY KIND. THE CONTRACTOR SHALL KEEP CONSTRUCTION ACTIVITIES WITHIN THE "PROJECT LIMITS" SHOWN ON THE DRAWINGS.
 3. ALL DIMENSIONS INDICATING "VERIFY" SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO STARTING CONSTRUCTION REPORT ANY DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT.
 4. ALL DIMENSIONS LABELED "EQ" ARE TO INDICATE EQUAL MEASUREMENTS BETWEEN THE DIMENSIONS END POINTS ON THE DRAWING.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL EXISTING JOB CONDITIONS. ANY ADVERSE EXISTING CONDITIONS AFFECTING THE WORK SHOWN ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR POSSIBLE CLARIFICATION OR RECONCILIATION.
 6. ITEMS LABELED AS "BY OTHERS" OR "NIC" ARE FOR COORDINATION ONLY. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ANY SUCH ITEMS WITH THE OWNER'S REPRESENTATIVE.
 7. ALL CONSTRUCTION AND PLANTING WILL MEET HENDERSONVILLE, NC CODE REQUIREMENTS.
 8. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS PRIOR TO STARTING WORK.

NO.	ISSUED FOR	DATE
1	SD-R-COURT DESIGN	09/06/2024
2	90% DD	12/09/2024
3	100% DD	02/21/2025
4	SITE PLAN	03/06/2025

STAMP

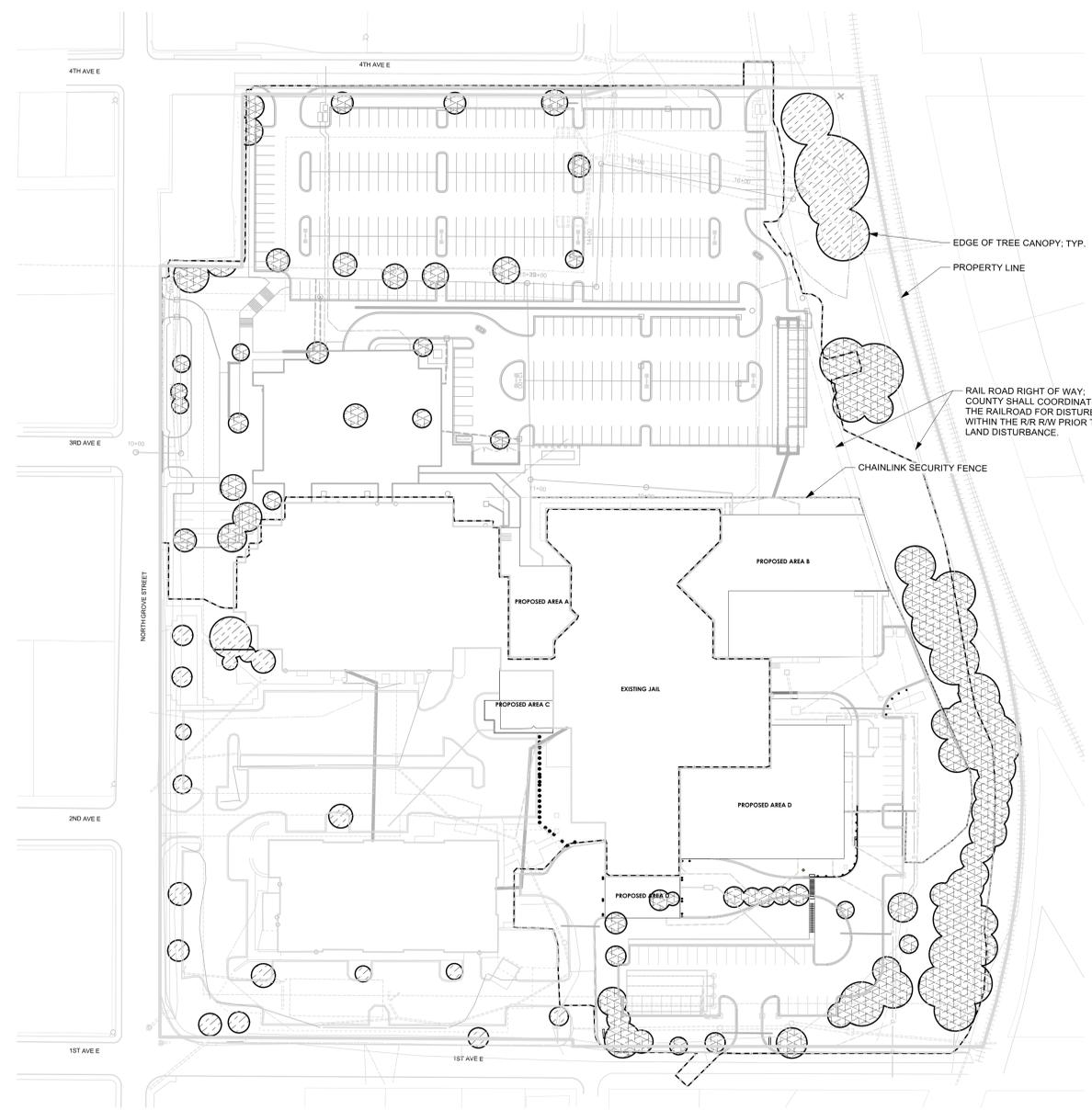
NOT FOR CONSTRUCTION

DRAWING TITLE	OVERALL PLAN
PROJECT #	20220006.001
SHEET NUMBER	L200

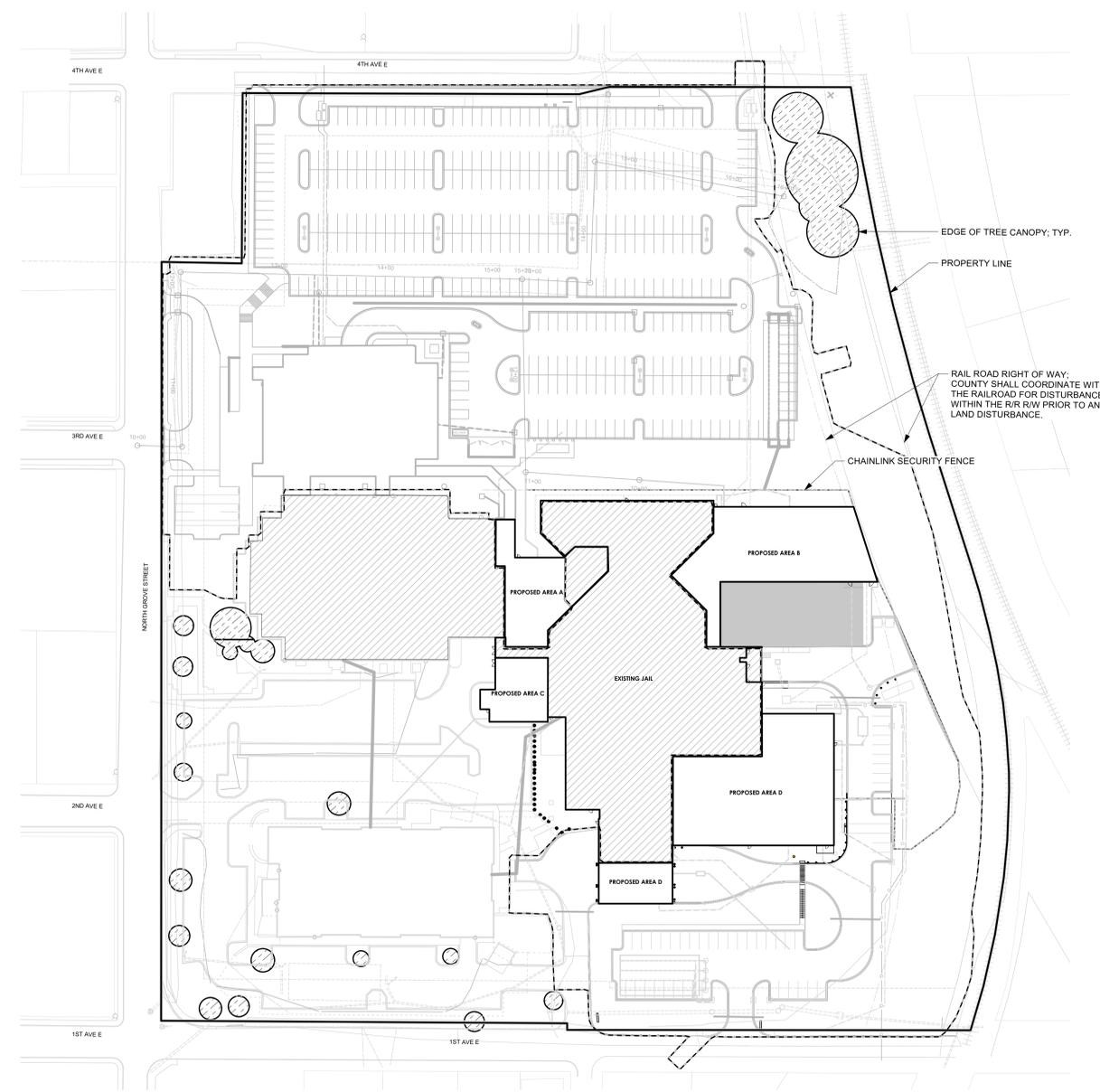
1 OVERALL PLAN
Scale: 1" = 40'-0"



8/19/2024 11:21:08 AM
Autodesk Docs://Henderson County Judicial Center/HCC_Courts_A24.rvt



1 EXISTING TREE CANOPY AND PROPOSED REMOVAL
Scale: 1"=60'-0"



2 PROPOSED TREE CANOPY PLAN
Scale: 1"=60'-0"

FROM ORDINANCE #0-24-08

(4) Preservation Requirements

- a. **Tier One Requirement:** 20 percent of the existing tree canopy on the site shall be preserved. The specific tree canopy preserved shall be at the discretion of the developer. Tier One Canopy is not eligible for fee-in-lieu without a variance issued by the Board of Adjustment.
- b. **Tier Two Requirement:** In addition to the Tier One Requirement, existing tree canopy on the site shall be preserved, and new tree canopy shall be installed, in accordance with one of the options in the table below:

Tier Two Tree Canopy Requirement		
Select One:	Percentage of Tier Two Tree Canopy Preserved (in addition to Tier One Canopy) ¹	Percentage of Total Tier Two Canopy Required
Option 1	10%	10%
Option 2	5%	12%
Option 3	0%	15%

¹ Percentages of Tier Two Tree Canopy Preserved refer to the total existing Tree Canopy on a site before calculation of the Tier One Requirement and are in addition to the Tier One Requirement.
² Percentages of New Tree Canopy Installation refer to the total existing Tree Canopy on a site and shall be installed in accordance with the Credit for New Tree Canopy Installation table below.

Credit for New Tree Canopy Installation		
Size of Tree*	Tree Canopy Credit	QTY.
Large Maturing	872 sq. ft.	15
Medium Maturing	350 sq. ft.	42
Small Maturing	144 sq. ft.	45

*As designated in the Recommended Species List

TREE PROTECTION ORDINANCE:

PIN: 9568971859
PROPERTY OWNER: HENDERSON COUNTY
PARCEL SIZE: 607,905.50 SF (13.96 ACRES)
58,515.58 SF OF CANOPY COVERAGE, 9.63% CANOPY COVERAGE
(CANOPY COVERAGE DATA REFERENCED FROM CITY OF HENDERSONVILLE GIS HUB, DATED: APRIL 10, 2024)

PRESERVATION REQUIREMENTS

	TIER ONE TREE CANOPY PRESERVATION REQUIREMENT	TIER TWO TREE CANOPY PRESERVED	TIER TWO NEW TREE CANOPY INSTALLATION REQUIRED	TOTAL TREE CANOPY REQUIREMENT
OPTION 1	11,703 SF (20%)	5,852 SF (10%)	0 sq.ft (0%)	17,555 SF (30%)
OPTION 2	11,703 SF (20%)	2,926 SF (5%)	4,096 SF (7%)	18,725 SF (32%)
OPTION 3	11,703 SF (20%)	0 SF (0%)	8,777 SF (15%)	20,480 SF (35%)

TREE CANOPY CALCULATIONS

TOTAL: 58,515.58 SF
EXISTING TREE CANOPY TO REMOVE :45,211 SF (WITHIN LOD LINE)
EXISTING TREE CANOPY TO REMAIN : 13,304 SF (OUTSIDE THE LOD LINE)
REQUIRED: 20,480 SF
PROVIDED: 47,564 SF (13,304 + 34,260)

TREE PROTECTION LEGEND

SYMBOL	TYPE	QTY.
	EXISTING TREE CANOPY TO BE REMOVED	45,211 SF
	EXISTING TREE CANOPY TO REMAIN	13,304 SF

NO.	ISSUED FOR	DATE
1	SD-R-COURT DESIGN	09/06/2024
2	90% DD	12/09/2024
3	100% DD	02/21/2025
4	SITE PLAN	03/06/2025

STAMP

NOT FOR CONSTRUCTION
DRAWING TITLE
TREE CANOPY COVERAGE PLAN
PROJECT #: 20220006.001
SHEET NUMBER
L201

PLANTING NOTES

- EXISTING UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR SHALL CONTACT NO ONE CALL CENTER AT 1-800-632-4949 FOR LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING AROUND EXISTING UTILITIES TO REMAIN.
- PLANT LIST IS PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF DISCREPANCIES BETWEEN THE PLAN AND PLANT LIST QUANTITIES, THE PLAN SHALL TAKE PRECEDENCE.
- AFTER THE SITE IS STABILIZED AND FREE OF SEDIMENTATION, THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL DEVICES, SILT, RIP RAP AND TEMPORARY STONE STAGING AREAS FOR REPLACEMENT WITH PLANTING SOIL. PROVIDE PLANTING ACCORDING TO THE LANDSCAPE PLAN.
- TEMPORARY EROSION CONTROL SEED MUST BE FULLY REMOVED PRIOR TO PREPARATION OF PERMANENT SEED, SOD OR LANDSCAPE BEDS.
- UNLESS OTHERWISE NOTED IN THE PLANT LIST, THE CONTRACTOR SHALL OBTAIN AND INSTALL ONLY PLANT MATERIAL THAT IS GROWN ON ITS OWN ROOT - GRAFTED OR BUDDED PLANT MATERIAL WILL BE REJECTED.
- ALL TREES SHALL BE OBTAINED FROM THE NURSERY WITH EXPOSED ROOT CROWNS. B&B MATERIAL DELIVERED TO SITE WITH BURIED OR RECENTLY BURIED ROOT CROWNS WILL BE REJECTED.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF PLANT SUBSTITUTIONS IN ANY MEASUREMENT OR SPECIES INDICATED. SEE SPECIFICATIONS FOR FULL NOTIFICATION REQUIREMENTS.
- DO NOT PLANT IN STORM WATER CONVEYANCE SWALES OR PROVIDE FINE GRADING THAT DISRUPTS FLOW OR CHANGES LONGITUDINAL SLOPES.
- PLANT THE OUTER EDGES OF EACH PLANTING GROUP FOLLOWING THE BED OUTLINE ACCORDING TO THE PLAN, ONCE A SATISFACTORY MATCHED OUTER SHAPE IS OBTAINED. FILL THE CENTER OF EACH AREA WITH PLANTS ACCORDING TO THE PLAN AND SPACING NOTES.
- THE PLANTING LAYOUT WITHIN PLANTING BEDS SHOULD BE SHIFTED TO MINIMIZE CONFLICTS WITH EXISTING TREE ROOTS.
- DISTURBED EARTH AREAS BEYOND PROJECT LIMITS THAT ARE DIRECTLY CAUSED BY CONTRACTOR MEANS AND METHODS SHALL BE RESTORED WITH TURF SOD, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL PROVIDE SURVEY AS-BUILT LOCATION OF FINAL UTILITY ACCESS POINTS UPON INSTALLATION OF UTILITIES TO LANDSCAPE ARCHITECT AND NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS BETWEEN FIELD LOCATIONS OF UTILITIES AND PROPOSED SITE WORK FEATURES INCLUDING CONFLICTS WITH PROPOSED PLANTINGS.
- DO NOT PLANT WITHIN 12 INCHES OF ROOF DRAIN CLEAN OUT COVERS.
- ALL PLANTING WILL COMPLY WITH HENDERSONVILLE, NC CODE REQUIREMENTS.

LANDSCAPE CALCULATIONS FOR L160 AND L161

VUA REQUIREMENT:

1 TREE/ 2 SHRUBS PER 3,000 SF OF VEHICULAR AREA

TOTAL VEHICULAR AREA: 158,252 SF
 VEHICULAR AREA PER LC160 & LC161: 123,192 SF
REQUIRED: 42 TREES AND 84 SHRUBS
PROPOSED: 42 TREES AND 84 SHRUBS

*AT LEAST 75 PERCENT OF THE REQUIRED PARKING LOT TREES MUST BE BROADLEAF CANOPY TREES. TREES AND SHRUBS MUST BE PLANTED WITHIN 20 FEET OF THE VEHICULAR USE AREA TO COUNT AS PARKING LOT LANDSCAPING; PROVIDED, HOWEVER, ALL STREET TREES REQUIRED BY OTHER PROVISIONS OF THIS ZONING ORDINANCE SHALL COUNT AS PARKING LOT LANDSCAPING.

WHEN A PARKING LOT CONTAINS 20 OR MORE PARKING SPACES, 50 PERCENT OF THE TREES AND SHRUBS REQUIRED BY PARAGRAPH A), ABOVE, MUST BE PLANTED IN ISLANDS OR MEDIANS LOCATED WITHIN THE PARKING LOT.

*WHEN A VEHICULAR USE AREA LOT IS LOCATED WITHIN 100 FEET OF AN ABUTTING PROPERTY AND NO BUFFERARY IS REQUIRED.

*AT LEAST 75% OF THE TREES REQUIRED TO BE PLANTED UNDER THE PROVISIONS OF THIS ARTICLE SHALL BE NATIVE SPECIES AS LISTED ON THE RECOMMENDED SPECIES LIST.

PLANTING STRIP:

1 LARGE EVERGREEN OR DECIDUOUS TREE AND FIVE EVERGREEN OR DECIDUOUS SHRUBS PER 40 LF OF PROPERTY LINE THAT PARALLELS VUA; 50% MAY BE COUNTED AS PARKING LOT TREES AND SHRUBS IF WITHIN 20' OF VUA

PROPOSED: 4 TREES AND 11 SHRUBS

BUFFERING FROM STREET:

3' HEIGHT AT MATURITY; CAN INCLUDE PLANT MATERIAL OR A COMBINATION OF GRADE CHANGE AND PLANT MATERIAL. AT LEAST ONE EVERGREEN OR DECIDUOUS SHRUB PLANTED FOR EVERY 5' LF OF BUFFER REQUIRED.

SCREENING:

PROPOSED: 5 SHRUBS

STREET TREES:

WHERE OVERHEAD UTILITY LINES ARE PRESENT, STREET TREES SHALL BE PLANTED AT THE RATE 1 SMALL-MATURING TREE (<25 FEET IN HEIGHT) FOR EVERY 25' LINEAR FEET OF PROPERTY ABUTTING A STREET.

*TREES DO NOT NEED TO BE SPACED EVENLY. THEY MAY BE CLUSTERED WITH A MINIMUM SPACING OF 15 TREES AND MAXIMUM SPACING OF 75 FEET.

*NO STREET TREES CAN BE PLANTED FARTHER THAN 35 FEET FROM THE EDGE OF THE RIGHT-OF-WAY TO COUNT AS STREET TREE.

NORTH GROVE STREET

REQUIRED: 10 (333.88 LF/33=10)
PROVIDED: 10

4TH AVENUE EAST

REQUIRED: 20 (484.32 LF/25=44)
PROVIDED: 20

COMMON OPEN SPACE LANDSCAPING:

A MINIMUM OF ONE TREE AND FIVE SHRUBS FOR EVERY 1,200 SQUARE FEET OF COMMON OPEN SPACE
 A MINIMUM OF 50 PERCENT OF THE TREES SHALL BE CANOPY TREES

TOTAL COMMON OPEN SPACE: 38,991 SF

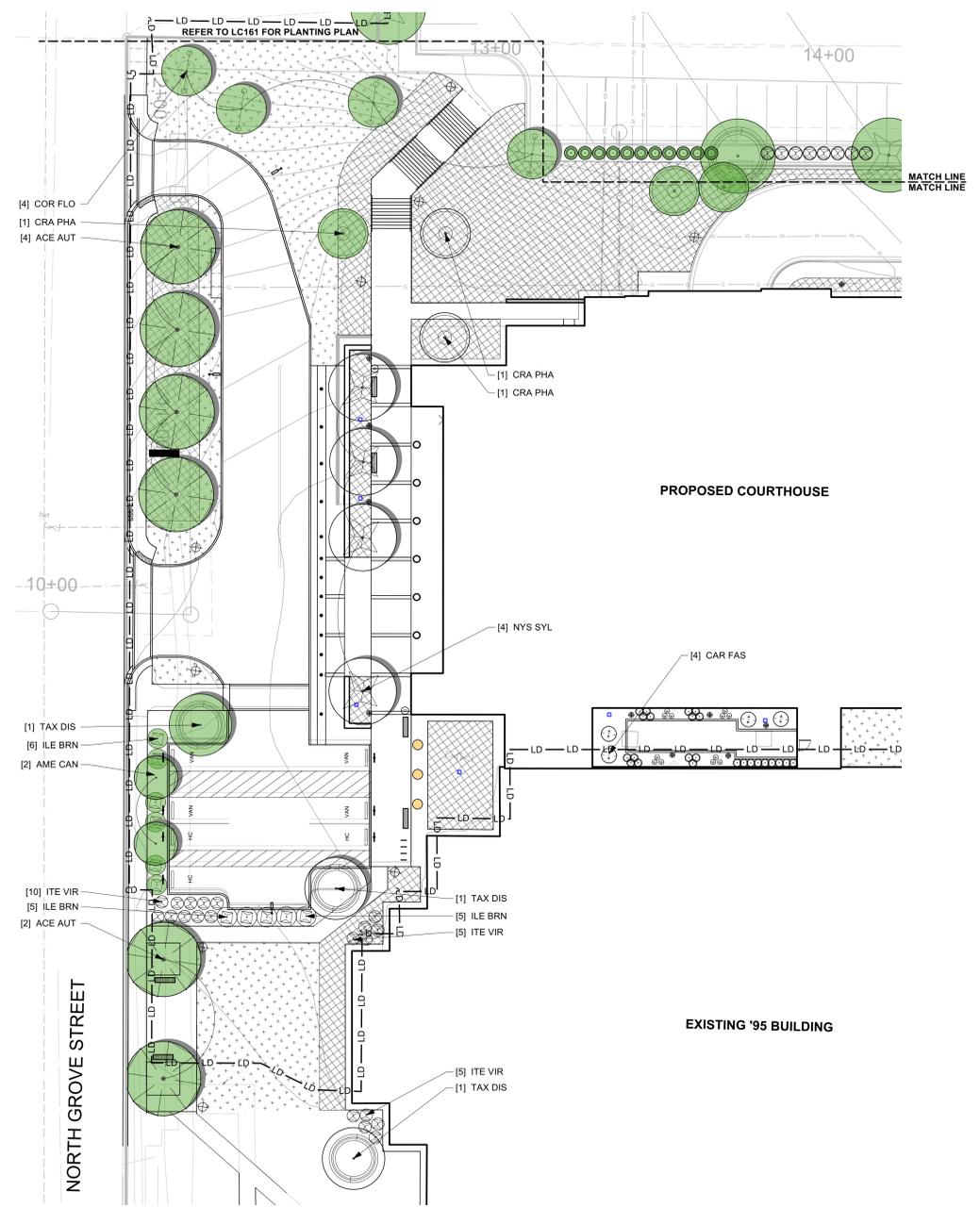
TOTAL REQUIRED: 32 TREES + 160 SHRUBS
PROVIDED PER LC160& LC161: 30 TREES + 100 SHRUBS
TOTAL PROVIDED: 44 TREES + 162 SHRUBS

PARKING AND STREET TREE PLANTING LEGEND

SYMBOL	TYPE	SIZE	QTY.
[Pattern]	SOD		19,625 SF
[Pattern]	SLOPE SEED MIX		927 SF

Proposed Land Use	Existing Land Use /Zoning District				
	Residential	Mobile Home Park	Institutional & Cultural	Commercial	Industrial
Residential	X	X	X	X	X
Mobile Home Park	10-foot B	X	8-foot A	10-foot B	X
Institutional & Cultural	10-foot B	8-foot A	X	X	X
Commercial	10-foot B	10-foot B	8-foot A	X	X
Industrial	25-foot C	25-foot C	15-foot B	15-foot B	X

Type of Buffer	Planting Requirements per 100 Linear Feet	Size Requirements
A	3 broadleaf canopy trees 20 evergreen shrubs (4-foot centers) 25 flowering shrubs	5-6 feet 18-24 inches 12-18 inches
B	4 broadleaf canopy tree 25 evergreen shrubs (4-foot centers) 33 flowering shrubs	1 1/2-1 1/2 inch caliper 18-24 inches 18-24 inches
C	4 broadleaf canopy tree 10 understory trees 33 flowering shrubs berm fence or wall on top of berm	1 1/2-2 inch caliper 5-6 feet 18-24 inches 6 feet 8 feet
X	No buffer required	Not applicable



1 PLANTING PLAN
Scale: 1" = 20'-0"



CODE REQUIRED PLANT SCHEDULE - CONTRACTOR SHALL SATISFY ALL MEASUREMENTS NOTED - EXCEED SIZES UPON APPROVAL

KEY	QTY	LATIN NAME	COMMON NAME	CONTAINER	SIZE	Ht	W	SPACING	COMMENTS
DECIDUOUS TREES									
ACE AUT	4	ACER X FREEMANN 'JEFFERSON'	AUTUMN BLAZE MAPLE	B&B	3" CAL	12 HT.	8" W.	AS SHOWN	FULL DENSE MATCHING
NYS SYL	29	NYSSA SYLVATICA	BLACK GLUM						STRONG CENTRAL LEADER, EVENLY BRANCHED, FULL
BAE SYL	21	BAKEDOWN OSTRICHUM	BAIRD CYPRESS	B&B	3" CAL	12 HT.	8" W.	AS SHOWN	STRONG CENTRAL LEADER, EVENLY BRANCHED, FULL
UNDERSTORY DECIDUOUS TREES									
AME CAN	12	AMELANCHIER CANADENSIS	SHADLOW SERVICE BERRY	B&B	1" CAL PER STEM	8 FT.	3" W.	AS SHOWN	MULTI-STEM MIN. 3 STEM, EVENLY BRANCHED, FULL
COR FLO	4	CORNUS FLORIDA	FLOWERING DOGWOOD	B&B	2" CAL	8 FT.	3" W.	AS SHOWN	STRONG CENTRAL LEADER, EVENLY BRANCHED, FULL
WASH DOG	14	WASHINGTONIA HORTONII	WASHINGTON HAWKWOOD	B&B	3" CAL	8 FT.	3" W.	AS SHOWN	FULL
EVERGREEN TREES									
ITE VIR	123	IBA VIRGINICA	VIRGINIA SWEETPIPER	CONT.	3 GAL	24" HT.	18" W.	AS SHOWN	FULL DENSE MATCHING
EVERGREEN SHRUBS									
ILE BRN	4	ILEX CORNUTA BURFORDI NANA	DWARF BURFORD HOLLY	CONT.	3 GAL	24" HT.	18" W.	AS SHOWN	FULL DENSE MATCHING

NON REQUIRED PLANT SCHEDULE - CONTRACTOR SHALL SATISFY ALL MEASUREMENTS NOTED - EXCEED SIZES UPON APPROVAL

KEY	QTY	LATIN NAME	COMMON NAME	CONTAINER	SIZE	Ht	W	SPACING	COMMENTS
TREES									
NYS SYL	5	NYSSA SYLVATICA	BLACK GLUM	B&B	3" CAL	12 HT.	8" W.	AS SHOWN	STRONG CENTRAL LEADER, EVENLY BRANCHED, FULL
BAE SYL	2	BAKEDOWN OSTRICHUM	BAIRD CYPRESS	B&B	3" CAL	12 HT.	8" W.	AS SHOWN	STRONG CENTRAL LEADER, EVENLY BRANCHED, FULL
CAR PAL	4	CARPENUS BETULUS TASTIGATA	PASTORIS EUROPEAN HORNBEAM	B&B	3" CAL	12 HT.	8" W.	AS SHOWN	STRONG CENTRAL LEADER, EVENLY BRANCHED, FULL
SHRUBS									
AME CAN	12	AMELANCHIER CANADENSIS	SHADLOW SERVICE BERRY	CONT.	3 GAL	24" HT.	18" W.	AS SHOWN	FULL DENSE MATCHING
CAL DIS	24	CALICARPA DICHOTOMA EARLY AMERITIF	EARLY AMERITIF PURPLE BRISTLEBERRY	CONT.	3 GAL	20" HT.	12" W.	AS SHOWN	FULL DENSE MATCHING
ILE BRN	5	ILEX CORNUTA BURFORDI NANA	DWARF BURFORD HOLLY	CONT.	3 GAL	24" HT.	18" W.	AS SHOWN	FULL DENSE MATCHING
ITE VIR	87	IBA VIRGINICA	VIRGINIA SWEETPIPER	CONT.	3 GAL	24" HT.	18" W.	AS SHOWN	FULL DENSE MATCHING
PERENNIALS, ORNAMENTAL GRASSES, AND GROUNDCOVERS									
	402		GROUNDCOVER/ ORNAMENTAL GRASSES					18" O.C.	
	60		MULHY GRASS					3 GAL	

NO.	ISSUED FOR	DATE
1	SD-R-COURT DESIGN	09/06/2024
2	90% DD	12/09/2024
3	100% DD	02/21/2025
4	SITE PLAN	03/06/2025

STAMP

NOT FOR CONSTRUCTION
DRAWING TITLE
PLANTING PLAN

PROJECT #: 20220006.001
SHEET NUMBER
LC160

NO.	ISSUED FOR	DATE
1	SD-R-COURT DESIGN	09/06/2024
2	90% DD	12/09/2024
3	100% DD	02/21/2025
4	SITE PLAN	03/06/2025

STAMP

NOT FOR CONSTRUCTION

DRAWING TITLE

PLANTING PLAN

PROJECT #: 20220006.001

SHEET NUMBER

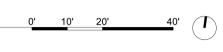
LC 161

PARKING AND STREET TREE PLANTING LEGEND

SYMBOL	TYPE	SIZE	QTY.
	SOD		19,625 SF
	SLOPE SEED MIX		927 SF



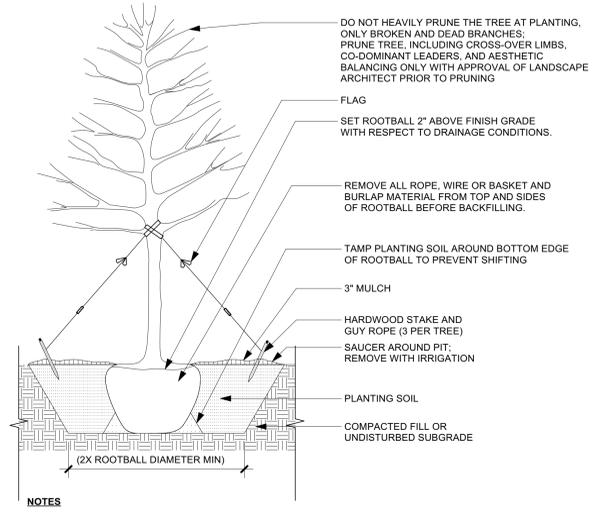
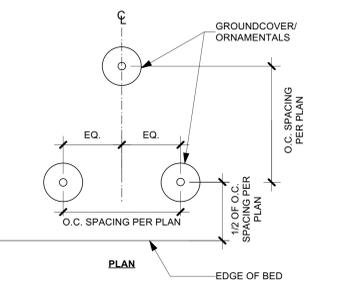
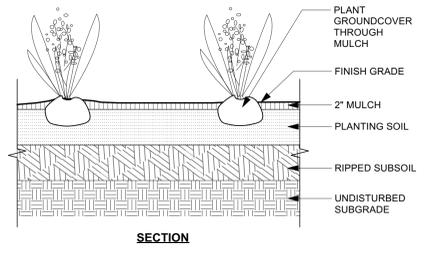
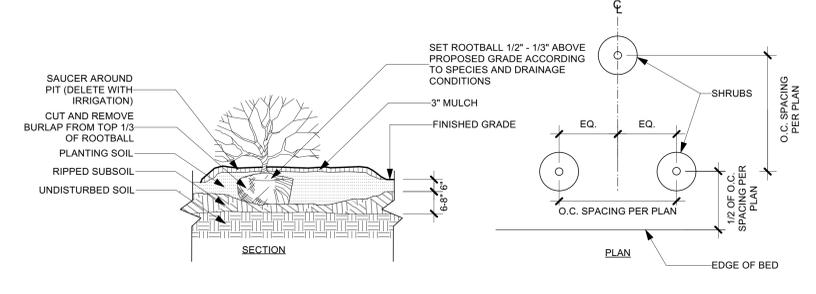
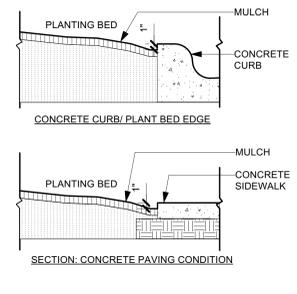
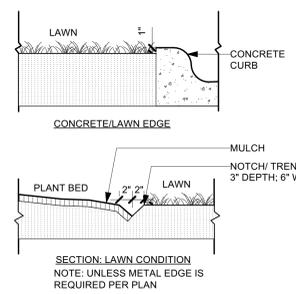
1 PLANTING PLAN
Scale: 1" = 20'-0"



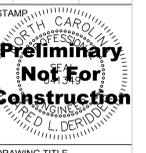
NO.	ISSUED FOR	DATE
1	SD-R-COURT DESIGN	09/06/2024
2	90% DD	12/09/2024
3	100% DD	02/21/2025
4	SITE PLAN	03/06/2025

STAMP
NOT FOR CONSTRUCTION

DRAWING TITLE
DETAILS
PROJECT #: 20220006.001
SHEET NUMBER
LC506



NO.	ISSUED FOR	DATE
1	50% D.D.	2-16-24
2	100% D.D.	5-17-24
3	50% C.D.	11-23-24
4	75% C.D.	12-20-24
5	90% CD GMP	02-07-25



DRAWING TITLE

STORMWATER PLAN

PROJECT #: 2022006.003

SHEET NUMBER

C-400

GENERAL STORMWATER NOTES:

- 1.) ALL STORMWATER PIPES SHALL BE HDPE WITH SMOOTH INTERIOR WALL, WITH BELL AND SPIGOT ENDS AND SOIL TIGHT JOINTS, UNLESS OTHERWISE NOTED ON PLANS.
- 2.) ALL PENETRATIONS INTO STORMWATER STRUCTURES SHALL BE REPAIRED PROPERLY INSIDE AND OUTSIDE WITH BRICK AND OR NON-SHRINK GROUT.
- 3.) GIVEN PIPE LENGTHS ARE BASED ON HORIZONTAL DISTANCES BETWEEN STORMWATER STRUCTURES. CONTRACTOR SHALL FACTOR IN SLOPES WHEN ORDERING PIPE AND ORDER ADDITIONAL LENGTH AS NECESSARY.
- 4.) ALL STORMWATER PIPES IN EXCESS OF 20% SLOPE SHALL BE KEYS.
- 5.) ALL ROOF LEADERS SHALL BE HDPE SMOOTH INTERIOR WALL (MAY BE PVC/SCH-40) WITH 1.0% MIN SLOPE UNLESS OTHERWISE NOTED ON PLANS.
- 6.) CONTRACTOR TO ENSURE THAT ALL EXISTING AND PROPOSED STORM DRAINAGE STRUCTURES, PIPES AND GRADES WILL PROVIDE POSITIVE DRAINAGE PRIOR TO INSTALLATION.
- 7.) ALL DRAINAGE STRUCTURES GREATER THAN 4' IN DEPTH SHALL HAVE ACCESS TO STEPS INSTALLED 16" ON CENTER.
- 8.) ALL PRECAST "WAFFLE BOX" STORM DRAINAGE STRUCTURES TO HAVE A MAXIMUM DEPTH OF 6'.
- 9.) SEE SHEET C-505 FOR STORMWATER PROFILES.

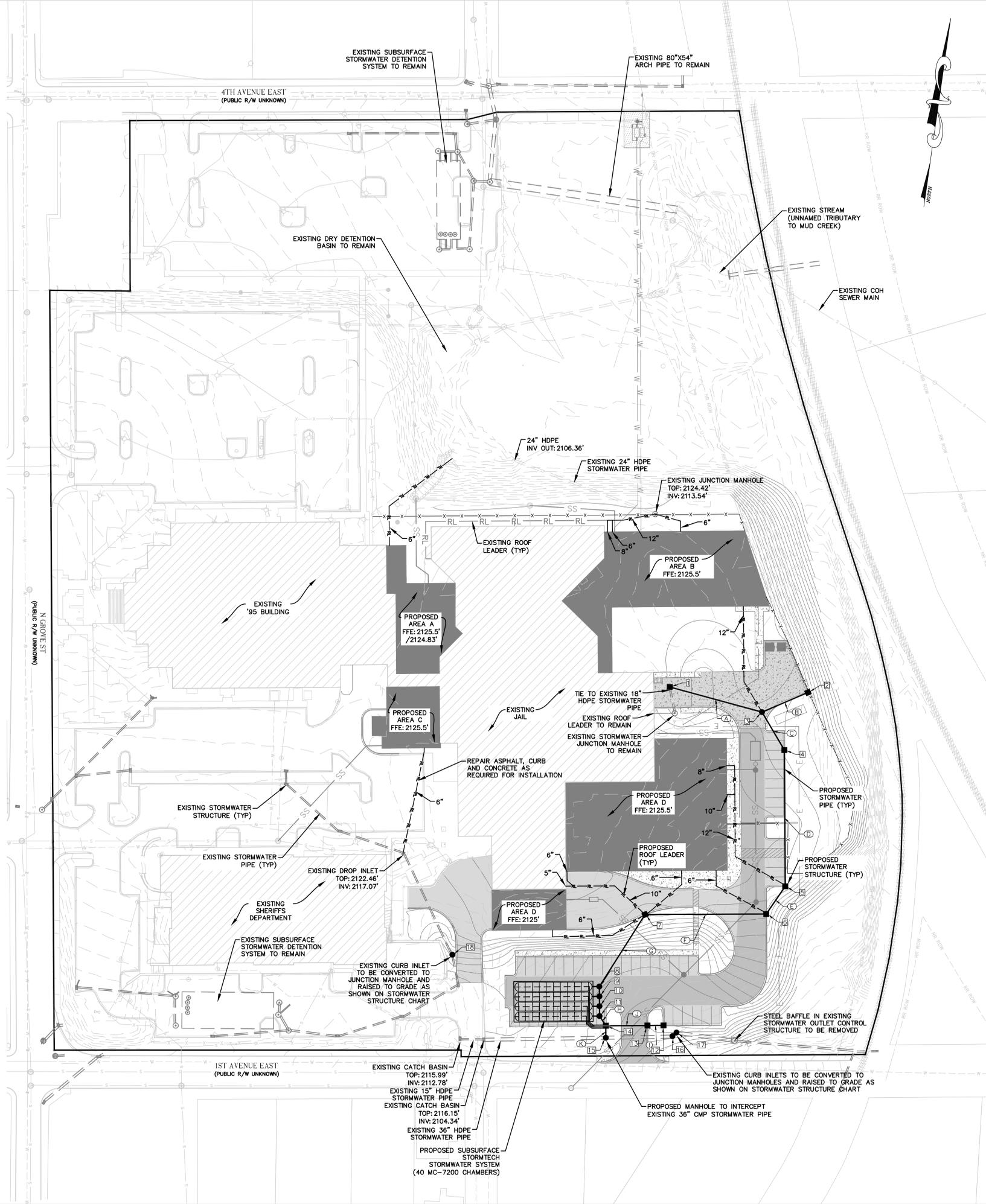
STORMWATER STRUCTURE TABLE					
STR. #	TOP ELEV (FT)	PIPE INVERT ELEV(S) (ft)	STRUCTURE INV. (ft)	DEPTH (ft)	TYPE
1	2121.00'	2116.00' (A)	2116.00'	5.00	DROP INLET
2	2123.35'	2117.49' (B)	2117.49'	5.86	CURB INLET
3	2123.86'	2115.10' (A) 2115.10' (B) 2115.10' (C)	2115.10'	8.76	JUNCTION MANHOLE
4	2123.34'	2114.69' (C) 2114.69' (D)	2114.69'	8.65	CURB INLET
5	2124.28'	2113.27' (D) 2113.27' (E)	2113.27'	11.00	CURB INLET
6	2123.22'	2113.08' (E) 2113.08' (F)	2113.08'	10.14	CURB INLET
7	2123.47'	2112.40' (F) 2112.40' (G)	2112.40'	11.07	CURB INLET
8	2115.09'	2110.71' (G)	2106.00'	9.09	JUNCTION MANHOLE
9	2114.87'		2106.00'	8.87	JUNCTION MANHOLE
10	2114.64'		2106.00'	8.64	JUNCTION MANHOLE
11	2114.42'	2106.00' (H)	2106.00'	8.42	JUNCTION MANHOLE
12	2113.34'	2108.20' (I)	2108.20'	5.14	CURB INLET
13	2112.90'	2108.11' (I) 2106.23' (J)	2106.23'	6.66	CURB INLET
14	2114.04'	2106.00' (H) 2106.00' (J) 2104.00' (K)	2104.00'	10.04	ICS/OCS
15	2114.38'	2103.19' (K)	2103.19'	11.19	JUNCTION MANHOLE
16	2112.34'		2102.25'	10.09	JUNCTION MANHOLE
17	2112.98'		2102.50'	10.48	JUNCTION MANHOLE
18	2120.62'		2112.61'	8.01	JUNCTION MANHOLE

STORMWATER PIPE TABLE				
PIPE	SIZE (IN)	MATERIAL	LENGTH (FT)	SLOPE
A	18	HDPE	89.76	1.00%
B	15	HDPE	46.92	5.09%
C	18	HDPE	41.61	1.00%
D	18	HDPE	129.00	1.10%
E	24	HDPE	31.72	0.60%
F	24	HDPE	113.57	0.60%
G	24	HDPE	80.55	2.10%
H	24	HDPE	10.90	0.00%
I	18	HDPE	15.03	0.60%
J	24	HDPE	39.00	0.60%
K	24	HDPE	11.35	7.14%

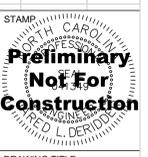
LEGEND

- EXISTING STORMWATER PIPE
- EXISTING STORMWATER STRUCTURE
- PROPOSED STORMWATER PIPE
- PROPOSED STORMWATER STRUCTURE
- PROPOSED ROOF LEADER

GRAPHIC SCALE



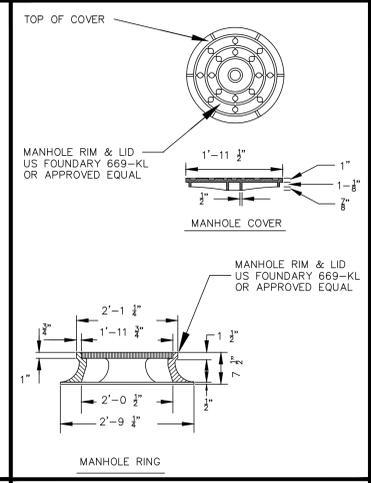
NO.	ISSUED FOR	DATE
1	50% D.D.	2-16-24
2	100% D.D.	5-17-24
3	50% C.D.	11-25-24
4	75% C.D.	12-20-24
5	90% CD GMP	02-07-25



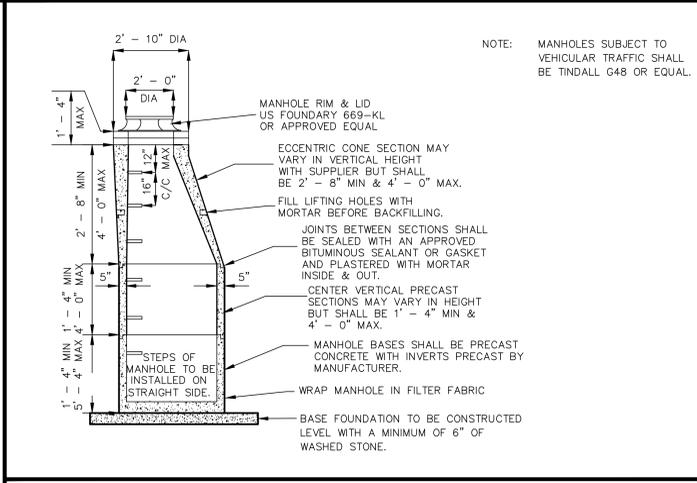
DRAWING TITLE
STORMWATER DETAILS

PROJECT # : 20220006.003
SHEET NUMBER

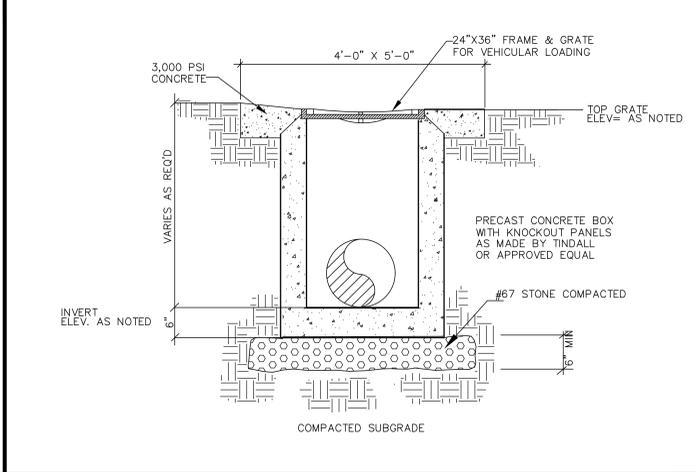
C-401



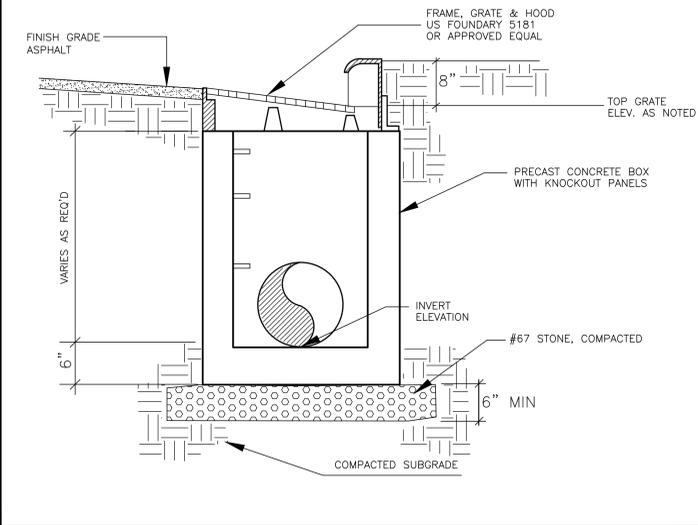
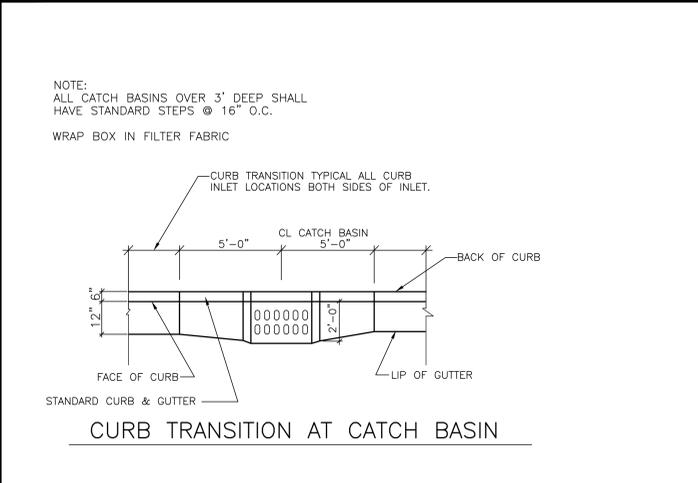
MANHOLE RING AND LID
12-21-22 NOT TO SCALE 4.13



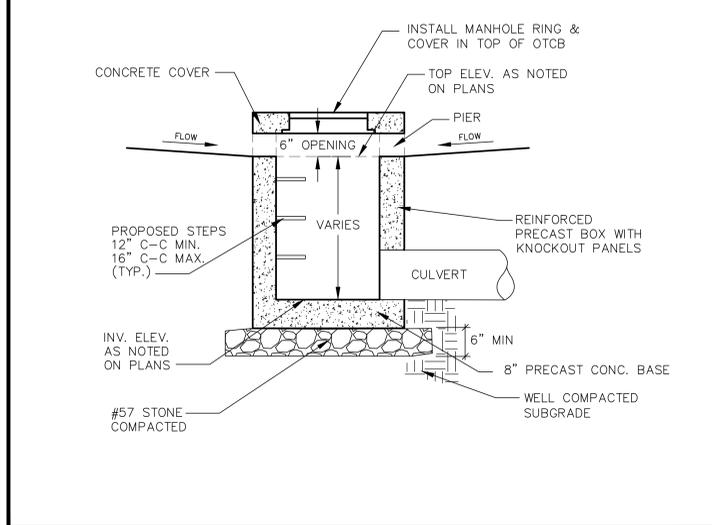
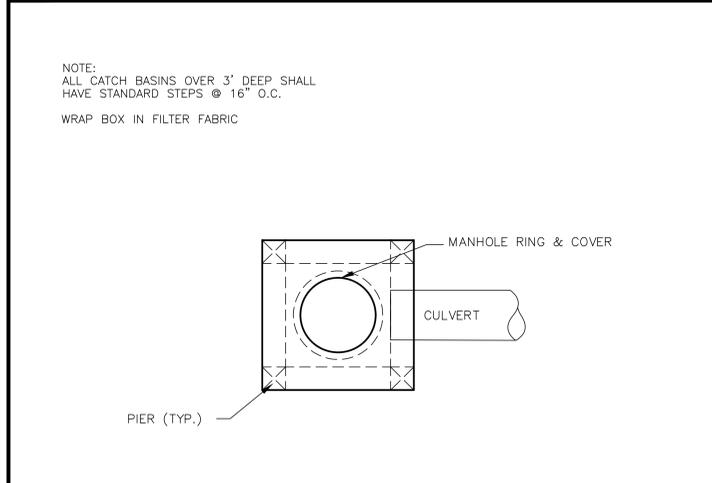
JUNCTION MANHOLE
12-21-2022 NOT TO SCALE 4.09



DROP INLET
12-21-2022 NOT TO SCALE 4.08



CATCH BASIN
12-21-2022 NOT TO SCALE 4.17

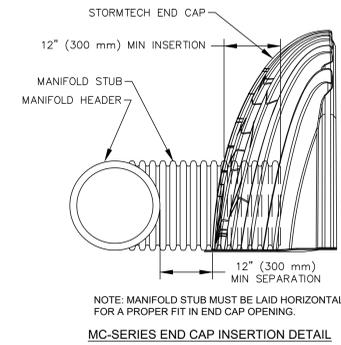
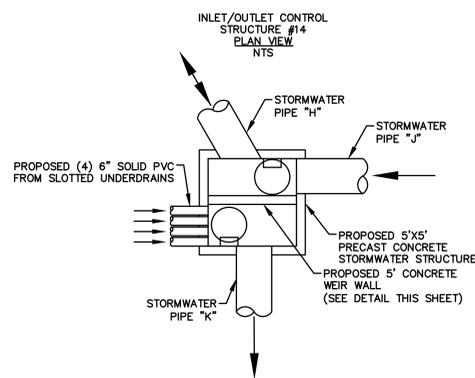
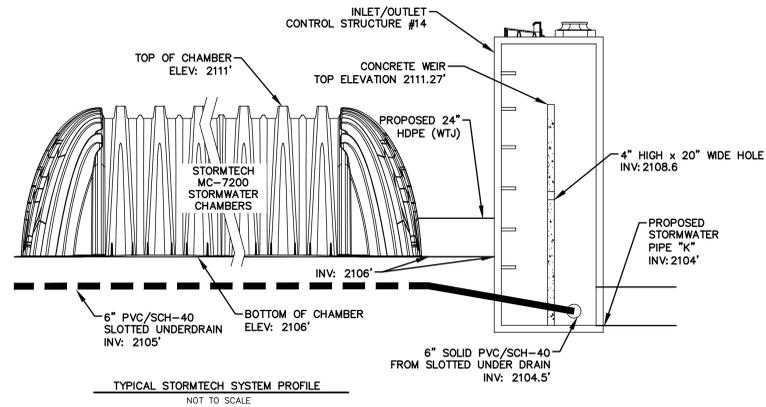


OPEN THROAT CATCH BASIN
1-3-23 NOT TO SCALE 4.18

NOTE:
ALL CATCH BASINS OVER 3' DEEP SHALL
HAVE STANDARD STEPS @ 16" O.C.
WRAP BOX IN FILTER FABRIC

NOTE:
ALL CATCH BASINS OVER 3' DEEP SHALL
HAVE STANDARD STEPS @ 16" O.C.
WRAP BOX IN FILTER FABRIC

NOTE: MANHOLES SUBJECT TO
VEHICULAR TRAFFIC SHALL
BE TINDALL G48 OR EQUAL.



MC-7200 STORMTECH CHAMBER SPECIFICATIONS

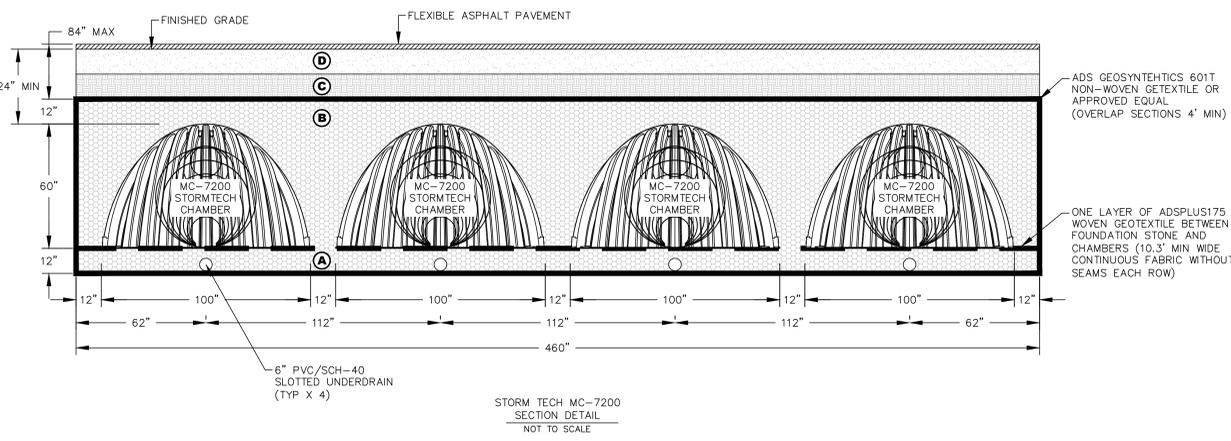
- CHAMBERS SHALL BE STORMTECH MC-7200.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16a, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 60x101.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 450 LBS/IN. THE ASC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418 AND b) CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
 - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
 - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
 - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF MC-7200 CHAMBER SYSTEM

- STORMTECH MC-7200 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S AND PROJECT ENGINEER'S REPRESENTATIVES HAVE COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR THE STORM TECH SYSTEM TO BE INSTALLED TO THE PROJECT ENGINEER PRIOR TO CONSTRUCTION.
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONESHOOTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM - 12" SPACING BETWEEN THE CHAMBER ROWS.
- INLET AND OUTLET MANIFOLDS MUST BE INSERTED A MINIMUM OF 12" (300 mm) INTO CHAMBER END CAPS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE MEETING THE AASHTO M43 DESIGNATION OF #3 OR #4.
- STONE MUST BE PLACED ON THE TOP CENTER OF THE CHAMBER TO ANCHOR THE CHAMBERS IN PLACE AND PRESERVE ROW SPACING.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR THE STORM TECH SYSTEM TO BE INSTALLED TO THE PROJECT ENGINEER PRIOR TO CONSTRUCTION.

NOTES FOR CONSTRUCTION EQUIPMENT

- STORMTECH MC-7200 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-7200 CONSTRUCTION GUIDE" AND ENGINEERS PLANS.
 - THE USE OF EQUIPMENT OVER MC-7200 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER Tired LOADER, DUMP TRUCK, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH MC-7200 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH MC-7200 CONSTRUCTION GUIDE".
 - FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING. USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY USING THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.
- CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

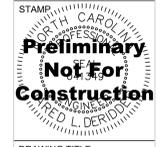


ACCEPTABLE FILL MATERIALS: STORMTECH MC-7200 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145' A-1, A-2.4, A-3 OR AASHTO M43' 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43' 3, 4	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43' 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

PLEASE NOTE:
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
 4. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

NO.	ISSUED FOR	DATE
1	50% D.D.	2-16-24
2	100% D.D.	5-17-24
3	50% C.D.	11-22-24
4	75% C.D.	12-20-24
5	90% CD GMP	02-07-25

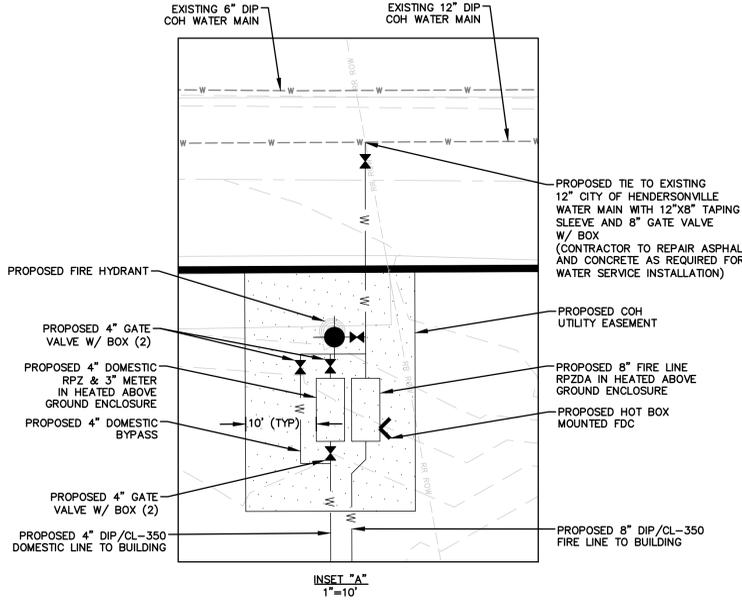
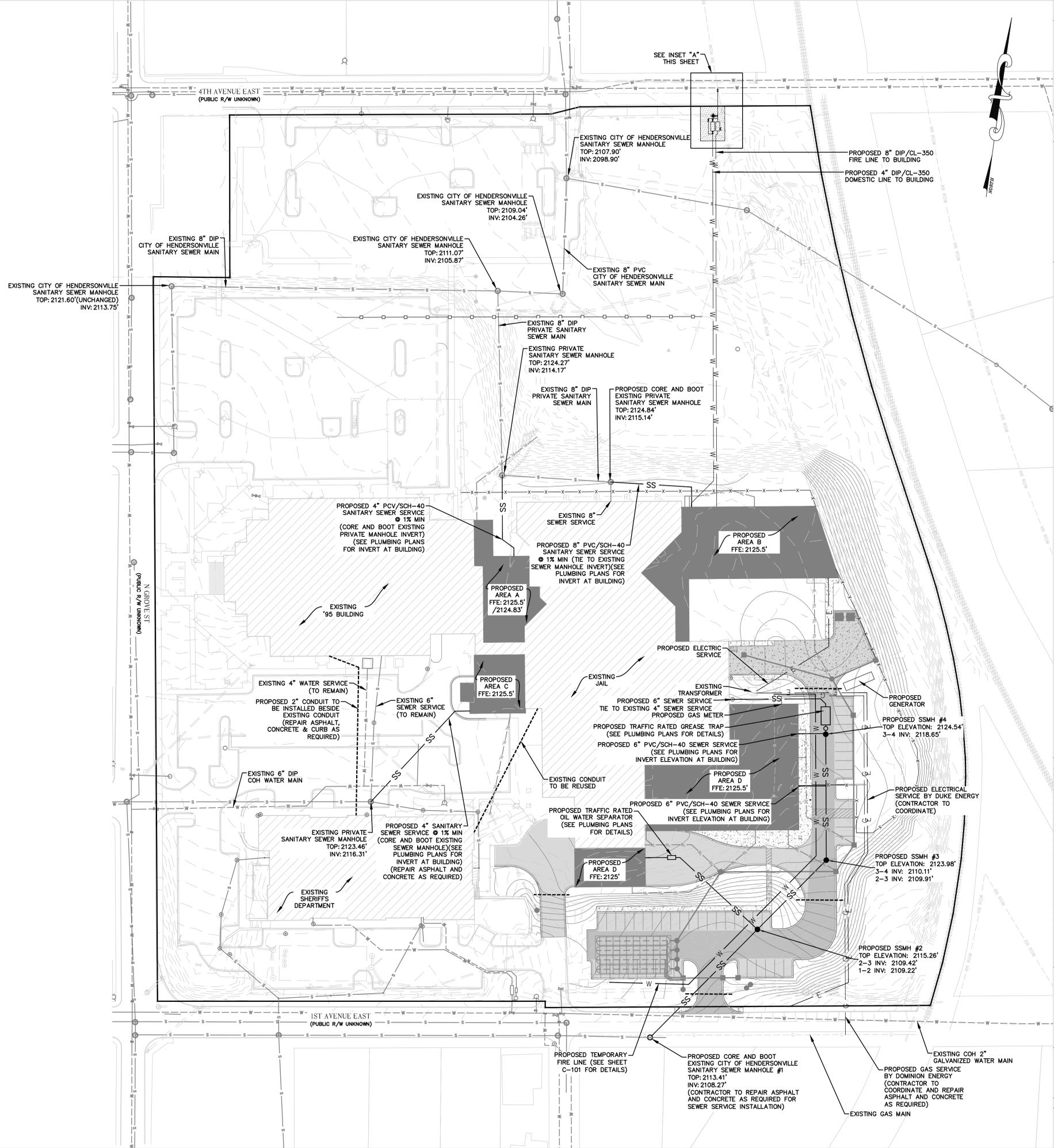


DRAWING TITLE
STORMWATER DETAILS

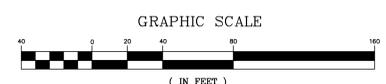
PROJECT # : 2022006.003
SHEET NUMBER

C-402

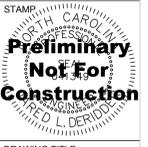
- NOTES:**
- 1.) ALL SANITARY SEWER WORK IS TO BE PERFORMED BY A LICENSED NORTH CAROLINA UTILITY CONTRACTOR.
 - 2.) CONTRACTOR SHALL USE DIP/CL-350 PIPING ON ALL SEWER LINES WHERE 3 FEET OVER COVER IS NOT PROVIDED.
 - 3.) FILL SHALL BE COMPACTED TO 95% STANDARD PROCTOR.
 - 4.) HORIZONTAL CONTROL IS NAD83, VERTICAL CONTROL IS NAD83.
 - 5.) CONTRACTOR SHALL VERIFY EXISTING UNDERGROUND UTILITY CROSSING ELEVATIONS PRIOR TO INSTALLATION OF WATER AND SEWER SERVICES.
 - 6.) CONTRACTOR SHALL COORDINATE THIS DRAWING WITH THE PLUMBING PLANS. AND DISCREPANCIES SHALL BE MADE KNOWN TO THE ENGINEER PRIOR TO INSTALLATION.
 - 7.) A MINIMUM OF 10 FT. HORIZONTAL AND 18" VERTICAL SEPARATION BETWEEN WATER AND SANITARY SEWER, AND HAZARDOUS WASTE LINES MUST BE MAINTAINED, WHERE THE SEWER LINE INSTALLATION DOES NOT CONFORM TO THIS REQUIREMENT OR HAVE A MINIMUM COVER OF 36" FROM THE GROUND SURFACE OR 24" VERTICAL SEPARATION FROM STORM DRAINAGE LINES - SEWER PIPE MUST BE OF A FERROUS MATERIAL. WATER IS TO BE INSTALLED OVER SEWER.
 - 8.) FOR 4" AND LARGER SANITARY SEWER SERVICES CLEANOUTS SHALL BE PLACED AT EVERY CHANGE OF DIRECTION WITH 100' MAXIMUM BETWEEN CLEANOUTS.
 - 9.) ALL UNDERGROUND LINES OUTSIDE THE BUILDING FOOTPRINT, EXCEPT LAWN IRRIGATION LINES, SHALL BE REQUIRED TO HAVE A WARNING TAPE INSTALLED IN THE BACKFILL BETWEEN 6" AND 24" BELOW FINISHED GRADE DIRECTLY OVER PIPING.
 - 9a.) METALLIC LINES SHALL BE IDENTIFIED WITH DURABLE PRINTED PLASTIC WARNING TAPES, MINIMUM 3" WIDE WITH LETTERING TO IDENTIFY BURIED LINE BELOW.
 - 9b.) NON-METALLIC PIPES, OTHER THAN GAS LINES, SHALL BE IDENTIFIED BY DETECTABLE WARNING TAPE, MINIMUM 2" WIDE, WITH LETTERING TO IDENTIFY BURIED LINE BELOW.
 - 9c.) FOR ALL PLASTIC SEWER PIPING, AN INSULATED COPPER TRACER WIRE OR OTHER APPROVED CONDUCTOR SHALL BE INSTALLED ADJACENT TO AND OVER THE FULL LENGTH OF THE PIPING. ACCESS SHALL BE PROVIDED TO THE TRACER WIRE OR THE TRACER WIRE SHALL TERMINATE AT THE CLEAN OUT CLOSEST TO THE BUILDING. THE TRACER WIRE SIZE SHALL NOT BE LESS THAN 14 AWG AND THE INSULATION TYPE SHALL BE LISTED FOR DIRECT BURIAL.
 - 9d.) AN INSULATED COPPER TRACER WIRE OR OTHER APPROVED CONDUCTOR SHALL BE INSTALLED ADJACENT TO UNDERGROUND NONMETALLIC PIPING. ACCESS SHALL BE PROVIDED TO THE TRACER WIRE OR THE TRACER WIRE SHALL TERMINATE ABOVE GROUND AT THE END OF THE NONMETALLIC PIPING. THE TRACER WIRE SIZE SHALL NOT BE LESS THAN 18 AWG AND THE INSULATION TYPE SUITABLE FOR DIRECT BURIAL.



- LEGEND**
- SS — EXISTING SEWER LINE
 - SS — PROPOSED SEWER LINE
 - W — EXISTING WATER LINE
 - W — PROPOSED WATER LINE
 - G — PROPOSED GAS LINE



NO.	ISSUED FOR	DATE
1	50% D.D.	2-16-24
2	100% D.D.	5-17-24
3	50% C.D.	11-23-24
4	75% C.D.	12-20-24
5	90% CD GMP	02-07-25



DRAWING TITLE
UTILITY SERVICE PLAN

PROJECT # 2022006.003
SHEET NUMBER

C-500

NO.	ISSUED FOR	DATE
1	50% D.D.	2-16-24
2	100% D.D.	5-17-24
3	50% C.D.	11-22-24
4	75% C.D.	12-20-24
5	90% CD GMP	02-07-25



DRAWING TITLE UTILITY SERVICE DETAILS

PROJECT #: 2022006.003

SHEET NUMBER

C-501

DATE: 06/10/2019 WD DWG. NO. 3
SCALE: NOT TO SCALE

City of Hendersonville Engineering Department
305 Williams Street
Hendersonville, NC 28792
(828) 697-3000 (office)
www.cityofhendersonville.org

7/7/2020 5:00:26 PM, Y:\Projects\2017\17004-KanugaWater\DWG

DATE: 01/12/2019 WD DWG. NO. 2
SCALE: NOT TO SCALE

City of Hendersonville Engineering Department
305 Williams Street
Hendersonville, NC 28792
(828) 697-3000 (office)
www.cityofhendersonville.org

7/7/2020 5:00:24 PM, Y:\Projects\2017\17004-KanugaWater\DWG

GENERAL NOTES:

- WATER CONSTRUCTION ON THIS SITE IS AUTHORIZED BY PERMITS ISSUED BY THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY (NCDEQ) SUPERVISED BY THE CITY OF HENDERSONVILLE. THE WORK IS SUBJECT TO INSPECTIONS AT ALL TIMES BY REPRESENTATIVES OF THE CITY OF HENDERSONVILLE. THE CONTRACTOR SHALL OBTAIN THE ENGINEER'S CERTIFICATION OF COMPLETION OF THE WATER SYSTEMS ENGINEER AND THE APPLICANT PRIOR TO ISSUANCE OF FINAL OPERATION APPROVAL.
- MATERIALS AND INSTALLATION FOR WATER CONSTRUCTION SHALL CONFORM TO THE LATEST EDITIONS OF CITY SPECIFICATIONS AND DETAILS AND ANMA STANDARDS AND REQUIREMENTS.
- CONTRACTOR SHALL NOTIFY NCEM11 & APPROPRIATE UTILITIES AGENCIES PRIOR TO PERFORMING ANY WORK.
- REGULAR WORKING HOURS SHALL BE FROM 7:00 AM TO 5:00 PM MONDAY THROUGH FRIDAY, EXCEPT IN CASES OF EMERGENCY OR OTHERWISE APPROVED IN WRITING BY THE CITY OF AUTHORIZED REPRESENTATIVES. THE CONTRACTOR SHALL PROVIDE SCHEDULED CONSTRUCTION SITE IS SAFE FOR ANY PERSONS WHO MAY BE ON SITE DURING NON-WORKING HOURS.
- ALL PERSONS SHALL BE COURTEOUS AND RESPECTFUL TO THE PUBLIC. CURSING OR SWEARING IS NOT PERMITTED AND WILL NOT BE TOLERATED.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL ON ALL ROADWAYS DURING THE PROJECT. THE CONTRACTOR SHALL NOTIFY LOCAL EMERGENCY, SCHOOL AND OTHER NECESSARY AGENCIES PRIOR TO STREET CLOSING OR TRAFFIC CHANGE.
- THE CONTRACTOR AT HIS OWN EXPENSE SHALL KEEP THE CONSTRUCTION SITE AND ADJACENT PUBLIC AND PRIVATE ROADWAYS CLEAR DURING THE PROJECT. THE CONTRACTOR IS ALSO RESPONSIBLE FOR CONTROLLING DUST WITHIN THE PROJECT AREA.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION IN ACCORDANCE WITH THE LINES, GRADES AND ELEVATIONS SHOWN ON THE PLANS OR AS GIVEN BY THE ENGINEER IN THE FIELD.
- CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND THE ELEVATION FOR ALL UTILITIES, BRANCHES AND OTHER UNDERGROUND FACILITIES BOTH EXISTING AND PROPOSED, AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT EXISTING UTILITIES DURING CONSTRUCTION. REPAIRS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE STANDARDS OF APPROPRIATE AGENCIES AT THE CONTRACTOR'S EXPENSE.
- DURING CONSTRUCTION THE CONTRACTOR SHALL MAINTAIN THE OPERATION OF EXISTING UTILITIES WITH THE LEAST AMOUNT OF SERVICE INTERRUPTION POSSIBLE IN COORDINATION WITH THE CITY OF HENDERSONVILLE. CONSTRUCTION SCHEDULE, PLANS AND WORK SHALL BE SUBJECT TO ALTERATION AND REVISION IF NECESSARY FOR THESE CONSIDERATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TEMPORARY OR PERMANENT RELOCATION OF STRUCTURES AND UTILITIES, INCLUDING BUT NOT LIMITED TO POLES, SIGNS, FENCES, HYDRANT VALVES, PIPING, CONDUITS AND DRAINS THAT INTERFERE WITH THE POSITIONING OF THE WORK AS SHOWN ON THE DRAWINGS.
- CONTRACTOR SHALL BE REQUIRED TO CONFORM AND COMPLY WITH ALL RESTRICTIONS AND EASEMENT CONDITIONS AND IS RESPONSIBLE FOR ALL RELATED INCIDENTAL COSTS INVOLVED.
- EXISTING WATER SERVICES SHALL BE REPLACED TO THE EXISTING WATER UNLESS OTHERWISE APPROVED IN WRITING BY THE CITY. SLOPING OF THE WATER SERVICE ON THE DOWNSTREAM SIDE OF THE METER IS NOT PERMITTED.
- ALL DISTURBED AREAS, INCLUDING BUT NOT LIMITED TO ASPHALT, CONCRETE DRIVEWAYS, ROADS, LANDSCAPING, SHALL BE REPAIRED TO EQUAL OR BETTER CONDITION THAN THE ORIGINAL STATE AND LANDSCAPING SHALL BE REPLACED WITH THE SAME SPECIES AND PLANTING AS SOON AS WATERLINE CONSTRUCTION ALLOWS. ADEQUATE SEEDING AND SOIL SHALL THEN BE APPLIED TO THE DISTURBED TRENCH AREA. ADDITIONAL FILL AND SITE RESTORATION MAY BE REQUIRED WITHIN THE WARRANTY PERIOD AT THE CITY'S DISCRETION.
- CONTRACTOR SHALL PROVIDE EROSION CONTROL DEVICES TO CONTROL RUNOFF AS REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR ANY FINES THAT MAY BE LEVIED DUE TO RUNOFF FROM CONSTRUCTION.
- IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO FOLLOW ALL APPLICABLE FEDERAL, STATE AND LOCAL HEALTH AND SAFETY REGULATIONS PERTAINING TO CONSTRUCTION OPERATIONS.
- ALL WATER MAINS SHALL HAVE 3 FEET MINIMUM COVER.
- INSTALL FERROUS PIPING FOR BOTH WATER AND SEWER WITHIN 10 FT. OF A CROSSING.
- SEWER LINE CROSSES OVER WATER. SEE 19.2.
- VERTICAL CLEARANCE BETWEEN WATER AND SEWER IS LESS THAN 18 INCHES.
- MINIMUM 10 FEET HORIZONTAL SEPARATION BETWEEN SEWER AND WATER MAINS UNLESS LAD IN SEPARATE TRENCHES WITH THE BOTTOM OF THE WATER LINE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER LINE OR USE FERROUS MATERIAL FOR BOTH WATER AND SEWER.

DISCLAIMER:
THE STANDARD WATER DETAILS ARE FOR THE SOLE USE OF PROJECTS DIRECTLY FOR, OR THOSE PROJECTS IN WHICH OWNERSHIP WILL BE TRANSFERRED TO THE CITY OF HENDERSONVILLE. THESE TYPICALS ARE INTENDED TO SHOW THE CITY OF HENDERSONVILLE'S EXPECTATIONS FOR THE GENERAL LAYOUT, ARRANGEMENT AND MATERIALS FOR WATER DISTRIBUTION SYSTEM ITEMS AND THEIR RELATED APPURTENANCES. IT REMAINS THE SOLE RESPONSIBILITY OF THE ENGINEER IN RESPONSIBLE CHARGE (ERIC) OF EACH APPLICATION TO DETERMINE, DESIGN TO, AND VERIFY TO THE DESIGN PARAMETERS FOR EACH INSTALLATION. ERIC MUST ALSO ENSURE THE DESIGN WITH THE MINIMUM DESIGN CRITERIA OF HIS DIVISION OF ENVIRONMENTAL QUALITY AND ALL LOCAL AND STATE LAWS AND REGULATIONS.

DATE: 02/10/2021 WD DWG. NO. 1
SCALE: NOT TO SCALE

City of Hendersonville Engineering Department
305 Williams Street
Hendersonville, NC 28792
(828) 697-3000 (office)
www.cityofhendersonville.org

H:\DETAILS-Current Standard Details\Water Only\Updated_Water_Details-Bulletin021021.dwg, 2/22/2021 4:53:37 PM

DATE: 10/11/2021 WD DWG. NO. 5
SCALE: NOT TO SCALE

City of Hendersonville Engineering Department
305 Williams Street
Hendersonville, NC 28792
(828) 697-3000 (office)
www.cityofhendersonville.org

H:\DETAILS-Current Standard Details\Water Only\Updated_Water_Details-Bulletin102121.dwg, 10/11/2021 1:42:17 PM

DATE: 01/12/2019 WD DWG. NO. 4-2
SCALE: NOT TO SCALE

City of Hendersonville Engineering Department
305 Williams Street
Hendersonville, NC 28792
(828) 697-3000 (office)
www.cityofhendersonville.org

7/7/2020 5:00:29 PM, Y:\Projects\2017\17004-KanugaWater\DWG

DATE: 07/07/2019 WD DWG. NO. 4-1
SCALE: NOT TO SCALE

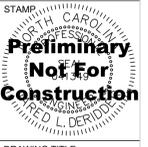
City of Hendersonville Engineering Department
305 Williams Street
Hendersonville, NC 28792
(828) 697-3000 (office)
www.cityofhendersonville.org

7/7/2020 5:00:27 PM, Y:\Projects\2017\17004-KanugaWater\DWG

LR (MIN. LENGTH OF RESTRAINT EACH DIRECTION OF THRUST IN LINEAR FEET)
Based on 200 psig pressure, Safety Factor of 2.0:1, BARE DI PIPE AND ML SOIL, 3.5" cover
Chart does not apply to pipes wrapped in polyethylene wrap

PIPE SIZE	VALVES DEAD ENDS TEES	90° ELBOWS	45° ELBOW & CROSSES	22-1/2" ELBOWS	REDUCER
6"	55'	31'	13'	7'	8"x2" 67'
8"	72'	40'	17'	8'	8"x6" 30'
12"	102'	57'	24'	12'	12"x8" 54'
16"	130'	72'	30'	15'	16"x8" 95'

NO.	ISSUED FOR	DATE
1	50% D.D.	2-16-24
2	100% D.D.	5-17-24
3	50% C.D.	11-22-24
4	75% C.D.	12-20-24
5	90% CD GMP	02-07-25

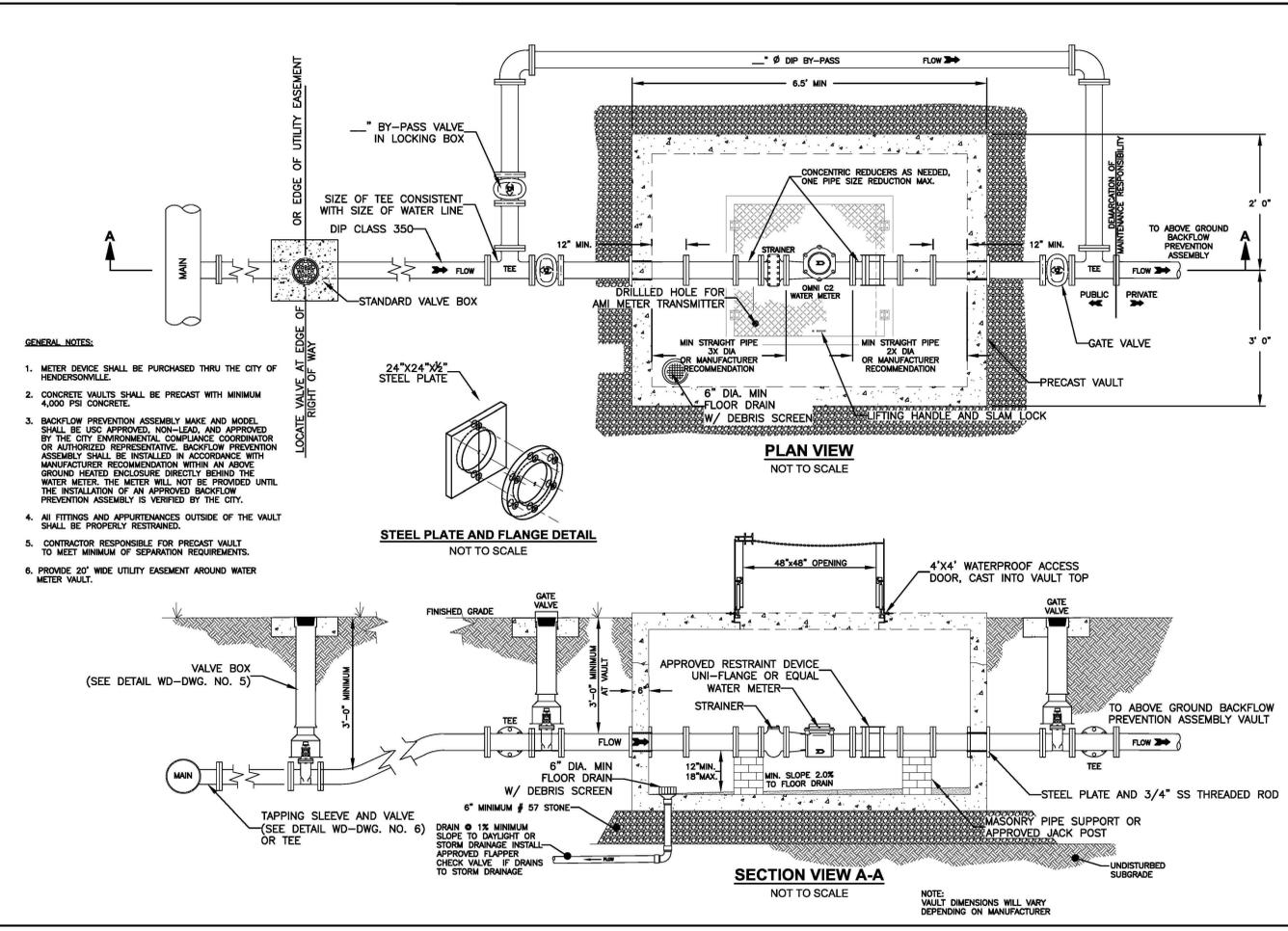
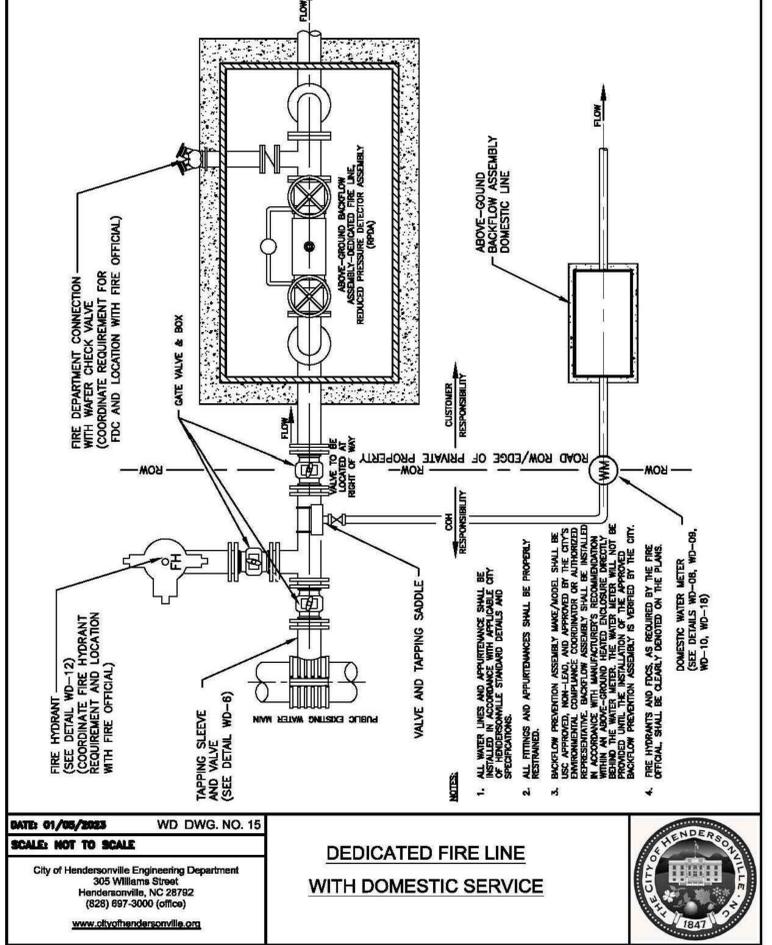
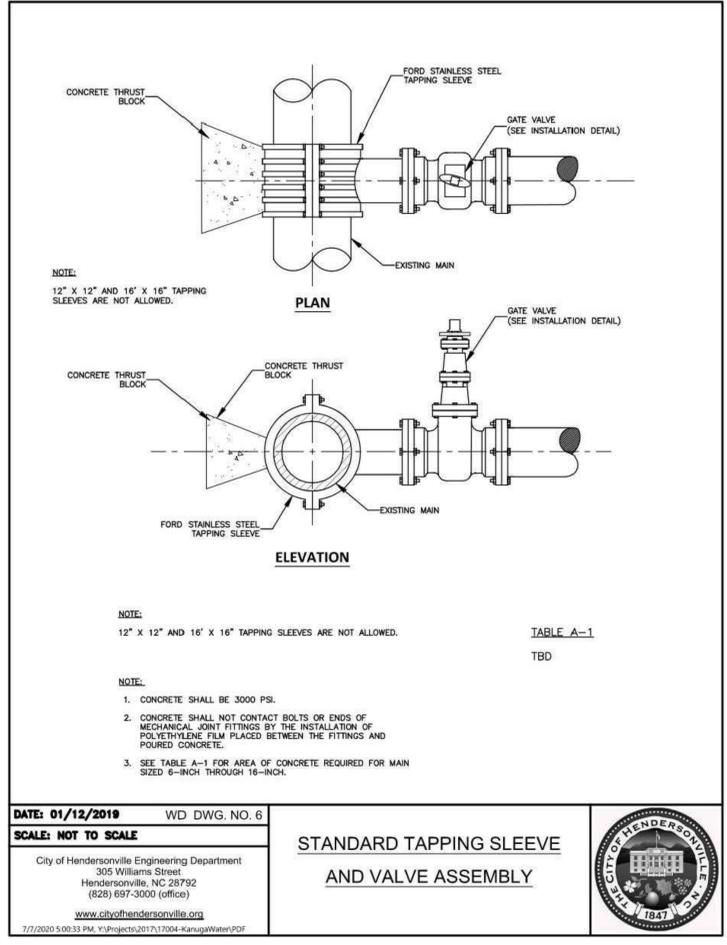


DRAWING TITLE UTILITY SERVICE DETAILS

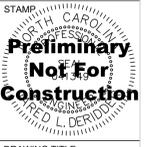
PROJECT #: 2022006.003

SHEET NUMBER

C-502



NO.	ISSUED FOR	DATE
1	50% D.D.	2-16-24
2	100% D.D.	5-17-24
3	50% C.D.	11-22-24
4	75% C.D.	12-20-24
5	90% CD GMP	02-07-25



STAMP

Preliminary Not For Construction

DRAWING TITLE UTILITY SERVICE DETAILS

PROJECT # 2022006.003 SHEET NUMBER

C-503

STANDARD SERVICE CONNECTION LATERAL AND CLEANOUT

DATE: 01/12/2019 SS-D DWG. NO. 4
SCALE: NOT TO SCALE

City of Hendersonville Engineering Department
305 Williams Street
Hendersonville, NC 28792
(828) 697-3000 (office)
www.cityofhendersonville.org

H:\DETAILS-Current Standard Details\Sewer Only\COH-SEWER-DETAILS-92420.dwg, 9/24/2020 1:50:49 PM, H:\Civil-3D-Projects\18017 - Ashe and 4th Ave Improvements\Working\18017SeventhAveAshe

GRAVITY SEWER TRENCH CONSTRUCTION UNDER PAVEMENT

DATE: 05/14/2019 SS-D DWG. NO. 2
SCALE: NOT TO SCALE

City of Hendersonville Engineering Department
305 Williams Street
Hendersonville, NC 28792
(828) 697-3000 (office)
www.cityofhendersonville.org

H:\DETAILS-Current Standard Details\Sewer Only\COH-SEWER-DETAILS-92420.dwg, 9/24/2020 1:50:48 PM, H:\Civil-3D-Projects\18017 - Ashe and 4th Ave Improvements\Working\18017SeventhAveAshe

GRAVITY SEWER TRENCH CONSTRUCTION OUTSIDE PAVEMENT

DATE: 06/19/2019 SS-D DWG. NO. 1
SCALE: NOT TO SCALE

City of Hendersonville Engineering Department
305 Williams Street
Hendersonville, NC 28792
(828) 697-3000 (office)
www.cityofhendersonville.org

H:\DETAILS-Current Standard Details\Sewer Only\COH-SEWER-DETAILS-92420.dwg, 9/24/2020 1:50:47 PM, H:\Civil-3D-Projects\18017 - Ashe and 4th Ave Improvements\Working\18017SeventhAveAshe

ASPHALT OR CONCRETE DRIVEWAY AND WALKWAY

DATE: 01/12/2019 SS-D DWG. NO. 18
SCALE: NOT TO SCALE

City of Hendersonville Engineering Department
305 Williams Street
Hendersonville, NC 28792
(828) 697-3000 (office)
www.cityofhendersonville.org

H:\DETAILS-Current Standard Details\Sewer Only\COH-SEWER-DETAILS-92420.dwg, 9/24/2020 1:51:06 PM, H:\Civil-3D-Projects\18017 - Ashe and 4th Ave Improvements\Working\18017SeventhAveAshe

ASPHALT CONCRETE REPLACEMENT

DATE: 01/12/2019 SS-D DWG. NO. 17
SCALE: NOT TO SCALE

City of Hendersonville Engineering Department
305 Williams Street
Hendersonville, NC 28792
(828) 697-3000 (office)
www.cityofhendersonville.org

H:\DETAILS-Current Standard Details\Sewer Only\COH-SEWER-DETAILS-92420.dwg, 9/24/2020 1:51:05 PM, H:\Civil-3D-Projects\18017 - Ashe and 4th Ave Improvements\Working\18017SeventhAveAshe

SERVICE CONNECTIONS AT MANHOLES

DATE: 01/12/2019 SS-D DWG. NO. 5
SCALE: NOT TO SCALE

City of Hendersonville Engineering Department
305 Williams Street
Hendersonville, NC 28792
(828) 697-3000 (office)
www.cityofhendersonville.org

H:\DETAILS-Current Standard Details\Sewer Only\COH-SEWER-DETAILS-92420.dwg, 9/24/2020 1:50:50 PM, H:\Civil-3D-Projects\18017 - Ashe and 4th Ave Improvements\Working\18017SeventhAveAshe

NO.	ISSUED FOR	DATE
1	50% D.D.	2-16-24
2	100% D.D.	5-17-24
3	50% C.D.	11-22-24
4	75% C.D.	12-20-24
5	90% CD GMP	02-07-25

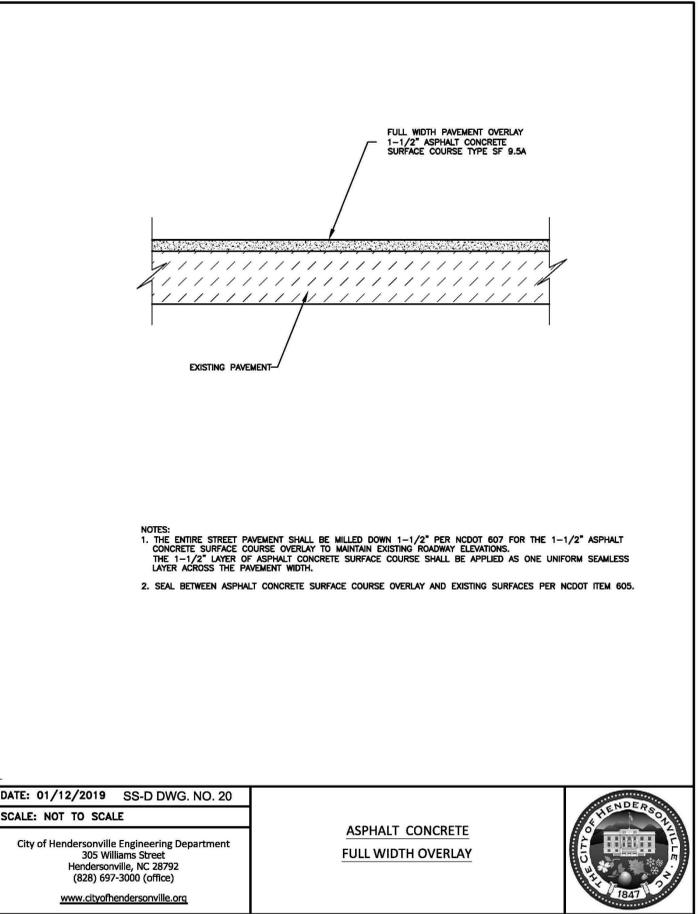


DRAWING TITLE
UTILITY SERVICE DETAILS

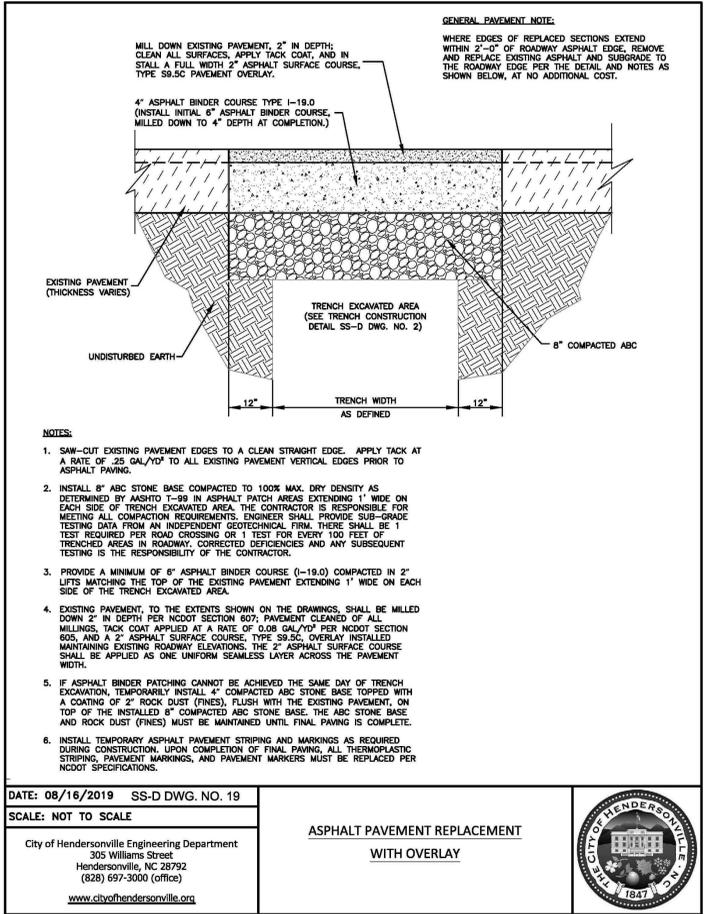
PROJECT #: 2022006.003

SHEET NUMBER

C-504

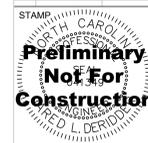


H:\DETAILS-Current Standard Details\Sewer Only\COH-SEWER-DETAILS-92420.dwg, 9/24/2020 1:51:08 PM, H:\CIVIL-3D-Projects\18017 - Ashe and 4th Ave Improvement\Working\18017SeventhAve\Ashe



H:\DETAILS-Current Standard Details\Sewer Only\COH-SEWER-DETAILS-92420.dwg, 9/24/2020 1:51:07 PM, H:\CIVIL-3D-Projects\18017 - Ashe and 4th Ave Improvement\Working\18017SeventhAve\Ashe

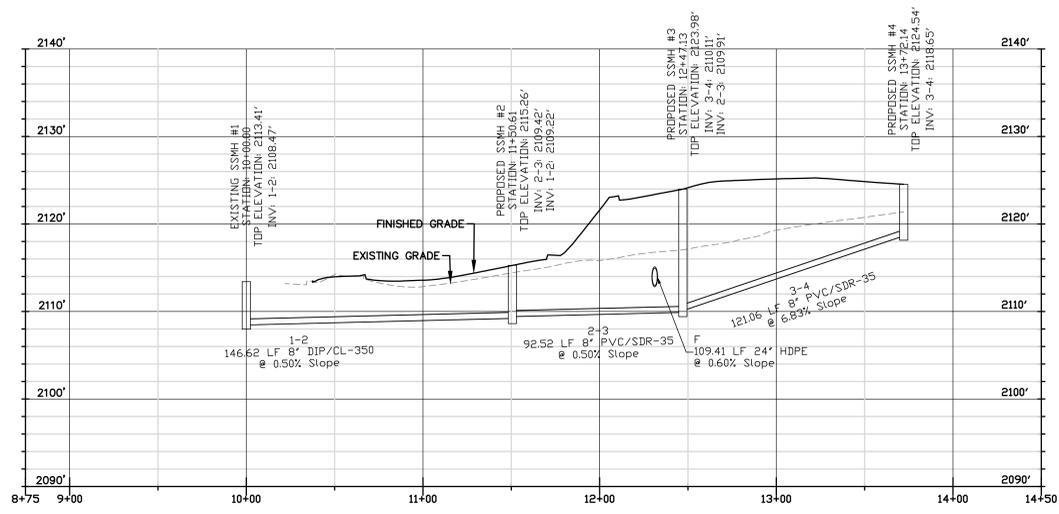
NO.	ISSUED FOR	DATE
1	50% D.D.	2-16-24
2	100% D.D.	5-17-24
3	50% C.D.	11-22-24
4	75% C.D.	12-20-24
5	90% CD GMP	02-07-25



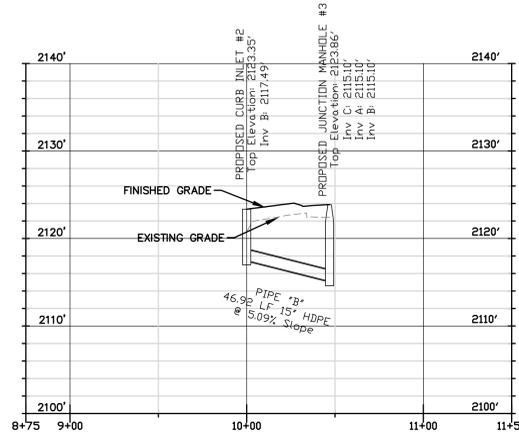
DRAWING TITLE
UTILITY PROFILES

PROJECT #: 2022006.003
SHEET NUMBER

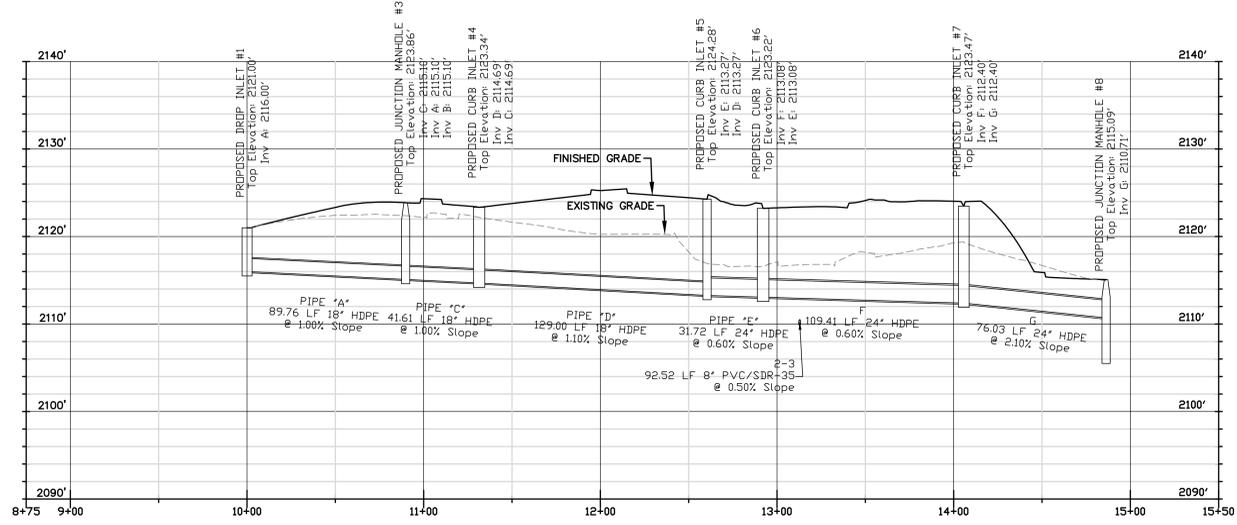
C-505



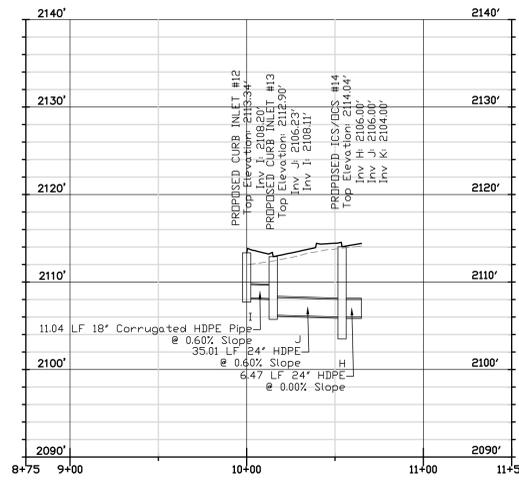
Profile View of SEWER A
Horizontal Scale: 1"=40' Vertical Scale: 1"=8'



Profile View of STORMWATER A3
Horizontal Scale: 1"=40' Vertical Scale: 1"=8'



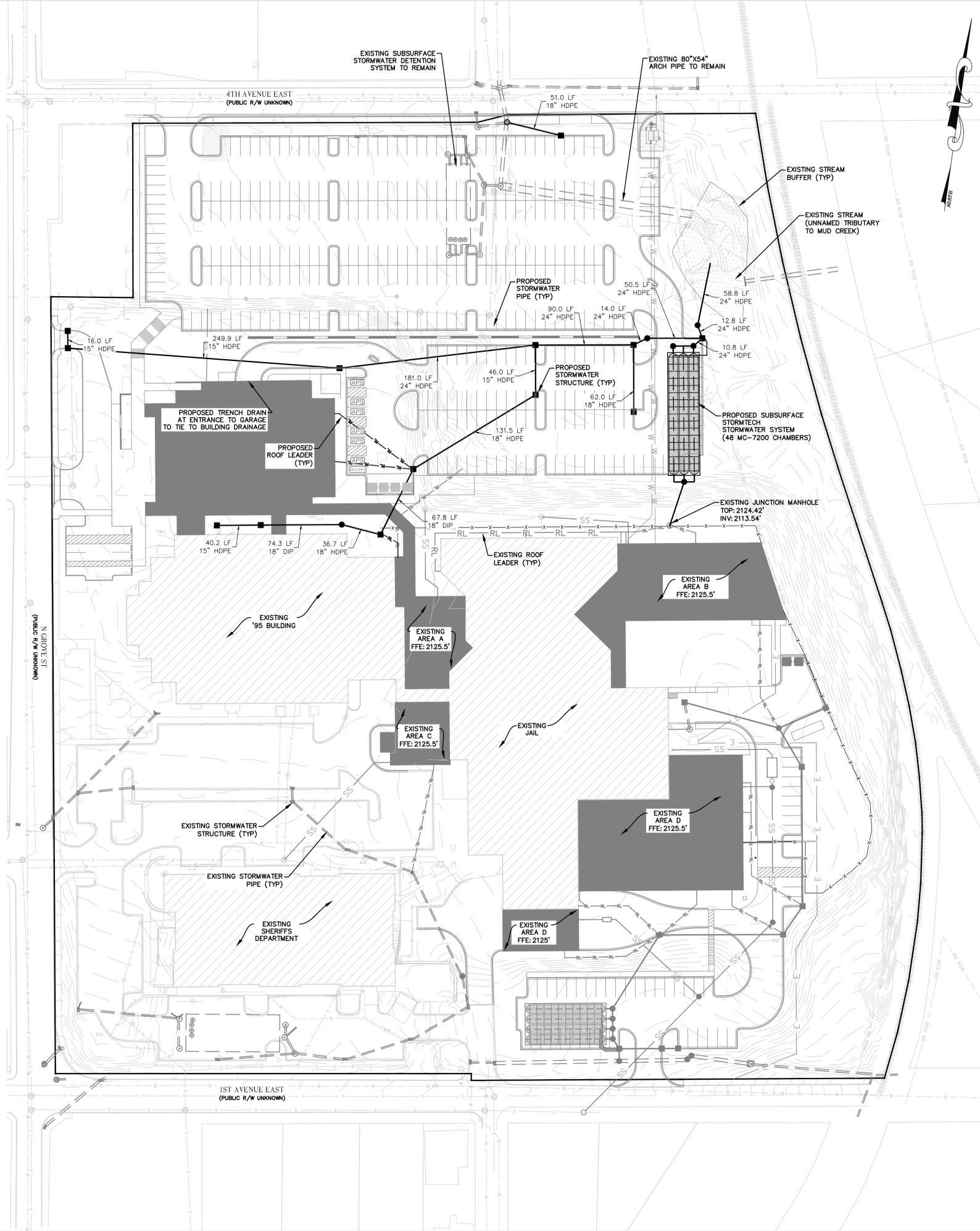
Profile View of STORMWATER A1
Horizontal Scale: 1"=40' Vertical Scale: 1"=8'



Profile View of STORMWATER A2
Horizontal Scale: 1"=40' Vertical Scale: 1"=8'

GENERAL STORMWATER NOTES:

- 1.) ALL STORMWATER PIPES SHALL BE HDPE WITH SMOOTH INTERIOR WALL, WITH BELL AND SPIGOT ENDS AND SOIL TIGHT JOINTS, UNLESS OTHERWISE NOTED ON PLANS.
- 2.) ALL PENETRATIONS INTO STORMWATER STRUCTURES SHALL BE REPAIRED PROPERLY INSIDE AND OUTSIDE WITH BRICK AND OR NON-SHRINK GROUT.
- 3.) GIVEN PIPE LENGTHS ARE BASED ON HORIZONTAL DISTANCES BETWEEN STORMWATER STRUCTURES. CONTRACTOR SHALL FACTOR IN SLOPES WHEN ORDERING PIPE AND ORDER ADDITIONAL LENGTH AS NECESSARY.
- 4.) ALL STORMWATER PIPES IN EXCESS OF 20% SLOPE SHALL BE KEYPED.
- 5.) ALL ROOF LEADERS SHALL BE HDPE SMOOTH INTERIOR WALL (MAY BE PVC/SCH-40) WITH 1.0% MIN SLOPE UNLESS OTHERWISE NOTED ON PLANS.
- 6.) CONTRACTOR TO ENSURE THAT ALL EXISTING AND PROPOSED STORM DRAINAGE STRUCTURES, PIPES AND GRADES WILL PROVIDE POSITIVE DRAINAGE PRIOR TO INSTALLATION.
- 7.) ALL DRAINAGE STRUCTURES GREATER THAN 4' IN DEPTH SHALL HAVE ACCESS TO STEPS INSTALLED 16" ON CENTER.
- 8.) ALL PRECAST "WAFFLE BOX" STORM DRAINAGE STRUCTURES TO HAVE A MAXIMUM DEPTH OF 6'.



LEGEND

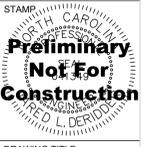
- EXISTING STORMWATER PIPE
- EXISTING STORMWATER STRUCTURE
- PROPOSED STORMWATER PIPE
- PROPOSED STORMWATER STRUCTURE
- PROPOSED ROOF LEADER

GRAPHIC SCALE



3/8/2023 3:27:46 PM Autodesk Docs/Henderson County Courts/JC_Coll_A031.rvt

NO.	ISSUED FOR	DATE
1	SCHEMATIC DESIGN	4/28/2023
2	SD - R COURTS	5/26/2024
3	SD COURTS	1/21/2025

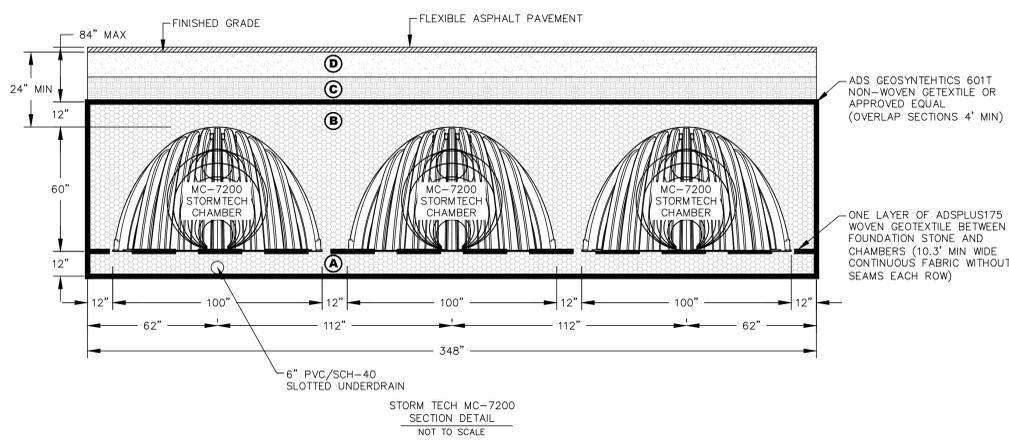
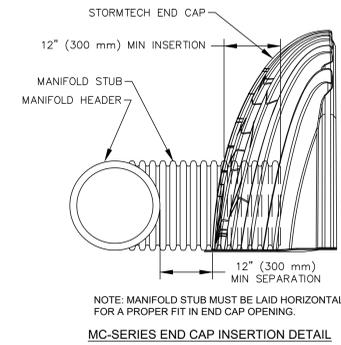
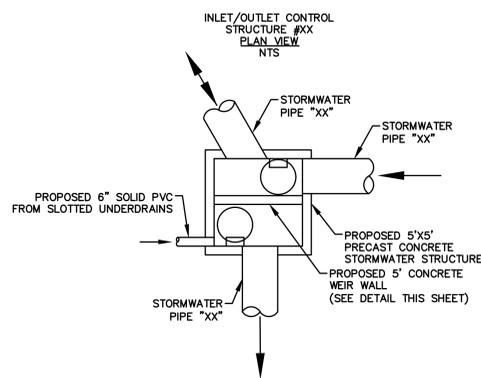
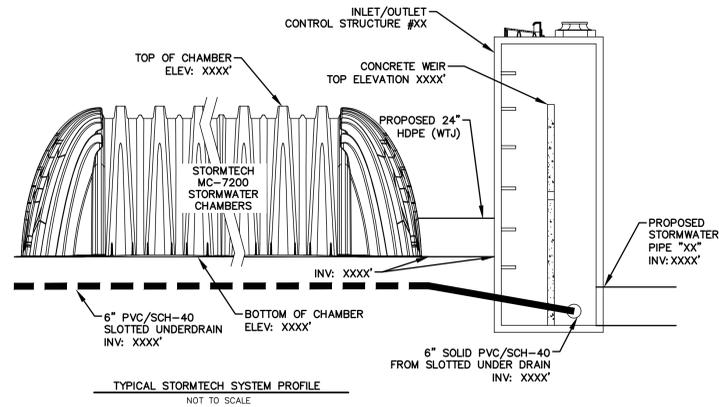


DRAWING TITLE: STORMWATER PLAN

PROJECT #: 2022006.003

SHEET NUMBER

CC-400



ACCEPTABLE FILL MATERIALS: STORMTECH MC-7200 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ¹ 3, 4	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ¹ 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

PLEASE NOTE:
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
 4. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

MC-7200 STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH MC-7200.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16a, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 60x101.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 450 LBS/IN. THE ASC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418 AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
 - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
 - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
 - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

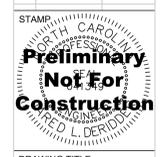
IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF MC-7200 CHAMBER SYSTEM

- STORMTECH MC-7200 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S AND PROJECT ENGINEER'S REPRESENTATIVES HAVE COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR THE STORMTECH SYSTEM TO BE INSTALLED TO THE PROJECT ENGINEER PRIOR TO CONSTRUCTION.
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONE SHOOTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM 12" SPACING BETWEEN THE CHAMBER ROWS.
- INLET AND OUTLET MANIFOLDS MUST BE INSERTED A MINIMUM OF 12" (300 mm) INTO CHAMBER END CAPS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE MEETING THE AASHTO M43 DESIGNATION OF #3 OR #4.
- STONE MUST BE PLACED ON THE TOP CENTER OF THE CHAMBER TO ANCHOR THE CHAMBERS IN PLACE AND PRESERVE ROW SPACING.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR THE STORMTECH SYSTEM TO BE INSTALLED TO THE PROJECT ENGINEER PRIOR TO CONSTRUCTION.

NOTES FOR CONSTRUCTION EQUIPMENT

- STORMTECH MC-7200 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-7200 CONSTRUCTION GUIDE" AND ENGINEERS PLANS.
 - THE USE OF EQUIPMENT OVER MC-7200 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER Tired LOADER, DUMP TRUCK, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH MC-7200 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH MC-7200 CONSTRUCTION GUIDE".
 - FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING. USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY USING THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.
- CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

NO.	ISSUED FOR	DATE
1	SCHEMATIC DESIGN	4/28/2023
2	SD-R COURTS	5/26/2024
3	SD COURTS	1/27/2025



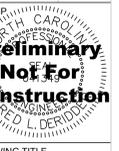
DRAWING TITLE
STORMWATER DETAILS

PROJECT # : 20220006.003

SHEET NUMBER

CC-402

NO.	ISSUED FOR	DATE
1	SCHEMATIC DESIGN	4/28/2023
2	SD-R COURTS	5/28/2024
3	SD COURTS	1/21/2025



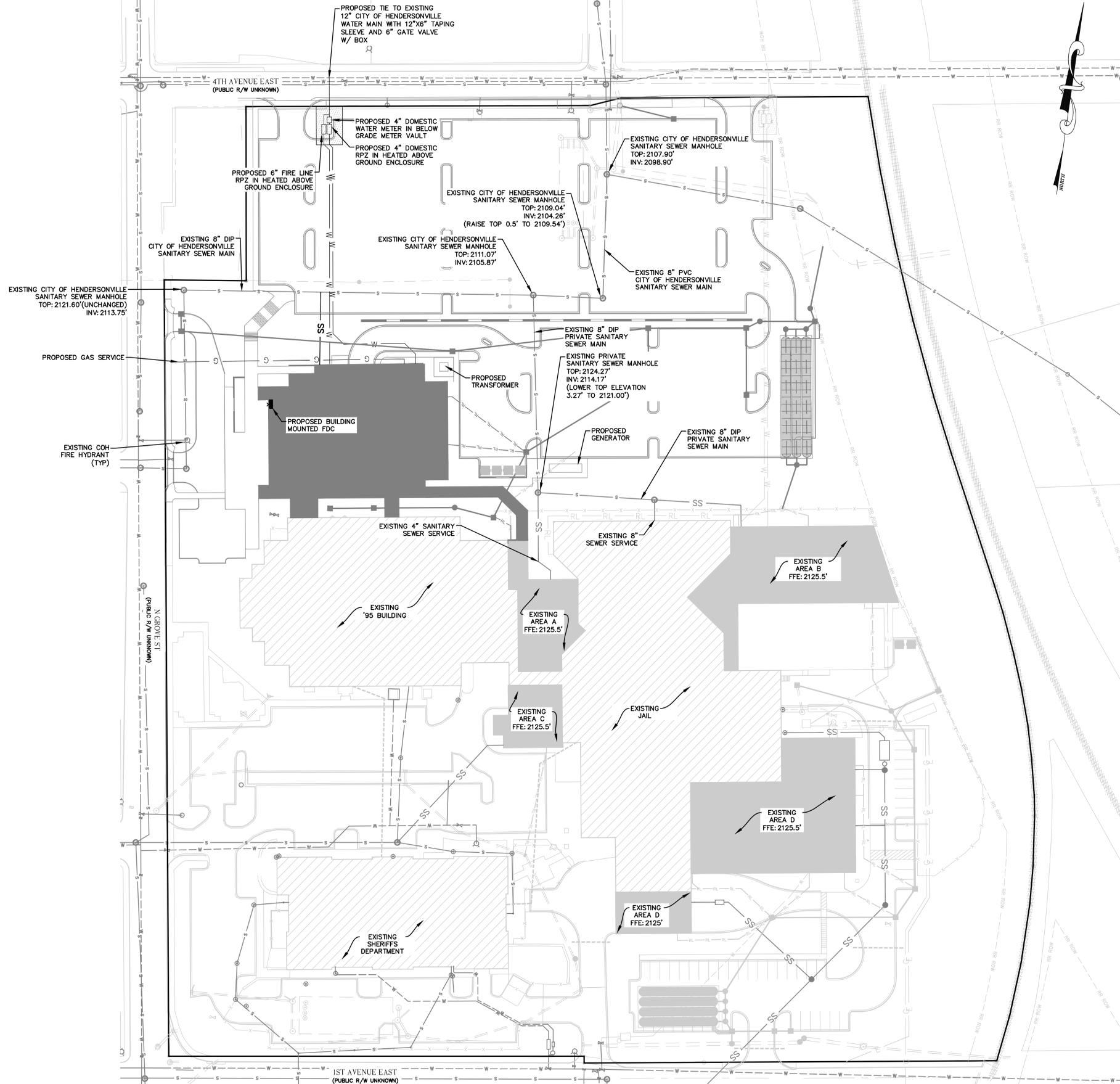
DRAWING TITLE
UTILITY SERVICE PLAN

PROJECT # : 20220006.003

SHEET NUMBER

CC-500

- NOTES:**
- 1.) ALL SANITARY SEWER WORK IS TO BE PERFORMED BY A LICENSED NORTH CAROLINA UTILITY CONTRACTOR.
 - 2.) CONTRACTOR SHALL USE DIP/CL-350 PIPING ON ALL SEWER LINES WHERE 3 FEET OVER COVER IS NOT PROVIDED.
 - 3.) FILL SHALL BE COMPACTED TO 95% STANDARD PROCTOR.
 - 4.) HORIZONTAL CONTROL IS NAD83, VERTICAL CONTROL IS NAD83.
 - 5.) CONTRACTOR SHALL VERIFY EXISTING UNDERGROUND UTILITY CROSSING ELEVATIONS PRIOR TO INSTALLATION OF WATER AND SEWER SERVICES.
 - 6.) CONTRACTOR SHALL COORDINATE THIS DRAWING WITH THE PLUMBING PLANS. AND DISCREPANCIES SHALL BE MADE KNOWN TO THE ENGINEER PRIOR TO INSTALLATION.
 - 7.) A MINIMUM OF 10 FT. HORIZONTAL AND 18" VERTICAL SEPARATION BETWEEN WATER AND SANITARY SEWER, AND HAZARDOUS WASTE LINES MUST BE MAINTAINED. WHERE THE SEWER LINE INSTALLATION DOES NOT CONFORM TO THIS REQUIREMENT OR HAVE A MINIMUM COVER OF 36" FROM THE GROUND SURFACE OR 24" VERTICAL SEPARATION FROM STORM DRAINAGE LINES - SEWER PIPE MUST BE OF A FERROUS MATERIAL. WATER IS TO BE INSTALLED OVER SEWER.
 - 8.) FOR 4" AND LARGER SANITARY SEWER SERVICES CLEANOUTS SHALL BE PLACED AT EVERY CHANGE OF DIRECTION WITH 100' MAXIMUM BETWEEN CLEANOUTS.
 - 9.) ALL UNDERGROUND LINES OUTSIDE THE BUILDING FOOTPRINT, EXCEPT LAWN IRRIGATION LINES, SHALL BE REQUIRED TO HAVE A WARNING TAPE INSTALLED IN THE BACKFILL BETWEEN 6" AND 24" BELOW FINISHED GRADE DIRECTLY OVER PIPING.
 - 9a.) METALLIC LINES SHALL BE IDENTIFIED WITH DURABLE PRINTED PLASTIC WARNING TAPES, MINIMUM 3" WIDE WITH LETTERING TO IDENTIFY BURIED LINE BELOW.
 - 9b.) NON-METALLIC PIPES, OTHER THAN GAS LINES, SHALL BE IDENTIFIED BY DETECTABLE WARNING TAPE, MINIMUM 2" WIDE, WITH LETTERING TO IDENTIFY BURIED LINE BELOW.
 - 9c.) FOR ALL PLASTIC SEWER PIPING, AN INSULATED COPPER TRACER WIRE OR OTHER APPROVED CONDUCTOR SHALL BE INSTALLED ADJACENT TO AND OVER THE FULL LENGTH OF THE PIPING. ACCESS SHALL BE PROVIDED TO THE TRACER WIRE OR THE TRACER WIRE SHALL TERMINATE AT THE CLEAN OUT CLOSEST TO THE BUILDING. THE TRACER WIRE SIZE SHALL NOT BE LESS THAN 14 AWG AND THE INSULATION TYPE SHALL BE LISTED FOR DIRECT BURIAL.
 - 9d.) AN INSULATED COPPER TRACER WIRE OR OTHER APPROVED CONDUCTOR SHALL BE INSTALLED ADJACENT TO UNDERGROUND NONMETALLIC PIPING. ACCESS SHALL BE PROVIDED TO THE TRACER WIRE OR THE TRACER WIRE SHALL TERMINATE ABOVE GROUND AT THE END OF THE NONMETALLIC PIPING. THE TRACER WIRE SIZE SHALL NOT BE LESS THAN 18 AWG AND THE INSULATION TYPE SUITABLE FOR DIRECT BURIAL.



LEGEND

- SS — EXISTING SEWER LINE
- SS — PROPOSED SEWER LINE
- W — EXISTING WATER LINE
- W — PROPOSED WATER LINE

GRAPHIC SCALE



NO.	ISSUED FOR	DATE
1	SCHEMATIC DESIGN	4/28/2023
2	50-% COURTS	5/09/2024
3	100-% COURTS	1/21/2025



DRAWING TITLE

UTILITY SERVICE DETAILS

PROJECT #: 2022006.003

SHEET NUMBER

CC-501

DATE: 06/10/2019 WD DWG. NO. 3
SCALE: NOT TO SCALE

City of Hendersonville Engineering Department
305 Williams Street
Hendersonville, NC 28792
(828) 697-3000 (office)
www.cityofhendersonville.org

7/7/2020 5:00:26 PM, V:\Projects\2017\17004-KanugaWater\DWG

DATE: 01/12/2019 WD DWG. NO. 2
SCALE: NOT TO SCALE

City of Hendersonville Engineering Department
305 Williams Street
Hendersonville, NC 28792
(828) 697-3000 (office)
www.cityofhendersonville.org

7/7/2020 5:00:24 PM, V:\Projects\2017\17004-KanugaWater\DWG

GENERAL NOTES:

- WATER CONSTRUCTION ON THIS SITE IS AUTHORIZED BY PERMITS ISSUED BY THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY (NCDEQ) SUPERVISED BY THE CITY OF HENDERSONVILLE. THE WORK IS SUBJECT TO INSPECTIONS AT ALL TIMES BY REPRESENTATIVES OF THE CITY OF HENDERSONVILLE. THE CONTRACTOR SHALL OBTAIN THE ENGINEER'S CERTIFICATION OF COMPLETION OF THE WATER SYSTEMS CONSTRUCTION AND THE APPLICANT PRIOR TO ISSUANCE OF FINAL OPERATION APPROVAL.
- MATERIALS AND INSTALLATION FOR WATER CONSTRUCTION SHALL CONFORM TO THE LATEST EDITIONS OF CITY SPECIFICATIONS AND DETAILS AND ANMA STANDARDS AND REQUIREMENTS.
- CONTRACTOR SHALL NOTIFY NCEM11 & APPROPRIATE UTILITIES AGENCIES PRIOR TO PERFORMING ANY WORK.
- REGULAR WORKING HOURS SHALL BE FROM 7:00 AM TO 5:00 PM MONDAY THROUGH FRIDAY, EXCEPT IN CASES OF EMERGENCY OR OTHERWISE APPROVED IN WRITING BY THE CITY OF AUTHORIZED REPRESENTATIVES. THE CONTRACTOR SHALL ADVISE THE CONSTRUCTION SITE IS SAFE FOR ANY PERSONS WHO MAY BE ON SITE DURING NON-WORKING HOURS.
- ALL PERSONS SHALL BE COURTEOUS AND RESPECTFUL TO THE PUBLIC. CURSING OR RUDENESS IS NOT PERMITTED AND WILL NOT BE TOLERATED.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL ON ALL ROADWAYS DURING THE PROJECT. THE CONTRACTOR SHALL NOTIFY LOCAL EMERGENCY, SCHOOL AND OTHER NECESSARY AGENCIES PRIOR TO STREET CLOSING OR TRAFFIC CHANGE.
- THE CONTRACTOR AT HIS OWN EXPENSE SHALL KEEP THE CONSTRUCTION SITE AND ADJACENT PUBLIC AND PRIVATE ROADWAYS CLEAN DURING THE PROJECT. THE CONTRACTOR IS ALSO RESPONSIBLE FOR CONTROLLING DUST WITHIN THE PROJECT AREA.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION IN ACCORDANCE WITH THE LINES, GRADES AND ELEVATIONS SHOWN ON THE PLANS OR AS GIVEN BY THE ENGINEER IN THE FIELD.
- CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND THE ELEVATION FOR ALL UTILITIES, BRANCHES AND OTHER UNDERGROUND FACILITIES BOTH EXISTING AND PROPOSED, AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT EXISTING UTILITIES DURING CONSTRUCTION. REPAIRS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE STANDARDS OF APPROPRIATE AGENCIES AT THE CONTRACTOR'S EXPENSE.
- DURING CONSTRUCTION THE CONTRACTOR SHALL MAINTAIN THE OPERATION OF EXISTING UTILITIES WITH THE LEAST AMOUNT OF SERVICE INTERRUPTION POSSIBLE IN COORDINATION WITH THE CITY OF HENDERSONVILLE. CONSTRUCTION SCHEDULE, PLANS AND WORK SHALL BE SUBJECT TO ALTERATION AND REVISION IF NECESSARY FOR THESE CONSIDERATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TEMPORARY OR PERMANENT RELOCATION OF STRUCTURES AND UTILITIES, INCLUDING BUT NOT LIMITED TO POLES, SIGNS, FENCES, HYDRANTS, VALVES, PIPING, CONDUITS AND DRAINS THAT INTERFERE WITH THE POSITIONING OF THE WORK AS SHOWN ON THE DRAWINGS.
- CONTRACTOR SHALL BE REQUIRED TO CONFORM AND COMPLY WITH ALL RESTRICTIONS AND AGREEMENT CONDITIONS AND IS RESPONSIBLE FOR ALL RELATED INCIDENTAL COSTS INVOLVED.
- EXISTING WATER SERVICES SHALL BE REPLACED TO THE EXISTING WATER UNLESS OTHERWISE APPROVED IN WRITING BY THE CITY. SLOPING OF THE WATER SERVICE ON THE DOWNSTREAM SIDE OF THE METER IS NOT PERMITTED.
- ALL DISTURBED AREAS, INCLUDING BUT NOT LIMITED TO ASPHALT, CONCRETE DRIVEWAYS, ROADS, LANDSCAPING, SHALL BE REPAIRED TO EQUAL OR BETTER CONDITION THAN THE ORIGINAL STATE AND LANDSCAPING AREAS SHALL BE REPLACED IN KIND AND COLOR. TRENCH TO GRADE AS SOON AS WATERLINE CONSTRUCTION ALLOWS. ADEQUATE SEEDING AND SOIL STABILIZATION SHALL BE APPLIED TO THE DISTURBED TRENCH AREA. ADDITIONAL FILL AND SITE RESTORATION MAY BE REQUIRED WITHIN THE WARRANTY PERIOD AT THE CITY'S DISCRETION.
- CONTRACTOR SHALL PROVIDE EROSION CONTROL DEVICES TO CONTROL RUNOFF AS REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR ANY FINE THAT MAY BE LEVIED DUE TO RUNOFF FROM CONSTRUCTION.
- IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO FOLLOW ALL APPLICABLE FEDERAL, STATE AND LOCAL HEALTH AND SAFETY REGULATIONS PERTAINING TO CONSTRUCTION OPERATIONS.
- ALL WATER MAINS SHALL HAVE 3 FEET MINIMUM COVER.
- INSTALL FERROUS PIPING FOR BOTH WATER AND SEWER WITHIN 10 FT. OF A CROSSING.
- SEWER LINE CROSSES OVER WATER. SEE 19.2.
- VERTICAL CLEARANCE BETWEEN WATER AND SEWER IS LESS THAN 18 INCHES.
- MINIMUM 10 FEET HORIZONTAL SEPARATION BETWEEN SEWER AND WATER MAINS UNLESS LAD IN SEPARATE TRENCHES WITH THE BOTTOM OF THE WATER LINE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER LINE OR USE FERROUS MATERIAL FOR BOTH WATER AND SEWER.

DISCLAIMER:
THE STANDARD WATER DETAILS ARE FOR THE SOLE USE OF PROJECTS DIRECTLY FOR, OR THOSE PROJECTS IN WHICH OWNERSHIP WILL BE TRANSFERRED TO THE CITY OF HENDERSONVILLE. THESE TYPICALS ARE INTENDED TO SHOW THE CITY OF HENDERSONVILLE'S EXPECTATIONS FOR THE GENERAL LAYOUT, ARRANGEMENT AND MATERIALS FOR WATER DISTRIBUTION SYSTEM ITEMS AND THEIR RELATED APPURTENANCES. IT REMAINS THE SOLE RESPONSIBILITY OF THE ENGINEER IN RESPONSIBLE CHARGE (ERIC) OF EACH APPLICATION TO DETERMINE, DESIGN TO, AND VERIFY TO THE DESIGN PARAMETERS FOR EACH INSTALLATION. ERIC MUST ALSO ENSURE THE DESIGN WITH THE MINIMUM DESIGN CRITERIA OF HIS DIVISION OF ENVIRONMENTAL QUALITY AND ALL LOCAL AND STATE LAWS AND REGULATIONS.

DATE: 02/10/2021 WD DWG. NO. 1
SCALE: NOT TO SCALE

City of Hendersonville Engineering Department
305 Williams Street
Hendersonville, NC 28792
(828) 697-3000 (office)
www.cityofhendersonville.org

7/7/2020 5:00:24 PM, V:\Projects\2017\17004-KanugaWater\DWG

DATE: 10/11/2021 WD DWG. NO. 5
SCALE: NOT TO SCALE

City of Hendersonville Engineering Department
305 Williams Street
Hendersonville, NC 28792
(828) 697-3000 (office)
www.cityofhendersonville.org

7/7/2020 5:00:27 PM, V:\Projects\2017\17004-KanugaWater\DWG

DATE: 01/12/2019 WD DWG. NO. 4-2
SCALE: NOT TO SCALE

City of Hendersonville Engineering Department
305 Williams Street
Hendersonville, NC 28792
(828) 697-3000 (office)
www.cityofhendersonville.org

7/7/2020 5:00:29 PM, V:\Projects\2017\17004-KanugaWater\DWG

DATE: 07/07/2019 WD DWG. NO. 4-1
SCALE: NOT TO SCALE

City of Hendersonville Engineering Department
305 Williams Street
Hendersonville, NC 28792
(828) 697-3000 (office)
www.cityofhendersonville.org

7/7/2020 5:00:27 PM, V:\Projects\2017\17004-KanugaWater\DWG

LR (MIN. LENGTH OF RESTRAINT EACH DIRECTION OF THRUST IN LINEAR FEET)
Based on 200 psig pressure, Safety Factor of 2.0:1, BARE DI PIPE AND ML Soil, 3.5" cover
Chart does not apply to pipes wrapped in polyethylene wrap

PIPE SIZE	VALVES DEAD ENDS TEES	90° ELBOWS	45° ELBOW & CROSSES	22-1/2' ELBOWS	REDUCER
6"	55'	31'	13'	7'	8"X2" 67'
8"	72'	40'	17'	8'	8"X6" 30'
12"	102'	57'	24'	12'	12"X8" 54'
16"	130'	72'	30'	15'	16"X8" 95'

NO.	ISSUED FOR	DATE
1	SCHEMATIC DESIGN	4/28/2023
2	3D-COURTS	5/26/2024
3	3D-COURTS	1/27/2025



DRAWING TITLE
UTILITY SERVICE DETAILS

PROJECT # : 2022006.003
SHEET NUMBER

CC-502

PLAN
CONCRETE THRUST BLOCK, FORD STAINLESS STEEL TAPPING SLEEVE, GATE VALVE (SEE INSTALLATION DETAIL), EXISTING MAIN

ELEVATION
CONCRETE THRUST BLOCK, FORD STAINLESS STEEL TAPPING SLEEVE, GATE VALVE (SEE INSTALLATION DETAIL), EXISTING MAIN

NOTE:
1. 12" X 12" AND 16" X 16" TAPPING SLEEVES ARE NOT ALLOWED.

NOTE:
1. 12" X 12" AND 16" X 16" TAPPING SLEEVES ARE NOT ALLOWED.

NOTE:
1. CONCRETE SHALL BE 3000 PSI.
2. CONCRETE SHALL NOT CONTACT BOLTS OR ENDS OF MECHANICAL JOINT FITTINGS BY THE INSTALLATION OF POLYETHYLENE FILM PLACED BETWEEN THE FITTINGS AND POURED CONCRETE.
3. SEE TABLE A-1 FOR AREA OF CONCRETE REQUIRED FOR MAIN SIZED 6-INCH THROUGH 18-INCH.

TABLE A-1
TBO

DATE: 01/12/2019 WD DWG. NO. 6
SCALE: NOT TO SCALE

City of Hendersonville Engineering Department
305 Williams Street
Hendersonville, NC 28792
(828) 697-3000 (office)
www.cityofhendersonville.org

STANDARD TAPPING SLEEVE AND VALVE ASSEMBLY

PLAN
1" BRASS BALL VALVE (COMPRESSION FITTINGS), 48" X 22" X 30" METAL METER BOX, POWDER COATED W/ DIAMOND PLATED TOP (OPEN BOTTOM), 2" X 1" TEE (MALE/FEMALE), 1" COPPER, 2" X 1" TEE (MALE/FEMALE), 2" PEX, BALL VALVE W/ BOX (COP. SIDE), 15" SPOOL PIECE (ACTUAL METER TO BE INSTALLED BY COH), McDONALD 2" NON-LEAD TELESCOPING BALL STYLE METER STOP (OR EQUIVALENT), 2" BRASS BALL VALVE (THREADED/SLOTTED FLO)

ELEVATION
7" HINGED PADLOCK LID RECESSED LOCK, 30" HINGED READER LID, 2" X 1" TEE (MALE/FEMALE), 2" PEX, 2" HARD TEMPERED, STRAIGHT TYPE "K" COPPER OR BRASS, 15" SPOOL PIECE (ACTUAL METER TO BE INSTALLED BY COH), 6" #57 WASHED STONE UNDER METER BOX, STONE BEDDING, 2" X 1" TEE (MALE/FEMALE), VALVE BOX, SEE VALVE INSTALLATION DETAIL, 2" X 1" TEE (MALE/FEMALE)

NOTE:
1. ALL WATER LINES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE CITY SPECIFICATIONS.
2. ALL FITTINGS AND APPURTENANCES SHALL BE PROPERLY RESTRAINED.
3. BACKFLOW PREVENTION ASSEMBLY MAKE/MODEL SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE CITY SPECIFICATIONS. ENVIRONMENTAL COMPLIANCE COORDINATOR OR AUTHORIZED PERSONNEL SHALL VERIFY THE INSTALLATION OF THE BACKFLOW PREVENTION ASSEMBLY WITHIN AN ABOVE-GROUND HEATED ENCLOSURE IMMEDIATELY UPON THE INSTALLATION OF THE APPROVED BACKFLOW PREVENTION ASSEMBLY IS VERIFIED BY THE CITY.
4. FIRE HYDRANT AND 12" DIA. IS REQUIRED BY THE LINE DOMESTIC WATER METER (SEE DETAIL WD-08, WD-10, WD-18)

DATE: 06/20/2019 WD DWG. NO. 10
SCALE: NOT TO SCALE

City of Hendersonville Engineering Department
305 Williams Street
Hendersonville, NC 28792
(828) 697-3000 (office)
www.cityofhendersonville.org

2" METER BOX AND INSTALLATION

PLAN
FIRE DEPARTMENT CONNECTION WITH WATER CHECK VALVE FOR (SEE DETAIL WD-12) REQUIREMENT AND LOCATION WITH FIRE OFFICIAL, FIRE HYDRANT (SEE DETAIL WD-12) (COORDINATE FIRE HYDRANT REQUIREMENT AND LOCATION WITH FIRE OFFICIAL), TAPPING SLEEVE (SEE DETAIL WD-6), GATE VALVE & BOX, ABOVE-GROUND BACKFLOW ASSEMBLY, REDUCED PRESSURE ASSEMBLY (RPA), ABOVE-GROUND BACKFLOW ASSEMBLY, DOMESTIC LINE, VALVE AND TAPPING SADDLE, PUBLIC EXISTING WATER MAIN, ROAD ROW/EDGE OF PRIVATE PROPERTY, ROAD ROW, VALVE TO BE INSTALLED PER ROW, CUSTOMER RESPONSIBILITY, COH RESPONSIBILITY

ELEVATION
FIRE HYDRANT (SEE DETAIL WD-12) (COORDINATE FIRE HYDRANT REQUIREMENT AND LOCATION WITH FIRE OFFICIAL), TAPPING SLEEVE (SEE DETAIL WD-6), GATE VALVE & BOX, ABOVE-GROUND BACKFLOW ASSEMBLY, REDUCED PRESSURE ASSEMBLY (RPA), ABOVE-GROUND BACKFLOW ASSEMBLY, DOMESTIC LINE, VALVE AND TAPPING SADDLE, PUBLIC EXISTING WATER MAIN, ROAD ROW/EDGE OF PRIVATE PROPERTY, ROAD ROW, VALVE TO BE INSTALLED PER ROW, CUSTOMER RESPONSIBILITY, COH RESPONSIBILITY

NOTE:
1. ALL WATER LINES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE CITY SPECIFICATIONS.
2. ALL FITTINGS AND APPURTENANCES SHALL BE PROPERLY RESTRAINED.
3. BACKFLOW PREVENTION ASSEMBLY MAKE/MODEL SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE CITY SPECIFICATIONS. ENVIRONMENTAL COMPLIANCE COORDINATOR OR AUTHORIZED PERSONNEL SHALL VERIFY THE INSTALLATION OF THE BACKFLOW PREVENTION ASSEMBLY WITHIN AN ABOVE-GROUND HEATED ENCLOSURE IMMEDIATELY UPON THE INSTALLATION OF THE APPROVED BACKFLOW PREVENTION ASSEMBLY IS VERIFIED BY THE CITY.
4. FIRE HYDRANT AND 12" DIA. IS REQUIRED BY THE LINE DOMESTIC WATER METER (SEE DETAIL WD-08, WD-10, WD-18)

DATE: 01/09/2023 WD DWG. NO. 15
SCALE: NOT TO SCALE

City of Hendersonville Engineering Department
305 Williams Street
Hendersonville, NC 28792
(828) 697-3000 (office)
www.cityofhendersonville.org

DEDICATED FIRE LINE WITH DOMESTIC SERVICE

GENERAL NOTES:
1. METER ASSEMBLY TO BE ELECTROMAGNETIC FLOW METER WITH DUCTILE IRON FLANGED PIPE.
2. METER DEVICE SHALL BE PURCHASED THRU THE CITY OF HENDERSONVILLE.
3. CONCRETE VAULTS SHALL BE PRECAST WITH MINIMUM 4,000 PSI CONCRETE.
4. TO ENSURE POSITIVE DRAINAGE, THE VAULT SHOULD BE TIED INTO THE EXISTING STORM DRAINAGE SYSTEM WHEN POSSIBLE OR DRAINED TO DAYLIGHT.
5. ALL FITTINGS AND APPURTENANCES OUTSIDE OF THE VAULT SHALL BE PROPERLY RESTRAINED.

PLAN VIEW
6" Ø DIP BY-PASS, 6.5' MIN, 12" MIN, 6" BY-PASS VALVE TO BE IN LOCKING BOX, 6" X 6" BY-PASS TEE, STRAINER, CONCENTRIC REDUCERS AS NEEDED, OMNI C2 WATER METER, STRAIGHT PIPE 3X DIA, STRAIGHT PIPE 2X DIA, PRECAST VAULT, 6" GATE VALVES, TO BACK-FLOW PREVENTER DEVICE VAULT, FLOOR DRAIN W/ DEBRIS SCREEN, 12" DIA, 6" Ø DIP BY-PASS, 6" BY-PASS VALVE TO BE IN LOCKING BOX

SECTION VIEW
STANDARD VALVE DETAIL, VALVE BOX (SEE DETAIL WD-DWG. NO. 5), 3'-0" MINIMUM, FINISHED GRADE, GATE VALVE, 48" X 48" OPENING, 4' X 4' WATERPROOF H-20 ACCESS DOOR, CAST INTO VAULT TOP, 2" TEST COCK/PORT, ROMAC EXPANSION COUPLING OR EQUAL, WATER METER, STRAINER, TO BACK-FLOW PREVENTER DEVICE VAULT, 12" DIA. FLOOR DRAIN W/ DEBRIS SCREEN, 12" MIN. 18" MAX., MIN. SLOPE 2.0% TO FLOOR DRAIN, 6" MINIMUM # 57 STONE, DRAIN Ø 1 1/2" MINIMUM SLOPE TO DAYLIGHT OR STORM DRAINAGE INSTALL APPROVED CHECK VALVE IF DRAINS TO STORM DRAINAGE, ALL PIPING INTO VAULT SHALL BE RESTRAINED, UNDISTURBED SUBGRADE

NOTE:
VAULT DIMENSIONS WILL VARY SLIGHTLY DEPENDING ON MANUFACTURER

DATE: 12/04/2019 WD DWG. NO. 18
SCALE: NOT TO SCALE

City of Hendersonville Engineering Department
305 Williams Street
Hendersonville, NC 28792
(828) 697-3000 (office)
www.cityofhendersonville.org

4" THRU 8" METER & VAULT DETAIL

Ordinance # ____ - ____

AN ORDINANCE OF THE CITY OF HENDERSONVILLE CITY COUNCIL TO AMEND THE OFFICIAL ZONING MAP OF THE CITY OF HENDERSONVILLE FOR A PARCEL POSSESSING PIN NUMBER: 9568-97-1859 BY CHANGING THE ZONING DESIGNATION FROM PID, PLANNED INSTITUTIONAL DEVELOPMENT TO PID-CZD, PLANNED INSTITUTIONAL DEVELOPMENT CONDITIONAL ZONING DISTRICT

IN RE: Parcel Number: 9568-97-1859
 Address: 200 N. Grove Street
 Henderson County Courthouse and Detention Center Expansion: (File # 25-06-CZD)

WHEREAS, the City is in receipt of a Conditional Rezoning application from applicant, Christopher Todd (Assistant County Manager) of Henderson County Government, and property owner, William Lapsley (County Commissioner Chairman) of Henderson County Government, for the construction of a of a 90,859 square foot courthouse and 53,443 square foot detention center on approximately 14.78 acres, and

WHEREAS, the Planning Board took up this application at its regular meeting on March 13th, 2025; voting 0-0 to recommend/not recommend City Council approve an ordinance amending the official zoning map of the City of Hendersonville, and

WHEREAS, City Council took up this application at its regular meeting on April 3rd, 2025, and

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Hendersonville, North Carolina:

1. Pursuant to Article XI of the Zoning Ordinance of the City of Hendersonville, North Carolina, the Zoning Map is hereby amended by changing the zoning designation of the following: Parcel Number: 9568-97-1859, changing the zoning designation from PID, Planned Institutional Development to PID-CZD, Planned Institutional Development Conditional Zoning District.
2. Development of the parcel pursuant to this Ordinance is subject to the following.
 - a. Development shall comply with the master site plan submitted by the applicant dated March 6th, 2025, including the conditions listed therein, [and/or as modified and presented to City Council][and/or including modifications approved by City Council which shall be added to the site plan. The updated site shall be submitted to the City at or before the applicant's execution of this Ordinance].
 - b. Permitted uses shall include:
 - i. Public & quasi-public buildings
 - c. Additional conditions that shall be satisfied prior to final site plan approval include:
 - i.
3. Except where modified by the terms of this Ordinance, development of the parcel(s) shall occur in accordance with the final site plan requirements of Article VII of the Zoning Ordinance of the City of Hendersonville, North Carolina.
4. Except where explicit relief is granted by the terms of this Ordinance, the development of the parcel(s) shall occur in accordance with all applicable standards within local ordinances and policies.

This ordinance shall be not be effective until the list of use(s) and conditions, established herein, is consented to in writing by the applicant and all owners of the subject property. Upon such written consent, this ordinance shall be effective retroactive to the date of its adoption.

Adopted this 3rd day of April 2025.

Attest:

Barbara G. Volk, Mayor, City of Hendersonville

Jill Murray, City Clerk

Approved as to form:

Angela S. Beeker, City Attorney

With their signatures below, the undersigned applicant(s) and property owner(s) consent to and agree to all conditions imposed pursuant to the terms of this Ordinance.

IN RE: Parcel Numbers: 9568-97-1859
Address: 200 N. Grove Street
Henderson County Courthouse and Detention Center Expansion: (File # 25-06-CZD)

Applicant/Developer: Christopher Todd
(Assistant County Manager) of Henderson
County Government

Property Owner: William Lapsley (County
Commissioner Chairman) of Henderson County
Government

Signature: _____

Signature: _____

Printed Name: _____

Printed Name: _____

Title: _____

Title: _____

Date: _____

Date: _____



**CITY OF HENDERSONVILLE
COMMUNITY DEVELOPMENT DEPARTMENT
100 N. King Street, Hendersonville, NC 28792
Phone (828) 697-3010|Fax (828) 698-6185
www.hendersonvillenc.gov**

**Conditional Zoning District Petition
Section 7-4 and Article 11 City Zoning Ordinance**

The following are the **required** submittals for a complete application for rezoning a property or properties to a Conditional Zoning District. Staff will not review applications until each item has been submitted and determined complete. By placing a check mark by each of the following items, you are certifying that you have performed that task.

- 1. Completed Pre-Application meeting with Planning Staff
- 2. Scheduled Neighborhood Compatibility Meeting
NCM Date: January 23, 2025 Time: 2:00 PM
- 3. Water and Sewer Availability Request
- 4. Completed Application Form
- 5. Completed Signature Page (completed Owner's Affidavit if different from applicant)
- 6. Completed Site Plan as described in Section 7-4.3-1 of the City Zoning Ordinance
- 7. Detailed explanation of any Proposed Development Description
- 8. Application Fee
- 9. Transportation Impact Analysis - Required for complete application but not due until 24 calendar days prior to Planning Board Meeting (if required)

PENDING

Note: Additional Approvals prior to the issuance of a Zoning Compliance Permit may include, but are not limited to the following:

- **Henderson County Sedimentation & Erosion Permit**
- **Stormwater Management Plan**
- **Utility Approval**
- **NCDOT Permit**
- **Any other applicable permits as determined by the Community Development**

[Application Continued on Next Page]

Office Use:

Date Received: _____ By: _____ Fee Received? Y/N

A. Applicant Contact Information

Henderson County

* Printed Applicant Name

Printed Company Name (if applicable)

Corporation Limited Liability Company Trust Partnership

Other: Public



Applicant Signature

Assistant County Manager (Christopher Todd)

Applicant Title (if applicable)

1 Historic Courthouse Sq, Suite 2

Address of Applicant

Hendersonville, NC 28792

City, State, and Zip Code

(828) 697-4819

Telephone

ctodd@hendersoncountync.gov

Email

* Signature of the property owner acknowledges that if the property is rezoned, the property involved in this request is bound to the use(s) authorized, the approved site plan and any conditions imposed, unless subsequently changed or amended as provided for in the Zoning Ordinance.

[Application Continued on Next Page]

B. Property Owner Contact Information (if different from Applicant)

Henderson County (William Lapsley)

*Printed Owner Name (Authorized Representative for entities other than individuals)

Printed Company Name (if applicable, check corresponding box below)

Corporation Limited Liability Company Trust Partnership

Other: Public

Property Owner/Authorized Representative Signature

Chairman

Authorized Representative Title (if applicable - i.e. Member/Manager, President, etc.)

1 Historic Courthouse Sq. Suite 1, Hendersonville, NC 28792

City, State, and Zip Code

(828) 697-4808

Telephone

wlapsley@hendersoncountync.gov

Email

* Property owner hereby grants permission to the City of Hendersonville personnel to enter the subject property for any purpose required in processing this application.

* If signed by an agent on behalf of the Owner, this petition MUST be accompanied by a Limited Power of Attorney signed by the property owner (s) and notarized, specifically authorizing the agent to act on the owner (s) behalf in signing this application. Failure of each owner, or their duly authorized agent, to sign, or failure to include the authority of the agent signed by the property owner, will result in an INVALID APPLICATION.

C. Property Information

Name of Project: Henderson County Courthouse & Detention Center

PIN(s): 9568-97-1859

Address(es) / Location of Property: 200 N Grove Street, Hendersonville, NC 28792

Type of Development: Residential Commercial Other

Current Zoning: PID

Total Acreage: 14.78

Proposed Zoning: PID

Proposed Building Square Footage: Detention Center = 37,557 SF (Proposed) / 49,800 SF (Existing)

Number of Dwelling Units: N/A

List of Requested Uses:
Public Courthouse and Detention Center

D. Proposed Development Conditions for the Site

In the spaces provided below, please provide a description of the Proposed Development for the site.

Proposed redevelopment of an existing parcel to provide increased housing and services for the Henderson County Detention Center. Site improvements include a relocated entry off of 1st Avenue, off-street parking for public and staff, a proposed building expansion inclusive of a new sally port for prisoner transfers, secured areas for inmates, a loading dock, and a dumpster area.

Proposed redevelopment of an existing parcel to provide increased public services for the Henderson County Courthouse. Site improvements include a relocated entry off of 4th Ave East, off-street parking for public and staff, the elimination of the existing impound facility, a proposed courthouse building expansion and a dumpster area.



CITY OF HENDERSONVILLE AGENDA ITEM SUMMARY PLANNING DIVISION

SUBMITTER: Matthew Manley **MEETING DATE:** March 13, 2025

AGENDA SECTION: New Business **DEPARTMENT:** Community Development

TITLE OF ITEM: Rezoning: Standard Rezoning – 23 Brevard Knoll Dr (Cowan) | 25-07-RZO – *Matthew Manley, Long-Range Planning Manager*

SUGGESTED MOTION(S):

For Recommending Approval:

I move Planning Board recommend City Council **adopt** an ordinance amending the official zoning map of the City of Hendersonville changing the zoning designation of the subject property (PIN: 9579-06-3217) from R-20, Low Density Residential to C-2, Secondary Business, based on the following:

1. The petition is found to be consistent with the City of Hendersonville Gen H Comprehensive Plan based on the information from the staff analysis and because:

The proposed zoning of C-2 aligns with the Gen H 2045 Comprehensive Plan Future Land Use & Conservation Map and the Character Area Description for ‘Innovation’.

2. Furthermore, we find this petition to be reasonable and in the public interest based on the information from the staff analysis, public hearing and because:

1. C-2 Zoning would allow for greater economic use of the subject property
2. Introduction of C-2 Zoning along this corridor could lead to further expansion of commercial opportunities in this area

[DISCUSS & VOTE]

For Recommending Denial:

I move Planning Board recommend City Council **deny** an ordinance amending the official zoning map of the City of Hendersonville changing the zoning designation of the subject property (PIN: 9579-06-3217) from R-20, Low Density Residential to C-2, Secondary Business, based on the following:

1. The petition is found to be consistent with the City of Hendersonville Gen H Comprehensive Plan based on the information from the staff analysis and because:

The proposed zoning of C-2 aligns with the Gen H 2045 Comprehensive Plan Future Land Use & Conservation Map and the Character Area Description for ‘Innovation’.

2. Furthermore, we do not find this petition to be reasonable and in the public interest based on the information from the staff analysis, public hearing and because:

1. C-2 Zoning is found to be incompatible with the Goals and Guiding Principles of the City’s adopted plans.
2. C-2 Zoning would increase commercial activity along Signal Hill Rd and potentially lead to detrimental impacts on traffic flow and residential uses.

[DISCUSS & VOTE]

SUMMARY: The City of Hendersonville is in receipt of a Zoning Map Amendment application from Lamott Cowan (owner) for 23 Brevard Knoll Dr (PIN: 9579-06-3217) totaling 0.43 Acres located at the corner of Signal Hill Road and Brevard Knoll Dr. The property is currently zoned R-20, Low Density Residential. The petitioner is requesting that the property be rezoned to C-2, Secondary Business.

Development/redevelopment under the C-2 zoning is much more permissive than under R-20 in terms of the intensity of commercial uses permitted and the dimensional requirements. C-2 allows for more than 47 additional uses compared to R-20. Dimensional standards under C-2 are also significantly relaxed relative to those required under R-20.

If rezoned, there will not be a binding site plan, list of uses, nor conditions placed on the site. All permitted uses within the C-2 district would be allowed on the site. The City of Hendersonville Zoning Ordinance states that, during a standard rezoning process, an applicant is prohibited from discussing the specific manner in which they intend to develop or use a site.

PROJECT/PETITIONER NUMBER:	25-07-RZO
PETITIONER NAME:	o Lamott & Meghan Cowan [Applicant/Owner]
ATTACHMENTS:	<ol style="list-style-type: none"> 1. Staff Report 2. Zoning District Comparison 3. Comprehensive Plan Consistency & Criteria Evaluation Worksheet 4. Draft Ordinance 5. Proposed Zoning Map 6. Application

STANDARD REZONING: 23 BREVARD KNOLL DR (25-07-RZO)
CITY OF HENDERSONVILLE - COMMUNITY DEVELOPMENT STAFF REPORT

PROJECT SUMMARY 2
SITE IMAGES..... 3
SITE IMAGES..... 4
EXISTING ZONING & LAND USE..... 5
FUTURE LAND USE 6
REZONING STANDARDS (ARTICLE 11-4)..... 7
REZONING STANDARDS ANALYSIS & CONDITIONS..... 9
DRAFT COMPREHENSIVE PLAN CONSISTENCY AND REZONING REASONABLENESS STATEMENT 10



PROJECT SUMMARY

- Project Name & Case #:
 - 23 Brevard Knoll Dr (Cowan)
 - 25-07-RZO
- Applicant & Property Owner:
 - Lamott & Meghan Cowan
- Property Address:
 - 23 Brevard Knoll
- Project Acreage:
 - .43 Acres
- Parcel Identification (PINS):
 - 9579-06-3217
- Current Parcel Zoning:
 - R-20, Low Density Residential
- Proposed Zoning District:
 - C-2, Secondary Business
- Future Land Use Designation:
 - Innovation



SITE VICINITY MAP

The City of Hendersonville is in receipt of a Zoning Map Amendment application from Lamott Cowan (owner) for 23 Brevard Knoll Dr (PIN: 9579-06-3217) totaling 0.43 Acres located at the corner of Signal Hill Road and Brevard Knoll Dr. The property is currently zoned R-20, Low Density Residential. The petitioner is requesting that the property be rezoned to C-2, Secondary Business.

Development/redevelopment under the C-2 zoning is much more permissive than under R-20 in terms of the intensity of commercial uses permitted and the dimensional requirements. C-2 allows for more than 47 additional uses compared to R-20. Dimensional standards under C-2 are also significantly relaxed relative to those required under R-20.

If rezoned, there will not be a binding site plan, list of uses, nor conditions placed on the site. All permitted uses within the C-2 district would be allowed on the site. The City of Hendersonville Zoning Ordinance states that, during a standard rezoning process, an applicant is prohibited from discussing the specific manner in which they intend to develop or use a site.

SITE IMAGES



View of subject property from corner of Signal Hill Rd and Brevard Knoll Dr.



View of portion of subject property across Brevard Knoll Dr. Brevard Knoll Dr in foreground / right.

SITE IMAGES

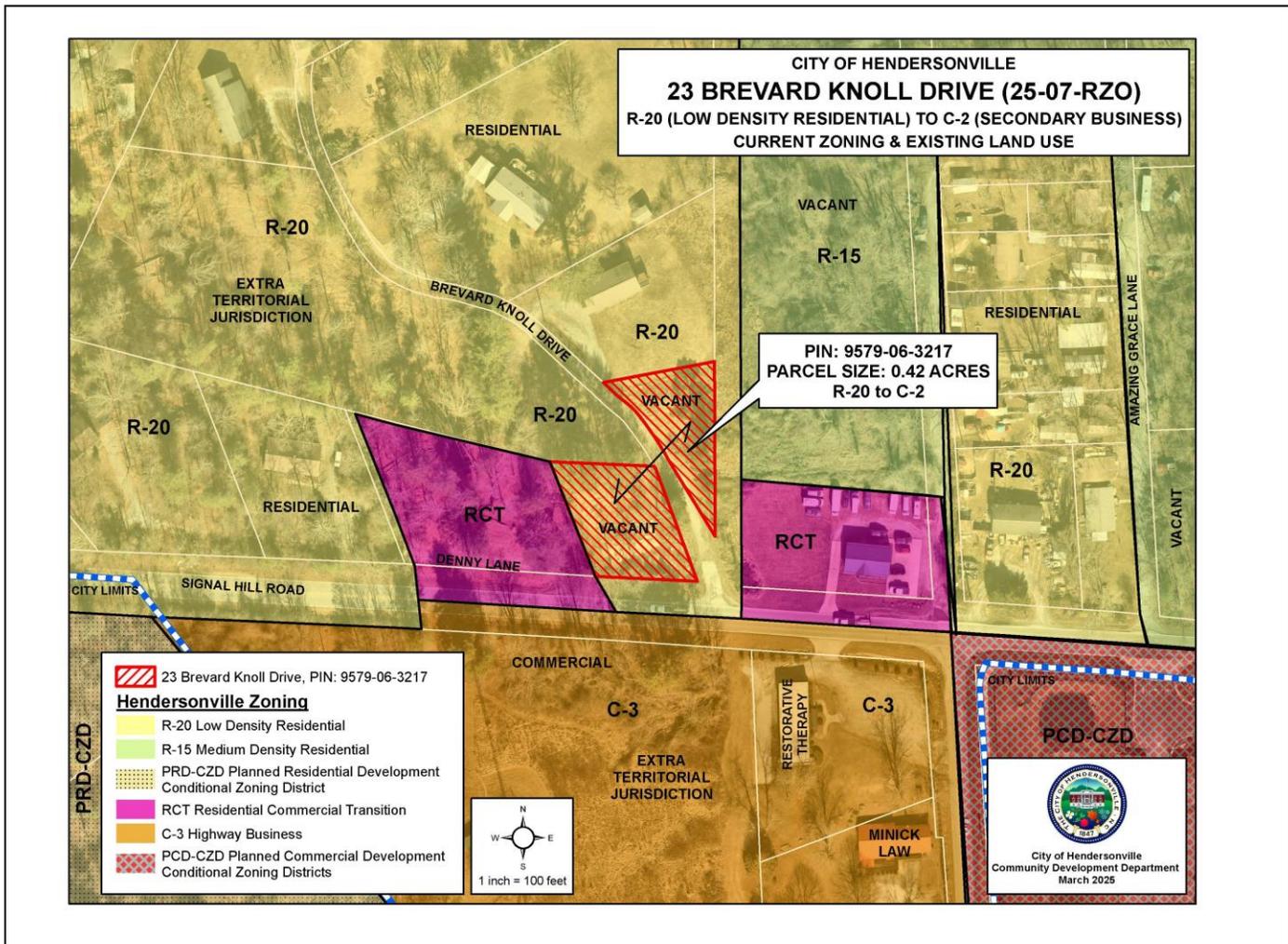


View of center of site from Brevard Knoll Dr.



View of rear of site from Brevard Knoll Dr

EXISTING ZONING & LAND USE



Existing Zoning & Current Land Use Map

The subject property is currently outside the municipal limits in the City’s ETJ and is zoned R-20, Low Density Residential. The property is made up of a vacant 0.43 acre lot that is split by Brevard Knoll Dr. The larger, .24 acre portion of the property fronts along Signal Hill Rd while the remainder of the parcel is set back from Signal Hill and across Brevard Knoll Dr. The remainder of the parcels on Brevard Knoll Dr and along Signal Hill Rd extending down to Clear Creek Rd are zoned R-20. In late 2024, City Council approved the introduction of C-2 in this area on a neighboring parcel to the east fronting Signal Hill Rd.

The land uses in this area are typical of a urban-rural transition area ranging from vacant and low density residential to higher intensity commercial uses. The residential uses are primarily individual properties on larger parcels and not part of planned developments, however there is one multi-family development in close proximity and another nearby apartment complex that has been approved but not constructed. The commercial uses include radio station tower, self-storage and automobile body shop.

REZONING STANDARDS (ARTICLE 11-4)

GENERAL REZONING STANDARDS: COMPREHENSIVE PLAN CONSISTENCY	
<p>1) COMPREHENSIVE PLAN CONSISTENCY</p>	<p><u>LAND SUPPLY, SUITABILITY & INTENSITY</u> The subject property is located on an underutilized property in the Land Supply Map. It is ranked for as nearly <u>Least Suitability</u> for Commercial uses and Industrial uses. It is Moderately Suitable for Residential uses. The subject property is located in an area designated as “Moderate” for Development Intensity. The subject property is not located in one the 5 Focus Areas. The subject property is located in a Focused Intensity Node.</p> <p><u>FUTURE LAND USE & CONSERVATION MAP</u> Character Area Designation: Innovation Character Area Description: Somewhat Consistent Zoning Crosswalk: Consistent Focus Area Map: Consistent</p>
<p>2) COMPATIBILITY</p>	<p>Whether and the extent to which the proposed amendment is compatible with existing and proposed uses surrounding the subject property</p> <p><i>[In addition to a general analysis of the existing conditions, staff has utilized the Gen H Comprehensive Plan as a guide for further evaluating issues related to “compatibility”. The analysis below includes an assessment of how the project aligns with the overall Goals and overarching Guiding Principles found in Chapter IV of the Gen H Plan]</i></p> <p><u>EXISTING CONDITIONS</u> The subject property is a .043 acre parcel, which is smaller than the larger properties throughout the immediate area. Most properties in the area are greater than 1 acres in size with many over 5 acres in size. The properties fronting along Signal Hill Rd are primarily vacant or contain residential uses. Most residential uses are single-family homes however Signal Ridge Apartments and the proposed Duncan Terrace Apartments are in vicinity of the subject property. Five of the properties fronting Signal Hill Rd contain commercial uses, including the subject property. This lack of intense development in this area can be attributed to the lack of City sewer service in the immediate vicinity. Sewer is located near the intersection of Thompson St and Signal Hill Rd, along Four Season Blvd and at Berkely Rd at Halford Estates.</p> <p><u>GEN H COMPREHENSIVE PLAN GOALS</u> (Chapter IV) Vibrant Neighborhoods: Inconsistent Abundant Housing Choices: Inconsistent Healthy and Accessible Natural Environment: Inconsistent Authentic Community Character: Inconsistent Safe Streets and Trails: Inconsistent Reliable & Accessible Utility Services: Inconsistent Satisfying Work Opportunities: Consistent</p>

	<p>Welcoming & Inclusive Community: Inconsistent Accessible & Available Community Uses and Services: Consistent Resilient Community: N/A</p> <hr/> <p>GEN H COMPREHENSIVE PLAN GUIDING PRINCIPLES (Chapter IV) Mix of Uses: Inconsistent Compact Development: Inconsistent Sense of Place: Inconsistent Conserved & Integrated Open Spaces: Inconsistent Desirable & Affordable Housing: Inconsistent Connectivity: Inconsistent Efficient & Accessible Infrastructure: Inconsistent</p> <hr/> <p>DESIGN GUIDELINES ASSESSMENT – N/A</p>
<p>3) Changed Conditions</p>	<p>Whether and the extent to which there are changed conditions, trends or facts that require an amendment -</p> <p>An adjoining property was recently rezoned from RCT to C-2. Two commercial uses were recently constructed on the Signal Hill Rd corridor. 1) Signal Hill Storage was constructed catty-corner across the street from the subject property and 2) First Aid Collision body shop was recently constructed about ½ mile from the subject property.</p> <p>NCDOT has performed an Express Design of the Thompson St/Signal Hill/Berkley Rd corridor as an alternative to US64 and in light of the Balfour Parkway project’s demise. This project is not funded.</p>
<p>4) Public Interest</p>	<p>Whether and the extent to which the proposed amendment would result in a logical and orderly development pattern that benefits the surrounding neighborhood, is in the public interest and promotes public health, safety and general welfare -</p> <p>Expansion of C-2 zoning increases potential use of the property for various commercial uses. Alternatively, expansion of commercial uses along Signal Hill Rd could be detrimental to traffic congestion and residential uses in the area.</p>
<p>5) Public Facilities</p>	<p>Whether and the extent to which adequate public facilities and services such as water supply, wastewater treatment, fire and police protection and transportation are available to support the proposed amendment</p> <hr/> <p>In its current configuration, the subject property would only be served by City water. Signal Hill is an NCDOT-maintained Secondary Road.</p>
<p>6) Effect on Natural Environment</p>	<p>Whether and the extent to which the proposed amendment would result in significantly adverse impacts on the natural environment including but not limited to water, air, noise, storm water management, streams, vegetation, wetlands and wildlife -</p>

	There is no immediate development proposed on the subject properties. There are some existing trees but no significantly environmentally-sensitive areas within the area proposed for rezoning. To the east of the subject property is a large undeveloped tract which features some streams that feed Cherry Branch.
--	---

REZONING STANDARDS ANALYSIS & CONDITIONS

Staff Analysis

- 1) Comprehensive Plan Consistency - Staff finds the petition and site plan to be consistent with the Gen H Comprehensive Plan Future Land Use & Conservation Map and the Character Area Crosswalk.
- 2) Compatibility – Despite finding that the “Innovation” Future Land Use correlates with uses permitted under C-2 zoning, other aspects of C-2 zoning are found to be Inconsistent with the Goals and Guiding Principles of the Gen H Comprehensive Plan.
- 3) Changed Conditions - Staff finds that the changed conditions relate to the recent rezoning on Signal Hill Rd, increased commercial activity along the Signal Hill Rd corridor and future transportation improvements.
- 4) Public Interest - Staff finds while new economic activity could be introduced by C-2 zoning, the expansion of intense commercial development along this corridor could have negative impacts on traffic flow and residential uses.
- 5) Public Facilities - Staff finds that increased economic use of the property would require the expansion of City services.
- 6) Effect on Natural Environment - N/A

The petition is found to be **consistent** with the City of Hendersonville Gen H Comprehensive Plan based on the information from the staff analysis and the public hearing, and because:

The proposed zoning of C-2 aligns with the Gen H 2045 Comprehensive Plan Future Land Use & Conservation Map and the Character Area Description for 'Innovation'.

We **[find/do not find]** this petition to be reasonable and in the public interest based on the information from the staff analysis and the public hearing, and because:

DRAFT [Rationale for Approval]

- *C-2 Zoning would allow for greater economic use of the subject property*
- *Introduction of C-2 Zoning along this corridor could lead to further expansion of commercial opportunities in this area*

DRAFT [Rational for Denial]

- *C-2 Zoning is found to be incompatible with the Goals and Guiding Principles of the City's adopted plans.*
- *C-2 Zoning would increase commercial activity along Signal Hill Rd and potentially lead to detrimental impacts on traffic flow and residential uses.*

PERMITTED & SPECIAL USES	
<p><u>R-20 Low Density Residential (Current)</u> <i>Green = Same in both districts</i> <i>Red = Different from proposed district</i> <i>Orange = Caveat on use</i></p>	<p><u>C-2 Secondary Business (Proposed)</u> <i>Green = Same in both districts</i> <i>Red = Different from proposed district</i> <i>Orange = Caveat on use</i></p>
<p>Permitted Uses:</p> <ul style="list-style-type: none"> • Accessory dwelling units, subject to supplementary standards contained in section 16-4, below • Accessory structures • Adult care homes so long as the use is clearly incidental to the residential use of the dwelling and does not change the essential residential character of the dwelling • Camps • Child care homes so long as the use is clearly incidental to the residential use of the dwelling and does not change the essential residential character of the dwelling • Home occupations • Parks • Planned residential developments (minor), subject to the requirements of article VII, below • Religious institutions containing no more than 50,000 square feet of gross floor area • Residential dwellings, single-family • Residential dwellings, two-family • Signs, subject to the provisions of article XIII • Telecommunications antennas, subject to supplementary standards contained in section 16-4, below. <p>Special Uses:</p> <ul style="list-style-type: none"> • Bed & breakfast facilities • Cemeteries • Public utility facilities • Schools, primary and secondary containing no more than 50,000 sq ft in gfa 	<p>Permitted Uses:</p> <ul style="list-style-type: none"> • Accessory dwelling units subject to supplementary standards contained in section 16-4, below • Accessory uses and structures • Adult care centers registered with the NC Department of Health and Human Services (DHSS) • Animal hospitals and clinics so long as the use contains no outdoor kennels • Automobile car washes • Automobile sales & service establishments • Banks and other financial institutions • Bed and breakfast facilities (SU) • Business services • Congregate care facilities, subject to supplementary standards contained in section 16-4, below • Construction trades facilities so long as the storage of equipment and materials is screened from view from public rights-of-way • Convenience stores with or without gasoline sales • Cultural arts buildings • Dance and fitness facilities • Dry cleaning and laundry establishments containing less than 6,000 square feet of floor area • Farm equipment sales and service • Food pantries, subject to the supplementary standards contained in section 16-4, below • Funeral homes • Golf driving ranges and par three golf courses • Greenhouses and nurseries, commercial • Home occupations • Hotels and motels • Laundries, coin-operated

- Microbreweries, micro-distilleries, micro-cideries, and micro-wineries, subject to supplementary standards contained in section 16-4, below
- Mobile food vendors, subject to supplementary standards contained in section 16-4, below
- Music and art studios
- Neighborhood community centers
- Newspaper offices and printing establishments
- Nursing homes subject to supplementary standards contained in section 16-4, below
- Offices, business, professional and public
- Parking lots and parking garages
- Parks
- Personal services
- Planned residential developments (minor), subject to the requirements of article VII, below
- Private clubs
- Progressive care facilities subject to supplementary standards contained in section 16-4, below
- Public and semi-public buildings
- Recreational facilities, indoors
- Recreational facilities, outdoors, commercial
- Religious institutions
- Repair services, miscellaneous
- Residential care facilities
- Residential dwellings, single-family
- Residential dwellings, two-family
- Residential dwellings, multi-family, subject to supplementary standards contained in section 16-4, below
- Rest homes, subject to supplementary standards contained in section 16-4, below
- Restaurants (SU)
- Retail stores
- Schools, post-secondary, business, technical and vocational
- Schools, primary and secondary
- Service stations

	<ul style="list-style-type: none"> • Signs, subject to the provisions of article XIII • Small scale manufacturing, subject to the supplementary standards contained in section 16-4, below • Telecommunications antennas, subject to supplementary standards contained in section 16-4, below • Theaters, indoor • Wholesale businesses <p>Special Uses:</p> <ul style="list-style-type: none"> • Animal kennels • Automotive paint and body work • Bus stations • Child care centers • Civic clubs and fraternal organizations • Light manufacturing • Public utility facilities
--	--

DIMENSIONAL STANDARDS

<u>R-20 Low Density Residential (Current)</u> <i>Green = Same in both districts</i> <i>Red = Different from proposed district</i> <i>Orange = Caveat on standard</i>	<u>C-2 Secondary Business (Proposed)</u> <i>Green = Same in both districts</i> <i>Red = Different from proposed district</i> <i>Orange = Caveat on standard</i>
<p>Dimensional Requirements:</p> <p>Minimum Lot Area in Square Feet: 20,000</p> <p>Lot Area per Dwelling Unit in Square Feet: 10,000</p> <p>Minimum Lot Width at Building Line in Feet: 100</p> <p>Minimum Yard Requirements in Feet: Principal Structure:</p> <p style="text-align: right;">Front: 35 Side: 15 Rear: 20</p> <p>Maximum Height in Feet: 35</p>	<p>Dimensional Requirements:</p> <p>Minimum Lot Area in Square Feet: 8,000 (6,000 for residential)</p> <p>Lot Area per Dwelling Unit in Square Feet: 6,000; 4,000 (for one additional dwelling unit)</p> <p>Minimum Lot Width at Building Line in Feet: 0 Minimum Lot Width (residential only): 50</p> <p>Minimum Yard Requirements in Feet: Principal Structure:</p> <p style="text-align: right;">Front: 15 (20 for Res) Side: 0 or 5. 10' on Corner Lots Rear: 0 / 10 when abutting Res District (15 for Res)</p> <p>Maximum Height in Feet: 48</p>

23 Brevard Knoll Dr - R-20 to C-2 25-07-RZO		
Chapter 4 - The Vision for the Future	Consistent	Inconsistent
SUPPLY, SUITABILITY, & INTENSITY		
LAND SUPPLY MAP (Pg. 81, Figure 4.4)	Underdeveloped	
LAND SUITABILITY MAP (Pg. 84-86, Figure 4.5-4.7)		Least Suitable
DEVELOPMENT INTENSITY MAP (Pg. 89, Figure 4.9)	Consistent	
FUTURE LAND USE & CONSERVATION MAP		
Future Land Use and Conservation Map (Note classification here, Pg. 117, Figure 4.12)	Innovation	
Character Area Description (Pg. 122-131)	Somewhat Consistent	
Zoning Crosswalk (Pg. 132-133, Figure 4.18)	Consistent	
Focus Area Map (Pg. 134-159)	N/A	

23 Brevard Knoll Dr - R-20 to C-2 25-07-RZO		
Chapter 4 - The Vision for the Future	Consistent	Inconsistent
GOALS		
<u>Vibrant Neighborhoods (Pg. 93)</u>		
Promote lively neighborhoods that increase local safety.		Inconsistent
Enable well-maintained homes, streets, and public spaces.		Inconsistent
Promote diversity of ages (stage of life), income levels, and a range of interests.		Inconsistent
The design allows people to connect to nearby destinations, amenities, and services.		Inconsistent
<u>Abundant Housing Choices (Pg. 93)</u>		
Housing provided meets the need of current and future residents.		Inconsistent
Range of housing types provided to help maintain affordability in Hendersonville.		Inconsistent
Housing condition/quality exceeds minimum standards citywide	N/A	N/A
<u>Healthy and Accessible Natural Environment (Pg. 94)</u>		
Recreational (active and passive) open spaces are incorporated into the development.		Inconsistent
Water quality is improved with the conservation of natural areas that serve as filters and soil stabilizers.		Inconsistent
Natural system capacity (floodplains for stormwater; habitats to support flora/fauna; tree canopy for air quality, stormwater management, and microclimate) is maintained.		Inconsistent
Development is compact (infill/redevelopment) to minimize the ecological footprint.		Inconsistent
New development respects working landscapes (e.g., orchards, managed forests), minimizing encroachment.	N/A	N/A
<u>Authentic Community Character (Pg. 94)</u>		
Downtown remains the heart of the community and the focal point of civic activity	N/A	N/A
A development near a gateway sets the tone, presenting the image/brand of the community.	N/A	N/A
Historic preservation is utilized to maintain the city's identity.	N/A	N/A
City Centers and neighborhoods are preserved through quality development.		Inconsistent
<u>Safe Streets and Trails (Pg. 95)</u>		
Interconnectivity is promoted between existing neighborhoods through the building out of street networks, including retrofits and interconnectivity of new developments.		Inconsistent
Access is increased for all residents through the provision of facilities that promote safe walking, biking, transit, automobile, ride share, and bike share.		Inconsistent
Design embraces the principles of walkable development.		Inconsistent
<u>Reliable & Accessible Utility Services</u>		
Wastewater treatment (service and capacity) adequately serves existing and future development	N/A	N/A

A compact service area (infill, redevelopment) maximizes the utilization of existing infrastructure and feasible service delivery.		Inconsistent
Satisfying Work Opportunities (pg. 96)		
The development promotes quality job options.	Consistent	
The lives of residents are enriched with opportunities to learn, build skills, and grow professionally.	Consistent	
Welcoming & Inclusive Community		
Accessibility exceeds minimum standards of ADA, fostering residents' and visitors' sense of belonging.		Inconsistent
An inviting public realm (i.e., parks, public buildings) reflects the attitudes of city residents and leaders, and helps residents develop a sense of place and attachment to Hendersonville.		Inconsistent
Accessible & Available Community Uses and Services (Pg. 97)		
Private development is plentiful, meeting the demands of current and future populations.	Consistent	
Resilient Community		
N/A		
GUIDING PRINCIPALS (pg. 98)		
Mix of Uses (Pg. 98)		
Revitalization of Outdated Commercial Areas		Inconsistent
New business and office space promotes creative hubs.		Inconsistent
Compact Development (Pg. 100)		
Development is consistent with efforts in the area to establish 15-minute neighborhoods.		Inconsistent
The infill project is context sensitive [Small Infill Site].		Inconsistent
Sense of Place (Pg. 102)		
The development contributes to Hendersonville's character and the creation of a sense of place through its architecture and landscape elements. [Placekeeping and Placemaking and 3rd Places]		Inconsistent
Conserved & Integrated Open Spaces (Pg. 106)		
A diverse range of open space elements are incorporated into the development.		Inconsistent
Desirable & Affordable Housing (Pg. 108)		
Missing middle housing concepts are used in the development.		Inconsistent
Connectivity (Pg. 112)		
The development encourages multimodal design solutions to enhance mobility.		Inconsistent
Efficient & Accessible Infrastructure (Pg. 114)		
The development utilizes existing infrastructure		Inconsistent

Ordinance # ____ - ____

AN ORDINANCE OF THE CITY OF HENDERSONVILLE CITY COUNCIL TO AMEND THE OFFICIAL ZONING MAP OF THE CITY OF HENDERSONVILLE FOR CERTAIN PARCELS (POSSESSING PIN NUMBER 9579-06-3217) BY CHANGING THE ZONING DESIGNATION FROM R-20, LOW DENSITY RESIDENTIAL TO C-2, SECONDARY BUSINESS

IN RE: Parcel Numbers: 9579-06-3217
23 Brevard Knoll (Cowan) | File # 25-07-RZO

WHEREAS, the Planning Board took up this application at its regular meeting on March 13, 2025; voting [redacted] to recommend City Council **adopt** an ordinance amending the official zoning map of the City of Hendersonville, and

WHEREAS, City Council took up this application at its regular meeting on April 3, 2025, and

WHEREAS, City Council has found that this zoning map amendment is consistent with the City’s comprehensive plan, and that it is reasonable and in the public interest for the reasons stated, and

WHEREAS, City Council has conducted a public hearing as required by the North Carolina General Statutes on April 3, 2025,

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Hendersonville, North Carolina:

1. Pursuant to Article XI of the Zoning Ordinance of the City of Hendersonville, North Carolina, the Zoning Map is hereby amended by changing the zoning designation of the following: Parcel Numbers: 9579-06-3217, by changing the zoning designation from R-20, Low Density Residential to C-2, Secondary Business
2. Any development of this parcel shall occur in accordance with the Zoning Ordinance of the City of Hendersonville, North Carolina.
3. This ordinance shall be in full force and effect from and after the date of its adoption.

Adopted this 3rd day of April 2025.

Attest: Barbara G. Volk, Mayor, City of Hendersonville

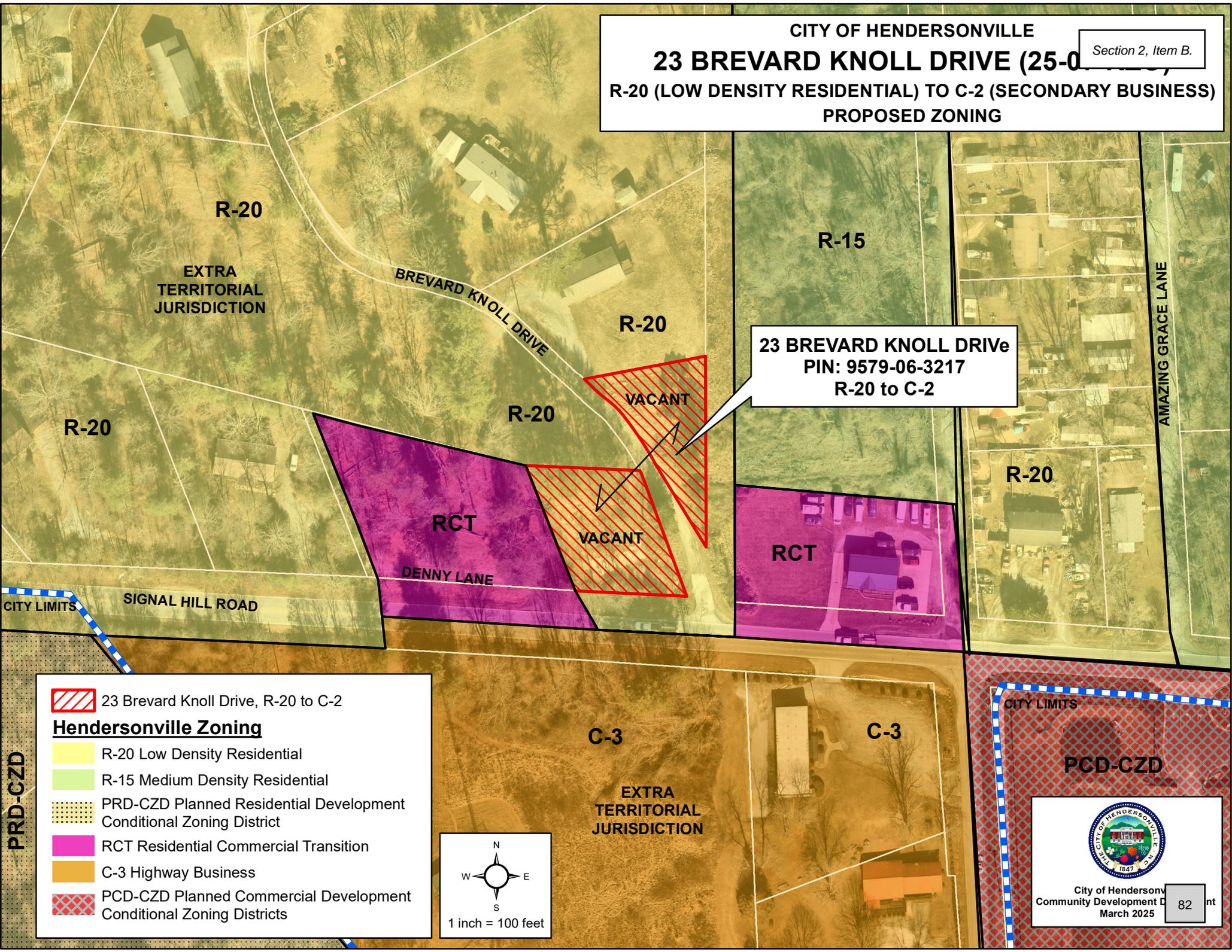
Jill Murray, City Clerk

Approved as to form:

Angela S. Beeker, City Attorney

23 BREVARD KNOLL DRIVE (25-0-0000000000)

R-20 (LOW DENSITY RESIDENTIAL) TO C-2 (SECONDARY BUSINESS) PROPOSED ZONING

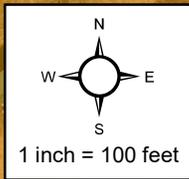


23 BREVARD KNOLL DRIVE
 PIN: 9579-06-3217
 R-20 to C-2

23 Brevard Knoll Drive, R-20 to C-2

Hendersonville Zoning

- R-20 Low Density Residential
- R-15 Medium Density Residential
- PRD-CZD Planned Residential Development Conditional Zoning District
- RCT Residential Commercial Transition
- C-3 Highway Business
- PCD-CZD Planned Commercial Development Conditional Zoning Districts



City of Hendersonville
 Community Development Department
 March 2025

Entry #: 15 - 1/9/2025

Status: Submitted

Submitted: 1/9/2025 6:33 PM

Date:

1/9/2025

Address/Location of Property:

23 Brevard Knoll Drive

Current Zoning:

R20

Proposed Zoning:

C2

List the adjacent property parcel numbers and uses.

PIN or PID #

9579064126

Adjacent Property Use:

RCT

PIN or PID #

9579060189

Adjacent Property Use:

RCT

PIN or PID #

9569969347

Adjacent Property Use:

R20

PIN or PID #

9579063404

Adjacent Property Use:

R20

Applicant Name:

LaMott Cowan

Address

213 Heathcote Road, Hendersonville, North Carolina 28791

Phone

(919) 522-3036

Email

account@lsmarine.net

Property Owner Name:

LaMott Cowan

Address

23 Brevard Knoll Drive, Hendersonville, North Carolina 28792

PIN or PID #

9579063217

Signature

LaMott Cowan

Printed Name:

LaMott Cowan

Official Use Only:

Date Recieved:

Received By:

Fee Received:

Section 11-4 Standards: The advisability of amending the text of the Zoning Ordinance or the Official Zoning Map is a matter committed to the legislative discretion of the City Council and is not controlled by any one factor. In determining whether to adopt or disapprove the proposed amendment to the text of this Ordinance or the Official Zoning Map, the City Council shall consider the following factors among others:

a) Comprehensive Plan Consistency. Consistency with the Comprehensive Plan and amendments thereto.

The proposed rezoning from R20 to C2 is in full alignment with the City's Comprehensive Plan. The designated area is specifically identified as an "innovation" zone, with C2 zoning as the intended zoning category to facilitate industrial and commercial development. This aligns with the plan's vision for this area to serve as a hub for economic growth and job creation.

b) Compatibility with surrounding uses. Whether and the extent to which the proposed amendment is compatible with existing and proposed uses surrounding the subject property.

The surrounding area already features a mix of industrial and commercial uses, including warehouses, light manufacturing, and retail businesses. The proposed C2 zoning for our property will maintain compatibility with the existing character of the neighborhood. Moreover, the warehouse and equipment parking proposed will minimize any potential negative impacts on surrounding properties.

c) Changed Conditions. Whether and the extent to which there are changed conditions, trends or facts that require an amendment.

While the current zoning is R20, the City's Comprehensive Plan has clearly designated this area for C2 zoning, recognizing the changed conditions and the need to accommodate industrial and commercial development. This rezoning would reflect the city's long-term vision for this area and its economic potential.

d) Public Interest. Whether and the extent to which the proposed amendment would result in a logical and development pattern that benefits the surrounding neighborhood, is in the public interest and promotes public health, safety and general welfare.

While the proposed rezoning may not directly result in job creation through traditional employment, it will still serve the public interest in several ways:

Facilitates Property Owner's Economic Activity:

*The rezoning allows the property owner to utilize their property for a legitimate business purpose, generating income and contributing to the local economy.

*Preserves and Protects Assets: The warehouse will be used for the storage and parking of essential equipment, ensuring its protection and availability for future use. This benefits both the property owner and potentially their clients or customers who rely on these assets.

*Promotes Orderly Development: The proposed use is compatible with the surrounding area and aligns with the city's vision for the designated zone, contributing to a well-planned and organized community.

e) Public facilities. Whether and to the extent which adequate public facilities and services such as water supply, wastewater treatment, fire and police protection and transportation are available to support the proposed amendment.

The property is located within reach of adequate public facilities such as water supply, wastewater treatment, fire and police protection, and transportation infrastructure. These facilities are capable of supporting the proposed C2 zoning and the associated development.

f) Effect on natural environment. Whether and the extent to which the proposed amendment would result in significantly adverse impacts on the natural environment including but not limited to water, air, noise, stormwater management, streams, vegetation, wetlands and wildlife.

The proposed development will be designed with a strong emphasis on environmental sustainability. We will implement measures to minimize any potential adverse impacts on the natural environment, including:

- * Stormwater management systems to control runoff and protect water quality.
- * Landscaping and green space to mitigate noise and air pollution.
- * Energy-efficient building practices to reduce the environmental footprint.
- * Un-Occupied Warehouse which will limit noise concerns.

Highway Mixed Use as the proposed zoning district for this property. CHMU permits a range of commercial uses and residential uses (up to 12 units/acre) and includes design standards for all uses other than single-family and two-family (per State Statute). As a standard rezoning, all uses would be permitted if approved. In 2011, City planning staff brought forward a proposal for the creation of the Commercial Highway Mixed Use District. Additionally, City Council created the Upward Road Planning District in line with the City's sewer extension policy. A map of the Upward Road Planning District is attached in your packet.

PROJECT/PETITIONER NUMBER:	25-10-RZO
PETITIONER NAME:	<ul style="list-style-type: none">o City of Hendersonville [Applicant]o LBH Property Holdings LLC [Owner]
ATTACHMENTS:	<ol style="list-style-type: none">1. Staff Report2. Comprehensive Plan Consistency Worksheet3. Draft Ordinance4. Proposed Zoning Map5. Upward Road Planning District Map

STANDARD REZONING: LBH Property Holdings LLC (Lyndon Hill) (25-10-RZO)

CITY OF HENDERSONVILLE - COMMUNITY DEVELOPMENT STAFF REPORT

PROJECT SUMMARY 4
EXISTING ZONING & LAND USE 5
SITE IMAGES 6
FUTURE LAND USE 7
REZONING ANALYSIS – COMPREHENSIVE PLAN CONSISTENCY 8
DRAFT COMPREHENSIVE PLAN CONSISTENCY AND REZONING REASONABLENESS STATEMENT 9



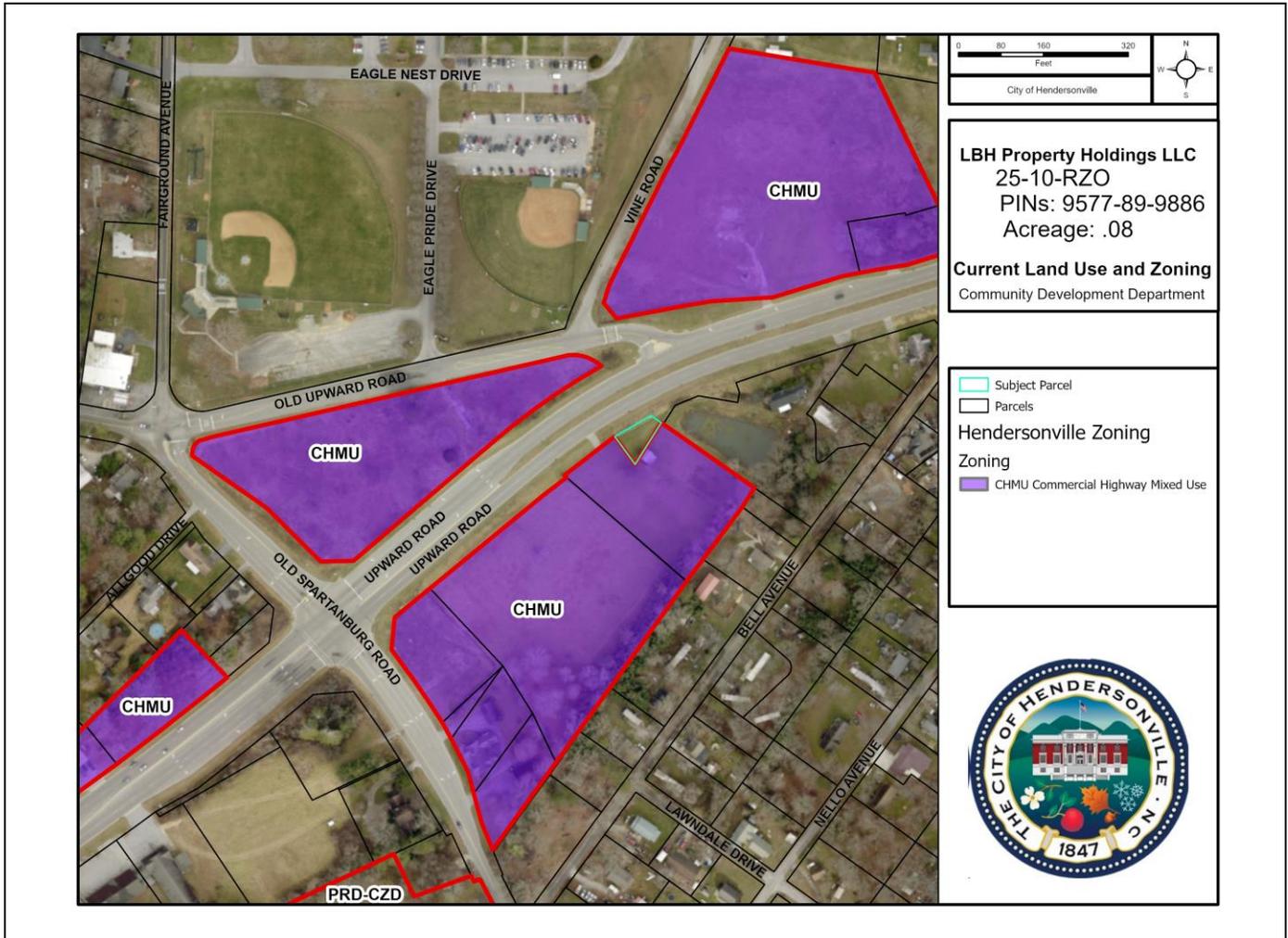
- Project Name & Case #:
 - LBH Property Holdings LLC (Lyndon Hill)
 - 25-10-RZO
- Applicant & Property Owner:
 - City of Hendersonville [Applicant]
 - LBH Property Holdings LLC [Owner]
- Property Address:
 - 0 Upward Road
- Project Acreage:
 - .08 Acres
- Parcel Identification (PINS):
 - 9577-89-9886
- Current Parcel Zoning:
 - Henderson County CC
- Proposed Zoning District:
 - City of Hendersonville Central Highway Mixed Use
- Future Land Use Designation:
 - Mixed Use - Commercial



SITE VICINITY MAP

The City of Hendersonville approved an annexation petition from Lyndon Hill (property owners) for one parcel totaling .08 acres located along Upward Road. The applicant did not request zoning, therefore the City is initiating zoning. The County zoning remains in effect until municipal zoning is applied or a period of 60 days has elapsed after annexation. The City is proposing Central Highway Mixed Use as the proposed zoning district for this property. CHMU permits a range of commercial uses and residential uses (up to 12 units/acre) and includes design standards for all uses other than single-family and two-family (per State Statute). As a standard rezoning, all uses would be permitted if approved. In 2011, City planning staff brought forward a proposal for the creation of the Commercial Highway Mixed Use District. Additionally, City Council created the Upward Road Planning District in line with the City's sewer extension policy. A map of the Upward Road Planning District is attached in your packet.

EXISTING ZONING & LAND USE



City of Hendersonville Current Zoning & Land Use Map

The subject property was recently annexed into the City. Previously the parcel was zoned Henderson County Community Commercial (CC). The adjacent parcels within city limits are all zoned Commercial Highway Mixed Use (CHMU). The City zoned uses within close proximity include a fast food restaurant, the future site of a religious institution, and the future site of a convenience store with gasoline sales.

The County zoning in this area is predominantly Community Commercial (CC) along this stretch of Upward Road and Residential One (RI) further setback from Upward Rd. The intent of the CC zoning district is to “to allow for commercial development that includes a variety of retail sales and services, public and private administrations, offices and all other uses done primarily for sale or profit on the local and community level”. The RI zoning is intended to “allow for medium to high-density residential development”. East Henderson High School is zoned Office and Institutional and is the only parcel with this classification near the subject property.

SITE IMAGES

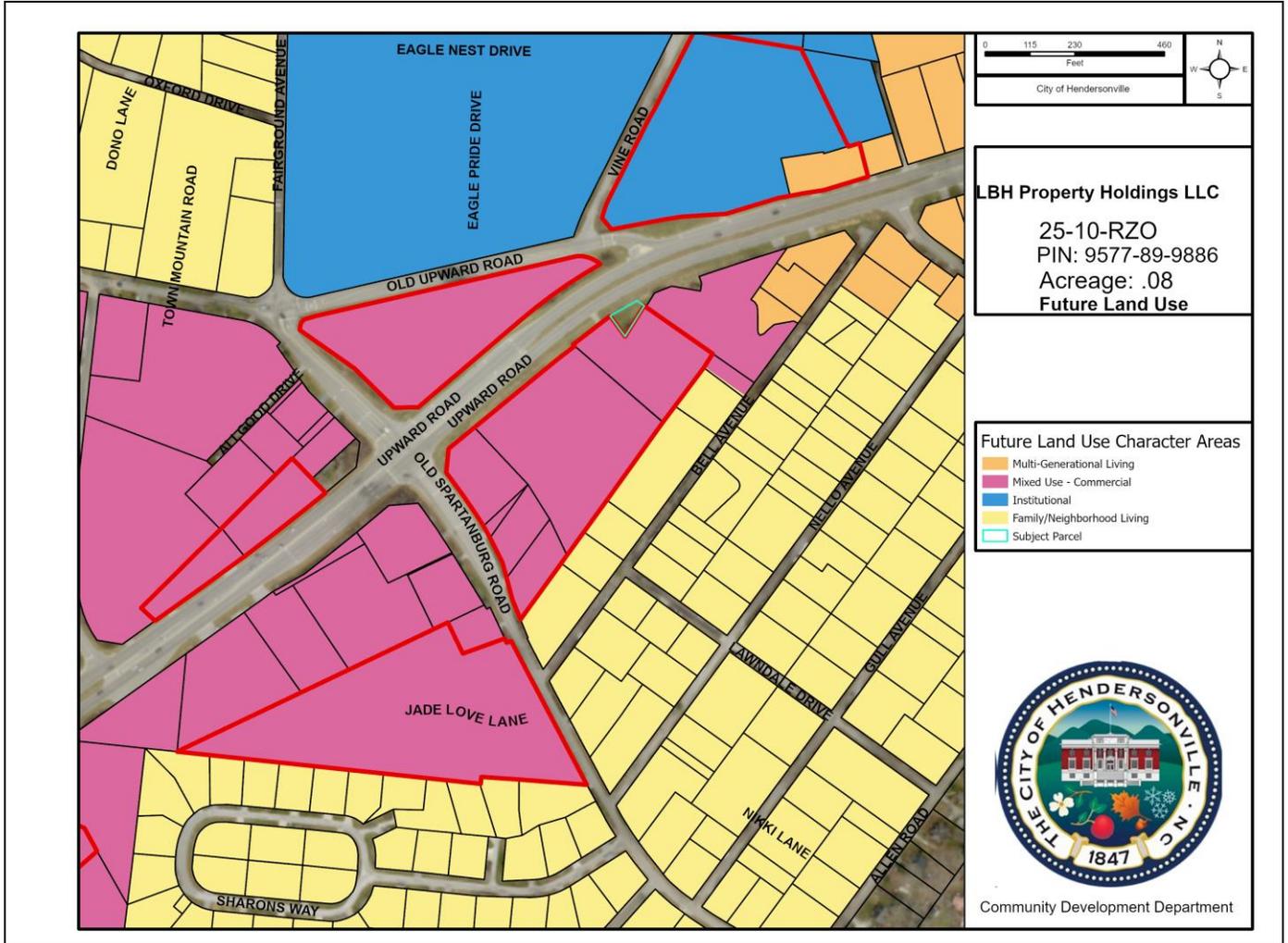


View of property looking toward Upward Road.



View of small pond that sits adjacent to property.

FUTURE LAND USE



City of Hendersonville Future Land Use Map

The subject property was excluded from the City’s Gen H Comprehensive Plan Future Land Use Map. The surrounding properties are designated Mix Use – Commercial. Parcels to the south are designed Family/Neighborhood Living. Parcels to the North are designated institutional. Parcels to the east along Upward Road are designated Multi-Generational Living.

The City has proposed language in the motion to designate this property as Mixed Use – Commercial on the Future Land Use Map in line with properties directly adjacent to the subject property.

REZONING ANALYSIS – COMPREHENSIVE PLAN CONSISTENCY

GENERAL REZONING STANDARDS: COMPREHENSIVE PLAN CONSISTENCY	
<p>The subject property was excluded from the analysis area for the Future Land Use Map, however, staff analyzed the property as if it were classified as “Mixed Use – Commercial” due to the classification of adjacent properties <i>and</i> because staff is recommending the property be designated as such.</p>	
<p>1) COMPREHENSIVE PLAN CONSISTENCY</p>	<p><u>LAND SUPPLY, SUITABILITY & INTENSITY</u> The subject property is <u>not</u> located on a vacant or underutilized property in the Land Supply Map and therefore is not ranked for Suitability for Residential, Commercial and Industrial uses. The subject property is located in an area designated as “High” for Development Intensity. The subject property is not located in one of the the 5 Focus Areas. The subject property is located in a Focused Intensity Node. A Focused Intensity Node is classified as: “Concentration of more intense development are envisioned for key nodes where ‘Mixed-Use Commercial Center (MU-C)’ character areas are delineated on the Future Land Use Map. These nodes are intended to be the largest activity centers outside of downtown and support a broad range of compatible uses.”</p>
	<p><u>FUTURE LAND USE & CONSERVATION MAP</u> Character Area Designation: Mixed Use - Commercial Character Area Description: Consistent Zoning Crosswalk: Consistent Focus Area Map: NA</p>
<p>2) COMPATIBILITY</p>	<p><i>Whether and the extent to which the proposed amendment is compatible with existing and proposed uses surrounding the subject property</i></p>
	<p>In addition to a general analysis of the existing conditions, staff has utilized the Gen H Comprehensive Plan as a guide for further evaluating issues related to “compatibility”. The analysis below includes an assessment of how the project aligns with the overall Goals and overarching Guiding Principles found in Chapter IV of the Gen H Plan.</p>
	<p><u>EXISTING CONDITIONS</u> The subject property is a .08 acre parcel, that was acquired by the owners from NCDOT. The parcel is currently vacant.</p>
	<p><u>GEN H COMPREHENSIVE PLAN GOALS</u> (Chapter IV) Vibrant Neighborhoods: Consistent Abundant Housing Choices: N/A Healthy and Accessible Natural Environment: Consistent Authentic Community Character: N/A Safe Streets and Trails: Consistent Reliable & Accessible Utility Services: Consistent Satisfying Work Opportunities: N/A Welcoming & Inclusive Community: N/A Accessible & Available Community Uses and Services: Consistent</p>

	<p>Resilient Community: N/A</p> <hr/> <p>GEN H COMPREHENSIVE PLAN GUIDING PRINCIPLES (Chapter IV)</p> <p>Mix of Uses: Consistent</p> <p>Compact Development: Consistent</p> <p>Sense of Place: Consistent</p> <p>Conserved & Integrated Open Spaces: Consistent</p> <p>Desirable & Affordable Housing: Consistent</p> <p>Connectivity: Consistent</p> <p>Efficient & Accessible Infrastructure: Consistent</p> <hr/> <p>DESIGN GUIDELINES ASSESSMENT – N/A</p>
<p>3) Changed Conditions</p>	<p>Whether and the extent to which there are changed conditions, trends or facts that require an amendment -</p> <hr/> <p>The adjacent property was annexed into the city in 2024. The current property was annexed into the City in February 2025.</p>
<p>4) Public Interest</p>	<p>Whether and the extent to which the proposed amendment would result in a logical and orderly development pattern that benefits the surrounding neighborhood, is in the public interest and promotes public health, safety and general welfare -</p> <hr/> <p>Rezoning to this zoning district will enable this corridor to be developed in the same zoning district over time, ensuring cohesive progression of development.</p>
<p>5) Public Facilities</p>	<p>Whether and the extent to which adequate public facilities and services such as water supply, wastewater treatment, fire and police protection and transportation are available to support the proposed amendment</p> <hr/> <p>The current property will have the opportunity to connect to City water and sewer and will be required to establish public sidewalks.</p>
<p>6) Effect on Natural Environment</p>	<p>Whether and the extent to which the proposed amendment would result in significantly adverse impacts on the natural environment including but not limited to water, air, noise, storm water management, streams, vegetation, wetlands and wildlife -</p> <hr/> <p>The subject property and the adjacent property is part of a single project to be developed as a commercial building. The development must comply with all the City of Hendersonville zoning ordinance provisions regarding the protection of the natural environment.</p>

DRAFT COMPREHENSIVE PLAN CONSISTENCY AND REZONING REASONABLENESS STATEMENT

The petition is found to be **consistent** with the City of Hendersonville Gen H Comprehensive Plan based on the information from the staff analysis and the public hearing, and because:

The proposed zoning of CHMU aligns with the Gen H 2045 Comprehensive Plan Future Land Use & Conservation Map and the Character Area Description for 'Mixed Use - Commercial'.

We [**find/do not find**] this petition to be reasonable and in the public interest based on the information from the staff analysis and the public hearing, and because:

DRAFT [Rationale for Approval]

- *Commercial Highway Mixed Use is the zoning district established for the Upward Road Planning Area.*
- *The Commercial Highway Mixed Use zoning district is well suited to achieve the goals of the Comprehensive Plan for this area.*

DRAFT [Rational for Denial]

- *CHMU Zoning is inconsistent with the character of the surrounding area.*

329 Signal Hill Rd - RCT to C-2 P24-71-RZO		
Chapter 4 - The Vision for the Future	Consistent	Inconsistent
SUPPLY, SUITABILITY, & INTENSITY		
LAND SUPPLY MAP (Pg. 81, Figure 4.4)	NA	NA
LAND SUITABILITY MAP (Pg. 84-86, Figure 4.5-4.7)	NA	NA
DEVELOPMENT INTENSITY MAP (Pg. 89, Figure 4.9)	Consistent	
FUTURE LAND USE & CONSERVATION MAP		
Future Land Use and Conservation Map (Note classification here, Pg. 117, Figure 4.12)	Mixed Use - Commercial	
Character Area Description (Pg. 122-131)	Consistent	
Zoning Crosswalk (Pg. 132-133, Figure 4.18)	Consistent	
Focus Area Map (Pg. 134-159)	NA	NA

Chapter 4 - The Vision for the Future	Consistent
GOALS	
<u>Vibrant Neighborhoods (Pg. 93)</u>	
Promote lively neighborhoods that increase local safety.	Consistent
Enable well-maintained homes, streets, and public spaces.	Consistent
Promote diversity of ages (stage of life), income levels, and a range of interests.	Consistent
The design allows people to connect to nearby destinations, amenities, and services.	Consistent
<u>Abundant Housing Choices (Pg. 93)</u>	
Housing provided meets the need of current and future residents.	NA
Range of housing types provided to help maintain affordability in Hendersonville.	NA
Housing condition/quality exceeds minimum standards citywide	NA
<u>Healthy and Accessible Natural Environment (Pg. 94)</u>	
Recreational (active and passive) open spaces are incorporated into the development.	Consistent
Water quality is improved with the conservation of natural areas that serve as filters and soil stabilizers.	Consistent
Natural system capacity (floodplains for stormwater; habitats to support flora/fauna; tree canopy for air quality, stormwater management, and microclimate) is maintained.	Consistent
Development is compact (infill/redevelopment) to minimize the ecological footprint.	Consistent
New development respects working landscapes (e.g., orchards, managed forests), minimizing encroachment.	Consistent
<u>Authentic Community Character (Pg. 94)</u>	
Downtown remains the heart of the community and the focal point of civic activity	NA
A development near a gateway sets the tone, presenting the image/brand of the community.	NA
Historic preservation is utilized to maintain the city's identity.	NA
City Centers and neighborhoods are preserved through quality development.	NA
<u>Safe Streets and Trails (Pg. 95)</u>	
Interconnectivity is promoted between existing neighborhoods through the building out of street networks, including retrofits and interconnectivity of new developments.	Consistent
Access is increased for all residents through the provision of facilities that promote safe walking, biking, transit, automobile, ride share, and bike share.	Consistent
Design embraces the principles of walkable development.	Consistent
<u>Reliable & Accessible Utility Services</u>	
Wastewater treatment (service and capacity) adequately serves existing and future development	Consistent
A compact service area (infill, redevelopment) maximizes the utilization of existing infrastructure and feasible service delivery.	Consistent
<u>Satisfying Work Opportunities (pg. 96)</u>	
The development promotes quality job options.	NA

The lives of residents are enriched with opportunities to learn, build skills, and grow professionally.	NA
Welcoming & Inclusive Community	
Accessibility exceeds minimum standards of ADA, fostering residents' and visitors' sense of belonging.	NA
An inviting public realm (i.e., parks, public buildings) reflects the attitudes of city residents and leaders, and helps residents develop a sense of place and attachment to Hendersonville.	NA
Accessible & Available Community Uses and Services (Pg. 97)	
Private development is plentiful, meeting the demands of current and future populations.	Consistent
Resilient Community	
N/A	
GUIDING PRINCIPALS (pg. 98)	
Mix of Uses (Pg. 98)	
Revitalization of Outdated Commercial Areas	NA
New business and office space promotes creative hubs.	Consistent
Compact Development (Pg. 100)	
Development is consistent with efforts in the area to establish 15-minute neighborhoods.	Consistent
The infill project is context sensitive [Small Infill Site].	NA
Sense of Place (Pg. 102)	
The development contributes to Hendersonville's character and the creation of a sense of place through its architecture and landscape elements. [Placekeeping and Placemaking and 3rd Places]	Consistent
Conserved & Integrated Open Spaces (Pg. 106)	
A diverse range of open space elements are incorporated into the development.	Consistent
Desirable & Affordable Housing (Pg. 108)	
Missing middle housing concepts are used in the development.	Consistent
Connectivity (Pg. 112)	
The development encourages multimodal design solutions to enhance mobility.	Consistent
Efficient & Accessible Infrastructure (Pg. 114)	
The development utilizes existing infrastructure	Consistent

Ordinance # ____ - ____

AN ORDINANCE OF THE CITY OF HENDERSONVILLE CITY COUNCIL TO AMEND THE OFFICIAL ZONING MAP OF THE CITY OF HENDERSONVILLE FOR A CERTAIN PARCEL (POSSESSING PIN NUMBER 9577-89-9886) BY CHANGING THE ZONING DESIGNATION FROM HENDERSON COUNTY CC (COMMUNITY COMMERCIAL) ZONING DISTRICT TO CITY OF HENDERSONVILLE CHMU (COMMERCIAL HIGHWAY MIXED USE) ZONING DISTRICT

IN RE: Parcel Numbers: 9577-89-9886
LBH Property Holdings LLC (File # 25-10-RZO)

WHEREAS, the Planning Board took up this application at its regular meeting on March 13th, 2025; voting [redacted] to recommend City Council adopt an ordinance amending the official zoning map of the City of Hendersonville, and

WHEREAS, City Council took up this application at its regular meeting on April 3rd, 2025, and

WHEREAS, City Council has found that this zoning map amendment is consistent with the City’s comprehensive plan, and that it is reasonable and in the public interest for the reasons stated, and

WHEREAS, City Council has conducted a public hearing as required by the North Carolina General Statutes on April 3rd, 2025,

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Hendersonville, North Carolina:

1. Pursuant to Article XI of the Zoning Ordinance of the City of Hendersonville, North Carolina, the Zoning Map is hereby amended by changing the zoning designation of the following: Parcel Number: 9577-89-9886 from Henderson County CC (Community Commercial) Zoning District to City of Hendersonville CHMU (Commercial Highway Mixed Use) Zoning District.
2. Any development of this parcel shall occur in accordance with the Zoning Ordinance of the City of Hendersonville, North Carolina.
3. The City Council designates the property as Mixed Use – Commercial in the City’s adopted Future Land Use Map.
3. This ordinance shall be in full force and effect from and after the date of its adoption.

Adopted this 3rd day of April 2025.

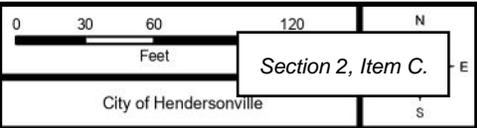
Attest:

Barbara G. Volk, Mayor, City of Hendersonville

Jill Murray, City Clerk

Approved as to form:

Angela S. Beeker, City Attorney

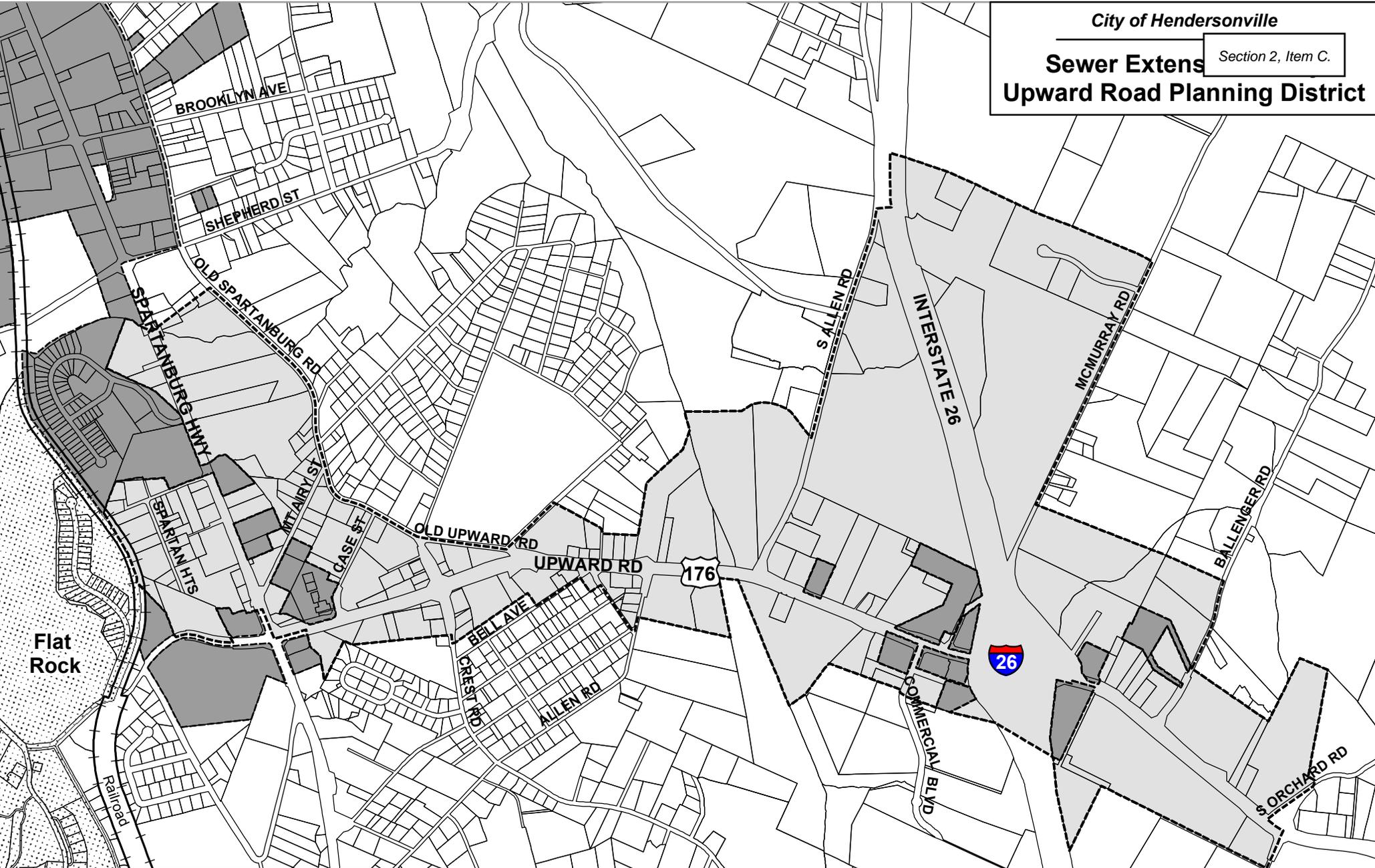


LBH Property Holdings LLC
25-10-RZO
PINs: 9577-89-9886
Acreage: .08
Proposed Zoning
 Community Development Department

-  Proposed Zoning - CHMU
 -  Parcels
- Hendersonville Zoning**
- Zoning
-  CHMU Commercial Highway Mixed Use



City of Hendersonville
Sewer Extension Section 2, Item C.
Upward Road Planning District



Legend

- Upward Road Planning District
- Hendersonville City Limits
- Flat Rock Limits
- Railroad
- Parcels

Not to scale