



CITY OF HENDERSONVILLE HISTORIC PRESERVATION COMMISSION

Operations Center - Assembly Room | 305 Williams St. | Hendersonville NC 28792
Wednesday, October 20, 2021 – 5:00 PM

AGENDA

1. **CALL TO ORDER**

2. **APPROVAL OF AGENDA**

3. **APPROVAL OF MINUTES**

A. Minutes of the September 15, 2021 meeting

4. **NEW BUSINESS**

A. 0 Hyman Ave (adjacent to 1248 Hyman Ave) – New Construction (H21-29-COA) – *Matthew Manley, AICP | Planning Manager*

5. **OLD BUSINESS**

6. **OTHER BUSINESS**

A. Demolition by Neglect - 1420 Ridgecrest Dr - Consideration of Petition to the City | *Matthew Manley, AICP - Planning Manager*

7. **ADJOURNMENT**

The City of Hendersonville is committed to providing accessible facilities, programs and services for all people in compliance with the Americans with Disabilities Act (ADA). Should you need assistance or an accommodation for this meeting please contact the City Clerk no later than 24 hours prior to the meeting at 697-3005.

CITY OF HENDERSONVILLE
Historic Preservation Commission

Minutes of the Regular Meeting of September 15, 2021

Commissioners Present: Cheryl Jones, (Chair), Chris Barron, Sam Hayes, Derek Cote, Chuck Reed (Vice-Chair)

Commissioners Absent: Ralph Hammond-Green

Staff Present: Matthew Manley, Planning Manager/Commission Coordinator, Terri Swann, Administrative Assistant III

- I **Call to Order.** Chair called this meeting of the Hendersonville Historic Preservation Commission to order at 5:04 pm.
- II **Agenda.** On motion of Commissioner Reed and seconded by Commissioner Cote; the Commission approved the agenda.
- III **Minutes.** On motion of Commissioner Cote seconded by Commissioner Barron the minutes of the Regular meeting of August 18, 2021 were approved.
- IV(A) **Certificate of Appropriateness,** HVL Property Holdings LLC/Katie Montes, applicant, 147 1st Avenue East Unit C, (File No. H21-27-COA). Prior to the opening of the public hearing, Chair announced that any persons desiring to testify at any of the public hearings must first be sworn as witnesses and will be subject to cross-examination by parties or persons whose position may be contrary to yours. A copy of the protocol for a quasi-judicial hearing is provided on the back table next to the agenda. Since this is a quasi-judicial hearing, it is very important that we have an accurate record of what goes on. Therefore, we must ask that you refrain from speaking until recognized by the Chair and, when recognized, come forward to the podium and begin by stating your name and address. Anyone who wishes to testify during the public hearings should come forward to be sworn in. Chair swore in all potential witnesses.

Mr. Manley stated the applicant is not here, but she was notified of the hearing.

Mr. Manley gave the following analysis:

The Community Development Department is in receipt of an application for a Certificate of Appropriateness permit from Katie Montes to undertake the following work at the above referenced property:

1. Replace garage door with roll-up, glass garage door.

The proposal is to replace the current opaque garage door with a roll-up, glass garage door. The date of construction of this building was 1901 and it was considered "contributing". Apparent renovations to the exterior of Unit C have occurred since the inventory was compiled.

Mr. Manley stated the applicant has done a lot of work at this location. It is on the edge of the historic district. The door was approved on the same building, just a separate unit. They have also repainted and were approved for a lighted sign. A lot of improvements have been done.

They are proposing to replace an existing garage door with a glass aluminum framed 16' x 14' garage door, the glass is proposed to be tinted. The door that was approved last month, all of that has been painted black so that whole stretch of the building will be consistent.

Mr. Manley showed other examples of doors around town that have been approved.

Mr. Manley showed the Storefront Guidelines with an emphasis on .7 – *When original or early storefronts no longer exist or are too deteriorated to save, retain the commercial character of the building through contemporary design which is compatible with the scale, design, materials, color and texture of the historic buildings.* The current door is a replacement door and not from 1910 when the building was constructed.

Mr. Manley also referenced guideline .8 – *The use of reflective or highly tinted glass is discouraged.* They are proposing a tinted glass, he would prefer that the applicant be here but his understanding from the applicant is that the tinted glass in their opinion would not be highly tinted, but it is necessary to help protect from the sun and protect the artwork that is in the building. Their only other alternative would be to put some kind of curtain up behind it which essentially would really diminish the transparency. The goal of the reduction in the tinted glass is to maintain transparency along the pedestrian level and to create a visually interesting experience for folks in the historic district. You have to gage which would be worse, something that is tinted, and you can still see through or something that completely blocks the view.

Mr. Manley stated guideline .10 – *It is not appropriate to introduce new windows or doors if they would diminish the original design of the building or damage historic materials and features. Keep new windows and doors compatible with existing units in proportion, shape, location, size materials and details.* They are proposing to fill that entire space. The materials are in line with appropriate materials in the historic district. They are not creating any new openings.

Mr. Manley presented suggested motions to the Commission for approval and denial.

Chair asked if there were any questions for staff.

Commissioner Cote stated his only question to the applicant if they were here would be can they specify the level of tinting they are talking about. He has driven by when they are open, and it looks like they have the door open all the time. Mr. Manley suggested setting a condition in the approval relating to the tinting.

Chair stated Moe's is tinted and as far as she knows it is the only one on Main Street. Mr. Manley thought Oklawaha Brewing was tinted but it is not on Main Street. Chair asked if they could use another property in the district as a comparison. The Commission did approve the tinting on the windows at Moe's due to the southern orientation of the building and if this tinting is not darker than Moe's and staff could make that distinction. Mr. Manley stated that would be a good way to go.

Chair discussed the Tint Barn that was located at the corner of 6th Avenue and Main Street, they were a tinting business and they blacked out their windows where you couldn't see anything and that is what brought tinting into discussion. That is when the Commission started asking for removable peelings, which is what Moe's ended up doing. Moe's brought in comparison pieces with the part that was in the sun and the part that wasn't and what it had done to it in six months. They lost half their dining room because you could not sit out there, even with the curtains it was so hot. That is how they approached it, if they had other southern facings, this is what they allowed on there and you could still see through it.

Commissioner Cote asked if they wanted to be able to see through it and it not be black. Chair stated the idea is to maintain the original storefronts and they remain visible so that you can see inside. That is what the guidelines state. Mr. Manley stated the guidelines read highly tinted is inappropriate.

There were no further questions for staff.

Chair closed the public hearing. The Commission discussed how to include tinting in the motion.

Commissioner Reed moved the Commission find as fact that the proposed application for a Certificate of Appropriateness, as identified in file #H21-27-COA, if installed according to the information reviewed at this hearing and, with any representations made by the applicant on record of this hearing, is not incongruous with the character of the Main Street Historic District for the following reasons: 3.1 Storefronts: Storefront guideline .7, at the site of the proposed project the original or early storefronts no longer exist and the proposed project will retain the commercial character of the building through contemporary design which is compatible with the scale, design, materials, color and texture of the historic building. Additionally, the proposed door aligns with 3.4.2 Windows and Doors, Guideline .10 because the proposed project does not introduce new windows or doors that would diminish the original design of the building or damage historic materials and features and does keep new windows and doors compatible with existing units in proportion, shape, location, size materials and details. Chair moved to amend the motion to include the condition that the level of tinting on the windows and the door will maintain a level of transparency consistent with the applicable guidelines including 3.4.2.8 but not limited there to and that the windows will be comparable in the tinting to those currently at Moe's Barbeque and also Oklawaha Brewing. Commissioner Barron seconded the motion which passed unanimously.

- V **Approval of Findings of Fact.** Chair stated the Findings of Fact for H21-20-COA, H21-21-COA, H21-22-COA and H21-24-COA needed to be approved.

Commissioner Reed moved the Commission to approve the Findings of Fact for H21-20-COA, H21-21-COA, H21-22-COA and H21-24-COA. Commissioner Cote seconded the motion which passed unanimously.

- VI(A) **Staff update on approved COA's.** Mr. Manley stated there were no staff approved COA's this month.
- VI(B) **Update on African American History efforts.** Commissioner Hayes attended a meeting that was more broad than just 7th Avenue. There were no specific landmark buildings mentioned. Chair stated it would be helpful to have a list of landmark buildings in the 7th Avenue District. Commissioner Hayes mentioned historical signs and plaques. Chair stated they can look at HPC funds for this. Mr. Manley

stated several sites are now gone but they could have recognition of those places somehow. Chair suggested a map like the walking tour map. The next meeting will be Thursday at 4:00pm. Chair suggested getting an idea of what they want or would like to do.

- VI(C) **Demolition by Neglect – Update on 1420 Ridgecrest Drive.** Mr. Manley showed a timeline of this property. The complaints go back 15 years. It was dormant for about 8 years. Inspections have been done along with updates to staff. Staff did receive a complaint concerning a fallen tree and landscaping issues. There have not been any steps taken since 2018. The City Code under Historic Preservation talks about Demo by Neglect Standards. Mr. Manley is not sure they have the documentation to do enforcement for the remedy of the property and with a new City Attorney he feels like the process would have to start over again. The property owner has mentioned selling the property. Chair discussed deferring any action until the end of the year. Mr. Manley stated he would go out to the property and do an inspection on Friday and include his findings on the next agenda.
- VII **Adjournment. The Chair adjourned the meeting at 5:53 p.m.**

Chair



CITY OF HENDERSONVILLE AGENDA ITEM SUMMARY PLANNING DIVISION



SUBMITTER: Matthew Manley, Planning Manager **MEETING DATE:** October 20, 2021

AGENDA SECTION: New Business **DEPARTMENT:** Community Development

TITLE OF ITEM: 0 Hyman Ave (adjacent to 1248 Hyman Ave) – New Construction (H21-29-COA) – Matthew Manley, AICP | Planning Manager

SUGGESTED MOTION(S):

1. <u>For Recommending Approval:</u> <i>I move the Commission to find as fact that the proposed application for a Certificate of Appropriateness, as identified in file # H21-29-COA, if constructed according to the information reviewed at this hearing and, with any representations made by the applicant on record of this hearing, is not incongruous with the character of the Hyman Heights Local Historic District and aligns with the City of Hendersonville's Design Standards for the following reasons: The proposal by the applicant satisfies each of the 10 standards listed in Section 4, Subsection 4.3 - New Construction.</i>	2. <u>For Recommending Denial:</u> <i>I move the Commission to find as fact that the proposed application for a Certificate of Appropriateness, as identified in file # H21-29-COA, if constructed according to the information reviewed at this hearing and, with any representations made by the applicant on record of this hearing, is incongruous with the character of the Hyman Heights Local Historic District and does not align with the City of Hendersonville's Design Standards for the following reasons:: {INSERT REASON FOR DENIAL}</i>
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SUMMARY:

The City is in receipt of a Certificate of Appropriateness application for a new house on a newly created lot adjacent to 1249 Hyman Ave for the. The proposal is to construct a 1,568 Sq Ft 3 bedroom / 2 bathroom home.

For additional detail, please see the attached staff report prepared for the HPC.

PROJECT/PETITIONER NUMBER:	H21-29-COA
PETITIONER NAME:	JMK Builders / Justic Kleep
ATTACHMENTS:	1. Staff Report 2. COA Application 3. Owner Signature Addendum 4. Site Plan 5. Initial Submittal 9/13/21 6. Survey / Subdivision Plat 7. DRAC Minutes

0 Hyman Ave – New Residential Construction

CITY OF HENDERSONVILLE - COMMUNITY DEVELOPMENT - HISTORIC PRESERVATION

COA STAFF REPORT

Staff Report Contents

PROJECT SUMMARY	2
SITE VICINITY MAP	2
CITY OF HENDERSONVILLE – HYMAN HEIGHTS HISTORIC DISTRICT MAP	3
ILLUSTRATIONS SUBMITTED BY APPLICANT:	4
DESIGN GUIDELINES CRITERIA	9
ATTACHMENTS	10
- Application	10
- Site Plan	10
- Initial Submittal	10
- Survey / Plat	10
- DRAC Minutes	10



PROJECT SUMMARY

Applicant: JMK Builders, LLC. (Justin Kleep)

Property Owner: JMK Builders, LLC. (Justin Kleep)

Property Address: 0 Hyman Ave

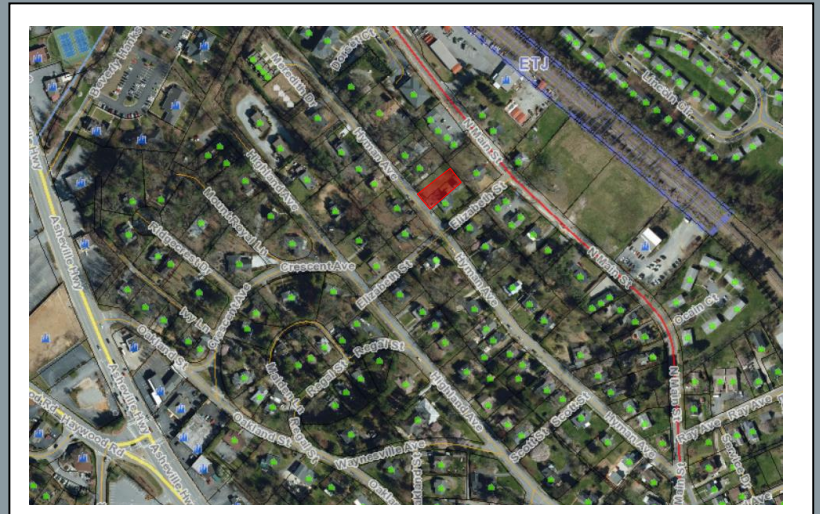
Project Acreage: 0.16 Acres

Parcel Identification Number(s): Portion of 9569-62-9465

Current Parcel Zoning: R-6

Historic District: Hyman Heights

Project Type: Major Work (New Construction of Residential Dwelling)



SITE VICINITY MAP

The City is in receipt of a Certificate of Appropriateness application for a new house on a newly created lot adjacent to 1249 Hyman Ave for the. The proposal is to construct a 1,568 Sq Ft 3 bedroom / 2 bathroom home.

Application | The applicant provided the following details for the construction. The home will feature the following except were modified based on feedback from DRAC:

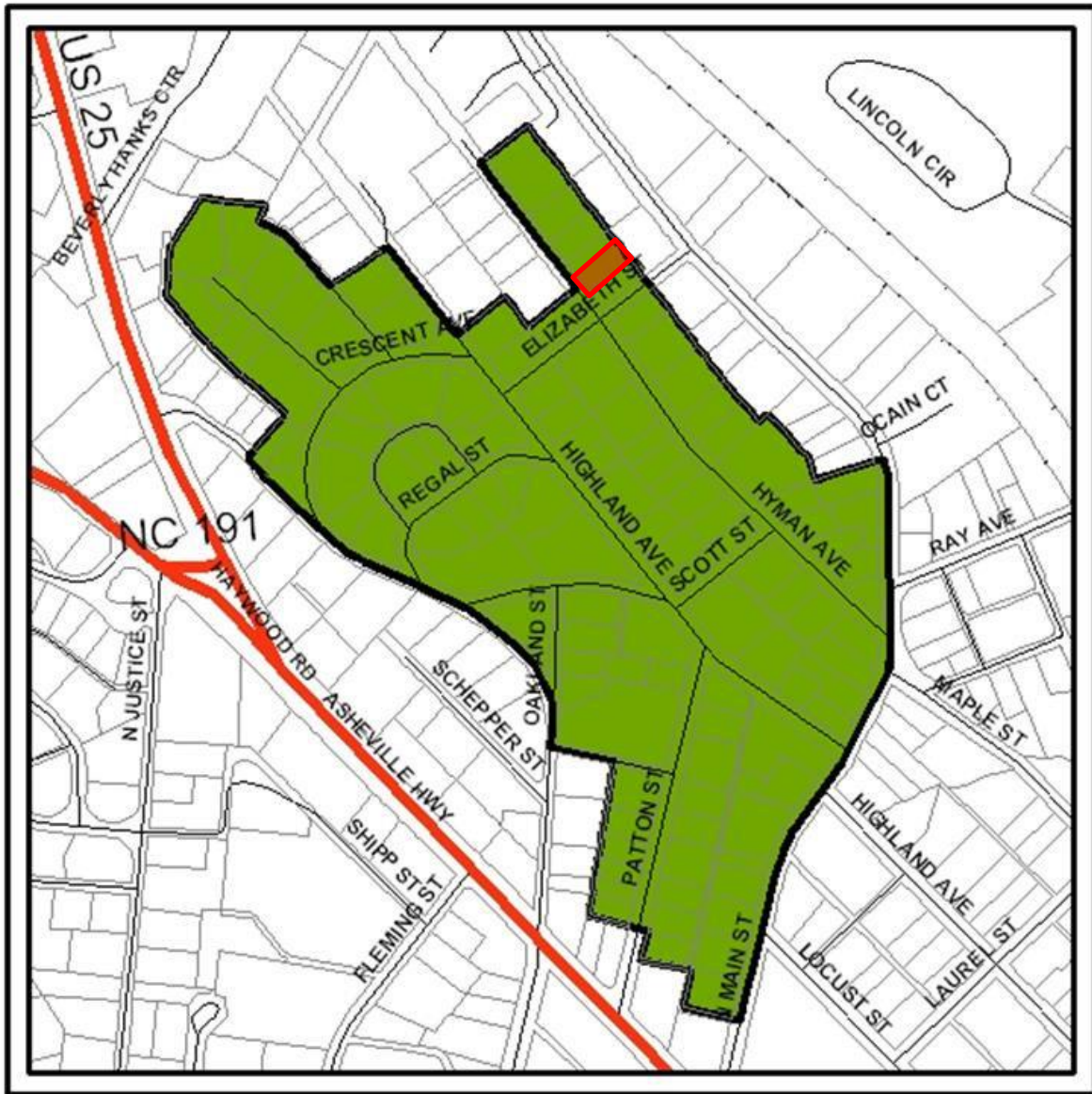
- Aluminum-clad windows
- Hardie Lap Siding with a 6" reveal
- Craftsman style porch columns with stone bases
- Board & Batten in front gables
- 7/12 roof pitch
- Two large mature trees at the front of the site will remain undisturbed.

Design Review Advisory Committee | The following clarifications/modifications were discussed by the DRAC on 10/6:

- Shake siding will not be used
- Board & Batten utilized in both front gables
- Lap Siding will wrap around and utilized on the front walls
- Roof line will be dropped in line with front gable (6/12 pitch)

As of the 1926 Sanborn maps, no home is being shown as ever existing on this vacant piece of land.

PROJECT SUMMARY – CONTINUED



CITY OF HENDERSONVILLE – HYMAN HEIGHTS HISTORIC DISTRICT MAP

ILLUSTRATIONS SUBMITTED BY APPLICANT:

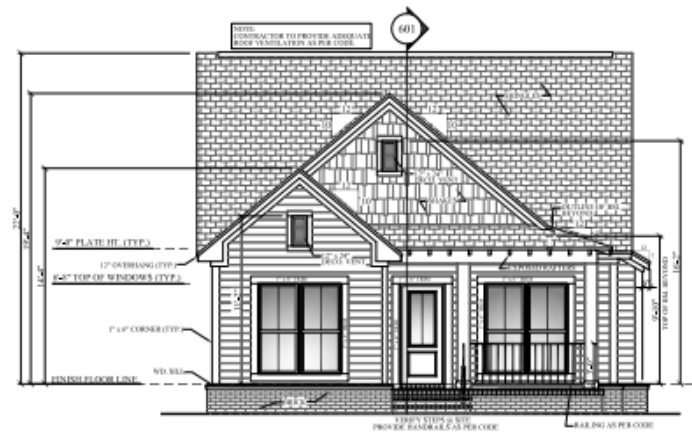




403 **RIGHT VIEW**
SCALE: 1/4" = 1'-0"



405 **TYP. WINDOW CASING**
SCALE: 1/2" = 1'-0"
(UNLESS NOTED OTHERWISE)



401 **FRONT VIEW**
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION NOTES:

1. CONTRACTOR TO VERIFY ALL WINDOW AND DOOR STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION.
2. PROVIDE STEPS AND GUARD RAILS AS PER CODE BASED ON SITE CONDITIONS.
3. GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS.
4. ALL FINISH MATERIALS TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
5. REFER TO TYPICAL WALL DETAIL FOR FRAMING METHODS AND OTHER MISC. INFORMATION.



402 **REAR VIEW**
SCALE: 1/4" = 1'-0"



404 **LEFT VIEW**
SCALE: 1/4" = 1'-0"



1. ALL DIMENSIONS & SITE CONDITIONS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
2. ALL FINISHES (INTERIOR & EXTERIOR) TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
3. ALL DOORS, FLOOR AND WINDOW STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION. MANUFACTURER TO SUPPLY ALL REAR OPENING SIZES.
4. CONTRACTOR TO VERIFY ALL CLEARANCES OF ALL DOORS, WINDOWS AND OTHER ITEMS THAT ARE CRITICAL PRIOR TO CONSTRUCTION.
5. CONTRACTOR TO ADAPT PLANS AS REQUIRED TO MEET ALL APPLICABLE CODES AT SITE.
6. ALL BEAMS TO BE SIZED BY A LICENSED STRUCTURAL ENGINEER.
7. PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE SHALL BE UNSTRUCTURED. THE LATTER 30 INCHES HORIZONTALLY SHALL HAVE GUARDS NOT LESS THAN 36 INCHES IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE HAVE MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36 INCHES IN HEIGHT. GUARDS MEASURED VERTICALLY FROM THE NICK OF THE TREAD. THE GUARD RAIL FENCING SHALL NOT BE CONSIDERED AS A GUARD. IRC 2018, R312.1.1 & R312.1.2.
8. MIDRIS 1/2 APPLIANCES IN ATTICS, ATTICS CONTAINING APPLIANCES SHALL BE PROVIDED WITH AN OPENING AND A CLEAR AND UNSTRUCTURED PASSAGEWAY TO THE FLOOR OR GRADE. THE PASSAGEWAY SHALL BE THE LARGEST APPLIANCE, BUT NOT LESS THAN 30 INCHES HIGH AND 22 INCHES WIDE AND NOT MORE THAN 20 FEET LONG MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE. THE PASSAGEWAY AT LEAST HAS COMEASURABLES SHALL BE A MINIMUM OF INCHES BY 10 INCHES, AND LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE. EXCEPTIONS:
- a. THE PASSAGEWAY AND LEVEL SERVICE SPACE ARE NOT REQUIRED WHERE THE APPLIANCE CAN BE SERVICED AND REMOVED THROUGH THE REQUIRED OPENING.
- b. WHERE THE PASSAGEWAY IS UNSTRUCTURED AND NOT LESS THAN 6 FEET HIGH AND 22 INCHES WIDE FOR ITS ENTIRE LENGTH, THE PASSAGEWAY SHALL BE NOT MORE THAN 50 FEET LONG.
- c. WHERE ACCESS FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT, APPLIANCES SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION, OTHER APPLIANCES, OR ANY OTHER PIPING OR DUCTS NOT PERMITTED TO BE APPLIED TO THE EXTERIOR OF THE BUILDING. IF REPLACED, A LEVEL WORKING SPACE AT LEAST 30 INCHES DEEP AND 36 INCHES WIDE SHALL BE PROVIDED IN FRONT OF THE CONTROL SIDE TO SERVICE AN APPLIANCE. MI 305.1.1.
9. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE BUILDING WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. WINDOW OPERATING CONTROL DEVICES COMPLYING WITH ASTM F 2090 SHALL BE PERMITTED FOR USE ON WINDOWS SERVING AS A REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING. ALL SLEEPING ROOMS SHALL HAVE AN EXTERIOR EXIT WINDOW SERVING AS A WINDOW WITH A MINIMUM OF 5.7 SQUARE FEET NET CLEAR OPENING AS PER IRC 2018 R310.2.1. EXCEPTION: GRADE FLOOR OR BELOW GRADE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET. MAXIMUM SILL FROM THE GRADE OR EXTERIOR FINISH FLOOR SHALL BE 44 INCHES. MINIMUM NET CLEAR OPENING HEIGHT TO BE 24 INCHES. MINIMUM NET CLEAR OPENING WIDTH TO BE 20 INCHES.
10. ALL RETURN AIR GRILLS ARE TO BE LOCATED TO COMPLY WITH SECTION M102 OF THE IRC 2018.
11. ALL SQUARE FOOTAGE MEASUREMENTS APPROXIMATE AND MAY VARY FROM ACTUAL. CONTRACTOR TO MEASURE RESIDENCE OR BUILDING.
12. FIRE SPROKEL SYSTEM TO BE DESIGNED AND INSTALLED (IF REQUIRED BY LOCAL CODES) AS PER THE IRC 2018 AND BY A LICENSED PROFESSIONAL IN THE AREA OF CONSTRUCTION.
13. ALL MECHANICAL EXHAUST AIRS SHALL BE VENTED DIRECTLY TO THE EXTERIOR OF THE HOME AND NOT INTO THE ATTIC. IRC 2018, M1505.2

NOTE: HVAC UNIT TO BE LOCATED IN ATTIC SPACE ABOVE.

FLOOR PLAN

SCALE: 1/4" = 1'-0"

AREAS:	1300	S.F. HEATED
	148	S.F. UNHEATED - SCREEN PORCH
	47	S.F. UNHEATED - STORAGE
	84	S.F. UNHEATED - FRONT PORCH
	279	S.F. UNHEATED - TOTAL
	1579	S.F. TOTAL
	484	S.F. OPTIONAL CARPORT



Photo of Subject Property



Photo of Subject Property

The proposed addition is governed by the *Hendersonville Historic Preservation Commission Design Standards*, which is applied to the City's Residential Historic Districts. Specifically, Section 4 – Additions & New Construction provides the most pertinent guidance for this proposal.

4.3 NEW CONSTRUCTION

- .1 Site new construction to be compatible with surrounding buildings that contribute to the overall character of the historic district in terms of setback, orientation, spacing, and distance from adjacent buildings.
- .2 Design new construction so that the overall character of the site, site topography, character-defining site features, and significant district vistas and views are retained.
- .3 Survey in advance and limit any disturbance to the site's terrain during construction to minimize the possibility of destroying unknown archaeological resources.
- .4 Protect large trees and other significant site features from immediate damage during construction and from delayed damage due to construction activities, such as loss of root area or compaction of the soil by equipment.
- .5 Conform to the pertinent guidelines regarding district character in developing a proposed site plan.
- .6 Design new buildings to be compatible with surrounding buildings that contribute to the overall character of the historic district in terms of height, form, size, scale, massing, proportion and roof shape.
- .7 Design the proportion of the proposed new building's front elevation to be compatible with the front elevation proportion of surrounding historic buildings.
- .8 Design the spacing, placement, scale, orientation, proportion, and size of window and door openings in proposed new construction to be compatible with the surrounding buildings that contribute to the overall character of the historic district.
- .9 Select materials and finishes for proposed new buildings that are compatible with historic materials and finishes found in the historic district in terms of composition, scale, module, pattern, detail, texture, finish and sheen.
- .10 Design new buildings so that they are compatible with but discernible from historic buildings in the district. It is not appropriate to design new buildings that attempt to duplicate historic buildings.

ATTACHMENTS

- Application
- Site Plan
- Initial Submittal
- Survey / Plat
- DRAC Minutes

Entry #: 41

Date Submitted: 9/13/2021 2:30 PM

Date:
9/10/2021Local District/Landmark:
?Address of Property:
"0" Hyman Ave.Property Owner Name:
JMK Builders,LLCAddress
PO Box 731, Etowah, North Carolina 28729Day Phone:
(828) 606-3769Contact Name: (if other than owner)
Justin KleppAddress
PO Box 731, Etowah, North Carolina 28729Phone
(828) 606-3769Email
Jmkbuilders@yahoo.com**Details of proposed work: (attach additional papers if needed).**

New construction. SFD. 1568 Sq. Ft. 3 bed 2 bath. Aluminum clad windows with hardie lap siding and board and barren in front gables. Craftsman porch columns with stone bases. 7/12 roof pitch

Upload attachments here:

Attachments:



Hyman Floor plan.pdf
214.36 KB



Hyman Front Elevation.pdf
102.71 KB



Hyman Site Plan.pdf
1.64 MB



The burden of proof is on the applicant to prove the proposed work is in keeping with the historical character of the historic district. Please list specific reference(s) in the Design Guidelines that support your application.

Aluminum clad windows. Hardie lap siding on walls with board and batten/shake siding in gables. Stone columns on front porch at 1/2 post height with flared craftsman column wrap remainder of way. 7/12 roof pitch. earthtone or grey siding color proposed.

I, the undersigned, certify that all information in this application and in any attachments thereto is accurate to the best of my knowledge. Furthermore, I understand that should a certificate of appropriateness be issued, such certificate will be valid for a period of six months from the date of issuance. Failure to procure a building permit within that period will be considered as failure to comply with the certificate, and the certificate will become invalid. If a building permit is not required, the authorized work must be completed within six months. Certificates can be extended for six months by requesting an extension in writing prior to their expiration from the Commission Coordinator.

Owner's Signature:

Email

jmkbuilders@yahoo.com

Item A.

A handwritten signature in black ink, appearing to be 'JMK Builders', written over a horizontal line.

Official Use:

Date Received:

Received By:

City of Hendersonville
General Application
Owner Signature Addendum

Item A.

Application Information

Date of Application 9/14/2021 Application Number _____
Name of Project Hyman Spec Phase # (if subdivision) _____
Parcel Identification Number(s) (PIN) 9569720812

Property Owners: (Signature indicates intent that this page be affixed to Application.)

* ^ Printed Name JMK Builders, LLC

☐ Corporation ☒ Limited Liability Company ☐ Trust ☐ Partnership ☐ Other: _____

☒ By signature below, I hereby acknowledge, as/on behalf of (circle one) the owner my understanding this application will be considered in a quasi-judicial proceeding and that neither I, nor anyone on my behalf, may contact the City Council except through sworn testimony at the public hearing. (Applicable if box is checked.)

Signature _____

Title Owner Email Jmkbuilders@yahoo.com

Address of Property Owner PO Box 731 Etowah, NC

* ^ Printed Name _____

☐ Corporation ☐ Limited Liability Company ☐ Trust ☐ Partnership ☐ Other: _____

☐ By signature below, I hereby acknowledge, as/on behalf of (circle one) the owner my understanding this application will be considered in a quasi-judicial proceeding and that neither I, nor anyone on my behalf, may contact the City Council except through sworn testimony at the public hearing. (Applicable if box is checked.)

Signature _____

Title _____ Email _____

Address of Property Owner _____

* ^ Printed Name _____

☐ Corporation ☐ Limited Liability Company ☐ Trust ☐ Partnership ☐ Other: _____

☐ By signature below, I hereby acknowledge, as/on behalf of (circle one) the owner my understanding this application will be considered in a quasi-judicial proceeding and that neither I, nor anyone on my behalf, may contact the City Council except through sworn testimony at the public hearing. (Applicable if box is checked.)

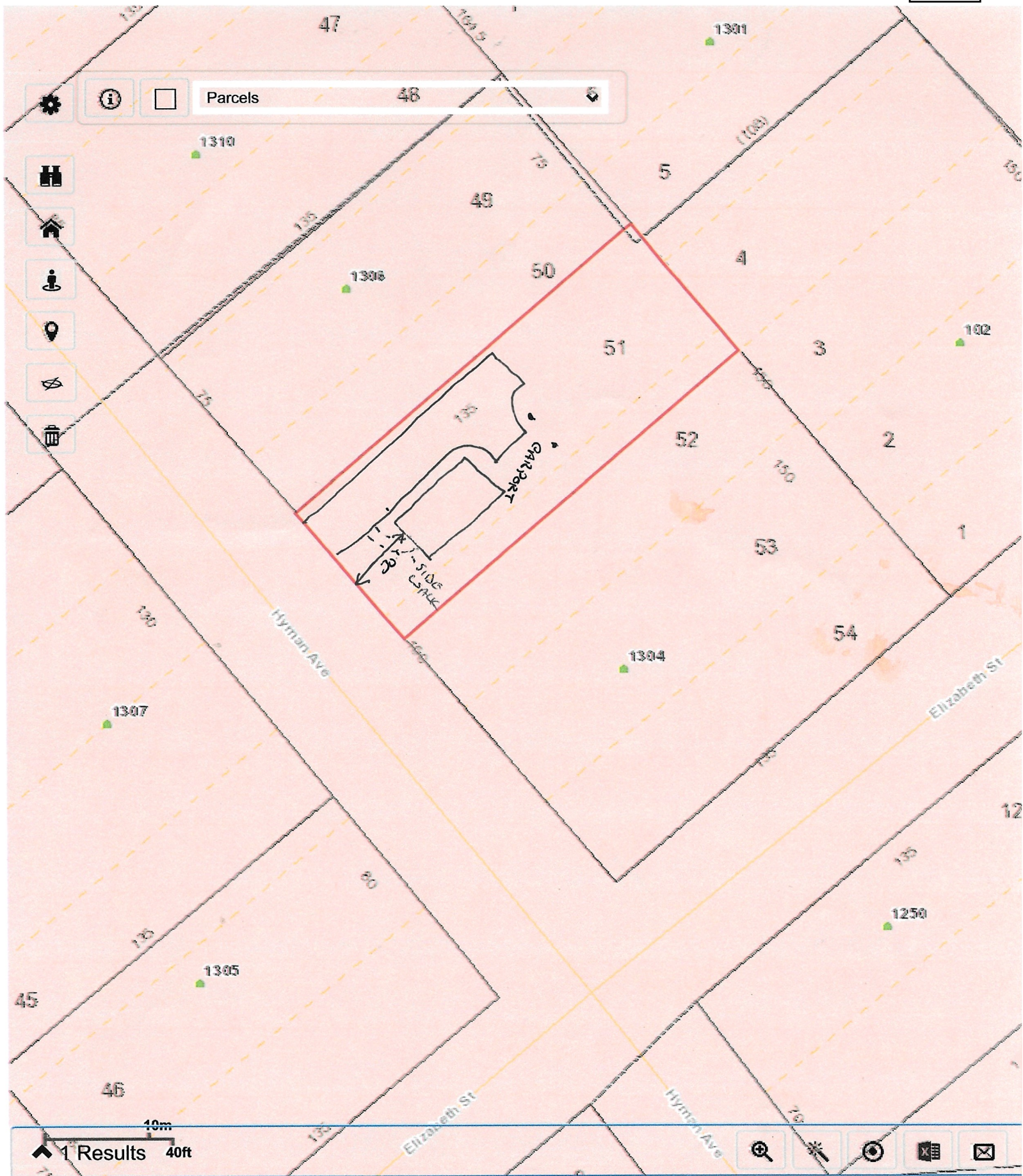
Signature _____

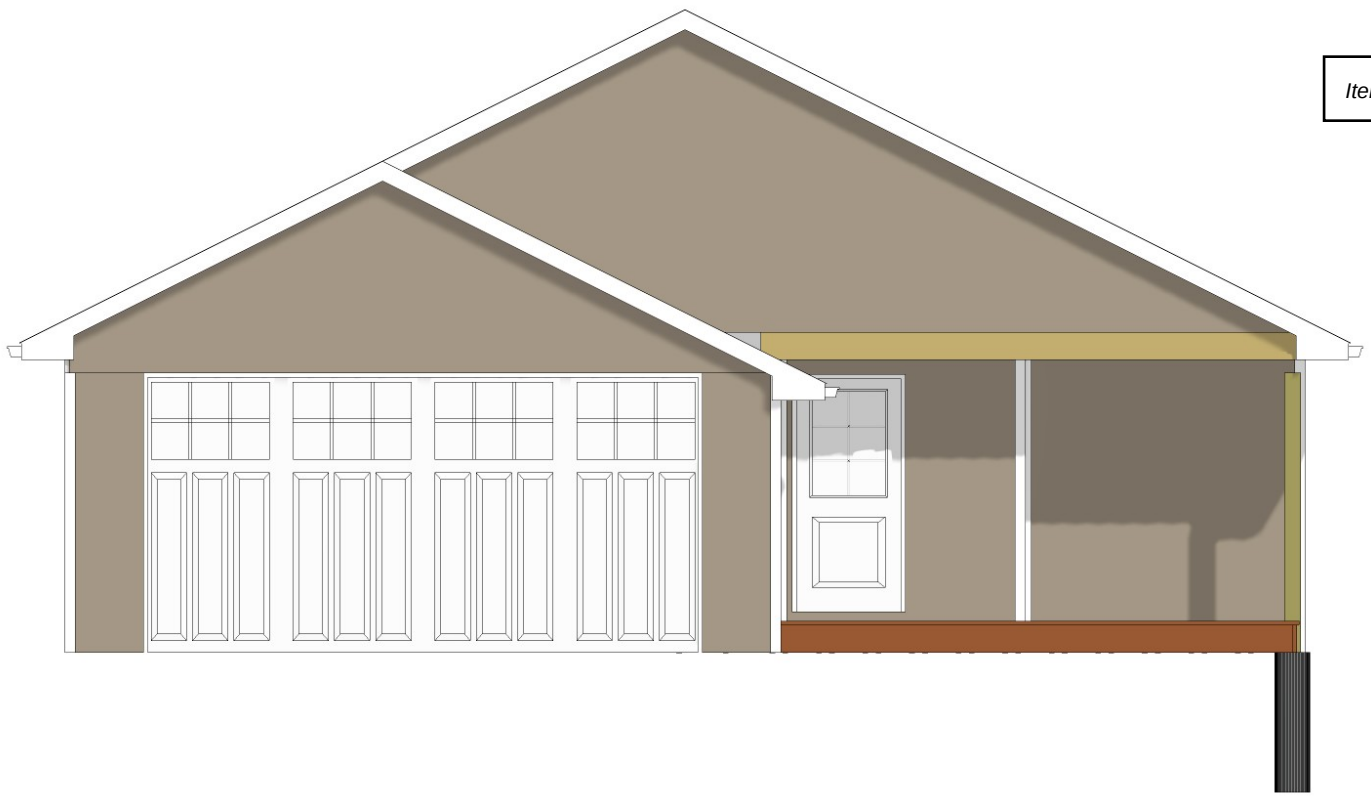
Title _____ Email _____

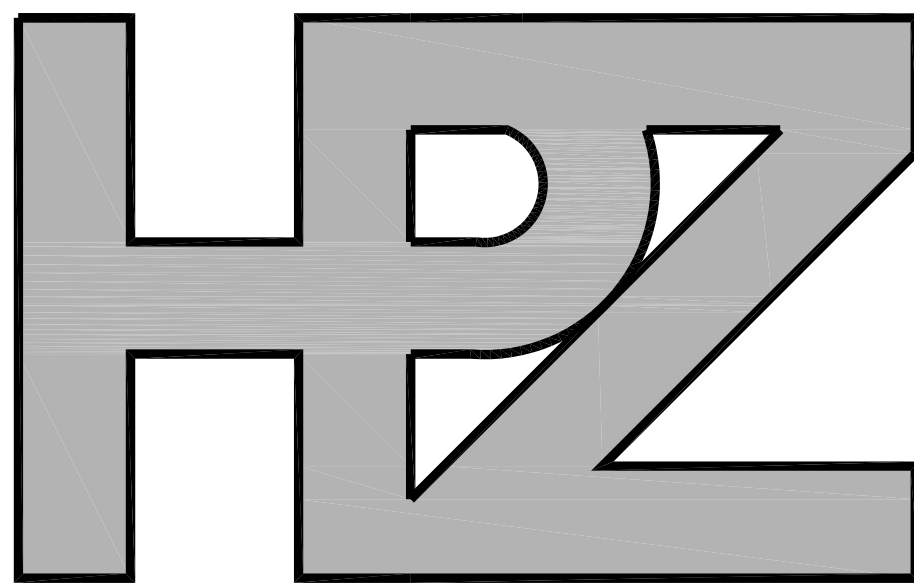
Address of Property Owner _____

* Property owner hereby grants permission to the City of Hendersonville personnel to enter the subject property for any purpose required in processing this application.

^ If signed by an agent on behalf of the Owner, this petition MUST be accompanied by a Limited Power of Attorney signed by the property owner (s) and notarized, specifically authorizing the agent to act on the owner (s) behalf in signing this application. Failure of each owner, or their duly authorized agent, to sign, or failure to include the authority of the agent signed by the property owner, will result in an INVALID APPLICATION.







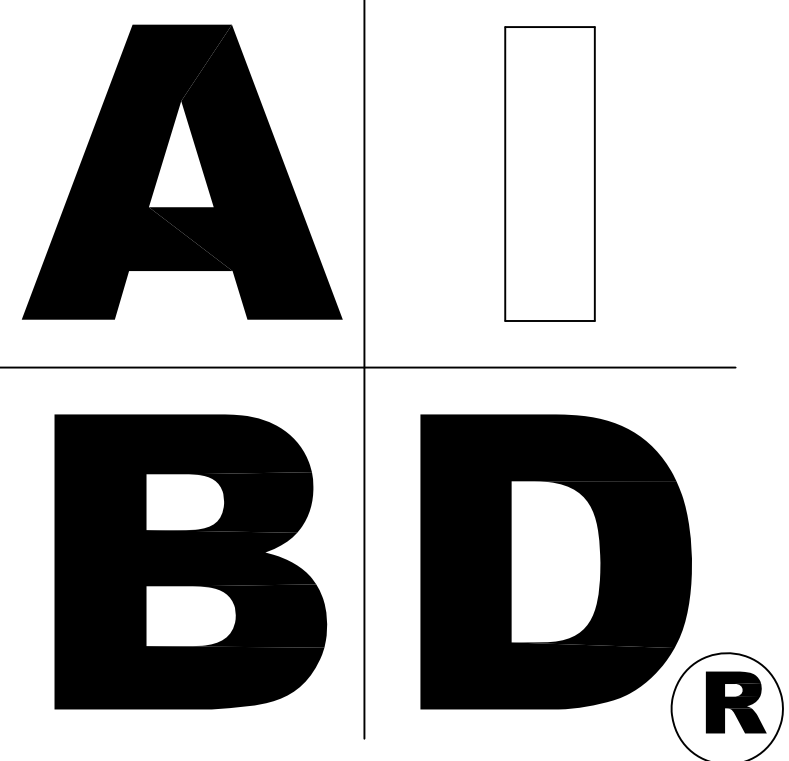
House Plan Zone, LLC

House Plan Zone, LLC.

www.HPZplans.com

Email: HPZplans@comcast.net

Fax: 1-800-574-1387



STANDARD ABBREVIATIONS

@	AT	LT.	LIGHT
#	POUND(S)	LIN.	LINEN
APPROX.	APPROXIMATELY	MANUF.	MANUFACTURER
BASE.	BASEMENT	MAS.	MASONRY
B/T	BETWEEN	MAX.	MAXIMUM
BLK.	BLOCK	MTL.	METAL
BLK'G	BLOCKING	MIN.	MINIMUM
BD.	BOARD	N.I.C.	NOT IN CONTRACT
BRD.	BOARD	O.C.	ON CENTER
BOT.	BOTTOM	O'C	ON CENTER
BLDG.	BUILDING	OPT.	OPTIONAL
CAB.	CABINET	O.S.B.	ORIENTED STRAND BOARD
CLG.	CEILING	OTS	OWNER TO SELECT
CLR.	CLEAR	O.T.S	OWNER TO SELECT
CLOS.	CLOSET	PG.	PAGE
COL.	COLUMN	PAN.	PANTRY
COL.S.	COLUMNS	PL.	PLATE
CONC.	CONCRETE	P	PLYWOOD
CMU	CONCRETE MASONRY UNIT	PLY'WD	PLYWOOD
C.U.	CONDENSOR UNIT	PLY'W'D	PLYWOOD
CONN.	CONNECTION	POLY.	POLYETHYLENE
CONT.	CONTINUOUS	PSI	POUNDS PER SQUARE INCH
COVER'G	COVERING	PRE-FAB	PREFABRICATED
CS	CRAWL SPACE	RE.	REFERENCE
DECO.	DECORATIVE	REF	REFRIGERATOR
DET	DETAIL	REINF.	REINFORCED
DIA.	DIAMETER	R	RESISTANCE
DW	DISHWASHER	R.A.	RETURN AIR
DBL.	DOUBLE	R.A.G.	RETURN AIR GRILLE
DF	DOUGLAS FIR	REQ'D	REQUIRED
D	DRYER	SCR.	SCREEN
EA.	EACH	SHLV.S.	SHELVES
ELEV.	ELEVATION	SHR.	SHOWER
ENG.	ENGINEER	SHWR.	SHOWER
FT.	FEET	SST.	SIMPSON STRONG TIE
F.F.L.	FINISHED FLOOR LINE	SP	SOUTHERN PINE
FIN.	FINISH	SPECS.	SPECIFICATIONS
F.C.	FIRE CODE	SQ.	SQUARE
FLR.	FLOOR	S.F.	SQUARE FOOTAGE
FTG.	FOOTING	STL.	STEEL
FOUND.	FOUNDATION	THK	THICK
FND.	FOUNDATION	THK.	THICKNESS
FR.	FREEZER	TBD.	TO BE DETERMINED
GA.	GAUGE	TR.	TRANSOM
GALV.	GALVANIZED	TYP.	TYPICAL
GYP.	GYPSUM	U.T.C.	UNDER THE COUNTER
HDR.	HEADER	UTIL.	UTILITY
HVAC	HEATING, VENTILATION & AIR CONDITIONING	VAN.	VANITY
HT.	HEIGHT	VERT.	VERTICAL
HTS.	HEIGHTS	WH	WATER HEATER
HORIZ.	HORIZONTAL	W	WASHER
IN.	INCHES	WT.	WEIGHT
INCL.	INCLUDE	WIN.	WINDOW
INSUL.	INSULATION	W.M.	WIRE MESH
IT.	JOINT	W	WITH
JST.	JOIST	WD.	WOOD
JSTS.	JOISTS	WFCM	WOOD FRAME CONSTRUCTION MANUAL



SHEET INDEX:

- 1 COVER SHEET
- 2 FOUNDATION PLAN
- 3 FLOOR PLAN & ELECTRICAL PLAN
- 4 EXTERIOR ELEVATIONS
- 5 ROOF PLANS
- 6 CROSS SECTION & CABINETS

CODE DISCLAIMER:

1. THESE PLANS WERE DESIGNED TO MEET IRC 2018 AT THE TIME OF THEIR CREATION AND MORE SPECIFICALLY THE MINIMAL LOCAL CODES OF THE SOUTH MISSISSIPPI AREA. IT IS HIGHLY RECOMMENDED THAT THESE PLANS BE REVIEWED BY A LOCAL STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
2. BEAMS AND FLOOR JOISTS ARE NOT SIZED DUE TO THE MANY GEOGRAPHIC LOCATIONS THESE PLANS ARE SOLD. THESE ITEMS SHALL BE SIZED BY A LOCAL ENGINEER OR MANUFACTURER.
3. ALL CEILING & FLOOR JOISTS (IF CONVENTIONAL FRAMING) SHOULD BE SIZED USING THE LATEST VERSION OF THE IRC OR APPLICABLE CODES AT SITE TO MEET THE LOCAL REQUIREMENTS SUCH AS SNOW LOADS AND OTHER FACTORS. THE CEILING JOISTS SIZES LABELED (IF PRESENT) WERE SIZED USING THE 2018 IRC AT THE TIME OF THEIR CREATION. THEY MUST BE VERIFIED AND MODIFIED AS REQUIRED TO MEET THE LATEST EDITION OF THE (IRC) INTERNATIONAL RESIDENTIAL CODE.
4. ALL FOUNDATIONS AND FOOTING DETAILS SHALL BE REVIEWED AND APPROVED BY A LOCAL ENGINEER.
5. CONTRACTOR SHALL PROVIDE ALL HIGH WIND STRAPPING AND ANCHOR BOLTS AS REQUIRED BY THE LOCAL CODE REQUIREMENTS AND THE LATEST VERSION OF THE IRC.

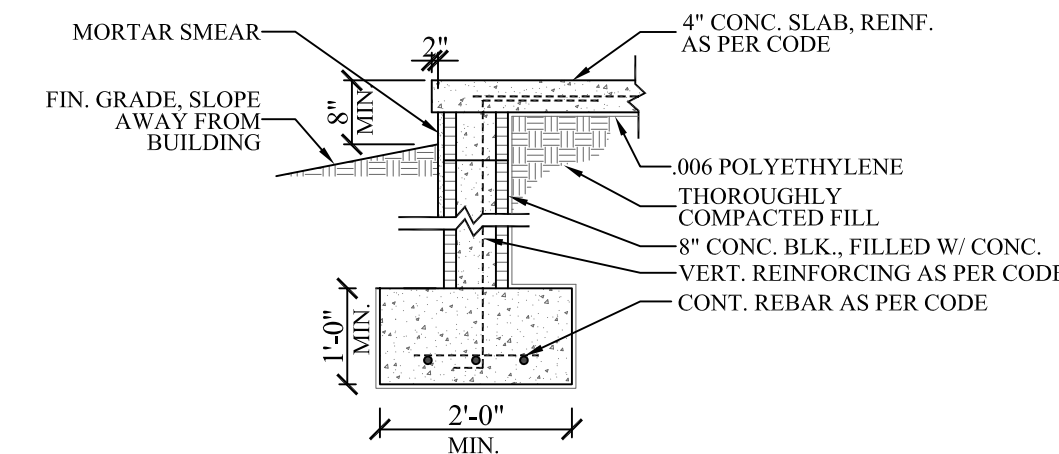
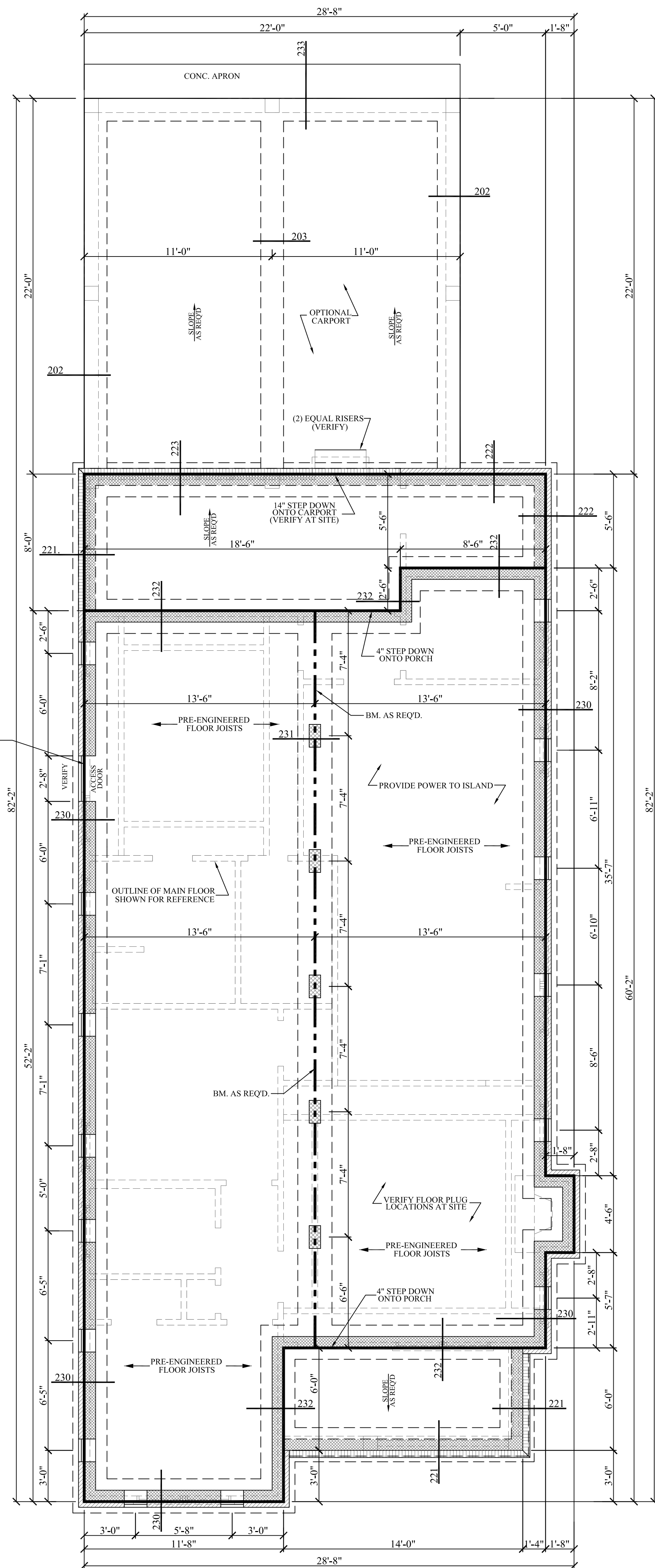
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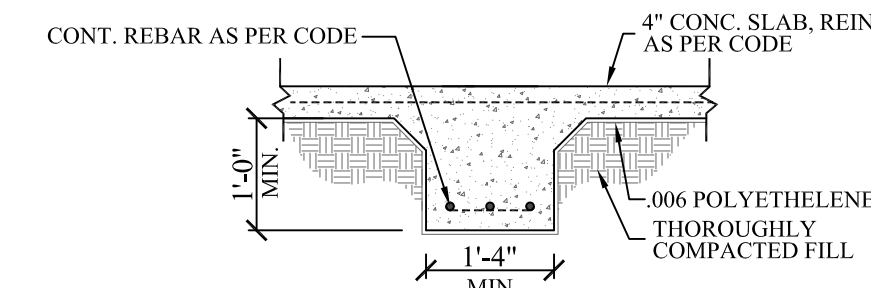
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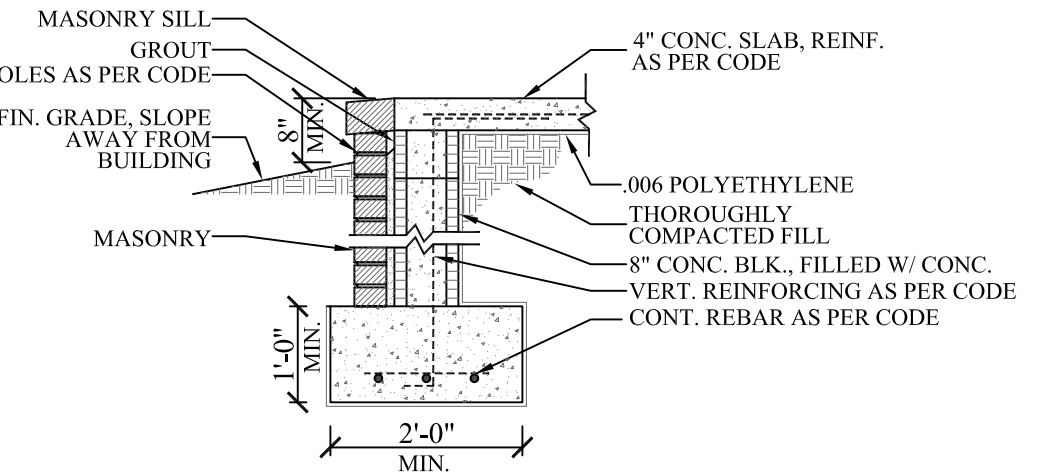
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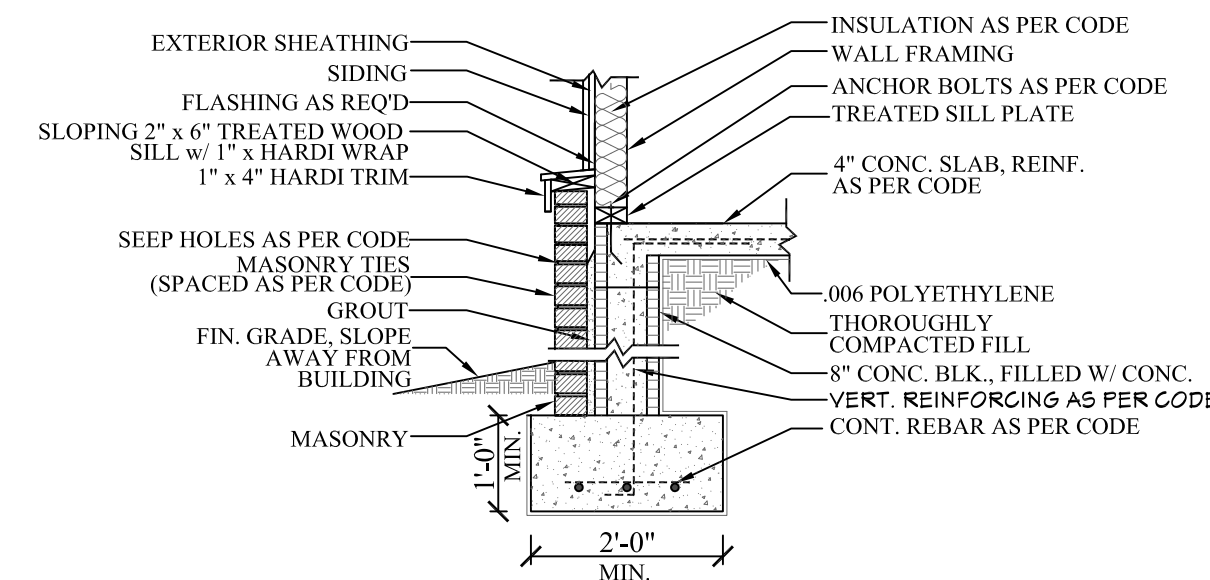
202 FTG. DET.



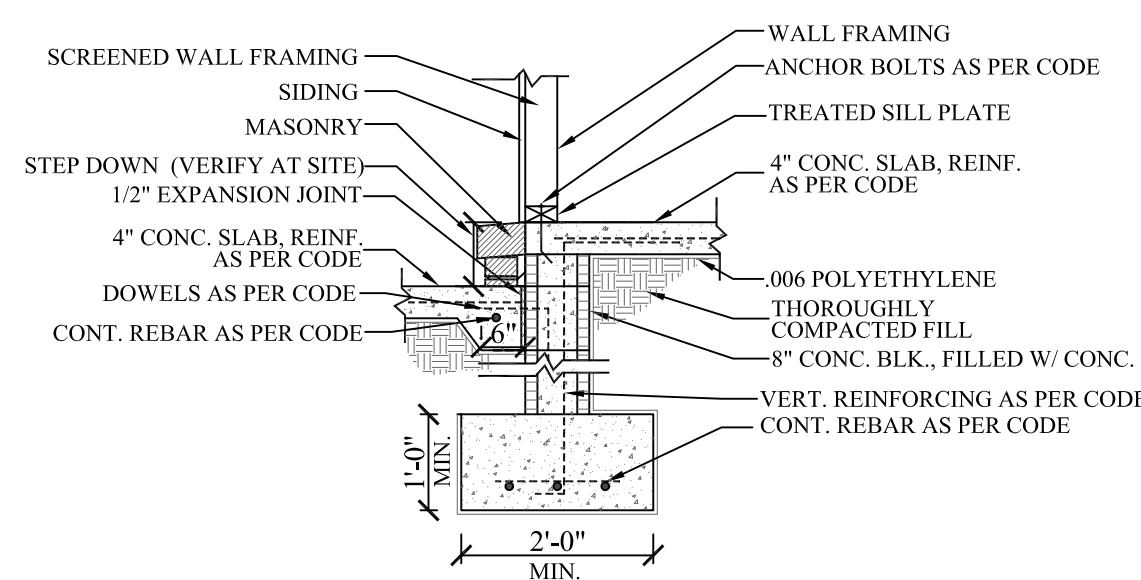
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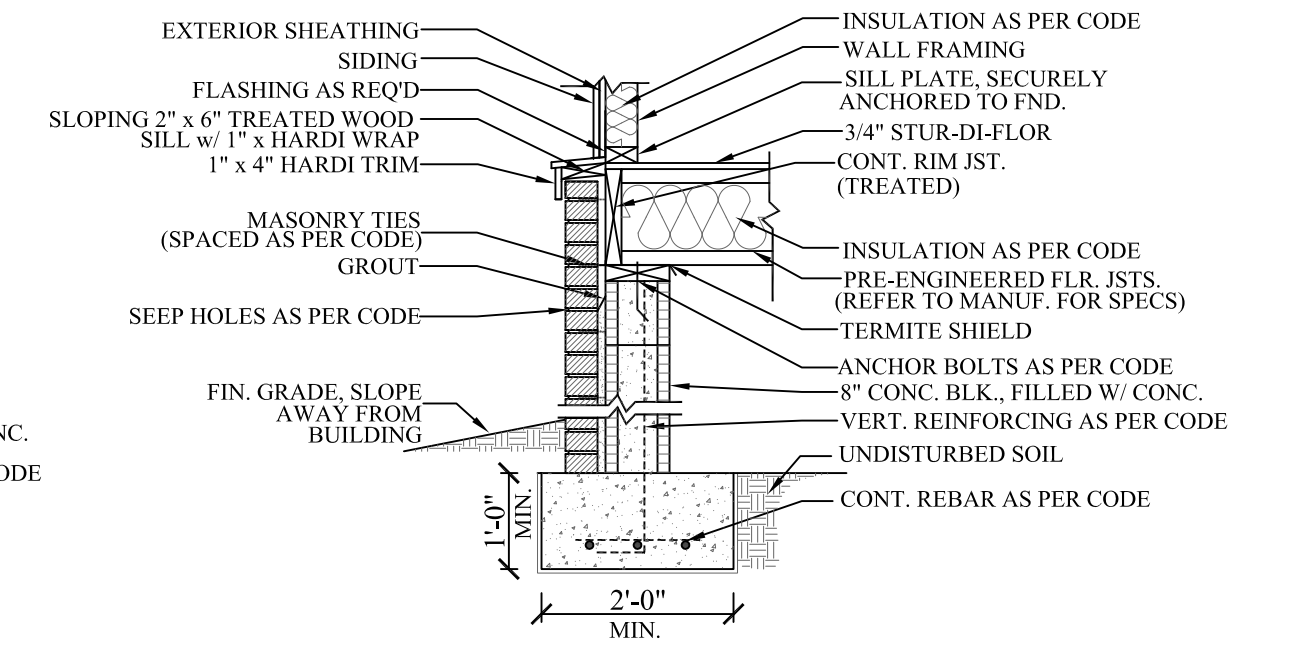
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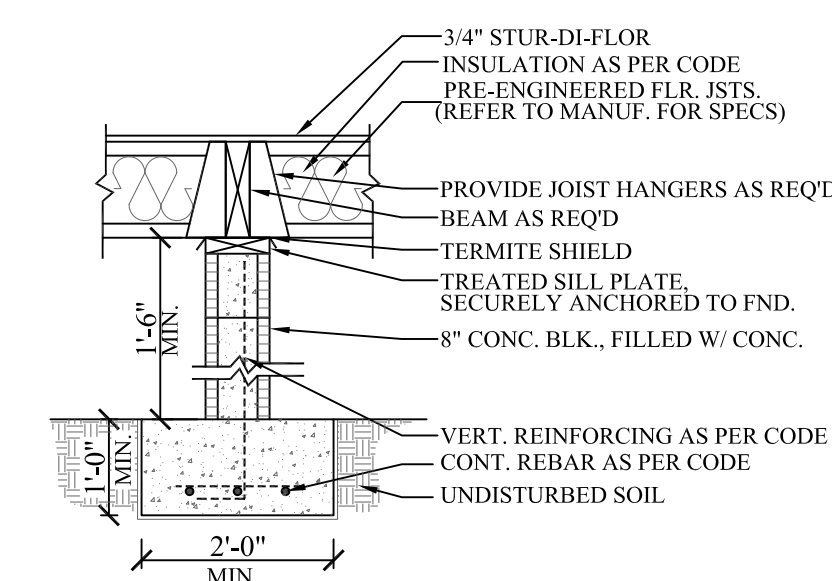
222 FTG. DET.



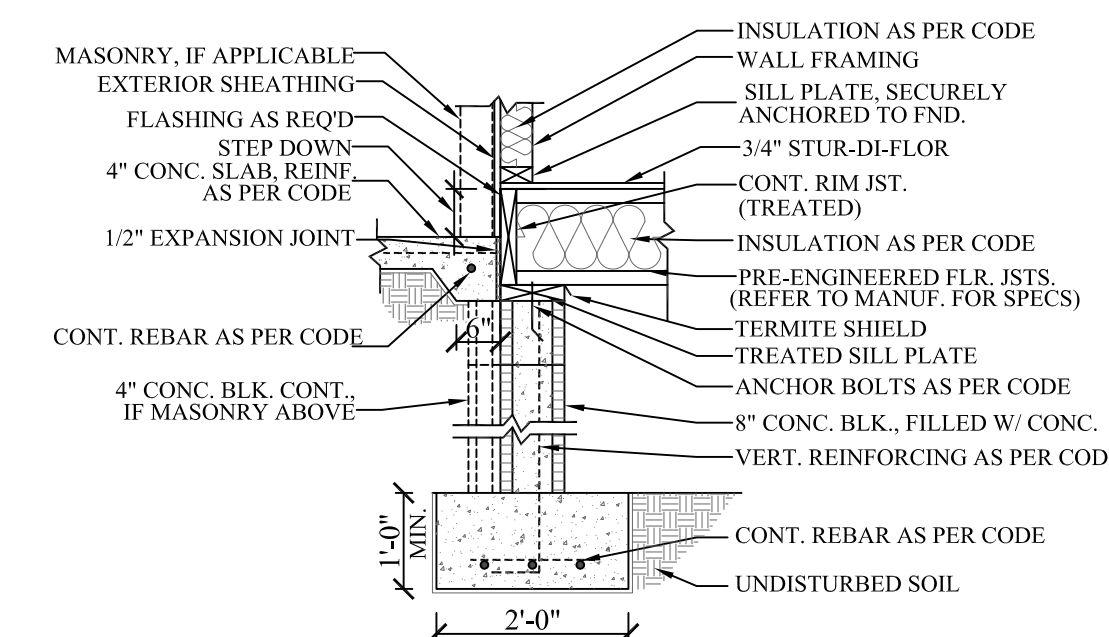
223 FTG. DET.



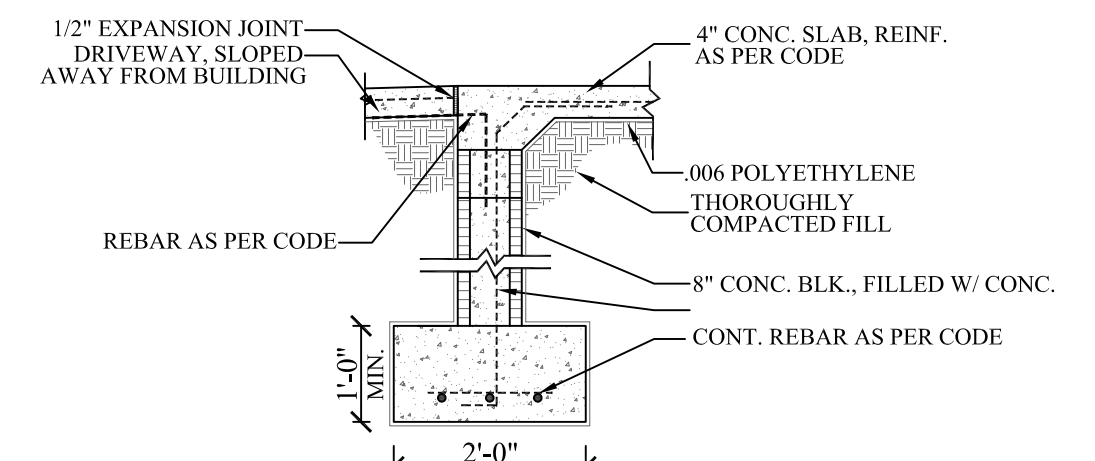
230 FTG. DET.



231 FTG. DET.



232 FTG. DET.



233 FTG. DET.

CRAWL SPACE FOUNDATION NOTES:

1. ALL FOOTING SIZES AND LOCATIONS TO BE VERIFIED BY A LICENSED STRUCTURAL ENGINEER.
2. CONTRACTOR TO ADAPT PLANS AS REQUIRED TO MEET ALL APPLICABLE CODES AT SITE.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH FLOOR PLAN PRIOR TO CONSTRUCTION AND MAKE ANY NECESSARY ADJUSTMENTS.
4. CONTRACTOR TO PROVIDE WATERPROOFING AS REQ'D TO MEET ALL APPLICABLE CODES AND TYPICAL BUILDING PRACTICES.
5. CONCRETE SLABS TO BE 4" (3000 psi MIN.), REINFORCED AS PER CODE OR AS DETERMINED BY LICENSED ENGINEER.
6. CONTRACTOR TO PROVIDE ADEQUATE DRAINAGE BASED ON EXISTING SITE CONDITIONS. VERIFY w/LOCAL CODES.
7. REFER TO FLOOR JOIST MANUFACTURER FOR JOIST SIZING AND SPACING, CROSS BRACING REQUIREMENTS, AND BEAM SIZES.
8. VERIFY THE QUANTITY AND LOCATION OF BRICK VENTS WITH ALL APPLICABLE CODES AT SITE.

NOTE: PRE-ENGINEERED FLOOR JOISTS ARE SHOWN. REFER TO FLOOR JOIST MANUFACTURER FOR JOIST SIZING, SPACING, CROSS BRACING REQUIREMENTS, AND BEAM SIZES.

201 FOUNDATION PLAN

SCALE----- 1/4" = 1'-0"

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House Plan Zone, LLC has exercised great care and effort in the development of these plans and the completion of these construction documents. However, the user of these plans assumes all liability for any errors, omissions or deficiencies in the design. House Plan Zone, LLC highly recommends that these plans be reviewed by a licensed structural engineer in the area of construction. Other special conditions required by local building codes. All dimensions to be verified on site prior to construction. Foundation plan shall be verified by a licensed engineer prior to construction.

Plan ID:

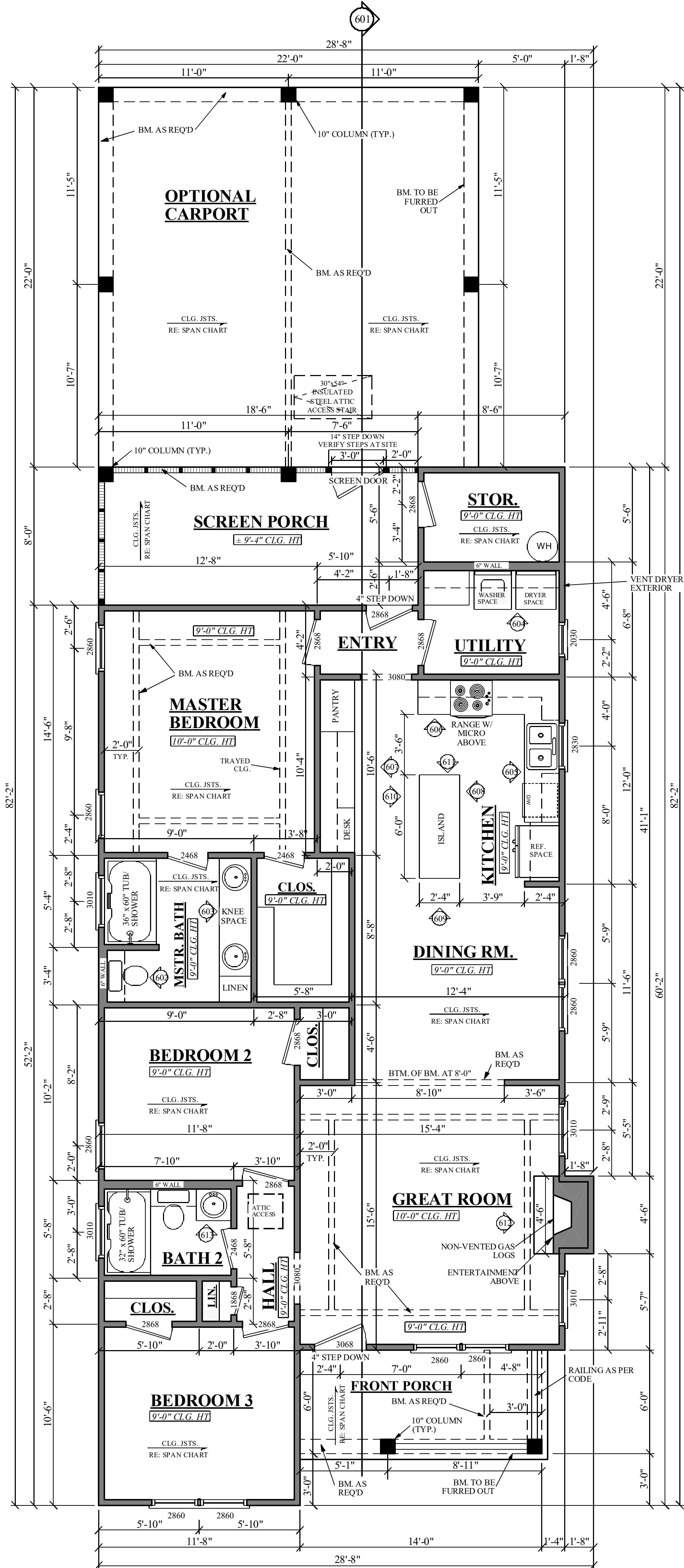
BB-1300

Date: 05/02/07
Drawn By: C.T.B.

SHEET NUMBER

2

Item A.



NOTES:

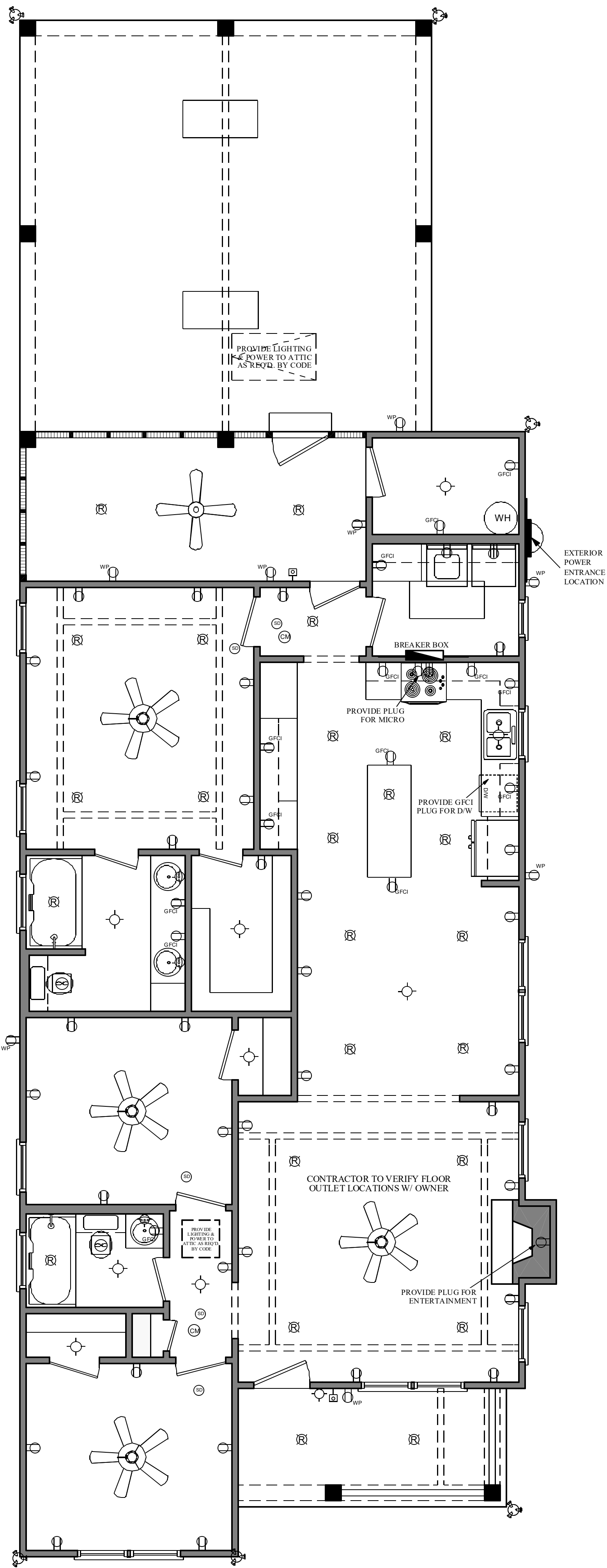
1. ALL DIMENSIONS & SITE CONDITIONS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
2. ALL FINISHES (INTERIOR & EXTERIOR) TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
3. VERIFY ALL DOOR AND WINDOW STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION. MANUFACTURER TO SUPPLY ALL ROUGH OPENING SIZES.
4. CONTRACTOR TO VERIFY ALL CLEARANCES OF ALL DOORS, WINDOWS AND OTHER ITEMS THAT ARE CRITICAL, PRIOR TO CONSTRUCTION.
5. CONTRACTOR TO ADAPT PLANS AS REQUIRED TO MEET ALL APPLICABLE CODES AT SITE.
6. ALL BEAMS TO BE SIZED BY A LICENSED STRUCTURAL ENGINEER.
7. ALL STAIRS, BALCONIES, OR WALK FLOOR SURFACES TO BE MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY SHALL HAVE GUARDS NOT LESS THAN 36 INCHES IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. INSIDE AND OUTSIDE STAIRS SHALL NOT BE CONSIDERED AS BALCONIES OR WALK FLOORS.
8. M1305.1.2 APPLIES TO ATTICS. ATTICS CONTAINING APPLIANCES SHALL BE PROVIDED WITH AN OPENING AND A CLEAR AND UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE, BUT NOT LESS THAN 30 INCHES HIGH AND 22 INCHES WIDE AND NOT MORE THAN 20 FEET LONG MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE. THE PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH SECTION M1305.1.2.1. THE LEVEL SHALL BE 24 INCHES ABOVE THE FINISHED SERVICE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE A MINIMUM OF 20 INCHES BY 30 INCHES, AND LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE. EXCEPTIONS:
 - a. THE PASSAGEWAY AND LEVEL SERVICE SPACE ARE NOT REQUIRED WHERE THE APPLIANCE CAN BE SERVICED AND REMOVED THROUGH THE REQUIRED OPENING.
 - b. WHERE THE PASSAGEWAY IS UNOBSTRUCTED AND NOT LESS THAN 6 FEET HIGH AND 22 INCHES WIDE FOR ITS ENTIRE LENGTH, THE PASSAGEWAY SHALL BE NOT MORE THAN 50 FEET LONG.
9. APPLIANCE ACCESS FOR INSPECTION SERVICE, REPAIR AND REPLACEMENT. APPLIANCES SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION, OTHER APPLIANCES, OR ANY OTHER PIPING OR DUCTS NOT CONNECTED TO THE APPLIANCE BEING INSPECTED, SERVICED, REPAIRED OR REPLACED. A LEVEL WORKING SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PROVIDED IN FRONT OF THE CONTROL SIDE TO SERVICE AN APPLIANCE. M1305.1.1
10. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. AS PER MINIMUM NET CLEAR OPENING HEIGHT COMING WITH ASTM F 2090 SHALL BE PERMITTED FOR USE ON WINDOWS SERVING AS A REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING. ALL SLEEPING ROOMS TO HAVE AN EXTERIOR ACCESS THROUGH A DOOR OR WINDOW WITH A MINIMUM OF 5.7 SQUARE FEET NET CLEAR OPENING AS PER IRC 2018 R3102.1.1. EXCEPTION: GRADE FLOOR OR BELOW GRADE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET. MAXIMUM SILL HEIGHT AS PER MINIMUM NET CLEAR OPENING HEIGHT TO BE 24 INCHES. MINIMUM NET CLEAR OPENING WIDTH TO BE 20 INCHES.
11. ALL RETURN AIR GRILLS ARE TO BE LOCATED TO COMPLY WITH SECTION M1602 OF THE IRC 2018.
12. ALL SQUARE FOOTAGE MEASUREMENTS ARE APPROXIMATE AND MAY DIFFER FROM ACTUAL CONSTRUCTED RESIDENCE OR BUILDING.
13. FIRE SPRINKLER SYSTEM TO BE DESIGNED AND INSTALLED (IF REQUIRED BY CODE) AS PER MINIMUM NET CLEAR OPENING HEIGHT TO BE 24 INCHES IN THE AREA OF CONSTRUCTION.
14. ALL BATHROOM EXHAUST VENTS SHALL BE VENTED DIRECTLY TO THE EXTERIOR OF THE HOME AND NOT INTO THE ATTIC. IRC 2018, M1505.2

NOTE: HVAC UNIT TO BE LOCATED IN ATTIC SPACE ABOVE.

FLOOR PLAN

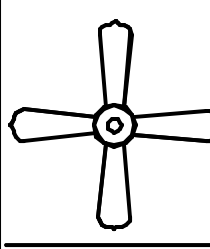
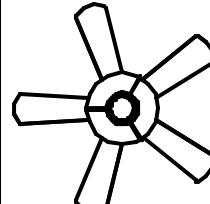
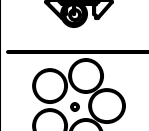
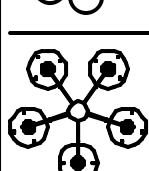
SCALE: 1/4" = 1'-0"

AREAS:	1300	S.F. HEATED
	148	S.F. UNHEATED - SCREEN PORCH
	47	S.F. UNHEATED - STORAGE
	84	S.F. UNHEATED - FRONT PORCH
	279	S.F. UNHEATED - TOTAL
	1579	S.F. TOTAL
	484	S.F. OPTIONAL CARPORT



ELECTRICAL SYMBOLS LEGEND

SYMBOL	DESCRIPTION
	110 VOLT OUTLET
	GROUND FAULT PROTECTED OUTLET
	WEATHERPROOF OUTLET
	220 VOLT RECEPTACLE
	FLOOR OUTLET (OWNER TO LOCATE)
	CEILING HUNG FIXTURE
	OVERHANG MOUNTED FLOODLIGHTS
	WALL MOUNTED FLOODLIGHTS
	RECESSED CEILING FIXTURE
	FLUORESCENT LIGHT
	CARBON MONOXIDE DETECTOR
	SMOKE DETECTOR
	SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DIMMER SWITCH (OWNER TO LOCATE)
	DOOR ACTIVATED SWITCH
	VOLUME CONTROL
	CAT5 NETWORKING JACK (OWNER TO LOCATE)
	TELEPHONE OUTLET (OWNER TO LOCATE)
	TELEVISION OUTLET (OWNER TO LOCATE)
	DOORBELL BUTTON (CONTRACTOR TO LOCATE)
	THERMOSTAT (CONTRACTOR TO LOCATE)
	CEILING EXHAUST FAN, VENT TO EXTERIOR
	TV SPEAKER
	RADIO SPEAKER

	CEILING FAN ONLY, NO LIGHT KIT
	CEILING FAN WITH LIGHT KIT
	TRACK LIGHTING (OWNER TO LOCATE)
	WALL SCONCE (OWNER TO LOCATE)
	CHANDELIER 1 (O.T.S.)
	CHANDELIER 2 (O.T.S.)
	UNDER COUNTER LIGHTING
	EMERGENCY LIGHTING/ EXIT SIGN

ELECTRICAL NOTES:

1. ALL WORK SHALL COMPLY WITH ALL CODES APPLICABLE AT SITE.

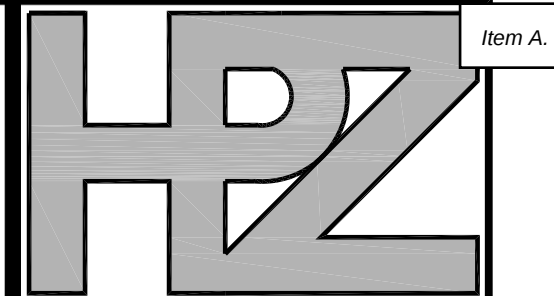
2. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS, WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN A DWELLING THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT. SMOKE ALARMS SHALL BE HARD WIRED WITH A BATTERY BACK UP.

3. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS WITH ATTACHED GARAGES.

4. 125 VOLT, SINGLE PHASE, 15-20 AMPERE RATED RECEPTACLE OUTLET SHALL BE INSTALLED AT AN ACCESSIBLE LOCATION FOR THE SERVICING OF HEATING, AIR CONDITIONING AND REFRIGERATION EQUIPMENT. THE RECEPTACLE SHALL BE LOCATED ON THE SAME LEVEL AND IN THE SAME ROOM AS THE EQUIPMENT. THE RECEPTACLE OUTLET SHALL NOT BE CONNECTED TO THE LOAD SIDE OF THE HVAC EQUIPMENT DISCONNECTING MEANS.

ELECTRICAL PLAN

NOTE: SWITCHES AND CONNECTIONS NOT SHOWN.
ELECTRICAL CONTRACTOR TO LOCATE THESE ITEMS
DURING ROUGH-IN BASED ON OWNER'S PREFERENCE.



House Plan Zone, LLC

House Plan Zone, LLC.

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A	
B	D ®

Plan ID:

BB-1300

Date:

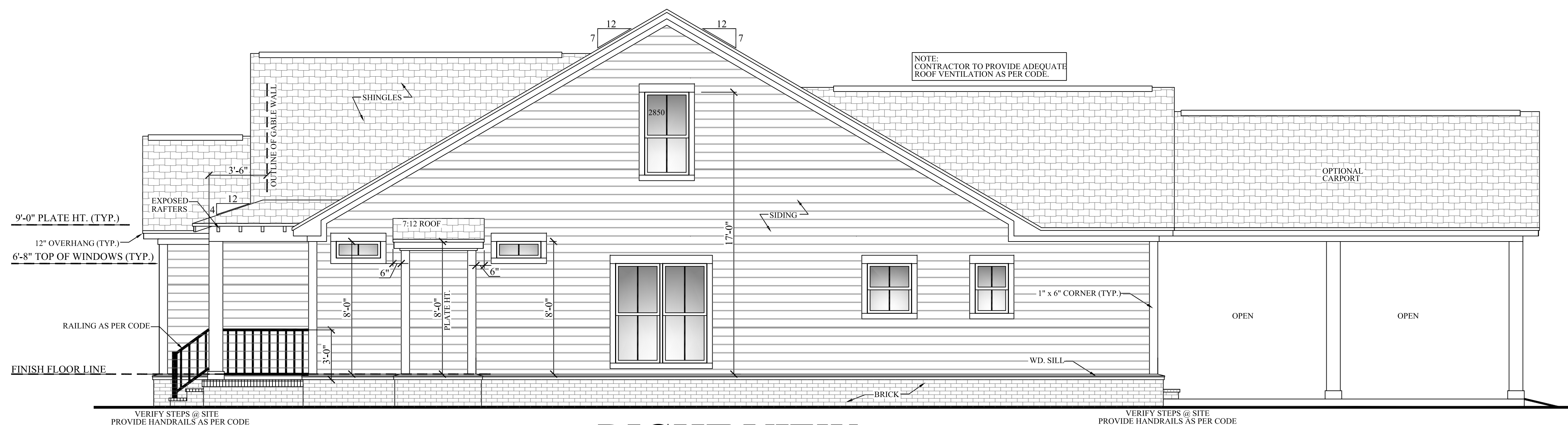
05/02/07

Drawn By:

C.T.B.

SHEET NUMBER

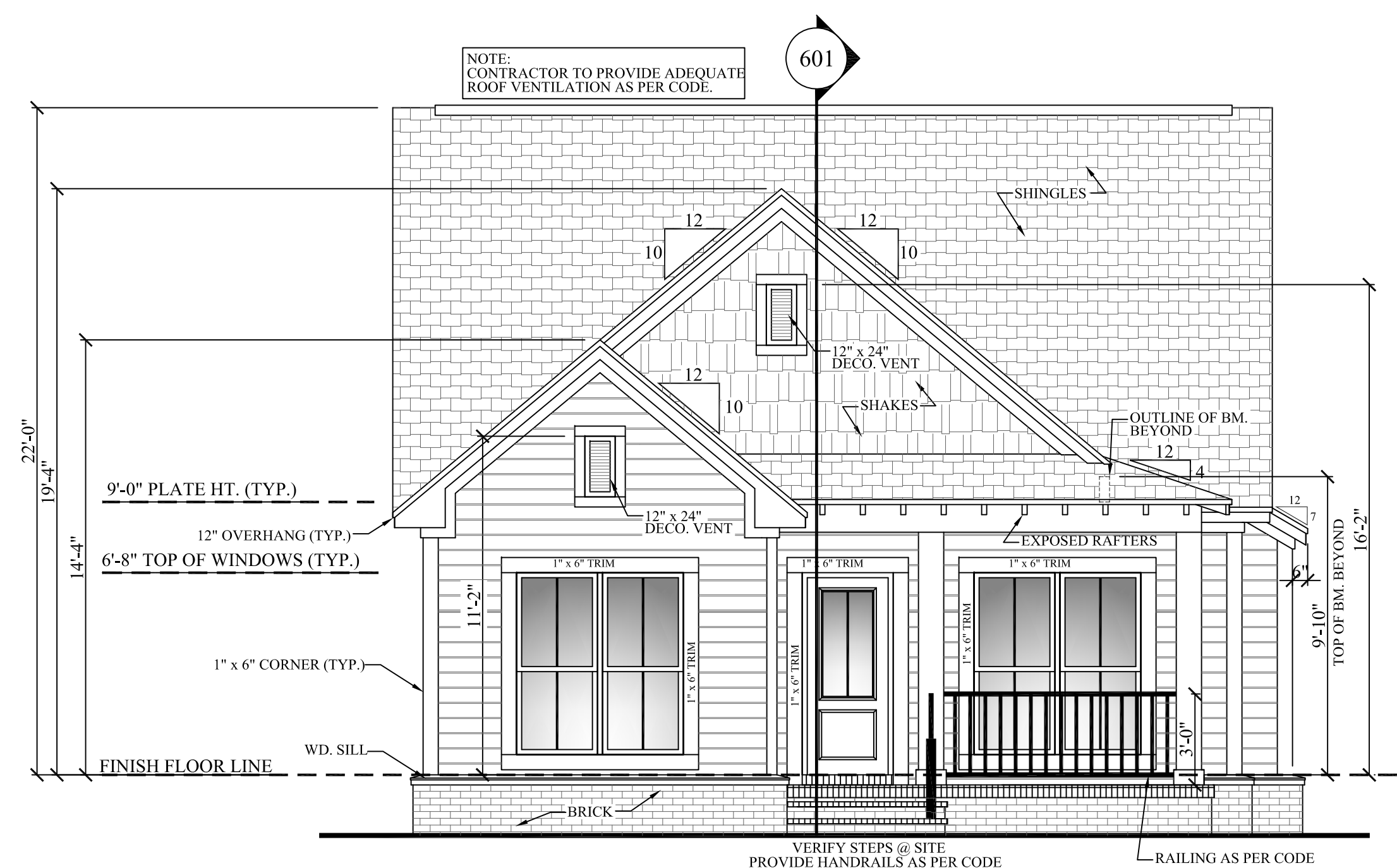
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403

RIGHT VIEW

SCALE----- 1/4" = 1'-0"



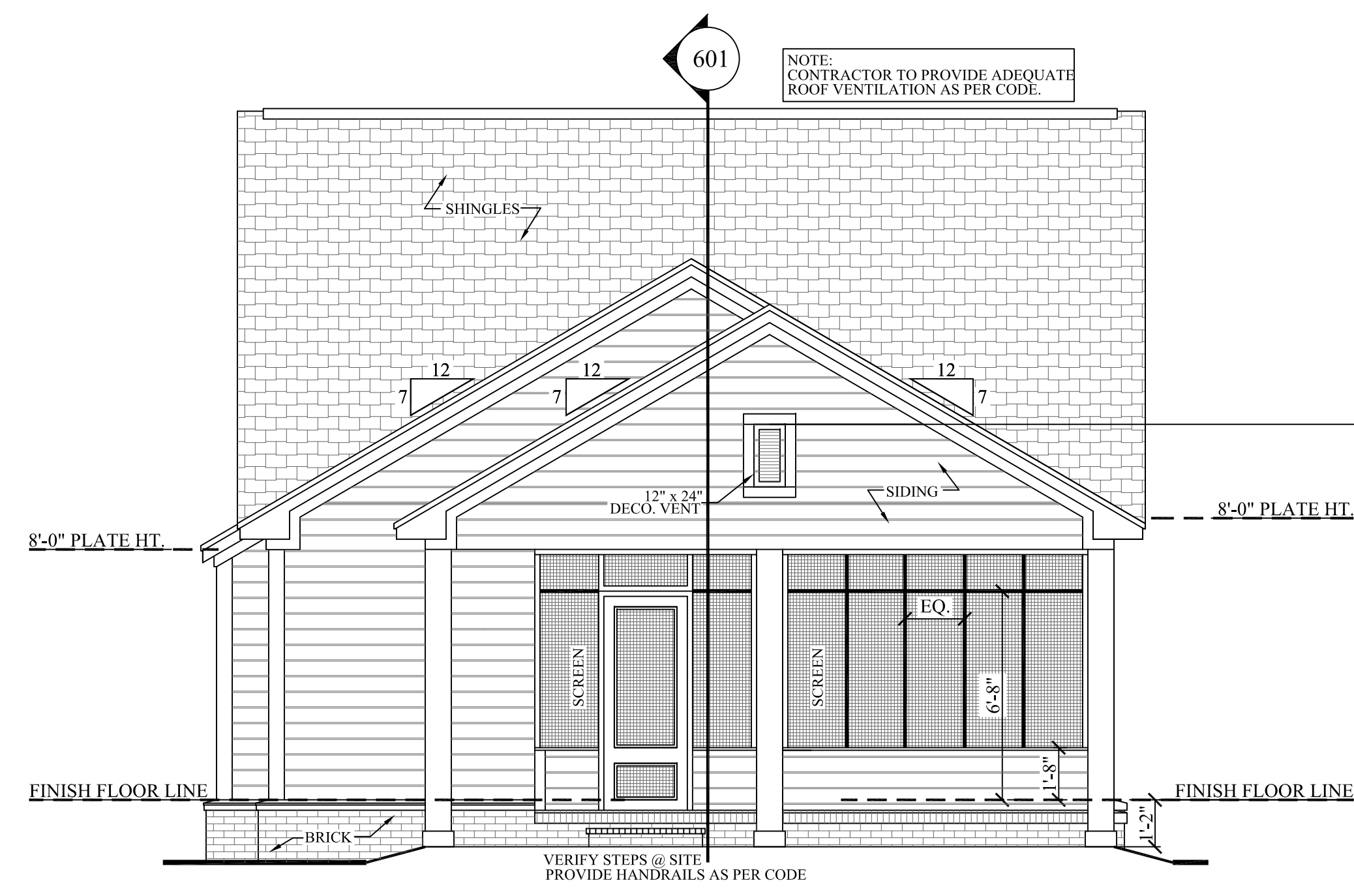
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FRONT VIEW

SCALE----- 1/4" = 1'-0"

- EXTERIOR ELEVATION NOTES:

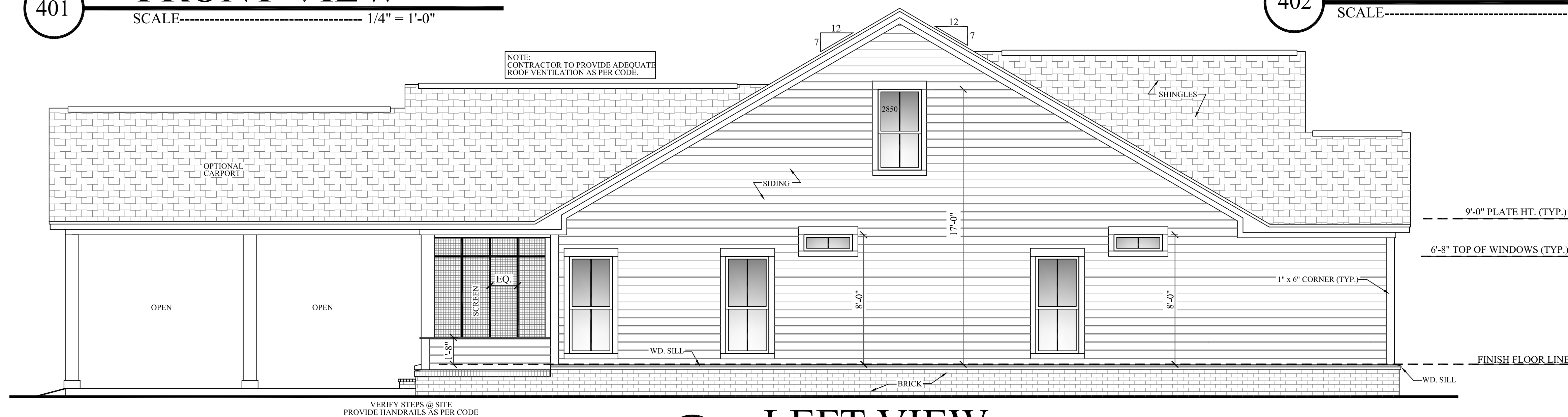
1. CONTRACTOR TO VERIFY ALL WINDOW AND DOOR STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION.
2. PROVIDE STEPS AND GUARD RAILS AS PER CODE BASED ON SITE CONDITIONS.
3. GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS.
4. ALL FINISH MATERIALS TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
5. REFER TO TYPICAL WALL DETAIL FOR FRAMING METHODS AND OTHER MISC. INFORMATION.



402

REAR VIEW

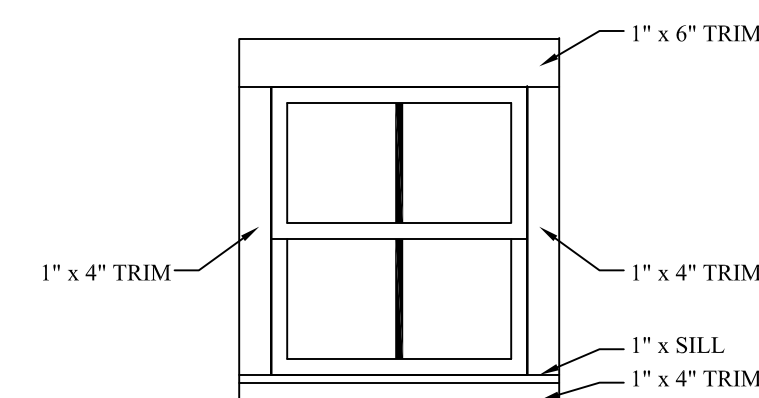
SCALE----- 1/4" = 1'-0"



404

LEFT VIEW

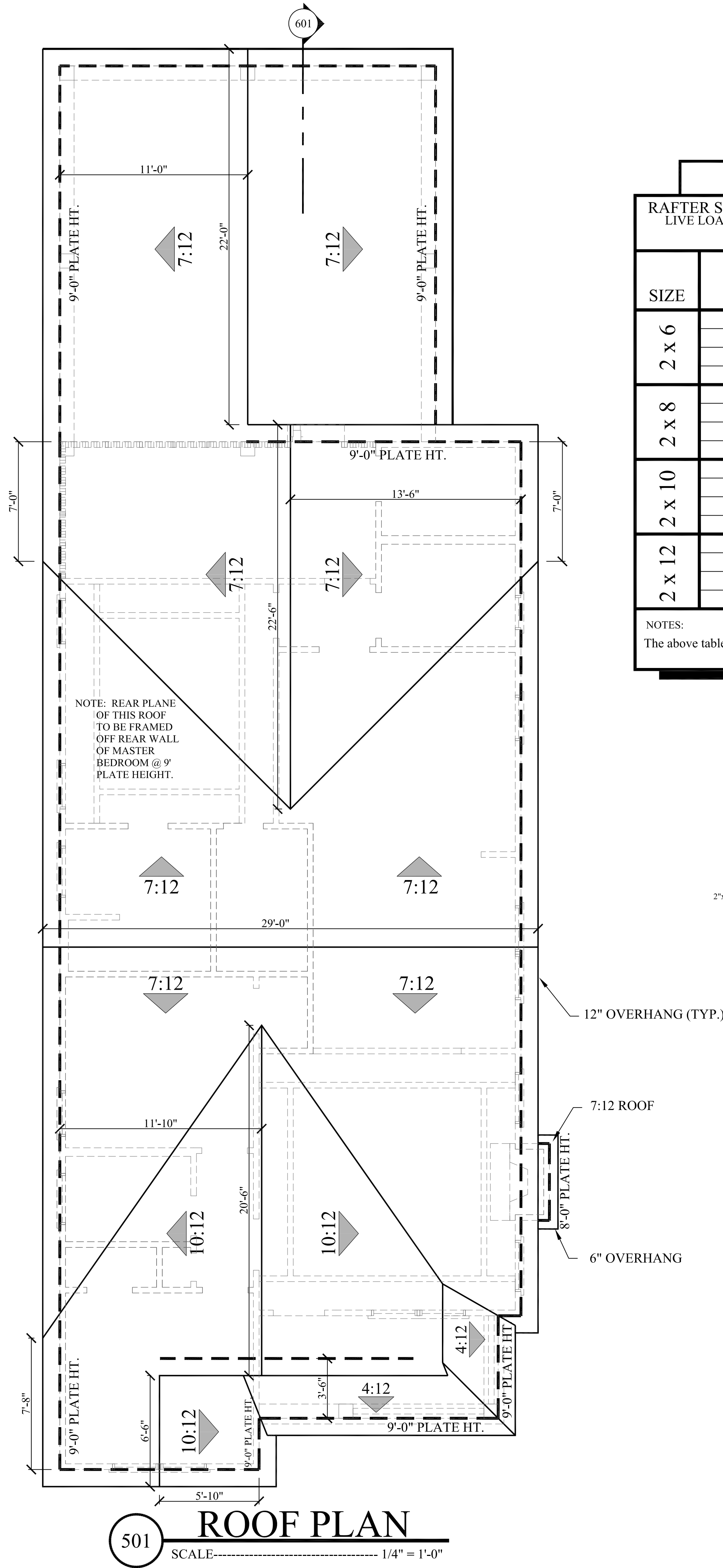
SCALE----- 1/4" = 1'-0"



(405)

TYP. WINDOW CASING

SCALE----- 1/2" = 1'-0"
(UNLESS NOTED OTHERWISE)



501 **ROOF PLAN**
SCALE----- 1/4" = 1'-0"

RAFTER SPANS		
RAFTER SPANS FOR SOUTHERN PINE SPECIES LIVE LOAD=30psf, L/Δ=180 DEAD LOAD = 10psf		
SIZE	SPACING (INCHES)	SPANS (MAXIMUM RAFTER SPANS BETWEEN BRACING) (FT. - IN.)
2 x 6	12.0	12-11
	16.0	11-2
	19.2	10-2
	24.0	9-2
2 x 8	12.0	16-4
	16.0	14-2
	19.2	12-11
	24.0	11-7
2 x 10	12.0	19-5
	16.0	16-10
	19.2	15-4
	24.0	13-9
2 x 12	12.0	22-10
	16.0	19-10
	19.2	18-1
	24.0	16-2

NOTES:
The above tables are based on the IRC 2018 TABLE R802.4.1(3)

CEILING JOIST SPANS		
CEILING JOIST SPANS FOR SOUTHERN PINE SPECIES (UNINHABITABLE ATTICS WITH LIMITED STORAGE, LIVE LOAD = 20psf, L/Δ=240)DEAD LOAD = 10psf)		
IF HABITABLE ATTIC SPACE IS DESIRED, REFER TO THE INTERNATIONAL RESIDENTIAL CODE, SPAN TABLES.		
SIZE	SPACING (INCHES)	VISUALLY GRADED #2 SOUTHERN PINE (MAXIMUM CEILING JOIST SPANS) (FT. - IN.)
2 x 4	12.0	9-3
	16.0	8-0
	19.2	7-4
	24.0	6-7
2 x 6	12.0	13-11
	16.0	12-0
	19.2	11-0
	24.0	9-10
2 x 8	12.0	17-7
	16.0	15-3
	19.2	13-11
	24.0	12-6
2 x 10	12.0	20-11
	16.0	18-1
	19.2	16-6
	24.0	14-9

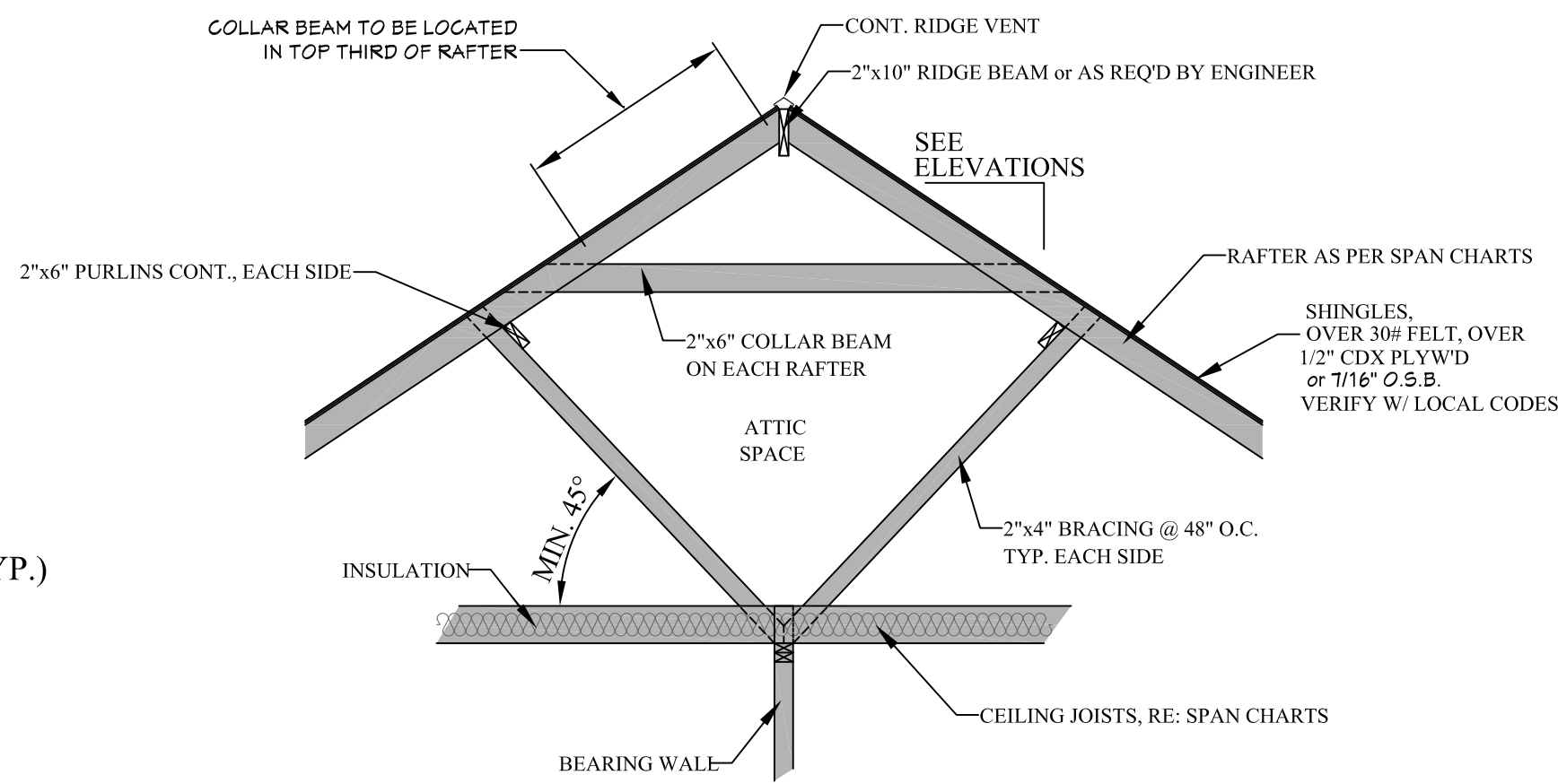
NOTES:
The above tables are based on the IRC 2018 TABLE R802.5.1(2)

HIP/ VALLEY CONVERSION			
IF COMMON RAFTER ROOF PITCH IS...		THEN HIP/ VALLEY RAFTER ROOF PITCH BECOMES...	
RISE/ RUN	SLOPE	RISE/ RUN	SLOPE
1/12	5°	1/17	3°
2/12	10°	2/17	7°
3/12	14°	3/17	10°
4/12	18°	4/17	13°
5/12	23°	5/17	16°
6/12	27°	6/17	19°
7/12	30°	7/17	22°
8/12	34°	8/17	25°
9/12	37°	9/17	28°
10/12	40°	10/17	30°
11/12	42°	11/17	33°
12/12	45°	12/17	35°

CONVERSION CHART FOR SIMPLE ROOFS ONLY.
CHART DOES NOT APPLY FOR DUAL PITCH ROOFS.

RAFTER LENGTH CHART		
ROOF PITCH		FACTOR
3/12		1.05
4/12		1.07
5/12		1.10
6/12		1.14
7/12		1.17
8/12		1.20
9/12		1.25
10/12		1.30
11/12		1.35
12/12		1.40
14/12		1.54
16/12		1.70

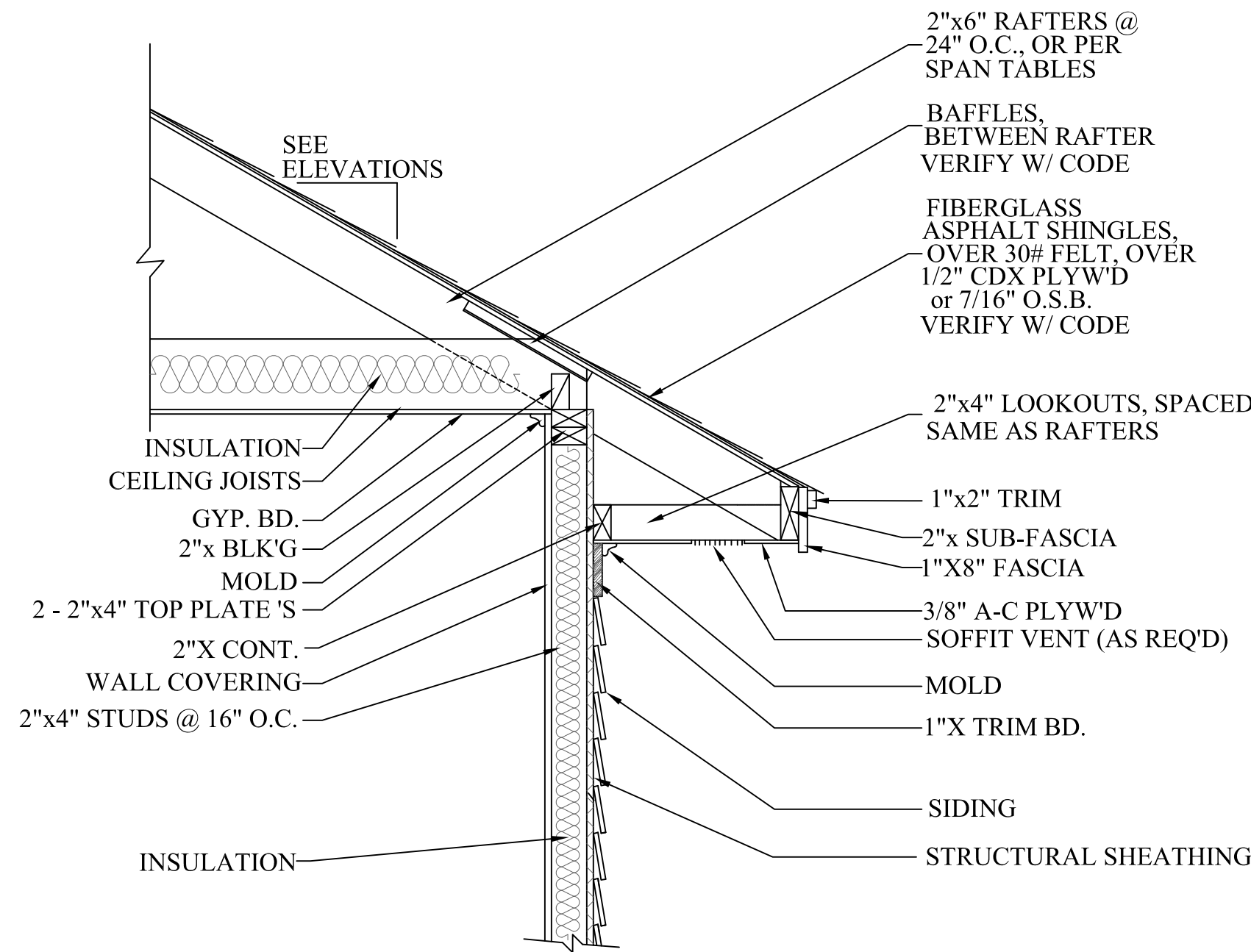
MULTIPLY HORIZONTAL SPAN OF MEMBER BY FACTOR
CHOOSE APPROPRIATE FACTOR BY ROOF PITCH.



502 **TYP. ROOF BRACING**
SCALE----- N.T.S.

ROOF PLAN NOTES:

1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AT SITE.
2. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS TO BE 2" X 10", No.2 S.Y.P. OR AS REQ'D BY ENGINEER.
3. ALL RAFTERS TO BE SIZED AS PER SPAN CHART.
4. REFER TO EXTERIOR ELEVATION FOR OVERHANG LENGTHS.
5. CONTRACTOR TO WATERPROOF ALL ROOF INTERSECTIONS AS PER CODE.
6. CONTRACTOR TO VERIFY ALL ROOF PITCHES WITH EXTERIOR ELEVATIONS PRIOR TO CONSTRUCTION.



503 **TYP. CORNICE DETAIL**
SCALE----- 3/4"=1'-0"

House Plan Zone, LLC

House Plan Zone, LLC. Item A.

Email: sales@hnpzplans.com Fax: 1-800-574-1387

House Plan Zone, LLC has exercised great care and effort in the development of these plans and the completion of these construction documents. However, the user of these plans assumes all liability for any damages, including structural failures, resulting from errors, omissions or deficiencies in the design. House Plan Zone, LLC highly recommends that these plans be reviewed by a licensed structural engineer in the area of construction, other special conditions required by local building codes. All dimensions to be verified on site prior to construction. Foundation plan shall be verified by a licensed engineer prior to construction.

Plan ID:

BB-1300

Date: 05/02/07

Drawn By: C.T.B.

SHEET NUMBER

5



1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AT SITE.
2. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS TO BE 2" x 10",
OR AS REQ'D BY ENGINEER.
3. CONTRACTOR TO PROVIDE RAFTER BRACING TO MEET APPLICABLE CODES.
4. CONTRACTOR TO THOROUGHLY WATERPROOF ALL EXTERIOR INTERSECTIONS
AS PER CODE AND TYPICAL BUILDING PRACTICES.
5. ALL BEAMS TO BE SIZED BY A LICENSED STRUCTURAL ENGINEER.
6. ALL LUMBER SIZES AND SPACING TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.



PLAT OF SURVEY FOR ALTON LYNN CONNOR, JR. AND LYNDA CORINE CONNOR

BEING A SUBDIVISION OF
THE PROPERTY DESCRIBED IN
BOOK OF RECORD 3723, PAGE 503

CITY OF HENDERSONVILLE
HENDERSONVILLE TOWNSHIP
HENDERSON COUNTY
NORTH CAROLINA

SCALE: 1" = 30'
JULY 1st, 2021

I, DAVID H. HILL, certify that this plat was drawn from an actual survey made under my supervision (deed description recorded in Book SEE, page REFERENCES; that the boundaries not surveyed are clearly indicated as drawn from information found in Book AS, page SHOWN; that the ratio of precision as calculated is 1:10000; that this plat was prepared in accordance with G.S. 47-30 as amended. Witness my original signature, registration number and seal this 1st day of JULY, A.D., 2021.

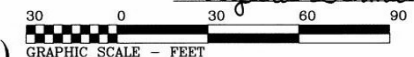
David H. Hill
David H. Hill, NCPLS L-3863

I, DAVID H. HILL, Professional Land Surveyor certify that this survey creates a subdivision of land within a municipality that regulates parcels of land.

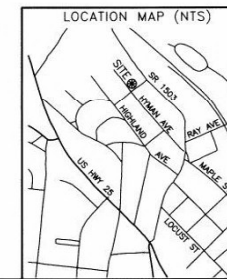
David H. Hill
State of North Carolina
County of Henderson
Professional Land Surveyor, Review Officer of Henderson County, certify that the map or plat to which this certification is affixed meets all statutory requirements for recording.
David H. Hill
Review Officer

State of North Carolina, County of Henderson
This instrument was prepared for registration and recorded in the Office of Register of Deeds in the State and County designated; at Plat Slide 13353, this 1st day of July, 2021.
At 9:54 O'clock AM.

William Lee King
By: Sylvia Schmidt, Deputy



0.467 ACRES (TOTAL)

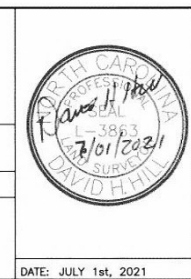


DEED REFERENCES:
B.O.R. 3723, PG. 503
P.C. "B", SLIDE 241A
P.C. "B", SLIDE 254

TAX REFERENCES:
9569-62-9772

PARTY CHIEF: DHH

REVISIONS:



SURVEY BY
**HILL AND ASSOCIATES
SURVEYORS, P.A.**
LICENSE NUMBER: C-1991
DAVID H. HILL
N.C.P.L.S. 3863
403 WEST BLUE RIDGE ROAD
EAST FLAT ROCK, NORTH CAROLINA 28726
(828) 693-1409

CHECKED BY: DHH
DRAWING: 20
DATE: JULY 1st, 2021
DRAWN BY: DHH
FILE: 202125

GRID NORTH
N.A.D. 83/2011

BOOK 2021 PAGE 13353 (1)

957073



This document presented and filed:
07/01/2021 09:54:30 AM

SRS

WILLIAM LEE KING, HENDERSON COUNTY, NC

NOTES:

- 1- AREAS BY COORDINATE COMPUTATION.
- 2- ALL AREAS SHOWN ARE SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD OR UNRECORDED THAT MAY DIRECTLY AFFECT ALL AREAS SHOWN.
- 3- ALL DISTANCES ARE HORIZONTAL GROUND MEASUREMENTS UNLESS OTHERWISE NOTED.
- 4- THE PROPERTY SHOWN IS WITHIN AN AREA ZONED R6 BY THE CITY OF HENDERSONVILLE.

SETBACKS:

- FRONT- 20'
SIDE- 8'
REAR- 10'
- 5- THE CURRENT OWNER OF RECORD IS ALTON LYNN CONNOR, JR. AND LYNDA CORINE CONNOR.

LEGEND

- ⊕ MONUMENT FOUND AS NOTED
- MONUMENT SET AS NOTED
- POINT NOT STAKED
- P-PED - PHONE PEDESTAL
- UP - UTILITY POLE
- PHP - PHONE POLE
- TRANS - TRANSFORMER
- TV-PED - CABLE TV PEDESTAL
- WM - WATER METER
- WV - WATER VALVE

13353

MEETING REPORT
Hyman Ave PIN #9569-72-0812 (File # H21-29-COA)
COMMUNITY DEVELOPMENT DEPARTMENT
100 N. King Street

DATE: October 6, 2021

BOARD: Design Review Advisory Committee (DRAC)

ATTENDEES: Sue Sneeringer – DRAC
John Horton - DRAC
Matthew Manley – Planning Manager
Justin Klepp – Applicant
Ken Fitch – resident (zoom)

ABSENT: Terry Ruscin - DRAC

The meeting began at 4:20 PM.

Mr. Manley explained the subdivision of the lot and this application is for a new construction of a single-family dwelling. He showed the house renderings with the gables. Mr. Klepp stated there would be one change which is to match the front gable with the same height.

Mr. Manley stated the home will be under 1,600 sq. ft. and would be a three-bedroom two bath home.

The Committee discussed dropping the shake. Board and Batton on both gables. Bringing the lap siding around to the front walls. They discussed 6" reveal on the lap siding. They discussed a few other alternatives. Trees will be preserved.

Mr. Horton appreciated the garage being placed in the rear.

The Committee discussed the roof line being dropped in line with the front gable. (6/12)

The Committee discussed how the siding was appropriate for the area. Mr. Horton stated this is a traditional pattern and is not out of character.

The meeting ended at 4:55 PM.

MEMORANDUM

Community Development Department

TO: Historic Preservation Commission
FROM: Community Development Department
RE: 1420 Ridgecrest Drive
DATE: October 20, 2021



DEMOLITION BY NEGLECT

Staff requests that the Historical Preservation Commission (HPC) consider “filing a petition with the City” charging that the structure located at 1420 Ridgecrest Drive undergo demolition by neglect. The history of the property as it relates to Demolition by Neglect is extensive (see attachments). While staff has continued to receive updates from the property owner representative regarding efforts to repair the property, Staff has also received ongoing complaints from neighboring property owners regarding the subject property’s condition. Staff has conducted a cursory investigation into the condition of the subject property and finds that the structure, in its current state, contains defects that significantly impair the integrity of the structure as set out in the standards defined in Section 28-190 of the City of Hendersonville Zoning Ordinance.

Background

The property located at 1420 Ridgecrest has had a long history concerning the maintenance and condition of both the primary structure and associated greenhouse. In 2006, the HPC filed its first petition for Demolition by Neglect with the zoning administrator resulting in the removal of the greenhouse but not the primary structure.

Since 2006 to present, both Staff and the HPC have worked with the property owners to make repairs to the structure as outlined in Exhibit 1 (attached). From 2006 until 2014, Mr. Harry Bryson was the listed property owner for 1420 Ridgecrest. In 2012, Mr. Bryson became terminally ill in which Ms. Vaneslow (later Wentworth) retained Power of Attorney (POA) and became the primary contact for Staff concerning the condition of 1420 Ridgecrest Drive. In 2014, Mr. Bryson passed and the subject property was subsequently probated. The property was distributed between four (4) heirs: Elizabeth Jordan, Julia Bryson Ray, Amanda Jordan and Jennifer Vaneslow. However, Ms. Wentworth (formerly Vaneslow) has remained the primary point of contact.

Analysis:

Section 28-191 of the City of Hendersonville Zoning Ordinance allows for the HPC to file a petition with the zoning administrator requesting that the administrator process the correction of deterioration or making of repairs to any historic landmark or structure located within an historic district.

The property is listed as **contributing** in the Hyman Heights Local Designation Report and is described as:

1420 Ridgecrest Drive. Contributing. Built ca. 1920. An intact, one-and-a-half-story, gable-end, brick-veneered bungalow with entry portico and front dormer edged with triangular knee braces.

The subject property is listed as **contributing** on the National Register and described as:

1420 Ridgecrest Place. Columbus Few House. Contributing. by 1926. One-story plus basement vernacular bungalow with an irregular floor plan, side gable roof, and a front gable dormer supported by knee braces. Entry stoop has a front gable roof and square posts. Walls are brick veneer with shingles in the gable ends and dormer. Windows are one-over-one. Heavily wooded lot drops away to the rear. Columbus Few, the postmaster, and wife Bessie lived here from 1939 to at least 1949. Fair to poor condition.

Greenhouse. Contributing. by 1954. Removed 2014.

Section 28-190 Standards

The following is a list of the standards for use when considering a structure for demolition by neglect. These standards are set out in Section 28-190 of the City of Hendersonville Zoning Ordinance. ***NOTE: The following information is from a cursory inspection. City Code requires that a finding of demolition by neglect be made by the Zoning Administrator following a petition by the Historic Preservation Commission.***

Chapter 28 Article VI Sec. 28-190. - Standards.

The exterior features of any building or structure (including walls, fences, light fixtures, steps, pavement, paths, or any other appurtenant feature), or any type of outdoor advertising sign either designated as an historic landmark or located within an historic district shall be preserved by the owner or such other person who may have legal possession, custody and control thereof against decay and deterioration and kept free from structural defects. The owner, or other person having such legal possession, custody and control, shall upon written request by the city repair such exterior features if they are found to be deteriorating, or if their condition is contributing to deterioration, including but not limited to any of the following defects which have the effect of significantly impairing the integrity of such building or structure or the special character of such historic district:

(1) Deterioration of exterior walls, foundations, or other vertical support that causes leaning, sagging, splitting, listing, or buckling.

- **Exterior masonry has deteriorated in several areas. The foundation masonry contains cracks.**
- **See Exhibit 2, Figures 2-6 from cursory inspection**

(2) Deterioration of flooring or floor supports, roofs, or other horizontal members that causes leaning, sagging, splitting, listing, or buckling.

- **Roof replaced/repared 2015**
- **Unable to determine from cursory inspection**

(3) Deterioration of external chimneys that causes leaning, sagging, splitting, listing, or buckling.

- **Difficult to determine during cursory inspection.**
- **See Exhibit 2, Figure 18 provided from cursory inspection**

(4) Deterioration or crumbling of exterior plasters or mortars.

- **Deteriorating and missing mortar is present in numerous and various places on the exterior of the structure.**
- **See Exhibit 2, Figures 2-6 from cursory inspection**

(5) Ineffective waterproofing of exterior walls, roofs, and foundations, including broken windows or doors.

- **Some window frames are rotting, large gaps between window and frame are present, some wood window trim is completely exposed/unpainted.**
- **See Exhibit 2, Figures 7-10 from cursory inspection**

(6) Defective protection or lack of weather protection for exterior wall and roof coverings, including lack of paint, or weathering due to lack of paint or other protective covering.

- **Roof on main structure appears to be in good condition**
- **Some windows unpainted**
- **Unable to determine weather protection of the brick**

(7) Rotting, holes, and other forms of decay.

- **Some rot observed on window frames and eaves**
- **See Exhibit 2, Figures 13-17 from cursory inspection**

(8) Deterioration of exterior stairs, porches, handrails, window and door frames, cornices, entablatures, wall facings, and architectural details that causes delamination, instability, loss of shape and form, or crumbling.

- **Some rot observed on window frames and eaves**
- **See Exhibit 2, Figures 13-17 from cursory inspection**

(9) Heaving, subsidence, or cracking of sidewalks, steps, or pathways.

- **Exterior concrete stairs have erosion underneath concrete**
- **See Exhibit 2, Figure 11 from cursory inspection**

(10) Deterioration of fences, gates, and accessory structures.

- **Foundation / wall for former boiler room / greenhouse is leaning.**
- **See Exhibit 2, Figure 12.**

(11) Deterioration that has a detrimental effect upon the special character of the district as a whole or the unique attributes and character of the historic landmark.

- **The front façade of the structure appears to be in relatively sufficient aesthetic condition.**
- **See Exhibit 2, Figure 1.**

(12) Deterioration of any exterior feature so as to create or permit the creation of any hazardous or unsafe conditions to life, health, or other property.

- **Potential exist for this criteria to be present but it is beyond the scope of the Planning staff to make this determination**

PROCEDURE:

Chapter 28 Article VI Sec. 28-191. - Petition and action.

The historic preservation commission may file a petition listing specific defects with the zoning administrator requesting that administrator act under the following procedures to require the correction of deterioration or making of repairs to any historic landmark or structure located within an historic district so that such structure shall be preserved and protected in accordance with the purposes of Section 28-1 of this Code.

1. Whenever a petition is filed with the zoning administrator charging that a structure is undergoing demolition by neglect, the administrator shall, if her preliminary investigation discloses a basis for such charges, within seven days issue and cause to be served upon the owner and/or such other person who may have legal possession, custody, and control thereof, as the same may be determined by reasonable diligence, a complaint stating the charges in that respect and containing a notice that an administrative hearing will be held before the administrator not less than 30 nor more than 45 days after the serving of such complaint; that the owner and/or parties in interest shall be given a right to answer to give testimony at the place and time fixed in the complaint; that the commission shall also be given notice of the hearing and that the rules of evidence prevailing in courts of law or equity shall not be controlling administrative hearings before the administrator. The purpose of an administrative hearing is to receive evidence concerning the charge of deterioration and to ascertain whether the owner and/or other parties in interest wishes to petition the commission for a claim of undue economic hardship.

2. If after such notice and administrative hearing, the administrator determines that the structure is undergoing demolition by neglect because it is deteriorating, or if its condition is contributing to deterioration, according to the standards of section 28-190, the administrator shall state in writing the findings of fact in support of such determination and shall issue and cause to be served upon the owner and/or other parties in interest therein an order to repair within the time specified those elements of the structure that are deteriorating, contributing to deterioration, or deteriorated. In the event that the owner and/or other parties in interest wish to petition for a claim of undue economic hardship, the administrator's order shall be stayed until after the commission's determination in accordance with the procedures of section 28-193.

SUGGESTED MOTIONS

Approval: I move the Commission, based on the findings made in this report and as outlined in Section 28-191 of the Code of Ordinances of the City of Hendersonville, to file a petition with the Zoning Administrator for demolition by neglect of structures located at 1420 Ridgecrest Drive.

Disapproval: (No action will be taken in the absence of a motion).

ATTACHMENTS:

- 1) Exhibit 1 – Timeline of Demolition by Neglect / CoA Actions
- 2) Exhibit 2 - Photos from Cursory Inspection

Exhibit 1 – Timeline of Demolition by Neglect / CoA Actions

Timeline:

In 2006, the Historic Preservation Commission (HPC) filed a petition for Demolition by Neglect with the Zoning Administrator for deteriorating conditions of the structure and associated greenhouse at 1420 Ridgecrest Drive. No substantial basis was found for demolition of the primary structure, but the Zoning Administrator determined that the greenhouse either needed to be repaired or removed from the property. Shortly thereafter, a COA was issued for the repair of the greenhouse with deadline of May 21, 2007.

On April 2, 2007, the Zoning Administrator received a letter from an attorney representing both the applicant and property owner requesting an extension of time for the completion of the greenhouse repair. This request was subsequently denied by HPC on May 16, 2007.

On October 12, 2012, the Zoning Administrator was contacted by the granddaughter of the property owner, Ms. Jennifer Vaneslow, stating that the property owner was terminally ill and she had Power of Attorney (POA) and would begin repairs on the property as soon as possible.

On January 14, 2014, the Zoning Administrator received notice from Ms. Vaneslow indicating that the property owner passed, and that 1420 Ridgecrest was in probate. Ms. Vaneslow further indicated that repairs will be postponed until at least May 2014. On May 19, 2014, a COA was issued for the installation of a new roof with an expiration date of November 19, 2014. Additionally, on June 18, 2014, a COA was issued for the removal of glass and framing of the greenhouse with an expiration date of December 18, 2014.

On July 1, 2015, a COA was issued to replace the roof, rotten and damaged wood and damaged fascia with an expiration date of July 1, 2016. It is upon information and belief that the roof was replaced in 2015.

On July 16, 2018, HPC sent notice to Ms. Vaneslow that the HPC voted to begin the fact-finding process for a Demolition by Neglect action.

On August 15, 2018, Ms. Vaneslow submitted an application for a COA proposing to replace the wooden fence on the property.

On September 19, 2018, the HPC voted to petition the Zoning Administrator for Demolition by Neglect concerning the located at 1420 Ridgecrest Drive.

On October 30, 2018, the HPC held a hearing regarding Demolition by Neglect in which Ms. Wentworth (formerly Vaneslow) was present to answer questions and give testimony.

On November 2, 2018, the Zoning Administrator found that the structure is undergoing demolition. An order for repair was issued for the following: water in crawl space, exterior masonry deterioration, vertical cracks in the rear chimney, open cracks near the windows and doors, cracks in the brick and foundation, extensive moisture and insect damage, missing gutters, and damage to roof-sheathing boards.

On March 22, 2019, a COA was issued for the replacement of two basement windows on the left side of the house with an expiration date of August 22, 2019.

On November 13, 2019, Ms. Wentworth contacted the zoning administrator to state that she had scheduled the window installation and masonry repair.

On May 21, 2021, Ms. Wentworth provided an update to the Planning Department and indicated various repairs and/or improvements, however, none of the previously ordered repairs were completed.

On August 4, 2021, Planning Staff contacted Ms. Wentworth that Staff was in receipt of complaints about the current condition of the property as well as fallen tree that blocked the road. Ms. Wentworth responded to Staff and indicated that she was out of town and had been working on the property to prepare for the masonry work to be completed.

On August 13, 2021, Staff received an update from Ms. Wentworth detailing the continued work on the property including the removal of trash and debris and continued yard work. However, none of the previously ordered repairs were completed. Ms. Wentworth indicated that she was discussing the possible sale of the property with the other property owners.

On August 16, 2021, Staff contacted Ms. Wentworth asking for an update concerning the foundation and the potential sale of the property.

On August 30, 2021, Staff indicated that they would like to visit the property and for a copy of the engineer's report. Permission was granted to inspect the property.

On September 22, 2021, Planning Staff conducted the cursory inspection.

Exhibit 2 – Photos from September 22, 2021 cursory inspection



Figure 2 - 1420 Ridgecrest Drive



Figure 1 - Missing Mortar



Figure 3 - Missing/Damaged Mortar



Figure 4 - Missing Mortar/Loose Brick



Figure 5 - Cracks in Foundation Masonry



Figure 6 - Missing mortar and crack above window; rotting window frame



Figure 7 - Gaps between window and frame

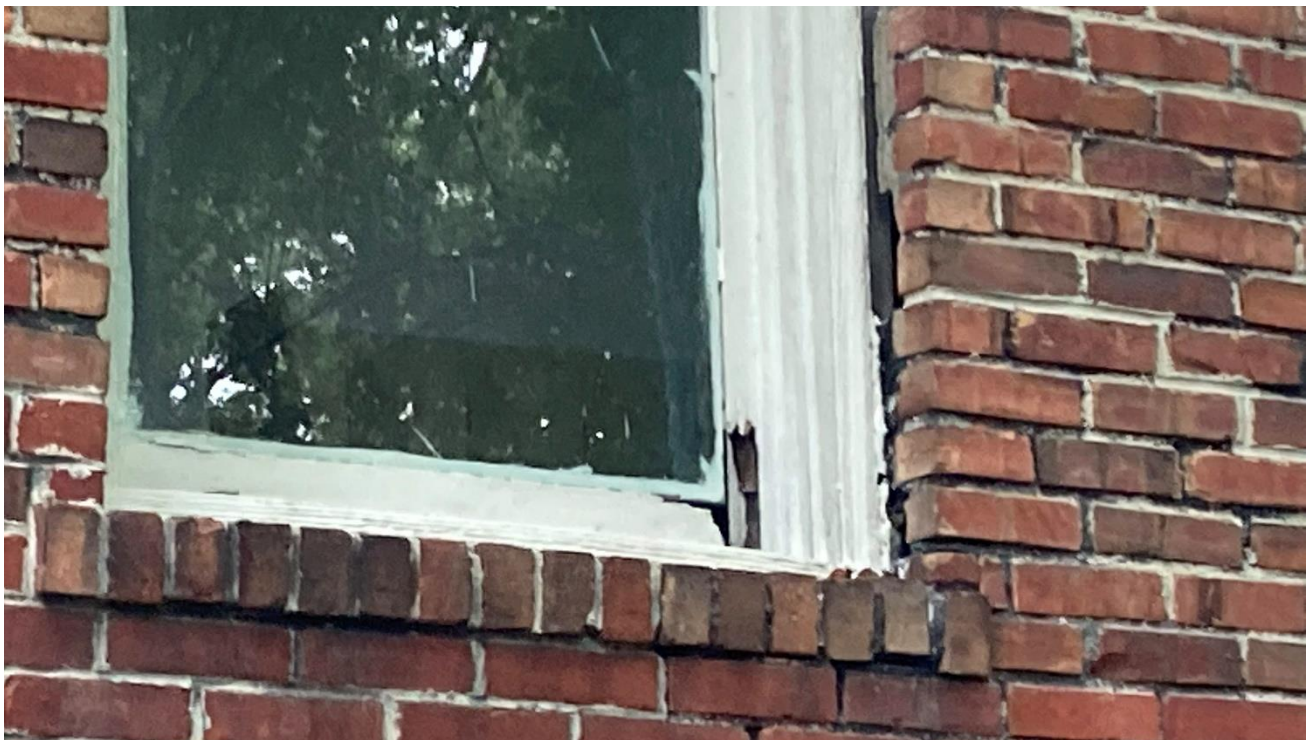


Figure 8 - Rotten/Damaged Window Frame



Figure 9 - Exposed/Unpainted Wood Window Trim



Figure 10 - Exposed/Unpainted Wood Window Trim



Figure 11 - Erosion Underneath Exterior Concrete Stairs



Figure 12 – Leaning Foundation/Wall for Former Boiler Room /Greenhouse



Figure 13 – Rotting/Exposed/Unpainted Wood Window Frame



Figure 14 - Rotting Wood Window Frame



Figure 16 - Damaged Shingle



Figure 17 - Damaged/Rotten Eaves and Shingles



Figure 18 - Missing Mortar on Chimney