



**CITY OF HENDERSONVILLE**  
**PLANNING BOARD - REGULAR MEETING**  
City Hall – 2nd Floor Meeting Room | 160 6th Ave. E. | Hendersonville, NC 28792  
Thursday, April 10, 2025 – 4:00 PM

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## AGENDA

1. **CALL TO ORDER**
2. **APPROVAL OF AGENDA**
3. **APPROVAL OF MINUTES**
  - A. Minutes of March 13, 2025
  - B. Minutes of March 25, 2025 Special Called Meeting
4. **OLD BUSINESS**
5. **NEW BUSINESS**
  - A. Rezoning: Conditional Zoning District – Meadowcrest (25-12-CZD) – *Sam Hayes – Planner II*
  - B. Rezoning: Standard Rezoning – 135 Sugarloaf Rd | P24-43-RZO – *Matthew Manley, AICP / Long-Range Planning Manager*
  - C. Rezoning: Standard Rezoning–2620 Chimney Rock Road (and other associated White Pine Villas parcels) (25-14-RZO) – *Tyler Morrow– Current Planning Manager*
  - D. Zoning Text Amendment: Tree Ordinance Clarifying Edits (25-15-ZTA) –*Lew Holloway, Community Development Director*
6. **OTHER BUSINESS**
7. **ADJOURNMENT**

*The City of Hendersonville is committed to providing accessible facilities, programs and services for all people in compliance with the Americans with Disabilities Act (ADA). Should you need assistance or an accommodation for this meeting please contact the Community Development Department no later than 24 hours prior to the meeting at 828-697-3010.*

**Minutes of the Planning Board  
Regular Meeting  
March 13, 2025**

**Members Present:** Tamara Peacock (Vice-Chair), Donna Waters, Kyle Gilgis, Jim Robertson (Chair), Bob Johnson, David McKinley, Mark Russell

**Members Absent:** Laura Flores, Peter Hanley

**Staff Present:** Tyler Morrow, Current Planning Manager, Sam Hayes, Planner II, Matthew Manley, Long Range Planning Manager, Lew Holloway, Community Development Director, Angela Becker, City Attorney

**I Call to Order.** *The Chair called the meeting to order at 4:00 pm. A quorum was established.*

**II Approval of Agenda.** *Mr. Johnson moved to approve the agenda. The motion was seconded by Ms. Waters and passed unanimously.*

Chair confirmed a quorum was present.

**III Approval of Minutes for the meeting of January 9, 2025.** *Ms. Gilgis moved to approve the Planning Board minutes of the meeting of January 9, 2025. The motion was seconded by Ms. Peacock and passed unanimously.*

**IV Old Business**

**V New Business**

**V(A) Conditional Zoning District – Henderson County Courthouse and Detention Center (25-06-CZD).** Mr. Morrow gave the following background:

Mr. Morrow stated this project is located at 200 N. Grove Street. The applicant and property owner is Henderson County Government. The applicant is requesting to rezone the property to PID CZD, Planned Institutional Development Conditional Zoning District. The property is approximately 14.78 acres and they are proposing to construct a 90,859 sq. ft. courthouse addition and a 53,443 sq. ft. detention center expansion.

Mr. Morrow stated a Neighborhood Compatibility meeting was held January 23, 2025. Topics discussed were impacts from increased traffic, the need for expansion, if a TIA would be required, concerns about the public drop-off area being an issue, visual aesthetics of the courthouse structure and how to make it more welcoming, whether the project proposed any sustainable aspects.

Site photos were shown and are included in the staff report and presentation.

A brief rezoning history was discussed and is included in the staff report and presentation.

A site plan was shown and is included in the staff report and presentation. The site plan was discussed. There is a blueline stream on the property.

Mr. Morrow stated the proposed height of the courthouse will be 92.75 feet and the proposed height for the detention center will be 25.5 feet. The max height allowed in the PID zoning district is 50 feet. The applicant has requested a condition to allow for the proposed height.

Mr. Morrow showed the downtown height limitation map and discussed the session law concerning the height. He stated the subject property is outside of the area outlined in yellow and is not included in the session law height restriction of 64'.

Mr. Morrow stated a TIA was done and there were no major mitigations recommended.

A city proposed condition was discussed and is included in the staff report and presentation. The developer has not agreed to this condition.

The developer proposed conditions were discussed and are included in the staff report and presentation.

Height comparable buildings in downtown were shown and discussed and are included in the staff report and presentation.

Future Land Use map was shown and is included in the staff report and presentation.

General Rezoning standards for Comprehensive Plan Consistency were discussed and are included in the staff report and presentation.

Gen H Public Realm guidance was discussed and is included in the staff report and presentation.

The Current Land Use and Zoning map was shown and is included in the staff report and presentation.

General rezoning standards were discussed and are included in the staff report and presentation.

A draft Comprehensive Consistency statement was included in the presentation and staff report.

A draft reasonableness statement for approval and denial were included in the staff report and presentation.

Chair asked if there were any questions for staff.

Chair asked if Henderson County allowed for conditional zoning. Mr. Morrow stated they do have conditional zoning.

There were no further questions for staff.

Chair asked if the applicant would like to speak.

Christopher Todd, Assistant County Manager stated he would turn things over to the consultants but wanted to thank the Planning Board.

Steve White, Fentress Architects stated that was a very good summary of the project that was presented. He would move through the presentation rather quickly. He explained the site plan in detail. He stated parking would be expanded to the impound lot and the impound lot would be relocated to another spot in the county. He pointed out the secure parking for staff on site and stated parking for the judges would be

under the building. He showed a blow up of the ground floor for the courthouse and explained the first floor plan. He pointed out the connection to the 1995 building.

He showed the elevations for each side and explained those to the board. He explained the “stepping” of the building and how the height drops off at each step. He stated he believes this project will be both vehicular and pedestrian friendly. They have a very solid group of professionals working on this from the civil side and the landscape side as well as the parking and engineering side to make this a safe comfortable environment. This will be an improvement for the courthouse and the city. He showed the front elevation and stated Main Street has a higher elevation and this really diminishes the scale of the building from Main Street. He discussed the materials that would be used and the colors. Mr. Johnson asked about the colors they are proposing and what is currently there now and if they would match. Mr. White stated they had made a decision to not try to match because inevitably you don't quite hit it. The building is 35 years old and it has aged. The building is actually a light gray and they are making a complimentary pallet that works well with that.

Mr. White showed a site plan diagram. He discussed the area. He stated they plan to take down the grand staircase and recapture that space for greenspace. He pointed out the buffered connection to the parking lot. He also pointed out the barrier free parking spaces in the front along with the fire lane in the front.

Greg Bassiely, McMillan Pazdan Smith Architecture stated there are several additions to the detention center. He pointed out the area “A” where there would be inmate housing. It is a new addition. He pointed out another addition “B” that would also have inmate housing and a third area for inmate housing “C”. He pointed out area “D” that would be the new booking area for the detention center. The main entrance would be relocated and he showed that on the plan. He showed two renderings of the proposed facility. He discussed the materials.

Chair asked if there were any questions for the applicants.

Ms. Waters asked about the handicap spaces and if they would be expanded or if there would be spaces on the first level that would remain open. Mr. Bassiely stated he hopes with this new facility there will be an expanded number of spaces. He pointed out the area where the spaces would be and they would be at grade level.

Chair asked concerning the sidewalks, is the reason they are asking for a fee in lieu because they do not want to have to deal with the railroad.

Will Buie, WGLA Engineering stated they are working on the project from a civil perspective. He stated he worked on the project in 2010 for the Sheriff's Office and the county had agreed to improve the sidewalk through the Martin Luther King Jr Park rather than build the sidewalk down to the property line. The property line terminates right in the middle of the railroad and it seemed to them at that time that it was dangerous to have that sidewalk that would be extended to the property line and end in the middle of the railroad. The county has offered the alternative condition of a fee in lieu of which allows them time to figure what will happen with the rail line and the Fourth Avenue corridor. They could build the sidewalk but feels it would be a shame if it was built on the Henderson County side and the other side is not where the extension into Jackson Park continues. That is the logic behind the condition.

Chair stated at the neighborhood meeting there was concern about the need in the detention center for more beds. Can someone from the county address that?

Kenny Burns, Burns Architecture stated he is an advisor to both the design team and the county, He stated there is really no one here from the county that can answer that. Chair stated he thought Mr. Todd could do it. Chair stated he just wanted to make sure the concern was addressed from the NCM. Mr. Burns



stated originally there were studies done that told them how many beds to put in and so they designed the original concepts for that. As they got closer to moving forward, the needs went down a little bit, the actual need for beds and they looked at that and because of the cost and things they actually decided to split what they show as Area B and that was where the main expansion would take place and they have eliminated half of it. It can be built in the future but because the need wasn't there right now, they have taken that out. The addition they are putting in right now is 110 more beds, 24 for females and 78 are on the male side, which based on the studies and the projection on when they will need those beds, that will be adequate for at least 20 years.

Chair asked why they would design a building that is 42 feet taller than what is allowed. Mr. White stated the program is really what is pushing them to build a taller building. They looked at all different kinds of scenarios on how to organize the building and they determined that the most efficient, effective way to do this is with a single stack. When you design courthouses you always design them in pairs and the prisoners are kept in holding cells between the two court rooms and there is a prisoner elevator that is in that middle court. If they were to expand horizontally they have now doubled the number of elevators for that. To make the building the most efficient and effective as possible that drove them to a stacking scenario where they stacked the courts. The second issue they were addressing by doing that was that it freed them to utilize the site more to get the number of parking spaces they needed without having to build a deck. The deck was on the table in the beginning and they just could not afford it. Right now that was something that the county could not do.

Discussion was made on the Third Avenue drop-off. Mr. Morrow explained what staff was proposing.

Mr. Buie stated there are a few things that drive the need for what they are showing. He explained the Fire Department connection and pointed out the location. The truck turn would have to come in and move back again so simply carving this off and ending it here is not possible from a firefighting standpoint. They need a "T" for the trucks to be able to get in and turn around. The team felt that it is important that they needed to provide the at grade accessible parking, they could extend it a bit further but the goal with what you see here is that this is all plaza area which transitions into greenspace and blends into the MLK Park area which is existing. He thinks through signage it will be very clear and it is a one way in and it will be very clear that the right lane is for accessible parking and the left land is for drop off and they believe that can work well.

There were no further questions for the applicants.

Chair opened public comment.

Diana Byrd spoke and stated if the entrance is from First Avenue at the detention center then she is concerned about there being more traffic on Pine Street which goes into that part of Allen Street in front of their building which is considered a private road and the wear and tear on that road. She just thinks the city should start helping them with that part of Allen Street. In inclement weather the city refuses to plow that area. She thinks it is not fair and with the change with the detention center there will be more traffic on it.

Ken Fitch, 1046 Patton Street (zoom) stated the project is an essential public facility and it has gone through a long process of design and redesign. The key factor here has been the budget. We must consider functionality and compatibility. A major issue is the drop off and handicap parking at the main entrance. He talked about people having to use the stairs and if that was ADA compliant. For a big budget project like this there should be easier access. Another issue is the number of parking spaces. Are the lots adequate for the parking required? The search for parking will become a traffic issue as well. If you do not have adequate parking you will have other issues. Another issue is the height. This is a massive building and it will have a major impact on the cityscape. It would be important to see other views from this location.

The stair issue is a major issue to deal with. He does not think it is functional or practical at the present time.

Chair closed public comment.

Discussion was made on the concerns about First Avenue and Pine and Allen Street. Mr. Holloway felt like staff could work with her on terms of whether it is a city street. Chair stated the traffic will enter the parking lot from Fourth Avenue and will not be from the First Avenue side. The detention center will be from that side which it already is on and nothing will change there as far as traffic he wouldn't think. Ms. Byrd stated when they do this redesign the main entrance will be from First Avenue. Mr. Morrow stated that entrance to the detention center is already on First Avenue. Chair stated on that side of the facility nothing is really going to change. Chair stated eight handicap spaces does not seem efficient especially with the stairs and there is no other way to access the facility. Mr. Buie discussed the number of parking spaces. There will be accessible spaces that will be provided for staff as well. Those spaces on top are only for visitors coming to the courthouse. Mr. Buie stated they have heard the concerns and can look at the number of spaces that are provided up top. Chair discussed having a condition for handicap spaces.

***Ms. Peacock moved Planning Board recommend City Council adopt an ordinance amending the official zoning map of the City of Hendersonville changing the zoning designation of the subject property (PIN: 9568-97-1859) from PID, Planned Institutional Development to PID-CZD, Planned Institutional Development Conditional Zoning District, for the construction of a 90,859 square foot courthouse and 53,443 square foot detention center based on the master site plan and list of conditions submitted by and agreed to by the applicant, [dated 3-6-25] and presented at this meeting and subject to the following: 1. The development shall be consistent with the site plan, including the list of applicable conditions contained therein, and the following permitted uses Permitted Uses: 1.Public & quasi-public buildings 2. The petition is found to be consistent with the City of Hendersonville Gen H 2045 Comprehensive Plan based on the information from the staff analysis and the public hearing, and because: The petition is consistent with a range of Goals, Guiding Principles and the Future Land Use Designation of Chapter IV of the Gen H Comprehensive Plan. 3. We find this petition to be reasonable and in the public interest based on the information from the staff analysis and the public hearing, and because: 1. This expansion would give the County the additional space needed to improve operational efficiency and enhance the services currently provided to its citizens. 2. The proposed expansion of the detention center and courthouse builds upon a longstanding use established at this site for over three decades. 3. Expanding the courthouse is a long-term investment in the community, ensuring that the infrastructure is capable of handling future needs without requiring another expansion in the near future. Ms. Gilgis seconded the motion. Chair discussed having a condition concerning the parking spaces. Discussion was made by the Board members on having more spaces or having a ramp and more spaces. Mr. Buie stated building a ramp like that would be challenging and they can certainly look at the area and see where they can increase parking up top. Ms. Peacock amended the motion to include that City Council consider additional handicap parking. Ms. Gilgis seconded the motion which passed unanimously.***

**V(B) Zoning Map Amendment – Standard Rezoning – 23 Brevard Knoll Drive (25-07-RZO).** Mr. Manley gave the following background:

Mr. Manley stated this is a standard rezoning for a parcel along Signal Hill Road. The property address is 23 Brevard Knoll Drive and the applicants are Lamott and Meghan Cowan. It is a .43 acre lot and is currently zoned R-20. The initial application was for a rezoning to C-2 which would be following an adjacent property that was rezoned from RCT to C-2 however based on some feedback from staff and discussing this further with the applicant it was agreed on by the applicant to amend their application to CHMU. Staff finds that better aligns with the Future Land Use Designation of Innovation.

Site photos were shown and are included in the staff report and presentation. He stated the property is split and a portion is on the other side of Brevard Knoll.

The Comprehensive Plan Consistency Future Land Use map was shown and is included in the staff report and presentation.

General rezoning standards for comprehensive plan consistency were discussed and are included in the staff report and presentation.

The Current Land Use and Zoning map was shown and is included in the staff report and presentation.

General rezoning standards for compatibility were discussed and are included in the staff report and presentation.

A draft comprehensive consistency statement was shown and is included in the staff report and presentation.

A reasonableness statement was shown and is included in the staff report and presentation.

Rationale for approval and denial were shown and included in the staff report and presentation.

Chair asked if there were any questions for staff.

Chair asked the applicant to come up and speak. The applicant was not in attendance or on zoom.

Chair opened public comment.

Dwain Haynes, 150 Brevard Knoll Drive stated they live at the end of the road past this property. They have an ongoing concern with the development that has been going on Signal Hill Road. They built their house there in 1995 and there was no Signal Hill Road they lived on Linda Vista and it was all gravel going almost back to Four Seasons Boulevard. There has been a lot of change in the past 30 years. They see a lot of truck traffic on Signal Hill and it is hard to get in and out of the driveway. His primary concern is their driveway bisects this property and it is .42 acres. If it is used as some commercial property where people are coming and going then that will interfere with their ability to use the driveway. Adjoining that piece of property to the north which is roughly two acres. The property is a contractor and has said he is thinking about putting three homes on it and has cleared some of the property and that will add more traffic to it. They also have a vacant parcel next to them. It is a possibility in the next 15 to 20 years to have a dozen or more houses using a single lane gravel driveway. He doesn't have any issues right now but if you add a commercial property that will increase traffic and cause other issues. His third concern is he does not see how there could be a sewer connection there and he doesn't see how it could be developed if you can't have water or sewer. Mainly it is just the congestion and the construction of the right-of-way there. Because it is right off of Signal Hill Road and people pull into that property, it really restricts them being able to get in and out of their property.

Ester Padula, 167 Brevard Knoll Drive stated Brevard Knoll is a tiny road. It is a very narrow private drive. There are only seven lots on that road and five of them have homes on them. What she understands is that they are trying to have 23 Brevard Knoll Road a commercial lot and her understanding was that the people who purchased this lot want to put in a storage warehouse. They are telling them that they do not need a septic system they just want to put up this big building to store their commercial products. She was wondering what piece of that property are they going to do that on. She also agrees with what Mr. Haynes has to say it is their road. They are the ones that are responsible for this little piece of road and if all of a

sudden there is a commercial building there who is going to be responsible for any damages or additional wear and tear on this road. Their mailboxes are all lined up on that corner there. It is a very small piece of property because it is cut in half. She has major concerns about that. Since the hurricane she lost most of her trees and she can look out and now see Home Depot, which she never could see before. If they put up a warehouse there, that is going to be in her backyard. That will like looking at commercialism where it was once very peaceful and residential. The traffic on Signal Hill Road is horrible and this was a concern of hers as well. It is going to get so much worse the more commercial buildings that are there.

No one else spoke.

Chair closed public comment.

The right-of-way was shown on the map. It was stated the Brevard Knoll Road is a one lane gravel drive. Ms. Peacock asked about the access. Mr. Manley stated his understanding is they would have a cross access easement that is shared access along that road for any property that abuts it. Ms. Peacock asked about the front setback. Mr. Manley stated he believes the front setback would come off of Signal Hill Road. The narrowest of the property line is considered the front. Mr. Manley stated there would be side setbacks on the private road. He stated it is one parcel and is .42 acres.

Mr. Haynes stated it was a 20 acre farm at one time but the property was divided and sold off.

Discussion was made on the requirements for the side setback for CHMU.

Ms. Waters asked if the easement was recorded with the county. Ms. Beeker stated what is shown in red is just what is taxed and that is not the legal boundary she imagines if a survey has been done it would close those gaps and show it as an easement. It would have to be looked at during site plan approval when they come in to get their zoning compliance permit. Ms. Waters stated so that could never become a public road. Ms. Beeker stated she does not know what could happen in the future but right now it is just an easement that would be shown on a survey.

Ms. Peacock stated there is no survey showing the easement. Mr. Manley stated no, there is no development proposed so there is no requirement for them to submit anything. Ms. Beeker's recommendation was to close the gap on the zoning boundary to make it all the way to the center line of Signal Hill all the way over and close the gap on the zoning. Mr. Manley stated it is closed. If you take the parcel lines away the district is all one. Ms. Beeker explained bringing the zoning to the center line like they did for the adjacent C-2 zoning.

Ms. Beeker explained there are private property rights that would not play into the rezoning. Rezoning the property would not change the road at all.

Mr. Manley stated they will look into the easement to clarify for City Council.

Chair had concerns about putting commercial properties all along Signal Hill Road and it being used as a cut through. He stated a lot of people use this road to get from Asheville Highway to the interstate without having to get on a major thoroughfare.

Virginia Haynes, 150 Brevard Knoll Road stated she leaves her house to go to school around 7:00 am and on top of the cut through traffic, the I-26 construction had led thousands of 18-wheelers down that road. It is hard for bus stops on that road now, it's hard to pull out on that road and the accidents occurring at the mini-storage because it is in a blind spot coming across the road as they turn into the mini-storage, it is a daily thing. Then they will have a subdivision between Lafollette and Amazing Grace that First Victory is

building that will be hundreds of more vehicles. All the growth on Clear Creek cuts up through there. That road wasn't built to have that much traffic on it. It is falling apart and is a pothole disaster now.

Ms. Waters concern was if this becomes commercial and there are no setbacks because it is not a road, they could go in there and put in anything they wanted to right up to the property line. That would make it where that road could never be developed into a road for the people living behind it. Mr. Manley stated it is speculating that there is no right-of-way and there is no setback requirement currently other than on the side and the rear and it is speculating there is no right-of-way if it was rezoned and there would be no setback other than the side and rear. The condition does not change based on the rezoning. What would change is the ability to put in a commercial use and multi-family is also another use and that is the primary difference between the two.

**Mr. Johnson moved the Planning Board recommend City Council adopt an ordinance amending the official zoning map of the City of Hendersonville changing the zoning designation of the subject property (PIN: 9579-06-3217) from R-20, Low Density Residential to CHMU, Commercial Highway Mixed Use, based on the following: 1. The petition is found to be Consistent with the City of Hendersonville Gen H Comprehensive Plan based on the information from the staff analysis and because: The proposed zoning of CHMU aligns with the Gen H 2045 Comprehensive Plan Future Land Use & Conservation Map and the Character Area Description for 'Innovation'. 2. Furthermore, we find this petition to be reasonable and in the public interest based on the information from the staff analysis, public hearing and because: 1. CHMU Zoning would allow for greater economic use of the subject property given the wide range of permitted uses. 2. CHMU Zoning along this corridor could lead to additional opportunities for needed housing in close proximity to Commercial uses. 3. CHMU Zoning ensures some level of compatibility through application of Design Standards. Ms. Gilgis seconded the motion which passed 5 in favor and 2 against. (Mr. Robison and Mr. Russell opposed the motion)**

**V(C) Zoning Text Amendment – Reforms for Housing (25-01-ZTA).** Mr. Manley gave the following background:

Mr. Manley stated this is a city initiated zoning text amendment that is hitting on a number of different chapters. In the zoning ordinance it effects a range of zoning districts and it is primarily focused on the residential zoning districts.

Mr. Manley gave a background of the project which is included in the staff report and presentation. There are two phases to this text amendment. Phase I relates to dimensional requirements, permitted uses and definitions. Phase II relates to PRD and minor PRD, ADU's and density.

The proposed amendments for Phase I were discussed and are included in the staff report and presentation.

The proposed amendments for Phase II were discussed and are included in the staff report and presentation.

A Zoning Districts Distribution Table was shown and is included in the staff report and presentation.

Future Land Use and Conservation map was shown along with the a table showing the relationship to the Gen H Comp Plan. These are included in the staff report and presentation.

General rezoning standards for Comprehensive Plan Consistency was discussed and is included in the staff report and presentation.

Relationship to Gen H Comp Plan guiding principles including compact development, missing middle housing and desirable and affordable housing were discussed and are included in the staff report and presentation.

A draft consistency statement was shown and is included in the staff report and presentation.

Draft rationale for approval and denial were shown and are included in the staff report and presentation.

Chair asked if there were any questions for staff.

There were no further questions for staff.

Chair asked about Greenville Highway Mixed Use apartment units and Mr. Manley stated if it was 51 units it would trigger a CZD. Chair stated they would not be able to do it by right. Mr. Manley stated they could not do 100 units by right. Mr. Manley stated Greenville Highway has no density cap. Mr. Holloway stated once you get to 50 units it triggers a CZD. If you did have a minor PRD and the base was 12, they could go to 24 units without that triggering anything but they would have to meet all the other standards.

The Board discussed the density. Different scenarios were discussed. "Missing Middle" and affordable and attainable housing was also discussed.

Chair opened public comment. No one spoke.

Chair closed public comment..

***Ms. Gilgis moved the Planning Board recommend City Council adopt an ordinance amending the official City of Hendersonville Zoning Ordinance: Article IV. Establishment of Zoning Districts, Article V. Zoning District Classifications, Article VI. General Provisions, Article VIII. Exceptions & Modifications, Article XII. Definition of Terms, and Article XVI. Supplementary Standards as presented by staff, based on the following: 1.The petition is found to be consistent with the City of Hendersonville Gen H Comprehensive Plan based on the information from the staff analysis and public hearing and because: The proposed text amendment aligns with the Gen H 2045 Comprehensive Plan Future Land Use & Conservation Map and the Character Area Descriptions. 2. Furthermore, we find this petition to be reasonable and in the public interest based on the information from the staff analysis, public hearing and because: 1.The proposed amendment creates an opportunity to address the need for additional, dispersed, "attainable" infill housing. 2.The proposed amendment allows for property owners to better utilize their property and earn additional revenue. 3.The proposed amendment will incentive the construction of smaller, more affordable dwellings ("starter homes"). Ms. Waters seconded the motion which passed unanimously.***

**V(D) Zoning Map Amendment– Standard Rezoning – LBH Property Holdings LLC (Lyndon Hill) – (25-10-RZO).** Mr. Hayes gave the following background:

Mr. Hayes stated this is a lot off of Upward Road and it is going from Henderson County Community Commercial to the City’s zoning of Commercial Highway Mixed Use (CHMU). The city initiated this zoning and the property was annexed into the city in February. The property owner did not request a zoning district so the city has proposed CHMU and initiated the zoning. The property is only .08 acres and is very small.

Site photos were shown and are included in the staff report and presentation.

A Comprehensive Plan Consistency Future Land Use map was shown and is included in the staff report and presentation.

Mr. Hayes stated staff did find this to be consistent with the Comp Plan.

A current Land Use and Zoning map was shown and is included in the staff report and presentation. Mr. Hayes stated the CHMU district was established in 2011 and was established for the purpose of the properties along Upward Road.

A draft comprehensive plan consistency statement was shown and is included in the staff report and presentation.

A draft reasonableness statement with rationale for both approval and denial were shown and are included in the staff report and presentation.

Chair asked if there were any questions for staff.

Ms. Gilgis asked how this property was missed. Chair stated it was just recently annexed.

Chair opened public comment. No one spoke.

Chair closed public comment.

***Ms. Waters moved the Planning Board recommend City Council adopt an ordinance amending the official zoning map of the City of Hendersonville changing the zoning designation of the subject property (PIN: 9577-89-9886) from Henderson County CC to City of Hendersonville Commercial Highway Mixed Use and designating the Future Land Use classification as "Mixed Use – Commercial" based on the following: 1.The petition is found to be consistent with the City of Hendersonville Gen H Comprehensive Plan based on the information from the staff analysis and because: The proposed zoning of CHMU aligns with the Gen H 2045 Comprehensive Plan Future Land Use & Conservation Map and the Character Area designations in the areas adjacent to the subject parcel. 2. Furthermore, we find this petition to be reasonable and in the public interest based on the information from the staff analysis, public hearing and because: 1.Commercial Highway Mixed Use is the zoning district established for the Upward Road Planning Area. 2.The Commercial Highway Mixed Use zoning district is well suited to achieve the goals of the Comprehensive Plan for this area. Mr. Johnson seconded the motion which passed unanimously.***

**VI Other Business.** Chair discussed having a quorum and having a Special Called Meeting to rehear items from February.

**VII Adjournment – *The meeting was adjourned at 6:43 pm.***

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Jim Robertson, Chair

**Minutes of the Planning Board  
Special- Called Meeting  
March 25, 2025**

**Members Present:** Tamara Peacock (Vice-Chair), Donna Waters, Kyle Gilgis, Laura Flores, David McKinley, Bob Johnson, Mark Russell

**Members Absent:** Jim Robertson (Chair), Peter Hanley

**Staff Present:** Sam Hayes, Planner II, Matthew Manley, Long Range Planning Manager, Lew Holloway, Community Development Director

- I Call to Order.** *The Vice-Chair called the meeting to order at 3:02 pm. A quorum was established. She explained that there were no minutes to approve for Item III.*
- II Approval of Agenda.** *Ms. Gilgis moved to approve the amended agenda without Item III. The motion was seconded by Ms. Waters and passed unanimously.*
- III Approval of Minutes.** None
- IV Old Business.** None
- V New Business**
- V(A) Zoning/Subdivision Text Amendment – Flag Lots & Small Lots (P24-89-ZTA).** Mr. Manley gave the following background:

Mr. Manley stated this will be a brief overview and there would be no public comment. This meeting was not advertised for public comment.

Mr. Manley stated this is an applicant driven text amendment that touches on both the Subdivision Ordinance and the Zoning Ordinance.

A project background was given and is included in the staff report and presentation. Mr. Manley stated this text amendment is targeting attainable housing, fee simple. They are smaller homes and they will be more attainable so they are starter homes.

The current standards were shown and discussed and are included in the staff report and presentation. Scenarios were presented to the Board concerning the current standards and the text amendment that is proposed.

The proposed standards were shown and discussed and are included in the staff report and presentation.

A real world example was shown from Durham, NC and is included in the staff report and presentation.

Proposed amendments to the zoning ordinance were discussed and are included in the staff report and presentation.

Mr. Manley stated staff has worked closely with the applicant to align the proposals with what we think are key goals of the city.



Proposed amendments to the Subdivision Ordinance were discussed and are included in the staff report and presentation.

A description of the Comp Plan Character Areas was discussed and is included in the presentation.

Future Land Use and Conservation map was shown along with the a relationship to the Gen H Com Plan. This is included in the staff report and presentation. A zoning districts distribution chart was also shown and included in the staff report and presentation.

General rezoning standards for compatibility were discussed and are included in the staff report and presentation.

A draft consistency statement was shown and is included in the staff report and presentation.

Draft rationale for approval and denial were shown and are included in the staff report and presentation.

Vice-Chair asked if there were any questions for staff.

Would there be any issues with emergency vehicles in these neighborhoods? Mr. Manley stated they would have to meet fire access. The width of the poles will be ten feet. If you have two flag lots that will be 20 feet and that is the minimum width for the access road for fire. The Fire Marshals have reviewed this along with the Development Review Committee.

A developer would be able to sale or rent the lots. The city does not dictate this.

Mr. Manley discussed having an existing structure and the possibility of dividing some of the land off and having a small lot that could be developed. He also discussed being able to preserve existing homes. Connection in most cases will be required to city sewer. Discussion was made on septic systems.

Mr. Manley stated the Board could hear from the applicant if they would like. We did not advertise that we were taking public comment. The Board did not want to hear from the applicant.

***Ms. Waters moved the Planning Board recommend City Council adopt an ordinance amending the official City of Hendersonville Zoning Ordinance, Article V 'Zoning District Classifications', Article VIII 'Exceptions & Modifications', and Article XII 'Definition of Terms' and further amending the official City of Hendersonville Subdivision Ordinance, Article 3. 'Configurations', Article 8. 'Measurements', and Article 9. 'Definitions', based on the following: 1. The petition is found to be consistent with the City of Hendersonville Gen H Comprehensive Plan based on the information from the staff analysis and because: The proposed text amendment aligns with the Gen H 2045 Comprehensive Plan Future Land Use & Conservation Map and the Character Area Descriptions. 2. Furthermore, we find this petition to be reasonable and in the public interest based on the information from the staff analysis and because: 1. The proposed amendment creates an opportunity to address the need for additional "attainable housing" in the city. 2. The proposed amendment allows for property owners to better utilize their property and earn additional revenue. 3. The proposed amendment ensures compatibility by limiting the size and scale of new construction resulting from the proposed allowances. Mr. Johnson seconded the motion which passed unanimously.***

Vice-Chair stated she had to leave and she did have a conflict with one of the items and at this time she would like a motion to approve Ms. Gilgis as the interim Chair.

***Ms. Waters made a motion to recuse Ms. Peacock from the meeting and to appoint Ms. Gilgis as the acting Chair. Mr. Russell seconded the motion which passed unanimously.***

**V(B) Zoning Text Amendment – Board of Adjustment Member and Quorum Changes (P24-088-ZTA)** Mr. Hayes gave the following background:

This is a staff initiated text amendment.

Mr. Hayes stated these are changes that staff is proposing pertaining to the Board of Adjustment. It primarily deals with Section 10-1 and 10-6 of the Zoning Ordinance. The rationale behind this is to help staff streamline processes and make sure that applications can be heard in a timely fashion.

Mr. Hayes explained what the Board of Adjustment was and their duties. He discussed having issues with attendance on this Board.

Staff recommended code revisions were discussed and are included in the staff report and presentation.

Comprehensive Plan Consistency was discussed and is included in the staff report and presentation.

The Planning Board Legislative Committee heard this on December 17, 2024. There were generally no concerns. One member expressed disagreement with lowering the threshold for a variance from seven.

A draft consistency statement was shown and is included in the staff report and presentation.

A draft rationale for approval and denial was shown and is included in the staff report and presentation.

Chair asked if there were any questions for staff. There were no questions.

***Mr. Russell moved the Planning Board recommend City Council adopt an ordinance amending the official City of Hendersonville Zoning Ordinance, Section 10-1. Establishment of Board of Adjustment and qualifications of members., Section 10-6. Quorum and voting., Section 10-8-2 Preliminary site plan., and Section 10-8-3 Evidentiary hearings on applications for special use permits. based on the following: 1. The petition is found to be consistent with the City of Hendersonville Gen H 2045 Comprehensive Plan based on the information from the staff analysis and the and because: The petition aligns with the City's adopted plan's policy guidance to provide efficient government services. 2. We [find] this petition, in conjunction with the recommendations presented by staff, to be reasonable and in the public interest based on the information from the staff analysis and because: 1. Changing the number of members on the Board of Adjustment will assist with ensuring applications will be heard in a timely manner. Ms. Waters seconded the motion which passed unanimously.***

**V(C) Conditional Zoning District – First Ave. Villas UR (P24-86--CZD).** Mr. Manley gave the following background:

Mr. Manley stated this is a new application to rezone a piece of property on First Avenue to Urban Residential Conditional Zoning District. The project is known as the First Avenue Villas.

Mr. Manley stated the property is located on First Avenue West. A map was shown with the parcel highlighted in red. The applicant is Sarah McCormick with Peacock Architects and ARY Development LLC is the property owner and developer. The property is currently zoned CMU-CZD and they are proposing to rezone to UR-CZD. The property is .57 acres and the proposal is for twelve multi-family units which equates to 21 units per acre.

The developer proposed conditions were discussed and are included in the staff report and presentation.

The city proposed conditions were discussed and are included in the staff report and presentation.

The Comprehensive Plan Consistency Future Land Use map was shown and is included in the staff report and presentation.

General rezoning standards for comprehensive plan consistency were discussed and are included in the staff report and presentation.

The current Land Use and Zoning map was shown and is included in the staff report and presentation.

General rezoning standards for compatibility were discussed and are included in the staff report and presentation.

A draft comprehensive consistency statement was shown and is included in the staff report and presentation.

A reasonableness statement was shown and is included in the staff report and presentation.

Rationale for approval and denial were shown and included in the staff report and presentation.

Chair asked if there were any questions for staff.

Mr. Johnson asked if the parking would be retained from the previous application or reduced. Mr. Manley stated he believes the parking will be the same. The on-street parking is the same and they still have the option for the off-site parking spaces.

The privacy issue has been addressed with the buffer and the trees. Mr. Johnson asked if any trees would be coming down on the eastern side where Sinbad was located. Mr. Manley stated the black dots on the eastern side are all proposed to be preserved. He thinks there may be one or two that will come out. For the most part all the tree preservation is happening. Discussion was made on the smaller trees and the screening that exists today.

Ms. Flores asked if these would be rentals. Mr. Manley stated that is what was indicated but they could be condos at any time. Staff is not familiar with any subdivision proposal.

Discussion was made on the renderings for the previous rezoning.

There were no further questions for staff.

**Mr. McKinley moved the Planning Board recommend City Council adopt an ordinance amending the official zoning map of the City of Hendersonville changing the zoning -designation of the subject property (PIN: 9568-77-1057) from CMU-CZD (Central Mixed Use Conditional Zoning District) to UR-CZD (Urban Residential - Conditional Zoning District) based on the site plan and list of conditions submitted by and agreed to by the applicant and presented at this meeting and subject to the following: 1. The development shall be consistent with the site plan, including the list of applicable conditions contained therein, and the following permitted uses: Residential, Multi-Family 12 – 2-3 Bedroom Units. 2. The petition is found to be consistent with the City of Hendersonville Gen H 2045 Comprehensive Plan based on the information from the staff analysis and because: The petition is consistent with a range of Goals, Guiding Principles and the Future Land Use Designation of Chapter IV of the Gen H Comprehensive Plan. 3. We find this petition to be reasonable and in the**

**public interest based on the information from the staff analysis and because: 1. The petition incorporates a mix of housing types into an existing urban neighborhood. 2. The petition provides an efficient use of property in the core of the city. 3. The petition would place residents within an area of existing city services and infrastructure. 4. The petition would place residents within walkable / bikeable proximity of a range of destinations including employment, shopping, and recreation. 5. The petition provides walkable neighborhood design characteristics. 6. The petition proposes to have a vibrant interface with the public realm. Mr. McKinley amended the motion to include a condition that the developer would amend their condition #6 to include noninvasive vegetation, Mr. Johnson seconded the motion which passed unanimously.**

**VI Other Business.** Chair welcomed Mr. Russell and Mr. McKinley to the Planning Board.

**VII Adjournment – The meeting was adjourned at 3:52 pm.**

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Jim Robertson, Chair

DRAFT



# CITY OF HENDERSONVILLE AGENDA ITEM SUMMARY PLANNING DIVISION

**SUBMITTER:** Sam Hayes, Planner II

**MEETING DATE:** April 10<sup>th</sup>, 2025

**AGENDA SECTION:** New Business

**DEPARTMENT:** Community Development

**TITLE OF ITEM:** Rezoning: Conditional Zoning District – Meadowcrest (25-12-CZD) – *Sam Hayes – Planner II*

**SUGGESTED MOTION(S):**

**For Recommending Approval:**

I move Planning Board recommend City Council **adopt** an ordinance amending the official zoning map of the City of Hendersonville changing the zoning - designation of the subject property (PIN: 9569-94-7077) from R-15 (Medium-Density Residential) to UR-CZD (Urban Residential - Conditional Zoning District) based on the site plan and list of conditions submitted by and agreed to by the applicant [dated 4/1/25], and presented at this meeting and subject to the following:

**1. The development shall be consistent with the site plan, including the list of applicable conditions contained therein, and the following permitted uses:**

- a) Residential, Multi-Family
  - 132, 1-3 Bedroom Units

*[for amendments to uses or conditions discussed and agreed upon in the meeting (between City & Developer) and not yet represented on the site plan, please use the following language. Disregard #2 if not needed.]*

**2. Permitted uses and applicable conditions presented on the site plan shall be amended to include:**

**3(2). The petition is found to be consistent with the City of Hendersonville Gen H 2045 Comprehensive Plan based on the information from the staff analysis and because:**

**For Recommending Denial:**

I move Planning Board recommend City Council **deny** an ordinance amending the official zoning map of the City of Hendersonville changing the zoning designation of the subject property (PIN: 9569-94-7077) from R-15 (Medium-Density Residential) to UR-CZD (Urban Residential - Conditional Zoning District) based on the following:

**1. The petition is found to be consistent with the City of Hendersonville Gen H 2045 Comprehensive Plan, based on the information from the staff analysis and the public hearing, and because:**

The petition is consistent with a range of Goals, Guiding Principles and the Future Land Use Designation of Chapter IV of the Gen H Comprehensive Plan.

**2. We do not find this petition to be reasonable and in the public interest based on the information from the staff analysis, public hearing and because:**

1. The petition proposes a development that is incompatible with the existing neighborhood due to height, scale, and architectural design.
2. The petition proposes a density that is out of character with the surrounding neighborhood
3. The petition would generate excessive traffic, noise and light in an existing residential neighborhood.
4. The petition would have a negative impact on the natural resources of Hendersonville.

<p>The petition is consistent with a range of Goals, Guiding Principles and the Future Land Use Designation of Chapter IV of the Gen H Comprehensive Plan.</p> <p><b>4(3). We find this petition to be reasonable and in the public interest based on the information from the staff analysis, public hearing and because:</b></p> <ol style="list-style-type: none"> <li>1. The petition incorporates a mix of housing types into an existing urban neighborhood.</li> <li>2. The petition places residents within an area of existing city services and infrastructure.</li> <li>3. The petition places residents within an area of existing job opportunities.</li> <li>4. The petition will provide more housing to support existing and future residents of Hendersonville.</li> </ol> <p>[DISCUSS &amp; VOTE]</p>	<p>[DISCUSS &amp; VOTE]</p>
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**SUMMARY:** Here’s a revised version of your text:

The City of Hendersonville has received an application for a Conditional Zoning District from the Housing Assistance Corporation for the property located at 0 Dermid Avenue (PIN: 9569-94-7077). The property is currently zoned as Low Density Residential (R-20), and the applicant is requesting a rezoning to Urban Residential Conditional Use District (UR-CZD).

The project is planned in two phases, with both phases featuring similar buildings and amenities. Each phase will include three apartment buildings, a community building, and a playground. Phase I will consist of 60 units, while Phase II will include 72 units. The streets within the development will be private; however, the applicant has agreed to establish a stub-out in the northwestern corner of the property to allow for future access.

Additionally, the Housing Assistance Corporation has submitted an application to the state Housing Finance Agency for this year’s round of Low Income Housing Tax Credits (LIHTC) to support Phase I of the project.

<b>PROJECT/PETITIONER NUMBER:</b>	25-12-CZD
<b>PETITIONER NAME:</b>	The Housing Assistance Corporation [owner/applicant]

**ATTACHMENTS:**

1. Staff Report
2. Comprehensive Plan & FLUM Consistency Worksheet
3. Goals & Guiding Principles Evaluation Worksheet
4. Proposed Site Plan
5. Neighborhood Compatibility Summary
6. Draft Ordinance
7. Application / Owner Signature Addendum / LLC Record

REZONING: CONDITIONAL REZONING - MEADOWCREST (25-12-CZD)  
CITY OF HENDERSONVILLE - COMMUNITY DEVELOPMENT STAFF REPORT

PROJECT SUMMARY ..... 2

EXISTING ZONING & LAND USE ..... 3

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SITE IMAGES..... 5

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REZONING STANDARDS ANALYSIS & CONDITIONS..... **Error! Bookmark not defined.**

DRAFT COMPREHENSIVE PLAN CONSISTENCY AND REZONING REASONABLENESS STATEMENT ..... 12

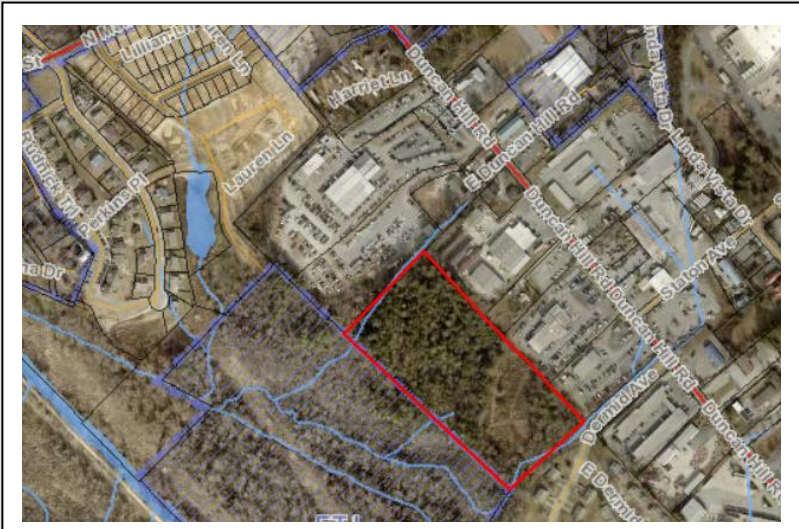
DRAFT COMPREHENSIVE PLAN CONSISTENCY AND REZONING REASONABLENESS STATEMENT ..... 12





PROJECT SUMMARY

- Project Name & Case #:
  - Meadowcrest
  - 25-12-CZD
  
- Applicant & Property Owner:
  - The Housing Assistance Corporation
  
- Property Address:
  - 0 Dermid Avenue
  
- Project Acreage:
  - 10.48
  
- Parcel Identification (PIN):
  - 9569-94-7077
  
- Current Parcel Zoning:
  - R-20 Low Density Residential
  
- Requested Zoning:
  - UR-CZD – Urban Residential Conditional Zoning District
  
- Future Land Use Designation:
  - Multi-Generational Living
  
- Neighborhood Compatibility Meeting:
  - March 5<sup>th</sup>, 2025



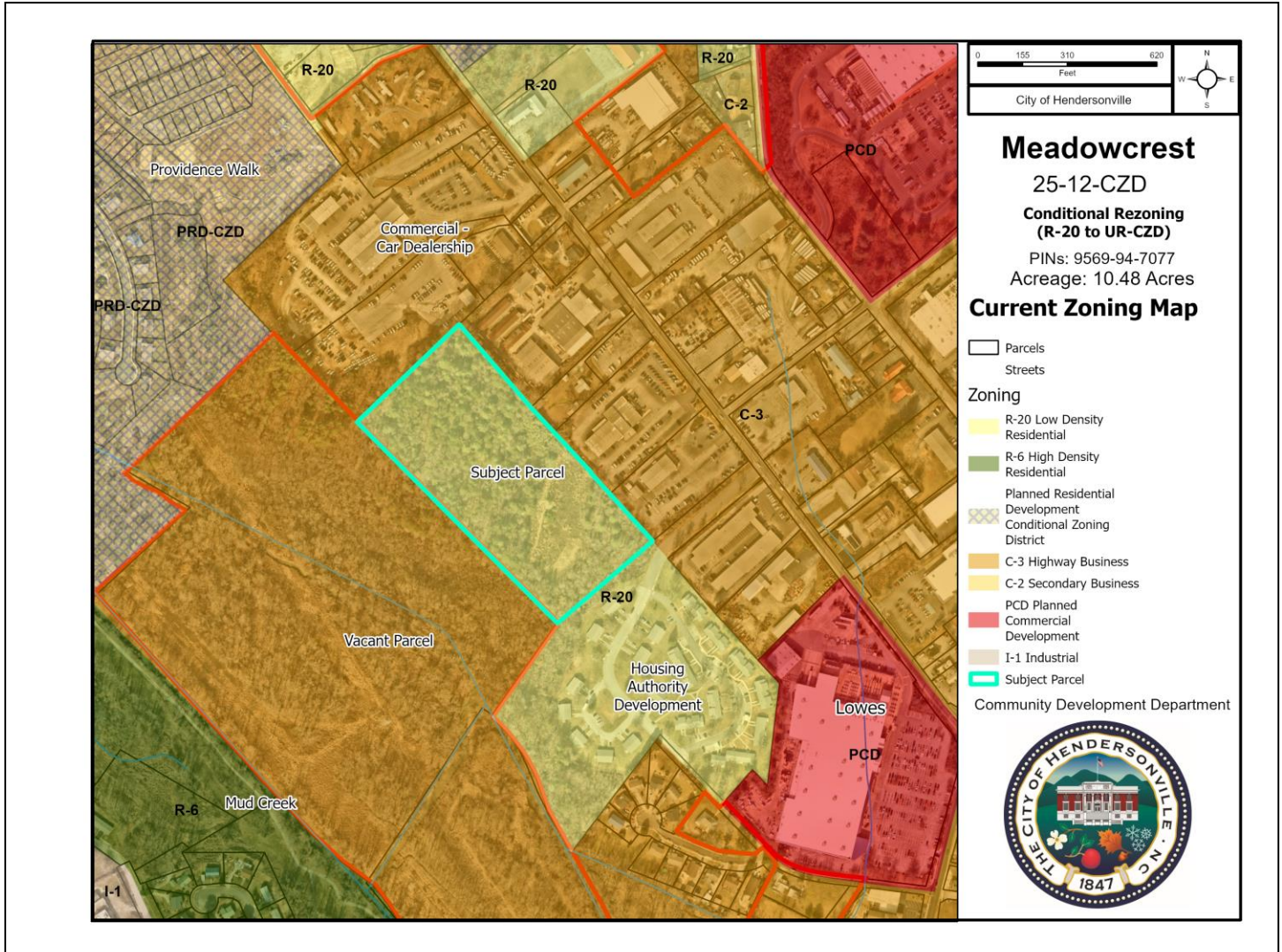
SITE VICINITY MAP

*The City of Hendersonville has received an application for a Conditional Zoning District from the Housing Assistance Corporation for the property located at 0 Dermid Avenue (PIN: 9569-94-7077). The property is currently zoned as Low Density Residential (R-20), and the applicant is requesting a rezoning to Urban Residential Conditional Use District (UR-CZD).*

*The project is planned in two phases, with both phases featuring similar buildings and amenities. Each phase will include three apartment buildings, a community building, and a playground. Phase I will consist of 60 units, while Phase II will include 72 units. The streets within the development will be private; however, the applicant has agreed to establish a stub-out in the northwestern corner of the property to allow for future access.*

*Additionally, the Housing Assistance Corporation has submitted an application to the state Housing Finance Agency for this year’s round of Low Income Housing Tax Credits (LIHTC) to support Phase I of the project.*

EXISTING ZONING & LAND USE



City of Hendersonville Current Zoning & Land Use Map

The subject property is currently zoned Low Density Residential (R-20). The adjacent property, owned by the Housing Authority, is also zoned R-20 and contains duplexes and quadplexes. The parcels surrounding the property to the east, north, and west are zoned Highway Business (C-3), with businesses along Duncan Hill Road, including car dealerships, a grocery store, and a home improvement store. Nearby, there is a Planned Residential Development – Conditional Zoning District (PRD-CZD) known as Providence Walk, which consists of single-family homes.



SITE IMAGES



*View of subject property from Dermid Avenue. One of two blue line streams runs through the southern portion of the property. The other blue line stream runs through the northern portion of the property.*



*View looking south from site to Dermid Avenue.*



SITE IMAGES



*View through trees of adjacent property located on Dermid Avenue.*



*View of western portion of property from center of property.*



SITE IMAGES



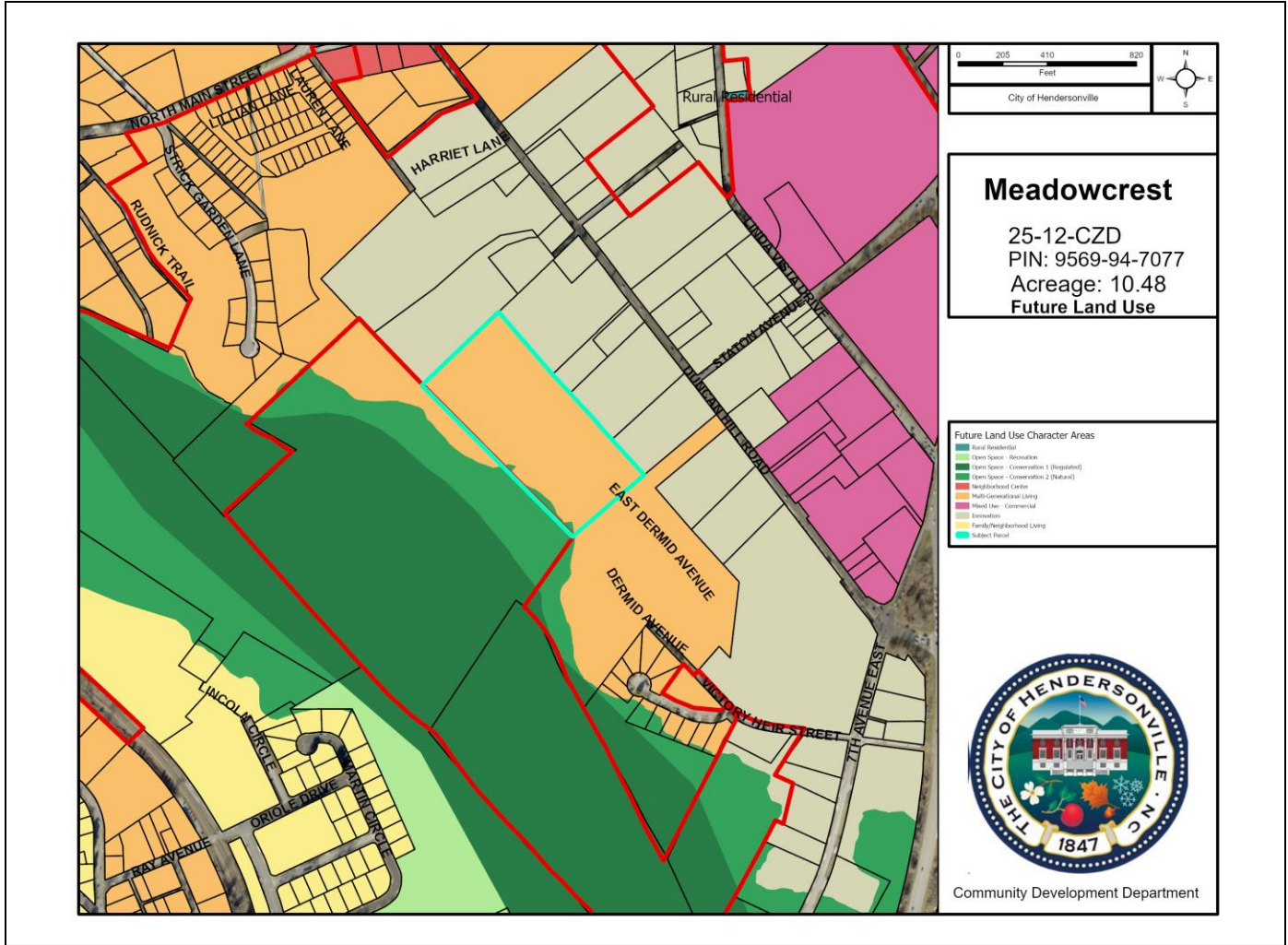
*Northeastern edge of property. An adjacent building can be seen in the distance.*



*View looking south from the subject property. Through the trees, homes located on Dermid Avenue can be seen.*



FUTURE LAND USE



City of Hendersonville Future Land Use

*The subject property is designated as Multi-Generational Living in the Gen H comprehensive plan. This designation encompasses the Housing Authority-owned parcel to the south of the subject property, as well as a portion of the property to the southwest. Parcels to the east of the property are classified as Innovation.*

## STAFF SITE PLAN REVIEW – SUMMARY COMMENTS

### PROPOSED REQUEST DETAILS

#### Site Plan Summary:

- Proposed Use: Residential, multi-family
- Total Dwelling Units: 132 total (60 in Phase I, 72 in Phase II)
- Site: 10.48 acres
- Density: 13 Units / Acre
- Buildings:
  - Total Footprint – 53,860 square feet
  - Community Buildings (2) Footprint – 1,986 square feet
  - Building 100 Footprint – 4,770 square feet
  - Building 200 Footprint – 8,800 square feet
  - Building 300 Footprint – 8,926 square feet
  - Building 500 Footprint – 8,926 square feet
  - Building 600 Footprint – 9,540 square feet
  - Building 700 Footprint – 8,926 square feet
  - Height:
    - Mid-point of gable between ridge and eaves (height by definition) = max 34'
- Open Space: 3.08 acres
- Common Open Space: 1.05 acres
- Transportation:
  - The site is currently undeveloped. The proposed access point is off of Dermid Avenue. No public streets will be provided in this development.
  - Staff requested a second access stub-out be proposed for the north west corner of the property, which could eventually connect to the stub-out created by Providence Walk. Due to topographical challenges, the applicant requested to not extend the stub out to the property line, but instead, to create an easement to allow the city to eventually establish a road connection in the future.
- Sidewalks:
  - 7' wide sidewalks are provided throughout the site.
  - The applicant has proposed a crosswalk at the exit from their driveway entrance on Dermid Avenue.
- Lighting:
  - All site lighting will be required to conform to the City's lighting standards for multi-family developments. The lighting plan is a component of the final site plan review.
- Parking:
  - Off-Street Parking
    - Required: 1 per unit (1-2 bedroom units) = 96 spaces, 1.5 per unit (3+ bedroom units) = 54 spaces. Total Required 150 spaces
    - Provided: 256 spaces
      - The LIHTC design requirements require that for family projects, there is a **minimum** of 1.75 parking spaces per unit.
  - Drive Aisle
    - Minimum of 24' wide

- In front of buildings, all drive aisle are 26’ wide to accommodate fire safety regulations.
- Landscaping:
  - This development will be required to plant:
    - Vehicular Use Landscaping
      - Interior parking lot plantings (Sec. 15-9a)
    - Street Trees (Sec. 15-15)
    - Common space plantings
      - Trees (Sec. 5-25-5.2b)
    - A detailed Landscaping Plan will be provided at final site plan
- Building Design:
  - 3-Story design
  - Building Materials – Brick masonry and vinyl siding
  - Central open-air access stairway
  - First-floor patios and balconies proposed on upper levels.
  - Roofline features a variety of gables and false gables
- Natural Resources
  - There are two blue line streams on the property. One is located along the southern portion of the property, and the other is located on the northern portion.
- Floodplain: N/A
  - The southwestern edge of the property includes part of the 100 year and 500 year floodplain.
  - The 100 year floodplain will not be impacted by the proposed design.
- Stream Buffer: N/A
  - On their preliminary site plan, the applicant is abiding by the stream buffer requirements.

OUTSTANDING ISSUES & CITY-PROPOSED CONDITIONS:

**COMMUNITY DEVELOPMENT:**

**Site Plan Comments:**

- The site plan accompanying this petition meets the standards established by the Zoning Ordinance for Urban Residential (5-25) (minus any developer proposed conditions).
  - Comments that will be reviewed/addressed during final site plan review process and do not need to be addressed during the preliminary site plan review process:
    - Landscaping:
      - Final determination on planting credits, species, locations, final quantity of required vs. proposed new plantings. The current plan shows a buffer along the outer edge of the property which may



- not be required per the City’s zoning ordinance.
- All final landscaping comments will be addressed as part of the final site plan approval between City staff and the project designer in accordance with the City’s ordinances.

**Proposed City-Initiated Conditions:**

1. None

**DEVELOPMENT REVIEW COMMITTEE COMMENTS:**

The Development Review Committee consist of the following Departments/Divisions and Agencies: Engineering, Water/Sewer, Fire Marshal, Stormwater Administration, Floodplain Administration, Public Works, NCDOT, Henderson County Soil & Erosion Control and the City’s Traffic Consultant. While all pertinent members of the DRC reviewed this project, staff has provided only the relevant/outstanding comments / conditions below:

**PUBLIC WORKS:**

**Preliminary Site Plan Comments:**

1. A right-of-way is needed to connect from property line to Dermid Avenue. (Resolve at Final Site Plan)
2. SESC Plan approval required by Henderson County Site Development (Resolve at Final Site Plan)

**Proposed City-Initiated Conditions:**

1. None

**Developer Proposed Conditions**

1. Building Orientation Per Section 5-25-5.1: Applicant requests relief from Section 5-25-5.1 of the zoning code as it relates to the building orientation. While the proposed buildings do not directly front onto areas such as parks or plazas, each of the proposed multi-family buildings directly adjoins open space area being provided for the community. Additionally, the proposed community building, playground, picnic pavilion and outdoor spaces are intended to serve as a significant central gathering area and meeting space for the community.
2. Fire Sprinklers: Applicant shall equip all buildings, including non-residential occupancies with an approved automatic fire sprinkler system.
3. TIA (Traffic Impact Analysis): The developer request that the TIA be waived rather than deferred, granting relief from Sec. 5-25-2.3.1 of the zoning code. The proposed trip generation does not meet the threshold established under Article 6. Furthermore, as a LIHTC product, trip generation is expected to be below typical averages.
4. Secondary Access: While not required for fire service, the applicant agrees to grant a future easement in the Southwest Corner of Phase 2 for the extension and connection of adjacent developments in the future for secondary access. The alignment and extents of the easement will be

determined in the future and will not impact any access, utilities, parking or structures proposed with this project.

REZONING STANDARDS (ARTICLE 11-4)

**GENERAL REZONING STANDARDS: COMPREHENSIVE PLAN CONSISTENCY**

<p>1) COMPREHENSIVE PLAN CONSISTENCY</p>	<p><b><u>LAND SUPPLY, SUITABILITY &amp; INTENSITY</u></b>                  The subject property was excluded from the <u>Land Supply Map</u> analysis.                  The subject property was excluded from the <u>Suitability Assessment</u> analysis.</p> <p><b><u>FUTURE LAND USE &amp; CONSERVATION MAP</u></b>  <b>Character Area Designation:</b> Multi-Generational Living  <b>Character Area Description:</b> Consistent  <b>Zoning Crosswalk:</b> Consistent  <b>Focus Area Map:</b> N/A</p>
<p>2) COMPATIBILITY</p>	<p><i>Whether and the extent to which the proposed amendment is compatible with existing and proposed uses surrounding the subject property</i></p> <p>The proposed introduction of residential use is compatible with the development along Dermid Avenue that is owned by the Housing Authority.</p> <p><b><u>EXISTING CONDITIONS</u></b>                  The subject property is currently vacant. A large portion of the property is wooded, with a clearing on the southern portion of the property. There are streams running along the southernmost and northernmost sides of the property. The adjacent properties have a mix of uses. Duncan Hill Road has several car dealerships, a grocery store, and other commercial businesses. Dermid Avenue is a residential development owned by the Housing Authority. To the southwest of the property is a large property that is currently wooded and largely sits within the flood plain. Within close proximity to the subject property is the Providence Walk development.</p> <p><b><u>GEN H COMPREHENSIVE PLAN GOALS</u></b> (Chapter IV)  <b>Vibrant Neighborhoods:</b> Consistent  <b>Abundant Housing Choices:</b> Consistent  <b>Healthy and Accessible Natural Environment:</b> Consistent  <b>Authentic Community Character:</b> Consistent  <b>Safe Streets and Trails:</b> Consistent  <b>Reliable &amp; Accessible Utility Services:</b> Consistent  <b>Satisfying Work Opportunities:</b> Consistent  <b>Welcoming &amp; Inclusive Community:</b> Consistent  <b>Accessible &amp; Available Community Uses and Services:</b> Consistent  <b>Resilient Community:</b> N/A</p>

	<p><b>GEN H COMPREHENSIVE PLAN GUIDING PRINCIPLES</b> (Chapter IV)</p> <p><b>Mix of Uses:</b> N/A</p> <p><b>Compact Development:</b> Consistent</p> <p><b>Sense of Place:</b> Consistent</p> <p><b>Conserved &amp; Integrated Open Spaces:</b> Consistent</p> <p><b>Desirable &amp; Affordable Housing:</b> Consistent</p> <p><b>Connectivity:</b> Consistent</p> <p><b>Efficient &amp; Accessible Infrastructure:</b> Consistent</p>
<p>3) Changed Conditions</p>	<p>Whether and the extent to which there are changed conditions, trends or facts that require an amendment -</p> <p>The need for more affordable housing is an ongoing problem within the City of Hendersonville and broader region.</p>
<p>4) Public Interest</p>	<p>Whether and the extent to which the proposed amendment would result in a logical and orderly development pattern that benefits the surrounding neighborhood, is in the public interest and promotes public health, safety and general welfare -</p> <p>The status of the region’s affordable housing crisis is well documented from reports such as the Bowen Study. The City of Hendersonville is currently engaged in a Strategic Housing Plan to further address this issue.</p>
<p>5) Public Facilities</p>	<p>Whether and the extent to which adequate public facilities and services such as water supply, wastewater treatment, fire and police protection and transportation are available to support the proposed amendment</p> <p>The subject property will be served by City of Hendersonville services. The subject property is located near one of the city’s main entry corridors.</p>
<p>6) Effect on Natural Environment</p>	<p>Whether and the extent to which the proposed amendment would result in significantly adverse impacts on the natural environment including but not limited to water, air, noise, storm water management, streams, vegetation, wetlands and wildlife -</p> <p><b>Mature Trees:</b> There are a number of mature trees and vegetation around the subject property. Much of the tree canopy will need to be removed, however, the applicant is seeking to preserve existing tree canopy.</p> <p><b>Floodplain and Blue Line Streams:</b> The subject property has a small portion of floodplain on the lower southwestern corner. The preliminary site plan shows the applicant is not impacting the 100 year floodplain. There are two blue line streams on the property. The applicant has shown they will take proper measures per the city’s ordinance to protect the stream buffers.</p>

The petition is found to be **consistent** with the City of Hendersonville Gen H Comprehensive Plan based on the information from the staff analysis and the public hearing, and because:

*The petition is consistent with the Future Land Use and Conservation Map Designation of 'Downtown' and the corresponding Character Area Description found in Chapter IV of the Gen H Comprehensive Plan.*

We **[find/do not find]** this petition to be reasonable and in the public interest based on the information from the staff analysis and the public hearing, and because:

*DRAFT [Rationale for Approval]:*

- *The petition incorporates a mix of housing types into an existing urban neighborhood.*
- *The petition places residents within an area of existing city services and infrastructure.*
- *The petition places residents within an area of existing job opportunities.*
- *The petition will provide more housing to support existing and future residents of Hendersonville.*

*DRAFT [Rational for Denial]*

- *The petition proposes a development that is incompatible with the existing neighborhood due to height, scale, and architectural design.*
- *The petition proposes a density that is out of character with the surrounding neighborhood*
- *The petition would generate excessive traffic, noise and light in an existing residential neighborhood.*
- *The petition would have a negative impact on the natural resources of Hendersonville.*

<b>Chapter 4 - The Vision for the Future</b>	<b>Consistent</b>	<b>Inconsistent</b>
<b>SUPPLY, SUITABILITY, &amp; INTENSITY</b>		
<b>LAND SUPPLY MAP (Pg. 81, Figure 4.4)</b>	NA	NA
<b>LAND SUITABILITY MAP (Pg. 84-86, Figure 4.5-4.7)</b>	NA	NA
<b>DEVELOPMENT INTENSITY MAP (Pg. 89, Figure 4.9)</b>	Consistent	
<b>FUTURE LAND USE &amp; CONSERVATION MAP</b>		
<b>Future Land Use and Conservation Map (Note classification here, Pg. 117, Figure 4.12)</b>	<b>Multi-Generational Living</b>	
Character Area Description (Pg. 122-131)	Somewhat Consistent	
Zoning Crosswalk (Pg. 132-133, Figure 4.18)	Consistent	
<b>Focus Area Map (Pg. 134-159)</b>	NA	NA

<b>Chapter 4 - The Vision for the Future</b>	<b>Consistent</b>
<b>GOALS</b>	
VIBRANT NEIGHBORHOODS (Pg. 93)	
Promote lively neighborhoods that increase local safety.	Consistent
Enable well-maintained homes, streets, and public spaces.	Consistent
Promote diversity of ages (stage of life), income levels, and a range of interests.	Consistent
The design allows people to connect to nearby destinations, amenities, and services.	Somewhat Consistent
Abundant Housing Choices (Pg. 93)	
Housing provided meets the need of current and future residents.	Consistent
Range of housing types provided to help maintain affordability in Hendersonville.	Consistent
Housing condition/quality exceeds minimum standards citywide	Consistent
Healthy and Accessible Natural Environment (Pg. 94)	
Recreational (active and passive) open spaces are incorporated into the development.	Consistent
Water quality is improved with the conservation of natural areas that serve as filters and soil stabilizers.	Consistent
Natural system capacity (floodplains for stormwater; habitats to support flora/fauna; tree canopy for air quality, stormwater management, and microclimate) is maintained.	Consistent
Development is compact (infill/redevelopment) to minimize the ecological footprint.	Somewhat Consistent
New development respects working landscapes (e.g., orchards, managed forests), minimizing encroachment.	Consistent
Authentic Community Character (Pg. 94)	
Downtown remains the heart of the community and the focal point of civic activity	Consistent
A development near a gateway sets the tone, presenting the image/brand of the community.	NA
Historic preservation is utilized to maintain the city's identity.	NA
A development is considered a quality development that preserves the city center or neighborhood.	Consistent
Safe Streets and Trails (Pg. 95)	
Interconnectivity is promoted between existing neighborhoods through the building out of street networks, including retrofits and interconnectivity of new developments.	Somewhat Consistent
Access is increased for all residents through the provision of facilities that promote safe walking, biking, transit, automobile, ride share, and bike share.	Consistent
Design embraces the principles of walkable development.	Consistent
Reliable & Accessible Utility Services	
A compact service area (infill, redevelopment) maximizes the utilization of existing infrastructure and feasible service delivery.	Consistent
Satisfying Work Opportunities (pg. 96)	
The development promotes quality job options.	Consistent
Welcoming & Inclusive Community	

Accessibility exceeds minimum standards of ADA, fostering residents' and visitors' sense of belonging.	Consistent
Accessible & Available Community Uses and Services (Pg. 97)	
Private development is plentiful, meeting the demands of current and future populations.	Consistent
Resilient Community	
N/A	
<b>GUIDING PRINCIPALS (pg. 98)</b>	
Mix of Uses (Pg. 98)	
Revitalization of Outdated Commercial Areas	NA
New business and office space promotes creative hubs.	NA
Compact Development (Pg. 100)	
Development is consistent with efforts in the area to establish 15-minute neighborhoods.	Consistent
The infill project is context sensitive.	Consistent
Sense of Place (Pg. 102)	
The development contributes to Hendersonville's character and the creation of a sense of place through its architecture and landscape elements.	Consistent
Conserved & Integrated Open Spaces (Pg. 106)	
A diverse range of open space elements are incorporated into the development.	Consistent
Desirable & Affordable Housing (Pg. 108)	
Missing middle housing concepts are used in the development.	Consistent
Connectivity (Pg. 112)	
The development encourages multimodal design solutions to enhance mobility.	Consistent
Efficient & Accessible Infrastructure (Pg. 114)	
The development utilizes existing infrastructure	Consistent



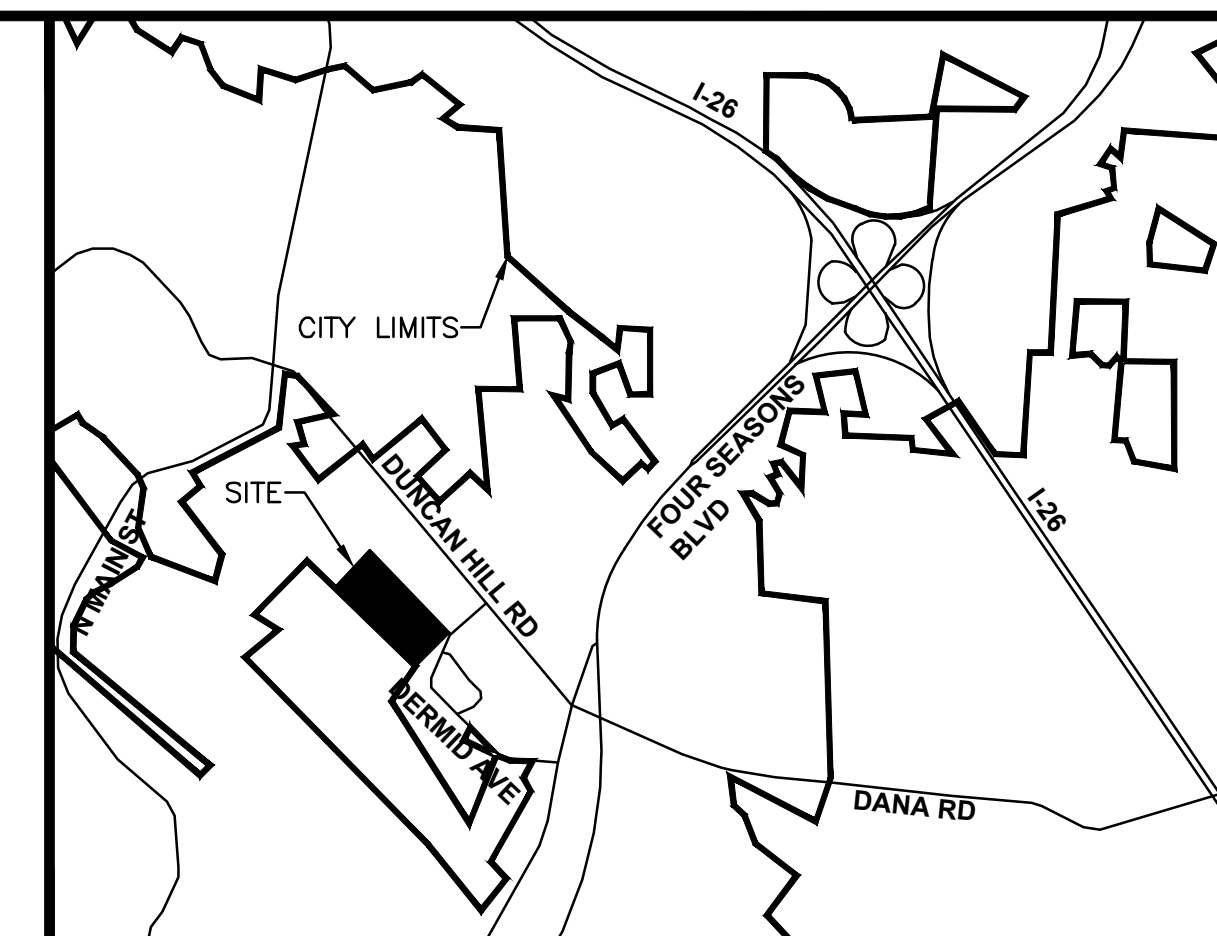


NA
NA

# MEADOWCREST

## LOCATED IN THE CITY OF HENDERSONVILLE HENDERSONVILLE, NORTH CAROLINA

Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER
C1.0	SITE SURVEY
C2.0	OVERALL SITE PLAN
C-2.1	SITE PLAN PHASE 2
C-2.2	SITE PLAN PHASE 1
C-3.0	OVERALL GRADING PLAN
C-3.1	GRADING PLAN PHASE 2
C-3.2	GRADING PLAN PHASE 3
C-6.0	OVERALL UTILITY PLAN
C-6.1	UTILITY PLAN PHASE 2
C-6.2	UTILITY PLAN PHASE 1
L-1.1	PLANTING PLAN (1 of 2)
L-1.2	PLANTING PLAN (2 of 2)
L-2.1	TREE CANOPY PLAN



VICINITY MAP: N.T.S.

ESP Associates, Inc.  
20484 Chartwell Center Dr.  
Suite D  
Cornelius, NC 28031  
1-800-960-7317  
NC License F-147  
www.espassociates.com

**SITE NOTES**

- ALL PROPOSED ACCESS IS PRIVATE.
- CROSSWALKS AND CURB RAMPS ARE PROPOSED TO CONNECT INTERNAL SIDEWALKS AND TO EXISTING SIDEWALKS IN DERMID
- THE MAXIMUM PROPOSED ROAD GRADE IS 5.2%+/-
- ALL SIGNAGE SHALL BE LOCATED OUTSIDE THE ROAD RIGHT OF WAY AND SIGHT TRIANGLES, AND WILL GO THROUGH A SEPARATE REVIEW PROCESS AT FINAL SITE PLAN REVIEW.
- THE COMPLEX OWNER SHALL BE RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF ALL PORTIONS OF THE SITE INCLUDING ALL DEVELOPED AREAS, UNDEVELOPED AREAS, AND PRIVATE UTILITIES.
- PROJECT IS PLANNED TO BE COMPLETED IN TWO (2) PHASES.
- THE MAXIMUM BUILDING HEIGHT IS 34'.
- ALL DRIVE AISLES ARE A MINIMUM OF 24' WIDE AND PRIVATE AISLES IN FRONT OF BUILDINGS ARE A MINIMUM OF 26' WIDE.
- ALL STANDARD PARKING SPACES ARE 9'x18'
- ALL SIDEWALKS ARE 7' WIDE.
- ALL DIRECT ACCESS DRIVE AISLES HAVE A 30' CENTERLINE RADI FOR FIRE ACCESS
- ALL RADI DIMENSIONS SHOWN ARE TO BACK OF CURB, UNLESS OTHERWISE NOTED.
- SHADED CURB & GUTTER INDICATES LOCATION FOR SPILL CURB.
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- LIGHTING PLAN TO BE PROVIDED WITH FINAL SITE REVIEW AND TO BE DESIGNED BY OTHERS.
- IRRIGATION PLAN, IF REQUIRED, TO BE DESIGNED BY OTHERS.
- ENTRY MONUMENTS PLAN TO BE DESIGNED AND PERMITTED BY OTHERS.
- SITE TRIANGLES 35' X 35' SHALL BE PRESERVED FOR ALL INTERSECTIONS (TYP.). ADDITIONAL SIGHT TRIANGLES OF 10' X 70' SHALL BE PROVIDED FOR ACCESS ONTO THOROUGHFARE, COMMERCIAL, AND NCDOT STREETS (TYP.).
- SESC PLANS AND PERMITTING SHALL BE PROVIDED TO THE APPROPRIATE LOCAL OR STATE AGENCY DURING FINAL CIVIL DESIGN.

**SITE DATA:**

**OWNER:**  
THE HOUSING ASSISTANCE CORPORATION  
214 KING STREET  
HENDERSONVILLE, NC 28792

**PARCEL DATA:**  
AREA: 10.48 ACRES  
PIN#: 9569-94-7077  
DB/PG: 4088/405  
DENSITY: 12.40 UNITS/AC

**SITE ZONING:**  
EXISTING PARCEL ZONING: R-20  
PROPOSED PARCEL ZONING: UR

**CITY LIMITS:**  
PROJECT AREA IS WITHIN THE JURISDICTIONAL LIMITS OF THE CITY OF HENDERSONVILLE, IN THE COUNTY OF HENDERSON, NORTH CAROLINA

**PHASE 1:**  
NUMBER OF UNITS: 60 + 1 COMMUNITY BUILDING (1800+SF)  
PARKING REQUIRED: 100 (1.5/unit + 1/200sf Com. Bldg.)  
PARKING PROVIDED: 116 (1.76/unit + 1/200sf Com. Bldg.)

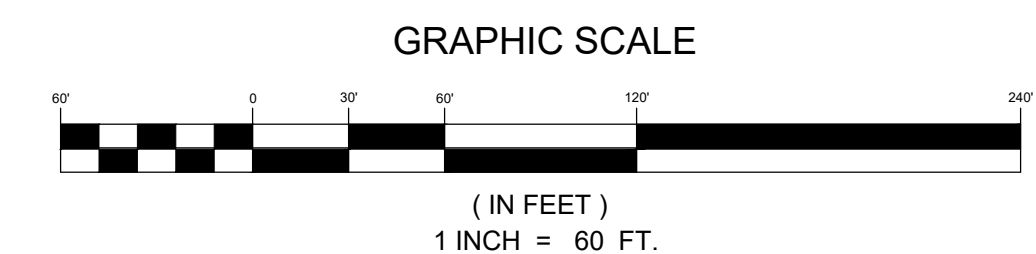
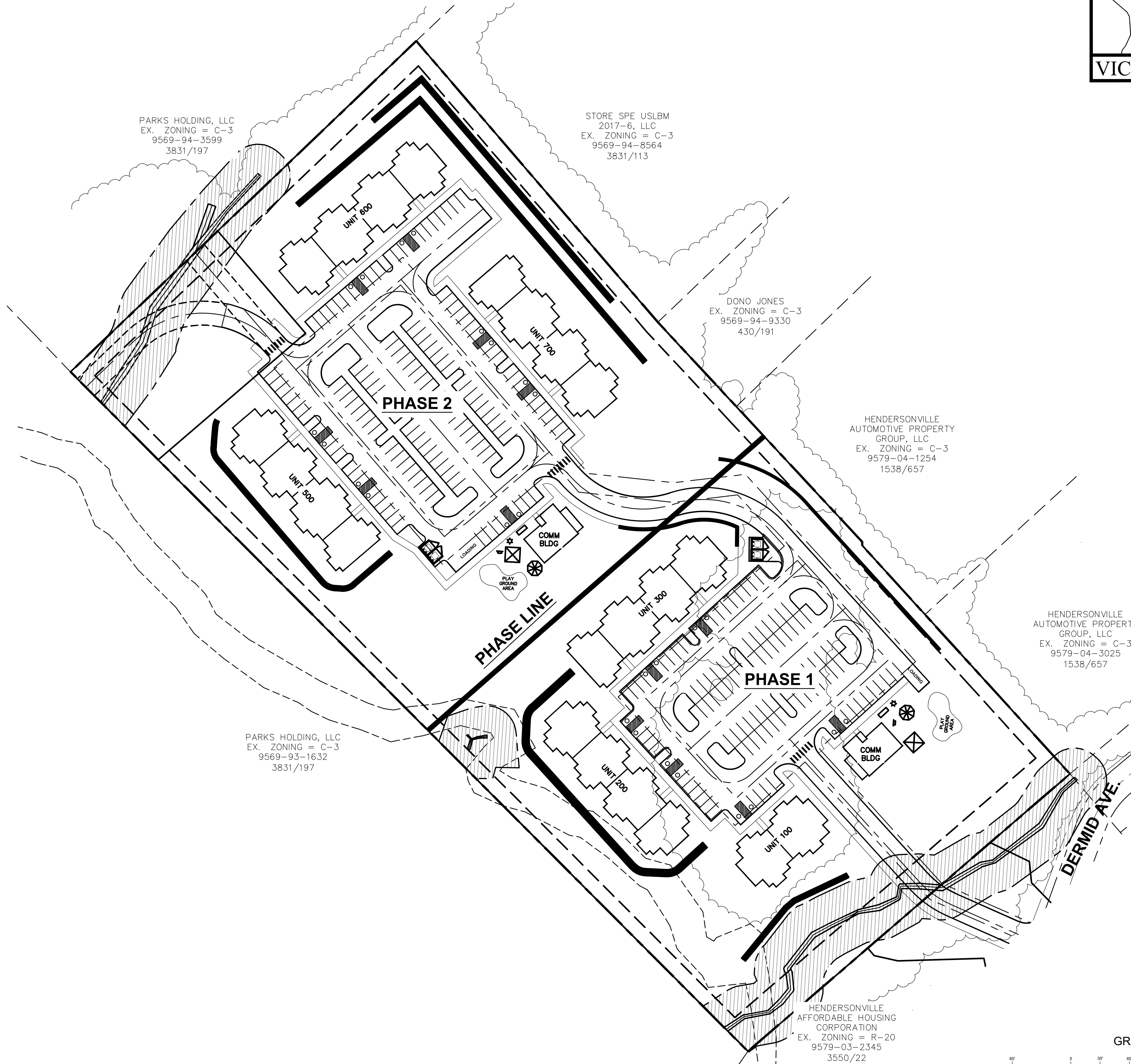
**PHASE 2:**  
NUMBER OF UNITS: 72 + 1 COMMUNITY BUILDING (1800+SF)  
PARKING REQUIRED: 118 (1.5/unit + 1/200sf Com. Bldg.)  
PARKING PROVIDED: 140 (1.80/unit + 1/200sf Com. Bldg.)

**UR ZONING BUILDING SETBACKS:**  
FRONT: 14' (from proposed curb)  
SIDE: 5'  
REAR: 10' or 14' (from proposed curb)  
MAX. HEIGHT: 62'  
MIN. WIDTH: 20'  
SEPARATION: 20' (provided)

**UTILITIES:**  
SEWER SERVICE: PUBLIC - CITY OF HENDERSON  
WATER SERVICE: PUBLIC - CITY OF HENDERSON

**PROJECT SQUARE FOOTAGE/ACREAGE & PERCENTAGE OF TOTAL SITE**

TOTAL PROJECT AREA:	10.48 AC (100%)
SITE COVERAGE - BUILDINGS:	1.22 AC (11.7%)
SITE COVERAGE - OPEN SPACE (landscaped):	3.08 AC (29.4%)
SITE COVERAGE - STREETS & PARKING:	2.77 AC (26.4%)
SITE COVERAGE - OTHER FACILITIES:	0.00 AC (0.0%)
SITE COVERAGE - COMMON OPEN SPACE:	1.05 AC (10.0%)
SITE COVERAGE - REMAINDER PVIOUS AREA/OPEN SPACE:	2.36 AC (22.5%)



THIS SET IS CURRENT THROUGH SHEET DATE 03/07/25

**ENGINEERING FIRM:** ESP ASSOCIATES, INC.  
20484 CHARTWELL CENTER DR., SUITE D  
CORNELIUS, NC 28031  
(704) 990-6429  
DANNY WATSON, PE  
DWATSON@ESPASSOCIATES.COM

**DEVELOPER:** HOUSING ASSISTANCE CORPORATION  
214 N KING ST  
HENDERSONVILLE, NC, 28792  
(828)-682-3009  
(828)-692-4744

**REVIEW AGENCY:** CITY OF HENDERSONVILLE  
160 SIXTH AVENUE, SUITE E  
HENDERSONVILLE, NC 28792  
(828)-697-3000

NO.	DATE	REVISION	BY

HENDERSONVILLE, NC

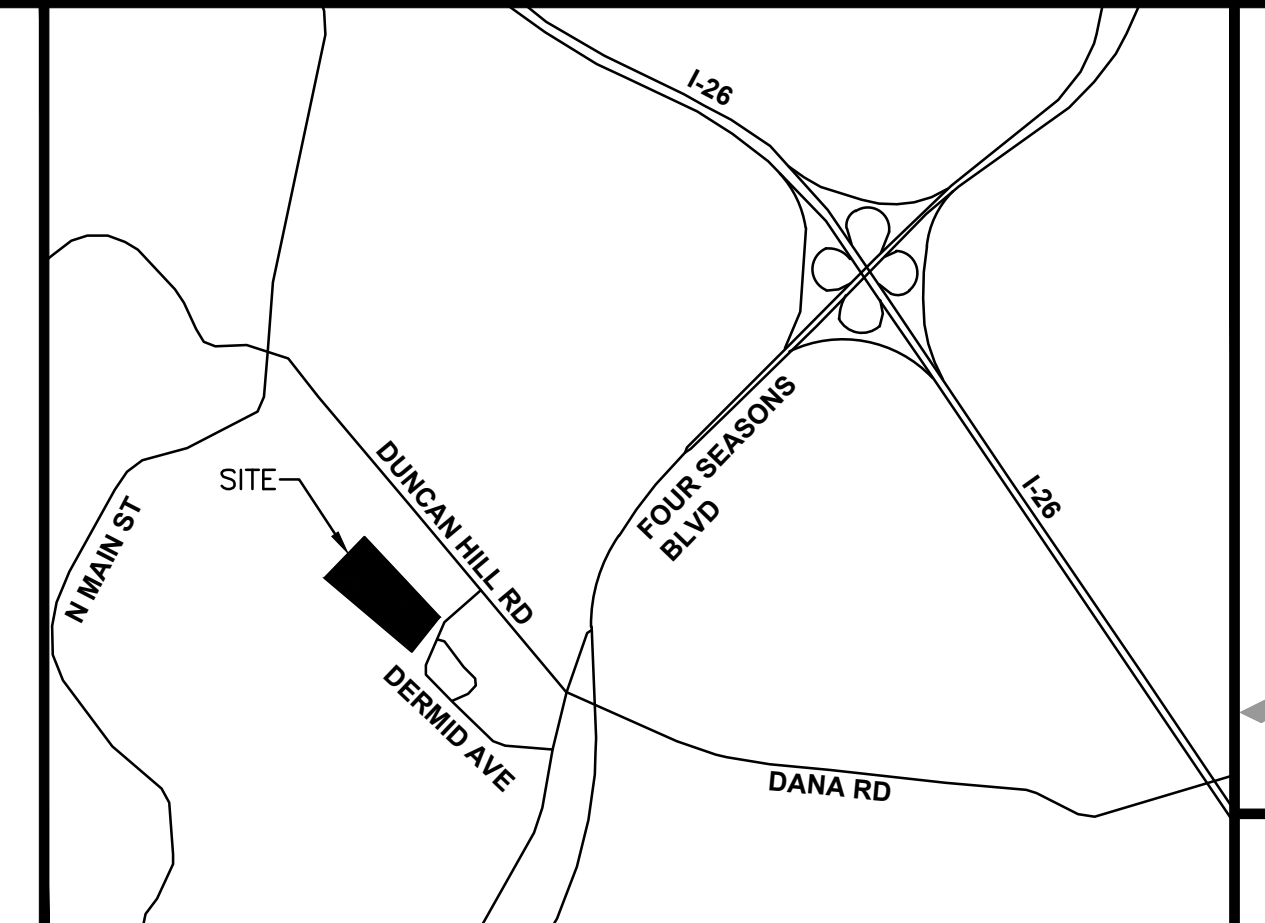
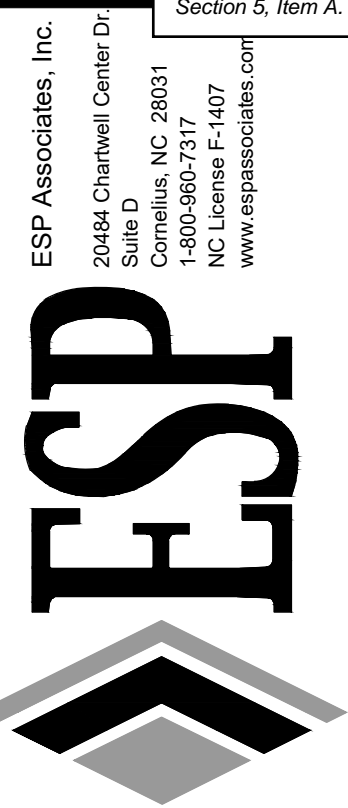
COVER

MEADOWCREST

HOUSING ASSISTANCE CORPORATION

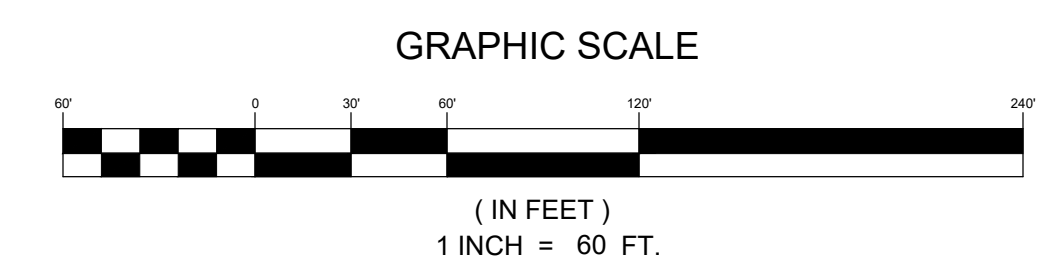
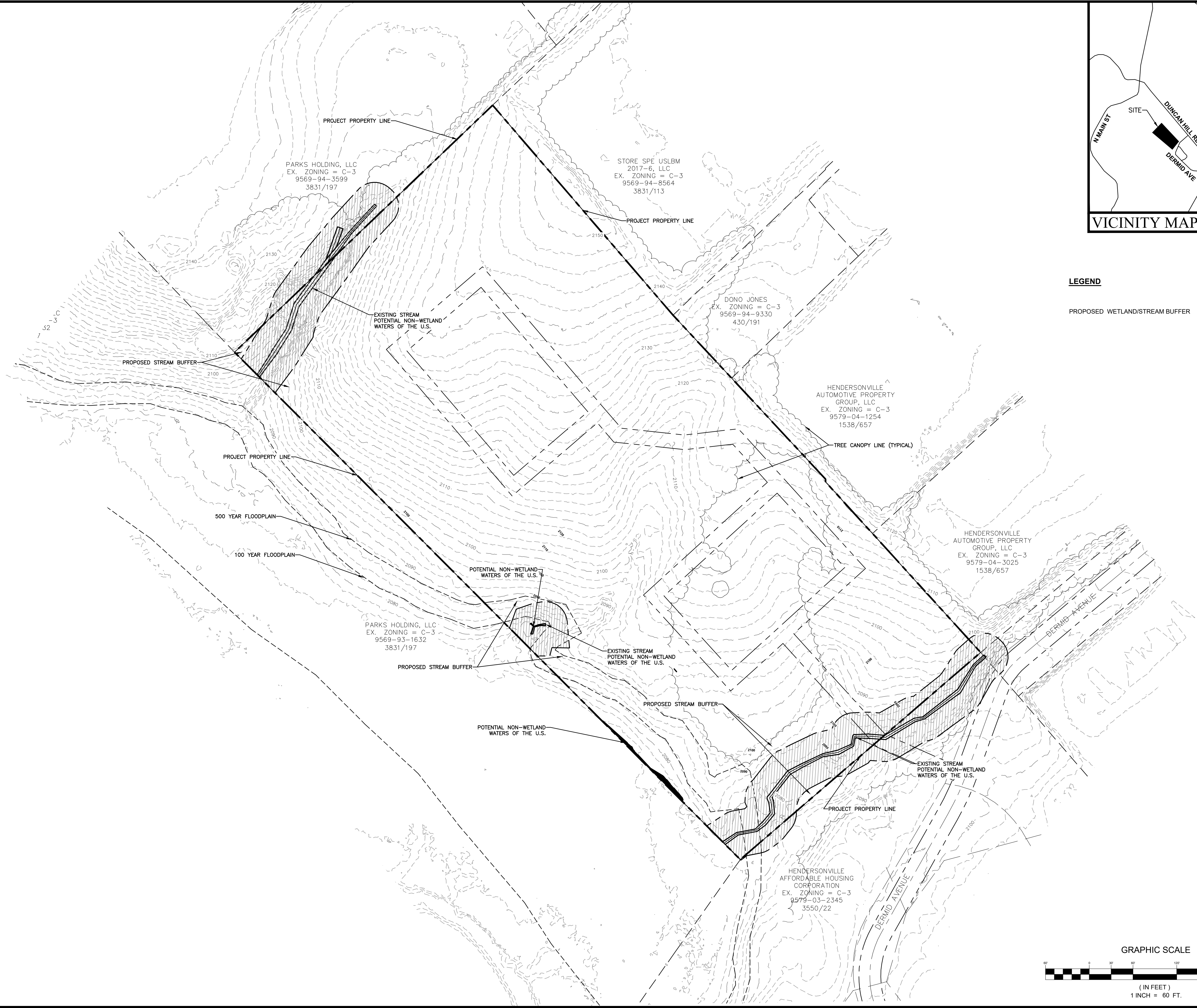
PROJECT INFORMATION	
PROJECT MANAGER:	DW
DESIGNED BY:	DK
DRAWN BY:	DK
PROJECT NUMBER:	25-00332
ORIGINAL DATE:	2025/02/21
SHEET:	C0.0

R:\p1025\2025 (N)25-00332 - Meadowcrest Phase 1, 25-00332\Sheets\C0.0 - COVER.dwg, COVER, dk, dwh



VICINITY MAP: N.T.S.

LEGEND



NO.	DATE	REVISION	BY

**SITE SURVEY**  
**MEADOWCREST**  
 HOUSING ASSISTANCE CORPORATION  
 HENDERSONVILLE, NC

PROJECT INFORMATION	
PROJECT MANAGER:	DW
DESIGNED BY:	DK
DRAWN BY:	DK
PROJECT NUMBER:	25-00332
ORIGINAL DATE:	2025/02/21

SHEET: **C-1.0**



**ENGINEERING FIRM:** ESP ASSOCIATES, INC.  
**ADDRESS:** 20484 CHARTWELL CENTER DR., SUITE D CORNELIUS, NC 28031 (704) 990-6429  
**PHONE:** DANNY WATSON, PE  
**CONTACT:** DWATSON@ESPASSOCIATES.COM  
**EMAIL:**

**DEVELOPER:** HOUSING ASSISTANCE CORPORATION  
**ADDRESS:** 214 N KING ST HENDERSONVILLE, NC, 28792 (828)-682-3009 (828)-692-4744  
**FAX:**  
**CONTACT:**

**REVIEW AGENCY:** CITY OF HENDERSONVILLE  
**ADDRESS:** 160 SIXTH AVENUE, SUITE E HENDERSONVILLE, NC 28792 (828)-697-3000  
**PHONE:**

**DEVELOPER PROPOSED CONDITIONS:**

**BUILDING ORIENTATION PER SECTION 5-25-5.1:**  
 APPLICANT REQUESTS RELIEF FROM SECTION 5-25-5.1 OF THE ZONING CODE AS IT RELATES TO BUILDING ORIENTATION. WHILE THE PROPOSED BUILDINGS DO NOT DIRECTLY FRONT ONTO AREAS SUCH AS PARKS OR PLAZAS, EACH OF THE PROPOSED MULTI-FAMILY BUILDINGS DIRECTLY ADJOINS OPEN SPACE AREA BEING PROVIDED FOR THE COMMUNITY. ADDITIONALLY, THE PROPOSED COMMUNITY BUILDING, PLAYGROUND, PICNIC PAVILION AND OUTDOOR SPACES ARE INTENDED TO SERVE AS A SIGNIFICANT CENTRAL GATHERING AREA AND MEETING SPACE FOR THE COMMUNITY.

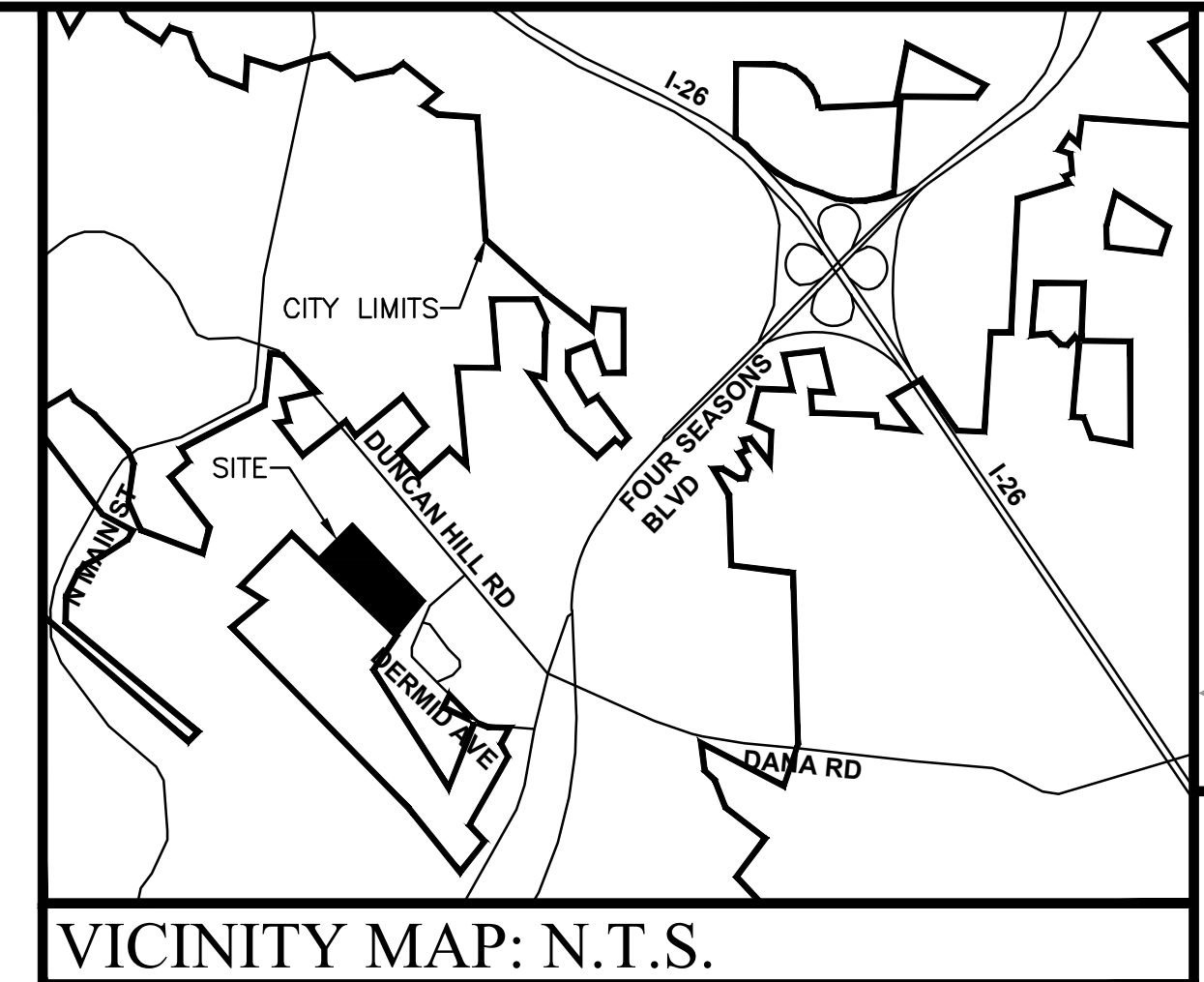
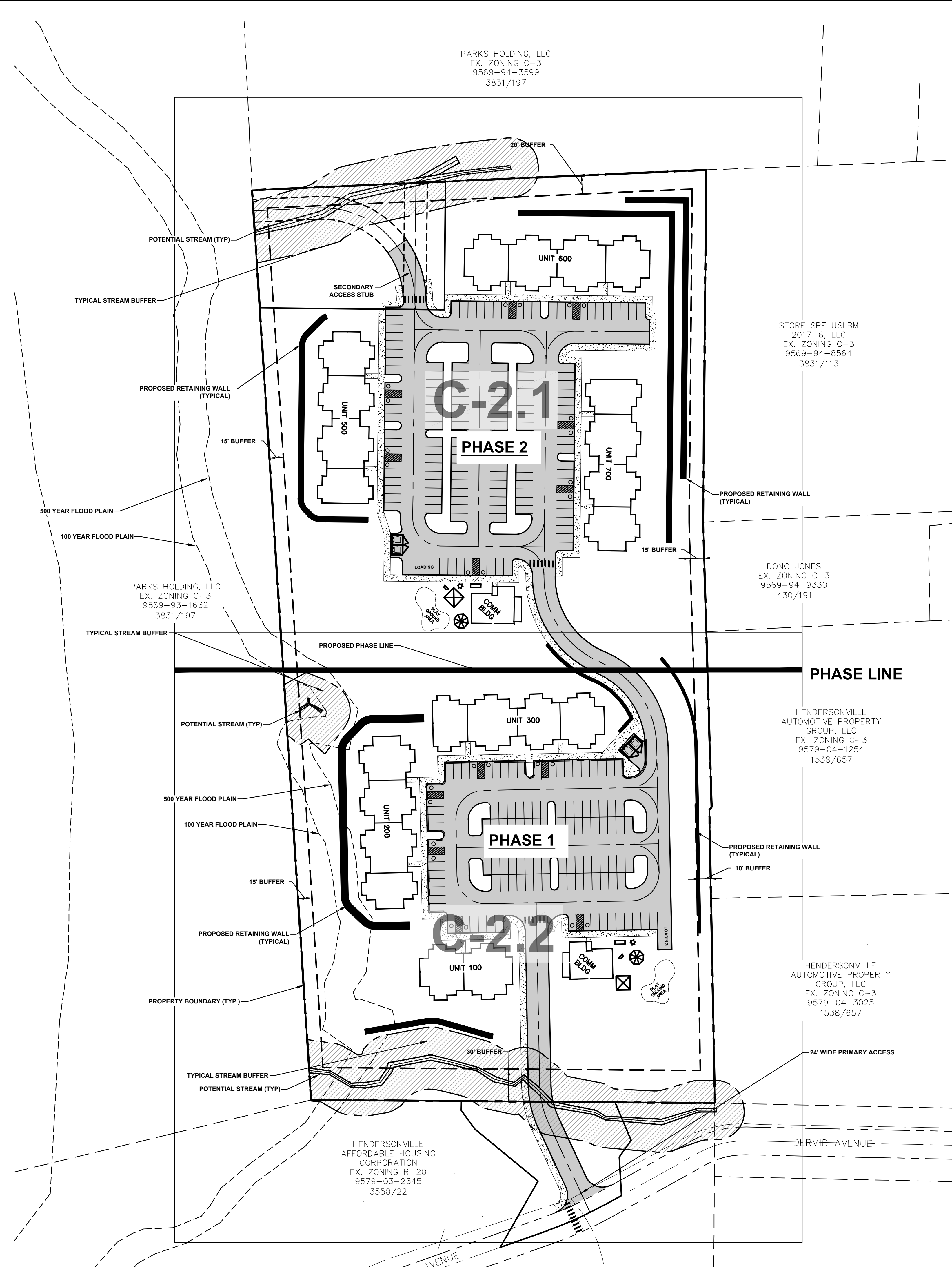
**FIRE SPRINKLERS**  
 APPLICANT SHALL EQUIP ALL BUILDINGS, INCLUDING NON-RESIDENTIAL OCCUPANCIES WITH AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM

**TIA (TRAFFIC IMPACT ANALYSIS)**  
 THE DEVELOPER REQUEST THAT THE TIA BE WAIVED RATHER THAN DEFERRED, GRANTING RELIEF FROM SEC. 5-25-2.3.1 OF THE ZONING CODE. THE PROPOSED TRIP GENERATION DOES NOT MEET THE THRESHOLD ESTABLISHED UNDER ARTICLE 6. FURTHERMORE, AS A LHCTC PRODUCT, TRIP GENERATION IS EXPECTED TO BE BELOW TYPICAL AVERAGES.

**SECONDARY ACCESS**  
 WHILE NOT REQUIRED FOR FIRE SERVICE, THE APPLICANT AGREES TO GRANT A FUTURE EASEMENT IN THE SOUTHWEST CORNER OF PHASE 2 FOR THE EXTENSION AND CONNECTION OF ADJACENT DEVELOPMENTS IN THE FUTURE FOR SECONDARY ACCESS. THE ALIGNMENT AND EXTENTS OF THE EASEMENT WILL BE DETERMINED IN THE FUTURE AND WILL NOT IMPACT ANY ACCESS, UTILITIES, PARKING OR STRUCTURES PROPOSED WITH THIS PROJECT.

**SITE NOTES**

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**LEGEND**



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 PROPOSED PARCEL ZONING: UR

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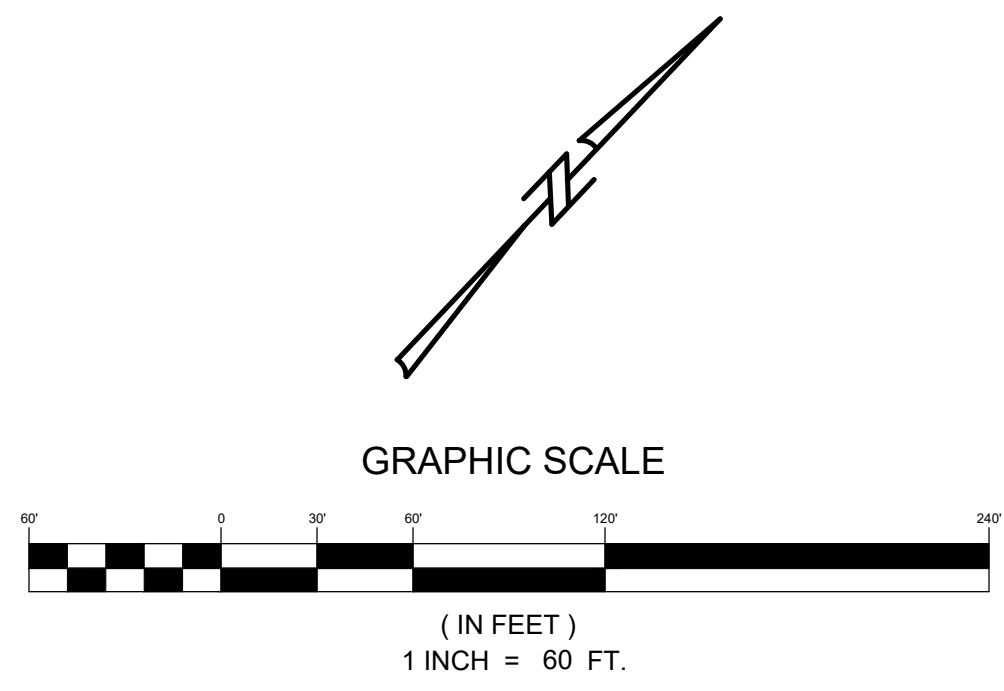
**PHASE 2:**  
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**ESP**

NO.	DATE	REVISION	BY

**OVERALL SITE PLAN**  
**MEADOWCREST**  
 HOUSING ASSISTANCE CORPORATION  
 HENDERSONVILLE, NC

**PROJECT INFORMATION**

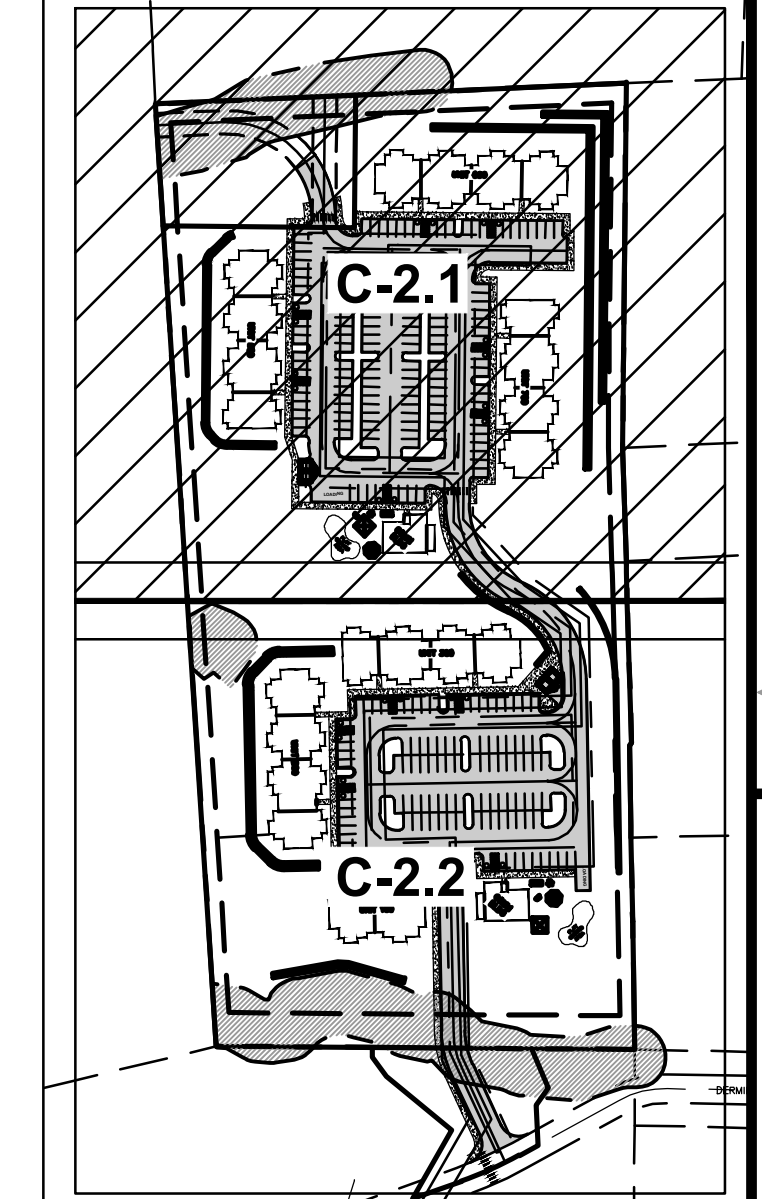
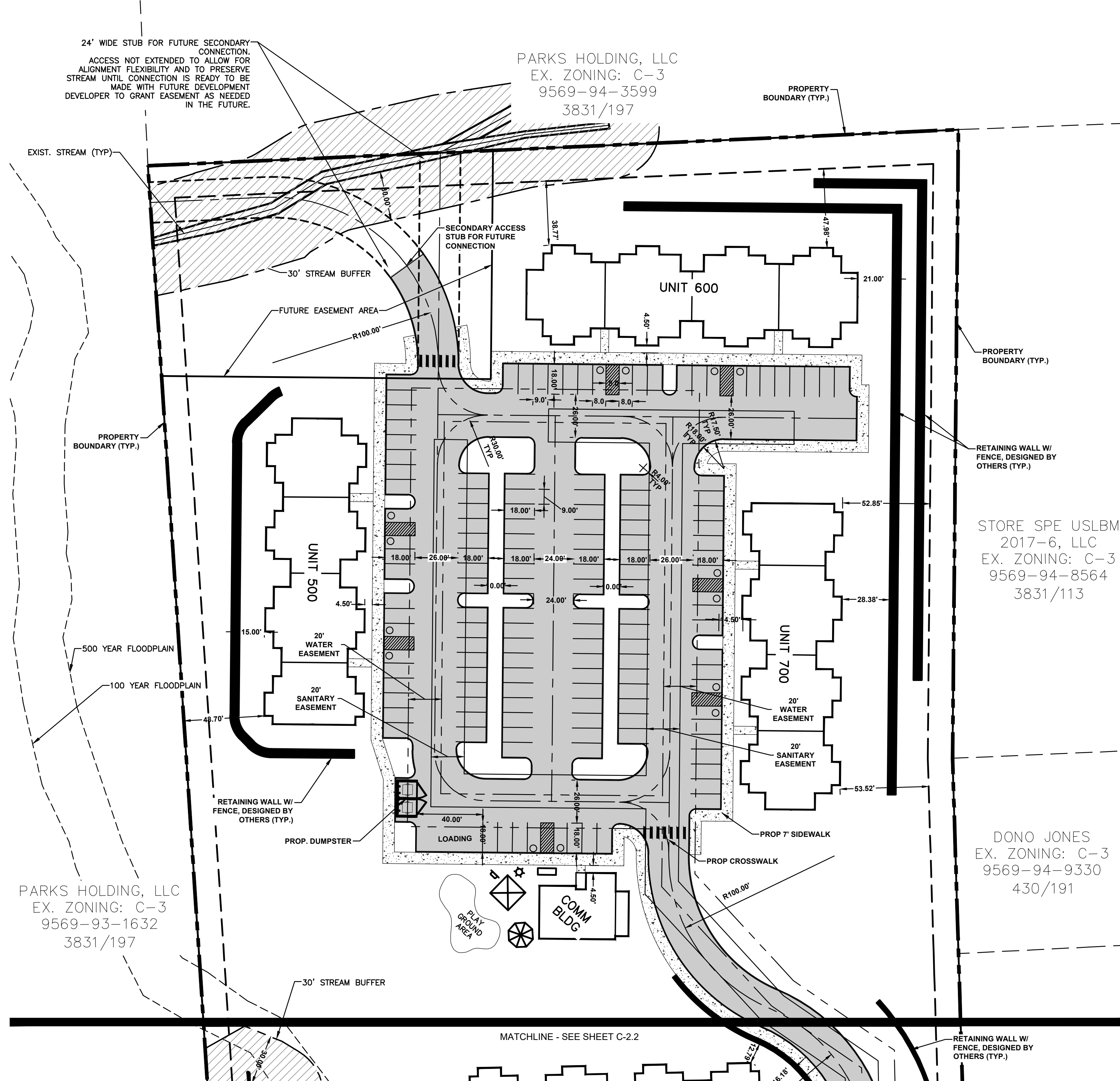
PROJECT MANAGER:	DW
DESIGNED BY:	DK
DRAWN BY:	DK
PROJECT NUMBER:	25-00332
ORIGINAL DATE:	2025/02/21

SHEET: **C2.0**

**PHASE 2**

**SITE NOTES**

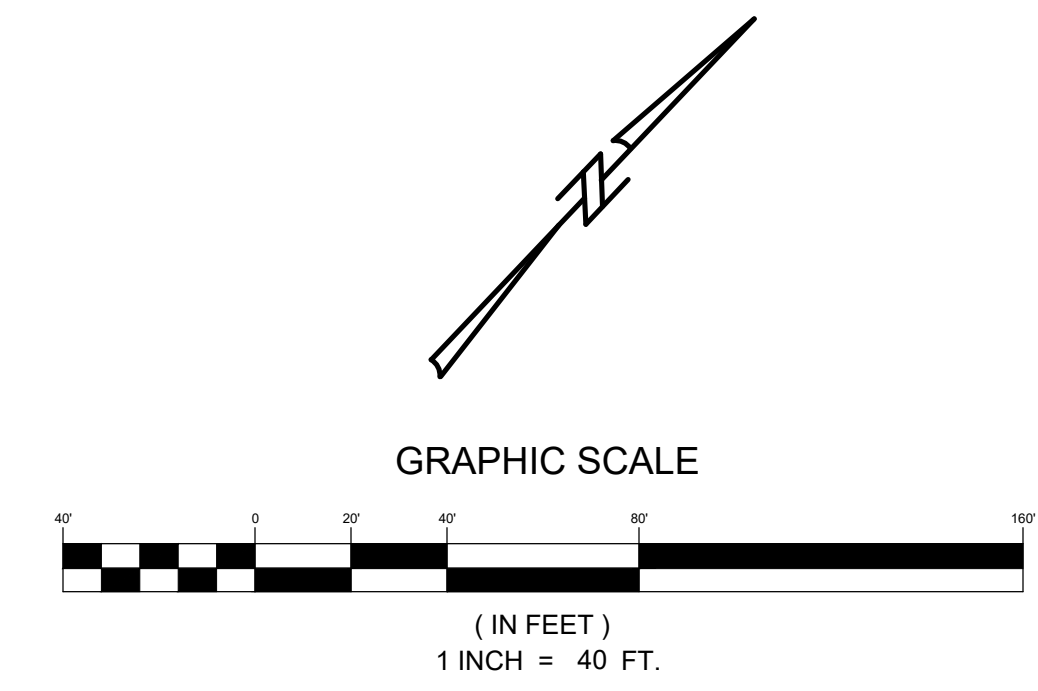
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**KEY MAP**  
1" = 200'

**LEGEND**

- PROP. CONCRETE SIDEWALK
- PROP. PAVEMENT
- PROP. WETLAND/STREAM BUFFER



ESP Associates, Inc.  
20484 Chatham Center Dr  
Suite D  
Cornelius, NC 28031  
1-800-960-7317  
NC License F-1407  
www.espsite.com
Section 5, Item A.

ESP

NO.	DATE	REVISION	BY

**SITE PLAN PHASE 2**

**MEADOWCREST**

HOUSING ASSISTANCE CORPORATION

HENDERSONVILLE, NC

**PROJECT INFORMATION**

PROJECT MANAGER: DW

DESIGNED BY: DK

DRAWN BY: DK

PROJECT NUMBER: 25-00332

ORIGINAL DATE: 2025/02/21

SHEET:

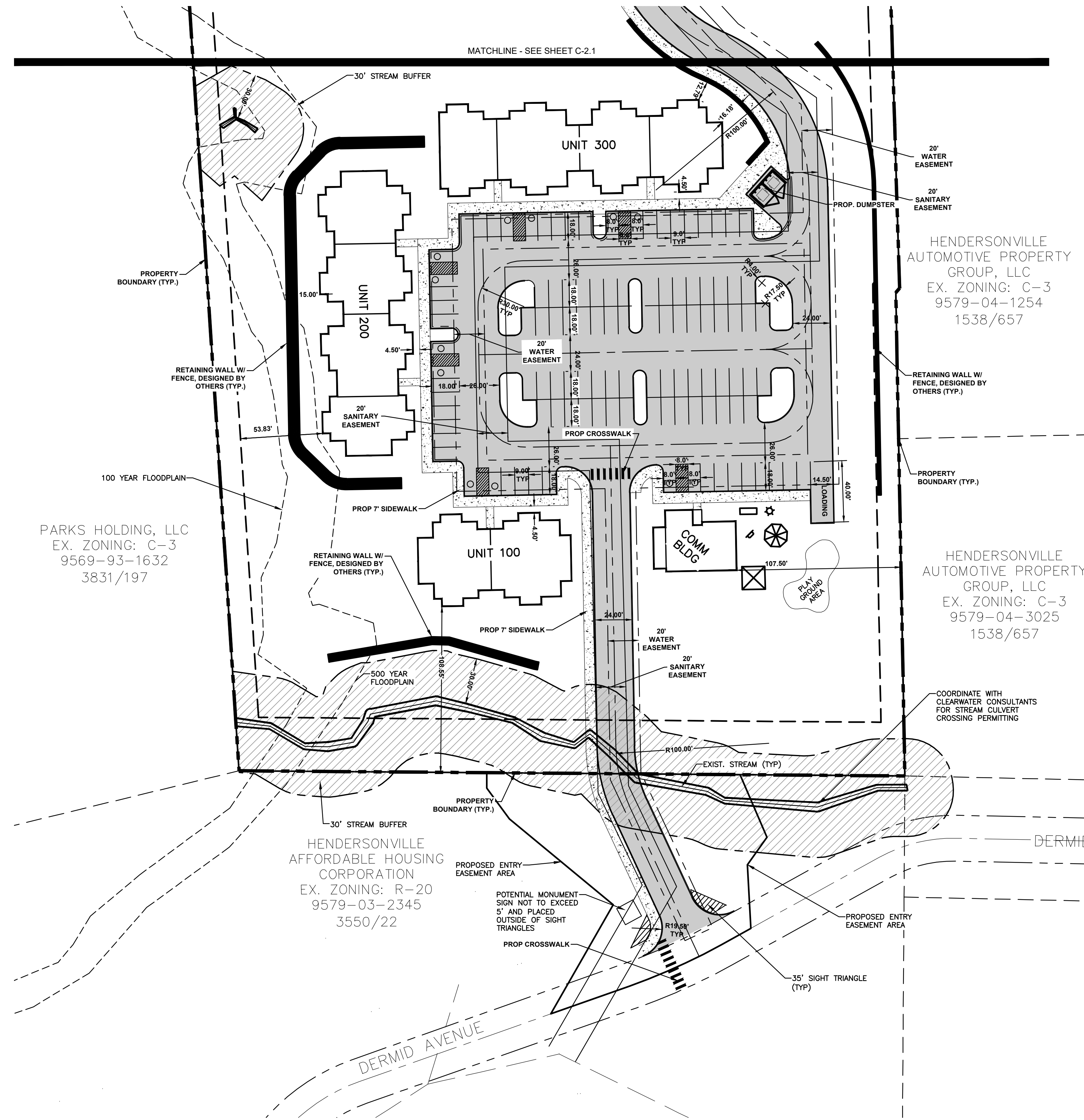
C-2.1



**PHASE 1**

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6. PROJECT IS PLANNED TO BE COMPLETED IN TWO (2) PHASES.
7. THE MAXIMUM BUILDING HEIGHT IS 34'.
8. ALL DRIVE AISLES ARE A MINIMUM OF 24' WIDE AND PRIVATE AISLES IN FRONT OF BUILDINGS ARE A MINIMUM OF 26' WIDE.
9. ALL STANDARD PARKING SPACES ARE 9'x18'.
10. ALL SIDEWALKS ARE 7' WIDE.
11. ALL DIRECT ACCESS DRIVE AISLES HAVE A 30' CENTERLINE RADIUS FOR FIRE ACCESS.
12. ALL RADIUS DIMENSIONS SHOWN ARE TO BACK OF CURB, UNLESS OTHERWISE NOTED.
13. SHADED CURB & GUTTER INDICATES LOCATION FOR SPILL CURB.
14. MINIMUM SLOPE ON CURB AND GUTTER SHALL BE 1.0%, UNLESS SPILL CURB IS INDICATED.
15. ALL HANDICAP ACCESS RAMPS SHALL COMPLY WITH THE LATEST EDITION OF THE ADA ACCESSIBILITY GUIDELINES.
16. NO OBSTRUCTIONS, PLANTINGS, OR FENCING SHALL BE PERMITTED WITHIN SIGHT TRIANGLES, STORM DRAINAGE EASEMENTS (SDE) AND SANITARY SEWER EASEMENTS.
17. ALL SITE CONCRETE (SIDEWALKS, CURB & GUTTER, ETC.) SHALL NOT BE LESS THAN 3,600 PSI STRENGTH AT 28 DAYS.
18. LIGHTING PLAN TO BE PROVIDED WITH FINAL SITE REVIEW AND TO BE DESIGNED BY OTHERS.
19. IRRIGATION PLAN, IF REQUIRED, TO BE DESIGNED BY OTHERS.
20. ENTRY MONUMENTS PLAN TO BE DESIGNED AND PERMITTED BY OTHERS.
21. SITE TRIANGLES 35' X 35' SHALL BE PRESERVED FOR ALL INTERSECTIONS (TYP.). ADDITIONAL SIGHT TRIANGLES OF 10' X 70' SHALL BE PROVIDED FOR ACCESS ONTO THOROUGHFARE, COMMERCIAL, AND NCDOT STREETS (TYP.).
22. SESC PLANS AND PERMITTING SHALL BE PROVIDED TO THE APPROPRIATE LOCAL OR STATE AGENCY DURING FINAL CIVIL DESIGN.



HENDERSONVILLE AFFORDABLE HOUSING CORPORATION  
EX. ZONING: R-20  
9579-03-2345  
3550/22

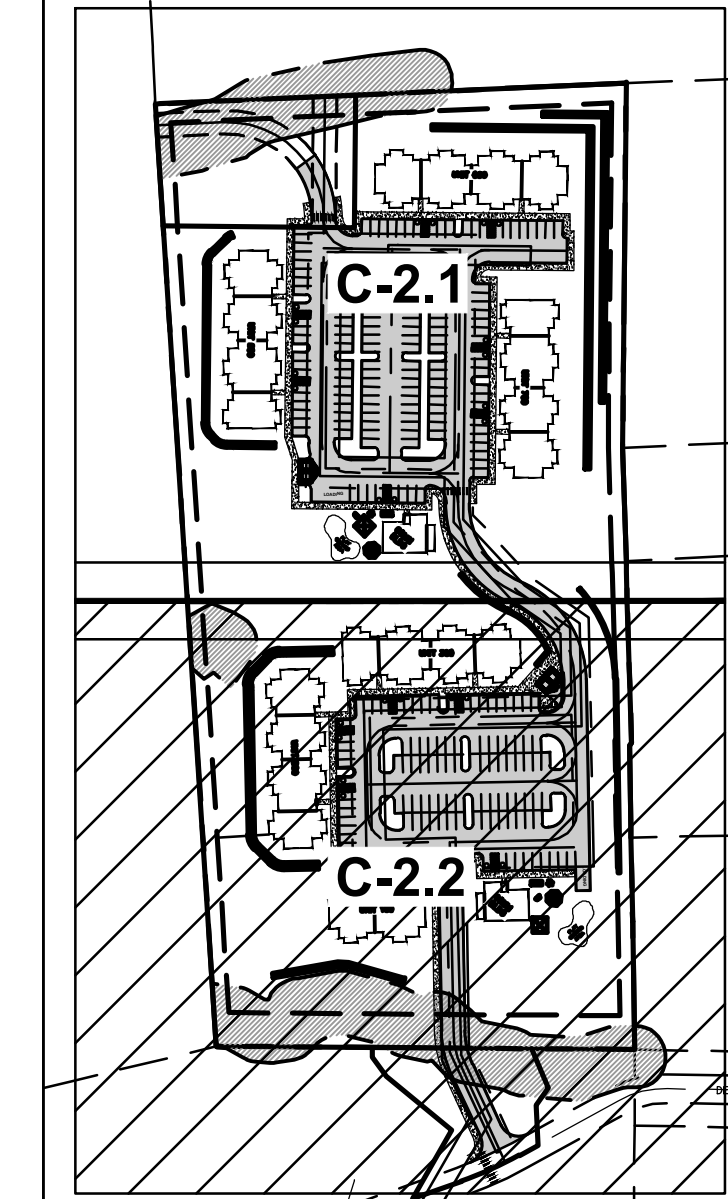
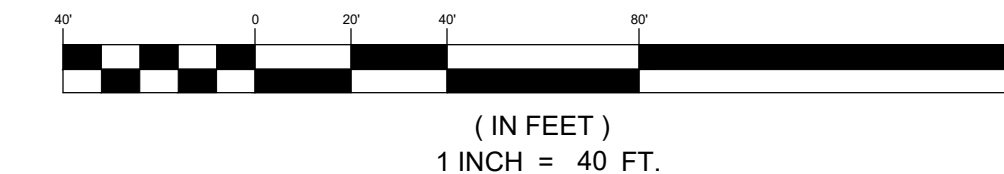
HENDERSONVILLE AUTOMOTIVE PROPERTY GROUP, LLC  
EX. ZONING: C-3  
9579-04-1254  
1538/657

HENDERSONVILLE AUTOMOTIVE PROPERTY GROUP, LLC  
EX. ZONING: C-3  
9579-04-3025  
1538/657

**LEGEND**

- PROP. CONCRETE SIDEWALK
- PROP. PAVEMENT
- PROP. WETLAND/STREAM BUFFER

GRAPHIC SCALE



**KEY MAP**

1" = 200'

ESP Associates, Inc.  
20484 Chatham Center Dr.  
Suite D  
Cornelius, NC 28031  
1-800-960-7317  
NC License F-1407  
www.espassociates.com

NO.	DATE	REVISION	BY

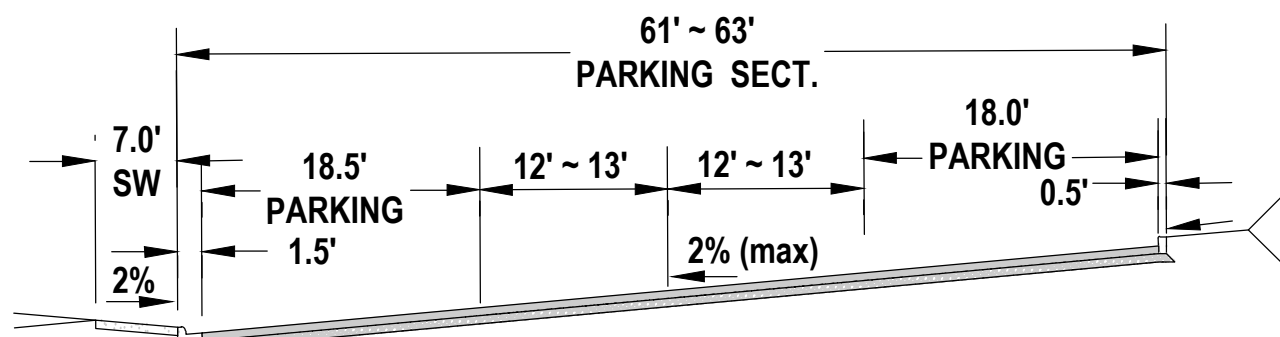
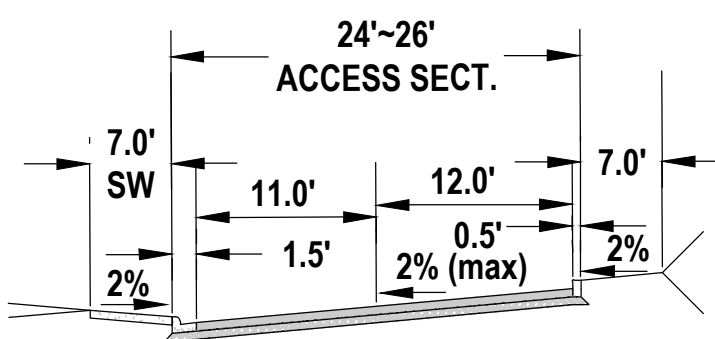
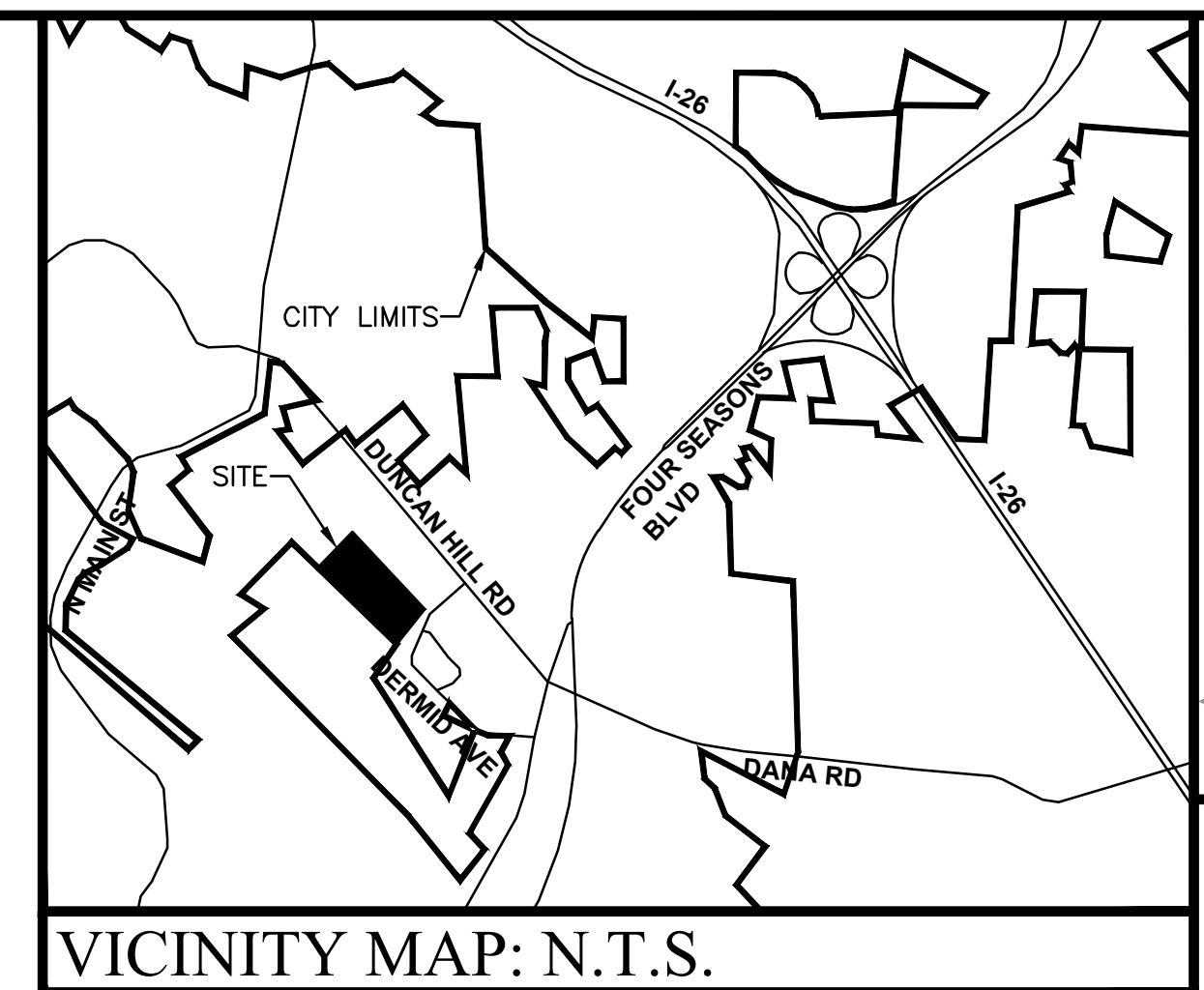
**SITE PLAN PHASE 1**  
**MEADOWCREST**  
HOUSING ASSISTANCE CORPORATION  
HENDERSONVILLE, NC

**PROJECT INFORMATION**

PROJECT MANAGER:	DW
DESIGNED BY:	DK
DRAWN BY:	DK
PROJECT NUMBER:	25-00332
ORIGINAL DATE:	2025/02/21

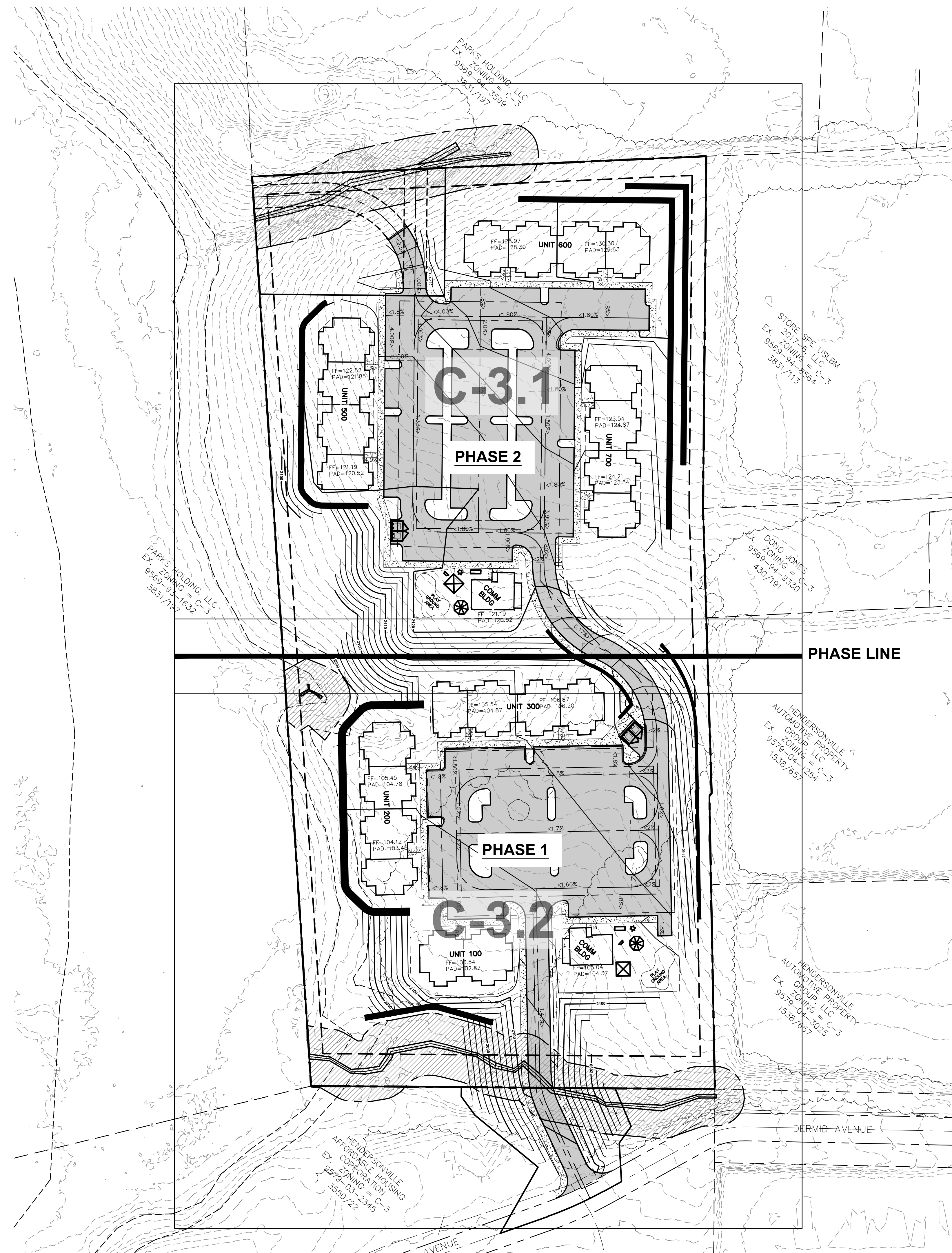
SHEET: **C-2.2**



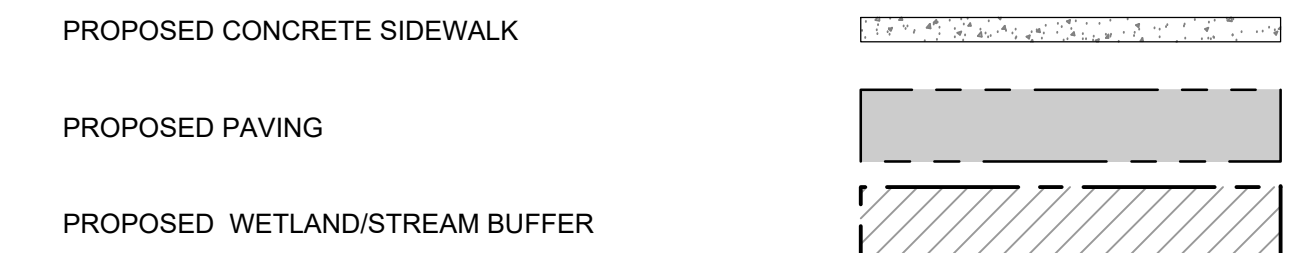


SECTION NOTES

- SECTION IS NOT TO SCALE
- PAVEMENT DESIGN SHALL BE DESIGNED BY GEOTECHNICAL ENGINEER OR MEET NCDOT STANDARDS, WHICHEVER IS GREATER.
- FINAL SURFACE COURSE SHALL BE APPLIED UPON APPROVAL OF CITY OF HENDERSONVILLE.

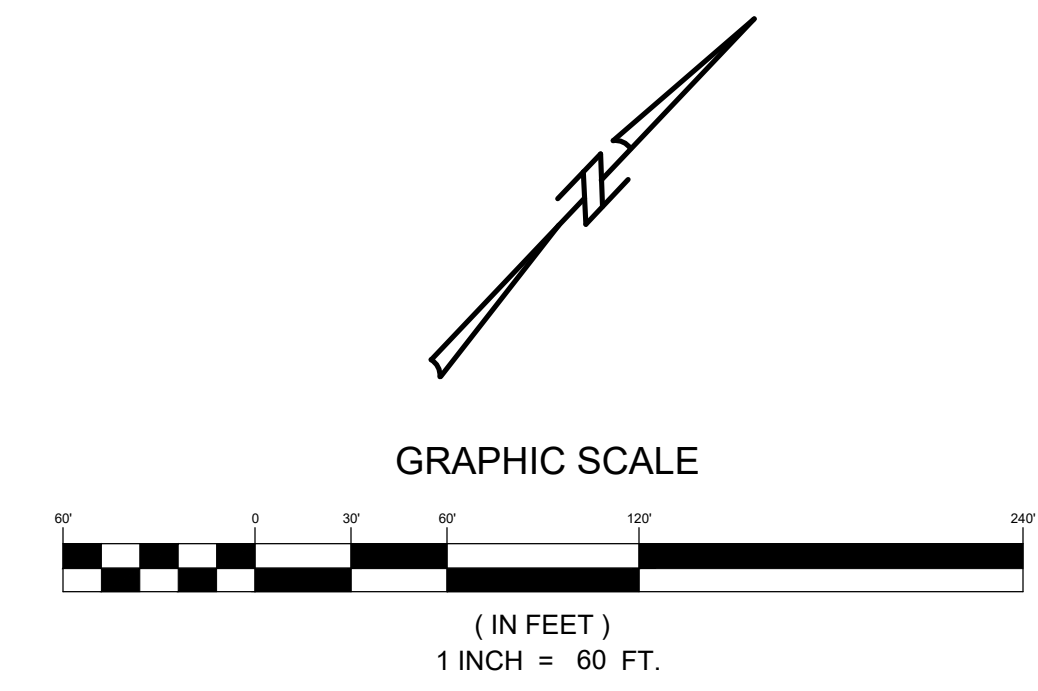


LEGEND



SITE NOTES

- ALL PROPOSED ACCESS IS PRIVATE.
- CROSSWALKS AND CURB RAMPS ARE PROPOSED TO CONNECT INTERNAL SIDEWALKS AND TO EXISTING SIDEWALKS IN DERMID
- THE MAXIMUM PROPOSED ROAD GRADE IS 5.2%+/-
- ALL SIGNAGE SHALL BE LOCATED OUTSIDE THE ROAD RIGHT OF WAY AND SIGHT TRIANGLES, AND WILL GO THROUGH A SEPARATE REVIEW PROCESS AT FINAL SITE PLAN REVIEW.
- THE COMPLEX OWNER SHALL BE RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF ALL PORTIONS OF THE SITE INCLUDING ALL DEVELOPED AREAS, UNDEVELOPED AREAS, AND PRIVATE UTILITIES.
- PROJECT IS PLANNED TO BE COMPLETED IN TWO (2) PHASES.
- THE MAXIMUM BUILDING HEIGHT IS 34'.
- ALL DRIVE AISLES ARE A MINIMUM OF 24' WIDE AND PRIVATE AISLES IN FRONT OF BUILDINGS ARE A MINIMUM OF 28' WIDE.
- ALL STANDARD PARKING SPACES ARE 9'x18'
- ALL SIDEWALKS ARE 7' WIDE.
- ALL DIRECT ACCESS DRIVE AISLES HAVE A 30' CENTERLINE RADII FOR FIRE ACCESS
- ALL RADII DIMENSIONS SHOWN ARE TO BACK OF CURB, UNLESS OTHERWISE NOTED.
- SHADED CURB & GUTTER INDICATES LOCATION FOR SPILL CURB.
- MINIMUM SLOPE ON CURB AND GUTTER SHALL BE 1.0%, UNLESS SPILL CURB IS INDICATED.
- ALL HANDICAP ACCESS RAMPS SHALL COMPLY WITH THE LATEST EDITION OF THE ADA ACCESSIBILITY GUIDELINES.
- NO OBSTRUCTIONS, PLANTINGS, OR FENCING SHALL BE PERMITTED WITHIN SIGHT TRIANGLES, STORM DRAINAGE EASEMENTS (SDE) AND SANITARY SEWER EASEMENTS.
- ALL SITE CONCRETE (SIDEWALKS, CURB & GUTTER, ETC.) SHALL NOT BE LESS THAN 3,600 PSI STRENGTH AT 28 DAYS.
- LIGHTING PLAN TO BE PROVIDED WITH FINAL SITE REVIEW AND TO BE DESIGNED BY OTHERS.
- IRRIGATION PLAN, IF REQUIRED, TO BE DESIGNED BY OTHERS.
- ENTRY MONUMENTS PLAN TO BE DESIGNED AND PERMITTED BY OTHERS.
- SITE TRIANGLES 35' X 35' SHALL BE PRESERVED FOR ALL INTERSECTIONS (TYP.). ADDITIONAL SIGHT TRIANGLES OF 10' X 70' SHALL BE PROVIDED FOR ACCESS ONTO THROUGHFARE, COMMERCIAL, AND NCDOT STREETS (TYP.).
- SESC PLANS AND PERMITTING SHALL BE PROVIDED TO THE APPROPRIATE LOCAL OR STATE AGENCY DURING FINAL CIVIL DESIGN.



NO.	DATE	REVISION	BY

OVERALL GRADING PLAN  
MEADOWCREST  
HOUSING ASSISTANCE CORPORATION  
HENDERSONVILLE, NC

PROJECT INFORMATION	
PROJECT MANAGER:	DW
DESIGNED BY:	DK
DRAWN BY:	DK
PROJECT NUMBER:	25-00332
ORIGINAL DATE:	2025/02/21
SHEET:	C-3.0

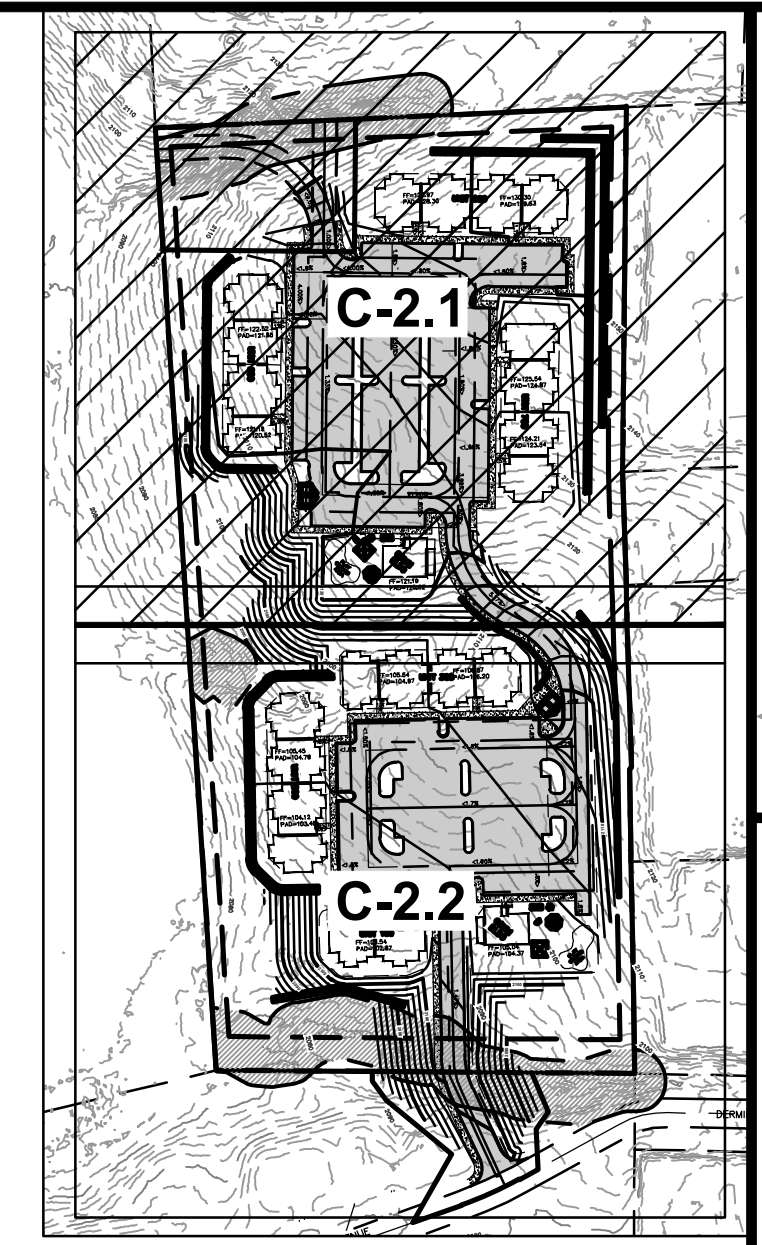


NO.	DATE	REVISION	BY

**GRADING PLAN PHASE 2**  
**MEADOWCREST**  
 HOUSING ASSISTANCE CORPORATION  
 HENDERSOVILLE, NC

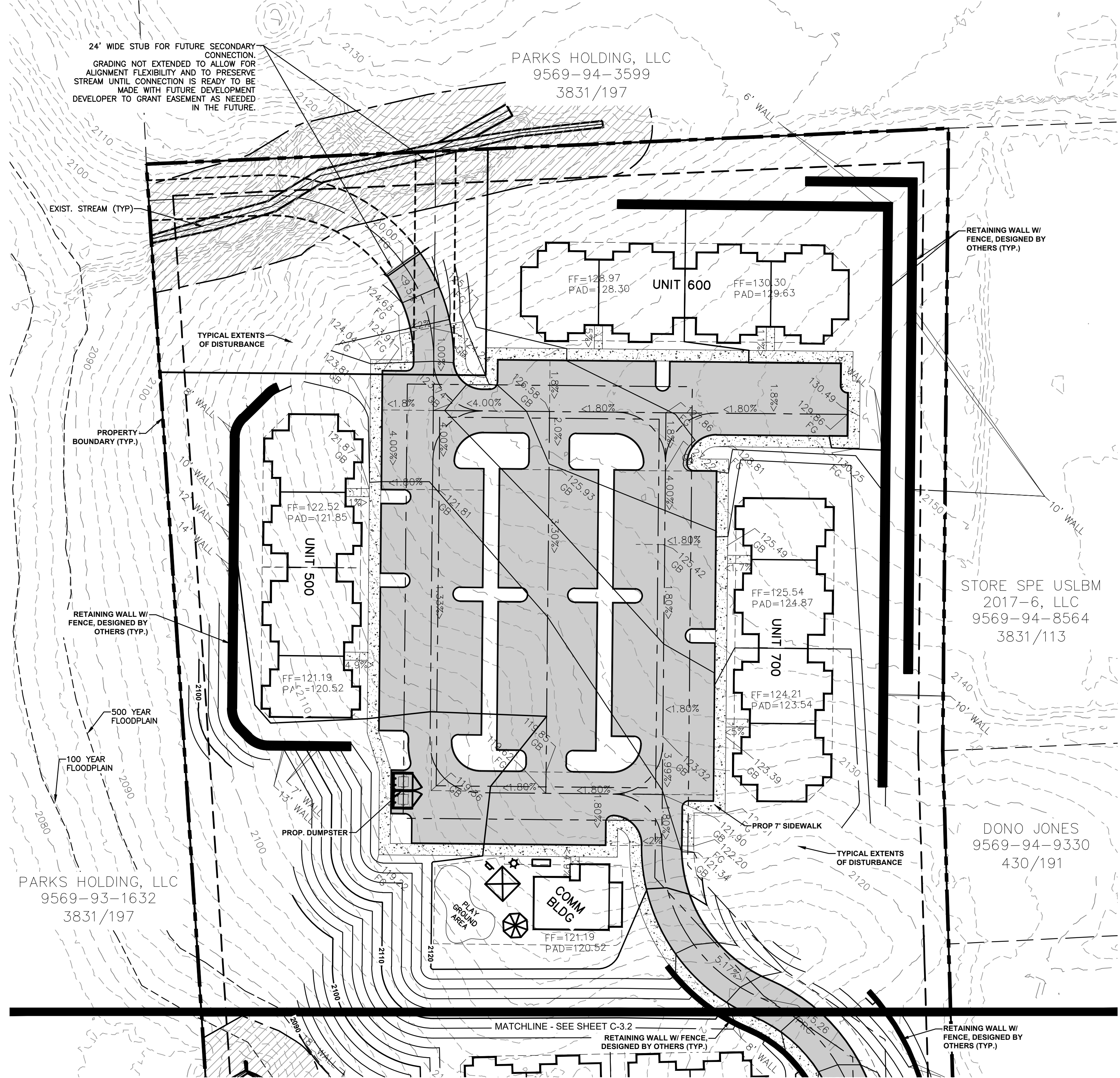
PROJECT INFORMATION	
PROJECT MANAGER:	DW
DESIGNED BY:	DK
DRAWN BY:	DK
PROJECT NUMBER:	25-00332
ORIGINAL DATE:	2025/02/21

SHEET: **C-3.1**

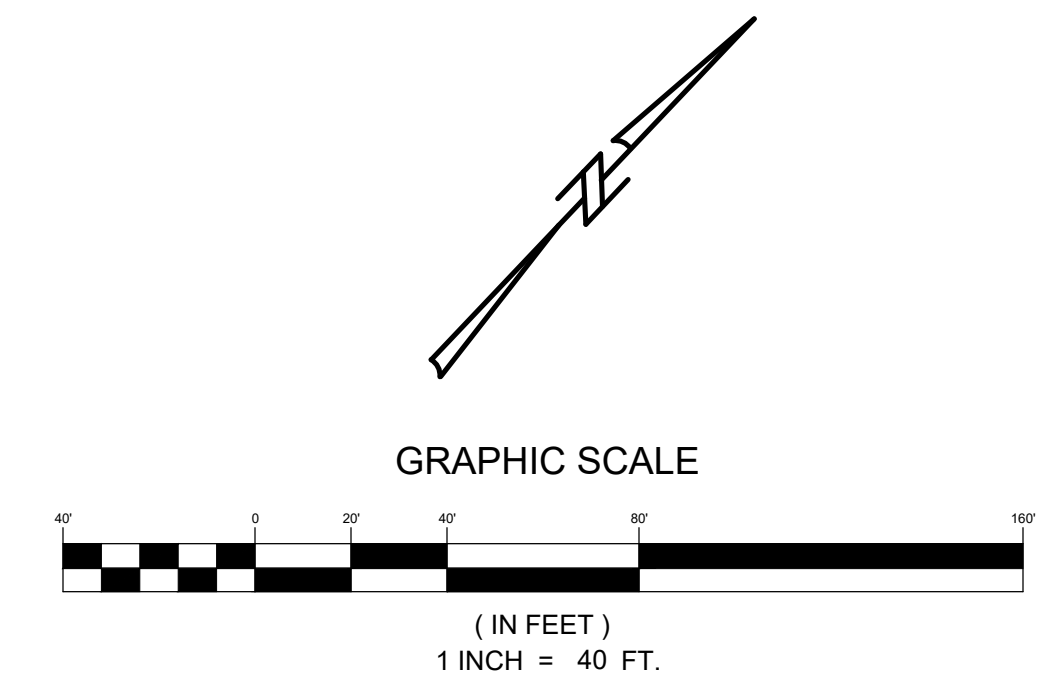


**KEY MAP**  
 1" = 200'

- LEGEND**
- PROPOSED CONCRETE SIDEWALK
  - PROPOSED PAVING
  - PROPOSED WETLAND/STREAM BUFFER



- SITE NOTES**
- ALL PROPOSED ACCESS IS PRIVATE.
  - CROSSWALKS AND CURB RAMPS ARE PROPOSED TO CONNECT INTERNAL SIDEWALKS AND TO EXISTING SIDEWALKS IN DERMID
  - THE MAXIMUM PROPOSED ROAD GRADE IS 5.2%+/-.
  - ALL SIGNAGE SHALL BE LOCATED OUTSIDE THE ROAD RIGHT OF WAY AND SIGHT TRIANGLES, AND WILL GO THROUGH A SEPARATE REVIEW PROCESS AT FINAL SITE PLAN REVIEW.
  - THE COMPLEX OWNER SHALL BE RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF ALL PORTIONS OF THE SITE INCLUDING ALL DEVELOPED AREAS, UNDEVELOPED AREAS, AND PRIVATE UTILITIES.
  - PROJECT IS PLANNED TO BE COMPLETED IN TWO (2) PHASES.
  - THE MAXIMUM BUILDING HEIGHT IS 34'.
  - ALL DRIVE AISLES ARE A MINIMUM OF 24' WIDE AND PRIVATE AISLES IN FRONT OF BUILDINGS ARE A MINIMUM OF 26' WIDE.
  - ALL STANDARD PARKING SPACES ARE 9'x18'
  - ALL SIDEWALKS ARE 7' WIDE.
  - ALL DIRECT ACCESS DRIVE AISLES HAVE A 30' CENTERLINE RADI FOR FIRE ACCESS
  - ALL RADII DIMENSIONS SHOWN ARE TO BACK OF CURB, UNLESS OTHERWISE NOTED.
  - SHADED CURB & GUTTER INDICATES LOCATION FOR SPILL CURB.
  - MINIMUM SLOPE ON CURB AND GUTTER SHALL BE 1.0%, UNLESS SPILL CURB IS INDICATED.
  - ALL HANDICAP ACCESS RAMPS SHALL COMPLY WITH THE LATEST EDITION OF THE ADA ACCESSIBILITY GUIDELINES.
  - NO OBSTRUCTIONS, PLANTINGS, OR FENCING SHALL BE PERMITTED WITHIN SIGHT TRIANGLES, STORM DRAINAGE EASEMENTS (SDE) AND SANITARY SEWER EASEMENTS.
  - ALL SITE CONCRETE (SIDEWALKS, CURB & GUTTER, ETC.) SHALL NOT BE LESS THAN 3,600 PSI STRENGTH AT 28 DAYS.
  - LIGHTING PLAN TO BE PROVIDED WITH FINAL SITE REVIEW AND TO BE DESIGNED BY OTHERS.
  - IRRIGATION PLAN, IF REQUIRED, TO BE DESIGNED BY OTHERS.
  - ENTRY MONUMENTS PLAN TO BE DESIGNED AND PERMITTED BY OTHERS.
  - SITE TRIANGLES 35' X 35' SHALL BE PRESERVED FOR ALL INTERSECTIONS (TYP.). ADDITIONAL SIGHT TRIANGLES OF 10' X 70' SHALL BE PROVIDED FOR ACCESS ONTO THOROUGHFARE, COMMERCIAL, AND NCDOT STREETS (TYP.).
  - SESC PLANS AND PERMITTING SHALL BE PROVIDED TO THE APPROPRIATE LOCAL OR STATE AGENCY DURING FINAL CIVIL DESIGN.





NO.	DATE	REVISION	BY

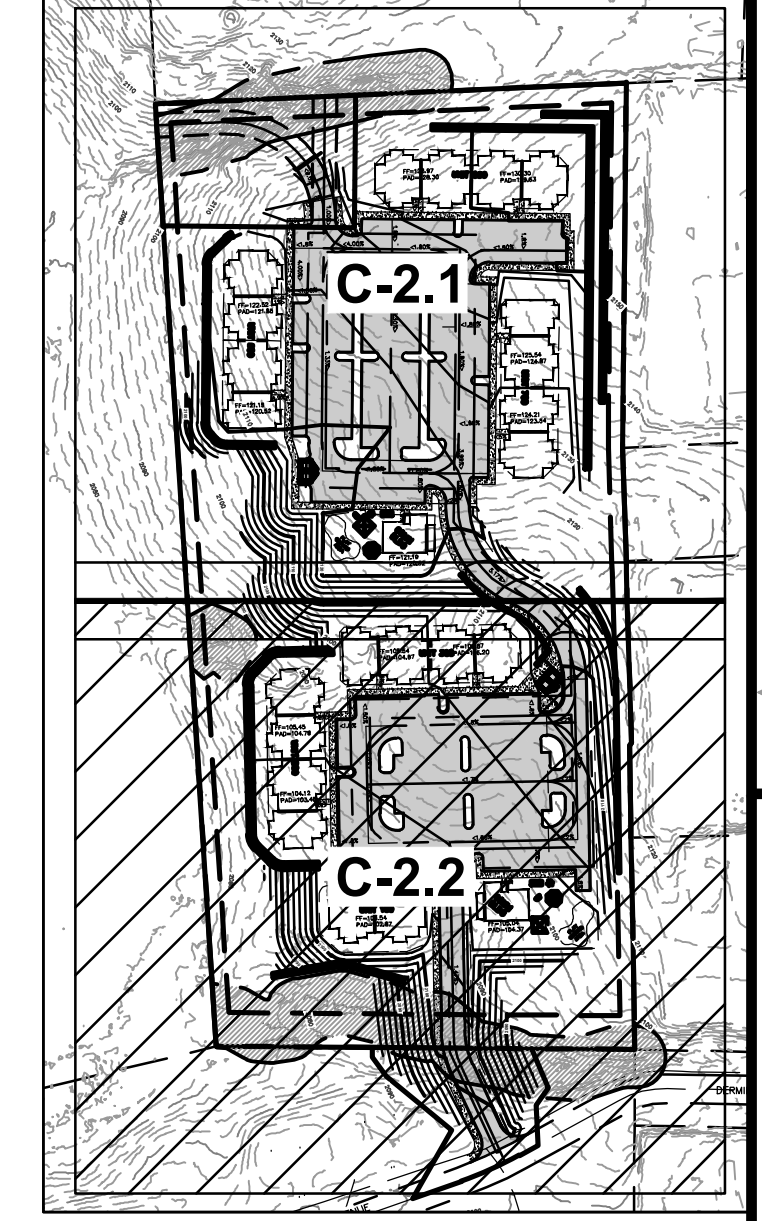
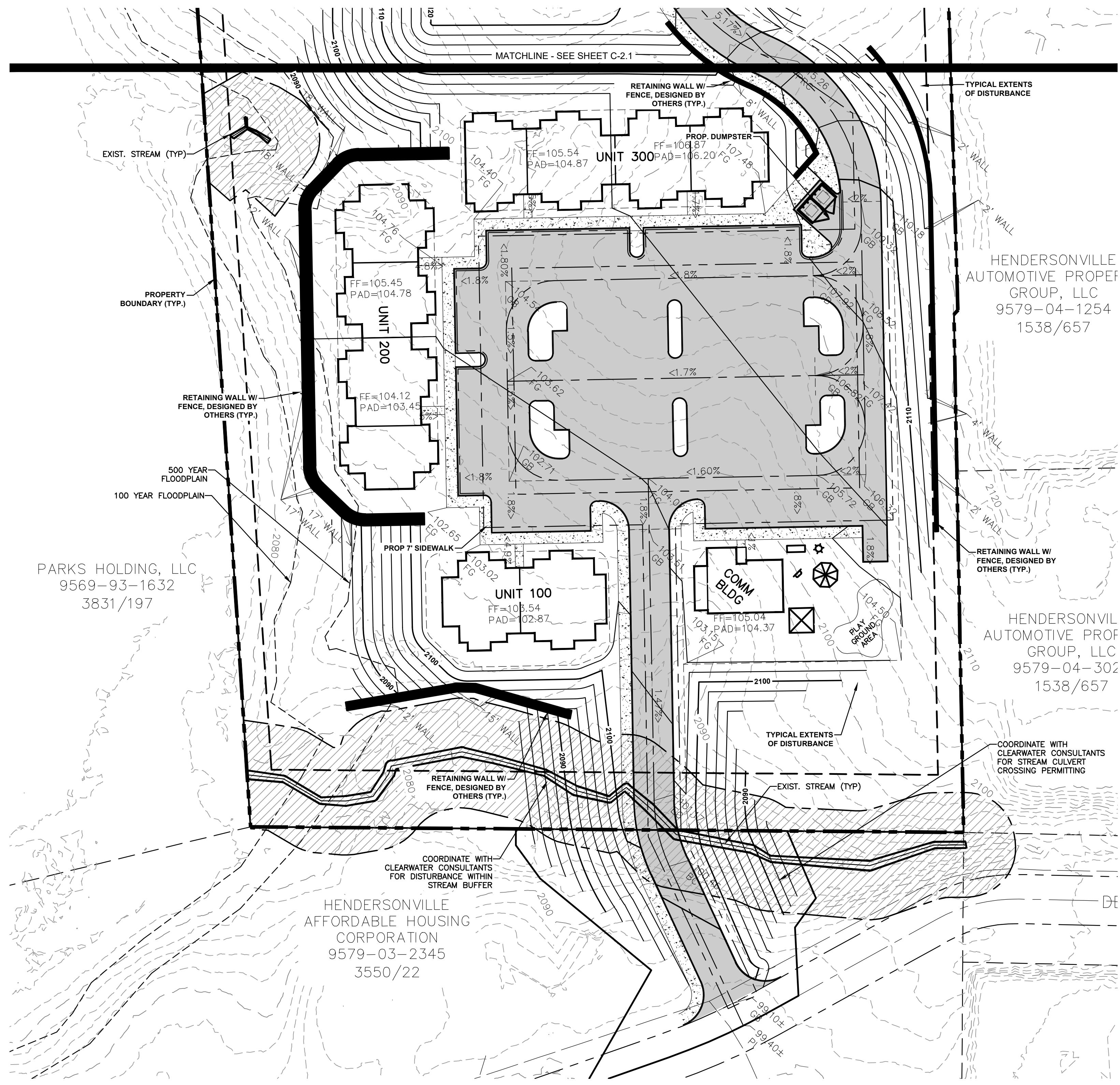
**GRADING PLAN PHASE 3**  
**MEADOWCREST**  
 HOUSING ASSISTANCE CORPORATION  
 HENDERSONVILLE, NC

PROJECT INFORMATION	
PROJECT MANAGER:	DW
DESIGNED BY:	DK
DRAWN BY:	DK
PROJECT NUMBER:	25-00332
ORIGINAL DATE:	2025/02/21

SHEET: **C-3.2**

**SITE NOTES**

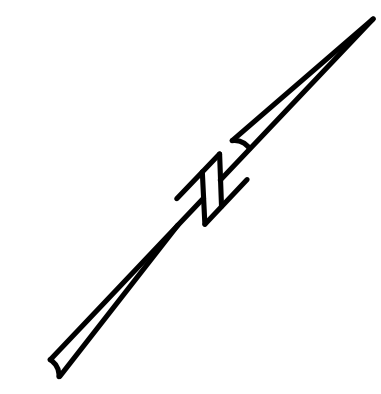
- ALL PROPOSED ACCESS IS PRIVATE.
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- THE MAXIMUM PROPOSED ROAD GRADE IS 5.2%+/-
- ALL SIGNAGE SHALL BE LOCATED OUTSIDE THE ROAD RIGHT OF WAY AND SIGHT TRIANGLES, AND WILL GO THROUGH A SEPARATE REVIEW PROCESS AT FINAL SITE PLAN REVIEW.
- THE COMPLEX OWNER SHALL BE RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF ALL PORTIONS OF THE SITE INCLUDING ALL DEVELOPED AREAS, UNDEVELOPED AREAS, AND PRIVATE UTILITIES. I
- PROJECT IS PLANNED TO BE COMPLETED IN TWO (2) PHASES.
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- ALL RADI DIMENSIONS SHOWN ARE TO BACK OF CURB, UNLESS OTHERWISE NOTED.
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- LIGHTING PLAN TO BE PROVIDED WITH FINAL SITE REVIEW AND TO BE DESIGNED BY OTHERS.
- IRRIGATION PLAN, IF REQUIRED, TO BE DESIGNED BY OTHERS.
- ENTRY MONUMENTS PLAN TO BE DESIGNED AND PERMITTED BY OTHERS.
- SITE TRIANGLES 35' X 35' SHALL BE PRESERVED FOR ALL INTERSECTIONS (TYP.). ADDITIONAL SIGHT TRIANGLES OF 10' X 70' SHALL BE PROVIDED FOR ACCESS ONTO THOROUGHFARE, COMMERCIAL, AND NCDOT STREETS (TYP.).
- SESC PLANS AND PERMITTING SHALL BE PROVIDED TO THE APPROPRIATE LOCAL OR STATE AGENCY DURING FINAL CIVIL DESIGN.



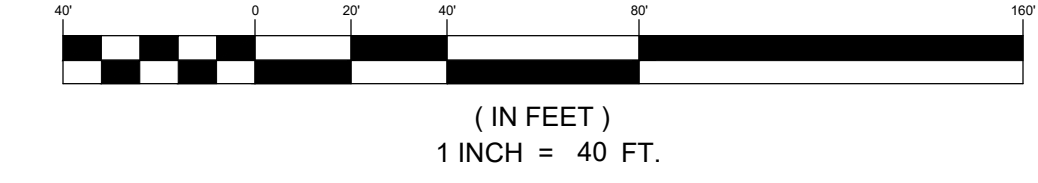
**KEY MAP**  
 1" = 200'

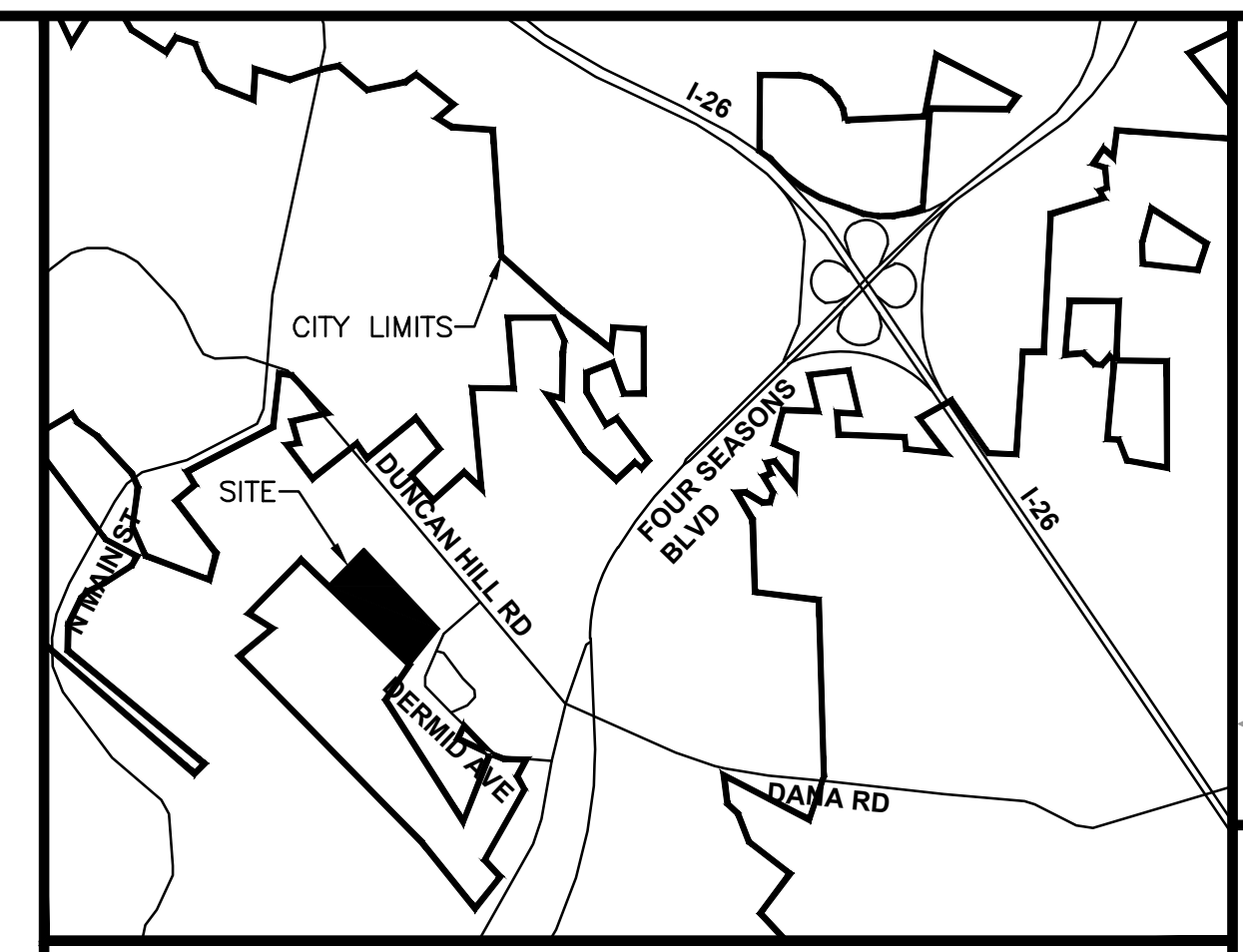
**LEGEND**

- PROPOSED CONCRETE SIDEWALK
- PROPOSED PAVING
- PROPOSED WETLAND/STREAM BUFFER



GRAPHIC SCALE

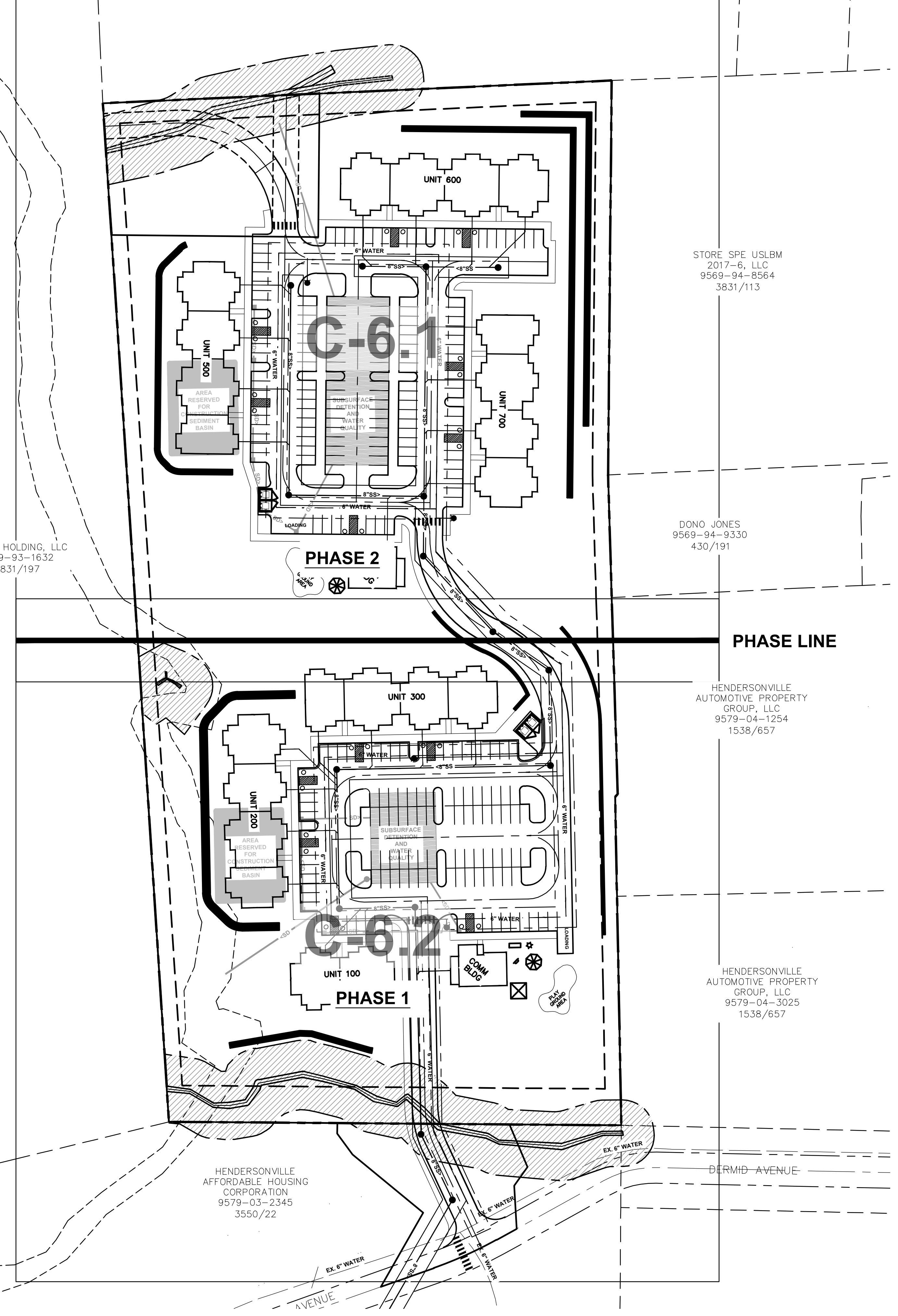




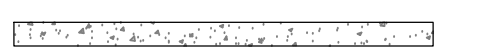

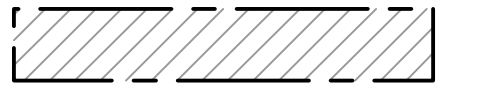
VICINITY MAP: N.T.S.

**SITE NOTES**

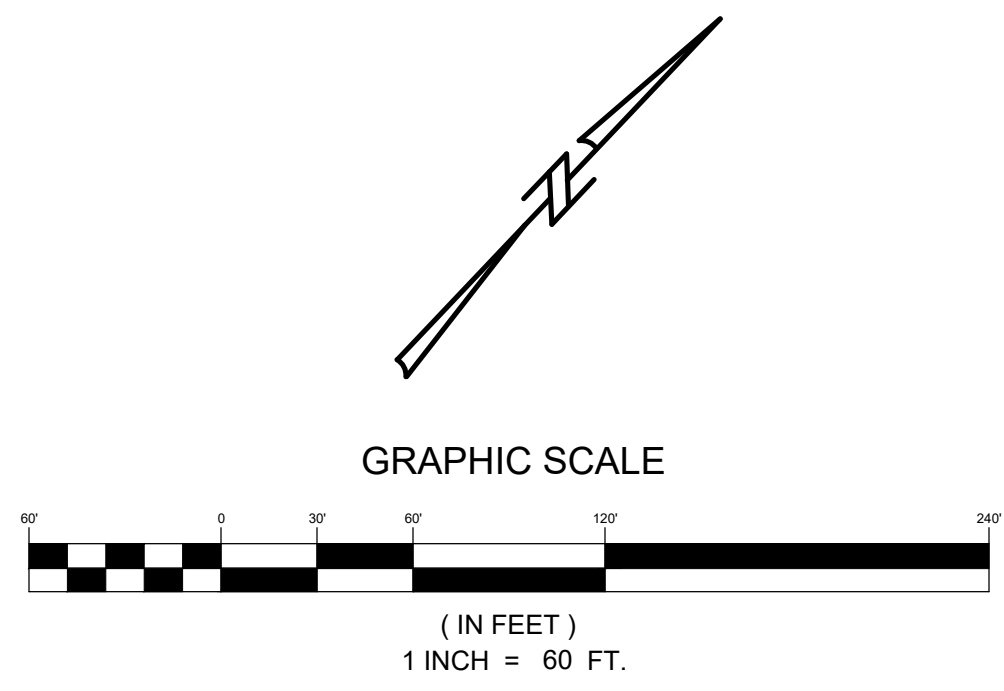
1. ALL PROPOSED ACCESS IS PRIVATE.
2. CROSSWALKS AND CURB RAMPS ARE PROPOSED TO CONNECT INTERNAL SIDEWALKS AND TO EXISTING SIDEWALKS IN DERMID
3. THE MAXIMUM PROPOSED ROAD GRADE IS 5.2%+/-
4. ALL SIGNAGE SHALL BE LOCATED OUTSIDE THE ROAD RIGHT OF WAY AND SIGHT TRIANGLES, AND WILL GO THROUGH A SEPARATE REVIEW PROCESS AT FINAL SITE PLAN REVIEW.
5. THE COMPLEX OWNER SHALL BE RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF ALL PORTIONS OF THE SITE INCLUDING ALL DEVELOPED AREAS, UNDEVELOPED AREAS, AND PRIVATE UTILITIES.
6. PROJECT IS PLANNED TO BE COMPLETED IN TWO (2) PHASES.
7. THE MAXIMUM BUILDING HEIGHT IS 34'.
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9. ALL STANDARD PARKING SPACES ARE 9'x18'
10. ALL SIDEWALKS ARE 7' WIDE.
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14. MINIMUM SLOPE ON CURB AND GUTTER SHALL BE 1.0%, UNLESS SPILL CURB IS INDICATED.
15. ALL HANDICAP ACCESS RAMPS SHALL COMPLY WITH THE LATEST EDITION OF THE ADA ACCESSIBILITY GUIDELINES.
16. NO OBSTRUCTIONS, PLANTINGS, OR FENCING SHALL BE PERMITTED WITHIN SIGHT TRIANGLES, STORM DRAINAGE EASEMENTS (SDE) AND SANITARY SEWER EASEMENTS.
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20. ENTRY MONUMENTS PLAN TO BE DESIGNED AND PERMITTED BY OTHERS.
21. SITE TRIANGLES 35' X 35' SHALL BE PRESERVED FOR ALL INTERSECTIONS (TYP.). ADDITIONAL SIGHT TRIANGLES OF 10' X 70' SHALL BE PROVIDED FOR ACCESS ONTO THOROUGHFARE, COMMERCIAL, AND NCDOT STREETS (TYP.).
22. SESC PLANS AND PERMITTING SHALL BE PROVIDED TO THE APPROPRIATE LOCAL OR STATE AGENCY DURING FINAL CIVIL DESIGN.



**LEGEND**

- PROPOSED CONCRETE SIDEWALK 
- PROPOSED PAVING 
- PROPOSED WETLAND/STREAM BUFFER 

ON-SITE DISTURBED AREA = 7.63 ACRES  
SITE DEVELOPMENT SHALL COMPLY WITH REQUIRED STORMWATER ORDINANCE.



NO.	DATE	REVISION	BY

**OVERALL UTILITY PLAN**

**MEADOWCREST**

HENDERSONVILLE, NC

HOUSING ASSISTANCE CORPORATION

PROJECT INFORMATION

PROJECT MANAGER:	DW
DESIGNED BY:	DK
DRAWN BY:	DK
PROJECT NUMBER:	25-00332
ORIGINAL DATE:	2025/02/21
SHEET:	<b>C-6.0</b>

PARKS HOLDING, LLC  
9569-94-3599  
3831/197

STORE SPE USLBM  
2017-6, LLC  
9569-94-8564  
3831/113

DONO JONES  
9569-94-9330  
430/191

HENDERSONVILLE  
AUTOMOTIVE PROPERTY  
GROUP, LLC  
9579-04-1254  
1538/657

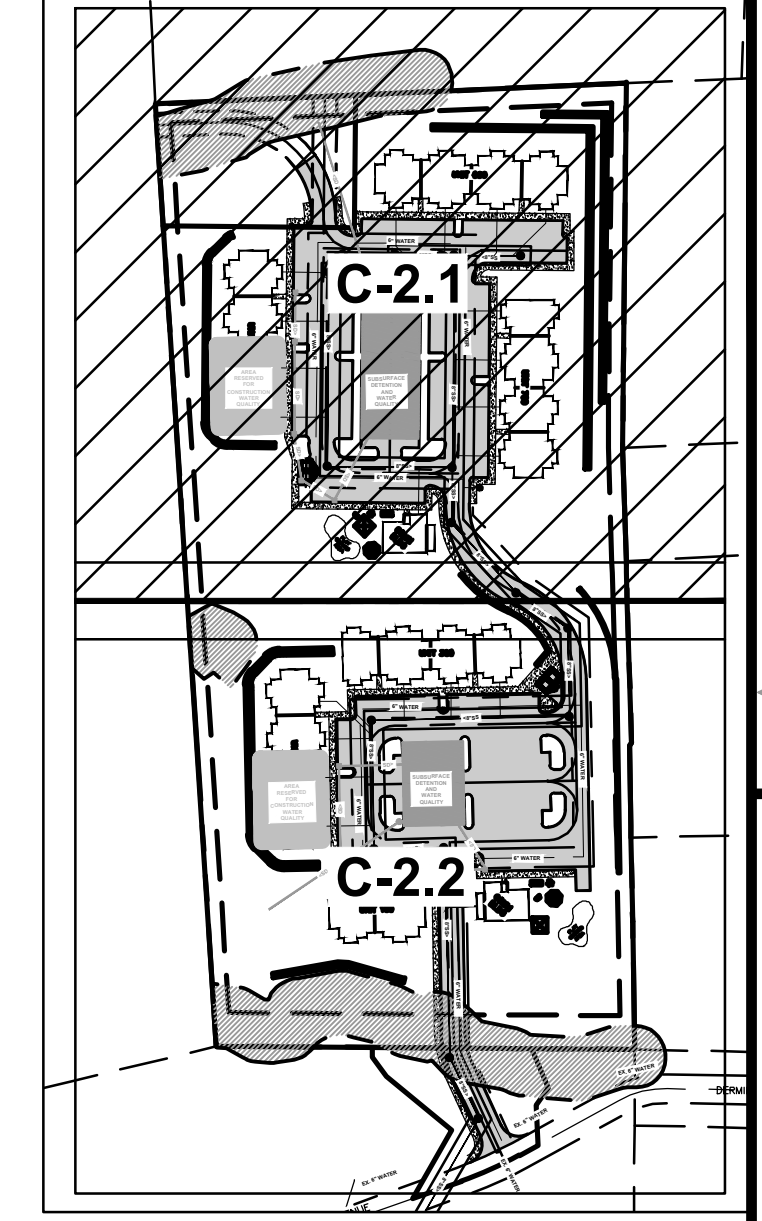
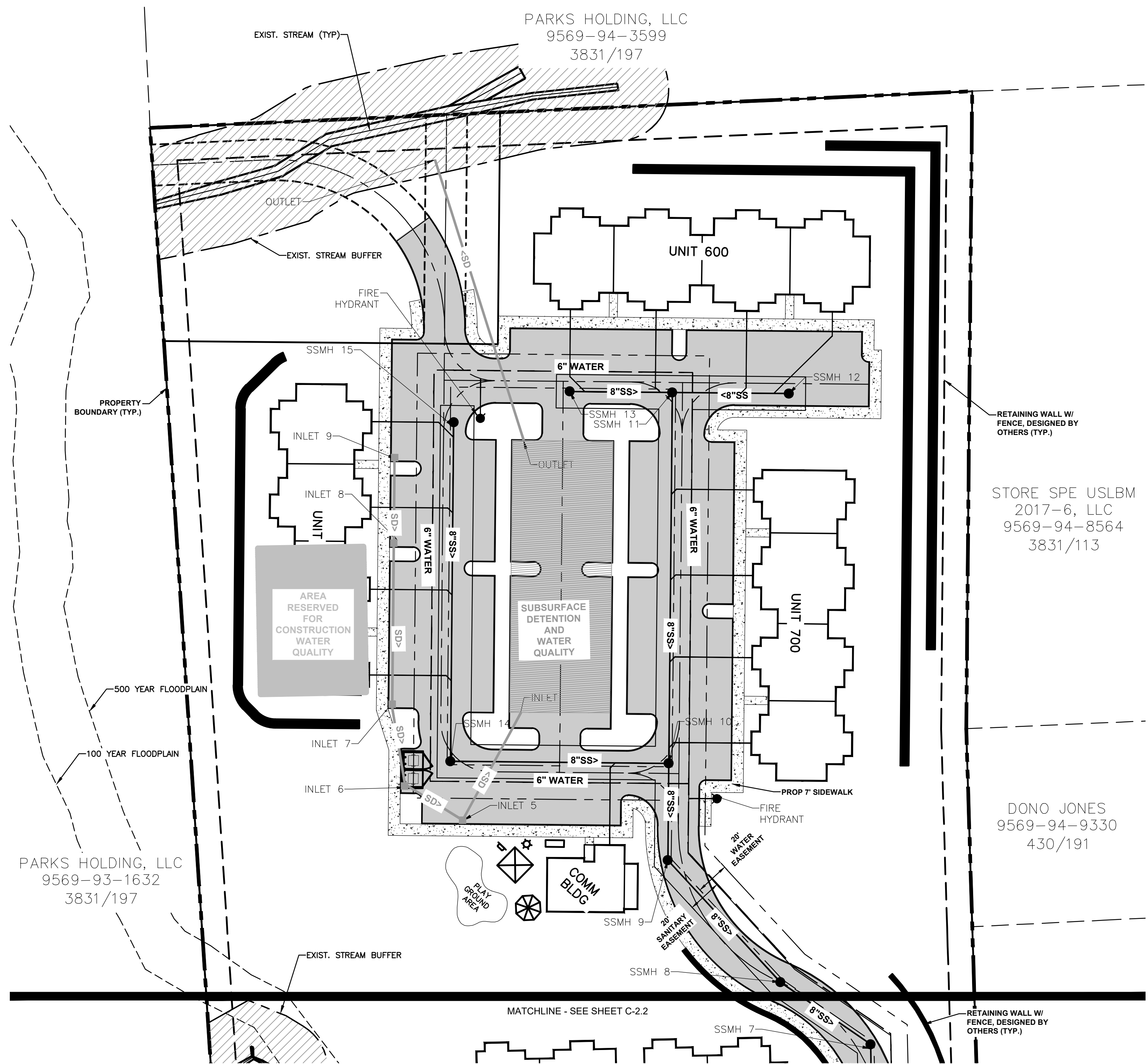
HENDERSONVILLE  
AUTOMOTIVE PROPERTY  
GROUP, LLC  
9579-04-3025  
1538/657

HENDERSONVILLE  
AFFORDABLE HOUSING  
CORPORATION  
9579-03-2345  
3550/22



**SITE NOTES**

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**KEY MAP**  
1" = 200'

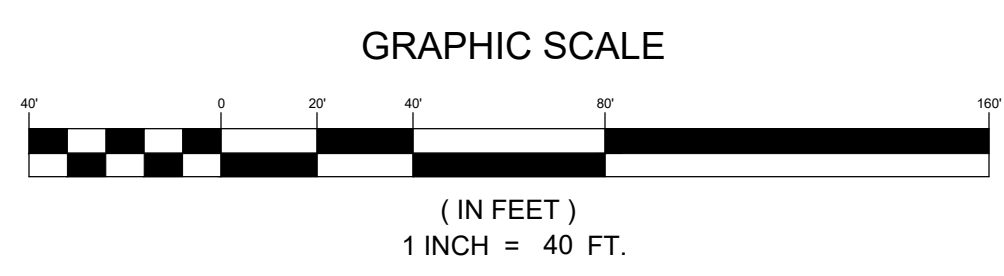
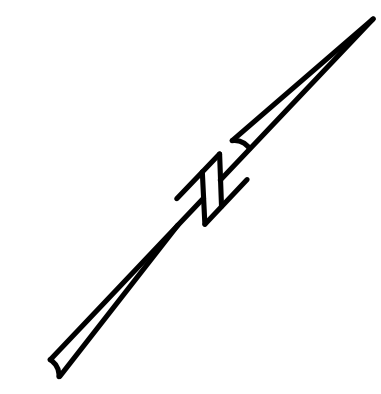
**LEGEND**

- PROPOSED CONCRETE SIDEWALK
- PROPOSED PAVING
- PROPOSED WETLAND/STREAM BUFFER

ON-SITE DISTURBED AREA = 7.63 ACRES  
SITE DEVELOPMENT SHALL COMPLY WITH REQUIRED STORMWATER ORDINANCE.

STORE SPE USLBM  
2017-6, LLC  
9569-94-8564  
3831/113

DONO JONES  
9569-94-9330  
430/191



NO.	DATE	REVISION	BY

**UTILITY PLAN PHASE 2**

**MEADOWCREST**

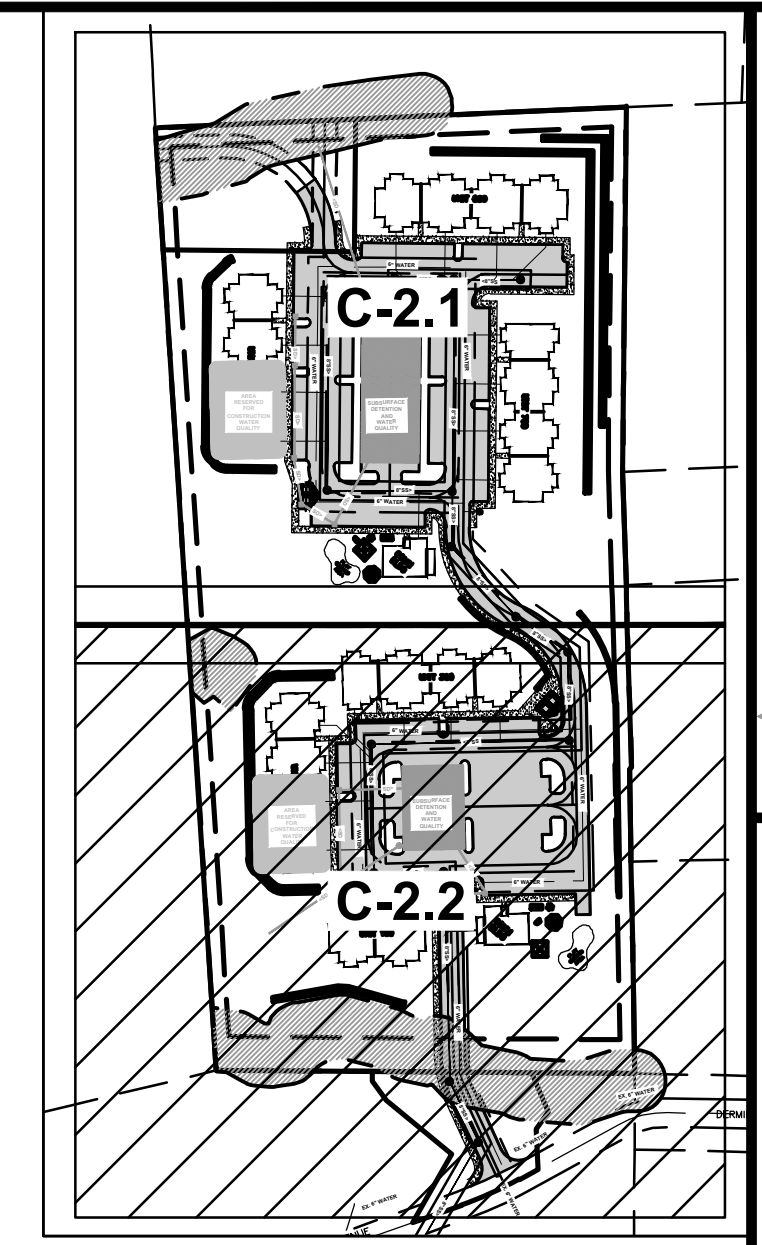
HOUSING ASSISTANCE CORPORATION

HENDERSOINVILLE, NC

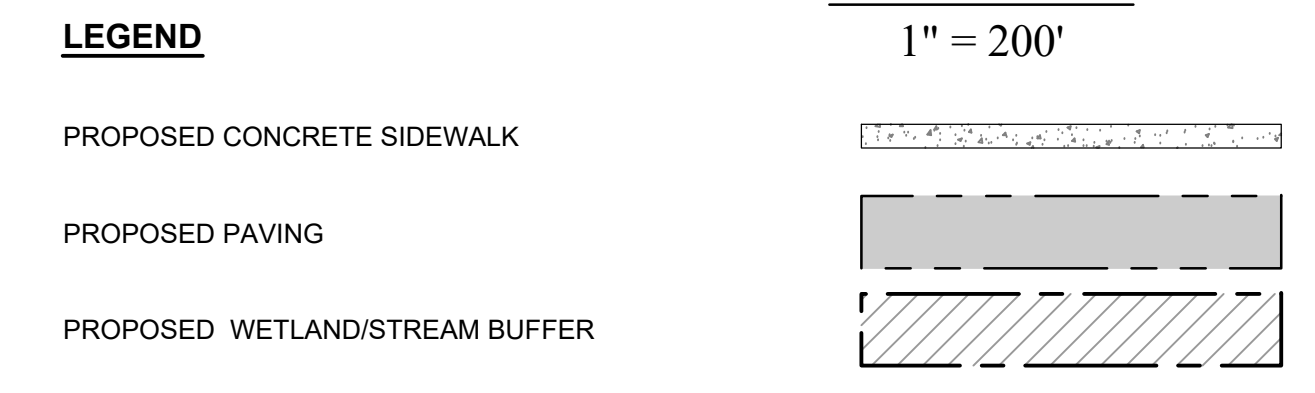
**PROJECT INFORMATION**

PROJECT MANAGER:	DW
DESIGNED BY:	DK
DRAWN BY:	DK
PROJECT NUMBER:	25-00332
ORIGINAL DATE:	2025/02/21

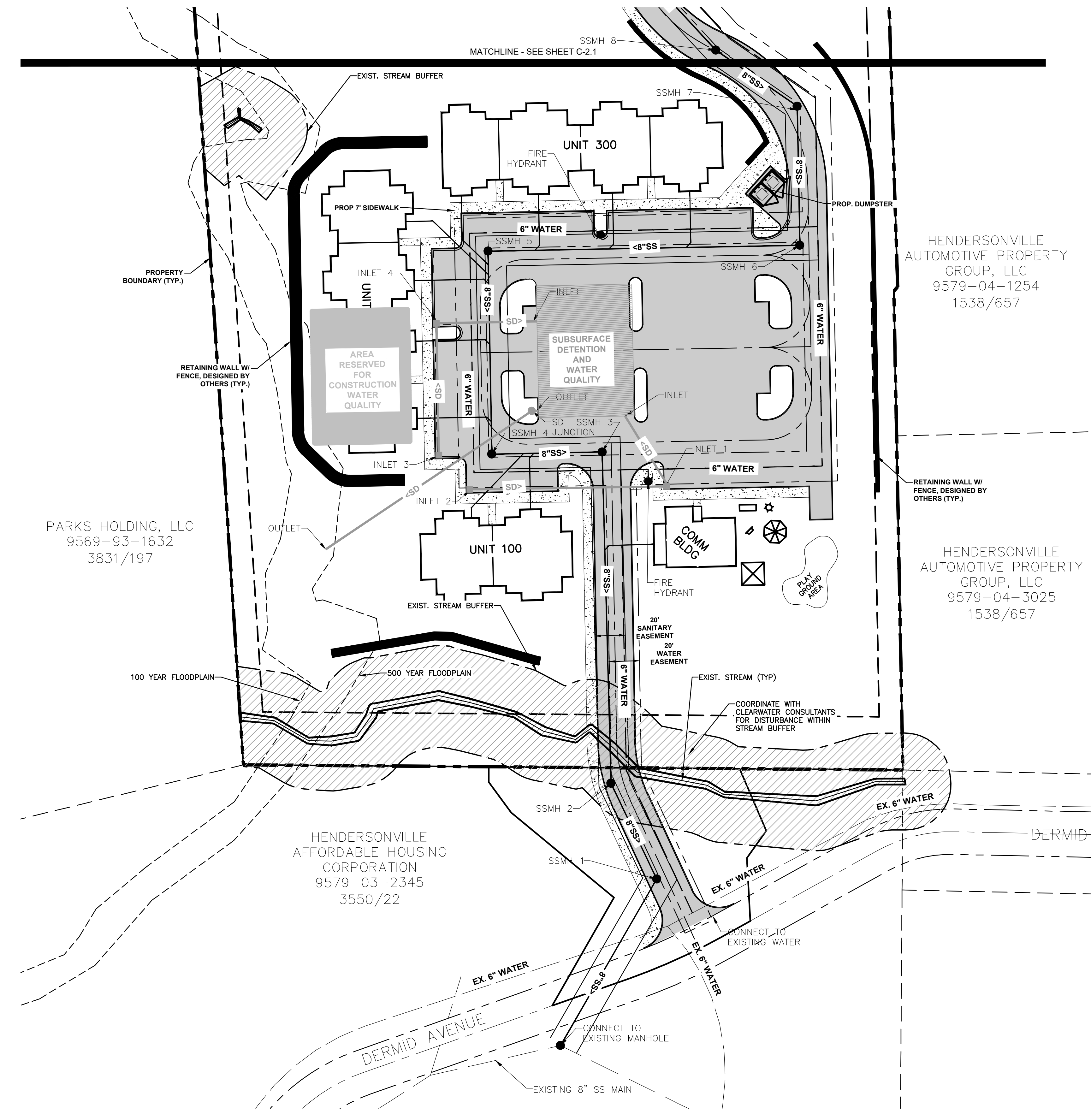
SHEET: **C-6.1**



**KEY MAP**  
 1" = 200'



ON-SITE DISTURBED AREA = 7.63 ACRES  
 SITE DEVELOPMENT SHALL COMPLY WITH REQUIRED STORMWATER ORDINANCE.



**SITE NOTES**

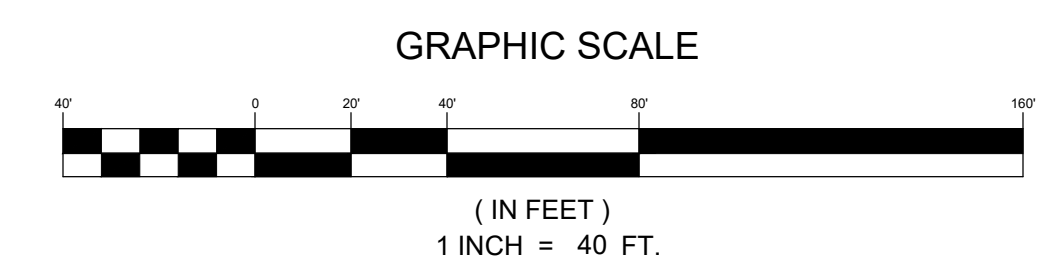
- ALL PROPOSED ACCESS IS PRIVATE.
- CROSSWALKS AND CURB RAMPS ARE PROPOSED TO CONNECT INTERNAL SIDEWALKS AND TO EXISTING SIDEWALKS IN DERMID
- THE MAXIMUM PROPOSED ROAD GRADE IS 5.2%+/-.
- ALL SIGNAGE SHALL BE LOCATED OUTSIDE THE ROAD RIGHT OF WAY AND SIGHT TRIANGLES, AND WILL GO THROUGH A SEPARATE REVIEW PROCESS AT FINAL SITE PLAN REVIEW.
- THE COMPLEX OWNER SHALL BE RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF ALL PORTIONS OF THE SITE INCLUDING ALL DEVELOPED AREAS, UNDEVELOPED AREAS, AND PRIVATE UTILITIES.
- PROJECT IS PLANNED TO BE COMPLETED IN TWO (2) PHASES.
- THE MAXIMUM BUILDING HEIGHT IS 34'.
- ALL DRIVE AISLES ARE A MINIMUM OF 24' WIDE AND PRIVATE AISLES IN FRONT OF BUILDINGS ARE A MINIMUM OF 26' WIDE.
- ALL STANDARD PARKING SPACES ARE 9'x18'
- ALL SIDEWALKS ARE 7' WIDE.
- ALL DIRECT ACCESS DRIVE AISLES HAVE A 30' CENTERLINE RADIUS FOR FIRE ACCESS
- ALL RADIUS DIMENSIONS SHOWN ARE TO BACK OF CURB, UNLESS OTHERWISE NOTED.
- SHADED CURB & GUTTER INDICATES LOCATION FOR SPILL CURB.
- MINIMUM SLOPE ON CURB AND GUTTER SHALL BE 1.0%, UNLESS SPILL CURB IS INDICATED.
- ALL HANDICAP ACCESS RAMPS SHALL COMPLY WITH THE LATEST EDITION OF THE ADA ACCESSIBILITY GUIDELINES.
- NO OBSTRUCTIONS, PLANTINGS, OR FENCING SHALL BE PERMITTED WITHIN SIGHT TRIANGLES, STORM DRAINAGE EASEMENTS (SDE) AND SANITARY SEWER EASEMENTS.
- ALL SITE CONCRETE (SIDEWALKS, CURB & GUTTER, ETC.) SHALL NOT BE LESS THAN 3,600 PSI STRENGTH AT 28 DAYS.
- LIGHTING PLAN TO BE PROVIDED WITH FINAL SITE REVIEW AND TO BE DESIGNED BY OTHERS.
- IRRIGATION PLAN, IF REQUIRED, TO BE DESIGNED BY OTHERS.
- ENTRY MONUMENTS PLAN TO BE DESIGNED AND PERMITTED BY OTHERS.
- SITE TRIANGLES 35' X 35' SHALL BE PRESERVED FOR ALL INTERSECTIONS (TYP.). ADDITIONAL SIGHT TRIANGLES OF 10' X 70' SHALL BE PROVIDED FOR ACCESS ONTO THOROUGHFARE, COMMERCIAL, AND NCDOT STREETS (TYP.).
- SESC PLANS AND PERMITTING SHALL BE PROVIDED TO THE APPROPRIATE LOCAL OR STATE AGENCY DURING FINAL CIVIL DESIGN.

PARKS HOLDING, LLC  
 9569-93-1632  
 3831/197

HENDERSONVILLE AFFORDABLE HOUSING CORPORATION  
 9579-03-2345  
 3550/22

HENDERSONVILLE AUTOMOTIVE PROPERTY GROUP, LLC  
 9579-04-1254  
 1538/657

HENDERSONVILLE AUTOMOTIVE PROPERTY GROUP, LLC  
 9579-04-3025  
 1538/657



NO.	DATE	REVISION	BY

**UTILITY PLAN PHASE 1**

**MEADOWCREST**

HENDERSONVILLE, NC

HOUSING ASSISTANCE CORPORATION

**PROJECT INFORMATION**

PROJECT MANAGER:	DW
DESIGNED BY:	DK
DRAWN BY:	DK
PROJECT NUMBER:	25-00332
ORIGINAL DATE:	2025/02/21

SHEET: **C-6.2**



**TREE CANOPY:**

**EXISTING CANOPY TO BE PRESERVED:**

TIER 1 REQUIRED: 20% OF EXISTING CANOPY  
383,679 SF x 0.20 = 76,735.92

TIER 1 PROVIDED: 76,735.92 (20%)

TIER 2 REQUIRED: 10% ADDITIONAL EXISTING CANOPY (OPTION 1)  
383,679 SF \* 0.10 = 38,367.96 SF

TIER 2 PROVIDED: 38,367.96 ADDITIONAL SF IN UNDISTURBED AREAS

**NEW TREE CANOPY:**

TREE CANOPY CREDIT REQUIRED: 38,367.96 SF

TREE CANOPY CREDIT PROVIDED: 38,367.96 SF

38,267.96 SF/879 SF LARGE MATURING TREE CANOPY CREDIT = 44 LARGE MATURING TREES

**STREET TREES:**

REQUIRED: 1 TREE PER 40 SF OF ROAD  
(70% MIN. OF TREES SHALL BE LARGE MATURING)

PROVIDED: 29 TREES

**VUA PLANTINGS:**

REQUIRED: 1 TREE PER 1,500 SF OF VUA  
95,367.60 SF AT 1 TREE PER 1,500 SF = 64 TREES  
2 SHRUBS PER 3,000 SF OF VUA  
95,367.60 SF AT 2 SHRUBS PER 3,000 SF = 64 SHRUBS

NO PARKING SPACE MORE THAN 45' FROM A TREE  
50% OF SHRUBS TO BE LOCATED IN ISLANDS AND MEDIANS

PROVIDED: 64 TREES (30 IN ISLANDS AND MEDIANS)  
71 SHRUBS (51 IN ISLANDS AND MEDIANS)

**OPEN SPACE:**

REQUIRED: 30% OF SITE IN OPEN SPACE  
3.08 ACRES OF OPEN SPACE

88,532.35 SF AT 1 TREE PER 4,000 SF OF OPEN SPACE =  
22 TREES

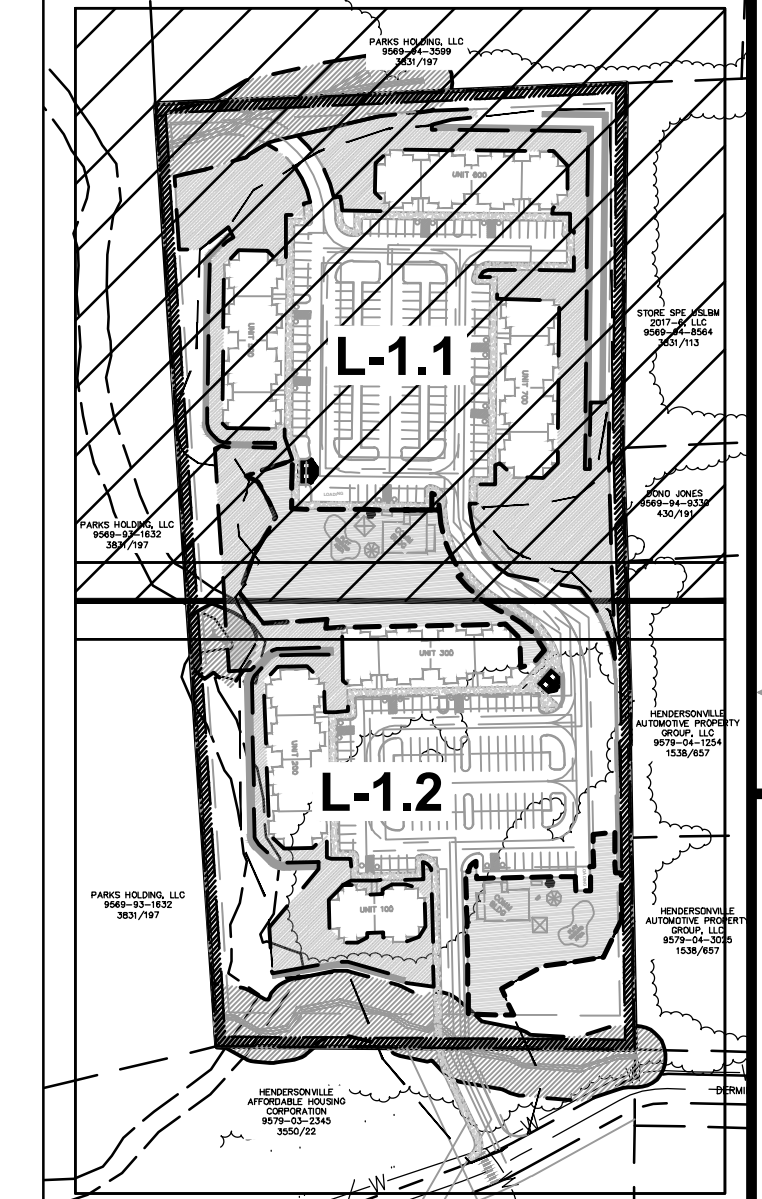
PROVIDED: 3.08 ACRES OF OPEN SPACE  
22 TREES

**COMMON OPEN SPACE:**

REQUIRED: 10% COMMON SPACE =  
1.05 ACRES COMMON SPACE

45,721.608 SF AT 1 TREE PER 500 SF OF COMMON OPEN SPACE =  
92 TREES

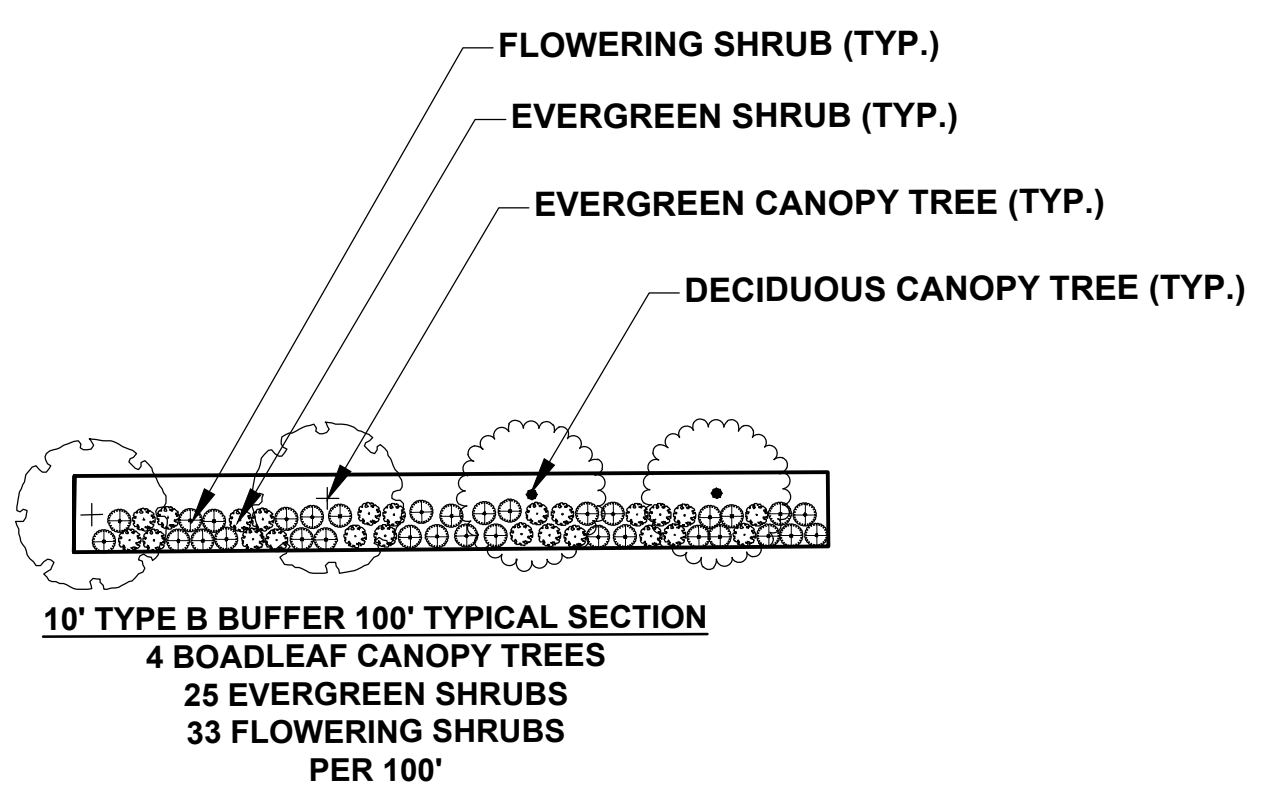
PROVIDED: 1.05 ACRES OF COMMON SPACE  
92 TREES



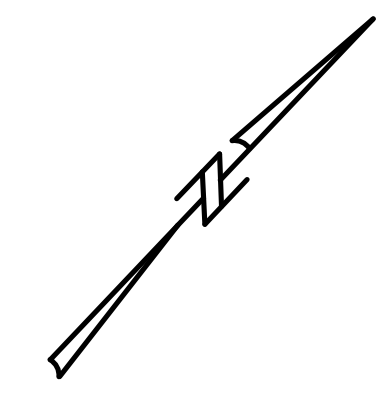
**KEY MAP**  
1" = 200'

- LEGEND**
- COMMON OPEN SPACE TREES**
  - 92 TREES
  - STREET TREES**
  - 29 LARGE TREES
  - OPEN SPACE TREES**
  - 22 TREES
  - VUA TREES**
  - 64 TREES
  - 71 SHRUBS
  - TREE CANOPY CREDIT TREES**
  - 44 TREES

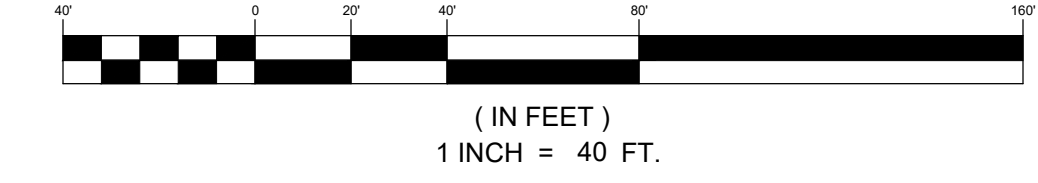
- COMMON OPEN SPACE**
- 1.05 ACRES
- OPEN SPACE**
- 3.08 ACRES
- 10' TYPE B LANDSCAPE BUFFER**



**10' TYPE B BUFFER 100' TYPICAL SECTION**



GRAPHIC SCALE



ESP Associates, Inc.  
20484 Chatham Center Dr.  
Suite D  
Cornelius, NC 28031  
1-800-960-7317  
NC License F-1407  
www.espassociates.com

ESP

Section 5, Item A.

LANDSCAPE PLAN (1 OF 2)

MEADOWCREST PHASE 1

HENDERSONVILLE, NC

NO.	DATE	REVISION	PER CITY COMMENTS
1.	3/26/2025		

PROJECT INFORMATION

PROJECT MANAGER: MM

DESIGNED BY: ENM

DRAWN BY: ENM

PROJECT NUMBER: 25-00332

ORIGINAL DATE: 2025/03/07

SHEET:

L1.1



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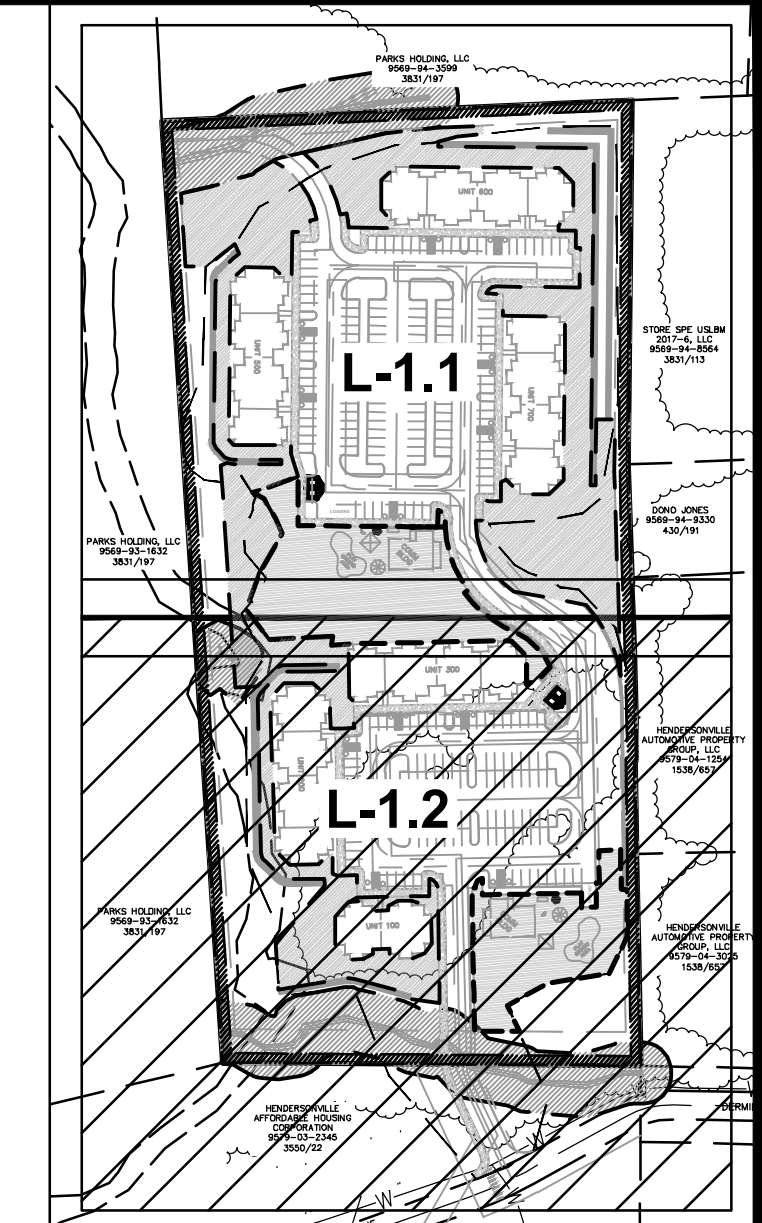
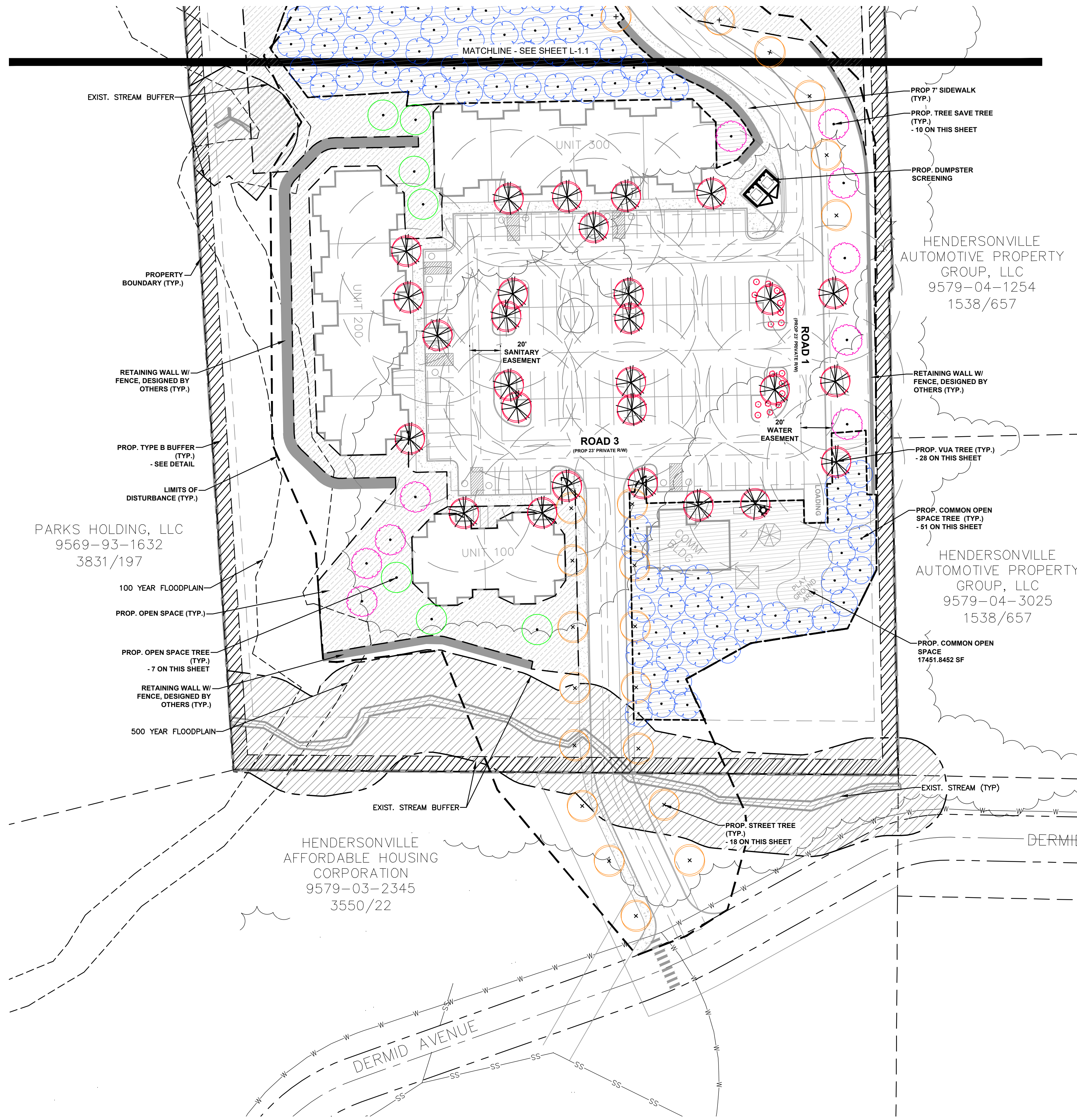
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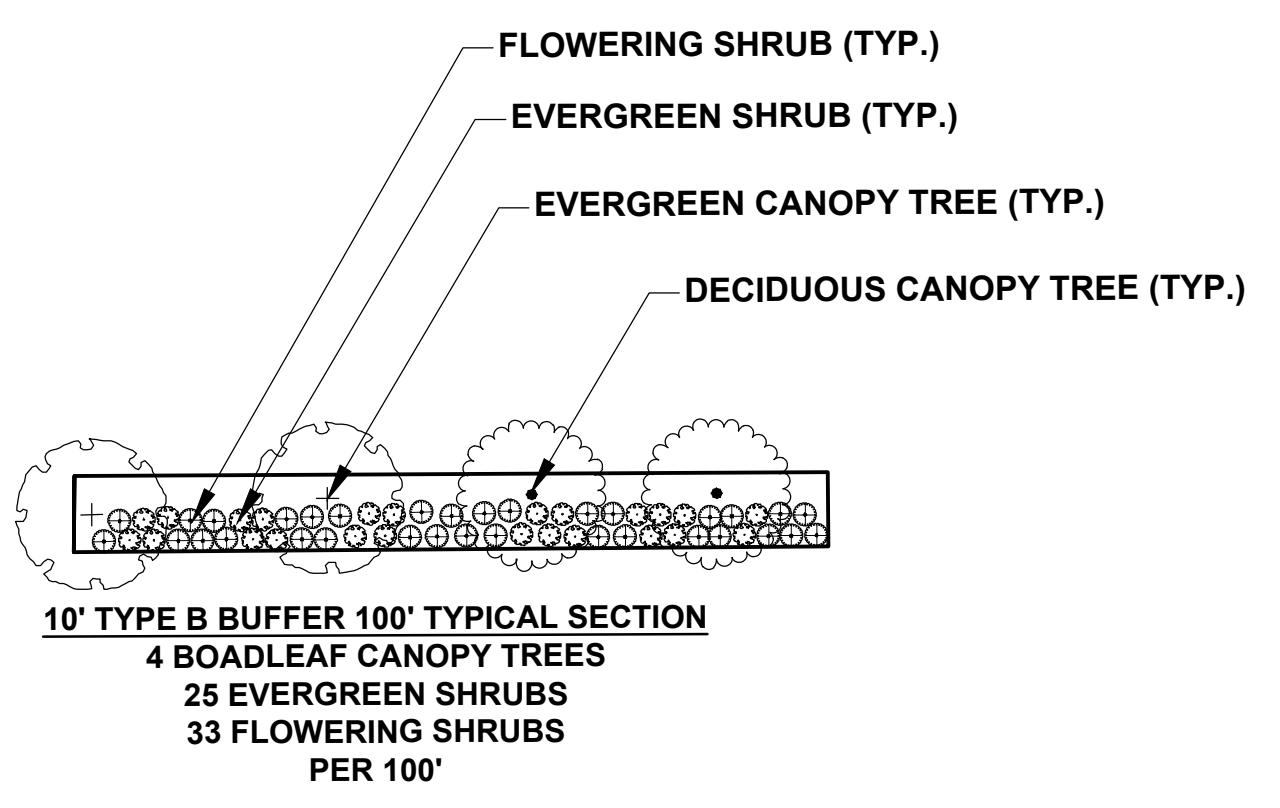
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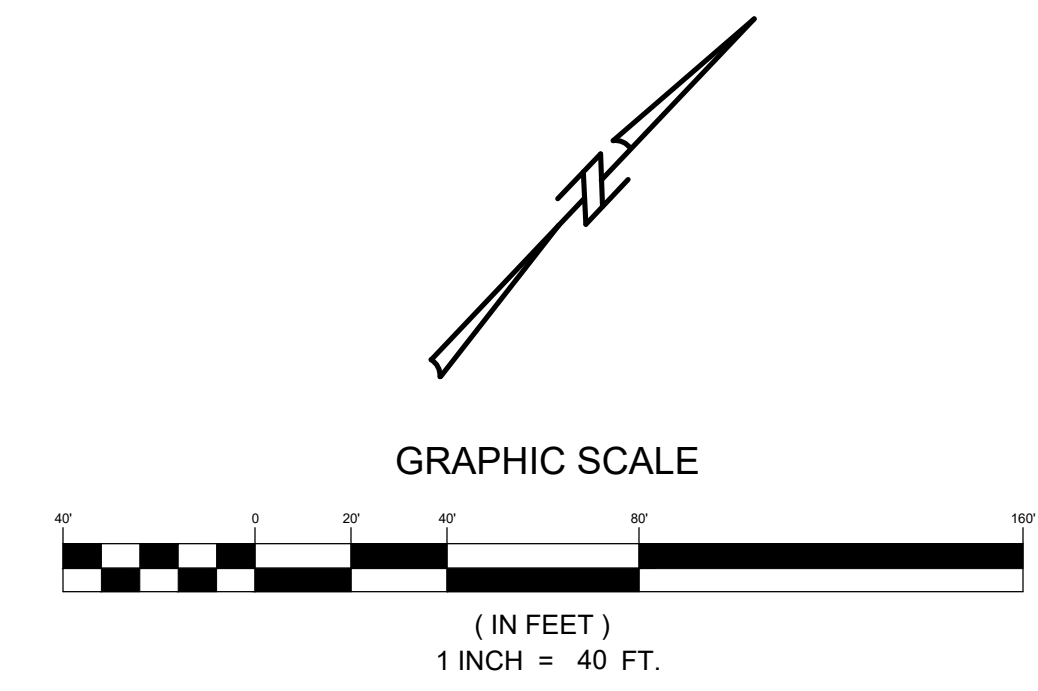


**KEY MAP**  
1" = 200'

- LEGEND**
- COMMON OPEN SPACE TREES
  - 92 TREES
  - STREET TREES
  - 29 LARGE TREES
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  - 64 TREES
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  - 71 SHRUBS
  - 44 TREES
- COMMON OPEN SPACE**
- 1.05 ACRES
- OPEN SPACE**
- 3.08 ACRES
- 10' TYPE B LANDSCAPE BUFFER**
- 



**10' TYPE B BUFFER 100' TYPICAL SECTION**



ESP Associates, Inc.  
25064 Chatham Center Dr.  
Suite C  
Cornelius, NC 28031  
1-800-980-7317  
NC License F-1407  
www.esp-associates.com

**ESP**

Section 5, Item A.

NO.	DATE	REVISION	PER CITY COMMENTS
1.	3/26/2025		

BY: EC

**LANDSCAPE PLAN (2 OF 2)**

**MEADOWCREST PHASE 1**

HENDERSONVILLE, NC

HOUSING ASSISTANCE CORPORATION

PROJECT INFORMATION

PROJECT MANAGER:	MM
DESIGNED BY:	ENM
DRAWN BY:	ENM
PROJECT NUMBER:	25-00332
ORIGINAL DATE:	2025/03/07

SHEET:

**L1.2**

51



**TREE CANOPY:**

**EXISTING CANOPY TO BE PRESERVED:**

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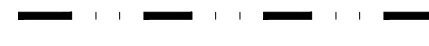


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TREE CANOPY CREDIT PROVIDED: 38,367.96 SF

38,267.96 SF/879 SF LARGE MATURING TREE CANOPY CREDIT = 44 LARGE MATURING TREES

**LEGEND:**

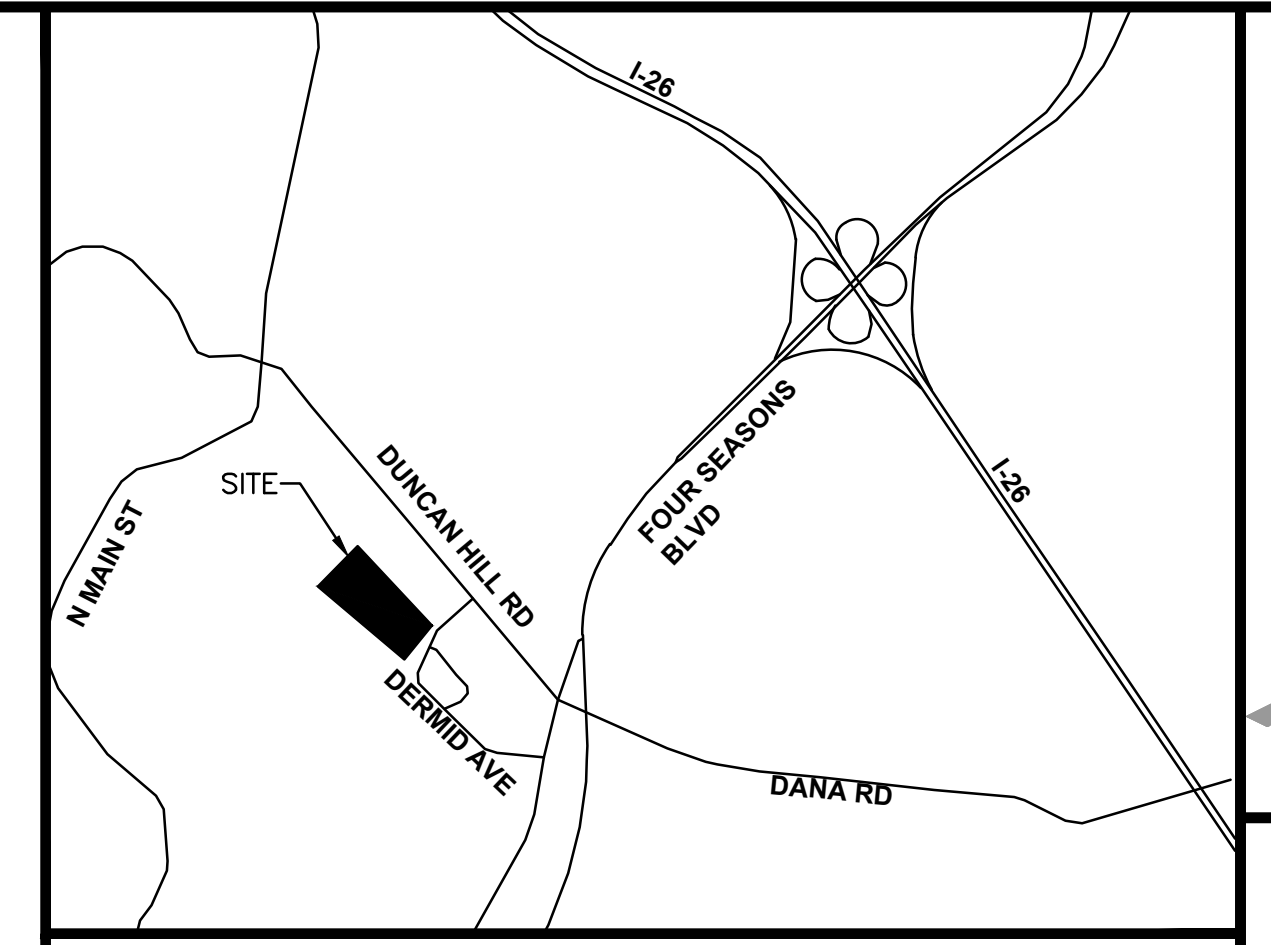
- EXISTING TREE CANOPY 
- EXISTING TREE CANOPY TO SAVE 
- PROPERTY BOUNDARY 
- PROPOSED LIMITS OF DISTURBED AREA 
- TREE CANOPY CREDIT TREES (44) 

**NEW TREE CANOPY:**

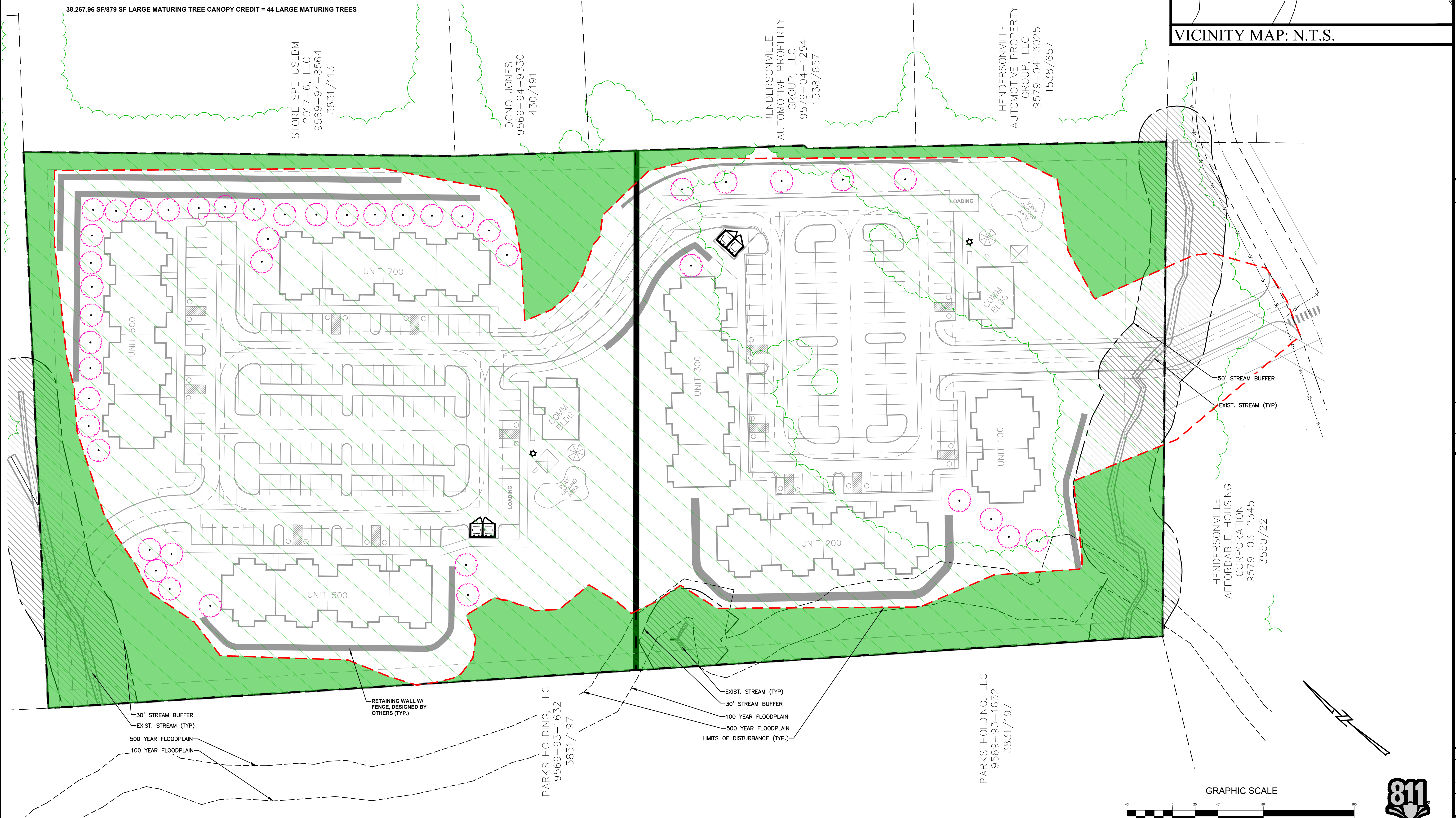
TREE CANOPY CREDIT REQUIRED: 38,367.96 SF

TREE CANOPY CREDIT PROVIDED: 38,367.96 SF

38,267.96 SF/879 SF LARGE MATURING TREE CANOPY CREDIT = 44 LARGE MATURING TREES



VICINITY MAP: N.T.S.



STORE SPE USLBM  
2017-6, LLC  
9569-94-8564  
3831/113

DONO JONES  
9569-94-9330  
430/191

HENDERSONVILLE  
AUTOMOTIVE PROPERTY  
GROUP, LLC  
9579-04-1254  
1538/657

HENDERSONVILLE  
AUTOMOTIVE PROPERTY  
GROUP, LLC  
9579-04-3025  
1538/657

HENDERSONVILLE  
AFFORDABLE HOUSING  
CORPORATION  
9579-03-2345  
3550/22

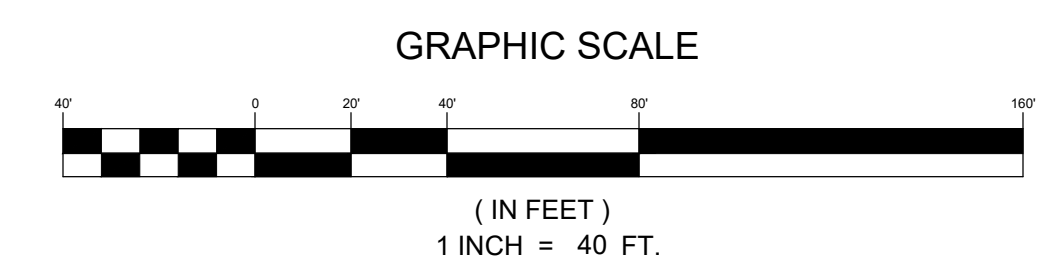
PARKS HOLDING, LLC  
9569-93-1632  
3831/197

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9569-93-1632  
3831/197

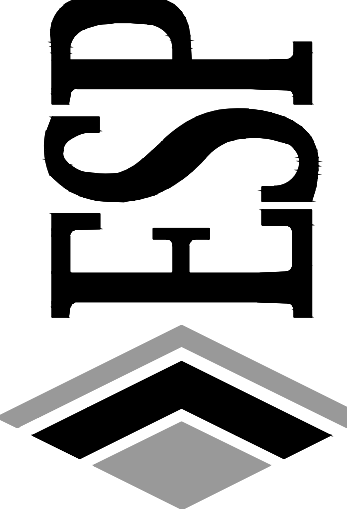
30' STREAM BUFFER  
EXIST. STREAM (TYP)  
500 YEAR FLOODPLAIN  
100 YEAR FLOODPLAIN

RETAINING WALL W/  
FENCE, DESIGNED BY  
OTHERS (TYP.)

EXIST. STREAM (TYP)  
30' STREAM BUFFER  
100 YEAR FLOODPLAIN  
500 YEAR FLOODPLAIN  
LIMITS OF DISTURBANCE (TYP.)



ESP Associates, Inc.  
20484 Charwell Center Dr  
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Cornelius, NC 28031  
1-800-960-7317  
NC License F-1407  
www.espspecialists.com
Section 5, Item A.



NO.	DATE	REVISION	PER CITY COMMENTS	BY	EC
1.	3/26/2025				

**TREE CANOPY PLAN**

**MEADOWCREST PHASE 1**

HOUSING ASSISTANCE CORPORATION

HENDERSONVILLE, NC

PROJECT INFORMATION	
PROJECT MANAGER:	MM
DESIGNED BY:	ENM
DRAWN BY:	ENM
PROJECT NUMBER:	25-00332
ORIGINAL DATE:	2025/03/07

SHEET:
L-2.1



NEIGHBORHOOD COMPATIBILITY MEETING REPORT

MEADOWCREST (25-12-CZD)

NCM MEETING DATES: MARCH 5TH, 2025



PETITION REQUEST: Rezoning: Meadowcrest- Urban Residential (UR-CZD)

APPLICANT/PETITIONER: Housing Assistance Corporation (Applicant)

NEIGHBORHOOD COMPATIBILITY MEETING SUMMARY:

A Neighborhood Compatibility Meeting was held for this project on March 5th, 2025, at 1pm in the Old Council Chambers at City Hall, 160 6<sup>th</sup> Avenue E and via Zoom. The meeting lasted approximately 30 minutes.

There were 3 members of the public in attendance in-person while I attended virtually. The applicant and their development team were present with a total of 3 attendees. The City was represented with 3 members Planning staff.

Staff gave the formal introduction and a brief overview of the request.

There were no pre-submitted comment.

The development team was allowed to present their project proposal for the proposed apartment development.

Concerns and questions from the public related to:

- Concerns regarding the impact of this development on flooding in other neighborhoods in the vicinity.
- Questions regarding the surrounding area uses (commercial vs. residential)
- Questions pertaining to the floodplain and the encroachment on the 500 year floodplain.
- Questions regarding the blueline streams on the site and where they flow.
- Questions about the design of the buildings and number of bedrooms.
- Questions about the site plan.

*Full minutes from the Neighborhood Compatibility Meeting and pre-submitted public comments are available for review by request.*

Ordinance # \_\_\_\_ - \_\_\_\_

**AN ORDINANCE OF THE CITY OF HENDERSONVILLE CITY COUNCIL TO AMEND THE OFFICIAL ZONING MAP OF THE CITY OF HENDERSONVILLE FOR PARCELS POSSESSING PIN NUMBER: 9569-94-7077 BY CHANGING THE ZONING DESIGNATION R-20 (LOW-DENSITY RESIDENTIAL) TO UR-CZD (URBAN RESIDENTIAL - CONDITIONAL ZONING DISTRICT)**

IN RE: Parcel Numbers: 9569-94-7077  
 Addresses: 0 Dermid Avenue  
 1<sup>st</sup> Ave Villas: (File # 25-12-CZD)

**WHEREAS**, the City is in receipt of a Conditional Rezoning application from applicant and property owner, Housing Assistance Corporation, for the development of 132 multi-family residential units on Dermid Avenue; and

**WHEREAS**, the Planning Board took up this application at a special called meeting on April 10, 2025; voting **X-X** to recommend City Council approve an ordinance amending the official zoning map of the City of Hendersonville, and

**WHEREAS**, City Council took up this application at its regular meeting on **May 8, 2025**, and

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Hendersonville, North Carolina:

1. Pursuant to Article XI of the Zoning Ordinance of the City of Hendersonville, North Carolina, the Zoning Map is hereby amended by changing the zoning designation of the following: Parcel Number: 9569-94-7077, changing the zoning designation from R-20 (Low-Density Residential) to UR-CZD (Urban Residential - Conditional Zoning District)
2. Development of the parcel pursuant to this Ordinance is subject to the following.
  - a. Development shall comply with the site plan submitted by the applicant dated **Month Date, 2025**, including the conditions listed therein, [and/or as modified and presented to City Council][and/or including modifications approved by City Council which shall be added to the site plan. The updated site shall be submitted to the City at or before the applicant's execution of this Ordinance].
  - b. Permitted uses shall include:
    - i. Residential, Multi-Family - 132 Units
    - c. **Additional conditions that shall be satisfied prior to final site plan approval include:**
      - i.
3. Except where modified by the terms of this Ordinance, development of the parcel(s) shall occur in accordance with the final site plan requirements of Article VII of the Zoning Ordinance of the City of Hendersonville, North Carolina.
4. Except where explicit relief is granted by the terms of this Ordinance, the development of the parcel(s) shall occur in accordance with all applicable standards within local ordinances and policies.

This ordinance shall be not be effective until the list of use(s) and conditions, established herein, is consented to in writing by the applicant and all owners of the subject property. Upon such written consent, this ordinance shall be effective retroactive to the date of its adoption.

Adopted this **10<sup>th</sup> day of May 2025**.

Attest:

\_\_\_\_\_  
 Barbara G. Volk, Mayor, City of Hendersonville

Jill Murray, City Clerk

Approved as to form:

---

Angela S. Beeker, City Attorney

With their signatures below, the undersigned applicant(s) and property owner(s) consent to and agree to all conditions imposed pursuant to the terms of this Ordinance.

IN RE: Parcel Numbers: 9568-77-1057  
Addresses: 0 1<sup>st</sup> Ave West  
1<sup>st</sup> Ave Villas: (File # P24-26-CZD)

Applicant/Developer: Sarah McCormick,  
Peacock Architects

Property Owner: Rafique Charania, ARY  
Development LLC

Signature: \_\_\_\_\_

Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Title: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

Date: \_\_\_\_\_



**For use by Principal Authority**

Cloudpermit application number US-NC30720-P-2025-19
PIN 9569947077
Application submitted to Hendersonville, NC, North Carolina

**Description of Subject Property**

Address 0 NO ADDRESS ASSIGNED
Municipality Hendersonville, NC, North Carolina
PIN 9569947077

**Purpose of Application**

Application type Conditional Rezoning
--

**Applicant, Property owner**


Last name Fenton Lebeck	First name Margaret	Corporation or partnership Housing Assistance Corporation
Street address 214 N. King Street	Unit number	Lot / Con.
Municipality Hendersonville	State NC	ZIP code 28792
Other phone	Mobile phone +1 828-692-4744	
Fax	Email margaret@housing-assistance.com	

**Declaration and Signatures**

Section 5, Item A.


**Applicant**

I, Margaret Fenton Lebeck (The Applicant), do hereby declare that the information contained in this application, the attached schedules and forms, the attached plans and specifications, and other attached documentation is true to the best of my knowledge. If a permit is granted, I agree to comply with Local Ordinances and the conditions of the permit. If the Applicant is a corporation or partnership, I have the authority to bind the corporation or partnership by signing off, I understand that it constitutes a legal signature confirming that I acknowledge and agree to the above declaration.

 Digitally signed on 02/21/2025, 1:51:27 PM EST by Margaret Fenton Lebeck.

**Property owner**

I, Margaret Fenton Lebeck (The Property owner), do hereby declare that the information contained in this application, the attached schedules and forms, the attached plans and specifications, and other attached documentation is true to the best of my knowledge. If a permit is granted, I agree to comply with Local Ordinances and the conditions of the permit. If the Property owner is a corporation or partnership, I have the authority to bind the corporation or partnership by signing off, I understand that it constitutes a legal signature confirming that I acknowledge and agree to the above declaration.

 Digitally signed on 02/21/2025, 1:51:30 PM EST by Margaret Fenton Lebeck.

**Required Information**

Scheduled Neighborhood Compatibility Meeting - NCM Date 03/05/2025	NCM Time 1:00 PM
Transportation Impact Analysis - (if applicable) Required for complete application but not due until 24 calendar days prior to Planning Board Meeting	

**Information**

Type of Development: Residential	Current Zoning R-20	Total Acentage 10	Proposed Zoning: PRD-CZD or UR-CZD	Proposed Building Square Footage: 60690.0 sq.ft.
Number of Dwelling Units: 132				List of Requested Uses: Multi-Family





# CITY OF HENDERSONVILLE AGENDA ITEM SUMMARY PLANNING DIVISION

**SUBMITTER:** Matthew Manley      **MEETING DATE:** April 10, 2025

**AGENDA SECTION:** New Business      **DEPARTMENT:** Community Development

**TITLE OF ITEM:** Rezoning: Standard Rezoning – 135 Sugarloaf Rd | P24-43-RZO – *Matthew Manley, AICP | Long-Range Planning Manager*

**SUGGESTED MOTION(S):**

**For Recommending Approval:**

I move Planning Board recommend City Council **adopt** an ordinance amending the official zoning map of the City of Hendersonville changing the zoning designation of the subject property (PIN: 9579-57-4046) from C-3 CZD, Highway Business Conditional Zoning District to CHMU, Commercial Highway Mixed Use, based on the following:

**1. The petition is found to be consistent with the City of Hendersonville Gen H Comprehensive Plan based on the information from the staff analysis and because:**

The proposed zoning of CHMU aligns with the Gen H 2045 Comprehensive Plan Future Land Use & Conservation Map and the Character Area Description for ‘Mixed-Use – Employment’.

**2. Furthermore, we find this petition to be reasonable and in the public interest based on the information from the staff analysis, public hearing and because:**

1. CHMU Zoning would allow for expanded economic use of the subject property
2. CHMU Zoning would allow for a range of by-right commercial and residential development / redevelopment opportunities.
3. CHMU Zoning would ensure a higher quality development compared to minimum requirements of alternative zoning districts

**[DISCUSS & VOTE]**

**For Recommending Denial:**

I move Planning Board recommend City Council **deny** an ordinance amending the official zoning map of the City of Hendersonville changing the zoning designation of the subject property (PIN: 9579-57-4046) from C-3 CZD, Highway Business Conditional Zoning District to CHMU, Commercial Highway Mixed Use, based on the following:

**1. The petition is found to be consistent with the City of Hendersonville Gen H Comprehensive Plan based on the information from the staff analysis and because:**

The proposed zoning of CHMU aligns with the Gen H 2045 Comprehensive Plan Future Land Use & Conservation Map and the Character Area Description for ‘Mixed-Use – Employment’.

**2. Furthermore, we do not find this petition to be reasonable and in the public interest based on the information from the staff analysis, public hearing and because:**

1. CHMU Zoning is too permissive of a zoning district
2. CHMU Zoning and multi-family residential uses are incompatible at this location

**[DISCUSS & VOTE]**

***SUMMARY:** The City of Hendersonville is in receipt of a Zoning Map Amendment application from Daniel Renckens of WOC SE Storage, LLC (owners) for 135 Sugarloaf Rd (PIN: 9579-57-4046) totaling 1.96 Acres located near Chimney Rock Rd (US64) and I-26. The property is currently zoned C-3 CZD, Highway Business Conditional Zoning District. The petitioner is requesting that the property be rezoned to base zoning of CHMU, Commercial Highway Mixed Use.*

*Use of the subject property is limited to the site plan that was approved when the current C-3 CZD zoning was adopted in November 2021. The CZD allowed for the conversion of the World of Clothing building into SafeNest storage. However, the CZD did not call for any development or specific use of the portion of the property that is the subject of the current rezoning petition. At the time of the CZD, the current subject parcel was part of a single tract which included the World of Clothing building. As such, it was included in the rezoning. Now as an outparcel, the property owners are looking to rezone it back to a base district.*

*If rezoned, there will not be a binding site plan, list of uses, nor conditions placed on the site. All permitted uses within the CHMU district would be allowed on the site. The City of Hendersonville Zoning Ordinance states that, during a standard rezoning process, an applicant is prohibited from discussing the specific manner in which they intend to develop or use a site.*

<b>PROJECT/PETITIONER NUMBER:</b>	P24-43-RZO
<b>PETITIONER NAME:</b>	o Daniel Renckens of WOC SE Storage, LLC [Applicant/Owner]
<b>ATTACHMENTS:</b>	<ol style="list-style-type: none"> <li>1. Staff Report</li> <li>2. Comprehensive Plan Consistency &amp; Criteria Evaluation Worksheet</li> <li>3. Draft Ordinance</li> <li>4. Proposed Zoning Map</li> <li>5. Application</li> </ol>

STANDARD REZONING: 135 SUGARLOAF RD - (P24-43-RZO)  
CITY OF HENDERSONVILLE - COMMUNITY DEVELOPMENT STAFF REPORT

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REZONING STANDARDS (ARTICLE 11-4) ..... 7

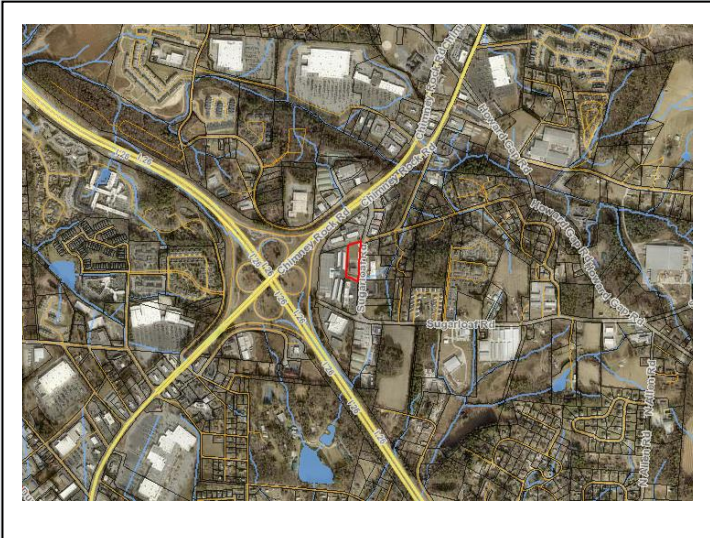
REZONING STANDARDS ANALYSIS & CONDITIONS ..... 9

DRAFT COMPREHENSIVE PLAN CONSISTENCY AND REZONING REASONABLENESS STATEMENT ..... 10



PROJECT SUMMARY

- Project Name & Case #:
  - 135 Sugarloaf Rd (former WoC outparcel)
  - P24-43-RZO
- Applicant & Property Owner:
  - Daniel Renckens of WOC SE Storage, LLC
- Property Address:
  - 135 Sugarloaf Rd
- Project Acreage:
  - 1.96 Acres
- Parcel Identification (PINS):
  - 9579-57-4046
- Current Parcel Zoning:
  - C-3 CZD, Highway Business Conditional Zoning District
- Proposed Zoning District:
  - CHMU, Commercial Highway Mixed Use
- Future Land Use Designation:
  - Mixed Use - Employment



SITE VICINITY MAP

*The City of Hendersonville is in receipt of a Zoning Map Amendment application from Daniel Renckens of WOC SE Storage, LLC (owners) for 135 Sugarloaf Rd (PIN: 9579-57-4046) totaling 1.96 Acres located near Chimney Rock Rd (US64) and I-26. The property is currently zoned C-3 CZD, Highway Business Conditional Zoning District. The petitioner is requesting that the property be rezoned to base zoning of CHMU, Commercial Highway Mixed Use.*

*Use of the subject property is limited to the site plan that was approved when the current C-3 CZD zoning was adopted in November 2021. The CZD allowed for the conversion of the World of Clothing building into SafeNest storage. However, the CZD did not call for any development or specific use of the portion of the property that is the subject of the current rezoning petition. At the time of the CZD, the current subject parcel was part of a single tract which included the World of Clothing building. As such, it was included in the rezoning. Now as an outparcel, the property owners are looking to rezone it back to a base district.*

*If rezoned, there will not be a binding site plan, list of uses, nor conditions placed on the site. All permitted uses within the CHMU district would be allowed on the site. The City of Hendersonville Zoning Ordinance states that, during a standard rezoning process, an applicant is prohibited from discussing the specific manner in which they intend to develop or use a site.*



SITE IMAGES



*View of subject property from northern boundary facing south. Home 2 Suites and Ramada are visible on the left.*



*View of subject property from southern boundary facing north*

SITE IMAGES



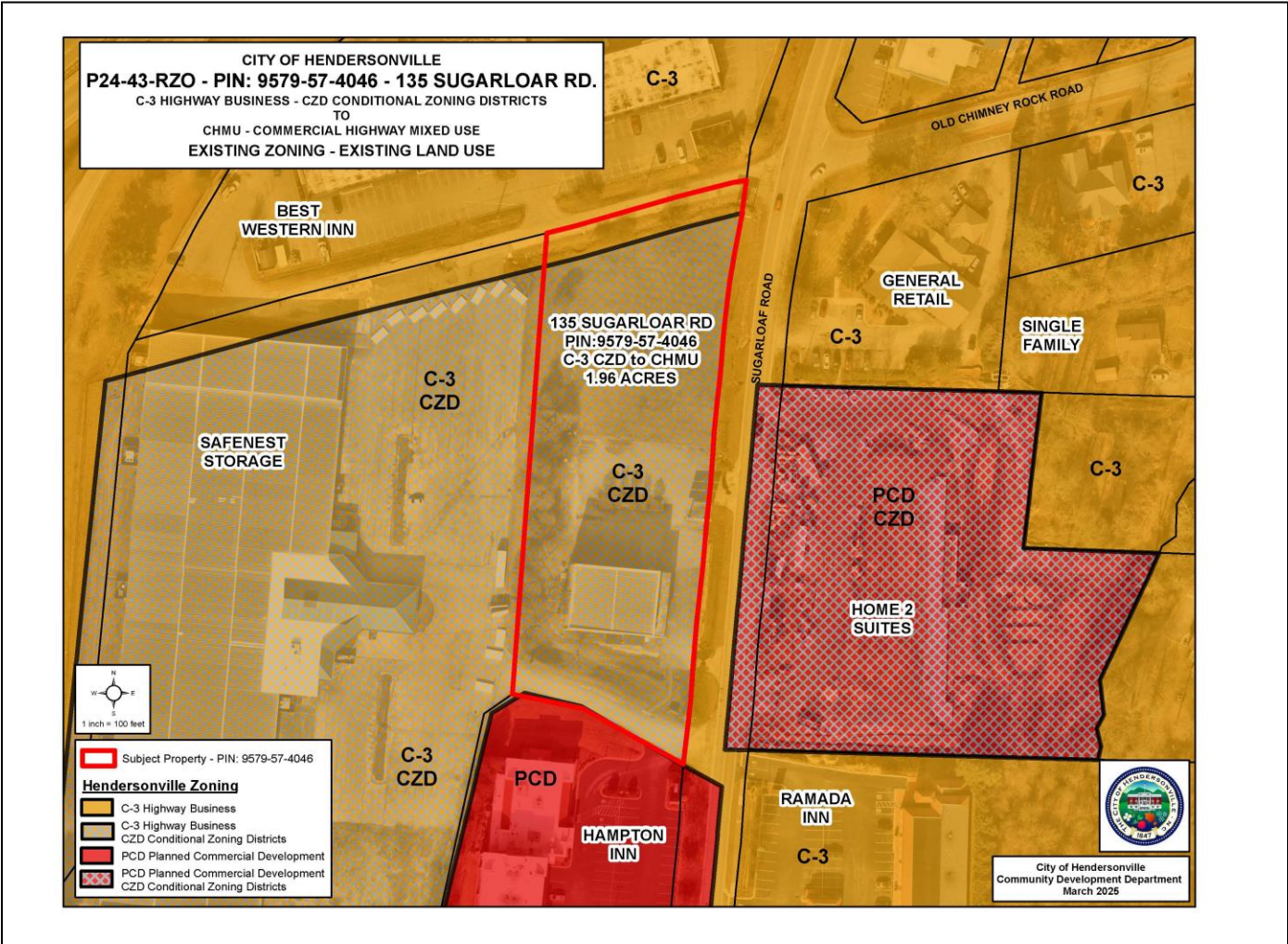
*View of subject property from southeastern corner facing northeast.  
Best Western is in the background.*



*View of subject property from northeastern corner facing southwest.  
SafeNest RV storage is in the background.*



EXISTING ZONING & LAND USE



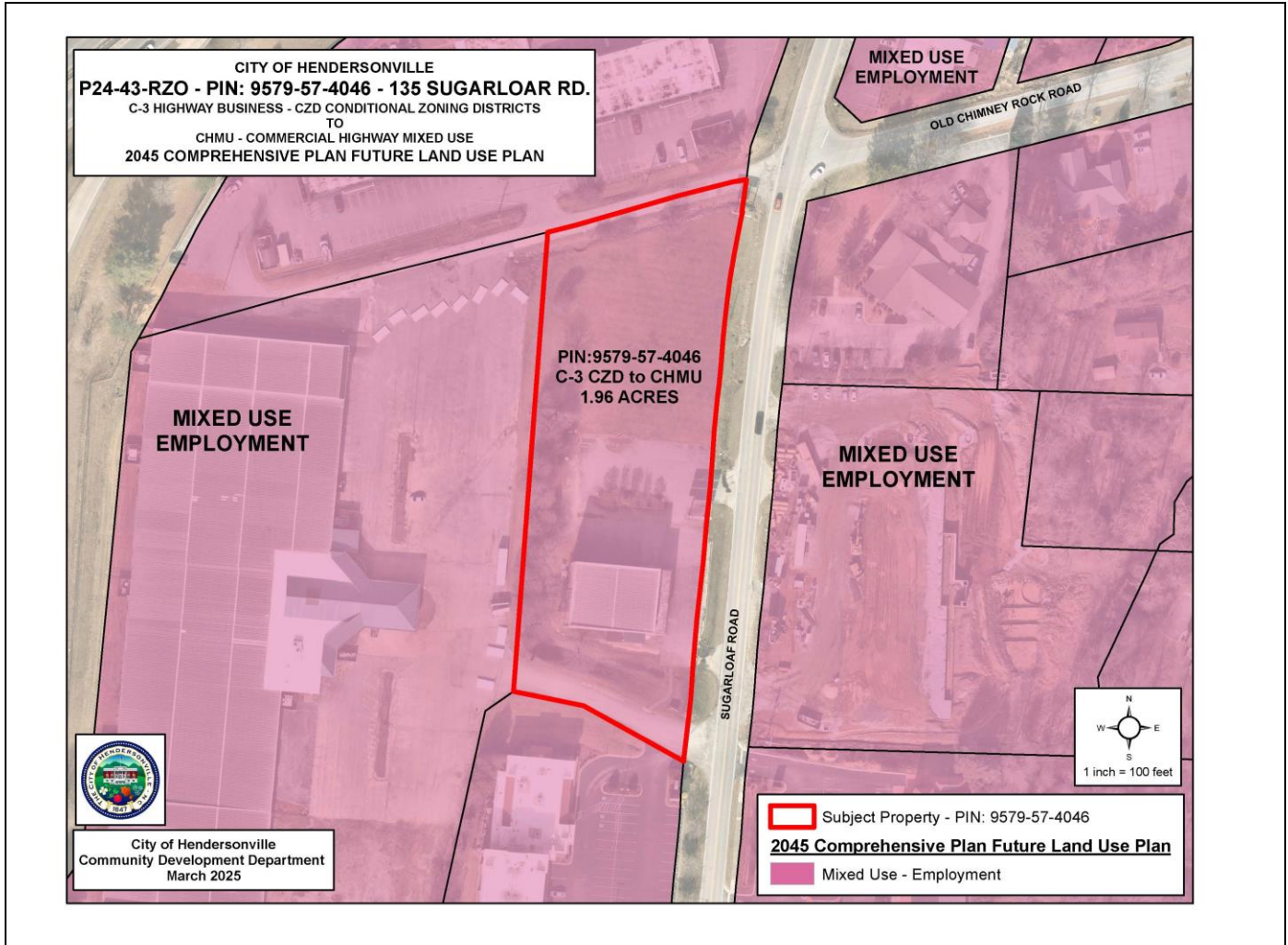
Existing Zoning & Current Land Use Map

*The subject property is located within the corporate limits of the city. This site was previously tied to the former World of Clothing building which was rezoned to C-3 CZD and repurposed to self-storage. The subject property is just under 2 acres in total size and contains one 3-story principal building and its associated parking area. The remaining .86 acres of the site is a vacant grass lawn.*

*The dominate zoning in the area is C-3 Highway Business. There are two other zoning districts in the area: 1) Planned Commercial Development (PCD), which is present adjacent to the subject property to the south and directly across Sugarloaf Rd, and 2) Commercial Highway Mixed Use (CHMU), which is present just south of the subject property on The Cascades parcel which is split-zoned with C-3.*

*The land uses in this area are typical for interstate-oriented commercial uses with hotel/motels being the most prominent use. Other commercial uses include restaurants, gas stations, and self-storage facilities.*

FUTURE LAND USE



Future Land Use & Conservation Map

The City’s Gen H 2045 Comprehensive Plan designates the subject property as “Mixed Use Employment” in the Future Land Use & Conservation Map. The adjacent properties flanking in all directions are also designated Mixed Use - Employment. The Character Area description for MU-E is as follows:

Employment centers contain a mix of uses including office, light industrial, and institutional in buildings with multiple stories. These areas offer traditional workspace and can be supplemented by unconventional, collaborative workspace where innovation and education can be fostered. Highly walkable areas with clustered parking and minimized vehicular circulation, incorporation of some retail, recreational, and residential uses to create a live, work, and play environment is supported. Flexible open space is in the form of formal and informal parks and green spaces connected by trails and can be programmed for gatherings of various sizes and purposes are also integrated.



REZONING STANDARDS (ARTICLE 11-4)

GENERAL REZONING STANDARDS: COMPREHENSIVE PLAN CONSISTENCY	
1) COMPREHENSIVE PLAN CONSISTENCY	<p><b><u>LAND SUPPLY, SUITABILITY &amp; INTENSITY</u></b></p> <ul style="list-style-type: none"> <li>• The subject property is <u>not</u> located on a vacant or underutilized property in the <u>Land Supply Map</u> and therefore is <u>not</u> ranked for <u>Suitability</u> for Residential, Commercial and Industrial uses.</li> <li>• The subject property is located in an area designated as “Moderate” for <u>Development Intensity</u>.</li> <li>• The subject property is <u>not</u> located in one the <u>5 Focus Areas</u>.</li> <li>• The subject property is located on the fringe of the <u>Focused Intensity Node</u> centered at Howard Gap + Chimney Rock Rd and near the <u>Focused Intensity Node</u> centered at Four Seasons Blvd + Coolridge St.</li> </ul>
	<p><b><u>FUTURE LAND USE &amp; CONSERVATION MAP</u></b>  <b>Character Area Designation:</b> Mixed Use - Employment  <b>Character Area Description:</b> Consistent  <b>Zoning Crosswalk:</b> Consistent  <b>Focus Area Map:</b> N/A</p>
2) COMPATIBILITY	<p><i>Whether and the extent to which the proposed amendment is compatible with existing and proposed uses surrounding the subject property</i></p>
	<p>In addition to a general analysis of the existing conditions, staff has utilized the Gen H Comprehensive Plan as a guide for further evaluating issues related to “compatibility”. The analysis below includes an assessment of how the project aligns with the overall Goals and overarching Guiding Principles found in Chapter IV of the Gen H Plan.</p>
	<p><b><u>EXISTING CONDITIONS</u></b>                  The subject property is a 1.95 acre parcel; .86 acres of which are undeveloped. It is located in close proximity to the interchange of US64 + I-26. The surrounding properties are primarily lodging businesses with some restaurants, gas stations, and self-storage uses also present. While not visible from I-26, this is a visible location which helps to define the character of the city.</p>
	<p><b><u>GEN H COMPREHENSIVE PLAN GOALS</u></b> (Chapter IV)  <b>Vibrant Neighborhoods:</b> Consistent  <b>Abundant Housing Choices:</b> Consistent  <b>Healthy and Accessible Natural Environment:</b> Consistent  <b>Authentic Community Character:</b> Consistent  <b>Safe Streets and Trails:</b> Consistent  <b>Reliable &amp; Accessible Utility Services:</b> Consistent  <b>Satisfying Work Opportunities:</b> Consistent  <b>Welcoming &amp; Inclusive Community:</b> Consistent  <b>Accessible/Available Community Uses &amp; Services:</b> Consistent  <b>Resilient Community:</b> N/A</p>

	<p><b>GEN H COMPREHENSIVE PLAN GUIDING PRINCIPLES</b> (Chapter IV)  <b>Mix of Uses:</b> Consistent  <b>Compact Development:</b> Consistent  <b>Sense of Place:</b> Consistent  <b>Conserved &amp; Integrated Open Spaces:</b> Consistent  <b>Desirable &amp; Affordable Housing:</b> Consistent  <b>Connectivity:</b> Consistent  <b>Efficient &amp; Accessible Infrastructure:</b> Consistent</p> <p><b>DESIGN GUIDELINES ASSESSMENT</b> – N/A</p>
<p>3) Changed Conditions</p>	<p><b>Whether and the extent to which there are changed conditions, trends or facts that require an amendment -</b>  The subject property was rezoned in 2021 from C-3 to C-3 CZD. The subject property was subdivided to serve as a separate outparcel (lot 2) from the parent parcel (former World of Clothing building).  Additional development has occurred in proximity to the subject property. These developments include AAA Storage and Home 2 Suites on Sugarloaf Rd and Universal at Lakewood and Lakewood Apartments north of Chimney Rock Rd on Lakewood Dr.</p>
<p>4) Public Interest</p>	<p><b>Whether and the extent to which the proposed amendment would result in a logical and orderly development pattern that benefits the surrounding neighborhood, is in the public interest and promotes public health, safety and general welfare -</b>  Under the current CZD, nothing can be developed on this site. The options for changing the zoning are between C-3, Highway Business and the proposed CHMU Zoning District. While CHMU is a permissive zoning district, it is distinguished from the surrounding C-3 zoning due to the fact that it permits Multi-Family uses and has building and site design standards. These mix of uses and design standards can provide a superior development compared to what is permissible under C-3 zoning.</p>
<p>5) Public Facilities</p>	<p><b>Whether and the extent to which adequate public facilities and services such as water supply, wastewater treatment, fire and police protection and transportation are available to support the proposed amendment</b>  The property is served by City services and is located on an NCDOT road.</p>
<p>6) Effect on Natural Environment</p>	<p><b>Whether and the extent to which the proposed amendment would result in significantly adverse impacts on the natural environment including but not limited to water, air, noise, storm water management, streams, vegetation, wetlands and wildlife -</b></p>

	There is no immediate development proposed on the subject properties. There are no existing trees nor environmentally-sensitive areas within the area proposed for rezoning.
--	--

REZONING STANDARDS ANALYSIS & CONDITIONS

**Staff Analysis**

- 1) Comprehensive Plan Consistency - Staff finds the petition to be Consistent with the Gen H Comprehensive Plan Future Land Use & Conservation Map and the Character Area Crosswalk.
- 2) Compatibility – Staff finds that proposed CHMU zoning is compatible with surrounding land uses and with the City’s desired vision for this area.
- 3) Changed Conditions - Staff finds that the changed conditions relate to increased commercial activity along the Sugarloaf Rd corridor and the rezoning of the subject property from C-3 to C-3 CZD.
- 4) Public Interest - Staff finds that CHMU is the preferred zoning district as it would provide options for a mix of land uses while requiring design standards.
- 5) Public Facilities - Staff finds that the rezoning would not have a direct impact on the provision of public facilities.
- 6) Effect on Natural Environment – Staff finds no direct impact on the natural environment.

The petition is found to be **Consistent** with the City of Hendersonville Gen H Comprehensive Plan based on the information from the staff analysis and the public hearing, and because:

*The proposed zoning of CHMU aligns with the Gen H 2045 Comprehensive Plan Future Land Use & Conservation Map and the Character Area Description for 'Mixed-Use - Employment'.*

We **[find/do not find]** this petition to be reasonable and in the public interest based on the information from the staff analysis and the public hearing, and because:

*DRAFT [Rationale for Approval]*

- *CHMU Zoning would allow for expanded economic use of the subject property*
- *CHMU Zoning would allow for a range of by-right commercial and residential development / redevelopment opportunities.*
- *CHMU Zoning would ensure a higher quality development compared to the minimum requirements of alternative zoning districts*

*DRAFT [Rational for Denial]*

- *CHMU Zoning is too permissive of a zoning district*
- *CHMU Zoning and multi-family residential uses are incompatible at this location*



**135 Sugarloaf Rd C-3 CZD to CHMU | P24-43-RZO**

<b>Chapter 4 - The Vision for the Future</b>	<b>Consistent</b>	<b>Inconsistent</b>
<b>SUPPLY, SUITABILITY, &amp; INTENSITY</b>		
<b>LAND SUPPLY MAP (Pg. 81, Figure 4.4)</b>	N/A	
<b>LAND SUITABILITY MAP (Pg. 84-86, Figure 4.5-4.7)</b>	N/A	
<b>DEVELOPMENT INTENSITY MAP (Pg. 89, Figure 4.9)</b>	Consistent	
<b>FUTURE LAND USE &amp; CONSERVATION MAP</b>		
<b>Future Land Use and Conservation Map (Note classification here, Pg. 117, Figure 4.12)</b>	<b>Mixed Use Employment</b>	
Character Area Description (Pg. 122-131)	Consistent	
Zoning Crosswalk (Pg. 132-133, Figure 4.18)	Consistent	
<b>Focus Area Map (Pg. 134-159)</b>	N/A	

135 Sugarloaf Rd C-3 CZD to CHMU | P24-43-RZO

Chapter 4 - The Vision for the Future	Consistent	Inconsistent
<b>GOALS</b>		
<b><u>Vibrant Neighborhoods (Pg. 93)</u></b>		
Promote lively neighborhoods that increase local safety.	Consistent	
Enable well-maintained homes, streets, and public spaces.	Consistent	
Promote diversity of ages (stage of life), income levels, and a range of interests.	Consistent	
The design allows people to connect to nearby destinations, amenities, and services.	Consistent	
<b><u>Abundant Housing Choices (Pg. 93)</u></b>		
Housing provided meets the need of current and future residents.	Consistent	
Range of housing types provided to help maintain affordability in Hendersonville.	Consistent	
Housing condition/quality exceeds minimum standards citywide	Consistent	
<b><u>Healthy and Accessible Natural Environment (Pg. 94)</u></b>		
Recreational (active and passive) open spaces are incorporated into the development.	Consistent	
Water quality is improved with the conservation of natural areas that serve as filters and soil stabilizers.	Consistent	
Natural system capacity (floodplains for stormwater; habitats to support flora/fauna; tree canopy for air quality, stormwater management, and microclimate) is maintained.	Consistent	
Development is compact (infill/redevelopment) to minimize the ecological footprint.	N/A	N/A
New development respects working landscapes (e.g., orchards, managed forests), minimizing encroachment.	N/A	N/A
<b><u>Authentic Community Character (Pg. 94)</u></b>		
Downtown remains the heart of the community and the focal point of civic activity	N/A	N/A
A development near a gateway sets the tone, presenting the image/brand of the community.	N/A	N/A
Historic preservation is utilized to maintain the city's identity.	N/A	N/A
City Centers and neighborhoods are preserved through quality development.	Consistent	
<b><u>Safe Streets and Trails (Pg. 95)</u></b>		
Interconnectivity is promoted between existing neighborhoods through the building out of street networks, including retrofits and interconnectivity of new developments.	Consistent	
Access is increased for all residents through the provision of facilities that promote safe walking, biking, transit, automobile, ride share, and bike share.	Consistent	
Design embraces the principles of walkable development.	Consistent	
<b><u>Reliable &amp; Accessible Utility Services</u></b>		
Wastewater treatment (service and capacity) adequately serves existing and future development	Consistent	

A compact service area (infill, redevelopment) maximizes the utilization of existing infrastructure and feasible service delivery.	Consistent	
<b>Satisfying Work Opportunities (pg. 96)</b>		
The development promotes quality job options.	Consistent	
The lives of residents are enriched with opportunities to learn, build skills, and grow professionally.	Consistent	
<b>Welcoming &amp; Inclusive Community</b>		
Accessibility exceeds minimum standards of ADA, fostering residents' and visitors' sense of belonging.	Consistent	
An inviting public realm (i.e., parks, public buildings) reflects the attitudes of city residents and leaders, and helps residents develop a sense of place and attachment to Hendersonville.	Consistent	
<b>Accessible &amp; Available Community Uses and Services (Pg. 97)</b>		
Private development is plentiful, meeting the demands of current and future populations.	Consistent	
<b>Resilient Community</b>		
N/A		
<b>GUIDING PRINCIPALS (pg. 98)</b>		
Mix of Uses (Pg. 98)		
Revitalization of Outdated Commercial Areas	Consistent	
New business and office space promotes creative hubs.	Consistent	
Compact Development (Pg. 100)		
Development is consistent with efforts in the area to establish 15-minute neighborhoods.	Consistent	
The infill project is context sensitive [Small Infill Site].	Consistent	
Sense of Place (Pg. 102)		
The development contributes to Hendersonville's character and the creation of a sense of place through its architecture and landscape elements. [Placekeeping and Placemaking and 3rd Places]	Consistent	
Conserved & Integrated Open Spaces (Pg. 106)		
A diverse range of open space elements are incorporated into the development.	Consistent	
Desirable & Affordable Housing (Pg. 108)		
Missing middle housing concepts are used in the development.	Consistent	
Connectivity (Pg. 112)		
The development encourages multimodal design solutions to enhance mobility.	Consistent	
Efficient & Accessible Infrastructure (Pg. 114)		
The development utilizes existing infrastructure	Consistent	

Ordinance # \_\_\_\_ - \_\_\_\_

**AN ORDINANCE OF THE CITY OF HENDERSONVILLE CITY COUNCIL TO AMEND THE OFFICIAL ZONING MAP OF THE CITY OF HENDERSONVILLE FOR CERTAIN PARCELS (POSSESSING PIN NUMBER 9579-57-4046) BY CHANGING THE ZONING DESIGNATION FROM C-3 CZD, HIGHWAY BUSINESS CONDITIONAL ZONING DISTRICT TO CHMU, COMMERCIAL HIGHWAY MIXED USE**

IN RE: Parcel Numbers: 9579-57-4046  
135 Sugarloaf Rd) | File # P24-43-RZO

**WHEREAS**, the Planning Board took up this application at its regular meeting on April 10<sup>th</sup>, 2025; voting **to** to recommend City Council **adopt** an ordinance amending the official zoning map of the City of Hendersonville, and

**WHEREAS**, City Council took up this application at its regular meeting on May 1<sup>st</sup>, 2025, and

**WHEREAS**, City Council has found that this zoning map amendment is consistent with the City’s comprehensive plan, and that it is reasonable and in the public interest for the reasons stated, and

**WHEREAS**, City Council has conducted a public hearing as required by the North Carolina General Statutes on May 1<sup>st</sup>, 2025,

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Hendersonville, North Carolina:

1. Pursuant to Article XI of the Zoning Ordinance of the City of Hendersonville, North Carolina, the Zoning Map is hereby amended by changing the zoning designation of the following: Parcel Numbers: 9579-57-4046, by changing the zoning designation from C-3 CZD, Highway Business Conditional Zoning District to CHMU, Commercial Highway Mixed Use
2. Any development of this parcel shall occur in accordance with the Zoning Ordinance of the City of Hendersonville, North Carolina.
3. This ordinance shall be in full force and effect from and after the date of its adoption.

Adopted this 1<sup>st</sup> day of May 2025.

Attest: Barbara G. Volk, Mayor, City of Hendersonville

Jill Murray, City Clerk

Approved as to form:

Angela S. Beeker, City Attorney



**CITY OF HENDERSONVILLE**  
**P24-43-RZO - PIN: 9579-57-4046 - 135 SUGARLOAF RD.**  
 C-3 HIGHWAY BUSINESS - CZD CONDITIONAL ZONING DISTRICTS  
 TO  
 CHMU - COMMERCIAL HIGHWAY MIXED USE  
**PROPOSED ZONING**

Section 5, Item B.

C-3

C-3

C-3

C-3

C-3

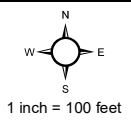
C-3  
CZD

**PROPOSED ZONING:**  
**135 SUGARLOAF RD**  
**PIN:9579-57-4046**  
**C-3 CZD to CHMU**  
**1.96 ACRES**

PCD  
CZD

PCD

C-3  
CZD



Subject Property - PIN: 9579-57-4046

**Hendersonville Zoning**

- C-3 Highway Business
- C-3 Highway Business CZD Conditional Zoning Districts
- PCD Planned Commercial Development
- PCD Planned Commercial Development CZD Conditional Zoning Districts







**CITY OF HENDERSONVILLE  
COMMUNITY DEVELOPMENT DEPARTMENT**

100 N. King Street, Hendersonville, NC 28792  
Phone (828) 697-3010|Fax (828) 698-6185  
www.hendersonvillenc.gov

**Zoning Ordinance Map Amendment  
Section 11-1 of the City Zoning Ordinance**

The following are the **required** submittals for a complete application for a Zoning Map Amendment. Staff will not review applications until each item has been submitted and determined complete. By placing a check mark by each of the following items, you are certifying that you have performed that task.

- 1. Completed Application Form
- 2. Completed Signature Page (completed Owner's Affidavit if different from applicant)
- 3. Application Fee

**A. Property Information**

Date: 1/9/25 \_\_\_\_\_

PIN(s): 9579574046 \_\_\_\_\_

Address(es) / Location of Property: 135 Sugarloaf Rd  
C-3 CZD \_\_\_\_\_

Current Zoning: \_\_\_\_\_

Proposed Zoning: CHMU \_\_\_\_\_

**B. Adjacent Parcel Numbers and Uses**

PIN: 9579561836 \_\_\_\_\_ Use: Self-Storage \_\_\_\_\_

PIN: 9579562593 \_\_\_\_\_ Use: Hotel \_\_\_\_\_

PIN: 9579572348 \_\_\_\_\_ Use: Hotel \_\_\_\_\_

PIN: 9579576148 \_\_\_\_\_ Use: Cafe/Gift Shop/Wine Bar \_\_\_\_\_

PIN: 9579567956 \_\_\_\_\_ Use: Hotel \_\_\_\_\_

Office Use:

Date Received: \_\_\_\_\_ By: \_\_\_\_\_ Fee Received? Y/N

**C. Applicant Contact Information**

**Daniel Renckens**

\* Printed Applicant Name

**WOC SE Storage, LLC**

Printed Company Name (if applicable)

Corporation     Limited Liability Company     Trust     Partnership

Other: \_\_\_\_\_

**Daniel Renckens**

Digitally signed by Daniel Renckens  
DN: C=US, E=djrenckens@gmail.com, CN=Daniel Renckens  
Date: 2024.06.26 08:16:47-04'00'

Applicant Signature

VP of Development

Applicant Title (if applicable)

919 Berryhill Rd #100

Address of Applicant

Charlotte, NC 28208

City, State, and Zip Code

704-654-7538

Telephone

drenckens@canvasscap.com

Email

\* Signature of the property owner acknowledges that if the property is rezoned, the property involved in this request is bound to the use(s) authorized, the approved site plan and any conditions imposed, unless subsequently changed or amended as provided for in the Zoning Ordinance.

**D. Property Owner Contact Information (If different from Applicant)**

\* Printed Property Owner Name

Printed Company Name (if applicable)

Corporation       Limited Liability Company       Trust       Partnership

Other: \_\_\_\_\_

**Daniel Renckens**

Digitally signed by Daniel Renckens  
DN: C=US, E=djrenckens@gmail.com, CN=Daniel Renckens  
Date: 2024.06.26 12:51:49-04'00'

Property Owner Signature

Authorized signatory

Property Owner Title (if applicable)

Address of Property Owner

City, State, and Zip Code

Telephone

Email

Signature of the property owner acknowledges that if the property is rezoned, the property involved in this request is bound to the use(s) authorized, the approved site plan and any conditions imposed, unless subsequently changed or amended as provided for in the Zoning Ordinance.

**D. Section 11-1 Standards**

**The advisability of amending the text of this Zoning Ordinance or the Official Zoning Map is a matter committed to the legislative discretion of the City Council and is not controlled by any one factor. In determining whether to adopt or disapprove the proposed amendment to the text of this Ordinance or the Official Zoning Map, the City Council shall consider the following factors among others:**

- a) **Comprehensive Plan Consistency** – Consistency with the Comprehensive Plan and amendments thereto.

The 2030 plan shows this parcel as Regional Activity Center so CHMU is consistent.

- b) **Compatibility with surrounding uses** – Whether and the extent to which the proposed amendment is compatible with existing and proposed uses surrounding the subject property. (Also, see NCGS 160-601 (d) Down-Zoning)

The proposed commercial zoning is compatible with the surrounding commercial uses.

- c) **Changed Conditions.** Whether and the extent to which there are changed conditions, trends or facts that require an amendment. (Also, see NCGS 160D-601 (d) Down-Zoning)

This request is to remove the CZD component of the zoning since the conditional plans shows no redevelopment of the subject property. Instead of reverting back to the November 2021 zoning of C-3, staff suggested pursuing a CHMU zoning which imposes additional architectural and dimensional requirements above the C-3 district.

**d) Public Interest.** Whether and the extent to which the proposed amendment would result in a logical and orderly development pattern that benefits the surrounding neighborhood, is in the public interest and promotes public health, safety and general welfare. (Also, see NCGS 160D-601 (d) Down-Zoning)

There is an abandoned 3-story office building on the property. By removing the CZD component of the zoning, this property would be able to be redeveloped per the standards set forth in the Zoning Ordinance.

**e) Public Facilities.** Whether and the extent to which adequate public facilities and services such as water supply, wastewater treatment, fire and police protection and transportation are available to support the proposed amendment. (Also, see NCGS 160D-601 (d) Down-Zoning)

Public water and sewer, and fire and police protection serve the subject property.

**f) Effect on Natural Environment.** Whether and the extent to which the proposed amendment would result in significantly adverse impacts on the natural environment including but not limited to water, air, noise, storm water management, streams, vegetation, wetlands and wildlife.

There are no known jurisdictional waters onsite and any redevelopment would meet the stormwater management requirements set forth in the City ordinances.





CITY OF HENDERSONVILLE  
**AGENDA ITEM SUMMARY**  
**PLANNING DIVISION**

**SUBMITTER:** Tyler Morrow

**MEETING DATE:** April 10<sup>th</sup>, 2025

**AGENDA SECTION:** New Business

**DEPARTMENT:** Community Development

**TITLE OF ITEM:** Rezoning: Standard Rezoning–2620 Chimney Rock Road (and other associated White Pine Villas parcels) (25-14-RZO) – *Tyler Morrow– Current Planning Manager*

**SUGGESTED MOTION(S):**

**For Recommending Approval:**

I move Planning Board recommend City Council **adopt** an ordinance amending the official zoning map of the City of Hendersonville changing the zoning designation of the subject property (PIN: 9670-70-6498) from PRD-CZD, Planned Residential Development Conditional Zoning District to HMU, Highway Mixed Use as requested in the zoning map amendment application.

I further move Planning Board recommend City Council **adopt** an ordinance amending the official zoning map of the City of Hendersonville changing the zoning designation of PINs 9670-70-8607 and 9670-70-8864 from PRD-CZD, Planned Residential Development Conditional Zoning District to HMU, Highway Mixed Use so that no unconstructable residual parcels of the White Pine Villas Development remain, based on the following

- 1. The petition is found to be consistent with the City of Hendersonville Gen H 2045 Comprehensive Plan based on the information from the staff analysis and the public hearing, and because:**

The petition is consistent with a range of Goals, Guiding Principles and the Future Land Use Designation of Chapter IV of the Gen H Comprehensive Plan.

**For Recommending Denial:**

I move Planning Board recommend City Council **deny** an ordinance amending the official zoning map of the City of Hendersonville changing the zoning designation of the subject property (PIN: 9670-70-6498) from PRD-CZD, Planned Residential Development Conditional Zoning District to HMU, Highway Mixed Use based on the following:

- 1. The petition is found to be consistent with the City of Hendersonville Gen H 2045 Comprehensive Plan based on the information from the staff analysis and the public hearing, and because:**

The petition is consistent with a range of Goals, Guiding Principles and the Future Land Use Designation of Chapter IV of the Gen H Comprehensive Plan.

- 2. We do not find this petition to be reasonable and in the public interest based on the information from the staff analysis, public hearing and because:**

- 1. The proposed rezoning eliminates the current entitlements on the property linked to a LIHTC project that could be potentially developed in the future.**

<p><b>4. Furthermore, we find this petition to be reasonable and in the public interest based on the information from the staff analysis, public hearing and because:</b></p> <ol style="list-style-type: none"> <li>1. The proposed map amendment seeks to return the parcels to their previous base zoning.</li> <li>2. The proposed map amendment restores potential development opportunities on this property by permitting the same uses available to the other adjacent Highway Mixed Use properties.</li> </ol> <p style="text-align: center;"><b>[DISCUSS &amp; VOTE]</b></p>	<p style="text-align: center;"><b>[DISCUSS &amp; VOTE]</b></p>
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*SUMMARY: The City of Hendersonville is in receipt of an application for a Standard Rezoning from Nehemias Lopez, applicant and owner of 2620 and 2626 Chimney Rock Road. The applicant is requesting to rezone the subject property, PIN 9670-70-6498, from PRD, Planned Residential Development Conditional Zoning District to HMU, Highway Mixed Use.*

*Mr. Lopez owns one of three parcels within the conditional zoning district. These parcels are associated with an inactive Low Income Housing Tax Credit project known as "White Pine Villas", which never received tax credits. The developer of this project has since obtained tax credits for a different project in the City, (The Lofts at Chadwick).*

*If City Council rezones PIN 9670-70-6498, City staff also recommends rezoning PINS 9670-70-8607 and 9670-70-8864 to a base district, preferably HMU, as part of the same effort. Rezoning only one parcel within the conditional zoning district would leave the rest of the CZD unconstructable, necessitating a future rezoning anyways. All 3 parcels were zoned HMU prior to the establishment of the conditional zoning district.*

<b>PROJECT/PETITIONER NUMBER:</b>	25-14-RZO
<b>PETITIONER NAME:</b>	<ul style="list-style-type: none"> <li>• Nehemias Lopez [Applicant and Owner of 2620 Chimney Rock Road]</li> <li>• City of Hendersonville [applicant for PINs 9670-70-8607 and 9670-70-8864, <b>IF</b> 2620 Chimney Rock Road is rezoned.]</li> </ul>
<b>ATTACHMENTS:</b>	<ol style="list-style-type: none"> <li>1. Staff Report</li> <li>2. Comprehensive Plan Review</li> <li>3. White Pine Villas Site Plan for parcel reference</li> <li>4. Proposed Zoning Map</li> <li>5. Draft Ordinance</li> <li>6. Application</li> </ol>

REZONING: STANDARD REZONING -2620 CHIMNEY ROCK ROAD (25-14-RZO) CITY OF HENDERSONVILLE - COMMUNITY DEVELOPMENT STAFF REPORT

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DRAFT COMPREHENSIVE PLAN CONSISTENCY AND REZONING REASONABLENESS STATEMENT ..... 9



PROJECT SUMMARY

- Project Name & Case #:
  - 2620 Chimney Rock Road Rezoning
  - 25-14-RZO
  
- Applicant & Property Owner:
  - Nehemias Lopez [Applicant and Owner]
  - City of Hendersonville [Applicant]
  
- Property Address:
  - 2620 Chimney Rock Road
  - 2626 Chimney Rock Road
  
- Project Acreage:
  - 4.64 Acres
  
- Parcel Identification (PIN):
  - 9670-70-6498 (applicant) (Orange on map)
  - 9670-70-8607 (COH) (Blue on map)
  - 9670-70-8864 (COH) (Blue on map)
  
- Current Parcel Zoning:
  - PRD-CZD- Planned Residential Development Conditional Zoning District (White Pine Villas)
  
- Future Land Use Designation:
  - Mixed Use Commercial
  - Multi-Generational Living
  
- Requested Zoning:
  - HMU, Highway Mixed Use
  
- Requested Uses:
  - All uses in HMU would be permitted.



SITE VICINITY MAP

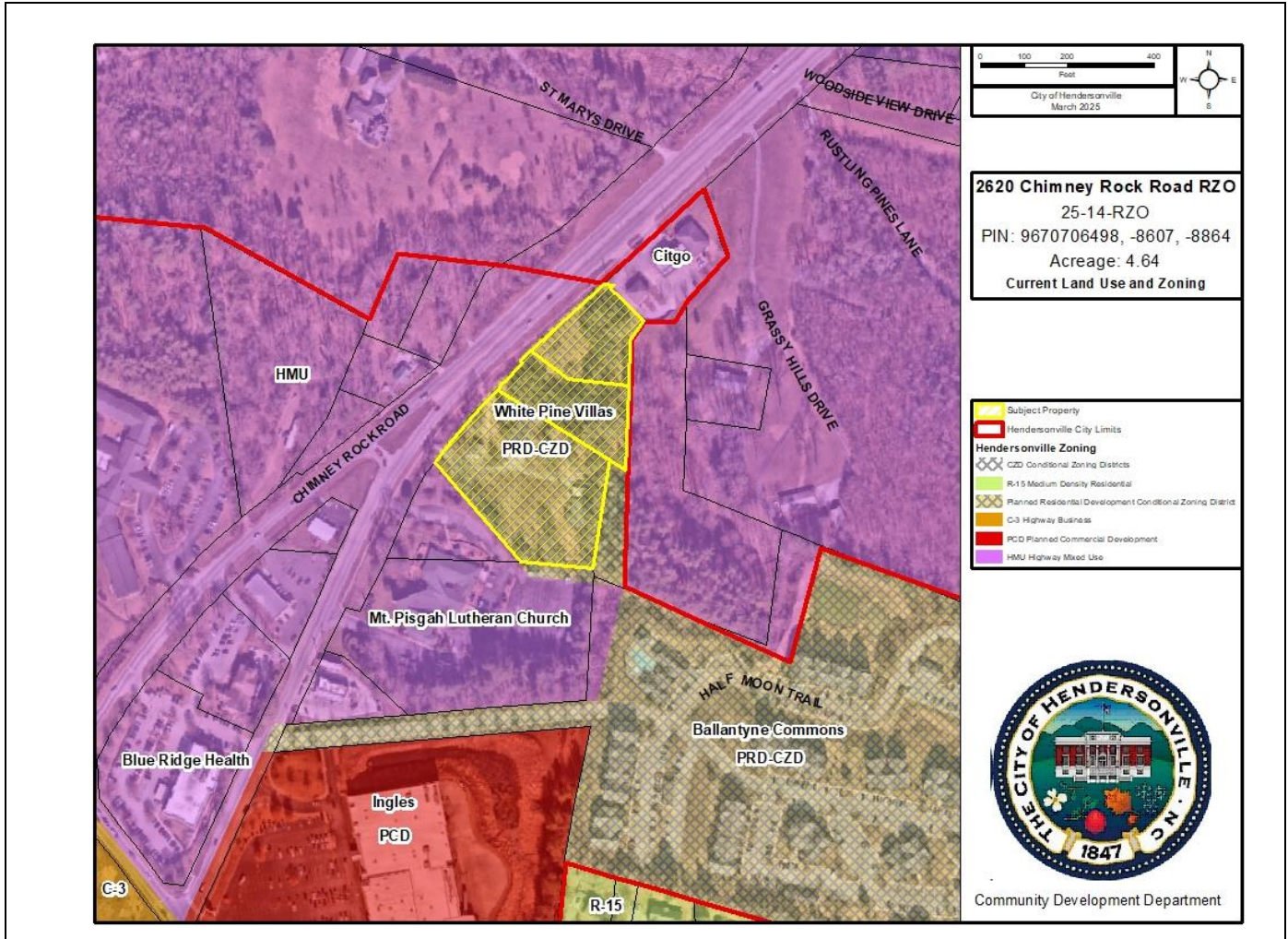
*The City of Hendersonville is in receipt of an application for a Standard Rezoning from Nehemias Lopez, applicant and owner of 2620 and 2626 Chimney Rock Road. The applicant is requesting to rezone the subject property, PIN 9670-70-6498, from PRD-CZD, Planned Residential Development Conditional Zoning District to HMU, Highway Mixed Use.*

*Mr. Lopez owns one of three parcels within the conditional zoning district. These parcels are associated with an inactive Low Income Housing Tax Credit project known as "White Pine Villas", which never received tax credits. The developer of this project has since obtained tax credits for a different project in the City, (The Lofts at Chadwick).*

*If City Council rezones PIN 9670-70-6498, City staff also recommends rezoning PINS 9670-70-8607 and 9670-70-8864 to a base district, preferably HMU, as part of the same effort. Rezoning only one parcel within the conditional zoning district would leave the rest of the CZD unconstructable, necessitating a future rezoning anyways. All 3 parcels were zoned HMU prior to the establishment of the conditional zoning district.*



EXISTING ZONING & LAND USE



City of Hendersonville Current Zoning & Land Use Map

The subject property is currently zoned Planned Residential Development Conditional Zoning District, associated with the White Pine Villas Project, which is currently entitled but inactive. The White Pine Villas project, developed for low-income housing tax credits, did not receive those credits, and the developer obtained credits for a different project elsewhere in the City. He no longer has an option on the property and the likelihood of White Pine Villas being developed is low.

The US 64 corridor is zoned Highway Mixed Use, a designation created for this corridor. Before the establishment of the White Pine Villas zoning district, the subject property also held a Highway Mixed Use designation.

To the east, there is a large-scale apartment complex under a Planned Residential Development Conditional Zoning District, and to the south, the Ingles development is zoned as Planned Commercial Development Conditional Zoning District. However, the predominant zoning along this corridor remains Highway Mixed Use.



SITE IMAGES



*View of existing home at 2620 Chimney Rock Road.*



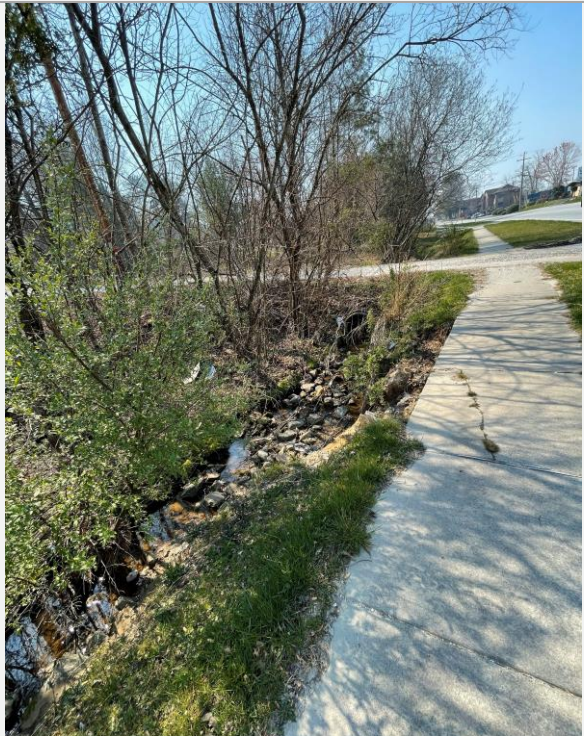
*Typical view of inside the wooded area on the subject property.*



SITE IMAGES



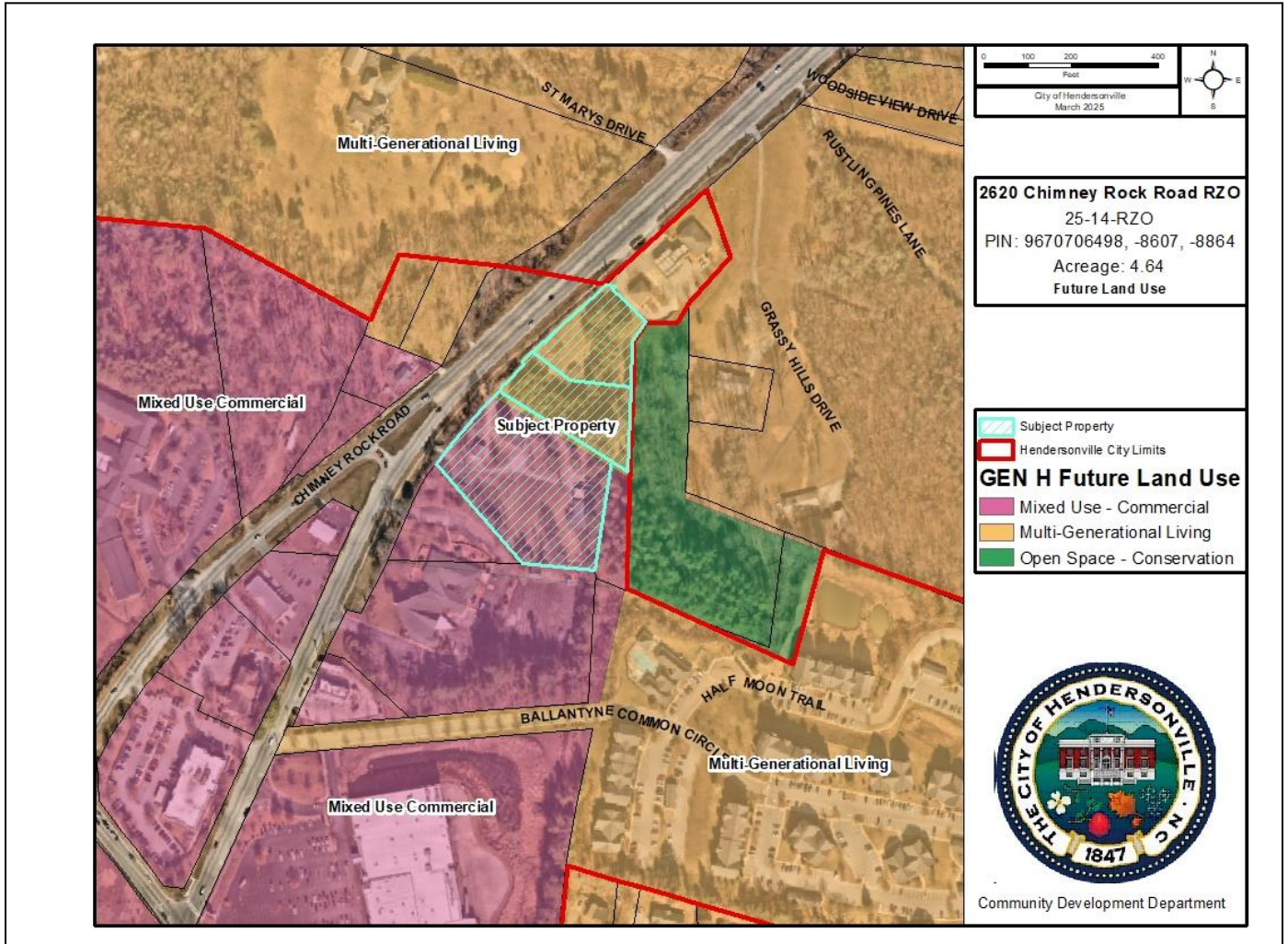
*View of the subject property taken from Citgo looking south.*



*View of the stream running along the property frontage.*



FUTURE LAND USE



City of Hendersonville Future Land Use Map

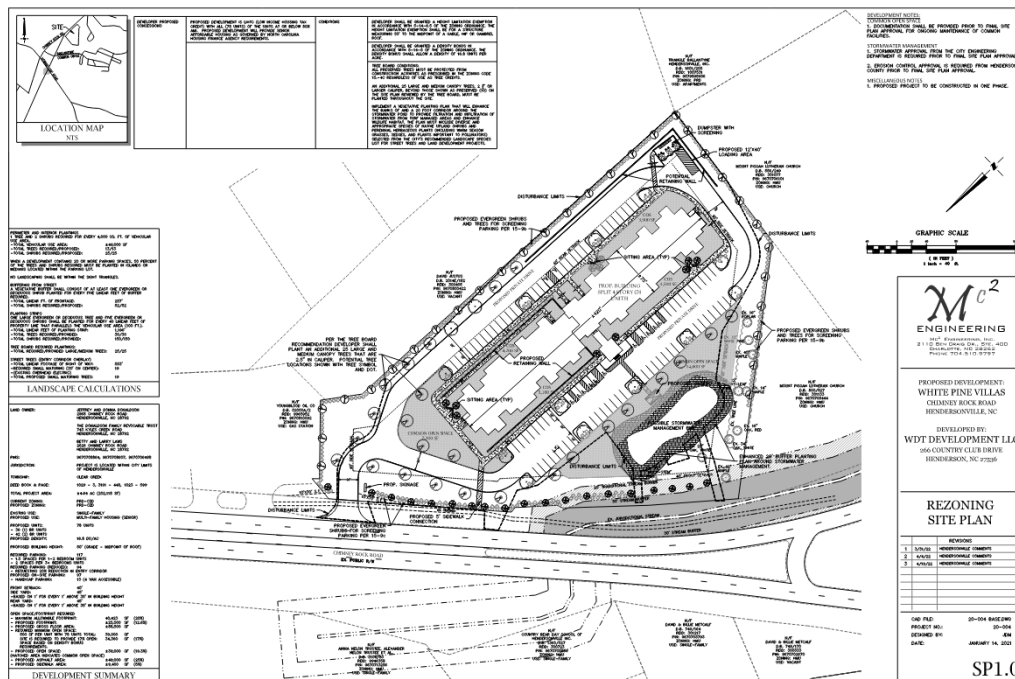
*The subject property has a split designation of Mixed-Use Commercial and Multi-Generational Living, acting as a transitional area between the two designations. The parcels to the south, which front US 64, are designated as Mixed-Use Commercial, while the parcels to the north are designated as Multi-Generational Living. Many of the parcels to the north are vacant or underutilized, offering potential for future development. Additionally, the entire subject property, including all three parcels, lies within the focused intensity node associated with the US 64 and Howard Gap Road intersection. To the east, a parcel containing a blueline stream is designated as Open Space Conservation.*

REZONING HISTORY

Prior Rezoning (P22-13-CZD)	Summary of Prior Petition	Status
5-5-2022 (PRD-CZD to PRD-CZD)	4.64 acre development for the construction of a 78 unit low income housing tax credit multi-family project.	Inactive but entitled

Subject Property History

- Highway Mixed Use is established (December 9<sup>th</sup>, 2004)
  - In 2002 City Council adopted corridor plans calling for mixed -use zoning on U.S. Highway 64 East
  - City Council Minutes: <https://library.municode.com/nc/hendersonville/munidocs/munidocs?nodeId=2d9b5a787970d>
- White Pine Villas Version 1 (approved April 2, 2020)
  - 3 story multi-family building consisting of 78 Low Income Housing Tax Credit units for seniors (55+)
  - 34' 11" to the midpoint of the roof.
  - City Council Minutes- <https://mccmeetings.blob.core.usgovcloudapi.net/hvInc-pubu/MEET-Minutes-4ab50b18954346f49ac79b2f04368be2.pdf>
- White Pine Villas Version 2 (approved May 5<sup>th</sup>, 2022, current entitlement)
  - 4 story multi-family building consisting of 78 Low Income Housing Tax Credit units for seniors (55+)
  - 50' to the midpoint of the roof.
  - City Council Minutes: <https://mccmeetings.blob.core.usgovcloudapi.net/hvInc-pubu/MEET-Minutes-fa918ebba3904e16a37c226d271d4290.pdf>



REZONING ANALYSIS – GENERAL REZONING STANDARDS (ARTICLE 11-4)

GENERAL REZONING STANDARDS	
1) Comprehensive Plan Consistency	<p><b>Land Supply, Suitability &amp; Intensity</b>                      All 3 properties are listed as underdeveloped on the land suitability map.                      All 3 properties are within the focused intensity node for US 64 and Howard Gap.                      All 3 properties are listed as underdeveloped on the land supply map.</p>
	<p><b>Future Land Use &amp; Conservation Map-</b> See Gen H appendix.</p> <p><b>Designation:</b> Mixed Use Commercial (PIN- 9670-70-6498)  <b>Character Area Description:</b> Consistent  <b>Zoning Crosswalk:</b> Consistent</p> <p><b>Designation:</b> Multi-Generational Living (PINs- 9670-70-8607 and 9670-70-8864)  <b>Character Area Description:</b> Consistent  <b>Zoning Crosswalk:</b> Inconsistent</p>
2) Compatibility	<p><b>Whether and the extent to which the proposed amendment is compatible with existing and proposed uses surrounding the subject property –</b></p>
	<p>Prior to the 2020 and 2022 rezonings to PRD-CZD, these parcels were zoned Highway Mixed Use. Highway Mixed Use was created for this corridor and all other adjacent properties are currently zone Highway Mixed Use.</p>
3) Changed Conditions	<p><b>Whether and the extent to which there are changed conditions, trends or facts that require an amendment -</b></p>
	<p>The White Pine Villas project was a low-income housing tax credit project that did not receive the necessary tax credits to proceed. In discussions with Stephen Drake, the developer of White Pine Villas, he confirmed that he no longer has an option on the property and does not foresee moving forward with the project.</p>
4) Public Interest	<p><b>Whether and the extent to which the proposed amendment would result in a logical and orderly development pattern that benefits the surrounding neighborhood, is in the public interest and promotes public health, safety and general welfare -</b></p>
	<p>The City has focused on developing mixed-use districts, particularly along our corridors. This rezoning supports that initiative by designating these parcels to the mixed use zoning district established for this corridor.</p>



<p>5) Public Facilities</p>	<p><b>Whether and the extent to which adequate public facilities and services such as water supply, wastewater treatment, fire and police protection and transportation are available to support the proposed amendment</b></p> <p>These parcels are located within the corporate City limits and will have access to all services associated with that.</p>
<p>6) Effect on Natural Environment</p>	<p><b>Whether and the extent to which the proposed amendment would result in significantly adverse impacts on the natural environment including but not limited to water, air, noise, storm water management, streams, vegetation, wetlands and wildlife -</b></p> <p>Even if rezoned, any new development on the site will be required to follow all zoning and subdivision ordinance requirements concerning natural resources and the environment.</p>

DRAFT COMPREHENSIVE PLAN CONSISTENCY AND REZONING REASONABLENESS STATEMENT

The petition is found to be **consistent** with the City of Hendersonville Gen H 2045 Comprehensive Plan based on the information from the staff analysis and the public hearing, and because:

*The petition is consistent with a range of Goals, Guiding Principles and the Future Land Use Designation of Chapter IV of the Gen H Comprehensive Plan.*

We **[find/do not find]** this petition to be reasonable and in the public interest based on the information from the staff analysis and the public hearing, and because:

*DRAFT [Rationale for Approval]*

- *The proposed map amendment seeks to return the parcels to their previous base zoning.*
- *The proposed map amendment restores potential development opportunities on this property by permitting the same uses available to the other adjacent Highway Mixed Use properties.*

*DRAFT [Rational for Denial]*

- *The proposed rezoning eliminates the current entitlements on the property linked to a LIHTC project that could be potentially developed in the future.*

2620 Chimney Rock Road Rezoning (25-14-RZO)

Chapter 4 - The Vision for the Future	Consistent	Inconsistent	Staff Notes
<b>SUPPLY, SUITABILITY, &amp; INTENSITY</b>			
LAND SUPPLY MAP (Pg. 81, Figure 4.4)	Consistent		Listed as underdeveloped in the Land Supply Map
LAND SUITABILITY MAP (Pg. 84-86, Figure 4.5-4.7)	Consistent		Listed as underdeveloped in the Land Suitability Map
DEVELOPMENT INTENSITY MAP (Pg. 89, Figure 4.9)	Consistent		Located in the Intesnity Node for Howard Gap Road and US 64
<b>FUTURE LAND USE &amp; CONSERVATION MAP</b>			
Future Land Use and Conservation Map (Note classification here, Pg. 117, Figure 4.12)	Mixed Use-Commerical (PIN 9670-70-6498)		
Character Area Description (Pg. 122-131)	Consistent		
Zoning Crosswalk (Pg. 132-133, Figure 4.18)	Consistent		
Future Land Use and Conservation Map (Note classification here, Pg. 117, Figure 4.12)	Multi-Generational Living (PINs 9670-70-8607 & 9670-70-8864)		
Character Area Description (Pg. 122-131)	Consistent		
Zoning Crosswalk (Pg. 132-133, Figure 4.18)		Inconsistent	

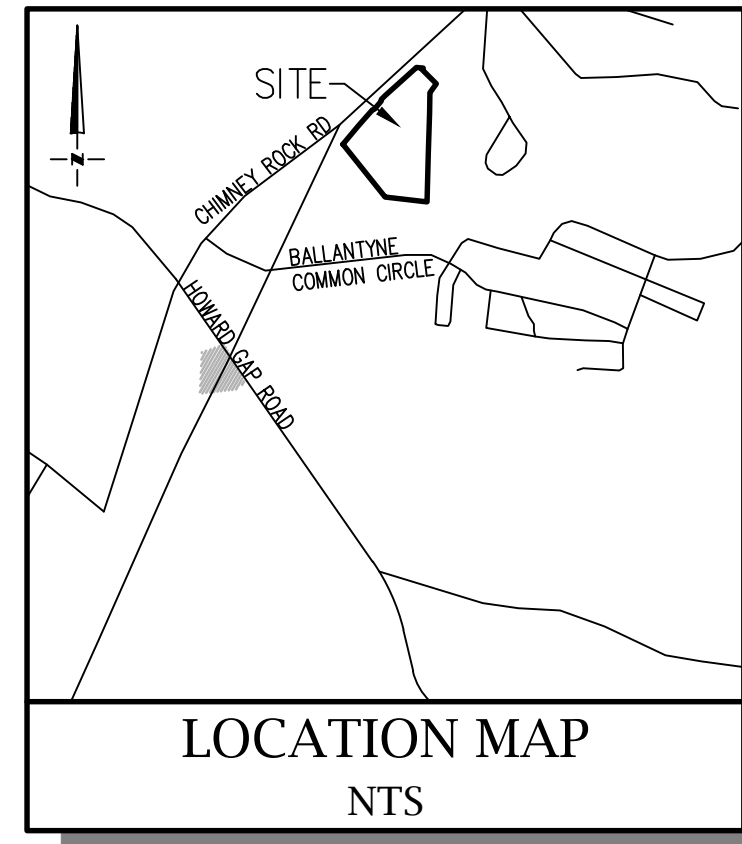


2620 Chimney Rock Road Rezoning (25-14-RZO)

Chapter 4 - The Vision for the Future	Consistent	Inconsistent	Staff Notes
<b>GOALS</b>			
<b>Vibrant Neighborhoods (Pg. 93)</b>			
Promote lively neighborhoods that increase local safety.	Consistent		
Enable well-maintained homes, streets, and public spaces.	Consistent		
Promote diversity of ages (stage of life), income levels, and a range of interests.	N/A		
The design allows people to connect to nearby destinations, amenities, and services.	Consistent		
<b>Abundant Housing Choices (Pg. 93)</b>			
Housing provided meets the need of current and future residents.	Consistent		
Range of housing types provided to help maintain affordability in Hendersonville.	Somewhat Consistent		HMU zoning aligns with this goal, however, in rezoning the property the previous entitlements for 78 LIHTC senior units would be removed.
Housing condition/quality exceeds minimum standards citywide	Consistent		
<b>Healthy and Accessible Natural Environment (Pg. 94)</b>			
Recreational (active and passive) open spaces are incorporated into the development.	Consistent		
Water quality is improved with the conservation of natural areas that serve as filters and soil stabilizers.	Consistent		
Natural system capacity (floodplains for stormwater; habitats to support flora/fauna; tree canopy for air quality, stormwater management, and microclimate) is maintained.	Consistent		
Development is compact (infill/redevelopment) to minimize the ecological footprint.	Consistent		
New development respects working landscapes (e.g., orchards, managed forests), minimizing encroachment.	Consistent		
<b>Authentic Community Character (Pg. 94)</b>			
Downtown remains the heart of the community and the focal point of civic activity	N/A		
A development near a gateway sets the tone, presenting the image/brand of the community.	Consistent		
Historic preservation is utilized to maintain the city's identity.	Consistent		
City Centers and neighborhoods are preserved through quality development.	Consistent		
<b>Safe Streets and Trails (Pg. 95)</b>			
Interconnectivity is promoted between existing neighborhoods through the building out of street networks, including retrofits and interconnectivity of new developments.	Consistent		
Access is increased for all residents through the provision of facilities that promote safe walking, biking, transit, automobile, ride share, and bike share.	Consistent		
Design embraces the principles of walkable development.	Consistent		
<b>Reliable &amp; Accessible Utility Services</b>			

Wastewater treatment (service and capacity) adequately serves existing and future development	Consistent		
A compact service area (infill, redevelopment) maximizes the utilization of existing infrastructure and feasible service delivery.	Consistent		
<b>Satisfying Work Opportunities (pg. 96)</b>			
The development promotes quality job options.	Consistent		
The lives of residents are enriched with opportunities to learn, build skills, and grow professionally.	Consistent		
<b>Welcoming &amp; Inclusive Community</b>			
Accessibility exceeds minimum standards of ADA, fostering residents' and visitors' sense of belonging.	Consistent		
An inviting public realm (i.e., parks, public buildings) reflects the attitudes of city residents and leaders, and helps residents develop a sense of place and attachment to Hendersonville.	Consistent		
<b>Accessible &amp; Available Community Uses and Services (Pg. 97)</b>			
Private development is plentiful, meeting the demands of current and future populations.	N/A		
<b>Resilient Community</b>			
N/A			
<b>GUIDING PRINCIPALS (pg. 98)</b>			
Mix of Uses (Pg. 98)			
Revitalization of Outdated Commercial Areas	N/A		
New business and office space promotes creative hubs.	Consistent		
Compact Development (Pg. 100)			
Development is consistent with efforts in the area to establish 15-minute neighborhoods.	Consistent		
The infill project is context sensitive.	Consistent		
Sense of Place (Pg. 102)			
The development contributes to Hendersonville's character and the creation of a sense of place through its architecture and landscape elements. [Place keeping and Placemaking and 3rd Places]	Consistent		
Conserved & Integrated Open Spaces (Pg. 106)			
A diverse range of open space elements are incorporated into the development.	Consistent		
Desirable & Affordable Housing (Pg. 108)			
Missing middle housing concepts are used in the development.	Consistent		
Connectivity (Pg. 112)			
The development encourages multimodal design solutions to enhance mobility.	Consistent		
Efficient & Accessible Infrastructure (Pg. 114)			
The development utilizes existing infrastructure	Consistent		





DEVELOPER PROPOSED CONCESSIONS	PROPOSED DEVELOPMENT IS LIHTC (LOW INCOME HOUSING TAX CREDIT) WITH ALL (78 UNITS) OF THE UNITS AT OR BELOW 80% AMI. PROPOSED DEVELOPMENT WILL PROVIDE SENIOR AFFORDABLE HOUSING AS GOVERNED BY NORTH CAROLINA HOUSING FINANCE AGENCY REQUIREMENTS.	CONDITIONS	DEVELOPER SHALL BE GRANTED A HEIGHT LIMITATION EXEMPTION IN ACCORDANCE WITH 5-14-6.5 OF THE ZONING ORDINANCE. THE HEIGHT LIMITATION EXEMPTION SHALL BE FOR A STRUCTURE MEASURING 50' TO THE MIDPOINT OF A GABLE, HIP OR GAMBREL ROOF. DEVELOPER SHALL BE GRANTED A DENSITY BONUS IN ACCORDANCE WITH 5-14-5 OF THE ZONING ORDINANCE. THE DENSITY BONUS SHALL ALLOW A DENSITY OF 16.8 UNITS PER ACRE. TREE BOARD CONDITIONS: ALL PRESERVED TREES MUST BE PROTECTED FROM CONSTRUCTION ACTIVITIES AS PRESCRIBED IN THE ZONING CODE 15.-4C REGARDLESS OF USE AS TREE CREDITS. AN ADDITIONAL 25 LARGE AND MEDIUM CANOPY TREES, 2" OR LARGER CALIPER, BEYOND THOSE SHOWN AS PRESERVED (10) ON THE SITE PLAN REVIEWED BY THE TREE BOARD, MUST BE PLANTED THROUGHOUT THE SITE. IMPLEMENT A VEGETATIVE PLANTING PLAN THAT WILL ENHANCE THE BANKS OF AND A 20 FOOT CORRIDOR AROUND THE STORMWATER POND TO PROVIDE FILTRATION AND INFILTRATION OF STORMWATER FROM TURF MANAGED AREAS AND ENHANCE WILDLIFE HABITAT. THE PLAN MUST INCLUDE DIVERSE AND APPROPRIATE SPECIES OF NATIVE UPLAND SHRUBS AND PERENNIAL HERBACEOUS PLANTS (INCLUDING WARM SEASON GRASSES, SEDGES, AND PLANTS IMPORTANT TO POLLINATORS) SELECTED FROM THE CITY'S RECOMMENDED LANDSCAPE SPECIES LIST FOR STREET TREES AND LAND DEVELOPMENT PROJECTS.
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PERIMETER AND INTERIOR PLANTINGS  
1 TREE AND 2 SHRUBS REQUIRED FOR EVERY 4,000 SQ. FT. OF VEHICULAR USE AREA.

- TOTAL VEHICULAR USE AREA: ±49,000 SF
- TOTAL TREES REQUIRED/PROPOSED: 13/13
- TOTAL SHRUBS REQUIRED/PROPOSED: 25/25

WHEN A DEVELOPMENT CONTAINS 20 OR MORE PARKING SPACES, 50 PERCENT OF THE TREES AND SHRUBS REQUIRED MUST BE PLANTED IN ISLANDS OR MEDIANS LOCATED WITHIN THE PARKING LOT.

NO LANDSCAPING SHALL BE WITHIN THE SIGHT TRIANGLES.

BUFFERING FROM STREET  
A VEGETATIVE BUFFER SHALL CONSIST OF AT LEAST ONE EVERGREEN OR DECIDUOUS SHRUB PLANTED FOR EVERY FIVE LINEAR FEET OF BUFFER REQUIRED.

- TOTAL LINEAR FT. OF FRONTAGE: 257'
- TOTAL SHRUBS REQUIRED/PROPOSED: 52/52

PLANTING STRIPS  
ONE LARGE EVERGREEN OR DECIDUOUS TREE AND FIVE EVERGREEN OR DECIDUOUS SHRUBS SHALL BE PLANTED FOR EVERY 40 LINEAR FEET OF PROPERTY LINE THAT PARALLELS THE VEHICULAR USE AREA (100 FT.).

- TOTAL LINEAR FEET OF PLANTING STRIP: 1,196'
- TOTAL TREES REQUIRED/PROVIDED: 30/30
- TOTAL SHRUBS REQUIRED/PROVIDED: 150/150

TREE BOARD REQUIRED PLANTINGS:  
-TOTAL REQUIRED/PROVIDED LARGE/MEDIUM TREES: 25/25

STREET TREES (ENTRY CORRIDOR OVERLAY)  
-TOTAL LINEAR FOOTAGE OF RIGHT OF WAY: 553'

- REQUIRED SMALL MATURING (30" ON CENTER): 19
- EXISTING OVERHEAD ELECTRIC: 19
- TOTAL PROPOSED SMALL MATURING TREES: 19

**LANDSCAPE CALCULATIONS**

LAND OWNER: JEFFREY AND DONNA DONALDSON  
2968 CHIMNEY ROCK ROAD  
HENDERSONVILLE, NC 28792

THE DONALDSON FAMILY REVOCABLE TRUST  
743 KYLES CREEK ROAD  
HENDERSONVILLE, NC 28792

BETTY AND LARRY LAWS  
2626 CHIMNEY ROCK ROAD  
HENDERSONVILLE, NC 28792

PINS: 9670708864, 9670708607, 9670706498

JURISDICTION: PROJECT IS LOCATED WITHIN CITY LIMITS OF HENDERSONVILLE

TOWNSHIP: CLEAR CREEK

DEED BOOK & PAGE: 1029 - 3, 3191 - 448, 1023 - 599

TOTAL PROJECT AREA: ±4.64 AC (202,118 SF)

CURRENT ZONING: PRD-CZD  
PROPOSED ZONING: PRD-CZD

EXISTING USE: SINGLE-FAMILY  
PROPOSED USE: MULTI-FAMILY HOUSING (SENIOR)

PROPOSED UNITS:  
- 36 (1) BR UNITS  
- 42 (2) BR UNITS  
PROPOSED DENSITY: 16.8 DU/AC

PROPOSED BUILDING HEIGHT: 50' (GRADE - MIDPOINT OF ROOF)

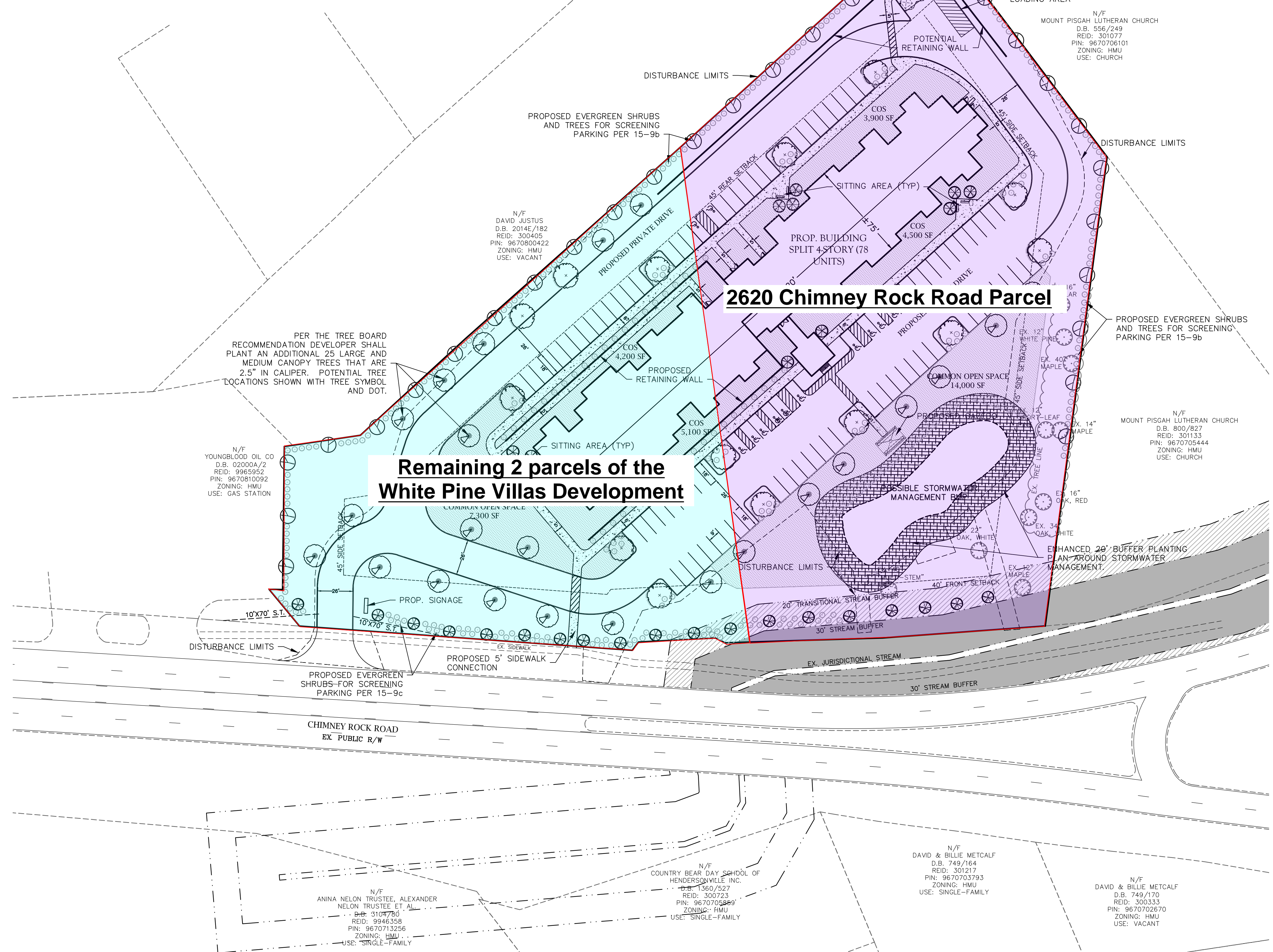
REQUIRED PARKING:  
- 1.5 SPACES PER 1-2 BEDROOM UNITS  
- 2 SPACES PER 3+ BEDROOMS UNITS  
REQUIRED PARKING (REDUCED): 94  
- REQUESTING 20% REDUCTION IN ENTRY CORRIDOR  
PROPOSED ON-SITE PARKING: 97  
- HANDICAP PARKING: 13 (4 VAN ACCESSIBLE)

FRONT SETBACK: 40'  
SIDE YARD: 45'  
-BASED ON 1' FOR EVERY 1' ABOVE 35' IN BUILDING HEIGHT  
REAR YARD: 45'  
-BASED ON 1' FOR EVERY 1' ABOVE 35' IN BUILDING HEIGHT

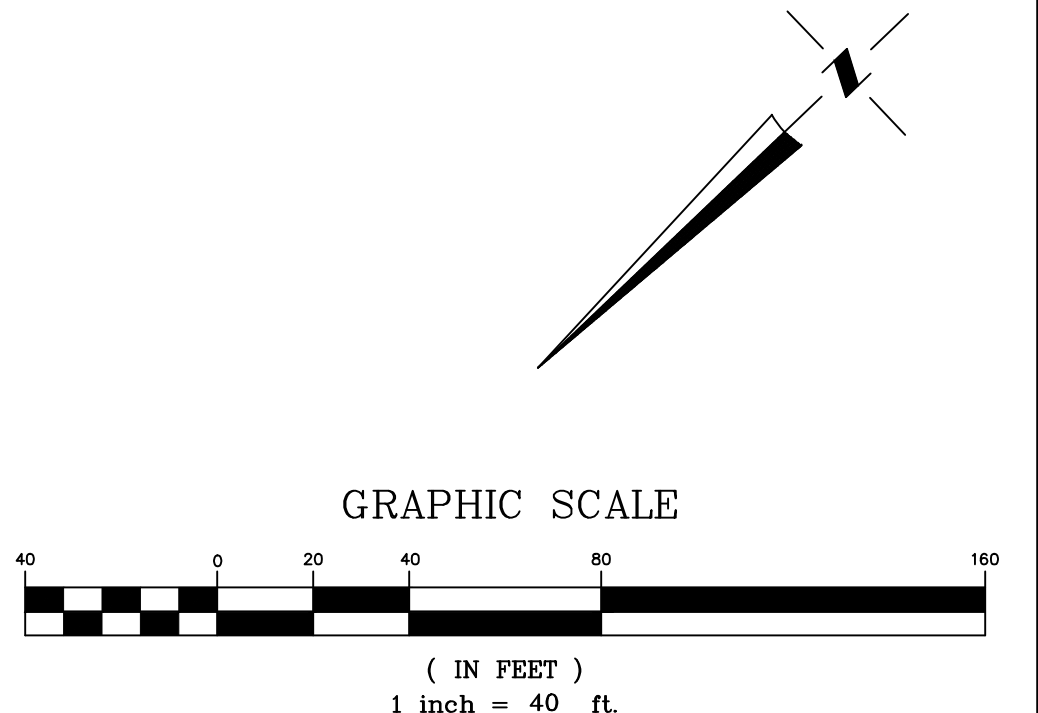
OPEN SPACE/FOOTPRINT REQUIRED  
- MAXIMUM ALLOWABLE FOOTPRINT: 40,423 SF (20%)  
- PROPOSED FOOTPRINT: ±25,500 SF (12.6%)  
- PROPOSED GROSS FLOOR AREA: ±88,500 SF  
- REQUIRED MINIMUM OPEN SPACE: 500 SF PER UNIT WITH 78 UNITS TOTAL: 39,000 SF  
SITE IS REQUIRED TO PROVIDE 17% OPEN SPACE BASED ON DENSITY BONUS REQUIREMENTS: 34,360 SF (17%)

(HATCHED AREA INDICATES COMMON OPEN SPACE)  
- PROPOSED OPEN SPACE: ±39,000 SF (19.3%)  
- PROPOSED ASPHALT AREA: ±49,000 SF (25%)  
- PROPOSED SIDEWALK AREA: ±9,400 SF (5%)

**DEVELOPMENT SUMMARY**



- DEVELOPMENT NOTES:
- COMMON OPEN SPACE**  
1. DOCUMENTATION SHALL BE PROVIDED PRIOR TO FINAL SITE PLAN APPROVAL FOR ONGOING MAINTENANCE OF COMMON FACILITIES.
  - STORMWATER MANAGEMENT**  
1. STORMWATER APPROVAL FROM THE CITY ENGINEERING DEPARTMENT IS REQUIRED PRIOR TO FINAL SITE PLAN APPROVAL.  
2. EROSION CONTROL APPROVAL IS REQUIRED FROM HENDERSON COUNTY PRIOR TO FINAL SITE PLAN APPROVAL.
  - MISCELLANEOUS NOTES**  
1. PROPOSED PROJECT TO BE CONSTRUCTED IN ONE PHASE.



**Mc<sup>2</sup> ENGINEERING**  
Mc<sup>2</sup> ENGINEERING, INC.  
2110 BEN CRAIG DR., STE. 400  
CHARLOTTE, NC 28262  
PHONE 704.510.9797

PROPOSED DEVELOPMENT:  
**WHITE PINE VILLAS**  
CHIMNEY ROCK ROAD  
HENDERSONVILLE, NC

DEVELOPED BY:  
**WDT DEVELOPMENT LLC**  
266 COUNTRY CLUB DRIVE  
HENDERSON, NC 27536

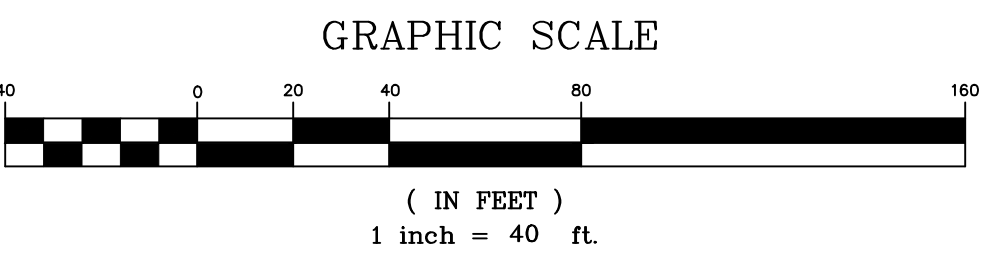
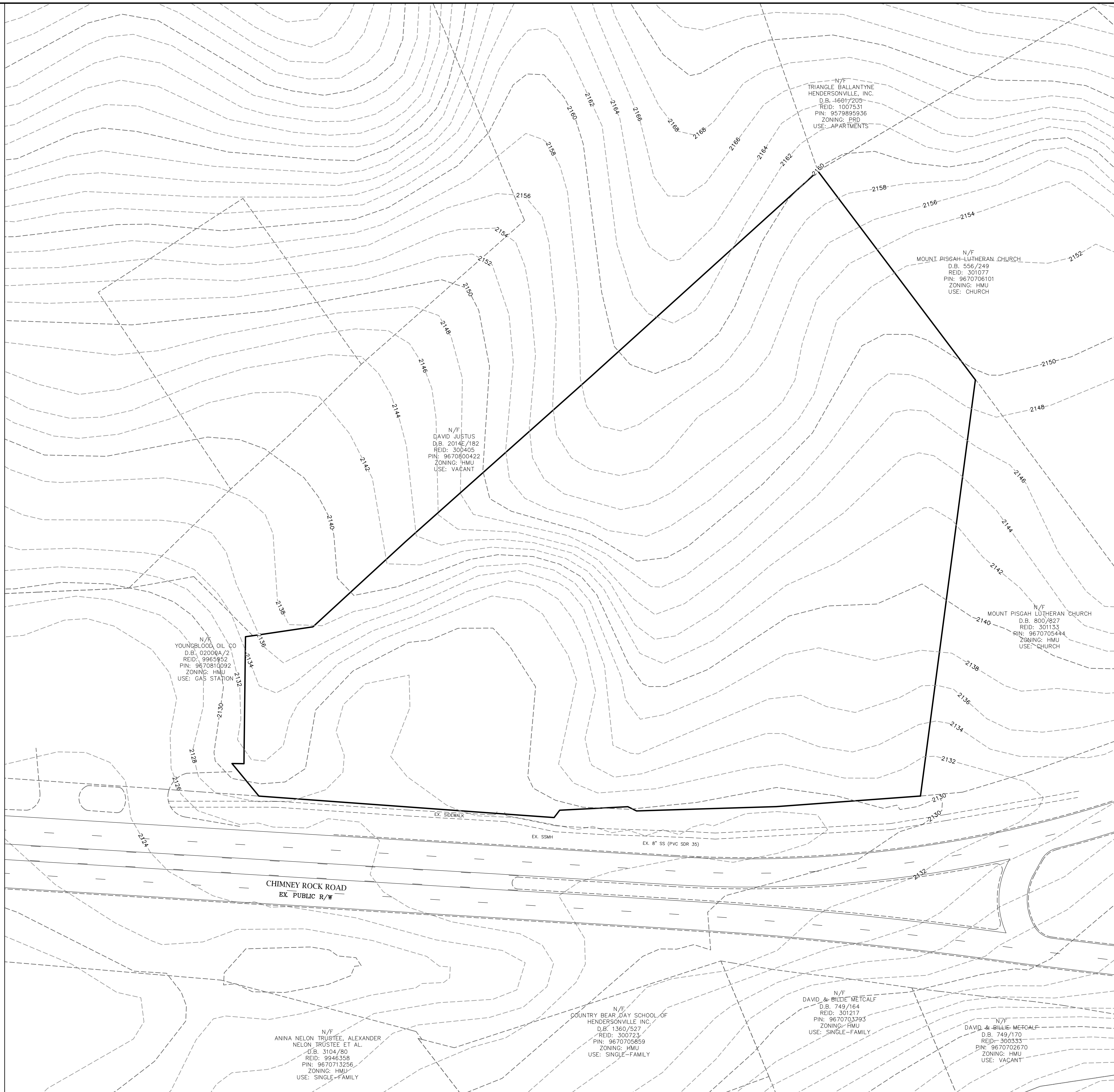
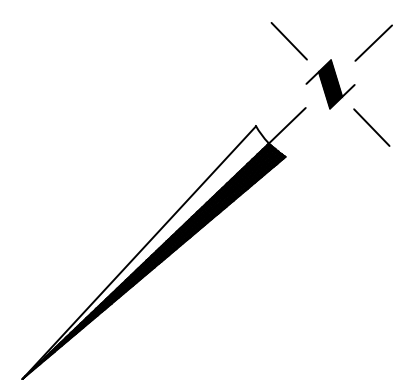
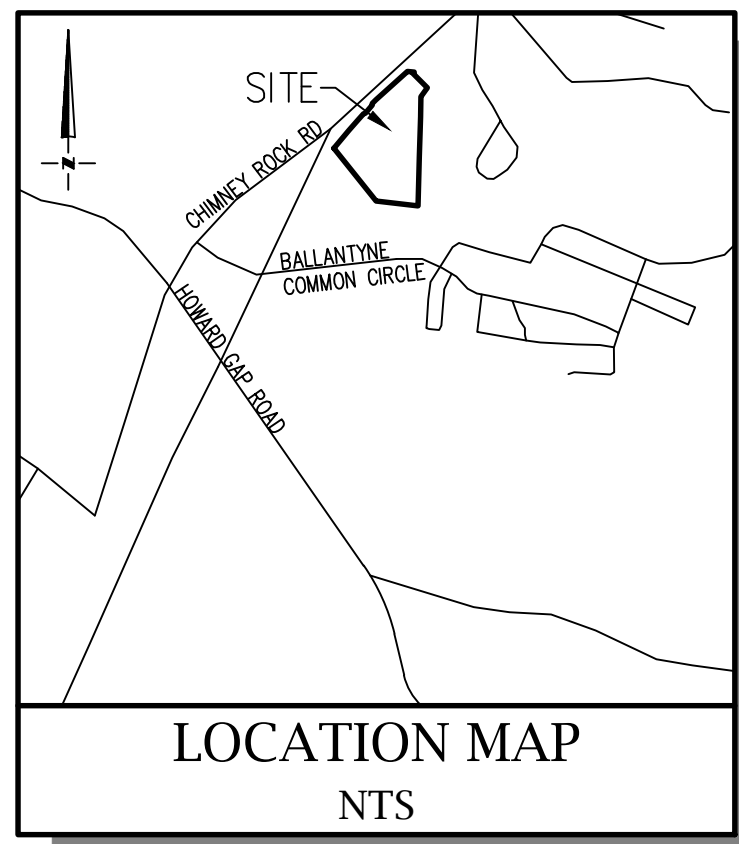
**REZONING SITE PLAN**

REVISIONS		
1	3/31/22	HENDERSONVILLE COMMENTS
2	4/4/22	HENDERSONVILLE COMMENTS
3	4/19/22	HENDERSONVILLE COMMENTS

CAD FILE: 20-004 BASE.DWG  
PROJECT NO.: 20-004  
DESIGNED BY: JDM  
DATE: JANUARY 14, 2021

**SP1.0**





**Mc<sup>2</sup> ENGINEERING**  
Mc<sup>2</sup> ENGINEERING, INC.  
2110 BEN CRAIG DR., STE. 400  
CHARLOTTE, NC 28262  
PHONE 704.510.9797

**PROPOSED DEVELOPMENT:**  
**WHITE PINE VILLAS**  
CHIMNEY ROCK ROAD  
HENDERSONVILLE, NC

**DEVELOPED BY:**  
**BROADCAST CONSTRUCTION & DEVELOPMENT, INC.**  
195 ROCKBRIDGE ROAD  
MILLS RIVER, NC 28759

**EXISTING CONDITIONS**

NO.	REVISIONS

CAD FILE: 20-004 BASE.DWG  
PROJECT NO.: 20-004  
DESIGNED BY: JDM  
DATE: JANUARY 14, 2021







N/F  
REID: 9946358  
PIN: 9670713256  
ZONING: HMU  
USE: SINGLE-FAMILY

SITE INFORMATION:  
SITE ACREAGE: (+/-) 4.64 ACRES  
SITE ACCESS: FROM CHIMNEY ROCK ROAD  
TOTAL PARKING SPACES PROVIDED: = 97 SPACES  
TOTAL NUMBER OF BUILDINGS: (1) RESIDENTIAL BUILDING  
FLOOD PLAIN: NONE  
RETAINING WALLS EXISTING/PLANNED: NONE/NONE

N/F  
YOUNGBLOOD OIL CO  
D.B. 02000A/2  
REID: 9965952  
PIN: 9670810092  
ZONING: HMU  
USE: GAS STATION

ENTRY SIGN

N/F  
COUNTRY BEAR DAY SCHOOL OF  
HENDERSONVILLE INC.  
D.B. 1380/527  
REID: 300723  
PIN: 9670705859  
ZONING: HMU  
USE: SINGLE-FAMILY

BUILDING WILL NOT BLOCK SUNLIGHT FROM  
ADJACENT PROPERTY BETWEEN THE  
HOURS OF 10:00 A.M. AND 2:00 P.M. FROM  
THE MONTHS OF OCTOBER 1ST TO MAY 1ST.  
NO SHADOWS WILL BE CAST ONTO AN  
ADJACENT PROPERTY."

OUTDOOR SITTING AREA

N/F  
DAVID & BILLIE METCALF  
D.B. 749/164  
REID: 301217  
PIN: 9670703793  
ZONING: HMU  
USE: SINGLE-FAMILY

N/F  
DAVID JUSTUS  
D.B. 2014E/182  
REID: 300405  
PIN: 9670800422  
ZONING: HMU  
USE: VACANT

COMMUNITY/MULTI  
PURPOSE ROOM  
(Second Floor)

N/F  
DAVID & BILLIE METCALF  
D.B. 749/170  
REID: 300333  
PIN: 9670702670  
ZONING: HMU  
USE: VACANT

SCREEN PORCH  
(Second Floor)

POSSIBLE  
STORMWATER  
MANAGEMENT  
BMP

RESIDENT COMPUTER CENTER  
(Third Floor)

GAZEBO

INDOOR SEATING AREAS  
(All Floors)

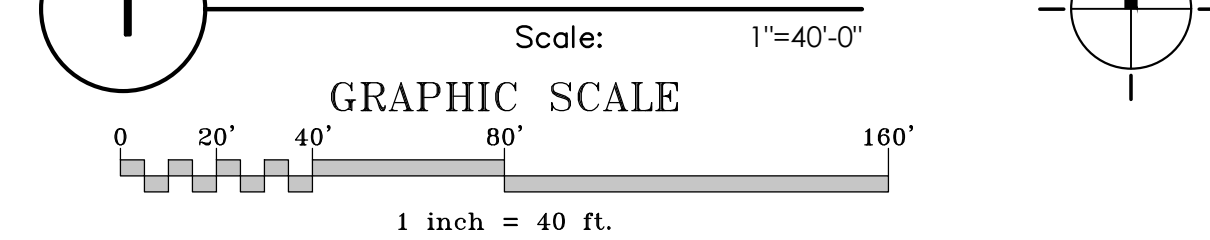
OUTDOOR SITTING AREA

EXERCISE ROOM  
(Third Floor)

N/F  
MOUNT PISGAH LUTHERAN CHURCH  
D.B. 800/927  
REID: 301133  
PIN: 9670705444  
ZONING: HMU  
USE: CHURCH

TYPICAL ACCESSIBLE DUMPSTER  
W/ VINYL SCREEN ENCLOSURE  
AND PLANTINGS

1 SITE PLAN / SHADOW STUDY



N/F  
TRIANGLE BALLANTYNE  
HENDERSONVILLE, INC.  
D.B. 1601/205  
REID: 1007531  
PIN: 9579895936  
ZONING: PRD  
USE: APARTMENTS

N/F  
MOUNT PISGAH LUTHERAN CHURCH  
D.B. 556/249  
REID: 301077  
PIN: 9670706101  
ZONING: HMU  
USE: CHURCH

SEALS  
NOT FOR  
CONSTRUCTION

CONSULTANTS

WDT DEVELOPMENT,  
LLC

PROJECT  
WHITE PINE  
VILLAS

HENDERSONVILLE,  
NORTH CAROLINA

# 22-409.00

REVISIONS

DATE

DATE: MARCH 21, 2022  
ISSUED FOR: REVIEW SET - 4 / 4 STEPPED w/ SHADOW

SET#

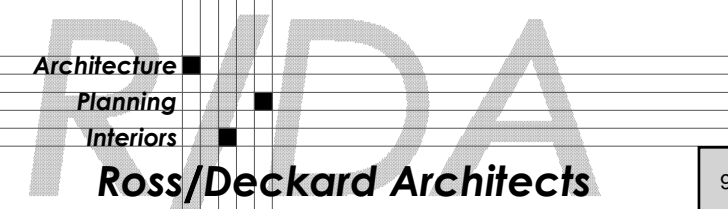
SHEET

Site Plans /  
Shadow Study

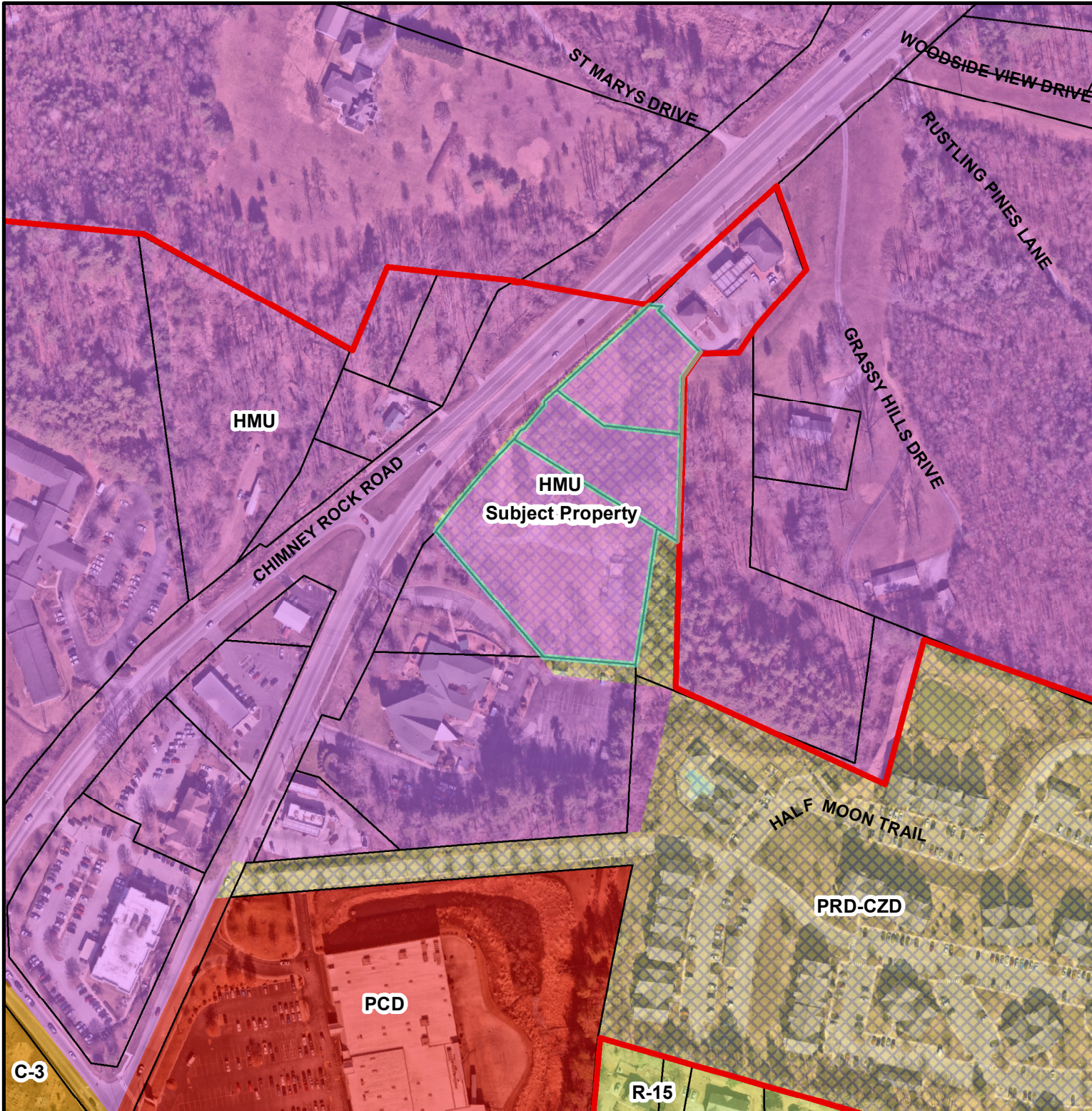
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SA100

DRAWN BY: CHECKED BY: JMR







0 100 200 400 Feet

Section 5, Item C.

City of Hendersonville  
March 2025

**2620 Chimney Rock Road RZO**  
 25-14-RZO  
 PIN: 9670706498, -8607, -8864  
 Acreage: 4.64  
 Proposed Zoning

- Subject Property
- Hendersonville City Limits
- Hendersonville Zoning**
- CZD Conditional Zoning Districts
- R-15 Medium Density Residential
- Planned Residential Development Conditional Zoning District
- C-3 Highway Business
- PCD Planned Commercial Development
- HMU Highway Mixed Use





Ordinance # \_\_\_\_ - \_\_\_\_

**AN ORDINANCE OF THE CITY OF HENDERSONVILLE CITY COUNCIL TO AMEND THE OFFICIAL ZONING MAP OF THE CITY OF HENDERSONVILLE FOR CERTAIN PARCELS (POSSESSING PIN NUMBER 9670-70-6498, 9670-70-8607, & 9670-70-8864) BY CHANGING THE ZONING DESIGNATION FROM PRD-CZD, PLANNED RESIDENTIAL DEVELOPMENT CONDITIONAL ZONING DISTRICT TO HMU, HIGHWAY MIXED USE.**

IN RE: Parcel Numbers: 9670-70-6498, 9670-70-8607, & 9670-70-8864  
2620 Chimney Rock Road Rezoning (File # 25-14-RZO)

**WHEREAS**, the Planning Board took up this application at its regular meeting on April 10<sup>th</sup>, 2025; voting   to recommend/not recommend City Council adopt an ordinance amending the official zoning map of the City of Hendersonville, and

**WHEREAS**, City Council took up this application at its regular meeting on May 1<sup>st</sup>, 2025, and

**WHEREAS**, City Council has found that this zoning map amendment is consistent with the City’s comprehensive plan, and that it is reasonable and in the public interest for the reasons stated, and

**WHEREAS**, City Council has conducted a public hearing as required by the North Carolina General Statutes on May 1<sup>st</sup>, 2025,

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Hendersonville, North Carolina:

1. Pursuant to Article XI of the Zoning Ordinance of the City of Hendersonville, North Carolina, the Zoning Map is hereby amended by changing the zoning designation of the following: Parcel Numbers: 9670-70-6498, 9670-70-8607, & 9670-70-8864 from PRD-CZD, Planned Residential Development Conditional Zoning District to HMU, Highway Mixed Use Zoning District.
2. Any development of this parcel shall occur in accordance with the Zoning Ordinance of the City of Hendersonville, North Carolina.
3. This ordinance shall be in full force and effect from and after the date of its adoption.

Adopted this 1<sup>st</sup> day of May 2025.

Attest:

\_\_\_\_\_  
Barbara G. Volk, Mayor, City of Hendersonville

\_\_\_\_\_  
Jill Murray, City Clerk

Approved as to form:

\_\_\_\_\_  
Angela S. Beeker, City Attorney



For use by Principal Authority	
Cloudpermit application number	US-NC30720-P-2025-12
PIN	9670706498
Application submitted to	Hendersonville, NC, North Carolina


Description of Subject Property	
Address	2620 CHIMNEY ROCK RD
Municipality	Hendersonville, NC, North Carolina
PIN	9670706498

Purpose of Application	
Application type	Standard Rezoning

Applicant, Property owner		
Last name	First name	Corporation or partnership
Lopez	Nehemias	
Street address	Unit number	Lot / Con.
181 Acorn Drive		
Municipality	State	ZIP code
Hendersonville	NC	28792
Other phone	Mobile phone	
	+1 8284589007	
Fax	Email	


**Applicant**

I, Nehemias Lopez (The Applicant), do hereby declare that the information contained in this application, the attached schedules and forms, the attached plans and specifications, and other attached documentation is true to the best of my knowledge. If a permit is granted, I agree to comply with Local Ordinances and the conditions of the permit. If the Applicant is a corporation or partnership, I have the authority to bind the corporation or partnership by signing off, I understand that it constitutes a legal signature confirming that I acknowledge and agree to the above declaration.

 Digitally signed on 03/07/2025, 2:17:47 PM EST by Sam Hayes with an authorization letter from Nehemias Lopez.

**Property owner**

I, Nehemias Lopez (The Property owner), do hereby declare that the information contained in this application, the attached schedules and forms, the attached plans and specifications, and other attached documentation is true to the best of my knowledge. If a permit is granted, I agree to comply with Local Ordinances and the conditions of the permit. If the Property owner is a corporation or partnership, I have the authority to bind the corporation or partnership by signing off, I understand that it constitutes a legal signature confirming that I acknowledge and agree to the above declaration.

 Digitally signed on 03/07/2025, 2:17:53 PM EST by Sam Hayes with an authorization letter from Nehemias Lopez.



Property Information	
Current Zoning PRD	Proposed Zoning HMU

Section 5, Item C.

Adjacent Parcel Numbers and Uses	
PIN: 9670706498	Use: Church
PIN: 9670705444	Use: Residential
PIN: 9670708607	Use: Church
PIN: 9670800422	Use: Residential
PIN:	Use:

Section 11-1 Standards
<p>The advisability of amending the text of this Zoning Ordinance or the Official Zoning Map is a matter committed to the legislative discretion of the City Council and is not controlled by any one factor. In determining whether to adopt or disapprove the proposed amendment to the text of this Ordinance or the Official Zoning Map, the City Council shall consider the following factors among others:</p>
<p>a) Comprehensive Plan Consistency – Consistency with the Comprehensive Plan and amendments thereto. Just want to have it mixed use. I don't currently have any plans for its use at the moment.</p>
<p>b) Compatibility with surrounding uses – Whether and the extent to which the proposed amendment is compatible with existing and proposed uses surrounding the subject property. (Also, see NCGS 160-601 (d) Down-Zoning all other property around me is highway mixed use</p>
<p>c) Changed Conditions. Whether and the extent to which there are changed conditions, trends or facts that require an amendment. (Also, see NCGS 160D-601 (d) Down-Zoning) the existing plans was there when I purchsed the property and is no longer needed for thsi PRD plans</p>
<p>d) Public Interest. Whether and the extent to which the proposed amendment would result in a logical and orderly development pattern that benefits the surrounding neighborhood, is in the public interest and promotes public heath, safety and general welfare. (Also, see NCGS 160D-601 (d) Down-Zoning) I just like to continue to be like other propety around me in Highway Mixed Use</p>
<p>e) Public Facilities. Whether and the extent to which adequate public facilities and services such as water supply, wastewater treatment, fire and police protection and transportation are available to support the proposed amendment. (Also, see NCGS 160D-601 (d) Down-Zoning) the property already suing public services and will continue</p>
<p>f) Effect on Natural Environment. Whether and the extent to which the proposed amendment would result in significantly adverse impacts on the natural environment including but not limited to water, air, noise, storm water management, streams, vegetation, wetlands and wildlife no significant impact to the natural environment.</p>

PIN or PID #

Signature

Nehemias Lopez

Printed Name:

Nehemias Lopez

Official Use Only:

Date Received:

Received By:

Fee Received:

**Section 11-4 Standards:** The advisability of amending the text of the Zoning Ordinance or the Official Zoning Map is a matter committed to the legislative discretion of the City Council and is not controlled by any one factor. In determining whether to adopt or disapprove the proposed amendment to the text of this Ordinance or the Official Zoning Map, the City Council shall consider the following factors among others:

**a) Comprehensive Plan Consistency. Consistency with the Comprehensive Plan and amendments thereto.**

Just ~~want~~ want to have it on mixed use tho  
I dont have a plan on ~~with~~ with am doing for now

**b) Compatibility with surrounding uses. Whether and the extent to which the proposed amendment is compatible with existing and proposed uses surrounding the subject property.**

all other properties around me are Highway Mixed use

**c) Changed Conditions. Whether and the extent to which there are changed conditions, trends or facts that require an amendment. The existing plans was there when I purchased the property**

and is no longer needed for this ~~or~~ PRD plans

**d) Public Interest. Whether and the extent to which the proposed amendment would result in a logical and orderly development pattern that benefits the surrounding neighborhood, is in the public interest and promotes public health, safety and general welfare.**

I just like to continue to be like other property around me  
The Highway Mixed Use

**e) Public facilities. Whether and to the extent which adequate public facilities and services such as water supply, wastewater treatment, fire and police protection and transportation are available to support the proposed amendment.**

The property already using public services and will continue



# CITY OF HENDERSONVILLE AGENDA ITEM SUMMARY PLANNING DIVISION

**SUBMITTER:** City of Hendersonville      **MEETING DATE:** April 10<sup>th</sup>,2025

**AGENDA SECTION:** New Business      **DEPARTMENT:** Community Development

**TITLE OF ITEM:** Zoning Text Amendment: Tree Ordinance Clarifying Edits (25-15-ZTA) –*Lew Holloway, Community Development Director*

**SUGGESTED MOTION(S):**

<p style="text-align: center;"><b><u>To continue the public hearing:</u></b></p> <p>I move Planning Board open and continue this public hearing to the May 8<sup>th</sup> Planning Board meeting.</p>	
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***SUMMARY:***

City staff is requesting the Planning Board open and continue this public hearing to the May 8<sup>th</sup> Planning Board meeting. This additional time will allow staff to further review proposed changes.

<b>PROJECT/PETITIONER NUMBER:</b>	25-15-ZTA
<b>PETITIONER NAME:</b>	City of Hendersonville
<b>ATTACHMENTS:</b>	1. Cover Sheet