



CITY OF HENDERSONVILLE CURRENT PLANNING COMMITTEE

City Hall | 2nd Floor Meeting Room | 160 6th Ave. E. | Hendersonville NC 28792
Thursday, May 08, 2025 – 3:00 PM

AGENDA

1. **CALL TO ORDER**
2. **APPROVAL OF AGENDA**
3. **APPROVAL OF MINUTES**
4. **OLD BUSINESS**
5. **NEW BUSINESS**
 - A. Rezoning: Conditional Zoning District –Ronan at Hendersonville (P24-33-CZD) – *Tyler Morrow– Current Planning Manager*
 - B. Rezoning: Conditional Zoning District – Pace Hendersonville (25-11-CZD) – *Matthew Manley, AICP – Long-Range Planning Manager*
 - C. Rezoning: Standard Rezoning – 135 Sugarloaf Rd | P24-43-RZO – *Matthew Manley, AICP / Long-Range Planning Manager*
6. **OTHER BUSINESS**
7. **ADJOURNMENT**

The City of Hendersonville is committed to providing accessible facilities, programs and services for all people in compliance with the Americans with Disabilities Act (ADA). Should you need assistance or an accommodation for this meeting please contact the Community Development Department no later than 24 hours prior to the meeting at 828-697-3010.

<p>The petition is consistent with a range of Goals, Guiding Principles and the Future Land Use Designation of Chapter IV of the Gen H Comprehensive Plan.</p> <p>4. Furthermore, we find this petition to be reasonable and in the public interest based on the information from the staff analysis, public hearing and because:</p> <ol style="list-style-type: none">1. The proposed development further supports the growth of this area as a multi-family node along the I-26 corridor, placing residents in close proximity to I-26, Blue Ridge Community College, a bank, and other commercial amenities.2. The proposed development adds needed housing to help address local demand. <p>[DISCUSS & VOTE]</p>	<p>[DISCUSS & VOTE]</p>
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***SUMMARY:** The City of Hendersonville is in receipt of an application for a Conditional Rezoning from Paul Aiesi, manager of Graycliff Capital Development, LLC, applicant and Robert O. Camenzind, Peggy C. Cabe, John T Fleming, Enno F. Camenzind, Paula Camenzind Carter, property owners. The applicant is requesting to rezone the subject property, PIN 9588-22-1126 and located on S. Allen Road, from CHMU, Commercial Highway Mixed Use to CHMU-CZD, Commercial Highway Mixed Use Conditional Zoning District for the construction of a 192 unit multi-family development and associated accessory structures and amenities.*

The site plan depicts eight multi-family buildings, each comprising 24 units. These buildings are proposed to be three stories tall, slightly exceeding 39 feet. Additionally, the plan includes five garages, a cabana, a clubhouse with a pool, and various amenities such as a fire pit, community garden, dog park, and playground.

PROJECT/PETITIONER NUMBER:	P24-33-CZD
PETITIONER NAME:	<ul style="list-style-type: none">• Paul Aiesi, manager of Graycliff Capital Development, LLC, applicant• Robert O. Camenzind, Peggy C. Cabe, John T Fleming, Enno F. Camenzind, Paula Camenzind Carter, property owners
ATTACHMENTS:	<ol style="list-style-type: none">1. Staff Report2. Comprehensive Plan Review3. Preliminary Site Plan and Rendering Package4. Neighborhood Compatibility Meeting Summary5. Proposed Zoning Map6. Draft Ordinance7. Application

	8. Deed
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REZONING: CONDITIONAL REZONING –RONAN AT HENDERSONVILLE (P24-33-CZD)
CITY OF HENDERSONVILLE - COMMUNITY DEVELOPMENT STAFF REPORT

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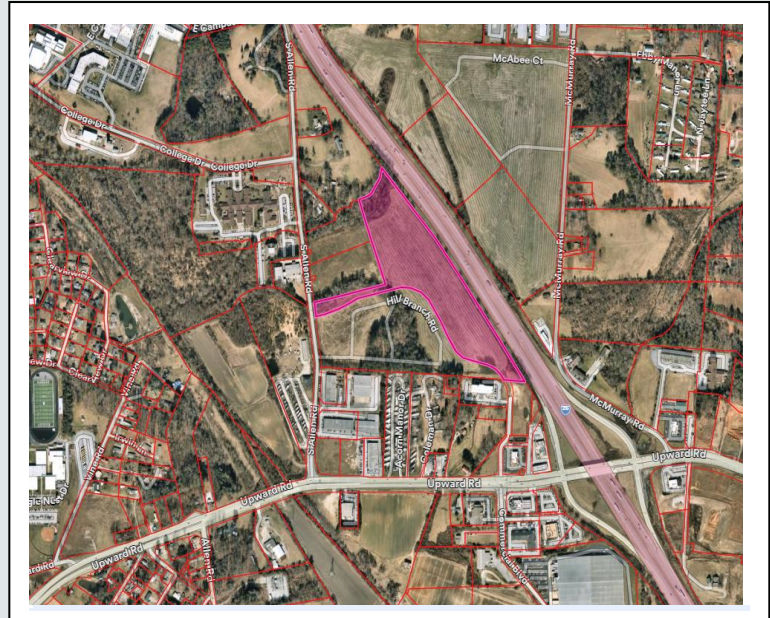
REZONING ANALYSIS – GENERAL REZONING STANDARDS (ARTICLE 11-4) 20

DRAFT COMPREHENSIVE PLAN CONSISTENCY AND REZONING REASONABLENESS STATEMENT 21



PROJECT SUMMARY

- Project Name & Case #:
 - Ronan at Hendersonville (Waterleaf Phase II)
 - P24-33-CZD
- Applicant & Property Owner:
 - Paul Aiesi, manager (Graycliff Capital Development, LLC) [Applicant]
 - Robert O. Camenzind, Peggy C. Cabe, John T Fleming, Enno F. Camenzind, Paula Camenzind Carter [Owners]
- Property Address:
 - 0 S. Allen Road
- Project Acreage:
 - 17.13 Acres
- Parcel Identification (PIN):
 - 9588-22-1126
- Current Parcel Zoning:
 - CHMU-Commercial Highway Mixed Use
- Future Land Use Designation:
 - Mixed Use-Commercial
- Requested Zoning:
 - CHMU-CZD, Commercial Highway Mixed Conditional Zoning District.
- Requested Uses:
 - Residential dwellings, multi-family
 - Accessory uses & structures
- Neighborhood Compatibility Meeting:
 - June 19th, 2024

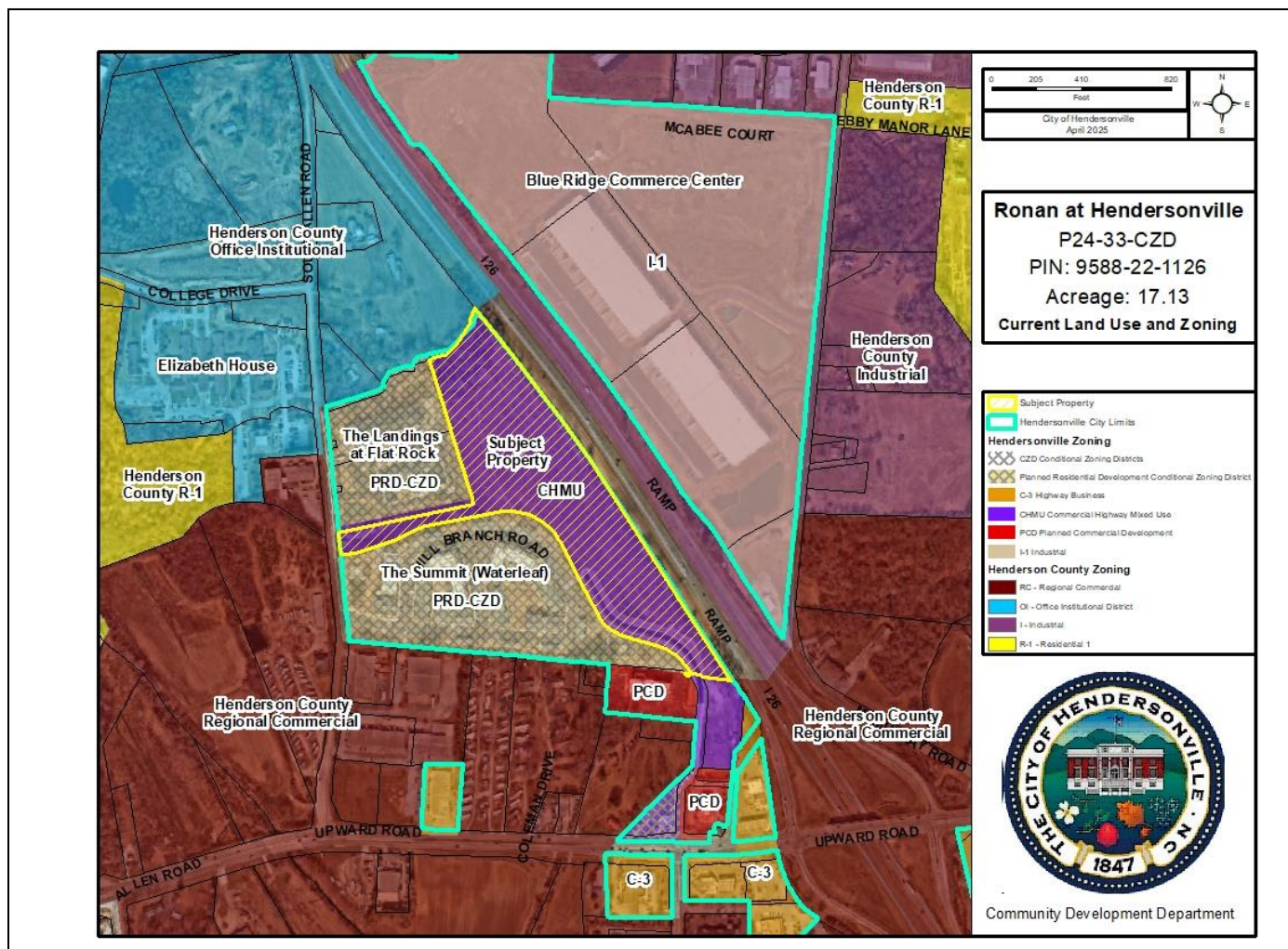


SITE VICINITY MAP

The City of Hendersonville is in receipt of an application for a Conditional Rezoning from Paul Aiesi, manager of Graycliff Capital Development, LLC, applicant and Robert O. Camenzind, Peggy C. Cabe, John T Fleming, Enno F. Camenzind, Paula Camenzind Carter, property owners. The applicant is requesting to rezone the subject property, PIN 9588-22-1126 and located on S. Allen Road, from CHMU, Commercial Highway Mixed Use to CHMU-CZD, Commercial Highway Mixed Use Conditional Zoning District for the construction of a 192-unit multi-family development and associated accessory structures and amenities.

The site plan depicts eight multi-family buildings, each comprising 24 units. These buildings are proposed to be three stories tall, slightly exceeding 39 feet. Additionally, the plan includes five garages, a cabana, a clubhouse with a pool, and various amenities such as a fire pit, community garden, dog park, and playground.

EXISTING ZONING & LAND USE



City of Hendersonville Current Zoning & Land Use Map

The subject property is a large vacant parcel located along I-26. It is a residual parcel remaining after the Stonecroft (Landings of Flat Rock) Development and the Summit at Hendersonville (Waterleaf Phase I) subdivided and developed the other sections of the parent tract. The property was annexed into the City as a satellite parcel on September 2, 2021, and subsequently rezoned by the City Council to Commercial Highway Mixed Use, a zoning district designated for the Upward Road Corridor.

The surrounding area includes a mix of City of Hendersonville and Henderson County zoning. The City parcels, concentrated near the interstate exit, feature a variety of commercial, residential, and mixed-use zoning designations. The Upward Road Corridor within Henderson County's jurisdiction is zoned Regional Commercial. Blue Ridge Community College, located nearby, is zoned Office and Institutional.

SITE IMAGES



View of the strip of land between Waterleaf Phase I and the Landings of Flat Rock, where a road was previously indicated on earlier site plans.

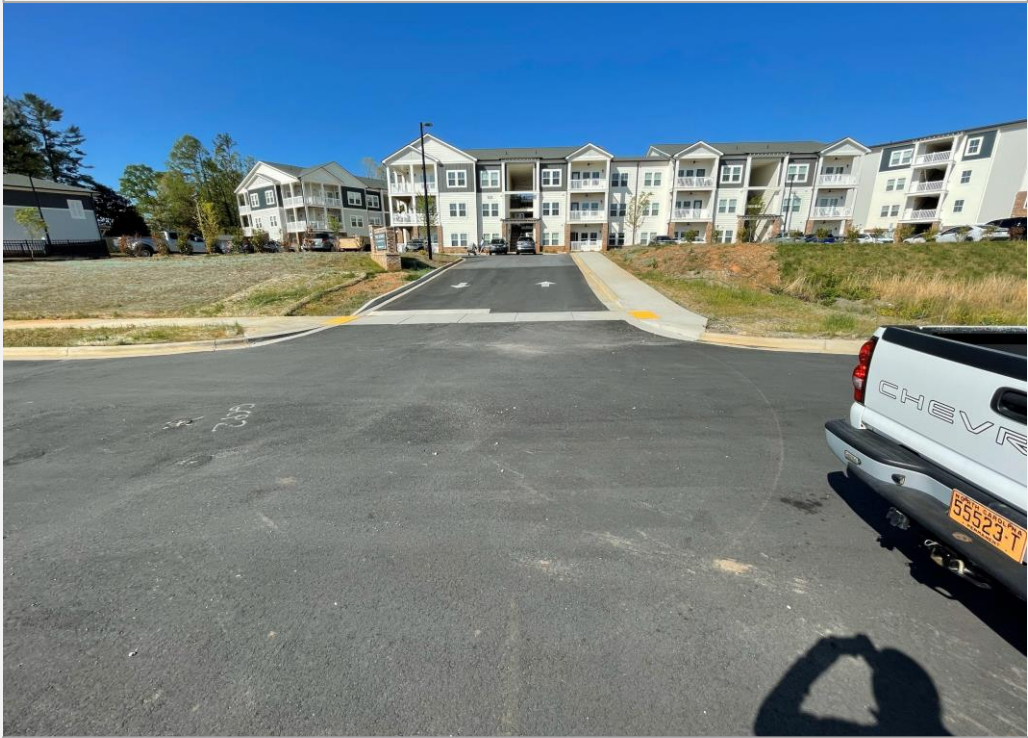


View of the subject property from Upward Crossing Drive.

SITE IMAGES



View of the sidewalks across from the subject property, which were constructed as part of Waterleaf Phase I to qualify for a density bonus.



View of Waterleaf at Flat Rock Phase I from the approximate location of the Ronan at Hendersonville entrance.

SITE IMAGES



Typical view of the subject property.



Mature trees located between the Waterleaf at Flat Rock Phase I property and the Landings at Flat Rock property.

SITE IMAGES

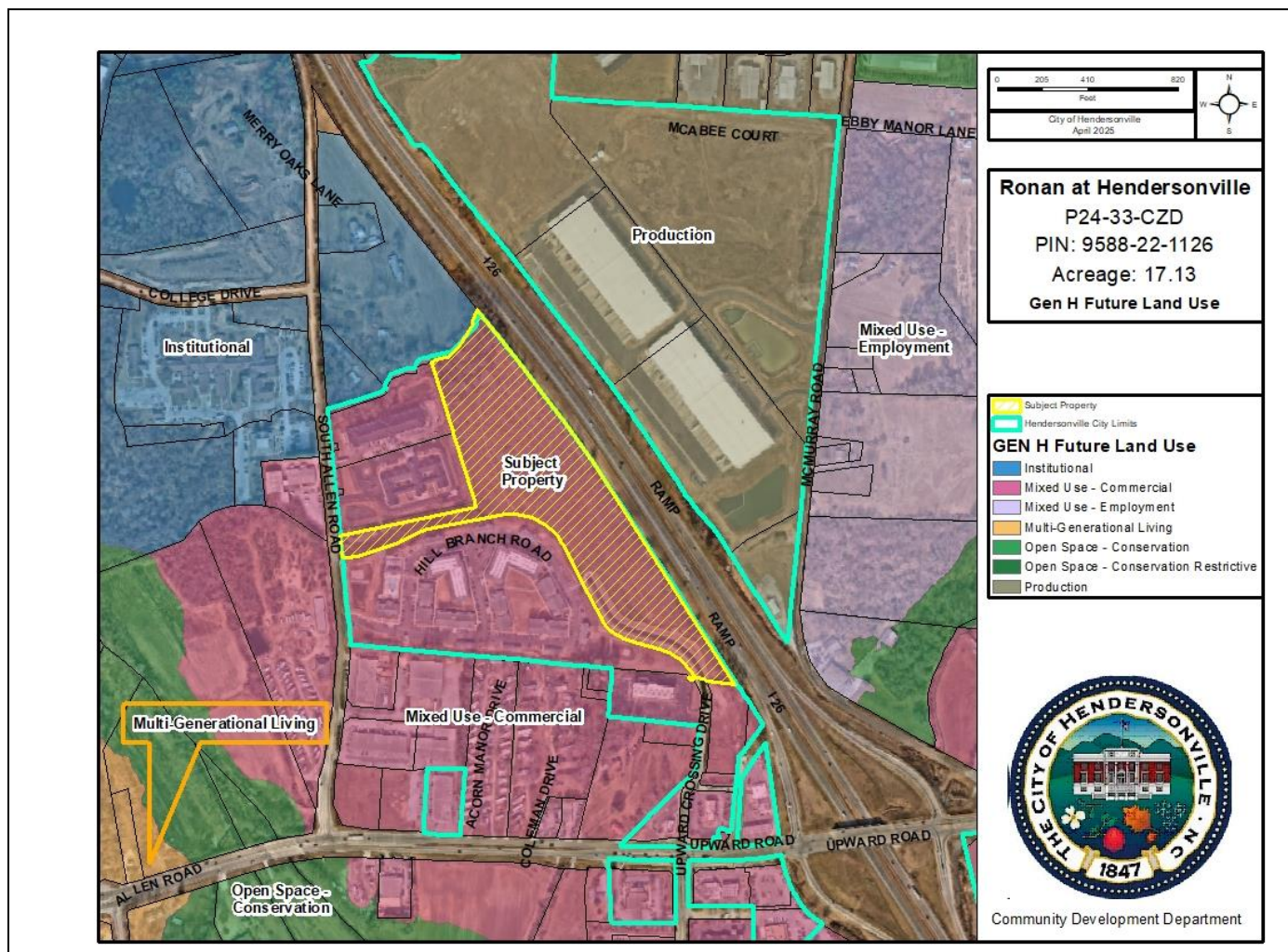


View of the mature grove of trees close to the stream to the northwest.



View of the blueline stream to the northwest.

FUTURE LAND USE



City of Hendersonville Future Land Use Map

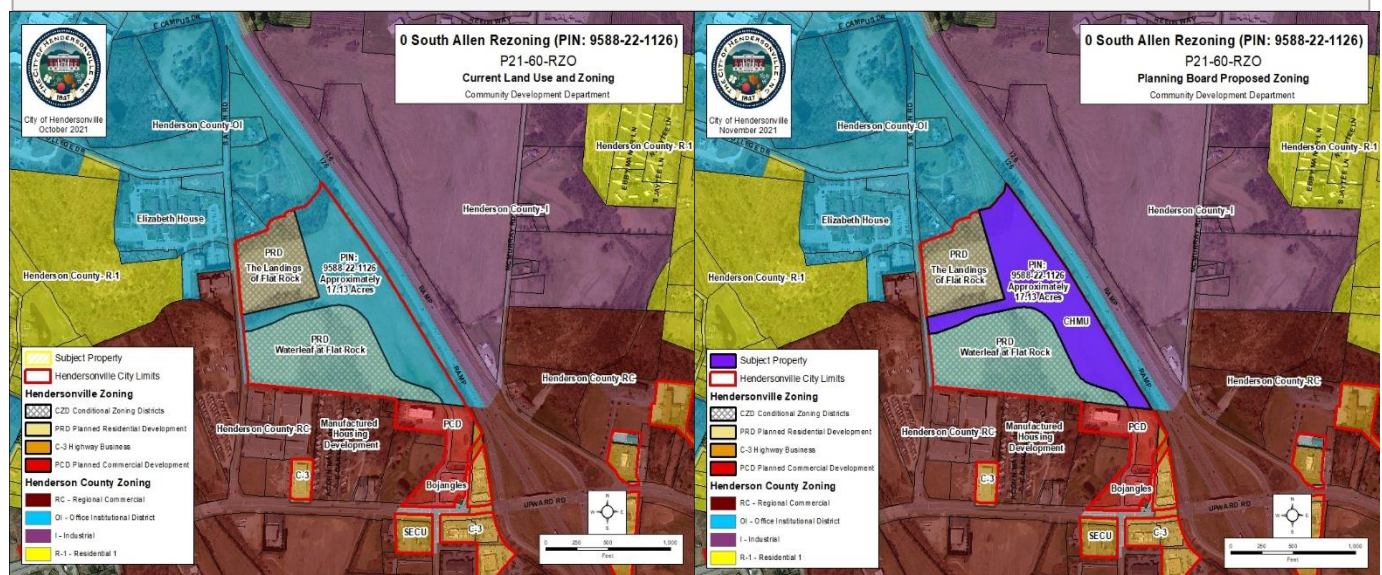
The subject property is designated as Mixed-Use Commercial. This designation follows the Upward Road frontage corridor starting at the Upward Road and South Allen Road Intersection and continues east to the edge of the map's boundary. Parcels to the northwest are designated as institutional, a designation associated with the Elizabeth House and Blue Ridge Community College. The parcels directly across I-26 from the subject property are designated as Industrial, a designation associated with the Blue Ridge Commerce Center which is 50% completed. Open Space Conservation is also found near the subject property; this designation follows Bat Fork Creek and its associated floodplain.

REZONING HISTORY

Prior Rezoning (P21-60-RZO)	Summary of Prior Petition	Status
1-6-2022 (County O&I to City CHMU)	17.13-acre tract that was annexed into the City and zoned CHMU as its initial City zoning district.	Active

Subject Property History

- September 2nd, 2021:** City Council annexed this parcel and the Waterleaf at Flat Rock Phase I parcel. At the time of annexation, they were both combined into a 32.66 acre parcel.
 - Meeting Minutes: <https://mccmeetings.blob.core.usgovcloudapi.net/hvlnC-pubu/MEET-Minutes-3cb3462df8a840ff9b290d0d871faal d.pdf>
- December 2nd, 2021:** The public hearing was opened by City Council and continued to the January 6th, 2022.
 - Meeting Minutes: <https://mccmeetings.blob.core.usgovcloudapi.net/hvlnC-pubu/MEET-Minutes-fd0bde158b6f4b7ea7b0bdf4e3f49cc7.pdf>
- January 6th, 2022:** City Council zoned the subject property CHMU. The applicant/owners of the property originally petition that the parcel be zoned C-3 due to it's I-26 frontage and their desire to have a commercial tenant (commercial uses are also permitted in CHMU), however, they became agreeable to CHMU after Planning Board recommended denial of the C-3 petition and recommend approval of the property being zoned CHMU.
 - Meeting Minutes: <https://mccmeetings.blob.core.usgovcloudapi.net/hvlnC-pubu/MEET-Minutes-7d5c21a0dc6840f0becb52143a824a4d.pdf>

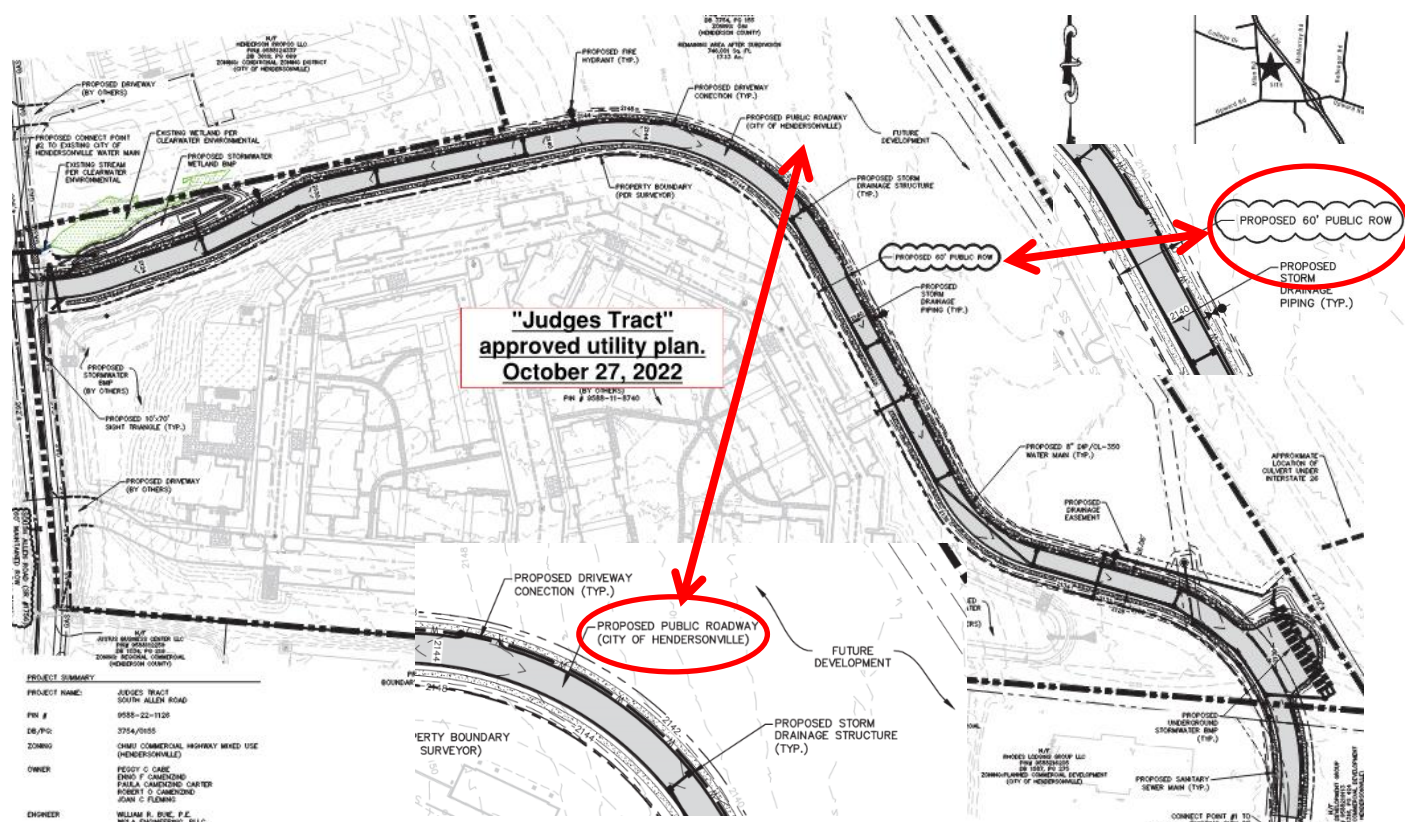


STAFF SITE PLAN REVIEW – SUMMARY COMMENTS**PROPOSED REQUEST DETAILS**

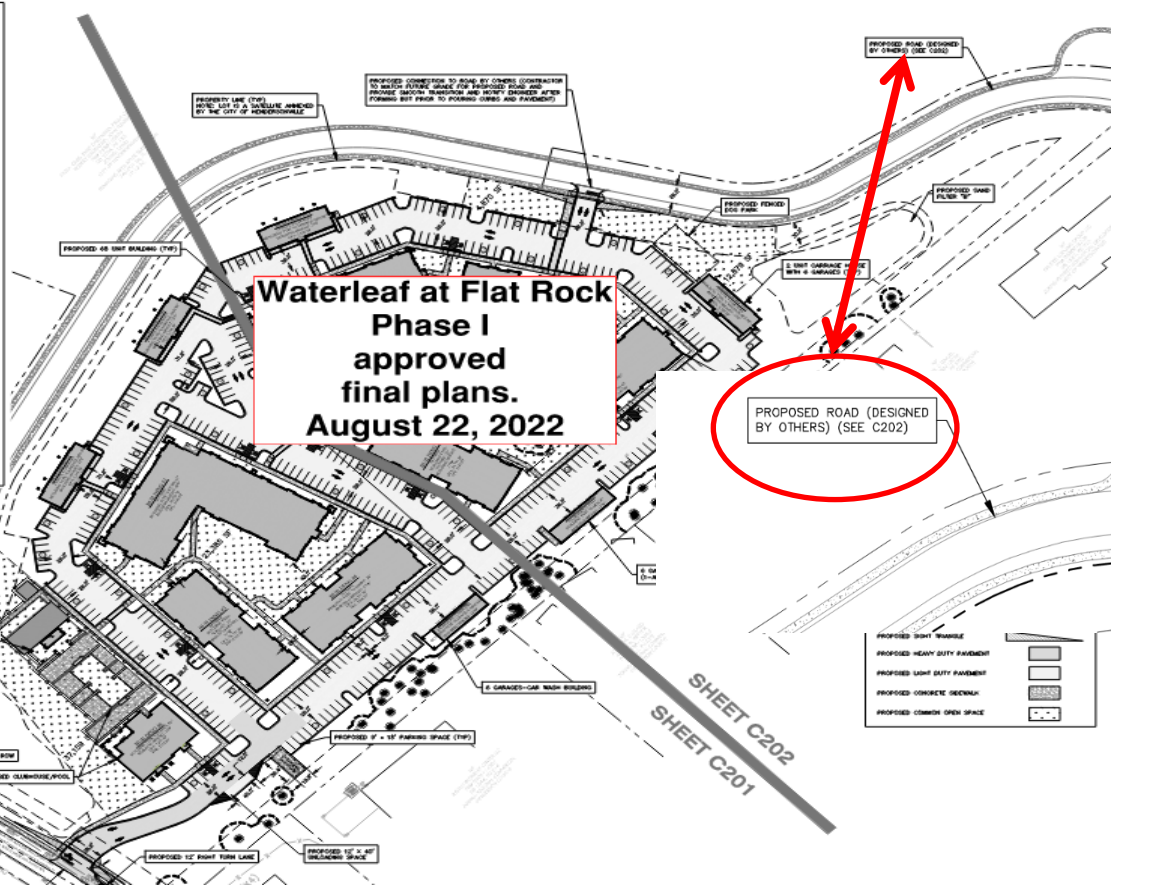
Site Plan Summary:

- Proposed Uses:
 - Residential dwellings, multi-family
 - Accessory uses & structures
- Buildings:
 - 8 apartment buildings 27,340 SF each (218,720 total).
 - Clubhouse 3,500 SF
 - 5 Garages 1,980 SF
 - Cabana 273 SF
- Building Design
 - The building/site is required to meet all building and design requirements of a Commercial Highway Mixed Use development, and this includes but is not limited to building materials, building offsets, building projections, building orientation, building scale, etc.
 - All buildings on site meet the design requirements for CHMU developments.
- Height
 - CHMU allows 4 stories for multi-family buildings.
 - Proposed-
 - 8 apartment buildings- 39' 2" (3 stories)
 - Clubhouse- 17' 11"
 - 5 Garages- 12' 9"
 - Cabana- 12'
- Transportation
 - The site plan shows two access points onto the site, both of which are coming off of Upward Crossing Drive.
 - The site plan proposes a cross-access easement through the Summit at Hendersonville Development (Waterleaf Phase I). This easement would allow permanent access from the Ronan development to S. Allen Road.
- Public roadway connection to S. Allen Road
 - City staff have asked that the developer provide a roadway connection between the existing Upward Crossing stub-out (which was constructed to public street standards as part of the Waterleaf Phase I project) and S. Allen Road. The design of this roadway connection should follow the public street design established by the Waterleaf Phase I project. The roadway connection has been shown at various stages. The roadway was shown on the Waterleaf Phase I final plans dated August 22, 2022 as a "road by

others". Additionally, the proposed roadway connection is shown in the approved 'Judges Tract' water and sewer extension plan, which was approved by City Engineering on October 27, 2022.



- NOTES**
1. ALL WORKMAN SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL REGULATORY REQUIREMENTS AND ALL REQUIREMENTS IN THE PROJECT TECHNICAL SPECIFICATIONS.
 2. SINGLE-PHASE CONSTRUCTION.
 3. ALL WORK SHALL BE PERFORMED BY A NORTH CAROLINA LICENSED CONTRACTOR.
 4. TO MINIMIZE THE REQUIRED DISTURBANCE ON ALL WORK, THE CONTRACTOR SHALL MAINTAIN EXISTING ADJACENT PROPERTIES TO REMAIN UNDISTURBED AND TO BE REPAIRED IN ACCORDANCE WITH AVAILABLE EVIDENCE OF APPLICABLE ADJACENT AT THE CONTRACTOR'S RISK.
 5. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING THE EXISTING LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE LOCATION OF UTILITIES SHOWN ON THE PLANS HAVE BEEN APPROXIMATELY LOCATED BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
 6. CONTRACTOR SHALL PROTECT EXISTING SITE FEATURES (TREES, TOPOGRAPHY, AND OTHER FEATURES) FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE TO EXISTING FEATURES SHALL BE REPAIRED IN ACCORDANCE WITH AVAILABLE EVIDENCE OF APPLICABLE ADJACENT AT THE CONTRACTOR'S RISK.
 7. THE CONTRACTOR IS TO MAINTAIN ALL UTILITIES EXISTING AT LEAST 10 FEET FROM THE PROPOSED CONSTRUCTION AREA. IF THE CONTRACTOR IS REQUIRED TO CROSS OR REMOVE ANY UTILITIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING THE EXISTING LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE LOCATION OF UTILITIES SHOWN ON THE PLANS HAVE BEEN APPROXIMATELY LOCATED BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
 8. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PROTECTIVE MEASURES TO MAINTAIN EXISTING ADJACENT PROPERTIES TO REMAIN UNDISTURBED AND TO BE REPAIRED IN ACCORDANCE WITH AVAILABLE EVIDENCE OF APPLICABLE ADJACENT AT THE CONTRACTOR'S RISK.
 9. ALL ROAD LAYOUT AND FROM FACE OF CURB UNLESS OTHERWISE NOTED. ALL PAVING AND FINISH SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PROTECTIVE MEASURES TO MAINTAIN EXISTING ADJACENT PROPERTIES TO REMAIN UNDISTURBED AND TO BE REPAIRED IN ACCORDANCE WITH AVAILABLE EVIDENCE OF APPLICABLE ADJACENT AT THE CONTRACTOR'S RISK.
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 14. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PROTECTIVE MEASURES TO MAINTAIN EXISTING ADJACENT PROPERTIES TO REMAIN UNDISTURBED AND TO BE REPAIRED IN ACCORDANCE WITH AVAILABLE EVIDENCE OF APPLICABLE ADJACENT AT THE CONTRACTOR'S RISK.
 15. MAINTENANCE OF ALL OPEN SPACE AREAS SHALL BE PERFORMED BY THE DEVELOPER'S PROPERTY MANAGEMENT GROUP, INC. AND SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.



- Given that this roadway connection has been consistently shown in multiple review processes and discussed previously, the City anticipated that this connection would be included in the development of this property. This roadway connection is supported by CHMU standards, specifically section 5-27-5 - Transportation, which states "It is the intent of these regulations to create interconnectivity between development parcels in order to provide alternative transportation routes to existing thoroughfares.", it further states "when development parcels have potential to provide access between major arterial roadways and adjoining parcels, developers are encouraged to utilize public streets, rather than private streets or driveways.". The need for such interconnectivity is also supported by the Gen H Comprehensive Plan (pages 112-113) and Section 18-6-4.6 of the Zoning Ordinance, which emphasizes the importance of interconnected street networks to disperse traffic.



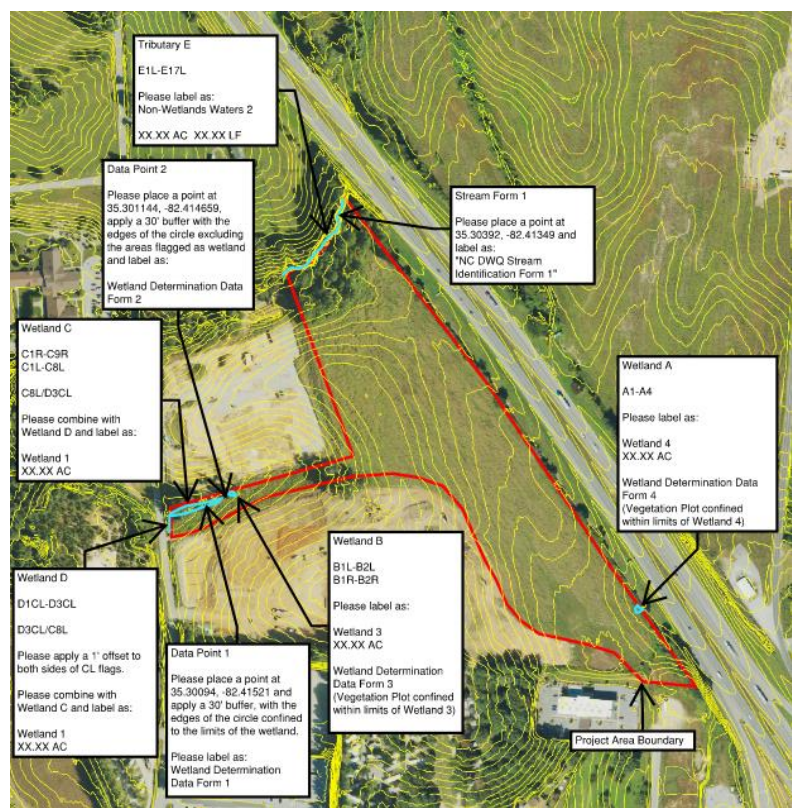
Building redundancy into the street network provides more routes and reduces congestion | CNU

○ Sidewalks

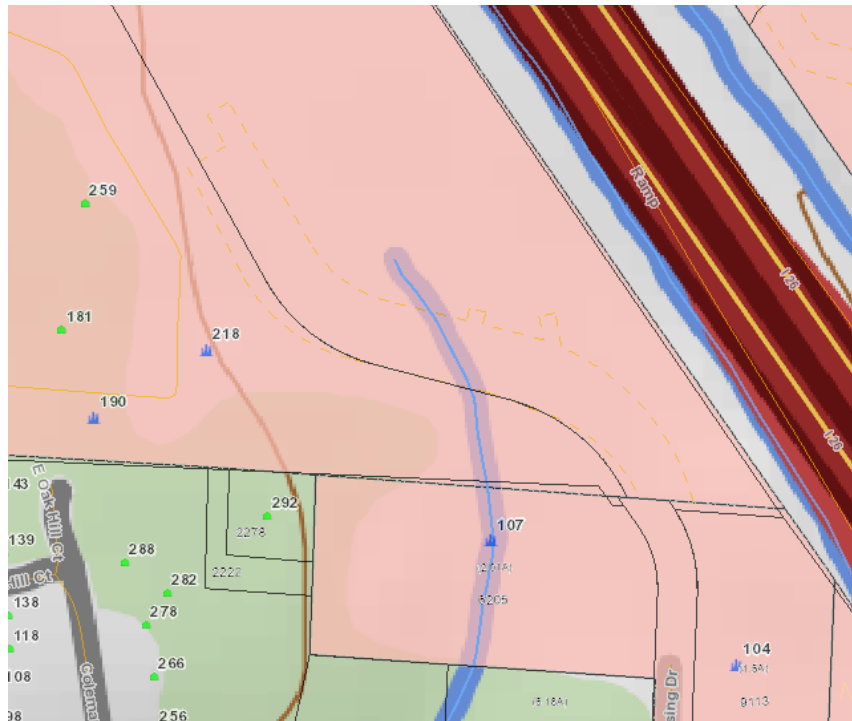
- Sidewalks are provided along the property frontage of Upward Crossing Drive.
- The developer is requesting a condition for the frontage sidewalks along the S. Allen Road property boundary. Staff **does not** support this condition, as it would eliminate a crucial connection between the Waterleaf Phase I sidewalks and the Landings at Flat Rock sidewalks.



- Lighting
 - All site lighting will be required to conform to the City’s lighting standards for multi-family developments as well as lighting for areas abutting stream buffers.
- Parking:
 - Required vs. proposed
 - 1 space for 1- and 2-bedroom units, 1.5 for 3+ bedroom units.
 - 1- or 2-bedroom units-168
 - 3+ bedroom units- 24
 - Total required- 204
 - Total provided- 324
 - CHMU requires “Off-street parking be located in the rear or side yard only and shall be screened from view from public roadways.”. The current design of the parking lots does not meet this requirement and the development is asking for a condition concerning their parking.
- Natural Resources
 - According to the latest USGS topographic maps there is a blueline stream on the northwestern portion of the subject property. This blueline stream will require an undisturbed 30’ stream buffer and 20’ transitional area with no impervious surfaces.
 - A wetland and stream delineation conducted by Blueline Environmental Consultants LLC shows a small wetland on the eastern portion of the subject property. It also shows wetlands on the eastern “pole” property area.



- The most recent USGS topographic maps indicate a blueline stream in the southwestern portion of the property. However, this stream was not identified in the stream and wetland delineation report. The US Army Corps have not yet confirmed the findings of Blueline Environmental Consultants LLC. The developer is requesting a condition requiring the Army Corps' confirmation of Blueline Environmental's report as a part of the final site plan approval. Should the Army Corps confirm the stream shown on the USGS maps, a stream buffer and transitional area will be required by ordinance.



- Planting requirements.
 - The site will be required to provide the following landscaping:
 - Vehicular use area plantings
 - Open Space plantings
 - Common Space plantings
 - Street trees
 - The new landscaping requirements are being met through new plantings and the utilization of tree credits for qualifying trees.
- Tree preservation
 - The site currently has 114,631 square feet of existing tree canopy (15.28%) of the site.
 - The development is proposing to retain a minimum of 34,389 square feet or 30%.
 - The applicants are choosing option 1 for tree preservation and will not be required to plant tier 2 plantings.

DEVELOPER-PROPOSED CONDITIONS:

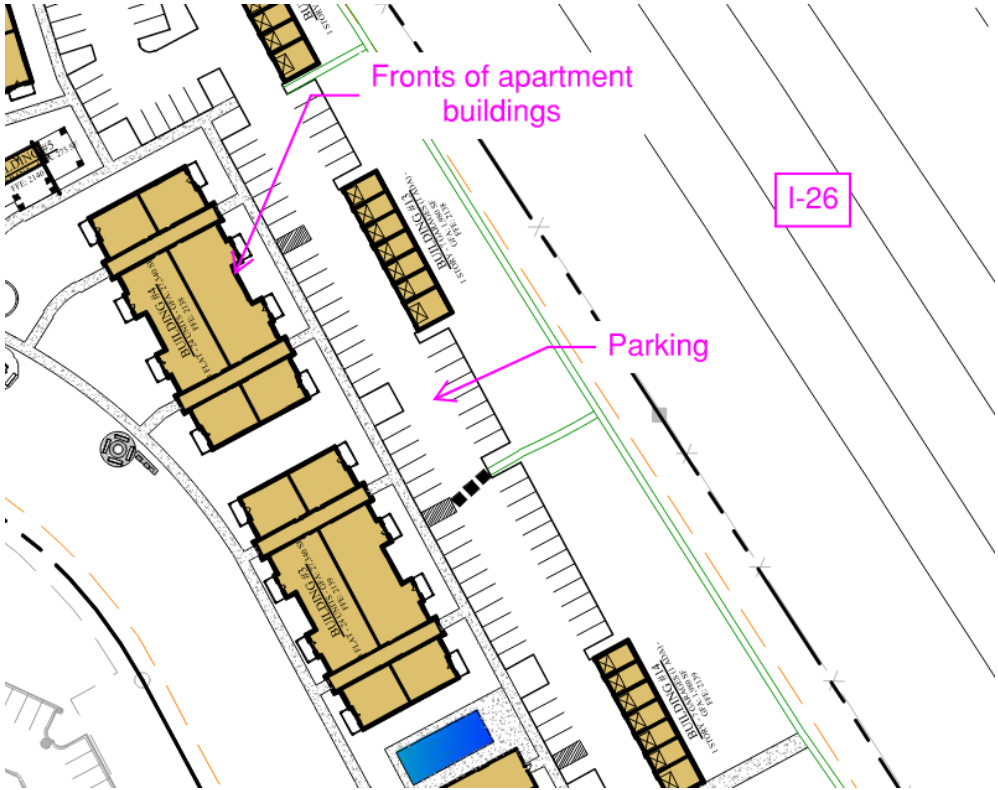
1. Request condition to remove the requirement of street connectivity & stub-outs per section 5-27-5-2-4 as the proposed project area is surrounded by new development that likewise do not have reciprocated stub outs.
2. An updated boundary survey will be provided for final design.
3. Jurisdictional letter confirmed by Army Corps of Engineers will be provided for final design.
 - Staff notes: The developer has hired a consultant to conduct a stream and wetland determination for the subject property. The findings of this delineation have not yet been confirmed by the Army Corps of Engineers. The developer is requesting that this confirmation be made during the final site plan review. The primary point of uncertainty is whether the blueline stream shown in the southwestern portion of the property is, in fact, a stream and subject to stream buffer protections. The currently provided delineation does not classify it as a stream.
4. Request to not provide sidewalk along S. Alen Road frontage to prevent wetland impact.
 - Staff notes: Although it appears that the sidewalk may potentially impact the wetlands, staff does not support forgoing this important sidewalk connection between two existing sidewalks.

Required 5' wide
sidewalk area.





5. Acknowledge that the CHMU requires off street parking to be located to the side or rear, but due to traffic and noise levels associated with the interstate, requiring parking be located adjacent to the interstate as shown in the current design to allow residents to be further from interstate.
- Staff notes- See clip from site plan below.



6. Developer shall install 1.5" minimum caliper trees instead of the 3" to 3.5" caliper trees as required for CHMU common space trees

OUTSTANDING ISSUES & CITY PROPOSED CONDITIONS:

COMMUNITY DEVELOPMENT

Site Plan Comments:

- The site plan accompanying this petition meets the standards established by the Zoning Ordinance for Commercial Highway Mixed Use Developments (5-27) (minus any developer proposed conditions).
 - Comments that will be reviewed/addressed during final site plan review process and do not need to be addressed during the preliminary site plan review process:
 - Landscaping:
 - All final landscaping comments will be addressed as part of the final site plan approval between City staff and the project designer in accordance with the City's ordinances.

Proposed City-Initiated Conditions:

- "The developer shall record a 24' wide cross access easement as shown on sheet C200 between the Ronan at Hendersonville Project (Waterleaf Phase 2) and the Summit at Hendersonville Project (Waterleaf Phase I). Thus, providing permanent access from the Ronan at Hendersonville Development to S. Allen Road." **This condition was agreed to by the developer.**
- "The development shall provide a roadway connection between the current dead end of Upward Crossing and S. Allen Road. This roadway connection is supported by the zoning ordinance, comprehensive plan, and transportation best practices. The connection shall follow the public roadway design established with the existing Waterleaf Phase I extension." **This condition was not agreed to by the developer.**

DEVELOPMENT REVIEW COMMITTEE COMMENTS:

The Development Review Committee consists of the following Departments/Divisions and Agencies: Engineering, Water/Sewer, Fire Marshal, Stormwater Administration, Floodplain Administration, Public Works, NCDOT, Henderson County Soil & Erosion Control and the City's Traffic Consultant. While all pertinent members of the DRC reviewed this project, staff have provided only the relevant/outstanding comments / conditions below:

TRANSPORTATION CONSULTANT (KIMLEY HORN)

TIA Comments:

- The Traffic Impact Analysis for the development was submitted on July 29th, 2024, by the developer's traffic consultant DRMP. The City's traffic consultant Kimley Horn provided their review comments on August 5th 2024. Kimley Horn stated that "Based on a technical review of the TIA as submitted, the

- analysis and recommendations as stated are acceptable and no revisions are required.”
- The TIA was based on the premise that access to Upward Road would be provided via a connection to Upward Crossing Drive while connection to South Allen Road is to be provided via connectivity to Phase I of the Waterleaf at Flat Rock development.
 - The expected **new** trip generation for the proposed development is as follows:
 - 1,306 Daily Trips
 - 82 AM Peak Hour Trips
 - 103 PM Peak Hour Trips

TIA Proposed Mitigation:

- Upward Road and Upward Crossing Drive
 - DRMP’s Response: Based on the findings of this study, no specific geometric or traffic control improvements have been identified.
 - Kimley Horn’s Response: This intersection is projected to experience a change in LOS from B to C based on an increase in delay by 1 second in the AM peak hour. Considering the small increase in overall delay and all movements are projected to have no change in LOS, we concur with the recommendation of no mitigation as reported in the TIA.
- Upward Road and I-26 WB Ramps
 - Based on the findings of this study, no specific geometric or traffic control improvements have been identified.
 - Kimley Horn’s Response: Concur.
- Upward Road and I-26 EB Ramps
 - Based on the findings of this study, no specific geometric or traffic control improvements have been identified.
 - Kimley Horn’s Response: Concur.
- Upward Road and South Allen Road
 - Based on the findings of this study, no specific geometric or traffic control improvements have been identified.
 - Kimley Horn’s Response: Concur.
- Hill Branch Road and South Allen Road
 - Based on the findings of this study, no specific geometric or traffic control improvements have been identified.
 - Kimley Horn’s Response: Concur.

FIRE DEPARTMENT

- Appendix D of the Fire Code.
 - Per Appendix D, secondary access is required for the development. The second access provided does not meet the requirements for remoteness. Secondary access needs to be further apart **OR all** buildings must have a sprinkler system (including the nonresidential buildings).
 - The developer proposes to sprinkle all buildings in order to keep the current access points where they are.

REZONING ANALYSIS – GENERAL REZONING STANDARDS (ARTICLE 11-4)

GENERAL REZONING STANDARDS	
1) Comprehensive Plan Consistency	Land Supply, Suitability & Intensity The subject property was not listed on the land suitability or supply maps. The subject property is within the focused intensity node of the I-26 Interchange.
	Future Land Use & Conservation Map- See Gen H appendix. Designation: Mixed Use Commercial Character Area Description: Somewhat Consistent Zoning Crosswalk: Consistent
2) Compatibility	Whether and the extent to which the proposed amendment is compatible with existing and proposed uses surrounding the subject property –
	The proposed development follows a design similar to that of the adjacent developments (Summit at Hendersonville (Waterleaf Phase I) and Stonecroft (Landings at Flat Rock). If approved and constructed, this development would complete the buildout of the overall parent parcel for these three developments. The development places residents within walking distance of dining, retail, and banking amenities.
3) Changed Conditions	Whether and the extent to which there are changed conditions, trends or facts that require an amendment -
	The subject property is currently annexed and zoned Commercial Highway Mixed Use. The proposed project aligns with the underlying zoning and design requirements for this district. It is required to be reviewed as a conditional zoning district due to the number of dwelling units proposed.
4) Public Interest	Whether and the extent to which the proposed amendment would result in a logical and orderly development pattern that benefits the surrounding neighborhood, is in the public interest and promotes public health, safety and general welfare -
	According to the 2024 Housing Needs Assessment, Henderson County requires an estimated 10,000 new housing units over the next five years. Of these, at least 2,000 units are needed in Hendersonville for low-to-moderate income households. Over the past five years, the City of Hendersonville has approved 1,938 multi-family units. If this project is approved, the total number of recently approved multi-family units in Hendersonville would rise to 2,130. However, of the 1,938 units approved, only 1,825 are currently active. Additionally, only 163 of the approved active units are affordable for citizens earning between 30% and 80% of the Area Median Income (AMI).
5) Public Facilities	Whether and the extent to which adequate public facilities and services such as water supply, wastewater treatment, fire and police protection and transportation are available to support the

	proposed amendment
	The site will be served with City water and sewer. The whole property was annexed as part of the Waterleaf Phase I development.
6) Effect on Natural Environment	Whether and the extent to which the proposed amendment would result in significantly adverse impacts on the natural environment including but not limited to water, air, noise, storm water management, streams, vegetation, wetlands and wildlife -
	According to the 2008 floodplain maps, no part of this property is located within the floodplain or floodway. However, the most recent USGS topographic maps, along with a wetland and stream delineation conducted by Blueline Environmental, show a blue line stream along the northwestern property boundary and wetlands along the eastern and western boundaries. The delineation by Blueline Environmental does not identify the blue line stream on the southwestern property boundary, which is depicted on the USGS maps. As indicated in the site plans, the development currently includes 114,631 square feet of tree canopy, covering 15.28% of the site. The proposed development will retain 34,389 square feet, or 30%, of the existing tree canopy.

DRAFT COMPREHENSIVE PLAN CONSISTENCY AND REZONING REASONABLENESS STATEMENT

The petition is found to be **consistent** with the City of Hendersonville Gen H 2045 Comprehensive Plan based on the information from the staff analysis and the public hearing, and because:

The petition is consistent with a range of Goals, Guiding Principles and the Future Land Use Designation of Chapter IV of the Gen H Comprehensive Plan.

We **[find/do not find]** this petition to be reasonable and in the public interest based on the information from the staff analysis and the public hearing, and because:

DRAFT [Rationale for Approval]

- The proposed development further supports the growth of this area as a multi-family node along the I-26 corridor, placing residents in close proximity to I-26, Blue Ridge Community College, a bank, and other commercial amenities.*
- The proposed development adds needed housing to help address local demand.*

DRAFT [Rational for Denial]

- The proposed development does not align with the interconnectivity guidance outlined in the zoning ordinance and comprehensive plan, as it fails to include stub outs or explore opportunities for better connectivity and traffic dispersion.*

Ronan at Hendersonville (P24-33-CZD)			
Chapter 4 - The Vision for the Future	Consistent	Inconsistent	Staff Notes
SUPPLY, SUITABILITY, & INTENSITY			
LAND SUPPLY MAP (Pg. 81, Figure 4.4)	N/A		The subject property is not listed on the land supply map.
LAND SUITABILITY MAP (Pg. 84-86, Figure 4.5-4.7)	N/A		The subject property is not listed on the land suitability map.
DEVELOPMENT INTENSITY MAP (Pg. 89, Figure 4.9)	Consistent		The subject property is within the focused intensity node of the I-26 Interchange
FUTURE LAND USE & CONSERVATION MAP			
Future Land Use and Conservation Map (Note classification here, Pg. 117, Figure 4.12)	Mixed Use Commercial		
Character Area Description (Pg. 122-131)	Somewhat Consistent		The project does not propose a mix of uses within the development.
Zoning Crosswalk (Pg. 132-133, Figure 4.18)	Consistent		

Ronan at Hendersonville (P24-33-CZD)			
Chapter 4 - The Vision for the Future	Consistent	Inconsistent	Staff Notes
GOALS			
Vibrant Neighborhoods (Pg. 93)			
Promote lively neighborhoods that increase local safety.	Consistent		
Enable well-maintained homes, streets, and public spaces.	Consistent		
Promote diversity of ages (stage of life), income levels, and a range of interests.	Consistent		
The design allows people to connect to nearby destinations, amenities, and services.	Somewhat Consistent		The development will be easily accessed on the Upward Crossing Drive side, but not easily accessible on the South Allen Road side.
Abundant Housing Choices (Pg. 93)			
Housing provided meets the need of current and future residents.	Consistent		
Range of housing types provided to help maintain affordability in Hendersonville.	Somewhat Consistent		The development does provided market rate housing, however no "affordable" units have been presented.
Housing condition/quality exceeds minimum standards citywide	Consistent		The apartment complex will meet all design requirements of CHMU zoning (minus any conditions).
Healthy and Accessible Natural Environment (Pg. 94)			
Recreational (active and passive) open spaces are incorporated into the development.	Consistent		
Water quality is improved with the conservation of natural areas that serve as filters and soil stabilizers.	Consistent		The development will be required to provide a stream buffer and transition area
Natural system capacity (floodplains for stormwater; habitats to support flora/fauna; tree canopy for air quality, stormwater management, and microclimate) is maintained.	Consistent		The development is saving 30% of the existing tree canopy and providing protections for the stream.
Development is compact (infill/redevelopment) to minimize the ecological footprint.		Inconsistent	The development is occurring on a vacant piece of land that was once used for agriculture.
New development respects working landscapes (e.g., orchards, managed forests), minimizing encroachment.	Somewhat Consistent		The development is preserving mature trees within the property but the overall site is a once agricultural site.
Authentic Community Character (Pg. 94)			
Downtown remains the heart of the community and the focal point of civic activity	N/A		
A development near a gateway sets the tone, presenting the image/brand of the community.	Consistent		The development follows the guidelines of CHMU, the district designed for Upward Road.
Historic preservation is utilized to maintain the city's identity.	N/A		

City Centers and neighborhoods are preserved through quality development.	N/A		
Safe Streets and Trails (Pg. 95)			
Interconnectivity is promoted between existing neighborhoods through the building out of street networks, including retrofits and interconnectivity of new developments.		Inconsistent	No street connection between S. Allen Road and Upward Crossing Drive is proposed. This is conflicting from what has been previously shown for this site.
Access is increased for all residents through the provision of facilities that promote safe walking, biking, transit, automobile, ride share, and bike share.	Consistent		A walking trail is provided on site and the development will extend sidewalks along Upward Crossing Drive.
Design embraces the principles of walkable development.	Consistent		
Reliable & Accessible Utility Services			
Wastewater treatment (service and capacity) adequately serves existing and future development	Consistent		
A compact service area (infill, redevelopment) maximizes the utilization of existing infrastructure and feasible service delivery.	Somewhat Consistent		The development will utilize utilities provided by Waterleaf Phase I, but this site isn't considered redevelopment.
Satisfying Work Opportunities (pg. 96)			
The development promotes quality job options.	N/A		
The lives of residents are enriched with opportunities to learn, build skills, and grow professionally.	Consistent		The project is located near Blue Ridge Community College.
Welcoming & Inclusive Community			
Accessibility exceeds minimum standards of ADA, fostering residents' and visitors' sense of belonging.	Consistent		
An inviting public realm (i.e., parks, public buildings) reflects the attitudes of city residents and leaders, and helps residents develop a sense of place and attachment to Hendersonville.	N/A		
Accessible & Available Community Uses and Services (Pg. 97)			
Private development is plentiful, meeting the demands of current and future populations.	Consistent		
Resilient Community			
N/A			
GUIDING PRINCIPALS (pg. 98)			
Mix of Uses (Pg. 98)			
Revitalization of Outdated Commercial Areas	N/A		
New business and office space promotes creative hubs.	N/A		
Compact Development (Pg. 100)			
Development is consistent with efforts in the area to establish 15-minute neighborhoods.	Consistent		
The infill project is context sensitive [Large Infill Site].	Consistent		
Sense of Place (Pg. 102)			
The development contributes to Hendersonville's character and the creation of a sense of place through its architecture and landscape elements. [Place keeping and Placemaking and 3rd Places]	Consistent		
Conserved & Integrated Open Spaces (Pg. 106)			
A diverse range of open space elements are incorporated into the development.	Consistent		
Desirable & Affordable Housing (Pg. 108)			

Missing middle housing concepts are used in the development.		Inconsistent	"Having more missing middle housing in Hendersonville would provide more diverse housing options for both renters and owners and help to foster socioeconomic diversity in the community. It would be a welcome change compared to the largescale, standalone garden apartment complexes that have been built in Hendersonville over the last decade."
Connectivity (Pg. 112)			
The development encourages multimodal design solutions to enhance mobility.	Somewhat Consistent		The proposed development provides pedestrian amenities through the site and from the site on Upward Crossing Drive. However, pedestrian or vehicular mobility is not provided to S. Allen Road (without using Waterleaf Phase I).
Efficient & Accessible Infrastructure (Pg. 114)			
The development utilizes existing infrastructure	Consistent		

RONAN AT HENDERSONVILLE

HENDERSONVILLE, NORTH CAROLINA

PREPARED FOR:
GRAYCLIFF CAPITAL DEVELOPMENT, LLC
200 EAST BROAD STREET, SUITE 220
GREENVILLE, SC 29601
JAY LEE
(864) 679-4799

DEVELOPER PROPOSED CONDITIONS:

1. REQUEST CONDITION TO REMOVE THE REQUIREMENT OF STREET CONNECTIVITY & STUB-OUTS PER SECTION 5-27-5.2.4 AS THE PROPOSED PROJECT AREA IS SURROUNDED BY NEW DEVELOPMENT THAT UKEWISE DO NOT HAVE RECIPROCATED STUB OUTS.
2. AN UPDATED BOUNDARY SURVEY WILL BE PROVIDED FOR FINAL DESIGN.
3. JURISDICTIONAL LETTER CONFIRMED BY ARMY CORP OF ENGINEERS WILL BE PROVIDED FOR FINAL DESIGN.
4. REQUEST TO NOT PROVIDE SIDEWALK ALONG S. ALLEN FRONTAGE TO PREVENT WETLAND IMPACT.
5. ACKNOWLEDGE THAT CHMU REQUIRES OFF STREET PARKING TO BE LOCATED TO THE SIDE OR REAR, BUT DUE TO TRAFFIC AND NOISE LEVELS ASSOCIATED WITH THE INTERSTATE, REQUESTING PARKING BE LOCATED ADJACENT TO THE INTERSTATE AS SHOWN IN CURRENT DESIGN TO ALLOW RESIDENTS TO BE FURTHER FROM INTERSTATE.
6. DEVELOPER SHALL INSTALL 1.5" MINIMUM CALIPER TREES INSTEAD OF THE 3" TO 3.5" CALIPER TREES AS REQUIRED BY CHMU COMMON SPACE TREES.

CITY PROPOSED CONDITIONS:

1. THE DEVELOPER SHALL RECORD A 24' WIDE CROSS ACCESS EASEMENT AS SHOWN ON SHEET C200 BETWEEN THE RONAN AT HENDERSONVILLE PROJECT (WATERLEAF PHASE 2) AND THE SUMMIT AT HENDERSONVILLE PROJECT (WATERLEAF PHASE 1), THUS PROVIDING PERMANENT ACCESS FROM THE RONAN AT HENDERSONVILLE DEVELOPMENT TO S. ALLEN ROAD.

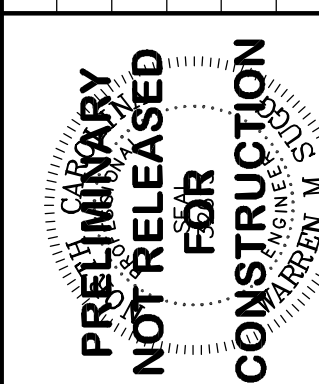
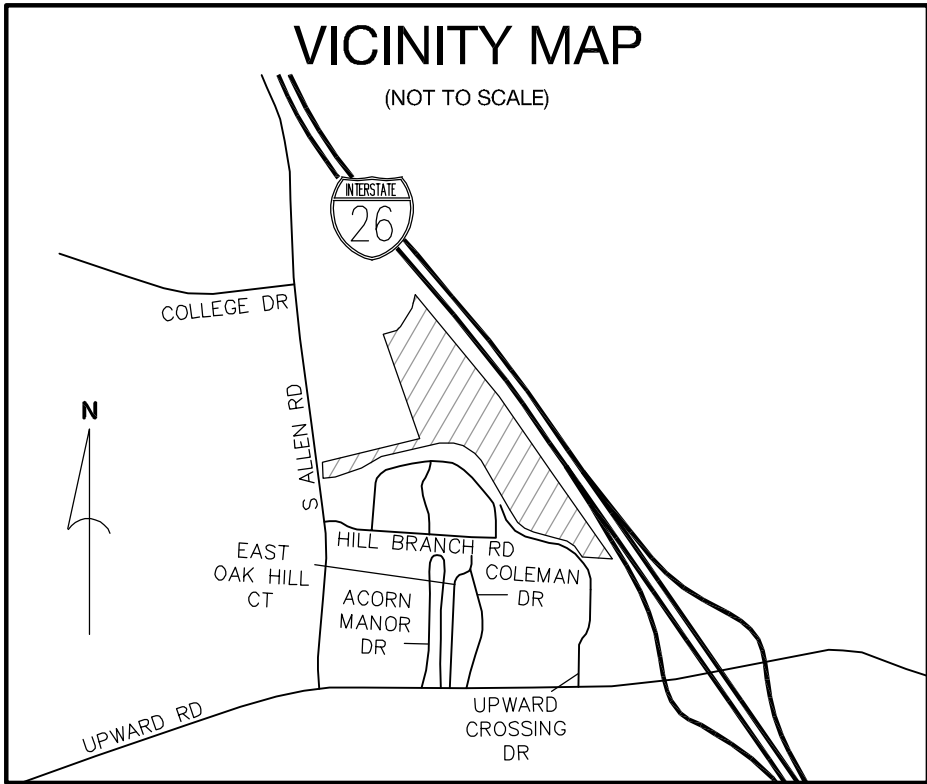
INDEX OF SHEETS

SHEET NO	TITLE	REV.
C000	COVER	1
C101	EXISTING CONDITIONS & DEMOLITION PLAN	1
C200	MASTER SITE PLAN	1
C201	SITE PLAN	1
C301	GRADING & STORM DRAINAGE PLAN	1
C601	UTILITY PLAN	1
L101	LANDSCAPE & RESOURCE LAYOUT	1
L102	TREE CANOPY PRESERVATION PLAN	1

DEVELOPMENT DATA

OWNER/DEVELOPER: GRAYCLIFF CAPITAL DEVELOPMENT, LLC
200 EAST BROAD STREET, SUITE 220
GREENVILLE, SC 29601
JAY LEE
(864) 679-4799

CIVIL ENGINEER: CIVIL DESIGN CONCEPTS, P.A.
168 PATTON AVENUE
ASHEVILLE, NC 28601
WARREN SUGG, P.E.
(828) 252-5388



RONAN AT HENDERSONVILLE

DRAWN BY: K/WN
CDC PROJECT NO.: 12135
XXX PERMIT NO.: xxx

SHEET

C000

FOR REVIEW ONLY

COVER FOR:

NO.	DATE	DESCRIPTION	BY
1	04/04/2025	CITY OF HENDERSONVILLE CZ SUBMITTAL	MAD
2	04/21/2025	CITY OF HENDERSONVILLE CZ RESUBMITTAL	MAD
3	04/25/2025	CITY OF HENDERSONVILLE CZ RESUBMITTAL	MAD
4	04/28/2025	CITY OF HENDERSONVILLE CZ RESUBMITTAL	MAD

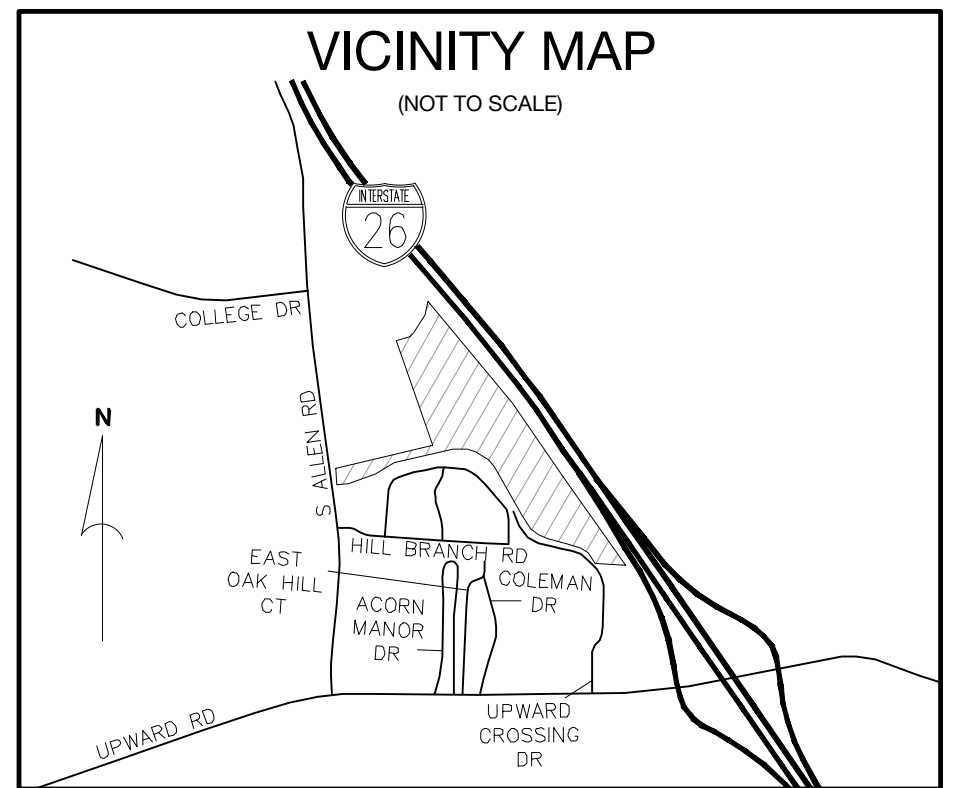
Civil Design Concepts, PA
www.civildesignconcepts.com

168 PATTON AVENUE
ASHEVILLE, NC 28601
PHONE (828) 252-5388
FAX (828) 252-5388

52 WALNUT STREET - SUITE 9
WAYNESVILLE, NC 27786
PHONE (828) 462-4410
FAX (828) 462-5965

NCBELS LICENSE #: C-2184

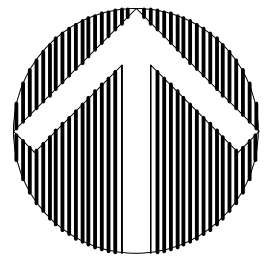
1. DEVELOPER WILL BE RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF THE OPEN SPACE.
2. ALL UTILITIES SERVICE LINES AND CONNECTIONS WILL BE UNDERGROUND.
3. ALL PROPOSED BUILDINGS TO BE SPRINKLED.



OWNER:	THE CEMENZINDS 5133 BOYSLTON HIGHWAY MILLS RIVER, NC 28759
CONTACT:	ROBERT CEMENZIND
DEVELOPER:	GRAYCLIFF CAPITAL DEVELOPMENT, LLC 200 EAST BROAD STREET, SUITE 220 GREENVILLE, SC 29601
CONTACT:	JAY LEE (864) 679-4799
CIVIL ENGINEER:	CIVIL DESIGN CONCEPTS, P.A. 168 PATTON AVENUE ASHEVILLE, NC 28801
CONTACT:	WARREN SUGG, P.E. (828) 252-5388
SURVEYOR:	ATLAS SURVEYING, INC. 13331 YORK CENTER DRIVE, SUITE E CHARLOTTE, NC 28273
CONTACT:	KEITH BURNS, P.L.S. (980) 949-8475
ARCHITECT:	STEELE GROUP ARCHITECTS 217 WEST SIXTH STREET WINSTON SALEM, NC 27011
CONTACT:	MIKE OSMAN, A.I.A. (336) 734-2003

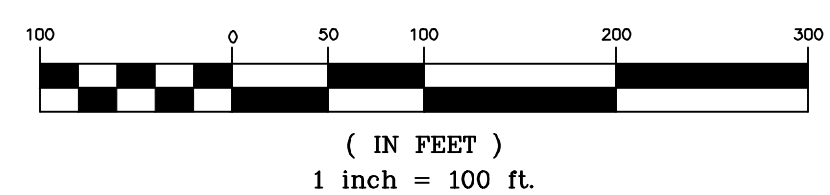
PIN:	9588-22-1126
ADDRESS:	UPWARD ROAD EXT (S. ALLEN ROAD)
DEED BOOK/PAGE:	4091/552
PROJECT ACREAGE:	17.13± ACRES
CURRENT ZONING:	CHM (COMMERCIAL HIGHWAY MIXED USE)
PROPOSED ZONING:	CHMU-CZD
DENSITY:	11.21 UNITS/ACRE (192 TOTAL UNITS)
SETBACKS:	
FRONT:	10'
SIDE:	20' (15'+5')
REAR:	20' (15'+5')
DISTURBED AREA:	12.0± AC

<u>PARKING CALCULATIONS:</u>			
VEHICULAR:			
REQUIRED SPACES:	(1 OR 2 BED UNITS)	1.0 X 168=168	
	(3+ BED UNITS)	<u>1.5 X 24= 36</u>	
TOTAL SPACES REQUIRED:			204
SPACES PROVIDED:			324
HANDICAPPED SPACES:			
SPACES REQUIRED: 7	SPACES PROVIDED: 20		
<u>BUILDING DATA:</u>			
<u>BUILDING</u>	<u>DESCRIPTION</u>	<u>HEIGHT</u>	<u>GFA</u>
1,3-4,6-10	3 STORIES	39'-2' 4"	27,340 SF
2	CLUBHOUSE	18'-9"	3,560 SF
11-15	GARAGES	8'	1,980 SF
5	CABANA	12'	273 SF
<u>OPEN SPACE CALCULATIONS:</u>			
OPEN SPACE:			
REQUIRED: 10.27 AC (60%)	PROVIDED: 10.27 AC		
COMMON SPACE:			
REQUIRED: 1.71 AC (10%)	PROVIDED: 1.71 AC		
BUILDINGS:			
REQUIRED: <3.42 AC (12%)	PROVIDED: 2.14 AC (12%)		
STREETS/PARKING (VUA):	PROVIDED: 2.61 AC (15%)		
OTHER:	N/A		
LANDSCAPE REQUIREMENTS: SEE L101 LANDSCAPE & RESOURCE PLAN			
<u>IMPERVIOUS CALCULATIONS:</u>			
	<u>IMPERVIOUS</u>	<u>PERVIOUS</u>	
PRE-DEVELOPMENT:	0.00 ACRES (0%)	17.13 ACRES (100%)	
POST-DEVELOPMENT:	5.64 ACRES (33%)	11.49 ACRES (67%)	



NORTH

GRAPHIC SCALE



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NCBELS LICENSE # C-2164

	NO.	DATE	DESCRIPTION	BY
	1	04/04/2025	CITY OF HENDERSONVILLE CZ SUBMITTAL	MAD
	2	04/21/2025	CITY OF HENDERSONVILLE CZ RESUBMITTAL	MAD
	3	04/25/2025	CITY OF HENDERSONVILLE CZ RESUBMITTAL	MAD

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FOR
CONSTRUCTION

EXISTING CONDITIONS & DEMOLITION PLAN FOR:

RONAN AT HENDERSONVILLE

GRAYCLIFF CAPITAL DEVELOPMENT, LLC - HENDERSONVILLE, NORTH CAROLINA

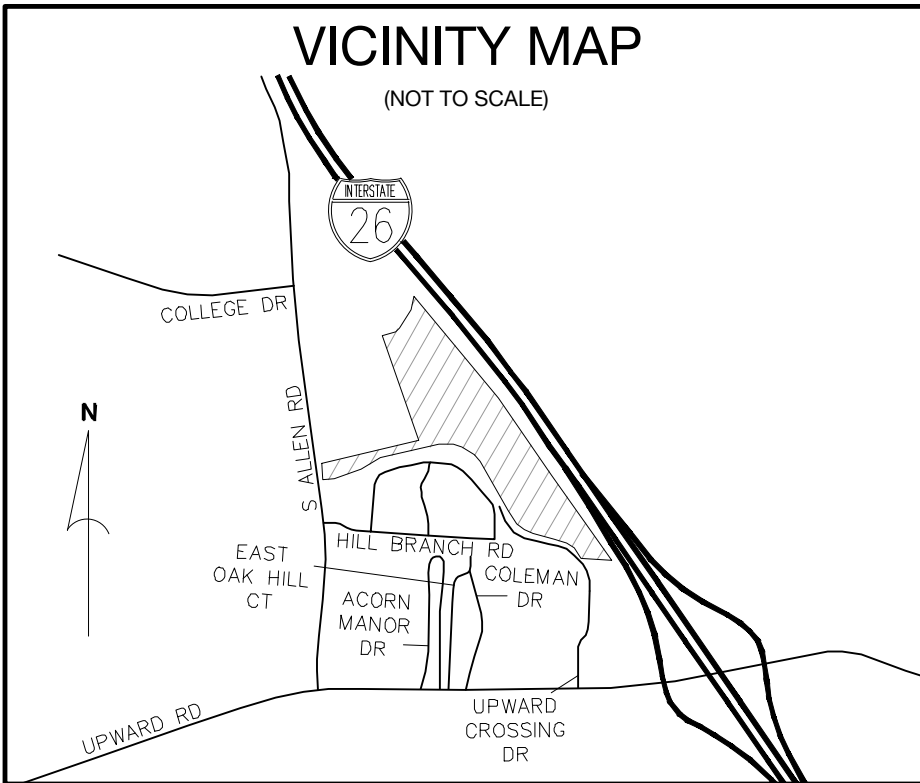
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CDC PROJECT NO.:	12135
XXX PERMIT NO.	xxx

SHEET

C101

CITY OF HENDERSONVILLE NOTES

1. DEVELOPER WILL BE RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF THE OPEN SPACE.
2. ALL UTILITIES SERVICE LINES AND CONNECTIONS WILL BE UNDERGROUND.
3. ALL PROPOSED BUILDINGS TO BE SPRINKLED.

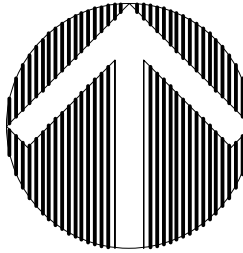


DEVELOPMENT DATA	
OWNER:	THE CAMENZINDS 5133 BOYLSTON HIGHWAY MILLS RIVER, NC 28759 ROBERT CAMENZIND
CONTACT:	
DEVELOPER:	GRAYCLIFF CAPITAL DEVELOPMENT, LLC 200 EAST BROAD STREET, SUITE 220 GREENVILLE, SC 29601 JAY LEE (864) 679-4799
CONTACT:	
CIVIL ENGINEER:	CIVIL DESIGN CONCEPTS, P.A. 168 PATTON AVENUE ASHEVILLE, NC 28801 WARREN SUGG, P.E. (828) 252-5388
CONTACT:	
SURVEYOR:	ATLAS SURVEYING, INC. 13331 YORK CENTER DRIVE, SUITE E CHARLOTTE, NC 28273 KEITH BURNS, P.L.S. (980) 949-8475
CONTACT:	
ARCHITECT:	STEELE GROUP ARCHITECTS 217 WEST SIXTH STREET WINSTON SALEM, NC 27101 MIKE OSMAN, A.I.A. (336) 734-2003
CONTACT:	

PROJECT DATA	
PIN:	9588-22-1126
ADDRESS:	UPWARD ROAD EXT (S. ALLEN ROAD)
DEED BOOK/PAGE:	4091/552
PROJECT ACREAGE:	17.13± ACRES
CURRENT ZONING:	CHMU (COMMERCIAL HIGHWAY MIXED USE)
PROPOSED ZONING:	CHMU-CZD
DENSITY:	11.21 UNITS/ACRE (192 TOTAL UNITS)
SETBACKS:	
FRONT:	10'
SIDE:	20' (15'+5')
REAR:	20' (15'+5')
DISTURBED AREA:	12.0± AC

ZONING DATA			
PARKING CALCULATIONS:			
VEHICULAR:			
REQUIRED SPACES:	(1 OR 2 BED UNITS) 1.0 X 168=168 (3+ BED UNITS) 1.5 X 24= 36		
TOTAL SPACES REQUIRED:	204		
SPACES PROVIDED:	324		
HANDICAPPED SPACES:			
SPACES REQUIRED:	7		
SPACES PROVIDED:	20		
BUILDING DATA:			
BUILDING	DESCRIPTION	HEIGHT	GFA
1,3-4,6-10	3 STORIES	39'-2 1/8"	27,340 SF
2	CLUBHOUSE	18'-9"	3,500 SF
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OPEN SPACE CALCULATIONS:			
OPEN SPACE:	REQUIRED: 10.27 AC (60%)	PROVIDED: 10.27 AC	
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BUILDINGS:	REQUIRED: <3.42 AC	PROVIDED: 2.14 AC (12%)	
STREETS/PARKING (VUA):	PROVIDED: 2.61 AC (15%)		
OTHER:	N/A		
LANDSCAPE REQUIREMENTS:			
SEE L101 LANDSCAPE & RESOURCE PLAN			
IMPERVIOUS CALCULATIONS:			
PRE-DEVELOPMENT:	IMPERVIOUS (0%)	PERVIOUS (100%)	
POST-DEVELOPMENT:	5.64 ACRES (33%)	17.19 ACRES (67%)	

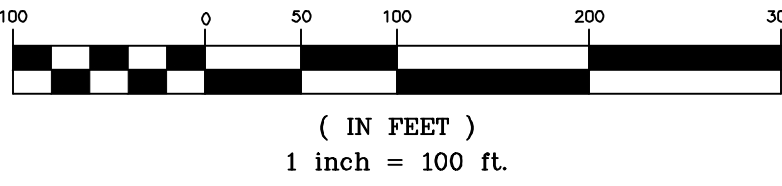
CDC INSPECTIONS HOTLINE:
828-771-4755 OR INSPECTION@CDCGO.COM



NORTH

MASTER SITE PLAN

GRAPHIC SCALE



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CONSTRUCTION

RONAN AT HENDERSONVILLE

GRAYCLIFF CAPITAL DEVELOPMENT, LLC - HENDERSONVILLE, NORTH CAROLINA

MASTER SITE PLAN FOR:

DRAWN BY: AMP
CDC PROJECT NO.: 12135
XXX PERMIT NO.: xxx

SHEET

C200

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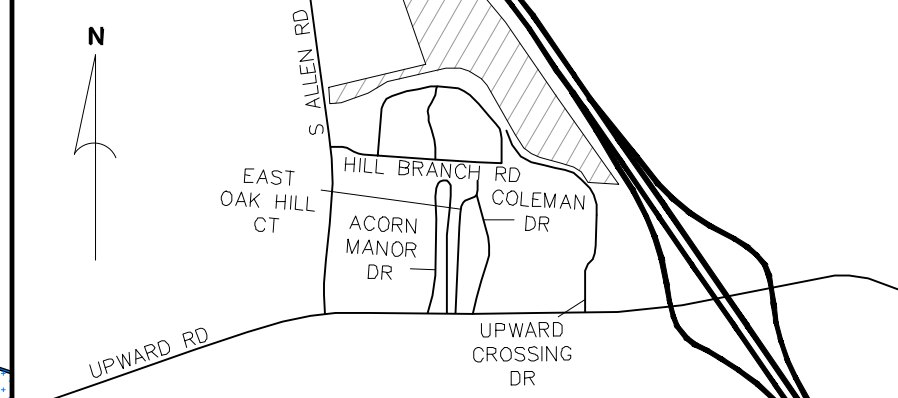
168 PATTON AVENUE
ASHEVILLE, NC 28801
PHONE (828) 252-5388
FAX (828) 252-5388

52 WALNUT STREET - SUITE
WAYNEVILLE, NC 28787
PHONE (828) 252-5388
FAX (828) 455-5454

Section 5, Item A.

1. DEVELOPER WILL BE RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF THE OPEN SPACE.
2. ALL UTILITIES SERVICE LINES AND CONNECTIONS WILL BE UNDERGROUND.
3. ALL PROPOSED BUILDINGS TO BE SPRINKLED.

(NOT TO SCALE)



OWNER:	THE CAMENZINDS 5133 BOYLSTON HIGHWAY MILLS RIVER, NC 28759
CONTACT:	ROBERT CAMENZIND
DEVELOPER:	GRAYCLIFF CAPITAL DEVELOPMENT, LLC 200 EAST BROAD STREET, SUITE 220 GREENVILLE, SC 29601
CONTACT:	JAY LEE (864) 679-4799
CIVIL ENGINEER:	CIVIL DESIGN CONCEPTS, P.A. 168 PATTON AVENUE ASHEVILLE, NC 28801
CONTACT:	WARREN SUGG, P.E. (828) 252-5388
SURVEYOR:	ATLAS SURVEYING, INC. 13331 YORK CENTER DRIVE, SUITE E CHARLOTTE, NC 28273
CONTACT:	KEITH BURNS, F.L.S. (910) 949-8475
ARCHITECT:	STEEL GROUP ARCHITECTS 217 WEST SIXTH STREET WINSTON SALEM, NC 27101
CONTACT:	MIKE OSMAN, A.I.A. (336) 734-2003

PIN:	9588-22-1126
ADDRESS:	UPWARD ROAD EXT (S. ALLEN ROAD)
DEED BOOK/PAGE:	4091/552
PROJECT ACREAGE:	17.13± ACRES
CURRENT ZONING:	CMD (COMMERCIAL HIGHWAY MIXED USE)
PROPOSED ZONING:	CHMU-C2D
DENSITY:	11.21 UNITS/ACRE (192 TOTAL UNITS)
<u>SETBACKS:</u>	
FRONT:	10'
SIDE:	20' (15'+5')
REAR:	20' (15'+5')
DISTURBED AREA:	12.0± AC

PARKING CALCULATIONS:

VEHICULAR:
REQUIRED SPACES: (1 OR 2 BED UNITS) 1.0 X 168=168
(3+ BED UNITS) 1.5 X 24= 36
TOTAL SPACES REQUIRED: 204
SPACES PROVIDED: 32

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SPACES REQUIRED: 7 SPACES PROVIDED: 20

BUILDING DATA:

<u>BUILDING</u>	<u>DESCRIPTION</u>	<u>HEIGHT</u>	<u>GFA</u>
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11-15	GARAGES	8'	1,880 SF
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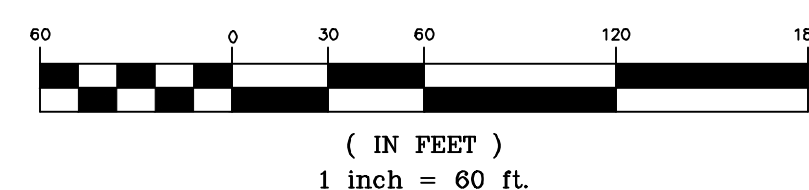
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OTHER:		N/A
LANDSCAPE REQUIREMENTS:	SEE L101 LANDSCAPE & RESOURCE PLAN	
IMPERVIOUS CALCULATIONS:		

	<u>IMPERVIOUS</u>	<u>PERVIOUS</u>
PRE-DEVELOPMENT:	0.00 ACRES (0%)	17.13 ACRES (100%)
POST-DEVELOPMENT:	5.64 ACRES (33%)	11.49 ACRES (67%)



NORTH

GRAPHIC SCALE



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NCEP S.J. LICENSE # C-2184

NO.	DATE	DESCRIPTION	BY
1	04/04/2025	CITY OF HENDERSONVILLE CZ SUBMITTAL	MAD
2	04/21/2025	CITY OF HENDERSONVILLE CZ RESUBMITTAL	MAD
3	04/25/2025	CITY OF HENDERSONVILLE CZ RESUBMITTAL	MAD

FOR REVIEW ONLY

PRELIMINARY
NOT RELEASED
FOR
CONSTRUCTION

SEVEN M. ENGINEERING
SUCCESSION

DATE PLAN FOR: **RONAN AT HENDERSONVILLE**

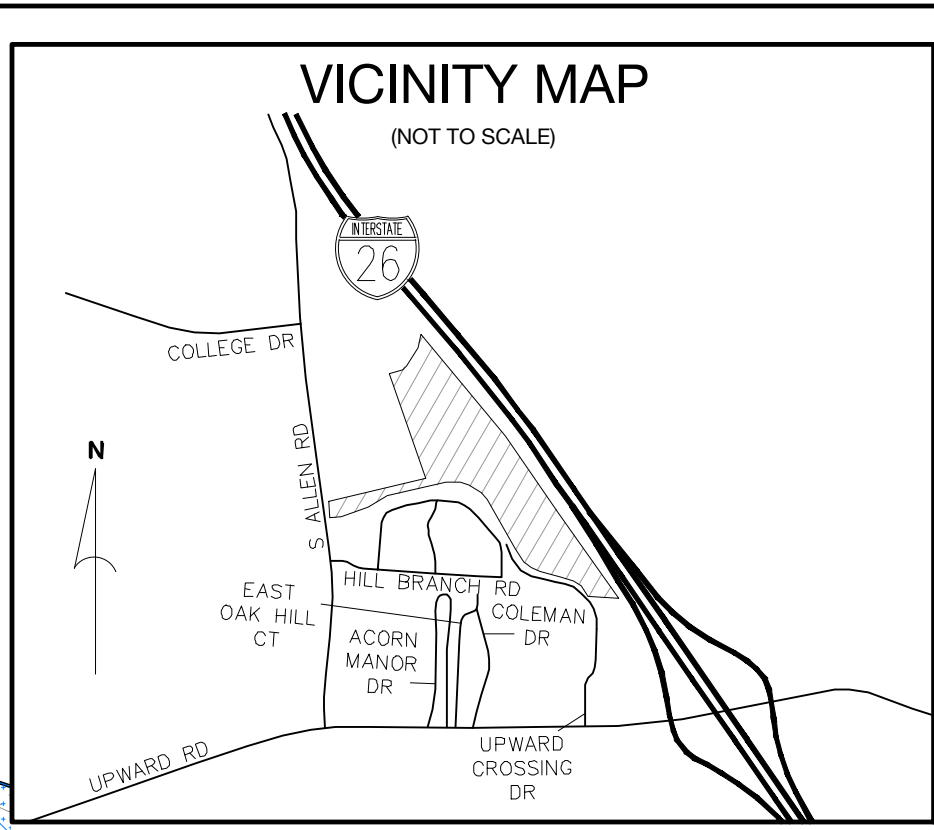
DRAWN BY:	AMP
CDC PROJECT NO.:	12135
XXX PERMIT NO.	xxx

SHEET

C201



- CITY OF HENDERSONVILLE NOTES
1. DEVELOPER WILL BE RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF THE OPEN SPACE.
 2. ALL UTILITIES SERVICE LINES AND CONNECTIONS WILL BE UNDERGROUND.
 3. ALL PROPOSED BUILDINGS TO BE SPRINKLED.



DEVELOPMENT DATA

OWNER: THE CAMENZINDS
5133 BOYLSTON HIGHWAY
MILLS RIVER, NC 28759
ROBERT CAMENZIND

CONTACT:

DEVELOPER: GRAYCLIFF CAPITAL DEVELOPMENT, LLC
200 EAST BROAD STREET, SUITE 220
GREENVILLE, SC 29601
JAY LEE
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WARREN SUGG, P.E.
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SURVEYOR: ATLAS SURVEYING, INC.
13331 YORK CENTER DRIVE, SUITE E
CHARLOTTE, NC 28273
KEITH BURNS, P.L.S.
(980) 949-8475

ARCHITECT: STEELE GROUP ARCHITECTS
217 WEST SIXTH STREET
WINSTON SALEM, NC 27101
MIKE OSMAN, A.I.A.
(336) 734-2003

CONTACT:

PROJECT DATA

PIN: 9588-22-1126
ADDRESS: UPWARD ROAD EXT (S. ALLEN ROAD)
DEED BOOK/PAGE: 4091/552
PROJECT ACREAGE: 17.13± ACRES
CURRENT ZONING: CHMU (COMMERCIAL HIGHWAY MIXED USE)
PROPOSED ZONING: CHMU-CZD

DENSITY: 11.21 UNITS/ACRE (192 TOTAL UNITS)

SETBACKS:
FRONT: 10'
SIDE: 20' (15'+5')
REAR: 20' (15'+5')

DISTURBED AREA: 12.0± AC

ZONING DATA

PARKING CALCULATIONS:

VEHICULAR:
REQUIRED SPACES: (1 OR 2 BED UNITS) 1.0 X 168=168
(3+ BED UNITS) 1.5 X 24= 36
TOTAL SPACES REQUIRED: 204
SPACES PROVIDED: 324

HANDICAPPED SPACES:
SPACES REQUIRED: 7 SPACES PROVIDED: 20

BUILDING DATA:

BUILDING	DESCRIPTION	HEIGHT	GFA
1,3-4,6-10	3 STORIES	39'-2"	27,340 SF
2	CLUBHOUSE	18'-9"	3,500 SF
11-15	GARAGES	8'	1,980 SF
5	CABANA	12'	273 SF

OPEN SPACE CALCULATIONS:

OPEN SPACE: REQUIRED: 10.27 AC (60%) PROVIDED: 10.27 AC
COMMON SPACE: REQUIRED: 1.71 AC (10%) PROVIDED: 1.71 AC
BUILDINGS: REQUIRED: <3.42 AC PROVIDED: 2.14 AC (12%)
STREETS/PARKING (VUA): PROVIDED: 2.61 AC (15%)
OTHER: N/A

LANDSCAPE REQUIREMENTS: SEE L101 LANDSCAPE & RESOURCE PLAN

IMPERVIOUS CALCULATIONS:

	IMPERVIOUS	PERVIOUS
PRE-DEVELOPMENT:	0.00 ACRES (0%)	17.13 ACRES (100%)
POST-DEVELOPMENT:	5.64 ACRES (33%)	11.49 ACRES (67%)

CDC INSPECTIONS HOTLINE:
828-771-4755 OR INSPECTION@CDCGO.COM

811
Know what's below.
Call before you dig.

GRADING & STORM DRAINAGE PLAN
GRAPHIC SCALE

0 30 60 120 180
(IN FEET)
1 inch = 60 ft.

FOR REVIEW ONLY
PRELIMINARY
NOT RELEASED
FOR
CONSTRUCTION

RONAN AT HENDERSONVILLE

GRADING & STORM DRAINAGE PLAN FOR:

DRAWN BY: AMP
CDC PROJECT NO.: 12135
XXX PERMIT NO.: xxx

SHEET
C301

Section 5, Item A.

168 PATTON AVENUE
ASHEVILLE, NC 28801
PHONE (828) 252-5388
FAX (828) 252-5385

52 WALNUT STREET - SUITE
WAYNEVILLE, NC 28787
PHONE (828) 252-5388
FAX (828) 252-5385

CDC Civil Design Concepts, PA
www.civildesignconcepts.com

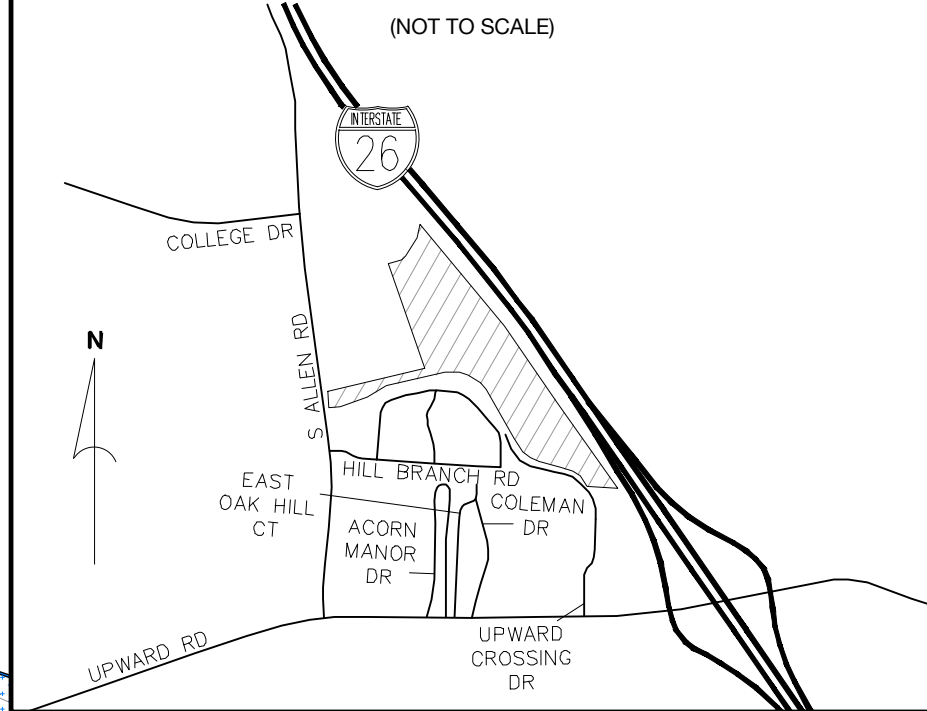
NCBLS LICENSE # C-2184

MAD	BY	DESCRIPTION	DATE	NO.
CITY OF HENDERSONVILLE CZ SUBMITTAL			04/04/2025	1
CITY OF HENDERSONVILLE CZ RESUBMITTAL			04/21/2025	2
CITY OF HENDERSONVILLE CZ RESUBMITTAL			04/25/2025	3

CITY OF HENDERSONVILLE NOTES

1. DEVELOPER WILL BE RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF THE OPEN SPACE.
2. ALL UTILITIES SERVICE LINES AND CONNECTIONS WILL BE UNDERGROUND.
3. ALL PROPOSED BUILDINGS TO BE SPRINKLED.

VICINITY MAP



DEVELOPMENT DATA

OWNER: THE CAMENZINDS
5133 BOYLSTON HIGHWAY
MILLS RIVER, NC 28759
ROBERT CAMENZIND

CONTACT:

DEVELOPER: GRAYCLIFF CAPITAL DEVELOPMENT, LLC
200 EAST BROAD STREET, SUITE 220
GREENVILLE, SC 29601
JAY LEE
(864) 679-4799

CIVIL ENGINEER: CIVIL DESIGN CONCEPTS, P.A.
168 PATTON AVENUE
ASHEVILLE, NC 28801
WARREN SUGG, P.E.
(828) 252-5388

SURVEYOR: ATLAS SURVEYING, INC.
13331 YORK CENTER DRIVE, SUITE E
CHARLOTTE, NC 28273
KEITH BURNS, P.L.S.
(980) 949-8475

ARCHITECT: STEELE GROUP ARCHITECTS
217 WEST SIXTH STREET
WINSTON SALEM, NC 27101
MIKE OSMAN, A.I.A.
(336) 734-2003

CONTACT:

PROJECT DATA

PIN: 9588-22-1126
ADDRESS: UPWARD ROAD EXT (S. ALLEN ROAD)
DEED BOOK/PAGE: 4091/552
PROJECT ACREAGE: 17.13+ ACRES
CURRENT ZONING: CHMU (COMMERCIAL HIGHWAY MIXED USE)
PROPOSED ZONING: CHMU-CZD

DENSITY: 11.21 UNITS/ACRE (192 TOTAL UNITS)

SETBACKS:
FRONT: 10'
SIDE: 20' (15'+5')
REAR: 20' (15'+5')

DISTURBED AREA: 12.0± AC

ZONING DATA

PARKING CALCULATIONS:

VEHICULAR:
REQUIRED SPACES: (1 OR 2 BED UNITS) 1.0 X 168=168
(3+ BED UNITS) 1.5 X 24= 36
TOTAL SPACES REQUIRED: 204
SPACES PROVIDED: 324

HANDICAPPED SPACES:
SPACES REQUIRED: 7 SPACES PROVIDED: 20

BUILDING DATA:

BUILDING	DESCRIPTION	HEIGHT	GFA
1,3-4,6-10	3 STORIES	39'-2"	27,340 SF
2	CLUBHOUSE	18'-9"	3,500 SF
11-15	GARAGES	8'	1,980 SF
5	CABANA	12'	273 SF

OPEN SPACE CALCULATIONS:

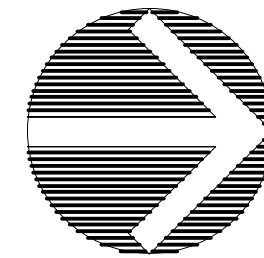
OPEN SPACE: REQUIRED: 10.27 AC (60%) PROVIDED: 10.27 AC
COMMON SPACE: REQUIRED: 1.71 AC (10%) PROVIDED: 1.71 AC
BUILDINGS: REQUIRED: <3.42 AC PROVIDED: 2.14 AC (12%)
STREETS/PARKING (VUA): PROVIDED: 2.61 AC (15%)
OTHER: N/A

LANDSCAPE REQUIREMENTS: SEE L101 LANDSCAPE & RESOURCE PLAN

IMPERVIOUS CALCULATIONS:

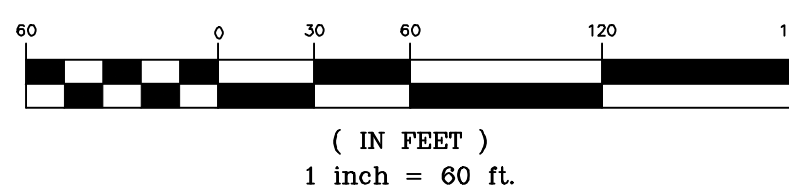
	IMPERVIOUS	PERVIOUS
PRE-DEVELOPMENT:	0.00 ACRES (0%)	17.13 ACRES (100%)
POST-DEVELOPMENT:	5.64 ACRES (33%)	11.49 ACRES (67%)

CDC INSPECTIONS HOTLINE:
828-771-4755 OR INSPECTION@CDCGO.COM



UTILITY PLAN

GRAPHIC SCALE



FOR REVIEW ONLY

PRELIMINARY
NOT FOR RELEASE
FOR
CONSTRUCTION

RONAN AT HENDERSONVILLE

UTILITY PLAN FOR:

DRAWN BY: CDC PROJECT NO.:
XXX PERMIT NO.

AMP
12135
xxx

SHEET

C601

PLANTING SUMMARY (COH):

STREET TREES (ST)

REQUIREMENT: 1 LARGE TREE PER 35 LF OF FRONTAGE

UPWARD CROSSING DRIVE FRONTAGE: 742 LF

TREES REQUIRED: 21
TREES PROVIDED: 21

SOUTH ALLEN ROAD FRONTAGE: 112 LF

TREES REQUIRED: 3
TREE CREDITS APPLIED: 1 (1 TREE)
TREES PROVIDED: 2

INTERSTATE 26 FRONTAGE: 2,045 LF

TREES REQUIRED: 58
TREE CREDITS APPLIED: 4 (1 TREE)
TREES PROVIDED: 54

VEHICULAR USAGE LANDSCAPE AREA (VUA)

REQUIREMENTS: (PER 3,000 SF OF VUA)
1 DECIDUOUS TREE AND 2 SHRUBS

TOTAL VUA: 114,258 SF

TREES REQUIRED: 38
TREES PROVIDED: 38

SHRUBS REQUIRED: 76
SHRUBS PROVIDED: 76

STREET BUFFER (SB)

REQUIREMENTS: (FOR VUA AREA WITHIN 50' OF ROW)
1 SHRUB PER 5 LF OF REQUIRED BUFFER

TOTAL SB: 180 LF

SHRUBS REQUIRED: 36
SHRUBS PROVIDED: 36

OPEN SPACE (OS)

REQUIREMENTS: (PER 4,000 SF OF OS)
1 TREE AND 5 SHRUBS

TOTAL OS: 447,710 SF

TREES REQUIRED: 112
TREE CREDITS APPLIED: 108 (42 TREES)
TREES PROVIDED: 4

SHRUBS REQUIRED: 560
SHRUBS PROVIDED: 560

COMMON SPACE (CS)

REQUIREMENTS: (PER 1,000 SF OF CS)
1 TREE AND 5 SHRUBS

TOTAL CS: 74,490 SF

TREES REQUIRED: 75
TREE CREDITS APPLIED: 12 (5 TREES)
TREES PROVIDED: 63

SHRUBS REQUIRED: 375
SHRUBS PROVIDED: 375

NOTE: DETAILED PLANTING PLAN THAT INCLUDES REQUIRED SHRUBS TO BE PROVIDED WITH CONSTRUCTION PERMIT DRAWINGS.

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
TREES						
AA	6	AMELANCHIER ARBOREA	SERVICEBERRY	B&B	1.5"	CAL.
AR	14	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE	B&B	2"	CAL.
AS	17	ACER SACCHARUM	SUGAR MAPLE	B&B	2"	CAL.
CK	12	CLADRASIS KENTUCKEA	AMERICAN YELLOWWOOD	B&B	2"	CAL.
GT	21	GLEDITIA TRIACANTHOS 'INERMIS'	THORNLESS HONEYLOCUST	B&B	2"	CAL.
LS	27	LIQUIDAMBAR STYRACIFLUA 'ROTUNDILOBA'	FRUITLESS SWEETGUM	B&B	2"	CAL.
QP	54	QUERCUS PALUSTRIS	PIN OAK	B&B	2"	CAL.
ZS	31	ZELKOVA SERRATA 'VILLAGE GREEN'	VILLAGE GREEN ZELKOVA	B&B	2"	CAL.
SHRUBS						
PJA	36	PIERIS JAPONICA 'MOUNTAIN FIRE'	MOUNTAIN FIRE PIERIS	3	GAL.	

*SUBSTITUTION OF SPECIES MUST BE ON THE CITY OF HENDERSONVILLE RECOMMENDED SPECIES LIST AND APPROVED BY ENGINEER.
*A DIVERSE PLANT LIST IS RECOMMENDED SO THAT NO ONE SPECIES GETS OVER PLANTED.

LEGEND

SPECIES (CREDITS CATEGORY)

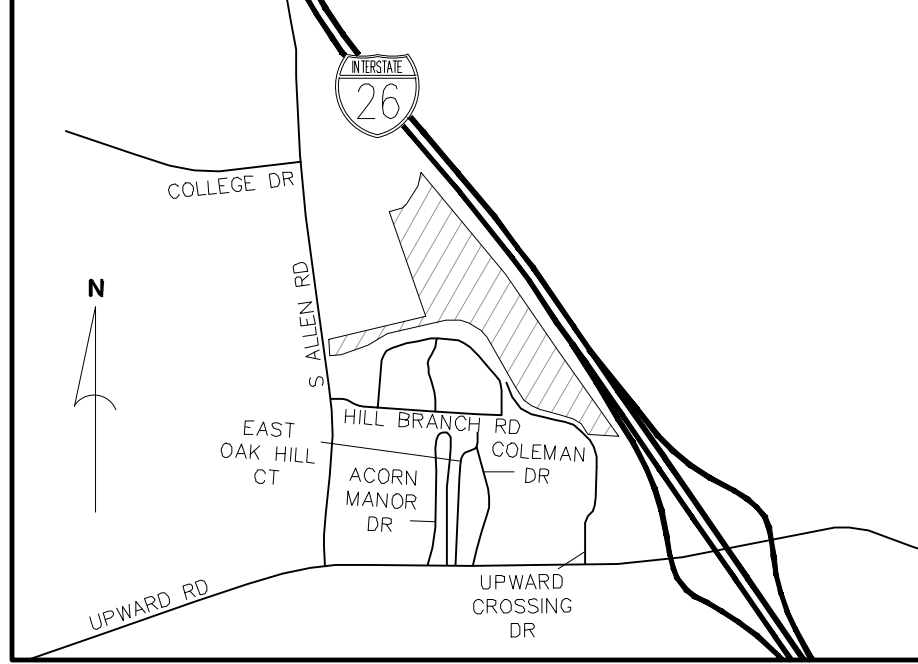
TREE CREDIT TREE

EXISTING SPECIES ABBREVIATIONS

DWD	DOGWOOD
MPL	MAPLE
OAK	OAK
RO	RED OAK
POP	POPLAR

VICINITY MAP

(NOT TO SCALE)



DEVELOPMENT DATA

OWNER:	THE CAMENZINDS 5133 BOYLSTON HIGHWAY MILLS RIVER, NC 28759 ROBERT CAMENZIND
CONTACT:	
DEVELOPER:	GRAYCLIFF CAPITAL DEVELOPMENT, LLC 200 EAST BROAD STREET, SUITE 220 GREENVILLE, SC 29601 JAY LEE (864) 679-4799
CONTACT:	
CIVIL ENGINEER:	CIVIL DESIGN CONCEPTS, P.A. 168 PATTON AVENUE ASHEVILLE, NC 28801 WARREN SUGG, P.E. (828) 252-5388
CONTACT:	
SURVEYOR:	ATLAS SURVEYING, INC. 13331 YORK CENTER DRIVE, SUITE E CHARLOTTE, NC 28273 KEITH BURNS, P.L.S. (980) 949-8475
CONTACT:	
ARCHITECT:	STEELE GROUP ARCHITECTS 217 WEST SIXTH STREET WINSTON SALEM, NC 27101 MIKE OSMAN, A.I.A. (336) 734-2003
CONTACT:	

PROJECT DATA

PIN:	9588-22-1126
ADDRESS:	UPWARD ROAD EXT (S. ALLEN ROAD)
DEED BOOK/PAGE:	4091/552
PROJECT ACREAGE:	17.13+ ACRES
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REAR:	20' (15'+5')
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SPACES PROVIDED:	324
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SPACES REQUIRED: 7	SPACES PROVIDED: 20

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2	CLUBHOUSE	18'-9"	3,500 SF
11-15	GARAGES	8'	1,980 SF
5	CABANA	12'	273 SF

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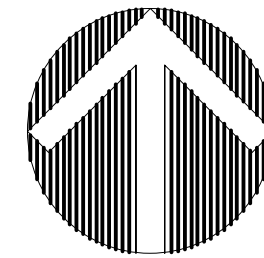
OPEN SPACE:	REQUIRED: 10.27 AC (60%)	PROVIDED: 10.27 AC
COMMON SPACE:	REQUIRED: 1.71 AC (10%)	PROVIDED: 1.71 AC
BUILDINGS:	REQUIRED: <3.42 AC	PROVIDED: 2.14 AC (12%)
STREETS/PARKING (VUA):	PROVIDED: 2.61 AC (15%)	
OTHER:	N/A	

LANDSCAPE REQUIREMENTS: SEE L101 LANDSCAPE & RESOURCE PLAN

IMPERVIOUS CALCULATIONS:

PRE-DEVELOPMENT:	IMPERVIOUS (0%)	PERVIOUS (100%)
POST-DEVELOPMENT:	5.64 ACRES (33%)	11.49 ACRES (67%)

CDC INSPECTIONS HOTLINE:
828-771-4755 OR INSPECTION@CDCGO.COM



LANDSCAPE & RESOURCE LAYOUT

GRAPHIC SCALE



(IN FEET)
1 inch = 100 ft.

FOR REVIEW ONLY

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FOR
CONSTRUCTION

RONAN AT HENDERSONVILLE

LANDSCAPE & RESOURCE LAYOUT FOR:

DRAWN BY: CDC PROJECT NO.:
XXX PERMIT NO.

AMP
12135
xxx

SHEET

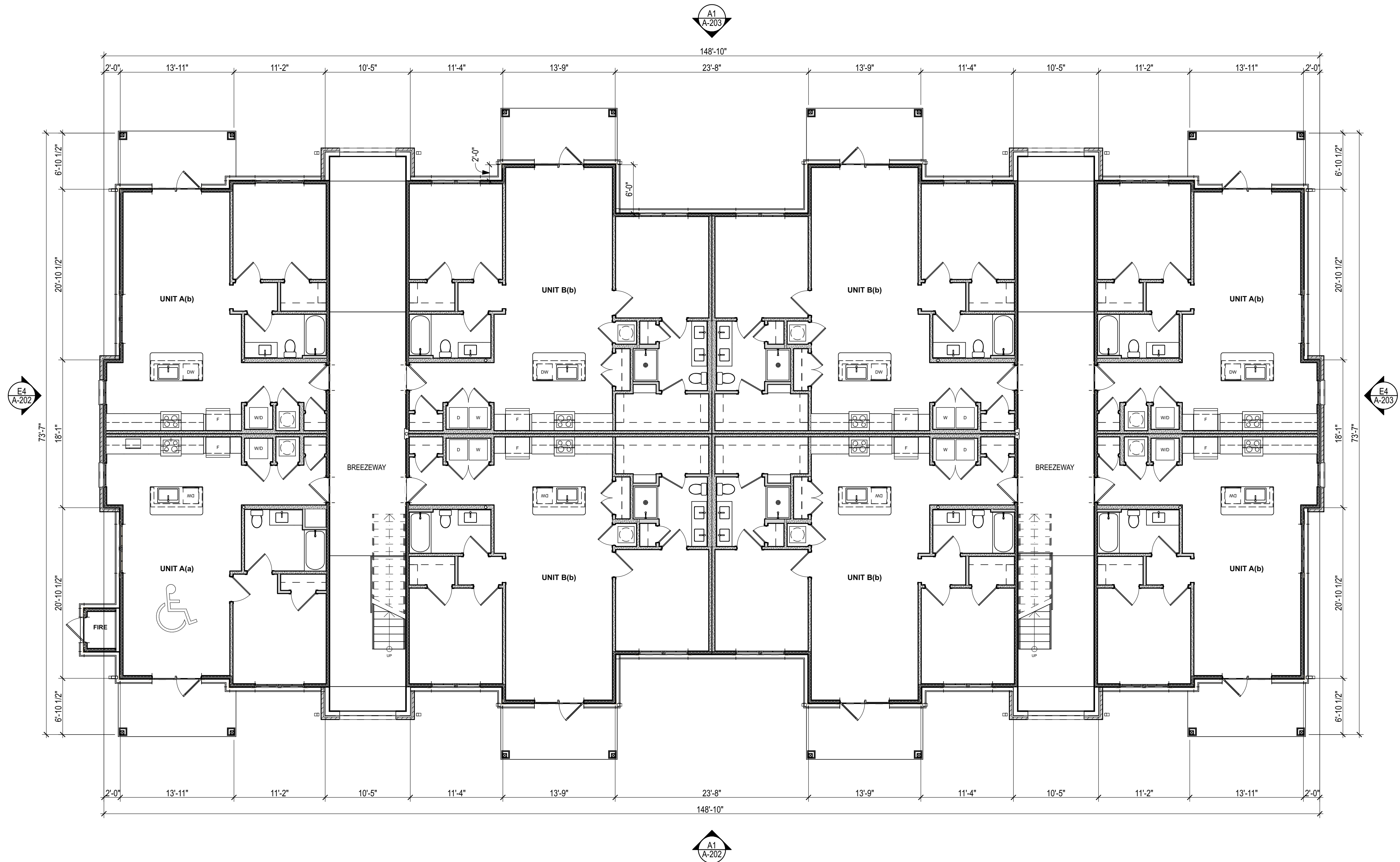
L101

STATUS: Conceptual
Not for Construction

The Ronan at Hendersonville
Upward Crossing Drive
Flat Rock, NC 28731

[illegible]

A-101



A3 GF Ground Floor - Type A
SCALE: 1/8" = 1'-0"

STEELE GROUP
ARCHITECTS

STATUS: Conceptual
Not for Construction

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Upward Crossing Drive
Flat Rock, NC 28731

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[illegible]

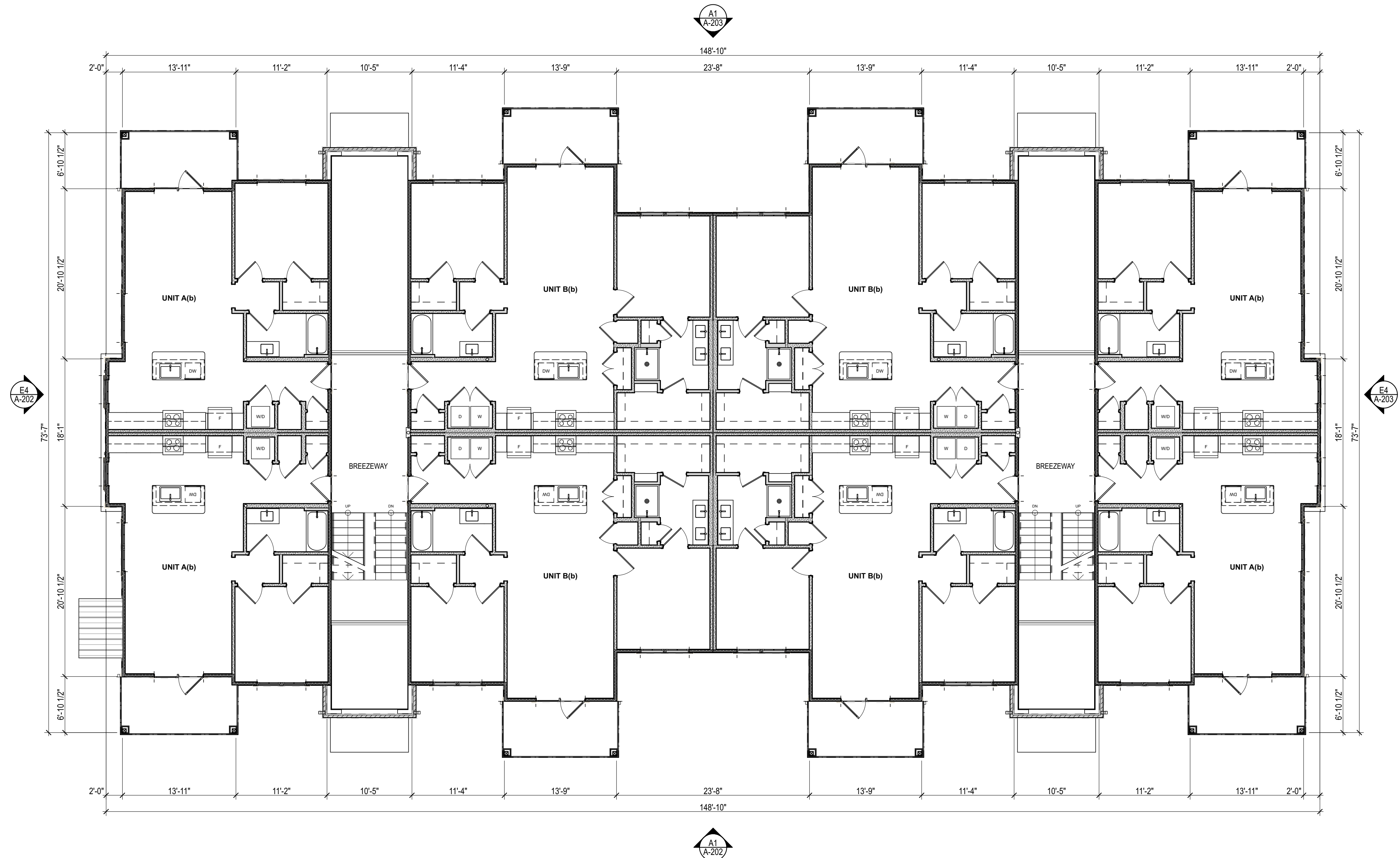
DATE:
2024-06-20

PROJECT NUMBER:
24 0130

SHEET TITLE:
FLOOR PLAN - APT. BLDG. TYPE A,
SECOND FLOOR

SHEET:

A-102



A3 2F Second Floor - Type A
SCALE: 1/8" = 1'-0"

STEELE GROUP
ARCHITECTS

STATUS:	Conceptual Not for Construction
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Upward Crossing Drive
Flat Rock, NC 28731

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[illegible]

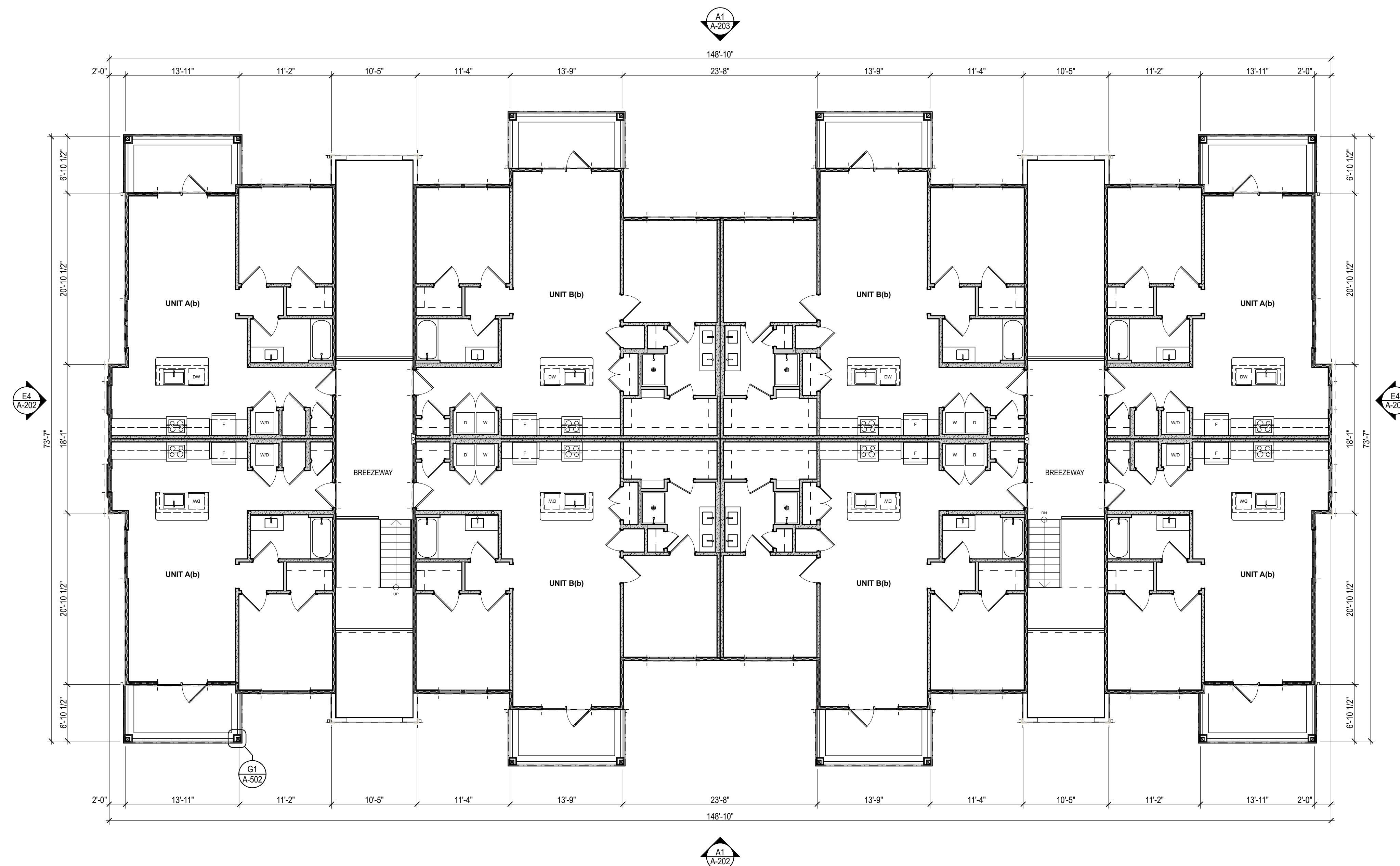
DATE:
2024-06-20

PROJECT NUMBER:
24 0130

SHEET TITLE:
FLOOR PLAN - APT. BLDG. TYPE A,
THIRD FLOOR

SHEET

A-103



A3 3F Third Floor - Type A
SCALE: 1/8" = 1'-0"

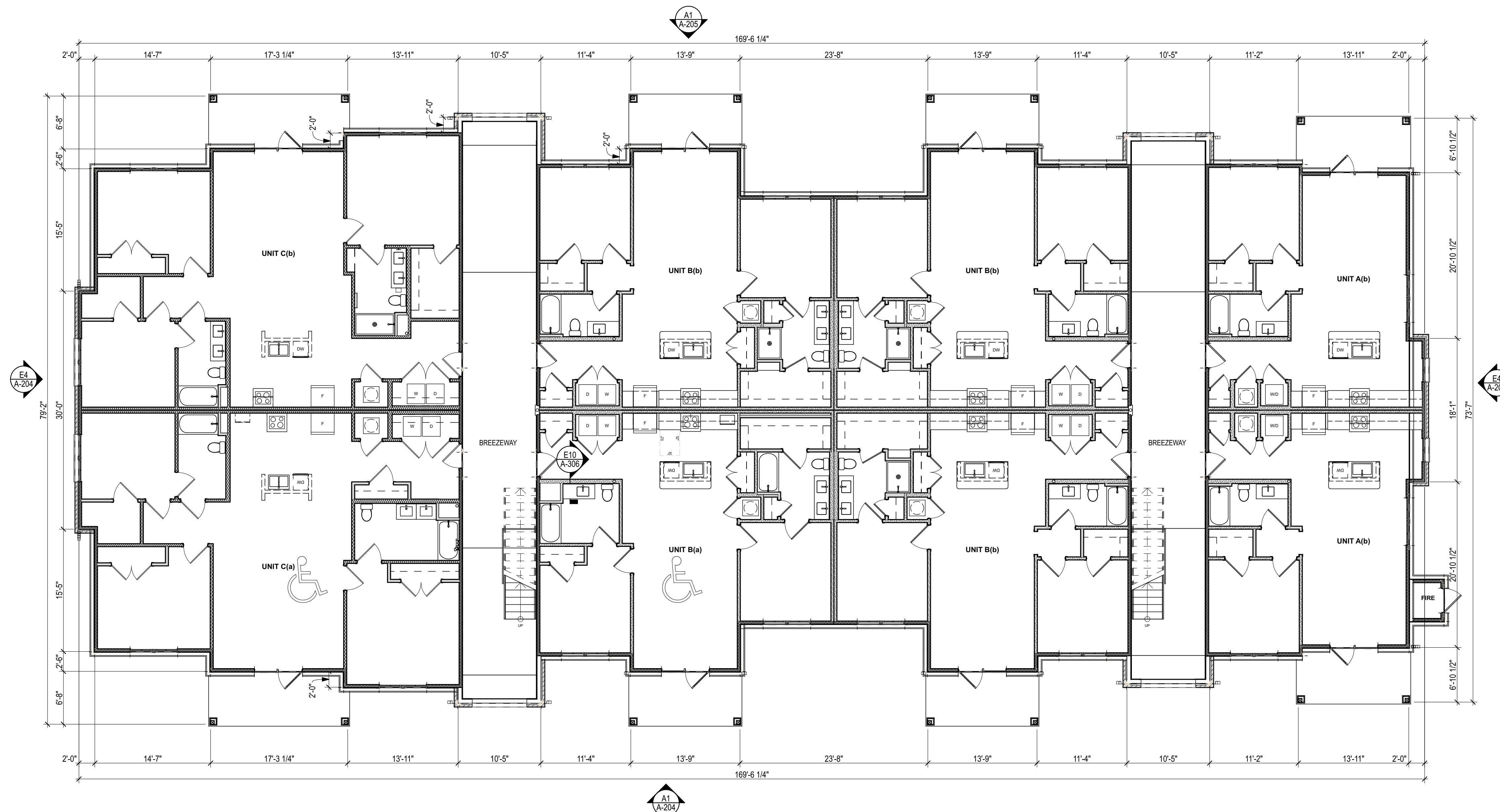
STATUS: Conceptual
Not for Construction

The Ronan at Hendersonville
Upward Crossing Drive
Flat Rock, NC 28731

[illegible]

SHEET

A-104



A1 GF Ground Floor - Type B
SCALE: 1/8" = 1'-0"

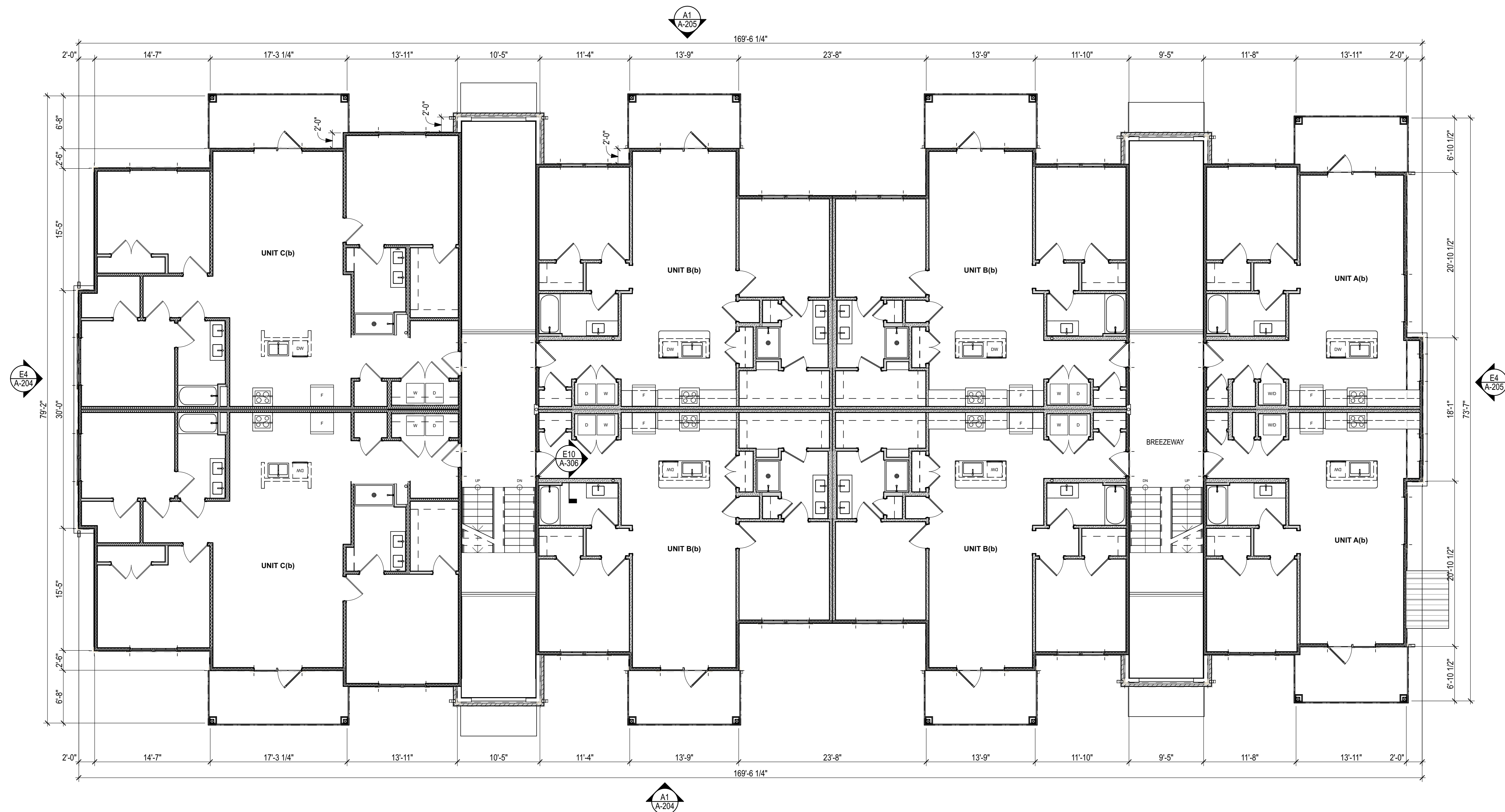
STATUS: Conceptual
Not for Construction

The Ronan at Hendersonville
Upward Crossing Drive
Flat Rock, NC 28731

[illegible]

SHEET

A-105



A1

2F Second Floor - Type B

SCALE: 1/8" = 1'-0"

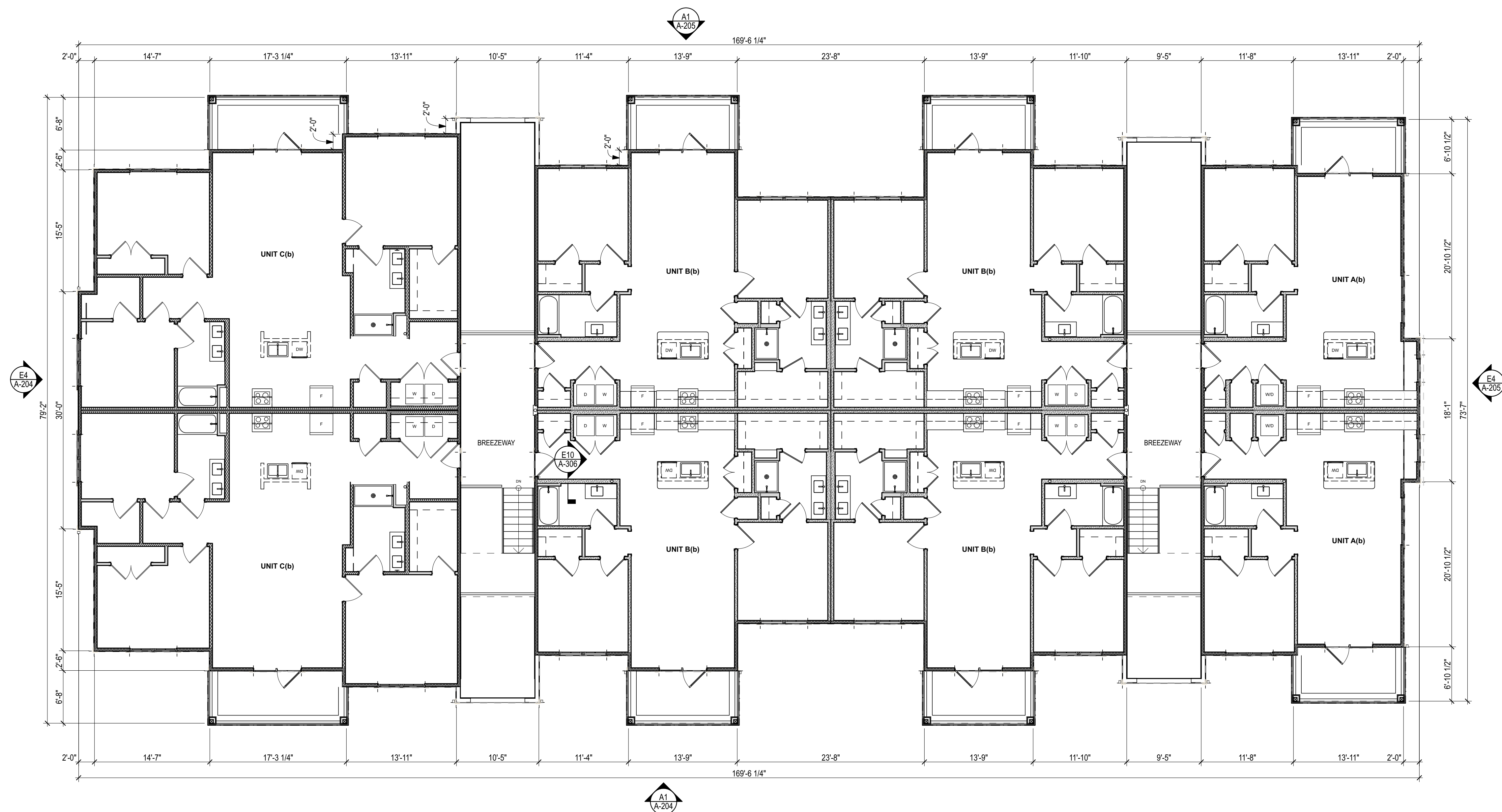
STATUS: Conceptual
Not for Construction

The Ronan at Hendersonville
Upward Crossing Drive
Flat Rock, NC 28731

[illegible]

SHEET: _____

A-106



A1

3F Third Floor - Type B

SCALE: 1/8" = 1'-0"



STEELE GROUP
ARCHITECTS

STATUS: Conceptual
Not for Construction

The Ronan at Hendersonville
Upward Crossing Drive
Flat Rock, NC 28731

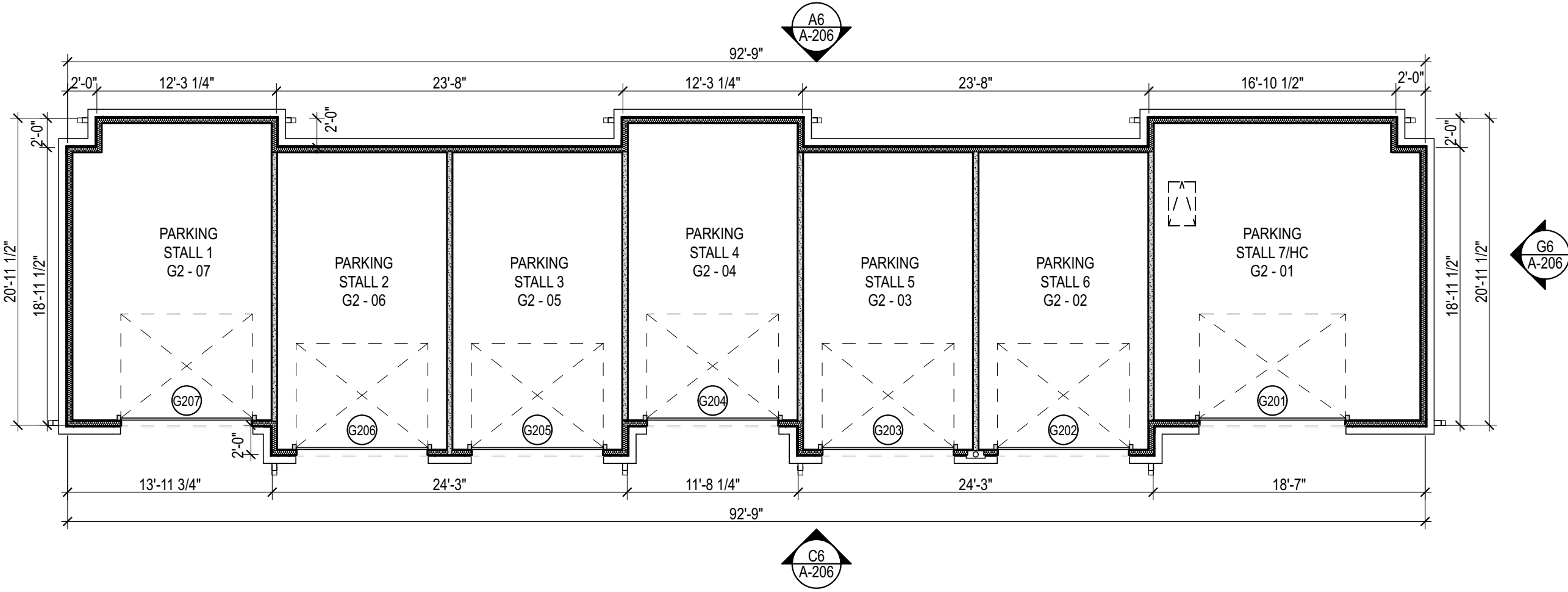
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Version	Transmittal Set Name	Date

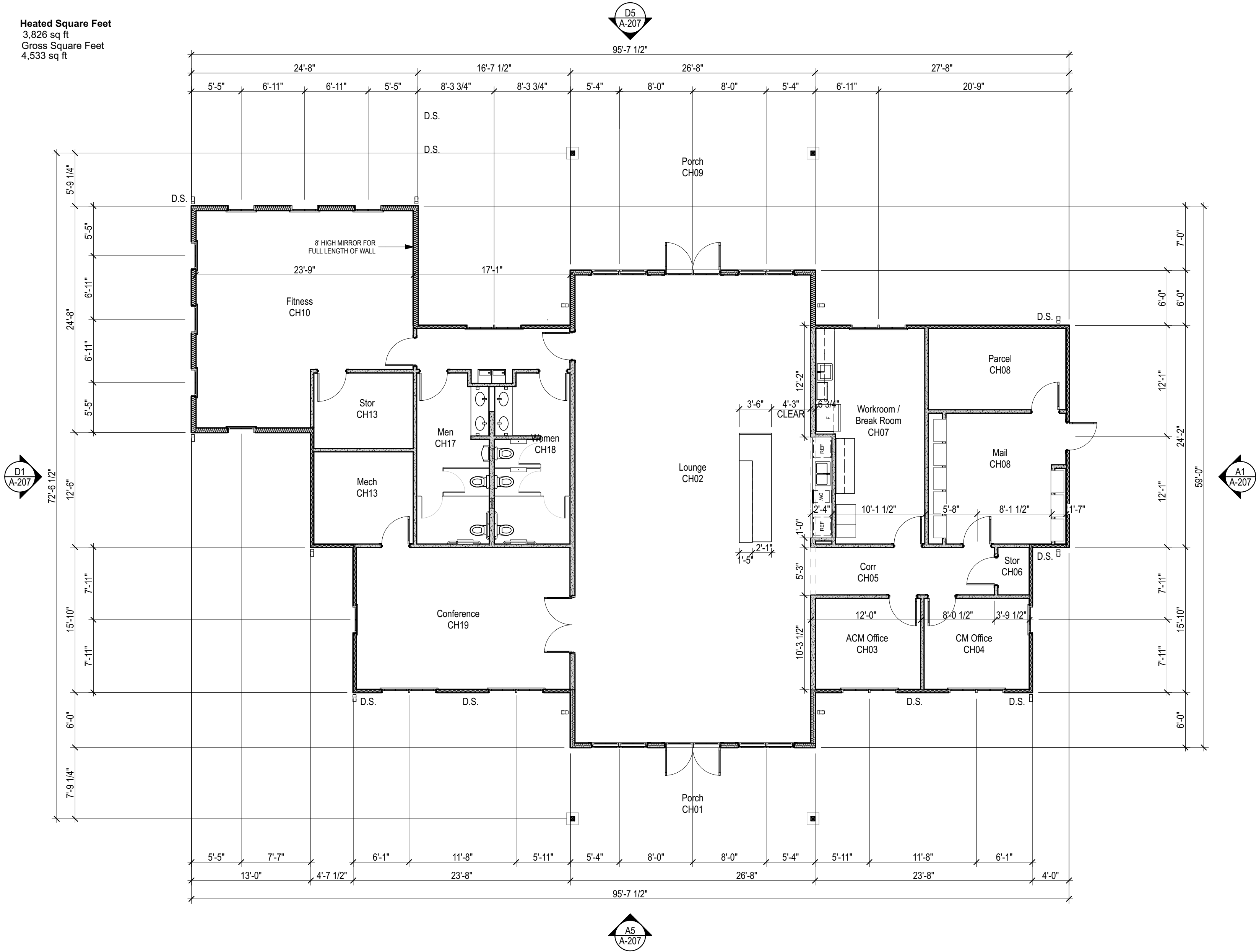
DATE:
2024-06-20
PROJECT NUMBER:
24 0130
SHEET TITLE:
FLOOR PLANS - CLUBHOUSE &
GARAGES

SHEET:

A-107



F6 GF Ground Floor - Garages



A5 GF Ground Floor



STEELE GROUP
ARCHITECTS

STATUS: Conceptual
Not for Construction

The Ronan at Hendersonville
Upward Crossing Drive
Flat Rock, NC 28731

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Version	Transmittal Set Name	Date

DATE:
2024-06-20
PROJECT NUMBER:
24 0130
SHEET TITLE:
EXTERIOR RENDERING

SHEET:

A-201



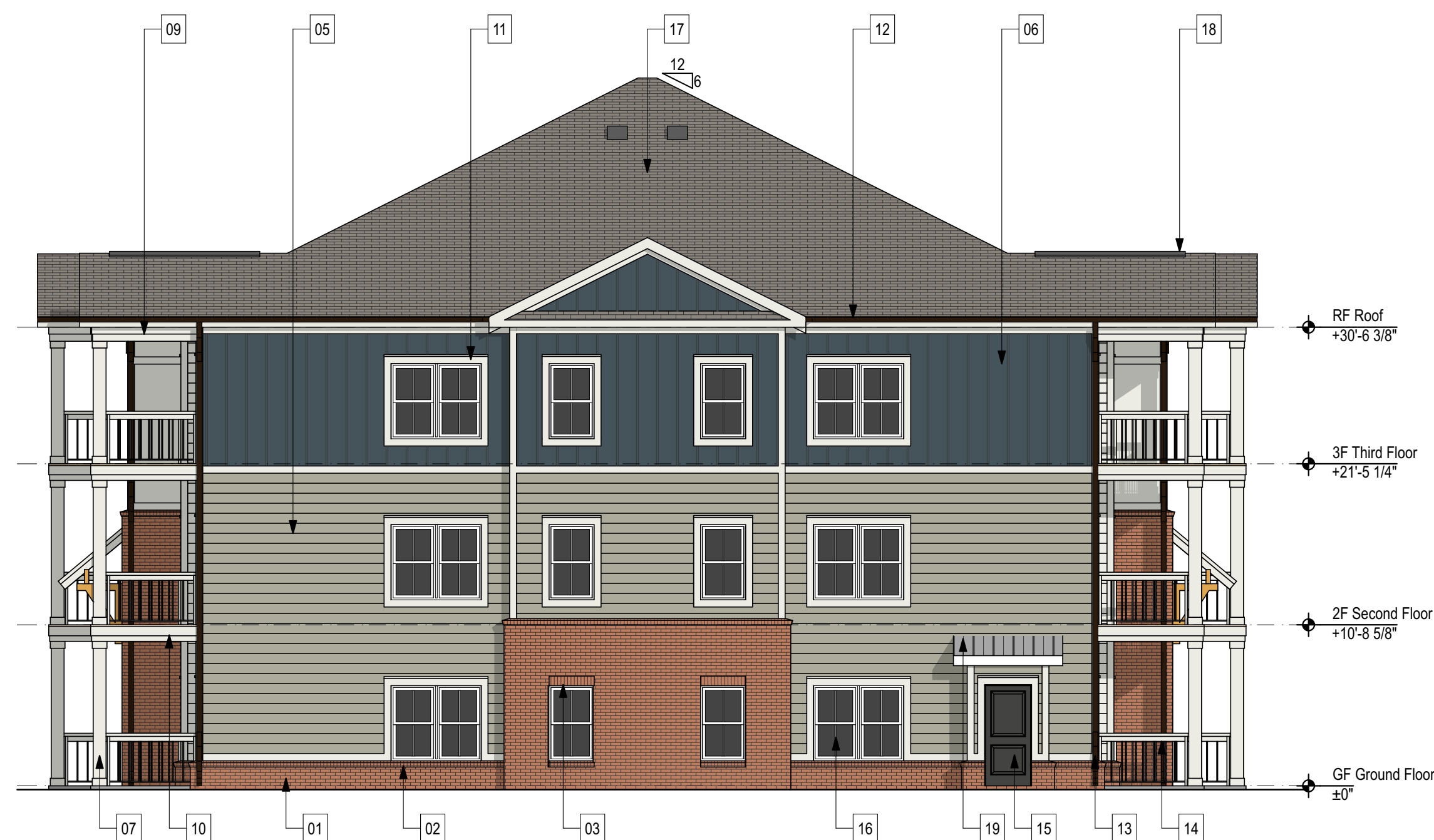
A1 CONCEPTUAL RENDERING



STEEL GROUP
ARCHITECTS

STATUS:	Conceptual Not for Construction
---------	------------------------------------

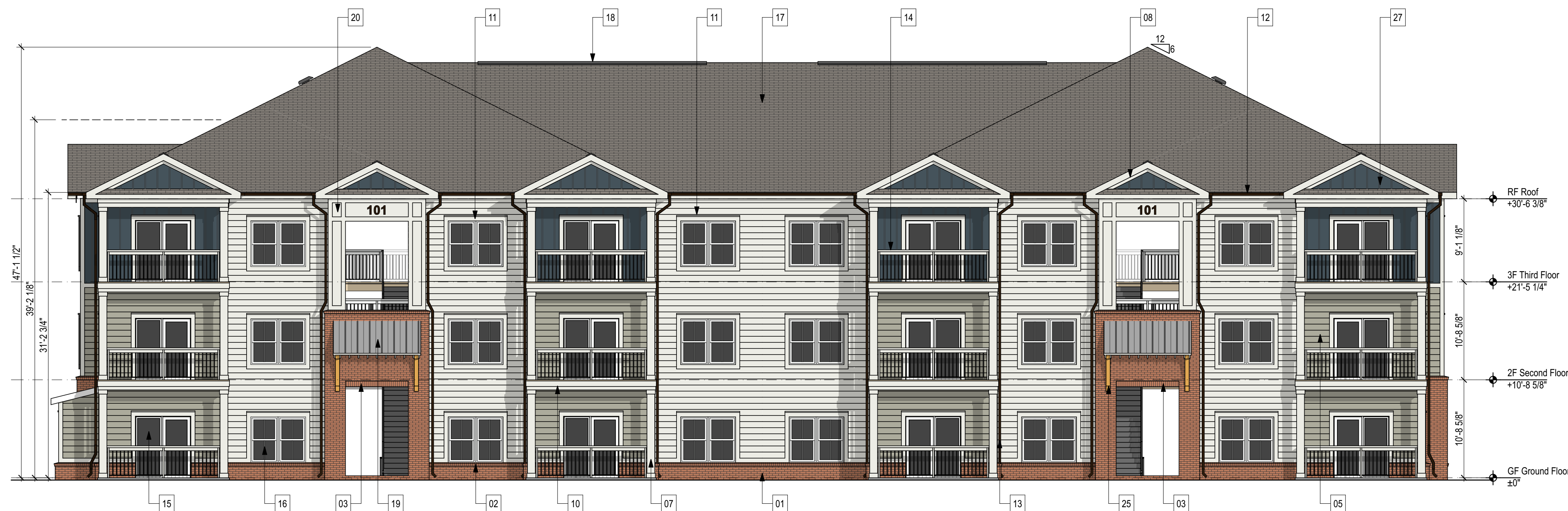
ELEVATION KEYNOTES	
KEY	NOTE
01	BRICK VENEER - US BRICK ALLENDALE, MORTAR ARGOS LITE BUFF
02	BRICK ROWLOCK SILL - US BRICK ALLENDALE, MORTAR ARGOS LITE BUFF
03	BRICK SOLDIER COURSE - US BRICK ALLENDALE, MORTAR ARGOS LITE BUFF
04	BRICK ROWLOCK & SOLDIER COURSE - US BRICK ALLENDALE, MORTAR ARGOS LITE BUFF
05	FIBER CEMENT SIDING - 8" LAP, COLOR #1: SHERWIN WILLIAMS 6183 CONSERVATIVE GRAY
06	FIBER CEMENT SIDING - BOARD & BATTEN, COLOR #3 SHERWIN WILLIAMS 6201 THUNDEROUS
07	FIBER CEMENT COLUMN COVER - COLOR#1 : SHERWIN WILLIAMS 7005 PURE WHITE
08	FIBER CEMENT TRIM - ROOF FASCIA, COLOR#1 : SHERWIN WILLIAMS 7005 PURE WHITE
09	FIBER CEMENT TRIM - ROOF BEAM, COLOR #1: SHERWIN WILLIAMS 7005 PURE WHITE
10	FIBER CEMENT TRIM - BALCONY EDGE, COLOR #1: SHERWIN WILLIAMS 7005 PURE WHITE
11	FIBER CEMENT TRIM - COLOR #1: SHERWIN WILLIAMS 7005 PURE WHITE
12	PRE-FINISHED ALUMINUM GUTTER - COLOR: DARK BRONZE
13	PRE-FINISHED ALUMINUM DOWNSPOUT - COLOR: DARK BRONZE
14	PVC GUARDRAIL - COLOR: WHITE
15	METAL CLAD EXTERIOR DOOR - COLOR #4: SHERWIN WILLIAMS 7069 IRON ORE
16	VINYL SINGLE HUNG WINDOW - COLOR: WHITE
17	30 YEAR ANTI-FUNGAL ARCHITECTURAL SHINGLES
18	CONTINUOUS RIDGE VENT
19	STANDING SEAM METAL ROOF - COLOR: DARK BRONZE
20	FIBER CEMENT PANEL - COLOR #1: SHERWIN WILLIAMS 7005 PURE WHITE
21	FIBERGLASS EXTERIOR DOOR - COLOR #4: SHERWIN WILLIAMS 7069 IRON ORE
22	ALUMINUM STOREFRONT DOOR
23	ALUMINUM STOREFRONT WINDOW
24	OVERHEAD DOOR
25	DOUGLAS FIR WOOD DECORATIVE BRACKET - MINWAX STAIN FALLEN CYPRESS MW425
26	VINYL LOUVER - COLOR: WHITE
27	FIBER CEMENT SIDING - BOARD & BATTEN, COLOR #2 SHERWIN WILLIAMS 6183 CONSERVATIVE GRAY
28	FIBER CEMENT SIDING - 8" LAP, COLOR #3: SHERWIN WILLIAMS 6201 THUNDEROUS
29	FIBER CEMENT SIDING - 8" LAP, COLOR #2: SHERWIN WILLIAMS 7005 PURE WHITE



NOTE:

1. PERCENTAGE OF BRICK ON THIS ELEVATION, EXCLUDING OPENINGS: 17.2%
2. DETAILED DESIGN FEATURES PROVIDED (MIN. OF 3):
 - GABLES
 - EAVES (1'-6" PROJECTION)
 - WINDOW / DOOR TRIM (NOM. 4" WIDE)
 - RECESSED / COVERED ENTRIES
 - OFF-SETS IN BUILDING FACE OR ROOF
 - PILLARS OR POSTS (PROVIDED ON BALCONIES)
 - BALCONIES
3. BUILDINGS COMPLY WITH OFFSET REQUIREMENTS. SEE FLOOR PLANS FOR DIMENSIONS

E4 LEFT ELEVATION - APARTMENT BUILDING, TYPE A
SCALE: 1/8" = 1'-0"



NOTE:

1. PERCENTAGE OF BRICK ON THIS ELEVATION, EXCLUDING OPENINGS: 16.2%
2. DETAILED DESIGN FEATURES PROVIDED (MIN. OF 3):
 - GABLES
 - EAVES (1'-6" PROJECTION)
 - WINDOW / DOOR TRIM (NOM. 4" WIDE)
 - RECESSED / COVERED ENTRIES
 - OFF-SETS IN BUILDING FACE OR ROOF
 - PILLARS OR POSTS (PROVIDED ON BALCONIES)
 - BALCONIES
3. BUILDINGS COMPLY WITH OFFSET REQUIREMENTS. SEE FLOOR PLANS FOR DIMENSIONS

A1 FRONT ELEVATION - APARTMENT BUILDING, TYPE A
SCALE: 1/8" = 1'-0"

The Ronan at Hendersonville
Upward Crossing Drive
Flat Rock, NC 28731

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[illegible]

DATE:
2024-06-20

PROJECT NUMBER:
24 0130

SHEET TITLE:
EXTERIOR ELEVATIONS - APT.
BLDG. TYPE A

SHEET

A-202



STEELE GROUP
ARCHITECTS

STATUS: Conceptual
Not for Construction

The Ronan at Hendersonville
Upward Crossing Drive
Flat Rock, NC 28731

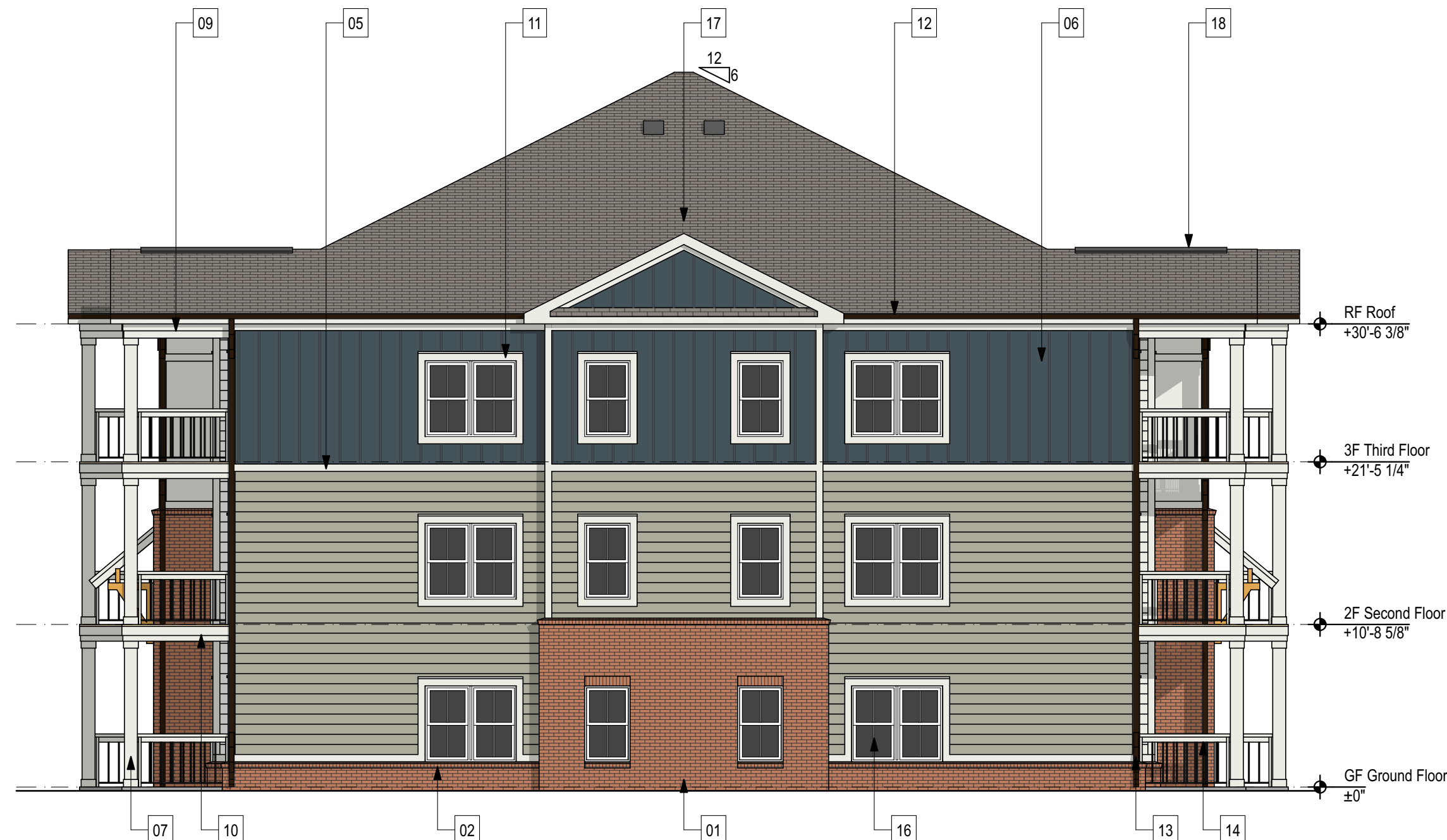
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Version	Transmittal Set Name	Date

DATE:
2024-06-20
PROJECT NUMBER:
24 0130
SHEET TITLE:
EXTERIOR ELEVATIONS - APT.
BLDG. TYPE A

SHEET:

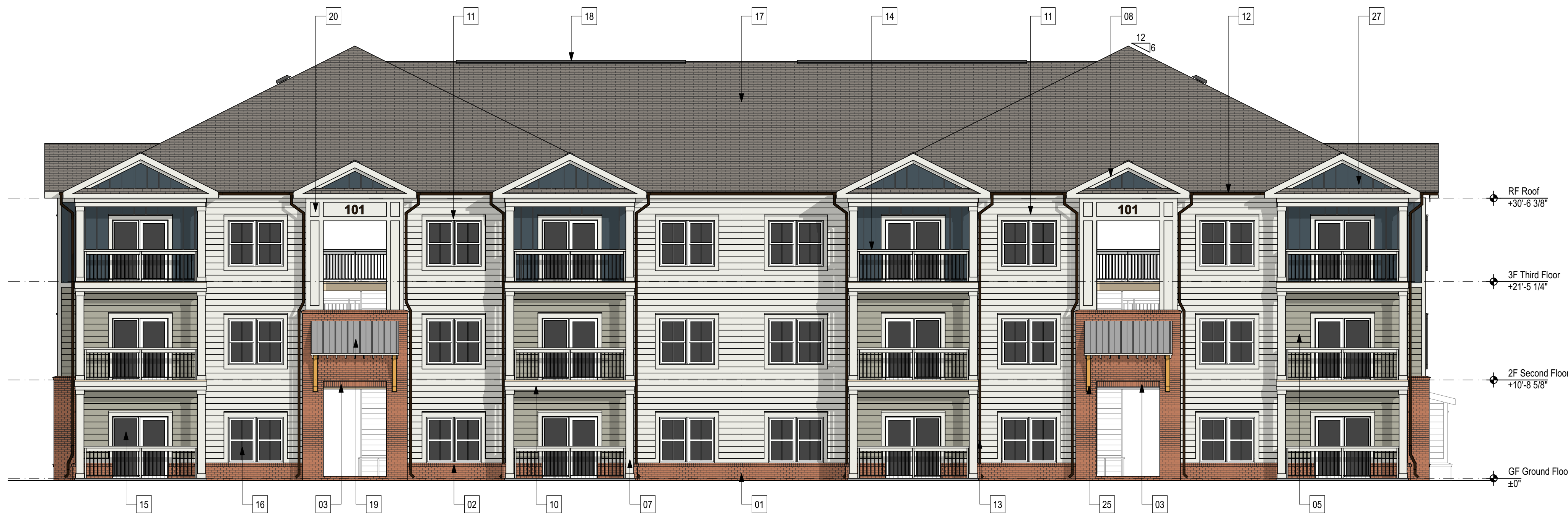
A-203



- NOTE:
- PERCENTAGE OF BRICK ON THIS ELEVATION, EXCLUDING OPENINGS: 16.7%
 - DETAILED DESIGN FEATURES PROVIDED (MIN. OF 3):
 - GABLES
 - EAVES (1'-6" PROJECTION)
 - WINDOW / DOOR TRIM (NOM. 4" WIDE)
 - RECESSED / COVERED ENTRIES
 - OFF-SETS IN BUILDING FACE OR ROOF
 - PILLARS OR POSTS (PROVIDED ON BALCONIES)
 - BALCONIES
 - BUILDINGS COMPLY WITH OFFSET REQUIREMENTS. SEE FLOOR PLANS FOR DIMENSIONS.

E4 RIGHT ELEVATION - APARTMENT BUILDING, TYPE A

SCALE: 1/8" = 1'-0"



- NOTE:
- PERCENTAGE OF BRICK ON THIS ELEVATION, EXCLUDING OPENINGS: 16.2%
 - DETAILED DESIGN FEATURES PROVIDED (MIN. OF 3):
 - GABLES
 - EAVES (1'-6" PROJECTION)
 - WINDOW / DOOR TRIM (NOM. 4" WIDE)
 - RECESSED / COVERED ENTRIES
 - OFF-SETS IN BUILDING FACE OR ROOF
 - PILLARS OR POSTS (PROVIDED ON BALCONIES)
 - BALCONIES
 - BUILDINGS COMPLY WITH OFFSET REQUIREMENTS. SEE FLOOR PLANS FOR DIMENSIONS.

A1 REAR ELEVATION - APARTMENT BUILDING, TYPE A

SCALE: 1/8" = 1'-0"



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STATUS: Conceptual
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Flat Rock, NC 28731

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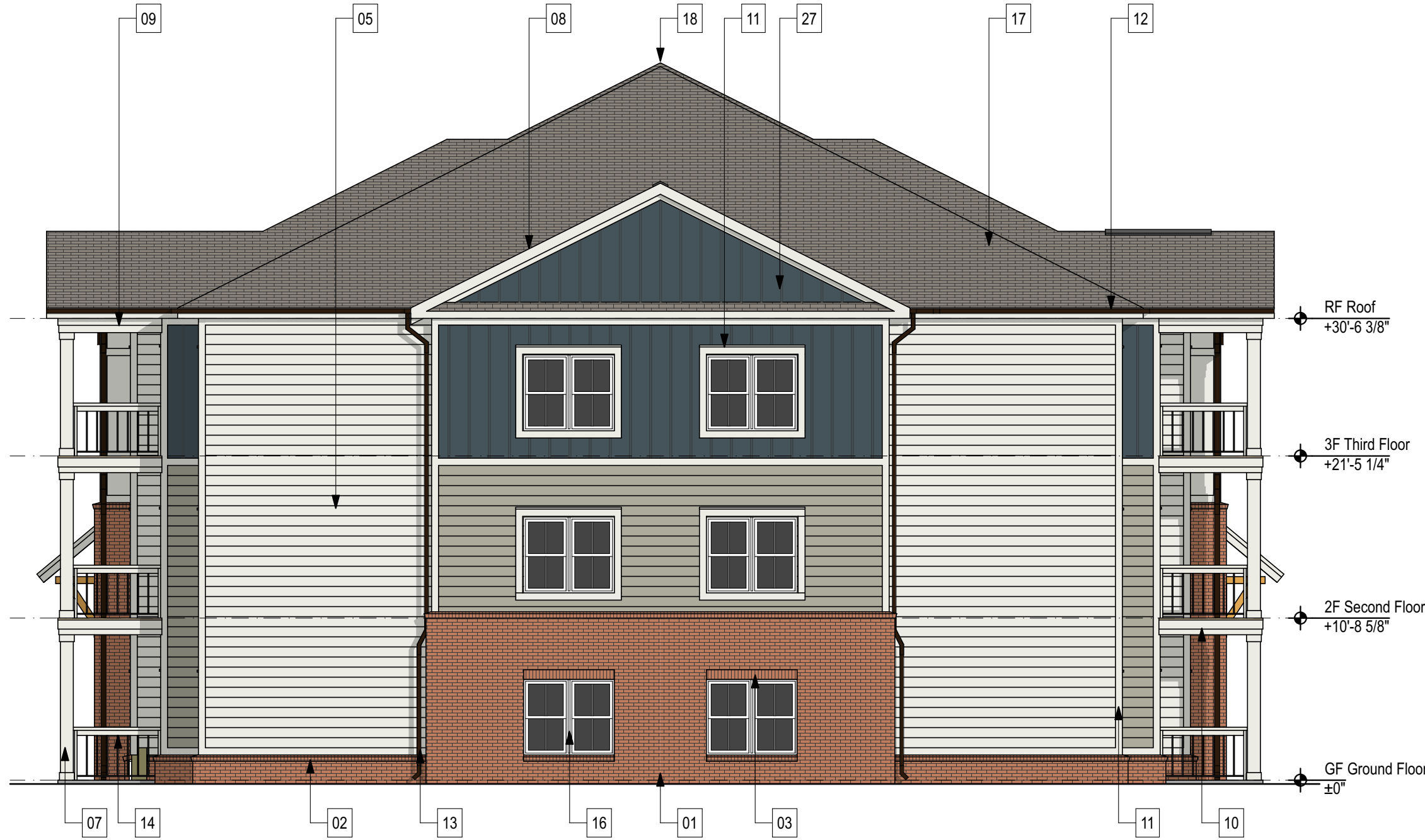
Version	Transmittal Set Name	Date

DATE:
2024-06-20
PROJECT NUMBER:
24 0130
SHEET TITLE:
EXTERIOR ELEVATIONS - APT.
BLDG. TYPE B

SHEET:

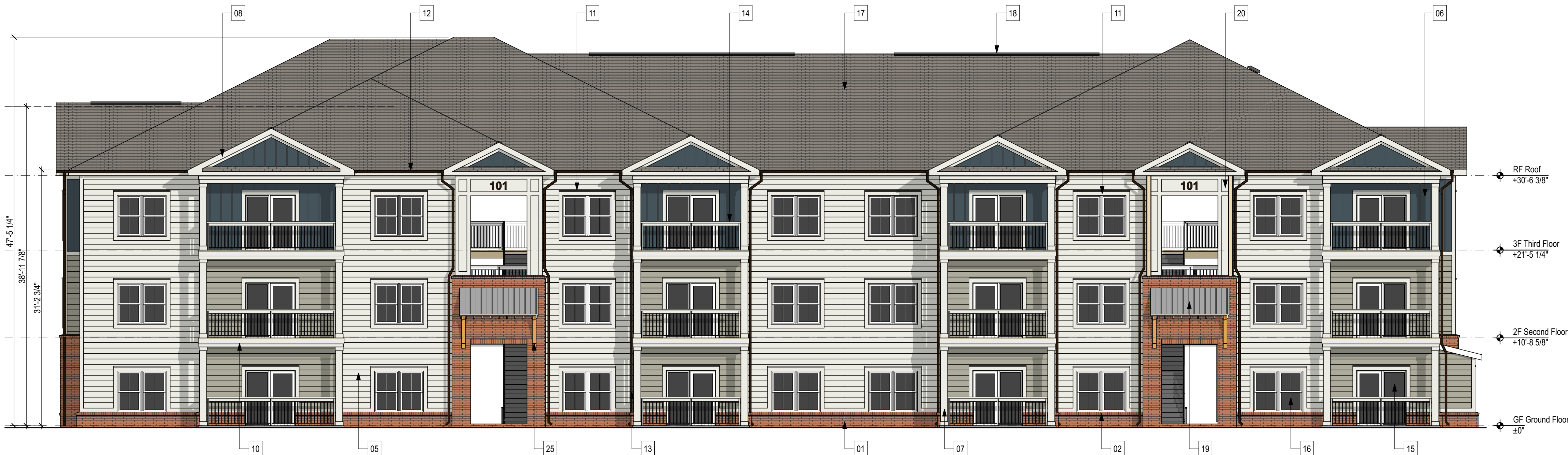
A-204

ELEVATION KEYNOTES	
KEY	NOTE
01	BRICK VENEER - US BRICK ALLENDALE, MORTAR ARGOS LITE BUFF
02	BRICK ROWLOCK SILL - US BRICK ALLENDALE, MORTAR ARGOS LITE BUFF
03	BRICK SOLDIER COURSE - US BRICK ALLENDALE, MORTAR ARGOS LITE BUFF
04	BRICK ROWLOCK & SOLDIER COURSE - US BRICK ALLENDALE, MORTAR ARGOS LITE BUFF
05	FIBER CEMENT SIDING - 8" LAP, COLOR #1: SHERWIN WILLIAMS 6183 CONSERVATIVE GRAY
06	FIBER CEMENT SIDING - BOARD & BATTEN, COLOR #3 SHERWIN WILLIAMS 6201 THUNDEROUS
07	FIBER CEMENT COLUMN COVER - COLOR#1 : SHERWIN WILLIAMS 7005 PURE WHITE
08	FIBER CEMENT TRIM - ROOF FASCIA, COLOR#1 : SHERWIN WILLIAMS 7005 PURE WHITE
09	FIBER CEMENT TRIM - ROOF BEAM, COLOR #1: SHERWIN WILLIAMS 7005 PURE WHITE
10	FIBER CEMENT TRIM - BALCONY EDGE, COLOR #1: SHERWIN WILLIAMS 7005 PURE WHITE
11	FIBER CEMENT TRIM - COLOR #1: SHERWIN WILLIAMS 7005 PURE WHITE
12	PRE-FINISHED ALUMINUM GUTTER - COLOR: DARK BRONZE
13	PRE-FINISHED ALUMINUM DOWNSPOUT - COLOR: DARK BRONZE
14	PVC GUARDRAIL - COLOR: WHITE
15	METAL CLAD EXTERIOR DOOR - COLOR #4: SHERWIN WILLIAMS 7069 IRON ORE
16	VINYL SINGLE HUNG WINDOW - COLOR: WHITE
17	30 YEAR ANTI-FUNGAL ARCHITECTURAL SHINGLES
18	CONTINUOUS RIDGE VENT
19	STANDING SEAM METAL ROOF - COLOR: DARK BRONZE
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22	ALUMINUM STOREFRONT DOOR
23	ALUMINUM STOREFRONT WINDOW
24	OVERHEAD DOOR
25	DOUGLAS FIR WOOD DECORATIVE BRACKET - MINWAX STAIN FALLEN CYPRESS MW425
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29	FIBER CEMENT SIDING - 8" LAP, COLOR #2: SHERWIN WILLIAMS 7005 PURE WHITE



- NOTE:
- PERCENTAGE OF BRICK ON THIS ELEVATION, EXCLUDING OPENINGS: 20.6%
 - DETAILED DESIGN FEATURES PROVIDED (MIN. OF 3):
 - GABLES
 - EAVES (1'-6" PROJECTION)
 - WINDOW / DOOR TRIM (NOM. 4" WIDE)
 - RECESSED / COVERED ENTRIES
 - OFF-SETS IN BUILDING FACE OR ROOF
 - PILLARS OR POSTS (PROVIDED ON BALCONIES)
 - BALCONIES
 - BUILDINGS COMPLY WITH OFFSET REQUIREMENTS. SEE FLOOR PLANS FOR DIMENSIONS.

E4 LEFT ELEVATION - APARTMENT BUILDING, TYPE B
SCALE: 1/8" = 1'-0"



- NOTE:
- PERCENTAGE OF BRICK ON THIS ELEVATION, EXCLUDING OPENINGS: 15.0%
 - DETAILED DESIGN FEATURES PROVIDED (MIN. OF 3):
 - GABLES
 - EAVES (1'-6" PROJECTION)
 - WINDOW / DOOR TRIM (NOM. 4" WIDE)
 - RECESSED / COVERED ENTRIES
 - OFF-SETS IN BUILDING FACE OR ROOF
 - PILLARS OR POSTS (PROVIDED ON BALCONIES)
 - BALCONIES
 - BUILDINGS COMPLY WITH OFFSET REQUIREMENTS. SEE FLOOR PLANS FOR DIMENSIONS.

A1 FRONT ELEVATION - APARTMENT BUILDING, TYPE B
SCALE: 1/8" = 1'-0"



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Flat Rock, NC 28731

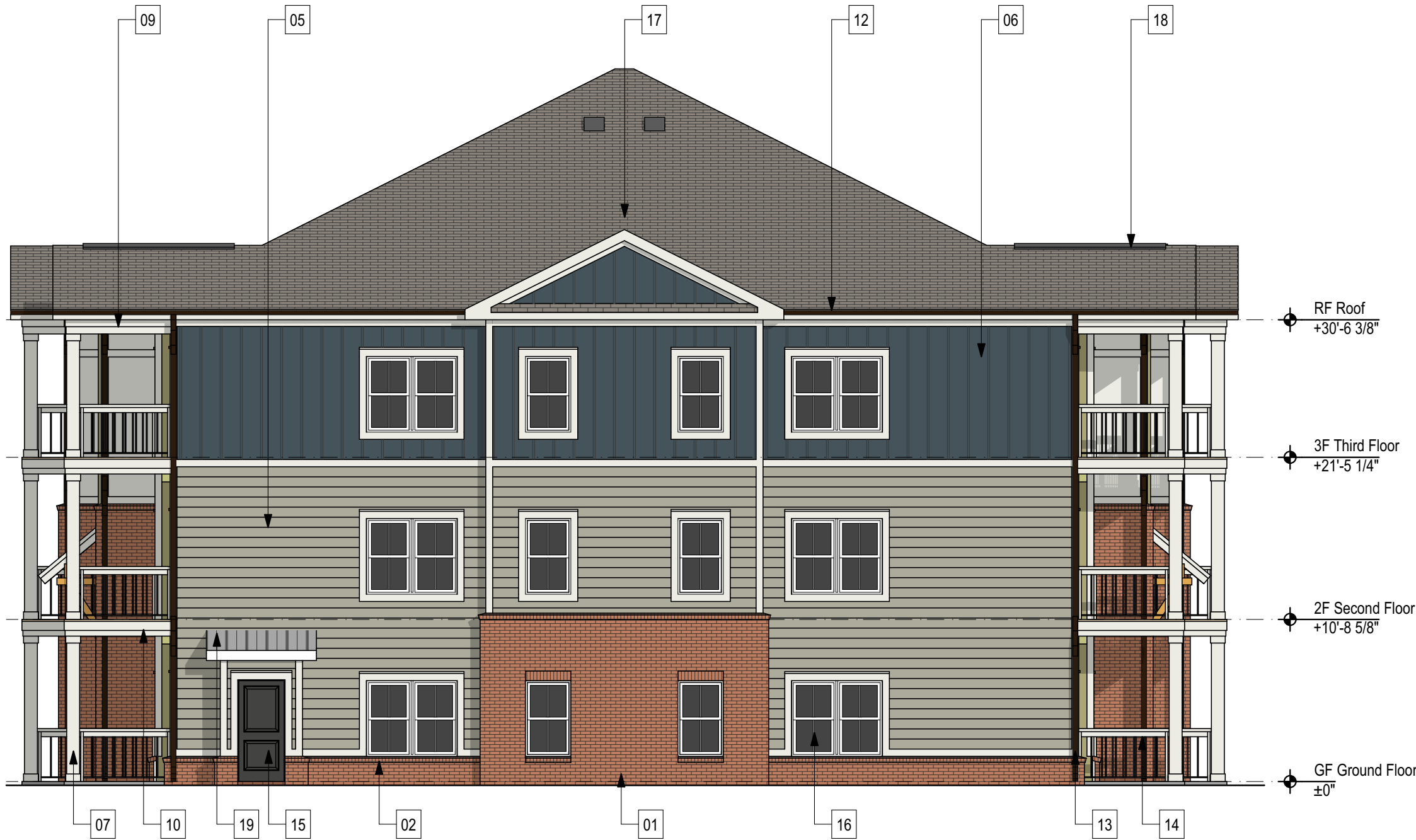
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Version	Transmittal Set Name	Date

DATE:
2024-06-20
PROJECT NUMBER:
24 0130
SHEET TITLE:
EXTERIOR ELEVATIONS - APT.
BDLG. TYPE B

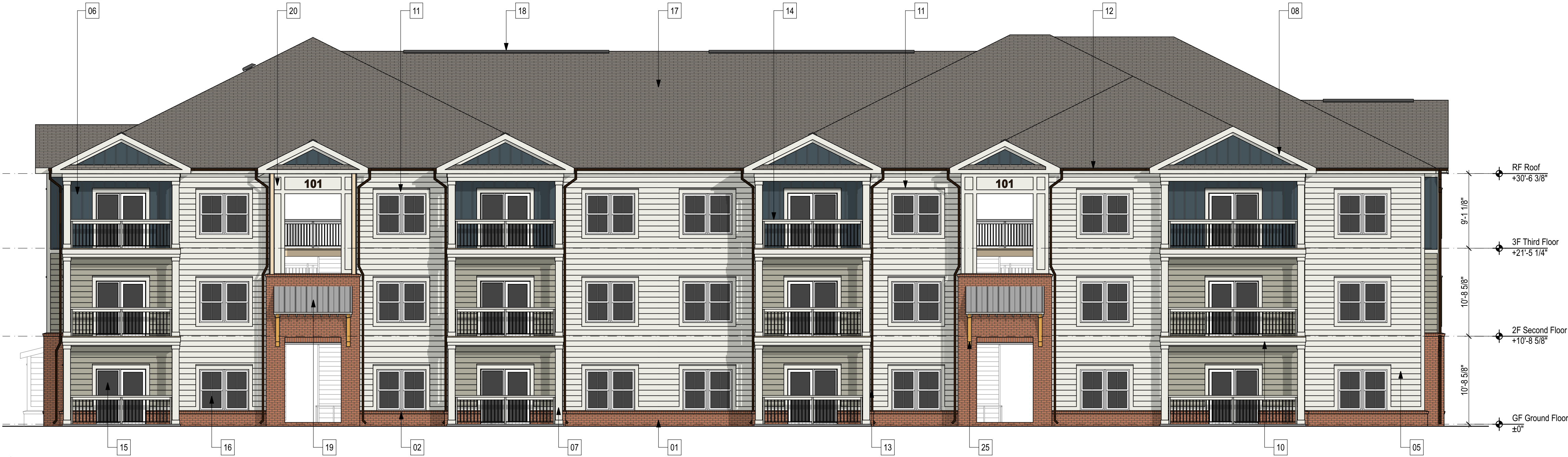
SHEET:

A-205



- NOTE:
1. PERCENTAGE OF BRICK ON THIS ELEVATION, EXCLUDING OPENINGS: 16.7%
 2. DETAILED DESIGN FEATURES PROVIDED (MIN. OF 3):
 - GABLES
 - EAVES (1'-6" PROJECTION)
 - WINDOW / DOOR TRIM (NOM. 4" WIDE)
 - RECESSED / COVERED ENTRIES
 - OFF-SETS IN BUILDING FACE OR ROOF
 - PILLARS OR POSTS (PROVIDED ON BALCONIES)
 - BALCONIES
 3. BUILDINGS COMPLY WITH OFFSET REQUIREMENTS. SEE FLOOR PLANS FOR DIMENSIONS.

E4 RIGHT ELEVATION - APARTMENT BUILDING, TYPE B
SCALE: 1/8" = 1'-0"



- NOTE:
1. PERCENTAGE OF BRICK ON THIS ELEVATION, EXCLUDING OPENINGS: 15.0%
 2. DETAILED DESIGN FEATURES PROVIDED (MIN. OF 3):
 - GABLES
 - EAVES (1'-6" PROJECTION)
 - WINDOW / DOOR TRIM (NOM. 4" WIDE)
 - RECESSED / COVERED ENTRIES
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 - PILLARS OR POSTS (PROVIDED ON BALCONIES)
 - BALCONIES
 3. BUILDINGS COMPLY WITH OFFSET REQUIREMENTS. SEE FLOOR PLANS FOR DIMENSIONS.

A1 REAR ELEVATION - APARTMENT BUILDING, TYPE B
SCALE: 1/8" = 1'-0"



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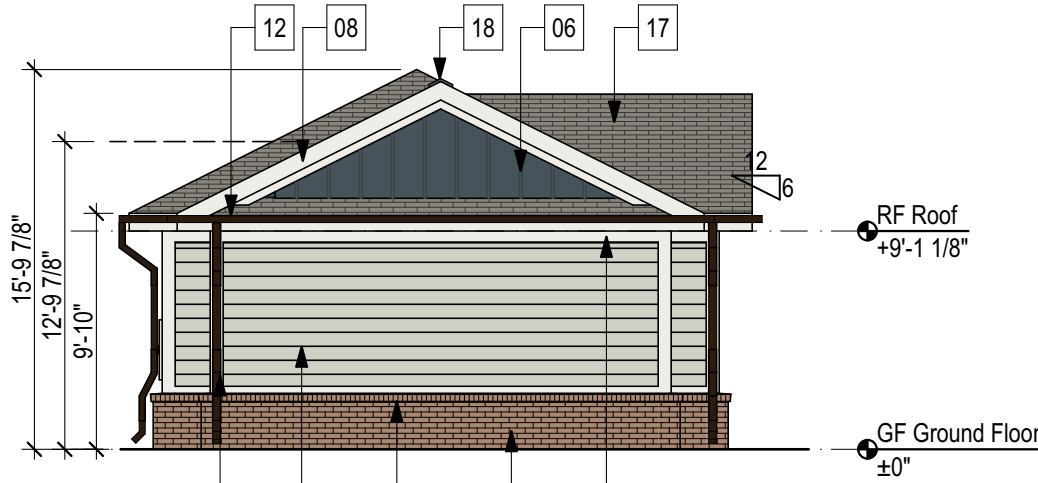
Version	Transmittal Set Name	Date

DATE: 2024-06-20
PROJECT NUMBER: 24 0130
SHEET TITLE: EXTERIOR ELEVATIONS - GARAGES

SHEET:

A-206

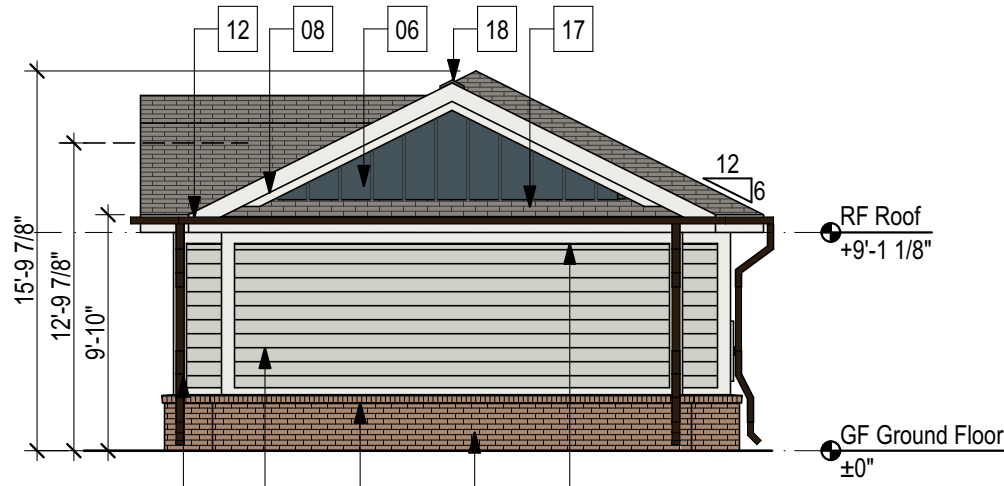
ELEVATION KEYNOTES	
KEY	NOTE
01	BRICK VENEER - US BRICK ALLENDALE, MORTAR ARGOS LITE BUFF
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04	BRICK ROWLOCK & SOLDIER COURSE - US BRICK ALLENDALE, MORTAR ARGOS LITE BUFF
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12	PRE-FINISHED ALUMINUM GUTTER - COLOR: DARK BRONZE
13	PRE-FINISHED ALUMINUM DOWNSPOUT - COLOR: DARK BRONZE
14	PVC GUARDRAIL - COLOR: WHITE
15	METAL CLAD EXTERIOR DOOR - COLOR #4: SHERWIN WILLIAMS 7069 IRON ORE
16	VINYL SINGLE HUNG WINDOW - COLOR: WHITE
17	30 YEAR ANTI-FUNGAL ARCHITECTURAL SHINGLES
18	CONTINUOUS RIDGE VENT
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26	VINYL LOUVER - COLOR: WHITE
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29	FIBER CEMENT SIDING - 8" LAP, COLOR #2: SHERWIN WILLIAMS 7005 PURE WHITE



NOTE:
1. PERCENTAGE OF BRICK ON THIS ELEVATION, EXCLUDING OPENINGS: 26.3%
2. DETAILED DESIGN FEATURES PROVIDED (MIN. OF 3):
- GABLES
- EAVES (1'-6" PROJECTION)
- OFFSETS IN BUILDING FACE AND ROOF

G6 RIGHT ELEVATION - GARAGES

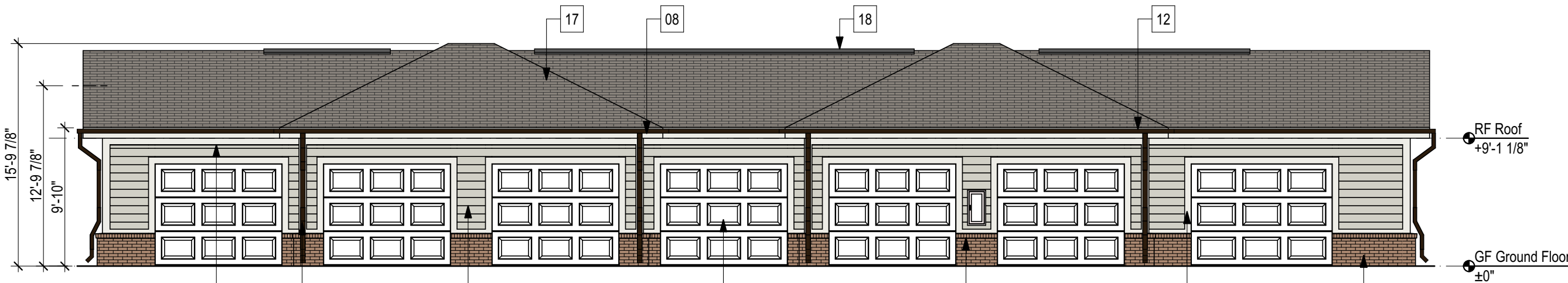
SCALE: 1/8" = 1'-0"



NOTE:
1. PERCENTAGE OF BRICK ON THIS ELEVATION, EXCLUDING OPENINGS: 25.8%
2. DETAILED DESIGN FEATURES PROVIDED (MIN. OF 3):
- GABLES
- EAVES (1'-6" PROJECTION)
- OFFSETS IN BUILDING FACE AND ROOF

E6 LEFT ELEVATION - GARAGES

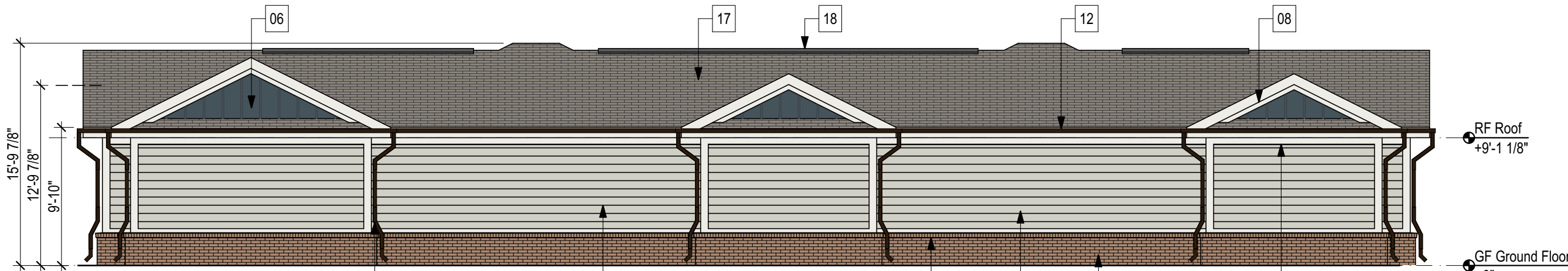
SCALE: 1/8" = 1'-0"



NOTE:
1. PERCENTAGE OF BRICK ON THIS ELEVATION, EXCLUDING OPENINGS: 18.4%
2. DETAILED DESIGN FEATURES PROVIDED (MIN. OF 3):
- EAVES (1'-6" PROJECTION)
- OFFSETS IN BUILDING FACE AND ROOF
- WINDOW / DOOR TRIM (NOM. 4" WIDE)

C6 FRONT ELEVATION - GARAGES

SCALE: 1/8" = 1'-0"



NOTE:
1. PERCENTAGE OF BRICK ON THIS ELEVATION, EXCLUDING OPENINGS: 25.8%
2. DETAILED DESIGN FEATURES PROVIDED (MIN. OF 3):
- GABLES
- EAVES (1'-6" PROJECTION)
- OFFSETS IN BUILDING FACE AND ROOF

A6 REAR ELEVATION - GARAGES

SCALE: 1/8" = 1'-0"



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STATUS: Conceptual
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Version	Transmittal Set Name	Date

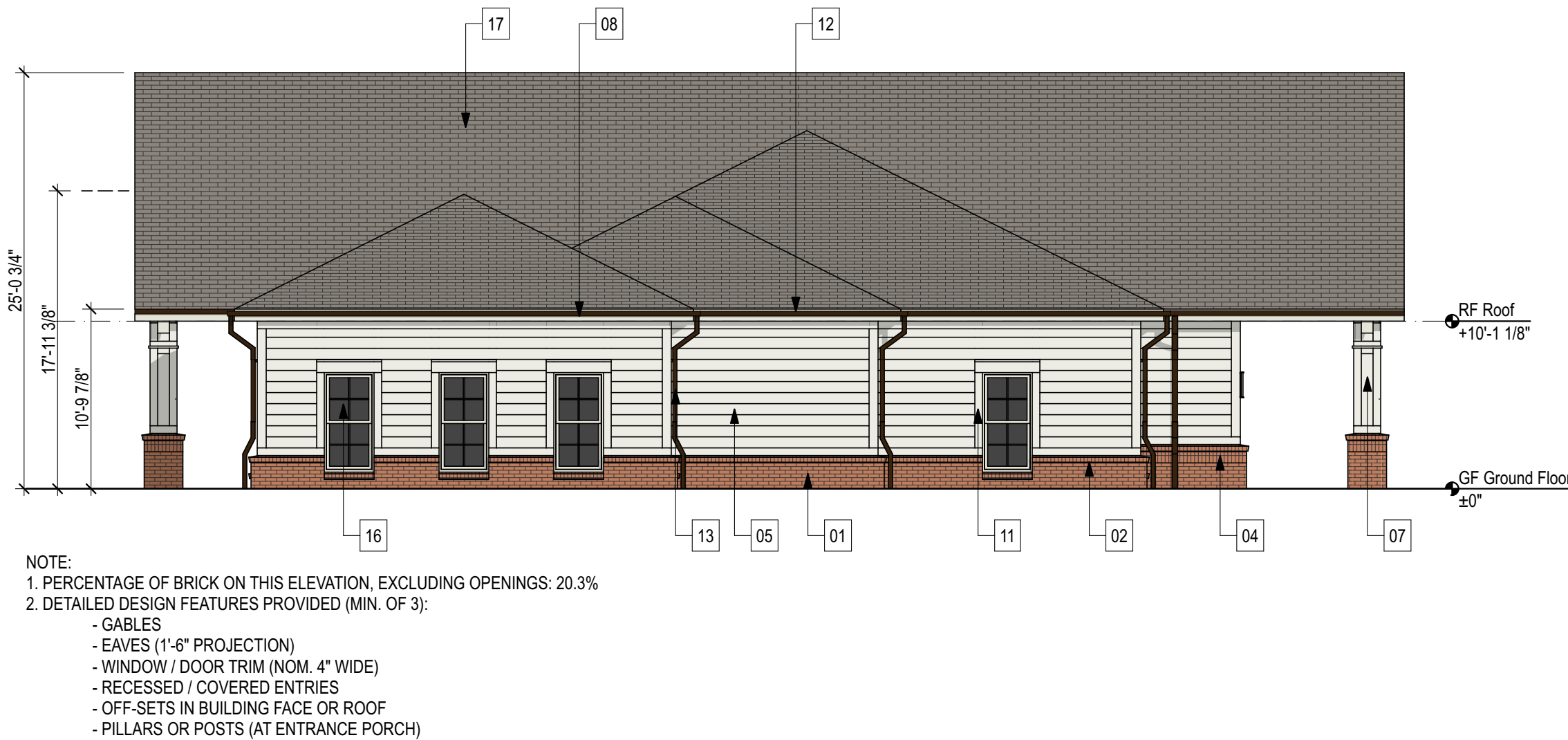
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2024-06-20
PROJECT NUMBER:
24 0130
SHEET TITLE:
EXTERIOR ELEVATIONS -
CLUBHOUSE

SHEET:

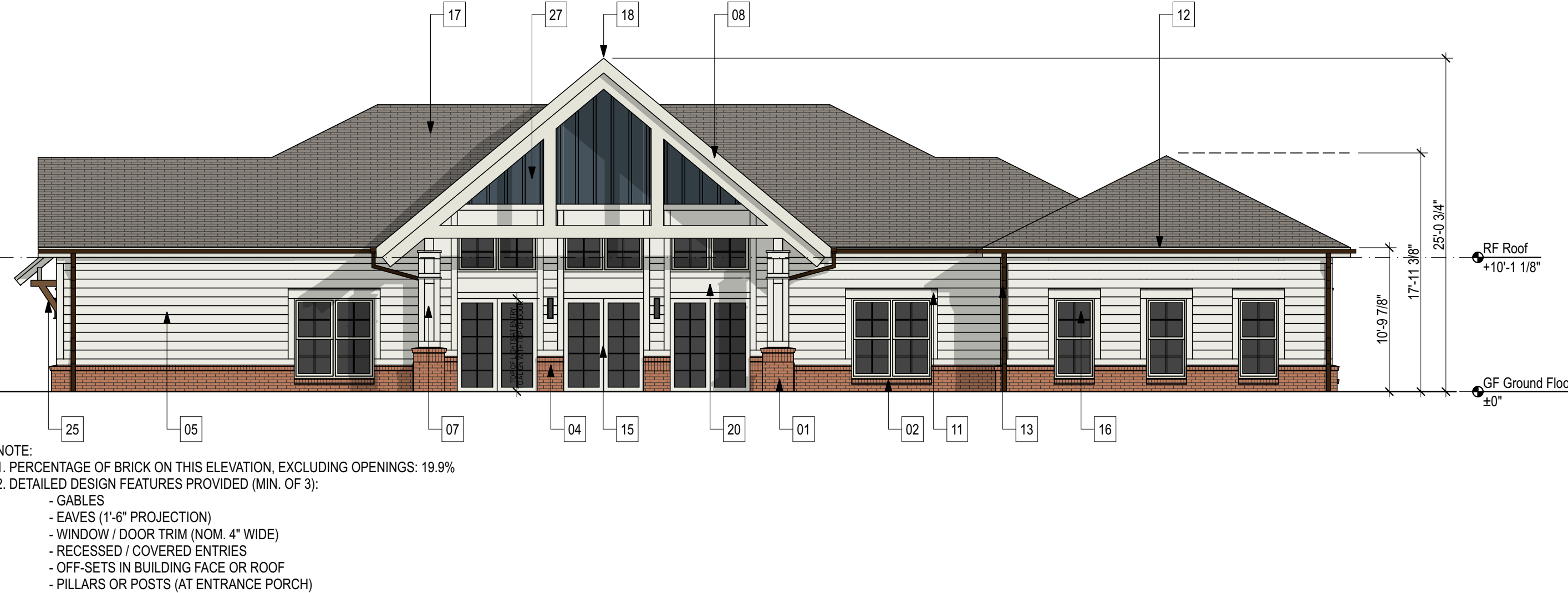
A-207

ELEVATION KEYNOTES	
KEY	NOTE
01	BRICK VENEER - US BRICK ALLENDALE, MORTAR ARGOS LITE BUFF
02	BRICK ROWLOCK SILL - US BRICK ALLENDALE, MORTAR ARGOS LITE BUFF
03	BRICK SOLDIER COURSE - US BRICK ALLENDALE, MORTAR ARGOS LITE BUFF
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17	30 YEAR ANTI-FUNGAL ARCHITECTURAL SHINGLES

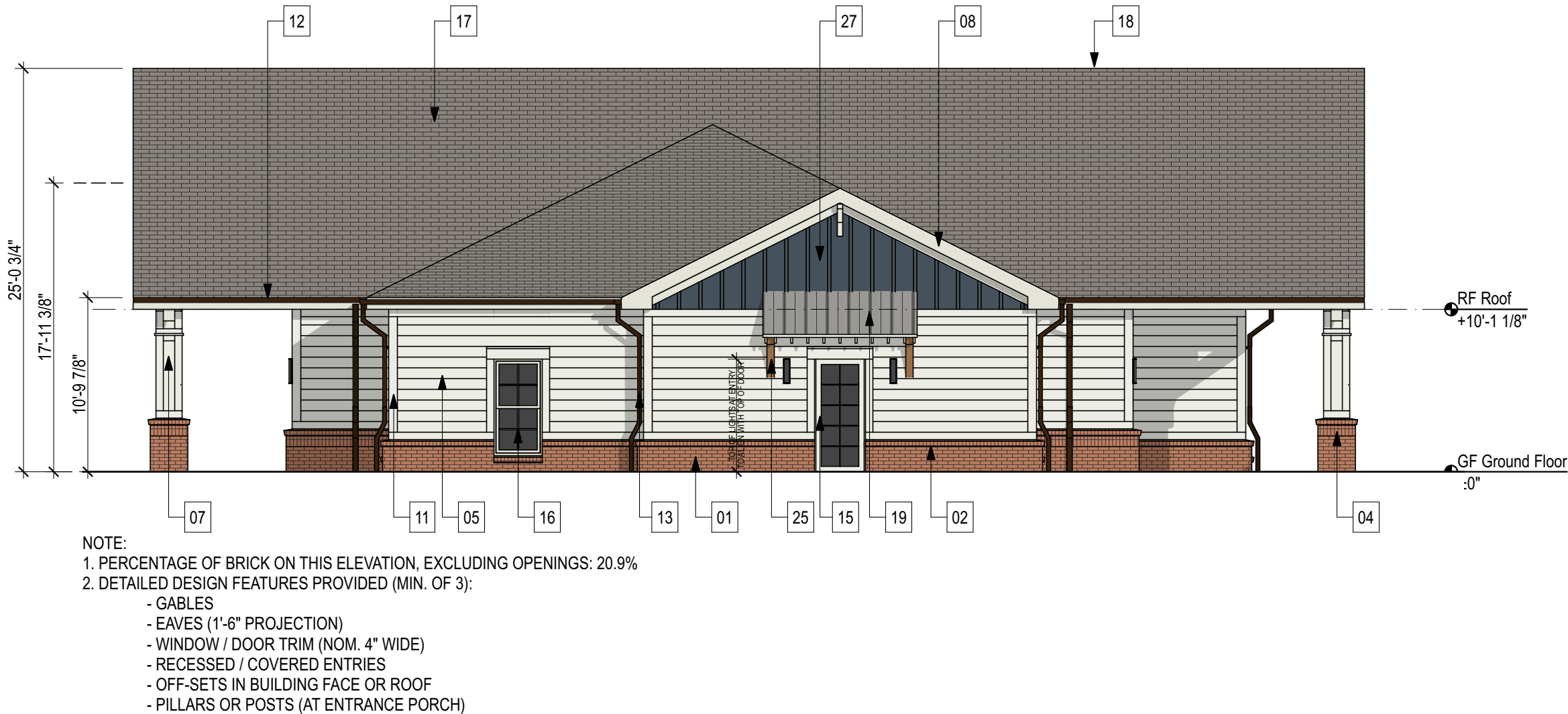
18	CONTINUOUS RIDGE VENT
19	STANDING SEAM METAL ROOF - COLOR: DARK BRONZE
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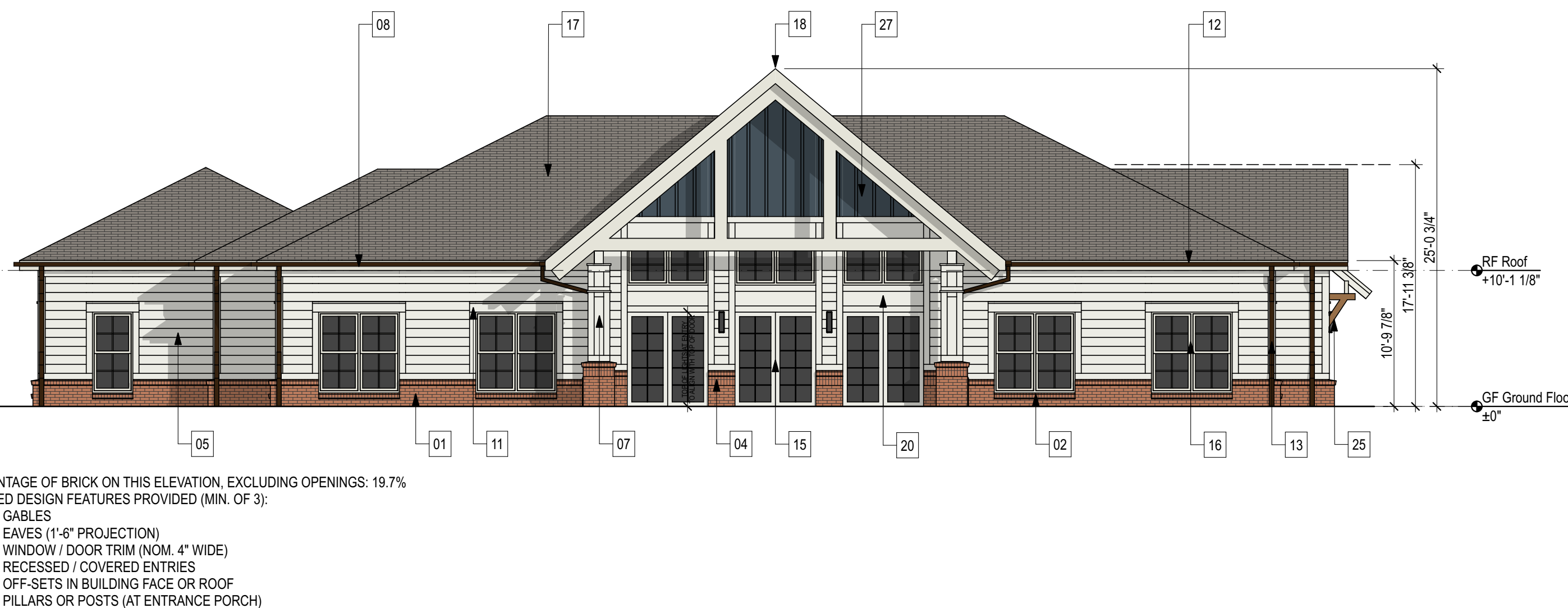
D1 CLUBHOUSE - LEFT ELEVATION
SCALE: 1/8" = 1'-0"



D5 CLUBHOUSE - REAR ELEVATION
SCALE: 1/8" = 1'-0"



A1 CLUBHOUSE - RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



A5 CLUBHOUSE - FRONT ELEVATION
SCALE: 1/8" = 1'-0"



NEIGHBORHOOD COMPATIBILITY MEETING REPORT
RONAN AT HENDERSONVILLE (P24-33-CZD)
NCM MEETING DATE: JUNE 19TH, 2024

PETITION REQUEST: Rezoning: Commercial Highway Mixed Use-Conditional Zoning District (CHMU-CZD)

APPLICANT/PETITIONER: Paul Aiesi, manager of Graycliff Capital Development, LLC [Applicant] & Robert O. Camenzind, Peggy C. Cabe, John T Fleming, Enno F. Camenzind, Paula Camenzind Carter [Owners]

NEIGHBORHOOD COMPATIBILITY MEETING SUMMARY:

A Neighborhood Compatibility Meeting was held for this project on June 19th, 2024 at 2pm in the assembly room of the City Operations Building, 305 Williams Street. and via Zoom. The meeting lasted approximately 35 minutes.

There were 2 members of the public in attendance in-person and 2 attended virtually. The applicant and their development team were present as were 2 members of City staff.

Staff gave the formal introduction and a brief overview of the request.

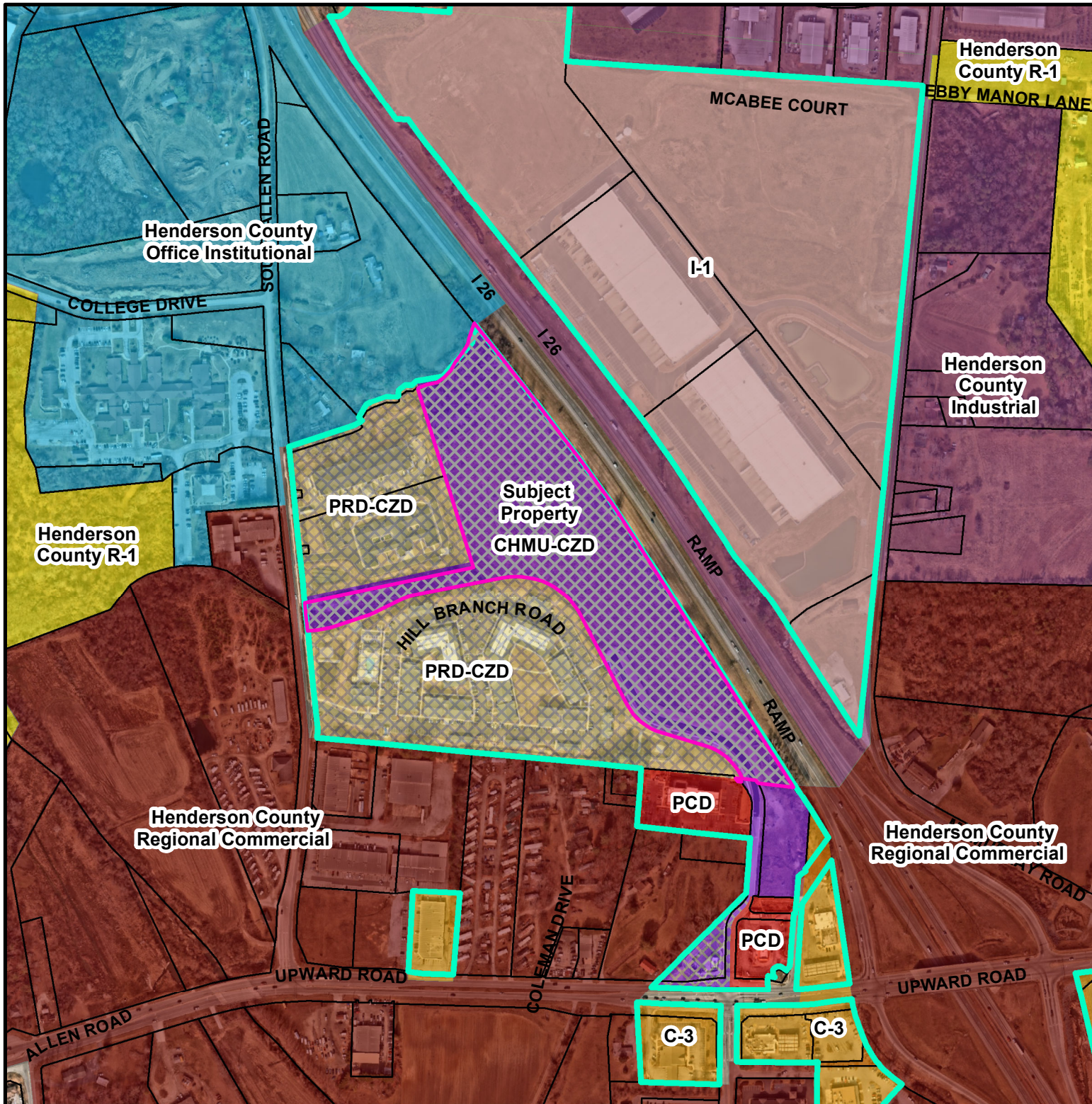
There were 2 pre-submitted public comments.

The development team presented their project proposal for the 192-unit multi-family development.

Concerns and questions from the public related to:

- The need to conserve as many trees as feasible.
- Whether the stormwater detention location would affect tree preservation.
- The absence of Phase 2 being discussed during the Phase I of the Waterleaf Development review.
- Potential installation of a sound wall by NCDOT or the developer.
- The affordability of the housing units.
- Potential requirement for a Traffic Impact Analysis for the development.
- The recommendation for conducting a wildlife study.
- Concerns regarding the loss of agricultural land.

Full minutes from the Neighborhood Compatibility Meeting and pre-submitted public comments are available for review by request.



Ronan at Hendersonville

P24-33-CZD

PIN: 9588-22-1126

Acreage: 17.13

Proposed Zoning

- Subject Property
- Hendersonville City Limits
- Hendersonville Zoning**
- CZD Conditional Zoning Districts
 - Planned Residential Development Conditional Zoning District
 - C-3 Highway Business
 - CHMU Commercial Highway Mixed Use
 - PCD Planned Commercial Development
 - I-1 Industrial
- Henderson County Zoning**
- RC - Regional Commercial
 - OI - Office Institutional District
 - I - Industrial
 - R-1 - Residential 1



Ordinance # ____ - ____

AN ORDINANCE OF THE CITY OF HENDERSONVILLE CITY COUNCIL TO AMEND THE OFFICIAL ZONING MAP OF THE CITY OF HENDERSONVILLE FOR A PARCEL POSSESSING PIN NUMBER: 9588-22-1126 BY CHANGING THE ZONING DESIGNATION FROM CHMU, COMMERCIAL HIGHWAY MIXED USE TO CHMU-CZD, COMMERCIAL HIGHWAY MIXED USE CONDITIONAL ZONING DISTRICT

IN RE: Parcel Number: 9588-22-1126
Address: 0 South Allen Road
Ronan at Hendersonville: (File # P24-33-CZD)

WHEREAS, the City is in receipt of a Conditional Rezoning application from applicant, Paul Aiesi, Manager of Graycliff Capital Development, LLC, and property owners, Robert O. Camenzind, Peggy C. Cabe, John T Fleming, Enno F. Camenzind, Paula Camenzind Carter, for the construction of a 192-unit multi-family development on approximately 17.13 acres, and

WHEREAS, the Planning Board took up this application at its regular meeting on May 8th, 2025; voting 0-0 to recommend/not recommend City Council approve an ordinance amending the official zoning map of the City of Hendersonville, and

WHEREAS, City Council took up this application at its regular meeting on June 5th, 2025, and

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Hendersonville, North Carolina:

1. Pursuant to Article XI of the Zoning Ordinance of the City of Hendersonville, North Carolina, the Zoning Map is hereby amended by changing the zoning designation of the following: Parcel Number: 9588-22-1126, changing the zoning designation from CHMU, Commercial Highway Mixed Use to CHMU-CZD, Commercial Highway Mixed Use Conditional Zoning District.
2. Development of the parcel pursuant to this Ordinance is subject to the following.
 - a. Development shall comply with the master site plan submitted by the applicant dated April 25th, 2025, including the conditions listed therein, [and/or as modified and presented to City Council][and/or including modifications approved by City Council which shall be added to the site plan. The updated site shall be submitted to the City at or before the applicant’s execution of this Ordinance].
 - b. Permitted uses shall include:
 - i. Residential dwellings, multi-family
 - ii. Accessory uses & structures
 - c. Additional conditions that shall be satisfied prior to final site plan approval include:
 - i.
3. Except where modified by the terms of this Ordinance, development of the parcel(s) shall occur in accordance with the final site plan requirements of Article VII of the Zoning Ordinance of the City of Hendersonville, North Carolina.
4. Except where explicit relief is granted by the terms of this Ordinance, the development of the parcel(s) shall occur in accordance with all applicable standards within local ordinances and policies.

This ordinance shall be not be effective until the list of use(s) and conditions, established herein, is consented to in writing by the applicant and all owners of the subject property. Upon such written consent, this ordinance shall be effective retroactive to the date of its adoption.

Adopted this 5th day of June 2025.

Attest:

Barbara G. Volk, Mayor, City of Hendersonville

Jill Murray, City Clerk

Approved as to form:

Angela S. Beeker, City Attorney

With their signatures below, the undersigned applicant(s) and property owner(s) consent to and agree to all conditions imposed pursuant to the terms of this Ordinance.

IN RE: Parcel Number: 9588-22-1126
 Address: 0 South Allen Road
 Ronan at Hendersonville: (File # P24-33-CZD)

Applicant/Developer: Paul Aiesi, manager of
Graycliff Capital Development, LLC

Signature:_____

Printed Name:_____

Title: Manager

Date:_____

Property Owner: Robert O. Camenzind

Signature:_____

Printed Name:_____

Date:_____

Property Owner: Peggy C. Cabe

Signature:_____

Printed Name:_____

Date:_____

Property Owner: John T Fleming

Signature:_____

Printed Name:_____

Date:_____

Property Owner: Enno F. Camenzind

Signature:_____

Printed Name:_____

Date:_____

Property Owner: Paula Camenzind Carter

Signature:_____

Printed Name:_____

Date:_____



CITY OF HENDERSONVILLE
COMMUNITY DEVELOPMENT DEPARTMENT
 100 N. King Street, Hendersonville, NC 28792
 Phone (828) 697-3010 | Fax (828) 698-6185
 www.hendersonvillenc.gov

Conditional Zoning District Petition
Section 7-4 and Article 11 City Zoning Ordinance

The following are the **required** submittals for a complete application for rezoning a property or properties to a Conditional Zoning District. Staff will not review applications until each item has been submitted and determined complete. By placing a check mark by each of the following items, you are certifying that you have performed that task.

- ☒ 1. Completed Pre-Application meeting with Planning Staff
- ☐ 2. Scheduled Neighborhood Compatibility Meeting (REQUESTED BY THIS SUBMITTAL 5/22)
 NCM Date: _____ Time: _____
- ☒ 3. Water and Sewer Availability Request (WITH PLAN SUBMITTAL)
- ☒ 4. Completed Application Form
- ☒ 5. Completed Signature Page (completed Owner's Affidavit if different from applicant)
- ☒ 6. Completed Site Plan as described in Section 7-4.3-1 of the City Zoning Ordinance
- ☒ 7. Detailed explanation of any Proposed Development Description
- ☒ 8. Application Fee
9. Transportation Impact Analysis - Required for complete application but not due until 24 calendar days prior to Planning Board Meeting (if required)

Note: Additional Approvals prior to the issuance of a Zoning Compliance Permit may include, but are not limited to the following:

- Henderson County Sedimentation & Erosion Permit
- Stormwater Management Plan
- Utility Approval
- NCDOT Permit
- Any other applicable permits as determined by the Community Development

[Application Continued on Next Page]

Office Use:

Date Received: _____ By: _____ Fee Received? Y/N

A. Applicant Contact Information

Paul Aiesi


* Printed Applicant Name

Graycliff Capital Development, LLC

Printed Company Name (if applicable)

☐ Corporation ☒ Limited Liability Company ☐ Trust ☐ Partnership

☐ Other: _____

Paul Aiesi  Digitally signed by Paul Aiesi
Date: 2025.04.25 12:42:50 -04'00'

Applicant Signature

Manager

Applicant Title (if applicable)

200 E Broad Street Suite #220

Address of Applicant

Greenville, SC 29601

City, State, and Zip Code

864-275-0784

Telephone

paiesi@graycliffcapital.com

Email

* Signature of the property owner acknowledges that if the property is rezoned, the property involved in this request is bound to the use(s) authorized, the approved site plan and any conditions imposed, unless subsequently changed or amended as provided for in the Zoning Ordinance.

[Application Continued on Next Page]



LIMITED LIABILITY COMPANY ANNUAL REPORT

Section 5, Item A.

1/6/2022

NAME OF LIMITED LIABILITY COMPANY: Graycliff Capital Development, LLC

SECRETARY OF STATE ID NUMBER: 2238937 STATE OF FORMATION: SC

REPORT FOR THE CALENDAR YEAR: 2025

Filing Office Use Only
E - Filed Annual Report
2238937
CA202500703152
1/7/2025 03:46

SECTION A: REGISTERED AGENT'S INFORMATION

☐ Changes

1. NAME OF REGISTERED AGENT: Incorp Services, Inc.

2. SIGNATURE OF THE NEW REGISTERED AGENT: _____
SIGNATURE CONSTITUTES CONSENT TO THE APPOINTMENT

3. REGISTERED AGENT OFFICE STREET ADDRESS & COUNTY 4. REGISTERED AGENT OFFICE MAILING ADDRESS

176 Mine Lake Court, Suite 100 176 Mine Lake Court, Suite 100
Raleigh, NC 27615 Wake County Raleigh, NC 27615

SECTION B: PRINCIPAL OFFICE INFORMATION

1. DESCRIPTION OF NATURE OF BUSINESS: Commercial Real Estate

2. PRINCIPAL OFFICE PHONE NUMBER: (302) 245-3994 3. PRINCIPAL OFFICE EMAIL: Privacy Redaction

4. PRINCIPAL OFFICE STREET ADDRESS 5. PRINCIPAL OFFICE MAILING ADDRESS
200 East Broad St. Suite 220 200 East Broad St. Suite 220
Greenville, SC 29601 Greenville, SC 29601

6. Select one of the following if applicable. (Optional see instructions)

- ☐ The company is a veteran-owned small business
☐ The company is a service-disabled veteran-owned small business

SECTION C: COMPANY OFFICIALS (Enter additional company officials in Section E.)

NAME: <u>Paul Aiesi</u>	NAME: <u>Paul Aiesi</u>	NAME: <u>Paul Aiesi</u>
TITLE: <u>Manager</u>	TITLE: <u>Manager</u>	TITLE: <u>Manager</u>
ADDRESS: _____	ADDRESS: _____	ADDRESS: _____
<u>200 East Broad Street, Suite 220</u>	<u>200 East Broad Street, Suite 220</u>	<u>200 East Broad Street, Suite 220</u>
<u>Greenville, SC 29601</u>	<u>Greenville, SC 29601</u>	<u>Greenville, SC 29601</u>

SECTION D: CERTIFICATION OF ANNUAL REPORT. Section D must be completed in its entirety by a person/business entity.

Paul Aiesi 1/7/2025
SIGNATURE DATE

Form must be signed by a Company Official listed under Section C of This form.

Paul Aiesi Manager
Print or Type Name of Company Official Print or Type Title of Company Official

B. Property Owner Contact Information (if different from Applicant)

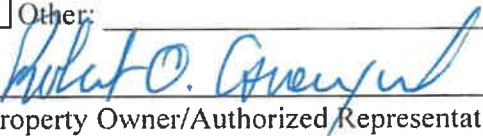
Robert O. Camenzind

*Printed Owner Name (Authorized Representative for entities other than individuals)

Printed Company Name (if applicable, check corresponding box below)

☐ Corporation ☐ Limited Liability Company ☐ Trust ☐ Partnership

☐ Other: _____


Property Owner/Authorized Representative Signature

Robert O. Camenzind

Authorized Representative Title (if applicable - i.e. Member/Manager, President, etc.)

5133 Boylston Hwy, Mills River, NC 28759

City, State, and Zip Code

828-329-2956

Telephone

hcamenzind@ramsey-pratt.com

Email

* Property owner hereby grants permission to the City of Hendersonville personnel to enter the subject property for any purpose required in processing this application.

* If signed by an agent on behalf of the Owner, this petition MUST be accompanied by a Limited Power of Attorney signed by the property owner (s) and notarized, specifically authorizing the agent to act on the owner (s) behalf in signing this application. Failure of each owner, or their duly authorized agent, to sign, or failure to include the authority of the agent signed by the property owner, will result in an INVALID APPLICATION.

B. Property Owner Contact Information (if different from Applicant)

John T. Fleming

*Printed Owner Name (Authorized Representative for entities other than individuals)

Printed Company Name (if applicable, check corresponding box below)

☐ Corporation ☐ Limited Liability Company ☐ Trust ☐ Partnership

☐ Other: John T. Fleming, by AIF Robert O. Camenzind
Property Owner/Authorized Representative Signature

John T. Fleming, by AIF, Robert O. Camenzind

Authorized Representative Title (if applicable - i.e. Member/Manager, President, etc.)

5133 Boylston Hwy, Mills River, NC 28759

City, State, and Zip Code

828-329-2956

Telephone

hcamenzind@ramsey-pratt.com

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B. Property Owner Contact Information (if different from Applicant)

Enno F. Camenzind

*Printed Owner Name (Authorized Representative for entities other than individuals)

Printed Company Name (if applicable, check corresponding box below)

☐ Corporation ☐ Limited Liability Company ☐ Trust ☐ Partnership

☐ Other: Enno F. Camenzind, by AIF, Robert O. Camenzind
Property Owner/Authorized Representative Signature

Enno F. Camenzind, by AIF, Robert O. Camenzind

Authorized Representative Title (if applicable - i.e. Member/Manager, President, etc.)

5133 Boylston Hwy, Mills River, NC 28759

City, State, and Zip Code

828-329-2956

Telephone

hcamenzind@ramsey-pratt.com

Email

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B. Property Owner Contact Information (if different from Applicant)

Peggy C. Cabe

*Printed Owner Name (Authorized Representative for entities other than individuals)

Printed Company Name (if applicable, check corresponding box below)

☐ Corporation ☐ Limited Liability Company ☐ Trust ☐ Partnership

☐ Other: Peggy C. Cabe, by AIF, Robert O. Camenzind
Property Owner/Authorized Representative Signature

Peggy C. Cabe, by AIF, Robert O. Camenzind

Authorized Representative Title (if applicable - i.e. Member/Manager, President, etc.)

5133 Boylston Hwy, Mills River, NC 28759

City, State, and Zip Code

828-329-2956

Telephone

hcamenzind@ramsey-pratt.com

Email

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* If signed by an agent on behalf of the Owner, this petition MUST be accompanied by a Limited Power of Attorney signed by the property owner (s) and notarized, specifically authorizing the agent to act on the owner (s) behalf in signing this application. Failure of each owner, or their duly authorized agent, to sign, or failure to include the authority of the agent signed by the property owner, will result in an INVALID APPLICATION.

B. Property Owner Contact Information (if different from Applicant)

Paula Camenzind Carter

*Printed Owner Name (Authorized Representative for entities other than individuals)

Printed Company Name (if applicable, check corresponding box below)

☐ Corporation ☐ Limited Liability Company ☐ Trust ☐ Partnership

☐ Other: Paula Camenzind Carter, by AIF, Robert O. Camenzind
Property Owner/Authorized Representative Signature

Paula Camenzind Carter, by AIF, Robert O. Camenzind

Authorized Representative Title (if applicable - i.e. Member/Manager, President, etc.)

5133 Boylston Hwy, Mills River, NC 28759

City, State, and Zip Code

828-329-2956

Telephone

hcamenzind@ramsey-pratt.com

Email

* Property owner hereby grants permission to the City of Hendersonville personnel to enter the subject property for any purpose required in processing this application.

* If signed by an agent on behalf of the Owner, this petition MUST be accompanied by a Limited Power of Attorney signed by the property owner (s) and notarized, specifically authorizing the agent to act on the owner (s) behalf in signing this application. Failure of each owner, or their duly authorized agent, to sign, or failure to include the authority of the agent signed by the property owner, will result in an INVALID APPLICATION.

RAMSEY, PRATT & CAMENZIND, P.A.

Prepared by: Hannah L. Camenzind

STATE OF NORTH CAROLINA,

COUNTY OF HENDERSON.

LIMITED POWER OF ATTORNEY

KNOW ALL MEN BY THESE PRESENTS, that WE, and each of us, namely, LYNDA HILL CAMENZIND, PEGGY C. CABE, PAULA CAMENZIND CARTER, and husband, CHARLES NORMAN CARTER, JOAN C. FLEMING, and husband, JOHN THOMAS FLEMING, ENNO F. CAMENZIND, and wife, BRENDA MERRILL CAMENZIND, have made, constituted, and appointed and by these presents do make, constitute and appoint ROBERT O. CAMENZIND as my true and lawful Attorney-in-Fact to do and perform the following acts for me, on my behalf and in my name to the same extent as if personally present and acting:

To execute all documents necessary in order to list for sale, sell and close the sale of property located in the Blue Ridge Township in Henderson County, North Carolina, being described in a deed from Robert O. Camenzind as Trustee of the Trust created under the Last Will and Testament of Ellison Smyth Hudgens, to Peggy C. Cabe, et al., and recorded in the office of the Register of Deeds for Henderson County in Book 3578, Page 329.

In connection therewith, to execute contracts for the sale of property and such deeds, easement agreements, bills of sale, affidavits, closing statements and other documents as my Attorney-in-Fact shall deem just and appropriate in order to complete the sale thereof.

And I do hereby ratify and confirm all things so done by my said Attorney-in-Fact within the scope of the authority herein given, as fully and to the same extent as if by my self personally done and performed, specifically ratifying and confirming any and all acts and things so done by my said Attorney-in-Fact within the terms of the authority herein given.

Submitted electronically by "Ramsey, Pratt & Camenzind, P.A."
in compliance with North Carolina statutes governing recordable documents
and the terms of the submitter agreement with the Henderson County Register of Deeds.

IN TESTIMONY WHEREOF, I have hereunto set my hand and seal this the 16
day of April, 2021.

Lynda Hill Camenzind (SEAL)
LYNDA HILL CAMENZIND

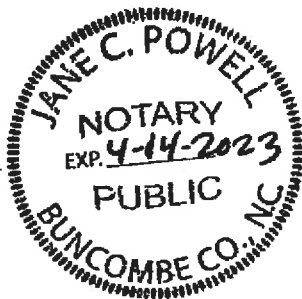
STATE OF NORTH CAROLINA,
COUNTY OF Transylvania.

I Jane C. Powell a Notary Public of said State and County, Buncombe do
hereby certify that LYNDA HILL CAMENZIND, personally appeared before me this
day and acknowledged the due execution of the foregoing instrument.

WITNESS my hand and Notarial Seal, this the 16th day of
April, 2021.

J - Powell
Notary Public

My Commission Expires: 4-14-2023.



IN TESTIMONY WHEREOF, I have hereunto set my hand and seal this the 9
day of April, 2021.

Peggy C. Cabe (SEAL)
PEGGY C. CABE

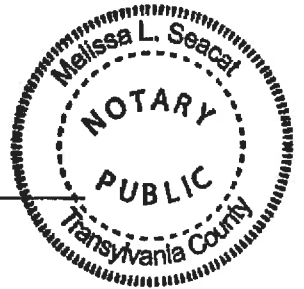
STATE OF NORTH CAROLINA,
COUNTY OF Transylvania

I Melissa L. Seacat a Notary Public of said State and County, do
hereby certify that PEGGY C. CABE, personally appeared before me this day and
acknowledged the due execution of the foregoing instrument.

Witness my hand and Notarial stamp or seal this the 9 day of
April, 2021.

Melissa L. Seacat
Notary Public

My Commission Expires: 5-28-24.



IN TESTIMONY WHEREOF, I have hereunto set my hand and seal this the 9
day of April, 2021.

Paula Camenzind Carter (SEAL)
PAULA CAMENZIND CARTER

Charles Norman Carter (SEAL)
CHARLES NORMAN CARTER

STATE OF Delaware
COUNTY OF New Castle

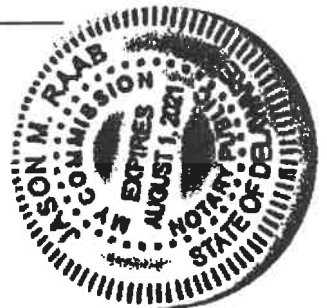
I Jason M. Raab a Notary Public of said State and County, do
hereby certify that PAULA CAMENZIND CARTER and husband, CHARLES
NORMAN CARTER, personally appeared before me this day and acknowledged the
due execution of the foregoing instrument.

WITNESS my hand and Notarial Seal, this the 9 day of
April, 2021.

Jason M. Raab
Notary Public

My Commission Expires: 8-1-2021

Jason M. Raab
Notary Public
#20170601000016
Commission Expires 8/01/2021



IN TESTIMONY WHEREOF, I have hereunto set my hand and seal this the 9th
day of APRIL, 2021.

Joan C. Fleming (SEAL)
JOAN C. FLEMING

John Thomas Fleming (SEAL)
JOHN THOMAS FLEMING

STATE OF FLORIDA
COUNTY OF NASSAU.

I WENDEE ASHMORE, Notary Public of said State and County, do
hereby certify that JOAN C. FLEMING and husband, JOHN THOMAS FLEMING,
personally appeared before me this day and acknowledged the due execution of the
foregoing instrument.

WITNESS my hand and Notarial Seal, this the 9th day of
APRIL, 2021.

Wendee Ashmore
Notary Public

My Commission Expires: 06-23-21.



IN TESTIMONY WHEREOF, I have hereunto set my hand and seal this the ____
day of April 9, 2021.



ENNO F. CAMENZIND

(SEAL)



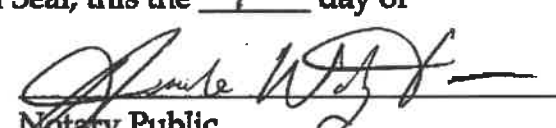
BRENDA MERRILL CAMENZIND

(SEAL)

STATE OF North Carolina,
COUNTY OF Wake.

I Andre Washington a Notary Public of said State and County, do
hereby certify that ENNO F. CAMENZIND and wife, BRENDA MERRILL
CAMENZIND, personally appeared before me this day and acknowledged the due
execution of the foregoing instrument.

WITNESS my hand and Notarial Seal, this the 9th day of
April, 2021.



Notary Public

My Commission Expires: 12/09/2024.



C. Property Information

Name of Project: Waterleaf at Flat Rock, Phase 2

PIN(s): 9588-22-1126

Address(es) / Location of Property: 0 S Allen Road

Type of Development: ☒ Residential ☐ Commercial ☐ Other

Current Zoning: CHMU

Total Acreage: +/- 17.1

Proposed Zoning: CHMU-CZD

Proposed Building Square Footage: +/- 300,000 square feet

Number of Dwelling Units: +/- 192 units

List of Requested Uses:

Apartment units, Clubhouse, Leasing, Fitness, Amenity areas, Garages

D. Proposed Development Conditions for the Site

In the spaces provided below, please provide a description of the Proposed Development for the site.

17 acre site of +/- 192 apartment units within 8 apartment buildings, clubhouse with amenity areas, garage structures, +/-320 parking spaces.

BK 4271 PG 332 - 334 (3)

This Document eRecorded:

Fee: \$26.00

Henderson County, North Carolina

William Lee King, Register of Deeds

DOC# 1001028434

03/26/2025 11:57:07 AM

Tax: \$120.00

NORTH CAROLINA NON-WARRANTY DEED

Excise Tax: \$120.00

Parcel Identifier No. _____ Verified by Henderson County on the _____ day of _____, 2025

By: _____

Mail/Box to: HANNAH L. CAMENZIND, Ramsey, Pratt & Camenzind, P.A., 35 N Gaston Street, Brevard, NC 28712

This instrument was prepared by: HANNAH L. CAMENZIND (No title search performed by Preparer)

Brief description for the Index: _____

THIS DEED made this 26th day of March, 2025, by and between

GRANTOR	GRANTEE
<div>OM HOSPITALITY, LLC, a North Carolina Limited Liability Company, and</div> <div>UPWARD ROAD HOSPITALITY, LLC, a North Carolina Limited Liability Company</div> <div>PO Box 759 Fletcher, NC 28732</div>	<div>ROBERT O. CAMENZIND, PEGGY C. CABE; ENNO FRANK CAMENZIND, JR., PAULA CAMENZIND CARTER, JOHN THOMAS FLEMING</div> <div>5133 Boylston Highway Mills River, NC 28759</div>

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot or parcel of land situated in the City of N/A, Blue Ridge Township, Henderson County, North Carolina and more particularly described as follows:

BEING ALL OF THE SAME LAND DESCRIBED ON THE PAGE WHICH IS ATTACHED HERETO, DESIGNATED AS EXHIBIT "A" AND INCORPORATED HEREIN BY REFERENCE.

Submitted electronically by "Ramsey, Pratt & Camenzind, P.A."
in compliance with North Carolina statutes governing recordable documents
and the terms of the submitter agreement with the Henderson County Register of Deeds.

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

The Grantor makes no warranty, express or implied, as to title to the property hereinabove described.

IN WITNESS WHEREOF, the Grantor has duly executed the foregoing as of the day and year first above written.

OM HOSPITALITY LLC, a North Carolina Limited Liability Company

By: SATIS D. PATEL, Manager

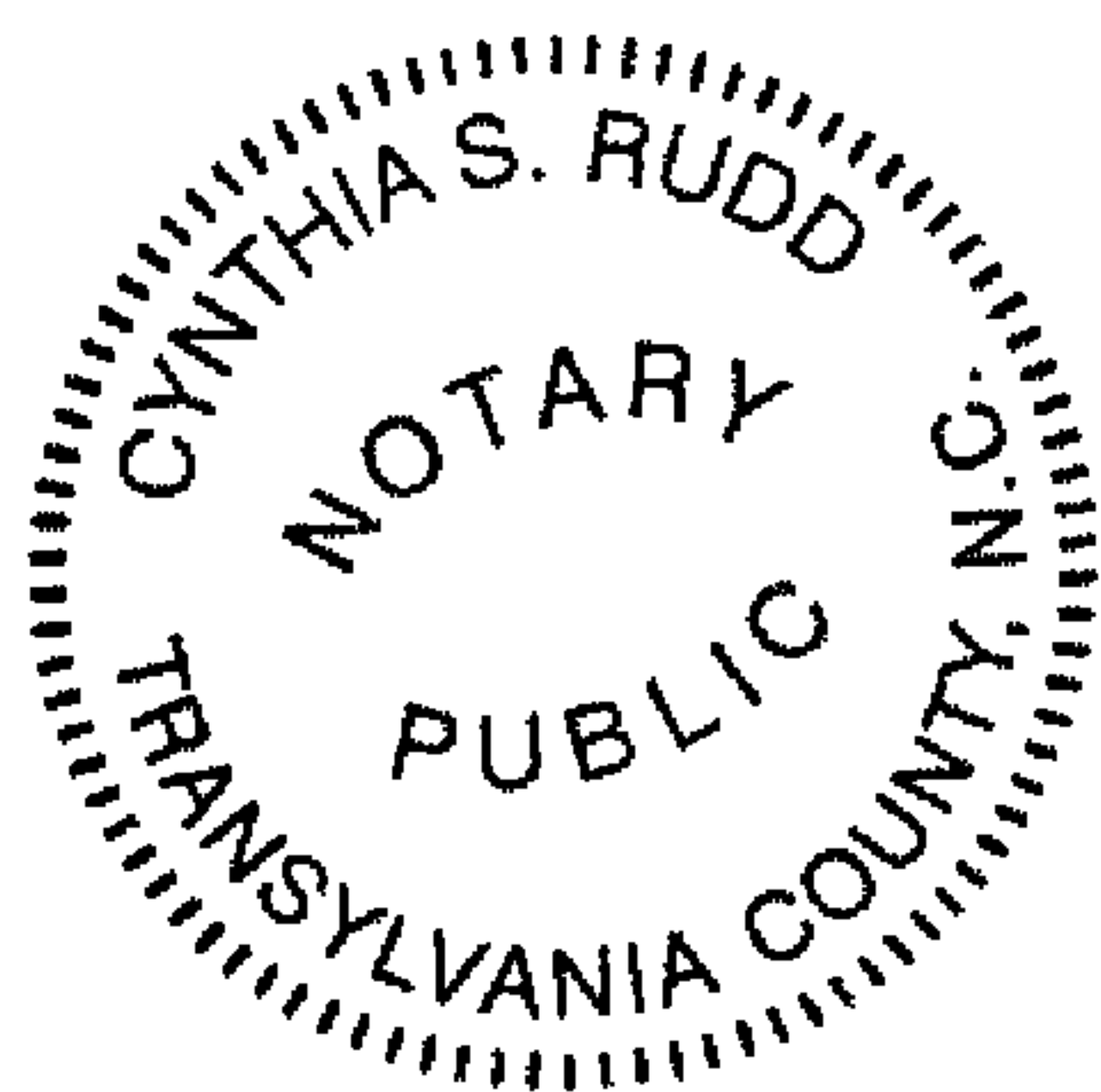
UPWARD ROAD HOSPITALITY, LLC, a North Carolina Limited Liability Company

By: SATIS D. PATEL, Manager

STATE OF North Carolina, COUNTY OF Transylvania.

I certify that the following person(s) personally appeared before me this day, each acknowledging to me that he or she voluntarily signed the foregoing document for the purpose stated therein and in the capacity indicated: SATIS D. PATEL

WITNESS my hand and Notarial Seal, this the 21st day of March, 2025.



Cynthia S. Rudd
Signature of Notary Public

Cynthia S. Rudd
Printed or typed name of Notary Public

My commission expires: 6/23/25

EXHIBIT A

Being all Grantor's interest in Tract A containing 0.12 acre, more or less, as shown on a plat thereof recorded Plat File 2023, Slide 15101, Records of Plats for Henderson County.

Former Tract A also being described as follows:

BEGINNING at a ½" rebar standing in the western margin of the right-of-way of Interstate 26, said pin standing N. 40° 25' 20" E. 258.83 feet from an axle found in the margin of the right-of-way for Upward Crossing Drive Extension; thence, with the right-of-way of Interstate 26, a bearing and distance of S. 30° 30' 40" E. 33.41 feet to a 5/8" re bar; thence, with the property lines of the parcels identified as Lot 3 and Lot 4 shown on Plat Book 2014, Page 9408, N. 83° 56' 56" W. a distance of 206.46 feet to a point; thence, N. 33° 59' 59" W. 28.03 feet to a point in the property line of the 15.53 acre parcel shown on Plat Book 2021, Page 13636, now or formerly owned by Waterleaf at Flat Rock Apartments, LLC; thence, with the property line of such Waterleaf at Flat Rock Apartments, LLC property, S. 85° 27' 41" E. 36.27 feet to a 5/8" rebar; thence, with the property line of a 17.13 acre parcel shown on Plat Book 2021, Page 13636, now or formerly owned by Peggy Cabe, Enno Camenzind, Paula Carter, Robert Camenzind and Joan Fleming, the same bearing S. 85° 27' 41" E. 168.41 feet to the point and place of BEGINNING, containing 0.12 acres more or less.



CITY OF HENDERSONVILLE
AGENDA ITEM SUMMARY
PLANNING DIVISION

SUBMITTER: Matthew Manley, Long-Range Planning Manager **MEETING DATE:** May 8, 2025

AGENDA SECTION: New Business **DEPARTMENT:** Community Development

TITLE OF ITEM: Rezoning: Conditional Zoning District – Pace Hendersonville (25-11-CZD) – Matthew Manley, AICP – Long-Range Planning Manager

SUGGESTED MOTION(S):

<p><u>For Recommending Approval:</u></p> <p>I move Planning Board recommend City Council <u>adopt</u> an ordinance amending the official zoning map of the City of Hendersonville changing the zoning - designation of the subject property (PINs: 9579-56-1085) from C-3 (Highway Business Zoning District) & CHMU (Commercial Highway Mixed Use) to UR-CZD (Urban Residential - Conditional Zoning District) based on the site plan and list of conditions submitted by and agreed to by the applicant [dated <u>April 29, 2025</u>] and presented at this meeting and subject to the following:</p> <ol style="list-style-type: none">The development shall be consistent with the following permitted uses:<ol style="list-style-type: none">Residential Dwellings, Multi-Family<ol style="list-style-type: none">120 UnitsThe development shall be consistent with the site plan, including the list of applicable conditions contained therein. <p><i>[for amendments to uses or conditions discussed and agreed upon in the meeting (between City & Developer) and not yet represented on the site plan, please use the following language.]</i></p> <p>2. Permitted uses and applicable conditions presented on the site plan shall be amended to include:</p> <p>Proposed City-Initiated Conditions:</p> <ol style="list-style-type: none">	<p><u>For Recommending Denial:</u></p> <p>I move Planning Board recommend City Council <u>deny</u> an ordinance amending the official zoning map of the City of Hendersonville changing the zoning - designation of the subject property (PINs: 9579-56-1085) from C-3 (Highway Business Zoning District) & CHMU (Commercial Highway Mixed Use) to UR-CZD (Urban Residential - Conditional Zoning District) based on the following:</p> <p>1. The petition is found to be <u>consistent</u> with the City of Hendersonville Gen H 2045 Comprehensive Plan, based on the information from the staff analysis and the public hearing, and because:</p> <p>The requested rezoning to Urban Residential Conditional Zoning District and the associated proposed redevelopment align with the Gen H 2045 Comprehensive Plan Future Land Use & Conservation Map and the Character Area Description for ‘Mixed Use Employment’.</p> <p>2. We do not find this petition to be reasonable and in the public interest based on the information from the staff analysis, public hearing and because:</p> <ol style="list-style-type: none">The proposed redevelopment is would have a negative impact on the transportation networkThe proposed development is incompatible with the surrounding land uses <p>[DISCUSS & VOTE]</p>
---	---

<p>2. (3). The petition is found to be <u>consistent</u> with the City of Hendersonville Gen H 2045 Comprehensive Plan based on the information from the staff analysis and because:</p> <p>The requested rezoning to Urban Residential Conditional Zoning District and the associated proposed redevelopment align with the Gen H 2045 Comprehensive Plan Future Land Use & Conservation Map and the Character Area Description for ‘Mixed Use Employment’.</p> <p>3. (4). We find this petition to be reasonable and in the public interest based on the information from the staff analysis, public hearing and because:</p> <ol style="list-style-type: none">1. The proposed redevelopment would reuse and restore an underutilized property located in close proximity to a major commercial corridor.2. The proposed conversion of the subject property would provide needed housing units3. The proposed renovation of the subject property would result in improved landscaping <p>[DISCUSS & VOTE]</p>	
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SUMMARY: The City of Hendersonville is in receipt of a Conditional Zoning District application from Jacob Glover of Pace Living, LLC for 201 Sugarloaf Rd (PIN 9579-56-1085) totaling 6.72 Acres located along an access road (SR 1734) at the bend in Sugarloaf Rd. The site also borders Interstate 26. The property is currently split zoned with C-3, Highway Business, and CHMU, Commercial Highway Mixed Use. The subject property is the current site of The Cascades (hotel). The petitioner is requesting that the parcel be rezoned to Urban Residential CZD and the use converted to allow for 120 apartment units. ‘Residential, Multi-family’ is not a permitted use in the C-3 zoning district. While it is permitted under CHMU, that zoning district has a maximum density of 12 units / acre. The proposed 120 units would result in a density of 18 units per acre and Urban Residential Conditional Zoning District has no density cap.

The development proposes to convert the two existing buildings on the site to 100 Studio units, 10 one-bedroom units, and 10 two-bedroom units. The existing parking on the site is also proposed to be maintained for the new use. Due to the site having existing buildings and parking lots, the developer is proposing a number of conditions granting relief from the design standards found in the Urban Residential Zoning District.

If approved, the project would be limited to the stated uses, design and conditions stated on the site plan.

PROJECT/PETITIONER NUMBER:	25-11-CZD
PETITIONER NAME:	<ul style="list-style-type: none">• Jacob Glover, Pace Living, LLC. (Applicant)• Hendersonville Hospitality, LLC. (Owner)
ATTACHMENTS:	<ol style="list-style-type: none">1. Staff Report2. Gen H Consistency & Evaluation Worksheets3. Proposed Site Plan & Building Elevations4. Neighborhood Compatibility Summary5. Application6. Owner Signoff Letter7. Owner Sec of State LLC Record8. Application Addendum9. Developer Exhibit10. Draft Ordinance11. Proposed Zoning Map

STANDARD REZONING: PACE HENDERSONVILLE (25-11-CZD)
CITY OF HENDERSONVILLE - COMMUNITY DEVELOPMENT STAFF REPORT

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SITE IMAGES..... 4

SITE IMAGES..... 5

EXISTING ZONING & LAND USE 6

FUTURE LAND USE 7

STAFF SITE PLAN REVIEW – SUMMARY COMMENTS 8

OUTSTANDING ISSUES & CITY-PROPOSED CONDITIONS: 9

DEVELOPER-PROPOSED CONDITIONS: 10

REZONING STANDARDS (ARTICLE 11-4) 12

REZONING STANDARDS ANALYSIS & CONDITIONS 14

DRAFT COMPREHENSIVE PLAN CONSISTENCY AND REZONING REASONABLENESS STATEMENT 15



PROJECT SUMMARY

- Project Name & Number:
 - Pace Hendersonville
 - 25-11-CZD
- Applicant & Property Owner:
 - Pace Living, LLC | Jacob Glover (Applicant)
 - Hendersonville Hospitality, LLC (Owner)
- Property Address:
 - 201 Sugarloaf Rd
- Parcel Identification (PINS):
 - 9579-56-1085
- Project Acreage:
 - 6.72 Acres
- Current Parcel Zoning:
 - C-3 Highway Business /
 - CHMU Commercial Highway Mixed Use
- Current Land Use:
 - Lodging (Closed)
- Proposed Zoning:
 - Urban Residential CZD
- Proposed Land Use:
 - 120 Multi-Family Residential Units
- Future Land Use Designation:
 - Mixed Use Employment



SITE VICINITY MAP

The City of Hendersonville is in receipt of a Conditional Zoning District application from Jacob Glover of Pace Living, LLC for 201 Sugarloaf Rd (PIN 9579-56-1085) totaling 6.72 Acres located along the access road at the bend in Sugarloaf Rd and also fronting Interstate 26. The property is currently split zoned with C-3, Highway Business, and CHMU, Commercial Highway Mixed Use. The subject property is the current site of The Cascades (hotel). The petitioner is requesting that the parcel be rezoned to Urban Residential CZD and the use converted to allow for 120 apartment units. ‘Residential, Multi-family’ is not a permitted use in the C-3 zoning district. While it is a permitted use under CHMU, that zoning district has a maximum density of 12 units / acre. The proposed 120 units would result in a density of 18 units per acre and Urban Residential Conditional Zoning District has no density cap.

The development proposes to convert the two existing buildings on the site to 100 Studio units, 10 one-bedroom units, and 10 two-bedroom units. The existing parking on the site is also proposed to be maintained for the new use. Due to the site having existing buildings and parking lots, the developer is proposing a number of conditions granting relief from the design standards found in the Urban Residential Zoning District.

If approved, the project would be limited to the stated uses, design and conditions stated on the site plan.

SITE IMAGES



View of corner of the site from Sugarloaf Rd



View of frontage of east parking lot and east face of main building and the north face of the annex building

SITE IMAGES



View of neighboring properties to the east from subject property



View of open space and existing vegetation at the rear of the subject property

SITE IMAGES

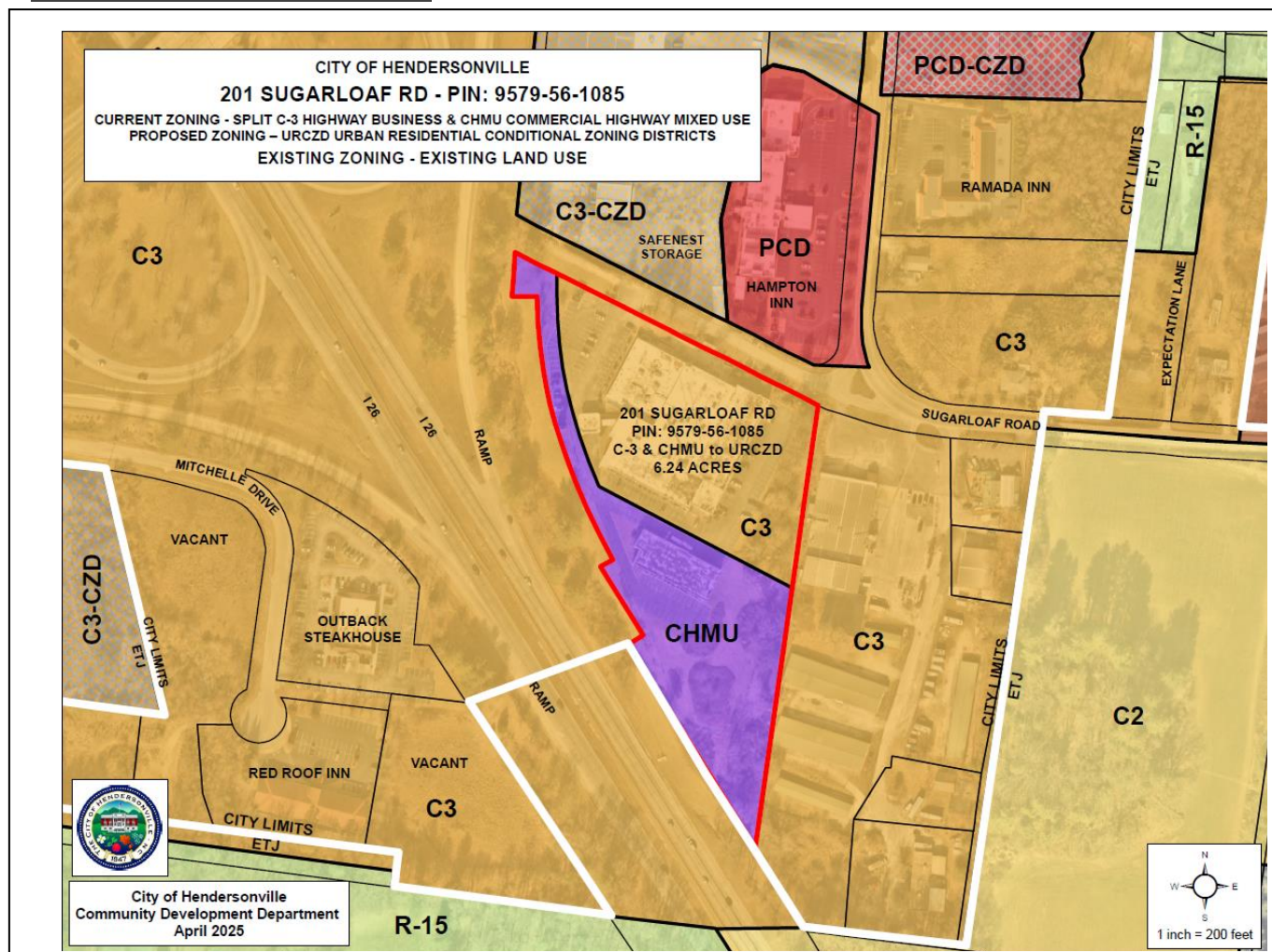


View of rear parking and rear of main building (right) and north face of annex building (left)



View of access to rear of annex building. I-26 in background.

EXISTING ZONING & LAND USE



Existing Land Use & Current Zoning Map

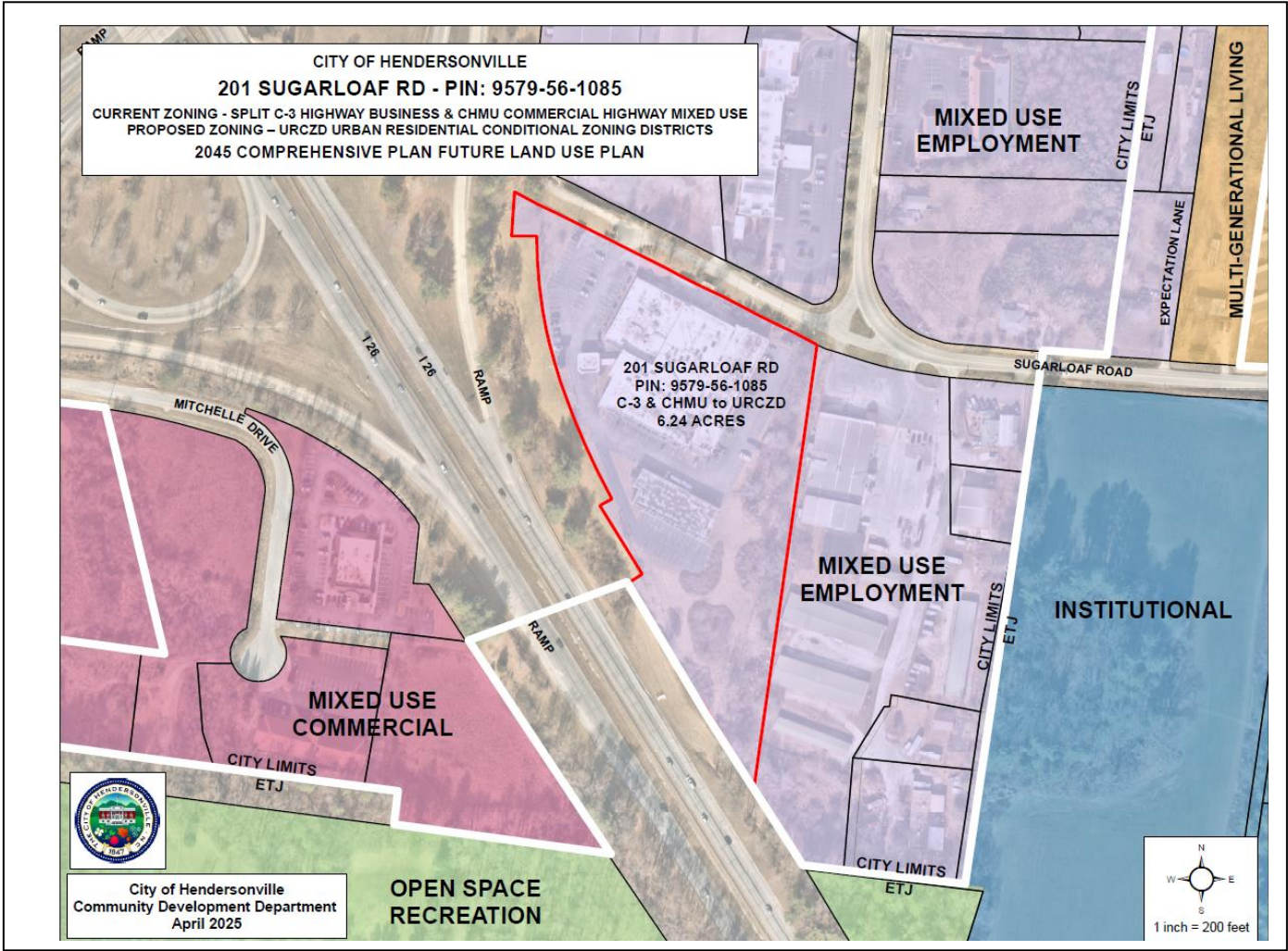
The subject property is located within the corporate limits of the city. The parcel is zoned C-3 and CHMU. The CHMU Zoning was put in place in 2021 to accommodate a planned conversion of the rear “annex” building to multi-family (multi-family is not permitted under C-3 zoning). The conversion to apartments did not occur, and the two separate parcels were later recombined into one parcel resulting in a split zoning.

This subject property has been the site of The Cascades Mountain Resort – though the business has recently faced numerous fire and building maintenance code violations. The subject property is just over 6.5 acres in size and contains two 2-story principal buildings and associated parking areas. A two acre portion of the site, to the east and south, is undeveloped open space.

The dominate zoning in the area is C-3 Highway Business. The other zoning district in the area is Planned Commercial Development (PCD-CZD). This zoning district is located on parcels to the north of the subject property.

The land uses in this area are typical for interstate-oriented commercial uses with hotel/motels being the most prominent use. Other commercial uses include restaurants, gas stations, and self-storage facilities.

FUTURE LAND USE



Future Land Use & Conservation Map

The City’s Gen H 2045 Comprehensive Plan designates the subject property as “Mixed Use Employment” in the Future Land Use & Conservation Map. The adjacent properties flanking in all directions are also designated Mixed Use - Employment. The Character Area description for MU-E is as follows:

Employment centers contain a mix of uses including office, light industrial, and institutional in buildings with multiple stories. These areas offer traditional workspace and can be supplemented by unconventional, collaborative workspace where innovation and education can be fostered. Highly walkable areas with clustered parking and minimized vehicular circulation, incorporation of some retail, recreational, and residential uses to create a live, work, and play environment is supported. Flexible open space is in the form of formal and informal parks and green spaces connected by trails and can be programmed for gatherings of various sizes and purposes are also integrated.

STAFF SITE PLAN REVIEW – SUMMARY COMMENTS

PROPOSED REQUEST DETAILS

Site Plan Summary:

- Proposed Use: Residential, multi-family
- Total Dwelling Units: 120
- Site: 6.72 Acres
- Density: 19.2 Units / Acre
- Buildings:
 - Total Footprint – 64,713 Sq Ft
 - Height - 25'
- Open Space: 116,838 Sq Ft or 40%
 - Common Open Space: 30,000 Sq Ft or 10.3%
 - Common Space: 3,831 Sq Ft or 1.3% - See comments below
- Transportation:
 - Access from S.R. 1734 at bend in Sugarloaf Rd. 1/4 mile from intersection with US64
 - The projected Average AM Peak Trips = 61 (Threshold for TIA = 100)
 - The projected Average PM Peak Trips = 48 (Threshold for TIA = 100)
 - The projected Daily Trips = 809 (Threshold for TIA = 1,000)
- Sidewalks:
 - 5' internal sidewalks & crosswalks are proposed
 - No external sidewalks – Fee-in-Lieu proposed
- Lighting:
 - All site lighting will be required to conform to the City's lighting standards for multi-family developments. The lighting plan is a component of the final site plan review.
- Parking:
 - Off-Street Parking
 - Required: 120 spaces (1 per unit for 1&2-bedroom units)
 - Provided: 181 spaces
 - On-Street Parking
 - Required but not provided
- Landscaping:
 - This development will be required to plant:
 - Street Trees (Sec. 5-25)
 - Common Space Plantings (5-25)
 - Vehicular Use Plantings (15-9)
 - Open Space Plantings (15-14)
 - A detailed Landscaping Plan will be provided at final site plan
- Building Design:
 - Two Existing Buildings constructed in 1966
 - Buildings were motels that were later enclosed with glass to create interior hallways.
 - Main Building – 2-Story 25'
 - Annex Building – 2.5-Story – 20'

- Floodplain: N/A
- Stream Buffer: N/A

OUTSTANDING ISSUES & CITY-PROPOSED CONDITIONS:

COMMUNITY DEVELOPMENT:

Preliminary Site Plan Comments:

- The site plan accompanying this petition meets the standards established by the Zoning Ordinance for UR- with the following exceptions:
 - These outstanding items shall need to be resolved as part of the CZD process
 - See Developer Proposed Conditions
 - Provision of Common Space
 - These outstanding items shall be resolved at the time of Final Site Plan and/or Preliminary Plat.
 - Detailed Landscaping Plan – The existing landscaping on the site is non-conforming, as it predates the City’s current landscaping standards set forth in Article 15 and in Urban Residential Zoning District. A non-conforming site must come into compliance with landscaping standards in a few different circumstances. The most relevant for this project would be for “renovations with a total cost exceeding 50% of the assessed value of the building according to Henderson County tax records or an appraisal by a state licensed appraiser”. We can assume this project, as proposed, would exceed this threshold. However, given that we do not yet have confirmation of this type of information, the applicant has only provided basic information about the existing landscaping on the site, which is proposed to be preserved. A detailed Landscaping Plan will be required as part of the Final Site Plan submittal.

Proposed City-Initiated Conditions:

- I. None

DEVELOPMENT REVIEW COMMITTEE COMMENTS:

The Development Review Committee consist of the following Departments/Divisions and Agencies: Engineering, Water/Sewer, Fire Marshal, Stormwater Administration, Floodplain Administration, Public Works, NCDOT, Henderson County Soil & Erosion Control and the City’s Traffic Consultant. While all pertinent members of the DRC reviewed this project, staff has provided only the relevant/outstanding comments / conditions below:

- I. None

DEVELOPER-PROPOSED CONDITIONS:

- 1) 5-25-5.8 Architectural Details - The developer requests a waiver for this section concerning architectural Details and the 35% reflectivity value requirement on the exterior walls for The following building elevations.

Building #1, main building

- east elevation
- south elevation

Building #2, rear residential only building (annex)

- north elevation
- south elevation
- east elevation
- west elevation

- 2) 5-25-5.9 Building Walls - The developer requests a waiver for this section concerning 'Long, Monotonous, uninterrupted walls' for the following building elevations.

- Building #1, main building
 - east elevation
 - south elevation
- Building #2, rear residential only building (annex)
 - north elevation
 - south elevation
 - east elevation
 - west elevation

- 3) 5-25-5.10 Building Entrances - The developer requests a waiver for this section concerning building Entrances for the following building:

- Building #2, rear residential only building

- 4) 5-25-5.12b Building Scale - The developer requests a waiver for this section concerning building scale for the following building elevations:

- Building #1, main building
 - east elevation
 - south elevation
 - west elevation
- Building #2, rear residential only building (annex)
 - north elevation
 - south elevation
 - east elevation
 - west elevation

- 5) 5-25-5.13 Internal Access and Connectivity - The developer requests a waiver for

this section. Current existing layout of the site does not comply.

- 6) 5-25-5.15 Pedestrian Zone and Sidewalks - The developer agrees to pay fee in lieu of the required 7'-0" sidewalk in accordance with section 6-12-3 and section 5-25-5.15 of the zoning code.
- 7) 5-25-5.17 Street Trees - The developer request a waiver for the street tree requirement. Existing trees, plants, shrubs, & hedges are existing on the access road. The Developer proposes adding additional large maturing trees to the north side of the property. Due to the amount of existing landscaping, drives, and rock formations, the developer is not able to achieve 1 canopy tree per every 40'-0".
- 8) 5-25-5.18 Landscape/Buffering Standards - The current development is not in compliance with the requirements of this section of the zoning ordinance, particularly with respect to the required tree plantings in parking lot areas. However, the developer intends to adhere to these landscaping and buffering standards to the fullest extent possible. To that end, a comprehensive landscape design prepared by a qualified landscape professional will eventually be submitted to the city for review and approval.
- 9) 5-25-5.20 Common Space Standards -The developer requests a waiver for this section concerning the required common space area. The total common space is less than the required 10% lot area. The total common space required minus the 30% allowed that can be located in an enclosed ground floor area is 20,492 sq. Ft. Total area of provide common space is 3831 sq. Ft., which is located on the east side of building #1 **condition justification included as exhibits to the application.

REZONING STANDARDS (ARTICLE 11-4)

GENERAL REZONING STANDARDS: COMPREHENSIVE PLAN CONSISTENCY	
1) COMPREHENSIVE PLAN CONSISTENCY	<p><u>LAND SUPPLY, SUITABILITY & INTENSITY</u> <u>Land Supply Map</u> - The subject property is <u>not</u> located on the Land Supply Map. <u>Land Suitability</u> – The subject property was <u>not</u> evaluated in the Suitability Assessment. <u>Development Intensity</u> - The subject property is located in an area designated as “<u>Moderate</u>” for Development Intensity. <u>Focused Intensity Nodes</u> - The subject property is located between two Focused Intensity Nodes. <u>Focus Area</u> - The subject property is <u>not</u> located in or near one of the 5 Focus Areas.</p>
	<p><u>FUTURE LAND USE & CONSERVATION MAP</u> Character Area Designation: Mixed Use Employment Character Area Description: Somewhat Consistent Zoning Crosswalk: Consistent</p>
2) COMPATIBILITY	<p><i>Whether and the extent to which the proposed amendment is compatible with existing and proposed uses surrounding the subject property</i></p>
	<p><i>In addition to a general analysis of the existing conditions, staff has utilized the Gen H Comprehensive Plan as a guide for further evaluating issues related to “compatibility”. The analysis below includes an assessment of how the project aligns with the overall Goals and overarching Guiding Principles found in Chapter IV of the Gen H Plan.</i></p>
	<p><u>EXISTING CONDITIONS</u> The subject property is zoned C-3 and CHMU. The site features two existing buildings that have been The Cascades Mountain Resort. They are proposed to be reused. Adjacent land uses to the north include lodging and self-storage. To the east, land uses include whole, storage and restaurant. The proposed multi-family use is compatible with the surrounding land uses.</p>
	<p><u>GEN H COMPREHENSIVE PLAN GOALS</u> (Chapter IV) Vibrant Neighborhoods: Consistent Abundant Housing Choices: Consistent Healthy and Accessible Natural Environment: Consistent Authentic Community Character: Consistent Safe Streets and Trails: Inconsistent Reliable & Accessible Utility Services: Consistent Satisfying Work Opportunities: N/A Welcoming & Inclusive Community: N/A Accessible & Available Community Uses and Services: N/A Resilient Community: N/A</p>
	<p><u>GEN H COMPREHENSIVE PLAN GUIDING PRINCIPLES</u> (Chapter IV) Mix of Uses: Consistent Compact Development: Consistent Sense of Place: Inconsistent</p>

	Conserved & Integrated Open Spaces: Consistent Desirable & Affordable Housing: Consistent Connectivity: Inconsistent Efficient & Accessible Infrastructure: Consistent
3) Changed Conditions	Whether and the extent to which there are changed conditions, trends or facts that require an amendment - The area continues to face a housing shortage. The City's recent Housing Needs Assessment found that 10,000 dwelling units are needed in Henderson County over the next 5 years and that new construction is not keeping pace with household growth (p.20-21). Additionally, there have been a number of recent code violations at the subject property.
4) Public Interest	Whether and the extent to which the proposed amendment would result in a logical and orderly development pattern that benefits the surrounding neighborhood, is in the public interest and promotes public health, safety and general welfare - The proposed redevelopment would reimagine and reuse an underutilized property. Conversion of this property would provide needed housing and address ongoing code violations.
5) Public Facilities	Whether and the extent to which adequate public facilities and services such as water supply, wastewater treatment, fire and police protection and transportation are available to support the proposed amendment The subject property will continue to be served by City of Hendersonville services. Sugarloaf Rd is NCDOT-maintained and designated as a Minor Thoroughfare "Needing Improvement". The site is just over ¼ mile (5-6 minute walk) from the intersection of Chimney Rock Rd (US64).
6) Effect on Natural Environment	Whether and the extent to which the proposed amendment would result in significantly adverse impacts on the natural environment including but not limited to water, air, noise, storm water management, streams, vegetation, wetlands and wildlife - No impact on existing vegetation or pervious surfaces is proposed. The renovation of the existing building will trigger compliance with current landscaping standards.

REZONING STANDARDS ANALYSIS & CONDITIONS

Staff Analysis

- 1) Comprehensive Plan Consistency - Staff finds the petition to be consistent with the Gen H Comprehensive Plan Future Land Use & Conservation Map and the Character Area Description.
- 2) Compatibility - Staff finds that the proposed use is compatible with the surrounding land uses and consistent with the Goals & Guiding Principles of the Comprehensive Plan.
- 3) Changed Conditions - Staff finds that the changed conditions relate to the documented need for additional housing units and recent issues related to code violations at the subject property.
- 4) Public Interest - Staff finds that it is in the public interest to provide additional housing units and for the property to be redeveloped.
- 5) Public Facilities - Staff finds that the proposed development would efficiently utilize existing services and infrastructure.
- 6) Effect on Natural Environment – Despite having a lack of landscaping details at this time, staff finds that there will ultimately be a net increase in vegetation under the proposed plan.

The petition is found to be **consistent** with the City of Hendersonville Gen H Comprehensive Plan based on the information from the staff analysis and the public hearing, and because:

The requested rezoning to Urban Residential Conditional Zoning District and the associated proposed redevelopment align with the Gen H 2045 Comprehensive Plan Future Land Use & Conservation Map and the Character Area Description for 'Mixed Use Employment'.

We **[find/do not find]** this petition to be reasonable and in the public interest based on the information from the staff analysis and the public hearing, and because:

DRAFT [Rationale for Approval]

- *The proposed redevelopment would reuse and restore an underutilized property located in close proximity to a major commercial corridor.*
- *The proposed conversion of the subject property would provide needed housing units*
- *The proposed renovation of the subject property would result in improved landscaping*

DRAFT [Rational for Denial]

- *The proposed redevelopment is would have a negative impact on the transportation network*
- *The proposed development is incompatible with the surrounding land uses*

Pace Living (25-11-CZD)		
Chapter 4 - The Vision for the Future	Consistent	Inconsistent
SUPPLY, SUITABILITY, & INTENSITY		
LAND SUPPLY MAP (Pg. 81, Figure 4.4)	N/A	
LAND SUITABILITY MAP (Pg. 84-86, Figure 4.5-4.7)	N/A	
DEVELOPMENT INTENSITY MAP (Pg. 89, Figure 4.9)	Consistent	
FUTURE LAND USE & CONSERVATION MAP		
Future Land Use and Conservation Map (Note classification here, Pg. 117, Figure 4.12)	Mixed Use - Employment	
Character Area Description (Pg. 122-131)	Somewhat Consistent	
Zoning Crosswalk (Pg. 132-133, Figure 4.18)	Consistent	
Focused Intensity Node (Pg. 119)	Somewhat Consistent	
Focus Area Map (Pg. 134-159)	N/A	

Pace Living (25-11-CZD)		
Chapter 4 - The Vision for the Future	Consistent	Inconsistent
GOALS		
Vibrant Neighborhoods (Pg. 93)		
Promote lively neighborhoods that increase local safety.	Consistent	
Enable well-maintained homes, streets, and public spaces.	Consistent	
Promote diversity of ages (stage of life), income levels, and a range of interests.	Consistent	
The design allows people to connect to nearby destinations, amenities, and services.		Inconsistent
Abundant Housing Choices (Pg. 93)		
Housing provided meets the need of current and future residents.	Consistent	
Range of housing types provided to help maintain affordability in Hendersonville.	Consistent	
Housing condition/quality exceeds minimum standards citywide	Consistent	
Healthy and Accessible Natural Environment (Pg. 94)		
Recreational (active and passive) open spaces are incorporated into the development.	Consistent	
Water quality is improved with the conservation of natural areas that serve as filters and soil stabilizers.	Consistent	
Natural system capacity (floodplains for stormwater; habitats to support flora/fauna; tree canopy for air quality, stormwater management, and microclimate) is maintained.	Consistent	
Development is compact (infill/redevelopment) to minimize the ecological footprint.	Consistent	
New development respects working landscapes (e.g., orchards, managed forests), minimizing encroachment.	Consistent	
Authentic Community Character (Pg. 94)		
Downtown remains the heart of the community and the focal point of civic activity	N/A	
A development near a gateway sets the tone, presenting the image/brand of the community.	N/A	
Historic preservation is utilized to maintain the city's identity.	N/A	
City Centers and neighborhoods are preserved through quality development.	Consistent	
Safe Streets and Trails (Pg. 95)		
Interconnectivity is promoted between existing neighborhoods through the building out of street networks, including retrofits and interconnectivity of new developments.		Inconsistent
Access is increased for all residents through the provision of facilities that promote safe walking, biking, transit, automobile, ride share, and bike share.		Inconsistent
Design embraces the principles of walkable development.		Inconsistent
Reliable & Accessible Utility Services		

Wastewater treatment (service and capacity) adequately serves existing and future development	Consistent	
A compact service area (infill, redevelopment) maximizes the utilization of existing infrastructure and feasible service delivery.	Consistent	
Satisfying Work Opportunities (pg. 96)		
The development promotes quality job options.	N/A	
The lives of residents are enriched with opportunities to learn, build skills, and grow professionally.	N/A	
Welcoming & Inclusive Community		
Accessibility exceeds minimum standards of ADA, fostering residents' and visitors' sense of belonging.	N/A	
An inviting public realm (i.e., parks, public buildings) reflects the attitudes of city residents and leaders, and helps residents develop a sense of place and attachment to Hendersonville.	N/A	
Accessible & Available Community Uses and Services (Pg. 97)		
Private development is plentiful, meeting the demands of current and future populations.	N/A	N/A
Resilient Community		
N/A		
GUIDING PRINCIPALS (pg. 98)		
Mix of Uses (Pg. 98)		
Revitalization of Outdated Commercial Areas	Consistent	
New business and office space promotes creative hubs.	N/A	
Compact Development (Pg. 100)		
Development is consistent with efforts in the area to establish 15-minute neighborhoods.	Consistent	
The infill project is context sensitive [Small Infill Site].	Consistent	
Sense of Place (Pg. 102)		
The development contributes to Hendersonville's character and the creation of a sense of place through its architecture and landscape elements. [Placekeeping and Placemaking and 3rd Places]		Inconsistent
Conserved & Integrated Open Spaces (Pg. 106)		
A diverse range of open space elements are incorporated into the development.	Consistent	
Desirable & Affordable Housing (Pg. 108)		
Missing middle housing concepts are used in the development.	Consistent	
Connectivity (Pg. 112)		
The development encourages multimodal design solutions to enhance mobility.		Inconsistent
Efficient & Accessible Infrastructure (Pg. 114)		
The development utilizes existing infrastructure	Consistent	

REV	DATE	DESCRIPTION
1	4/18/2025	RESPONSE TO CITY COMMENTS

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COVER SHEET

ISSUE DATE:

4/18/2025

A001

SHEET LIST

SHEET NUMBER	SHEET NAME	CURRENT REVISION	CURRENT REVISION DATE
A001	COVER SHEET	1	4/18/2025
A002	OVERALL SITE PLAN, MAPS, SCHEDULES	2	4/29/2025
A003	SITE - EXISTING LANDSCAPE LAYOUT	2	4/29/2025
A001	BUILDING #1 - EXTERIOR ELEVATIONS	1	4/18/2025
A002	BUILDING #2 - EXTERIOR ELEVATIONS	1	4/18/2025
A001	MAIN BUILDING PICTURE ELEVATIONS	1	4/18/2025
A002	REAR BUILDING PICTURE ELEVATIONS AND AERIAL VIEWS	1	4/18/2025
A003	AERIAL VIEWS	1	4/18/2025

CHANGE IN SHEET
NUMBERING

CONDITIONS (DEVELOPER)

5-25-5.8 ARCHITECTURAL DETAILS

THE DEVELOPER REQUESTS A WAIVER FOR THIS SECTION CONCERNING ARCHITECTURAL DETAILS AND THE 30% REFLECTIVITY VALUE REQUIREMENT ON THE EXTERIOR WALLS FOR THE FOLLOWING BUILDING ELEVATIONS:

- BUILDING #1, MAIN BUILDING
- EAST ELEVATION
 - SOUTH ELEVATION
- BUILDING #2, REAR RESIDENTIAL ONLY BUILDING
- NORTH ELEVATION
 - SOUTH ELEVATION
 - EAST ELEVATION
 - WEST ELEVATION

5-25-5.9 BUILDING WALLS

THE DEVELOPER REQUESTS A WAIVER FOR THIS SECTION CONCERNING 'LONG, MONOTONOUS, UNINTERRUPTED WALLS' FOR THE FOLLOWING BUILDING ELEVATIONS:

- BUILDING #1, MAIN BUILDING
- EAST ELEVATION
 - SOUTH ELEVATION
- BUILDING #2, REAR RESIDENTIAL ONLY BUILDING
- NORTH ELEVATION
 - SOUTH ELEVATION
 - EAST ELEVATION
 - WEST ELEVATION

5-25-5.10 BUILDING ENTRANCES

THE DEVELOPER REQUESTS A WAIVER FOR THIS SECTION CONCERNING BUILDING ENTRANCES FOR THE FOLLOWING BUILDING:

- BUILDING #2, REAR RESIDENTIAL ONLY BUILDING

5-25-5.12b BUILDING SCALE

THE DEVELOPER REQUESTS A WAIVER FOR THIS SECTION CONCERNING BUILDING SCALE FOR THE FOLLOWING BUILDING ELEVATIONS:

- BUILDING #1, MAIN BUILDING
- EAST ELEVATION
 - SOUTH ELEVATION
 - WEST ELEVATION
- BUILDING #2, REAR RESIDENTIAL ONLY BUILDING
- NORTH ELEVATION
 - SOUTH ELEVATION
 - EAST ELEVATION
 - WEST ELEVATION

5-25-5.13 INTERNAL ACCESS AND CONNECTIVITY

THE DEVELOPER REQUESTS A WAIVER FOR THIS SECTION, CURRENT EXISTING LAYOUT OF THE SITE DOES NOT COMPLY.

5-25-5.15 PEDESTRIAN ZONE AND SIDEWALKS

THE DEVELOPER AGREES TO PAY FEE IN LIEU OF THE REQUIRED 7'-0" SIDEWALK IN ACCORDANCE WITH SECTION 6-12.3 AND SECTION 5-25-5.15 OF THE ZONING CODE.

GENERAL DEVELOPMENT NOTES

UTILITIES

THE DEVELOPMENT WILL USE EXISTING UTILITIES CONNECTED TO THE TWO BUILDINGS.

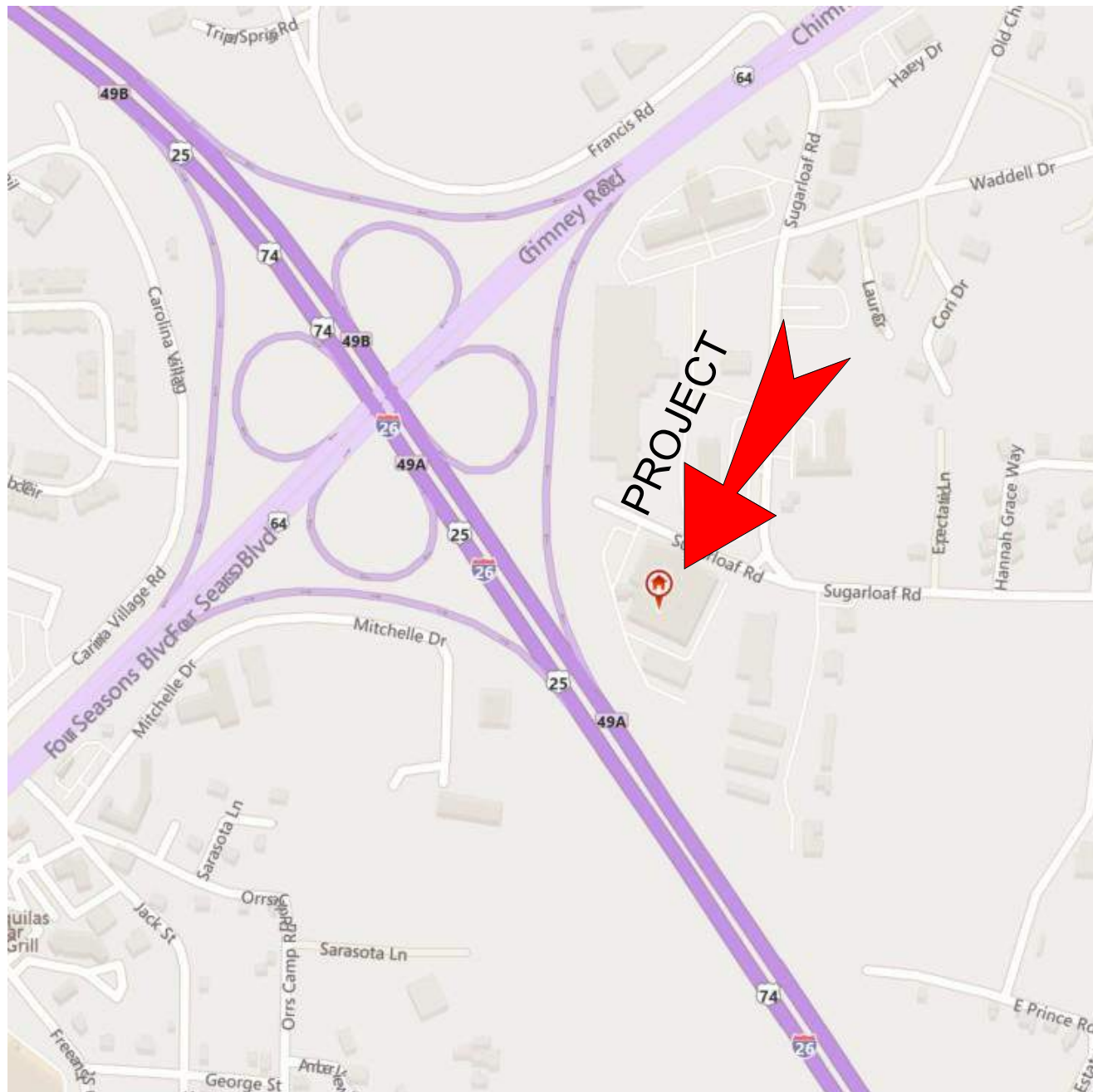
FIRE SAFETY

THE CURRENT MAIN BUILDING IS EQUIPPED WITH A FIRE SPRINKLER SYSTEM. BUILDING # 2, LOCATED AT THE REAR OF THE PROPERTY WILL BE EQUIPPED WITH A NEW FIRE SPRINKLER AND FIRE ALARM SYSTEM.

IT IS THE INTENTION OF THE DEVELOPER TO ADDRESS THE CONCERNS PREVIOUSLY RAISED AND BRING THE PROJECT INTO FULL COMPLIANCE WITH THE CURRENTLY ADOPTED FIRE CODES.

LANDSCAPE REQUIREMENTS

FOR THIS EXISTING PROJECT, IT IS THE INTENTION OF THE DEVELOPER TO COMPLY, WHERE POSSIBLE, WITH THE LATEST LANDSCAPE ORDINANCE SET BY THE CITY OF HENDERSONVILLE, NORTH CAROLINA.



1 VICINITY MAP
SCALE N.T.S.

CLIENT

NHD CAPITAL
3532 W PALMETTO ST, FLORENCE, SC , 29501
CONTACT: ROY ASSAF
(646) 287-4403
ROY@NHD CAPITAL.COM

ARCHITECT

ARCHIE BOLDEN
949 W MARINETTA ST NW, ATLANTA GA, 30318
+1 (404) 769-6828
design@archiebolden.com

SCOPE OF WORK

RENOVATION OF EXISTING HOTEL DEVELOPMENT.

DEVELOPMENT CURRENTLY CONSISTS OF A 2 STORY MAIN BUILDING WITH AMENITY AREAS AND 3 STORY RESIDENTIAL BUILDING.

ALL HOTEL UNITS TO BE CONVERTED INTO APARTMENT UNITS.
TOTAL APARTMENT UNITS PROPOSED - 120.
100 STUDIO APARTMENT UNITS
10 ONE BEDROOM APARTMENT UNITS
10 TWO BEDROOM APARTMENT UNITS

PROPOSED ZONING OF PROPERTY TO BE UR URBAN RESIDENTIAL CONDITIONAL ZONING DISTRICT

Archie Bolden
0143 - PACE HENDERSONVILLE
201 SUGARLOAF RD, HENDERSONVILLE, NC 28792, USA

AB

Archie Bolden

www.archiebalden.com

PACE HENDERSONVILLE

PROJECT NUMBER: 0143

201 SUGARLOAF RD, HENDERSONVILLE, NC 28792, USA

CLIENT NAME:
PACE LIVING

SEAL AND SIGNATURE

NOT FOR
CONSTRUCTION

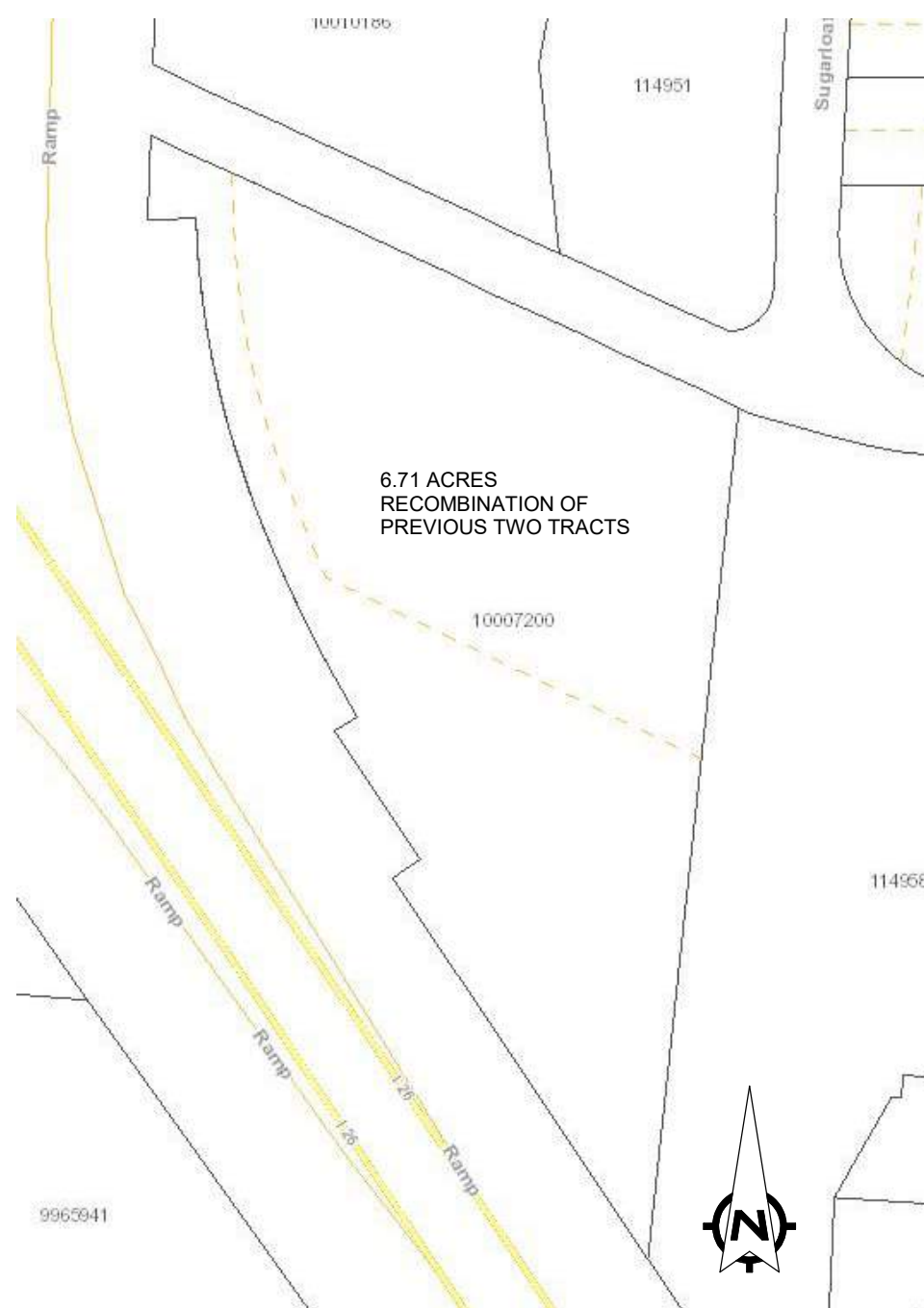
REV	DATE	DESCRIPTION
1	4/18/2025	RESPONSE TO CITY COMMENTS
2	4/29/2025	RESPONSE TO CITY COMMENTS 2ND ROUND

OVERALL SITE PLAN,
MAPS, SCHEDULES

ISSUE DATE:

4/29/2025

A002

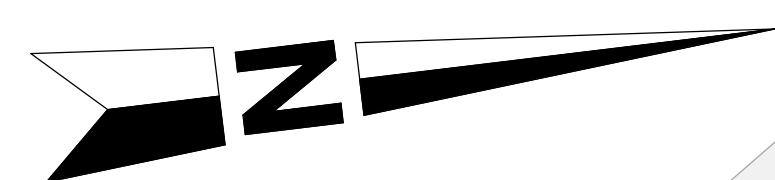


2 GIS MAP OUTLINE AND AERIAL VIEW

SCALE 1" = 60'-0"

GENERAL SITE NOTES

- SITE LOCATION IS IN THE CITY LIMITS OF HENDERSONVILLE
- SITE IS NOT IN A FLOOD PLAIN
- THE LIGHTING FOR THE SITE WILL BE COMPLIANT WITH THE CITY'S LIGHTING STANDARDS AND A DETAILED LIGHTING PLAN WILL BE PROVIDED AT FINAL SITE PLAN

6.71 ACRES
RECOMBINATION OF
PREVIOUS TWO TRACTS211 SUGARLOAF RD
WILLIAMS MINI STORAGE LLC
430 S MILLS RIVER ROAD
MILLS RIVER, NC 28759
ZONING: C-3 HIGHWAY BUSINESS

1 RENOVATED SITE PLAN

SCALE 1" = 40'-0"

0' 20'-0" 40'-0" 80'-0"
1" = 40'-0"

I. DATE

APRIL 4TH, 2025

II. TITLE OF PROJECT

PACE HENDERSONVILLE

III. PROJECT DESIGNER AND PROPERTY OWNER

CLIENT INFORMATION

PACE LIVING
237 SOUTH DIXIE HWY, MIAMI, FL, 33133
CONTACT: ROY ASSAF
(646) 287-4403
roy@rtdcapital.com

PROJECT DESIGNER

ARCHIE BOLDEN
949 W MARIETTA ST NW, ATLANTA GA, 30318
+1 (404) 769-6828
design@archiebolden.com

IV. PROJECT AND ZONING INFORMATION

REID: 10007200
PIN: 9579561085
RECOMBINATION: 6.71 ACRESZONING: C-3 HIGHWAY BUSINESS & CHMU
(COMMERCIAL HIGHWAY MIXED USE)PROPOSED ZONING: UR URBAN RESIDENTIAL CONDITIONAL
ZONING DISTRICT

V. PARKING REQUIREMENTS:

TOTAL EXISTING PARKING SPACES = 181

PER THE ZONING ORDINANCE FOR RESIDENTIAL, 1 PER EA. DWELLING = 120

TOTAL REQUIRED PARKING = 166

*THE EXISTING RESTAURANT SPACE WILL BE REMOVED AND REPLACED WITH A
SHARED AMENITY SPACE, TYPE OF SPACE TO BE DETERMINED AT A LATER DATE.

TOTAL NUMBER OF APARTMENT UNITS = 120

1 SPACE PER UNIT = 120 REQUIRED PARKING SPACES.

TOTAL AREA OF FUTURE AMENITY AND MEETING SPACE = 9,500 SQ. FT. 9500 / 600
= 15 PARKING SPACES.
TOTAL REQUIRED = 136VI. PROJECT SQUARED FOOTAGE /
ACREAGE & PERCENTAGE OF TOTAL SITE

LOT DESCRIPTION	LOT AREA	
	ACRES	AREA SQUARE FEET
TRACT 1	3.74	162,938.52
TRACT 2	2.98	129,810.58
TOTAL AREA:	6.72	292,749.10

SITE COVERAGE			
AREA DESCRIPTION	AREA	REQ'D %	PROVIDED %
BUILDING FOOTPRINTS	64,713 R ²	-	22.1%
COMMON SPACE	30,000 R ²	10.0%	10.3% MIN.
OPEN SPACE	116,836 R ²	30.0%	39.9%
STREETS & PARKING	77,321 R ²	26.4%	26.4%
TOTAL PROJECT AREA	292,703 R ²	-	100%

PACE HENDERSONVILLE

PROJECT NUMBER: 0143

201 SUGARLOAF RD, HENDERSONVILLE, NC 28792, USA

CLIENT NAME:
PACE LIVING

SEAL AND SIGNATURE

**NOT FOR
CONSTRUCTION**

REV	DATE	DESCRIPTION
1	4/18/2025	RESPONSE TO CITY COMMENTS
2	4/29/2025	RESPONSE TO CITY COMMENTS 2ND ROUND

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HERE
CONSTITUTE THE PROPERTY OF ARCHIE BOLDEN AND MAY
NOT BE DUPLICATED, PUBLISHED OR USED WITHOUT THE
WRITTEN CONSENT OF ARCHIE BOLDEN.

SITE - EXISTING LANDSCAPE LAYOUT

ISSUE DATE:

4/29/2025

A003

LANDSCAPE NOTES

5-25-5.17 STREET TREES

THE DEVELOPER WILL SEEK 'ALTERNATIVE COMPLIANCE' FOR THIS STREET TREE REQUIREMENT.

EXISTING TREES, PLANTS, SHRUBS, & HEDGES ARE EXISTING ON THE ACCESS ROAD. THE DEVELOPER PROPOSES ADDING ADDITIONAL LARGE MATURING TREES TO THE NORTH SIDE OF THE PROPERTY. DUE TO THE AMOUNT OF EXISTING LANDSCAPING, DRIVES, AND ROCK FORMATIONS, THE DEVELOPER IS NOT ABLE TO ACHIEVE 1 CANOPY TREE PER EVERY 40'-0".

5-25-5.18 LANDSCAPE/BUFFERING STANDARDS

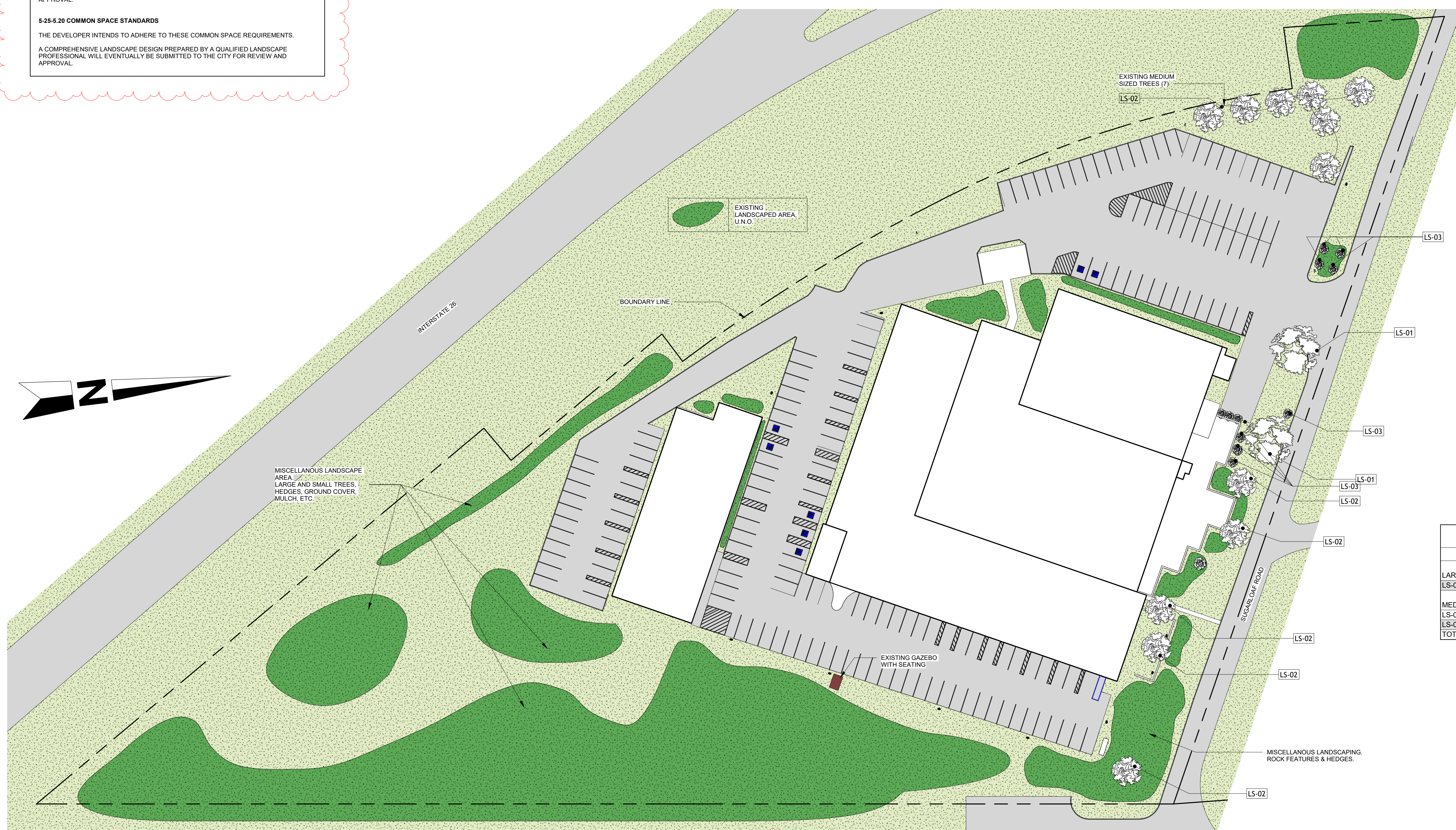
THE CURRENT DEVELOPMENT IS NOT IN COMPLIANCE WITH THE REQUIREMENTS OF THIS SECTION OF THE ZONING ORDINANCE, PARTICULARLY WITH RESPECT TO THE REQUIRED TREE PLANTINGS IN PARKING LOT AREAS.

HOWEVER, THE DEVELOPER INTENDS TO ADHERE TO THESE LANDSCAPING AND BUFFERING STANDARDS TO THE FULLEST EXTENT POSSIBLE. TO THAT END, A COMPREHENSIVE LANDSCAPE DESIGN PREPARED BY A QUALIFIED LANDSCAPE PROFESSIONAL WILL EVENTUALLY BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL.

5-25-5.20 COMMON SPACE STANDARDS

THE DEVELOPER INTENDS TO ADHERE TO THESE COMMON SPACE REQUIREMENTS.

A COMPREHENSIVE LANDSCAPE DESIGN PREPARED BY A QUALIFIED LANDSCAPE PROFESSIONAL WILL EVENTUALLY BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL.



EXISTING TREE LEGEND

LARGING TREE LEGEND		
	Description	Count
LARGE MATURING TREE		
LS-01	LARGE MATURING TREE	2
MEDIUM MATURING TREE		
LS-02	MEDIUM MATURING TREE	12
LS-03	MEDIUM MATURING TREE	12
TOTAL EXISTING STREET TREES		26

EXISTING DIAGRAMMATIC LANDSCAPE LAYOUT

SCALE 1" = 40'-0"

PACE HENDERSONVILLE

PROJECT NUMBER: 0143

201 SUGARLOAF RD, HENDERSONVILLE, NC 28792, USA

CLIENT NAME:
PACE LIVING

SEAL AND SIGNATURE

**NOT FOR
CONSTRUCTION**

REV	DATE	DESCRIPTION
1	4/18/2025	RESPONSE TO CITY COMMENTS

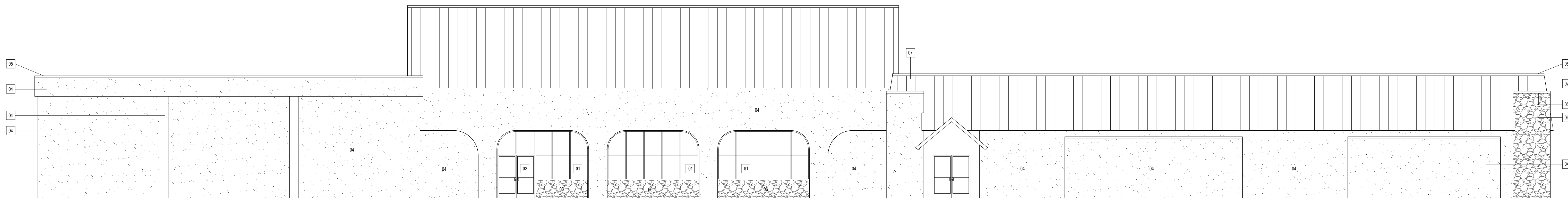
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN
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BUILDING #1 - EXTERIOR
ELEVATIONS

ISSUE DATE:

4/18/2025

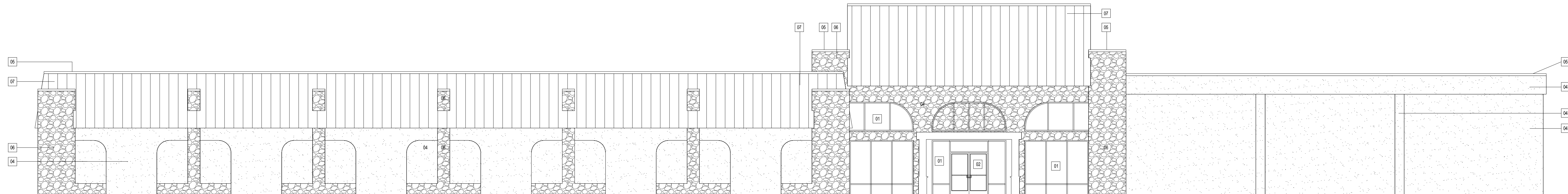
A201



1 BLDG 1 - EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"

CONDITIONAL USE ELEVATION REQUESTS

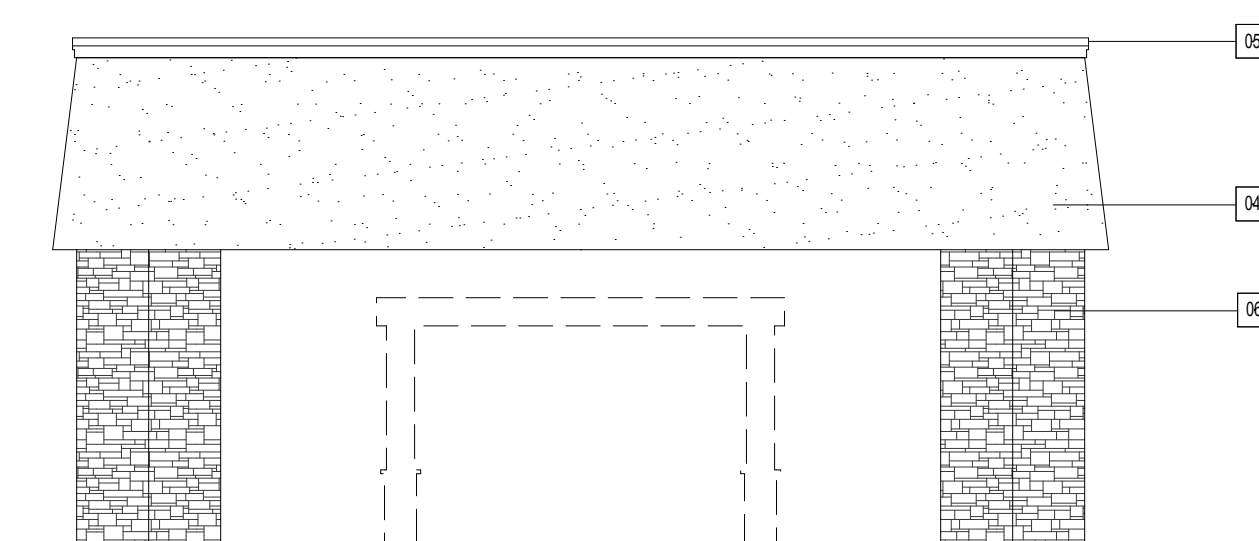
5-25-5.9 BUILDING WALLS
5-25-5.12b BUILDING SCALE



2 BLDG 1 - EXTERIOR ELEVATION - WEST
1/8" = 1'-0"

CONDITIONAL USE ELEVATION REQUESTS

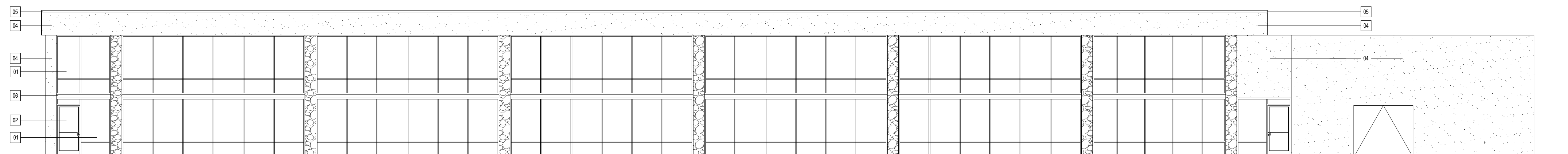
5-25-5.9 BUILDING WALLS
5-25-5.12b BUILDING SCALE



5 COVERED ENTRY
SCALE 1/8" = 1'-0"

EXISTING EXTERIOR FINISHES

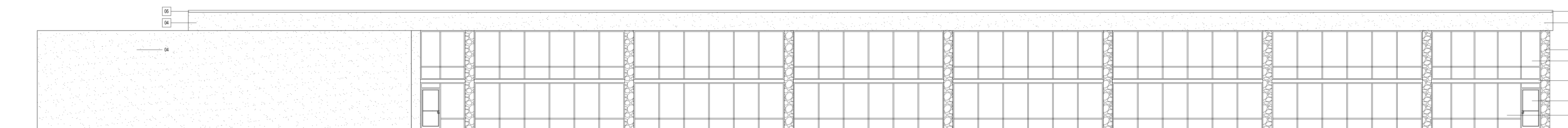
KEY	DESCRIPTION	COLOR
01	ALUMINUM STOREFRONT WINDOW SYSTEM.	BRONZE
02	ALUMINUM STOREFRONT ENTRY DOOR.	BRONZE
03	PAINTED CONCRETE SLAB EDGE.	WHITE
04	STUCCO FINISH.	TAN
05	PARAPET COPING.	TAN
06	STONE VENEER	WHITE
07	STANDING SEAM METAL ROOFING	BRONZE



3 BLDG 1 - EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"

CONDITIONAL USE ELEVATION REQUESTS

5-25-5.8 ARCHITECTURAL DETAILS
5-25-5.9 BUILDING WALLS
5-25-5.12b BUILDING SCALE



4 BLDG 1 - EXTERIOR ELEVATION - EAST
1/8" = 1'-0"

CONDITIONAL USE ELEVATION REQUESTS

5-25-5.8 ARCHITECTURAL DETAILS
5-25-5.9 BUILDING WALLS
5-25-5.12b BUILDING SCALE

SEAL AND SIGNATURE

NOT FOR
CONSTRUCTION

REV	DATE	DESCRIPTION
1	4/18/2025	RESPONSE TO CITY COMMENTS

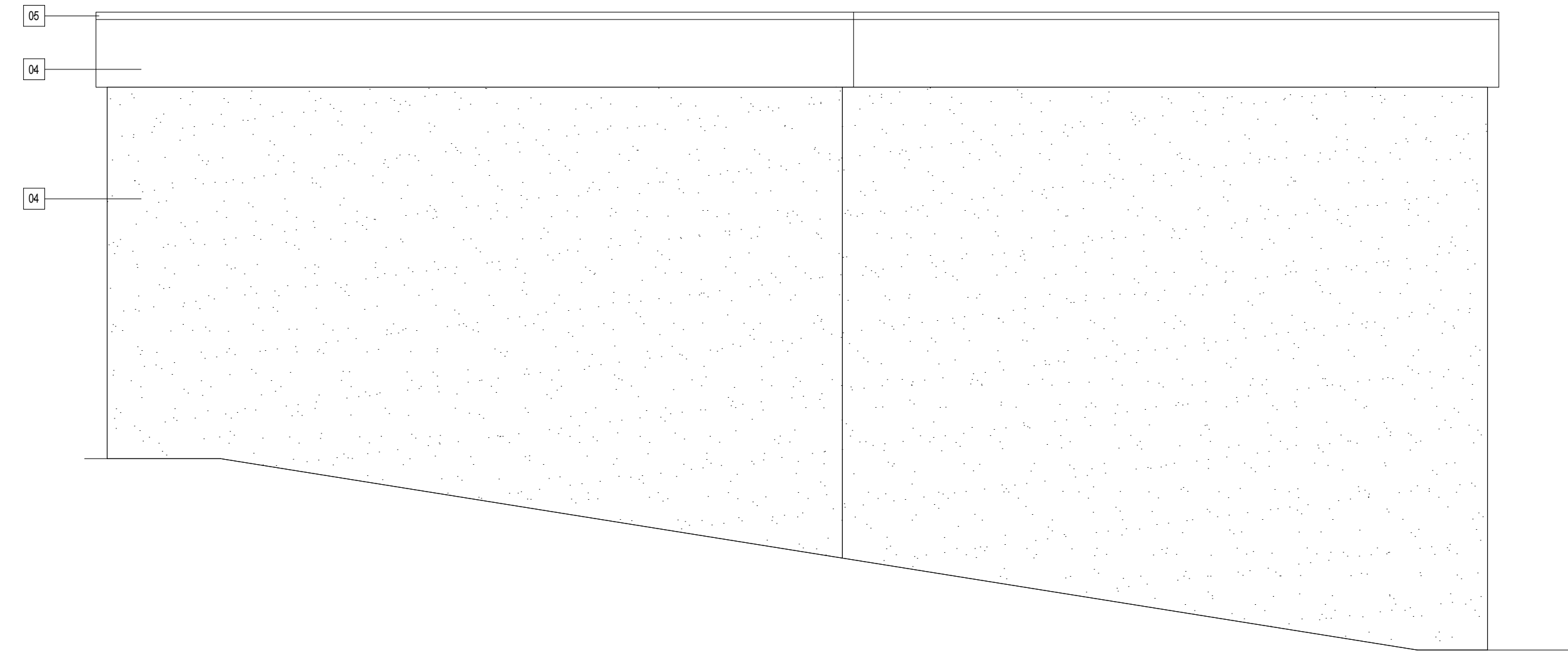
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BUILDING #2 - EXTERIOR
ELEVATIONS

ISSUE DATE:

4/18/2025

A202

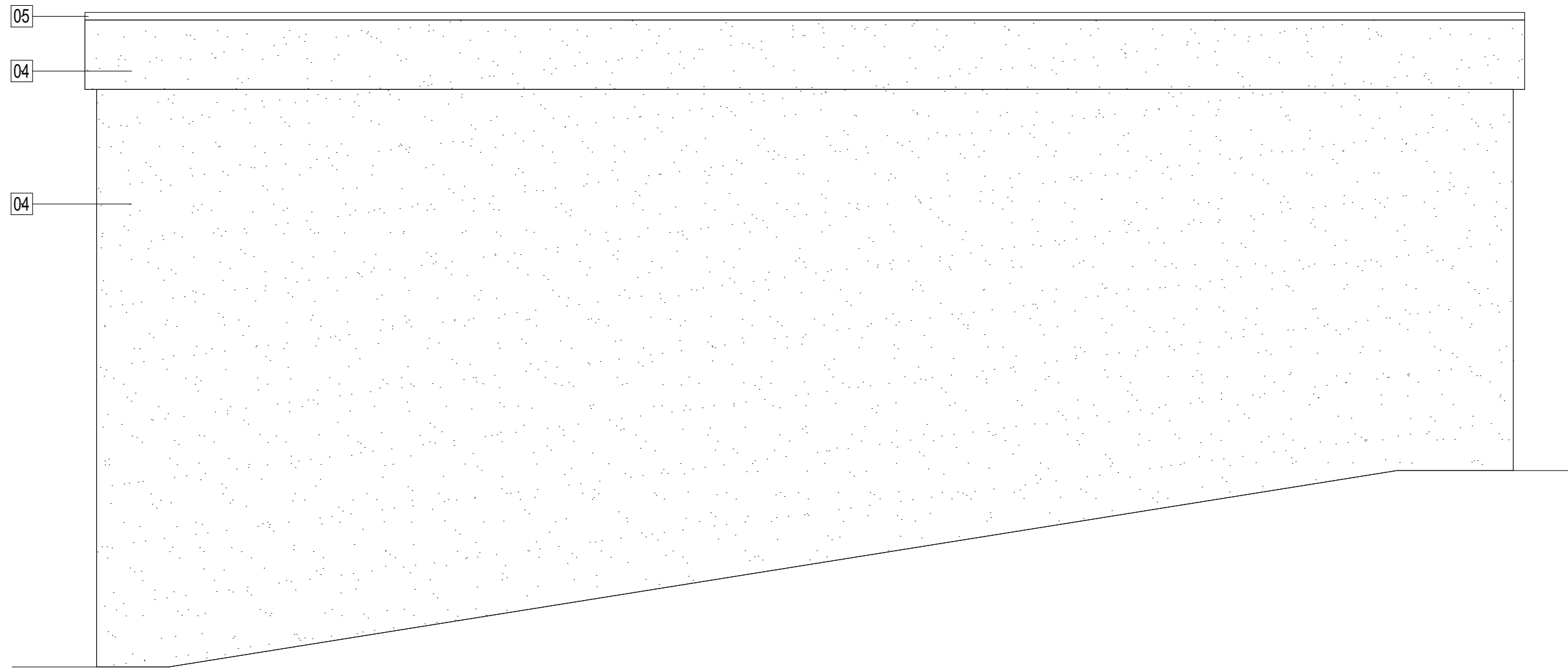


1 BLDG 2 - EXTERIOR ELEVATION - WEST
3/16" = 1'-0"

CONDITIONAL USE ELEVATION REQUESTS

5-25-5.8 ARCHITECTURAL DETAILS
5-25-5.9 BUILDING WALLS
5-25-5.12b BUILDING SCALE

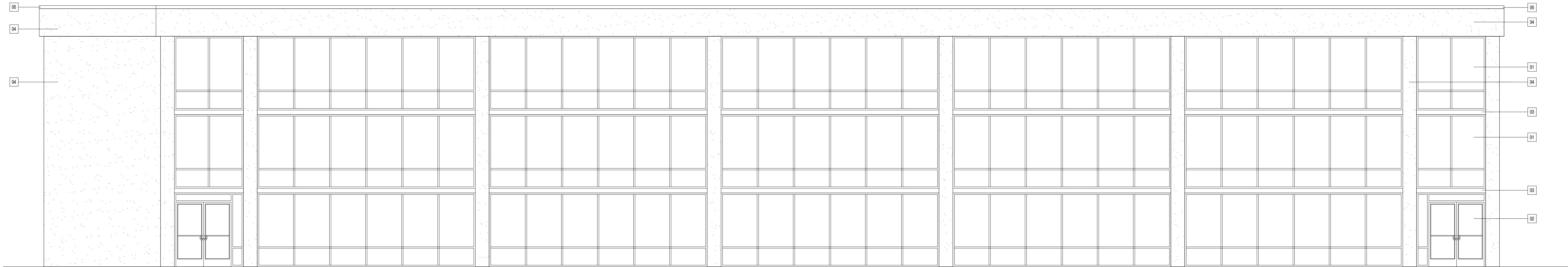
EXISTING EXTERIOR FINISHES		
KEY	DESCRIPTION	COLOR
01	ALUMINUM STOREFRONT WINDOW SYSTEM.	BRONZE
02	ALUMINUM STOREFRONT ENTRY DOOR.	BRONZE
03	PAINTED CONCRETE SLAB EDGE.	WHITE
04	STUCCO FINISH.	TAN
05	PARAPET COPING.	TAN
06	STONE VENEER	WHITE
07	STANDING SEAM METAL ROOFING	BRONZE



2 BLDG 2 - EXTERIOR ELEVATION - EAST
3/16" = 1'-0"

CONDITIONAL USE ELEVATION REQUESTS

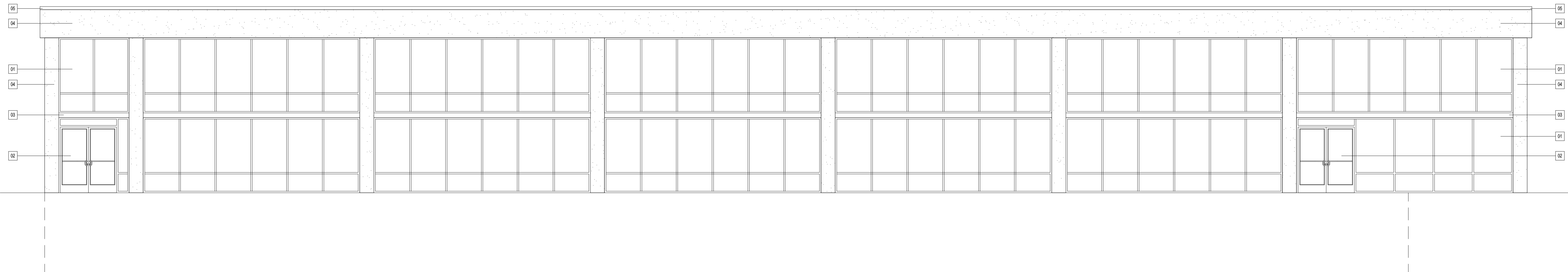
5-25-5.8 ARCHITECTURAL DETAILS
5-25-5.9 BUILDING WALLS
5-25-5.12b BUILDING SCALE



3 BLDG 2 - EXTERIOR ELEVATION - SOUTH
3/16" = 1'-0"

CONDITIONAL USE ELEVATION REQUESTS

5-25-5.8 ARCHITECTURAL DETAILS
5-25-5.9 BUILDING WALLS
5-25-5.10 BUILDING ENTRANCES
5-25-5.12b BUILDING SCALE



4 BLDG 2 - EXTERIOR ELEVATION - NORTH
3/16" = 1'-0"

CONDITIONAL USE ELEVATION REQUESTS

5-25-5.8 ARCHITECTURAL DETAILS
5-25-5.9 BUILDING WALLS
5-25-5.10 BUILDING ENTRANCES
5-25-5.12b BUILDING SCALE

SEAL AND SIGNATURE

NOT FOR
CONSTRUCTION

REV	DATE	DESCRIPTION
1	4/18/2025	RESPONSE TO CITY COMMENTS

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MAIN BUILDING PICTURE
ELEVATIONS

ISSUE DATE:

4/18/2025

A301



1 MAIN BUILDING_WEST ELEVATION
SCALE N.T.S.



2 MAIN BUILDING_WEST COVERED ENTRY
SCALE N.T.S.



3 MAIN BUILDING_WEST COVERED WALK
SCALE N.T.S.



4 MAIN BUILDING_SOUTH VIEW
SCALE N.T.S.



5 MAIN BUILDING_SOUTH VIEW
SCALE N.T.S.



6 MAIN BUILDING_SOUTH VIEW
SCALE N.T.S.



7 MAIN BUILDING_EAST VIEW
SCALE N.T.S.



8 MAIN BUILDING_NORTH VIEW
SCALE N.T.S.



1

REAR BUILDING_ NORTH VIEW

SCALE N.T.S.



3

REAR BUILDING_ NORTH VIEW

SCALE N.T.S.



5

REAR BUILDING_ SOUTH VIEW

SCALE N.T.S.

PACE HENDERSONVILLE

PROJECT NUMBER: 0143

201 SUGARLOAF RD, HENDERSONVILLE, NC 28792, USA

CLIENT NAME: PACE LIVING

SEAL AND SIGNATURE

NOT FOR
CONSTRUCTION

REV	DATE	DESCRIPTION
1	4/18/2025	RESPONSE TO CITY COMMENTS

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REAR BUILDING PICTURE
ELEVATIONS AND AERIAL
VIEWS

ISSUE DATE:

4/18/2025

A302

PACE HENDERSONVILLE

PROJECT NUMBER: 0143

201 SUGARLOAF RD, HENDERSONVILLE, NC 28792, USA

CLIENT NAME: PACE LIVING

SEAL AND SIGNATURE

NOT FOR CONSTRUCTION

REV	DATE	DESCRIPTION
1	4/18/2025	RESPONSE TO CITY COMMENTS

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AERIAL VIEWS

ISSUE DATE:

4/18/2025

A303



2 AERIAL VIEW_NORTH SIDE

SCALE N.T.S.



6 AERIAL VIEW_EAST SIDE

SCALE N.T.S.



3 AERIAL VIEW_SOUTH SIDE

SCALE N.T.S.



1 AERIAL VIEW_OVERALL

SCALE N.T.S.



NEIGHBORHOOD COMPATIBILITY MEETING REPORT

PACE HENDESONVILLE (25-11-CZD)

NCM MEETING DATE: March 7, 2025

PETITION REQUEST: Rezoning: Pace Hendersonville (UR-CZD)

APPLICANT/PETITIONER: Pace Living, LLC (Jacob Glover)

NEIGHBORHOOD COMPATIBILITY MEETING SUMMARY:

A Neighborhood Compatibility Meeting was held for this project on March 7th, 2025, at 2pm in the Meeting Room of City Hall at 160 6th Ave E and via Zoom. The meeting lasted approximately 50 minutes.

There were 2 members of the general public in attendance in-person and 2 attended virtually. The City was represented with 2 members of Planning staff. The applicant was present and gave some opening explanations of the project following staff's formal introduction and brief overview of the request.

There were no pre-submitted comments. Those attendance brought up a range of opinions and views. Some comments reflected a positive take on the impact of the development.

Other Questions and Concerns from the public related to:

Questions:

- Safety & Security Measures
- Improvement to transportation infrastructure / access
- Sustainable building practices
- Site drainage
- Preservation of existing vegetation
- Provision of a community garden
- Affordable housing
- Safe pedestrian access
- Amenities, public vs private
- Provision of a TIA
- Property Management

Full minutes from the Neighborhood Compatibility Meeting are available for review by request.





For use by Principal Authority
Cloudpermit application number US-NC30720-P-2025-20
PIN 9579561085
Application submitted to Hendersonville, NC, North Carolina

Description of Subject Property
Address 201 SUGARLOAF RD
Municipality Hendersonville, NC, North Carolina
PIN 9579561085

Purpose of Application
Application type Conditional Rezoning

Applicant		
Last name Glover	First name Jacob	Corporation or partnership Pace Living LLC
Street address 425 Fury's Ferry Road	Unit number	Lot / Con.
Municipality Augusta	State Georgia	ZIP code 30907
Other phone	Mobile phone +1 7623333096	
Fax	Email eastcoastconsulting@eastcoastconsults.com	

Property owner		
Last name HENDERSONVILLE HOSPITALITY LLC	First name	Corporation or partners Section 5, Item B.
Street address 201 SUGARLOAF RD HENDERSONVILLE NC 28792	Unit number	Lot / Con.
Municipality	State	ZIP code
Other phone		Mobile phone
Fax		Email

Declaration and Signatures
<p>Applicant</p> <p>I, Jacob Glover (The Applicant), do hereby declare that the information contained in this application, the attached schedules and forms, the attached plans and specifications, and other attached documentation is true to the best of my knowledge. If a permit is granted, I agree to comply with Local Ordinances and the conditions of the permit. If the Applicant is a corporation or partnership, I have the authority to bind the corporation or partnership by signing off, I understand that it constitutes a legal signature confirming that I acknowledge and agree to the above declaration.</p> <p> Digitally signed on 02/21/2025, 12:22:48 PM EST by Jacob Glover.</p> <p>Property owner</p> <p>I, HENDERSONVILLE HOSPITALITY LLC (The Property owner), do hereby declare that the information contained in this application, the attached schedules and forms, the attached plans and specifications, and other attached documentation is true to the best of my knowledge. If a permit is granted, I agree to comply with Local Ordinances and the conditions of the permit. If the Property owner is a corporation or partnership, I have the authority to bind the corporation or partnership by signing off, I understand that it constitutes a legal signature confirming that I acknowledge and agree to the above declaration.</p> <p> Digitally signed on 02/21/2025, 12:36:42 PM EST by Jacob Glover with an authorization letter from HENDERSONVILLE HOSPITALITY LLC.</p>

Required Information		
<table border="1"> <tr> <td>Scheduled Neighborhood Compatibility Meeting - NCM Date 03/07/2025</td> <td>NCM Time 2:00 PM</td> </tr> </table> <p>Transportation Impact Analysis - (if applicable) Required for complete application but not due until 24 calendar days prior to Planning Board Meeting</p>	Scheduled Neighborhood Compatibility Meeting - NCM Date 03/07/2025	NCM Time 2:00 PM
Scheduled Neighborhood Compatibility Meeting - NCM Date 03/07/2025	NCM Time 2:00 PM	

Information										
<table border="1"> <tr> <td>Type of Development: Commercial</td> <td>Current Zoning CHMU & C3</td> <td>Total Acreage 6</td> <td>Proposed Zoning: Urban Residential</td> <td>Proposed Building Square Footage: 62977.0 sq.ft.</td> </tr> <tr> <td colspan="4">Number of Dwelling Units: 120</td> <td>List of Requested Uses: Multi-Family</td> </tr> </table>	Type of Development: Commercial	Current Zoning CHMU & C3	Total Acreage 6	Proposed Zoning: Urban Residential	Proposed Building Square Footage: 62977.0 sq.ft.	Number of Dwelling Units: 120				List of Requested Uses: Multi-Family
Type of Development: Commercial	Current Zoning CHMU & C3	Total Acreage 6	Proposed Zoning: Urban Residential	Proposed Building Square Footage: 62977.0 sq.ft.						
Number of Dwelling Units: 120				List of Requested Uses: Multi-Family						

Rezoning Application Signoff Letter
201 Sugarloaf Road Hendersonville North Carolina

Hendersonville Hospitality LLC
02/21/2025

To Whom It May Concern,

We, Hendersonville Hospitality LLC, hereby authorize Pace Living LLC, East Coast Consulting Services LLC, and Jacob Glover to submit a rezoning request for the property located at: 201 Sugarloaf Road, Hendersonville, North Carolina 28792
PIN: 9579561085

All aforementioned parties have our full approval to pursue the rezoning of this property in accordance with applicable regulations and procedures.

Sincerely,
Jasmine Budhwani
Owner
Hendersonville Hospitality LLC

Jasmine Budhwani

dotloop verified
02/21/25 12:35 PM EST
IBPA-WVP1-SXHU-6EUN



LIMITED LIABILITY COMPANY ANNUAL REPORT

Section 5, Item B.

1/6/2022

NAME OF LIMITED LIABILITY COMPANY: Hendersonville Hospitality LLC

SECRETARY OF STATE ID NUMBER: 2139380

STATE OF FORMATION: NC

REPORT FOR THE CALENDAR YEAR: 2025

Filing Office Use Only
E - Filed Annual Report
2139380
CA202507608841
3/18/2025 12:02

☐ Changes

SECTION A: REGISTERED AGENT'S INFORMATION

1. NAME OF REGISTERED AGENT: Jasmine Budhwani

2. SIGNATURE OF THE NEW REGISTERED AGENT: _____

SIGNATURE CONSTITUTES CONSENT TO THE APPOINTMENT

3. REGISTERED AGENT OFFICE STREET ADDRESS & COUNTY 4. REGISTERED AGENT OFFICE MAILING ADDRESS

201 Sugarloaf Road

201 Sugarloaf Road

Hendersonville, NC 28792 Henderson County

Hendersonville, NC 28792

SECTION B: PRINCIPAL OFFICE INFORMATION

1. DESCRIPTION OF NATURE OF BUSINESS: Hospitality

2. PRINCIPAL OFFICE PHONE NUMBER: (404) 786-0191

3. PRINCIPAL OFFICE EMAIL: Privacy Redaction

4. PRINCIPAL OFFICE STREET ADDRESS

5. PRINCIPAL OFFICE MAILING ADDRESS

201 Sugarloaf Road

201 Sugarloaf Road

Hendersonville, NC 28792

Hendersonville, NC 28792

6. Select one of the following if applicable. (Optional see instructions)

☐

The company is a veteran-owned small business

☐

The company is a service-disabled veteran-owned small business

SECTION C: COMPANY OFFICIALS (Enter additional company officials in Section E.)

NAME: Jasmine Budhwani

NAME: _____

NAME: _____

TITLE: Member

TITLE: _____

TITLE: _____

ADDRESS: _____

ADDRESS: _____

ADDRESS: _____

4133 Admiral Way

Atlanta, GA 30341

SECTION D: CERTIFICATION OF ANNUAL REPORT. Section D must be completed in its entirety by a person/business entity.

Jasmine Budhwani

3/18/2025

SIGNATURE

DATE

Form must be signed by a Company Official listed under Section C of This form.

Jasmine Budhwani

Member

Print or Type Name of Company Official

Print or Type Title of Company Official

This Annual Report has been filed electronically.

MAIL TO: Secretary of State, Business Registration Division, Post Office Box 29525, Raleigh, NC 27626-0525

Rezoning Application Information

201 Sugarloaf Road Hendersonville North Carolina

We are proposing the rezoning of the existing hotel, currently designated as **CHMU and C-3**, to **Urban Residential** to accommodate a **multifamily redevelopment project**. The current **150-unit hotel** will be **converted into 120 multifamily residential units**, offering a modern and sustainable housing solution.

This redevelopment will feature a variety of **amenity spaces designed to enhance residents' quality of life**, including but not limited to:

- **Pool & Jacuzzi**
- **Fitness Center**
- **Business Center**
- **Theatre**
- **Fire Pit Areas**
- **Dog Park**
- **Game Room**
- **Zen Room**
- **Reading & Lounge Area**

This project aligns with the city's vision for sustainable growth and improved housing options while integrating seamlessly into the surrounding community.

The property is situated in a **commercial area with a mix of residential uses**, making the proposed **multifamily redevelopment highly compatible with the existing land use patterns**. The transition from a **150-unit hotel to 120 multifamily units** aligns with the area's character, maintaining a balance between residential and commercial activities.

Additionally, the redevelopment is **not expected to trigger a traffic impact analysis**, indicating that it will not significantly alter traffic patterns or place undue strain on existing infrastructure. This suggests that the project will integrate seamlessly into the neighborhood without negatively affecting surrounding properties or daily traffic flow.

By repurposing an existing structure rather than introducing new large-scale development, the project **minimizes disruption while enhancing housing availability**, supporting both the **economic vitality and residential needs** of the community.

This **redevelopment project will not require any amendments to the existing zoning map or boundary lines**. The proposed rezoning to **Urban Residential** is consistent with the current land use framework and does not necessitate any modifications to the city's zoning map. The property boundaries will remain unchanged, ensuring a seamless transition within the existing planning and development structure.

The **rezoning petition is in the public interest** as it directly addresses critical community needs while aligning with Hendersonville's long-term planning goals. Key benefits include:

- **Increased Housing Availability:** With Hendersonville experiencing **unprecedented growth** and housing supply constraints, this project will help meet the demand for **affordable and high-quality residential units**.
- **Efficient Land Use:** The redevelopment **repurposes an existing structure**, minimizing environmental impact and avoiding unnecessary land disturbance or tree removal.
- **Sustainability & Smart Growth:** By utilizing existing infrastructure (electrical, sewer, and water systems), the project **reduces the strain on city resources** while promoting sustainable development practices.
- **Community Enhancement:** The inclusion of **amenity spaces** such as a pool, fitness center, business center, theatre, and green spaces fosters a **high quality of life** for residents and enhances the overall community appeal.
- **Traffic & Infrastructure Compatibility:** Since the project is not expected to trigger a traffic impact analysis, it will **integrate smoothly into the surrounding area** without negatively affecting transportation networks.

Overall, this redevelopment provides a **modern, sustainable, and community-focused solution** that supports **economic growth, housing accessibility, and neighborhood stability**, making it a valuable investment in Hendersonville's future.

The proposed redevelopment will utilize the **existing public infrastructure**, ensuring that **adequate public facilities** are available to support the project without placing additional strain on city resources. Key considerations include:

- **Water & Sewer Capacity:** The existing hotel is already connected to **proper water and sewer lines**, which will continue to serve the new residential units without requiring major upgrades or extensions.
- **Electric & Utility Services:** The site has established **electrical infrastructure**, ensuring seamless service for the proposed 120 multifamily units.
- **Traffic & Transportation:** Since the redevelopment does not trigger a **Traffic Impact Analysis (TIA)**, the project is not expected to **negatively impact roadways or transportation networks**.
- **Emergency Services & Public Safety:** The site remains within the service area of **police, fire, and emergency response teams**, ensuring that public safety standards are maintained.

Given that **no major infrastructure modifications are needed**, this project is well-supported by existing public facilities, allowing for a **smooth transition from hotel use to residential living without burdening municipal resources**.

The **rezoning petition will have minimal impact on the natural environment**, as the project **repurposes an existing structure** rather than introducing new large-scale development. Key environmental considerations include:

- **No Tree Removal or Land Disturbance:** Unlike new construction projects, this redevelopment **does not require land clearing, grading, or tree removal**, preserving the **existing natural landscape and tree canopy**.
- **Sustainable Land Use:** By **utilizing existing infrastructure**, the project minimizes environmental disruption and **reduces the demand for new resource-intensive construction**.

- **Stormwater & Drainage Management:** Since the footprint of the existing structure remains unchanged, **stormwater runoff patterns will not be significantly altered**, preventing negative effects on nearby water systems.
- **Energy Efficiency & Resource Conservation:** Repurposing an existing building is a **sustainable development practice**, as it reduces **construction waste, energy consumption, and material use** compared to demolishing and rebuilding.
- **Landscape Enhancements:** The project includes **landscape upgrades and modifications**, incorporating **native vegetation** and green spaces that contribute to **biodiversity, air quality, and urban cooling**.

Overall, the redevelopment **supports environmental sustainability** by **minimizing ecological disruption, preserving natural resources, and integrating green enhancements**, making it a responsible and environmentally conscious housing solution.

Here are some additional points that may strengthen the petition and provide a more comprehensive overview of the project's benefits:

1. Alignment with Hendersonville's Comprehensive Plan

- The redevelopment aligns with the city's goals for **sustainable growth, affordable housing, and mixed-use development**.
- Supports the initiative of creating a **walkable, connected, and vibrant community** with diverse housing options.

2. Economic & Community Benefits

- **Boosts local economy** by attracting new residents who will contribute to **local businesses, restaurants, and services**.
- **Encourages workforce retention** by providing **affordable and accessible housing** for professionals, families, and essential workers.
- **Enhances property values** in the surrounding area by transforming an aging hotel into a **modern, high-quality residential community**.

3. Compatibility with Surrounding Development

- The property is located in a **commercially zoned area with existing residential uses**, ensuring **seamless integration into the neighborhood**.
- The **proximity to nearby homes (1,000 feet in each direction)** further supports the transition to multifamily residential use.

4. Transportation & Accessibility

- The project is in **close proximity to major roadways**, providing **convenient access for residents** without causing congestion.
- **Existing parking infrastructure** supports the development, ensuring adequate space for residents and visitors.
- **Pedestrian and bicycle-friendly features** (such as walkways and bike racks) will encourage alternative modes of transportation.

5. Sustainability & Environmental Responsibility

- **Adaptive reuse** of the existing structure reduces construction waste and **minimizes carbon footprint**.
- The **landscape enhancement plan** will include **native vegetation and green spaces** to promote urban sustainability.
- **Energy-efficient upgrades** (such as LED lighting, water-saving fixtures, and improved insulation) may be incorporated to **reduce resource consumption**.

6. Minimal Impact on Public Services & Infrastructure

- **Existing utility connections (water, sewer, electricity)** will be utilized, preventing excessive demand on municipal services.
- No significant increase in **traffic, emergency response needs, or public safety concerns** is anticipated.
- **Stormwater management remains unchanged**, ensuring compliance with environmental regulations.

Thanks,

Pace Living LLC



Transforming Cascade Resort Into A Vibrant Residential Hub

Contemporary Living Solutions



Property Summary

Section 5, Item B.

UNITS

120

PROPOSED UNIT MIX

100 Studios
10 One bedrooms
10 Two Bedrooms

BUILDINGS

2

ADDRESS

201 Sugarloaf Rd,
Hendersonville, NC
28792

VINTAGE

1967

LOT SIZE

6.24 Acres

Affordable & Attractive Living Spaces

Section 5, Item B.



CONTEMPORARY LIVING

We are revitalizing the vintage Cascade hotel rooms and transforming them into vibrant, contemporary studio apartments with kitchenette, designed to provide tenants with a comfortable, modern living experience that feels like home.



AFFORDABLE LIVING, UNCOMPROMISED COMFORT

Our goal is to maintain housing costs at no more than 30% of a household's income, ensuring our living spaces remain affordable and accessible to a diverse community, without placing a financial strain on residents.



SHOW UP - START LIVING

We take pride in offering communities where tenants enjoy the convenience of a single bill—just their rent. All utilities, including internet, are managed by us, simplifying their lives by eliminating the hassle of multiple bills and paperwork.

**AT PACE LIVING, WE'RE PASSIONATE ABOUT BREATHING NEW LIFE INTO CITY SPACES—
TRANSFORMING AGING HOTELS INTO VIBRANT, THRIVING APARTMENT COMMUNITIES.**

Amenities that Inspire

Section 5, Item B.



CLUBHOUSE

We will transform the hotel lobby into a modern, stylish clubhouse, offering residents a sophisticated and inviting space to socialize, host events, or unwind in comfort.



INDOOR POOL

An indoor pool is a rare and exceptional amenity in apartment living. We will modernize the space with stylish lounge seating and a curated culinary gathering area, creating a unique and inviting experience for residents.



FITNESS CENTER

We will transform the meeting room to a state-of-the-art fitness center is equipped with the latest exercise equipment, allowing our tenants to maintain a healthy lifestyle.

Amenities that Inspire

Section 5, Item B.



GAME ROOM

We will transform the restaurant space into a vibrant and engaging game room, serving as an entertainment hub with pool tables, video games, and a variety of activities designed for residents of all ages.



HOT TUB

This property provides a genuine resort-like experience, featuring a soothing hot tub that offers a serene retreat for relaxation and rejuvenation after a long day, making it the perfect setting for long-term living.



COWORKING SPACE

We will convert the first banquet space into a state-of-the-art co-working area, designed to provide a focused and productive environment for residents working from home or studying, seamlessly blending comfort and efficiency.

Amenities that Inspire

Section 5, Item B.



OUTDOOR FIRE PIT

We will revitalize the existing outdoor fire pit area, creating a cozy and inviting space where residents can gather, roast marshmallows, and unwind in a relaxing evening ambiance.



MOVIE THEATER

We will transform the second banquet space into an exclusive private movie theater for residents, offering a diverse selection of on-demand films. This unique amenity will enhance the community experience, providing an exceptional entertainment space that residents will truly enjoy.



DOG PARK

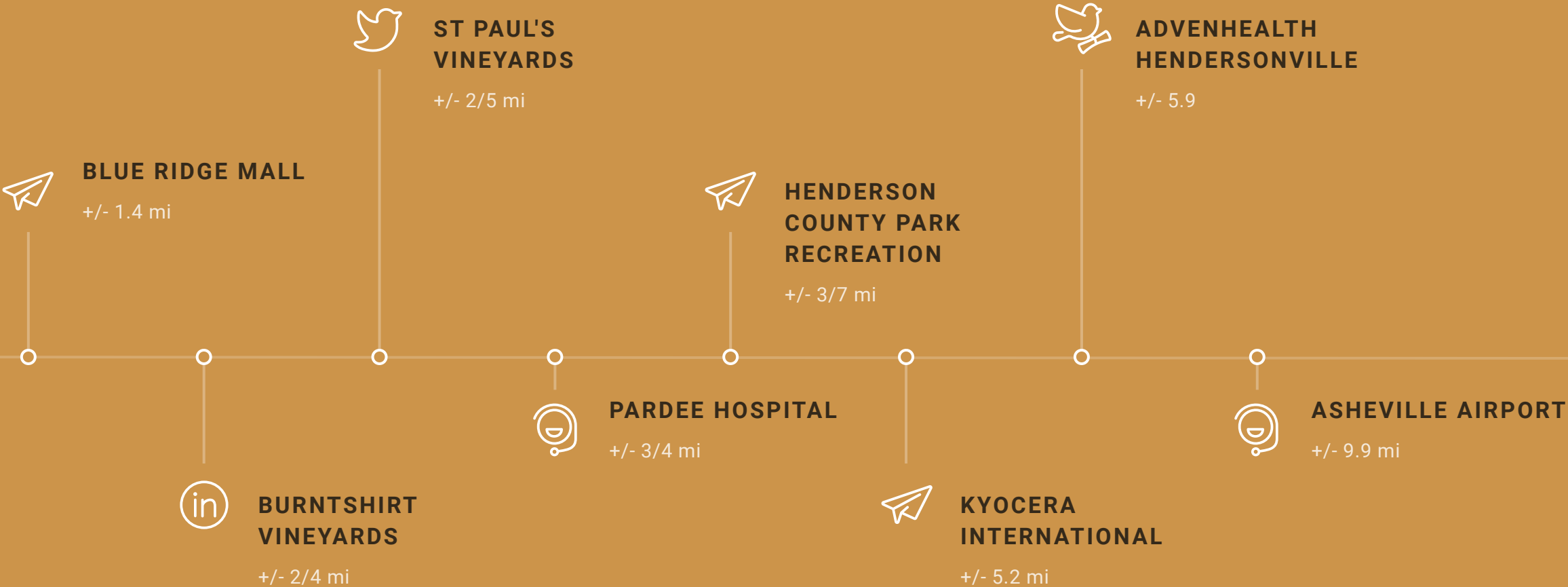
We will create an on-site dog park that offers a dedicated space for our four-legged residents to play and socialize, while providing pet owners with the opportunity to connect and build community.

Architectural Vision

Section 5, Item B.



Demand Drivers



LEADERSHIP

Section 5, Item B.



JACOB GLOVER

Pace Living



ROY ASSAF

Pace Living



SHAI SCHLUSSELBERG

Pace Living



Dream Team in Action

Section 5, Item B.

LEAD ARCHITECT

With 40 years of expertise and 30+ successful hotel conversions, Gene Goldstein of Bramic Design Group is redefining transformation.

GENERAL CONTRACTOR

For two decades, Chris Rhom of Rhom Paint and Construction has led a full-service construction company known for transforming multifamily properties with unwavering quality, trust, and integrity.

PROPERTY MANAGEMENT

Over its 50+ years of professional property management experience, NHE has a proven track record of marketing and leasing multi-family developments with past achievements including 90% occupancy rates within the first 90 days of lease-up.

DESIGN STUDIO

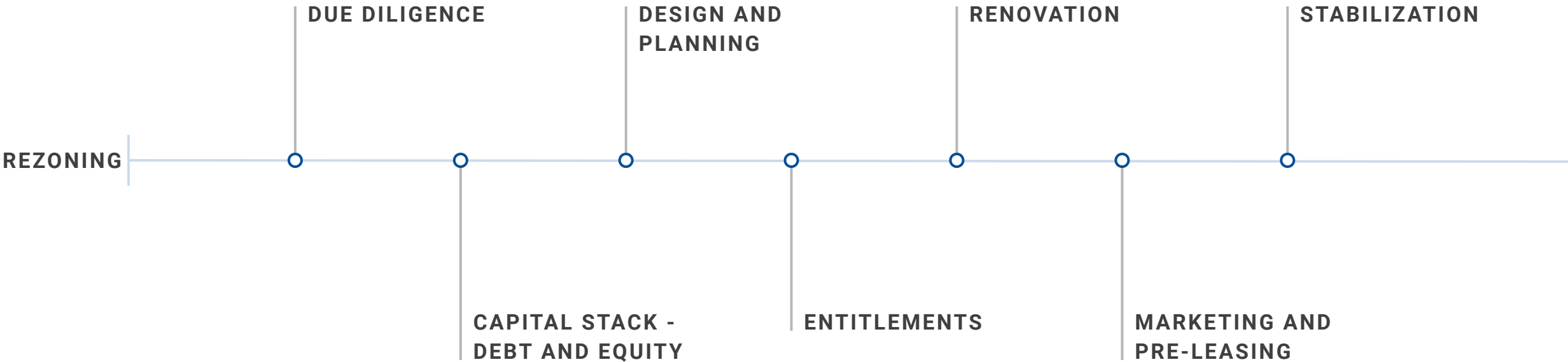
Archie Bolden, a globally renowned design firm from Australia, specializes in crafting modern atmospheres that elevate every space. Serving elite clients from Manhattan to the Hamptons and Miami, they are now proud members of the Pace Living community

Pace Living HTA Portfolio

Section 5, Item B.

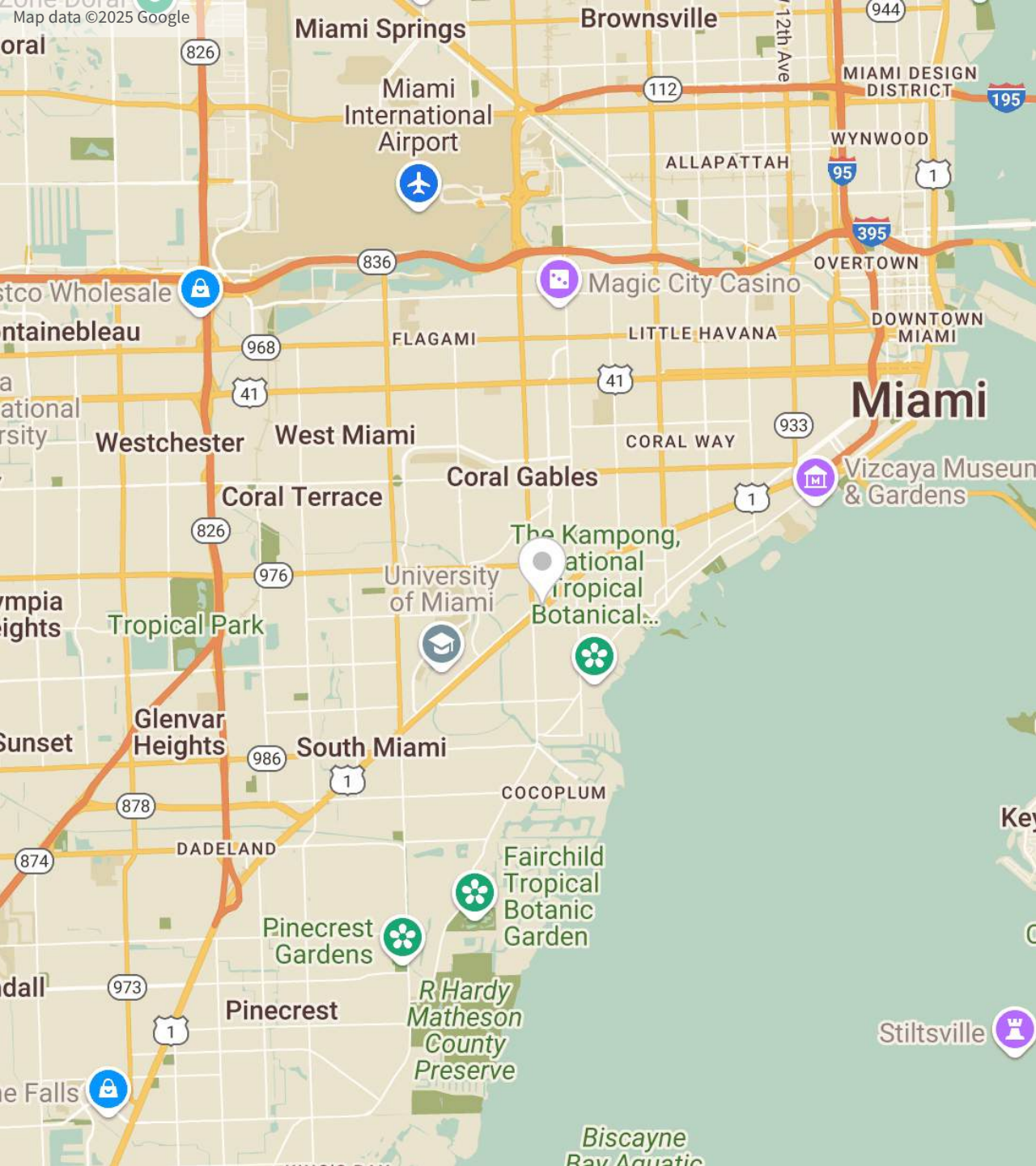
Pace 210	150 Units	Augusta, GA
Pace Village	119 Units	Myrtle Beach, SC
Pace Commons	108 Units	Opelika, AL
Pace Cove	110 Units	Florence, SC
The Forest by Pace	150 Units	Aiken, SC
Pace Corners	75 Units	Augusta, GA
Pace Florence	92 Units	Florence SC
Pace Landing	130 Units	Charleston, SC

Conversion Timeline



Disclaimer

This presentation is for informational purposes only, is subject to change, does not constitute investment advice or a recommendation, is not an advertisement, and is not intended for public use or distribution. This presentation does not constitute an offer to sell nor the solicitation of an offer to buy interests in Pace Living, LLC or any of its subsidiaries or affiliate companies. Such an offer or solicitation may only be made by means of a delivery of a confidential subscription agreement, operating agreement, or other appropriate disclosure which contains descriptions of the material terms relating to such investment and only in those jurisdictions where permitted by applicable law. An investment in Pace Living, LLC is speculative and involves a high degree of risk. An investment in Pace Living, LLC should be considered only by persons who can afford to sustain a loss of their entire investment or to hold their interests indefinitely without the possibility of resale. There is no secondary market for the interests and non should be relied upon to develop. The fees and expenses charged in connection with this investment may be higher than the fees and expenses of other investment alternatives and may reduce profits, if any. Performance levels may be reduced by management fees and/or carried interest. Past performance of Pace Living, LLC or any of its managers, employees, or affiliates is not indicative of future returns. Neither Pace Living, LLC nor its managers, employees, or affiliates warrant the accuracy, adequacy, or completeness of the information herein and expressly disclaims liability of liability for any loss or damage rising out of the use or misuse or reliance on the information provided herein, including without limitation any loss of profit or any other damage direct or consequential. This presentation contains certain summary projected financial information relating to real estate investment opportunities. The information is based on a variety of estimates and assumptions, which, though considered reasonable by Pace Living, LLC are inherently subject to significant business, economic, regulatory and competitive uncertainties and contingencies, many of which are beyond the control of Pace Living, LLC and subject to change. Under no circumstances should such information be constructed as a representation or prediction that the real estate or any investment therein will achieve or is likely to achieve any particular results.



Contact Us

237 South Dixie Hwy, Miami, FL 33133

📞 762.333.3096

📧 jacob@pace-living.com

🌐 www.pace-living.com

Ordinance # ____ - ____

AN ORDINANCE OF THE CITY OF HENDERSONVILLE CITY COUNCIL TO AMEND THE OFFICIAL ZONING MAP OF THE CITY OF HENDERSONVILLE FOR 201 SUGARLOAF RD (PARCEL POSSESSING PIN NUMBER: 9579-56-1085) BY CHANGING THE ZONING DESIGNATION FROM C-3 (HIGHWAY BUSINESS ZONING DISTRICT) & CHMU (COMMERCIAL HIGHWAY MIXED USE) TO UR (URBAN RESIDENTIAL - CONDITIONAL ZONING DISTRICT)

IN RE: Parcel Numbers: 9579-56-1085
Address: 201 Sugarloaf Rd
Brooklyn Townhomes: (File # 25-11-CZD)

WHEREAS, the City is in receipt of a Conditional Rezoning application from applicant Jacob Glover of Pace Living, LLC and Hendersonville Hospitality, LLC., for the conversion of a hotel to 120 multi-family apartment units; and

WHEREAS, the Planning Board took up this application at its regular meeting on May 8, 2025; voting 0-0 to recommend City Council approve an ordinance amending the official zoning map of the City of Hendersonville, and

WHEREAS, City Council took up this application at its regular meeting on June 5, 2025, and

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Hendersonville, North Carolina:

1. Pursuant to Article XI of the Zoning Ordinance of the City of Hendersonville, North Carolina, the Zoning Map is hereby amended by changing the zoning designation of the following: Parcel Numbers: 9579-56-1085, changing the zoning designation from C-3 (Highway Business Zoning District) & CHMU (Commercial Highway Mixed Use) To UR (Urban Residential - Conditional Zoning District)
2. Development of the parcel pursuant to this Ordinance is subject to the following.
 - a. Development shall comply with the site plan submitted by the applicant dated April 29, 2025, including the conditions listed therein, [and/or as modified and presented to City Council][and/or including modifications approved by City Council which shall be added to the site plan. The updated site shall be submitted to the City at or before the applicant’s execution of this Ordinance].
 - b. Permitted uses shall include:
 - i. Residential, Multi-Family - 12 Units
 - ii. Accessory Uses & Amenities
 - c. Additional conditions that shall be satisfied prior to final site plan approval include:
 - i.
3. Except where modified by the terms of this Ordinance, development of the parcel(s) shall occur in accordance with the final site plan requirements of Article VII of the Zoning Ordinance of the City of Hendersonville, North Carolina.
4. Except where explicit relief is granted by the terms of this Ordinance, the development of the parcel(s) shall occur in accordance with all applicable standards within local ordinances and policies.

This ordinance shall be not be effective until the list of use(s) and conditions, established herein, is consented to in writing by the applicant and all owners of the subject property. Upon such written consent, this ordinance shall be effective retroactive to the date of its adoption.

Adopted this 5th day of June 2025.

Attest: _____
Barbara G. Volk, Mayor, City of Hendersonville

Jill Murray, City Clerk

Approved as to form:

Angela S. Beeker, City Attorney

With their signatures below, the undersigned applicant(s) and property owner(s) consent to and agree to all conditions imposed pursuant to the terms of this Ordinance.

IN RE: Parcel Numbers: 9579-56-1085
 Address: 201 Sugarloaf Rd
 Brooklyn Townhomes: (File # 25-11-CZD)

Property Owner: Jasmine Budhwani

Signature:_____

Printed Name:_____

Title:_____

Date:_____

Applicant/Developer: Jacob Glover

Signature:_____

Printed Name:_____

Title: _____

Date:_____

CITY OF HENDERSONVILLE

201 SUGARLOAF RD - PIN: 9579-56-1085

CURRENT ZONING: SPLIT C-3 HIGHWAY BUSINESS & CHMU COMMERCIAL HIGHWAY MIXED USE

PROPOSED ZONING: UR-CZD URBAN RESIDENTIAL CONDITIONAL ZONING DISTRICTS

PROPOSED ZONING

Section 5, Item B.

PCD-CZD

CITY LIMITS
ETJ

R-15

EXPECTATION LANE

RAMADA INN

PCD

HAMPTON
INN

C3-CZD

SAFENEST
STORAGE

C3

C3

PROPOSED ZONING
C-3/CHMU to UR-CZD
201 SUGARLOAF RD
PIN: 9579-56-1085

UR-CZD

SUGARLOAF ROAD

C3

C2

CITY LIMITS
ETJ

RAMP

VACANT

C3

RED ROOF INN

CITY LIMITS
ETJ

OUTBACK
STEAKHOUSE

VACANT

MITCHELLE DRIVE

I 26

I 26

RAMP

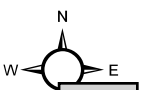
C3-CZD

CITY LIMITS
ETJ



City of Hendersonville
Community Development Department
April 2025

R-15



131

1 inch = 200 feet



CITY OF HENDERSONVILLE

AGENDA ITEM SUMMARY

PLANNING DIVISION

SUBMITTER: Matthew Manley **MEETING DATE:** May 8, 2025

AGENDA SECTION: New Business **DEPARTMENT:** Community Development

TITLE OF ITEM: Rezoning: Standard Rezoning – 135 Sugarloaf Rd | P24-43-RZO – *Matthew Manley, AICP / Long-Range Planning Manager*

SUGGESTED MOTION(S):

For Recommending Approval:

I move Planning Board recommend City Council **adopt** an ordinance amending the official zoning map of the City of Hendersonville changing the zoning designation of the subject property (PIN: 9579-57-4046) from C-3 CZD, Highway Business Conditional Zoning District to CHMU, Commercial Highway Mixed Use, based on the following:

1. The petition is found to be consistent with the City of Hendersonville Gen H Comprehensive Plan based on the information from the staff analysis and because:

The proposed zoning of CHMU aligns with the Gen H 2045 Comprehensive Plan Future Land Use & Conservation Map and the Character Area Description for 'Mixed-Use – Employment'.

2. Furthermore, we find this petition to be reasonable and in the public interest based on the information from the staff analysis, public hearing and because:

1. CHMU Zoning would allow for expanded economic use of the subject property
2. CHMU Zoning would allow for a range of by-right commercial and residential development / redevelopment opportunities.
3. CHMU Zoning would ensure a higher quality development compared to minimum requirements of alternative zoning districts

[DISCUSS & VOTE]

For Recommending Denial:

I move Planning Board recommend City Council **deny** an ordinance amending the official zoning map of the City of Hendersonville changing the zoning designation of the subject property (PIN: 9579-57-4046) from C-3 CZD, Highway Business Conditional Zoning District to CHMU, Commercial Highway Mixed Use, based on the following:

1. The petition is found to be consistent with the City of Hendersonville Gen H Comprehensive Plan based on the information from the staff analysis and because:

The proposed zoning of CHMU aligns with the Gen H 2045 Comprehensive Plan Future Land Use & Conservation Map and the Character Area Description for 'Mixed-Use – Employment'.

2. Furthermore, we do not find this petition to be reasonable and in the public interest based on the information from the staff analysis, public hearing and because:

1. CHMU Zoning is too permissive of a zoning district
2. CHMU Zoning and multi-family residential uses are incompatible at this location

[DISCUSS & VOTE]

SUMMARY: The City of Hendersonville is in receipt of a Zoning Map Amendment application from Daniel Renckens of WOC SE Storage, LLC (owners) for 135 Sugarloaf Rd (PIN: 9579-57-4046) totaling 1.96 Acres located near Chimney Rock Rd (US64) and I-26. The property is currently zoned C-3 CZD, Highway Business Conditional Zoning District. The petitioner is requesting that the property be rezoned to base zoning of CHMU, Commercial Highway Mixed Use.

Use of the subject property is limited to the site plan that was approved when the current C-3 CZD zoning was adopted in November 2021. The CZD allowed for the conversion of the World of Clothing building into SafeNest storage. However, the CZD did not call for any development or specific use of the portion of the property that is the subject of the current rezoning petition. At the time of the CZD, the current subject parcel was part of a single tract which included the World of Clothing building. As such, it was included in the rezoning. Now as an outparcel, the property owners are looking to rezone it back to a base district.

If rezoned, there will not be a binding site plan, list of uses, nor conditions placed on the site. All permitted uses within the CHMU district would be allowed on the site. The City of Hendersonville Zoning Ordinance states that, during a standard rezoning process, an applicant is prohibited from discussing the specific manner in which they intend to develop or use a site.

PROJECT/PETITIONER NUMBER:	P24-43-RZO
PETITIONER NAME:	o Daniel Renckens of WOC SE Storage, LLC [Applicant/Owner]
ATTACHMENTS:	<ol style="list-style-type: none"> 1. Staff Report 2. Comprehensive Plan Consistency & Criteria Evaluation Worksheet 3. Draft Ordinance 4. Proposed Zoning Map 5. Application

STANDARD REZONING: 135 SUGARLOAF RD - (P24-43-RZO)
CITY OF HENDERSONVILLE - COMMUNITY DEVELOPMENT STAFF REPORT

PROJECT SUMMARY 2

SITE IMAGES..... 3

SITE IMAGES..... 4

EXISTING ZONING & LAND USE 5

FUTURE LAND USE 6

REZONING STANDARDS (ARTICLE 11-4) 7

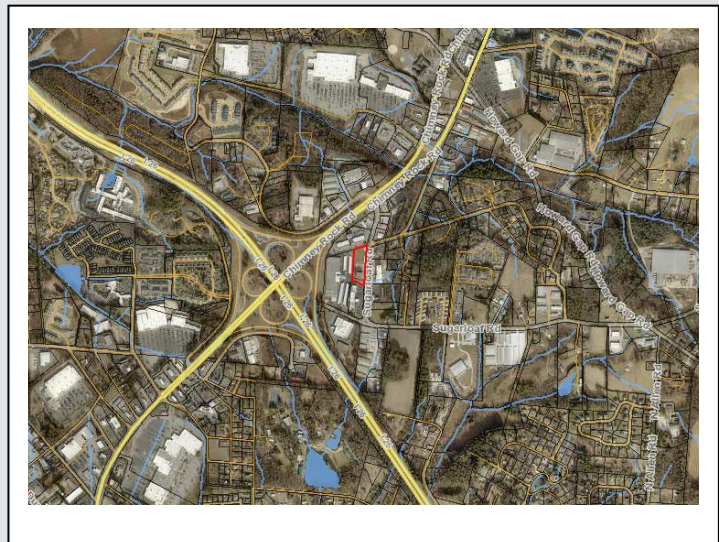
REZONING STANDARDS ANALYSIS & CONDITIONS 9

DRAFT COMPREHENSIVE PLAN CONSISTENCY AND REZONING REASONABLENESS STATEMENT 10



PROJECT SUMMARY

- Project Name & Case #:
 - 135 Sugarloaf Rd (former WoC outparcel)
 - P24-43-RZO
- Applicant & Property Owner:
 - Daniel Renckens of WOC SE Storage, LLC
- Property Address:
 - 135 Sugarloaf Rd
- Project Acreage:
 - 1.96 Acres
- Parcel Identification (PINS):
 - 9579-57-4046
- Current Parcel Zoning:
 - C-3 CZD, Highway Business Conditional Zoning District
- Proposed Zoning District:
 - CHMU, Commercial Highway Mixed Use
- Future Land Use Designation:
 - Mixed Use - Employment



SITE VICINITY MAP

The City of Hendersonville is in receipt of a Zoning Map Amendment application from Daniel Renckens of WOC SE Storage, LLC (owners) for 135 Sugarloaf Rd (PIN: 9579-57-4046) totaling 1.96 Acres located near Chimney Rock Rd (US64) and I-26. The property is currently zoned C-3 CZD, Highway Business Conditional Zoning District. The petitioner is requesting that the property be rezoned to base zoning of CHMU, Commercial Highway Mixed Use.

Use of the subject property is limited to the site plan that was approved when the current C-3 CZD zoning was adopted in November 2021. The CZD allowed for the conversion of the World of Clothing building into SafeNest storage. However, the CZD did not call for any development or specific use of the portion of the property that is the subject of the current rezoning petition. At the time of the CZD, the current subject parcel was part of a single tract which included the World of Clothing building. As such, it was included in the rezoning. Now as an outparcel, the property owners are looking to rezone it back to a base district. If rezoned, there will not be a binding site plan, list of uses, nor conditions placed on the site. All permitted uses within the CHMU district would be allowed on the site. The City of Hendersonville Zoning Ordinance states that, during a standard rezoning process, an applicant is prohibited from discussing the specific manner in which they intend to develop or use a site.

SITE IMAGES



*View of subject property from northern boundary facing south.
Home 2 Suites and Ramada are visible on the left.*



View of subject property from southern boundary facing north

SITE IMAGES

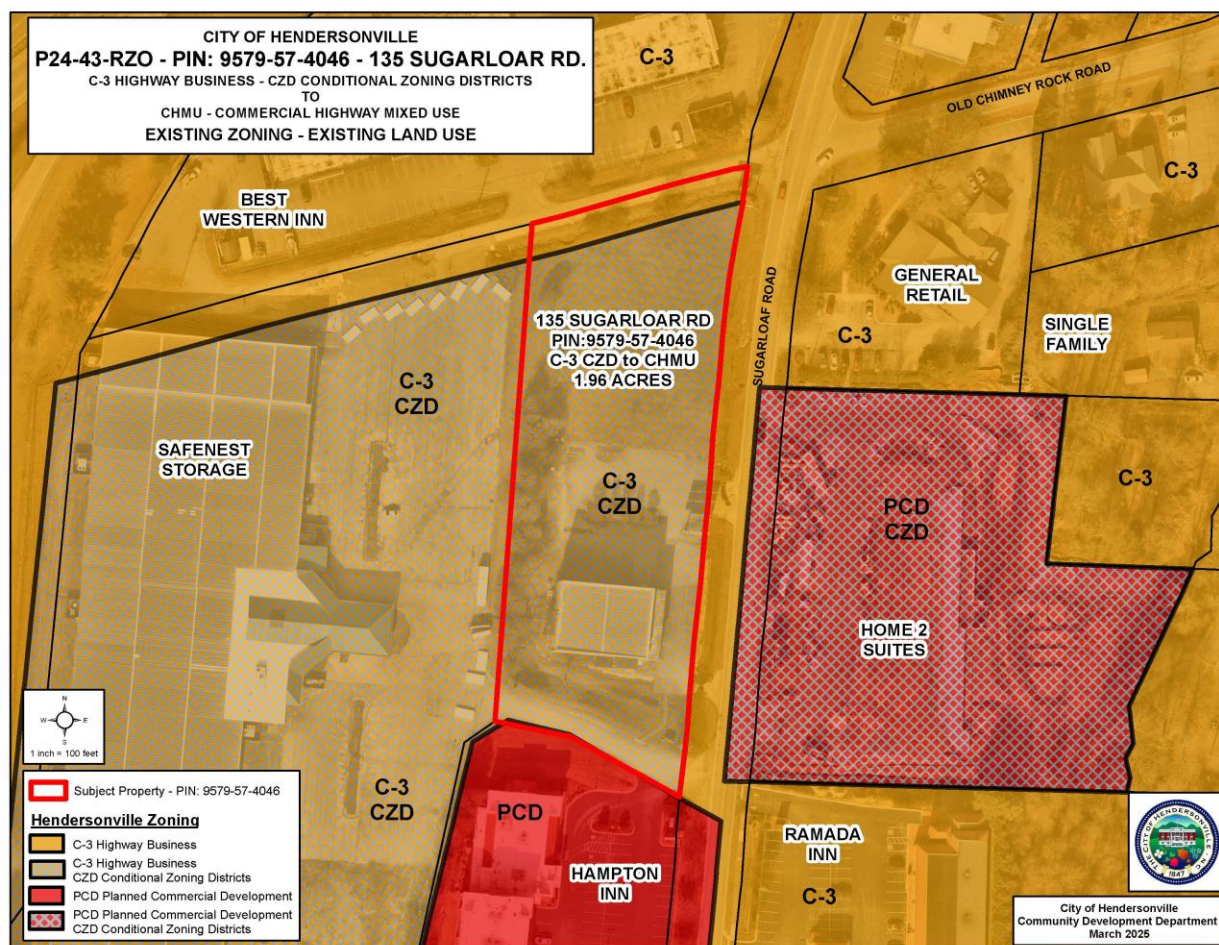


*View of subject property from southeastern corner facing northeast.
Best Western is in the background.*



*View of subject property from northeastern corner facing southwest.
SafeNest RV storage is in the background.*

EXISTING ZONING & LAND USE



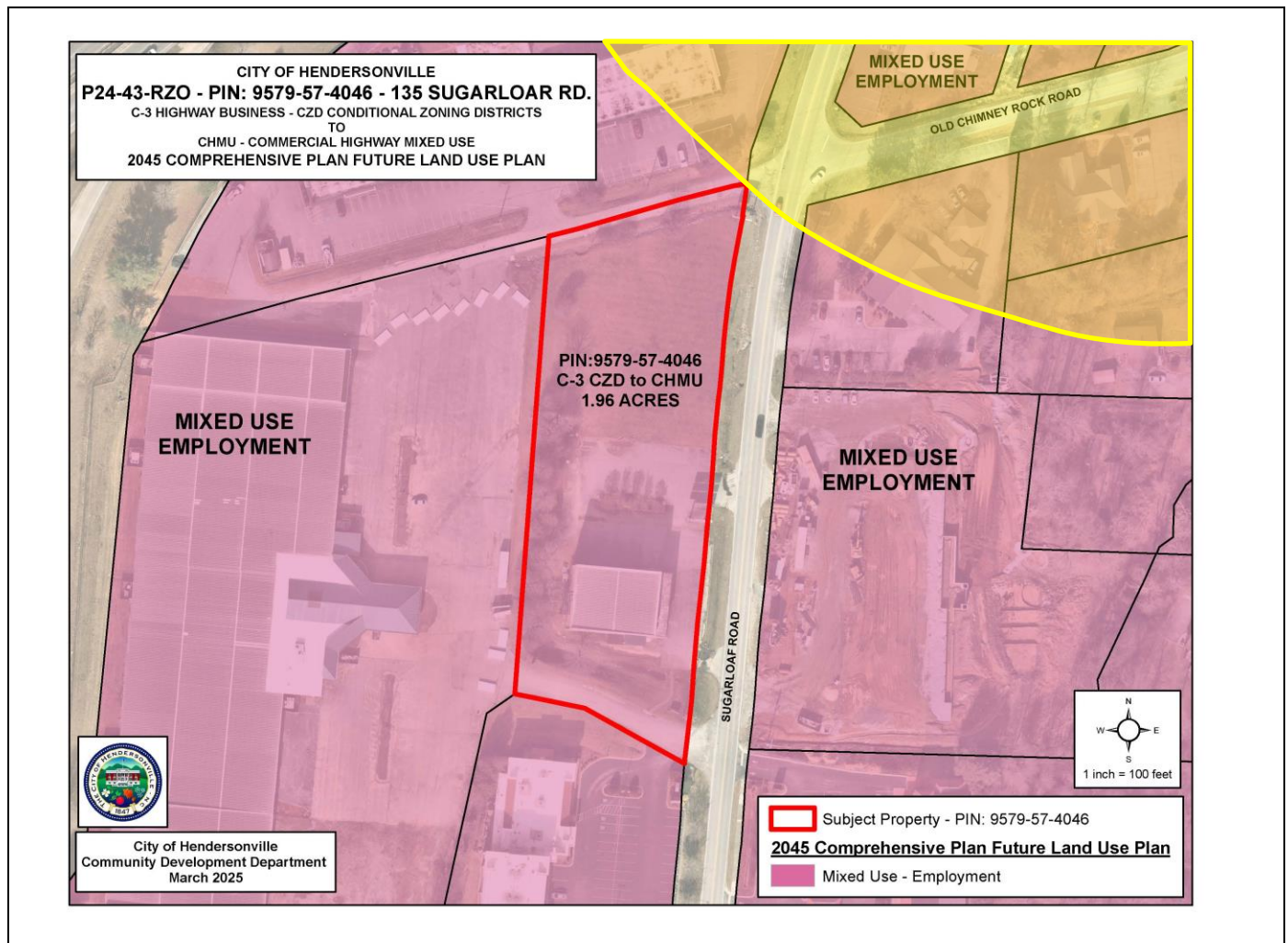
Existing Zoning & Current Land Use Map

The subject property is located within the corporate limits of the city. This site was previously tied to the former World of Clothing building which was rezoned to C-3 CZD and repurposed to self-storage. The subject property is just under 2 acres in total size and contains one 3-story principal building and its associated parking area. The remaining .86 acres of the site is a vacant grass lawn.

The dominate zoning in the area is C-3 Highway Business. There are two other zoning districts in the area: 1) Planned Commercial Development (PCD-CZD), which is presently adjacent to the subject property to the south and directly across Sugarloaf Rd, and 2) Commercial Highway Mixed Use (CHMU), which is located just south of the subject property on The Cascades parcel (off the map).

The land uses in this area are typical for interstate-oriented commercial uses with hotel/motels being the most prominent use. Other commercial uses include restaurants, gas stations, and self-storage facilities.

FUTURE LAND USE



Future Land Use & Conservation Map

The City's Gen H 2045 Comprehensive Plan designates the subject property as "Mixed Use Employment" in the Future Land Use & Conservation Map. The adjacent properties flanking in all directions are also designated Mixed Use - Employment. The Character Area description for MU-E is as follows:

Employment centers contain a mix of uses including office, light industrial, and institutional in buildings with multiple stories. These areas offer traditional workspace and can be supplemented by unconventional, collaborative workspace where innovation and education can be fostered. Highly walkable areas with clustered parking and minimized vehicular circulation, incorporation of some retail, recreational, and residential uses to create a live, work, and play environment is supported. Flexible open space in the form of formal and informal parks and green spaces connected by trails and can be programmed for gatherings of various sizes and purposes are also integrated.

REZONING STANDARDS (ARTICLE 11-4)

GENERAL REZONING STANDARDS: COMPREHENSIVE PLAN CONSISTENCY	
1) COMPREHENSIVE PLAN CONSISTENCY	<p><u>LAND SUPPLY, SUITABILITY & INTENSITY</u></p> <ul style="list-style-type: none"> The subject property is <u>not</u> located on a vacant or underutilized property in the <u>Land Supply Map</u> and therefore is <u>not</u> ranked for <u>Suitability</u> for Residential, Commercial and Industrial uses. The subject property is located in an area designated as “Moderate” for <u>Development Intensity</u>. The subject property is <u>not</u> located in one the <u>5 Focus Areas</u>. The subject property is located on the fringe of the <u>Focused Intensity Node</u> centered at Howard Gap + Chimney Rock Rd and near the <u>Focused Intensity Node</u> centered at Four Seasons Blvd + Coolridge St.
	<p><u>FUTURE LAND USE & CONSERVATION MAP</u></p> <p>Character Area Designation: Mixed Use - Employment</p> <p>Character Area Description: Consistent</p> <p>Zoning Crosswalk: Consistent</p> <p>Focus Area Map: N/A</p>
2) COMPATIBILITY	<p><i>Whether and the extent to which the proposed amendment is compatible with existing and proposed uses surrounding the subject property</i></p>
	<p><i>In addition to a general analysis of the existing conditions, staff has utilized the Gen H Comprehensive Plan as a guide for further evaluating issues related to “compatibility”. The analysis below includes an assessment of how the project aligns with the overall “Goals” and overarching “Guiding Principles” found in Chapter IV of the Gen H Plan.</i></p>
	<p><u>EXISTING CONDITIONS</u></p> <p>The subject property is a 1.95 acre parcel; .86 acres of which are undeveloped. It is located in close proximity to the interchange of US64 + I-26. The surrounding properties are primarily lodging businesses with some restaurants, gas stations, and self-storage uses also present. While not visible from I-26, this is a visible location which helps to define the character of the city.</p>
	<p><u>GEN H COMPREHENSIVE PLAN GOALS</u> (Chapter IV)</p> <p>Vibrant Neighborhoods: Consistent</p> <p>Abundant Housing Choices: Consistent</p> <p>Healthy and Accessible Natural Environment: Consistent</p> <p>Authentic Community Character: Consistent</p> <p>Safe Streets and Trails: Consistent</p> <p>Reliable & Accessible Utility Services: Consistent</p> <p>Satisfying Work Opportunities: Consistent</p> <p>Welcoming & Inclusive Community: Consistent</p> <p>Accessible/Available Community Uses & Services: Consistent</p> <p>Resilient Community: N/A</p>
	<p><u>GEN H COMPREHENSIVE PLAN GUIDING PRINCIPLES</u> (Chapter IV)</p> <p>Mix of Uses: Consistent</p> <p>Compact Development: Consistent</p>

	<p>Sense of Place: Consistent Conserved & Integrated Open Spaces: Consistent Desirable & Affordable Housing: Consistent Connectivity: Consistent Efficient & Accessible Infrastructure: Consistent</p> <p>DESIGN GUIDELINES ASSESSMENT – N/A</p>
3) Changed Conditions	<p>Whether and the extent to which there are changed conditions, trends or facts that require an amendment -</p> <p>The subject property was rezoned in 2021 from C-3 to C-3 CZD. The subject property was subdivided to serve as a separate outparcel (lot 2) from the parent parcel (former World of Clothing building). Additional development has occurred in proximity to the subject property. These developments include AAA Storage and Home 2 Suites on Sugarloaf Rd and Universal at Lakewood, Cottages at Mastermind, and Lakewood Apartments north of Chimney Rock Rd on Francis Rd/Lakewood Dr.</p>
4) Public Interest	<p>Whether and the extent to which the proposed amendment would result in a logical and orderly development pattern that benefits the surrounding neighborhood, is in the public interest and promotes public health, safety and general welfare -</p> <p>Under the current CZD, nothing can be developed on this site. The options for changing the zoning are between C-3, Highway Business and the proposed CHMU Zoning District. While CHMU is a permissive zoning district, it is distinguished from the surrounding C-3 zoning due to the fact that it permits Multi-Family uses and has building and site design standards. These mix of uses and design standards can provide a superior development compared to what is permissible under C-3 zoning.</p>
5) Public Facilities	<p>Whether and the extent to which adequate public facilities and services such as water supply, wastewater treatment, fire and police protection and transportation are available to support the proposed amendment</p> <p>The property is served by City services and is located on an NCDOT road.</p>
6) Effect on Natural Environment	<p>Whether and the extent to which the proposed amendment would result in significantly adverse impacts on the natural environment including but not limited to water, air, noise, storm water management, streams, vegetation, wetlands and wildlife -</p>

	There is no immediate development proposed on the subject properties. There are no existing trees nor environmentally-sensitive areas within the area proposed for rezoning.
--	--

REZONING STANDARDS ANALYSIS & CONDITIONS

Staff Analysis

- 1) Comprehensive Plan Consistency - Staff finds the petition to be Consistent with the Gen H Comprehensive Plan Future Land Use & Conservation Map and the Character Area Crosswalk.
- 2) Compatibility – Staff finds that proposed CHMU zoning is compatible with surrounding land uses and with the City’s desired vision for this area.
- 3) Changed Conditions - Staff finds that the changed conditions relate to increased commercial activity along the Sugarloaf Rd corridor and the rezoning of the subject property from C-3 to C-3 CZD.
- 4) Public Interest - Staff finds that CHMU is the preferred zoning district as it would provide options for a mix of land uses while requiring design standards.
- 5) Public Facilities - Staff finds that the rezoning would not have a direct impact on the provision of public facilities.
- 6) Effect on Natural Environment – Staff finds no direct impact on the natural environment.

The petition is found to be **Consistent** with the City of Hendersonville Gen H Comprehensive Plan based on the information from the staff analysis and the public hearing, and because:

The proposed zoning of CHMU aligns with the Gen H 2045 Comprehensive Plan Future Land Use & Conservation Map and the Character Area Description for 'Mixed-Use - Employment'.

We **[find/do not find]** this petition to be reasonable and in the public interest based on the information from the staff analysis and the public hearing, and because:

DRAFT [Rationale for Approval]

- *CHMU Zoning would allow for expanded economic use of the subject property*
- *CHMU Zoning would allow for a range of by-right commercial and residential development / redevelopment opportunities.*
- *CHMU Zoning would ensure a higher quality development compared to the minimum requirements of alternative zoning districts*

DRAFT [Rational for Denial]

- *CHMU Zoning is too permissive of a zoning district*
- *CHMU Zoning and multi-family residential uses are incompatible at this location*

135 Sugarloaf Rd C-3 CZD to CHMU P24-43-RZO		
Chapter 4 - The Vision for the Future	Consistent	Inconsistent
SUPPLY, SUITABILITY, & INTENSITY		
LAND SUPPLY MAP (Pg. 81, Figure 4.4)	N/A	
LAND SUITABILITY MAP (Pg. 84-86, Figure 4.5-4.7)	N/A	
DEVELOPMENT INTENSITY MAP (Pg. 89, Figure 4.9)	Consistent	
FUTURE LAND USE & CONSERVATION MAP		
Future Land Use and Conservation Map (Note classification here, Pg. 117, Figure 4.12)	Mixed Use Employment	
Character Area Description (Pg. 122-131)	Consistent	
Zoning Crosswalk (Pg. 132-133, Figure 4.18)	Consistent	
Focus Area Map (Pg. 134-159)	N/A	

135 Sugarloaf Rd C-3 CZD to CHMU | P24-43-RZO

Chapter 4 - The Vision for the Future	Consistent	Inconsistent
GOALS		
<u>Vibrant Neighborhoods (Pg. 93)</u>		
Promote lively neighborhoods that increase local safety.	Consistent	
Enable well-maintained homes, streets, and public spaces.	Consistent	
Promote diversity of ages (stage of life), income levels, and a range of interests.	Consistent	
The design allows people to connect to nearby destinations, amenities, and services.	Consistent	
<u>Abundant Housing Choices (Pg. 93)</u>		
Housing provided meets the need of current and future residents.	Consistent	
Range of housing types provided to help maintain affordability in Hendersonville.	Consistent	
Housing condition/quality exceeds minimum standards citywide	Consistent	
<u>Healthy and Accessible Natural Environment (Pg. 94)</u>		
Recreational (active and passive) open spaces are incorporated into the development.	Consistent	
Water quality is improved with the conservation of natural areas that serve as filters and soil stabilizers.	Consistent	
Natural system capacity (floodplains for stormwater; habitats to support flora/fauna; tree canopy for air quality, stormwater management, and microclimate) is maintained.	Consistent	
Development is compact (infill/redevelopment) to minimize the ecological footprint.	N/A	N/A
New development respects working landscapes (e.g., orchards, managed forests), minimizing encroachment.	N/A	N/A
<u>Authentic Community Character (Pg. 94)</u>		
Downtown remains the heart of the community and the focal point of civic activity	N/A	N/A
A development near a gateway sets the tone, presenting the image/brand of the community.	N/A	N/A
Historic preservation is utilized to maintain the city's identity.	N/A	N/A
City Centers and neighborhoods are preserved through quality development.	Consistent	
<u>Safe Streets and Trails (Pg. 95)</u>		
Interconnectivity is promoted between existing neighborhoods through the building out of street networks, including retrofits and interconnectivity of new developments.	Consistent	
Access is increased for all residents through the provision of facilities that promote safe walking, biking, transit, automobile, ride share, and bike share.	Consistent	
Design embraces the principles of walkable development.	Consistent	
<u>Reliable & Accessible Utility Services</u>		
Wastewater treatment (service and capacity) adequately serves existing and future development	Consistent	

A compact service area (infill, redevelopment) maximizes the utilization of existing infrastructure and feasible service delivery.	Consistent	
Satisfying Work Opportunities (pg. 96)		
The development promotes quality job options.	Consistent	
The lives of residents are enriched with opportunities to learn, build skills, and grow professionally.	Consistent	
Welcoming & Inclusive Community		
Accessibility exceeds minimum standards of ADA, fostering residents' and visitors' sense of belonging.	Consistent	
An inviting public realm (i.e., parks, public buildings) reflects the attitudes of city residents and leaders, and helps residents develop a sense of place and attachment to Hendersonville.	Consistent	
Accessible & Available Community Uses and Services (Pg. 97)		
Private development is plentiful, meeting the demands of current and future populations.	Consistent	
Resilient Community		
N/A		
GUIDING PRINCIPALS (pg. 98)		
Mix of Uses (Pg. 98)		
Revitalization of Outdated Commercial Areas	Consistent	
New business and office space promotes creative hubs.	Consistent	
Compact Development (Pg. 100)		
Development is consistent with efforts in the area to establish 15-minute neighborhoods.	Consistent	
The infill project is context sensitive [Small Infill Site].	Consistent	
Sense of Place (Pg. 102)		
The development contributes to Hendersonville's character and the creation of a sense of place through its architecture and landscape elements. [Placekeeping and Placemaking and 3rd Places]	Consistent	
Conserved & Integrated Open Spaces (Pg. 106)		
A diverse range of open space elements are incorporated into the development.	Consistent	
Desirable & Affordable Housing (Pg. 108)		
Missing middle housing concepts are used in the development.	Consistent	
Connectivity (Pg. 112)		
The development encourages multimodal design solutions to enhance mobility.	Consistent	
Efficient & Accessible Infrastructure (Pg. 114)		
The development utilizes existing infrastructure	Consistent	

Ordinance # ____ - ____

AN ORDINANCE OF THE CITY OF HENDERSONVILLE CITY COUNCIL TO AMEND THE OFFICIAL ZONING MAP OF THE CITY OF HENDERSONVILLE FOR CERTAIN PARCELS (POSSESSING PIN NUMBER 9579-57-4046) BY CHANGING THE ZONING DESIGNATION FROM C-3 CZD, HIGHWAY BUSINESS CONDITIONAL ZONING DISTRICT TO CHMU, COMMERCIAL HIGHWAY MIXED USE

IN RE: Parcel Numbers: 9579-57-4046
135 Sugarloaf Rd) | File # P24-43-RZO

WHEREAS, the Planning Board took up this application at its regular meeting on April 10th, 2025; voting to to recommend City Council **adopt** an ordinance amending the official zoning map of the City of Hendersonville, and

WHEREAS, City Council took up this application at its regular meeting on May 1st, 2025, and

WHEREAS, City Council has found that this zoning map amendment is consistent with the City’s comprehensive plan, and that it is reasonable and in the public interest for the reasons stated, and

WHEREAS, City Council has conducted a public hearing as required by the North Carolina General Statutes on May 1st, 2025,

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Hendersonville, North Carolina:

1. Pursuant to Article XI of the Zoning Ordinance of the City of Hendersonville, North Carolina, the Zoning Map is hereby amended by changing the zoning designation of the following: Parcel Numbers: 9579-57-4046, by changing the zoning designation from C-3 CZD, Highway Business Conditional Zoning District to CHMU, Commercial Highway Mixed Use
2. Any development of this parcel shall occur in accordance with the Zoning Ordinance of the City of Hendersonville, North Carolina.
3. This ordinance shall be in full force and effect from and after the date of its adoption.

Adopted this 1st day of May 2025.

Attest: Barbara G. Volk, Mayor, City of Hendersonville

Jill Murray, City Clerk

Approved as to form:

Angela S. Beeker, City Attorney

CITY OF HENDERSONVILLE
P24-43-RZO - PIN: 9579-57-4046 - 135 SUGARLOAF RD.
C-3 HIGHWAY BUSINESS - CZD CONDITIONAL ZONING DISTRICTS
TO
CHMU - COMMERCIAL HIGHWAY MIXED USE
PROPOSED ZONING

Section 5, Item C.

C-3

OLD CHIMNEY ROCK RD

C-3

C-3

C-3
CZD

PROPOSED ZONING:
135 SUGARLOAF RD
PIN: 9579-57-4046
C-3 CZD to CHMU
1.96 ACRES

SUGARLOAF ROAD

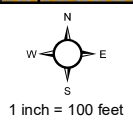
C-3

PCD
CZD

C-3
CZD





PCD

C-3



 Subject Property - PIN: 9579-57-4046

Hendersonville Zoning

-  C-3 Highway Business
-  C-3 Highway Business CZD Conditional Zoning Districts
-  PCD Planned Commercial Development
-  PCD Planned Commercial Development CZD Conditional Zoning Districts





CITY OF HENDERSONVILLE
COMMUNITY DEVELOPMENT DEPARTMENT
100 N. King Street, Hendersonville, NC 28792
Phone (828) 697-3010|Fax (828) 698-6185
www.hendersonvillenc.gov

Zoning Ordinance Map Amendment
Section 11-1 of the City Zoning Ordinance

The following are the **required** submittals for a complete application for a Zoning Map Amendment. Staff will not review applications until each item has been submitted and determined complete. By placing a check mark by each of the following items, you are certifying that you have performed that task.

- ☒ 1. Completed Application Form
- ☒ 2. Completed Signature Page (completed Owner’s Affidavit if different from applicant)
- ☒ 3. Application Fee

A. Property Information

Date: 1/9/25
PIN(s): 9579574046
Address(es) / Location of Property: 135 Sugarloaf Rd
C-3 CZD
Current Zoning:
Proposed Zoning: CHMU

B. Adjacent Parcel Numbers and Uses

PIN: 9579561836	Use: Self-Storage
PIN: 9579562593	Use: Hotel
PIN: 9579572348	Use: Hotel
PIN: 9579576148	Use: Cafe/Gift Shop/Wine Bar
PIN: 9579567956	Use: Hotel

Office Use:
Date Received: By: Fee Received? Y/N

C. Applicant Contact Information

Daniel Renckens

* Printed Applicant Name

WOC SE Storage, LLC

Printed Company Name (if applicable)

☐ Corporation ☒ Limited Liability Company ☐ Trust ☐ Partnership

☐ Other: _____

Daniel Renckens

Digitally signed by Daniel Renckens
DN: C=US, E=djrenckens@gmail.com, CN=Daniel Renckens
Date: 2024.06.26 08:16:47-04'00'

Applicant Signature

VP of Development

Applicant Title (if applicable)

919 Berryhill Rd #100

Address of Applicant

Charlotte, NC 28208

City, State, and Zip Code

704-654-7538

Telephone

drenckens@canvasscap.com

Email

* Signature of the property owner acknowledges that if the property is rezoned, the property involved in this request is bound to the use(s) authorized, the approved site plan and any conditions imposed, unless subsequently changed or amended as provided for in the Zoning Ordinance.

D. Property Owner Contact Information (If different from Applicant)

* Printed Property Owner Name

Printed Company Name (if applicable)

☐

Corporation

☐

Limited Liability Company

☐

Trust

☐

Partnership

☐

Other:

Daniel Renckens

Digitally signed by Daniel Renckens

DN: C=US, E=djrenckens@gmail.com, CN=Daniel Renckens

Date: 2024.06.26 12:51:49-04'00'

Property Owner Signature

Authorized signatory

Property Owner Title (if applicable)

Address of Property Owner

City, State, and Zip Code

Telephone

Email

Signature of the property owner acknowledges that if the property is rezoned, the property involved in this request is bound to the use(s) authorized, the approved site plan and any conditions imposed, unless subsequently changed or amended as provided for in the Zoning Ordinance.

D. Section 11-1 Standards

The advisability of amending the text of this Zoning Ordinance or the Official Zoning Map is a matter committed to the legislative discretion of the City Council and is not controlled by any one factor. In determining whether to adopt or disapprove the proposed amendment to the text of this Ordinance or the Official Zoning Map, the City Council shall consider the following factors among others:

- a) Comprehensive Plan Consistency** – Consistency with the Comprehensive Plan and amendments thereto.

The 2030 plan shows this parcel as Regional Activity Center so CHMU is consistent.

- b) Compatibility with surrounding uses** – Whether and the extent to which the proposed amendment is compatible with existing and proposed uses surrounding the subject property. (Also, see NCGS 160-601 (d) Down-Zoning)

The proposed commercial zoning is compatible with the surrounding commercial uses.

- c) Changed Conditions.** Whether and the extent to which there are changed conditions, trends or facts that require an amendment. (Also, see NCGS 160D-601 (d) Down-Zoning)

This request is to remove the CZD component of the zoning since the conditional plans shows no redevelopment of the subject property. Instead of reverting back to the November 2021 zoning of C-3, staff suggested pursuing a CHMU zoning which imposes additional architectural and dimensional requirements above the C-3 district.

- d) Public Interest.** Whether and the extent to which the proposed amendment would result in a logical and orderly development pattern that benefits the surrounding neighborhood, is in the public interest and promotes public health, safety and general welfare. (Also, see NCGS 160D-601 (d) Down-Zoning)

There is an abandoned 3-story office building on the property. By removing the CZD component of the zoning, this property would be able to be redeveloped per the standards set forth in the Zoning Ordinance.

- e) Public Facilities.** Whether and the extent to which adequate public facilities and services such as water supply, wastewater treatment, fire and police protection and transportation are available to support the proposed amendment. (Also, see NCGS 160D-601 (d) Down-Zoning)

Public water and sewer, and fire and police protection serve the subject property.

- f) Effect on Natural Environment.** Whether and the extent to which the proposed amendment would result in significantly adverse impacts on the natural environment including but not limited to water, air, noise, storm water management, streams, vegetation, wetlands and wildlife.

There are no known jurisdictional waters onsite and any redevelopment would meet the stormwater management requirements set forth in the City ordinances.