



# CITY OF HENDERSONVILLE CURRENT PLANNING COMMITTEE

City Hall | 2nd Floor Meeting Room | 160 6th Ave. E. | Hendersonville NC 28792  
Thursday, February 13, 2025 – 3:00 PM

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## AGENDA

1. **CALL TO ORDER**
2. **APPROVAL OF AGENDA**
3. **APPROVAL OF MINUTES**
4. **OLD BUSINESS**
5. **NEW BUSINESS**
  - A. Rezoning: Conditional Zoning District – 715 Greenville Highway Multi-Family (P24-39-CZD)  
– *Tyler Morrow*– *Current Planning Manager*
  - B. Rezoning: Conditional Zoning District – First Ave Villas (P24-86-CZD) – *Sam Hayes* – *Planner II*
6. **OTHER BUSINESS**
7. **ADJOURNMENT**

*The City of Hendersonville is committed to providing accessible facilities, programs and services for all people in compliance with the Americans with Disabilities Act (ADA). Should you need assistance or an accommodation for this meeting please contact the Community Development Department no later than 24 hours prior to the meeting at 828-697-3010.*



**CITY OF HENDERSONVILLE  
AGENDA ITEM SUMMARY  
PLANNING DIVISION**

**SUBMITTER:** Tyler Morrow **MEETING DATE:** February 13<sup>th</sup>, 2025  
**AGENDA SECTION:** New Business **DEPARTMENT:** Community Development  
**TITLE OF ITEM:** Rezoning: Conditional Zoning District – 715 Greenville Highway Multi-Family (P24-39-CZD) – *Tyler Morrow– Current Planning Manager*

**SUGGESTED MOTION(S):**

**For Recommending Approval:**

I move Planning Board recommend City Council **adopt** an ordinance amending the official zoning map of the City of Hendersonville changing the zoning designation of the subject property (PINs: 9568-83-4302, 9568-83-2474 and, 9568-83-2082) from PCD, Planned Commercial Development to UR-CZD, Urban Residential Conditional Zoning District, for the construction of 185 multi-family units based on the master site plan and list of conditions submitted by and agreed to by the applicant, [dated 11-4-24] and presented at this meeting and subject to the following:

**1. The development shall be consistent with the site plan, including the list of applicable conditions contained therein, and the following permitted uses**

Permitted Uses:

- 1. Residential Dwellings, Multi-Family

**[for amendments to uses or conditions discussed and agreed upon in the Council meeting (between City & Developer) and not yet represented on the site plan, please use the following language. Disregard #2 if not needed]**

**2. Permitted uses and applicable conditions presented on the site plan shall be amended to include:**

**3. The petition is found to be consistent with the City of Hendersonville Gen H 2045 Comprehensive Plan based on the information from the staff analysis and the public hearing, and because:**

The petition is consistent with the Future Land Use and Conservation Map Designations of Open Space-

**For Recommending Denial:**

I move Planning Board recommend City Council **deny** an ordinance amending the official zoning map of the City of Hendersonville changing the zoning designation of the subject (PINs: 9568-83-4302, 9568-83-2474 and, 9568-83-2082) from PCD, Planned Commercial Development to UR-CZD, Urban Residential Conditional Zoning District based on the following:

- 1. The petition is found to be consistent with the City of Hendersonville Gen H 2045 Comprehensive Plan based on the information from the staff analysis and the public hearing, and because:**

The petition is consistent with the Future Land Use and Conservation Map Designations of Open Space-Conservation (Regulated) and Open Space-Conservation (Natural) and is located in a Focused Intensity Node within Chapter 4 of the Gen H Comprehensive Plan.

- 2. We do not find this petition to be reasonable and in the public interest based on the information from the staff analysis, public hearing and because:**

- 1. The proposed development adds impervious surfaces to a subject property that is within the floodplain while only sparingly offsetting their impacts with a small amount of pervious materials (6 parking spaces).
- 2. The height and scale of the proposed development is incompatible with the surrounding area and character.



<p>Conservation (Regulated) and Open Space-Conservation (Natural) and is located in a Focused Intensity Node within Chapter 4 of the Gen H Comprehensive Plan.</p> <p><b>4. Furthermore, we find this petition to be reasonable and in the public interest based on the information from the staff analysis, public hearing and because:</b></p> <ol style="list-style-type: none"> <li>1. The petition proposes to provide additional housing to offset local rental demand.</li> <li>2. The petition proposes to provide housing on a long vacant, previously developed and underutilized piece of property near commercial corridors and is within walking distance to downtown and the Ecusta Trail.</li> <li>3. The site plan clusters development impacts outside of the floodway portions of the site.</li> </ol> <p style="text-align: center;"><b>[DISCUSS &amp; VOTE]</b></p>	<ol style="list-style-type: none"> <li>3. The proposed development is in an area that is prone to flooding and the development does not provide additional mitigation that would benefit future residents (i.e. first floor garages or first floor commercial uses.) First floor commercial is supported by the Gen H comprehensive plan.</li> </ol> <p style="text-align: center;"><b>[DISCUSS &amp; VOTE]</b></p>
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**SUMMARY:** *The City of Hendersonville is in receipt of an application for a Conditional Rezoning from Travis Fowler of First Victory Inc., applicant and Richard Herman of South Market LLC., property owner. The applicant is requesting to rezone the subject property, PINs 9568-83-4302, 9568-83-2474 and, 9568-83-2082 and located off Greenville Highway, from PCD, Planned Commercial Development to UR-CZD, Urban Residential Conditional Zoning District for the construction of 185 multi-family units on approximately 9.01 acres. This equates to a density of 20.5 units per acre.*

*The proposal includes the construction of 1 multi-family structure with a footprint of 58,367 square feet and a gross floor area of 231,037 square feet.*

*The applicant decided not to move forward to City Council after receiving a split 3-3 recommendation from the Planning Board. He mentioned his intention to conduct further engineering work before returning to the Planning Board for a second review and recommendation.*

<b>PROJECT/PETITIONER NUMBER:</b>	P24-39-CZD
<b>PETITIONER NAME:</b>	<ul style="list-style-type: none"> <li>• Travis Fowler, First Victory Inc. [Applicant]</li> <li>• Richard Herman (Manager) – South Market LLC [Owner]</li> </ul>
<b>ATTACHMENTS:</b>	<ol style="list-style-type: none"> <li>1. Staff Report</li> <li>2. Comprehensive Plan Review</li> <li>3. Neighborhood Compatibility Summary</li> </ol>

	<ol style="list-style-type: none"><li>4. Planning Board Meeting Summary (11-14-24)</li><li>5. Proposed Site Plan / Elevations</li><li>6. Proposed Zoning Map</li><li>7. Draft Ordinance</li><li>8. Application / Owner Signature Addendum</li></ol>
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REZONING: CONDITIONAL REZONING -715 GREENVILLE HIGHWAY MULTI-FAMILY(P24-39-CZD)  
CITY OF HENDERSONVILLE - COMMUNITY DEVELOPMENT STAFF REPORT

PROJECT SUMMARY ..... 2

EXISTING ZONING & LAND USE ..... 3

SITE IMAGES..... 4

FUTURE LAND USE ..... 8

REZONING HISTORY ..... 9

STAFF SITE PLAN REVIEW – SUMMARY COMMENTS ..... 10

HURRICANE HELENE FLOODING IMAGES ..... 16

NON-TROPICAL STORM OR HURRICANE RAIN EVENT IMAGES ..... 19

DEVELOPER PROPOSED CONDITIONS: ..... 22

OUTSTANDING ISSUES & CITY PROPOSED CONDITIONS: ..... 23

REZONING ANALYSIS – GENERAL REZONING STANDARDS (ARTICLE 11-4) ..... 25

DRAFT COMPREHENSIVE PLAN CONSISTENCY AND REZONING REASONABLENESS STATEMENT ..... 26



PROJECT SUMMARY

- Project Name & Case #:
  - 715 Greenville Highway Multi-Family
  - P24-39-CZD
  
- Applicant & Property Owner:
  - Travis Fowler, First Victory Inc. [Applicant]
  - Richard Herman (Manager) – South Market LLC [Owner]
  
- Property Address:
  - 715 Greenville Highway
  
- Project Acreage:
  - 9.01 Acres
  
- Parcel Identification (PIN):
  - 9568-83-4302
  - 9568-83-2474
  - 9568-83-2082
  
- Current Parcel Zoning:
  - PCD- Planned Commercial Development
  
- Future Land Use Designation:
  - Open Space-Conservation (Natural)
  - Open Space-Conservation (Regulated)
  - Mixed Use Commercial
  
- Requested Zoning:
  - UR-CZD-Urban Residential Conditional Zoning District.
  
- Requested Uses:
  - Residential, Multi-Family
  
- Neighborhood Compatibility Meeting:
  - July 19, 2024



SITE VICINITY MAP

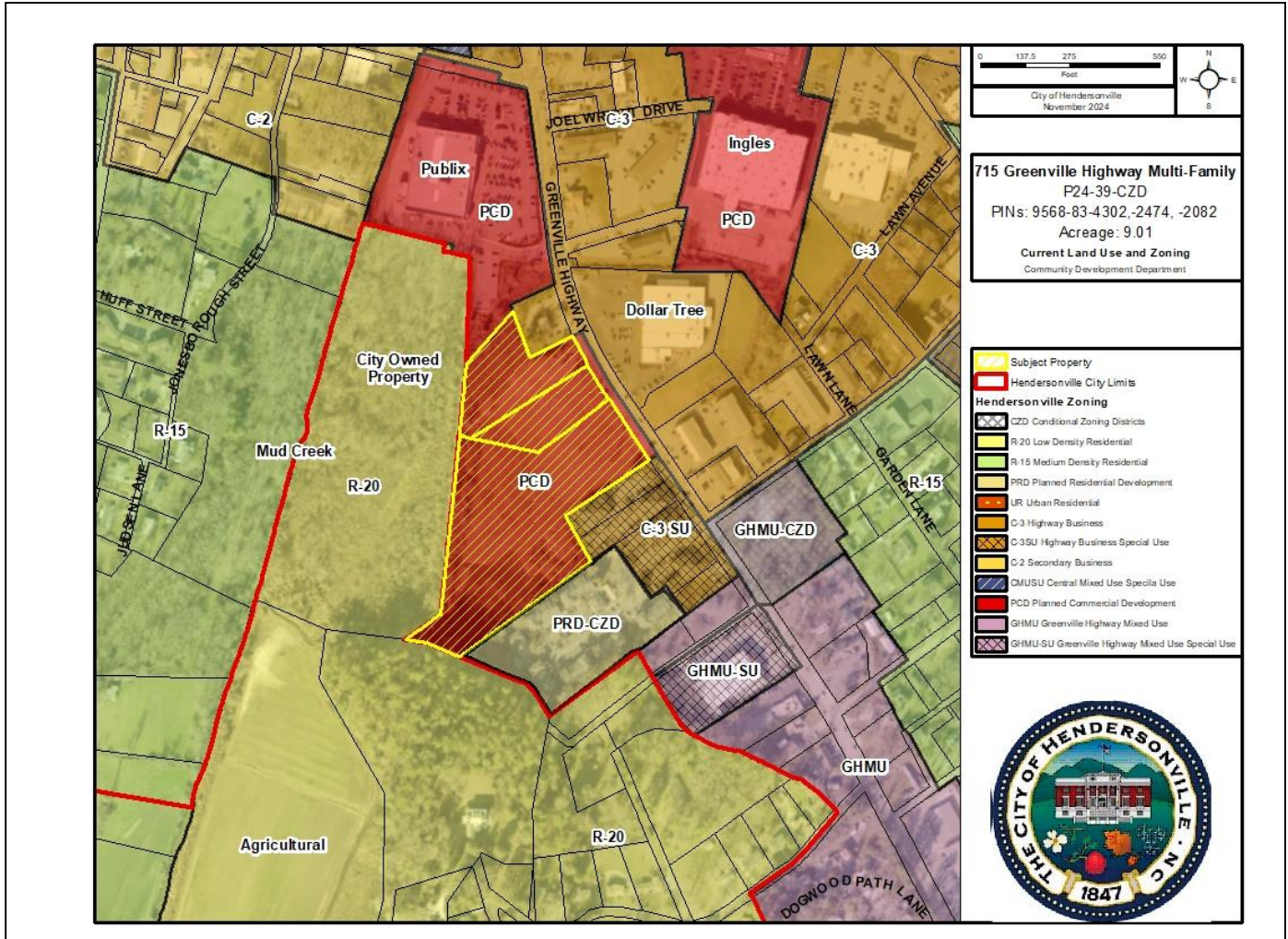
*The City of Hendersonville is in receipt of an application for a Conditional Rezoning from Travis Fowler of First Victory Inc., applicant and Richard Herman of South Market LLC., property owner. The applicant is requesting to rezone the subject property, PINs 9568-83-4302, 9568-83-2474 and, 9568-83-2082 and located off Greenville Highway, from PCD, Planned Commercial Development to UR-CZD, Urban Residential Conditional Zoning District for the construction of 185 multi-family units on approximately 9.01 acres. This equates to a density of 20.5 units per acre.*

*The proposal includes the construction of 1 multi-family structure with a footprint of 58,367 square feet and a gross floor area of 231,037 square feet.*

*The applicant decided not to move forward to City Council after receiving a split 3-3 recommendation from the Planning Board. He mentioned his intention to conduct further engineering work before returning to the Planning Board for a second review and recommendation.*



EXISTING ZONING & LAND USE



City of Hendersonville Current Zoning & Land Use Map

The three parcels that make up the subject property are currently zoned PCD (Planned Commercial Development) and is attached to an expired Special Use permit. The current zoning was granted by City Council in 2008 for the construction of an 89,200 square feet commercial development. This development was never constructed.

The Greenville Highway corridor consists of Planned Commercial Development and Highway Business zoning before transitioning to mixed used zoning at Chadwick Ave. The mixed-use zoning follows the Greenville Highway frontage corridor for the remainder of the City’s jurisdiction in that direction.

To the west and southwest of the property, you will find traditional single-family districts. These districts are comprised of single family residential, vacant land, farmland and property that has historically been used as flood storage.

The subject property abuts an existing multi-family development to the south. The Residences at Chadwick is a 68-unit apartment project on 3.85 acres under PRD zoning. (18 units per acre and 104 parking spaces).



SITE IMAGES



*Typical view of the subject property (10-25-24)*



*Typical view of the site looking southward towards Chadwick Square. (10-25-24)*



SITE IMAGES



*View of the pond that is under a Water Conservation Easement  
DB 1668 Pg 98, PB 2016 SL 10216  
Army Corp Permit- SAW-2014-00219 (January 2024)*



*View of wetland area on the western portion of the subject  
property. (January 2024)*



SITE IMAGES



*View of the blueline stream that runs along the western property boundary. (January 2024)*



*Typical view of property looking northeastern from the southwestern corner. (January 2024)*



SITE IMAGES



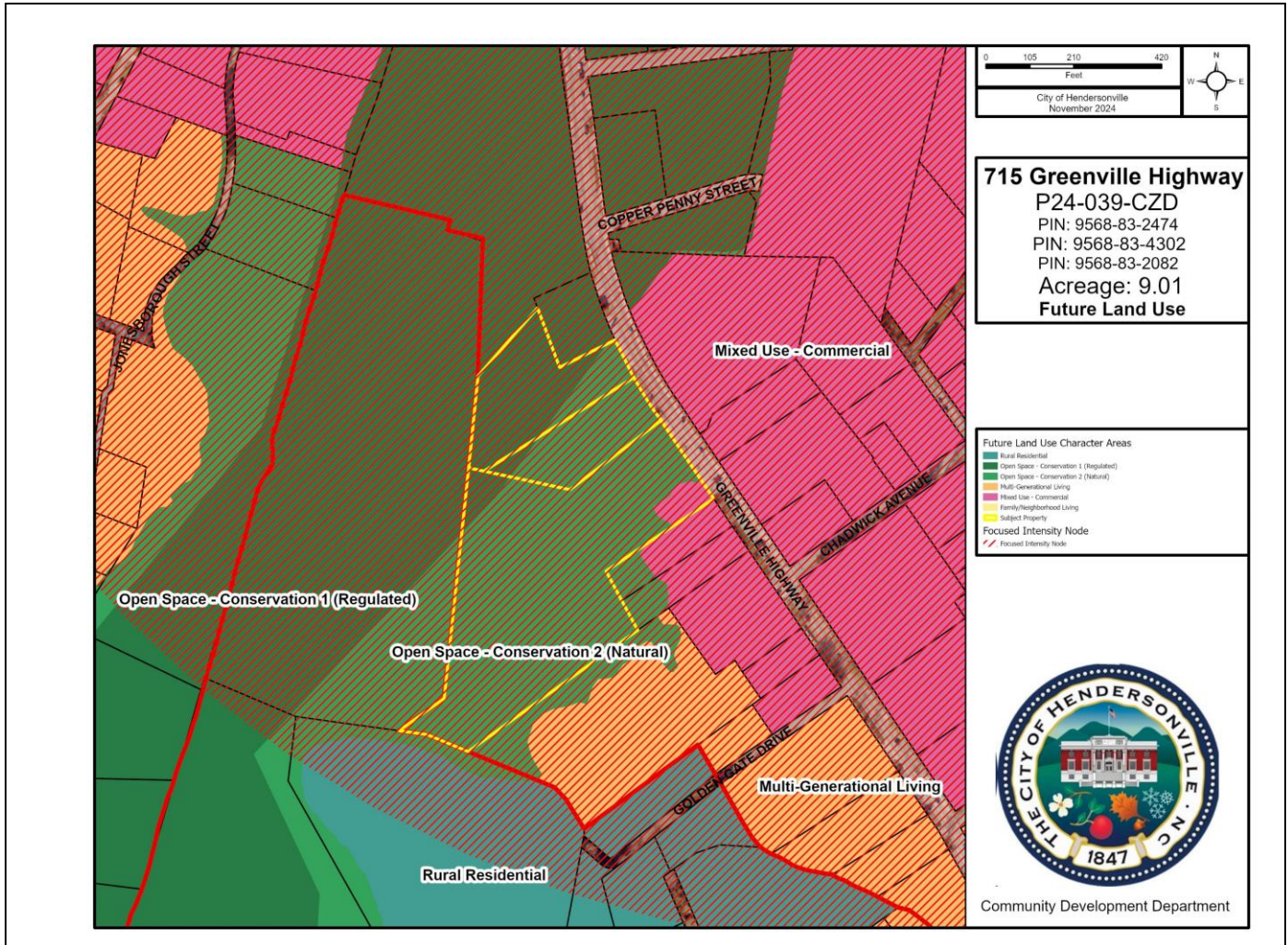
*View of southern property frontage looking westward. Area of proposed access #2. (January 2024)*



*View of existing power lines that are associated with the utility easement on the north side of the site. (January 2024)*



FUTURE LAND USE



City of Hendersonville Future Land Use Map

The subject property has split future land use designations. The floodway portions of the property are designated as Open Space-Conservation (Regulated), while the floodplain proportions are designated as Open Space-Conservation (Natural). The small portion of the property that is outside of the flood hazard area is designated as Mixed-Use Commercial. The subject property is within the focused intensity node that encompasses properties near the Spartanburg Highway and Greenville Highway intersection.

The surrounding area has many parcels designated as Open space due to the known floodplain and floodway impacts. Many of these parcels are long standing commercial uses. Very few of these parcels are vacant areas serving as functional floodplain or open space.

**REZONING HISTORY**

Prior Rezoning (P06-79-SUR)	Summary of Prior Petition	Status
6-5-2008 (R-20 & C-3 to PCD SU)	9.03 acre development for the construction of 6 buildings totaling approximately 89,200 square feet. 316 parking spaces provided.	Expired June 5 <sup>th</sup> 2013

Full Minutes from City Council Meeting:

<https://library.municode.com/nc/hendersonville/munidocs/munidocs?nodeId=2d9a769a4e52c>

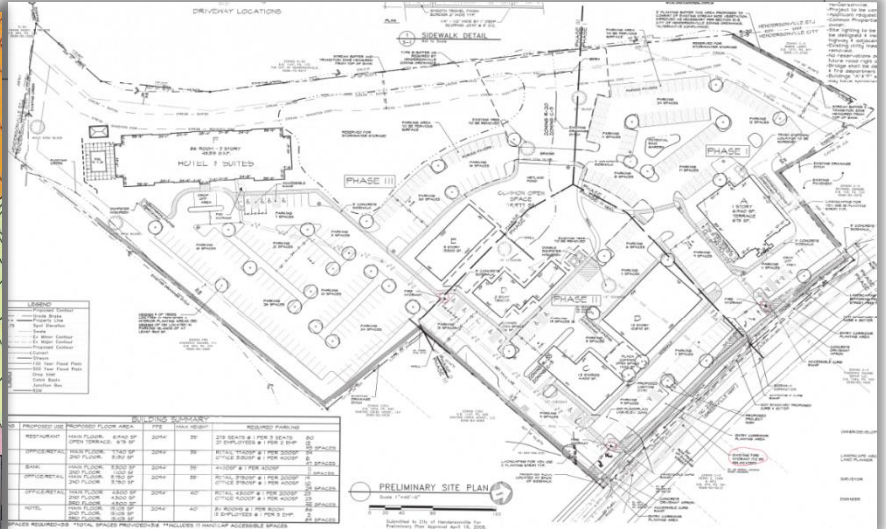
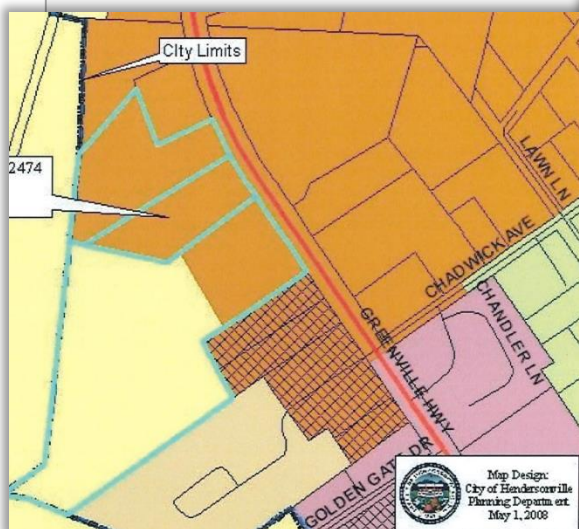
South Market Village

6 Buildings (Total Building Square Footage = 89,200 Sq Ft)

- Building A- Restaurant
  - Floor Area- Main Floor- 6,940 SF, Open terrace 675 SF.
  - 35' Max Height
- Building B- Office/Retail
  - Floor Area- Main Floor- 7,740 SF, 2<sup>nd</sup> floor 3,130 SF.
  - 35' Max Height
- Building C- Bank
  - Floor Area- Main Floor- 3,300 SF, 2<sup>nd</sup> floor 1,100 SF.
  - 35' Max Height
- Building D- Office/Retail
  - Floor Area- Main Floor- 3,750 SF, 2<sup>nd</sup> floor 3,750 SF.
  - 35' Max Height
- Building E- Office/Retail
  - Floor Area- Main Floor- 4,500 SF, 2<sup>nd</sup> floor 4,500 SF, 3<sup>rd</sup> floor 4,500 SF.
  - 40' Max Height
- Building F- Hotel
  - Floor Area- Main Floor- 15,105 SF, 2<sup>nd</sup> floor 15,105 SF, 3<sup>rd</sup> floor 15,105 SF.
  - 40' Max Height

Parking:

- Included surface parking with pervious parking in certain areas.
  - 315 spaces required.
  - 316 spaces proposed.





STAFF SITE PLAN REVIEW – SUMMARY COMMENTS**PROPOSED REQUEST DETAILS**

## Site Plan Summary:

- Proposed Uses:
  - Residential, Multi-Family
  
- Building:
  - 185 Units
  - Gross Floor area: 231,037 SF
  - Building footprint: 58,367 SF (14.8% of the site)
  - 4 stories (52' at the highest point, per the civil plans)
  - The building/site is required to meet all building and design requirements of Urban Residential developments, and this includes but is not limited to building materials, building offsets, building projections, building orientation, building scale, etc.
  
- Transportation:
  - The site will have two access points, both off of Greenville Highway (NC 225).
    - Access 1 (northern access) is shown as a full access stop control with 100 feet of stem length as per NCDOT guidelines. The plan also shows a dedicated left turn lane on the NC 225 northbound approach and a dedicated right decel lane on the NC 225 southbound approach.
    - Access 2 (southern access) is shown as a right-in/right-out access stop control and has a 50' stem length as per NCDOT. The plan also shows the installation of a dedicated right turn lane on the NC 225 southbound approach.
  - The developer is dedicating 40' of R/W from the center line of Greenville Highway to NCDOT to aid in any future improvements of the major thoroughfare. There appears to be no recorded R/W for this property along Greenville Highway.
  
- Sidewalks
  - A 7' wide public sidewalk will be provided along the entire property frontage of Greenville Highway. This sidewalk will tie into the existing sidewalk at Chadwick Square. All frontage sidewalks will be constructed within the right of way or easement area and will be publicly maintained by the City. All internal sidewalks will be privately maintained by the developer.
  
- Lighting
  - All site lighting will be required to conform to the City's lighting standards for multi-family developments as well as lighting for areas abutting stream buffers.

- Parking:
  - Parking required at 1 per each dwelling unit or 1.5 per each dwelling unit containing three or more bedrooms:
    - Parking required: 193 spaces.
    - Parking provided: 288 spaces (8 handicapped parking spaces)
  - The site plan shows 2 electronic charging stations for the development.
  
- Natural Resources
  - According to the 2008 floodplain maps, all portions of this property except for a +/- 1536 SF section at the southeastern corner are within flood hazard areas. The subject property has floodway, 100 year floodplain and 500 year floodplain all present on it.
  - The proposed development is shown completely outside of the floodway portions of the property, except for conceptual locations for at-grade walking trails with benches as shown on the plans. They are however proposing to build in the 100- and 500-year floodplain portions. If approved by the City Council, the development would be required to receive a floodplain development permit during final site plan review from the City's Floodplain Administrator.
  - Historic imagery from 2002 (below) shows the commercial uses that were once present on the site.





- Reviewing historic aerial imagery and available documents. It appears the site has had quite an extensive amount of grading throughout the years. It also appears that fill has been placed on the site as well. (photo below from 2010)



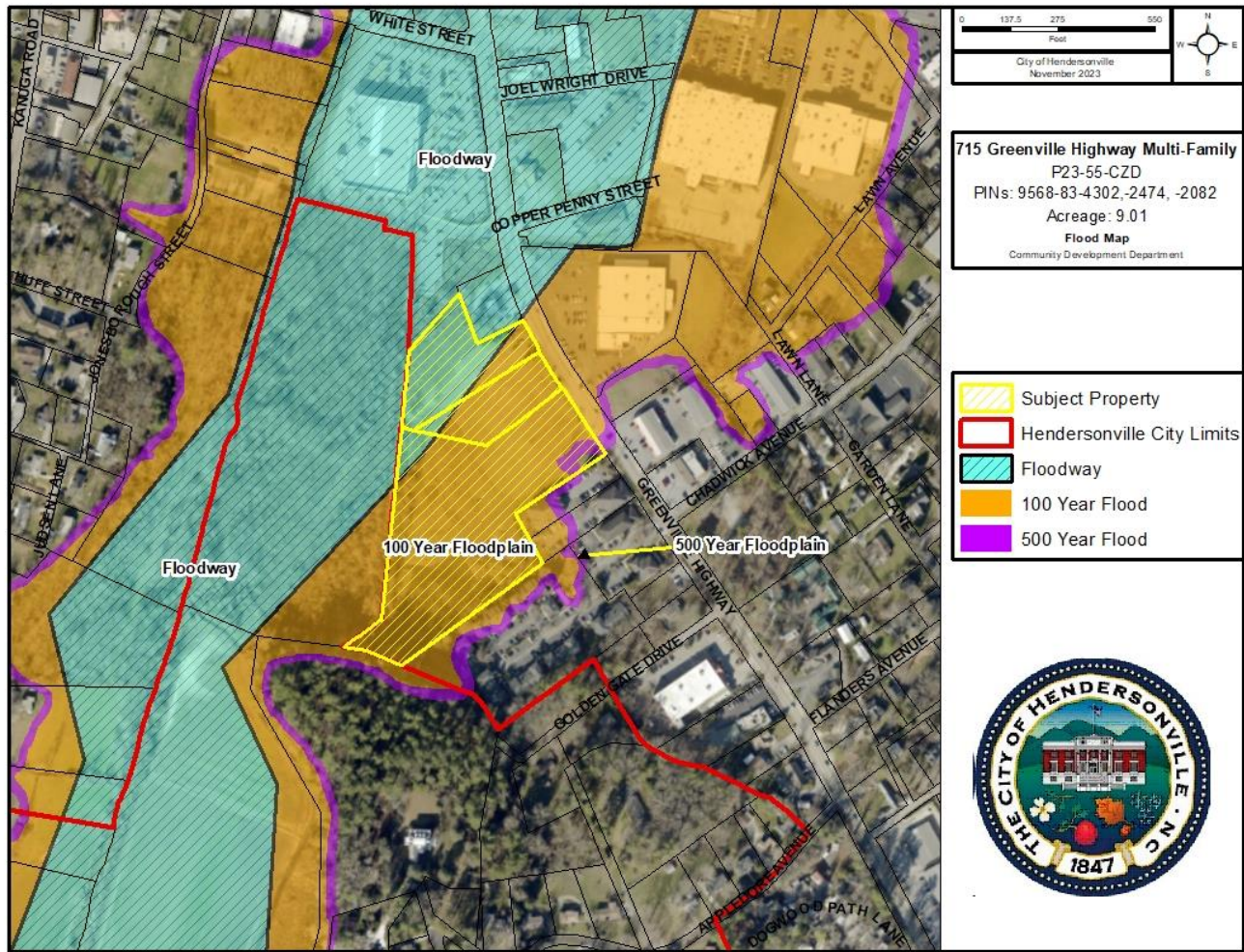
- Per Article 17, this project would be considered “redevelopment” in accordance with section “17-2-4 - Redevelopment in the floodway and special flood hazard area”. The ordinance states “The proposal is to redevelop an existing developed site as of the date of this ordinance evidenced by substantial coverage of the site by buildings, fill, gravel or paved drives or parking areas or other impervious surfaces.”
- Historically, some areas of the city's planning jurisdiction were developed despite the fact that they lie within the 100-year floodplain. In order to address concerns about urban blight, section 17-2-4 allows redevelopment to occur on existing developed sites which no longer function as natural flood plain and when such redevelopment will not result in any further loss of flood-plain functionality. Where feasible, redevelopment proposals should demonstrate an improvement in the site's functionality as a flood plain. In light of this intent, redevelopment of existing developed sites shall be permitted within the floodway and special flood hazard area only when the applicant has satisfactorily demonstrated that they meet the requirements of section 17-2-4.
- Any redevelopment that occurs in accordance with the zoning ordinance



must adhere to the requirements:

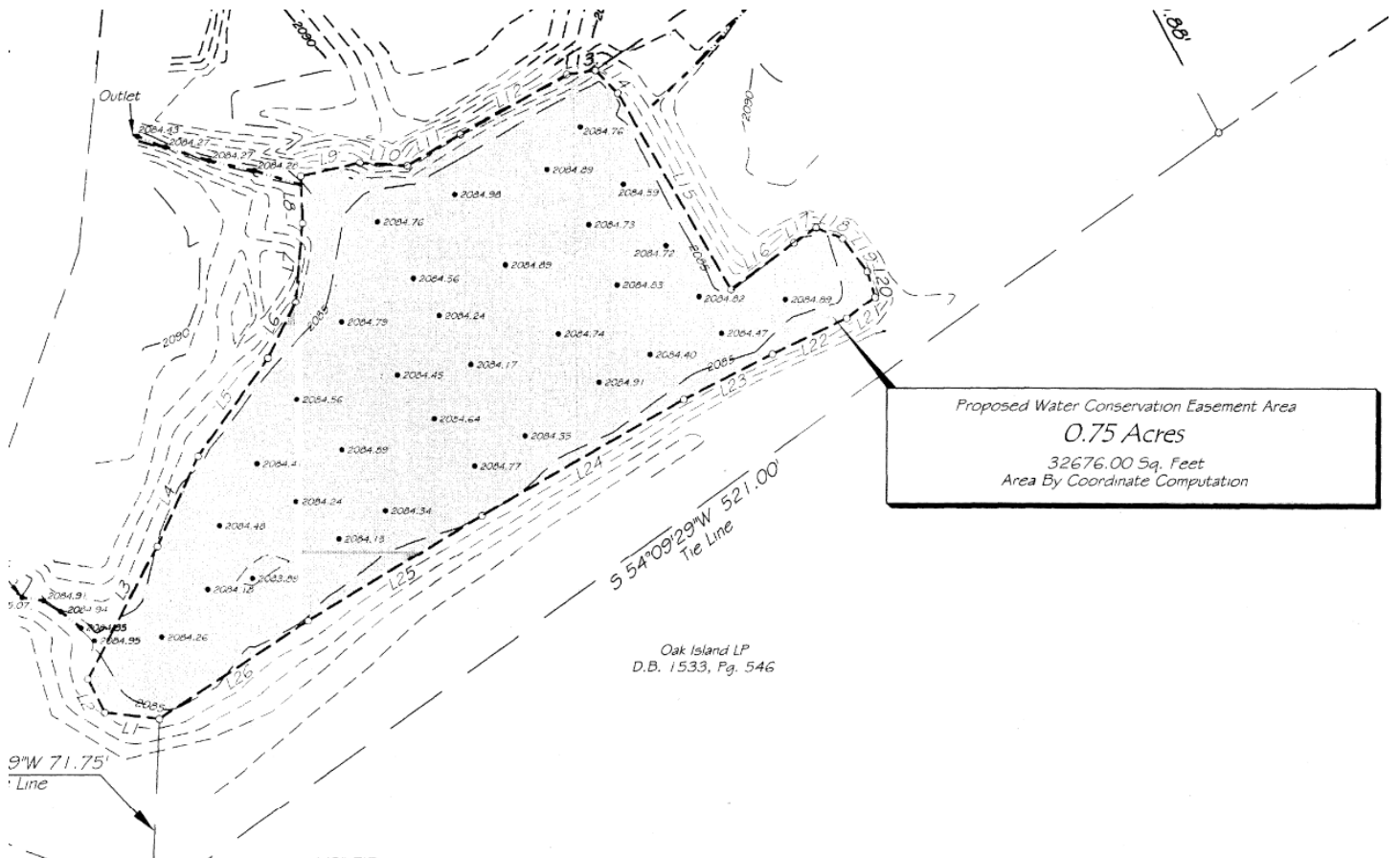
- “There shall be no loss of flood storage capacity on the site as a result of the redevelopment.
- The applicant, utilizing best management practices, shall reduce the post-redevelopment rate of stormwater runoff from the pre-redevelopment rate of runoff, if feasible. In any event, the post-redevelopment rate of runoff shall not be greater than the pre-redevelopment rate.
- The project design, including any best management practices (BMPs) will result in a project which is consistent with the purposes of the Natural Resources Protection Ordinance as stated in section 17-1, above. In this regard, the applicant shall demonstrate the following:
  - The project shall not degrade the quality of the water in creeks, streams, ponds and lakes that flow into and out of the city.
  - The project shall not contribute to future flooding problems.
  - The project preserves the water carrying capacity of watercourses and the natural water storage of the special flood hazard area.
  - The project protects land and watercourses from pollutants, sedimentation and erosion.
  - The project retains open spaces in order to protect their environmentally-sensitive character; and
  - The project protects and conserves significant natural resources from degradation due to urbanization.
- The applicant shall comply with all relevant provisions of the flood damage prevention ordinance including obtaining a no-rise certificate, if needed.”
- The City’s Floodplain Administrator has reviewed this project as a member of the City’s Development Review Committee and does not have any concerns that this project cannot meet the requirements listed above during the Floodplain Development Permit process at final site plan (if the project is approved).
- Due to the information provided above concerning the previous development of the land; this project **would not** be considered “greenfield” or new development of the land which would fall under “17-2-2 - Development allowed in the floodway and special flood hazard area”.
- The site plan states that 98.7% of the site is inside the 1% annual chance area (100-year floodplain) and floodway. It states that 73.5% of the 100 year floodplain is proposed to be filled.

- 17.8% of the project is within the floodway alone. 0% of the floodway is proposed to be filled.



- The property does have a blueline stream along the western property edge where a stream buffer is required. The proposed development shows the 30' stream buffer and 20' transitional zone on the site plan. One section of their plan does show 6 parking spaces that are proposed to be located in the 20' transitional zone. They are proposing that this parking utilize a pervious material which is allowed by the ordinance. This is the only proposed intrusion into the stream buffer or transitional area.
- The site also has delineated wetlands along their western property boundary.

- There is an existing pond on the site that is under a water conservation easement. The easement can be found in Deed Book 1668 Page 98 and on Plat Book 2016 Slide 10216. The deed was recorded on June 21<sup>st</sup>, 2016. The proposed development is not proposing to impact this easement area. The easement area is also associated with work that was done in accordance with Army Corp Permit SAW-2014-00219 from October 22<sup>nd</sup> 2014.



- Landscaping and Tree preservation
  - The site will be required to provide the following landscaping:
    - Vehicular use area plantings
    - Common and Open Space plantings
    - Street trees
  - They are proposing to save 48,464 square feet of tree canopy with this project. This equates to 78.5% of the existing tree canopy.



HURRICANE HELENE FLOODING IMAGES



*View of the subject property taken during Hurricane Helene  
(9-27-2024)*



*View of the subject property from the same area (post storm-10-25-2024)*

HURRICANE HELENE FLOODING IMAGES



*View of the gas station next to the subject property during Hurricane Helene  
(9-27-2024)*



*View of the subject property showing proximity to the gas station  
next door (10-25-2024)*



HURRICANE HELENE FLOODING IMAGES



*View of the plaza across the street from subject property during Hurricane Helene (9-27-2024)*



*View from the subject property showing proximity to the plaza across the street (10-25-2024)*

NON-TROPICAL STORM OR HURRICANE RAIN EVENT IMAGES



*View of the subject property from the Dollar General Plaza  
(1-9-2024)*



*View from the subject property at the approximate location for  
driveway access 1 (the full movement access) (1-9-2024)*



NON-TROPICAL STORM OR HURRICANE RAIN EVENT IMAGES



*View of Greenville Highway at the approximate location for access number 2. The developer proposed right in right out access.*

*(1-9-2024)*



*View of standing water on the subject property (1-9-2024)*



NON-TROPICAL STORM OR HURRICANE RAIN EVENT IMAGES



*View of Greenville Highway during the rain event before Helene  
(9-26-24)*



*View from the subject property showing the approximate location  
of access 1 (1-9-2024)*

DEVELOPER PROPOSED CONDITIONS:

- PARKING SPACES
  - The number of permitted parking spaces shall be 288 (approx. 1.56 spaces per unit), as shown on the Site Plan. See Sec. 6-5 (providing a minimum requirement of 1 to 1.5 spaces per unit); Sec. 5-25-5.16 (providing that the applicant must demonstrate that parking is “adequate,” while also providing that the number of parking spaces “should not exceed the minimum requirements” found in Sec. 6-5).
- TREE PLANTINGS
  - The number, size, and type of tree plantings required by Section 5-25-5.20 shall be planted. However, due to planting limitations within the floodway and conservation easement areas on the Project site, some of the 3” caliper trees required by Section 5-25-5.20 shall be planted in areas that also qualify for Vehicular Use Area plantings, as shown on the Landscape Plan.
- BUILDING FACADE
  - Façade offsets along the East Elevation may exceed the 16 ft. offset requirement provided in Section 5-25-12(b) as shown on the Site Plan and Elevations. No wall shall exceed 26 feet in length without an offset. Offsets may be provided either in exterior walls or at balconies.
- BUS SHELTER
  - A bus shelter (Sec. 5-25-5.13) shall not be required due to the proximity of an existing bus shelter on a neighboring property (Henderson County PIN #9568-82-7951) to the south of the Project site.
- LOADING ZONES
  - In lieu of the required 12'x40' loading zone, the developer proposes to provide three parking spaces that are designated as loading zones. See Sec. 6-6.
- FLOODWAY PLANTINGS / MAINTENANCE
  - To the extent practicable within the limitations of the Floodplain Development Permit required by the attached site plan and grading plan, Developer shall implement a vegetative planting and management plan that will create and enhance the existing wetland and wildlife habitat of the open space areas outside the footprint of the developed area, stream buffer(s) and the Wetland Conservation Area. The plan should include diverse and appropriate species of native upland and/or wetland shrubs, appropriate trees and perennial herbaceous plants (including warm season grasses, sedges, and plants important to pollinators), and all planted species shall be selected from the City's Recommended Landscape Species List for Street Trees and Land Development Projects. No turf grasses may be used.

The plan shall be developed by a qualified landscape architect (with wildlife habitat management expertise) and shall incorporate an appropriate long-term invasive species management and control plan.

OUTSTANDING ISSUES & CITY PROPOSED CONDITIONS:

**COMMUNITY DEVELOPMENT**

**Site Plan Comments:**

- The site plan accompanying this petition meets the standards established by the Zoning Ordinance for Urban Residential (5-25) (minus any developer proposed conditions).
  - Comments that will be reviewed/addressed during final site plan review process and do not need to be addressed during the preliminary site plan review process:
    - Landscaping:
      - Final determination on planting credits, species, locations, final quantity of required vs. proposed new plantings. The current plans show “areas to be screened, fenced, walled and/or landscaped” which is what is required at the preliminary site plan stage.
      - All final landscaping comments will be addressed as part of the final site plan approval between City staff and the project designer in accordance with the City’s ordinances.

**Proposed City-Initiated Conditions:**

- None

DEVELOPMENT REVIEW COMMITTEE COMMENTS:

The Development Review Committee consists of the following Departments/Divisions and Agencies: Engineering, Water/Sewer, Fire Marshal, Stormwater Administration, Floodplain Administration, Public Works, NCDOT, Henderson County Soil & Erosion Control and the City’s Traffic Consultant. While all pertinent members of the DRC reviewed this project, staff have provided only the relevant/outstanding comments / conditions below:

**PUBLIC WORKS**

**Site Plan Comments:**

- “Consider adding electric vehicle charging stations in parking lot for residents.”
  - The developer agreed to include this in their development and shows them on their site plan.

**Proposed City-Initiated Conditions:**

- None

**TRANSPORTATION CONSULTANT (KIMLEY HORN)**

**TIA Comments:**

- The expected Trip Generation for the proposed development is as follows:
  - 836 Daily Trips
  - 70 AM Peak Hour Trips
  - 72 PM Peak Hour Trips

**TIA Proposed Mitigation:**

- **Intersection 1: NC 225 (Greenville Highway) at US 176 (Spartanburg Highway)**
  - **Mercer Design Group** recommends no changes to this intersection.
- **Intersection 2: NC 225 at White Street / Walgreen's**
  - **Mercer Design Group** recommends no changes to this intersection.
- **Intersection 3: NC 225 at Chadwick Avenue / Chadwick Square Court**
  - **Mercer Design Group** recommends no changes to this intersection.
- **Intersection 4: US 176 at Chadwick Avenue**
  - **Mercer Design Group** recommends no changes to this intersection.
- **Intersection 5: NC 225 at Access #1**
  - **Mercer Design Group** recommends that Access #1 be constructed with a dedicated right turn lane on the southbound NC 225 (Greenville Highway) approach with 25 feet of full storage and appropriate tapers per NCDOT coordination. MDG recommends that the northbound NC 225 (Greenville Highway) approach be constructed with a dedicated left turn lane with 100 feet of full storage and appropriate tapers. The eastbound Access #1 approach should be constructed as shown on the approved final site plan with at least 50 feet of internal protected stem length per the direction of NCDOT.
- **Intersection 6: NC 225 at Access #2**
  - **Mercer Design Group** recommends that Access #2 be constructed with a dedicated right turn lane on the southbound NC 225 (Greenville Highway) approach with 100 feet of full storage and appropriate tapers. MDG recommends that the eastbound NC 225 (Greenville Highway) approach be constructed with right out only control. The eastbound Access #2 approach should be constructed as shown on the approved final site plan with at least 50 feet of internal protected stem length per the direction of NCDOT.
- Per the developer's traffic engineer "Based on the available information and the analyses contained in this report, it is the opinion of Mercer Design Group that there is no indication that the development of 715 Greenville Highway will have an undue adverse impact on the surrounding infrastructure if the development is constructed as shown in the site plans."

**Proposed Condition:**

- Developer shall install all recommended traffic mitigations found in the approved Traffic Impact Analysis, in accordance with City and NCDOT requirements prior to final certificate of occupancy.



REZONING ANALYSIS – GENERAL REZONING STANDARDS (ARTICLE 11-4)

GENERAL REZONING STANDARDS	
1) Comprehensive Plan Consistency	<p><b>Land Supply, Suitability &amp; Intensity</b>                      The subject property is not listed on the land suitability or supply maps due to the large amount of floodway and floodplain that make up the property.                      The subject property is in a Focused Intensity Node centered at the intersection of Greenville Hwy &amp; Spartanburg Hwy.</p>
	<p><b>Future Land Use &amp; Conservation Map-</b> See Gen H appendix.</p> <p><b>Designation:</b> Open Space-Conservation (Natural)  <b>Character Area Description:</b> Somewhat Consistent  <b>Zoning Crosswalk:</b> Consistent</p> <p><b>Designation:</b> Open Space-Conservation (Regulated)  <b>Character Area Description:</b> Consistent  <b>Zoning Crosswalk:</b> Consistent</p> <p><b>Designation:</b> Mixed Use Commercial  <b>Character Area Description:</b> Inconsistent  <b>Zoning Crosswalk:</b> Inconsistent</p>
	<p><b>Whether and the extent to which the proposed amendment is compatible with existing and proposed uses surrounding the subject property –</b></p> <p>The subject property is currently a vacant and previously developed site. The proposed development site is located in a commercial corridor near the US and State route intersection of Spartanburg Highway (US 176) and Greenville Highway (NC225). In the vicinity of the proposed development are the apartment complexes of Residences at Chadwick (68 units), The Lofts at Chadwick (60 units, entitled but not built) and Southgate apartments (70 units, entitled but not built).</p>
3) Changed Conditions	<p><b>Whether and the extent to which there are changed conditions, trends or facts that require an amendment -</b></p>
	<p>The subject property is currently tied to an expired Special Use Permit. A rezoning would be required for any development to occur on the site.</p>
4) Public Interest	<p><b>Whether and the extent to which the proposed amendment would result in a logical and orderly development pattern that benefits the surrounding neighborhood, is in the public interest and promotes public health, safety and general welfare -</b></p>

	<p>Based on the 2021 Bowen Housing Needs Assessment for Western North Carolina, Henderson County has an estimated rental housing gap of 1,650 to 2,008 Units for incomes between &lt;50%-120% AMI. This represents one of the largest gaps in the WNC region. Over the last 3 years, the City of Hendersonville has approved <u>1,901</u> rental units. If this project is approved, Hendersonville’s recently-approved rental units would total <u>2,086</u>. It should also be noted that the Housing Needs Assessment Study does not account for the housing gap for incomes above 120% AMI. An additional gap, beyond that reflected in the “1,650 to 2,008-unit gap”, exist for those income levels greater than 120% AMI.</p>
<p>5) Public Facilities</p>	<p><b>Whether and the extent to which adequate public facilities and services such as water supply, wastewater treatment, fire and police protection and transportation are available to support the proposed amendment</b></p> <p>The site will be served by City water and sewer service. Greenville Highway (NC 225) is designated as a Major Thoroughfare (needing improvement) in the Comprehensive Transportation Plan and is maintained by NCDOT. The subject property is already serviced by the City Fire and Police departments. The proposed development is located within 800’ of STIP project U-5886 (the realignment and roadway extension between Willow Road SR1171 and Spartanburg Highway US176). The proposed project is showing the dedication of 40’ of R/W measured from the centerline of Greenville Highway for their entire frontage.</p>
<p>6) Effect on Natural Environment</p>	<p><b>Whether and the extent to which the proposed amendment would result in significantly adverse impacts on the natural environment including but not limited to water, air, noise, storm water management, streams, vegetation, wetlands and wildlife -</b></p> <p>According to the 2008 floodplain maps, all portions of this property except for a +-1536 SF section at the southeastern corner are within the floodplain. The subject property has floodway, 100 year floodplain and 500 year floodplain present on it. There is a blueline stream that runs along the property’s boundary that triggers the City’s stream buffer protection measures. The site has an existing water conservation easement area that was established in 2016. The plans show saving 48,464 square feet of tree canopy with this project. This equates to 78.5% of the existing tree canopy. The property was previously developed and appears to have been largely graded and filled in places. The proposed plans show that 73.5 % of the 100 year floodplain is proposed to be filled. The floodplain and blueline stream are the most prevalent natural features present on this site. The site flooded during Hurricane Helene and the portion of Greenville Highway in front of the subject property is known to flood during larger rain events.</p>



DRAFT COMPREHENSIVE PLAN CONSISTENCY AND REZONING REASONABLENESS STATEMENT

The petition is found to be **consistent** with the City of Hendersonville Gen H 2045 Comprehensive Plan based on the information from the staff analysis and the public hearing, and because:

*The petition is consistent with the Future Land Use and Conservation Map Designations of Open Space-Conservation (Regulated) and Open Space-Conservation (Natural) and is located in a focused intensity node within chapter 4 of the Gen H Comprehensive Plan.*

We **[find/do not find]** this petition to be reasonable and in the public interest based on the information from the staff analysis and the public hearing, and because:

*DRAFT [Rationale for Approval]*

- *The petition proposes to provide additional housing to offset local rental demand.*
- *The petition proposes to provide housing on a long vacant, previously developed and underutilized piece of property near commercial corridors and is within walking distance to downtown and the Ecusta Trail.*
- *The site plan clusters development impacts out of the floodway portions of the site.*

*DRAFT [Rational for Denial]*

- *The proposed development adds impervious surfaces to a subject property that is entirely within the floodplain while only sparingly offsetting their impacts with a small amount of pervious materials (6 parking spaces).*
- *The height and scale of the proposed development is incompatible with the surrounding area and character.*
- *The proposed development is in an area that is prone to flooding and the development does not provide additional mitigation that would benefit future residents (i.e. first floor garages or first floor commercial uses.) First floor commercial is supported by the Gen H comprehensive plan.*

715 Greenville Highway Multi-Family (P24-39-CZD)

Chapter 4 - The Vision for the Future	Consistent	Inconsistent	Staff Notes
<b>SUPPLY, SUITABILITY, &amp; INTENSITY</b>			
LAND SUPPLY MAP (Pg. 81, Figure 4.4)		Inconsistent	Not listed in the land supply map due to floodplain and floodway on the property.
LAND SUITABILITY MAP (Pg. 84-86, Figure 4.5-4.7)		Inconsistent	Not listed in the land suitability map due to floodplain and floodway on the property.
DEVELOPMENT INTENSITY MAP (Pg. 89, Figure 4.9)	Consistent		
<b>FUTURE LAND USE &amp; CONSERVATION MAP</b>			
Future Land Use and Conservation Map (Note classification here, Pg. 117, Figure 4.12)	Open Space-Conservation (Natural)		
Character Area Description (Pg. 122-131)	Somewhat Consistent		<p>..."Though some development can be supported in these areas, including redevelopment when floodplain function is maintained or improved and new development with limited impacts which improve use of site,..."</p> <p>The project would have to meet the zoning requirements for Article 17-2-4 - Redevelopment in the floodway and special flood hazard area</p>
Zoning Crosswalk (Pg. 132-133, Figure 4.18)	Consistent		
<b>FUTURE LAND USE &amp; CONSERVATION MAP</b>			
Future Land Use and Conservation Map (Note classification here, Pg. 117, Figure 4.12)	Open Space-Conservation (Regulated)		
Character Area Description (Pg. 122-131)	Consistent		No development is occurring in the floodway
Zoning Crosswalk (Pg. 132-133, Figure 4.18)	Consistent		
<b>FUTURE LAND USE &amp; CONSERVATION MAP</b>			
Future Land Use and Conservation Map (Note classification here, Pg. 117, Figure 4.12)	Mixed Use Commercial		
Character Area Description (Pg. 122-131)		Inconsistent	No mix of uses are proposed.
Zoning Crosswalk (Pg. 132-133, Figure 4.18)		Inconsistent	

715 Greenville Highway Multi-Family (P24-39-CZD)

Chapter 4 - The Vision for the Future	Consistent	Inconsistent	Staff Notes
<b>GOALS</b>			
<b>Vibrant Neighborhoods (Pg. 93)</b>			
Promote lively neighborhoods that increase local safety.	Consistent		
Enable well-maintained homes, streets, and public spaces.	Consistent		
Promote diversity of ages (stage of life), income levels, and a range of interests.	Consistent		
The design allows people to connect to nearby destinations, amenities, and services.	Consistent		
<b>Abundant Housing Choices (Pg. 93)</b>			
Housing provided meets the need of current and future residents.	Consistent		
Range of housing types provided to help maintain affordability in Hendersonville.		Inconsistent	No information has been provided to staff that any units would be considered affordable (80% or lower AMI).
Housing condition/quality exceeds minimum standards citywide	Consistent		
<b>Healthy and Accessible Natural Environment (Pg. 94)</b>			
Recreational (active and passive) open spaces are incorporated into the development.	Consistent		
Water quality is improved with the conservation of natural areas that serve as filters and soil stabilizers.	Somewhat Consistent		
Natural system capacity (floodplains for stormwater; habitats to support flora/fauna; tree canopy for air quality, stormwater management, and microclimate) is maintained.	Consistent		
Development is compact (infill/redevelopment) to minimize the ecological footprint.	Somewhat Consistent		The scale of the development appears to extend beyond the areas of the floodplain that previously had structures instead of staying in the same previously built on area.
New development respects working landscapes (e.g., orchards, managed forests), minimizing encroachment.	N/A	N/A	
<b>Authentic Community Character (Pg. 94)</b>			
Downtown remains the heart of the community and the focal point of civic activity	N/A		
A development near a gateway sets the tone, presenting the image/brand of the community.	Consistent		
Historic preservation is utilized to maintain the city's identity.	N/A		
City Centers and neighborhoods are preserved through quality development.	Consistent		
<b>Safe Streets and Trails (Pg. 95)</b>			
Interconnectivity is promoted between existing neighborhoods through the building out of street networks, including retrofits and interconnectivity of new developments.		Inconsistent	No interconnectivity or cross access easements are provided between this development and the Chadwick Square Development.
Access is increased for all residents through the provision of facilities that promote safe walking, biking, transit, automobile, ride share, and bike share.	Consistent		
Design embraces the principles of walkable development.	Consistent		



<b>Reliable &amp; Accessible Utility Services</b>			
Wastewater treatment (service and capacity) adequately serves existing and future development	Consistent		
A compact service area (infill, redevelopment) maximizes the utilization of existing infrastructure and feasible service delivery.	Consistent		
<b>Satisfying Work Opportunities (pg. 96)</b>			
The development promotes quality job options.	N/A		
The lives of residents are enriched with opportunities to learn, build skills, and grow professionally.	N/A		
<b>Welcoming &amp; Inclusive Community</b>			
Accessibility exceeds minimum standards of ADA, fostering residents' and visitors' sense of belonging.	N/A		
An inviting public realm (i.e., parks, public buildings) reflects the attitudes of city residents and leaders, and helps residents develop a sense of place and attachment to Hendersonville.	N/A		
<b>Accessible &amp; Available Community Uses and Services (Pg. 97)</b>			
Private development is plentiful, meeting the demands of current and future populations.	N/A	N/A	
<b>Resilient Community</b>			
N/A			
<b>GUIDING PRINCIPALS (pg. 98)</b>			
Mix of Uses (Pg. 98)			
Revitalization of Outdated Commercial Areas	N/A		
New business and office space promotes creative hubs.	N/A		
Compact Development (Pg. 100)			
Development is consistent with efforts in the area to establish 15-minute neighborhoods.	Consistent		
The infill project is context sensitive [Large Infill Site].	Consistent		
Sense of Place (Pg. 102)			
The development contributes to Hendersonville's character and the creation of a sense of place through its architecture and landscape elements. [Place keeping and Placemaking and 3rd Places]	Somewhat Consistent		
Conserved & Integrated Open Spaces (Pg. 106)			
A diverse range of open space elements are incorporated into the development.	Consistent		
Desirable & Affordable Housing (Pg. 108)			
Missing middle housing concepts are used in the development.		Inconsistent	"Having more missing middle housing in Hendersonville would provide more diverse housing options for both renters and owners and help to foster socioeconomic diversity in the community. It would be a welcome change compared to the largescale, standalone garden apartment complexes that have been built in Hendersonville over the last decade"
Connectivity (Pg. 112)			
The development encourages multimodal design solutions to enhance mobility.	Consistent		

Efficient & Accessible Infrastructure (Pg. 114)		
The development utilizes existing infrastructure	Consistent	



NEIGHBORHOOD COMPATIBILITY MEETING REPORT  
715 GREENVILLE HIGHWAY MULTI-FAMILY (P24-39-CZD)  
NCM Meeting Dates: July 19, 2024

PETITION REQUEST: Rezoning: Urban Residential - Conditional Zoning District (UR-CZD)  
APPLICANT/PETITIONER: Travis Fowler, First Victory Inc. [Applicant] & Richard Herman of South Market LLC. [Owner]

NEIGHBORHOOD COMPATIBILITY MEETING SUMMARY:

*A Neighborhood Compatibility Meeting was held for this project on July 19<sup>th</sup>, 2024 at 2pm in the Assembly Room of the City Operations Building, 305 Williams Street and via Zoom. The meeting lasted approximately 1 hour and 3 minutes.*

There were 9 members of the public in attendance in-person while 2 attended virtually. The applicant and their development team were present as were 2 members of City staff.

Staff gave the formal introduction and a brief overview of the request.

There were 7 pre-submitted which were read by staff.

The development team was allowed to present their project proposal for the proposed apartment development.

Concerns and questions from the public related to:

- Consideration of impacts from increased traffic.
- Flooding impacts.
- School bus traffic.
- Adding impervious surfaces in the floodplain.
- No other 4 story buildings in the area.
- Stormwater concerns.
- Animal habitat loss.
- Stream buffers and their protection.
- Density
- The size of the building footprint.
- Accident data on the nearby roads.
- Affordability.

*Full minutes from the Neighborhood Compatibility Meeting and pre-submitted public comments are available for review by request.*





PLANNING BOARD RECOMMENDATION

715 GREENVILLE HIGHWAY MULTI-FAMILY (P24-39-CZD)

MEETING DATE: NOVEMBER 14<sup>TH</sup>, 2024

PETITION REQUEST: Rezoning: Urban Residential - Conditional Zoning District (UR-CZD)

APPLICANT/PETITIONER: Travis Fowler, First Victory Inc. [Applicant] & Richard Herman of South Market LLC. [Owner]

PLANNING BOARD ACTION SUMMARY:

The Planning Board voted 3-3 to recommend **approval** of this petition and adopted the following motion:

PLANNING BOARD MOTION:

Mr. Hanley moved the Planning Board recommend City Council adopt an ordinance amending the official zoning map of the City of Hendersonville changing the zoning designation of the subject property (PINs: 9568-83-4302, 9568-83-2474 and, 9568-83-2082) from PCD, Planned Commercial Development to UR-CZD, Urban Residential Conditional Zoning District, for the construction of 185 multi-family units based on the master site plan and list of conditions submitted by and agreed to by the applicant, [dated 11-4-24] and presented at this meeting and subject to the following:

1. The development shall be consistent with the site plan, including the list of applicable conditions contained therein, and the following permitted uses.
  - a. Permitted Uses:
    - i. 1. Residential Dwellings, Multi-Family
2. The petition is found to be consistent with the City of Hendersonville Gen H 2045 Comprehensive Plan based on the information from the staff analysis and the public hearing, and because: The petition is consistent with the Future Land Use and Conservation Map Designations of Open Space-Conservation (Regulated) and Open Space-Conservation (Natural) and is located in a focused intensity node within chapter 4 of the Gen H Comprehensive Plan.
3. We find this petition to be reasonable and in the public interest based on the information from the staff analysis and the public hearing, and because:
  - a. The petition proposes to provide additional housing to offset local rental demand.
  - b. The petition proposes to provide housing on a long vacant, previously developed and underutilized piece of property near commercial corridors and is within walking distance to downtown and the Ecusta Trail.
  - c. The site plan clusters development impacts out of the floodway portions of the site.

## OVERVIEW OF BOARD DISCUSSION FROM MEETING MINUTES:

The Planning Board convened on this project for **56 minutes**.

Ms. Gilgis stated the developer had said he was going to build up the land, how high are you going to go?

John Kinard, project engineer stated they will be at least three feet above the Base Flood Elevation and on average the site is getting raised up four or five feet more than what it is now. Chair stated it has already been elevated in the past. Mr. Kinard stated correct. Chair stated you are going four or five feet higher than that. Mr. Kinard stated yes. Ms. Gilgis stated water still has to go somewhere even when you elevate your property, water is going to have to go somewhere.

Ms. Gilgis stated Walgreens built up, Publix built up, Fresh Market built up and there is obviously a flooding problem in that area. Are you going to make it better or are you going to make it worse? Mr. Kinard stated he does not think their site will impact the flood elevations at all. They are just going up above the flood waters. There is a mitigation project behind them to help with that flooding situation and they are providing access to the site and helping them in any way they can with that mitigation project. Ms. Gilgis asked if they would have any kind of retention ponds. Mr. Kinard stated yes, they will have underground storm tech retention chambers. It does several things, one is water quality so it treats the first one inch of runoff, solids, oils that kind of thing in accordance with state regulations. In addition to that they are retaining the two and ten year storm, which is a Hendersonville requirement.

Ms. Peacock stated the site was previously paved and now there is some dirt over it and they are only going up but since the asphalt that is probably underneath that dirt is not permeable, are you budgeted to remove the old asphalt? Mr. Fowler stated there is no asphalt under there. Mr. Kinard stated it sounds like it has been removed already. When they did the filling they removed it. Mr. Fowler stated they have done analysis on the property and there is not asphalt, it has all been removed.

Ms. Peacock asked if it would be feasible to add more pervious parking, could you make most of the parking pervious? Mr. Fowler stated they can talk about it and see what they can work out. He feels it is not really financially feasible though. They are trying to keep a high quality product at a lower price. He would rather try to retain the water with a storm tech system than have pervious paving.

Mr. Hanley asked if Publix is higher than they will be when they are done. Mr. Fowler stated they will be higher than Publix.

Ms. Peacock asked in what ways do you think this development will improve the drainage in that area. Mr. Fowler stated this is a previously developed site, it is not a pristine open field, it is not a beautiful canopy, it use to be a parking lot so the soils that are out there now are not organic soils and the water that falls out of the sky is not falling on organic ground and it absorbs that water not at a normal rate. It doesn't perk at a normal rate. The water that leaves the site now is not treated. It falls on the ground, it runs through the dirt of a previously developed site that is not perfect soil and it goes straight into Mud Creek behind them. So what they are going to do is they will catch all of that water and they will retain the first inch and treat it. It will clean up the water that will leave the site. They will not make the flood not happen. Mother nature will have her way. They will not make the flood not happen. Ms. Peacock stated the water from other areas flows through their site. Mr. Fowler stated they are raising their site up so the water that is in the road will stay in the road. The water over at Chadwick will not come onto their site. If it falls on their site they will treat it and release it, which is not happening right now.



**OVERVIEW OF BOARD DISCUSSION FROM MINUTES:**

The Board had a discussion on the project. Chair found this irresponsible in a sense. You have people that went to bed that night not living in a floodplain and now they are gone. We are going to put 450 people in a floodplain. It is irresponsible. Right now the timing of this is very insensitive. Mr. Hanley stated once they raise the dirt up it will be outside of the floodplain. Chair stated the water has to go somewhere. The reason this piece of property is green on the 2045 Comp Plan is because it needs to be a cornfield. If a cornfield floods you buy off on your insurance, nobody dies. Chair stated they can make a motion but he finds this irresponsible and insensitive. Ms. Waters stated her concern is access and how they will be able to get to a hospital. Mr. Hanley stated he drives this area everyday and the access they are putting up on Greenville Highway, you will be able to get in and out of. Chair stated that does not change his mind

**PUBLIC COMMENTS:**

**Ken Fitch, 1046 Patton Street** stated the flood images and photos may prove more eloquent as the star witness than any other comments that have been made. He was concerned with the history of the flooding in this area is it logical to place this development in this location. It would seem to defy common sense to do this. He talked about the issues of access to the area as a huge concern during flooding. He was concerned about the impact on first floor uses. Access to local amenities won't happen when it floods. He talked about these being condos or rentals, that was something people would want to know. He understands wanting to utilize the property but mother nature still has a claim here.

**Lynne Williams, Chadwick Avenue (zoom)** stated the photo submitted during Helene was actually taken by her family because this is actually very real for them. They cannot get to the hospital because they are on Chadwick Avenue and it is an island. They have to take swift water boats to get there, This is why this conversation is completely absurd. Publix was supposed to make the flooding better, how did that go? Notice how Publix was not flooded at all but how about the surrounding areas, how did they look? The water went all the way from South Rock Grill to chest height at the front of Fresh Market, do you understand that? This project was going to go before the Planning Board earlier this year but it was pulled because the whole property was flooded in January. The pictures and the comments that were submitted then are still relevant even though she does not believe they have been submitted here. The entrances and exits were under water. And during Hurricane Helene they were under water for over a day. It did not just dissipate in a few hours. She has been warning both the Planning Board and the Council that Chadwick and South Main would become an island and that is exactly what happened. Our public safety was completely at risk. The only way to the hospital was by swift boat from Grove Street. This will be built in the floodplain. There is no affordable housing and there are no other buildings like this towering nearby. She was very concerned about the height of the buildings and raising the site plus having a three to four story building on the site. She stated 73.5% to be built in the floodplain. She is not sure why we are even having this conversation. This is absolutely shocking. If Southgate had been built it would have been completely flooded, The public interest is that we are not interested. We find this to be a slap in the face. We ask you to reject this. This has everything to do with public safety. This is not the perfect location.

**BOARD ACTION:**

**Motion:**

- Peter Hanley

**Second:**

- Tamara Peacock (Vice Chair)

**Yeas:**

- Tamara Peacock (Vice Chair), Peter Hanley, Laura Flores,

**Nays:**

- Jim Robertson (Chair), Donna Waters, Kyle Gilgis

**Absent:** Bob Johnson, Chauncy Whiting

**Recused:** None



# 715 GREENVILLE HWY APARTMENTS

APARTMENTS

CITY OF HENDERSONVILLE

## NOTES

### SITE NOTES:

- PROJECT ADDRESS: 715 GREENVILLE HWY, HENDERSONVILLE NC 28792
- TOTAL ACREAGE: 9.01 AC
- ZONING: PCD
- PROJECT PIN NUMBER(S): 9568832082, 9568834302, 9568832474
- EXISTING TOPO INFO SHOWN WAS PROVIDED BY: JOHN COLE
- EXISTING BOUNDARY INFO PROVIDED BY: JOHN COLE
- FEMA FLOOD PANEL: 3700956800J
- RECEIVING STREAM: JOHNSON DRAINAGE DITCH
- SOIL TYPE(S): SOIL TYPES
- DEED BOOK / PAGE: DEED BK / PG
- LATITUDE / LONGITUDE: 35.3034 / -82.4580
- DISTURBED ACREAGE: 6.0 AC
- EROSION CONTROL REVIEW: HENDERSON COUNTY
- STORMWATER MANAGEMENT REVIEW: CITY OF HENDERSONVILLE

### GENERAL NOTES:

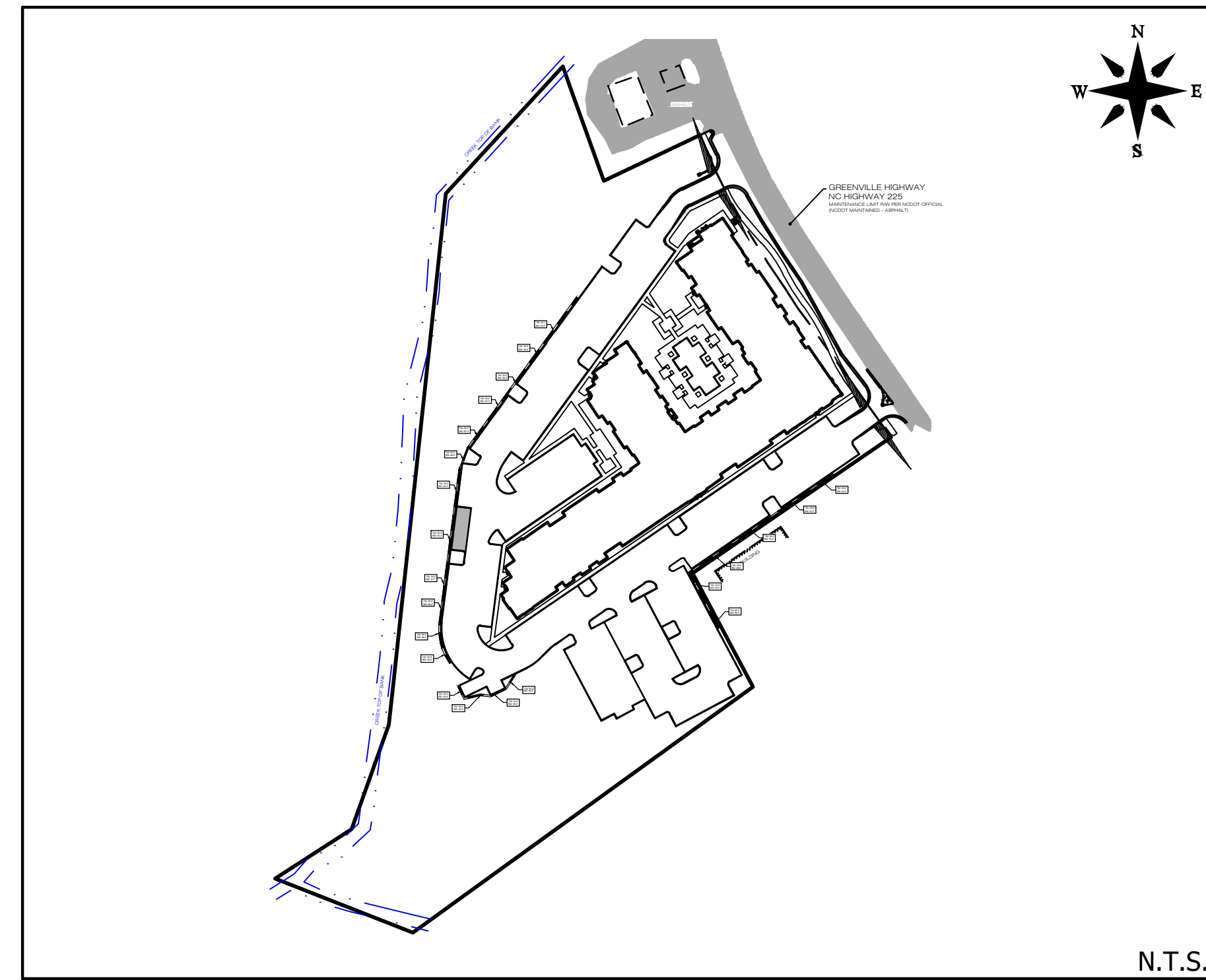
- CONTRACTOR(S) SHALL BE RESPONSIBLE FOR ADEQUATE SUPERVISION TO PREVENT DAMAGE AND/OR MOVEMENT OF ANY SURVEY-LOCATED CONSTRUCTION STAKES. CONSTRUCTION STAKING SHALL REMAIN IN PLACE AND BE PROTECTED UNTIL THE OWNER APPROVES THEIR REMOVAL. ANY STAKES THAT HAVE BEEN DISPLACED AS A RESULT OF CONSTRUCTION ACTIVITY ARE TO BE REPLACED BY A LICENSED SURVEYOR ENGAGED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- THE ENGINEER WILL NOT BE CONTINUOUSLY PRESENT IN THE FIELD TO SUPERVISE CONSTRUCTION. IT IS SPECIFICALLY UNDERSTOOD THAT THE ENGINEERING FIRM DOES NOT UNDERTAKE NOR ASSUME ANY OBLIGATION FOR SUPERVISION OF CONSTRUCTION MEANS AND METHODS AND/OR SAFETY MEASURES TAKEN DURING THE COURSE OF CONSTRUCTION.
- THE ENGINEERING FIRM IS NOT RESPONSIBLE FOR ENSURING COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS AND/OR ALL APPLICABLE REGULATORY RULES. THE ENGINEERING FIRM MAY BE CONTRACTED TO OBSERVE CONSTRUCTION AND ADVISE WITH REGARD TO ADHERENCE TO THE CONSTRUCTION DOCUMENTS AND REGULATORY COMPLIANCE, BUT NO RESPONSIBILITY WITH REGARD TO THE CONTRACTOR'S PERFORMANCE IS PROVIDED OR IMPLIED.
- CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW IMPROVEMENTS ON THE SUBJECT SITE AND ADJACENT PROPERTIES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ALL DAMAGES WHICH OCCUR DURING CONSTRUCTION.
- LOCATION OF ALL EXISTING UTILITIES, AS SHOWN HEREON, ARE PROVIDED BY THE PROJECT SURVEYOR. THE LOCATION AND ANY INCLUSION OR OMISSION OF UNDERGROUND OR OVERHEAD UTILITIES IS THE SOLE RESPONSIBILITY OF THE PROJECT SURVEYOR AND NO WARRANTY IS PROVIDED OR IMPLIED BY THE LOCATION REFLECTED IN THE PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE TYPE, SIZE AND LOCATION OF ALL UTILITIES AND OTHER FEATURES WHICH MAY AFFECT CONSTRUCTION. CONTRACTOR SHALL NOTIFY DESIGNER PRIOR TO CONSTRUCTION IF EXISTING CONDITIONS DIFFER FROM THOSE INDICATED IN THE PLANS. NO STREAM OR WETLAND DISTURBANCE SHALL OCCUR WITHOUT THE APPLICABLE PERMITTING FROM THE ARMY CORPS OF ENGINEERS AND STATE AND LOCAL AGENCIES.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, ANY LAND DISTURBING ACTIVITIES. EROSION CONTROL IS A REQUIREMENT REGARDLESS OF PERMIT REQUIREMENTS AND MEASURES SHOWN OR NOT SHOWN IN THESE PLANS.
- ANY EXCESS CUT/SPoil MATERIAL DEVELOPED IN THE CONSTRUCTION OF THIS SITE SHALL BE DISPOSED OF AT AN APPROPRIATELY PERMITTED SPOIL SITE. CONTRACTOR TO PROVIDE PROOF OF PERMITS PRIOR TO PLACEMENT AT AN OFF-SITE LOCATION.
- ANY ALTERATION TO THE PLANS MUST BE APPROVED BY THE PROJECT ENGINEER AND/OR APPROPRIATE REGULATORY AGENCY PRIOR TO THE COMMENCEMENT OF WORK.

### INSPECTION SCHEDULE:

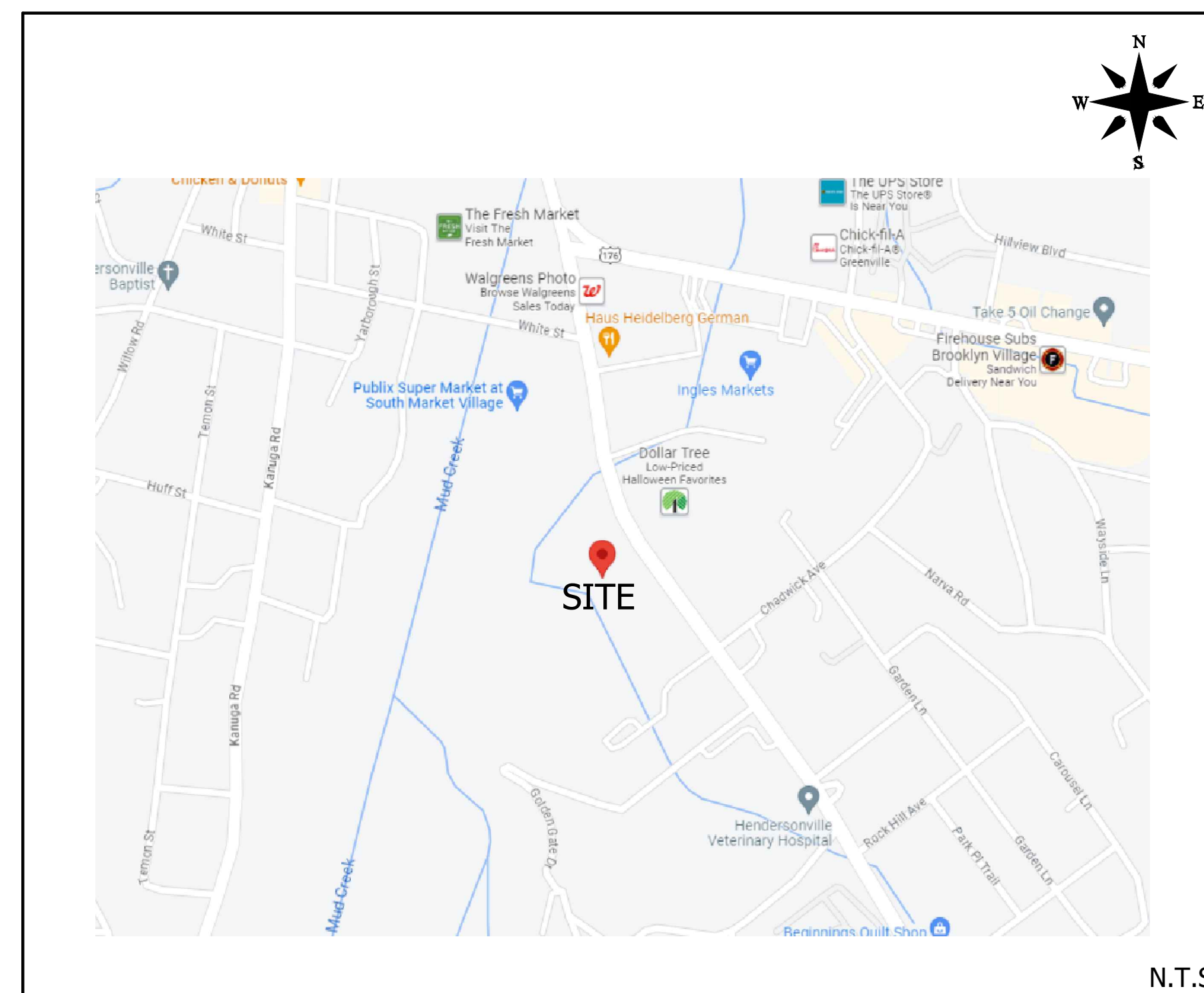
- NO CONSTRUCTION SHALL COMMENCE PRIOR TO A PRECONSTRUCTION MEETING WITH THE OWNER, THE CONTRACTOR, THE ENGINEER, AND A REPRESENTATIVE OF THE APPROVING JURISDICTION.
- ALL SHOP DRAWINGS SHALL BE SUBMITTED AT OR PRIOR TO THE PRECONSTRUCTION MEETING.
- ENGINEER TO BE CALLED FOR PERIODIC INSPECTIONS.
- CALL ENGINEERING PRIOR TO COVERING UNDERGROUND STRUCTURES FOR FINAL INSPECTIONS.
- REFER TO MANUFACTURER'S SPECIFICATION MANUAL AND STATE AND LOCAL STANDARDS FOR ADDITIONAL REQUIREMENTS AND STANDARDS.



## PROJECT MAP



## VICINITY MAP



## CONTACTS

<b>DEVELOPER:</b> FIRST VICTORY, INC	<b>CONTACT INFO:</b> TRAVIS FOWLER travis@firstvictory.com 828-808-6433 542 S CALDWELL ST BREVARD, NC 28712
<b>OWNER:</b> SOUTH MARKET, LLC	<b>CONTACT INFO:</b> RICHARD HERMAN --- 828-577-4201 2809 HAMPTON DRIVE HENDERSONVILLE NC 28792
<b>ENGINEER:</b> BROOKS ENGINEERING ASSOCIATES, PA	<b>CONTACT INFO:</b> JOHN KINNAIRD JKINNAIRD@BROOKSEA.COM (828) 232-4700 15 ARLINGTON STREET ASHEVILLE, NC 28801
<b>SURVEYOR:</b> COLE SURVEY & DESIGN	<b>CONTACT INFO:</b> JOHN COLE N/A 549 ELK PARK DRIVE, SUITE 707 ASHEVILLE NC 28804
<b>LANDSCAPE ARCHITECT:</b> FIND THE LINE STUDIOS	<b>CONTACT INFO:</b> ROB DULL ROB@FINDTHELINESTUDIOS.COM 305 POLE CREAMS ROAD ASHEVILLE NC 28806

## SHEET INDEX

NO.:	TITLE:
C-0	COVER SHEET
C-1.0	MASTER PLAN
C-1.1	WIDENING PLAN
C-2.0	EXISTING CONDITIONS / SURVEY
C-5.0	OVERALL STORMWATER PLAN
C-7.0	UTILITY PLAN
L-200	OVERALL SITE PLAN
L-201	PRELIMINARY SITE PLAN
L-202	PRELIMINARY SITE PLAN
L-203	PRELIMINARY SITE PLAN
L-300	OVERALL LANDSCAPE PLANS
L-301	PRELIMINARY LANDSCAPE PLAN
L-302	PRELIMINARY LANDSCAPE PLAN
L-303	PRELIMINARY LANDSCAPE PLAN
L-304	PRELIMINARY LANDSCAPE PLAN
L-400	TREE CANOPY PLAN
ES-11	PHOTOMETRIC SITE PLAN
ES-12	SITE LIGHT FIXTURE SPECIFICATIONS
A1.01	OVERALL FLOOR PLAN - LEVEL 1
A2.01	ELEVATIONS - E FACADE & NE CORNER
A2.02	ELEVATIONS - S FACADE
ES-11	PHOTOMETRIC SITE PLAN
ES-12	SITE LIGHTING FIXTURE SPECIFICATIONS

**DEVELOPER PROPOSED CONDITIONS**

**1. PARKING SPACES**  
The number of permitted parking spaces shall be 288 (approx. 1.56 spaces per unit), as shown on the Site Plan. See Sec. 6-5 (providing a minimum requirement of 1 to 1.5 spaces per unit); Sec. 5-25-5.16 (providing that the applicant must demonstrate that parking is "adequate," while also providing that the number of parking spaces "should not exceed the minimum requirements" found in Sec. 6-5).

**2. TREE PLANTINGS**  
The number, size, and type of tree plantings required by Section 5-25-5.20 shall be planted. However, due to planting limitations within the floodway and conservation easement areas on the Project site, some of the 2" caliper trees required by Section 5-25-5.20 shall be planted in areas that also qualify for Vehicular Use Area plantings, as shown on the Landscape Plan.

**3. BUILDING FACADE**  
Facade offsets along the East Elevation may exceed the 16 ft. offset requirement provided in Section 5-25-12(b) as shown on the Site Plan and Elevations. No wall shall exceed 26 feet in length without an offset. Offsets may be provided either in exterior walls or at balconies.

**4. BUS SHELTER**  
A bus shelter (Sec. 5-25-5.13) shall not be required due to the proximity of an existing bus shelter on a neighboring property (Henderson County PIN #5568-82-7951) to the south of the Project site.

**5. LOADING ZONES**  
In lieu of the required 12'x40' loading zone, the developer proposes to provide three parking spaces that are designated as loading zones. See Sec. 6-6.

**6. FLOODWAY PLANTINGS / MAINTENANCE**  
To the extent practicable within the limitations of the Floodplain Development Permit required by the attached site plan and grading plan, Developer shall implement a vegetative planting and management plan that will create and enhance the existing wetland and wildlife habitat of the open space areas outside the footprint of the developed area, stream buffer(s) and the Wetland Conservation Area. The plan should include diverse and appropriate species of native upland and/or wetland shrubs, appropriate trees and perennial herbaceous plants (including warm season grasses, sedges, and plants important to pollinators), and all planted species shall be selected from the City's Recommended Landscape Species List for Street Trees and Land Development Projects. No turf grasses may be used. The plan shall be developed by a qualified landscape architect (with wildlife habitat management expertise), and shall incorporate an appropriate long-term invasive species management and control plan.

**CITY PROPOSED CONDITIONS**

1. Developer shall install all recommended traffic mitigations found in the approved Traffic Impact Analysis, in accordance with City and NCDOT requirements prior to final certificate of occupancy.

Project No: <b>597223</b>	C-0	Drawing Title: <b>COVER SHEET</b>	715 GREENVILLE HWY APARTMENTS CITY OF HENDERSONVILLE	CDG ENGINEERS AND ASSOCIATES, INC NORTH CAROLINA	PRELIMINARY - NOT FOR CONSTRUCTION	Revisions/Submissions	Date	
						1	PLANNING AND ZONING SUBMITTAL	8/01/2024
						2	PLANNING BOARD SUBMITTAL	11/04/2024



MASTER PLAN LEGEND

- EXIST. BOUNDARY
EXIST. ADJOINER
EXIST. STREAM
EXIST. STREAM BUFFER
EXIST. WETLAND
EXIST. FEMA NON-ENCROACHMENT
EXIST. FEMA FLOOD HAZARD AREA (1%)
EXIST. FEMA FLOOD HAZARD AREA (0.2%)
EXIST. RIGHT OF WAY
EXIST. BUILDING SETBACK
EXIST. BUILDING
EXISTING SIDEWALK
EXISTING PAVEMENT
EXIST. CURB
NEW PROPERTY LINES
NEW RIGHT OF WAY
NEW EASEMENT
BUILDING SETBACK LINE
NEW LANDSCAPE BUFFER
NEW COMMON OPEN SPACE
NEW BUILDING
NEW PAVEMENT
NEW HD PAVEMENT
NEW CONCRETE SIDEWALK
NEW GRAVEL
NEW CURB & GUTTER
NEW WALL (BY OTHERS)

IMPERVIOUS AREA SUMMARY:
Proposed Impervious Area: 184,401sf
Proposed Impervious Percent: 47.0%

DEVELOPER PROPOSED CONDITIONS

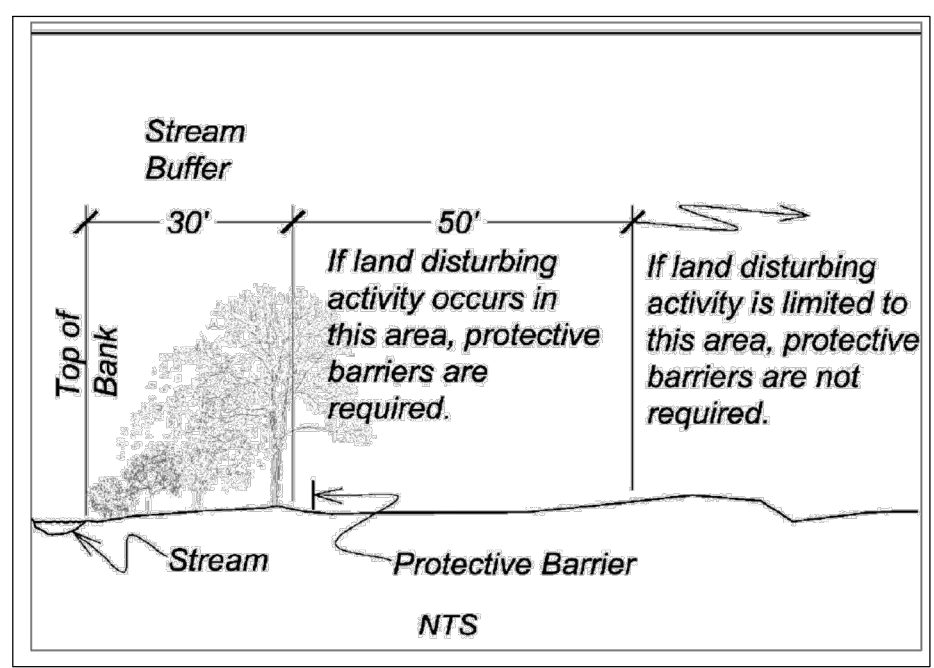
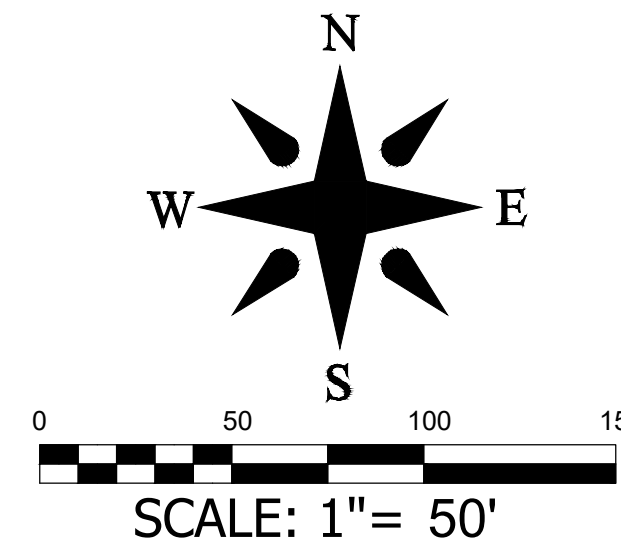
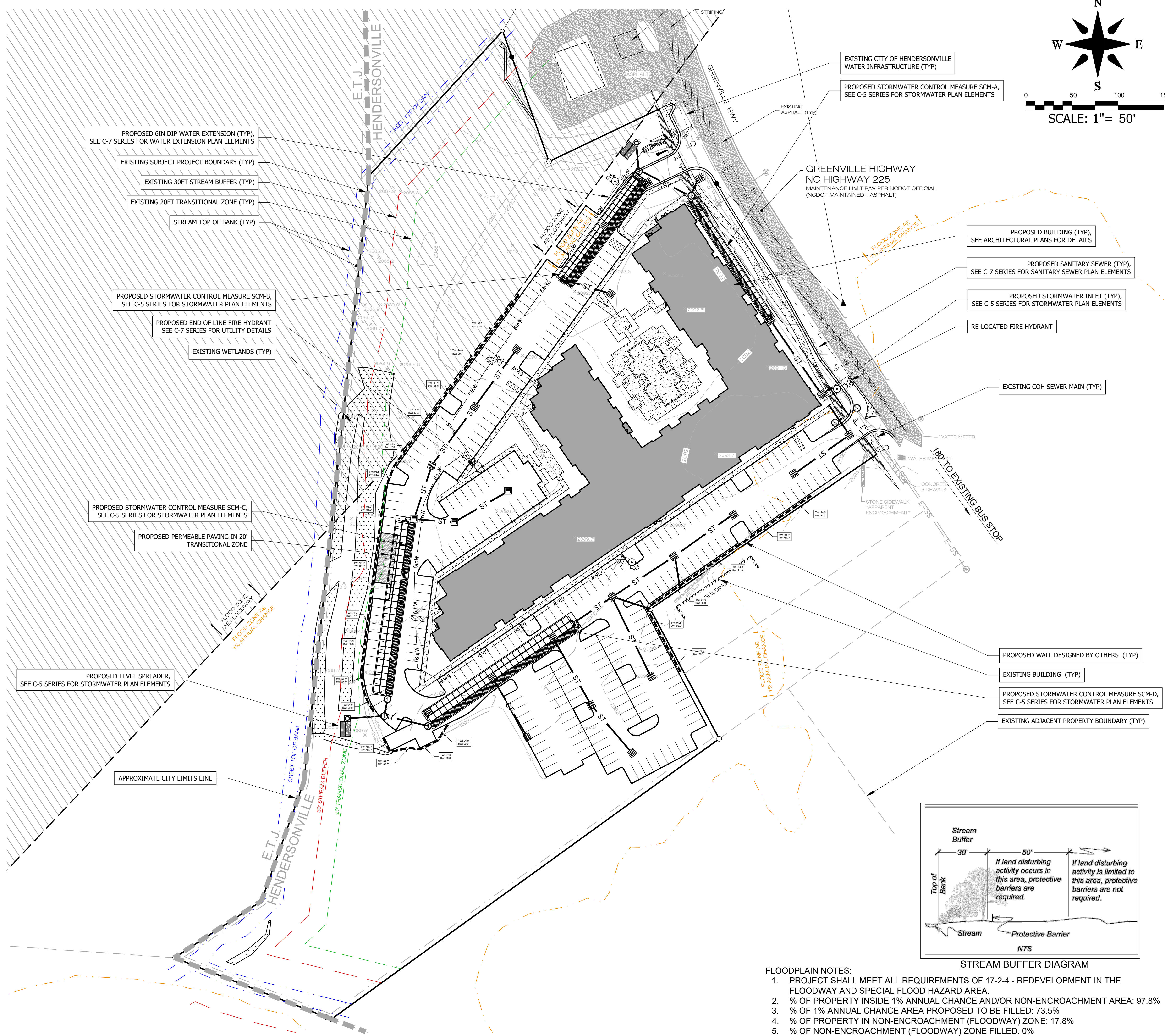
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2. TREE PLANTINGS
The number, size, and type of tree plantings required by Section 5-25-5.20 shall be planted. However, due to planting limitations within the floodway and conservation easement areas on the Project site, some of the 3" caliper trees required by Section 5-25-5.20 shall be planted in areas that also qualify for Vehicular Use Area plantings, as shown on the Landscape Plan.
3. BUILDING FAÇADE
Façade offsets along the East Elevation may exceed the 16 ft. offset requirement provided in Section 5-25-12(b) as shown on the Site Plan and Elevations. No wall shall exceed 28 feet in length without an offset. Offsets may be provided either in exterior walls or at balconies.
4. BUS SHELTER
A bus shelter (Sec. 5-25-5.13) shall not be required due to the proximity of an existing bus shelter on a neighboring property (Henderson County PIN #9568-82-7951) to the south of the Project site.
5. LOADING ZONES
In lieu of the required 12'x40' loading zone, the developer proposes to provide three parking spaces that are designated as loading zones. See Sec. 6-6.
6. FLOODWAY PLANTINGS / MAINTENANCE
To the extent practicable within the limitations of the Floodplain Development Permit required by the attached site plan and grading plan, Developer shall implement a vegetative planting and management plan that will create and enhance the existing wetland and wildlife habitat of the open space area outside the footprint of the developed area, stream buffer(s) and the Wetland Conservation Area. The plan should include diverse and appropriate species of native upland and/or wetland shrubs, appropriate trees and perennial herbaceous plants (including warm season grasses, sedges, and plants important to pollinators), and all planted species shall be selected from the City's Recommended Landscape Species List for Street Trees and Land Development Projects. No turf grasses may be used. The plan shall be developed by a qualified landscape architect (with wildlife habitat management expertise), and shall incorporate an appropriate long-term invasive species management and control plan.

CITY PROPOSED CONDITIONS

- 1. Developer shall install all recommended traffic mitigations found in the approved Traffic Impact Analysis, in accordance with City and NCDOT requirements prior to final certificate of occupancy.

DEVELOPMENT DATA

PROPERTY ADDRESS: 715 GREENVILLE HWY
HENDERSONVILLE NC 28792
PIN NUMBER: 9568832082, 9568834302, 9568832474
PROPERTY SIZE: 9.01 AC
ZONING REVIEW: CITY OF HENDERSONVILLE
EROSION CONTROL REVIEW: HENDERSON COUNTY
STORMWATER REVIEW: CITY OF HENDERSONVILLE
ZONING CLASSIFICATION: PCD
PROPOSED NUMBER OF UNITS: 185
PROPOSED DENSITY: 20.55 UNITS / AC
PROPERTY OWNER: SOUTH MARKET, LLC
CONTACT: RICHARD HERMAN
ADDRESS: 2809 HAMPTON DRIVE
HENDERSONVILLE NC 28792
EMAIL:
PHONE: 828-577-4201
DEVELOPER: FIRST VICTORY, INC
CONTACT: TRAVIS FOWLER
ADDRESS: 642 S. CALDWELL ST
BREVARD, NC 28712
EMAIL: travis@firstvictory.com
PHONE: 828-808-6433
ENGINEER: BROOKS ENGINEERING ASSOCIATES
CONTACT: JOHN KINNAIRD
ADDRESS: 15 ARLINGTON ST
ASHEVILLE, NC 28801
EMAIL: JKINNAIRD@BROOKSEA.COM
PHONE: 828-232-4700
LANDSCAPE ARCH: FIND THE LINE STUDIOS
CONTACT: ROB DULL
ADDRESS: 305 POLE CREAMAN ROAD
ASHEVILLE NC 28806
EMAIL: ROB@FINDTHELINESTUDIOS.COM
PHONE: 828-674-5592



- FLOODPLAIN NOTES:
1. PROJECT SHALL MEET ALL REQUIREMENTS OF 17-2-4 - REDEVELOPMENT IN THE FLOODWAY AND SPECIAL FLOOD HAZARD AREA.
2. % OF PROPERTY INSIDE 1% ANNUAL CHANCE AND/OR NON-ENCROACHMENT AREA: 97.8%
3. % OF 1% ANNUAL CHANCE AREA PROPOSED TO BE FILLED: 73.5%
4. % OF PROPERTY IN NON-ENCROACHMENT (FLOODWAY) ZONE: 17.8%
5. % OF NON-ENCROACHMENT (FLOODWAY) ZONE FILLED: 0%

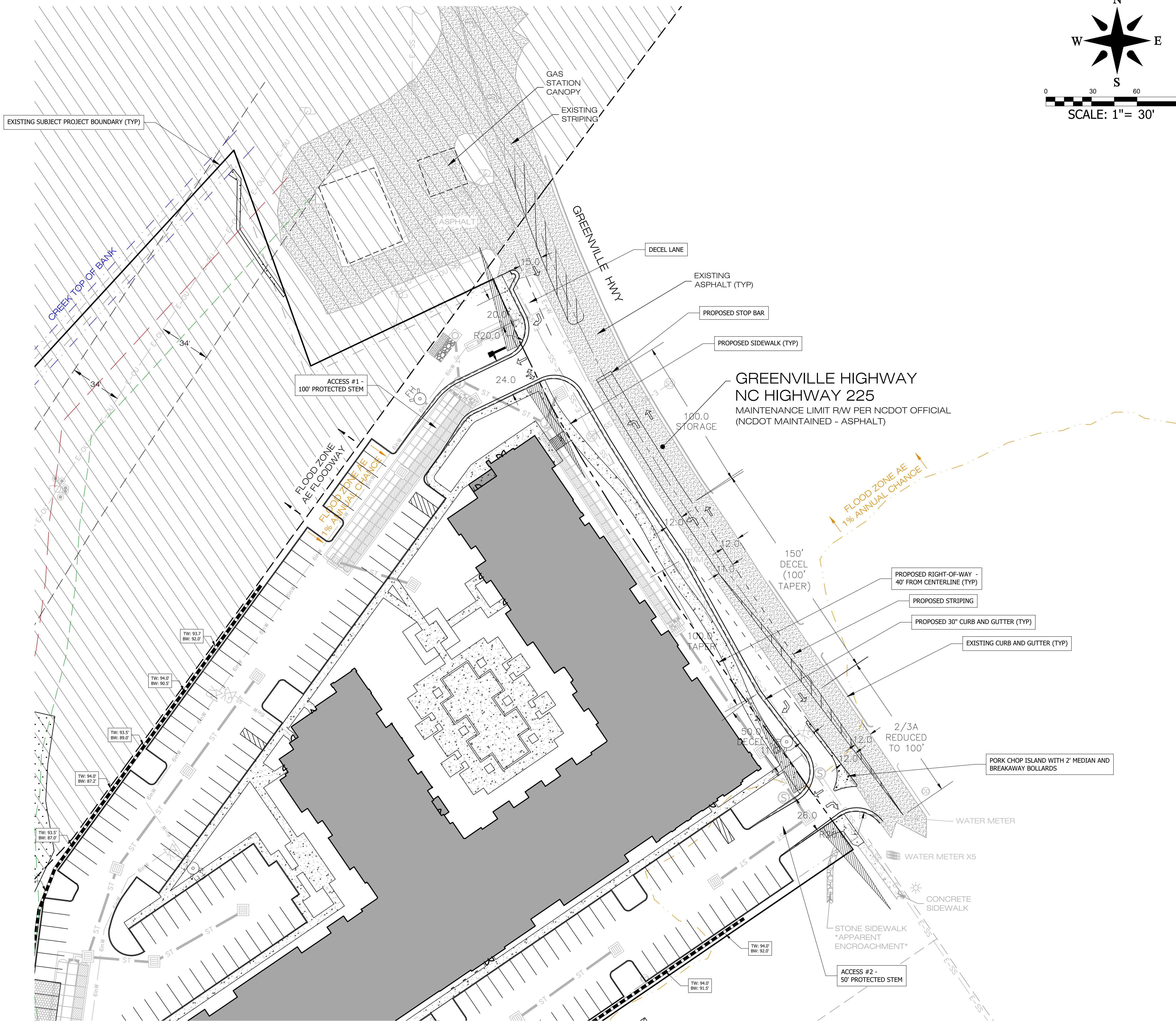
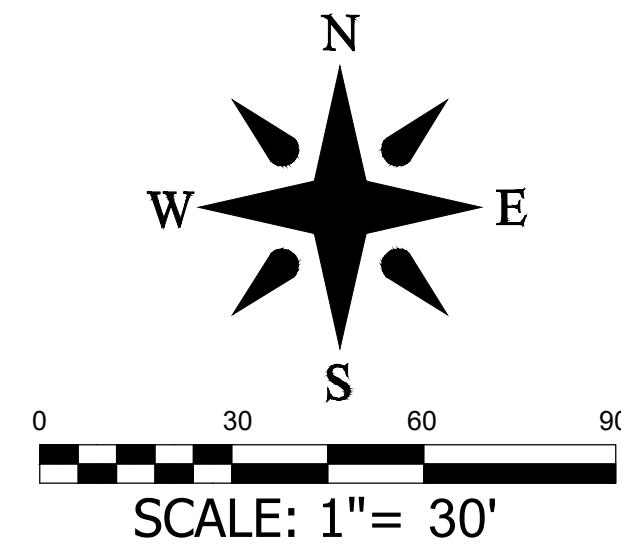
Table with project details: Date (8/01/2024), Revisions/Submissions (1: PLANNING AND ZONING SUBMITTAL, 2: PLANNING BOARD SUBMITTAL), Project No. (597223), Project Name (715 GREENVILLE HWY APARTMENTS), City (CITY OF HENDERSONVILLE), Drawing Title (MASTER PLAN), and Engineer/Designer information (CDG ENGINEERS AND ASSOCIATES, INC.).

PRELIMINARY - NOT FOR CONSTRUCTION



**MASTER PLAN LEGEND**

- EXIST. BOUNDARY
- EXIST. ADJOINER
- EXIST. STREAM
- EXIST. STREAM BUFFER
- EXIST. WETLAND
- EXIST. FEMA NON-ENCROACHMENT
- FEMA FLOOD HAZARD AREA (1%)
- FEMA FLOOD HAZARD AREA (0.2%)
- EXIST. RIGHT OF WAY
- EXIST. BUILDING SETBACK
- EXIST. BUILDING
- EXISTING SIDEWALK
- EXISTING PAVEMENT
- EXIST. CURB
- NEW PROPERTY LINES
- NEW RIGHT OF WAY
- NEW EASEMENT
- BUILDING SETBACK LINE
- NEW LANDSCAPE BUFFER
- NEW COMMON OPEN SPACE
- NEW BUILDING
- NEW PAVEMENT
- NEW HD PAVEMENT
- NEW CONCRETE SIDEWALK
- NEW GRAVEL
- NEW CURB & GUTTER
- NEW WALL (BY OTHERS)



No.	REVISIONS/SUBMISSIONS	Date
1	PLANNING AND ZONING SUBMITTAL	8/01/2024
2	PLANNING BOARD SUBMITTAL	11/04/2024

**PRELIMINARY - NOT FOR CONSTRUCTION**

Designed: JHK  
 Drawn: JHK  
 Checked: JHK

Reviewed: JHK  
 Scale: AS NOTED  
 Date: 8/01/2024

15 Arlington Street  
 Asheville, N.C. 28801  
 Phone: 1-828-232-4700  
 Fax: 1-828-232-1331  
 www.brooksea.com

**CDG ENGINEERS AND ASSOCIATES, INC**

Project No: **597223**

**C-1.1**

715 GREENVILLE HWY APARTMENTS

CITY OF HENDERSONVILLE NORTH CAROLINA

Drawing Title: **WIDENING PLAN**

**DEVELOPMENT DATA**

PROPERTY ADDRESS: 715 GREENVILLE HWY  
 HENDERSONVILLE NC 28792

PIN NUMBER: 9568832082, 9568834302, 9568832474

PROPERTY SIZE: 9.01 AC

ZONING REVIEW: CITY OF HENDERSONVILLE

EROSION CONTROL REVIEW: HENDERSON COUNTY

STORMWATER REVIEW: CITY OF HENDERSONVILLE

ZONING CLASSIFICATION: PCD

PROPOSED NUMBER OF UNITS: 185

PROPOSED DENSITY: 20.55 UNITS / AC

PROPERTY OWNER: SOUTH MARKET, LLC

CONTACT: RICHARD HERMAN  
 ADDRESS: 2809 HAMPTON DRIVE  
 HENDERSONVILLE NC 28792

EMAIL: ---

PHONE: 828-577-4201

DEVELOPER: FIRST VICTORY, INC

CONTACT: TRAVIS FOWLER  
 ADDRESS: 542 S CALDWELL ST  
 BREVARD, NC 28712

EMAIL: travis@firstvictory.com

PHONE: 828-808-6433

ENGINEER: BROOKS ENGINEERING ASSOCIATES

CONTACT: JOHN KINNAIRD  
 ADDRESS: 15 ARLINGTON ST  
 ASHEVILLE, NC 28801

EMAIL: JKINNAIRD@BROOKSEA.COM

PHONE: 828-232-4700

LANDSCAPE ARCH: FIND THE LINE STUDIOS

CONTACT: ROB DULL  
 ADDRESS: 305 POLE CREAMAN ROAD  
 ASHEVILLE NC 28806

EMAIL: ROB@FINDTHELINESTUDIOS.COM

PHONE: 828-674-5592

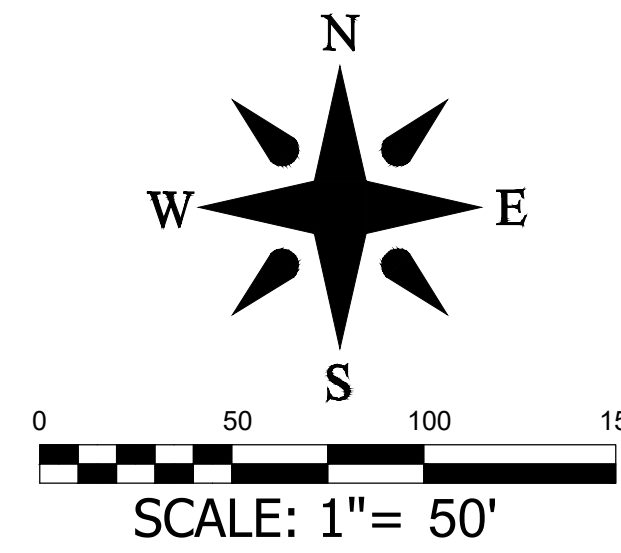
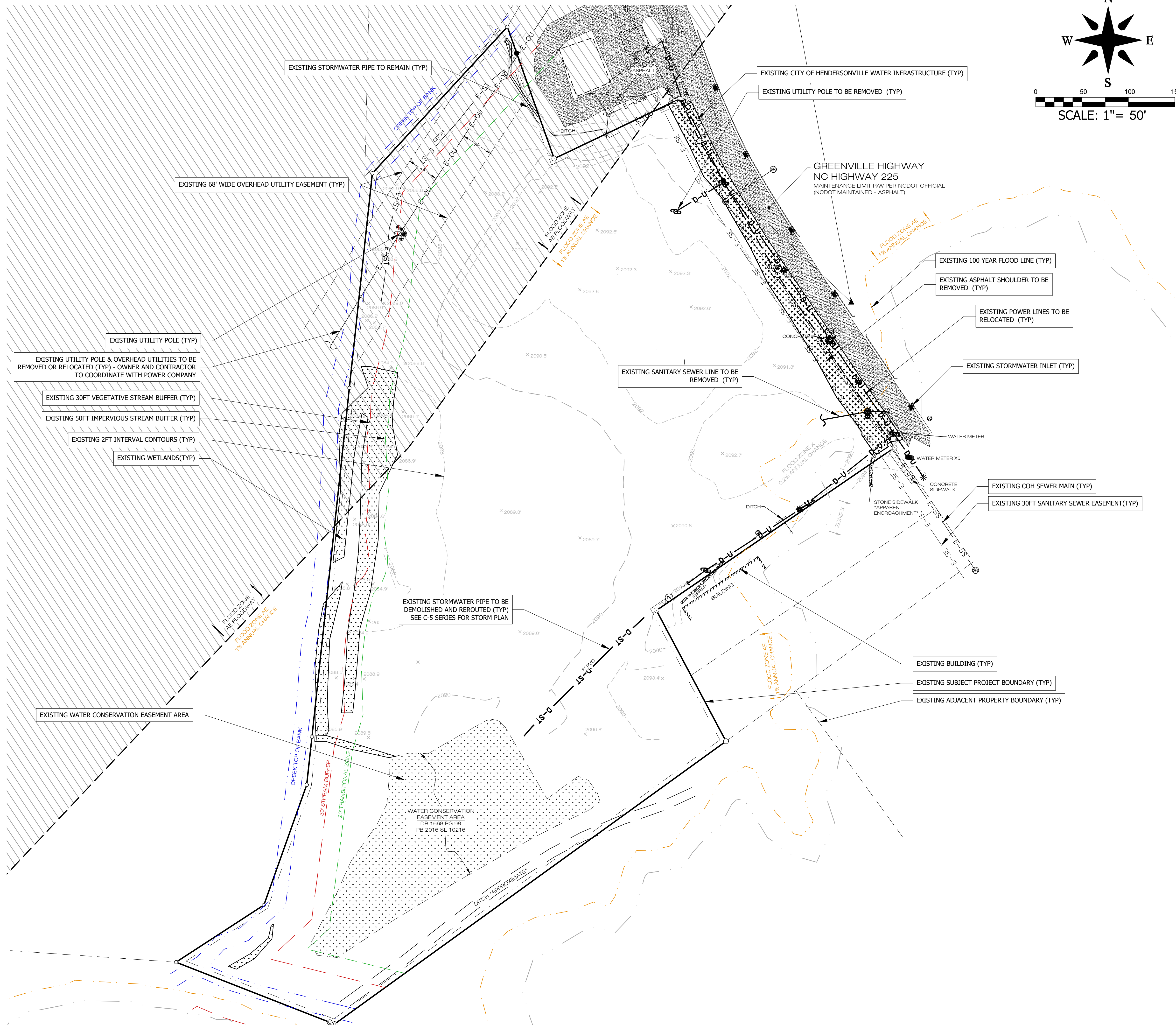


**EXIST. CONDITIONS LEGEND**

- EXIST. BOUNDARY
- - - EXIST. ADJOINER
- MONUMENT FOUND
- REBAR FOUND
- IRON PIPE FOUND
- ▲ NAIL FOUND
- CORNER TREE FOUND
- - - EXIST. STREAM
- - - EXIST. STREAM BUFFER
- - - EXIST. WETLAND
- - - EXIST. FEMA NON-ENCROACHMENT
- - - EXIST. FEMA FLOOD HAZARD AREA (1%)
- - - EXIST. FEMA FLOOD HAZARD AREA (0.2%)
- - - EXIST. RIGHT OF WAY
- - - EXIST. EASEMENT
- - - EXIST. BUILDING SETBACK
- ▭ EXISTING BUILDING
- ▭ EXISTING SIDEWALK
- ▭ EXISTING PAVEMENT
- ▭ EXISTING GRAVEL
- EXIST. CURB
- EXIST. MANHOLE
- EXIST. MANHOLE
- - - E-SS EXIST. SANITARY SEWER
- - - EXIST. SEWER CLEAN OUT
- - - E-W EXIST. WATER LINE
- - - EXIST. WATER METER
- - - EXIST. FIRE HYDRANT
- - - EXIST. WATER VALVE
- - - EXIST. OVERHEAD UTILITIES
- - - EXIST. POWER POLE
- - - E-U EXIST. UNDERGRND UTILITIES
- - - E-ST EXIST. STORM DRAIN
- EXIST. CURB INLET
- EXIST. JUNCTION BOX
- EXIST. DROP INLET
- EXIST. TELE MANHOLE
- EXIST. DROP INLET
- EXIST. TRANSFORMER
- EXIST. LIGHT POLE
- - - EXIST. MINOR CONTOUR
- - - EXIST. MAJOR CONTOUR
- - - ABANDON EASEMENT
- - - ABANDON PROPERTY LINE
- ▭ DEMO BUILDING
- ▭ DEMO CONCRETE
- ▭ DEMO PAVEMENT
- ▭ DEMO GRAVEL
- DEMO CURB
- - - D-SS DEMO SANITARY SEWER
- - - D-W DEMO WATER LINE
- - - D-U DEMO OTHER UTILITIES
- - - D-ST DEMO STORM DRAIN
- - - EXISTING TREELINE
- TREE TO REMAIN
- TREE TO BE REMOVED
- EXIST. FENCE

**DEVELOPMENT DATA**

PROPERTY ADDRESS: 715 GREENVILLE HWY  
HENDERSONVILLE NC 28792  
 PIN NUMBER: 9568832082, 9568834302, 9568832474  
 PROPERTY SIZE: 9.01 AC  
 ZONING REVIEW: CITY OF HENDERSONVILLE  
 EROSION CONTROL REVIEW: HENDERSON COUNTY  
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Date	REVISIONS/SUBMISSIONS
8/01/2024	1 PLANNING AND ZONING SUBMITTAL
11/04/2024	2 PLANNING BOARD SUBMITTAL

**CDG ENGINEERS & ASSOCIATES, INC.**  
 NORTH CAROLINA  
 PROFESSIONAL ENGINEERING  
 LICENSE NO. 4573

**PRELIMINARY - NOT FOR CONSTRUCTION**

Designed: JHK  
 Drawn: JHK  
 Checked: JHK  
 Reviewed: JHK  
 Scale: AS NOTED  
 Date: 8/01/2024

15 Arlington Street  
 Asheville, N.C. 28801  
 Phone: 1-828-232-4700  
 Fax: 1-828-232-1331  
 www.brooksea.com

**CDG ENGINEERS AND ASSOCIATES, INC**

Project No: 597223  
 Drawing Title: EXISTING CONDITIONS AND SURVEY

715 GREENVILLE HWY  
 APARTMENTS  
 CITY OF HENDERSONVILLE  
 NORTH CAROLINA

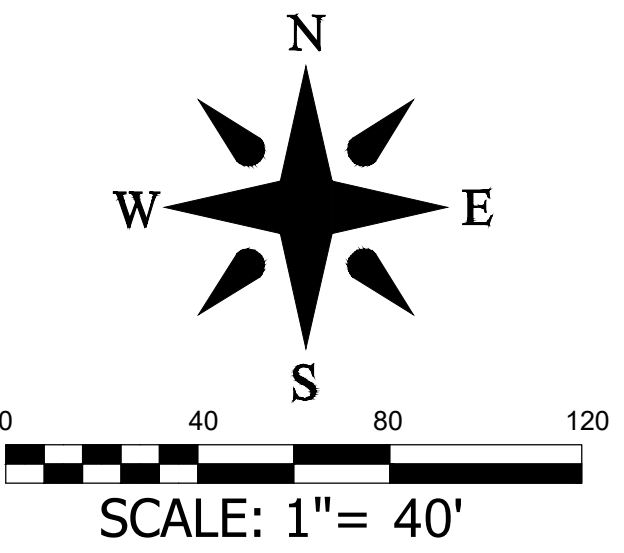
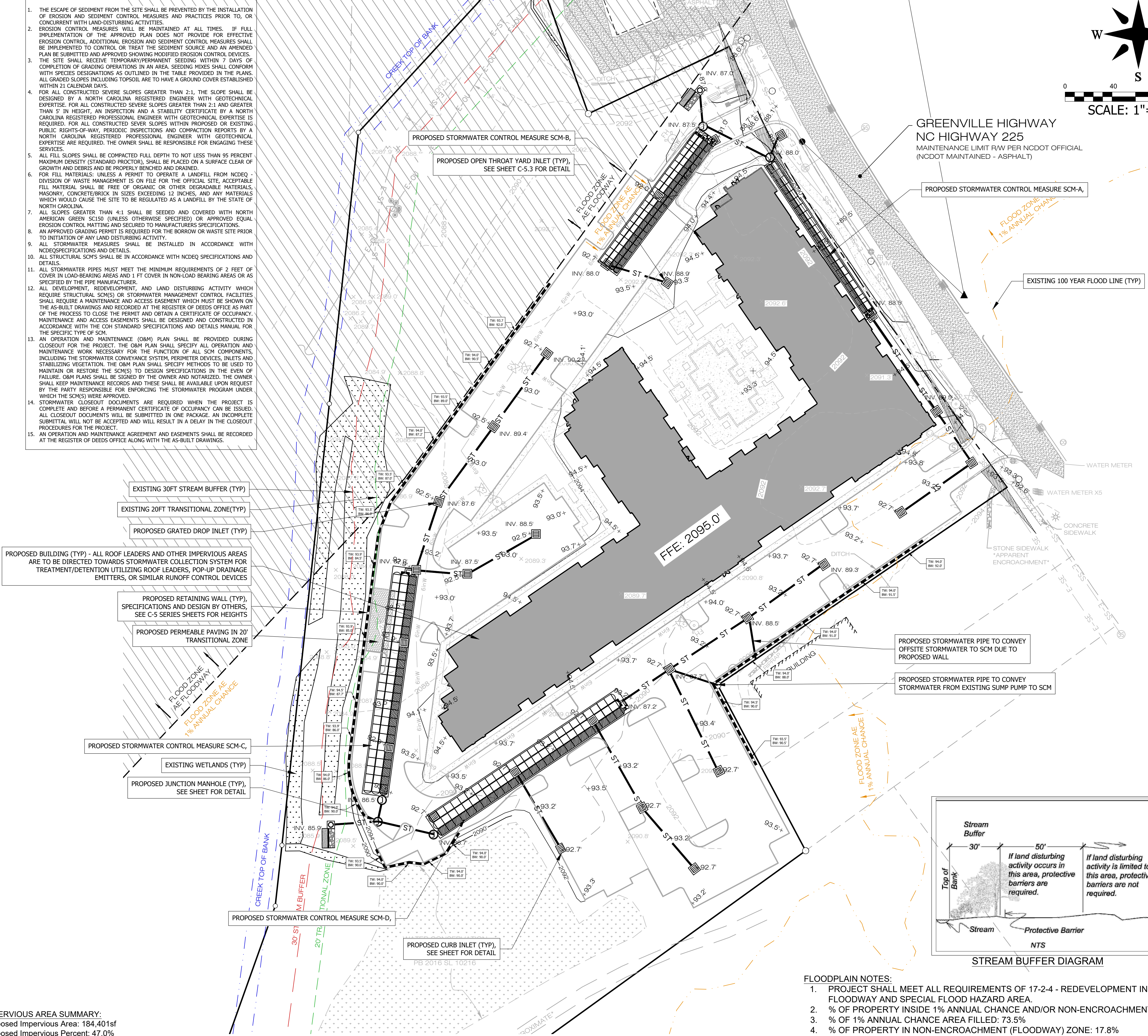


GRADING AND STORMWATER LEGEND

Legend table listing symbols for existing and new features: EXIST. BOUNDARY, EXIST. ADJOINER, EXIST. STREAM, EXIST. STREAM BUFFER, EXIST. WETLAND, EXIST. FEMA NON-ENCROACHMENT FLOOD HAZARD AREA (1%), EXIST. RIGHT OF WAY, EXIST. EASEMENT, EXIST. BUILDING SETBACK, EXISTING BUILDING, EXISTING SIDEWALK, EXISTING PAVEMENT, EXIST. CURB, EXIST. MANHOLE, EXIST. SANITARY SEWER, EXIST. SEWER CLEAN OUT, EXIST. WATER LINE, EXIST. WATER METER, EXIST. FIRE HYDRANT, EXIST. WATER VALVE, EXIST. OVERHEAD UTILITIES, EXIST. POWER POLE, EXIST. UNDERGROUND UTILITIES, EXIST. STORM DRAIN, EXIST. CURB INLET, EXIST. JUNCTION BOX, EXIST. DROP INLET, EXIST. TELE MANHOLE, EXIST. DROP INLET, EXIST. TRANSFORMER, EXIST. LIGHT POLE, EXIST. MINOR CONTOUR, EXIST. MAJOR CONTOUR, NEW BUILDING, NEW PAVEMENT, NEW HD PAVEMENT, NEW CONCRETE SIDEWALK, NEW GRAVEL, NEW CURB & GUTTER, NEW YARD INLET, NEW DROP INLET, NEW CURB INLET, NEW JUNCTION BOX, NEW HEADWALL, NEW FLARED END SECTION, NEW RIP-RAP OUTLET PROTECTION, NEW STORM PIPE, GRASS-LINED DITCH WITH MATTING, RIP-RAP LINED DITCH, NEW MINOR CONTOUR, NEW MAJOR CONTOUR, NEW SPOT GRADE, NEW PROPERTY LINES, NEW RIGHT OF WAY, NEW WATER DISTRIBUTION MAIN, NEW WATER FIRE HYDRANT, NEW MANHOLE, NEW SEWER LINE, LIMITS OF DISTURBANCE, NEW WALL (BY OTHERS), TEMP. TREE PROTECTION FENCE.

GRADING AND STORMWATER NOTES

- 1. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO, OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
2. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE AND AN AMENDED PLAN BE SUBMITTED AND APPROVED SHOWING MODIFIED EROSION CONTROL DEVICES.
3. THE SITE SHALL RECEIVE TEMPORARY/PERMANENT SEEDING WITHIN 7 DAYS OF COMPLETION OF GRADING OPERATIONS IN AN AREA. SEEDING MIXES SHALL CONFORM WITH SPECIES DESIGNATIONS AS OUTLINED IN THE TABLE PROVIDED IN THE PLANS. ALL GRADED SLOPES INCLUDING TOPSOIL ARE TO HAVE A GROUND COVER ESTABLISHED WITHIN 21 CALENDAR DAYS.
4. FOR ALL CONSTRUCTED SEVERE SLOPES GREATER THAN 2:1, THE SLOPE SHALL BE DESIGNED BY A NORTH CAROLINA REGISTERED ENGINEER WITH GEOTECHNICAL EXPERTISE. FOR ALL CONSTRUCTED SEVERE SLOPES GREATER THAN 2:1 AND GREATER THAN 5' IN HEIGHT, AN INSPECTION AND A STABILITY CERTIFICATE BY A NORTH CAROLINA REGISTERED PROFESSIONAL ENGINEER WITH GEOTECHNICAL EXPERTISE IS REQUIRED. FOR ALL CONSTRUCTED SEVERE SLOPES WITHIN PROPOSED OR EXISTING PUBLIC RIGHTS-OF-WAY, PERIODIC INSPECTIONS AND COMPACTION REPORTS BY A NORTH CAROLINA REGISTERED PROFESSIONAL ENGINEER WITH GEOTECHNICAL EXPERTISE ARE REQUIRED. THE OWNER SHALL BE RESPONSIBLE FOR ENGAGING THESE SERVICES.
5. ALL FILL SLOPES SHALL BE COMPACTED FULL DEPTH TO NOT LESS THAN 95 PERCENT MAXIMUM DENSITY (STANDARD PROCTOR), SHALL BE PLACED ON A SURFACE CLEAR OF GROWTH AND DEBRIS AND BE PROPERLY BENCH AND DRAINED.
6. FOR FILL MATERIALS: UNLESS A PERMIT TO OPERATE A LANDFILL FROM NCDOT - DIVISION OF WASTE MANAGEMENT IS ON FILE FOR THE OFFICIAL SITE, ACCEPTABLE FILL MATERIAL SHALL BE FREE OF ORGANIC OR OTHER DEGRADABLE MATERIALS, MASONRY, CONCRETE/BRICK IN SIZES EXCEEDING 12 INCHES, AND ANY MATERIALS WHICH WOULD CAUSE THE SITE TO BE REGULATED AS A LANDFILL BY THE STATE OF NORTH CAROLINA.
7. ALL SLOPES GREATER THAN 4:1 SHALL BE SEEDED AND COVERED WITH NORTH AMERICAN GREEN SC150 (UNLESS OTHERWISE SPECIFIED) OR APPROVED EQUAL EROSION CONTROL MATTING AND SECURED TO MANUFACTURERS SPECIFICATIONS.
8. AN APPROVED GRADING PERMIT IS REQUIRED FOR THE BORROW OR WASTE SITE PRIOR TO INITIATION OF ANY LAND DISTURBING ACTIVITY.
9. ALL STORMWATER MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH NCDOT SPECIFICATIONS AND DETAILS.
10. ALL STRUCTURAL SCMS SHALL BE IN ACCORDANCE WITH NCDOT SPECIFICATIONS AND DETAILS.
11. ALL STORMWATER PIPES MUST MEET THE MINIMUM REQUIREMENTS OF 2 FEET OF COVER IN LOAD BEARING AREAS AND 1 FT COVER IN NON-LOAD BEARING AREAS OR AS SPECIFIED BY THE PIPE MANUFACTURER.
12. ALL DEVELOPMENT, REDEVELOPMENT, AND LAND DISTURBING ACTIVITY WHICH REQUIRE STRUCTURAL SCM(S) OR STORMWATER MANAGEMENT CONTROL FACILITIES SHALL REQUIRE A MAINTENANCE AND ACCESS EASEMENT WHICH MUST BE SHOWN ON THE AS-BUILT DRAWINGS AND RECORDED AT THE REGISTER OF DEEDS OFFICE AS PART OF THE PROCESS TO CLOSE THE PERMIT AND OBTAIN A CERTIFICATE OF OCCUPANCY. MAINTENANCE AND ACCESS EASEMENTS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE COH STANDARD SPECIFICATIONS AND DETAILS MANUAL FOR THE SPECIFIC TYPE OF SCM.
13. AN OPERATION AND MAINTENANCE (O&M) PLAN SHALL BE PROVIDED DURING CLOSEOUT FOR THE PROJECT. THE O&M PLAN SHALL SPECIFY ALL OPERATION AND MAINTENANCE WORK NECESSARY FOR THE FUNCTION OF ALL SCM COMPONENTS, INCLUDING THE STORMWATER CONVEYANCE SYSTEM, PERIMETER DEVICES, INLETS AND STABILIZING VEGETATION. THE O&M PLAN SHALL SPECIFY METHODS TO BE USED TO MAINTAIN OR RESTORE THE SCM(S) TO DESIGN SPECIFICATIONS IN THE EVENT OF FAILURE. O&M PLANS SHALL BE SIGNED BY THE OWNER AND NOTARIZED. THE OWNER SHALL KEEP MAINTENANCE RECORDS AND THESE SHALL BE AVAILABLE UPON REQUEST BY THE PARTY RESPONSIBLE FOR ENFORCING THE STORMWATER PROGRAM UNDER WHICH THE SCM(S) WERE APPROVED.
14. STORMWATER CLOSEOUT DOCUMENTS ARE REQUIRED WHEN THE PROJECT IS COMPLETE AND BEFORE A PERMANENT CERTIFICATE OF OCCUPANCY CAN BE ISSUED. ALL CLOSEOUT DOCUMENTS WILL BE SUBMITTED IN ONE PACKAGE. AN INCOMPLETE SUBMITTAL WILL NOT BE ACCEPTED AND WILL RESULT IN A DELAY IN THE CLOSEOUT PROCEDURES FOR THE PROJECT.
15. AN OPERATION AND MAINTENANCE AGREEMENT AND EASEMENTS SHALL BE RECORDED AT THE REGISTER OF DEEDS OFFICE ALONG WITH THE AS-BUILT DRAWINGS.



GREENVILLE HIGHWAY  
NC HIGHWAY 225  
MAINTENANCE LIMIT RW PER NCDOT OFFICIAL  
(NCDOT MAINTAINED - ASPHALT)



PRELIMINARY - NOT FOR CONSTRUCTION

Designed: JHK  
Drawn: JHK  
Checked: JHK  
Reviewed: JHK  
Scale: AS NOTED  
Date: 8/01/2024  
15 Arlington Street  
Asheville, N.C. 28801  
Phone: 1-828-232-4700  
Fax: 1-828-232-1331  
www.brooksea.com

CDG ENGINEERS  
AND ASSOCIATES,  
INC

715 GREENVILLE HWY  
APARTMENTS  
CITY OF HENDERSONVILLE  
NORTH CAROLINA

Project No: 597223  
C-5.0  
Drawing Title: OVERALL STORMWATER PLAN

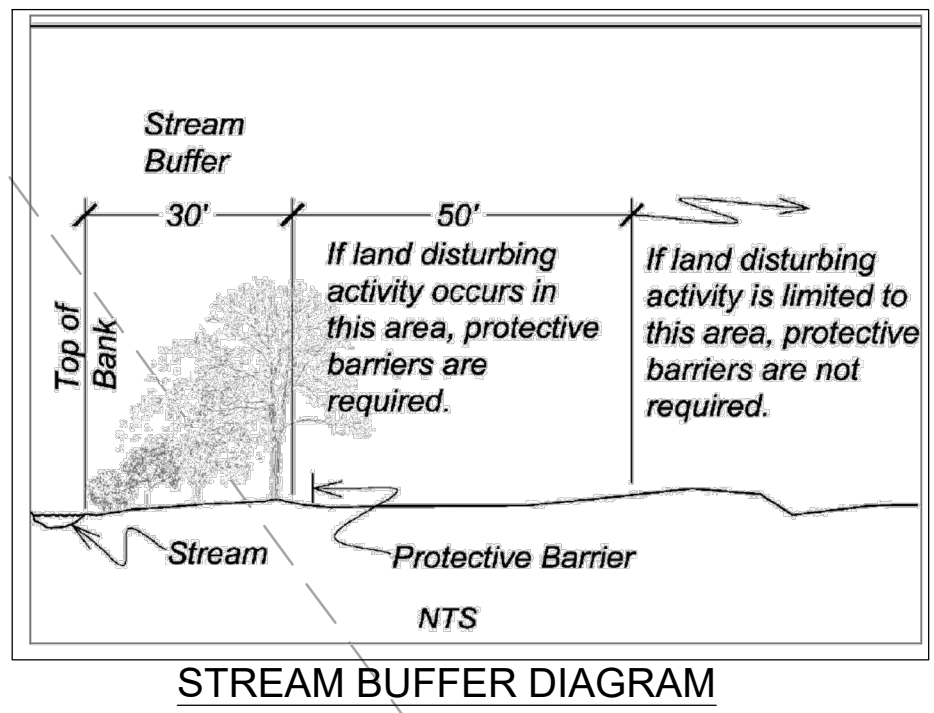
DEVELOPMENT DATA

PROPERTY ADDRESS: 715 GREENVILLE HWY  
HENDERSONVILLE NC 28792  
PIN NUMBER: 9568832082 9568834302 9568832474  
PROPERTY SIZE: 9.01 AC  
ZONING REVIEW: CITY OF HENDERSONVILLE  
EROSION CONTROL REVIEW: HENDERSON COUNTY  
STORMWATER REVIEW: CITY OF HENDERSONVILLE  
ZONING CLASSIFICATION: PCD  
PROPOSED NUMBER OF UNITS: 185  
PROPOSED DENSITY: 20.55 UNITS / AC  
PROPERTY OWNER: SOUTH MARKET, LLC  
CONTACT: RICHARD HERMAN  
ADDRESS: 2809 HAMPTON DRIVE  
HENDERSONVILLE NC 28792  
EMAIL: -----  
PHONE: 828-677-4201  
DEVELOPER: FIRST VICTORY, INC  
CONTACT: TRAVIS FOWLER  
ADDRESS: 542 S CALDWELL ST  
BREVARD, NC 28712  
EMAIL: travis@firstvictory.com  
PHONE: 828-808-6433  
ENGINEER: BROOKS ENGINEERING ASSOCIATES  
CONTACT: JOHN KINNAIRD  
ADDRESS: 15 ARLINGTON ST  
ASHEVILLE, NC 28801  
EMAIL: JKINNAIRD@BROOKSEA.COM  
PHONE: 828-232-4700  
LANDSCAPE ARCH: FIND THE LINE STUDIOS  
CONTACT: ROB DULL  
ADDRESS: 305 POLE CREAMS ROAD  
ASHEVILLE NC 28806  
EMAIL: ROB@FINDTHELINESTUDIOS.COM  
PHONE: 828-674-5592

IMPERVIOUS AREA SUMMARY:  
Proposed Impervious Area: 184,401sf  
Proposed Impervious Percent: 47.0%

FLOODPLAIN NOTES:

- 1. PROJECT SHALL MEET ALL REQUIREMENTS OF 17-24 - REDEVELOPMENT IN THE FLOODWAY AND SPECIAL FLOOD HAZARD AREA.
2. % OF PROPERTY INSIDE 1% ANNUAL CHANCE AND/OR NON-ENCROACHMENT AREA: 97.8%
3. % OF 1% ANNUAL CHANCE AREA FILLED: 73.5%
4. % OF PROPERTY IN NON-ENCROACHMENT (FLOODWAY) ZONE: 17.8%
5. % OF NON-ENCROACHMENT (FLOODWAY) ZONE FILLED: 0%



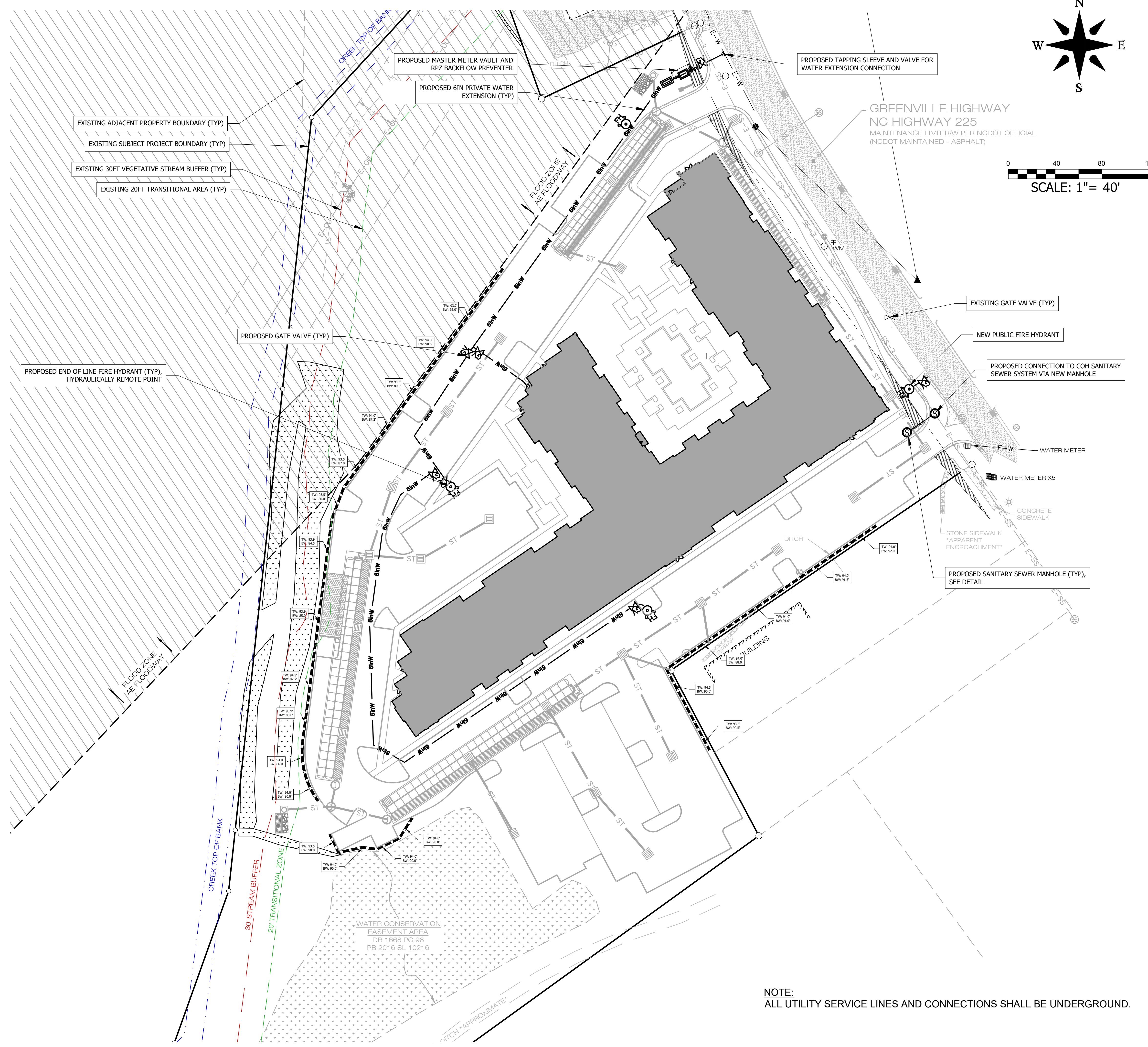


UTILITIES LEGEND

- EXIST. BOUNDARY
- EXIST. ADJOINER
- EXIST. STREAM
- EXIST. STREAM BUFFER
- EXIST. WETLAND
- EXIST. FEMA NON-ENCROACHMENT
- EXIST. FEMA FLOOD HAZARD AREA (1%)
- EXIST. FEMA FLOOD HAZARD AREA (0.2%)
- EXIST. RIGHT OF WAY
- EXIST. EASEMENT
- EXIST. BUILDING SETBACK
- EXISTING BUILDING
- EXISTING SIDEWALK
- EXISTING PAVEMENT
- EXIST. CURB
- EXIST. MANHOLE
- EXIST. MANHOLE
- EXIST. SANITARY SEWER
- EXIST. SEWER CLEAN OUT
- EXIST. WATER LINE
- EXIST. WATER METER
- EXIST. FIRE HYDRANT
- EXIST. WATER VALVE
- EXIST. OVERHEAD UTILITIES
- EXIST. POWER POLE
- EXIST. UNDERGROUND UTILITIES
- EXIST. STORM DRAIN
- EXIST. CURB INLET
- EXIST. JUNCTION BOX
- EXIST. DROP INLET
- EXIST. TELE MANHOLE
- EXIST. DROP INLET
- EXIST. TRANSFORMER
- EXIST. LIGHT POLE
- EXIST. SEWER EASEMENT
- EXIST. WATER EASEMENT
- EXIST. MINOR CONTOUR
- EXIST. MAJOR CONTOUR
- NEW BUILDING
- NEW PAVEMENT
- NEW CONCRETE SIDEWALK
- NEW GRAVEL
- NEW CURB & GUTTER
- NEW YARD INLET
- NEW DROP INLET
- NEW CURB INLET
- NEW JUNCTION BOX
- NEW HEADWALL
- NEW FLARED END SECTION
- NEW STORM PIPE
- RIP RAP LINED DITCH
- NEW MINOR CONTOUR
- NEW MAJOR CONTOUR
- NEW PROPERTY LINES
- NEW RIGHT OF WAY
- NEW WATER DISTRIBUTION MAIN
- NEW WATER FIRE HYDRANT
- NEW WATER VALVE
- NEW AIR/VAC RLS VALVE
- NEW WATER BLOW-OFF VALVE
- NEW WATER DOMESTIC METER
- NEW WATER EASEMENT
- NEW MANHOLE
- NEW SEWER LINE
- NEW SANITARY CO / SERVICE
- NEW SEWER EASEMENT
- NEW WALL (BY OTHERS)

DEVELOPMENT DATA

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 HENDERSONVILLE NC 28792  
 PIN NUMBER: 9568832082, 9568834302, 9568832474  
 PROPERTY SIZE: 9.01 AC  
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 DEVELOPER: FIRST VICTORY, INC  
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 PHONE: 828-232-4700  
 LANDSCAPE ARCH.: FIND THE LINE STUDIOS  
 CONTACT: ROB DULL  
 ADDRESS: 305 POLE CREAMS ROAD  
 ASHEVILLE NC 28806  
 EMAIL: ROB@FINDTHELINESTUDIOS.COM  
 PHONE: 828-674-5592



NOTE:  
 ALL UTILITY SERVICE LINES AND CONNECTIONS SHALL BE UNDERGROUND.

Project No: <b>597223</b>	Drawing Title: <b>C-7.0 UTILITY PLAN</b>	City of Hendersonville NORTH CAROLINA	
		715 GREENVILLE HWY APARTMENTS	
 <b>CDG ENGINEERS AND ASSOCIATES, INC</b>		15 Arlington Street Asheville, N.C. 28801 Phone: 1-828-232-4700 Fax: 1-828-232-1331 www.brooksea.com	
PRELIMINARY - NOT FOR CONSTRUCTION		Revisions/Submissions: No. 1: PLANNING AND ZONING SUBMITTAL (Date: 8/01/2024) No. 2: PLANNING BOARD SUBMITTAL (Date: 11/04/2024)	

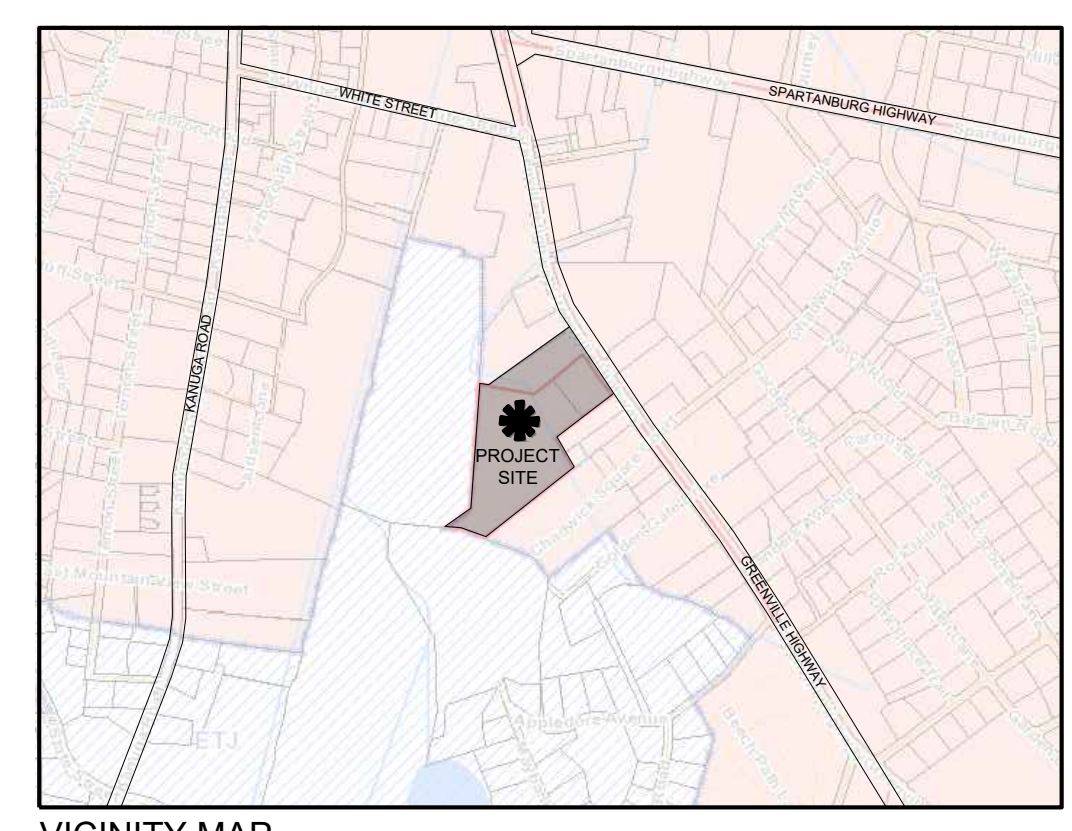




CONSULTANTS

NOT FOR CONSTRUCTION

715 GREENVILLE HWY MULTI-FAMILY  
PREPARED FOR: FIRST VICTORY INC.  
OVERALL SITE PLAN  
715 GREENVILLE HWY  
HENDERSONVILLE, NC



VICINITY MAP

PROJECT ADDRESS:  
715 GREENVILLE HWY  
HENDERSONVILLE, NC

TOTAL PROPERTY AREA:  
9.01 ACRES (392,475.6 SF)

SITE COVERAGE:  
BUILDING GROSS FLOOR AREA: 231,037 SF

BUILDING FOOTPRINT: 58,367 SF  
PERCENTAGE OF TOTAL SITE: 14.8%

BUILDING HEIGHT: 52'0" (SEE ARCHITECTURAL PLANS)

PROPOSED NUMBER OF UNITS: 185 UNITS  
PROPOSED DENSITY: 20.5 UNITS / AC

STREET AND PARKING SQUARE FOOTAGE: 102,231 SF  
STREET AND PARKING PERCENTAGE OF SITE: 26% OF SITE

LANDSCAPE ARCHITECT:  
ROB DULL, PLA  
FIND THE LINE STUDIOS, PLLC  
ASHEVILLE, NC  
828.674.5592

PROPERTY OWNER:  
SOUTH MARKET, LLC (RICHARD HERMAN)  
2809 HAMPTON DRIVE  
HENDERSONVILLE, NC 28792

DEVELOPER:  
TRAVIS FOWLER  
FIRST VICTORY INC  
542 S CALDWELL STREET  
BREVARD, NC 28712  
TRAVIS@FIRSTVICTORY.COM  
828-884-7934

CIVIL ENGINEER:  
JOHN KINNAIRD, PE  
BROOKS ENGINEERING ASSOC.  
17 ARLINGTON ST.  
ASHEVILLE, NC 28801  
828.232.4700

ZONING:  
CURRENT ZONING: PCD  
PROPOSED ZONING: URBAN RESIDENTIAL CONDITIONAL ZONING DISTRICT

SETBACKS:  
FRONT: 40' NCDOT RIGHT-OF-WAY\*  
\*14' MINIMUM FRONT SETBACK FROM BACK OF EXISTING OR PROPOSED CURBS, WHICHEVER IS GREATER. IF THE EXISTING RIGHT-OF-WAY IS GREATER THAN THE MINIMUM SETBACK FROM THE BACK OF EXISTING OR PROPOSED CURBS, THE RIGHT-OF-WAY LINE WILL BECOME MINIMUM SETBACK.  
SIDE: 5'  
REAR: 10'

OPEN SPACE REQUIREMENTS:  
OPEN SPACE REQUIRED: 117,743 SF (30%)  
OPEN SPACE PROVIDED: 118,725 SF (30.3%)

OPEN SPACE WITHIN WETLANDS/OPEN WATER/FLOODPLAIN (58,136 SF);  
49% OF REQUIRED OPEN SPACE AREA

COMMON SPACE REQUIREMENTS:  
COMMON SPACE REQUIRED: 39,248 SF (10%)  
COMMON SPACE PROVIDED: 44,372 SF (11.3%)

ENCLOSED GROUND FLOOR LEVEL COMMON SPACE (4,195 SF);  
9.5% OF REQUIRED COMMON SPACE AREA

PARKING REQUIREMENTS:  
PARKING REQUIRED AT 1 PER EACH DWELLING UNIT OR 1.5 PER EACH DWELLING UNIT CONTAINING THREE OR MORE BEDROOMS:  
NUMBER OF UNITS: 185 UNITS (170 1/2 BEDROOM & 15 3 BEDROOM)  
PARKING REQUIRED: 193 SPACES  
PARKING PROVIDED: 288 SPACES (8 HANDICAPPED PARKING SPACES)

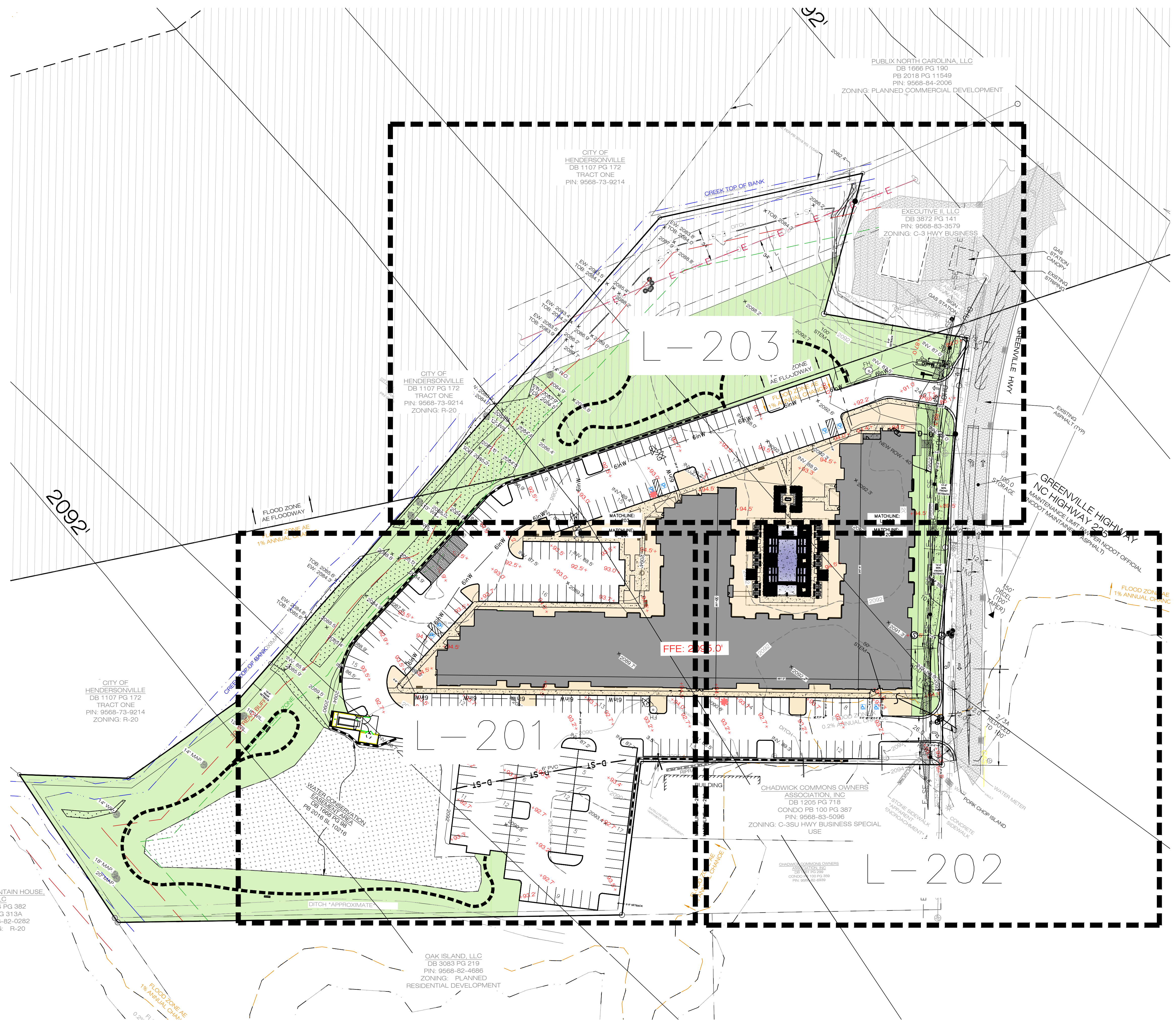
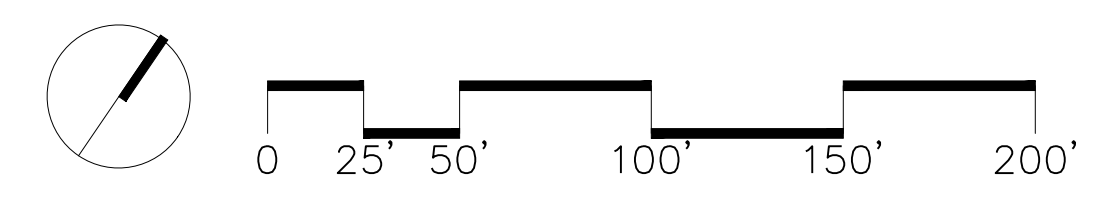
NOTES:  
PROJECT SHALL MEET ALL REQUIREMENTS OF 17-2-4-REDEVELOPMENT IN THE FLOOD WAY AND SPECIAL FLOOD HAZARD AREA  
ALL UTILITY SERVICE LINES AND CONNECTIONS SHALL BE UNDERGROUND  
OPEN SPACE SHOWN MUST BE PRESERVED AND MAINTAINED IN PERPETUITY. OPEN SPACE TO BE MAINTAINED BY DEVELOPER.

PLAN SET

#	DATE	DESCRIPTION
1	7.29.24	C2D SUBMITTAL
2	11.4.24	P&Z SUBMITTAL

SHEET NO.

L-200







CONSULTANTS

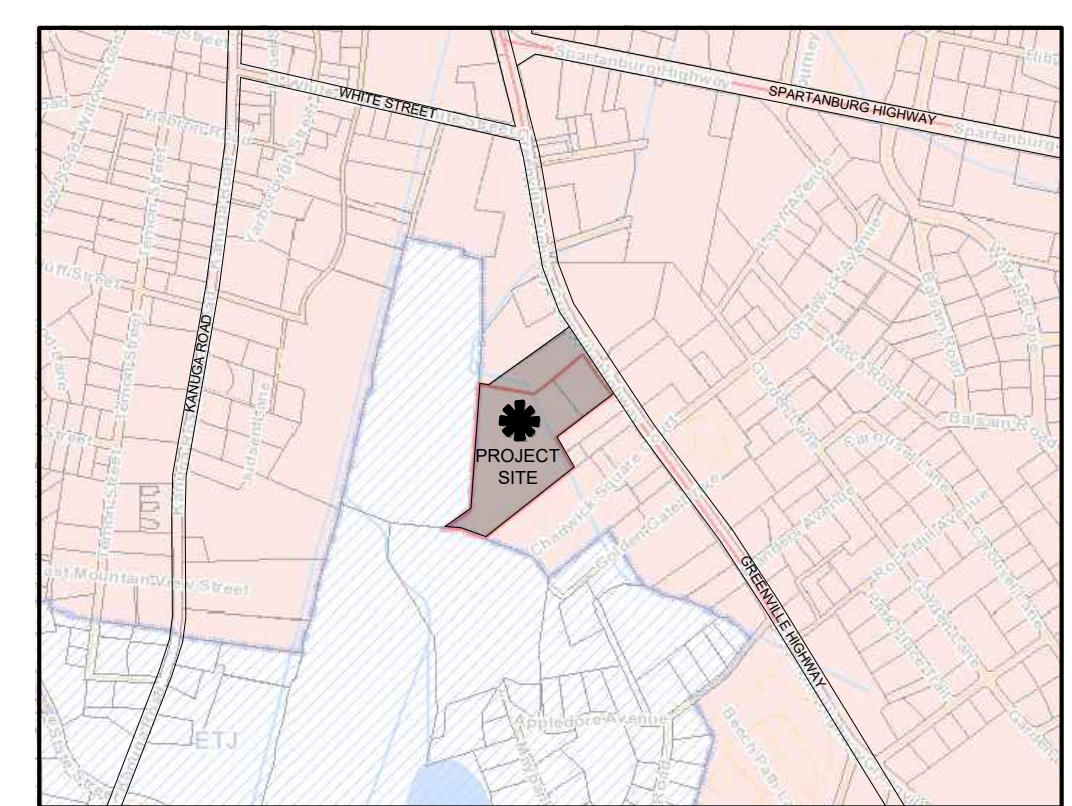
NOT FOR CONSTRUCTION

715 GREENVILLE HWY MULTI-FAMILY PRELIMINARY SITE PLAN

PLAN SET

#	DATE	DESCRIPTION
1	7.29.24	CZD SUBMITTAL
2	11.4.24	P&Z SUBMITTAL

SHEET NO. L-201



VICINITY MAP

PROJECT ADDRESS: 715 GREENVILLE HWY HENDERSONVILLE, NC

TOTAL PROPERTY AREA: 9.01 ACRES (392,475.6 SF)

SITE COVERAGE: BUILDING GROSS FLOOR AREA: 231,037 SF PERCENTAGE OF TOTAL SITE: 14.8%

BUILDING FOOTPRINT: 58,367 SF PERCENTAGE OF TOTAL SITE: 8.0%

BUILDING HEIGHT: 52'0" (SEE ARCHITECTURAL PLANS)

PROPOSED NUMBER OF UNITS: 185 UNITS PROPOSED DENSITY: 20.5 UNITS / AC

STREET AND PARKING SQUARE FOOTAGE: 102,231 SF STREET AND PARKING PERCENTAGE OF SITE: 26% OF SITE

LANDSCAPE ARCHITECT: ROB DULL, PLA FIND THE LINE STUDIOS, PLLC ASHEVILLE, NC 828.674.5592

PROPERTY OWNER: SOUTH MARKET, LLC (RICHARD HERMAN) 2809 HAMPTON DRIVE HENDERSONVILLE, NC 28792

DEVELOPER: TRAVIS FOWLER FIRST VICTORY INC 542 S CALDWELL STREET BREVARD, NC 28712 TRAVIS@FIRSTVICTORY.COM 828-884-7934

CIVIL ENGINEER: JOHN KINNAIRD, PE BROOKS ENGINEERING ASSOC. 17 ARLINGTON ST. ASHEVILLE, NC 28801 828.232.4700

ZONING: CURRENT ZONING: PCZ PROPOSED ZONING: URBAN RESIDENTIAL CONDITIONAL ZONING DISTRICT

SETBACKS: FRONT: 40' NCDOT RIGHT-OF-WAY\* \*14' MINIMUM FRONT SETBACK FROM BACK OF EXISTING OR PROPOSED CURBS, WHICHEVER IS GREATER. IF THE EXISTING RIGHT-OF-WAY IS GREATER THAN THE MINIMUM SETBACK FROM THE BACK OF EXISTING OR PROPOSED CURBS, THE RIGHT-OF-WAY LINE WILL BECOME MINIMUM SETBACK. SIDE: 5' REAR: 10'

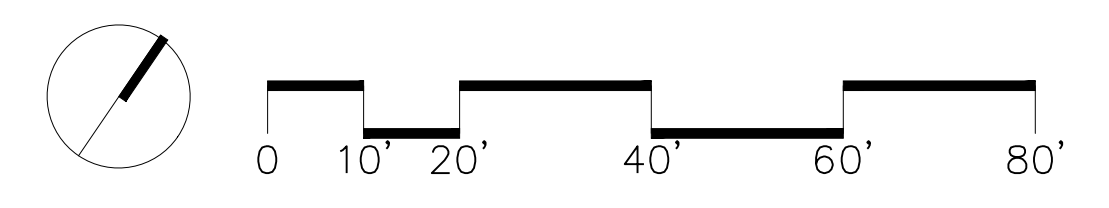
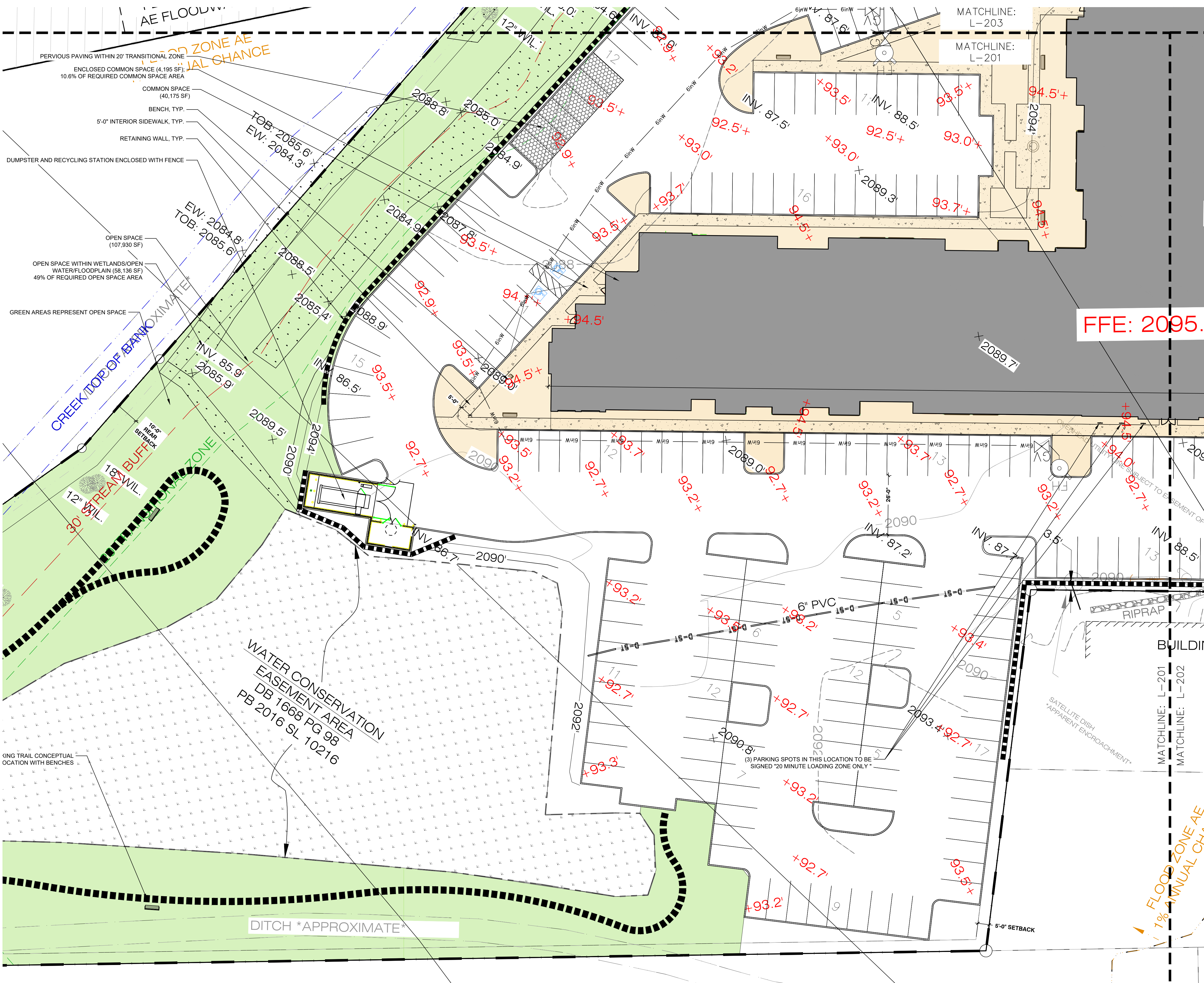
OPEN SPACE REQUIREMENTS: OPEN SPACE REQUIRED: 117,743 SF (30%) OPEN SPACE PROVIDED: 118,725 SF (30.3%)

OPEN SPACE WITHIN WETLANDS/OPEN WATER/FLOODPLAIN (58,136 SF); 49% OF REQUIRED OPEN SPACE AREA

COMMON SPACE REQUIREMENTS: COMMON SPACE REQUIRED: 39,248 SF (10%) COMMON SPACE PROVIDED: 44,372 SF (11.3%)

ENCLOSED GROUND FLOOR LEVEL COMMON SPACE (4,195 SF); 9.5% OF REQUIRED COMMON SPACE AREA

PARKING REQUIREMENTS: PARKING REQUIRED AT 1 PER EACH DWELLING UNIT OR 1.5 PER EACH DWELLING UNIT CONTAINING THREE OR MORE BEDROOMS: NUMBER OF UNITS: 185 UNITS (170 1/2 BEDROOM & 15 3 BEDROOM) PARKING REQUIRED: 193 SPACES PARKING PROVIDED: 288 SPACES (8 HANDICAPPED PARKING SPACES)



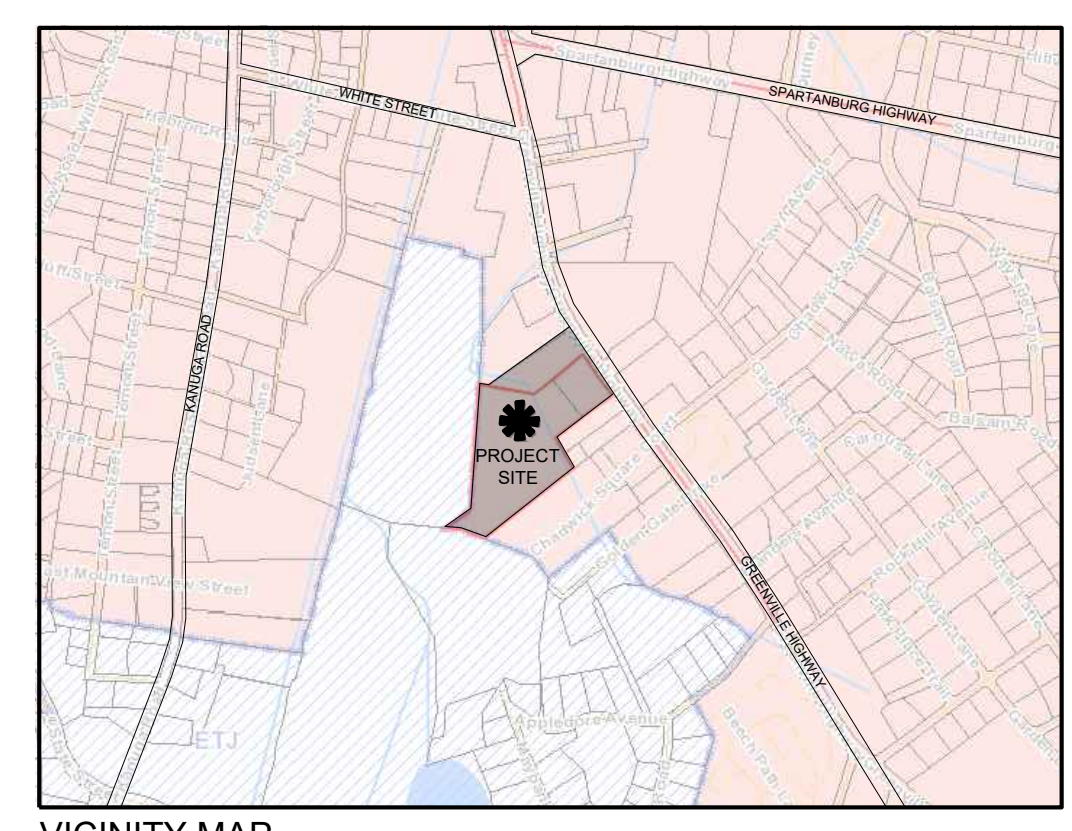




CONSULTANTS

NOT FOR CONSTRUCTION

715 GREENVILLE HWY MULTI-FAMILY PREPARED FOR: FIRST VICTORY INC. PRELIMINARY SITE PLAN



VICINITY MAP

PROJECT ADDRESS: 715 GREENVILLE HWY HENDERSONVILLE, NC

TOTAL PROPERTY AREA: 9.01 ACRES (392,475.6 SF)

SITE COVERAGE: BUILDING GROSS FLOOR AREA: 231,037 SF PERCENTAGE OF TOTAL SITE: 14.8%

BUILDING FOOTPRINT: 58,367 SF PERCENTAGE OF TOTAL SITE: 14.8%

BUILDING HEIGHT: 52'0" (SEE ARCHITECTURAL PLANS)

PROPOSED NUMBER OF UNITS: 185 UNITS PROPOSED DENSITY: 20.5 UNITS / AC

STREET AND PARKING SQUARE FOOTAGE: 102,231 SF STREET AND PARKING PERCENTAGE OF SITE: 26% OF SITE

LANDSCAPE ARCHITECT: ROB DULL, PLA FIND THE LINE STUDIOS, PLLC ASHEVILLE, NC 828.674.5592

PROPERTY OWNER: SOUTH MARKET, LLC (RICHARD HERMAN) 2809 HAMPTON DRIVE HENDERSONVILLE, NC 28792

DEVELOPER: TRAVIS FOWLER FIRST VICTORY INC 542 S CALDWELL STREET BREVARD, NC 28712 TRAVIS@FIRSTVICTORY.COM 828-884-7934

CIVIL ENGINEER: JOHN KINNAIRD, PE BROOKS ENGINEERING ASSOC. 17 ARLINGTON ST. ASHEVILLE, NC 28801 828.232.4700

ZONING: CURRENT ZONING: PCZ PROPOSED ZONING: URBAN RESIDENTIAL CONDITIONAL ZONING DISTRICT

SETBACKS: FRONT: 40' NCDOT RIGHT-OF-WAY\* \*14' MINIMUM FRONT SETBACK FROM BACK OF EXISTING OR PROPOSED CURBS, WHICHEVER IS GREATER. IF THE EXISTING RIGHT-OF-WAY IS GREATER THAN THE MINIMUM SETBACK FROM THE BACK OF EXISTING OR PROPOSED CURBS, THE RIGHT-OF-WAY LINE WILL BECOME MINIMUM SETBACK. SIDE: 5' REAR: 10'

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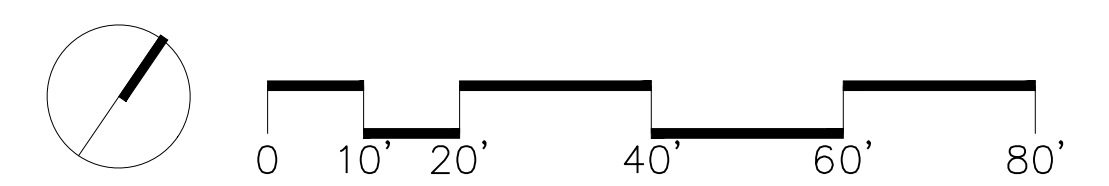
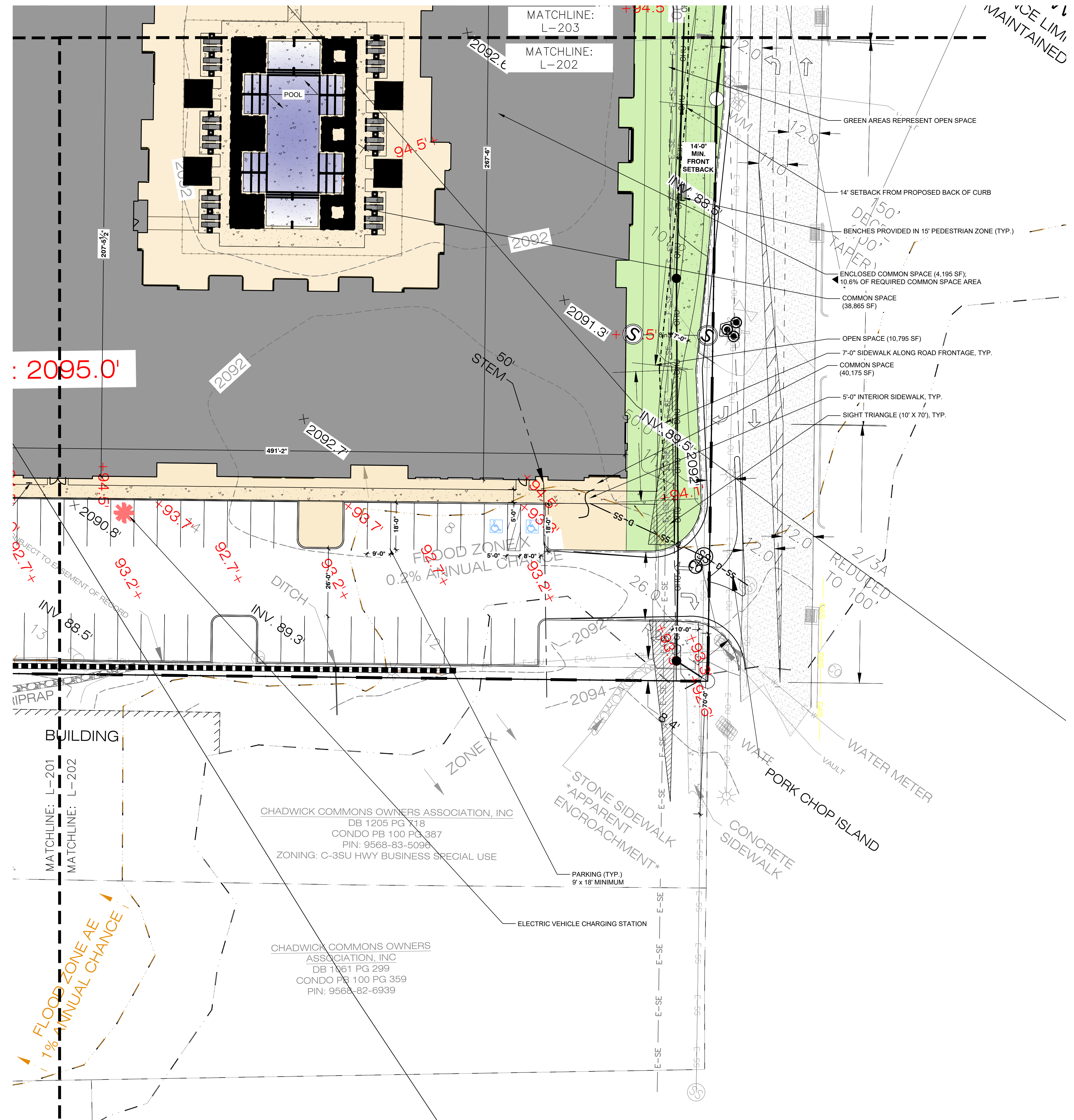
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PLAN SET

Table with 3 columns: #, DATE, DESCRIPTION. Row 1: 1, 7.29.24, CZD SUBMITTAL. Row 2: 2, 11.4.24, P&Z SUBMITTAL.

SHEET NO.

L-202

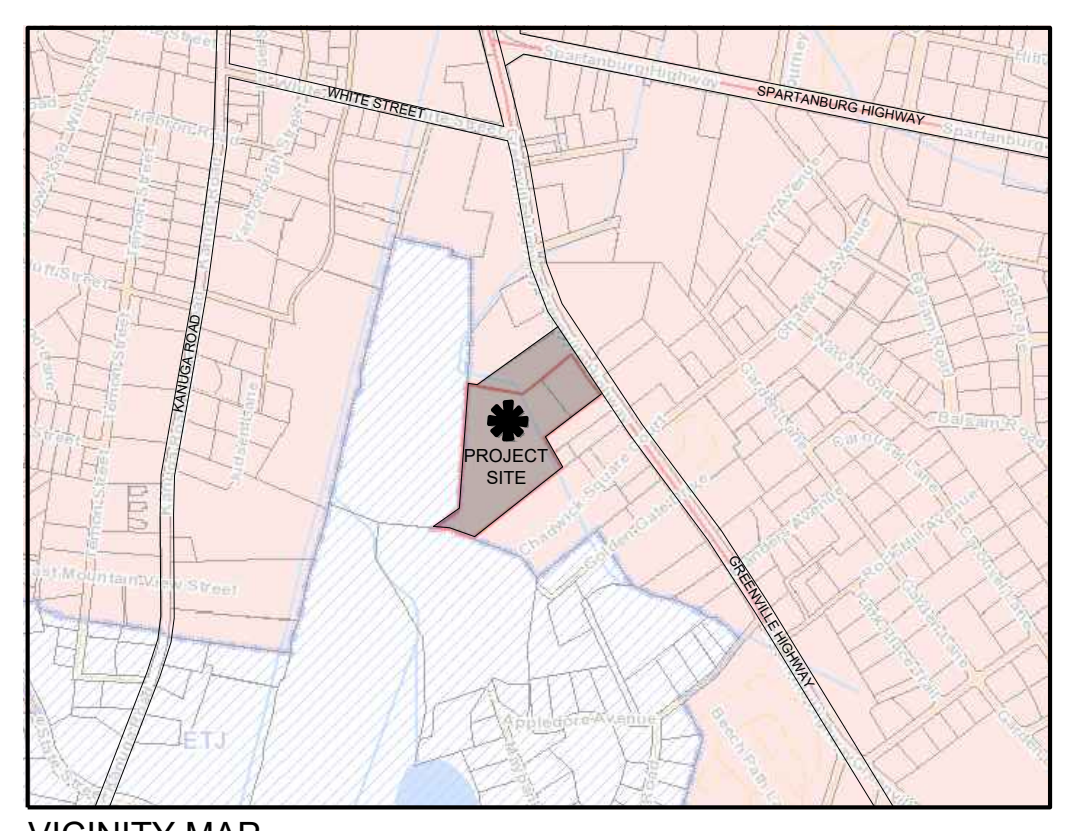




CONSULTANTS

NOT FOR CONSTRUCTION

715 GREENVILLE HWY MULTI-FAMILY PRELIMINARY SITE PLAN  
715 GREENVILLE HWY HENDERSONVILLE, NC  
PREPARED FOR: FIRST VICTORY INC.



VICINITY MAP

PROJECT ADDRESS:  
715 GREENVILLE HWY  
HENDERSONVILLE, NC

TOTAL PROPERTY AREA:  
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828-884-7934

CIVIL ENGINEER:  
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BROOKS ENGINEERING ASSOC.  
17 ARLINGTON ST.  
ASHEVILLE, NC 28801  
828.232.4700

ZONING:  
CURRENT ZONING: PCD  
PROPOSED ZONING: URBAN RESIDENTIAL CONDITIONAL ZONING DISTRICT

SETBACKS:  
FRONT: 40' NCDOT RIGHT-OF-WAY\*  
\*14' MINIMUM FRONT SETBACK FROM BACK OF EXISTING OR PROPOSED CURBS, WHICHEVER IS GREATER. IF THE EXISTING RIGHT-OF-WAY IS GREATER THAN THE MINIMUM SETBACK FROM THE BACK OF EXISTING OR PROPOSED CURBS, THE RIGHT-OF-WAY LINE WILL BECOME MINIMUM SETBACK.  
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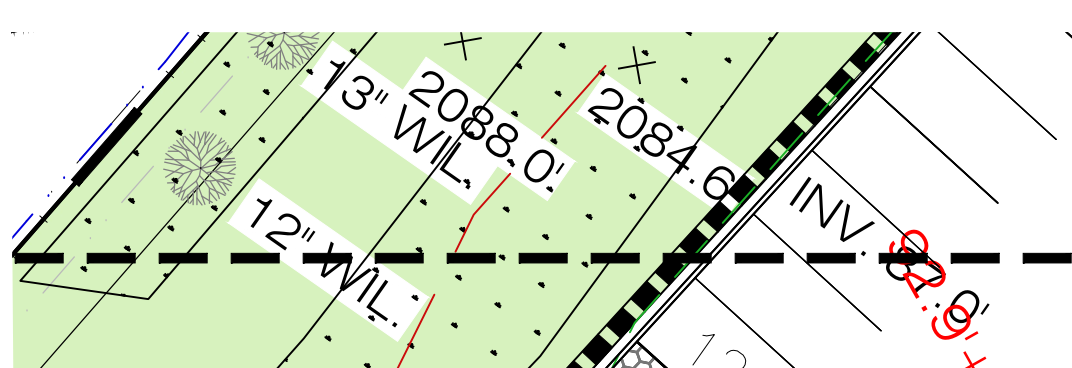
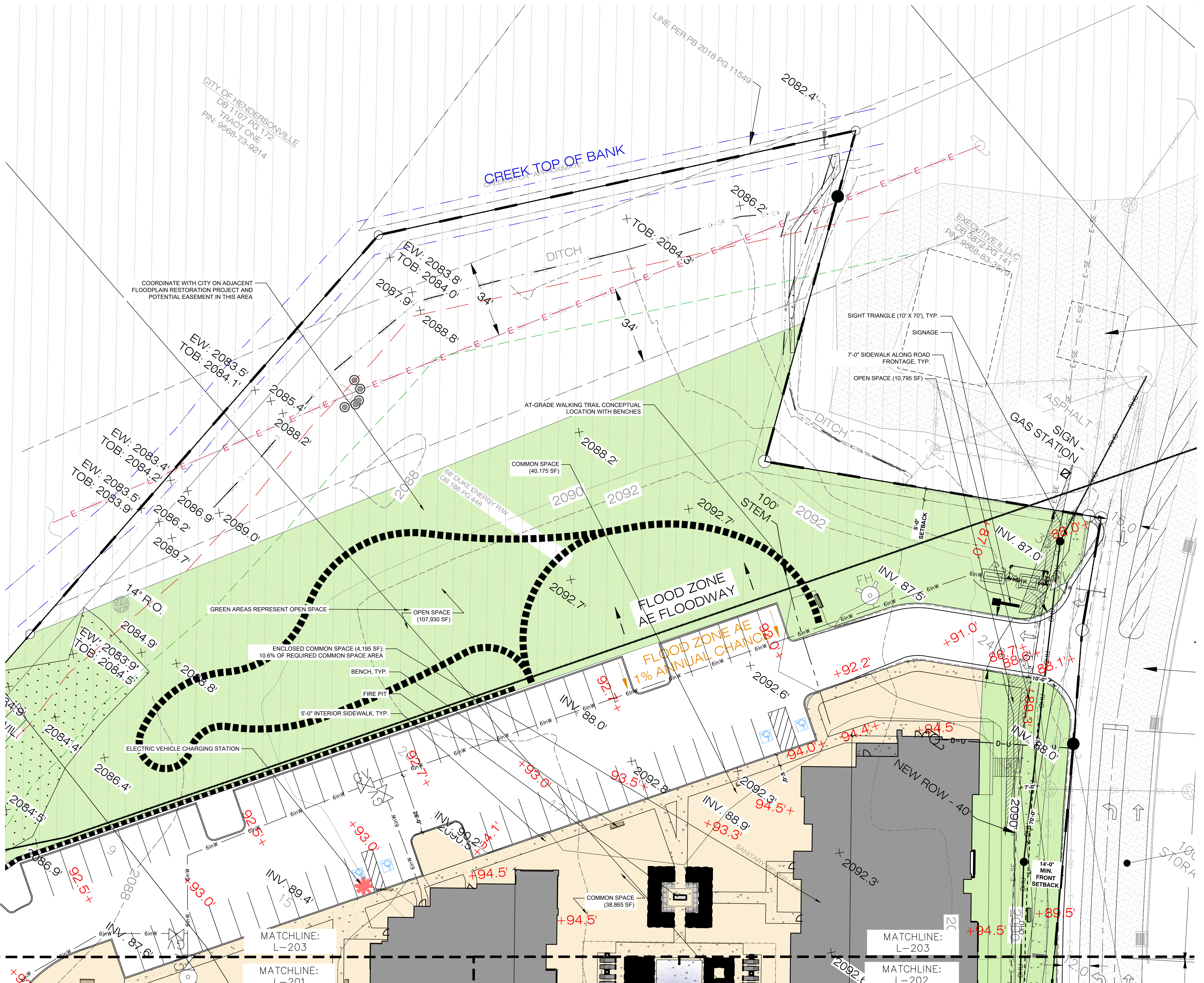
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OPEN SPACE WITHIN WETLANDS/OPEN WATER/FLOODPLAIN (58,136 SF);  
49% OF REQUIRED OPEN SPACE AREA

COMMON SPACE REQUIREMENTS:  
COMMON SPACE REQUIRED: 39,248 SF (10%)  
COMMON SPACE PROVIDED: 44,372 SF (11.3%)

ENCLOSED GROUND FLOOR LEVEL COMMON SPACE (4,195 SF);  
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PLAN SET

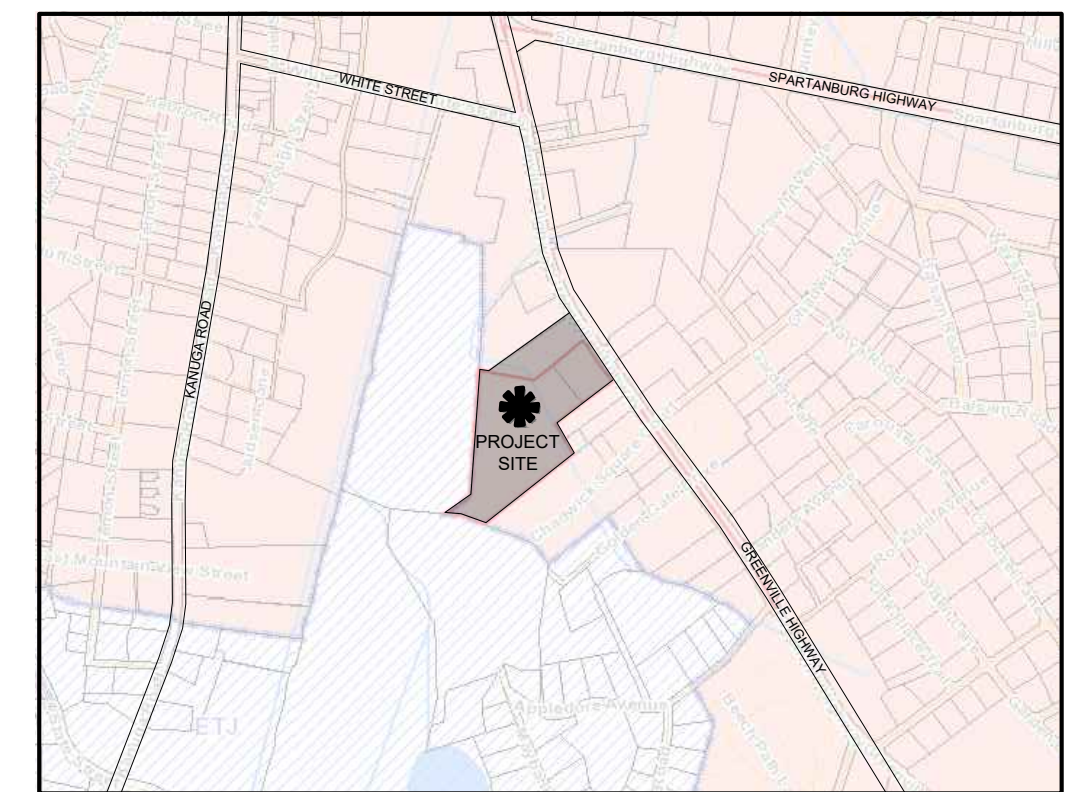
#	DATE	DESCRIPTION
1	7.29.24	CZD SUBMITTAL
2	11.4.24	P&Z SUBMITTAL

SHEET NO. L-203



CONSULTANTS

NOT FOR CONSTRUCTION



VICINITY MAP

PROJECT ADDRESS: 715 GREENVILLE HWY HENDERSONVILLE, NC

TOTAL PROPERTY AREA: 9.01 ACRES (392,475.6 SF)

LANDSCAPE ARCHITECT: ROB DULL, PLA FIND THE LINE STUDIOS, PLLC ASHEVILLE, NC 828.674.5592

PROPERTY OWNER: SOUTH MARKET, LLC (RICHARD HERMAN) 2809 HAMPTON DRIVE HENDERSONVILLE, NC 28792

DEVELOPER: TRAVIS FOWLER FIRST VICTORY INC 542 S CALDWELL STREET BREVARD, NC 28712 TRAVIS@FIRSTVICTORY.COM 828-884-7934

CIVIL ENGINEER: JOHN KINNAIRD, PE BROOKS ENGINEERING ASSOC. 17 ARLINGTON ST. ASHEVILLE, NC 28801 828.232.4700

OPEN SPACE REQUIREMENTS: OPEN SPACE REQUIRED: 117,743 SF (30%) OPEN SPACE PROVIDED: 118,725 SF (30.3%)

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COMMON SPACE REQUIREMENTS: COMMON SPACE REQUIRED: 39,248 SF (10%) COMMON SPACE PROVIDED: 44,372 SF (11.3%)

ENCLOSED GROUND FLOOR LEVEL COMMON SPACE (4,195 SF); 9.5% OF REQUIRED COMMON SPACE AREA

LANDSCAPE REQUIREMENTS:

VEHICLE USE AREA (VUA): 1 TREE AND 2 SHRUBS PER 3,000 SF TOTAL VUA: 102,231 SF TREES REQUIRED: 35 TREES TREES PROVIDED: 74 TREES SHRUBS REQUIRED: 69 SHRUBS SHRUBS PROVIDED: 73 SHRUBS

PLANTING STRIPS (PS): 1 TREE & 5 SHRUBS PER 40LF TOTAL LF: 374 LF TREES REQUIRED: 10 TREES TREES PROVIDED: 11 TREES SHRUBS REQUIRED: 47 SHRUBS SHRUBS PROVIDED: 62 SHRUBS

STREET TREES (ST): 1 TREE PER 35 LF OF PROPERTY ABUTTING A STREET TOTAL LF: 422 LF (715 GREENVILLE HWY) TREES REQUIRED: 13 (10 LARGE MATURING TREES / 3 MEDIUM MATURING) TREES PROVIDED: 10 LARGE-MATURING TREES / 5 MEDIUM MATURING TREE

COMMON SPACE TREE PLANTINGS (CS): 1 TREE AND 5 SHRUBS PER 1,200 SF TOTAL COMMON SPACE PROVIDED: 44,372 SF TOTAL TREE PLANTINGS REQUIRED: 37 TOTAL TREE PLANTINGS PROPOSED: 84 TOTAL SHRUB PLANTINGS REQUIRED: 185 TOTAL SHRUB PLANTINGS PROVIDED: 250

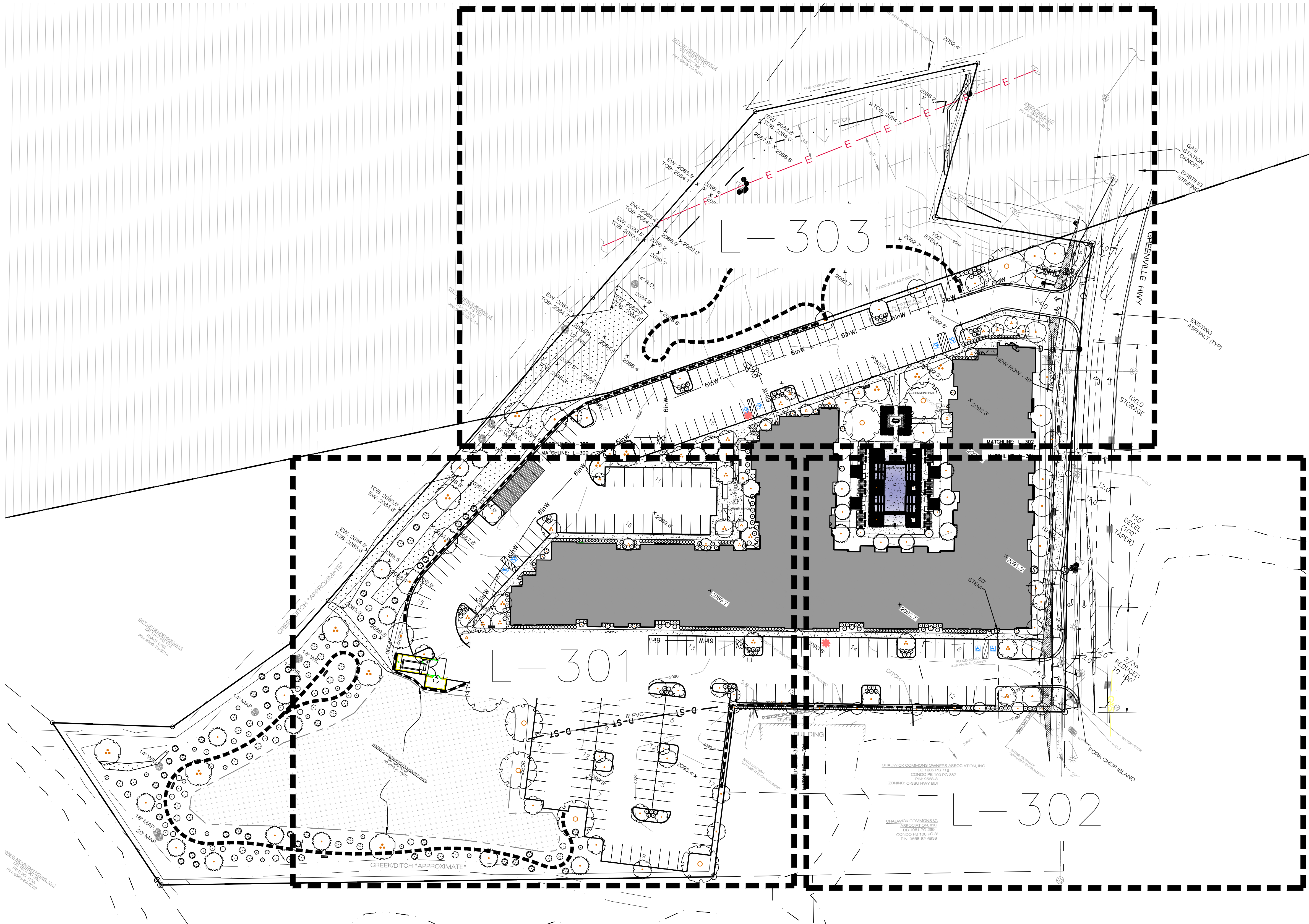
OPEN SPACE LANDSCAPING (OS): 1 TREE AND 5 SHRUBS PER 4,000 SF TOTAL OPEN SPACE PROVIDED: 118,725 SF TOTAL TREE PLANTINGS REQUIRED: 30 TOTAL TREE PLANTINGS PROPOSED: 32 TOTAL SHRUB PLANTINGS REQUIRED: 148 TOTAL SHRUB PLANTINGS PROVIDED: 150

COMPLIANCE NOTES

- 1. ALL DRIVEWAY AND ENTRANCE CONNECTIONS ARE SUBJECT TO LOCAL AGENCY APPROVALS. ALL SIDEWALKS SHALL PROVIDE ADEQUATE HANDICAP ACCESSIBILITY AT CROSSWALKS.
2. ANY PLANT MATERIAL TO BE INSTALLED IN THE R.O.W. SHALL BE APPROVED WITH AN ENCROACHMENT AGREEMENT WITH NCDOT.
3. LANDSCAPE CONTRACTOR MUST COORDINATE THE LOCATION OF THE TREES TO AVOID EXISTING AND PROPOSED SEWERLINES AND SEWERLINE EASEMENTS. NO TREES ARE ALLOWED TO BE PLANTED IN SUCH EASEMENTS.
4. ALL PROPOSED PARKING SPACES ARE WITHIN 45' OF A VUA TREE PLANTING AS REQUIRED.
5. 50% OFF ALL REQUIRED VUA PLANTINGS ARE LOCATED WITHIN PROPOSED LANDSCAPE ISLANDS AS REQUIRED.

PLANTING LEGEND

VUA = VEHICULAR USE AREA REQUIREMENT
PS = PLANTING STRIP REQUIREMENT
ST = STREET TREE REQUIREMENT
CS = COMMON SPACE REQUIREMENT
OS = OPEN SPACE REQUIREMENT
# OF PLANTS Plant Description
3 Large Deciduous Tree (ST)
ZONING USE ABBREVIATION (SEE LEGEND)



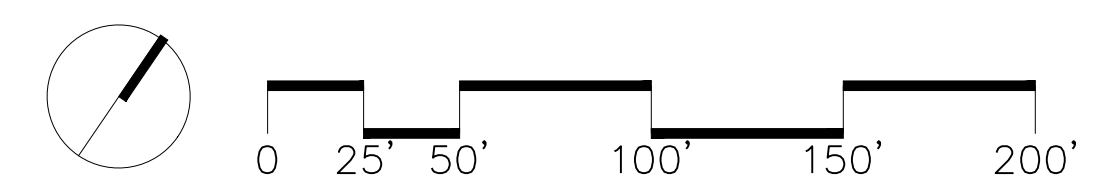
715 GREENVILLE HWY MULTI-FAMILY PREPARED FOR: FIRST VICTORY INC. OVERALL LANDSCAPE PLAN

PLAN SET

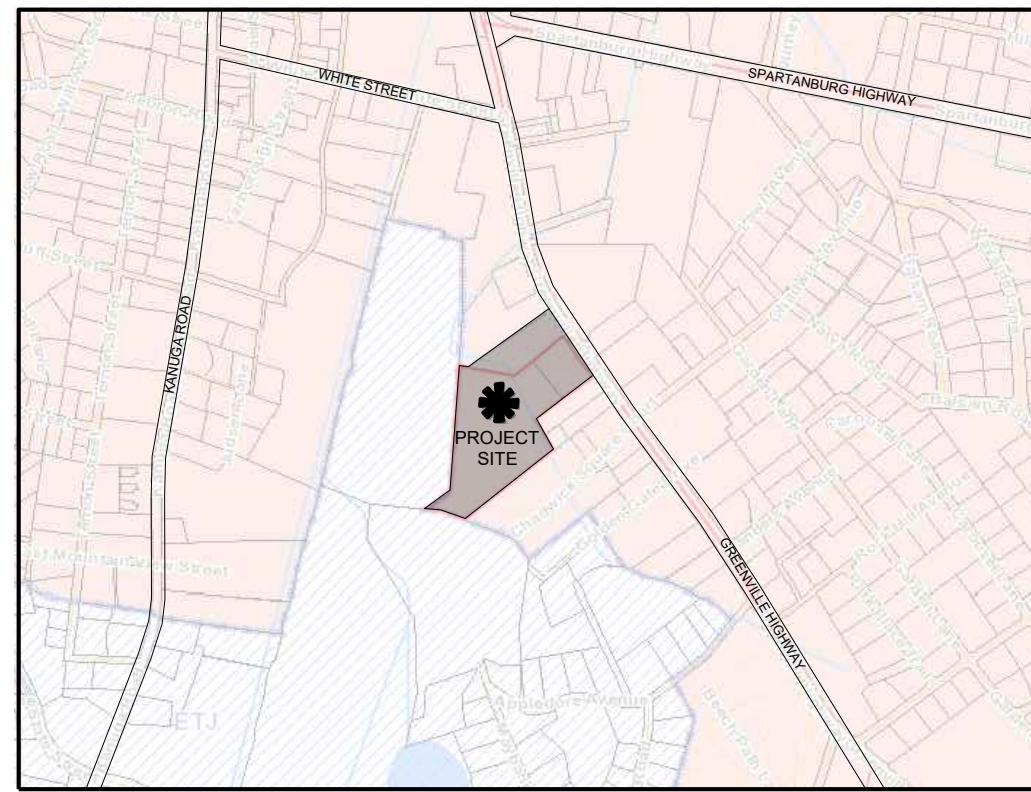
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SHEET NO.

L-300







VICINITY MAP

PROJECT ADDRESS:  
715 GREENVILLE HWY  
HENDERSONVILLE, NC

TOTAL PROPERTY AREA:  
9.01 ACRES (392,475.6 SF)

LANDSCAPE ARCHITECT:  
ROB DULL, PLA  
FIND THE LINE STUDIOS, PLLC  
ASHEVILLE, NC  
828.674.5592

PROPERTY OWNER:  
SOUTH MARKET, LLC (RICHARD HERMAN)  
2809 HAMPTON DRIVE  
HENDERSONVILLE, NC 28792

DEVELOPER:  
TRAVIS FOWLER  
FIRST VICTORY INC  
542 S CALDWELL STREET  
BREVARD, NC 28712  
TRAVIS@FIRSTVICTORY.COM  
828-884-7934

CIVIL ENGINEER:  
JOHN KINNAIRD, PE  
BROOKS ENGINEERING ASSOC.  
17 ARLINGTON ST.  
ASHEVILLE, NC 28801  
828.232.4700

OPEN SPACE REQUIREMENTS:  
OPEN SPACE REQUIRED: 117,743 SF (30%)  
OPEN SPACE PROVIDED: 118,725 SF (30.3%)

OPEN SPACE WITHIN WETLANDS/OPEN WATER/FLOODPLAIN (58,136 SF);  
49% OF REQUIRED OPEN SPACE AREA

COMMON SPACE REQUIREMENTS:  
COMMON SPACE REQUIRED: 39,248 SF (10%)  
COMMON SPACE PROVIDED: 44,372 SF (11.3%)

ENCLOSED GROUND FLOOR LEVEL COMMON SPACE (4,195 SF);  
9.5% OF REQUIRED COMMON SPACE AREA

LANDSCAPE REQUIREMENTS:

VEHICLE USE AREA (VUA):  
1 TREE AND 2 SHRUBS PER 3,000 SF  
TOTAL VUA: 102,231 SF  
TREES REQUIRED: 35 TREES  
TREES PROVIDED: 74 TREES  
SHRUBS REQUIRED: 69 SHRUBS  
SHRUBS PROVIDED: 73 SHRUBS

PLANTING STRIPS (PS):  
1 TREE & 5 SHRUBS PER 40LF  
TOTAL LF: 374 LF  
TREES REQUIRED: 10 TREES  
TREES PROVIDED: 11 TREES  
SHRUBS REQUIRED: 47 SHRUBS  
SHRUBS PROVIDED: 62 SHRUBS

STREET TREES (ST):  
1 TREE PER 35 LF OF PROPERTY ABUTTING A STREET  
TOTAL LF: 422 LF (715 GREENVILLE HWY)  
TREES REQUIRED: 13 (10 LARGE MATURING TREES / 3 MEDIUM MATURING)  
TREES PROVIDED: 10 LARGE-MATURING TREES / 5 MEDIUM MATURING TREE

COMMON SPACE TREE PLANTINGS (CS):  
1 TREE AND 5 SHRUBS PER 1,200 SF  
TOTAL COMMON SPACE PROVIDED: 44,372 SF  
TOTAL TREE PLANTINGS REQUIRED: 37  
TOTAL TREE PLANTINGS PROVIDED: 84  
TOTAL SHRUB PLANTINGS REQUIRED: 185  
TOTAL SHRUB PLANTINGS PROVIDED: 250

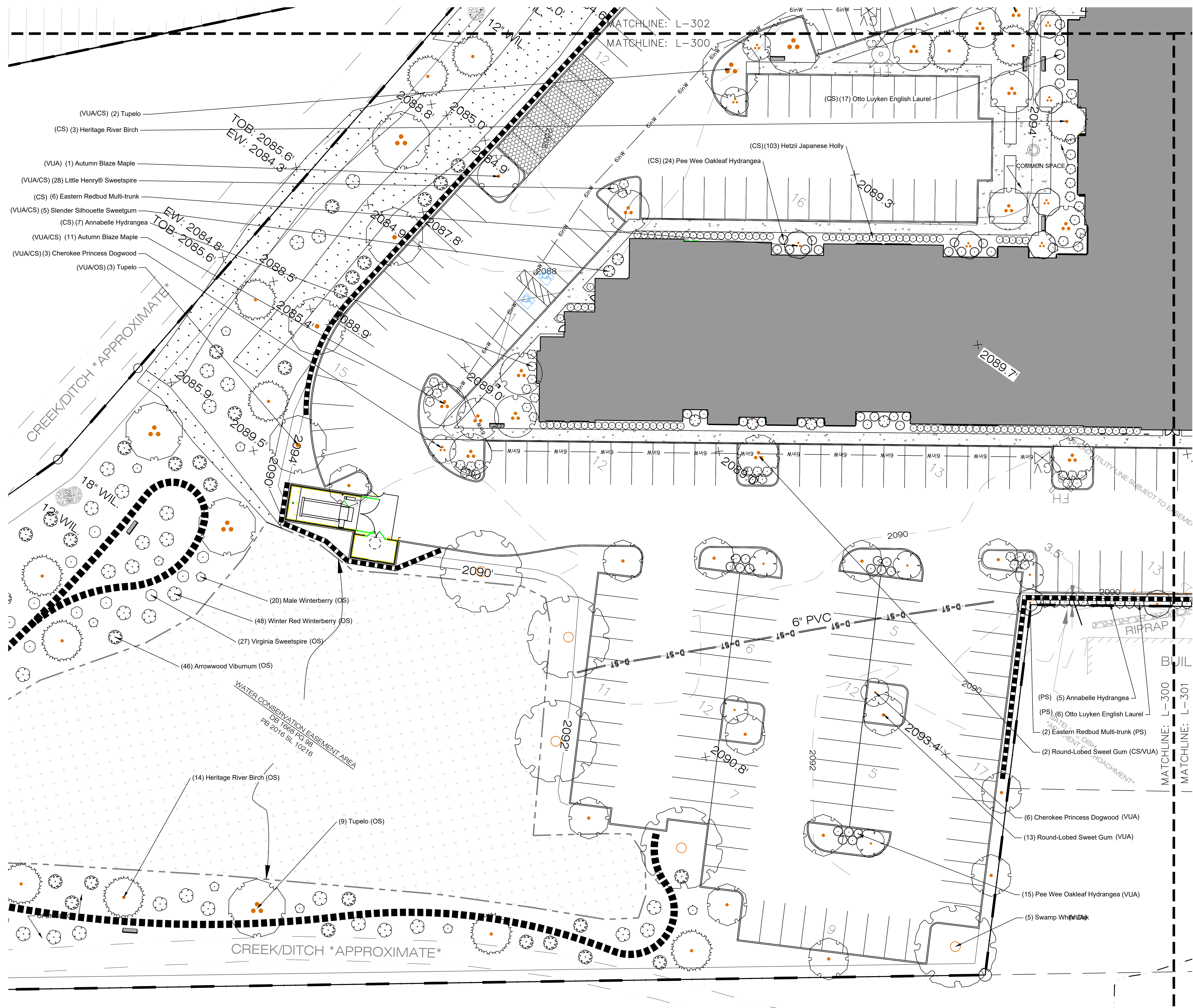
OPEN SPACE LANDSCAPING (OS):  
1 TREE AND 5 SHRUBS PER 4,000 SF  
TOTAL OPEN SPACE PROVIDED: 118,725 SF  
TOTAL TREE PLANTINGS REQUIRED: 30  
TOTAL TREE PLANTINGS PROPOSED: 32  
TOTAL SHRUB PLANTINGS REQUIRED: 148  
TOTAL SHRUB PLANTINGS PROVIDED: 150

PLANTING LEGEND

VUA = VEHICULAR USE AREA REQUIREMENT  
PS = PLANTING STRIP REQUIREMENT  
ST = STREET TREE REQUIREMENT  
SB = STREET BUFFER REQUIREMENT  
CS = COMMON SPACE REQUIREMENT  
OS = OPEN SPACE REQUIREMENT

# OF PLANTS	Plant Description
3	Large Deciduous Tree (ST)
	ZONING USE ABBREVIATION (SEE LEGEND)

- COMPLIANCE NOTES
- ALL DRIVEWAY AND ENTRANCE CONNECTIONS ARE SUBJECT TO LOCAL AGENCY APPROVALS. ALL SIDEWALKS SHALL PROVIDE ADEQUATE HANDICAP ACCESSIBILITY AT CROSSWALKS.
  - ANY PLANT MATERIAL TO BE INSTALLED IN THE R.O.W. SHALL BE APPROVED WITH AN ENCROACHMENT AGREEMENT WITH NCDOT.
  - LANDSCAPE CONTRACTOR MUST COORDINATE THE LOCATION OF THE TREES TO AVOID EXISTING AND PROPOSED SEWER LINES AND SEWERLINE EASEMENTS. NO TREES ARE ALLOWED TO BE PLANTED IN SUCH EASEMENTS.



CONSULTANTS

NOT FOR CONSTRUCTION

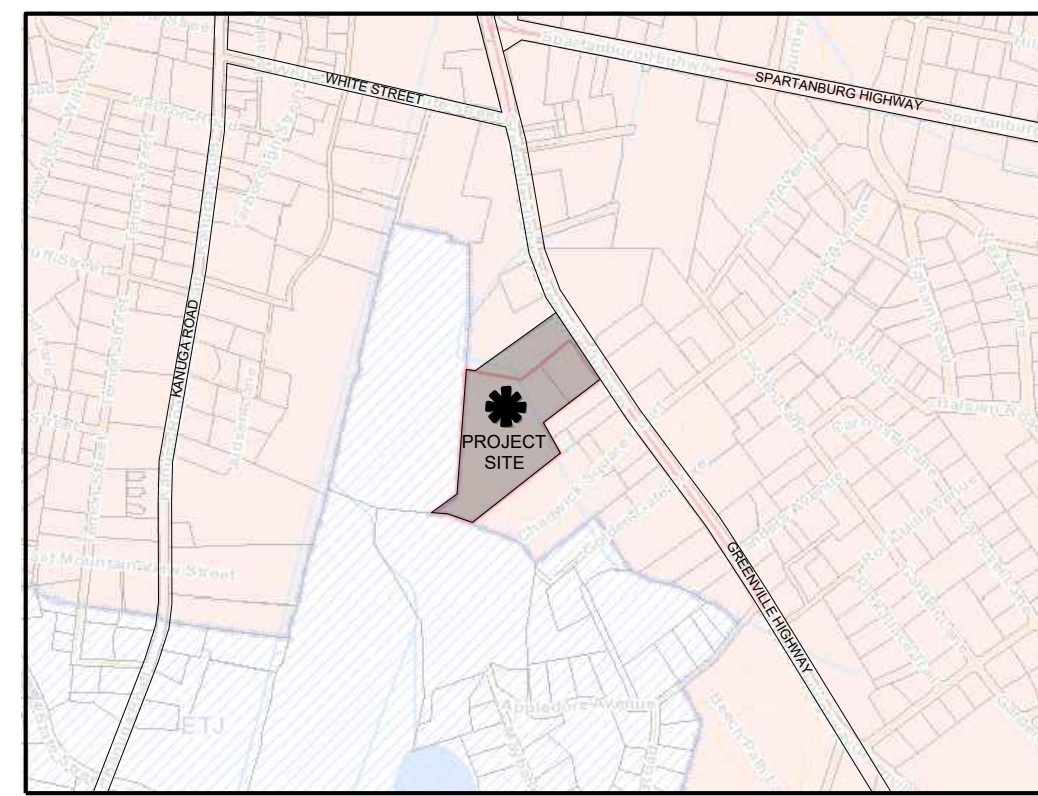
715 GREENVILLE HWY MULTI-FAMILY  
715 GREENVILLE HWY  
HENDERSONVILLE, NC  
PREPARED FOR:  
FIRST VICTORY INC.  
PRELIMINARY LANDSCAPE PLAN

PLAN SET

#	DATE	DESCRIPTION
1	7.29.24	C2D SUBMITTAL
2	11.4.24	P&Z SUBMITTAL

SHEET NO.  
L-301





VICINITY MAP

PROJECT ADDRESS: 715 GREENVILLE HWY HENDERSONVILLE, NC

TOTAL PROPERTY AREA: 9.01 ACRES (392,475.6 SF)

LANDSCAPE ARCHITECT: ROB DULL, PLA FIND THE LINE STUDIOS, PLLC ASHEVILLE, NC 828.674.5592

PROPERTY OWNER: SOUTH MARKET, LLC (RICHARD HERMAN) 2809 HAMPTON DRIVE HENDERSONVILLE, NC 28792

DEVELOPER: TRAVIS FOWLER FIRST VICTORY INC 542 S CALDWELL STREET BREVARD, NC 28712 TRAVIS@FIRSTVICTORY.COM 828-884-7934

CIVIL ENGINEER: JOHN KINNAIRD, PE BROOKS ENGINEERING ASSOC. 17 ARLINGTON ST. ASHEVILLE, NC 28801 828.232.4700

OPEN SPACE REQUIREMENTS: OPEN SPACE REQUIRED: 117,743 SF (30%) OPEN SPACE PROVIDED: 118,725 SF (30.3%)

OPEN SPACE WITHIN WETLANDS/OPEN WATER/FLOODPLAIN (58,136 SF): 49% OF REQUIRED OPEN SPACE AREA

COMMON SPACE REQUIREMENTS: COMMON SPACE REQUIRED: 39,248 SF (10%) COMMON SPACE PROVIDED: 44,372 SF (11.3%)

ENCLOSED GROUND FLOOR LEVEL COMMON SPACE (4,195 SF): 9.5% OF REQUIRED COMMON SPACE AREA

LANDSCAPE REQUIREMENTS:

VEHICLE USE AREA (VUA): 1 TREE AND 2 SHRUBS PER 3,000 SF TOTAL VUA: 102,231 SF TREES REQUIRED: 35 TREES TREES PROVIDED: 74 TREES SHRUBS REQUIRED: 69 SHRUBS SHRUBS PROVIDED: 73 SHRUBS

PLANTING STRIPS (PS): 1 TREE & 5 SHRUBS PER 40LF TOTAL LF: 374 LF TREES REQUIRED: 10 TREES TREES PROVIDED: 11 TREES SHRUBS REQUIRED: 47 SHRUBS SHRUBS PROVIDED: 62 SHRUBS

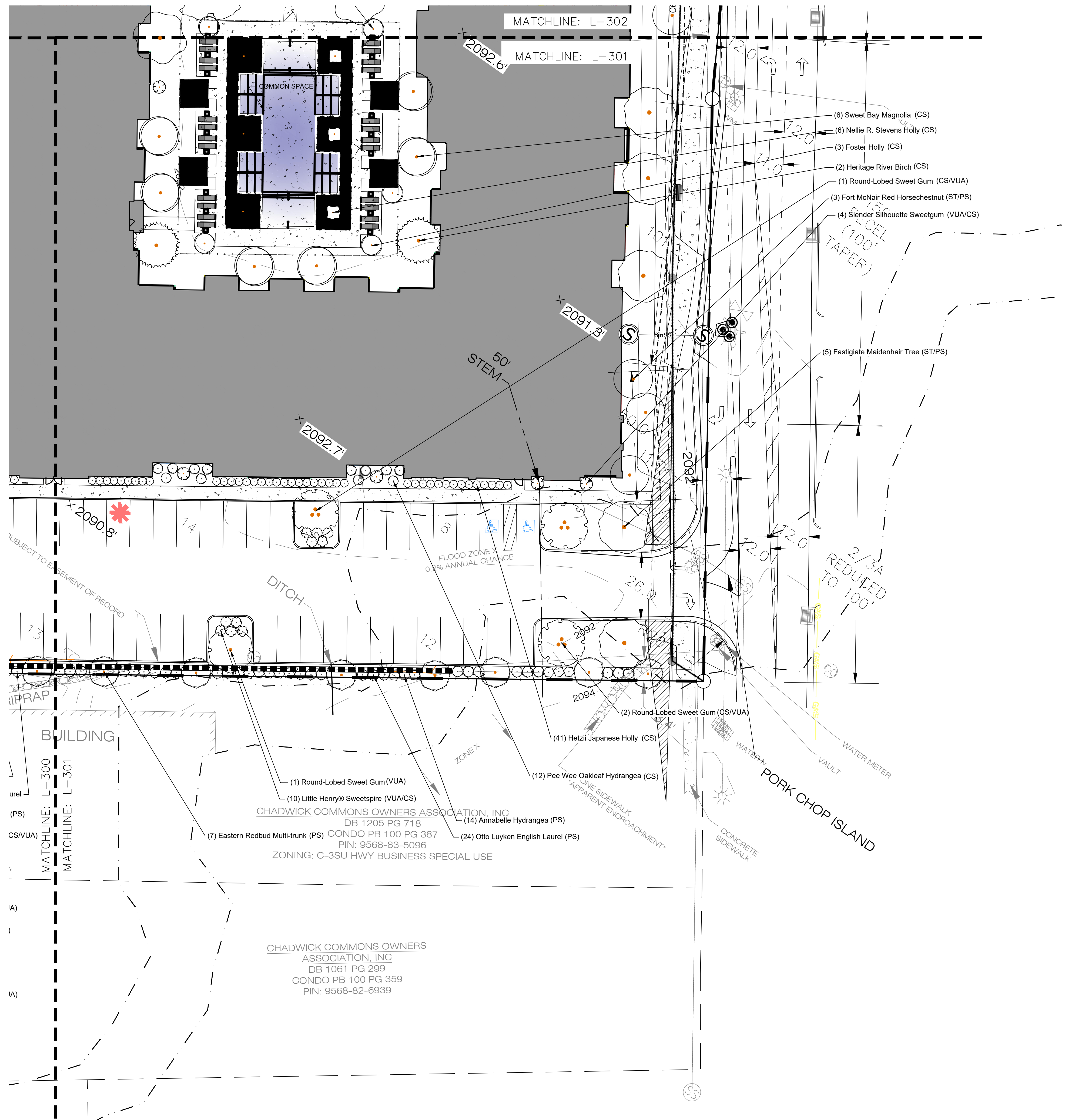
STREET TREES (ST): 1 TREE PER 35 LF OF PROPERTY ABUTTING A STREET TOTAL LF: 422 LF (715 GREENVILLE HWY) TREES REQUIRED: 13 (10 LARGE MATURING TREES / 3 MEDIUM MATURING) TREES PROVIDED: 10 LARGE-MATURING TREES / 5 MEDIUM MATURING TREE

COMMON SPACE TREE PLANTINGS (CS): 1 TREE AND 5 SHRUBS PER 1,200 SF TOTAL COMMON SPACE PROVIDED: 44,372 SF TOTAL TREE PLANTINGS REQUIRED: 37 TOTAL TREE PLANTINGS PROPOSED: 84 TOTAL SHRUB PLANTINGS REQUIRED: 185 TOTAL SHRUB PLANTINGS PROVIDED: 250

OPEN SPACE LANDSCAPING (OS): 1 TREE AND 5 SHRUBS PER 4,000 SF TOTAL OPEN SPACE PROVIDED: 118,725 SF TOTAL TREE PLANTINGS REQUIRED: 30 TOTAL TREE PLANTINGS PROPOSED: 32 TOTAL SHRUB PLANTINGS REQUIRED: 148 TOTAL SHRUB PLANTINGS PROVIDED: 150

PLANTING LEGEND table with columns for # OF PLANTS and Description, listing various tree and shrub types and their abbreviations.

- COMPLIANCE NOTES: 1. ALL DRIVEWAY AND ENTRANCE CONNECTIONS ARE SUBJECT TO LOCAL AGENCY APPROVALS... 2. ANY PLANT MATERIAL TO BE INSTALLED IN THE R.O.W. SHALL BE APPROVED WITH AN ENCROACHMENT AGREEMENT WITH NCDOT. 3. LANDSCAPE CONTRACTOR MUST COORDINATE THE LOCATION OF THE TREES TO AVOID EXISTING AND PROPOSED SEWERLINES AND SEWERLINE EASEMENTS...



CONSULTANTS

NOT FOR CONSTRUCTION

715 GREENVILLE HWY MULTI-FAMILY PREPARED FOR: FIRST VICTORY INC. PRELIMINARY LANDSCAPE PLAN

PLAN SET table with columns for #, DATE, and DESCRIPTION, listing submission dates and types.

SHEET NO. L-302



CONSULTANTS

NOT FOR CONSTRUCTION

LANDSCAPE REQUIREMENTS:

VEHICLE USE AREA (VUA): 1 TREE AND 2 SHRUBS PER 3,000 SF

PLANTING STRIPS (PS): 1 TREE & 5 SHRUBS PER 40LF

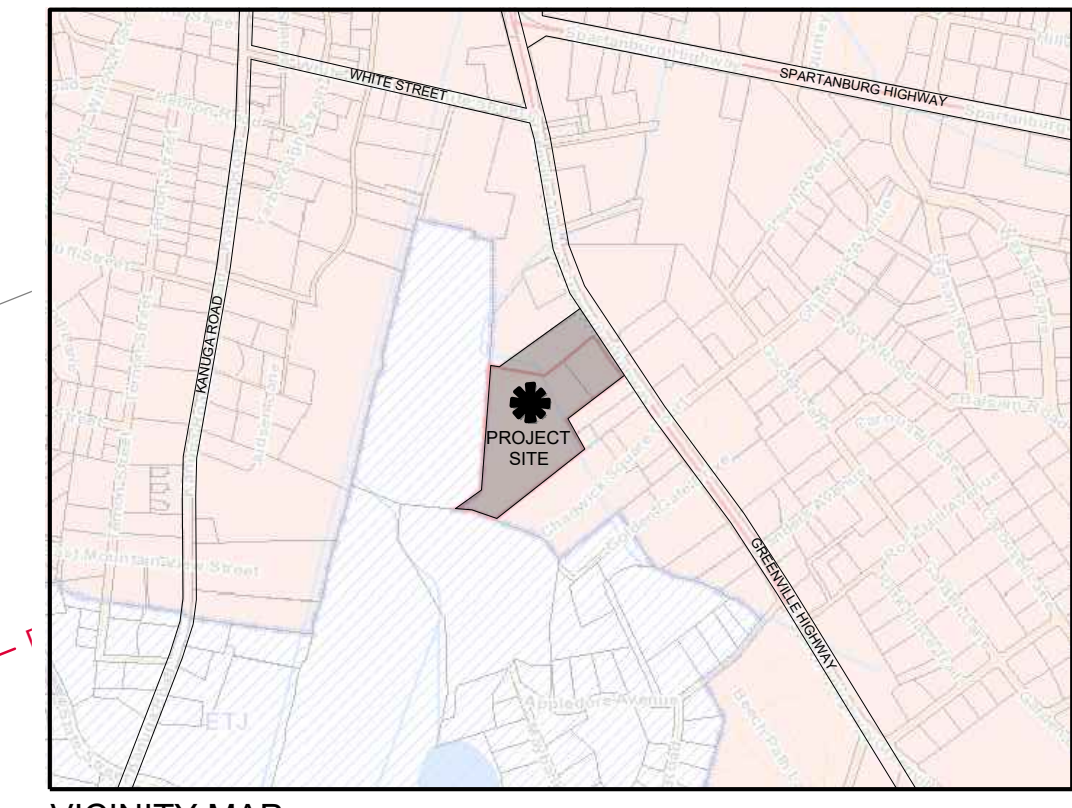
STREET TREES (ST): 1 TREE PER 35 LF OF PROPERTY ABUTTING A STREET

COMMON SPACE TREE PLANTINGS (CS): 1 TREE AND 5 SHRUBS PER 1,200 SF

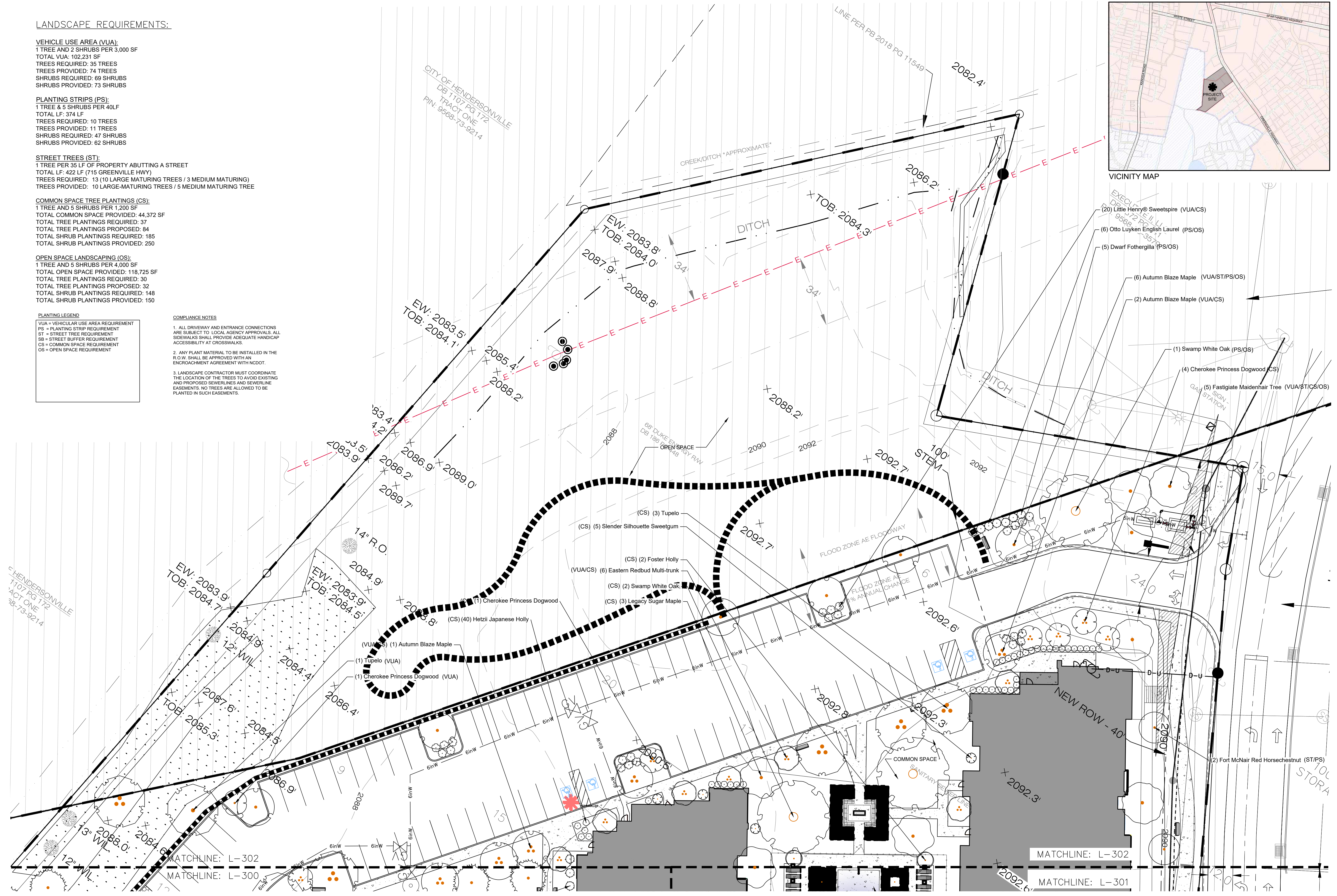
OPEN SPACE LANDSCAPING (OS): 1 TREE AND 5 SHRUBS PER 4,000 SF

PLANTING LEGEND: VUA = VEHICULAR USE AREA REQUIREMENT

COMPLIANCE NOTES: 1. ALL DRIVEWAY AND ENTRANCE CONNECTIONS ARE SUBJECT TO LOCAL AGENCY APPROVALS.



VICINITY MAP

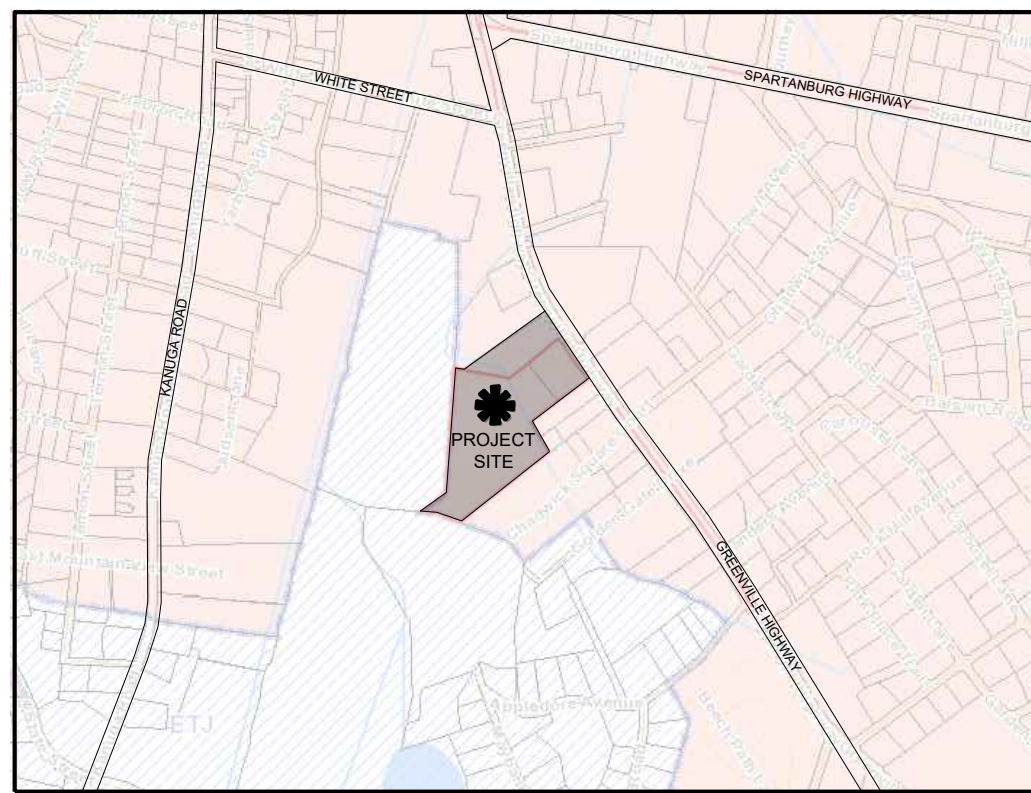


715 GREENVILLE HWY MULTI-FAMILY PREPARED FOR: FIRST VICTORY INC. PRELIMINARY LANDSCAPE PLAN

PLAN SET table with columns: #, DATE, DESCRIPTION. Row 1: 1, 7.29.24, CZD SUBMITTAL. Row 2: 2, 11.4.24, P&Z SUBMITTAL.

SHEET NO. L-303





VICINITY MAP

**PROJECT ADDRESS:**  
715 GREENVILLE HWY  
HENDERSONVILLE, NC

**TOTAL PROPERTY AREA:**  
9.01 ACRES (392,475.6 SF)

**LANDSCAPE ARCHITECT:**  
ROB DULL, PLA  
FIND THE LINE STUDIOS, PLLC  
ASHEVILLE, NC  
828.674.5592

**PROPERTY OWNER:**  
SOUTH MARKET, LLC (RICHARD HERMAN)  
2809 HAMPTON DRIVE  
HENDERSONVILLE, NC 28792

**DEVELOPER:**  
TRAVIS FOWLER  
FIRST VICTORY INC  
542 S CALDWELL STREET  
BREVARD, NC 28712  
TRAVIS@FIRSTVICTORY.COM  
828-884-7934

**CIVIL ENGINEER:**  
JOHN KINNAIRD, PE  
BROOKS ENGINEERING ASSOC.  
17 ARLINGTON ST.  
ASHEVILLE, NC 28801  
828.232.4700

**OPEN SPACE REQUIREMENTS:**  
OPEN SPACE REQUIRED: 117,743 SF (30%)  
OPEN SPACE PROVIDED: 118,725 SF (30.3%)

**OPEN SPACE WITHIN WETLANDS/OPEN WATER/FLOODPLAIN (58,136 SF):**  
49% OF REQUIRED OPEN SPACE AREA

**COMMON SPACE REQUIREMENTS:**  
COMMON SPACE REQUIRED: 39,248 SF (10%)  
COMMON SPACE PROVIDED: 44,372 SF (11.3%)

**ENCLOSED GROUND FLOOR LEVEL COMMON SPACE (4,195 SF):**  
9.5% OF REQUIRED COMMON SPACE AREA

LANDSCAPE REQUIREMENTS:

**VEHICLE USE AREA (VUA):**  
1 TREE AND 2 SHRUBS PER 3,000 SF  
TOTAL VUA: 102,231 SF  
TREES REQUIRED: 35 TREES  
TREES PROVIDED: 74 TREES  
SHRUBS REQUIRED: 69 SHRUBS  
SHRUBS PROVIDED: 73 SHRUBS

**PLANTING STRIPS (PS):**  
1 TREE & 5 SHRUBS PER 40LF  
TOTAL LF: 374 LF  
TREES REQUIRED: 10 TREES  
TREES PROVIDED: 11 TREES  
SHRUBS REQUIRED: 47 SHRUBS  
SHRUBS PROVIDED: 62 SHRUBS

**STREET TREES (ST):**  
1 TREE PER 35 LF OF PROPERTY ABUTTING A STREET  
TOTAL LF: 422 LF (715 GREENVILLE HWY)  
TREES REQUIRED: 13 (10 LARGE MATURING TREES / 3 MEDIUM MATURING)  
TREES PROVIDED: 10 LARGE-MATURING TREES / 5 MEDIUM MATURING TREE

**COMMON SPACE TREE PLANTINGS (CS):**  
1 TREE AND 5 SHRUBS PER 1,200 SF  
TOTAL COMMON SPACE PROVIDED: 44,372 SF  
TOTAL TREE PLANTINGS REQUIRED: 37  
TOTAL TREE PLANTINGS PROPOSED: 84  
TOTAL SHRUB PLANTINGS REQUIRED: 185  
TOTAL SHRUB PLANTINGS PROVIDED: 250

**OPEN SPACE LANDSCAPING (OS):**  
1 TREE AND 5 SHRUBS PER 4,000 SF  
TOTAL OPEN SPACE PROVIDED: 118,725 SF  
TOTAL TREE PLANTINGS REQUIRED: 30  
TOTAL TREE PLANTINGS PROPOSED: 32  
TOTAL SHRUB PLANTINGS REQUIRED: 148  
TOTAL SHRUB PLANTINGS PROVIDED: 150

**PLANT SCHEDULE**

SYMBOL	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
<b>TREES</b>					
	Acer saccharum 'Legacy' / Legacy Sugar Maple	3" Cal.	B&B	3	
	Acer x freemanii 'Jeffsred' / Autumn Blaze Maple	1.5" Cal.	B&B	7	
	Acer x freemanii 'Jeffsred' / Autumn Blaze Maple	3" Cal.	B&B	14	
	Aesculus x camea 'Fort McNair' / Fort McNair Red Horsechestnut	3" Cal.	B&B	5	
	Betula nigra 'Heritage' / Heritage River Birch	3" Cal.	B&B	19	Multi-Stemmed
	Cercis canadensis / Eastern Redbud Multi-trunk	1.5" Cal.	B&B	9	
	Cercis canadensis / Eastern Redbud Multi-trunk	3" Cal.	B&B	12	
	Cornus florida 'Cherokee Princess' / Cherokee Princess Dogwood	3" Cal.		8	
	Cornus florida 'Cherokee Princess' / Cherokee Princess Dogwood	5'-6' HT		7	
	Ginkgo biloba 'Fastigiata' / Fastigate Maidenhair Tree	3" Cal.	B&B	10	
	Ilex x 'Nellie R. Stevens' / Nellie R. Stevens Holly	3" Cal.	B&B	6	
	Ilex x attenuata 'Fosteri' / Foster Holly	3" Cal.	B&B	5	
	Liquidambar styraciflua 'Rotundiloba' / Round-Lobed Sweet Gum	1.5" Cal.	B&B	14	
	Liquidambar styraciflua 'Rotundiloba' / Round-Lobed Sweet Gum	3" Cal.	B&B	5	
	Liquidambar styraciflua 'Slender Silhouette' / Slender Silhouette Sweetgum	3" Cal.	B&B	15	
	Magnolia virginiana / Sweet Bay Magnolia	3" Cal.	B&B	6	
	Nyssa sylvatica / Tupelo	1.5" Cal.	B&B	4	
	Nyssa sylvatica / Tupelo	3" Cal.	B&B	12	
	Quercus bicolor / Swamp White Oak	3" Cal.	B&B	8	
<b>SHRUBS</b>					
	Fothergilla gardenii / Dwarf Fothergilla	3 gal.		5	
	Hydrangea arborescens 'Annabelle' / Annabelle Hydrangea	3 gal.		26	
	Hydrangea quercifolia 'Pee Wee' / Pee Wee Oakleaf Hydrangea	3 gal.		51	
	Ilex crenata 'Hetzi' / Hetzii Japanese Holly	3 gal.		184	
	Ilex verticillata 'Male' / Male Winterberry	3 gal.		20	
	Ilex verticillata 'Winter Red' / Winter Red Winterberry	3 gal.		48	
	Itea virginica / Virginia Sweetspire	3 gal.		27	
	Itea virginica 'Sprich' / Little Henry® Sweetspire	3 gal.		58	
	Prunus laurocerasus 'Otto Luyken' / Otto Luyken English Laurel	3 gal.		53	
	Viburnum dentatum 'Arrowwood' / Arrowwood Viburnum	3 gal.		46	

CONSULTANTS

NOT FOR  
CONSTRUCTION

715 GREENVILLE HWY MULTI-FAMILY  
715 GREENVILLE HWY  
HENDERSONVILLE, NC  
PREPARED FOR:  
FIRST VICTORY INC.  
PRELIMINARY LANDSCAPE  
PLAN

PLAN SET		
#	DATE	DESCRIPTION
1	7.29.24	CZD SUBMITTAL
2	11.4.24	P&Z SUBMITTAL

SHEET NO.

L-304

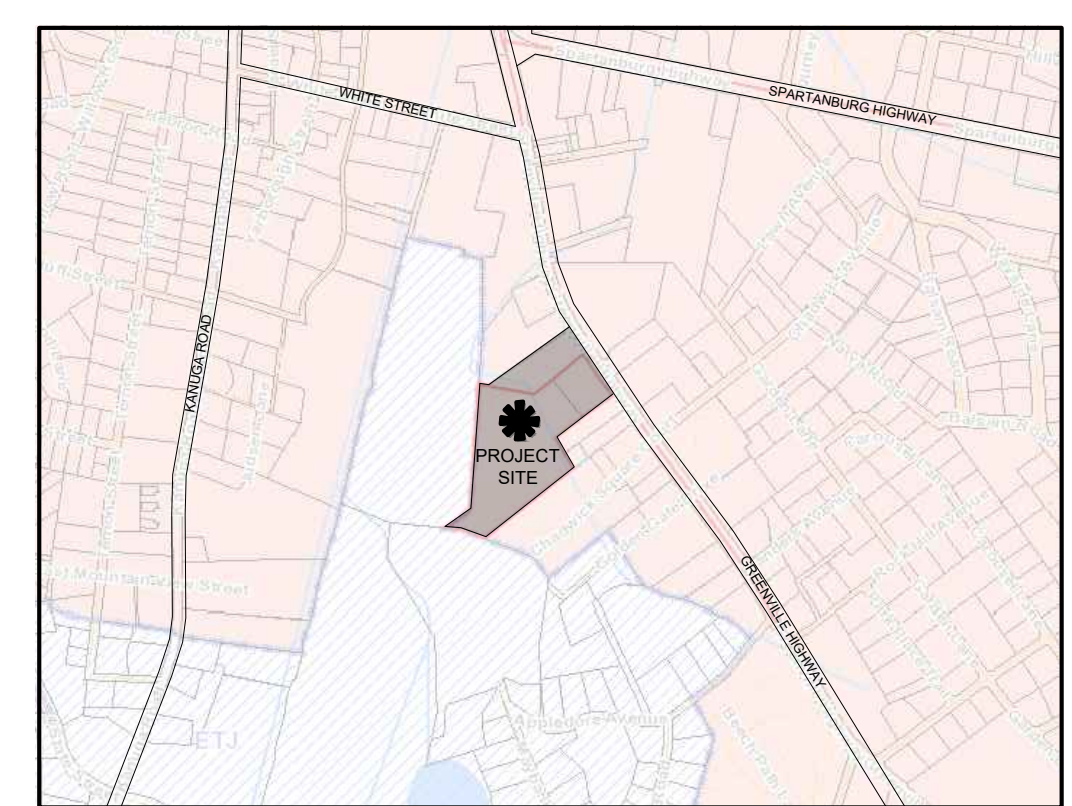




CONSULTANTS

NOT FOR CONSTRUCTION

715 GREENVILLE HWY MULTI-FAMILY  
 TREE CANOPY PROTECTION PLAN  
 PREPARED FOR: FIRST VICTORY INC.  
 715 GREENVILLE HWY  
 HENDERSONVILLE, NC



VICINITY MAP

PROJECT ADDRESS:  
 715 GREENVILLE HWY  
 HENDERSONVILLE, NC

TOTAL PROPERTY AREA:  
 9.01 ACRES (392,475.6 SF)

SITE COVERAGE:  
 BUILDING GROSS FLOOR AREA: 231,037 SF  
 PERCENTAGE OF TOTAL SITE: 14.8%

BUILDING FOOTPRINT: 58,367 SF  
 PERCENTAGE OF TOTAL SITE: 14.8%

BUILDING HEIGHT: 52'0" (SEE ARCHITECTURAL PLANS)

PROPOSED NUMBER OF UNITS: 185 UNITS  
 PROPOSED DENSITY: 20.5 UNITS / AC

STREET AND PARKING SQUARE FOOTAGE: 102,231 SF  
 STREET AND PARKING PERCENTAGE OF SITE: 26% OF SITE

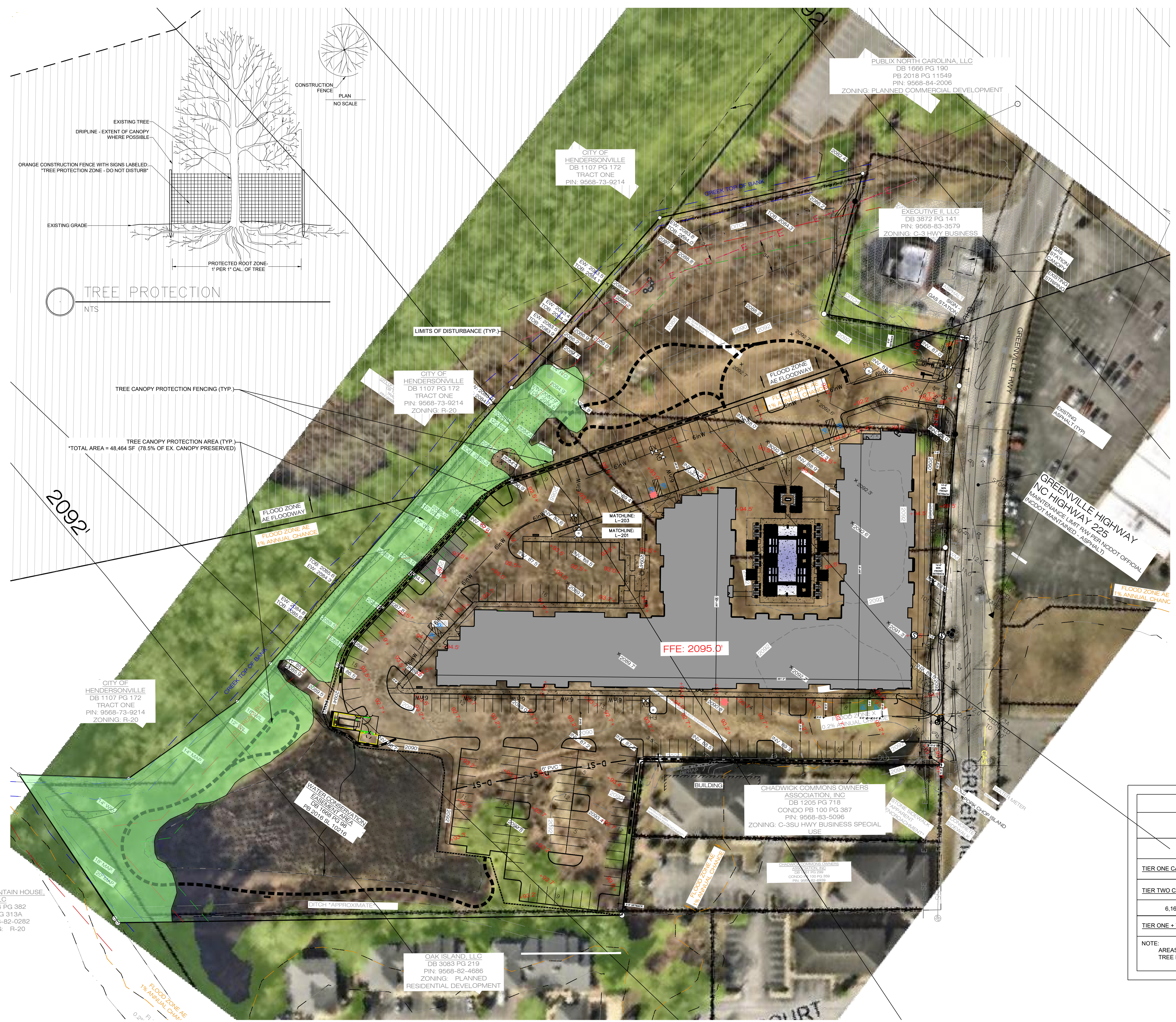
LANDSCAPE ARCHITECT:  
 ROB DULL, PLA  
 FIND THE LINE STUDIOS, PLLC  
 ASHEVILLE, NC  
 828.674.5592

PROPERTY OWNER:  
 SOUTH MARKET, LLC (RICHARD HERMAN)  
 2809 HAMPTON DRIVE  
 HENDERSONVILLE, NC 28792

DEVELOPER:  
 TRAVIS FOWLER  
 FIRST VICTORY INC  
 542 S CALDWELL STREET  
 BREVARD, NC 28712  
 TRAVIS@FIRSTVICTORY.COM  
 828-884-7934

CIVIL ENGINEER:  
 JOHN KINNAIRD, PE  
 BROOKS ENGINEERING ASSOC.  
 17 ARLINGTON ST.  
 ASHEVILLE, NC 28801  
 828.232.4700

ZONING:  
 CURRENT ZONING: PCD  
 PROPOSED ZONING: URBAN RESIDENTIAL CONDITIONAL ZONING DISTRICT



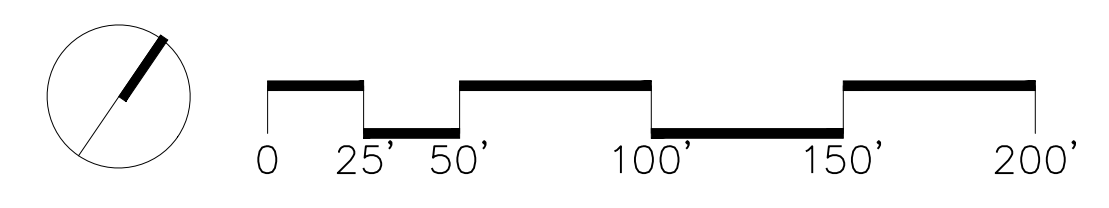
TREE CANOPY PROTECTION DATA				
TOTAL LAND AREA: 392,475.6 SF (9.01 AC)				
EXISTING TREE CANOPY (FROM GIS TREE CANOPY MAP): 15.7% (61,672.68 SF)				
TIER ONE CANOPY REQUIRED: 20% (12,334.5 sf)		TIER ONE CANOPY PROVIDED: 20% (12,334.5 SF)		
TIER TWO CANOPY REQUIRED: 6,167.3 sf (10%)	TIER TWO PRESERVED: 36,129.5 sf (58.5%)	TIER TWO PLANTED: 0 sf (0%)	TIER TWO PAYMENT-IN-LIEU: 0 sf (0%)	
TIER ONE + TIER TWO TOTAL CANOPY PRESERVED: 78.5% (48,464 SF)				
NOTE: AREAS DESIGNATED AS TREE CANOPY PROTECTION AREAS SHALL REMAIN AS SUCH IN PERPETUITY. TREE REMOVAL SHALL BE PROHIBITED IN THESE AREAS UNLESS OTHERWISE PERMITTED.				

HANNA MOUNTAIN HOUSE, LLC  
 DB 1674 PG 382  
 PB B PG 313A  
 PIN: 9568-82-0282  
 ZONING: R-20

OAK ISLAND, LLC  
 DB 3083 PG 219  
 PIN: 9568-82-4686  
 ZONING: PLANNED RESIDENTIAL DEVELOPMENT

CHADWICK COMMONS OWNERS ASSOCIATION, INC  
 DB 1205 PG 718  
 CONDO PB 100 PG 387  
 PIN: 9568-83-5096  
 ZONING: C-3SU HWY BUSINESS SPECIAL USE

GREENVILLE HIGHWAY 225  
 MAINTENANCE LIMIT RW PER NCDOT OFFICIAL  
 (NCDOT MAINTAINED ASPHALT)



SHEET NO.

L-400



PRELIMINARY

FOR INTERIM REVIEW ONLY.  
NOT FOR REGULATORY  
APPROVAL, PERMITTING,  
OR CONSTRUCTION.

ARCHITECTURE & INTERIORS, LLC  
BIRMINGHAM, AL    AUSTIN, TX    ATLANTA, GA  
www.fdm.com

CZD SUBMITTAL

715 GREENVILLE HIGHWAY  
MULTIFAMILY

CREST RESIDENTIAL  
715 GREENVILLE HIGHWAY  
HENDERSONVILLE, NC 28792

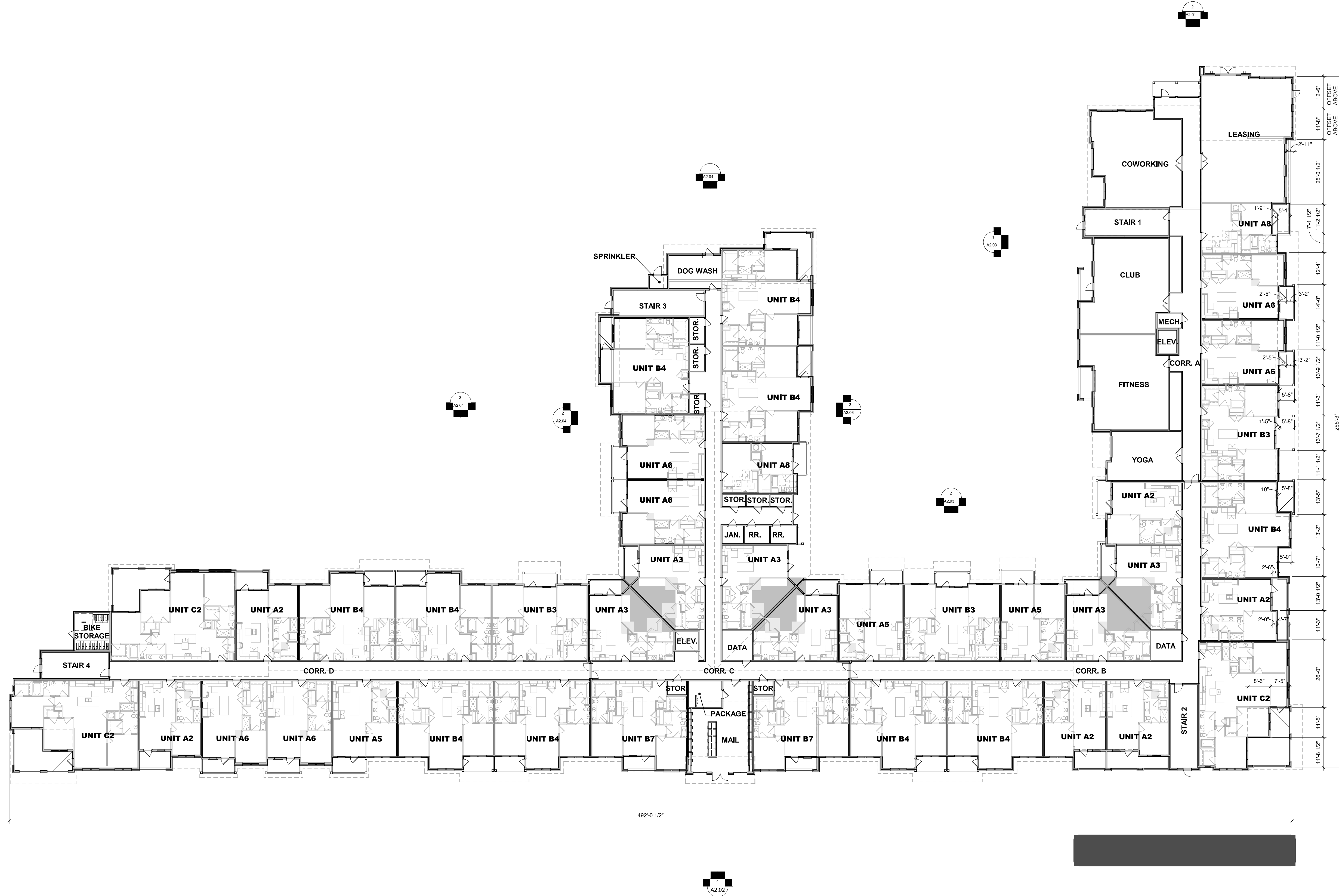
REVISIONS

Δ	DATE	DESCRIPTION

PROJ. NO. 23013    ISSUE DATE 12/13/23

SHEET NAME:  
OVERALL FLOOR  
PLAN - LEVEL 1

SHEET NO:  
**A1.01**





**EXTERIOR MATERIAL LEGEND**

(M1)	BRICK VENEER
(L1)	FIBER CEMENT LAP SIDING, 6" EXPOSURE - PAINT 1
(L2)	FIBER CEMENT LAP SIDING, 6" EXPOSURE - PAINT 2
(L3)	FIBER CEMENT LAP SIDING, 6" EXPOSURE - PAINT 3
(L4)	FIBER CEMENT LAP SIDING, STAGGERED - PAINT 2
(L5)	FIBER CEMENT LAP SIDING, 2" EXPOSURE DIAGONAL - PAINT 2
(P1)	FIBER CEMENT PANELS - PAINT 1
(P2)	FIBER CEMENT PANELS - PAINT 2
(B1)	BOARD & BATTEN - PAINT 1
(B2)	BOARD & BATTEN - PAINT 2
(R1)	ASPHALT SHINGLE ROOF
(R2)	METAL ROOF

**PRELIMINARY**

FOR INTERIM REVIEW ONLY.  
NOT FOR REGULATORY  
APPROVAL, PERMITTING,  
OR CONSTRUCTION.



**PLANNING AND ZONING SUBMITTAL**

**715 GREENVILLE HIGHWAY MULTIFAMILY**

CREST RESIDENTIAL  
715 GREENVILLE HIGHWAY  
HENDERSONVILLE, NC 28792

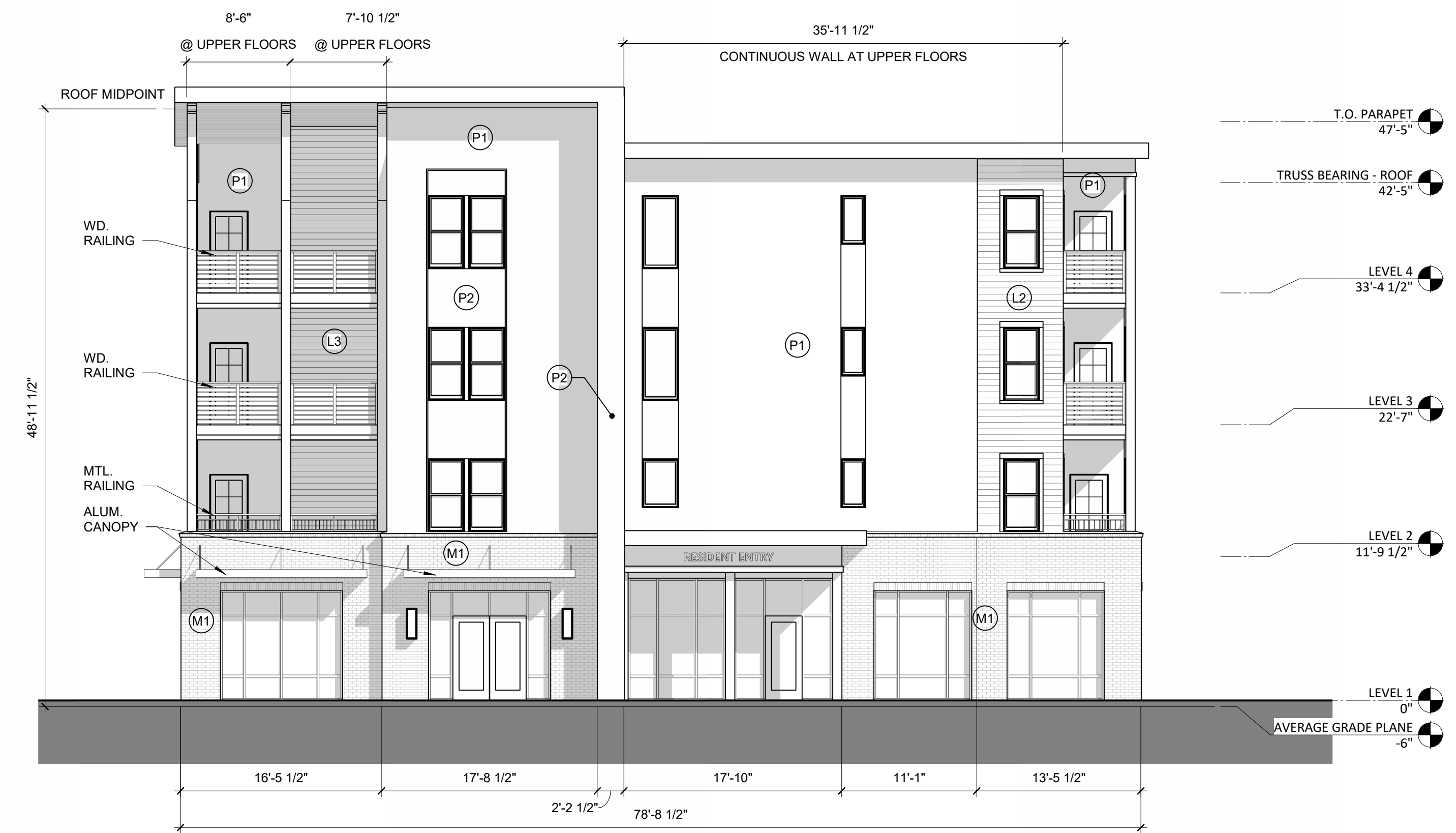
**REVISIONS**

Δ	DATE	DESCRIPTION
2	12/15/2023	PLANNING AND ZONING SUBMITTAL
3	1/02/2024	PLANNING AND ZONING RESUBMITTAL

PROJ. NO.	ISSUE DATE
23013	10/31/23

**SHEET NAME:**  
ELEVATIONS - E  
FACADE & NE  
CORNER

**SHEET NO:**  
**A2.01**



**2 NORTH ELEVATION - LEASING ENTRY**  
SCALE: 1/8" = 1'-0"



**1 EAST ELEVATION - GREENVILLE HIGHWAY FRONTAGE**  
SCALE: 1/8" = 1'-0"



**EXTERIOR MATERIAL LEGEND**

(M1)	BRICK VENEER
(L1)	FIBER CEMENT LAP SIDING, 6" EXPOSURE - PAINT 1
(L2)	FIBER CEMENT LAP SIDING, 6" EXPOSURE - PAINT 2
(L3)	FIBER CEMENT LAP SIDING, 6" EXPOSURE - PAINT 3
(L4)	FIBER CEMENT LAP SIDING, STAGGERED - PAINT 2
(L5)	FIBER CEMENT LAP SIDING, 2" EXPOSURE DIAGONAL - PAINT 2
(P1)	FIBER CEMENT PANELS - PAINT 1
(P2)	FIBER CEMENT PANELS - PAINT 2
(B1)	BOARD & BATTEN - PAINT 1
(B2)	BOARD & BATTEN - PAINT 2
(R1)	ASPHALT SHINGLE ROOF
(R2)	METAL ROOF

**PRELIMINARY**

FOR INTERIM REVIEW ONLY.  
NOT FOR REGULATORY  
APPROVAL, PERMITTING,  
OR CONSTRUCTION.



**PLANNING AND ZONING SUBMITTAL**

**715 GREENVILLE HIGHWAY MULTIFAMILY**  
CREST RESIDENTIAL  
715 GREENVILLE HIGHWAY  
HENDERSONVILLE, NC 28792

**REVISIONS**

Δ	DATE	DESCRIPTION
2	12/15/2023	PLANNING AND ZONING SUBMITTAL
3	1/02/2024	PLANNING AND ZONING RESUBMITTAL

PROJ. NO. 23013 | ISSUE DATE 10/31/23

SHEET NAME:  
ELEVATIONS - S  
FACADE

SHEET NO:  
**A2.02**



**3 SOUTH ELEVATION - RIGHT**  
SCALE: NTS



**2 SOUTH ELEVATION - LEFT**  
SCALE: 1/8" = 1'-0"



**1 SOUTH ELEVATION - OVERALL**  
SCALE: 1/16" = 1'-0"





# EXTERIOR CONCEPTS

LPA HENDERSONVILLE MULT-FAMILY | HENDERSONVILLE, NC | OCTOBER 01, 2024





MAIN LEASING CORNER AND ENTRY





REAR ENTRIES





STREET VIEW





SOUTH ENTRANCE





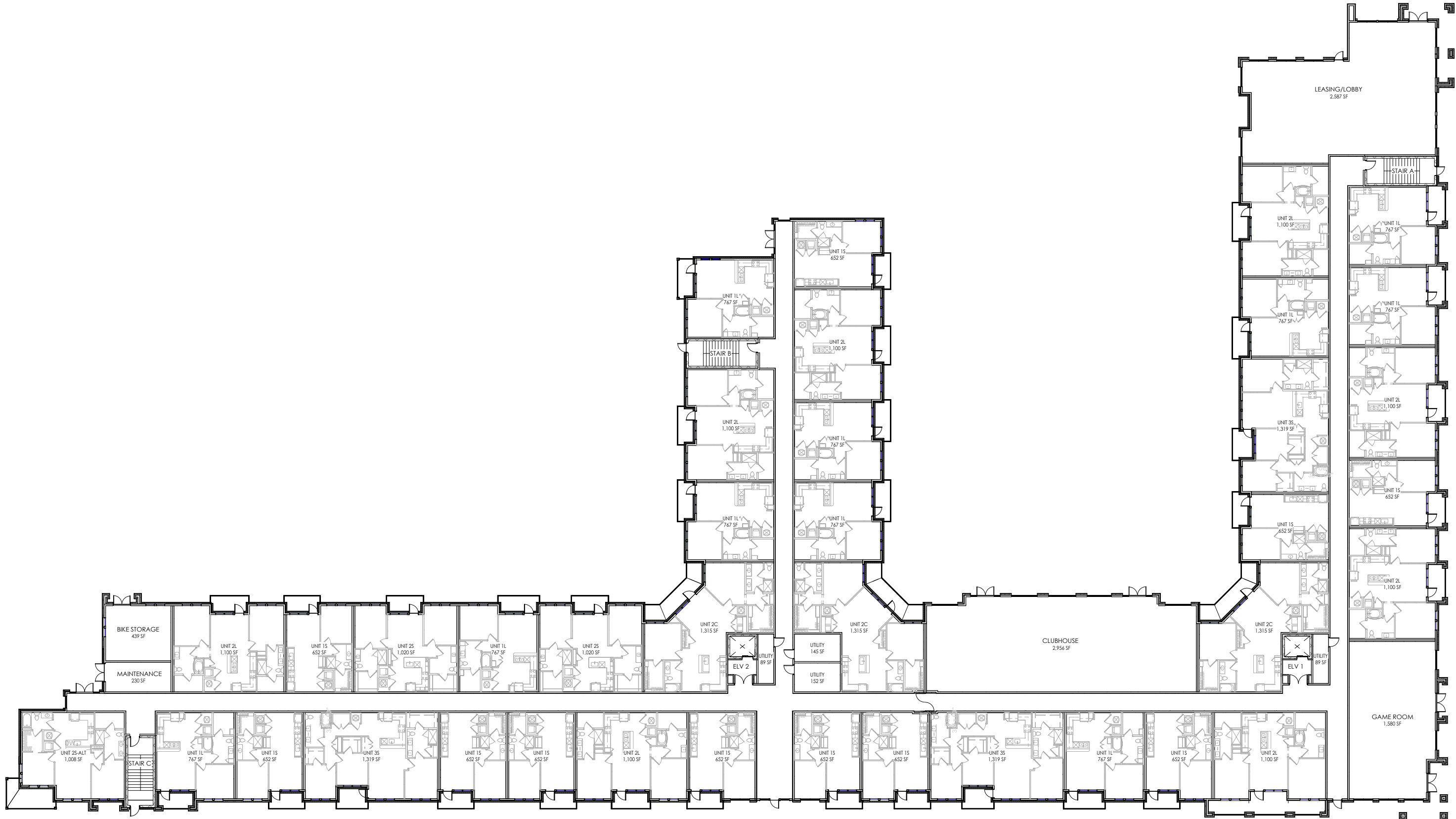
POOL COURTYARD





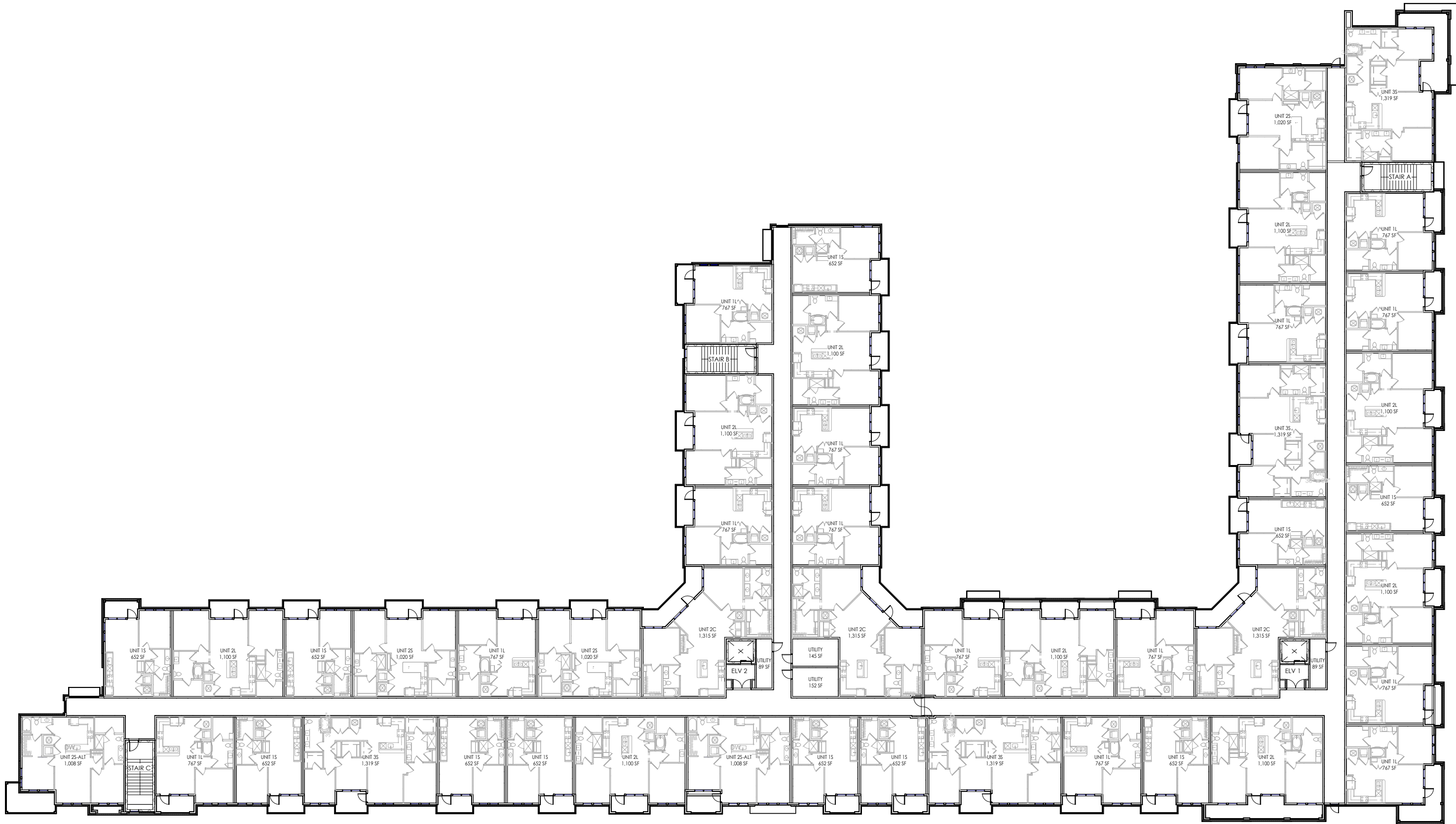
REAR SIDE





OVERALL PLAN: LEVEL 1

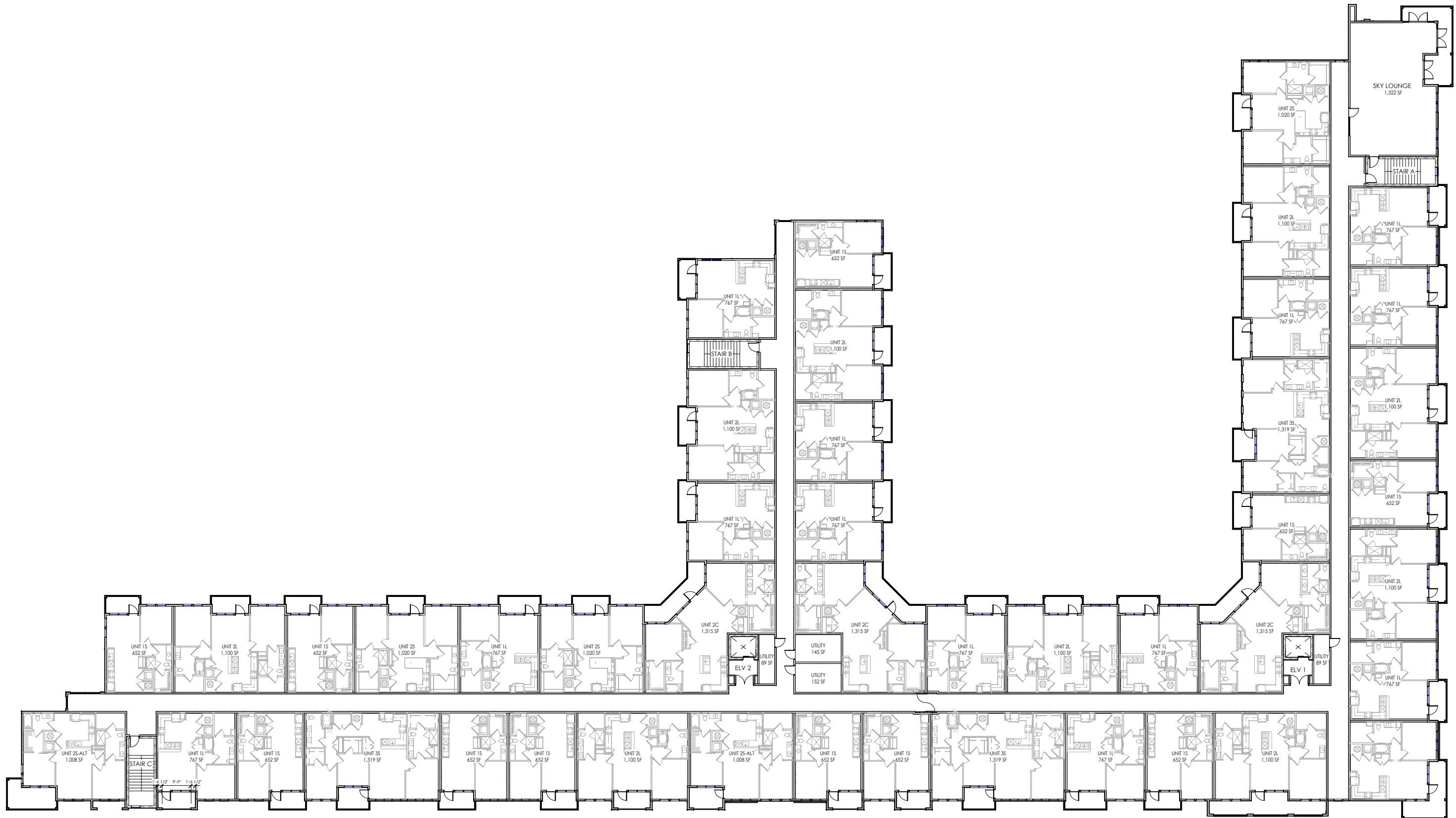




OVERALL PLAN: LEVEL 2-3

LPA HENDERSONVILLE MULTI-FAMILY / OCTOBER 01, 2022





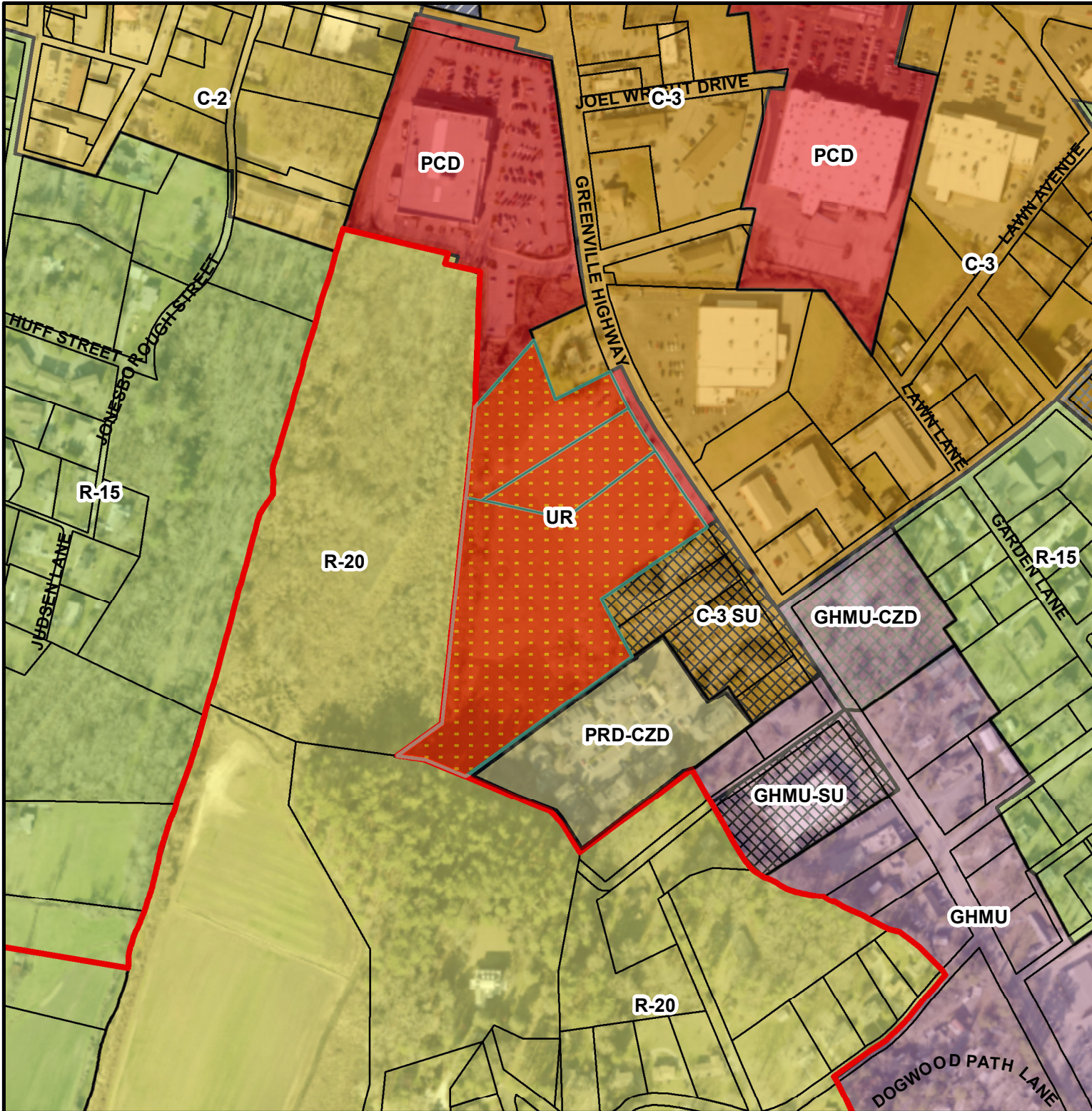
OVERALL PLAN: LEVEL 4





MAIN LEASING CORNER AND ENTRY





**715 Greenville Highway Multi-Family**  
 P24-39-CZD  
 PINs: 9568-83-4302, -2474, -2082  
 Acreage: 9.01  
**Proposed Zoning**  
 Community Development Department

- Legend**
- Subject Property (UR)
  - Hendersonville City Limits
  - Hendersonville Zoning**
  - CZD Conditional Zoning Districts
  - R-20 Low Density Residential
  - R-15 Medium Density Residential
  - PRD Planned Residential Development
  - UR Urban Residential
  - C-3 Highway Business
  - C-3SU Highway Business Special Use
  - C-2 Secondary Business
  - CMUSU Central Mixed Use Special Use
  - PCD Planned Commercial Development
  - GHMU Greenville Highway Mixed Use
  - GHMU-SU Greenville Highway Mixed Use Special Use





Ordinance # \_\_\_\_ - \_\_\_\_

**AN ORDINANCE OF THE CITY OF HENDERSONVILLE CITY COUNCIL TO AMEND THE OFFICIAL ZONING MAP OF THE CITY OF HENDERSONVILLE FOR PARCELS POSSESSING PIN NUMBERS: 9568-83-4302, 9568-83-2474 AND, 9568-83-2082 BY CHANGING THE ZONING DESIGNATION FROM PCD, PLANNED COMMERCIAL DEVELOPMENT TO UR-CZD, URBAN RESIDENTIAL CONDITIONAL ZONING DISTRICT**

IN RE: Parcel Numbers: 9568-83-4302, 9568-83-2474 and, 9568-83-2082  
 Address: 715 Greenville Highway  
 715 Greenville Highway Multi-Family: (File # P24-39-CZD)

**WHEREAS**, the City is in receipt of a Conditional Rezoning application from applicant, Travis Fowler, First Victory Inc., and property owner, Richard Herman (Manager)–South Market LLC, for the construction of a 185 unit multi-family development on approximately 9.01 acres, and

**WHEREAS**, the Planning Board took up this application at its regular meeting on November 14, 2024; voting 3-3 to recommend City Council approve an ordinance amending the official zoning map of the City of Hendersonville, and

**WHEREAS**, the Planning Board took up this application again at its regular meeting on February 13, 2025; voting 0-0 to recommend/not recommend City Council approve an ordinance amending the official zoning map of the City of Hendersonville, and

**WHEREAS**, City Council took up this application at its regular meeting on March 6th, 2025, and

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Hendersonville, North Carolina:

1. Pursuant to Article XI of the Zoning Ordinance of the City of Hendersonville, North Carolina, the Zoning Map is hereby amended by changing the zoning designation of the following: Parcel Numbers: 9568-83-4302, 9568-83-2474 and, 9568-83-2082, changing the zoning designation from PCD, Planned Commercial Development to UR-CZD, Urban Residential Conditional Zoning District.
2. Development of the parcel pursuant to this Ordinance is subject to the following.
  - a. Development shall comply with the master site plan submitted by the applicant dated November 4<sup>th</sup>, 2024, including the conditions listed therein, [and/or as modified and presented to City Council][and/or including modifications approved by City Council which shall be added to the site plan. The updated site shall be submitted to the City at or before the applicant’s execution of this Ordinance].
  - b. Permitted uses shall include:
    - i. Residential, Multi-Family
  - c. Additional conditions that shall be satisfied prior to final site plan approval include:
    - i.
3. Except where modified by the terms of this Ordinance, development of the parcel(s) shall occur in accordance with the final site plan requirements of Article VII of the Zoning Ordinance of the City of Hendersonville, North Carolina.
4. Except where explicit relief is granted by the terms of this Ordinance, the development of the parcel(s) shall occur in accordance with all applicable standards within local ordinances and policies.

This ordinance shall be not be effective until the list of use(s) and conditions, established herein, is consented to in writing by the applicant and all owners of the subject property. Upon such written consent, this ordinance shall be effective retroactive to the date of its adoption.



Attest:

\_\_\_\_\_  
Barbara G. Volk, Mayor, City of Hendersonville

\_\_\_\_\_  
Jill Murray, City Clerk

Approved as to form:

\_\_\_\_\_  
Angela S. Beeker, City Attorney



With their signatures below, the undersigned applicant(s) and property owner(s) consent to and agree to all conditions imposed pursuant to the terms of this Ordinance.

IN RE: Parcel Numbers: 9568-83-4302, 9568-83-2474 and, 9568-83-2082  
Addresses: 715 Greenville Highway  
715 Greenville Highway Multi-Family: (File # P24-39-CZD)

Applicant/Developer: Travis Fowler  
(Manager) – First Victory Inc

Property Owner: Richard Herman (Manager) –  
South Market LLC

Signature: \_\_\_\_\_

Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Title: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

Date: \_\_\_\_\_





**CITY OF HENDERSONVILLE  
COMMUNITY DEVELOPMENT DEPARTMENT**  
100 N. King Street, Hendersonville, NC 28792  
Phone (828) 697-3010|Fax (828) 698-6185  
www.hendersonvillenc.gov

**Conditional Zoning District Petition**  
**Section 7-4 and Article 11 City Zoning Ordinance**

The following are the **required** submittals for a complete application for rezoning a property or properties to a Conditional Zoning District. Staff will not review applications until each item has been submitted and determined complete. By placing a check mark by each of the following items, you are certifying that you have performed that task.

- 1. Completed Pre-Application meeting with Planning Staff
- 2. Scheduled Neighborhood Compatibility Meeting  
NCM Date: \_\_\_\_\_ Time: \_\_\_\_\_
- 3. Water and Sewer Availability Request
- 4. Completed Application Form
- 5. Completed Signature Page (completed Owner's Affidavit if different from applicant)
- 6. Completed Site Plan as described in Section 7-4.3-1 of the City Zoning Ordinance
- 7. Detailed explanation of any Proposed Development Description
- 8. Application Fee
- 9. Transportation Impact Analysis - Required for complete application but not due until 24 calendar days prior to Planning Board Meeting (if required)

**Note: Additional Approvals prior to the issuance of a Zoning Compliance Permit may include, but are not limited to the following:**

- Henderson County Sedimentation & Erosion Permit
- Stormwater Management Plan
- Utility Approval
- NCDOT Permit
- Any other applicable permits as determined by the Community Development

[Application Continued on Next Page]

Office Use:  
Date Received: 6/21/2024 By: KATY BRAGG Fee Received? Y/N

1:45 P.M.

Pa. CK# 6755 \$ 850.00



**A. Applicant Contact Information**

Travis A Fowler

\* Printed Applicant Name

First Victory INC

Printed Company Name (if applicable)

Corporation     Limited Liability Company     Trust     Partnership

Other: \_\_\_\_\_

Applicant Signature  
president



Applicant Title (if applicable)

542 South Caldwell street

Address of Applicant

Brevard, NC 28712

City, State, and Zip Code

828-884-7934

Telephone

Travis@firstvictory.com

Email

\* Signature of the property owner acknowledges that if the property is rezoned, the property involved in this request is bound to the use(s) authorized, the approved site plan and any conditions imposed, unless subsequently changed or amended as provided for in the Zoning Ordinance.

**[Application Continued on Next Page]**





# BUSINESS CORPORATION ANNUAL REPORT

Section 5, Item A.

1/6/2022

NAME OF BUSINESS CORPORATION: First Victory, Inc.

SECRETARY OF STATE ID NUMBER: 1313733 STATE OF FORMATION: NC

REPORT FOR THE FISCAL YEAR END: 12/31/2023

Filing Office Use Only

E - Filed Annual Report  
1313733  
CA202415703136  
6/5/2024 03:15

Changes

## SECTION A: REGISTERED AGENT'S INFORMATION

1. NAME OF REGISTERED AGENT: Fowler, Travis A.

2. SIGNATURE OF THE NEW REGISTERED AGENT: \_\_\_\_\_

SIGNATURE CONSTITUTES CONSENT TO THE APPOINTMENT

3. REGISTERED AGENT OFFICE STREET ADDRESS & COUNTY 4. REGISTERED AGENT OFFICE MAILING ADDRESS

542 S Caldwell St

542 S Caldwell St

Brevard, NC 28712-5643 Transylvania County

Brevard, NC 28712-5643

## SECTION B: PRINCIPAL OFFICE INFORMATION

1. DESCRIPTION OF NATURE OF BUSINESS: Construction & Development

2. PRINCIPAL OFFICE PHONE NUMBER: (828) 884-7934 3. PRINCIPAL OFFICE EMAIL: Privacy Redaction

4. PRINCIPAL OFFICE STREET ADDRESS

5. PRINCIPAL OFFICE MAILING ADDRESS

542 S Caldwell St

542 S Caldwell St

Brevard, NC 28712-5643

Brevard, NC 28712-5643

6. Select one of the following if applicable. (Optional see instructions)

The company is a veteran-owned small business

The company is a service-disabled veteran-owned small business

## SECTION C: OFFICERS (Enter additional officers in Section E.)

NAME: Travis A. Fowler NAME: Mary Fowler NAME: \_\_\_\_\_

TITLE: Chief Executive Officer TITLE: Corporate Secretary TITLE: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ ADDRESS: \_\_\_\_\_ ADDRESS: \_\_\_\_\_

920 Island Cove Rd

920 Island Cove Rd

Penrose, NC 28766

Penrose, NC 28766

## SECTION D: CERTIFICATION OF ANNUAL REPORT. Section D must be completed in its entirety by a person/business entity.

Mary Fowler, by Mary Elizabeth Fowler Secretary & CFO 6/5/2024

SIGNATURE

DATE

Form must be signed by an officer listed under Section C of this form.

Mary Fowler, by Mary Elizabeth Fowler Secretary & CFO Corporate Secretary

Print or Type Name of Officer

Print or Type Title of Officer



**B. Property Owner Contact Information (if different from Applicant)**

Richard J. Herman

\*Printed Owner Name (Authorized Representative for entities other than individuals)  
South Market LLC

Printed Company Name (if applicable, check corresponding box below)

- Corporation
- Limited Liability Company
- Trust
- Partnership
- Other: \_\_\_\_\_

Richard J. Herman  
Property Owner/Authorized Representative Signature

President  
Authorized Representative Title (if applicable - i.e. Member/Manager, President, etc.)

Hendersonville, NC  
City, State, and Zip Code

828 243-3425  
Telephone

Richard.herman@rjherman.com  
Email

\* Property owner hereby grants permission to the City of Hendersonville personnel to enter the subject property for any purpose required in processing this application.

\* If signed by an agent on behalf of the Owner, this petition MUST be accompanied by a Limited Power of Attorney signed by the property owner (s) and notarized, specifically authorizing the agent to act on the owner (s) behalf in signing this application. Failure of each owner, or their duly authorized agent, to sign, or failure to include the authority of the agent signed by the property owner, will result in an INVALID APPLICATION.





1/6/2022

LIMITED LIABILITY COMPANY ANNUAL REPORT

SOSID: 0856509  
 Date Filed: Section 5, Item A.  
 Elaine F. N  
 North Carolina Secretary of State  
 CA2023 090 06476

NAME OF LIMITED LIABILITY COMPANY: South Market, LLC

SECRETARY OF STATE ID NUMBER: 0856509 STATE OF FORMATION: NC

REPORT FOR THE CALENDAR YEAR: 2023



Filing Office Use Only

Changes

SECTION A: REGISTERED AGENT'S INFORMATION

1. NAME OF REGISTERED AGENT: Richard Herman

2. SIGNATURE OF THE NEW REGISTERED AGENT: \_\_\_\_\_  
SIGNATURE CONSTITUTES CONSENT TO THE APPOINTMENT

3. REGISTERED AGENT OFFICE STREET ADDRESS & COUNTY 4. REGISTERED AGENT OFFICE MAILING ADDRESS

2809 Hampton Drive PO Box 1700

Hendersonville, NC 28792 Henderson Hendersonville, NC 28792 Henderson

SECTION B: PRINCIPAL OFFICE INFORMATION

1. DESCRIPTION OF NATURE OF BUSINESS: Commercial Real Estate

2. PRINCIPAL OFFICE PHONE NUMBER: (828) 243-3425 3. PRINCIPAL OFFICE EMAIL: Privacy Redaction

4. PRINCIPAL OFFICE STREET ADDRESS 5. PRINCIPAL OFFICE MAILING ADDRESS

2809 Hampton Drive PO Box 1700

Hendersonville, NC 28792 Henderson Hendersonville, NC 28792 Henderson

6. Select one of the following if applicable. (Optional see instructions)
- The company is a veteran-owned small business
- The company is a service-disabled veteran-owned small business

SECTION C: COMPANY OFFICIALS (Enter additional company officials in Section E.)

NAME: <u>Richard Herman</u>	NAME: _____	NAME: _____
TITLE: <u>Manager</u>	TITLE: _____	TITLE: _____
ADDRESS: _____	ADDRESS: _____	ADDRESS: _____
<u>2809 Hampton Drive</u>		
<u>Hendersonville, NC 28792 Henderson</u>		

SECTION D: CERTIFICATION OF ANNUAL REPORT. Section D must be completed in its entirety by a person/business entity.

Richard Herman  
SIGNATURE

3-13-23  
DATE

Form must be signed by a Company Official listed under Section C of This form.

RICHARD HERMAN MANAGER

Print or Type Name of Company Official Print or Type Title of Company Official

**SUBMIT THIS ANNUAL REPORT WITH THE REQUIRED FILING FEE OF \$200**

MAIL TO: Secretary of State, Business Registration Division, Post Office Box 29525, Raleigh, NC 27626-0525



**C. Property Information**

Name of Project: 715 Greenville Hwy Apartments

PIN(s): 9568832082, 9568834302, 9568832474

Address(es) / Location of Property: 715 Greenville hwy

Type of Development:  Residential  Commercial  Other

Current Zoning: CZD  
8.8 acres

Total Acreage: Urban res-CZD

Proposed Zoning: 151,550

Proposed Building Square Footage: 185

Number of Dwelling Units:

List of Requested Uses:  
185 apartments

**D. Proposed Development Conditions for the Site**

In the spaces provided below, please provide a description of the Proposed Development for the site.

re-devleopement of the site located at 715 grenville hwy, 185 apartments; 300 parking spaces that is a 1.45 parking ratio. appropriate open space for the zoning and landscaping. we ahve worked with the Storm Water/flood plain department to allow the City project behind our project to the Mud Creek basin to be facilitated with access. NCDOT TIA scope has been approved and is avialble for the rezoning.







<p>The petition is consistent with a range of Goals, Guiding Principles and the Future Land Use Designation of Chapter IV of the Gen H Comprehensive Plan.</p> <p><b>4(3). We find this petition to be reasonable and in the public interest based on the information from the staff analysis, public hearing and because:</b></p> <ol style="list-style-type: none"> <li>1. The petition incorporates a mix of housing types into an existing urban neighborhood.</li> <li>2. The petition provides an efficient use of property in the core of the city.</li> <li>3. The petition would place residents within an area of existing city services and infrastructure.</li> <li>4. The petition would place residents within walkable / bikeable proximity of a range of destinations including employment, shopping, and recreation.</li> <li>5. The petition provides walkable neighborhood design characteristics.</li> <li>6. The petition proposes to have a vibrant interface with the public realm.</li> </ol> <p style="text-align: center;"><b>[DISCUSS &amp; VOTE]</b></p>	<p><b>[DISCUSS &amp; VOTE]</b></p>
--	------------------------------------

*SUMMARY: The City of Hendersonville is in receipt of an application for a Conditional Zoning District from ARY Development LLC for the property located at 0 1st Ave W (PIN: 9568-77-1057). The current zoning of the property is CMU-CZD (Commercial Mixed Use Conditional Zoning District). The applicant is requesting to rezone the property to Urban Residential Conditional Use District (UR-CZD).*

*There will be open space located at the front of the property. The parking is located at the rear of the property and along the street, and the entrance and exit to the units is located in the center of the property. There will be a landscape buffer on three sides of the property that border adjacent properties and street trees located along the frontage. The project is two stories and has twelve units.*

*This site received Central Mixed Use, Conditional Zoning District (CMU-CZD) approval in August 2020 with an amendment in August 2021. The property sold to a new owner, who initiated a new request for CMU-CZD in 2024, which city council denied in November 2024.*

<b>PROJECT/PETITIONER NUMBER:</b>	P24-086-CZD
<b>PETITIONER NAME:</b>	Sarah McCormick [applicant]



	Rafique Charania of ARY Development LLC [owner]
<b>ATTACHMENTS:</b>	<ol style="list-style-type: none"><li>1. Staff Report</li><li>2. Comprehensive Plan &amp; FLUM Consistency Worksheet</li><li>3. Goals &amp; Guiding Principles Evaluation Worksheet</li><li>4. Downtown Design Guidelines Evaluation Worksheet</li><li>5. Proposed Site Plan</li><li>6. Neighborhood Compatibility Summary</li><li>7. Draft Ordinance</li><li>8. Application / Owner Signature Addendum / LLC Record</li></ol>



STANDARD REZONING: 1<sup>st</sup> Avenue Villas (P24-86-CZD)  
CITY OF HENDERSONVILLE - COMMUNITY DEVELOPMENT STAFF REPORT

PROJECT SUMMARY ..... 2

SITE IMAGES..... 3

SITE IMAGES..... 5

SITE IMAGES..... 6

EXISTING ZONING & LAND USE ..... **Error! Bookmark not defined.**

FUTURE LAND USE ..... 8

STAFF SITE PLAN REVIEW – SUMMARY COMMENTS ..... 9

OUTSTANDING ISSUES & CITY-PROPOSED CONDITIONS: ..... 11

DEVELOPER-PROPOSED CONDITIONS: ..... **Error! Bookmark not defined.**

REZONING STANDARDS (ARTICLE 11-4) ..... 12

REZONING STANDARDS ANALYSIS & CONDITIONS ..... 15

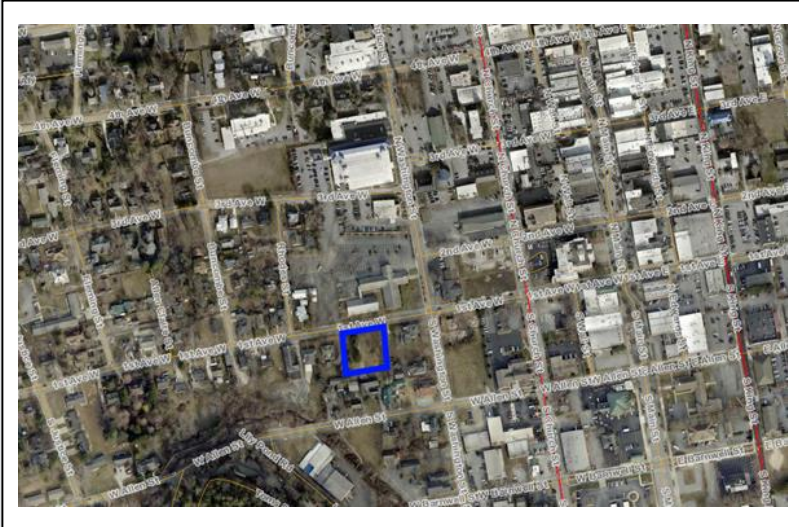
DRAFT COMPREHENSIVE PLAN CONSISTENCY AND REZONING REASONABLENESS STATEMENT ..... 16





PROJECT SUMMARY

- Project Name & Case #:
  - First Ave Villas
  - P24-086-CZD
  
- Applicant & Property Owner:
  - Sarah McCormick [applicant]
  - Rafique Charania of ARY Development LLC [Owner]
  
- Property Address:
  - 320 1<sup>st</sup> Ave W, Hendersonville, NC 28792
  
- Project Acreage:
  - 0.57 Acres
  
- Parcel Identification (PIN):
  - 9568-77-1057
  
- Current Parcel Zoning:
  - CMU-CZD - Central Mixed Use Conditional Zoning District
  
- Requested Zoning:
  - UR-CZD - Urban Residential Conditional Zoning District
  
- Future Land Use Designation:
  - Downtown
  
- Neighborhood Compatibility Meeting:
  - December 12, 2025



SITE VICINITY MAP

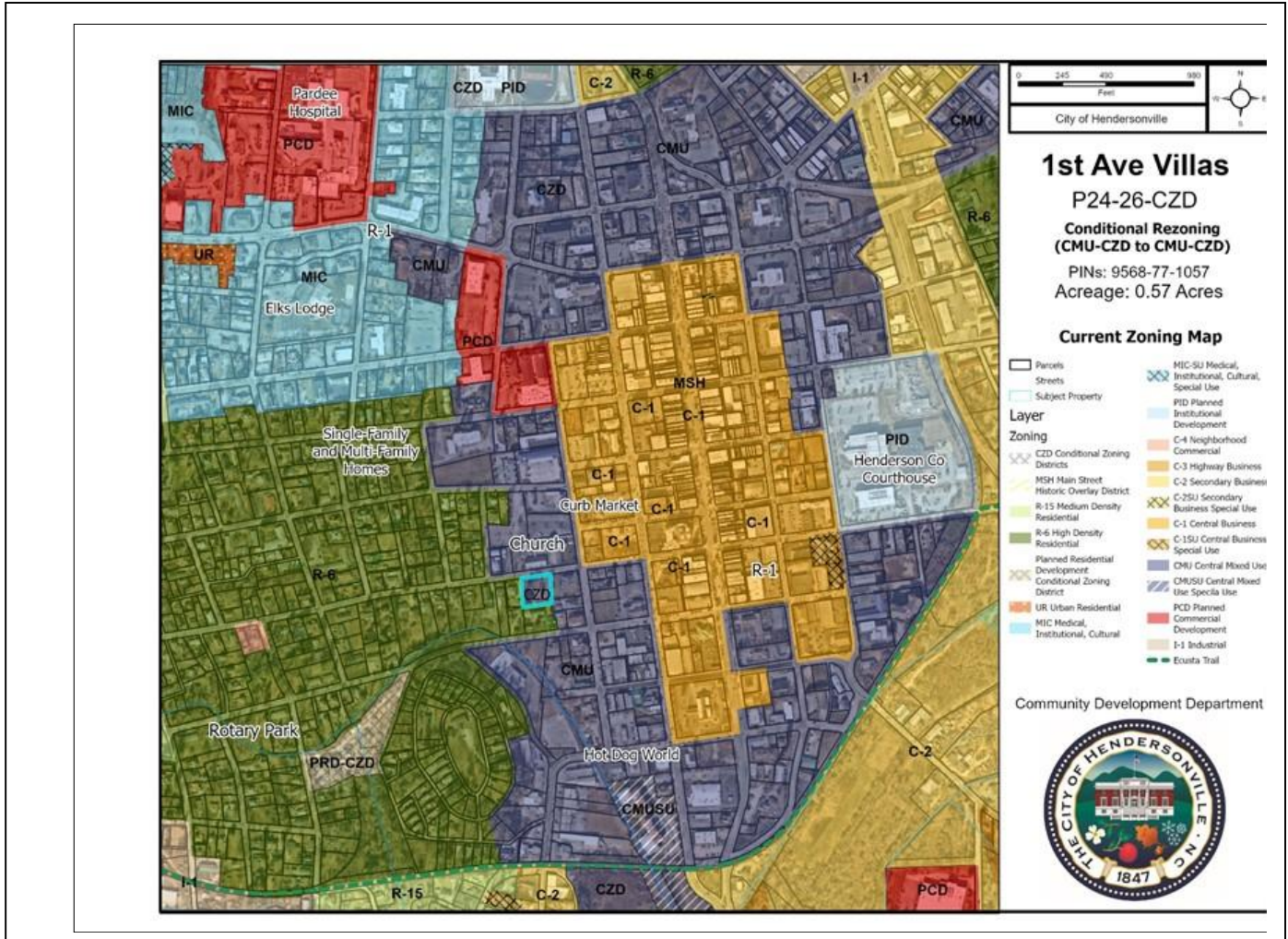
*The City of Hendersonville is in receipt of an application for a Conditional Zoning District from ARY Development LLC for the property located at 0 1st Ave W (PIN: 9568-77-1057). The current zoning of the property is CMU-CZD (Commercial Mixed Use Conditional Zoning District). The applicant is requesting to rezone the property to Urban Residential Conditional Use District (UR-CZD).*

*There will be open space located at the front of the property. The parking is located at the rear of the property and along the street, and the entrance and exit to the units is located in the center of the property. There will be a landscape buffer on three sides of the property that border adjacent properties and street trees located along the frontage. The project is two stories and has twelve units.*

*This site received Central Mixed Use, Conditional Zoning District (CMU-CZD) approval in August 2020 with an amendment in August 2021. The property sold to a new owner, who initiated a new request for CMU-CZD in 2024, which city council denied in November 2024.*



EXISTING ZONING & LAND USE



City of Hendersonville Current Zoning & Land Use Map

The subject property is currently zoned CMU - CZD and is located within city limits. The property is on the edge of the CMU zoning, which is located around the periphery of downtown. The CMU zoning is immediately adjacent to the east and north of the subject property. The CMU zoned property to the north of 1<sup>st</sup> Ave is the location of the 1<sup>st</sup> Church of the Nazarene. The property to the east at the corner of Washington St is an historic single-family home constructed circa 1882. A small portion of the lot at the very southeast corner is shared by another historic single-family home constructed in 1902. The adjacent parcels to the immediate south and west are zoned R-6. The R-6 property to the south is a multi-family property featuring 5 residential units. The R-6 property to the west is single-family structure built in 1910.



SITE IMAGES



*View of subject property from First Avenue W (facing south). The building visible at the back of the property is a multi-family unit located on an adjacent property.*



*Mature trees located on subject property (view from First Avenue W facing southeast).*



SITE IMAGES



*View of adjacent property to the west.*



*Tree buffer to adjacent property (facing east).*



SITE IMAGES



*View of right of way looking east.*



*View of right of way looking west.*



SITE IMAGES



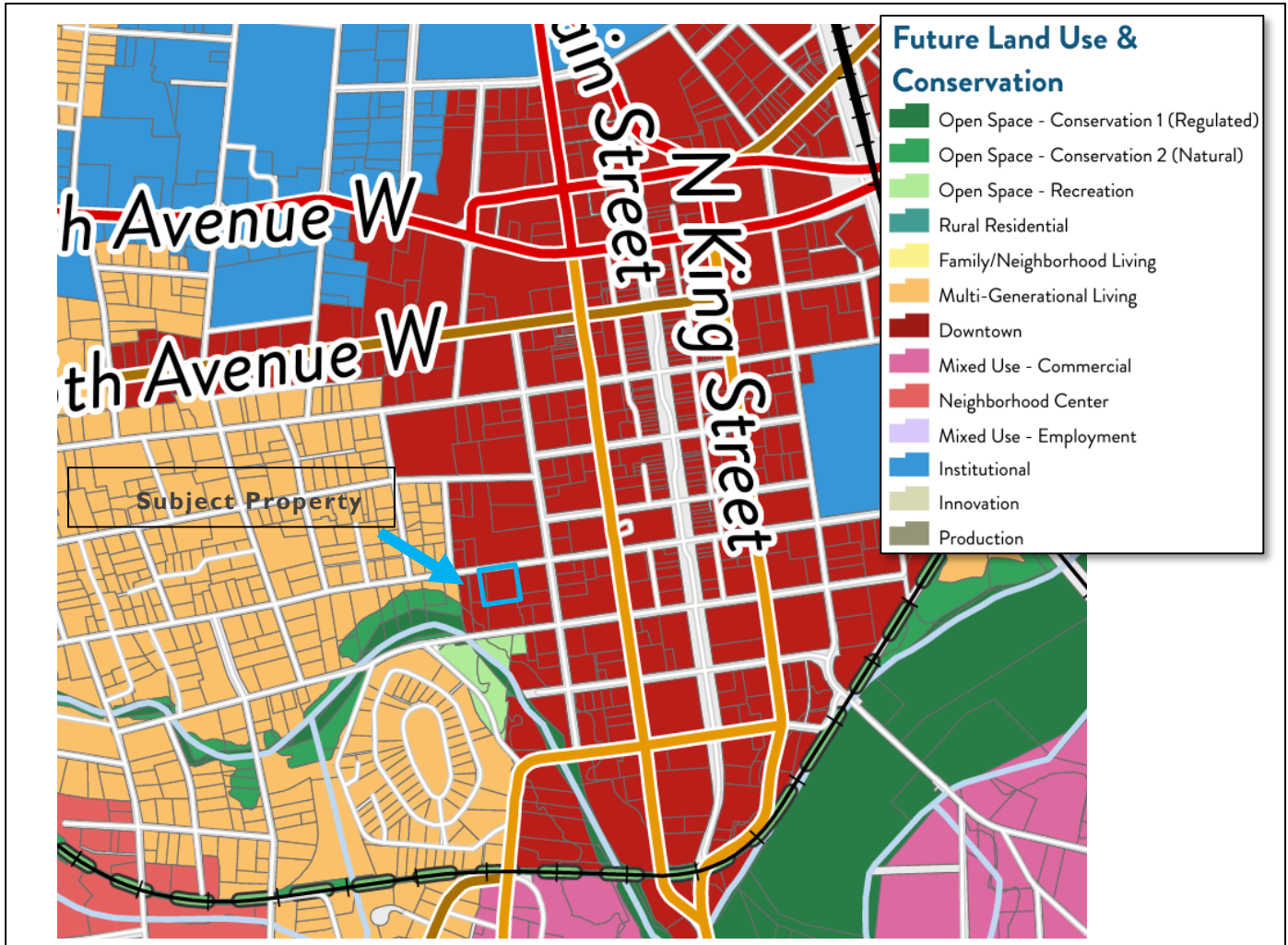
*Existing driveway running through property.*



*View of 1st Church of the Nazarene and 1st Ave from frontage of subject property*



FUTURE LAND USE



City of Hendersonville Future Land Use

The subject property is designated as Downtown in the Gen H comprehensive plan. The Downtown designation encompasses all of the properties to the east of the subject parcel. Parcels to the west of the subject property are designated Multi-Generational Living. Open Space – Conservation 1 (Regulated) is to the south of the subject property following the Wash Creek floodplain.



## REZONING HISTORY

### West Ave Villas Proposal Timeline:

**August 2020 – Conditional Rezoning (R-6 to CMU-CZD) - 10 Units (Two 1,742 Sq Ft Buildings + Two Garage Apts) – APPROVED**

**August 2021 – Conditional Rezoning (CMU-CZD Amended) - 11 UNITS (Two – 1,742 Sq Ft Buildings + Three Garage Apts) 340 Sq Ft Total Increase – APPROVED**

**November 2024 – Conditional Rezoning (CMU-CZD) – 16 UNITS (Two 2,432 Sq Ft Buildings, three stories tall) – DENIED**

### Note:

With the adoption of the new Gen H Comprehensive Plan, the future land use for this property is now considered Downtown.



### Full Minutes or Recording from City Council Meeting:

August 2020 Adoption of CMU-CZD Rezoning:

<https://mccmeetings.blob.core.usgovcloudapi.net/hvInc-pubu/MEET-Minutes-742cc7de0f094b0f9d6754d8941c3eeb.pdf>

August 2021 Update to CZD:

<https://mccmeetings.blob.core.usgovcloudapi.net/hvInc-pubu/MEET-Minutes-3cb3462df8a840ff9b290d0d871faa1d.pdf>

November 2024 CMU-CZD Rezoning:

<https://hendersonville-nc.municodemeetings.com/citycouncil/page/city-council-regular-meeting-54>



## STAFF SITE PLAN REVIEW – SUMMARY COMMENTS

### PROPOSED REQUEST DETAILS

#### Site Plan Summary:

- Proposed Use: Residential, multi-family
- Total Dwelling Units: 12
- Site: .57 acres
- Density: 21 Units / Acre
- Buildings:
  - Total Footprint – 9,620 SF
    - Building 1 – 4,810 SF
    - Building 2 – 4,810 SF
  - Height:
    - Mid-point of gable between ridge and eaves (height by definition) = max 29'
- Open Space: 7,972
- Common Open Space: 2,520
- Transportation:
  - 1 centrally located vehicular access point off 1<sup>st</sup> Avenue
  - The projected Average AM Peak Trips = 6.12 (Threshold for TIA = 100)
  - The projected Average PM Peak Trips = 7.44 (Threshold for TIA = 100)
  - The projected Daily Trips = 79.08 (Threshold for TIA = 1,000)
  - A TIA is required for zoning compliance per Section 5-25-2.3.1.
- Sidewalks:
  - Staff is proposing that a Fee-in-Lieu of sidewalk be provided given the existing continuous sidewalk on the north side of 1<sup>st</sup> Ave and the right-of-way limitations for providing a continuous sidewalk on the south side of 1<sup>st</sup> Ave.
- Lighting:
  - All site lighting will be required to conform to the City's lighting standards for multi-family developments. The lighting plan is a component of the final site plan review.
- Parking:
  - Off-Street Parking
    - Required: 1 per unit (1&2-bedroom units) and 1.5 per unit (3+ bedroom units) = 13 spaces
    - Provided: 12 spaces
      - 11 spaces onsite and 1 ADA space onsite
  - On-Street Parking
    - 13 on-street parallel parking spaces provided on north side of 1<sup>st</sup> Ave to alleviate concerns of under parking and to provide buffer for pedestrians.
    - A cross-parking agreement is proposed with the church on the opposite side of 1<sup>st</sup> Ave to provide 25 parking spaces
  - Drive Aisle
    - The center drive aisle is 20' wide.
    - The parking lot drive aisle ranges from 20' to 26' 5".
- Landscaping:



- This development will be required to plant:
  - Vehicular Use Landscaping
    - Interior parking lot plantings (Sec. 15-9a)
    - Planting strip to buffer from rear property (Sec. 15-9 b)
  - Street Trees (Sec. 15-15)
  - Common space plantings
    - Trees (Sec. 5-25-5.2b)
  - A detailed Landscaping Plan will be provided at final site plan
- Building Design:
  - 2-Story design
  - Building Materials – more information needed
  - Balconies proposed for 2<sup>nd</sup> floors on front facade
  - Balconies and patios proposed for all floors on side facades
  - Roof line features a variety of gables and false gables
- Floodplain: N/A
- Stream Buffer: N/A

#### OUTSTANDING ISSUES & CITY-PROPOSED CONDITIONS:

##### **COMMUNITY DEVELOPMENT:**

##### **Preliminary Site Plan Comments:**

- The site plan accompanying this petition meets the standards established by the Zoning Ordinance for UR-CZD.
- These outstanding items shall need to be resolved as part of the CZD process.
  - Clarify developer's proposed condition to defer the Traffic Impact Analysis until after the final site plan is approved.
- These outstanding items shall be resolved at the time of Final Site Plan and/or Preliminary Plat.
  - Create a connection from the site's interior to the exterior through sidewalks extending to the street.
- The following comments need to be addressed to improve clarity or improve site design and function [Resolved/Unresolved]:
  - Correct or clarify discrepancies in site statistics table pertaining to building square footage.
  - Height in site statistics table should match what is shown on the elevation (29ft).
  - Acreage labeled as 57 acres. This should be corrected to reflect site size of .57 acres.

##### **Proposed City-Initiated Conditions:**

1. Within the center driveway accessing the site, the developer shall install a differentiated material for the outer 5' along both building edges to



establish a pedestrian zone and distinguish it from the primary drive lane. This will achieve the goal and intent of 5-25-5.13.

**DEVELOPMENT REVIEW COMMITTEE COMMENTS:**

The Development Review Committee consist of the following Departments/Divisions and Agencies: Engineering, Water/Sewer, Fire Marshal, Stormwater Administration, Floodplain Administration, Public Works, NCDOT, Henderson County Soil & Erosion Control and the City’s Traffic Consultant. While all pertinent members of the DRC reviewed this project, staff has provided only the relevant/outstanding comments / conditions below:

**PUBLIC WORKS:**

**Preliminary Site Plan Comments:**

- 1. Trees in the right of way
  - If the trees are allowed to be placed in the right of way, they should be placed at the back edge of the right of way to allow for future sidewalk/future utility improvements/repairs. (Unresolved)
- 2. Parking
  - Clarification on the number of parking spaces and where they will be located. (Resolved)
  - The developer must install the on-street parking per City specifications. (Resolved at Final Site Plan)
  - The site plans should show the drive entrance into the church. There appears to be a conflict with the parking and the drive. They should show a measurement between the last space and the drive showing that any separation required by ordinance is met. (Unresolved)

**Proposed City-Initiated Conditions:**

- 1. None

**Developer Proposed Conditions**

- 1. Developer to pay Fee-in-Lieu of 7’ Sidewalks in accordance with Sec. 6-12-3 and Sec. 5-25-5.15 of the Zoning Code.
- 2. Developer to be granted relief to provide a 12’ front setback instead of 14; front setback required per Sec. 5-25-4 of Zoning Code.
- 3. Developer to be granted a waiver of TIA until Final Site Plan is approved.
- 4. The existing trees slated for protection that do not meet the 1’ per 1” dbh protection zone standard will be replaced should they die within 5 years of construction.

REZONING STANDARDS (ARTICLE 11-4)

GENERAL REZONING STANDARDS: COMPREHENSIVE PLAN CONSISTENCY	
<b>1) COMPREHENSIVE PLAN CONSISTENCY</b>	<b><u>LAND SUPPLY, SUITABILITY &amp; INTENSITY</u></b> The subject property is located on an underdeveloped property in the <u>Land Supply Map</u> . It ranks as “Highly Suitable” for residential development in the <u>Suitability Assessment</u> .



	<p>The subject property is in a Focused Intensity Node centered at the intersection of Greenville Highway and Spartanburg Highway</p> <p><b><u>FUTURE LAND USE &amp; CONSERVATION MAP</u></b>  <b>Character Area Designation:</b> Downtown  <b>Character Area Description:</b> Consistent  <b>Zoning Crosswalk:</b> Consistent  <b>Focus Area Map:</b> N/A</p>
<p>2) COMPATIBILITY</p>	<p><i>Whether and the extent to which the proposed amendment is compatible with existing and proposed uses surrounding the subject property</i></p>
	<p>In addition to a general analysis of the existing conditions, staff has utilized the Gen H Comprehensive Plan as a guide for further evaluating issues related to “compatibility”. The analysis below includes an assessment of how the project aligns with the overall Goals and overarching Guiding Principles found in Chapter IV of the Gen H Plan. Additionally, because this project is located within the boundaries of the Downtown Master Plan, staff evaluated the project according to the Design Guidelines found in Chapter V of the Gen H Plan.</p>
	<p><b><u>EXISTING CONDITIONS</u></b>          The subject property is currently vacant. It is surrounded by single-family and multi-family residential homes. Directly across 1st Avenue from the subject property is Hendersonville First Church of Nazarene. To the northwest of the property is the West End National Register Historic District, which primarily consists of single-family homes on varying sized lots. There are also a mix of multi-family units in small apartment buildings or in homes that have been converted into multi-family. To the east of the property is Downtown - the city’s core commercial business district.</p>
	<p><b><u>GEN H COMPREHENSIVE PLAN GOALS</u></b> (Chapter IV)  <b>Vibrant Neighborhoods:</b> Consistent  <b>Abundant Housing Choices:</b> Consistent  <b>Healthy and Accessible Natural Environment:</b> Somewhat Consistent  <b>Authentic Community Character:</b> Somewhat Consistent  <b>Safe Streets and Trails:</b> Consistent  <b>Reliable &amp; Accessible Utility Services:</b> Consistent  <b>Satisfying Work Opportunities:</b> N/A  <b>Welcoming &amp; Inclusive Community:</b> Consistent  <b>Accessible &amp; Available Community Uses and Services:</b> N/A  <b>Resilient Community:</b> N/A</p>
<p><b><u>GEN H COMPREHENSIVE PLAN GUIDING PRINCIPLES</u></b> (Chapter IV)  <b>Mix of Uses:</b> Consistent  <b>Compact Development:</b> Somewhat Consistent  <b>Sense of Place:</b> Somewhat Consistent  <b>Conserved &amp; Integrated Open Spaces:</b> Somewhat Consistent  <b>Desirable &amp; Affordable Housing:</b> Consistent</p>	



	<p><b>Connectivity: Consistent</b>  <b>Efficient &amp; Accessible Infrastructure: Consistent</b></p> <p><b>DESIGN GUIDELINES ASSESSMENT</b> (Chapter V):          Key compatibility concerns for infill development of this scale can be addressed through the application of design guidelines such as those found in Chapter 5 of the Comprehensive Plan. Primary areas of concern for compatibility are site design, building height and architectural design.  <u>Site Design</u> - Many aspects of the site plan align with the Design Guidelines in Chapter 5 of the Comprehensive Plan including: building placement, landscaping, parking and on-site open space. One area of concern is the buildings do not parallel the street edge.  <u>Height</u> - the applicant has revised the proposal to reduce the overall height to 29' which aligns with the Downtown Design Guidelines in Chapter 5 of the Comprehensive Plan for both maximum height and residential transitions. It is also not out of scale with existing adjacent residential structures.  <u>Architectural Design</u> - Many aspects of the building design align with the design guidelines, notably the inclusion of an activated front stoop.</p>
<p>3) <b>Changed Conditions</b></p>	<p><b>Whether and the extent to which there are changed conditions, trends or facts that require an amendment -</b></p> <p>The property has previously been rezoned to accommodate 11 units on the property.          Additionally, the Ecusta trail, which will be partially completed by the end of this year, is a new transportation and recreation facility located less than 1/2 mile from the subject property.</p>
<p>4) <b>Public Interest</b></p>	<p><b>Whether and the extent to which the proposed amendment would result in a logical and orderly development pattern that benefits the surrounding neighborhood, is in the public interest and promotes public health, safety and general welfare -</b></p> <p>The status of the region's affordable housing crisis is well documented from reports such as the Bowen Study. The City of Hendersonville is currently engaged in a Strategic Housing Plan to further address this issue.          The provision of 12 additional housing units on a relatively small, infill parcel will put residents within close proximity to employment, shopping, recreation, etc. The proposed development would utilize existing infrastructure and city services.</p>
<p>5) <b>Public Facilities</b></p>	<p><b>Whether and the extent to which adequate public facilities and services such as water supply, wastewater treatment, fire and police protection and transportation are available to support the proposed amendment</b></p> <p>The subject property will be served by City of Hendersonville services. The subject property is located within the City's existing interconnected street grid, which facilitates the disbursement of additional automobile traffic, and is in close proximity to the Ecusta trail, and less than a 5-minute walk to historic Main St, both of which facilitate a reduction in typical per household vehicular miles traveled.</p>



<p>6) <b>Effect on Natural Environment</b></p>	<p>Whether and the extent to which the proposed amendment would result in significantly adverse impacts on the natural environment including but not limited to water, air, noise, storm water management, streams, vegetation, wetlands and wildlife -</p>
	<p><b>Mature Trees:</b> There are a number of mature trees and vegetation around the subject property. Tree canopy in the center of the property is proposed to be removed. Some of the trees on the east side of the property are proposed to be removed while others will be preserved and incorporated into the required buffer.</p> <p><b>Stormwater:</b> Stormwater management standards are not triggered by this development due to the disturbed area being less than 1 acre. The developer proposes to utilize pervious pavers for the center drive aisle and parking area.</p>

REZONING STANDARDS ANALYSIS & CONDITIONS

**Staff Analysis**

- 1) Comprehensive Plan Consistency - Staff finds the petition and site plan to be generally consistent with the Gen H Comprehensive Plan Future Land Use & Conservation Map and the Character Area Description.
- 2) Compatibility - Staff finds that the general location of the project and its proximity to a mix of land uses is compatible with the city’s overall growth strategies.
- 3) Changed Conditions - Staff finds that the changed conditions related to construction of the nearby Ecusta Trail supports increased density in areas located in close, walkable proximity to off-street trails.
- 4) Public Interest - Staff finds that the provision of additional higher density housing facilitates the provision of increased housing stock.
- 5) Public Facilities - Staff finds that the proposed development would efficiently utilize existing services and infrastructure. Staff would highlight that the existing interconnected street grid, pedestrian facilities and nearby off-street trails combine to create opportunities to disperse automobile traffic and reduce vehicular trips.
- 6) Effect on Natural Environment – While some tree removal and an overall reduction in pervious area is proposed, the proposal does include the preservation of some mature trees and shrubs and proposes to utilize pervious pavers to reduce the overall use of impervious materials.

**Proposed City-Initiated Conditions [Zoning Compliance]:**

1. Within the center driveway accessing the site, the developer shall install a differentiated material for the outer 5’ along both building edges to establish a pedestrian zone and distinguish it from the primary drive lane. This will achieve the goal and intent of 5-25-5.13.



The petition is found to be **consistent** with the City of Hendersonville Gen H Comprehensive Plan based on the information from the staff analysis and the public hearing, and because:

*The petition is consistent with the Future Land Use and Conservation Map Designation of 'Downtown' and the corresponding Character Area Description found in Chapter IV of the Gen H Comprehensive Plan.*

We **[find/do not find]** this petition to be reasonable and in the public interest based on the information from the staff analysis and the public hearing, and because:

*DRAFT [Rationale for Approval]:*

- *The petition incorporates a mix of housing types into an existing urban neighborhood.*
- *The petition provides an efficient use of property in the core of the city.*
- *The petition would place residents within an area of existing city services and Infrastructure.*
- *The petition would place residents within walkable / bikeable proximity of a range of destinations including employment, shopping, and recreation.*
- *The petition provides walkable neighborhood design characteristics.*
- *The petition proposes to have a vibrant interface with the public realm.*

*DRAFT [Rational for Denial]*

- *The petition proposes a development that is incompatible with the existing neighborhood due to height, scale, and architectural design.*
- *The petition proposes a density that is out of character with the surrounding neighborhood.*
- *The petition would generate excessive traffic, noise and light in an existing residential neighborhood.*



<b>Chapter 4 - The Vision for the Future</b>	<b>Consistent</b>	<b>Inconsistent</b>
<b>SUPPLY, SUITABILITY, &amp; INTENSITY</b>		
<b>LAND SUPPLY MAP (Pg. 81, Figure 4.4)</b>	Consistent	
<b>LAND SUITABILITY MAP (Pg. 84-86, Figure 4.5-4.7)</b>	Consistent	
<b>DEVELOPMENT INTENSITY MAP (Pg. 89, Figure 4.9)</b>	Consistent	
<b>FUTURE LAND USE &amp; CONSERVATION MAP</b>		
<b>Future Land Use and Conservation Map (Note classification here, Pg. 117, Figure 4.12)</b>	<b>Downtown</b>	
Character Area Description (Pg. 122-131)	Consistent	
Zoning Crosswalk (Pg. 132-133, Figure 4.18)	Consistent	
<b>Focus Area Map (Pg. 134-159)</b>	NA	NA



<b>Chapter 4 - The Vision for the Future</b>	<b>Consistent</b>
<b>GOALS</b>	
VIBRANT NEIGHBORHOODS (Pg. 93)	
Promote lively neighborhoods that increase local safety.	Consistent
Enable well-maintained homes, streets, and public spaces.	Consistent
Promote diversity of ages (stage of life), income levels, and a range of interests.	Consistent
The design allows people to connect to nearby destinations, amenities, and services.	Consistent
Abundant Housing Choices (Pg. 93)	
Housing provided meets the need of current and future residents.	Consistent
Range of housing types provided to help maintain affordability in Hendersonville.	Consistent
Housing condition/quality exceeds minimum standards citywide	Consistent
Healthy and Accessible Natural Environment (Pg. 94)	
Recreational (active and passive) open spaces are incorporated into the development.	Consistent
Water quality is improved with the conservation of natural areas that serve as filters and soil stabilizers.	Somewhat Consistent
Natural system capacity (floodplains for stormwater; habitats to support flora/fauna; tree canopy for air quality, stormwater management, and microclimate) is maintained.	Somewhat Consistent
Development is compact (infill/redevelopment) to minimize the ecological footprint.	Consistent
New development respects working landscapes (e.g., orchards, managed forests), minimizing encroachment.	NA
Authentic Community Character (Pg. 94)	
Downtown remains the heart of the community and the focal point of civic activity	Consistent
A development near a gateway sets the tone, presenting the image/brand of the community.	NA
Historic preservation is utilized to maintain the city's identity.	
A development is considered a quality development that preserves the city center or neighborhood.	Somewhat Consistent
Safe Streets and Trails (Pg. 95)	
Interconnectivity is promoted between existing neighborhoods through the building out of street networks, including retrofits and interconnectivity of new developments.	Consistent
Access is increased for all residents through the provision of facilities that promote safe walking, biking, transit, automobile, ride share, and bike share.	Consistent
Design embraces the principles of walkable development.	Somewhat Consistent
Reliable & Accessible Utility Services	
A compact service area (infill, redevelopment) maximizes the utilization of existing infrastructure and feasible service delivery.	Consistent
Satisfying Work Opportunities (pg. 96)	
The development promotes quality job options.	NA
Welcoming & Inclusive Community	



Accessibility exceeds minimum standards of ADA, fostering residents' and visitors' sense of belonging.	Consistent
Accessible & Available Community Uses and Services (Pg. 97)	
Private development is plentiful, meeting the demands of current and future populations.	N/A
Resilient Community	
N/A	
<b>GUIDING PRINCIPALS (pg. 98)</b>	
Mix of Uses (Pg. 98)	
Revitalization of Outdated Commercial Areas	Consistent
New business and office space promotes creative hubs.	NA
Compact Development (Pg. 100)	
Development is consistent with efforts in the area to establish 15-minute neighborhoods.	Consistent
The infill project is context sensitive.	Somewhat Consistent
Sense of Place (Pg. 102)	
The development contributes to Hendersonville's character and the creation of a sense of place through its architecture and landscape elements.	Somewhat Consistent
Conserved & Integrated Open Spaces (Pg. 106)	
A diverse range of open space elements are incorporated into the development.	Somewhat Consistent
Desirable & Affordable Housing (Pg. 108)	
Missing middle housing concepts are used in the development.	Consistent
Connectivity (Pg. 112)	
The development encourages multimodal design solutions to enhance mobility.	Consistent
Efficient & Accessible Infrastructure (Pg. 114)	
The development utilizes existing infrastructure	Consistent











<b>Chapter 5 - Downtown Design Guidelines</b>	<b>Consistent</b>
<b>PUBLIC REALM</b>	
Blocks (Pg. 212)	
Provide vehicle access to nearby buildings via alleyways or shared driveways.	Consistent
Utilize smaller curb radii to shorten crossing distances for pedestrians.	
Extend the historic downtown block pattern throughout the entirety of the downtown character districts.	Consistent
Implement interior pedestrian cut throughs as necessary to achieve the ideal block size (300-500').	Consistent
Main Street & Downtown Edge Character Districts (Pg. 213)	
Any future development or redevelopment within the Main Street and Downtown Edge character districts should maintain consistent with the existing block size and grid layout along Main Street and in the downtown core.	Consistent
New connector streets and alleys should be considered where appropriate to increase better access and circulation.	NA
Streetscape Character (Pg. 218-222)	
The streetscape character matches the street classification the development is located on. (Pg. 218-219)	Consistent
The streetscape zones are sufficient for the street classification. (Pg. 224-234)	Consistent
Pedestrian & Bike Infrastructure (Pg. 238-243)	
Sidewalks (Pg. 238)	
Internal sidewalk connections should be provided between buildings and from buildings to all on-site facilities including parking areas, bicycle facilities, open spaces, and amenities.	Consistent
External sidewalks should be provided from all buildings onsite to the existing or proposed sidewalk system and to abutting multi-use trails, parks, and greenways.	
Greenways & Trails (Pg. 238)	
Expand and improve greenway and trail networks to create connections between neighborhoods, parks, and destinations.	NA
On-Road Facilities	
Sidewalks (Pg. 240)	
Expand existing sidewalk network to fill gaps in connectivity. Downtown sidewalks, where feasible, should be a minimum of 10' in width to promote walkability.	Consistent
Incorporate buffer zones, such as landscaped areas or street furniture, between sidewalks and vehicular traffic	Consistent
<b>SITE DESIGN (Pg. 254-265)</b>	
Frontage Types (Pg. 254)	
Identify which Frontage Type the development is and write in cell to the right.	Sec
Building Placement & Setback Character (Pg. 254-255)	
Orientation (Pg. 254-255)	
Building faces the street and is accessible from the sidewalk.	Somewhat Consistent



Site layout shall prioritize placing buildings towards the front of the lot, with parking situated to the side and/or rear of the building	Consistent
Buildings located on a corner should have one of the following architectural features: Two entrances, one primary and one secondary, located on each frontage. Architecturally prominent corner entry with vertical emphasis through building height or architectural elements like porches, colonnades, etc.	NA
Setback Line (Pg. 255)	
The setback line is based off of the future back of curb - based on Frontage Type (Pg. 256, refer to Figure 5.26)	Consistent
Build-To-Zone	
The Build-to-Zone begins at the required Frontage Type setback line (Pg. 256, refer to Figure 5.26)	Consistent
Build-To-Percentage	
The Build-To-Percentage refers to the proportion of a lot's frontage that must be occupied by the building façade. (Pg. 256, refer to Figure 5.26)	Consistent
Setback Exceptions (Pg. 255)	
Refer to this section for setback exceptions for Primary and Primary-Other classification. (Pg. 255)	NA
Building Height Story (Pg. 257)	
New downtown buildings must be at least two stories tall, with exceptions for certain accessory structures like retail kiosks or public restrooms	Consistent
Building Height by District	
The permitted building height varies according to the specific character district. Refer to Figure 5.28	Consistent
The building height is appropriate based off of the maximum heights set by the Building Heights Map (Figure 5.31, Pg. 259).	Consistent
Rear and Side Setbacks for Development Character District Transitions (Pg. 260)	
When development is located next to a district with a lower height restriction, the development should be no more than one-story differential for the first 50 feet of building width.	Consistent
Residential Transitions (Pg. 260)	
Development adjacent to residentially zoned land and/or historic structure should be no more than one-story differential for the first 50 feet of building width.	Consistent
Greenway & Trail Frontage (Pg. 260)	
When future development is planned along a proposed trail as outlined on any adopted plans, it is the responsibility of the development to construct the portion of the trail along the development frontage.	NA
Connections to Parks and Greenways (Pg. 261)	
When a development abuts an existing or future greenway, park, or open space area, pedestrian/bicycle accessways must be provided at a minimum of every 1000 feet when feasible as determined by City staff.	NA



Landscape (Pg. 261)	
Design landscaping, fencing, and retaining walls to be integrated into the site and its architecture.	Consistent
Screen service areas, utilities, and parking areas with trees, shrubs, and other landscaping.	Consistent
Install pedestrian bulbouts at street intersections within the downtown districts to reduce pedestrian crossing distance and expand public space. Integrate plantings, monumentation, public art, and seating within these spaces	NA
Stormwater Management (Pg. 261)	
Underground stormwater detention should be utilized within the downtown districts versus surface detention facilities.	NA
Low impact stormwater management methods such as pervious paving, bioretention, and vegetated landscape islands shall be utilized in surface parking lots.	Consistent
Utilize innovative stormwater management methods such as the use of bioretention in planting strips along nonprimary streets.	NA
Parking (Pg. 262)	
Surface parking lots shall not be a principal use in any character district	Consistent
For commercial and institutional/semi-public uses within the character districts, 5% of the total parking spaces should allow for public use during offpeak business hours.	NA
Shared parking is encouraged.	Consistent
Structured Parking (Pg. 262)	
Parking structures are encouraged within the downtown districts to reduce the footprint of surface lots.	NA
Developments requiring 200 vehicular parking spaces or more must build structured parking.	NA
Parking structures may be a principal use in the character districts.	NA
Parking structures should be wrapped with liner buildings and follow these design guidelines: When adjacent to a frontage, parking structures shall include active uses along 80% of the primary frontage and 60% of the ground floor building length along any seconding frontage, excluding areas of required vehicular and pedestrian egress, and utility rooms. Vertical and horizontal architectural elements should be designed in a manner to approximate the window openings on adjacent habitated portions of the building. 60% of all openings on or visible from a frontage shall be screened with architectural louvers and/or panels.	NA
Parking Requirements (Pg. 262-263)	
Within the Main Street character district, parking requirements are optional with the provision of a fee in lieu of.	NA
Within the Downtown Edge, 7th Avenue, and Lower Trailhead character districts, minimum parking requirements are per the underlying zoning district.	Consistent
The following parking maximums apply to properties within each of the character districts regardless of the underlying zoning designation (Figure 5.33, Pg. 263).	Consistent
Trailhead Parking (Pg. 263)	
Surface lots for trailhead parking are allowed within the 7th Avenue and Lower Trailhead character districts.	NA



Trailhead parking lots must be spaced a minimum ½ mile from each other.	NA
These parking lots shall hold 10 spaces or fewer, including ADA spaces.	NA
Trailhead parking lots may incorporate amenities such as restrooms, water fountains, trash/recycling receptacles, and benches.	NA
Parking lots must be screened from the trail and the public street utilizing landscaping at a minimum width of a 10' landscape buffer.	NA
<b>On-Site Open Space (Pg. 264)</b>	
All proposed developments are required to provide onsite open space except for developments on parcels one-fourth acre or less in size.	Consistent
Developments shall provide a minimum of on-site open space in accordance with the following: Main Street: 5%, Downtown Edge: 10%, 7th Avenue: 10%, Lower Trailhead: 15%	Consistent
<b>Public On-Site Open Space (Pg. 264)</b>	
Public on-site open space should be provided in accordance with Table 5.34 on Pg. 264.	Consistent
<b>On-Site Open Space Types (Pg. 264)</b>	
Appropriate on-site open space is provided in accordance with Figure 5.36 Pg. 265.	Consistent
<b>BUILDING DESIGN</b>	
<b>Architectural Character (Pg. 266)</b>	
Development design fits into the existing architectural character of the character district its located in.	Somewhat Consistent
<b>Façade Articulation and Massing (Pg. 268-269)</b>	
For buildings 150 feet in length or longer: Façades shall be divided into shorter segments by means of modulation; such modulation shall occur at intervals of no more than 60 feet and shall be no less than 2 feet in depth. A courtyard, with a minimum width and depth of 60 feet, shall be visible from the street on primary frontages spaced no more than 150 feet.	Consistent
Ground-floor designs such as arcades, galleries, colonnades, outdoor plazas, or outdoor dining areas shall be incorporated into the building façade and are considered in meeting required build-to percentages. The first two floors above the street grade shall be distinguished from the remainder of the building with an emphasis on providing design elements that will enhance pedestrian environment. Special interest to the base shall be provided by incorporating elements such as corbeling, molding, stringcourses, ornamentation, changes in material or color, recessing, architectural lighting, and other sculpturing of the base. Buildings on a corner or at an axial terminus should be designed with additional height or architectural embellishment. Examples include: Chamfered or rounded corners. Projecting and recessed balconies and entrances. Enhanced window designs	Somewhat Consistent
<b>Building Elements (Pg. 270-275)</b>	
<b>Entry</b>	
The main pedestrian entry shall be a prominent entrance on the primary frontage	
For corner buildings with two frontages, the main pedestrian entry can be located on the corner.	NA



Enhance the design of entry areas with materials, as well as architectural and landscape features, that will naturally guide pedestrians	Somewhat Consistent
Windows	
Shopfront windows shall not be lower than 2 feet from the ground plane except where architectural elements like floor or ceiling glass curtain walls or glass roll up doors are utilized.	NA
Windows should comprise more than 60% of the building façade in the Main Street and Downtown Edge districts.	
Windows should comprise more than 40% of the building façade in the 7th Avenue and Lower Trailhead districts.	NA
Windows shall be set back 4-6 inches from the façade rather than flush.	
Roof	
Infill development in the Main Street district shall have flat roofs to match the existing architecture of Main Street.	NA
Pitched roofs are permitted in the Downtown Edge, 7th Avenue, and Lower Trailhead districts.	Consistent
Recessed Doorways	
Recessed doorways are encouraged with 5 feet as the maximum distance of recess from the front wall.	Consistent
No glass shall be positioned lower than two feet above ground level.	Consistent
Doors are not permitted to swing into the sidewalk/ pedestrian zone	Consistent
Activated Ground Floor	
Ground floor façades should be composed primarily of glass to allow views of the use and activity within the buildings	Somewhat Consistent
Within the Main Street and Downtown Edge districts, the ground floor shall be composed of commercial uses.	Consistent
Private residences are prohibited on primary frontages within Main Street and Downtown Edge districts.	Consistent
Primary residence entries, including those for townhomes and brownstones, should incorporate features such as stoops, porches, etc.	
Ground floor design should incorporate elements such as retail displays, planters, art, and canopy coverings to encourage pedestrian activity.	Somewhat Consistent
Materiality	
Materials chosen for building façades, balconies, windows, or roof should be compatible with the surrounding context of the district but should not be identical as to not allow for any diversity.	Consistent
All façades visible from a primary frontage shall utilize high-quality finish materials such as: brick, wood, stone, concrete-based stucco, horizontal wood siding, architectural metal panel, or wood shingle.	Consistent
Within the Main Street and Downtown Edge districts, brick shall be the primary building material. Predominant shall mean more than (50%) of the non-glasses wall surface	
The following materials are prohibited within any of the downtown districts: EFIS, concrete board, concrete block, pre-engineered corrugated metal panels, and vinyl.	Consistent
Franchise Architecture	



Franchise architecture, a standardized architectural building style used as part of a standardized program to promote brand identity through visual recognition, is not permitted within the character districts.	NA
Franchise architecture should be modified as necessary to be in line with the existing character district in which it is proposed.	NA
Franchise architecture must conform with all Downtown Design Guidelines.	NA
<b>Drive-Throughs</b>	
Drive-through facilities or services are not permitted within the Main Street, Downtown Edge, or 7th Avenue districts. • This applies to any type of drive-through facility or service including restaurants and financial institutions. Walk-up service windows are the preferred service window in a downtown pedestrian-oriented district	NA
Within the Lower Trailhead District, drive-throughs are permitted but cannot be along the primary frontage. They shall be located to the rear of the building.	NA
<b>Signs</b>	
Landmark signs may include historic painted wall signs on a building façade; even if that business or product is no longer on site, the sign adds character to the area, and should be considered a landmark sign.	NA



<b>Inconsistent</b>
<b>Inconsistent</b>
NA
<b>Inconsistent</b>
NA
oundary







NA
NA
NA
NA
NA
NA
NA
NA







NA
Inconsistent
NA
Inconsistent
NA
Inconsistent
Inconsistent

NA
NA
NA
NA
NA
NA





project design team:  
 the tamara peacock co. architects  
 129 3rd ave w  
 HENDERSONVILLE, NC 28792  
 Phone: 828.696.4000  
 LICENSE #12289

owner:

project name:  
**FIRST AVE VILLAS**

**320 1ST AVE W  
 HENDERSONVILLE,  
 NC 28792**

Tamara Peacock, R.A.  
 Registration No. 12289

issued for:

date:

sheet name:  
**COVER SHEET**

revisions:

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date: 2/14/2025 8:47:15 PM  
 proj. no.:  
 CHECKER  
 drawn by: AUTHOR  
 Pkg Mng: DESIGNER  
 revised by: CAPT.  
 CHECKER APPROVER

sheet no.:

**A001**

# ARY Development LLC

# FIRST AVE VILLAS

## Hendersonville, NC

### OWNER

ARY DEVELOPMENT LLC  
 17 OLDE EASTWOOD VILLAGE BLVD  
 ASHEVILLE NC, 28803

832.265.0493  
 RRCHARANIA@ARYDEVELOPMENTS.COM  
 RAFIQUE CHARANIA

### DEVELOPER

ARY DEVELOPMENT LLC  
 17 OLDE EASTWOOD VILLAGE BLVD  
 ASHEVILLE NC, 28803

832.265.0493  
 RRCHARANIA@ARYDEVELOPMENTS.COM  
 RAFIQUE CHARANIA

### CONTRACTOR

BUCHANAN CONSTRUCTION  
 1642 HENDERSONVILLE RD  
 ASHEVILLE NC, 28803

828.650.6565 EXT. 104  
 MATT@BUCHANANCONSTRUCTION.COM  
 MATT KEENE  
 VP COMMERCIAL CONSTRUCTION

### ARCHITECT

PEACOCK ARCHITECTS  
 129 3RD AVE W  
 HENDERSONVILLE, NC 28792  
 828.696.4000

SARAH@PEACOCKARCHITECT.COM  
 SARAH McCORMICK  
 ARCHITECTURAL DESIGNER

TAMARA@PEACOCKARCHITECT.COM  
 TAMARA PEACOCK  
 PRINCIPAL

### CIVIL ENGINEER

FEI ENGINEERING  
 7 GLENN BRIDGE RD, STE H  
 ARDEN, NC 28704

828.696.0807  
 TYLER WAGNER  
 TWAGNER@FEICONSLTING.COM  
 PROJECT MANAGER

#### BUILDING STATISTICS

BUILDING TYPE:	IIIB
GROSS SF:	19,240 SF
OCCUPANCY TYPE:	R-2
ALLOWABLE AREA (SM)	48,000 SF
SPRINKLERED:	YES
SEPARATED USE:	N/A
SEPARATION REQUIRED:	1/2 HR
INCIDENTAL USE:	NONE
OCCUPANCY LOAD:	R-2:93
PLUMBING REQUIREMENTS:	1 SINK, 1 TOILET, 1 SHOWER PER UNIT
PLUMBING PROPOSED:	2 SINKS, 2 TOILETS, 2 SHOWERS PER UNIT
LIFE SAFETY REQUIREMENTS:	SEE A005

#### SITE STATISTICS

	PROVIDED	REQUIRED
PROP LOC:	320 FIRST AVE. W.	
BLOCK:	--	
PIN:	9568771057	
OWNER:	ARY Development LLC	
ZONING:	UR-CZD	
PROPOSED USE:	12 MULTI-FAMILY UNITS	
FLOOD DISTRICT:	N	
DOMESTIC WASTEWATER:	PUBLIC SEWER	
WATER:	PUBLIC	
ADA PARKING:	1 ADA	1 ADA
PARKING:	25 SPACES	12 SPACES
FRONT SETBACK (FIRST AVE)	12' 0" FROM CURB	14' 0" FROM CURB
SIDE SETBACK (CMU)	8' 0"	5' 0"
REAR SETBACK	5' 0"	10' 0"
SIDE SETBACK (R-6)	8' 0"	5' 0"
OVERALL HEIGHT	24'	64'

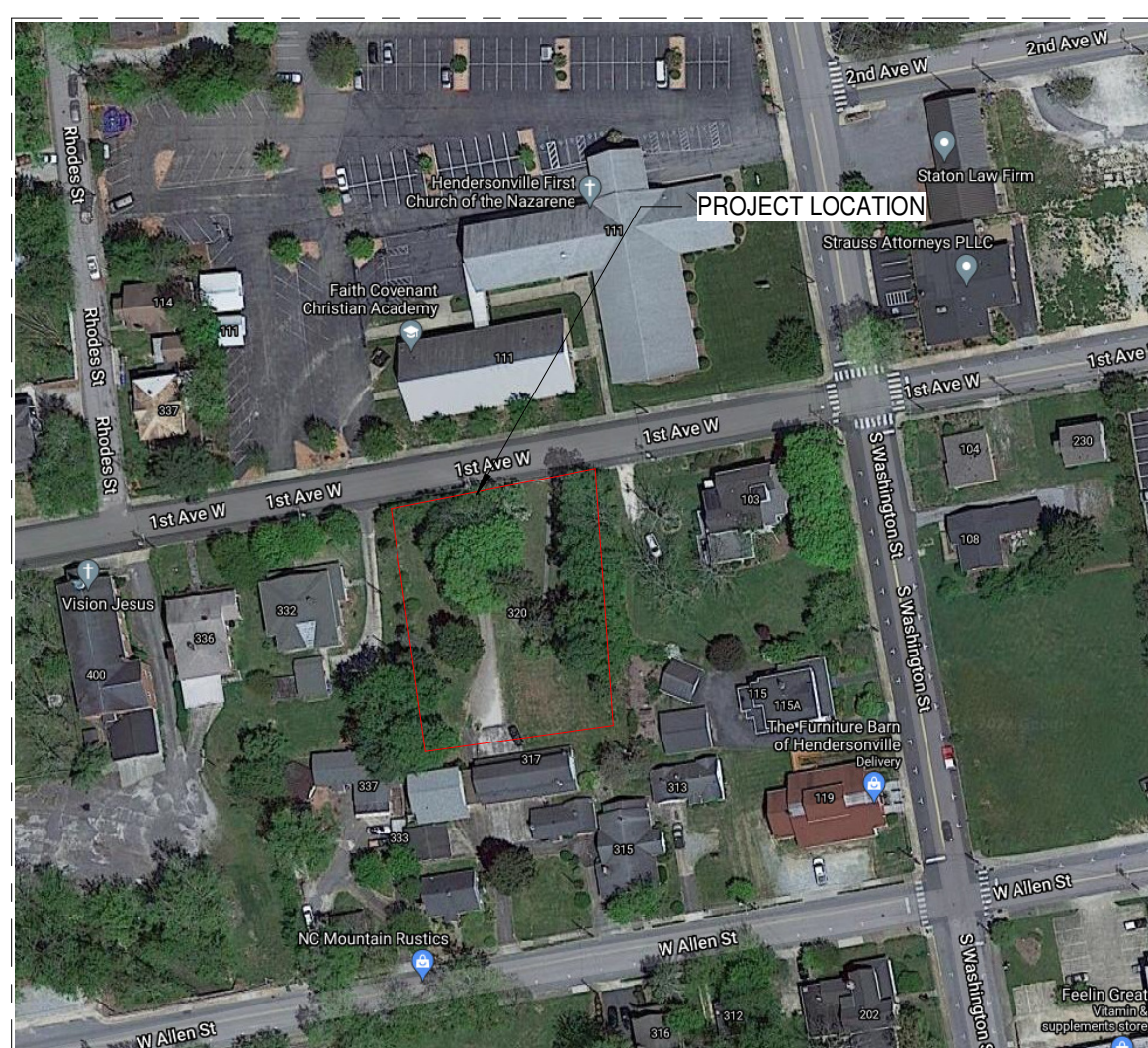
#### SITE COVERAGE

TOTAL PROJECT AREA	57 acres
PROPOSED LOT AREAS	5,691.49 SF
BUILDINGS	11,600 sq ft
OPEN SPACE	7,972 sq ft
STREETS AND PARKING	7,833 sq ft
COMMON OPEN SPACE	2,364 sq ft

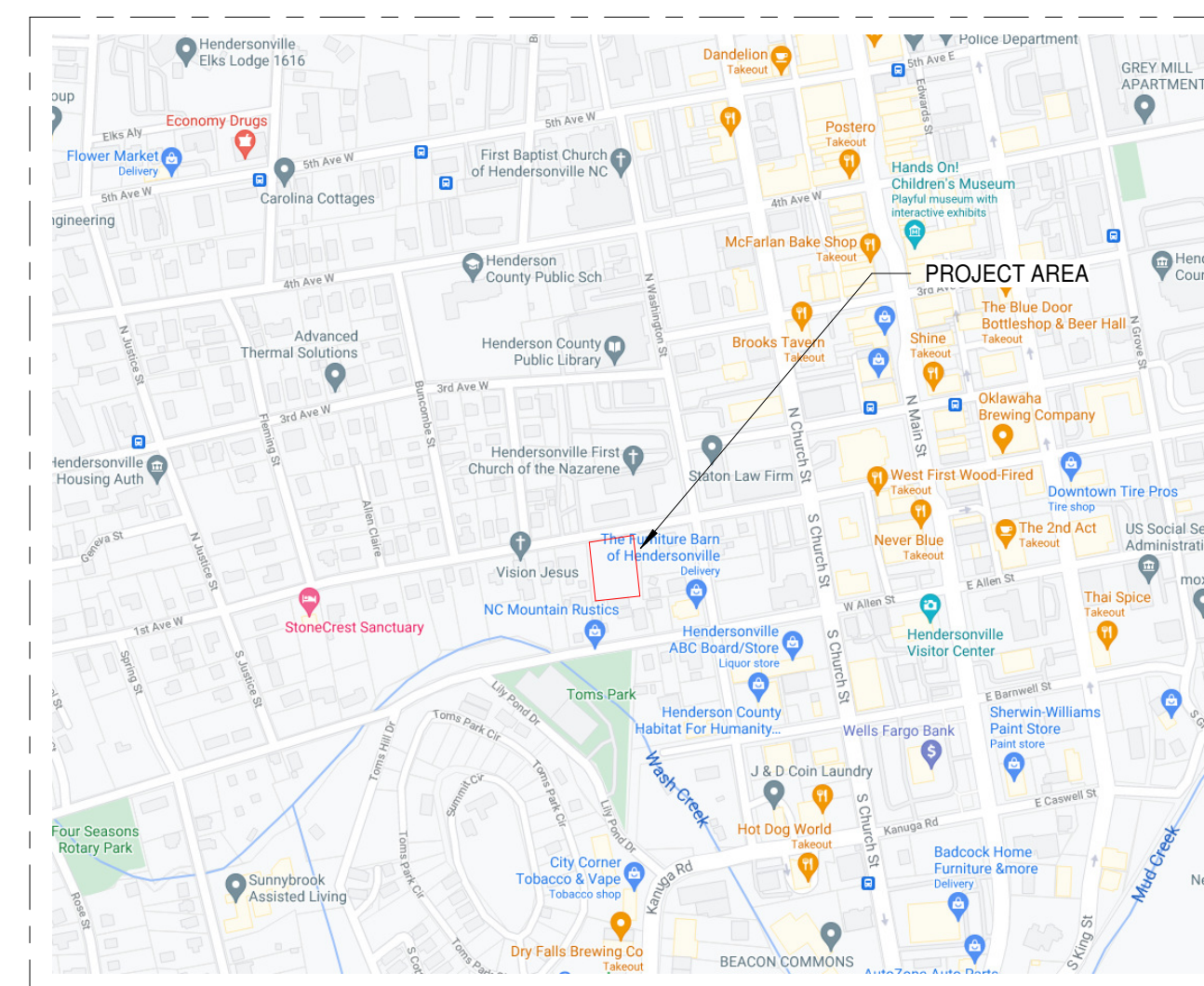
#### SCOPE OF WORK:

FIRST AVE UNITS:  
 1. 2 NEW CONDO BUILDINGS WITH 6 NEW UNITS EACH

#### SITE MAP



#### VICINITY MAP



Sheet List	
Sheet Number	Sheet Name
A603	Unnamed
A001	COVER SHEET
G-17-300	SITE SURVEY
H4D054	TREE SURVEY
SP 101	PRELIMINARY SITE PLAN
SP 101 (1)	PRELIMINARY SITE PLAN
SP102	DETAILS
A104	SECOND LEVEL FLOOR PLAN
A401	EXTERIOR ELEVATIONS
A402	EXTERIOR ELEVATIONS
A601	RENDERINGS

#### DEVELOPER PROPOSED CONDITIONS

- Developer to pay Fee-in-Lieu of 7' Sidewalks in accordance with Sec. 6-12-3 and Sec. 5-25-5.15 of Zoning Code
- Developer to be granted relief to provide a 12' front setback instead of 14' front setback required per Sec. 5-25-4 of Zoning Code
- Developer to be granted waiver of TIA until Final Site Plan is approved.
- The existing trees slated for protection that do not meet the 1" per 1" dbh protection zone standard will be replaced should they die within 5 years of construction.

SESC plan approval not required by Henderson County Site Development because proposed land disturbance is less than 1 acre.



NORTH CAROLINA  
HENDERSON COUNTY

I, Sharon M. McCall, REVIEW OFFICER  
OF HENDERSON COUNTY, CERTIFY THAT THE MAP OR  
PLAT TO WHICH THIS CERTIFICATION IS AFFIXED  
MEETS ALL STATUTORY REQUIREMENTS FOR  
RECORDING.

Sharon M. McCall 2/12/19  
REVIEW OFFICER DATE

NORTH CAROLINA  
HENDERSON COUNTY

THIS INSTRUMENT WAS FILED FOR REGISTRATION THIS  
THE 12<sup>TH</sup> DAY OF FEBRUARY, 2019  
AT 2:13 PM O'CLOCK  
IN PLAT SLIDE NUMBER 11633

William Lee King  
REGISTER OF DEEDS

BY: William Lee King DEPUTY

BOOK 2019 PAGE 11633 (1)

898307



This document presented and filed:  
02/12/2019 02:13:50 PM

WLK

WILLIAM LEE KING, Henderson COUNTY, NC

LEGEND

- DB - DEED BOOK
- PG - PAGE
- MNS - MAG NAIL SET
- RBF - REBAR FOUND
- OTF - OPEN TOP PIPE FOUND
- UP - UTILITY POLE
- W - WATER METER
- CO - CLEAN OUT
- S - SEWER MANHOLE
- - IRON FOUND OR SET AS NOTED
- - CALCULATED POINT - NOT SET

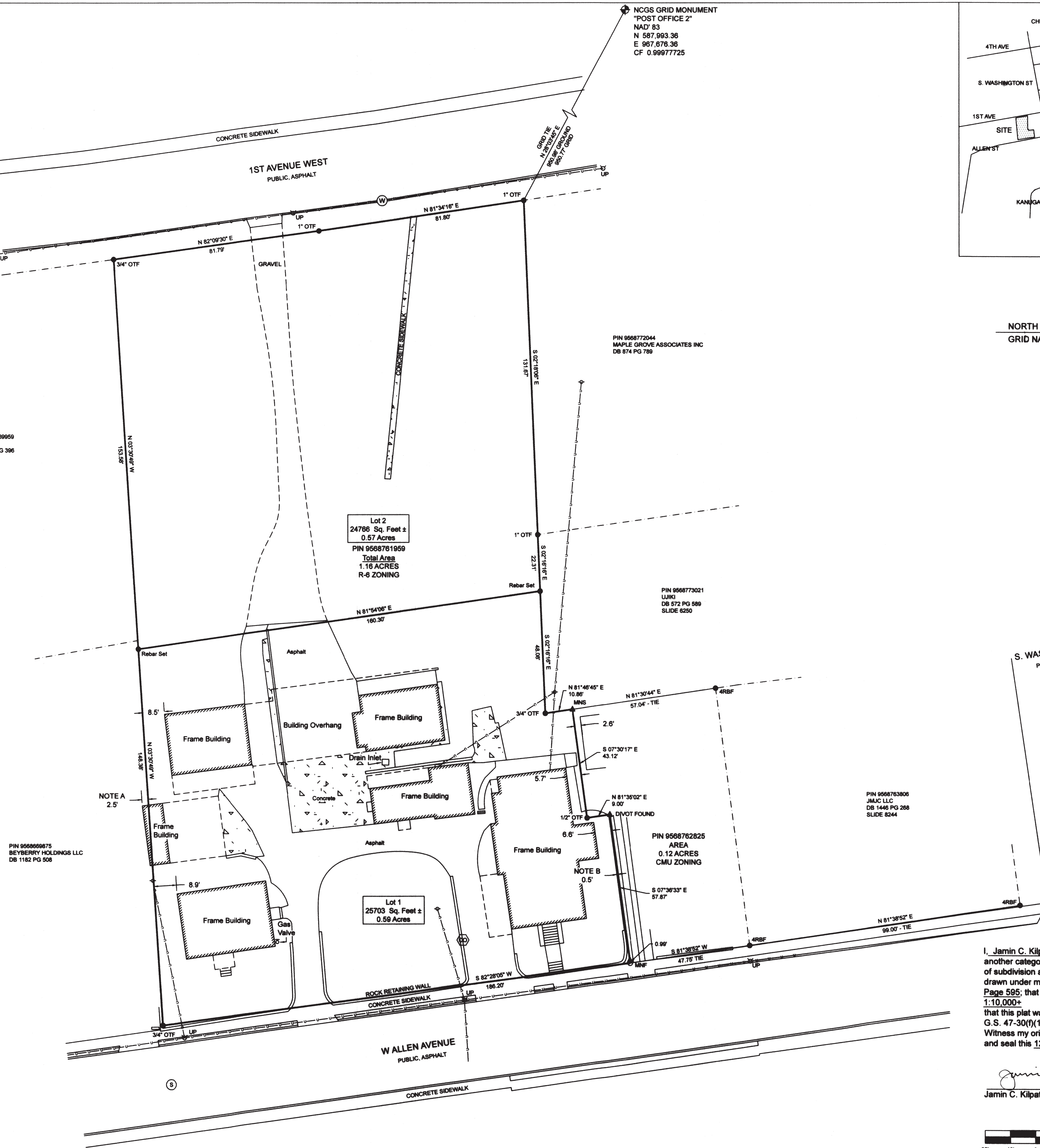
REFERENCES

- DB 3151 PG 595
- DB 1086 PG 482
- DB 1459 PG 198
- SLIDE - 6250
- SLIDE - 6244
- DB 572 PG 589
- DB 1088 PG 386
- DB 1182 PG 508
- DB 874 PG 788

NOTES

- SUBJECT PROPERTY TIED TO NC GRID NAD '83 (2011) BY GPS OBSERVATION.
- ORIGINAL BOUNDARY SURVEY COMPLETED ON MARCH 6, 2017. THIS SURVEY IS TO SUBDIVIDE PARENT TRACT.
- THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- SURVEYOR WAS NOT PROVIDED WITH A LEGAL TITLE SEARCH. THERE MAY EXIST EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS PERTINENT TO THIS PROPERTY THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE THAT ARE NOT SHOWN ON THIS SURVEY.
- THE LOCATIONS OF UNDERGROUND UTILITIES ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED THE SURVEYOR. LOCATIONS OF OTHER UNDERGROUND UTILITIES/STRUCTURES MAY BE PRESENT AND NOT SHOWN. PROPERTY SUBJECT TO ALL RIGHTS-OF-WAY AND EASEMENTS OF RECORD, INCLUDING, BUT NOT LIMITED TO, THOSE SHOWN HEREON.
- NO UNDERGROUND UTILITIES WERE LOCATED. CALL 1-800-632-4949 BEFORE DIGGING.
- ALL BUILDINGS, SURFACE AND SUBSURFACE IMPROVEMENTS ON AND ADJACENT TO THE SITE ARE NOT NECESSARILY SHOWN. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT SURVEYED OR CONSIDERED AS PART OF THIS SURVEY.
- NO EVIDENCE OR STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONDITIONS, CONTAINERS, OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY.
- AREA BY COORDINATE COMPUTATION.
- PROPERTY LINES SHOWN AS DASHED WERE NOT FIELD SURVEYED. THEY WERE PLOTTED FROM RECORD DOCUMENTS.
- THERE IS A POSSIBLE 2.5' BUILDING ENCROACHMENT, SHOWN HEREIN AS "NOTE A."
- THERE IS A POSSIBLE 0.5' DRIVEWAY ENCROACHMENT, SHOWN HEREIN AS "NOTE B."
- PIN 9568761959 CURRENTLY ZONED R-8 BY THE CITY OF HENDERSONVILLE.
- SETBACKS: FRONT - 20' REAR - 10' SIDE - 5'
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.

PIN 9568699959  
FOX  
DB 1068 PG 396



I, Jamin C. Kilpatrick, certify that this survey is of another category or other exception to the definition of subdivision and I further certify that this plat was drawn under my supervision from Deed Book 3131, Page 595; that the ratio of precision as calculated is 1:10,000+ that this plat was prepared in accordance with G.S. 47-30(f)(1)(d).  
Witness my original signature, registration number and seal this 12th day of February, A.D., 2019.

Jamin C. Kilpatrick  
Jamin C. Kilpatrick, PLS L-4602

SCALE 1" = 20'  
20' 10' 0' 20' 40' 60'

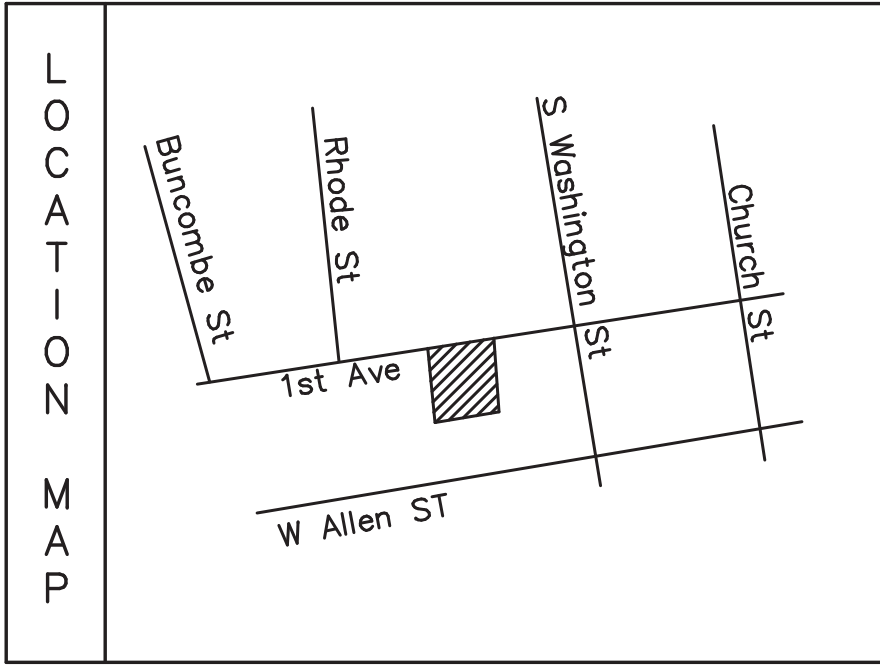
Section 5, Item B.  
**KILPATRICK LAND SURVEYING PLLC**  
PO BOX 2705, HENDERSONVILLE, NC 28754  
828-606-4787 www.kilpatrick.com P-0508

SUBDIVISION OF PROPERTY FOR:  
**RIDDLE DEVELOPMENT, LLC**  
CURRENT OWNER: RIDDLE DEVELOPMENT LLC  
City of Hendersonville, Hendersonville Township  
Henderson County, North Carolina  
PIN 9568761959

Date 6 MARCH 2017  
Drawn By JCK  
Scale 1" = 20'  
Revision 02-12-19  
Dwg No. G-17-300

SLIDE 11633





LEGEND:

○	NIP	NEW IRON PIN
○	EIP	EXISTING IRON PIN
○	CP	CALCULATED POINT ONLY
⊕		POWER POLE
⊙		LIGHT POLE
⊗		WATER VALVE
⊕		GAS VALVE
⊙		WATER METER
⊗		FIRE HYDRANT
⊕		SANITARY SEWER MANHOLE
⊙		STORM DRAIN MANHOLE
⊗		CATCH BASIN
⊕		CLEANOUT
⊙		CURB INLET
⊗		TRANSFORMER
ohp		OVERHEAD POWER
-X-X-		FENCE LINE

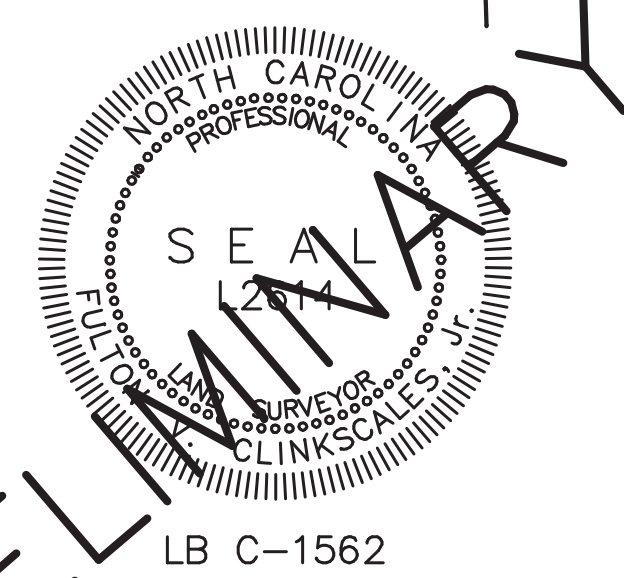
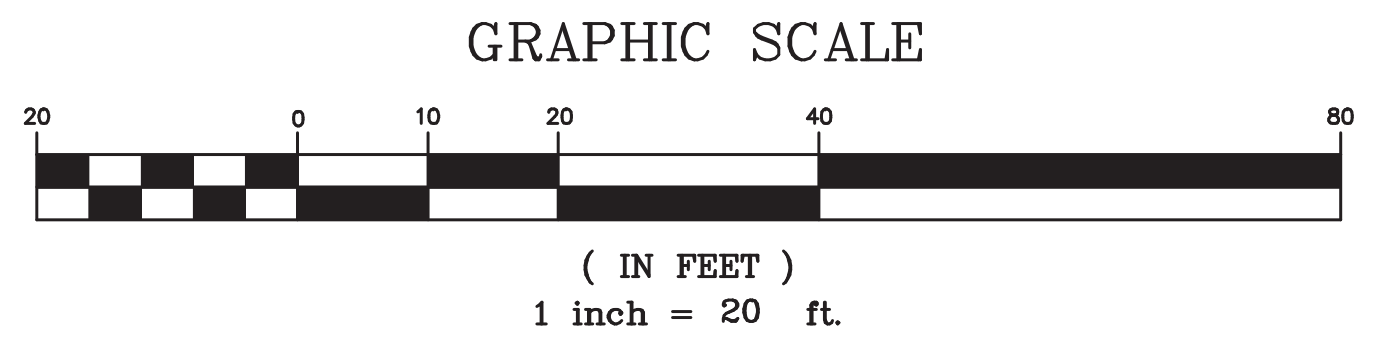


Note: Trees as shown, have diameters of 12" or greater. Total of 24 trees.

**Not For Recordation**

The original drawing and/or all copies of it are not transferable to any future owner(s) of the platted property and shall not be used or relied upon by future owner(s) and/or their representatives for any reason without written release by the professional surveyor.

This is to certify that the property shown on this plat was surveyed under my direct supervision. Property lines and improvements are located correctly and that no visible encroachments exist unless otherwise shown.



Not valid without the signature and the original seal of a North Carolina licensed land surveyor.

**Plat of Boundary Survey for**

**Andrew Riddle**

**1st Avenue West**

**Hendersonville Township, Henderson County, N.C.**

FREELAND - CLINKSCALES & ASSOCIATES, INC. OF N.C. ENGINEERS * LAND SURVEYORS 201 2nd AVE. EAST HENDERSONVILLE, N.C. 28792 fcaofnc@outlook.com (828) 697-6539 Fax (828)-697-4195 Firm No. C-1562	REF. PLAT BOOK	2019/11633
	REF. DEED. BOOK	3131/595
	TAX MAP	9568-77-1057
	PARTY CHIEF	FVC
	DRAWN	BLB
DATE	January 27, 2020	
DWG.NO.	H40054	





project design team:  
 the tamara peacock co. architects  
 129 3rd ave w  
 HENDERSONVILLE, NC 28792  
 Phone: 828.696.4000  
 LICENSE #12289

owner:

project name:  
**FIRST AVE VILLAS**

**320 1ST AVE W  
 HENDERSONVILLE,  
 NC 28792**

Tamara Peacock, R.A.  
 Registration No. 12289

issued for:

date:

sheet name:  
**PRELIMINARY  
 SITE PLAN**

revisions:

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date: 2/14/2025 8:48:40 PM  
 proj. no.:  
 CHECKER:  
 drawn by: AUTHOR  
 revised by: DESIGNER  
 CHECKER: APPROVER

sheet no.:  
**SP 101**

**SITE STATISTICS CONT.**

<b>BUILDING FOOTPRINT</b>	EACH BUILDING: 4,810 SF TOTAL FIRST FLOOR FOOTPRINT: 9,620 SF
<b>NUMBER OF UNITS:</b>	12 TOTAL; 6 PER BUILDING
<b>TOTAL SQUARE FOOTAGE:</b>	19,240 SF PER BUILDING 38,480 SF TOTAL
<b>STREETS AND PARKING</b>	7,713 SF
<b>TOTAL PERVIOUS AREA</b>	7,576 SF
<b>COMMON OPEN SPACE</b>	2,520 SF (2,483 SF REQ'D - 10%)
<b>PHASING</b>	TO BE COMPLETED IN ONE PHASE

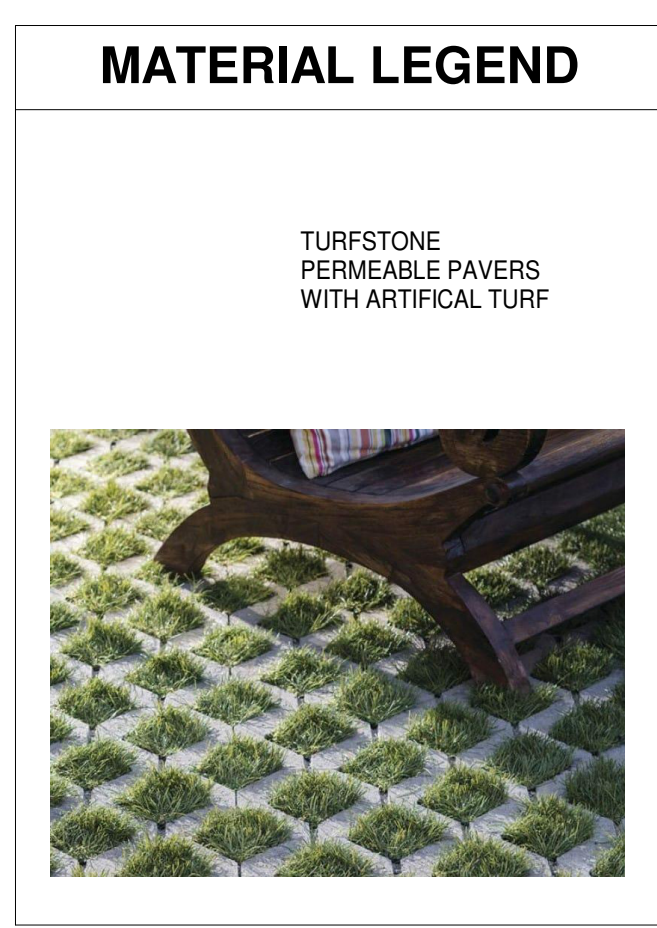
**SITE STATISTICS**

	PROVIDED	REQUIRED
<b>PROP LOC:</b>	320 FIRST AVE. W.	
<b>BLOCK:</b>		
<b>PIN:</b>	9568771057	
<b>OWNER:</b>	ARY Development LLC	
<b>ZONING:</b>	UR-CZD	
<b>PROPOSED USE:</b>	12 MULTI-FAMILY UNITS	
<b>FLOOD DISTRICT:</b>	N	
<b>DOMESTIC WASTEWATER:</b>	PUBLIC SEWER	
<b>WATER:</b>	PUBLIC	
<b>ADA PARKING:</b>	1 ADA	1 ADA
<b>PARKING:</b>	25 SPACES	12 SPACES
<b>FRONT SETBACK (FIRST AVE)</b>	12' 0" FROM CURB	14' 0" FROM CURB
<b>SIDE SETBACK (CMU)</b>	8' 0"	5' 0"
<b>REAR SETBACK</b>	5' 0"	10' 0"
<b>SIDE SETBACK (R-6)</b>	8' 0"	5' 0"
<b>OVERALL HEIGHT</b>	24'	64'

**SITE COVERAGE**

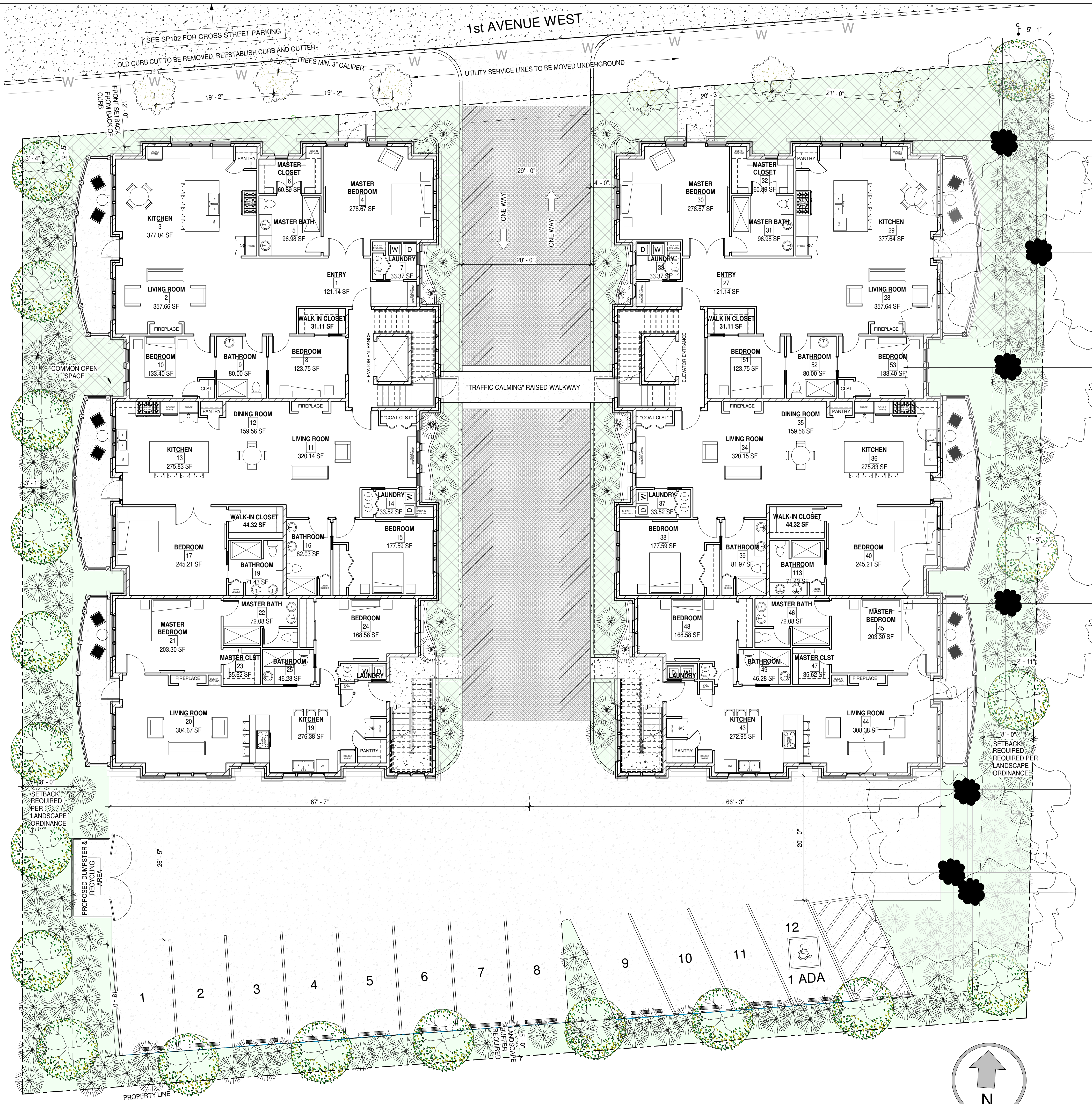
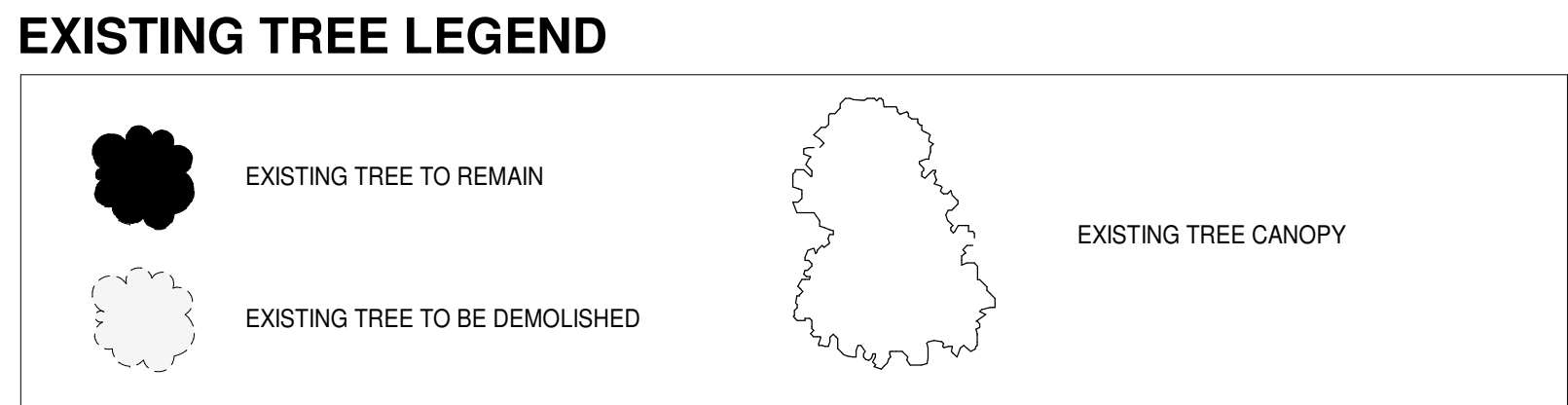
<b>TOTAL PROJECT AREA</b>	57 acres
<b>PROPOSED LOT AREAS</b>	5,691.49 SF
<b>BUILDINGS</b>	11,600 sq ft
<b>OPEN SPACE</b>	7,972 sq ft
<b>STREETS AND PARKING</b>	7,833 sq ft
<b>COMMON OPEN SPACE</b>	2,364 sq ft

- NOTES:**
- SITE LIGHTING WILL BE ADDRESSED AT FINAL SITE PLAN AND WILL BE COMPLIANT WITH SECTION 6-19 OF THE ZONING CODE
  - HOA WILL BE RESPONSIBLE FOR MAINTENANCE OF URBAN OPEN SPACE AND COMMON AREAS
  - DETAILED LANDSCAPING PLAN WILL BE PROVIDED WITH THE FINAL SITE PLAN
  - DUMPSTER AND RECYCLING AREA TO MEET THE SCREENING REQUIREMENTS OF 15-19-3.3c



**ADJACENT PROPERTIES:**

ADJACENCY	ADDRESS	ZONING	PROPERTY OWNER
NORTH	111 N WASHINGTON ST	CMU	FIRST CHURCH OF THE NAZARENE
EAST	103 S WASHINGTON ST	CMU	MAPLE GROVE ASSOC INC
EAST	115 S WASHINGTON ST	CMU	NENON L. UJIKI
SOUTHEAST	119 S WASHINGTON ST	CMU	JMJC, LLC
SOUTHEAST	313 W ALLEN ST	CMU	MATT JOHNES, LLC
SOUTH	315 W ALLEN ST	R-6	MATT JOHNES, LLC
SOUTHWEST	337 W ALLEN ST	R-6	BEYBERRY HOLDINGS, LLC
WEST	332 1ST AVE W	R-6	JOHN E. FOX, HARRIETT W. FOX



**SITE PLAN**  
 1/8" = 1'-0"





PROJECT DESIGN TEAM:  
THE TAMARA PEACOCK CO. ARCHITECTS  
129 3RD AVE W  
HENDERSONVILLE, NC 28792  
PHONE: 828.696.4000  
LICENSE #12289



OWNER:

PROJECT NAME:

**FIRST AVE  
VILLAS**

**320 1ST AVE W  
HENDERSONVILLE,  
NC 28792**

TAMARA PEACOCK, R.A.  
REGISTRATION NO. 12289

ISSUED FOR:

DATE:

SHEET NAME:

**DETAILS**

REVISIONS:

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THIS DOCUMENT DOES NOT EITHER IN WHOLE OR IN PART CONSTITUTE ANY DIRECTION OR INSTRUCTION TO ANY CONTRACTOR WITH REGARD TO CONSTRUCTION MEANS, METHODS OR TECHNIQUES. BY THIS DOCUMENT THE ARCHITECT DOES NOT INTEND TO EXPRESS ANY OPINION, DIRECTION OR INSTRUCTION OF ANY KIND WHATSOEVER AS TO THE MANNER IN WHICH THE CONSTRUCTION WORK IS TO BE ACCOMPLISHED.

DATE: 11/19/2024 6:08:36 PM

PROJ. NO.:

CHECKER

AUTHOR

CHECKER

PROJ. PHASE:

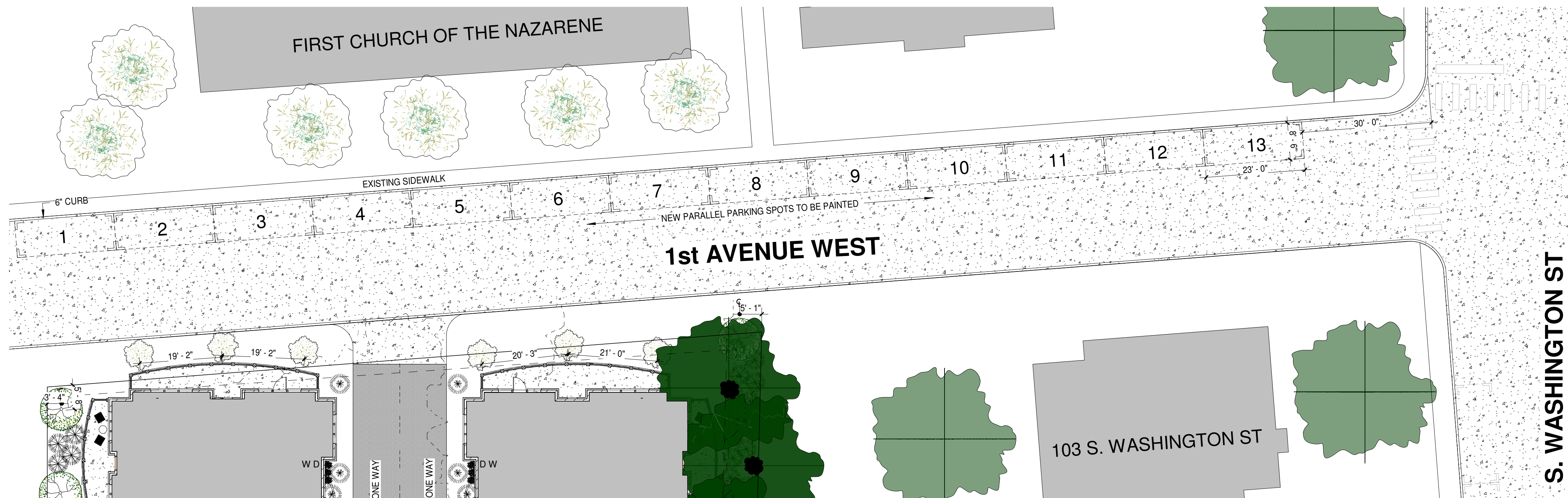
DESIGNER

CAPT.

APPROVER

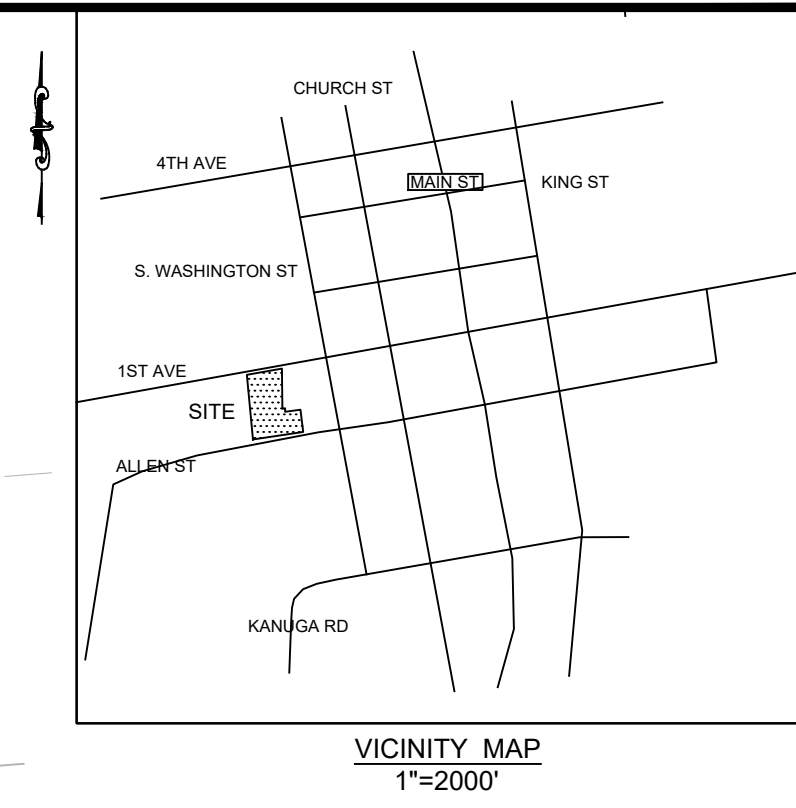
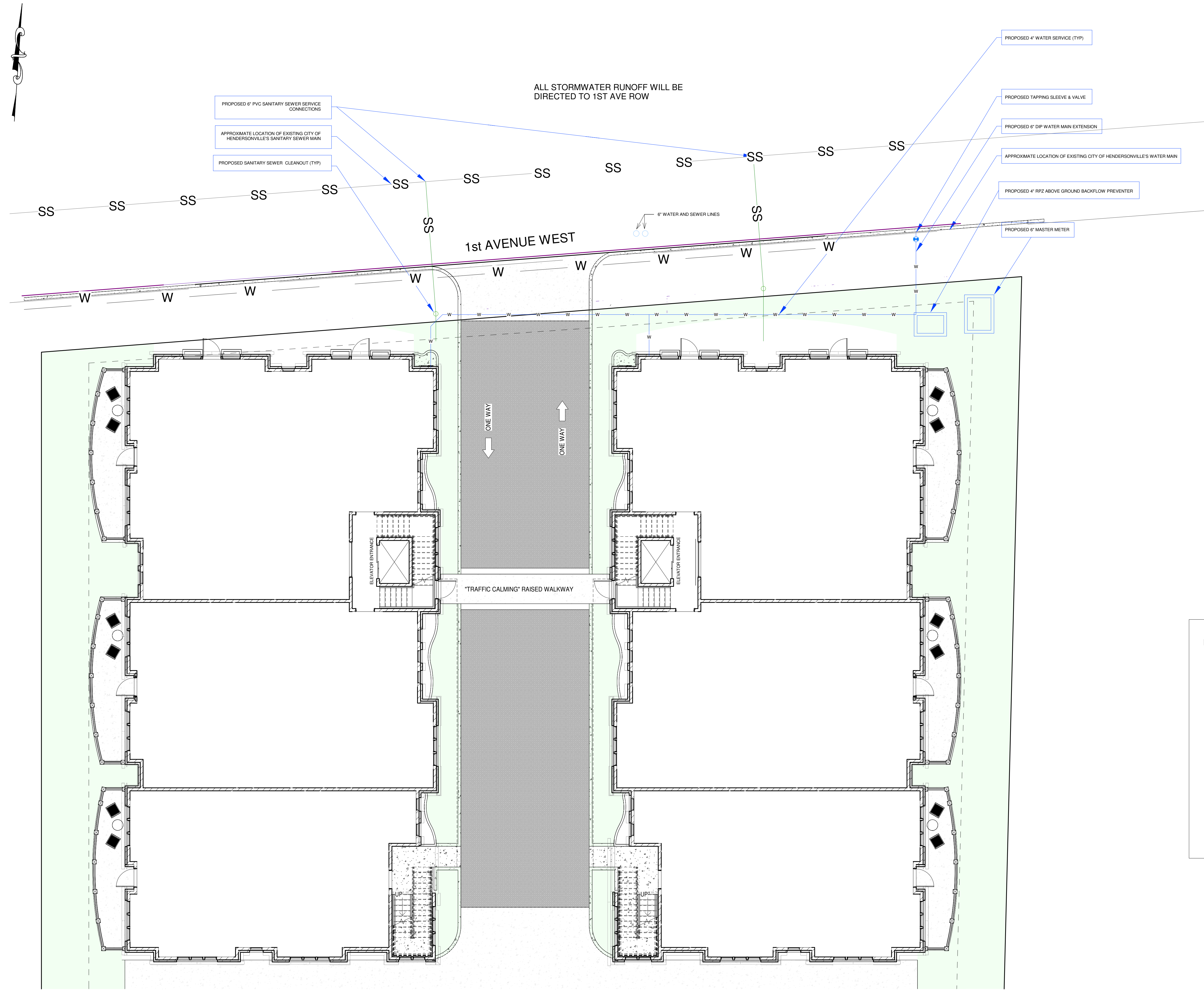
SHEET NO.:

**SP102**



**1 STREET PARKING**  
SP102 1/16" = 1'-0"





Civil Engineers and Land Surveyors  
7 Glenn Bridge Rd, Suite H  
Arden, NC 28704  
(828) 676-0607  
www.feiconsulting.com  
License No. C-0950

**FIRST AVE VILLAS**  
UTILITY PLAN

PROJECT LOCATION  
CITY: HENDERSONVILLE  
COUNTY: HENDERSON  
STATE: NORTH CAROLINA

DEVELOPER INFORMATION  
ARY DEVELOPMENT LLC  
17 OLDE EASTWOOD VILLAGE BLVD  
ASHEVILLE NC, 28863

**DELIVERY OF ELECTRONIC FILES:**

THIS DATA IS PROVIDED IN ELECTRONIC MEDIA FORMAT ONLY FOR THE CONVENIENCE OF THE PARTIES INVOLVED. UPON TRANSFER, THE CLIENT, CONTRACTOR, SUBCONTRACTOR OR AGENT AGREES TO WAIVE ALL CLAIMS AGAINST FEI. (OR ITS CONSULTANTS) RESULTING IN ANY WAY FROM THE USE OF THIS DATA.

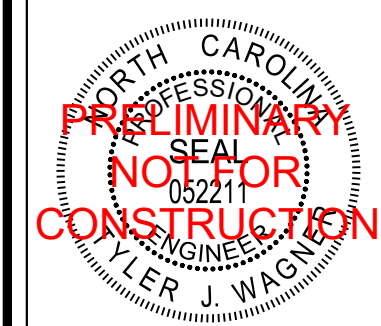
IN ADDITION, THE CLIENT, CONTRACTOR, SUBCONTRACTOR OR AGENT, AS APPLICABLE, AGREE, TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD HARMLESS FEI. (AND ITS CONSULTANTS) FROM ANY DAMAGE, LIABILITY OR COST, INCLUDING REASONABLE ATTORNEYS' FEES AND COSTS OF DEFENSE, ARISING OUT OF THE USE OF THIS DATA IN ELECTRONIC FORMAT.

FEI MAKES NO WARRANTIES, EITHER EXPRESS OR IMPLIED, OF MERCHANTABILITY OR FITNESS FOR ANY PURPOSE.

NO	DATE	REVISION NOTE
1	6-21-2024	REVISED PER CITY COMMENTS
2	8-14-2024	REVISED PER CITY COMMENTS

DRAWN BY: LBC/MRP  
CHECKED BY: TJW  
DATE: 06/13/2024  
PROJECT NO.: 01039.001  
REF. NO.:  
SCALE: 1"=10'

- SITE DATA:**  
OWNER: ARY DEVELOPMENT LLC  
SITE ADDRESS: 320 FIRST AVE. W.  
SITE PIN: 9568771057
- NOTES:**
1. THE PROPOSED DEVELOPMENT IS ANTICIPATED TO BE SERVED BY CITY OF HENDERSONVILLE'S SEWER & WATER.
  2. THE SITE LAYOUT HAS BEEN PREPARED BY PEACOCK ARCHITECTS AND HAS BEEN UTILIZED AS A DESIGN BASIS FOR THE PROPOSED UTILITY IMPROVEMENTS.
  3. UTILITY INFORMATION SHOWN HEREIN HAS BEEN PREPARED BY FEI AND IS SUBJECT TO CHANGE. ALL LOCATIONS ARE APPROXIMATE.
  4. ALL PROPOSED UTILITY SERVICE LINES WILL BE LOCATED UNDERGROUND.
  5. THIS PLAN IS FOR REVIEW PURPOSES ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION.



**SHEET**  
**C-100**

1  
A603  
**PRELIM UTILITY PLAN**  
1/8" = 1'-0"



LARGE EVERGREEN TREES - TOTAL COUNT: 25					
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS (ALL PLANTS TO MEET ANSI Z60.1 STNDS.)
SO	25	Gleditsia triacanthos	Honey Locust	2" CALIPER, 12' HEIGHT	B&B, SINGLE STRAIGHT LEADER

EVERGREEN SHRUBS - TOTAL COUNT: 143					
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS (ALL PLANTS TO MEET ANSI Z60.1 STNDS.)
LB	143	Ilex crenata 'Convexa'	Convexa Japanese Holly	3 GALLON, 18" HEIGHT	FULL PLANT

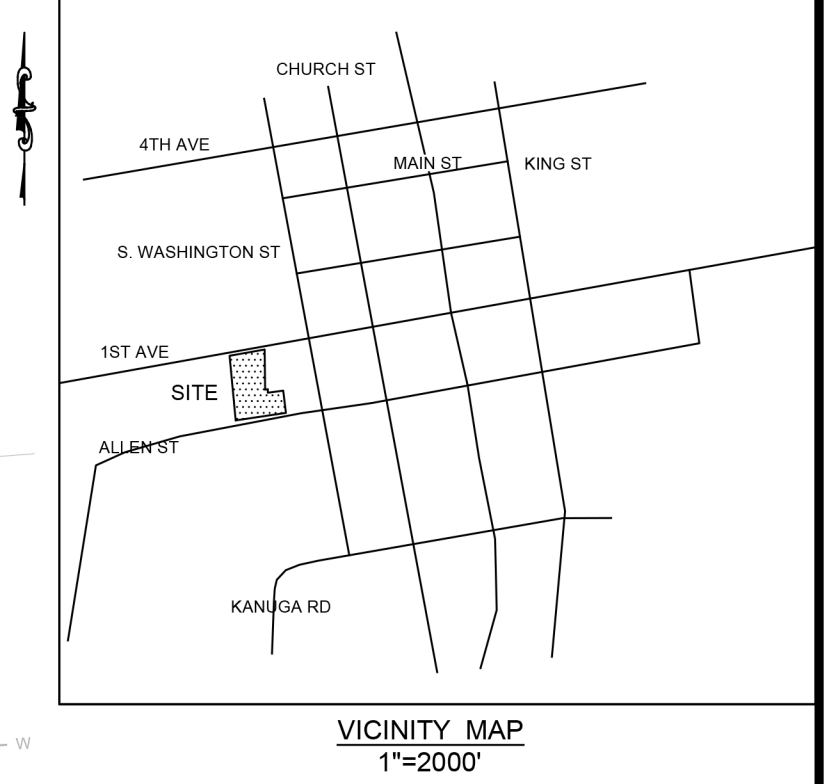
FLOWERING SHRUBS - TOTAL COUNT: 185					
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS (ALL PLANTS TO MEET ANSI Z60.1 STNDS.)
WS	185	Rhododendrons	Rhododendron spp.	3 GALLON, 18" HEIGHT	FULL PLANT

**TOTAL LANDSCAPING CALCULATIONS:**

**VEHICULAR USE AREA** → 1 TREE & 2 SHRUBS PER 4,000 SF  
 10,175.38 SF / 4,000 SF = 2.55 → x3 = 3 TREES & 6 SHRUBS REQUIRED  
 3 TREES (1 PROPOSED & 2 EXISTING), 3 EVERGREEN SHRUBS & 3 FLOWERING SHRUBS PROVIDED

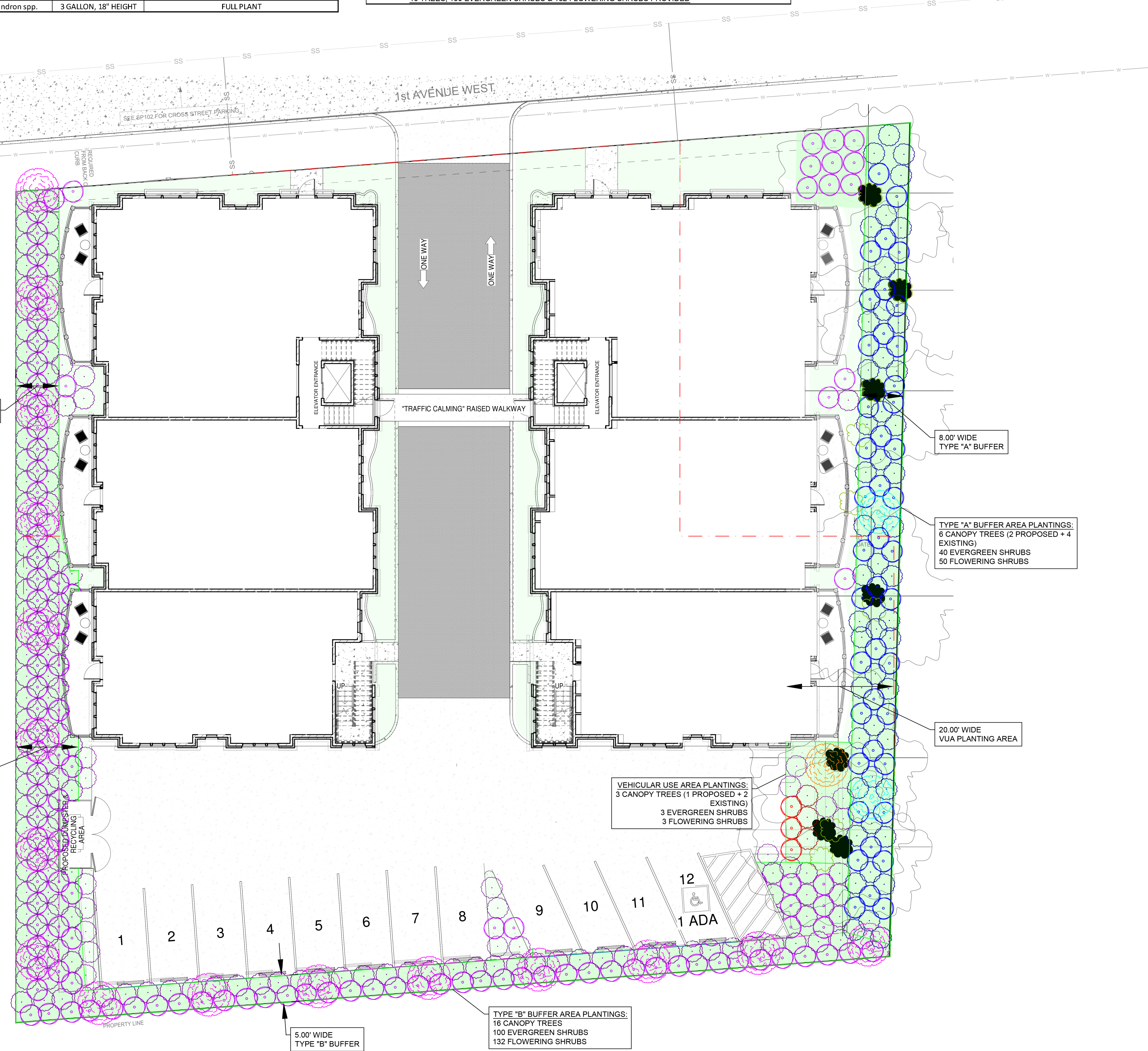
**TYPE "A" BUFFER AREA** → 3 CANOPY TREES, 20 EVERGREEN SHRUBS AND 25 FLOWERING SHRUBS PER 100 LF  
 154.37 LF / 100 LF = 1.54 → x2 = 6 TREES, 40 EVERGREEN SHRUBS & 50 FLOWERING SHRUBS REQUIRED  
 6 (2 PROPOSED & 4 EXISTING) TREES, 40 EVERGREEN SHRUBS & 50 FLOWERING SHRUBS PROVIDED

**TYPE "B" BUFFER AREA** → 4 CANOPY TREES, 25 EVERGREEN SHRUBS AND 33 FLOWERING SHRUBS PER 100 LF  
 315.98 LF / 100 LF = 3.16 → x4 = 16 TREES, 100 EVERGREEN SHRUBS & 132 FLOWERING SHRUBS REQUIRED  
 16 TREES, 100 EVERGREEN SHRUBS & 132 FLOWERING SHRUBS PROVIDED



Civil Engineers and Land Surveyors  
 7 Glenn Bridge Rd., Suite H  
 Arden, NC 28704  
 (828) 676-0807  
 www.feiconsulting.com  
 License No. C-0950

BUFFER TYPE "A"	BUFFER TYPE "B"	VUA	PLANTINGS LEGEND
			LARGE EVERGREEN CANOPY TREE PLANTING LOCATION
			EVERGREEN SHRUB PLANTING LOCATION
			FLOWERING SHRUB PLANTING LOCATION
			EXISTING TREE TO REMAIN AND BE USED AS CREDIT



**FIRST AVE VILLAS**  
 LANDSCAPING PLAN

DEVELOPER INFORMATION:  
 ARY DEVELOPMENT LLC  
 1000 WOOD VILLAGE BLVD  
 ASHEVILLE, NC 28906

PROJECT LOCATION:  
 CITY: HENDERSONVILLE  
 COUNTY: HENDERSONVILLE  
 STATE: NORTH CAROLINA

NO.	DATE	REVISION NOTE
1	6-21-2024	REVISED PER CITY COMMENTS
2	8-14-2024	REVISED PER CITY COMMENTS

DRAWN BY: LBC/MPR  
 CHECKED BY: TJW  
 DATE: 06/13/2024  
 PROJECT NO.: 01039.001  
 REF. NO.:  
 SCALE: 1"=10'

PROFESSIONAL SEAL  
 JEFFERSON W. WAGNER  
 ENGINEER  
 05221

**PRELIMINARY - NOT FOR CONSTRUCTION**

**SHEET**  
 C-101

**SITE DATA:**  
 OWNER: ARY DEVELOPMENT LLC  
 SITE ADDRESS: 320 FIRST AVE. W.  
 SITE PIN: 3568771057

**NOTES:**  
 1. THE SITE LAYOUT HAS BEEN PREPARED BY PEACOCK ARCHITECTS AND HAS BEEN UTILIZED AS A DESIGN BASIS FOR THE PROPOSED LANDSCAPING IMPROVEMENTS.  
 2. THIS PLAN IS FOR REVIEW PURPOSES ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION.





project design team:  
 the tamara peacock co. architects  
 129 3rd ave w  
 HENDERSONVILLE, NC 28792  
 Phone: 828.696.4000  
 LICENSE #12289

owner:

project name:  
**FIRST AVE VILLAS**

**320 1ST AVE W  
 HENDERSONVILLE,  
 NC 28792**

Tamara Peacock, R.A.  
 Registration No. 12289

issued for:

date:

sheet name:  
**SECOND  
 LEVEL  
 FLOOR  
 PLAN**

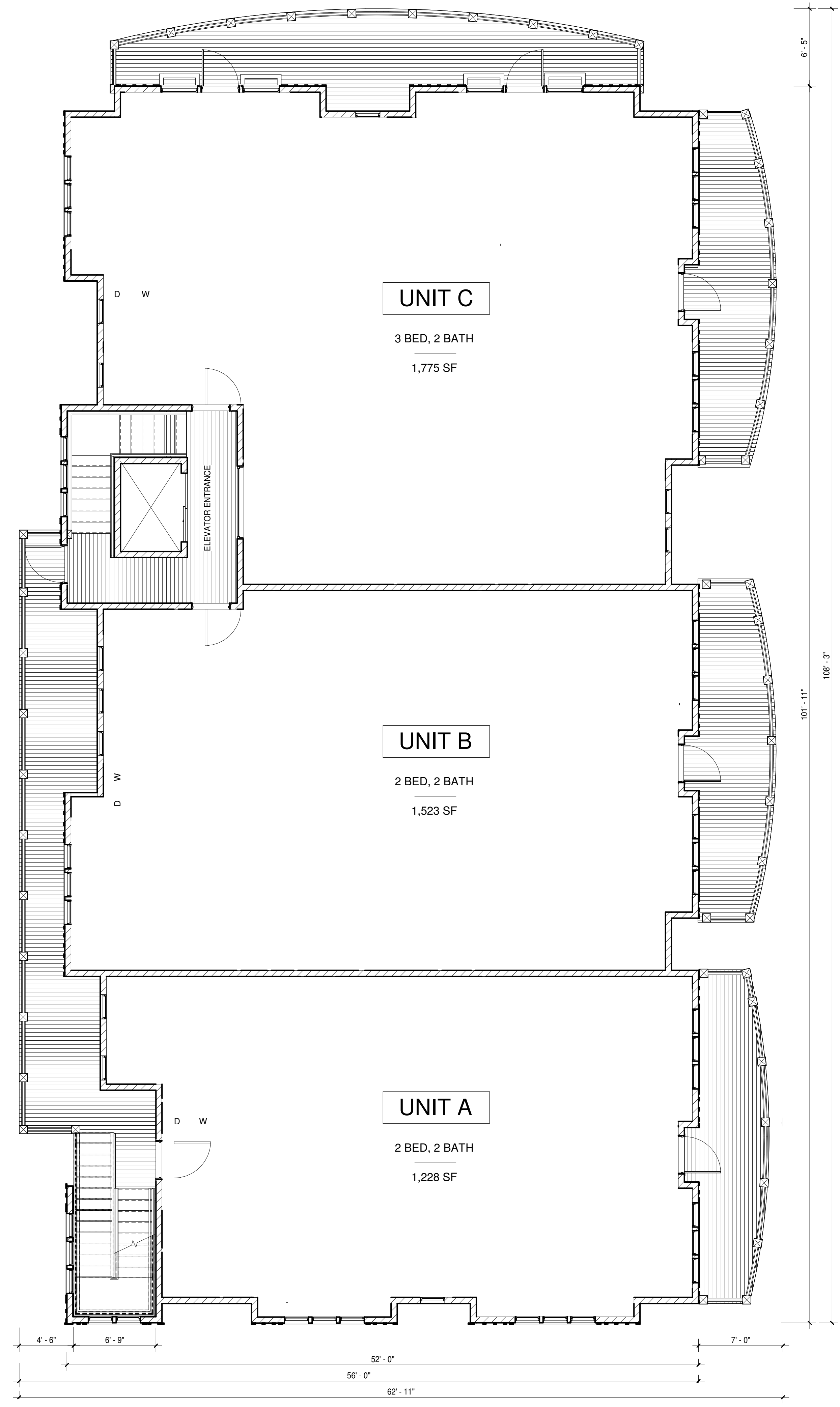
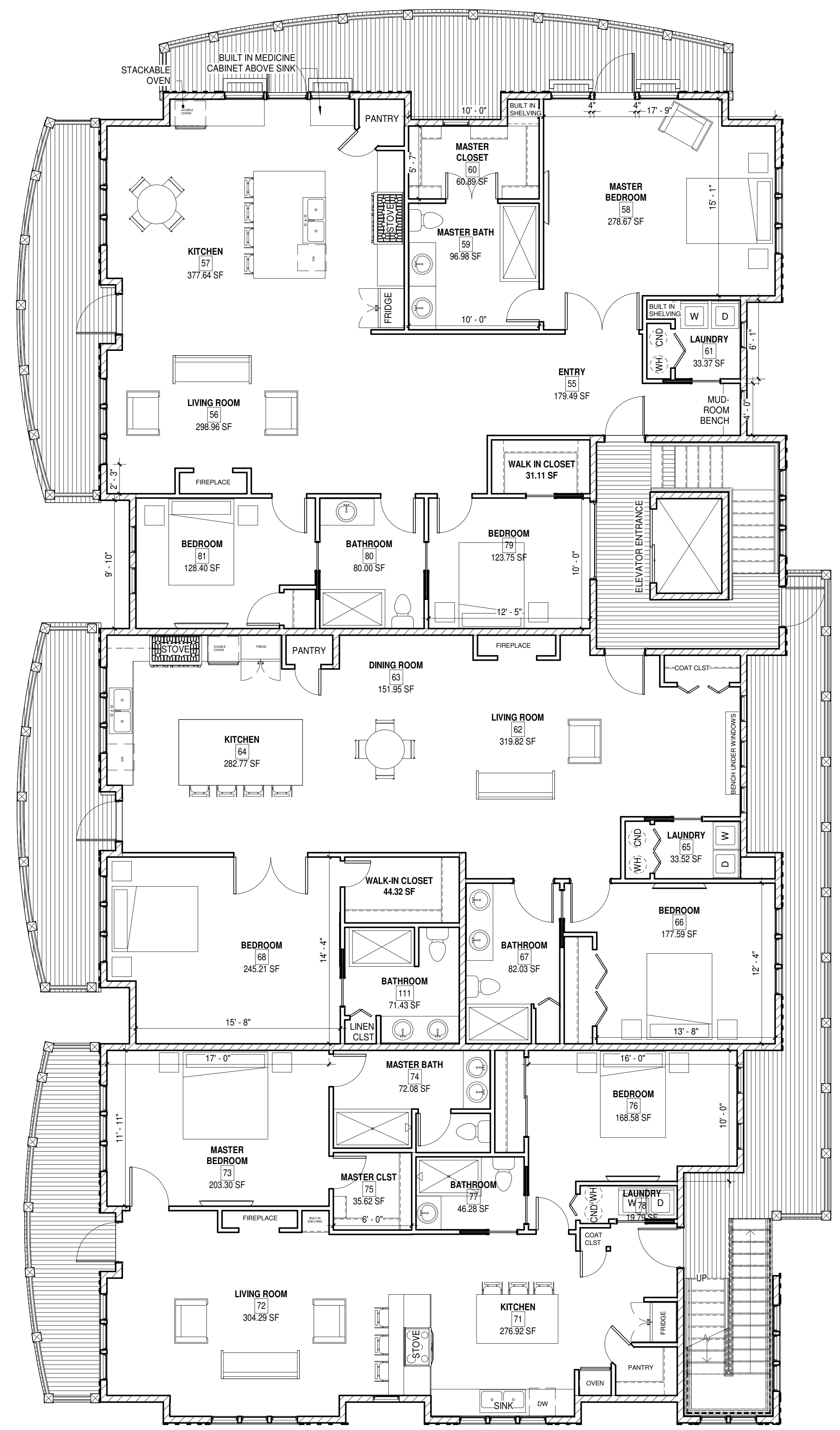
revisions:

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date: 2/4/2025 8:47:17 PM  
 proj. no.:  
 CHECKER  
 drawn by: AUTHOR  
 DESIGNER  
 revised by: CAPT.  
 CHECKER APPROVER

sheet no.:

**A104**



1 SECOND FLOOR UNITS  
 A104 3/16" = 1'-0"





project design team:  
the tamara peacock co. architects  
129 3rd ave w  
HENDERSONVILLE, NC 28792  
Phone: 828.696.4000  
LICENSE #12289

owner:

project name:  
**FIRST AVE  
VILLAS**

**320 1ST AVE W  
HENDERSONVILLE,  
NC 28792**

Tamara Peacock, R.A.  
Registration No. 12289

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date:

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**EXTERIOR  
ELEVATIONS**

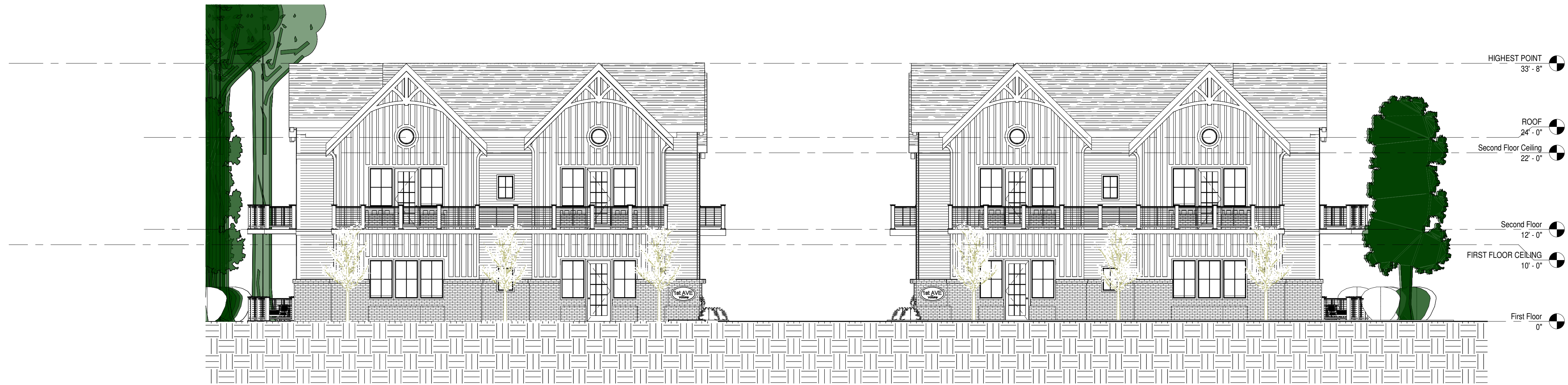
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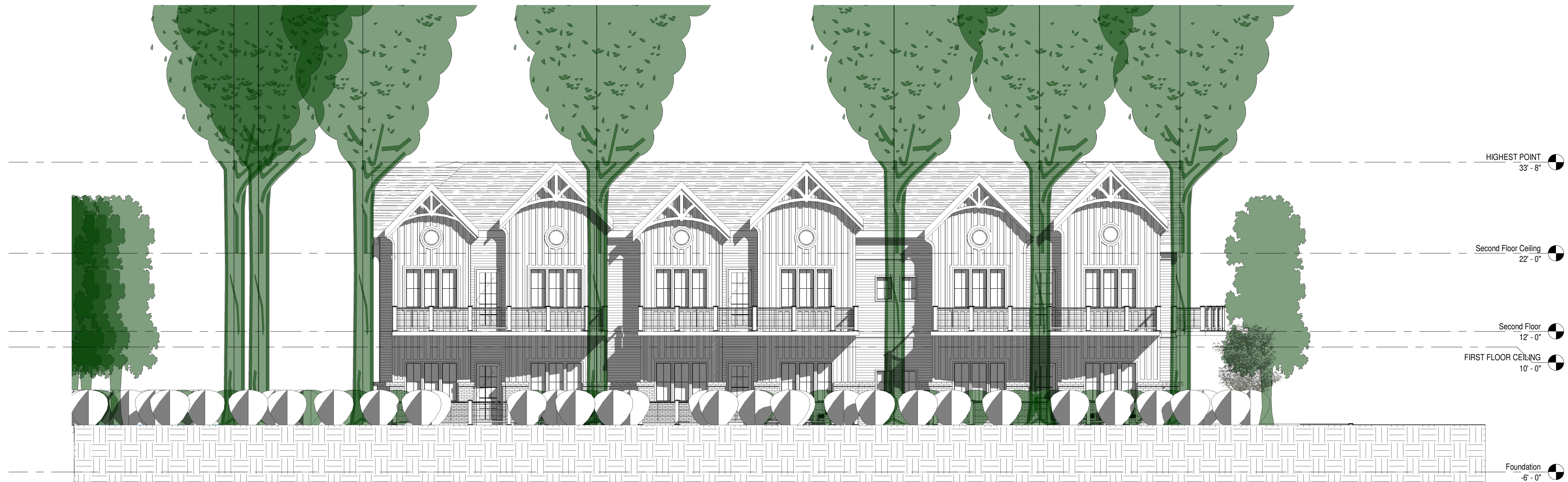
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DESIGNER  
revised by: CHECKER  
APPROVER

sheet no.:

**A401**



1 NORTH ELEVATION  
A401 1/8" = 1'-0"



2 EAST ELEVATION  
A401 1/8" = 1'-0"





project design team:  
the tamara peacock co. architects  
129 3rd ave w  
HENDERSONVILLE, NC 28792  
Phone: 828.696.4000  
LICENSE #12289

owner:

project name:  
**FIRST AVE  
VILLAS**  
**320 1ST AVE W  
HENDERSONVILLE,  
NC 28792**

Tamara Peacock, R.A.  
Registration No. 12289

issued for:

date:

sheet name:  
**EXTERIOR  
ELEVATIONS**

revisions:

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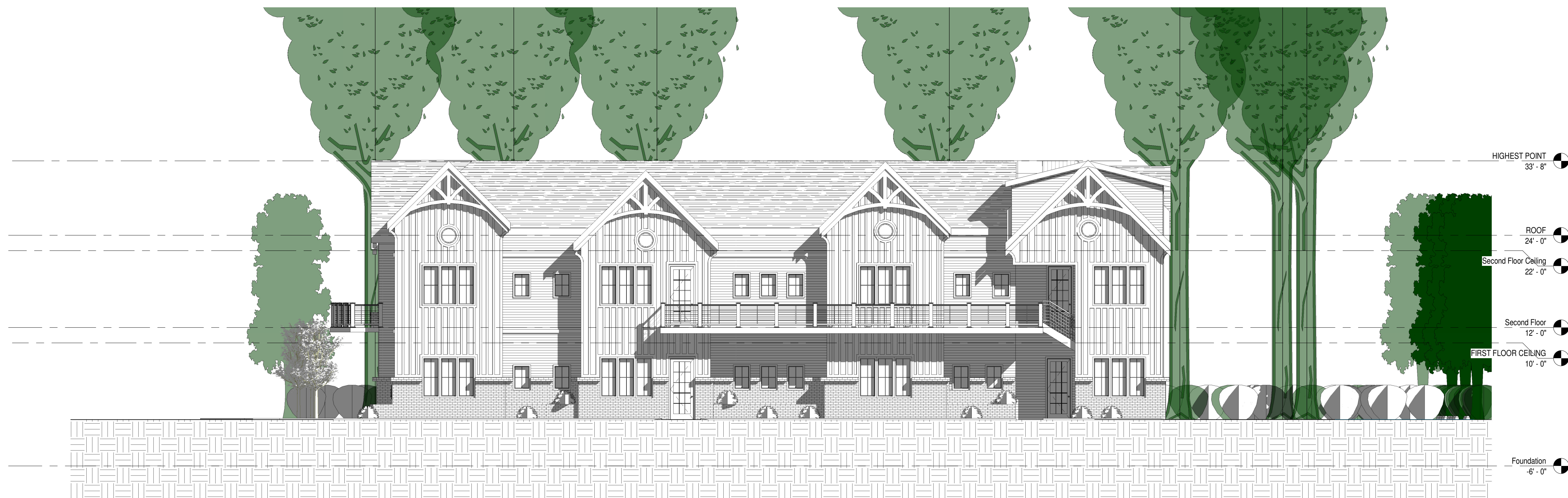
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drawn by: AUTHOR  
DESIGNER  
revised by: CHECKER  
APPROVER

sheet no.:

**A402**



1 SOUTH ELEVATION  
A402 1/8" = 1'-0"



2 COURTYARD ELEVATION  
A402 1/8" = 1'-0"



NEIGHBORHOOD COMPATIBILITY MEETING REPORT

FIRST AVE VILLAS (P24-86-CZD)

NCM MEETING DATES: DECEMBER 12TH, 2024



PETITION REQUEST: Rezoning: First Ave Villas- Urban Residential (UR-CZD)

APPLICANT/PETITIONER: ARY Development LLC (Applicant)

NEIGHBORHOOD COMPATIBILITY MEETING SUMMARY:

A Neighborhood Compatibility Meeting was held for this project on December 12th, 2024, at 2pm in the Old Council Chambers at City Hall, 160 6<sup>th</sup> Avenue E and via Zoom. The meeting lasted approximately 1 hour and 30 minutes.

There were 4 members of the public in attendance in-person while 4 attended virtually. The applicant and their development team were present with a total of 4 attendees. The City was represented with 2 members Planning staff.

Staff gave the formal introduction and a brief overview of the request.

There was one pre-submitted comment which was provided to the developer at the meeting. The developer was able to respond to the comments and questions.

The development team was allowed to present their project proposal for the proposed apartment development.

Concerns and questions from the public related to:

- Question regarding the dimensions of buildings.
- Questions regarding the price of the condos.
- Questions and comments regarding the protection of trees, adequate tree buffering to preserve existing trees, and the replacement of trees if they are damaged or killed.
- Concern over buffer between properties. Resident suggested building a fence. Developer stated there is only the possibility of maintaining existing trees or building a fence, but not both.
- Explanation of the elevator locations in the building.
- Parking of mail and delivery trucks that would block 1<sup>st</sup> Avenue expressed as a concern by residents.
- General was raised as a concern. The Developer spoke to the three different areas of parking (rear, street, and in an adjacent parking lot).
- Question regarding the rear parking area pavement material.

*Full minutes from the Neighborhood Compatibility Meeting and pre-submitted public comments are available for review by request.*



Ordinance # \_\_\_\_ - \_\_\_\_

**AN ORDINANCE OF THE CITY OF HENDERSONVILLE CITY COUNCIL TO AMEND THE OFFICIAL ZONING MAP OF THE CITY OF HENDERSONVILLE FOR PARCELS POSSESSING PIN NUMBER: 9568-77-1057 BY CHANGING THE ZONING DESIGNATION CMU-CZD (CENTRAL MIXED USE CONDITIONAL ZONING DISTRICT) TO UR-CZD (URBAN RESIDENTIAL - CONDITIONAL ZONING DISTRICT)**

IN RE: Parcel Numbers: 9568-77-1057  
Addresses: 0 1<sup>st</sup> Ave West  
1<sup>st</sup> Ave Villas: (File # P24-86-CZD)

**WHEREAS**, the City is in receipt of a Conditional Rezoning application from applicant and property owner, Rafique Charania of ARY Development LLC, for the development of 12 multi-family residential units on 1<sup>st</sup> Ave W; and

**WHEREAS**, the Planning Board took up this application at its regular meeting on February 13, 2025; voting **X-X** to recommend City Council approve an ordinance amending the official zoning map of the City of Hendersonville, and

**WHEREAS**, City Council took up this application at its regular meeting on **March 6, 2025**, and

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Hendersonville, North Carolina:

1. Pursuant to Article XI of the Zoning Ordinance of the City of Hendersonville, North Carolina, the Zoning Map is hereby amended by changing the zoning designation of the following: Parcel Number: 9568-77-1057, changing the zoning designation from CMU-CZD (Central Mixed Use Conditional Zoning District) to UR-CZD (Urban Residential - Conditional Zoning District)
2. Development of the parcel pursuant to this Ordinance is subject to the following.
  - a. Development shall comply with the site plan submitted by the applicant dated **Month Date, 2025**, including the conditions listed therein, [and/or as modified and presented to City Council][and/or including modifications approved by City Council which shall be added to the site plan. The updated site shall be submitted to the City at or before the applicant’s execution of this Ordinance].
  - b. Permitted uses shall include:
    - i. Residential, Multi-Family - 12 Units
    - c. Additional conditions that shall be satisfied prior to final site plan approval include:**
      - i.
3. Except where modified by the terms of this Ordinance, development of the parcel(s) shall occur in accordance with the final site plan requirements of Article VII of the Zoning Ordinance of the City of Hendersonville, North Carolina.
4. Except where explicit relief is granted by the terms of this Ordinance, the development of the parcel(s) shall occur in accordance with all applicable standards within local ordinances and policies.

This ordinance shall be not be effective until the list of use(s) and conditions, established herein, is consented to in writing by the applicant and all owners of the subject property. Upon such written consent, this ordinance shall be effective retroactive to the date of its adoption.

Adopted this **6<sup>th</sup> day of March 2025**.

Attest: Barbara G. Volk, Mayor, City of Hendersonville



Jill Murray, City Clerk

Approved as to form:

---

Angela S. Beeker, City Attorney



With their signatures below, the undersigned applicant(s) and property owner(s) consent to and agree to all conditions imposed pursuant to the terms of this Ordinance.

IN RE: Parcel Numbers: 9568-77-1057  
Addresses: 0 1<sup>st</sup> Ave West  
1<sup>st</sup> Ave Villas: (File # P24-26-CZD)

Applicant/Developer: Sarah McCormick,  
Peacock Architects

Property Owner: Rafique Charania, ARY  
Development LLC

Signature: \_\_\_\_\_

Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Title: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

Date: \_\_\_\_\_



**Entry #:** 14 - 11/13/2024

**Status:** Submitted

**Submitted:** 11/13/2024 5:08 PM

**Date:**  
11/13/2024

**Address/Location of Property:**  
9568771057

**Current Zoning:**  
CMU-CZD

**Proposed Zoning:**  
UR-CZD

List the adjacent property parcel numbers and uses.

**PIN or PID #**  
9568772044

**Adjacent Property Use:**  
CMU

**PIN or PID #**  
9568770237

**Adjacent Property Use:**  
CMU

**PIN or PID #**  
9568770025

**Adjacent Property Use:**  
R-6

**PIN or PID #**  
9568761961

**Adjacent Property Use:**  
R-6

**Applicant Name:**  
Sarah McCormick

**Address**  
129 3rd Ave W, Hendersonville, North Carolina 28792

**Phone**  
(828) 696-4000

**Email**  
sarah@peacockarchitect.com

**Property Owner Name:**  
Rafique Charania for ARY Development LLC

**Address**  
17 Olde Eastwood Village Blvd, Asheville, North Carolina 28803



**PIN or PID #**

**Signature**

*Rafique Charania*

**Printed Name:**

Rafique Charania

**Official Use Only:**

**Date Recieved:**

**Received By:**

**Fee Received:**

**Section 11-4 Standards:** The advisability of amending the text of the Zoning Ordinance or the Official Zoning Map is a matter committed to the legislative discretion of the City Council and is not controlled by any one factor. In determining whether to adopt or disapprove the proposed amendment to the text of this Ordinance or the Official Zoning Map, the City Council shall consider the following factors among others:

**a) Comprehensive Plan Consistency. Consistency with the Comprehensive Plan and amendments thereto.**

The comprehensive plan emphasizes the need to alleviate the current housing shortage by developing a variety of housing types walkable to downtown. We are helping preserve the city center and neighborhood through mid-density, quality, user-conscious design. This is a compact development that reduces traffic congestion and maximizes the use of the available land, helping preserve the agricultural land by reducing suburban sprawl

**b) Compatibility with surrounding uses. Whether and the extent to which the proposed amendment is compatible with existing and proposed uses surrounding the subject property.**

In the future land use of downtown, our site is earmarked for multi-generational living and within walking distance of the neighborhood center where most primary activity occurs. We are part of the downtown edge district, made up of civic buildings and commercial businesses. In addition, we are surrounded by a church and residential properties. The use of our building is multi-family residential, therefore compatible with the surrounding properties.

**c) Changed Conditions. Whether and the extent to which there are changed conditions, trends or facts that require an amendment.**

We would be requesting a variance in the front setback line from 14' to 12'. We would also be utilizing the exemption for front porches/patios to extend over the setback line.



**d) Public Interest. Whether and the extent to which the proposed amendment would result in a logical and development pattern that benefits the surrounding neighborhood, is in the public interest and promotes public health, safety and general welfare.**

A courtyard between the two buildings creates a pocket park with opportunities for public interaction, adding value to the community as a whole. This courtyard, clad in turf-stone and landscaping, offers the perfect setup for community interactions. Not only will this type of high-density development so close to downtown help traffic congestion by providing opportunities for walking and cycling as a means of transportation, but we provide 13 extra parallel parking spots across the street that are available to the public.

**e) Public facilities. Whether and to the extent which adequate public facilities and services such as water supply, wastewater treatment, fire and police protection and transportation are available to support the proposed amendment.**

The site plan is designed to meet all the fire code requirements. This development would require tapping into the city of Hendersonville water and sewer main lines.

**f) Effect on natural environment. Whether and the extent to which the proposed amendment would result in significantly adverse impacts on the natural environment including but not limited to water, air, noise, stormwater management, streams, vegetation, wetlands and wildlife.**

There would be no significant impact other than the removal of existing trees. We propose a new landscaping buffer which would replace more trees than we are proposing to remove.