



CITY OF HENDERSONVILLE HISTORIC PRESERVATION COMMISSION

Operations Center - Assembly Room | 305 Williams St. | Hendersonville NC 28792
Wednesday, November 15, 2023 – 5:00 PM

AGENDA

1. **CALL TO ORDER**
2. **PUBLIC COMMENT**
3. **APPROVAL OF AGENDA**
4. **APPROVAL OF MINUTES**
 - A. Minutes of October 18, 2023
5. **OLD BUSINESS**
 - A. 225 N Main St. – Addition of Rooftop Deck & Side and Rear Windows (H23-067-COA) –
Alexandra Hunt / Planner I
6. **NEW BUSINESS**
 - A. 1704 Clairmont Dr. – Second-story addition (H23-083-COA) – *Alexandra Hunt / Planner I*
7. **OTHER BUSINESS**
 - A. Staff and Committee Updates
8. **ADJOURNMENT**

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CITY OF HENDERSONVILLE
Historic Preservation Commission

Minutes of the Meeting of October 18, 2023

Commissioners Present: Jim Welter (Vice-Chair), Cheryl Jones, (Chair), Chris Battista, Jim Boyd, Jane Branigan, Crystal Cauley, John Falvo and Ralph Hammond-Green

Commissioners Absent: Anthony Baltiero

Staff Present: Alexandra Hunt, Planner I, Angela Beeker, City Attorney, Daniel Heyman, Staff Attorney, Lew Holloway, Community Development Director

- I **Call to Order.** Chair called the regular meeting of the Hendersonville Historic Preservation Commission to order at 5:00 pm.
- II **Public Comment.** Chair stated anyone wishing to speak would be allowed two minutes for public comment. Thomas Applebee asked if he could have four minutes. Chair stated they had a packed agenda and allowed three minutes. Mr. Applebee was still upset with the kiosks and has done some investigation into this and went to the City Council who said the reason they did not need the HPC's approval on this is because the kiosk are solar. He came back to the HPC and asked if there were any exceptions for solar and you told him no. He wants to know how the City Council gets away with putting up kiosks. He was concerned about having parking meter maids on the street instead of police officers. This is disturbing. He heard merchants were losing money but the kiosk are making money and he feels the revenue made from the kiosks should be distributed to the merchants. He talked about the parking garage and taxes. He discussed the struggles involved in using the kiosks and being overcharged. Would you rather look at a kiosk or look at a bear? He thinks the city should remove the kiosks and doesn't know why the HPC is not upset about it. He feels like the reason this lady got shot at McDonald's is because of police distraction because they are so worried about this parking meter stuff. He wishes there was something he could do but when he calls City Council they hang up and he never gets a return call. The city administrator never calls him back either.
- No one else spoke during public comment.
- III **Agenda.** On motion of Commissioner Battista and seconded by Commissioner Welter the agenda was approved.
- IV **Minutes.** On motion of Commissioner Hammond-Green and seconded by Commissioner Branigan the minutes of the meeting of July 19, 2023 were approved.
- V **Old Business**
- V(A) **Approval of the Findings of Fact.** On motion of Commissioner Welter and seconded by Commissioner Branigan the Findings of Fact for H23-045-COA were approved.
- VI **New Business**

VI(A) **Certificate of Appropriateness**, Tatjana Kopp, 1619 Kensington Road (File No. H23-079-COA). Prior to the opening of the public hearing, Chair announced that there are three applications for COA's tonight for the Commission to consider. One in the Druid Hills Historic District and two in the Main Street Historic District. Any persons desiring to testify at any of the public hearings must first be sworn as witnesses and will be subject to cross-examination by parties or persons whose position may be contrary to yours. A copy of the procedure and rules for a quasi-judicial hearing is provided on the back table next to the agenda. Since this is a quasi-judicial hearing, it is very important that we have an accurate record of the hearing. Therefore, we must ask that you refrain from speaking until recognized by the Chair and, when recognized, come forward to the podium and begin by stating your name and address. Anyone present who has knowledge of anything of value that has been given or promised in exchange for a position to be taken on these applications should disclose it now. We will now officially take up agenda item H23-079-COA. Anyone wishing to speak during the public hearing should come forward and be sworn in. Chair swore in all potential witnesses.

Chair opened the public hearing.

Alexandra Hunt stated the city is in receipt of a COA application from Tatjana Kopp for the addition of a shed in the rear yard of the subject property located at 1619 Kensington Road. It possesses a PIN of 9569-43-6385 and is located in the Druid Hills Historic District. The application is considered a major work according to the standards of the Residential Historic District Design Standards.

Ms. Hunt showed the historic overlay map which is included in the staff report and the presentation. The subject property was shown in red.

Ms. Hunt gave a history of the subject property which is included in the staff report and the presentation. Past COA approvals for the property were also listed.

Site photos of the property were shown and are included in the staff report and the presentation.

The proposed shed and the site plan were shown and are included in the staff report and the presentation. Specifications state the shed will have to be assembled on-site. If approved the applicant will have to obtain a zoning permit for the shed at which time the Planning staff will review the site plan and determine if the setbacks are met.

The Design Standards that apply to this application were included in the staff report and the presentation.

Chair asked if there were any questions for staff.

Ms. Hunt stated Tatjana Kopp resides in California but a representative was there to answer any questions the Commission may have.

There were no questions.

Chair closed the public hearing.

Chair discussed the shed being screened from the road. Discussion was made on the applicable Design Standards.

Commissioner Welter moved the Commission to find as fact that the proposed application for a Certificate of Appropriateness, as identified in file # H23-079-COA and located within the Druid Hills Historic District, if added according to the information reviewed at this hearing and, with any representations made by the applicant on record of this hearing, is not incongruous with the character of the Hendersonville Historic Preservation Commission Design Standards (Residential) for the following reasons: 1. The shed is compatible with the traditional relationship of accessory buildings to the main structure and the site in the district. (Sec. 2.5.7) 2. The shed is compatible in size, form, height, proportion, materials and details with historic accessory structures in the historic district. (Sec. 2.5.8) 3. The shed is screened from view from the street. (sec. 2.5.8) Commissioner Hammond-Green seconded the motion which passed unanimously.

VI(B) **Certificate of Appropriateness**, Patty Adamic, 303 N. Main Street (File No. H23-068-COA). Chair sworn in all potential witnesses that wanted to speak during this portion of the public hearing.

Chair opened the public hearing.

Alexandra Hunt, Planner stated the city is in receipt of a Certificate of Appropriateness application from Patty Adamic for the replacement of existing vinyl windows with new vinyl window at the subject property located at 303 N. Main Street (PIN 9568-77-8873) and located within the Main Street Historic District. The replacement is considered a major work to be reviewed by the Commission.

The subject property is a contributing two-story brick building and is currently the location of Mike's On Main restaurant.

The Main Street Local Historic District Overlay Map was shown and is included in the staff report with the subject property in yellow.

An aerial view of the property was shown and is outlined in red. This is included in the staff report.

A history of the subject property was included in the staff report and the presentation. The subject property is a contributing two-story brick building and is currently the location of Mike's On Main restaurant.

Sometime prior to the local historic district being established the windows were replaced with vinyl which is what is currently there today. Prior COA's for the property were listed and included in the staff report.

Site images submitted by the applicant were shown and are included in the staff report and presentation.

The scope of the work and the estimate by Dunlap Construction was submitted with the COA application and included in the staff report.

The proposal is to replace 17 total windows. The design is single hung vinyl windows.

The Design Standards that apply are included in the staff report. Ms Hunt stated she would be happy to answer any questions and the applicant is here as well.

Chair asked if there were any questions for staff.

Commissioner Hammond-Green asked if the applicant was informed about vinyl windows. Ms. Hunt stated the applicant was provided the Design Standards and reference to the artificial materials policy and the applicant may have provided additional quotes since the last meeting was canceled. The applicant can speak to this.

There were no further questions for staff.

Chair asked the applicant to come forward. Patty Adamic, 128 Apache Drive stated her name and address for the record.

Ms Adamic stated she would like to replace the windows in her building. When she reached out to Dunlap Construction he came in and did a quote on the windows for what was already in there. She had asked for the windows not to open from top to bottom because through the tremors the building shifted so it is hard to push the windows back up. Currently they have windows that will not stay up and they have sticks holding them up. When they came back with the proposal for the vinyl they just open up instead of up and down. They want to replace all four windows in the front and all of the windows on the side of the building. On the back of the building there are four windows but they perfectly fine. There are power lines on the back of the building which make replacing them difficult. The property owner Love In An Apothecary, she came up in September and agreed they should not replace the four windows in the back. They can replace the wood and caulk in and the windows will be fine in the back. That took them from 21 windows down to 17.

Ms. Adamic stated since then they found out that vinyl is not in the standards and 20 years ago when she did the renovations it was ok. Sometime between then and now vinyl is not ok. She did get bids for aluminum and wood. She was told the Commission would prefer wood but aluminum may be considered. She has those estimates and is hoping the Commission will consider the vinyl because the cost difference is rather large.

Ms. Adamic worried about the building with the replacement of 17 windows. The owner recently passed away but the lady in charge of the estate wants to bring the building up to good standards. Ms. Adamic stated she would really like the Commission to consider the vinyl windows because it is just cost effective. She stated the original bid for vinyl is \$36,000, the aluminum is \$46,000 and the wood is \$53,277. They have been here for a long time and they have to replace the façade as well and she would like for the Commission to please consider the vinyl. She pointed out the cracks that have appeared on the façade from the tremors. They did put in a roof and a new kitchen floor which is costing about \$40,000.

Chair asked Ms. Adamic to tell the Commission more about the quotes she received. Is the quote for aluminum clad? Ms. Adamic stated the quote says aluminum clad window replacement and the other one is wood.

Chair motioned for the quotes to be labeled as Applicant's Exhibit A (aluminum) and Exhibit B (wood). Ms. Adamic stated these windows have been in for 20 years and they basically haven't been too bad until the last couple of years. The reason they are replacing them instead of fixing them is because you cannot get the material any longer and they do not want it to look bad. She stated there is a cracked window upstairs and they want \$600 just to replace the glass. She stated duct tape is covering everything.

Chair explained that last year the guidelines were changed to standards so they do not have the luxury of deviating. The standards now say it is not permissible or proper to replace vinyl with vinyl.

Chair asked if there were any questions for the applicant.

Commissioner Branigan wanted clarification on the replacement of windows or just the trim on some of the windows. Ms. Adamic stated the smaller windows on the side are just the trim. There are three of them and they are original. She stated the building is in really good shape. She would like to see the windows replaced opposed to repairing them.

Commissioner Welter asked if she had looked at other vendors for pricing. Ms. Adamic stated she felt that this one had done their homework. She had reached out to several folks and no one wants to take on the building. They don't put commercial windows in historic districts any longer because it is too hard. Dunlap is the only one that said that they would do the work. Ms. Adamic stated a guy from Asheville that does historic preservation had turned down the job. He didn't actually turn it down, he just never showed up for the meeting with the owner. She did reach out and he came and looked and did not get back to her.

Chair asked no matter what window she uses they will look the same. Is she going with the one over one? And it will fill the opening? Ms. Adamic stated absolutely. They measured each window and they have to be built to spec. They are all being built and based on your decision it will take six weeks to get them.

Chair asked if the Commission or if anyone in the audience had any questions for the applicant. There were no further questions.

Chair asked if anyone would like to speak in favor of the application or if anyone would like to speak against the application. When no one spoke, Chair closed the public hearing.

The Commission discussed the motion and the Design Standards.

Commissioner Battista stated he knew Ms. Adamic and has known her for a very long time. She did contact him previously about this but he told her they could not talk about it. He wanted to disclose this and let the Commission know they have not had any conservation about this application. Chair asked if he felt like their relationship would impact his decision. Commissioner Battista stated no. Angela Beeker, City Attorney stated as long as he feels like he can remain fair and impartial, he can remain.

Commissioner Welter stated he thinks it is pretty clear that vinyl cannot be used. Chair stated now that they have standards it is pretty clear. It clearly says vinyl is not appropriate. The Commission discussed the wood aluminum clad or wood windows being acceptable.

Chair reopened the public hearing.

Chair asked staff if they could approve in one motion as long as Exhibit A or Exhibit B is presented. Ms. Beeker asked you mean give her a choice. Chair stated yes, because they both meet the standards.

Chair closed the public hearing.

Discussion was made on the motion.

Commissioner Welter moved the Commission to find as fact that the proposed application for a Certificate of Appropriateness, as identified in file #H23-068-COA and located within the Main Street Historic District, if added according to the information reviewed at this hearing and, with any representations made by the applicant on record of this hearing, is not incongruous with the character of the Hendersonville Historic Preservation Commission Design Standards including Exhibit A and B and that the subject property is a contributing structure and the proposed windows do not diminish the original design of the building or damage historic materials and features. (Sec. 3.4.2.10). The proposed windows as presented in Exhibit A and B are set forth in Section 3.8.1 of the Artificial Materials Policy replacing vinyl with traditional materials. Commissioner Falvo seconded the motion which passed unanimously.

Chair made a motion to go into closed session to consult with their attorney to preserve the attorney/client privilege as allowed by N.C. General Statutes Section 143-318.11. Commissioner Welter seconded the motion which passed unanimously.

- VI(C) **Certificate of Appropriateness**, Hannah Michalove of Allen, Stahl & Kilbourne, PLLC, 225 N. Main Street (File No. H23-067-COA). Chair stated before they swear witnesses she asked if there was anyone here that wishes to be a party, instead of a witness. Jason Krauss stated he was corporate representative for the applicant Hendersonville Holdings. Chair stated they were asking members of the public that may want to be a party instead of a witness. Chair continued that is there was anyone that wishes to speak during the public hearing as a witness to please come forward and be sworn in.

Chair opened the public hearing.

Alexandra Hunt, Planner stated the City is in receipt of a Certificate of Appropriateness application from Allen, Stahl & Kilbourne, PLLC for a rooftop deck with access from the second-floor residential unit located at 225 N. Main Street and the addition of two windows on the south façade and one window on the rear façade on the second story of the building.

The subject property is located at 225 N. Main Street (PIN 9568-77-8673) and is located within the Main Street Local Historic District.

The applicant has provided elevations which are shown as Exhibit B. This is considered a Major Work according to the standards of the Main Street Historic District Design Standards.

A vicinity map was shown, subject property located in yellow and is included in the staff report.

An aerial view was shown of the vicinity outlined in red and is included in the staff report.

The history of the subject property was shown and is included in the staff report and presentation.

Site images of the subject property were shown and are included in the staff report and presentation.

The proposed roof top elevations submitted by the applicant were shown and included in the staff report.

The proposed windows on the south and the rear were shown and are included in the staff report and presentation.

The Design Standards that pertain to this application were included in the staff report.

Chair asked if there were any questions for staff.

There were no questions for staff.

Chair asked if the applicant would come address the Commission.

Bo Carpenter, Attorney with Allen, Stahl & Kilbourne, stated Hannah Michalove has submitted this application on behalf of their clients, Hendersonville Holdings. Their law firm is in Asheville at 20 Town Mountain Road. He is here to represent Hendersonville Holdings in this application. This is an application to improve the building. There are side and rear windows and also a rooftop deck that they are proposing for approval of a COA tonight.

Mr. Carpenter first addressed the side and rear windows. Chair stated that they have already heard an application on this previously she asked Mr. Carpenter to tell the Commission why this application is different and why it would be a new matter. Mr. Carpenter stated he believes it is substantially different in the design and application itself and the purpose of this application as well is to include all of the changes at one time so they will not have to come back before this Board again. They thought it was more appropriate for the Board to consider everything at once as opposed to the piece mill that was initiated earlier this year. He spoke to his client earlier today and if these are approved they will withdraw the appeal that is out there currently. This would replace what happened earlier this year. Chair stated what they can do is listen to his reasoning why and they have some concern that windows may not be substantially different and the rooftop deck they have clearly not heard before so they will listen to his reasoning.

Mr. Carpenter stated the element 3.3.9 which is concerning compatibility of the existing side and rear façade. Mr. Carpenter stated he would pass out photos that were taken today and he will move these be submitted into evidence but not at this time. But they will show that the windows are compatible.

Mr. Carpenter asked the Commission to take and look at the photos and compare it with the design. He pointed out the matching art design on the windows. He stated the side windows are similar to a number of structures in downtown. Chair asked if this was the same building or a separate building. Mr. Carpenter stated he is not sure but he believes they have shared walls and it is the same structure. Mr. Carpenter stated compatibility will be easy for them to meet. Another element 3.4.2 that is where

the changes would not diminish the design of the building or damage historic materials and features. That element is met here. The new design windows do not diminish the design of the building. They are designed to complement the façade. The rear window is pretty different from what is there right now. The new design is very close to other designs that you see in downtown. There is no damage to historic materials with these plans at all. The final factor is the 4.3.3. This gets into the rooftop patio. In your packet there is a conceptual drawing, this would be potentially similar to that. This deck/patio will be hard to see from the front or the sides. It doesn't mess with the existing skylights. They chose the location of this very carefully and the design matches very closely with the Shine restaurant across the street. It will be consistent with downtown.

Mr. Carpenter went over the affidavit from the architect. It addresses all the elements that apply here. He asked that the Commission consider the affidavit and the pictures as part of the evidence. The affidavit and photos constitute clear competent and substantial evidence for this hearing. He asked that the attachment and the exhibits be submitted into evidence.

Mr. Carpenter stated he believes this application does meet the standards and the guidelines. This is a pretty straightforward application of the elements that you are here to consider.

Chair stated they would discuss the windows first and then the rooftop deck.

Chair asked if there any questions for the applicant related to the windows.

Chair stated Section 3.4.2.10 states it is not appropriate to introduce new windows or doors if they would diminish the design of the building or damage historic materials or features and his testimony was that he doesn't think it would damage historic materials or features if you cutting through historically significant concrete and cement which is through the design guidelines being significant, how is that not diminishing or effecting them? Mr. Carpenter asked if she was referring to the rear windows or side windows. Chair stated all the windows. He doesn't know the history of when the back window was installed. Taking the rear window out and replacing would align more with historical downtown and it will look a lot better. Chair stated no evidence was presented at the last hearing. Staff brought a window that was on Bliss, it was a window that was historically accurate to the building and there was no evidence or testimony about the window, has that changed since the last hearing? Mr. Carpenter stated he does not know, he was not here at the last hearing. Chair stated the window that is submitted is the same one submitted by staff at the last hearing. He would ask the Board to consider what is before it today and not consider the previous application. He thinks it is appropriate to only consider what is before you today. Chair stated if it is distinguishable from what was previously heard then they would consider it today. She is trying to figure out if there is anything new for them to consider. They have already decided this issue once. Mr. Carpenter stated if that is the Board's decision to not consider what is brought before them today then that is their prerogative to make. Chair stated the burden is on the applicant to show if there was windows that were actually on this building and if they meet the design standards. Mr. Carpenter stated he is not here to present evidence. The evidence they have is in the application that has been submitted with the affidavit and the pictures.

Chair asked if there was anything new in this application for the previous hearing. Mr. Carpenter stated he did not know. The request is for the Commission to consider what is before them today and not what was previously submitted.

Mr. Carpenter explained he was not part of the original proceeding and he does not know what is on the appeal. From a factual perspective, he does not know what is new or what was previously considered. It is the Board's responsibility to compare what is presented today and vote on it. If there is objection to the Board hearing today because it is not substantially different, that is the first he has heard of that. And that is the first his law firm has heard of that issue. This is new information to him and he believes to the firm and he believes to his client as well. He would ask the Board to consider what was before it and not what was brought to them previously. His understanding is there are differences to what was brought before but he cannot explain those differences. He asks the Board to only consider what is before it today and to see if it meets those standards. They plan to withdraw the previous application and the appeal and his client is open to any conditions the Board may have for the approval. One of those conditions could be to withdraw the application and withdraw the appeal. His client is happy to consider any reasonable conditions the Board would like to put on these changes.

Mr. Carpenter discussed there were no objections to this application. Chair stated no one has been asked to speak yet so there could be objections. Mr. Carpenter stated unless you have standing no one should be able to speak concerning this application. You can hear evidence but they would not have the right to stand up and object to anything. Given there is no objections he would be concerned if the Board was looking back at an issue that has not been raised by any of the parties and was just raised by the Board. He stated he is at a bit of a disadvantage because he stepped in to fill the attorneys' shoes handling this case as she had to take a leave of absence. He asked the Board to look at the application and the affidavit and make a decision based on that.

There were no further questions on the windows.

Chair stated since the rooftop part is new, did anyone have any questions on this for the applicant.

Chair asked about what could be seen concerning the railing, etc. Mr. Carpenter stated the goal is not to be able to see much. If there are any concerns with the railing or height, etc., he would be happy to consider those with the building code being what it is. The goal is to make it as minimally applicable as possible.

Chair stated 4.3.1 discusses terraces in the rear. Does he know why they wanted this in the front. Mr. Carpenter stated he does not know. He suspects it had something to do with access to the rooftop. They wanted to do the least amount possible on the interior to allow access so that the stairwell up there is replacing a closet as opposed to altering the building. He is speculating on that.

Discussion was made on the balcony and changes to the stairwell.

Mr. Carpenter stated the goal is make the materials consistent with the district. He asked the affidavit to be entered into evidence and they believe it shows the materials are consistent with the district. Chair stated they need to make a decision on the materials and if those are not disclosed they cannot make a decision. He read part of the affidavit and stated it is compatible with what is already there. The design will be minimally visible from street level. This affidavit is considered testimony and evidence.

Chair asked if anyone had any questions for the applicant. There were none. Chair asked if anyone in the audience had any questions. There were no questions.

Chair asked if anyone would like to speak in favor or against the application.

Sherry Wull, 229 N. Main Street stated she wanted clarification on the photos of the side windows where it is the People's National Bank she wanted to point out that is not the People's National Bank windows in the photo.

Chair asked if anyone wished to speak because she closed the public hearing.

Mr. Carpenter asked if the affidavit and photos been accepted into the record. Chair stated she had an objection because part of it is not accurate or it appears not to be. Ms. Beeker stated there is a difference in admitting something and the weight that you place on it after admitting it. You can admit it and then decide on what credibility that you give it. Mr. Carpenter felt the circumstances were reasonable and the affidavit should be admitted into the record.

The Commission discussed admitting the evidence into the record. Chair accepted the affidavit and pictures as evidence. This was labeled Exhibit A.

Chair closed the public hearing.

Chair made a motion to go into closed session to consult with their attorney to preserve the attorney/client privilege as allowed by N.C. General Statutes Section 143-318.11. Commissioner Welter seconded the motion which passed unanimously.

The Commission resumed their discussion. Chair asked the Commission to review the affidavit.

Ms. Beeker asked that the hearing be opened and let the one revised sheet be submitted into the record.

Chair reopened the public hearing.

Mr. Carpenter stated a revised sheet A 2.1 was submitted today. This addresses the different aspect that the Commission was talking about with respect to the side windows. If you look at the A2 previously all the windows are just squares. There are new design details and he passed that out to the Commission. Mr. Carpenter moved to submit the revised drawing as Exhibit B.

The Commission discussed some irregularities in the photos.

Mr. Carpenter stated the design for the windows was to make it consistent with the front and match the front.

Chair marked the revised sheet as Exhibit B and moved to include it as evidence. There was no discussion by the Commission. Exhibit B was accepted into the record.

Chair asked if there was anyone that wished to speak before they closed the public hearing.

Chair closed the public hearing.

Chair stated there was no objection so they can consider this a new application for the windows and the rooftop deck. They can consider the evidence or the lack there of and form a decision tonight. She did note these items were on the previous application. The Commission agreed that since there was no objection raised from the windows on the previous application, they would hear this application as a new one and take into consideration the evidence and make a decision on this application.

The Commission discussed the south windows with the amended design. Commissioner Welter stated everyone seems to be missing the fact that the concrete wall in the structure is the historic part of the building. Chair stated they did not get a clear answer as to why this is not damaging to the historic features. There is no way you can't damage historic features because you are cutting a window. Chair talked about the uniqueness of this building. This building was very intentionally designed without windows. There is nothing presented that shows windows on the side of this building. Chair doesn't see, based on what they have heard that this meets the standards.

The Commission discussed it was an attractive design, but it is not the original. The Commission discussed 3.4.2.10. There has been no testimony that this is a necessary design. This is elective.

The Commission discussed the rear façade window. They do have testimony that is not the original rear façade. The brick is older than 40 years which would meet the historic guidelines for preservation on its own. But it is not part of the original design. The Commission discussed the standards that would apply.

Chair stated if they decide this meets the standards they could put on there a condition that any fill would have to match.

The Commission discussed the standards for new design. Chair also discussed reconstruction. She discussed not knowing what the windows are and not having that information.

Chair stated the materials are up for discussion. They can address those and the structural concerns. The Commission discussed if this would fit the standards. Chair stated not knowing the materials if they are looking at approving this they will need to add conditions to make it compatible.

Chair stated her concern is, with the applicant carrying the burden she does not know that they have received enough testimony or evidence to tell us if this specific design fits the standards for this specific building. If the burden is on the applicant strictly speaking she doesn't know there has been a lot new to determine if this fits the standards or not.

The Commission felt like more specific information should be submitted to them.

Chair reopened the public hearing.

Mr. Carpenter stated he wants to make sure you are applying the right standards here. The standard is not that they can't make any changes to the historical building otherwise they would never be allowed to put a new window in a historic building. The standards do allow the installation of new windows. And there is a whole section 3.4.2 on windows and doors. And 4.2.10 addresses new windows. And that is the standard you are looking at, not whether it changes the building. Chair stated they do not have any specific details on if the standards are met and no details of the materials.

Mr. Carpenter stated as far as the materials go he does not care. If she wants to dictate the materials that are going there that's fine. As far as consistency with the existing details, the redesign was very specific in making the windows consistent with the details that are existing, in particular the balcony and the front façade. The side and the rear windows match the ones on the front. At some point that balcony was added is his understanding. How was that allowed to be added and not the windows on the rear and side. He believes the Commission is applying to high of a standard on this. For new design 3.3.9 new construction on the side and rear to make sure it is compatible with the existing side and rear facades in the district. Not on the building but the district and that is why there is so much evidence about what the district looks like, not so much the building. The job of the Commission is to look and see if these proposed changes fit with the historic nature of the district. Any change the historic building will have is a change to the building but the job of the Commission is to make sure it is consistent with district. And it is not so different than is what is there now.

Chair asked if his testimony is for 3.3.9 and the new construction is necessary. Mr. Carpenter stated he can't testify but it is necessary for the plans. When you are talking about applying codes like this as a general matter if there is any question about the interpretation of a language, ambiguity goes to the property owner. The law is very clear that the law does not like zoning ordinances and restrictions on personal property rights and if there is any confusion at all about what should apply, the standards are interpreted in favor of the property.

Chair and Mr. Carpenter discussed the standards and whether or not the standards were met. Mr. Carpenter felt like the standards have been met and that the Commission should approve it.

Chair closed the public hearing.

The Commission discussed the standards and it being the burden of the applicant to present evidence that the standards have been met. They also discussed putting conditions on the approval. The Commission took a vote and felt like the windows did not meet the design standards.

Chair stated the rooftop deck is completely new construction. They discussed it being very visible from the street. Chair stated new construction still needs to be compatible and they do not have a materials list. The Commission discussed not having a list of materials to be able to determine if the deck is compatible or not. They discussed the deck being obtrusive. They also discussed the stairwell. The Commission discussed the compatibility of the stairwell and the design. Chair stated she just hasn't heard evidence that this is compatible with the design elements on Main Street.

The Commission discussed leaving this open to give the applicant more opportunity to bring evidence to the Commission that the standards have been met.

Chair reopened the public hearing.

Chair stated they have come to a point where they can make a decision on the windows or the question would be if you or your client would like the Commission to hold this open based on the comments that have been heard and stated to redesign or provide additional information. Mr. Carpenter stated he has been listening to the comments on this and with all due respect they have been all over the place with their feedback. He hears concerns about it being too close to the front, the stairwell is too high, and he

is not hearing anything that is tied to the regulations. Chair asked if he would like them to hold this open or make a decision. Mr. Carpenter stated there is plenty of information before you to make a decision tonight. He hasn't heard from the Commission what specific information is lacking. Chair stated they do not have a material list. There is no evidence that the front positioned stairwell, that there is any others in the district or that it meets the design in keeping with the building. It's a building with a flat top and now they have a new protrusion. Those are the questions they are asking because they did not have any testimony or documentation. Mr. Carpenter asked if she wanted a materials list and what else. Chair stated testimony or evidence as to how the positioning of this meets the standards.

Mr. Carpenter suggested a condition that the materials be compatible with the building and have staff be able to approve that. Chair stated the standards require that the application be complete and it is supplemented with testimony and evidence on the record. They can't make a determination because they do not have all the materials and that is spelled out portion of the standards. Mr. Carpenter stated his interpretation is it is not necessary to list out all the materials as part of the application. Chair stated it is the applicants responsibility to carry the burden and present evidence that the standards have been met.

Chair asked if he would like them to make a decision or hold this open for more information. He would like to consult with his client first.

Chair took a recess for the applicant to consult with his client.

Mr. Carpenter stated he had talked with his client and he is eager to address the Commissions concerns and would like to hold it open and he asked that they hold open the whole application and not have a decision on the windows tonight. Thank you for holding open for the rooftop deck but he asks that the whole application be held open.

Chair stated the request has been made to hold open the whole application.

Chair discussed the applicant speaking with staff concerning the application. Ms. Beeker did not have a problem with this. Lew Holloway, Community Development Director stated he did not see that staff would have much to offer concerning this. The applicant has been made aware of what the Commission is looking for.

Chair stated no decision was made on the application and the application has been continued to next month.

VII ***Adjournment.*** The Chair adjourned the meeting at 8:26 p.m.

Chair



CITY OF HENDERSONVILLE AGENDA ITEM SUMMARY PLANNING DIVISION



SUBMITTER: Alexandra Hunt, Planner I **MEETING DATE:** November 15, 2023

AGENDA SECTION: Old Business **DEPARTMENT:** Community Development

TITLE OF ITEM: 225 N Main St. – Addition of Rooftop Deck & Side and Rear Windows (H23-067-COA) – *Alexandra Hunt | Planner I*

SUGGESTED MOTION(S) FOR THE ADDITION OF THE ROOFTOP DECK:

<p>1. <u>For Recommending Approval:</u></p> <p>I move the Commission to find as fact that the proposed application for a Certificate of Appropriateness, as identified in file # H23-067-COA and located within the Main Street Historic District, if added according to the information reviewed at this hearing and, with any representations made by the applicant on record of this hearing, is <u>not incongruous</u> with the character of the Hendersonville Historic Preservation Commission Design Standards (Main Street) for the following reasons:</p> <ol style="list-style-type: none"> 1. The subject property is a contributing structure. 2. The proposed rooftop deck is compatible with existing rooftop decks in the district. 3. The proposed rooftop deck will be constructed so that there is the least possible loss of historic fabric. [Sec. 4.3.3] 4. The proposed rooftop deck does not obscure, damage, or destroy character defining features of the historic building. [Sec. 4.3.3] <p>[DISCUSS & VOTE]</p>	<p>1. <u>For Recommending Denial:</u></p> <p>I move the Commission to find as fact that the proposed application for a Certificate of Appropriateness, as identified in file # H23-067-COA and located within the Main Street Historic District, if added according to the information reviewed at this hearing and, with any representations made by the applicant on record of this hearing, is <u>incongruous</u> with the character of the Hendersonville Historic Preservation Commission Design Standards (Main Street) for the following reasons:</p> <ol style="list-style-type: none"> 1. The subject property is a contributing structure. 2. The proposed rooftop deck obscures, damages, and destroys character defining features of the historic building in the following way(s) [Sec. 4.3.3]: (<i>Insert factual basis here</i>) <p>[DISCUSS & VOTE]</p>
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SUGGESTED MOTION(S) FOR THE ADDITION OF TWO SIDE FAÇADE WINDOWS:

1. For Recommending Approval:

I move the Commission to find as fact that the proposed application for a Certificate of Appropriateness, as identified in file # H23-067-COA and located within the Main Street Historic District, if added according to the information reviewed at this hearing and, with any representations made by the applicant on record of this hearing, is **not incongruous** with the character of the Hendersonville Historic Preservation Commission Design Standards (Main Street) for the following reasons:

1. The subject property is a contributing structure.
2. The proposed windows do not diminish the original design of the building or damage historic materials and features. [Sec. 3.4.2.10]
3. The proposed windows are compatible with existing units in proportion, shape, positioning, location, size, materials, and details. [Sec. 3.4.2.10]

[DISCUSS & VOTE]

1. For Recommending Denial:

I move the Commission to find as fact that the proposed application for a Certificate of Appropriateness, as identified in file # H23-067-COA and located within the Main Street Historic District, if added according to the information reviewed at this hearing and, with any representations made by the applicant on record of this hearing, is **incongruous** with the character of the Hendersonville Historic Preservation Commission Design Standards (Main Street) for the following reasons:

1. The subject property is a contributing structure.
2. The proposed windows would diminish the original design of the building or damage historic materials and features. [Sec. 3.4.2.10]
3. The proposed windows are not compatible with existing units in proportion, shape, positioning, location, size, materials, and details. [Sec. 3.4.2.10]

[DISCUSS & VOTE]

SUGGESTED MOTION(S) FOR THE ADDITION OF REAR WINDOW:

1. For Recommending Approval:

I move the Commission to find as fact that the proposed application for a Certificate of Appropriateness, as identified in file # H23-067-COA and located within the Main Street Historic District, if added according to the information reviewed at this hearing and, with any representations made by the applicant on record of this hearing, is **not incongruous** with the character of the Hendersonville Historic Preservation Commission Design Standards (Main Street) for the following reasons:

1. The subject property is a contributing structure.
2. The proposed rear window do not diminish the original design of the building or damage historic materials and features. **[Sec. 3.4.2.10]**
3. The proposed rear window is compatible with existing units in proportion, shape, positioning, location, size, materials, and details. **[Sec. 3.4.2.10]**

[DISCUSS & VOTE]

1. For Recommending Denial:

I move the Commission to find as fact that the proposed application for a Certificate of Appropriateness, as identified in file # H23-067-COA and located within the Main Street Historic District, if added according to the information reviewed at this hearing and, with any representations made by the applicant on record of this hearing, is **incongruous** with the character of the Hendersonville Historic Preservation Commission Design Standards (Main Street) for the following reasons:

1. The subject property is a contributing structure.
2. The proposed rear window would diminish the original design of the building or damage historic materials and features. **[Sec. 3.4.2.10]**
3. The proposed rear window is not compatible with existing units in proportion, shape, positioning, location, size, materials, and details. **[Sec. 3.4.2.10]**

[DISCUSS & VOTE]

SUMMARY:

The City is in receipt of a Certificate of Appropriateness (COA) application from Hannah Michalove of Allen Stahl & Kilbourne, PLLC (Applicant) and Hendersonville Holdings, LLC (Property Owner) for the addition of the following:

- 1. A rooftop deck with access from the second-floor residential unit located at 225 N. Main St.; and
- 2. The addition of two (2) windows on the south façade and one (1) window on the rear façade on the second story of the building.

The subject property is one of two residential units located in the People’s National Bank building above the Four Seasons Christmas Garden Décor and More retail store. The People’s National Bank is a contributing building and currently houses both residential units and retail shops.

The Applicant is making the following statement related to their request:

- 1. “Proposed windows: addition of two (2) windows on upper level of southern-facing side façade; addition of one (1) sectional, “ellipse-style” window on rear façade (see attached site plans).”
- 2. “Proposed rooftop deck: addition of deck on portion of roof behind front façade (see attached site plans).” (Exhibit A)

In addition to the COA application, the Applicant has provided elevations which are shown in Exhibit B.

This COA application is considered a Major Work according to the standards of the Main Street Historic District Design Standards.

PROJECT/PETITIONER NUMBER:	H23-067-COA
PETITIONER NAME:	Hannah Michalove – Allen Stahl & Kilbourne, PLLC (Applicant)
EXHIBITS:	A. Staff Report B. COA Application C. Elevations D. Warranty Deed

225 N Main St. – Addition of Rooftop Deck and Side and Rear Windows

(H23-067-COA)

CITY OF HENDERSONVILLE - COMMUNITY DEVELOPMENT - HISTORIC PRESERVATION
COA STAFF REPORT

Staff Report Contents

PROJECT SUMMARY 2

SITE VICINITY MAP 2

CITY OF HENDERSONVILLE – MAIN STREET LOCAL HISTORIC OVERLAY MAP 3

HISTORY OF SUBJECT PROPERTY 4

SITE CONDITIONS -SITE IMAGES 5

EXHIBITS 11

- Exhibit A – COA Application 11
- Exhibit B - Elevations 11
- Exhibit C – Warranty Deed 11



PROJECT SUMMARY

Applicant: Hannah Michalove, Allen Stahl & Kilbourne, PLLC

Property Owner: Hendersonville Holdings, LLC (Exhibit B)

Property Address: 225 N. Main St.

Project Acreage: 0.07 Acres

Parcel Identification Number(s):

9568-77-8673

Current Parcel Zoning: C-1 Central Business

Historic District: Main Street Historic District

Project Type: Major Work (addition of rooftop deck)



SITE VICINITY MAP

Project Summary:

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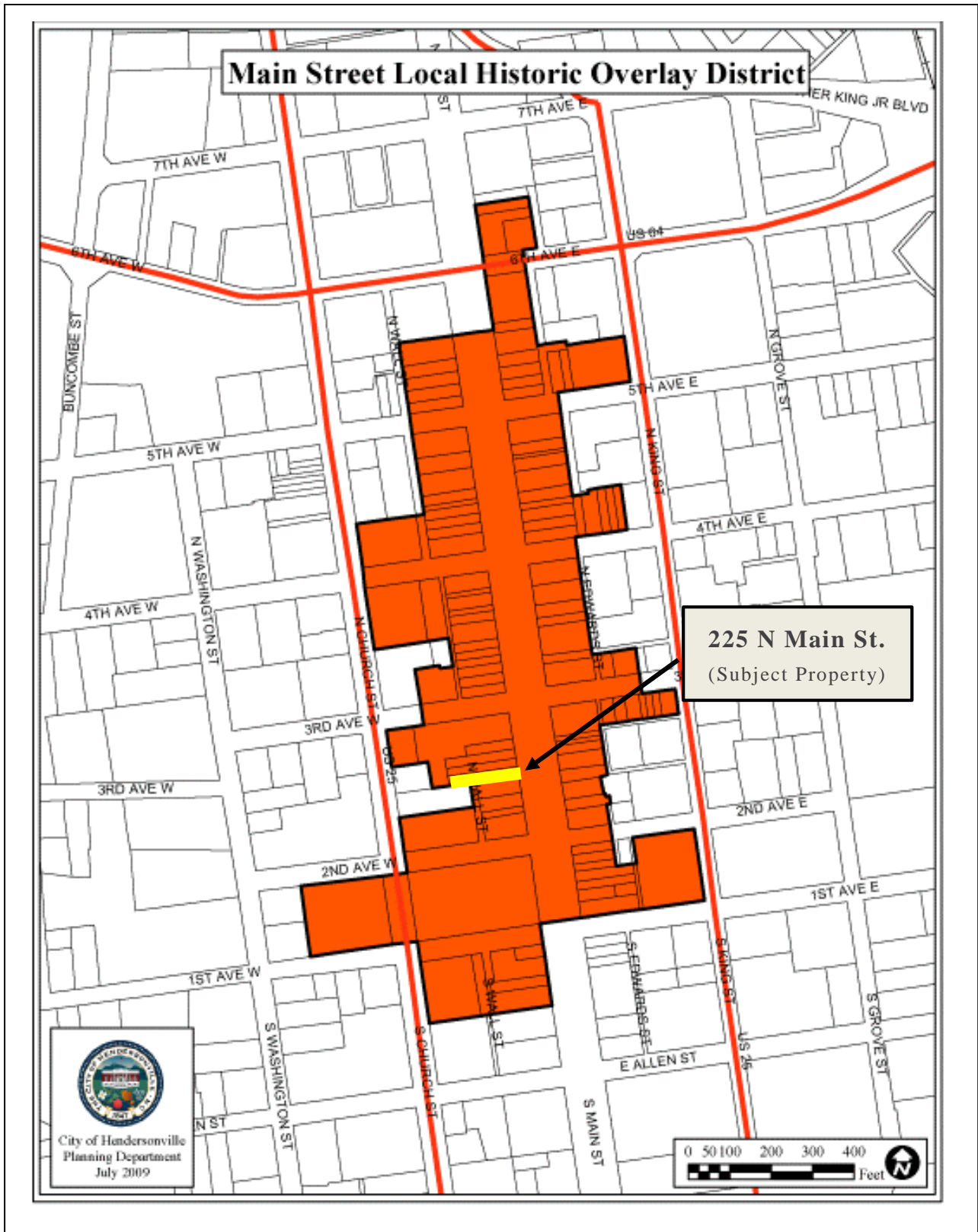
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In addition to the COA application, the Applicant has provided elevations which are shown in Exhibit B.

This COA application is considered a Major Work according to the standards of the Main Street Historic District Design Standards.

PROJECT SUMMARY - CONTINUED



CITY OF HENDERSONVILLE - MAIN STREET LOCAL HISTORIC OVERLAY MAP

HISTORY OF SUBJECT PROPERTY

227-231 N. Main People's National Bank



Ca. 1910.

Two-story Neo-Classical structure of cream colored brick has a recessed central entrance beneath entablature carried by ionic columns with egg and dart motif and dentil blocks. Stepped parapet, with high point at center. Storefront to either side of entrance bay; south side unaltered, north side modern. Four second story windows to either side of entrance bay, grouped in pairs with a common sill and a limestone lintel above each. Limestone trim on the parapet cap, lower part of entablature, over second story windows, sills, columns, and bases of columns and piers. Second story windows in flanks and flanking storefronts altered.

Designed by notable Asheville architect Richard Sharp Smith, this was the earliest use of Neoclassical style and a reinforced concrete technique for a commercial structure in Hendersonville. Concrete made its splashy debut as a building form in 1910 when W. F. Edwards, the most active builder in Hendersonville during this period, decided to try out this material for a new bank. Mr. Edwards had already been the contractor responsible for much of the town's water and sewer system, the present Court House, and the Hendersonville Town Hall. For the People's National Bank, he worked with a Mr. Blythe.

The project clearly caught the fancy of the local citizens. The following reports came from the French Broad Hustler:

(1/27/10) "Messrs. Edwards and Blythe have returned from Atlanta, where they purchased the latest improved machinery for reinforced concrete construction. This machinery will be used for the first time in the construction of the People's National Bank."

(2/17/10) "Concrete mixer arrives for People's National Bank job."

(4/14/10) "...over a thousand barrels of cement will be used in the construction of the People's National Bank."

(6/23/10) "Edwards and Blythe are through with the concrete part of the People's National Bank's new building and are now starting to finish."

SITE CONDITIONS -SITE IMAGES



SITE IMAGES CONT'D



DESIGN STANDARDS CRITERIA

The proposed addition is governed by the *Hendersonville Historic Preservation Commission Main Street Design Standards*, which is applied to the City's Main Street Historic Districts and Landmarks. The following sections are applicable to the proposed Certificate of Appropriateness application:

Section 3.3 Side and Rear Facades

Many of Hendersonville's downtown commercial buildings have side façades that can be seen from public streets, parking lots, sidewalks, and alleyways. As with the primary front façade, these side elevations are important character-defining elements of the downtown historic district. Usually, these façades exist on corner buildings fronting on two streets, but can also occur mid-block where the adjacent property is vacant or is an alleyway.

The side façade generally carries the same design elements and details as the main elevation including fenestrations, brickwork, etc. They are likely to serve a more private utility in providing access to upper-floor office and residential uses and not engage the consumer or the pedestrian like the typical storefront. Still, some of these buildings take advantage of the additional frontage and use the side façade as additional display area, advertising, or even providing additional access for the customer.

The rear façade is also important to the historic character of the building and district. The rear elevation provides access for merchants, their workers, and in some cases, customers. It also continues the same general material treatments as front and side façades. More often than not, rear entrances on Hendersonville's downtown commercial structures serve as a service entry and, as a result, are the location of any necessary mechanical equipment and garbage receptacles. This translates into a less detailed design with a more private appearance than front and side façades that face public rights-of-way. There are some instances in downtown where the rear façade serves as public or semi-public access. Usually, the design of these façades reflects this public utility resulting in an elevation with similar detailing to its primary façade that is more inviting to the consumer or general public.

Preservation

Sec. 3.3.1 Retain and preserve historic façade details and materials on side and rear elevations.

Sec. 3.3.2 Historic painted advertisements represent an important historic element in downtown Hendersonville. While not required, it is recommended that they be preserved whenever possible.

Sec. 3.3.3 Whenever a side or rear façade can be seen from the public right-of-way or parking area, it is encouraged that any unnecessary utility lines, mechanical equipment, pipes, etc. be removed. Whenever introducing new utility or service features such as mechanical units and garbage receptacles, screen them from public view with fences, low walls, or landscaping whenever possible.

Reconstruction

Sec. 3.3.4 If replacement of a deteriorated façade feature is necessary, replace only the deteriorated element to match the original in size, scale, proportion, material, texture and detail.

Sec. 3.3.5 When reconstructing a historic façade or feature, base the design on historical research and evidence. Maintain the original proportions, dimensions and architectural elements.

Sec. 3.3.6 If there is historic evidence of a public entrance on a rear façade, rehabilitate the façade to provide for an attractive access from rear parking areas.

Sec. 3.3.7 Downtown buildings with rear access should use small signs or awnings to provide for visual identification.

Sec. 3.3.8 Storefronts on side or rear facades must comply with the Storefront Guidelines under Section 3.1.

New Design

Sec. 3.3.9 If new construction of a side or rear façade is necessary, make sure that the design is compatible with the existing side and rear facades in the district including size & spacing of windows or other fenestrations, proportion, scale, and detailing.

Sec. 3.3.10 Whenever possible, new designs for rear façades should provide access to the public from rear parking areas and alleyways.

Section 3.4 Materials and Details

3.4.1 Architectural Details and Ornamentation

Architectural details in downtown Hendersonville include everything from simple masonry treatments such as corbelled brick and stringcourses to very detailed ornamentation like cast iron, stone relief, and wooden & masonry cornices. Variations in material, fenestration, and paint color all contribute to the level of ornamentation on the individual structure.

Sec. 3.4.1.1 Retain and preserve any architectural features and details that are character-defining elements of downtown structures, such as cornices, columns, piers, brickwork, stringcourses, quoins, etc.

Sec. 3.4.1.2 If replacement of an architectural element is necessary, use new materials that match the historic materials in composition, size, shape, color, pattern, and texture. Consider substitute materials only if the original materials are not technically feasible.

Sec. 3.4.1.3 If the entire architectural detail is missing, design the replacement feature based on historic documentation. If there is no documentation, but evidence that the element was originally on the building, any new design should be compatible with the historic character of the building and district.

3.4.1.4 It is not appropriate to remove or cover any original detail or ornamentation. If original features are currently covered, it is encouraged that these features be uncovered,

exposed, and repaired.

Section 3.4.2 Windows and Doors Standards

Windows and doors by their proportion, shape, positioning, location, pattern, and size can contribute significantly to a building's historic character and are particularly indicative of stylistic periods. These openings in a building's exterior also provide opportunities for natural light, ventilation, and visual connections to the interior.

Sec. 3.4.2.1 Retain and preserve original windows and doors.

Sec. 3.4.2.2 Retain and preserve openings and details of windows and doors, such as trim, sash, glass, lintels, sills, thresholds, shutters, and hardware.

Sec. 3.4.2.3 If replacement of a window or door element is necessary, replace only the deteriorated element to match the original in size, scale, proportion, pane or panel division, material, and detail.

Sec. 3.4.2.4 It is not appropriate to replace windows or doors with stock items that do not fill the original openings or duplicate the unit in size, material, and design.

Sec. 3.4.2.5 Protect and maintain existing windows and doors in appropriate ways:

- Maintain caulking and glazing putty to prevent air or water infiltration around glass.
- Weatherstrip windows and doors to prevent moisture and air infiltration.
- Check sills and thresholds to ensure that water run off does not collect.
- Maintain a sound paint film on all wooden windows and doors.
- Monitor the condition of wooden windows and doors.
- Note: Both the peeling of paint and the widening of joints may create the false appearance of deteriorated wood.

Sec. 3.4.2.6 Repair original windows, doors, and frames by patching, splicing, consolidating, or otherwise reinforcing deteriorated sections.

Sec. 3.4.2.7 Construct replacement shutters of wood, size them to window openings, and mount them so that they are operable. It is not appropriate to introduce window shutters where no evidence of earlier shutters exists. .8 The use of reflective or highly tinted glass is discouraged.

Sec. 3.4.2.8 The use of reflective or highly tinted glass is discouraged.

Sec. 3.4.2.9 It is not appropriate to fill in existing window or door openings or to replace or cover them with plywood.

Sec. 3.4.2.10 It is not appropriate to introduce new windows or doors if they would diminish the original design of the building or damage historic materials and features. Keep new windows and doors compatible with existing units in proportion, shape, positioning, location, size, materials, and details.

Sec. 3.4.2.11 If a new window or door is required to meet building and safety codes, it should be done in a way that is the least intrusive to the façade and without destroying

historic materials and features.

Sec. 3.4.2.12 If exterior storm windows are desired, they should have little visual impact. Storm windows should be painted to match the building and the color of the window sash. Storm windows should match the existing in size and proportion. Install them so that existing windows and frames are not damaged or obscured.

Sec. 3.4.2.13 It is not appropriate to use snap-in muntins to create a false divided light appearance.

Sec. 3.4.2.14 In accordance with the Artificial Materials guidelines (Section 3.8), it is not appropriate to replace existing vinyl windows with new vinyl windows on contributing structures.

Sec. 3.4.2.15 Existing windows and doors on non-contributing structures should be replaced in-kind.

Section 4.3 Rear Decks, Balconies, Terraces, & Rooftop Decks:

With some commercial buildings having upper-floors used for residential uses, Hendersonville has historically seen a healthy amount of downtown living. Also, with recent renovations of structures such as the Houston Furniture building and various apartments above commercial, downtown residential population has continued to rise.

In an urban environment such as downtown Hendersonville, especially with the amount of residential, property owners may wish to construct rear/rooftop decks, balconies, and terraces. This type of residential amenity is certainly encouraged and is an important element to the success of the downtown community and livability. Decks, balconies, and terraces are appropriate provided that they do not damage or alter any historic architectural features of the existing building.

Sec. 4.3.1 Locate street level decks and terraces as inconspicuously as possible, on the rear or least character-defining elevation of historic buildings

Sec. 4.3.2 Base the design of new balconies on historic documentation of the building or examples from buildings of similar style and age.

Sec. 4.3.3 Construct decks, balconies, terraces, and rooftop decks so that there is the least possible loss of historic fabric. Also, ensure that character defining features of the historic building are not obscured, damaged, or destroyed.

Sec. 4.3.4 Screen rear decks and terraces from public view with appropriate landscaping whenever possible.

Sec. 4.3.5 If a new deck or balcony is to be constructed, its design should be compatible in materials and detail with the main building.

Sec. 4.3.6 When adding a rear deck to a historic structure, it should be designed so that it could be removed in the future without any loss to the historic fabric of the existing building.

Sec. 4.3.7 For uncovered decks, composite materials are appropriate for decking only.

EXHIBITS

- Exhibit A – COA Application
- Exhibit B - Elevations
- Exhibit C – Warranty Deed



APPLICATION FOR A
 CERTIFICATE OF APPROPRIATENESS PERMIT
 100 N. King Street ~ Hendersonville, NC ~ 28792
 Phone (828)697-3010 ~ Fax (828) 697-6185
 www.cityofhendersonville.org

HENDERSONVILLE HISTORIC PRESERVATION COMMISSION

The following are required to constitute a complete application:

~ This form including the property owner's signature.

~ Attachments such as sketches, photos, site plan, etc., necessary to clearly explain the project.

Date August 10, 2023

Local District/Landmark

Main Street Historic District

Address of Property 225 N. Main Street, Hendersonville, North Carolina 28792

Property Owner: Name Hendersonville Holdings LLC

Address 19500 State Highway 249, Suite 350, Houston, Texas 77070

Day Phone 281.840.8677

Contact Name (if other than owner) Hannah Michalove - Allen Stahl & Kilbourne, PLLC

Address 20 Town Mountain Road, Suite 100, Asheville, North Carolina 28801

Phone 828.575.0436

Details of proposed work: (attach additional papers if needed).

- Proposed windows: addition of two (2) windows on upper level of southern-facing side façade; addition of one (1) sectional, "ellipse-style" window on rear façade (see attached site plans).
- Proposed rooftop deck: addition of deck on portion of roof behind front façade (see attached site plans).

Attachments: Photographs Sketch Site Plan (showing existing features and proposed)
 Commercial samples Commercial brochures

The burden of proof is on the applicant to prove the proposed work is in keeping with the historical character of the historic district. Please list specific reference(s) in the **Design Guidelines** that support your application.

- Proposed windows: Sections 3.1.1, 3.3.9, 3.4.2.10, 3.4.2.11
- Proposed rooftop deck: Sections 4.3.1, 4.3.2, 4.3.3, 4.3.4, 4.3.5, 4.3.7

I, the undersigned, certify that all information in this application and in any attachments thereto is accurate to the best of my knowledge. Furthermore, I understand that should a certificate of appropriateness be issued, such certificate will be valid for a period of six months from the date of issuance. Failure to procure a building permit within that period will be considered as failure to comply with the certificate, and the certificate will become invalid. If a building permit is not required, the authorized work must be completed within six months. Certificates can be extended for six months by requesting an extension in writing prior to their expiration from the Commission Coordinator.

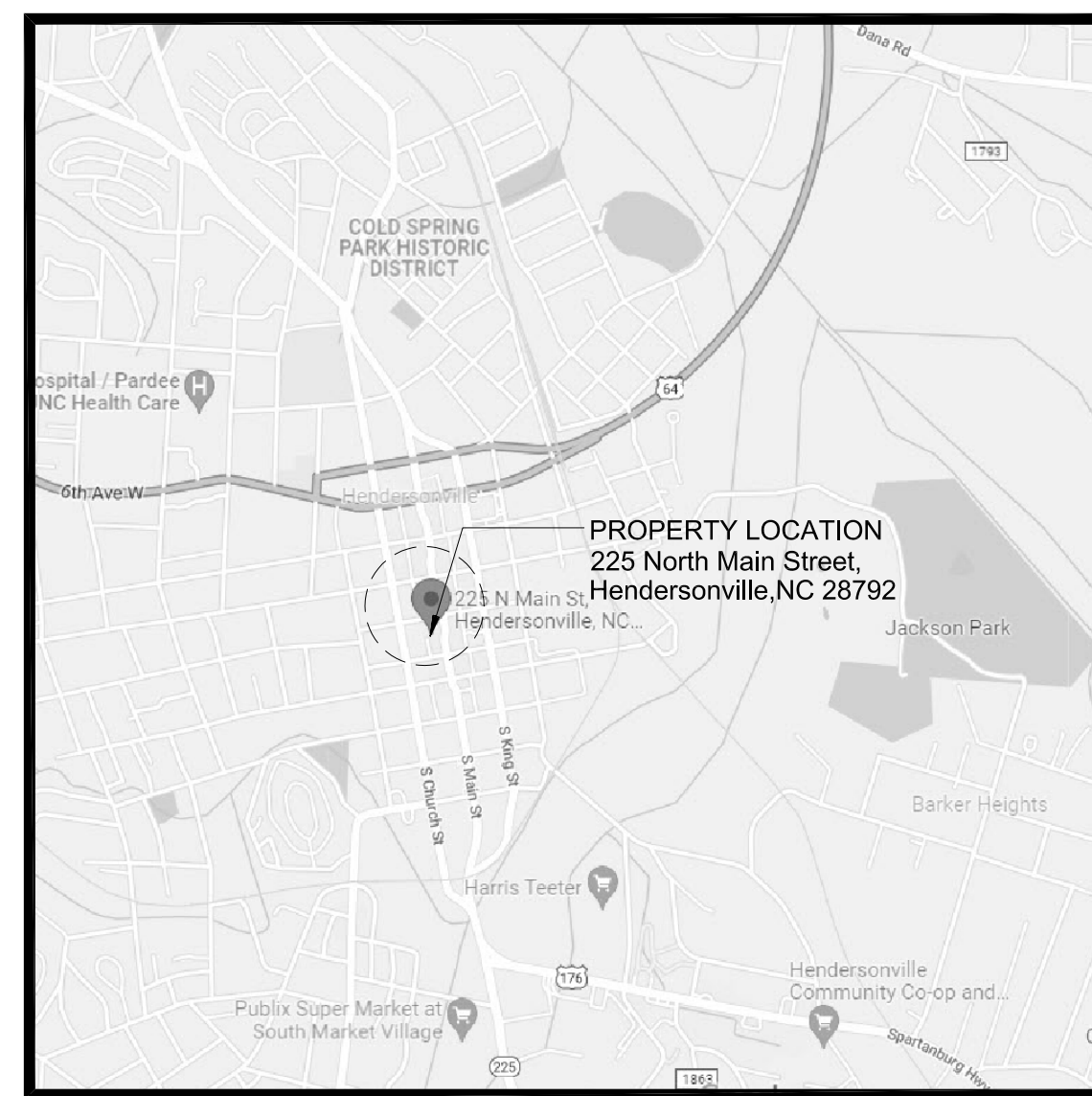
Owner's
Signature



Owner's
Signature



PROPOSED RENOVATION FOR MR. & MRS. JASON KRUAS
225 North Main Street,
Hendersonville, NC 28792



VICINITY MAP

TABLE OF CONTENT

- A-0 : COVER SHEET
- A-1.0 : EXISTING FLOOR PLAN
- A-1.0 : EXISTING ELEVATIONS 'A' & 'B'
- A-2.0 : RENOVATION FLOOR PLAN, ELEVATION 'A' & NOTES
- A-2.0 : ROOF ACCESS STAIR PART PLAN & SECTION
- A-2.1 : RENOVATION DIMENSIONAL PLAN & ELEVATION 'B'
- A-3.0 : WALL, WINDOW SECTIONS/DETAILS & STAIRS LAYOUT
- A-4.0 : RENOVATION ELECTRICAL PLAN & WALL DETAILS

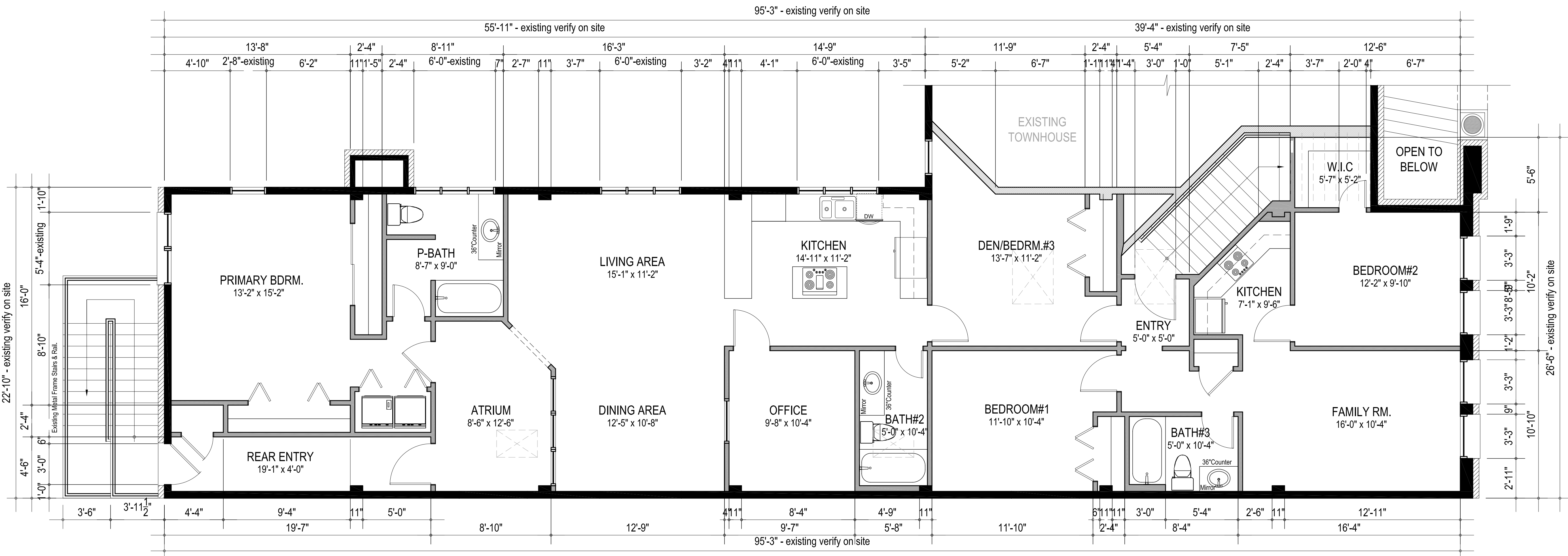


'Bringing Your Dream Home to Reality'

Ph:(713) 319-5836 Fx:(713)-319-5730

email: jalarchdesigns@gmail.com





EXISTING FLOOR PLAN

Scale : 1/4" = 1'-0" 9'-0" PLATE HEIGHT (verify on site)

SPECIFICATIONS

UNLESS OTHERWISE NOTED :-

MAIN FLOOR OF RESIDENCE:-
 PLATE HEIGHT = 9'-0" (verify on site)
 CEILINGS = 8'-10 1/2" (verify on site/match existing)
 WINDOWS = 6'-8" HEADER HEIGHT (U.O.N)
 DOORS = 6'-8" HEADER HEIGHT (U.O.N)

ROOF TYPE - EXISTING NOT IN SCOPE OF WORK
 ROOF PITCH - N/A (verify on site)
 WATER HEATER (in attic as per City Codes)

ATTIC VENTING - SOFFIT & RIDGE VENTS
 NOTES :all attic insulation shall be City Approved sprayed on or match existing.

- INDICATES EXISTING BRICK LEDGE.
- INDICATES EXISTING 1 HR. FIRE RATED WALL.
- INDICATES NEW 4" WALLS.
- INDICATES EXISTING INTERIOR 4" WALLS.
- INDICATES EXISTING EXTERIOR WALLS.

SQUARE FOOTAGE

EXISTING FLOOR AREA :-

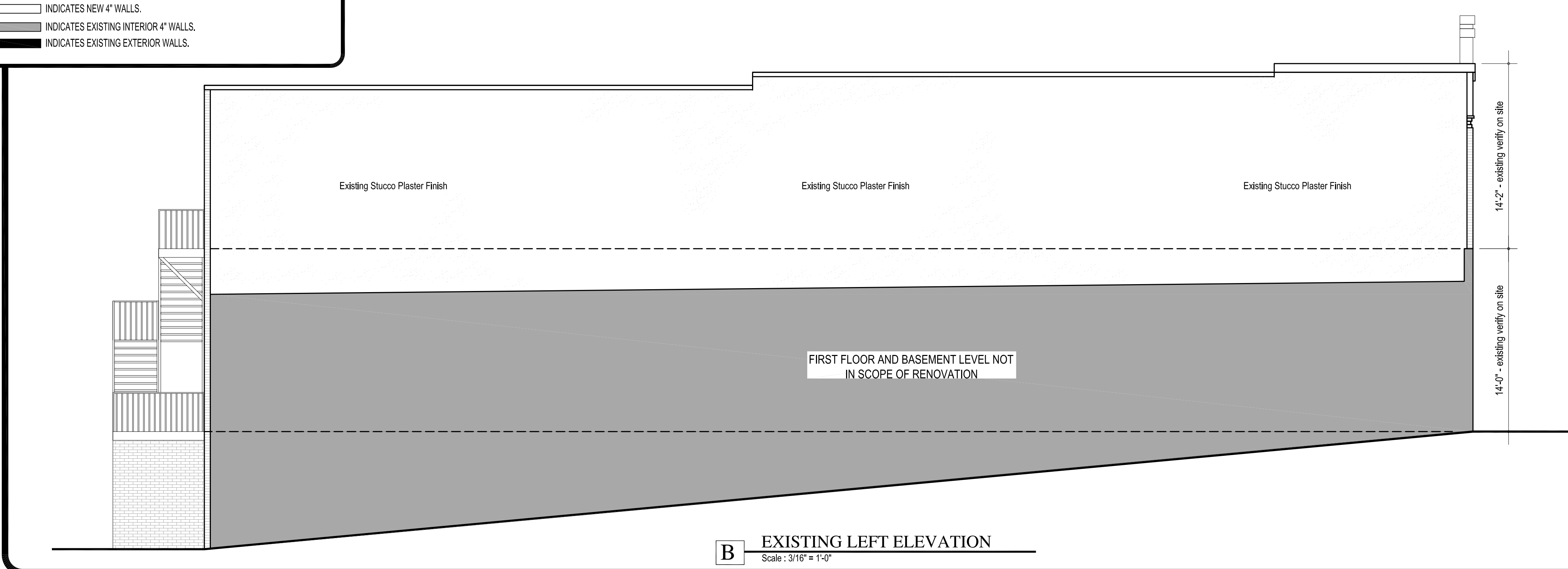
LIVING AREA	= ±2,042 S.F.
MAIN ENTRY AREA	= ± 67 S.F.
REAR ENTRY AREA	= ± 16 S.F.

NEW ADDITION AREA:-

LIVING AREA	= ± 0 S.F.
OPEN BALCONY AREA	= ± 130 S.F.
FRAMED AREA	= ± 130 S.F.

EXISTING TOTAL FRAMED AREA = ±2,300 S.F.
 NEW TOTAL FRAMED AREA = ±2,430 S.F.

NEW TOTAL RENOVATION AREA = ±2,430 S.F.



NOTE: JAL ARCH DESIGNS ASSUMES NO LIABILITY. IT IS THE FINAL RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, STRUCTURAL NOTES AND WINDOW/DOOR SIZES AND ADJUST TO MEET LOCAL AND STATE BUILDING CODES.

PROPOSED RENOVATION OF EXISTING TOWNHOME AT 225 N.MAIN STREET

EXISTING FLOOR PLAN
EXISTING ELEVATIONS
SQUARE FOOTAGES

DATE :	NOVEMBER 29, 2021
SCALE :	JAL68-112921
DRAWN BY :	J.A.L
REVISED	PERMIT SET-R/100322

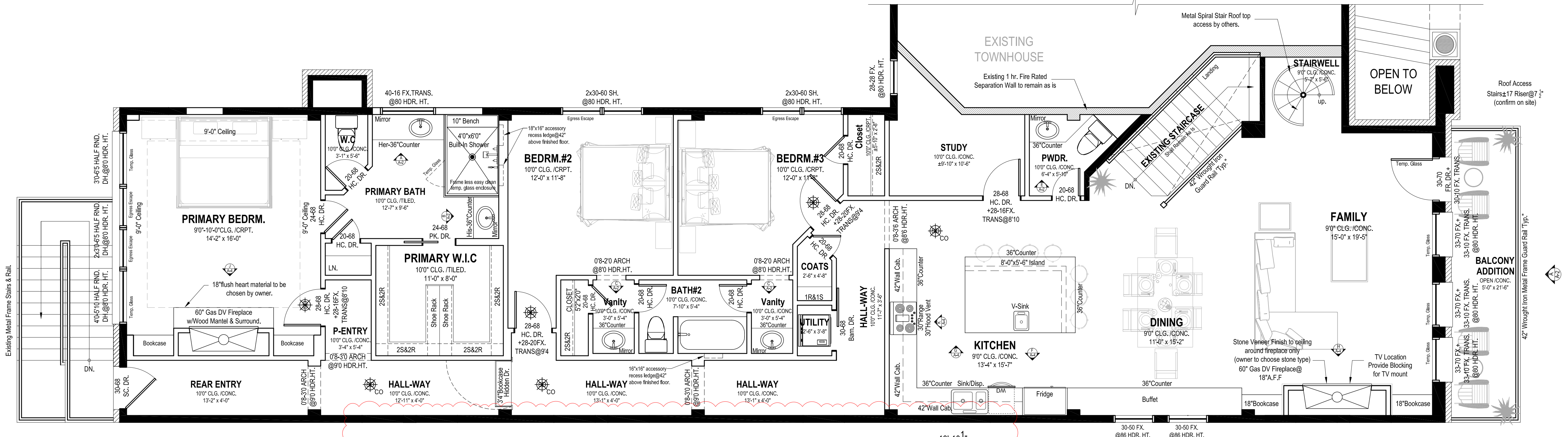
A 1.0

PROPOSED RENOVATION OF EXISTING TOWNHOME AT 225 N.MAIN STREET

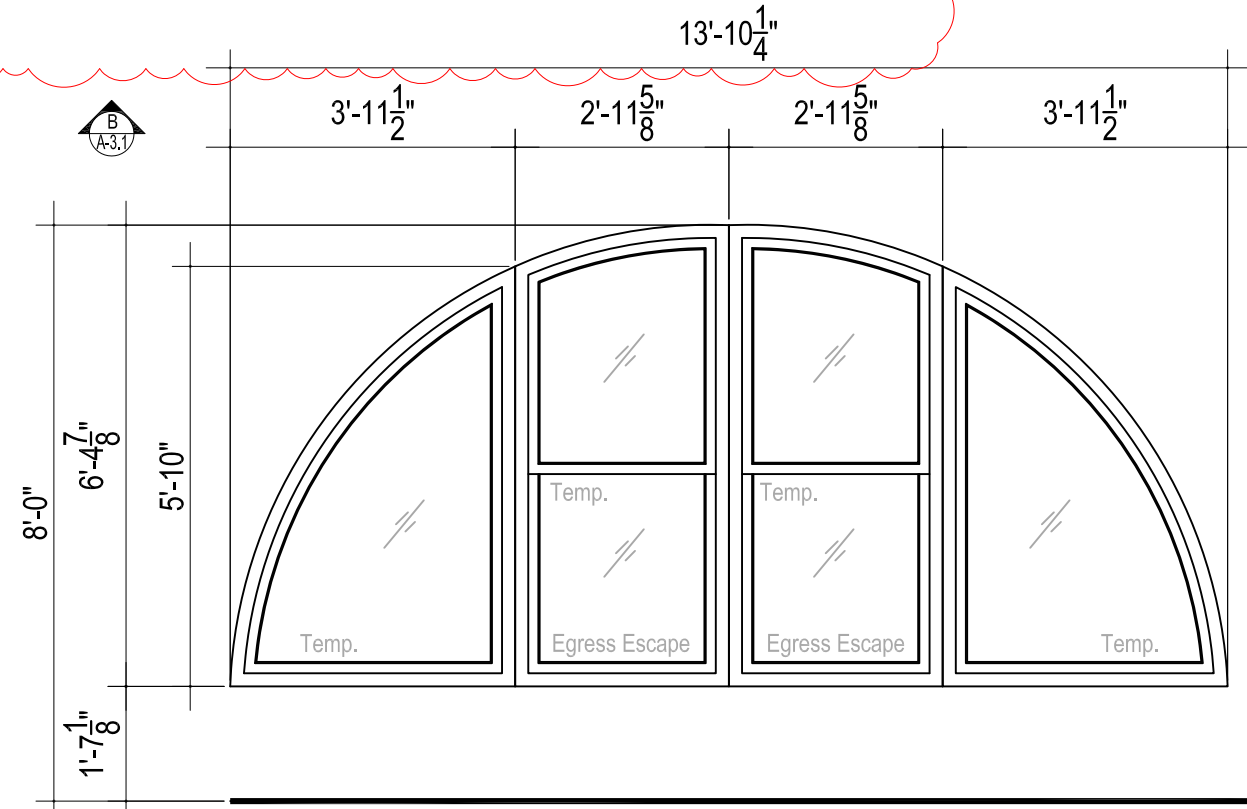
RENOVATION FLOOR PLAN
 SQUARE FOOTAGE & GENERAL NOTES
 ROOF ACCESS PART PLAN & ELEVATION 'A'

DATE : NOVEMBER 29, 2021
 PROJECT NO. JAL68-112921
 DRAWN BY : J.A.L
 REVISED PERMIT SET-R080523

A 2.0



RENOVATED FLOOR PLAN
 Scale : 1/4" = 1'-0" 9'-0" PLATE HEIGHT (verify on site)



SECTIONAL WINDOW ELEVATION
 Scale : 3/8" = 1'-0"

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT										2015 IECC TABLE R402.1.2	
CLIMATE		HENDERSON COUNTY								FOUNDATION	
WINDOWS		INSULATION				FOUNDATION					
Fenestration	Skylight	Glazed Fenestration	Ceiling	Wood Frame Wall	Mass Wall	Floor	Basement Wall	Slab	Crawl Space	U-Factor	R-Value
0.40	0.65	SHGC 0.25	R-Value 38	R-Value 13	R-Value 4/8	R-Value 13	R-Value 0	R-Value 0	R-Value 0		

NOTE: ALL NEW WINDOWS MUST MEET OR EXCEED ABOVE STATED REQUIREMENTS.

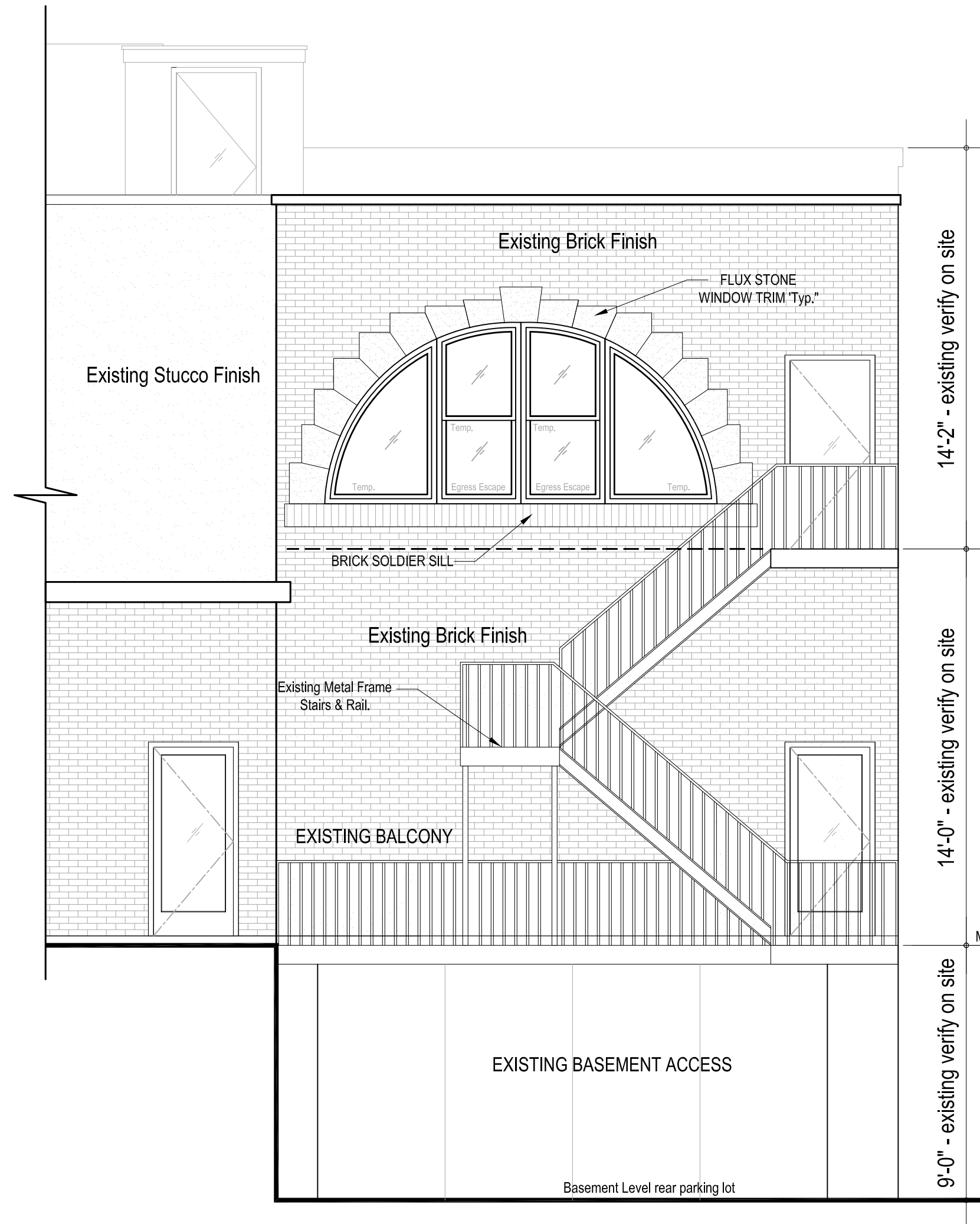
SQUARE FOOTAGE	
EXISTING FLOOR AREA :-	
LIVING AREA	= ± 2,042 S.F.
MAIN ENTRY AREA	= ± 67 S.F.
REAR ENTRY AREA	= ± 16 S.F.
NEW ADDITION AREA:-	
LIVING AREA	= ± 35 S.F.
OPEN BALCONY AREA	= ± 130 S.F.
ROOF ACCESS AREA	= ± 35 S.F.
FRAMED AREA	= ± 130 S.F.
EXISTING TOTAL FRAMED AREA	= ± 2,300 S.F.
NEW TOTAL FRAMED AREA	= ± 2,465 S.F.
NEW TOTAL RENOVATION AREA	= ± 2,465 S.F.

SPECIFICATIONS	
UNLESS OTHERWISE NOTED :-	
MAIN FLOOR OF RESIDENCE:-	
PLATE HEIGHT	= 9'-0" (verify on site)
CEILING	= 8'-10 1/2" (verify on site/match existing)
WINDOWS	= 6'-8" HEADER HEIGHT (U.O.N)
DOORS	= 6'-8" HEADER HEIGHT (U.O.N)
ROOF TYPE - EXISTING NOT IN SCOPE OF WORK	
ROOF PITCH - N/A (verify on site)	
WATER HEATER (in attic as per City Codes)	
ATTIC VENTING - SOFFIT & RIDGE VENTS	
NOTES :all attic insulation shall be City Approved sprayed on or match existing.	
[Pattern]	INDICATES EXISTING BRICK LEDGE.
[Pattern]	INDICATES EXISTING 1 HR. FIRE RATED WALL.
[Pattern]	INDICATES NEW 4" WALLS.
[Pattern]	INDICATES EXISTING INTERIOR 4" WALLS.
[Pattern]	INDICATES EXISTING EXTERIOR WALLS.

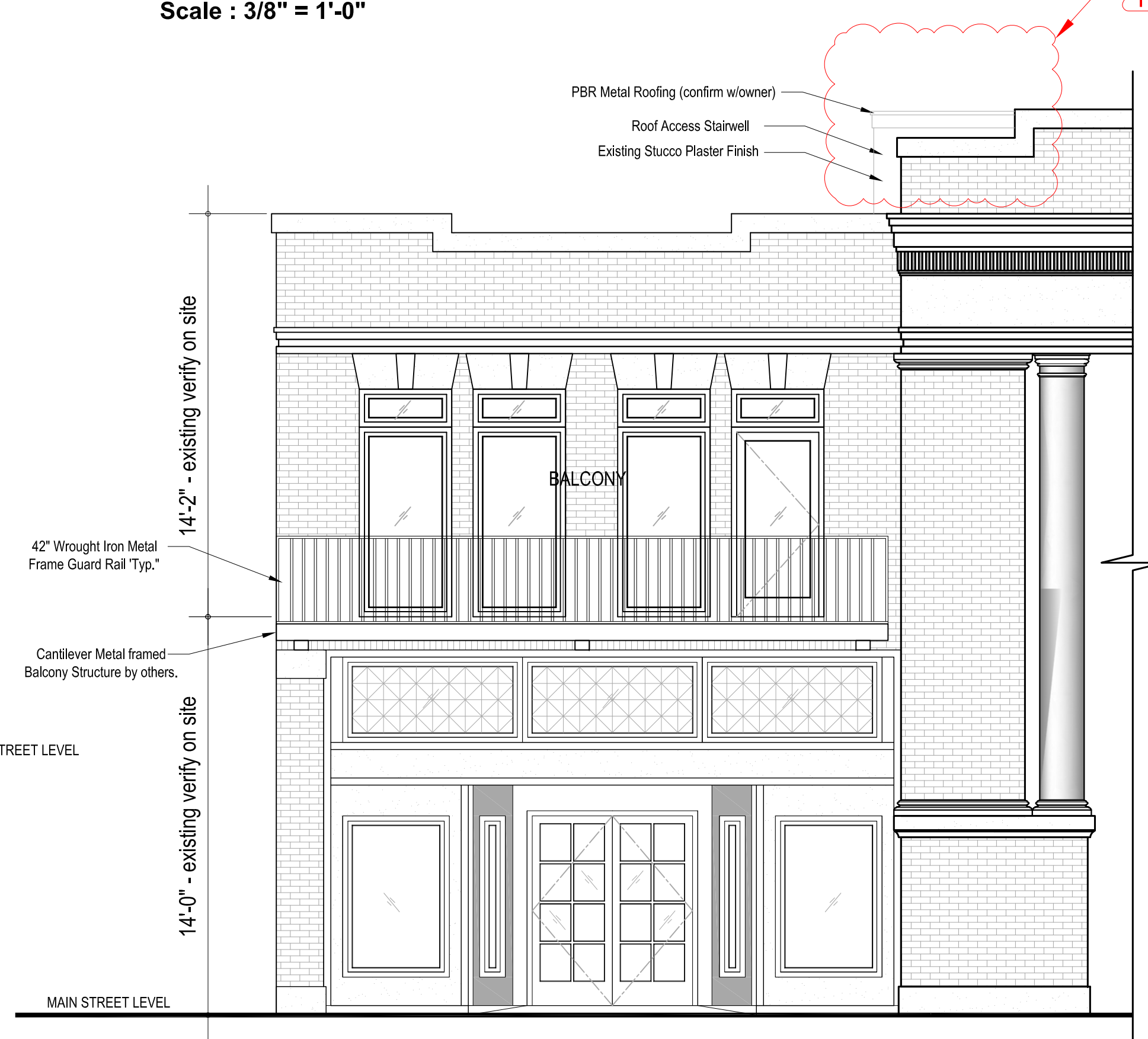
NOTE: JAL ARCH DESIGNS ASSUMES NO LIABILITY. IT IS THE FINAL RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, STRUCTURAL NOTES AND WINDOW/DOOR SIZES AND ADJUST TO MEET 2012 INTERNATIONAL RESIDENTIAL CODES WITH CITY OF HOUSTON AMENDMENTS.

PLAN NOTES & SPECIFICATIONS

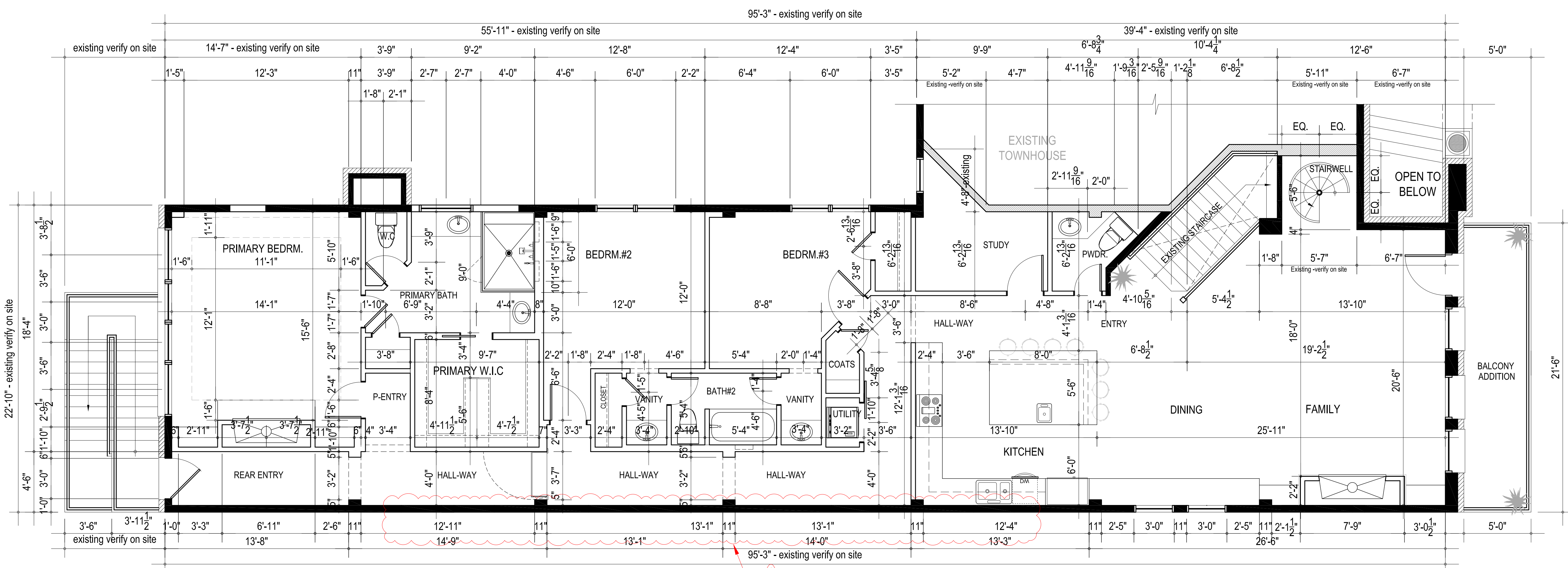
- *Do not scale drawings.
- *Draft stops shall be constructed of approved materials per Section R502.12.
- *Approved smoke detectors shall be placed in each bedroom and in adjoining hall. They shall be hard-wired, inter-connected, and a battery back up per Section 317.
- *All insulation shall have a flame spread rating of not more than 25 and shall have a smoke density not to exceed 450 per Section R320.1, 45° u.n.o.
- *Handrails at stair shall be continuous the full length of the stairs. The top of handrails shall be placed not less than 34" or more than 38" above the nosing of treads and landings per Section R315.
- *Provide ventilation at all baths and utility rooms.
- *All cabinet sizes are labeled in industry standard inches cabinet supplier to provide mfg... specific unit sizes and installation layout and details.
- *It is the final responsibility of the general contractor to verify all dimensions, structural notes and window/door sizes and adjust to meet local and state building codes.
- *All bedrooms shall have at least one operable window or exterior door approved for emergency escape or rescue.
- *Fire stopping shall be provided as specified in Sections R602.8, R1001.17, R1003.12.
- Indicates Walls to be removed
- ☼ Indicates Smoke Detectors
- ☼CO Indicates Combo Carbon Monoxide/Smoke Detector.



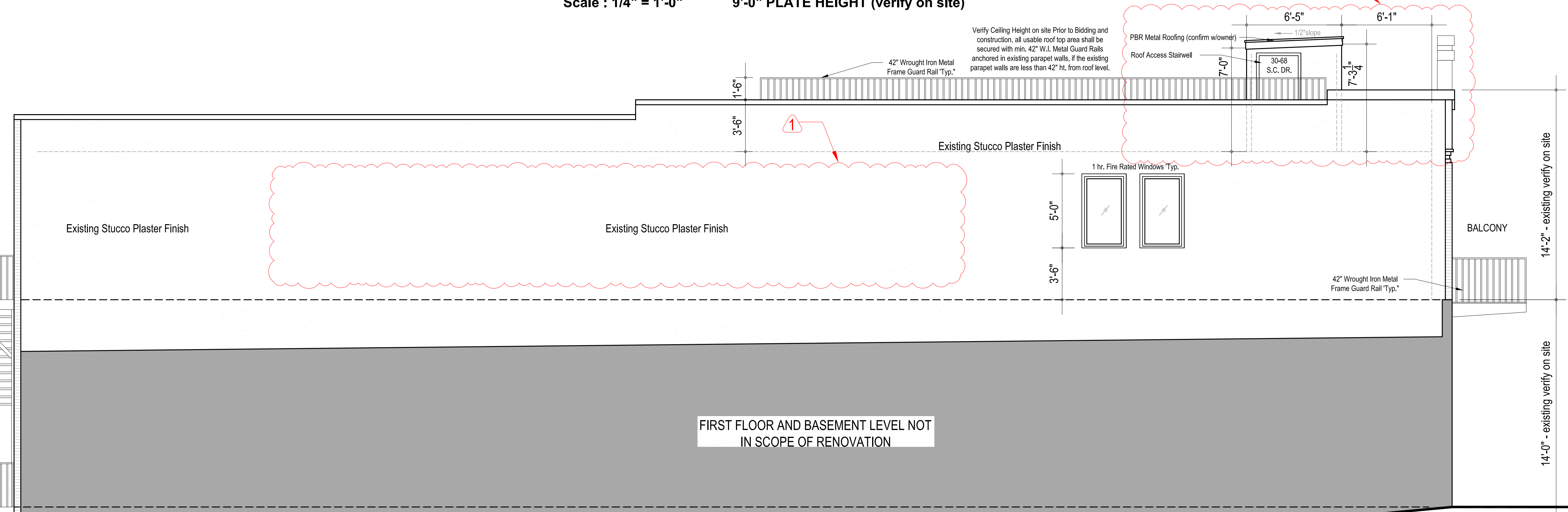
RENOVATED REAR ELEVATION
 Scale : 1/4" = 1'-0"



RENOVATED FRONT ELEVATION
 Scale : 1/4" = 1'-0"



DIMENSIONAL FLOOR PLAN
 Scale : 1/4" = 1'-0" 9'-0" PLATE HEIGHT (verify on site)



B RENOVATED LEFT ELEVATION
 Scale : 1/4" = 1'-0"

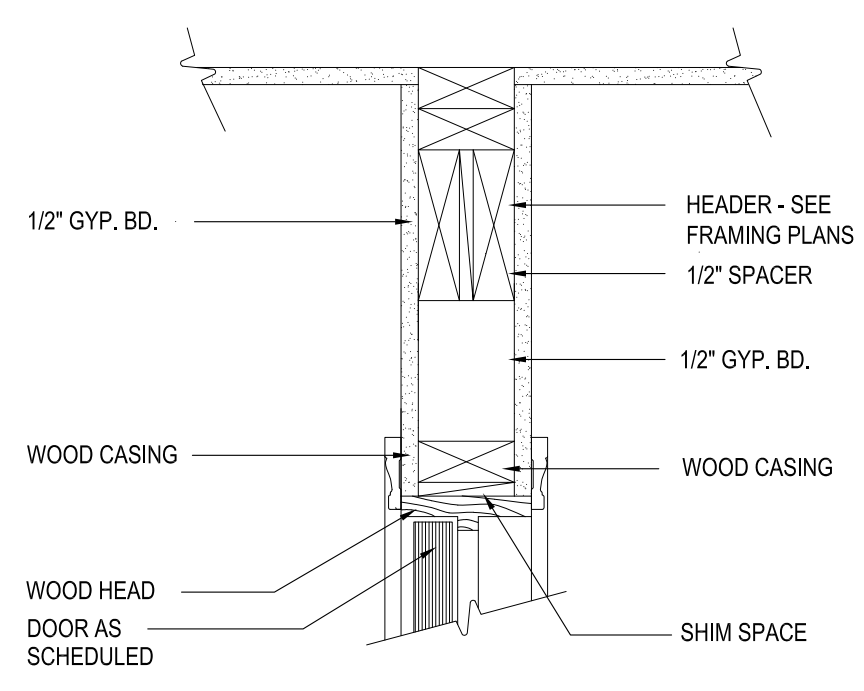
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PROPOSED RENOVATION OF EXISTING TOWNHOME AT 225 N.MAIN STREET

DIMENSIONAL RENOVATION FLOOR PLAN
 RENOVATED LEFT ELEVATION

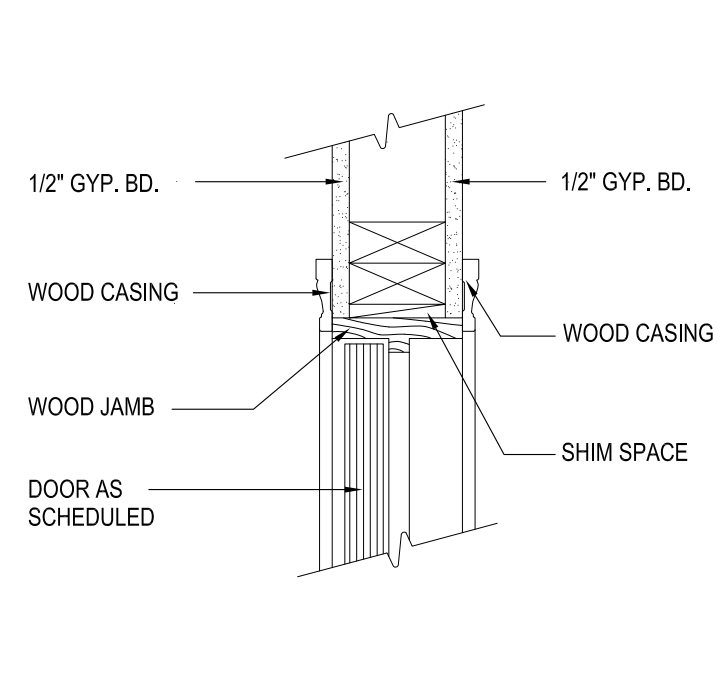
DATE :	NOVEMBER 29, 2021
PROJECT NO :	JAL68-112921
DRAWN BY :	J.A.L
REVISED	PERMIT SET-R080523

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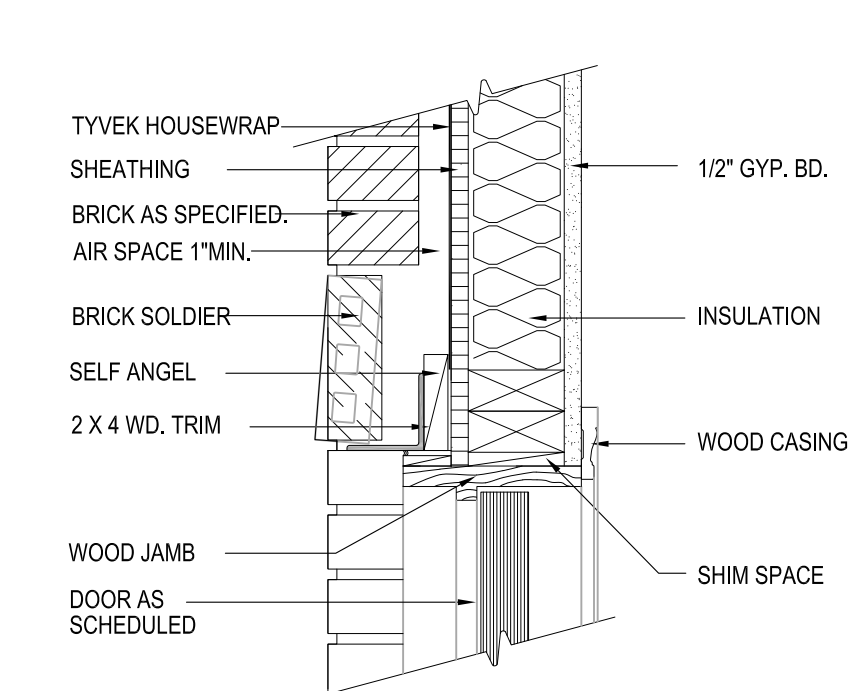
INT. DOOR HEAD

SCALE 1 1/2"=1'-0"



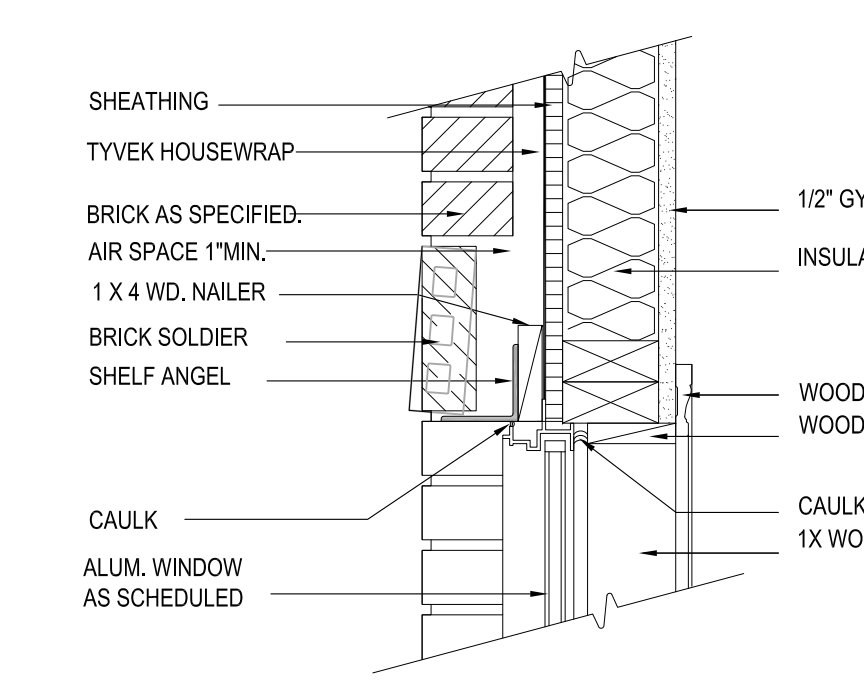
INT. DOOR JAMB

SCALE 1 1/2"=1'-0"



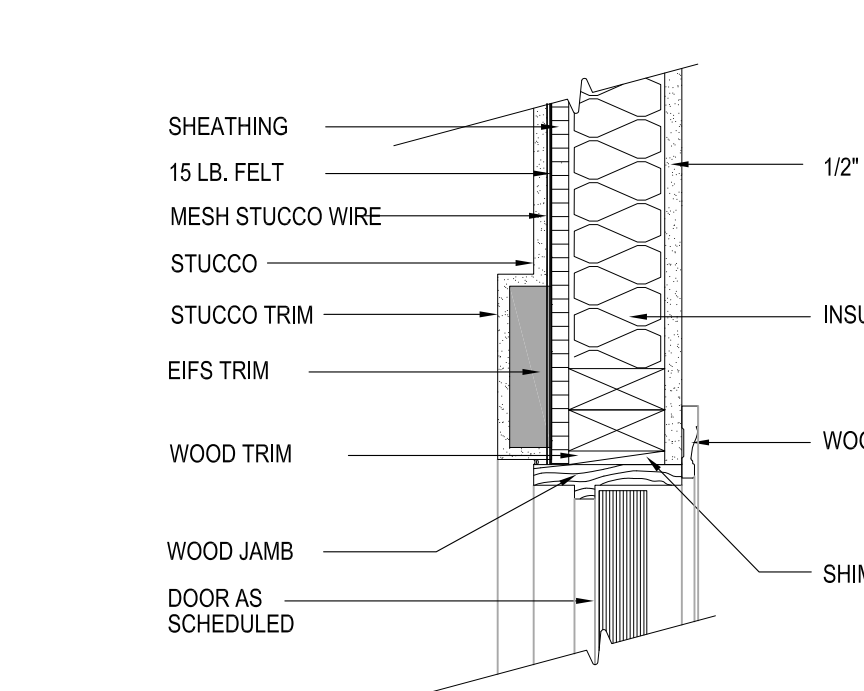
EXT. DOOR JAMB @ BRICK

SCALE 1 1/2"=1'-0"



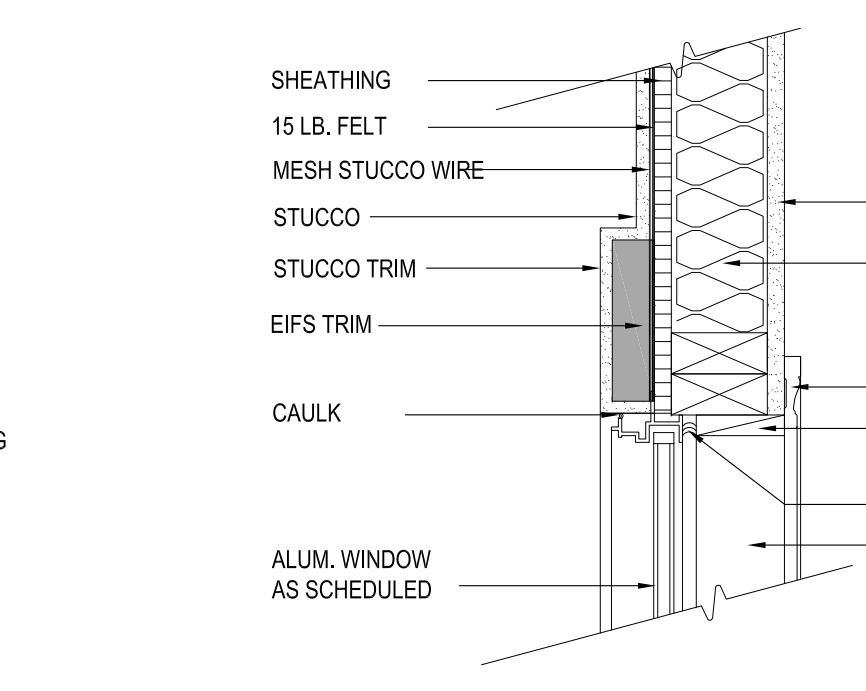
EXT. WINDOW JAMB @ BRICK

SCALE 1 1/2"=1'-0"



EXT. DOOR JAMB @ STUCCO

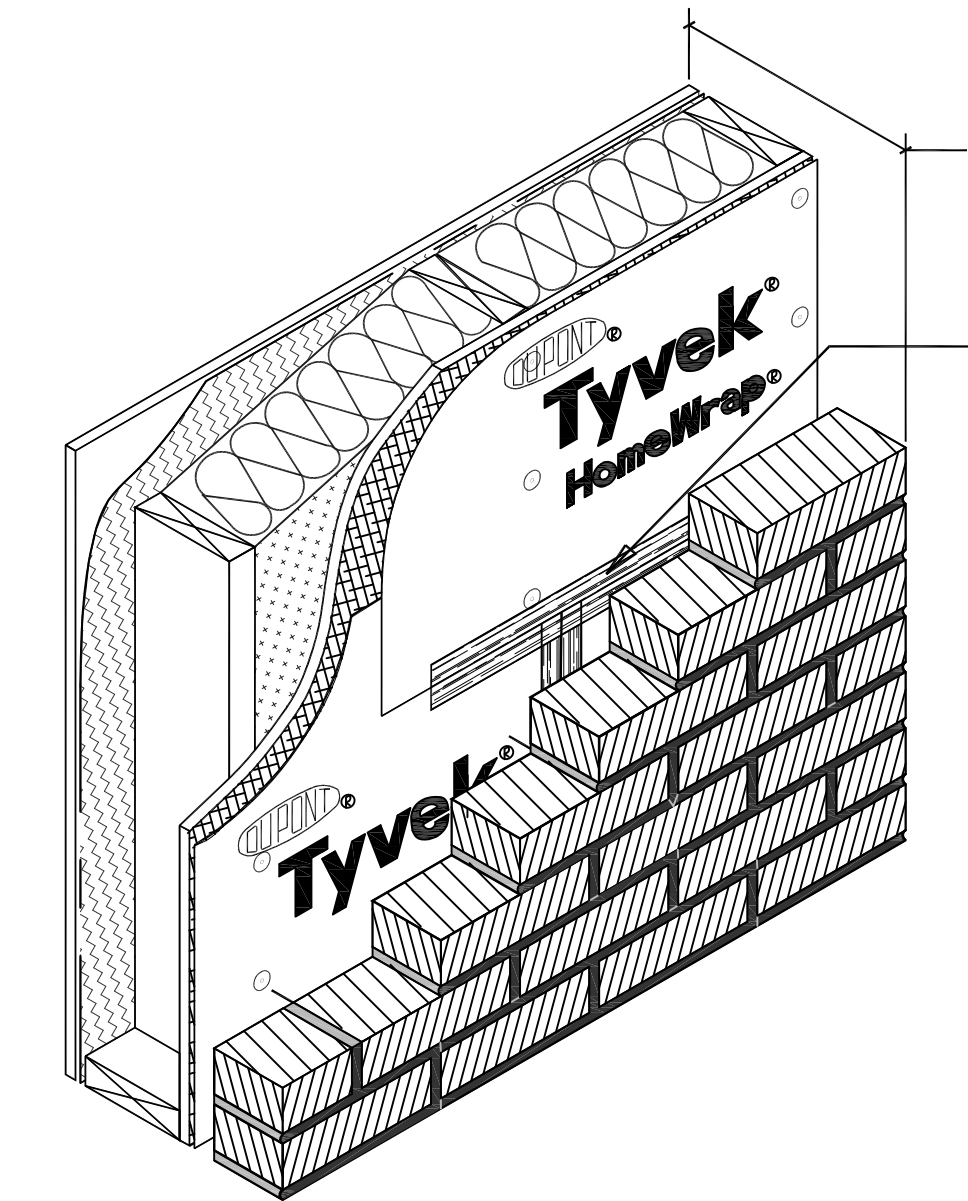
SCALE 1 1/2"=1'-0"



EXT. WINDOW JAMB @ STUCCO

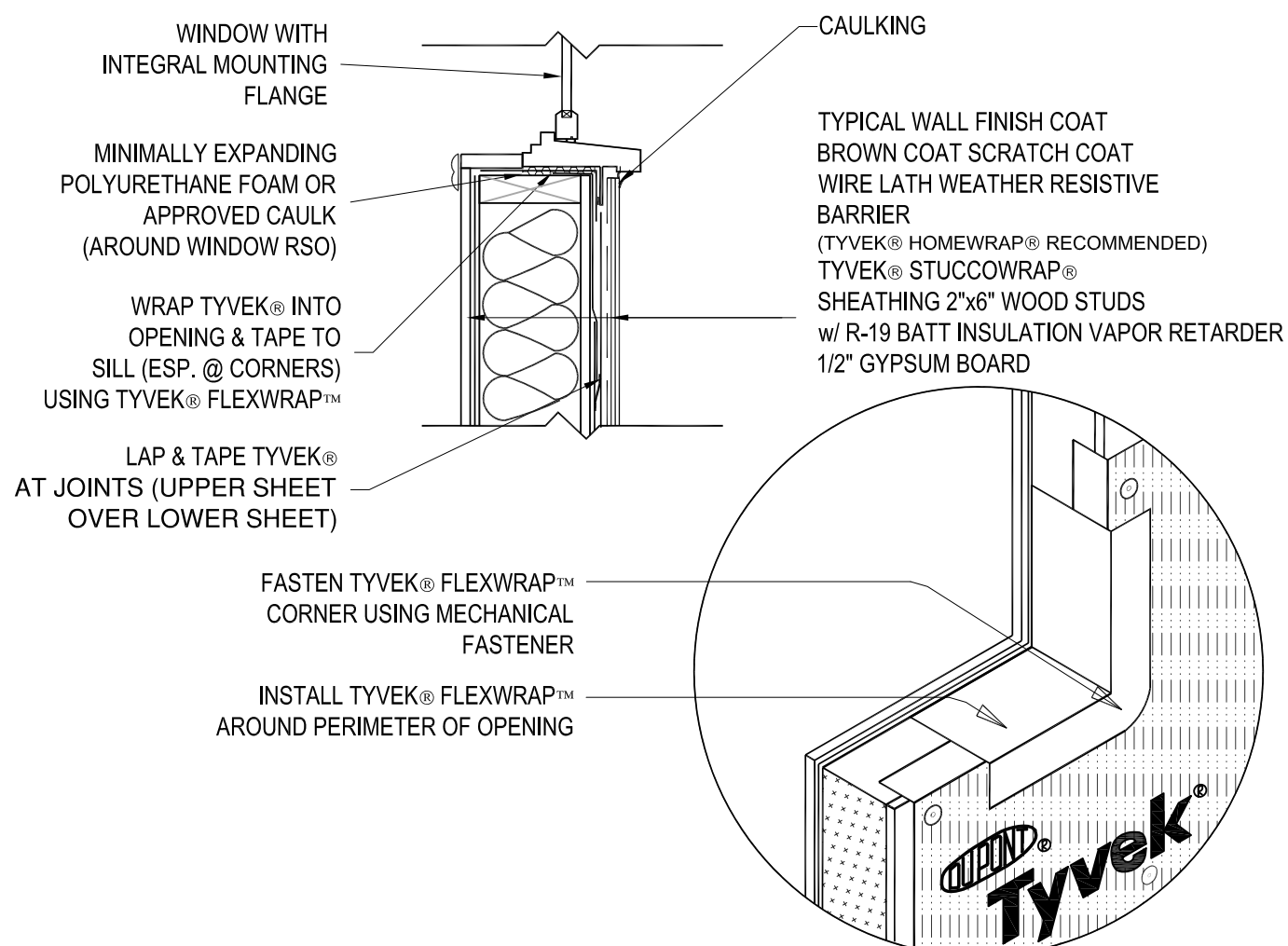
SCALE 1 1/2"=1'-0"

MISCELLANEOUS NOTES:
 ALL GLAZING WITHIN 15 IN. OF THE FLOOR AND/OR WITHIN 24 IN. OF ANY DOOR (REGARDLESS OF WALL PLANE) ARE TO HAVE SAFETY GLAZING. ALL GLAZING WITHIN 60 IN. OF TUB OR SHOWER FLOOR, 60 IN. OF A STAIR LANDING OR GREATER THAN 9 SQUARE FEET ARE TO HAVE SAFETY GLAZING.
 SKYLIGHTS ARE TO BE GLAZED WITH TEMPERED GLASS ON OUTSIDE AND LAMINATED GLASS ON THE INSIDE (UNLESS PLATE GLASS TO HAVE MAXIMUM CLEAR SPAN OF 25 IN. AND FRAME IS TO BE ATTACHED TO A 2x CURB WITH A MINIMUM OF 4 IN. ABOVE ROOF PLANE).
 ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS.
 ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE 1/2 IN. DEADBOLT LOCKS ON ALL EXTERIOR DOORS, AND LOCKING DEVICES ON ALL DOORS AND WINDOWS WITHIN 10 FT. (VERTICAL) OF GRADE. PROVIDE PEELHOLE 54-66 IN. ABOVE FIN. FLOOR ON EXTERIOR ENTRY DOORS.
 PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
 PROVIDE COMBUSTION AIR VENTS (W/SCREEN AND BACK DAMPER) FOR GAS FIRE-PLACE AND ANY OTHER APPLIANCES WITH AN OPEN FLAME.
 BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 5 AIR EXCHANGES PER HOUR.
 RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE.
 ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.L.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
 INSULATE ALL ACCESS DOORS, HATCHES TO CRAWL SPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE. UNO ON PLANS.
 ATTIC R-38
 WALLS R-21
 FLOORS R-30
 PROVIDE SPECIAL INSPECTION, SPECIAL TESTING, REPORTING AND COMPLIANCE PROCEDURES AS REQUIRED BY CITY OF HENDERSONVILLE DEVELOPMENT PERMIT AND AS SPECIFIED BY STRUCTURAL ENGINEER.



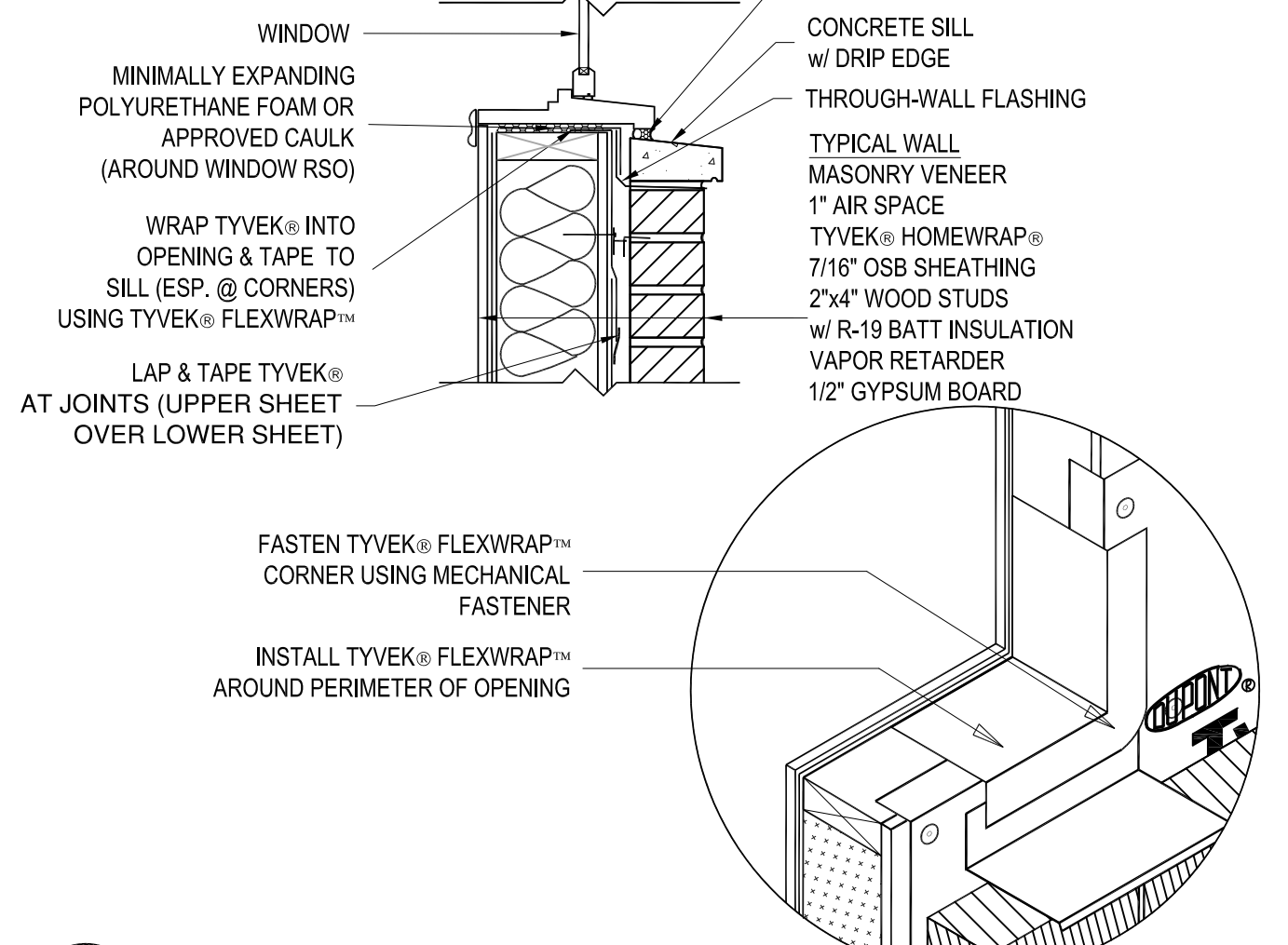
1.0 TYPICAL WALL ISOMETRIC
 RESIDENTIAL WOOD FRAME STRUCTURE w/ MASONRY VENEER (HEATING CLIMATE)

TYPICAL WALL MASONRY VENEER
 1" AIR SPACE
 TYVEK® HOMEWRAP®
 7/16" OSB SHEATHING
 2"x4" WOOD STUDS
 w/ R-19 BATT INSULATION
 VAPOR RETARDER
 1/2" GYPSUM BOARD



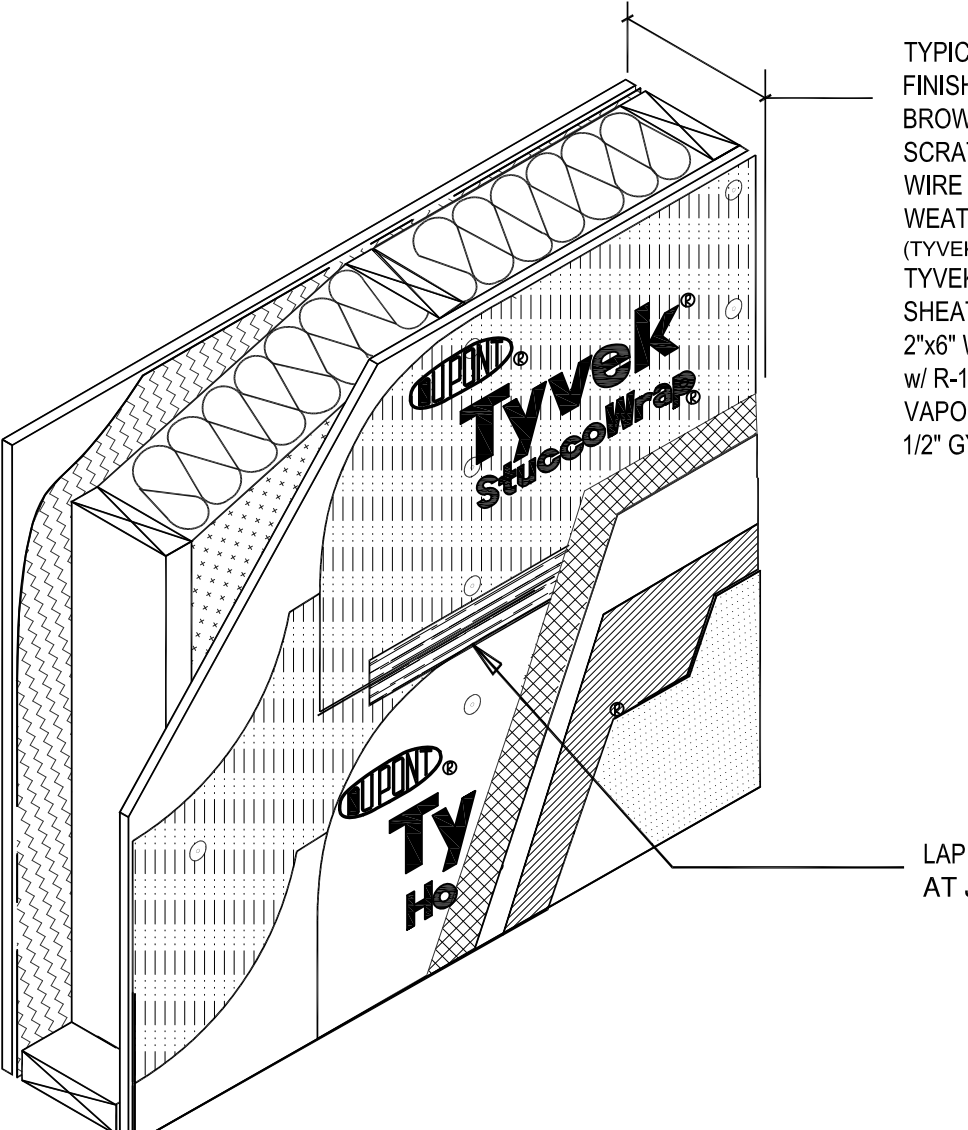
5 WINDOW SILL DETAIL
 RESIDENTIAL WOOD FRAME STRUCTURE w/ STUCCO (HEATING CLIMATE)

WINDOW WITH INTEGRAL MOUNTING FLANGE
 MINIMALLY EXPANDING POLYURETHANE FOAM OR APPROVED CAULK (AROUND WINDOW RSO)
 WRAP TYVEK® INTO OPENING & TAPE TO SILL (ESP. @ CORNERS) USING TYVEK® FLEXWRAP™
 LAP & TAPE TYVEK® AT JOINTS (UPPER SHEET OVER LOWER SHEET)
 FASTEN TYVEK® FLEXWRAP™ CORNER USING MECHANICAL FASTENER
 INSTALL TYVEK® FLEXWRAP™ AROUND PERIMETER OF OPENING
 CAULKING
 TYPICAL WALL FINISH COAT
 BROWN COAT SCRATCH COAT
 WIRE LATH WEATHER RESISTIVE BARRIER (TYVEK® HOMEWRAP® RECOMMENDED)
 TYVEK® STUCCOWRAP®
 SHEATHING 2"x6" WOOD STUDS
 w/ R-19 BATT INSULATION VAPOR RETARDER
 1/2" GYPSUM BOARD



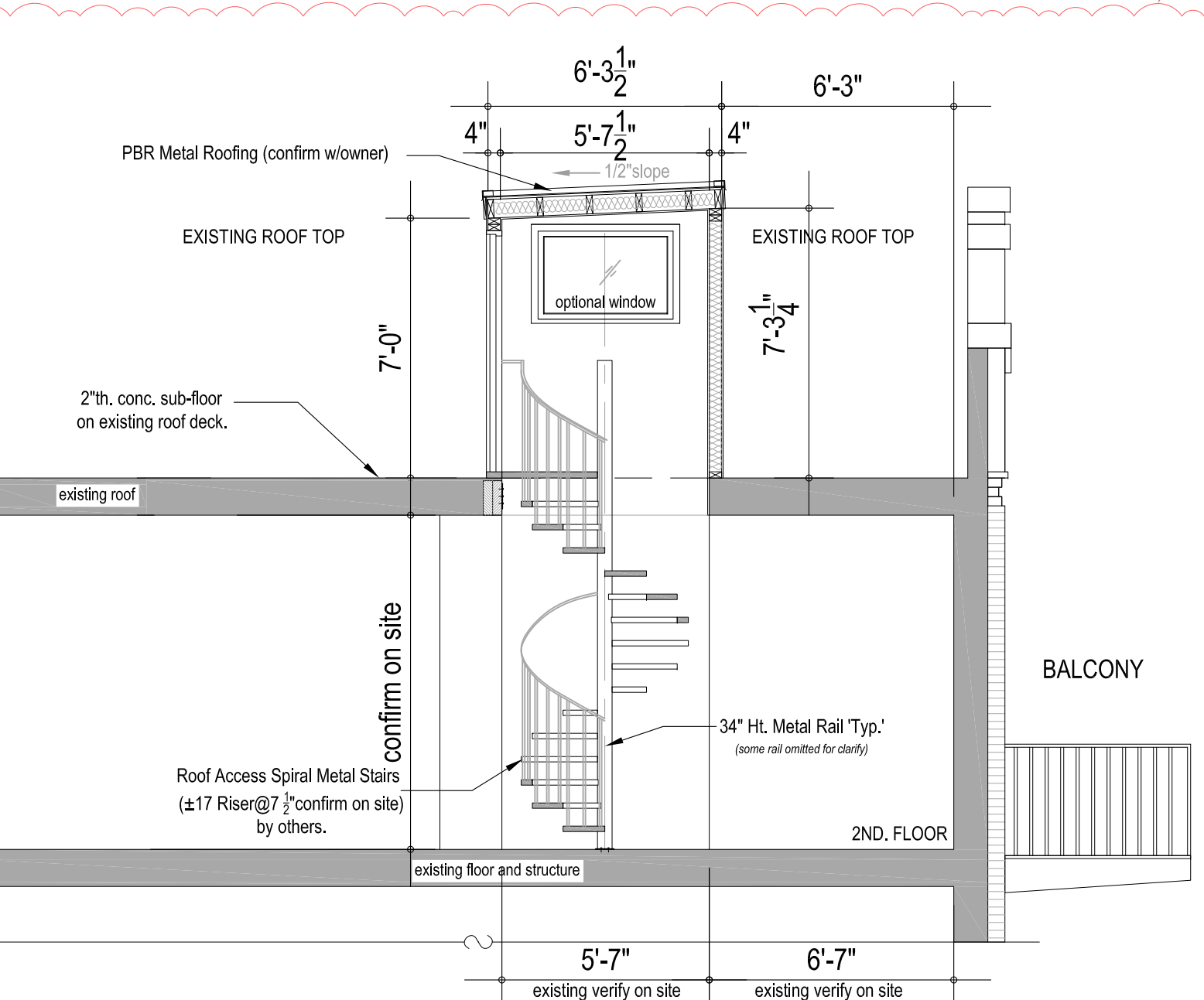
1.3 WINDOW SILL DETAIL
 RESIDENTIAL WOOD FRAME STRUCTURE w/ MASONRY VENEER (HEATING CLIMATE)

WINDOW MINIMALLY EXPANDING POLYURETHANE FOAM OR APPROVED CAULK (AROUND WINDOW RSO)
 WRAP TYVEK® INTO OPENING & TAPE TO SILL (ESP. @ CORNERS) USING TYVEK® FLEXWRAP™
 LAP & TAPE TYVEK® AT JOINTS (UPPER SHEET OVER LOWER SHEET)
 FASTEN TYVEK® FLEXWRAP™ CORNER USING MECHANICAL FASTENER
 INSTALL TYVEK® FLEXWRAP™ AROUND PERIMETER OF OPENING
 CAULKING
 CONCRETE SILL w/ DRIP EDGE
 THROUGH-WALL FLASHING
 TYPICAL WALL MASONRY VENEER
 1" AIR SPACE
 TYVEK® HOMEWRAP®
 7/16" OSB SHEATHING
 2"x4" WOOD STUDS
 w/ R-19 BATT INSULATION VAPOR RETARDER
 1/2" GYPSUM BOARD



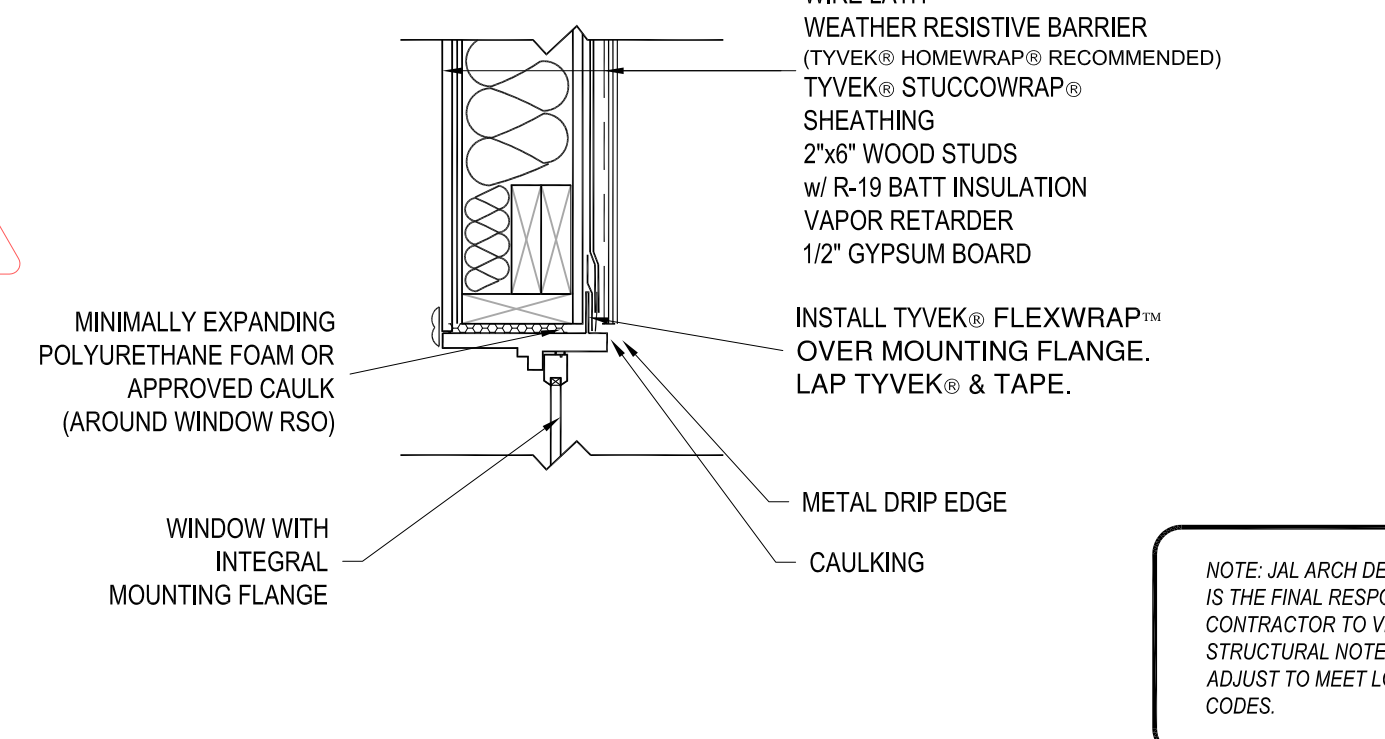
8 TYPICAL WALL ISOMETRIC
 RESIDENTIAL WOOD FRAME STRUCTURE w/ STUCCO (HEATING CLIMATE)

TYPICAL WALL FINISH COAT
 BROWN COAT SCRATCH COAT
 WIRE LATH WEATHER RESISTIVE BARRIER (TYVEK® HOMEWRAP® RECOMMENDED)
 TYVEK® STUCCOWRAP®
 SHEATHING
 2"x6" WOOD STUDS
 w/ R-19 BATT INSULATION VAPOR RETARDER
 1/2" GYPSUM BOARD



ROOF ACCESS PART SECTION
 Scale : 1/4" = 1'-0" (verify plate height on site)

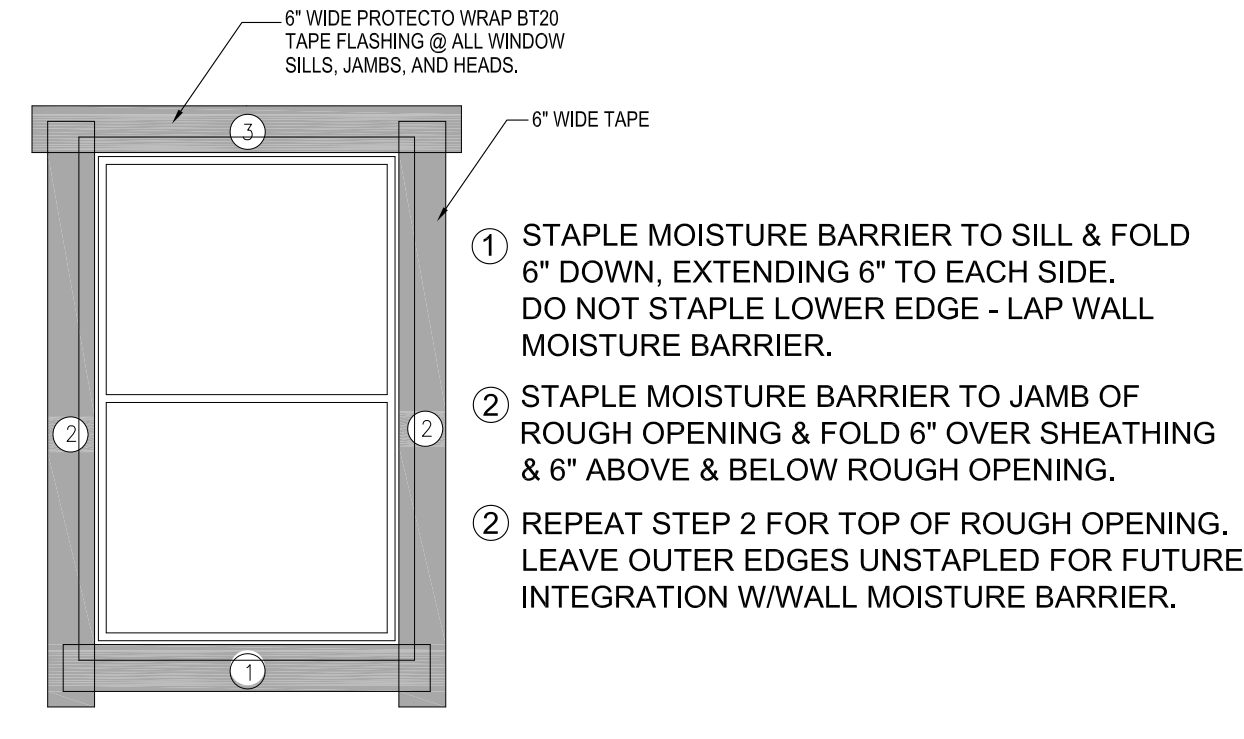
PBR Metal Roofing (confirm w/owner)
 EXISTING ROOF TOP
 7'-0"
 2"th. conc. sub-floor on existing roof deck.
 confirm on site
 34" H.L. Metal Rail Typ. (same rail confirmed for clarity)
 BALCONY
 2ND. FLOOR
 existing floor and structure
 5'-7" existing verify on site
 6'-7" existing verify on site



6 WINDOW HEAD DETAIL
 RESIDENTIAL WOOD FRAME STRUCTURE w/ STUCCO (HEATING CLIMATE)

MINIMALLY EXPANDING POLYURETHANE FOAM OR APPROVED CAULK (AROUND WINDOW RSO)
 WINDOW WITH INTEGRAL MOUNTING FLANGE
 METAL DRIP EDGE
 CAULKING
 TYPICAL WALL FINISH COAT
 BROWN COAT SCRATCH COAT
 WIRE LATH WEATHER RESISTIVE BARRIER (TYVEK® HOMEWRAP® RECOMMENDED)
 TYVEK® STUCCOWRAP®
 SHEATHING
 2"x6" WOOD STUDS
 w/ R-19 BATT INSULATION VAPOR RETARDER
 1/2" GYPSUM BOARD
 INSTALL TYVEK® FLEXWRAP™ OVER MOUNTING FLANGE. LAP TYVEK® & TAPE.

NOTE: JAL ARCH DESIGNS ASSUMES NO LIABILITY. IT IS THE FINAL RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS. STRUCTURAL NOTES AND WINDOW/DOOR SIZES AND ADJUST TO MEET LOCAL AND STATE BUILDING CODES.



TYPICAL WINDOW FLASHING
 NO SCALE (REFER STRUCTURAL FOR STUD SPACING)

6" WIDE PROTECTO WRAP BT20 TAPE FLASHING @ ALL WINDOW SILLS, JAMBS, AND HEADS.
 6" WIDE TAPE
 1 STAPLE MOISTURE BARRIER TO SILL & FOLD 6" DOWN, EXTENDING 6" TO EACH SIDE. DO NOT STAPLE LOWER EDGE - LAP WALL MOISTURE BARRIER.
 2 STAPLE MOISTURE BARRIER TO JAMB OF ROUGH OPENING & FOLD 6" OVER SHEATHING & 6" ABOVE & BELOW ROUGH OPENING.
 2 REPEAT STEP 2 FOR TOP OF ROUGH OPENING. LEAVE OUTER EDGES UNSTAPLED FOR FUTURE INTEGRATION w/WALL MOISTURE BARRIER.

STRUCTURAL ENGINEER: *
 DESIGNER: JAL Arch Designs, LLC
 BUILDER: *

PLAN LEGEND	
FLOOR PLAN	
CONC	CONCRETE
CLG	CEILING
D/W	DISH WASHER
DISP	DISPOSAL
1RIS	1 ROD & 1 SHEF
2RIS	2 ROD & 2 SHELVES
TYP. CLG. MOULD	TYPICAL CEILING MOULD
K/S	KNEE SPACE
SHELV	SHELVES
REF	REFRIGERATOR
OVEN COMB	OVEN w/MICROWAVE
MW	MICROWAVE
CRPT	CARPET
FLGS	FLAGSTONE
GYPSUM	GYPSUM
SH. DL	SINGLE HUNG DIVIDED LITE
FX. DL	FIX GLASS DIVIDED LITE
HS. DL	HORIZONTAL SLIDER DIVIDED LITE
FRAMING PLAN	
YPKD	YELLOW PINE KILN DRIED
SPE	SPRUCE PINE FUR
O.C	ON CENTER
D.B	DROP BEAM
F.B	FLASH BEAM
DBL	DOUBLE
LVL	LAMINATED VENEER LUMBER
CANT	CANTILEVER
INTERIOR ELEVATION	
FD	FURR DOWN
F	FILLER
F.P	FINISH
OVFR	OVEN FRONT
EXTERIOR ELEVATION	
PROJ	PROJECTED
O.H.D	OVERHEAD DOOR
PLHT	PLATE HEIGHT
PLT	PLATE
F.F	FINISH FLOOR
B.O	BOTTOM OF
T.O	TOP OF

PROPOSED RENOVATION OF EXISTING TOWNHOME AT 225 N.MAIN STREET

SPECIFICATIONS AND DETAILS
 WALL SECTION DETAILS
 DOOR & WINDOW DETAILS

DATE :	NOVEMBER 29, 2021
PROJECT NO.:	JAL68-112921
DRAWN BY :	J.A.L
REVISED	PERMIT SET-R080523

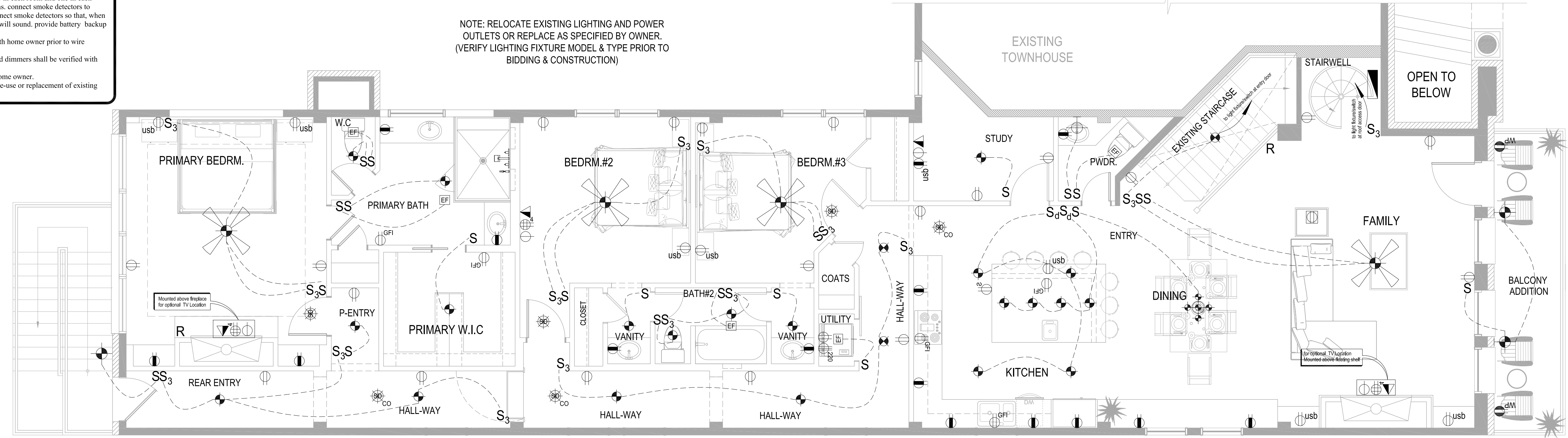
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ELECTRICAL NOTES:

Home owner shall do a walk-thru with relevant installers to verify the exact location for outlets, lights, switches, cable, data, phone, audio, etc.

1. electrical receptacles in bathrooms, kitchens and garages shall be g.f.i. org. f.i.c. per national electrical code requirements.
2. provide one smoke detector in each room and one in each corridor accessing bedrooms. connect smoke detectors to house power and inter-connect smoke detectors so that, when any one is tripped, they all will sound. provide battery backup for all units.
3. circuits shall be verified with home owner prior to wire installation.
4. final switches for timers and dimmers shall be verified with home owner.
5. fixtures to be selected by home owner.
6. electrician shall verify the re-use or replacement of existing electrical panel box.

NOTE: RELOCATE EXISTING LIGHTING AND POWER OUTLETS OR REPLACE AS SPECIFIED BY OWNER. (VERIFY LIGHTING FIXTURE MODEL & TYPE PRIOR TO BIDDING & CONSTRUCTION)

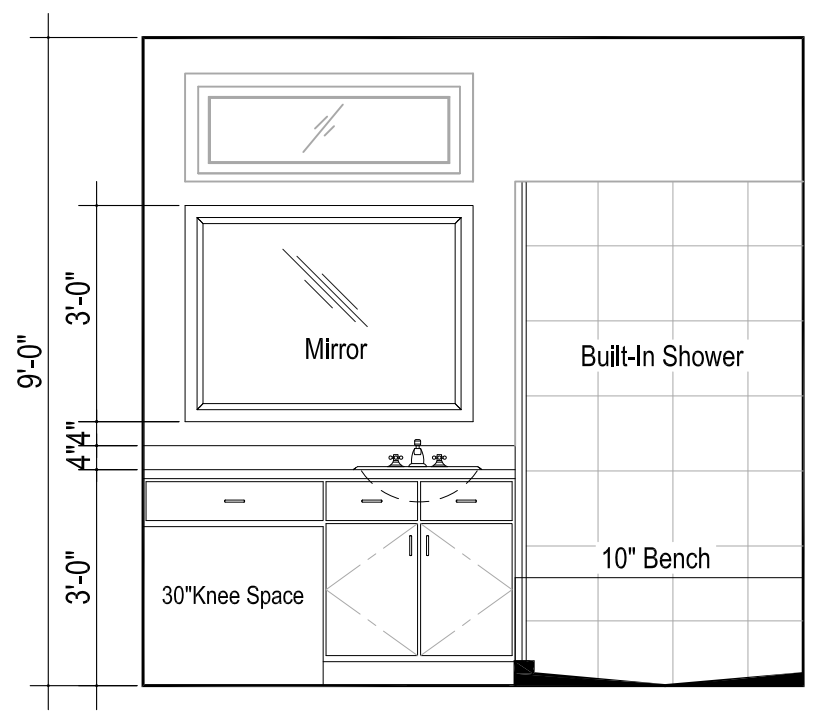


RENOVATION ELECTRICAL PLAN
 Scale : 1/4" = 1'-0"

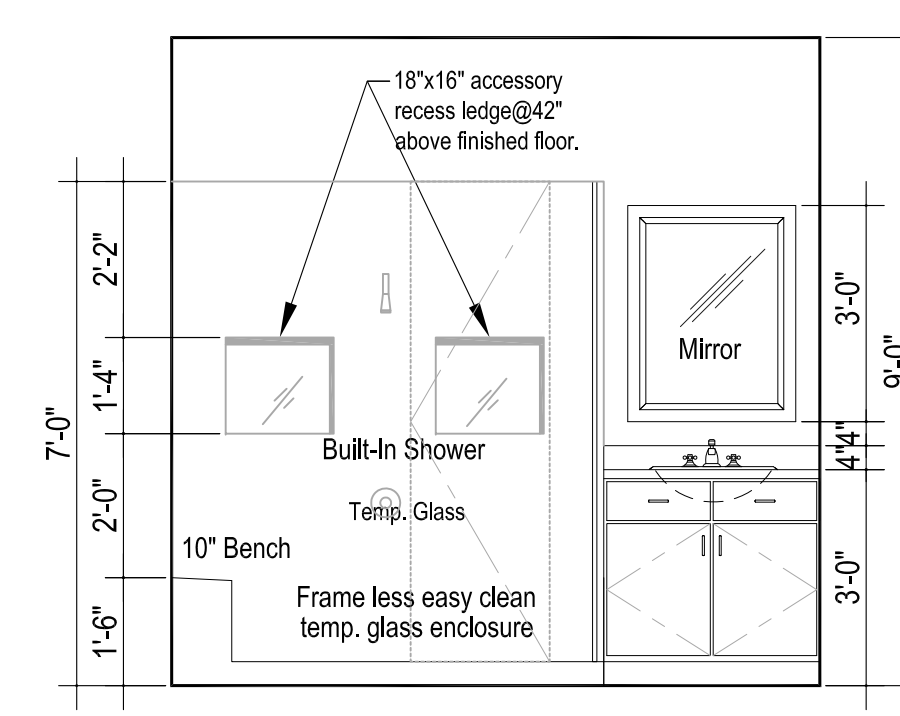
ELECTRICAL SCHEDULE

SYMBOL	ELECTRICAL SPECIFICATIONS	QUANTITY
	CRYSTAL CHANDELIER w/ LIGHT CEILING MOUNTED.	
	SMOKE DETECTOR MOUNTED IN CEILING.	
	CARBON MONOXIDE DETECTOR CEILING MOUNTED.	
	52" CEILING FAN WITH LIGHT MOUNTED ON CEILING.	
	INCANDESCENT OUTDOOR WALL MOUNTED LIGHT FIXTURE MOUNTED 6'-0" ABOVE FLOOR LEVEL.	
	INCANDESCENT LIGHT FIXTURE MOUNTED IN CEILING.	
	6" RECESS DOWN LIGHT MOUNTED IN CEILING.	
	3" RECESS POT LIGHT MOUNTED IN CEILING.	
	MINI RECESS LED PIN LIGHT MOUNTED IN CEILING.	
	16 CIRCUIT DISTRIBUTION PANEL MOUNTED 8'-0" ABOVE FLOOR LEVEL.	
	110 VOLTS DUPLEX OUTLET MOUNTED IN FLOOR.	
	110 VOLTS DUPLEX OUTLET MOUNTED 1'-0" ABOVE FLOOR LEVEL.	
	110 VOLTS GFCI (ground fault circuit interrupter) DUPLEX OUTLET MOUNTED 1'-0" ABOVE FLOOR LEVEL.	
	110 VOLTS DUPLEX OUTLET W/USB CHARGER MOUNTED 1'-0" ABOVE FLOOR LEVEL.	
	110 VOLTS DUPLEX OUTLET W/USB CHARGER MOUNTED 3'-6" ABOVE FLOOR LEVEL.	
	110 VOLTS GFCI DUPLEX OUTLET MOUNTED 3'-6" ABOVE FLOOR LEVEL.	
	110 VOLTS WEATHER PROOF DUPLEX OUTLET MOUNTED 1'-0" ABOVE FLOOR LEVEL.	
	110 VOLTS MULTI POWER STRIP MOUNTED UNDER COUNTER AT KITCHEN ISLAND CABINET.	
	110 VOLTS QUADPLEX OUTLET MOUNTED 1'-0" ABOVE FLOOR LEVEL.	
	SINGLE POLE WHITE SWITCH MOUNTED 3'-6" ABOVE FLOOR LEVEL.	
	THREE-WAY WHITE SWITCH MOUNTED 3'-6" ABOVE FLOOR LEVEL.	
	FOUR-WAY WHITE SWITCH MOUNTED 3'-6" ABOVE FLOOR LEVEL.	
	SINGLE POLE WHITE DIMMER SWITCH MOUNTED 3'-6" ABOVE FLOOR LEVEL.	
	TELEPHONE JACK MOUNTED 1'-0" ABOVE FLOOR LEVEL.	
	CAT 6 DATA JACK MOUNTED 1'-0" ABOVE FLOOR LEVEL.	
	CABLE JACK MOUNTED 1'-0" ABOVE FLOOR LEVEL.	
	110 VOLTS DUPLEX OUTLET MOUNTED IN ROOF OVERHANG.	
	EXHAUST FAN MOUNTED IN CEILING.	

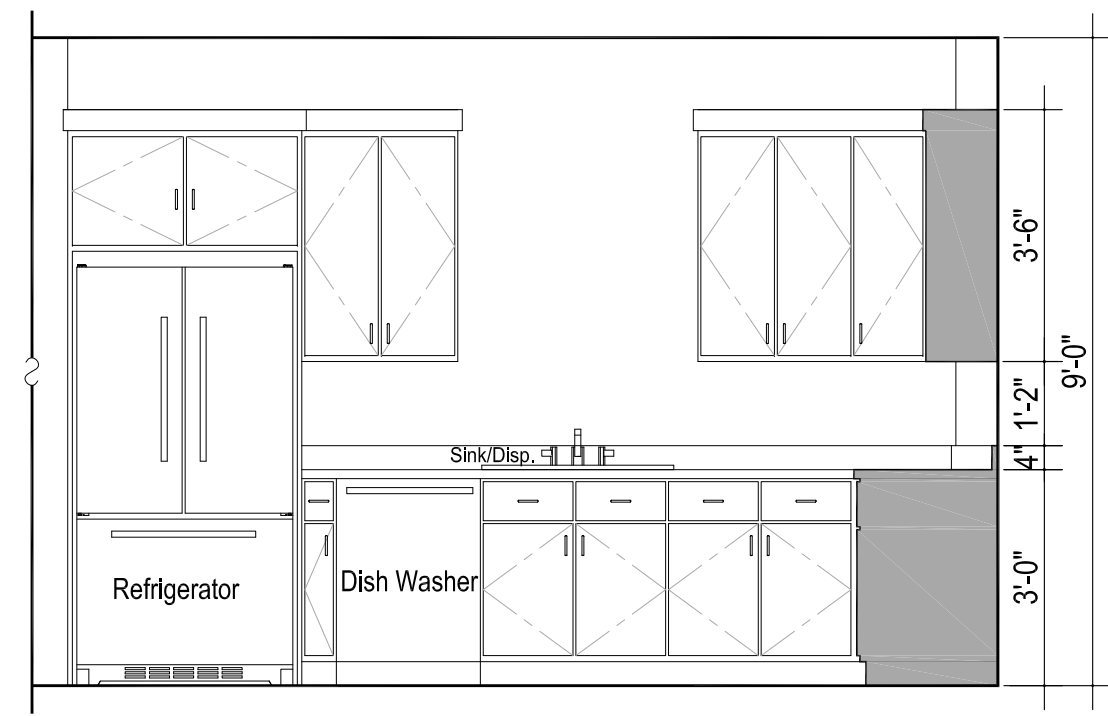
NOTE: ALL CONDUITS SHALL BE CONCEALED IN OR WALLS FLOORS AND CEILING AND SHALL COMPLY TO LOCAL CODES.
 PROVIDE LIGHTING AND POWER IN ATTIC FOR MECHANICAL AND PLUMBING UNITS. COMPLY TO LOCAL CODES.



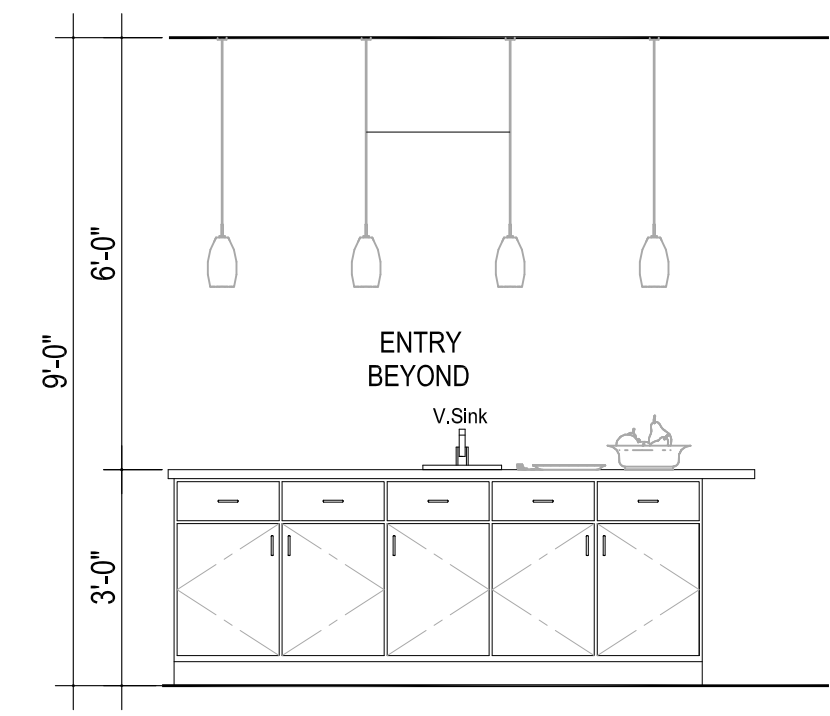
A PRIMARY BATH
 Scale : 3/8" = 1'-0"



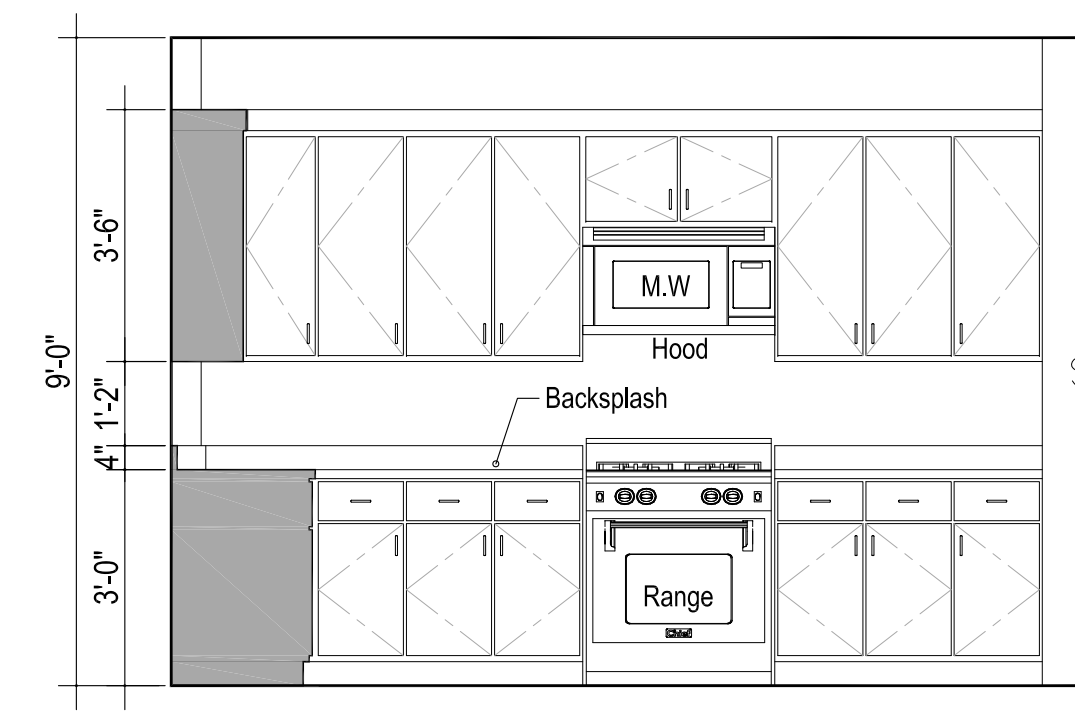
B PRIMARY BATH
 Scale : 3/8" = 1'-0"



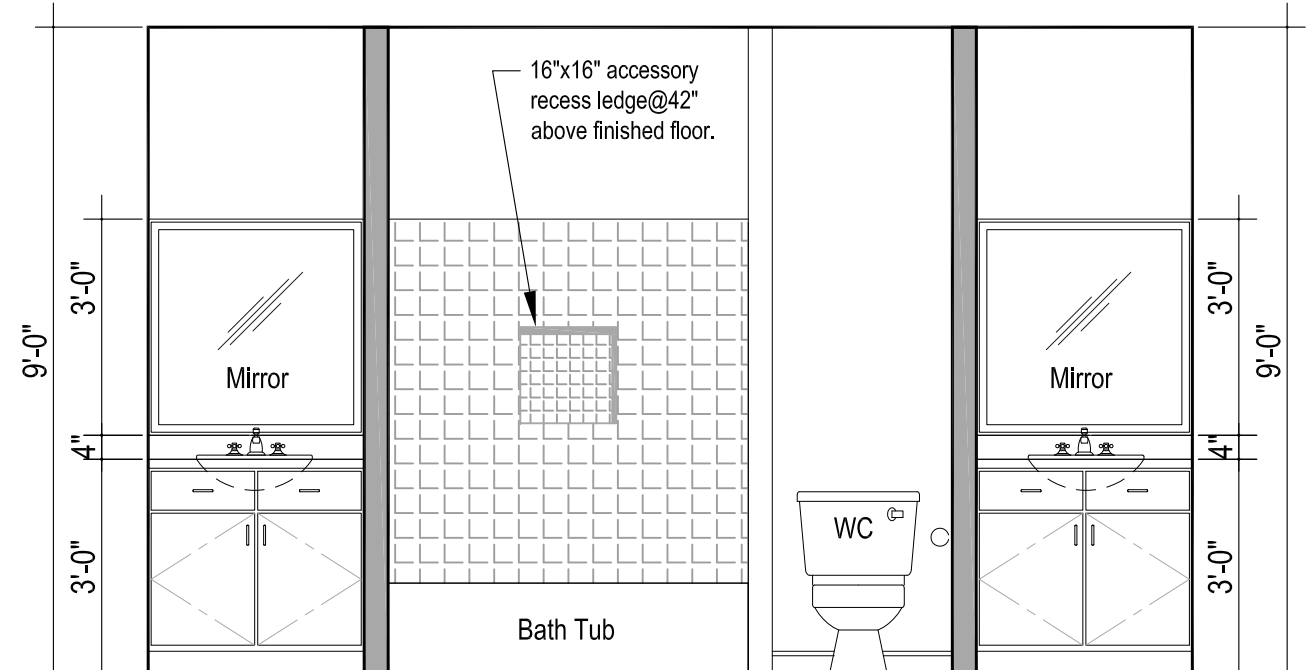
F KITCHEN
 Scale : 3/8" = 1'-0"



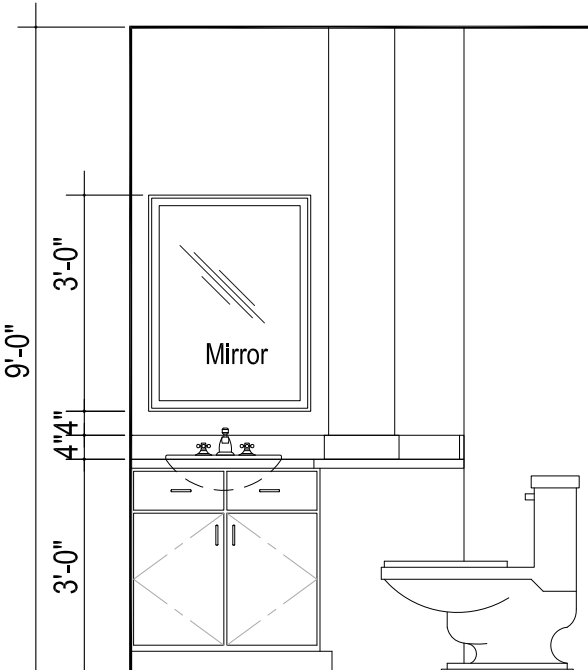
G ISLAND
 Scale : 3/8" = 1'-0"



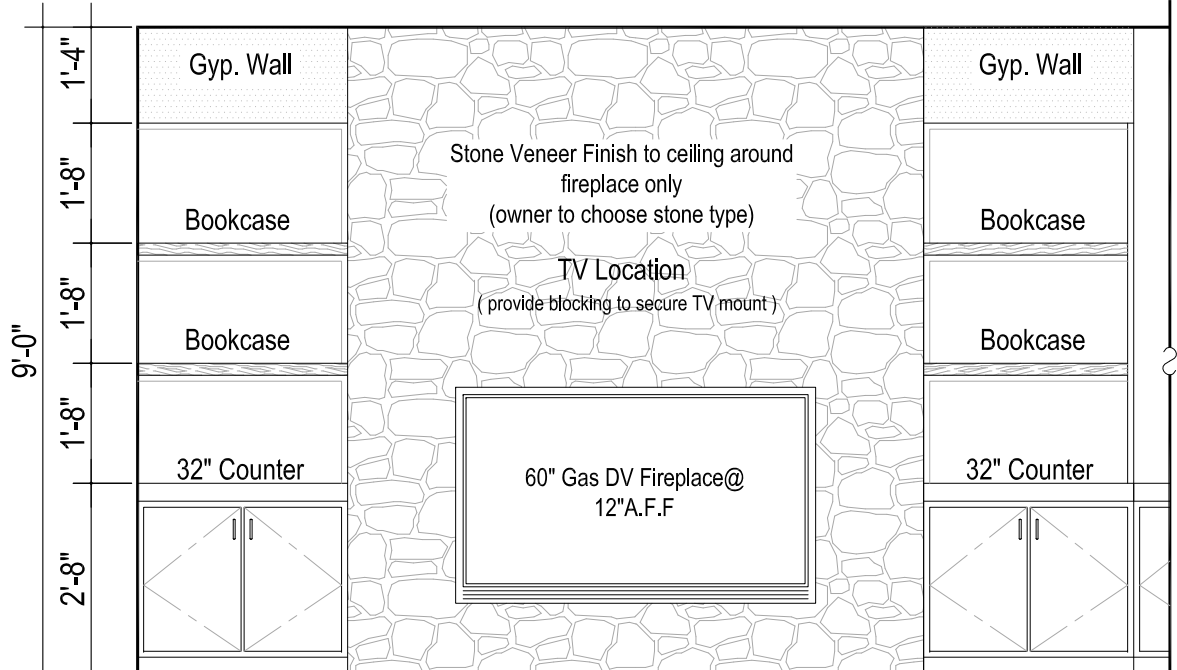
K KITCHEN
 Scale : 3/8" = 1'-0"



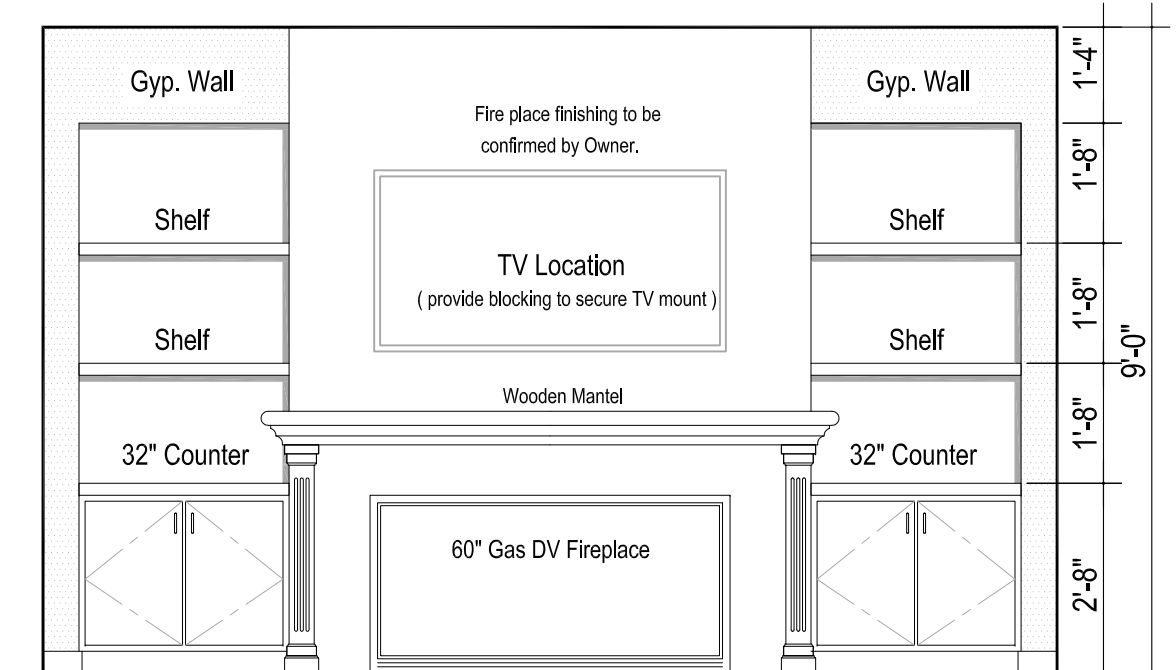
C VANITY
 Scale : 3/8" = 1'-0"



E POWDER
 Scale : 3/8" = 1'-0"



H FAMILY
 Scale : 3/8" = 1'-0"



J PRIMARY BEDRM.
 Scale : 3/8" = 1'-0"

KITCHEN AND CABINET NOTES:

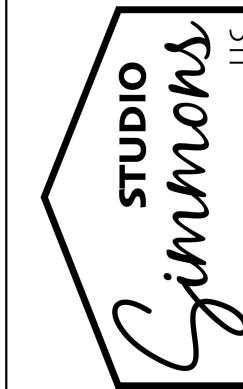
1. CONFIRM ALL CABINETS COLOR WITH HOME OWNER PRIOR TO ORDERING.
2. CONFIRM DOOR & DRAWER STYLES WITH HOME OWNER PRIOR TO ORDERING.
3. INSTALL HARDWARE ON SITE.
4. INSTALL CROWN MOLDING ON SITE; MATCH CABINET COLOR; CONFIRM PROFILE AND DIMENSION WITH HOME OWNER.
5. CUT OVEN OPENING ON SITE. SEE APPLIANCE SPECIFICATIONS.
6. INSTALL HOOD AND ALL APPLIANCES PER MANUFACTURER SPECIFICATIONS.
7. ALL APPLIANCES TO BE ON DEDICATED CIRCUITS.
8. USE MIN 6" DUCT FOR HOOD.
9. CONFIRM FINAL MATERIALS FOR BACKSLASH AND COUNTERTOP WITH HOME OWNER PRIOR TO ORDERING

PROPOSED RENOVATION OF EXISTING TOWNHOME AT 225 N.MAIN STREET

RENOVATION ELECTRICAL PLAN
 INTERIOR WALL ELEVATIONS
 ELECTRICAL SCHEDULE

DATE : NOVEMBER 29, 2021
 PROJECT NO: JAL68-112921
 DRAWN BY : J.A.L
 REVISED PERMIT SET-R080523

A 4.0



2508 Greater Druid Hills Blvd
Hendersonville, NC
828.776.0995
grace@studiosimmons.net

KRAUS RENOVATION
225 NORTH MAIN STREET
HENDERSONVILLE, NC

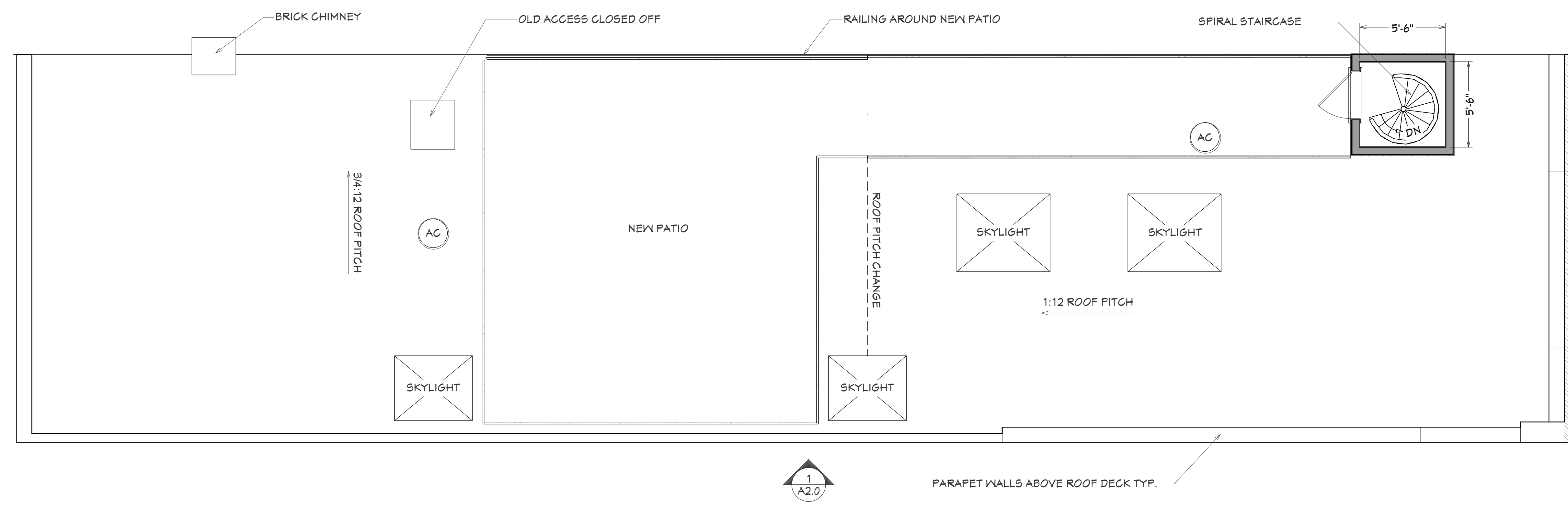
ROOF PLAN

DATE:
5/24/2023

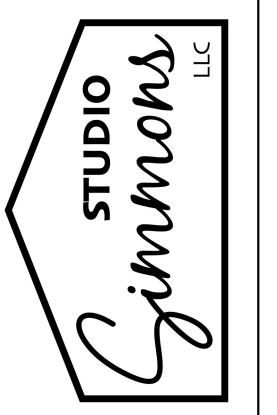
SCALE:
1/4"=1'-0"

SHEET:

A1.0



1
A1.0 ROOF PLAN SCALE: 1/4"=1'-0"



2508 Greater Druid Hills Blvd
Hendersonville, NC
828.776.0995
grace@studiosimmons.net

KRAUS RENOVATION
225 NORTH MAIN STREET
HENDERSONVILLE, NC

ELEVATION

DATE:

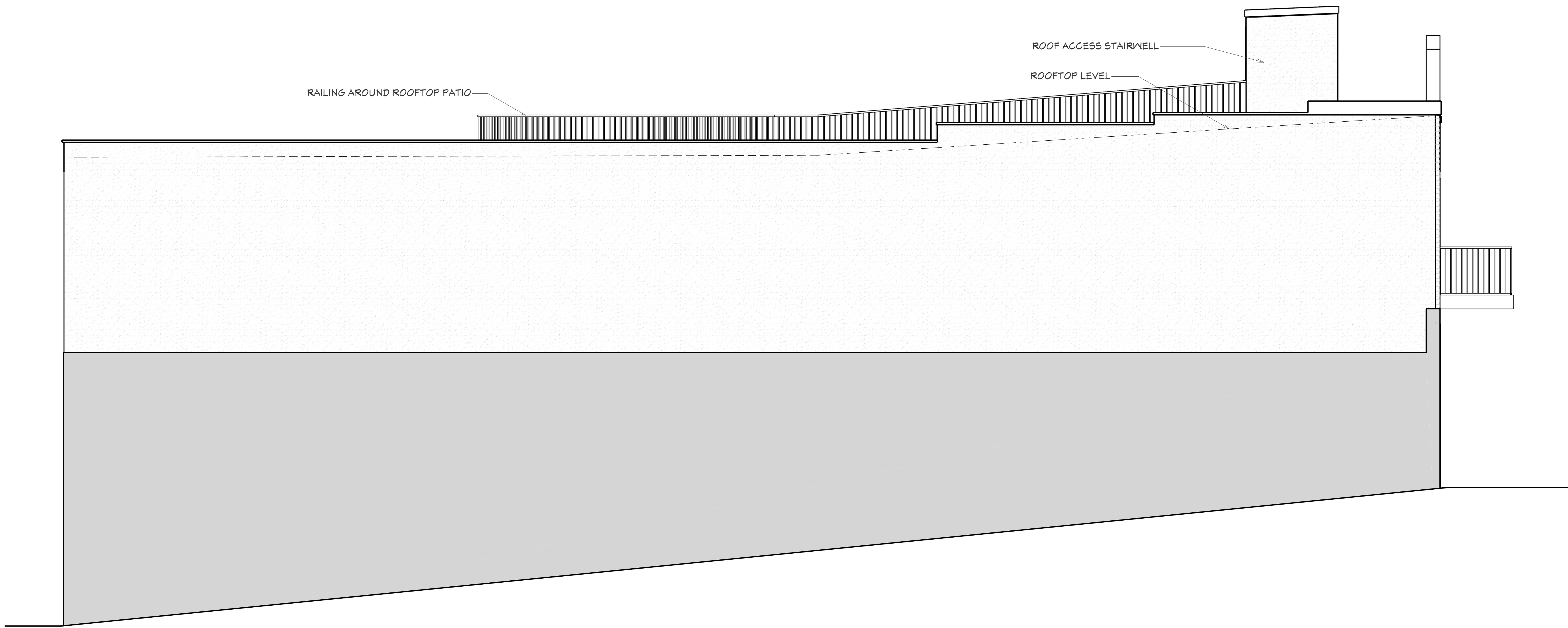
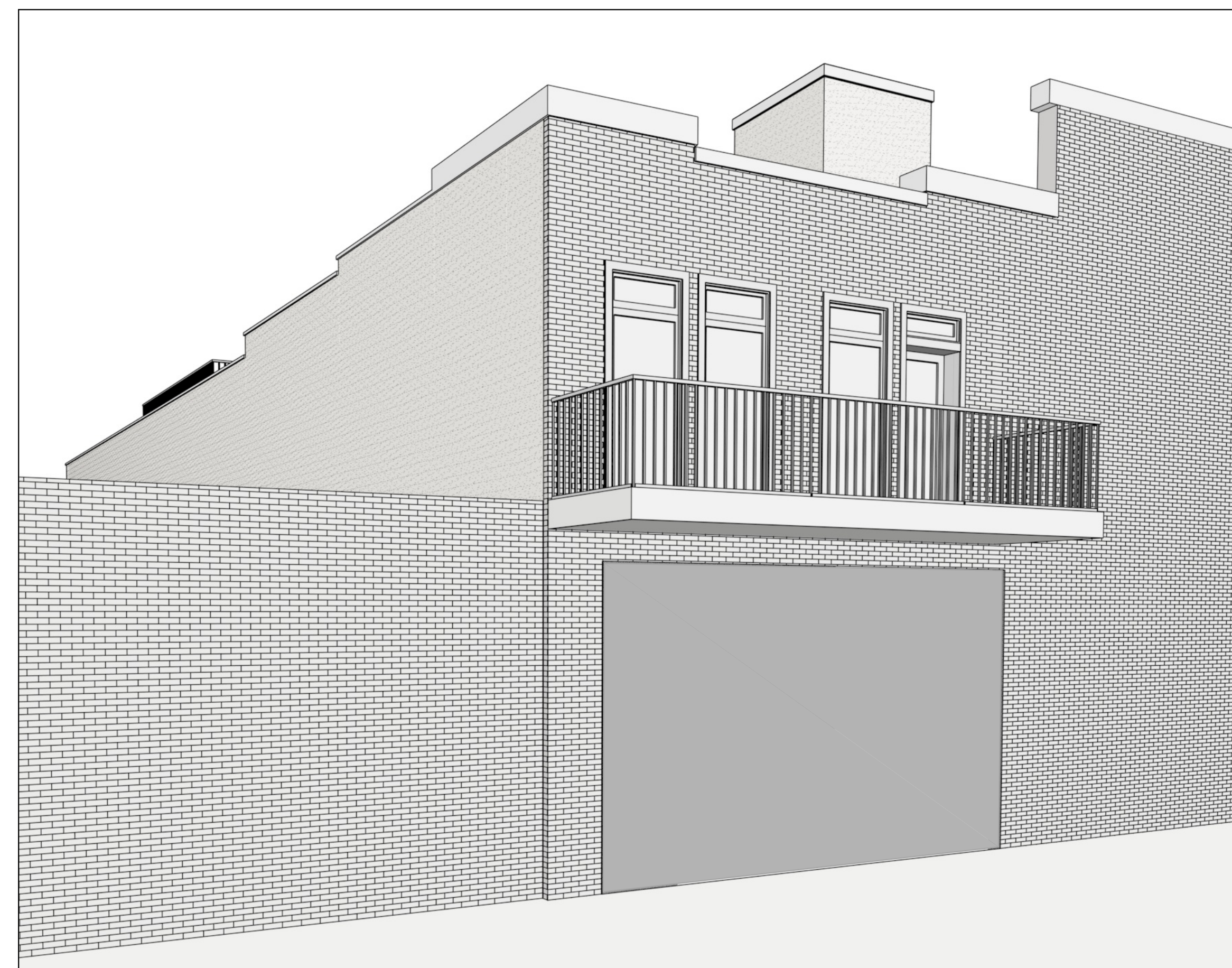
5/24/2023

SCALE:

1/4"=1'-0"

SHEET:

A2.0



1
A2.0

SOUTH ELEVATION

SCALE: 1/4"=1'-0"

BK 3877 PG 151 - 154 (4)

DOC# 974769

This Document eRecorded:

03/02/2022 01:15:28 PM

Fee: \$26.00

Henderson County, North Carolina

Tax: \$1,800.00

William Lee King, Register of Deeds

NORTH CAROLINA GENERAL WARRANTY DEED

Excise Tax:	1800.00
Parcel ID:	9568-77-8673
Mail/Box to:	Romeo, Harrelson & Coiner, P.A. 136 S. King Street, Ste B, Hendersonville, NC 28792
Prepared by:	Van Winkle, Buck, Wall, Starnes & Davis, P.A. 422 S. Main Street, Hendersonville, NC 28792
Brief description for the Index:	225 N. Main Street

THIS GENERAL WARRANTY DEED ("Deed") is made on the 2nd day of March, 2022, by and between:

GRANTOR	GRANTEE
Marvin K. Allen and wife, Sharon B. Allen 314 N Main Street Hendersonville, NC 28791	Hendersonville Holdings, LLC, A Delaware Limited Liability Company <i>19500 State Hwy 249 Ste. 350 Houston, TX 77070</i>

Enter in the appropriate block for each Grantor and Grantee their name, mailing address, and, if appropriate, state of organization and character of entity, e.g. North Carolina or other corporation, LLC, or partnership. Grantor and Grantee includes the above parties and their respective heirs, successors, and assigns, whether singular, plural, masculine, feminine or neuter, as required by context.

This instrument was prepared by Michael M. Thompson, a licensed North Carolina attorney. Delinquent taxes, if any, to be paid by the closing attorney to the county tax collector upon disbursement of closing proceeds.

FOR VALUABLE CONSIDERATION paid by Grantee, the receipt and legal sufficiency of which is acknowledged, Grantor by this Deed does hereby grant, bargain, sell and convey to Grantee, in fee simple, all that certain lot, parcel of land or condominium unit in the City of Hendersonville, Hendersonville Township, Henderson County, North Carolina and more particularly described as follows (the "Property"):

SEE EXHIBIT A ATTACHED HERETO FOR REFERENCE

All or a portion of the Property was acquired by Grantor by instrument recorded in Book 711 page 658, Henderson County Registry.

All or a portion of the Property includes or does not include the primary residence of a Grantor.

A map showing the Property is recorded in Plat Book _____ page _____.

TO HAVE AND TO HOLD the Property and all privileges and appurtenances thereto belonging to Grantee in fee simple. Grantor covenants with Grantee that Grantor is seized of the Property in fee simple, Grantor has the right to convey the Property in fee simple, title to the Property is marketable and free and clear of all encumbrances, and Grantor shall warrant and defend the title against the lawful claims of all persons whomsoever, other than the following exceptions:

Easements, covenants, conditions and restrictions of record; 2022 ad valorem taxes; and utilities physically located on the property.

IN WITNESS WHEREOF, Grantor has duly executed this North Carolina General Warranty Deed, if an entity by its duly authorized representative.

Marvin K. Allen
Name: Marvin K. Allen
Sharon B. Allen
Name: Sharon B. Allen

Entity Name
By: _____
Name:
Title:

STATE OF NORTH CAROLINA, COUNTY OF HENDERSON

I Edward L Harrelson, a Notary of the above state and county, certify that the following person(s) personally appeared before me on the 2nd day of March 2022 each acknowledging to me that he or she signed the foregoing document, in the capacity represented and identified therein (if any): Marvin K. Allen and wife, Sharon B. Allen.

Affix Notary Seal/Stamp

Edward L Harrelson
NOTARY PUBLIC
Polk County, NC

Edward L Harrelson
Notary Public (Official Signature)
My commission expires: 1-17-2025

**EXHIBIT A: PROPERTY of
HENDERSONVILLE HOLDINGS, LLC, a DELAWARE LIMITED
LIABILITY COMPANY**

BEGINNING at a stake in the west margin of Main Street, said stake being the northeast corner of the property known as the St. Johns Hotel property, and the southeast corner of the Peoples Bank property, the said pin standing North 7 deg. 58 min. 27 sec. West 150.14 feet from the Southeast corner of that property described in Deed Book 596 at Page 599, Henderson County Registry; and running from said BEGINNING point, leaving Main Street, South 81 deg. 58 min. 26 sec. West 130.72 feet to a railroad spike; thence a new line, North 8 deg. 10 min. 58 sec. West 22.90 feet to a railroad spike; thence North 81 deg. 58 min. 26 sec. East, partly with the center line of a common wall, to a point in the westerly margin of Main Street; thence with the westerly margin of Main Street, South 8 deg. 10 min. 58 sec. East 22.90 feet to the point and place of BEGINNING, and containing .06 acre, more or less, as shown upon "Map of Survey for Main St., Inc.," prepared by Laughter, Venezia and Associates, P.A., dated April 1983, and identified as Job No. 83-108.

There is also conveyed herewith all of the rights and uses described in that deed from the Peoples National Bank to M. C. Toms and C. F. Toms, dated March 21, 1912, recorded in Deed Book 75 at Page 194, Henderson County Registry. The above described property is the easterly portion of the property described in Deed Book 75 at Page 194, as well as Deed Book 391 at Page 393, and Deed Book 383 at Page 197, Henderson County Registry.

This conveyance is made and accepted subject to any easements of record.

There is also excepted from this conveyance, the right of egress from and ingress to the tract of land situated immediately to the west of this property, which is retained by Marion F. Toms, Jr., and Elizabeth Birch Toms, their heirs, successors and assigns, and which is presently used for parking purposes, the said easement to lead across the existing driveway in a southerly direction out to the city alleyway and then to Second Avenue West, the said right of way to be non-exclusive and to be used by Marion F. Toms, Jr., and Elizabeth Birch Toms, their heirs, successors and assigns, their successors in interest, the Grantees and any other party entitled to use the same. The tract which the easement is to serve is described by metes and bounds as follows:

BEGINNING at an iron pin, southwest corner of that tract described in Deed Book 586 at Page 413, Henderson County Registry; and running thence North 81 deg. 58 min. 26 sec. East 39.28 feet to a railroad spike; thence a new line, running South 8 deg. 10 min. 58 sec. East 22.90 feet to a railroad spike; thence running

South 81 deg. 58 min 26 sec. West 39.36 feet to an iron pin, southwest corner of the original tract described in Deed Book 75 at Page 194 Henderson County Registry; and running thence North 8 deg. 0 min. 8 sec. West 22.90 feet to the point and place of BEGINNING, and containing .02 acre, more or less, and being the westerly portion of the tract described in Deed Book 75 at Page 194, Henderson County Registry.

AND BEING the same property which was conveyed by deed from James H. Cunningham and wife, Suzanne J. Cunningham to Marvin Kenneth Allen and wife, Sharon B. Allen, dated December 30, 1987, and of record in Deed Book 711 at Page 658 of the Henderson County, North Carolina Register of Deeds Office.

Said property is further identified by address:

225 N. Main Street
Hendersonville, NC 28792
Tax Parcel: 116589



CITY OF HENDERSONVILLE AMENDED AGENDA ITEM SUMMARY PLANNING DIVISION



SUBMITTER: Alexandra Hunt, Planner I **MEETING DATE:** November 15, 2023

AGENDA SECTION: New Business **DEPARTMENT:** Community Development

TITLE OF ITEM: 1704 Clairmont Dr. – Second-story addition (H23-083-COA)
– *Alexandra Hunt / Planner I*

SUGGESTED MOTION(S):

1. For Recommending Approval:

I move the Commission to find as fact that the proposed application for a Certificate of Appropriateness, as identified in file # H23-083-COA and located within the Druid Hills Historic District, if added according to the information reviewed at this hearing and, with any representations made by the applicant on record of this hearing, is **not incongruous** with the character of the Hendersonville Historic Preservation Commission Design Standards (Residential) for the following reasons:

1. The new addition creates the least possible loss of historic fabric and does not destroy, damage, or obscure character-defining features of the historic building. [Sec. 4.2.1]
2. The new addition is located on the rear of the building. [Sec. 4.2.5]
3. The size and scale of the addition does not diminish or visually overpower the building. [Sec. 4.2.6]
4. The design of the addition is compatible with the historic building in mass, materials, and relationship of solids to voids in the exterior walls and is discernible from the original. [Sec. 4.2.7]
5. The new addition does not detract from the overall historic character of the principal building and the site [Sec. 4.2.8]

[DISCUSS & VOTE]

1. For Recommending Denial:

I move the Commission to find as fact that the proposed application for a Certificate of Appropriateness, as identified in file # H23-083-COA and located within the Druid Hills Historic District, if added according to the information reviewed at this hearing and, with any representations made by the applicant on record of this hearing, is **incongruous** with the character of the Hendersonville Historic Preservation Commission Design Standards (Residential) for the following reasons:

1. The size and scale of the addition diminishes or visually overpowers the building. [Sec. 4.2.6]
2. The design of the addition is not compatible with the historic building in mass, materials, and relationship of solids to voids in the exterior walls and is not discernible from the original. [Sec. 4.2.7]
3. The new addition detracts from the overall historic character of the principal building and the site. [Sec. 4.2.8]

[DISCUSS & VOTE]

SUMMARY:

The City is in receipt of a Certificate of Appropriateness (COA) application from Laura Lynn Hutton, Architectural Designer (Applicant) Daniel and Amy Yoder (Property Owners) for the addition of a second floor room to be built above an existing rear room at the subject property located at 1704 Clairmont Dr.

The subject property is a contributing, one-story bungalow with a hip roof and a basement level at the rear located in the Druid Hills Local Historic District.

The Applicant made the following statement related to their request:

“Proposed addition of a new, modest second floor master suite to be built above an existing room at the back of the home. The addition has been designed to reduce the height of the new ridge. Shed dormers to break the mass of the new addition on the front and side elevations. New dormer windows are scaled from the existing front windows, but are sized for a long bungalow shed dormer. The window/dormer trim and casing is designed to differentiate the new space from the original house and will be painted white.” (See Exhibit B)

Additionally, the Applicant has provide site images and a site plan for the proposed addition along with exterior elevations to supplement this application. The site images and site plan have been attached to this staff report as Exhibit C and Exhibit D respectively.

This COA application is considered a Major Work according to the standards of the Residential Historic District Design Standards.

PROJECT/PETITIONER NUMBER:	H23-083-COA
PETITIONER NAME:	Laura Lynn Hutton (Applicant) Daniel & Amy Yoder (Property Owners)
EXHIBITS:	A. Staff Report B. Henderson County Property Records C. COA Application D. Site Images E. Site Plan & Exterior Elevations

1704 Clairmont Dr. – Second-Story Addition (H23-083-COA)

CITY OF HENDERSONVILLE - COMMUNITY DEVELOPMENT - HISTORIC PRESERVATION
COA STAFF REPORT

Staff Report Contents

PROJECT SUMMARY 2

SITE VICINITY MAP 2

CITY OF HENDERSONVILLE – DRUID HILLS HISTORIC OVERLAY MAP 3

HISTORY OF SUBJECT PROPERTY 4

COA HISTORY 4

- Exhibit A – Henderson County Property Records 6
- Exhibit B – COA Application 6
- Exhibit C – Site Images 6
- Exhibit D – Site Plan & Elevations 6



PROJECT SUMMARY

Applicant: Laura Lynn Hutton,
Architectural Designer

Property Owner: Daniel and Amy Yoder
(Exhibit A)

Property Address: 1704 Clairmont Dr.

Project Acreage: 0.5

Parcel Identification Number(s):

9569-43-6952

Current Parcel Zoning: R-10 Medium
Density Residential

Historic District: Druid Hills Historic
District

Project Type: Major Work (Rear second
story addition)



SITE VICINITY MAP

Project Summary:

The City is in receipt of a Certificate of Appropriateness (COA) application from Laura Lynn Hutton, Architectural Designer (Applicant) Daniel and Amy Yoder (Property Owners) for the addition of a second floor room to be built above an existing rear room at the subject property located at 1704 Clairmont Dr.

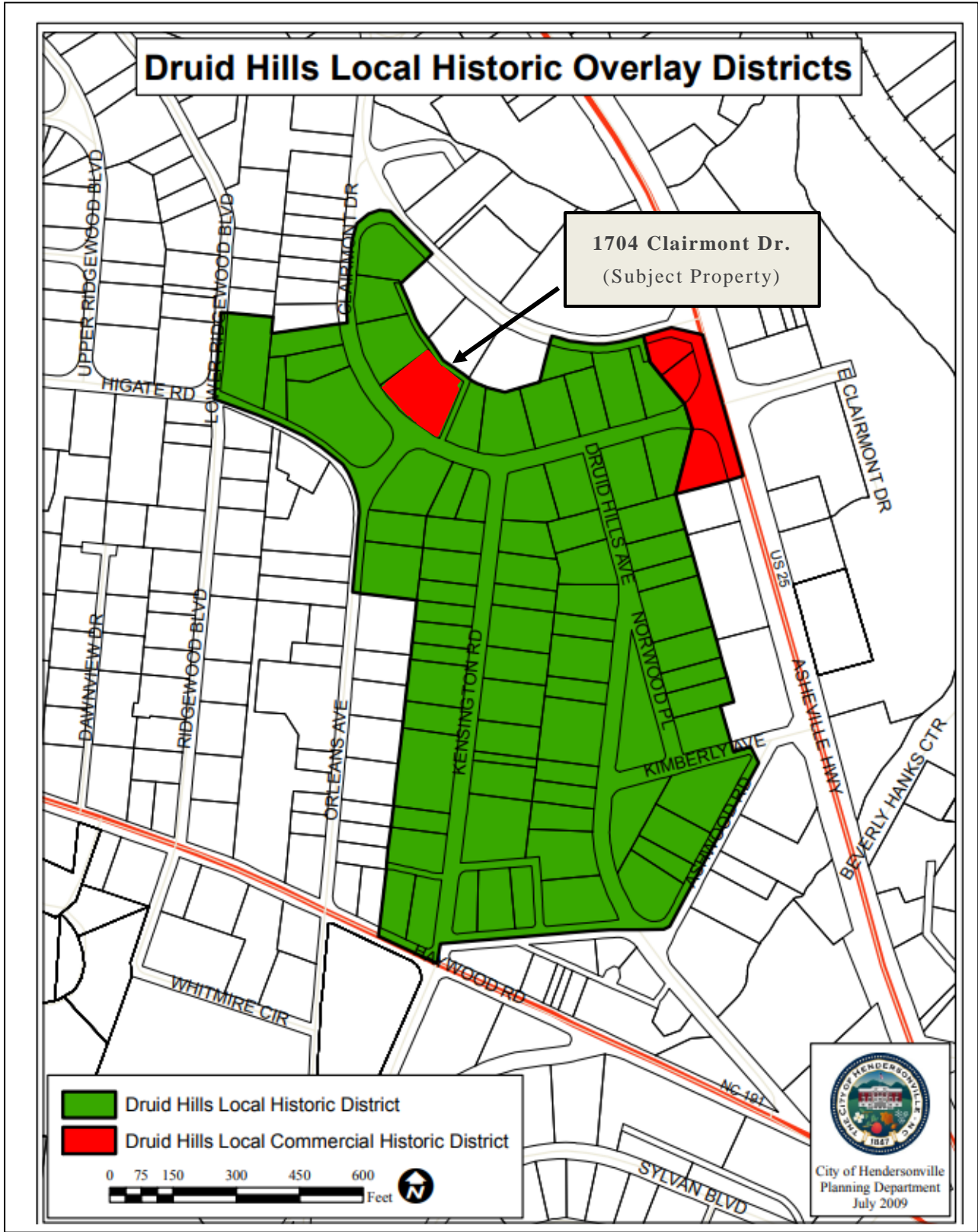
The subject property is a contributing, one-story bungalow with a hip roof and a basement level at the rear located in the Druid Hills Local Historic District.

The Applicant made the following statement related to their request:

“Proposed addition of a new, modest second floor master suite to be built above an existing room at the back of the home. The addition has been designed to reduce the height of the new ridge. Shed dormers to break the mass of the new addition on the front and side elevations. New dormer windows are scaled from the existing front windows, but are sized for a long bungalow shed dormer. The window/dormer trim and casing is designed to differentiate the new space from the original house and will be painted white.” (See Exhibit B)

Additionally, the Applicant has provide site images and a site plan for the proposed addition along with exterior elevations to supplement this application. The site images and site plan have been attached to this staff report as Exhibit C and Exhibit D respectively.

This COA application is considered a Major Work according to the standards of the Residential Historic District Design Standards.



CITY OF HENDERSONVILLE - DRUID HILLS HISTORIC OVERLAY MAP

HISTORY OF SUBJECT PROPERTY



1704 Clairmont Dr. "Ella Ross House" Contributing, by 1926

One-story bungalow with a hip roof and a basement level at the rear. Wing at the rear projects to the northeast. Engaged wraparound porch has a projecting front gable over the entry area. Porch details include squire posts on brick piers and a simple balustrade. Wood siding on the upper level, brick on the basement level walls. Front gable end at the porch has paneled v-boards, possibly a replacement of the original. Windows are six-over-one and the front door is six-light-over-panel. A garage is located below the porch at the southeast corner. Large lot, drops away to the rear, mature trees, perennial beds. Ella Ross, widow of Henry C. Ross, lived in this house from 1937 through `944. At that time, Miss Gladys Ross also lived in the house. Gladys Ross continued to live in the house through at least 1949. Good condition.

COA HISTORY

- November 14, 2007 – Staff approved COA for the removal of a spruce tree.
- April 1, 2015 – Staff approved COA for the removal of a maple tree.

DESIGN STANDARDS CRITERIA

The proposed addition is governed by the *Hendersonville Historic Preservation Commission Residential Design Standards*, which is applied to the City's Residential Historic Districts and Landmarks. The following sections are applicable to the proposed Certificate of Appropriateness application:

Section 4.2 Additions to Historic Buildings

Sec. 4.2.1 - Construct new additions so that there is the least possible loss of historic fabric and so that the character-defining features of the historic building are not destroyed, damaged, or obscured.

Sec. 4.2.2 - Design new additions so that the overall character of the site, site topography, character-defining site features, and significant district vistas and views are retained.

Sec. 4.2.3 - Survey in advance and limit any disturbance to the site's terrain during construction to minimize the possibility of destroying unknown archaeological resources.

Sec. 4.2.4 - Protect large trees and other significant site features from immediate damage during construction and from delayed damage due to construction activities, such as loss of root area or compaction of the soil by equipment.

Sec. 4.2.5 - Locate a new addition on an inconspicuous elevation of the historic building, usually the rear one.

Sec. 4.2.6 - Limit the size and the scale of an addition in relationship to the historic building so that it does not diminish or visually overpower the building.

Sec. 4.2.7 - Design an addition to be compatible with the historic building in mass, materials, and relationship of solids to voids in the exterior walls, yet make the addition discernible from the original.

Sec. 4.2.8 - It is not appropriate to construct an addition if it will detract from the overall historic character of the principal building and the site, or if it will require the removal of a significant building element or site feature, such as a mature tree.

Sec. 4.2.9 - It is not appropriate to construct an addition that significantly changes the proportion of built mass to open space on the individual site.

EXHIBITS

- Exhibit A – Henderson County Property Records
- Exhibit B – COA Application
- Exhibit C – Site Images
- Exhibit D – Site Plan & Elevations

BK 3519 PG 532 - 534 (3)

DOC# 928263

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Fee: \$26.00

Henderson County, North Carolina

William Lee King, Register of Deeds

NORTH CAROLINA GENERAL WARRANTY DEED

Excise Tax \$658.00

Tax Lot No. 102546 Parcel Identifier No. 9569436952

Mail after recording to Bridget Swing Law Firm Attorney's Initials MMT

This instrument was prepared by Van Winkle, Buck, Wall, Starnes, & Davis, P.A. (Michael M. Thompson)

Brief description for the Index: Lots 185,186 and 187 Druid Hills

THIS DEED made this 1st day of July, 2020, by and between:

GRANTOR

Davis Andrew Jones, unmarried

Whose mailing address is:

718 Ninth Ave West,
Hendersonville, NC 28791

GRANTEE

Daniel Yoder

*And wife,
Amy Yoder*

Whose mailing address is:

1704 Clairmont Drive
Hendersonville, NC 28791

Enter in appropriate block for each Grantor and Grantee: name, mailing address, and, if appropriate, character of entity, e. g. corporation or partnership.

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that Grantor, for a valuable consideration paid by Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto Grantee in fee simple, all that certain lot or parcel of land situated in the Hendersonville Township of Henderson County, North Carolina, and more particularly described as follows:

**SEE EXHIBIT A ATTACHED HERETO AND
INCORPORATED HEREIN BY REFERENCE**

This instrument prepared by Michael M. Thompson, a licensed North Carolina attorney. Delinquent taxes, if any, to be paid by the closing attorney, ** to the county tax collector upon disbursement of closing proceeds.**

Submitted electronically by "Law Office of Bridget D. Swing PLLC"
in compliance with North Carolina statutes governing recordable documents
and the terms of the submitter agreement with the Henderson County Register of Deeds.

The property hereinabove described was acquired by Grantor by instrument recorded in Deed Book 3164 at Page 172, Henderson County Registry.

All or a portion of the property herein conveyed does include the primary residence of a Grantor.

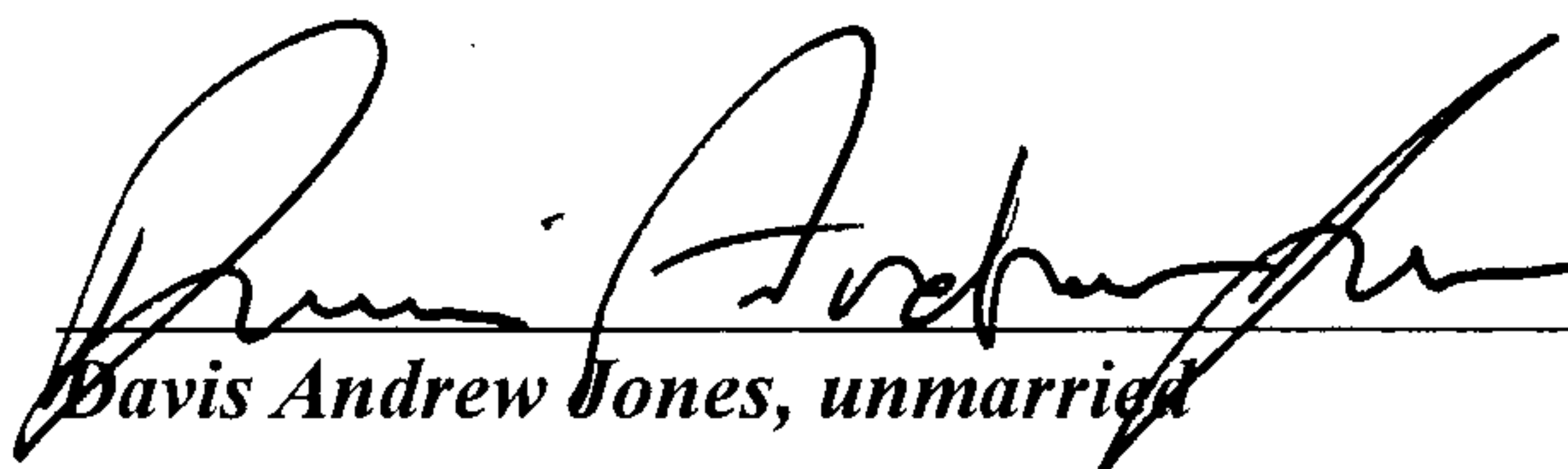
The property is shown on plat recorded in Plat Cabinet B Slide 053A, Henderson County Registry.

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to Grantee in fee simple.

And Grantor covenants with Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and Grantor will warrant and defend the title against the lawful claims of all persons whomsoever except for the exceptions hereinafter stated.

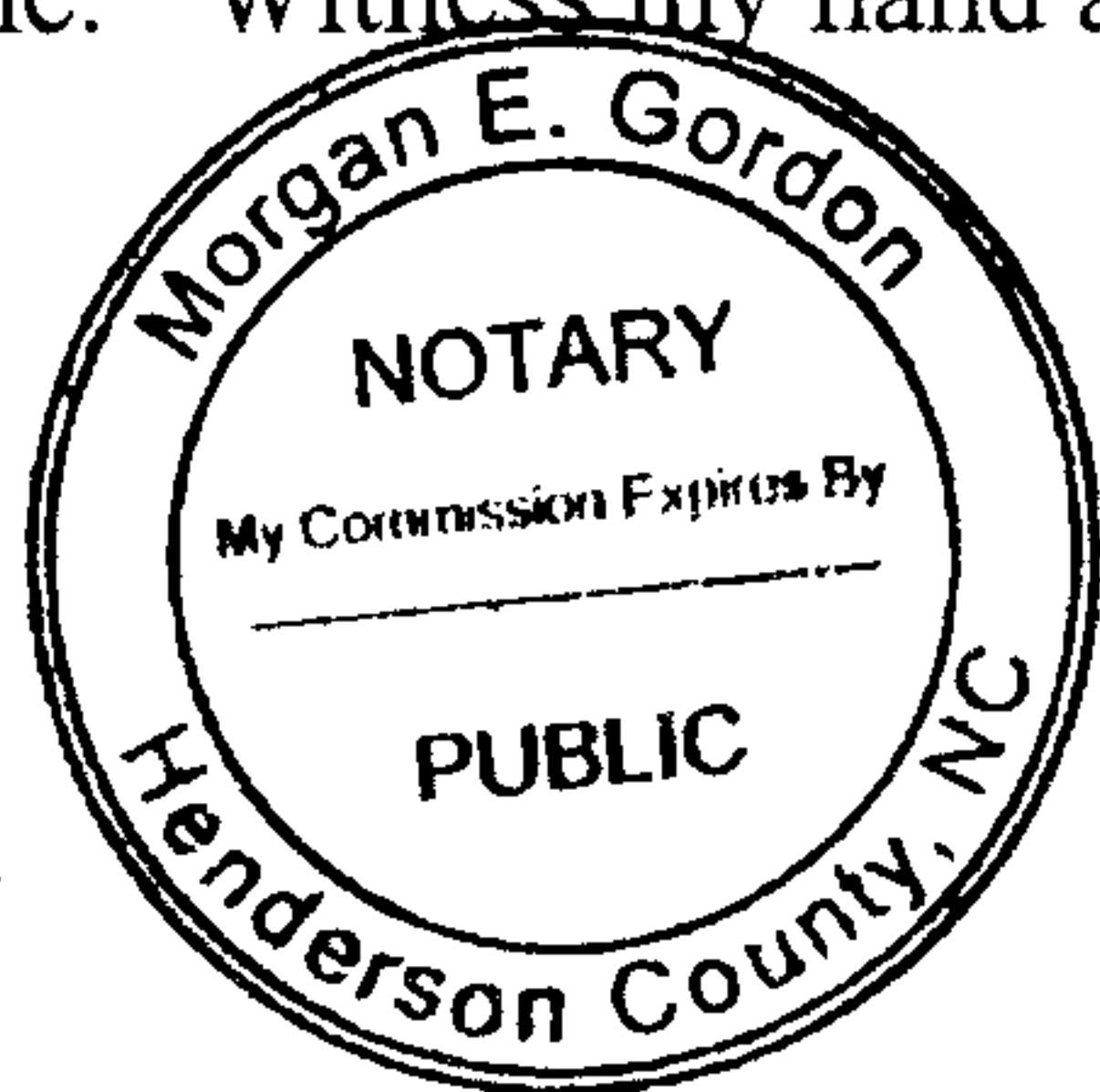
Title to the property hereinabove described is subject to the following exceptions:
Easements, covenants, conditions and restrictions of record; 2020 ad valorem taxes; and utilities physically located on the property

IN WITNESS WHEREOF, the Grantor has duly executed the foregoing as of the day and year first above written.

 (Seal)
Davis Andrew Jones, unmarried

**STATE OF NORTH CAROLINA
COUNTY OF HENDERSON**

I, Morgan E. Gordon, a Notary Public of the County and State aforesaid, certify that *Davis Andrew Jones, unmarried*, personally appeared before me this day and acknowledged the execution of the foregoing instrument for the purposes therein expressed. Sworn to and subscribed to before me. Witness my hand and official stamp or seal, this 1st day of July, 2020.



Morgan E. Gordon
Notary Public
My Commission Expires: 10-19-2024

EXHIBIT A

TRACT ONE:

BEING Lots 185 and 186 of the Druid Hills Subdivision, being more particularly described as follows:

BEGINNING at a stake in the northern margin of Clairmont Drive, said stake standing North 62 degrees West 70 feet from the center line of a 14 foot party drive which runs in a northerly direction from said margin along the eastern margin of said Lot 187 and the western margin of Lot 188; and runs thence with the northern margin of Clairmont Drive; North 51 degrees 52 minutes West 126 feet to a stake, the northwestern corner of Lot 184; thence with the southern line of Lot 184, North 53 degrees 20 minutes East 155.6 feet to a stake; thence along the southeastern margin of a 14 foot service drive as follows: South 45 degrees 43 minutes East 35.5 feet to a stake; thence South 54 degrees 13 minutes East 35.1 feet to a stake, the northwestern corner or the most northerly corner of Lot 187; thence along the northwestern line of Lot 187, South 33 degrees 04 minutes West 159.2 feet to the BEGINNING. The foregoing property is subject to a 14 foot service alley along the rear line.

TRACT TWO:

BEING all of Lot 187 of the Druid Hills Subdivision as shown on plat thereof recorded in Plat Book 1, at Page 105, of the records of plats for Henderson County, North Carolina, and being more particularly described as follows:

BEGINNING at a stake in the northern margin of Clairmont Drive, said stake standing in the southwestern corner of Lot 188 and the southeastern corner of Lot 187 of said Subdivision; and running thence with the northern margin of Clairmont Drive, North 62 degrees West 63 feet to a stake, the southernmost corner of Lot 186; thence along the southeastern margin of said lot, North 33 degrees 04 minutes East 159.2 feet to a stake in the northern margin of a 14 foot party drive; thence South 54 degrees 13 minutes East 35.6 feet to the center of a concrete monument, said monument being the northernmost corner of Lot 188; thence along the northwestern margin of said lot and the center line of said 14 foot party drive, South 22 degrees 56 minutes West 154 feet to the point of BEGINNING. EXCEPTING AND RESERVING a strip of land along the southeastern margin of Lot 187, which is 7 feet wide and 154 feet long, and a strip of land along the northern margin of said lot, which is 14 feet wide and 35.6 feet long, for the purpose of ingress and egress to and from this and other lots.

BEING the identical property described in deed from Beulah Goodell (widow) to Jan Clausing and wife, Dorothy Clausing, dated June 8, 1964 and recorded in Deed Book 42, at Page 263, Henderson County Registry.

ALSO BEING the same property described in deed recorded in Deed Book 3164 at Page 172, Henderson County Registry.



**APPLICATION FOR A
CERTIFICATE OF APPROPRIATENESS PERMIT**
100 N. King Street ~ Hendersonville, NC ~ 28792
Phone (828)697-3010 ~ Fax (828) 697-6185
www.cityofhendersonville.org

HENDERSONVILLE HISTORIC PRESERVATION COMMISSION

The following are required to constitute a complete application:

~ This form including the property owner's signature.

~ Attachments such as sketches, photos, site plan, etc., necessary to clearly explain the project.

Date

Local District/Landmark

Address of Property

Property Owner: Name

Address

Day Phone

Contact Name (if other than owner)

Address

Phone

Details of proposed work: (attach additional papers if needed).

Proposed addition of new, modest second floor master suite to be built above existing room at the back of the home. The addition has been designed to reduce the height of the new ridge. Shed dormers break the mass of the new addition on the front and side elevations. New dormer windows are scaled from the existing front windows, but are sized for a long bungalow shed dormer. The window/dormer trim and casing is designed to differentiate the new space from the original house and will be painted white.

- Attachments:** Photographs Sketch Site Plan (showing existing features and proposed) Commercial samples Commercial brochures

The burden of proof is on the applicant to prove the proposed work is in keeping with the historical character of the historic district. Please list specific reference(s) in the **Design Guidelines** that support your application.

Additions & New Construction: 4.1; 4.5; 4.6; 4.7

I, the undersigned, certify that all information in this application and in any attachments thereto is accurate to the best of my knowledge. Furthermore, I understand that should a certificate of appropriateness be issued, such certificate will be valid for a period of six months from the date of issuance. Failure to procure a building permit within that period will be considered as failure to comply with the certificate, and the certificate will become invalid. If a building permit is not required, the authorized work must be completed within six months. Certificates can be extended for six months by requesting an extension in writing prior to their expiration from the Commission Coordinator.

Owner's Signature _____

Owner's Signature _____

YODER RESIDENCE *cc* HPC SUBMISSION

1704 CLAIRMONT DR.

Item A.



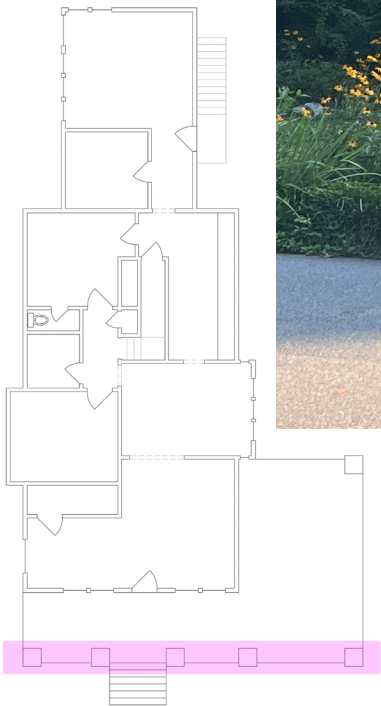
VIEW OF RESIDENCE AT CURB



YODER RESIDENCE *cc* HPC SUBMISSION

1704 CLAIRMONT DR.

Item A.

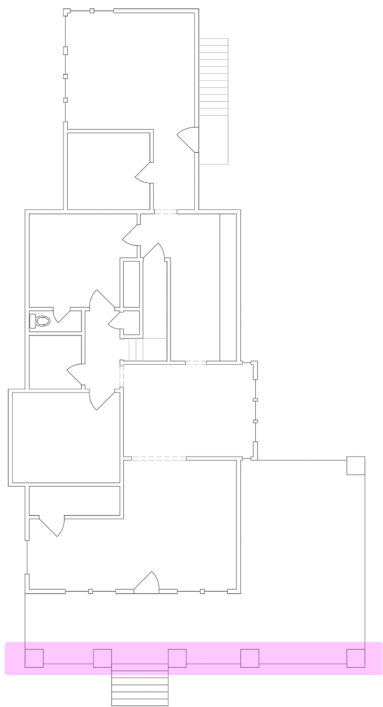


VIEW OF RESIDENCE FROM ACROSS CLAIRMONT DR.

YODER RESIDENCE *cc* HPC SUBMISSION

1704 CLAIRMONT DR.

Item A.

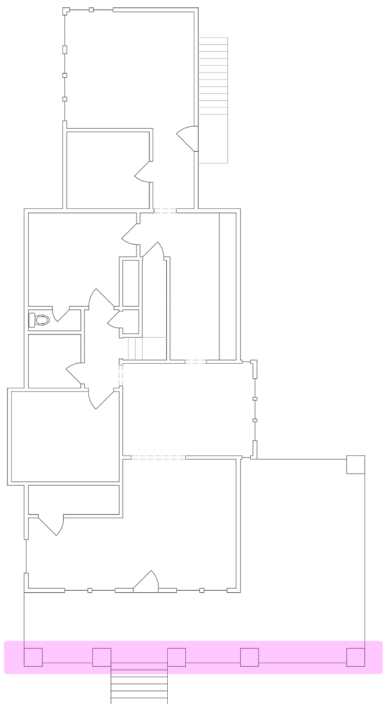


VIEW OF RESIDENCE : APPROACH FROM ORLEANS AVE

YODER RESIDENCE *cc* HPC SUBMISSION

1704 CLAIRMONT DR.

Item A.

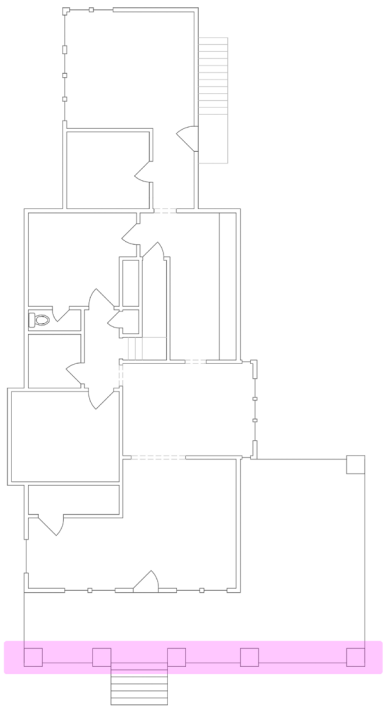


VIEW OF RESIDENCE : APPROACH FROM ORLEANS AVE

YODER RESIDENCE *cc* HPC SUBMISSION

1704 CLAIRMONT DR.

Item A.

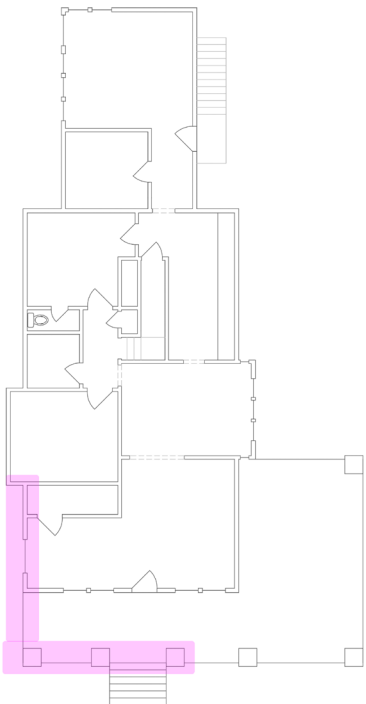


VIEW OF RESIDENCE : APPROACH TO FRONT PORCH

YODER RESIDENCE *cc* HPC SUBMISSION

1704 CLAIRMONT DR.

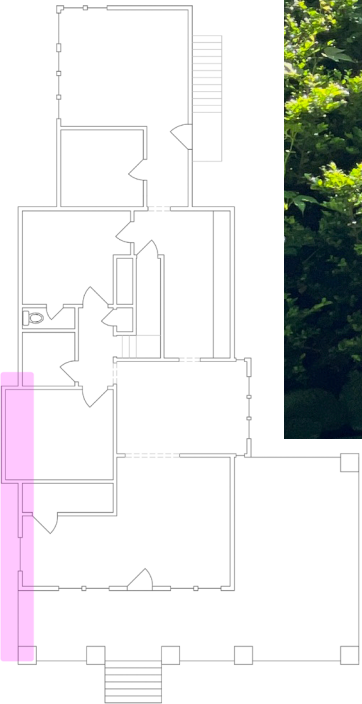
Item A.



YODER RESIDENCE *cc* HPC SUBMISSION

1704 CLAIRMONT DR.

Item A.



YODER RESIDENCE *cc* HPC SUBMISSION

1704 CLAIRMONT DR.

Item A.



YODER RESIDENCE *cc* HPC SUBMISSION

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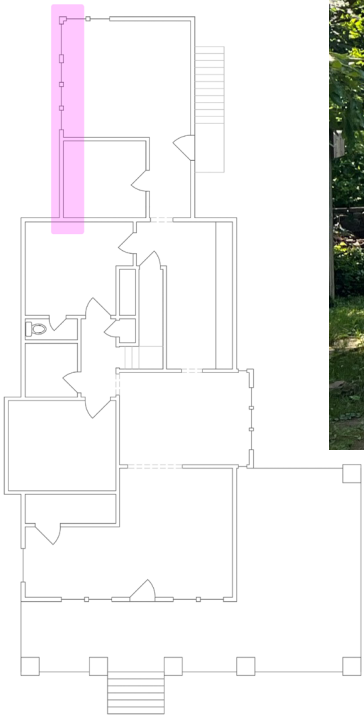
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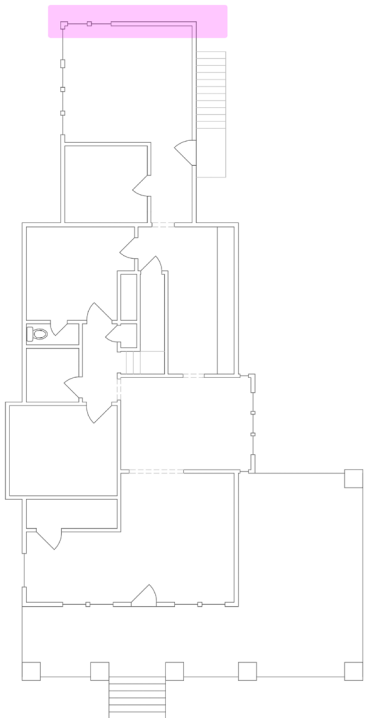
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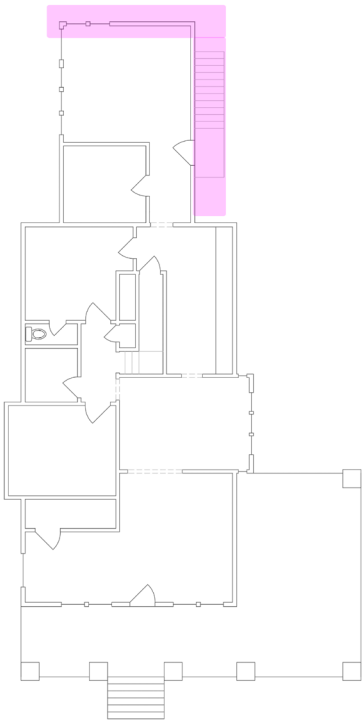
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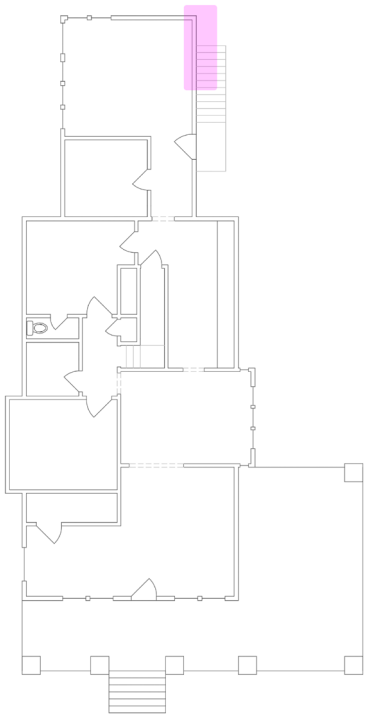
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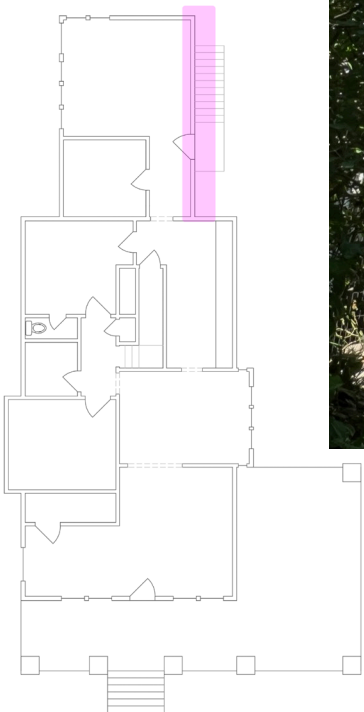
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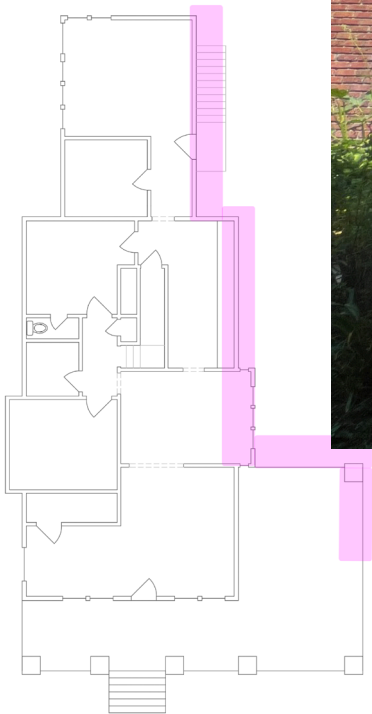
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1704 CLAIRMONT DR.

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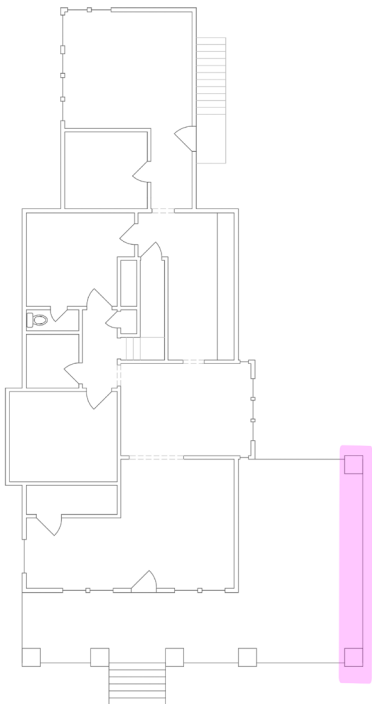
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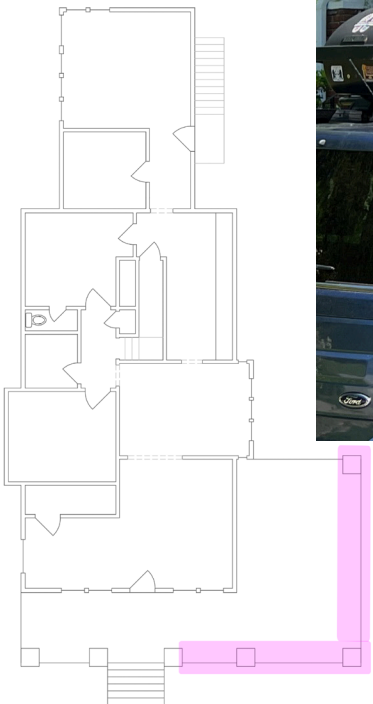
Item A.



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1704 CLAIRMONT DR.

Item A.



YODER RESIDENCE

1704 Clairmont Drive
Hendersonville, NC 28791

NOT FOR CONSTRUCTION
Historic Commission Submission
9.22.23

- A099 Site Plan
- A100 Existing Plan/Demo Plan
- A101 First Floor Plan
- A110 Roof & Electrical Plan
- A300 Exterior Elevations
- A301 Exterior Elevations

CLIENT

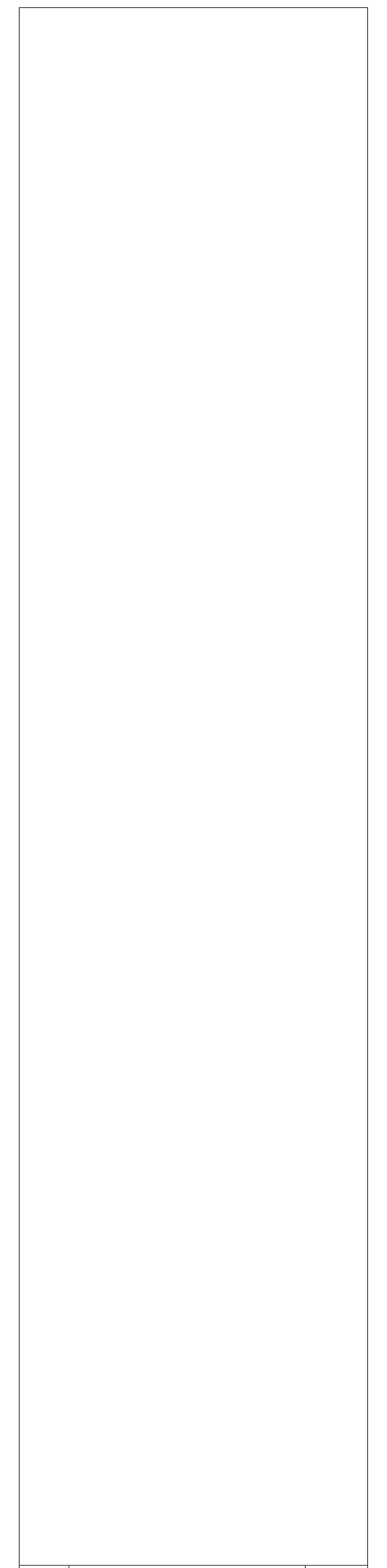
Daniel & Amy Yoder
1704 Clairmont Drive
Hendersonville, NC 28791

ARCHITECTURAL DESIGNER

Laura Lynn Hutton
100 McDaniel Greene
Greenville, SC 29601
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lauralynn@huttoncodesign.com

CONTRACTOR

MTAC
Steve Bennett
1836 Hendersonville Hwy
Hendersonville, NC 28791
828.243.5357



No.	Revision/Issue	Date

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 843.324.9938 - lauralynn@huttoncodesign.com

Project Name and Address
Yoder Residence
 1704 Clairmont Drive
 Hendersonville, NC 28791

<small>Project</small>	<small>Sheet</small>
<small>Date</small>	
<small>Scale</small>	



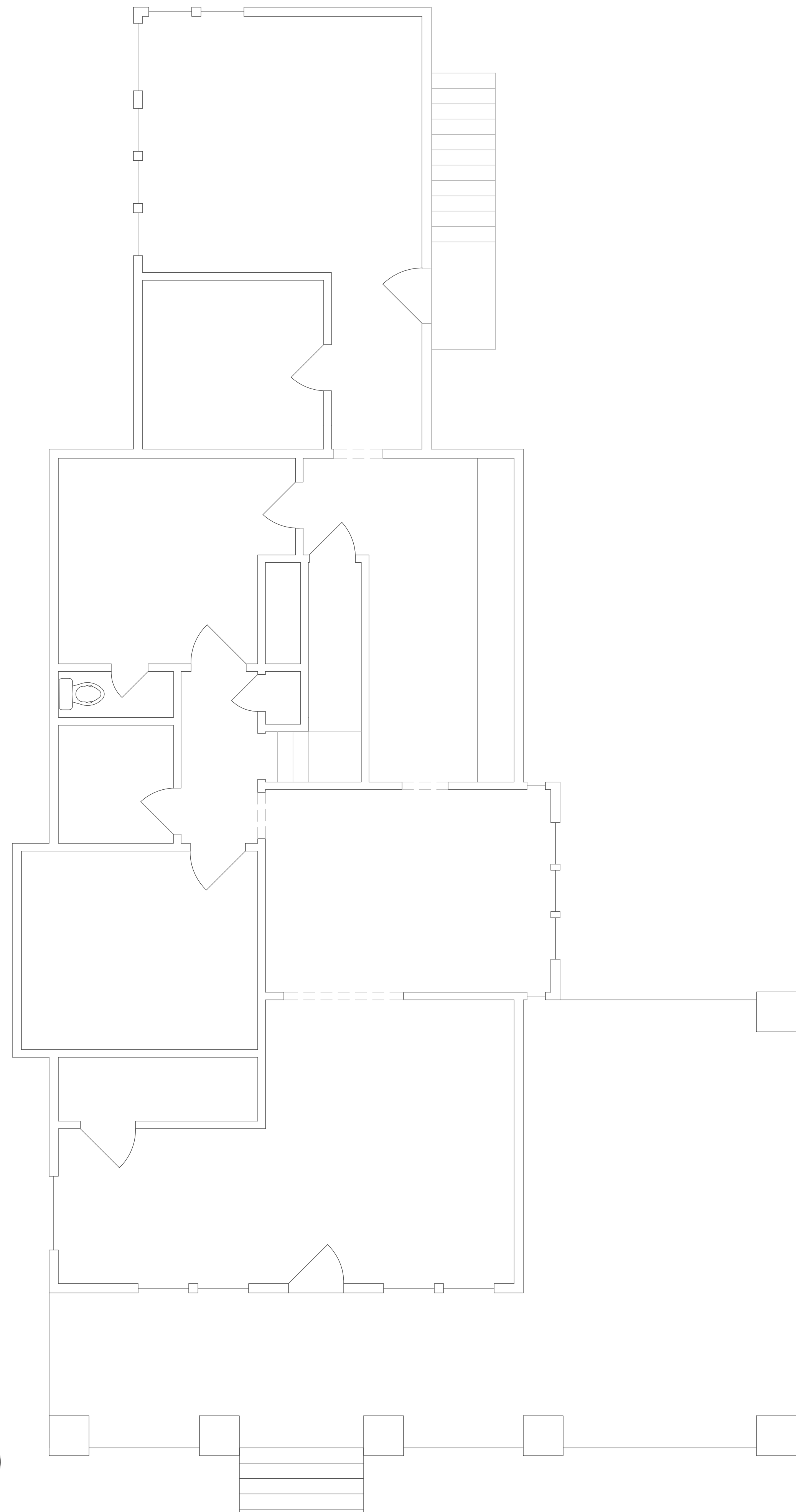
No.	Revision/Issue	Date

Firm Name and Address
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 100 M. Daniel Greene
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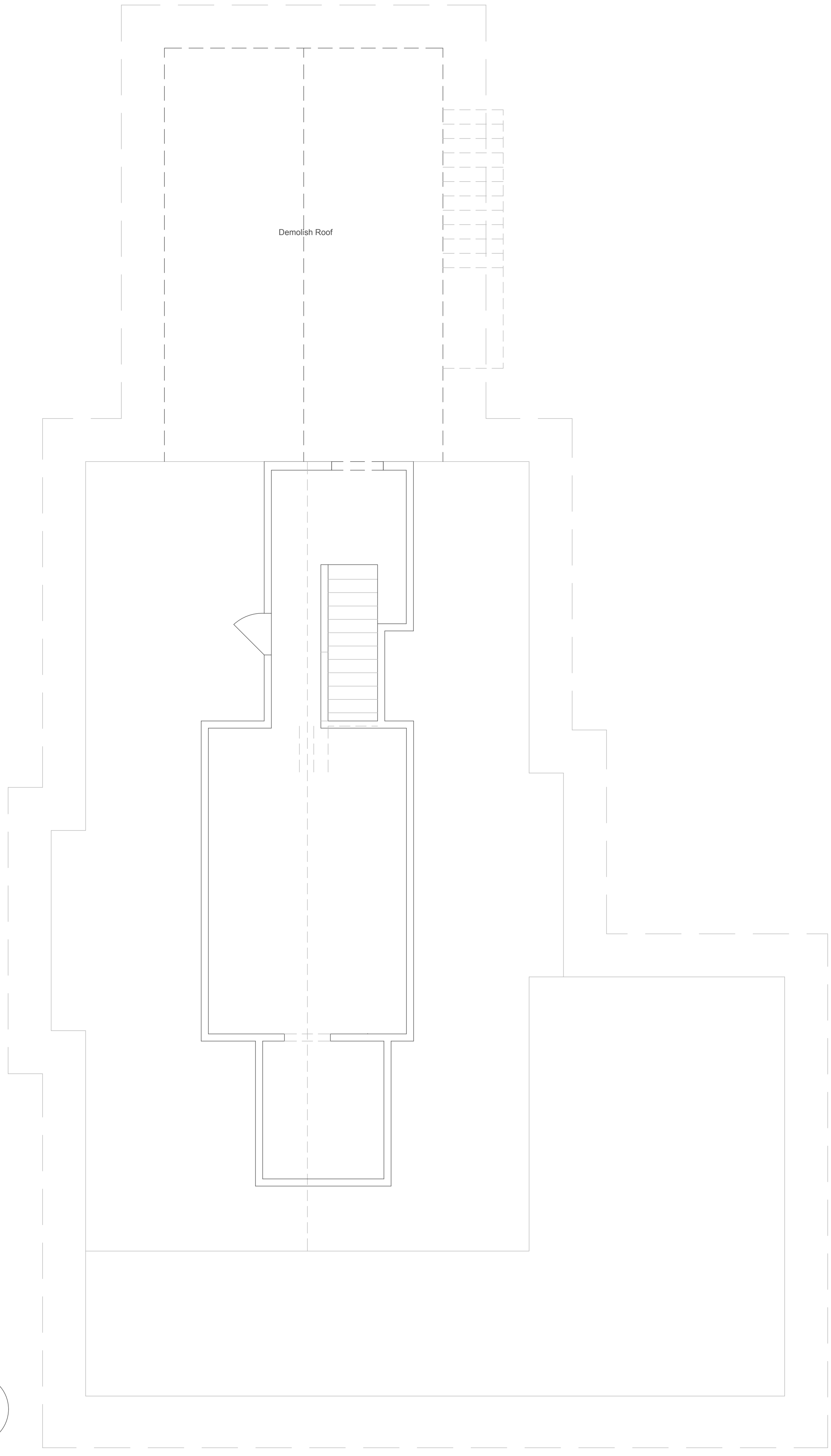
Project	Yoder Residence	Sheet	
Date	9.22.23		
Scale		A099	Site Plan





1 First Floor Existing & Demo Plan

Scale : 1/4" = 1'-0"



2 Second Floor Existing & Demo Plan

Scale : 1/4" = 1'-0"

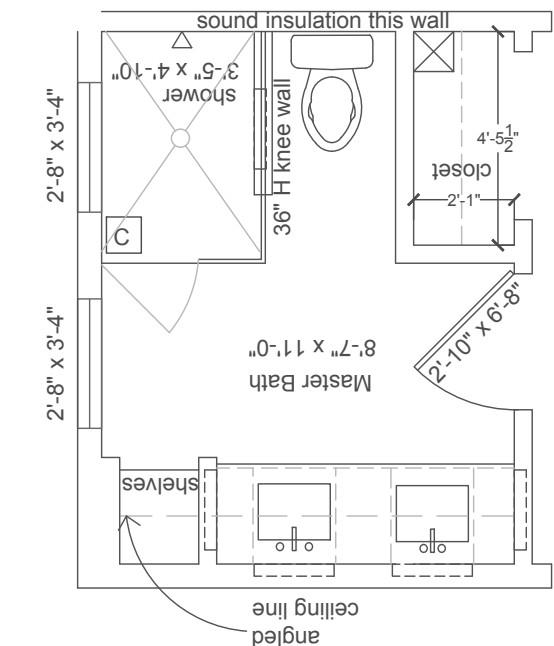
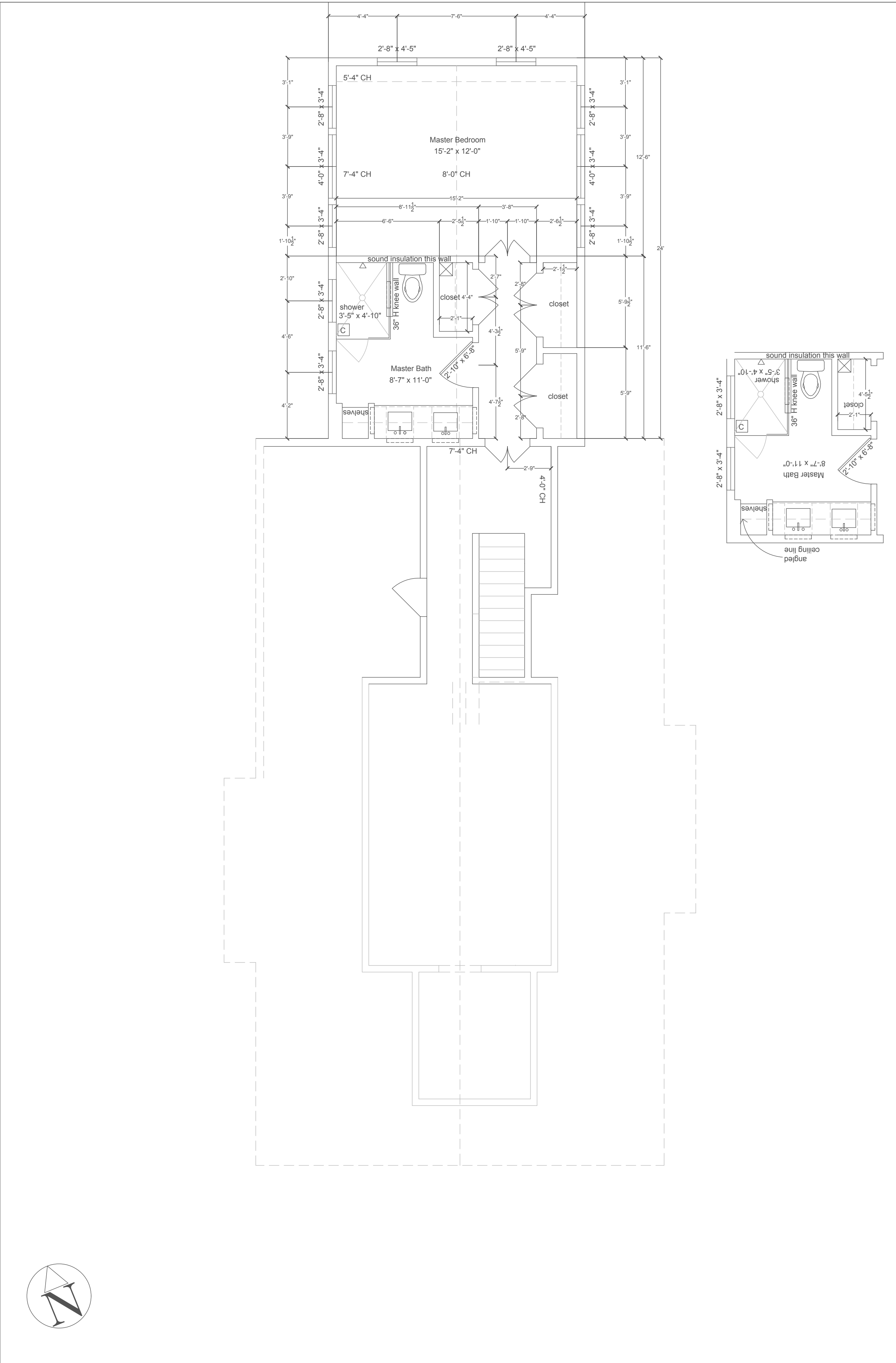
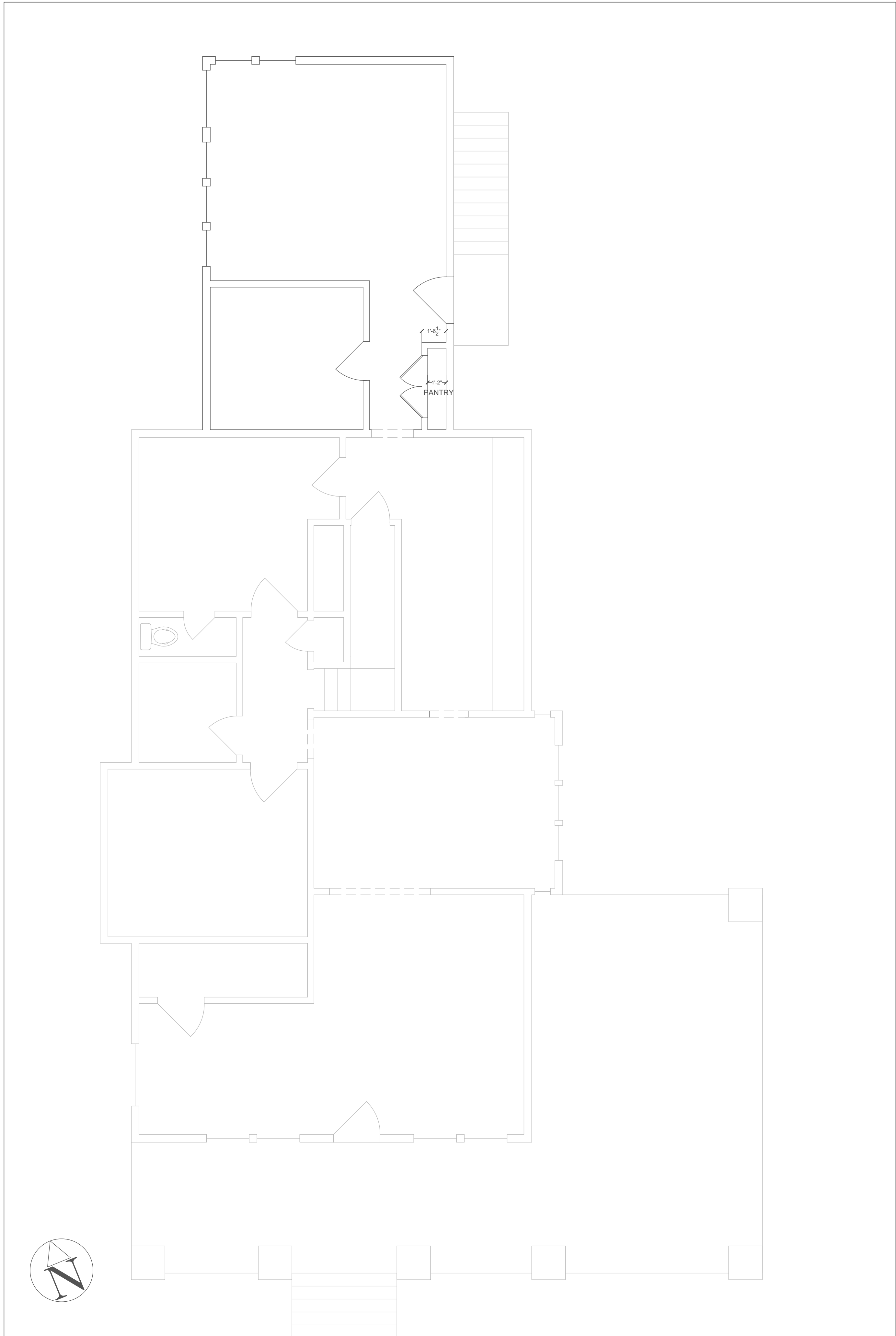
Existing Wall to be Demolished

No.	Revision/Issue	Date

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 Hendersonville, NC 28791

Project	Sheet
Yoder Residence	A100
Date	Existing & Demo Plan
9.22.23	
Scale	



SQUARE FOOTAGE
 New Heated Square Footage : 356 SF
 Existing Heated First Floor : 1,529 SF
 Existing Heated Second Floor : 340 SF
 Total heated Square Footage : 2,216

No.	Revision/Issue	Date

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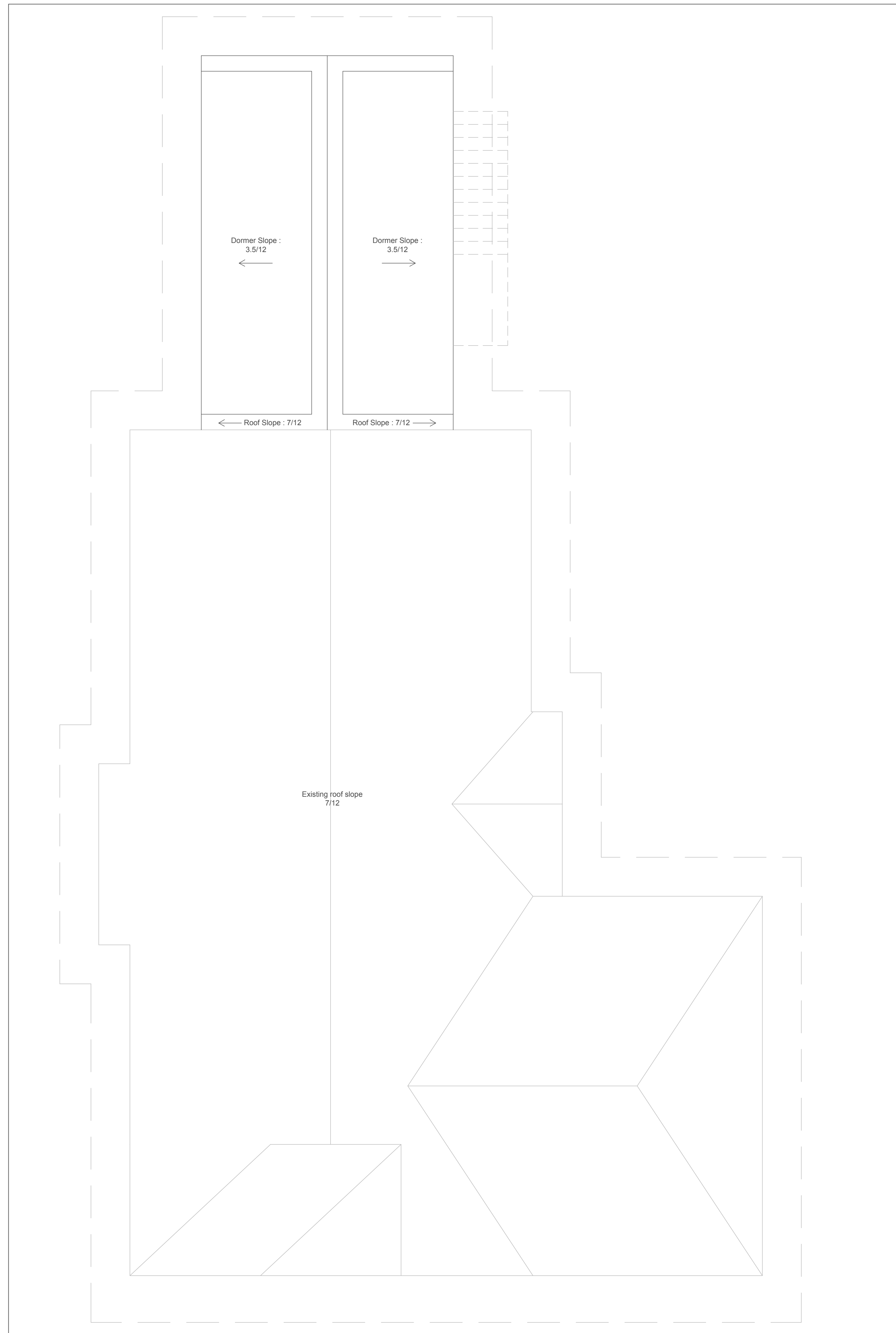
Project Yoder Residence	Sheet
Date 9.22.23	A101 Floor Plans
Scale	

1 First Floor Plan

Scale : 1/4" = 1'-0"

2 Second Floor Plan

Scale : 1/4" = 1'-0"



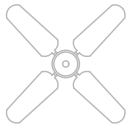


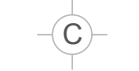






1 Roof Plan Scale : 1/4" = 1'-0"



2 Electrical Plan Scale : 1/4" = 1'-0"

GENERAL ELECTRICAL PLAN NOTES

- Light fixtures shall be located as close as possible to locations show on this plan. Fixtures shall align with, or center on each other or with adjacent architectural elements. Coordinate locations of light fixtures with HVAC grilles so that they align with or are at least symmetrical with each other where there may be conflicts. Grilles and registers shall be blocked as required so that they align with light fixtures. Light fixtures and switch locations shall be reviewed and approve by Owner and/or Designer before installation of final wall and ceiling finishes.
- Center items shown in ceiling areas unless noted otherwise.
- Refer to owner for switching. Switches shall be located adjacent to, but not intersecting door casings or trim. Verify trim size and selection for each room. Ganged switches shall be ganged tightly together and shall be covered with a single plate designed for that purpose. Switches shall typically be mounted 48" AFF to center of switch or match existing.
- Toggle switches, white; slider dimmer.
- Contractor/Builder to verify all rough opening sizes for recessed fixtures, and adjust due to any furring for flush fixtures.
- Drawings are diagrammatic only. Furnish all conduit, wiring, panels, breakers, disconnects, accessories, etc. for complete installation whether or not every item is shown or specified.
- No alarm, data or emergency power systems are shown. Verify and coordinate any requirements w/ Owner and install as required.
- Install GFI/GFCI outlets as required by applicable codes. These areas include receptacles in bathrooms, kitchen, and other areas where running water is present and other areas exposed to exterior weather conditions.
- Update/Install hardwired smoke detector with battery back up as required.
- Insulate and air seal solidly behind receptacles in exterior walls.
- Receptacles in kitchen refer to architect to confirm location.
- Confirm with Owner receptacle at fireplace mantel.
- Switch plan to be determined on site with owner/architect.
- ALL RECESSED CANS & DECORATIVE FIXTURES ON DIMMERS.
- Decorative fixtures by Owner.

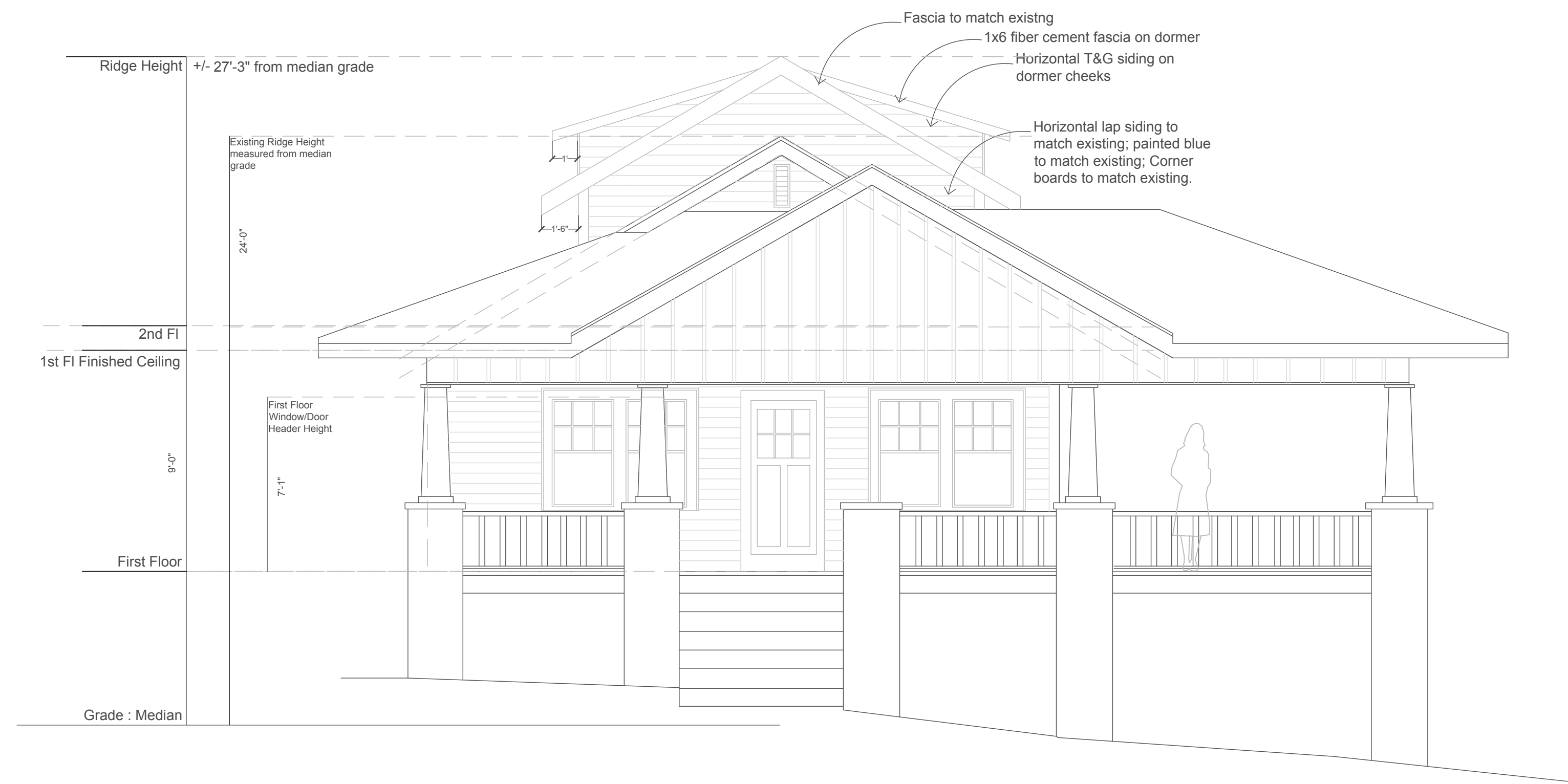
-  Overhead fan
-  Pendant
-  4" Recessed Can, white baffle
-  Chandelier
-  Bathroom fan/can combo
-  Sconce
-  Under cabinet
-  Counter height
-  Floor Receptacle
-  Receptacle

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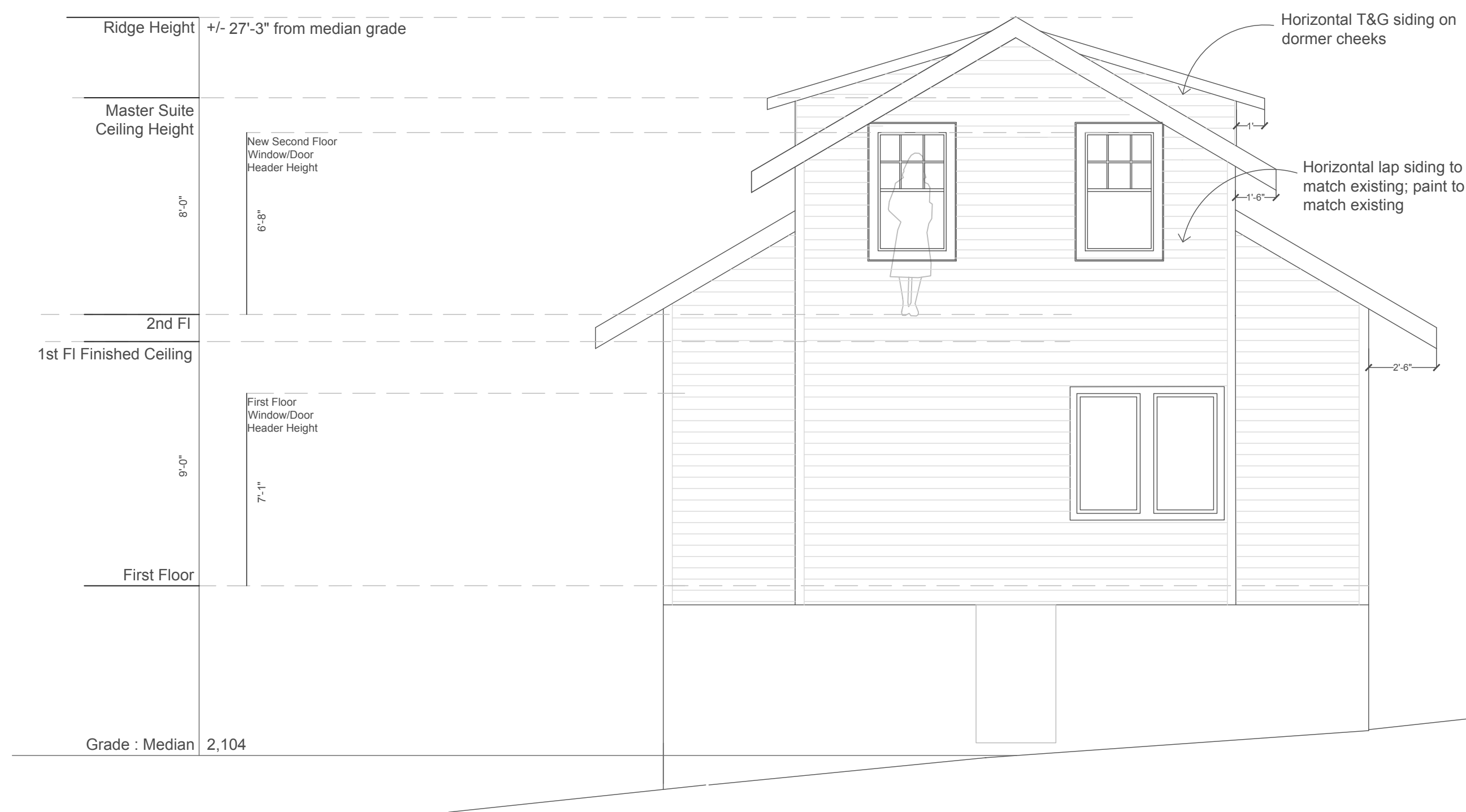
Project Name and Address
 Yoder Residence
 1704 Clairmont Dr.
 Hendersonville, NC 28791

Project	Sheet
Yoder Residence	A110
Date	Roof &
9.22.23	Electrical Plan
Scale	



1 Exterior Elevation : Front

Scale : 1/4" = 1'-0"



2 Exterior Elevation : Rear

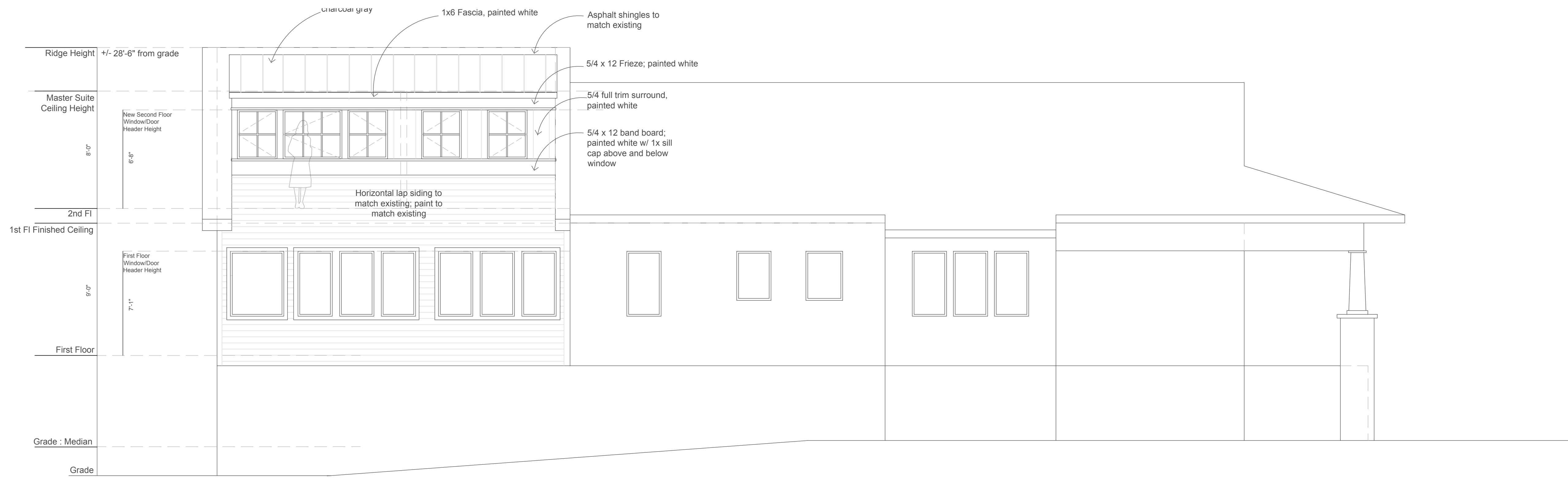
Scale : 1/4" = 1'-0"

No.	Revision/Issue	Date

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Project Name and Address
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Project Yoder Residence	Sheet A300 EXTERIOR ELEVATIONS
Date 9.22.23	
Scale	



GENERAL NOTES EXTERIOR

1. Gable exposed rafters to match existing in size and layout. May need additional rafters as shown on drawings.
2. Exposed rafters at sides of house to match existing.
3. Paint scheme TBD.
4. Siding as noted on elevations.
- 5.

1 Exterior Elevation : Left Scale : 1/4" = 1'-0"



2 Exterior Elevation : Right Scale : 1/4" = 1'-0"

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Project Name and Address
Yoder Residence
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Project Yoder Residence	Sheet A301 EXTERIOR ELEVATIONS
Date 9.22.23	
Scale	