



CITY OF HENDERSONVILLE PLANNING BOARD REGULAR MEETING

Operations Center - Assembly Room | 305 Williams St. | Hendersonville NC 28792
Thursday, April 11, 2024 – 4:00 PM

AGENDA

1. **CALL TO ORDER**
2. **APPROVAL OF AGENDA**
3. **APPROVAL OF MINUTES**
 - A. Minutes of March 14, 2024
4. **OLD BUSINESS**
5. **NEW BUSINESS**
 - A. Rezoning: Standard Rezoning – Hope Creek + Powel St (P24-17-RZO) – *Matthew Manley, Strategic Projects Manager*
 - B. Rezoning: Conditional Zoning District – Osceola Inn Adaptive Reuse (P23-70-CZD) – *Matthew Manley, AICP – Planning Manager*
 - C. Administrative Review: Preliminary Site Plan– Fakhoury Academy of Taekwondo (A24-15-SPR) – *Matthew Manley, AICP | Strategic Projects Manager*
6. **OTHER BUSINESS**
7. **ADJOURNMENT**

The City of Hendersonville is committed to providing accessible facilities, programs and services for all people in compliance with the Americans with Disabilities Act (ADA). Should you need assistance or an accommodation for this meeting please contact the Community Development Department no later than 24 hours prior to the meeting at 828-697-3010.

**Minutes of the Planning Board
Regular Meeting - Electronic
March 14, 2024**

Members Present: Jim Robertson (Chair), Peter Hanley, Laura Flores, Donna Waters, Tamara Peacock, Yolanda Robinson, Chauncey Whiting

Members Absent: Barbara Cromar, Beth Robertson

Staff Present: Tyler Morrow, Planner II, Matthew Manley, Strategic Projects Manager, Lew Holloway, Community Development Director

- I Call to Order. *The Chair called the meeting to order at 4:00 pm. A quorum was established.***
- II Approval of Agenda. *Mr. Hanley moved to approve the agenda. The motion was seconded by Ms. Waters and passed unanimously.***
- III Approval of Minutes for the meeting of February 8, 2024. *Mr. Hanley moved to approve the Planning Board minutes of the meeting of February 8, 2024. The motion was seconded by Ms. Robinson and passed unanimously.***
- IV Old Business**
- V New Business**
- V(A) Conditional Zoning District – The Lofts at Chadwick (P24-04-CZD). Mr. Morrow gave the following background:**

The City has received an application for a Conditional Zoning District petition for the property located at 904 Greenville Highway. The property is one parcel. The applicant is Stephen Drake of Broadcast Construction and Development, Inc. The property is currently zoned GHMU CZD, Greenville Highway Mixed Use Conditional Zoning District. The applicant is requesting the property be zoned GHMU CZD to a different conditional zoning district. The property is 2.25 acres. The proposed use is Residential, Multi-Family. The applicant is proposing 60 low-income housing tax credit senior multi-family residential units. The Future Land Use Designation is High Intensity Neighborhood.

Ms. Peacock requested that the Board recuse her as she was the previous architect for the project and still has an outstanding financial interest. ***Mr. Hanley moved the Planning Board accept Ms. Peacock's recusal. Ms. Waters seconded the motion which passed unanimously.***

Mr. Morrow gave a rezoning history of the property which is included in the staff report and presentation.

The previous six conditions dated March 3, 2022 were listed and are included in the staff report and presentation. Mr. Morrow went over each condition and discussed what conditions The Lofts at Chadwick would be agreeing to.

Site photos were shown and included in the staff report and the presentation.

The current site plan was shown and included in the presentation and the staff report. Mr. Morrow explained the site plan including size, height, landscaping and parking on the site.

Mr. Morrow stated a blueline stream is on the property. Mr. Morrow went over the requirements for blueline streams. No portion of this property is in Floodplain.

The proposed conditions that the developer has agreed to were discussed and are included in the staff report and presentation.

The City proposed conditions were discussed that have been agreed to by the developer. These are included in the staff report and presentation.

The City proposed conditions that were not agreed upon were also discussed and are included in the staff report and presentation.

A Neighborhood Compatibility meeting was held February 1, 2024. Traffic, flooding, the entrances and parking needs were discussed at this meeting.

Mr. Morrow discussed an old mobile home park that was there in 1984 and has since been removed.

The current Land Use and Zoning Map was shown and is included in the staff report and presentation.

The Future Land Use Map was shown and is included in the staff report and presentation.

Comprehensive Plan Consistency was discussed and is included in the staff report and presentation.

General Zoning Standards were discussed and are included in the staff report and presentation.

A draft Comprehensive Plan Consistency statement was discussed and is included in the staff report and presentation.

A draft Planning Board reasonableness statement was discussed and is included in the staff report and presentation.

Mr. Morrow stated this project will be 100% affordable housing. He stated the need for affordable housing has increased since the Comp Plan was approved in 2009.

Chair asked if there were any questions for staff.

Mr. Hanley was concerned about the traffic and moving the entrance back onto Chadwick which is just a two-lane road. Are they planning to do anything with Chadwick? Mr. Morrow stated Chadwick Avenue is a city maintained street and to his knowledge there is no plans for any modernizations. Mr. Hanley felt like there should be. Ms. Waters had the same concerns, Mr. Morrow stated NCDOT's requirement of a 50-foot right-of-way on each side would give them 100 feet to do any infrastructure improvements in the future. At this time they are planning to do a 25-foot right-of-way from centerline which is not a city requirement and they did not have to do that. The city asked for that and they did provide that. There are no current plans for improvement along Greenville Highway with a set right-of-way requirement or cross section.

Mr. Hanley stated there is a fairly large project across Greenville Highway, down the block a ways, that is ongoing. That whole block of real estate will have a tremendous amount of traffic. Anything the city can do to improve that situation will be a plus. He thinks this is a great project but the impact on the area does not please him at all.

Chair asked if he heard that NCDOT requested a 50-foot ROW but they are only providing a 25-foot ROW? Mr. Morrow stated that is correct, He stated the Development Review Committee reviews all site plans and NCDOT is a part of that review. It was more of a request that is not tied to a plan. The previous project did not give any ROW on Greenville Highway but they did give 7 ½ feet on Chadwick to accommodate sidewalks. It went from zero on Greenville Highway and 7 ½ on Chadwick Avenue to a 25-foot ROW on both.

Discussion was made on the maximum allowable footprint for Greenville Highway. Mr. Morrow stated in the GHMU district by right would be 12,000 sq. ft. Any project that exceeds the 12,000 sq. ft. footprint is required to be a Conditional Zoning District.

Ms. Robinson asked about the tree protection standards. Mr. Morrow referred this to the applicant.

There were no further questions for staff.

Stephen Drake, Broadcast Construction and Development, he is here representing WDT Development as well. Both of these companies specialize in providing affordable senior housing throughout the state of North Carolina. The demand for senior housing is extremely high in Hendersonville and Henderson County. There are few good options for senior housing in our community. They are responding to this housing shortage by providing a new community at the corner of Chadwick Avenue and Greenville Highway. The Lofts at Chadwick will consist of 60 high efficiency apartments. It is an age restricted community for those 55 and older. They have done this for the last 15 years and have many senior properties. The average age of their tenants is actually 69 years of age. They carefully plan and construct their buildings to meet the needs of today's seniors. They will create a design that promotes community. All of the apartments will be in a single building. There will be 30 one-bedroom units and 30 two-bedroom units. There will be an elevator and two staircases to access all floors of the building. There will be open space inside the building with an office and management will be on site. There will be a multi-purpose room for gatherings. They will have an exercise room. There will be a laundry facility on site. Each apartment will have its own closet for a washer and dryer. For those senior making 30 to 40% of the median income sometimes they cannot afford a washer and dryer but they will have access to one on site for their use and will not have to drive to one. There will be mail center on site. There will be a game and craft room. A computer room with free internet access for tenants. They will also have a library. The building will also have a multitude of sitting rooms for the seniors to enjoy. There will be landscaping with native species. There will also be a gazebo and a sitting area. That will overlook a pollinator garden, with the stream in that area they thought this would be a perfect location. They wish to build here for the high demand of quality affordable senior housing. This is a great location for senior development. It is very close to key amenities that seniors need such as grocery stores, pharmacies, urgent care centers, churches. Rents are very high in Western North Carolina and seniors are on fixed incomes but they still need and deserve quality affordable housing and that is exactly what they aim to provide. This is a North Carolina Housing Finance Association project and it is in the 2024 application cycle. This is the only opportunity for Henderson County to achieve additional affordable housing this year. This site when they reviewed it scored a possible 71 points with a site score and that is the maximum you can score. This is the perfect site in the eyes of the North Carolina Housing Finance Association. This parcel will end up being developed someday, somehow and it is his hope that this parcel is granted this rezoning and is permitted to provide affordable housing for seniors.

Ms. Flores asked how they decided the number of units. Mr. Drake stated it revolves around a few things. The zoning and what will be allowed. He looked at the previous plan that had been proposed and just felt like with the community and the neighborhood not appreciating as many units, they wanted to go with less units. They are not impacting this site as much as what could happen. Right now you could have 70 units and buildings with four stories. They are actually well under that. They have to consider the rents, land price and development costs. All of these are changing so much now. The newest thing is insurance costs and we will see a huge increase in that this year. All of these things are taken into account and the 60 units is what works best for this parcel and this proposed development.

Mr. Hanley asked if there was any way to modify the traffic situation with what they presented and what he came back with that will make it easier to transition Greenville Highway. Are there any modifications that can be made to the site plan to make that more functional. Mr. Drake stated they don't own Chadwick Avenue and they don't own Greenville Highway. They are the jurisdiction of the city and NCDOT. He understands the traffic, they have that issue everywhere. It is something that is out of the developer's hands and something that is in the hands of NCDOT and also the city. The more room they provide for easement on the property, the less room for building. They have pushed that to the limit with the 25 foot easement. He thinks they might be one of the only developments along Greenville Highway that has offered an easement because he thinks this is a new request that NCDOT has started making of developers. You have many properties along Greenville Highway where there is no easement granted for the widening of Greenville Highway. He stated less than 20% of the residents living here will not be working so they will not be driving at am and pm peak hours. There's not much traffic that comes in and out of these developments.

Ms. Robinson asked about loading and unloading areas and she discussed living in a community with elderly people and the ambulance being called one or two times a week. The covered entry area only has two handicap parking spots there. She feels like they will have a real hard time getting an ambulance in. Mr. Drake stated all the alleyways meet the requirements of the Fire Marshal. He thinks it is 26 feet. An ambulance is going to pull up right there and not be looking for parking and try to get as close as they can to that entrance.

Ms. Waters asked where there would be room for waste disposal or dumpsters. Mr. Drake stated it is located at the northeast end of the property.

Chair asked why they wouldn't build what has already been approved. Mr. Drake stated the North Carolina Finance Agency is very particular about the dwelling units and the design of these dwelling units are fully ADA accessible and we have six that are designated exclusively for those that are mobility impaired or handicapped but in case there was a seventh or eighth or fifteenth person that comes in that needed accommodations all of these units are already designed to accommodate folks that need additional help. It is a very specific design. They looked at it but they have to build their buildings right to the needs of seniors. They have to build it to the requirements of the North Carolina Housing Finance Agency.

Chair stating knowing there was a 12,000 sq. ft. maximum building footprint requirement for this district. Why would he bring them a 25,000 sq. ft. building? Mr. Drake stated it is his understanding they are allowed to have the 25,000 sq. ft. building. Chair stated it says maximum footprint 12,000 sq. ft. Mr. Morrow stated if this was zoned GHMU and was not a conditional zoning district it would have to stay under the 12,000 sq. ft. that is the allowable footprint for that district. Since they are going above that for other reasons they are doing the GHMU CZD, which permits footprints that are larger than the 12,000 sq. ft. This project would be permitted under a GHMU CZD.

Chair stated he didn't see that in the conditions that would allow them to build something twice the size of what is allowed. Mr. Morrow stated so the way that our zoning districts are set up, we have our standard districts like R-15, GHMU, C-3, and then tied to every one of those districts is a CZD district. So you have

R-15 CZD, GHMU CZD, C-3 CZD and basically what those CZD's say is it is its own district. They have their own permitted uses, they are all the permitted uses allowed in the underlying zoning but they also allow for different stipulations. If you go above 51 units, that's a permitted use in R-15 CZD or if you have a building above 12,000 sq. ft. footprint in GHMU, that's allowed in GHMU CZD. There are certain triggers that are built into those CZD districts that are permitted uses and it just so happens that GHMU has this 12,000 sq. ft. condition where if you go above that you have to apply for a CZD because that is a permitted use in that district. Chair stated so the site plan is attached to the conditional zoning so there really doesn't need to be a condition. Lew Holloway, Community Development Director stated that is correct and conditional zoning requires a much higher level of review both from the public body and the legislative process. There is an opportunity to review the proposed use at a higher level on whether it meets the requirements of the conditional zoning. The code is set up to say yes you can do that but you will have to go through this higher level of review to do that.

Chair stated if it were split into two buildings to comply with the 12,000 sq. ft. rule, would the cost of a second elevator prohibit it from being affordable housing. Mr. Drake stated yes, a second elevator you are talking about a quarter of a million dollars when you talk about the elevator and all of the electrical functions that go along with it. The high voltage and also the low voltage area of rescue assistance. Then you are talking about additional exterior surfaces. There would be additional costs all the way around. You are also already on a very limited size parcel. The architectural design is very attractive. Chair was concerned about Amazon, FedEx etc. and getting a loading zone in there.

Jeff McCluskey, Civil Engineer stated they had a conversation with staff and they were trying to maximize the parking and they are over the code required minimum. They had to have 60 parking spaces and they are providing 70 parking spaces. They would rather not take three or four parking spaces and make it a loading zone. He understands the loading zone but normally those are stuck back in the back of a site and not used at all. The ambulance will use the front of the building for access. The same goes for Amazon, FedEx or anyone else. The intent was they were trying to stripe as many parking spaces because he knows in general with these types of projects there's a large concern with neighbors for having adequate parking. That was why they were trying to request to not have a loading zone to maximize their parking. Chair stated so it is feasible you just lose a few parking spaces. Mr. McCluskey stated yes, they would just not stripe it as a parking space.

Chair asked who will manage the property. Mr. Drake stated Excel Management. They are listed with the North Carolina Housing Finance Agency as an authorized management company. They manage all of their properties and he has actually known them for a long time. They are very good at what they do. NCHFA requires audits and compliance inspections. It is very regimented. There is a lot of oversight and Excel Management is familiar with the oversight. They don't have any properties in Hendersonville that they manage but they manage three in Brevard.

Chair asked him to talk about storm water management and asked if it was underground. Mr. Drake stated yes. Mr. McCluskey stated stormwater management will meet all of the City of Hendersonville's stormwater requirements. He discussed the collection of water on the property and the below ground system as well. They have to design for a two and ten year event.

Chair asked about the blueline stream and making the space pervious, the hard surface that you park on, the water will soak in. Mr. McCluskey stated that would be an option they could look at doing. There is some maintenance to it and he is familiar with this type of concrete. Mr. Drake's concern was the maintenance cost of it and the cost not being in their operating budget. Mr. Drake stated it was a condition they would be open to looking at.

Chair opened public comment. Public comment would be limited to three minutes.

Nancy Polluck, Carousel Lane stated the only comment would be when she moved from Charlotte to Hendersonville about ten years ago. She lived in Charlotte in 1985 and saw it explode. She loved Charlotte, but the first time she came to her home on Carousel Lane she went Greenville Highway and she loved it. The second time she came in on Spartanburg Highway and it was so ugly. She is curious why Hendersonville does not steer developers to those big empty spaces on Spartanburg Highway and make it look presentable.

Lynne Williams, Chadwick Avenue stated this Planning Board denied a similar project on this exact site. The Tree Board voted this site incompatible for development. This property directly abuts the floodplain and increase impervious surfaces. And removes many mature trees. She was concerned about the sewage pump station and it dumping 2,000 gallons of raw sewage during the last rain event. The last storm event caused flooding and blocked all emergency access to the hospital. Placing 60 seniors in such a high flooding risk zone creates public safety hazards and concerns. She was concerned about the traffic which is already an issue in this area. They asked that the stream buffer ordinance be complied with. The Dark Skies lighting should also be complied with. She was concerned with the parking and the developer not having a loading and unloading zone. She felt like the 50 foot ROW that NCDOT requested should be agreed to. She had photos of the flooding in the area. She discussed the people that were against the previous project. At least 30 people spoke against it. This is not permitted by right. This is part of a historic neighborhood. Hawkins Pointe looks like a death trap. It is built all with wood. The stormwater plan is not sustainable. She showed photos of the flooding.

Ken Fitch, 1046 Patton Street (Zoom) stated affordable housing is a major need for the city, however it is important to realize there will be issues with the functioning of the project in this location. Traffic backs up on Chadwick at the traffic light even at non rush hour times. For the residents of this project entrance and exit will be difficult. It is hazardous negotiation. Traffic on Chadwick will inevitably increase. He was concerned about the blueline stream on the property. Parking with 30 units being two-bedroom could easily exceed the 71 spaces. Accommodations for delivery and service vehicles and visitors creates a major problem. Seniors pose a greater risk of having emergencies which will bring fire trucks and EMS vehicles to the parking lot. Emergency access is critical.

Chair closed public comment after the caller Sandy was unable to unmute herself.

Chair asked if the EMS or Fire Department had reviewed the plan. Mr. Morrow stated yes, the Fire Department is part of the review committee. They review all the site plans that come through the city. They were aware that this was for a senior multi-family development. As you know the city did adopt Appendix D of the Fire Code which is actually an additional site plan requirement that goes above and beyond what is required by the normal Fire Code. The 26' lane widths is a requirement of the Appendix D Fire Code. That is why they are the size that they are.

Chair stated because this is a commercial development, the Dark Sky lighting would apply? Mr. Morrow stated they would have to adhere to the requirements for multi-family abutting residential and also unless the stream buffer requirements are waived, they would have to meet the lighting requirements for properties within the stream buffer requirements. If the condition were to waive the requirements they would just have to meet the multi-family to residential requirement for lighting. There are stipulations in the lighting ordinance for the blueline stream and wildlife corridor.

Chair asked what the plan was for getting emergency services during a rain event like what happened a few months ago in just five hours. Mr. Drake stated there is nothing he can really say to natural disasters and what can be done. What if a tree falls over the road and prevents an ambulance from crossing? He can't really respond to that very well. Mr. Holloway stated city emergency services when they know they may have a situation where access may be cut off they are staging officers and resources so they can get to those locations. Fire Station 3 is proposed to be on this side of town. That's somewhere out in the

future but in terms of our emergency services they do consider these impacts.

Chair reopened public comment.

Sandra Williams, 309 Chadwick Avenue (Zoom) stated she was concerned about the entrance and exit onto Chadwick Avenue. She was concerned about traffic. The entrance off of Spartanburg Highway has no light and she doesn't see how all this traffic will be managed. There is a bar across the street that gets rowdy on the weekend. There will be a huge addition to traffic on Garden Lane, Balsam Road and Narva Road. She discussed having a small office complex at this location. She can't imagine adding 60 units and all the traffic it will add to the area. Her concern is safety and someone getting hit.

Chair closed public comment.

Mr. Hanley was concerned with the traffic. Ms. Waters thinks it is a great project but her big concern is the whole intersection becoming a lake and this happens several times a year. Mr. Whiting stated it doesn't seem conducive with the bar across the street. Ms. Robinson is in favor of affordable housing. Ms. Flores discussed traffic and mitigating it and this not being a perfect world and people will still come to this area. Mr. Holloway discussed conditions and how the applicant has to be agreeable. Our legal team would say that would be an illegal condition if we required them to do the 50' ROW suggested by NCDOT. Chair discussed NCDOT having a project that would require the 50 foot ROW and how that might effect this development. Mr. Drake stated NCDOT may say they have a project that will start in five years and it may never take place. It is hard to determine what NCDOT will actually do. Mr. McCluskey stated the original plan had zero ROW. There was a change at the district office and they asked for a 50 foot ROW but if you look further up Greenville Highway, Publix is a prime example. All the parking that was built along Greenville Highway would all be in the 50 foot ROW and they would lose about a third of their parking if the 50 feet would be enacted on. The Walgreens across the street is within the 50-foot ROW. They understand this is what NCDOT has requested but they have concerns of the viability of this actually occurring just because there are several other businesses on this road that would be dramatically impacted.

Chair stated affordable housing is needed so badly he really feels like some of these conditions could be met but he would like to see the pervious concrete on all those east parking spaces and he really feels like they need a loading zone. But they are already talking about a deficiency in parking spaces because of the two-bedroom units. Does that all balance out where affordable housing is so needed. He discussed the population increase in coming years and how this would provide housing for senior making 80% or less of the median income. This would provide 60 affordable units. Ms. Waters concern was parking and having enough spaces for staff and visitors.

Chair asked if they have a motion, maybe with conditions. Chair stated he knows this is a tough one but the Board is tasked with making some kind of recommendation to City Council. Mr. Whiting stated the only condition that he would propose doesn't seem like it is reconciled by the developer which is traffic. It seems there is an impasse in that regard, Chair stated he could make a recommendation to deny it. Mr. Whiting stated he is not prepared to do that yet. Chair stated affordable housing is so needed and this property will be developed at some point. It is already approved for more units than what this is. We have the stream and traffic is always an issue.

Mr. Whiting moved Planning Board recommend City Council deny an ordinance amending the official zoning map of the City of Hendersonville changing the zoning designation of the subject (PIN: 9568-92-1924) from GHMU-CZD, Greenville Highway Mixed Use Conditional Zoning District to GHMU-CZD, Greenville Highway Mixed Use Conditional Zoning District based on the following: 1. The petition is found to be consistent with the City of Hendersonville 2030 Comprehensive Plan based on the information from the staff analysis and because: The petition aligns with the City's

2030 Comprehensive Plan's Goals because it encourages infill development in an area planned for high-intensity development, as indicated by its "Priority Infill Area" designation and because multi-family residential of 8 or more units per acre is a primary recommended land use for the High Intensity Neighborhood Designation. 2. We do not find this petition to be reasonable and in the public interest based on the information from the staff analysis, public hearing and because: 1. The proposed development proposes to remove 48 mature trees from the site while only maintaining 12 mature trees. 2. The project is not providing all required stream buffer and transitional area protections measures for a blueline stream identified in the most recent USGS seven-and-one-half minute quadrangle topographic maps. Mr. Hanley seconded the motion which passed four in favor of and two against (Chair, Flores).

The Board took a short recess.

V(B) Conditional Zoning District - Kid City USA (P23-066-CZD). Mr. Holloway gave the following background:

The City of Hendersonville is in receipt of an application from David Lee for a conditional zoning district for the property located at 913 and 917 9th Avenue West and is directly across from Hendersonville Middle School. The property is currently zoned R-15, Medium Density Residential and the proposed zoning is PID CZD. They plan to reuse the existing 11, 441 sq. ft. building that was Blue Ridge Retirement Home to a childcare center. Child care centers are not a permitted use in the R-15 zoning district.

Site photos of the property were shown and included in the staff report and presentation.

The site plan was shown and is included in the staff report and presentation.

The proposed conditions that the developer has agreed upon were discussed are included in the staff report and presentation.

A Neighborhood Compatibility meeting was held August 30, 2023. Topics discussed were staffing centers, rates for attending and traffic impacts.

The current Land Use and Zoning map was shown and is included in the staff report and presentation.

The Future Land Use map was shown and is included in the staff report and presentation.

Comprehensive Plan Consistency was discussed and is included in the presentation and staff report.

General rezoning standards were discussed and are included in the staff report.

A draft consistency statement is included in the staff report.

A draft reasonableness statement was shown and is included in the staff report.

Chair asked if there were any questions for staff.

Discussion was made on the removal of childcare centers being a permitted use in R-15. This was removed in the 90's. Mr. Holloway stated he believes zoning does too much to prevent too many things and we are limiting a lot of things that our communities need because we are using these processes to review development. That is his opinion and he personally thinks that not approving an affordable housing project is a real problem. We need affordable housing so desperately, so desperately in this community that he thinks we need to be aware of those kinds of needs when we are facing the public feedback that we

receive. He understands all the challenges that the Board faces, there were a lot of moving parts but we need to be clear about where we set our standards and when a project meets the standards. He understands they like to talk about parking but we have a standard for parking and if we don't like what our standard is we should change it. We don't need to spend time talking about a standard every time a conditional zoning project comes up because there is nothing about this apartment building verses the other apartment building verses one that is under 30 units that would change what the parking requirements should be.

Chair asked if this facility would likely stay vacant without a rezoning. Mr. Holloway stated yes. There could be a couple of special uses that would be permitted but have to go before the BOA.

There were no further questions for staff.

Chair asked if the applicant was here.

David Lee stated he has lived here 24 years and has children and grandchildren and his children are all struggling with childcare in this area. Not just the availability of it which is a problem, but the cost of it as well. He was able to purchase this building and evaluating what to do with it there was only one use that made sense. There are 21 individual rooms in this building. A commercial kitchen, a cafeteria a recreation room and there are 13 bathrooms in this facility. With the cost and expense of childcare turning this facility into a childcare center made the most sense. There are no franchise childcare centers in Hendersonville. Kid City USA has been around for 28 years. They have 140 locations approximately across the southeast United States. He has done three other facilities in North Carolina with Kid City USA. It serves a critical need. They are not adding anything to the property. This property was purchased by Cardinal and sat vacant for two years. Since he purchased the property there was numerous break ins and copper being stolen as well the other items. It has been an eyesore and a danger to the community surrounding it. He thinks repurposing it as a childcare center helps support a critical need. It will also dramatically improve the aesthetics of that neighborhood. He has put a new roof on it and they plan to start construction as soon as they get the approvals. They did tear the old house down that sat vacant for years and they will be making improvements to the exterior of the building.

There were no questions for the applicant.

Chair opened the meeting for public comment.

Ken Fitch, 1046 Patton Street (zoom) stated the reuse of the existing building for child center function is in some ways an appropriate neighbor to the two school campuses and definitely serves a need. The traffic will be an issue at the time of drop off and pick up for the schools. He discussed the removal of the buffer and trees just prior to this application. Landscaping is a sensitive issue that needs to be done properly. He asked about the two playgrounds and how they will function and will they be fenced.

Chair closed public comment.

Mr. Lee stated they have met extensive requirements by the state of North Carolina in how a childcare facility is developed. There are also requirements for the playground area. The courtyard in the center will be the playground for the children that are 0 to 3 year old. They are adding doors that will open into the playground from each room. The youth playground will be fenced off. Each playground has requirements that must be met in terms of equipment and fencing. There will be no other structures. The comings and goings of their facility will not mirror those of the schools.

Chair asked if the lighting ordinance would apply. Mr. Holloway stated any new lighting would have to comply with the ordinance. Depending on the rehab of the building if it exceeds 50% of the tax value they may have to bring it into compliance.

Discussion was made on a residential CZD and the reuse of a building.

Mr. Hanley moved the Planning Board recommend City Council adopt an ordinance amending the official zoning map of the City of Hendersonville changing the zoning designation of the subject property (PIN: 9569-40- 2580 and 9569-40-3593) from R-15, Medium Density Residential, to PID-CZD, Planned Institutional Development Conditional Zoning District, for the rehabilitation and reuse of an existing 11,441 sq ft commercial building as Childcare Center based on the master site plan and list of conditions submitted by and agreed to by the applicant, [revision dated 10-16- 24] and presented at this meeting and subject to the following: 1. The development shall be consistent with the site plan, including the list of applicable conditions contained therein, and the following permitted uses Permitted Uses: 1. Childcare Center. 2. The petition is found to be consistent with the City of Hendersonville 2030 Comprehensive Plan based on the information from the staff analysis and because: The petition aligns with the City's 2030 Comprehensive Plan's Goals for the "Medium Intensity Neighborhood' Future Land Use Designation to provide local and public and institutional uses. 3. Furthermore, we find this petition to be reasonable and in the public interest based on the information from the staff analysis, public hearing and because: 1. The proposed rezoning includes no new construction but enhances existing site parking. 2. The proposed site plan includes compliance with landscaping standards, existing tree preservation and enhanced site buffering to adjacent residential uses. 3. The proposed use meets a community need for additional childcare options for working parents. Ms. Robinson seconded the motion which passed unanimously.

V(C) Administrative Review- Preliminary Site Plan – Living Savior Church (A24-02- SPR). Mr. Morrow gave the following background:

Mr. Morrow stated preliminary site plan review is required of all developments undergoing Site Plan Review for the following: Addition of more than 30 parking spaces. They will also be required to follow all the design standards in CHMU.

Mr. Morrow gave a background of the project which is included in the staff report and presentation.

The current Land Use and Zoning map was shown and is included in the staff report.

Site photos were shown and are included in the staff report and presentation.

A preliminary site plan was shown and is included in the staff report and presentation.

The preliminary building design was shown and is included in the staff report and presentation.

Based on the review by staff, the submitted preliminary site plan and building design for the Living Savior Church Project meets the Zoning Ordinance standards established for commercial projects within the Commercial Highway Mixed Use District, Preliminary Site Plan Review (Section 7-3-3.2) and Building Design Review (Article XVIII. - Mixed Use Zoning.)

Chair asked if there were any questions for staff.

There will be a sidewalk along Vine Road.

Mr. Morrow stated this does meet all the requirements.. There were some revisions but it does meet all requirements.

Mr. Hanley moved the Planning Board grant preliminary site plan and building design approval, based on the requirements of the City of Hendersonville Zoning Ordinance (with primary consideration of sections 5-27 Commercial Highway Mixed Use, 7-3-3 Review of Preliminary Site Plans, and 18-3-1.2 Joint site plan and design review) finding that the Living Savior Church project is compliant with all applicable requirements. Ms. Peacock seconded the motion which passed unanimously.

V(D) Zoning Text Amendment – Updates to Childcare Home and Child Care Center (P23-99-ZTA)

Chair asked if this was to align our requirements with the states requirements. Mr. Manley stated yes.

Mr. Manley stated this is a zoning text amendment to align the City of Hendersonville’s Zoning Ordinance definitions for Childcare Home and Child Care Center with the state statute. The state statute specifically for Childcare Home was recently updated and allows for up to ten children instead of six children and our definition needed to be updated because it was too restrictive,

Comprehensive Plan Consistency was discussed and is included in the presentation and staff report.

General amendment standards were discussed and are included in the staff report.

A draft consistency statement is included in the staff report.

A draft rationale for approval and denial were included in the staff report and presentation.

Mr. Manley explained the definition changes which are included in the presentation and the staff report.

There were no further questions for staff.

Chair opened public comment. There was no public comment,

Chair closed public comment.

Mr. Whiting moved the Planning Board recommend City Council adopt an ordinance amending the official City of Hendersonville Zoning Ordinance, Section 12-2 Definition of Commonly Used Terms and Words; Section 12-2-2, Child care home and Section 12-2-2 Child care center; based on the following: 1. The petition is found to be consistent with the City of Hendersonville 2030 Comprehensive Plan based on the information from the staff analysis and the public hearing, and because: The petition aligns with the Comprehensive Plan’s Strategy LU-3.5. minimizing negative impacts from growth and land use changes on existing land uses by reflecting current and ongoing trends in the community concerning the need for more childcare services within the City. 2. We [find] this petition, in conjunction with the recommendations presented by staff, to be reasonable and in the public interest based on the information from the staff analysis and the public hearing, and because: 1.The proposed text amendment aligns with the state licensing requirements for child home care and childcare centers. 2.The proposed text amendment allows existing and future childcare facilities to increase their child home care capacity and thereby increasing the child care opportunities within the City. Ms. Robinson seconded the motion which passed unanimously.

Planning Board
03.14.2024

VI Other Business.

VII Adjournment – *The meeting was adjourned at 6:34 pm.*

Jim Robertson, Chair

DRAFT



CITY OF HENDERSONVILLE AGENDA ITEM SUMMARY PLANNING DIVISION

SUBMITTER: Matthew Manley **MEETING DATE:** April 11, 2024

AGENDA SECTION: New Business **DEPARTMENT:** Community Development

TITLE OF ITEM: Rezoning: Standard Rezoning – Hope Creek + Powel St (P24-17-RZO) – *Matthew Manley, Strategic Projects Manager*

SUGGESTED MOTION(S):

<p><u>For Recommending Approval:</u></p> <p>I move Planning Board recommend City Council <u>adopt</u> an ordinance amending the official zoning map of the City of Hendersonville changing the zoning designation of the subject property (PINs: 9578-36-6473, 9578-36-8361) from R-15 Medium Density Residential to R-6, High Density Residential based on the following:</p> <p>1. The petition is found to be <u>consistent</u> with the City of Hendersonville 2030 Comprehensive Plan based on the information from the staff analysis and because:</p> <p>The Goals & Strategies of LU-7 “High-Intensity Neighborhood” calls for primary recommended land uses which align with the proposed R-6 Zoning</p> <p>2. Furthermore, we find this petition to be reasonable and in the public interest based on the information from the staff analysis, public hearing and because:</p> <ol style="list-style-type: none"> R-6 zoning aligns with and maintains the primary single-family character of the neighborhood R-6 zoning allows for a more efficient use of land. R-6 zoning is less dense than some existing land uses in proximity of the subject property. <p style="text-align: center;">[DISCUSS & VOTE]</p>	<p><u>For Recommending Denial:</u></p> <p>I move Planning Board recommend City Council <u>deny</u> an ordinance amending the official zoning map of the City of Hendersonville changing the zoning designation of the subject property (PINs: 9578-36-6473, 9578-36-8361) from R-15 Medium Density Residential to R-6, High Density Residential based on the following:</p> <p>1. The petition is found to be <u>consistent</u> with the City of Hendersonville 2030 Comprehensive Plan based on the information from the staff analysis and because:</p> <p>The Goals & Strategies of LU-7 “High-Intensity Neighborhood” calls for primary recommended land uses which align with the proposed R-6 Zoning</p> <p>2. We do not find this petition to be reasonable and in the public interest based on the information from the staff analysis, public hearing and because:</p> <ol style="list-style-type: none"> R-6 zoning is out of character with the surrounding R-15 zoning <p style="text-align: center;">[DISCUSS & VOTE]</p>
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SUMMARY: The City of Hendersonville is in receipt of a Zoning Map Amendment application from Paco Hernandez of Paco Properties, LLC (owner) for two parcels (PINs: 9578-36-6473 & 9578-36-8361) totaling 4.68 Acres located along Powell St in the Barker Heights area near Jackson Park. The properties are currently zoned R-15, Medium Density Residential. The petitioner is requesting that the two parcels be rezoned to R-6, High Density Residential.

The subject property is outside of the corporate city limits and located in the City's ETJ. As the crow flies, the properties are approximately 1 mile from downtown Hendersonville.

The R-6 Zoning District has a minimum lot size of 6,000 Sq Ft (10,000 Sq Ft for Duplex) and allows a density of 8.5 Units/Acre for Minor Planned Residential Development. The current R-15 Zoning District has a minimum lot size of 15,000 Sq Ft (22,500 Sq Ft for Duplex) and allows a density of 3.75 Units/Acres for Minor PRD.

If rezoned, there will not be a binding site plan, list of uses or conditions placed on the site. All permitted uses within the R-6 district would be allowed on the site. The City of Hendersonville Zoning Ordinance states that, during a standard rezoning process, an applicant is prohibited from discussing the specific manner in which they intend to develop or use a site.

PROJECT/PETITIONER NUMBER:	P24-17-RZO
PETITIONER NAME:	<ul style="list-style-type: none">o Pascual Hernandez [Applicant]o Paco Properties, LLC.[Owner]
ATTACHMENTS:	<ol style="list-style-type: none">1. Staff Report2. Spot Zoning Analysis3. Use Comparison4. Draft Ordinance5. Proposed Zoning Map

STANDARD REZONING: HOPE CREEK & POWELL (P24-17-RZO)
CITY OF HENDERSONVILLE - COMMUNITY DEVELOPMENT STAFF REPORT

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DRAFT COMPREHENSIVE PLAN CONSISTENCY AND REZONING REASONABLENESS STATEMENT 11



PROJECT SUMMARY

- Project Name & Case #:
 - Hope Creek +Powell St
 - P24-17-RZO

- Applicant & Property Owner:
 - Pascual Hernandez [Applicant]
 - Paco Properties, LLC.[Owner]

- Property Address:
 - 60 Hope Creek Ln
 - 184 Powell St

- Project Acreage:
 - 4.68 Acres

- Parcel Identification (PINS):
 - 9578-36-6473
 - 9578-36-8361

- Current Parcel Zoning:
 - R-15 Medium Density Residential

- Proposed Zoning District:
 - R-6 High Density Residential

- Future Land Use Designation:
 - High Intensity Neighborhood



SITE VICINITY MAP

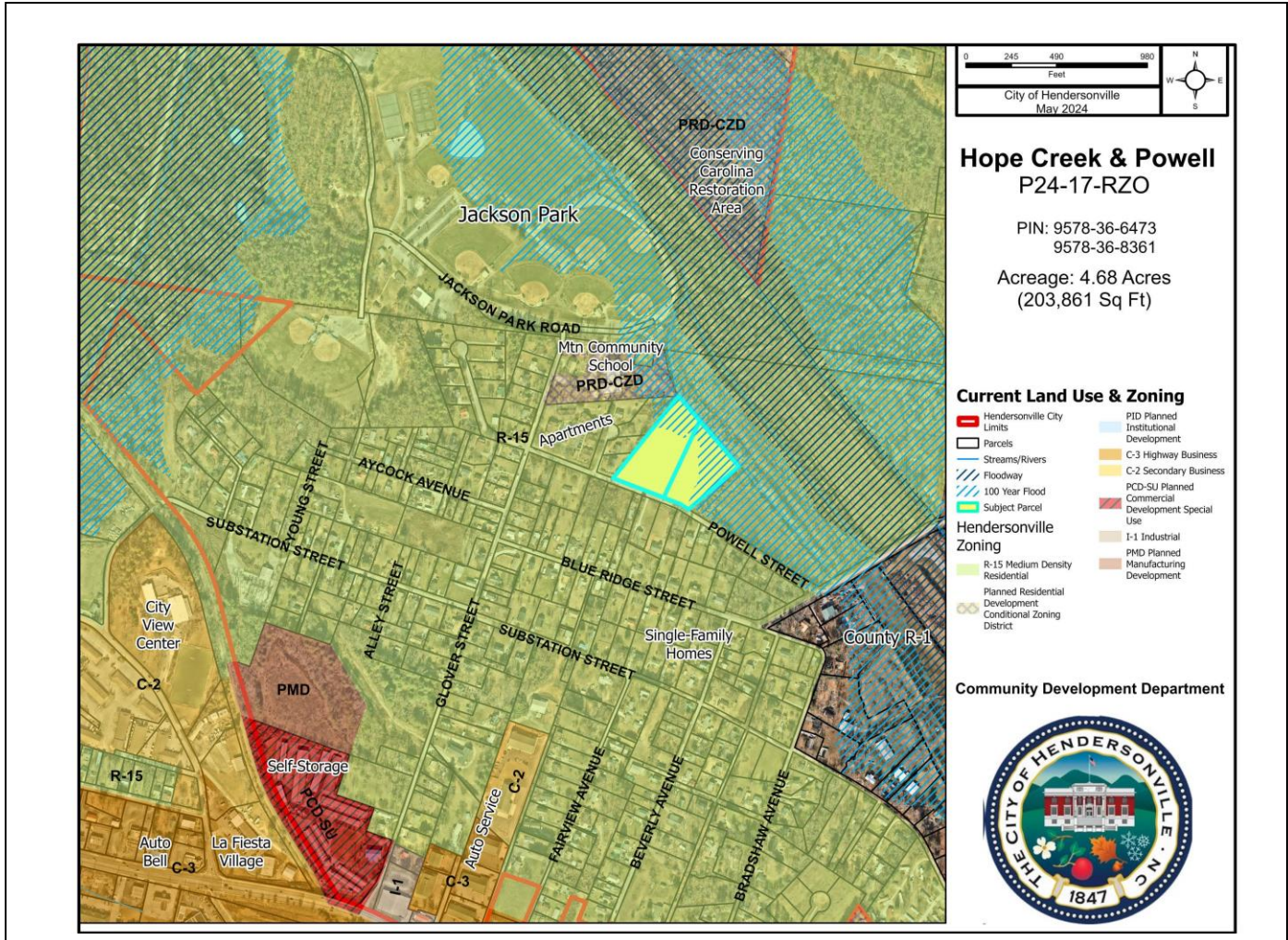
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EXISTING ZONING & LAND USE



City of Hendersonville Current Zoning & Land Use Map

The subject property is currently in the City’s Extraterritorial Jurisdiction (ETJ) and zoned R-15 Medium Density Residential. The property currently features a 5-unit multi-family structure, two single-family homes and an ADU. While the properties throughout surrounding area are primarily zoned R-15 and are comprised of single-family homes, there is a PRD-CZD adjacent to the subject property which is the site of Mountain Community School and a 32-unit multi-family development (Parkview Apartments) located one parcel to the west. The apartment complex has a density of 12 units/acre.

Powell St is a classified as a Secondary Route and maintained by NCDOT. The 2030 Comprehensive Plan considers Powell St a local street. Hope Creek Ln is a private drive.

An unnamed ditch, a tributary of King Creek, runs along the rear property line of the subject parcels. Approximately 1.89 Acres of the site is in the 100 Year Floodplain.

SITE IMAGES



View of Hope Creek Ln Property from Powell St



View from Hope Creek Ln Apartments driveway looking south towards Powell St

SITE IMAGES



View of single-family homes on subject property fronting Powell St



View of 5-unit multi-family structure on subject property (Hope Creek Ln.)

SITE IMAGES

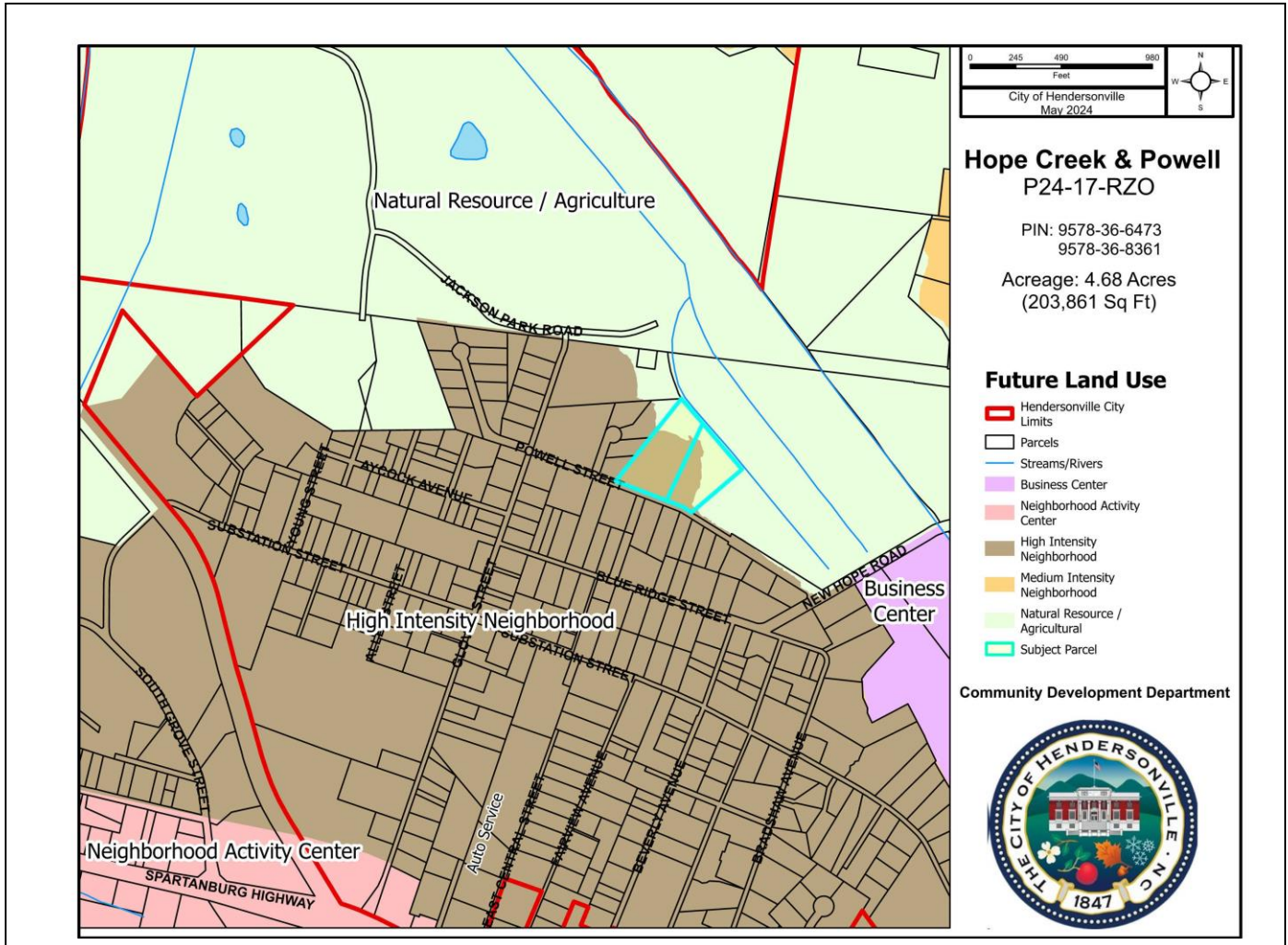


View of ADU on subject property with floodplain in the background.



View of ditch / tributary at the rear of the subject property

FUTURE LAND USE



City of Hendersonville Future Land Use Map

The City’s 2030 Comprehensive Plan designates the subject property as High Intensity Neighborhood in the City’s Future Land Use Map.

Adjacent parcels to the south are also designated High Intensity Neighborhood. Parcels. Properties to the north are designated as Natural Resource / Agriculture and include Jackson Park and the King Creek / Bat Fork Floodplain.

Other nearby Future Land Use designations include Neighborhood Activity Center located along nearby Spartanburg Highway and the Hendersonville Airport property to the southeast is designated as Business Center.

REZONING ANALYSIS – COMPREHENSIVE PLAN CONSISTENCY (ARTICLE 11-4)

GENERAL REZONING STANDARDS: COMPREHENSIVE PLAN CONSISTENCY	
Future Land Use	<p>A portion of the subject property is designated as High Intensity Neighborhood on the <i>Future Land Use Map</i>. Goal LU-7 Encourage low-maintenance, high density housing that supports Neighborhood and Regional Activity Centers and downtown and provides a transition between commercial and single-family development. [CONSISTENT]</p>
	<p>Strategy LU-7-1. Locations:</p> <ul style="list-style-type: none"> • Priority infill development areas where high-density development is desirable and/or expected including boulevards and major thoroughfares near neighborhood activity centers [CONSISTENT]
	<p>Strategy LU-7.2. Primary recommended land uses:</p> <ul style="list-style-type: none"> • Single-family attached and multifamily residential, planned residential developments, and open space [CONSISTENT] • Planned Residential Developments [CONSISTENT] • Open Space [CONSISTENT]
	<p>Strategy LU-7-4 Development guidelines:</p> <ul style="list-style-type: none"> • Eight or more units per gross acre [CONSISTENT] • Architectural guidelines to encourage compatibility between different land uses [INCONSISTENT] • Encouragement of walkable neighborhood design [INCONSISTENT] <p>At least 60% open space in new residential developments of greater than 3 acres [INCONSISTENT]</p>
	<p>A portion of the subject property is designated as Natural Resource / Agricultural on the <i>Future Land Use Map</i>. Goal LU-4 Create an interconnected network of green infrastructure that preserves environmentally sensitive areas, protects water resources through low-impact stormwater management, provides floodwater storage, provides community open space and recreational opportunities, and preserves agricultural resources. [CONSISTENT]</p>
	<p>Strategy LU-4.2. Primary recommended land uses: Flood Storage [CONSISTENT]</p>
	<p>Strategy LU-4.3. Secondary recommended land uses: Single-family attached and detached structures [CONSISTENT]</p>
	<p>The subject property is designated as a <i>Priority Infill</i> on the <i>Growth Management Map 8.3a</i>.</p>
	<p>The subject property is primarily designated as a <i>Development Opportunity</i> on the <i>Development Framework Map</i>.</p>
	Land Use & Development
<p>Goal LU-2. Discourage development in areas needed for protection of natural and agricultural resources and protection of citizens from natural hazards.</p>	
<p>Goal LU-3. Promote orderly development, annexation and expansion of Hendersonville’s Extra-Territorial Jurisdiction (ETJ).</p>	
Population & Housing	<p>Strategy PH-1.1. Promote compatible infill development</p>

	Strategy PH 3.2 – Encourage mixed land use patterns that place residents within walking distance of services.
Natural Resources	Strategy NR-1.1 - Discourage and reduce development of structures and impervious surfaces within the FEMA Floodway and 100- Year Floodplain
	Strategy NR-1.2. Protect land adjacent to streams in order to protect water quality, reduce erosion, and protect wildlife habitat.
	Strategy NR-2.1. Encourage clustered development that preserves open space while allowing a return on investment.
Cultural & Historic Resources	No Goals, Strategies or Actions are directly applicable to this project.
Community Facilities	No Goals, Strategies or Actions are directly applicable to this project.
Water Resources	Strategy WR-2.2.- Prevent development of floodplains and stream corridors in order to preserve natural drainage patterns and improve the quality of stormwater runoff.
Transportation & Circulation	No Goals, Strategies or Actions are directly applicable to this project.

REZONING ANALYSIS – GENERAL REZONING STANDARDS (ARTICLE 11-4)

GENERAL REZONING STANDARDS	
Compatibility	Whether and the extent to which the proposed amendment is compatible with existing and proposed uses surrounding the subject property –
	The Barker Heights area is predominantly single-family with a mixture of apartment buildings and civic uses. A nearby apartment complex has a density of 12 units/acre. The proposed small lot single-family zoning is not incongruous with the character of the area.
Changed Conditions	Whether and the extent to which there are changed conditions, trends or facts that require an amendment -
	The rising cost and shortage of housing in Hendersonville continues to be an issue facing the community. One strategy for addressing this issue has been to utilize land within the city core to accommodate infill development in areas served by existing infrastructure.
Public Interest	Whether and the extent to which the proposed amendment would result in a logical and orderly development pattern that benefits the surrounding neighborhood, is in the public interest and promotes public health, safety and general welfare -
	Additional residential development within the City would provide needed housing.
Public Facilities	Whether and the extent to which adequate public facilities and services such as water supply, wastewater treatment, fire and police protection and transportation are available to support the proposed amendment
	The site will be served by City water and sewer service. If annexed, the subject property will be served by City emergency response and public works. Powell St is designated as a local street in the comprehensive transportation plan and is maintained by NCDOT. Hope Creek Ln is a private drive.
Effect on Natural Environment	Whether and the extent to which the proposed amendment would result in significantly adverse impacts on the natural environment including but not limited to water, air, noise, storm water management, streams, vegetation, wetlands and wildlife -
	An unnamed ditched tributary of King Creek runs along the rear property line of the subject property, making the property subject to the Zoning Code Stream Buffer protections. Additionally, a substantial portion of the property is encumbered by Floodplain. Approximately 1.89 Acres of the site is in the 100 Year Floodplain and would be subject to the Zoning Code Floodplain Protection Standards as well as the City’s Flood Damage Prevention Ordinance. The subject property contains no portions of the Floodway.

The petition is found to be **consistent** with the City of Hendersonville 2030 Comprehensive Plan based on the information from the staff analysis and the public hearing, and because:

The Goals & Strategies of LU-7 “High-Intensity Neighborhood” calls for primary recommended land uses which align with the proposed R-6 Zoning.

We **[find/do not find]** this petition to be reasonable and in the public interest based on the information from the staff analysis and the public hearing, and because:

DRAFT [Rationale for Approval]

- *R-6 zoning aligns with and maintains the primary single-family character of the neighborhood*
- *R-6 zoning allows for a more efficient use of land.*
- *R-6 zoning is less dense than some existing land uses in proximity of the subject property.*

DRAFT [Rationale for Denial]

- *R-6 zoning is out of character with the surrounding R-15 zoning*

The UNC School of Government provides a [Legal Summary on the issue of Spot Zoning](#) (David Owens, May 2023). According to the Legal Summary, Spot Zoning was defined in the “Blades v City of Raleigh” case as follows:

A zoning ordinance, or amendment, which singles out and reclassifies a relatively small tract owned by a single person and surrounded by a much larger area uniformly zoned, so as to impose upon the smaller tract greater restrictions than those imposed upon the larger area, or so as to relieve the small tract from restrictions to which the rest of the area is subjected, is called “spot zoning”.

However, as long as Spot Zoning is not “arbitrary and capricious” and can be deemed reasonable, then it is likely to be upheld under judicial scrutiny. “As a general rule, legislative decision regarding zoning - decisions to adopt, amend, or repeal a zoning ordinance - are presumed to be valid, and the judiciary largely defers to the judgment of local elected officials on such matters [Appeal of Parker]. In *Chrisman v. Guilford County*, the court tested this presumption and stated that the validity of a spot zoning had to be tied to a reasonable basis for supporting the decision. This is the origin of why a “reasonableness statement” accompanies all rezoning motions.

In this case, understanding that spot zoning typically “projects an inharmonious land use pattern” is important to remember [Chrismon], “It is not spot zoning where the difference in the zoning districts is very modest [Owens].

The Legal Summary by Owens goes on to provide criteria for considering the legality of “Spot Zoning”. The additional scrutiny that spot zoning receives is based on the following:

1. The size and physical attributes of the site;
2. The benefits and detriments to the landowner, the neighbors, and the community;
3. How the actual and previously permitted uses of the site relate to newly permitted uses;
4. Any changed conditions warranting the amendment; and
5. Other factors affecting the public interest

Spot Zoning Definition Analysis | Below is an analysis of the Spot Zoning definition as it relates to the proposed rezoning of 60 Hope Creek Ln & 184 Powell St:

- Does the amendment single out and reclassify a relatively small tract?
 - The subject property is 4.68 Acres.
- Is the tract owned by a single person?
 - There is one property owner: Pascual Hernandez
- Is the tract surrounded by a larger area uniformly zoned?
 - The R-15 zoning district associated with the subject property, from a broad perspective, encompasses a contiguous area that is approximately 1,000 Acres. The R-15 district straddles the east and west sides of Mud Creek including large areas of floodplain and Jackson Park. If you eliminate the floodplain and Jackson Park and consider only those properties that share the transportation network west of Mud Creek, the R-15 District is 250 acres.
 - A PRD district is adjacent to the subject property.
 - A Multi-Family Apartment Complex is one parcel removed (0.03 miles) from the subject property.
 - There is a Multi-Family Apartment building on the subject property.
- Does the amendment relieve the small tract from restrictions to which the rest of the area is subjected?
 - Allows for reduced dimensional standards (i.e. lot size, setbacks) and an increase in density

Spot Zoning Criteria Analysis | Below is an analysis of the Spot Zoning criteria as it relates to the proposed rezoning of 60 Hope Creek Ln & 184 Powell St:

1. Size and physical attributes of the site:

- The subject property is 4.68 Acres.
- 1.89 acres of the subject property are in the 100-Year Floodplain.

2. Benefits and Detriments to the Landowner, the Neighbors, and the Community:

- The benefit to the landowner would be a density increase from 3.75 Units/Acre to 8.5 Units/Acre (using Minor PRD as max density).
- On a 4.68 Acre site this would allow for 39 units instead of 17 units. There are 8 units on the property currently. Increase in density would allow for better utilization of land given the presence of floodplain.
- Detriments to the neighboring landowners could be that the maximum increase of additional dwelling units would increase associated noise, light and traffic impacts. However, the subject property only has neighbors on one side due to the floodplain.
- The benefit to the community would be an increase in housing units to address housing shortage.
- Many parcels in the surrounding neighborhood do not meet the minimum lot size of 15,000 Sq Ft but would be conforming under R-6.

3. Actual and Previously Permitted Uses of the Site in Relation to Newly Permitted Uses:

- Both districts are primarily single-family/two-family zoning districts with 9,000 Sq Ft difference in minimum lot size for a single-family home.
- As recently as 1997, the site could have been developed at a density of 12 Units/Acre.
- The legal land uses in R-15 and R-6 are identical with minor exceptions. 'Neighborhood Community Center' is a Permitted Use in R-6 but not in R-15. Under Special Uses, Cemeteries are allowed in R-15 not in R-6 and Residential Care Facilities are a Special Use in R-6 not in R-15.

4. Changed Conditions Warranting the Amendment:

- In 1997 the Apartment Complex at the corner of Powell St and Glover St was constructed.
- In the late 1990s, the R-15 "Medium Density" Zoning District was changed from allowing multi-family uses at a rate of 12 Units/Acre to only permitting single-family and two-family residential.

5. Other Factors Affecting the Public Interest.

- Compatibility with Plan – The 2030 Comp Plan Future Land Use Map designates this area as 'High Intensity Neighborhood' which recommends a densities of 8 Units / Acre or greater. R-15 currently allows 3.75 Units/Acre while R-6 would permit 8.5 Units/Acre.
- Compatibility with the Comprehensive Plan is one of the six criteria required by City Ordinance for consideration with rezonings (Section 11-4).

Staff Analysis | Based on this analysis, staff believes this petition would be categorized as Spot Zoning because it benefits a single property owner/household and because it is just two parcels totaling 4.68-acres and surrounded by a larger area that is primarily zoned R-15. However, based on the other considerations, it is staff's opinion that the proposed rezoning would be considered a valid rezoning for the following reasons:

- Changed condition involving a text amendment (September 1997) which reduced the permitted densities in the R-15 district (reduced single-family attached density from 6 units/acre to 3.75 units/acre and eliminated multi-family uses which had been allowed up to 12 units/acre).
- Only marginal difference between the proposed zoning (R-6) and the existing zoning (R-15).
- Permitted uses in R-6 are not out of character with the surrounding area.
- The rezoning would not be considered detrimental to the neighborhood character due to existing densities in the area and the fact that many of the existing lots would be more conforming under R-6 zoning than they are under R-15 zoning.

This "spot zoning analysis" compliments, but does not replace the 6 criteria that are required for consideration according to Section 11-4 of the City's Zoning Code.

<p><u>R-15 Medium Density Residential (Current)</u> Same in both districts Different from proposed district</p>	<p><u>R-6 High Density Residential (Proposed)</u> Same in both districts Different from current district</p>
<p>Permitted Uses:</p> <ul style="list-style-type: none"> • Accessory dwelling units, subject to supplementary standards contained in section 16-4, below • Accessory structures • Adult care homes so long as the use is clearly incidental to the residential use of the dwelling and does not change the essential residential character of the dwelling • Camps • Child care homes so long as the use is clearly incidental to the residential use of the dwelling and does not change the essential residential character of the dwelling • Home occupations • Parks • Planned residential developments (minor), subject to the requirements of Article VII, below • Religious institutions containing no more than 50,000 square feet of gross floor area • Residential dwellings, single-family • Residential dwellings, two-family • Signs, subject to the provisions of article XIII • Telecommunications antennas, subject to supplementary standards contained in section 16-4, below. <p>Special Uses:</p> <ul style="list-style-type: none"> • Bed and breakfast facilities • Cemeteries • Public utility facilities • Schools, primary & secondary, containing no more than 50,000 square feet of gross floor area 	<p>Permitted Uses:</p> <ul style="list-style-type: none"> • Accessory dwelling units, subject to Supplementary Standards contained in Section 16-4, below • Accessory structures • Adult care homes so long as the use is clearly incidental to the residential use of the dwelling and does not change the essential residential character of the dwelling • Camps • Child care homes so long as the use is clearly incidental to the residential use of the dwelling and does not change the essential residential character of the dwelling • Home occupations • Neighborhood community centers • Parks • Planned residential developments (minor), subject to the requirements of Article VII, below • Religious institutions containing no more than 50,000 square feet of gross floor area • Residential dwellings, single-family • Residential dwellings, two-family • Signs, subject to the provisions of Article XIII • Telecommunications antennas, subject to Special Use requirements contained in Section 16-4, below. <p>Special Uses:</p> <ul style="list-style-type: none"> • Bed and breakfast facilities • Public utility facilities • Residential care facilities • Schools, primary & secondary, containing no more than 50,000 square feet of gross floor area

<p align="center"><u>R-5 Medium Density Residential</u> Same in both districts Different from current district</p>	<p align="center"><u>R-6 High Density Residential</u> Same in both districts Different from proposed district</p>
<p>Dimensional Requirements: Minimum Lot Area in Square Feet: 15,000 Lot Area per Dwelling Unit in Square Feet: 15,000; 7,500 (for one additional dwelling unit) Minimum Lot Width at Building Line in Feet: 85 Minimum Yard Requirements in Feet: Principal Structure: Front: 30 Side: 10 Rear: 15 Accessory Structures: Front: 30 Side: 5 Rear: 5 Maximum Height in Feet: 35</p>	<p>Dimensional Requirements: Minimum Lot Area in Square Feet: 6,000 Lot Area per Dwelling Unit in Square Feet: 6,000; 4,000 (for one additional dwelling unit) Minimum Lot Width at Building Line in Feet: 50 Minimum Yard Requirements in Feet: Principal Structure: Front: 20 Side: 8 Rear: 10 Accessory Structures: Front: 20 Side: 5 Rear: 5 Maximum Height in Feet: 35</p>

Ordinance # ____ - ____

AN ORDINANCE OF THE CITY OF HENDERSONVILLE CITY COUNCIL TO AMEND THE OFFICIAL ZONING MAP OF THE CITY OF HENDERSONVILLE FOR CERTAIN PARCELS (POSSESSING PIN NUMBERS 9578-36-6473, 9578-36-8361) BY CHANGING THE ZONING DESIGNATION FROM R-15 MEDIUM DENSITY RESIDENTIAL TO R-6, HIGH DENSITY RESIDENTIAL

IN RE: Parcel Numbers: 9578-36-6473, 9578-36-8361
Hope Creek + Powell St (File # P24-17-RZO)

WHEREAS, the Planning Board took up this application at its regular meeting on April 11th, 2024; voting [redacted] to recommend City Council adopt an ordinance amending the official zoning map of the City of Hendersonville, and

WHEREAS, City Council took up this application at its regular meeting on May 2nd, 2024, and

WHEREAS, City Council has found that this zoning map amendment is consistent with the City’s comprehensive plan, and that it is reasonable and in the public interest for the reasons stated, and

WHEREAS, City Council has conducted a public hearing as required by the North Carolina General Statutes on May 2nd, 2024,

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Hendersonville, North Carolina:

1. Pursuant to Article XI of the Zoning Ordinance of the City of Hendersonville, North Carolina, the Zoning Map is hereby amended by changing the zoning designation of the following: Parcel Numbers: 9578-36-6473, 9578-36-8361, By Changing the zoning designation from R-15 Medium Density Residential to R-6, High Density Residential.
2. Any development of this parcel shall occur in accordance with the Zoning Ordinance of the City of Hendersonville, North Carolina.
3. This ordinance shall be in full force and effect from and after the date of its adoption.

Adopted this 2nd day of May 2024.

Attest: Barbara G. Volk, Mayor, City of Hendersonville

Jill Murray, City Clerk

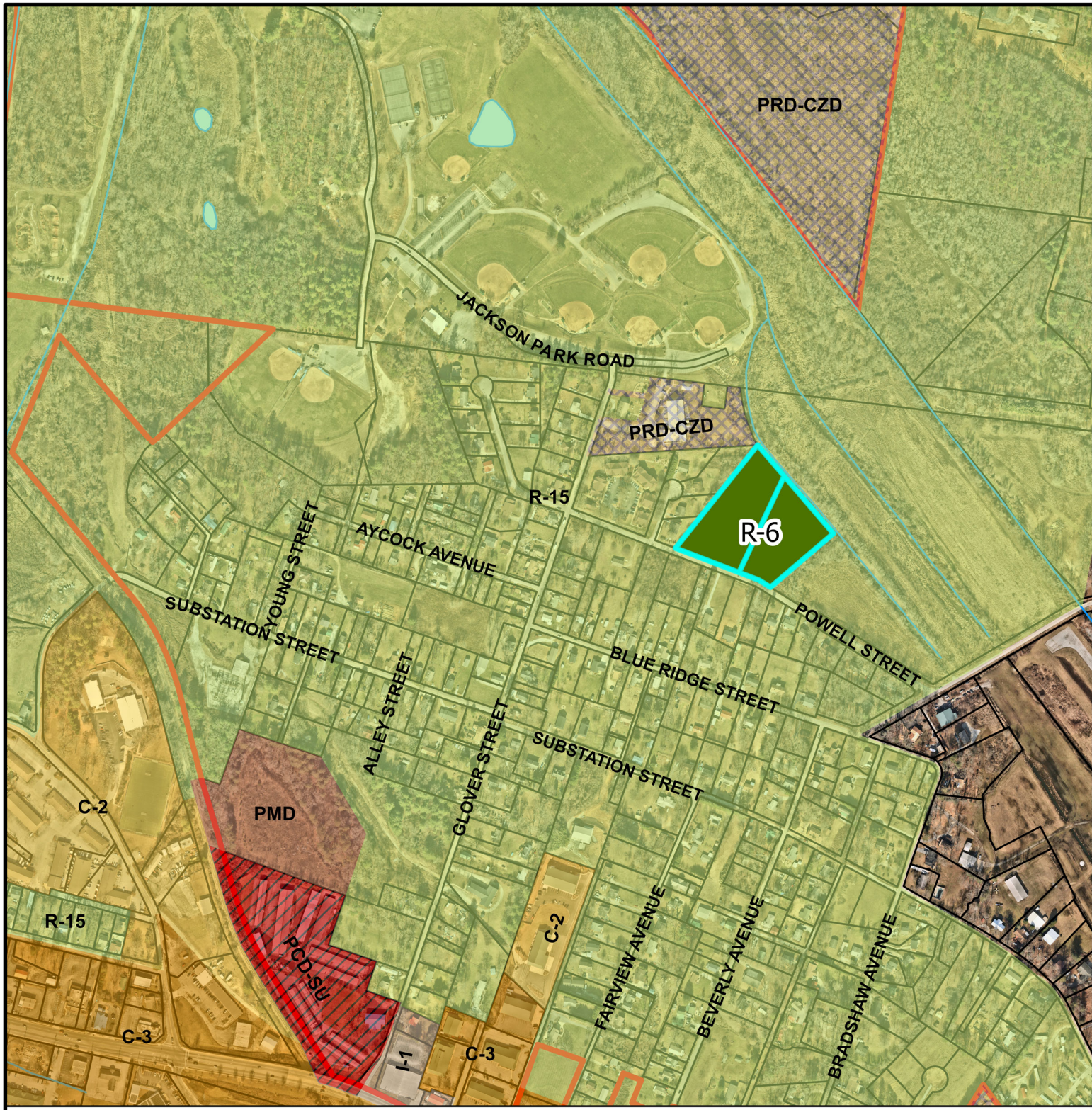
Approved as to form:

Angela S. Beeker, City Attorney

Hope Creek & Powell P24-17-RZO

PIN: 9578-36-6473
 9578-36-8361

Acreage: 4.68 Acres
 (203,861 Sq Ft)



Proposed Zoning

- | | |
|---|---|
| Hendersonville City Limits | PID Planned Institutional Development |
| Parcels | C-3 Highway Business |
| Streams/Rivers | C-2 Secondary Business |
| Subject Parcel | PCD-SU Planned Commercial Development Special Use |
| R-15 Medium Density Residential | I-1 Industrial |
| Planned Residential Development Conditional Zoning District | PMD Planned Manufacturing Development |
| | R-6 High Density Residential |

Community Development Department





**CITY OF HENDERSONVILLE
AGENDA ITEM SUMMARY
PLANNING DIVISION**

SUBMITTER: Matthew Manley, Planning Manager

MEETING DATE: April 11, 2024

AGENDA SECTION: New Business

DEPARTMENT: Community Development

TITLE OF ITEM: Rezoning: Conditional Zoning District – Osceola Inn Adaptive Reuse (P23-70-CZD) – *Matthew Manley, AICP – Planning Manager*

SUGGESTED MOTION(S):

For Recommending Approval:

I move Planning Board recommend City Council **adopt** an ordinance amending the official zoning map of the City of Hendersonville changing the zoning designation of the subject property (PIN: 9568-31-5964) from R-15 (Medium Density Residential) to R-15 CZD (Medium Density Residential - Conditional Zoning District) based on the site plan and list of conditions submitted by and agreed to by the applicant, [dated February 5, 2024,] and presented at this meeting and subject to the following:

1. The development shall be consistent with the site plan, including the list of applicable conditions contained therein, and the following permitted uses

Permitted Uses:

1. Adaptive Reuse
 - o Hotel
 - 20 Guest Rooms
 - Event & Conference Space
 - Café
 - o Residential, Multi-Family
 - 26 - 1 & 2 Bedroom Units

*[for amendments to uses or conditions discussed and agreed upon in the meeting (between City & Developer) and not yet represented on the site plan, please use #2 below - **if no amendments are made in the meeting, disregard #2 below and skip to next item using number in parentheses**]*

For Recommending Denial:

I move Planning Board recommend City Council **deny** an ordinance amending the official zoning map of the City of Hendersonville changing the zoning designation of the subject property (PIN: 9568-31-5964) from R-15 (Medium Density Residential) to R-15 CZD (Medium Density Residential - Conditional Zoning District) based on the following:

1. The petition is found to be consistent with the City of Hendersonville 2030 Comprehensive Plan, but inconsistent with the Future Land Use Designation, based on the information from the staff analysis and the public hearing, and because:

The adaptive reuse of an historic structure aligns with strategies in the 2030 Comprehensive Plan including Strategy CR-1.5, however the Medium Intensity Neighborhood Future Land Use designation does not recommend any commercial uses or multi-family uses on local streets.

2. We do not find this petition to be reasonable and in the public interest based on the information from the staff analysis, public hearing and because:

1. The proposed hotel and multi-family uses are incompatible with the surrounding single-family homes.
2. The proposed use would generate excess traffic on local streets.

[DISCUSS & VOTE]

2. (skip if not applicable) Permitted uses and applicable conditions presented on the site plan shall be amended to include:

- a.
- b.

3(2). The petition is found to be consistent with the City of Hendersonville 2030 Comprehensive Plan based on the information from the staff analysis and because:

The adaptive reuse of an historic structure aligns with strategies in the 2030 Comprehensive Plan including Strategy CR-1.5.

4(3). Furthermore, we find the petition to be inconsistent with the Future Land Use Map based on the following:

The Medium Intensity Neighborhood Future Land Use designation does not recommend any commercial uses or multi-family uses on local streets.

5(4). Therefore we recommend designating the Future Land Use of the parcel as:

Neighborhood Activity Center where multi-family residential, pedestrian amenities (plazas, outdoor seating, etc.) and mixed uses are secondary recommended land uses.

6(5). We find this petition to be reasonable and in the public interest based on the information from the staff analysis, public hearing and because:

1. The proposed use satisfies the Supplementary Standards for ‘Adaptive Reuse’.
2. The proposed use as a hotel aligns with the original use of the property.
3. The historic structure and its use as an inn predate the surrounding single-family land uses.
4. The scale of the proposed reuse will not negatively impact the surrounding neighborhood.
5. The proposed rezoning will allow for preservation of the historic structure, into which reinvestment is greatly needed.

[DISCUSS & VOTE]

SUMMARY: The City of Hendersonville is in receipt of an application for a Conditional Zoning District from Fiona McColley of BL Corp of NC for the property located at 159 Osceola Rd (PIN: 9568-31-5964). The current zoning of the historic property is R-15 in the ETJ. The applicant is requesting to reuse the existing Osceola Inn for a 20-room hotel

with conference/event space and café and 26-multi-family long-term apartment/condo units. This is considered an ‘Adaptive Reuse’ which is permitted in the R-15 Conditional Zoning District (CZD).

The 3.75 Acre property and its associated structures would be rehabilitated. No new buildings are proposed to be constructed. The current site arrangement accommodates 42 parking spaces. The applicant will expand parking as needed (min 53) up to the amount shown on the site plan (67). Tree credits will be used to meet landscaping requirements. The existing Bradford Pears on the property are proposed to be removed.

The Inn was originally constructed in 1909 and was utilized for its original purpose until the early 2000s. Most recently the historic structure served as Heartwood Refuge which was categorized as Religious Institution. The R-15 zoning was likely applied when the surrounding area was added to the City’s ETJ in 1996.

PROJECT/PETITIONER NUMBER:	P23-70-CZD
PETITIONER NAME:	Fiona McColley, BL Corp of NC [Applicant / Owner]
ATTACHMENTS:	<ol style="list-style-type: none"> 1. Staff Report 2. Proposed Site Plan 3. Neighborhood Compatibility Summary 4. Draft Ordinance 5. Proposed Zoning Map 6. Application / Owner Signature Addendum

REZONING: CONDITIONAL REZONING – OSCEOLA INN ADAPTIVE REUSE (P23-70-CZD)
CITY OF HENDERSONVILLE - COMMUNITY DEVELOPMENT STAFF REPORT

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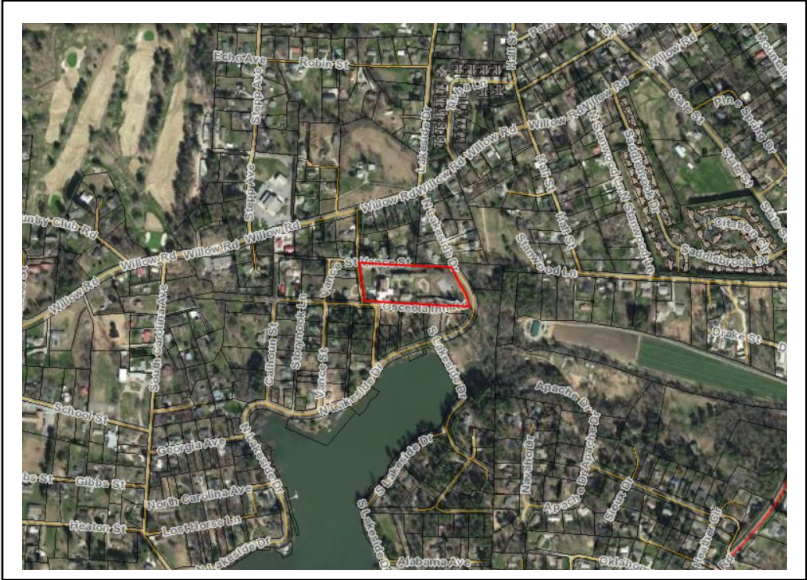
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PROJECT SUMMARY

- Project Name & Case #:
 - Osceola Inn Adaptive Reuse
 - P23-70-CZD
- Applicant & Property Owner:
 - Fiona McColley, BL Corp of NC [Applicant / Owner]
- Property Address:
 - 159 Osceola Road
- Project Acreage:
 - 3.75 Acres
- Parcel Identification (PIN):
 - 9568-31-5964
- Current Parcel Zoning:
 - R-15, Medium Density Residential
- Requested Zoning:
 - R-15 CZD, Medium Density Residential Conditional Zoning District
- Requested Uses:
 - Adaptive Reuse
 - 26 Multi-Family Units
 - 20 Room Hotel with Event Center and Cafe
- Future Land Use Designation:
 - Medium Intensity Neighborhood
- Proposed Future Land Use Designation
 - Neighborhood Activity Center
- Neighborhood Compatibility Meeting:
 - August 31, 2024
- Tree Board Meeting:
 - March 19, 2024



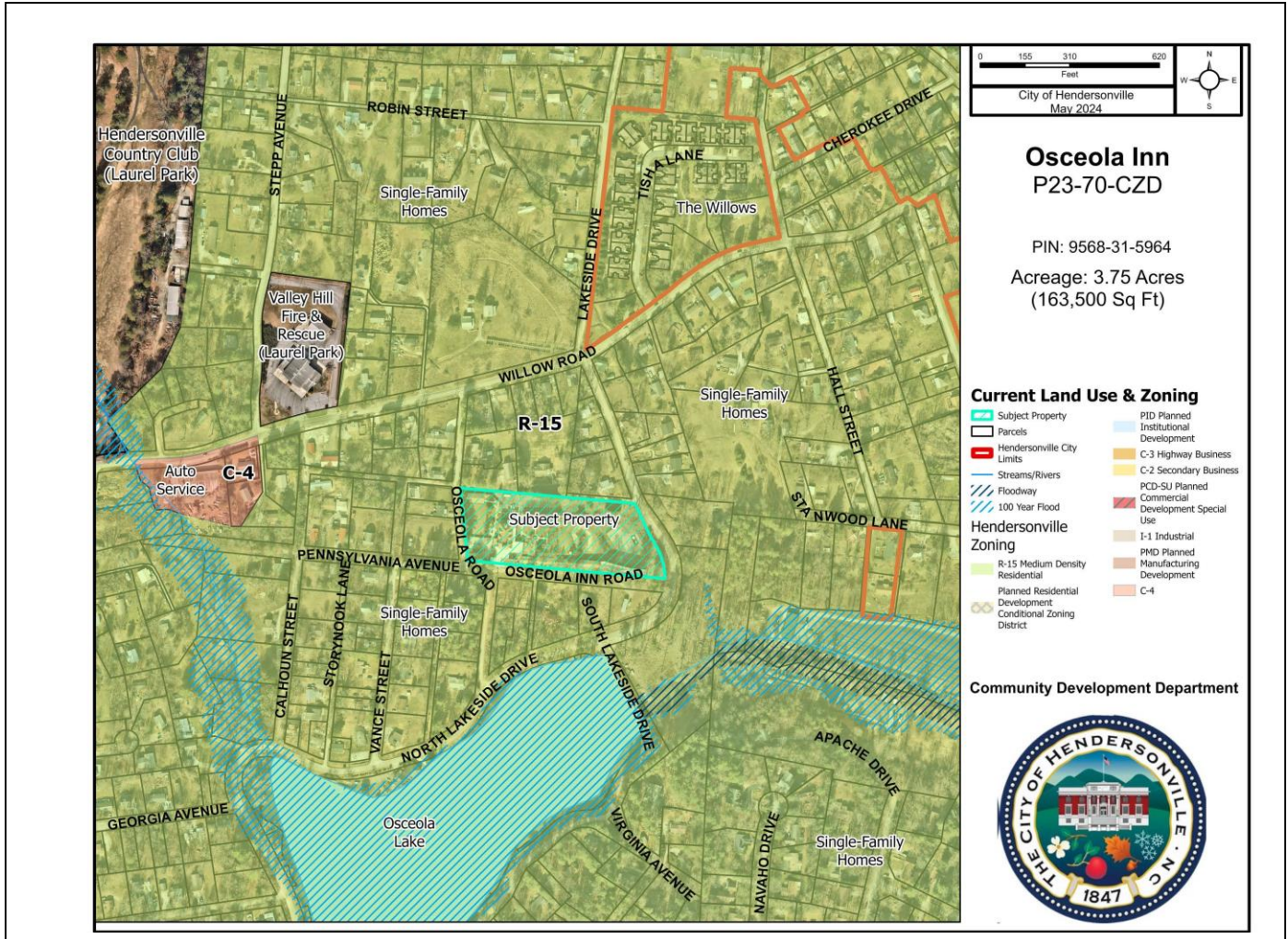
SITE VICINITY MAP

The City of Hendersonville is in receipt of an application for a Conditional Zoning District from Fiona McColley of BL Corp of NC for the property located at 159 Osceola Rd (PIN: 9568-31-5964). The current zoning of the historic property is R-15 in the ETJ. The applicant is requesting to reuse the existing Osceola Inn for a 20-room hotel with conference/event space and café and 26-multi-family units. This is considered an ‘Adaptive Reuse’ which is permitted in the R-15 Conditional Zoning District (CZD).

The 3.75 Acre property and its associated structures would be rehabilitated. No new buildings are proposed to be constructed. The current site arrangement accommodates 42 parking spaces. The applicant will expand parking as needed (min. 53 spaces) up to the amount shown on the site plan (67 spaces). Tree credits will be used to meet landscaping requirements. The existing Bradford Pears on the property are proposed to be removed.

The Inn was originally constructed in 1909 and was utilized for its original purpose until the early 2000s. Most recently the historic structure served as Heartwood Refuge which was categorized as Religious Institution. The R-15 zoning was likely applied when the surrounding area was added to the City’s ETJ in 1996.

EXISTING ZONING & LAND USE



City of Hendersonville Current Zoning & Land Use Map

The subject property is currently zoned R-15 in the City's Extraterritorial Jurisdiction (ETJ). The property is located .1 miles from the City of Hendersonville corporate limits and .1 miles from the Valley Hill Fire Dept - a satellite parcel within the jurisdiction of Laurel Park.

The area around the subject property is dominated by R-15 zoning with one parcel on Willow Rd zoned C-4. Uses in the surrounding neighborhood are predominately single-family residential with some agriculture, recreation, small commercial and civic uses in the vicinity.

The floodplain of Tony's Creek > Osceola Lake > Shepherd Creek is in proximity to the subject property. The subject property is sited on high ground above Osceola Lake. The historic inn, the lake and the lake's dam are significant landmarks in the area.

SITE IMAGES



View of principal building at subject property (facing northeast)



View of east side of principal structure from interior courtyard (facing west)

SITE IMAGES



Facing north. View of rear of south wing and some existing parking



Facing west. View of south wing in the foreground (left). North wing in background (right).

SITE IMAGES



View of fenced tennis court area. Up hill to the far left is location of filled-in swimming pool.



View of interior courtyard. Row of Bradford Pears to be removed.

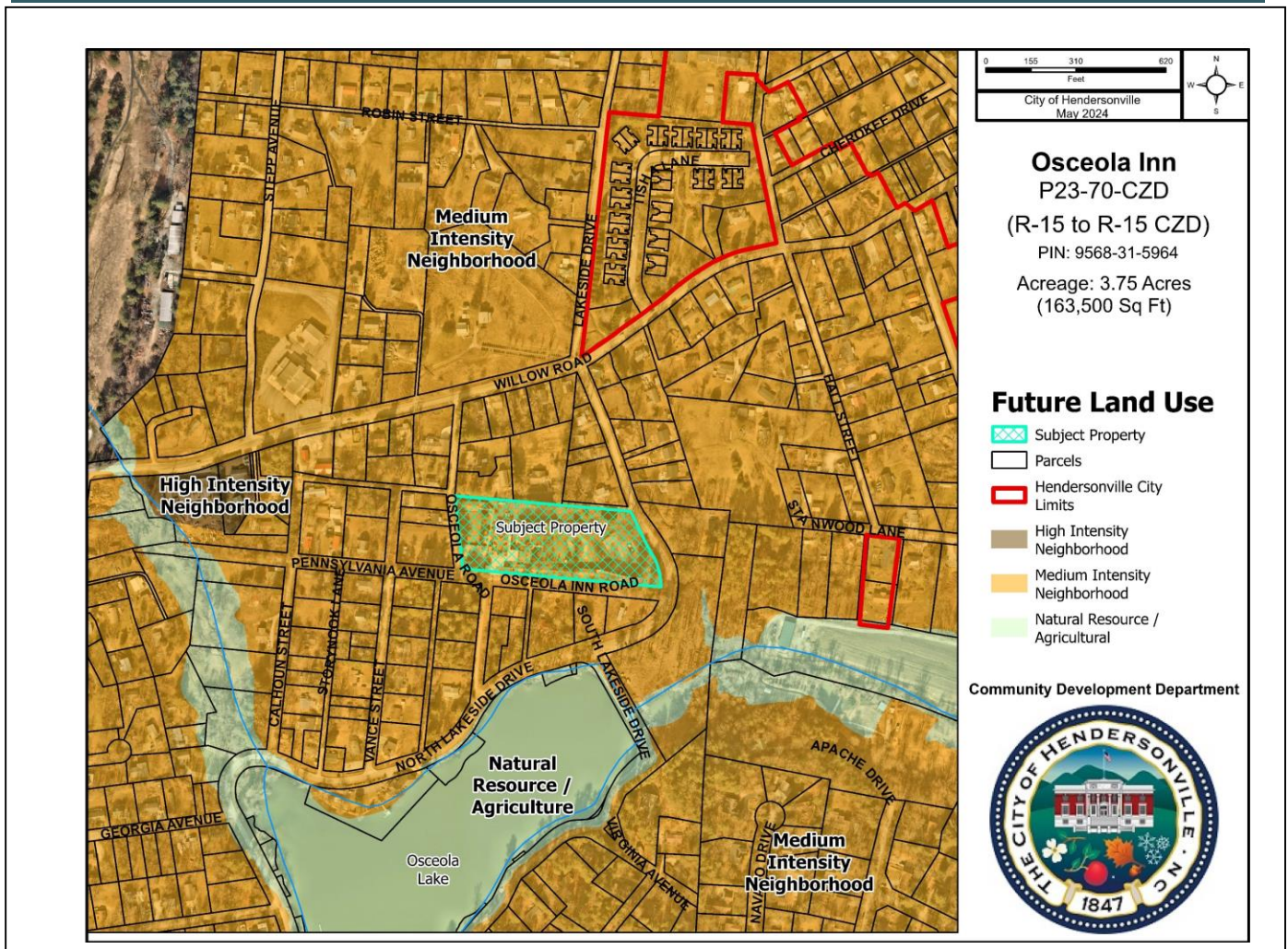


View from subject property of N Lakeside Dr (foreground) and Johnson Farm located along Shepherd Creek downstream of Osceola Lake (background).



View of Osceola Lake from N. Lakeside Dr at Osceola Rd.

FUTURE LAND USE



City of Hendersonville Future Land Use Map

According to the City of Hendersonville’s 2030 Comprehensive Plan, the subject property is designated as Medium Intensity Neighborhood. Furthermore, the 2030 Future Land Use Map indicates that the sector of the City where the subject property is located has an overwhelming preponderance of Medium Intensity Neighborhood with only a few exceptions.

One exception is the designation of Natural Resource/Agriculture which follows the Osceola Lake, the creeks which feed it and discharge from it, and the Johnson Farm to the east of the subject property.

The other exception is a small area designated as High Intensity Neighborhood on Willow Rd.

REZONING ANALYSIS – COMPREHENSIVE PLAN CONSISTENCY (ARTICLE 11-4)

GENERAL REZONING STANDARDS: COMPREHENSIVE PLAN CONSISTENCY	
Future Land Use	<p>The subject property is designated as <i>Medium Intensity Neighborhood</i> on the <i>Future Land Use Map</i>. Goal LU-6. Medium-Intensity Neighborhood. Provide a transition between High and Low-Intensity Neighborhood areas while providing a wide range of housing formats and price points. Promote walkable neighborhood design and compatible infill development in new neighborhoods and as a means of preserving and enhancing existing neighborhoods. [CONSISTENT]</p>
	<p>Strategy LU-6.2 Primary Land Uses:</p> <ul style="list-style-type: none"> • Single Family attached and detached [INCONSISTENT] • Open Space [CONSISTENT]
	<p>Strategy LU-6.3 Secondary Land Uses:</p> <ul style="list-style-type: none"> • Limited multi-family residential along roadways designated as Boulevards or Major Throughfares on the Future Land Use Map [INCONSISTENT] • Planned Residential Developments [INCONSISTENT]
	<p>Strategy LU-6.4 Development Guidelines:</p> <ul style="list-style-type: none"> • 2 to 8 Units per gross acre [CONSISTENT - 7 Units/Acre proposed] • At least 60% Open Space [CONSISTENT - Currently over 60% Open Space] • Architectural guidelines to encourage compatibility when different housing types abut one another (e.g. similar building height, massing, roof pitch, and rhythm of windows and façade detailing) [CONSISTENT - binding site plan includes preservation of existing structure]
Land Use & Development	<p>The property is designated as a “Preservation & Enhancement” on the Growth Management Map (Map 8.3a). “Developed areas in which few significant changes are expected, or undeveloped areas that are not considered a high priority for growth. The City should respond to development or redevelopment in these areas by maintaining and enhancing existing neighborhood character and maintaining consistency with Comprehensive Plan goals and strategies.” [CONSISTENT]</p>
Population & Housing	<p>Strategy PH-1.1. Promote compatible infill development.</p>
	<p>Strategy PH-1.2. Strictly enforce the International Property Maintenance Code to maintain the desirability of all city neighborhoods and maintain homeowner confidence</p>
	<p>Strategy PH-1.3. Facilitate the modernization of smaller, outdated units while preserving neighborhood character in order to maintain the viability of older neighborhoods</p>
	<p>Strategy PH-2.3. Allow housing arrangements in existing and new neighborhoods that provide affordable and/or multigenerational housing alternatives in single-family neighborhood.</p>
	<p>Strategy PH-3.2. Encourage mixed land use patterns that place residents within walking distance of services.</p>
Natural & Environmental Resources	<p>No Goals, Strategies or Actions are directly applicable to this project.</p>
Cultural & Historic Resources	<p>Strategy CR-1.5. Encourage rehabilitation of historic properties that modernizes amenities and layouts without compromising historic integrity.</p>

<p>Community Facilities</p>	<p><i>No Goals, Strategies or Actions are directly applicable to this project.</i></p>
<p>Water Resources</p>	<p><i>No Goals, Strategies or Actions are directly applicable to this project.</i></p>
<p>Transportation & Circulation</p>	<p><i>Strategy TC-1.1. - Encourage mixed-use, pedestrian-friendly development that reduces the need to drive between land uses.</i></p>

ZONING CODE REFERENCES

Adaptive Reuse is defined in Article XII of the Zoning Code as: *the development of a new use for an older building or buildings.*

Article XVI - Supplementary Standards, provides the following:

16-4-2 Adaptive reuses.

This section is intended to allow a means for the development of new uses for a building originally designed for a different use. It is intended to have application in two particular areas. The first is for the reuse of a structure which has been used historically for a use permitted in the zoning district classification but for which there is no longer any reasonable demand for such previous use. Example of this first class include church buildings and schools. The second class involves situations in which structures have been devoted historically to a nonconforming use, the owner of the property no longer desires to devote the property to that use or the use has ceased, and there is no reasonable likelihood that the property will revert to a use permitted in the zoning district classification.

Adaptive reuses may only be authorized by means of a rezoning to a conditional zoning district processed through the conditional zoning district requirements of article VII, above. In addition to the standards set forth therein, adaptive reuses must also meet the following special requirements:

- a) The developer proposes the reuse of a structure or structures used historically for a use permitted in the zoning district classification but for which there is no longer any reasonable demand for such previous use, or the developer proposes the reuse of a structure or structures used historically as nonconforming use and there is no reasonable likelihood that the property will revert to a use permitted in the zoning district classification.
- b) The developer shall state the precise nature of the proposed adaptive reuse, which shall be compatible with neighboring residential uses. If a special use permit is granted for the adaptive reuse, future use of the property shall be limited to the specified use unless 1) the use is changed to another use permitted in the zoning classification or 2) a new adaptive reuse is approved.
- c) The adaptive reuse shall be housed in an existing structure or structures.

- d) Such structures may be modified or expanded so long as the gross floor area is not increased by more than ten percent and so long as the appearance of the modification is in harmony with the neighboring residential uses.
- e) Off-street parking meeting the requirements of section 6-5, above, shall be provided. Such off-street parking shall be screened so that it is not readily visible from the street or from adjoining residential uses.
- f) The adaptive reuse may have one sign not exceeding four square feet in area.
- g) The developer shall propose, install and maintain landscaping which will assist in giving it a residential appearance.
- h) The adaptive reuse shall provide open space which shall be not less than 60 percent of the total area of the development parcel.
- i) Lighting for the adaptive reuse shall be no more than is necessary for safe use of the facility, and shall be designed and installed so that it is directed away from the roadway and any adjacent properties.
- j) Traffic generated by the adaptive reuse shall not be expected to cause an inconvenience to residents of the neighborhood.
- k) The developer shall propose hours of operation for the adaptive reuse which are designed to be compatible with neighboring residential uses. Such hours of operation shall become a condition of the special use permit, violation of which shall be grounds for revocation of the permit.

REZONING ANALYSIS – GENERAL REZONING STANDARDS (ARTICLE 11-4)

GENERAL REZONING STANDARDS	
Compatibility	Whether and the extent to which the proposed amendment is compatible with existing and proposed uses surrounding the subject property -
	Detached single-family homes make up the predominate land use in the vicinity of the subject property. However, the surrounding single-family neighborhood was constructed between the 1930s-1970s, well after the Inn and Lake were established. The Inn has been an existing landmark that has been a defining feature of the area since before the surrounding neighborhood existed. Compatibility will be ensured through reinvestment and rehabilitation of this historic landmark.
Changed Conditions	Whether and the extent to which there are changed conditions, trends or facts that require an amendment -
	The structure is in great need of repair. Certain sections are in extreme disrepair. Attempts to sell the property have been unsuccessful. Reinvestment is needed to preserve the structure. Revenue generating land uses are needed to fund reinvestment.
Public Interest	Whether and the extent to which the proposed amendment would result in a logical and orderly development pattern that benefits the surrounding neighborhood, is in the public interest and promotes public health, safety and general welfare -
	As an historic structure with architectural significance, preservation of the Osceola Inn would help to maintain a cultural asset for the community. Additional small-scale units would provide needed housing. The hotel, and its associated event space and café, would also serve as an appropriately-scaled driver of economic development in this portion of the City's ETJ.
Public Facilities	Whether and the extent to which adequate public facilities and services such as water supply, wastewater treatment, fire and police protection and transportation are available to support the proposed amendment
	The site is served by City water and is proposed to connect to sewer service. If annexed, the subject property would be serviced by the City Fire Dept and will also be served by the City of Hendersonville Police. If not annexed, the subject property would be served by Valley Hill Fire Dept and the Henderson County Sherriff's Office. N Lakeside Dr and Osceola Rd as well as other streets in the area are NCDOT maintained roads. Other neighborhood streets, including Osceola Inn Rd, are privately maintained.
Effect on Natural Environment	Whether and the extent to which the proposed amendment would result in significantly adverse impacts on the natural environment including but not limited to water, air, noise, storm water management, streams, vegetation, wetlands and wildlife -
	The applicant proposes to remove 9 invasive Bradford Pear trees. The applicant has expressed interest in planting new native plants but has no formal plans. Landscaping requirements are satisfied through the use of Tree Credits. The application of Tree Credits will be finalized at Final Site Plan.

DRAFT COMPREHENSIVE PLAN CONSISTENCY AND REZONING REASONABLENESS STATEMENT

The petition is found to be **consistent** with the City of Hendersonville 2030 Comprehensive Plan, but **inconsistent** with the Future Land Use Designation, based on the information from the staff analysis and the public hearing, and because:

The adaptive reuse of an historic structure aligns with strategies in the 2030 Comprehensive Plan including Strategy CR-1.5, however the Medium Intensity Neighborhood Future Land Use designation does not recommend any commercial uses or multi-family uses on local streets. As such, the designation of the subject parcel shall be amended to Neighborhood Activity Center where multi-family residential, pedestrian amenities (plazas, outdoor seating, etc.) and mixed uses are secondary recommended land uses.

DRAFT [Rationale for Approval]

- *The proposed use satisfies the supplementary standards for ‘Adaptive Reuse’.*
- *The proposed use as a hotel aligns with the original use of the property.*
- *The historic structure and its use as an inn predate the surrounding single-family land uses.*
- *The scale of the proposed reuse will not negatively impact the surrounding neighborhood.*
- *The proposed rezoning will allow for preservation of the historic structure, into which reinvestment is greatly needed.*

DRAFT [Rational for Denial]

- *The proposed hotel and multi-family uses are incompatible with the surrounding single-family homes.*
- *The proposed use would generate excess traffic on local streets*

STAFF SITE PLAN REVIEW – SUMMARY COMMENTS**PROPOSED REQUEST DETAILS**

- Site Plan Summary:
 - The site plan accompanying this petition contains the following provisions:
 - 3 - Independent principal structures
 - 1 - Historic Inn
 - 2 - Lodging Wings
 - 2 - Detached accessory structures (shed and proposed manager's residence)
 - 2 - Gazebos
 - 1 - Fenced in area formerly used for tennis courts
 - 1 - Interior courtyard
 - 1 - Walking path where an in-ground swimming pool was filled in.
 - Parking:
 - 42 existing parking spaces
 - 36 paved and 6 unpaved
 - 24 proposed parking spaces to be created as needed.
 - Only 11 spaces needed to meet minimum parking requirements:
 - Required Parking - 53 Spaces:
 - 20 spaces for Hotel rooms (1 per guest room)
 - 7 spaces for Hotel Restaurant/Event/Conference Space (1 per 600 Sq Ft)
 - 26 spaces for multi-family units (1 per unit)
 - Open Space - 2.34 Acres (62.4%)
 - Landscaping: Required to bring site into compliance for portion of site where the use is intensifying (Hotel). The remainder of the site not associated with Hotel does not require compliance. There appear to be an excess number of Tree Credits available to cover required landscaping. The final determination of Tree Credits will be covered during Final Site Plan approval process.
 - Buffer:
 - Required
 - 10' Type B Buffer
 - Type B Buffer = per 100 LF (4 Canopy Trees + 25 Evergreen Shrubs + 33 Flowering Shrubs)
 - Buffer 200' of Vance St + Buffer 150' of Osceola Inn Rd
 - No Buffer on Osceola Rd (front yards are exempt)
 - Total Required: 14 Trees, 87.5 Evergreen Shrubs, 115 Flowering Shrubs
 - Provided:
 - Tree Credits + Alternative Compliance to be finalized at Final Site Plan
 - Vehicular Use Area:
 - Required:
 - 1 Tree + 2 Shrubs per 4,000 Sq Ft
 - 23,000 Sq Ft of Area
 - Total Required: 6 Trees + 12 Shrubs

- Provided: Tree Credits to be finalized at Final Site Plan
- Planting Strip
 - Required:
 - 1 tree + 5 shrubs per 40 linear feet
 - 200' of Osceola Rd
 - Total Required: 5 Trees + 25 shrubs
 - Provided:
 - Tree Credits to be finalized at Final Site Plan
 - Tree Removal: Applicant proposes to remove all Bradford Pears from the property.
- Proposed Uses:
 - Hotel - 20 Guest Rooms + Conference/Event Space + Café
 - Multi-Family Residential - 26 - 1 + 2 Bedroom Units
- Developer Proposed Conditions:
 - None

OUTSTANDING ISSUES & PROPOSED CONDITIONS

COMMUNITY DEVELOPMENT

Site Plan Comments:

The site plan accompanying this petition meets the standards established by the Zoning Ordinance for Adaptive Reuse (16-4-2) with the following exceptions:

- Some technical corrections/clarifications were provided to the applicant and were resolved or shall be resolved at Final Site Plan.

Proposed City-Initiated Conditions:

- None

CITY ENGINEER

Site Plan Comments:

- None

Proposed City-Initiated Conditions:

- None

WATER / SEWER

Site Plan Comments:

- No Utility Plan Provided

Proposed City-Initiated Conditions:

- None

FIRE MARSHAL

Site Plan Comments:

- None

Proposed City-Initiated Conditions:

- None

STORMWATER ADMINISTRATOR

Site Plan Comments:

- None

Proposed City-Initiated Conditions:

- None

FLOODPLAIN ADMINISTRATOR

Site Plan Comments:

- None

Proposed City-Initiated Conditions:

- None

PUBLIC WORKS

Site Plan Comments:

- None

Proposed City-Initiated Conditions:

- None

NCDOT

Site Plan Comments:

- North Lakeside Drive should be labeled as a State Route - Resolve at Final Site Plan
- Driveway permits will be required - Resolve at Final Site Plan

Proposed City-Initiated Conditions:

- None

TRANSPORTATION CONSULTANT

Site Plan Comments:

- None (the proposed use did not trigger a TIA)

Proposed Condition:

- None

TREE BOARD

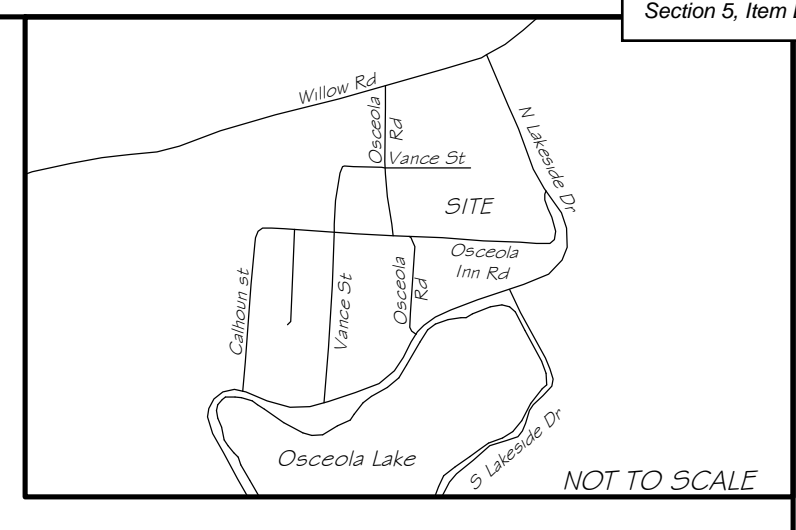
Site Plan Comments & Recommended Conditions:

- Tree Board recommended approval of the Landscaping Plan which include the removal of 9 Bradford Pears
- The Tree Board made informal recommendations to replant trees on the approved planting list and to control/remove the invasive vines on the property and reestablish with trees, shrubs and herbaceous materials.

L2 is a Tie Line

Course	Bearing	Distance
L1	S 05°08'17" E	62.94'
L2	S 05°06'54" W	50.00'

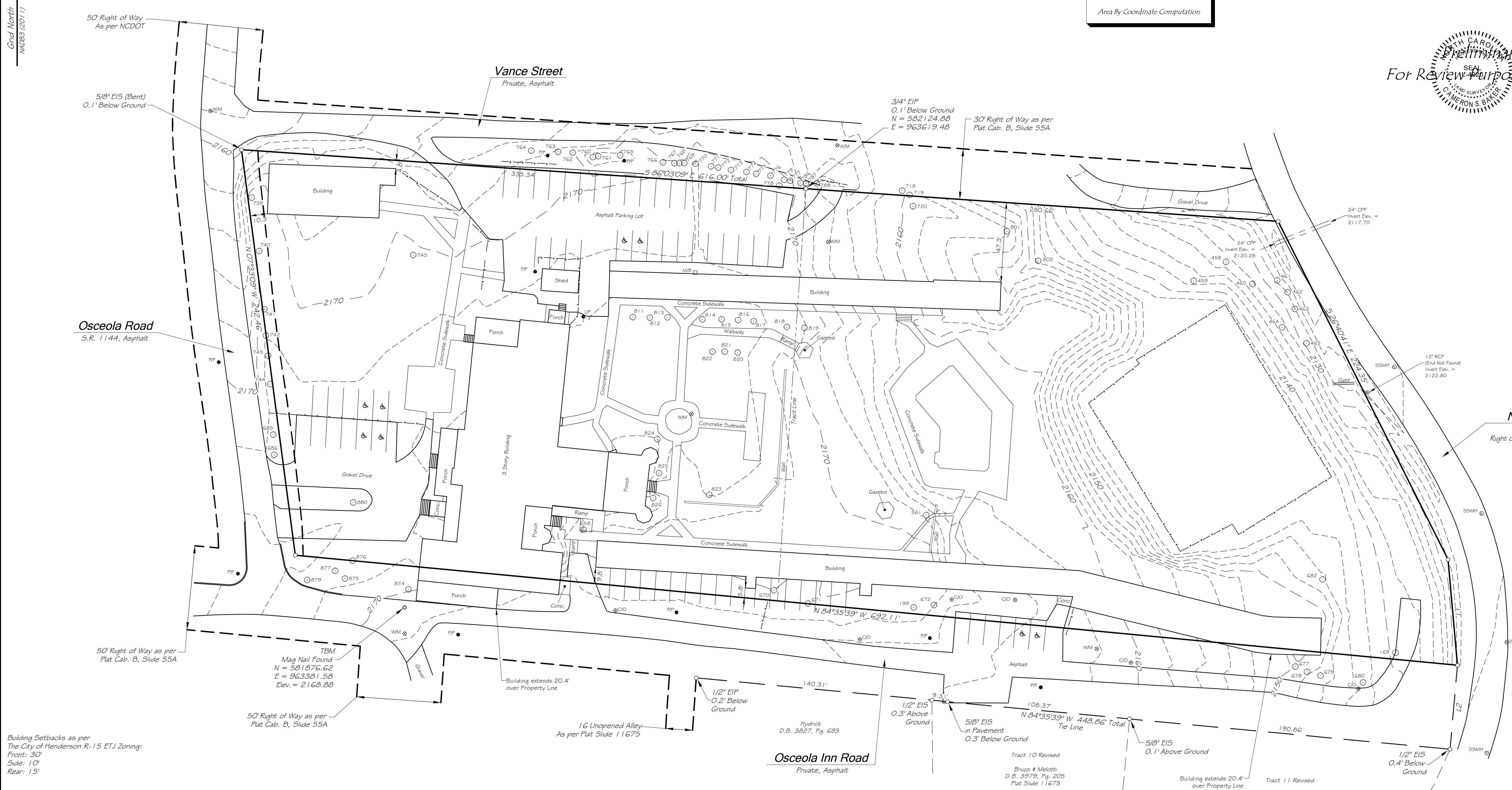
3.74 Acres
Area By Coordinate Computation



Preliminary
For Review Purposes Only

I, Cameron S. Baker, certify that this plat was drawn under my supervision from an actual survey under my supervision, (deed description recorded in Book 1647, Page 149) that the ratio of precision as calculated by latitudes and departures does not exceed 1:10,000 and that this map was prepared in accordance with G.S. 47-30 as amended. Witness my original signature, license number and seal this 20 day of February, 2024.

Professional Land Surveyor No. L-4920
Global Positioning System Certification (RTK)
The Positional Accuracy Of The RTK Derived Positional Information Is 0.03' Horizontal & 0.03' Vertical
Horizontal Positions Are Referenced to NAD 83 (NSRS 2011)
Vertical Positions Are Referenced To NAVD 88 (Geoid 12)
Combined Factor 0.99977757 (Ground To Grid)
Equipment Used: Carlson GPS-BR6



Building Setbacks as per The City of Henderson R-15 ETJ Zoning:
Front: 30'
Side: 10'
Rear: 15'

- Notes:
- Property is subject to all easements, restrictions and right of ways of record.
 - The locations of underground utilities are based on above-ground structures and record drawings provided to the surveyor. Locations of underground utilities/structures may vary from locations shown hereon. Additional buried utilities/structures may be encountered.
 - Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate title search may disclose.
 - The certification of survey and plat was prepared for the entity named in the title block hereon and does not extend to any other entity, unless recertified by the professional land surveyor.
 - All miscellaneous survey related materials, including but not limited to, project plans, deed and ROW research, maps, field notes and data, survey reports, record title report, calculations, working drawings, estimates, and other materials acquired and/or prepared by the surveyor as instruments of service shall remain the property of the surveyor and assigns.
 - This drawing is not valid unless the original signature and stamp are attached. Any reproduction or variance to this survey by electronic or any other means are not to be considered issued by the professional surveyor.
 - Property is currently zoned R-15 ETJ as per the City of Hendersonville.
 - A Portion of the property is located within 1/2 mile of a designated Farmland Preservation District.
 - Property is located in Zone X (Minimal Flood Risk) as per FR15 Map Panel 956B, Map #3700956B00J effective date 10/02/2008.
 - Contour Lines are at 2' intervals.

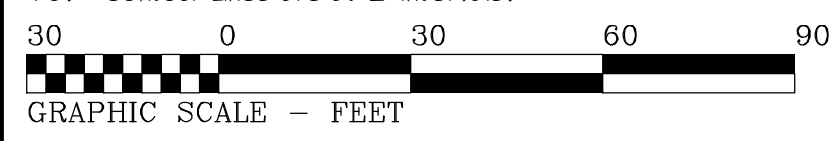
Point	Description	Point	Description	Point	Description	Point	Description
169	48" OAK	718	48" OAK	772	18" CYPRESS	820	10" PINE
199	40" OAK	719	12" HICKORY	773	14" CYPRESS	821	12" PINE
458	24" OAK x2	720	36" OAK	774	12" CYPRESS	822	8" PINE
459	24" OAK	739	36" PINE	775	20" CYPRESS	823	14" PINE
460	48" OAK	740	32" PINE	776	18" CYPRESS	824	18" BIRCH
461	32" OAK	741	32" PINE	777	20" CYPRESS	825	18" BIRCH
462	28" OAK	742	24" PINE	778	20" CYPRESS	826	18" BIRCH
463	14" OAK	743	28" PINE	779	10" CYPRESS	874	24" PINE
464	36" OAK	744	28" PINE	786	12" CYPRESS	875	18" PINE
465	14" OAK	745	14" PINE	787	10" CYPRESS	876	32" PINE
581	12" PINE x2 & 10" PINE	760	18" CYPRESS	788	24" CYPRESS	877	32" PINE
658	18" BIRCH	761	12" CYPRESS	801	38" PINE	879	24" PINE
670	12" DOGWOOD	762	12" DOGWOOD	802	18" HICKORY	880	20" HICKORY
671	22" OAK	763	14" DOGWOOD	811	24" BRADFORD PEAR		
672	12" OAK	764	10" DOGWOOD	812	24" BRADFORD PEAR		
677	36" PINE	765	14" CYPRESS	813	24" BRADFORD PEAR		
678	28" PINE	766	10" CYPRESS	814	24" BRADFORD PEAR		
679	30" PINE	767	16" CYPRESS	815	24" BRADFORD PEAR		
680	36" PINE	768	8" CYPRESS	816	24" BRADFORD PEAR		
682	52" OAK	769	8" CYPRESS	817	24" BRADFORD PEAR		
685	22" PINE	770	24" CYPRESS	818	24" BRADFORD PEAR		
686	24" PINE	771	18" CYPRESS	819	24" BRADFORD PEAR		

Legend:
ECM = Existing Concrete Monument
EIP = Existing Iron Pipe
EIS = Existing Iron Stake
IPS = Iron Pipe Set
O = Unmarked Point, Unless Otherwise Noted
ROW/MCN = Right of Way Monument
ROW = Right of Way
RRS = Railroad Spike
P/P = Power Pole
LP = Light Pole
CO = Clean Out
WM = Water Meter
MB = Meter Box
SSMH = Sanitary Sewer Manhole
--- = Fence

Being all of Tracts 1 & 2 as described in D.B. 1647, Pg. 149
Map of Topographic Survey for
BL Corp of NC
-Owners-
D.B. 1647, Pg. 149
Plat Cab. B, Slide 55A
Revised: February 25, 2024; added proposed parking spaces
Pin: 9568-31-5964

Hendersonville Township | Hendson County, NC

ASSOCIATED LAND SURVEYORS
& PLANNERS P.C.
P.O. BOX 578 * HORSE SHOE, NC 28742
(828) 890-3507 NC BUSINESS LICENSE NO. C-2774
SCALE: 1 Inch = 30 Feet DATE: February 5, 2024
JOB NO: S-23-608 DRAWN BY: KMK/JTB CHECKED BY: [Signature]



NEIGHBORHOOD COMPATIBILITY MEETING REPORT
OSCEOLA INN ADAPTIVE REUSE (P23-70-CZD)
MEETING DATE: August 31, 2023



PETITION REQUEST: Rezoning: R-15 - Conditional Zoning District (R-15 CZD)
APPLICANT/PETITIONER: Fiona McColley (BL Corp of NC) [Applicant/Owner]

NEIGHBORHOOD COMPATIBILITY MEETING SUMMARY:

A Neighborhood Compatibility Meeting was held for this project on August 31, 2023 at 2pm in the City Operations Building at 305 Williams St and via Zoom. The meeting lasted approximately 1 hour 10 minutes.

There were ten members of the public in attendance in-person while 10 additional people attended virtually. Three members of city staff were present and the applicant, Fiona McColley, was also present.

Staff gave the formal introduction and a brief overview of the request.

There were 6 pre-submitted comments read into the record.

The applicant was allowed to present their project proposal including details related to the use of the wings for individual long-term units, rehabilitation of the inn and the café being open to the community. She intends to be an asset to the community.

Concerns and questions from the public related to access to the property, how parking might impact access to properties along Osecola Inn Rd, what is the target market of the hotel and residential units, how will the project impact property taxes / annexation into the City, and how much noise might the new use generate.

Overall the feedback was very supportive for the project.

Full minutes and public comments from the Neighborhood Compatibility are available for review by request.

Ordinance # ____ - ____

AN ORDINANCE OF THE CITY OF HENDERSONVILLE CITY COUNCIL TO AMEND THE OFFICIAL ZONING MAP OF THE CITY OF HENDERSONVILLE FOR PARCELS POSSESSING PIN NUMBER: 9568-31-5964 BY CHANGING THE ZONING DESIGNATION FROM R-15 (MEDIUM DENSITY RESIDENTIAL) TO R-15 CZD (MEDIUM DENSITY RESIDENTIAL - CONDITIONAL ZONING DISTRICT)

IN RE: Parcel Numbers: 9568-31-5964
 Addresses: 159 Osceola Rd
 Hendersonville Connections: (File # P23-70-CZD)

WHEREAS, the City is in receipt of a Conditional Rezoning application from applicant and property owner, Fiona McColley of BL Corp of NC, for an adaptive reuse within an existing structure at 159 Osceola Rd, and

WHEREAS, the Planning Board took up this application at its regular meeting on April 11, 2024; voting **0-0** to recommend City Council approve an ordinance amending the official zoning map of the City of Hendersonville, and

WHEREAS, City Council took up this application at its regular meeting on May 2, 2024, and

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Hendersonville, North Carolina:

1. Pursuant to Article XI of the Zoning Ordinance of the City of Hendersonville, North Carolina, the Zoning Map is hereby amended by changing the zoning designation of the following: Parcel Number: 9568-31-5964, changing the zoning designation from R-15 (Medium Density Residential) to R-15 CZD (Medium Density Residential - Conditional Zoning District)
2. Development of the parcel pursuant to this Ordinance is subject to the following.
 - a. Development shall comply with the site plan submitted by the applicant dated February 5, 2024, including the conditions listed therein, [and/or as modified and presented to City Council][and/or including modifications approved by City Council which shall be added to the site plan. The updated site shall be submitted to the City at or before the applicant's execution of this Ordinance].
 - b. Permitted uses shall include:
 - i. Hotel
 1. 20 Guest Rooms
 2. Event & Conference Space
 3. Café
 - ii. Residential, Multi-Family
 1. 26 - 1 & 2 Bedroom Units
 - c. Additional conditions that shall be satisfied prior to final site plan approval include:
 - i.
3. Except where modified by the terms of this Ordinance, development of the parcel(s) shall occur in accordance with the final site plan requirements of Article VII of the Zoning Ordinance of the City of Hendersonville, North Carolina.
4. Except where explicit relief is granted by the terms of this Ordinance, the development of the parcel(s) shall occur in accordance with all applicable standards within local ordinances and policies.

This ordinance shall be not be effective until the list of use(s) and conditions, established herein, is consented to in writing by the applicant and all owners of the subject property. Upon such written consent, this ordinance shall be effective retroactive to the date of its adoption.

Adopted this 2nd day of May 2024.

Attest:

Barbara G. Volk, Mayor, City of Hendersonville

Jill Murray, City Clerk

Approved as to form:

Angela S. Beeker, City Attorney

With their signatures below, the undersigned applicant(s) and property owner(s) consent to and agree to all conditions imposed pursuant to the terms of this Ordinance.

IN RE: Parcel Numbers: 9578-21-4699, 9578-21-4924, 9578-21-5614, 9578-21-5868
Addresses: 109 Florence Street
Hendersonville Connections: (File # P22-66-CZD)

Applicant/Developer: Moe Marks, Tamara Peacock Architects

Property Owner: Charles Morris / Grace Blue Ridge PCA, Inc

Signature: _____

Signature: _____

Printed Name: _____

Printed Name: _____

Title: _____

Title: _____

Date: _____

Date: _____



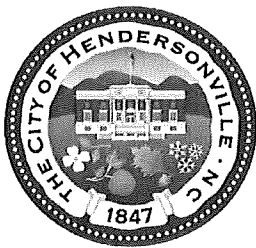
Osceola Inn
P23-70-CZD
(R-15 to R-15 CZD)
 PIN: 9568-31-5964
 Acreage: 3.75 Acres
 (163,500 Sq Ft)

Proposed Zoning

- Parcels
- Hendersonville City Limits
- Streams/Rivers
- Floodway
- 100 Year Flood
- PID Planned Institutional Development
- C-3 Highway Business
- C-2 Secondary Business
- PCD-SU Planned Commercial Development Special Use
- I-1 Industrial
- R-15 Medium Density Residential
- Planned Residential Development
- PMD Planned Manufacturing Development
- Conditional Zoning District
- C-4 Neighborhood Business
- CZD Conditional Zoning District

Community Development Department





**CITY OF HENDERSONVILLE
COMMUNITY DEVELOPMENT DEPARTMENT**
100 N. King Street, Hendersonville, NC 28792
Phone (828) 697-3010 | Fax (828) 698-6185
www.hendersonvillenc.gov

Conditional Zoning District Petition
Section 7-4 and Article 11 City Zoning Ordinance

The following are the **required** submittals for a complete application for rezoning a property or properties to a Conditional Zoning District. Staff will not review applications until each item has been submitted and determined complete. By placing a check mark by each of the following items, you are certifying that you have performed that task.

- 1. Completed Pre-Application meeting with Planning Staff
- 2. Scheduled Neighborhood Compatibility Meeting
NCM Date: 8/31/23 Time: 2:00 PM
- 3. Water and Sewer Availability Request *Request to connect to city sewer.*
- 4. Completed Application Form
- 5. Completed Signature Page (completed Owner's Affidavit if different from applicant)
- 6. Completed Site Plan as described in Section 7-4.3-1 of the City Zoning Ordinance
- 7. Detailed explanation of any Proposed Development Description
- 8. Application Fee
- 9. Transportation Impact Analysis - Required for complete application but not due until 24 calendar days prior to Planning Board Meeting (if required)

Note: Additional Approvals prior to the issuance of a Zoning Compliance Permit may include, but are not limited to the following:

- Henderson County Sedimentation & Erosion Permit
- Stormwater Management Plan
- Utility Approval
- NCDOT Permit
- Any other applicable permits as determined by the Community Development

[Application Continued on Next Page]

Office Use:
Date Received: 8/18/23 By: AMH Fee Received? Y/N

A. Applicant Contact Information

FIONA MCCOLLEY

* Printed Applicant Name

BL CORP OF NC

Printed Company Name (if applicable)

Corporation Limited Liability Company Trust Partnership

Other: _____

Fiona McColley
Applicant Signature

Applicant Title (if applicable)

159 OSCEOLA ROAD

Address of Applicant

HENDERSONVILLE NC 28739

City, State, and Zip Code

828 423142

Telephone

bikingx@gmail.com

Email

* Signature of the property owner acknowledges that if the property is rezoned, the property involved in this request is bound to the use(s) authorized, the approved site plan and any conditions imposed, unless subsequently changed or amended as provided for in the Zoning Ordinance.

[Application Continued on Next Page]

B. Property Owner Contact Information (if different from Applicant)

*Printed Owner Name (Authorized Representative for entities other than individuals)

Printed Company Name (if applicable, check corresponding box below)

- Corporation Limited Liability Company Trust Partnership
- Other: _____

Property Owner/Authorized Representative Signature

Authorized Representative Title (if applicable - i.e. Member/Manager, President, etc.)

City, State, and Zip Code

Telephone

Email

* Property owner hereby grants permission to the City of Hendersonville personnel to enter the subject property for any purpose required in processing this application.

* If signed by an agent on behalf of the Owner, this petition MUST be accompanied by a Limited Power of Attorney signed by the property owner (s) and notarized, specifically authorizing the agent to act on the owner (s) behalf in signing this application. Failure of each owner, or their duly authorized agent, to sign, or failure to include the authority of the agent signed by the property owner, will result in an INVALID APPLICATION.

C. Property Information

Name of Project: 159 OSCEOLA ROAD

PIN(s): _____

Address(es) / Location of Property: 159 Osceola Road
Hendersonville NC 28739

Type of Development: Residential Commercial Other

Current Zoning: R15

Total Acreage: 3.75

Proposed Zoning: _____

Proposed Building Square Footage: existing ~ 37,400 sq ft

Number of Dwelling Units: Up to 26

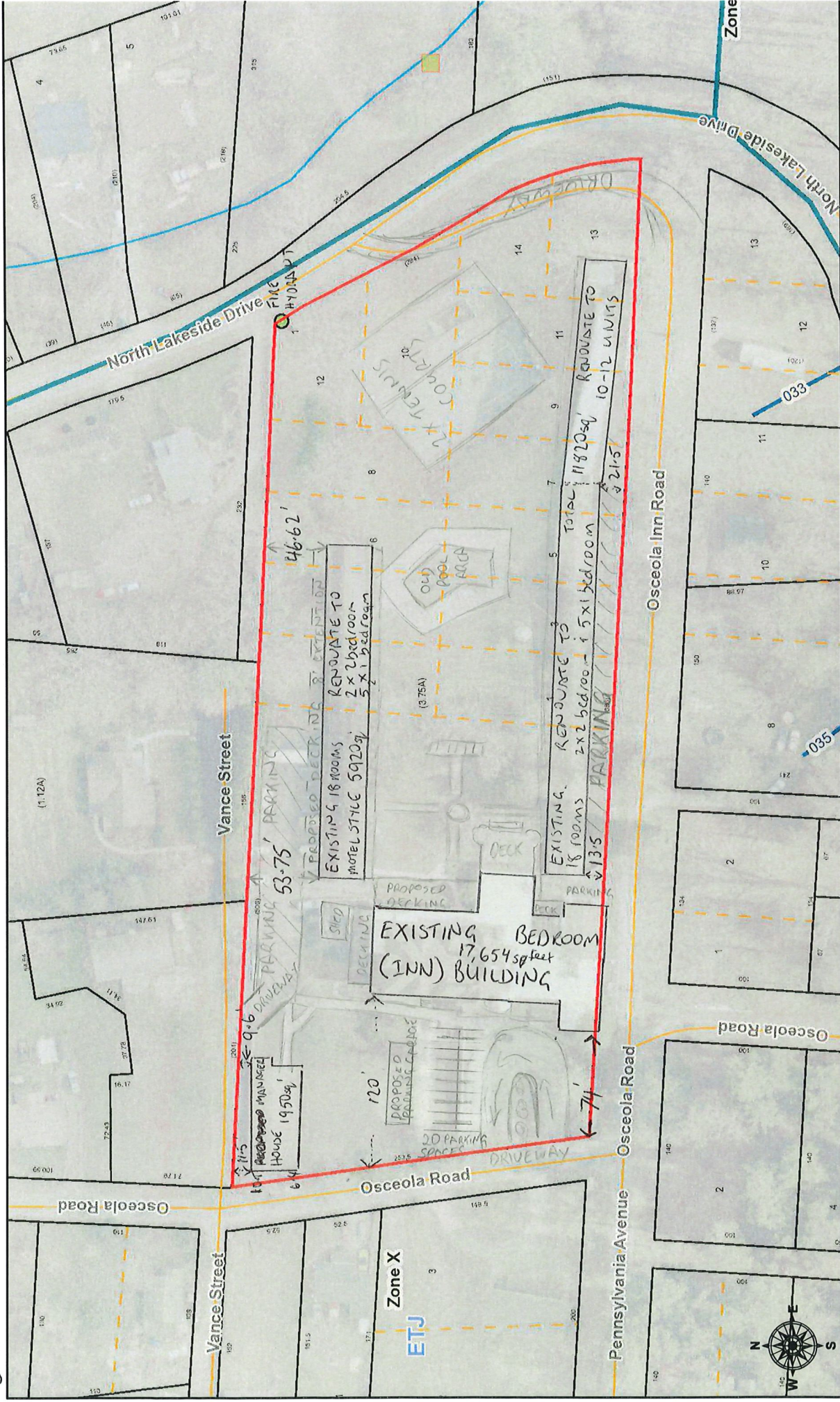
List of Requested Uses:
20 bedroom Inn, conference center, events center, cafe
Up to 26 residential 1 1/2 bedroom units

D. Proposed Development Conditions for the Site

In the spaces provided below, please provide a description of the Proposed Development for the site.

3b. EXISTING BUILDINGS

CONCEPT PLAN 159
(Overlay) Osceola Road, HENDERSONVILLE NC 28739

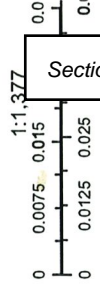


August 16, 2023

- Streets and Highways**
- THOROUGHFARE
 - FREEWAY
 - INTERSTATE
 - BOULEVARD
 - COLLECTOR
 - Local Roads
 - Parcels

THIS IS NOT A SURVEY.

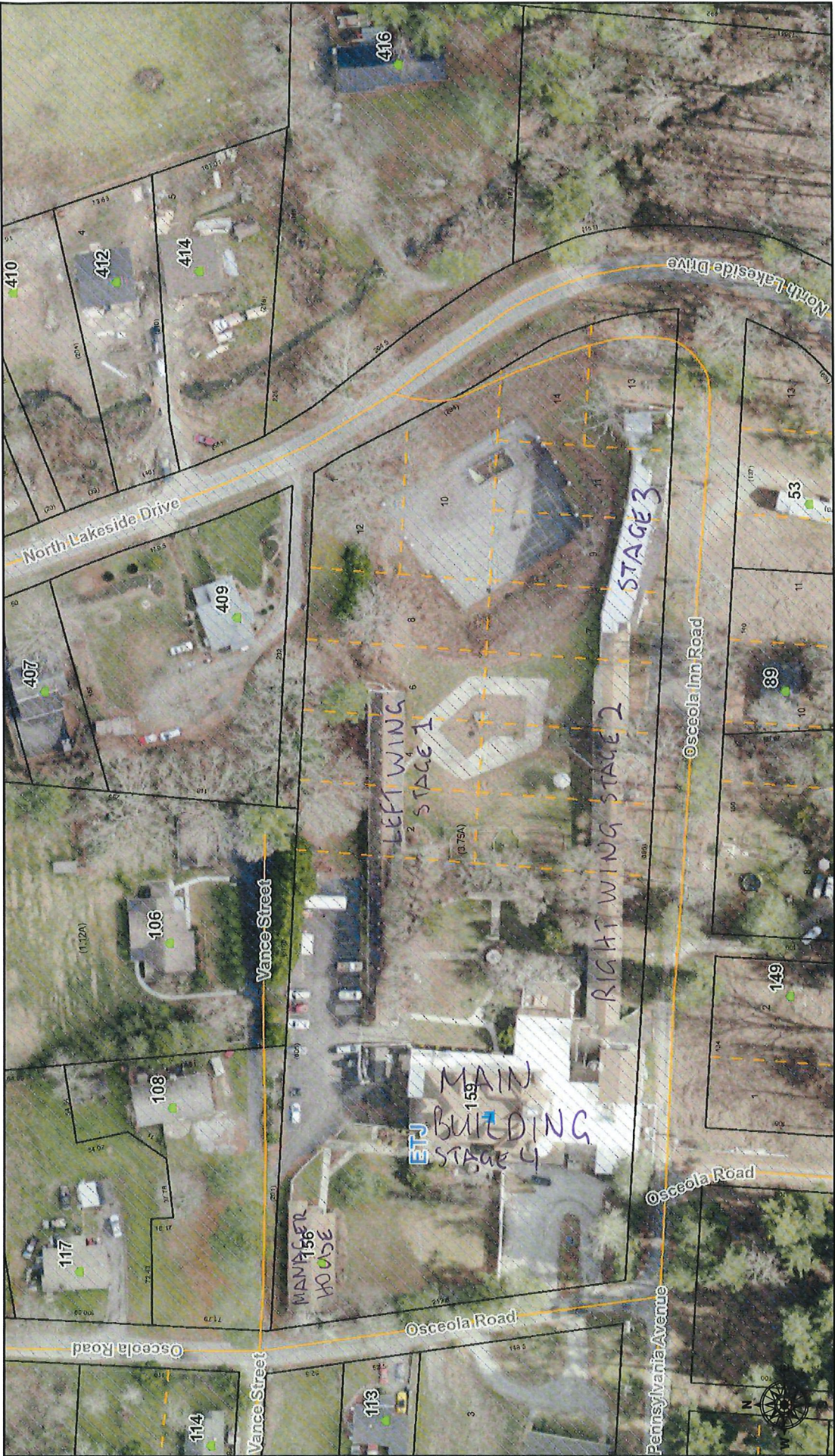
All information or data provided, whether subscribed, purchased or otherwise distributed, whether in hard copy or digital media, shall be at the user's own risk. Henderson County makes no warranties or guarantees, including the warranties of merchantability or of fitness for a particular purpose. Map data is not appropriate for, and is not to be used as, a geodetic, legal, or engineering base system. The data is not intended as a substitute for surveyed locations such as can be determined by a registered Public Land Surveyor, and does not meet the minimum accuracy standards of a Land Information System/Geographic Information System Survey in North Carolina (21 NCAC 56.1608).



Section 5, Item B.

3a. Location & boundaries of the property.

159 Osceola Inn 1920

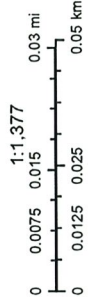


August 16, 2023

- Streets and Highways**
- FREEWAY
 - INTERSTATE
 - BOULEVARD
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 - Local Roads
 - Parcels

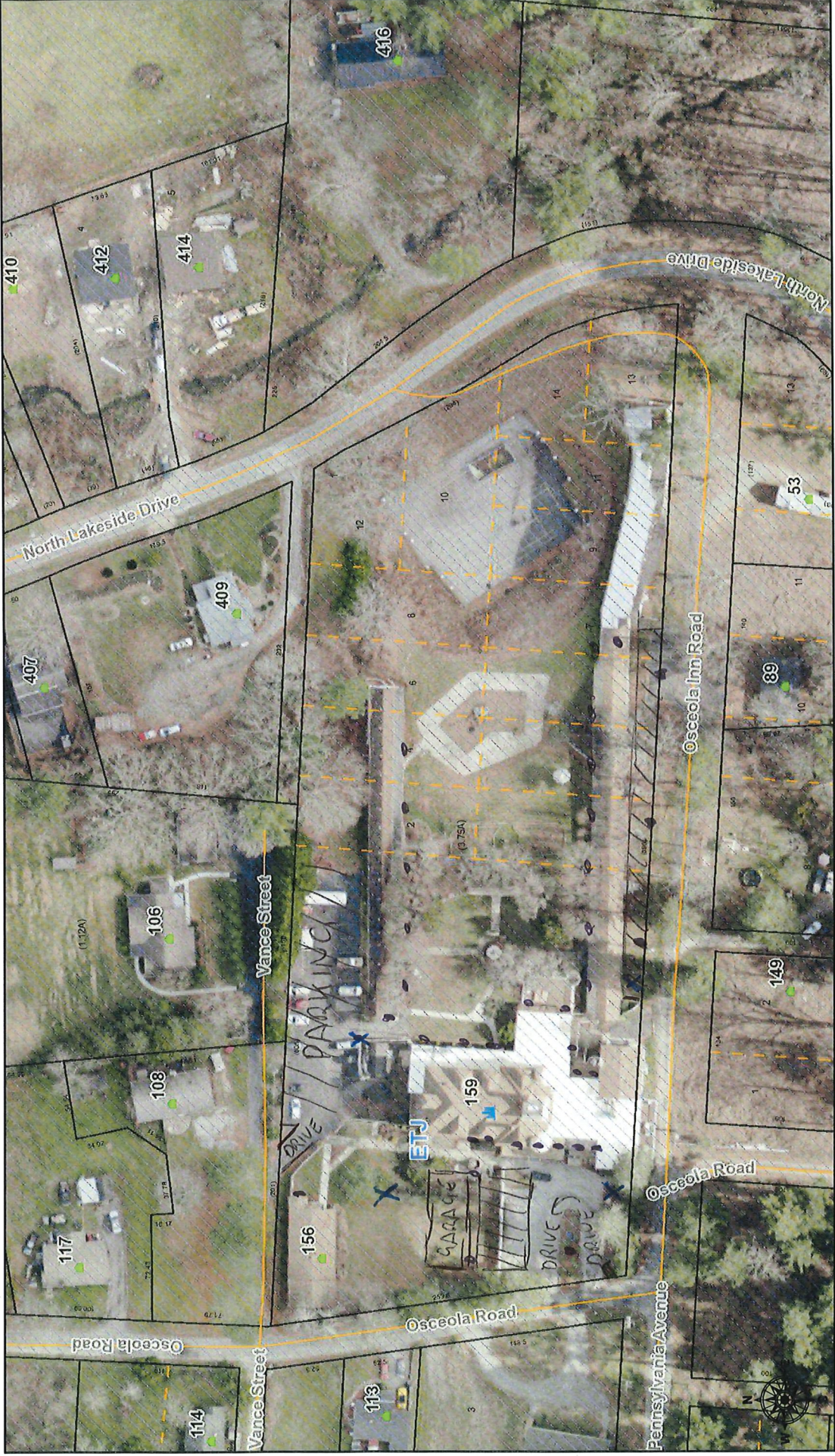
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- August 16, 2023
- Streets and Highways
 - THOROUGHFARE
 - COLLECTOR
 - Local Roads
 - FREEWAY
 - INTERSTATE
 - BOULEVARD
 - Parcels
 - 3d. outd. lighting
 - sign
 - ASR & IBC
 - X security lighting (existing)



159 Osceola Inn 1920

3c. Proposed drives & parking



**CITY OF HENDERSONVILLE
AGENDA ITEM SUMMARY
PLANNING DIVISION**

SUBMITTER: Matthew Manley

MEETING DATE: April 11, 2024

AGENDA SECTION: New Business

DEPARTMENT: Community Development

TITLE OF ITEM: Administrative Review: Preliminary Site Plan– Fakhoury Academy of Taekwondo (A24-15-SPR) – *Matthew Manley, AICP /Strategic Projects Manager*

SUGGESTED MOTION(S):

<p><u>For Approval:</u></p> <p>I move that the Planning Board grant preliminary site plan and building design approval, based on the requirements of the City of Hendersonville Zoning Ordinance finding that the Fakhoury Academy of Taekwondo project is compliant with all applicable requirements.</p> <p align="center">[DISCUSS & VOTE]</p>	<p><u>For Denial:</u></p> <p>I move that the Planning Board deny the application for preliminary site plan and building design approval for the Fakhoury Academy of Taekwondo project because the applicant has failed to demonstrate compliance with the following provisions of the Zoning Ordinance:</p> <p align="center">1.</p> <p align="center">[DISCUSS & VOTE]</p>
---	---

SUMMARY:

The City of Hendersonville is in receipt of an application for preliminary site plan review from Kevin Fakhoury of the Fakhoury Academy of Taekwondo and engineer, Wyatt Edsel of Edsel Engineering. The applicant is proposing to construct a 10,000 square foot building with 50 parking spaces on the subject property.

The proposed site plan shows a 100'x100' 1-story structure along with the associated parking spaces and required grading. The site, which is located at the corner of Asheville Hwy and Berkeley Rd, is slated to have a single driveway access off Berkeley Rd (NCDOT).

Due to this development adding more than 30 parking spaces, the project is required to go through preliminary site plan review as defined in Chapter 7 of the zoning ordinance.

Since this project does not exceed the 50,000 square foot trigger that requires a rezoning to a conditional zoning district, the project will be developed in accordance with the underlying C-3 zoning.

City Council at their December 7th 2023 meeting annexed PIN 9569-48-5695 into the City. The two parcels are zoned C-3 and will be recombined as part of the development. City Council at their December 7th, 2023, meeting zoned the subject property from Henderson County CC (Community Commercial) to City CHMU (Commercial Highway Mixed Use).

PROJECT/PETITIONER NUMBER:	(A24-15-SPR)
PETITIONER NAME:	Kevin Fakhoury [Applicant/Owner]
ATTACHMENTS:	<ol style="list-style-type: none">1. Staff Report2. Preliminary Site Plan3. Preliminary Building Design4. Application and Signature Addendums

PRELIMINARY SITE PLAN REVIEW – FAKHOURY ACADEMY OF TAEKWONDO
(A24-15-SPR)

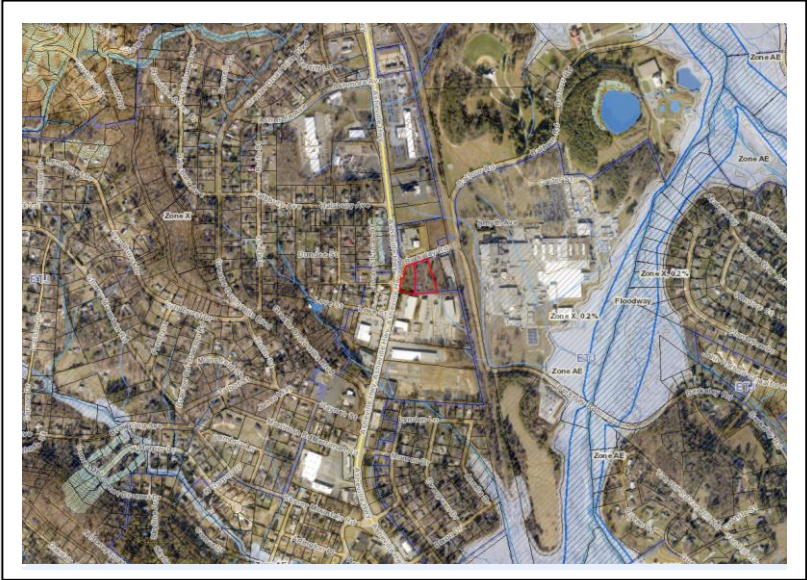
CITY OF HENDERSONVILLE - COMMUNITY DEVELOPMENT STAFF REPORT

PROJECT SUMMARY 2
PRELIMINARY SITE PLAN REVIEW GUIDELINES..... 3
EXISTING ZONING & LAND USE 4
SITE IMAGES..... 5
SITE IMAGES..... 6
PROPOSED DEVELOPMENT DETAILS..... 7
OUTSTANDING PRELIMINARY SITE PLAN COMMENTS..... 7
STAFF ANALYSIS..... 7



PROJECT SUMMARY

- Project Name & Case #:
 - Fakhoury Academy of Taekwondo
 - A24-15-SPR
- Applicant & Property Owner:
 - Kevin Fakhoury [Applicant & Owner]
- Property Address:
 - 1019 Berkeley Rd
- Project Acreage:
 - 2.08 Acres
- Parcel Identification (PIN):
 - 9569-48-4644
 - 9569-48-5695
- Parcel Zoning:
 - C-3 Highway Business
- Future Land Use Designation:
 - Neighborhood Activity Center
- Requested Uses:
 - Recreational facilities, indoors (Taekwondo Studio)
- Type of Review:
 - **Administrative**- Decisions made in the implementation, administration, or enforcement of the Zoning Ordinance that involve the determination of facts and the application of objective standards set forth in the Zoning Ordinance.



SITE VICINITY MAP

The City of Hendersonville is in receipt of an application for preliminary site plan review from Kevin Fakhoury of the Fakhoury Academy of Taekwondo and engineer, Wyatt Edsel of Edsel Engineering. The applicant is proposing to construct a 10,000 square foot building with 50 parking spaces on the subject property.

The proposed site plan shows a 100'x100' 1-story structure along with the associated parking spaces and required grading. The site, which is located at the corner of Asheville Hwy and Berkeley Rd, is slated to have a single driveway access off Berkeley Rd (NCDOT).

Due to this development adding more than 30 parking spaces, the project is required to go through preliminary site plan review as defined in Chapter 7 of the zoning ordinance.

Since this project does not exceed the 50,000 square foot trigger that requires a rezoning to a conditional zoning district, the project will be developed in accordance with the underlying C-3 zoning.

City Council at their December 7th 2023 meeting annexed PIN 9569-48-5695 into the City. The two parcels are zoned C-3 and will be recombined as part of the development.

PRELIMINARY SITE PLAN REVIEW GUIDELINES**Review of Preliminary Site Plans**

Review of preliminary site plans applies to larger projects where the costs of developing detailed final plans can be substantial. It is designed to provide the applicant an opportunity to obtain authorization for a site specific development while incurring reduced expense. Review of preliminary plans is a function of the Planning Board.

Preliminary plan review is required of all development undergoing Site Plan Review for the following:

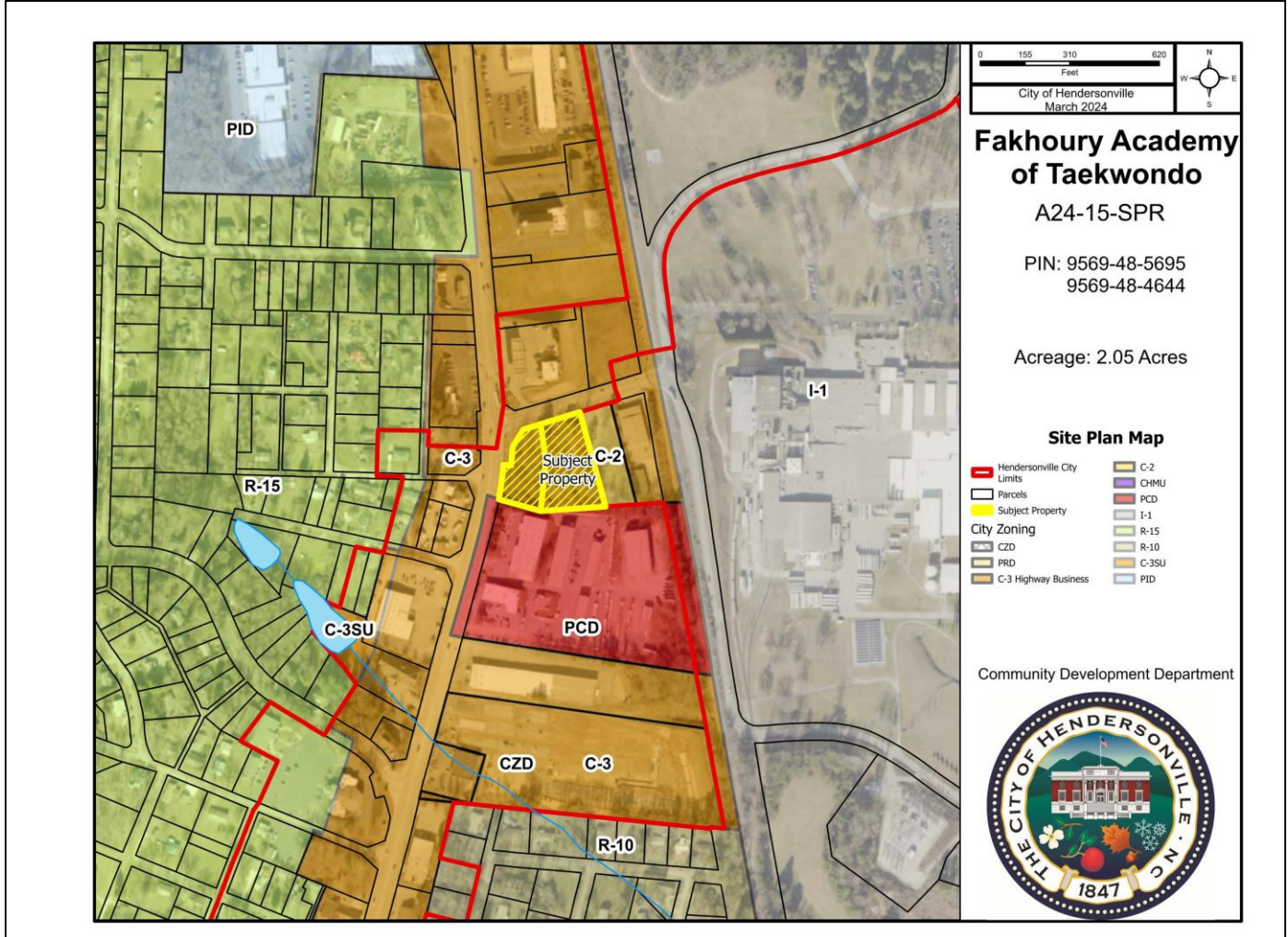
- Any commercial, industrial or institutional development consisting of more than 20,000 square feet of floor area.
- Addition of more than 30 parking spaces.
- Any Minor Planned Residential Development consisting of 9 or more dwelling units.

An application for preliminary site plan approval shall not be approved unless the Planning Board determines that the application and final site plan demonstrate compliance with this ordinance, including the provisions of section 7-11 below, and other applicable regulations.

The Planning Board may impose such reasonable conditions on an approval as will ensure such compliance with this ordinance.

Approval of a preliminary site plan shall **not** entitle the applicant to the issuance of a zoning compliance permit. Upon approval of the preliminary site plan by the Planning Board the applicant must then submit an application and final site plans meeting the requirements of of the zoning ordinance, in addition to any other approval including but not limited to stormwater approval, utility approval, driveway permits, land disturbance approval, etc. The applicant shall have two years from the date of such approval to obtain final site plan approval.

EXISTING ZONING & LAND USE



City of Hendersonville Current Zoning & Land Use Map

The subject property is currently zoned C-3 (Highway Business) by the City of Hendersonville. The eastern parcel was recently annexed into the city and is contiguous with the corporate limits. The C-3 zoning district is prevalent along the City’s major arterial corridors. The permitted uses and dimensional requirements of the C-3 district reflects a conventional suburban pattern of development. This character is reflected in the area around the subject property.

The subject property is in close proximity to the City’s largest Industrial zoning district which is the location of the Kimberley-Clark plant.

The subject property is a corner lot with significant visibility. The site fronts both Asheville Hwy (US 25) and Berkeley Rd. Both streets are maintained by NCDOT.

SITE IMAGES



View from proposed access point on Berkeley Rd towards corner of Asheville Highway



View from southwest corner of property toward corner of Asheville Highway and Berkeley Rd

SITE IMAGES



View from corner of Asheville Highway and Berkeley Rd to center of site



View from low point on site up towards corner of Asheville Highway and Berkeley Rd.

PROPOSED DEVELOPMENT DETAILS

- **Proposed Use: Recreation, Indoors**
 - Total Square footage- 10,000 square feet
 - Proposed Height- 25'
 - Max Height - 35'
- **Site:**
 - 2.08 Acres
 - 1.5 Acres of proposed disturbance
 - Parts of the site have been previously disturbed.
 - No special flood hazard areas are present on the site.
 - Site is sloped avg 9% (from elevation of 2162' to 2128' across 380')
- **Streets/ Access**
 - The site has one proposed access point off of Berkeley Rd
- **Parking**
 - Indoor Recreation Facilities: 1 per 200 Sq Ft
 - Entry Corridor provides 20% Reduction in required parking
 - Required: 50 - 20% = 40 required spaces
 - Proposed: 50 Spaces, including 2 ADA spaces.
- **Sidewalks**
 - Sidewalks will be required along the entire parcel frontage and connecting the main entrance to the building to the public street sidewalks.
- **Stormwater Management**
 - The project will be required to install post construction stormwater measures. These plans will be reviewed as an aspect of the final site plan review.
- **Public Utilities**
 - The site will be served by City of Hendersonville Water and Sewer.

OUTSTANDING PRELIMINARY SITE PLAN COMMENTS

COMMUNITY DEVELOPMENT

Site Plan Comments:

The preliminary site plan accompanying this petition meets the standards established by the Zoning Ordinance for developments in C-3 Highway Business (5-8), and Preliminary Site Plan (7-3-3) with the following exceptions:

- None

CITY ENGINEER

Preliminary Site Plan Comments:

- None

WATER / SEWER

Preliminary Site Plan Comments:

- None

FIRE MARSHAL

Preliminary Site Plan Comments:

- None

STORMWATER ADMINISTRATOR

Preliminary Site Plan Comments:

- Approval is needed for final site plan approval

EROSION & SEDIMENT CONTROL

Preliminary Site Plan Comments:

- Approval is needed for final site plan approval

FLOODPLAIN ADMINISTRATOR

Preliminary Site Plan Comments:

- None

PUBLIC WORKS

Preliminary Site Plan Comments:

- None

NCDOT

Preliminary Site Plan Comments:

- None

TRANSPORTATION CONSULTANT

Preliminary Site Plan Comments:

- None (the proposed use did not trigger a TIA)

STAFF ANALYSIS

Zoning Compliance:

Based on the review by staff, the submitted preliminary site plan and building design for the Fakhoury Academy of Taekwondo meets the Zoning Ordinance standards established for projects within C-3, Highway Business (5.8) and Preliminary Site Plan Review (Section 7-3-3.2).

FARKHOURY ACADEMY TAIKWONDO

CIVIL ENGINEERING SITE PLANNING 1019 BERKLEY RD.

HENDERSON COUNTY, NORTH CAROLINA

GENERAL NOTES:

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL ADJACENT PROPERTIES, UNDERGROUND AND ABOVE GROUND UTILITIES, STRUCTURES, MONUMENTS, AND ANY OTHER INFRASTRUCTURE AT THE SUBJECT SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGES THAT RESULT FROM CONSTRUCTION ACTIVITIES.
- UTILITY LOCATIONS ARE BASED ON SURVEY AND PUBLICLY AVAILABLE INFORMATION AND ARE CONSIDERED APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL UTILITY LOCATIONS, ELEVATIONS, TYPES, SIZES, AND ANY OTHER FACTORS THAT MAY AFFECT CONSTRUCTION OR DESIGN FUNCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY CONDITIONS ARE RECOGNIZED THAT DIFFER FROM WHAT IS SHOWN IN THE PLANS.
- ANY DISTURBANCE TO STREAMS, BUFFERS, WETLANDS, OR ANY WATERS OF THE US REQUIRE PERMITTING WITH THE ARMY CORPS OF ENGINEERS AND THE DEPARTMENT OF ENVIRONMENTAL QUALITY. NO DISTURBANCE TO THESE AREAS SHALL OCCUR WITHOUT PERMITS IN PLACE.
- INSTALLATION AND MAINTENANCE OF THE EROSION CONTROL MEASURES IS THE RESPONSIBILITY OF THE CONTRACTOR. NO SEDIMENT SHALL LEAVE THE SITE OR BE TRACKED ONTO THE ROADS.
- EXCESS CUT MATERIAL THAT MUST BE HAULED OFF SITE SHALL BE HAULED TO A LOCATION WITH AN APPROVED EROSION CONTROL PERMIT. CONTRACTOR SHAPP PROVIDE THOSE PERMITS PRIOR TO HAULING MATERIAL OFF SITE.
- ANY CHANGES TO THE APPROVED PLANS MUST FIRST BE APPROVED IN WRITING BY THE ENGINEER AND THE REGULATORY AUTHORITIES.
- THE ENGINEER IS IN NO WAY RESPONSIBLE FOR ENSURING THAT CONSTRUCTION IS COMPLETED IN A SAFE AND APPROPRIATE MANNER. ALL LIABILITY FOR CONSTRUCTION PRACTICES AND COMPLIANCE WITH APPROVED PERMITS AND REGULATIONS IS THE RESPONSIBILITY OF THE CONTRACTOR. THE ENGINEER IN NO WAY GUARANTEES THE WORK OF ANY CONTRACTOR.

INSPECTION SCHEDULE:

- PRE-CONSTRUCTION MEETINGS ARE REQUIRED BEFORE COMMENCING ANY WORK AT THE SITE. THE OWNER, CONTRACTOR, ENGINEER, AND REGULATORY AUTHORITIES SHALL BE PRESENT AT THE PRE-CONSTRUCTION MEETING.
- SHOP DRAWINGS FOR ANY INFRASTRUCTURE THAT IS NOT SPECIFICALLY CALLED OUT IN THE PLANS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE ENGINEER PRIOR TO INSTALLATION.
- THE ENGINEER SHALL BE INFORMED OF CONSTRUCTION SCHEDULING AND PROGRESS AS WELL AS ANY ISSUES THAT ARISE WHEN THEY ARISE. THE ENGINEER SHALL BE NOTIFIED AND ALLOWED THE OPPORTUNITY TO INSPECT SUBSURFACE INFRASTRUCTURE BEFORE IT IS BURIED.

OWNER:
KEVIN FARKHOURY
kevin.farkhoury@gmail.com
PHONE# 828-808-2003
24 COUNTRY RD.
HENDERSONVILLE, NC 28791

ENGINEER:
EDSEL ENGINEERING, PLLC
WYATT EDSSEL, PE
wyatt@edselengineering.com
828-707-6120
104 HIAWASSEE AVE.
BLACK MOUNTAIN, NC 28711

SURVEYOR:
FREELAND-CLINKSCALES & ASSOCIATES, INC.
FULTON V. CLINKSCALES, JR.
828-697-6539
201 2nd AVE. EAST
HENDERSONVILLE, NC 28792

VICINITY MAP



RIVER BASIN AND STREAM

Surface Water Classifications:

Stream Index:	6-55
Stream Name:	Mud Creek
Description:	From source to French Broad River
Classification:	C
Date of Class.:	March 31, 1996
What does this Class. mean?	View
River Basin:	French Broad

DEVELOPMENT DATA	
PROPERTY ADDRESS:	1019 BERKELEY ROAD HENDERSONVILLE, NC 28792
PROPERTY OWNER & CONTACT:	KEVIN FARKHOURY 24 COUNTRY RD. HENDERSONVILLE, NC 28791
ADDRESS:	
EMAIL:	kevin.farkhoury@gmail.com
PHONE:	(828) 674-6267
PIN NUMBERS:	9569-48-5695
ZONING:	C-3 HIGHWAY BUSINESS
PROPERTY SIZE:	2.08 ACRES
DISTURBED AREA:	1.5 ACRES (SESC APPROVAL REQUIRED BY HENDERSON COUNTY)
BUILDING HEIGHT:	29' TO PEAK OF ROOF
SOIL TYPES:	HvC
CITES DEED:	4106-174
LAT/LONG:	35.34576341043784, -82.47311204410711
FEMA FLOOD PANEL:	9569
EFFECTIVE DATE:	10/2/2008

SHEET INDEX:

NO.:	TITLE:
C-0.0	COVER SHEET
C-1.0	EXISTING CONDITIONS
C-2.0	SITE AND UTILITY PLAN
C-2.1	UTILITY DETAILS
C-2.2	SITE DETAILS
C-2.3	ADA DETAILS
C-3.0	ESC & GRADING PLAN
C-3.1	ESC DETAILS
C-3.2	ESC DETAILS
C-3.3	NCG01
C-3.4	NCG02
C-4.0	STORMWATER PLAN
C-4.1	STORMWATER PROFILES
C-4.2	STORMTECH DETENTION DETAILS
C-4.3	STORMWATER DETAILS
C-5.0	LANDSCAPE PLAN
C-5.1	LANDSCAPE DETAILS
C-5.2	LANDSCAPE DETAILS
C-6.0	PRE-DEVELOPED IMPERVIOUS
C-6.1	POST-DEVELOPED IMPERVIOUS

1019 BERKELEY ROAD
CIVIL ENGINEERING &
SITE PLANNING
COVER
C-0.0
FOR OK CONSTRUCTION
TOWN OF HENDERSONVILLE, HENDERSON COUNTY

No.	REVISIONS	Date
1	SUBMIT TO CLIENT	01-08-24
2	FOR SUBMITTAL	02-14-24
3	RESUBMITTAL	03-26-24

PRELIMINARY - NOT FOR CONSTRUCTION

EDSEL ENGINEERING, PLLC
104 HIAWASSEE AVENUE
BLACK MOUNTAIN, NC 28711

DEVELOPMENT DATA
 PROPERTY ADDRESS: 1019 BERKELEY ROAD
 HENDERSONVILLE, NC 28792

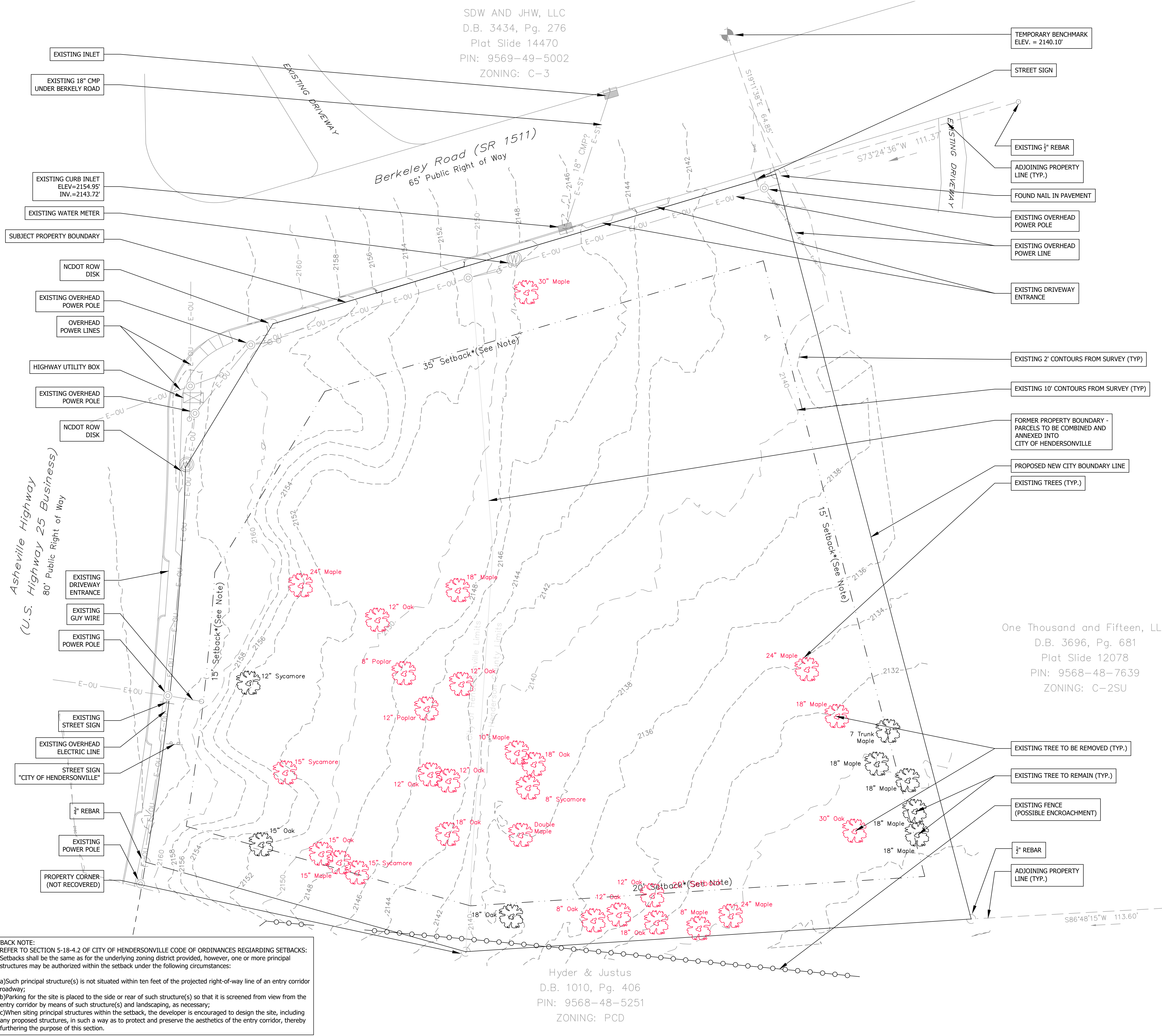
PROPERTY OWNER & CONTACT:
 KEVIN FAKHOURY
 24 COUNTRY RD.
 HENDERSONVILLE, NC 28791
 EMAIL: kevin.fakhoury@gmail.com
 PHONE: (828) 674-6267

PIN NUMBERS: 9569-48-5695
 ZONING: C-3 HIGHWAY BUSINESS
 PROPERTY SIZE: 2.08 ACRES
 DISTURBED AREA: 1.5 ACRES (SESC APPROVAL REQUIRED BY HENDERSON COUNTY)

BUILDING HEIGHT: 29' TO PEAK OF ROOF
 SOIL TYPES: Hyc

CITES DEED: 4106-174
 LAT/LONG: 35.34576341043784, -82.47311204410711
 FEMA FLOOD PANEL: 9569
 EFFECTIVE DATE: 10/2/2008

SDW AND JHW, LLC
 D.B. 3434, Pg. 276
 Plat Slide 14470
 PIN: 9569-49-5002
 ZONING: C-3



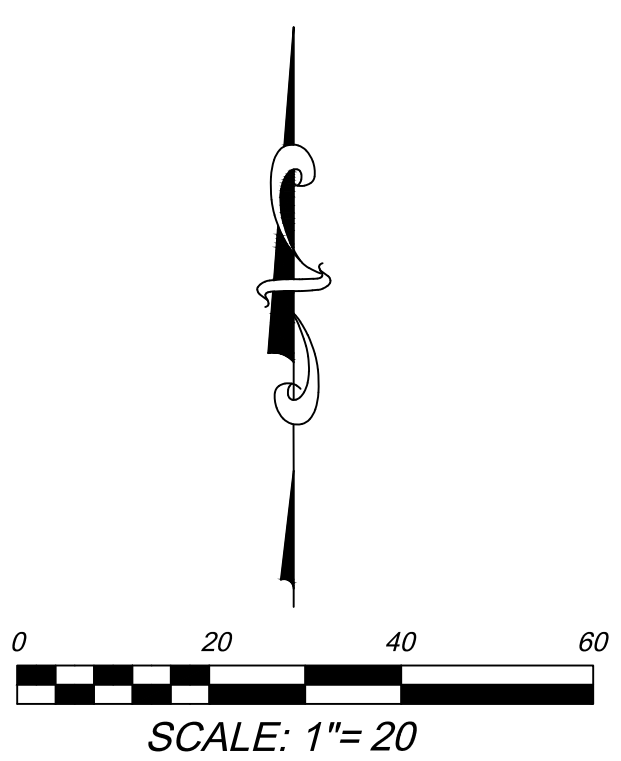
One Thousand and Fifteen, LLC
 D.B. 3696, Pg. 681
 Plat Slide 12078
 PIN: 9568-48-7639
 ZONING: C-2SU

Hyder & Justus
 D.B. 1010, Pg. 406
 PIN: 9568-48-5251
 ZONING: PCD

***SETBACK NOTE:**
 REFER TO SECTION 5-18-4.2 OF CITY OF HENDERSONVILLE CODE OF ORDINANCES REGARDING SETBACKS:
 Setbacks shall be the same as for the underlying zoning district provided, however, one or more principal structures may be authorized within the setback under the following circumstances:
 a) Such principal structure(s) is not situated within ten feet of the projected right-of-way line of an entry corridor roadway;
 b) Parking for the site is placed to the side or rear of such structure(s) so that it is screened from view from the entry corridor by means of such structure(s) and landscaping, as necessary;
 c) When siting principal structures within the setback, the developer is encouraged to design the site, including any proposed structures, in such a way as to protect and preserve the aesthetics of the entry corridor, thereby furthering the purpose of this section.

EXISTING CONDITIONS LEGEND

---	EXIST. BOUNDARY
- - -	EXIST. ADJOINER
- - - -	EXIST. RIGHT OF WAY
E-W	EXIST. WATER LINE
E-ST	EXIST. STORM DRAIN
█	EXIST. CURB INLET
○	EXIST. MINOR CONTOUR
---	EXIST. MAJOR CONTOUR
---	EXIST. OVERHEAD UTILITY
○-○-○	EXIST. FENCE LINE
⊙	EXIST. WATER METER
○	EXIST. PROPERTY CORNER
⊕	EXIST. STREET SIGN
⊖	EXIST. GUY WIRE
⊙	EXIST. POWER POLE



EXISTING SITE COND.		C1.0	
1019 BERKELEY ROAD CIVIL ENGINEERING & SITE PLANNING			
FOR OK CONSTRUCTION HENDERSON COUNTY			
REVISIONS	Date	01-08-24	
	Submit to Client	02-14-24	
	For Submittal	03-26-24	
No.	1		
	2		
	3		
<p>PRELIMINARY - NOT FOR CONSTRUCTION</p>			
<p>EDSEL ENGINEERING, PLLC 104 HIWASSEE AVENUE BLACK MOUNTAIN, NC 28711</p>			

DEVELOPMENT DATA
 PROPERTY ADDRESS: 1019 BERKELEY ROAD
 HENDERSONVILLE, NC 28792

PROPERTY OWNER & CONTACT:
 KEVIN FAKHOURY
 24 COUNTRY RD.
 HENDERSONVILLE, NC 28791
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CITES DEED: 4106-174
 LAT/LONG: 35.34576341043784, -82.47311204410711
 FEMA FLOOD PANEL: 9569
 EFFECTIVE DATE: 10/2/2008

PARKING DATA
 PER TABLE 6-5-2 OF CITY OF HENDERSONVILLE CODE OF ORDINANCES, RECREATIONAL FACILITIES REQUIRE 1 PARKING SPACE / 200SF GROSS FLOOR AREA

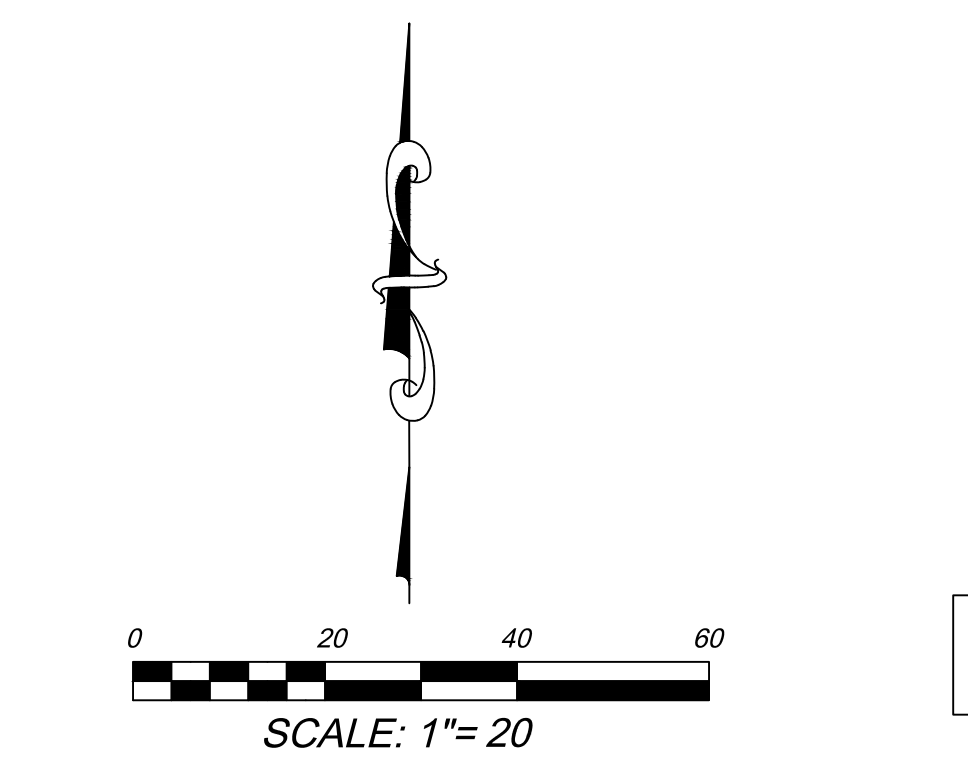
PROPOSED BUILDING SF = 10000 SF
 REQUIRED SPACES = 47 SPACES
 (REDUCED FROM 50 PER SECTION 6-5 OF CHAPTER 5-18-4.7 REGARDING ENTRY CORRIDOR)

PER ADA STANDARDS FOR ACCESSIBLE DESIGN, 26-50 SPACES REQUIRE MIN 2 SPACES

H/CAP SPACES PROVIDED = 2 SPACES

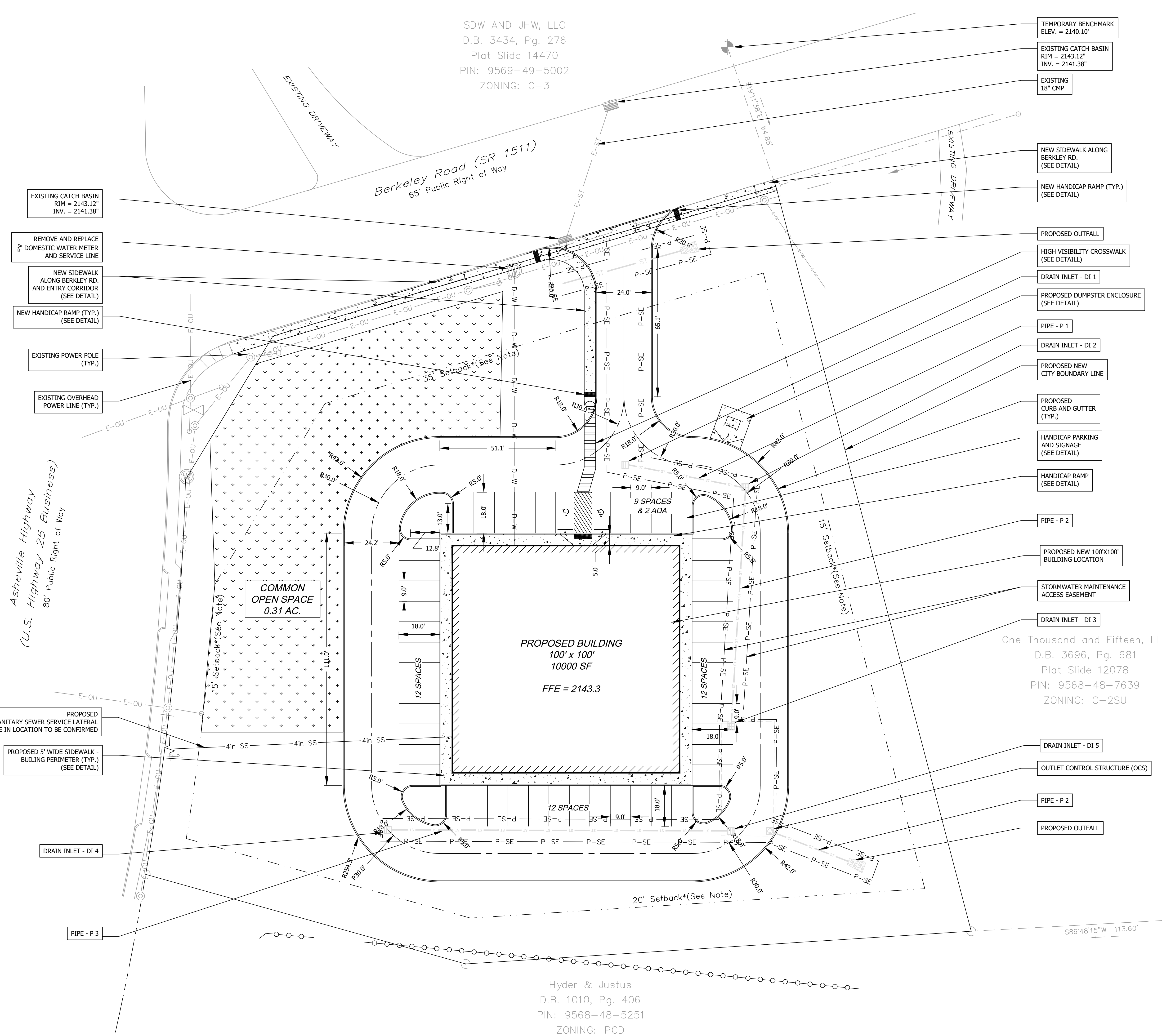
PROPOSED DEVELOPMENT DISTURBANCE DATA

TOTAL PROJECT AREA:	2.08	
UNDISTURBED AREA (ac.)	0.58	27.9%
LIMITS OF DISTURBANCE (ac.)	1.5	72.1%
PERVIOUS AREA (ac.)	1.14	54.8%
IMPERVIOUS AREA (ac.)	0.94	45.2%
PROPOSED LOT AREAS	N/A	
STREETS AND PARKING (ac.)	0.60	28.7%
COMMON OPEN SPACE	0.31	14.9%
OTHER FACILITIES	N/A	
BUILDING COVERAGE (SF)	10000	11.0%
PRE DEVELOPMENT IMPERVIOUS AREA (ac.)	0.43	20.5%
POST DEVELOPMENT IMPERVIOUS AREA (ac.)	0.90	43.0%



SITE AND UTILITY LEGEND

- EXIST. BOUNDARY
- - - EXIST. ADJOINER
- - - EXIST. RIGHT OF WAY
- ST- PROPOSED STORM DRAINAGE
- D-W- PROPOSED DOMESTIC WATER SERVICE
- P-SE- PROPOSED STORM EASEMENT
- 6inSS- PROPOSED SEWER SERVICE
- PROPOSED CATCH BASIN
- PROPOSED RIP RAP OUTLET
- PROPOSED CONCRETE SIDEWALK
- E-W- EXIST. WATER LINE
- E-ST- EXIST. STORM DRAIN
- EXIST. CURB INLET
- - - EXIST. MINOR CONTOUR
- - - EXIST. MAJOR CONTOUR
- - - EXIST. OVERHEAD UTILITY
- - - EXIST. FENCE LINE
- ⊙ EXIST. WATER METER
- EXIST. PROPERTY CORNER
- ⊙ EXIST. STREET SIGN
- ⊙ EXIST. GUY WIRE
- ⊙ EXIST. POWER POLE
- COMMON OPEN SPACE



SITE & UTILITY PLAN

1019 BERKELEY ROAD CIVIL ENGINEERING & SITE PLANNING

FOR OK CONSTRUCTION
 TOWN OF HENDERSONVILLE, HENDERSON COUNTY

No.	REVISIONS	Date
1	SUBMIT TO CLIENT	01-08-24
2	FOR SUBMITTAL	02-14-24
3	RESUBMITTAL	03-26-24

PRELIMINARY - NOT FOR CONSTRUCTION

Edsel Engineering, PLLC
 104 HIWASSEE AVENUE
 BLACK MOUNTAIN, NC 28711

EDSEL ENGINEERING

GENERAL NOTES

- WATER CONSTRUCTION ON THIS SITE IS AUTHORIZED BY PERMITS ISSUED BY THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY (NCEM) AND APPROVED BY THE CITY OF HENDERSONVILLE. THE WORK IS SUBJECT TO INSPECTIONS AT ALL TIMES BY REPRESENTATIVES OF THE CITY OF HENDERSONVILLE. THE CONTRACTOR SHALL MAINTAIN THE PERMITS AND REQUIRE CERTIFICATION OF COMPLETION OF THE WATER SYSTEMS BY THE ENGINEER AND THE APPLICANT PRIOR TO RESUME OF FINAL OPERATIONS.
- MATERIALS AND INSTALLATION FOR WATER CONSTRUCTION SHALL CONFORM TO THE LATEST EDITIONS OF CITY SPECIFICATIONS AND DETAILS AND ANNA STANDARDS AND REQUIREMENTS.
- CONTRACTOR SHALL NOTIFY NCEM & APPROPRIATE UTILITIES AGENCIES PRIOR TO PERFORMING ANY WORK.
- REGULAR WORKING HOURS SHALL BE FROM 7:00 AM TO 5:00 PM MONDAY THROUGH FRIDAY, EXCEPT IN CASES OF EMERGENCY OR OTHERWISE APPROVED IN WRITING BY THE CITY OR AUTHORIZED REPRESENTATIVES. THE CONTRACTOR SHALL ENSURE THE CONSTRUCTION SITE IS SAFE FOR ANY PERSONS WHO MAY BE ON SITE DURING NON-WORKING HOURS.
- ALL PERSONS SHALL BE COURTEOUS AND RESPECTFUL TO THE PUBLIC. CURSING OR FOUL LANGUAGE IS NOT PERMITTED AND WILL NOT BE TOLERATED.
- THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL ON ALL ROADWAYS DURING THE PROJECT. THE CONTRACTOR SHALL NOTIFY LOCAL EMERGENCY, SCHOOL AND OTHER NECESSARY AGENCIES PRIOR TO ANY STREET CLOSURE OR TRAFFIC CHANGE. THE CONTRACTOR AT HIS OWN DISCRETION SHALL KEEP THE CONSTRUCTION SITE AND ADJACENT PUBLIC AND PRIVATE ROADWAYS CLEAR DURING THE PROJECT. THE CONTRACTOR IS ALSO RESPONSIBLE FOR CONTROLLING DUST WITHIN THE PROJECT AREA.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION IN ACCORDANCE WITH THE LINES, GRADES AND ELEVATIONS SHOWN ON THE PLANS OR AS SHOWN BY THE ENGINEER IN THE FIELD.
- CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND THE ELEVATION FOR ALL UTILITIES, DRAINAGE AND OTHER UNDERGROUND FACILITIES BOTH EXISTING AND PROPOSED, AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT EXISTING UTILITIES DURING CONSTRUCTION. REPAIRS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE STANDARDS OF APPROPRIATE AGENCIES AT THE CONTRACTOR'S EXPENSE.
- DURING CONSTRUCTION THE CONTRACTOR SHALL MAINTAIN THE OPERATION OF EXISTING UTILITIES WITH THE LEAST AMOUNT OF SERVICE INTERRUPTION POSSIBLE IN COORDINATION WITH THE CITY OF HENDERSONVILLE. CONTINUOUS SERVICE, PUBLIC HEALTH AND SAFETY CONSIDERATIONS SHALL EXCEED ALL OTHERS AND CONTRACTOR'S SCHEDULE. PLANS AND WORK SHALL AT ALL TIMES BE SUBJECT TO ALTERATION AND REVISION IF NECESSARY FOR THESE CONSIDERATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TEMPORARY OR PERMANENT RELOCATION OF STRUCTURES AND UTILITIES, INCLUDING BUT NOT LIMITED TO POLES, SIGNS, FENCES, HYDRANTS, VALVES, PIPING, CONDUITS AND DRAINAGE THAT INTERFERE WITH THE POSITIONING OF THE WORK AS SHOWN ON THE DRAWINGS.
- CONTRACTOR SHALL BE REQUIRED TO CONFORM WITH ALL RESTRICTIONS AND EASEMENT CONDITIONS AND IS RESPONSIBLE FOR ALL RELATED INCIDENTAL COSTS INCURRED.
- EXISTING WATER SERVICES SHALL BE REPLACED TO THE EXISTING METER UNLESS OTHERWISE APPROVED IN WRITING BY THE CITY. SPLINGING OF THE WATER SERVICE ON THE DOWNSTREAM SIDE OF THE METER IS NOT PERMITTED.
- ALL EXISTING SEWER, INCLUDING BUT NOT LIMITED TO ASPHALT, CONCRETE, DRIVEWAYS, ROADS, LANDSCAPING, SHALL BE REPAIRED TO EQUAL OR BETTER CONDITION THAN THE ORIGINAL. SITE GRASS AND LANDSCAPING SHALL BE REPLACED IN THE SAME MANNER AS THE TRENCH TO GRADE AS SOON AS MATERIAL CONSTRUCTION ALLOWING ADEQUATE SEEDING AND STRIP OR MULCH SHALL BE APPLIED TO THE DISTURBED TRENCH AREA. ADDITIONAL FILL AND SITE RESTORATION MAY BE REQUIRED WITHIN THE WARRANTY PERIOD AT THE CITY'S DISCRETION.
- CONTRACTOR SHALL PROVIDE EROSION CONTROL DEVICES TO CONTROL RUNOFF AS REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR ANY FINES THAT MAY BE LEVIED DUE TO RUNOFF FROM CONSTRUCTION.
- IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO FOLLOW ALL APPLICABLE FEDERAL, STATE AND LOCAL HEALTH AND SAFETY REGULATIONS PERTAINING TO CONSTRUCTION OPERATIONS.
- ALL WATER MAINS SHALL HAVE A 3 FEET MINIMUM COVER.
- INSTALL FERROUS PIPING FOR BOTH WATER AND SEWER WITHIN 10 FT. OF A CROSSING.
- SEWER LINE CROSSES OVER WATER, SEE
- VERTICAL CLEARANCE BETWEEN WATER AND SEWER IS LESS THAN 18 INCHES.
- MAINTAIN 10 FEET HORIZONTAL SEPARATION BETWEEN SEWER AND WATER MAINS UNLESS LAID IN SEPARATE TRENCHES WITH THE BOTTOM OF THE WATER LINE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER LINE OR USE FERROUS MATERIAL FOR BOTH WATER AND SEWER.

DISCLAIMER:
THE STANDARD WATER DETAILS ARE FOR THE SOLE USE OF PROJECTS DIRECTLY FOR, OR THOSE PROJECTS IN WHICH OWNERSHIP WILL BE TRANSFERRED TO THE CITY OF HENDERSONVILLE. THESE TYPICALS ARE INTENDED TO SHOW THE CITY OF HENDERSONVILLE'S EXPECTATIONS FOR THE GENERAL LAYOUT, ARRANGEMENT, SIZE AND QUALITY OF EQUIPMENT AND MATERIALS FOR WATER DISTRIBUTION SYSTEM ITEMS AND THEIR RELATED APPURTENANCES. IT REMAINS THE SOLE RESPONSIBILITY OF THE ENGINEER IN RESPONSIBLE CHARGE (R/C) OF SUCH APPLICATION TO DETERMINE DESIGN TO, AND VERIFY TO THE DESIGN PARAMETERS FOR EACH INSTALLATION. THE ENGINEER MUST ALSO ENSURE THE DESIGN COMPLES WITH THE MINIMUM DESIGN CRITERIA OF NC DIVISION OF ENVIRONMENTAL QUALITY AND ALL LOCAL AND STATE LAWS AND REGULATIONS.

DATE: 05/22/2023 WD DWG. NO. 1
SCALE: NOT TO SCALE

City of Hendersonville Engineering Department
305 Williams Street
Hendersonville, NC 28792
(828) 697-3000 (office)
www.cityofhendersonville.com

H:\DETAILS-Current Standard Details\Water Only\Updated_Water_Details-Bulletin\Mark-5223.dwg, 5/22/2023 10:22:50 AM

PLAN

ELEVATION

NOTE:
12" x 12" and 16" x 16" TAPPING SLEEVES ARE NOT ALLOWED.

NOTE:
1. CONCRETE SHALL BE 3000 PSI.
2. CONCRETE SHALL NOT CONTACT BOLTS OR ENDS OF MECHANICAL JOINT FITTINGS BY THE INSTALLATION OF POLYETHYLENE FILM PLACED BETWEEN THE FITTINGS AND POURED CONCRETE.
3. SEE TABLE A-1 FOR AREA OF CONCRETE REQUIRED FOR MAIN SIZED 6-INCH THROUGH 18-INCH.

TABLE A-1
TBD

DATE: 01/12/2019 WD DWG. NO. 6
SCALE: NOT TO SCALE

City of Hendersonville Engineering Department
305 Williams Street
Hendersonville, NC 28792
(828) 697-3000 (office)
www.cityofhendersonville.com

H:\DETAILS-Current Standard Details\Water Only\Updated_Water_Details-Bulletin\Mark-5223.dwg, 1/12/2019 11:02:39 AM, mpmanning

TYPICAL SECTION

PLAN VIEW

NOTES:
1. CURB SHALL BE TAPERED TO FINISH FLUSH WITH SIDEWALK.
2. BEGINNING RADIUS SHALL NOT ENCRUCH ON ADJACENT PROPERTIES BASED ON A PROJECTION OF THE PROPERTY LINE FROM THE RIGHT OF WAY TO THE CURB LINE.
3. SIDEWALK SECTION SHALL BE REQUIRED ALONG ALL STREETS.
4. THE CITY IS NOT RESPONSIBLE FOR VEHICLES THAT DRAG DUE TO GRADE OF DRIVEWAY. THE DRIVEWAY IS PRIVATELY MAINTAINED.
5. ALL CONCRETE SHALL BE 4,000 PSI.
6. ALL EXPANSION JOINTS TO BE SEALED WITH POLYMER SEALANT MEETING ASTM C920

DATE: 05/19/2023 WD DWG. NO. 02
SCALE: NOT TO SCALE

City of Hendersonville Engineering Department
305 Williams Street
Hendersonville, NC 28792
(828) 697-3000 (office)
www.cityofhendersonville.com

H:\DETAILS-Current Standard Details\Public Works\Details\COH_PW_Details.dwg, PW-02, DRIVEWAY APRON TYPE I AND 2

STANDARD SERVICE CONNECTION LATERAL AND CLEANOUT

DATE: 10/19/2023 SS-D DWG. NO. 04
SCALE: NOT TO SCALE

City of Hendersonville Engineering Department
305 Williams Street
Hendersonville, NC 28792
(828) 697-3000 (office)
www.cityofhendersonville.com

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PROPOSED 2 CY COMMERCIAL DUMPSTER

8" 4500 PSI CONCRETE WITH 1.5LBS/CY FIBERMESH 300 SEE DETAIL

TRANSITION TO MOUNTABLE CURB AND GUTTER SECTION, SEE DETAILS

CONTRACTOR TO SUBMIT CUT SHEETS FOR GATES

MINIMUM 14'

MINIMUM 11'

DUMPSTER ENCLOSURE TO BE FENCE OR WALL WITH A MINIMUM HEIGHT OF SIX FEET WITH THE FINISHED SIDE OF THE FENCE FACING THE ABUTTING PROPERTY OR STREET. CONTRACTOR TO SUBMIT CUT SHEETS FOR APPROVAL.

8" 4500 PSI CONCRETE WITH 1.5LBS/CY FIBERMESH 300

8" CABC AT 100% STANDARD PROCTOR

SUBGRADE COMPACTED TO 98% STANDARD PROCTOR

12" | 4"

18"

6" | 8"

DUMPSTER ENCLOSURE DETAILS

1019 BERKELEY ROAD
CIVIL ENGINEERING & SITE PLANNING

FOR OK CONSTRUCTION
TOWN OF HENDERSONVILLE, HENDERSON COUNTY

UTILITY DETAILS

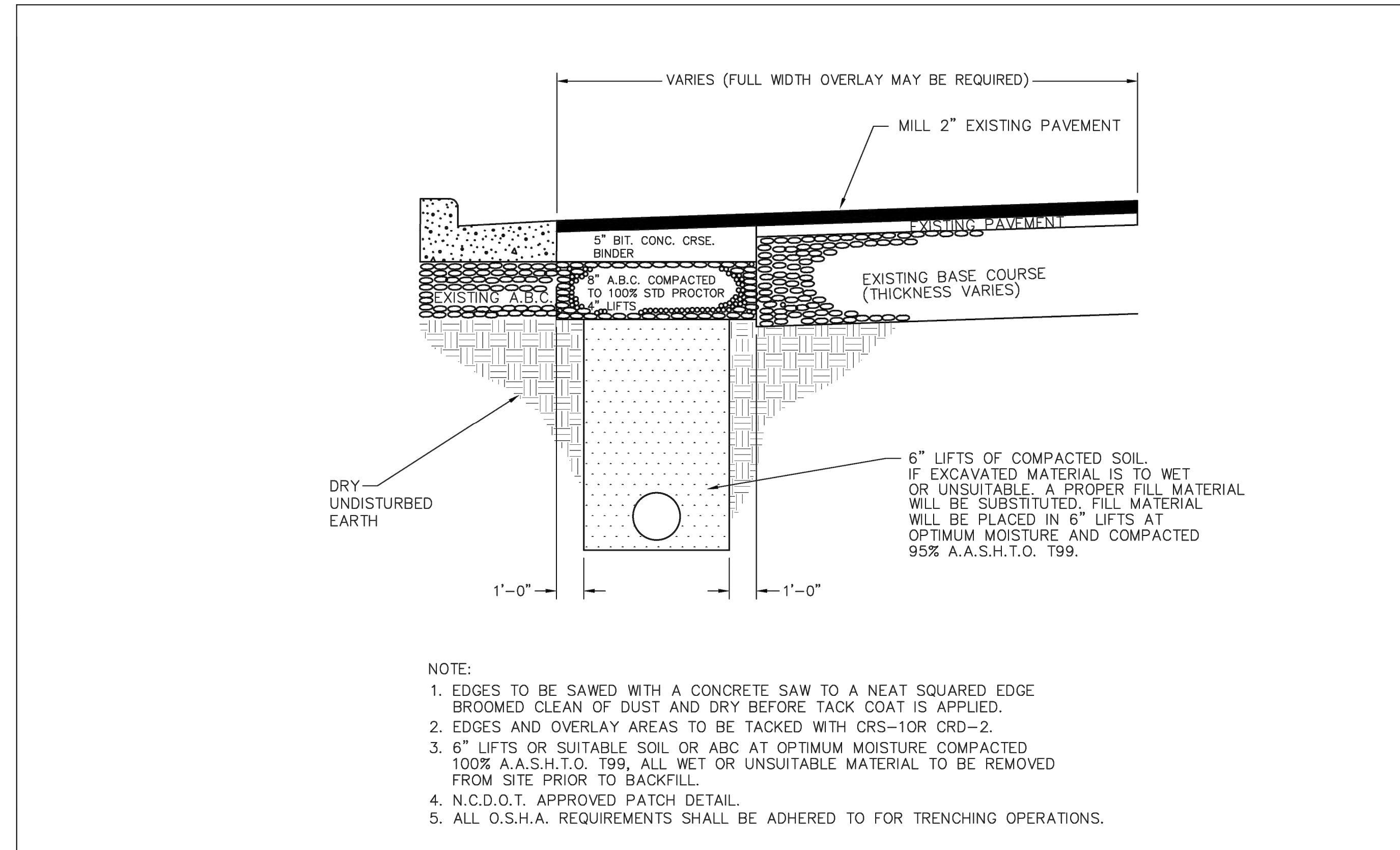
C-2.1

No.	REVISIONS	Date
1	SUBMIT TO CLIENT	01-08-24
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PRELIMINARY - NOT FOR CONSTRUCTION

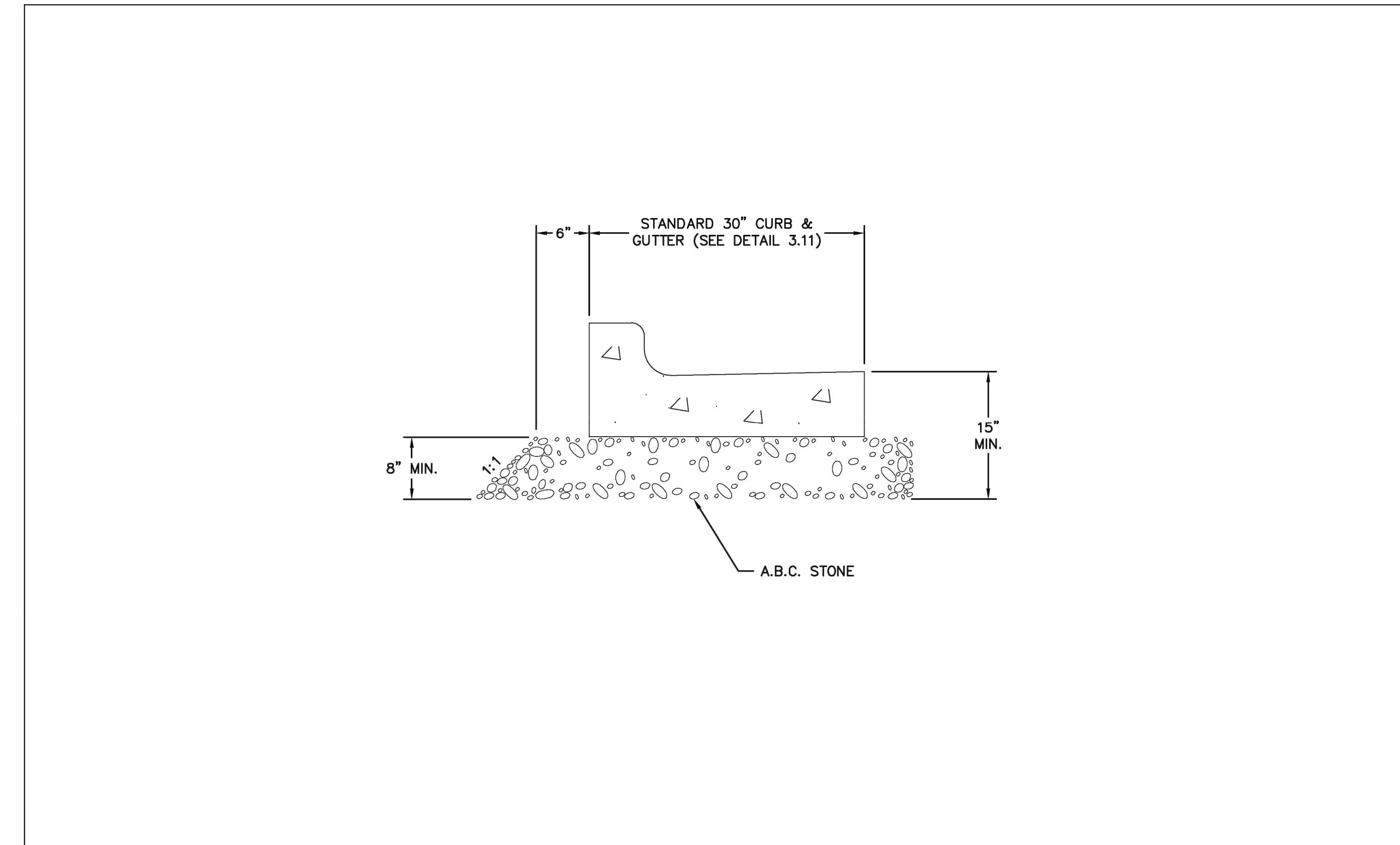
EDSEL ENGINEERING, PLLC
104 HIWASSEE AVENUE
BLACK MOUNTAIN, NC 28711

EDSEL ENGINEERING

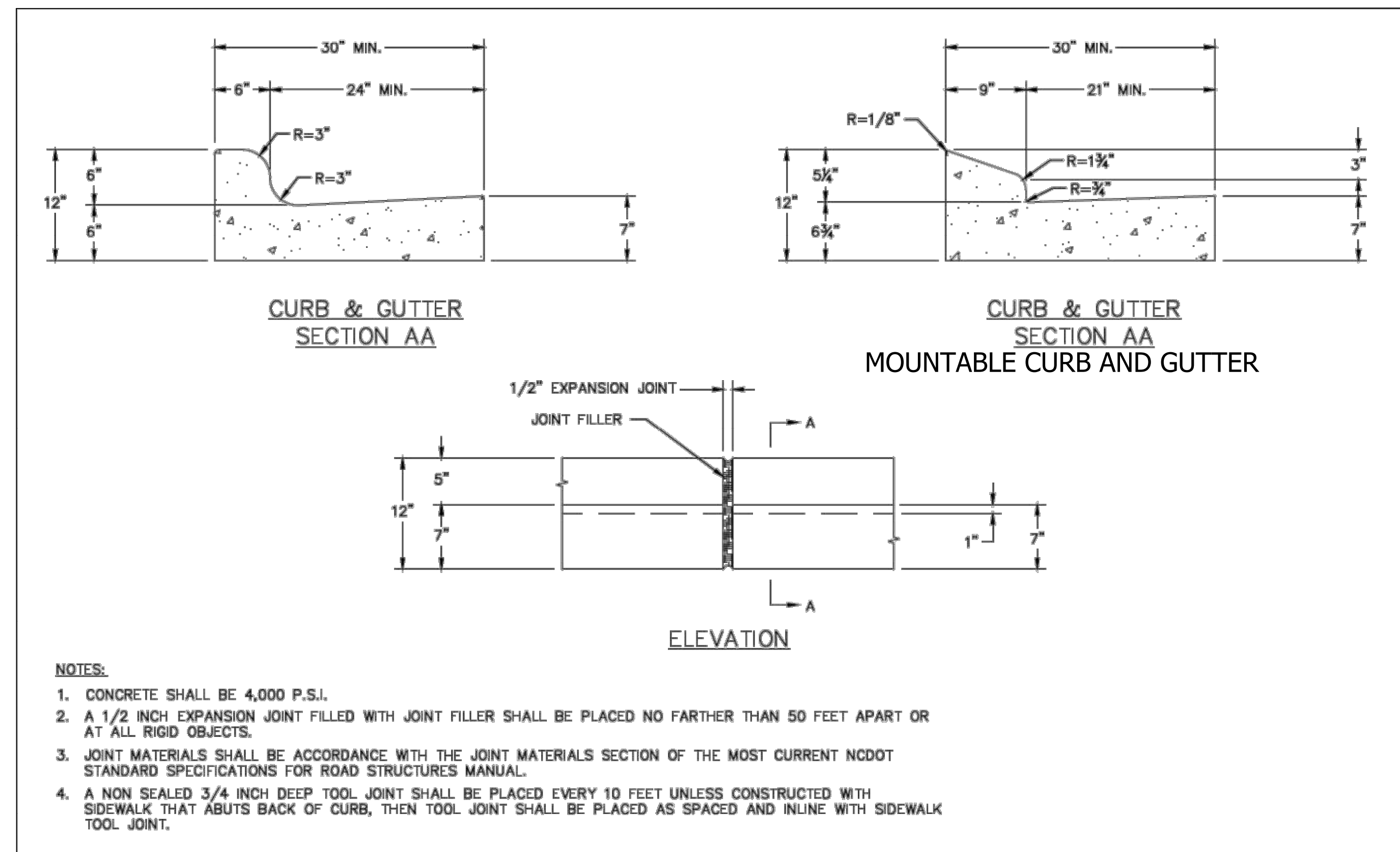


- NOTE:
1. EDGES TO BE SAWED WITH A CONCRETE SAW TO A NEAT SQUARED EDGE BROOMED CLEAN OF DUST AND DRY BEFORE TACK COAT IS APPLIED.
 2. EDGES AND OVERLAY AREAS TO BE TACKED WITH CRS-10R CRD-2.
 3. 6" LIFTS OR SUITABLE SOIL OR ABC AT OPTIMUM MOISTURE COMPACTED 100% A.A.S.H.T.O. T99. ALL WET OR UNSUITABLE MATERIAL TO BE REMOVED FROM SITE PRIOR TO BACKFILL.
 4. N.C.D.O.T. APPROVED PATCH DETAIL.
 5. ALL O.S.H.A. REQUIREMENTS SHALL BE ADHERED TO FOR TRENCHING OPERATIONS.

PAVEMENT REMOVAL AND REPLACEMENT

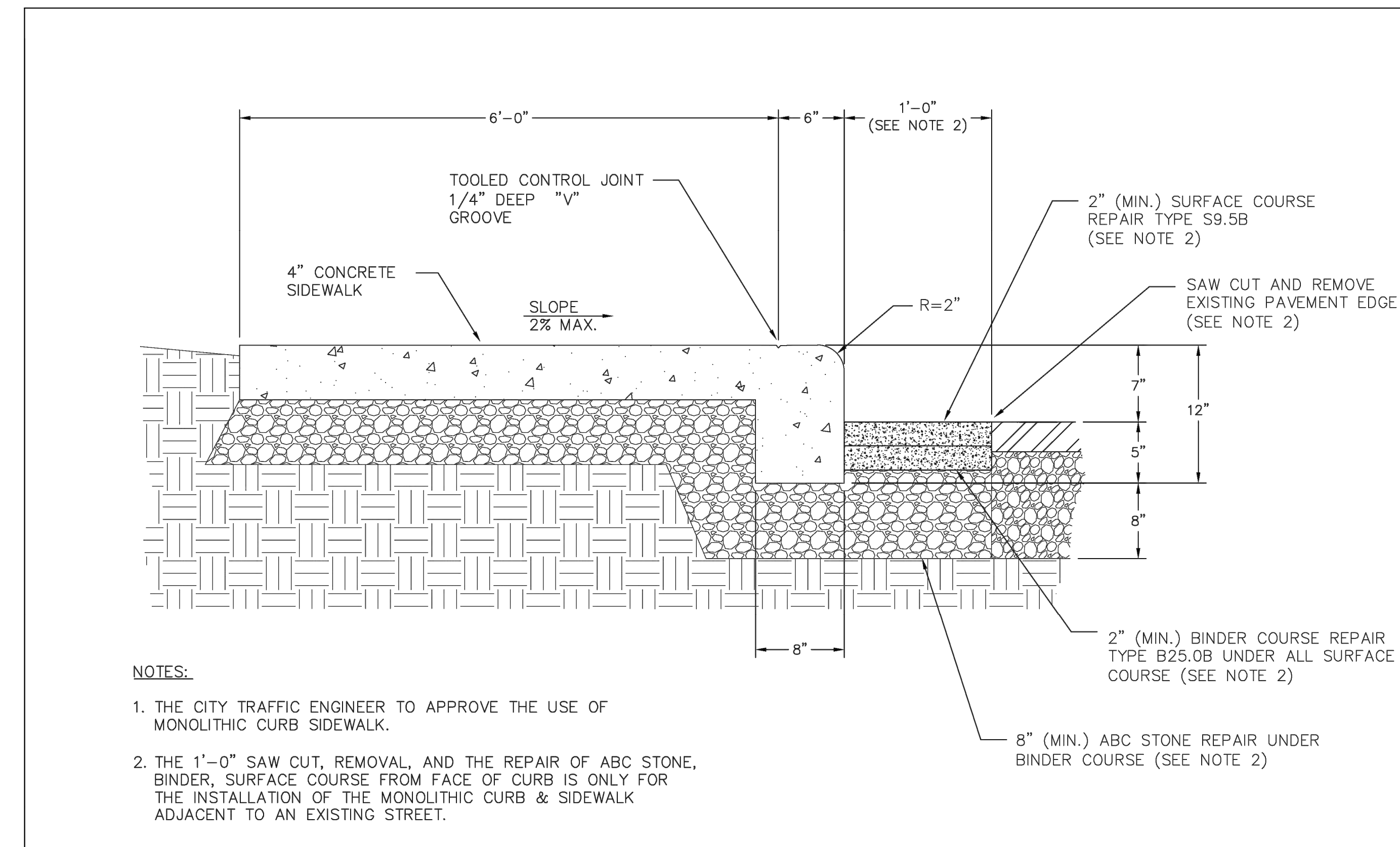


A.B.C. UNDER 2'-6" CURB & GUTTER



- NOTES:
1. CONCRETE SHALL BE 4,000 P.S.I.
 2. A 1/2 INCH EXPANSION JOINT FILLED WITH JOINT FILLER SHALL BE PLACED NO FARTHER THAN 50 FEET APART OR AT ALL RIGID OBJECTS.
 3. JOINT MATERIALS SHALL BE ACCORDANCE WITH THE JOINT MATERIALS SECTION OF THE MOST CURRENT NCDOT STANDARD SPECIFICATIONS FOR ROAD STRUCTURES MANUAL.
 4. A NON SEALED 3/4 INCH DEEP TOOL JOINT SHALL BE PLACED EVERY 10 FEET UNLESS CONSTRUCTED WITH SIDEWALK THAT ABUTS BACK OF CURB, THEN TOOL JOINT SHALL BE PLACED AS SPACED AND IN LINE WITH SIDEWALK TOOL JOINT.

STANDARD CONCRETE CURB AND GUTTER



- NOTES:
1. THE CITY TRAFFIC ENGINEER TO APPROVE THE USE OF MONOLITHIC CURB SIDEWALK.
 2. THE 1'-0" SAW CUT, REMOVAL, AND THE REPAIR OF ABC STONE, BINDER, SURFACE COURSE FROM FACE OF CURB IS ONLY FOR THE INSTALLATION OF THE MONOLITHIC CURB & SIDEWALK ADJACENT TO AN EXISTING STREET.

MONOLITHIC CURB & SIDEWALK

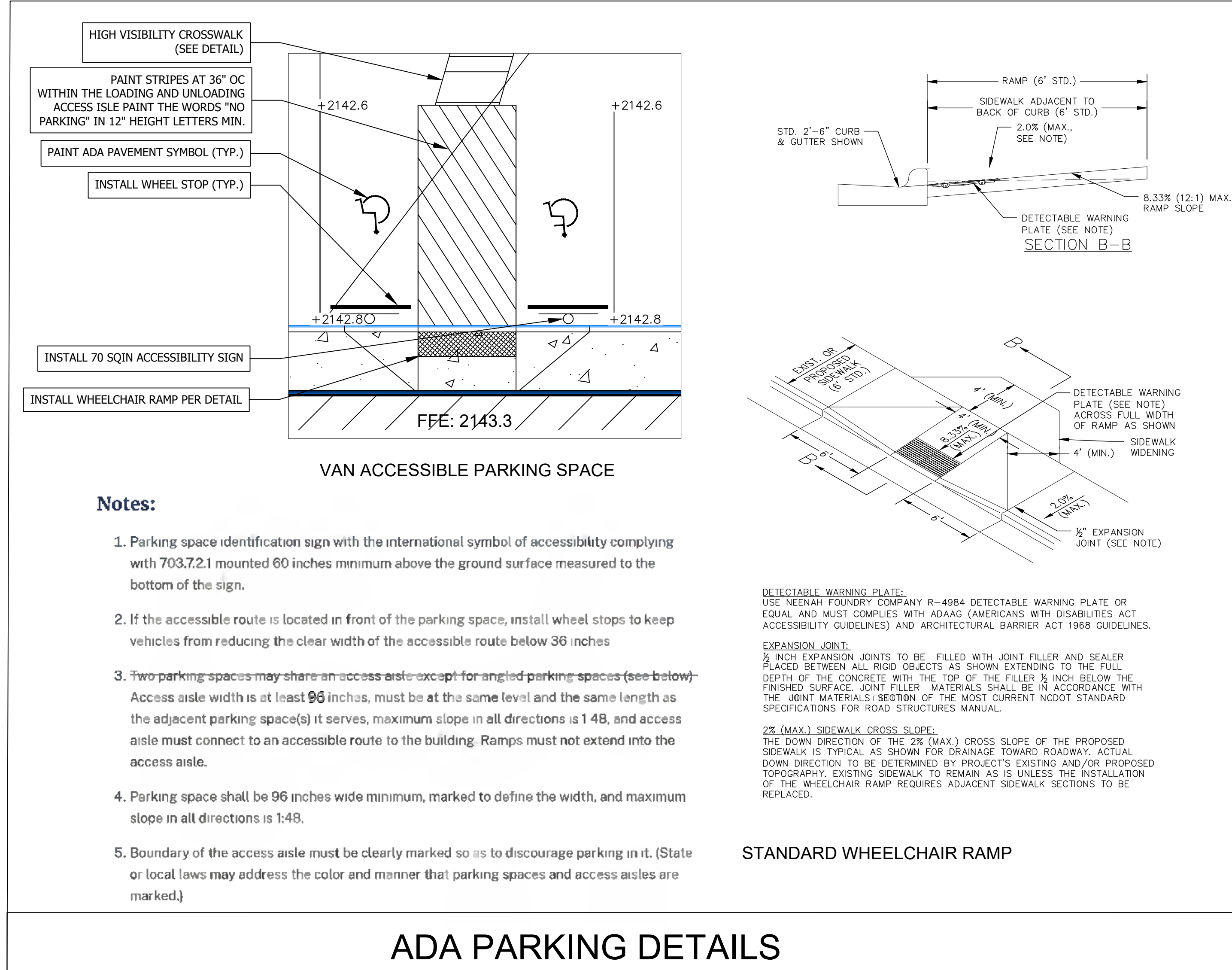
1019 BERKELEY ROAD
CIVIL ENGINEERING & SITE PLANNING
FOR OK CONSTRUCTION
TOWN OF HENDERSONVILLE, HENDERSON COUNTY

SITE DETAILS
C-2.2

No.	REVISIONS	Date
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3	RESUBMITTAL	03-26-24

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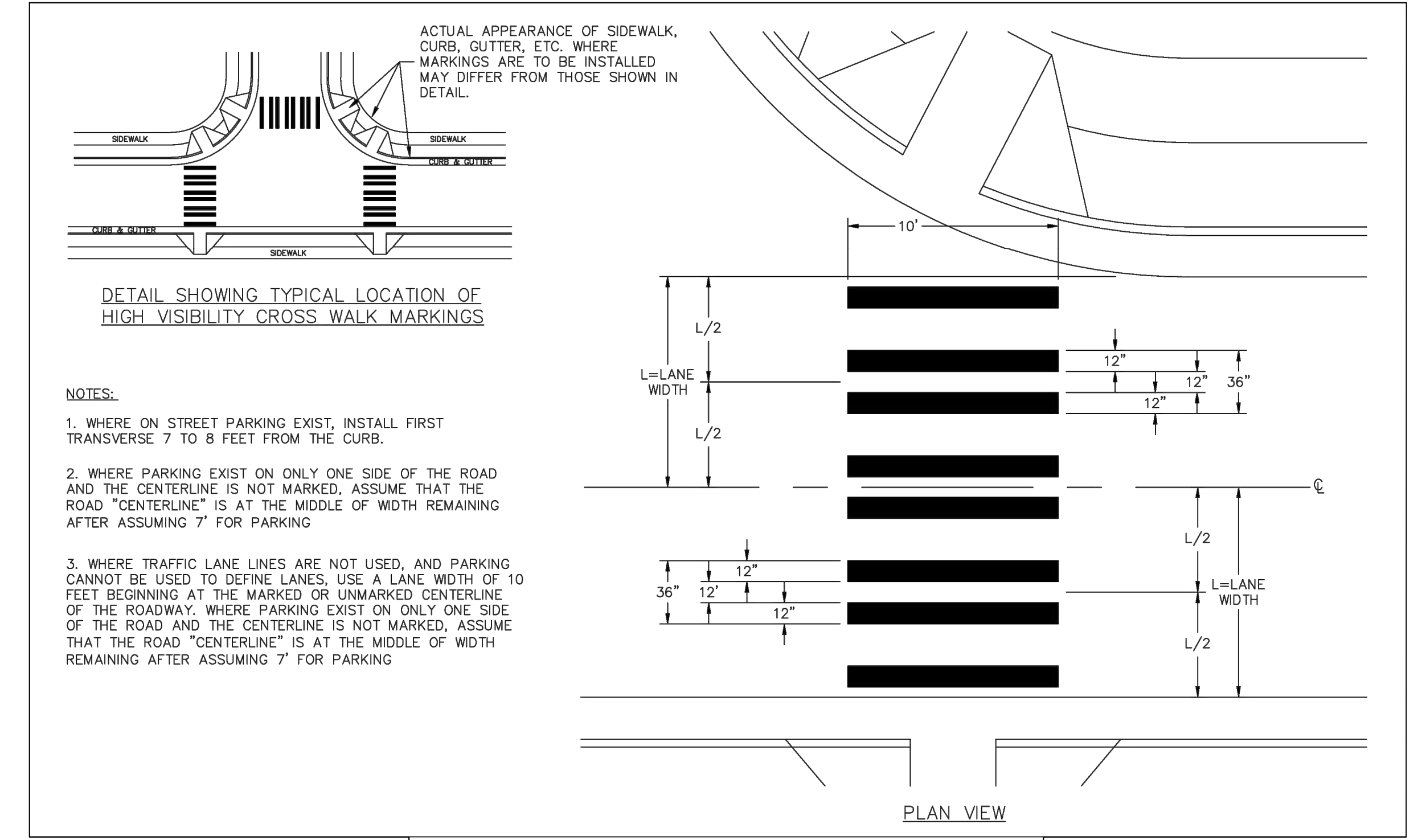
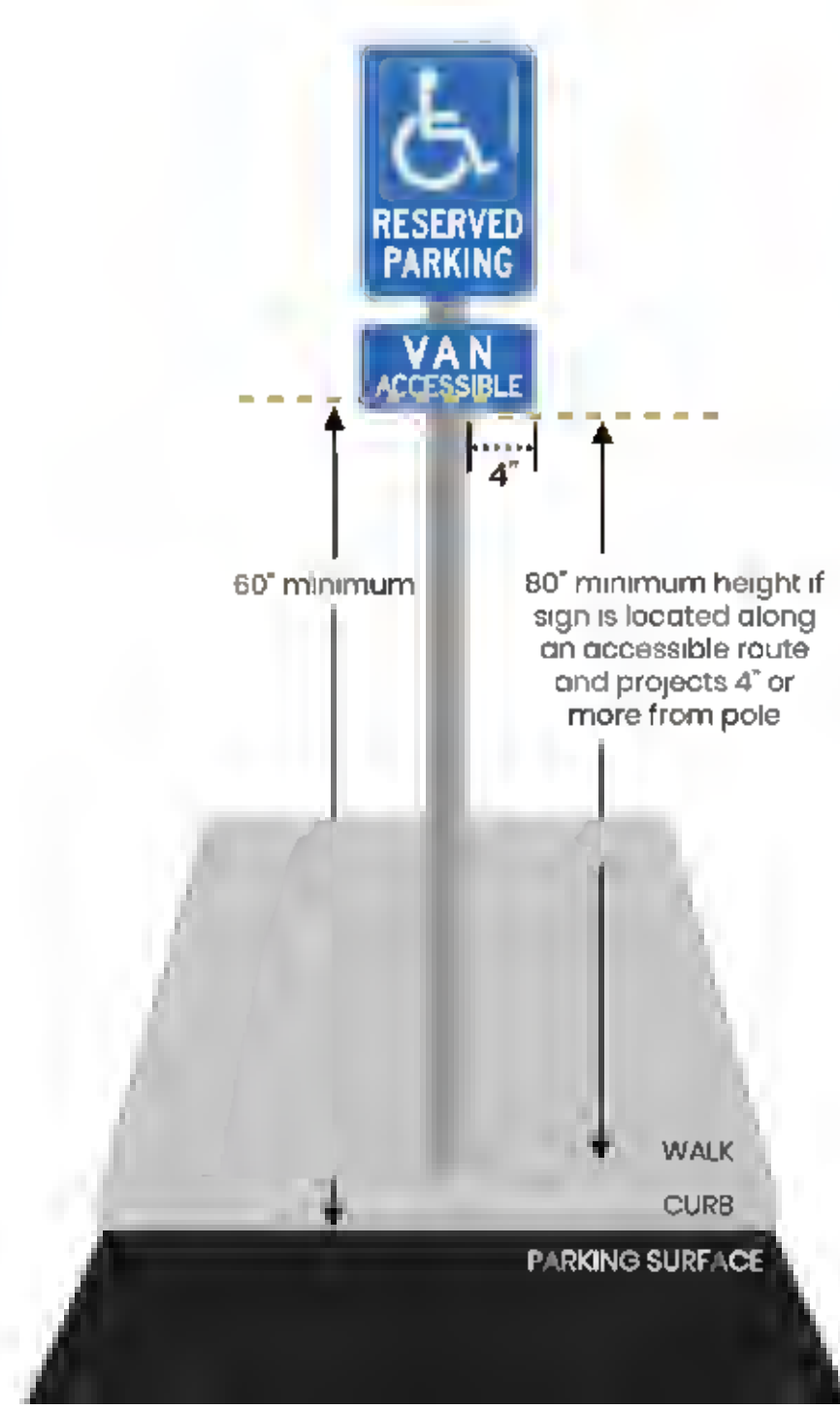
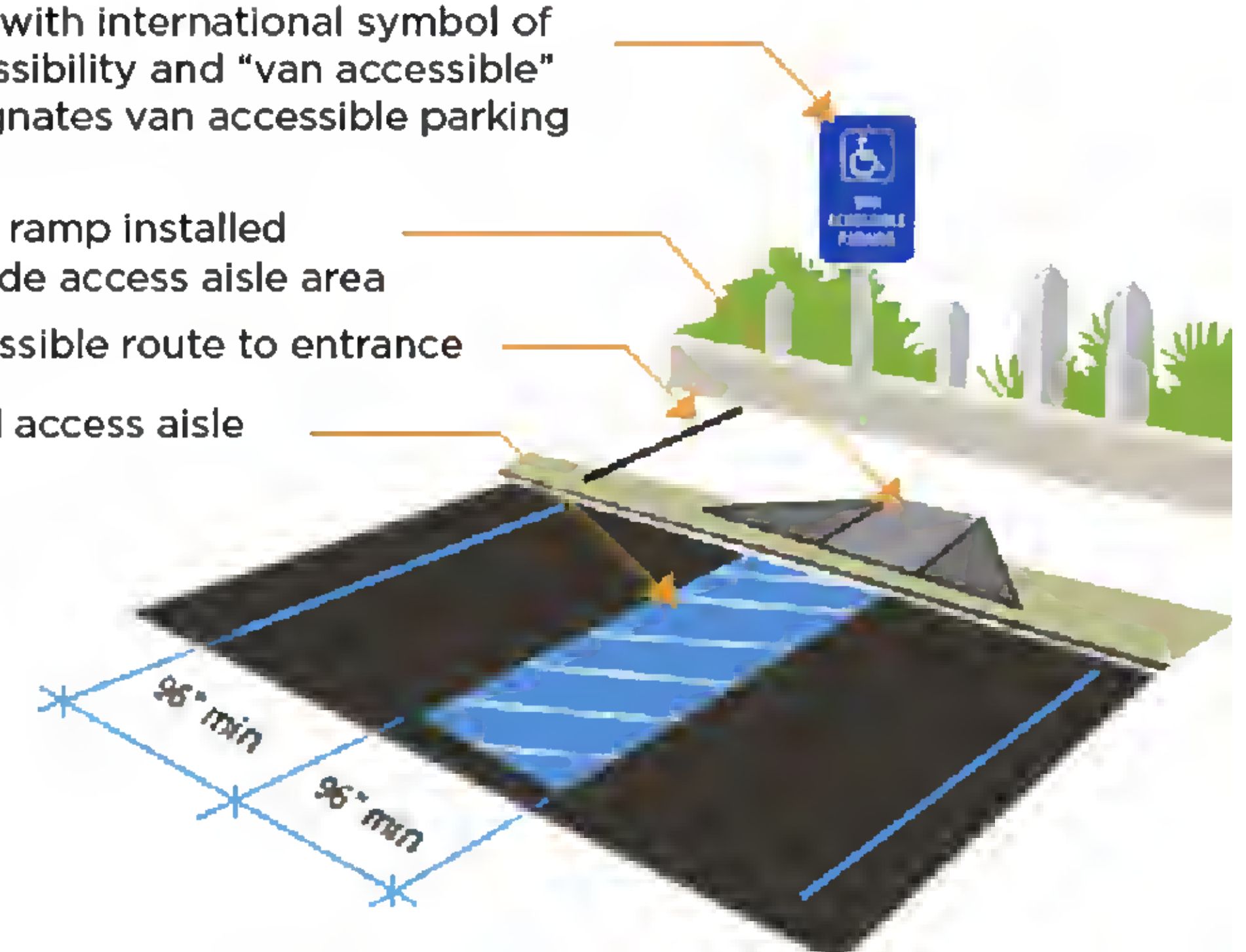
EDSEL ENGINEERING, PLLC
104 HIWASSEE AVENUE
BLACK MOUNTAIN, NC 28711



ADA PARKING DETAILS

Sign with international symbol of accessibility and "van accessible" designates van accessible parking

Curb ramp installed outside access aisle area
Accessible route to entrance
Level access aisle

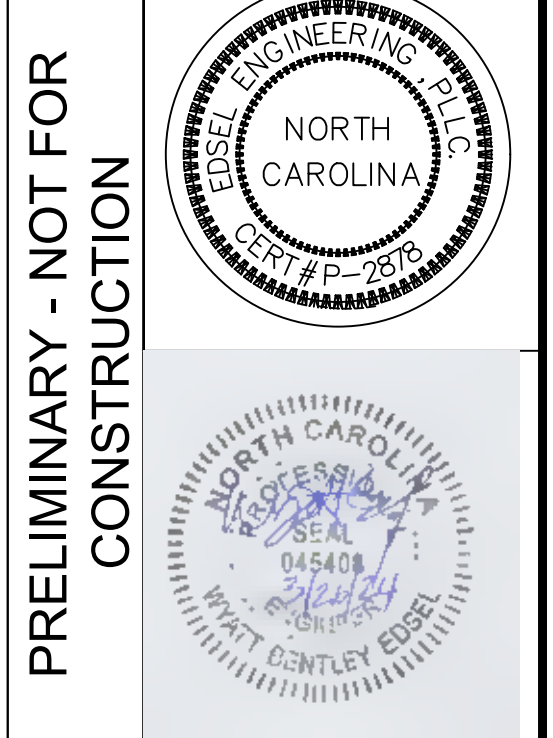


HIGH VISIBILITY CROSS WALK

ADA DETAILS
C-2.3

1019 BERKELEY ROAD
CIVIL ENGINEERING & SITE PLANNING
FOR OK CONSTRUCTION
TOWN OF HENDERSONVILLE, HENDERSON COUNTY

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EDSEL ENGINEERING, PLLC
104 HIWASSEE AVENUE
BLACK MOUNTAIN, NC 28711



CONSTRUCTION SEQUENCE

1. THIS PROJECT IS A DEVELOPMENT FOR A COMMERCIAL STORAGE FACILITY. IT INVOLVES PLACING AND COMPACTING SOIL TO REACH THE FINISHED GRADES AND PROVIDING THE DRAINAGE FEATURES AS SHOWN ON THE PLANS.
2. HOLD A PRE-CONSTRUCTION MEETING PRIOR TO OBTAINING A LAND DISTURBING PERMIT FROM REGULATORY AUTHORITY. OBTAIN PERMIT.
3. SURVEY AND DELINEATE THE LIMITS OF DISTURBANCE.
4. SCHEDULE PRE-CONSTRUCTION MEETING WITH ENGINEER AT LEAST 48 HOURS PRIOR TO PROJECT ACTIVATION. INCLUDE LOCAL REGULATORY AUTHORITY EROSION CONTROL DEPARTMENT IN THE PRE-CONSTRUCTION MEETING INVITE.
5. INSTALL RAIN GAUGE ON SITE. NO MAJOR GRADING ACTIVITIES OR BASIN CONSTRUCTION ARE TO TAKE PLACE DURING WEATHER OR PERIODS OF PREDICTED WET WEATHER.
6. INSTALL PERMIT BOX (INSPECTION REPORTS AND PERMITS TO BE PLACED IN BOX).
7. INSTALL CONSTRUCTION ENTRANCE / EXITS.
8. INSTALL ALL PERIMETER DEVICES IN THE FORM OF SILT FENCES.
9. HAVE THE SITE INSPECTED BY THE ENGINEER AND REGULATORY AUTHORITY EROSION CONTROL DEPARTMENT PRIOR TO PROCEEDING WITH MASS GRADING.
10. CONTINUE WITH CLEARING TO REMOVE ALL VEGETATION, INCLUDING ROOT MATS, FROM THE PROPOSED LIMITS OF DISTURBANCE.
11. TUB GRIND ALL VEGETATION AND STOCKPILE MATERIAL.
12. DURING MASS GRADING, BEGIN TO INSTALL PERMANENT RUNOFF CONVEYANCE SYSTEMS SUCH AS STORM DRAINAGE, INLETS, DITCHES, AND PERMANENT DIVERSION.
13. INSTALL REMAINING STORM DRAINAGE SYSTEM AND INLET AND OUTLET PROTECTION DEVICES SIMULTANEOUSLY.
14. INSTALL WADDLES, WATER BARS, AND SLOPE MAPPING ON ALL CUT AND FILL SLOPES IN ACCORDANCE WITH PERMIT TIME REQUIREMENTS.
15. MONITOR DUST DURING EARTH MOVING ACTIVITIES. IF DUST FORMS, WET SITE TO ELIMINATE LOSS OF DUST SEDIMENT.
16. BRING ALL FILL AREAS TO FINAL GRADE. A GEOTECH MUST MONITOR ALL FILL BANKS AND MATERIAL FORMING THE ROAD BASE AND ALL CUT AND FILL SLOPES GREATER THAN 3:1.
17. FINE GRADE ROADS.
18. INSTALL STONE AND BINDER ON ROAD AREAS.
19. PROVIDE PERMANENT VEGETATION FOR THE REMAINDER OF THE SITE.
20. THE SITE SHOULD BE STABILIZED WITH ALL E&SC MEASURES REMOVED PRIOR TO REQUESTING A CLOSE OUT INSPECTION FROM THE LQS INSPECTOR. CONTACT EROSION CONTROL INSPECTOR AND REQUEST CLOSEOUT OF THE CONSTRUCTION ACTIVITIES PERMIT. ONCE APPROVED, REMOVE ALL SEDIMENT FENCE, COLLECTED SEDIMENT, INLET PROTECTION, ETC. AND DISPOSE IN PERMITTED CONSTRUCTION DEBRIS LANDFILL.

DEVELOPMENT DATA

PROPERTY ADDRESS: 1019 BERKELEY ROAD
HENDERSONVILLE, NC 28792

PROPERTY OWNER & CONTACT: KEVIN FAKHOURY
24 COUNTRY RD.
HENDERSONVILLE, NC 28791
EMAIL: kevin.fakhoury@gmail.com
PHONE: (828) 674-6267

PIN NUMBERS: 9569-48-5695
ZONING: C-3 HIGHWAY BUSINESS
PROPERTY SIZE: 2.08 ACRES
DISTURBED AREA: 1.5 ACRES (SESC APPROVAL REQUIRED BY HENDERSON COUNTY)

BUILDING HEIGHT: 29' TO PEAK OF ROOF
SOIL TYPES: Hyc

CITES DEED: 4106-174
LAT/LONG: 35.34576341043784, -82.47311204410711
FEMA FLOOD PANEL: 9569
EFFECTIVE DATE: 10/2/2008

SDW AND JHW, LLC
D.B. 3434, Pg. 276
Plat Slide 14470
PIN: 9569-49-5002
ZONING: C-3

Berkeley Road (SR 1511)
65' Public Right of Way

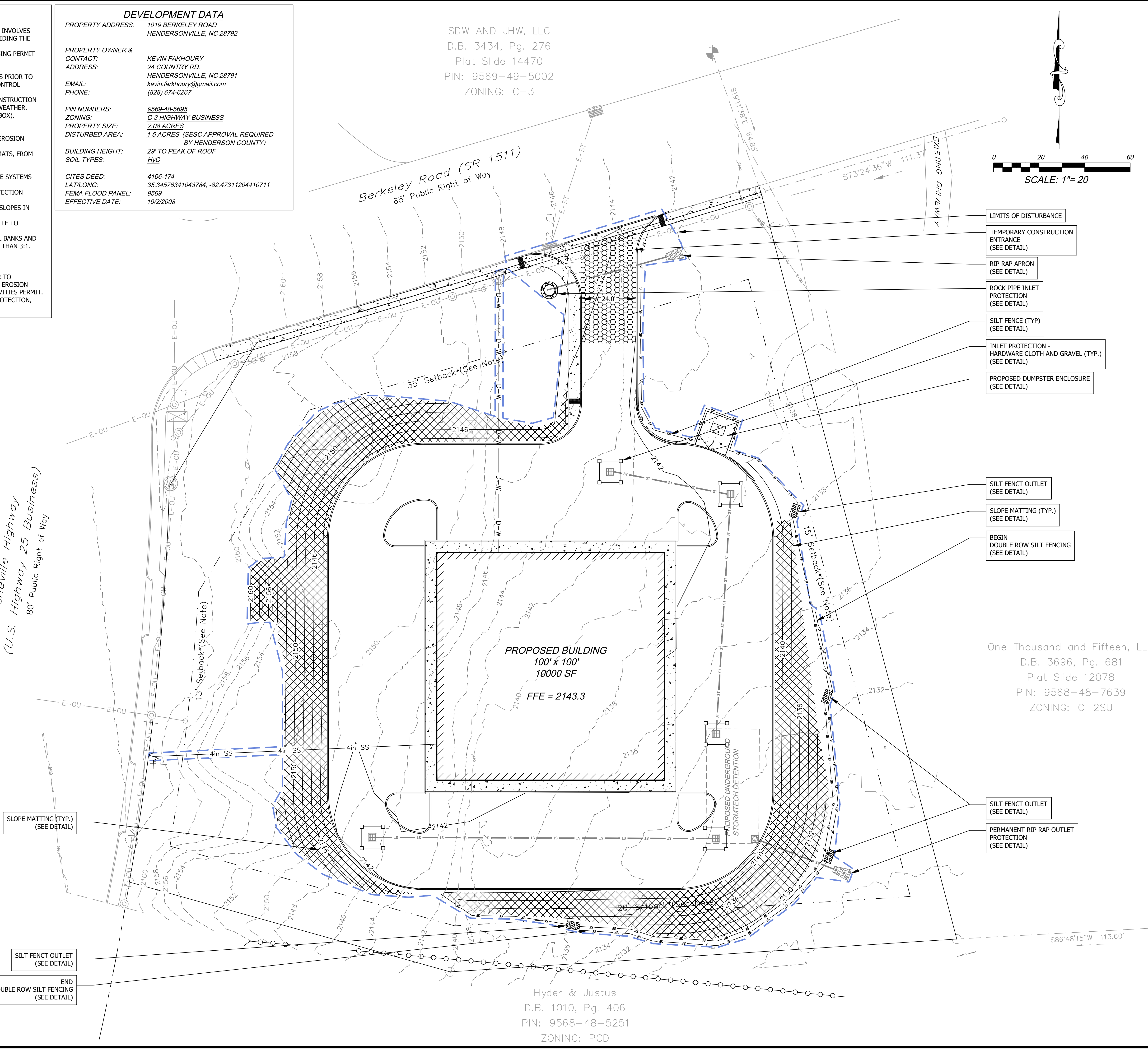
Asheville Highway
(U.S. Highway 25 Business)
80' Public Right of Way

PROPOSED DEVELOPMENT DISTURBANCE DATA

TOTAL PROJECT AREA:	2.08	
UNDISTURBED AREA (ac.)	0.58	27.9%
LIMITS OF DISTURBANCE (ac.)	1.5	72.1%
PERVIOUS AREA (ac.)	1.14	54.8%
IMPERVIOUS AREA (ac.)	0.94	45.2%
PROPOSED LOT AREAS	N/A	
STREETS AND PARKING (ac.)	0.60	28.7%
COMMON OPEN SPACE	0.31	14.9%
OTHER FACILITIES	N/A	
BUILDING COVERAGE (SF)	10000	11.0%
PRE DEVELOPMENT IMPERVIOUS AREA (ac.)	0.43	20.5%
POST DEVELOPMENT IMPERVIOUS AREA (ac.)	0.90	43.0%

EROSION CONTROL LEGEND

---	EXIST. BOUNDARY
---	EXIST. ADJOINER
---	EXIST. RIGHT OF WAY
ST	PROPOSED STORM DRAINAGE
D-W	PROPOSED DOMESTIC WATER SERVICE
6inSS	PROPOSED SEWER SERVICE
---	LIMITS OF DISTURBANCE
---	TEMP. SILT FENCE
---	TEMP. CONSTRUCTION ENTRANCE
---	TEMP. ROCK INLET PIPE PROTECTION
---	TEMP. REINFORCED STABILIZED OUTLET
---	TEMP. HARDWARE CLOTH AND GRAVEL INLET PROTECTION
---	TEMP. HARDWARE CLOTH AND GRAVEL INLET PROTECTION
---	PROPOSED CATCH BASIN
---	PROPOSED RIP RAP OUTLET
---	PROPOSED CONCRETE SIDEWALK
E-W	EXIST. WATER LINE
E-ST	EXIST. STORM DRAIN
ELEV	EXIST. CURB INLET
---	EXIST. MINOR CONTOUR
---	EXIST. MAJOR CONTOUR
---	EXIST. OVERHEAD UTILITY
---	EXIST. FENCE LINE
---	EXIST. WATER METER
---	EXIST. PROPERTY CORNER
---	EXIST. STREET SIGN
---	EXIST. GUY WIRE
---	EXIST. POWER POLE



ESC & GRADING PLAN

1019 BERKELEY ROAD

CIVIL ENGINEERING & SITE PLANNING

FOR OK CONSTRUCTION, HENDERSON COUNTY
TOWN OF HENDERSONVILLE, HENDERSON COUNTY

Section 5, Item C.
C-3.0

No.	REVISIONS	Date
1	DATE	01-08-24
2	FOR SUBMITTAL	02-14-24
3	RESUBMITTAL	03-26-24

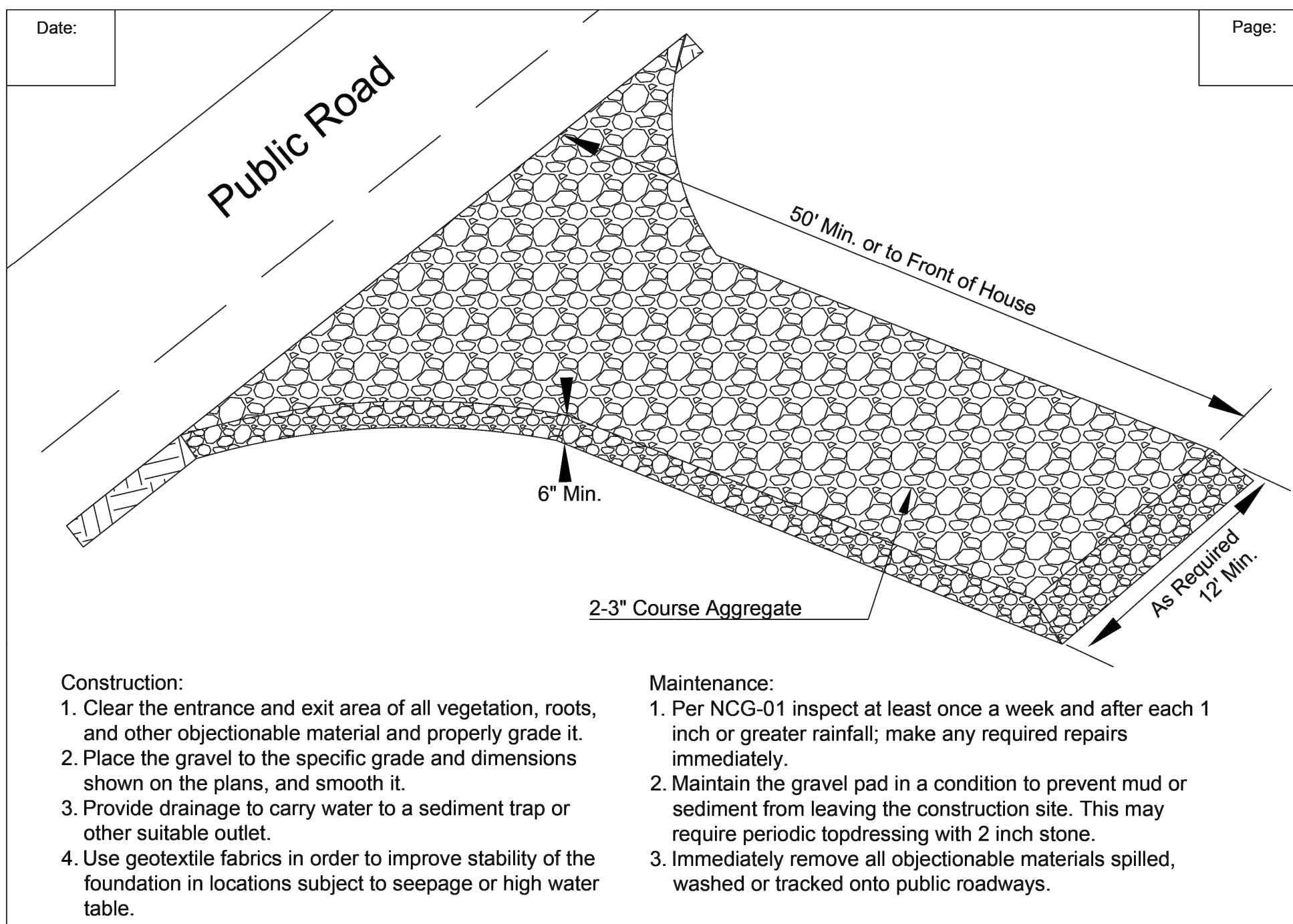
PRELIMINARY - NOT FOR CONSTRUCTION

EDSEL ENGINEERING, PLLC
104 HIWASSEE AVENUE
BLACK MOUNTAIN, NC 28711

EDSEL ENGINEERING, PLLC
104 HIWASSEE AVENUE
BLACK MOUNTAIN, NC 28711

One Thousand and Fifteen, LLC
D.B. 3696, Pg. 681
Plat Slide 12078
PIN: 9568-48-7639
ZONING: C-2SU

Hyder & Justus
D.B. 1010, Pg. 406
PIN: 9568-48-5251
ZONING: PCD



CONSTRUCTION ENTRANCE / EXIT

CONSTRUCTION ENTRANCE / EXIT

Construction:

1. Clear the entrance and exit area of all vegetation, roots, and other objectionable material and properly grade it.
2. Place the gravel to the specific grade and dimensions shown on the plans, and smooth it.
3. Provide drainage to carry water to a sediment trap or other suitable outlet.
4. Use geotextile fabrics in order to improve stability of the foundation in locations subject to seepage or high water table.

Maintenance:

1. Per NCG-01 inspect at least once a week and after each 1 inch or greater rainfall; make any required repairs immediately.
2. Maintain the gravel pad in a condition to prevent mud or sediment from leaving the construction site. This may require periodic treading with 2 inch stone.
3. Immediately remove all objectionable materials spilled, washed or tracked onto public roadways.

CONCRETE WASHOUTS

1. Do not discharge concrete or cement slurry from the site.
2. Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
3. Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
4. Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
5. Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
6. Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
7. Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
8. Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
9. Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
10. At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

1. Never bury or burn waste. Place litter and debris in approved waste containers.
2. Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
3. Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
4. Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
5. Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
6. Anchor all lightweight items in waste containers during times of high winds.
7. Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
8. Dispose waste off-site at an approved disposal facility.
9. On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

1. Do not dump paint and other liquid waste into storm drains, streams or wetlands.
2. Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
3. Contain liquid wastes in a controlled area.
4. Containment must be labeled, sized and placed appropriately for the needs of site.
5. Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

HAZARDOUS AND TOXIC WASTE

1. Create designated hazardous waste collection areas on-site.
2. Place hazardous waste containers under cover or in secondary containment.
3. Do not store hazardous chemicals, drums or bagged materials directly on the ground.

PORTABLE TOILETS

1. Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
2. Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
3. Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

ONSITE CONCRETE WASHOUT STRUCTURE WITH LINER

SECTION A-A

SECTION B-B

CONCRETE WASHOUTS

1. ACTUAL LOCATION DETERMINED IN FIELD
2. THE CONCRETE WASHOUT STRUCTURES SHALL BE MAINTAINED WHEN THE LIQUID AND/OR SOLID REACHES 75% OF THE STRUCTURES CAPACITY.
3. CONCRETE WASHOUT STRUCTURE NEEDS TO BE CLEARLY MARKED WITH SIGNAGE NOTING DEVICE.
4. ACTUAL LOCATION DETERMINED IN FIELD
5. THE CONCRETE WASHOUT STRUCTURES SHALL BE MAINTAINED WHEN THE LIQUID AND/OR SOLID REACHES 75% OF THE STRUCTURES CAPACITY TO PROVIDE ADEQUATE HOLDING CAPACITY WITH A MINIMUM 12 INCHES OF FREEBOARD.
6. CONCRETE WASHOUT STRUCTURE NEEDS TO BE CLEARLY MARKED WITH SIGNAGE NOTING DEVICE.

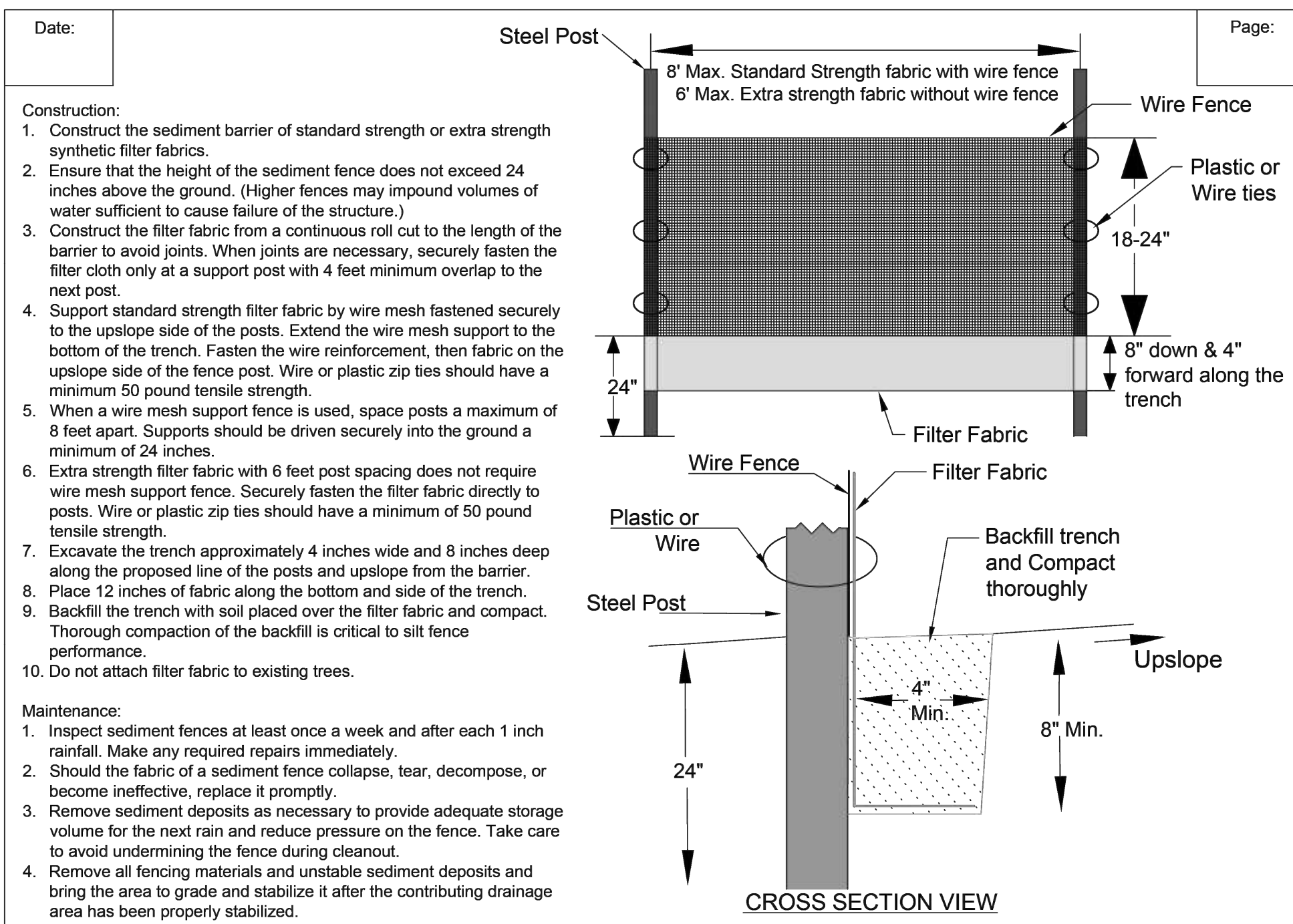
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NCG-01 MATERIALS HANDLING



SILT FENCE

TEMPORARY SEEDING RECOMMENDATIONS FOR LATE WINTER AND EARLY SPRING

Seeding Mixture

Species	Rate (lb/acre)
Rye (grain)	120
Annual lespedeza (Kobe in Piedmont and Coastal Plain, Korean in Mountains)	50

Omit annual lespedeza when duration of temporary cover is not to extend beyond June.

Seeding Dates

Mountains—Above 2500 feet: Feb. 15 - May 15
Below 2500 feet: Feb. 1 - May 1

Piedmont—Jan. 1 - May 1
Coastal Plain—Dec. 1 - Apr. 15

Mulch

Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

Maintenance

Refertilize if growth is not fully adequate. Reseed, refertilize and mulch immediately following erosion or other damage.

TEMPORARY SEEDING RECOMMENDATIONS FOR SUMMER

Seeding Mixture

Species	Rate (lb/acre)
German millet	40

In the Piedmont and Mountains, a small-stemmed Sudangrass may be substituted at a rate of 50 lb/acre.

Seeding Dates

Mountains—May 15 - Aug. 15
Piedmont—May 1 - Aug. 15
Coastal Plain—Apr. 15 - Aug. 15

Mulch

Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

Maintenance

Refertilize if growth is not fully adequate. Reseed, refertilize and mulch immediately following erosion or other damage.

TEMPORARY SEEDING RECOMMENDATIONS FOR FALL

Seeding Mixture

Species	Rate (lb/acre)
Rye (grain)	120

Seeding Dates

Mountains—Aug. 15 - Dec. 15
Coastal Plain and Piedmont—Aug. 15 - Dec. 31

Mulch

Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

Maintenance

Repair and refertilize damaged areas immediately. Topdress with 50 lb/acre of nitrogen in March. If it is necessary to extend temporary cover beyond June 15, overseed with 50 lb/acre Kobe (Piedmont and Coastal Plain) or Korean (Mountains) lespedeza in late February or early March.

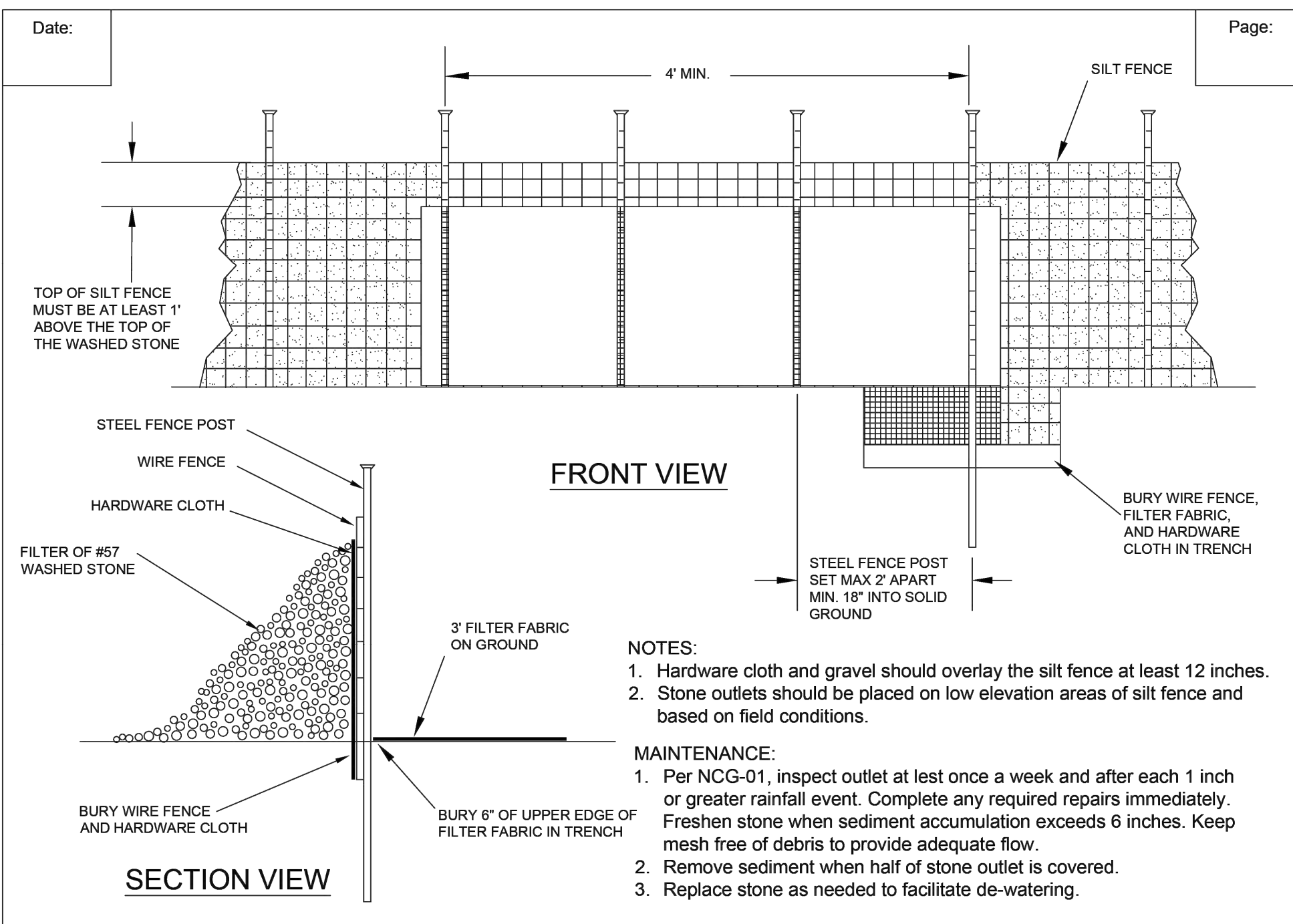
SEED BED PREPARATION:

LIMING—Apply lime according to soil test recommendations. If the pH (acidity) of the soil is not known, an application of ground agricultural limestone at the rate of 1 to 1 1/2 tons/acre on coarse-textured soils and 2-3 tons/acre on fine-textured soils is usually sufficient. Apply limestone uniformly and incorporate into the top 4-6 inches of soil. Soils with a pH of 6 or higher need not be limed.

FERTILIZER—Base application rates on soil tests. When these are not possible, apply a 10-10-10 grade fertilizer at 700-1,000 lb/acre. Both fertilizer and lime should be incorporated into the top 4-6 inches of soil. If a hydraulic seeder is used, do not mix seed and fertilizer more than 30 minutes before application.

SURFACE ROUGHENING—If recent tillage operations have resulted in a loose surface additional roughening may not be required, except to break up large clods. If rainfall causes the surface to become sealed or crusted, loosen it just prior to seeding by raking, harrowing, or other suitable methods for fine grading. The finished grade shall be a smooth even soil surface with a loosen uniformly fine texture. All ridges and depressions shall be removed and filled to provide the approved surface drainage. Planting is to be done immediately after finished grades are obtained and seedbed preparation is completed.

TEMPORARY SEEDING RECOMMENDATIONS



SILT FENCE OUTLET

ROLLED EROSION CONTROL PRODUCTS (RECP) FOR SLOPES

Bring material down to a level area, turn the end under 4" and staple at 12" intervals.

Anchor 6"x6" min. Trench and staple at 12" intervals.

Staple Overlaps Max. 5" spacing

3" Min. Overlap

6" Min. Overlap

Terminal slope and channel anchor trench

NOTES:

1. Lime, fertilizer and seed before installation. Planting of shrubs, trees, etc. should occur after installation.
2. Slope surface shall be smooth before placement for proper soil contact.
3. For installation on a slope, place RECP 2-3 feet over the top of the slope and into an excavated end trench measuring approximately 12 inches deep by 6 inches wide. Pin the RECP at 1 foot intervals along the bottom of the trench, backfill and compact. Unroll the RECP down the slope maintaining direct contact between the soil and RECP.
4. Pin RECP to the ground using staples or pins in a 3 foot center-to-center pattern.
5. Design velocities exceeding 2 feet/second require temporary blankets, mats or similar liners to protect seed and soil until vegetation becomes established.
6. If there is a berm at the top of slope, anchor upslope of the berm.
7. Staking or stapling layout per manufacturer's specification.
8. 11 gauge, at least 6 inch by 1 inch staples or 12 inch minimum length wooden stakes are recommended for anchoring.
9. Do not stretch blankets/matting tight, allow the rolls to conform to any irregularities.
10. For slopes less than 3H:1V, rolls may be placed in horizontal strips.

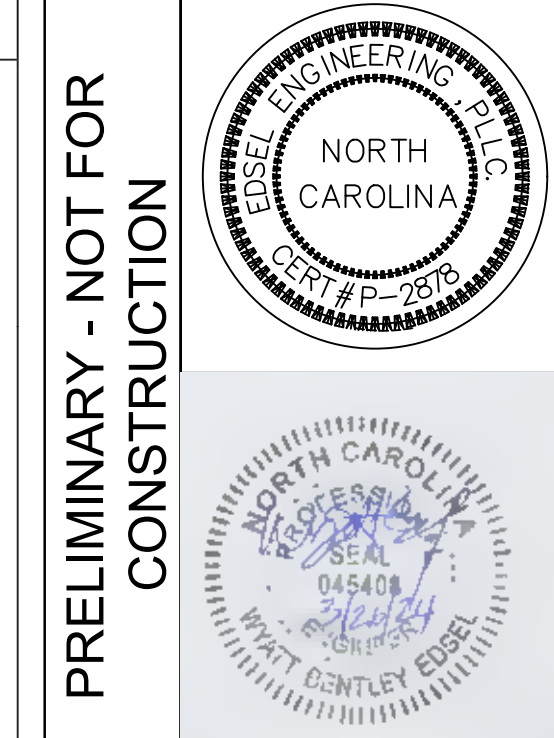
MAINTENANCE:

1. Inspect Rolled Erosion Control Products at least weekly and after each rain 1.0 inch or greater; repair immediately.
2. Good contact with the ground must be maintained, and erosion must not occur beneath the RECP.
3. Any areas of the RECP that are damaged or not in close contact with the ground shall be repaired and stapled.
4. If erosion occurs due to poorly controlled drainage, the problem shall be fixed and eroded area protected.
5. Monitor and repair the RECP as necessary until ground cover is established.

NOTE: USE SC150BN OR APPROVED EQUAL FOR SLOPE MATTING MATERIAL.

ROLLED EROSION CONTROL PRODUCTS (RECP) FOR SLOPES

No.	REVISIONS	Date
1	SUBMIT TO CLIENT	01-08-24
2	FOR SUBMITTAL	02-14-24
3	RESUBMITTAL	03-26-24



PRELIMINARY - NOT FOR CONSTRUCTION

EDSEL ENGINEERING, PLLC
104 HIWASSEE AVENUE
BLACK MOUNTAIN, NC 28711



PERMANENT SEEDING

General Notes
All seeding to be in accordance with NCDEQ STD #6.11
SEEDING AND MULCHING.

SEEDING AND MULCHING SHALL BE APPLIED IMMEDIATELY FOLLOWING THE COMPLETION OF ANY PHASE OF GRADING. REFER TO CHAPTER 3 OF THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL AND NATURAL RESOURCES (NCENR) EROSION AND SEDIMENTATION CONTROL PLANNING AND DESIGN MANUAL FOR MORE DETAILS CONCERNING SEEDING AND MULCHING PROCEDURES. IF ACTIVE CONSTRUCTION CEASES IN ANY AREA FOR MORE THAN 14 DAYS, GROUND COVER IS REQUIRED TO ALL DISTURBED AS DESCRIBED IN "APPENDIX C: GROUND COVER".

Seeding Area, Dates & Types				
Area Type	Seeding Dates & Types			
	August 1 - June 1		May 1 - September 1	
	lb/acre	Seed Type & Fertilizer	lb/acre	Seed Type & Fertilizer
Shoulders and Median	20	Kentucky Blue Grass	20	Kentucky Blue Grass
	75	Hard Fescue	75	Hard Fescue
	25	Rye Grain	10	German or Browntop Millet
	500	Fertilizer-Limestone	500	Fertilizer-Limestone
Areas Beyond the Mowing Pattern, Waste, and Borrow Areas	100	Tall Fescue	100	Tall Fescue
	15	Kentucky Blue Grass	15	Kentucky Blue Grass
	30	Hard Fescue	30	Hard Fescue
	25	Rye Grain	10	German or Browntop Millet
	500	Fertilizer-Limestone	500	Fertilizer-Limestone
	4000	Fertilizer-Limestone	4000	Fertilizer-Limestone

Table 7.1 Seeding and Mulching (continued on next page)

Approved Cultivars					
Cultivar Type	Cultivar Names				
Tall Fescue	2nd Millennium	Coyote	Inferno	Olympic Gold	Sigma
	Avenger	Davina	Justice	Padre	Silverstar
	Barbosa	Dynasty	Jaguar 3	Paraso	Southern Choice II
	Barbosa II	Dommon	Kalahari	Paraso	Stetson
	Barbosa	Dualer	Kentucky 31	Freedom	Turbo
	Barrington	Endowment	Kentucky 31	Pure Gold	Titan Ltd.
	Biltmore	Escalade	Kitty Hawk 2000	Prospect	Titanus
	Bingo	Falcon II III IV & V	Lexington	Quest	Tonahawk
	Bravo	Fidelity	Magellan	Rebel Exotic	Tacer
	Cayenne	Finesse II	Masterpiece	Rebel Sentry	Trooper
	Chapel Hill	Forebird	Mauiador	Regiment II	Turbo
	Chesapeake	Focus	Mauiador GT	Rembrandt	Ultimate
Constitution	Grande II	Milennium	Rendition	Watchdog	
Copper	Greenkeeper	Montana	Scorpion	Wolfpack	
Coronado	Greystone	Mustang 3	Shelby		
Kentucky Bluegrass	Alpine	Award	Champagne	Midnight	Showcase
	Apollo	Baron	Chicago II	Midnight II	Sonoma
	Accadia	Bodazzled	Enroca	Playboy	
	Amoco	Boatman	Imant	Rebel II	

Note: Consult Soil Conservation Service for additional information concerning other alternatives for vegetation of disturbed areas. The above vegetation rates are those which do well under local conditions.

Temporary Seeding: Fertilizer shall be the same analysis as specified for Seeding and Mulching and applied at the rate of 400 pounds and seed at the rate of 50 pounds per acre. German Millet or Browntop Millet shall be used in summer months and rye grain during the remainder of the year. The Engineer will determine the exact dates for using each kind of seed.

Fertilizer Topdressing: Fertilizer used for topdressing shall be 16-8-8 grade and shall be applied at the rate of 500 pounds per acre. A different analysis of fertilizer may be used provided the 2-1-1 ratio is maintained and the rate of application adjusted to provide the same amount of plant food as 16-8-8 analysis and as directed.

Supplemental Seeding: The kinds of seed and proportions shall be the same as specified for Seeding and Mulching, and the rate of application shall be as specified. The Contractor will be notified in writing of the rate per acre, total quantity needed, and areas on which to apply the supplemental seed. Minimum tillage equipment consisting of a soil seeder shall be used for incorporating seed into the soil as to prevent disturbance of existing vegetation. A chiselbar (ball and chain) may be used where degree of slope prevents the use of a soil seeder. Mowing: The maximum mowing height shall be six inches.

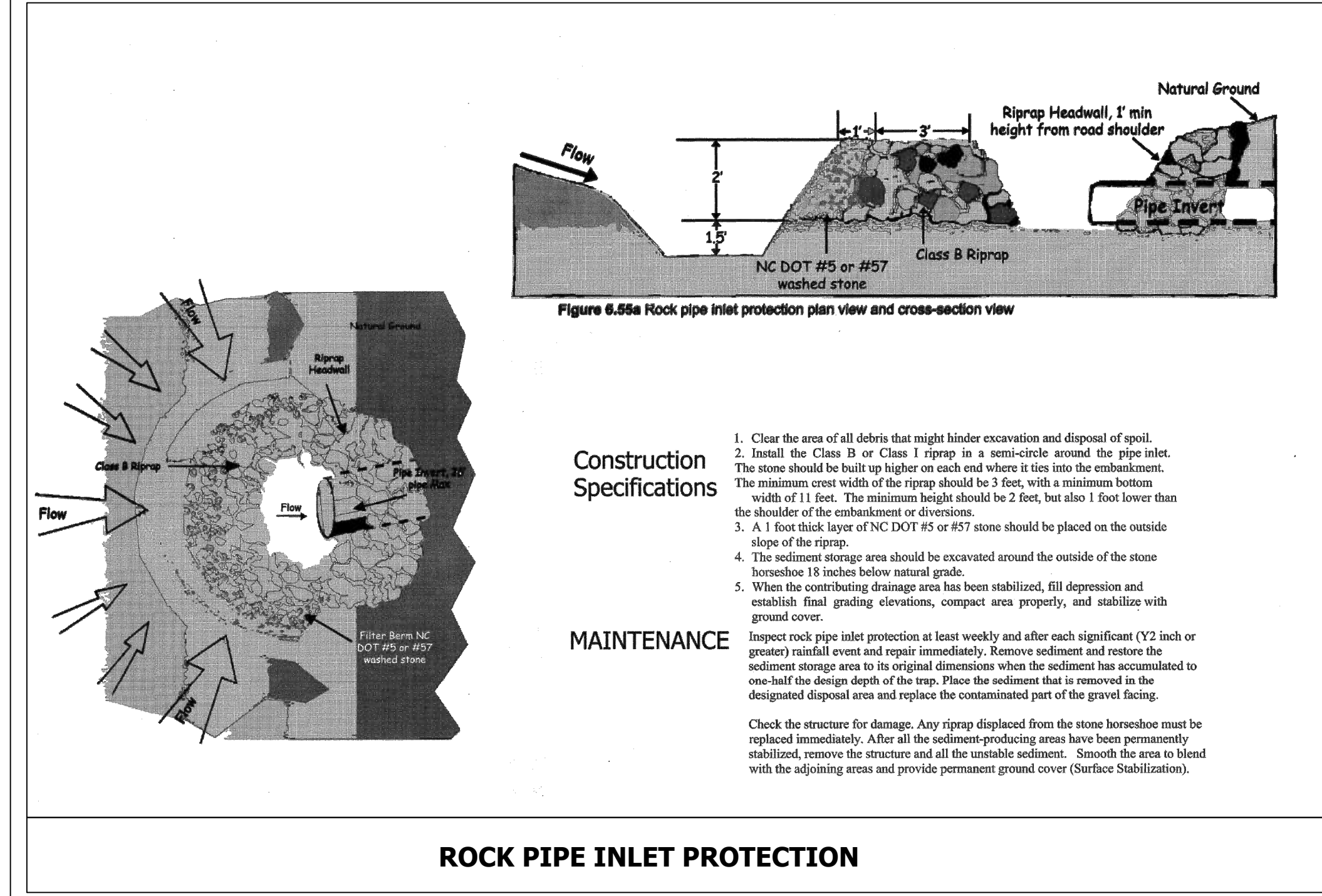
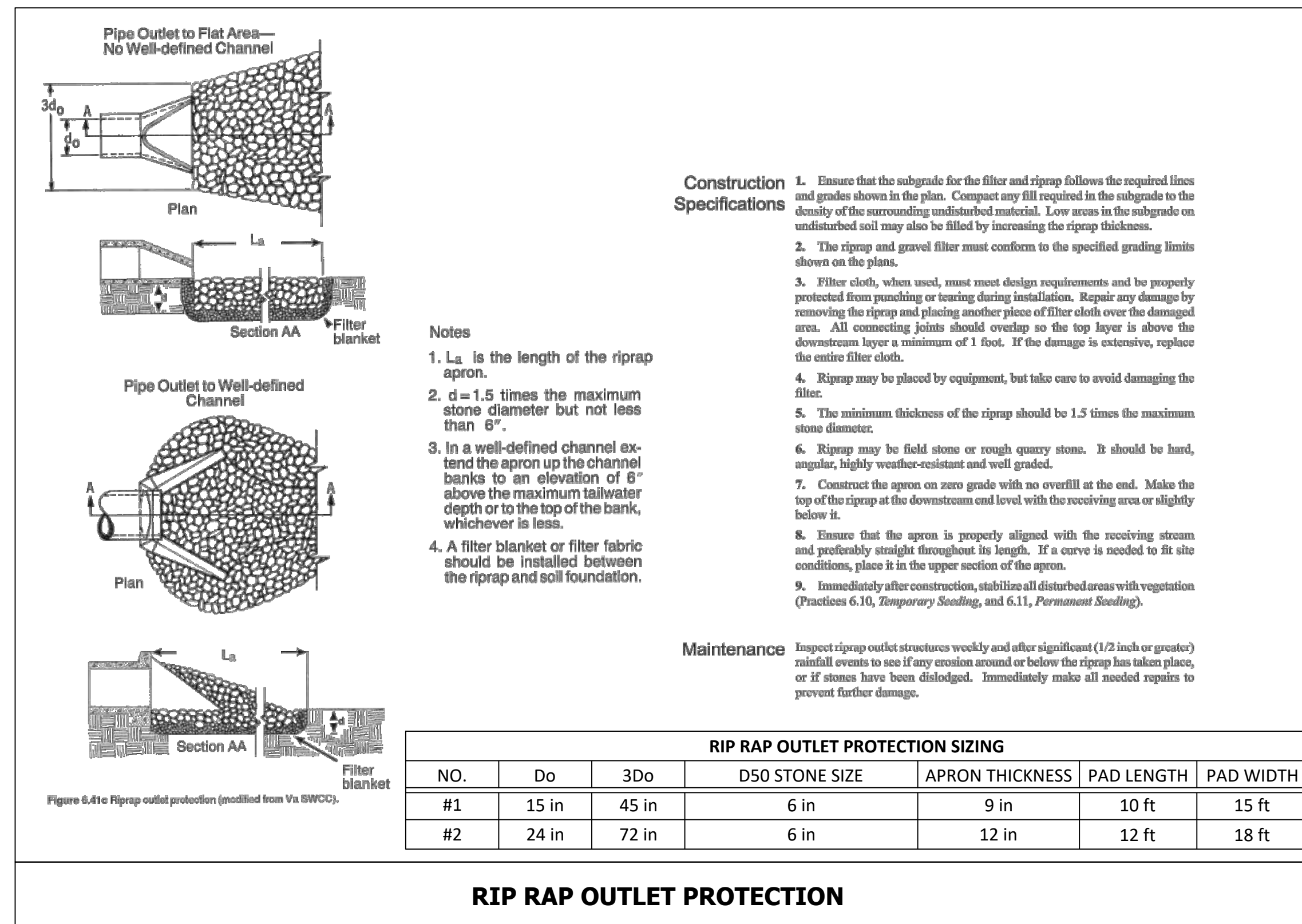
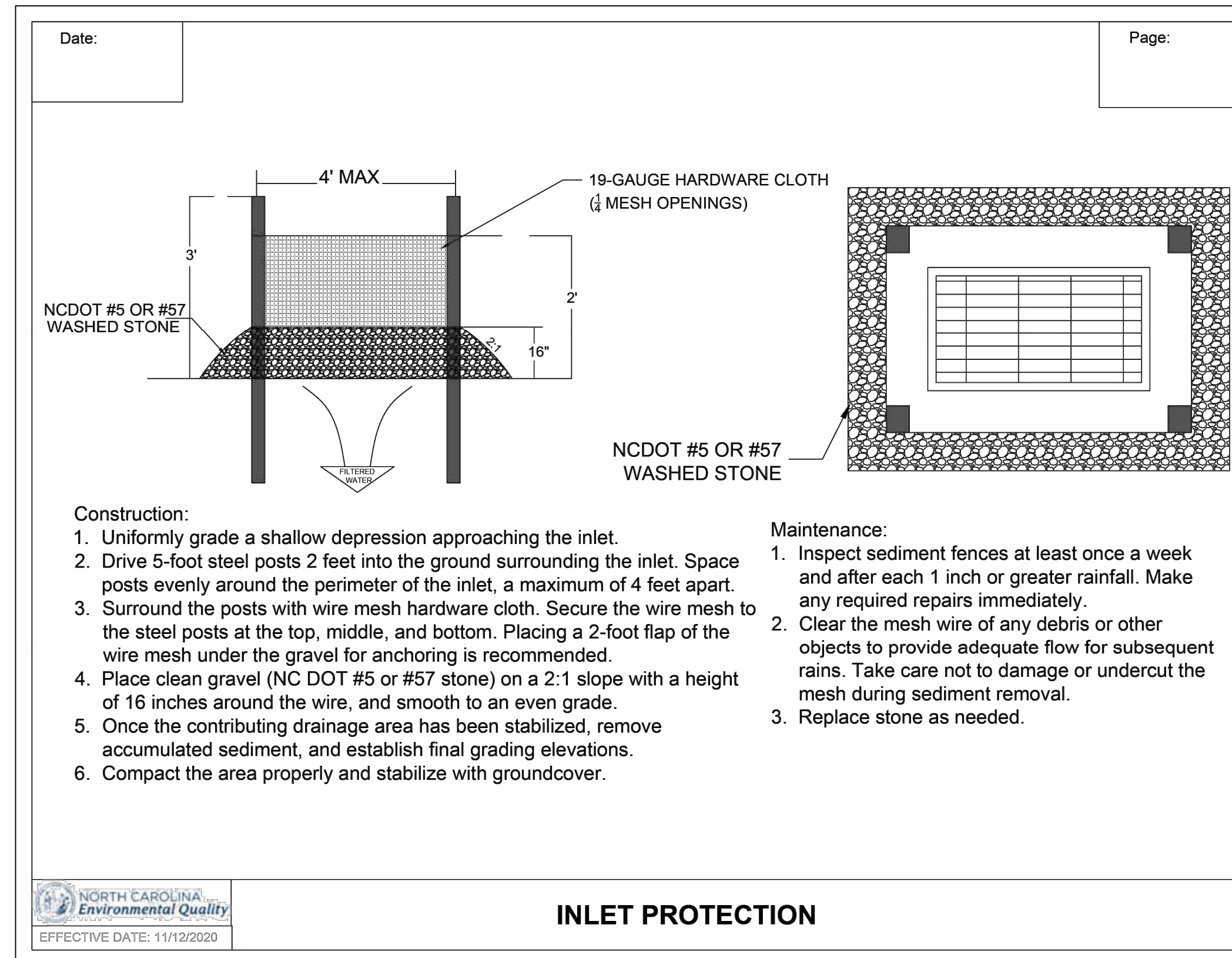
Fertilizer Topdressing
SOIL AMENDMENTS AND FERTILIZER MUST BE APPLIED BASED ON SOIL TESTS.

All areas to be seeded or planted shall be tilled a depth of 12". Ripping consists of creating fissures in a criss-cross pattern over the entire surface area, utilizing an implement that will not glaze the side walls of the fissures. Site preparation that does not comply with these documents shall not be acceptable. The depth of soil preparation may be established as a range based on the approval of the reviewing state or local agency. Once tilled or ripped according to the approved plan, all areas are to be returned to the approved final grade. pH modifiers and/or other soil amendments can be added during the soil preparation procedure or as described below. Till or disc the prepared areas to be seeded to a minimum depth of four (4) inches. Remove stones larger than three (3) inches on any side, sticks, roots and other extraneous materials that surface. If not incorporated during the soil preparation process, add pH modifier and fertilizers. Spread up to 6" of excess topsoil over the entire area if available. Re-compact the area utilizing a cultipacker roller. The finished grade shall be a smooth even soil surface with a loose, uniform fine texture. All ridges and depressions shall be removed and filled to provide the approved surface drainage. Seeding of graded areas is to be done immediately after finished grades are obtained and seedbed preparation is completed.

Prepare the seed bed as described in above in soil preparation. Apply seed at rates specified on the plans, and/or as recommended above, with a cyclone seeder, prop type spreader, drill, or hydroseeder on and/or into the prepared bed. Incorporate the seed into the seed bed as specified. Provide finished grades as specified on the approved plan and carefully culti-pack the seedbed as terrain allows. Mulch immediately.

PERMANENT SEEDING

SCALE: 1/8" = 1'-0"



Section 5, Item C.

ESC DETAILS

C-3.2

1019 BERKELEY ROAD
CIVIL ENGINEERING & SITE PLANNING

FOR OK CONSTRUCTION
TOWN OF HENDERSONVILLE, HENDERSON COUNTY

No.	REVISIONS	Date
1	SUBMIT TO CLIENT	01-08-24
2	FOR SUBMITTAL	02-14-24
3	RESUBMITTAL	03-26-24

PRELIMINARY - NOT FOR CONSTRUCTION

EDSEL ENGINEERING, PLLC
104 HIWASSEE AVENUE
BLACK MOUNTAIN, NC 28711

EDSEL ENGINEERING

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Required Ground Stabilization Timeframes		
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> Temporary grass seed covered with straw or other mulches and tackifiers Hydroseeding Rolled erosion control products with or without temporary grass seed Appropriately applied straw or other mulch Plastic sheeting 	<ul style="list-style-type: none"> Permanent grass seed covered with straw or other mulches and tackifiers Geotextile fabrics such as permanent soil reinforcement matting Hydroseeding Shrubs or other permanent plantings covered with mulch Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls Rolled erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the NC DWR List of Approved PAMS/Flocculants.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the NC DWR List of Approved PAMS/Flocculants and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

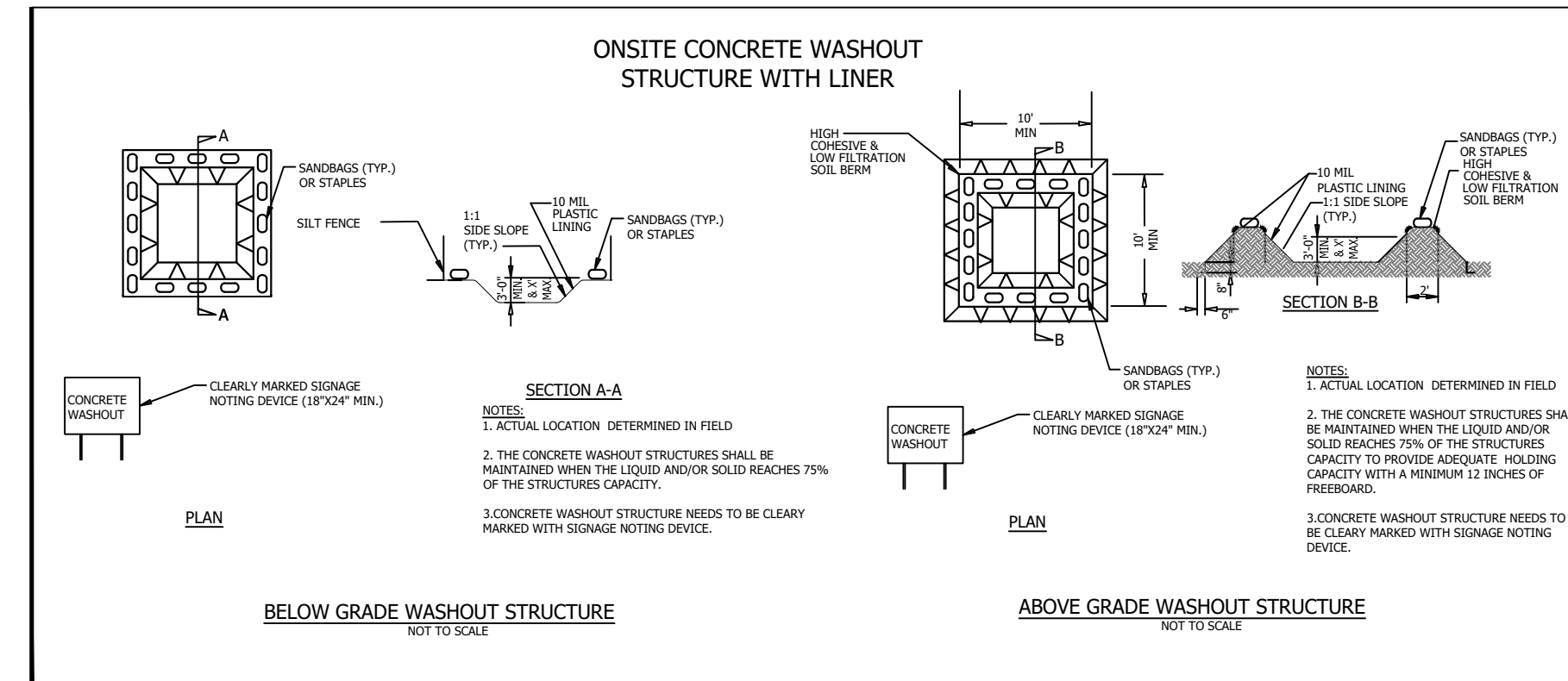
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



CONCRETE WASHOUTS

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

1019 BERKELEY ROAD
CIVIL ENGINEERING & SITE PLANNING

FOR OK CONSTRUCTION
TOWN OF HENDERSONVILLE, HENDERSON COUNTY

NCG01-1
C-3.3

No.	REVISIONS	Date
1	SUBMIT TO CLIENT	01-08-24
2	FOR SUBMITTAL	02-14-24
3	RESUBMITTAL	03-26-24

PRELIMINARY - NOT FOR CONSTRUCTION

EDSEL ENGINEERING, PLLC
104 HIAWASSEE AVENUE
BLACK MOUNTAIN, NC 28711

EDSEL ENGINEERING

**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those un- (anc this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures and within 24 hours of a rain event > 1.0 inch in 24 hours	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Indication of whether the measures were operating properly, 5. Description of maintenance needs for the measure, 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDCs)	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 5. Indication of visible sediment leaving the site, 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits, 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (2)(a) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION B: RECORDKEEPING

1. E&SC Plan Documentation

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each E&SC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures or if the E&SC measures are modified after initial installation.	Initial and date each E&SC measure on a copy of the approved E&SC plan or complete, date and sign an inspection report that lists each E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&C measures or if the E&SC measures are modified after initial installation.
(b) A phase of grading has been completed. Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the construction phase.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC plan.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC measures. report to indicate the completion of the corrective action.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation to be Kept on Site

In addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- (a) This General Permit as well as the Certificate of Coverage, after it is received.
- (b) Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

3. Documentation to be Retained for Three Years

All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request [40 CFR 122.41]

**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION C: REPORTING

1. Occurrences that Must be Reported

Permittees shall report the following occurrences:

- (a) Visible sediment deposition in a stream or wetland.
- (b) Oil spills if:
 - They are 25 gallons or more,
 - They are less than 25 gallons but cannot be cleaned up within 24 hours,
 - They cause sheen on surface waters (regardless of volume), or
 - They are within 100 feet of surface waters (regardless of volume).
- (c) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- (d) Anticipated bypasses and unanticipated bypasses.
- (e) Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. • Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. • If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> • A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. • Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(1)(7)1	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. • Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent reoccurrence of the noncompliance. [40 CFR 122.41(1)(6).



**PART II, SECTION G, ITEM (4)
DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT**

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- (a) The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items,
- (b) The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit,
- (c) Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems,
- (d) Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above,
- (e) Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
- (f) Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19

1019 BERKELEY ROAD

C-3-4

1019 BERKELEY ROAD


CIVIL ENGINEERING & SITE PLANNING


FOR OK CONSTRUCTION

TOWN OF HENDERSONVILLE, HENDERSON COUNTY

No.	REVISIONS	DATE	SUBMIT TO CLIENT	FOR SUBMITTAL	RESUBMITTAL
1		01-08-24			
2		02-14-24			
3		03-26-24			

PRELIMINARY - NOT FOR CONSTRUCTION





EDSEL ENGINEERING, PLLC
104 HIWASSEE AVENUE
BLACK MOUNTAIN, NC 28711

EDSEL ENGINEERING

DEVELOPMENT DATA
 PROPERTY ADDRESS: 1019 BERKELEY ROAD
 HENDERSONVILLE, NC 28792

PROPERTY OWNER & CONTACT:
 ADDRESS: KEVIN FAKHOURY
 24 COUNTRY RD.
 HENDERSONVILLE, NC 28791
 EMAIL: kevin.fakhoury@gmail.com
 PHONE: (828) 674-6267

PIN NUMBERS: 9569-48-5695
 ZONING: C-3 HIGHWAY BUSINESS
 PROPERTY SIZE: 2.08 ACRES
 DISTURBED AREA: 1.5 ACRES (SESC APPROVAL REQUIRED BY HENDERSON COUNTY)

BUILDING HEIGHT: 29' TO PEAK OF ROOF
 SOIL TYPES: H/C

CITES DEED: 4106-174
 LAT/LONG: 35.34576341043784, -82.47311204410711
 FEMA FLOOD PANEL: 9569
 EFFECTIVE DATE: 10/2/2008

PROPOSED DEVELOPMENT DISTURBANCE DATA

TOTAL PROJECT AREA:	2.08	
UNDISTURBED AREA (ac.)	0.58	27.9%
LIMITS OF DISTURBANCE (ac.)	1.5	72.1%
PERVIOUS AREA (ac.)	1.14	54.8%
IMPERVIOUS AREA (ac.)	0.94	45.2%
PROPOSED LOT AREAS	N/A	
STREETS AND PARKING (ac.)	0.60	28.7%
COMMON OPEN SPACE	0.31	14.9%
OTHER FACILITIES	N/A	
BUILDING COVERAGE (SF)	10000	11.0%
PRE DEVELOPMENT IMPERVIOUS AREA (ac.)	0.43	20.5%
POST DEVELOPMENT IMPERVIOUS AREA (ac.)	0.90	43.0%

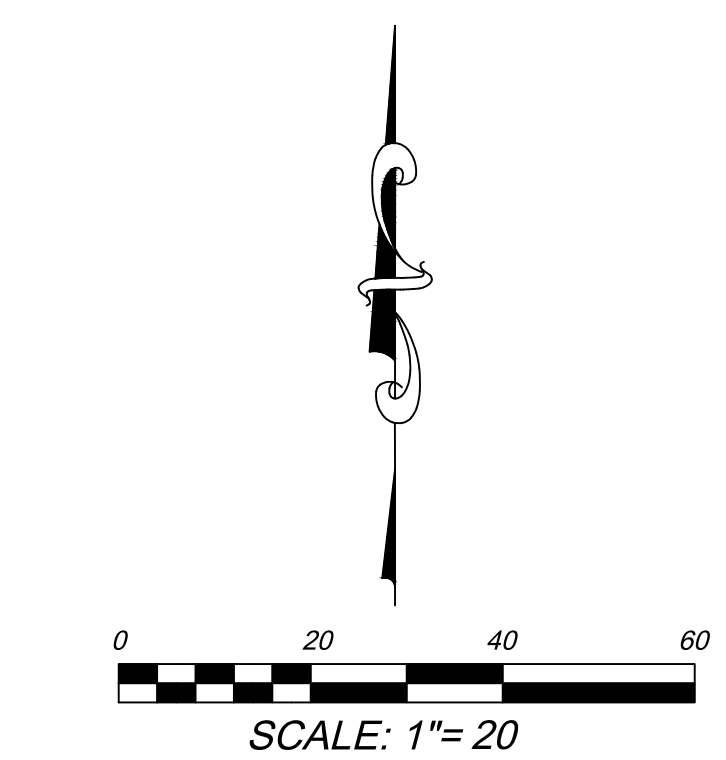
Inlet Table

Inlet/DA Name	US Pipe	DS Pipe	Rim	Invert In	Invert Out	Drainage Area (total)	Impervious	Pervious
Pipe 0 (Bypass)	NA	NA	NA	2141	2140.5	6863.0	0.0	6863.0
DI-1	NA	P1	2142.1	NA	2137	14003.0	11003.0	3000.0
DI-2	P1	P2	2141.4	2136.5	2136.5	5494.0	4968.0	526.0
DI-3	P2	Stormtech	2140.6	2133.25	2133.25	3667.0	3667.0	0.0
DI-4	NA	P3	2141.7	NA	2137	23476.0	9109.0	14367.0
DI-5	P3	Stormtech	2140.8	2133.25	2133.25	10037.0	9820.0	217.0
Bypass	NA	NA	NA	NA	NA	28866.4	1233.9	27632.5
Total						92406.3	39800.8	52605.5

Pipe Table

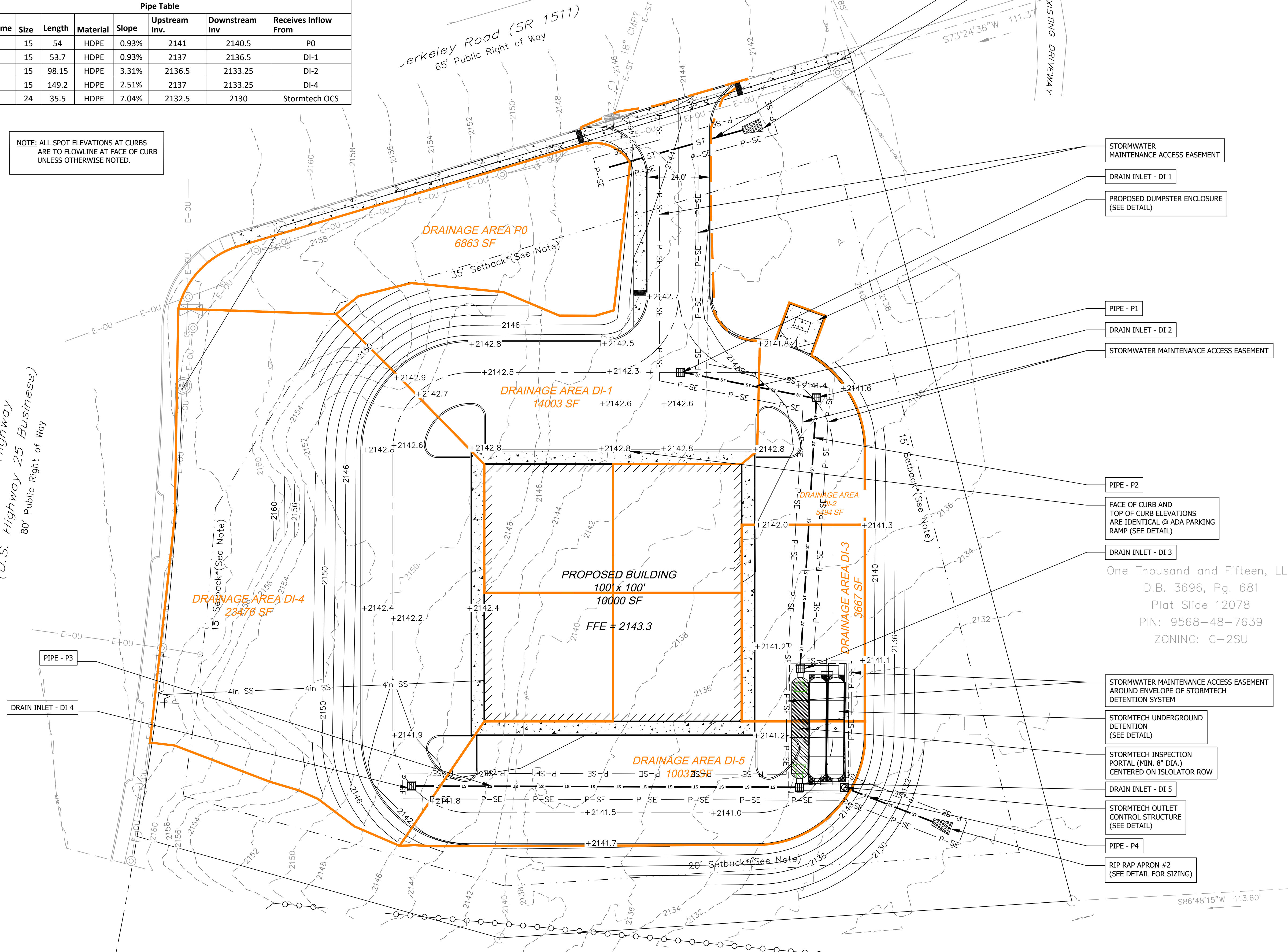
Pipe Name	Size	Length	Material	Slope	Upstream Inv.	Downstream Inv.	Receives Inflow From
P0	15	54	HDPE	0.93%	2141	2140.5	P0
P1	15	53.7	HDPE	0.93%	2137	2136.5	DI-1
P2	15	98.15	HDPE	3.31%	2136.5	2133.25	DI-2
P3	15	149.2	HDPE	2.51%	2137	2133.25	DI-4
P4	24	35.5	HDPE	7.04%	2132.5	2130	Stormtech OCS

NOTE: ALL SPOT ELEVATIONS AT CURBS ARE TO FLOWLINE AT FACE OF CURB UNLESS OTHERWISE NOTED.



- STORMWATER LEGEND**
- EXIST. BOUNDARY
 - EXIST. ADJOINER
 - EXIST. RIGHT OF WAY
 - ST --- PROPOSED STORM DRAINAGE
 - DRAINAGE AREA
 - PROPOSED CATCH BASIN
 - PROPOSED RIP RAP OUTLET
 - +000.0 SPOT ELEVATION
 - PROPOSED CONCRETE SIDEWALK
 - E-W --- EXIST. WATER LINE
 - E-ST --- EXIST. STORM DRAIN
 - EXIST. CURB INLET
 - ELEV --- EXIST. MINOR CONTOUR
 - ELEV --- EXIST. MAJOR CONTOUR
 - EXIST. OVERHEAD UTILITY
 - EXIST. FENCE LINE
 - EXIST. WATER METER
 - EXIST. PROPERTY CORNER
 - EXIST. STREET SIGN
 - EXIST. GUY WIRE
 - EXIST. POWER POLE

SDW AND JHW, LLC
 D.B. 3434, Pg. 276
 Plot Slide 14470
 PIN: 9569-49-5002
 ZONING: C-3



STORM WATER PLAN

1019 BERKELEY ROAD CIVIL ENGINEERING & SITE PLANNING

FOR OK CONSTRUCTION TOWN OF HENDERSONVILLE, HENDERSON COUNTY

No.	REVISIONS	Date
1	SUBMIT TO CLIENT	01-08-24
2	FOR SUBMITTAL	02-14-24
3	RESUBMITTAL	03-26-24

PRELIMINARY - NOT FOR CONSTRUCTION

One Thousand and Fifteen, LLC
 D.B. 3696, Pg. 681
 Plat Slide 12078
 PIN: 9568-48-7639
 ZONING: C-2SU

EDSEL ENGINEERING

EDSEL ENGINEERING, PLLC
 104 HIWASSEE AVENUE
 BLACK MOUNTAIN, NC 28711

Hyder & Justus
 D.B. 1010, Pg. 406
 PIN: 9568-48-5251
 ZONING: PCD

STORM WATER PROFILES

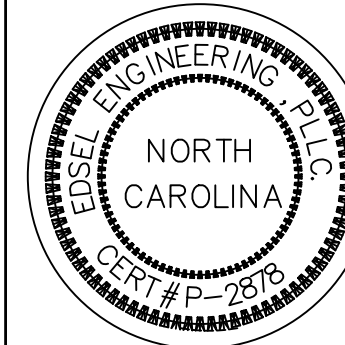
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**1019 BERKELEY ROAD
CIVIL ENGINEERING &
SITE PLANNING**

FOR OK CONSTRUCTION
TOWN OF HENDERSONVILLE, HENDERSON COUNTY

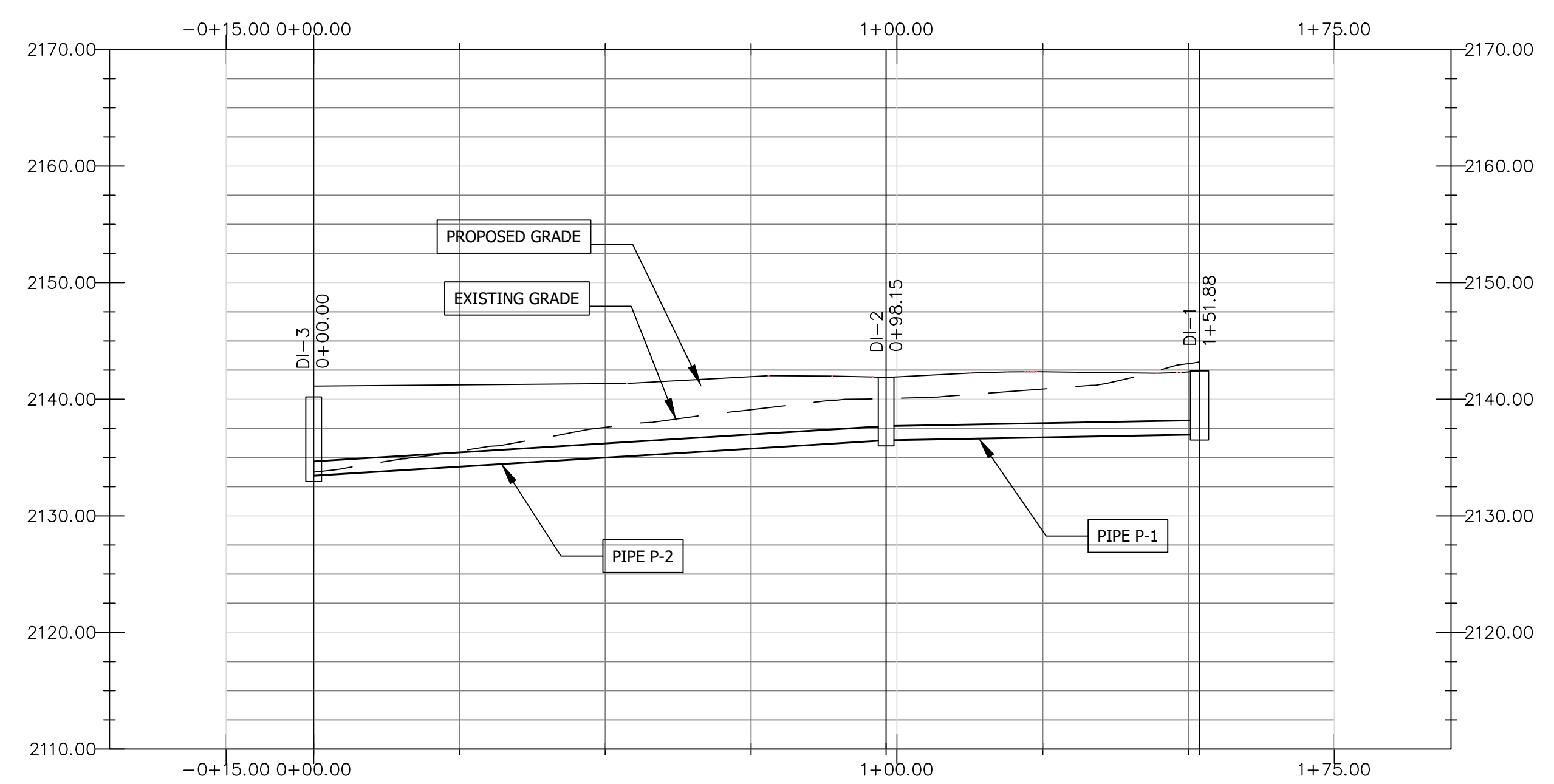
No.	REVISIONS	Date
1	SUBMIT TO CLIENT	01-08-24
2	FOR SUBMITTAL	02-14-24
3	RESUBMITTAL	03-26-24

PRELIMINARY - NOT FOR CONSTRUCTION

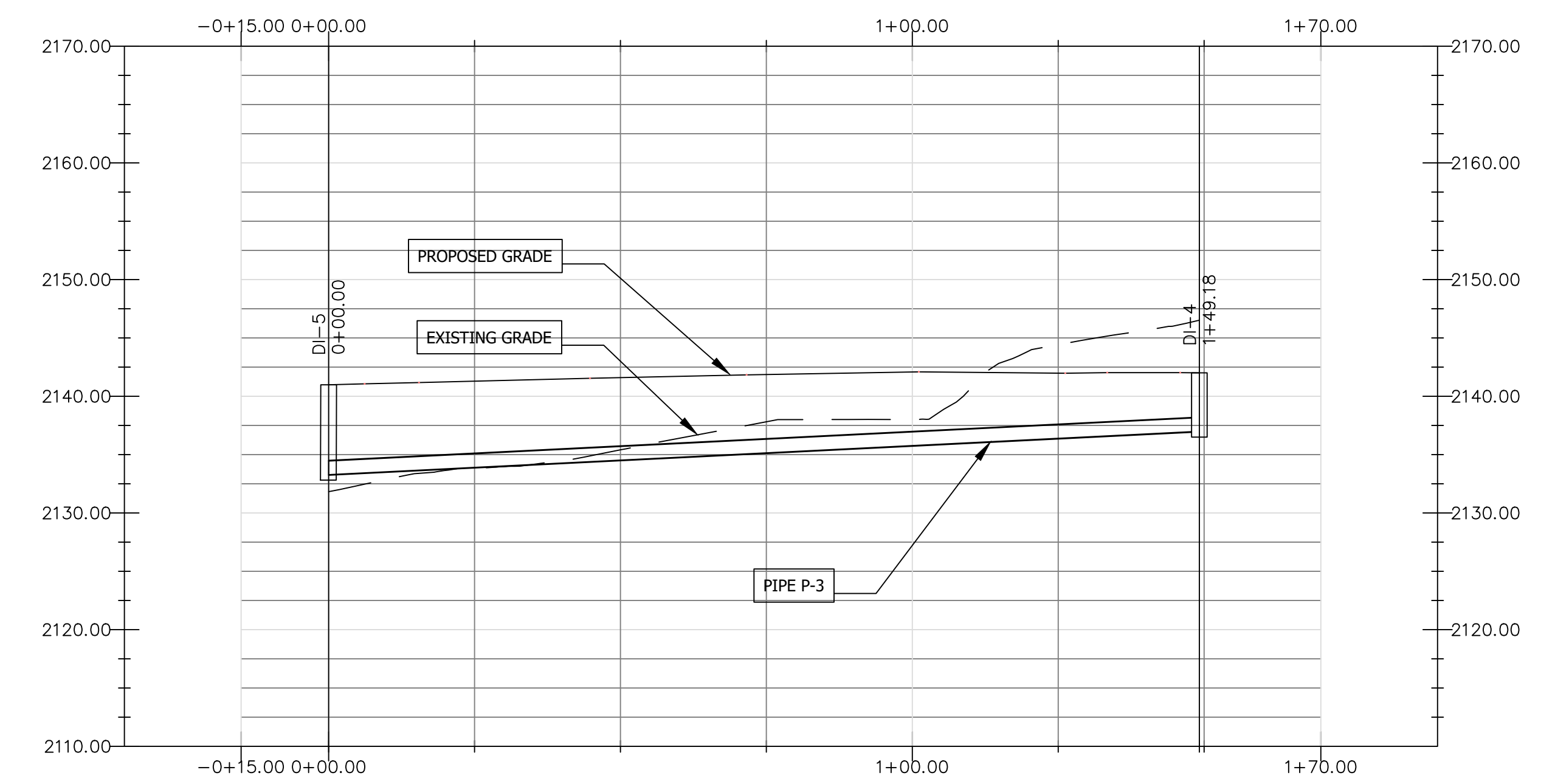


EDSEL ENGINEERING
 EDSEL ENGINEERING, PLLC
 104 HIWASSEE AVENUE
 BLACK MOUNTAIN, NC 28711

NORTH STORM DRAIN

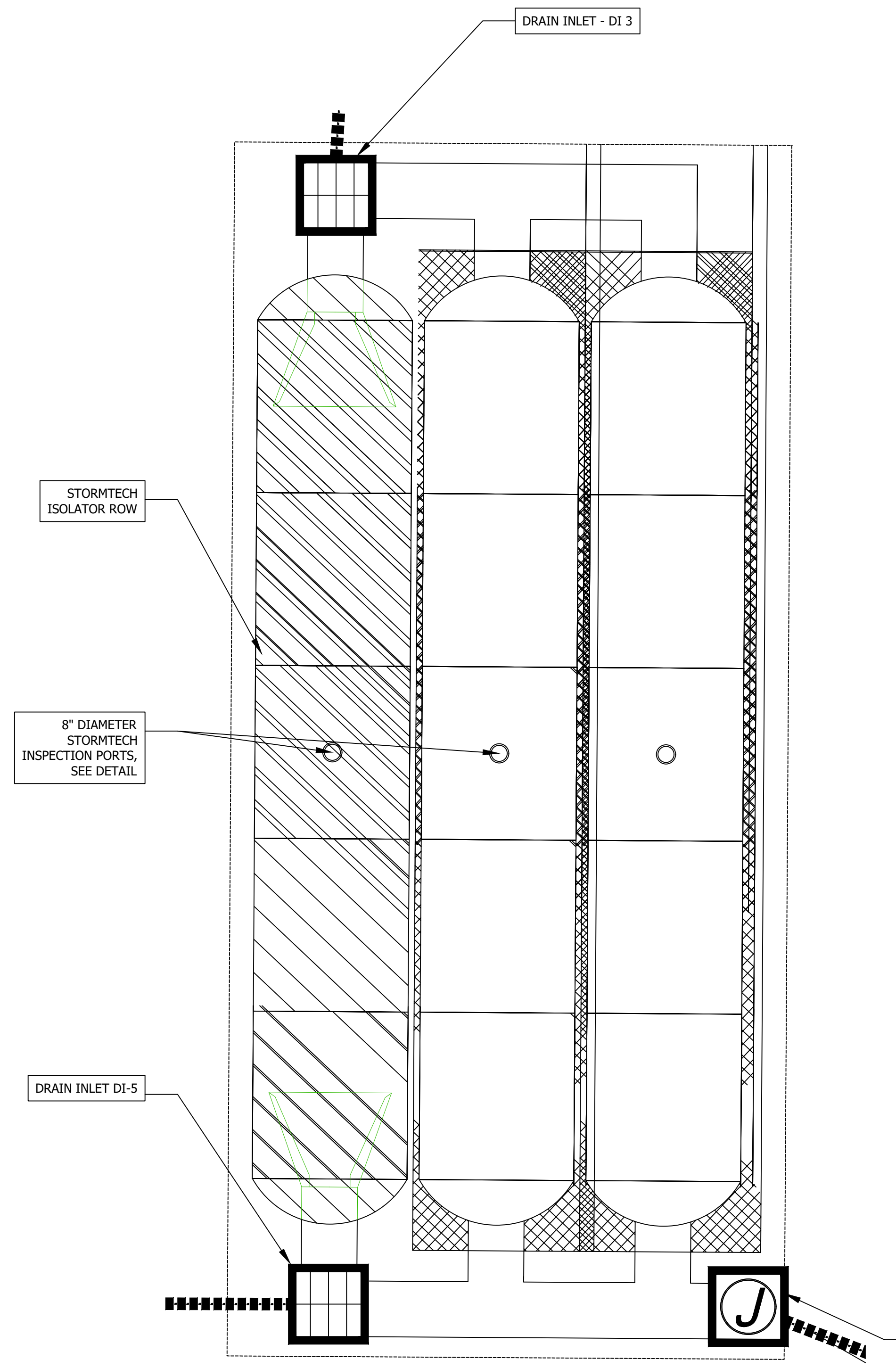


SOUTH STORM DRAIN

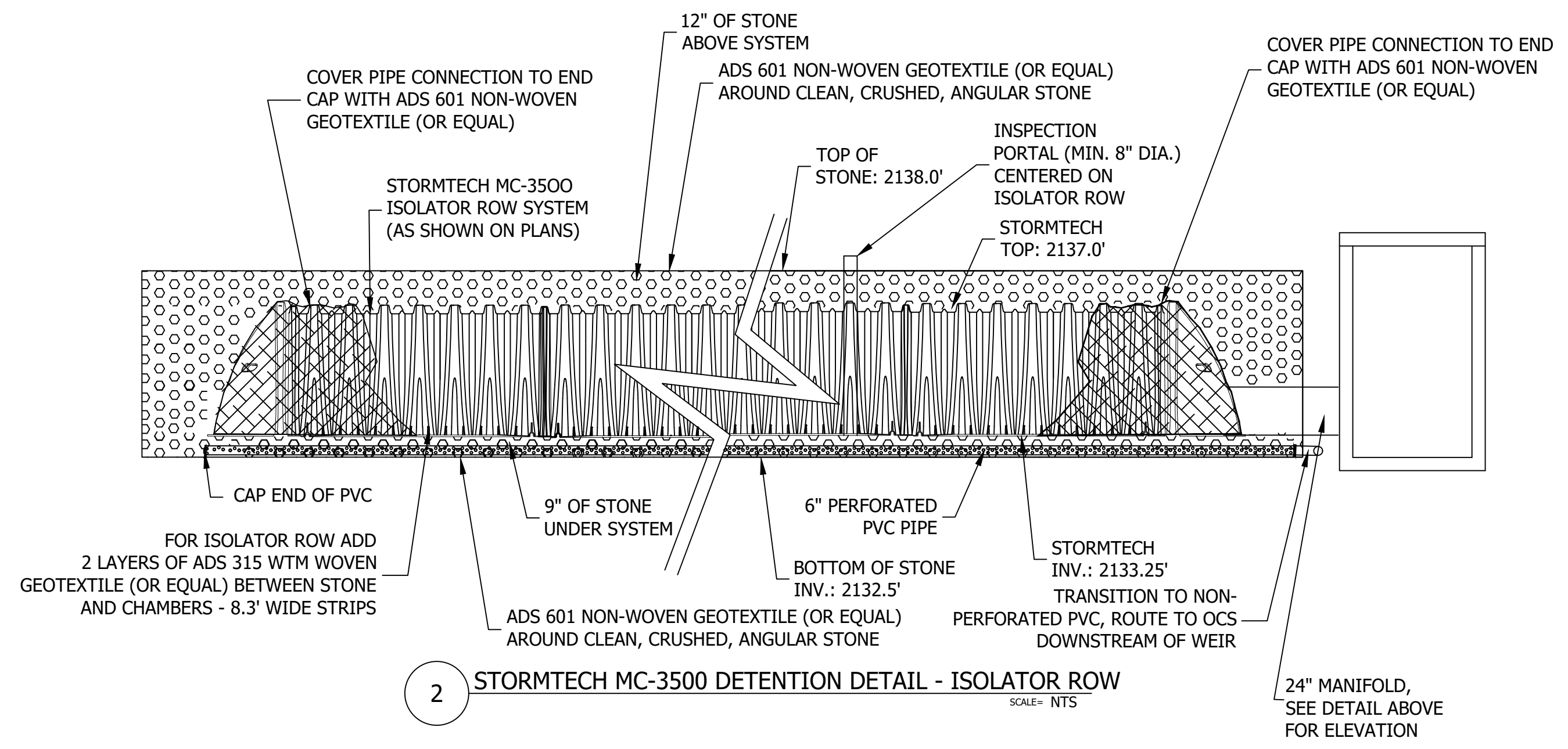


Inlet/DA Name	US Pipe	DS Pipe	Rim	Invert In	Invert Out	Drainage Area (total)	Impervious	Pervious
Pipe 0 (Bypass)	NA	NA	NA	2141	2140.5	6863.0	0.0	6863.0
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DI-2	P1	P2	2141.4	2136.5	2136.5	5494.0	4968.0	526.0
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Bypass	NA	NA	NA	NA	NA	28866.4	1233.9	27632.5
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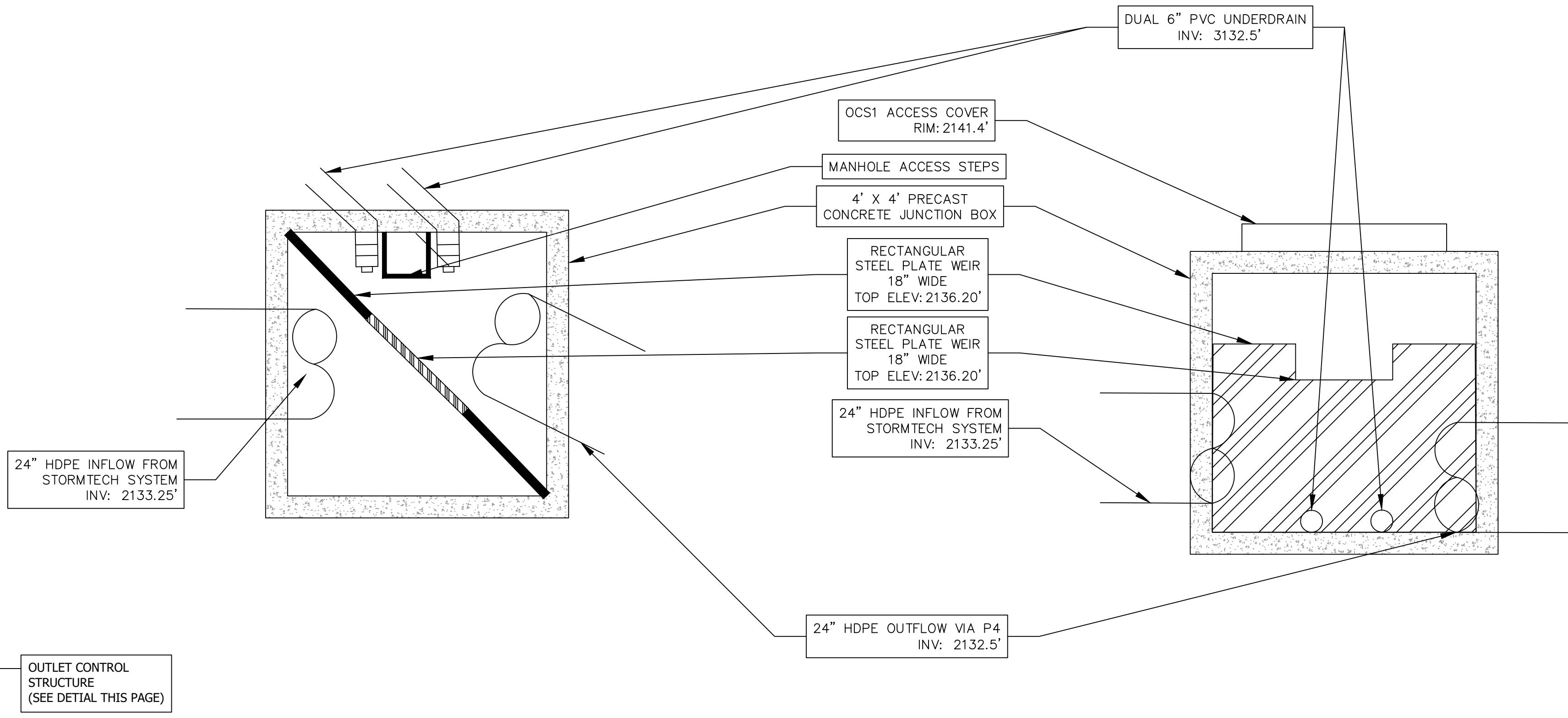
Pipe Name	Size	Length	Material	Slope	Upstream Inv.	Downstream Inv.	Receives Inflow From
P0	15	54	HDPE	0.93%	2141	2140.5	P0
P1	15	53.7	HDPE	0.93%	2137	2136.5	DI-1
P2	15	98.15	HDPE	3.31%	2136.5	2133.25	DI-2
P3	15	149.2	HDPE	2.51%	2137	2133.25	DI-4
P4	24	35.5	HDPE	7.04%	2132.5	2130	Stormtech OCS



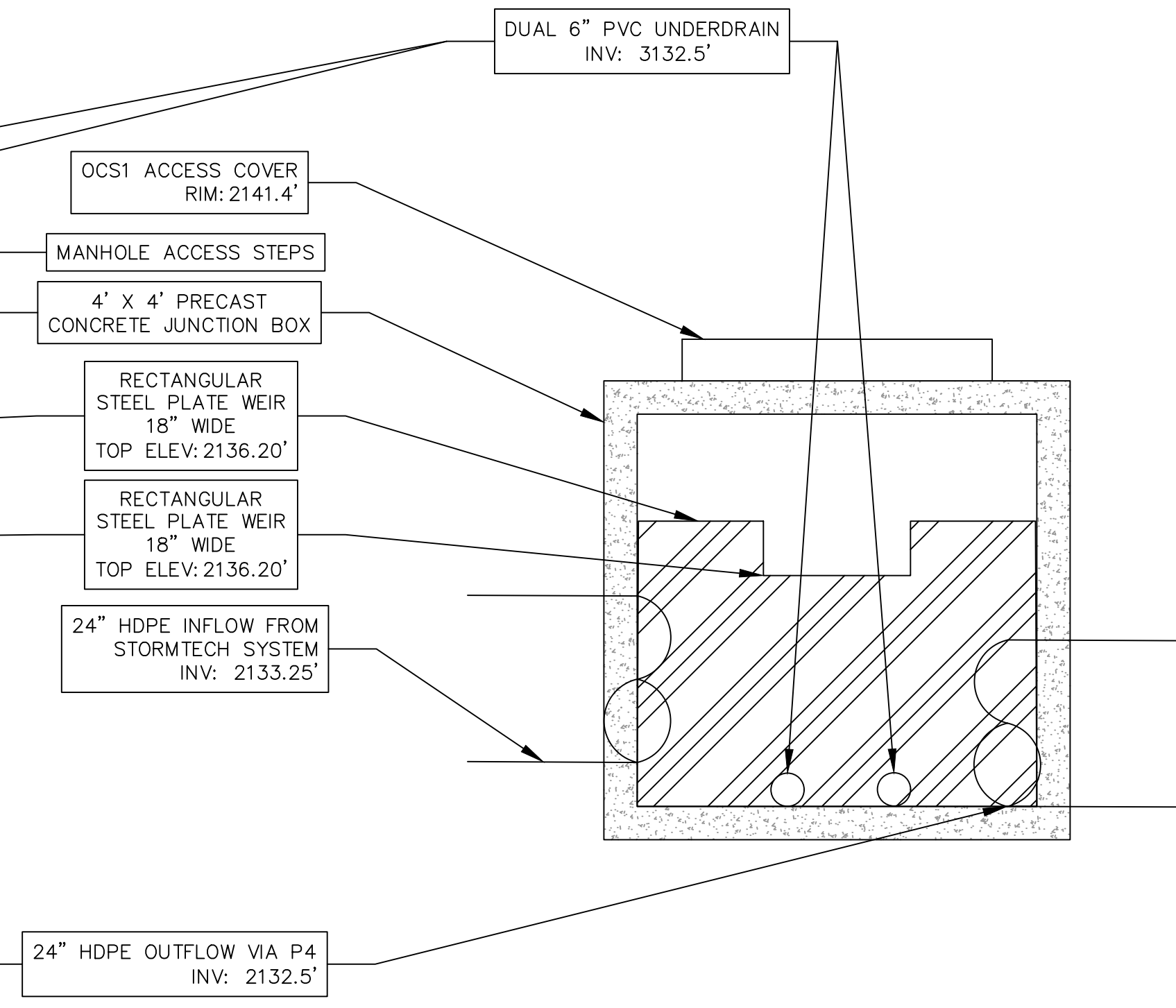
1 STORMTECH PLAN VIEW
SCALE= NTS



2 STORMTECH MC-3500 DETENTION DETAIL - ISOLATOR ROW
SCALE= NTS



2.0 OUTLET CONTROL STRUCTURE 1, OCS 1 - PLAN VIEW
SCALE= NTS



2.1 OUTLET CONTROL STRUCTURE 2 OCS 2 - PROFILE VIEW
SCALE= NTS

STORM WATER DETAILS

C-4.2

1019 BERKELEY ROAD
CIVIL ENGINEERING & SITE PLANNING

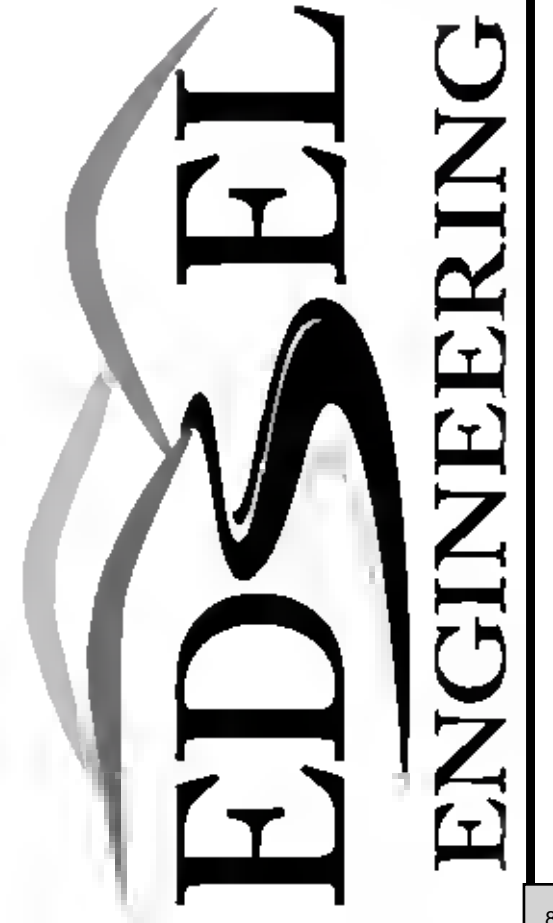
FOR OK CONSTRUCTION
TOWN OF HENDERSONVILLE, HENDERSON COUNTY

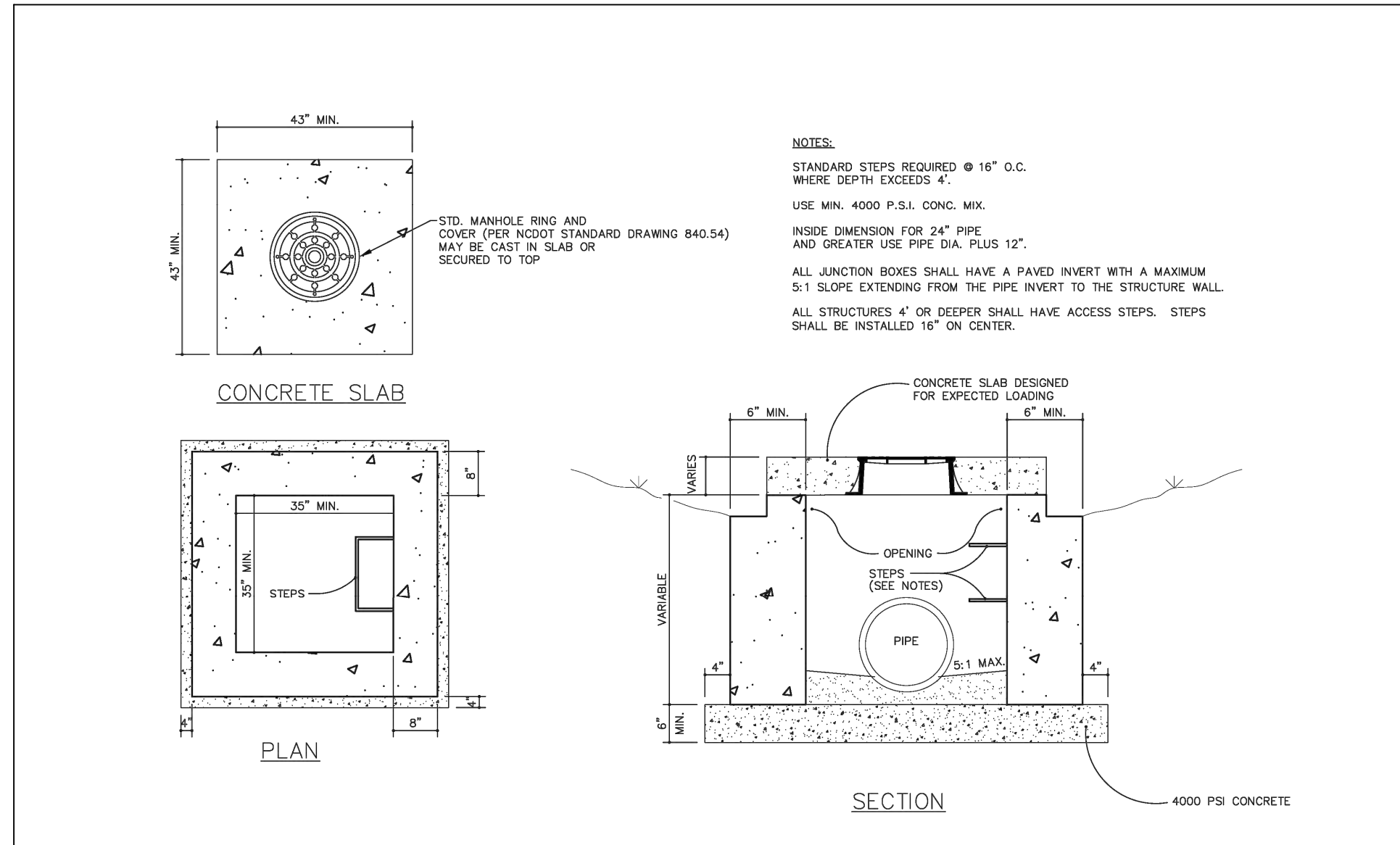
No.	REVISIONS	Date
1	SUBMIT TO CLIENT	01-08-24
2	FOR SUBMITTAL	02-14-24
3	RESUBMITTAL	03-26-24

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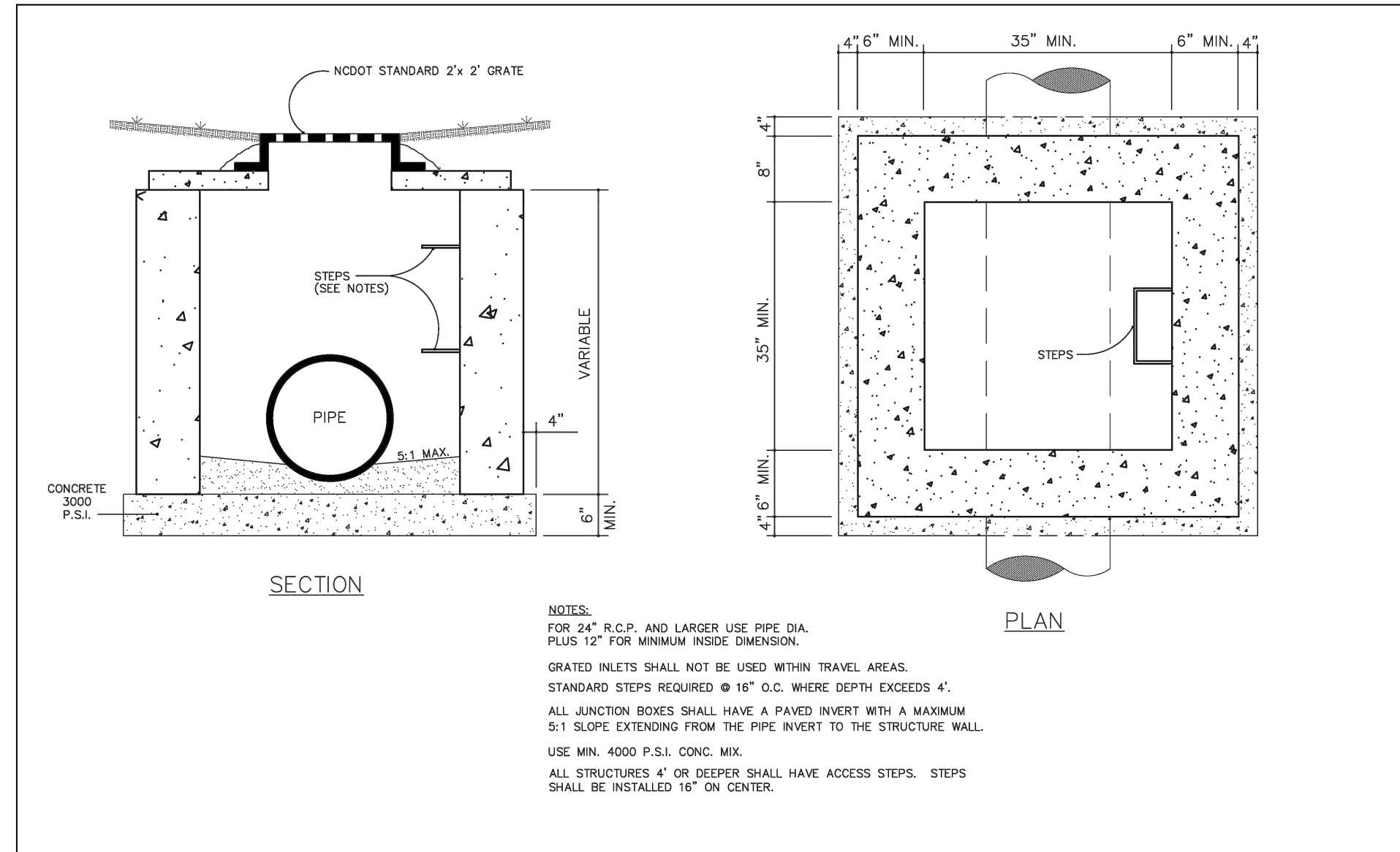


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104 HIAWASSEE AVENUE
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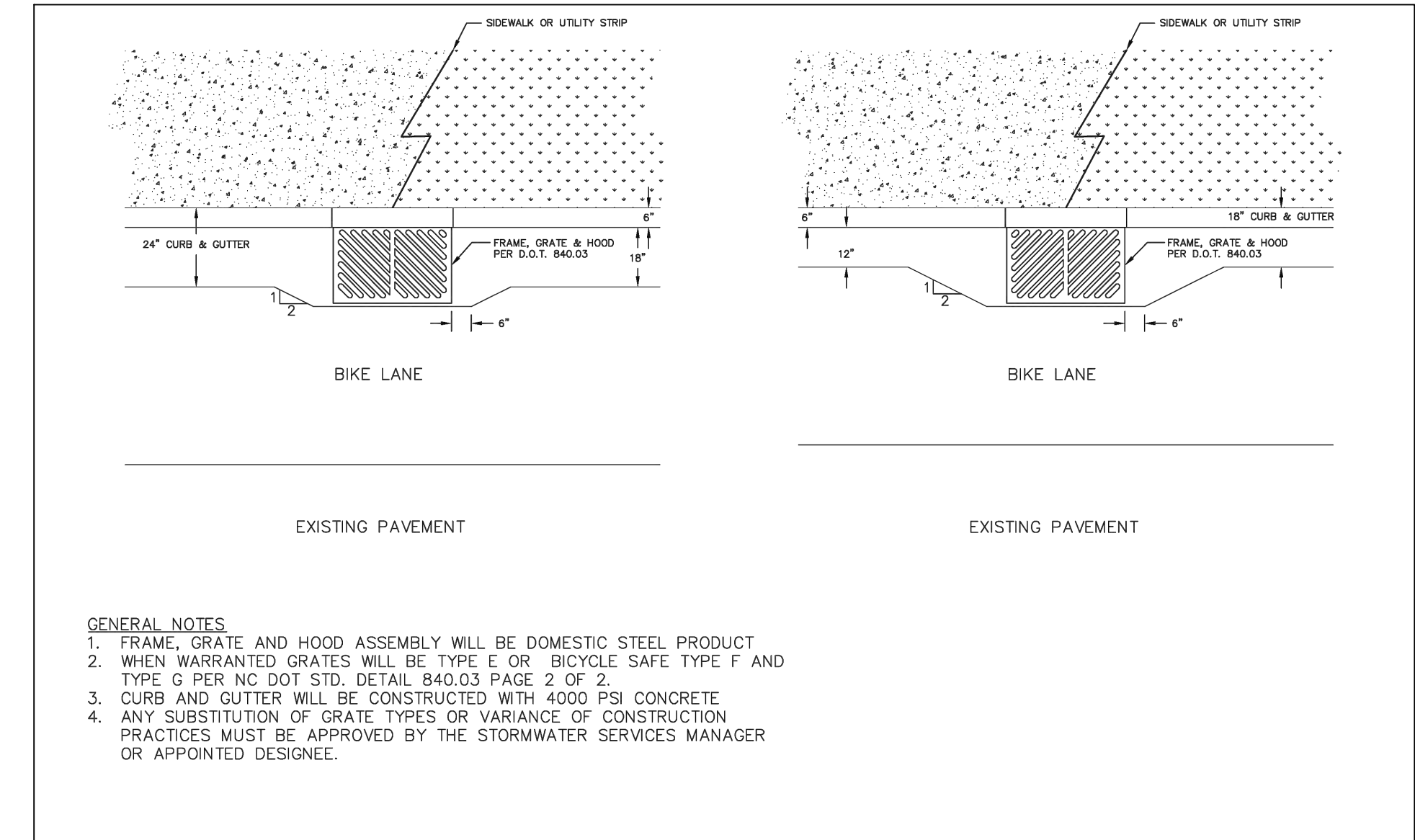




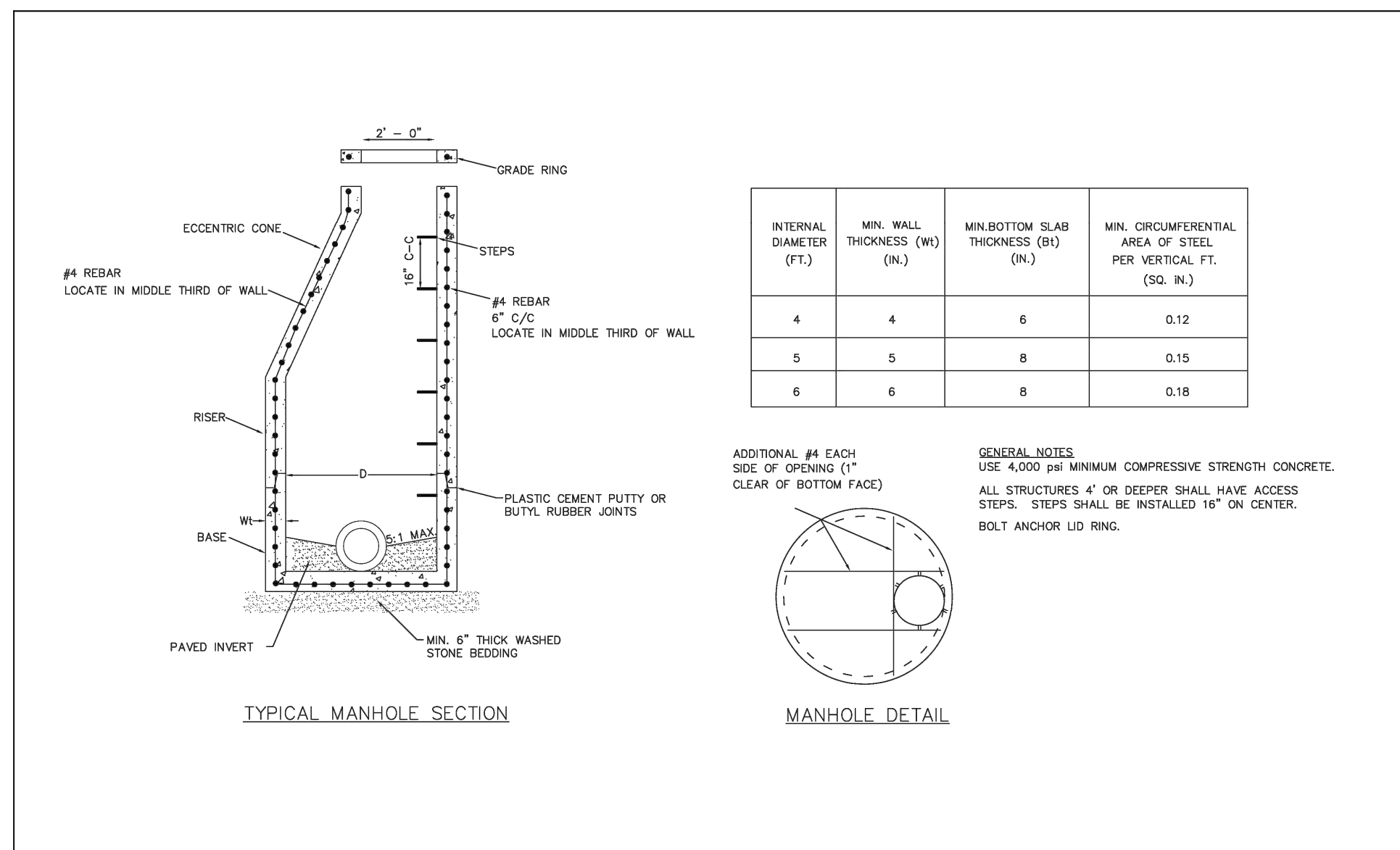
STANDARD YARD INLET WITH CONCRETE SLAB



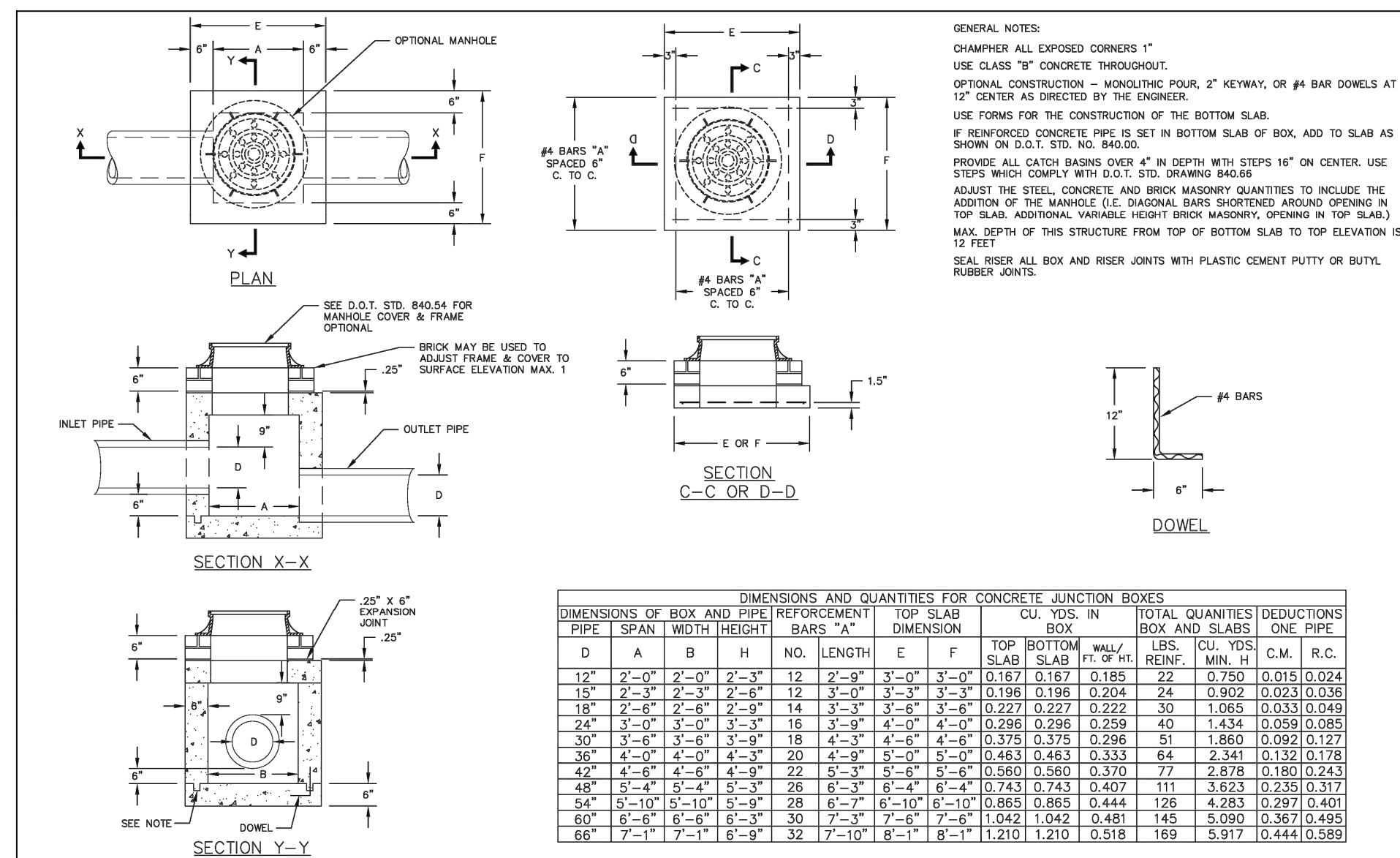
STANDARD YARD INLET WITH GRATE AND FRAME



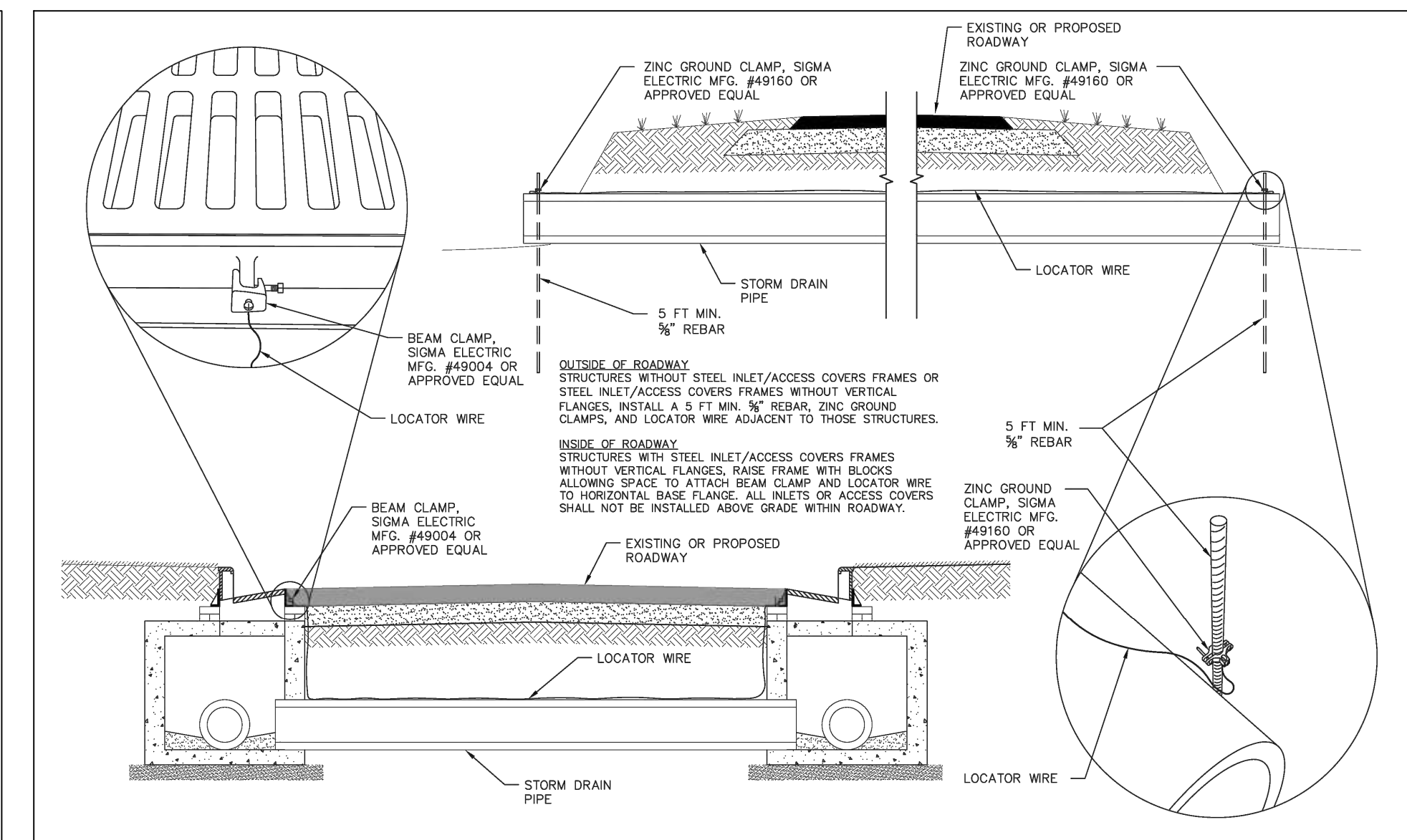
CURB INLETS FOR 18" & 24" CURB & GUTTER



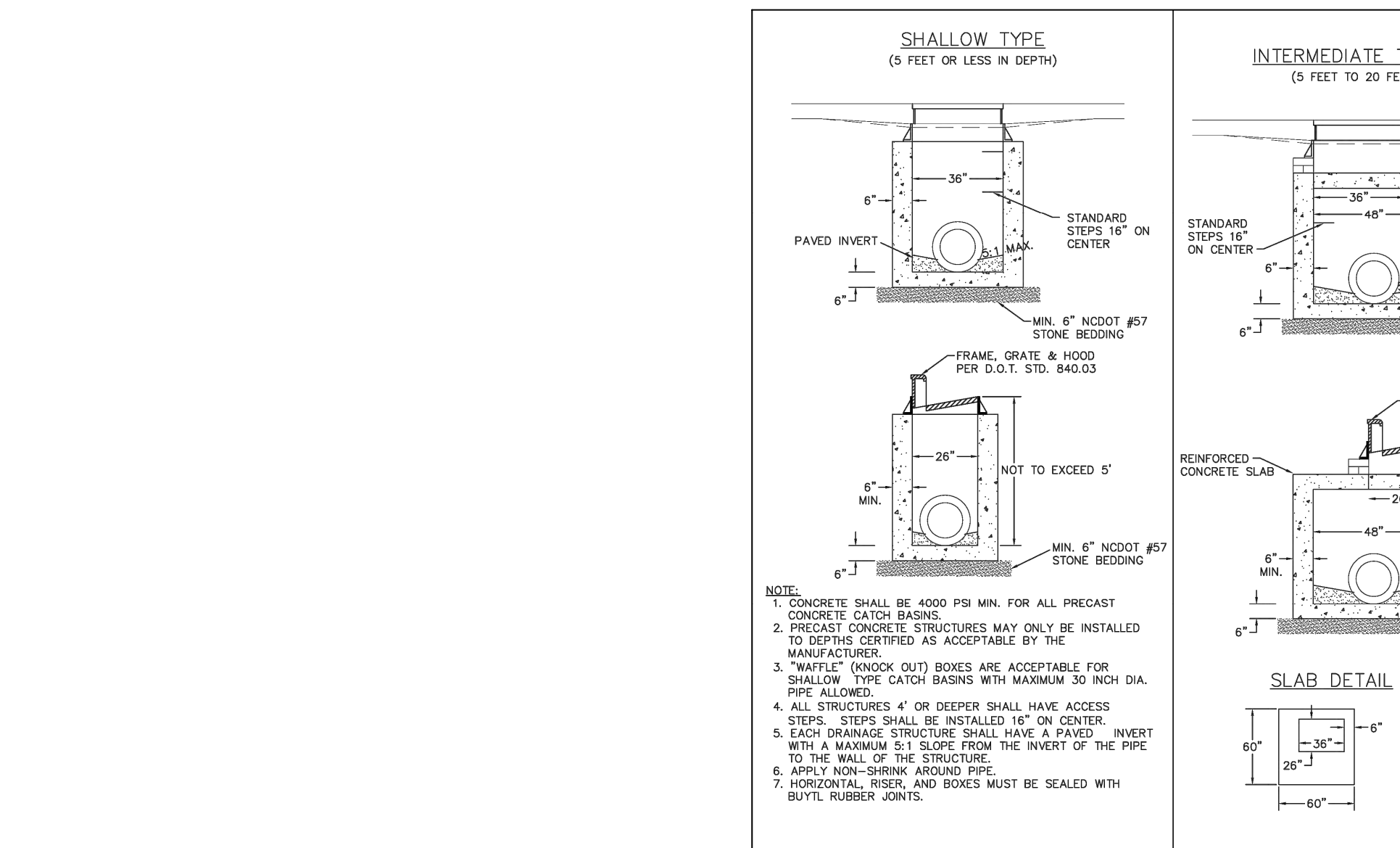
PRECAST CONCRETE MANHOLE JUNCTION BOX



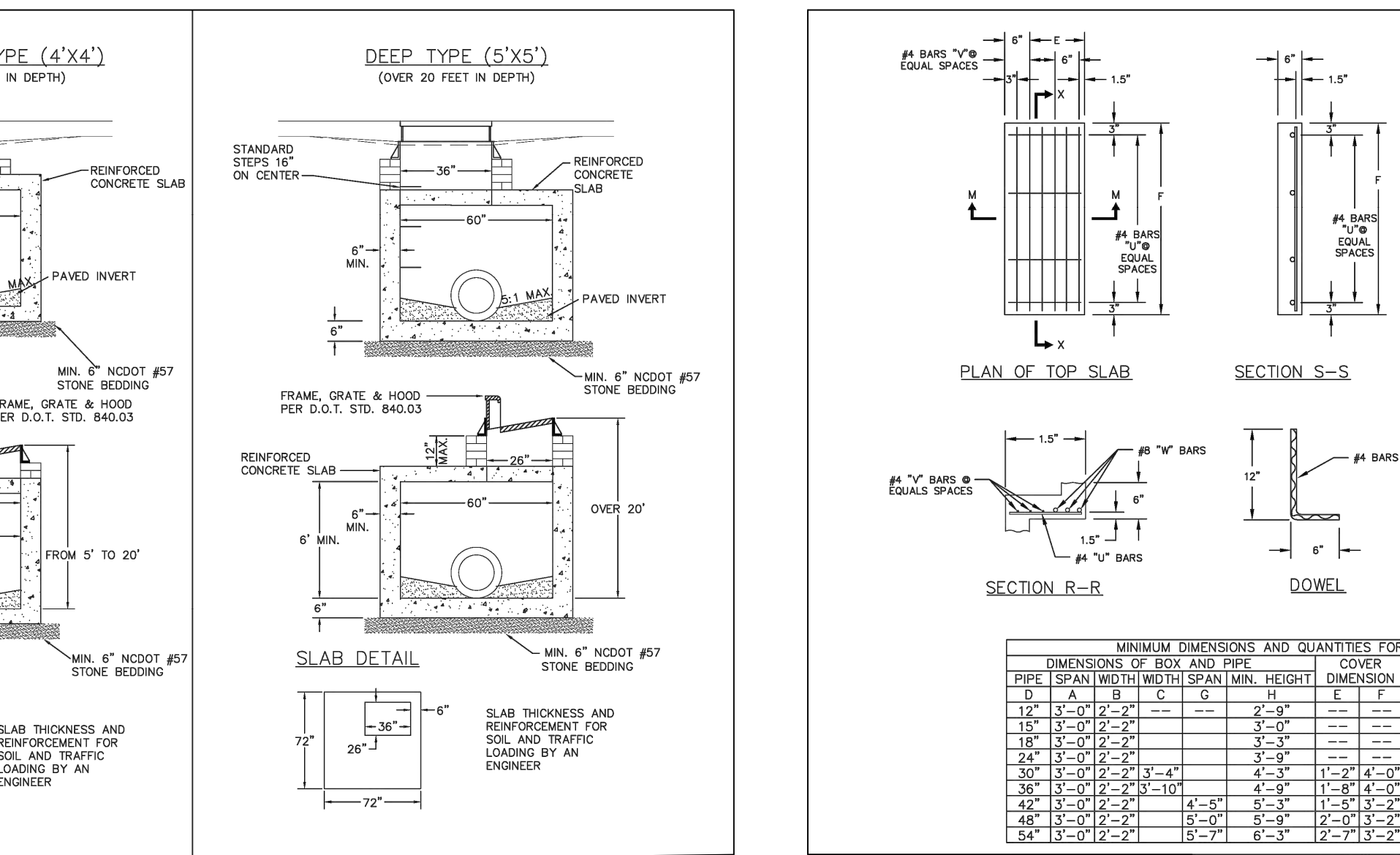
PRECAST CONCRETE JUNCTION BOX



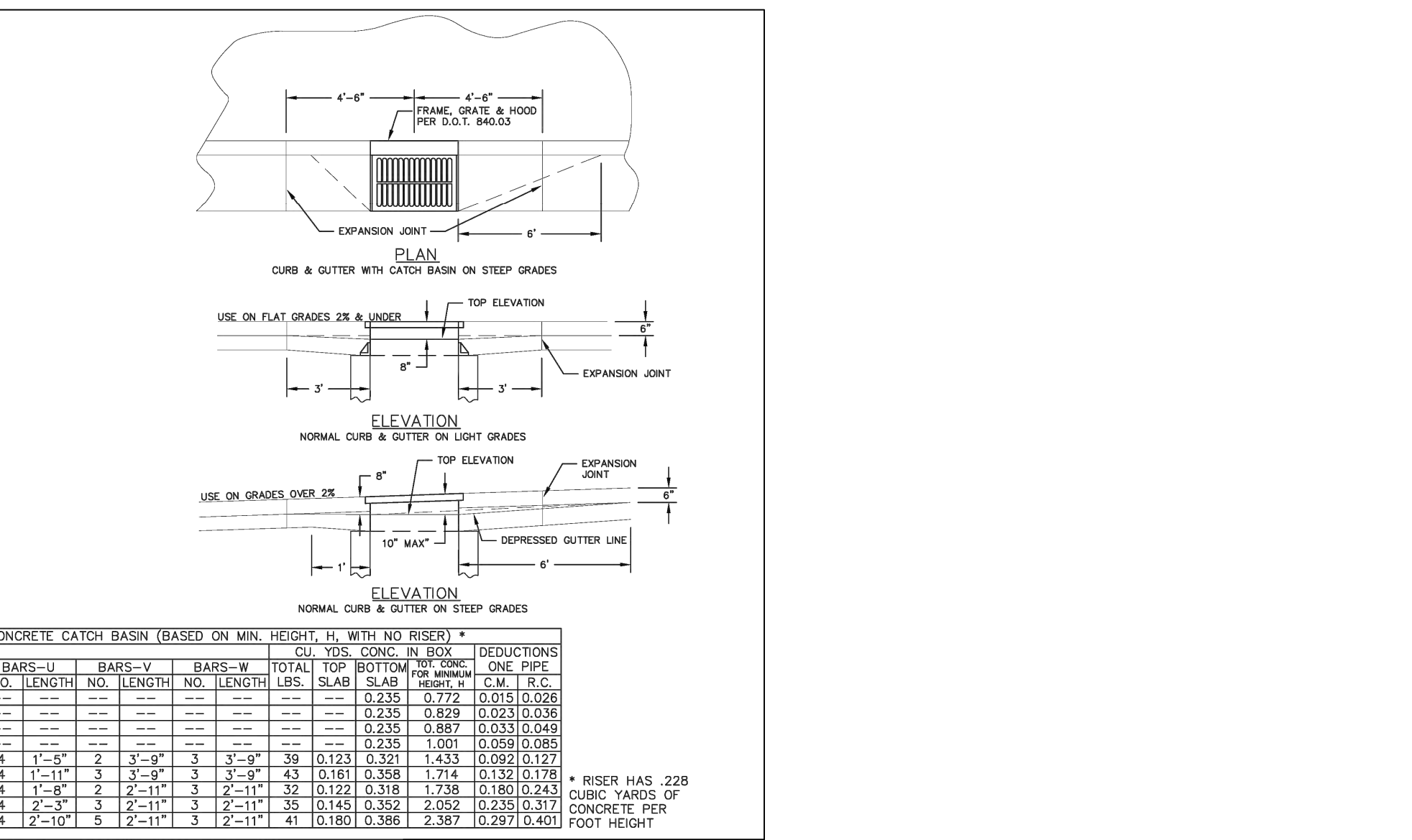
STORM DRAIN PIPE LOCATION DEVICES



PRECAST CONCRETE CATCH BASIN



PRECAST CONCRETE CATCH BASIN



PRECAST CONCRETE CATCH BASIN

STORM WATER DETAILS

1019 BERKELEY ROAD

CIVIL ENGINEERING & SITE PLANNING

C-4.3

FOR OK CONSTRUCTION

TOWN OF HENDERSONVILLE, HENDERSON COUNTY

Date	REVISIONS
01-08-24 <td>1</td>	1
02-14-24 <td>2</td>	2
03-26-24 <td>3</td>	3

PRELIMINARY - NOT FOR CONSTRUCTION

EDSEL ENGINEERING, PLLC
 104 HIWASSEE AVENUE
 BLACK MOUNTAIN, NC 28711

EDSEL ENGINEERING, PLLC
 NORTH CAROLINA
 CERT # P-2876

EDSEL ENGINEERING

LANDSCAPING PLAN NOTES:

THE TYPE OF PLANTS USED SHALL BE LIMITED TO THOSE ON THE APPROVED "SPECIES LIST" WHICH SHALL BE PUBLISHED AND REVISED FROM TIME TO TIME BY THE HENDERSONVILLE PLANNING DIRECTOR IN CONSULTATION WITH THE TREE BOARD. PLANT MATERIAL. PLANT MATERIALS USED FOR INSTALLATION SHALL CONFORM TO THE STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN IN THE "AMERICAN STANDARD FOR NURSERY STOCK," FOR EACH TYPE (I.E., CANOPY TREE, SHRUB, ETC.) WITH MINIMUM SIZE AS APPROPRIATE FOR THE MINIMUM CALIPER SIZE DESIGNATED:

- 1) BROADLEAF CANOPY TREES: ONE AND ONE-HALF TO TWO-INCH CALIPER;
- 2) ALL OTHER TREES: FIVE TO SIX FEET IN HEIGHT;
- 3) ALL SHRUBS: HEIGHT OR SPREAD OF 18 TO 24 INCHES.

NO BUFFER REQUIRED BECAUSE PROPERTY ZONING IS C-3 WITH PROPOSED COMMERCIAL USE AND ALL SURROUNDING PROPERTIES ARE COMMERCIAL USE.

SCREENING IS PROVIDED FOR THE DUMPSTER THROUGH THE ENCLOSURE AND IN A PLANTING AREA WHICH IS TO BE AT LEAST FIVE FEET WIDE.

LANDSCAPING FOR VEHICULAR USE AREAS:
THERE ARE APPROXIMATELY 0.71 ACRES OF 30927 SQFT OF VEHICULAR USE AREAS. VEHICULAR USE AREAS MUST BE PLANTED WITH AT LEAST ONE TREE AND TWO SHRUBS FOR EVERY 4,000 SQUARE FEET OF VEHICULAR USE AREA, WHICH REQUIRES 8 TREES AND 16 SHRUBS. TREES SHALL BE SPACED SO THAT NO PARKING SPACE IS MORE THAN 63 FEET FROM A TREE. AT LEAST 75 PERCENT OF THE REQUIRED PARKING LOT TREES MUST BE BROADLEAF CANOPY TREES. BECAUSE THE DEVELOPMENT CONTAINS 20 OR MORE PARKING SPACES, 50 PERCENT OF THE TREES AND SHRUBS ARE TO BE PLANTED IN ISLANDS OR MEDIANS LOCATED WITHIN THE PARKING LOT.

PLANTING STRIPS. WHEN A VEHICULAR USE AREA (VUA) IS LOCATED WITHIN 100 FEET OF AN ABUTTING PROPERTY AND NO BUFFERYARD IS REQUIRED, A PLANTING STRIP WHICH IS A MINIMUM OF FIVE FEET WIDE SHALL BE PLANTED BETWEEN THE VUA AND THE ABUTTING PROPERTY, EXCEPT ALONG APPROVED DRIVEWAY OPENINGS WHICH RUN PERPENDICULAR TO THE PLANTING STRIP. ONE LARGE EVERGREEN OR DECIDUOUS TREE AND FIVE EVERGREEN OR DECIDUOUS SHRUBS SHALL BE PLANTED FOR EVERY 40 LINEAR FEET OF PROPERTY LINE THAT PARALLELS THE VEHICULAR USE AREA. FIFTY PERCENT OF THESE TREES AND SHRUBS MAY BE COUNTED TOWARD THE PARKING LOT TREES AND SHRUBS REQUIRED IN PARAGRAPH A), ABOVE, IF THE PLANTING STRIP IS LOCATED WITHIN 20 FEET OF THE VEHICULAR USE AREA. THERE IS 190 FEET OF VUA ABUTTING THE NORTH, WEST, SOUTH, AND EAST WITHIN 100-FOOT OF THE PROPERTY LINE, THEREFORE EACH SIDE RECEIVES 5 LARGE EVERGREEN OR DECIDUOUS TREE AND 25 EVERGREEN OR DECIDUOUS SHRUBS.

5-18-4.8. STREET TREES. STREET TREES SHALL BE REQUIRED AT THE RATE OF ONE SMALL-MATURING TREE (<25 FEET IN HEIGHT) FOR EVERY 40 LINEAR FEET OF PROPERTY ABUTTING A STREET IF OVERHEAD UTILITY LINES ARE PRESENT. TREES DO NOT NEED TO BE SPACED EVENLY. THEY MAY BE CLUSTERED WITH A MINIMUM SPACING OF 15 FEET AND A MAXIMUM SPACING OF 75 FEET.

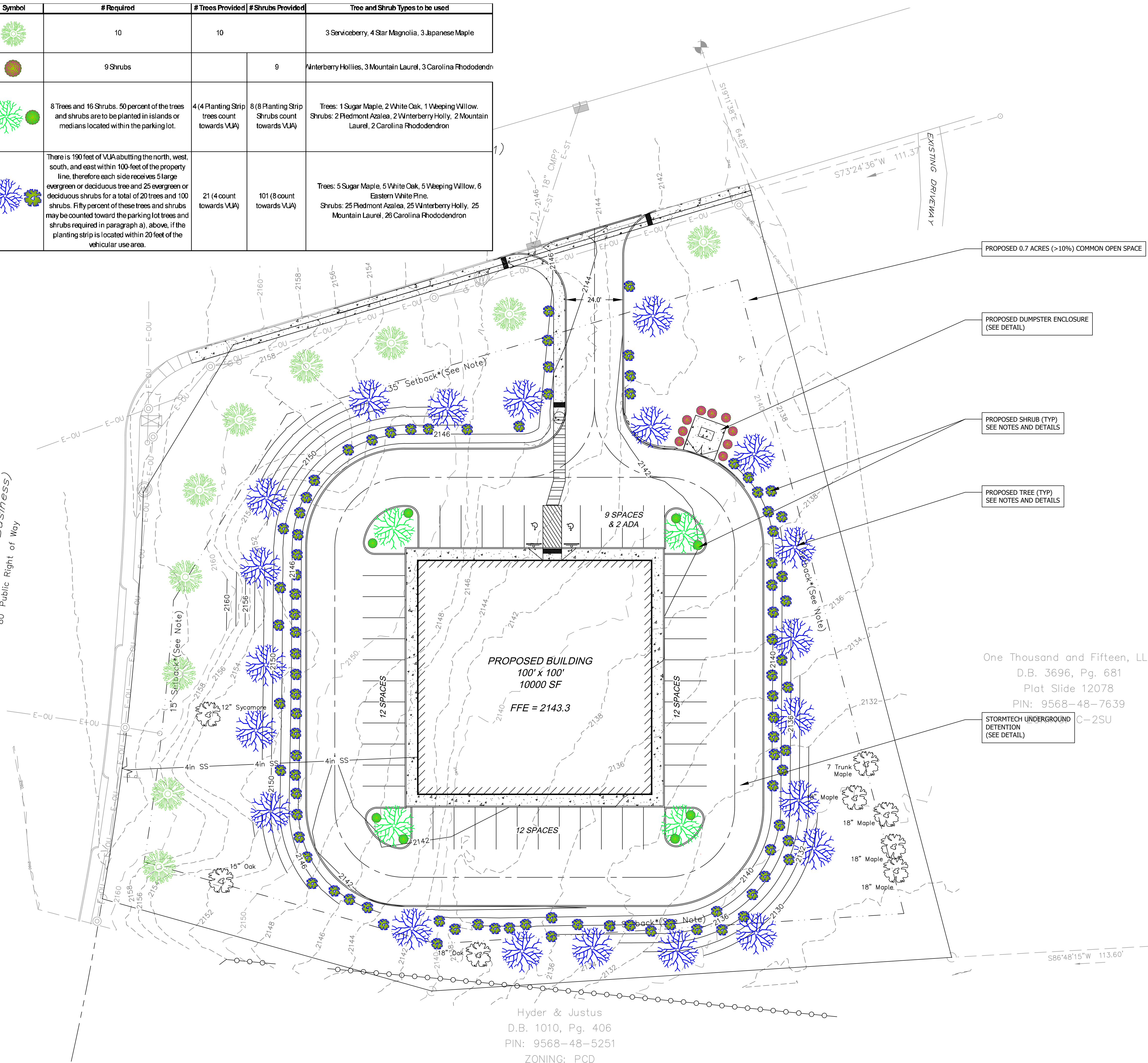


STORMWATER LEGEND

- EXIST. BOUNDARY
- EXIST. ADJOINER
- EXIST. RIGHT OF WAY
- ST --- PROPOSED STORM DRAINAGE DRAINAGE AREA
- PROPOSED CATCH BASIN
- PROPOSED RIP RAP OUTLET
- +000.0 SPOT ELEVATION
- PROPOSED CONCRETE SIDEWALK
- E-W --- EXIST. WATER LINE
- E-ST --- EXIST. STORM DRAIN
- EXIST. CURB INLET
- ELEV --- EXIST. MINOR CONTOUR
- ELEV --- EXIST. MAJOR CONTOUR
- EXIST. OVERHEAD UTILITY
- EXIST. FENCE LINE
- ⊙ EXIST. WATER METER
- EXIST. PROPERTY CORNER
- EXIST. STREET SIGN
- EXIST. GUY WIRE
- ⊙ EXIST. POWER POLE

Type	Symbol	# Required	# Trees Provided	# Shrubs Provided	Tree and Shrub Types to be used
Street Trees		10	10		3 Serviceberry, 4 Star Magnolia, 3 Japanese Maple
Dumpster Screening		9 Shrubs		9	Winterberry Hollies, 3 Mountain Laurel, 3 Carolina Rhododendron
Vehicular Use Area		8 Trees and 16 Shrubs. 50 percent of the trees and shrubs are to be planted in islands or medians located within the parking lot.	4 (4 Planting Strip trees count towards VUA)	8 (8 Planting Strip Shrubs count towards VUA)	Trees: 1 Sugar Maple, 2 White Oak, 1 Weeping Willow, 2 Piedmont Azalea, 2 Winterberry Holly, 2 Mountain Laurel, 2 Carolina Rhododendron
Planting Strips		There is 190 feet of VUA abutting the north, west, south, and east within 100-feet of the property line, therefore each side receives 5 large evergreen or deciduous tree and 25 evergreen or deciduous shrubs for a total of 20 trees and 100 shrubs. Fifty percent of these trees and shrubs may be counted toward the parking lot trees and shrubs required in paragraph a), above, if the planting strip is located within 20 feet of the vehicular use area.	21 (4 count towards VUA)	101 (8 count towards VUA)	Trees: 5 Sugar Maple, 5 White Oak, 5 Weeping Willow, 6 Eastern White Pine, Shrubs: 25 Piedmont Azalea, 25 Winterberry Holly, 25 Mountain Laurel, 26 Carolina Rhododendron

Asheville Highway
 (U.S. Highway 25 Business)
 80' Public Right of Way



Hyder & Justus
 D.B. 1010, Pg. 406
 PIN: 9568-48-5251
 ZONING: PCD

One Thousand and Fifteen, LLC
 D.B. 3696, Pg. 681
 Plat Slide 12078
 PIN: 9568-48-7639
 C-2SU

LAND-SCAPE PLAN

1019 BERKELEY ROAD

CIVIL ENGINEERING & SITE PLANNING

FOR OK CONSTRUCTION

TOWN OF HENDERSONVILLE, HENDERSON COUNTY

C-5.0

No.	REVISIONS	Date
1	DATE	01-08-24
2	SUBMIT TO CLIENT	02-14-24
3	FOR SUBMITTAL	03-26-24
	RESUBMITTAL	

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Edsel Engineering, PLLC
 104 HIWASSEE AVENUE
 BLACK MOUNTAIN, NC 28711

LANDSCAPING PLAN RECOMMENDED PLANT SPECIES

Landscaping Plant Lists

TREES AND SHRUBS FOR SCREENING AND BEAUTIFICATION

LARGE MATURING TREES >50' TALL

Common Name	Botanical/Scientific Name
Autumn Blaze Maple*	Acer x freemanii
Armstrong Maple*	Acer rubrum 'Armstrong'
October Glory Maple*	Acer rubrum 'October Glory'
Red Sunset Maple*	Acer rubrum 'Red Sunset'
Sugar Maple*	Acer saccharum
River Birch*	Betula nigra
Deodar Cedar*	Cedrus deodara
Katsura Tree*	Cercidiphyllum japonicum
American Beech*	Fagus grandifolia
European Beech*	Fagus sylvatica
Ginkgo (male)*	Ginkgo biloba
Honey Locust	Gleditsia triacanthos
Kentucky Coffee Tree	Gymnocladus dioica
Fruitless Sweetgum	Liquidambar styraciflua 'Rotundiloba'
Tulip Tree*	Liriodendron tulipifera
Cucumber Tree	Magnolia acuminata
Southern Magnolia	Magnolia grandiflora
Bigleaf Magnolia	Magnolia macrophylla
Dawn Redwood*	Metasequoia glyptostroboides
Eastern White Pine*	Pinus strobus
London Plane Tree*	Platanus x acerifolia
Sycamore*	Platanus occidentalis
White Oak*	Quercus alba
Scarlet Oak*	Quercus coccinea
Pin Oak*	Quercus palustris
Willow Oak*	Quercus phellos
Northern Red Oak*	Quercus rubra
Weeping Willow*	Salix babylonica
Japanese Pagoda Tree*	Sophora japonica
Bald Cypress	Taxodium distichum
Canadian Hemlock	Tsuga canadensis
Carolina Hemlock	Tsuga caroliniana
Chinese / Lacebark Elm*	Ulmus parvifolia 'Allee'
Village Green Japanese Zelkova*	Zelkova serrata 'Village Green'

X - Non-native - not indigenous to southeastern U.S.
K - Keystone Plant

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MEDIUM MATURING TREES 25' - 50' TALL

Common Name	Botanical/Scientific Name
Norwegian Sunset Maple*	Acer truncatum x A. platanoides 'Keithsform'
Upright European Hornbeam*	Carpinus betulus 'Fastigiata'
American Hornbeam	Carpinus caroliniana
American Yellowwood	Cladrastis kentukea
Franklinia	Franklinia alatamaha
Carolina Silverbell	Halesia carolina
Savannah Holly	Ilex x attenuata 'Savannah'
American Holly*	Ilex opaca
Eastern Red Cedar*	Juniperus virginiana
Goldenrain Tree*	Koeleruteria paniculata
Galaxy Saucer Magnolia*	Magnolia liliiflora 'Nigra' x Magnolia sprengeri 'Diva'
Saucer Magnolia*	Magnolia x soulangeana
Sweetbay Magnolia	Magnolia virginiana
Black Gum*	Nyssa sylvatica
Sourwood*	Oxydendrum arboreum
Norway Spruce*	Picea abies
Japanese Black Pine*	Pinus thunbergii
Chinese Pistache*	Pistacia chinensis
Okame Cherry*	Prunus okame
Japanese Stewartia*	Stewartia pseudocamellia
Nigra American Arborvitae*	Thuja occidentalis 'Nigra'
Littleleaf Linden*	Tilia cordata
Greenspire Little Leaf Linden*	Tilia cordata 'Greenspire'

SMALL MATURING TREES < 25' TALL

Common Name	Botanical/Scientific Name
Japanese Maple*	Acer palmatum
Eastern / Canadian Serviceberry	Amelanchier canadensis
Allegheny Serviceberry*	Amelanchier laevis
Cole's Select Serviceberry	Amelanchier x grandiflora 'Cole's Select'
Allegheny Chinkapin	Castanea pumila
Eastern Redbud*	Cercis canadensis
Pagoda Dogwood	Cornus alternifolia
Appalachian Blush Dogwood	Cornus florida
Appalachian Mist Dogwood	Cornus florida
Appalachian Spring Dogwood	Cornus florida
Flowering Dogwood*	Cornus florida
Kousa Dogwood*	Cornus kousa
Spring Glory Cornelian Cherry / Dogwood	Cornus mas
Washington Hawthorn*	Crataegus phaenopyrum
Green Hawthorn	Crataegus viridis

X - Non-native - not indigenous to southeastern U.S.
K - Keystone Plant

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Foster Holly	Ilex x attenuata 'Fosteri'
Nellie R. Stevens Holly*	Ilex x 'Nellie R. Stevens'
Natchez Crape Myrtle*	Lagerstroemia faurei 'Natchez'
Sugar Tyme Crabapple*	Malus hybrids
Sargent's Crabapple*	Malus sargentii
Flowering / Southern Crabapple*	Malus angustifolia
Redleaf Plum*	Prunus cerasifera
Japanese Cherry*	Prunus serrulata
Weeping Cherry*	Prunus x subhirtella 'Pendula'
Japanese Snowbell*	Styrax japonicus
Nannyberry Viburnum*	Viburnum lentago

SHRUBS

Common Name	Botanical/Scientific Name
Bottlebrush Buckeye*	Aesculus parviflora
Devil's Walking Stick	Aralia spinosa
Red Chokeberry*	Aronia arbutifolia
European Boxwood*	Buxus sempervirens
American Beautyberry*	Callicarpa americana
Sweetshrub/Carolina Allspice*	Calycanthus floridus
New Jersey Tea*	Ceanothus americanus
Button Bush*	Cephalanthus occidentalis
Clethra / Summersweet	Clethra alnifolia
American Hazelnut	Corylus americana
Southern Bush Honeysuckle	Diervilla sessilifolia
Hearts-a-Bustin'*	Euonymus americanus
Dwarf Fothergilla	Fothergilla gardenii
Witchhazel	Hamamelis virginiana
Native Hydrangeas	Hydrangea spp.
St. Johnswort	Hypericum spp.
Glossy Abelia*	Linnaea x grandiflora
Convexa Japanese Holly*	Ilex crenata 'Convexa'
Hetzi Japanese Holly*	Ilex crenata 'Hetzi'
Winterberry Hollies*	Ilex spp.
Itea / Virginia Sweetpire*	Itea virginica
Hetz Blue Juniper*	Juniperus chinensis 'Hetzi Glauca'
Mountain Laurel*	Kalmia latifolia
Doghobble / Fetterbush	Leucothoe fontanesia
Spicebush*	Lindera benzoin
Eastern Ninebark*	Physocarpus opulifolius
Japanese Andromeda*	Pieris japonica
Carolina Rhododendron*	Rhododendron minus

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K - Keystone Plant

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Hybrid Rhododendron*	Rhododendron x hybridum
Native Azaleas & Rhododendrons*	Rhododendron spp.
Sumacs*	Rhus spp.
Blackberry/Dewberry/Raspberry	Rubus spp.
Willow Shrubs: Pussy Willow, Silky Willow, Prairie Willow*	Salix discolor, Salix sericea, Salix humilis
American Elderberry*	Sambucus canadensis
Spiraeas	Spiraea spp.
Japanese Yew*	Taxus cuspidata
Blueberries*	Vaccinium spp.
Doubleleaf Viburnum*	Viburnum plicatum f. tomentosum
Leatherleaf Viburnum*	Viburnum rhytidophyllum
Sandankwa Viburnum*	Viburnum suspensum

INVASIVE PLANTS - DO NOT PLANT

Please also see the NC Invasive Plant Council's list of "Invasive Plants found in the Mountains of North Carolina" for additional unsuitable plant species. **These plants are prohibited by developments approved by the City of Hendersonville.**

Common Name	Botanical/Scientific Name
Norway Maple*	Acer platanoides
Silver Maple	Acer saccharinum
Mimosa*	Albizia julibrissin
Porcelain Berry*	Ampelopsis brevipedunculata
Oriental Bittersweet*	Celastrus orbiculatus
Russian Olive*	Elaeagnus angustifolia
Thorny Olive*	Elaeagnus pungens
Autumn Olive*	Elaeagnus umbellata
Burning Bush Euonymus*	Euonymus alata
Wintercreeper*	Euonymus fortunei
English Ivy*	Hedera helix
Japanese Privet*	Ligustrum japonicum
Chinese Privet*	Ligustrum sinense
Japanese Honeysuckle*	Lonicera japonica
Oregon Grape*	Berberis bealei
Japanese Stilt Grass*	Microstegium vimineum
Chinese Silvergrass*	Miscanthus sinensis
Princess Tree*	Paulownia tomentosa
Bradford Pear*	Prunus calleryana 'Bradford'
Multiflora Rose*	Rosa multiflora
Common Periwinkle*	Vinca minor
Large Leaf Periwinkle*	Vinca major
Japanese Wisteria*	Wisteria floribunda

X - Non-native - not indigenous to southeastern U.S.
K - Keystone Plant

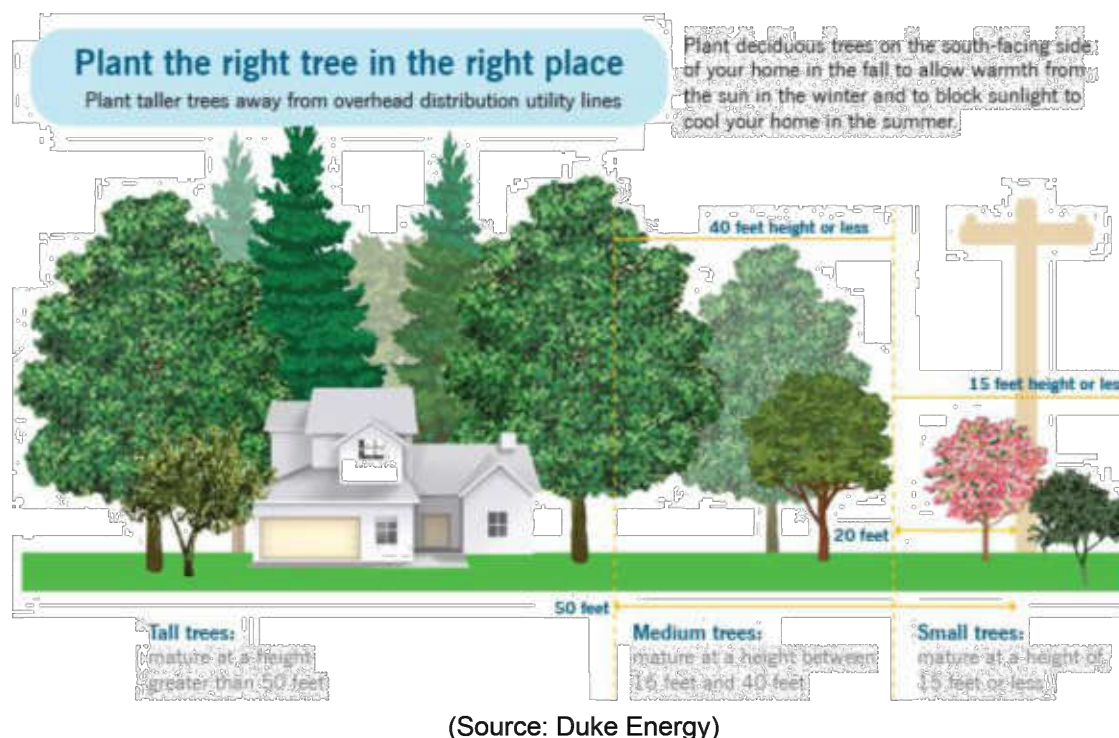
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Chinese Wisteria*	Wisteria sinensis
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TREES AND SHRUBS FOR PLANTING UNDER UTILITY LINES

SMALL MATURING TREES < 25' TALL

Common Name	Botanical/Scientific Name
Japanese Maple*	Acer palmatum (selected cultivars)
Tatar / Tatarian Maple*	Acer tataricum
Bottlebrush Buckeye*	Aesculus parviflora
Serviceberry*	Amelanchier canadensis
Cornelian Cherry*	Conus mas
Fragrant Winterhazel*	Corylopsis glabrescens
American Hazelnut / Filbert	Corylus americana
Common Smoketree*	Cotinus coggygria
Star Magnolia*	Magnolia stellata
Japanese Flowering Apricot*	Prunus mume



(Source: Duke Energy)

DROUGHT TOLERANT TREES AND SHRUBS

LARGE MATURING TREES >50' TALL

Common Name	Botanical/Scientific Name
Autumn Blaze Maple*	Acer x freemanii
Pignut Hickory*	Carya glabra

X - Non-native - not indigenous to southeastern U.S.
K - Keystone Plant

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Mockernut Hickory*	Carya tomentosa
Deodar Cedar*	Cedrus deodara
Sweetgum*	Liquidambar styraciflua
Lacebark Pine*	Pinus bungeana
White Oak*	Quercus alba
Pin Oak*	Quercus palustris
Bald Cypress	Taxodium distichum
Urban American Elm*	Ulmus americana 'Urban'
Chinese / Lacebark Elm*	Ulmus parvifolia

SMALL - MEDIUM MATURING TREES < 50' TALL

Common Name	Botanical/Scientific Name
Trident Maple*	Acer buergerianum
Red Buckeye*	Aesculus pavia
Eastern Redbud*	Cercis canadensis
American Yellowwood	Cladrastis kentukea
Kousa Dogwood*	Cornus kousa
American Smoke Tree	Cotinus obovatus
Winter King Green Hawthorn	Crataegus viridis 'Winter King'
Dwarf Loblolly Pine	Pinus taeda 'Nana'
Chinese Pistache*	Pistacia chinensis

SHRUBS

Common Name	Botanical/Scientific Name
Red Chokeberry*	Aronia arbutifolia
American Beautyberry*	Callicarpa americana
Bluebeard*	Caryopteris x clandonensis
Japanese Plum Yew*	Cephalotaxus harringtonia
Dwarf Hinoki False Cypress*	Chamaecyparis obtusa
Southern Bush Honeysuckle	Diervilla sessilifolia
Dwarf Fothergilla	Fothergilla gardenii
Aaron's Beard / St. Johnswort*	Hypericum calycinum
Carissa Chinese Holly*	Ilex cornuta 'Carissa'
Winterberry Holly*	Ilex verticillata
Yaupon Holly*	Ilex vomitoria
Itea / Virginia Sweetpire*	Itea virginica
Hollywood Juniper*	Juniperus chinensis 'Kaizuka'
Redleaf Loropetalum*	Loropetalum chinense f. rubrum
Wax Myrtle	Myrica cerifera
Summer Wine Ninebark*	Physocarpus opulifolius 'Summer Wine'
Firethorn*	Pyracantha spp.
Piedmont Azalea*	Rhododendron canescens

X - Non-native - not indigenous to southeastern U.S.
K - Keystone Plant

10

LAND-
SCAPE
PLAN

C-5.1

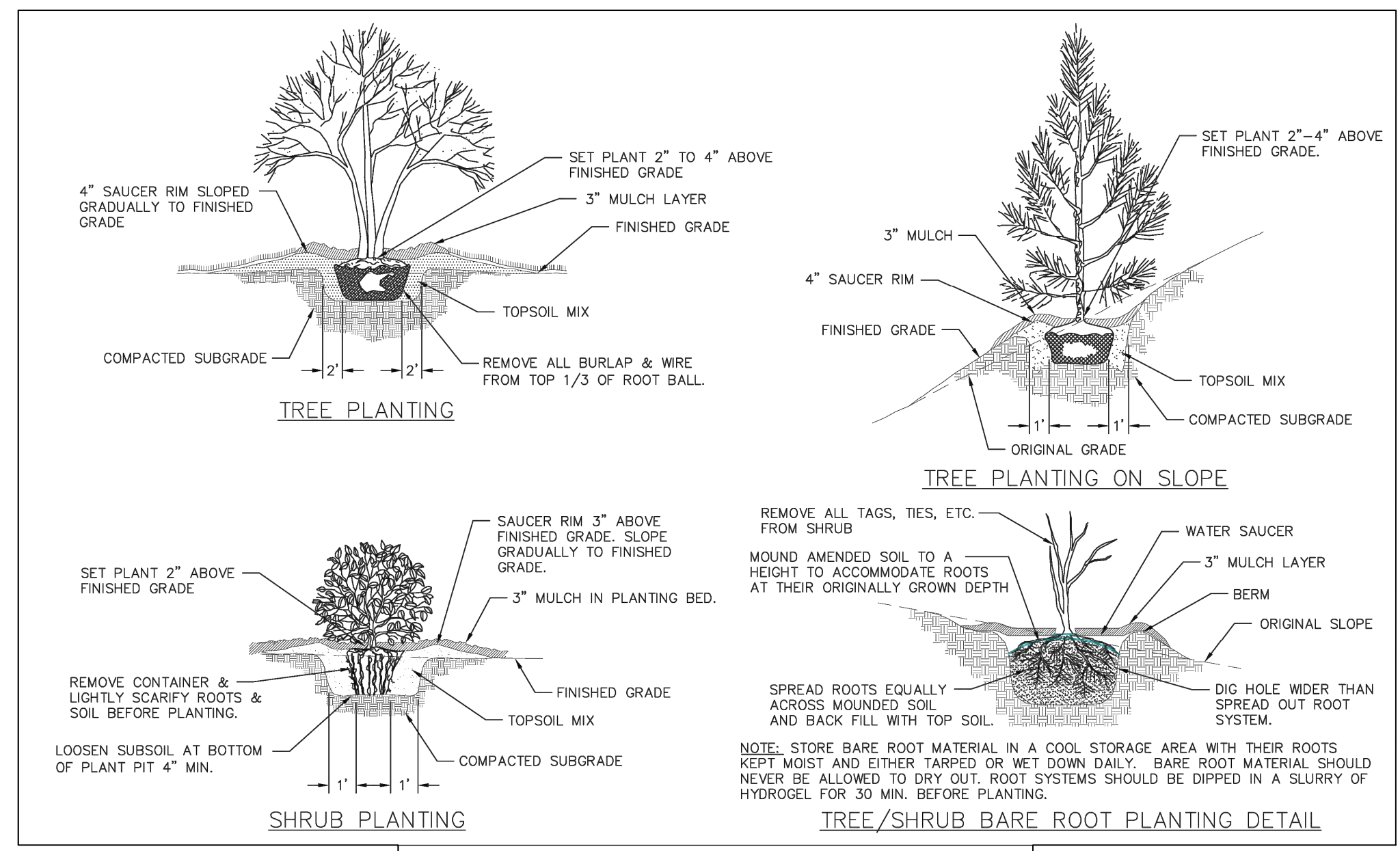
1019 BERKELEY ROAD
CIVIL ENGINEERING &
SITE PLANNING

FOR OK CONSTRUCTION
TOWN OF HENDERSONVILLE, HENDERSON COUNTY

No.	REVISIONS	Date
1	SUBMIT TO CLIENT	01-08-24
2	FOR SUBMITTAL	02-14-24
3	RESUBMITTAL	03-26-24

PRELIMINARY - NOT FOR CONSTRUCTION

EDSEL ENGINEERING, PLLC
104 HIWASSEE AVENUE
BLACK MOUNTAIN, NC 28711

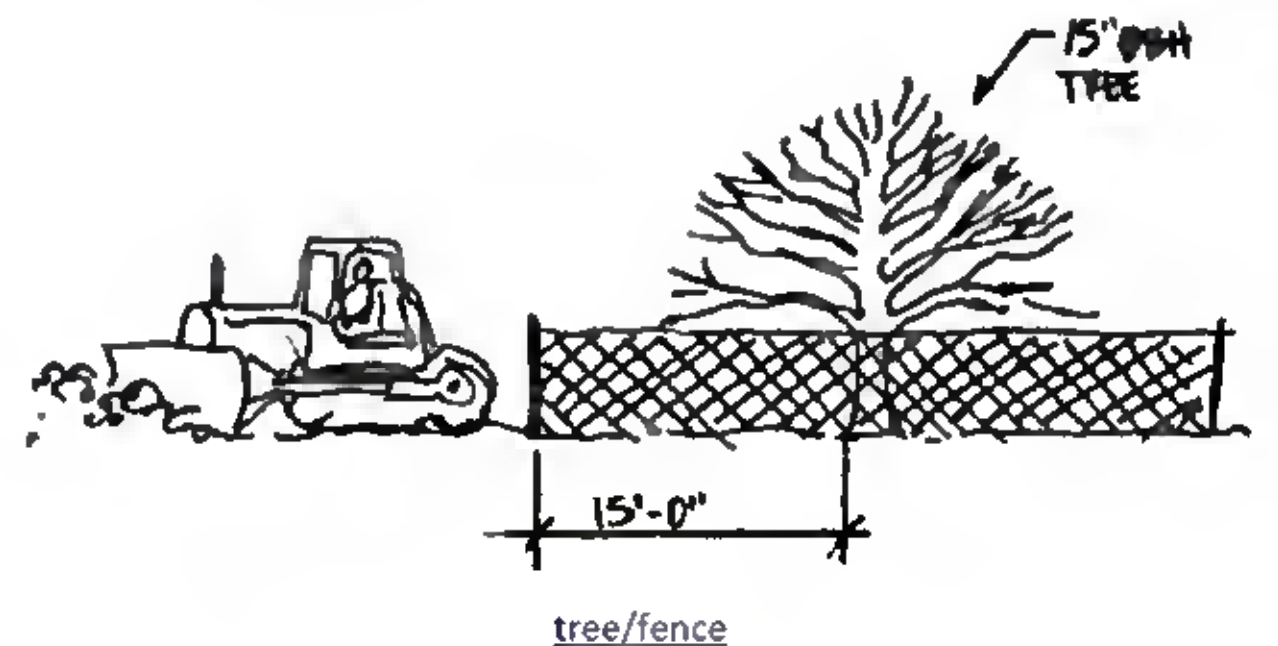


TREE & SHRUB PLANTING DETAIL

a. *Placement of protective barriers:* Barricades shall be placed around the critical root zone of preserved trees that are within 50 feet of any grading or construction activity. The critical root zone is a circle extending around the tree with a one-foot radius for every one inch of tree diameter. All protective barriers must include clear and visible signage that describes the delineated area as a "Tree Protection Area" or equivalent. All protective barriers and signs must be maintained throughout the building construction process.

b. *Protective barriers shall consist of either:*

A fence which is at least three feet high and constructed in a post-and-rail configuration using two by four posts and one by four rails, or



c. *Prohibited activities:* All contractors must be made aware of the areas designated for protection. No disturbance can occur within the tree protection area including:

- Grading
- Filling
- Parking
- Storage of debris or materials including topsoil
- Sedimentation and erosion control measures
- Disposal of hazardous wastes or concrete washout
- Attaching of nails, ropes, cables, signs, or fencing to any preserved tree

d. *Permissible encroachments:* Where physical site constraints exist, utilities may encroach into the tree protection area provided they are tunneled at least two feet directly below the tree roots to minimize root damage. A construction detail shall be required.

Other encroachments various in nature may be permitted provided that the contractor follows through on the written recommendation of a certified arborist or consulting arborist to minimize any potential impact and certify that the activity will not damage the tree under normal circumstances.

e. *Silt fencing:* If silt fencing is required to control sedimentation, the fencing must be placed along the uphill edge of a tree protection zone in order to prevent sediment from accumulating in the critical root zone area (refer to the City of Asheville's Standards and Specifications Manual for details).

TREE PROTECTION FENCE DETAIL

LAND-
SCAPE
PLAN

C-5.2

1019 BERKELEY ROAD
CIVIL ENGINEERING &
SITE PLANNING

FOR OK CONSTRUCTION
TOWN OF HENDERSONVILLE, HENDERSON COUNTY

No.	REVISIONS	Date
1	SUBMIT TO CLIENT	01-08-24
2	FOR SUBMITTAL	02-14-24
3	RESUBMITTAL	03-26-24

PRELIMINARY - NOT FOR CONSTRUCTION

EDSEL ENGINEERING, PLLC
104 HIWASSEE AVENUE
BLACK MOUNTAIN, NC 28711

DA MAP
PRE
DEV.

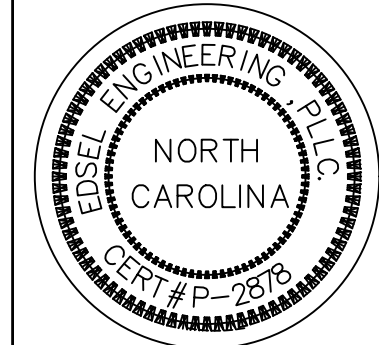
C-6.0

1019 BERKELEY ROAD
CIVIL ENGINEERING &
SITE PLANNING

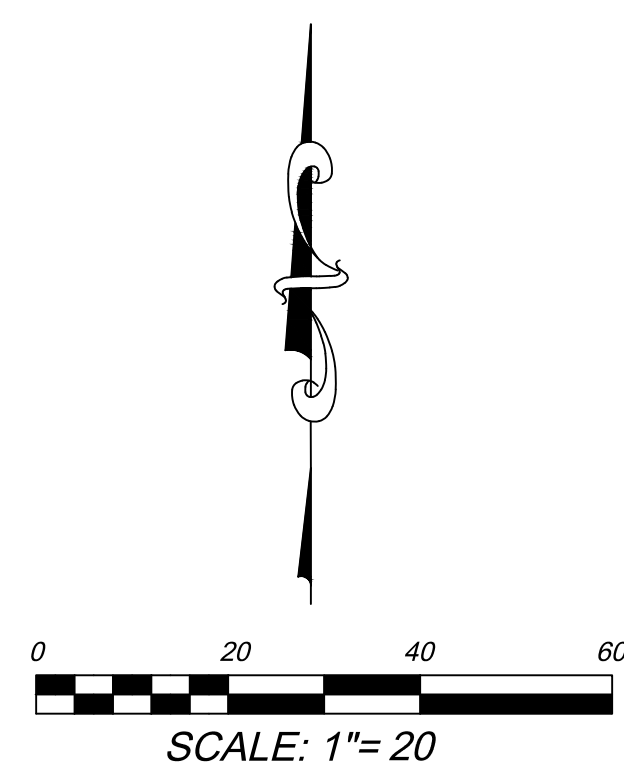
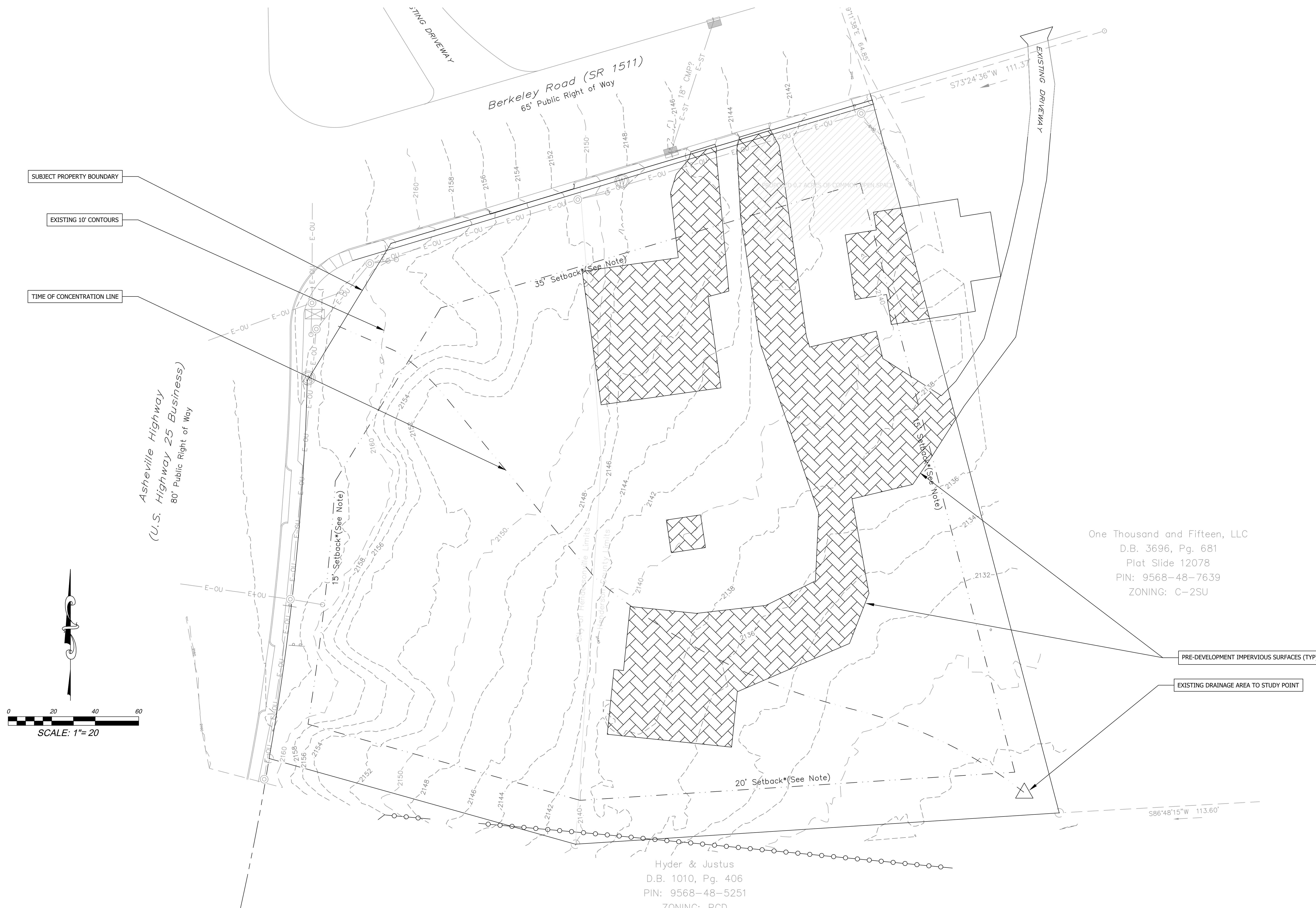
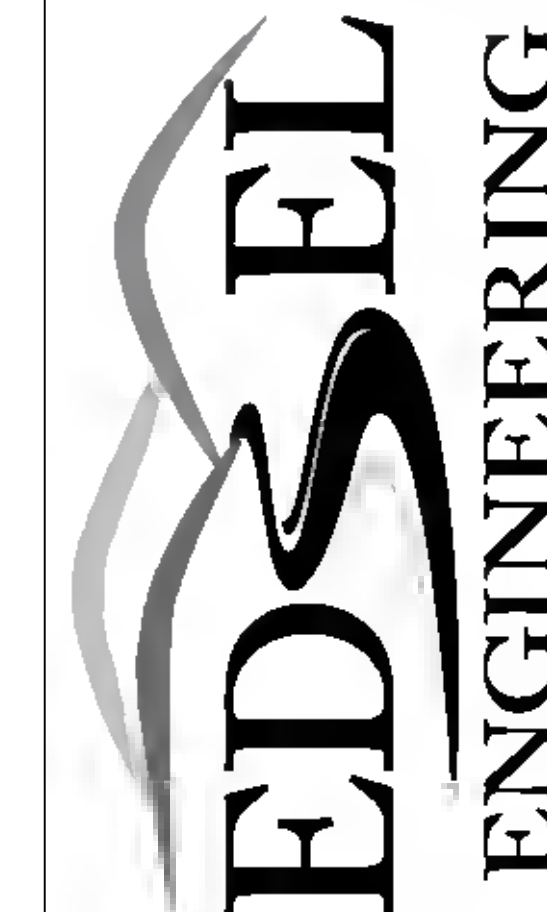
FOR OK CONSTRUCTION
TOWN OF HENDERSONVILLE, HENDERSON COUNTY

No.	REVISIONS	Date
1	SUBMIT TO CLIENT	01-08-24
2	FOR SUBMITTAL	02-14-24
3	RESUBMITTAL	03-26-24

PRELIMINARY - NOT FOR
CONSTRUCTION



EDSEL ENGINEERING, PLLC
104 HIWASSEE AVENUE
BLACK MOUNTAIN, NC 28711



One Thousand and Fifteen, LLC
D.B. 3696, Pg. 681
Plat Slide 12078
PIN: 9568-48-7639
ZONING: C-2SU

Hyder & Justus
D.B. 1010, Pg. 406
PIN: 9568-48-5251
ZONING: PCD

SUBJECT PROPERTY BOUNDARY

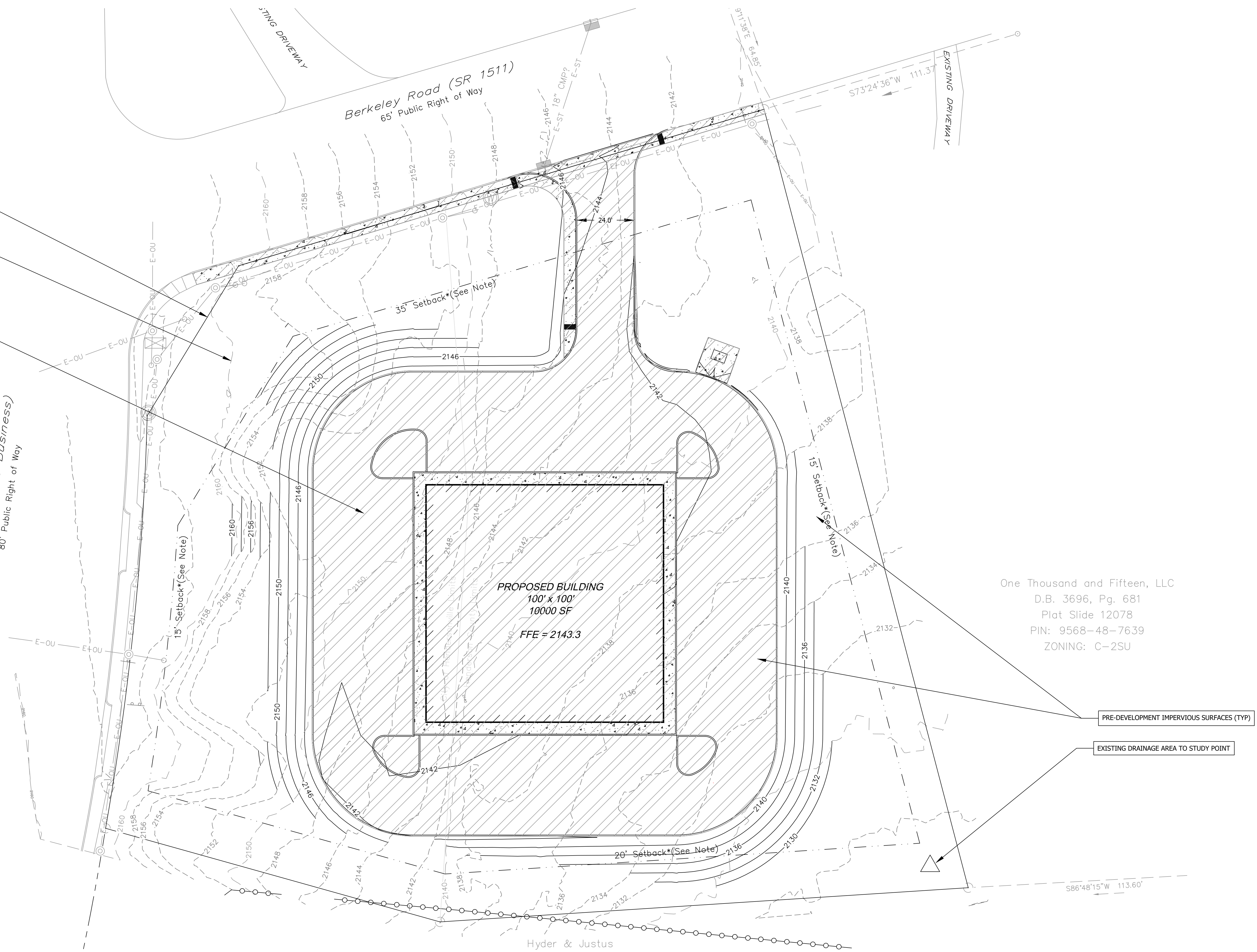
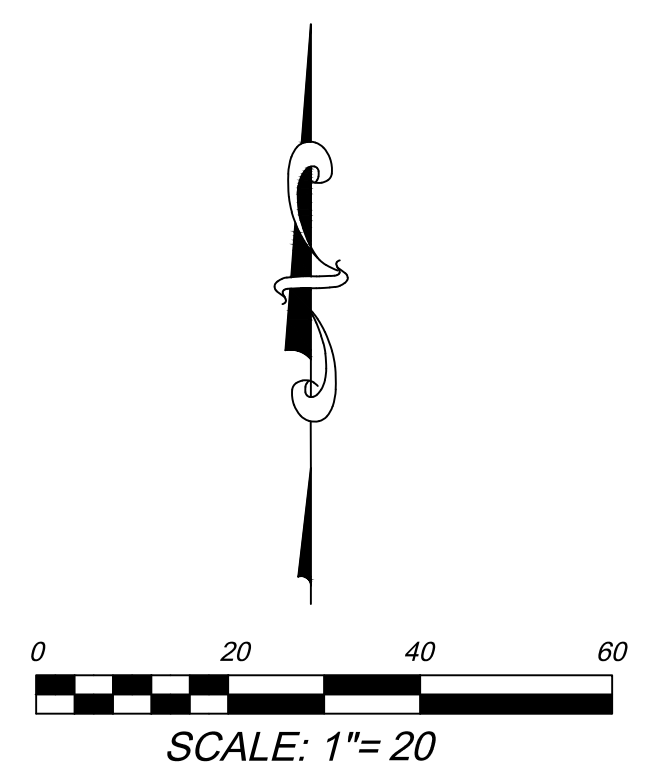
EXISTING 10' CONTOURS

TIME OF CONCENTRATION LINE

Asteville Highway
(U.S. Highway 25 Business)
80' Public Right of Way

Berkeley Road (SR 1511)
65' Public Right of Way

EXISTING DRIVEWAY



PROPOSED BUILDING
100' x 100'
10000 SF
FFE = 2143.3

One Thousand and Fifteen, LLC
D.B. 3696, Pg. 681
Plat Slide 12078
PIN: 9568-48-7639
ZONING: C-2SU

PRE-DEVELOPMENT IMPERVIOUS SURFACES (TYP)

EXISTING DRAINAGE AREA TO STUDY POINT

Hyder & Justus
D.B. 1010, Pg. 406
PIN: 9568-48-5251
ZONING: PCD

DA MAP
POST
DEV.

C-6.1

1019 BERKELEY ROAD
CIVIL ENGINEERING &
SITE PLANNING

FOR OK CONSTRUCTION
TOWN OF HENDERSONVILLE, HENDERSON COUNTY

No.	REVISIONS	Date
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PRELIMINARY - NOT FOR
CONSTRUCTION

EDSEL
ENGINEERING

EDSEL ENGINEERING, PLLC
104 HIWASSEE AVENUE
BLACK MOUNTAIN, NC 28711



INLAND BUILDINGS

2141 SECOND AVENUE S.W.
CULLMAN, ALABAMA 35055
PHONE: 800-438-1606
FAX: 800-438-1626
www.inlandbuildings.com

BUILDING DESCRIPTION

BUILDING SIZE: 100.00' x 100.00' x 20.00' **SLOPE:** 2.0:12
BUILDING SIZE: _____ **SLOPE:** _____
BUILDING SIZE: _____ **SLOPE:** _____
BUILDING SIZE: _____ **SLOPE:** _____
(BUILDING DIMENSIONS ARE NOMINAL, REFER TO PLANS)

PANEL, TRIM AND FRAMING INFORMATION

ROOF PANELS
TYPE: PBR GAUGE: 26 COLOR: Desert Sand
UL90 CERTIFICATION: No
INSULATION: 4 in. Simple Saver (By Others)
MASTIC: Wide
IF STANDING SEAM: CLIP TYPE: _____

TRIM

RAKE: COLOR: Desert Sand
EAVE: COLOR: Desert Sand
GUTTER: COLOR: Desert Sand
DOWNSPOUT: COLOR: Need Std. Color
VALLEY GUTTER: COLOR: N/A
HEADER: COLOR: Desert Sand
SILL: COLOR: Desert Sand
JAMB: COLOR: Desert Sand
BASE TRIM: COLOR: Desert Sand
CORNER: COLOR: Desert Sand
LINER: COLOR: N/A
SOFFIT: COLOR: N/A
FASCIA SILL: COLOR: N/A
CAP TRIM: COLOR: N/A

WALL PANELS

TYPE: PBR GAUGE: 26 COLOR: Gallery Blue (Kynar)
INSULATION: 3 in. Simple Saver (By Others)

LINER PANELS

TYPE: N/A GAUGE: _____ COLOR: _____
HEIGHT: _____

FASCIA PANELS

TYPE: N/A GAUGE: _____ COLOR: _____

SOFFIT PANELS

TYPE: N/A GAUGE: _____ COLOR: _____

PARTITION PANELS

TYPE: N/A COLOR: _____

PRIMARY FRAMING

(MAIN FRAMES & ENDWALL FRAMES) Red-Oxide
(WIND COLUMNS & BENTS)

SECONDARY FRAMING

(GIRTS, EAVE STRUTS, PURLINS Red-Oxide
DOOR/FRAMED OPNG. & CLIPS ETC.)

This is to certify that this structure is designed utilizing the loads indicated and applied as required by the building code shown below. The certification is limited to the structural design of the framing and covering parts manufactured by the building manufacturer and is specified in the contract. Accessory items such as doors, window, louvers, translucent panels, and ventilators are not included. Also excluded are other parts of the project not provided by the building manufacturer such as foundations, masonry walls, mechanical equipment and erection of the building. The building should be erected on a properly designed foundation in accordance with the building manufacturer's design manual, the attached drawings and good erection practices.

Design Code NCBC 18

General Loads

Roof Dead Load (D) 2.00 psf
Roof Collateral Load (C) 3.00 psf
Roof Live Load (Lr) 20.00 psf
Tributary Live Load Reduction Yes

Snow Load

Flat-Roof Snow Load (Pf) 11.5500 psf
Ground Snow Load (Pg) 15.0000 psf
Min. Snow (Low Slope) (Pmin) 15.0000 psf
Snow Exposure Factor (Ce) 1.0000
Snow Load Importance Factor (Is) 1.0000
Thermal Factor (Ct) 1.10

Wind Load

Wind Speed (V 3S) N/A
Wind Speed (Vult & Vasd) 115.0000 mph 89.07854 mph
Occupancy / Risk Category II - Normal
Wind Exposure Category B
Internal Pressure Coefficient (GCpi) +/- 0.18
Wind Enclosure Enclosed
Wind Importance Factor N/A

Seismic Load

Seismic Importance Factor (Ie) 1.00
Spectral Response Accelerations (Ss and S1) 0.2930 0.1070
Site Class D
Spectral Response Coefficients (Sds and Sd1) 0.3058 0.1692
Seismic Design Category C
Basic Seismic-Force-Resisting System(s) *

Longitudinal Lateral
Total Design Base Shear (V) 8.04 Kips 8.03 Kips
Seismic Response Coefficient(s) (Cs) 0.1020 0.1020
Response Modification Factor(s) (R) 3.0000 3.0000
Analysis Procedure: Equivalent Lateral Force

* Steel Systems not Specifically Detailed for Seismic Resistance

DN 9

Loads, as noted, are as given within order documents and are applied in general accordance with the applicable provisions of the model code and/or specification indicated. Neither the manufacturer nor the certifying engineer declares or attests that the loads as designated are proper for local provisions that may apply or for site specific parameters. The manufacturer's engineer's certification is limited to designs supplied by and/or engineer of record for the overall construction project.

DN 10

This metal building system is designed as enclosed. All exterior components (i.e. doors, windows, vents, etc.) must be designed to withstand the specified wind loading for the design of components and cladding in accordance with the specified building code. Doors are to be closed when a maximum of 50% of design wind velocity is reached.

DN 18

X-Bracing is to be installed to a taut condition with all slack removed. Do not tighten beyond this state.

DN 19

The framing as shown at LINE 1 is not designed for future expansion. Corresponding frame reactions are calculated based upon actual tributary area.

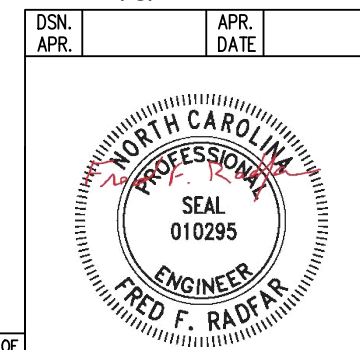
DN 28

The framed opening support members provided are designed ONLY for wind load forces exerted "normal (perpendicular) to the opening". No additional loads are included.

DRAWING INDEX			
ISSUE	PAGE	COVER	
A	C1 OF 2	COVER	Section 5, Item C.
A	C2 OF 2	NOTES PAGE	
A	F1 OF 2	ANCHOR ROD PLAN	
A	F2 OF 2	REACTIONS	
A	E1 OF 11	ROOF FRAMING	
A	E2 OF 11	ROOF SHEETING	
A	E3 OF 11	CROSS SECTION	
A	E4 OF 11	CROSS SECTION	
A	E5 OF 11	CROSS SECTION	
A	E6 OF 11	SIDEWALL ELEVATION	
A	E7 OF 11	SIDEWALL ELEVATION	
A	E8 OF 11	ENDWALL ELEVATION	
A	E9 OF 11	ENDWALL ELEVATION	
A	E10 OF 11	MEZZANINE PLAN	
A	E11 OF 11	MEZZANINE DETAILS	
A	D1 OF 4	DETAIL DRAWINGS	
A	D2 OF 4	DETAIL DRAWINGS	
A	D3 OF 4	DETAIL DRAWINGS	
A	D4 OF 4	DETAIL DRAWINGS	

IAS Certification Accredited
Certification # MB-205

2/6/24



MEZZANINE LOADS:

Dead Load = 50 psf
Live Load = 100 psf
Collateral Load = 3 psf
Total Load = 153 psf

Fred F Radfar

Fred F Radfar
Houston, Texas
2024.02.06 07:45:10
-06'00'
2023.008.20470

THESE DRAWINGS AND THE METAL BUILDING THEY REPRESENT ARE THE PRODUCT OF INLAND BUILDINGS - 2141 SECOND AVENUE S.W. CULLMAN, ALABAMA 35055 THE ENGINEER WHOSE SEAL APPEARS HEREON IS RETAINED BY INLAND BUILDINGS SYSTEMS AND IS NOT THE ENGINEER OF RECORD FOR THIS PROJECT.

Fred F. Radfar P.E.
30 Windermere Lane
Houston, TX 77063
fred@radfarpe.com

North Carolina License #010295
Exp. 12/31/2024

DRAWING STATUS

FOR APPROVAL: THESE DRAWINGS, BEING FOR APPROVAL, ARE BY DEFINITION NOT FINAL AND ARE FOR CONCEPTUAL REPRESENTATION ONLY. THEIR PURPOSE IS TO CONFIRM PROPER INTERPRETATION OF THE PROJECT DOCUMENTS. ONLY DRAWINGS ISSUED "FOR CONSTRUCTION" CAN BE CONSIDERED AS COMPLETE.
 FOR PERMIT: THESE DRAWINGS, BEING FOR PERMIT, ARE BY DEFINITION NOT FINAL IN THAT, AS A MINIMUM, PIECE MARKINGS ARE NOT IDENTIFIED. ONLY DRAWINGS ISSUED "FOR CONSTRUCTION" CAN BE CONSIDERED AS COMPLETE.
 FOR CONSTRUCTION: FINAL DRAWINGS.

REVISIONS			
NO.	DATE	DESCRIPTION	BY CK'D
A	02/02/24	FOR PERMIT	RV GP

INLAND BUILDINGS			
2141 SECOND AVENUE S.W. CULLMAN, AL. 35055 PHONE: 800.438.1606 FAX: 800.438.1626 www.inlandbuildings.com		OWNER OR PROJECT: KEVIN FAKHOURY JOB SITE LOCATION: 1019 BERKLEY ROAD HENDERSONVILLE, NC 28792-2486 CUSTOMER: OK CONSTRUCTION CO ADDRESS: 2708 GREEN RIVER R ZIRCONIA, NC 28790	
DESCRIPTION	COVER PAGE	SIZE	REFER TO C1
CAD BY	ENGR BY	DATE	SCALE
RV	FR	1/25/24	N.T.S.
JOB NO.	PH BLDG. DESC.	SHEET NO.	ISSUE
194952		C1 of 2	A

GENERAL NOTES

- 1. The seal that appears on these drawings is the seal of the engineer for this building manufacturer who is NOT the engineer of record.
2. This building manufacturer is not responsible for errors, omissions or damages incurred in the erection of building components, nor for the inspection of erected components to ascertain same.
3. Temporary bracing must be installed by erector to provide adequate stability during erection. Bracing indicated on the erection drawings is critical to the stability of the completed structure and shall not be removed.
4. Wall and liner panels are an integral part of the structural system. Unauthorized removal of panels is prohibited.
5. "Oil-canning", a perceived waviness inherent to light gauge metal, may exist. This condition does not affect the finish or structural integrity of the panel, and is therefore not a cause for rejection.
6. Trim part marks are as shown: ex. FL-32-20'-2"
trim length in feet and inches.
trim identification number

APPROVAL NOTES

The following conditions apply in the event that these drawings are used as approval drawings:

- A) It is imperative that any changes to these drawings:
1) Be made in contrasting ink.
2) Have all instances of change clearly indicated.
3) Be legible and unambiguous.
B) Dated signature is required on all pages.
C) Manufacturer reserves the right to re-submit drawings with extensive or complex changes required to avoid misfabrications. This may impact the delivery schedule.
D) Approval of these drawings indicates conclusively that the manufacturer has correctly interpreted the contract requirements, and further constitutes agreement that the building as drawn, or as drawn with indicated changes represents the total of the materials to be supplied by manufacturer.
E) Any changes noted on the drawings not in conformance with the terms and requirements of the contract between manufacturer and its customer are not binding on manufacturer unless subsequently specifically acknowledged and agreed to in writing by change order or separate documentation.
Manufacturer recognizes that rubber stamps are routinely used in indicating approval, disapproval, rejection, or mere review of the drawings submitted. However, manufacturer does not accept changes or additions to contractual terms and conditions that may appear with the use of a stamp or similar indication of approval, disapproval, etc. Such language applied to the manufacturer's drawings by the customer, architect, engineer, or any other party will be considered as unacceptable alterations to these drawing notes, and will not alter the contractual rights and obligations existing between manufacturer and its customer.

SAFETY COMMITMENT

The building manufacturer has a commitment to manufacture quality building components that can be safely erected, however, the safety commitment and job site practices of the erector are beyond the control of the building manufacturer. It is strongly recommended that safe working conditions and accident prevention practices be the top priority of any job site. Local, state and federal safety and health standards, whether standard statutory or customary, should always be followed to help insure worker safety. Make certain all employees know the safest and most productive way of erecting a building. Emergency procedures should be known to all employees. Daily meetings highlighting safetyprocedures are also recommended. The use of hard hats, rubber sole shoes for roof work, proper equipment for handling material, and safety nets where applicable, are recommended.

BOLT TIGHTENING

The proper tightening and inspection of all fasteners is the responsibility of the erector. All high strength (A325, A490) bolts and nuts must be tightened by the "turn-of the nut" method unless otherwise specified by the end customer in the contract documents. Inspection of high strength bolt and nut installation by other than the erector must also be specified in the contract documents and the erector is responsible for ensuring that the installation and inspection procedures are compatible prior to the start of erection. (MBMA 2006 iv 6.9)

BUILDER/CONTRACTOR RESPONSIBILITIES

It is the responsibility of the builder/contractor to insure that all project plans and specifications comply with the applicable requirements of any governing building authorities. The supplying of sealed engineering data and drawings for the metal building system does not imply or constitute an agreement that the building manufacturer or its design engineer is acting as the engineer of record or design professional for a construction project. The contractor must secure all required approval and permits from the appropriate agency as required. Approval of the manufacturer's drawings and calculations indicate that the building manufacturer correctly interpreted and applied the requirements of the contract drawings and specifications. (sect. 4.4.1 AISC code of standard practices, 13th ed.) Where discrepancies exist between the manufacturer's structural steel plans and the plans for other trades, the structural steel plans shall govern. (sect. 3.3 AISC code of standard practice 13th ed.) Design considerations of any material in the structure which are not furnished by the building manufacturer are the responsibility of the contractors and engineers other than the building manufacturer's engineer unless specifically indicated. The contractor is responsible for all erection of steel and associated work in compliance with the building manufacturer's "for erection installation" drawings. Products shipped to builder or his customer shall be inspected by builder immediately upon arrival. Claims for shortages or defective material, if not packaged, must be made to the manufacturer in writing within five (5) days after receipt of the shipment. However, if a defect is of such nature that reasonable visual inspection would fail to disclose it, then the claim must be made within five (5) days after the builder learns of the defect. The manufacturer will not be liable for any defect unless claim is made one (1) year after date of the original shipment by the manufacturer to builder or his customer. The manufacturer will be given a reasonable opportunity to inspect defective materials upon receipt of claim by builder. If a defect is of such nature that it can be remedied by a field operation at the job site without the necessity of returning the material to the manufacturer, then upon written authorization of the manufacturer, the builder may repair or cause the material to be repaired and the manufacturer will reimburse the builder for the cost of the repair in accordance with the written authorization. Unless noted otherwise, all bracing as shown and provided by the manufacturer for this building is required and shall be installed by the erector as a permanent part of the structure. Temporary supports, such as temporary guys, braces, false work, cribbing or other elements required for the erection operation will be determined and furnished and installed by the erector. These temporary supports will secure the steel framing, or any partly assembled steel framing, against loads comparable in intensity to those for which the structure was designed, resulting from wind, seismic forces and erection operations, but not the loads resulting from the performance of work by or the acts of others, nor such unpredictable loads as those due to tornado, explosion or collision. (sect. 7.10.3 AISC code of standard practice, 13th ed.) Design of gutter and downspout is a function of the rainfall intensity and area to be drained. Design parameters utilized are in accordance with the 2006 low rise building systems manual and/or the 12th edition of the architectural graphic standards, as applicable. Proper owner maintenance dictates that the drainage system be kept free of debris and/or ice at all times to ensure proper function of the gutter and downspout. In those cases where the owner/tenant of a property is unwilling or unable to provide proper maintenance, elimination of gutter should be considered as an alternative.

PRODUCT CERTIFICATION

The building manufacturer is member of the Metal Building Manufacturers Associations. The building manufacturer's fabrication and products are covered by one or more of the following certification:
1. Approved fabricator of prefabricated buildings and components. Reference IAS(MB-205)
2. City of Houston approved fabricator (registration no. 964)

International Building Code (IBC)

Material properties of steel plate used in the fabrication of primary rigid frames, and primary structural exclusive of cold-formed sections, conform to ASTM-A529 or A-572. Flanges with thickness of 1" or less and width of 12" or less conformed to A-529 with minimum yield point of 55,000 PSI. Flanges greater than 3/8" in thickness and 12" in width conformed to A-572 with min. yield point of 50,000 PSI. Flanges with a thickness greater than 1" thick and a width less than 12" conform to A-572 with a min. yield point of 50,000 PSI. Material properties of pipe sections conform to ASTM-A53 type E, Grade B with a min. yield point 35,000. Material properties of hot rolled steel members conform to the requirements of ASTM-A992 or A-572 with a min. yield point of 50,000 PSI. Material properties of cold formed light gauge steel members conform to ASTM-A1011 Grade 55 with a min. yield point of 55,000 PSI.

Materials properties of roof/wall sheathing, base material conform to ASTM-A792 Grades 50 or 80 with min. yield point of 50,000 PSI on 80,000 PSI respectively, as required by design Coating & base material is 55% aluminum-zinc alloy in accordance with A255 for unpainted or A250 for painted specification. Cable utilized for bracing conforms to ASTM A475. Cable bracing is to be installed to a tout condition with all slack removed. Rod & angle utilized for bracing members conform to ASTM A36.

Structural joints with ASTM A-325 high strength bolts, where indicated on the drawings, shall be assembled and the fasteners tightened in accordance with the bolt tightening procedure per MBMA '96 IV 6.9. All joints will be assembled without washers unless otherwise noted. All steel members except bolts, fasteners & cable shall receive one shop coat of iron oxide corrosion inhibitive primer, meeting the performance requirements pf SSPC paint Specification #15.

Shop & field inspections and associated fees are the responsibility of the contractor, unless stipulated otherwise in the contract.

Packing List: 12345

Ship To: LUIS MARTINEZ
5487 FM 744
PAWNDE, TX, 71576

Truck ID: EXPRESS

Table with columns: Carton ID, Piece Mark, Description, Dims/Qty, Length, Unit Weight, Gross Weight, Order# - Line#, CustPO#

PACKING LIST EXAMPLE

COLD FORM AND PANEL LABEL

Table with columns: Customer, PO Number, Carton ID, Job Number, PART NAME, DESCRIPTION, LENGTH, QTY

TRIM BUNDLE AND WAREHOUSE LABEL



BUNDLE LABEL EXAMPLES

Fred F. Radfar P.E.
30 Windermere Lane
Houston, TX 77063
fred@radfarpe.com

North Carolina License #010295
Exp. 12/31/2024

DRAWING STATUS

Table with columns: FOR APPROVAL, FOR PERMIT, FOR CONSTRUCTION, FINAL DRAWINGS

Table with columns: NO., DATE, DESCRIPTION, BY, CK'D

Table with columns: OWNER OR PROJECT, JOBSITE LOCATION, CAD BY, ENGR BY, DATE, SCALE, JOB NO., PH, BLDG. DESC., SHEET NO., ISSUE

STRAIGHT BILL OF LADING - SHORT FORM - ORIGINAL - NOT NEGOTIABLE

Table with columns: DATE, CARRIER, BILL OF LADING #, SHIPPER AND ORIGIN, CONSIGNEE AND DESTINATION

COD AMOUNT: \$0.00

FOR FREIGHT COLLECT SHIPMENTS: Subject to section 7 of conditions of applicable Bill of Lading, if this shipment is to be delivered to the consignee without recourse on the consignor, the consignor shall sign the following statement:

Table with columns: # PACKAGES, KIND OF PACKAGES, DESCRIPTION OF ARTICLES, SPECIAL MARKS, AND EXCEPTIONS, WEIGHT, CLASS OR RATE

Table with columns: Carrier, Print Name, Tractor #, TOTAL WEIGHT (LBS)

RECEIVED, subject to the classifications and the tariffs in effect on the date of issue of the Bill of Lading, the property described above is in apparent good order, except as noted (contents and condition of contents in packages unknown), marked, consigned and destined as indicated above, which said carrier (the word carrier being understood throughout this contract as meaning any person or corporation in possession of the property under the contract) agrees to carry to its usual place of delivery as said destination, if on its route, otherwise to deliver to another carrier on the route to said destination. It is mutually agreed as to each carrier of all or any part of said property over all of any portion of said route to destination and as to each party at any time interested in all or any said property that every service to be performed hereunder shall be subject to all the terms and conditions of the Uniform Straight Bill of Lading set forth: (1) in the National Motor Freight Classification in effect on the date hereof, if this is a rail or a rail-water shipment or (2) in the applicable motor carrier classification or tariff if this is a motor carrier shipment.

Any alteration, addition, or erasure in the bill of lading shall be made with the special notation hereon of the party issuing this Bill of Lading. shall be without effect in the absence of such notation, and this Bill of Lading shall be enforceable according to its original tenor.

THIS MATERIAL MUST BE DELIVERED BY: Receiver Signature: Date Picked Up: Time:

Table with columns: The property described above is in apparent good order, except as noted (contents and condition in packages unknown), marked, labeled, and is in proper condition for transportation according to the applicable regulations of the Department of Transportation. Consignee's Signature: Date:

BILL OF LADING EXAMPLE

TRIM PIECE LABEL

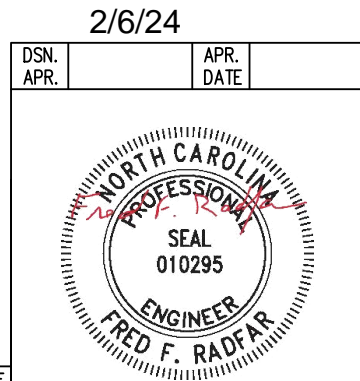
Table with columns: Piece Mark, Job Number, Length, Line Number

BUILT UP, STRUCTURAL AND FAB. COLD FORM LABEL

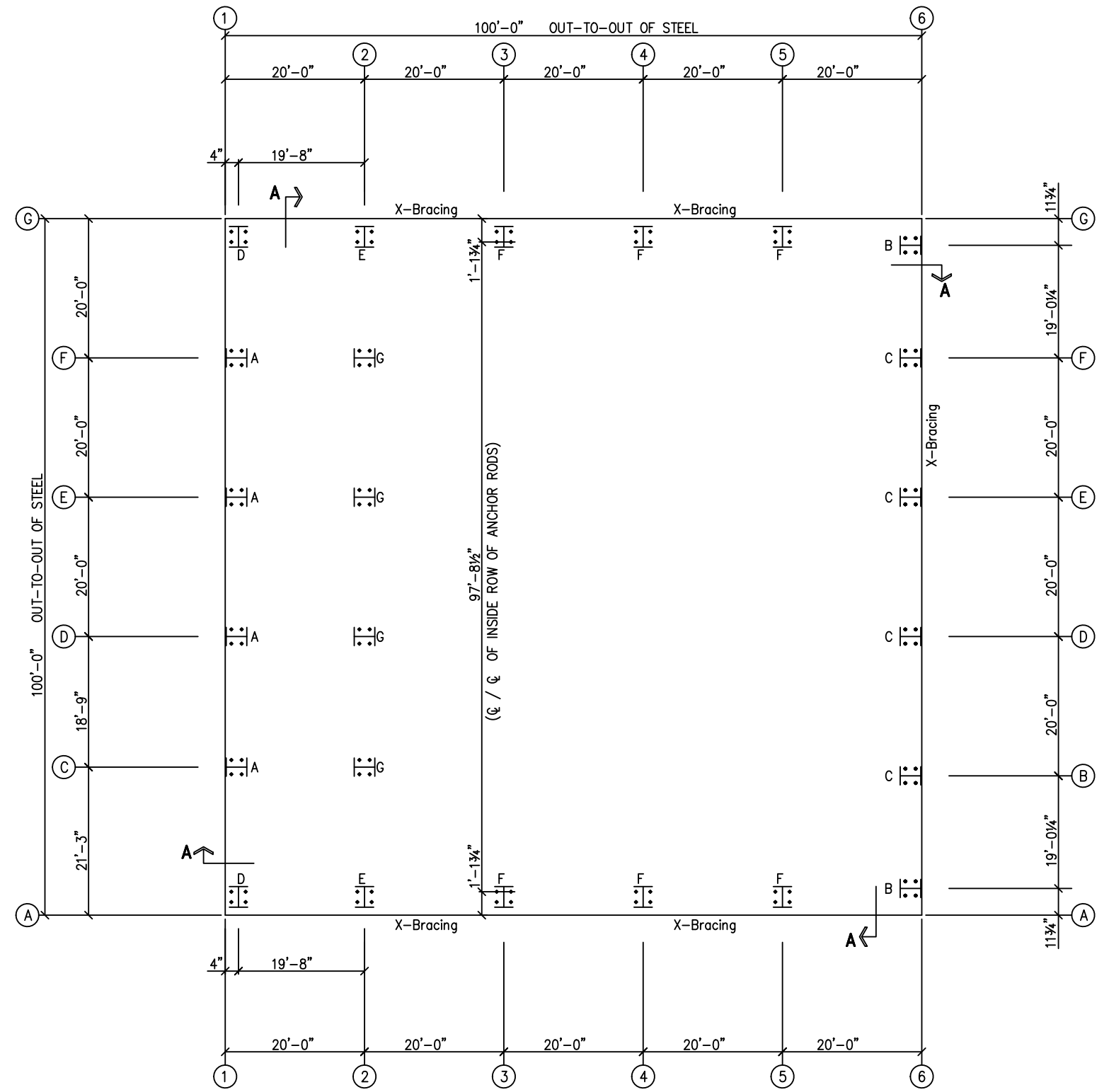
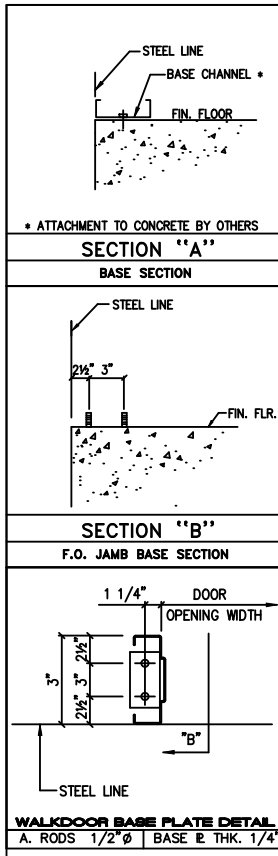


PIECE LABEL EXAMPLES

THESE DRAWINGS AND THE METAL BUILDING THEY REPRESENT ARE THE PRODUCT OF INLAND BUILDINGS - 2141 SECOND AVENUE S.W. CULLMAN, ALABAMA 35055 THE ENGINEER WHOSE SEAL APPEARS HEREON IS RETAINED BY INLAND BUILDINGS SYSTEMS AND IS NOT THE ENGINEER OF RECORD FOR THIS PROJECT.

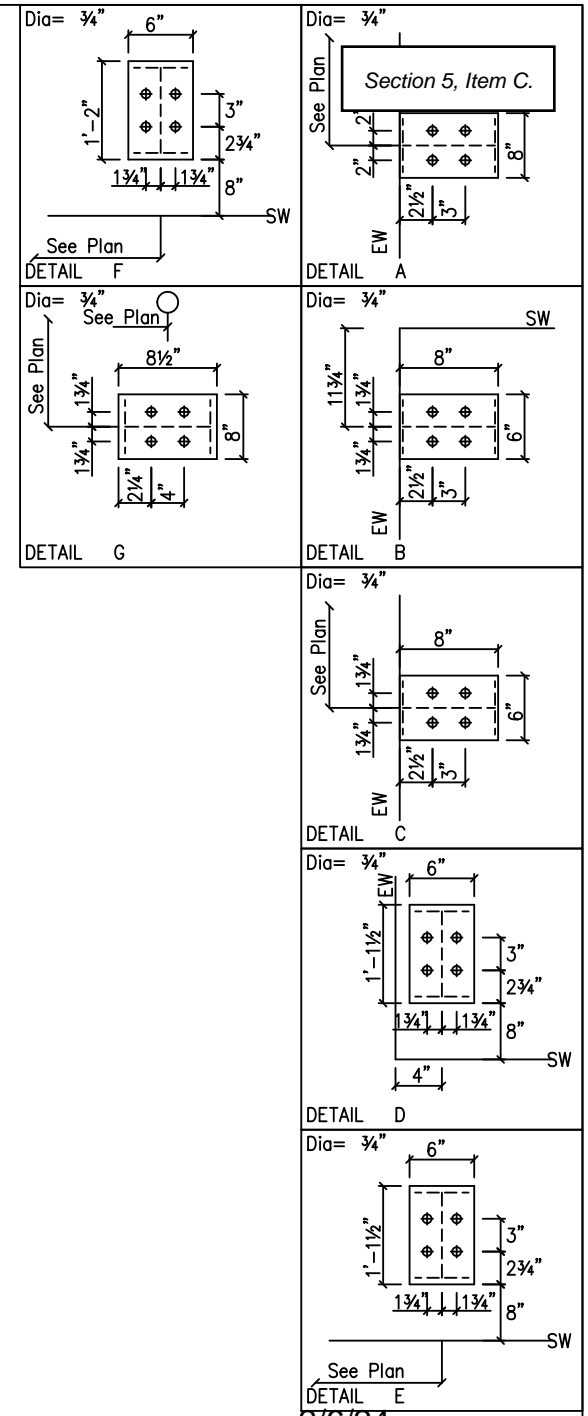


Section 5, Item C.



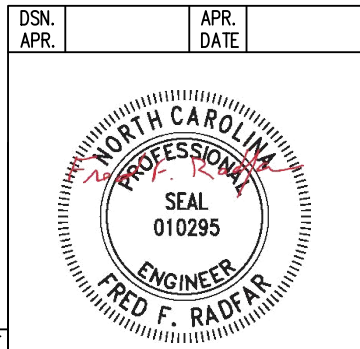
ANCHOR ROD PLAN

NOTE: All Base Plates @ 100'-0" (FINISH FLOOR)(UNLESS NOTED)



Fred F. Radfar P.E.
30 Windermere Lane
Houston, TX 77063
fred@radfarpe.com

North Carolina License #010295
Exp. 12/31/2024



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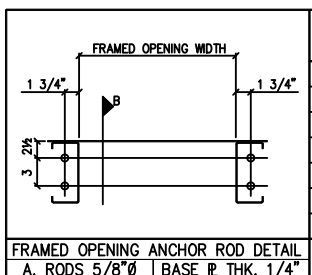
ANCHOR RODS HAVE BEEN DESIGNED FOR SHEAR AND TENSION LOADS ONLY, PER APPENDIX D OF ACI 318-14.

DESIGN OF SHEAR ANGLES, TENSION PLATES, HAIRPINS, AND ANY OTHER EMBEDDED MATERIAL IN THE CONCRETE SHALL BE DETERMINED BY THE FOUNDATION DESIGN ENGINEER AND PROVIDED BY OTHERS.

ANCHOR ROD PROJECTION IS FROM BOTTOM OF BASE PLATE, UNLESS GROUT IS REQUIRED.

DIA.	PROJ.
1/2"	1 1/2"
5/8"	2"
3/4"	2 1/2"
7/8"	3 1/2"
1"	3 1/2"
1 1/4"	3 1/2"

ANCHOR RODS (BY OTHERS)



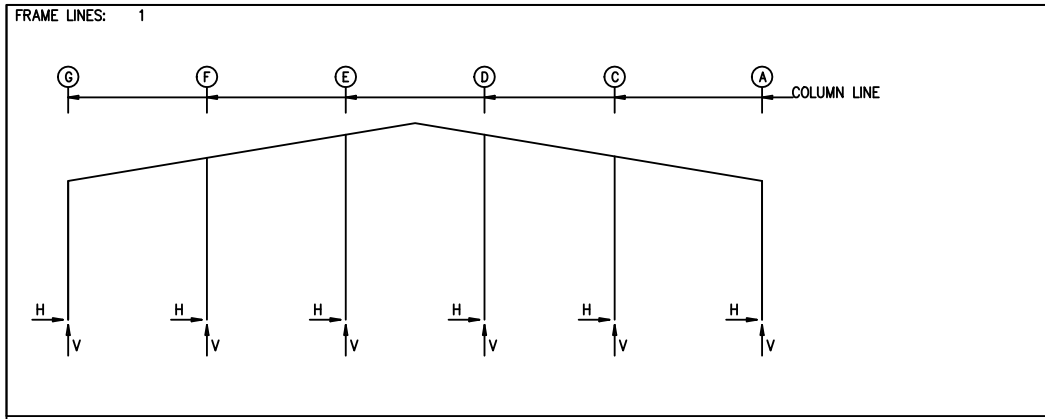
F.O. SIZE	QTY.	QTY. @ DATE LOCATE	QTY. @ DATE LOCATE	TYPE/REMARKS
4'-0" X 4'-0"	16	X	X	FOR WINDOW (BY OTHERS)
6'-4" X 7'-2"	1	X	X	FOR WALKDOOR (BY OTHERS)

FRAMED OPENING SCHEDULE

DRAWING STATUS	
<input type="checkbox"/>	FOR APPROVAL: THESE DRAWINGS, BEING FOR APPROVAL, ARE BY DEFINITION NOT FINAL AND ARE FOR CONCEPTUAL REPRESENTATION ONLY. THEIR PURPOSE IS TO CONFIRM PROPER INTERPRETATION OF THE PROJECT DOCUMENTS. ONLY DRAWINGS ISSUED "FOR CONSTRUCTION" CAN BE CONSIDERED AS COMPLETE.
<input checked="" type="checkbox"/>	FOR PERMIT: THESE DRAWINGS, BEING FOR PERMIT, ARE BY DEFINITION NOT FINAL IN THAT, AS A MINIMUM, PIECE MARKINGS ARE NOT IDENTIFIED. ONLY DRAWINGS ISSUED "FOR CONSTRUCTION" CAN BE CONSIDERED AS COMPLETE.
<input type="checkbox"/>	FOR CONSTRUCTION: FINAL DRAWINGS.

REVISIONS			
NO.	DATE	DESCRIPTION	BY
A	02/02/24	FOR PERMIT	RV

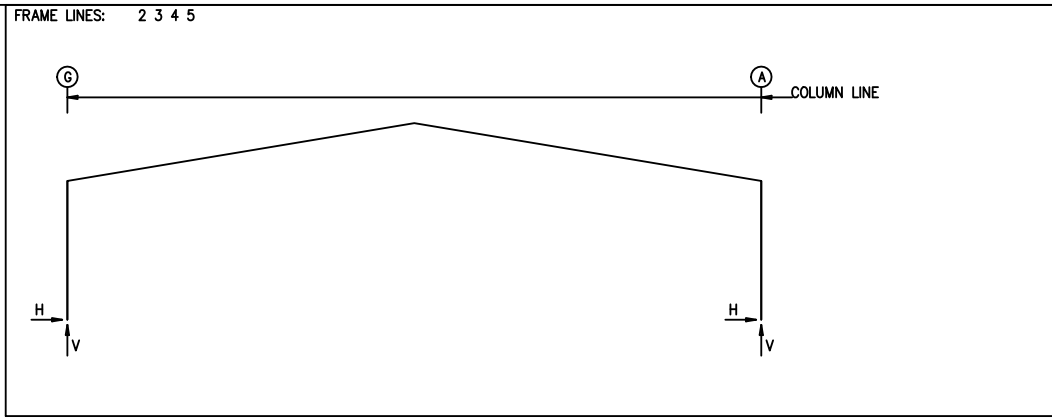
OWNER OR PROJECT		CUSTOMER	
KEVIN FAKHOURY	OK CONSTRUCTION C	2708 GREEN RIVER R	98
1019 BERKLEY ROAD	ZIRCONIA, NC 28790		



RIGID FRAME: BASIC COLUMN REACTIONS (k)

Frame Line	Column Line	Dead		Collateral		Live		Floor		Snow		Wind_Left1	
		Horz	Vert	Horz	Vert	Horz	Vert	Horz	Vert	Horz	Vert	Horz	Vert
1	G	0.1	6.8	0.0	0.7	-0.1	1.3	0.2	11.2	-0.1	1.3	-1.6	-3.6
1	F	-0.1	7.2	0.0	0.7	0.1	1.4	-0.2	11.8	0.1	1.3	-1.9	-1.0
1	A	0.0	11.5	0.0	1.2	0.0	2.4	0.0	20.0	0.0	2.3	-0.1	-4.0
1	E	0.0	11.7	0.0	1.2	0.0	2.4	0.0	20.3	0.0	2.3	-0.1	-4.9
1	D	0.0	11.3	0.0	1.2	0.0	2.2	0.0	19.6	0.0	2.2	-0.1	-2.3
1	C	0.0	11.6	0.0	1.2	0.0	2.4	0.0	20.0	0.0	2.3	-0.1	-4.4

Additional tables for Wind_Right, Wind_Left2, Wind_Right2, Wind_Press, Wind_Suct, Wind_Long1, Wind_Long2, Seismic_Left, Seismic_Right, Seismic_Long, MIN_SNOW, FIPAT_LL, F1UNB_SL, and F2UNB_SL reactions are provided in the same format.



RIGID FRAME: MAXIMUM REACTIONS, ANCHOR RODS, & BASE PLATES

Frm Line	Col Line	Column_Reactions(k)			Hmin	V	Bolt(in)	Dia	Base_Plate(in)			Grout	
		Load Id	Hmax	Vmax					Width	Length	Thick		
1	G	8	2.0	9.5	10	-1.9	2.1	4	0.750	6.000	13.50	0.500	0.0
1	A	11	1.9	2.5	7	-2.0	9.8	4	0.750	6.000	13.50	0.500	0.0
1	F	15	2.5	3.4	16	-2.3	3.4	4	0.750	8.000	8.500	0.500	0.0
1	E	17	2.9	4.1	16	-2.6	4.3	4	0.750	8.000	8.500	0.500	0.0
1	D	18	2.8	4.1	19	-2.6	4.3	4	0.750	8.000	8.500	0.500	0.0
1	C	20	2.5	3.4	19	-2.3	3.4	4	0.750	8.000	8.500	0.500	0.0

Additional tables for Rigid Frame 2 and Rigid Frame 3* are provided in the same format.

ENDWALL COLUMN: BASIC COLUMN REACTIONS (k)

Frm Line	Col Line	Dead	Collat	Live	Snow	Wind_Left1		Wind_Right1		Wind_Left2		Wind_Right2	
						Horz	Vert	Horz	Vert	Horz	Vert	Horz	Vert
6	A	0.4	0.3	1.7	1.0	0.0	-1.9	0.0	-1.6	0.0	-1.1	0.0	0.0
6	B	0.9	0.7	4.5	2.6	0.0	-5.8	0.0	-3.6	0.0	-4.1	0.0	0.0
6	D	0.9	0.6	4.0	2.3	0.0	-4.7	0.0	-2.6	0.0	-3.6	0.0	-1.4
6	E	0.9	0.6	4.0	2.3	-2.3	-6.0	0.0	-1.7	-2.3	-4.9	0.0	-0.5
6	F	0.9	0.7	4.5	2.6	0.0	-0.2	2.3	-8.8	0.0	1.6	2.3	-1.1
6	G	0.4	0.3	1.7	1.0	0.0	-1.6	0.0	-1.9	0.0	-0.8	0.0	-1.7

Additional tables for Wind_Suct, Wind_Long1, Wind_Long2, Seis_Left, Seis_Right, Seis_Long, and MIN_SNOW reactions are provided in the same format.

NOTES FOR REACTIONS

Building reactions are based on the following building data:

- Width (ft) = 100.0
- Length (ft) = 100.0
- Eave Height (ft) = 20.0/ 20.0
- Roof Slope (rise/12) = 2.0/ 2.0
- Dead Load (psf) = 2.0
- Collateral Load (psf) = 3.0
- Roof Live Load (psf) = 20.0
- Frame Live Load (psf) = 12.0
- Snow Load (psf) = 11.6
- Wind Speed (mph) = 115.0
- Wind Code = NCBC 18 (IBC 15)
- Exposure = B
- Closure = Enclosed
- Importance Wind = N/A
- Importance Seismic = 1.00
- Seismic Zone = C
- Seismic Coeff (Fa/Ss) = 0.46

ID Description

- 1 Dead+Collateral+Live
- 2 Dead+Collateral+Floor_Live
- 3 0.6Dead+0.6Wind_Left1
- 4 0.6Dead+0.6Wind_Right1
- 5 0.6Dead+0.6Wind_Long1L
- 6 0.6Dead+0.6Wind_Long2L
- 7 1.04Dead+1.04Collateral+0.7Seismic_Left
- 8 1.04Dead+1.04Collateral+0.7Seismic_Right
- 9 1.03Dead+1.03Collateral+0.75Live+0.53Seismic_Left
- 10 0.56Dead+0.7Seismic_Left
- 11 0.56Dead+0.7Seismic_Right
- 12 Dead+Collateral+MIN_SNOW
- 13 Dead+Collateral+0.75Floor_Live+0.75MIN_SNOW
- 14 1.03Dead+1.03Collateral+0.52Seismic_Right+0.75F2UNB_SL_L
- 15 0.6Dead+0.6Wind_Suction+0.6Wind_Long1L
- 16 0.6Dead+0.6Wind_Pressure+0.6Wind_Long1L
- 17 0.6Dead+0.6Wind_Left1+0.6Wind_Suction
- 18 0.6Dead+0.6Wind_Right1+0.6Wind_Suction
- 19 0.6Dead+0.6Wind_Pressure+0.6Wind_Long2L
- 20 0.6Dead+0.6Wind_Suction+0.6Wind_Long2L

BUILDING BRACING REACTIONS

Wall Loc	Line	Col Line	± Reactions(k)				Panel Shear (lb/ft)	Note
			Wind Horz	Wind Vert	Seismic Horz	Seismic Vert		
L_EW	1						(h)	
F_SW	A	2,3	4.8	4.4	2.0	1.8		
		4,5	4.8	4.4	2.0	1.8		
R_EW	6	E,F	2.3	2.9	1.0	1.3		
B_SW	G	5,4	4.8	4.4	2.0	1.8		
		3,2	4.8	4.4	2.0	1.8		

(h) Rigid frame at endwall

Reactions for seismic represent shear force, Eh

Fred F. Radfar P.E.
30 Windermere Lane
Houston, TX 77063
fred@radfar.com

North Carolina License #010295
Exp. 12/31/2024

DRAWING STATUS

NO.	DATE	DESCRIPTION	BY	CHK'D
A	02/02/24	FOR PERMIT	RV	GP

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FOR CONSTRUCTION: FINAL DRAWINGS.

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2/6/24

DSN.	APR.
APR.	DATE

PROFESSIONAL SEAL
010295
FRED F. RADFAR
ENGINEER

INLAND BUILDINGS
2141 SECOND AVENUE S.W. CULLMAN, AL. 35055
PHONE: 800.438.1606
FAX: 800.438.1626
www.inlandbuildings.com

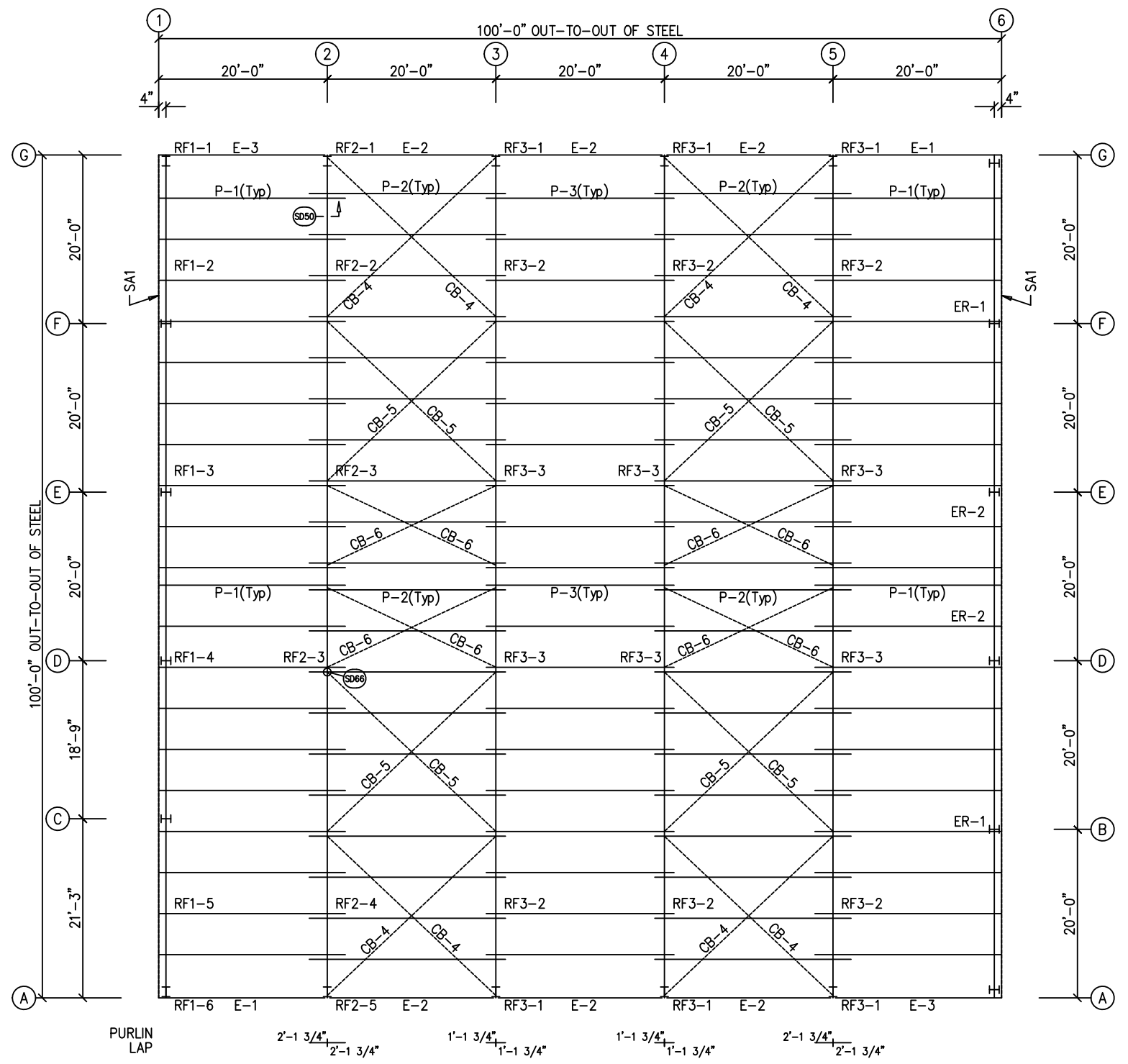
OWNER OR PROJECT	DESCRIPTION	BY	CHK'D
KEVIN FAKHOURY <td></td> <td></td> <td></td>			

DESCRIPTION	SIZE	REFER TO
REACTIONS		C1

OWNER OR PROJECT	LOCATION	CUSTOMER	ADDRESS
KEVIN FAKHOURY	1019 BERKLEY ROAD	OK CONSTRUCTION CO	2708 GREEN RIVER R

CAD BY	ENGR BY	DATE	SCALE	JOB NO.	PH	BLDG. DESC.	SHEET NO.	ISSUE
RV	FR	1/25/24	N.T.S.	194952			F2 of 2	A

MEMBER TABLE	
ROOF PLAN	
Section 5, Item C.	
P-3	8X25Z16
E-1	8.25E14
E-2	8.25E14
E-3	8.25E14
CB-4	CB0250
CB-5	CB0250
CB-6	CB0250



ROOF FRAMING PLAN

2/6/24

DSN. APR.	APR. DATE
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GENERAL NOTES:
 ZEES HAVE UNEQUAL FLANGES FOR EASIER INSTALLATION. THE LARGER FLANGE IS 1/4" WIDER THAN THE SMALL FLANGE. LAP THE SMALL FLANGE INSIDE THE LARGE FLANGE.

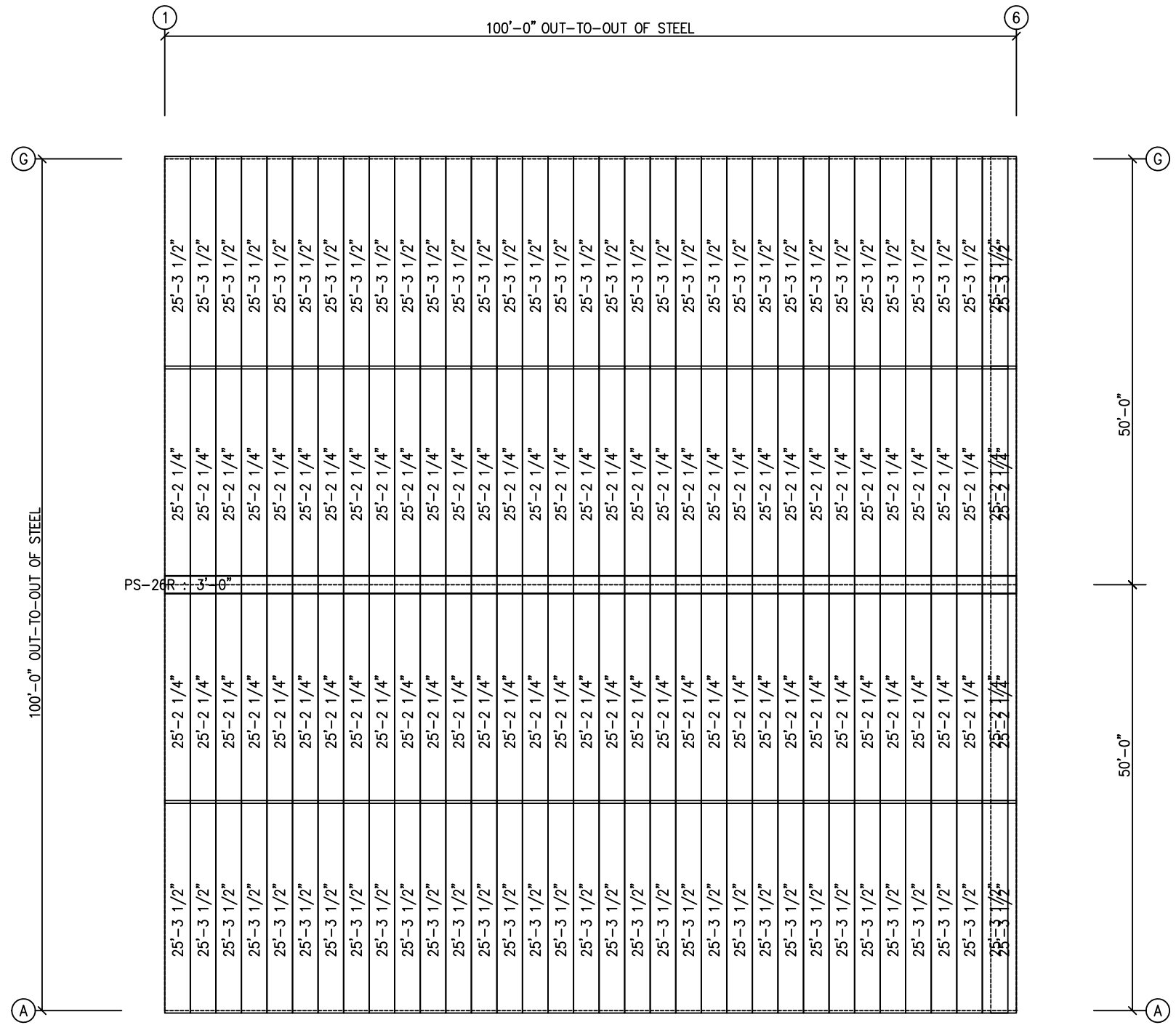
Fred F. Radfar P.E.
 30 Windermere Lane
 Houston, TX 77063
 fred@radfarpe.com

 North Carolina License #010295
 Exp. 12/31/2024

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<input type="checkbox"/>	FOR CONSTRUCTION:	FINAL DRAWINGS.	

REVISIONS			
NO.	DATE	DESCRIPTION	BY
A	02/02/24	FOR PERMIT	RV

INLAND BUILDINGS		2141 SECOND AVENUE S.W. CULLMAN, AL. 35055	
PHONE: 800.438.1606		FAX: 800.438.1626	
www.inlandbuildings.com			
DESCRIPTION	ROOF FRAMING	SIZE	REFER TO C1
OWNER OR PROJECT	KEVIN FAKHOURY	CUSTOMER	OK CONSTRUCTION
JOB SITE LOCATION	1019 BERKLEY ROAD	ADDRESS	2708 GREEN RIVER
	HENDERSONVILLE, NC 28792-2486		ZIRCONIA, NC 28791
CAD BY	ENGR BY	DATE	SCALE
RV	FR	1/25/24	N.T.S.
JOB NO.	194952	PH	BLDG. DESC.
SHEET NO.	E1 of 11	ISSUE	A



ROOF SHEETING PLAN
 PANELS: 26 Ga. PBR - Desert Sand

2/6/24

DSN. APR.		APR. DATE	
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REVISIONS			
NO.	DATE	DESCRIPTION	BY CK'D
A	02/02/24	FOR PERMIT	RV GP

INLAND BUILDINGS		2141 SECOND AVENUE S.W. CULLMAN, AL. 35055	
PHONE: 800.438.1606		FAX: 800.438.1626	
www.inlandbuildings.com			
DESCRIPTION	ROOF SHEETING	SIZE	REFER TO C1
OWNER OR PROJECT	KEVIN FAKHOURY	CUSTOMER	OK CONSTRUCTION
JOB SITE LOCATION	1019 BERKLEY ROAD	ADDRESS	2708 GREEN RIVER
	HENDERSONVILLE, NC 28792-2486		ZIRCONIA, NC 28799
CAD BY	ENGR BY	DATE	SCALE
RV	FR	1/25/24	N.T.S.
JOB NO.	194952	PH	BLDG. DESC.
SHEET NO.	E2 of 11	ISSUE	A

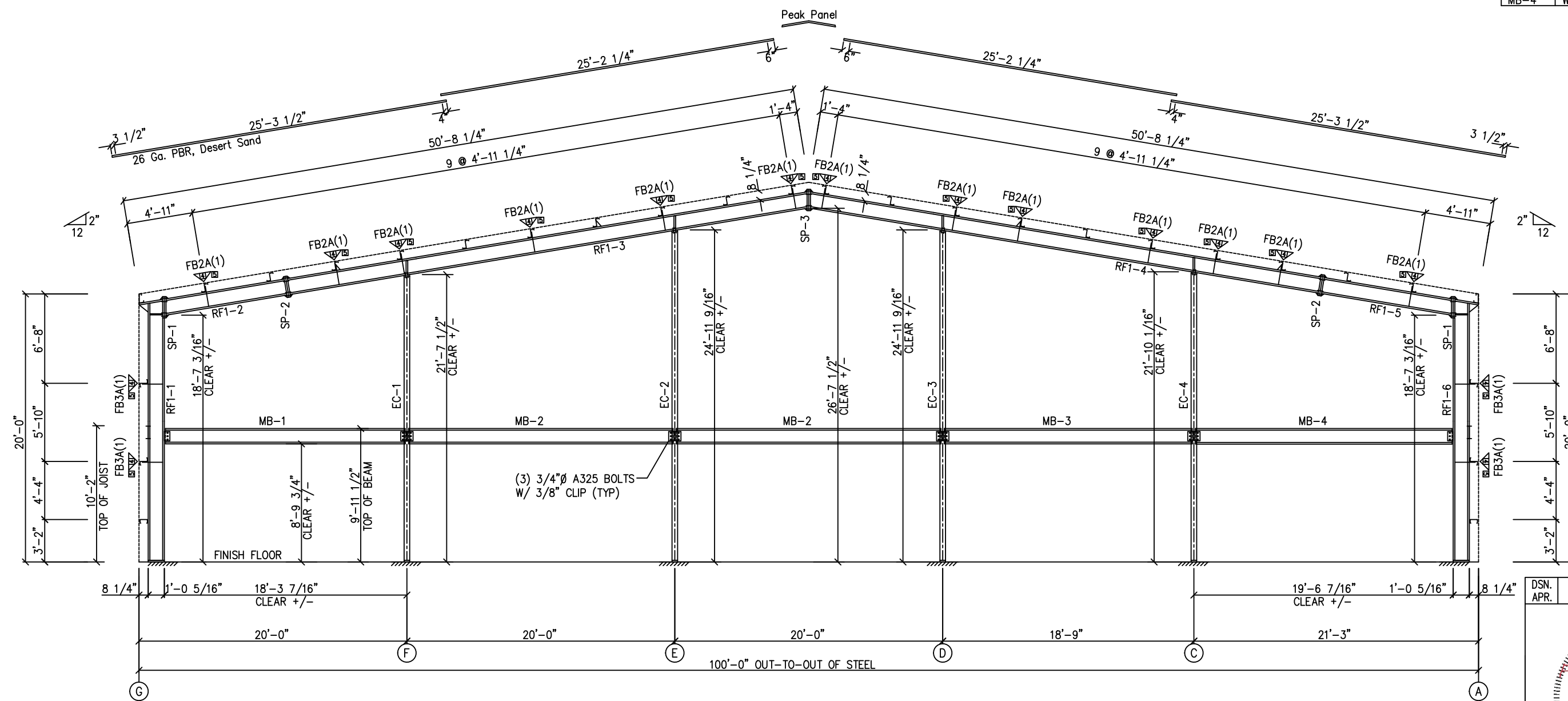
SPLICE PLATE & BOLT TABLE										CAP PLATE BOLTS				
Mark	Qty Top	Qty Bot	Int	Type	Dia	Length	Width	Thick	Length	Mark	Qty	Type	Dia	Length
SP-1	4	4	0	A325	3/4"	2 3/4"	6"	5/8"	1'-6 3/8"	EC-1	4	A325	5/8"	1 1/2"
SP-2	4	4	0	A325	5/8"	1 3/4"	6"	3/8"	1'-6 3/16"	EC-2	4	A325	5/8"	1 1/2"
SP-3	4	4	0	A325	5/8"	1 3/4"	6"	3/8"	1'-6 3/8"	EC-3	4	A325	5/8"	1 1/2"
										EC-4	4	A325	5/8"	1 1/2"

MEMBER SIZE TABLE		
MARK	MEMBER	LENGTH
RF1-1	W12	Section 5, Item C.
RF1-2	W12	
RF1-3	W12X14	
RF1-4	W12X14	
RF1-5	W12X14	
RF1-6	W12X22	
EC-1	W8X18	21'-8"
EC-2	W8X18	25'-0"
EC-3	W8X18	25'-0"
EC-4	W8X18	21'-10 1/2"

BEAM TABLE		
Mark	Part	Length
MB-1	W14X22	18'-3 1/4"
MB-2	W14X22	19'-11 5/8"
MB-3	W14X22	18'-8 5/8"
MB-4	W14X34	19'-6 1/4"

CONNECTION PLATES		
ID	Mark/Part	
4	CL-86	
5	CL-85	

FLANGE BRACES: FBxx (1 or 2)
 xx=length(in)
 (1) One Side; (2) Two Sides
 A - 2X2X14Ga



MAIN FRAME ELEVATION: FRAME LINE 1

DSN. APR.	APR. DATE
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Fred F. Radfar P.E.
 30 Windermere Lane
 Houston, TX 77063
 fred@radfar.com

 North Carolina License #010295
 Exp. 12/31/2024

DRAWING STATUS			
NO.	DATE	DESCRIPTION	BY
A	02/02/24	FOR PERMIT	RV

REVISIONS			
NO.	DATE	DESCRIPTION	BY
A	02/02/24	FOR PERMIT	RV

INLAND BUILDINGS 2141 SECOND AVENUE S.W. CULLMAN, AL. 35055 PHONE: 800.438.1606 FAX: 800.438.1626 www.inlandbuildings.com		OWNER OR PROJECT: KEVIN FAKHOURY JOB SITE LOCATION: 1019 BERKLEY ROAD HENDERSONVILLE, NC 28792-2486 CAD BY: RV ENGR BY: FR DATE: 1/25/24 SCALE: N.T.S. JOB NO.: 194952 PH BLDG. DESC.: SHEET NO.: E3 of 11 ISSUE: A
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GENERAL NOTES:
 SEE ROOF FRAMING PLAN AND SIDEWALL ELEVATIONS FOR MAIN FRAME PIECE MARKS.

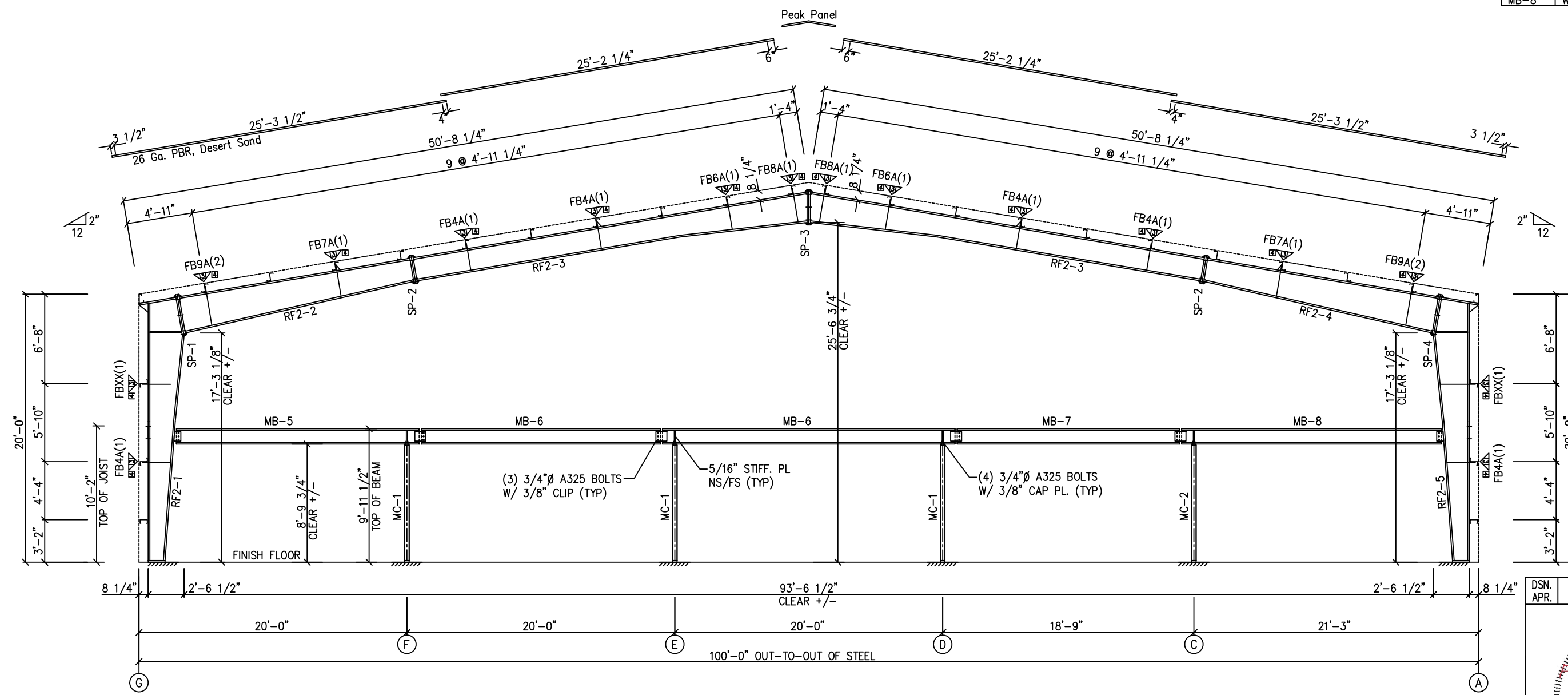
SPLICE PLATE & BOLT TABLE									
Mark	Qty Top	Qty Bot	Int	Type	Dia	Length	Width	Thick	Length
SP-1	4	4	2	A325	7/8"	2 1/2"	6"	5/8"	3'-0 7/8"
SP-2	4	4	0	A325	5/8"	1 3/4"	6"	3/8"	2'-0 3/4"
SP-3	4	4	2	A325	5/8"	1 3/4"	6"	3/8"	2'-7 1/8"
SP-4	4	4	2	A325	3/4"	2 1/4"	6"	5/8"	3'-0 7/8"

MEMBER TABLE								
Mark	Web Depth		Web Plate		Outside Flange		Inside Flange	
	Start/End	Thick	Length	Thick	Length	W x Thk x Length	W x Thk	Length
RF2-1	12.0/21.3	0.250	125.5	6	1/4"	x 232.3	6	x 1/4"
RF2-2	21.3/30.0	0.250	110.9	6	1/4"	x 33.4	6	x 3/8"
RF2-3	30.0/18.0	0.188	212.4	6	1/4"	x 212.4	6	x 5/16"
RF2-4	18.0/18.0	0.135	240.0	6	1/4"	x 360.0	6	x 1/4"
RF2-5	18.0/24.0	0.135	120.0	6	1/4"	x 212.4	6	x 5/16"
RF2-6	18.0/30.0	0.188	212.4	6	1/4"	x 212.4	6	x 3/8"
RF2-7	30.0/21.3	0.250	110.9	6	1/4"	x 33.4	6	x 1/4"
RF2-8	21.3/12.0	0.250	125.5	6	1/4"	x 232.3	6	x 1/4"

BEAM TABLE		
Mark	Part	Length
MC-1	W8X15	9'-11 1/2"
MC-2	W8X15	9'-11 1/2"
MB-5	W14X22	17'-7 1/4"
MB-6	W14X22	19'-11 5/8"
MB-7	W14X22	18'-8 5/8"
MB-8	W14X26	18'-10 5/16"

CONNECTION PLATES	
ID	Mark/Part
3	CL-86
4	CL-85

FLANGE BRACES: FBxx (1 or 2)
 xx=length(in)
 (1) One Side; (2) Two Sides
 A - 2X2X14Ga



MAIN FRAME ELEVATION: FRAME LINE 2

DSN. APR.	APR. DATE
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Fred F. Radfar P.E.
 30 Windermere Lane
 Houston, TX 77063
 fred@radfar.com

North Carolina License #010295
 Exp. 12/31/2024

DRAWING STATUS	
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<input type="checkbox"/>	FOR CONSTRUCTION: FINAL DRAWINGS.

REVISIONS			
NO.	DATE	DESCRIPTION	BY
A	02/02/24	FOR PERMIT	RV

INLAND BUILDINGS		2141 SECOND AVENUE S.W. CULLMAN, AL. 35055	
PHONE: 800.438.1606		FAX: 800.438.1626	
www.inlandbuildings.com			
OWNER OR PROJECT:	KEVIN FAKHOURY	CUSTOMER:	OK CONSTRUCTION
JOB SITE LOCATION:	1019 BERKLEY ROAD	ADDRESS:	2708 GREEN RIVER
CAD BY:	RV	ENGR BY:	FR
DATE:	1/25/24	SCALE:	N.T.S.
JOB NO.:	194952	PH BLDG. DESC.:	
SHEET NO.:	E4 of 11	ISSUE:	A

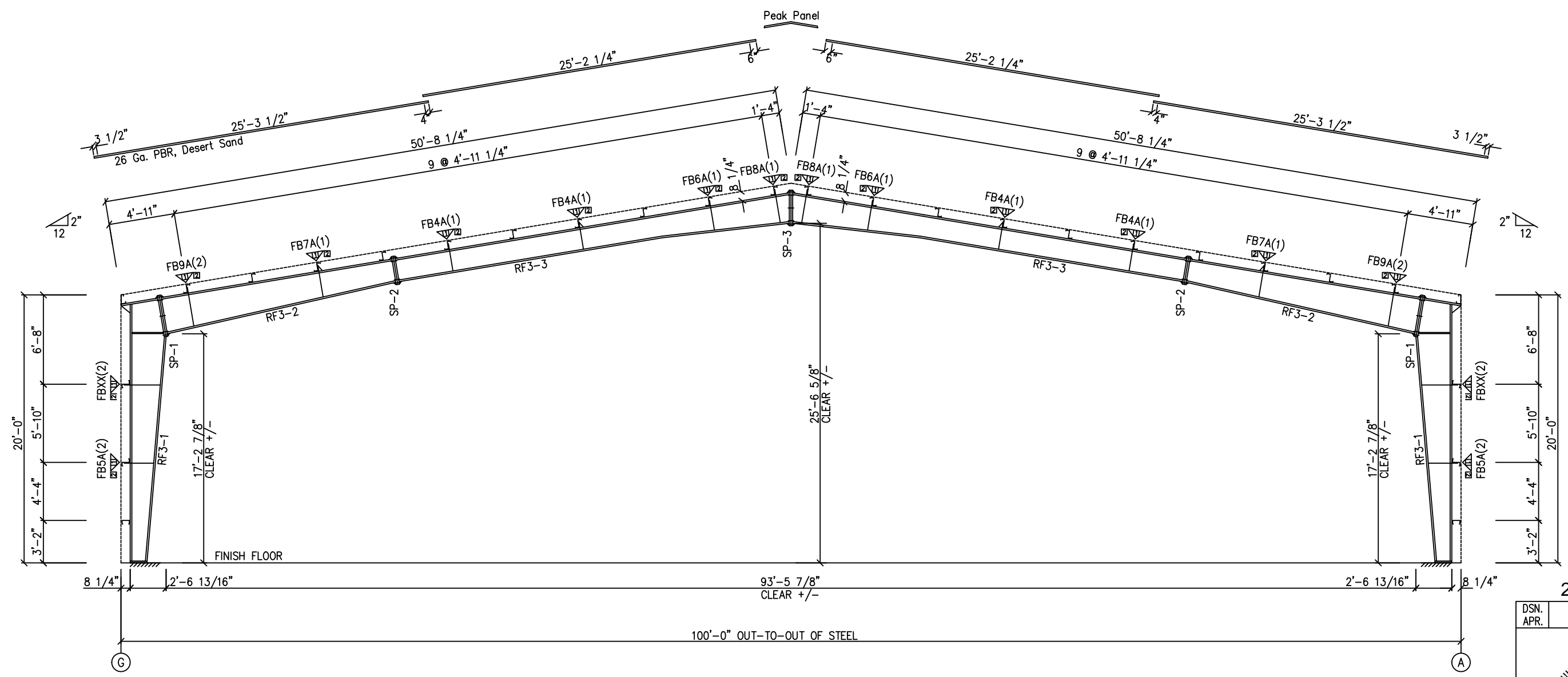
GENERAL NOTES:
 SEE ROOF FRAMING PLAN AND SIDEWALL ELEVATIONS FOR MAIN FRAME PIECE MARKS.

SPLICE PLATE & BOLT TABLE									
Mark	Qty		Int	Type	Dia	Length	Width	Thick	Length
	Top	Bot							
SP-1	4	4	2	A325	7/8"	2 1/2"	6"	5/8"	3'-1"
SP-2	4	4	0	A325	5/8"	1 3/4"	6"	3/8"	2'-0 13/16"
SP-3	4	4	2	A325	5/8"	1 3/4"	6"	3/8"	2'-7 1/8"

MEMBER TABLE								
Mark	Web Depth		Web Plate		Outside Flange		Inside Flange	
	Start/End	Thick	Length	Thick	Length	W x Thk x Length	W x Thk	
RF3-1	12.0/30.0	0.188	203.2			6 x 5/16" x 232.1	6 x 1/4"	Section 5, Item C.
RF3-2	30.0/24.5	0.313	33.1			6 x 3/8" x 33.4		
	30.0/18.0	0.188	212.4			6 x 5/16" x 104.4	6 x 1/2" x 104.5	
RF3-3	18.0/18.0	0.135	240.0			6 x 1/4" x 108.0	6 x 5/16" x 108.2	
	18.0/24.0	0.135	120.0			6 x 5/16" x 360.0	6 x 1/4" x 240.0	
							6 x 1/4" x 116.1	

FLANGE BRACES: FBxx (1 or 2)
 xx=length(in)
 (1) One Side; (2) Two Sides
 A - 2X2X14Ga

CONNECTION PLATES	
ID	Mark/Part
1	CL-86
2	CL-85



MAIN FRAME ELEVATION: FRAME LINE 3 4 5

2/6/24

DSN. APR.	APR. DATE
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GENERAL NOTES:
 SEE ROOF FRAMING PLAN AND SIDEWALL ELEVATIONS FOR MAIN FRAME PIECE MARKS.

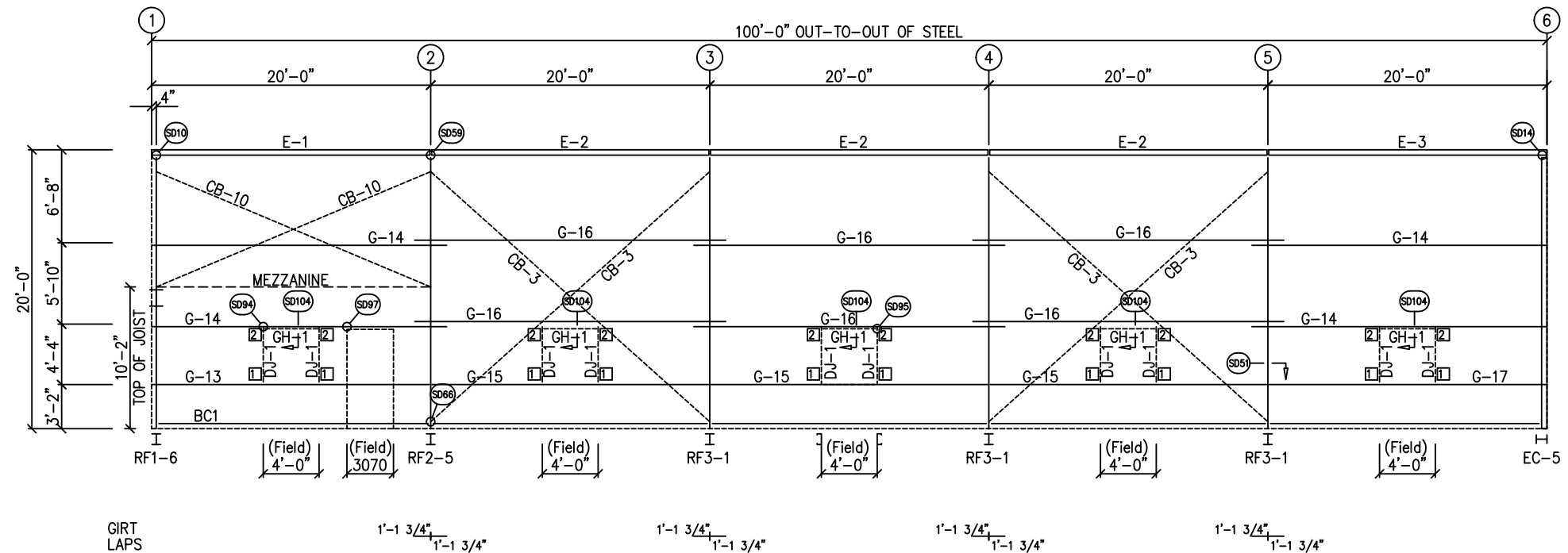
Fred F. Radfar P.E.
 30 Windermere Lane
 Houston, TX 77063
 fred@radfarpe.com

North Carolina License #010295
 Exp. 12/31/2024

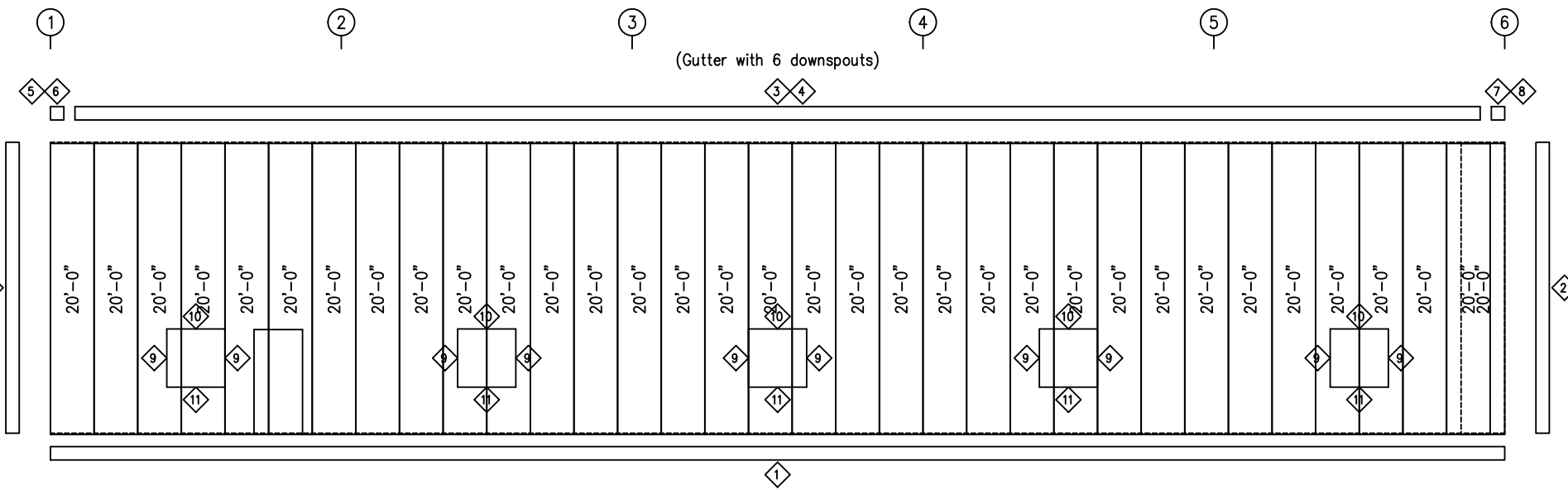
DRAWING STATUS			
NO.	DATE	DESCRIPTION	BY CK'D
A	02/02/24	FOR PERMIT	RV GP

REVISIONS			
NO.	DATE	DESCRIPTION	BY CK'D
A	02/02/24	FOR PERMIT	RV GP

INLAND BUILDINGS		2141 SECOND AVENUE S.W. CULLMAN, AL 35055	
PHONE: 800.438.1606		FAX: 800.438.1626	
www.inlandbuildings.com			
OWNER OR PROJECT	KEVIN FAKHOURY	CUSTOMER	OK CONSTRUCTION
JOB SITE LOCATION	1019 BERKLEY ROAD	ADDRESS	2708 GREEN RIVER
CAD BY	RV	ENGR BY	FR
DATE	1/25/24	SCALE	N.T.S.
JOB NO.	194952	PH BLDG. DESC.	
SHEET NO.	E5 of 11	ISSUE	A



SIDEWALL FRAMING: FRAME LINE A



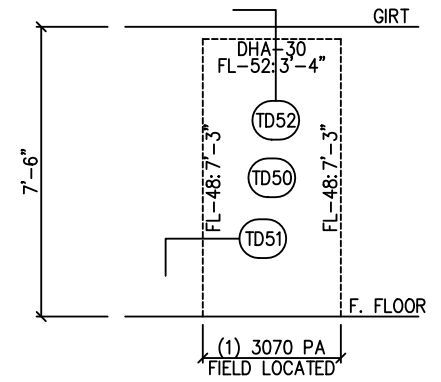
SIDEWALL SHEETING & TRIM: FRAME LINE A

PANELS: 26 Ga. PBR - Gallery Blue (Kynar)

TRIM TABLE				Section 5, Item C.
ID	QUAN	PART	LENGTH	
1	5	FL-60	20'-2"	TD637 TD51 TD52
2	1	FL-110	20'-0"	
3	4	FL-171	20'-2"	
4	5	FL-31	20'-2"	
5	1	FL-171L	11'-2"	
6	1	FL-169L	8"	
7	1	FL-171R	11'-2"	
8	1	FL-169R	8"	
9	1	FL-48	4'-3"	
10	1	FL-52	4'-4"	
11	1	FL-53	4'-4"	

MEMBER TABLE	
FRAME LINE A	
MARK	PART
DJ-3	8X35C16
E-1	8.25E14
E-2	8.25E14
E-3	8.25E14
G-13	8X25C16
G-14	8X25Z16
G-15	8X25C16
G-16	8X25Z16
G-17	8X25C16
CB-3	CB0313
CB-10	CB0313
GH-1	WRAP

CONNECTION PLATES	
FRAME LINE A	
ID	MARK/PART
1	f1
2	CL-103
3	CL-104
4	CL-100



2/6/24

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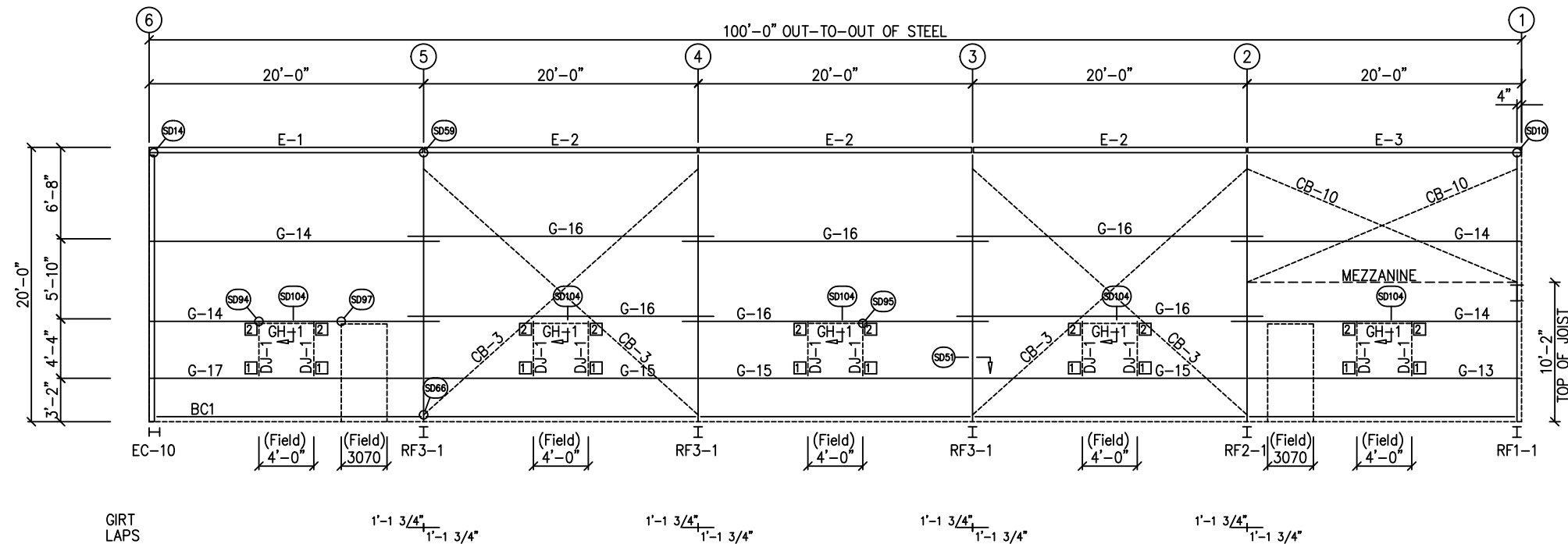
GENERAL NOTES:
 TRIM IS FIGURED WITH 2" TRIM LAP UNLESS NOTED ON A DETAIL.
 FIELD CUT PANELS AT FRAMED OPENINGS, WALKDOORS, AND WINDOWS.
 FORMED BASE TRIM (IF USED) TO BE FIELD MITERED AT CORNERS.
 FIELD SLOT GIRTS AS REQUIRED FOR CABLE BRACE CLEARANCE.

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 30 Windermere Lane
 Houston, TX 77063
 fred@radfarpe.com
 North Carolina License #010295
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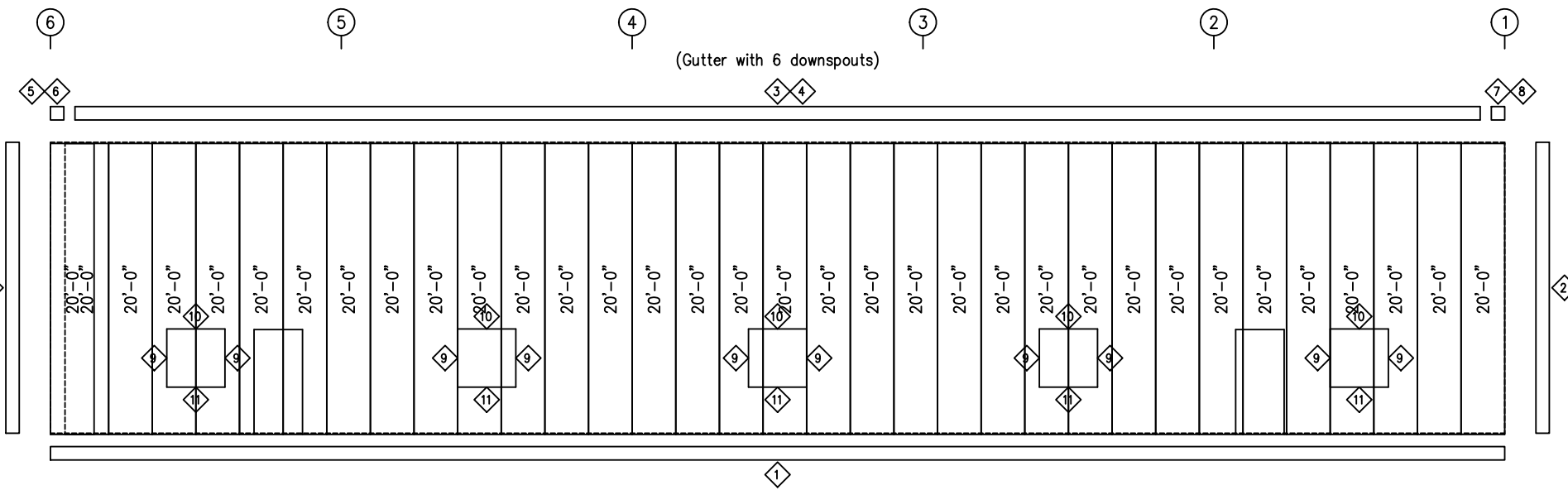
DRAWING STATUS			
NO.	DATE	DESCRIPTION	BY
A	02/02/24	FOR PERMIT	RV

REVISIONS			
NO.	DATE	DESCRIPTION	BY
A	02/02/24	FOR PERMIT	RV

Inland BUILDINGS		2141 SECOND AVENUE S.W. CULLMAN, AL. 35055	
OWNER OR PROJECT: KEVIN FAKHOURY		CUSTOMER: OK CONSTRUCTION	
JOB SITE LOCATION: 1019 BERKLEY ROAD		ADDRESS: 2708 GREEN RIVER	
CAD BY: RV		ENGR BY: FR	
DATE: 1/25/24		SCALE: N.T.S.	
JOB NO.: 194952		PH BLDG. DESC.:	
SHEET NO.: E6 of 11		ISSUE: A	



SIDEWALL FRAMING: FRAME LINE G



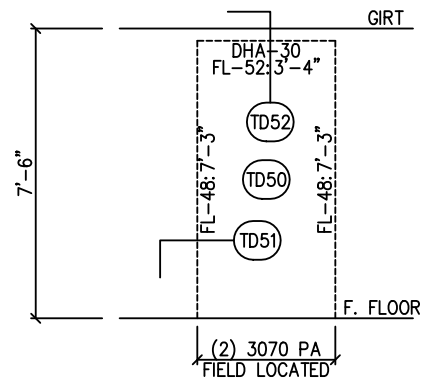
SIDEWALL SHEETING & TRIM: FRAME LINE G

PANELS: 26 Ga. PBR - Gallery Blue (Kynar)

TRIM TABLE				Section 5, Item C.	
ID	QUAN	PART	LENGTH		
1	5	FL-60	20'-2"		
2	1	FL-110	20'-0"		
3	4	FL-171	20'-2"		
4	5	FL-31	20'-2"		
5	1	FL-171L	11'-2"		
6	1	FL-169L	8"		
7	1	FL-171R	11'-2"		
8	1	FL-169R	8"		
9	1	FL-48	4'-3"	TD51	
10	1	FL-52	4'-4"	TD52	
11	1	FL-53	4'-4"		

MEMBER TABLE	
FRAME LINE G	
MARK	PART
DJ-1	8X35C16
E-1	8.25E14
E-2	8.25E14
E-3	8.25E14
G-13	8X25C16
G-14	8X25Z16
G-15	8X25C16
G-16	8X25Z16
G-17	8X25C16
CB-3	CB0313
CB-10	CB0313
GH-1	WRAP

CONNECTION PLATES	
FRAME LINE G	
ID	MARK/PART
1	fl
2	CL-103
3	CL-104
4	CL-100



2/6/24

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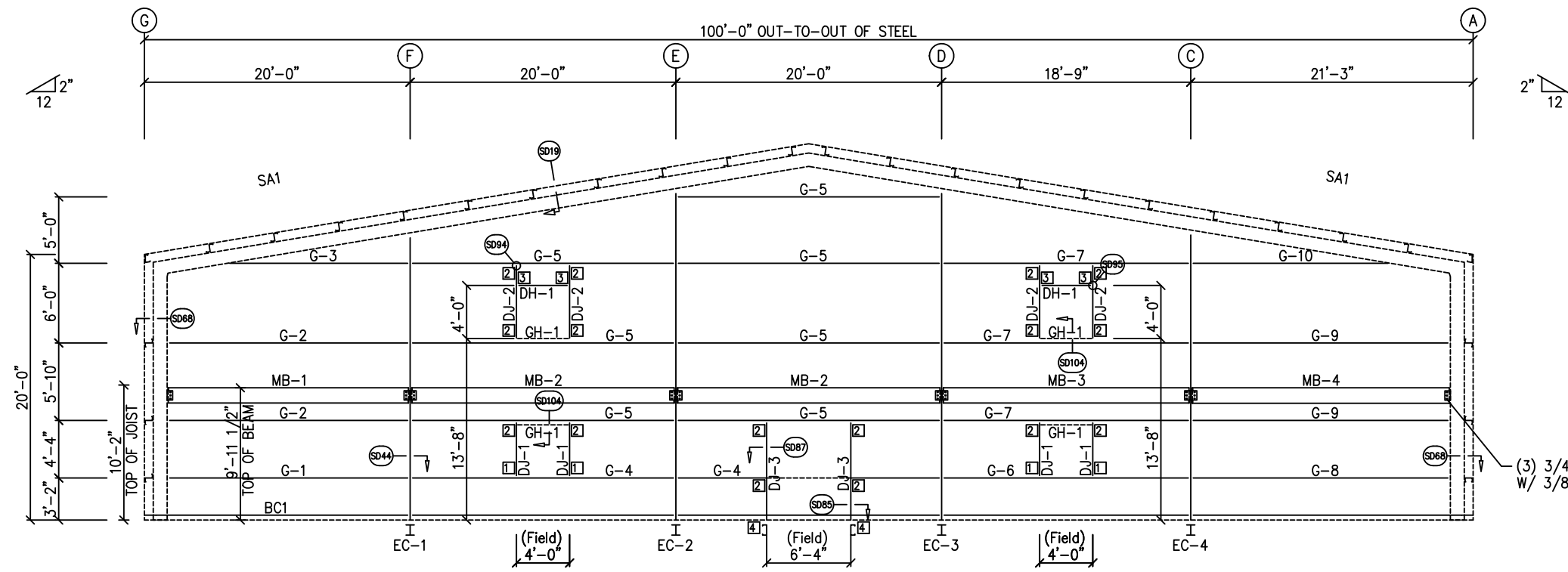
GENERAL NOTES:
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 FIELD CUT PANELS AT FRAMED OPENINGS, WALKDOORS, AND WINDOWS.
 FORMED BASE TRIM (IF USED) TO BE FIELD MITERED AT CORNERS.
 FIELD SLOT GIRTS AS REQUIRED FOR CABLE BRACE CLEARANCE.

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 Houston, TX 77063
 fred@radfarpe.com
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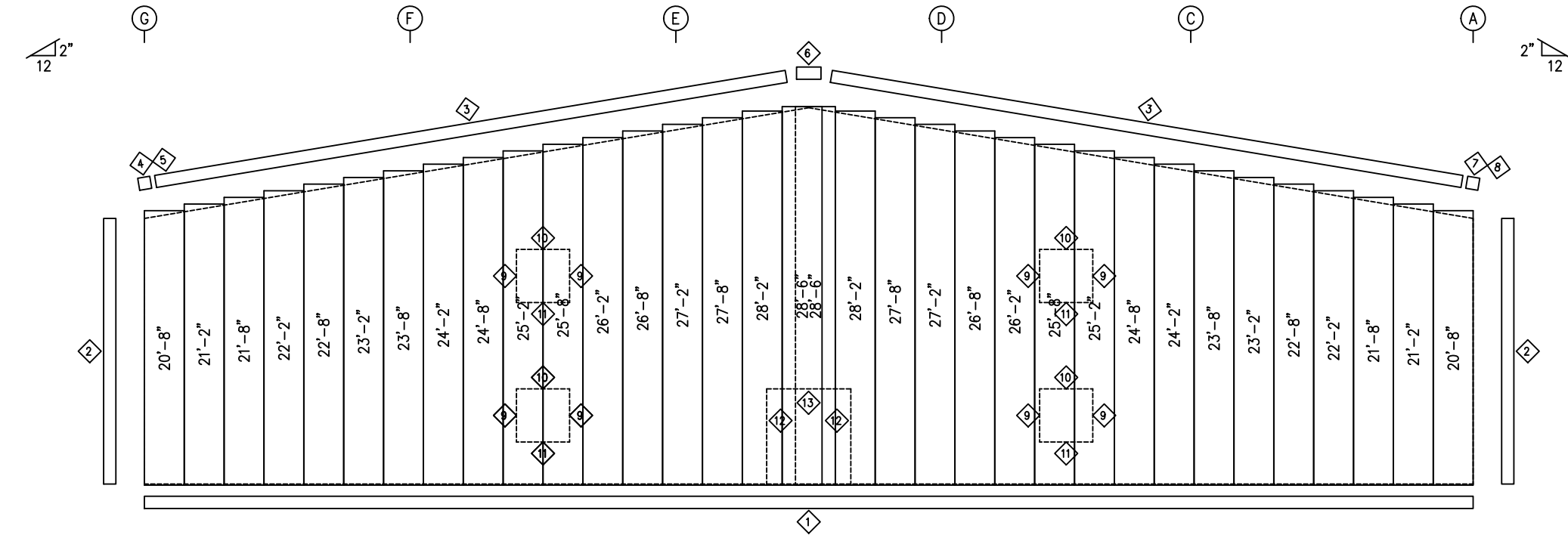
DRAWING STATUS	
<input type="checkbox"/>	FOR APPROVAL: THESE DRAWINGS, BEING FOR APPROVAL, ARE BY DEFINITION NOT FINAL AND ARE FOR CONCEPTUAL REPRESENTATION ONLY. THEIR PURPOSE IS TO CONFIRM PROPER INTERPRETATION OF THE PROJECT DOCUMENTS. ONLY DRAWINGS ISSUED "FOR CONSTRUCTION" CAN BE CONSIDERED AS COMPLETE.
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<input type="checkbox"/>	FOR CONSTRUCTION: FINAL DRAWINGS.

REVISIONS			
NO.	DATE	DESCRIPTION	BY
A	02/02/24	FOR PERMIT	RV

INLAND BUILDINGS		2141 SECOND AVENUE S.W. CULLMAN, AL. 35055	
PHONE: 800.438.1606		FAX: 800.438.1626	
www.inlandbuildings.com			
OWNER OR PROJECT:	KEVIN FAKHOURY	CUSTOMER:	OK CONSTRUCTION
JOB SITE LOCATION:	1019 BERKLEY ROAD	ADDRESS:	2708 GREEN RIVER
	HENDERSONVILLE, NC 28792-2486		ZIRCONIA, NC 28799
CAD BY:	RV	ENGR BY:	FR
DATE:	1/25/24	SCALE:	N.T.S.
JOB NO.:	194952	PH BLDG. DESC.:	
SHEET NO.:	E7 of 11	ISSUE:	A



ENDWALL FRAMING: FRAME LINE 1



ENDWALL SHEETING & TRIM: FRAME LINE 1

PANELS: 26 Ga. PBR - Gallery Blue (Kynar)

TRIM TABLE				Section 5, Item C.	
ID	QUAN	PART	LENGTH		
1	5	FL-60	20'-2"		
2	1	FL-110	20'-0"		
3	3	FL-176	13'-9"		TD636
4	1	FL-176L	11'-2"		TD301
5	1	FL-327L	8 13/16"		
6	1	FL-181	1'-4"		
7	1	FL-176R	11'-2"		
8	1	FL-327R	8 13/16"		
9	1	FL-48	4'-3"		TD51
10	1	FL-52	4'-4"		TD52
11	1	FL-53	4'-4"		
12	1	FL-48	7'-5"		TD51
13	1	FL-52	6'-8"		TD52

BOLT TABLE			
FRAME LINE 1			
LOCATION	QUAN	TYPE	LENGTH
Columns/Raf	4	A325	5/8" 1 1/2"

FLANGE BRACE TABLE		
FRAME LINE 1		
VID	MARK	LENGTH
1	FB1A	2'-9"

MEMBER TABLE	
FRAME LINE 1	
MARK	PART
EC-1	W8X18
EC-2	W8X18
EC-3	W8X18
EC-4	W8X18
DJ-1	8X35C16
DJ-2	8X35C16
DJ-3	8X35C16
DH-1	8X25C16
G-1	8X25C16
G-2	8X25Z16
G-3	8X25Z16
G-4	8X25C16
G-5	8X25Z14
G-6	8X25C16
G-7	8X25Z16
G-8	8X25C16
G-9	8X25Z14
G-10	8X25Z14
GH-1	WRAP
MB-1	W14X22
MB-2	W14X22
MB-3	W14X22
MB-4	W14X34

CONNECTION PLATES	
FRAME LINE 1	
ID	MARK/PART
1	f1
2	CL-103
3	CL-100
4	CL-104

(3) 3/4"Ø A325 BOLTS
W/ 3/8" CLIP (TYP)

2/6/24

DSN. APR.	APR. DATE
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GENERAL NOTES:
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 BEVELCUT ENDWALL PANELS AS REQUIRED.
 FIELD SLOT GIRTS AS REQUIRED FOR CABLE BRACE CLEARANCE.

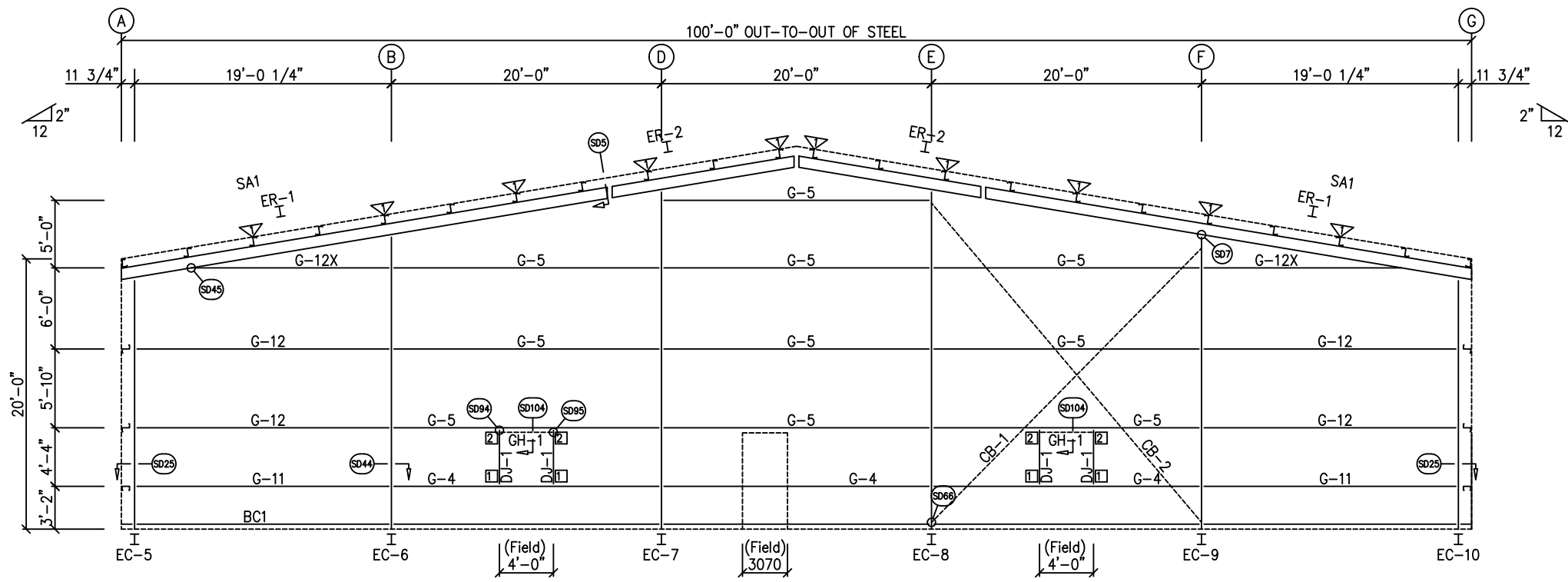
Fred F. Radfar P.E.
 30 Windermere Lane
 Houston, TX 77063
 fred@radfarpe.com

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 Exp. 12/31/2024

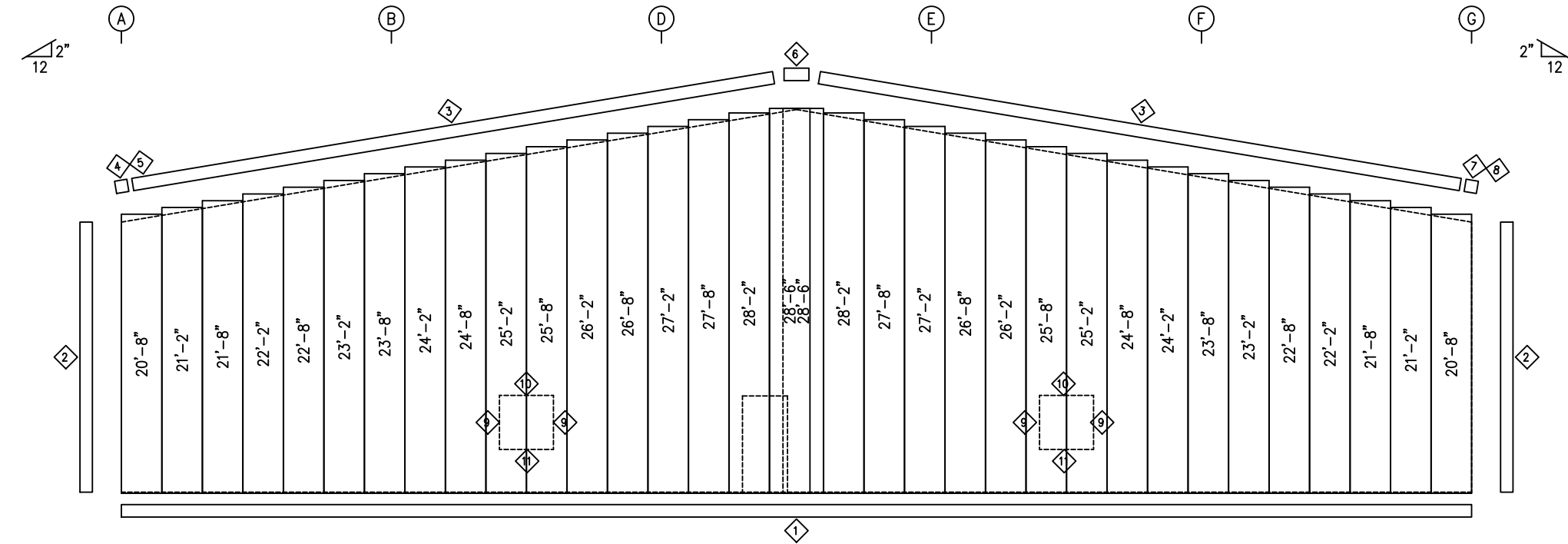
DRAWING STATUS	
<input type="checkbox"/>	FOR APPROVAL: THESE DRAWINGS, BEING FOR APPROVAL, ARE BY DEFINITION NOT FINAL, AND ARE FOR CONCEPTUAL REPRESENTATION ONLY. THEIR PURPOSE IS TO CONFIRM PROPER INTERPRETATION OF THE PROJECT DOCUMENTS. ONLY DRAWINGS ISSUED "FOR CONSTRUCTION" CAN BE CONSIDERED AS COMPLETE.
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<input type="checkbox"/>	FOR CONSTRUCTION: FINAL DRAWINGS.

REVISIONS			
NO.	DATE	DESCRIPTION	BY
A	02/02/24	FOR PERMIT	RV

INLAND BUILDINGS			
2141 SECOND AVENUE S.W. CULLMAN, AL. 35055		PHONE: 800.438.1606	
FAX: 800.438.1626		www.inlandbuildings.com	
OWNER OR PROJECT:	KEVIN FAKHOURY	CUSTOMER:	OK CONSTRUCTION
JOB SITE LOCATION:	1019 BERKLEY ROAD	ADDRESS:	2708 GREEN RIVER
CAD BY:	ENGR BY:	DATE:	SCALE:
RV	FR	1/25/24	N.T.S.
JOB NO.:	194952	PH BLDG. DESC.:	EB of 11
SHEET NO.:	107	ISSUE:	A



ENDWALL FRAMING: FRAME LINE 6



ENDWALL SHEETING & TRIM: FRAME LINE 6

PANELS: 26 Ga. PBR - Gallery Blue (Kynar)

TRIM TABLE FRAME LINE 6			
ID	QUAN	PART	LENGTH
1	5	FL-60	20'-2"
2	1	FL-110	20'-0"
3	3	FL-176	13'-9"
4	1	FL-176L	11'-2"
5	1	FL-327L	8 13/16"
6	1	FL-181	1'-4"
7	1	FL-176R	11'-2"
8	1	FL-327R	8 13/16"
9	1	FL-48	4'-3"
10	1	FL-52	4'-4"
11	1	FL-53	7'-5"

Section 5, Item C.

TD636
TD301

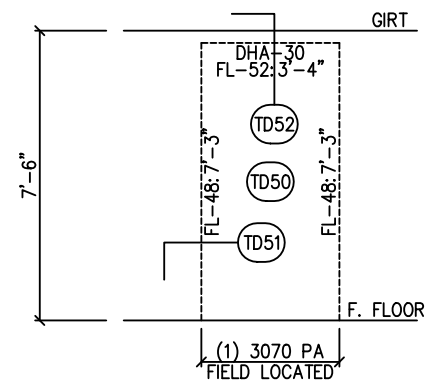
TD51
TD52

BOLT TABLE FRAME LINE 6				
LOCATION	QUAN	TYPE	DIA	LENGTH
ER-1/ER-2	8	A325	5/8"	1 3/4"
ER-2/ER-2	8	A325	5/8"	1 3/4"
Columns/Raf	2	A325	5/8"	1 1/4"

FLANGE BRACE TABLE FRAME LINE 6		
ID	MARK	LENGTH
1	FB1A	2'-9"

MEMBER TABLE FRAME LINE 6	
MARK	PART
EC-5	W8X10
EC-6	W8X10
EC-7	W8X13
EC-8	W8X13
EC-9	W8X10
EC-10	W8X10
ER-1	W8X10
ER-2	W8X10
DJ-1	8X35C16
G-4	8X25C16
G-5	8X25Z14
G-11	8X25C16
G-12	8X25Z14
G-12X	8X25Z14
GH-1	WRAP
CB-1	CB0250
CB-2	CB0250

CONNECTION PLATES FRAME LINE 6	
ID	MARK/PART
1	1 ft
2	CL-103



2/6/24

DSN. APR.	APR. DATE
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GENERAL NOTES:
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 FIELD CUT PANELS AT FRAMED OPENINGS, WALKDOORS, AND WINDOWS.
 FORMED BASE TRIM (IF USED) TO BE FIELD MITERED AT CORNERS.
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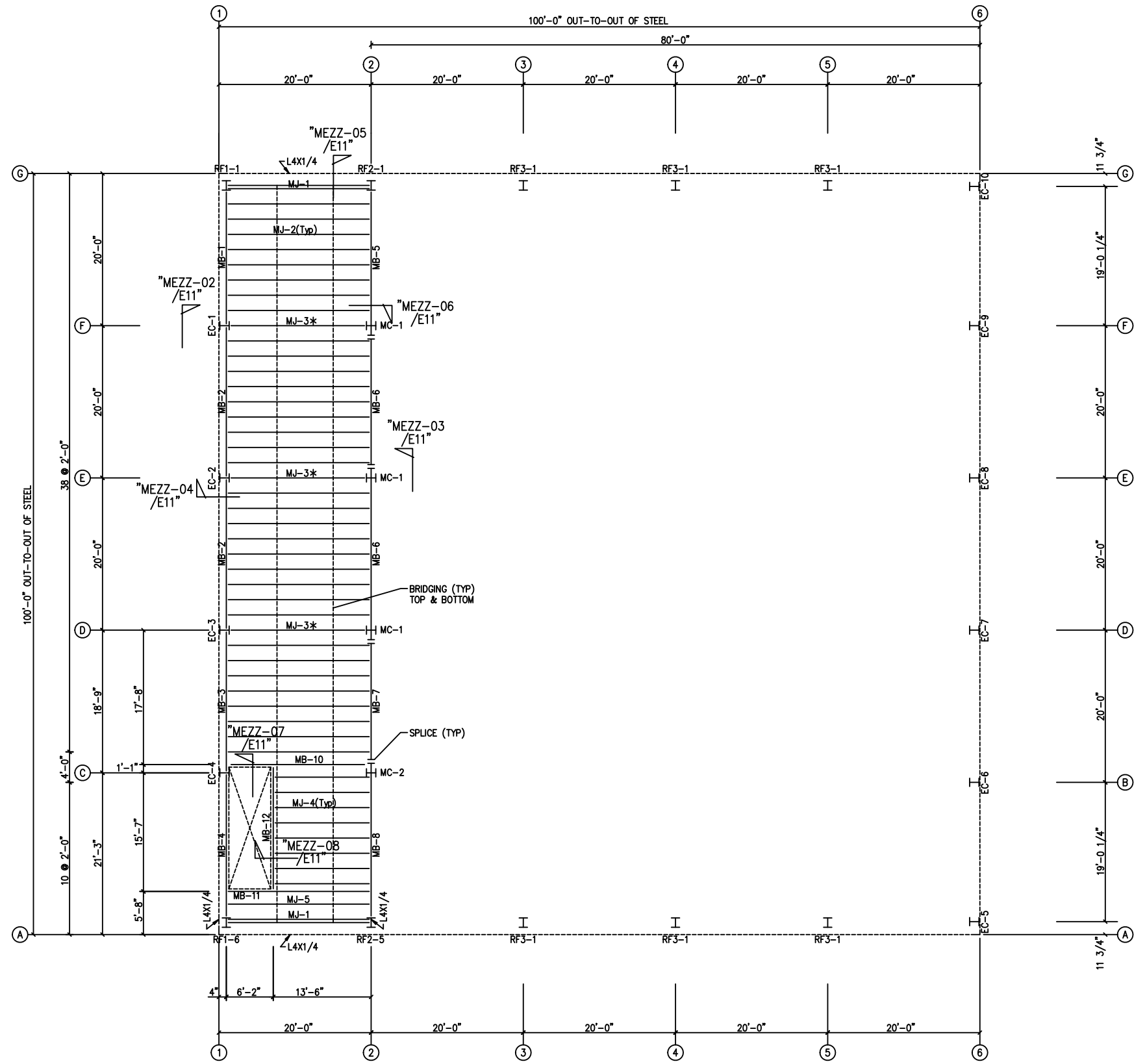
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<input type="checkbox"/>	FOR CONSTRUCTION: FINAL DRAWINGS.

REVISIONS				
NO.	DATE	DESCRIPTION	BY	CK'D
A	02/02/24	FOR PERMIT	RV	GP

INLAND BUILDINGS		2141 SECOND AVENUE S.W. CULLMAN, AL. 35055	
PHONE: 800.438.1606		FAX: 800.438.1626	
www.inlandbuildings.com			
OWNER OR PROJECT:	KEVIN FAKHOURY	CUSTOMER:	OK CONSTRUCTION
JOB SITE LOCATION:	1019 BERKLEY ROAD	ADDRESS:	2708 GREEN RIVER
CAD BY:	RV	ENGR BY:	FR
DATE:	1/25/24	SCALE:	N.T.S.
JOB NO.:	194952	PH. BLDG. DESC.:	
SHEET NO.:	E9 of 11	ISSUE:	A

MEMBER TABLE		
MARK	PART	LENGTH
MB-1	W14X22	Section 5, Item C.
MB-2	W14X22	
MB-3	W14X22	
MB-4	W14X34	
MB-5	W14X22	
MB-6	W14X22	
MB-7	W14X22	
MB-8	W14X26	
MB-10	W14X22	
MB-11	W14X22	
MB-12	W14X22	
MC-1	W8X15	
MC-2	W8X15	9'-11 1/2"
MJ-1	20KSP	20'-0"
MJ-2	20KSP	20'-0"
MJ-3	20KSP	19'-3 7/8"
MJ-4	20KSP	13'-10 5/8"
MJ-5	20KSP	20'-0"

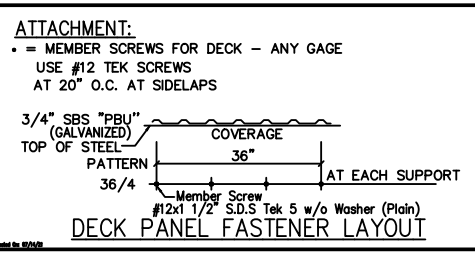


MEZZANINE LOADS:
 Dead Load = 50 psf
 Live Load = 100 psf
 Collateral Load = 3 psf
 Total Load = 153 psf

2/6/24

DSN. APR.	APR. DATE
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"The metal deck provided is for temporary support of the concrete floor during construction only. The concrete slab itself must be designed and properly reinforced (not by SBS) to independently support the permanent floor loads without consideration of the metal deck."



ERECTOR NOTE:
 DECK CLOSURE: @ COLUMNS TO BE (L4"x2"x 16Ga. x 20'-0"). FIELD CUT & ATTACHED TO COLUMN AS REQUIRED.

FLOOR FRAMING & JOISTS

Top of Mezzanine Floor = 10'-6" A.F.F.
 Top of Mezzanine Joist = 10'-2" A.F.F.
 Concrete Thickness = 4"
 Decking Panel: 26 Ga PBU
 * Denotes Bolted Joist

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DRAWING STATUS

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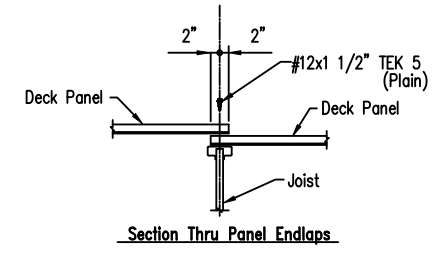
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REVISIONS

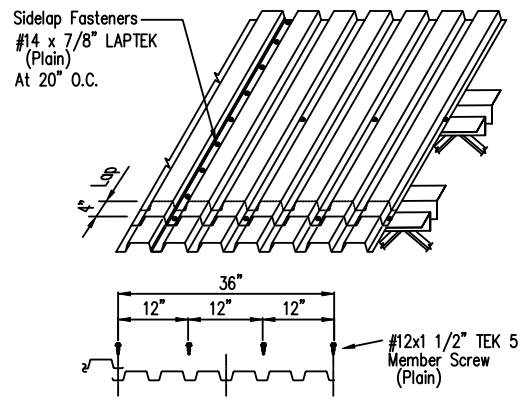
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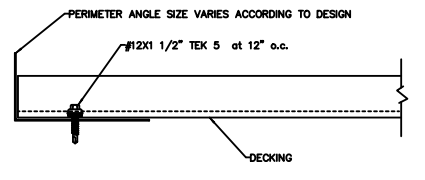
OWNER OR PROJECT:	KEVIN FAKHOURY	CUSTOMER:	OK CONSTRUCTION
JOB SITE LOCATION:	1019 BERKLEY ROAD HENDERSONVILLE, NC 28792-2486	ADDRESS:	2708 GREEN RIVER ZIRCONIA, NC 28799
CAD BY:	RV	ENGR BY:	FR
DATE:	1/25/24	SCALE:	N.T.S.
JOB NO.:	194952	PH. BLDG. DESC.:	
SHEET NO.:	E10 of 11	ISSUE:	A



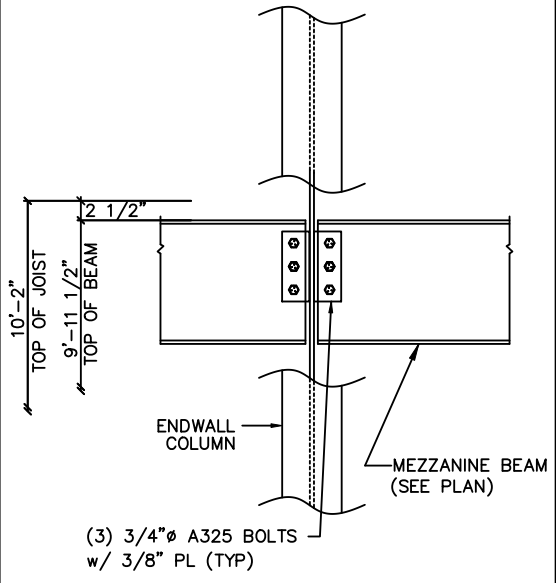
Section Thru Panel Endlaps



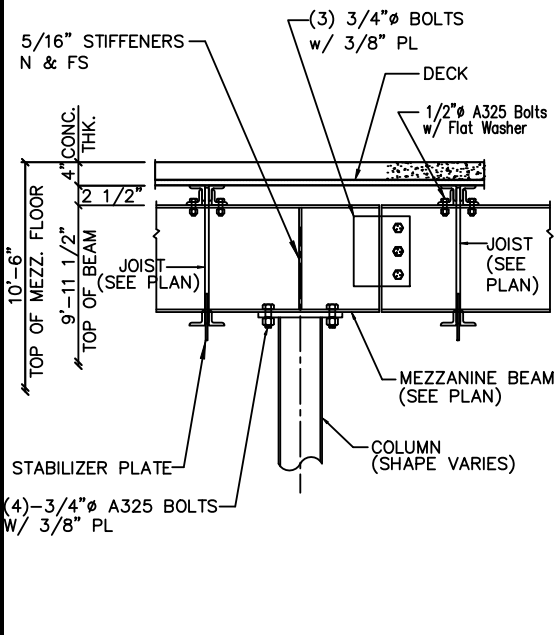
Decking Panel Screw Patterns
(Profile may vary)



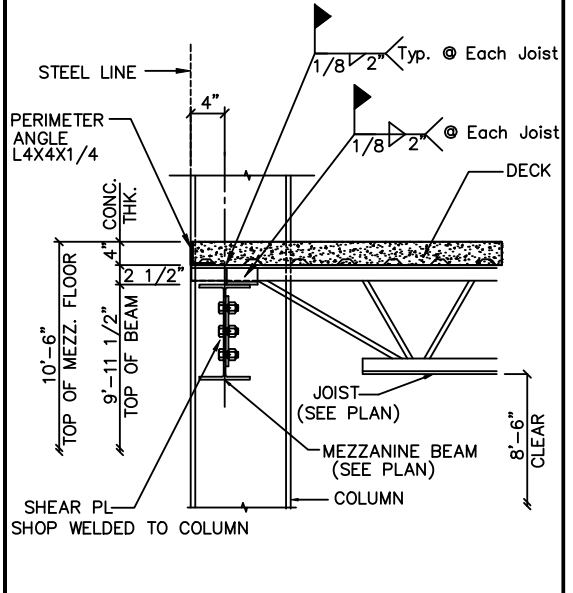
PERIMETER ANGLE AT ATTACHMENT



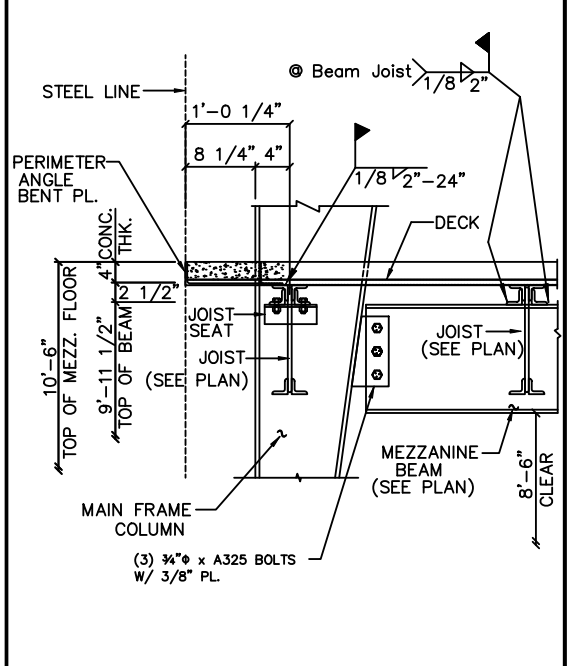
Mezzanine Beam To Column Connection



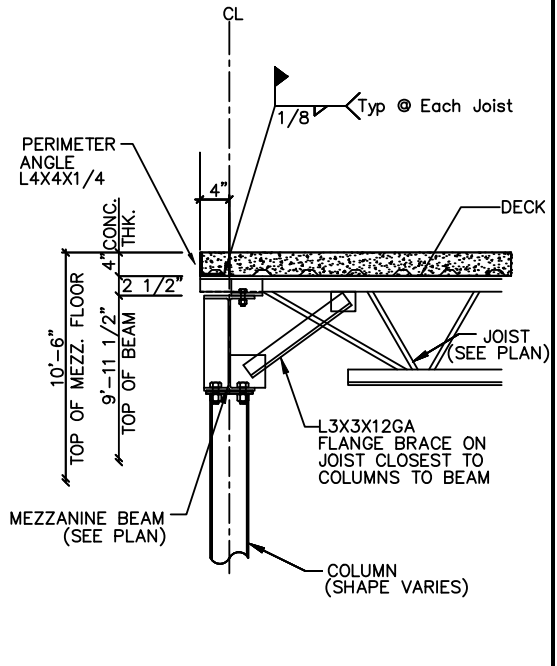
Joist To Mezzanine Beam Connection



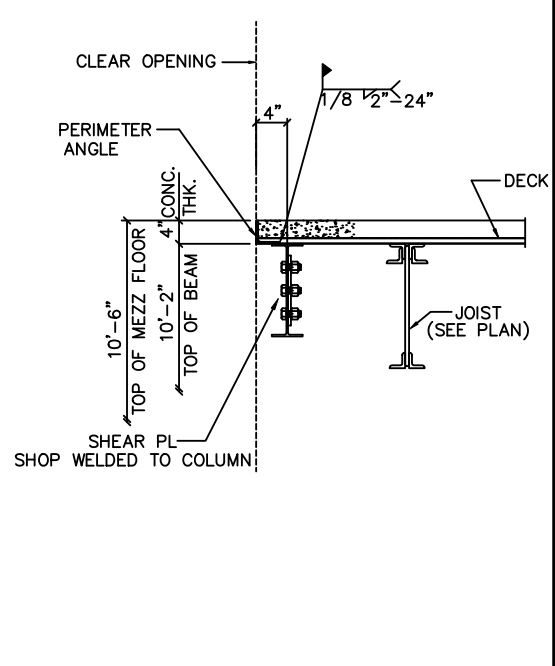
Joist To Mezzanine Beam Connection



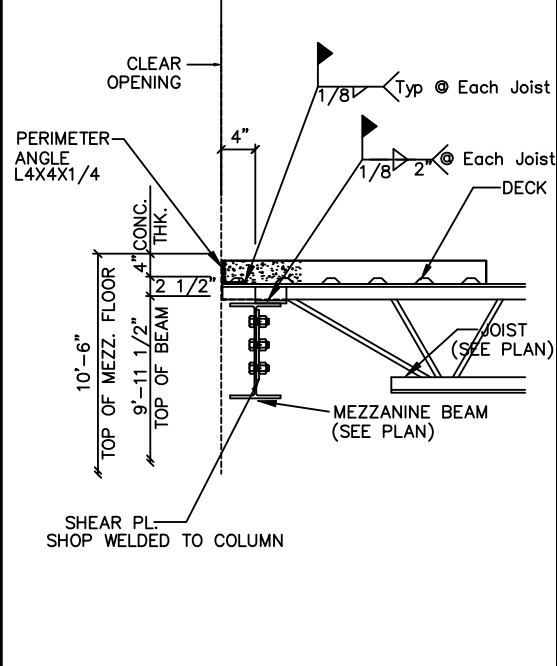
Mezzanine Beam To MF Connection



Joist To Mezzanine Beam Connection



Mezzanine Beam To Column Connection



Joist To Mezzanine Beam Connection

2/6/24

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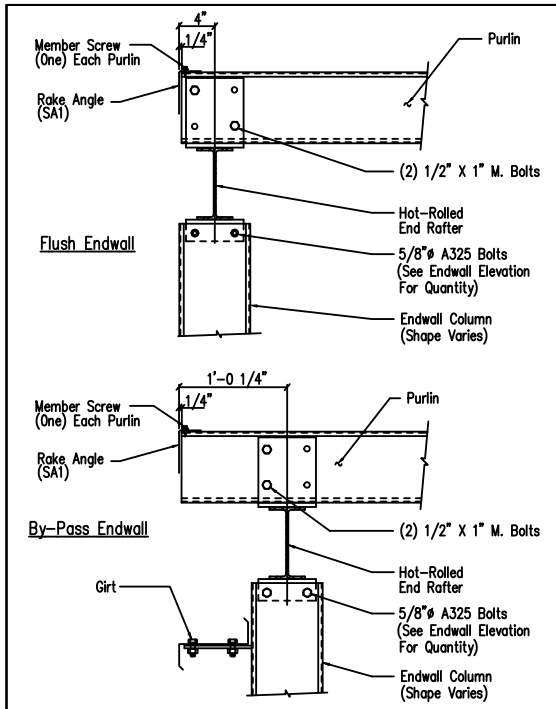
Fred F. Radfar P.E.
30 Windermere Lane
Houston, TX 77063
fred@radfarpe.com

North Carolina License #010295
Exp. 12/31/2024

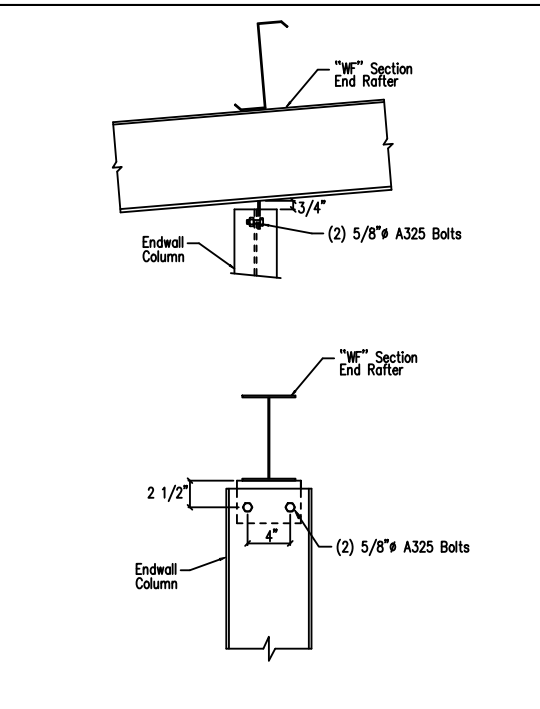
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NO.	DATE	DESCRIPTION	BY
A	02/02/24	FOR PERMIT	RV

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NO.	DATE	DESCRIPTION	BY
A	02/02/24	FOR PERMIT	RV

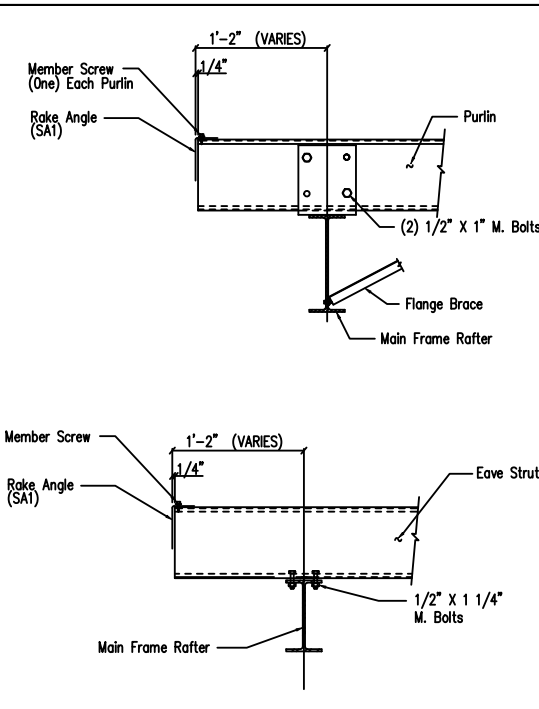
INLAND BUILDINGS		2141 SECOND AVENUE S.W. CULLMAN, AL. 35055	
PHONE: 800.438.1606		FAX: 800.438.1626	
www.inlandbuildings.com			
OWNER OR PROJECT:	KEVIN FAKHOURY	CUSTOMER:	OK CONSTRUCTION
JOB SITE LOCATION:	1019 BERKLEY ROAD	ADDRESS:	2708 GREEN RIVER
	HENDERSONVILLE, NC 28792-2486		ZIRCONIA, NC 28791
CAD BY:	RV	ENGR BY:	FR
DATE:	1/25/24	SCALE:	N.T.S.
JOB NO.:	194952	PH BLDG. DESC.:	
SHEET NO.:	E11 of 11	ISSUE:	A



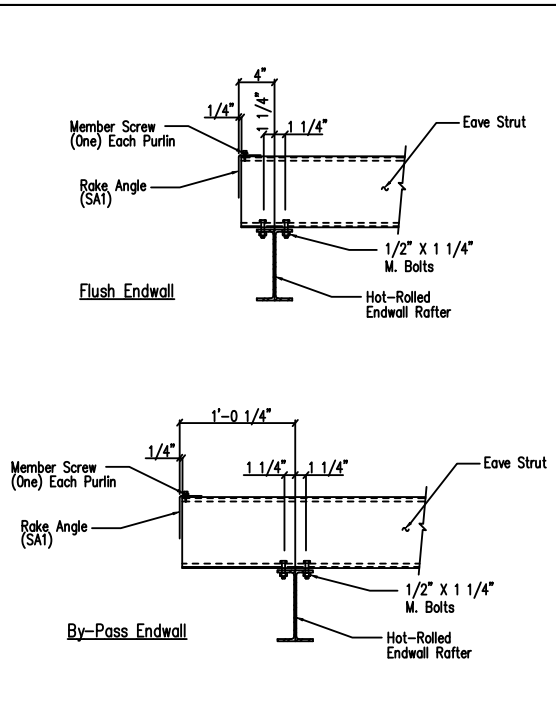
Section Thru Rake w/Hot Rolled Rafter
DRAWING NO. SD5



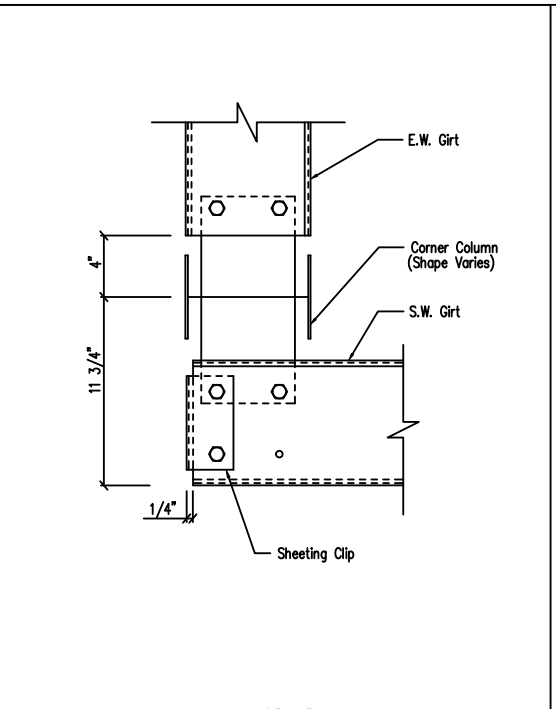
Hot Rolled Column to Hot Rolled Rafter
DRAWING NO. SD7



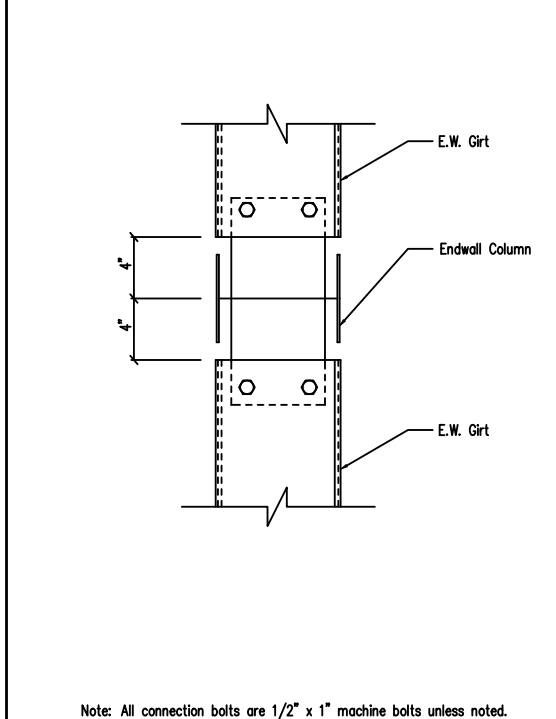
Main Frame Rafter Connection
PURLIN & EAVE STRUT CONNECTION
DRAWING NO. SD10



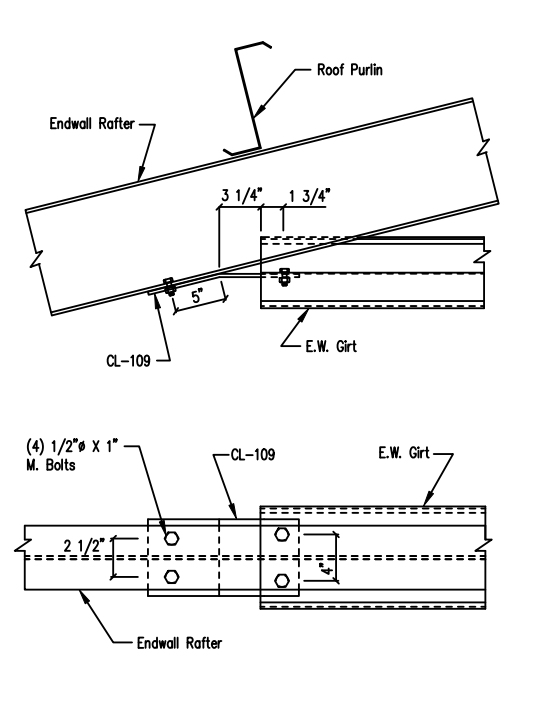
Eave Strut to Hot Rolled Rafter Connection
DRAWING NO. SD14



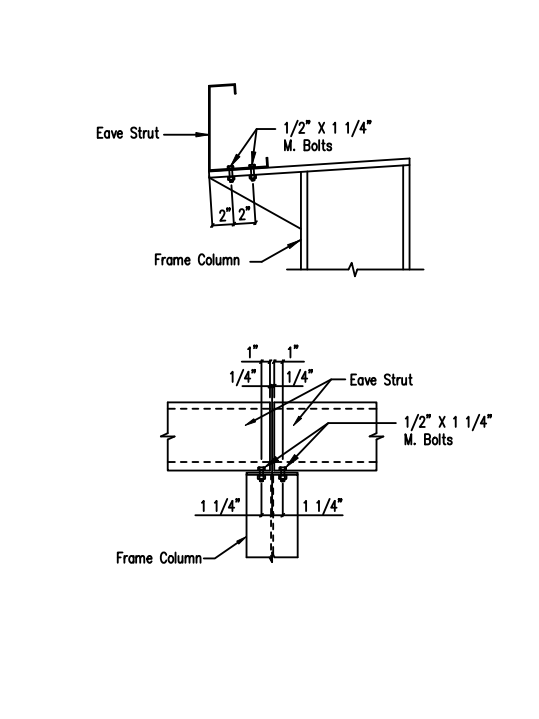
Section at Hot Rolled Corner Column
Flush Endwall
Note: All connection bolts are 1/2\"/>



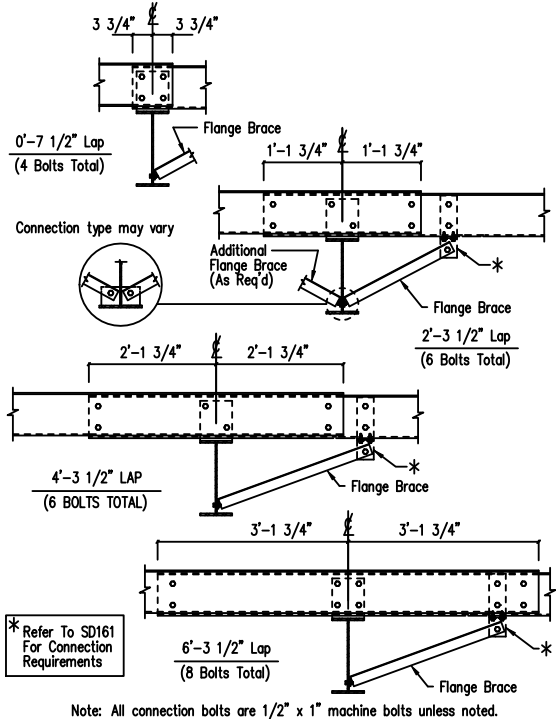
Girt to Hot Rolled Endwall Column Connection
DRAWING NO. SD44



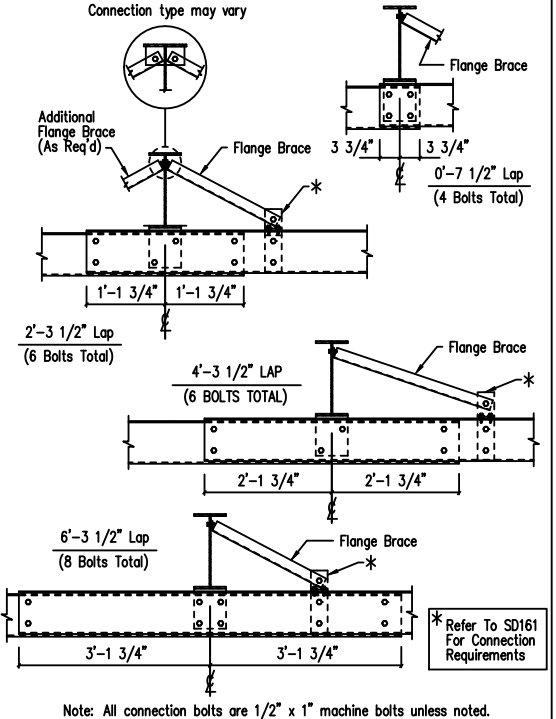
Endwall Girt to Hot Rolled Rafter
DRAWING NO. SD45



Eave Strut at Interior Column
By-Pass Sidewall
DRAWING NO. SD59



Interior Bay Purlin Framing
(Simple Saver)
DRAWING NO. SD63



Interior Bay Girt Framing
(Simple Saver)
DRAWING NO. SD64

2/6/24
DSN. APR. APR. DATE



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4\"/>

Fred F. Radfar P.E.
30 Windermere Lane
Houston, TX 77063
fred@radfarpe.com

North Carolina License #010295
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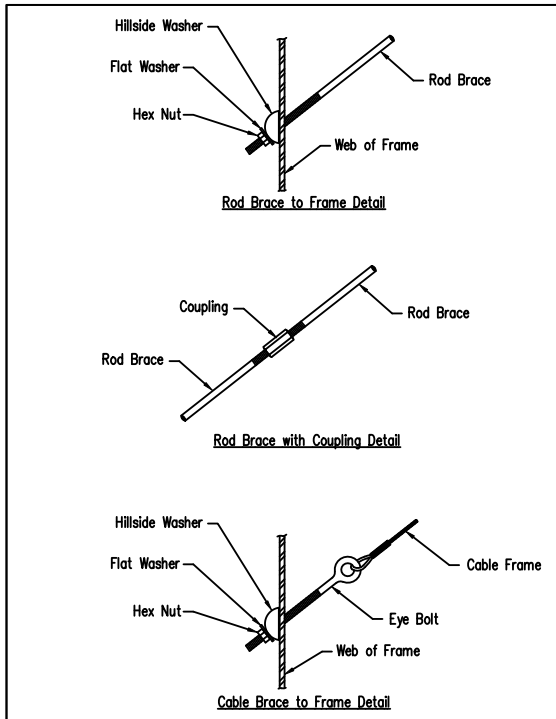
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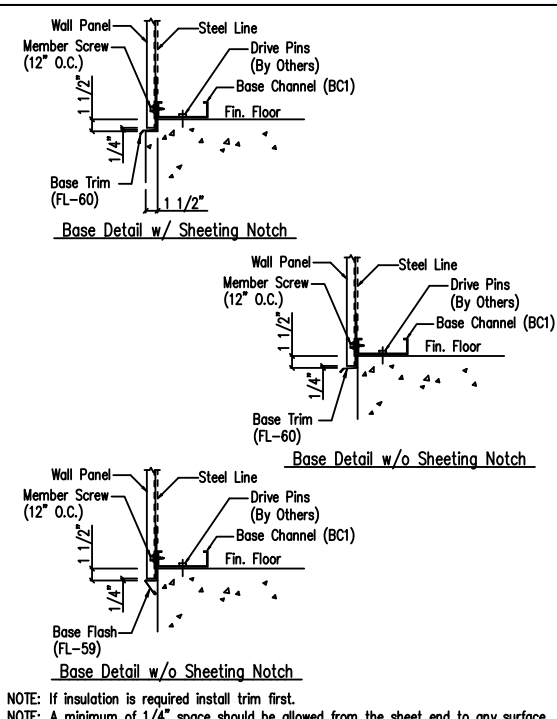
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NO.	DATE	DESCRIPTION	BY CK'D
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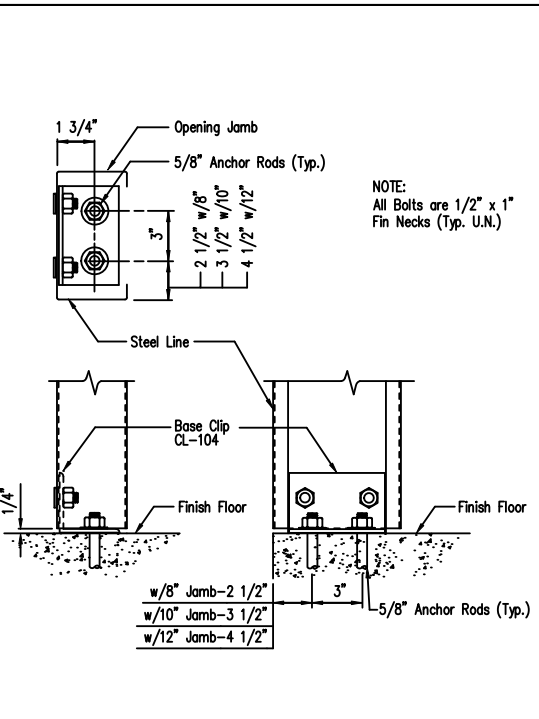
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PHONE: 800.438.1606		FAX: 800.438.1626	
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JOB NO.:	194952	PH BLDG. DESC.:	
SHEET NO.:	D1 of 4	ISSUE:	A



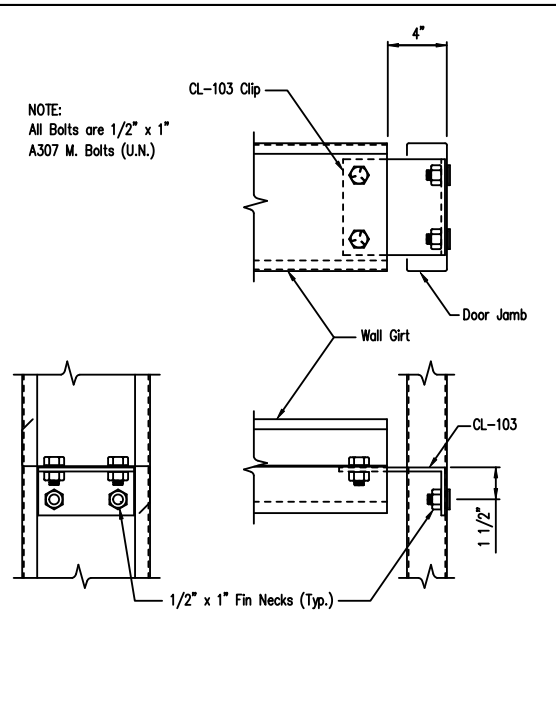
Cable or Rod Brace to Frame Connection SD66



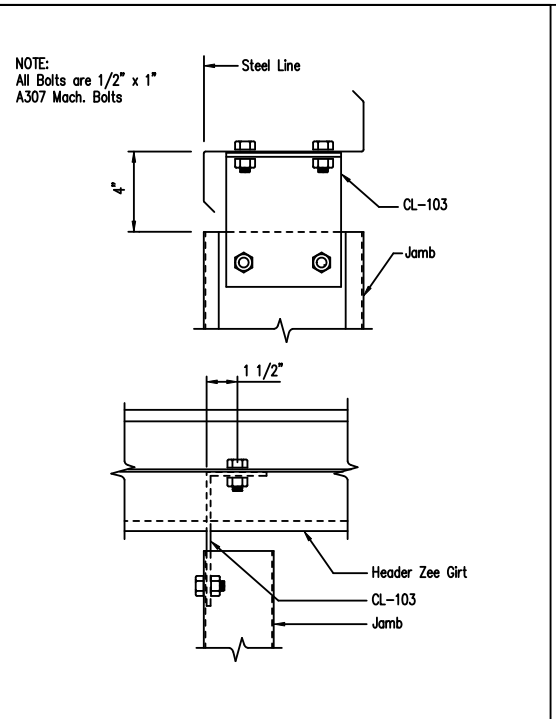
Base Channel w/Trim SD75



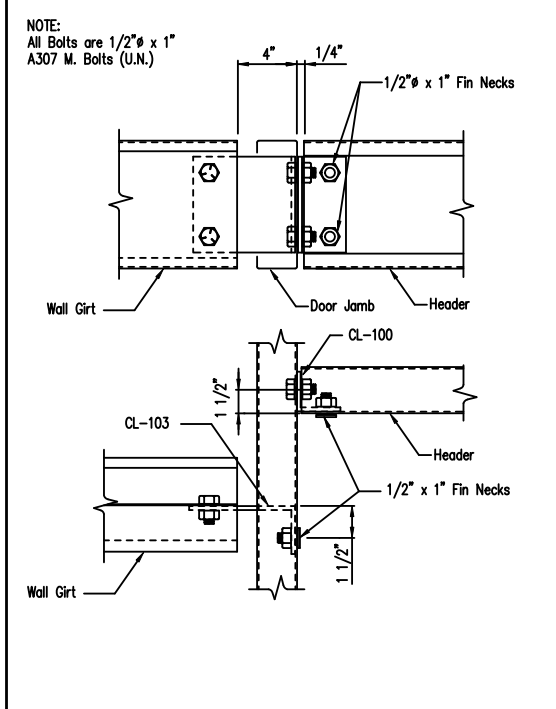
Jamb to Floor SD85



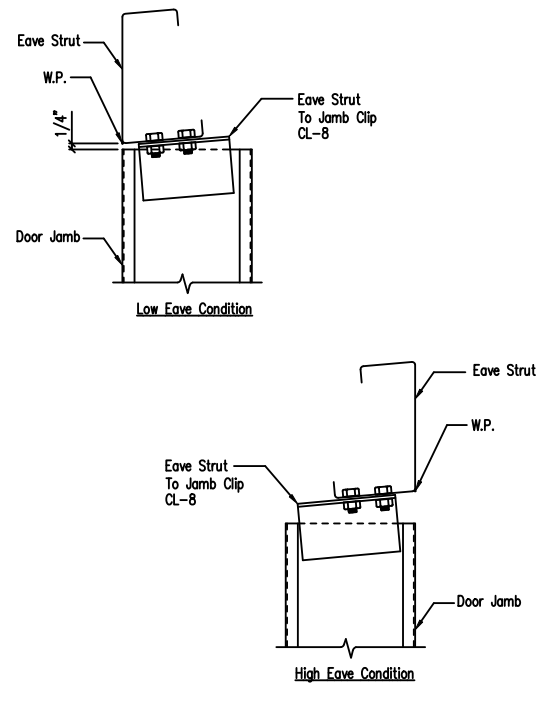
Girt to Jamb (Bolted Clips) SD87



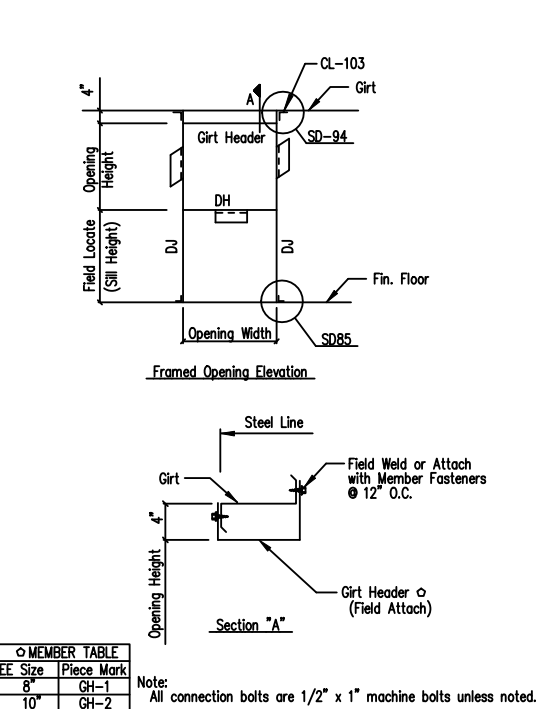
Jamb to Header Girt SD94



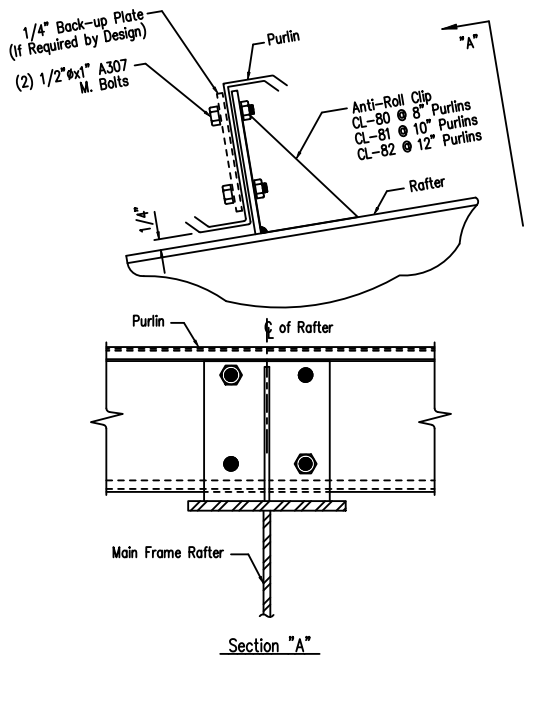
Girt/Header to Jamb (Bolted Clips) SD95



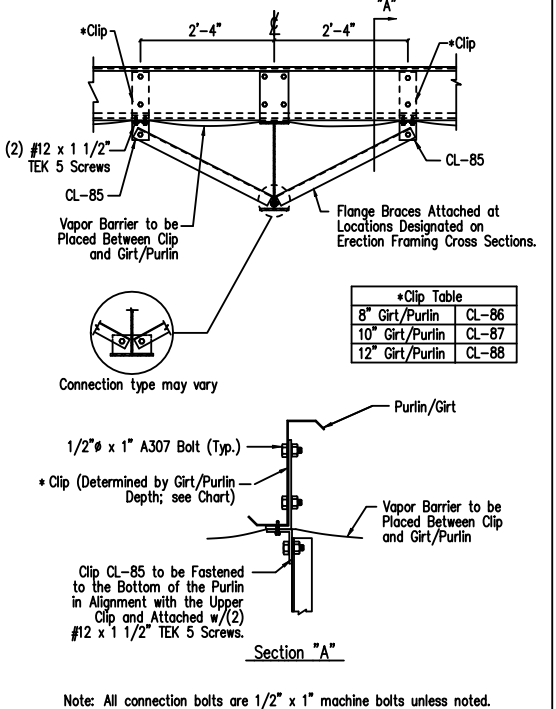
Jamb To Eave Strut 2:12 Roof Pitch and Higher SD97



Framed Opening w/ Girt Header SD104



Purlin to Anti-Roll Clip Connection SD115



Interior Girt/Purlin Flange Brace Attachment for Insulation SD161

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4 1/2\"/>

Fred F. Radfar P.E.
30 Windermere Lane
Houston, TX 77063
fred@radfarpe.com

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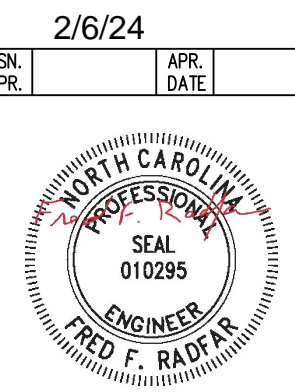
NO.	DATE	DESCRIPTION	BY	CK'D
A	02/02/24	FOR PERMIT	RV	GP

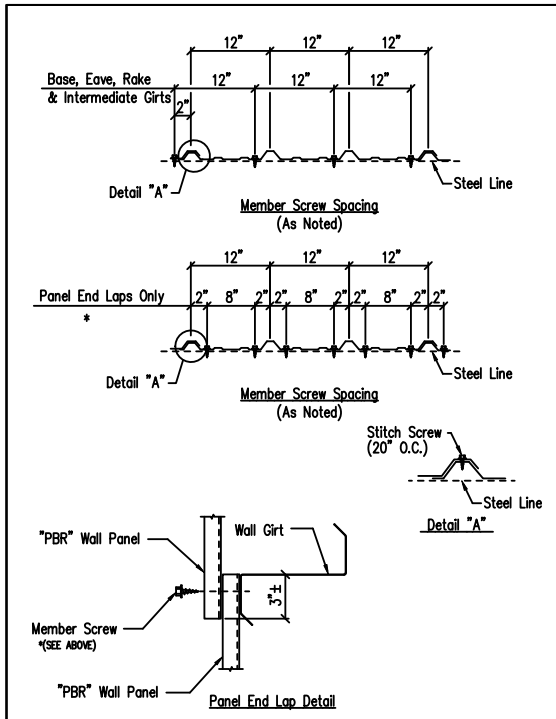
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PHONE: 800.438.1606
FAX: 800.438.1626
www.inlandbuildings.com

OWNER OR PROJECT	DESCRIPTION	SIZE	REFER TO C1
KEVIN FAKHOURY	1019 BERKLEY ROAD	2708 GREEN RIVER	112

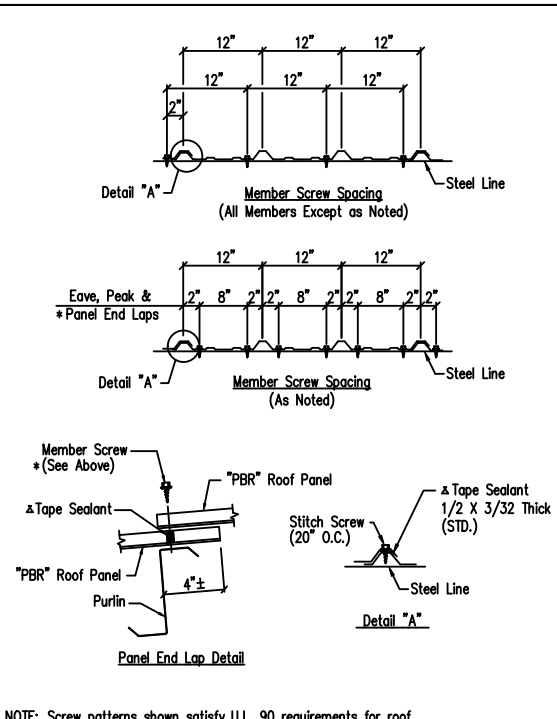
CAD BY: RV ENGR BY: FR DATE: 1/25/24 SCALE: N.T.S. JOB NO.: 194952 PH BLDG. DESC.: SHEET NO.: D2 of 4

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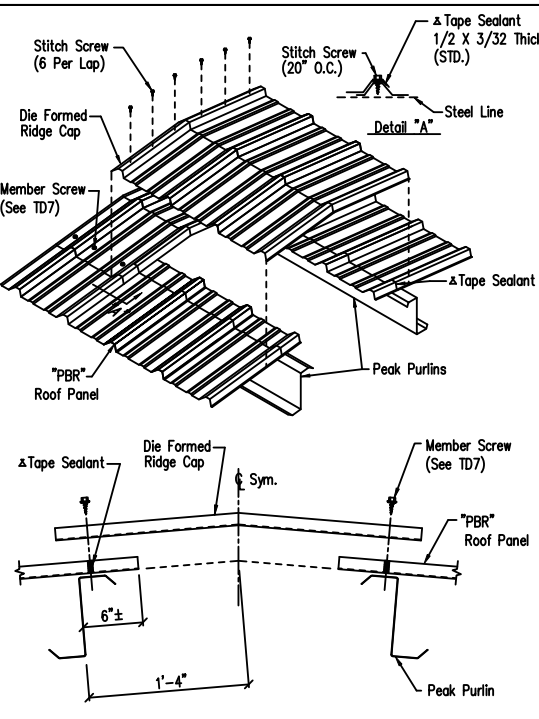




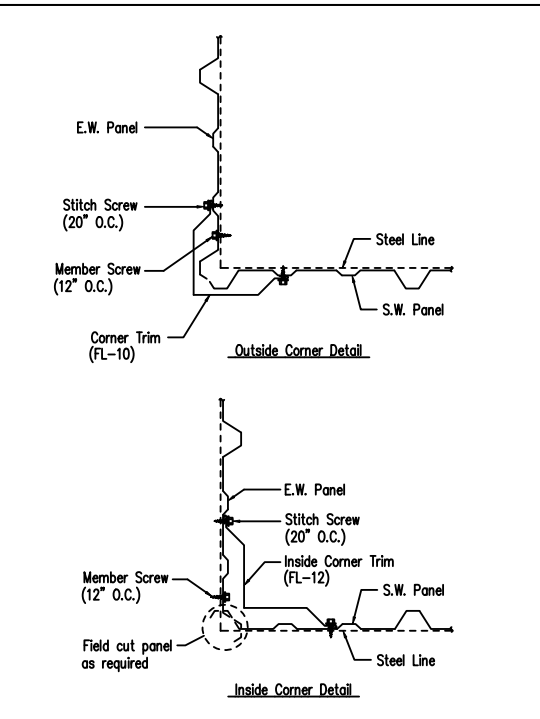
Fastener Location "PBR" Panel at Wall
DRAWING NO. TD1



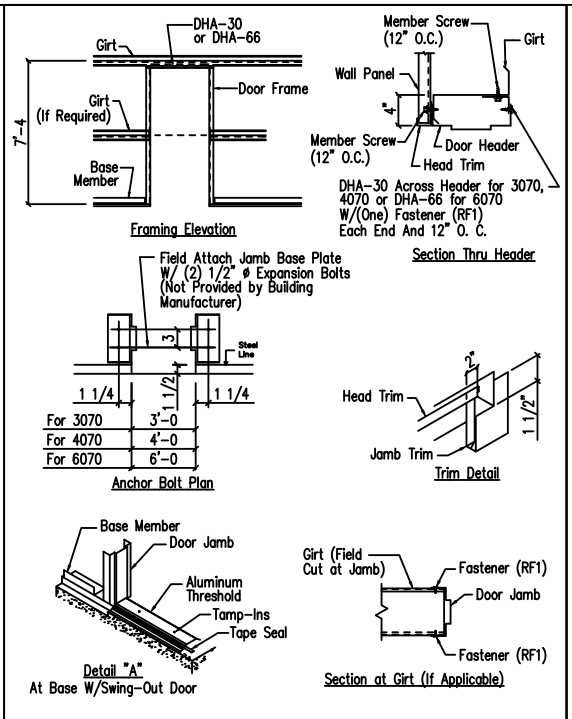
Fastener Location "PBR" Panel at Roof
DRAWING NO. TD7



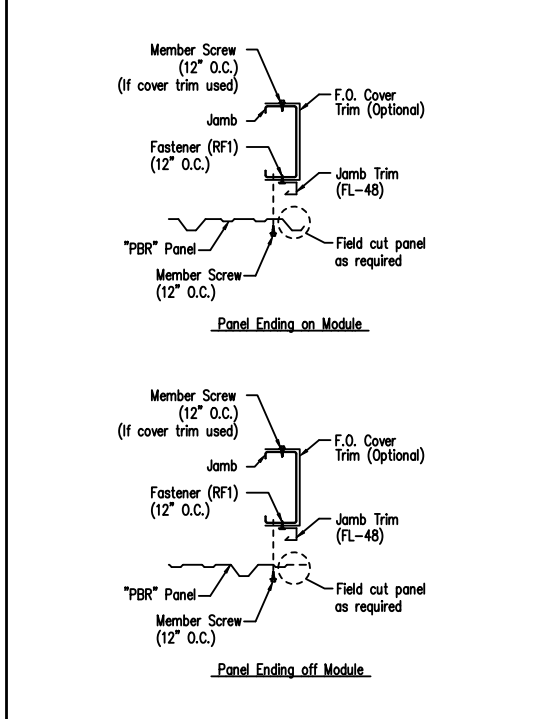
Die Formed Ridge Detail - PBR
Up to a 3:12 Roof Slope
DRAWING NO. TD8



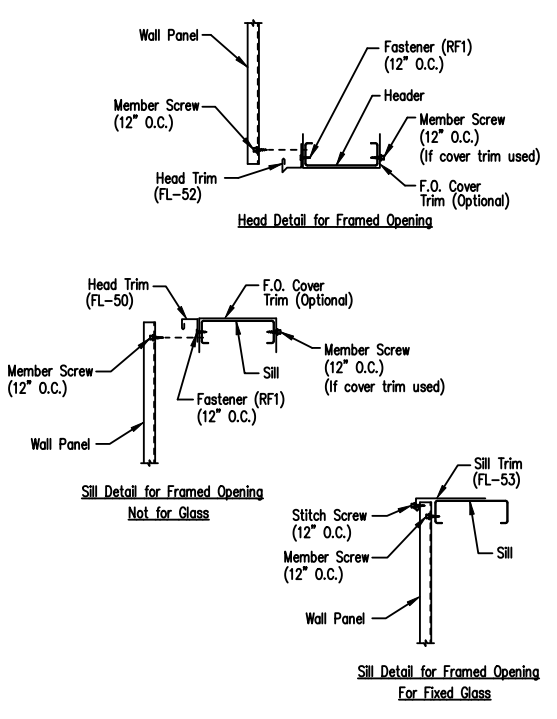
Section at Corner - PBR
DRAWING NO. TD40



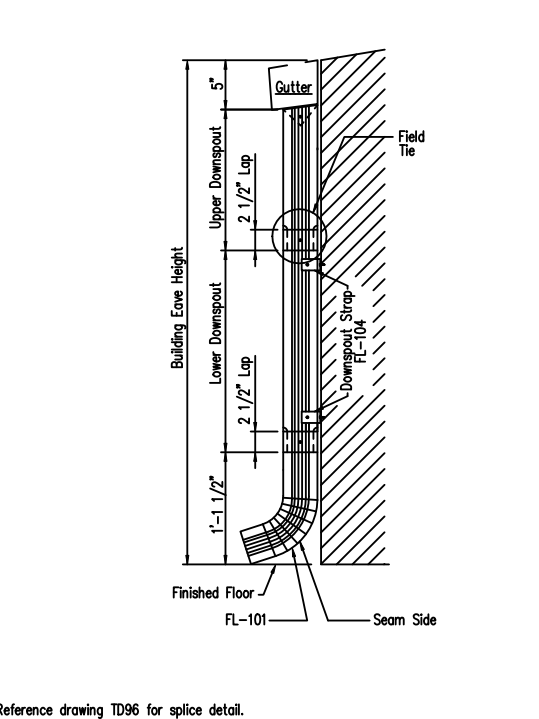
Personnel Doors (Walk Door Sections)
DRAWING NO. TD50



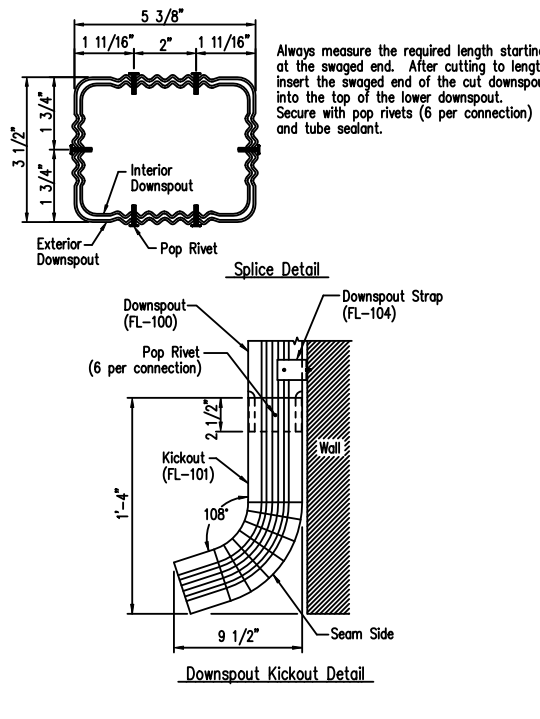
Jamb Detail For Framed Opening - PBR
DRAWING NO. TD51



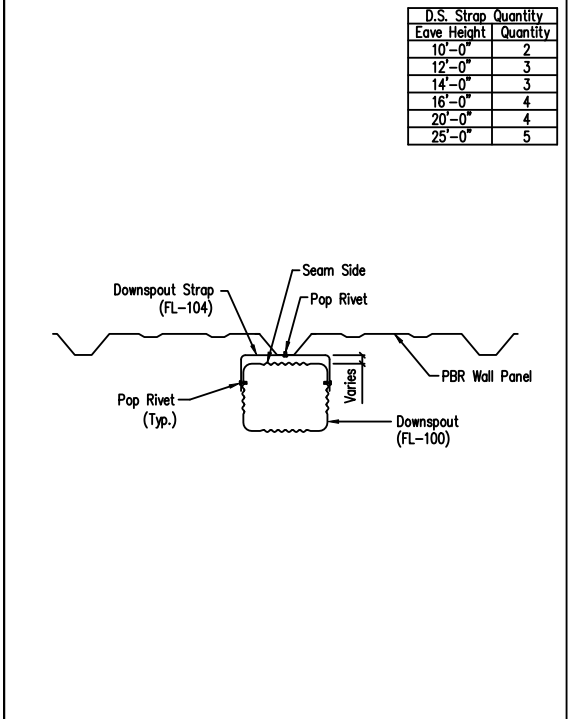
Framed Opening Head and Sill Details
DRAWING NO. TD52



Downspout Elevation
3 1/2" x 5 3/8" Roll-Form
DRAWING NO. TD90



Downspout Kickout and Splice Detail
3 1/2" x 5 3/8" Roll-Form
DRAWING NO. TD96



Downspout Strap Attachment Detail - PBR
3 1/2" x 5 3/8" Roll-Form
DRAWING NO. TD98

D.S. Strap Quantity	Eave Height	Quantity
10'-0"	2	2
12'-0"	3	3
14'-0"	3	3
16'-0"	4	4
20'-0"	4	4
25'-0"	5	5

2/6/24

DSN. APR.	APR. DATE
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4 1" WIDE x 3/32" TAPE SEAL (OPTIONAL) MUST BE SPECIFIED ON THE WORK ORDER.
* TRIM PROFILE MAY VARY.

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30 Windermere Lane
Houston, TX 77063
fred@radfar.com

North Carolina License #010295
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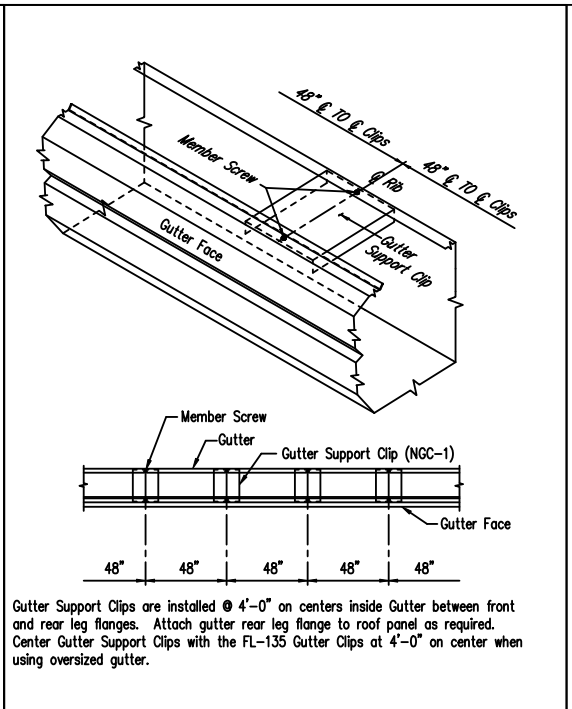
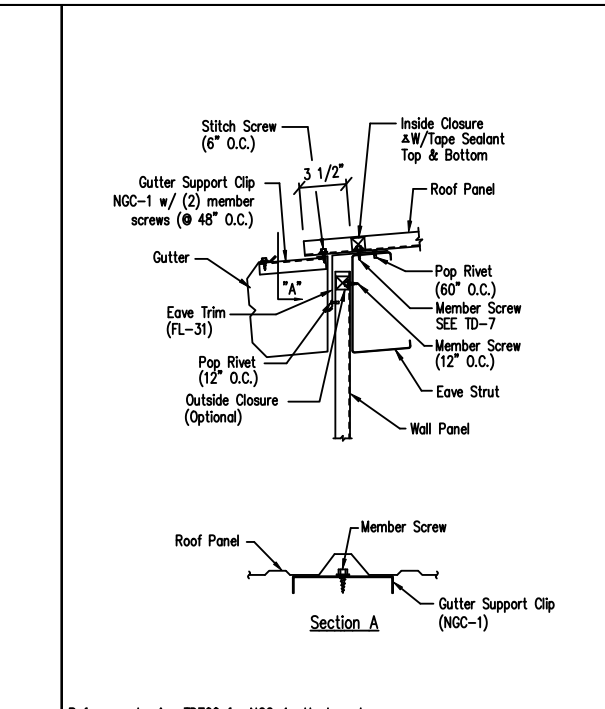
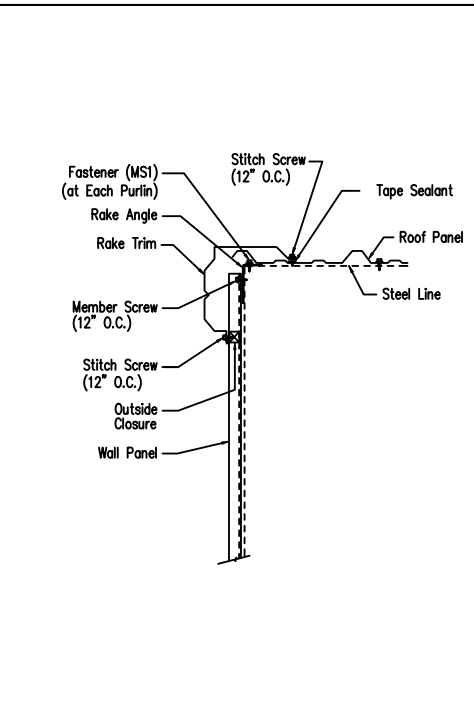
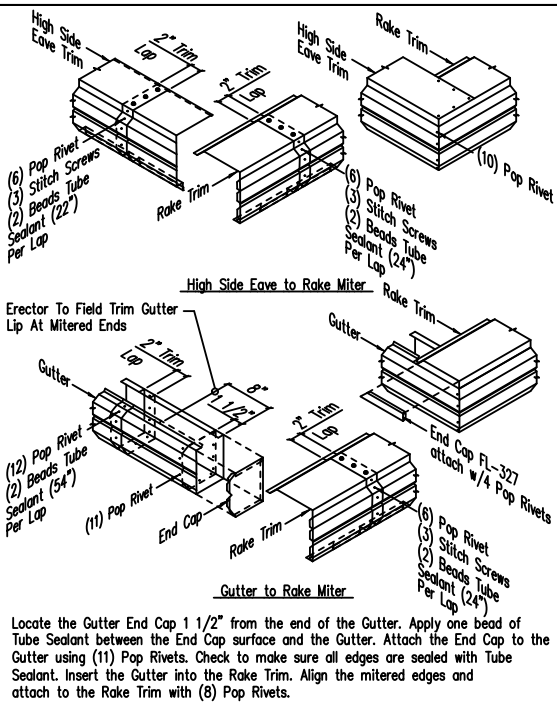
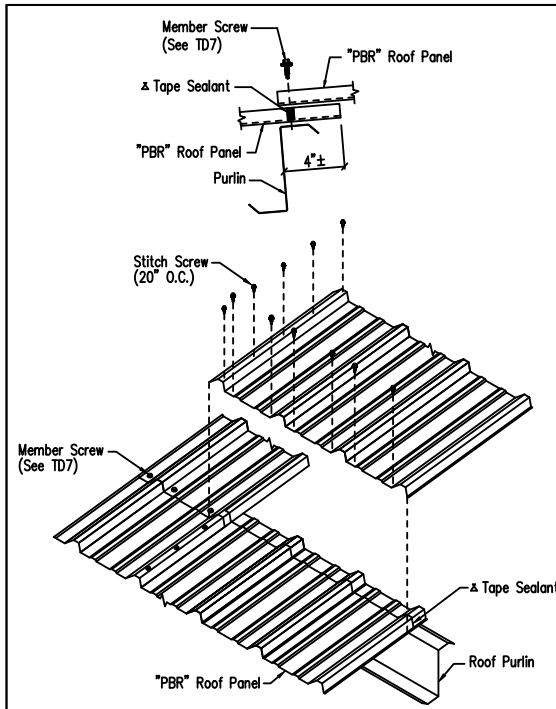
REVISIONS

NO.	DATE	DESCRIPTION	BY	CK'D
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INLAND BUILDINGS
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PHONE: 800.438.1606
FAX: 800.438.1626
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OWNER OR PROJECT:	KEVIN FAKHOURY	CUSTOMER:	OK CONSTRUCTION
JOB SITE LOCATION:	1019 BERKLEY ROAD HENDERSONVILLE, NC 28792-2486	ADDRESS:	2708 GREEN RIVER ZIRCONIA, NC 28791
CAD BY:	RV	ENGR BY:	FR
DATE:	1/25/24	SCALE:	N.T.S.
JOB NO.:	194952	PH (BLDG. DESC.):	
SHEET NO.:	D3 of 4	ISSUE:	A

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Panel Endlap Detail - PBR
DRAWING NO. TD206

PBR Northern Shadow Trim Detail
DRAWING NO. TD301

Rake Detail - PBR
Northern Shadow Rake - Sheeted Wall
DRAWING NO. TD636

Low Eave Detail - PBR
Northern Shadow Gutter - Sheeted Wall
DRAWING NO. TD637

PBR Northern Shadow Gutter Support Clip Spacing
DRAWING NO. TD700

Created On: 3/22/21, Revised On: 08/20/21 | Created On: 3/22/21, Revised On: 08/20/21 | Created On: 03/22/23, Revised On: 08/22/23 | Created On: 03/22/23, Revised On: 08/22/23 | Created On: 03/22/23, Revised On: 08/22/23

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Exp. 12/31/2024

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CITY OF HENDERSONVILLE
COMMUNITY DEVELOPMENT DEPARTMENT
100 N. King St. ~ Hendersonville, NC ~ 28792
Phone (828)697-3010 ~ Fax (828) 697-6185
https://www.hendersonvillenc.gov/



APPLICATION FOR SITE PLAN REVIEW

Section 7-3 City Zoning Ordinance

The following are required to constitute a complete application for preliminary site plan review:

- ~ This form including the property owner(s) signature(s).
 - ~ Appropriate fee.
 - ~ 2 copies and a digital file of the site plan containing items in Section 7.3-3.2 of the City Zoning Ordinance.
- Projects proposing any of the following must submit a complete application at least 32 days prior to any Planning Board meeting.
- Any commercial, industrial or institutional development consisting of 20,000 or more square feet of floor area.
 - Addition of more than 30 parking spaces.
 - Any minor planned residential development consisting of nine or more dwelling units.

The following are required for final site plan review:

- ~ This form including the property owner(s) signature(s)
- ~ 2 copies of the site plan containing items in Section 7-3-4.3 of the City Zoning Ordinance

Date Type of Plan Review Preliminary Final

Name of Project

Location/Address of Property

List 10 digit PIN or 7 digit PID number for each property

Contact Information

Address

Phone Fax Email

CHECK TYPE OF DEVELOPMENT Residential Commercial Other

Current Zoning Total Acreage

Proposed Building Sq.ft. # of Dwelling Units

Official Use:
DATE RECEIVED: _____ BY _____ FEE RECEIVED \$ _____

Applicant(s): (Developer)

Printed Name KEVIN FAKHOURY

Corporation Limited Liability Company Trust Partnership Other: Owner

Signature *Kevin Fakhoury*

Title President Email kevin.fakhoury@gmail.com

Address of Applicant 24 Country Rd, Hendersonville, NC 28791

Printed Name _____

Corporation Limited Liability Company Trust Partnership Other: _____

Signature _____

Title _____ Email _____

Address of Applicant _____

Printed Name _____

Corporation Limited Liability Company Trust Partnership Other: _____

Signature _____

Title _____ Email _____

Address of Applicant _____

Printed Name _____

Corporation Limited Liability Company Trust Partnership Other: _____

Signature _____

Title _____ Email _____

Address of Applicant _____

Printed Name _____

Corporation Limited Liability Company Trust Partnership Other: _____

Signature _____

Title _____ Email _____

Address of Applicant _____