



**CITY OF HENDERSONVILLE**  
**HISTORIC PRESERVATION COMMISSION**  
City Hall - 2nd Floor Meeting Room | 160 6th Ave E | Hendersonville NC 28792  
Wednesday, October 18, 2023 – 5:00 PM

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## AGENDA

1. **CALL TO ORDER**

2. **PUBLIC COMMENT**

3. **APPROVAL OF AGENDA**

4. **APPROVAL OF MINUTES**

A. Minutes of July 19, 2023

5. **OLD BUSINESS**

A. Approval of Findings of Fact H23-045-COA

6. **NEW BUSINESS**

A. 1619 Kensington Rd – Addition of Shed (H23-079-COA) – *Alexandra Hunt / Planner I*

B. 303 N Main St. – Replacement of Existing Windows(H23-068-COA) – *Alexandra Hunt / Planner I*

C. 225 N Main St. – Addition of Rooftop Deck & Side and Rear Windows (H23-067-COA) – *Alexandra Hunt / Planner I*

7. **ADJOURNMENT**

*The City of Hendersonville is committed to providing accessible facilities, programs and services for all people in compliance with the Americans with Disabilities Act (ADA). Should you need assistance or an accommodation for this meeting please contact the City Clerk no later than 24 hours prior to the meeting at 697-3005.*

**CITY OF HENDERSONVILLE**  
**Historic Preservation Commission**

**Minutes of the Meeting of July 19, 2023**

**Commissioners Present:** Jim Welter (Vice-Chair), Cheryl Jones, (Chair), Chris Battista, Jim Boyd, Jane Branigan, Crystal Cauley, John Falvo and Ralph Hammond-Green

**Commissioners Absent:** Anthony Baltiero

**Staff Present:** Alexandra Hunt, Planner I, Daniel Heyman, Staff Attorney, Lew Holloway, Community Development Director

- I **Call to Order.** Chair called the regular meeting of the Hendersonville Historic Preservation Commission to order at 5:02 pm.
  
- II **Public Comment.** Chair stated anyone wishing to speak would be allowed three minutes for public comment. Thomas Applebee stated he had been in landscaping his whole life. He discussed apple orchards in the area and stated he would like to take out the species of junipers and cedars as they are harmful to apple trees. To break the disease cycle you don't plant those species next to the apple orchards. He is still upset with the kiosks and has done research on it and he feels the City of Hendersonville did not go through the proper zoning procedures by not going through the HPC for approval. It is harming the residents and the shoppers. He wanted to know how they are responding to the City Council. The kiosks are harming the businesses. He talked about double taxation. He talked about when the historic downtown was created. He would the HPC to write a letter to City Council and ask that the kiosks be removed because they did not ask the Commission's approval. They are destroying the whole make up of downtown. He thinks the kiosks have to go.  
  
No one else spoke during public comment.
  
- III **Agenda.** On motion of Commissioner Welter and seconded by Commissioner Hammond-Green the agenda was approved with the withdrawal of 225 N. Main Street.
  
- IV **Approval of Amended Meeting Schedule.** On motion of Commissioner Battista and seconded by Commissioner Boyd the amended Annual Meeting Schedule was approved.
  
- V **Minutes.** On motion of Commissioner Welter and seconded by Commissioner Branigan the minutes of the meeting of May 17, 2023 were approved. Commissioner Hammond-Green abstained.
  
- VI **Old Business**
  - VI(A) **Approval of the Findings of Fact.** On motion of Commissioner Welter and seconded by Commissioner Battista the Findings of Fact for H23-035-COA were approved. Commissioner Hammond-Green abstained.
  
- VII **New Business**

- VII(A) **Certificate of Appropriateness**, City of Hendersonville, 160 6<sup>th</sup> Avenue East (File No. H23-045-COA). Prior to the opening of the public hearing, Chair announced that any persons desiring to testify at any of the public hearings must first be sworn as witnesses and will be subject to cross-examination by parties or persons whose position may be contrary to yours. A copy of the protocol for a quasi-judicial hearing is provided on the back table next to the agenda. Since this is a quasi-judicial hearing, it is very important that we have an accurate record of what goes on. Therefore, we must ask that you refrain from speaking until recognized by the Chair and, when recognized, come forward to the podium and begin by stating your name and address. Anyone who wishes to testify during the public hearings should come forward to be sworn in. Chair swore in all potential witnesses.

Chair opened the public hearing.

The applicants were on their way. Chair stated they would hold open agenda item VII(A) and move on to agenda item VII(B).

- VII(B) **Certificate of Appropriateness**, Patsy Stewart, 1420 Ridgecrest Drive (File No. H23-056-COA). Chair sworn in all potential witnesses. Patsy Stewart was sworn in.

Chair opened the public hearing.

Alexandra Hunt, Planner stated the city is in receipt of a Certificate of Appropriateness application from Patsy Stewart for the addition of a circular driveway and entrance to the garage basement at the subject property located at 1420 Ridgecrest Drive (PIN 9569-62-1692).

The subject property is contributing to the Hyman Heights Historic District. This COA application is considered a major work according to the Residential Historic District Design Standards.

The Hyman Heights Local Historic District Overlay Map was shown and is included in the staff report.

An aerial view of the property was shown.

Ms. Hunt gave a history of the subject property. The subject property is described as a contributing Vernacular Bungalow style house that is one story plus a basement located on a heavily wooded lot that drops away to the rear. You can see the location of the subject property on the 1926 Sanborn Map but was constructed in 1920. There is a long COA history with this property including a recent order to repair that since acquiring the property, the applicant applied and staff approved a COA for a roof replacement. The rest of the COA history is included in the staff report.

Site images were shown of the property's current condition. It does remain a heavily wooded lot.

The Design Standards that apply are included in the staff report. Ms Hunt stated she would be happy to answer any questions and the applicant is here as well.

Chair asked if there were any questions for staff.

Discussion was made about the driveway. Ms. Hunt stated when photos were taken it did not look like there was any gravel on that side of the house.

Commissioner Hammond-Green asked if there was a photo of the back of the house. Ms. Hunt stated she does not have a photo of the rear of the house. He thought the back of the house may indicate a carport or something like that. The picture at the back corner might indicate some type of garage in the back. That would provide evidence that there probably was one.

Commissioner Battista asked if the circular driveway was there originally. Ms Hunt stated not to her knowledge.

Patsy E. Stewart, 1420 Ridgecrest stated she is not actually living there now, she is living with her daughter. The home has electricity but it has no plumbing. They have a lot of work to do before she can occupy it. She is here proposing the Commission to approve a circular driveway. It will be close to the front door and about the width of the house. There are several reasons for it. There is a sidewalk that is in terrible disrepair. Her husband is disabled. He has multiple fractures in his spine because he has multiple myeloma. He is very curved over and has chin on chest deformity. Navigating is hard for him because it is an effort for him to lift his head. If he is walking on an uneven surface it is going to be a challenge for him. He gets winded after about 20 feet. He goes a lot further than that with his walker but he is really not able to navigate on uneven surfaces. She needs the driveway for his safety and also having two daughters and four granddaughters and the street being congested this will allow them to park on her property and not in the street. At the end of Ridgecrest there is a little drive but again, there are a lot of people that are already parking on the street and having the circular drive would just make things much easier on her and her neighbors. That is her proposal and she hopes the Commission will approve it.

The Commission asked if the material would be concrete. Ms. Stewart stated she is investigating that. She went to Sierra Nevada Brewery last weekend and saw their the permeable walkways and she is a big environmentalist and she feels this is the best way to save our earth. She stopped at Carson Paving and asked them and they told her yes, there was permeable concrete but they also showed her permeable concrete that is formed into stone.

Commissioner Welter stated as part of the Design Standards they are to look at the impact on trees and the materials used and he would like to see more information on where the driveway would go. It would be nice to locate the driveway on the map. Chair stated it sounds the driveway will come right through the front yard. Was there any indication there was a driveway there before? Ms. Stewart stated no, she does not know if there ever was one. This house has not been occupied for the last 15 years, maybe 20. It has a big flat area that was the greenhouse and apparently the owner was a florist. It is worn back there and she doesn't think he took the flowers and walked them up the hill. He probably had a truck that came down.

Discussion was made about the concern for the trees in the front yard and using permeable material and gravel is probably more original. Chair read the Design Standard pertaining to driveways and stated the Commission can't see what she is proposing on her property so they cannot visualize it and there is also concern with preserving the trees. Those are the guidelines they have to follow. To obtain the approval she needs to show it is in line with those guidelines. At this point they can't say it is congruous because they have nothing showing what she is proposing is congruous other than photos of other



properties. Ms. Stewart stated her neighbor has a beautiful circular drive and that is what she would like to do as well. Chair stated what they can do is the Commission not make a decision tonight, if she is agreeable and have her contractor draw up what she would like to emulate and they can hold this open and she can come back in August with her renderings so the Commission can see what she is proposing. That way they can compare it with the guidelines and they can make a decision on the drawing. It needs to show what she is proposing overlayed onto her property so they can see including the materials and any trees that would be effected and staff can help navigate. That would give the Commission something to look at and base a decision on. They can hold this open and let her get everything together and present it to them next month in August.

The Commission discussed having a site plan showing the side driveway and the proposed circular driveway with the trees so they have something to base a decision on.

Chair stated there is Design Review Committee that she could go before if she had this complete before the meeting in August. Ms. Stewart was agreeable with holding the application open until August.

Daniel Heyman, Staff Attorney stated staff's position was to continue the application.

***Commissioner Hammond-Green moved application H23-056-COA be placed on the August 16, 2023 meeting. Commissioner Boyd seconded the motion which passed unanimously.***

- VII(A) **Certificate of Appropriateness**, City of Hendersonville, 160 6<sup>th</sup> Avenue East (File No. H23-045-COA). Prior to the opening of the public hearing, Chair announced that any persons desiring to testify at any of the public hearings must first be sworn as witnesses and will be subject to cross-examination by parties or persons whose position may be contrary to yours. A copy of the protocol for a quasi-judicial hearing is provided on the back table next to the agenda. Since this is a quasi-judicial hearing, it is very important that we have an accurate record of what goes on. Therefore, we must ask that you refrain from speaking until recognized by the Chair and, when recognized, come forward to the podium and begin by stating your name and address. Anyone who wishes to testify during the public hearings should come forward to be sworn in. Chair swore in all potential witnesses. Sworn in were Daniel Heyman, Staff Attorney and Alberto Torres, Architect.

Chair opened the public hearing.

Alexandra Hunt, Planner stated the City is in receipt of a Certificate of Appropriateness application from the City of Hendersonville for the reopening of existing, filled-in windows on the basement level of the subject property located where this meeting is actually being held at 160 6<sup>th</sup> Avenue East (PIN 9568-88-1652) also known as City Hall.

The subject property is a contributing property within the Main Street Local Historic District. This COA application is considered a major work according to the Main Street Historic District Design Standards.

A vicinity map was shown, subject property located in yellow.

An aerial view was shown of the vicinity outlined in red.

The subject property is a contributing, Neo-Classical Revival Structure designed by Erle Stillwell and constructed in 1926. It is described as a two-story brick structure with a raised basement with double-hung windows, framed by molded concrete surrounds and cornice on the first floor and arched brick with a concrete keystone above the second floor windows. You can see in the photo that is also included in the staff report that the basement windows were originally open. The subject property went through renovations in 2004 approximately three years before City Council adopted an ordinance establishing the Main Street Local Historic District.

Photos of the existing conditions were shown of the windows that were filled in during the 2004 renovations with limestone panels.

Elevations were shown from the 2004 renovations that show the existing windows to be filled in highlighted in yellow.

The proposed windows were shown. These are elevations submitted by the applicant that show the proposed windows to be used in the existing window openings and will match the design of the current windows at the subject property.

The Design Standards that apply were shown (Section 3.4.2).

Chair asked if there were any questions for staff.

There were no questions for staff.

Chair asked if the applicant to come address the Commission.

Daniel Heyman, Staff Attorney for the City of Hendersonville stated they are careful not to authorize the unauthorized practice of law that is the only reason he is speaking right now. They would ask their architect to put on some evidence right now, Ms. Hunt covered it pretty well but he can walk through the proposal.

Alberto Torres stated the idea is to go back and reopen those windows on the City Hall building and go back to the aesthetics they had prior to the 2004 renovation. Mr. Torres explained the style of window they are proposing. They will match the existing windows up top. The materials for the muntins will be metal.

Discussion was made on the style and materials. They will match the existing windows.

Discussion was also made on the location of the windows. Mr. Torres stated the original windows are no longer there.

There were no further questions.

Chair asked if anyone would like to speak in favor or against the application. No one spoke.

Chair closed the public hearing.

The Commission had discussion on the windows and Design Standards that apply.

***Commissioner Welter moved the Commission to find as fact that the proposed application for a Certificate of Appropriateness, as identified in file # H23-045-COA and located within the Main Street Historic District, if added according to the information reviewed at this hearing and, with any representations made by the applicant on record of this hearing, is not incongruous with the character of the Hendersonville Historic Preservation Commission Design Standards (Main Street) for the following reasons: The subject property is a contributing structure. The proposed windows fill the original openings. (Sec.3.4.2.3) The proposed project to reopen existing filled in window openings is appropriate. (Sec. 3.4.2.9) The proposed windows do not diminish the original design off the building or damage historic materials and features. (Sec. 3.4.2.10) The proposed windows are compatible with existing units in proportion, shape, positioning, location, size, materials and details. (Sec. 3.4.2.10). Commissioner Hammond-Green seconded the motion which passed unanimously.***

**VIII Other Business.**

**VIII(A) Staff Update.** Ms. Hunt gave a staff update concerning the staff approved COA's. An update concerning the HPC Budget was also given. Ms. Hunt gave a handout concerning the budget. Lew Holloway, Community Development Director explained the current budget.

**VIII(B) Committees Update.** Ms. Hunt gave an update on the committees.

**IX Adjournment.** The Chair adjourned the meeting at 6:38 p.m.

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Chair

**STATE OF NORTH CAROLINA  
HENDERSON COUNTY**

**BEFORE THE HENDERSONVILLE  
HISTORIC PRESERVATION COMMISSION  
FILE NO. H23-45-COA**

**IN RE THE APPLICATION OF  
THE CITY OF HENDERSONVILLE  
FOR A CERTIFICATE OF  
APPROPRIATENESS  
PIN 9568-88-1652**

**DECISION**

This matter came before the Hendersonville Historic Preservation Commission on July 19, 2023 for a quasi-judicial hearing on the application of The City of Hendersonville for a certificate of appropriateness for a property located at 160 6<sup>th</sup> Ave E, Hendersonville, NC, Main Street Historic District, Hendersonville, PIN 9568-88-1652 (“Subject Property”) for the reopening of existing windows on the first floor, with the application being dated May 18, 2023.

The subject property is referred to as the City Hall and is identified as a contributing property in the Main Street designation report.

The file was submitted into the record. In addition Alexandra Hunt, Planner and Alberto Torres, architect testified and/or presented evidence, after first being duly sworn.

**Issues**

The Historic Preservation Commission’s adopted Main Street Historic District Design Standards and the Secretary of the Interior’s Standards are incorporated in these findings and conclusions by reference. The question presented was whether the relevant standards permit the reopening of existing windows on the first floor of the structure that have been filled, as requested in the application.

Section 3.4.2 of the Main Street Historic District Design Standards provides, in pertinent part, that:

Section 3.4.2 Windows and doors:

Windows and doors by their proportion, shape, positioning, location, pattern, and size can contribute significantly to a building’s historic character and are particularly indicative of stylistic periods. These openings in a building’s exterior also provide opportunities for natural light, ventilation, and visual connections to the interior.

**3.4.2.2** Retain and preserve openings and details of windows and doors, such as trim, sash, glass, lintels, sills, thresholds, shutters, and hardware.

**3.4.2.4** It is not appropriate to replace windows or doors with stock items that do not fill the original openings or duplicate the unit in size, material, and design.

**3.4.2.9** It is not appropriate to fill in existing window or door openings or to replace or cover them with plywood.

**3.4.2.10** It is not appropriate to introduce new windows or doors if they would diminish the original design of the building or damage historic materials and features. Keep new windows and doors compatible with existing units in proportion, shape, positioning, location, size, materials, and details.

**3.4.2.13** It is not appropriate to use snap-in muntins to create a false divided light appearance.

### **Testimony**

Testimony is accurately reflected in the minutes.

### **FINDINGS OF FACT**

Based on the above testimony, the Board finds as follows:

1. The affected property is 160 6<sup>th</sup> Ave E, Hendersonville.
2. The Subject Property is situated within the Main Street Local Historic District
3. The Subject Property is listed as contributing in the Main Street Local Designation Report.
4. The Subject Property is described in the Main Street Historic District Local Designation Report as follows:

A conservative, Neo-Classical Revival structure, designed by Erle Stillwell. It is a rectangular, two-story brick structure with a raised basement. A flight of stairs leads up to the main entrance, which is under a full height tetrastyle portico. The actual entrance consists of a bracketed, pedimented doorway. The roof is flat and unadorned. Windows are double hung, framed by molded concrete surrounds and cornice on first floor, and arched brick with a concrete keystone above second floor windows. An inscription above the portico reads "Erected by the People / Dedicated to the Perpetuation / of Civic Progress Liberty and / The Security of Public Honor." Host of the original interior fabric is intact. Hendersonville's City Hall is one of several public structures executed by local architect Erle Stillwell during the 1920s. Although he sometimes employed other styles, Stillwell worked most frequently in a conservative Neo-Classical style in his non-residential buildings. The structure reflects both the prosperity of Hendersonville during the 1920s and the architectural sophistication Erle Stillwell's practice brought to the city. It replaced a circa 1892 Romanesque City Hall and Opera House which had been on Main Street. The new structure was started in 1926 and dedicated in November of 1928.

5. Applicant has requested a Certificate of Appropriateness to reopen existing windows that have been filled in on the first floor/basement level of the building.
6. The windows were filled in approximately three years before the Historic District was established requiring certificates of appropriateness for this sort of work.
7. The proposed windows match existing windows on the building in size, scale,

shape, and material.

8. The original windows were removed and are not behind the limestone that was used to fill in the openings or set aside.
9. The proposal to reopen the windows is **not incongruous** with the Main Street Historic District because it meets the following Design Standards:
  - a. **Sec. 3.4.3.2** – The proposed windows fill the original openings.
  - b. **Sec. 3.4.2.9** – The proposed project to reopen existing filled in window openings is appropriate.
  - c. **3.4.2.10** - The proposed windows do not diminish the original design off the building or damage historic materials and features, and are compatible with existing units in proportion, shape, positioning, location, size, materials and details.

### CONCLUSIONS OF LAW

Based on the above findings of fact, the Commission concludes as follows:

The reopening of the windows on the first floor of the structure, as proposed in the application, and with the representations made by the applicant at the hearing, is **not incongruous** with the character of the Hendersonville Historic Preservation Commission Design Standards pursuant to Section 28-147 of the City Code, and the Certificate of Appropriateness should be **granted**.

### DECISION

For the above reasons, the application for a certificate of appropriateness is granted subject to the conditions stated, and the certificate is ordered issued.

Done this 18<sup>th</sup> day of October, 2023.

\_\_\_\_\_  
Chair



# CITY OF HENDERSONVILLE AMENDED AGENDA ITEM SUMMARY PLANNING DIVISION



**SUBMITTER:** Alexandra Hunt, Planner I      **MEETING DATE:** October 18, 2023

**AGENDA SECTION:** New Business      **DEPARTMENT:** Community Development

**TITLE OF ITEM:** 1619 Kensington Rd – Addition of Shed  
(H23-079-COA) – *Alexandra Hunt / Planner I*

## **SUGGESTED MOTION(S):**

### **1. For Recommending Approval:**

I move the Commission to find as fact that the proposed application for a Certificate of Appropriateness, as identified in file # H23-079-COA and located within the Druid Hills Historic District, if added according to the information reviewed at this hearing and, with any representations made by the applicant on record of this hearing, is **not incongruous** with the character of the Hendersonville Historic Preservation Commission Design Standards (Residential) for the following reasons:

1. The shed is compatible with the traditional relationship of accessory buildings to the main structure and the site in the district. [Sec. 2.5.7]
2. The shed is compatible in size, form, height, proportion, materials, and details with historic accessory structures in the historic district. [Sec. 2.5.8]
3. The shed is screened from view from the street. [Sec. 2.5.8]

**[DISCUSS & VOTE]**

### **1. For Recommending Denial:**

I move the Commission to find as fact that the proposed application for a Certificate of Appropriateness, as identified in file # H23-079-COA and located within the Druid Hills Historic District, if added according to the information reviewed at this hearing and, with any representations made by the applicant on record of this hearing, is **incongruous** with the character of the Hendersonville Historic Preservation Commission Design Standards (Residential) for the following reasons:

1. The shed is not compatible with the traditional relationship of accessory structures to the main structure and the site in the district. [Sec. 2.5.7]
2. The shed is not compatible in size, form, height, proportion, materials, and details with historic accessory structures in the historic district. [Sec. 2.5.7]

**[DISCUSS & VOTE]**

**SUMMARY:**

The City is in receipt of a Certificate of Appropriateness (COA) application from Tatjana Kopp (Applicant/Property Owner) for the addition of a shed at the subject property located at 1619 Kensington Rd.

The subject property is a non-contributing, one-story-plus-basement style house located in the Druid Hills Local Historic District.

The Applicant made the following statement related to their request:

“I would like to place a shed in my backyard. The shed is 10’ x 12’. It will be hidden behind the house, not visible from the street. I made an effort to find a shed that fits well into the style of the neighborhood. I plan to paint it in the same colors of my house. It will be made of would like my house.” (See Exhibit B)

This COA application is considered a Major Work according to the standards of the Residential Historic District Design Standards.

<b>PROJECT/PETITIONER NUMBER:</b>	H23-079-COA
<b>PETITIONER NAME:</b>	Tatjana Kopp (Applicant/Property Owner)
<b>EXHIBITS:</b>	<ul style="list-style-type: none"> <li>A. Staff Report</li> <li>B. COA Application</li> <li>C. Henderson County Property Records</li> </ul>



# 1619 Kensington Rd. – Addition of Shed

## (H23-079-COA)

CITY OF HENDERSONVILLE - COMMUNITY DEVELOPMENT - HISTORIC PRESERVATION  
COA STAFF REPORT

### Staff Report Contents

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## PROJECT SUMMARY

**Applicant/Property Owner:** Tatjana Kopp  
(Exhibit A)

**Property Address:** 1619 Kensington Rd.

**Project Acreage:** 0.16

**Parcel Identification Number(s):**  
9569-43-6385

**Current Parcel Zoning:** R-10 Medium  
Density Residential

**Historic District:** Druid Hills Historic  
District

**Project Type:** Major Work (Addition of a  
shed)



SITE VICINITY MAP

### **Project Summary:**

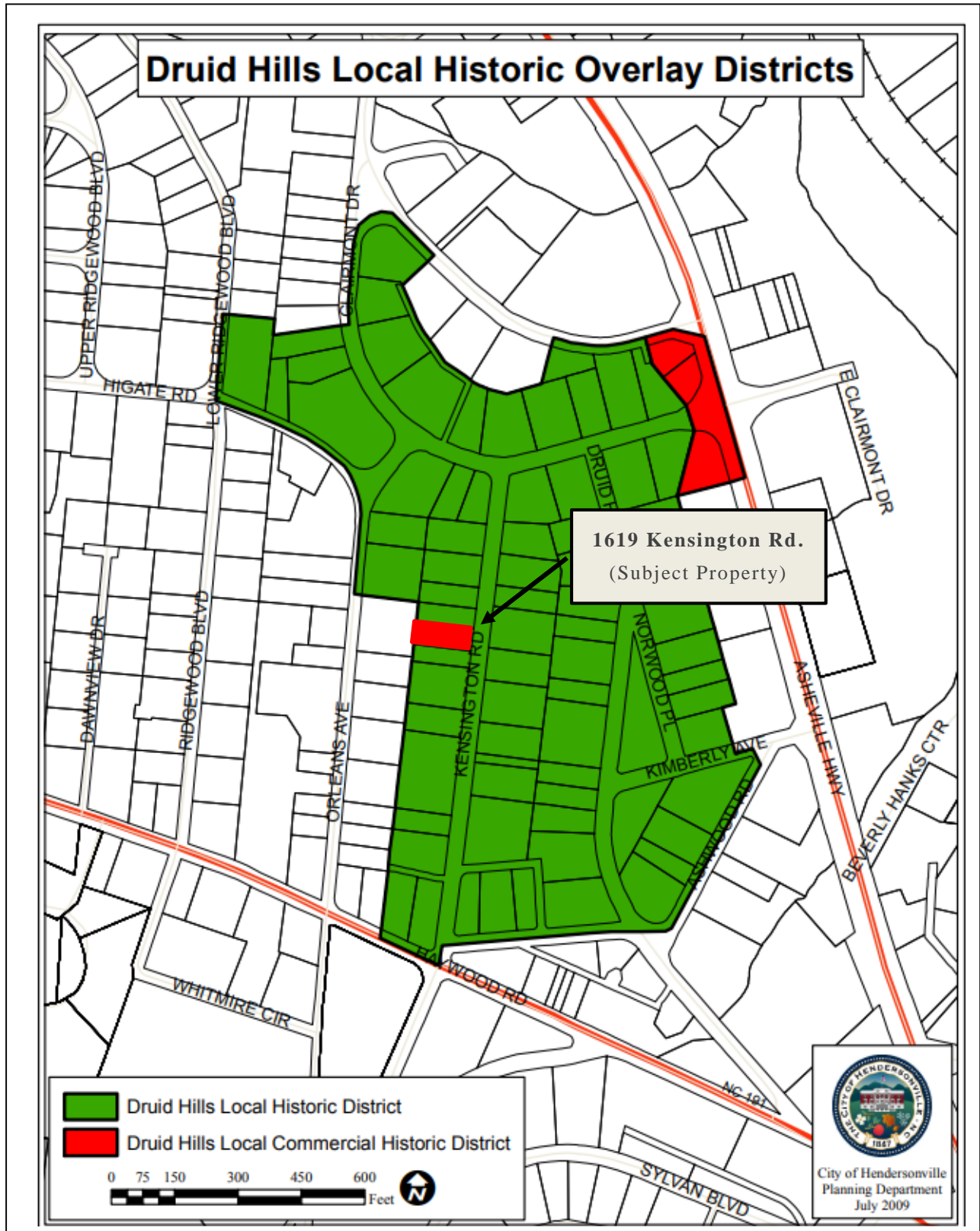
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The subject property is a non-contributing, one-story-plus-basement style house located in the Druid Hills Local Historic District.

The Applicant made the following statement related to their request:

“I would like to place a shed in my backyard. The shed is 10’ x 12’. It will be hidden behind the house, not visible from the street. I made an effort to find a shed that fits well into the style of the neighborhood. I plan to paint it in the same colors of my house. It will be made of wood like my house.” (See Exhibit B)

This COA application is considered a Major Work according to the standards of the Residential Historic District Design Standards.



CITY OF HENDERSONVILLE – DRUID HILLS HISTORIC OVERLAY MAP



## HISTORY OF SUBJECT PROPERTY



### 1619 Kensington Road, ca. early 1950's

Non-contributing, one-story-plus basement style house with side gable roof and projecting front gable bay at the northeast corner. Wing on the south side has garage beneath. Walls are asbestos shingle with scalloped board panels in the gable ends, probably original to the house. Windows are six-over-six and the front door is modern. Small lot slopes away to the rear.

## COA HISTORY

July 5, 2002 – Staff approved COA for the construction of a 12' x 24' rear deck.

July 17, 2002 – Commission approved COA for the partial enclosure of a deck with a gabled roof, double wood screen doors.

September 9, 2004 – Staff approved COA for the addition of a 4' wood picket fence ; repair of holes in driveway ; and replace front window with double hung window

September 13, 2005 – Staff approved COA for the removal of two cedar trees to be replaced with 3 species of trees crabapple, cherry, or redbud.

November 30, 2015 – Staff approved COA for the removal of one oak tree.

SITE IMAGES





SITE IMAGES CONT'D



## PROPOSED SHED & SITE PLAN



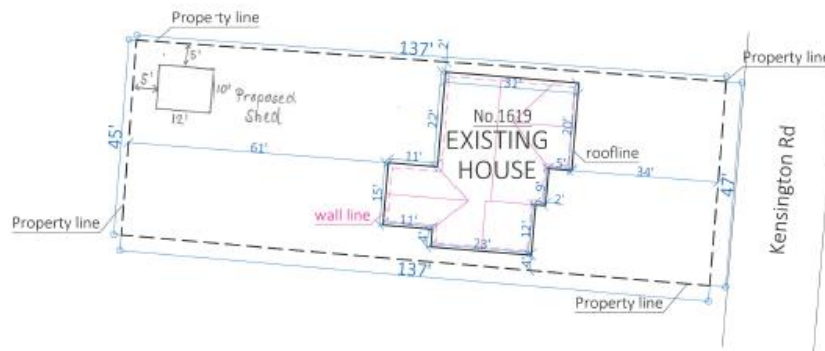
### Specifications

Assembly	Do it Yourself
Brand	Yardline
Color	Brown
Dimensions (WxDxH)	12 ft. x 10 ft. x 10 ft.
Door Opening Dimensions: W x H	56 in. x 72 in.
Features	Lockable Doors
Features	Rust Resistant
Features	Weather Resistant
Material	Wood
Maximum Roof Load	25 Pound per Square Foot
Model	16549
Number of Doors	2
Number of Shelves	2 Shelves
Number of Vents	2
Number of Windows	4

(Images taken from [costco.com/Stonecroft-12'x10'-wood-storage-shed](https://www.costco.com/Stonecroft-12'x10'-wood-storage-shed))

### SITE PLAN

1619 Kensington Rd  
Hendersonville, NC 28791  
Parcel ID: 9569436385  
Lot area: 0.16 Acres  
Paper Size: 11"x17"



Proposed Site Plan submitted by Applicant.



## DESIGN STANDARDS CRITERIA

The proposed addition is governed by the *Hendersonville Historic Preservation Commission Residential Design Standards*, which is applied to the City's Residential Historic Districts and Landmarks. The following sections are applicable to the proposed Certificate of Appropriateness application:

### **Section 2.5 Garages and Accessory Structures**

**Sec. 2.5.1** – Retain and preserve garages and accessory structures that contribute to the overall historic character of the individual building site or the district.

**Sec. 2.5.2** – Retain and preserve the character-defining materials, features, and details of historic garages and accessory buildings, including foundations, roofs, siding, masonry, windows, doors, and architectural trim.

**Sec. 2.5.3** – Maintain and when necessary repair, the character-defining materials, features, and details of historic garages and accessory buildings according to the pertinent guidelines.

**Sec. 2.5.4** - If replacement of a deteriorated element or detail of a historic garage or accessory building is necessary, replace only the deteriorated portion in kind rather than the entire feature. Match the original element or detail in design, dimension, texture, color, and material. Consider compatible substitute materials only if using the original material is not technically feasible.

**Sec. 2.5.5** - If a historic garage or accessory building is missing or deteriorated beyond repair, replace it with a design based on accurate documentation or a new design compatible in form, scale, size, materials, and finish with the principal structure and other historic garages and accessory buildings in the district. Maintain the traditional height and proportion of garages and accessory buildings in the district.

**Sec. 2.5.6** - Locate and orient new garages and accessory buildings in locations compatible with the traditional relationship of garages and accessory buildings to the main structure and the site in the district.

**Sec. 2.5.7** - It is not appropriate to introduce a prefabricated accessory building if it is not compatible in size, form, height, proportion, materials, and details with historic accessory structures in the historic district, or unless screened from view from the street.

**Sec. 2.5.8** - It is not appropriate to introduce a new garage or accessory building if doing so will detract from the overall historic character of the principal building and the site, or require removal of a significant building element or site feature, such as a mature tree.

**Sec. 2.5.9** - It is not appropriate to introduce features or detail to a garage or an accessory building in an attempt to create a false historical appearance.



## EXHIBITS

- Exhibit A – Application
- Exhibit B – Henderson County Property Records



APPLICATION FOR A  
CERTIFICATE OF APPROPRIATENESS PERMIT

100 N. King Street ~ Hendersonville, NC ~ 28792

Phone (828)697-3010 ~ Fax (828) 697-6185

www.cityofhendersonville.org

**HENDERSONVILLE HISTORIC PRESERVATION COMMISSION**

The following are required to constitute a complete application:

~ This form including the property owner's signature.

~ Attachments such as sketches, photos, site plan, etc., necessary to clearly explain the project.

Date 8.12.2023

Local District/Landmark Druid Hills

Address of Property

1619 Kensington Rd, Hendersonville NC ~~94791~~ 94791

Property Owner: Name

Tatjana Kopp

Address

4520 Webster St, Oakland CA, 94609

Day Phone

510 928 7279

Contact Name (if other than owner)

tat.kopp@aol.com

Address

Phone

Details of proposed work: (attach additional papers if needed).

I would like to place a shed in my backyard. The size is 10x12 ft. It will be hidden behind the house, not visible from the street. But still, I made effort to find a shed that fits well into the style of the neighborhood. I plan to paint it in the same colors as my house.

Attachments:

Photographs ☒

Sketch

Site Plan (showing existing features and proposed) ☒

Commercial samples

Commercial brochures

See: costco.com/product, 381026 stonecraft - 12' x 10' - wood-storage-shed---do-it-yourself-assembly. product. 100161778.html

The burden of proof is on the applicant to prove the proposed work is in keeping with the historical character of the historic district. Please list specific reference(s) in the **Design Guidelines** that support your application.

It will be made of wood like my house. Windows will look similar to the main house. Shed will be behind the house, lower on a slope. Not visible from street. Setback will be 5 ft, as required from back and sides.

I, the undersigned, certify that all information in this application and in any attachments thereto is accurate to the best of my knowledge. Furthermore, I understand that should a certificate of appropriateness be issued, such certificate will be valid for a period of six months from the date of issuance. Failure to procure a building permit within that period will be considered as failure to comply with the certificate, and the certificate will become invalid. If a building permit is not required, the authorized work must be completed within six months. Certificates can be extended for six months by requesting an extension in writing prior to their expiration from the Commission Coordinator.

Owner's  
Signature

Tatjana Kopp

Owner's  
Signature

Item A.



The Stonecroft 12'x10' shed by Yardline features 1,018 cubic feet of storage capacity, so you'll have plenty of space for riding mowers, lawn tools, building materials and more. The unique roof design features an integrated dormer with transom windows for natural light. Two large windows and shutters invite more light inside while making your space feel like home.

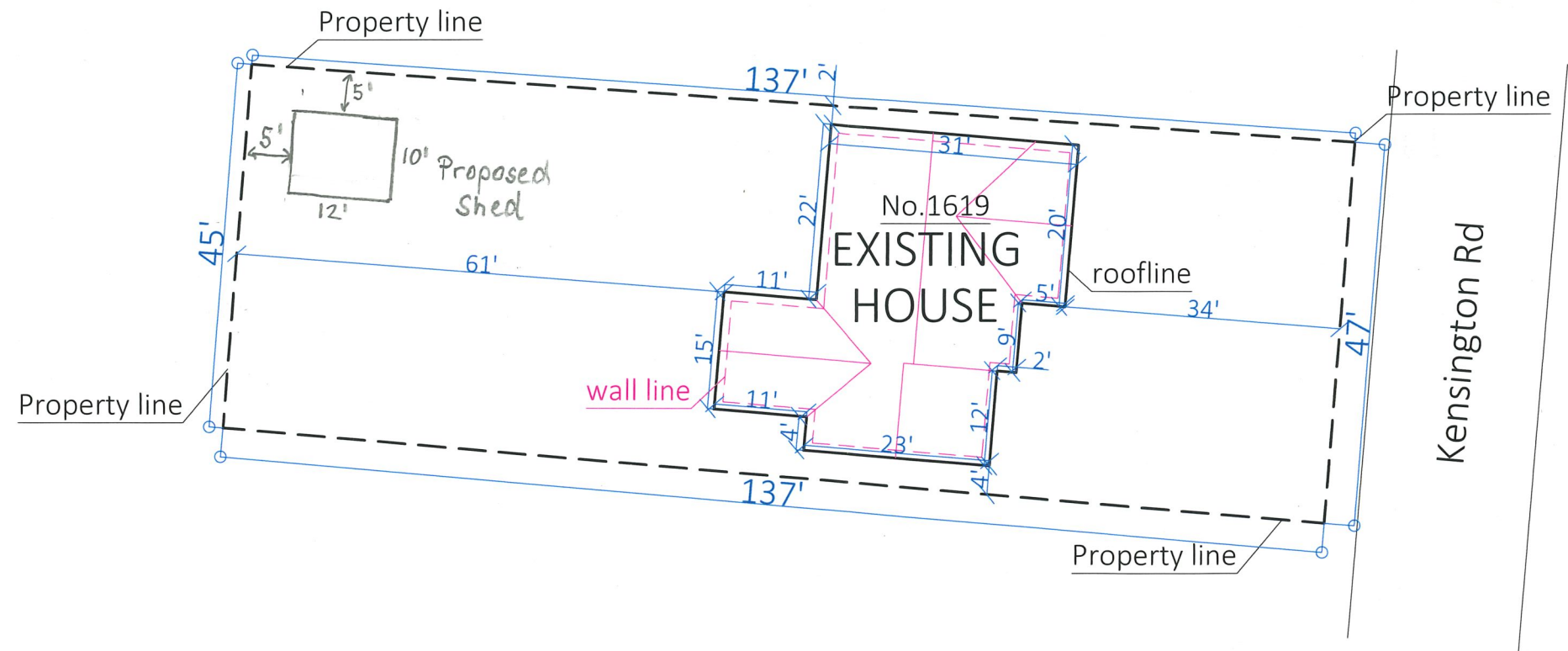
*costco.com/stonecroft-12'-x-10'-wood-storage-shed---  
do-it-yourself-assembly.product.100161778.html*

1619 Kensington Rd  
Hendersonville, NC 28791  
Parcel ID: 9569436385  
Lot area: 0.16 Acres  
Paper Size: 11"x17"

Hendersonville, NC 28791

Lot area: 0.16 Acres

Paper Size: 11"x17"





BK 4036    PG 91 - 93 (3)

This Document eRecorded:

Fee: \$26.00

Henderson County, North Carolina

William Lee King, Register of Deeds

DOC# 1000996722

04/24/2023    04:05:17 PM

Tax: \$690.00

NORTH CAROLINA GENERAL WARRANTY DEED

Excise Tax: \$690.00

Parcel Identifier No: 111769 Verified by \_\_\_\_\_ County on the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

By: \_\_\_\_\_

Mail/Box to: Clement Law Firm, 162 Coxe Ave., Ste. 102, Asheville, NC 28801 ←

This instrument was prepared by: Sherri L. Brewer DEED PREP ONLY- No Title Examined

Brief description for the Index: Lot 134, Druid Hills Subdivision

THIS DEED made this \_\_\_\_\_ day of April, 2023, by and between

GRANTOR	GRANTEE
Austin C. Russell and wife, Marissa Anne Russell	Tatjana Maria Kopp  4520 Webster St. Oakland, CA 94609

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot or parcel of land situated Henderson County, North Carolina and more particularly described as follows:

SEE ATTACHED EXHIBIT A.

The property hereinabove described was acquired by Grantor by instrument recorded in Book 3131 at Page 106.

All or a portion of the property herein conveyed X includes or \_\_ does not include the primary residence of a Grantor.

A map showing the above described property is recorded in Plat Cabinet B, Slide 53-A..

submitted electronically by "Clement Law Firm, PLLC"

in compliance with North Carolina statutes governing recordable documents

and the terms of the submitter agreement with the Henderson County Register of Deeds.

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

And the Grantor covenants with the Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and defend the title against the lawful claims of all persons whomsoever, other than the following exceptions:

**Subject to Henderson County ad valorem taxes.**

**Subject to the City of Hendersonville ad valorem taxes.**

**Subject to Restrictions, Easements, and Rights of Way of Record.**

IN WITNESS WHEREOF, the Grantor has duly executed the foregoing as of the day and year first above written.

Austin C. Russell

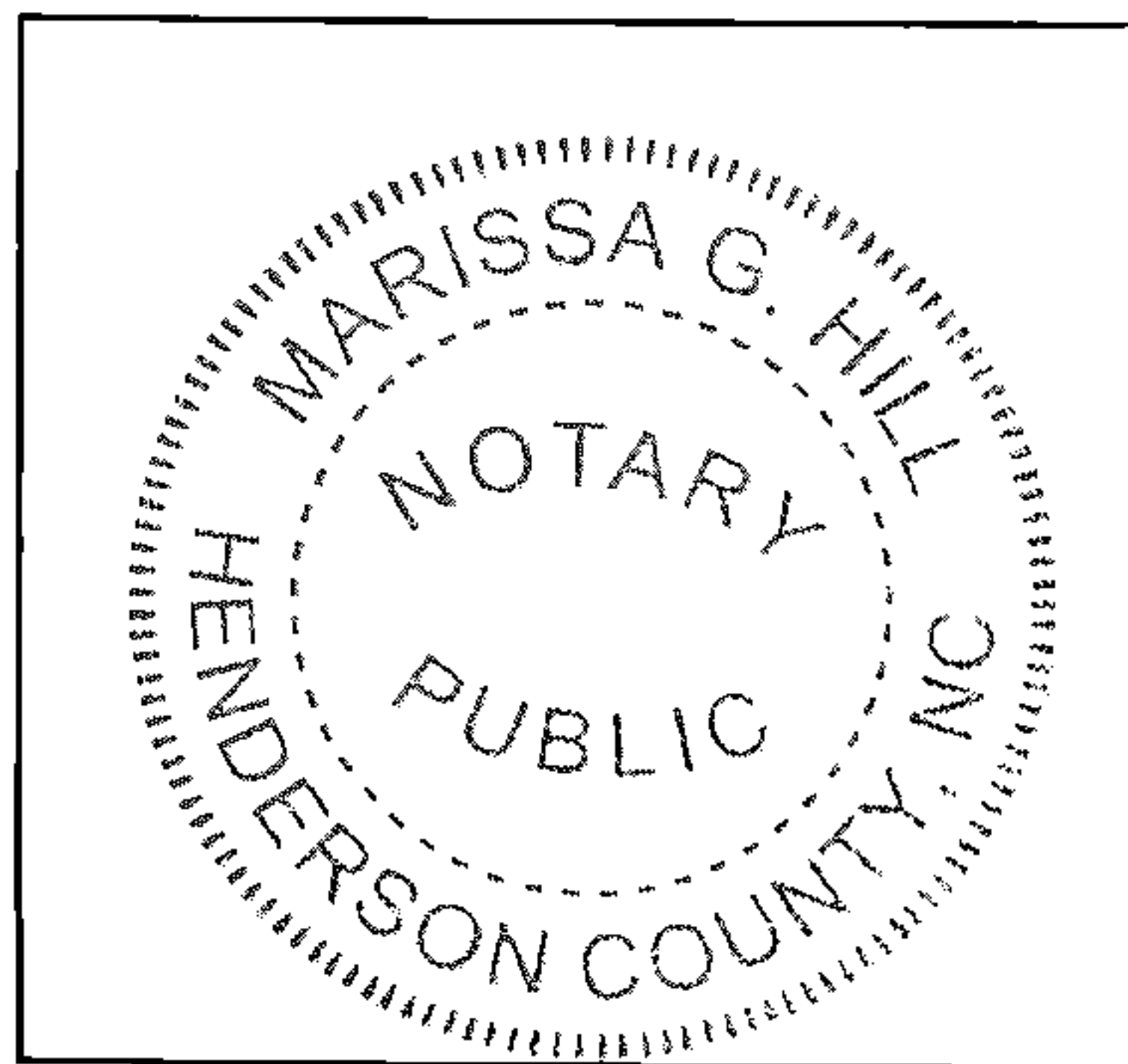
(SEAL)

Austin C. Russell

Marissa Anne Russell

(SEAL)

Marissa Anne Russell



(Affix Seal)

State of North Carolina- County of Hendereson

I, the undersigned Notary Public of the County and State aforesaid, certify that Austin C. Russell and Marissa Anne Russell personally appeared before me this day and acknowledged the due execution of the foregoing instrument for the purposes therein expressed. Witness my hand and Notarial stamp or seal this 18<sup>th</sup> day of April, 2023.

Marissa G. Hill  
Marissa G. Hill

My Commission Expires: 10/12/2027

Notary Public

## EXHIBIT A

BEING all of Lot 134 of the Druid Hills Subdivision, as shown on plat thereof recorded in Plat Book 1, Page 105, reindexed in Plat Cabinet B, Slide 53-A in the Office of the Register of Deeds for Henderson County, North Carolina, and more particularly described as follows:

BEGINNING at a stake in the western margin of Kensington Road, said stake standing South 5 deg 32 min West 323.40 feet from the center of a concrete monument which marks the juncture of an arc of a circle whose radius is 52.3 feet with said margin, said arc connecting said margin with the southern margin of Clairmont Drive; thence South 5 deg 32 min West 50 feet to a stake, the northeast corner of Lot 124; thence along said margin of said lot North 84 deg 16 min West 132.8 feet to a stake; thence North 4 deg 9 min East 50 feet to a stake, the southwest corner of Lot 136; thence along the southern margin of said lot South 84 deg 16 min East 134 feet to the point of BEGINNING.

AND BEING all of that property conveyed to Austin C. Russell and wife, Marissa Anne Russell by deed recorded in Deed Book 3131, at Page 106 in the Office of the Register of Deeds for Henderson County, North Carolina.



## CITY OF HENDERSONVILLE AGENDA ITEM SUMMARY PLANNING DIVISION



**SUBMITTER:** Alexandra Hunt, Planner I      **MEETING DATE:** October 18, 2023

**AGENDA SECTION:** New Business      **DEPARTMENT:** Community Development

**TITLE OF ITEM:** 303 N Main St. – Replacement of Existing Windows(H23-068-COA) –  
*Alexandra Hunt / Planner I*

### SUGGESTED MOTION(S) FOR THE ADDITION OF THE ROOFTOP DECK:

#### 1. For Recommending Approval:

I move the Commission to find as fact that the proposed application for a Certificate of Appropriateness, as identified in file # H23-068-COA and located within the Main Street Historic District, if added according to the information reviewed at this hearing and, with any representations made by the applicant on record of this hearing, is **not incongruous** with the character of the Hendersonville Historic Preservation Commission Design Standards (Main Street) for the following reasons:

1. The subject property is a contributing structure.
2. The proposed windows do not diminish the original design of the building or damage historic materials and features. [Sec. 3.4.2.10]
3. The proposed windows are compatible with existing units in proportion, shape, positioning, location, size, and details. [Sec. 3.4.2.10]

**[DISCUSS & VOTE]**

#### 1. For Recommending Denial:

I move the Commission to find as fact that the proposed application for a Certificate of Appropriateness, as identified in file # H23-068-COA and located within the Main Street Historic District, if added according to the information reviewed at this hearing and, with any representations made by the applicant on record of this hearing, is **incongruous** with the character of the Hendersonville Historic Preservation Commission Design Standards (Main Street) for the following reasons:

1. The subject property is a contributing structure.
2. The proposed windows are vinyl windows.
3. It is not appropriate to replace existing vinyl windows with new vinyl windows on contributing structures. [Sec. 3.4.2.14]
4. Artificial materials are not appropriate on buildings on contributing properties. Existing artificial materials on contributing properties should be replaced with traditional materials. [Sec. 3.8.1]

**[DISCUSS & VOTE]**



**SUMMARY:**

The City is in receipt of a Certificate of Appropriateness (COA) application from Patty Adamic (Applicant) and Love In An Apothecary LLC (Property Owner) for the replacement of 17 existing vinyl windows with new, vinyl windows.

The subject property is a contributing, two-story brick building and is currently the location of Mike's On Main restaurant.

The Applicant has engaged with Dunlap Construction to perform the following work:

- Install 17 windows (15 second level, 2 lower level) and all associated trim
- Remove and dispose of trim at three smaller side window locations where the windows are not to be replaced
- Install trim at three smaller side window locations where the windows are not to be replaced
- Paint all trim to match current

(See Exhibit A)

The replacement and installation of the 17 windows is considered a Major Work to be reviewed by the Commission. The removal and installation of trim is considered a Minor Work to be reviewed and approved by the Coordinator of the Historic Preservation Commission if the work is consistent with the Main Street Design Standards.

<b>PROJECT/PETITIONER NUMBER:</b>	H23-068-COA
<b>PETITIONER NAME:</b>	Patty Adamic (Applicant)
<b>EXHIBITS:</b>	<ul style="list-style-type: none"> <li>A. Staff Report</li> <li>B. COA Application and Scope of Work</li> <li>C. Warranty Deed</li> </ul>

# 303 N Main St. – Replacement of Existing Windows (H23-068-COA)

CITY OF HENDERSONVILLE - COMMUNITY DEVELOPMENT - HISTORIC PRESERVATION  
COA STAFF REPORT

## Staff Report Contents

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- Exhibit B – Warranty Deed .....	9



## PROJECT SUMMARY

**Applicant:** Patty Adamic

**Property Owner:** Love In An Apothecary LLC (Exhibit B)

**Property Address:** 303 N. Main St.

**Project Acreage:** 0.06 Acres

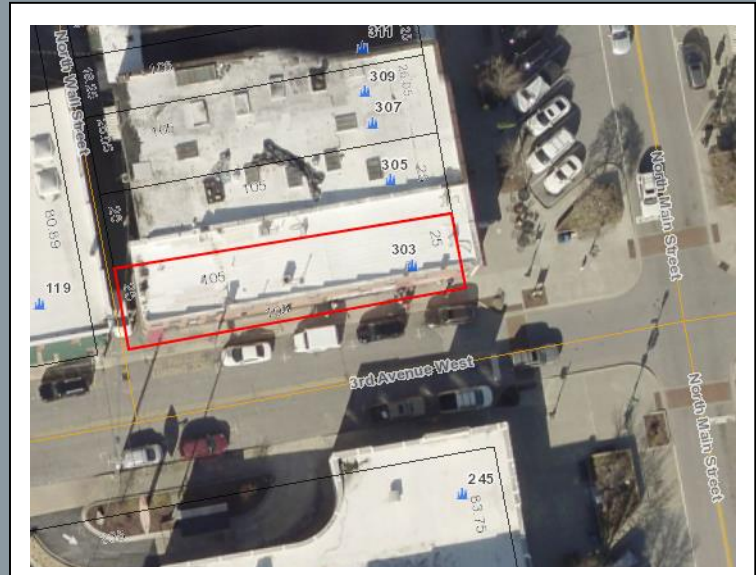
**Parcel Identification Number(s):**

9568-77-8873

**Current Parcel Zoning:** C-1 Central Business

**Historic District:** Main Street Historic District

**Project Type:** Major Work (replacement of existing windows)



SITE VICINITY MAP

### **Project Summary:**

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(See Exhibit A)

The replacement and installation of the 17 windows is considered a Major Work to be reviewed by the Commission. The removal and installation of trim is considered a Minor Work to be reviewed and approved by the Coordinator of the Historic Preservation Commission if the work is consistent with the Main Street Design Standards.

PROJECT SUMMARY – CONTINUED



CITY OF HENDERSONVILLE – MAIN STREET LOCAL HISTORIC OVERLAY MAP



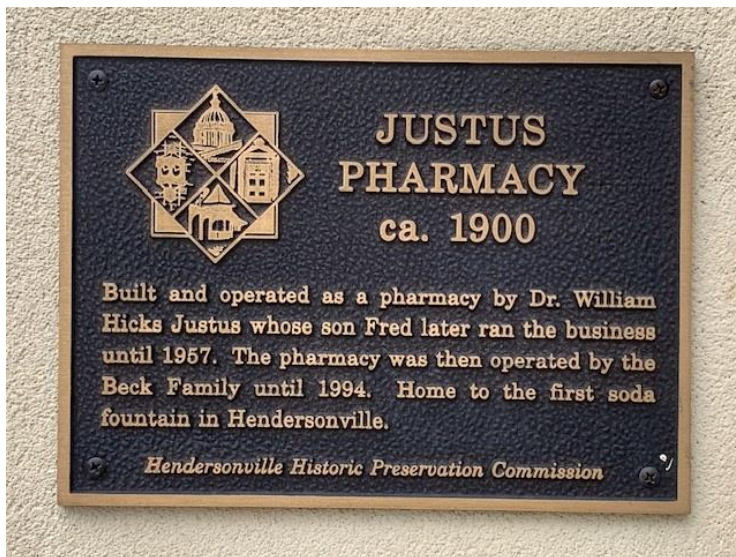
## HISTORY OF SUBJECT PROPERTY



### **303 N Main St. – Justus Pharmacy Ca. 1900**

Two-story brick building with stucco applied to front facade. Underlying brick shows through, including crenellation beneath corbelled cornice. Glass block and black Carrara glass added at storefront. Built as a pharmacy for W. H. Justus, remaining in the same family until 1957, and still run under the same name. Interior retains much of its earlier character.

According to the French Broad Hustler, April 19, 1906, "The Justus Pharmacy, newly painted and decorated, inside and out, with its handsome new awning presents a handsome appearance." Mr. Hunter and Mr. Justus were continually trying to outdo the other with new soda fountains. French Broad Hustler, April 11, 1907: "The new fountain at the Justus Pharmacy is now almost ready, only a little plumbing required to put it in working order. It is of the new style, the clerks drawing different beverages from under the front counter. It is undoubtedly one of the handsomest fountains to be found anywhere. The massive back is of mahogany and plate glass, and remarkably beautiful glass, outlined with electric lights of different sizes. The electric light fixtures are of brass, very pretty in design. The counters and front are entirely of marble, with a heavy brass rail at the top and bottom. The latest appliances and cleanliness and quickness are incorporated in the big fountain, and the whole effect is most pleasing. "



### **Historical Marker placed in 2009**

*JUSTUS PHARMACY ca. 1900*

*"Built and operated as a pharmacy by Dr. William Hicks Justus whose son Fred later ran the business until 1957. The pharmacy was then operated by the Beck Family until 1994. Home to the first soda fountain in Hendersonville."*

SITE IMAGES SUBMITTED BY APPLICANT



## DESIGN STANDARDS CRITERIA

The proposed addition is governed by the *Hendersonville Historic Preservation Commission Main Street Design Standards*, which is applied to the City's Main Street Historic Districts and Landmarks. The following sections are applicable to the proposed Certificate of Appropriateness application:

### **Section 3.4.2 Windows and Doors Standards**

Windows and doors by their proportion, shape, positioning, location, pattern, and size can contribute significantly to a building's historic character and are particularly indicative of stylistic periods. These openings in a building's exterior also provide opportunities for natural light, ventilation, and visual connections to the interior.

**Sec. 3.4.2.1** Retain and preserve original windows and doors.

**Sec. 3.4.2.2** Retain and preserve openings and details of windows and doors, such as trim, sash, glass, lintels, sills, thresholds, shutters, and hardware.

**Sec. 3.4.2.3** If replacement of a window or door element is necessary, replace only the deteriorated element to match the original in size, scale, proportion, pane or panel division, material, and detail.

**Sec. 3.4.2.4** It is not appropriate to replace windows or doors with stock items that do not fill the original openings or duplicate the unit in size, material, and design.

**Sec. 3.4.2.5** Protect and maintain existing windows and doors in appropriate ways:

- Maintain caulking and glazing putty to prevent air or water infiltration around glass.
- Weatherstrip windows and doors to prevent moisture and air infiltration.
- Check sills and thresholds to ensure that water run off does not collect.
- Maintain a sound paint film on all wooden windows and doors.
- Monitor the condition of wooden windows and doors.
- Note: Both the peeling of paint and the widening of joints may create the false appearance of deteriorated wood.

**Sec. 3.4.2.6** Repair original windows, doors, and frames by patching, splicing, consolidating, or otherwise reinforcing deteriorated sections.

**Sec. 3.4.2.7** Construct replacement shutters of wood, size them to window openings, and mount them so that they are operable. It is not appropriate to introduce window shutters where no evidence of earlier shutters exists. .8 The use of reflective or highly tinted glass is discouraged.

**Sec. 3.4.2.8** The use of reflective or highly tinted glass is discouraged.

**Sec. 3.4.2.9** It is not appropriate to fill in existing window or door openings or to replace or cover them with plywood.

**Sec. 3.4.2.10** It is not appropriate to introduce new windows or doors if they would diminish the original design of the building or damage historic materials and features. Keep new windows and doors compatible with existing units in proportion, shape, positioning,

location, size, materials, and details.

**Sec. 3.4.2.11** If a new window or door is required to meet building and safety codes, it should be done in a way that is the least intrusive to the façade and without destroying historic materials and features.

**Sec. 3.4.2.12** If exterior storm windows are desired, they should have little visual impact. Storm windows should be painted to match the building and the color of the window sash. Storm windows should match the existing in size and proportion. Install them so that existing windows and frames are not damaged or obscured.

**Sec. 3.4.2.13** It is not appropriate to use snap-in muntins to create a false divided light appearance.

**Sec. 3.4.2.14** In accordance with the Artificial Materials guidelines (Section 3.8), it is not appropriate to replace existing vinyl windows with new vinyl windows on contributing structures.

**Sec. 3.4.2.15** Existing windows and doors on non-contributing structures should be replaced in-kind.



### **Section 3.8. Artificial Materials**

The majority of the structures in the City's local historic districts were built using traditional materials. In order to preserve the character of Hendersonville's local historic districts, the Historic Preservation Commission prefers the use of traditional materials in restoration and new construction projects. Since vinyl and other artificial materials were not utilized to construct most buildings in the historic districts, the Historic Preservation Commission intends to limit the use of artificial materials in order to preserve the architectural integrity and overall character of the district.

Properties and structures in a historic district are categorized as either contributing or non-contributing by the local designation report prepared for each district. Contributing properties contain structures that were typically over 50 years old at the time the designation report was prepared and add to the historic integrity or architectural qualities that make a district significant. Non-contributing properties contain structures that are generally less than 50 years old or have been altered so that their architectural qualities have been lost.

The Historic Preservation Commission may consider whether a structure is listed as contributing or non-contributing on the district's local designation report when reviewing an application to install artificial materials. The following guidelines apply to the use of artificial materials on contributing or non-contributing properties:

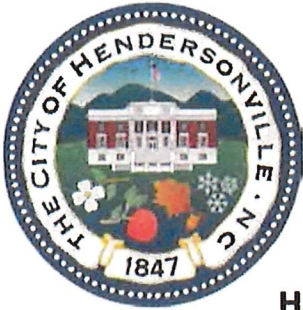
**Sec. 3.8.1** Artificial materials are not appropriate on buildings on contributing properties. Existing artificial materials on contributing properties should be replaced with traditional materials.

**Sec. 3.8.2** Replace windows, doors, siding, trim and other exterior materials on non-contributing structures in-kind.

**Sec. 3.8.3** The use of artificial materials in new construction shall be limited so that the new building is compatible with the surrounding contributing properties.

## EXHIBITS

- Exhibit A – COA Application and Scope of Work
- Exhibit B – Warranty Deed



APPLICATION FOR A  
CERTIFICATE OF APPROPRIATENESS PERMIT  
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Phone (828)697-3010 ~ Fax (828) 698-6185  
www.hendersonvillenc.gov

HENDERSONVILLE HISTORIC PRESERVATION COMMISSION

The following are required to constitute a complete application:

~ This form including the property owner's signature.

~ Attachments such as sketches, photos, site plan, etc., necessary to clearly explain the project.

Date 8/8/23 Local District/Landmark Main St.

Address of Property 303 North Main St., Hendersonville, NC 28792

Property Owner: Name Love In An Apothecary LLC

Address P.O. Box 2528, Palm Beach, FL 33480 Day Phone 954-410-4216

Contact Name (if other than owner) Patty Adamic

Address pattyadamic@ Phone

Details of proposed work: (attach additional papers if needed).

See attached proposal

Attachments: ☒ Photographs ☐ Sketch ☐ Site Plan (required for new construction)  
☐ Commercial samples ☒ Commercial brochures

The burden of proof is on the applicant to prove the proposed work is in keeping with the historical character of the historic district. Please list specific reference(s) in the **Design Guidelines** that support your application.

I, the undersigned, certify that all information in this application and in any attachments thereto is accurate to the best of my knowledge. Furthermore, I understand that should a certificate of appropriateness be issued, such certificate will be valid for a period of six months from the date of issuance. Failure to procure a building permit within that period will be considered as failure to comply with the certificate, and the certificate will become invalid. If a building permit is not required, the authorized work must be completed within six months. Certificates can be extended for six months by requesting an extension in writing prior to their expiration from the Commission Coordinator.

Owner's Signature Jane C. Rankin, Trustee Owner's Signature \_\_\_\_\_

Jane C. Rankin, Trustee of the Burton Handelman Trust  
U/M dated 9/17/14, as Amended and Restated, Manager

Ian Grant

QUOTE BY : Ian Grant  
 SOLD TO : Dunlap Construction  
 PO# :  
 Ship Via : Ground

QUOTE # : JW230400HY2 - Version 0  
 SHIP TO :  
 PROJECT NAME : Dunlap - Mikes on Main  
 REFERENCE :

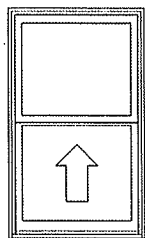
U-Factor Weighted Average: 0.3

SHGC Weighted Average: 0.23

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
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Line 1

Rough Opening : 32 X 54



Viewed from Exterior. Scale: 1/2" = 1'

BLVST3254

Frame Size: 31 1/2 x 53 1/2

Actual Size: 31 1/2 -in X 53 1/2 -in

Builders Vinyl Single Hung Window Tilt Nail Fin (1 1/4" setback), Almond

Ext/Almond Int , Vent Height = 27 ,

EStar North-Central SunResist Clear Argon

Bundled Standard Screen with Fiberglass Mesh,

Almond Int Hardware, Cam Lock(s), 2 Locks, \*Does Not Meet Egress\*, ,

Clear Opening 28.6w, 22.8h, 4.5sf,

US National-AAMA PG50, DP+50/-50,

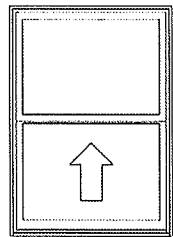
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PEV 2023.1.0.4292/PDV 7.061 (03/02/23)PA

4

Line 2

Rough Opening : 41 X 58



Viewed from Exterior. Scale: 1/2" = 1'

Frame Size: 40 1/2 x 57 1/2

Actual Size: 40 1/2 -in X 57 1/2 -in

Builders Vinyl Single Hung Window Tilt Nail Fin (1 1/4" setback), Almond

Ext/Almond Int , Vent Height = 29 ,

EStar North-Central SunResist Clear Argon

Bundled Standard Screen with Fiberglass Mesh,

Almond Int Hardware, Cam Lock(s), 2 Locks, \*Meets 5.7 sqft Egress (All

Floors)\*, , Clear Opening 37.6w, 24.8h, 6.5sf,

US National-AAMA PG50, DP+50/-50,

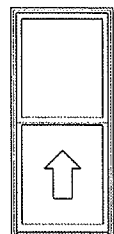
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PEV 2023.1.0.4292/PDV 7.061 (03/02/23)PA

2

Line 3

Rough Opening : 32 X 72



Viewed from Exterior. Scale: 1/2" = 1'

BLVST3272

Frame Size: 31 1/2 x 71 1/2

Actual Size: 31 1/2 -in X 71 1/2 -in

Builders Vinyl Single Hung Window Tilt Nail Fin (1 1/4" setback), Almond

Ext/Almond Int , Vent Height = 36 ,

EStar North-Central SunResist Clear Argon

Bundled Standard Screen with Fiberglass Mesh,

Almond Int Hardware, Cam Lock(s), 2 Locks, \*Meets 5.7 sqft Egress (All

Floors)\*, , Clear Opening 28.6w, 31.8h, 6.3sf,

US National-AAMA PG50, DP+50/-50,

U-Factor: 0.30, SHGC: 0.23, VT: 0.54, CR: 56.00, CPD: JEL-A-225-09361-00001

PEV 2023.1.0.4292/PDV 7.061 (03/02/23)PA

cust-60030

Page 1 of 2 (Prices are subject to change.)

JW230400HY2 (Ver:0)- 04/14/2023 3.06 PM

Quote Date: 04/14/2023

Drawings are for visual reference only and may not be to exact scale.  
 All orders are subject to review by JELD-WEN

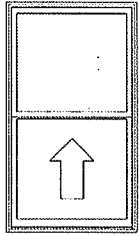
Last Modified: 04/14/2023

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
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11

Line 4

Rough Opening : 41 X 72



Frame Size: 40 1/2 x 71 1/2

Actual Size: 40 1/2 -in X 71 1/2 -in

Builders Vinyl Single Hung Window Tilt Nail Fin (1 1/4" setback), Almond  
Ext/Almond Int , Vent Height = 36 ,

EStar North-Central SunResist Clear Argon

Bundled Standard Screen with Fiberglass Mesh,

Almond Int Hardware, Cam Lock(s), 2 Locks, \*Meets 5.7 sqft Egress (All  
Floors)\*, , Clear Opening 37.6w, 31.8h, 8.3sf,

US National-AAMA PG50, DP+50/-50,

U-Factor: 0.30, SHGC: 0.23, VT: 0.54, CR: 56.00, CPD: JEL-A-225-09361-  
00003

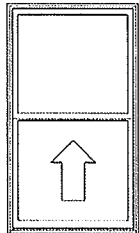
PEV 2023.1.0.4292/PDV 7.061 (03/02/23)PA

Viewed from Exterior. Scale: 1/2" =1'

3

Line 5

Rough Opening : 41 X 72



Frame Size: 40 1/2 x 71 1/2

Actual Size: 40 1/2 -in X 71 1/2 -in

Builders Vinyl Single Hung Window Tilt Nail Fin (1 1/4" setback), Almond  
Ext/Almond Int , Vent Height = 36 ,

EStar North-Central SunResist Clear Tempered , Argon

Bundled Standard Screen with Fiberglass Mesh,

Almond Int Hardware, Cam Lock(s), 2 Locks, \*Meets 5.7 sqft Egress (All  
Floors)\*, , Clear Opening 37.6w, 31.8h, 8.3sf,

US National-AAMA PG50, DP+50/-50,

U-Factor: 0.30, SHGC: 0.23, VT: 0.54, CR: 56.00, CPD: JEL-A-225-09361-  
00003

PEV 2023.1.0.4292/PDV 7.061 (03/02/23)PA

Viewed from Exterior. Scale: 1/2" =1'

1

**Total:****Hendersonville (7.0000%):****Net Total:****Total Units:**

21



# ESTIMATE

720B North Grove Street  
Hendersonville, NC 28792  
Phone: (828) 697-9598

ESTIMATE	DATE
Mike's on Main – Window Replacement Option #2	6/16/23

## TO

Mike's on Main  
Attn: Patty Adamic  
303 N Main Street  
Hendersonville, NC 28792  
[pattyadamic@gmail.com](mailto:pattyadamic@gmail.com)  
828-513-8037

Project Description: Window Replacement Option #2 at Mike's on Main	AMOUNT
<ul style="list-style-type: none"> <li>Obtain all necessary parking and encroachment permits.</li> <li>Provide all necessary equipment for second-level window demo and install, including temporary scaffolding and scissor lift, as needed.</li> <li>Remove and dispose of 17 windows and all associated trim material</li> <li>Install 17 windows (15 second level, 2 lower level) and all associated trim.</li> <li>Remove and dispose of trim at three smaller side window locations where the windows are not to be replaced.</li> <li>Install trim at three smaller side window locations where the windows are not to be replaced.</li> <li>Paint all trim to match current.</li> </ul> <p>NOTE: This estimate does not include replacing the windows or trim at the 4 locations on the back of the building.</p>	
<i>Thank you for your business!</i>	<b>TOTAL: \$36,550.00</b>

If you have any questions about this estimate, please contact our office at (828) 697-9598 or [jill@dunlapconstructionnc.com](mailto:jill@dunlapconstructionnc.com)









FILED IN HENDERSON COUNTY REGISTER OF DEEDS  
OFFICE. NEDRA W. MOLES, REGISTER *NWm*

DATE: Aug. 10, 2007 TIME: 12:20 PM

EXCISE TAX STAMP: \$1486.00

BOOK: 1329 PAGE: 671

Doc Stamps \$ 1,486.00

Prepared by: B.B. Massagee III  
Deed Preparation Only

Return to: ➔ William M. Alexander, Jr.

**STATE OF NORTH CAROLINA**

**GENERAL WARRANTY DEED**

**COUNTY OF HENDERSON**

THIS DEED, made and entered into this the 10<sup>th</sup> day of August, 2007, by and between Duncan Acquisitions, LLC, a North Carolina limited liability company (herein referred to as the "party of the first part"), and Love in an Apothecary, LLC, a North Carolina limited liability company (the "party of the second part", and having a mailing address of P. O. Box 28, Gedney Station, White Plains, N.Y. 10605);

**WITNESSETH:**

The said party of the first part, for and in consideration of the sum of Ten Dollars (\$ 10.00) and Other Valuable Consideration to it in hand paid by the said party of the second part, receipt of which is hereby acknowledged, has bargained and sold, and by these presents does bargain, sell, and convey in fee simple unto said party of the second part, its successors and assigns, a certain tract or parcel of land lying and being in Hendersonville Township, Henderson County, North Carolina, more particularly described in the attached legal description, Exhibit A,

TO HAVE AND TO HOLD the aforesaid tract or parcel of land, together with all privileges and appurtenances thereunto belonging, to the said party of the second part and its successors and assigns, in fee simple forever.

And said party of the first part does covenant that it is seized of said lands in fee simple and has the right to convey the same in fee simple, that title to same is marketable and free and clear of all encumbrances, claims, easements, leases, restrictions or restrictive covenants, and that it will warrant and defend the title herein conveyed against the lawful claims of all persons whomever. This conveyance and these warranties are made subject to the rights-of-way of Main Street and Third Avenue (including the sidewalks related to such) and the 10-foot alley lying west of North Main Street, to the rights of others regarding the party wall located at or upon the northern boundary of the subject property, to utility easements and restrictive covenants of record, to 2007 Henderson County and City of Hendersonville ad valorem property taxes, and to zoning regulations.

IN TESTIMONY WHEREOF, Duncan Acquisitions, LLC, has hereunto caused this deed to be executed in its name by its Manager-Member the day and year first above written.

DUNCAN ACQUISITIONS, LLC

By: Bonnie S. Duncan  
Bonnie S. Duncan, Manager-Member

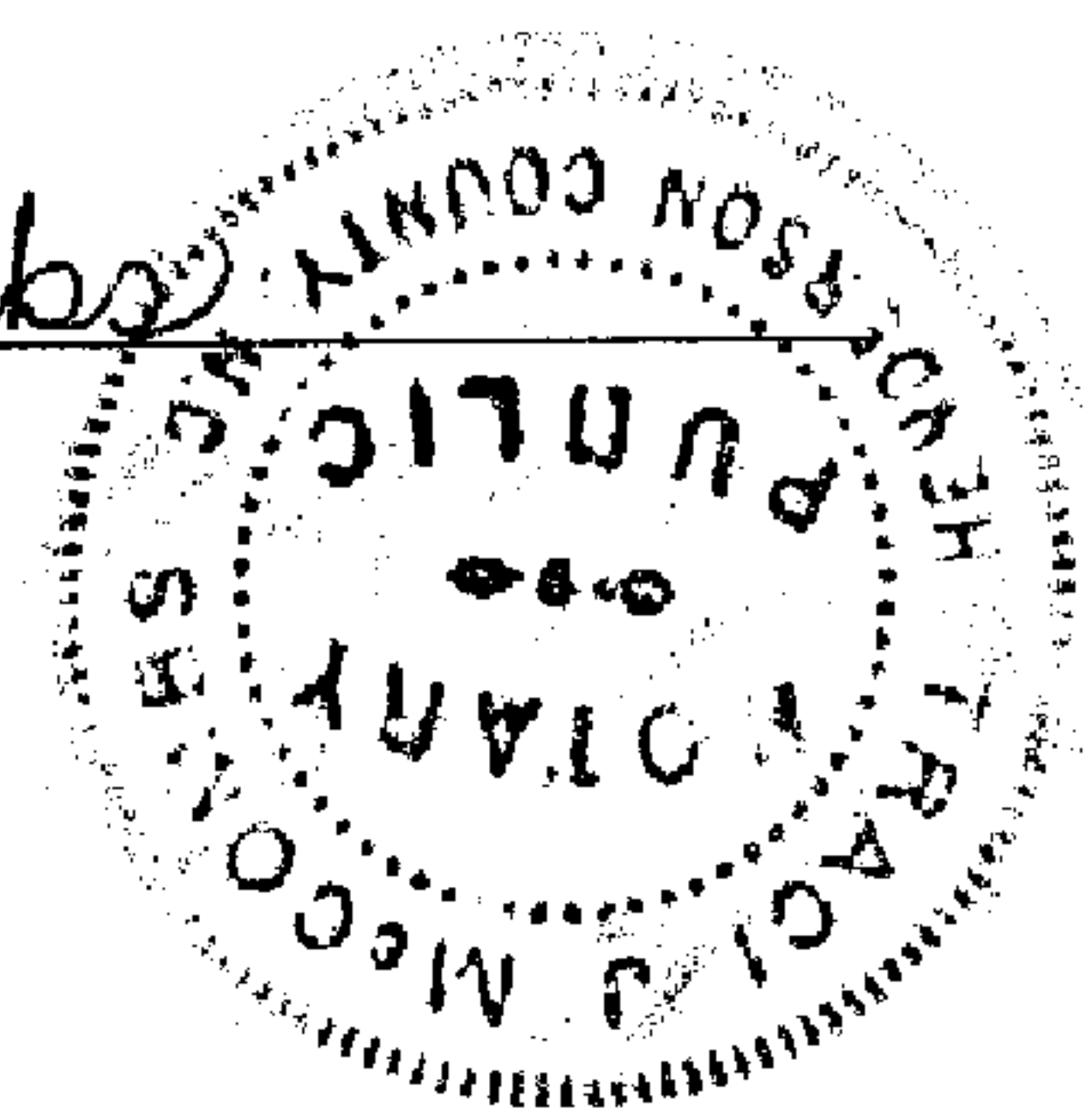
STATE of NORTH CAROLINA  
COUNTY of HENDERSON

I, a notary public of the County and State aforesaid, certify that Bonnie S. Duncan, the Manager-Member of Duncan Acquisitions, LLC, personally appeared before me this day and acknowledged the voluntary execution of the foregoing instrument on behalf of Duncan Acquisitions, LLC, and by virtue of her authority as Manager-Member set forth in the Operating Agreement of Duncan Acquisitions, LLC, for the purpose stated therein. Witness my hand and official stamp and seal this the 7<sup>th</sup> day of August, 2007.

My Commission Expires:

7/19/2009

Traci J. McCombs  
Notary Public



## EXHIBIT A

BEGINNING at a building corner located in a concrete sidewalk at the intersection of the western margin of North Main Street and the northern margin of Third Avenue West, traveling thence South 81 deg. 12 min. 00 sec. West 105.00 feet to a building corner located in the eastern margin of that 10-foot alley known as North Wall Street (aka Jackson Street), thence North 08 deg. 48. min. 00 sec. West 25.00 feet to a point in the party wall between said building and the building currently owned by Rubin as shown and described in Deed Book 805 at Page 675 of the Henderson County Registry, thence North 81 deg. 12 min. 00 sec. East 105.00 feet to a point in the party wall between said building and the building currently owned by Rubin as shown and described in Deed Book 805 at Page 675 of the Henderson County Registry, said point also lying in the western margin of North Main Street, thence South 08 deg. 48 min. 00 sec. East 25.00 feet to the POINT AND PLACE OF BEGINNING, and containing 0.06 acre, as shown and depicted on that certain survey drawn for Love in an Apothecary, LLC, by David C. Huntley, PLS L-3204, dated July 23, 2007, and bearing Drawing Number H-5868.

AND being all that same property as conveyed by Mike Duncan, single; and Bonnie Duncan and husband, Joseph Duncan to Duncan Acquisitions, LLC, by that deed recorded in Deed Book 1257 at Page 354 of the Henderson County, North Carolina Registry.



## CITY OF HENDERSONVILLE AGENDA ITEM SUMMARY PLANNING DIVISION



**SUBMITTER:** Alexandra Hunt, Planner I      **MEETING DATE:** October 18, 2023

**AGENDA SECTION:** New Business      **DEPARTMENT:** Community Development

**TITLE OF ITEM:** 225 N Main St. – Addition of Rooftop Deck & Side and Rear Windows (H23-067-COA) – *Alexandra Hunt / Planner I*

### SUGGESTED MOTION(S) FOR THE ADDITION OF THE ROOFTOP DECK:

#### **1. For Recommending Approval:**

I move the Commission to find as fact that the proposed application for a Certificate of Appropriateness, as identified in file # H23-067-COA and located within the Main Street Historic District, if added according to the information reviewed at this hearing and, with any representations made by the applicant on record of this hearing, is **not incongruous** with the character of the Hendersonville Historic Preservation Commission Design Standards (Main Street) for the following reasons:

1. The subject property is a contributing structure.
2. The proposed rooftop deck is compatible with existing rooftop decks in the district.
3. The proposed rooftop deck will be constructed so that there is the least possible loss of historic fabric. [Sec. 4.3.3]
4. The proposed rooftop deck does not obscure, damage, or destroy character defining features of the historic building. [Sec. 4.3.3]

**[DISCUSS & VOTE]**

#### **1. For Recommending Denial:**

I move the Commission to find as fact that the proposed application for a Certificate of Appropriateness, as identified in file # H23-067-COA and located within the Main Street Historic District, if added according to the information reviewed at this hearing and, with any representations made by the applicant on record of this hearing, is **incongruous** with the character of the Hendersonville Historic Preservation Commission Design Standards (Main Street) for the following reasons:

1. The subject property is a contributing structure.
2. The proposed rooftop deck obscures, damages, and destroys character defining features of the historic building in the following way(s) [Sec. 4.3.3]: (*Insert factual basis here*)

**[DISCUSS & VOTE]**

## **SUGGESTED MOTION(S) FOR THE ADDITION OF TWO SIDE FAÇADE WINDOWS:**

### **1. For Recommending Approval:**

I move the Commission to find as fact that the proposed application for a Certificate of Appropriateness, as identified in file # H23-067-COA and located within the Main Street Historic District, if added according to the information reviewed at this hearing and, with any representations made by the applicant on record of this hearing, is **not incongruous** with the character of the Hendersonville Historic Preservation Commission Design Standards (Main Street) for the following reasons:

1. The subject property is a contributing structure.
2. The proposed windows do not diminish the original design of the building or damage historic materials and features. **[Sec. 3.4.2.10]**
3. The proposed windows are compatible with existing units in proportion, shape, positioning, location, size, materials, and details. **[Sec. 3.4.2.10]**

**[DISCUSS & VOTE]**

### **1. For Recommending Denial:**

I move the Commission to find as fact that the proposed application for a Certificate of Appropriateness, as identified in file # H23-067-COA and located within the Main Street Historic District, if added according to the information reviewed at this hearing and, with any representations made by the applicant on record of this hearing, is **incongruous** with the character of the Hendersonville Historic Preservation Commission Design Standards (Main Street) for the following reasons:

1. The subject property is a contributing structure.
2. The proposed windows would diminish the original design of the building or damage historic materials and features. **[Sec. 3.4.2.10]**
3. The proposed windows are not compatible with existing units in proportion, shape, positioning, location, size, materials, and details. **[Sec. 3.4.2.10]**

**[DISCUSS & VOTE]**



## SUGGESTED MOTION(S) FOR THE ADDITION OF REAR WINDOW:

### 1. **For Recommending Approval:**

I move the Commission to find as fact that the proposed application for a Certificate of Appropriateness, as identified in file # H23-067-COA and located within the Main Street Historic District, if added according to the information reviewed at this hearing and, with any representations made by the applicant on record of this hearing, is **not incongruous** with the character of the Hendersonville Historic Preservation Commission Design Standards (Main Street) for the following reasons:

1. The subject property is a contributing structure.
2. The proposed rear window do not diminish the original design of the building or damage historic materials and features. [Sec. 3.4.2.10]
3. The proposed rear window is compatible with existing units in proportion, shape, positioning, location, size, materials, and details. [Sec. 3.4.2.10]

**[DISCUSS & VOTE]**

### 1. **For Recommending Denial:**

I move the Commission to find as fact that the proposed application for a Certificate of Appropriateness, as identified in file # H23-067-COA and located within the Main Street Historic District, if added according to the information reviewed at this hearing and, with any representations made by the applicant on record of this hearing, is **incongruous** with the character of the Hendersonville Historic Preservation Commission Design Standards (Main Street) for the following reasons:

1. The subject property is a contributing structure.
2. The proposed rear window would diminish the original design of the building or damage historic materials and features. [Sec. 3.4.2.10]
3. The proposed rear window is not compatible with existing units in proportion, shape, positioning, location, size, materials, and details. [Sec. 3.4.2.10]

**[DISCUSS & VOTE]**

**SUMMARY:**

The City is in receipt of a Certificate of Appropriateness (COA) application from Hannah Michalove of Allen Stahl & Kilbourne, PLLC (Applicant) and Hendersonville Holdings, LLC (Property Owner) for the addition of the following:

1. A rooftop deck with access from the second-floor residential unit located at 225 N. Main St.; and
2. The addition of two (2) windows on the south façade and one (1) window on the rear façade on the second story of the building.

The subject property is one of two residential units located in the People's National Bank building above the Four Seasons Christmas Garden Décor and More retail store. The People's National Bank is a contributing building and currently houses both residential units and retail shops.

The Applicant is making the following statement related to their request:

1. "Proposed windows: addition of two (2) windows on upper level of southern-facing side façade; addition of one (1) sectional, "ellipse-style" window on rear façade (see attached site plans)."
2. "Proposed rooftop deck: addition of deck on portion of roof behind front façade (see attached site plans)." (Exhibit A)

In addition to the COA application, the Applicant has provided elevations which are shown in Exhibit B.

This COA application is considered a Major Work according to the standards of the Main Street Historic District Design Standards.

<b>PROJECT/PETITIONER NUMBER:</b>	H23-067-COA
<b>PETITIONER NAME:</b>	Hannah Michalove – Allen Stahl & Kilbourne, PLLC (Applicant)
<b>EXHIBITS:</b>	<ul style="list-style-type: none"> <li>A. Staff Report</li> <li>B. COA Application</li> <li>C. Elevations</li> <li>D. Warranty Deed</li> </ul>

# 225 N Main St. – Addition of Rooftop Deck and Side and Rear Windows

## (H23-067-COA)

CITY OF HENDERSONVILLE - COMMUNITY DEVELOPMENT - HISTORIC PRESERVATION  
COA STAFF REPORT

### Staff Report Contents

PROJECT SUMMARY .....	2
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## PROJECT SUMMARY

**Applicant:** Hannah Michalove, Allen Stahl & Kilbourne, PLLC

**Property Owner:** Hendersonville Holdings, LLC (Exhibit B)

**Property Address:** 225 N. Main St.

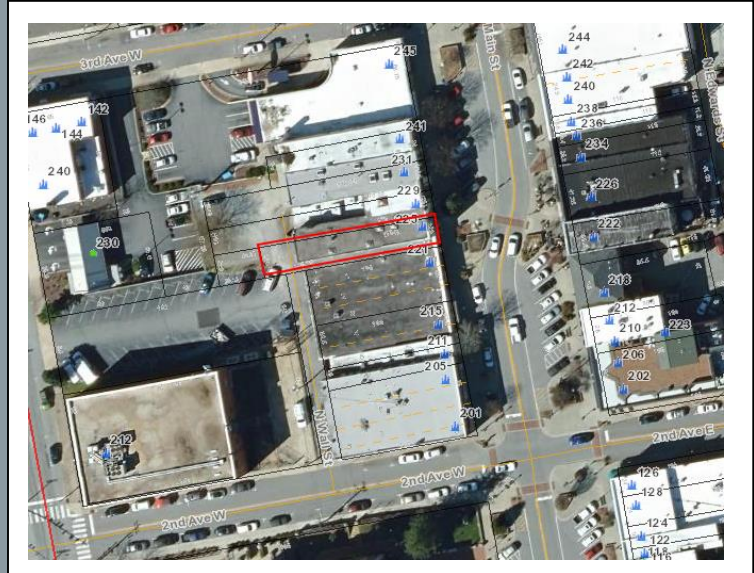
**Project Acreage:** 0.07 Acres

**Parcel Identification Number(s):**  
9568-77-8673

**Current Parcel Zoning:** C-1 Central Business

**Historic District:** Main Street Historic District

**Project Type:** Major Work (addition of rooftop deck)



SITE VICINITY MAP

### **Project Summary:**

The City is in receipt of a Certificate of Appropriateness (COA) application from Hannah Michalove of Allen, Stahl & Kilbourne, PLLC (Applicant) and Hendersonville Holdings, LLC (Property Owner) for the addition of the following:

1. A rooftop deck with access from the second-floor residential unit located at 225 N. Main St.; and
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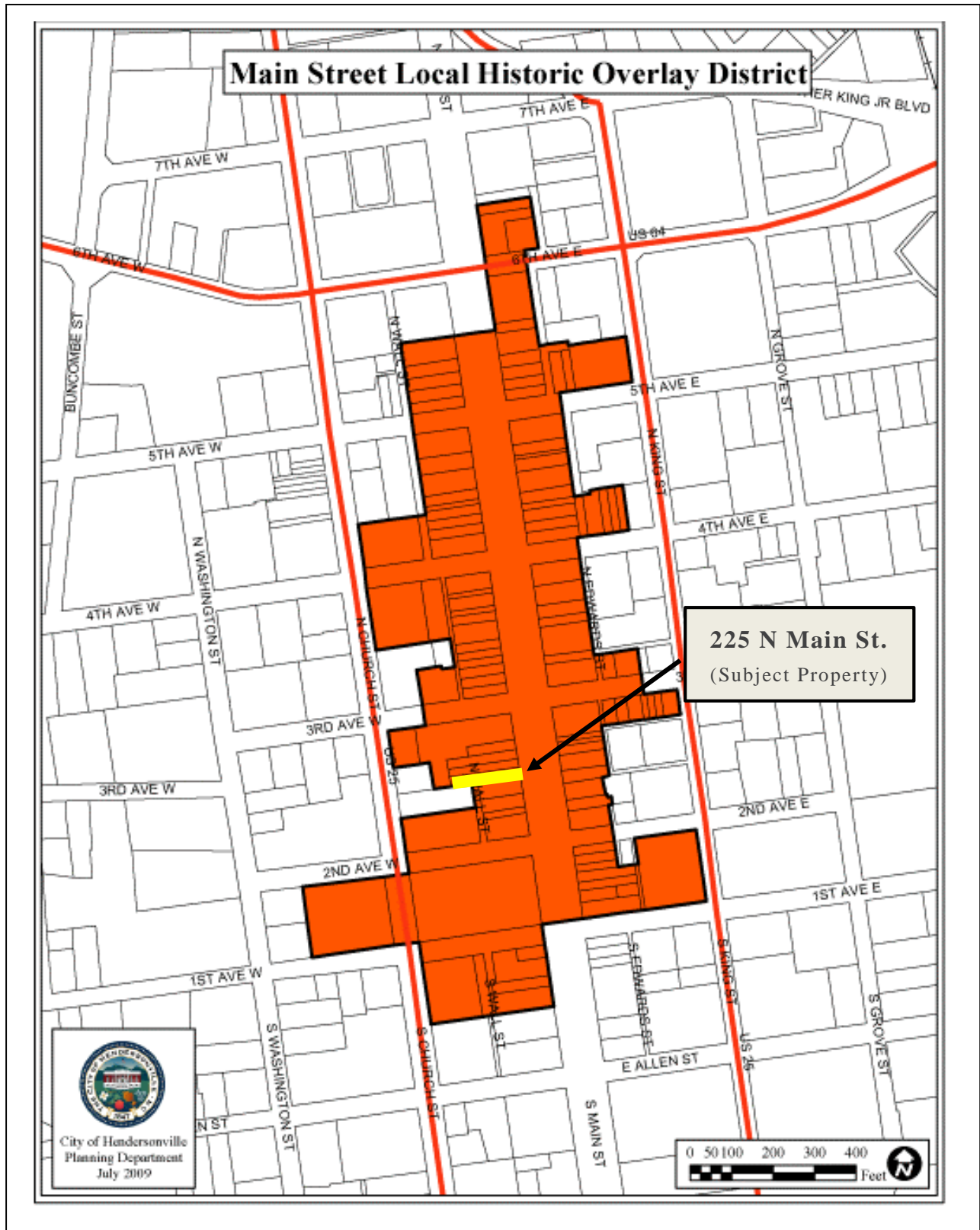
The Applicant is making the following statement related to their request:

1. "Proposed windows: addition of two (2) windows on upper level of southern-facing side façade; addition of one (1) sectional, "ellipse-style" window on rear façade (see attached site plans)."
2. "Proposed rooftop deck: addition of deck on portion of roof behind front façade (see attached site plans)." (Exhibit A)

In addition to the COA application, the Applicant has provided elevations which are shown in Exhibit B.

This COA application is considered a Major Work according to the standards of the Main Street Historic District Design Standards.

PROJECT SUMMARY – CONTINUED



CITY OF HENDERSONVILLE – MAIN STREET LOCAL HISTORIC OVERLAY MAP



## HISTORY OF SUBJECT PROPERTY

### **227-231 N. Main People's National Bank**



**Ca. 1910.**

Two-story Neo-Classical structure of cream colored brick has a recessed central entrance beneath entablature carried by ionic columns with egg and dart motif and dentil blocks. Stepped parapet, with high point at center. Storefront to either side of entrance bay;

south side unaltered, north side modern. Four second story windows to either side of entrance bay, grouped in pairs with a common sill and a limestone lintel above each. Limestone trim on the parapet cap, lower part of entablature, over second story windows, sills, columns, and bases of columns and piers. Second story windows in flanks and flanking storefronts altered.

Designed by notable Asheville architect Richard Sharp Smith, this was the earliest use of Neoclassical style and a reinforced concrete technique for a commercial structure in Hendersonville. Concrete made its splashy debut as a building form in 1910 when W. F. Edwards, the most active builder in Hendersonville during this period, decided to try out this material for a new bank. Mr. Edwards had already been the contractor responsible for much of the town's water and sewer system, the present Court House, and the Hendersonville Town Hall. For the People's National Bank, he worked with a Mr. Blythe.

The project clearly caught the fancy of the local citizens. The following reports came from the French Broad Hustler:

(1/27/10) "Messrs. Edwards and Blythe have returned from Atlanta, where they purchased the latest improved machinery for reinforced concrete construction. This machinery will be used for the first time in the construction of the People's National Bank."

(2/17/10) "Concrete mixer arrives for People's National Bank job."

(4/14/10) "...over a thousand barrels of cement will be used in the construction of the People's National Bank."

(6/23/10) "Edwards and Blythe are through with the concrete part of the People's National Bank's new building and are now starting to finish."

SITE CONDITIONS -SITE IMAGES





SITE IMAGES CONT'D



## DESIGN STANDARDS CRITERIA

The proposed addition is governed by the *Hendersonville Historic Preservation Commission Main Street Design Standards*, which is applied to the City's Main Street Historic Districts and Landmarks. The following sections are applicable to the proposed Certificate of Appropriateness application:

### **Section 3.3 Side and Rear Facades**

Many of Hendersonville's downtown commercial buildings have side façades that can be seen from public streets, parking lots, sidewalks, and alleyways. As with the primary front façade, these side elevations are important character-defining elements of the downtown historic district. Usually, these façades exist on corner buildings fronting on two streets, but can also occur mid-block where the adjacent property is vacant or is an alleyway.

The side façade generally carries the same design elements and details as the main elevation including fenestrations, brickwork, etc. They are likely to serve a more private utility in providing access to upper-floor office and residential uses and not engage the consumer or the pedestrian like the typical storefront. Still, some of these buildings take advantage of the additional frontage and use the side façade as additional display area, advertising, or even providing additional access for the customer.

The rear façade is also important to the historic character of the building and district. The rear elevation provides access for merchants, their workers, and in some cases, customers. It also continues the same general material treatments as front and side façades. More often than not, rear entrances on Hendersonville's downtown commercial structures serve as a service entry and, as a result, are the location of any necessary mechanical equipment and garbage receptacles. This translates into a less detailed design with a more private appearance than front and side façades that face public rights-of-way. There are some instances in downtown where the rear façade serves as public or semi-public access. Usually, the design of these façades reflects this public utility resulting in an elevation with similar detailing to its primary façade that is more inviting to the consumer or general public.

#### *Preservation*

**Sec. 3.3.1** Retain and preserve historic façade details and materials on side and rear elevations.

**Sec. 3.3.2** Historic painted advertisements represent an important historic element in downtown Hendersonville. While not required, it is recommended that they be preserved whenever possible.

**Sec. 3.3.3** Whenever a side or rear façade can be seen from the public right-of-way or parking area, it is encouraged that any unnecessary utility lines, mechanical equipment, pipes, etc. be removed. Whenever introducing new utility or service features such as mechanical units and garbage receptacles, screen them from public view with fences, low walls, or landscaping whenever possible.

### *Reconstruction*

**Sec. 3.3.4** If replacement of a deteriorated façade feature is necessary, replace only the deteriorated element to match the original in size, scale, proportion, material, texture and detail.

**Sec. 3.3.5** When reconstructing a historic façade or feature, base the design on historical research and evidence. Maintain the original proportions, dimensions and architectural elements.

**Sec. 3.3.6** If there is historic evidence of a public entrance on a rear façade, rehabilitate the façade to provide for an attractive access from rear parking areas.

**Sec. 3.3.7** Downtown buildings with rear access should use small signs or awnings to provide for visual identification.

**Sec. 3.3.8** Storefronts on side or rear facades must comply with the Storefront Guidelines under Section 3.1.

### *New Design*

**Sec. 3.3.9** If new construction of a side or rear façade is necessary, make sure that the design is compatible with the existing side and rear facades in the district including size & spacing of windows or other fenestrations, proportion, scale, and detailing.

**Sec. 3.3.10** Whenever possible, new designs for rear façades should provide access to the public from rear parking areas and alleyways.

## **Section 3.4 Materials and Details**

### **3.4.1 Architectural Details and Ornamentation**

Architectural details in downtown Hendersonville include everything from simple masonry treatments such as corbelled brick and stringcourses to very detailed ornamentation like cast iron, stone relief, and wooden & masonry cornices. Variations in material, fenestration, and paint color all contribute to the level of ornamentation on the individual structure.

**Sec. 3.4.1.1** Retain and preserve any architectural features and details that are character-defining elements of downtown structures, such as cornices, columns, piers, brickwork, stringcourses, quoins, etc.

**Sec. 3.4.1.2** If replacement of an architectural element is necessary, use new materials that match the historic materials in composition, size, shape, color, pattern, and texture. Consider substitute materials only if the original materials are not technically feasible.

**Sec. 3.4.1.3** If the entire architectural detail is missing, design the replacement feature based on historic documentation. If there is no documentation, but evidence that the element was originally on the building, any new design should be compatible with the historic character of the building and district.

**3.4.1.4** It is not appropriate to remove or cover any original detail or ornamentation. If original features are currently covered, it is encouraged that these features be uncovered,



exposed, and repaired.

### **Section 3.4.2 Windows and Doors Standards**

Windows and doors by their proportion, shape, positioning, location, pattern, and size can contribute significantly to a building's historic character and are particularly indicative of stylistic periods. These openings in a building's exterior also provide opportunities for natural light, ventilation, and visual connections to the interior.

**Sec. 3.4.2.1** Retain and preserve original windows and doors.

**Sec. 3.4.2.2** Retain and preserve openings and details of windows and doors, such as trim, sash, glass, lintels, sills, thresholds, shutters, and hardware.

**Sec. 3.4.2.3** If replacement of a window or door element is necessary, replace only the deteriorated element to match the original in size, scale, proportion, pane or panel division, material, and detail.

**Sec. 3.4.2.4** It is not appropriate to replace windows or doors with stock items that do not fill the original openings or duplicate the unit in size, material, and design.

**Sec. 3.4.2.5** Protect and maintain existing windows and doors in appropriate ways:

- Maintain caulking and glazing putty to prevent air or water infiltration around glass.
- Weatherstrip windows and doors to prevent moisture and air infiltration.
- Check sills and thresholds to ensure that water run off does not collect.
- Maintain a sound paint film on all wooden windows and doors.
- Monitor the condition of wooden windows and doors.
- Note: Both the peeling of paint and the widening of joints may create the false appearance of deteriorated wood.

**Sec. 3.4.2.6** Repair original windows, doors, and frames by patching, splicing, consolidating, or otherwise reinforcing deteriorated sections.

**Sec. 3.4.2.7** Construct replacement shutters of wood, size them to window openings, and mount them so that they are operable. It is not appropriate to introduce window shutters where no evidence of earlier shutters exists. .8 The use of reflective or highly tinted glass is discouraged.

**Sec. 3.4.2.8** The use of reflective or highly tinted glass is discouraged.

**Sec. 3.4.2.9** It is not appropriate to fill in existing window or door openings or to replace or cover them with plywood.

**Sec. 3.4.2.10** It is not appropriate to introduce new windows or doors if they would diminish the original design of the building or damage historic materials and features. Keep new windows and doors compatible with existing units in proportion, shape, positioning, location, size, materials, and details.

**Sec. 3.4.2.11** If a new window or door is required to meet building and safety codes, it should be done in a way that is the least intrusive to the façade and without destroying

historic materials and features.

**Sec. 3.4.2.12** If exterior storm windows are desired, they should have little visual impact. Storm windows should be painted to match the building and the color of the window sash. Storm windows should match the existing in size and proportion. Install them so that existing windows and frames are not damaged or obscured.

**Sec. 3.4.2.13** It is not appropriate to use snap-in muntins to create a false divided light appearance.

**Sec. 3.4.2.14** In accordance with the Artificial Materials guidelines (Section 3.8), it is not appropriate to replace existing vinyl windows with new vinyl windows on contributing structures.

**Sec. 3.4.2.15** Existing windows and doors on non-contributing structures should be replaced in-kind.

### **Section 4.3 Rear Decks, Balconies, Terraces, & Rooftop Decks:**

With some commercial buildings having upper-floors used for residential uses, Hendersonville has historically seen a healthy amount of downtown living. Also, with recent renovations of structures such as the Houston Furniture building and various apartments above commercial, downtown residential population has continued to rise.

In an urban environment such as downtown Hendersonville, especially with the amount of residential, property owners may wish to construct rear/rooftop decks, balconies, and terraces. This type of residential amenity is certainly encouraged and is an important element to the success of the downtown community and livability. Decks, balconies, and terraces are appropriate provided that they do not damage or alter any historic architectural features of the existing building.

**Sec. 4.3.1** Locate street level decks and terraces as inconspicuously as possible, on the rear or least character-defining elevation of historic buildings

**Sec. 4.3.2** Base the design of new balconies on historic documentation of the building or examples from buildings of similar style and age.

**Sec. 4.3.3** Construct decks, balconies, terraces, and rooftop decks so that there is the least possible loss of historic fabric. Also, ensure that character defining features of the historic building are not obscured, damaged, or destroyed.

**Sec. 4.3.4** Screen rear decks and terraces from public view with appropriate landscaping whenever possible.

**Sec. 4.3.5** If a new deck or balcony is to be constructed, its design should be compatible in materials and detail with the main building.

**Sec. 4.3.6** When adding a rear deck to a historic structure, it should be designed so that it could be removed in the future without any loss to the historic fabric of the existing building.

**Sec. 4.3.7** For uncovered decks, composite materials are appropriate for decking only.

## EXHIBITS

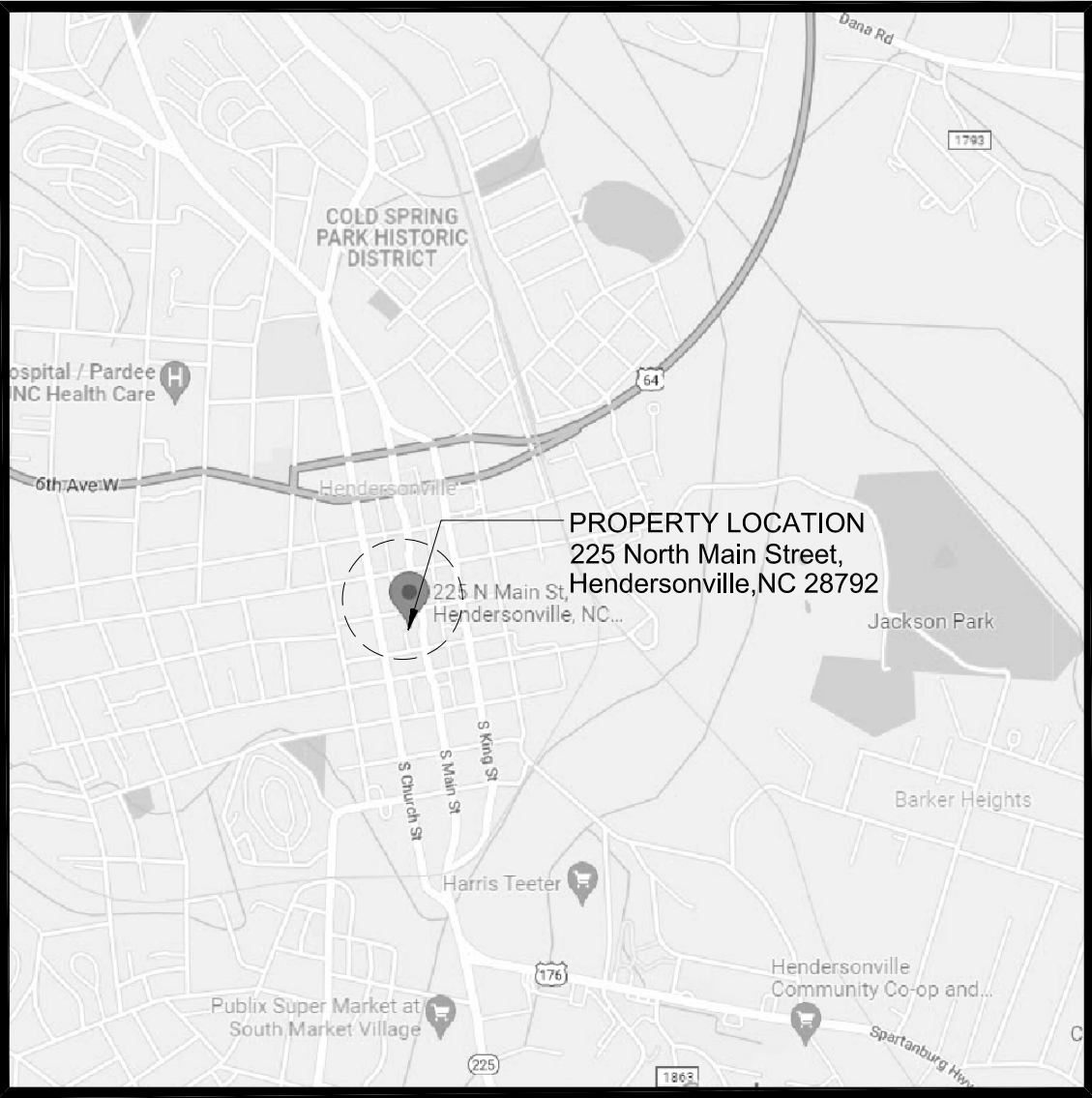
- Exhibit A – COA Application
- Exhibit B - Elevations
- Exhibit C – Warranty Deed







**PROPOSED RENOVATION FOR MR. & MRS. JASON KRUAS**  
**225 North Main Street,**  
**Hendersonville,NC 28792**



**VICINITY MAP**

**TABLE OF CONTENT**

- A-0 : COVER SHEET
- A-1.0 : EXISTING FLOOR PLAN
- A-1.0 : EXISTING ELEVATIONS 'A' & 'B'
- A-2.0 : RENOVATION FLOOR PLAN, ELEVATION 'A' & NOTES
- A-2.0 : ROOF ACCESS STAIR PART PLAN & SECTION
- A-2.1 : RENOVATION DIMENSIONAL PLAN & ELEVATION 'B'
- A-3.0 : WALL, WINDOW SECTIONS/DETAILS & STAIRS LAYOUT
- A-4.0 : RENOVATION ELECTRICAL PLAN & WALL DETAILS



**'Bringing Yqur Dream Home to Reality'**  
**Ph:(713) 319-5836 Fx:(713)-319-5730**  
**email: jalarchdesigns@gmail.com**



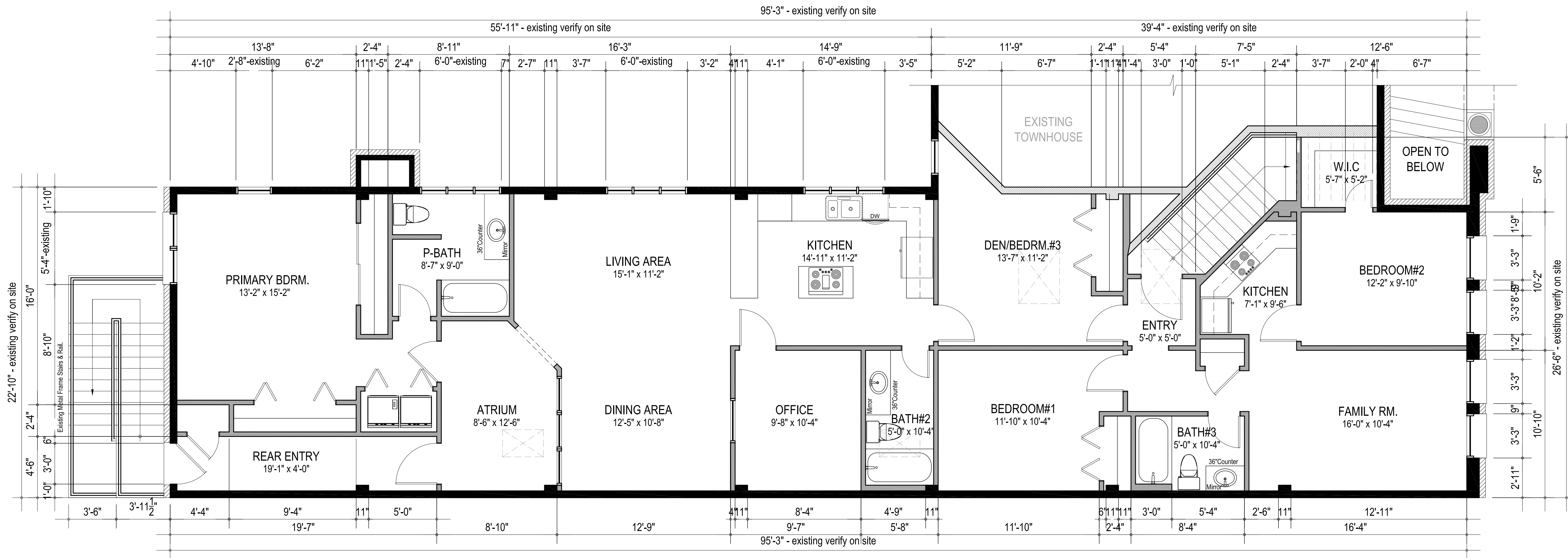


PROPOSED RENOVATION OF EXISTING TOWNHOME AT 225 N.MAIN STREET

EXISTING FLOOR PLAN
EXISTING ELEVATIONS
SQUARE FOOTAGES

DATE :	NOVEMBER 29, 2021
SCALE :	JAL68-112921
DRAWN BY :	J.A.L
REVISED	PERMIT SET-R/100322

A	1.0
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EXISTING FLOOR PLAN

Scale : 1/4" = 1'-0" 9'-0" PLATE HEIGHT (verify on site)

SPECIFICATIONS

UNLESS OTHERWISE NOTED :-

MAIN FLOOR OF RESIDENCE:-  
PLATE HEIGHT = 9'-0" (verify on site)  
CEILINGS = 8'-10 1/2" (verify on site/match existing)  
WINDOWS = 6'-8" HEADER HEIGHT (U.O.N)  
DOORS = 6'-8" HEADER HEIGHT (U.O.N)

ROOF TYPE - EXISTING NOT IN SCOPE OF WORK  
ROOF PITCH - N/A (verify on site)  
WATER HEATER ( in attic as per City Codes)

ATTIC VENTING - SOFFIT & RIDGE VENTS  
NOTES :all attic insulation shall be City Approved sprayed on or match existing.

INDICATES EXISTING BRICK LEDGE.  
INDICATES EXISTING 1 HR. FIRE RATED WALL.  
INDICATES NEW 4" WALLS.  
INDICATES EXISTING INTERIOR 4" WALLS.  
INDICATES EXISTING EXTERIOR WALLS.

SQUARE FOOTAGE

EXISTING FLOOR AREA :-

LIVING AREA = ±2,042 S.F.  
MAIN ENTRY AREA = ± 67 S.F.  
REAR ENTRY AREA = ± 16 S.F.

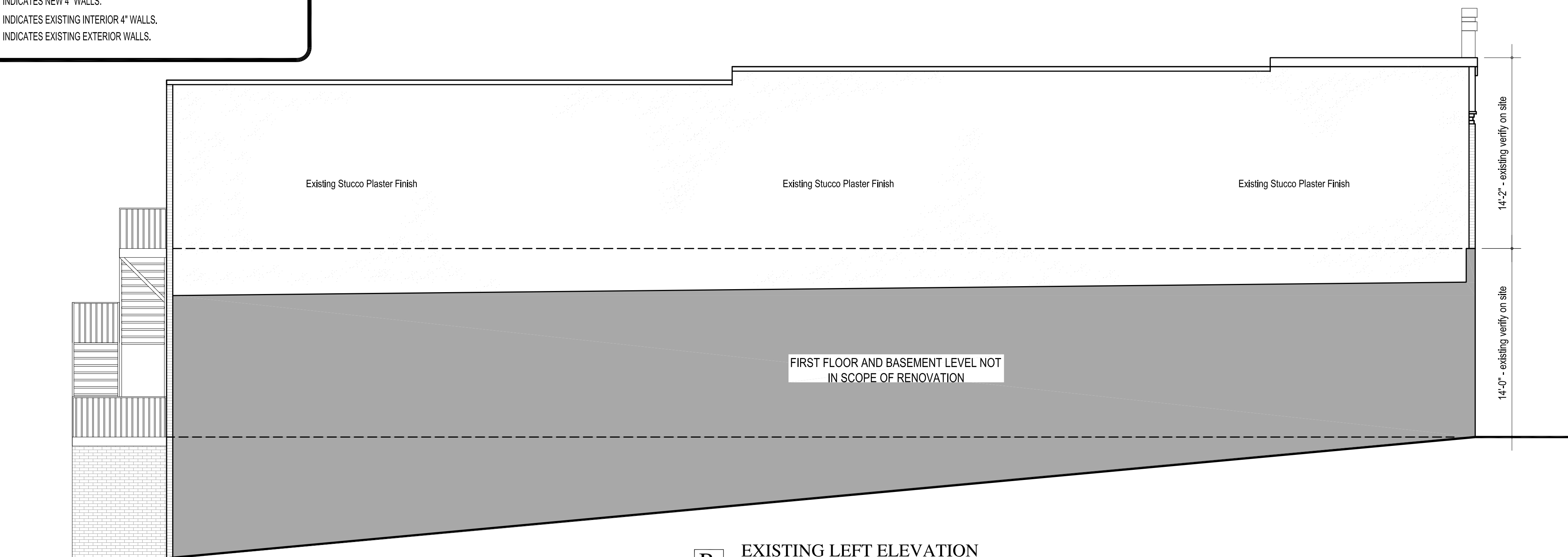
NEW ADDITION AREA:-

LIVING AREA = ± 0 S.F.  
OPEN BALCONY AREA = ± 130 S.F.  
FRAMED AREA = ± 130 S.F.

EXISTING TOTAL FRAMED AREA = ±2,300 S.F.

NEW TOTAL FRAMED AREA = ±2,430 S.F.

NEW TOTAL RENOVATION AREA = ±2,430 S.F.



EXISTING LEFT ELEVATION

Scale : 3/16" = 1'-0"



EXISTING FRONT ELEVATION

Scale : 3/16" = 1'-0"

NOTE: JAL ARCH DESIGNS ASSUMES NO LIABILITY . IT IS THE FINAL RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, STRUCTURAL NOTES AND WINDOW/DOOR SIZES AND ADJUST TO MEET LOCAL AND STATE BUILDING CODES.



# PROPOSED RENOVATION OF EXISTING TOWNHOME AT 225 N.MAIN STREET

RENOVATION FLOOR PLAN

SQUARE FOOTAGE & GENERAL NOTES

ROOF ACCESS PART PLAN & ELEVATION 'A'

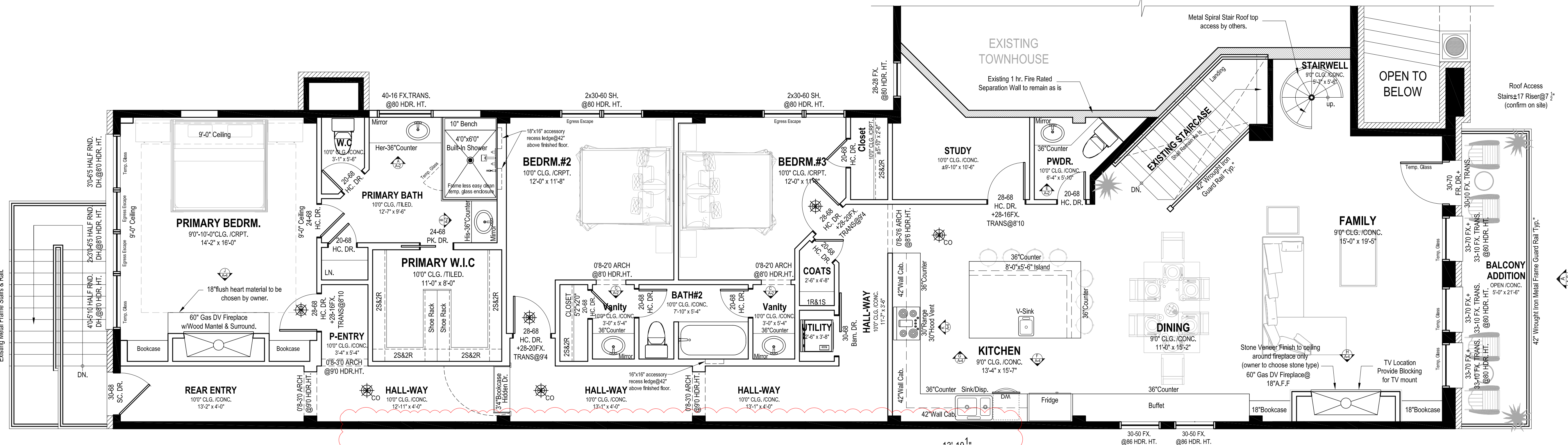
DATE : NOVEMBER 29, 2021

PROJECT NO. JAL68-112921

DRAWN BY : J.A.L

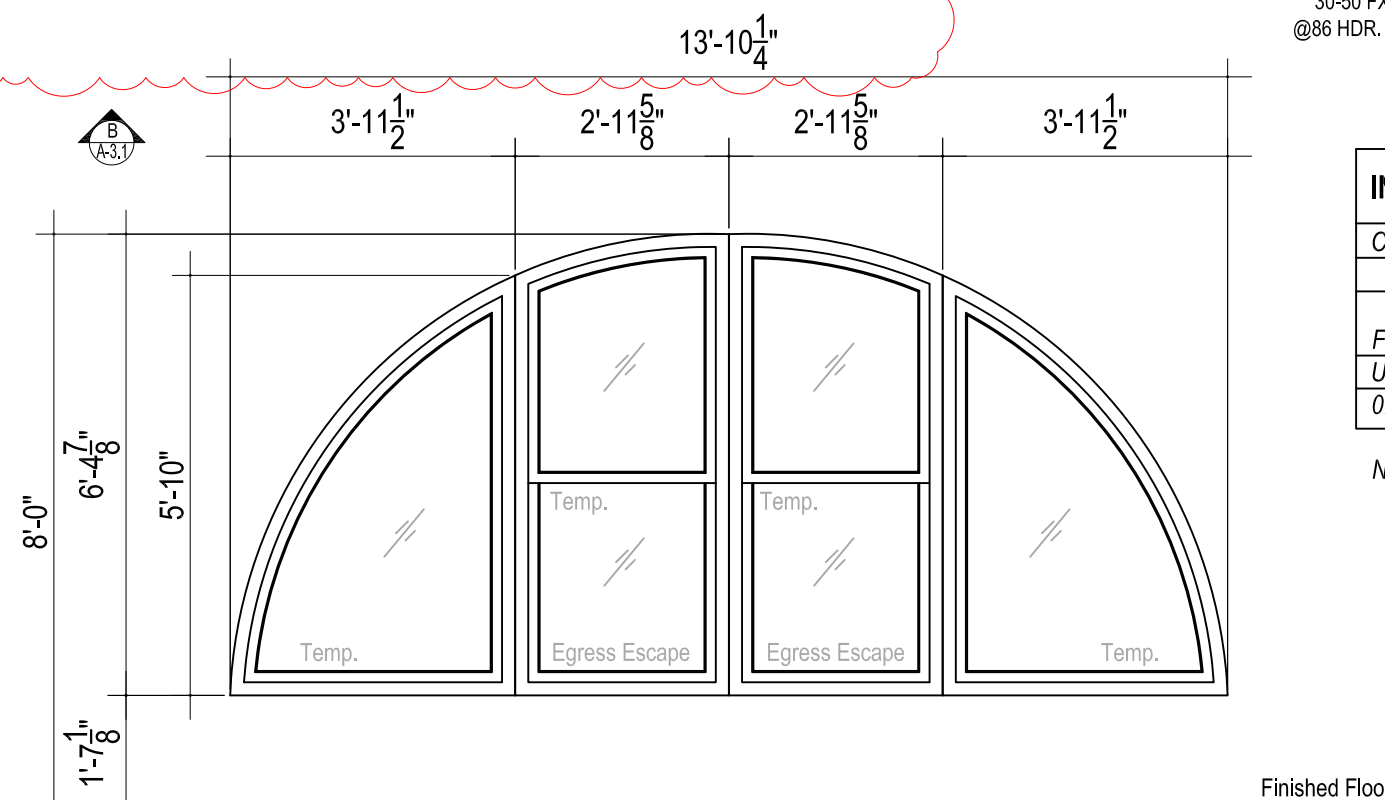
REVISED PERMIT SET-R080523

**A 2.0**



## RENOVATED FLOOR PLAN

Scale : 1/4" = 1'-0" 9'-0" PLATE HEIGHT (verify on site)



## SECTIONAL WINDOW ELEVATION

Scale : 3/8" = 1'-0"

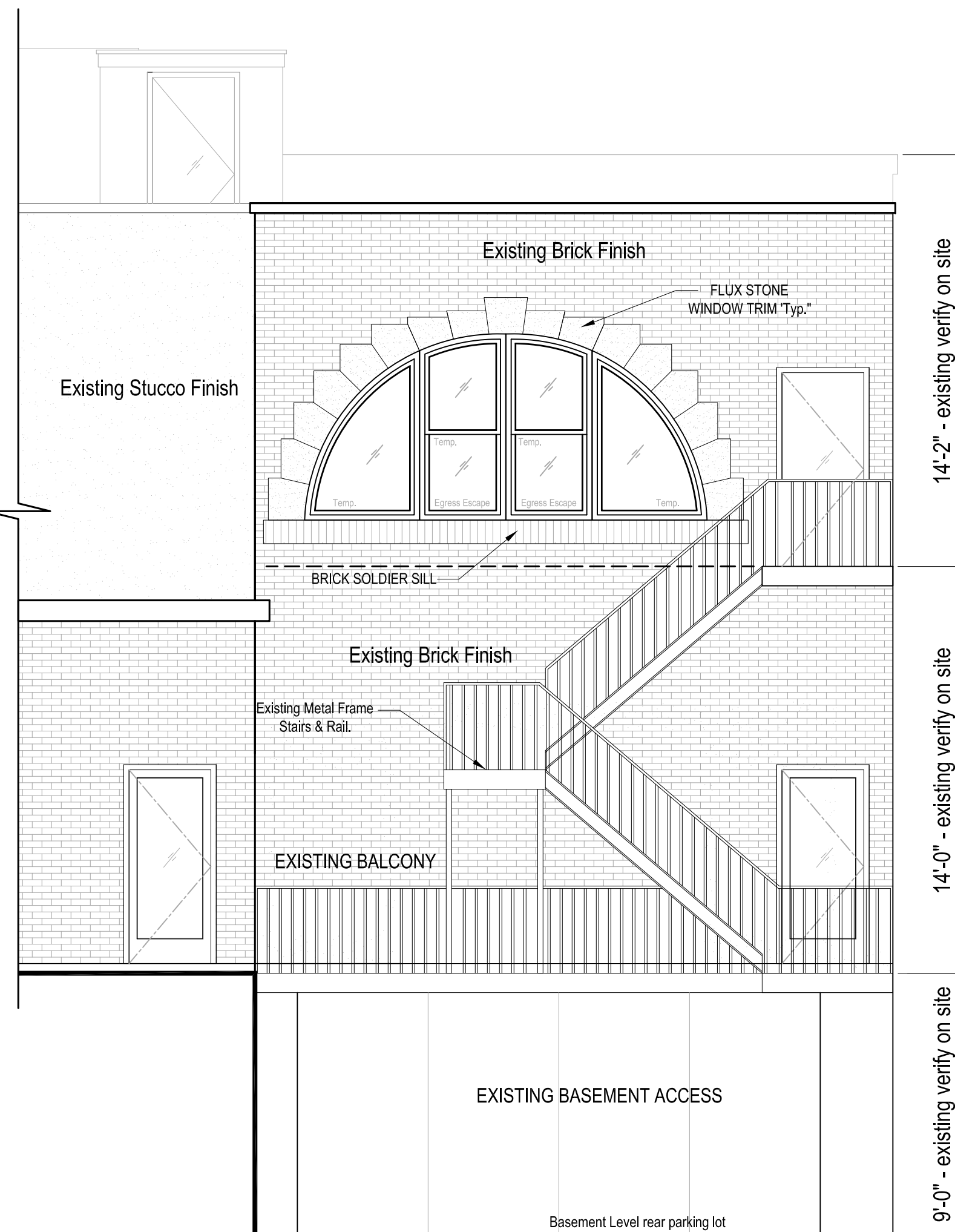
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT										2015 IECC	TABLE R402.1.2
CLIMATE		ZONE 4A		HENDERSON COUNTY		INSULATION			FOUNDATION		
WINDOWS											
Fenestration	Skylight	Glazed	Fenestration	Ceiling	Wood	Mass	Floor	Basement	Slab		
U-Factor	U-Factor	SHGC	R-Value	R-Value	R-Value	R-Value	R-Value	R-Value	R-Value	And Depth	R-Value
0.40	0.65	0.25	38	13	13	4/6	13	0	0		0

NOTE: ALL NEW WINDOWS MUST MEET OR EXCEED ABOVE STATED REQUIREMENTS.

### PLAN NOTES & SPECIFICATIONS

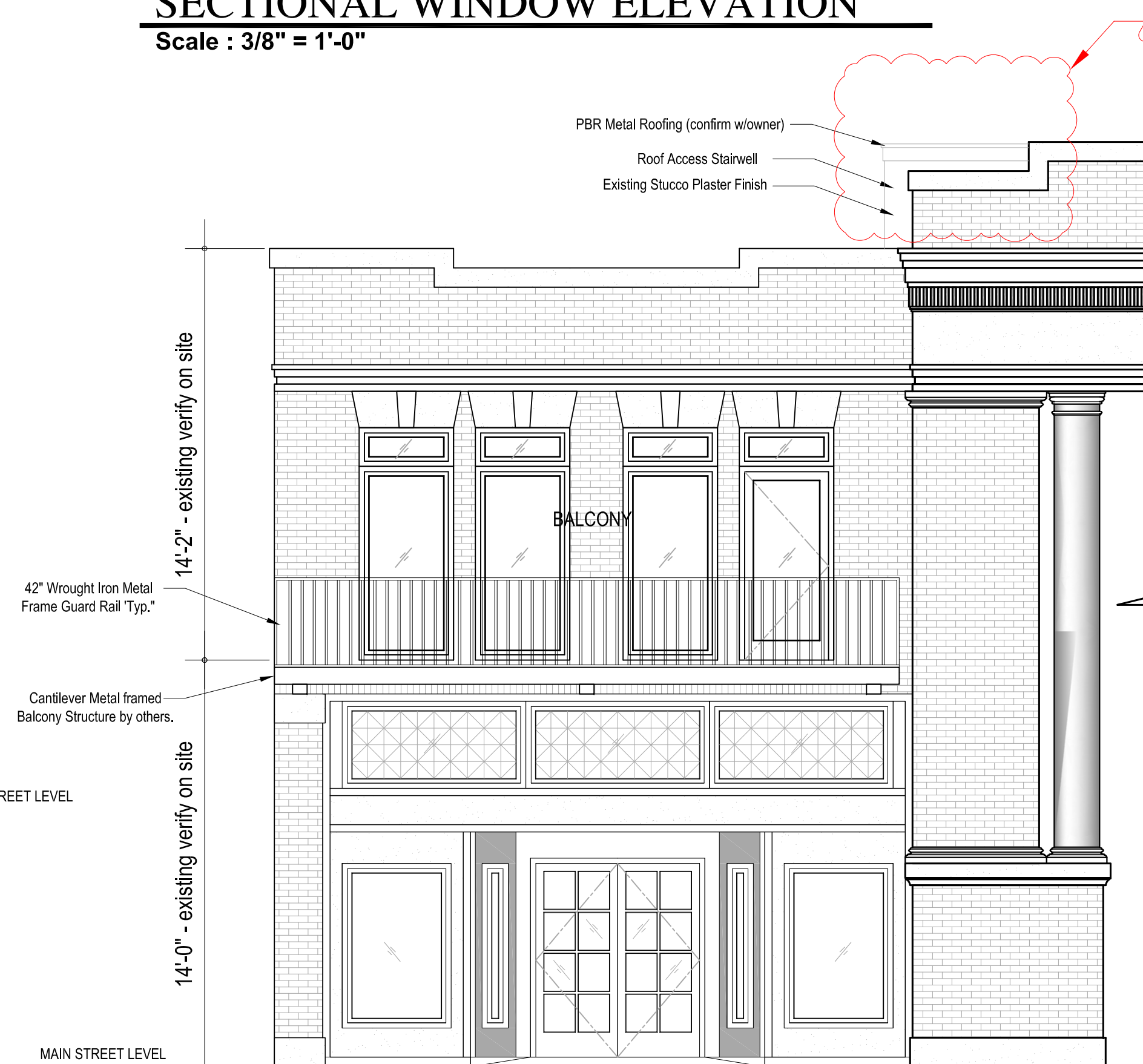
- \*Do not scale drawings.
- \*Framing dimensions are exterior to exterior framing, exterior to center of window and interior face of stud to face of stud.
- \*Materials supplier to verify with contractor all beam joist and hanger sizes and provide detailed layout of locations and point load requirements.
- \*All angles shown in plan shall be 45° u.n.o.
- \*Where wood frame walls and partitions are covered on the interior with plaster, tile or similar materials and are subject to water-splash, the framing shall conform to section R702.4.
- \*Shower stalls and tubs with shower heads shall have walls finished with a non-absorbent surface over waterproof gypsum board (or a equal or better material) to height of not less than 70" above the drain inlet.
- \*Glazing in hazardous locations including showers and bathtub enclosures (glass doors and panels) shall comply with section R308.
- Emergency escape or rescue windows shall have a finished sill height not more than 44" above the floor and shall have a min... net clear opening of 5.7 sq. ft. The min... net clear opening height dimension shall be not less than 24" and the min... net clear opening width dimension shall not be less than 20" per R310.1.
- \*All windows within 24" of an arc of a door and less than 18" above finished floor shall be safety glass per 308.4.
- \*Draft stops shall be constructed of approved materials per Section R502.12.
- \*Approved smoke detectors shall be placed in each bedroom and in adjoining hall. They shall be hard-wired, inter-connected, and a battery back up per Section 317.
- \*All insulation shall have a flame spread rating of not more than 25 and shall have a smoke density not to exceed 450 per Section R320.1.
- \*Handrails at stair shall be continuous the full length of the stairs. The top of handrails shall be placed not less than 34" or more than 38" above the nosing of treads and landings per Section R315.
- \*Provide ventilation at all baths and utility rooms.
- \*All cabinet sizes are labeled in industry standard inches cabinet supplier to provide mfg... specific unit sizes and installation layout and details.
- \*It is the final responsibility of the general contractor to verify all dimensions, structural notes and window/door sizes and adjust to meet local and state building codes.
- \*All bedrooms shall have at least one operable window or exterior door approved for emergency escape or rescue.
- \*Fire stopping shall be provided as specified in Sections R602.8, R1001.17, R1003.12.
- Indicates Walls to be removed

- ☼ Indicates Smoke Detectors
- ☼CO Indicates Combo Carbon Monoxide/Smoke Detector.



## RENOVATED REAR ELEVATION

Scale : 1/4" = 1'-0"



## RENOVATED FRONT ELEVATION

Scale : 1/4" = 1'-0"

### SQUARE FOOTAGE

EXISTING FLOOR AREA :-

LIVING AREA	= ± 2,042 S.F.
MAIN ENTRY AREA	= ± 67 S.F.
REAR ENTRY AREA	= ± 16 S.F.

NEW ADDITION AREA:-

LIVING AREA	= ± 35 S.F.
OPEN BALCONY AREA	= ± 130 S.F.
ROOF ACCESS AREA	= ± 35 S.F.
FRAMED AREA	= ± 130 S.F.

EXISTING TOTAL FRAMED AREA	= ± 2,300 S.F.
NEW TOTAL FRAMED AREA	= ± 2,465 S.F.

NEW TOTAL RENOVATION AREA	= ± 2,465 S.F.
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### SPECIFICATIONS

UNLESS OTHERWISE NOTED :-

MAIN FLOOR OF RESIDENCE:-	
PLATE HEIGHT	= 9'-0" (verify on site)
CEILINGS	= 8'-10 1/2" (verify on site/match existing)
WINDOWS	= 6'-8" HEADER HEIGHT (U.O.N)
DOORS	= 6'-8" HEADER HEIGHT (U.O.N)

ROOF TYPE - EXISTING NOT IN SCOPE OF WORK  
 ROOF PITCH - N/A (verify on site)  
 WATER HEATER (in attic as per City Codes)

ATTIC VENTING - SOFFIT & RIDGE VENTS  
 NOTES :all attic insulation shall be City Approved sprayed on or match existing.

- INDICATES EXISTING BRICK LEDGE.
- INDICATES EXISTING 1 HR. FIRE RATED WALL.
- INDICATES NEW 4" WALLS.
- INDICATES EXISTING INTERIOR 4" WALLS.
- INDICATES EXISTING EXTERIOR WALLS.

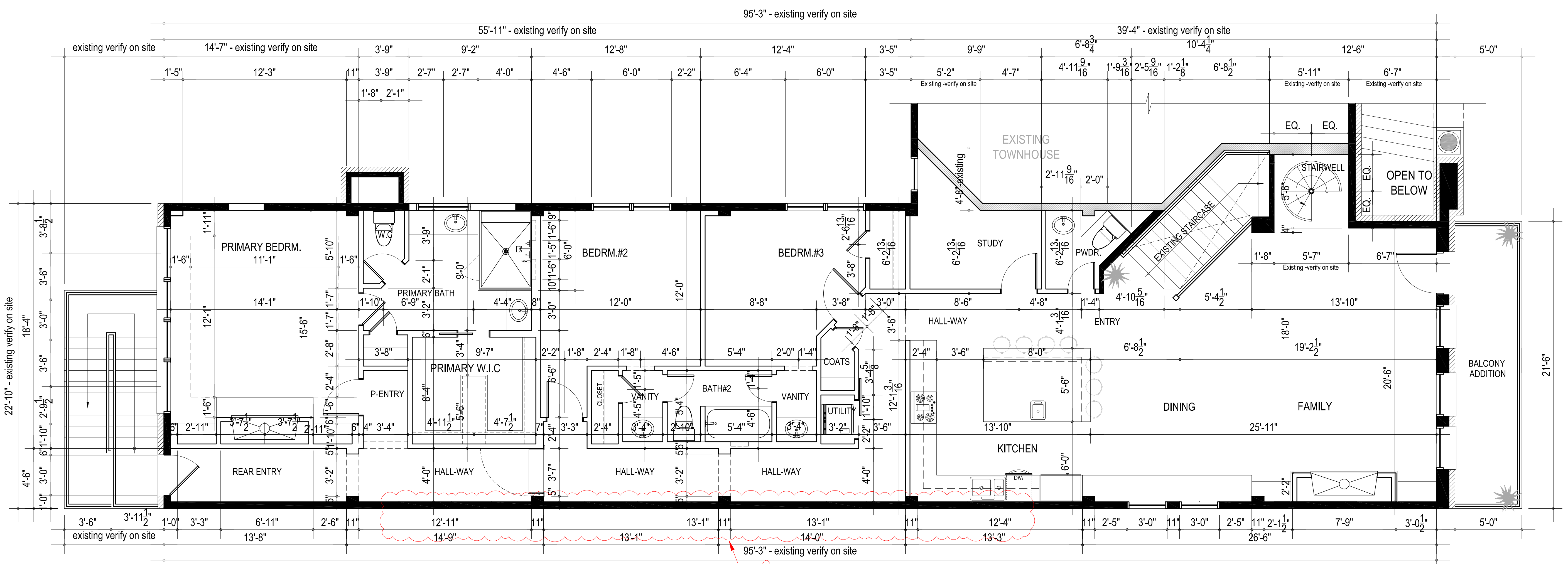
NOTE: JAL ARCH DESIGNS ASSUMES NO LIABILITY. IT IS THE FINAL RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, STRUCTURAL NOTES AND WINDOW/DOOR SIZES AND ADJUST TO MEET 2012 INTERNATIONAL RESIDENTIAL CODES WITH CITY OF HOUSTON AMENDMENTS.



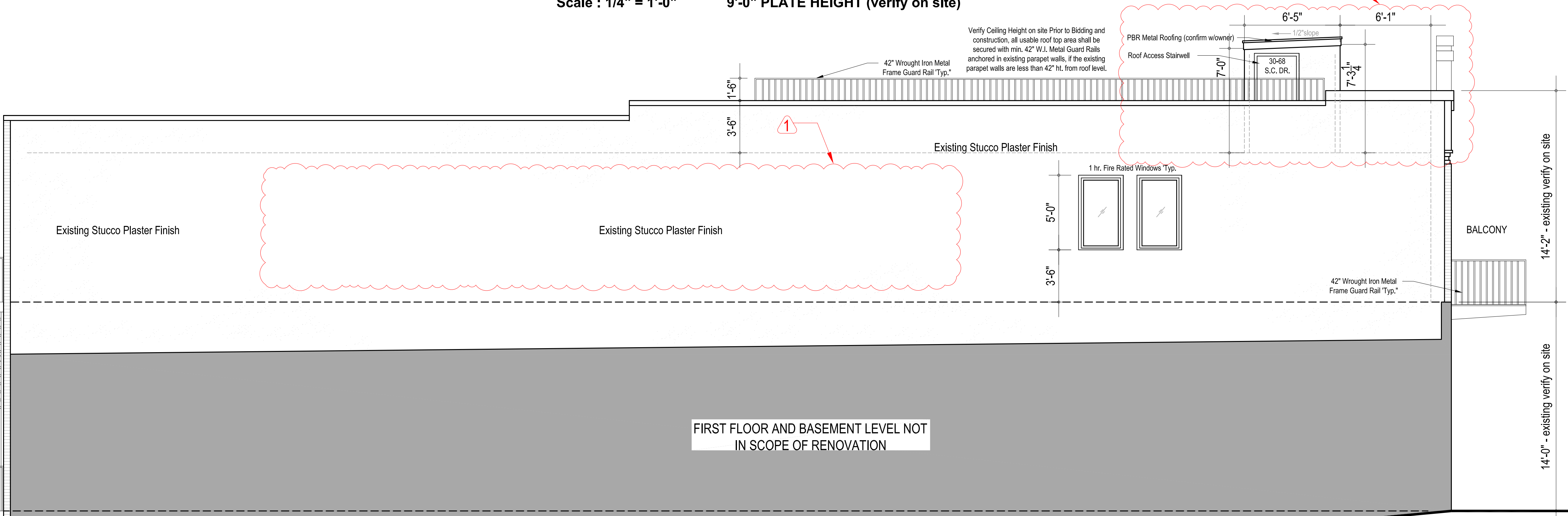
PROPOSED RENOVATION OF EXISTING TOWNHOME AT 225 N.MAIN STREET

DIMENSIONAL RENOVATION FLOOR PLAN
RENOVATED LEFT ELEVATION

DATE :	NOVEMBER 29, 2021
PROJECT NO :	JAL68-112921
DRAWN BY :	J.A.L
REVISED	PERMIT SET-R080523



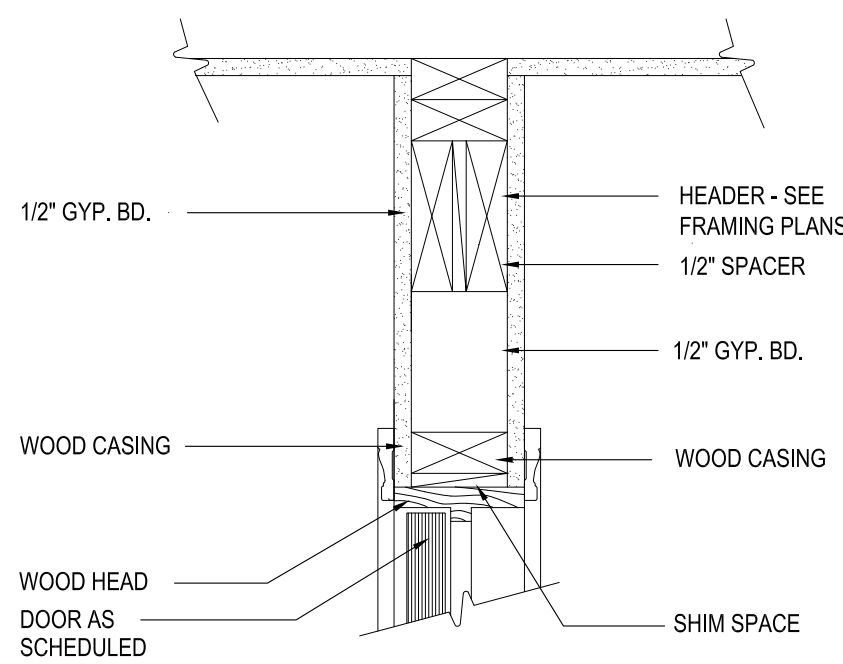
**DIMENSIONAL FLOOR PLAN**  
Scale : 1/4" = 1'-0" 9'-0" PLATE HEIGHT (verify on site)



**RENOVATED LEFT ELEVATION**  
Scale : 1/4" = 1'-0"

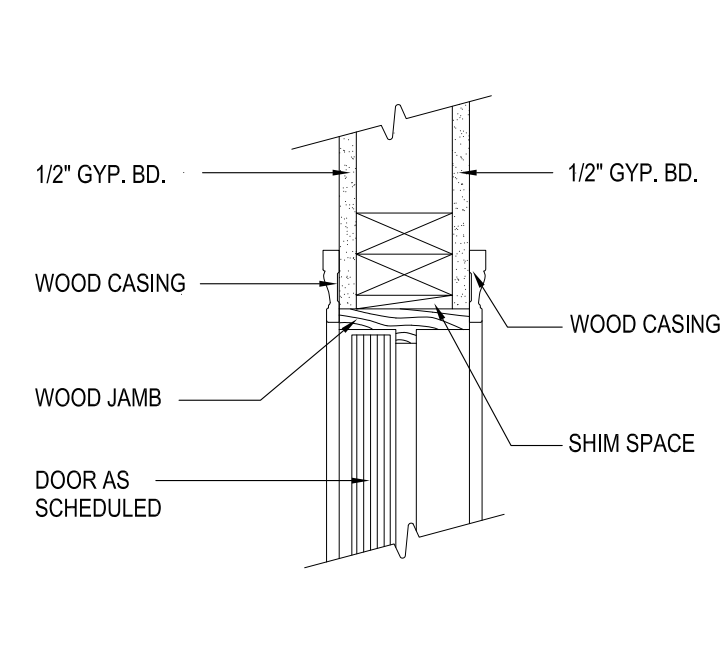
NOTE: JAL ARCH DESIGNS ASSUMES NO LIABILITY. IT IS THE FINAL RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, STRUCTURAL NOTES AND WINDOW/DOOR SIZES AND ADJUST TO MEET 2012 INTERNATIONAL RESIDENTIAL CODES WITH CITY OF HOUSTON AMENDMENTS.





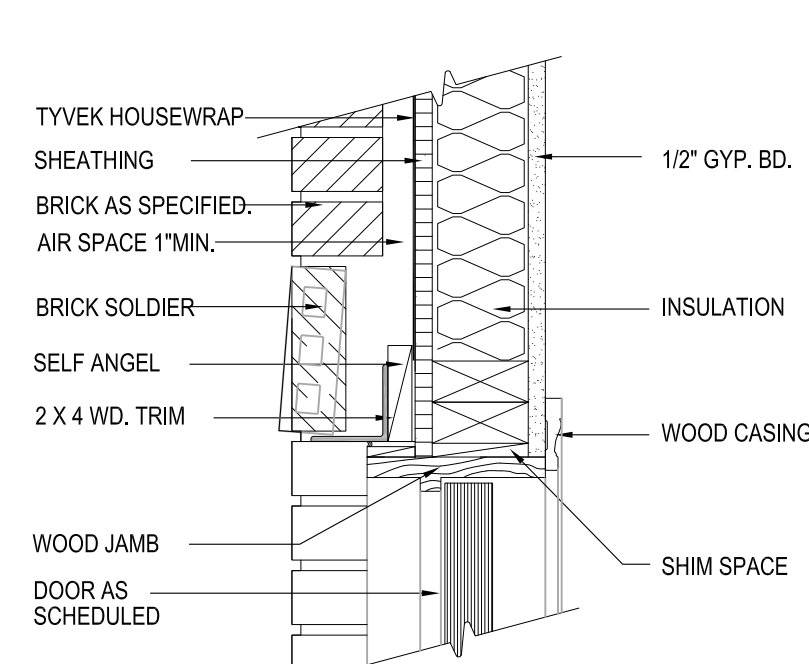
### INT. DOOR HEAD

SCALE 1 1/2"=1'-0"



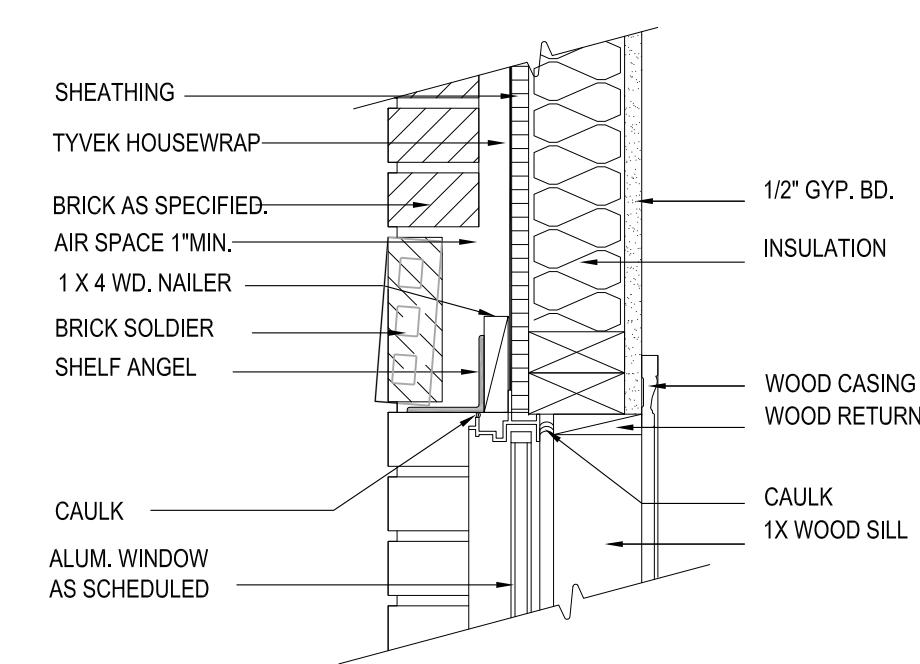
### INT. DOOR JAMB

SCALE 1 1/2"=1'-0"



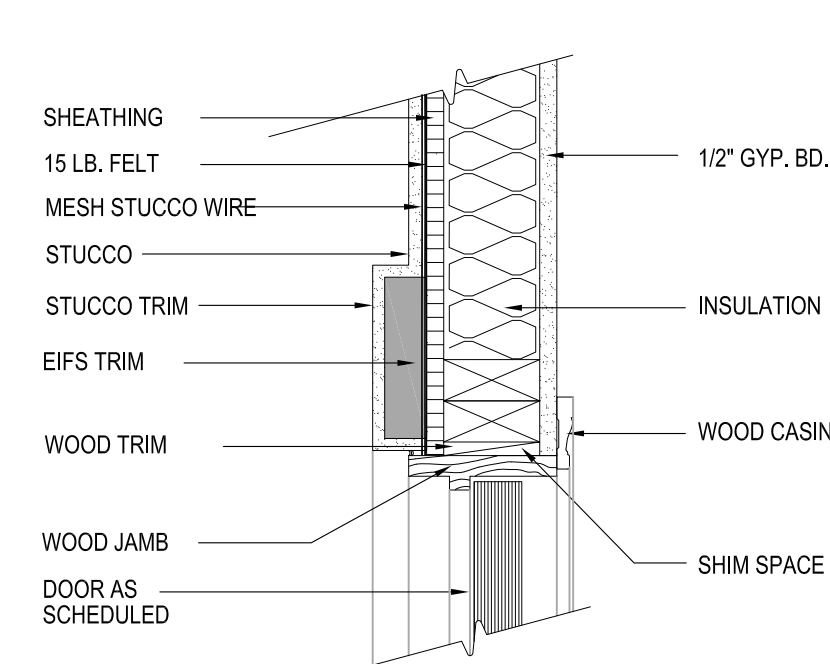
### EXT. DOOR JAMB @ BRICK

SCALE 1 1/2"=1'-0"



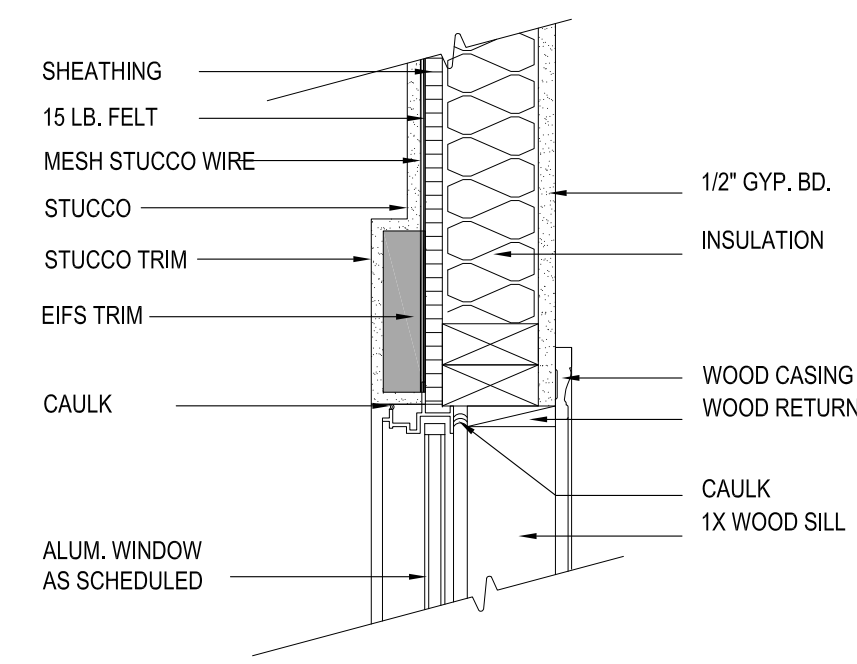
### EXT. WINDOW JAMB @ BRICK

SCALE 1 1/2"=1'-0"



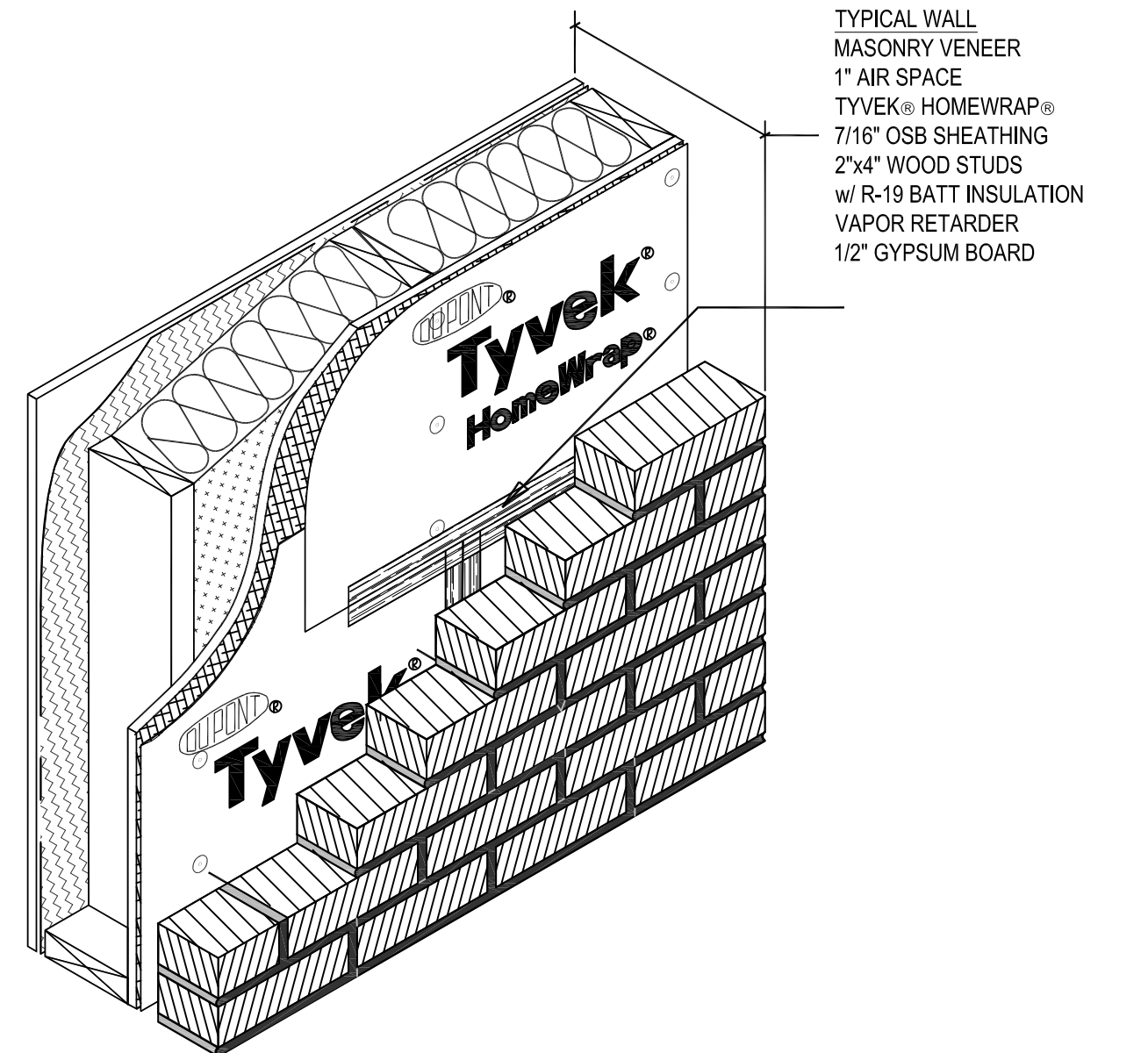
### EXT. DOOR JAMB @ STUCCO

SCALE 1 1/2"=1'-0"



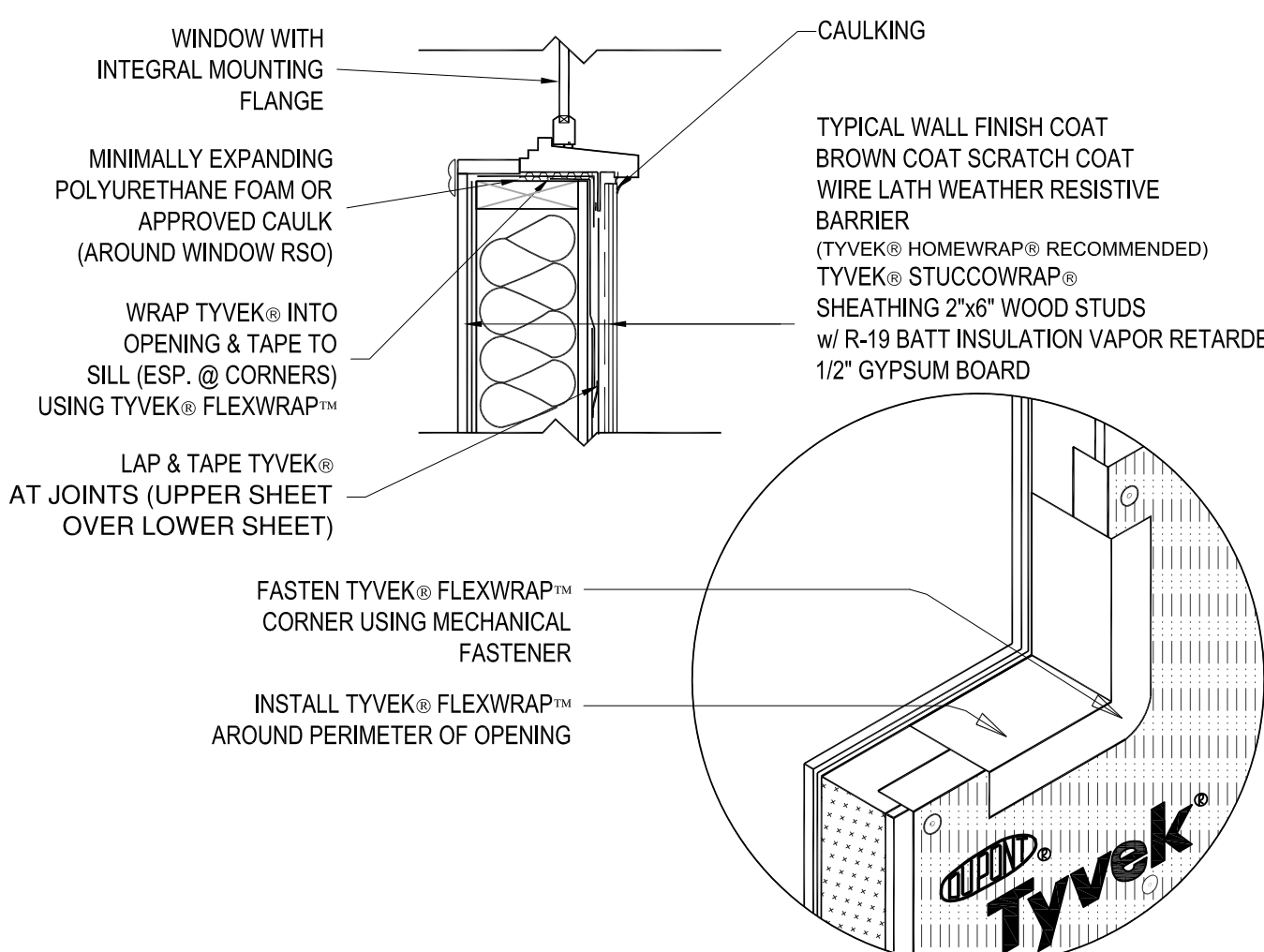
### EXT. WINDOW JAMB @ STUCCO

SCALE 1 1/2"=1'-0"



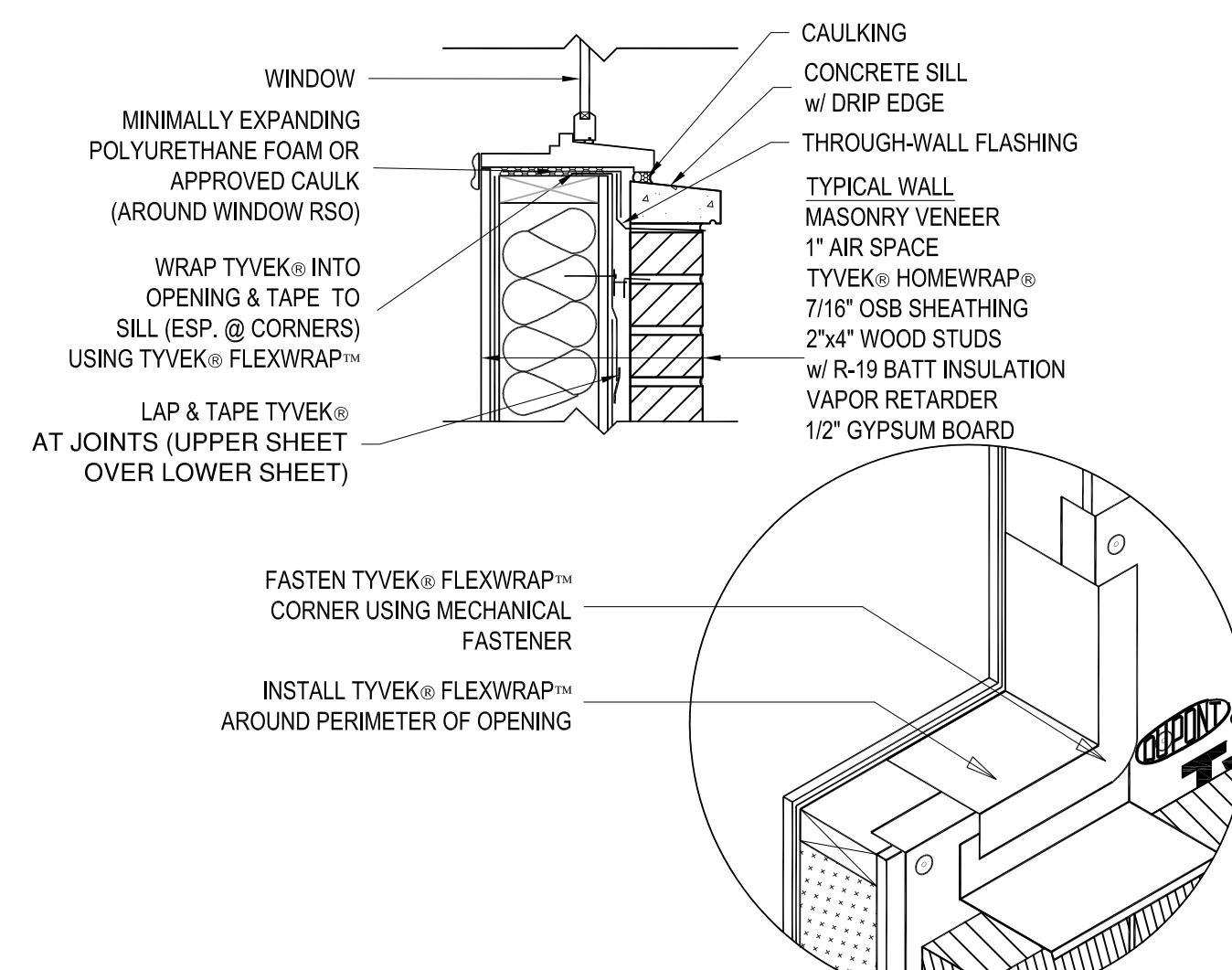
### 1.0 TYPICAL WALL ISOMETRIC

RESIDENTIAL WOOD FRAME STRUCTURE w/ MASONRY VENEER (HEATING CLIMATE)



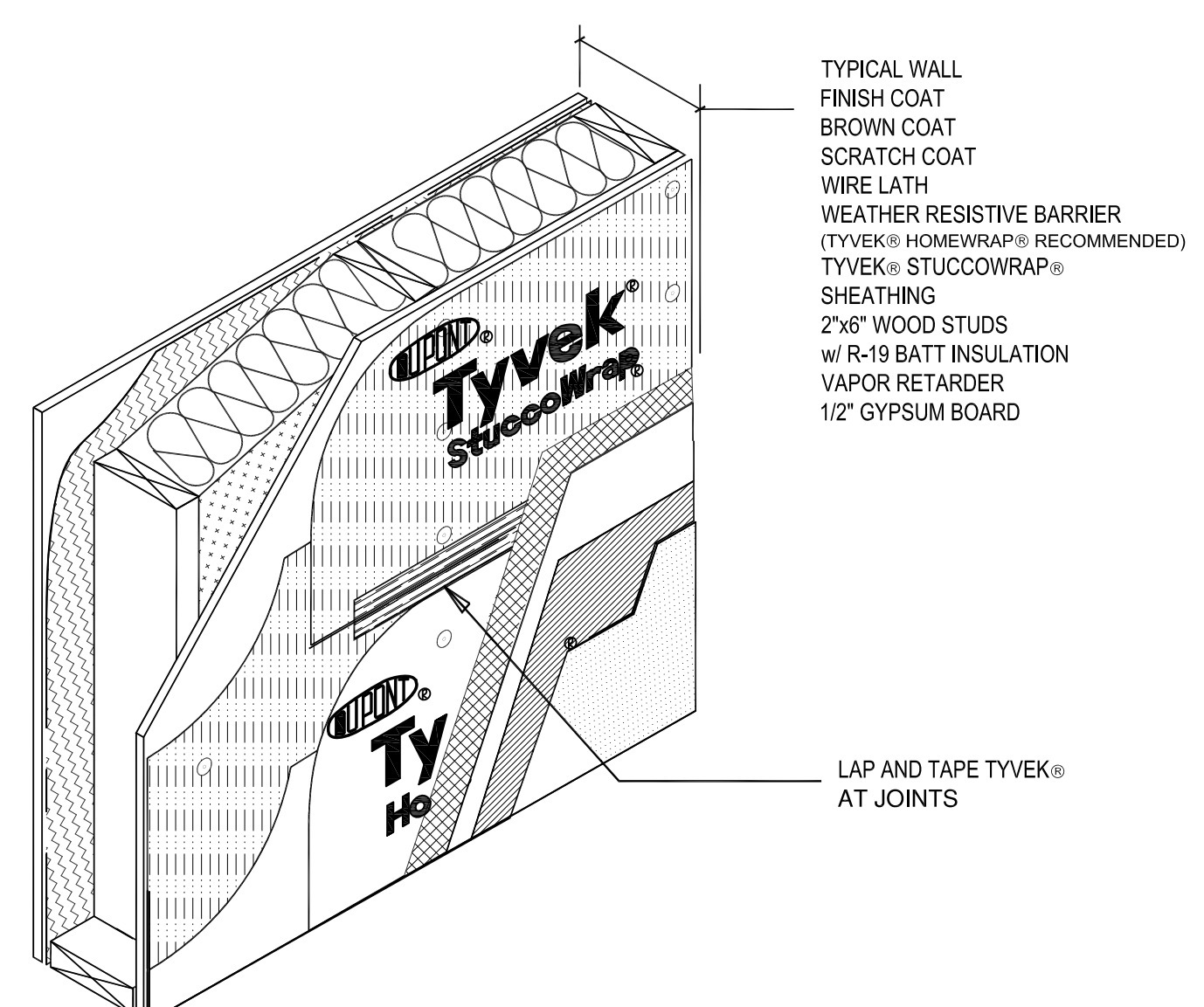
### 5 WINDOW SILL DETAIL

RESIDENTIAL WOOD FRAME STRUCTURE w/ STUCCO (HEATING CLIMATE)



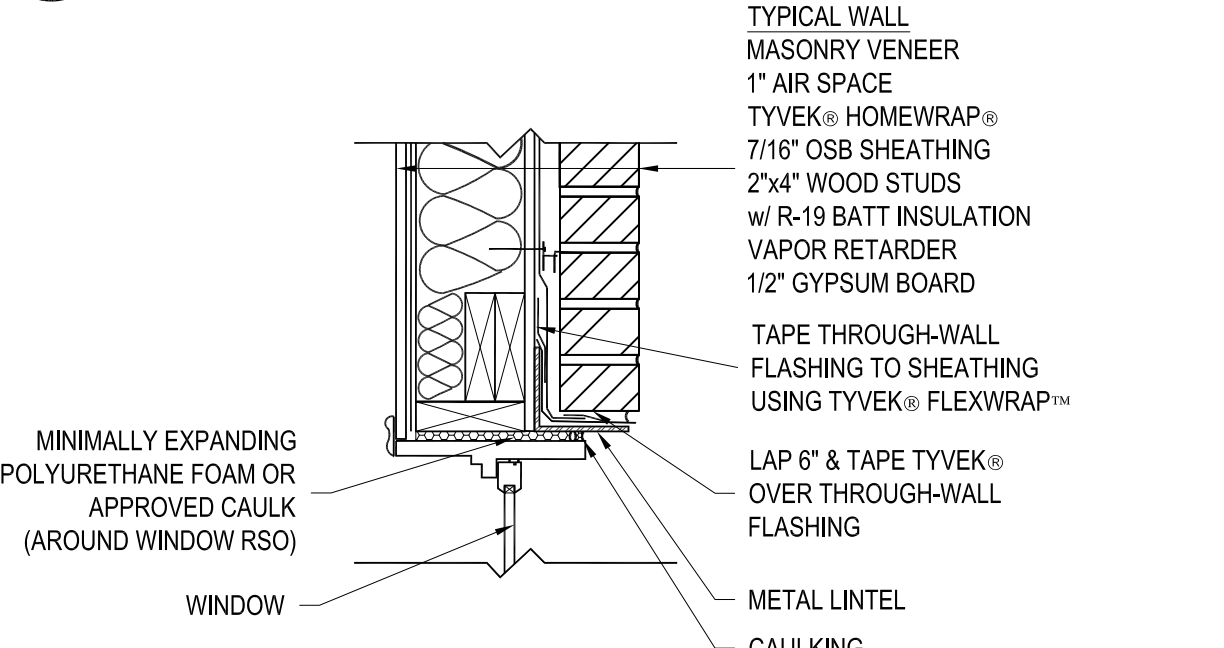
### 1.3 WINDOW SILL DETAIL

RESIDENTIAL WOOD FRAME STRUCTURE w/ MASONRY VENEER (HEATING CLIMATE)



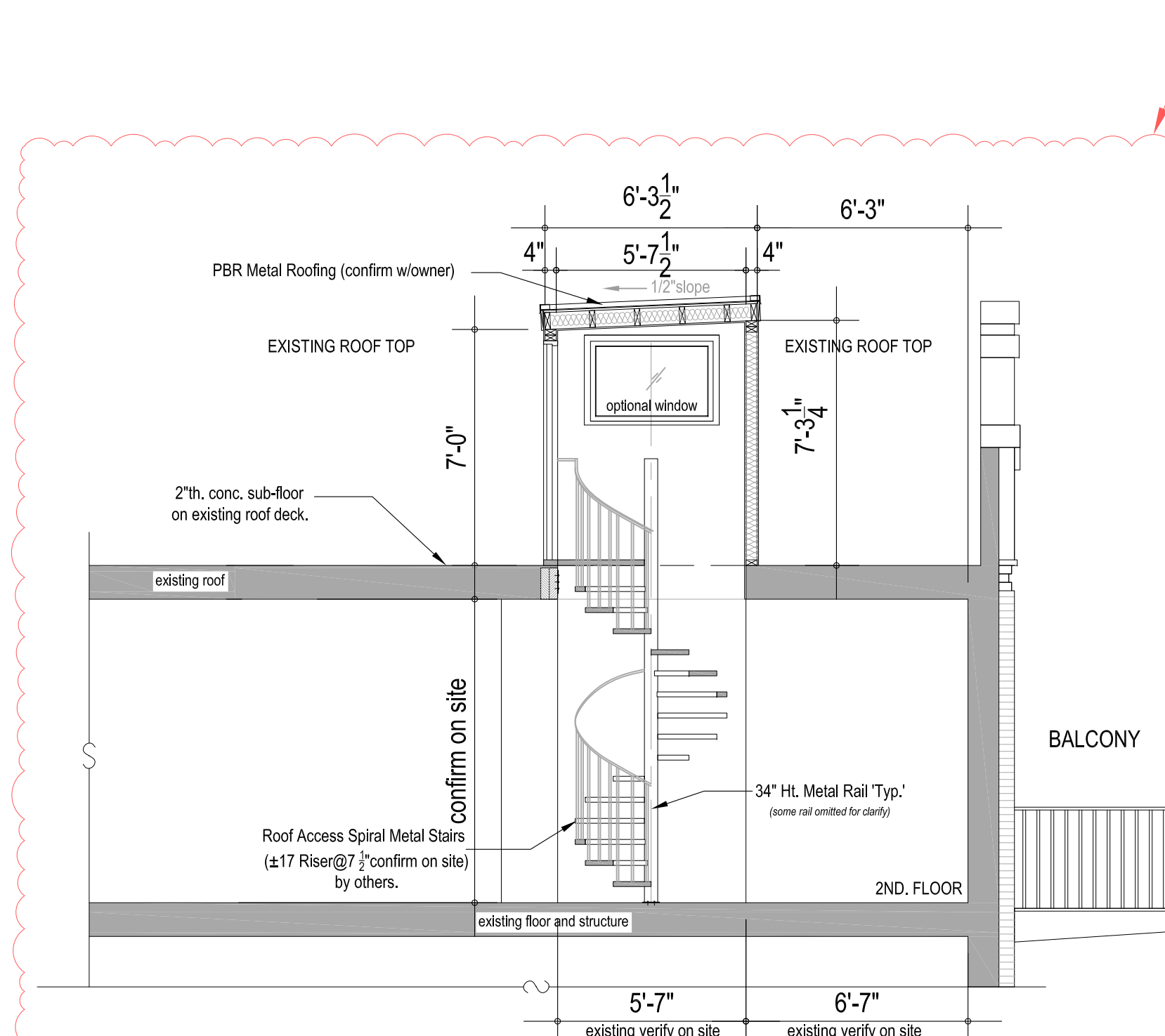
### 8 TYPICAL WALL ISOMETRIC

RESIDENTIAL WOOD FRAME STRUCTURE w/ STUCCO (HEATING CLIMATE)



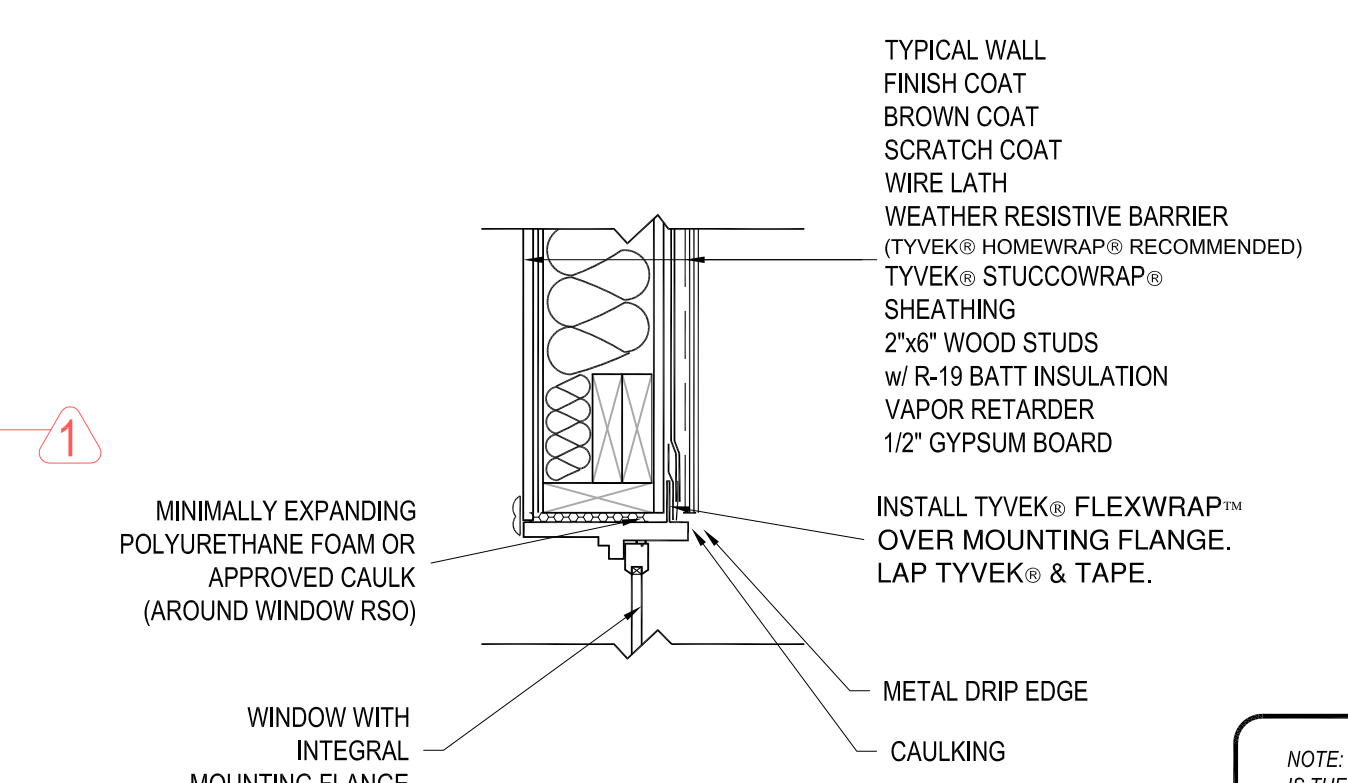
### 1.2 WINDOW HEAD DETAIL

RESIDENTIAL WOOD FRAME STRUCTURE w/ MASONRY VENEER (HEATING CLIMATE)



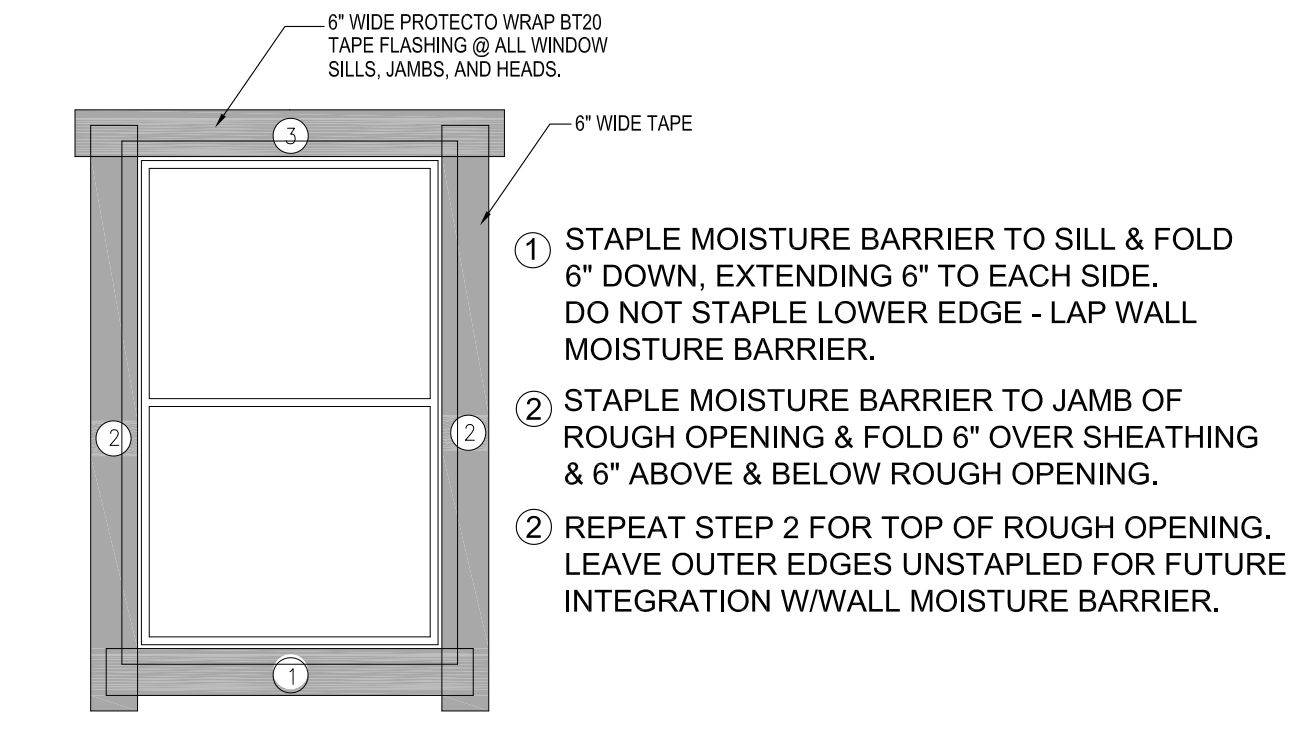
### ROOF ACCESS PART SECTION

Scale : 1/4" = 1'-0" (verify plate height on site)



### 6 WINDOW HEAD DETAIL

RESIDENTIAL WOOD FRAME STRUCTURE w/ STUCCO (HEATING CLIMATE)



### TYPICAL WINDOW FLASHING

NO SCALE (REFER STRUCTURAL FOR STUD SPACING)

#### MISCELLANEOUS NOTES:

ALL GLAZING WITHIN 15 IN. OF THE FLOOR AND/OR WITHIN 24 IN. OF ANY DOOR (REGARDLESS OF WALL PLANE) ARE TO HAVE SAFETY GLAZING. ALL GLAZING WITHIN 60 IN. OF TUB OR SHOWER FLOOR, 60 IN. OF A STAIR LANDING OR GREATER THAN 9 SQUARE FEET ARE TO HAVE SAFETY GLAZING.

SKYLIGHTS ARE TO BE GLAZED WITH TEMPERED GLASS ON OUTSIDE AND LAMINATED GLASS ON THE INSIDE (UNLESS PLAIN GLASS TO HAVE MAXIMUM CLEAR SPAN OF 24 IN. AND FRAME IS TO BE ATTACHED TO A 2x CURB WITH A MINIMUM OF 4 IN. ABOVE ROOF PLANE).

ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS.

ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE 1/2 IN. DEADBOLT LOCKS ON ALL EXTERIOR DOORS, AND LOCKING DEVICES ON ALL DOORS AND WINDOWS WITHIN 10 FT. (VERTICAL) OF GRADE. PROVIDE PEEPHOLE 54-66 IN. ABOVE FIN. FLOOR ON EXTERIOR ENTRY DOORS.

PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.

PROVIDE COMBUSTION AIR VENTS (W/SCREEN AND BACK DAMPER) FOR GAS FIRE-PLACE AND ANY OTHER APPLIANCES WITH AN OPEN FLAME.

BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 5 AIR EXCHANGES PER HOUR.

RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE.

ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.

INSULATE ALL ACCESS DOORS/ HATCHES TO CRAWL SPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE. UNO ON PLANS.

ATTIC R-38  
WALLS R-21  
FLOORS R-30

PROVIDE SPECIAL INSPECTION, SPECIAL TESTING, REPORTING AND COMPLIANCE PROCEDURES AS REQUIRED BY CITY OF HENDERSONVILLE DEVELOPMENT PERMIT AND AS SPECIFIED BY STRUCTURAL ENGINEER.

#### GENERAL NOTES:

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH 2018 INTERNATIONAL BUILDING CODES AND LOCAL CODES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

#### BUILDING PERFORMANCE:

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS, PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

STRUCTURAL ENGINEER: \*  
DESIGNER: JAL Arch Designs, LLC  
BUILDER: \*

PLAN LEGEND	
FLOOR PLAN	
CONC	CONCRETE
CLG	CEILING
D/W	DISH WASHER
DISP	DISPOSAL
IRIS	1 ROD & 1 SHEF
2R2S	2 ROD & 2 SHELVES
TYP. CLG. MOULD	TYPICAL CEILING MOULD
K.S	KNEE SPACE
SHELVES	SHELVES
REF	REFRIGERATOR
OVEN COMB	OVEN W/MICROWAVE
MW	MICROWAVE
CRPT	CARPET
FLGS	FLAGSTONE
GYP	GYPSUM
SH, DL	SINGLE HUNG/DIVIDED LITE
FX, DL	FIX GLASS/DIVIDED LITE
HS, DL	HORIZONTAL SLIDER/DIVIDED LITE
FRAMING PLAN	
YPKD	YELLOW PINE KILN DRIED
SPP	SPRUCE PINE FUR
O.C	ON CENTER
D.B	DROP BEAM
F.B	FLUSH BEAM
DBL	DOUBLE
LVL	LAMINATED VENEER LUMBER
CANT	CANTILEVER
INTERIOR ELEVATION	
F.D	FURR DOWN
F	FILLER
F.P	FIREPLACE
OVER	OVEN FRONT
EXTERIOR ELEVATION	
PROJ	PROJECTED
O.H.D	OVERHEAD DOOR
PLHT	PLATE HEIGHT
PLT	PLATE
F.F	FINISH FLOOR
B.O	BOTTOM OF
T.O	TOP OF

## PROPOSED RENOVATION OF EXISTING TOWNHOME AT 225 N.MAIN STREET

### SPECIFICATIONS AND DETAILS

### WALL SECTION DETAILS

### DOOR & WINDOW DETAILS

DATE : NOVEMBER 29, 2021

PROJECT NO: JAL68-112921

DRAWN BY : J.A.L

PERMIT SET-R080523

A 3



PROPOSED RENOVATION OF EXISTING TOWNHOME AT 225 N.MAIN STREET

RENOVATION ELECTRICAL PLAN  
INTERIOR WALL ELEVATIONS  
ELECTRICAL SCHEDULE

DATE : NOVEMBER 29, 2021  
PROJECT NO: JAL68-112921  
DRAWN BY : J.A.L  
REVISED PERMIT SET-R080523

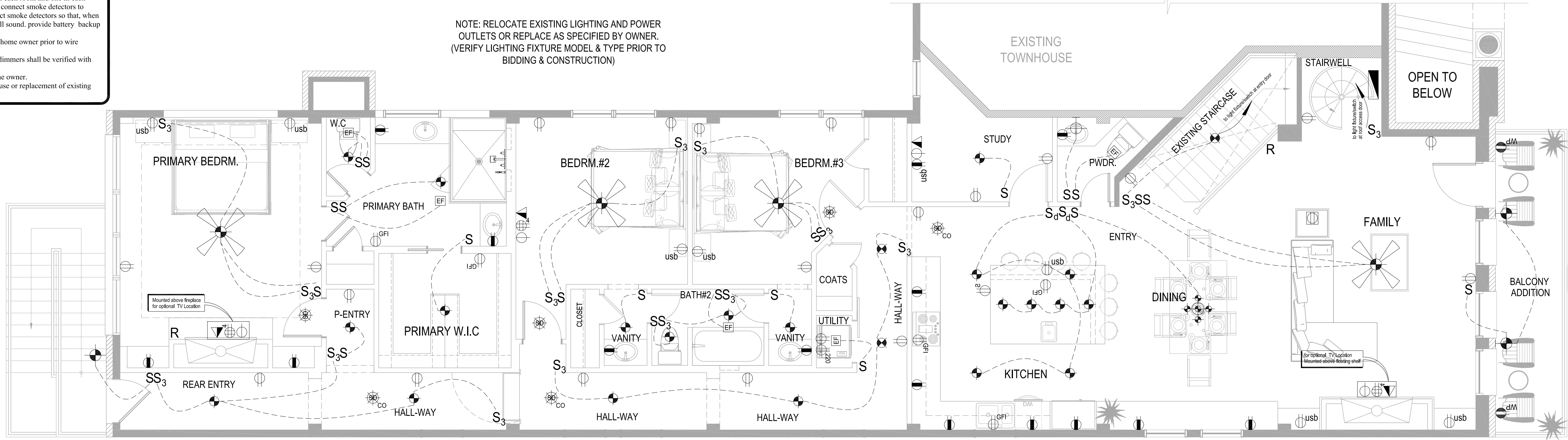
A 4.0

ELECTRICAL NOTES:

Home owner shall do a walk-thru with relevant installers to verify the exact location for outlets, lights, switches, cable, data, phone, audio, etc.

- electrical receptacles in bathrooms, kitchens and garages shall be g.f.i. org.f.i.c. per national electrical code requirements.
- provide one smoke detector in each room and one in each corridor accessing bedrooms. connect smoke detectors to house power and inter-connect smoke detectors so that, when any one is tripped, they all will sound. provide battery backup for all units.
- circuits shall be verified with home owner prior to wire installation.
- final switches for timers and dimmers shall be verified with home owner.
- fixtures to be selected by home owner.
- electrician shall verify the re-use or replacement of existing electrical panel box.

NOTE: RELOCATE EXISTING LIGHTING AND POWER OUTLETS OR REPLACE AS SPECIFIED BY OWNER. (VERIFY LIGHTING FIXTURE MODEL & TYPE PRIOR TO BIDDING & CONSTRUCTION)



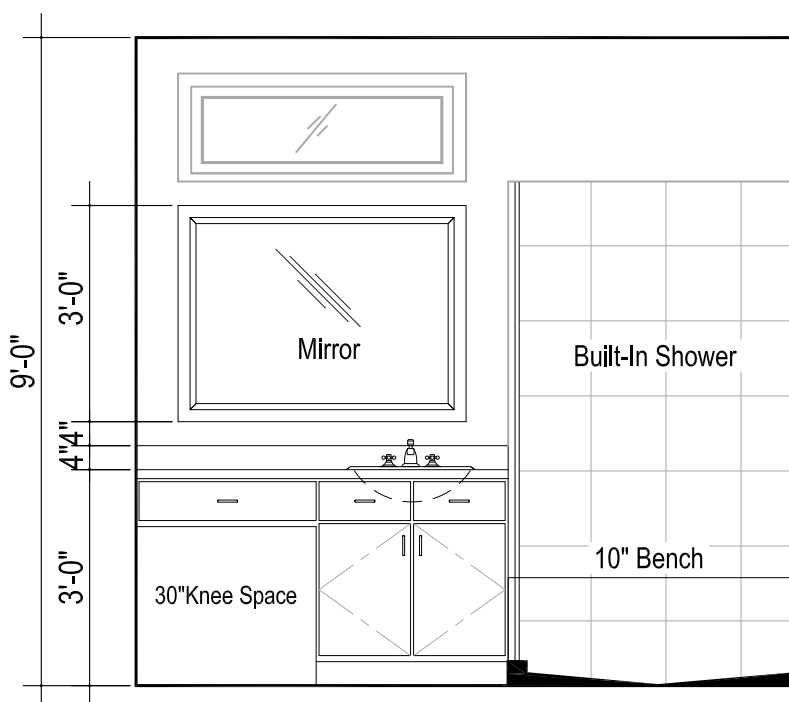
RENOVATION ELECTRICAL PLAN

Scale : 1/4" = 1'-0"

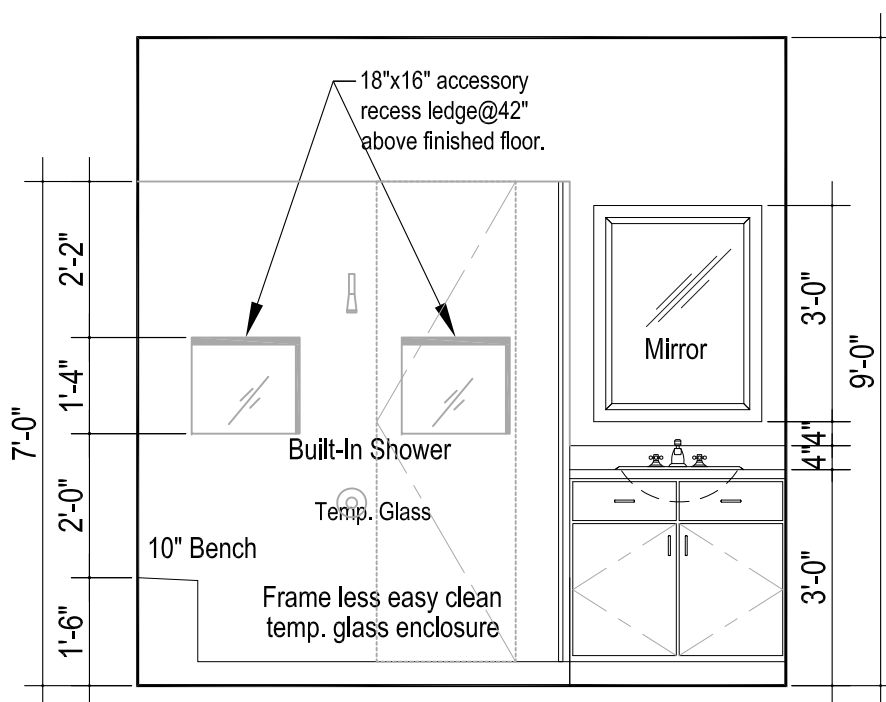
ELECTRICAL SCHEDULE

SYMBOL	ELECTRICAL SPECIFICATIONS	QUANTITY
	CRYSTAL CHANDELIER w/ LIGHT CEILING MOUNTED.	
	SMOKE DETECTOR MOUNTED IN CEILING.	
	CARBON MONOXIDE DETECTOR CEILING MOUNTED.	
	52" CEILING FAN WITH LIGHT MOUNTED ON CEILING.	
	INCANDESCENT OUTDOOR WALL MOUNTED LIGHT FIXTURE MOUNTED 6'-0" ABOVE FLOOR LEVEL.	
	INCANDESCENT LIGHT FIXTURE MOUNTED IN CEILING.	
	6" RECESS DOWN LIGHT MOUNTED IN CEILING.	
	3" RECESS POT LIGHT MOUNTED IN CEILING.	
	MINI RECESS LED PIN LIGHT MOUNTED IN CEILING.	
	16 CIRCUIT DISTRIBUTION PANEL MOUNTED 4'-0" ABOVE FLOOR LEVEL.	
	110 VOLTS DUPLEX OUTLET MOUNTED 1'-0" ABOVE FLOOR LEVEL.	
	110 VOLTS DUPLEX OUTLET w/USB CHARGER MOUNTED 1'-0" ABOVE FLOOR LEVEL.	
	110 VOLTS DUPLEX OUTLET w/USB CHARGER MOUNTED 3'-6" ABOVE FLOOR LEVEL.	
	110 VOLTS GFCI DUPLEX OUTLET MOUNTED 3'-6" ABOVE FLOOR LEVEL.	
	110 VOLTS WEATHER PROOF DUPLEX OUTLET MOUNTED 1'-0" ABOVE FLOOR LEVEL.	
	110 VOLTS MULTI-TAP POWER STRIP MOUNTED UNDER COUNTER AT KITCHEN ISLAND CABINET.	
	110 VOLTS QUADPLEX OUTLET MOUNTED 1'-0" ABOVE FLOOR LEVEL.	
	SINGLE POLE WHITE SWITCH MOUNTED 3'-6" ABOVE FLOOR LEVEL.	
	THREE-WAY WHITE SWITCH MOUNTED 3'-6" ABOVE FLOOR LEVEL.	
	FOUR-WAY WHITE SWITCH MOUNTED 3'-6" ABOVE FLOOR LEVEL.	
	SINGLE POLE WHITE DIMMER SWITCH MOUNTED 3'-6" ABOVE FLOOR LEVEL.	
	TELEPHONE JACK MOUNTED 1'-0" ABOVE FLOOR LEVEL.	
	CAT 6 DATA JACK MOUNTED 1'-0" ABOVE FLOOR LEVEL.	
	CABLE JACK MOUNTED 1'-0" ABOVE FLOOR LEVEL.	
	110 VOLTS DUPLEX OUTLET MOUNTED IN CEILING.	
	EXHAUST FAN MOUNTED IN CEILING.	

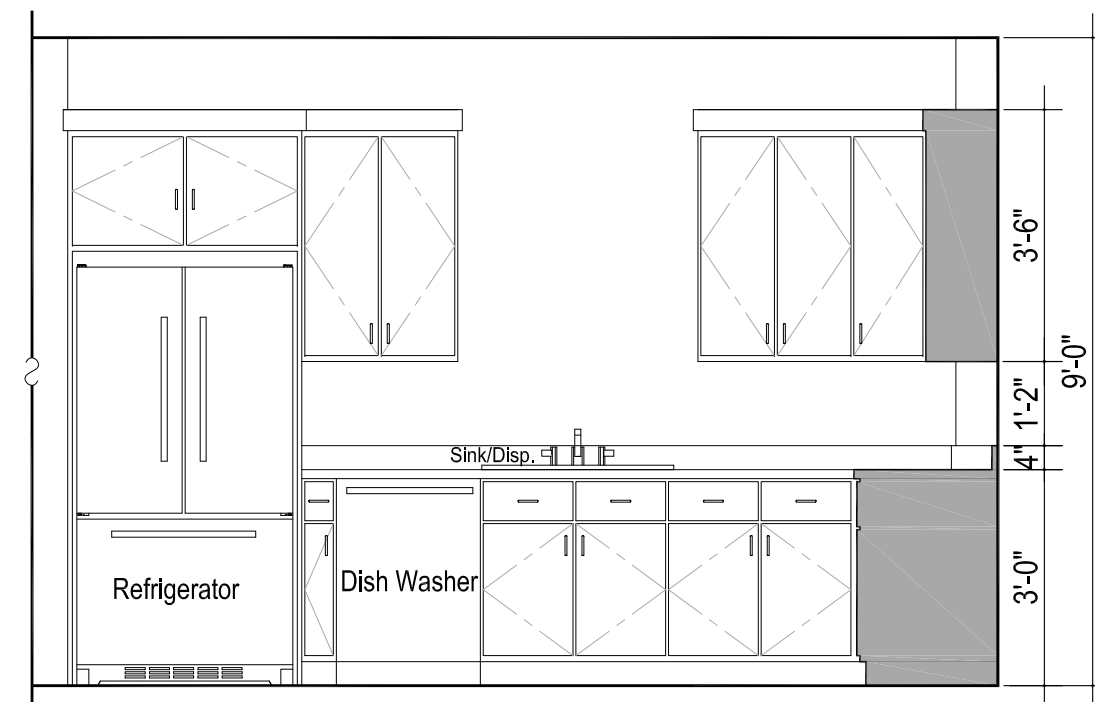
NOTE: ALL CONDUITS SHALL BE CONCEALED IN/ON WALLS FLOORS AND CEILING AND SHALL COMPLY TO LOCAL CODES.  
PROVIDE LIGHTING AND POWER IN ATTIC FOR MECHANICAL AND PLUMBING UNITS.  
COMPLY TO LOCAL CODES.



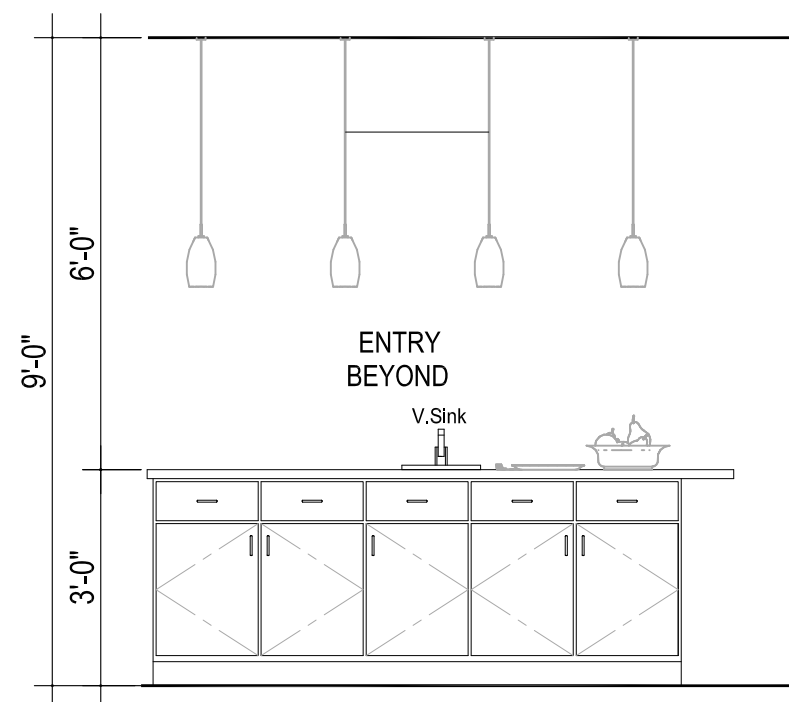
A PRIMARY BATH  
Scale : 3/8" = 1'-0"



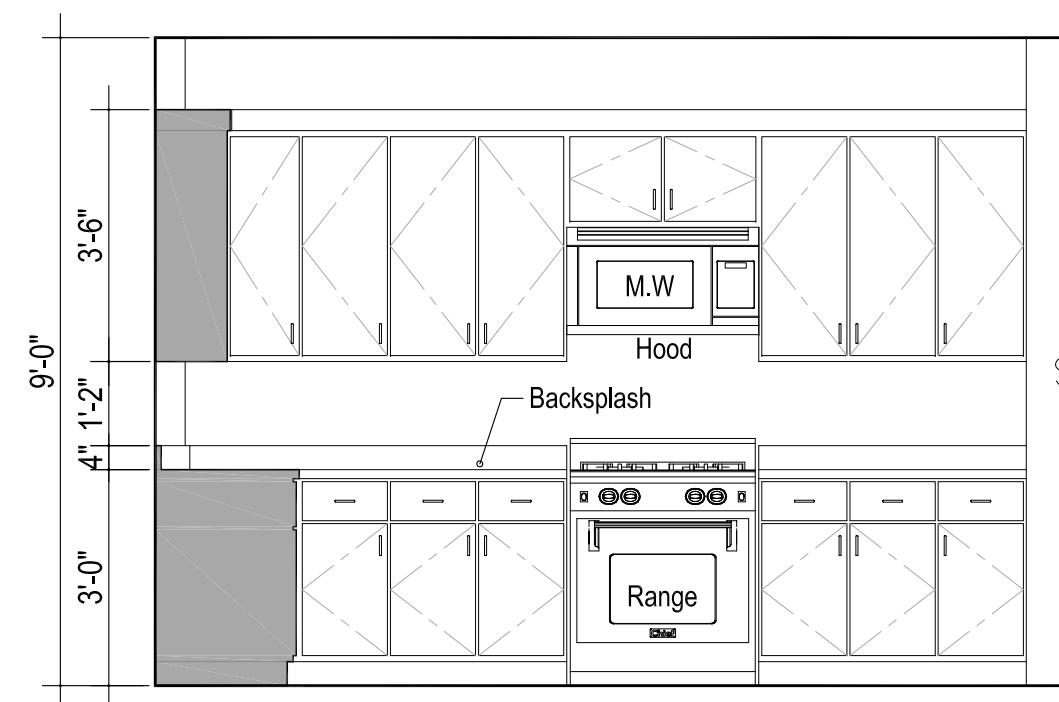
B PRIMARY BATH  
Scale : 3/8" = 1'-0"



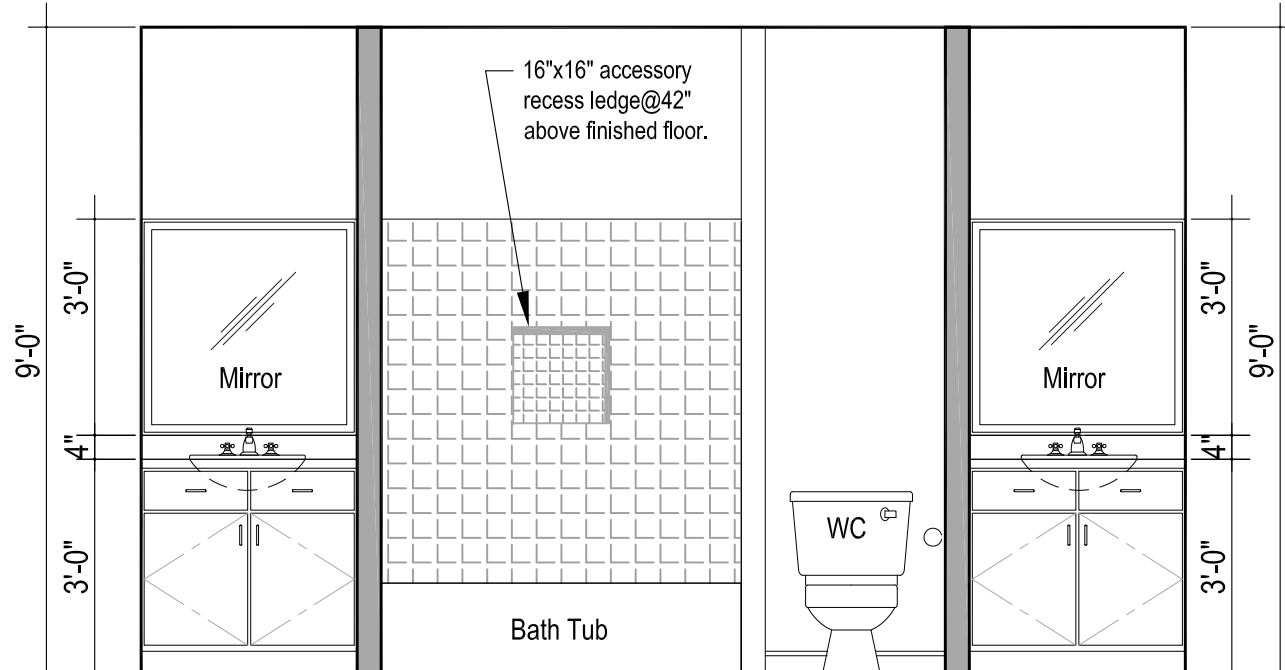
F KITCHEN  
Scale : 3/8" = 1'-0"



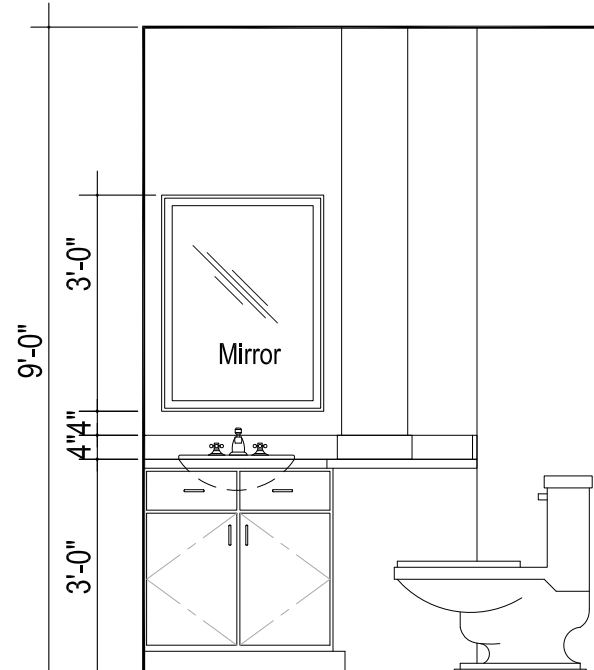
G ISLAND  
Scale : 3/8" = 1'-0"



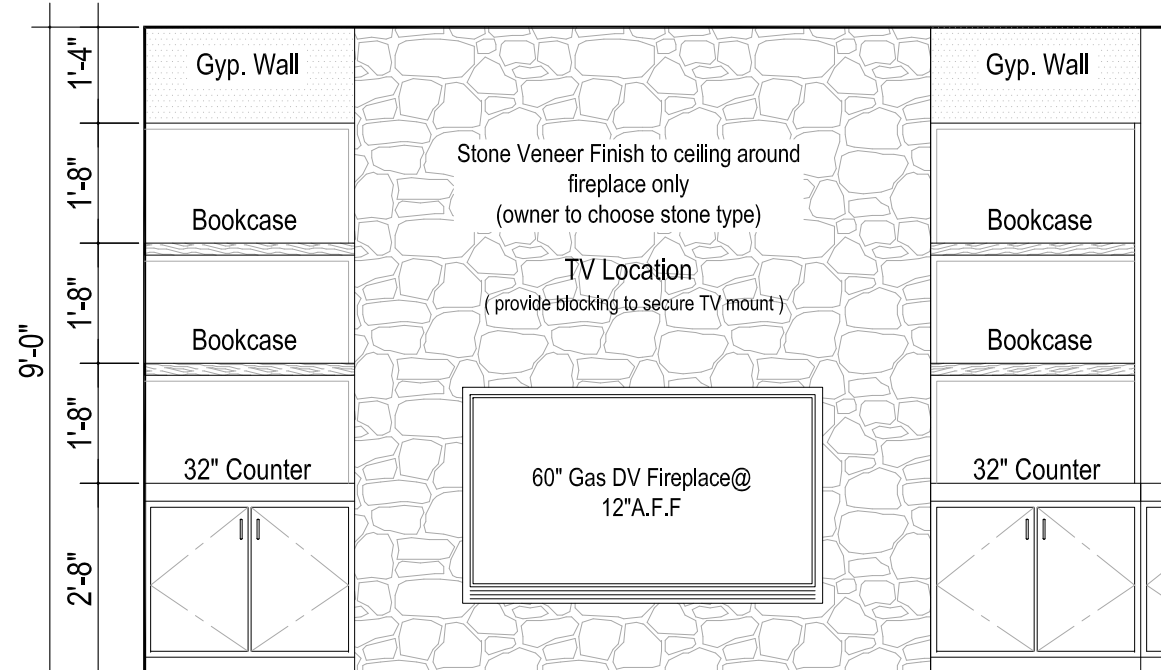
K KITCHEN  
Scale : 3/8" = 1'-0"



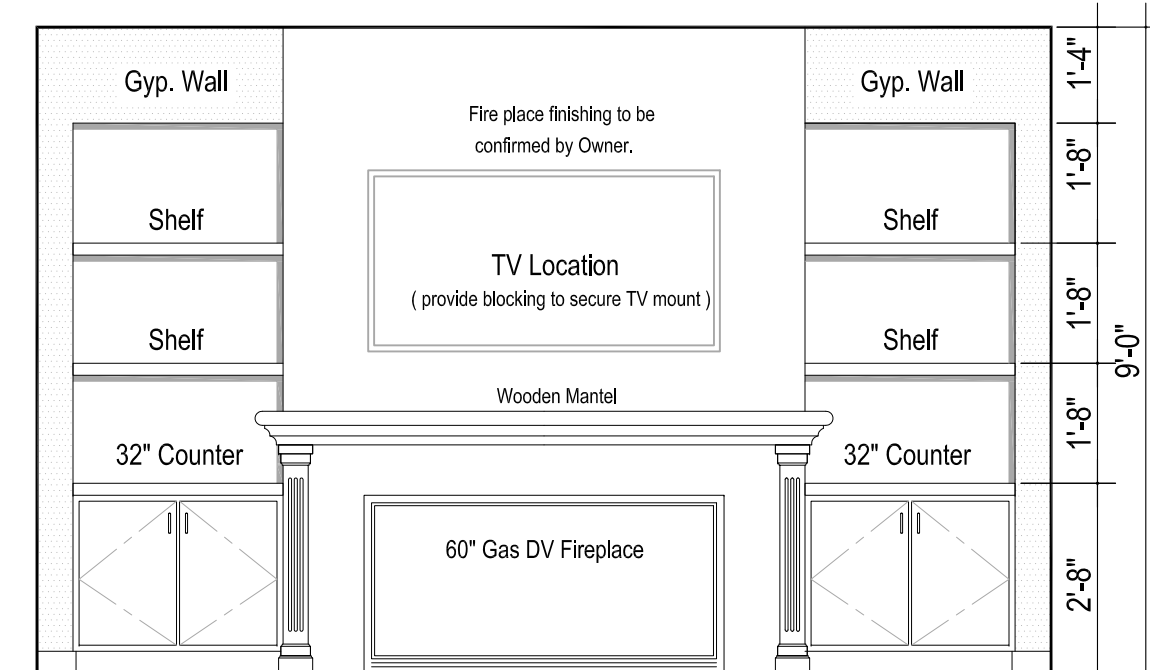
C VANITY  
Scale : 3/8" = 1'-0"



E POWDER  
Scale : 3/8" = 1'-0"



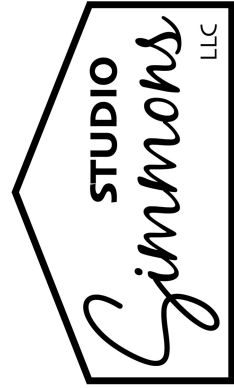
H FAMILY  
Scale : 3/8" = 1'-0"



J PRIMARY BEDRM.  
Scale : 3/8" = 1'-0"

KITCHEN AND CABINET NOTES:  
1. CONFIRM ALL CABINETS COLOR WITH HOME OWNER PRIOR TO ORDERING.  
2. CONFIRM DOOR & DRAWER STYLES WITH HOME OWNER PRIOR TO ORDERING.  
3. INSTALL HARDWARE ON SITE.  
4. INSTALL CROWN MOLDING ON SITE; MATCH CABINET COLOR; CONFIRM PROFILE AND DIMENSION WITH HOME OWNER.  
5. CUT OVEN OPENING ON SITE, SEE APPLIANCE SPECIFICATIONS.  
6. INSTALL HOOD AND ALL APPLIANCES PER MANUFACTURER SPECIFICATIONS.  
7. ALL APPLIANCES TO BE ON DEDICATED CIRCUITS.  
8. USE MIN 6" DUCT FOR HOOD.  
9. CONFIRM FINAL MATERIALS FOR BACKSLASH AND COUNTERTOP WITH HOME OWNER PRIOR TO ORDERING





2508 Greater Druid Hills Blvd  
Hendersonville, NC  
828.776.0995  
grace@studiosimmons.net

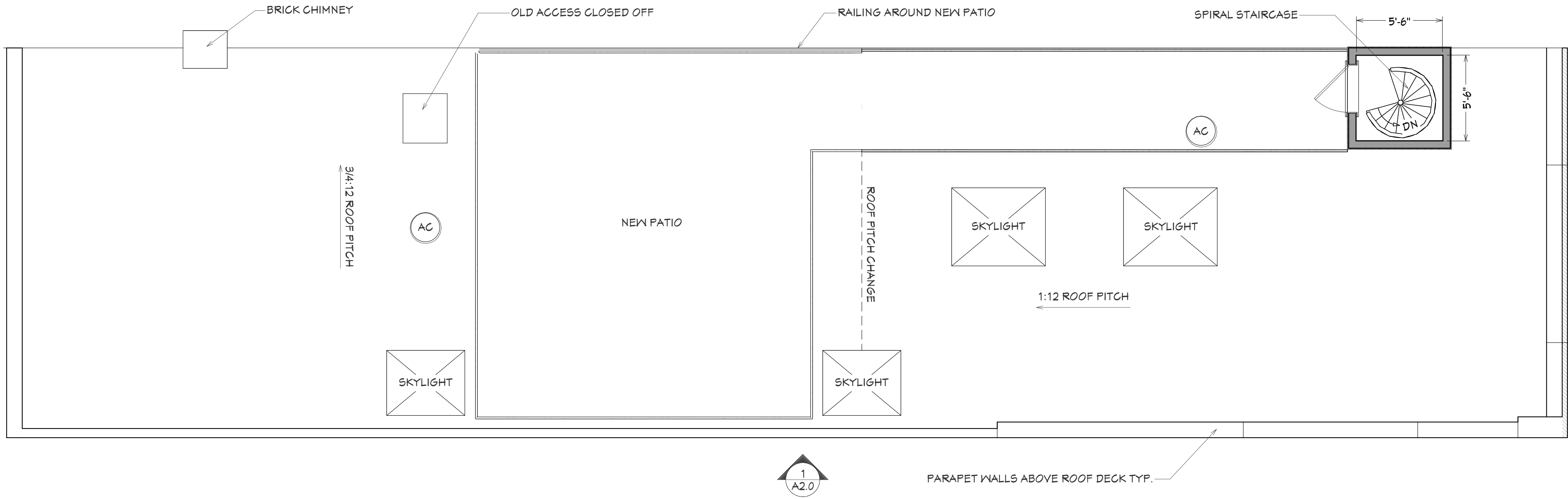
KRAUS RENOVATION  
225 NORTH MAIN STREET  
HENDERSONVILLE, NC

ROOF PLAN

DATE:  
5/24/2023

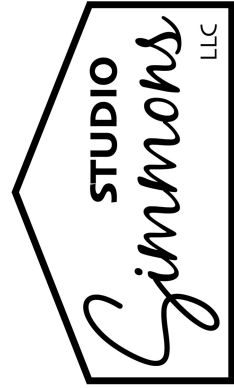
SCALE:  
1/4"=1'-0"

SHEET:  
**A1.0**



**1**  
A1.0 **ROOF PLAN**  
SCALE: 1/4"=1'-0"





2508 Greeter Druid Hills Blvd  
Hendersonville, NC  
828.776.0995  
groce@studiosimmons.net

KRAUS RENOVATION  
225 NORTH MAIN STREET  
HENDERSONVILLE, NC

ELEVATION

DATE:

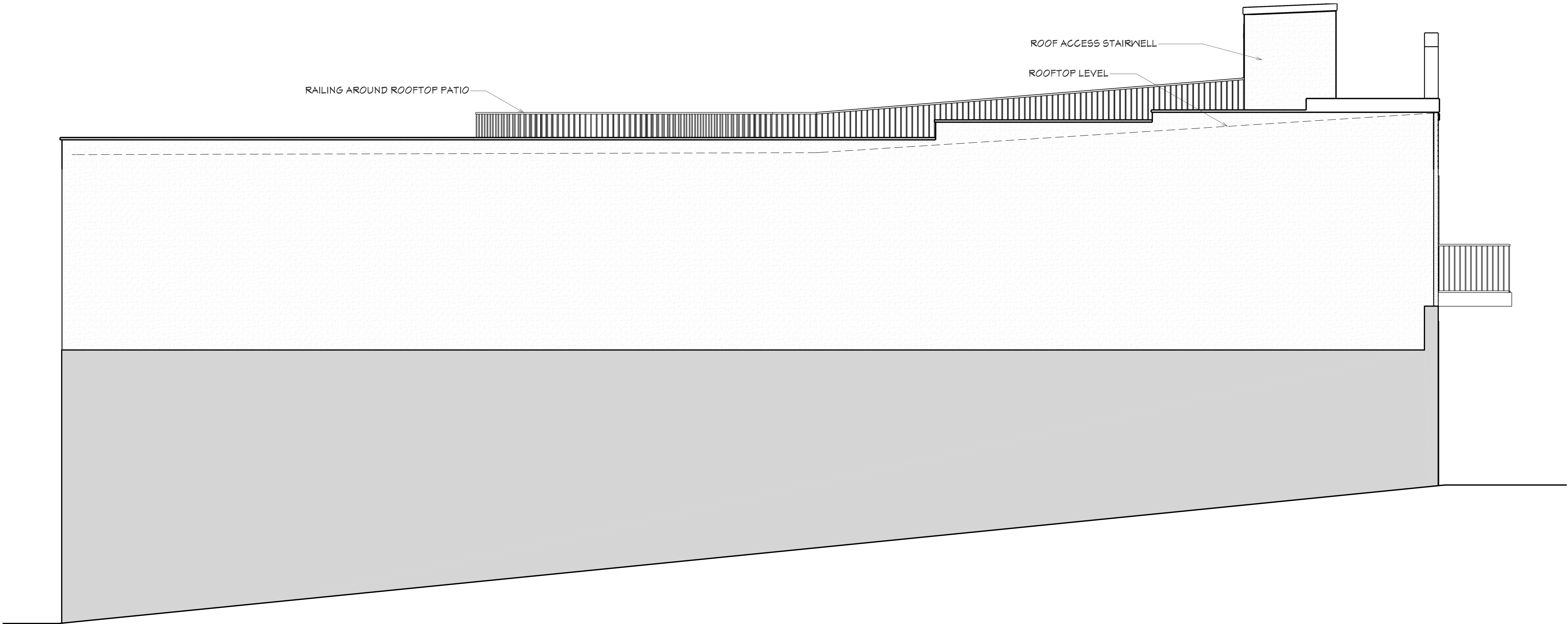
5/24/2023

SCALE:

1/4"=1'-0"

SHEET:

A2.0



1  
A2.0

SOUTH ELEVATION

SCALE: 1/4"=1'-0"



BK 3877 PG 151 - 154 (4)

DOC# 974769

This Document eRecorded:

03/02/2022

01:15:28 PM

Fee: \$26.00

Henderson County, North Carolina

Tax: \$1,800.00

William Lee King, Register of Deeds

### NORTH CAROLINA GENERAL WARRANTY DEED

Excise Tax:	1800.00
Parcel ID:	9568-77-8673
Mail/Box to:	Romeo, Harrelson & Coiner, P.A. 136 S. King Street, Ste B, Hendersonville, NC 28792
Prepared by:	Van Winkle, Buck, Wall, Starnes & Davis, P.A. 422 S. Main Street, Hendersonville, NC 28792
Brief description for the Index:	225 N. Main Street

THIS GENERAL WARRANTY DEED ("Deed") is made on the 2<sup>nd</sup> day of March, 2022, by and between:

GRANTOR	GRANTEE
Marvin K. Allen and wife, Sharon B. Allen  314 N Main Street Hendersonville, NC 28791	Hendersonville Holdings, LLC, A Delaware Limited Liability Company <i>19500 State Hwy 249 Ste. 350 Houston, TX 77070</i>

*Enter in the appropriate block for each Grantor and Grantee their name, mailing address, and, if appropriate, state of organization and character of entity, e.g. North Carolina or other corporation, LLC, or partnership. Grantor and Grantee includes the above parties and their respective heirs, successors, and assigns, whether singular, plural, masculine, feminine or neuter, as required by context.*

*This instrument was prepared by Michael M. Thompson, a licensed North Carolina attorney. Delinquent taxes, if any, to be paid by the closing attorney to the county tax collector upon disbursement of closing proceeds.*

FOR VALUABLE CONSIDERATION paid by Grantee, the receipt and legal sufficiency of which is acknowledged, Grantor by this Deed does hereby grant, bargain, sell and convey to Grantee, in fee simple, all that certain lot, parcel of land or condominium unit in the City of Hendersonville, Hendersonville Township, Henderson County, North Carolina and more particularly described as follows (the "Property"):

SEE EXHIBIT A ATTACHED HERETO FOR REFERENCE

Page 1

NC Bar Association Real Property Section Form No. 3 © Revised 02/2021  
Printed by Agreement with the NC Bar Association

Submitted electronically by "Romeo, Harrelson & Coiner, P.A."  
in compliance with North Carolina statutes governing recordable documents  
and the terms of the submitter agreement with the Henderson County Register of Deeds.

All or a portion of the Property was acquired by Grantor by instrument recorded in Book 711 page 658, Henderson County Registry.

All or a portion of the Property includes or does not include the primary residence of a Grantor.

A map showing the Property is recorded in Plat Book \_\_\_\_\_ page \_\_\_\_\_.

TO HAVE AND TO HOLD the Property and all privileges and appurtenances thereto belonging to Grantee in fee simple. Grantor covenants with Grantee that Grantor is seized of the Property in fee simple, Grantor has the right to convey the Property in fee simple, title to the Property is marketable and free and clear of all encumbrances, and Grantor shall warrant and defend the title against the lawful claims of all persons whomsoever, other than the following exceptions:

Easements, covenants, conditions and restrictions of record; 2022 ad valorem taxes; and utilities physically located on the property.

IN WITNESS WHEREOF, Grantor has duly executed this North Carolina General Warranty Deed, if an entity by its duly authorized representative.

  
Name: Marvin K. Allen

  
Name: Sharon B. Allen

\_\_\_\_\_  
Entity Name

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

STATE OF NORTH CAROLINA, COUNTY OF HENDERSON

I Edward L Harrelson, a Notary of the above state and county, certify that the following person(s) personally appeared before me on the 2nd day of March 2022 each acknowledging to me that he or she signed the foregoing document, in the capacity represented and identified therein (if any): Marvin K. Allen and wife, Sharon B. Allen.

Affix Notary Seal/Stamp

Edward L Harrelson  
NOTARY PUBLIC  
Polk County, NC

  
Notary Public (Official Signature)

My commission expires: 1-17-2025



**EXHIBIT A: PROPERTY of  
HENDERSONVILLE HOLDINGS, LLC, a DELAWARE LIMITED  
LIABILITY COMPANY**

BEGINNING at a stake in the west margin of Main Street, said stake being the northeast corner of the property known as the St. Johns Hotel property, and the southeast corner of the Peoples Bank property, the said pin standing North 7 deg. 58 min. 27 sec. West 150.14 feet from the Southeast corner of that property described in Deed Book 596 at Page 599, Henderson County Registry; and running from said BEGINNING point, leaving Main Street, South 81 deg. 58 min. 26 sec. West 130.72 feet to a railroad spike; thence a new line, North 8 deg. 10 min. 58 sec. West 22.90 feet to a railroad spike; thence North 81 deg. 58 min. 26 sec. East, partly with the center line of a common wall, to a point in the westerly margin of Main Street; thence with the westerly margin of Main Street, South 8 deg. 10 min. 58 sec. East 22.90 feet to the point and place of BEGINNING, and containing .06 acre, more or less, as shown upon "Map of Survey for Main St., Inc.," prepared by Laughter, Venezia and Associates, P.A., dated April 1983, and identified as Job No. 83-108.

There is also conveyed herewith all of the rights and uses described in that deed from the Peoples National Bank to M. C. Toms and C. F. Toms, dated March 21, 1912, recorded in Deed Book 75 at Page 194, Henderson County Registry. The above described property is the easterly portion of the property described in Deed Book 75 at Page 194, as well as Deed Book 391 at Page 393, and Deed Book 383 at Page 197, Henderson County Registry.

This conveyance is made and accepted subject to any easements of record.

There is also excepted from this conveyance, the right of egress from and ingress to the tract of land situated immediately to the west of this property, which is retained by Marion F. Toms, Jr., and Elizabeth Birch Toms, their heirs, successors and assigns, and which is presently used for parking purposes, the said easement to lead across the existing driveway in a southerly direction out to the city alleyway and then to Second Avenue West, the said right of way to be non-exclusive and to be used by Marion F. Toms, Jr., and Elizabeth Birch Toms, their heirs, successors and assigns, their successors in interest, the Grantees and any other party entitled to use the same. The tract which the easement is to serve is described by metes and bounds as follows:

BEGINNING at an iron pin, southwest corner of that tract described in Deed Book 586 at Page 413, Henderson County Registry; and running thence North 81 deg. 58 min. 26 sec. East 39.28 feet to a railroad spike; thence a new line, running South 8 deg. 10 min. 58 sec. East 22.90 feet to a railroad spike; thence running

South 81 deg. 58 min 26 sec. West 39.36 feet to an iron pin, southwest corner of the original tract described in Deed Book 75 at Page 194 Henderson County Registry; and running thence North 8 deg. 0 min. 8 sec. West 22.90 feet to the point and place of BEGINNING, and containing .02 acre, more or less, and being the westerly portion of the tract described in Deed Book 75 at Page 194, Henderson County Registry.

AND BEING the same property which was conveyed by deed from James H. Cunningham and wife, Suzanne J. Cunningham to Marvin Kenneth Allen and wife, Sharon B. Allen, dated December 30, 1987, and of record in Deed Book 711 at Page 658 of the Henderson County, North Carolina Register of Deeds Office.

Said property is further identified by address:

225 N. Main Street

Hendersonville, NC 28792

Tax Parcel: 116589