



**CITY OF HUTCHINS
ZONING BOARD OF ADJUSTMENT MEETING
AGENDA
Wednesday, April 15, 2026 at 6:00 PM
City Hall - Council Chamber, 400 N. JJ Lemmon Road**

Pursuant to Section 551 of the Texas Government Code, notice is hereby given of a Regular Meeting of the Zoning Board of Adjustment Board to be held on Wednesday, April 15, 2026 at 6:00 PM located at Hutchins City Hall Council Chambers, 400 N. JJ Lemmon Road, Hutchins, Texas, at which time the following items will be discussed and considered.

Board Members

Chair, Dana Landry
Vice Chair, Freddie Chism
Secretary, Lucille Hollis
Board Member, Felix Madrigal
Board Member, Guy Crawford
Board Member, Garry Jones

A. CALL TO ORDER AND ANNOUNCE A QUORUM PRESENT

Roll Call

Invocation

Pledge of Allegiance

B. INVOCATION AND PLEDGE OF ALLEGIANCE

C. CITIZEN COMMENTS - *This agenda item provides an opportunity for citizens to address the Board on any matter that is not posted on the agenda. Anyone wishing to address the Board should complete a Citizen Comments Form and submit it to the recording secretary prior to the start of the Board meeting. There is a three (3) minute time limit for each citizen to speak. However, in accordance with the Texas Open Meetings Act, the Board cannot discuss issues raised or make any decision at this time.*

D. PRESENTATIONS

E. PUBLIC HEARINGS

1. A. Conduct a public hearing, discuss and consider a Variance request by Dora Williams to the Hutchins Zoning Ordinance Section 17.4 E. Single Family Residential 7,000 Parking Regulations “A minimum of two (2) enclosed parking spaces behind the front building line and on the same lot as the main structure” and 17.5 E. Special Requirements “The elimination of a garage space by enclosing the garage with a stationary building wall shall be prohibited.”, in lieu of purchasing the house in existing condition with a garage conversion for the property located

North of Dowdy Ferry Road and East of Glenview Drive more commonly described as 116 Willowgrove Drive.

B. Open Public Hearing and Receive Comment.

C. Discuss and consider a Variance request by Dora Williams to the Hutchins Zoning Ordinance Section 17.4 E. Single Family Residential 7,000 Parking Regulations “A minimum of two (2) enclosed parking spaces behind the front building line and on the same lot as the main structure” and 17.5 E. Special Requirements “The elimination of a garage space by enclosing the garage with a stationary building wall shall be prohibited.”, in lieu to purchasing the house in existing condition with a garage conversion for the property located North of Dowdy Ferry Road and East of Glenview Drive more commonly described as 116 Willowgrove Drive.

2. A. Conduct a public hearing, discuss and consider a Variance request by John Gonzalez with RTG Capital to the City of Hutchins Code of Ordinances Chapter 14A Zoning Ordinance Section 33.3 C. Nonresidential and MF Districts – Special Off-Street Parking Provisions to allow proposed driving lanes for trucks with the exception of unpaved areas intended for outdoor storage, for the properties located South of Dowdy Ferry Road and North of East Wintergreen Road, Tract 49, 10.4903 acres in the William Gatlin ABST, Tract 18.2, 7.8516 acres in the Thomas Freeman ABST, Tract 48, 5.00 acres in the William Gatlin ABST, commonly addressed as 1300, 904 & 1310 S IH 45.

B. Open Public Hearing and Receive Comment.

C. Discuss and consider a Variance request by John Gonzalez with RTG Capital to the City of Hutchins Code of Ordinances Chapter 14A Zoning Ordinance Section 33.3 C. Nonresidential and MF Districts – Special Off-Street Parking Provisions to allow proposed driving lanes for trucks with the exception of unpaved areas intended for outdoor storage, for the properties located South of Dowdy Ferry Road and North of East Wintergreen Road, Tract 49, 10.4903 acres in the William Gatlin ABST, Tract 18.2, 7.8516 acres in the Thomas Freeman ABST, Tract 48, 5.00 acres in the William Gatlin ABST, commonly addressed as 1300, 904 & 1310 S IH 45

F. REGULAR AGENDA - *As authorized by Section 551.071 of the Texas Government Code, the Board reserves the right to convene in Executive Session for the purpose of seeking confidential legal advice from the City Attorney on any agenda item listed herein.*

3. Approval of the February 25, 2026 Minutes.

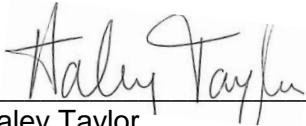
G. ITEMS OF COMMUNITY INTEREST

4. City Council Meeting, Monday, April 20, 2026, 6:30 p.m., Hutchins City Hall, 400 N. JJ Lemmon Rd., Hutchins.
5. Atwell Public Library Board Meeting, Tuesday, April 21, 2026, 6:30 p.m., Hutchins City Hall, 400 N. JJ Lemmon Rd., Hutchins.
6. R&B Recycle Event hosted by Keep Hutchins Beautiful Board, Saturday, April 25, 2026, Hutchins Event Center, 400 N. JJ Lemmon Rd., 12 p.m. - 2:30 p.m.
7. Spring Cleanup, Saturday, May 16, 2026, 300 N Main Street., 8 a.m. - 12:00 p.m.

H. ADJOURN

CERTIFICATION

I certify that a copy of the April 15, 2026 agenda of items to be considered by the Zoning Board of Adjustment Board was posted on the City Hall bulletin board, a place convenient and readily accessible to the general public at all times, and to the City's website www.cityofhutchins.org, in accordance with Chapter 551 of the Texas Government Code. Posted on April 9, 2026 before 6:00 p.m.



Haley Taylor
Staff Liaison

ACCESSIBILITY STATEMENT

The meeting location is wheelchair accessible from the front door. Request for special services must be received at least 48 hours in advance of scheduled meeting. For assistance, please call the office of the City Secretary at 972-225-6121 or email the City Secretary at colguin@cityofhutchins.org



STAFF REPORT

MEETING DATE: April 15, 2026

MEETING TYPE: Zoning Board of Adjustments

SUBMITTED BY: Blake Moore

AGENDA CAPTION: Discuss and Consider a Variance by Dora Williams to the City of Hutchins Code of Ordinances Chapter 17 SF-7, section 17.5 Special Requirements the elimination of a garage space by enclosing the garage with a stationary building wall shall be prohibited. Property Located at 116 Willow Grove Dr.

Presented by: Chief Building Official

Background Information

Dora Williams is asking for a variance to the City of Hutchins Code of Ordinances Chapter 17 SF-7, section 17.5 Special Requirements: The elimination of a garage space by enclosing the garage with a stationary building wall shall be prohibited.

Dora has submitted plans to do an addition to the back of the house. Upon review it was noted that the 2 car garage has been enclosed. When Dora purchased the property the garage had already been converted. If she has to convert the living space back into a 2 car garage it will make the layout of her home not work as that converted garage is her living room.

Staff has reviewed the proposition but was unable to issue remodel permit due to the special requirements in the City of Hutchins Code of Ordinances.

Budget Implications

N/A

Operational Impact

N/A

Legal Review

N/A

Staff Recommendation

Staff recommends the Variance based off the hardship that the property was bought with the conversion already done.

Supporting Documentation and Attachments

City of Hutchins
21 N. Main Street
P.O. Box 500
Hutchins, Texas 75141

CITY OF HUTCHINS
APPLICATION TO
BOARD OF ADJUSTMENTS

Phone - 972.225.6121
Fax No. - 972.225.5559

Application Type			
<input checked="" type="checkbox"/> Variance Request	<input type="checkbox"/> General Appeal	<input type="checkbox"/> Special Exception	<input type="checkbox"/> Other

Applicant/Owner Information

Key Contact Dora Williams Telephone No. 214-727-5840 Fax No. _____

Address 116 Willowgrove Dr

City Hutchins State TX Zip Code 75141

Contact's Status: (check one) Owner Representative Tenant

Owner Dora Williams Telephone No. 214-727-5840 Fax No. _____

Address 116 Willowgrove Dr

City Hutchins State TX Zip Code 75141

Ownership Status: (check one) Individual Trust Partnership Corporation

Property Information

Site Location 116

Site Street Address 116 Willowgrove Dr.

Subdivision _____ Lot No. _____ Block No. _____

Present Zoning _____ Present Land Use _____

Status of Project: Proposed Under Construction Existing

Have you applied for a building permit? Yes No

Has any appeal or petition been filed on this property before? No Yes Date _____

Request Information

Please answer the following questions as completely as possible. Failure to fully outline the situation by answering these questions could cause unnecessary delay in evaluating your appeal.

1. Fully explain the unique conditions or circumstances that exist which are peculiar to your land, structure, or building involved that make this request necessary. I am unable to add to my home without a two car garage. I bought the home without a garage. I plan to add to my home to allow my elderly parent to live with me.

2. Do similar conditions exist in the area? Explain. Yes, there other homes on the same street without garage.

3. Describe how the unique conditions or circumstances do not result from your actions. Bought the house with no garage. I need the space.

Request Information, continued

- 4. Are other property owners in your area aware of your request?
Yes
- 5. Is there any way to do what you want without this request? No, I need the space for my family. I have two teenagers and a young daughter who need their own space.

Acknowledgments

I certify that the above information is correct and complete to the best of my knowledge and ability and that I am now or will be fully prepared to present the above proposal at the Board of Adjustment hearing.

I understand that in the event that I am not present or represented at the public hearing, the Board shall have the power to dismiss this proposal either at the call of the case or after the hearing, and that such dismissal shall constitute a denial.

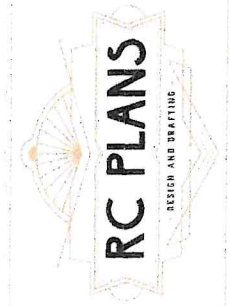
I reserve the right to withdraw this proposal at any time, except during notice periods, upon written request filed with the City Secretary's office, and such withdrawal shall immediately stop all proceedings thereon; provided, however, withdrawal filed at any time after the giving of notice of the Board hearing shall constitute a denial by the Board. I understand the filing of fee \$250.00 (two-hundred fifty dollars) is not refundable upon withdrawal of the proposal after public notice.

Applicant Signature [Handwritten Signature]

Owner Signature [Handwritten Signature]

Property owner must sign the application or submit a notarized letter of authorization. Please review the acknowledgments prior to signing this application.

For Office Use Only			
Application Date:	Application Fee:	BOA Hearing Date	Case No:



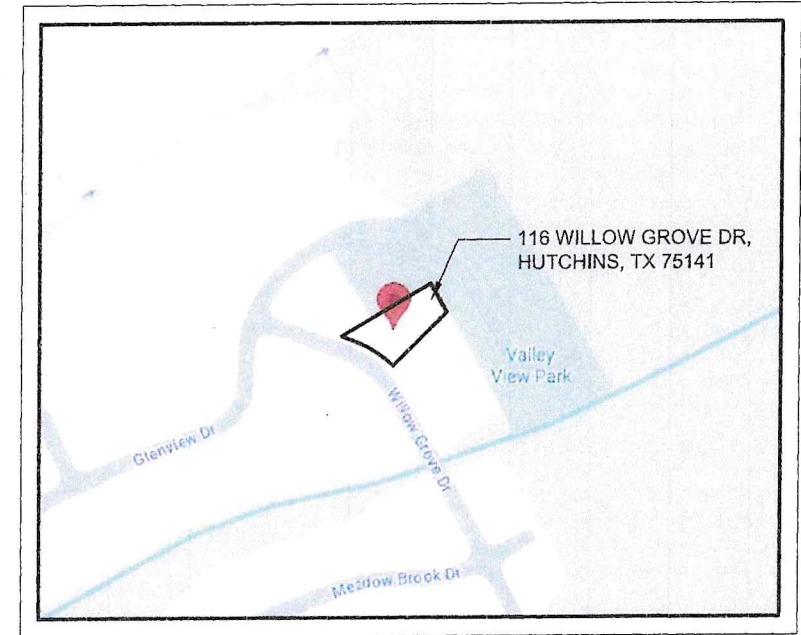
rcplans@outlook.com

All the information in these plans is provided by the client and / or builder, the designer only limits himself to draw required plans for building permits and doesn't supervise construction or control of quality of materials, therefore the designer does not assume any type of responsibility derived from this project. The project owner is recommended to have professional supervision of a qualified architect or engineer for the review of plans and building's construction.

RESIDENTIAL ADDITION	SITE PLAN	RC PLANS	02/23/2026	1" = 20'-0"
USE:	PLAN:	DRAWN BY:	DATE:	SCALE:

ADDRESS:
 116 WILLOW GROVE DRIVE
 HUTCHINS, TX 75141

PAGE NUMBER:
 01



VICINITY MAP
FOR REFERENCE ONLY

AREA DISTRIBUTION		
AREA SCHEDULE		
1	EXISTING LIVING AREA	1,439 SQ. FT.
2	EXISTING FRONT PORCH	19 SQ. FT.
3	EXISTING REAR PORCH	57 SQ. FT.
4	PROPOSED LIVING AREA (ADDITION)	838 SQ. FT.
5	PROPOSED SIDE PORCH (ADDITION)	40 SQ. FT.
6	PROPOSED REAR PORCH (ADDITION)	24 SQ. FT.

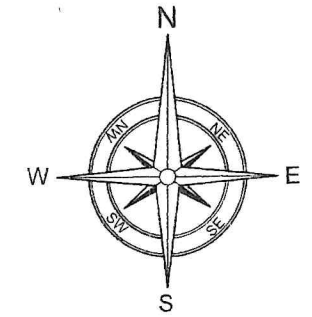
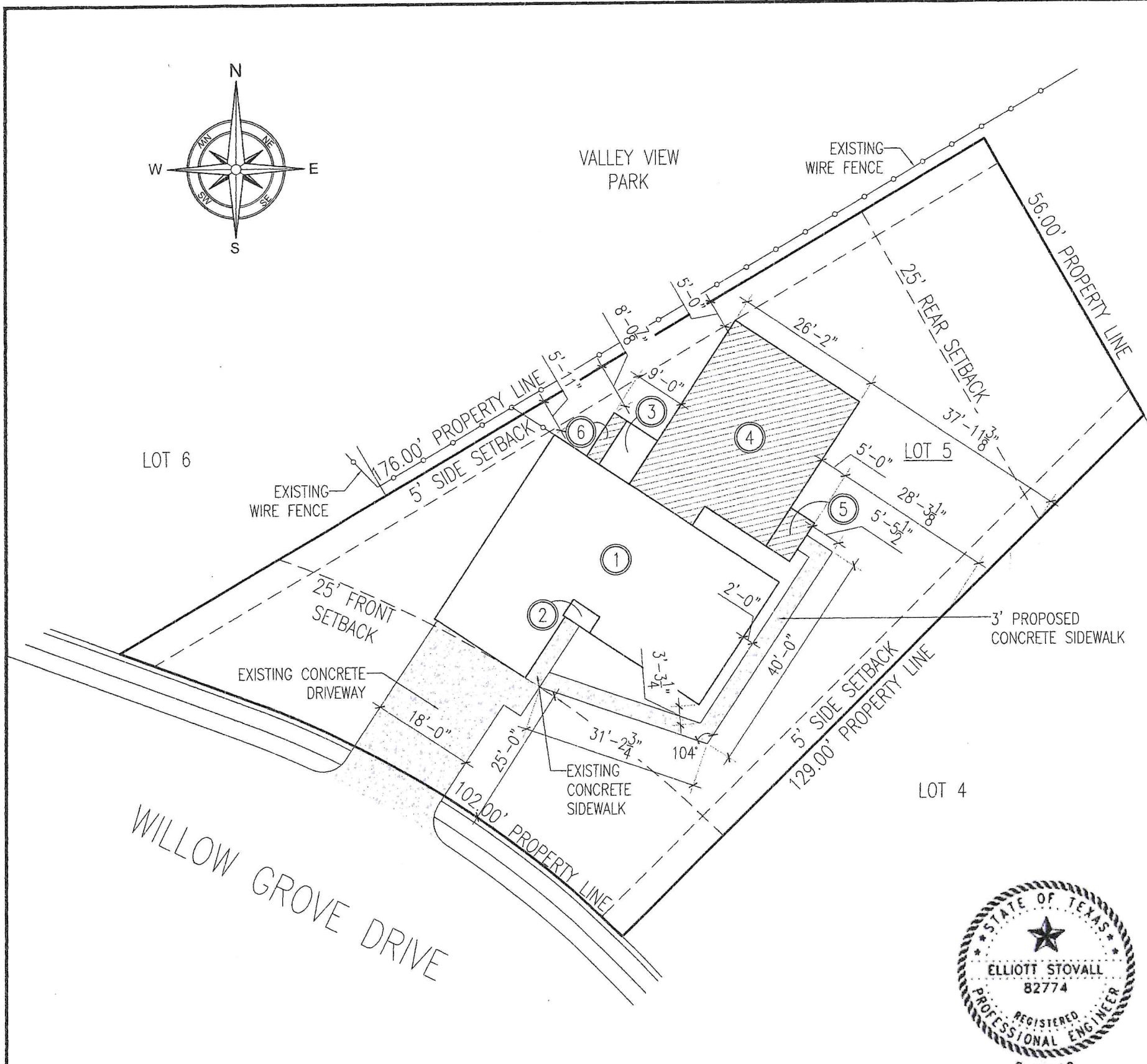
TOTAL LIVING AREA	2,277 SQ. FT.
TOTAL COVERAGE	2,417 SQ. FT.
LOT AREA	10,836 SQ. FT.
% LOT COVERAGE	22.30 %

LEGAL DESCRIPTION

1: VALLEY VIEW 1ST SEC
 2: BLK E LOT 5
 3:
 4: INT202100324735 DD10262021 CO-DC
 5: 0235000500500 4CU02350005

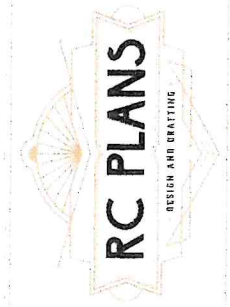
NOTE

RC PLANS LLC assumes no liability for the accuracy or completeness of this site plan, regardless of whether the owner provides a survey or not. All property line dimensions, easements, building setback lines, encroachments, utility locations, and the placement of existing or proposed structures shall be independently verified by the owner and/or contractor prior to construction. Any survey furnished by the owner must be reviewed and confirmed for current applicability, accuracy, and completeness, as RC PLANS LLC does not validate or certify surveys provided by third parties. Commencement of construction based on this site plan without full verification of all site conditions shall be at the sole risk of the owner, and RC PLANS LLC shall not be held liable for any discrepancies, conflicts, or compliance issues arising from unverified or outdated site information.



Elliott Stovall
 02-27-2026

SITE PLAN
 SCALE 1" = 20'



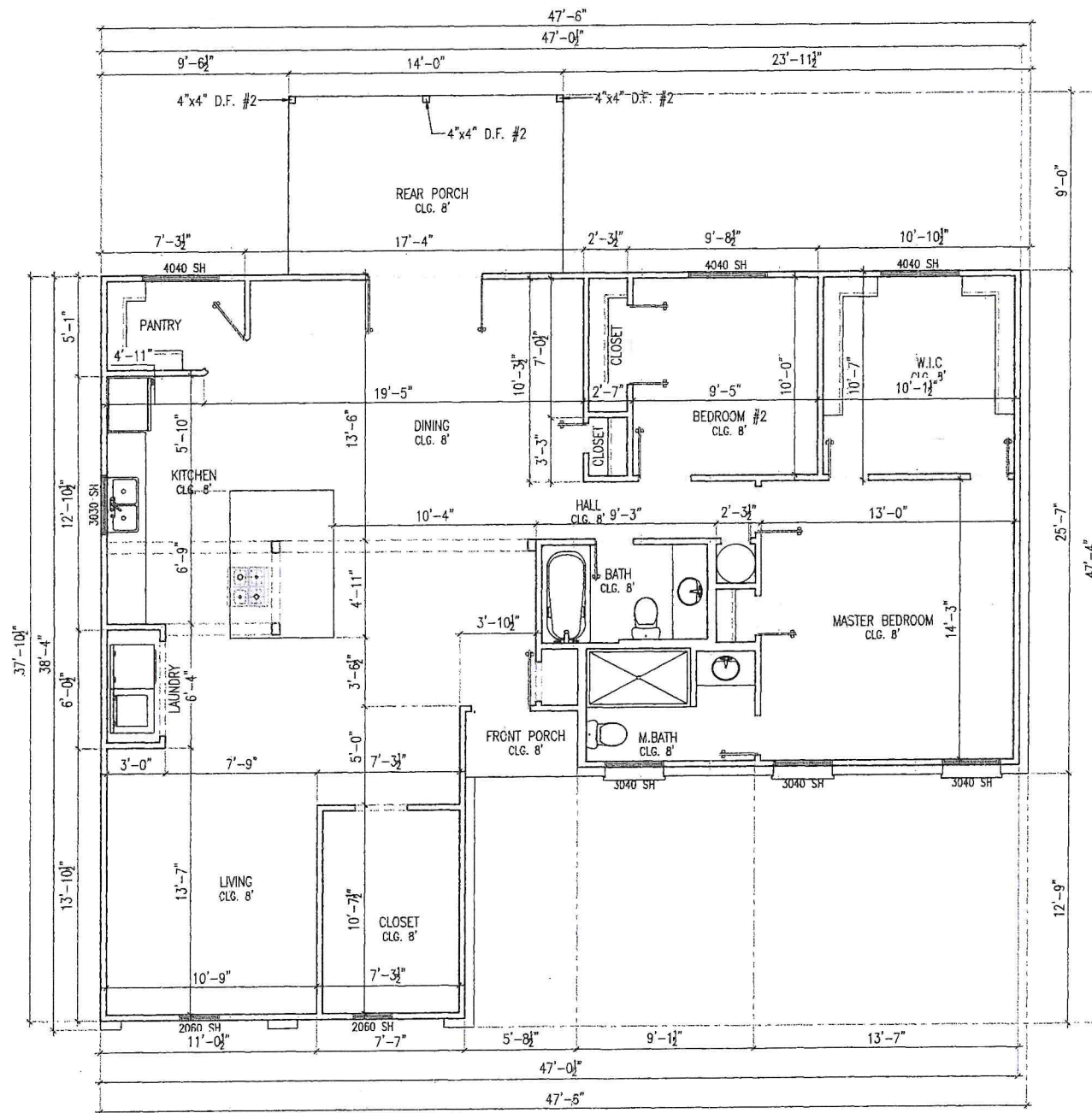
rcplans@outlook.com

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USE:	RESIDENTIAL ADDITION
PLAN:	EXISTING FLOOR PLAN
DRAWN BY:	RC PLANS
DATE:	02/23/2026
SCALE:	1" = 20'-0"

ADDRESS:
 116 WILLOW GROVE DRIVE HUTCHINS, TX 75141

PAGE NUMBER:
02



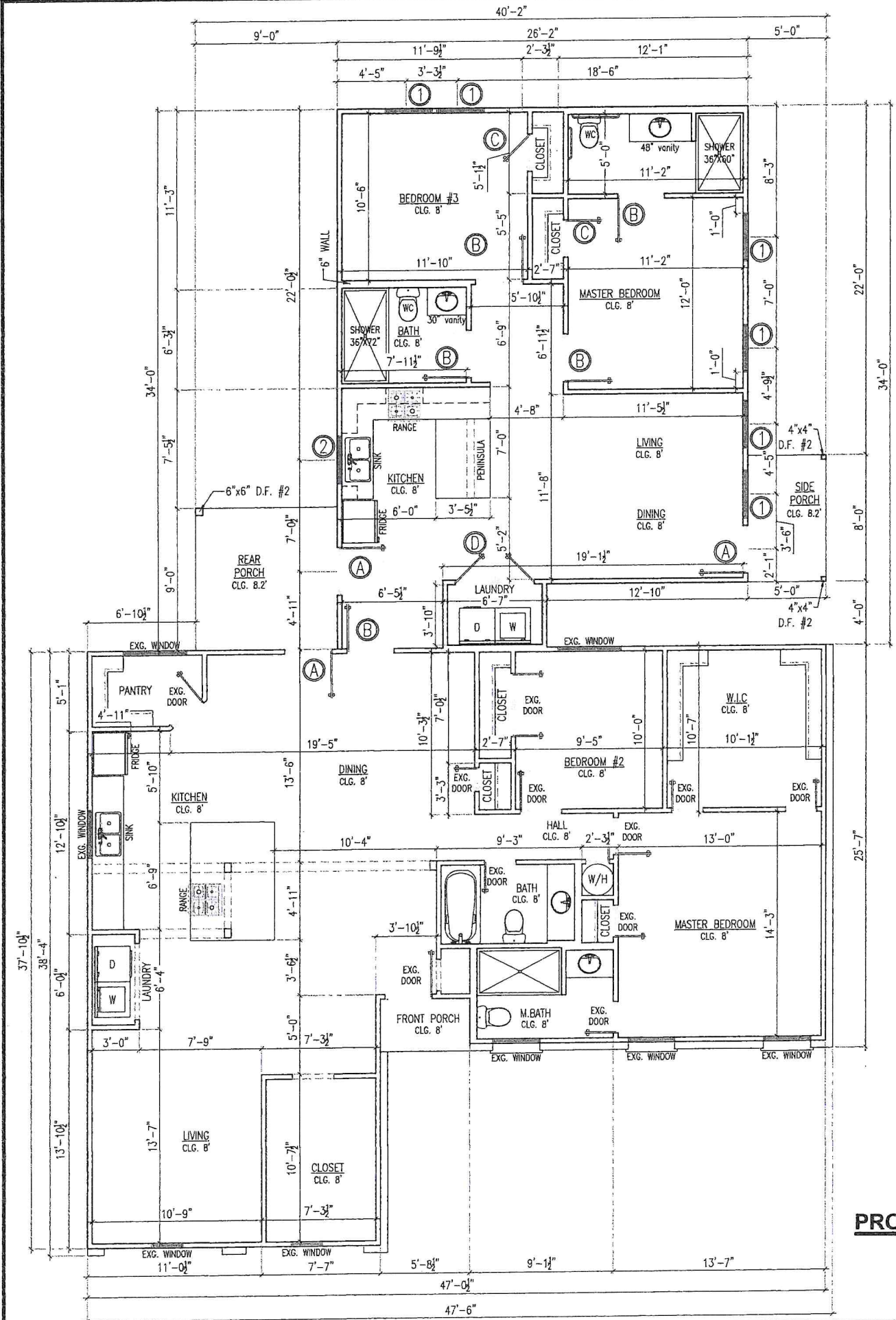
EXISTING FLOOR PLAN

SCALE 1/8" = 1'-0"

SCOPE OF WORK	
ITEM	DESCRIPTION
A	PROPOSED 838 SQ.FT. LIVING AREA, 24 SQ.FT. REAR PORCH AND 40 SQ.FT. SIDE PORCH ADDITION. ALL MATERIALS, INCLUDING SHAPE, COLOR, AND FINISHES, SHALL MATCH EXISTING CONSTRUCTION AND COMPLY WITH THE APPLICABLE RESIDENTIAL BUILDING CODE.
B	ROOF SHALL BE PARTIALLY REPLACED WITH NEW FRAMING CONSISTING OF 2X6 RAFTERS AT 24" O.C. WITH 7/16" OSB ROOF DECKING, TYVEK UNDERLAYMENT OR EQUIVALENT, AND A MINIMUM 25-YEAR ASPHALT SHINGLE ROOF SYSTEM. ALL WORK SHALL COMPLY WITH THE CURRENT CITY BUILDING CODE.
C	ELECTRICAL FIXTURES SHALL BE REPAIRED AND UPDATED IN ACCORDANCE WITH THE NEW LAYOUT, INCLUDING REWIRING, SHALL BE INSTALLED. ALL ELECTRICAL WORK SHALL COMPLY WITH THE CURRENT CITY ELECTRICAL CODE.
D	GENERAL PLUMBING LINES AND ACCESSORIES SHALL BE REPAIRED AND UPDATED IN ACCORDANCE WITH THE NEW LAYOUT. ALL PLUMBING WORK SHALL COMPLY WITH THE CURRENT CITY PLUMBING CODE.
E	MECHANICAL COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE NEW DESIGN. NEW 2 TON CAPACITY UNIT SHALL BE INSTALLED FOR THE ADDITION. NEW CONNECTIONS SHALL BE TIED INTO THE EXISTING UNIT. ALL WORK SHALL COMPLY WITH THE CURRENT CITY MECHANICAL CODE.



Elliott Stovall
 02-27-2026



IECC 2018 GREEN/ENERGY CODE COMPLIANCE FOR HOME

ALL GREEN/ENERGY SYSTEMS MUST MEET THE REQUIREMENTS FROM THE CHAPTER 4 OF THE INTERNATIONAL ENERGY CONSERVATION CODE, REFERRED TO RESIDENTIAL ENERGY EFFICIENCY. IF ANY ITEM IS NOT LISTED BELOW REFER TO THE MENTIONED CHAPTER.

- STORMWATER:**
 - 1.1. 70% OF NON-ROOF AREA HAS VEGETATIVE LANDSCAPE, PERMEABLE PAVING OR SLOPED FOR RUNOFF TO A PERMANENT FILTRATION FEATURE.
- WATER EFFICIENCY:**
 - 2.1. LAVATORY FAUCETS MUST HAVE AN AVERAGE FLOW RATE OF 2.0 GALLONS PER MINUTE OR LESS.
 - 2.2. SHOWERS HEADS MUST HAVE AN AVERAGE FLOW RATE OF 2.0 GALLONS PER MINUTE OR LESS.
 - 2.3. TOILETS MUST HAVE AN AVERAGE FLOW RATE OF:
 - 2.3.1. LESS THAN OR EQUAL TO 1.3 GALLONS PER FLUSH.
 - 2.3.2. DUAL FLUSH COMPLYING WITH ASME A 112.19.14.
 - 2.3.3. COMPLY WITH US EPA WATER SENSE.
 - 2.4. ENERGY STAR DISHWASHER.
 - 2.5. ENERGY STAR CLOTHES WASHER.
- HEAT ISLAND MITIGATION:**
 - 3.1. ENERGY STAR QUALIFIED ROOF SYSTEM FOR ROOF WITH SLOPE OF 2:12 OR GREATER.
 - 3.2. RADIANT BARRIER IN ATTIC WITH CONVENTIONAL SHINGLES.
 - 3.3. ENCAPSULATED FOAM INSULATION BETWEEN THE ROOF RAFTERS (R-22 OR GREATER).
 - 3.4. WINDOWS AND DOORS MUST BE SEALED WITH FOAM OR CAULK.
 - 3.5. SILL PLATE MUST BE SEALED ON THE INSIDE WITH FOAM OR CAULK.
 - 3.6. ALL WALL PENETRATIONS TO THE EXTERIOR MUST BE SEALED WITH FOAM OR CAULK.
 - 3.7. BLOWER DOOR TESTING IS MANDATORY. NOT TO EXCEED 4 AIR CHANGES PER HOUR AT 50 PASCALS.
- DUCTS AND AIR SEALING:**
 - 4.1. DUCTS MUST BE TESTED AND VERIFIED TO HAVE TOTAL LEAKAGE OF NO MORE THAN 4 FT³/MIN PER 100 SQUARE FOOT (OR 3 CFM IF AIR HANDLER IS NOT INSTALLED), EXCEPT WHERE AIR HANDLER AND ALL DUCTS ARE LOCATED INSIDE CONDITIONED SPACE. AIR HANDLERS AND FILTER BOXES MUST ALSO BE PROPERLY SEALED.
 - 4.2. HVAC AND DUCTWORK LOCATED OUTSIDE OF FIRE RATED ENVELOPE OF GARAGE.
 - 4.3. THE BUILDING ENVELOPE IS REQUIRED TO BE PROPERLY SEALED AND TESTED, AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NO HIGHER THAN 3 ACH AT 0.20 INCH W.G. (50 PASCALS).
 - 4.4. SUPPLY AND RETURN DUCTS IN ATTICS SHALL BE SEALED AND INSULATED WITH R-8 WHEN DUCTS IS 3" OR GREATER, R-6 WHEN 3" OR LESS AND EXEMPT WHEN COMPLETELY INSIDE CONDITIONED SPACE.
- HVAC SYSTEMS:**
 - 5.1. TEMPERATURE CONTROLS MUST BE INSTALLED, INCLUDING A PROGRAMMABLE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM. MECHANICAL SYSTEM PIPING MUST BE INSULATED TO A MINIMUM OF R-3. HOT WATER PIPING 3/4" IN DIAMETER OR LARGER AND ALL HOT WATER PIPING IN CERTAIN APPLICATIONS MUST BE INSULATED TO R-3.
 - 5.2. PIPES CARRYING FLUID OVER 104° OR BELOW 55° MUST BE INSULATED OPEN CELL SPRAY FOAM.
 - 5.3. LIGHTNING:
 - 5.3.1. A MINIMUM OF 75% OF LAMPS IN PERMANENTLY INSTALLED FIXTURES MUST BE HIGH-EFFICACY AS DEFINED IN THE IECC.



RC PLANS

DESIGN AND DRAFTING

rcplans@outlook.com

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WINDOWS SCHEDULE

ITEM	SIZE	QUANTITY	TYPE
1	3'-0" X 5'-0"	6	SH
2	3'-0" X 3'-0"	1	SH

DOORS SCHEDULE

ITEM	SIZE	QUANTITY	TYPE
A	3'-0" X 7'-0"	3	SHS
B	3'-0" X 6'-8"	5	SHH
C	2'-4" X 6'-8"	2	SHH
D	5'-0" X 6'-8"	1	FR

SH = SINGLE HUNG
 SHS = SINGLE HINGED SOLID CORE
 SHH = SINGLE HINGED HOLLOW CORE
 GLS = GLASS PANEL
 FR = FRENCH

- #### CURRENT CITY CODES:
- 2018 International Building
 - 2018 International Residential
 - 2018 International Energy Conversational
 - 2018 International Fuel Gas
 - 2018 International Mechanical
 - 2018 International Plumbing
 - 2018 International Existing Building
 - 2018 International Fire
 - 2017 National Electrical

GENERAL CONSTRUCTION NOTES -SINGLE FAMILY RESIDENCE-
 2018 IRC / 2018 IECC, HUTCHINS, TX

- All construction shall comply with the 2018 International Residential Code (IRC), the 2018 International Energy Conservation Code (IECC), and all applicable local amendments as adopted by the City of HUTCHINS, TX. Contractor shall verify all field conditions and dimensions prior to construction.
- All penetrations through the building envelope, including at doors, windows, piping, wiring, vents, and framing connections, shall be sealed with approved caulking, gaskets, spray foam, or equivalent air-sealing material to prevent air infiltration in compliance with IECC Section R402.4.1.1. Top and bottom plates, sill plates, and joints between different construction materials shall also be sealed.
- All interior wall surfaces shall be covered with 1/2-inch gypsum wallboard unless noted otherwise. Fire-rated assemblies and wall separations (e.g., between garage and dwelling) shall be constructed in accordance with IRC Section R302, using minimum 5/8-inch Type X drywall where required.
- All windows shall meet or exceed the energy efficiency standards of the 2018 IECC, including maximum U-factor and Solar Heat Gain Coefficient (SHGC) values as required for Climate Zone 3. Windows shall be labeled with NFRC ratings and installed with continuous air sealing at the perimeter. Thermal insulation shall consist of open-cell spray foam insulation applied to exterior walls and roof decks, achieving minimum R-values in accordance with IECC Table R402.1.2: R-13 minimum in walls and R-38 in roof assemblies or as otherwise prescribed. Insulation shall be installed per manufacturer's instructions and shall include proper air barriers and vapor control as applicable.
- All exterior doors and windows shall receive 4-inch nominal trim on all visible sides unless otherwise detailed. Trim shall be constructed of weather-resistant material and properly flashed and sealed at all edges to prevent moisture intrusion.
- Stairs and handrails shall be constructed in full compliance with IRC Sections R311.7 and R311.8. Stair treads shall be a minimum of 10 inches deep, risers shall not exceed 7 3/4 inches, and handrails shall be placed between 34 and 38 inches above tread nosings. Guardrails shall be provided where floor elevations exceed 30 inches and must be at least 36 inches high with openings no larger than 4 inches.
- Attic and crawl space access openings, where applicable, shall be provided per IRC Section R807 and shall be fully insulated and weather-stripped to maintain envelope integrity. Attic access panels located in conditioned space shall be insulated to the same level as the surrounding ceiling and gasketed to prevent air leakage.
- Exterior wall cladding and finish materials shall be installed over approved water-resistive barriers and comply with manufacturer installation guidelines. Brick veneer, fiber cement siding, and other systems shall include proper flashing, weep mechanisms, and vertical clearances above grade or roofing per IRC Section R703.
- Contractor shall ensure all framing, rough-ins, insulation, drywall, and finishes are coordinated across all trades and inspected prior to concealment. All work shall be performed in a neat and professional manner in accordance with approved plans and governing codes.
- All glazing located within 24 inches of an exterior door, where the glazing edge is less than 60 inches above the finished floor, shall be safety glazing (tempered) in accordance with IRC, Section R308.4.

PROPOSED FLOOR PLAN
 SCALE 1/8" = 1'-0"

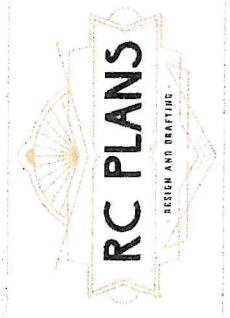
RESIDENTIAL ADDITION	PROPOSED FLOOR PLAN	RC PLANS	02/23/2026
USE:	PLAN:	DRAWN BY:	DATE:
			SCALE: 1/8" = 1'-0"

ADDRESS:
116 WILLOW GROVE DRIVE HUTCHINS, TX 75141

PAGE NUMBER:
03

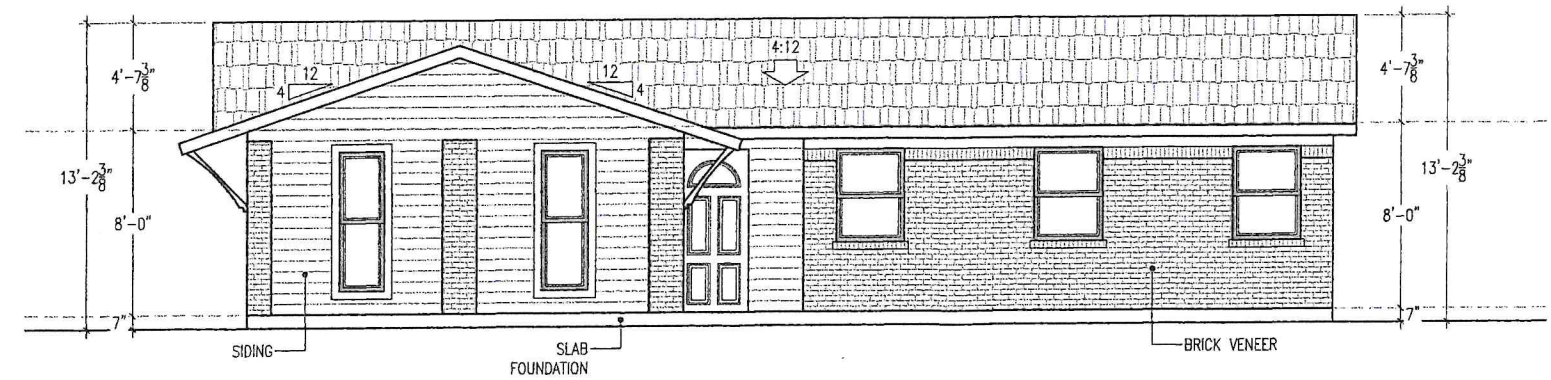


Elliott Stovall
02-27-2026



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EXISTING FRONT ELEVATION

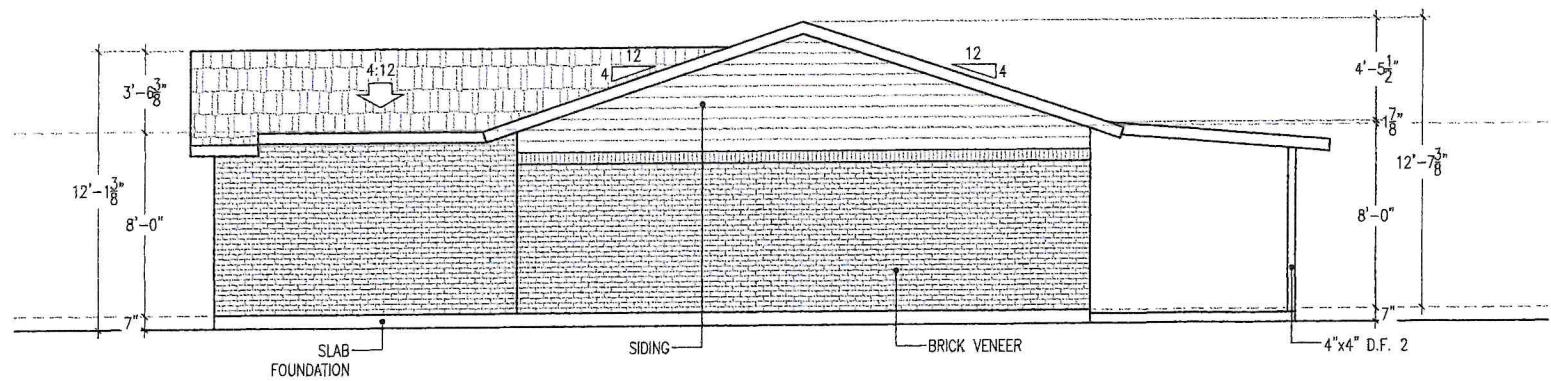
SCALE 1/8" = 1'-0"

2X6 RAFTER @ 24" O.C. W/ 7/16" OSB DECKING, TYVEK UNDERLAYMENT OR SIMILAR AND 25 YR. MIN. ASPHALT ROOF SHINGLES



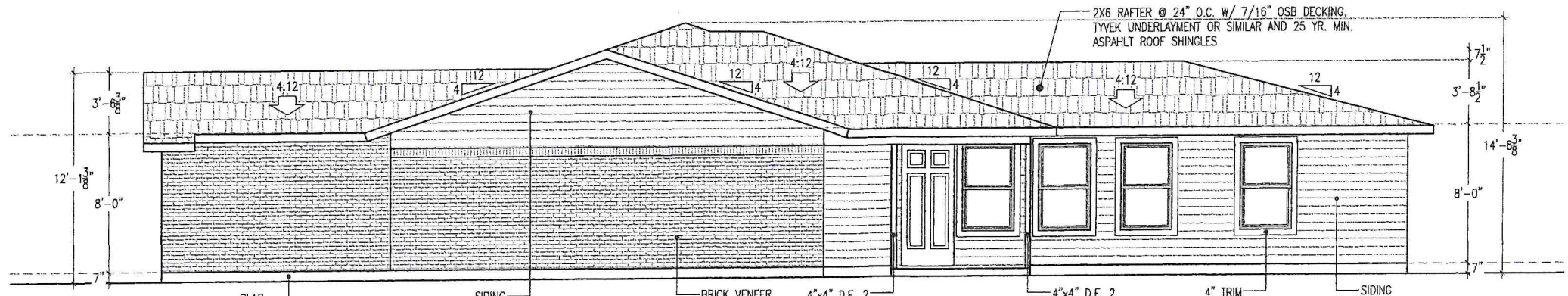
PROPOSED FRONT ELEVATION

SCALE 1/8" = 1'-0"



EXISTING RIGHT ELEVATION

SCALE 1/8" = 1'-0"



PROPOSED RIGHT ELEVATION

SCALE 1/8" = 1'-0"

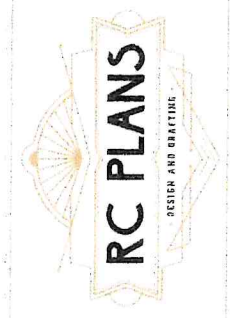
RESIDENTIAL ADDITION	ELEVATIONS	RC PLANS	02/23/2026	1/8" = 1'-0"
USE:	PLAN:	DRAWN BY:	DATE:	SCALE:

ADDRESS:
116 WILLOW GROVE DRIVE HUTCHINS, TX 75141

PAGE NUMBER:
04

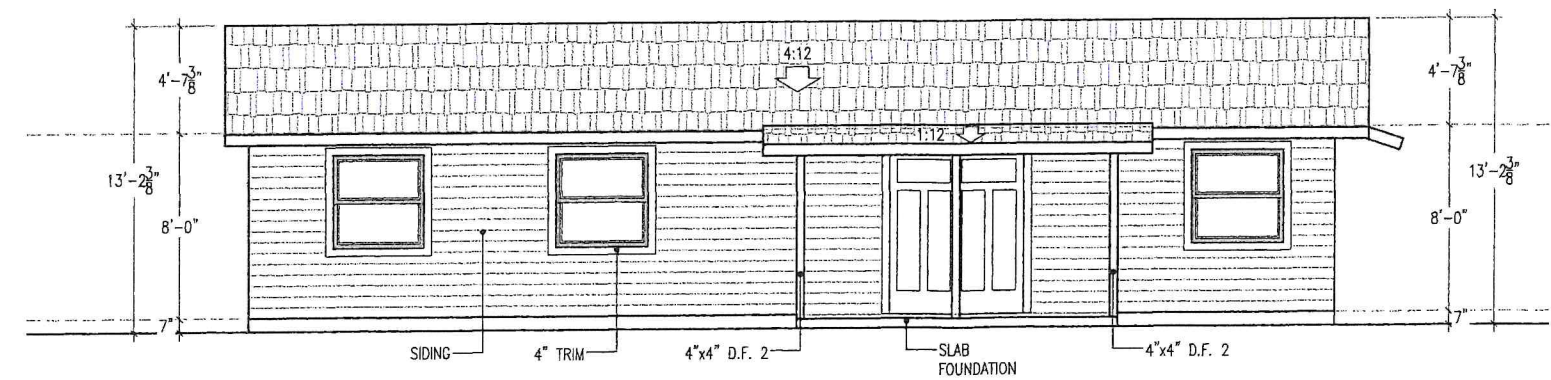


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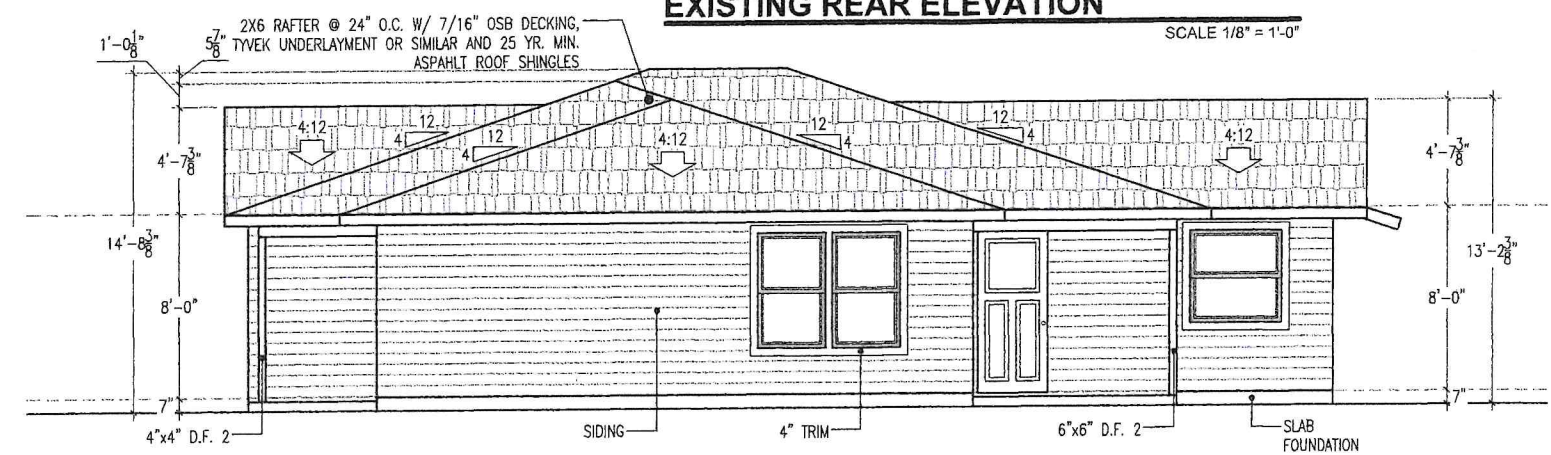
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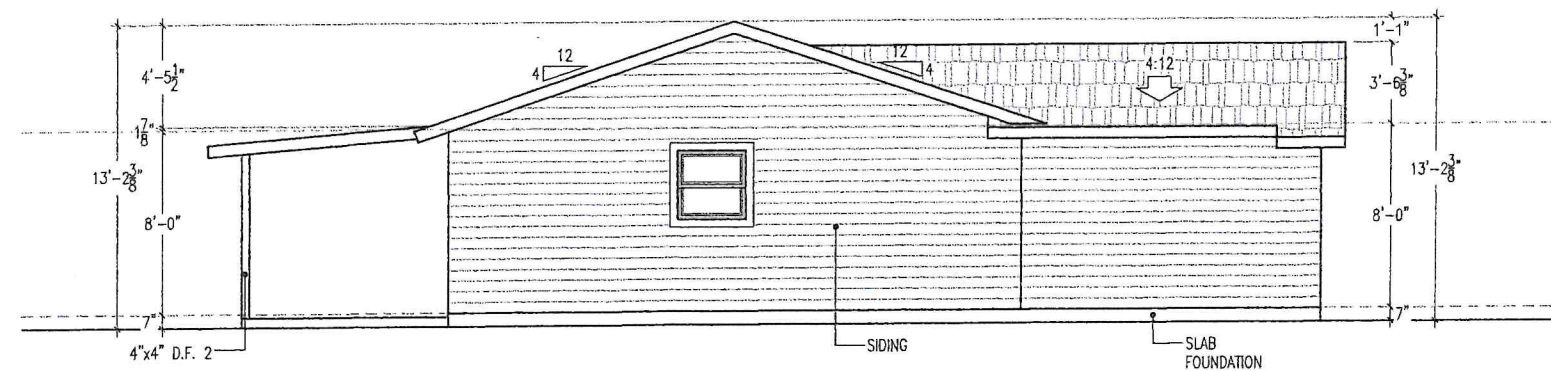
EXISTING REAR ELEVATION

SCALE 1/8" = 1'-0"



PROPOSED REAR ELEVATION

SCALE 1/8" = 1'-0"



EXISTING LEFT ELEVATION

SCALE 1/8" = 1'-0"



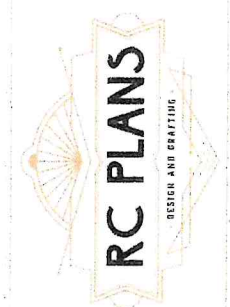
PROPOSED LEFT ELEVATION

SCALE 1/8" = 1'-0"

RESIDENTIAL ADDITION	ELEVATIONS	RC PLANS	02/23/2026	N.T.S.
USE:	PLAN:	DRAWN BY:	DATE:	SCALE:

ADDRESS:
116 WILLOW GROVE DRIVE HUTCHINS, TX 75141

PAGE NUMBER:
05



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All the information in these plans is provided by the client and / or builder, the designer only limits himself to draw required plans for building permits and doesn't supervise construction or control of quality of materials, therefore the designer does not assume any type of responsibility derived from this project. The project owner is recommended to have professional supervision of a qualified architect or engineer for the review of plans and building's construction.

RESIDENTIAL ADDITION	FOUNDATION	RC PLANS	02/23/2026	1/8" = 1'-0"
USE:	PLAN:	DRAWN BY:	DATE:	SCALE:

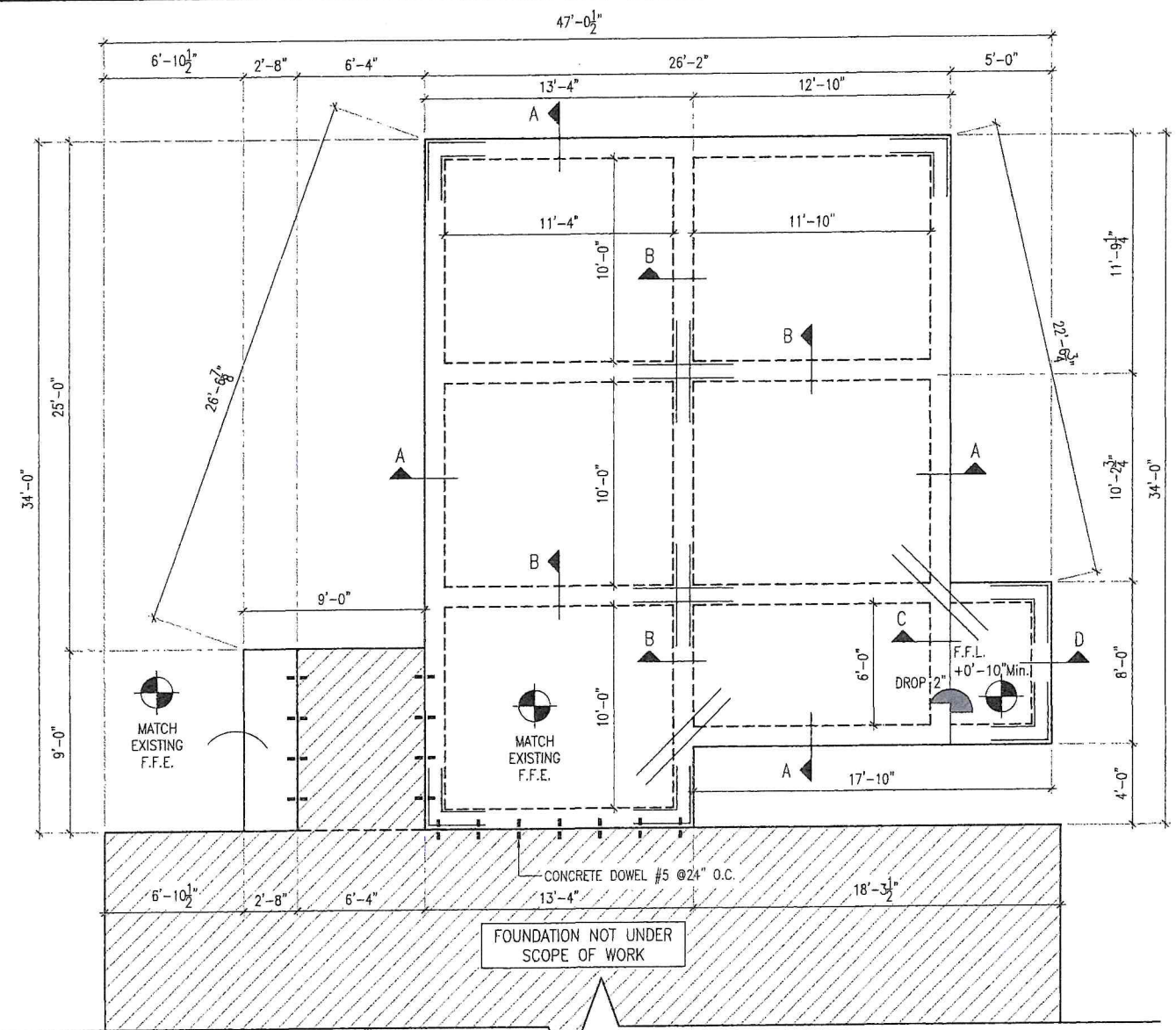
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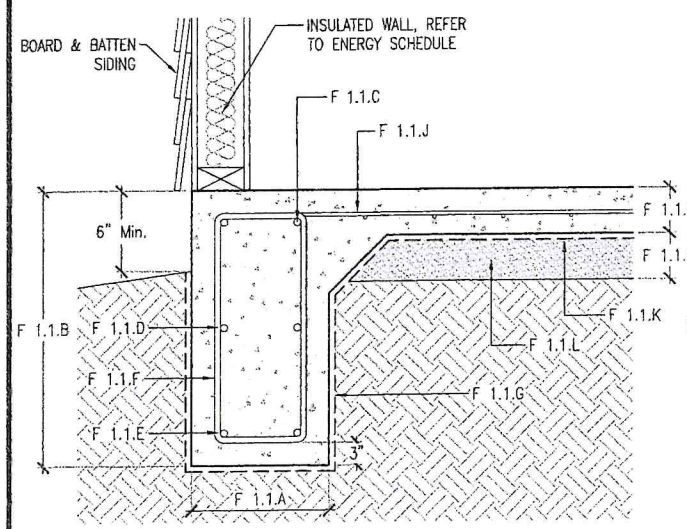
FOUNDATIONS SPECS (F 1.1)		
GRADE BEAM		
KEY CODE	ITEM DESCRIPTION	SPECIFICATION
-	CONCRETE f'c	3000 PSI
A	A DIMENSION	12"
B	B DIMENSION	24"
C	TOP REBAR	2 #5
D	CENTER REBAR	N/A
E	BOTTOM REBAR	2 #5
F	STIRRUP	#3 @ 18" O.C.
G	VAPOR BARRIER PROTECTION	10 mil. Polyethylene vapor retarder complying with ASTM E1745 Class A
SLAB		
ITEM / KEY CODE	DESCRIPTION	
-	CONCRETE f'c	
H	THICKNESS	
J	REBAR	
K	VAPOR BARRIER PROTECTION	
L	SLAB COMPACTED BASE	
M	COMPACTED BASE THICKNESS	

FOUNDATION LEGEND	
SYMBOL	DESCRIPTION
	12"x24" 3000 PSI CONCRETE BEAM
	12"x24" 3000 PSI CONCRETE BEAM
	TYPE OF BEAM
	CONCRETE DOWEL #5 @24" O.C.
	FINISH FLOOR LEVEL (F.F.L.)
	DROP (AS INDICATED PLAN)
	REBAR #4 IN BEAM REINFORCEMENT

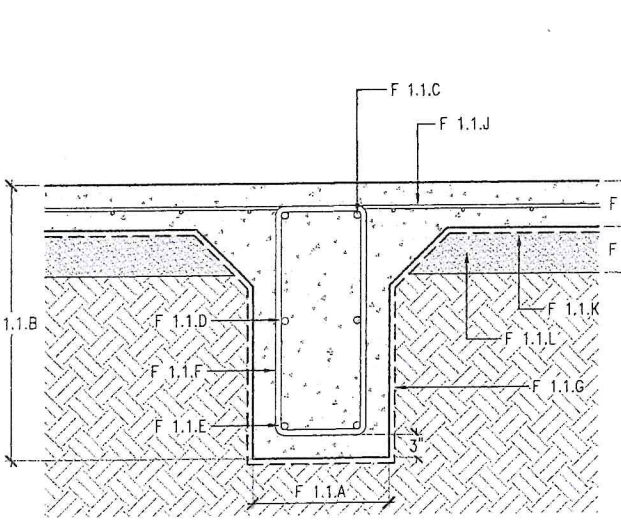
FOUNDATION DESIGN IS BASED ON THE ABSENCE OF A SITE-SPECIFIC GEOTECHNICAL REPORT. SOIL CONDITIONS WERE ESTIMATED USING INFORMATION FROM THE USDA SOIL SURVEY DATABASE AND MINIMUM PRESCRIPTIVE REQUIREMENTS SET FORTH IN THE CURRENT IRC FOR THE SOIL TYPE IDENTIFIED AT THE PROPERTY. THE CONTRACTOR SHALL VERIFY THAT THE EXISTING SOIL BENEATH THE FOUNDATION EXHIBITS ADEQUATE BEARING CAPACITY AND IS FREE OF ORGANIC MATERIAL, LOOSE FILL, OR OTHER UNSUITABLE CONDITIONS. IF POOR SOIL CONDITIONS ARE ENCOUNTERED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN PROFESSIONAL AND OBTAIN A GEOTECHNICAL INVESTIGATION TO DETERMINE PROPER BEARING STRATA. THE FOUNDATION SHALL BE MODIFIED ACCORDINGLY TO EXTEND TO SUITABLE LOAD-BEARING SOIL, AS RECOMMENDED BY A LICENSED ENGINEER. FAILURE TO VERIFY SITE SOIL CONDITIONS PRIOR TO CONSTRUCTION MAY RESULT IN STRUCTURAL DEFICIENCIES AND IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.



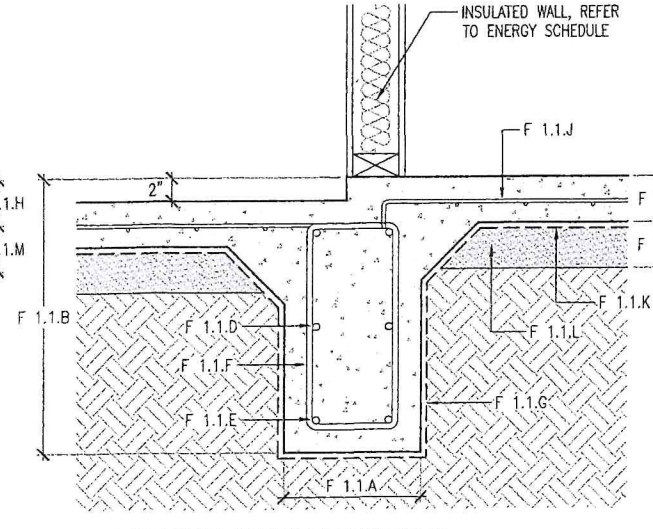
FOUNDATION PLAN
 SCALE 1/8" = 1'-0"



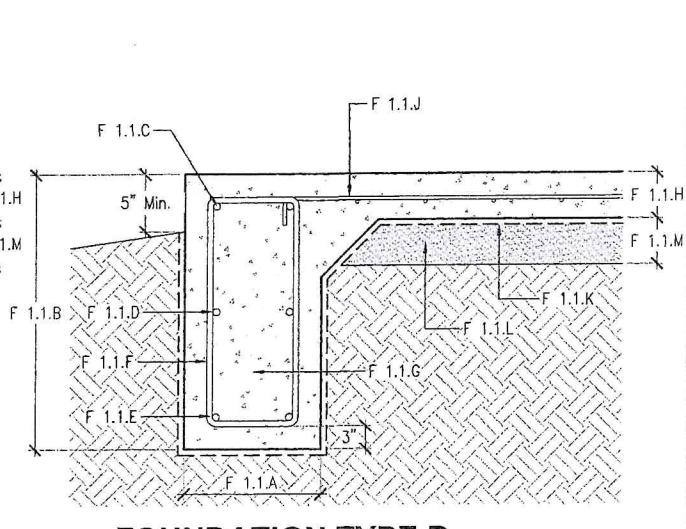
FOUNDATION TYPE A
 SCALE 3/4" = 1'-0"



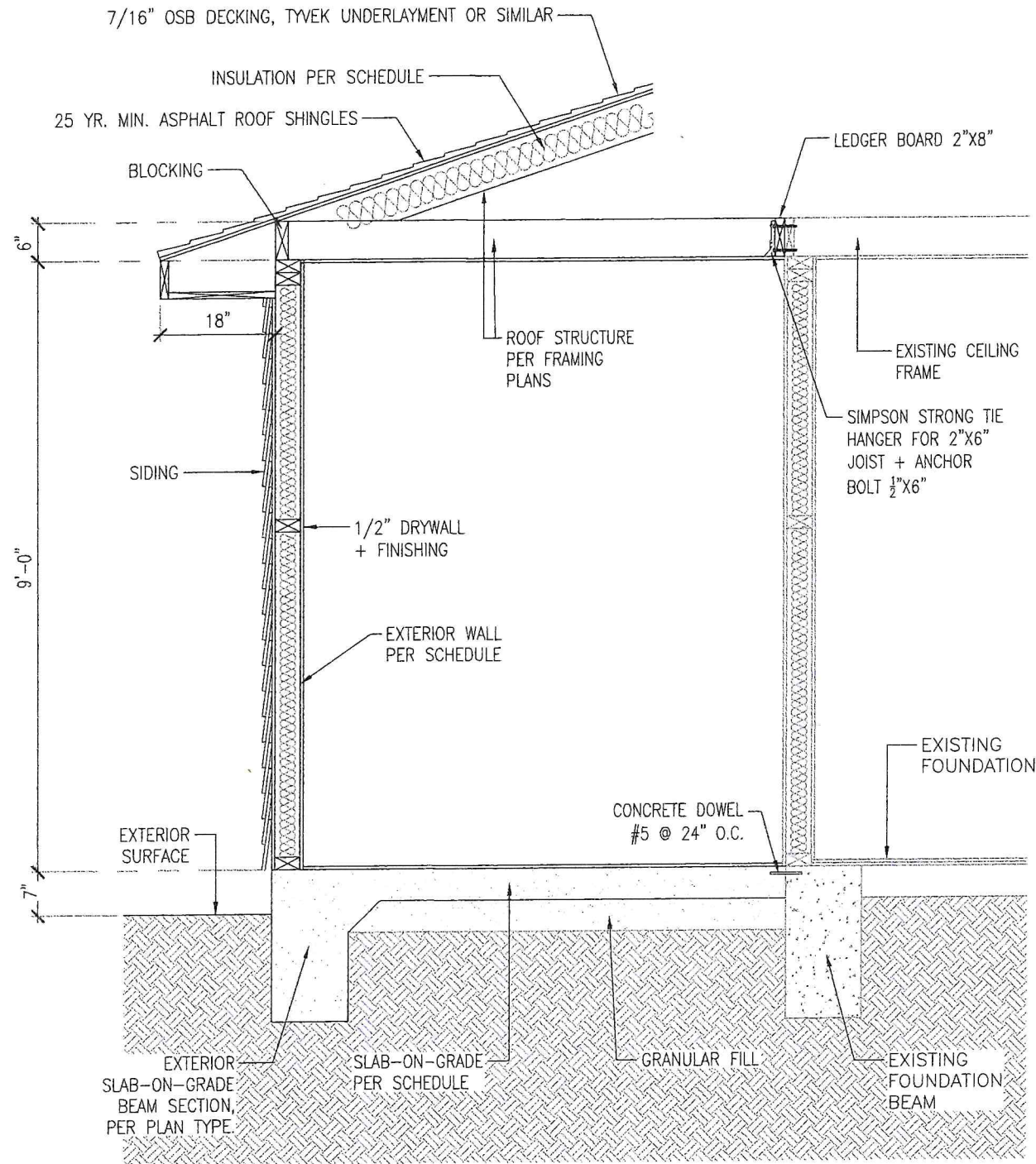
FOUNDATION TYPE B
 SCALE 3/4" = 1'-0"



FOUNDATION TYPE C
 SCALE 3/4" = 1'-0"



FOUNDATION TYPE D
 SCALE 3/4" = 1'-0"



TYP SECTION WALL

SCALE 1/2" = 1'-0"

CONCRETE FOUNDATION NOTES (SLAB-ON-GRADE):

1. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. MIX DESIGN SHALL BE SUITABLE FOR DURABILITY, PLACEMENT CONDITIONS, AND LOCAL CLIMATE EXPOSURE. ADDITIONAL ADMIXTURES OR AIR ENTRAINMENT SHALL BE USED IF REQUIRED BY LOCAL CONDITIONS OR STRUCTURAL ENGINEER.
2. REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. ALL REBAR SHALL BE PROPERLY CLEANED OF MUD, OIL, OR DEBRIS BEFORE PLACEMENT. LAP SPLICES SHALL BE A MINIMUM OF 44 BAR DIAMETERS OR 24" MINIMUM, WHICHEVER IS GREATER, AND SHALL BE STAGGERED TO AVOID CONGESTION.
3. WELDED WIRE FABRIC (WWF) SHALL COMPLY WITH ASTM A1064 (PREVIOUSLY A185), AND MAY BE USED AS OPTIONAL SLAB REINFORCEMENT IF PERMITTED BY STRUCTURAL DESIGN. WHEN USED, PLACE NEAR THE CENTER OF SLAB DEPTH OR SLIGHTLY ABOVE MID-DEPTH WITH PROPER SUPPORT.
4. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED OR NATURALLY DECAY-RESISTANT IN ACCORDANCE WITH SECTION R317 OF THE 2021 IRC. FASTENERS IN CONTACT WITH TREATED WOOD SHALL BE CORROSION-RESISTANT.
5. FOOTINGS SHALL BEAR ON UNDISTURBED NATURAL SOIL OR ON ENGINEERED COMPACTED FILL MEETING A MINIMUM ALLOWABLE BEARING CAPACITY OF 1,500 PSF, OR AS VERIFIED ON SITE. FOOTINGS SHALL EXTEND AT LEAST 12" BELOW FINISHED GRADE OR BELOW THE LOCAL FROST LINE, WHICHEVER IS DEEPER.
6. STRUCTURAL FILL BENEATH SLABS OR FOOTINGS SHALL BE WELL-GRADED, CLEAN GRANULAR MATERIAL (SUCH AS SAND, GRAVEL, OR CRUSHED STONE), PLACED IN LIFTS NOT EXCEEDING 8" LOOSE THICKNESS AND COMPACTED TO AT LEAST 95% OF MAXIMUM DRY DENSITY (ASTM D698).
7. FOOTINGS SHALL BE CENTERED UNDER WALLS UNLESS OTHERWISE DETAILED ON STRUCTURAL PLANS. OFFSETS OR ECCENTRIC LOADING CONDITIONS SHALL BE REVIEWED BY STRUCTURAL DESIGNER.
8. CONTINUOUS FOOTINGS SHALL BE A MINIMUM OF 12" WIDE BY 6" THICK, REINFORCED WITH (1) #4 BAR HORIZONTALLY CONTINUOUS. DOWELS OF #4 VERTICAL BARS AT 24" O.C. WITH 90° HOOKS SHALL EXTEND MINIMUM 18" INTO STEMWALL ABOVE AND BE EMBEDDED IN FOOTING PER CODE.
9. STEMWALLS SHALL BE MINIMUM 12" WIDE AND 24" HIGH, CONTINUOUS, REINFORCED WITH (2) #5 HORIZONTAL BAR NEAR THE TOP (3"-5" BELOW TOP SURFACE). ADDITIONAL BARS MAY BE REQUIRED PER ENGINEERING OR SHEAR WALL LOCATIONS.
10. ANCHOR BOLTS SHALL BE 1/2" DIA. MINIMUM, EMBEDDED AT LEAST 7" INTO CONCRETE, AND PLACED A MINIMUM OF TWO PER SILL PLATE SEGMENT, WITHIN 12" OF EACH END AND NO MORE THAN 6' O.C., PER IRC R403.1.6. WASHERS SHALL BE PLATE TYPE (3"x3"x1/4") WHERE SHEAR WALLS OCCUR. ANCHOR BOLTS MUST BE SET AT EVERY 6-FOOT INTERVAL, ON EACH SIDE OF A SILL PLATE JOINT, AND ON EACH SIDE OF A DOOR OPENING.
11. GARAGE SLABS SHALL BE MINIMUM 4" THICK CONCRETE AT 3000 PSI. REINFORCE WITH #3 BARS @ 16" O.C. EACH WAY, LOCATED 2" FROM TOP SURFACE TO MINIMIZE CRACKING. FOR ENHANCED CRACK CONTROL, REINFORCE WITH #3 BARS @ 24" O.C. EACH WAY INSTEAD OF WIRE MESH. SLOPE SLAB TOWARD VEHICLE ENTRY AT 1/8" PER FOOT MINIMUM.
12. EXTERIOR SLABS (PORCHES, PATIOS, SIDEWALKS, ETC.) SHALL BE MINIMUM 4" THICK, 3000 PSI CONCRETE, REINFORCED WITH #3 BARS @ 12" O.C. EACH WAY UNLESS OTHERWISE SPECIFIED.
13. ALL INTERIOR SLABS SHALL BE UNDERLAIN BY A MINIMUM 4" THICK COMPACTED FREE-DRAINING GRANULAR BASE (SUCH AS 3/4" MINUS GRAVEL), COMPACTED TO A STABLE NON-YIELDING CONDITION.
14. A 10-MIL POLYETHYLENE VAPOR BARRIER SHALL BE INSTALLED UNDER INTERIOR SLABS UNLESS OTHERWISE WAIVED BY OWNER. VAPOR BARRIER IS MANDATORY IN LOCATIONS WITH CLAYEY SOILS, POOR DRAINAGE, OR HIGH GROUNDWATER TABLES. LAP JOINTS 6" MINIMUM AND TAPE SEAMS.
15. REINFORCEMENT IN SLABS SHALL BE SUPPORTED PRIOR TO POURING USING CHAIRS, "DOBIE" BLOCKS, OR OTHER NON-DEGRADABLE DEVICES TO MAINTAIN PROPER POSITION THROUGHOUT POURING PROCESS.
16. FOOTING BOTTOMS SHALL BE STEPPED WHEN GRADE CHANGES OCCUR, WITH A MAXIMUM STEP OF 24" HORIZONTALLY FOR EVERY 12" VERTICALLY TO ENSURE EVEN BEARING AND AVOID SHEAR STRESS ON FOUNDATION WALLS.
17. PENETRATIONS THROUGH FOUNDATION WALLS SHALL BE LOCATED AT LEAST 12" AWAY FROM HOLDDOWN ANCHOR LOCATIONS. WHERE PENETRATIONS CONFLICT WITH HORIZONTAL HOLDDOWN REINFORCEMENT, BEND BAR DOWN 18" MINIMUM AT EACH EDGE AND INSTALL A #4 HORIZONTAL BAR, 6" LONG MINIMUM, CENTERED BENEATH THE PENETRATION.
18. DO NOT OVER-EXCAVATE BELOW FOOTINGS. MAXIMUM SLOPE OF EXCAVATION BELOW FOOTINGS SHALL BE 2H:1V (HORIZONTAL:VERTICAL), UNLESS DESIGNED OTHERWISE OR SHORING IS PROVIDED.
19. PROVIDE THE FOLLOWING MINIMUM CONCRETE COVER FOR ALL REINFORCEMENT PER ACI AND IRC STANDARDS:
 - 19.1. CONCRETE CAST AGAINST EARTH: 3"
 - 19.2. CONCRETE EXPOSED TO EARTH OR WEATHER (#5 OR SMALLER): 1-1/2"
 - 19.3. CONCRETE NOT EXPOSED TO EARTH OR WEATHER (#11 OR SMALLER): 3/4"
 - 19.4. REINFORCEMENT IN BEAMS, COLUMNS OR WALLS (#5 OR SMALLER): 1-1/2"
20. GRADE BEAMS FOR 1 STORY BUILDING WITH SLAB-ON-GRADE FOUNDATIONS SHALL BE DETAILED AS FOLLOWS UNLESS OTHERWISE DETAILED:
 - 20.1. EXTERIOR GRADE BEAMS SHALL BE 12" WIDE BY 24" DEEP (12" x 24") MINIMUM AND REINFORCED WITH (2) #5 HORIZONTAL REBAR CONTINUOUS AT TOP (3" CLEAR) AND BOTTOM (3" CLEAR). TIES SHALL BE #3 @ 18" O.C. CLOSED STIRRUPS OR AS SPECIFIED BY THE ENGINEER. BEAMS SHALL BE CENTERED UNDER EXTERIOR WALLS UNLESS NOTED OTHERWISE.
 - 20.2. INTERIOR GRADE BEAMS SHALL BE 12" WIDE BY 24" DEEP (12" x 24") MINIMUM AND REINFORCED WITH (2) #5 HORIZONTAL REBAR CONTINUOUS AT TOP (3" CLEAR) AND BOTTOM (3" CLEAR). TIES SHALL BE #3 @ 18" O.C. CLOSED STIRRUPS OR AS SPECIFIED BY THE ENGINEER. BEAMS SHALL BE CENTERED UNDER EXTERIOR WALLS UNLESS NOTED OTHERWISE.
21. GRADE BEAMS FOR 2 STORY BUILDING WITH SLAB-ON-GRADE FOUNDATIONS SHALL BE DETAILED AS FOLLOWS UNLESS OTHERWISE DETAILED:
 - 21.1. EXTERIOR GRADE BEAMS SHALL BE 12" WIDE BY 36" DEEP (12" x 36") MINIMUM AND REINFORCED WITH (2) #5 HORIZONTAL REBAR CONTINUOUS AT TOP (3" CLEAR) AND BOTTOM (3" CLEAR). TIES SHALL BE #3 @ 16" O.C. CLOSED STIRRUPS OR AS SPECIFIED BY THE ENGINEER. BEAMS SHALL BE CENTERED UNDER EXTERIOR WALLS UNLESS NOTED OTHERWISE.
 - 21.2. INTERIOR GRADE BEAMS SHALL BE 12" WIDE BY 24" DEEP (12" x 36") MINIMUM AND REINFORCED WITH (2) #5 HORIZONTAL REBAR CONTINUOUS AT TOP (3" CLEAR) AND BOTTOM (3" CLEAR). TIES SHALL BE #3 @ 16" O.C. CLOSED STIRRUPS OR AS SPECIFIED BY THE ENGINEER. BEAMS SHALL BE CENTERED UNDER EXTERIOR WALLS UNLESS NOTED OTHERWISE.
22. ALL BEAMS SHALL BE POURED MONOLITHICALLY WITH THE SLAB UNLESS OTHERWISE DETAILED. LAP SPLICES FOR #5 BARS SHALL BE 30" MINIMUM UNLESS ENGINEERED OTHERWISE.
23. BEAMS SHALL BEAR ON APPROVED COMPACTED SOIL OR STRUCTURAL FILL, AND SHALL NOT BE CONSTRUCTED OVER ORGANIC, EXPANSIVE, OR UNSTABLE MATERIALS.
24. FINISHED FLOOR ELEVATION (FFE) OF THE FOUNDATION SHALL BE ESTABLISHED A MINIMUM OF 12 INCHES ABOVE THE ADJACENT STREET GUTTER OR CURB ELEVATION TO ENSURE POSITIVE DRAINAGE AWAY FROM THE STRUCTURE AND TOWARD THE PUBLIC RIGHT-OF-WAY.
25. THE CONTRACTOR SHALL FIELD-VERIFY ALL EXISTING GRADES AND ELEVATIONS PRIOR TO EXCAVATION OR FORM SETTING TO CONFIRM COMPLIANCE WITH SITE DRAINAGE REQUIREMENTS AND TO AVOID LOW-PAD CONDITIONS.
26. SITE GRADING SHALL BE PERFORMED TO DIRECT SURFACE RUNOFF AWAY FROM THE FOUNDATION AT A MINIMUM SLOPE OF 6 INCHES FALL WITHIN THE FIRST 10 FEET (5%), OR AS OTHERWISE REQUIRED BY THE 2018 IRC SECTION R401.3.
27. ALL DISTURBED SOIL AROUND THE PERIMETER OF THE FOUNDATION SHALL BE STABILIZED WITH ESTABLISHED SOD OR OTHER APPROVED EROSION CONTROL MEASURES IMMEDIATELY UPON FINAL GRADING TO PREVENT EROSION, SEDIMENTATION, AND RUNOFF IMPACTS TO ADJACENT PROPERTIES.
28. IN THE EVENT OF ANY DISCREPANCY OR CONFLICT BETWEEN FOUNDATION PLAN DIMENSIONS AND OTHER DRAWINGS OR DETAILS, THE DIMENSION THAT RESULTS IN THE MOST STRUCTURALLY SOUND OR CONSERVATIVE OUTCOME SHALL GOVERN. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND NOTIFY THE DESIGNER OR ENGINEER OF RECORD OF ANY CONFLICTS PRIOR TO PROCEEDING WITH WORK.



Elliott Stovall
02-27-2026

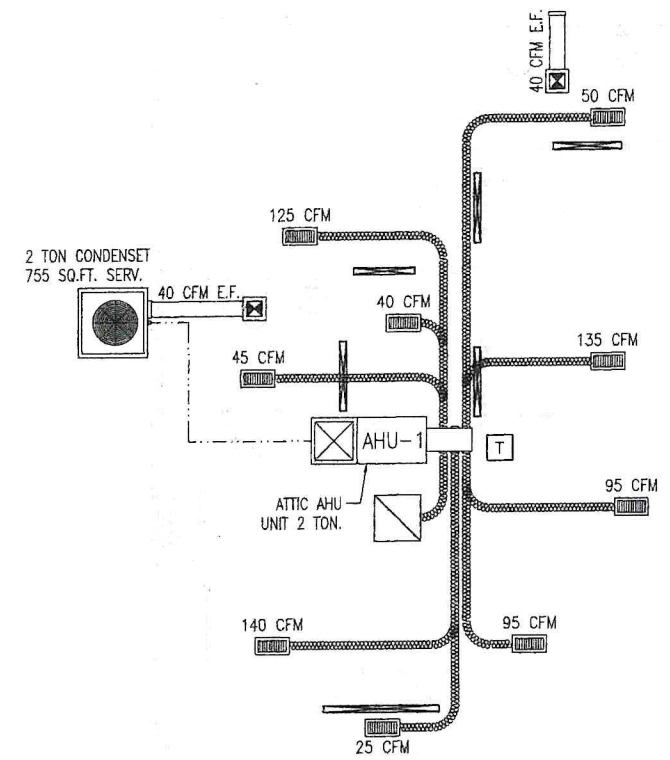
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USE:	PLAN:	DRAWN BY:	DATE:	SCALE:

ADDRESS:
116 WILLOW GROVE DRIVE HUTCHINS, TX 75141

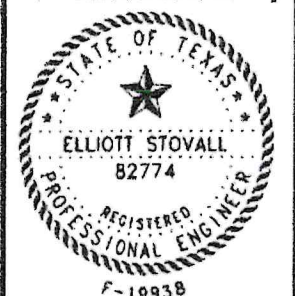
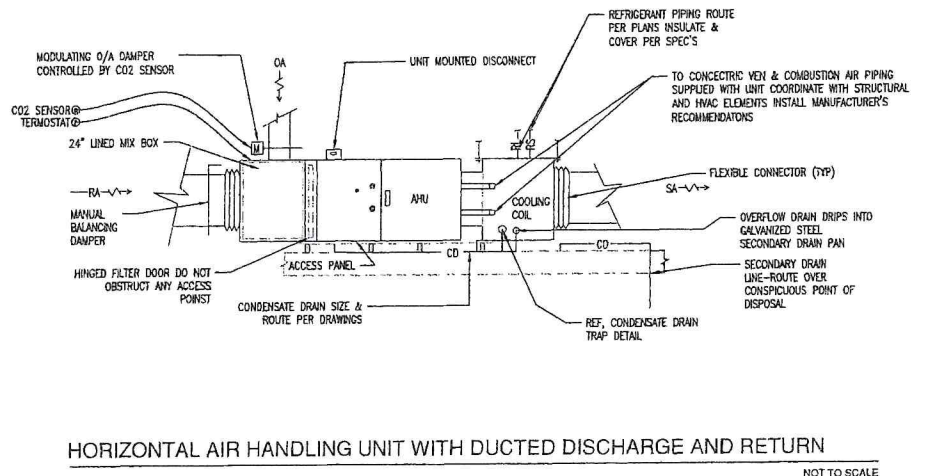
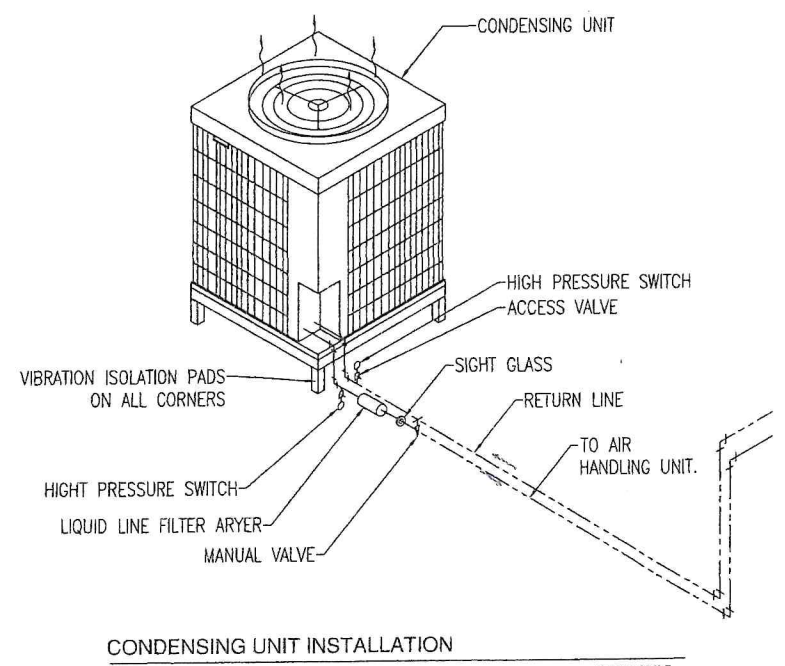
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MECHANICAL LEGEND	
SYMBOL	DESCRIPTION
---	RETURN LINE
---	FLEXIBLE & INSULATED ROUND DUCT (R-8 MIN.)
⊠	UNDERCUT DOOR
⊠	BATHROOM EXHAUST
⊠	NEW SUPPLY DIFFUSER
T	THERMOSTAT
⊠	24"X24" RETURN ON CEILING
⊠	SOFFIT DIFFUSER

DUCTWORK	
DIAMETER	AIR FLOW CFM
4	20
5	50
6	80
7	120
8	170
9	230
10	300
12	500
14	740
16	1050
18	1400
20	1875

- MECHANICAL (HVAC) GENERAL NOTES - SINGLE FAMILY RESIDENCE - 2018 IMC / 2018 IRC, CITY OF HUTCHINS, TX
- All heating, ventilation, and air conditioning (HVAC) systems shall be installed in full compliance with the 2018 International Mechanical Code (IMC), the 2018 International Residential Code (IRC), and applicable amendments adopted by the City of HUTCHINS, TX. All components shall be UL-listed and installed per manufacturer specifications and industry standards.
 - The HVAC unit shall be installed in an accessible location suitable for service, maintenance, and replacement, with required working clearances per IMC Section 306. Attic installations shall include a 30-inch wide unobstructed pathway, a solid work platform, and lighting with a switch at the equipment.
 - A code-compliant condensate drainage system shall be provided per IMC Section 307, including a primary and secondary drain line or drain pan with overflow protection when located above finished spaces.
 - Gas-fired units shall be supplied with properly sized and supported gas piping per the 2018 IFGC. Each appliance shall have a shut-off valve accessible within 6 feet of the unit.
 - Outdoor condensing units shall be installed on a level concrete pad and located with proper manufacturer-required clearances. A dedicated electrical disconnect shall be provided within sight of the unit, per NEC and IRC requirements.
 - All ducts shall be properly supported using approved hangers at intervals of no more than 4 feet for rigid duct and 5 feet for flexible duct, with additional support within 12 inches of all connections and fittings.
 - Flexible ducts located in unconditioned spaces shall be insulated to a minimum of R-8. All duct insulation shall be continuous, sealed, and protected from physical damage.
 - Duct seams, connections, and joints shall be mechanically fastened and sealed with mastic or UL 181 listed tape in accordance with IMC Section 603.9. Duct systems shall be pressure-tested where required and verified for airtightness.
 - Supply registers and return air grilles shall be located per mechanical plan. Return air shall not be taken from bathrooms, mechanical rooms, or rooms with fuel-burning appliances unless isolated per code. Return air pathways such as transfer grilles or jump ducts must meet code sizing and fire-blocking requirements.
 - The thermostat shall be installed at an accessible indoor location approximately 60 inches above finished floor and away from heat sources, direct sunlight, or drafts, and shall comply with control requirements under IRC N1103.1.1.
 - Combustion air shall be provided for all fuel-burning appliances in accordance with IMC Chapter 7. When located in confined spaces, adequate high and low combustion air openings shall be provided or mechanical combustion air shall be designed.
 - Mechanical ventilation shall be provided per IRC Section R303.4 and R1507. Bathrooms shall be equipped with exhaust fans ducted to the exterior and capable of at least 50 CFM intermittent or 20 CFM continuous ventilation. Toilet rooms without operable windows must be mechanically ventilated.
 - Kitchen ventilation shall include a range hood or exhaust fan capable of exhausting a minimum of 100 CFM intermittently or 25 CFM continuously, ducted directly to the exterior with smooth-wall metal duct, properly supported, and sealed. Recirculating hoods are permitted only if local amendments allow and if another code-compliant exhaust method is provided.
 - Clothes dryers shall be vented to the exterior with rigid metal duct not to exceed 35 feet equivalent length unless otherwise permitted by manufacturer. Flexible plastic dryer vents are prohibited.
 - All mechanical system penetrations through walls, ceilings, and fire-rated assemblies shall be sealed to maintain fire and energy performance, and all installations shall allow access for inspection prior to concealment.
 - All HVAC equipment and ductwork shall comply with the 2018 International Energy Conservation Code (IECC) residential provisions as adopted by the City of HUTCHINS, TX. Heating and cooling equipment shall meet the minimum SEER, EER, and HSPF efficiency ratings required by IECC Tables R403.7.1 and R403.7.2.
 - All ductwork located outside conditioned space shall be insulated to a minimum of R-8 for supply ducts and R-6 for return ducts. Ducts located entirely within conditioned space are exempt from insulation requirements.
 - Duct systems shall be sealed with mastic or UL-listed tape and tested to verify total leakage ≤4.0 CFM per 100 sq. ft. of conditioned floor area when tested at a pressure differential of 0.1 inch w.g. (25 Pa), unless ducts are entirely within conditioned envelope. A certificate of test results must be provided at final inspection.
 - Programmable thermostats shall be installed for systems providing heating and cooling, capable of automatic setback and recovery per IECC R403.1.1.
 - Mechanical ventilation systems providing outside air must meet the requirements of IRC Section R303.4 and be designed per ASHRAE 62.2 or other approved methods. Whole-house ventilation systems shall be tested for airflow and effectiveness per IECC R403.6.
 - The HVAC contractor shall verify all insulation, air sealing, duct sealing, and mechanical efficiency measures are complete and accessible for final inspection prior to closing walls or ceilings.



REGISTERED PROFESSIONAL ENGINEER
 F-19938
 Elliott Stovall
 02-27-2026

rcplans@outlook.com

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Exhibit 14A. Zoning Ordinance

Part III. ZONING DISTRICTS

§ 17. SF-7 – SINGLE-FAMILY RESIDENTIAL-7 DISTRICT.

17.1 GENERAL PURPOSE AND DESCRIPTION:

The SF-7, Single-Family Residential-7, district is designed to provide for development of primarily detached single-family residences on smaller and more compact lots or parcels of land not less than seven thousand (7,000) square feet.

17.2 PERMITTED USES:

- A.
 1. Those uses specified in Section 32 (Use Charts).
 2. Such uses as may be allowed by Specific Use Permits, Section 31.

17.3 HEIGHT REGULATIONS:

- A. Maximum Height:
 1. Two and one-half (2 1/2) stories, or thirty-five feet (35') for the main building/house.
 2. One (1) story for accessory buildings.
 3. Other (see Section 37.5).

17.4 AREA REGULATIONS:

- A. Size of Lots:
 1. Minimum Lot Area - Seven thousand (7,000) square feet
 2. Minimum Lot Width - Sixty feet (60')
 3. Minimum Lot Depth - One hundred feet (100')
- B. Size of Yards:
 1. Minimum Front Yard - Twenty-five feet (25')
 2. Minimum Side Yard - Ten percent (10%) of the lot width, but need not exceed fifteen feet (15'); 50% of the front yard setback (i.e., 12.5') from a street right-of-way for a corner lot
 3. Minimum Rear Yard - Twenty-five feet (25') for the main building and any accessory building(s); ten feet (10') from a main building to an accessory building.
- C. Minimum Floor Area per Dwelling Unit. One thousand two hundred and fifty (1,250) square feet.
- D. Maximum Lot Coverage: Thirty-five percent (35%) by main buildings and accessory buildings
- E. Parking Regulations:
 1. Single-Family Dwelling Unit - A minimum of two (2) enclosed parking spaces behind the front building line and on the same lot as the main structure

XA

17.5 SPECIAL REQUIREMENTS:

- A. Recreational vehicles, travel trailers or motor homes may not be used for on-site dwelling purposes.
- B. Electrical fencing and barbed wire is prohibited as perimeter fencing except for containment of farm animals on parcels of one (1) or more acres.
- C. Open storage is prohibited (except for materials for the resident's personal use or consumption such as firewood, gardening materials, etc.).
- D. Single-family homes with side entry garages where lot frontage is only to one street (not a corner lot) shall have a minimum of twenty-five feet (25') from the door face of the garage or carport to the side property line for maneuvering.
- E. The elimination of a garage space by enclosing the garage with a stationary building wall shall be prohibited.
- F. Site plan approval (see Section 12) shall be required for any nonresidential use (e.g., school, church, child care center, private recreation facility, etc.) in the SF-7 district.
- G. All single-family structures shall have a minimum roof pitch of 6:12.
- H. Other Regulations - As established in the Development Standards, Sections 33 through 41.

(Ordinance 782 adopted 2/16/04; Ordinance 2009-0899 adopted 10/5/09; Ordinance 782 adopted 2/16/14; Ordinance 2014-0970 adopted 12/29/14; Ordinance 2015-0973 adopted 3/2/15; Ordinance 2015-0974 adopted 3/2/15; Ordinance 2015-0975 adopted 3/2/15)



STAFF REPORT

MEETING DATE: April 15, 2026

MEETING TYPE: Zoning Board of Adjustments

SUBMITTED BY: Blake Moore

AGENDA CAPTION: Discuss and Consider a Variance request by John Gonzalez of RTG Capital, LLC to the City of Hutchins Code of Ordinances Special Off Street Parking Provisions Chp. 33.3 for property located at 904 S IH45.

Presented by: Chief Building Official

Background Information

John Gonzalez of RTG Capital has recently been approved for an SUP and Zoning Change for the property and is now looking for relief on the special off street parking and loading requirements for future tenants. They are claiming hardships with the following pre-existing conditions that would be disrupted if site is fully paved.

- **disrupt existing grading,**
- **require unnecessary reconstruction of a previously functional surface,**
- **create drainage issues, and**
- **would be functionally counterproductive, as heavy materials and repeated loading activity would rapidly damage the pavement.**

The existing crushed aggregate base is extremely compacted, stable, and in good condition, and is better suited to the intended use. The outdoor storage areas are intended primarily for material laydown, not vehicle circulation or parking, and retaining aggregate in these laydown areas allows flexibility for future tenants while avoiding unnecessary infrastructure costs that may provide no public benefit.

Importantly, in addition to the proposed drive lanes, the **frontage and operational parking areas are already paved**, maintaining a clean and orderly appearance along public rights-of-way.

The petitioners respectfully request a **variance or waiver** from this requirement for the portions of the site intended for outdoor storage.

- 1) **Special Off Street Parking & Loading Requirements-** The site is not currently paved with concrete and they are proposing drive lanes for trucks and to not pave the areas intended for outdoor storage. They have submitted a site plan that shows the width and the location of these lanes.

33.3 C- All off-street parking, maneuvering, loading and vehicle storage areas shall be paved with an all-weather surface (i.e., no parking shall be permitted on grass, within landscaped areas, on gravel, or on other unimproved surfaces), which shall be concrete and shall be constructed to standards established by the City Engineer. All maneuvering areas for parking and loading shall be on site (i.e., shall not occur within public right-of-way or on adjacent property without a platted/recorded access easement granting such access on adjacent property).

Budget Implications

N/A

Operational Impact

N/A

Legal Review

N/A

Staff Recommendation

Staff recommends the board of Adjustments to discuss if this truly meets hardship or if this condition is self-imposed and/or financial for approval with conditions or denial.

Supporting Documentation and Attachments

City of Hutchins
321 N. Main Street
P.O. Box 500
Hutchins, Texas 75141

CITY OF HUTCHINS
APPLICATION TO
BOARD OF ADJUSTMENTS

Phone - 972.225.6121
Fax No. - 972.225.5559

Application Type			
<input checked="" type="checkbox"/> Variance Request	<input type="checkbox"/> General Appeal	<input type="checkbox"/> Special Exception	<input type="checkbox"/> Other

Applicant/Owner Information

Key Contact John Gonzalez Telephone No. 214.578.1760 Fax No. _____

Address 8235 Douglas Ave., Suite 350

City Dallas State TX Zip Code 75225

Contact's Status: (check one) Owner Representative Tenant

Owner RTG Capital, LLC Telephone No. _____ Fax No. _____

Address 8235 Douglas Ave., Suite 350

City Dallas State TX Zip Code 75225

Ownership Status: (check one) Individual Trust Partnership Corporation

Property Information

Site Location See attached.

Site Street Address Various, see attached.

Subdivision _____ Lot No. _____ Block No. _____

Present Zoning Light industrial with several SUPs Present Land Use vacant, former salvage yard

Status of Project: Proposed Under Construction Existing

Have you applied for a building permit? Yes No

Has any appeal or petition been filed on this property before? No Yes Date March 16, 2026, zoning approval

Request Information

Please answer the following questions as completely as possible. Failure to fully outline the situation by answering these questions could cause unnecessary delay in evaluating your appeal.

1. Fully explain the unique conditions or circumstances that exist which are peculiar to your land, structure, or building involved that make this request necessary. The attached letter.

2. Do similar conditions exist in the area? Explain. Yes, a similar variance was respectfully requested and approved by the City of Hutchins Board of Adjustments. On February 25, 2026, the board accomodated special off street parking & loading requirements to allow drive lanes for outdoor storage at 720 Wintergreen Rd.

3. Describe how the unique conditions or circumstances do not result from your actions. Applicant is proposed ownership

Request Information, continued

4. Are other property owners in your area aware of your request?

Yes, Tuff Shed next door is supportive of the prior zoning and SUP action.

5. Is there any way to do what you want without this request? The proposed improvements to the subject property create a feasible use that will

be compatible with City of Hutchins prior requests and approvals. The proposed ownership team has worked in cooperation with the City of Hutchins

PI&Z team to work toward a desired/ feasible/ compatible use for the former LKQ Auto Salvage Yard site.

Acknowledgments

I certify that the above information is correct and complete to the best of my knowledge and ability and that I am now or will be fully prepared to present the above proposal at the Board of Adjustment hearing.

I understand that in the event that I am not present or represented at the public hearing, the Board shall have the power to dismiss this proposal either at the call of the case or after the hearing, and that such dismissal shall constitute a denial.

I reserve the right to withdraw this proposal at any time, except during notice periods, upon written request filed with the City Secretary's office, and such withdrawal shall immediately stop all proceedings thereon; provided, however, withdrawal filed at any time after the giving of notice of the Board hearing shall constitute a denial by the Board. I understand the filing of fee \$250.00 (two-hundred fifty dollars) is not refundable upon withdrawal of the proposal after public notice.

Applicant Signature John Boyel Owner Signature _____

Property owner must sign the application or submit a notarized letter of authorization. Please review the acknowledgments prior to signing this application.

For Office Use Only

Application Date:	Application Fee:	BOA Hearing Date	Case No:

LKQ Addresses and Legal Description

1300 IH-45 – Highway Commercial

- 1: THOMAS FREEMAN ABST 453 PG 497
- 2: TR 18.2 **ACS 7.8516**
- 3:
- 4: VOL99182/1912 DD09081999 CO-DC

904 S IH-45 – Highway Commercial Zoning

- 1: WILLIAM GATLIN ABST 499 PG 811
- 2: TR 49 **ACS 10.4903**
- 3:
- 4: VOL2004035/03224 DD02112004 CO-DC
- 5: 0499811104900 2CU04998111

1310 S IH-45 - Highway Commercial Zoning

- 1: WILLIAM GATLIN ABST 499 PG 811
- 2: TR 48 **ACS 5.00**
- 3:
- 4: INT200600189049 DD04192006 CO-DC

Current Legal Description ¹

TRACT 2:

BEING A TRACT OF LAND SITUATED IN THE WILLIAM GATLIN SURVEY, ABSTRACT NO. 499, DALLAS COUNTY, TEXAS AND BEING A TRACT OF LAND CONVEYED TO T.S. MILLER, LTD., RECORDED IN VOLUME 98237, PAGE 5044, DEED RECORDS, DALLAS COUNTY, TEXAS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 1/2 INCH IRON ROD FOUND FOR THE SOUTHWEST CORNER OF SAID MILLER TRACT, SAID POINT BEING ON THE NORTHEAST LINE OF S. INTERSTATE 45 (300' R.O.W.), SAID POINT BEING N 22°46'00" W 891.33 FT. FROM THE NORTHWEST CORNER OF MILTON TRUCK LINE ADDITION, AN ADDITION TO THE CITY OF HUTCHINS RECORDED IN VOLUME 93117, PAGE 1437, MAP RECORDS, DALLAS COUNTY, TEXAS;

THENCE N 22°46'00" W, ALONG THE NORTHEAST LINE OF SAID S. INTERSTATE 45, A DISTANCE OF 490.64 FT. TO A 3/4 INCH IRON ROD FOUND FOR THE NORTHWEST CORNER OF SAID MILLER TRACT;

THENCE N 59°40'00" E, LEAVING THE NORTHEAST LINE OF SAID S. INTERSTATE 45 AND ALONG THE NORTH LINE OF SAID MILLER TRACT, A DISTANCE OF 910.50 FT. TO A 1/2 INCH IRON ROD SET FOR THE NORTHEAST CORNER OF SAID MILLER TRACT;

THENCE S 27°48'00" E, ALONG THE EAST LINE OF SAID MILLER TRACT, A DISTANCE OF 494.49 FT. TO A 1/2 INCH IRON ROD SET FOR THE SOUTHEAST CORNER OF SAID MILLER TRACT;

THENCE S 60°07'33" W, ALONG THE SOUTH LINE OF SAID MILLER TRACT, A DISTANCE OF 953.28 FT. TO THE POINT OF BEGINNING AND CONTAINING 10.4903 ACRES (456, 956 SQ. FT.) OF LAND, MORE OR LESS.

TRACT 3:

BEING A TRACT OF 5.000 ACRES OF LAND IN THE WILLIAM GATLIN SURVEY ABST. NO. 499, DALLAS COUNTY, TEXAS, AND BEING PART OF A CERTAIN TRACT OF LAND AS DESCRIBED IN DEED TO T.F. CAMPBELL, RECORDED IN VOLUME L, PAGE 412 OF THE DEED RECORDS OF DALLAS COUNTY, TEXAS; AND SAID 5.000 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

¹ See Attached Survey to tie out legal descriptions and tract numbers. Subject will be re-platted subject to zoning change approval.

COMMENCING AT THE SOUTHEAST CORNER OF A CERTAIN TRACT OF LAND DESCRIBED IN DEED TO T.F. CAMPBELL IN VOLUME O, PAGE 321, DEED RECORDS, DALLAS COUNTY, TEXAS, A FENCE CORNER;

THENCE NORTH 27 DEGREES 48 MINUTES WEST, ALONG THE NORTHEAST LINE OF SAID CAMPBELL TRACTS, 431.69 FEET, TO THE POINT OF BEGINNING OF THE 5.000 ACRE TRACT DESCRIBED HEREIN;

THENCE SOUTH 60 DEGREES 00 MINUTES 00 SECONDS WEST, 993.15 FEET TO A POINT IN THE NORTHEAST LINE OF U.S. HIGHWAY NO. 75;

THENCE NORTH 22 DEGREES 46 MINUTES 00 SECONDS WEST, ALONG THE NORTHEAST LINE OF SAID HIGHWAY, 223.27 FEET;

THENCE NORTH 60 DEGREES 00 MINUTES 00 SECONDS EAST, 973.55 FEET TO THE NORTHEAST LINE OF SAID CAMPBELL TRACT;

THENCE SOUTH 27 DEGREES 48 MINUTES 00 SECONDS EAST, ALONG THE NORTHEAST LINE OF SAID CAMPBELL TRACT, 221.66 FEET TO THE POINT OF BEGINNING AND CONTAINING 5.000 ACRES OF LAND.

TRACT 4:

BEING A TRACT OF LAND SITUATED IN THE THOMAS FREEMAN SURVEY, ABSTRACT NO. 453, AND THE WILLIAM GATLIN SURVEY, ABSTRACT NO. 499, AND SAID TRACT OF LAND BEING A PART OF TRACTS 1 AND 3 IN A WARRANTY DEED CONVEYED TO J.R.

MARRIOTT AND B.O. MARRIOTT RECORDED IN VOLUME 85121, PAGE 5536, DEED RECORDS OF DALLAS COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND 1/2 INCH IRON ROD WITH ALBERT HALFF CAP AT THE SOUTHWEST CORNER OF SAID TRACT 3, SAID POINT BEING NORTH 60 DEGREES 45 MINUTES 34 SECONDS EAST, 69.56 FEET FROM A FOUND 3/4 INCH IRON ROD FOUND ON THE NORTHEAST LINE OF INTERSTATE HIGHWAY 45 (300 FOOT R.O.W.), SAID BEGINNING POINT ALSO BEING THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO D.R. TURNER, DATED 5/25/66, DEED RECORDS, DALLAS COUNTY, TEXAS;

THENCE NORTH 18 DEGREES 08 MINUTES 43 SECONDS WEST, (DEED-NORTH 18 DEGREES 52 MINUTES WEST), ALONG THE COMMON LINE OF SAID TRACT 3 AND SAID TURNER TRACT, A DISTANCE OF 188.28 FEET TO A POINT FOR CORNER IN THE CENTERLINE OF RAWLINS BRANCH;

THENCE ALONG THE CENTERLINE OF RAWLINS BRANCH THE FOLLOWING CALLS:

THENCE NORTH 80 DEGREES 50 MINUTES 15 SECONDS EAST, A DISTANCE OF 229.82 FEET TO A POINT FOR CORNER; THENCE NORTH 11 DEGREES 59 MINUTES 48 SECONDS EAST, A DISTANCE OF 136.39 FEET TO A POINT FOR CORNER; THENCE NORTH 16 DEGREES 44 MINUTES 04 SECONDS EAST, A DISTANCE OF 439.13 FEET TO A POINT FOR CORNER; THENCE NORTH 38 DEGREES 27 MINUTES 41 SECONDS EAST, A DISTANCE OF 110.67 FEET TO A POINT FOR CORNER; THENCE NORTH 3 DEGREES 54 MINUTES 23 SECONDS WEST, A DISTANCE OF 41.11 FEET TO A POINT FOR CORNER; THENCE SOUTH 88 DEGREES 12 MINUTES 33 SECONDS EAST, A DISTANCE OF 91.86 FEET TO A POINT FOR CORNER; THENCE SOUTH 75 DEGREES 38 MINUTES 29 SECONDS EAST, A DISTANCE OF 146.23 FEET TO A POINT FOR CORNER;

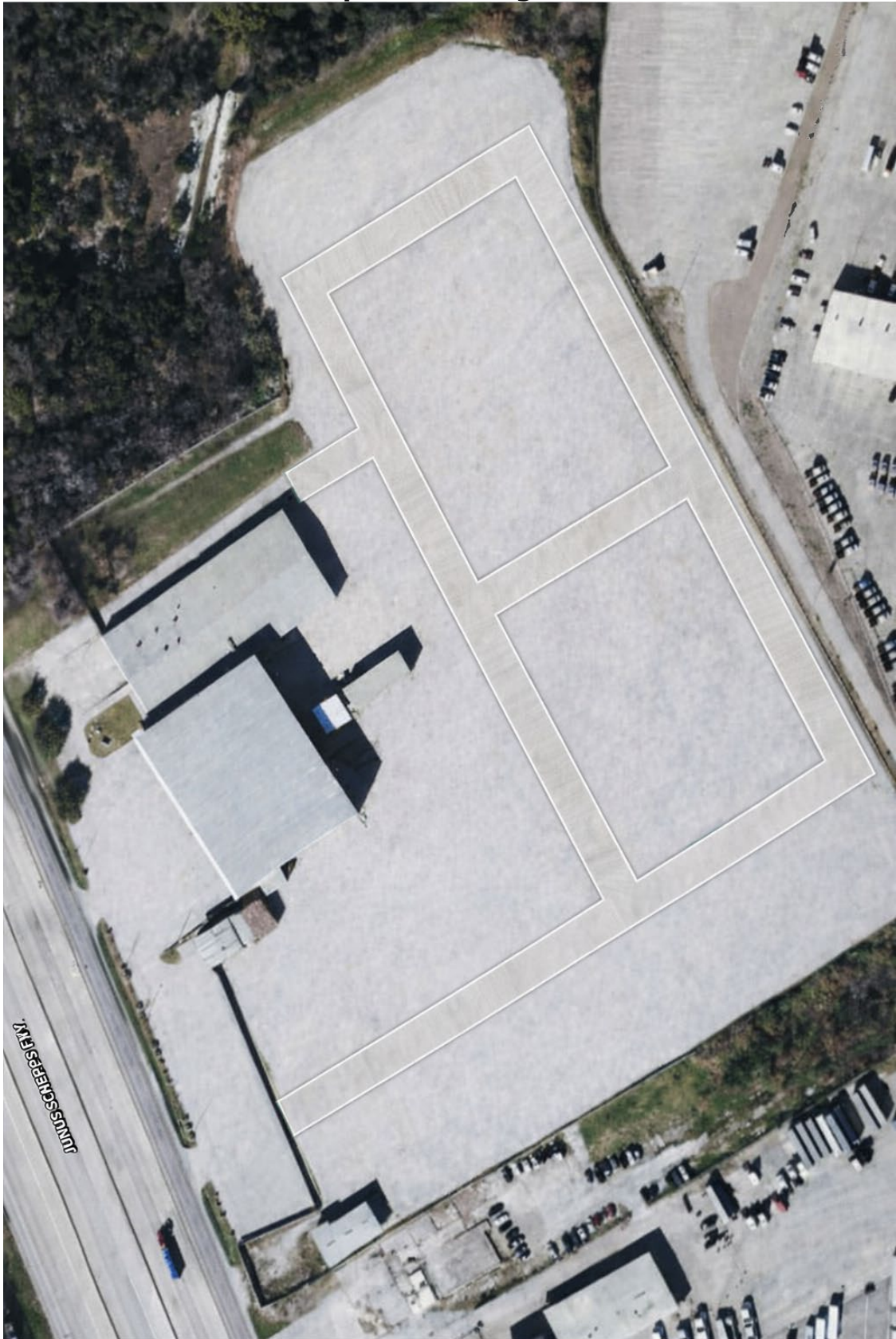
THENCE SOUTH 62 DEGREES 07 MINUTES 19 SECONDS EAST, A DISTANCE OF 167.88 FEET TO A POINT FOR CORNER ON A SOUTHEAST LINE OF SAID TRACT 1;

THENCE SOUTH 3 DEGREES 23 MINUTES 08 SECONDS WEST, (DEED-SOUTH 2 DEGREES 45 MINUTES WEST), LEAVING THE

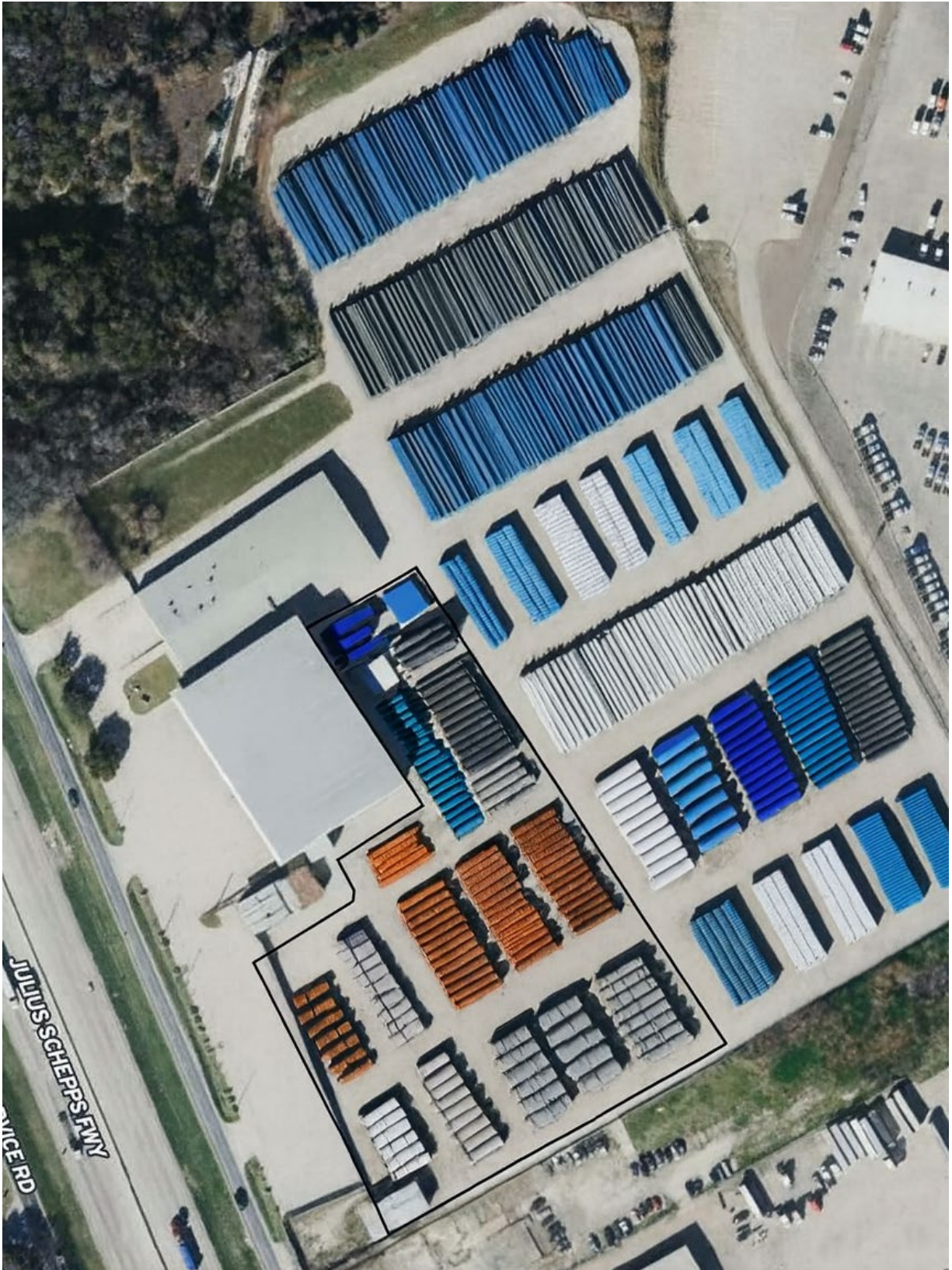
CENTERLINE OF SAID RAWLINS BRANCH AND ALONG A SOUTHEAST LINE OF SAID TRACT 1, A DISTANCE OF 395.10 FEET TO A FOUND THREADED IRON ROD FOR THE SOUTHEAST CORNER OF SAID TRACT 1, SAID POINT ALSO BEING ON THE NORTHEAST LINE OF SAID MILLER TRACT;

THENCE SOUTH 62 DEGREES 44 MINUTES 54 SECONDS WEST, ALONG THE COMMON LINE OF SAID TRACTS 1 AND 3 WITH SAID MILLER TRACT, A DISTANCE OF 840.96 FEET (DEED-848.00 FEET), TO THE POINT OF BEGINNING AND CONTAINING 7.8516 ACRES (342,016 SQUARE FEET) OF LAND, MORE OR LESS.

Proposed Paving Plan



Concept Plan



Aerial Photo (Surrounding Uses)



Variance Request Letter
(Light Industrial with Outdoor Storage / Paving Waiver Request)

City of Hutchins
City Hall
Attn: Planning & Zoning Commission
321 N. Main Street
Hutchins, Texas 75141

RE: Former LKQ Site - 1300 IH-45 - Variance Application

To Whom It May Concern:

We respectfully submit this request for a variance for the subject property located within the City of Hutchins.

Project Summary

The LKQ Former Site currently consists of a ±87,000 square foot warehouse facility situated on 28.3 acres along Interstate 45 in Hutchins, TX, a strategic infill location with excellent access to I-20 and I-45. The asset includes two distinct areas: ±41,000 SF serviced by 7 grade-level doors and ±46,000 SF with 20 dock-high doors. With 40' clear height, secured perimeter fencing, a stabilized yard, and zoning that permits outside storage, **the property is well-suited for logistics, transportation, and industrial users**. The facility benefits from its interstate frontage and significant yard-to-building ratio. The location and site characteristics are ideal for tenants requiring both warehousing and large-format outdoor storage.

The site has been **vacant for over a year** and currently represents an underutilized asset within an established industrial corridor. Our objective is to tenant the property with **low-impact, well-maintained light industrial users** that are compatible with the City’s long-term land use goals while improving the appearance and functionality of the site.

Site Improvements & Commitments

We are committed to working collaboratively with the City, and we are willing to undertake the following improvements as part of this request:

- Comprehensive **site cleanup and maintenance**
- **Exterior paint** and aesthetic upgrades where applicable
- **Landscaping enhancements** along visible frontages and boundaries
- **Paved circulation lanes** in yard area for vehicle/ material handling loading and offloading
- Continued upkeep of the **existing paved frontage**, which provides approximately **132 striped parking spaces** for employees and customers and access to 27 warehouse bays.

These improvements will materially enhance the site’s visual quality and ensure it reflects positively on the surrounding area.

Intended Uses

Our focus is to attract **low-intensity, Light Industrial users** such as contractors, service-based industrial tenants, or suppliers—that may require **incidental outdoor storage** without generating excessive traffic, noise, or nuisance impacts.

Desired Uses include service-oriented contractors with limited outdoor material storage, operating primarily during normal business hours such as:

<ul style="list-style-type: none"> • Commercial fencing & gate systems • Architectural metal / railings • Precast architectural elements • Decorative concrete / masonry products • Shade structures & canopies • Roofing systems manufacturers • Commercial window & glazing suppliers • Curtain wall / façade subcontractors • Solar mounting systems (non-retail) • Architectural millwork shops • Truss or LVL component fabricators • Custom cabinetry shops (commercial) 	<ul style="list-style-type: none"> • Engineered wood products distributor • Electrical apprenticeship programs • Welding schools • HVAC training centers • Utility workforce training yards • Electrical co-op staging • Fiber maintenance yards • Water district service centers • Traffic signal maintenance facilities • Agricultural equipment • Compact construction equipment • Specialized vehicles (utility, service bodies)
--	--

Outdoor Storage & Paving Hardship Waiver Request

The City has indicated a preference or potential ordinance requirement for **full-site concrete paving**. We believe that concrete paving will not help facilitate the desired uses and may inhibit the desired tenancy.

A **hardship is created** as the site is a pre-existing industrial yard with legacy conditions. Full paving would:

- **disrupt existing grading,**
- **require unnecessary reconstruction of a previously functional surface,**
- **create drainage issues, and**
- **would be functionally counterproductive, as heavy materials and repeated loading activity would rapidly damage the pavement.**

The existing crushed aggregate base is extremely compacted, stable, and in good condition, and is better suited to the intended use.

The outdoor storage areas are intended primarily for material laydown, not vehicle circulation or parking, and retaining aggregate in these laydown areas allows flexibility for future tenants while avoiding unnecessary infrastructure costs that may provide no public benefit

Importantly, in addition to the proposed drive lanes, the **frontage and operational parking areas are already paved**, maintaining a clean and orderly appearance along public rights-of-way.

The petitioners respectfully request a **variance or waiver** from this requirement for the portions of the site intended for outdoor storage.

Conclusion

This request represents a balanced approach: it **reactivates a long-vacant property**, improves site aesthetics, respects the City’s policy direction, and allows practical flexibility for Light Industrial users without overbuilding or over-paving the site.

We believe the proposed request is **reasonable, context-sensitive, and in the City’s best interest**, and we welcome continued dialogue with staff and the Commission to address any questions or conditions.

Thank you for your time and consideration.

Respectfully submitted,


John Gonzalez
RTG Capital
8235 Douglas Ave., Suite 350
Dallas, TX 75225
Ph: [214.578.1760](tel:214.578.1760)
Email: jgonzalez@rtgcapital.com

As-Built Survey

ITEMS CORRESPONDING TO SCHEDULE B-II

- 1 The following matters and all terms of the documents creating or offering evidence of the matters (We must insert matters or delete this exception):
- THE FOLLOWING AFFECTS TRACTS 1, 2 AND 3
Easement: Electric transmission and distribution
Recorded: 11/14/1933 in Volume 1817, Page 566, of the Deed Records, Dallas County, Texas.
Unable to determine location given provided document information.
- 2 Easement: Electric transmission and distribution
Recorded: 3/5/1935 in Volume 1873, Page 603, of the Deed Records, Dallas County, Texas.
Unable to determine location given provided document information.
- 1 Easement: Electric transmission and/or distribution
Recorded: 7/8/1948 in Volume 3001, Page 95, of the Deed Records, Dallas County, Texas.
Unable to determine location given provided document information.
- 1 Easement: Electric transmission and/or distribution
Recorded: 1/18/1949 in Volume 3081, Page 488, of the Deed Records, Dallas County, Texas.
Unable to determine location given provided document information.
- 1 Easement: Communication systems
Recorded: 5/10/1950 in Volume 3301, Page 399, of the Deed Records, Dallas County, Texas.
Not shown, blanket in nature; Unable to identify location of easement.
- 1 Easement: Communication systems
Recorded: 5/15/1950 in Volume 3304, Page 600, of the Deed Records, Dallas County, Texas.
Not shown, blanket in nature; Unable to identify location of easement.
- 1 ~~Easement: Communication systems
Recorded: 8/16/1950 in Volume 3960, Page 108, of the Deed Records, Dallas County, Texas.
Not shown, does not affect.~~
- 1 ~~Easement: Communication systems
Recorded: 8/16/1950 in Volume 3960, Page 110, of the Deed Records, Dallas County, Texas.
Not shown, does not affect.~~
- THE FOLLOWING AFFECTS TRACT 1 ONLY
Mineral and/or royalty interest
Recorded: 1/12/2012 in County Clerk's File No. 201200009798 of the Official Public Records of Dallas County, Texas.
Not shown, blanket in nature.
- THE FOLLOWING AFFECTS TRACT 3 ONLY
Easement: Overhead electric supply and communications lines Recorded: 9/2/1992 in Volume 92172, Page 87, of the Real Property Records, Dallas County, Texas. **Shown hereon.**
- THE FOLLOWING AFFECTS TRACT 4 ONLY
~~Easement: Drainage
Recorded: 10/10/1977 in Volume 77202, Page 754, of the Real Property Records, Dallas County, Texas.
Not shown, does not affect.~~
- 1 ~~Easement: Communication systems
Recorded: 10/10/1977 in Volume 77202, Page 771, of the Real Property Records, Dallas County, Texas.
Not shown, does not affect.~~
- 1 Terms, conditions, provisions and stipulations contained in the document entitled Affidavit to the Public evidencing an on-site wastewater treatment system or on-site sewage facility (OSSF), as recorded on 12/28/1999, in Volume 99256, Page 2475, Real Property Records, Dallas County, Texas. **Not shown, blanket in nature.**

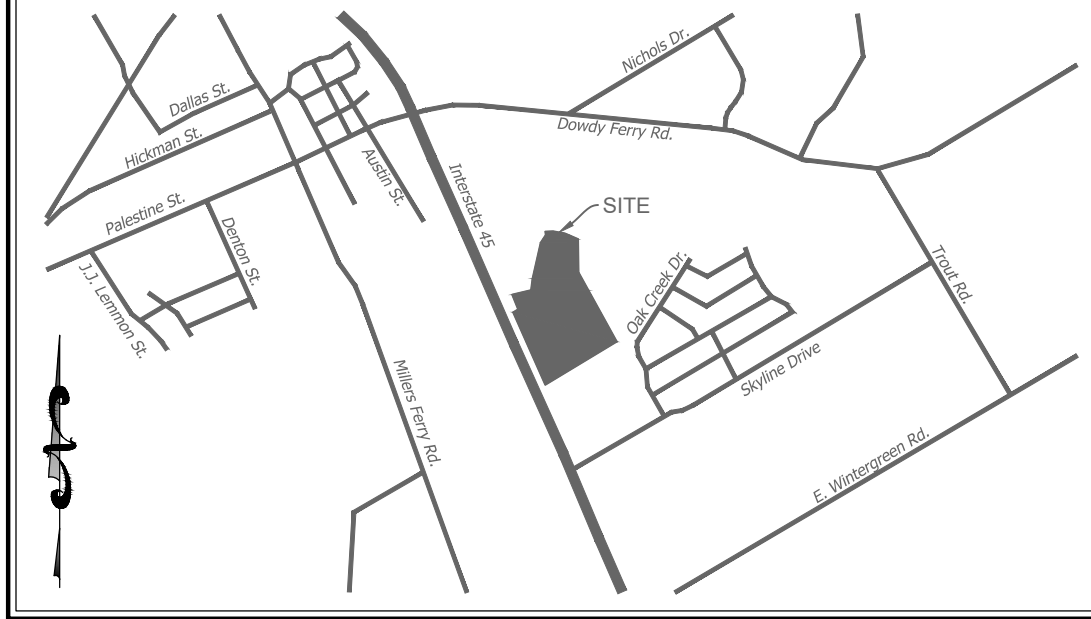
ZONING INFORMATION

Pursuant to Table A Items 6 (a) and 6 (b). Zoning data obtained from zoning report# 170554-1 dated: 02/21/24 prepared by The Planning and Zoning Resource Company, Sheri Klatt, 405-840-4344 x4424 S.Klatt@pzcr.com.

The current zoning classification for the property is Parcel 10180200 & 1049000 - "LI" Light Industrial; Parcel 10490200 & 10480000 - "HC" Highway Commercial; Parcel 10490100 - Unincorporated - No Zoning.

Item	Required	Conforming Y/N
FRONT SETBACK	LI: 50 FEET	YES
SIDE/REAR SETBACK	LI: 25 FEET	YES
BUILDING HEIGHT	LI: 3 stories/45 FEET; HC: 8 stories	YES
MINIMUM LOT AREA	LI: 20,000 SF; HC: 10,000 SF	YES
MINIMUM LOT WIDTH	LI: 100 FEET; HC: 80 FEET	YES
MAXIMUM LOT COVERAGE	LI: 65%; HC: 50%	YES
PARKING	1 per 500 SF (min. 5); 1 truck; 1 bay; 1 tow	YES

VICINITY MAP - NOT TO SCALE



UTILITY NOTE

The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that utilities are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

MISCELLANEOUS NOTES

- MN1 Survey prepared by Golden Land Surveying, 4131 N.W. 122nd St., Suite 100, Oklahoma City, Oklahoma 73120, (405) 802-7883, troy@goldens.com.
- MN2 Pursuant to Table A Item 2, The address of 904, 1080, 1300 & 1310 S. Interstate 45 Service Road, Hutchins, Texas 75141 was posted on signage on the surveyed property.
- MN3 Pursuant to Table A Item 4, The surveyed property contains a total area of 1,233,670 Sq. Ft. or 28.3212 Acres, more or less.
- MN4 Only observable surface and above ground structures were located. No underground improvements, such as foundation footings, located. All dimensions shown are in feet and decimals thereof.
- MN5 The Property has direct access to S. Interstate 45 Service Road, being a dedicated public street.
- MN6 Pursuant to Table A Item 9, The total number of striped parking spaces on the subject property is 153, including 2 designated handicap spaces.
- MN7 Pursuant to Table A Items 10, There are no division or party walls with respect to adjoining properties.
- MN8 Pursuant to Table A Item 13, Adjoiner information shown hereon was obtained from the county's property appraiser web site.
- MN9 The surveyor was not provided with a specified street from the client pursuant to Table A Item 14. The intersection of S. Interstate 45 Service Road and Skyline Drive is located 1009' from the S/E corner of subject property.
- MN10 Pursuant to Table A Item 16, There is no observed evidence of current earth moving work, building construction or building additions.
- MN11 Pursuant to Table A Item 17, There are no proposed changes in street right of way lines, to the best of my knowledge. There is no observed evidence of recent street or sidewalk construction or repairs.
- MN12 Pursuant to Table A Item 18, Plottable easement or servitudes provided to the surveyor are shown hereon.
- MN13 At the time of the survey, there was no observed evidence of substantial areas of refuse.
- MN14 Ownership of fences, if any, was not determined under the scope of this survey.
- MN15 At the time of this survey, there was no observable evidence of site use as a burial ground or cemetery.
- MN16 The parcels are contiguous along their common boundary lines with no gaps, gores or strips.
- MN17 A assumed bearing of North 23° 51' 05" East as the Southwest line of the subject property per Texas State Plane Grid Texas North Central was used as the basis of bearing for this survey.
- MN18 All unit of measurements are US Survey feet (Ground).

LEGEND OF SYMBOLS & ABBREVIATIONS

	POWER POLE		GAS METER
	LIGHT POLE		GAS VALVE
	GUY ANCHOR		GAS MARKER
	ELECTRIC METER		OIL PIPELINE MARKER
	ELECTRIC BOX		SIGN
	ELEC. TRANSFORMER		FIRE HYDRANT
	ELEC. MANHOLE		WATER MANHOLE
	ELEC. PEDESTAL		WATER VALVE
	ELEC. PULL BOX		WATER METER
	SPOT LIGHT		DOWN SPOUT
	SANITARY SEWER MANHOLE		AIR CONDITIONER
	SANITARY SEWER CLEANOUT		TRAFFIC SIGNAL
	STORM SEWER MANHOLE		TRAFFIC SIGNAL BOX
	TELEPHONE MARKER		PEDESTRIAN CROSSING SIGNAL
	TELEPHONE RISER		GREASE TRAP
	TELEPHONE MANHOLE		MAIL BOX
	TELEPHONE PULL BOX		FLAG POLE
	CABLE TV PEDESTAL		SECTION CORNER
	CABLE TV MARKER		QUARTER CORNER
	CABLE TV PULL BOX		SET IRON PIN W/CAP
	FIBER OPTIC MARKER		SET MAG NAIL W/WASHER
	IRRIGATION CONTROL VALVE		FOUND MONUMENT
	SPRINKLER HEAD		RIGHT OF WAY MARKER
	BOLLARD		TREE
	FIRE DEPARTMENT CONNECT		BUSH
	PROPANE TANK		YARD HYDRANT/SPICKET
	WATER LINE		BENCHMARK
	GAS LINE		FIBER OPTIC LINE
	SANITARY SEWER LINE		PROPERTY LINE
	TELEPHONE LINE		LOT LINE
	ELECTRIC LINE		EASEMENT LINE
	OVERHEAD POWERLINE		SECTION LINE
	BARBED WIRE FENCE		CHAIN LINK FENCE
	IRON FENCE		WOOD PANEL FENCE
	S.I.P.-SET IRON PIN		GUARD RAIL
	I.P.-IRON PIN		CGMP-CORRUGATED METAL PIPE
	F.I.P.-FOUND IRON PIN		H/C-HANDICAP
	B.U.L.-BUILDING LIMIT LINE		R.C.P.-REINFORCED CONCRETE PIPE
	U/E-UTILITY EASEMENT		

NOTE: ALL MONUMENTS SET ARE CAPPED 1/2" IRON PINS OR MAG NAILS WITH WADERS BOTH BEING STAMPED "D&E RPLS 6904" UNLESS NOTED OTHERWISE

RECORD DESCRIPTION

TRACT 1:
BEING A TRACT OF 5.000 ACRES OF LAND IN THE WILLIAM GATLIN SURVEY ABST. NO. 499, DALLAS COUNTY, TEXAS, AND BEING PART OF A CERTAIN TRACT OF LAND AS DESCRIBED IN DEED TO T.F. CAMPBELL, RECORDED IN VOLUME L, PAGE 412 OF THE DEED RECORDS OF DALLAS COUNTY, TEXAS, AND SAID 5.000 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF A CERTAIN TRACT OF LAND DESCRIBED IN DEED TO T.F. CAMPBELL RECORDED IN VOLUME O, PAGE 321, DEED RECORDS, DALLAS COUNTY, TEXAS, AN IRON ROD AT A FENCE CORNER; THENCE N 27° 48' 00" W, ALONG AN OLD FENCE AND HEDGE ON THE NORTHEAST LINES OF SAID CAMPBELL TRACTS, 653.35 FT. TO THE POINT OF BEGINNING OF THE TRACT DESCRIBED HEREIN;

THENCE S 60° 00' 00" W, 973.55 FT. TO A POINT IN THE NORTHEAST LINE OF US HIGHWAY NO. 75;

THENCE N 22° 46' 00" W, ALONG THE NORTHEAST LINE OF SAID HIGHWAY, 227.85 FT.;

THENCE N 60° 00' 00" E, 953.54 FT. TO A POINT IN THE NORTHEAST LINE OF SAID CAMPBELL TRACT, THENCE S 27° 48' 00" E, ALONG THE NORTHEAST LINE OF SAID CAMPBELL TRACT, 226.21 FT. TO THE POINT OF BEGINNING AND CONTAINING 5.000 ACRES OF LAND.

SAID PROPERTY ALSO BEING DESCRIBED AS FOLLOWS:
BEING A 5.00 ACRE TRACT OF LAND SITUATED IN THE WILLIAM GATLIN 1,476.13 ACRE SURVEY, ABSTRACT NO. 499, DALLAS COUNTY, TEXAS, BEING ALL THAT CERTAIN TRACT OF LAND DESCRIBED IN DEED TO TOMMIE LOIS PHELPS, AS RECORDED IN INSTRUMENT NO. 201100189400, DEED RECORDS OF DALLAS COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A FOUND 1/2-INCH IRON ROD AT THE WEST CORNER OF SAID PHELPS TRACT AND THE SOUTH CORNER OF THAT CERTAIN TRACT OF LAND DESCRIBED IN DEED TO LKQ AUTO PARTS OF NORTH TEXAS, L.P., AS RECORDED IN VOLUME 2004035, PAGE 3224, SAID DEED RECORDS, SAID IRON ROD BEING ON THE NORTHEAST LINE OF INTERSTATE 45 S.;

THENCE NORTH 60° 00' 00" EAST, A DISTANCE OF 953.54 FEET ALONG THE COMMON LINE OF SAID PHELPS AND LKQ TRACTS TO A POINT FROM WHICH A FOUND 1/2-INCH IRON ROD BEARS NORTH 81° 01' 12" EAST, A DISTANCE OF 0.64 OF ONE FOOT, SAID POINT BEING THE NORTH CORNER OF SAID PHELPS TRACT AND THE EAST CORNER OF SAID LKQ TRACT, AND BEING ON THE SOUTHWEST LINE OF THAT CERTAIN TRACT OF LAND DESCRIBED IN DEED TO COVENANT TRANSPORT, INC., AS RECORDED IN VOLUME 2003078, PAGE 12512, SAID DEED RECORDS;

THENCE SOUTH 27° 48' 00" WEST, A DISTANCE OF 226.21 FEET ALONG THE COMMON LINE OF SAID PHELPS AND COVENANT TRANSPORT TRACTS TO A SET 1/2-INCH IRON ROD AT THE EAST CORNER OF SAID PHELPS TRACT AND THE NORTH CORNER OF THAT CERTAIN TRACT OF LAND DESCRIBED IN DEED TO LKQ AUTO PARTS OF NORTH TEXAS, L.P., AS RECORDED IN INSTRUMENT NO. 200600189049, SAID DEED RECORDS;

THENCE SOUTH 60° 00' 00" WEST, A DISTANCE OF 973.55 FEET ALONG THE COMMON LINE OF SAID PHELPS AND LKQ (200600189049) TRACTS TO A UTILITY POLE AT THE SOUTH CORNER OF SAID PHELPS TRACT AND THE WEST CORNER OF SAID LKQ TRACT (200600189049), SAID POLE BEING ON THE AFORESAID NORTHEAST LINE OF INTERSTATE 45 S.;

THENCE NORTH 22° 46' 00" WEST (BASIS OF BEARING FROM AFORESAID DEED 201100190400), A DISTANCE OF 227.85 FEET ALONG SAID NORTHEAST LINE TO THE POINT OF BEGINNING AND CONTAINING 217.797 SQUARE FEET OR 5.00 ACRES OF LAND.

TRACT 2:
BEING A TRACT OF LAND SITUATED IN THE WILLIAM GATLIN SURVEY, ABSTRACT NO. 499, DALLAS COUNTY, TEXAS AND BEING A TRACT OF LAND CONVEYED TO T. S. MILLER, LTD., RECORDED IN VOLUME 98237, PAGE 6044, DEED RECORDS, DALLAS COUNTY, TEXAS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 1/2 INCH IRON ROD FOUND FOR THE SOUTHWEST CORNER OF SAID MILLER TRACT, SAID POINT BEING ON THE NORTHEAST LINE OF S. INTERSTATE 45 (300' R.O.W.), SAID POINT BEING N 22°46'00" W 891.33 FT. FROM THE NORTHWEST CORNER OF MILTON TRUCK LINE ADDITION, AN ADDITION TO THE CITY OF HUTCHINS RECORDED IN VOLUME 93117, PAGE 1437, MAP RECORDS, DALLAS COUNTY, TEXAS;

THENCE N 22°46'00" W, ALONG THE NORTHEAST LINE OF SAID S. INTERSTATE 45, A DISTANCE OF 490.64 FT. TO A 3/4 INCH IRON ROD FOUND FOR THE NORTHWEST CORNER OF SAID MILLER TRACT.

THENCE N 89°40'00" E, LEAVING THE NORTHEAST LINE OF SAID S. INTERSTATE 45 AND ALONG THE NORTH LINE OF SAID MILLER TRACT, A DISTANCE OF 910.50 FT. TO A 1/2 INCH IRON ROD SET FOR THE NORTHEAST CORNER OF SAID MILLER TRACT.

THENCE S 27°48'00" E, ALONG THE EAST LINE OF SAID MILLER TRACT, A DISTANCE OF 494.49 FT. TO A 1/2 INCH IRON ROD SET FOR THE SOUTHEAST CORNER OF SAID MILLER TRACT;

THENCE S 60°07'33" W, ALONG THE SOUTH LINE OF SAID MILLER TRACT, A DISTANCE OF 953.28 FT. TO THE POINT OF BEGINNING AND CONTAINING 10.4903 ACRES (456, 956 SQ. FT.) OF LAND, MORE OR LESS.

TRACT 3:
BEING A TRACT OF 5.000 ACRES OF LAND IN THE WILLIAM GATLIN SURVEY ABST. NO. 499, DALLAS COUNTY, TEXAS, AND BEING PART OF A CERTAIN TRACT OF LAND AS DESCRIBED IN DEED TO T.F. CAMPBELL, RECORDED IN VOLUME L, PAGE 412 OF THE DEED RECORDS OF DALLAS COUNTY, TEXAS; AND SAID 5.000 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF A CERTAIN TRACT OF LAND DESCRIBED IN DEED TO T.F. CAMPBELL IN VOLUME O, PAGE 321, DEED RECORDS, DALLAS COUNTY, TEXAS, A FENCE CORNER;

THENCE NORTH 27 DEGREES 48 MINUTES WEST, ALONG THE NORTHEAST LINE OF SAID CAMPBELL TRACTS, 431.69 FEET, TO THE POINT OF BEGINNING OF THE 5.000 ACRE TRACT DESCRIBED HEREIN;

THENCE SOUTH 60 DEGREES 00 MINUTES 00 SECONDS WEST, 993.15 FEET TO A POINT IN THE NORTHEAST LINE OF U.S. HIGHWAY NO. 75.

THENCE NORTH 22 DEGREES 46 MINUTES 00 SECONDS WEST, ALONG THE NORTHEAST LINE OF SAID HIGHWAY, 223.27 FEET;

THENCE NORTH 60 DEGREES 00 MINUTES 00 SECONDS EAST, 973.55 FEET TO THE NORTHEAST LINE OF SAID CAMPBELL TRACT, 221.66 FEET TO THE POINT OF BEGINNING AND CONTAINING 5.000 ACRES OF LAND.

NOTE: COMPANY DOES NOT REPRESENT THAT THE ABOVE ACREAGE AND/OR SQUARE FOOTAGE CALCULATIONS ARE CORRECT.

TRACT 4:
BEING A TRACT OF LAND SITUATED IN THE THOMAS FREEMAN SURVEY, ABSTRACT NO. 453, AND THE WILLIAM GATLIN SURVEY, ABSTRACT NO. 499, AND SAID TRACT OF LAND BEING A PART OF TRACTS 1 AND 3 IN A WARRANTY DEED CONVEYED TO J.R. MARRIOTT AND B.O. MARRIOTT RECORDED IN VOLUME 85121, PAGE 5536, DEED RECORDS OF DALLAS COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND 1/2 INCH IRON ROD WITH ALBERT HALFF CAP AT THE SOUTHWEST CORNER OF SAID TRACT 3, SAID POINT BEING NORTH 60 DEGREES 45 MINUTES 34 SECONDS EAST, 69.56 FEET FROM A FOUND 3/4 INCH IRON ROD FOUND ON THE NORTHEAST LINE OF INTERSTATE HIGHWAY 45 (300 FOOT R.O.W.), SAID BEGINNING POINT ALSO BEING THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO D.R. TURNER, DATED 5/25/66, DEED RECORDS, DALLAS COUNTY, TEXAS;

THENCE NORTH 18 DEGREES 08 MINUTES 43 SECONDS WEST, (DEED-NORTH 18 DEGREES 52 MINUTES WEST), ALONG THE COMMON LINE OF SAID TRACT 3 AND SAID TURNER TRACT, A DISTANCE OF 188.28 FEET TO A POINT FOR CORNER IN THE CENTERLINE OF RAWLINS BRANCH;

THENCE ALONG THE CENTERLINE OF RAWLINS BRANCH THE FOLLOWING CALLS:
THENCE NORTH 80 DEGREES 50 MINUTES 15 SECONDS EAST, A DISTANCE OF 229.82 FEET TO A POINT FOR CORNER;
THENCE NORTH 11 DEGREES 59 MINUTES 48 SECONDS EAST, A DISTANCE OF 136.39 FEET TO A POINT FOR CORNER;
THENCE NORTH 16 DEGREES 44 MINUTES 04 SECONDS EAST, A DISTANCE OF 439.13 FEET TO A POINT FOR CORNER;
THENCE NORTH 38 DEGREES 27 MINUTES 41 SECONDS EAST, A DISTANCE OF 110.67 FEET TO A POINT FOR CORNER;
THENCE NORTH 3 DEGREES 54 MINUTES 23 SECONDS WEST, A DISTANCE OF 41.11 FEET TO A POINT FOR CORNER;
THENCE SOUTH 88 DEGREES 12 MINUTES 33 SECONDS EAST, A DISTANCE OF 91.86 FEET TO A POINT FOR CORNER;
THENCE SOUTH 75 DEGREES 38 MINUTES 29 SECONDS EAST, A DISTANCE OF 146.23 FEET TO A POINT FOR CORNER;
THENCE SOUTH 62 DEGREES 07 MINUTES 19 SECONDS EAST, A DISTANCE OF 167.86 FEET TO A POINT FOR CORNER ON A SOUTHEAST LINE OF SAID TRACT 1;

THENCE SOUTH 3 DEGREES 23 MINUTES 08 SECONDS WEST, (DEED-SOUTH 2 DEGREES 45 MINUTES WEST), LEAVING THE CENTERLINE OF SAID RAWLINS BRANCH AND ALONG A SOUTHEAST LINE OF SAID TRACT 1, A DISTANCE OF 395.10 FEET TO A FOUND THREADED IRON ROD FOR THE SOUTHEAST CORNER OF SAID TRACT 1, SAID POINT ALSO BEING ON THE NORTHEAST LINE OF SAID MILLER TRACT;

THENCE SOUTH 62 DEGREES 44 MINUTES 54 SECONDS WEST, ALONG THE COMMON LINE OF SAID TRACTS 1 AND 3 WITH SAID MILLER TRACT, A DISTANCE OF 840.96 FEET (DEED-848.00 FEET), TO THE POINT OF BEGINNING AND CONTAINING 7.8516 ACRES (342,016 SQUARE FEET) OF LAND, MORE OR LESS.

The lands surveyed, shown and described hereon are the same lands as described in the Title Commitment provided by First American Title Insurance Company, Commitment No. 23-1550-TX, Dated November 21, 2023.

FLOOD NOTE

Pursuant to Table A Item 3, Said described property is, by graphical plotting only, located within an area having a Zone Designation "X", "AE", & "Floodway" by FEMA, on Flood Insurance Rate Map No. 48113C0514L, dated 7/7/2014, and is in a special flood hazard area. No field surveying was performed to determine this zone.

PROJECT REVISION RECORD

DATE	DESCRIPTION	DATE	DESCRIPTION
02/08/2024	FIRST DRAFT		
02/16/2024	NETWORK COMMENTS		
02/21/2024	ZONING		
FIELD WORK:	DRAFTED: BT	CHECKED BY: TD	FB & PG.

SIGNIFICANT OBSERVATIONS

No significant observations were made at the time of the survey.

LEGAL

THIS SURVEY WAS PREPARED FOR THE PURPOSE OF THIS REAL ESTATE TRANSACTION ONLY AND NO FURTHER PARTIES OTHER THAN THOSE CERTIFIED ABOVE SHALL RELY ON IT FOR ANY OTHER PURPOSE OR TRANSACTION

ALTA/NSPS LAND TITLE SURVEY

for
Alterra - Hutchins
NV5 Project No. 202304488-001

904, 1080, 1300 & 1310 S. Interstate 45 Service Road, Hutchins, TX 75141

Based upon Title Commitment No. 23-1550-TX
of First American Title Insurance Company
Bearing an effective date of November 21, 2023

Surveyor's Certification

To: First American Title Insurance Company; and Bock & Clark Corporation, an NV5 Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10, 13, 14, 16, 17, 18 and 19 of Table A thereof. The field work was completed on 2/6/2024.

This survey substantially complies with the current Texas Society of Professional Surveyors Manual of Practice requirements for a Category 1A, Condition 3, Land Title Survey.

PRELIMINARY

Troy Dee
Registration No. 6904
In the State of Texas
Date of survey: February 8, 2024
Date of last revision: February 21, 2024
Network Project No. 202304488-001-RLS

Golden Job No: 241181



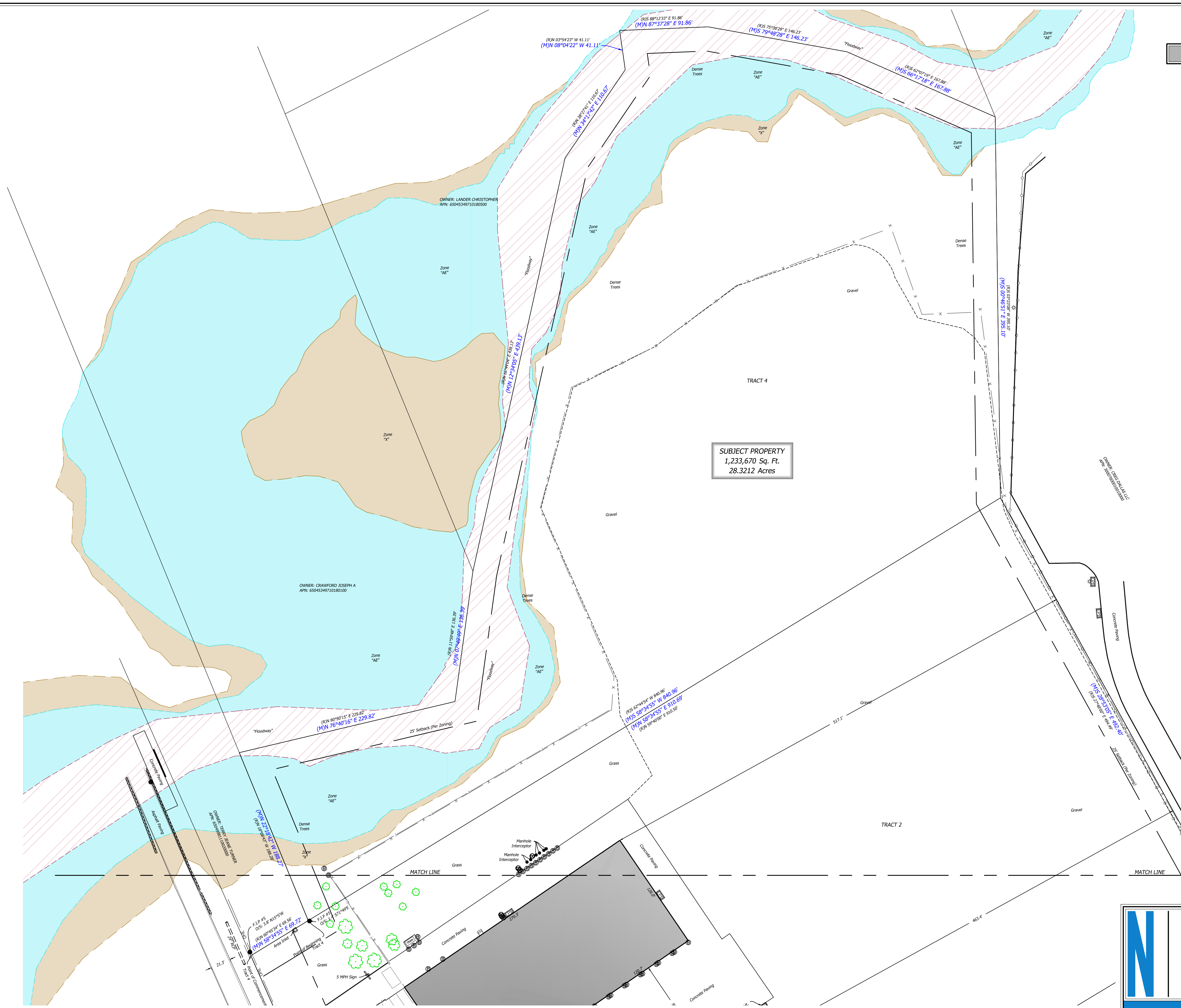
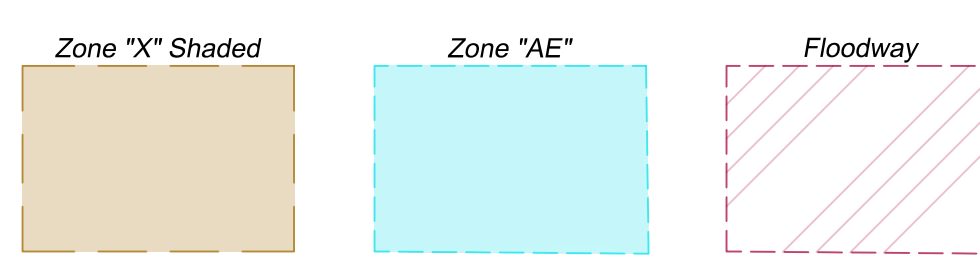
Bock & Clark Corporation
an NV5 Company



Transaction Services 1-800-SURVEYS (787-8397)
3550 W. Market Street, Suite 200, Akron, Ohio 44333
www.BockandClark.com mayhelpyou@bockandclark.com www.NV5.com

LEGEND OF SYMBOLS & ABBREVIATIONS

- ☉ POWER POLE
- ☼ LIGHT POLE
- ⊕ GUY ANCHOR
- ⊞ ELECTRIC METER
- ⊞ ELECTRIC BOX
- ⊞ ELEC. TRANSFORMER
- ⊞ ELEC. MANHOLE
- ⊞ ELEC. PEDESTAL
- ⊞ ELEC. PULL BOX
- ⊞ SPOT LIGHT
- ⊞ SANITARY SEWER MANHOLE
- ⊞ SANITARY SEWER CLEANOUT
- ⊞ STORM SEWER MANHOLE
- ⊞ TELEPHONE MARKER
- ⊞ TELEPHONE RISER
- ⊞ TELEPHONE MANHOLE
- ⊞ TELEPHONE PULL BOX
- ⊞ CABLE TV PEDESTAL
- ⊞ CABLE TV MARKER
- ⊞ CABLE TV PULL BOX
- ⊞ FIBER OPTIC MARKER
- ⊞ IRRIGATION CONTROL VALVE
- ⊞ SPRINKLER HEAD
- ⊞ BOLLARD
- ⊞ FIRE DEPARTMENT CONNECT
- ⊞ PROpane TANK
- ⊞ W WATER LINE
- ⊞ G GAS LINE
- ⊞ SS SANITARY SEWER LINE
- ⊞ T TELEPHONE LINE
- ⊞ E ELECTRIC LINE
- ⊞ OHE OVERHEAD POWERLINE
- ⊞ X BARBED WIRE FENCE
- ⊞ IRON FENCE
- S.I.P.-SET IRON PIN
- F.I.P.-FOUND IRON PIN
- B.L.L.-BUILDING LIMIT LINE
- ⊞ GAS METER
- ⊞ GAS VALVE
- ⊞ GAS MARKER
- ⊞ OIL PIPELINE MARKER
- ⊞ SIGN
- ⊞ FIRE HYDRANT
- ⊞ WATER MANHOLE
- ⊞ WATER VALVE
- ⊞ WATER METER
- ⊞ DOWN SPOUT
- ⊞ AIR CONDITIONER
- ⊞ TRAFFIC SIGNAL
- ⊞ TRAFFIC SIGNAL BOX
- ⊞ PEDESTRIAN CROSSING SIGNAL
- ⊞ GREASE TRAP
- ⊞ MAIL BOX
- ⊞ FLAG POLE
- ⊞ SECTION CORNER
- ⊞ QUARTER CORNER
- ⊞ SET IRON PIN W/CAP
- ⊞ SET MAG NAIL W/WASHER
- ⊞ FOUND MONUMENT
- ⊞ RIGHT OF WAY MARKER
- ⊞ TREE
- ⊞ BUSH
- ⊞ YARD HYDRANT/SPICKET
- ⊞ BENCHMARK
- FO FIBER OPTIC LINE
- PROPERTY LINE
- LOT LINE
- EASEMENT LINE
- SECTION LINE
- CHAIN LINK FENCE
- WOOD PANEL FENCE
- GUARD RAIL
- CGMP-CORRUGATED METAL PIPE
- RCP-REINFORCED CONCRETE PIPE
- LIE-UTILITY EASEMENT



NV5 ALTA/NSPS LAND TITLE SURVEY
 PREPARED FOR
Alterra - Hutchins
 DATE OF FIELD SURVEY: 2/6/2024
 NETWORK PROJECT NUMBER: 202304488-001-RLS
1-(800)-SURVEYS (787-8397)
 TRANSACTION SERVICES
 www.bockandclark.com maynehelppyou@bockandclark.com www.NV5.com

City of Hutchins, TX
Thursday, April 2, 2026

Exhibit 14A. Zoning Ordinance

Part V. DEVELOPMENT STANDARDS

§ 33. OFF-STREET PARKING AND LOADING REQUIREMENTS.

33.1 PURPOSE:

To secure safety from fire, panic, and other dangers; to lessen congestion on public streets; to facilitate the adequate provision of transportation; to conserve the value of buildings; and to encourage the most appropriate use of land. Minimum off-street parking and loading shall be provided as set forth in the following schedules and provisions.

33.2 RESIDENTIAL DISTRICTS – SPECIAL OFF-STREET PARKING PROVISIONS:

A. Definitions.

The following definitions shall apply as used in this Section:

Approved connection shall mean the driving surface located between a residential structure's driveway, alley or street and an improved or limited parking surface.

Concrete pavers shall mean interlocking concrete paving stones at least two inches (2") thick on a base consisting of a layer of bedding sand over a minimum four inches (4") of compacted crushed stone, cement treated base, or soil cement base. The space in between concrete pavers shall be free of grass.

Driveway shall mean an improved or limited parking surface which provides egress and ingress between a residential structure and an adjacent street or alley and which is connected to a street or alley by a driveway approach.

Front yard shall mean that portion of a residential lot between the street and the residential structure face of a single-family, duplex, triplex, or four plex structures.

Improved parking surface shall mean:

- a. Reinforced concrete as approved by the City; or
- b. Concrete pavers.

Runners, as defined herein, are not improved parking surface.

Limited parking surface shall mean:

- a. Reinforced concrete as approved by the City; or
- b. Concrete pavers.

Runners shall mean a parking surface consisting of reinforced concrete, concrete pavers or limited parking surface located only under the wheels of a vehicle and an unimproved area under the body of the vehicle.

Notice has been given when written notification of a violation, in a form specified by the City:

XA

- a. Is delivered in person to an owner, occupant, or person in charge of the property;
 - b. Is affixed to the front door of the property; or
 - c. Two (2) days after the written notification is deposited with the U.S. Postal Service, addressed to the owner, occupant, or person in charge of the property, with proper postage affixed.
- B. Required off-street parking shall be provided on the same site as the use it is to serve.
- C. All driveways and approaches to parking spaces shall be similarly paved, except in the A district.
- D. No required parking space, garage, carport, or other automobile storage space shall be used for the storage of any heavy load vehicle (see definitions for heavy load vehicle).
- E. A minimum of two (2) off-street parking spaces shall be provided for all single-family and duplex dwelling units on the same lot as the main structure.
- F. Parking on unimproved surfaces prohibited.
- 1. A person commits an offense if, within a residential district the person causes, suffers, permits, or allows the parking of any motor vehicle or trailer upon any surface other than:
 - a. Limited parking surface in a residential rear yard; or
 - b. Improved parking surface elsewhere.
 - 2. Based on the evidence of damage to the soil structure or existing vegetation due to the traversing of vehicles to and from a limited or improved parking surface, the City may require the installation of an approved connection as necessary to mitigate standing water and vector harborage.
 - 3. It is an affirmative defense to prosecution under this subsection if:
 - a. The yard is on property which is used for agricultural purposes or zoned agricultural; or
 - b. All of the following conditions exist:
 - i. The home was built on or before January 1, 1980;
 - ii. The surface parked upon was part of the original driveway when the home was built; and
 - iii. The surface parked upon is limited parking surface and was originally composed of gravel, asphalt or macadam when the home was built.
- G. Excessive driveway prohibited.
- 1. A person commits an offense if, within a residential district the person causes, suffers, permits or allows a driveway to cover more than thirty-five percent (35%) of a front or rear yard. A limited or improved surface constitutes a driveway for purposes of determining the coverage under this section unless the surface is physically detached from any point of egress or ingress to an adjacent street or alley and is permanently incapable of providing a parking space for a vehicle.
 - 2. It is an affirmative defense to prosecution under this subsection that:
 - a. A driveway is a circular drive connecting to a street or alley by at least two (2) driveway approaches, and covers no more than thirty-five percent (35%) of the yard; or
 - b. A driveway is within a residential front yard and parking is prohibited or restricted by ordinance on that portion of the street abutting the yard, and the driveway covers no more than thirty-five percent (35%) of the yard.
- H. Abatement and appeal.
- 1. In the event that is the City determines that a motor vehicle or trailer is parked on any surface, violation of the provisions of this section, the owner, occupant, or person in charge of the

property shall correct the violation:

- a. After notice is given for a violation in a front yard or a violation visible from a public right-of-way; or
 - b. Within ten (10) days after notice is given for a violation elsewhere on the property.
2. In the event that it is determined that a violation of the provisions of this section exist on a property, the owner, occupant, or person in charge of the property may appeal such determination to the City by filing a request in writing for a hearing with the City within thirty (30) days after notice is first given. Pending on an appeal does not excuse correction of the violation as required in subsection (G)(1) above.
- I. Jurisdiction on appeal. In the event of an appeal, the order of the City shall be reviewed by the Zoning Board of Adjustment (ZBA). In reviewing such order, the ZBA has jurisdiction to:
- 1. Uphold the determination of the City;
 - 2. Approve alternative paving materials where such materials are demonstrated to meet or exceed the requirements of this section; or
 - 3. Grant a variance, to a requirement under this section where it is determined that, due to peculiarities of the property, such as shape or restricted area, literal enforcement of this section would result in an unnecessary hardship.
- J. Permit required. A permit shall be required to construct any parking surface improvement. Application for a permit to improve parking surface shall be made to the Building Inspection Department on a form acceptable to the City.

33.3 NONRESIDENTIAL AND MF DISTRICTS – SPECIAL OFF-STREET PARKING PROVISIONS:

- A. To prevent nuisance situations, all parking area lighting shall be designed and operated so as not to reflect or shine on adjacent properties and in accordance with the standards established in Section 39.
- B. For safety and fire-fighting purposes, free access through to adjacent nonresidential parking areas shall be provided in accordance with Section 33.9 (Fire Lanes).
- C. All off-street parking, maneuvering, loading and vehicle storage areas shall be paved with an all-weather surface (i.e., no parking shall be permitted on grass, within landscaped areas, on gravel, or on other unimproved surfaces), which shall be concrete and shall be constructed to standards established by the City Engineer. All maneuvering areas for parking and loading shall be on site (i.e., shall not occur within public right-of-way or on adjacent property without a platted/recorded access easement granting such access on adjacent property).

Parking spaces shall be permanently and clearly identified by stripes, buttons, tiles, curbs, barriers, or other approved methods. Nonpermanent type marking, such as paint, shall be regularly maintained to ensure continuous clear identification of the space.
- D. Each standard off-street surface parking space size shall be in accordance with the design standards as shown on Illustration 10 for space size and design. Specific parking space sizes, exclusive of aisles, driveways and maneuvering areas shall be in accordance with the following minimum sizes:
 - 1. Standard: Nine feet (9') by twenty feet (20'); the paved depth of parking spaces may be reduced to eighteen feet (18') if a clear, unobstructed two-foot (2') bumper overhang (i.e., over landscaped area or over a minimum 6-foot wide sidewalk area) is provided in addition to the 18-foot paved parking space.
 - 2. Parallel: Eight feet (8') by twenty-two feet (22')
- E. All parking and loading spaces, and vehicle sales areas on private property shall have a vehicle stopping device (e.g., curb, wheel stop, etc.) installed so as to prevent parking of motor vehicles in any required landscaped areas, to prevent vehicles from hitting buildings, to protect public and private utility structures/facilities, and to prevent parked vehicles from overhanging a public right way line, public sidewalk, or adjacent private property. An extra-wide sidewalk on private property may be permitted so as to allow encroachment of vehicle overhang while maintaining an

unobstructed four-foot (4') minimum sidewalk width. The requirement shall apply only when the parking spaces are adjacent to the walks, right-of-way, and required landscaping. Parking shall not be permitted to encroach upon the public right-of-way in any case. For new construction only, all vehicle maneuvering shall take place on site. No public right-of-way shall be used for backing or maneuvering into or from a parking space, or for circulation within the parking lot.

- F. In all nonresidential and multifamily zoning districts, the perimeter of all parking lots and driveways shall be provided with concrete curbs or other means to control traffic.
- G. Refuse storage containers (i.e., dumpsters) placed in a parking lot shall not be located in a designated parking or loading space. Each refuse container shall be located so as to facilitate pickup by refuse collection agencies with the general flow of on-site vehicular traffic and with minimal backing movements. Access and approaches to a refuse container shall be entirely on the lot it serves, and shall not be from adjacent property unless an irrevocable, platted/recorded access easement is secured granting use of adjacent property for such purpose.
- H. Handicap parking space(s) shall be provided according to building codes, State laws, and requirements of the Americans with Disabilities Act (ADA).
- I. In all nonresidential and multifamily zoning categories, designated parking and loading areas shall not be used for the repair, storage, dismantling or servicing (except for normal maintenance of a private vehicle) of vehicles or equipment, or for the storage of materials or supplies, or for any other use in conflict with the designated parking and loading areas (i.e., advertising or open storage of raw materials).
- J. To ensure that all requirements set forth in this Section are carried forward, it will be the responsibility of the owner of the parking area to adequately maintain the facility. All off-street parking areas shall be kept free of trash, debris, vehicle repair operation or display and advertising uses. At no time after initial approval of the parking area layout can changes be made in the location and number of provided spaces without approval of the City Administrator, or his/her designee.
- K. Off-street stacking requirements for drive-through facilities:
1. A stacking space shall be an area on a site measuring nine feet (9') by twenty feet (20') with direct forward access to a service window or station of a drive-through facility which does not constitute space for any other circulation driveway, parking space, or maneuvering area. An escape lane, of at least nine feet (9') in width and with negotiable geometric design, must be provided to allow vehicles to get out of the stacking lane in the event of a stalled vehicle, emergency, accidental entry, etc. In computing the number of stacking spaces for a particular use and where fractional spaces result, the stacking spaces required shall be construed to be the next higher whole number (i.e., "rounded up").
 2. For each service window of a drive-through restaurant, a minimum of six (6) spaces shall be provided for the first vehicle stop (usually the menu/order board), and two (2) spaces shall be provided for each additional vehicle stop (order/pick-up windows, etc.). One escape lane shall be provided from the beginning of the stacking lane to the first stop (e.g., menu/order board).
 3. For retail operations (other than restaurants, banks, etc.) and kiosks that provide drive-up service (e.g., pharmacy, dry cleaners, etc.), a minimum of three (3) stacking spaces for each service window shall be provided.
 4. For a full-service carwash, each vacuum or gas pump lane shall be provided with a minimum of three (3) stacking spaces. For the finish/drying area, adequate vehicle stacking and storage space must be provided to keep finished vehicles out of circulation aisles, access easements, fire lanes, streets, etc.
 5. For each automated self-service (drive-through/rollover) carwash bay, a minimum of two (2) stacking spaces, in addition to the wash bay itself, shall be provided. One stacking space shall be provided at the exit end of each wash bay for window-drying and other detailing.
 6. For each wand-type self-service (open) carwash bay, a minimum of two (2) stacking spaces in addition to the wash bay itself, shall be provided. One stacking space shall be provided at the exit end of each wash bay for window-drying and other detailing, unless a separate area/shade structure is provided (outside of circulation aisles) for these activities.

7. For automobile quick-lube type facilities, a minimum of two (2) stacking spaces shall be provided for each service bay in addition to the service bay(s) itself. Section E, Item 2.
8. For financial institutions with drive-through facilities, each teller window or station, human or mechanical, shall be provided with a minimum of four (4) stacking spaces. One escape lane shall be provided.
9. Kindergartens, elementary schools, day care facilities, and similar types of facilities shall provide pick-up/drop-off areas that are not located in main traffic circulation aisles or in fire lanes. Stacking requirements for such facilities shall be a minimum of three (3) stacking spaces, plus one (1) stacking space for each ten (10) students/children (based upon the maximum occupancy/enrollment of the facility) over thirty (30) students/children.

33.4 PARKING ACCESS FROM A PUBLIC STREET – ALL DISTRICTS:

- A. In the approval of a detailed Site Plan, design consideration shall be given to providing entrance/exit drives which extend into the site to provide adequate queuing of vehicles on the site.
- B. In all districts (except single-family and duplex zoning districts) building plans shall provide for entrance/exit drive(s) appropriately designed and located to minimize traffic congestion or conflict within the site and with adjoining public streets as approved by the City Administrator, or his/her designee.
1. Based upon a traffic impact analysis (if such is required by the City), if projected volumes of traffic entering or leaving a development are likely to interfere with the projected peak traffic flow volumes on adjoining streets, additional right-of-way and paving in the form of a deceleration lane or turn lane may be required of a developer in order to reduce such interference.
 2. The determination of additional right-of-way or paving requirements shall be made at the time the final site plan is submitted for approval.
- C. Vehicular access to nonresidential uses shall not be permitted from alleys serving residential areas, and shall not be configured as "head-in" parking spaces which are accessed directly from the street.
- D. Parking space configuration, location, arrangement, size and circulation in all districts shall be constructed according to Illustration 10.

33.5 PARKING REQUIREMENTS BASED UPON USE:

- A. In all districts, there shall be provided at the time any building or structure is erected or structurally altered, or change of use, off-street parking spaces in accordance with the following requirements:
1. Automobile parts sales (indoors): One (1) space per two hundred (200) square feet of indoor floor area
 2. Automobile sales or service: See Motor-Vehicle Sales
 3. Bank, savings and loan, or similar institution: One (1) space per two hundred and fifty (250) square feet of gross floor area in addition to required stacking spaces (see Subsection 33.3 K.)
 4. Bed and breakfast facility: One (1) space per guest room in addition to the requirements for a normal residential use
 5. Bowling alley or center: Six (6) parking spaces for each alley or lane
 6. Bus or truck repair, storage area, or garage: One (1) space for each five hundred (500) square feet of floor area and repair garage with a minimum of five (5) spaces. For buildings over 5,000 square feet in size, one 10' x 60' truck parking space shall also be required for each 500 square feet of building area over 5,000 square feet.
 7. Business or professional office (general): Five (5) spaces, or one (1) space per three hundred (300) square feet of gross floor area (except as otherwise specified herein), whichever is greater
 8. Carwash (self-serve): One (1) space per washing bay or stall in addition to the washing areas/stalls themselves and required stacking spaces; Carwash (full service): One (1) space per 7A

one hundred fifty (150) square feet of floor area in addition to the required stacking space (see Subsection 33.3 K.)

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9. Church, rectory, or other place of worship: One (1) parking space for each three (3) seats in the main auditorium/sanctuary (see Subsection 33.6(B))
10. College or university: One (1) space per three (3) day students (based upon maximum occupancy and/or enrollment numbers)
11. Commercial amusement (indoor): One (1) space per one-hundred (100) square feet of gross floor area, or as follows:
 - a. Racquetball or handball courts - Three (3) spaces for each court
 - b. Indoor tennis courts - Six (6) spaces for each court
 - c. Gymnasium, skating rinks, and martial arts schools - One (1) space for each three (3) seats at a maximum seating capacity (based upon maximum occupancy), plus one (1) space for each two hundred (200) square feet
 - d. Swimming pool - One (1) space for each one hundred (100) square feet of gross water surface and deck area
 - e. Weight lifting or exercise areas - One (1) space for each one hundred (100) square feet
 - f. Indoor jogging or running tracks - One (1) space for each one hundred (100) linear feet
 - g. Motion picture theaters (which do not include live performances): a) one (1) space per three and one-half (3 1/2) seats for single-screen theaters; b) one (1) space per five (5) seats for motion picture theaters with two (2) or more screens (see Subsection 33.6(B))
 - h. Amusement center - One (1) space for each game table and one (1) space for each amusement device
 - i. Health club, health spa or exercise club - One (1) space per one hundred fifty (150) square feet of floor area
 - j. All areas for subsidiary uses not listed above or in other parts of this Section (such as restaurants, office, etc.), shall be calculated in with the minimum specified for those individual uses
12. Commercial amusement (outdoor): Ten (10) spaces plus one (1) space for each five hundred (500) square feet over five thousand (5,000) square feet of building and recreational area
 - a. Golf course - Four (4) parking spaces per hole or green plus requirements for retail, office, and club house areas and one (1) space per each two (2) employees
 - b. Golf driving range - One and one-half (1 1/2) spaces for each driving tee
13. Commercial use: One (1) space per two hundred fifty (250) square feet of floor area
14. Community center, library, museum or art gallery: Ten (10) parking spaces plus one (1) additional space for each three hundred (300) square feet of floor area in excess of two thousand (2,000) square feet. If an auditorium is included as a part of the building, its floor area shall be deducted from the total and additional parking provided on the basis of one (1) space for each four (4) seats that it contains (see Subsection 33.6(B))
15. Convenience store (with gasoline pumps): One (1) space per two hundred (200) square feet of floor area, plus one (1) space for each gasoline pump unit (a unit may have up to six (6) nozzles for gasoline disbursement). Spaces within pump areas qualify as spaces for the parking requirement. If no gasoline sales are provided, then the parking requirements shall be the same as for a retail store. Adequate space shall be provided for waiting, stacking, and maneuvering automobiles for refueling. (See also Section 37.2(E))
16. Dance/aerobics studio, or assembly/exhibition hall without fixed seats: One (1) parking space for each one hundred (100) square feet of floor area thereof

- 17. Day nursery, day care center, kindergarten: One (1) space per ten (10) pupils (based upon maximum occupancy and/or licensing capacity), plus one (1) space per teacher, plus one (1) space for each bus or van stored on the property (and sized to accommodate the vehicle), plus required stacking spaces (see Subsection 33.3 K.)
- 18. Defensive driving school/class: One (1) space for each classroom seat (see Subsection 33.6(B))
- 19. Fraternity, sorority or dormitory: One (1) parking space for each two (2) beds on campus, and one and one-half (1 1/2) spaces for each two beds in off-campus projects
- 20. Furniture or appliance store, hardware store, wholesale establishments, clothing or shoe repair or service: Two (2) parking spaces plus one (1) additional parking space for each three hundred (300) square feet of floor area over one thousand (1,000) square feet
- 21. Gasoline station: One (1) space per two hundred (200) square feet of floor area, plus one (1) space for each gasoline pump unit (a unit may have up to six (6) nozzles for gasoline disbursement). Spaces within pump areas qualify as spaces for the parking requirement. Adequate space shall be provided for waiting, stacking, and maneuvering automobiles for refueling. (See also Section 37.2(E))
- 22. Hospital: One (1) space for each two (2) beds or examination room, whichever is applicable; plus one (1) space for every two (2) employees during periods of full occupancy.
- 23. Hotel or Motel: One (1) space per guest room, plus one (1) space per three (3) restaurant/lounge area seats (based upon maximum occupancy), plus one (1) space per one hundred twenty-five (125) square feet of meeting/conference areas.
- 24. Industrial uses: One (1) space for each one thousand (1,000) square feet of floor area (one space per 300 square feet for any office/administrative areas)
- 25. Institutions of a philanthropic nature: Ten (10) spaces plus one (1) space for each employee
- 26. Library or museum: Ten (10) spaces plus one (1) space for every three hundred (300) square feet
- 27. Lodge or fraternal organization: One (1) space per two hundred (200) square feet
- 28. Lumber yard/home improvement center: One (1) space per four hundred (400) square feet display area, plus one (1) space per one thousand (1,000) square feet of warehouse
- 29. Machinery or heavy equipment sales: One (1) space per five hundred (500) square feet of gross floor area
- 30. Manufactured/mobile home or manufactured/mobile home park: Two (2) spaces for each manufactured/mobile home unit
- 31. Manufacturing, processing or repairing: One (1) space for each two (2) employees or one (1) space for each one thousand (1,000) square feet of total floor area, whichever is greater
- 32. Medical or dental office: One (1) space per two hundred (200) square feet of floor area. Facilities over 20,000 square feet shall use the parking standards set forth for hospitals.
- 33. Mini-warehouse: Three (3) spaces per establishment if an office is located on site, plus two (2) spaces for an on-site manager's residence (if applicable), plus one (1) appropriately sized space for any type of vehicle to be stored on site (e.g., rental trucks, boats, RVs, etc.)
- 34. Mortuary or funeral home: One (1) parking space for each two hundred (200) square feet of floor space in slumber rooms, parlors or individual funeral service rooms, or one (1) space for each three (3) seats in the auditorium/sanctuary (see Subsection 33.6(B)), whichever is greater. Adequate on-site stacking spaces shall also be provided for the organization and forming of processions such that these activities do not cause excessive or extended traffic congestion/delays on a public roadway.
- 35. Motor-vehicle sales and new or used car lots: One (1) parking space for each five hundred (500) square feet of sales floor/office and other indoor uses, plus one (1) parking space for each one thousand (1,000) square feet of exterior lot area used for storage, sales and parking areas, plus

- one (1) parking space per repair bay in service areas (indoors or outdoors), plus one (1) space per service/towing vehicle to be stored on site (required parking spaces are in addition to those to be used for the storage/display of vehicles for sale/lease).
- 36. Nursing home, convalescent home, or home for the aged: One (1) space per six (6) beds; plus one (1) parking space for each three hundred (300) square feet of floor area devoted to offices, cafeterias, exercise/therapeutic rooms, and other similar ancillary uses; plus one (1) space for every two (2) employees at full occupancy.
- 37. Office (administrative or professional): One (1) space for each three hundred (300) square feet of floor area
- 38. Outdoor display: One (1) space for each six hundred (600) square feet of open sales/display area
- 39. Places of public assembly not listed: One (1) space for each three (3) seats provided (see Subsection 33.6(B))
- 40. Real estate office: One (1) space for each two hundred (200) square feet
- 41. Restaurant, private club, night club, cafe or similar recreation or amusement establishment: One (1) parking space for each one hundred (100) square feet of seating/waiting area, or one (1) space for every three (3) seats under maximum seating arrangement (i.e., occupancy), whichever is greater; required parking spaces are in addition to any stacking spaces that may be required for drive-through facilities (see Subsection 33.3 K.)
- 42. Retail or personal service establishment, except as otherwise specified herein: One (1) space per two hundred (200) square feet of gross floor area in addition to any required stacking spaces for drive-through facilities (see Subsection 33.3 K.)
- 43. Retirement housing for the elderly (independent living): One and one-half (1.5) spaces for each dwelling unit, plus any additional spaces for accessory retail, office, service or recreational uses
- 44. Rooming or boarding house: One (1) parking space for each sleeping room, plus one (1) parking space for each host resident or employee during maximum (i.e., peak) shift
- 45. Sanitarium or similar institution: One (1) parking space for each six (6) beds, plus one (1) parking space for every two (2) employees at maximum (i.e., peak) shift and full occupancy
- 46. School, elementary (grades K-6): One (1) parking space for each fifteen (15) students (design capacity)
- 47. School, secondary or middle (grades 7-8): One (1) parking space for each twelve (12) students (design capacity)
- 48. School, high school (grades 9-12): One space for each three (3) students, faculty and staff (design capacity)
- 49. Storage or warehousing: One (1) space for each two (2) employees or one (1) space for each one thousand (1,000) square feet of total floor area, whichever is greater
- 50. Telemarketing: One (1) space for each two hundred and fifty (250) square feet of floor space
- 51. Theater, indoor or outdoor (live performances), sports arena, stadium, gymnasium or auditorium (except school auditorium): One (1) parking space for each three (3) seats or bench seating spaces (see Subsection 33.6(B))
- 52. Truck stop/travel center: One (1) truck parking space for each ten thousand (10,000) square feet of site area, plus one (1) vehicle parking space per two hundred (200) square feet of retail/service building area (plus one space per one hundred square feet of restaurant/cafe floor area, if provided)
- 53. Veterinarian clinic: One (1) space per three hundred (300) square feet of gross floor space.
- 54. Wholesale type uses (no retail sales): One (1) space for five thousand (5,000) square feet of gross floor area.

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33.6 RULES FOR COMPUTING NUMBER OF PARKING SPACES:

In computing the number of parking spaces required for each of the above uses, the following rules shall govern:

- A. "Floor Area" shall mean the gross floor area of the specific use.
- B. "Seat" shall be interpreted as follows:
 - 1. For fixed (e.g., church pews, grandstands, benches, etc.) seating, one seat equals one and one-half (1.5) feet of length; and
 - 2. For flexible (e.g., folding chairs, etc.) seating areas, one seat equals eight (8) square feet of floor area occupied by such seating area. (includes aisles).
- C. For any type of use in Section 33.5 above in which the number of seats is used to compute the required number of parking spaces, the City Administrator (or his/her designee) may, at his/her discretion, make a determination that the parking requirement shall instead be determined by the maximum occupancy load for the building (as prescribed in the City's Building Code) at a rate of one (1) parking space required for every three (3) persons to be accommodated in the facility at maximum occupancy.
- D. Where fractional spaces result, the parking spaces required shall be construed to be the next higher whole number.
- E. The parking space requirements for a new or unlisted use not specifically mentioned herein shall be the same as required for a use of similar nature. If the proposed use is not similar to any of the uses listed herein, a determination shall be made by the City Administrator, or his/her designee, in accordance with the requirements for the most closely related use specified in this Section. In the event the applicant disagrees with this determination, then he/she may submit a request for determination by the Planning and Zoning Commission and City Council using the same process as provided in Section 32.1 (D) for classifying new and unlisted uses.
- F. Whenever a building or use is changed or enlarged in floor area, number of employees, number of dwelling units, seating capacity or otherwise, to create a need for an increase of ten percent (10%) or more in the number of existing parking spaces, such spaces shall be provided on the basis of the enlargement or change.
- G. For buildings which have mixed uses within the same structure (such as retail and office), the parking requirement shall be calculated for the most intensive use. In cases where the design of the interior of the structure is not practical for alteration, the parking requirement may be calculated for each use within a structure for buildings over 20,000 square feet.
- H. Shared parking may be allowed in the case of mixed uses (different buildings) under the following conditions. Up to fifty percent (50%) of the parking spaces required for a theater or other place of evening entertainment (after 6:00 p.m.), or for a church, may be provided and used jointly by banks, offices, and similar uses not normally open, used, or operated during evening hours. Shared parking must be on the same parking lot and within the same zoning district. Reduction due to shared parking shall be determined by the City Administrator, or his/her designee. To assure retention of the shared parking spaces, each property owner shall properly draw and execute a document expressing the same and shall file this agreement with the City of Hutchins.

33.7 LOCATION OF PARKING SPACES:

All parking spaces required herein shall be located on the same lot, and within one hundred fifty feet (150') in the case of nonresidential buildings/uses, and within the same zoning district, as the building or use served, except in the CBD district and as follows:

- A. Where an increase in the number of spaces is required by a change or enlargement of an existing use, or where such spaces are provided collectively or used jointly by two (2) or more buildings or establishments, the required additional spaces may be located not to exceed three hundred (300) feet from any nonresidential building served.
- B. In any case where the required parking spaces are not located on the same lot with the building use served, or where such spaces are collectively or jointly provided and used, approval by the ^{XA}

Planning and Zoning Commission and City Council is required according to the following criteria:

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1. Off-site parking may be permitted on an immediately contiguous lot or tract, or on a lot or tract within one hundred fifty feet (150') of such building or structure providing:
 - a. That a permanent, irrevocable easement of the parking facilities in favor of the premises to be benefited shall be dedicated and recorded as a condition of such use, or
 - b. That a long-term Remote Parking Lease Agreement be provided upon approval by the City as a condition of such use.

33.8 USE OF REQUIRED PARKING SPACES, NONRESIDENTIAL DISTRICTS:

Required off-street parking and loading spaces shall be used only for these respective purposes and shall not be used for refuse containers, cart corrals, recycling kiosks, signs or sign support structures, telecommunications towers or support structures, storage or permanent display of boats, trailers, campers, motor vehicles or other goods, materials or products for sale, lease or rent.

33.9 FIRE LANES:

- A. Fire lanes shall be provided in all multifamily, single-family attached, manufactured home, and nonresidential developments. Fire lanes shall be a minimum width of twenty-four feet (24') of paving, and shall have a minimum inside turning radius at curves of twenty feet (20'), or as required by the Fire Code and/or the Fire Chief of the City of Hutchins. The minimum overhead vertical clearance over any portion of a fire lane shall be fourteen feet (14'), and the minimum 14-foot clearance shall be maintained for an additional horizontal distance of at least fifty feet (50') along the fire lane both before and after the overhead structure.

33.10 OFF-STREET LOADING SPACE – ALL DISTRICTS:

- A. All retail, commercial, industrial and service structures shall provide and maintain off-street facilities for receiving and loading merchandise, supplies and materials within a building or on the lot or tract. All drives and approaches shall provide adequate space and clearances to allow for the maneuvering of trucks off-street. Each site shall provide a designated on-site maneuvering area for trucks (see Illustration 2). Such off-street loading space may be adjacent to (but not any portion of) a public alley or private service drive, or it may consist of a truck berth within the structure. Such off-street loading space or truck berth shall consist of a minimum area of ten feet by sixty feet (10' x 60'), and such spaces or berths shall be provided in accordance with the following schedule:

Total Square Feet of Gross Floor Area in Structure	Minimum Required Spaces or Berths
0 to 10,000 square feet	None
10,001 to 50,000 square feet	1
50,001 to 100,000 square feet	2
100,001 to 200,000 square feet	3
Each additional 100,000 square feet	1 additional

- B. In all zoning districts except Heavy Industrial, loading docks or service/delivery entrances shall not be constructed facing any public street, and shall not be visible from any public street. In the Heavy Industrial district, loading docks or service/delivery entrances (which may include overhead rolling steel doors) may be constructed facing a public street if they are set back a minimum of seventy-five feet (75') from the right-of-way line of the street, and if they are visually screened from the roadway (using a "line of sight" which is measured from a vertical height of five feet (5') at the right-of-way line of the roadway). Screening shall be subject to the following standards:
 1. Screening shall be a brick/masonry wall not less than ten feet (10') in height.
 2. A living screen, or a living screen with berm, of equal height may be substituted upon approval (on the site plan) by the Planning and Zoning Commission and City Council. Living screen materials shall be in accordance with the City of Hutchins approved plant list (see Appendix A) or as may be otherwise approved by the Planning and Zoning Commission and City Council on the site plan.

3. Screening shall be provided for a linear distance equal to the length of the area where loading docks/service areas are exposed to the public street.

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- C. Loading docks for any establishment which customarily receives goods between the hours of 9:00 p.m. and 8:00 a.m. and is adjacent to a residential use or district shall be designed and constructed so as to enclose the loading operation on three sides, in order to reduce the effects of the noise of the operation on adjacent residences.
- D. Kindergartens, elementary schools, day schools, and similar child training and care establishments shall provide one (1) paved off-street pedestrian loading and unloading space for an automobile on a through, "circular" drive for each ten (10) students cared for (excluding child care in a residence). An additional lane shall also be required to allow passby or through traffic to move while automobiles waiting or parked to pick up children occupy loading/unloading areas.

33.11 [RESERVED]

33.12 CARPORTS:

- A. Any carport which may be permitted as prescribed by other Sections of this Ordinance shall be constructed of the same material as the main structure.
- B. A carport shall be constructed with a similar roof pitch and trim as the main structure.

(Ordinance 782 adopted 2/16/04; Ordinance 2014-0967 adopted 11/3/14; Ordinance 2018-1051 adopted 7/16/18)



- Chairwoman Dana Landry**
- Vice Chairman Freddie Chism**
- Secretary Lucille Hollis**
- Commission Member Felix Madrigal**
- Commission Member Guy Crawford**
- Commission Member Gary Jones**

Hutchins City Hall
400 N. JJ Lemmon Rd.
Hutchins, TX 75141
Cityofhutchinstx.gov

MINUTES
HUTCHINS ZONING BOARD OF ADJUSTMENTS
February 25, 2026
Regular Meeting – 6:00 P.M.

A meeting of the Zoning Board of Adjustments of the City of Hutchins was conducted on February 25, 2026, at 6:00 p.m.at the Hutchins City Hall Hutchins, Texas 75141.

A. CALL TO ORDER.

Vice Chairman Freddie Chism called the meeting to order at 6:03 p.m.
 Commissioner Crawford gave the invocation.
 The pledge of allegiance was performed.

Members Present:

Vice Chairman, Freddie Chism
 Commissioner, Lucille Hollis
 Commissioner, Felix Madrigal
 Commissioner, Guy Crawford
 Commissioner, Garry Jones

Members Absent:

Chair, Dana Landry

B. CITIZEN COMMENTS

No citizens' comments were made.

C. PRESENTATIONS

No presentations were given.

D. CONSENT AGENDA

No items on the consent agenda.

E. PUBLIC HEARINGS

- 1. Conduct a public hearing, discuss and consider a Variance request by Dylan Adame with Kimley Horn representing property owner Mack Prioleau to the City of Hutchins Code of Ordinances Chapter 14A Zoning Ordinance, Section 34.6 Minimum Landscaping Requirements for Nonresidential and Multifamily to allow the existing landscaping due to the widening of Wintergreen Road, for the property located West of South Main Street, East of Lancaster Hutchins Road, commonly addressed as 720 West Wintergreen Road.**

Public Hearing opened at 6:08PM. Blake presented the item to the board. Graeme Weaver with Bricktop Capital is the representative speaking for the GSI property regarding the Landscaping request. The hardship of Landscaping was presented due to the widening of Wintergreen Road. Public Hearing closed 6:42PM. Commissioner Crawford made a motion to approve the Variance request for Landscaping. Commissioner Jones seconded the motion to approve. Motion carried 4-1.

For: Freddie Chism, Lucille Hollis, Guy Crawford, Garry Jones
Against: Felix Madrigal

- 2. Conduct a public hearing, discuss and consider a Variance request by Dylan Adame with Kimley Horn representing property owner Mack Prioleau to the City of Hutchins Code of Ordinances Chapter 14A Zoning Ordinance Section 33.3 C. Nonresidential and MF Districts – Special Off-Street Parking Provisions to allow proposed driving lanes for trucks with the exception of unpaved areas intended for outdoor storage, for the property located West of South Main Street, East of Lancaster Hutchins Road, commonly addressed as 720 W Wintergreen Road.**

Public Hearing opened at 6:45. Graeme Weaver spoke in regard to the Off-Street Parking Variance request. Public Hearing closed at 6:58PM. Commissioner Crawford made a motion to approve the variance request. Commissioner Jones seconded the motion to approve. Motion carried 5-0.

- 3. Conduct a public hearing, discuss and consider a Variance request by Dylan Adame with Kimley Horn representing property owner Mack Prioleau to the City of Hutchins Code of Ordinances Chapter 14A Zoning Ordinance Section 33.9 A. Fire Lanes to allow existing driveways that do not meet the required minimum turning radius of 20', with the exception that one radius of each driveway does meet the minimum requirement, located West of South Main Street, East of Lancaster Hutchins Road, commonly addressed as 720 W Wintergreen Road**

Public Hearing opened at 7:00PM. Dylan Adame with Kimley-Horn presented to the board. Public Hearing closed at 7:03PM. Commissioner Crawford made a motion to approve the Variance Request. Commissioner Jones seconded the motion to approve. Motion carried 5-0.

For: Joseph Matthews, Tod Davis, James Spence, Don Pressler
Against:

F. REGULAR AGENDA

G. ITEMS OF COMMUNITY INTEREST

1. The items of community interest were read into the record.

H. ADJOURN

Commissioner Jones made a motion to adjourn. Commissioner Hollis seconded the motion Approved by a 5-0 roll call vote. The meeting was adjourned at 7:03 PM.

APPROVED:

Recording Secretary

Dana Landry
Chairwoman

Freddie Chism
Vice Chairman