



# HUERFANO COUNTY BUILDING AUTHORITY BOARD AGENDA

May 18, 2023 at 3:00 PM

Commissioners Meeting Room - 401 Main Street, Suite 309, Walsenburg, CO 81089

Office: 719-738-3000 ex 200 | Fax: 719-738-3996

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## 1. PLEDGE OF ALLEGIANCE

### a. Join by

Zoom: <https://us02web.zoom.us/j/83429735658?pwd=S2ZlSENWk0ZHR3Y0RkxBOEp3c2xGdz09>

Meeting ID: 834-2973-5658 | Passcode: 915234

## 2. PLEDGE OF ALLEGIANCE

## 3. ROLL CALL

## 4. MINUTES REVIEW

### a. Minutes

## 5. APPOINTMENTS

## 6. NEW BUSINESS

### a. Letter of Intent for potential HCBA Member-Bruce Allen

### b. Alternative Build Chenault-Barndominium

## 7. OLD BUSINESS

## 8. DISCUSSION

### a. 2021 Building Code Adoption

## 9. UPCOMING MEETINGS

## 10. ADJOURNMENT



## HUERFANO COUNTY BUILDING AUTHORITY BOARD MINUTES

April 20, 2023 at 3:00 PM

Commissioners Meeting Room - 401 Main Street, Suite 309, Walsenburg, CO 81089

Office: 719-738-3000 ex 200 | Fax: 719-738-3996

### 1. Join via

**Zoom:** <https://us02web.zoom.us/j/83429735658?pwd=S2ZlSENWk0ZHR3Y0RkxBOEp3c2xGdz09>

Meeting ID: 834-2973-5658 | Passcode: 915234

### 2. PLEDGE OF ALLEGIANCE

### 3. ROLL CALL

### 4. MINUTES REVIEW

#### a. Minutes from 4-14-2023

Motion made by Ryan Gies to approve the minutes, second by Mary Norby. Motion Passed Unanimously.

### 5. APPOINTMENTS

### 6. NEW BUSINESS

#### a. RC Concrete Kevin Chavez

Revocation of Contractor's License. License revoked then may appear in person to talk to the HCBA if he wants to appeal the decision. License will remain revoked until he comes into compliance and appear back in front of HCBA prior to allowing him to have his license renewed.

#### b. RB-23-044 David & Shelly Mitchell

23-044 David and Shelly Mitchell Alternative Build. Questions about mechanical room, water/space heating systems and pump for a cistern. Motion made by Ryan Gies and seconded by Ryan Sablich. Passed unanimously.

### 7. OLD BUSINESS

### 8. DISCUSSION

#### a. 2021 Building Codes

Joint Workshop set up with the Board of Review on May 4, 2023 at 10:00am.

b. Municode

Members learned how to access Municode and were able to access meeting information.

**9. ADJOURNMENT**

**10. UPCOMING MEETINGS**

Huerfano County Building and Code Enforcement  
401 Main Street, Suite 304  
Walsenburg, CO 81089

re: Letter of Intent

To Whom It May Concern:

This letter will confirm that I, Bruce E. Allen, a resident of Huerfano County, Colorado, is wanting to become a member of the Huerfano County Building Authority Board effective upon acceptance by the Board.

My contact information is:

Cell phone: 352-643-0362 or 850-227-4237

Email: [Ltcinf72@gmail.com](mailto:Ltcinf72@gmail.com)

(phys.): 2971 County Road 342  
(mailing): P.O. Box 1080  
Walsenburg, CO 81089

Sincerely,

Bruce E. Allen

Huerfano County  
Regional Building Authority Board  
400 Main Street, Suite B  
Walsenburg, Colorado 81089  
719-738-1220 ext. 103



**PROPERTY OWNER / BUILDER LIABILITY FORM**

The Huerfano County Regional Building Authority Board (HCRBA) allows for the issuing of building permits to property owners. Owners should carefully consider the liabilities and responsibilities they will be accepting under the HCRBA Contractor Licensing and Building Code Regulations.

By signing this document, the property owner understands and accepts the following:

1. It is the responsibility of the building permit applicant to ensure all subcontractors hold at a minimum a current Type "D" license approved by the HCRBA, with the exception of State Licensed Electricians, Plumbers, and Manufactured Home Set persons.  
**Failure to do this may result in the issuing of a Stop Work Order.**  
  
Please note: The Town of La Veta requires state licensed contractors to register with the Town before performing any work.
2. It is imperative that owners ascertain subcontractors have the required insurance in place to protect their investment. Please contact your insurance agent for guidance with this very important subject matter.
3. The property owner acting as a Permit Applicant is responsible for correcting all code deviations as required, including the work done by subcontractors.
4. It shall be the duty of the permit applicant to cause the work to remain accessible and exposed for inspection purposes. Neither the building official nor the jurisdiction shall be liable for expenses entailed in the removal or replacement of any material required to allow inspection.

Bryan D. Chevall  
Property Owner(s) Name (please print)

[Signature]  
Property Owner(s) Signature

9 May 2023  
Date

*Building Inspectors: File original form with project file. A copy should be provided to the property owner.*

Huerfano County Land Use Department  
400 Main Street, Suite B, Walsenburg, Colorado 81089  
Office: 719-738-1220, ext. 117  
To Request an Inspection: 719-738-1220, ext. 104



### BUILDING PERMIT APPLICATION

**PROPERTY OWNER'S INFORMATION:**

Name: Bryan D. Chevauit  
Mailing Address: 4529 Co. Rd. 660  
City, State, Zip: Rye, CO 81069  
Phone No. 1/2: 719-252-1752  
E-Mail Address: dchevauit@PDR.net

**CONTRACTOR'S INFORMATION:**

Name: Owner  
Mailing Address: \_\_\_\_\_  
City, State, Zip: \_\_\_\_\_  
Phone No. 1/2: /  
E-Mail Address: \_\_\_\_\_

**TYPE:**

- New construction
- Remodel
- Addition
- Demolition
- In kind replacement
- Extension of building permit

**OCCUPANCY:**

- Site built residential
- Manufactured residential
- Residential accessory building
- Commercial
- Agricultural
- Industrial

**INTENDED USE:**

- Single or multi family dwelling
- Residential garage
- Agricultural animal husbandry
- Commercial (give details in comments)
- Industrial (give details in comments)
- Storage (note stored materials in comments)

COMMENTS (OTHER / MISC): \_\_\_\_\_

HOA/POA has reviewed and approves of the proposed construction. HOA Representative: \_\_\_\_\_

THIS PROPERTY IS NOT LOCATED IN AN HOA / POA. APPLICANT'S SIGNATURE: \_\_\_\_\_

APPLICANT'S SIGNATURE: Bryan D. Chevauit

SUBMITTAL DATE: \_\_\_\_\_

**BELOW THIS LINE FOR USE BY BUILDING DEPARTMENT ONLY**

**GENERAL INFORMATION:**

Property Owner name: \_\_\_\_\_  
Subdivision / Sec, Tw, Rg: \_\_\_\_\_  
Lot & filing or ¼ section: \_\_\_\_\_  
County Schedule No: \_\_\_\_\_ Subdivision No: \_\_\_\_\_  
County Zoning District: \_\_\_\_\_ Region: \_\_\_\_\_  
Property Address: \_\_\_\_\_  
Nearest P.O.: \_\_\_\_\_

**OTHER REQUIRED PERMITS:**

- Conditional use
- Variance
- Temporary resident
- Temporary use
- H.B. 1041 Development
- Sanitation Permit
- Others: \_\_\_\_\_
- County road access
- H.B. 1041 Flood Plain
- Sign permit
- State electrical
- State plumbing
- Lot consolidation

| OCCUPANCY: | BUILDING SIZE:<br>(SQUARE FEET) | COST OF BUILDING<br>(PER SQUARE FEET) | VALUATION: |
|------------|---------------------------------|---------------------------------------|------------|
|            |                                 |                                       |            |
|            |                                 |                                       |            |
|            |                                 |                                       |            |
|            |                                 |                                       |            |

**BUILDING PERMIT FEES:**

Permit Fee: \_\_\_\_\_  
Plan Review Fee: \_\_\_\_\_  
TOTAL PERMIT FEE: \_\_\_\_\_

**PAYMENT OF FEES:**

COUNTY RECEIPT NO: \_\_\_\_\_ FEE MODIFIER: x 0.0115  
PERSONAL CHECK NO: \_\_\_\_\_ PERMIT FEE: \_\_\_\_\_

**APPROVAL:** \_\_\_\_\_

HUERFANO COUNTY BUILDING INSPECTOR DATE: \_\_\_\_\_

COUNTY BUILDING PERMIT NO:

PRIMARY OCCUPANCY CLASS:

TYPE OF CONSTRUCTION:

Huerfano County Land Use Department  
400 Main Street, Suite B, Walsenburg, Colorado 81089  
Office: 719-738-1220, ext. 117  
To Request an Inspection: 719-738-1220, ext. 104



### BUILDING PERMIT APPLICATION

**ZONING INFORMATION:**

ACREAGE: \_\_\_\_\_ ZONING: \_\_\_\_\_  
REQUIRED SETBACKS: FRONT \_\_\_\_\_ SIDE \_\_\_\_\_ REAR \_\_\_\_\_  
SFHA? \_\_\_\_\_ AIRPORT OVERLAY: \_\_\_\_\_ WITHIN 3 MILES OF CITY/TOWN? \_\_\_\_\_  
PRIMARY STRUCTURE? \_\_\_\_\_ TYPE: \_\_\_\_\_  
ACCESSORY STRUCTURE: \_\_\_\_\_ (EXISTING RESIDENCE OR PRIMARY STRUCTURE? YES OR NO)  
AG STRUCTURE? \_\_\_\_\_ CONSTRUCTION TYPE: \_\_\_\_\_  
EXEMPT? YES OR NO

**STAFF COMMENTS:**

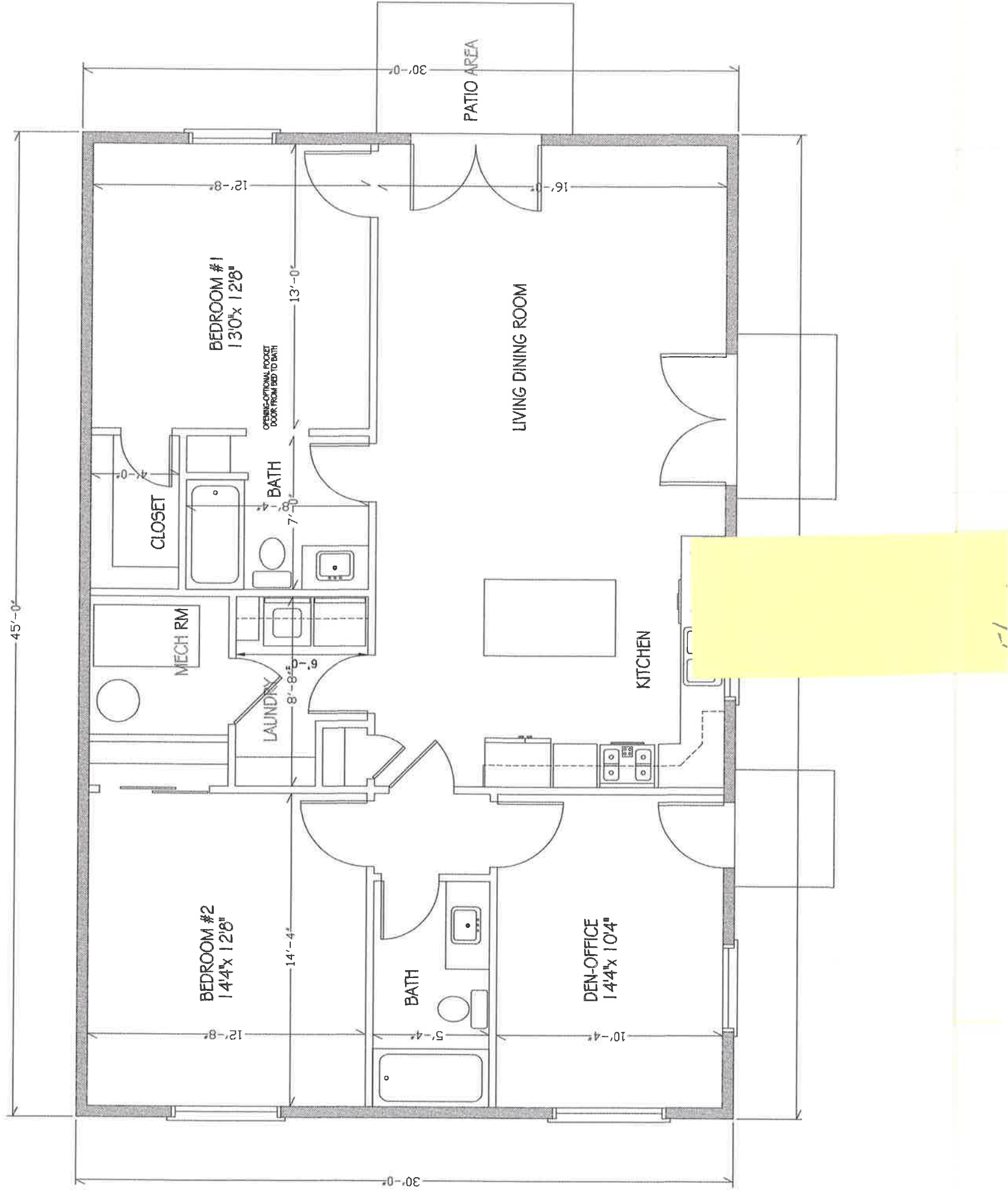
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

APPROVED \_\_\_\_\_

DENIED \_\_\_\_\_

\_\_\_\_\_  
STAFF SIGNATURE

\_\_\_\_\_  
DATE

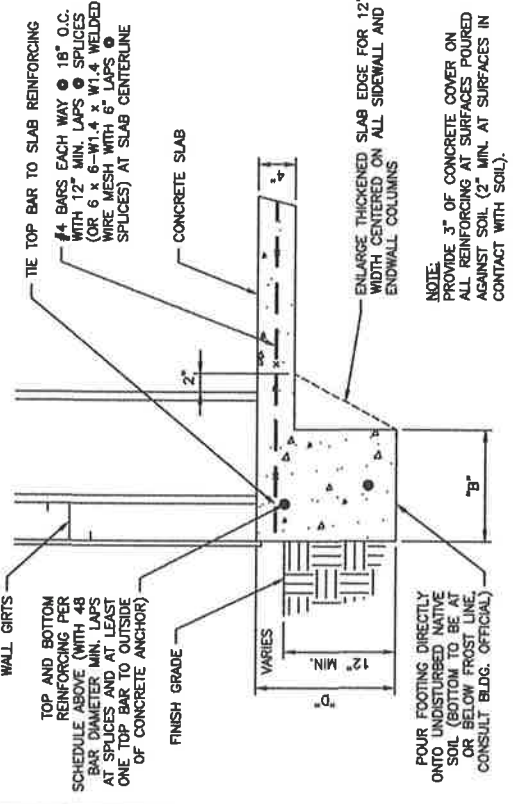




**ACTBUILDING SYSTEMS**  
 Structural Engineering by:  
 Metal Building Engineering, LLC  
 4629 County Rd 680  
 Rye, CO 81069  
 4629 County Rd 680  
 Rye, CO 81069  
 Bryan Chenuit  
 Bighorn Steel Buildings Inc.

| LOCATIONS | "B" | "D" | TOP REINF. | BOTTOM REINF. |
|-----------|-----|-----|------------|---------------|
| SIDEWALLS | 12" | 12" | (1)-#4     | (1)-#4        |
| ENDWALLS  | 12" | 12" | (1)-#4     | (1)-#4        |

\* NOTE: INSTALL TOP REINFORCING BAR AT A DISTANCE FROM EDGE OF SLAB EQUAL TO DEPTH OF WALL GIRTS.



NOTE:  
 PROVIDE 3" OF CONCRETE COVER ON ALL REINFORCING AT SURFACES POURED AGAINST SOIL (2" MIN. AT SURFACES IN CONTACT WITH SOIL).

NOTES:  
 1) SLAB REINFORCING SHOWN ABOVE IS SPECIFIED AS A METHOD OF CONTROLLING SHRINKAGE CRACKING AT THE SLAB SURFACE. CUSTOMER MAY CHOOSE ANOTHER METHOD OR REMOVE SLAB REINFORCING ALL TOGETHER, BUT CUSTOMER WILL ASSUME ALL RESPONSIBILITY FOR THE PERFORMANCE OF THE SLAB. IF ANY OTHER METHOD IS CHOSEN BESIDES WHAT IS SHOWN ON THIS DETAIL, CUSTOMER SHALL INSTALL AT EACH FRAME (1) #4 CONT. BAR SIDEWALL-TO-SIDEWALL WITH A 6" 90° HOOK AT EACH END AROUND FRAME COLUMN CONCRETE ANCHOR GROUP.  
 2) SLAB DESIGN AND REINFORCING SPECIFIED IS BASED SOLELY ON THE 'SOIL DESIGN PRESSURE' INDICATED ON DRAWING SHEET 1, ASSUMING A MAX. POINT (WHEEL) LOAD OF 3000#. SLAB DESIGN FOR ANY OTHER SLAB THICKNESS OR POINT LOADS SHALL BE PROVIDED BY OTHERS.  
 3) SLAB AND FOUNDATION DESIGN SHOWN IS FOR STRUCTURAL PURPOSES ONLY. SLAB DESIGN SHOWN DOES NOT ADDRESS SLAB CONCRETE STRENGTH FOR WEAR RESISTANCE, VAPOR OR MOISTURE BARRIERS, SLAB SUBBASE MATERIAL SPECIFICATIONS OR INSTALLATION METHODS, OR THERMAL (INSULATION) REQUIREMENTS. A QUALIFIED PROFESSIONAL SHOULD BE RETAINED TO PROVIDE GUIDANCE FOR THOSE CONCERNS NOT ADDRESSED ON THIS DETAIL.

Y : SLAB DETAIL SCALE: NO SCALE



4-7-23

Found

# Bryan Chenault, here is your complete building quotation.

Quote #86040026, 3/28/2023

### Building Type

30' - 0" wide x 45' - 0" long x 10' - 0" high building  
with roof pitch of 2:12

### Building Options

- (3) Personnel door openings
- (5) Window openings
- Roof finish: 26G painted
- Wall finish: 26G painted

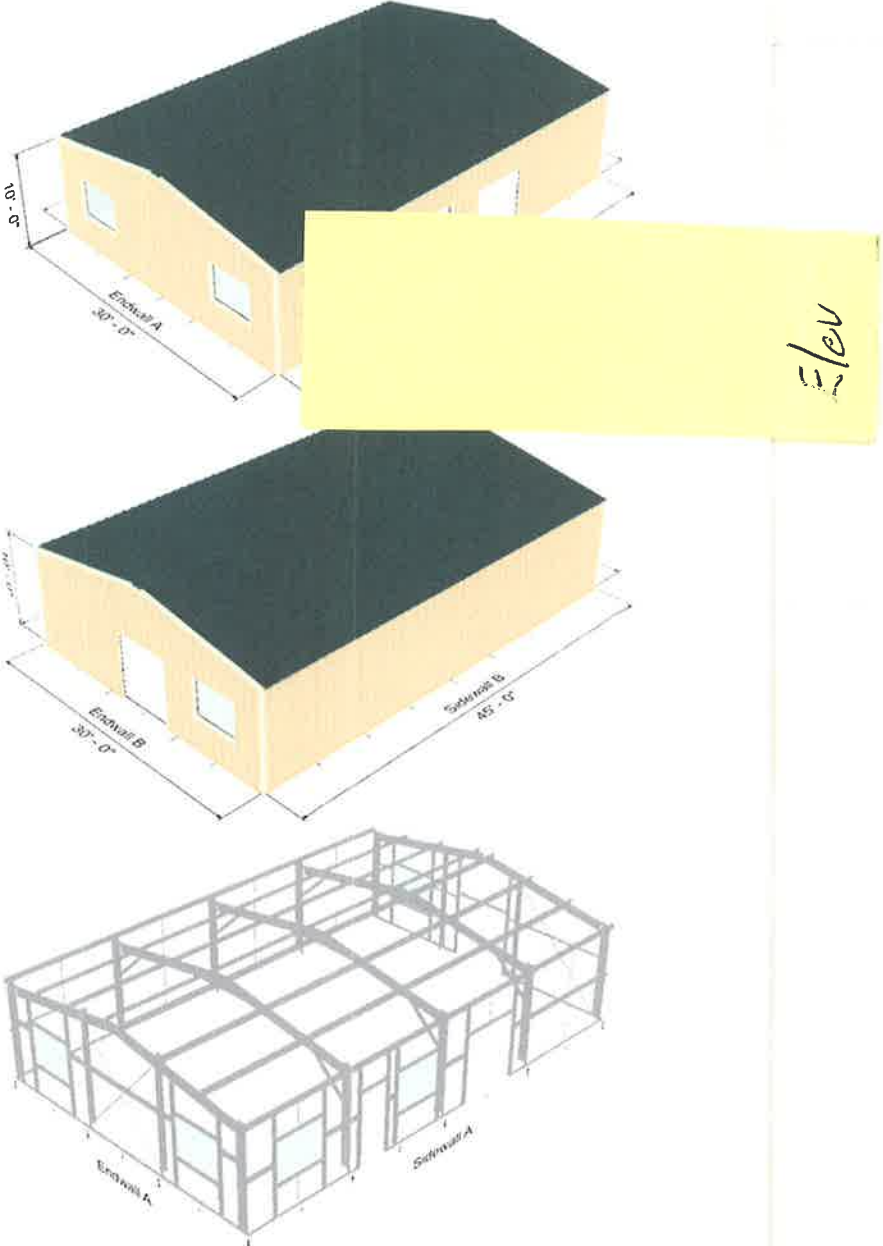
### Stamped Engineering Plans

- Slab foundation plans included
- 30 psf ground snow load
- 115 mph wind speed, exposure 'C'
- 2018 IBC

### Total Price

**\$18,994.92**

Delivery included, no taxes included  
Price valid for 30 days



**Next Step: If you are happy with your quote and ready to lock in years of value,  
secure your building at the best price today by signing the following Building  
Component Sales Agreement**

WARRANTY DEED

THIS DEED, Made, between Carole M. Haeger

of the said County of and State of Colorado, grantor, and Bryan D. Chenault and Cynthia J. Chenault

whose legal address is 7218 Starbridge Drive Houston, Texas 77095  
of the said County of and State of Texas, grantee:

WITNESS, that the grantor, for and in consideration of the sum of Thirty Four Thousand dollars and Zero cents receipt and sufficiency of which is hereby acknowledged, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell, convey and confirm, unto the grantees, their heirs and assigns forever, not in tenancy in common but in joint tenancy, all the real property, together with improvements, if any, situate, lying and being in the said County of Huerfano and State of Colorado described as follows:

Township 25 South, Range 67 West of the 6<sup>th</sup> P.M.  
Section 33: SE1/4NE1/4, according to the records of the clerk and recorder for Huerfano County Colorado  
as known by street and number as: Vacant Land  
Walsenburg, Colorado 81089

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor, either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances.

TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the grantees, their heirs and assigns forever. And the grantor, for himself, his heirs, and personal representatives, does covenant, grant, bargain, and agree to and with the grantees, their heirs and assigns, that at the time of the sealing and delivery of these presents, he is well seized of the premises above conveyed, has good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and has good right, full power and lawful authority to grant, bargain, sell and convey the same in manner and form as aforesaid, and that the same are free and clear from all former and other grants, bargains, sales, liens, taxes, assessments, encumbrances and restrictions of whatever kind or nature soever, except:

The grantor shall and will WARRANTY AND FOREVER DEFEND the above-bargained premises in the quiet and peaceable possession of the grantees, their heirs and assigns, against all and every person or persons lawfully claiming the whole or any part thereof. The singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all genders.

IN WITNESS WHEREOF, the grantor has executed this deed on the date set forth above.

*Carole M. Haeger*  
Carole M. Haeger

Carole HAEGER

Deed

County of *Huerfano* )  
State of *Colorado* ) ss.

The foregoing instrument was acknowledged before me by Carole M. Haeger

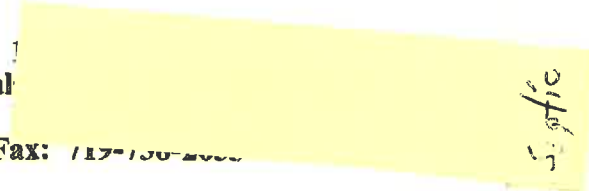
My commission expires *12/30/2000* Witness my hand and official seal.



*Sandra J. Dotter*  
Notary Public

412 Benedicta Avenue  
Trinidad, CO 81082  
719-846-2213  
Fax: 719-846-4472

Wal  
Fax: 719-150-2000



Las Animas Huerfano Counties

PERMIT # \_\_\_\_\_

Property Information:

Property Address 4529 CR 660 City RYE Zip 81069

Legal Description/Parcel # Township 25 South, Range 67 West of the 6th P.M. Section 33: SE1/4NE1/4 Lot Size: 40 acres

If property is gated, please provide gate code: N/A

Proposed Use: Residential  Commercial (describe) \_\_\_\_\_ Other \_\_\_\_\_

Water Supply: Municipal \_\_\_\_\_ Well \_\_\_\_\_ Cistern  Number of Bedrooms 2



Property Owner Bryan D. & Cynthia J. Chenault Daytime Phone 719-252-1752

Mailing Address 4529 CR 660, Rye, CO 81069

Email Address dchenault@PDQ.net

Agent self Phone 719-252-1752

Licensed Installer self Phone 719-252-1752

Email dchenault@PDQ.net

Owner or Authorized Agent Signature [Signature]



**CURRENT FEES AS APPROVED BY THE LAS ANIMAS-HUERFANO COUNTIES BOARD OF HEALTH**

All Payments are due at the time of application submittal by cash, check, or credit card

Permit Fees are Non-Refundable

Permits Shall Expire One Year From Date of Issuance

|                           |                         |                    |
|---------------------------|-------------------------|--------------------|
| New Permit—\$625.00       | Date Paid <u>3/2/23</u> | Receipt# <u>CC</u> |
| Repair Permit—\$250.00    | Date Paid _____         | Receipt# _____     |
| Permit Renewal -\$250.00  | Date Paid _____         | Receipt# _____     |
| Soils Evaluation-\$150.00 | Date Paid _____         | Receipt# _____     |

Website: <https://hs-h-health.colorado.gov/>



**GENERAL NOTES**

- CONTRACTOR FOR THE PROJECT SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
- ALL WORK SHALL BE PERFORMED IN STRICT CONFORMITY WITH ALL LOCAL LAWS, ORDINANCES RULES AND REGULATIONS OF GOVERNMENT AUTHORITIES HAVING JURISDICTION.
- BEFORE COMMENCEMENT OF THE WORK AND PRIOR TO ORDERING ANY MATERIALS, THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS SHOWN IN THE CONTRACT.
- THESE DRAWINGS REQUIRE COMPLETE AND OPERATIONAL BUILDING SYSTEMS COMPONENTS, ANY MISC. ITEMS OR MATERIALS NOT SPECIFICALLY NOTED, BUT REQUIRED FOR THE PROPER EXECUTION OF THE WORK.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE DIMENSIONS FOR BOTH QUANTITY TAKE-OFFS AND CONSTRUCTION. SHOULD A DISCREPANCY OCCUR BETWEEN THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS, IMMEDIATELY CONTACT THE PROCURER OF THESE DRAWINGS AND DOCUMENTS.
- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN ALL LARGER SCALE DETAILS GOVERN OVER SMALL SCALE.
  - DRYWALL PARTITIONS ARE DIMENSIONED FACE OF STUD TO FACE OF STUD.
- THE CONTRACTOR SHALL SUBMIT ALL PROPOSED SUBSTITUTIONS TO THE DESIGNER IN WRITING WITH SUFFICIENT INFORMATION, SAMPLES AND DIFFERENCE IN COST FOR AN INFORMED EVALUATION. SUBSTITUTIONS MUST BE APPROVED IN WRITING BEFORE THEY MAY BE USED.
- THE CONTRACTOR SHALL IMMEDIATELY, WHEN NOTIFIED OF A PROPOSED CHANGE, DEVELOP COST AND SCHEDULE AMIFICATIONS FOR OWNER APPROVAL/ACCEPTANCE.
- THE CONTRACTOR SHALL PERFORM HIGH-QUALITY PROFESSIONAL WORK, USING ONLY WORKMEN WHO ARE SKILLED AND EXPERIENCED IN THE SPECIFIC TASKS REQUIRED. JOIN MATERIALS TO UNIFORM, ACCURATE FITS SO THEY MEET WITH NEAT STRAIGHT LINES. INSTALL EXPOSED MATERIALS APPROPRIATELY LEVEL, PLUMB, AND AT ACCURATE RIGHT ANGLES, OR FLUSH WITH ADJOINING MATERIALS.
- THE CONTRACTOR SHALL ARRANGE TO ACCOMMODATE "NOT IN CONTRACT" WORK. WHEN INFORMATION IS INADEQUATE, REQUEST FURTHER INSTRUCTION BEFORE PROCEEDING.
- SHOP DRAWINGS
  - THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, PRODUCT INFORMATION, AND/OR SAMPLES AS REQUIRED TO EXPLAIN WORK OF ALL TRADES.
  - DESIGNER SHALL REVIEW SHOP DRAWINGS AND SAMPLES W/ REASONABLE PROMPTNESS SO AS TO CAUSE NO DELAY. SUCH REVIEW IS ONLY FOR CONFORMITY TO THE DESIGN CONCEPT FOR THE PROJECT AND WITH THE INFORMATION GIVEN IN THE CONTRACT DOCS. THE REVIEW OF A SEPARATE ITEM SHALL NOT INDICATE A REVIEW OF AN ASSEMBLY IN WHICH THE ITEM FUNCTIONS. SHOP DRAWINGS THAT CONTAIN EXCESSIVE ERRORS OR THAT ARE INCOMPLETE WILL BE RETURNED FOR RE-SUBMITTAL, AND ANY DELAY THEREBY WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  - THE CONTRACTOR SHALL MAKE ANY REVISIONS AS NOTED BY THE DESIGNER AND RESUBMIT CORRECTED SHOP DRAWINGS FOR REVIEW AND/OR RECORD.
  - THE DESIGNER'S REVIEW OF SHOP DRAWINGS OR SAMPLES SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY OF ANY DEVIATION FROM THE CONTRACT DOCS. UNLESS THE CONTRACTOR HAS INFORMED THE DESIGNER IN WRITING OF SUCH DEVIATION AT THE TIME OF SUBMISSION, NOR SHALL THE DESIGNER'S REVIEW RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR ERRORS AND OMISSIONS IN THE SHOP DRAWINGS OR SAMPLES.
  - NO PORTION OF THE WORK REQUIRING SHOP DRAWINGS OR SAMPLE SUBMISSIONS SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN REVIEWED BY THE DESIGNER.
- SUBMITTALS
  - SHOP DRAWINGS REQUIRED FOR WORK UNDER THIS PROJECT:
    - REFER SPECIFICATIONS FOR ADDITIONAL SUBMITTALS
    - FINISH CARPENTRY AND MILLWORK
    - NEW DOORS AND FRAMES
    - ELECTRICAL (SEE ELECTRICAL DRAWINGS)
    - MECHANICAL (SEE MECHANICAL DRAWINGS)
    - CARPET
    - PAINT
    - ALUM. STOREFRONT WINDOWS
    - TRUSSES (HANDFRAMED AND PREFAB)
  - PRODUCT DATA REQUIRED FOR WORK UNDER THIS PROJECT:
    - PAINTING MATERIALS LIST
    - ELECTRICAL (SEE ELECTRICAL DRAWINGS)
    - PLUMBING
  - SAMPLES REQUIRED FOR WORK UNDER THIS PROJECT:
    - PAINT FINISHES (12" X 12")
    - WOOD AND PLASTIC LAMINATE FINISHES
    - TILE FLOORING
    - STONE VENEER
    - STUCCO FINISHES
    - CONCRETE TILE ROOF

- ALL CONTRACTOR REQUESTS FOR SUBSTITUTION OF SPECIFIED ITEMS SHALL BE MADE IN ACCORDANCE WITH THE FOLLOWING:
  - SUBMIT TWO (2) COPIES OF EACH REQUEST.
- THE CONTRACTOR SHALL UPON COMPLETION REMOVE ALL PAINT FROM WHERE IT HAS SPILLED, SPLASHED, OR SPLATTERED ON SURFACES, INCLUDING LIGHT FIXTURES, DIFFUSERS, REGISTERS, FITTINGS, ETC. THE CONTRACTOR SHALL REMOVE ALL ELECTRICAL SWITCH AND OUTLET PLATES, SURFACE HARDWARE ETC., BEFORE PAINTING PROTECTING AND REPLACING SAME WHEN PAINTING IS COMPLETE.
- APPLICATION FOR ALL PAINTED SURFACES SHALL NOT BE LESS THAN A TWO-COAT SYSTEM, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD INSPECTION OF THE SURFACES TO RECEIVE PAINT AND ASSURING THAT SUCH SURFACES ARE ACCEPTABLE FOR APPLICATION OF FINISH WORK.
- CONTRACTOR SHALL TAKE CARE TO PROTECT EXISTING FINISHED SURFACES MILLWORK, HARDWARE, EQUIPMENT AND FIXTURES WHICH ARE TO REMAIN.

**FRAMING NOTES**

- FRAMING LUMBER - (AS PER PLAN) 2" X 4" STUDS MIN.
  - 2" X 4" SILL PLATES; HEM FIR, STANDARD AND BETTER FB= 475/550 PSI, E= 1,200,000 PSI
  - 2" X 4" (MIN.) UP TO 8'-0" HEM FIR STUD GRADE; FB= 450/725 PSI, E= 1,200,000 PSI
  - 2" X 4" OVER 8'-0" HEM FIR STANDARD AND BETTER FB= 475/550 PSI, E= 1,200,000 PSI
  - 2" X 6" AND LARGER; HEM FIR STANDARD AND BETTER FB= 1,000/1,150 PSI, E= 1,400,000 PSI
- PROVIDE MINIMUM 2" X 10" HEADERS OVER ALL DOOR AND WINDOW OPENINGS UNLESS OTHERWISE NOTED ON PLAN.
- PROVIDE MINIMUM 1-2x POST UNDER EACH END OF ALL BEAMS AND HEADERS UNLESS OTHERWISE NOTED ON PLAN.
- MICROLAM BEAMS BY TRUSS JOIST CORP. SHALL BE PROVIDED WITH THE FOLLOWING MINIMUM DESIGN UNIT STRESSES:
  - FLEXURAL STRESS 2600 PSI
  - HORIZONTAL SHEAR PERP. TO GLUE LINE 285 PSI
  - COMP. PERP. TO GRAIN PARALLEL WITH THE GLUE LINE 500 PSI
  - MODULUS OF ELASTICITY 1,600,000 PSI
- PRE-ENGINEERED TRUSSES SHALL BE DESIGNED AND FABRICATED UNDER THE SUPERVISION OF A COLORADO LICENSED PROFESSIONAL ENGINEER FOR THE LOADS AND CONDITIONS SPECIFIED ON THE DRAWINGS.
- PLYWOOD SHALL CONFORM TO THE AMERICAN PLYWOOD ASSOCIATION'S CURRENT PRODUCT STANDARD SPECIFICATION AND SHALL BE PERFORMANCE RATED BY THE AMERICAN PLYWOOD ASSOCIATION TO THE GRADES SPECIFIED.
  - ROOF SHEATHING SHALL BE 1/2" APA 32/16 EXPOSURE 1 RATED PLYWOOD, NAIL WITH 8d NAILS @ 4' O.C. AT PANEL PERIMETER AND @ 6' O.C. @ INTERMEDIATE.
  - FLOOR SHEATHING SHALL BE 3/4" APA 48/24, EXPOSURE 1 RATED, TONGUE AND GROOVE PLYWOOD, GLUE AND NAIL WITH 8d NAILS @ 6' O.C. AT PANEL PERIMETER AND @ 10' O.C. AT INTERMEDIATE FRAMING.
- SHEATH ALL EXTERIOR WALLS WITH STRUCTURAL RED GRADE THERMO-PLY SHEATHING AS MANUFACTURED BY SIMPLEX PRODUCTS DIVISION, FASTEN PER MANUFACTURER'S SPECIFICATIONS.
- PROVIDE RM JOIST OR SOLID BLOCKING UNDER ALL BEARING POINTS. BLOCKING UNDER POSTS LARGER THAN 2-2x 4" MUST BE FULL AREA OF POST.
- ALL TRUSSES AND ROOF RAFTERS TO BE TIED TO BEARING WITH ONE (1) SIMPSON H2.5 HURRICANE CLIP OR EQUAL.
- ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS TO BE FRAMED @ 16' O.C. WITH DOUBLE TOP AND SINGLE BOTTOM PLATES.
- PROVIDE 1/2" DIAMETER X 10" LONG A307 ANCHOR BOLTS @ MAX. 4'-0" O.C. EMBEDDED 7". MINIMUM OF 2 BOLTS PER PIECE. LOCATE 1 BOLT WITHIN 12" OF EACH END OF EACH PIECE.
- ROOF OVERFRAMING TO BE MINIMUM 2x 6" RAFTERS @ 24" O.C. BEAR DIRECTLY ON TRUSSES/RAFTERS BELOW OR SOLID BLOCKING BETWEEN MEMBERS.

**EXTERIOR STUDS**

- STUD HEIGHTS TO 6'-11/8" TO BE 2x 4" AT 16" ON CENTER.
- STUD HEIGHTS ABOVE 6'-1-1/8" TO 9'-1-1/8" TO BE 2x 4" AT 16" ON CENTER.
- STUD HEIGHTS ABOVE 9'-1-1/8" - SEE PLAN.

**INTERIOR STUDS**

- INTERIOR BEARING AND NON-BEARING PARTITIONS TO BE 2x 4" AT 16" ON CENTER.

**DESIGN WIND LOAD**

- BASIC PRESSURE = 19 PSF @ 85 MPH, EXPOSURE C.


**ABBREVIATIONS:**

|         |                       |          |                                 |              |                       |        |                              |        |                    |
|---------|-----------------------|----------|---------------------------------|--------------|-----------------------|--------|------------------------------|--------|--------------------|
| ACT.    | ACOUSTIC TILE         | E.W.     | EACH WAY                        | LAB.         | LABORATORY            | REQD.  | REQUIRED                     | WT.    | WEIGHT             |
| A.B.    | ANCHOR BOLT           | E.W.C.   | ELECTRIC WATER COOLER           | LAM.         | LAMINATED             | RENF.  | REINFORCE                    | W.W.F. | WELDED WIRE FABRIC |
| ACOUS.  | ACOUSTICAL            | EXH.     | EXHAUST                         | LAV.         | LAVATORY              | REFL.  | REFLECTED                    | ∠      | CENTERLINE         |
| ADJ.    | ADJUSTABLE            | (E) EX.  | EXISTING                        | LT.          | LIGHT                 | RM.    | ROOM                         | <      | ANGLE              |
| A.F.F.  | ABOVE FINISHED FLOOR  | EXST.    | EXISTING                        | L.W.C.       | LIGHT WEIGHT CONCRETE | R.O.   | ROUGH OPENING                | ∩      | CHANNEL            |
| AL.     | ALUMINUM              | EXP.     | EXPANSION                       | MAS.         | MASONRY               | R.O.W. | RIGHT OF WAY                 | ∅      | DIAMETER           |
| ALT.    | ALTERNATE             | EXT.     | EXTERIOR                        | MATL.        | MATERIAL              | (S)    | SEALANT                      | #      | NUMBER             |
| ARCH.   | ARCHITECTURAL         | F.B.O.   | FURNISHED BY OWNER              | MAX.         | MAXIMUM               | S.A.C. | SUSPENDED ACOUSTICAL CEILING | ∩      | PLATE              |
| ASPH.   | ASPHALT               | F.B.T.   | FURNISHED BY TENANT             | MCH.         | MECHANICALS           | SCHED. | SCHEDULE                     | ⊙      | AT                 |
| BR.     | BULKHEAD              | F.D.     | FLOOR DRAIN                     | MFR.         | MANUFACTURER          | S.F.   | SQUARE FEET/FLOOR            |        |                    |
| B.S.    | BOTH SIDES            | FDN.     | FOUNDATION                      | M.H.         | MAN HOLE              | SHT.   | SHEET                        |        |                    |
| BD.     | BOARD & BATTION       | F.E.     | FIRE EXTINGUISHER               | MIN.         | MINIMUM               | SMB.   | SIMILAR                      |        |                    |
| BD.     | BOARD                 | F.E.C.   | FIRE EXTINGUISHER CABINET       | MISC.        | MISCELLANEOUS         | SP.    | SPACES                       |        |                    |
| BITUM.  | BITUMINOUS            | F.H.C.   | FIRE HOSE CABINET               | M.D.         | MASONRY OPENING       | SPRC.  | SPECIFICATION                |        |                    |
| BLDG.   | BUILDING              | FIN.     | FINISHED                        | MTG.         | MEETING               | SQ.    | SQUARE                       |        |                    |
| BK.     | BLOCK                 | F.I.O.   | FURNISHED & INSTALLED BY OWNER  | MTL.         | METAL                 | SS.    | STAINLESS STEEL              |        |                    |
| BM.     | BOM                   | F.I.T.   | FURNISHED & INSTALLED BY TENANT | NI           | NEW                   | STA.   | STATION                      |        |                    |
| BTM.    | BOTTOM                | FL.      | FLOOR                           | NI           | NOT IN CONTRACT       | STD.   | STANDARD                     |        |                    |
| BRG.    | BEARING               | FT.      | FOOT OR FEET                    | N.I.C.       | NOT IN CONTRACT       | STOR.  | STORAGE                      |        |                    |
| BSMT.   | BASMENT               | FTG.     | FOOTING                         | N.I.S.       | NOT TO SCALE          | STR.   | STRUCTURAL                   |        |                    |
| B.SECT. | BUILDING SECTION      | FUT.     | FUTURE                          | NOM.         | NOMINAL               | SUSP.  | SUSPENDED                    |        |                    |
| COL.    | COLUMN                | GA.      | GAUGE                           | O.A.         | OVER ALL              | SYM.   | SYMMETRICAL                  |        |                    |
| CAB.    | CABINETS              | GALV.    | GALVANIZED                      | O.C.         | ON CENTER             | 5.5T.  | STAINED                      |        |                    |
| (C)     | CAULK                 | G.C.     | GENERAL CONTRACTOR              | O.D.         | OUTSIDE DIAMETER      | T, TR. | TREAD                        |        |                    |
| CI      | CAST IRON             | G.S.     | GALVANIZED STEEL                | OPC.         | OFFICE                | T & B. | TOP & BOTTOM                 |        |                    |
| C.I.P.  | CAST IN PLACE         | GL.      | GLASS                           | O.H.         | OVER HEAD             | T & G. | TONGUE & GROOVE              |        |                    |
| C.J.    | CONTROL JOINT         | GND.     | GROUND                          | O.HND.       | OPPOSITE HAND         | TEL.   | TELEPHONE                    |        |                    |
| CLG.    | CEILING               | GR.      | GRADE                           | OPG.         | OPENING               | THK.   | THICKNESS                    |        |                    |
| C.M.U.  | CONCRETE MASONRY UNIT | GYP.     | GYP-SUM                         | OPP.         | OPPOSITE              | T.O.J. | TOP OF JOIST                 |        |                    |
| CONC.   | CONCRETE              | H.S.     | HARDEN & SEAL                   | PERF.        | PERFORATED            | T.O.B. | TOP OF BEAM                  |        |                    |
| CONN.   | CONNECTION            | H.B.     | HOSE BIBS                       | P.C.         | PREFCAST CONCRETE     | T.O.C. | TOP OF CONCRETE              |        |                    |
| CONT.   | CONTINUOUS            | H.C.     | HOLLOW CORE                     | P.F.P.       | POURED IN PLACE       | T.O.F. | TOP OF FOOTING               |        |                    |
| CONSTR. | CONSTRUCTION          | HDBD.    | HARDBOARD                       | P.L.         | PROPERTY LINE         | T.J.   | TOOL JOINT                   |        |                    |
| CONTR.  | CONTRACTOR            | HWAR.HW. | HARDWARE                        | PLNG.        | PLUMBING              | T.O.M. | TOP OF MASONRY               |        |                    |
| C.T.    | CERAMIC TILE          | HWDR.    | HARDWOOD                        | FR.          | PAIR                  | TOPO.  | TOPOGRAPHY                   |        |                    |
| D.A.    | DOUBLE ACTING         | H.M.     | HOLLOW METAL                    | P.S.         | PRESSUR STEEL         | TY.    | TYPICAL                      |        |                    |
| DBL.    | DOUBLE                | H.M.     | HORIZONTAL                      | P.T.         | PRESSURE TREATED      | U.O.N. | UNLESS OTHERWISE NOTED       |        |                    |
| DIL.    | DETAIL                | HORIZ.   | HORIZONTAL                      | P.NE.        | POINT                 | UTL.   | UTILITY                      |        |                    |
| D.F.    | DRINKING FOUNTAIN     | HE.      | HEIGHT                          | P.N.         | PARTITION             | VAR.   | VARIES                       |        |                    |
| DIA.    | DIAMETER              | HTR.     | HEATER                          | (P, P, PTD.) | PAINTED               | VERT.  | VERTICAL                     |        |                    |
| DN.     | DOWN                  | HD.      | HEAD                            | QT.          | QUARRY TILE           | V.C.T. | VINYL COMPOSITION TILE       |        |                    |
| DRWG.   | DRAWING               | I.D.     | INSIDE DIAMETER                 | REV.         | REVERSE               | V.W.C. | VINYL WALL COVERING          |        |                    |
| EA.     | EACH                  | INSUL.   | INSULATION                      | RAD.         | RADIUS                | W.H.   | WATER HEATER                 |        |                    |
| E.J.    | EXPANSION JOINT       | INT.     | INTERIOR                        | R, R.        | RISER                 | W      | WITH                         |        |                    |
| ELEC.   | ELECTRIC              | JM.      | JAMB                            | (R)          | REMOVE                | W.C.   | WATER CLOSET                 |        |                    |
| EL.     | ELEVATION             | JAN.     | JANITOR                         | R.B.         | RUBBER BASE           | WD.    | WOOD                         |        |                    |
| ELEV.   | ELEVATOR              | JST.     | JOIST                           | R.D.         | ROOF DRAIN            | WD.    | WITH OUT                     |        |                    |
| EQ.     | EQUAL                 | JT.      | JOINT                           | RE.          | REFER                 | W.P.   | WATER PROOF                  |        |                    |
| EQUIP.  | EQUIPMENT             | KIT.     | KITCHEN                         | RSCT.        | RESCOT                |        |                              |        |                    |

**GENERAL PROJECT NOTES:**

**PROJECT DIRECTORY**

**SHEET INDEX**

| <b>BUILDER:</b><br><b>DEVELOPER:</b>  | 1.0a of 4   | TITLE SHEET/COVER SHEET/Front ELEVATION<br>ELEVATIONS<br>MAIN STORY FLOOR PLANS<br>FOUNDATION PLANS, DETAILS  |       |              |          |         |          |           |          |
|---|---|---|-------|--------------|----------|---------|----------|-----------|----------|
|   | 2.0a of 4   |   |       |              |          |         |          |           |          |
| 3.0a of 4   |   |   |       |              |          |         |          |           |          |
| 4.0a of 4   |   |   |       |              |          |         |          |           |          |
| <b>DESIGNER:</b><br> | <b>PLAN ISSUE AND RELEASE</b>   |   |       |              |          |         |          |           |          |
|   | ATT. DAVE WEHRICH<br>702 POLK STREET<br>PUEBLO, COLORADO 81004<br>(719) 259-4784 fax<br>(719) 240-9465 cell<br>(719) 744-0544 office<br>EMAIL: dave@advancedb.com<br>DAVE@dave.wehrich@pb.com | <table border="1"> <tr> <th>ISSUE</th> <th>RELEASE DATE</th> </tr> <tr> <td>REDLINES</td> <td>12-2022</td> </tr> <tr> <td>REDLINES</td> <td>1-22-2023</td> </tr> <tr> <td>REDLINES</td> <td>3-30-2023</td> </tr> </table> | ISSUE | RELEASE DATE | REDLINES | 12-2022 | REDLINES | 1-22-2023 | REDLINES |
| ISSUE   | RELEASE DATE  |   |       |              |          |         |          |           |          |
| REDLINES  | 12-2022   |   |       |              |          |         |          |           |          |
| REDLINES  | 1-22-2023   |   |       |              |          |         |          |           |          |
| REDLINES  | 3-30-2023   |   |       |              |          |         |          |           |          |
| <b>STRUCTURAL ENGINEER:</b>   |   |   |       |              |          |         |          |           |          |

DISCREPANCIES MAY EXIST BETWEEN THE PLANS OR FIELD CONDITIONS. PLEASE REVIEW THE ENTIRE SET OF CONSTRUCTION PLANS AND NOTIFY THE DESIGNER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. FAILURE TO DO SO WILL PLACE THE ENTIRE RESPONSIBILITY FOR RESOLUTION UPON THE CONTRACTOR. © 2023



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A SINGLE FAMILY RESIDENCE  
 for  
**THE CHENAULT RESIDENCE**  
 4529 COUNTY ROAD 660 (RTE) COLORADO 81069

DATE: 12-2022

REDLINES: 1-22-2023

REDLINES: 3-30-2023

SCALE: AS NOTED

DRAWN BY: D.WEHRICH

CHECKED BY: D.WEHRICH

DATE: MARCH 2023

JOB #

1.0 of FOUR

Item 6b.

**BASIC BUILDING SPECIFICATIONS:**

THIS STRUCTURE HAS BEEN DESIGNED AND DETAILED FOR THE LOADS AND CONDITIONS SHOWN ON THESE DRAWINGS. ANY ALTERATIONS TO THE STRUCTURAL SYSTEM OR REMOVAL OF ANY COMPONENT PARTS, OR THE ADDITION OF OTHER CONSTRUCTION MATERIALS OR LOADS MUST BE DONE UNDER THE ADVICE AND DIRECTION OF REGISTERED ARCHITECT, CIVIL OR STRUCTURAL ENGINEER.

THIS METAL BUILDING IS DESIGNED WITH DESIGN PRACTICES WHICH ARE BASED ON PERTINENT PROCEDURES, AND RECOMMENDATIONS OF THE FOLLOWING ORGANIZATIONS AND CODES, AND ACCEPTED PRACTICES IN THE LOW RISE METAL AND AGRICULTURAL BUILDING INDUSTRY.

AMERICAN INSTITUTE OF STEEL CONSTRUCTION  
SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS 9TH EDITION.

AMERICAN IRON AND STEEL INSTITUTE:  
"SPECIFICATION FOR THE DESIGN OF COLD FORMED STEEL STRUCTURAL MEMBERS"

INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS:  
"UNIFORM BUILDING CODE"

AMERICAN WELDING SOCIETY  
"STRUCTURAL WELDING CODE"

METAL BUILDING MANUFACTURERS ASSOCIATION  
"METAL BUILDING SYSTEMS MANUAL"

HIGH STRENGTH BOLTS AND THEIR INSTALLATION SHALL CONFORM TO A.S.T.M. SPECIFICATIONS A-325 AND ARE DESIGNED AS BEARING TYPE CONNECTIONS WITH THREADS INCLUDED IN THE SHEAR PLANE. TIGHTENING OF THESE BOLTS IS RECOMMENDED BY THE TURN-OF-NUT METHOD, PER A.I.S.C. SPECIFICATION FOR STRUCTURAL JOINTS.

SHOP AND FIELD INSPECTIONS AND ASSOCIATED FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR OR OWNER.

**STEEL NOTES:**

- 1.) ALL CONSTRUCTION TO COMPLY WITH THE LATEST EDITION OF AISC.
- 2.) ALL MACHINE BOLTS TO COMPLY WITH ASTM A-307/A-325.
- 3.) ALL HOT ROLLED OR COLD ROLLED SHEET AND STRIP USED IN FABRICATION OF COLD FORMED STRUCTURAL MEMBERS SHALL HAVE A MINIMUM YIELD STRENGTH OF 55 K.S.I.
- 4.) ALL SHOP CONNECTIONS SHALL BE WELDED IN ACCORDANCE WITH A.W.S. STRUCTURAL WELDING CODE.
- 5.) ALL FIELD WELDING IS TO BE PERFORMED BY AN A.W.S. CERTIFIED WELDER USING E70XX ELECTRODES.
- 6.) ALL STRUCTURAL STEEL TO COMPLY WITH A.S.T.M. DUAL SPECIFICATION (F<sub>y</sub>=50 K.S.I.)

**DESIGN CRITERIA:**

|                     |           |
|---------------------|-----------|
| ROOF DEAD LOAD      | 3 PSF     |
| COLLATERAL LOAD:    | 20.00 PSF |
| ROOF LIVE LOAD:     | 35 PSF    |
| ROOF SNOW LOAD:     | 1.15 MPH  |
| BASIC WIND SPEED:   | D         |
| SEISMIC ZONE:       |           |
| IMPORTANCE FACTORS: |           |
| WIND LOAD           | 1.00      |
| SNOW LOAD           | 1.00      |
| SEISMIC LOAD        | 1.00      |

THE DESIGN LOADS AND COMBINATIONS ARE APPLIED IN ACCORDANCE WITH FOLLOWING BUILDING CODE (IBC 16) NOTES:

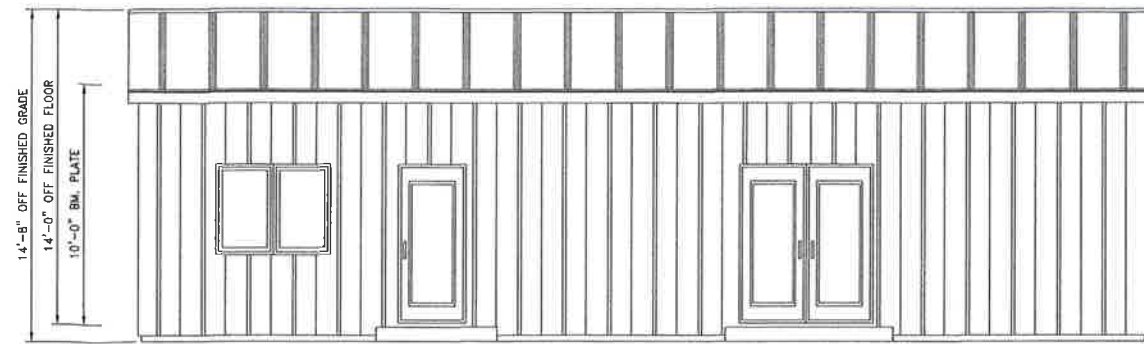
- 1.) ROOF DESIGN IS BASED ON THE LARGER ROOF LIVE LOAD OR SNOW LOAD.
- 2.) THIS PROJECT IS DESIGNED AS "CLOSED" ACCESSORIES (DOORS, WINDOWS, ETC.) BY OTHERS MUST BE DESIGNED AS "COMPONENTS AND CLADDING" IN ACCORDANCE TO BE SPECIFIED WIND PROVISIONS OF THE REFERENCED BUILDING CODE.

**GENERAL FRAMING NOTES:**

- 1.) THIS PROJECT IS DESIGNED IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE (IRC) 2018 EDITION.
- 2.) DEAD LOADS:
  - A. FLOOR.....15 PSF
  - B. ROOF.....20 PSF
- 3.) LIVE LOADS:
  - A. ROOF (SNOW).....30 PSF
  - B. FLOORS.....40 PSF
  - C. WIND.....115 MPH (EXP. C)
- 4.) FOUNDATION:
  - A. THE STRUCTURE SHALL BE FOUNDED ON SPREAD FOOTINGS PLACED ON A MIN. 4" OF STRUCTURAL FILL WITH A MINIMUM BEARING CAPACITY OF 2,400 PSF.
  - B. REFER TO SOIL REPORT FOR ALL PERTINENT INFO. AND SOIL BEARING CAPACITIES.
  - C. FOUNDATION WALLS ARE DESIGNED TO BE SUPPORTED AT THE TOP AND BOTTOM BY FLOOR CONSTRUCTION. WALLS SHALL NOT BE BACK FILLED UNTIL SUCH FLOORS IN PLACE.
  - D. MINIMUM FROST DEPTH OF FOOTINGS SHALL BE 30" (TOP OF FINISHED GRADE TO THE BOTTOM OF FOOTING). FIELD VERIFY ALL TOP OF FOOTING ELEVATIONS.
- 5.) CONCRETE:
  - A. CONCRETE HAS BEEN DESIGNED AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE "BUILDING REQUIREMENTS FOR STRUCTURAL CONCRETE" (ACI 318). ALL CONCRETE SHALL BE OF STONE AGGREGATE, UNLESS OTHERWISE NOTED.
    - MIN. 28 DAY COMPRESSIVE STRENGTH SHALL BE:
      1. SLABS.....4000 PSI
      2. ALL OTHER CONCRETE.....3000 PSI
  - B. REINFORCING SHALL BE NEW BILLET STEEL ASTM A615, GRADE 60, EXCEPT BARS TO BE WELDED SHALL BE ASTM A706, GRADE 60. PROVIDE CORNER BARS TO MATCH ALL HORIZONTAL REINFORCING. PROVIDE (2) #5" AROUND ALL OPENINGS IN CONCRETE AND EXTEND BARS 24" PAST EDGES OF OPENINGS.
  - C. LAP SPLICES SHALL BE CLASS B, OR EQUAL. USE THE FOLLOWING LAP LENGTHS, U.N.O.
    - (1) NO. 6 BARS AND SMALLER:
      - A. 57 BAR DIAMETERS FOR 3,000 PSI CONCRETE.
      - B. 50 BAR DIAMETERS FOR 4,000 PSI CONCRETE.
  - D. REINFORCING PLACEMENT: PROVIDE CHAIRS, STANDEES, ADDITIONAL REINFORCEMENT, AND ACCESSORIES NECESSARY TO SUPPORT REINFORCEMENT AT POSITION SHOWN. SUPPORT OF REINFORCEMENT ON FORM TIES, BRICK, OR OTHER UNACCEPTABLE MATERIAL WILL NOT BE ALLOWED.
  - E. MINIMUM CONCRETE COVER:
    - (1) CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH.....3 INCHES
    - (2) CONCRETE EXPOSED TO EARTH OR WEATHER:
      - A. #6" REBAR AND LARGER.....2 INCHES
      - B. #5" REBAR AND SMALLER.....1.5 INCHES
    - (3) CONCRETE NOT EXPOSED TO EARTH OR WEATHER.....3/4 INCHES
  - F. ANCHOR RODS (BOLTS) SHALL BE GRADE MIN. 36 CONFORMING TO ASTM F1554, AND SHALL HAVE A MIN. CONCRETE EMBEDMENT OF 7" WITH A 2" HOOK, UNLESS OTHERWISE NOTED.
  - G. EXTERIOR SLABS, SIDEWALKS SHALL BE 4" THICK (MIN.) REINFORCED WITH W1.4x W1.4 W.W.F.
6. STEEL:
  - A. STRUCTURAL STEEL SHALL BE DETAILED AND ERECTED IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION SPECIFICATIONS AND LOCAL CODES.
    - MINIMUM YIELD STRENGTH:
      - 50 KSI FOR SQUARE/RECTANGULAR HSS (ASTM A500, GR.C)
      - 50 KSI FOR WIDE FLANGE MEMBERS (ASTM A992)
      - 46 KSI FOR ROUND HSS (ASTM A500 GR. C)
      - 35 KSI FOR ROUND PIPE (ASTM A53, GR. B)
      - 36 KSI FOR ALL OTHER MEMBERS (ASTM A36)
  - B. CONNECTIONS:
    1. UNFACTORED CONNECTION CAPACITIES ARE NOTED ON DRAWINGS. USE STANDARD FRAMED BEAM CONNECTIONS MEETING THE REQUIREMENTS OF THE "MANUAL OF STEEL CONST. - ASD" USE 3/4" DIAMETER, A325-NBOLTS MIN. SNUG-TIGHTENED, OR ASTM F1852 TENSION CONTROLLED BOLTS.
    2. MINIMUM WELDS PER AISC SPECIFICATION AND AWS D1.1, NOT LESS THAN CONTINUOUS 3/16" FILLET, E70XX ELECTRODES. UNLESS NOTED OTHERWISE, WELDING OF REINFORCING TO EMBEDS SHALL BE DONE TO DEVELOP 1.5 TIMES THE YIELD OF THE REINFORCING.
  - C. COLUMN BASE PLATES THAT REQUIRE GROUT SHALL BEAR ON NON-SHRINKING GROUT.
7. WOOD:
  - A. FRAMING LUMBER SHALL BE (U.N.O.)
    - (1) STUDS.....HEM-FIR STUD GRADE
    - (2) STUDS HEADERS.....HEM-FIR#2
    - (3) JOISTS/RIFTERS.....HEM-FIR #2
  - B. WOOD CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION."
  - C. STAINLESS STEEL (OR GALV.) CONNECTORS, FASTENERS AND ANCHORS SHALL BE USED WITH THE PRESERVATIVE-TREATED WOODS.
  - D. EXTERIOR WALLS SHALL BE FULLY SHEATHED WITH 7/16" ORIENTED STRAND BOARD (O.S.B.) OR APPROVED EQUIVALENT.
  - E. PLYWOOD WEB JOISTS, VERSA-LAM LVL (2.1E - NOTED V.L. ON PLANS) AND VERSA STUD LVL (1.7E-NOTED V.S. ON PLANS) SHALL BE MANUFACTURED BY BOISE CASCADE, OR APPROVED EQUIVALENT. JOISTS AND BEAMS SHALL NOT BE MODIFIED WITH THE WRITTEN CONSENT OF THE ENGINEERED PLANS SPECIFIED.
  - F. ROOF TRUSSES SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER. TRUSS DEFLECTIONS SHALL NOT EXCEED:
    - TOTAL LOAD: L/180, NOR 1 INCH.
    - LIVE LOAD: L/240, NOR 3/4 INCH.
 REFER TO ALL TRUSS DRAWINGS FOR INFORMATION, DETAILS, AND CONNECTIONS.
- B. DRAWING COORDINATION:
  - A. DIMENSIONS ON DRAWINGS SHALL BE VERIFIED WITH ALL ARCHITECTURAL DRAWINGS AND ENGINEERING, AND DETERMINED PRIOR TO CONSTRUCTION.
  - B. DRAWINGS SHALL NOT BE SCALED. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED.
  - C. SHOP DRAWINGS SHALL BE DRAWN AND PREPARED BY FABRICATOR.
  - D. ANY SUBSTITUTIONS, OR CHANGES TO THE STRUCTURE DETAILED IN THESE DRAWINGS TO BE DISCUSSED AND DETERMINED PRIOR TO CONSTRUCTION BEGINNING.

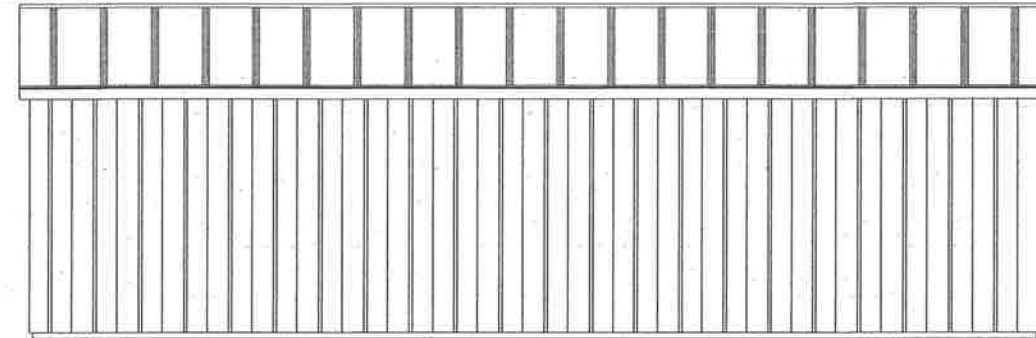
**ELEVATION STANDARD NOTES**

- 1.) PROVIDE 26 GAUGE GALVANIZED IRON FLASHING AT ALL ROOF PENETRATIONS, ROOF VALLEYS, AND ROOF TERMINATIONS @ WALLS. PAINT TO MATCH ROOF.
- 2.) ALL EXPOSED WOOD TO BE PAINTED OR STAINED.
- 3.) WHERE NECESSARY, STEP TOP AND BOTTOM OF FOUNDATION TO FOLLOW FINISH GRADE.
- 4.) ALL EXPOSED METAL TO BE PAINTED UNLESS INDICATED OTHERWISE.
- 5.) EXTERIOR PORCH STAIRS TO HAVE 7" MAX. RISE AND 11" MIN. TREAD.
- 6.) EXTERIOR PORCH STAIRS HAVING 2 OR MORE RISERS SHALL HAVE A HANDRAIL AT 36" TO 38" MIN. ABOVE STAIR NOSING.
- 7.) EXTERIOR PORCHES MORE THAN 30" ABOVE GRADE TO HAVE 36" MIN. GUARD (HAND) RAIL.



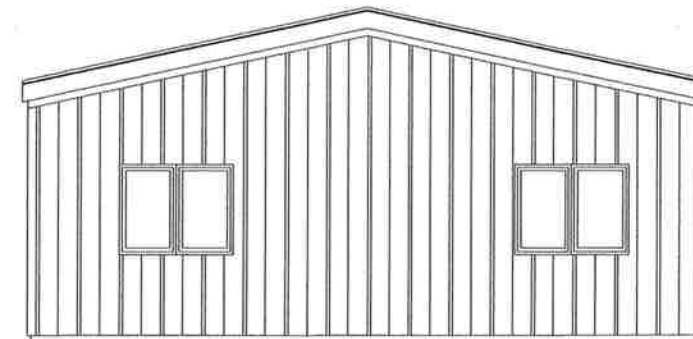
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



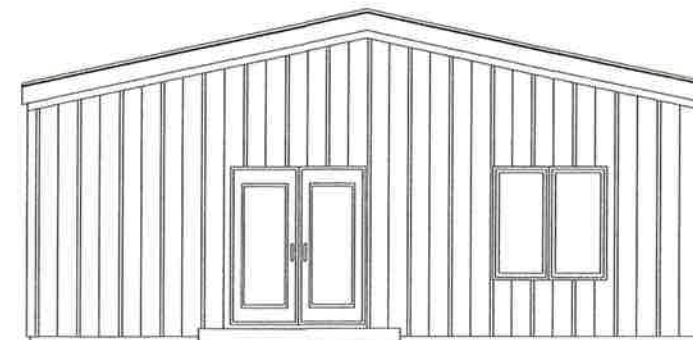
REAR ELEVATION

SCALE: 1/4" = 1'-0"



SIDE ELEVATION

SCALE: 1/4" = 1'-0"



SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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Item 6b.

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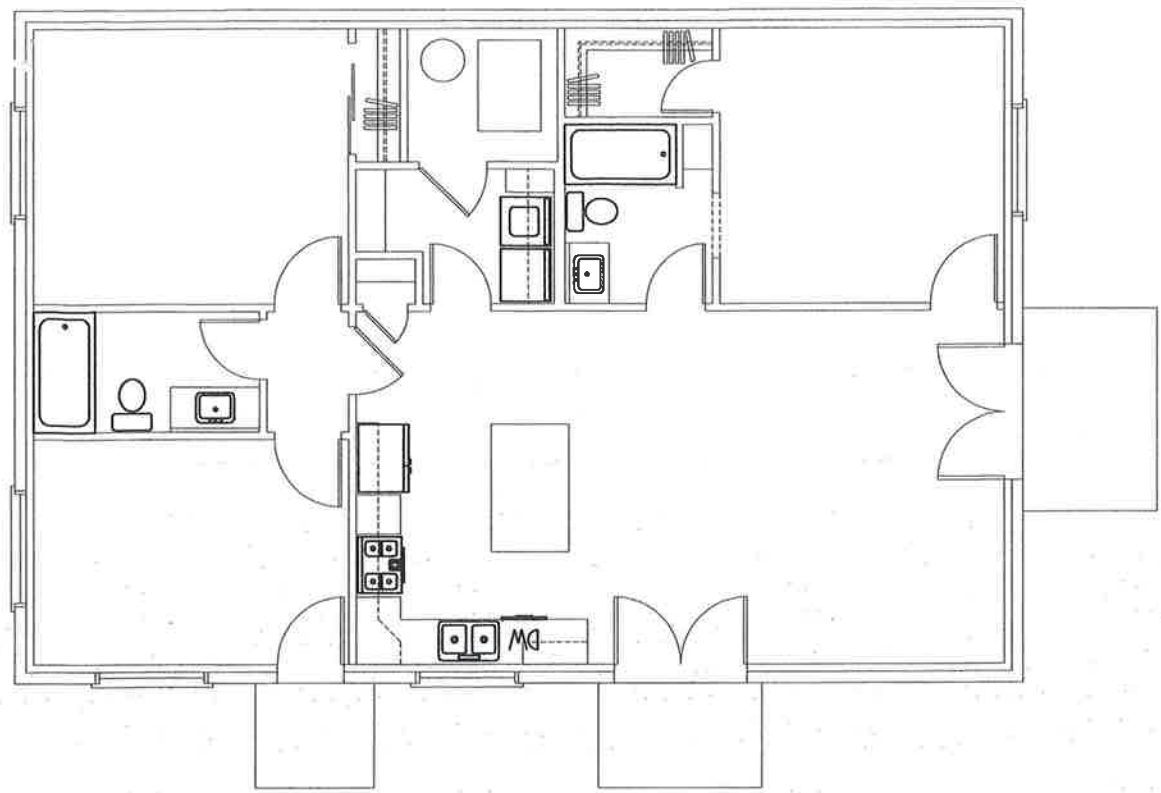
A SINGLE FAMILY RESIDENCE  
**THE CHENAULT RESIDENCE**  
4529 COUNTY ROAD 660 (RTE) COLORADO 81069

|          |           |
|----------|-----------|
| DATE:    |           |
| REDLINES | 12-2022   |
| REDLINES | 1-22-2023 |
| REDLINES | 3-30-2023 |

|             |            |
|-------------|------------|
| SCALE:      | AS NOTED   |
| DRAWN BY:   | D. WEHRICH |
| CHECKED BY: | D. WEHRICH |
| DATE:       | MARCH 2023 |
| JOB #       |            |

**2.0**  
of  
**FOUR**





MAIN STORY ELEC. PLANS

SCALE: 1/4" = 1'-0"

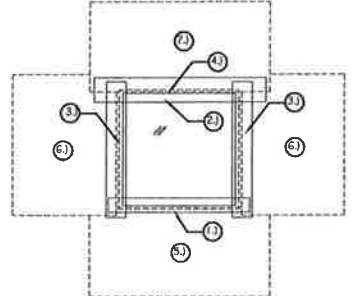
- FAN
- FAN W LIGHT
- EXHAUST FAN- CEILING MOUNT- EXTERIOR VENTING
- SMOKE DETECTOR- ALL INTERCONNECTED HARDWARE W/ BATTERY BACKUP
- RECESSED CAN LIGHT (DOWNLIGHT)
- RECESSED CAN LIGHT (DOWNLIGHT) @ BATHROOMS OVER TUB/SHOWER TO BE VAPOR PROOF OR WATER PROOF
- CEILING MOUNTED FIXTURE
- EXTERIOR CORNER SPOT LIGHTING W/ SWITCHES LOCATED BY CONTRACTOR
- WEATHERPROOF 110 VOLT EXTERIOR OUTLET
- 110 VOLT DUPLEX OUTLET W GROUND FAULT INTERRUPT
- 110 VOLT DUPLEX WALL OUTLET
- WALL SWITCH
- WALL SWITCH W DIMMER
- WALL SWITCH W MORE THAN ONE LOCATION
- PHONE TELEPHONE JACK
- CABLE JACK, FOR TV.

PANEL BOARD SCHEDULE

1000240 10 20 CIRCUIT MAIN BREAKER

|   |    |         |    |         |
|---|----|---------|----|---------|
| A | 1  | 20 AMPS | 2  | 30 AMPS |
| B | 3  | 20 AMPS | 4  | 30 AMPS |
| C | 5  | 20 AMPS | 6  | 20 AMPS |
| A | 7  | 20 AMPS | 8  | 20 AMPS |
| B | 9  | 20 AMPS | 10 | 20 AMPS |
| C | 11 | 20 AMPS | 12 | 20 AMPS |
| A | 13 | 20 AMPS | 14 | 20 AMPS |
| B | 15 | 20 AMPS | 16 | 20 AMPS |
| C | 17 | 20 AMPS | 18 | 20 AMPS |
| A | 19 | 20 AMPS | 20 | 20 AMPS |
| B | 21 | 20 AMPS | 22 | 20 AMPS |
| C | 23 | 20 AMPS | 24 | 20 AMPS |
| A | 25 | 20 AMPS | 26 | 20 AMPS |
| B | 27 | 20 AMPS | 28 | 20 AMPS |
| C | 29 | 20 AMPS | 30 | 20 AMPS |
| A | 31 | 20 AMPS | 32 | 20 AMPS |
| B | 33 | 20 AMPS | 34 | 20 AMPS |
| C | 35 | 20 AMPS | 36 | 20 AMPS |
| A | 37 | 20 AMPS | 38 | 20 AMPS |
| B | 39 | 20 AMPS | 40 | 20 AMPS |

- 1) INSTALL 9" SILL FLASHING WITH OUTSIDE 4 1/2" LEFT LOOSE TO ALLOW FOR COUNTER FLASHING
- 2) PLACE WINDOW AND SCREW IT INTO WALL
- 3) INSTALL 9" JAMB FLASHING THAT EXTENDS 9" ABOVE AND BELOW WINDOW
- 4) INSTALL HEAD FLASHING THAT EXTENDS 9" PAST JAMB FLASHING
- 5) INSTALL PROTECTIVE PAPER UNDER THE UN-ADHERED 4 1/2" OF SILL FLASHING
- 6) INSTALL PROTECTIVE PAPER OVER JAMB FLASHING AND PROTECTIVE PAPER INSTALLED UNDER SILL FLASHING IN STEP 5
- 7) INSTALL PROTECTIVE PAPER OVER HEAD FLASHING AND PROTECTIVE PAPER OVER JAMB INSTALLED IN STEP 1



WINDOW FLASHING DET

TYPICAL COMMON WALL CONSTRUCTION

5/8" TYP. 4" C.W. SIZING ONLY (NO GUARD OR 1" O.C. WALL CRESTING ON 2x4 SILL) WOOD STUDS @ 16" O.C. IN MAX. 2 1/2" SILL SIZ. 5" INSULATION BATT @ 16" O.C. SILL AND JAMB

TYPICAL FLOOR CONSTRUCTION

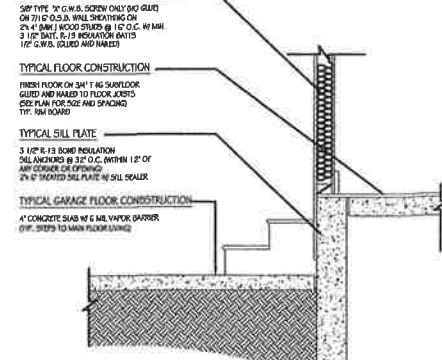
FRESH FLOOR ON 2x12 SILL/DOOR GUARD AND NAIL TO FLOOR JOISTS (SEE PLAN FOR SILL AND DRAPING) TYP. 5/8" SILL BOARD

TYPICAL SILL PLATE

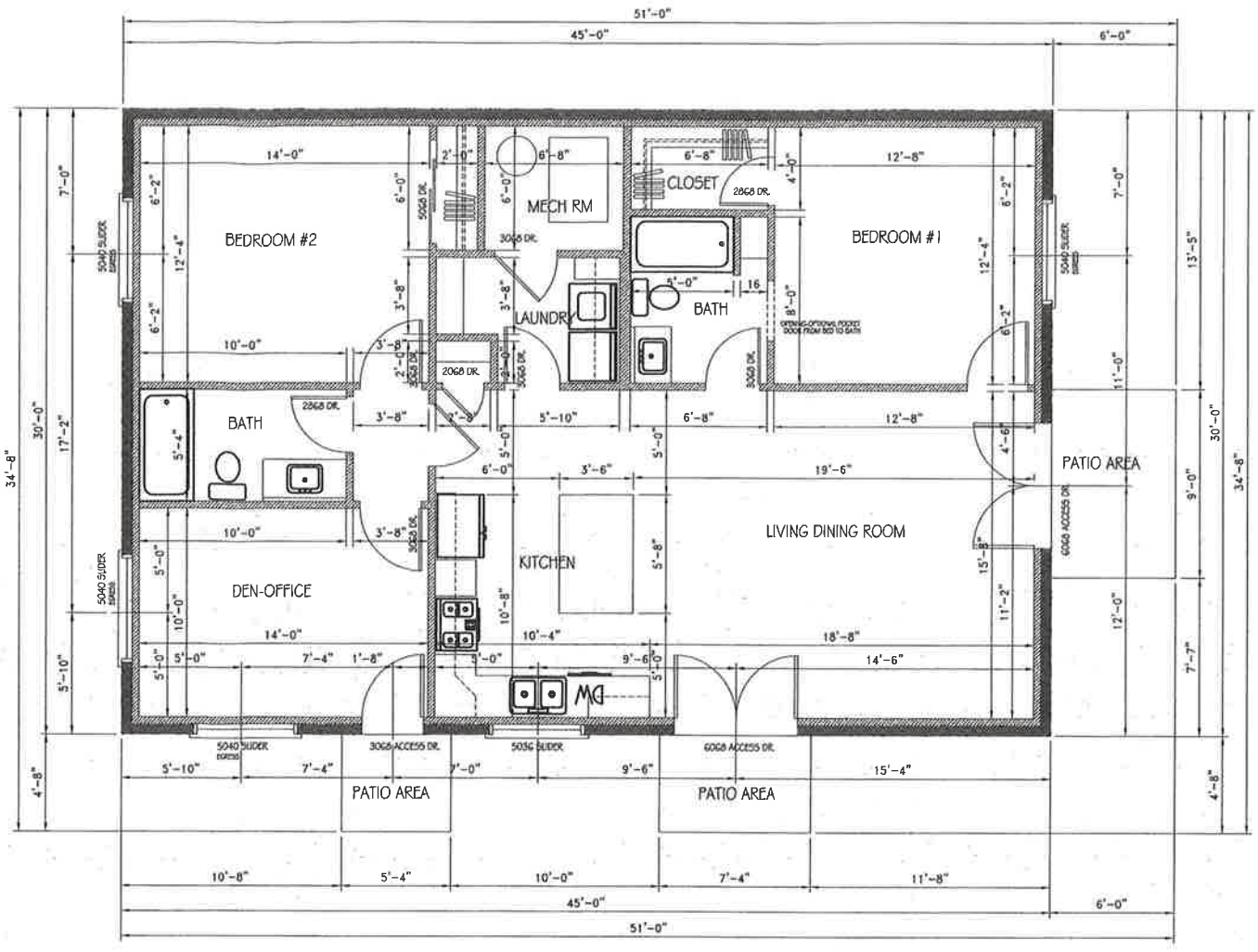
3 1/2" x 6 1/8" SILL REGULATION SILL ANCHORS @ 32" O.C. WITHIN 12" OF ANY CORNER OR ENDING 2x4 SILL BOARD IN SILL SEALER

TYPICAL GARAGE FLOOR CONSTRUCTION

4" CONCRETE SLAB W/ 6 MIL VAPOR BARRIER (SEE STEPS TO MAIN FLOOR LIVING)



PORCH/PATIO STEP DOWN



MAIN STORY FLOOR PLANS

SCALE: 1/4" = 1'-0"

- TYP. FOUNDATION WALL (8")
- TYP. EXTERIOR WALL (2x 4"/2x 6")
- TYP. INTERIOR WALL (2x 4")

BASE PLAN (SQUARE FOOTAGES)

|                   |                |
|-------------------|----------------|
| MAIN LEVEL LIVING | 1350.0         |
| PATIO AREAS       | SEE CONTRACTOR |
| TOTAL UNDER ROOF  | 1350.0         |

- GENERAL CONSTRUCTION NOTES
- 1) DO NOT SCALE DRAWINGS. VERIFY DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS.
  - 2) CONTRACTOR SHALL VERIFY DIMENSIONS OF ANY EXISTING OR CONTIGUOUS WORK BEFORE PROCEEDING WITH WORK.
  - 3) ALL STRUCTURAL MEMBER SHALL HAVE THE FOLLOWING ARE UNLESS NOTED OTHERWISE: SOUTHERN PINE, #2 (2x 4 & 1x 6).
  - 4) ALL FOOTINGS, FOUNDATIONS, SLABS SHALL BE ON MATERIAL OF COMPACTED SOIL HAVING A MIN. BEARING OF 2500 P.S.F. AS DETERMINED AND VERIFIED BY A REGISTERED TESTING LABORATORY.
  - 5) ALL CONSTRUCTION SHALL BE PERFORMED BY A LICENSED MASONRY OR CONCRETE WORKER IN ACCORDANCE WITH ALL CODES, REGULATIONS, ORDINANCES AND RESTRICTIONS HAVING JURISDICTION.
  - 6) ALL VEGETATION AND ORGANIC MATTER SHALL BE REMOVED FROM PLACING ALL EMB. FOUNDATION SHALL BE ON EXISTING COMPACTED OR UNCOMPACTED SOIL WITHIN 12" OF SURFACE AND TO 24" DEPTH AS PER A.S.T.M. PROCTOR TEST OR ACCEPTED PRACTICE TEST.
  - 7) FOOTINGS SHALL HAVE BEEN REINFORCED FOR A SOLE BEARING PRESSURE OF 2,500 P.S.F. SOIL BORINGS MUST BE MADE BY A TESTING LABORATORY TO DETERMINE THE ASSUMED SOIL BEARING CAPACITY.
  - 8) CONCRETE SHALL HAVE A SLAB OF 2" W/ 4" AND A MIN. COMPRESSIVE STRENGTH IN 28 DAYS AS FOLLOWS: FLOORING AND SLAB ON GRADE 2,500 P.S.I. COLUMNS AND BEAMS 3,000 P.S.I. CONCRETE CURING FOR ALL FORMS IN PLACE CONCRETE SHALL BE AS FOLLOWS: FLOORING 7 DAYS ON GRADE 28 DAYS ON WALL. IF CONTROL OF SLAB CURING PERFORMED BY THE CONTRACTOR SHALL BE AS FOLLOWS: 1) FRESH CONCRETE SHALL BE COVERED WITH 1" OF 100% MOISTURE CURING MEMBRANE OR EQUIVALENT OF A.S.T.M. AG-115 SPECIFICATION FOR NEW CONCRETE. 2) FRESH CONCRETE SHALL BE COVERED WITH 1" OF 100% MOISTURE CURING MEMBRANE OR EQUIVALENT OF A.S.T.M. AG-115 SPECIFICATION FOR NEW CONCRETE. 3) FRESH CONCRETE SHALL BE COVERED WITH 1" OF 100% MOISTURE CURING MEMBRANE OR EQUIVALENT OF A.S.T.M. AG-115 SPECIFICATION FOR NEW CONCRETE. 4) FRESH CONCRETE SHALL BE COVERED WITH 1" OF 100% MOISTURE CURING MEMBRANE OR EQUIVALENT OF A.S.T.M. AG-115 SPECIFICATION FOR NEW CONCRETE.
  - 9) REINFORCING STEEL SHALL CONFORM TO THE REQUIREMENTS OF A.S.T.M. AG-115 SPECIFICATION FOR NEW CONCRETE. 10) REINFORCING STEEL SHALL CONFORM TO THE REQUIREMENTS OF A.S.T.M. AG-115 SPECIFICATION FOR NEW CONCRETE. 11) REINFORCING STEEL SHALL CONFORM TO THE REQUIREMENTS OF A.S.T.M. AG-115 SPECIFICATION FOR NEW CONCRETE. 12) REINFORCING STEEL SHALL CONFORM TO THE REQUIREMENTS OF A.S.T.M. AG-115 SPECIFICATION FOR NEW CONCRETE.
  - 10) UNLESS NOTED OTHERWISE SHALL CONFORM TO A.S.T.M. A 305, W/ 30" ON EACH SIDE OF BEARING WALLS AND 30" FROM CENTER OF FOOTING AND REINFORCING OF REINFORCING FOOTING.
  - 11) CONCRETE MAJOR UNIT SHALL BE LOAD BEARING TYPE CONFORMING TO A.S.T.M. C-800 MIXTURE SHALL CONFORM TO A.S.T.M. C-800 TYPE III.
  - 12) ALL ROOF JOISTS, TRUSSES, OUTRIGGERS, BEAMS AND GIRDERS SHALL BE SECURED WITH APPROVED GALVANIZED METAL TIE CLIPS, ANCHORS TO THE BEAMS OR GIRDERS PERMITTED.
  - 13) ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
  - 14) PROVIDE SCHED. AND TYPED STEEL SHIP CHANNELS AND GULLY CHANNELS FOR DESIGNATED APPROVAL, PRIOR TO FABRICATION OF TRUSSES. PROVIDE SPLIT GULLY CHANNELS FOR ALL TRUSSES AND GIRDERS.
  - 15) USE SINK HOLE ONE FOR EXTERIOR ROOF DRAIN.
  - 16) ALL STUCCO SEPARATOR COATS SHALL BE ALLOWED 24 HOURS DRYING PERIOD. (SEE PLAN)
  - 17) SUBMITTALS OF CERTIFIED PRODUCTS AND OR MATERIALS BY WRITER REQUEST TO AND SUBJECT TO APPROVAL BY OWNER/ENGINEER.
  - 18) VERIFY ALL WORK IN ACCORDANCE WITH ALL CODES AND ORDINANCES.

- ELECTRICAL NOTES
- 1) PROVIDE GFI CIRCUITS FOR ALL BATHROOM, GARAGE, EXTERIOR OUTLETS AND AS SHOWN ON PLANS. ALL WIRE SHALL BE THIN GAUGE UNLESS NOTED OTHERWISE. VERIFY WITH ELEC. CONTRACTOR.
  - 2) PROVIDE DISCONNECT SWITCH OF SIZE AS REQUIRED BY LOAD AND LIMITS.
  - 3) NOTE USED
  - 4) ELECTRIC FITTINGS FROM AND APPLIANCES SHALL BE U.L. APPROVED AS PER CONTRACT.
  - 5) PROVIDE NEW FLEXIBLE GENERAL DUTY SAFETY SWITCHES AT REC. EQUIPMENT, AND AT PUMPS NOT VISIBLE FROM CIRCUIT BREAKER AND AS PER MANUFACTURER'S RECOMMENDATIONS.
  - 6) ALL WIRING SHALL CONFORM TO NATIONAL ELECTRICAL CODE AND ALL APPLICABLE ORDINANCES AND LAWS.
  - 7) REMOTE IN ACCORDANCE
  - 8) ALL BREAKER PANELS TO BE EQUIPPED WITH CODE APPROVED SURGE PROTECTOR.
  - 9) OUTDOOR LANDSCAPE LIGHTING AND ANCHOR BOXES TO BE COORDINATED WITH LANDSCAPE CONSULTANT OR OWNER.
  - 10) STEREO PRACTICE, OUTLET, UNIT, ETC. TO BE COORDINATED WITH INDIVIDUAL CONSULTANT/OWNER OR OWNER.
  - 11) ALL THERMOSTAT LOCATIONS TO BE COORDINATED AND APPROVED BY JOB SUPERVISOR PRIOR TO CONSTRUCTION.
  - 12) ALL CENTRAL VACUUM SUCT PORT LOCATIONS TO BE COORDINATED AND APPROVED BY JOB SUPERVISOR PRIOR TO INSTALLATION.
  - 13) INCOMING ELECTRIC SERVICE LOCATIONS TO BE COORDINATED WITH LOCAL TRANSFORMER LOCATION.
  - 14) FIELD VERIFY LOCATION OF F.P.L. ELECTRIC METER AND DISCONNECTS, COORDINATE LOCATION OF METER OUTLETS, METER BOXES, METERBOXES, AND OVERCURRENT DEVICES, WITH ACTUAL ELECTRIC SERVICE LOCATIONS.
  - 15) MINIMUM NUMBER OF RECEPTACLES PER DEMAND CIRCUIT SHALL BE SIX (6).
  - 16) ALL RECEPTACLES WITHIN 6'-0" OF SINK SHALL BE GFI OUTLETS.
  - 17) ALL CLOSET LIGHTING SHALL MEET AND COMPLY WITH NEC 410.6.
  - 18) SMOKE DETECTORS SHALL BE HARD WIRED AND TEST SELF CONTAINED BATTERY BACKUP. DETECTORS SHALL BE INSTALLED 5-6 FT. ABOVE FINISHED FLOOR AND SHALL BE MAINTAINED.
  - 19) SECURITY SYSTEM AND WIRING DISTRIBUTION PANEL FOR TELEPHONE, TV, CABLE, AND SATELLITE COAX TO BE LOCATED IN LAUNDRY ROOM WALL. APPROX. 20" H/12" W. ENCLOSURE DEPOSITED 120 VOLT 15 AMP CIRCUIT BREAKER PANEL. (SEE SPECIFICATIONS)

DISCREPANCIES MAY EXIST BETWEEN THE PLANS OR BETWEEN THE PLANS AND FIELD CONDITIONS. PLEASE REVIEW THE ENTIRE SET OF CONSTRUCTION PLANS AND NOTIFY THE DESIGNER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. FAILURE TO DO SO WILL PLACE THE ENTIRE RESPONSIBILITY FOR RESOLUTION UPON THE CONTRACTOR. © JAD80023

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A SINGLE FAMILY RESIDENCE  
**THE CHENAULT RESIDENCE**  
4529 COUNTY ROAD 660 (RVE) COLORADO 81069

DATES:

|          |           |
|----------|-----------|
| REDLINES | 12-2022   |
| REDLINES | 1-22-2023 |
| REDLINES | 3-30-2023 |

SCALE: AS NOTED

DRAWN BY: D. WEHRICH

CHECKED BY: D. WEHRICH

DATE: MARCH 2023

JOB #

3.0 of FOUR









## Board of County Commissioners

RESOLUTIONNO: 23—

A RESOLUTION FOR ALTERING AND AMENDING HUERFANO COUNTY BOARD OF COUNTY COMMISSIONERS RESOLUTION 08-10 PERTAINING TO BUILDING CONSTRUCTION FOR ALL UNINCORPORATED AREAS OF HUERFANO COUNTY, COLORADO.

**WHEREAS**, the City of Walsenburg, the Town of La Veta, and the Huerfano County Board of County Commissioners have entered into an intergovernmental agreement, and created a Regional Building Authority with the intent to adopt as nearly identical building codes as possible and,

**WHEREAS**, the Huerfano County Regional Building Authority have recommended each jurisdiction adopt as appropriate and with any necessary amendments the 2021 edition of the building codes published by the International Code Council, Inc. 500 New jersey Avenue, NW, 6<sup>th</sup> floor, Washington, DC 20001-2070 and,

**WHEREAS**, pursuant to C.R.S. § 30-28-201 the Huerfano County Board of County Commissioners by Resolution 86-12 adopted Uniformed Codes on April 16, 1986 and, amended said code to the International Code Council, LLC by Resolution 05-10 on June 29, 2005 and, Resolution 08-10 June 8, 2008 and, Resolution 17-12 January 31, 2017 and,

**WHEREAS**, pursuant to C.R.S. § 30-28-204 the Huerfano County Board of County Commissioners desire to amend said codes, and a public hearing was held on **January 31, 2017** after being publicized in the World Journal on **January 5, 2017**.

**Now THEREFORE, BE IT RESOLVED**, by the Board of County Commissioners that said amended code shall be known as the Huerfano County Building Code and that said code shall apply to all areas of unincorporated Huerfano County.

**BE IT FURTHER RESOLVED**, the building standards adopted within resolution 17-13 are rescinded in their entirety and the following codes are here by adopted by reference, with the additions, insertions, attachments, deletions and changes prescribed in exhibits "A" all to have the same force and effect as if set forth herein in every particular, for the purpose of protecting the public health, safety and general welfare:

International Building Code "IBC" 2021 edition, including appendix chapters C, & F;  
International Residential Code "IRC" 2021 edition, including appendix chapters F, J, R, & S;  
International Mechanical Code "IMC" 2021 edition;  
International Energy Conservation Code "IECC" 2021 edition

International Fuel Gas Code "IFGC" 2021 edition

American National Standard on the design and Construction of Log Structures "ICC 400-2012"

## **EXHIBIT A**

### **1. Conflict Between Codes**

In the event there shall be a conflict between the provision of the Huerfano County Building Code and Huerfano County's specific Land-use Regulations, Huerfano County's Land-use Regulations shall prevail.

### **2. Savings Clause**

If any part, section, subsection, sentence, clause or phrase of this Resolution or of the code adopted hereby is for any reason held to be invalid, such decision shall not affect the validity of the remaining sections of this Resolution or of the referenced code in any part, section, subsection, sentence, clause or phrase thereof; and the Huerfano County Board of County Commissioners hereby declares that it would have passed this Resolution and adopted said code in each part, section, subsection, sentence, clause or phrase thereof, irrespective of the fact that any one or more parts, sections, subsections, sentences, clauses or phrases be declared invalid.

### **3. References in other Resolutions**

All references to the building codes in the various Resolutions of Huerfano County, or in any other Huerfano County Regulation whatsoever, shall be interpreted to refer to the Huerfano County Building Code as amended and adopted by this Resolution.

### **4. Repeal**

Any or all resolutions or parts of resolutions of Huerfano County, Colorado, in conflict or inconsistent herewith are hereby repealed, provided however, that the repeal of any resolution or parts of resolutions of Huerfano County shall not revive any other section of any resolution or resolutions here before repealed or superseded.

### **5. Matters Not Affected by Repeal**

The repeal of resolutions and parts of resolutions of a permanent or general nature shall not affect any offense committed or act done, any penalty or forfeiture incurred, or any contracts right or obligation, established prior to the time when said resolution and parts of resolutions are repealed.

### **6. Amendments / Deletions**

References in all Codes to electrical requirements; change to read: All installation and repairs must comply with the adopted Rules and Regulations of the Colorado State Electrical Board, pursuant to C.R.S. § 12-34-104 (2) (a).

References in all Codes to plumbing and fuel gas piping requirements; change to read: All installation and repairs must comply with the State of Colorado Model Plumbing and Fuel Gas Code of Standards, determined by the Colorado State Examining Board of Plumbers.

References in all Codes to Building Official; change to read: Huerfano County Code Enforcement Officer.

Construction of agricultural structures on lands without a one-or-two family dwelling shall only be allow within an agricultural zoning district, and must meet the requirement of the IBC Appendix "C".

**IBC, IRC, IMC, & IECC 101.1 Title.** *Change to read:* These Regulations shall be known as the Huerfano County Building Code, hereinafter referred to as "the code".

**IBC, IRC, IMC, & IECC 103.1 Creation of enforcement agency.** *Change to read:* Administration and enforcement of this Code and all related and secondary codes are hereby delegated to the Huerfano County Land-Use Department. Wherever in this code the phrase "building official" appears, it shall be construed to refer to the Huerfano County Code Enforcement Officer.

**IBC 105.1.1 Annual Permit.** *Delete:*

**IBC 105.2 Work exempt from permit.** *Delete Number ten (10):*

**IRC R106.1 Submittal documents.** *Add;*

- 106.1.5 Applications.** An application for building permits shall be made to the County Building Inspector on forms provided by Huerfano County.
- 106.1.6 Sanitation.** Pursuant to C.R.S. §25-10-112 (1) and section 11.05 of the Huerfano County Land Development Guide the applicant must show proof of an approved sanitation system.
- 106.1.7 Water.** Show proof of adequate water pursuant to Huerfano County Board of County Commissioners Resolution No: 10-11.
- 106.1.8 Right to develop.** Applicant must show proof of property ownership. If the applicant is different than the property owner, they must hold a Huerfano County Contractor license that is appropriate for the type of construction being permit and have written authorization to act as the owner's agent. Proof of ownership must include a complete property description, unless otherwise approved by the building inspector.
- 106.1.9 Exterior elevations.** Show each view. Show vertical dimensions and heights. Show openings and identify materials and show lateral bracing system, where applicable. Show dimensions and schedules.
- 106.1.10 Foundation plan.** Show all foundations and footings. Indicate size, locations, thickness, materials and strengths, and reinforcing. Show all imbedded anchoring such as anchor bolts, hold-downs, post bases, etc. Show dimensions for the location and size of all components delineated on the foundation plan. Each set of foundation plans shall meet the requirements of Huerfano County Board of County Commissioner Resolution No: 09-16.
- 106.1.11 Floor plan.** Show all floors including basements. Show all rooms, with their use. Overall dimensions and location of all structural elements and openings. Show all doors and windows. Provide door and window schedules. All fire

resistance rated assemblies, area of refuge, occupancy separations; fire blocking and draft stopping shall be shown. Show dimensions for the size of all rooms and the locations of other components delineated on the floor plans.

- 106.1.12 Framing plan.** Show all structural and non-structural members, their size, methods and details of attachment, connections, location and materials for floor, roof, and wall section. When required by this code show all fire rated assemblies and fire resistant penetrations.

**IRC R106.2 & IBC 107.2.5 Site Plan.** *Change to read;* The site plan shall include the following items:

1. In all zoning districts (with the exception of agricultural) a site improvement survey, seal by a Colorado Registered Land Surveyor is required in addition to items two through ten.
2. A legible sheet or map, drawn to an appropriate scale, as accepted by the Building Inspector, showing the location, height and approximate dimensions or envelope location of each existing and proposed structure, and the uses to be contained within the existing and/or proposed structures.
3. The existing and proposed building setbacks and the building area with reference to property lines, highway, street or road rights-of-way, watercourses, and other natural and historic features of the site.
4. The location, size, number of spaces and surfacing of any existing or proposed parking and loading areas.
5. The location of any existing and proposed roads, streets, footpaths, traffic devices, and driveways.
6. The location, if any, and pertinent characteristics of any existing or proposed signs, lighting fixtures, and landscaping.
7. The location of any easements on the property.
8. The anticipated location of all water, sewage disposal, electrical, telephone, and other utilities.
9. All finished grading and storm water runoff.
10. A vicinity map locating the proposed site in relationship to the surrounding area within 500 feet of the boundaries.

**IBC 108 & IRC R107.1 Temporary Structures.** *Change to read:* Permits for temporary structures and uses shall be issued in accordance with Section 1.12 of the Huerfano County Zoning Regulations.

**IMC 106.5.3 IFGC 106.6.3 Fee refunds.** *Delete #2 & #3*

**IBC 109.2, IRC R108.2 and IMC 106.5.2 Schedule of Permit Fees.** *Change to read;* On buildings, structures, or alterations requiring a permit, a fee for each permit shall be paid as required, in accordance with attachment II of this code. Fee schedules are established by the Huerfano County Board of County Commissioners, and are subject to change by resolution.

**IBC 109.3 & IRC R108.3 Building Permit valuations.** *Change to read;* Building valuation will be set in accordance with Attachment I of this code. Building valuations are established by the Huerfano County Board of County Commissioners, and are subject to change by Resolution.

**IBC & IRC R105.6 Fee Refunds.** *Change to read;* The Building Official shall not authorize refunding of any building permit fee, except upon written request by the property owner within 30 days of the day the permit was issued.

**IBC 113.3 & IRC R112.3 Board of Appeals Qualifications.** *Change to read:* The board of appeals shall consist of members of the Huerfano County Regional Building Authority.

**IRC R301.2 Climatic and geographic design criteria.** *Add the following criteria to Table R301.2 (I)*

| GROUND SNOW LOAD | WIND DESIGN |                     |                     |                        | SEISMIC DESIGN CATEGORY |
|------------------|-------------|---------------------|---------------------|------------------------|-------------------------|
|                  | SPEED MPH   | TOPOGRAPHIC EFFECTS | SPECIAL WIND REGION | WIND-BORNE DEBRIS ZONE |                         |
| See Attachment 3 | 130         | NO                  | YES                 | NO                     | B                       |

| SUBJECT TO DAMAGE FROM |                  |                   |                     |   |                            |                    |  |
|------------------------|------------------|-------------------|---------------------|---|----------------------------|--------------------|--|
| WEATHERING             | FROST LINE DEPTH | TERMITE           | WINTER DESIGN TEMP. | ICE BARRIER UNDERLAYMENT REQUIRED       | FLOOD HAZARDS              | AIR FREEZING INDEX | MEAN ANNUAL TEMP.                                    |
| Severe                 | See Attachment 4 | Moderate to Heavy | 0° F                | YES (apply to elevations above 6200 ft) | See Section 1612.3 amended | 2000               | Walsenburg 51.3° F<br>Rye 46.6° F<br>Westcliffe 42.2 |

**IBC 1608.2 Ground snow loads.** *Changed to read;* reference IRC R301.2 as amended.

**IBC 1609.1.1 Determination of wind loads.** *Changed to read;* reference IRC R301.2 as amended.

**IBC Table 602.1 H Fire-resistance rating requirements.** *Add foot note h;* Where the distance between aircraft hangers is five feet or greater, construction is of non-combustible materials, and there are no penetrations in the structures adjacent wall the fire-resistance rating for the exterior walls is zero hours.

**IRC R302.13 Fire Protection of floors.** *Delete.*

**IRC R313.2 One-and two-family dwellings automatic fire systems.** *Delete.*

**IRC 608.1 General ICF construction.** *Change the last sentence to read:* When ACI 318 or the provisions of this section are used to design insulation concrete form walls, project drawings, typical details and specification are not required to bear the seal of the architect or engineer responsible for design, unless otherwise required by the Colorado State law, Huerfano County Resolution, or the Huerfano County Code Enforcement Officer.

**IBC 705.3 Building on the same lot.** *Add exception #3 to read:* This section shall not apply to S-1 Aircraft Hangers installed at the Huerfano County Airport.

**IRC Table N1102.1.2, IECC Table R402.1.2, & ICC 400-2012 table 305.3.1.2 Insulation and Fenestration Requirements by Component.** *Change by amending climate zone 5 as follows;*

- Ceiling R-value: from R-49 to R-38.
- Wood framed walls cavity insulation: from R-20 to R19.
- Basement wall R-value: from 15/19 to 10/13.
- Crawl space wall R-Value: from 15/19 to 10/13.

**IRC N1102.4.1.2 & IECC R402.4.1.2 Testing.** *Delete.*

**IRC N1103.3.5 & IECC 403.3.5 Building Cavities.** *Change to read:* Building framing cavities shall not be used as supply ducts.

**IRC M1901.2.1 Cooking Appliances** *Add;* Commercial gas cooking appliances are allowed as long as the entire kitchen follows the 2021 IBC Codes for commercial kitchens.

**IECC C401.3 Thermal Envelope Certificate.** *Change to read;* shall be completed by the Building Official or their designee to be included on the Certificate of Occupancy.

**IECC R402.2.1 Ceilings with attics.** *Delete*

**IECC 2021 Table R402.1.2 Maximum Assembly U-Factors and Fenestration Requirements.** *Change to IECC 2018 Table R402.1.2*

**IECC 2021 Table R402.1.3 Insulation Minimum R-Values and Fenestration Requirements by Component.** *Change to IECC 2018 Table R402.1.3*

**IECC R 402.2.3 Eave Baffle.** *Delete*

**IECC R 402.2.4 Access Hatches and Doors.** *Delete*

**IECC R 402.2.7 Floors.** *Delete* **IECC R 402.2.8 Bas** **IECC R 402.2.10 Crawl Space Walls.** *Delete*  
**ement Walls.** *Delete*

**IECC R 402.2.8 Basement Walls.** *Delete*

**IECC R 402.2.9 Slab-on-grade floors.** *Delete* everything but the first sentence

**IECC R 402.2.10 Crawl Space Walls.** *Delete*

**IECC R 402.3.5 Sunroom and Heated Garage fenestration.** *Delete*

**IECC R 402.4.1.1 Building Thermal Envelope Installation.** *Delete*

**IECC R 402.4.1.2 Building Thermal Envelope Testing.** *Delete*

**IECC R 403.1.1 Programmable Thermostat.** *Delete*

**IECC R 403.3.2 Ducts Located in Conditioned Spaces.** *Change to IECC 2018 Code*

**IECC R 403.6.3 Mechanical Ventilation Testing.** *Delete*

**7. Public Welfare Statement**

This resolution is deemed by the Board of County Commissioners for Huerfano County to be in the best interest of the public health, safety, morals, and general welfare and the safety, protection, and sanitation of such dwellings, buildings and structures as affected thereby.

THIS RESOLUTION WAS INTRODUCED, READ, AND ADOPTED ON THIS 7<sup>th</sup> Day of February 2017

BOARD OF COUNTY COMMISSIONERS  
OF HUERFANO COUNTY, COLORADO

By \_\_\_\_\_