



HUERFANO COUNTY BUILDING AUTHORITY BOARD AGENDA

July 18, 2024 at 3:00 PM

Commissioners Meeting Room - 401 Main Street, Suite 309, Walsenburg, CO 81089

Office: 719-738-3000 ex 200 | Fax: 719-738-3996

Join via Google Meet: meet.google.com/jtn-scsu-ecp | Meeting ID: jtn-scsu-ecp

1. PLEDGE OF ALLEGIANCE
2. ROLL CALL
3. MINUTES REVIEW
 - a. Minutes From June 2024 Meeting
4. APPOINTMENTS
5. NEW BUSINESS
 - a. BP-24-101 Fortney-Alder Alternative Build
 - b. Carolyn Youngers-Contractor's License Refund
6. OLD BUSINESS
 - a. Update on Spanish Peaks Inn
 - b. Update J & O Roofing
 - c. Update Timberline Custom Builders
 - d. Update Keith Parsons-Turkey Ridge Follow-up
7. DISCUSSION
8. ADJOURNMENT
9. UPCOMING MEETINGS
 - a. HCBA Meeting August 1, 2024



HUERFANO COUNTY BUILDING AUTHORITY BOARD MINUTES

June 06, 2024 at 3:00 PM

Commissioners Meeting Room - 401 Main Street, Suite 309, Walsenburg, CO 81089

Office: 719-738-3000 ex 200 | Fax: 719-738-3996

Join via Google Meet: meet.google.com/jtn-scsu-ecp | Meeting ID: jtn-scsu-ecp

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Meeting started at 3:04 pm.

1. PLEDGE OF ALLEGIANCE

2. EnterTextHere

3. ROLL CALL

Present was Chairperson Mary Norby

Board Members: Bruce Allen, Frank Kirkpatrick, and Ryan Gies (via google)

Guests in the audience:

Michelle Glenn

William Tanner

Guests on Google:

Heather from the Best Western Rambler

Minesh Patel

Rajesh Patel

Kasie Smith (Briefly then left from Adept Solutions)

4. MINUTES REVIEW

a. May 16, 2024 Minutes

Motion made by Bruce Allen and second by Ryan Gies to approve the minutes. Motion passed three yea and one abstain.

5. APPOINTMENTS

6. NEW BUSINESS

a. Michelle Glenn-

Motion made by Bruce Allen and second by Frank Kirkpatrick to approve a foundation permit for the alternative build and bring back to the HCBA the plans for the inside of the building and the roof. Motion passed unanimously.

b. Everything Evergreen-

Motion made by Bruce Allen and second by Ryan Gies to approve the Building Permit BP 24-067 once double the permit fee is needed. Double the permit fee which is \$398.18. Motion passed unanimously.

c. Bob Sleeper-

Motion made by Frank Kirkpatrick and second by Bruce Allen for a one year extension on BP 20-056, with a six month update of progress to the HCBA.

d. Engineer Fraud

Kyla presented the investigation and research on the fraud going on with the engineer stamp. HCBA appreciated the research and presentation by Kyla and would like to keep informed as this progresses.

7. OLD BUSINESS

a. Patel-

No motion made, HCBA Board would like the fence posts to be placed no more than 10 feet apart and have this done no later than Wednesday June 11, 2024. The Patel's need to be in contact with the HC Building Department with updates.

b. J&O Roofing-

No new information to report to HCBA at this time.

c. Tanner

Motion made by Frank Kirkpatrick and second by Bruce Allen to allow Mr. Tanner to apply for a Building Permit under the 2015 I.R.C. codes for a remodel with the cost of materials, have an engineer look at the foundation and give his report to the HC Building Department prior to obtaining the Building Permit.

8. DISCUSSION

Mary read the resignation letter from Bruce Allen resigning from the Huerfano County Building Authority Board effective June 30th, 2024, as he is moving out of state. (Thank you for being a part of our Board).

Discussion about taking Board Member Lynette Bushaw off of the HCBA as she had not been attending HCBA meetings or being in contact with HC Building Department. What is the process to remove from the HCBA Board.

9. ADJOURNMENT

Motion made by Frank Kirkpatrick and second by Bruce Allen to end the meeting at 5:04pm. Motion passed unanimously.

10. UPCOMING MEETINGS

Huerfano County Land Use Department
 401 Main Street, Suite 304, Walsenburg, CO 81089
 Office: 719-738-1220, Ext. 103
 To Request an Inspection: 719-738-1220, Ext. 104



Item 5a.

BUILDING PERMIT APPLICATION

PROPERTY OWNER INFORMATION		CONTRACTOR INFORMATION	
Name:	Fortney, Shannon + James Alder	Name:	Renegade Resolutions - James Alder
Mailing Address:	1411 Hwy 50 W #1033	Mailing Address:	1411 Hwy 50 W #1033
City, State, Zip:	Pueblo, CO 81008	City, State, Zip:	Pueblo, CO 81008
Phone No. 1/2:	478 213-8948 / 402 440-3794	Phone No. 1/2:	402 440-3794
E-Mail Address:	rinceptions@gmail.com	E-Mail Address:	rresolutions1@gmail.com

TYPE	OCCUPANCY	INTENDED USE
<input checked="" type="checkbox"/> New construction	<input checked="" type="checkbox"/> Site built residential	<input checked="" type="checkbox"/> Single or multi family dwelling
<input type="checkbox"/> Remodel	<input type="checkbox"/> Manufactured residential	<input type="checkbox"/> Residential garage/utility
<input type="checkbox"/> Addition	<input type="checkbox"/> Residential accessory building	<input type="checkbox"/> Agricultural animal husbandry
<input type="checkbox"/> Demolition	<input type="checkbox"/> Commercial	<input type="checkbox"/> Commercial (give details in scope)
<input type="checkbox"/> In kind replacement	<input type="checkbox"/> Agricultural	<input type="checkbox"/> Industrial (give details in scope)
<input type="checkbox"/> Extension of building permit	<input type="checkbox"/> Industrial	<input type="checkbox"/> Storage (note stored materials)

SCOPE OF WORK: Site build shipping container home

SITE ADDRESS, LEGAL DESCRIPTION, OR PARCEL NUMBER: Tract 61, Unit 2 - Eagle Flat

ZONING DISTRICT: AGRICULTURAL RURAL RESIDENTIAL URBANIZING RESIDENTIAL INDUSTRIAL COMMERCIAL

SUBDIVISION (IF APPLICABLE): _____

SETBACKS (FEET FROM PROPERTY LINES): _____ FRONT _____ REAR _____ SIDES

DESCRIBE EXISTING STRUCTURES ON SITE: N/A

SUBMITTAL CHECKLIST – THE FOLLOWING DOCUMENTS TO BE SUBMITTED WITH YOUR APPLICATION:

<input type="checkbox"/> Deed or Proof of ownership	<input type="checkbox"/> Sanitation and water	<input checked="" type="checkbox"/> Exterior Elevations
<input checked="" type="checkbox"/> Foundation Plan (stamped)	<input checked="" type="checkbox"/> Floor Plan	<input checked="" type="checkbox"/> Framing Plan
<input checked="" type="checkbox"/> Engineered Truss Plan (stamped)	<input checked="" type="checkbox"/> Mechanical Plan	<input checked="" type="checkbox"/> Site Plan
<input checked="" type="checkbox"/> Owner/Builder Liability Form (if applicable)	<input type="checkbox"/> Bid or quote (for remodels/alterations)	<input type="checkbox"/> Radon Mitigation

HOA Name: _____ or Property not located in an HOA/POA.

HOA/POA has reviewed and approves of the proposed construction. (If HOA is registered with the Secretary of State)

HOA Representative: _____ HOA Contact info: _____

HOA Signature: _____ HOA Comments: _____

Applicant Signature: Shannon + James Alder Submittal Date: 7/8/24

BELOW THIS LINE FOR USE BY BUILDING DEPARTMENT ONLY

OCCUPANCY:	BUILDING SIZE: (SQUARE FEET)	COST OF BUILDING (PER SQUARE FEET)	VALUATION:
PAYMENT OF FEES:		TOTAL VALUATION:	
COUNTY RECEIPT NO: _____	FEE MODIFIER: _____	x0.0115	
PERSONAL CHECK NO: _____	PERMIT FEE: _____		
	PLAN REVIEW FEE: _____		
	TOTAL PERMIT FEE		

FLOODPLAIN? YES NO
 CONDITIONS: OTHER PERMITS: _____

APPROVAL:

 HUERFANO COUNTY BUILDING INSPECTOR
 DATE: _____

COUNTY BUILDING PERMIT No: BP-24-101 PRIMARY OCCUPANCY CLASS: TYPE OF CONSTRUCTION:

ACCOUNT FILE MAINTENANCE

INQUIRY ONLY

Acres

Item 5a.

Account Name 2045461 Flag R LEGAL DESCRIPTION
 FORTNEY, SHANNON & JAMES ALDER TRACT 61, UNIT 2-EAGLE FLAT
 Address 1 1411 HWY 50 W #1033 RANCH 369-101
 Address 2 395-224 TO 228 426312
 Address 3 427019
 Address 4 PUEBLO
 State/Zip CO 81008 0000

Property
 Map Num 28-4987-124-02-061
 Prev Name1 HUDELSTON INVESTMENTS LLC
 Prev Name2 VALDEZ, RICHARD F & DEBORAH J

VALUES-ASSD TAXABLE EXEMPT
 LAND 383

Use 4147 City 00000 Subdv 0156
 Anlys 000 Tax/Dst 150 Zone BQ
 Exempt Late Filing Advrt Y Bnkrupt N
 ACRES: Master Legal Value
 00000003969 000 3969

TOTALS 383
 Ignore PP \$ 14508 Exemption N
 NOV # NOD #

CHANGES
 Parcel On 11/15/2023 By COHUPTON
 Name On 11/15/2023 By COHUPTON
 Values On 05/27/2009 By ELISHA
 Legal On 06/24/2022 By COHUPTON

CMD1-Value Change
 CMD2-Legal Change
 CMD3-Both Changes
 CMD4-Sales Change
 CMD22-Abort Entry
 HELP-More Details

PROPERTY INFORMATION:

PROPERTY OWNER: James Alder
 OWNER ADDRESS: 1411 Hwy 50 W., Pueblo, CO 81008
 ASSESSOR SCHEDULE:
 PROPERTY ADDRESS: To be Determined
 PROPERTY AREA: 39.7 acres
 BUILDING FOOTPRINT AREA: 2,028.3 Sq.Ft.
 LEGAL DESCRIPTION: LOT 16, EAGLE FLAT RANGES, FILING NO. 2,
 WITHIN PORTION OF THE S1/2 OF SECTION 12
 TOWNSHIP 27 S, RANGE 68 W OF THE 6TH
 PRINCIPAL MERIDIAN, HUERFANO COUNTY, CO

SQUARE FOOTAGES:

Main Floor	2,028.3
Upper Floor	766.6
Basement	318.5
Total	3,113.4



Overall Site Plan

1 : 100



SCALE= 1:100



Anderson Drafting and Design

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CONTAINER HOME

r Inceptions

Sheet Title:

Site Plan

Job Number:

22-45

Sheet:

A1

Issue Record:

Submittal Set 5/30/2023



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CONTAINER HOME

r Inceptions

Sheet Title:

Main Floor Plan

Issue Record:

Submital Set 5/30/2023

Job Number:

22-45

Sheet:

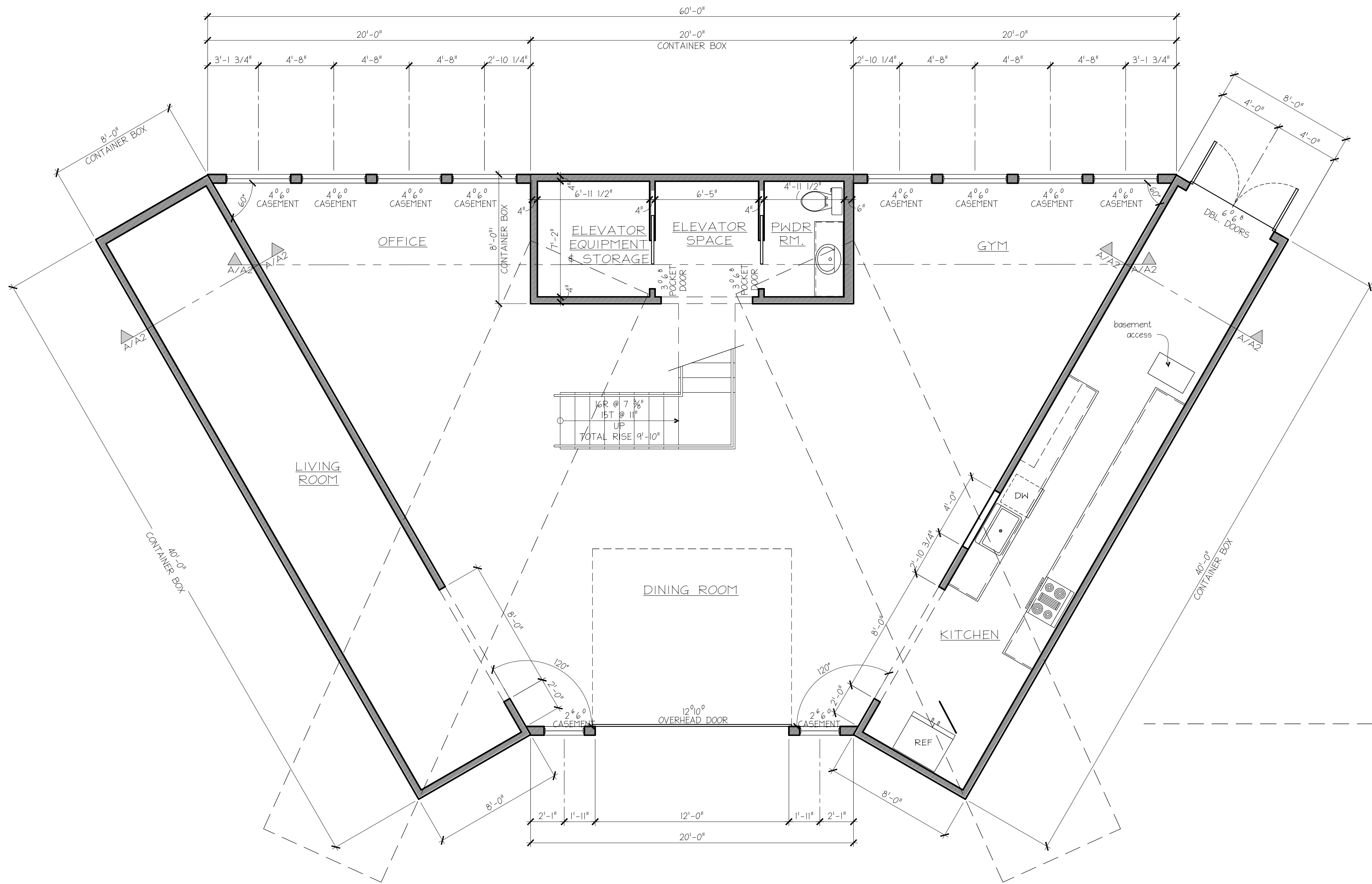
A2

GENERAL NOTES:

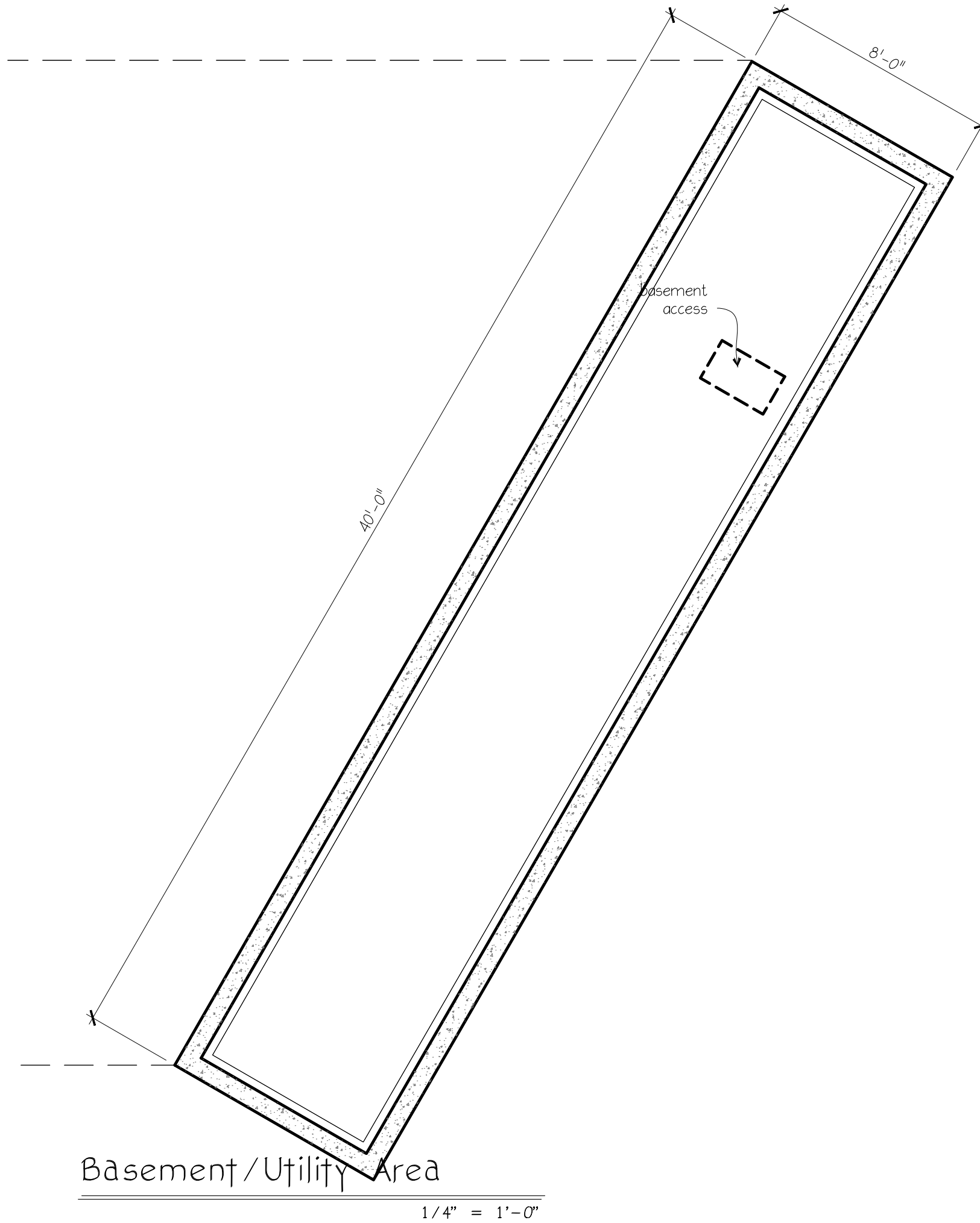
1. Exterior dimensions face of conc. to face of conc.
2. Interior dimensions face of gyp. to face of gyp.
3. Exterior walls to be 2x6 wd. studs at 16" o.c. w/ exterior sheathing w/ house wrap, exterior finish per owners choice. Interior exterior walls 1/2" gyp. bd. tape, texture, and paint.
4. Container walls to be furred-out w/ 2x4 wd. studs at 24" o.c. w/ r-13 batt insulation and 1/2" gyp. bd., tape, texture, and paint. (at plumbing walls use water resistant gyp. bd.)
5. Coordinate windows w/owner prior to ordering.
6. Interior walls to be 2x4 wd. studs at 24" o.c. w/ 1/2" gyp. bd. tape, texture, and painted.

SQUARE FOOTAGES:

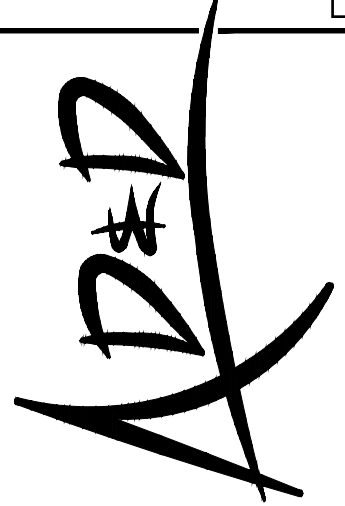
Main Floor	2,028.3
Upper Floor	766.6
Basement	318.5
Total	3,113.4



Main Floor Plan
1/4" = 1'-0"



Basement/Utility Area
1/4" = 1'-0"



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CONTAINER HOME

r Inceptions

Sheet Title:
Upper Floor Plan

Job Number:

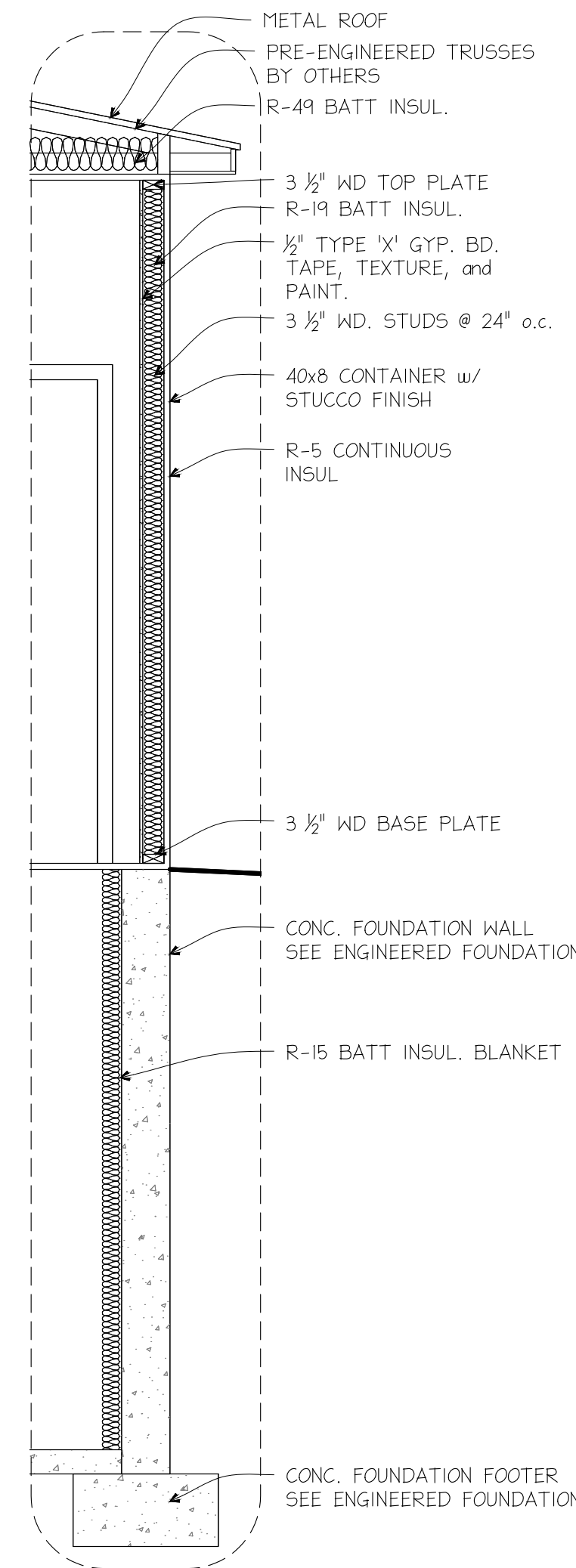
22-45

Sheet:

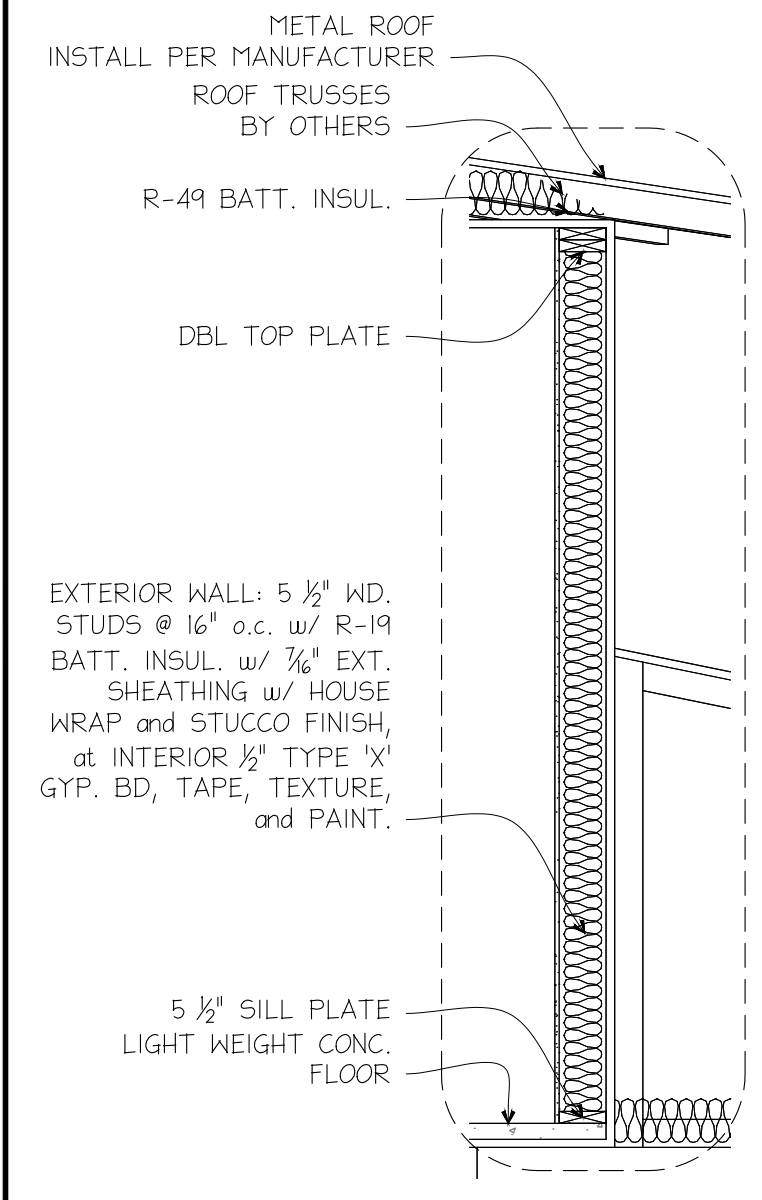
A3

GENERAL NOTES:

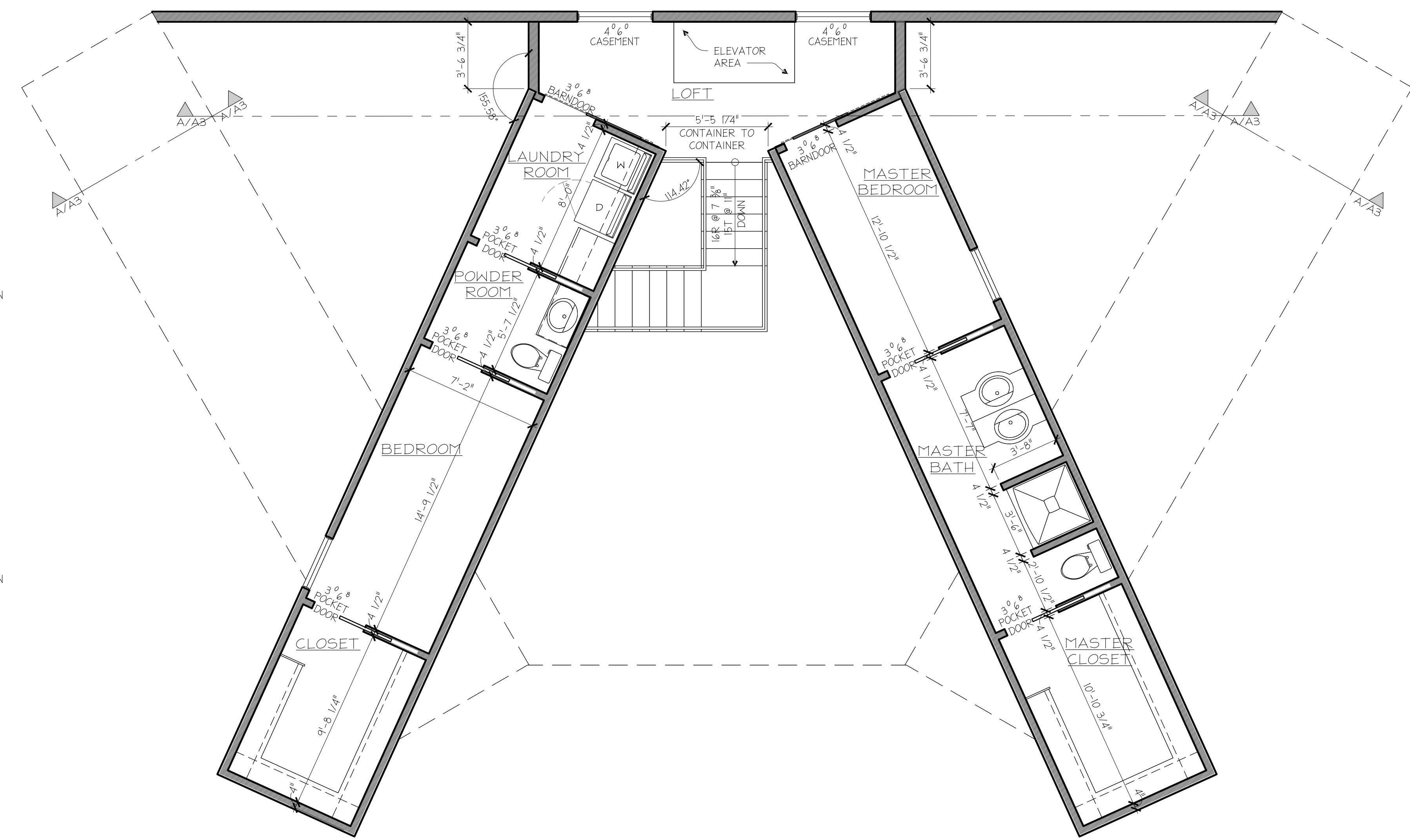
1. Interior dimensions face of gyp. to face of gyp.
2. Exterior walls to be 2x6 wd. studs at 16" o.c. w/ exterior sheathing w/ house wrap, exterior finish per owners choice. Interior exterior walls 1/2" gyp. bd. tape, texture, and paint.
3. Container walls to be furred-out w/ 2x4 wd. studs at 24" o.c. w/ r-15 batt insulation and 1/2" gyp. bd., tape, texture, and paint, R-5 continuous insulation w/ finish per owners choice. (at plumbing walls use water resistant gyp. bd.)
4. Coordinate windows w/owner prior to ordering.
5. Interior walls to be 2x4 wd. studs at 24" o.c w/ 1/2" gyp. bd. tape, textured, and painted.



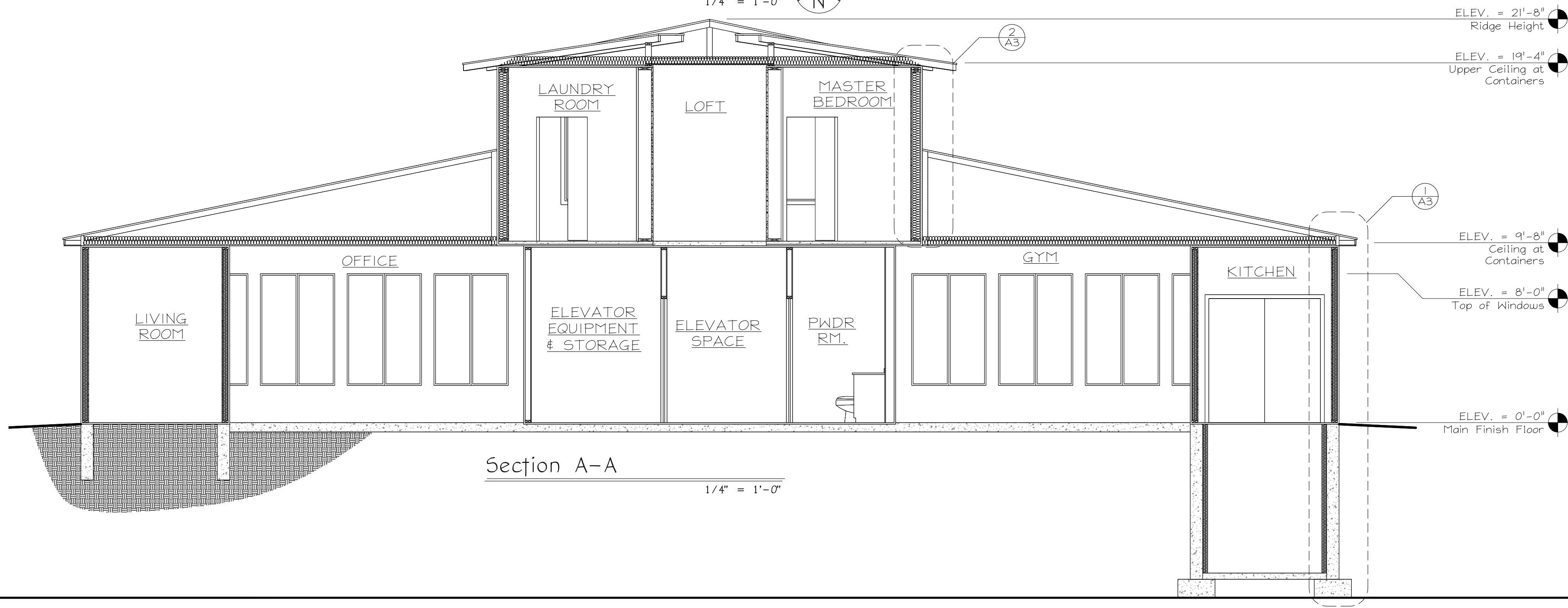
1 Wall Section
1/2" = 1'-0"



2 Wall Section
1/2" = 1'-0"



Upper Floor Plan
1/4" = 1'-0"



Section A-A
1/4" = 1'-0"

22-45 Plan Set.dwg - 5/30/2023



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CONTAINER HOME

r Inceptions

Sheet Title: Elevations

Job Number:

22-45

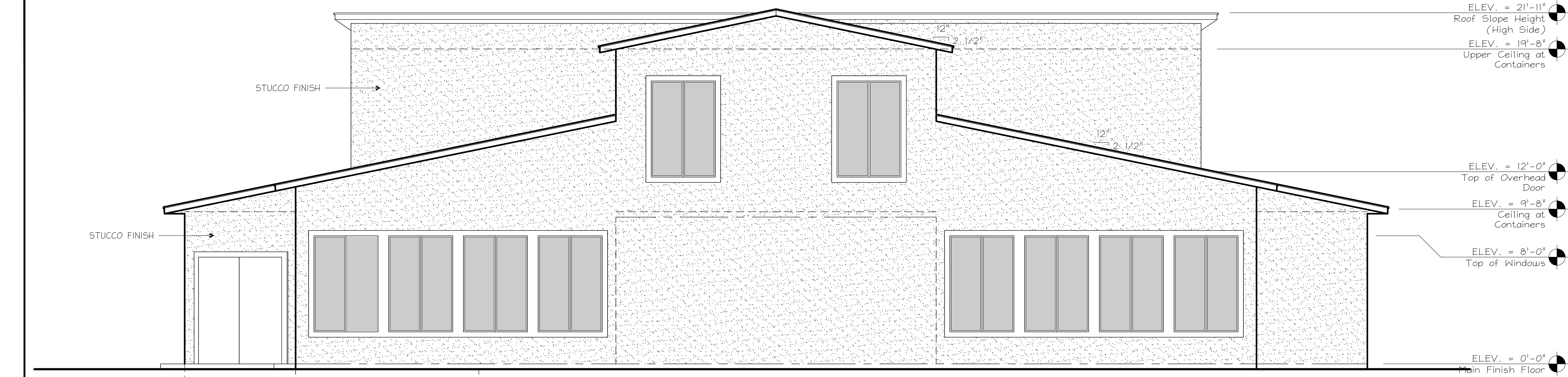
Sheet:

A4

Issue Record:

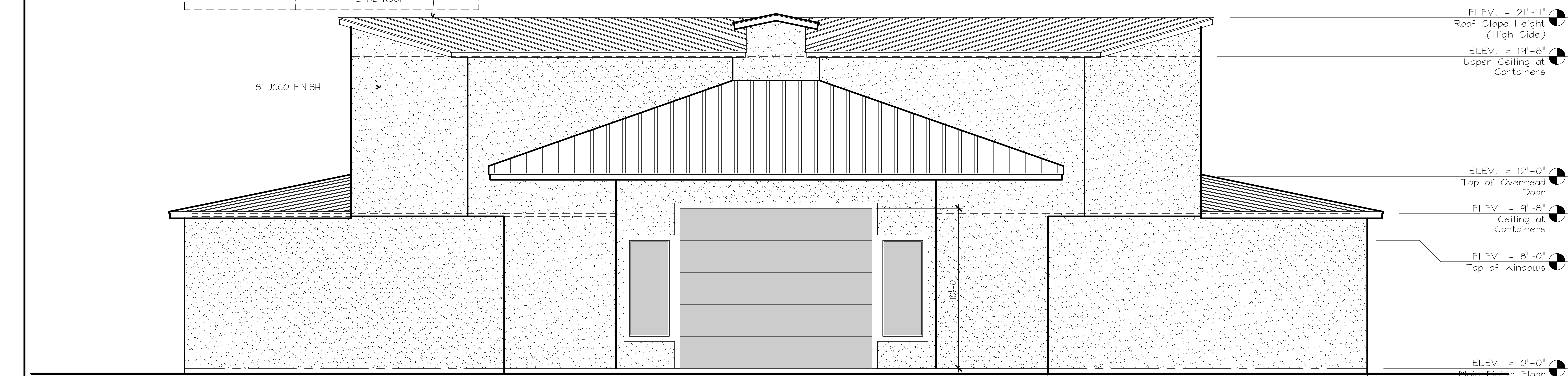


Submittal Set 5/30/2023



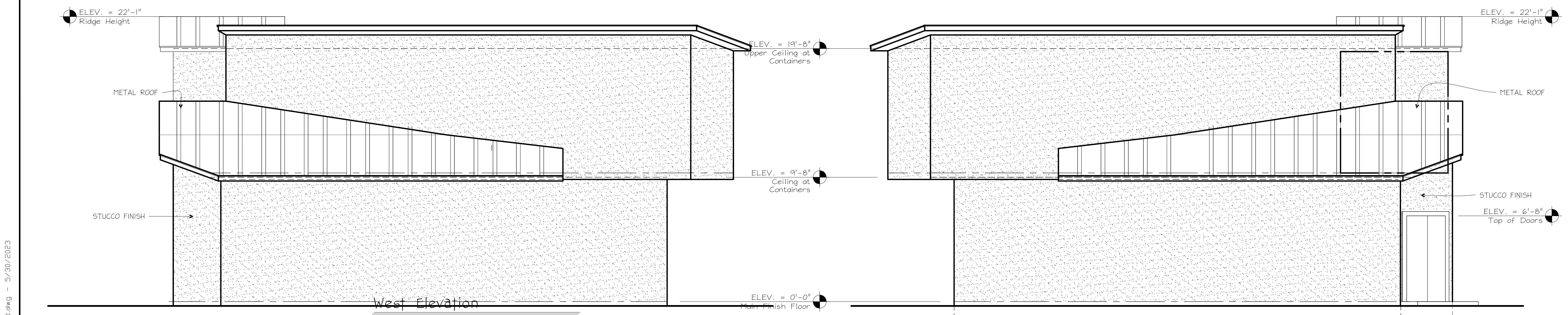
East Elevation

1/4" = 1'-0"



West Elevation

1/4" = 1'-0"

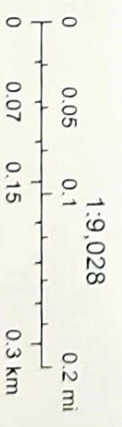


Huerfano County



7/3/2024, 2:47:28 PM

- Parcels
- Streams
- Highways
primary



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The information on this map was derived from digital databases created by Huerfano County GIS. Care
Public Viewer

**Huerfano County
Regional Building Authority Board
401 Main Street, Suite 304
Walsenburg, Colorado 81089
719-738-1220, Ext. 103**



PROPERTY OWNER / BUILDER LIABILITY FORM

The Huerfano County Regional Building Authority Board (HCRBA) allows for the issuing of building permits to property owners. Owners should carefully consider the liabilities and responsibilities they will be accepting under the HCRBA Contractor Licensing and Building Code Regulations.

By signing this document, the property owner understands and accepts the following:

1. It is the responsibility of the building permit applicant to ensure all subcontractors hold at a minimum a current Type "D" license approved by the HCRBA, with the exception of State Licensed Electricians, Plumbers, and Manufactured Home Set persons.

Failure to do this may result in the issuing of a Stop Work Order.

Please note: The Town of La Veta requires state licensed contractors to register with the Town before performing any work.

2. It is imperative that owners ascertain subcontractors have the required insurance in place to protect their investment. Please contact your insurance agent for guidance with this very important subject matter.
3. The property owner acting as a Permit Applicant is responsible for correcting all code deviations as required, including the work done by subcontractors.
4. It shall be the duty of the permit applicant to cause the work to remain accessible and exposed for inspection purposes. Neither the building official nor the jurisdiction shall be liable for expenses entailed in the removal or replacement of any material required to allow inspection.

Shannon Fortney James L. Alder
Property Owner(s) Name (please print)

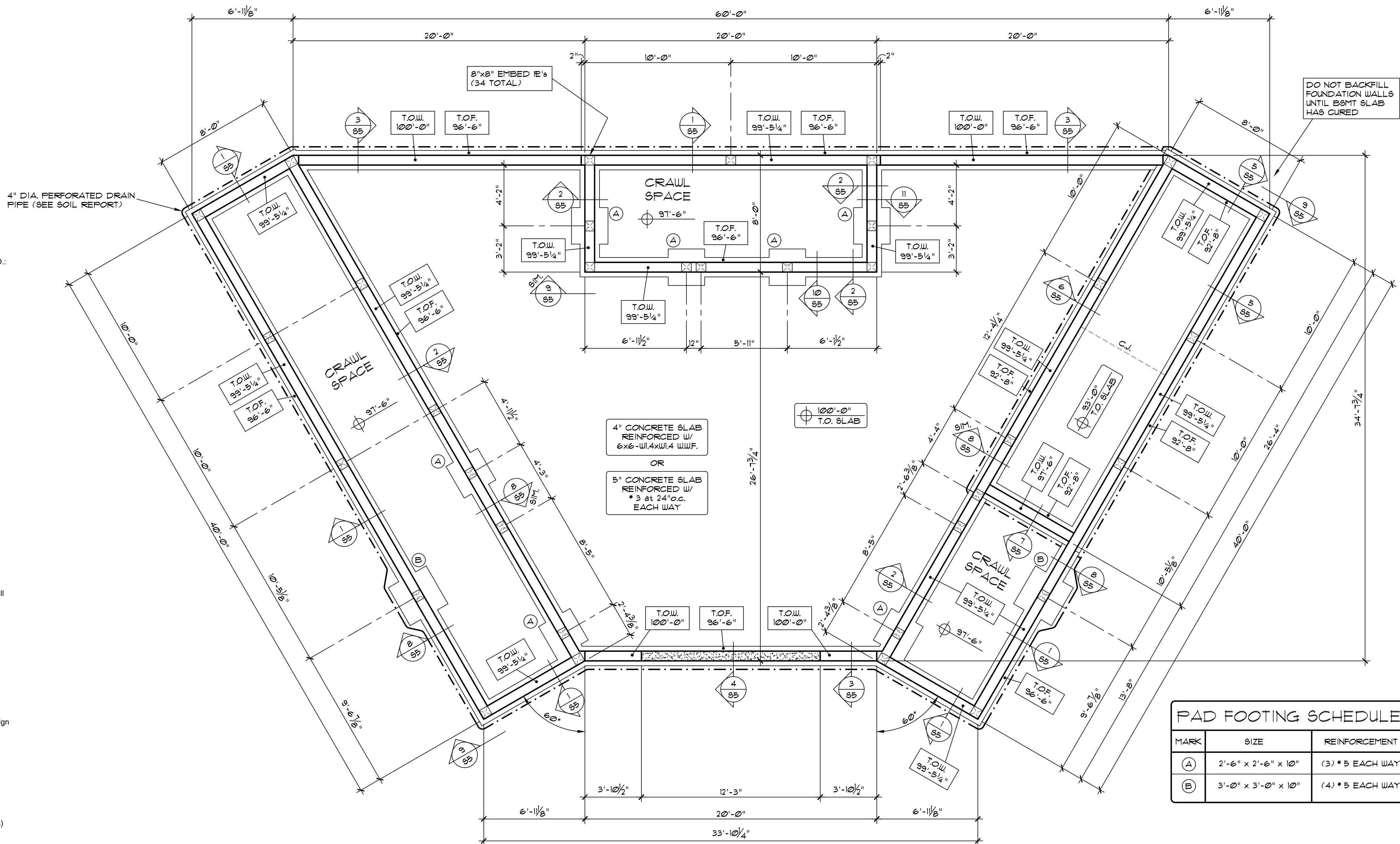
Shannon Fortney James
Property Owner(s) Signature

7/8/24
Date

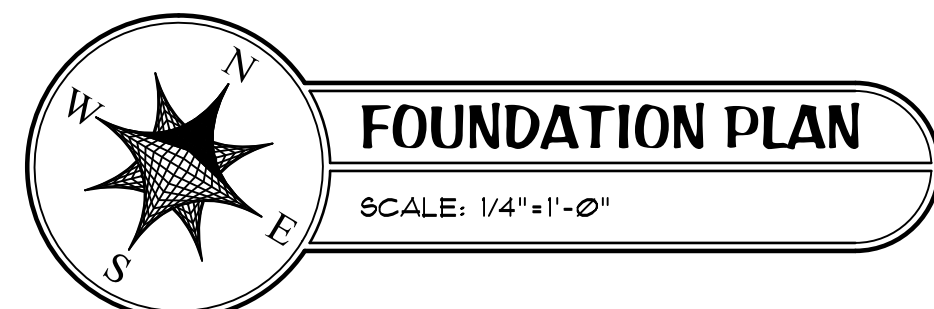
Building Inspectors: File original form with project file. A copy should be provided to the property owner.

GENERAL NOTES

- This project is designed in accordance with the International Residential Code (IRC) 2015 Edition, (and IRC 2021).
- Dead Loads:
 - Floors 15 psf
 - Roof 15 psf (20 psf at trusses)
- Live Loads:
 - Floors 40 psf
 - Roof (snow) 35 psf
 - Wind 115 mph, Exposure 'C'
- Foundation:
 - The structure shall be founded on spread footings placed on a minimum 48" of structural fill with a maximum bearing pressure of 1,500 psf.
 - Refer to soil report 23-0167, dated April 24, 2023 (prepared by A Better Soil Solution) for additional information.
 - Foundation walls are designed to be supported at the top and bottom by floor construction. Walls shall not be back filled until such floors are in place.
 - Minimum frost depth of footings shall be 34" (top of finished grade to bottom of footing). Field verify all top of footing elevations.
- Concrete:
 - Concrete has been designed and shall be constructed in accordance with the American Concrete Institute "Building Code Requirements for Structural Concrete" (ACI 318). All concrete shall be of stone aggregate, unless noted otherwise.
 - Minimum 28 day compressive strength shall be:
 - Slabs 4000 psi
 - All other concrete 3000 psi
 - Reinforcing shall be new billet steel ASTM A615, grade 60, except bars to be welded shall be ASTM A706, grade 60. Provide corner bars to match all horizontal reinforcing. Provide (2) #5 around all openings in concrete and extend bars 24" past edges of openings.
 - Lap Splices shall be Class B. Use the following lap lengths, U.N.O.:
 - No. 6 bars and smaller:
 - 57 bar diameters for 3,000 psi concrete.
 - 50 bar diameters for 4,000 psi concrete.
 - Reinforcing placement: Provide chairs, standees, additional reinforcement, and accessories necessary to support reinforcement at position shown. Support of reinforcement on form ties, brick, or other unacceptable material will not be allowed.
 - Minimum concrete cover:
 - Concrete cast against and permanently exposed to earth 3 inches
 - Concrete exposed to earth or weather:
 - #6 bar and larger 2 inches
 - #5 bar and smaller 1.5 inches
 - Concrete not exposed to earth or weather 3/4 inches
 - Anchor rods (Anchor bolts) shall be grade 36, conforming to ASTM F1554, and shall have a minimum concrete embedment of 7" with a 2" hook, unless noted otherwise.
 - Exterior slabs/sidewalks shall be 4" thick (minimum) reinforced with 6x6-W1.4xW1.4 w.w.f.
- Steel:
 - Structural steel shall be detailed and erected in accordance with the American Institute of Steel Construction Specifications and Code of Standard Practice. Minimum yield strength:
 - 50 ksi for square/rectangular HSS (ASTM A500, GR. C)
 - 50 ksi for wide flange members (ASTM A992)
 - 36 ksi for all other members (ASTM A36)
 - Connections:
 - Unfactored connection capacities are noted on drawings. Use standard frames beam connections meeting the requirements of the "Manual of Steel Construction-ASD", latest edition. Use 3/4" diameter, A325-N bolts, minimum, snug-tightened; or ASTM F1852 tension-control (TC) bolts.
 - Minimum welds per AISC Specification and AWS D1.1, not less than continuous 3/16" fillet, E70XX electrodes, unless noted otherwise. Welding of reinforcing to embeds shall be done to develop 1.5 times the yield strength of the reinforcing.
 - Headed Anchor Studs (H.A.S.):
 - Shall conform to AWS D1.1 and shall be automatically end welded in the shop.
 - Shall be Nelson H4L or equal.
 - Column base plates that require grout shall bear on non-shrink grout.
- Wood:
 - Framing lumber shall be (U.N.O.):
 - Studs Hem-fir Stud grade
 - Headers Hem-fir #2
 - Joists/Rafters Hem-fir #2
 - Wood construction shall be in conformance with the "National Design Specification for Wood Construction", and Chapter 23 of the IBC.
 - Simpson Strong-Tie connectors are specifically required to meet the structural calculations of these drawings. All nail holes shall be filled to produce the maximum hanger capacity. See Simpson for solid web blocking behind certain hangers that bear on steel beams. (1-800-999-5099)
 - Stainless steel (or galvanized) connectors, fasteners and anchors shall be used with preservative-treated woods.
 - Exterior walls shall be fully sheathed with 7/16" oriented strand board (O.S.B.), or approved equivalent.
 - Plywood web joists and Versa-lam LVL (2" IE - noted V.L. on plans) shall be manufactured by Boise Cascade, or approved equivalent. Joists and beams shall not be modified without the written consent of the Structural Engineer.
 - Roof trusses shall be designed by a registered professional engineer (Colorado). Truss deflections shall not exceed:
 - Total load: L/180, nor 1 inch.
 - Live load: L/240, nor 3/4 inch.
 Calculations and shop drawings bearing the seal and signature of the design engineer shall be reviewed by the Structural Engineer prior to truss fabrication. Shop drawings shall show location of all trusses, connection plate capacity, and the size and grade of lumber used. Truss manufacturer shall provide blocking and bridging as required for stability, and bearing blocks if needed. Truss supplier shall provide all hangers and connectors needed.
- Intermodal Shipping Containers:
 - Shall be designed and tested in accordance with ISO Standard 1496, Series 1 Freight Containers - Specification and Testing.
 - Shall meet the provisions of Section 3115 of the 2021 IBC.
 - Shall bear an existing data plate containing the following:
 - Manufacturer's name or identification number
 - Date manufactured
 - Safety approval number
 - Identification number
 - Maximum operating gross mass or weight (lbs)
 - Allowable stacking load for 1.8 G (lbs)
 - Transverse racking test force (Newtons)
 - Valid maintenance examination date
 - Under-floor ventilation: the space between the bottom of the floor joists and the earth, except spaces occupied by basements and cellars, shall be provided with ventilation in accordance with Section 1202.4.
 - Field verify ALL noted dimensions and sizes relating to containers prior to construction.
- Drawing Coordination:
 - Dimensions on these Structural drawings shall be verified with the Architectural drawings and any discrepancy shall be brought to the Architect's attention.
 - DRAWINGS SHALL NOT BE SCALED. Written dimensions shall take precedence over scaled measurements.
 - Shop drawings shall be prepared and drawn by the fabricator. Copying these drawings for shop drawing use will not be permitted.
 - Any and all material substitutions shall be approved by the Structural Engineer prior to construction.
 - Valentine Engineering's electronic or digital seal or signature is effective only to that version of this document as originally published by Valentine Engineering. Valentine Engineering is not responsible for any subsequent modification, corruption, or unauthorized use of such document. To verify validity or applicability of the seal or signature, contact Valentine Engineering.

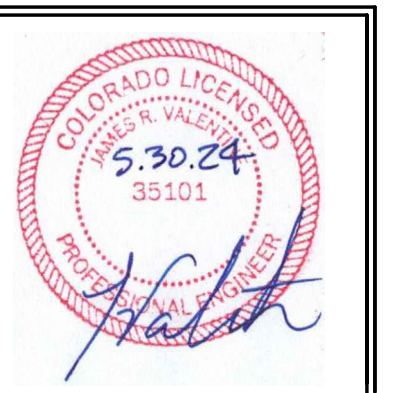


MARK	SIZE	REINFORCEMENT
(A)	2'-6" x 2'-6" x 10"	(3) #5 EACH WAY
(B)	3'-0" x 3'-0" x 10"	(4) #5 EACH WAY



NOTES: A) PROVIDE 1" DEEP CONTROL JOINTS IN SLABS (14'-0" O.C. MAX.)
 B) SEAL CRAWL-SPACES W/ CLASS I VAPOR RETARDER.

FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS RELATING TO CONTAINERS PRIOR TO CONSTRUCTION



FORTNEY RESIDENCE
 Lot 61, Unit 2
 Eagle Flat Ranch
 Huerfano County, CO

VALENTINE ENGINEERING, LLC
 1108 N. Main Street
 Pueblo, Colorado 81003 (719) 542-9230
 www.VALENTINEENGINEERING.com

FOUNDATION PLAN - GENERAL NOTES	
Project:	23.079
Date:	May 30, 2024
Revision:	
© 2024	

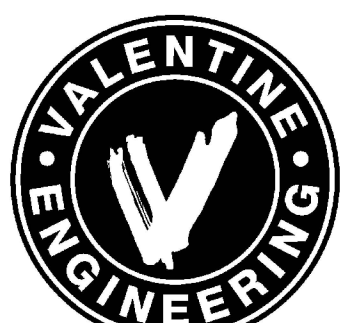
S1

SCALE BAR: 1/4" = 1'-0"



FORTNEY RESIDENCE

Lot 61, Unit 2
Eagle Flat Ranch
Huerfano County, CO



VALENTINE ENGINEERING, LLC

1108 N. Main Street
Pueblo, Colorado 81003 (719) 542-9230
www.VALENTINEENGINEERING.com

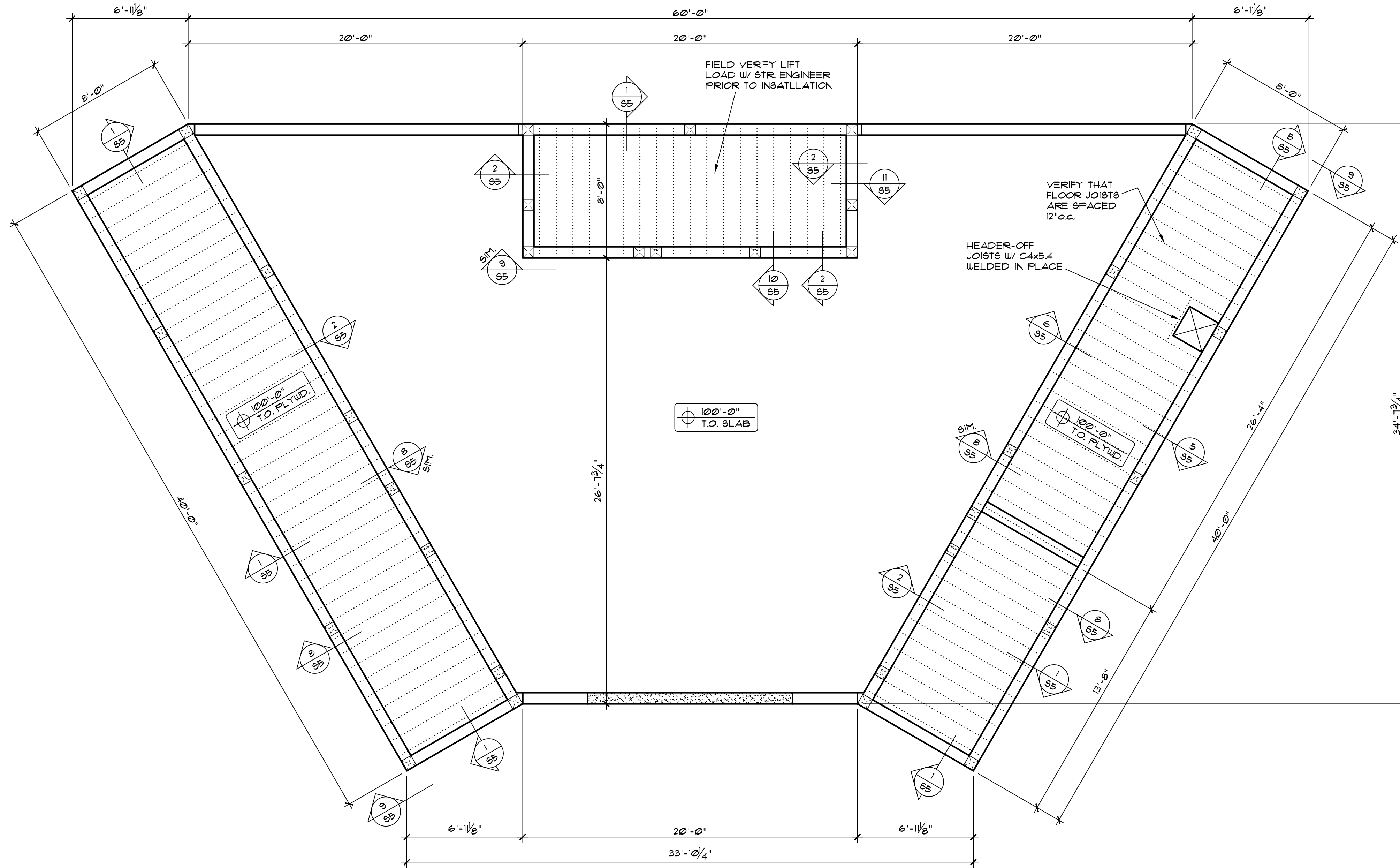
MAIN LEVEL FRAMING PLAN - BUILDING SECTION

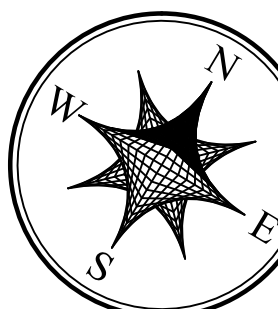
Project: 23.079
Date: May 30, 2024
Revision:

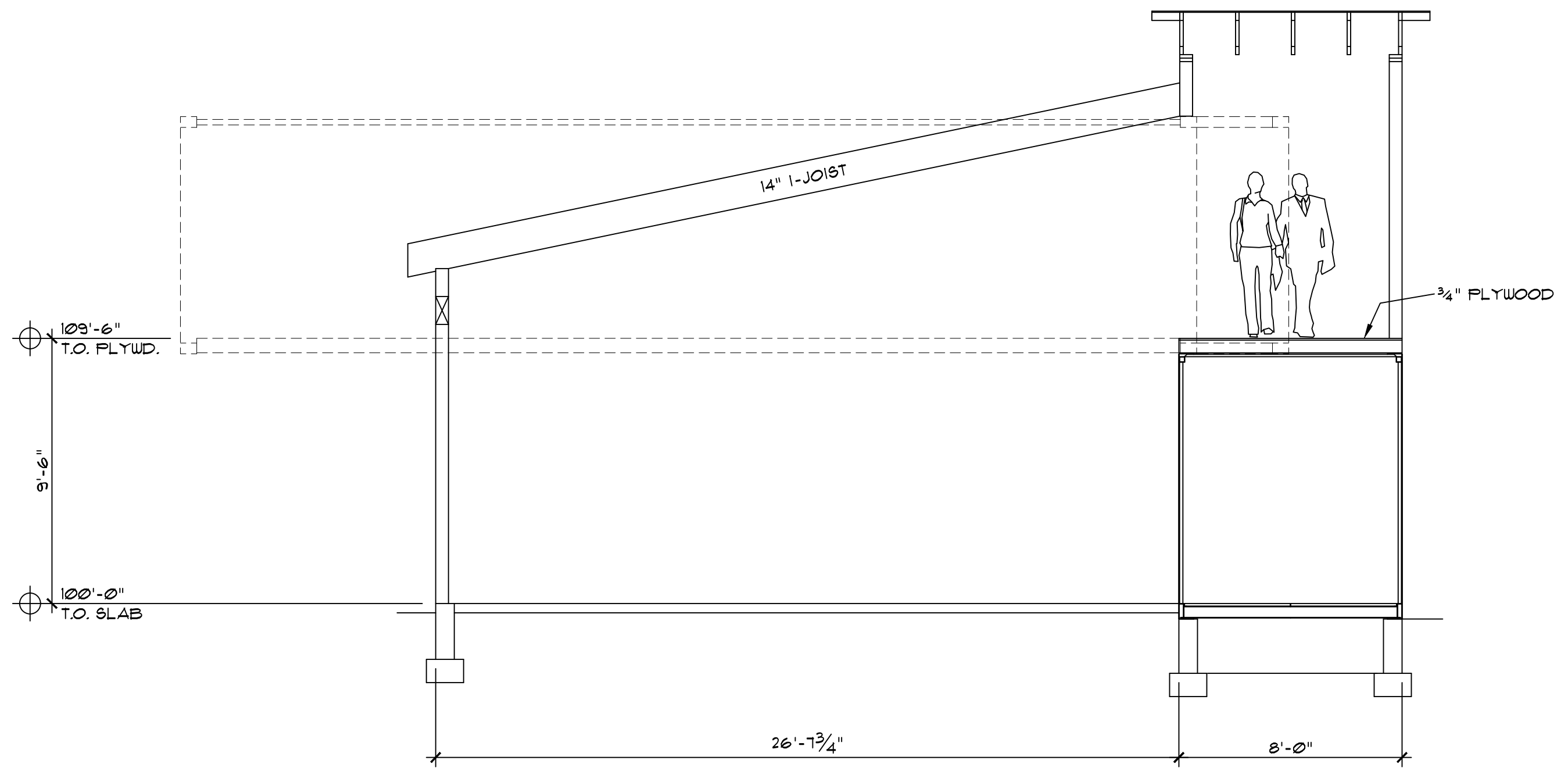
© 2024

S2

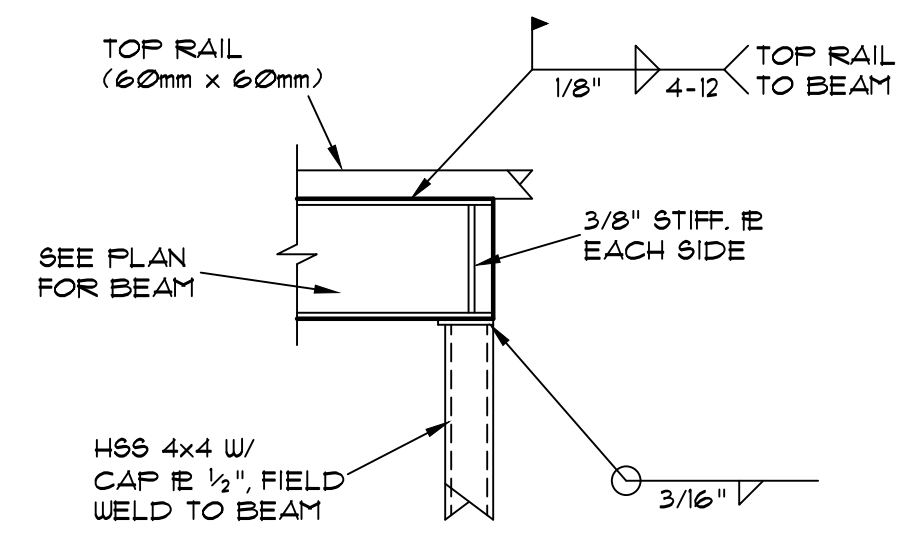
SCALE BAR: 1/4" = 1'-0"



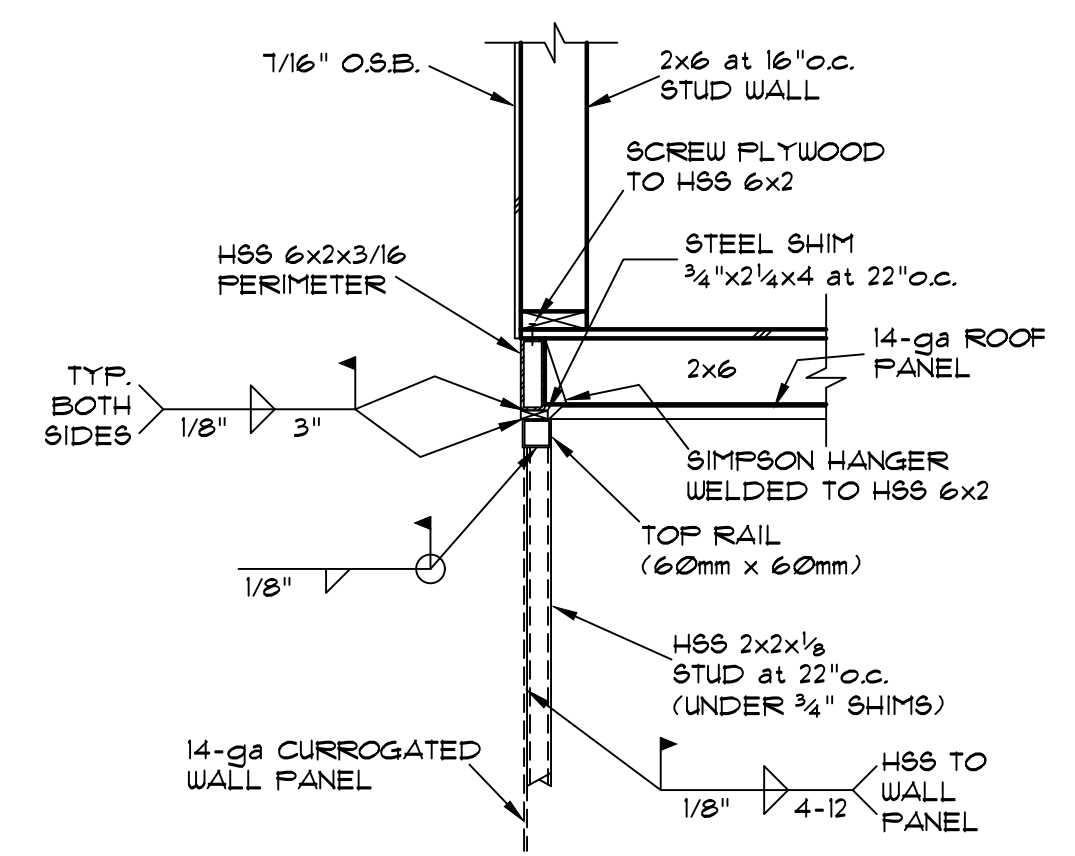
 **MAIN LEVEL FRAMING PLAN**
SCALE: 1/4" = 1'-0"



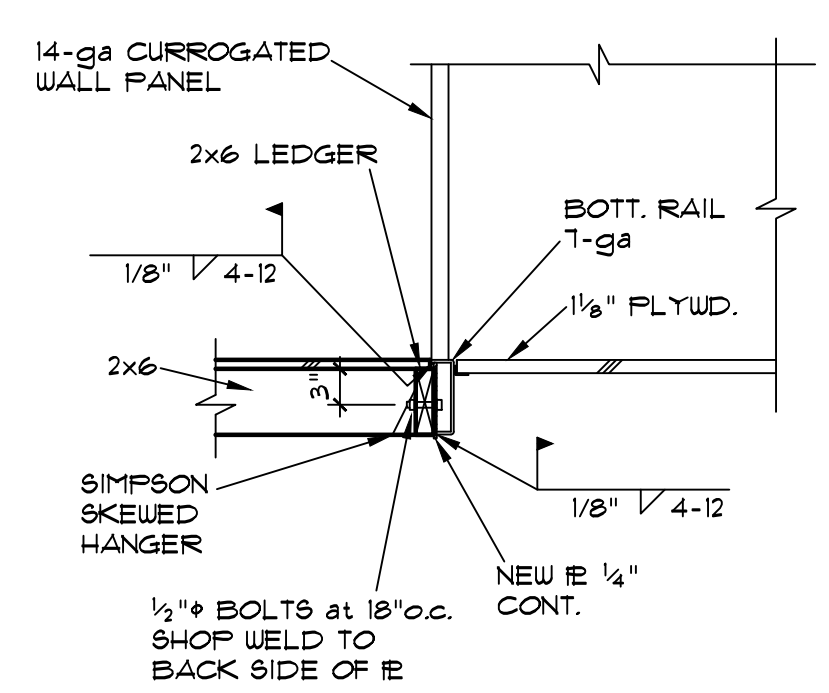
BUILDING SECTION
SCALE: 1/4" = 1'-0"



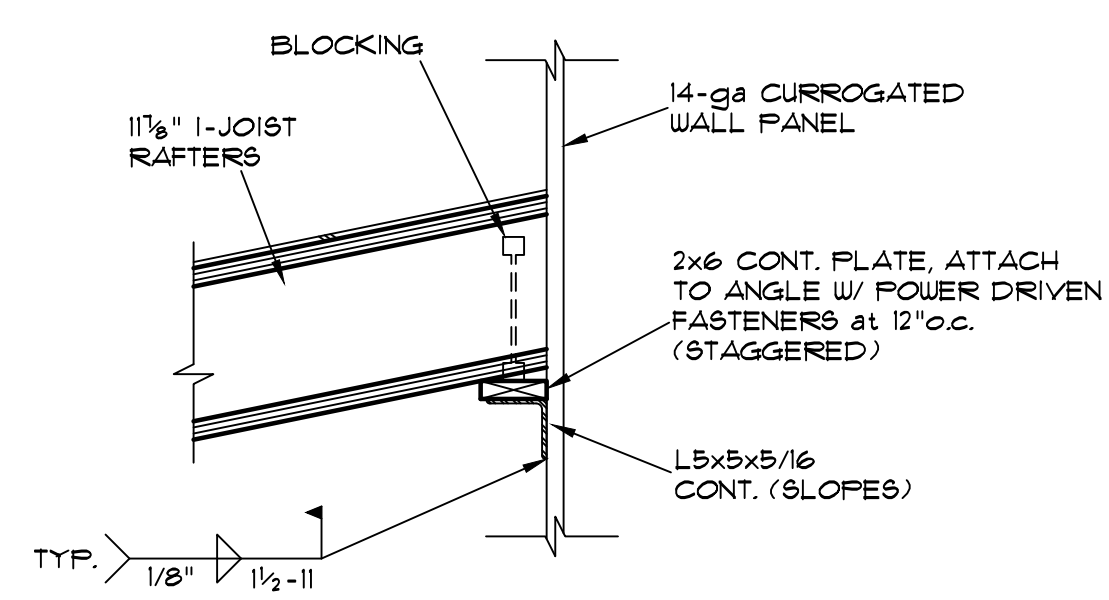
1 SCALE: 3/4"=1'-0"



2 SCALE: 3/4"=1'-0"



3 SCALE: 3/4"=1'-0"

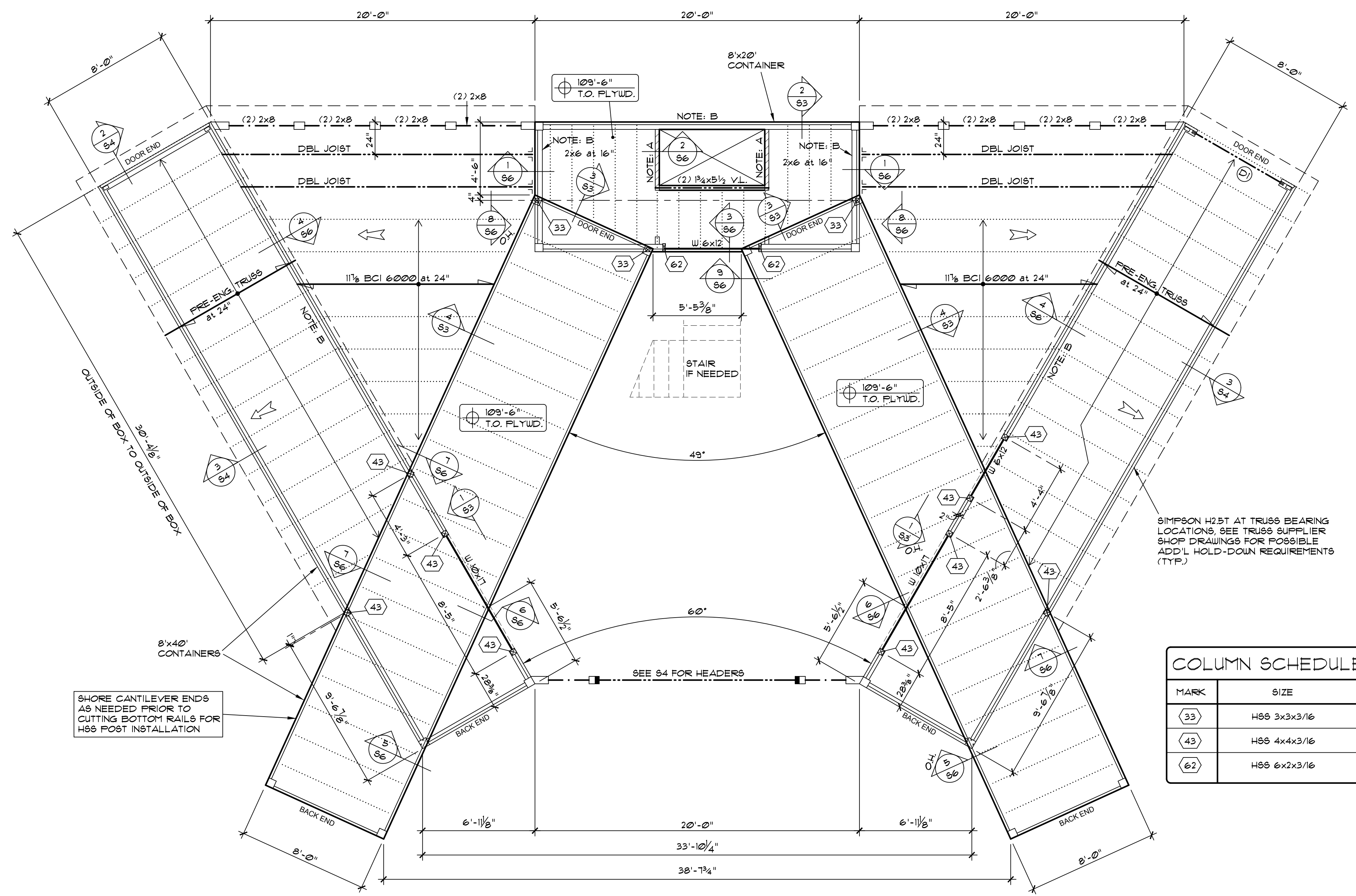


4 SCALE: 3/4"=1'-0"

FRAME SCHEDULE FOR DOORS	
MARK	SIZE
(D)	HSS 3x2x3/16

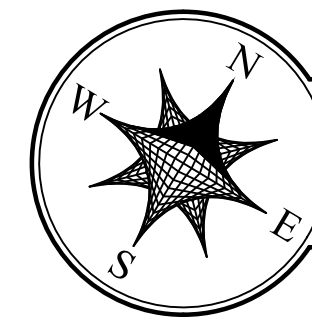
FLOOR DECK	
3/4" T & G APA RATED STURD-I-FLOOR, EXPOSURE 1, SPAN RATING 24, GLUE and NAIL W/ 8d NAILS at 6" o.c. AT PANEL EDGES AND 12" o.c. IN FIELD. (O.S.B. IS ACCEPTABLE)	

ROOF DECK	
7/16" APA RATED SHEATHING, EXPOSURE 1, SPAN RATING 24/16, NAIL W/ 8d NAILS at 6" o.c. AT PANEL EDGES AND 12" o.c. IN FIELD.	



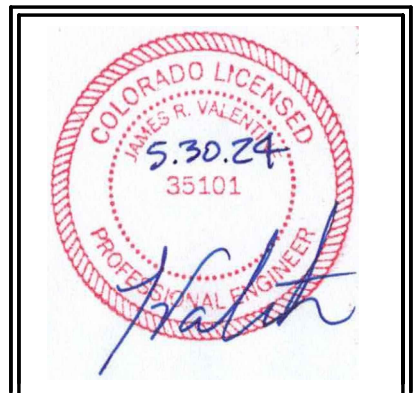
COLUMN SCHEDULE	
MARK	SIZE
(33)	HSS 3x3x3/16
(43)	HSS 4x4x3/16
(62)	HSS 6x2x3/16

NOTES: A) 2x4 at 16" o.c. BEARING WALL BELOW.
 B) REINFORCE CONTAINER WALLS W/ HSS 2x2 STUDS, SEE DETAILS.



UPPER LEVEL / LOW ROOF FRAMING PLAN

SCALE: 1/4"=1'-0"



FORTNEY RESIDENCE
 Lot 61, Unit 2
 Eagle Flat Ranch
 Huerfano County, CO

VALENTINE ENGINEERING, LLC
 1108 N. Main Street
 Pueblo, Colorado 81003 (719) 542-9230
 www.VALENTINEENGINEERING.com

UPPER LEVEL & LOW ROOF FRAMING PLAN

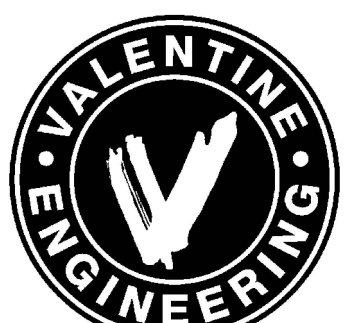
Project:	23.079
Date:	May 30, 2024
Revision:	
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S3

2' 4' 6'
 SCALE BAR: 1/4"=1'-0"



FORTNEY RESIDENCE
Lot 61, Unit 2
Eagle Flat Ranch
Huerfano County, CO



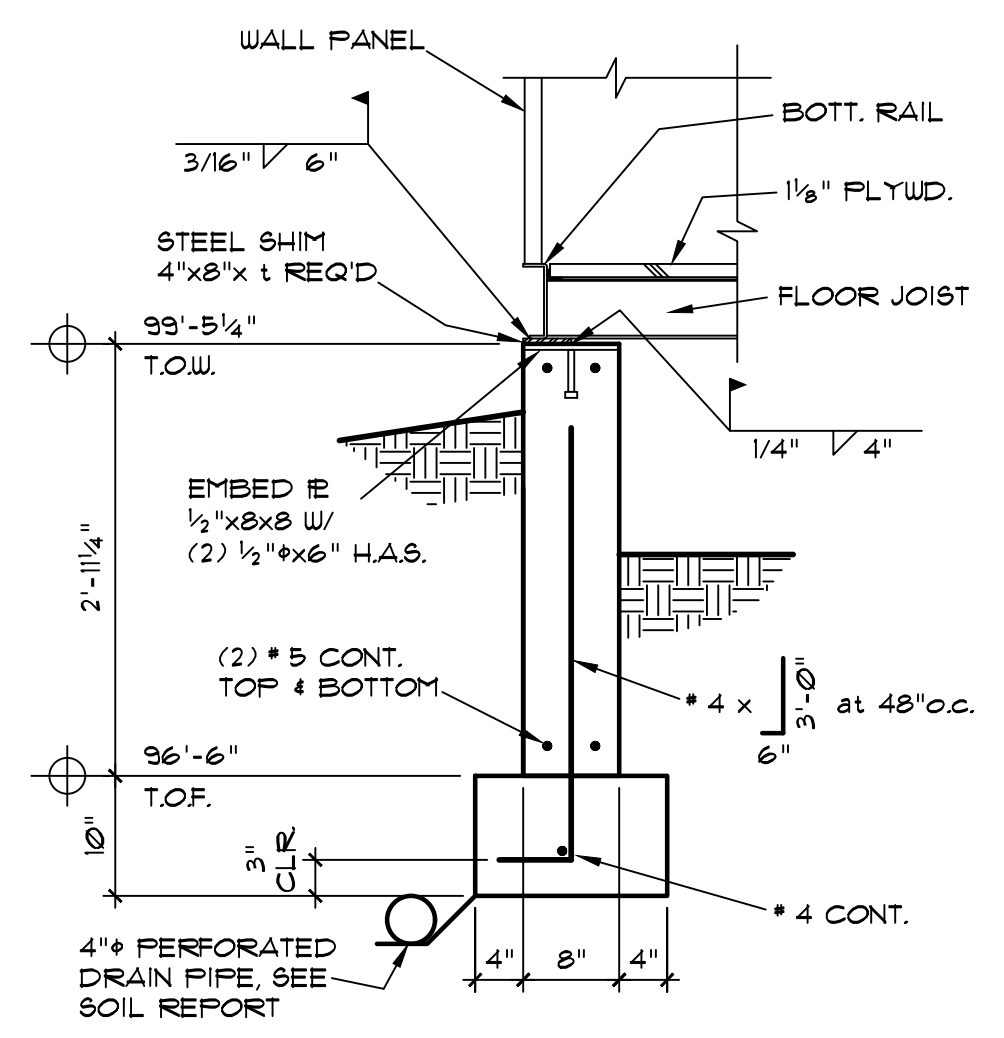
VALENTINE ENGINEERING, LLC
1108 N. Main Street
Pueblo, Colorado 81003 (719) 542-9230
www.VALENTINEENGINEERING.com

DETAILS

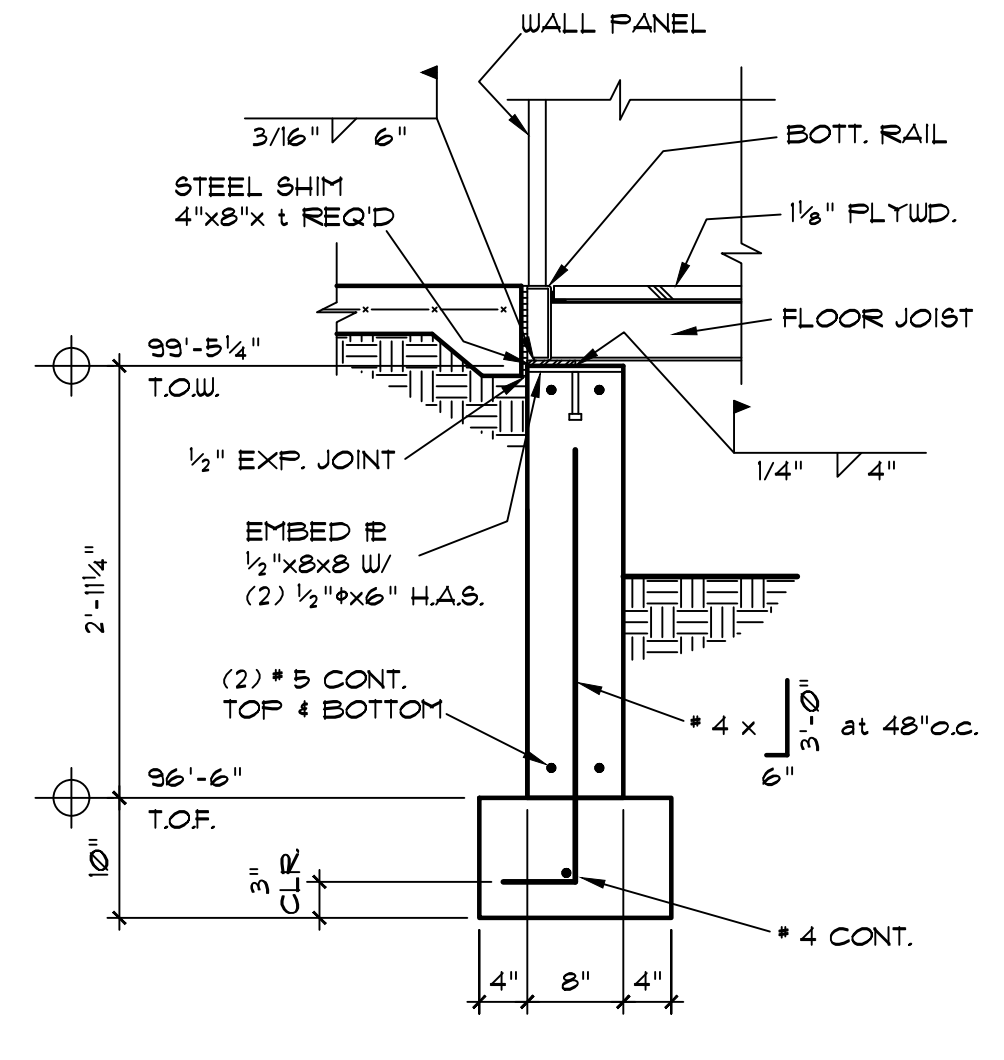
Project: 23.079
Date: May 30, 2024
Revision:

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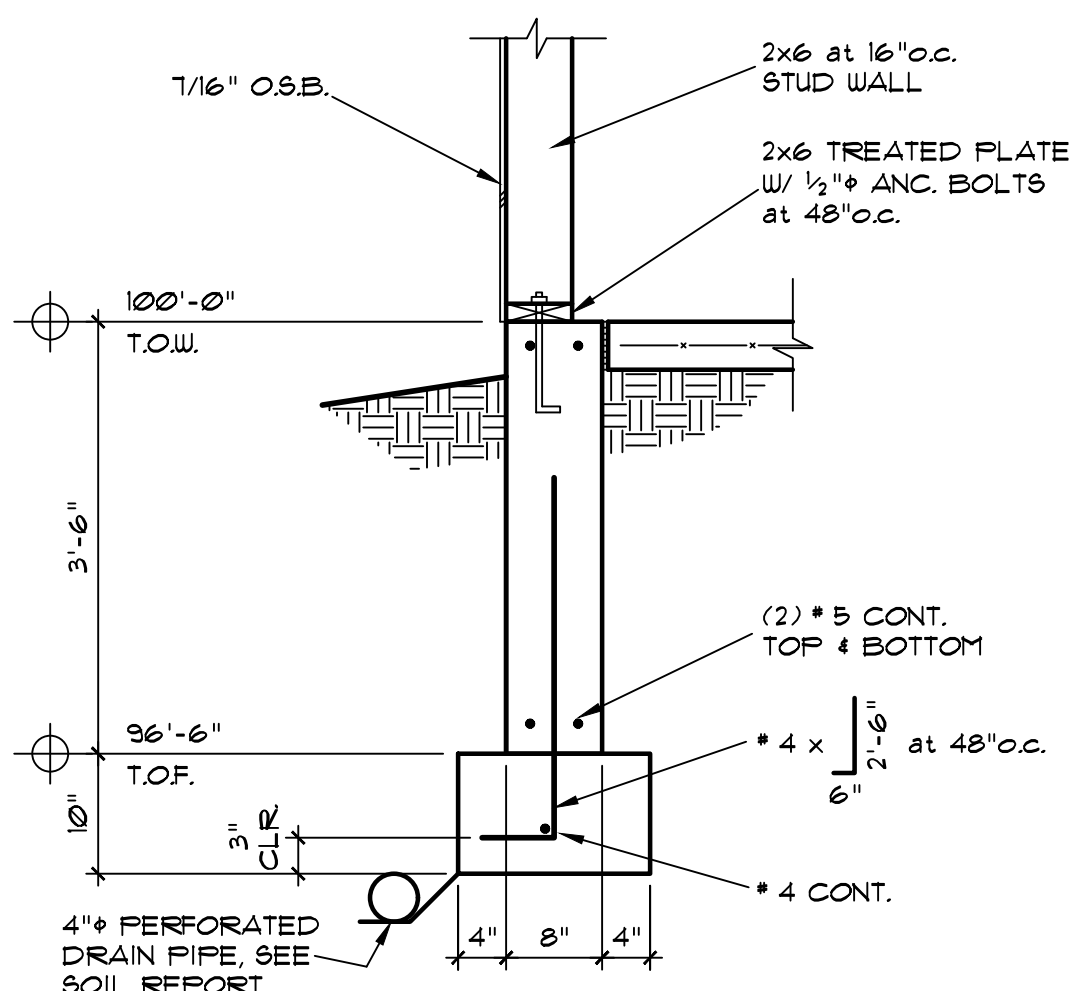
S5
SCALE BAR: 3/4"=1'-0"



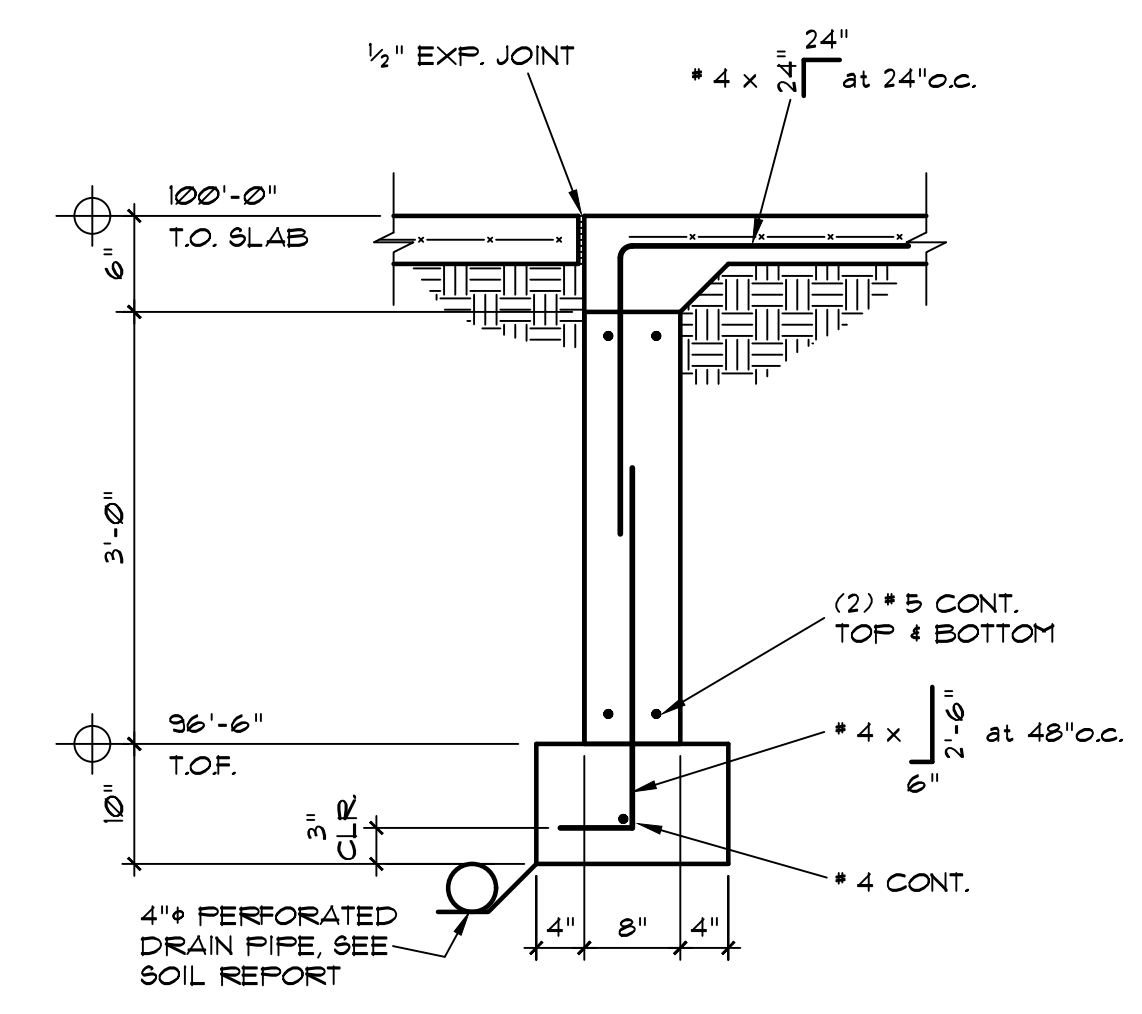
1 SCALE: 3/4"=1'-0"



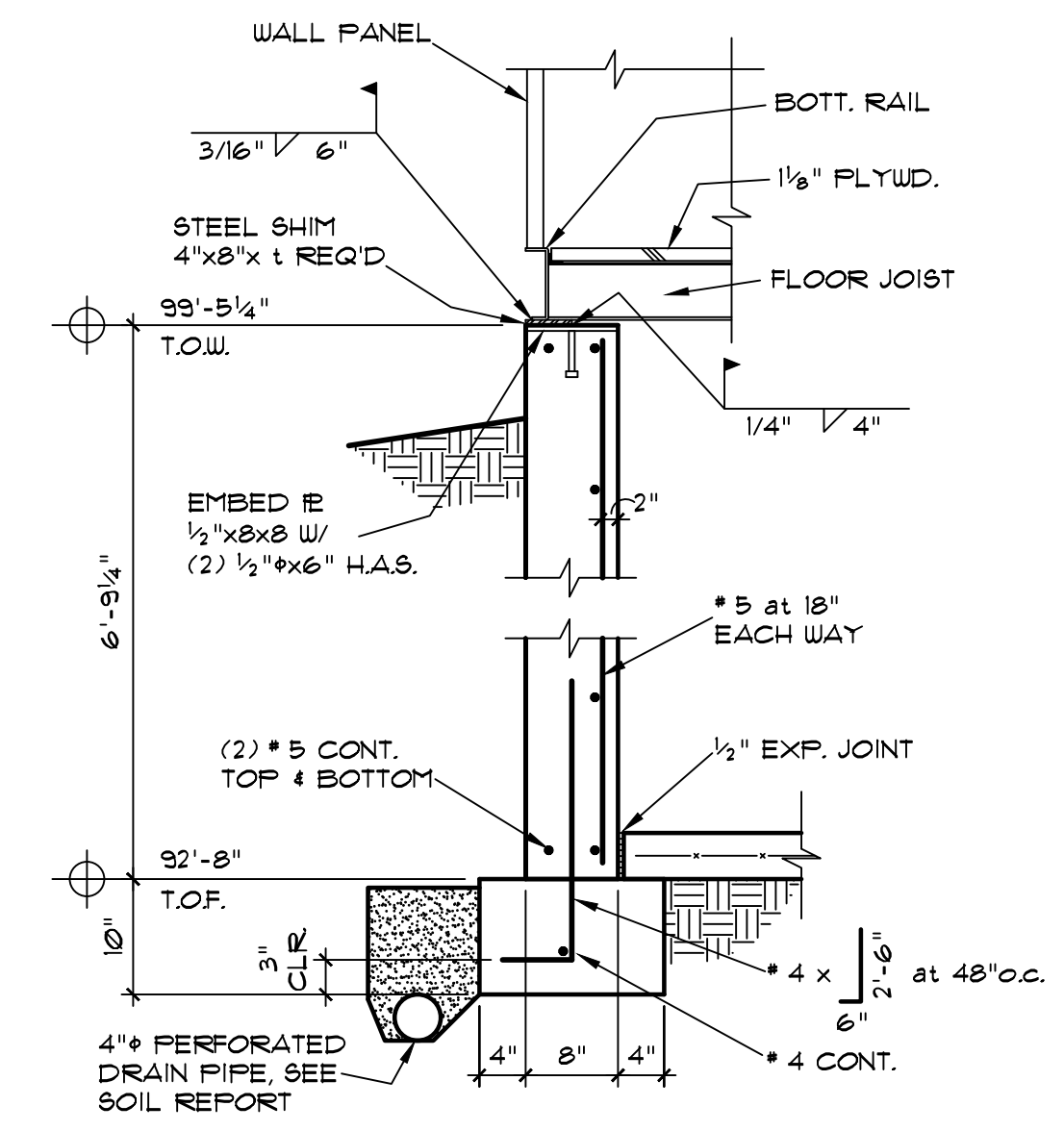
2 SCALE: 3/4"=1'-0"



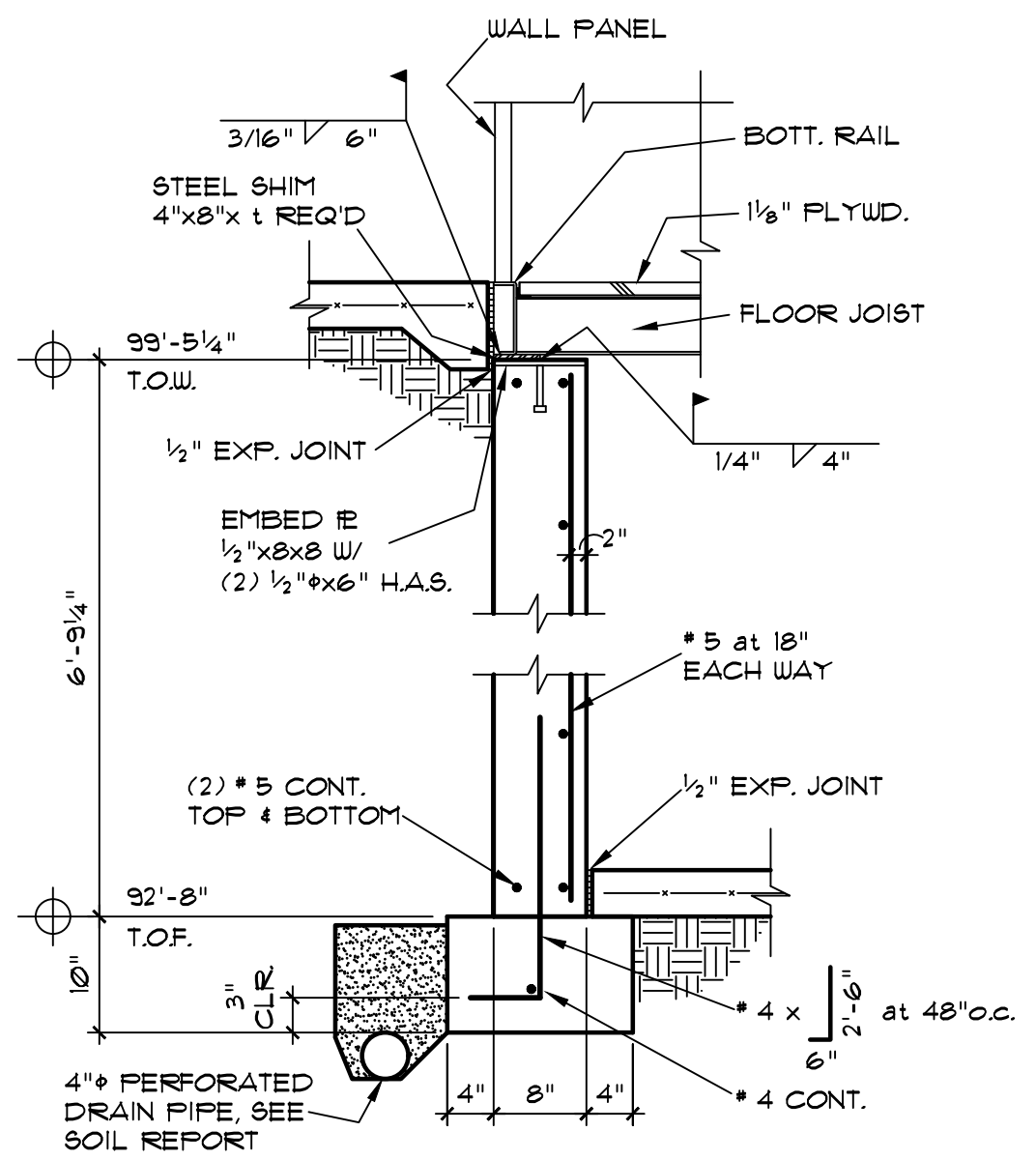
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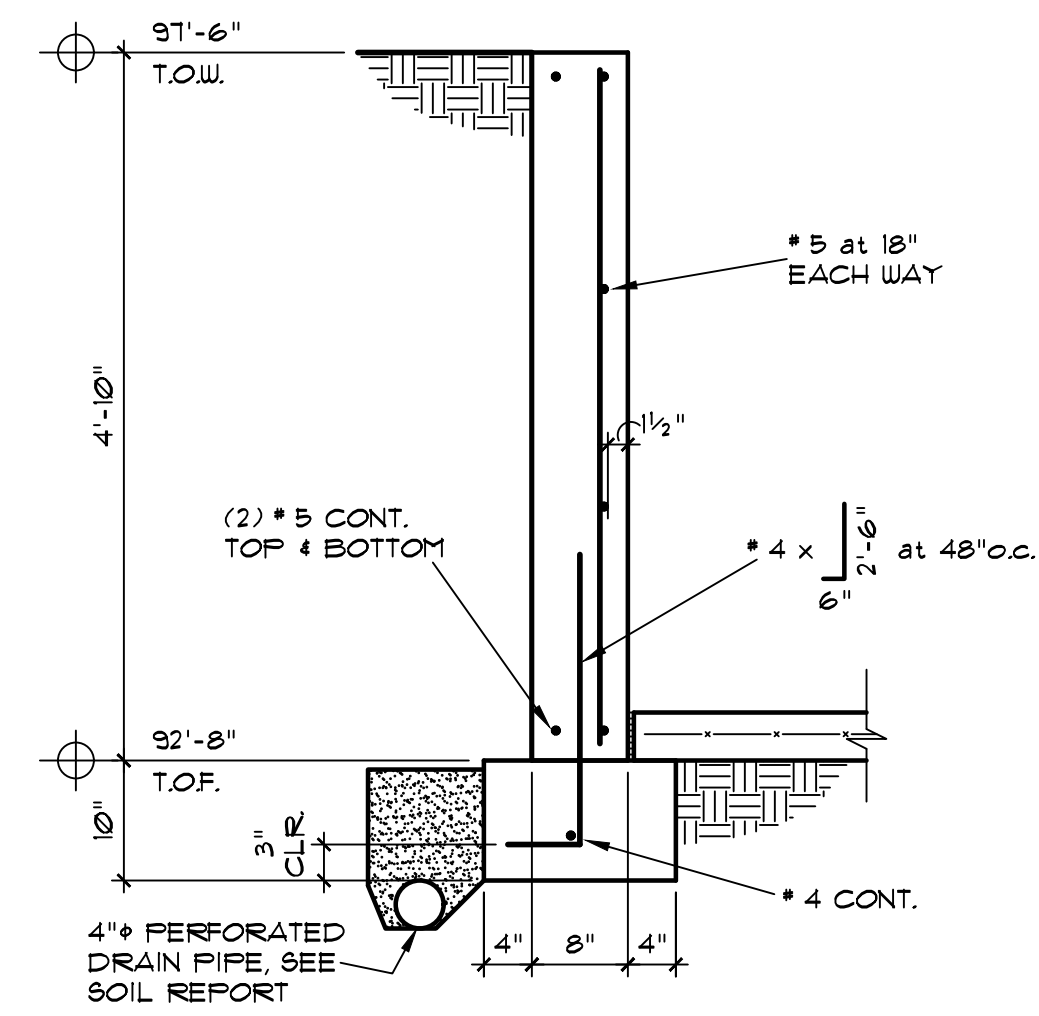
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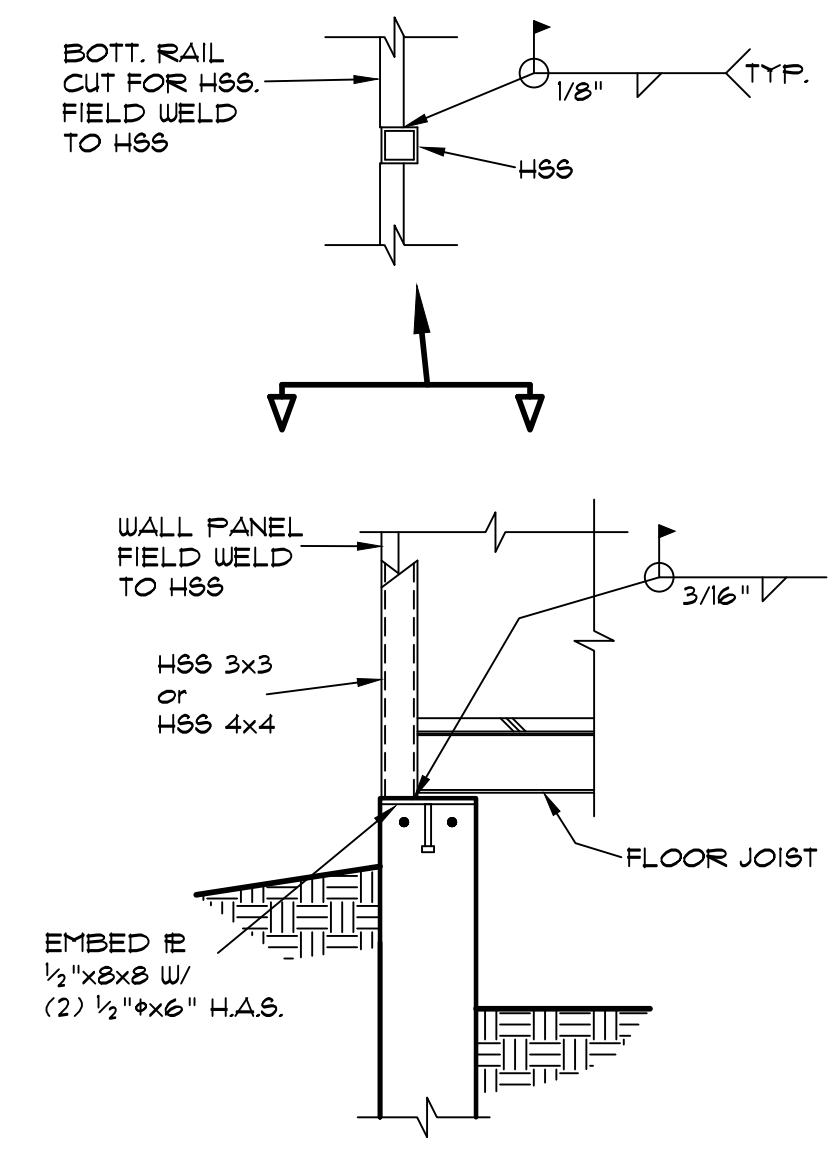
5 SCALE: 3/4"=1'-0"



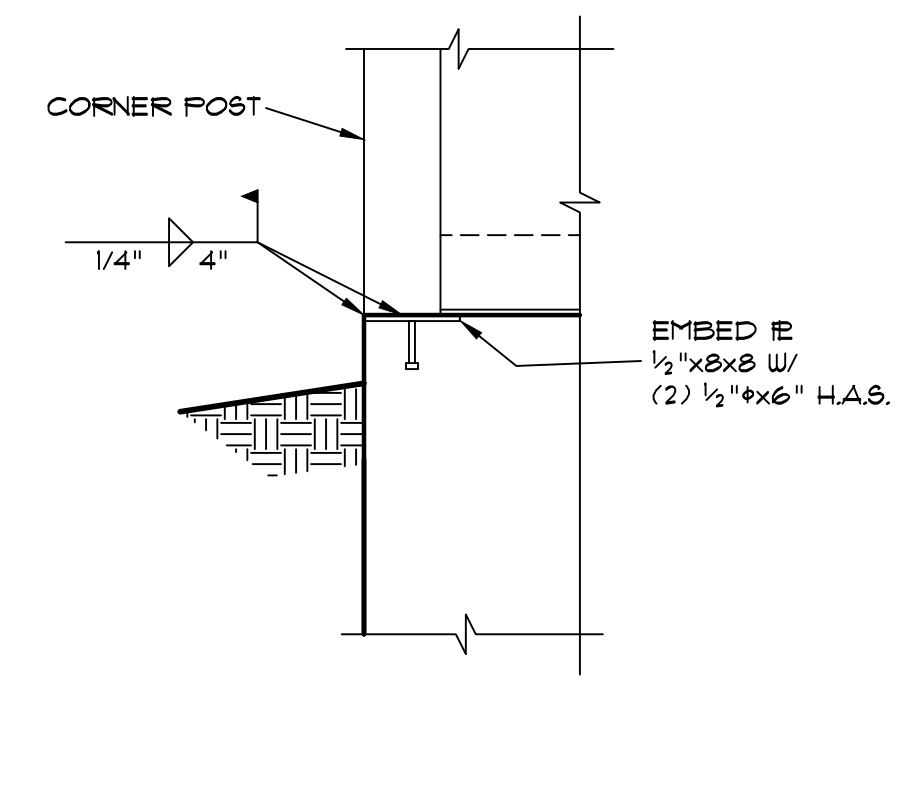
6 SCALE: 3/4"=1'-0"



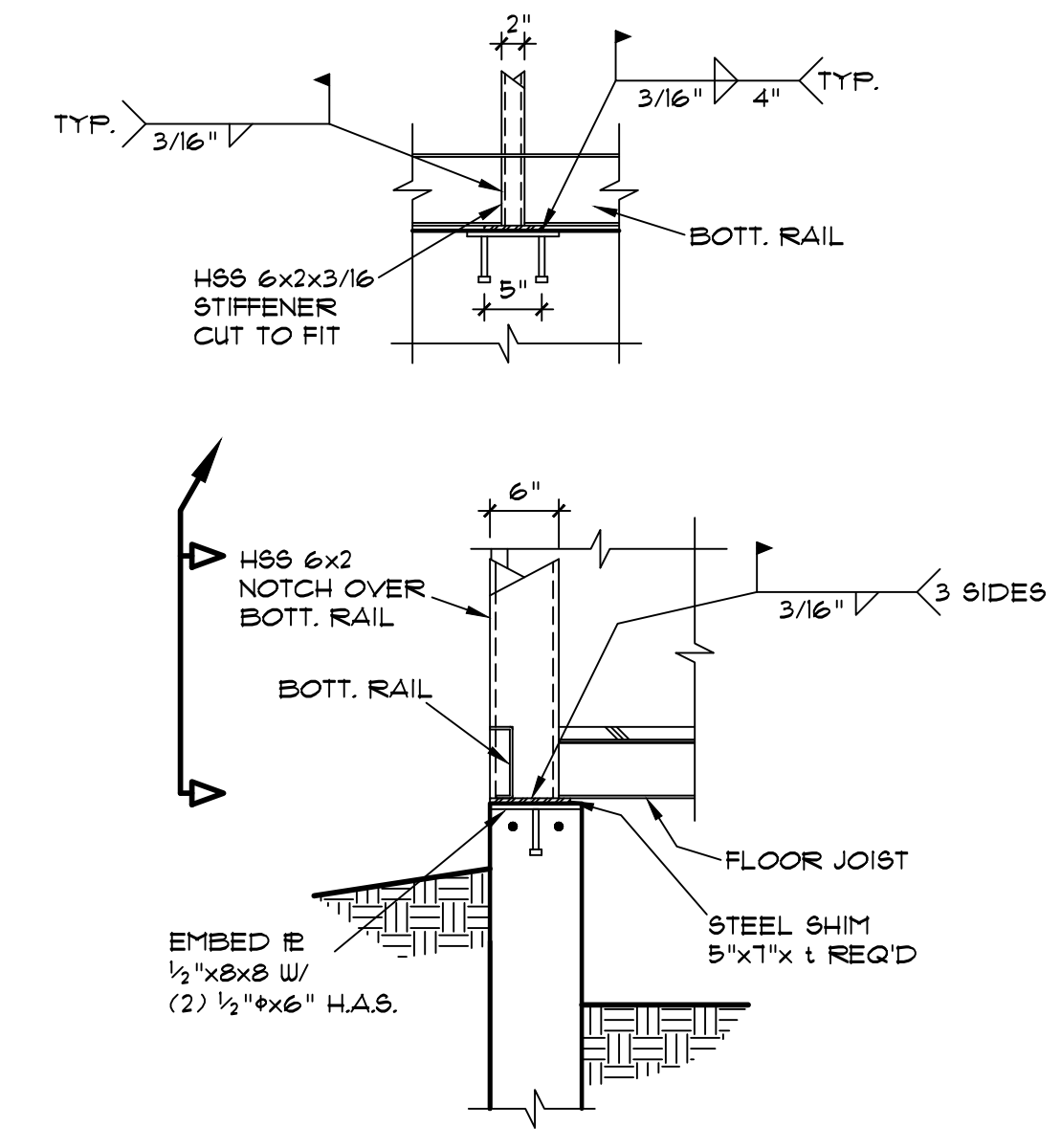
7 SCALE: 3/4"=1'-0"



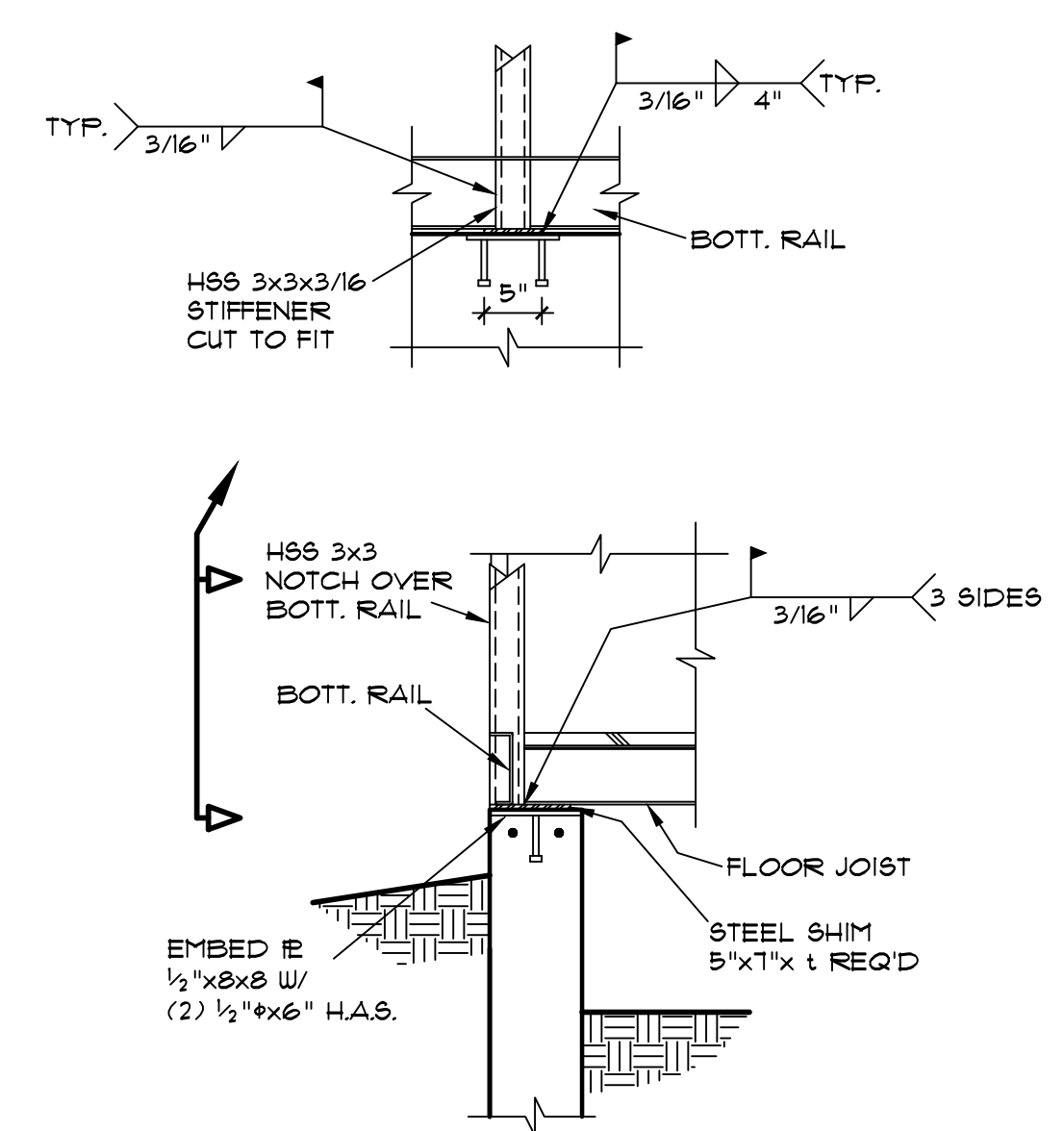
8 SCALE: 3/4"=1'-0"



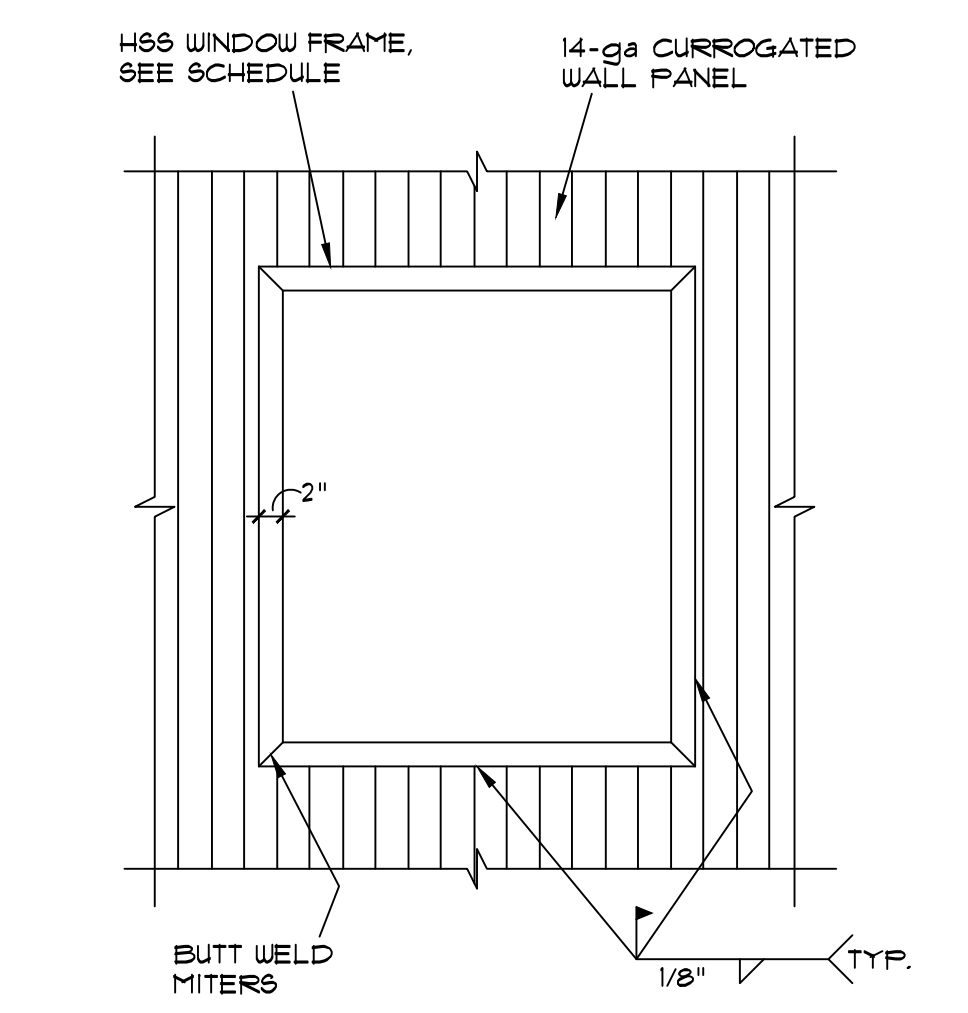
9 SCALE: 3/4"=1'-0"



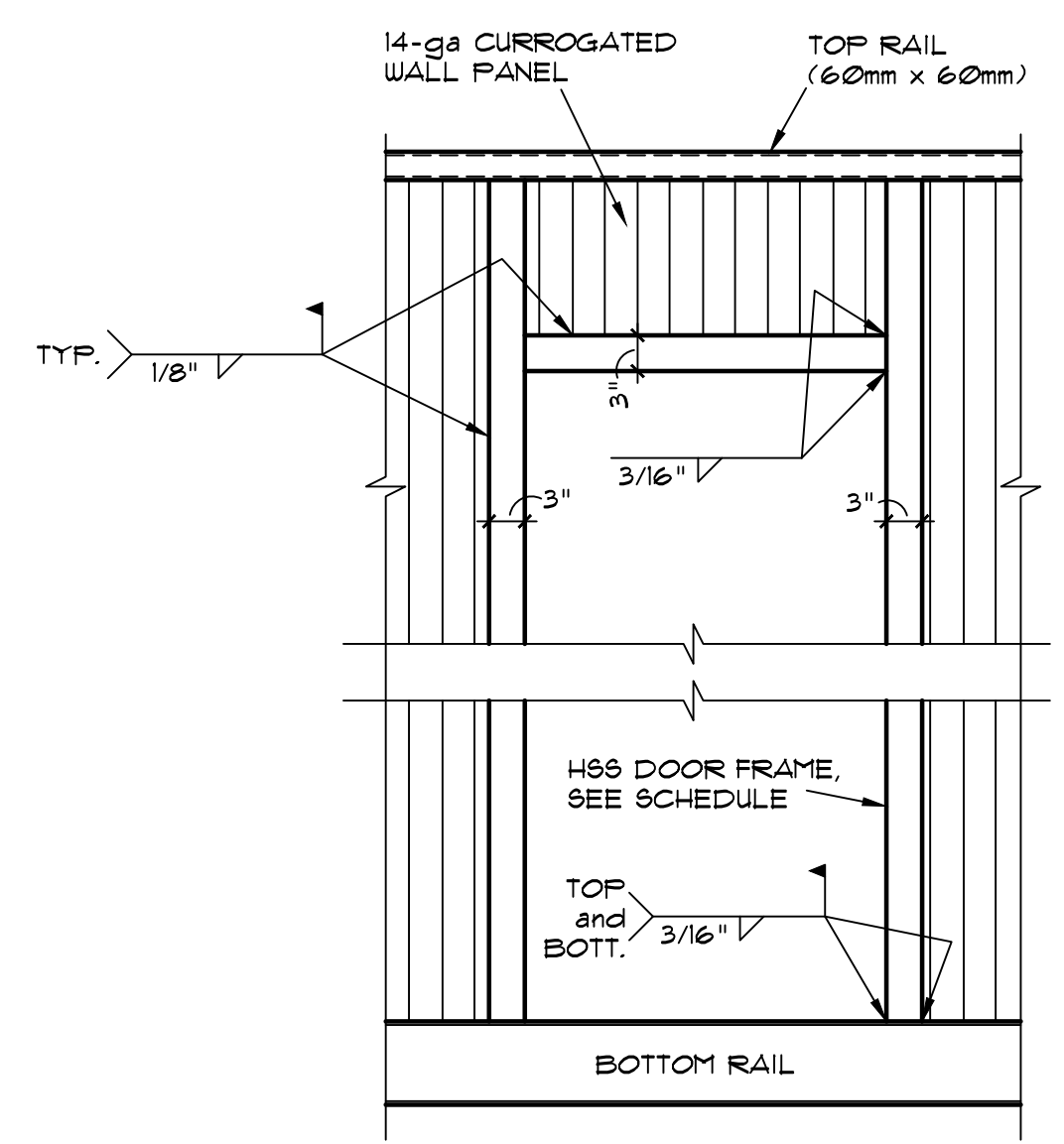
10 SCALE: 3/4"=1'-0"



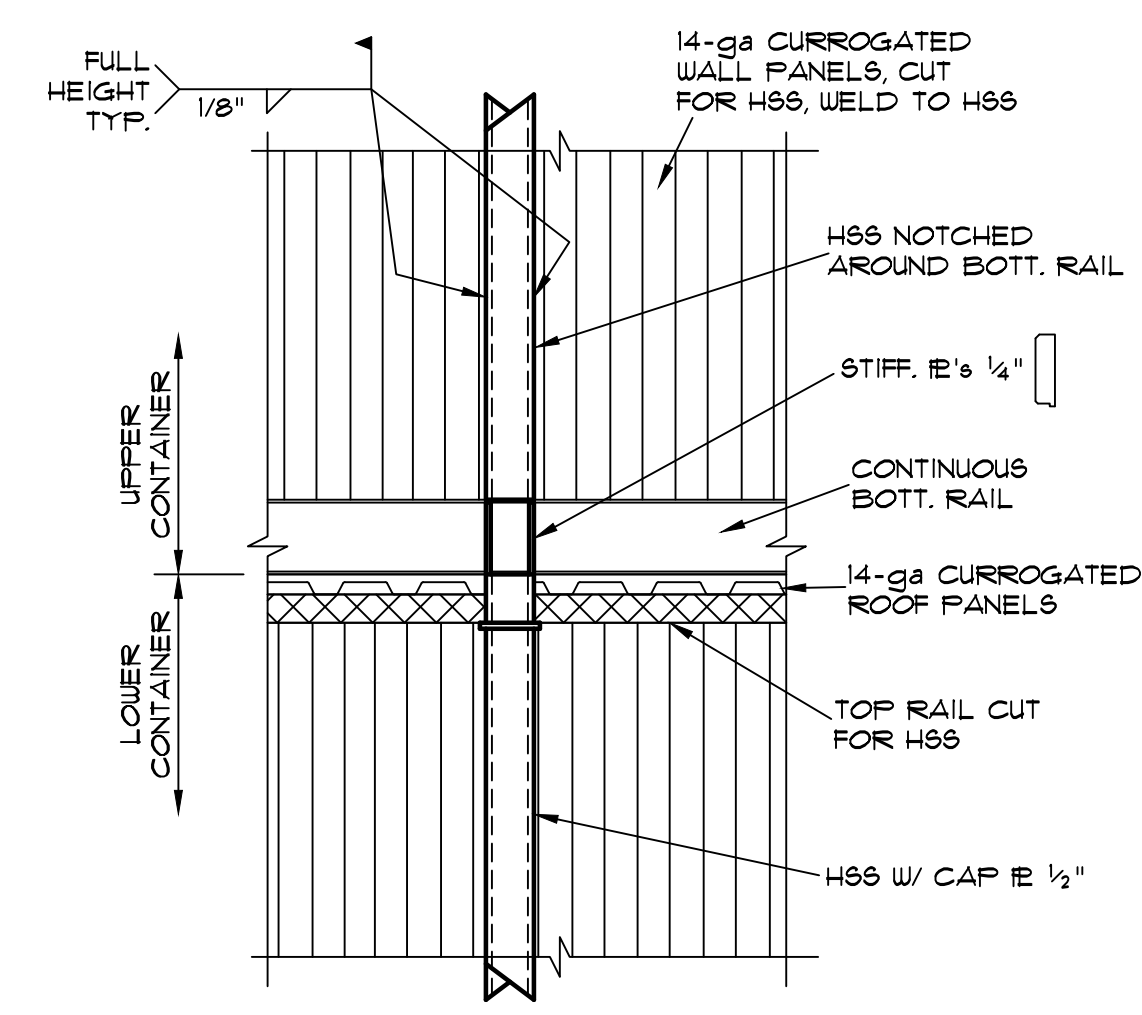
11 SCALE: 3/4"=1'-0"



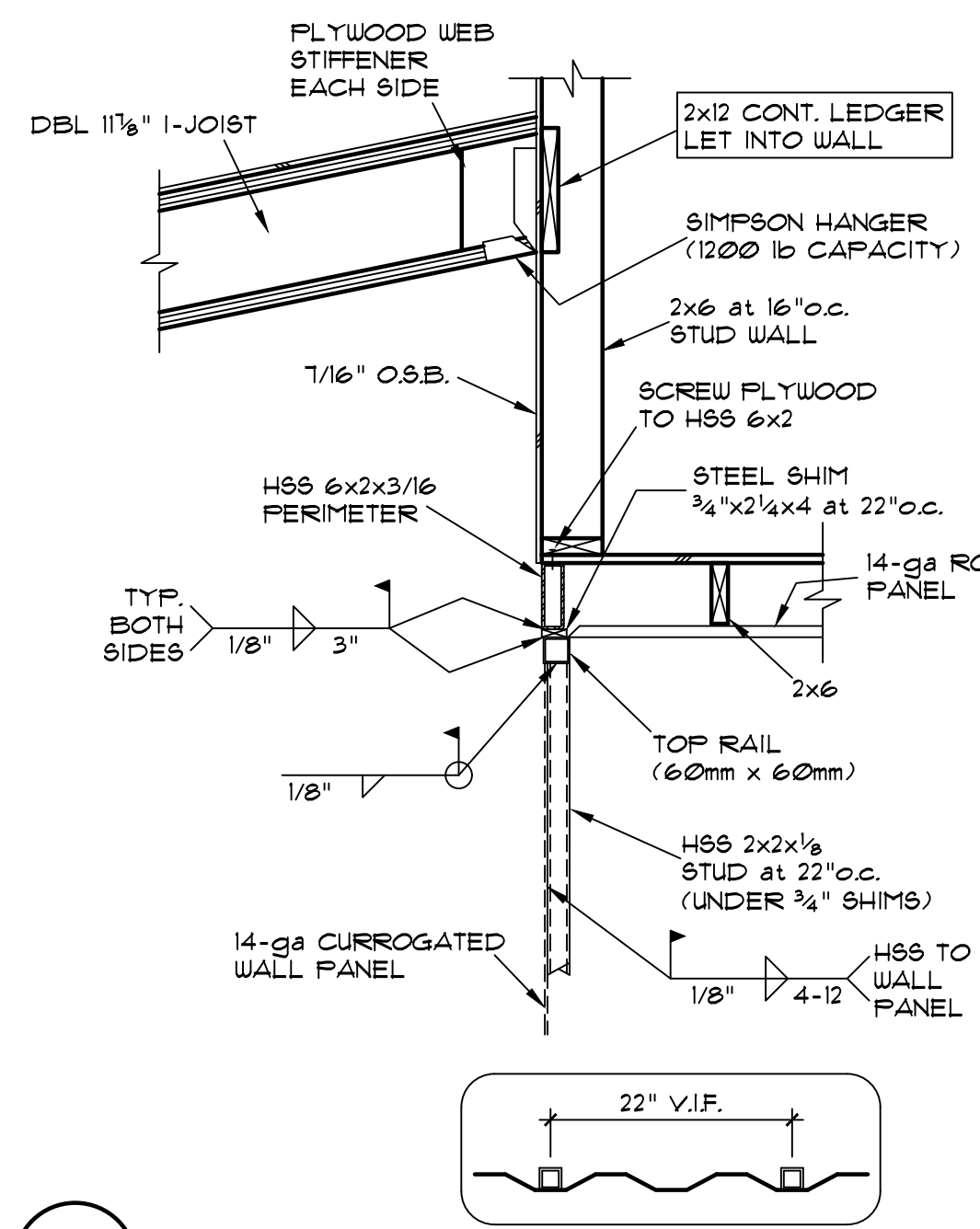
12 Window Detail SCALE: 3/4"=1'-0"



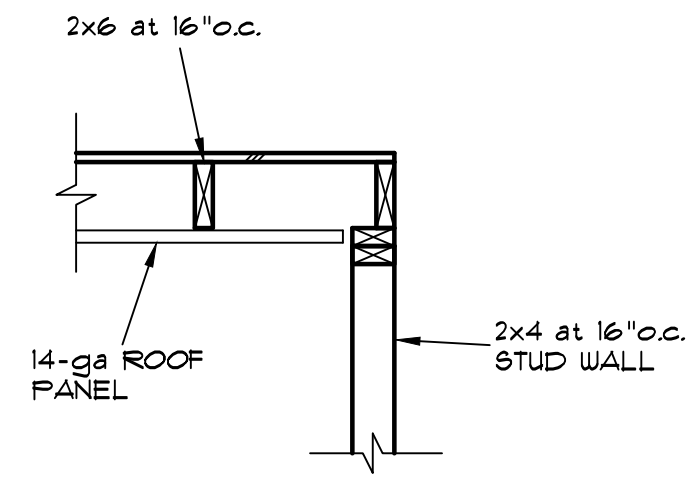
13 Door Detail SCALE: 3/4"=1'-0"



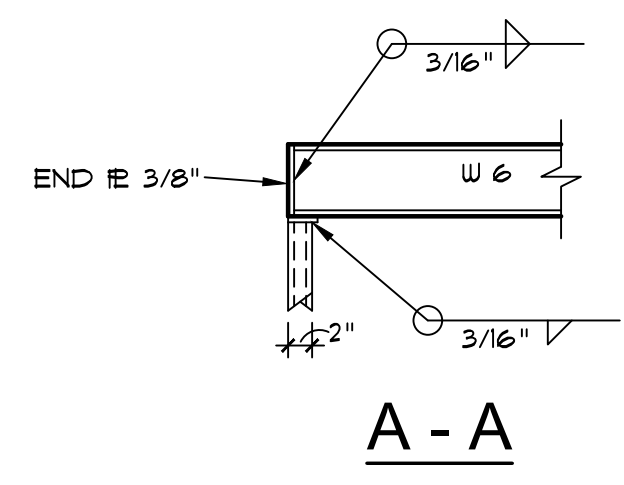
14 Stacked Column Detail SCALE: 3/4"=1'-0"



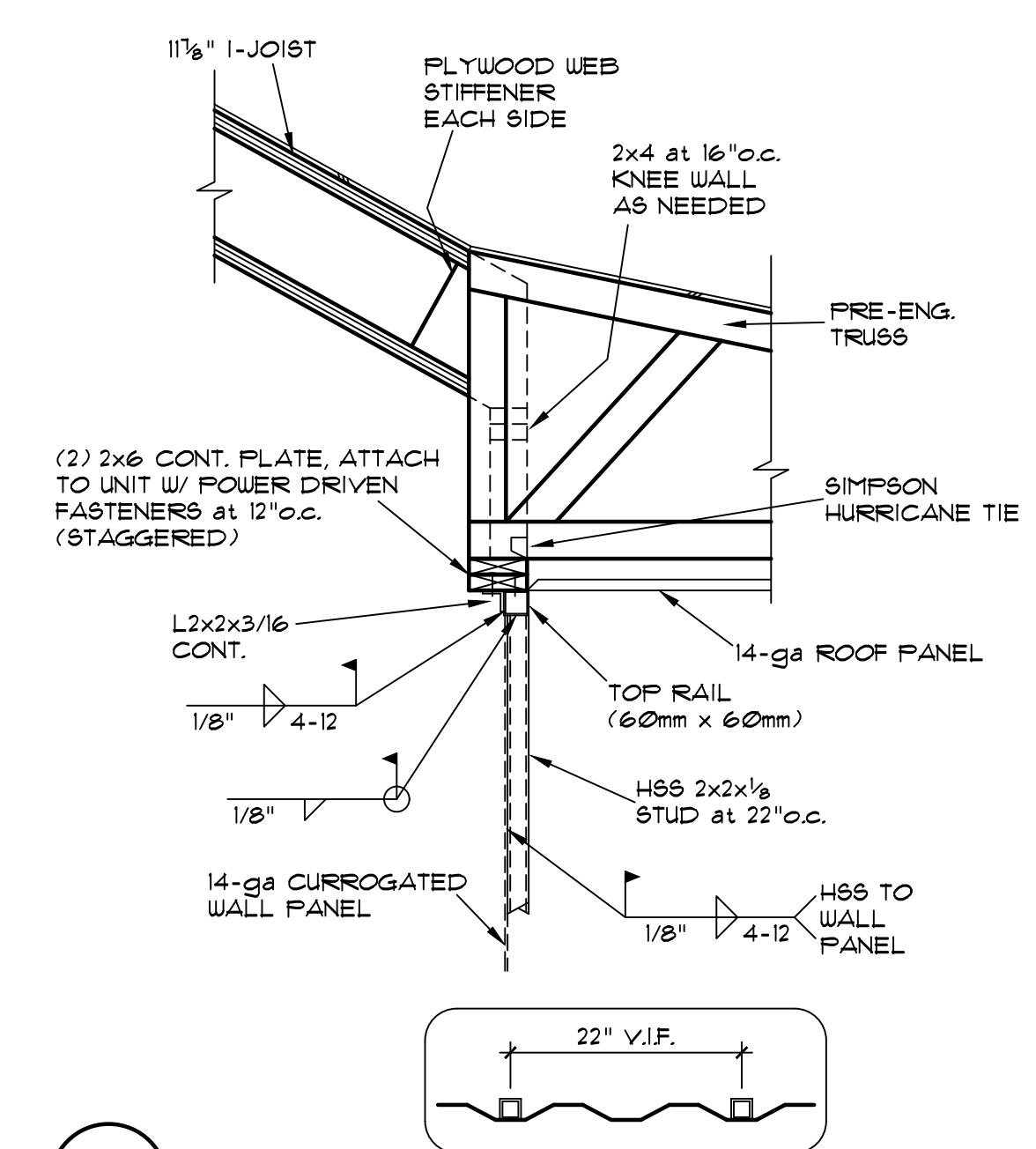
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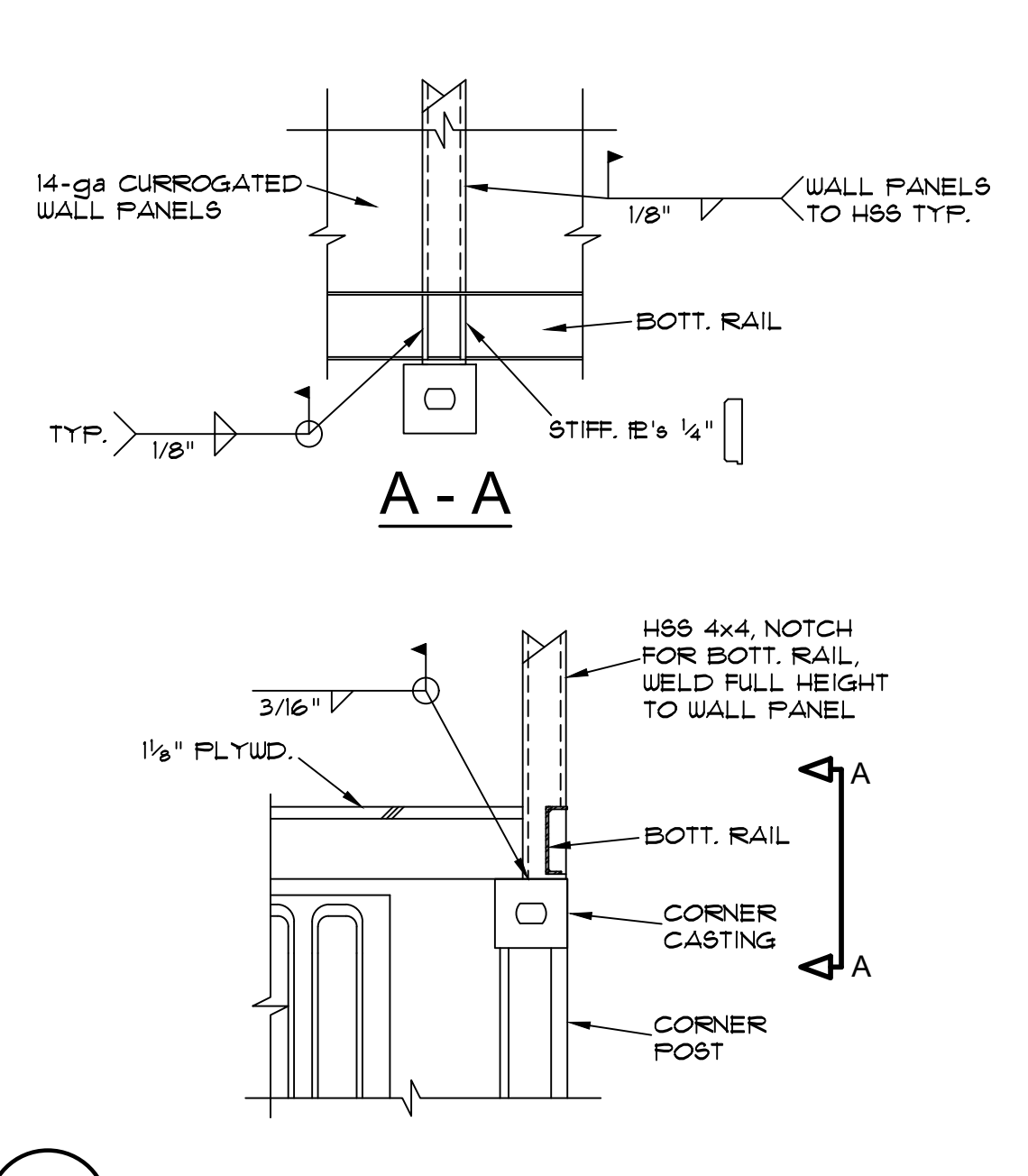
2 SCALE: 3/4"=1'-0"



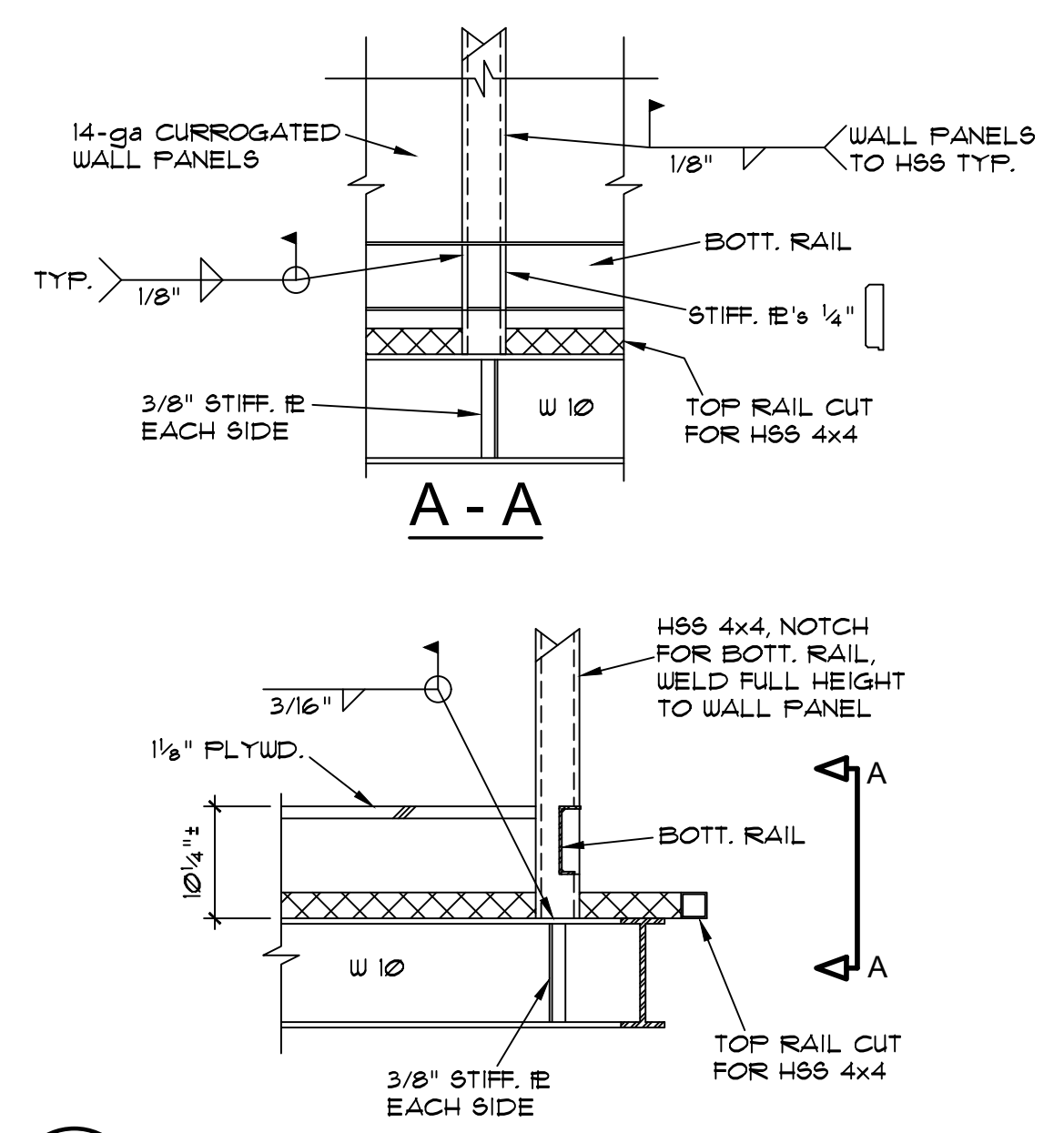
3 SCALE: 3/4"=1'-0"



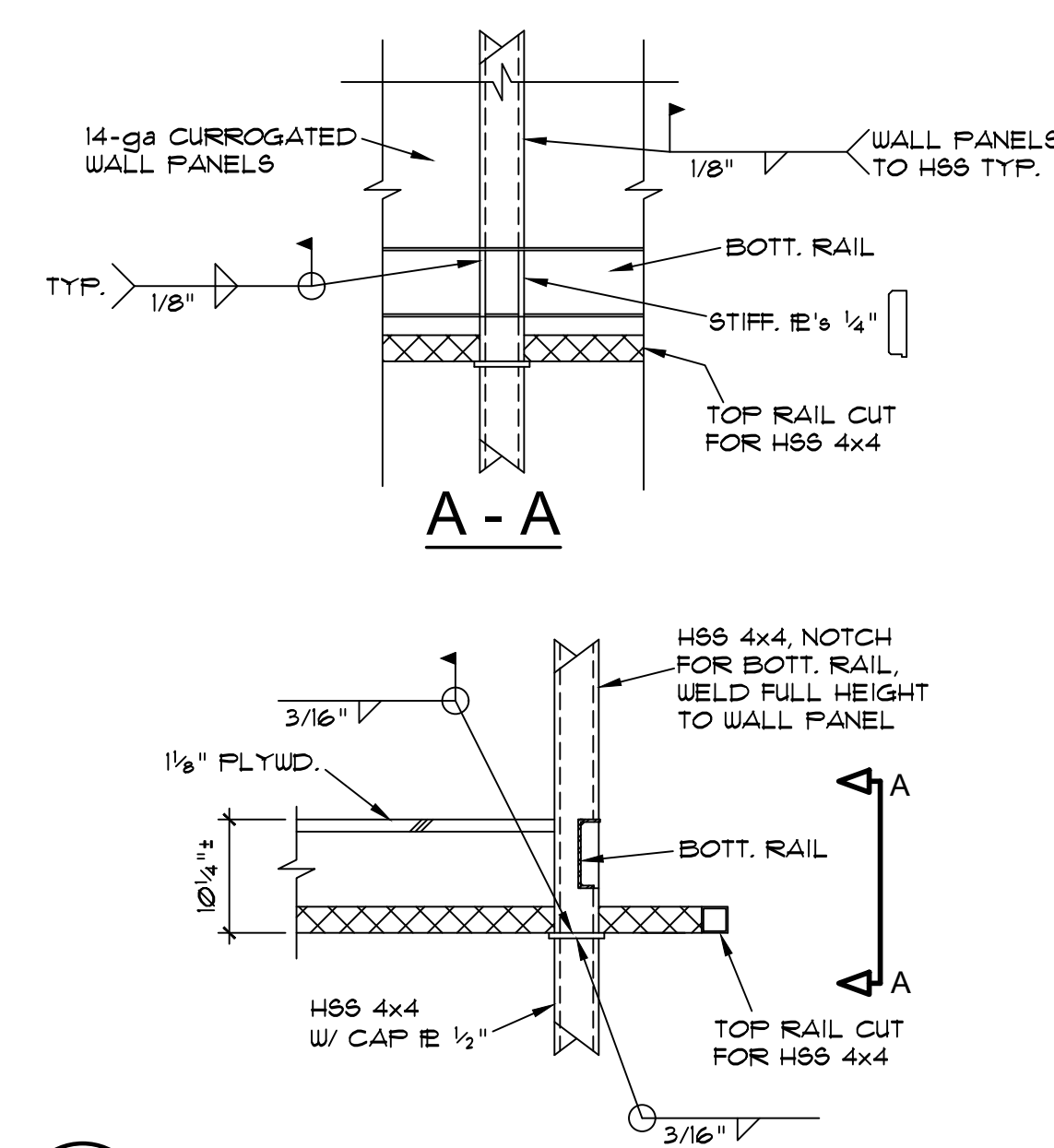
4 SCALE: 3/4"=1'-0"



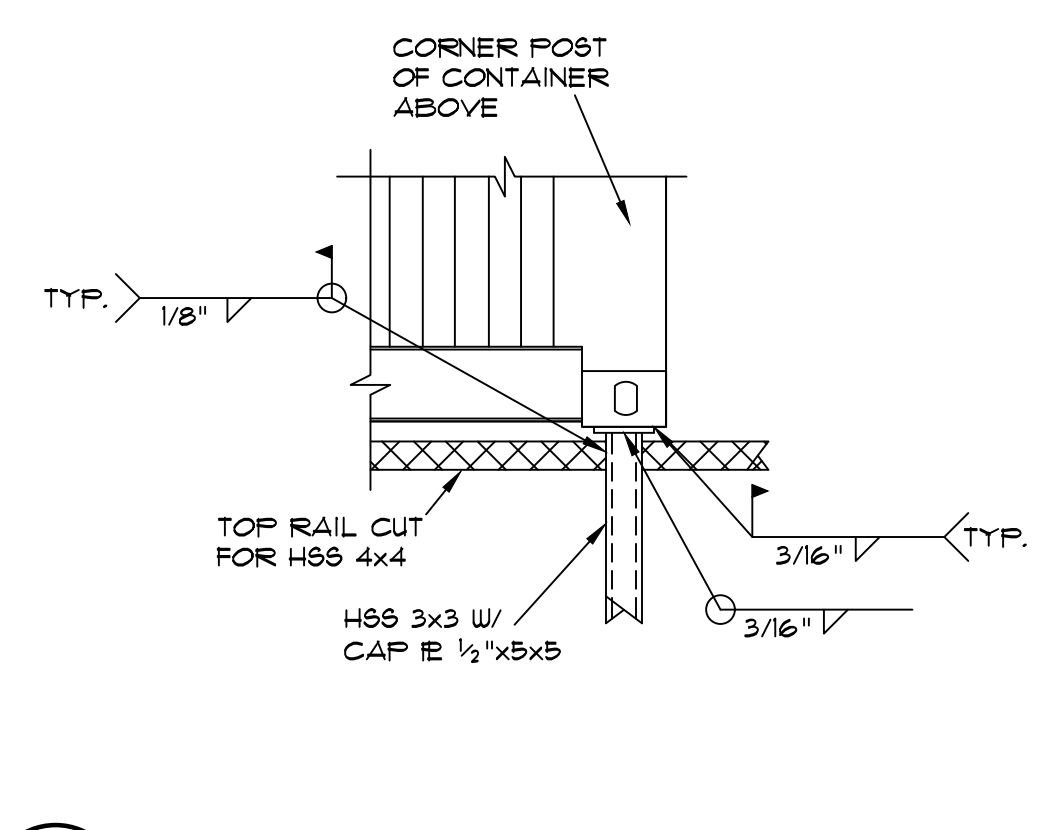
5 SCALE: 3/4"=1'-0"



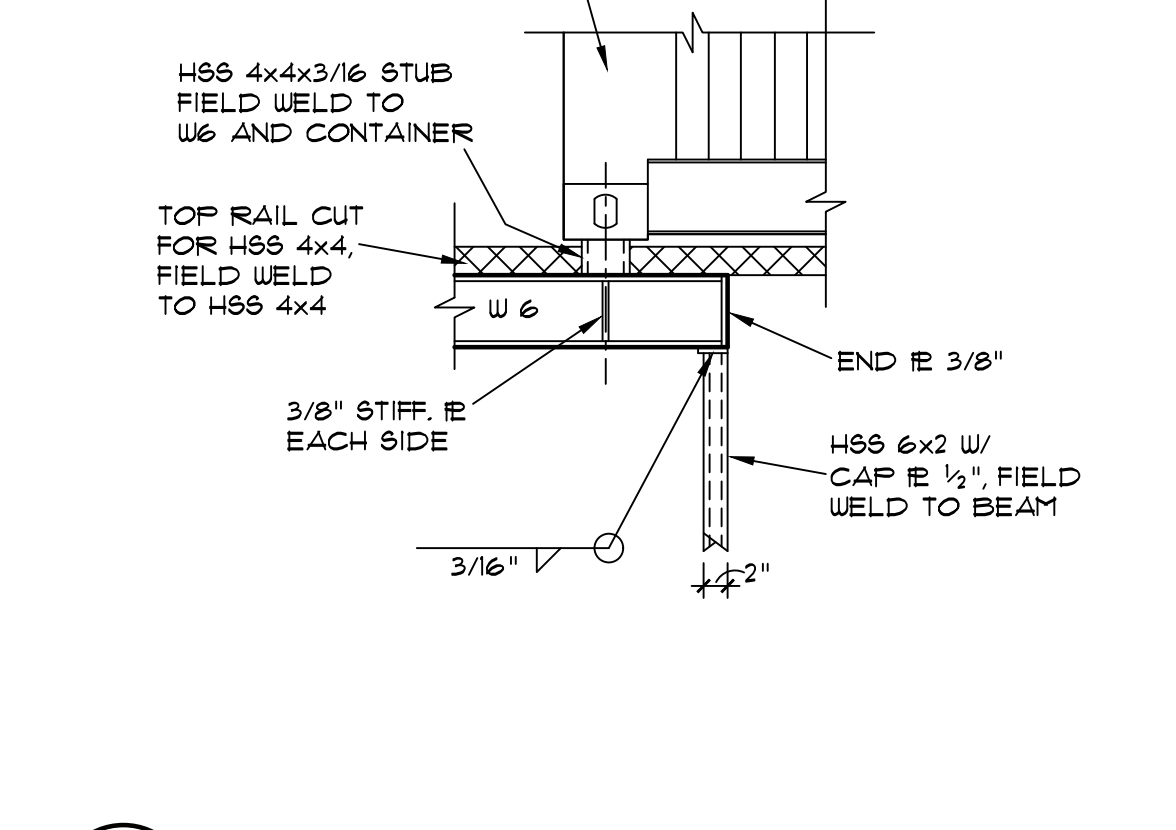
6 SCALE: 3/4"=1'-0"



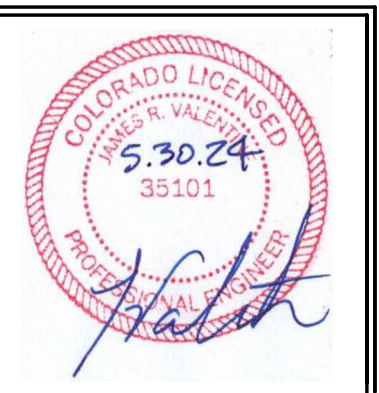
7 SCALE: 3/4"=1'-0"



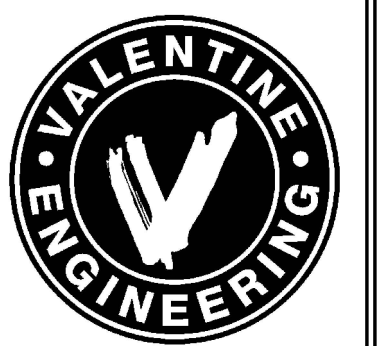
8 SCALE: 3/4"=1'-0"



9 SCALE: 3/4"=1'-0"



FORTNEY RESIDENCE
 Lot 61, Unit 2
 Eagle Flat Ranch
 Huerfano County, CO



VALENTINE ENGINEERING, LLC
 1108 N. Main Street
 Pueblo, Colorado 81003 (719) 542-9230
 www.VALENTINEENGINEERING.com

DETAILS	
Project:	23.079
Date:	May 30, 2024
Revision:	
© 2024	

S6

SCALE BAR: 3/4"=1'-0"



Contractor License

Huerfano County Land Use and Building Department

License Year: 2024

The Huerfano County Building Authority attests that the individual and/or company named below has satisfactorily demonstrated the knowledge and experience required by the codes and standards put in place by the Huerfano County Building Authority, and is hereby issued this contractor license.

License Number: 1095

Tried and True Handy Construction

License Type: C - Home Builder

PO Box 781
La Veta, CO 81055

Jurisdiction: Walsenburg and Unincorporated County

Expiration
Date:

Cheri Chamberlain

Cheri Chamberlain, Building Inspector

03/19/2024

Date



Huerfano County, CO

401 MainSte 304, Walsenburg CO 81089
719-738-1220 x103
building@huerfano.us

INV Item 5b.

Date: 16-Jul-24

Tried and True Handy Construction
P.O. Box 781 6 Yaso Court
La Veta, CO 81055

License No.: 1095 **Parcel No.:**
Effective Date: 03/19/2024 **Subdivision:**
LicenseType: Contractor License
Site Address: PO Box 781
La Veta, CO 81055

Description	Fee Amount	Paid/Credit	Balance Due
Contractor Renewal Fee	\$225.00	\$225.00	\$0.00

Total Fee Amount:	\$225.00
Total Paid Credits:	\$225.00
Balance Due:	\$0.00

PAYMENT DUE UPON RECEIPT

**Huerfano County Land Use
401 Main Street, Suite 304
Walsenburg, Colorado 81089
719-738-1220, Ext. 506**



Huerfano County Building Authority Board (HCBA) Staff Report

Update for Spanish Peaks Inn

History:

Has been before the HCBA several times trying to get the removal done

Currently:

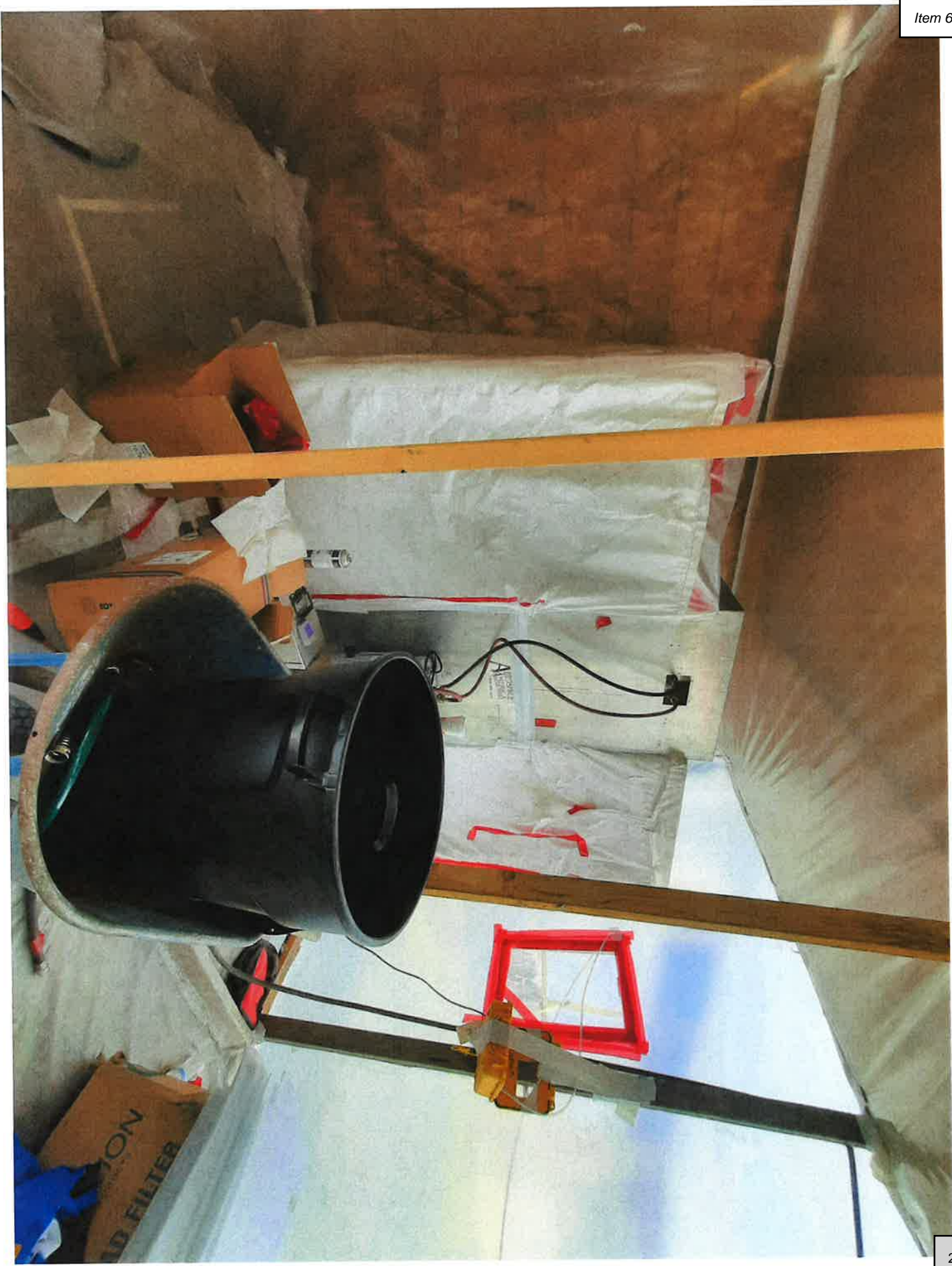
Adept is on site and has been since July 8th, 2024.

Staff Recommendation:

- Spot check until job completion



Item 6a.



Item 6a.



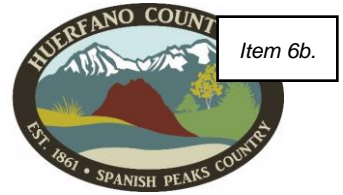
Item 6a.





Item 6a.

Huerfano County Land Use
401 Main Street, Suite 304
Walsenburg, Colorado 81089
719-738-1220, Ext. 506



Huerfano County Building Authority Board (HCBA) Staff Report

Update for J&O Roofing and Exteriors

History:

Has been before the HCBA several times regarding a re-roof/extension.

Currently:

J&O have obtained their Contractor's License and paid for the building permit with double fees. Has a meeting over the telephone with Mr. Worley and J&O and they will be starting the job on Friday July 19, 2024. Building Inspector to go up and do inspections.

Staff Recommendation:

- Just monitor until job completion

**Huerfano County Land Use
401 Main Street, Suite 304
Walsenburg, Colorado 81089
719-738-1220, Ext. 506**



Huerfano County Building Authority Board (HCBA) Staff Report

Update for Timberline Custom Builders LLC-

History:

There are two outstanding permits one for BP #23-005 Grandote Golf Course and the second for RA-23-042 Hager-Straw bale house remodel. Both owners have released Timberline from their projects.

Currently:

Two new complaints have been brought to the Building Department's attention. The Department also received notice that Timberline's insurance policy was cancelled. Timberline was sent an email July 17, 2024 to inform them that all work in Huerfano County needs to stop until they provide proof of insurance.

Staff Recommendation:

- Hold a public hearing on August 1, 2024



CERTIFICATE OF LIABILITY INSURANCE

DATE (Item 6c.
06/20/2024	

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER CoWest Insurance Services, LLC P.O. Box 910 Castle Rock CO 80104	CONTACT NAME: Grinder Group Ins. PHONE (A/C, No, Ext): (303) 688-9597 E-MAIL ADDRESS:	FAX (A/C, No): (303) 688-8858
	INSURER(S) AFFORDING COVERAGE	
INSURED Timberline Custom Builders, LLC 1219 25th Ln Pueblo CO 81006-2013	INSURER A: Old Guard Insurance Company	NAIC # 17558
	INSURER B: Pinnacol Assurance	41190
	INSURER C:	
	INSURER D:	
	INSURER E:	

COVERAGES **CERTIFICATE NUMBER:** Master 24/25 **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			398515X	03/15/2024	05/15/2024	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 1,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$ \$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A	4249917	03/02/2024	06/25/2024	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 100,000 E.L. DISEASE - EA EMPLOYEE \$ 100,000 E.L. DISEASE - POLICY LIMIT \$ 500,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
 Huerfano County Regional Building Department is additional insured

Cancelled

CERTIFICATE HOLDER Huerfano County Regional Building Department 401 Main St Walsenberg CO 81089	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE

Huerfano County Land Use
401 Main Street, Suite 304
Walsenburg, Colorado 81089
719-738-1220, Ext. 506



Huerfano County Building Authority Board (HCBA) Staff Report

Update for Keith Parsons

History:

Has been before the HCBA three times showing little or no progress on the building of his house. Mr. Parsons stated t the meeting on May 16th, 2024 that he has continued to be in litigation with his POA Turkey Ridge Ranch, and isn't sure whether to continue on the house. The HCBA with a majority vote and one recusing herself, that both the POA Turkey Ridge Ranch and Keith Parsons provide a letter from each party's attorney where they stand in litigation within 30 days of the May 16th 2024 meeting.

Currently:

Both party's attorneys have submitted a letter stating where they were in litigation.

Staff Recommendation:

- To allow Mr. Parsons to continue with building permit 20-069, and come back in six months, showing progress.
- To not allow Mr. Parsons to continue with building permit 20-069, and relinquish the permit.



May 28, 2024

Via Regular U.S. Mail

Colorado Springs Office
Debra J. Oppenheimer
 Direct 303.991.2020
 doppenheimer@altitude.law

Huerfano County Building Department
 401 Main Street, Suite 304
 Walsenburg, CO 81089

Re: **Covenant Violations: Turkey Ridge Ranch Property Owners Association**
Regarding property owned by Keith Parsons at 1606 Shaymus Court
Our File No: 3493.0021

To Whom it may concern:

Altitude Community Law P.C. is legal counsel for Turkey Ridge Ranch Property Owners Association, Inc. ("Association"). The Board of Directors has requested we write to you concerning the Association's actions against Keith Parsons, as the events relayed to you by Mr. Parsons are not accurate.

Our office initially sent a notification to Mr. Parsons in April of 2021 for two covenant violations. One violation was due to Mr. Parsons extending his fence across a road owned and maintained by the Association. The second violation was that Mr. Parsons was living in a camper on his property which is prohibited by the covenants.

As you know, the Turkey Ridge Ranch Property Owners Association is a covenant protected community. What this means is that there are certain restrictions in the form of the Restated Declaration of Covenants, Conditions, Restrictions and Easements for Turkey Ridge Ranch ("Declaration"), regarding the use of all the owners' property within the community. In addition, the Association has also adopted Rules and Regulations that govern the use of all properties that are binding upon the owners.

The first issue for Mr. Parsons placing his fence across a roadway was resolved in June of 2021 after Roger Mangini and Huerfano County Code Office both met with Mr. Parsons on his property and showed him where he could legally place his fence, and where he had to move his fence. Following the meeting, Mr. Parsons removed his fence off of Association property. That matter was resolved upon Mr. Parsons payment of the attorney fees and the costs of Mr. Mangini.

The second issue for Mr. Parsons was that he was living in a camper on his lot. Owners are only allowed a short window of time to live in their camper and that is while actively building

Page 2
Keith Parsons
May 28, 2024

their home, but even then, for only a period of six months which he far exceeded. Mr. Parsons refused to comply with the covenants and a lawsuit was filed and judgment entered against Mr. Parsons. The lawsuit was filed March 21, 2022, Case 2022C030013, in Huerfano County Court. Judgment entered March 23, 2023 and the Court issued a Satisfaction of Judgment on that case on April 5, 2024, so it is closed.

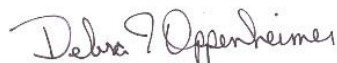
Mr. Parsons did attempt to move his camper back onto his lot to live in it again in February of 2024, and the Association did file a Motion for Contempt of Court for said action, and he then removed the camper.

The Association has filed no other lawsuits against him. As an officer of the Court, I can advise that there are no other lawsuits currently showing in the state court system against Keith Parsons.

The Association has never advised Mr. Parsons that he could not build on his property nor tried to stop his building. The Association has taken action for his repeated attempts to live in a camper on his property, which is not allowed. Obviously, if the County renews his building permit Mr. Parsons will still not be allowed to live in a camper on his lot as he has already exceeded the allowed six months to do that. Additionally, if he tries to simply obtain a camping permit, that will also still be in violation of the covenants for the community.

We trust this addresses the mis-information that the Association is in active litigation against Mr. Parsons and the mis-information that the Association ever tried to stop his building of his home. Should you have any questions or desire to discuss this further, please do not hesitate to contact us.

Sincerely,



Debra J. Oppenheimer
Altitude Community Law P.C.

DJO/djo
c: Board of Directors, Turkey Ridge Ranch Property Owners Association

4868-3187-3218, v. 1

**Janet Kinniry
Kinniry Law Office
PO Box 154
Gardner CO 81040
719 289 8889 cell**

June 7, 2024

By Email:

Keith Parson

KEITHPARSONS1@aol.com

Re: Turkey Ridge Ranch Homeowners Association v. Keith Parsons
Huerfano County Court
Case No. 2022C 30013
Case Status

Dear Mr. Parsons;

I provide here the information you requested, indicating that the Homeowners Association case, 2022 C 30013, against you is closed. Please let me know if you need further information. Below is a summary of the course of litigation. The supporting documents are available public records at the Huerfano Combined Courts. If there is any further question, I can also provide the records.

1. On November 22, 2023, the Court issued a Writ of Execution in this case, in the amount of \$10,431.21, for damages, costs and interest for the Turkey Ridge Homeowners Association (HOA) against Keith Parsons.
2. The Huerfano County Court had issued a judgment in favor of HOA, for its attorneys' fees and costs in litigation to enforce an HOA rule that residents can use campers on their lands only for recreation, not for permanent dwellings.

3. The Clerk of the Court indicated that on February 15, 2024, the total amount of the judgment owed to Turkey Ridge Ranch Property Owners Association (hereinafter "HOA") for attorney's fees, costs and interest was \$10,532.71.
4. On February 15, 2024, Mr. Parsons tendered a check endorsed to the Huerfano Combined Courts, executed and paid by George Birrer, in the amount of \$10,539.00, for the HOA judgment.
5. Mr. Parson then filed a motion in the Huerfano Combined Courts, to order the Clerk of the Courts to transfer the funds to Turkey Ridge Ranch Property Owners Association, Inc. in full and final satisfaction of judgment.
6. On February 19, 2024, HOA filed a response objecting to Parson's motion for satisfaction of judgment. HOA stated that Parson's owed an additional amount of \$744 for post judgment interest on the court's order.
7. On February 19, 2024, HOA moved the court for additional attorney's fees of \$7,211.50 and costs of \$249.99 for alleged post judgment expenses.
8. On February 26, 2024, Parson deposited with the court an additional \$790 for post judgment interest.
9. On February 26, 2024, Parsons filed an objection to HOA's motion for post judgment fees and costs and filed a *Second Motion for Satisfaction of Judgment*.
10. On March 13, 2024, HOA moved the court to issue a *Contempt Citation* against Parsons for staying in his camper on his property between the dates of February 27, 2024 and March 13, 2024.
11. On March 13, 2024, HOA filed a *Reply*, again moving for post judgment attorney's fees and costs.
12. On March 22, 2024, Parsons responded to HOA's motion for *Contempt citation*. He indicated that he used his camper for two weeks on his land, between February 28-March 13, 2024, only for recreational purposes, as permitted by HOA rules. He then removed the camper.

13. On April 5, 2024, the Court denied HOA's motion for post judgment fees and costs. The Court did not issue a *Contempt citation*.

14. On April 5, 2024, the Court granted *Parson's Second Motion for Satisfaction of Judgment*.

The litigation between HOA and Parsons has concluded. If you have any questions, feel free to contact me.

Cordially,

Janet Kinniry