



**Where Life is Sweet**

# CITY COUNCIL

## AGENDA

MONDAY, FEBRUARY 09, 2026

COUNCIL CHAMBERS - 180 NE 2ND ST.

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*Other ways of viewing or participating in live meetings are available through:  
YouTube at: <https://bit.ly/HermistonYoutube>*

*Zoom with Meeting ID: 829 0043 5622 Passcode: 417097 Telephone number to join is: 1 253 215 8782; or submitting comments to [meetings@hermiston.gov](mailto:meetings@hermiston.gov)*

*For written electronic public comments to be part of the official record, sender must provide their full name and place of residence and comments must be received within the time frame given for the item under discussion. The City Recorder will respond/confirm to sender that their electronic comment was received and will be made part of the record; or, if their electronic comment is not able to be made part of the record, the City Recorder will respond to the sender and state the reason(s) why.*

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**1. CALL REGULAR MEETING TO ORDER – 7:00 PM**

**2. DECLARATION OF QUORUM**

**3. FLAG SALUTE**

**4. CITIZEN INPUT ON NON-AGENDA ITEMS**

*Anyone wishing to bring anything before the council that is not on the agenda is asked to please do the following: 1. Please limit comments to not more than FIVE minutes; 2. State your name and place of residence; 3. Direct your comments to the Chair.*

**5. CONSENT AGENDA**

**A.** Committee Vacancy Announcements

**B.** Minutes of the December 8 Public Infrastructure Committee

**C.** Minutes of the January 26th City Council Regular Meeting

**6. ITEMS REMOVED FROM CONSENT AGENDA**

**7. RESOLUTIONS**

A. Resolution No. 2406- Umatilla River Bridge at Punkin Center Intergovernmental Agreement

B. Resolution No. 2407- Agape House Storage Buildings Contract Award

## 8. OTHER

A. January 2026 Quarterly Investment Report

## 9. COMMITTEE REPORTS

**A.** City Committee and Liaison:

Airport Advisory, Budget, Hispanic Advisory, Library Board, Parks and Recreation, Planning Commission, Recreation Projects Fund, Faith-Based Advisory, Community Accountability, Public Safety, Public Infrastructure, Transit Planning, EOTEC, Stepping Stones Alliance (not a City Committee), Public Finance, Sanitary Disposal & Curbside Recycling, Vacancy Review

**B.** Mayor's Report

**C.** Council President's Report

**D.** Council Report

**E.** Youth Advisory Report

**F.** Manager's Report

## 10. ADJOURN

### **\*\* AMERICANS WITH DISABILITIES ACT NOTICE\*\***

Please contact Hermiston City Hall, 180 NE 2nd Street, Hermiston, OR 97838 (Phone No. 541-567-5521) at least 48 hours prior to the scheduled meeting time if you need an accommodation. TTY and TDD users please call Oregon Telecommunications Relay Service at 1-800-735-2900 or 711.



# PUBLIC ANNOUNCEMENT

**The City is accepting applications for the following Committees:**

**1. Budget Committee**

- Positions 1 & 2: 3-year term ending December 31, 2028 (Advertised 09/23/2025)
- Position 4: Remaining 3-year term ending December 31, 2026 (Advertised 10/14/2025)

**2. Planning Commission**

- Positions 4, 5, & 6: 3-year term ending March 31, 2029 (Advertised 01/28/2026)

**3. Airport Advisory Committee**

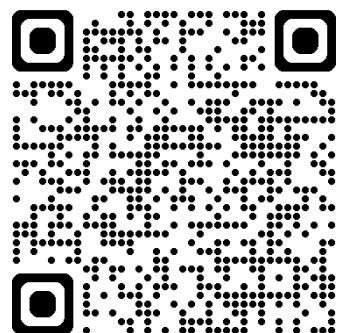
- Position 2: Remaining 3-year term ending October 31, 2026 (Advertised 11/08/2024)

**4. Hispanic Advisory Committee**

- Position 1: Remaining 3-year term ending June 30, 2026 (Advertised 11/17/2025)
- Position 5: Remaining 3-year term ending June 30, 2028 (Advertised 01/28/2026)

**Deadline to apply for Committees: Open Until Filled**

Applications and more information about these and all other City Committee's, Board's, and Commission's can be found on the City's website at: <https://hermiston.or.us/volunteer> or by using the QR Code. Have questions or are interested in applying? Reach out to Lilly Alarcon-Strong at: City Hall, 180 NE 2<sup>nd</sup> Street, Hermiston, at [lalarcon-strong@hermiston.gov](mailto:lalarcon-strong@hermiston.gov), or at 541-567-5004.



Proposed appointment(s) and confirmation(s) of these positions are made by the City Council. All appointments to city boards and commissions shall be made in accordance with the ordinances and city charter. Appointees shall not be full-time employees of the city, shall not be elected officials of the city, shall not be appointed to more than two boards or commissions at a time, and shall not sell to the city or its boards and commissions over which the council has appointive powers and budget control either directly as a prime contractor or supplier, or indirectly as a first-tier subcontractor or supplier. Sales shall be construed to mean sales, services or fees aggregating \$20,000 or more in any one calendar year. Preference for appointees shall be given to city residents.



# Public Infrastructure Committee

## Meeting Minutes

December 8, 2025

Mayor Primmer called the meeting to order at 6:00pm. Councilor McCarthy was present. City staff in attendance included: City Manager Byron Smith, Assistant City Manager Mark Morgan, Recycled Water Superintendent Bill Schmitte, Street Superintendent Ron Sivey, Street Foreman Robert Herrera, Water Superintendent Roy Bicknell, and Planning Assistant Heather La Beau. Also present were Anderson Perry engineers Joshua Lott and Alan Davis. Councilor Roberts was excused.

### **2026 Water/Sewer Rate Adjustment**

Using the attached PowerPoint, Assistant City Manager Morgan presented background information on how utility rates have historically been structured. The city restructured rates in 2018 to use an "inclining block rate" meaning the more water used, the higher the rate. City policy adjusts rates annually according to the Engineering News Record's Construction Cost Index to provide stable and predictable rates. The inflation rate in 2020 was over 7%, therefore the city chose to use a three-year average that year to determine the adopted utility rate. This year's rate adjustment recommendation is also a three-year average of a 2.34% increase. The adjustment will be presented to the council at the first meeting in January.

### **Low Income Utility Rate Assistance Program**

The previous utility assistance program was limited to 50 accounts and applicants had to be at or below the federal poverty level. Current qualification is 175% of Federal Poverty Level. Accounts in the program are charged ½ of the base charge for both water and sewer, while usage charges are at the normal rate. Evidence of the prior year's income is submitted with the application. An income tax statement is helpful as it indicates the number of people in the household. The 50-account cap remains. No changes to the current program are proposed.

### **Regional Water System**

The regional water system is operated by the City of Hermiston. The Port of Umatilla adopts the rates. Since its establishment, the regional rate has been set on a cost recovery basis, using prior usage. The reserve fund target is \$1,000,000. An assessment has been added to all customers for a backup generator. The regional water system users agreed to the assessment in 2024. The regional water rate is increasing this year, due to the impact of users shutting down operations for extended periods, using less water. Water usage is expected to increase over the next several years as water is bought to store as part of the aquifer storage and recovery project. The annual regional water system users meeting is scheduled for Friday, December 12.

Anderson Perry & Associates has been drafting a regional water system master plan for the past fifteen months. The plan addresses expansion possibilities, mitigating infrastructure risks, water rights, etc. Additional information will be forthcoming at a future Public Infrastructure Committee meeting.

### **Street Capital Projects Manager**

Street Superintendent Ron Sivey is retiring at the end of the month after 39 years of service. Roberto Herrera has been hired as a Streets Foreman and will manage street maintenance with the street crew. Roberto worked in the Street Department prior to transferring to the Recycled Water Department several years ago. Cameron Meade has been hired as the Streets/Capital Projects Manager. He is set to start work mid-January and will oversee the Street Department budget and Capital Improvement Plan projects.

### **Capital Improvement Projects (CIP) Capital Projects Update**



Where Life is Sweet

# Public Infrastructure Committee

## Meeting Minutes

December 8, 2025

- NW 2<sup>nd</sup> St paving NW 2<sup>nd</sup> St & W Dogwood Ave- design work almost complete, out to bid next several months, construction in spring/summer
- W Orchard Ave Replacing aged and undersized waterlines in Orchard from 7<sup>th</sup> St to 11<sup>th</sup> St and a small branch onto 9<sup>th</sup> a couple blocks south- includes resurfacing the top 2 inches of the entire street width and filling in missing sidewalk segments- currently in design, bid in winter 2025 & completed by fall end 2026
- Geer & Harper Realignment- design work continues, being bid in winter with work in the spring/summer of 2026. The rail crossing and the intersection will be closed for several months at a time. Businesses were mailed a notice in September, project information has been posted on the CIP website, and large signs have been installed at the site.
- Well #6 Chlorination Structure- larger structure will be built in 2026
- Well #4 Control System- contractor is in place, project should be complete and the well fully operational prior to the next irrigation season.
- Lift #7 Reconstruction- sewer lift station will be fully reconstructed in 2026
- RWTP Chlorination Improvements- result of permit changes to discharge water to river and chlorine byproducts. To reduce chlorine usage, a UV treatment system will be installed.

### Adjourn

Mayor Primmer adjourned the meeting at 6:50pm.



# Public Infrastructure Committee

December 8, 2025





# Water & Sewer Utility Rates

- Background

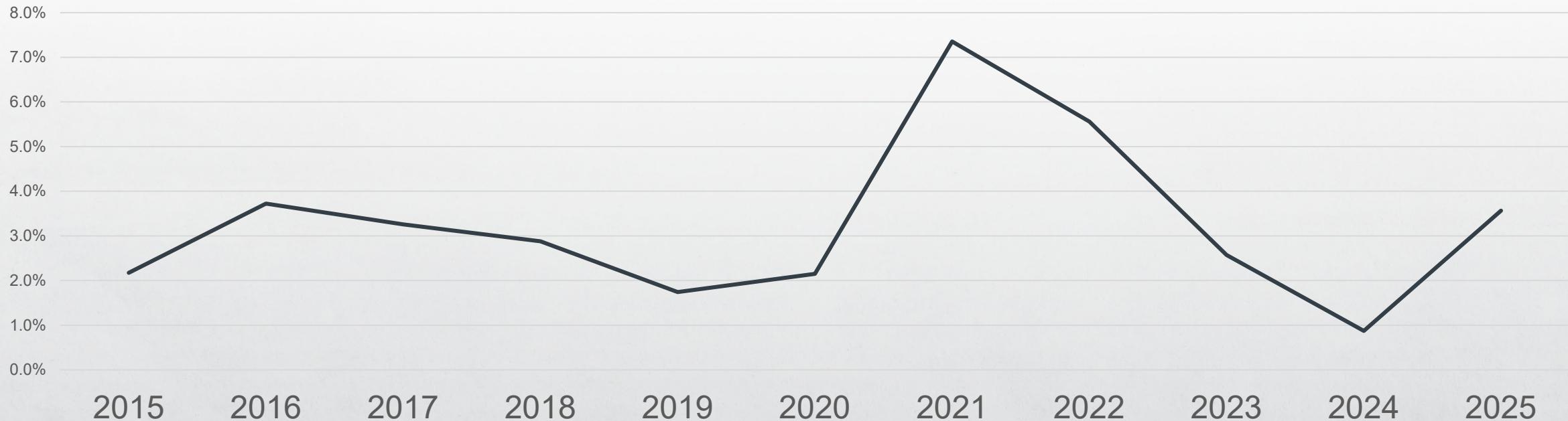
- 2016: Borrowed \$1M to Dredge Lagoon
- 2017: Developed Capital Improvement Plan
- Pay-as-you-Go vs. Debt
- 2018: Rate Re Structure → “Inclining Block Rate”
- Stable & Predictable: Engineering News Record’s Construction Cost Index (ENRCCI)





# 10-Year Inflation

Construction Annual Inflation





# Construction Inflation

- 2023: 2.6%
- 2024: 0.9%
- 2025: 3.6%
- 3Yr Av: 2.34%

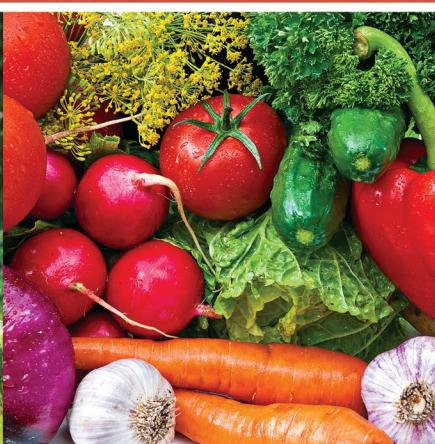
- Median Residential Customer: \$2.72/Month





# Low Income Utility Rate Assistance Programs

December 8, 2025





# Background

- Pre-2019: Almost Non-Existent
- Current Qualifications
  - **175% Federal Poverty Level**
- $\frac{1}{2}$  Base Charge – Usage Charge is Normal
- Cost to Other Rate-Payers Limited to only 50





# Compliance Considerations

- “Chronically Low Income”?
- Household?
- Means Testing?





# Cost of Assistance

- Must be Recouped from Other Rate-Payers
- 2026 Cost of 50 Users:
  - **Benefit Per -Recipient:** **\$477.78**
  - **Cost to Utility:** **\$23,889**
  - **Cost per Customer:** **\$0.33 per month**





# Cost of Assistance

- Must be Recouped from Other Rate-Payers
- 2026 Cost of 100 Users:
  - **Benefit Per -Recipient:** **\$477.78**
  - **Cost to Utility:** **\$47,778**
  - **Cost per Customer:** **\$0.66 per month**





# Regional Water System

December 8, 2025





# RWS Rates

- System Operated by City of Hermiston
- Port of Umatilla Adopts Rates
- Cost Recovery Based on Prior Usage
- Reserve Target: \$1M
- Backup Generator Assessment
- Annual Meeting Friday





# RWS Master Plan

December 8, 2025

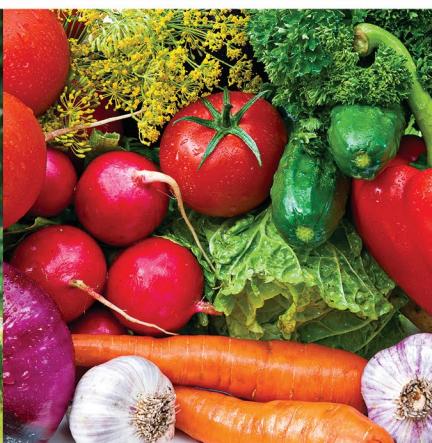






# Project Updates

December 8, 2025





# NW 2<sup>d</sup> Street



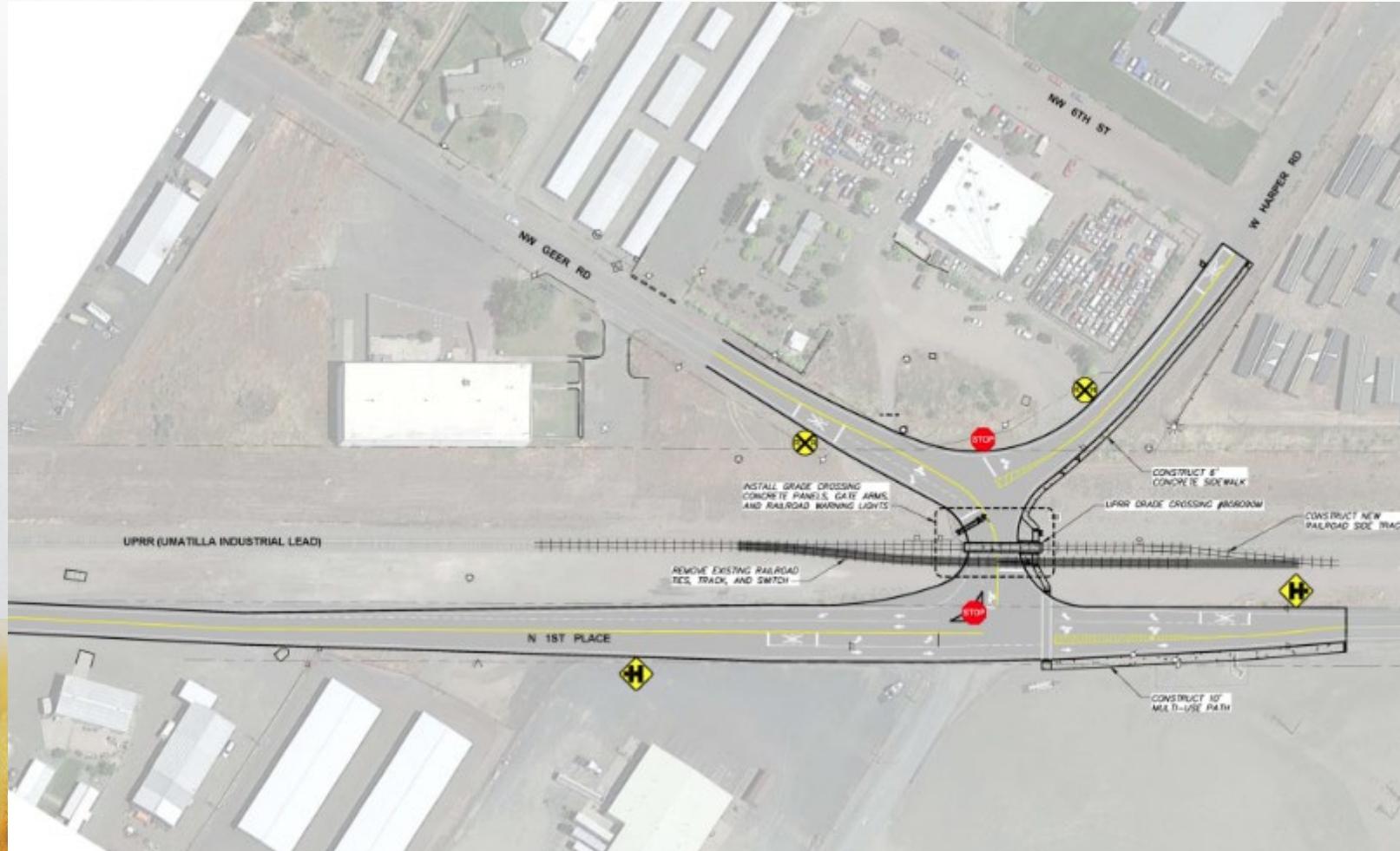


# Orchard Ave. Water Line





# Geer/Harper Realignment





# Well #6 Chlorination Structure





# Well #4 Control System





# Lift #7 Reconstruction





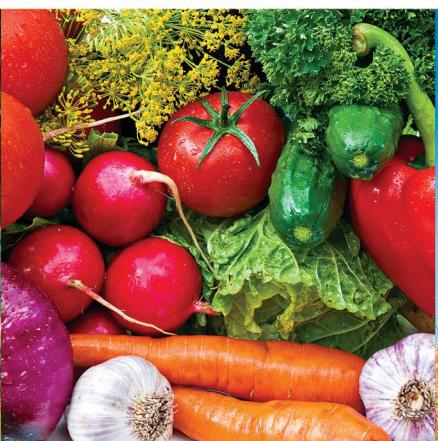
# RWTP Chlorination Improvement





# Public Works Staff Changes

## Summary





# Streets/Capital Project Manager

- Ron Sivey Retiring as Street Superintendent
  - Cameron Meade: Streets/Capital Projects Manager
  - Roberto Herrera: Streets Foreman
- Streets/Capital Project Manager
  - Oversee Street Department
  - Deliver CIP Projects for Water/Sewer /Streets





# CITY COUNCIL

## Regular Meeting Minutes January 26, 2026

Mayor Primmer called the regular meeting to order at 7:00pm. Present were Councilors Hayward, Roberts, Myers, McCarthy, Duron, Linton, Kelso, and Barron. City Staff in attendance included: City Manager Byron Smith, Assistant City Manager Mark Morgan, City Attorney Rich Tovey, Police Chief Jason Edmiston, Finance Director Ignacio Palacios, Planning Director Clint Spencer, Court Administrator Jillian Viles, and Deputy City Recorder Heather La Beau. Also present was Student Advisor Jacquelyn Quevedo. The pledge of allegiance was given.

### **Citizen Input on Non-Agenda Items**

Jonathan Tallman 450 Laurel Lane Boardman- Mr. Tallman thanked Councilor Barron for his Facebook post about the council agenda items. Mr. Tallman spoke of his concerns regarding data center developments, providing multiple handouts with references to links (attached).

The attached emailed comment from Donnie Hill was provided to each councilor.

### **Consent Agenda Items**

Councilor Linton moved, and Councilor Hayward seconded to approve Consent Agenda items A-B, to include:

- A. Committee Vacancy Announcements
- B. Minutes of the January 12th Regular Meeting of the City Council

Motion carried unanimously with Councilors Hayward, Roberts, Myers, McCarthy, Duron, Linton, Kelso, and Barron voting in favor.

### **Public Hearing- Comprehensive Plan Map & Zoning Map Amendment & Annexation 4N2813 TL 1300 (Ordinance Nos. 2378 & 2379)**

Councilor Hayward stated a potential conflict of interest as an Amazon employee. Hearing no other declarations of conflicts of interest or ex parte contact, Planning Director Spencer read the hearing guidelines and Mayor Primmer opened the hearing at 7:14pm.

Planning Director Spencer gave information (PowerPoint presentation attached) regarding the proposed map amendments and annexation of the property. The change from Future Commercial/Industrial to Commercial and from F-1 General Farm Use to Outlying Commercial with a Fairgrounds Overlay allows the land to be developed as an RV park. The property is proposed for annexation to allow connection to city utilities.

### **Public Testimony**

Vikash Narain 2255 S Hwy 395- Mr. Narain represents the hotels and motels of Hermiston and Umatilla and spoke of the impacts of an RV park on hotel occupancy rates, lodging tax revenue, jobs, and the ripple effect on the local economy. Mr. Narain desires to grow together, not compete with the city.

Karyn Jones 1010 W Highland Ave- Ms. Jones is here in support of the hotels and other businesspeople in opposition and hopes the council considers the impacts on them and the economy.

Mayor Primmer closed the hearing at 7:24pm.

Planning Director presented the Findings of Facts for the map amendments and annexation as included in the agenda packet and answered a Council question regarding the acreage of the proposed RV park.



# CITY COUNCIL

## Regular Meeting Minutes January 26, 2026

**Where Life is Sweet**

Councilor Hayward moved and Councilor Roberts seconded to adopt the Findings of Facts as presented. Motion carried unanimously with Councilors Hayward, Roberts, Myers, McCarthy, Duron, Linton, Kelso, and Barron voting in favor. Councilor Hayward moved and Councilor Myers seconded to impose the conditions of approval. Motion carried unanimously with Councilors Hayward, Roberts, Myers, McCarthy, Duron, Linton, Kelso, and Barron voting in favor.

**Ordinance No. 2378 - Comprehensive Plan Map & Zoning Map Amendments- Farm City Pro Rodeo 4N2813 Tax Lots 1300- 1835 E Airport Rd-** City Manager Smith stated the proposed ordinance was presented during the public hearing.

Councilors expressed appreciation for the public comments, stated the importance of supporting hotels, and thanked the Farm City Pro Rodeo. City Attorney Tovey read the ordinance by title only. Councilor Hayward moved and Councilor Myers Motion to adopt Ordinance No. 2378 at a single meeting and become effective 30 days after co-adoption by the Umatilla County Board of Commissioners. Motion carried unanimously with Councilors Hayward, Roberts, Myers, McCarthy, Duron, Linton, Kelso, and Barron voting in favor.

**Ordinance No. 2379 – Annexation- Farm City Pro Rodeo 4N2813 Tax Lots 1300- 1835 E Airport Rd-** City Manager Smith stated the proposed ordinance was presented during the public hearing.

At the request of Mayor Primmer, City Attorney Tovey read the ordinance by title only. Councilor McCarthy moved and Councilor Hayward seconded to adopt Ordinance No. 2379 at a single meeting and become effective 30 days after adoption by the Umatilla County Board of Commissioners. Motion carried unanimously with Councilors Hayward, Roberts, Myers, McCarthy, Duron, Linton, Kelso, and Barron voting in favor.

**Resolution No. 24021- Master Fee Schedule & Utility Rate Adjustments**

Assistant City Manager Morgan reviewed information from the agenda packet and presented additional information (PowerPoint Presentation attached) regarding Resolution No. 2401 and addressed the typo on page 5 of the PowerPoint Presentation stating the page should read \$2.72 not \$2.27.

After addressing Council questions and additional discussion, Councilor McCarthy moved and Councilor Hayward seconded to adopt Resolution No. 2401 and lay upon the record. Motion carried unanimously with Councilors Hayward, Roberts, Myers, McCarthy, Duron, Linton, Kelso, and Barron in favor.

**Resolution No. 2402- Authorizing Installation of Stop Signs**

Assistant City Manager Morgan reviewed information from the agenda packet regarding Resolution No. 2402. The resolution includes the addition of a stop sign at the intersection of SE Columbia Drive and SE 10<sup>th</sup> St, as requested at a previous meeting. (Exhibits attached) One of the location requests came via the My Hermiston App.

Councilor Duron moved and Councilor Hayward seconded adopt Resolution 2402 and lay upon the record. Motion carried unanimously with Councilors Hayward, Roberts, Myers, McCarthy, Duron, Linton, Kelso, and Barron in favor.

**Resolution No. 2403- Adopts revised Public Works Standards, Technical Specifications, and Standard Drawings Manual**



# CITY COUNCIL

## Regular Meeting Minutes January 26, 2026

Assistant City Manager Morgan reviewed information from the agenda packet regarding Resolution No. 2403.

After some discussion regarding removing the tracer wire, Councilor Linton moved and Councilor McCarthy seconded to adopt Resolution 2403 and lay upon the record. Motion carried unanimously with Councilors Hayward, Roberts, Myers, McCarthy, Duron, Linton, Kelso, and Barron in favor. Councilor Linton thanked staff for answering her questions regarding the changes.

### **Resolution No. 2404- Renewal of IGA for IT Services with the Oregon Trail Library District (OTLD)**

City Manager Smith stated this renewal extends the contract for an additional three years and adds a 3% inflationary increase each year. Councilor Kelso shared his appreciation with staff for the vision and willingness to create an IT department and establish IGAs. Councilor Duron moved and Councilor Hayward seconded to adopt Resolution 2404 and lay upon the record. Motion carried unanimously with Councilors Hayward, Roberts, Myers, McCarthy, Duron, Linton, Kelso, and Barron in favor.

### **Resolution No. 2405- North EOTEC RV Park Contract Award**

Councilor Hayward stated there is a potential conflict of interest due to his employment with Amazon. City Manager Smith reviewed information regarding awarding the contract for the North EOTEC RV Park, located on the existing fairgrounds (site plan attached). Due to operational challenges, the location of the event camping spaces and longer-term spaces were split. This award is for the event camping spaces located as originally allocated on the EOTEC Master Plan. This project is time sensitive, as they hope to have the spaces operational by the 2026 fair.

Councilors discussed contractor selection requirements, utility connections, landscaping, parking, the engineer's estimate and project costs, experience with Big D's Construction, and Ott Road traffic. Councilor Hayward moved and Councilor McCarthy seconded to adopt Resolution 2405 and lay upon the record. Motion passed 7-1, with Councilors Hayward, Roberts, Myers, McCarthy, Duron, Kelso, and Barron in favor and Councilor Linton opposed.

### **Potential Code Amendments Regulating Temporary Food Vendors**

Planning Director Spencer reviewed information regarding potential amendments, stating these amendments are not in the mobile food vendor code, but in the nuisance code to provide both code enforcement and police officers resources to address the many complaints received about the vendors setting up in temporary places creating potential health hazards. The resources vary from education to issuing citations and fines.

Clarification was provided for "prepared food", dollar amounts of fines for Class A violations (presumptive \$440 and maximum \$2000), the importance of food safety, public health, applying rules equitably to all community members.

Councilors discussed education and collaboration before levying fines, citing a perceived language barrier. A public work session on the topic was suggested to educate the vendors, with translation services available. Staff responded that all efforts will be made to educate but these changes provide an option for enforcement when vendors have been educated and choose not to comply.

### **Public Comment**



# CITY COUNCIL

## Regular Meeting Minutes January 26, 2026

**Where Life is Sweet**

Karyn Jones 1010 W Highland Ave- Ms. Jones questioned if small baking businesses regulated through the Oregon Department of Agriculture (ODA) are affected by these amendments. Staff replied that the city does not regulate internal kitchens. Ms. Jones stated she appreciates Councilor Barron's comments and shares many of the same concerns.

Yesenia Rangel 1655 SW Riverhill Dr- Ms. Rangel makes fresh salsa and met with ODA several months ago. Her sales are in Washington as they have commissary kitchens in Benton County. ODA suggested she have her home kitchen be approved. She states she is trying to learn how to grow in her own area. Ms. Rangel said she doesn't feel it's fair to have Hermiston residents impacted by out-of-state pop-up vendors. A family member operates a local food truck in compliance for over 30 years without speaking fluent English. She asks how the city/county and state can support small entrepreneurial businesses in the community and questions why it's getting harder and more expensive.

Staff will work on the suggestions for outreach and education and will move forward with presenting the language for amendment at a future meeting.

### **December 2025 Monthly Financial Report**

Councilor McCarthy moved and Councilor Myers seconded to accept the December Monthly Financial Report as presented (PowerPoint presentation attached), by Finance Director Ignacio Palacios, City Manager Smith, and Assistant City Manager Mark Morgan. Motion carried unanimously with Councilors Hayward, Roberts, Myers, McCarthy, Duron, Linton, Kelso, and Barron voting in favor.

### **Committee Reports**

None given.

### **Mayor's Report**

Mayor Primmer stated it has been a busy few weeks and spoke regarding:

- MLK walk well attended
- LOC regional meeting with new President held in Hermiston
- January City Chat saw increase in attendance
- Council and Staff Goal Setting Sessions
- Annual Fair Appreciation Dinner
- Welcomed anyone with questions to email him at his city email address, he does respond and appreciates having conversations
- Seahawks playing in Super Bowl LX

### **Council Presidents Report**

Councilor McCarthy spoke regarding:

- Apologized for not being able to attend the second goal setting session
- Feb 7<sup>th</sup> swim lesson registration opens at 10am
- Hermiston Education Foundation banquet Feb 7<sup>th</sup> at 5pm
- Chamber of Commerce Speed Networking luncheon on Feb 18<sup>th</sup> at the Community Center

### **Council Reports**



# CITY COUNCIL

Regular Meeting Minutes  
January 26, 2026

Councilor Hayward echoed the mayor's comments encouraging people to reach out to the councilors and city with their concerns. They are available via email and can meet in-person.

Councilor Barron spoke regarding MLK Walk and Celebration and thanked the Hermiston Cultural Awareness Coalition for planning the event that continues to improve each year, and the goal setting sessions where he enjoyed listening to the previous year's accomplishments and planning for the city's future.

Councilor Duron thanked the staff who attended the goal setting sessions and their daily work in providing information for the council to help make their decisions. She will be attending the League of Oregon Cities Board of Directors meeting in Gearhart later this week.

Councilor Kelso also expressed appreciation for the conversations and exchanges of views during the goal setting sessions. He encouraged everyone to attend a high school unified basketball game next year as it is edifying to see and cheer on the players having such a good time together.

### **Youth Advisory Report**

Jacquelyn Quevedo stated that while winter is not as active at the high school, there is wrestling, basketball, blood drives, upcoming play in February and Unified Basketball games. The Unified games are well supported, and it is inspiring to see the players given the opportunity to participate in things they enjoy. Additional home games for the Unified team are scheduled for next year.

### **Manager's Report**

City Manager Smith encouraged any councilors who are interested in attending the upcoming NLC event to email him. There are two spaces available.

### **Adjourn**

There was no other business and Mayor Primmer adjourned the regular City Council meeting at 9:04pm.

SIGNED:

\_\_\_\_\_  
Doug Primmer, Mayor

ATTEST:

\_\_\_\_\_  
Heather KP La Beau, Deputy City Recorder

**UPDATED LETTER / PUBLIC COMMENT (WITH NDA + WATER TRANSPARENCY ADDED)**

**Subject: North EOTEC RV Park — Request for Full Transparency, Water Disclosure, and Public Record Posting**

Mayor and Councilors,

Thank you for the opportunity to provide public comment regarding the North EOTEC / Airport Road RV Park actions currently before the Council.

I respectfully request that this written comment, along with the reference links below, be **entered into the official record and posted in the City's online public comment archive**, so the public can review the same materials being raised in connection with these decisions.

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**1. These RV Park Decisions Are Not Occurring in Isolation**

I understand the argument being made that temporary workforce housing is a real need, and that additional RV capacity may reduce pressure on local housing.

However, these projects are being advanced alongside major regional industrial growth pressures, infrastructure commitments, and public-private arrangements that deserve full transparency before permanent land-use and funding commitments are locked in.

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**2. "Conceptual" Planning Becomes Permanent Through Funding**

Projects are often described as "conceptual," but once funding is committed and construction begins, the impacts become real:

- corridors harden
- alternatives disappear
- infrastructure reliance increases
- long-term public obligations expand

The community deserves clarity up front, not after the fact.

### 3. Public-Private Projects Require Full Disclosure — Including Any Confidentiality Restrictions

The City has stated that Amazon will reimburse construction costs and that the RV parks will remain City-owned assets.

That may sound straightforward. However, the public record should clearly show:

- the full agreement structure
- reimbursement terms
- any long-term maintenance or operating obligations
- whether any confidentiality provisions or NDAs exist that limit public disclosure

In many communities, residents are increasingly concerned when large-scale projects proceed under agreements that are not fully visible. **If any nondisclosure agreements have been signed by public officials or related entities, the public deserves clear confirmation of what is being kept confidential and why.**

### 4. Water Capacity and Infrastructure Impacts Must Be Fully Forthcoming

Additional RV development increases long-term water demand, system reliance, and rate pressure.

A major concern across Oregon is that water planning issues are often discussed only after projects are already underway, rather than clearly disclosed beforehand.

Before approving further expansion tied to industrial-driven growth, the City should confirm on the record:

- that adequate long-term municipal water rights and supply capacity exist
- what agency reviews those assumptions
- who pays for expansion and treatment costs
- whether residents will ultimately subsidize long-term impacts through rate increases

Lack of clarity on water supply issues is not a minor detail — it is foundational.

**Water transparency must match the scale of the development being approved.**

For record purposes, I am including the following reference:

**Water infrastructure and supply issues (reference):**

<https://youtu.be/DGjj7wDYail?si=5dwF9miN-XT86Hep>

## 5. Housing Market Impacts Must Be Discussed Honestly

This issue is not unique to Hermiston. Similar workforce-driven housing pressures and rental inflation impacts are being discussed across Oregon.

For the record:

### **Hillsboro and rental rate pressure (reference):**

[https://youtu.be/wLX\\_w0TtBpY?si=p98Veep17I4wvBb2](https://youtu.be/wLX_w0TtBpY?si=p98Veep17I4wvBb2)

## 6. Utility and Electrical Costs Are Rising Statewide

Temporary housing infrastructure is not truly temporary when electric demand and capital buildout become permanent.

The public should understand why power rates are increasing and how industrial load growth drives long-term system expansion.

### **Why electrical rates are going up (reference):**

<https://youtu.be/YN6BEUA4jNU?si=knQjnOpClGXfC4vu>

## 7. Request: Put the Full Record Online Before Commitments Are Locked In

My request is simple and reasonable:

- place all agreements and supporting documents into the public record
- clarify whether any NDAs or confidentiality terms exist
- confirm long-term water supply and infrastructure planning assumptions
- avoid piecemeal approvals that segment impacts across separate actions

Most importantly, I request that this submission and the links provided be **posted in the City's online comment archive** so residents can access the same reference materials raised during deliberations.

## Closing

The City's responsibility is not only to accommodate growth, but to ensure that growth is:

- transparent
- procedurally sound
- financially sustainable
- genuinely beneficial to the entire community long after construction ends

Thank you for considering these concerns and for ensuring this comment and the attached references are preserved in the official public record.

Respectfully submitted,

**Jonathan Tallman**

Boardman, Oregon

# Community Development

## NOTICE OF DECISION

Section 5, ItemC.

**DATE: July 26, 2021**

**TO: Boardman Planning Commission and Interested Parties**

**FROM: Barry C. Beyeler, Community Development Director**

**SUBJECT: ZP21-031 Umatilla Electric Cooperative Olson Rd. Transmission Project**

On May 19, 2021, Umatilla Electric Cooperative (UEC) submitted an application for zoning approval for the Olson Rd Transmission Project, a 230kv electrical transmission line in the Service Center Subdistrict. This project affects Tax lots #402, #403, #405 of Tax Lot Major 4N 25E 11, and tax lot #3201. Tax lots #3202 and #3205, of Morrow County Tax Map 4N 25I 10 were withdrawn by UEC for this project.

Approval of an outright allowable use is processed using a Type II - Administrative decision in accordance with Boardman Development Code (BDC) Chapter 4.1- Types of Applications and Review. The Type II decision process requires public notice to be sent to all properties within 250' of the parent property and posting notice on local reader boards and on the property. Public notice was mailed and the proper posting was accomplished on October 1 2020, meeting the 20-day notification requirements.

File: ZP21 – 031

Applicant: Umatilla Electric Cooperation

Project: Olson Rd. 230kv Transmission Line

### FINDINGS OF FACT

- 1) In 2018, Umatilla Electric Co-op approached the city about construction of a 230kv transmission line from a substation which was to be built at the I-84/US 730 junction to south Boardman. This transmission line is to provide increasing service pressure with existing and projected residential growth.
- 2) The city informed UEC where the line would go through many lots in the Service Center Sub-district, some evidence of property owner support would be needed.
- 3) UEC held numerous meetings with city and county staff members, and potentially affected property owners about the project.
- 4) UEC had obtained tentative agreements from most of the property owners for easements for the line. The Tallman family had not reached an agreement with UEC.
- 5) At this point UEC petitioned the Oregon Public Utilities Commission (PUC) for a Certificate of Public Convenience and Necessity (CPCN).

- 6) The PUC began their review of the petition as PCN4.
- 7) On March 5, 2021, The PUC, by Order 21-074, rendered their decision to Grant UEC a CPCN for this 230kv transmission line.
- 8) On April 15, 2021, Umatilla Electric Co-op submitted a Conditional Use Permit application



# City of Boardman

200 City Center Circle  
P.O. Box 229  
Boardman, OR 97818  
Phone: (541) 481-9252  
Fax: (541) 481-3244  
TTY Relay 711  
[www.cityofboardman.com](http://www.cityofboardman.com)



February 18, 2020

Mr. Robert Echenrode  
General Manager  
Umatilla Electric Cooperative  
750 W. Elm  
P.O. Box 1148  
Hermiston, OR 97838

Dear Mr. Echenrode:

The Community Development Director has performed a review of the Umatilla Electric Cooperative's ("UEC") proposed route for construction of a 230 Kv transmission line. Based on the information provided, the proposed line will extend from the planned Hwy 730 Switchyard at the intersection of Hwy 730 and I-84 to the planned Olson Rd. Substation south of Boardman, total transmission line length is approximately 4.3 miles. This route would pass through two commercial areas of the City of Boardman which include the Service Center Sub District (SC) and General Industrial (GI).

Within the SC zone, transmission lines are permitted outright pursuant to City of Boardman Development Code Table 2.2.200.B §(2)(b). The SC Zone is designed to accommodate heavy commercial uses and light industrial uses along portions of the I-84 corridor.

Within the GI zone, ~~transmission lines are permitted outright pursuant to City of Boardman Development Code Table 2.3.110.A §(2)(b). As outright permitted uses, no land use approval is required~~, and the City does not directly regulate this use.

Please let me know if you require any additional information.

Respectfully Submitted,

*Karen Pettigrew*

Karen Pettigrew  
Boardman City Manager

*Problmatic -*

*City does regulate this  
use.*

## ► Hermiston City Council Meeting – Tonight, Monday, January 26th ►

### ◆ What's on the Agenda?

#### ► Spotlight: EOTEC RV Park & Airport Area Development

Council will consider multiple items related to the North EOTEC / Airport Road area, including:

- A public hearing for a Comprehensive Plan Map and Zoning Map Amendment
- Annexation of property at 1835 E Airport Rd (Farm City Pro Rodeo / North EOTEC RV Park area)
- A potential construction contract award for infrastructure improvements at the North EOTEC RV Park

#### ► Addressing Community Concerns:

Many residents have shared concerns that the proposed North EOTEC RV Park may only benefit Amazon and not the broader community. Those concerns are valid — and important to address directly.

Here are a few key points to consider:

#### ► Temporary workforce housing is a real need.

Amazon contract workers are in Hermiston temporarily to build data centers. Currently, RV parks in West Umatilla County are operating at or near full capacity. Long-term motel stays are not ideal, and having workers buy up local homes would place even more pressure on our already tight housing market — making it harder for residents and first-time homebuyers.

#### ► This approach protects local housing.

Providing designated temporary housing helps prevent increased competition for homes and rentals, which ultimately benefits Hermiston families and residents.

#### ► Why not just raise taxes on companies like Amazon?

If cities raise taxes, companies move to another city.

If states raise taxes, companies move to another state.

What truly needs to happen is federal action — so corporations pay their fair share without forcing cities and states to compete against each other. Trillionaire corporations are negotiating between cities and states to see where they can get their best deal when the federal government should be asking them to pay their fair share. Local governments should not be pitted against one another in a race to the bottom. That responsibility lies with Congress.

► My personal philosophy aside, At the end of the day, this project benefits the City — not just Amazon.

This agreement includes two RV parks:

- One designated for Amazon contract workers
- One designated for EOTEC event parking and community use

Amazon will pay for the construction of both parks. The City will manage construction, and Amazon will reimburse the costs.

☞ These assets will remain City-owned, generating long-term, sustained revenue for EOTEC and the community long after construction is complete. This is about balancing growth, protecting housing, and ensuring Hermiston benefits from development — not just today, but for years to come.

#### Traffic Safety Improvements

Council will review a resolution to install new stop signs at designated intersections to improve traffic flow and safety.

#### Public Works Standards Update

Consideration of updated engineering standards, technical specifications, and standard drawings used for city infrastructure projects — ensuring consistency, safety, and modern best practices.

#### Library IT Services Agreement

Renewal of an agreement with the Oregon Trail Library District for shared information technology services.

#### Discussion Item: Temporary Food Vendor Regulations

Council discussion on potential code amendments related to temporary food vendors, including permitting and operational standards.

#### Fiscal Transparency

Presentation of the December 2025 Monthly Financial Report, highlighting revenues, expenditures, and the City's current financial position.

#### Also on the docket:

Citizen input, committee/liaison reports, and Mayor & Council updates.

 Council Chambers – 180 NE 2nd St

 Regular Meeting: 7:00 PM

 Watch live: <https://www.youtube.com/live/W7PWzoT3LME?si=jeYbW2ylrwVwfaOq>

Public comment: Email [meetings@hermiston.gov](mailto:meetings@hermiston.gov) with your full name and place of residence to be included in the record.

id M. Blanc  
nc@blancfirm.com  
ensed in OR & WA

k R. Blanc  
nc@blancfirm.com  
ensed in OR & CA

*The*  
**BLANC FIRM**  
*LLC*

April 5, 2021

Mr. and Mrs. Terry Tallman  
706 SE Mt. Hood Ave.  
Boardman, OR 97818

RE: City of Boardman  
Loop Road Right-of-Way

Dear Mr. and Mrs. Terry Tallman:

I represent the City of Boardman, who has asked that I write to you about obtaining the necessary right-of-way to construct a loop road on the west and east sides of Laurel Lane.

First, enclosed you will find a letter to Karen Pettigrew from Matt Scrivner, Morrow County Public Works Director, dated March 25, 2021. Please be advised Morrow County has provided notice that it will be closing and removing the unpermitted access within 30 days of March 25, 2021 if an approved approach permit and safety concerns have not been met. To comply and prevent closure, the City is required to finalize its plans to construct the loop road as shown on the map provided by the City to you with the letter dated March 1, 2021.

Second, the City has asked that I respond to your letter to Karen Pettigrew, dated March 17, 2021. In your letter you asked if the City had any objections to using the west 10 acres for residential housing. The property is zoned Service Center. The property must be used as allowed for that zone pursuant to the Boardman Development Code, unless a zone change is requested. The City cannot advise you on whether you should retain a lawyer or have your son, Jonathan, handle negotiations. If you choose to retain a lawyer, this letter should be delivered to that individual.

Third, with the deadline of the County to close the unpermitted access, action needs to be taken as soon as possible to resolve this issue. As an offer of compromise, the City is offering to pay the sum of \$30,000 for the necessary right-of-way. I need to hear from you on or before April 16, 2021. In the event this offer is not accepted by April 16, 2021, the City will have no choice but to proceed to the next step.

39 SE Court  
Pendleton, OR  
Phone: (541) 215-1111  
Fax: (541) 215-1111  
www.blancfirm.com



## ons

BPA) transmission corridors is subject to BPA review coordinated with BPA early in design to confirm the Park Blocks corridor contains 500 kV lines with the contains 230 kV lines with somewhat more flexibility.

es such as trails, signage, site furnishings, and to BPA confirmation.

tures (e.g., play features, poles, or lighting that

2025.04.14 PAC #3 Meet... + Create

Find text or text

Section 5, ItemC.

Tools Edit Convert E-Sign

open spaces that accommodate a range of activities.

- Develop indoor and year-round recreational options for all ages and abilities.
- Enhance water-based recreation by improving waterfront connections, access, rentals, and programming.
- Strengthen partnerships with local organizations, schools, and businesses to expand recreation programs.
- Ensure new recreational facilities and programs reflect community needs through public engagement and demographic data.

---

Goal 3: Preserve Boardman's History, Cultural & Community Identity

- **Objective:** Integrate historical, cultural, and community elements into parks and programming to celebrate Boardman's identity.
- **Key Strategies:**
  - Incorporate historical interpretation through signage, exhibits, and park features that highlight the John Day Dam relocation, Boardman's history, and agricultural heritage.
  - Create public art and cultural installations that reflect Boardman's diverse communities, indigenous heritage, and natural landscapes.
  - Work with tribal representatives to share and honor native cultural resources, traditions, and fishing practices.
  - Develop interactive cultural programming such as storytelling, guided tours, and educational events that bring history to life.
  - Establish annual heritage and cultural events that celebrate Boardman's history, diverse communities and agricultural roots.

---

Goal 4: Strengthen Community Engagement and Partnerships

- **Objective:** Build strong relationships with residents, organizations, and businesses to support parks and recreation.
- **Key Strategies:**
  - Expand community outreach through social media, public meetings, surveys and targeted engagement efforts with underrepresented groups.
  - Leverage partnerships with local businesses, schools, and organizations to support programming, events, and park improvements.
  - Involve residents in park planning to ensure community needs are met and spaces are...

1:52:57 / 2:08:13

# Boardman, OR PMP PAC Meeting 4/15/25

90 views 5mo ago ...more



City of Boardman, Oregon 29

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Dislike

Share

0

Remix

Do

## Key Concepts



Economic growth

In economics, economic growth is an i...

View concept

1:52:43

his name? Is it Did I hear a a rumor that he sold that? There's Amazon. No,

1:52:51

this this Oh, well, so Amazon is potentially funding um the development

1:52:57

of an RV park. Yeah. Not for a data center. I didn't mean that way, but for that Yes. Oh, wait. Don't That's where

1:53:04

that sun that cafe or that coffee shop is at the port exit.

1:53:10

Farmers somewhere in there What's What was J's

## X 2019.03.15 Amazon Propos...



March 15, 2019

David Wright  
 VADATA, Inc.  
 2001 8<sup>th</sup> Avenue  
 Seattle, WA 98101

**UEC Project Proposal – PDX90, Boardman Site, Permanent Power**

Dear David,

Please find below Umatilla Electric Cooperative's proposal to provide design and construction services for the tasks related to provision of the permanent power solution at VADATA's PDX90 site. The project will provide permanent electric service to meet the requested PDX 90 requirements beyond the previous scopes of work detailed in the Commissioning Power proposal and Mobile Solution proposals. This project does not, however, include any necessary improvements that Bonneville Power Administration (BPA) may require to interconnect this load at BPA's Morrow Flat Substation. This project is to be substantially complete and energized by April 1, 2021, or 670 calendar days after occurrence of the Start Date of Services pursuant to the Work Order, whichever is later.

**PDX90, Boardman Site, Permanent Power**

Services	Estimate
LLE & Engineering: Design/Engineering, Transformers, Conductor/Cable, Insulators, Poles, & Project Management	\$17,919,000.00
Substation Construction: Materials, Construction, & Commissioning	\$8,416,100.00
Feeder Construction: Materials, Construction, & Commissioning	\$1,757,000.00
Upstream Construction; Transmission and Switchyard. Materials, Construction & Commissioning	\$13,443,900.00
<b>TOTAL</b>	<b>\$41,536,000.00</b>

This proposal includes a rough order of magnitude estimate for construction and integration of UEC transmission facilities to serve the full build out of 120-MW at the PDX90 Boardman site and then permanent distribution service to Building #1. Please note that this proposal does not include facilities necessary for Large Load Interconnection and Transmission Operation by BPA. These costs will require a separate proposal/work-order after they are identified in the results of BPA's L0454 study currently in progress; expected to be complete by June 2019. The load demand of PDX-62 and PDX-90 campuses together is limited to 245 MW total until additional infrastructure is in place to serve beyond this limit. VADATA total load in the Boardman area (PDX-1, 4, 62, & 90 AZ's) is required to stay under 384 MW or

750 W. Elm Street • PO Box 1148 • Hermiston OR 97838

Phone: (541) 567-6414

Fax: (541) 567-8142

Toll Free: 800-452-2273

UEC000833



any additional load will require BPA to construct the Longhorn Substation as described in the BPA L0389 study results.

This proposal includes the necessary UEC transmission line extensions up to 5 miles long and interconnection to an existing UEC owned 230kV transmission line by constructing a 230kV switchyard. This proposal also includes a four-position UEC distribution substation to include two power transformers initially, three distribution feeder positions, and two underground distribution feeders of capacity up to 48MW each.

This project proposal is for the provision of services only. UEC shall at all times have and retain ownership of all goods, equipment and materials procured by or resulting from the services. Costs include necessary design, construction, installation, materials, labor, testing and commissioning for operation by the date above provided acceptable terms are mutually agreed upon, executed and a Purchase Order (PO) for the estimated amount is issued by June 1, 2019. Also attached and made part of this estimate is a payment schedule from which UEC will issue one or more invoices for services provided to be incorporated in the contract. The payment schedule includes a one-year

**From:** [donnie hill Hill](#)  
**To:** [City of Hermiston Meetings](#)  
**Subject:** Council meeting January 26-2026  
**Date:** Monday, January 26, 2026 5:49:17 PM

---

**[EXTERNAL EMAIL] - STOP and VERIFY - This message came from outside of the City of Hermiston**

My name is Donnie hill I live in Hermiston Oregon and am curious.

With recent hiring of a new code enforcement officer why is it that I placed a complaint about my neighbor having a junk yard for a front yard and nothing has been done about it? It seems to me that the city itself is deciding what to approach and not to approach and with such it's bias because we are not a big city and yet our homeless issue is a problem, drugs are an issue and crime. Yet the city seems to want to increase taxes to improve streets and yet we have some very high paid staff. So when is it that the city is going to actually enforce codes and start taking the city seriously?



# Hermiston City Council

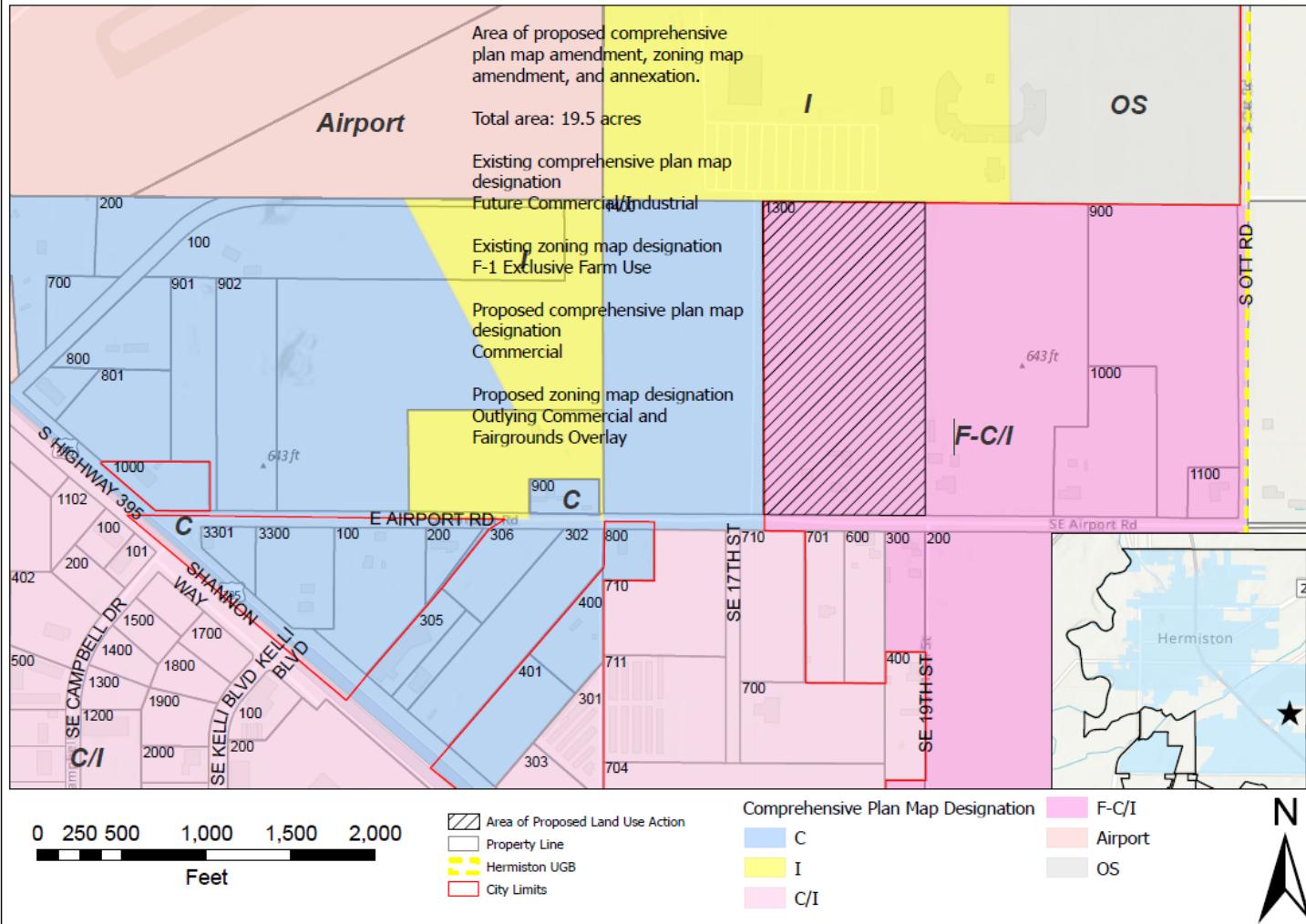
January 26, 2026





# EOTEC Comp Plan Amendment and Annexation

Comprehensive Plan Map Amendment and Annexation - 4N 28 13



- Amend comp plan from Future Commercial/Industrial to Commercial
- Amend zoning map from F-1 General Farm Use to Outlying Commercial and Fairgrounds Overlay
- Annex to city as FO land
- 19.5 acres total area
- Future use as RV Park and athletic fields





# EOTEC Comp Plan Amendment and Annexation





# EOTEC Comp Plan Amendment and Annexation

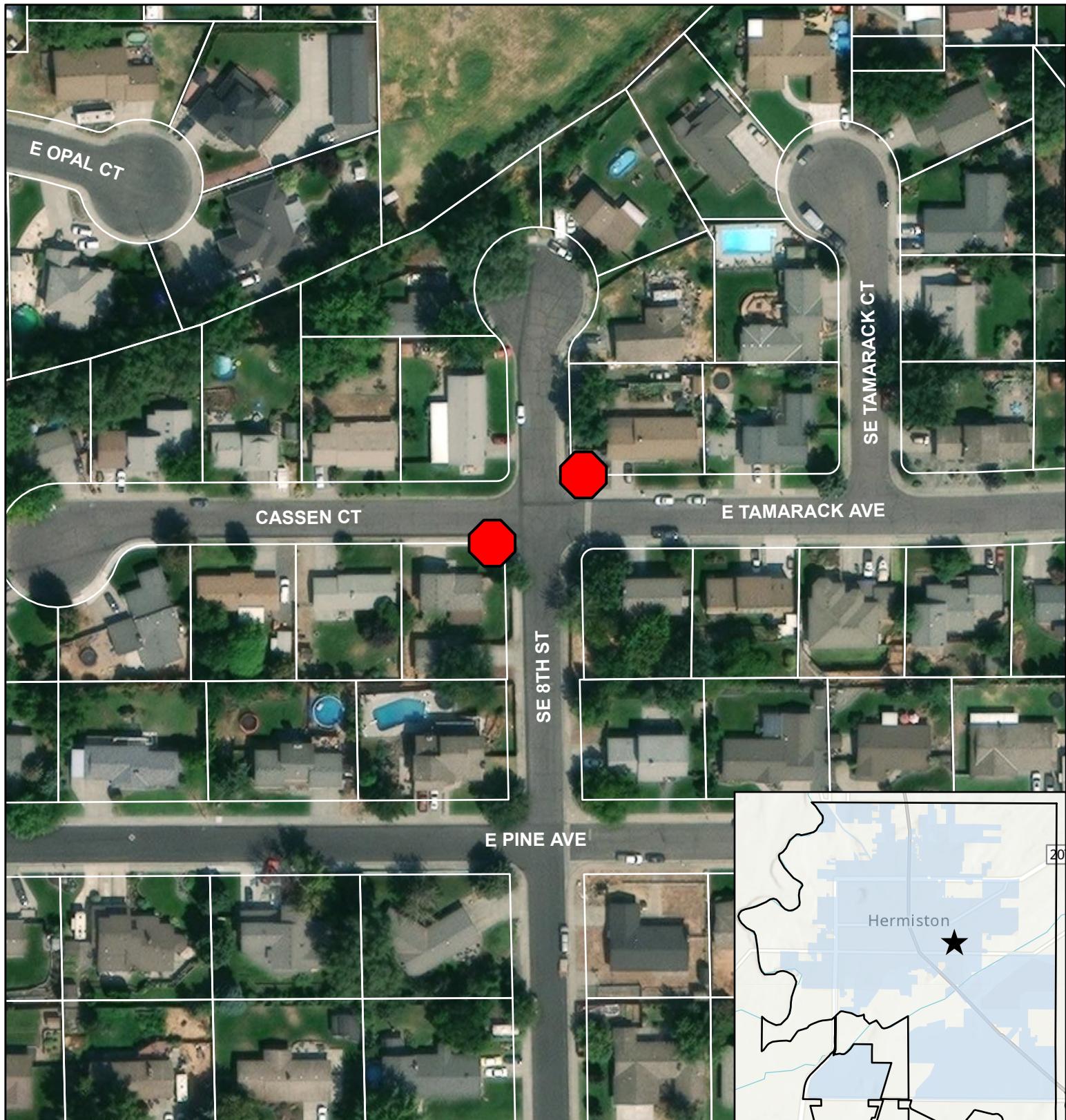
- At such time that development occurs on this parcel, E Airport Road adjacent to the parcel frontage shall be improved to major collector status with improvements matching those installed in E Airport Road adjacent to the west boundary of the site.
- A trip-cap of 645 average daily trips and 107 PM peak hour trips shall be imposed on the property following annexation. Compliance with the trip cap will require the following actions:
  - Each application for development authorization within amended area submitted to the city shall be accompanied by a trip generation letter indicating the average daily and peak hour trips generated for the proposal.
  - Each trip generation letter shall indicate available peak hour trips remaining at completion of construction for the proposal.
  - At such time that the peak hour trips exceed 107 PM trips, the city shall no longer issue building permits until a revised traffic impact analysis is prepared. The requirement to prepare a new traffic impact analysis shall run with the land.
- Development of an RV park on the property shall be considered a separate land use decision. Consideration of an RV park approval is a limited land use decision subject to approval under the Hermiston Code of Ordinances.

## Recommended Conditions of Approval



# Resolution 2402 - SE 8th St

## Exhibit A



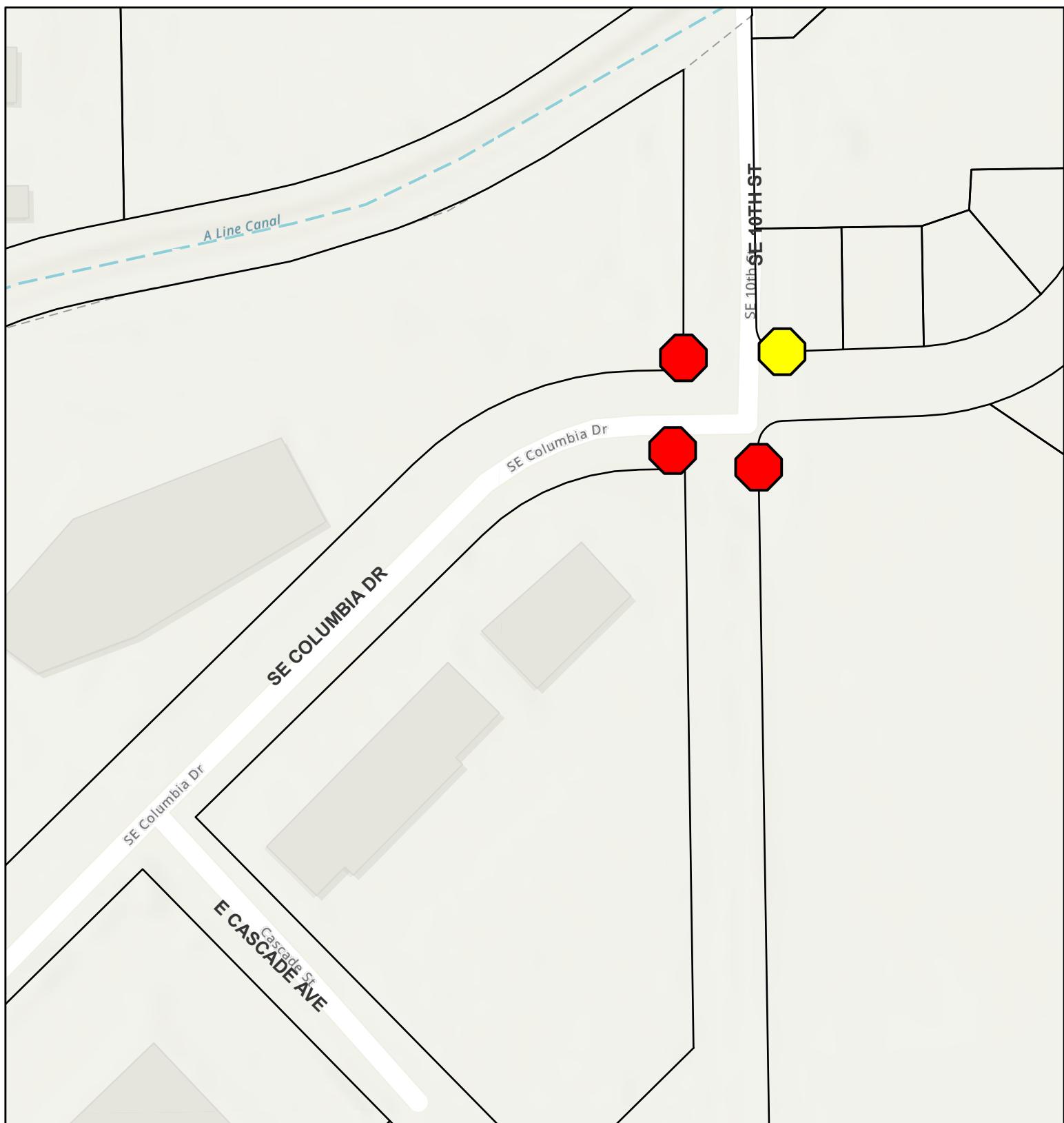
0 50 100 200 300  
Feet

 New Stop Sign Installation

N

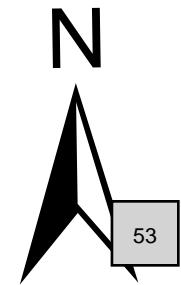
52

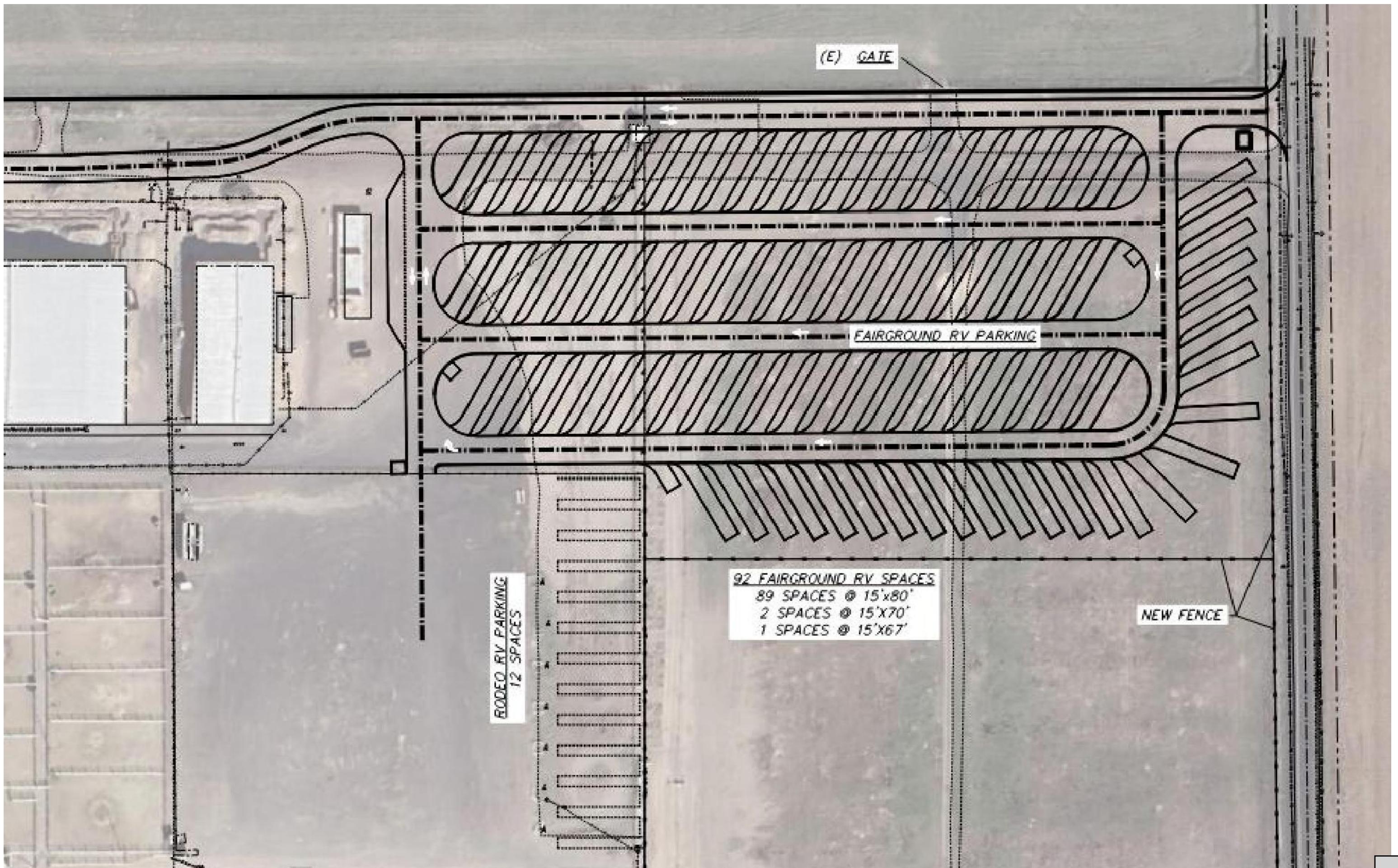
# Resolution 2402 - SE 10th St



0 50 100 200 300  
Feet

- New Stop Sign Installation
- Existing Stop Sign







# Monthly Financial Report

January 26, 2025



# Hermiston Urban Renewal Agency (HURA)

- Hermiston URA split in four funds for fiscal year – General, Downtown, North and South.
- North Hermiston Urban Renewal Area – ROW appraisals complete with anticipated bidding this winter.



# General Fund

- Sixth month (or 50.0%) of 2025-26 fiscal year
- Monthly Revenues ended over projection by ~\$1.7 million
  - **Primarily due to receipt of property taxes**
  - **Received 98% of budgeted property taxes**
    - **Approximates past three fiscal years at 98%, 94% and 97% (96% average), respectively**



# General Fund

- Monthly Expenses were over projection by ~\$877k
  - **Primarily due transfer of building funds to building inspection fund (~\$2.7 million)**
  - **City Council, and Non-Departmental are over budget due to annual LOC membership, and transfer to building inspection fund, respectively.**
  - **Pool and Public Safety Center are over budget due to seasonal activities and single time purchases for PD building, respectively .**



# Special Revenue Funds

- Observations:
  - EOTEC
    - revenues reflect partial reimbursement from campground project



# Utility and Street Funds

- Observations

- Street Fund is ~\$77k below projected revenues due to timing of federal gas tax turnovers
- HES Fund expenditures ~\$75k over projections due to annual debt service
- Regional Water Fund ~\$54k under revenue projections



# Capital Projects

- **A number of projects in design:**
  - **Geer/Harper Realignment- in full design**
  - **N. 1<sup>st</sup> Place (additional ROW with UPRR has begun)**
  - **RWS Backup Generators – currently in design**
  - **Orchard Water Line replacement – preliminary design underway**
  - **Well #6 Chlorination Structure – design nearing completion**
  - **Dogwood Street – currently in design**
  - **SE 10<sup>th</sup> Street Bridge – design to begin**
  - **E. Evelyn Avenue gravity sewer line – currently in design**
  - **Aquifer Storage/Recovery – shifting to construction of well, pump and structures**
- **TBD (budgeted and part of CIP):**
  - **Well #4 Controls – delays may require rescheduling project**
  - **Lift Station #5**
  - **Lift Station #7**



# Capital Projects

- Hangar Replacement – Building complete.
- Sherman Park – Bid package complete
- Public Safety Center – Flooring and cabinetry installation, estimated move in Mar/Apr 2026





# Discussion Questions?

*Where Life is Sweet™*



**Where Life is Sweet**

Mayor and Members of the City Council  
**STAFF REPORT**  
 For the Meeting of February 9, 2026

**Title/Subject**

Resolution No. 2406: Umatilla River Bridge at Punkin Center Intergovernmental Agreement.

**Summary**

This resolution will approve an Intergovernmental Agreement (IGA) with the City of Umatilla and Umatilla County for the planning, coordinating, and pursuing federal planning grant funding to the proposed Umatilla River Bridge Crossing.

**Background**

The City of Hermiston has included additional future bridge crossings of the Umatilla River on its adopted Transportation System Plan (TSP) since at least the 1990's. Future bridge locations shown on the TSP included a possible location as an extension of Elm Avenue, and one as an extension of Punkin Center. In recognition of the need to pick one or the other before moving on to other steps, the three partners commissioned a [Preliminary Engineering Report](#) (PER) to analyze the costs and benefits of each of the options at a high level. That 413 page report (available [HERE](#)) included significant traffic flow analysis from a regional perspective, and ultimately the partners agreed that the Punkin Center option is preferred.

The PER is, by definition, preliminary in nature, and while it does provide significant deep analysis, it is by no means a 'design.' Now, as the partners look toward the next step, an application is being made to the Federal Government for a BUILD planning grant to cover the cost of actual design work in order to result in a "30% Design." Having a 30% design will establish much more detail that will then allow decision makers the ability to make future determinations about moving forward, and sets this project up to realistically compete for state and federal grant funding for actual construction at some point in the future.

**Tie-In to Council Goals**

Goal 1- TRANSPORTATION: IMPROVE MOBILITY AND TRANSPORTATION

Goal 3- CITY FACILITIES: PUBLIC FACILITIES THAT MEET THE COMMUNITY NEEDS OF TODAY AND THE FUTURE

## **Fiscal Information**

The total estimated all-in cost (including construction) in the PER for the Punkin Center bridge and all associated roadway improvements was approximately \$44 million in 2022.

Approval of this IGA expressly states that the IGA does not commit any of the partners to any costs associated with eventual construction.

This IGA is for the purpose of obtaining Federal Funding for just the 30% design.

## **Alternatives and Recommendation**

### Alternatives

1. Approve Resolution No. 2406
2. Reject Resolution No. 2406
3. Table Resolution No. 2406

### Recommended Action/Motion

Approve Resolution No. 2406

### **Submitted By:**

Mark Morgan

**RESOLUTION NO. 2406****A RESOLUTION APPROVING THE EXECUTION OF AN INTERGOVERNMENTAL  
AGREEMENT WITH THE CITY OF UMATILLA AND UMATILLA COUNTY  
REGARDING THE UMATILLA RIVER BRIDGE CROSSING**

WHEREAS, the City of Hermiston, the City of Umatilla, and Umatilla County (collectively, “the Parties”) have partnered in the project known as the Umatilla River Bridge Crossing (“the Project”), and;

WHEREAS, the Parties have reviewed the options in the Umatilla River Bridge Preliminary Engineering Report (PER) prepared by Anderson Perry & Associates, Inc. and the Parties have agreed to advance the Punkin Center Road Option as the preferred alignment, and;

WHEREAS, the purpose of this Intergovernmental Agreement is to establish a formal agreement between the Parties regarding the planning, coordination, and pursuit of federal planning grant funding for continuation of work on the Project.

NOW, THEREFORE, THE CITY OF HERMISTON RESOLVES AS FOLLOWS:

1. That the City Manager is hereby authorized to execute and deliver the attached Intergovernmental Agreement for the Umatilla River Bridge Crossing.
2. That the Mayor is authorized to sign a letter supporting the Parties’ pursuit of grant funding for the Umatilla River Bridge Crossing project.
3. That this resolution is effective immediately upon its passage.

PASSED by the Common Council this 9th day of February 2026.  
SIGNED by the Mayor this 9th day of February 2026

---

Doug Primmer, MAYOR

ATTEST:

---

Lilly Alarcon-Strong, CMC, CITY RECORDER

## INTERGOVERNMENTAL AGREEMENT

### Umatilla River Bridge Crossing

This agreement is between City of Hermiston (“Hermiston”), City of Umatilla (“Umatilla”), and Umatilla County, Oregon (“County”), regarding federal grant funding for the proposed Umatilla River Bridge Crossing (“Project”)

#### 1.0 Project

The parties previously agreed to jointly fund a preliminary engineering report for a new bridge to cross the Umatilla River, and the preferred option from that report is to locate the bridge on Punkin Center Road. The purpose of this Intergovernmental Agreement is to establish a formal agreement between the City of Hermiston, the City of Umatilla, and Umatilla County (collectively, "the Parties") regarding the planning, coordination, and pursuit of federal planning grant funding for the proposed Umatilla River Bridge Crossing ("the Project").

#### 2.0 Selection of Preferred Alternative

The Parties have reviewed the options presented in the Umatilla River Bridge Preliminary Engineering Report (PER) prepared by Anderson Perry & Associates, Inc. (2022). Based on the findings of the PER, all Parties formally agree to advance the Punkin Center Road Option as the preferred alignment for the Project.

#### 3.0 Alignment of Transportation Planning

To ensure a unified regional approach and to enable informed planning decisions, the Parties acknowledge the following:

- Each jurisdiction has updated, or hereby commits to updating, its respective Transportation System Plan (TSP) to include the Project.
- This alignment of planning documents is intended to demonstrate regional consensus to state and federal agencies and to provide a consistent framework for future land-use and infrastructure decisions.

#### 4.0 Grant Application and Leadership

The Parties agree to pursue federal funding to move the Project through the next phases of development:

- A. Application: The Parties agree to jointly submit an application in 2026 for a US Department of Transportation BUILD (Better Utilizing Investments to Leverage Development) Planning Grant.

B. Lead Applicant: The County shall be designated as the lead applicant for the grant submission.

C. Fiscal Agency: Should the BUILD Planning Grant be awarded, the County will serve as the fiscal agent and lead administrative agency for the execution of the grant.

## 5.0 Collaborative Commitment

The Parties agree to work in good faith and collaborate on the technical, environmental, and engineering requirements necessary to advance the Project from the planning phase toward final construction, including participation in activities funded through the BUILD Planning Grant. This includes sharing data, coordinating public outreach, and participating in steering committee meetings as required.

## 6.0 Funding

Nothing in this agreement shall be construed as a commitment of local funding for final design or construction.

## 7.0 Effective date.

This agreement shall become effective upon the signature of authorized representatives from all three entities.

### CITY OF HERMISTON

---

Name/Title:

Date:

### CITY OF UMATILLA

---

Name/Title:

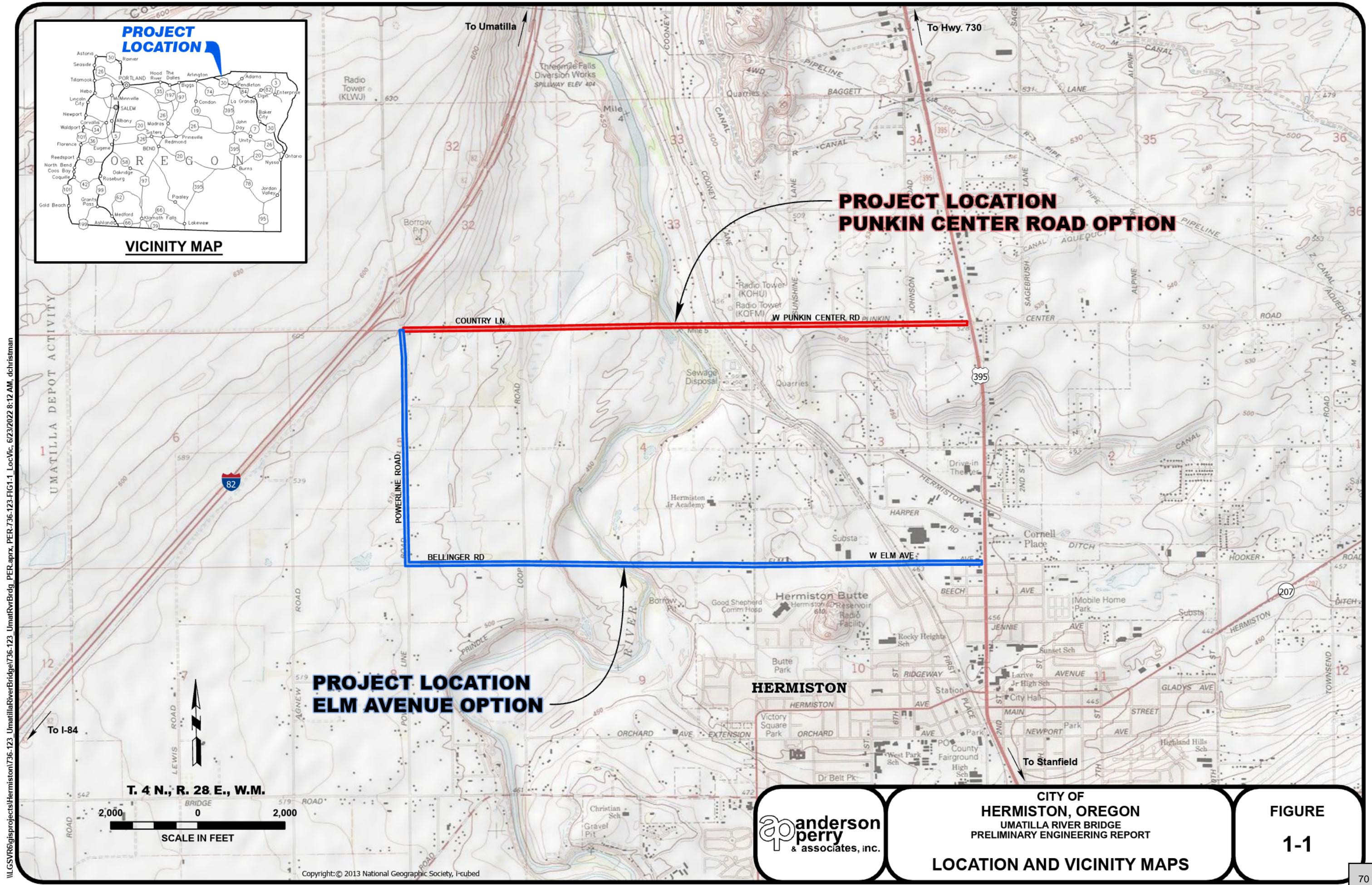
Date:

UMATILLA COUNTY

---

Daniel N. Dorran  
Chair, Board of Commissioners

Date:



February 9, 2026

**RE:** Punkin Center Bridge



**Office of the Mayor**  
DOUG PRIMMER

To Whom It May Concern:

I am proud to express support for the proposed Punkin Center Bridge Project, which will extend Punkin Center Road across the Umatilla River to connect directly with Interstate 82, and facilitate more direct movement between the cities of Hermiston and Umatilla. This project represents a critical investment in the future of Hermiston and the surrounding region.

Hermiston-Umatilla area is the largest, and fastest growing, community in eastern Oregon and serves as a hub for commerce, agriculture, and transportation. Currently, access to and from I-82 is limited for Hermiston, while access to the commercial, healthcare, and employment opportunities in Hermiston are limited for Umatilla residents.

By creating a direct connection between Hermiston, Umatilla, and I-82, the Punkin Center Bridge will:

- **Improve regional connectivity** by linking Hermiston more efficiently to interstate and national transportation networks.
- **Enhance economic development** by improving resident and business access to I-82.
- **Increase public safety and resilience** by providing an additional crossing over the Umatilla River, improving emergency response and evacuation routes.

This project is not only a transportation improvement—it is a strategic investment that will strengthen western Umatilla County's role as the primary economic engine for eastern Oregon. We strongly urge support and funding for the Punkin Center Bridge Project and look forward to working with partners to make this vision a reality.

Thank you for your consideration.

Sincerely,

Doug Primmer  
Mayor of Hermiston



*Where Life is Sweet*

Mayor and Members of the City Council  
**STAFF REPORT**  
 For the Meeting of February 9, 2026

**Title/Subject**

Resolution 2407- Agape House Storage Buildings Contract Award

**Summary and Background**

Early in 2024, the City agreed to sponsor an application for Community Development Block Grant (CDBG) funds on behalf of the Agape House to build additional storage capacity at their facility. The grant was awarded later that year and at the council's April 28, 2025 meeting, Columbia Engineering Group was awarded the contract to design the project.

After the design process was completed, the project was put out for bid and ten bids were received.

**Tie-In to Council Goals**

From the 2040 Vision Values

**PARTNERSHIPS:** We collaborate with community organizations to leverage expertise and resources to best serve the public.

**Fiscal Information**

Bids were opened on 1/08/2026 as follows:

<i>Engineer's Estimate:</i>	<b>\$1,136,607.00</b>
<b>Banlin Construction:</b>	<b>\$1,213,101.00</b>
Westwood Company LLC:	\$1,776,000.00
CB Construction, Inc.:	\$1,580,000.00
TEAM Construction:	\$1,593,783.91
GAME Inc.:	\$1,410,225.00
Apollo Inc. DBA Apollo Construction:	\$1,595,500.00
G2 Construction:	\$1,338,861.00
Rotschy Inc:	\$1,482,794.00
McCormack Construction:	\$1,431,022.00
PEAK Contractors Inc:	\$1,592,060.63

## **Alternatives and Recommendation**

### **Alternatives**

1. Approve resolution 2407, Awarding the Construction contract to Banlin Construction
2. Reject resolution 2407

### **Recommended Action/Motion**

Motion to approve Resolution 2407

### **Submitted By:**

Byron D. Smith, City Manager

**RESOLUTION NO. 2407****A RESOLUTION AWARDING A CONTRACT FOR THE AGAPE HOUSE STORAGE BUILDINGS PROJECT AND AUTHORIZING THE CITY MANAGER TO SIGN THE CONTRACT ON BEHALF OF THE CITY**

WHEREAS, the City of Hermiston (“City”) agreed to sponsor an application for Community Development Block Grant funds on behalf of the Agape House to build additional storage capacity at their facility; and

WHEREAS, the grant has been awarded and the project has since been designed and the bid was put out for construction; and

WHEREAS, notice was published, and bids were received from multiple bidders with Banlin Construction being the lowest responsive and responsible bidder at \$1,213,101.00; and

WHEREAS, the City has funds available for this project.

NOW, THEREFORE, THE CITY OF HERMISTON RESOLVES AS FOLLOWS:

1. That the contract for the Agape House Storage Building project is awarded to Banlin Construction.
2. That City Manager be, and is, hereby authorized to execute and deliver a contract for the Agape House Storage Building project to Banlin Construction with such changes, additions, deletions, and modifications as the City Manager may approve.
3. That this resolution is effective immediately upon its passage.

PASSED by the Common Council this 9th day of February 2026.  
SIGNED by the Mayor this 9th day of February 2026.

---

Doug Primmer, MAYOR

ATTEST:

---

Lilly Alarcon-Strong, CMC, CITY RECORDER



January 21, 2026

Byron Smith, *City Manager*  
541-567-5521  
City of Hermiston  
180 NE 2nd Street  
Hermiston, OR 97838

Letter of Recommendation

RE: Agape House Storage, Project #C24009

Byron,

We have reviewed the bids on the Agape House Storage project and we recommend moving forward with awarding the contract to Banlin Construction from Kennewick WA. The project solicitation received ten bids ranging from \$1.2M to \$1.7M with an average of \$1.5M. Banlin is the low-bidder. We reached out to them shortly after the bid opening and they provided the necessary follow up documentation. We called their clients on past projects, got feedback, followed up with their proposed team members for the project and everything meets the project's criteria.

If you have any further questions, please don't hesitate to contact me.

Regards,

A handwritten signature in black ink that reads "Nate O'Neal". The signature is fluid and cursive, with "Nate" on the top line and "O'Neal" on the bottom line.

Nate O'Neal, *Principal*  
509-540-2936  
Columbia Engineering Group  
2210 SE 352<sup>nd</sup> Ave  
Washougal WA, 98671

Encl: Bid Summary, Banlin Construction's documents

## BID SUBMITTALS - SUMMARY SHEET



PROJECT NAME	PROJECT NUMBER	DATE	TIME
Agape House Storage	C5030	1/8/2026	1:30pm
AGENCY	PROJECT MANAGER, PHONE	LOCATION	
City Of Hermiston	Nate O'Neil, (509) 540-2936	Hermiston	

A/E FIRM	PHONE
Columbia Engineering Group	(509) 720-7048

NAME OF CONTRACTOR	BASE BID	BID ALTERNATES					DAYS RQD	ADD RCV'D	BOND CHECK	SUB LIST
		1	2	3	4	5				
1 BAVLIN Construction	\$ 1,213,101.00	\$ 982,029.98	X	X	X	X	X	✓	✓	✓
2 Westwood Company LLC	\$ 1,276,000.00	\$ 36,000.00	X	X	X	X	X	✓	✓	✓
3 CB Const Inc	\$ 1,580,000.00	\$ 35,000.00	X	X	X	X	X	✓	✓	✓
4 TEAM Construction	\$ 1,593,783.91	\$ 25,659.77	X	X	X	X	X	✓	✓	✓
5 GAME INC	\$ 1,410,225.00	\$ 31,100.00	X	X	X	X	X	✓	✓	✓
6 Apollo Inc	\$ 1,595,500.00	\$ 30,000.00	X	X	X	X	X	✓	✓	✓
7 G2 Construction	\$ 1,338,861.00	\$ 22,000.00	X	X	X	X	X	✓	✓	✓
8 Rotschky Inc	\$ 1,482,294.00	\$ 25,700.00	X	X	X	X	X	✓	✓	✓
9 McCorvack Constr.	\$ 1,431,022.00	\$ 25,041.00	X	X	X	X	X	✓	✓	✓
10 PEAK Contractors Inc	\$ 1,592,060.63	\$ 15,300.00	X	X	X	X	X	✓	✓	✓
11	\$	\$	X	X	X	X				
12	\$	\$	X	X	X	X				
13	\$	\$	X	X	X	X				
14	\$	\$	X	X	X	X				
15	\$	\$	X	X	X	X				
16	\$	\$	X	X	X	X				
17	\$	\$	X	X	X	X				
PROJECT ESTIMATE	\$ 1,136,607.00	\$ 25,038.00						208	1,2,3	

Chris Neel  
PROPOSAL READER'S SIGNATURE

ST  
RECORDED'S SIGNATURE

AGAPE HOUSE STORAGE  
CITY OF HERMISTON  
COLUMBIA ENGINEERING GROUP, C5030

00 01 04  
BID FORM  
Page 1

BID FORM

Project: Agape House Storage  
500 W. Harper Road  
Hermiston OR, 97838

To: City of Hermiston  
180 NE 2<sup>nd</sup> Street  
Hermiston OR, 97838

In compliance with the Invitation for Bid, we hereby submit our proposal for the above project. Having examined the plans and specifications and being familiar with all of the conditions surrounding the construction of the proposed project, including the availability of materials and labor, we hereby propose to furnish all supervision, labor, materials and supplies, and to construct the project in accordance with the contract documents, dated October 31, 2025 including Addenda noted below, as prepared by Columbia Engineering Group.

**BASE BID (excluding work in Additive Bid Items):**

Furnish all labor, material, equipment, supervision, insurance, taxes and bonds for work as indicated in the Contract Documents and Section 01 10 00 – Summary of Work

Division 01 – General Requirements	\$ 122,921.36
Division 02 – Existing Conditions	\$ 27,601.22
Division 03 – Concrete	\$ 140,257.15
Division 05 – Metal	\$ 4,185.97
Division 06 – Wood, Plastics, & Composites	\$ 33,786.42
Division 07 – Thermal & Moisture Protection	\$ 40,1863.37
Division 08 – Openings	\$ 57,458.94
Division 09 – Finishes	\$ 80,1107.85
Division 10 – Specialties	\$ 5,076.58
Division 13 – Special Construction	\$ 189,387.76
Division 22 – Plumbing	\$ 66,780.35
Division 23 – Heating, Ventilation, & Air Conditioning	\$ 67,430.04
Division 26 – Electrical	\$ 178,503.36
Division 28 – Electronic Safety Systems	\$ 15,553.48
Division 31 – Earthwork	\$ 161,879.07
Division 32 – Exterior Improvements	\$ 38,691.14
Division 33 – Site Utilities	\$ 10,900
<b>GRAND TOTAL</b>	<b>\$ 1,213,161</b>

**ADDITIVE BID ITEMS:**

**Additive Bid Item #1 – Restroom 105:** Furnish all labor, material, equipment, supervision, insurance, taxes and bonds for work associated with constructing Restroom 105 as indicated in the Contract Documents and Section 01 23 00 – Alternates.

**GRAND TOTAL** \$ 22,203.98

Contract award will be based on the Grand Total Base Bid plus Additive Bid Items taken in sequence as the Owner in its discretion decides to award.

Project Name: AGAPE HOUSE STORAGE Project No.: C5030Contractor Name: BANLIN ConstructionSTATE OF OREGON  
CITY OF HERMISTON

## Subcontractor List Form A

## For HVAC, Plumbing, and Electrical

**Form A is required at the Time of Bid Submission.**  
**Form A will not be accepted after the bid submittal deadline**  
**and will render the bid nonresponsive and, therefore, VOID.**

In compliance with the contract documents, the following subcontractor list is submitted:

SUBCONTRACTOR LISTING

If the base bid and the sum of the additive alternates is one million dollars or more, the Bidder shall provide names of the subcontractors with whom the Bidder will **directly** subcontract for performance of the following work. If the Bidder intends to perform the work, the Bidder must enter its name for that category of work.

The Bidder shall not list more than one subcontractor for each category of work identified UNLESS subcontractors vary with bid alternates, in which case the Bidder must indicate which subcontractor will be used for which alternate. Substitutions are prohibited.

**Failure of the Bidder to submit the NAMES and LICENSE NUMBERS of such subcontractors or to name itself to perform such work may render the bid nonresponsive and, therefore, VOID.**

Bidders who name themselves to perform the work are expected to perform the work and the City of Hermiston reserves has the right to reject substitution of the bidder with a subcontractor unless the bidder demonstrates a change in circumstances from the time of bid submission that is outside of the control of the bidder.

Category of Work	Alternate Bid # (if applicable)	Firm Name	License Number (Required Contractor Registration Number)
1. HVAC, Base Bid	n/a	Alden	194K188
a. HVAC, Alternate Bid	NA	NA	N/A
2. Plumbing, Base Bid	n/a	Alden	194K188
a. Plumbing, Alternate Bid	NA	N/A	N/A
3. Electrical, Base Bid	n/a	Golden Electric	9144
a. Electrical, Alternate Bid	N/A	NA	N/A

Bidder may attach a separate sheet for additional alternate bid subcontractors.

Submitted By:

Print Name and Title of Authorized Person

Project Name: AGAPE HOUSE STORAGE

Project No.: C5030

Contractor Name: BANLIN ConstructionSTATE OF OREGON  
CITY OF HERMISTON

## Subcontractor List Form B

## For Structural Steel Installation and Rebar Installation

***Form B is required at the Time of Bid Submission.******Form B will not be accepted after the bid submittal deadline and will render the bid nonresponsive and, therefore, VOID.***

In compliance with the contract documents, the following subcontractor list is submitted:

**SUBCONTRACTOR LISTING**

If the base bid and the sum of the additive alternates is one million dollars or more, the Bidder shall provide names of the subcontractors with whom the Bidder will **directly** subcontract for performance of the following work. If the Bidder intends to perform the work, the Bidder must enter its name for that category of work.

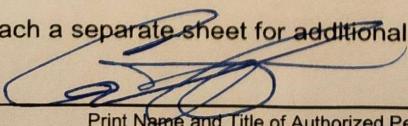
The Bidder shall not list more than one subcontractor for each category of work identified UNLESS subcontractors vary with bid alternates, in which case the Bidder must indicate which subcontractor will be used for which alternate. Substitutions are prohibited.

Failure of the Bidder to submit the NAMES of such subcontractors or to name itself to perform such work shall render the Bidder's bid nonresponsive and, therefore, VOID.

Bidders who name themselves to perform the work are expected to perform the work and the City of Hermiston reserves the right to reject substitution of the bidder with a subcontractor unless the bidder demonstrates a change in circumstances from the time of bid submission that is outside of the control of the bidder.

Category of Work	Alternate Bid # (if applicable)	Firm Name
1. <u>Structural Steel Installation</u> , Base Bid	n/a	<u>Banlin</u>
a. <u>Structural Steel Installation</u> , Alternate Bid	<u>N/A</u>	<u>N/A</u>
2. <u>Rebar Installation</u> , Base Bid	n/a	<u>Banlin</u>
a. <u>Rebar Installation</u> , Alternate Bid	<u>N/A</u>	<u>N/A</u>

Bidder may attach a separate sheet for additional alternate bid subcontractors.

Submitted By: 

Print Name and Title of Authorized Person

Project Name: AGAPE HOUSE STORAGE Project No.: C5030  
 Contractor Name: BANLIN Construction

**WAGE THEFT PREVENTION – RESPONSIBLE BIDDER CRITERIA**  
**OREGON STATE PUBLIC WORKS CONTRACTS**

Return this signed "Contractor Certification" with your signed Bid Form or within two (2) business days of request by Owner.

Prior to awarding a public works contract, the City Of Hermiston is required to determine that a bidder meets the responsibility criteria to be considered a 'responsible bidder' and is qualified to be awarded a public works project. The responsibility criteria include a contractor certification that the contractor has not willfully violated Oregon's wage laws.

Project No.:	<u>C5030</u>
Project Name:	<u>AGAPE HOUSE STORAGE</u>
Procurement Solicitation Date:	<u>Thursday, December 4, 2025</u>

I hereby certify, on behalf of the firm identified below, as follows (check one):

**No WAGE VIOLATIONS.** This firm has NOT been determined by a final and binding citation and notice of assessment issued by the Oregon Bureau of Labor and Industries or through a civil judgment entered by a court of limited or general jurisdiction to have willfully violated any provision within three (3) years prior to the date of the above-referenced procurement solicitation date.

OR

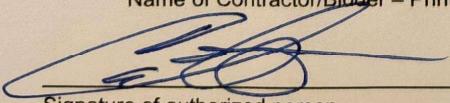
**VIOLATIONS OF WAGE LAWS.** This firm has been determined by a final and binding citation and notice of assessment issued by the Oregon Bureau of Department of Labor and Industries or through a civil judgment entered by a court of limited or general jurisdiction to have willfully violated within three (3) years prior to the date of the above-referenced procurement solicitation date.

I hereby certify, under penalty of perjury under the laws of the State of Oregon, that the certifications herein are true and correct and that I am authorized to make these certifications on behalf of the firm listed herein.

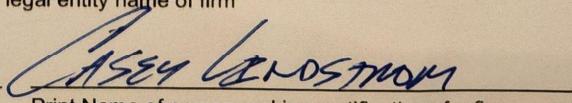
FIRM NAME: BANLIN Construction

Name of Contractor/Bidder – Print full legal entity name of firm

By:



Signature of authorized person



Print Name of person making certifications for firm

Title:

Owner

Title of person signing certificate

Place: Kennebick, WA

Print city and state where signed

Date:

1-8-2026

AGAPE HOUSE STORAGE  
CITY OF HERMISTON  
COLUMBIA ENGINEERING GROUP, C5030

00 01 04  
BID FORM  
Page 2

The undersigned understands that time is of the essence and agrees that the time for substantial completion of the project shall be as outlined in Section 01 10 00 - Summary of Work.

Acknowledgement of receipt of addenda(s): 1, 2, 3  
(List each addenda)

BID GUARANTEE: Attached here is a bid guarantee in the form of a Bid Bond.  
(Bid bond or cashier's check) in the amount of 5% (five percent) of the Total Base Bid Amount.

If notice of acceptance of this bid is given to the undersigned within 60 days after the date of opening of bids, or any time thereafter before this bid is withdrawn, the undersigned will execute and deliver a contract within 10 days after the contract has been presented for signature. The required payment and performance bonds shall be delivered to the Owner along with the signed Contract.

I certify that the company given below is the true and complete name of the bidder and that the bidder is legally qualified and licensed by the State of Oregon & City of Hermiston to perform all work included in the scope of the Contract.

Company Name: BANLIN Construction

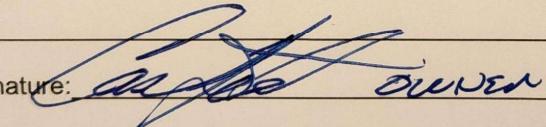
Company Address: 320 W Columbia Dr Kennewick, WA

Phone Number: 509-586-2000

Contractor License No.: BANLICL8818CB

CCB#217136 Registry #135856490

Company Authorization Representative Name & Title:

Signature: 

Date: 1-8-2026

# Document A310™ – 2010

Conforms with The American Institute of Architects AIA Document 310

## Bid Bond

### CONTRACTOR:

(Name, legal status and address)

Banlin Construction, LLC

320 West Columbia Drive

Kennewick, WA 99336

### SURETY:

(Name, legal status and principal place of business)

Atlantic Specialty Insurance Company

605 US Highway 169 N., Suite 800

Plymouth, MN 55441

### Mailing Address for Notices

605 US Highway 169 N., Suite 800

Plymouth, MN 55441

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

### OWNER:

(Name, legal status and address)

City of Hermiston

Any singular reference to Contractor, Surety, Owner or other party shall be considered plural where applicable.

**BOND AMOUNT:** Five Percent of Total Amount Bid (5%)

### PROJECT:

(Name, location or address, and Project number, if any)

AGAPE HOUSE STORAGE

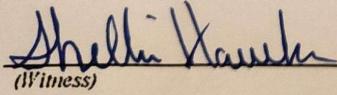
PROJECT NO.: C5030

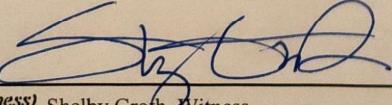
The Contractor and Surety are bound to the Owner in the amount set forth above, for the payment of which the Contractor and Surety bind themselves, their heirs, executors, administrators, successors and assigns, jointly and severally, as provided herein. The conditions of this Bond are such that if the Owner accepts the bid of the Contractor within the time specified in the bid documents, or within such time period as may be agreed to by the Owner and Contractor, and the Contractor either (1) enters into a contract with the Owner in accordance with the terms of such bid, and gives such bond or bonds as may be specified in the bidding or Contract Documents, with a surety admitted in the jurisdiction of the Project and otherwise acceptable to the Owner, for the faithful performance of such Contract and for the prompt payment of labor and material furnished in the prosecution thereof; or (2) pays to the Owner the difference, not to exceed the amount of this Bond, between the amount specified in said bid and such larger amount for which the Owner may in good faith contract with another party to perform the work covered by said bid, then this obligation shall be null and void, otherwise to remain in full force and effect. The Surety hereby waives any notice of an agreement between the Owner and Contractor to extend the time in which the Owner may accept the bid. Waiver of notice by the Surety shall not apply to any extension exceeding sixty (60) days in the aggregate beyond the time for acceptance of bids specified in the bid documents, and the Owner and Contractor shall obtain the Surety's consent for an extension beyond sixty (60) days.

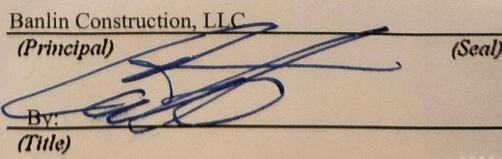
If this Bond is issued in connection with a subcontractor's bid to a Contractor, the term Contractor in this Bond shall be deemed to be Subcontractor and the term Owner shall be deemed to be Contractor.

When this Bond has been furnished to comply with statutory or other legal requirement in the location of the Project, any provision in this Bond conflicting with said statutory or legal requirement shall be deemed deleted herefrom and provisions conforming to such statutory or other legal requirement shall be deemed incorporated herein. When so furnished, the intent is that this Bond shall be construed as a statutory bond and not as a common law bond.

Signed and sealed this 8th day of January, 2026

  
(Witness)

  
(Witness) Shelby Groth, Witness

Banlin Construction, LLC  
(Principal)   
By:   
(Title)

Atlantic Specialty Insurance Company  
(Surety)   
By:   
(Title) Sydney Schmidt, Attorney-in-Fact



## Power of Attorney

KNOW ALL MEN BY THESE PRESENTS, that ATLANTIC SPECIALTY INSURANCE COMPANY, a New York corporation with its principal office in Plymouth, Minnesota, does hereby constitute and appoint: **Ching Yan Natalie Chau, Dana Brown, Daniel J. Stowe, Emma C Doleshel, Grant E Ingalls, Heather L Allen, Jim S. Kuich, Kirsten K. Jordan, Michael A. Murphy, Shelby Groth, Sydney Schmidt, Theresa A. Lamb, Veronica McKay**, each individually if there be more than one named, its true and lawful Attorney-in-Fact, to make, execute, seal and deliver, for and on its behalf as surety, any and all bonds, recognizances, contracts of indemnity, and all other writings obligatory in the nature thereof; provided that no bond or undertaking executed under this authority shall exceed in amount the sum of: **unlimited** and the execution of such bonds, recognizances, contracts of indemnity, and all other writings obligatory in the nature thereof in pursuance of these presents, shall be as binding upon said Company as if they had been fully signed by an authorized officer of the Company and sealed with the Company seal. This Power of Attorney is made and executed by authority of the following resolutions adopted by the Board of Directors of ATLANTIC SPECIALTY INSURANCE COMPANY on the twenty-fifth day of September, 2012:

Resolved: That the President, any Senior Vice President or Vice-President (each an "Authorized Officer") may execute for and in behalf of the Company any and all bonds, recognizances, contracts of indemnity, and all other writings obligatory in the nature thereof, and affix the seal of the Company thereto; and that the Authorized Officer may appoint and authorize an Attorney-in-Fact to execute on behalf of the Company any and all such instruments and to affix the Company seal thereto; and that the Authorized Officer may at any time remove any such Attorney-in-Fact and revoke all power and authority given to any such Attorney-in-Fact.

Resolved: That the Attorney-in-Fact may be given full power and authority to execute for and in the name and on behalf of the Company any and all bonds, recognizances, contracts of indemnity, and all other writings obligatory in the nature thereof, and any such instrument executed by any such Attorney-in-Fact shall be as binding upon the Company as if signed and sealed by an Authorized Officer and, further, the Attorney-in-Fact is hereby authorized to verify any affidavit required to be attached to bonds, recognizances, contracts of indemnity, and all other writings obligatory in the nature thereof.

This power of attorney is signed and sealed by facsimile under the authority of the following Resolution adopted by the Board of Directors of ATLANTIC SPECIALTY INSURANCE COMPANY on the twenty-fifth day of September, 2012:

Resolved: That the signature of an Authorized Officer, the signature of the Secretary or the Assistant Secretary, and the Company seal may be affixed by facsimile to any power of attorney or to any certificate relating thereto appointing an Attorney-in-Fact for purposes only of executing and sealing any bond, undertaking, recognizance or other written obligation in the nature thereof, and any such signature and seal where so used, being hereby adopted by the Company as the original signature of such officer and the original seal of the Company, to be valid and binding upon the Company with the same force and effect as though manually affixed.

IN WITNESS WHEREOF, ATLANTIC SPECIALTY INSURANCE COMPANY has caused these presents to be signed by an Authorized Officer and the seal of the Company to be affixed this first day of January, 2023.

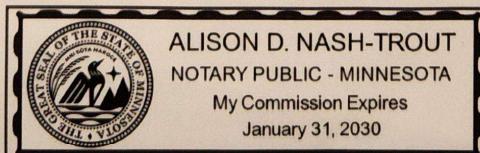
STATE OF MINNESOTA  
HENNEPIN COUNTY

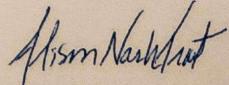


By

  
Sarah A. Kolar, Vice President and General Counsel

On this first day of January, 2023, before me personally came Sarah A. Kolar, Vice President and General Counsel of ATLANTIC SPECIALTY INSURANCE COMPANY, to me personally known to be the individual and officer described in and who executed the preceding instrument, and she acknowledged the execution of the same, and being by me duly sworn, that she is the said officer of the Company aforesaid, and that the seal affixed to the preceding instrument is the seal of said Company and that the said seal and the signature as such officer was duly affixed and subscribed to the said instrument by the authority and at the direction of the Company.



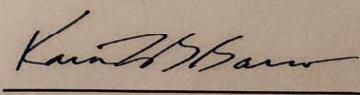
  
Notary Public

I, the undersigned, Secretary of ATLANTIC SPECIALTY INSURANCE COMPANY, a New York Corporation, do hereby certify that the foregoing power of attorney is in full force and has not been revoked, and the resolutions set forth above are now in force.

Signed and sealed. Dated 8th day of January, 2026.



This Power of Attorney expires  
January 31, 2030

  
Kara L.B. Barrow, Secretary

# Supplemental Bidder Responsibility

## Form 1 - Contractor Experience Detail

### Project # C5030

#### Business Contact Information

Contractor Name: BANLIN Construction	Total years in Business: 17
Mailing Address: 320 W Columbia Dr. Kennewick WA 99336	
Business Phone: 509-586-2000	Former business name(s) & Dates: Lindstrom Construction
Contact Name and Title: Casey Lindstrom - Owner	
Contact Phone: 509-586-2000	Contact Email: Casey@banlinconstruction.com
	Reason for name change(s): Acquired business partner

#### \* List Projects Completed Within The Time Specified By Division 00, or Are In Progress

* Project Name & Location:	Description Of Project:	Owner: Kennewick School Dist #1	Architect: Design West Architects	Project Manager Name: Casey Lindstrom	Original Contract Amount:	Final Contract Amount:	Is this project relevant to proposed project?
Tri Tech East- BLDG C 5929 West Metaline Ave Kennewick WA 99336	New single story building of 9,600 square feet, including Demolition, Site Work, Structures, Finishes, Fire Protection, Mechanical, and Electrical work.	Address: 1000 W 4th Ave Kennewick WA 99336	Address: 830 N Columbia Center BLVD Suite E Kennewick WA 99336	Superintendent Name: Matt Mullen	Original Contract Days 300	Time Extensions Granted Days 0	Yes <input checked="" type="checkbox"/>
		Phone:	Phone:		Completion Date: 9/29/2023		No <input type="checkbox"/>

1. Did this project require Apprenticeship Participation? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> (If NO, stop here).	
2. If yes, what was the Apprenticeship %? <input type="checkbox"/> %	
3. What was the actual % achieved? <input type="checkbox"/> %	
4. Was the apprenticeship requirement met? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If NO to question 4 attach separate sheet to explain Why.	

**Supplemental Bidder Responsibility  
Form 1 - Contractor Experience Detail  
Project # C5030**

**Business Contact Information**

Contractor Name: BANLIN Construction	Total years in Business: 17
Mailing Address: 320 W Columbia Dr. Kennewick WA 99336	
Business Phone: 509-586-2000	Former business name(s) & Dates: Lindstrom Construction
Contact Name and Title: Casey Lindstrom - Owner	
Contact Phone: 509-586-2000	Contact Email: Casey@banlinconstruction.com
Reason for name change(s): Acquired business partner	

**\* List Projects Completed Within The Time Specified By Division 00, or Are In Progress**

* Project Name & Location:	Description Of Project:	Owner: Kennewick School Dist #1	Architect: NAC Architecture	Project Manager Name: Justin Griffith	Original Contract Amount:	Final Contract Amount:	Is this project relevant to proposed project?
Kamiakin High School Classroom Addition & Site Improvements 600 N Arthur St. Kennewick WA 99336	22,070 SF classroom addition, new track and field with concessions & sports storage.	Address: 1000 W 4th Ave Kennewick WA 99336	Address: 1203 West Riverside Ave Spokane WA 99201	Superintendent Name: Larry Siglin	Original Contract Days 450	Time Extensions Granted Days 25	Yes <input checked="" type="checkbox"/>
		Phone:	Phone:		Completion Date: 1/15/2021		No <input type="checkbox"/>
<p>1. Did this project require Apprenticeship Participation? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> (If NO, stop here).</p> <p>2. If yes, what was the Apprenticeship %? <input type="checkbox"/> 15 %</p> <p>3. What was the actual % achieved? <input type="checkbox"/> 10 %</p> <p>4. Was the apprenticeship requirement met? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/></p> <p>If NO to question 4 attach separate sheet to explain Why.</p>							

Section 7, ItemB.

**Supplemental Bidder Responsibility  
Form 1 - Contractor Experience Detail  
Project # C5030**

**Business Contact Information**

Contractor Name: BANLIN Construction	Total years in Business: 17
Mailing Address: 320 W Columbia Dr. Kennewick WA 99336	
Business Phone: 509-586-2000	Former business name(s) & Dates: Lindstrom Construction
Contact Name and Title: Casey Lindstrom - Owner	
Contact Phone: 509-586-2000	Contact Email: Casey@banlinconstruction.com
Reason for name change(s): Acquired business partner	

**\* List Projects Completed Within The Time Specified By Division 00, or Are In Progress**

* Project Name & Location:	Description Of Project:	Owner:	Architect:	Project Manager Name:	Original Contract Amount:	Final Contract Amount:	Is this project relevant to proposed project?
Benton County Admin Building	New Construction of a 41,422 SF 3-story building with basement, steel framed type II-B sprinklered building	Benton County	MMEC Architecture	Jasen Banta	\$ 12,547,345	\$ 15,507,373	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
		Address:	Address:	Superintendent Name:	Original Contract Days 450	Time Extensions Granted Days 0	<input type="checkbox"/> No
		7122 W Okanogan PI Kennewick, WA 99336	1 North Monroe St Suite 200 Spokane Washington 99201				
		Phone:	Phone:	Larry Brisbois	Completion Date: 9/23/2021		
		509-736-2704	509.624.6800				
<p>1. Did this project require Apprenticeship Participation?  <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> (If NO, stop here).</p> <p>2. If yes, what was the Apprenticeship %? <input type="checkbox"/> %</p> <p>3. What was the actual % achieved? <input type="checkbox"/> %</p> <p>4. Was the apprenticeship requirement met?  <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/></p> <p>If NO to question 4 attach separate sheet to explain Why.</p>							
<p>As Prime <input checked="" type="checkbox"/> Or Sub: <input type="checkbox"/></p> <p>Email: robert.blain@co.benton.wa.us</p> <p>Email: heidi@mmearchitecture.com</p>							

## Supplemental Bidder Responsibility

### Form 2 - Resume of Key Personnel for Proposed Contract

#### Project # C5030

Name:	Role in this Contract:	Years Experience	
		Total	With Current Firm
Casey Lindstrom	Project Manager	25	17
Firm Name and Location (City and State): BANLIN Construction Kennewick, WA			
Training/Education/Specialization: Business administration degree, Owner/Operator for 20 years			
Years of Experience in the Proposed Role: 20 years			

RELEVANT PROJECTS		
Project Title: Tri- Tech Building C	Year Completed 2023	
Project Owner: Kennewick School Dist		
Brief Description (Brief scope, size, cost, etc.) and specific role:  New single story building of 9,600 square feet, including Demolition, Site Work, Structures, Finishes, Fire Protection, Mechanical, and Electrical work.	Check if project performed with current firm. <input checked="" type="checkbox"/>  If performed with different firm list the firm name	
Reference Name & Contact Information:		
Project Owner: Kennewick School Dist	Project Architect: Design West Architects	
Name: Dustin Fisk	Name: Brandon Wilm	
Phone: 509-430-9949	Phone: 509-783-2244	
E-mail: dustin.fisk@ksd.org	E-mail: bwilm@designwestwa.com	

RELEVANT PROJECTS		
Project Title: Pasco Sunbelt/ CWallia T.I	Year Completed 2024	
Project Owner: Lawrence B Stone Properties		
Brief Description (Brief scope, size, cost, etc.) and specific role:  Tenant Improvement including: Roof replacement, HVAC upgrades, Interior Finishes & Exterior improvements.	Check if project performed with current firm. <input checked="" type="checkbox"/>  If performed with different firm list the firm name	
Reference Name & Contact Information:		
Project Owner: Lawrence B Stone Properties	Project Architect: N/A	
Name: Wes Southwick	Name: N/A	
Phone: 509-343-9061	Phone: N/A	
E-mail: wes@lbstoneproperties.com	E-mail: N/A	

#### RELEVANT PROJECTS

Project Title: BRL Facade Improvements	Year Completed 2022
Project Owner: BRL Development	
Brief Description (Brief scope, size, cost, etc.) and specific role:  Tenant Improvement of a commercial Building. Facade improvements including: demo, concrete, masonry, rough carpentry, roofing, doors and windows, fire sprinkler, HVAC, electrical, inside finishes and Exterior improvements.	Check if project performed with current firm. <input checked="" type="checkbox"/>  If performed with different firm list the firm Name
Reference Name & Contact Information:	
Project Owner: BRL Development	Project Architect: Archibald & Company
Name: Ryan Ratchford	Name: Jason Archibald
Phone: 509-987-1511	Phone: 509-946-4189
E-mail: rbr@apollomech.com	E-mail: jason@archibald.design

#### RELEVANT PROJECTS

Project Title:	Year Completed
Project Owner:	
Brief Description (Brief scope, size, cost, etc.) and specific role:	Check if project performed with current firm. <input type="checkbox"/>  If performed with different firm list the firm Name
Reference Name & Contact Information:	
Project Owner:	Project Architect:
Name:	Name:
Phone:	Phone:
E-mail:	E-mail:

#### RELEVANT PROJECTS

Project Title:	Year Completed
Project Owner:	
Brief Description (Brief scope, size, cost, etc.) and specific role:	Check if project performed with current firm. <input type="checkbox"/>  If performed with different firm list the firm Name
Reference Name & Contact Information:	
Project Owner:	Project Architect:
Name:	Name:
Phone:	Phone:
E-mail:	E-mail:

## Supplemental Bidder Responsibility

### Form 2 - Resume of Key Personnel for Proposed Contract

Name:	Role in this Contract:	Years Experience	
		Total 17	With Current Firm 4
Matt Mullen			
Firm Name and Location (City and State): BANLIN Construction Kennewick, WA			
Training/Education/Specialization: On the job training for 7 years of shadowing a Superintendent with Apollo. Also framed houses for 7 years Before Apollo.			
Years of Experience in the Proposed Role: 4			

#### RELEVANT PROJECTS

Project Title: Tri- Tech Building C	Year Completed 2023
Project Owner: Kennewick School Dist	
Brief Description (Brief scope, size, cost, etc.) and specific role:  New single story building of 9,600 square feet, including Demolition, Site Work, Structures, Finishes, Fire Protection, Mechanical, and Electrical work.	Check if project performed with current firm. <input checked="" type="checkbox"/>  If performed with different firm list the firm name
Reference Name & Contact Information:	
Project Owner: Kennewick School Dist	Project Architect: Design West Architects
Name: Dustin Fisk	Name: Brandon Wilm
Phone: 509-430-9949	Phone: 509-783-2244
E-mail: dustin.fisk@ksd.org	E-mail: bwilm@designwestwa.com

#### RELEVANT PROJECTS

Project Title: Pasco Sunbelt/ CWalla T.I	Year Completed 2024
Project Owner: Lawrence B Stone Properties	
Brief Description (Brief scope, size, cost, etc.) and specific role:  Tenant Improvement including: Roof replacement, HVAC upgrades, Interior Finishes & Exterior improvements.	Check if project performed with current firm. <input checked="" type="checkbox"/>  If performed with different firm list the firm name
Reference Name & Contact Information:	
Project Owner: Lawrence B Stone Properties	Project Architect: N/A
Name: Wes Southwick	Name: N/A
Phone: 509-343-9061	Phone: N/A
E-mail: wes@lbstoneproperties.com	E-mail: N/A

<b>RELEVANT PROJECTS</b>		
Project Title:	Gesa Pullman	Year Completed 2022
Project Owner:	Gesa Bank	
Brief Description (Brief scope, size, cost, etc.) and specific role:  Pullman Branch Remodel including: Framing, Flooring, HVAC, siding, roofing and drive up canopy		Check if project performed with current firm. <input checked="" type="checkbox"/>  If performed with different firm list the firm Name
Reference Name & Contact Information:		
Project Owner:	Gesa Bank	Project Architect: N/A
Name:	Rick Thompson	Name: N/A
Phone:	509-713-4575	Phone: N/A
E-mail	rthompson@gesa.com	E-mail: N/A

<b>RELEVANT PROJECTS</b>		
Project Title:	Year Completed	
Project Owner:		
Brief Description (Brief scope, size, cost, etc.) and specific role:		Check if project performed with current firm. <input type="checkbox"/>  If performed with different firm list the firm Name
Reference Name & Contact Information:		
Project Owner:	Project Architect:	
Name:	Name:	
Phone:	Phone:	
E-mail	E-mail:	

<b>RELEVANT PROJECTS</b>		
Project Title:	Year Completed	
Project Owner:		
Brief Description (Brief scope, size, cost, etc.) and specific role:		Check if project performed with current firm. <input type="checkbox"/>  If performed with different firm list the firm Name
Reference Name & Contact Information:		
Project Owner:	Project Architect:	
Name:	Name:	
Phone:	Phone:	
E-mail	E-mail:	

## Supplemental Bidder Responsibility

### Form 4 - Apprenticeship Utilization (In addition to Form 1) Project # C5030

#### Business Contact Information

Contractor Name: BANLIN Construction	Total years in Business: 17
Mailing Address: 320 W Columbia Dr. Kennewick WA 99336	
Business Phone: 509-586-2000	Former business name(s) & Dates: Lindstrom Construction
Contact Name and Title: Casey Lindstrom - Owner	
Contact Phone: 509-586-2000	Contact Email: Casey@banlinconstruction.com

#### \* List Projects Completed Within The Time Specified By Division 00, or Are In Progress

* Project Name & Location:	Description Of Project:	Owner: Kennewick School Dist #1	Architect: NAC Architecture	Project Manager Name: Justin Griffith	Original Contract Amount:	\$ 14,190,832	Is this project relevant to proposed project?
Kamiakin High School Classroom Addition & Site Improvements 600 N Arthur St. Kennewick WA 99336	22,070 SF Classroom Addition, New Track and field with Concessions & Sports storage.	Address: 1000 W 4th Ave Kennewick WA 99336	Address: 1208 West Reverside Ave Spokane WA 99201	Superintendent Name: Larry Siglin	Original Contract Days	450	Yes <input checked="" type="checkbox"/>
		Phone:	Phone:	Completion Date:	Time Extensions Granted Days	25	No <input type="checkbox"/>
<p>1. Did this project require Apprenticeship Participation? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> (If NO, stop here).</p> <p>2. If yes, what was the Apprenticeship %? <input type="checkbox"/> 15 %</p> <p>3. What was the actual % achieved? <input type="checkbox"/> 10 %</p> <p>4. Was the apprenticeship requirement met? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/></p> <p>If NO to question 4 attach separate sheet to explain Why.</p>							



*Where Life is Sweet*

Mayor and Members of the City Council  
**STAFF REPORT**  
For the Meeting of February 9, 2026

**Title/Subject**

January 2026 Quarterly Investment Report

**Summary and Background**

This is a quarterly summary of the investment activity of city funds.

**Tie-In to Council Goals**

Fiscal Prudence

**Fiscal Information**

See Report

**Alternatives and Recommendation**

**Alternatives**

NONE

**Recommended Action/Motion**

Recommend/Request acceptance of the January 2026 Quarterly Investment Report as presented.

**Submitted By:**

Ignacio Palacios, Finance Director

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# Investment Report

## Quarter Ended

### December 31, 2025

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*Where Life is Sweet*

FY 2025-2026 Quarterly Investment Report							
City of Hermiston							
Quarter Ending December 31, 2025							
Investment Type	Beginning	Change	Net Gain (Loss) or Interest	Fees	Ending	% of Portfolio	
<u><i>Lone Pine Advisory</i></u>							
Money Markets (MM)	\$ 288,032	\$ (277,285)	\$ 419	\$ (120)	\$ 11,046	0.0%	
Corporate Bonds	7,614,445	371,403	93,547	(2,229)	8,077,166	23.0%	
Municipal Bonds	951,647	411,368	20,755	(331)	1,383,439	3.9%	
Government Bonds	1,046,987	(508,844)	10,532	(361)	548,314	1.6%	
Total MM & Bonds	9,901,111	(3,358)	125,253	(3,042)	10,019,964	28.5%	
<u><i>LGIP</i></u>							
General	4,699,261	4,000,000	73,930	-	8,773,191	25.0%	
Utilities	2,338,245	-	26,123	-	2,364,368	6.7%	
Reserves	1,151,557	-	12,866	-	1,164,423	3.3%	
HURA	4,634,055	750,000	53,256	-	5,437,311	15.5%	
Construction	7,288,648	-	80,871	-	7,369,519	21.0%	
Total LGIP	20,111,766	4,750,000	247,046	-	25,108,812	71.5%	
Total Investments	\$ 30,012,877	\$ 4,746,642	\$ 372,299	\$ (3,042)	\$ 35,128,776	100.0%	

### Investment Report

The investment schedule provided presents a summary of the City's investments quarterly. The primary purpose of this report is to summarize the City's investments with activity that has occurred over the past quarter. The summary includes the beginning and ending balances and transactions that occurred affecting the city's investments.

Below is a summary of transactions that affected the city's investments for the quarter ended December 31, 2025.

### Investment Summary

- Total investments ending December 31, 2025, were approximately \$35.1 million, which includes \$25.1 million held in the Local Government Investment Pool (LGIP).
- A total of \$6.8 million was deposited to LGIP from property tax turnovers for both general funds and HURA.
- Continue to draw funds from LGIP reserves for various construction projects
- Interest earnings for the quarter ending December 31, 2025, totaled \$372k (Fidelity - \$125k and LGIP - \$247k, respectively).
- The average interest earned totaled 1.3% of total investments held.