



PLANNING COMMISSION

Regular Meeting Minutes
April 15, 2026

Chairman Fialka called the regular meeting to order at 7:01PM. Present were Commissioners Caplinger, Saylor, Doherty, Rebman, Serrano, Misner, and Hamm. Commissioner Kirkpatrick was excused. Staff in attendance included Planning Director C.F. Spencer, City Attorney Rich Tovey (arrived 7:23PM), and Planning Assistant Heather La Beau. No Youth Advisors attended.

Chairman Fialka welcomed back Commissioner Rebman to the planning commission.

Minutes

Commissioner Saylor moved, and Commissioner Doherty seconded to approve the corrected minutes of the March 11, 2026, regular meeting. Motion passed 7-0 with Commissioners Caplinger, Rebman, Saylor, Serrano, Misner, Hamm, and Doherty in favor.

Major Variance CJ Evans Family Investments LLC 4N2824BB Tax Lot 800 16 SE Campbell Dr

Chairman Fialka asked if any commissioners had a conflict of interest or ex-parte contacts. Seeing none, Chairman Fialka opened the hearing at 7:05PM and read the hearing guidelines. The Hermiston Planning Commission is holding a public hearing to consider a request for a major variance for property located at 16 SE Campbell Drive and described as 4N2824BB Tax Lot 800. The property is zoned Outlying Commercial/Light Industrial (C-2/M-1) and is owned by CJ Evans Family Investments, LLC. The applicant, William Nylund, of O'Brien Construction, is requesting a variance from 157.175 of the Hermiston Code of Ordinances which establishes off-street parking requirements. The applicant requests a reduction in off-street parking requirements to allow 35 spaces instead of 64 spaces.

Planning Director Spencer presented the staff report. Staff are currently processing a site plan review for a proposed 63,000 square foot warehouse on the 2.8 acre of land. The planning commission has granted similar parking variances for industrial operations in the past. Written testimony in support was received and is attached.

Commissioners discussed revising parking code for industrial uses and alternative criteria language for variances, examples of occupancy changes.

Testimony

William Nylund O'Brien Construction 501 N Quay St Suite C101 Kennewick WA 99336 – Mr. Nylund is satisfied with the staff report and condition of approval.

Craig Evans CJ Family Investments, LLC 289 E McKinney Ave- Mr. Evans stated they own another storage business in Umatilla with 74,000 square feet of storage and 6 employees. He may eventually purchase adjacent space currently being leased from Jon Patterson. There is just under 50 employees for the Hermiston business locations and 65 total employees for all locations.

Zak O'Brien O'Brien Construction - Mr. O'Brien has built previous buildings for Mr. Evans and is familiar with the buildings' uses and employee counts and supports the variance.

Chairman Fialka closed the hearing at 7:20PM.

Commissioner Saylor moved and Commissioner Hamm seconded to approve the Findings of Fact as written. Motion passed 7-0 with Commissioners Caplinger, Rebman, Saylor, Serrano, Misner, Hamm, and Doherty in favor. Commissioner Caplinger moved and Commissioner Hamm seconded to adopt the



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conditions of approval and approve the variance request. Motion passed 7-0 with Commissioners Caplinger, Rebman, Saylor, Serrano, Misner, Hamm, and Doherty in favor.

Chairman Fialka called for a 5-minute recess.

Subdivision - Henry K's Phase 4 Hermiston Home Works, Inc 4N2813 Tax Lot 210 – 1200 SE Columbia Dr

Written testimony received from the Hermiston Irrigation District (HID) and the applicant's attorney was provided to commissioners and is attached. After reviewing the state statute regarding approval of subdivision plats, specifically ORS 92.090 (7), and using the testimony submitted by the applicant's attorney noting the property is not within the HID boundary but that of Stanfield Irrigation District (SID), staff recommends removing the HID approval signature line and amending it to SID. The preliminary plat can move forward as the stormwater design is part of the civil drawings review process. Plans for utilities and drywells are addressed during the next phase of development. Notice has been provided to the Division of State Lands of potential wetlands and the applicant is working to address the geotechnical issues regarding the wetlands. This is addressed in the Conditions of Approval.

Commissioner Hamm stated that while in the SID, the agreement with HID and the A-Line Canal is an agreement with HID and he is not sure how a possible impact would be considered. Planning Director Spencer replied that the applicant's stormwater design must comply with city standards to not leave the property.

There has not been a challenge from HID that the property is not within their district. The objectiveness of approval condition #1, specifically "work with" was discussed. The requirement of irrigation district signature on the final plat is clear & objective.

Planning Director Spencer presented the staff report. Lots in this phase range in size from 6500 to 10,000 square feet and all lots can accommodate single family or duplex dwellings. No lots are large enough to meet the minimum size for multi-family as a conditional use in the R-2 zone. This phase brings the total trip cap count to 108 peak hour trips, leaving 549 trips still available. The city requires irrigation districts to review the civil drawings. Staff recommends amending condition #1 and approving the preliminary plat.

It was questioned if the findings should include whose irrigation district the property is located within.

Testimony

Tyler Brandt 469 SW Cottonwood Dr- Mr. Brandt of Hermiston Home Works (HHW) read from a prepared statement (attached). HID claims natural springs exist and the impervious surfaces created in Phase 4 will alter drainage patterns and threaten the A-line Canal. The record tonight refutes this inaccuracy. The January 2026 Schott & Associate wetland delineation report identifies the relevant water features on the site. Mr. Brandt asserts there are not natural springs; the "spring" is an artificial wetland feature created by seepage from the A-line Canal itself. Phase 4 is west of this feature and is not downstream in any way to concentrate stormwater runoff into the canal. Phase 4 access is from SE Columbia Dr and is graded and oriented in such a way that does not place impervious surfaces in the area HID identifies as its concern. HID objects that the plat map doesn't depict stormwater drainage facilities. Stormwater management plans are reviewed and approved as part of the civil construction drawings that are submitted after preliminary plat and before final plat approvals. Condition of Approval #2 requires review and final approval by the city engineer. Phase 4 stormwater design is expected to be substantially similar to what was approved for the prior phases. HID has had opportunities to review the drainage information relevant to their facilities



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through the process. Mr. Brandt stated HID has no demonstrated legal authority over the property. HHW points to the title report, and screenshot of county gis maps, to demonstrate that although HID may have an agreement with the US Bureau of Reclamation from 2003, that does not constitute the property being within the HID boundary, as the property is in the SID. Mr. Brandt believes HID's failed demands for Phase 2 final plat approval have escalated their opposition. The opposition to Phase 4 appears to be HID's attempt to accomplish its earlier demands. HID did not raise objection of the previous phases and filed the current objection on April 15 allowing no time for the applicant to respond through normal channels. No specific causal mechanism of how Phase 4 construction would harm the canal was provided, only speculative concerns. The limited advisory role in subdivision review per ORS 92.103 does not give authority to veto a preliminary plat that meets the requirements in Hermiston's Zoning Ordinances. Mr. Brandt requests that the planning commission find HID objections do not constitute grounds to deny or delay the preliminary plat approval, approve Findings of Fact and approve Conditions of Approval with the exception of #1. The Conditions of Approval already require HHW to receive certification from irrigation district prior to final plat approval.

Mr. Brandt recounted circumstances that was the genesis of how they found themselves in this situation with HID. In April of 2025 an undocumented drainage pipe in the weir box located at the southwest corner of the property was discovered. The drainage pipe collected seepage from the Feed Canal initiated southeast of the property that then collected on the south side of the railroad tracks. There was a pre-existing system of bootlegged pipes that routed the water under the tracks through a system of culverts directly to the weir box on Mr. Brandt's property. Back in 1976 the former property owner installed a drainage pipe. A contractor hit the pipe during Phase 1 construction, in December, and not aware of what it was, the pipe was capped. In April of 2025 water appeared in the parking lot of the State's property, and the source was determined to be from the railroad track area. The aforementioned culverts were discovered at this time. It was found that the capped pipe runs north through property through the houses north of the A-line Canal, further down into the Barnett property and ultimately into the Maxwell Canal. HID asked Mr. Brandt how he would fix it. He does not feel he should be required to obtain easements from all the property owners to install a legal, recorded line. Irrigation districts have protection from being sued for seepage, but not for gross negligence as he understands it. He offered low-cost options to remedy the situation if HID would authorize him to pump the water back into the feed canal using a solar paneled power pump and he did not hear back from them. He understands it was at this time that a much more inclusive development agreement was discussed. Mr. Brandt states had a development agreement been in place for the previous phases, he would still not be responsible. He did not receive a response from HID until September of 2025 when HID stated they would lift their objection when a development agreement was signed. The development agreement provided was factually inaccurate, included costs with no definition or objective of where funds would be spent, required agreeing to sign a fence agreement that he was not provided, and included parcels not proposed for development. After several months of unsuccessfully pointing out the agreement's deficiencies, he hired an attorney. His attorney stated the irrigation district did not have the authority to require the development agreement and HID signed the Phase 2 final plat.

Responding to a question, Mr. Brandt clarified the "spring" is artificially created from canal seepage. While monitored for a year, it shows up within 48 hours of the canal turning on and disappears within 24 hours of the canal turning off. His monitoring included drones, photo documenting, and the wetland consultant study. The actual wetland area is very tiny and currently flagged. The wetland area is 0.11 acres on the north side of the railroad tracks and .06 acres on the south side. He invited commissioners to view the property and see the flagged area. This year the irrigation district dug down into the known trouble spots



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of the canal and applied bentonite and back filled. This method works longer and has worked well to aid in limiting seepage.

Mr. Brandt spoke about the process of building houses without having water in subfloors and basements. A geotechnical report is performed with the results guiding the civil engineering design process for stormwater infrastructure. Due to the small size of the wetland area, he doesn't have any major concerns.

Commissioners inquired of staff if comfortable moving forward with the plat and staff replied that yes, as the applicant is in compliance with city codes and the issues raised by HID are beyond the city's purview to regulate. Staff are confident the issues raised are addressed during the civil design review process.

Commissioners discussed district boundaries, authority of districts, appeal rights, and canal run-off responsibilities.

Findings of Fact

Chapter 94: Streets and Sidewalks

Three new streets are proposed on the preliminary plat. The applicant proposes an east-west extension of SE Columbia Drive. The applicant also proposes two new north-south cul-de-sacs extending southward from SE Columbia Drive. Each cul-de-sac is not named on the preliminary plat but rather assigned a letter designation. The new cul-de-sacs shall be designated with the SE prefix and a Ct suffix on the final plat.

Chapter 154: Subdivisions

Design Standards

154.15 Relation to Adjoining Street System.

The preliminary plat is adjacent to SE Columbia Drive. SE Columbia Drive is planned for eastward extension and will connect to E Highland Ave in a future phase. SE Columbia Drive is an urban minor collector and has 56 feet of right of way width on the preliminary plat in accordance with public works drawing ST10. The new cul-de-sacs do not exceed 400 feet in length. The Union Pacific Railroad tracks form the south boundary of the site and prevents street extension to the south. The two new cul-de-sacs are each 50 feet in width meeting the local street standard and each cul-de-sac serves 14 lots.

Fire and emergency access rules require two points of access for development exceeding 31 residential lots. With the completion of phase 2, the number of lots accessing from a single point on SE 10th Street exceeds 31. City and fire staff have reviewed the overall development plan. With the planned extension of SE Columbia Drive to W Highland Ave, UCFD recommends that the second point of access is planned for the future and the existing access along the A Line Canal is sufficient in an emergency should the intersection of SE 10th Street and SE Columbia Drive be blocked.

154.16 Street and Alley Width.

All streets have a width of at least 50 feet which meets the minimum requirement for local residential streets. The proposed cul-de-sacs each have a radius of over 50'. No new alleys are proposed as part of the preliminary plat. The street design standards are satisfied.

154.17 Easements.



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Easements of 10 feet in width are provided on all street frontages. These easements are public utility easements that accommodate storm drainage, utilities, and sidewalks.

154.18 Blocks.

City standards require a maximum block length of 600 feet. This development will have a 220-foot block length. Block standards are satisfied.

154.19 Lots.

All the proposed lots will make desirable building sites properly related to topography as required by §154.19 of the Hermiston Code of Ordinances. All proposed lots are at least 60 feet wide and 80 feet deep. Lots 89, 90, 91, 92, 103, 104, 105, and 106 are all less than 60 feet wide at the street line but meet the 60-foot width requirement at the building line as required by 154.19(A) and have at least 25 feet of street frontage as required by 157.025(C)(3). All the proposed lots exceed the minimum lot size of 6,500 square feet in the R-2 zone. Where possible, all side lot lines are at right angles or are radial to street lines. There are four corner lots in the proposed development, each of which have sufficient width and depth to allow the establishment of front building lines on both street frontages. Under the provisions of §157.150(G)(2), Lots 84, 97, 98, and 111 shall be limited to Road D and Road E for access and driveways shall not be permitted onto SE Columbia Drive.

154.20 Character of Development.

Staff understand that the applicant intends to market the subdivision as a single-family development. The lot sizes proposed for the development exceed the minimum size permitted in the R-2 zone for single-family dwellings. Uses permitted in the R-2 zone are listed in §157.026 of the Hermiston Code of Ordinances.

154.21 Parks, School Sites and the Like

The comprehensive plan and parks master plan do not indicate a need for any parks or schools in the vicinity of the proposed development.

Preliminary Plat

The preliminary plat contains most of the information required by 154.35 of the Hermiston Code of Ordinances.

The following items are not included with the preliminary plat:

154.35 (C) (8)

The above information must be included unless waived by the planning commission. Profiles for the streets and other civil details will be required as part of the civil drawing review process or final plat process. Staff recommends that the planning commission waive the required information for the preliminary plat but require it for civil drawing submission.

Required Minimum Improvements

154.60 Permanent Markers.



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All subdivisions shall be surveyed in accordance with ORS 92.050 through 92.080. The preliminary plat has been surveyed.

154.61 General Improvements.

As a condition of approval for the final plat, the city will require the installation of grading, storm drainage, curb and gutter, sidewalks, street paving and all service utilities. All improvements must comply with the Public Works Department standard plans and specifications manual. As a condition of approval, the planning commission shall require the applicant to sign an improvement agreement with the city agreeing to specific development conditions. In lieu of completion of such work, the City may accept a Letter of Credit in an amount and conditions to be specified.

Final design approval of all improvements must be obtained from the city engineer. Streetlights must also be installed at the applicant's cost. Once installed, the City will assume the monthly service charges.

154.62 Water Lines.

Each lot is planned for connection to the municipal water supply. Water system extensions and fire hydrant locations must be approved by the city engineer. The development will be serviced by the existing water improvements in SE Columbia Drive.

154.63 Sanitary Sewer System.

Each lot is planned for connection to the sanitary sewer system. The sewer layout must be approved by DEQ, the city sewer superintendent and the city engineer. The development will be serviced by the existing sewer improvements in SE Columbia Drive.

154.64 Drainage.

All necessary facilities shall be installed sufficient to prevent the collection of surface water in any low spot and to maintain any natural water course.

154.65 Sidewalks.

The applicant shall install sidewalks along all street frontages of all lots as required by the improvement agreement.

154.66 Bikeways.

The City of Hermiston Transportation System Plan does calls for on-street bikeways in SE Columbia Drive. The applicant's civil improvement plans for Phases 1, 2, and 3 have provided this on-street improvement. Phase 4 will continue installation of the necessary striping.

Chapter 157: Zoning

157.026 Medium Density Residential Zone (R-2)

All the proposed lots are created in conformance with the requirements of the R-2 zone. All the proposed lots exceed the minimum lot size of 6,5000 square feet. Apart from lots 89, 90, 91, 92, 103, 104, 105, and 106, all the proposed lots are at least 60 feet wide and 80 feet deep. Lots 89, 90, 91, 92, 103, 104, 105, and 106 are all less than 60 feet wide at the street line but meet the 60-foot width requirement at the



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building line as required by 154.19(A) and have at least 25 feet of street frontage as required by 157.025(C)(3).

Conditions of Approval

1. Applicant shall receive certification pursuant to ORS 92.090 (7) from the Stanfield Irrigation District prior to final plat approval. Applicant should be aware that the City of Hermiston will not sign the final plat until the irrigation district has been satisfied and signs the final plat.
2. Applicant must sign an improvement agreement and shall install grading, storm drainage, curb and gutter, sidewalks, street paving, and all service utilities for this development. All improvements for each phase shall comply with city standards and specifications and shall receive final approval from the city engineer.
3. Streetlights shall be installed at the applicant's cost. Once installed, the City will assume the monthly service charges.
4. Applicant shall comply with all provisions of 92.12 of the Hermiston Code of Ordinances (relating to the control of blowing dust) during all phases of construction.
5. All streets shall be designated in accordance with §94.22 of the Hermiston Code of Ordinances as detailed in the findings of fact for Chapter 94. The two new cul-de-sac streets shall be assigned a name and labeled as with a SE prefix and a Court suffix on the final plat.
6. Comprehensive Plan Figure 12 identifies this site as an area subject to development hazards due to excessively well drained soils and restrictive foundation soils. Therefore, the City will prohibit the outdoor storage of hazardous chemicals and underground storage of gasoline and diesel fuels. Prior to the development of lots containing cemented hardpan, the city shall require a registered engineer's assessment of the design and structural techniques needed to mitigate potential hazards.
7. A notation shall be placed on the plat stating that Lots 84, 97, 98, and 111 shall not access SE Columbia Drive.
8. Easements of at least 10' shall be provided along all street frontages.
9. A per lot assessment for Lots 77 through 111 shall be established of \$1,557. The assessment will be collected at the time of building permit issuance on each lot and shall be used for replacement of the A Line Canal bridge. Said fee is based upon the residential trip cap of 325 peak hour residential trips and a development plan of 208 residential lots. Should the trip cap or lot count be amended in subsequent phases, recalculation of the fee for lots 112 and above shall be performed by the City. At the discretion of the developer, the city shall also accept full payment for all 34 lots as one lump sum payment of \$52,938 prior to any permit issuance.
10. SE Columbia Drive is designated as an urban minor collector on the Hermiston TSP and shall be designed with on-street bike lanes through the development.



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11. All State of Oregon requirements related to wetland fill shall be satisfied prior to issuance of civil improvement approval.

After further discussion, Commissioner Hamm moved and Commissioner Saylor seconded to approve the amended Findings of Fact. Motion passed 7-0 with Commissioners Caplinger, Rebman, Saylor, Serrano, Misner, Hamm, and Doherty in favor. Commissioner Hamm moved and Commissioner Misner seconded to approve the amended Conditions of Approval. Motion passed 7-0 with Commissioners Caplinger, Rebman, Saylor, Serrano, Misner, Hamm, and Doherty in favor. Commissioner Hamm moved and Commissioner Saylor seconded to approve the preliminary plat with the conditions and findings as amended. Motion passed 7-0 with Commissioners Caplinger, Rebman, Saylor, Serrano, Misner, Hamm, and Doherty in favor.

Planner comments and unscheduled communication

Planning Director Spencer shared that Richard Hunsaker passed away unexpectedly last month.

Commissioners noted Good Shepherd Hospital continues to add specialty doctors to staff which contributes to the elevated rental market in the area.

Adjournment

Chairman Fialka adjourned the meeting at 8:49PM.

HERMISTON IRRIGATION DISTRICT



366 E Hurlburt Ave
Hermiston, OR 97838-2445
Phone: 541-567-3024
E-Mail: Office@HermistonID.org
Website: www.HermistonID.org

April 15, 2026

City of Hermiston
Clint Spencer, Planning Director
180 NE 2nd St.
Hermiston, OR 97838

Re: Hermiston Irrigation District Comments - Preliminary Subdivision Application for Henry K's Addition, Phase 4 (4N2813 Tax Lot 210)

Director Spencer:

Hermiston Irrigation District ("District") reviewed Hermiston Home Works, Inc.'s ("HHW") proposed subdivision as identified in the Notice of Limited Land Use Decision that was mailed to the District by the City of Hermiston. We understand that HHW is proposing to move forward with "Phase 4" of its subdivision development activities in the Henry K's subdivision, and that Phase 4 will impact a portion of 4N2813 Tax Lot 210 ("Tax Lot 210"). Based on the District's direct knowledge about the conditions on Tax Lot 210, we have identified the key items that must be addressed by HHW in order to protect the A-Line Canal.

The District operates and maintains the A-Line Canal pursuant to a contract with the U.S. Bureau of Reclamation, and the District is obligated to protect the A-Line Canal from damage and to ensure the canal remains operational. The northern boundary of the proposed Phase 4 development is located less than 100 feet from the A-Line Canal.

Tax Lot 210 contains various natural springs, including one notable spring that is adjacent to the eastern boundary of Phase 4. The District has observed water runoff over and across Tax Lot 210. Under current conditions on Tax Lot 210, this runoff, including water from springs on or adjacent to Tax Lot 210, is absorbed into the open field and is not channeled into the A-Line Canal. However, if Phase 4 is implemented, a portion of Tax Lot 210 will be covered by impervious surfaces that will modify the current patterns of runoff and drainage on land adjacent to the A-Line Canal.

Based on the known conditions on Tax Lot 210 as described above and the scope of the proposed Phase 4, the District is concerned about the treatment of stormwater and runoff on the Phase 4 property. In order to protect the structural integrity and operational capabilities of the A-Line Canal, we will require HHW to cooperate with the District to address the District's concerns. Specifically, the District will require HHW to provide adequate information for the District to properly evaluate any potential drainage or stormwater issues that may impact the District's facilities, including, but not limited to, hydrology reports, stormwater reports, and stormwater management plans.

Finally, after reviewing the Phase 4 plat map attached to the Notice of Limited Land Decision, we could not identify any facilities depicted or labelled as storm water drainage facilities. Pursuant to 154.35(C)(8) of the Hermiston Code of Ordinances, all preliminary plats must show “facilities for storm water drainage.” Based on our review of the Phase 4 plat map provided to the District, it appears that the plat map fails to meet this requirement. On these grounds, the District objects to approval of the Phase 4 preliminary subdivision plat in the form presented to the District. As explained above, it is crucial for the District to understand the stormwater management plan for the Phase 4 property to ensure the A-Line Canal is protected.

Thank you for the opportunity to review and comment on this application.

Respectfully,

Karra

Karra Van Fossen
Water Right Specialist



Wendie L. Kellington
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97035

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Email: wk@klgpc.com

April 15, 2026

Via Electronic Mail
City of Hermiston Planning Commission
c/o Clint Spencer
City of Hermiston
180 NE 2nd St
Hermiston, Or

RE: Phase IV Henry K's Addition Subdivision – Limited Land Use Decision

Dear Members of the Planning Commission:

This firm represents the applicant Hermiston Home Works Inc., (HHW) in the above matter. Please include this letter in the record.

At 2:30 pm today, HHW received an objection to the proposed subdivision from the Hermiston Irrigation District (HID). HID appears to object to the proposal on the basis that the Phase IV storm facilities are not shown on the preliminary plat. The Hermiston Code provision HID cites for its objection, however, is an informational provision and is not an approval standard. Accordingly, it provides no basis for denial of the proposal. As demonstrated in the Staff Report as well as in the prior approval for this and other subdivisions the City has approved, this informational provision is handled via condition of approval. Specifically, as shown on Staff Report Condition of Approval # 2 which provides:

final plat until the irrigation district has been satisfied and signs the final plat.

2. Applicant must sign an improvement agreement and shall install grading, storm drainage, curb and gutter, sidewalks, street paving, and all service utilities for this development. All improvements for each phase shall comply with city standards and specifications and shall receive final approval from the city engineer.

Therefore, HID's objection lacks merit. The relevant standard that does apply is met as follows (from the Staff Report):

154.64 Drainage.

All necessary facilities shall be installed sufficient to prevent the collection of surface water in any low spot and to maintain any natural water course.

The storm drainage system for Phase IV will be the same storm drainage system as is shown on the attached Phase II subdivision approval. The only evidence in the record is that it is feasible for that storm system that was successfully approved for Phase II, to be implemented for Phase IV to collect water from Phase IV's impervious surfaces and not direct or cause storm water to drain into HID's A Line canal. Moreover, as explained in the wetland report for the property, the HID characterized "notable spring" wet area on the Phase IV property is caused from leakage from the HID A line canal. It is not water that naturally occurs on the subject property but rather exists because HID's canal leaks.

This is also to request that the City remove the proposed condition of approval to "work with" HID to obtain its certification on the Phase IV final plat, because the subject Phase IV property is not within the HID district at all:

LESSOR'S CONDITIONS

1. Applicant shall work with and receive certification from the Hermiston Irrigation District prior to final plat approval. Applicant should be aware that the City of Hermiston will not sign the final plat until the irrigation district has been satisfied and signs the final plat.

Because the subject property is not within the HID, there is no certification that HHW can obtain or that it is required to obtain. "Working with" HID for Phase II (also not in the HID) ended up costing more than \$11,000 in attorney fees and resulted in HID simply reviewing the final approved Phase II storm plans – which plainly stated that runoff would not go into HID's facilities.

Importantly, under state law, the standards, procedures and conditions applied to the proposal for the development of housing must be clear and objective. ORS 197A.400, ORS 227.173; ORS 227.175(4). Respectfully, there is no clear and objective standard that requires HID certification on a final plat for property that is not in the district and similarly, the proposed condition to "work with" HID to obtain certification is not clear and objective.

Finally, only standards codified in the City's code may be applied to the proposal under ORS 227.173 and there is no codified standard that requires obtaining certification from HID where the subject property is not in HID's district. Similarly, under ORS 197.195, which are the state standards governing limited land use decisions, and corresponding City requirements, only codified standards in the City's land use regulations may be applied to this limited land use decision and, respectfully, there are no codified City land use regulations that apply to this limited land use decision that require certification from HID where the property is not even in the HID boundaries.

It is respectfully submitted that the proposal should be approved, with the requested modification of the removal of the condition to work with and obtain HID certification on the final plat.

Thank you for your time and consideration.

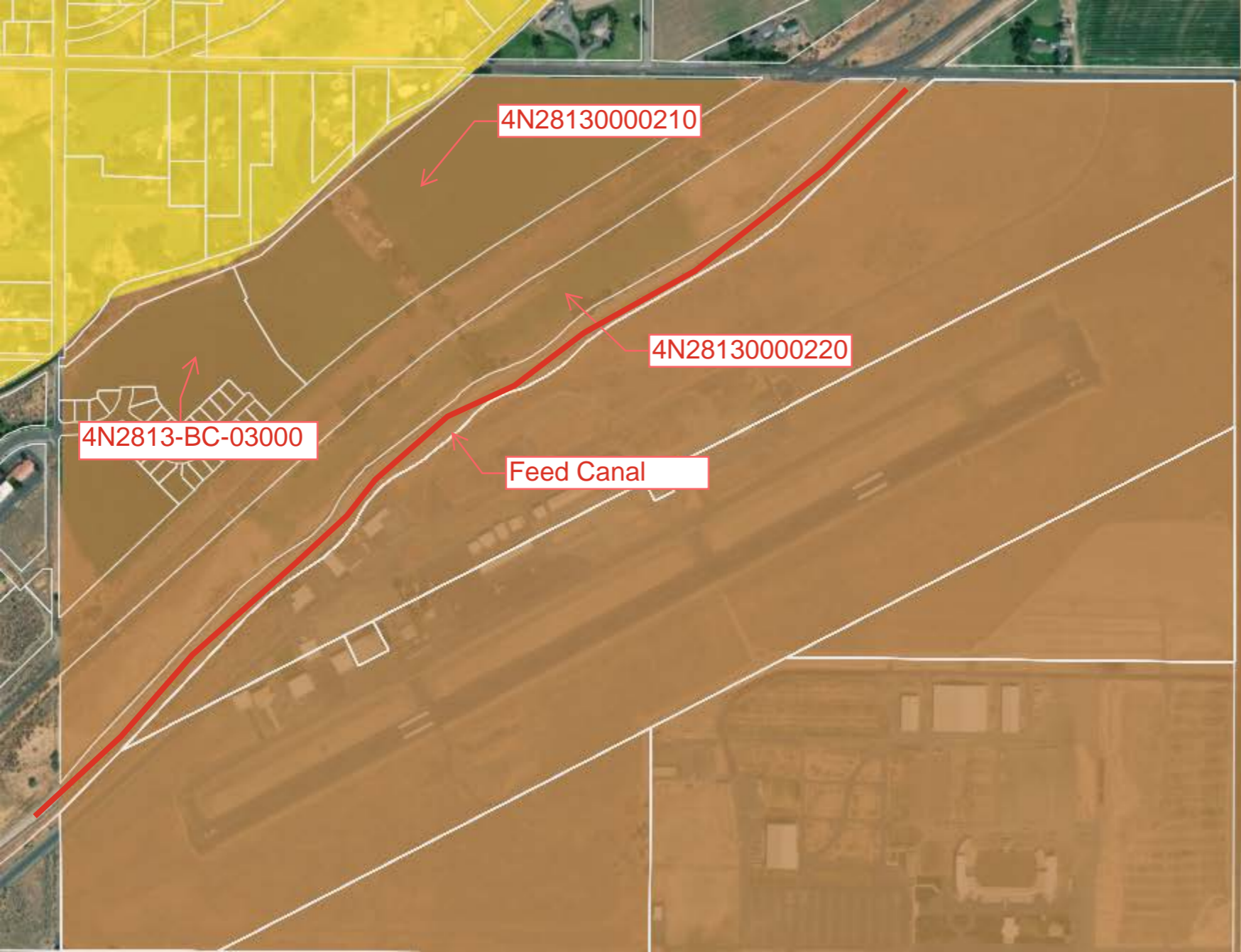
Very truly yours,

A handwritten signature in black ink, appearing to read "Wendie L. Kellington". The signature is written in a cursive style with a large initial "W" and a long, sweeping tail.

Wendie L. Kellington

WLK:wlk

CC: Clients

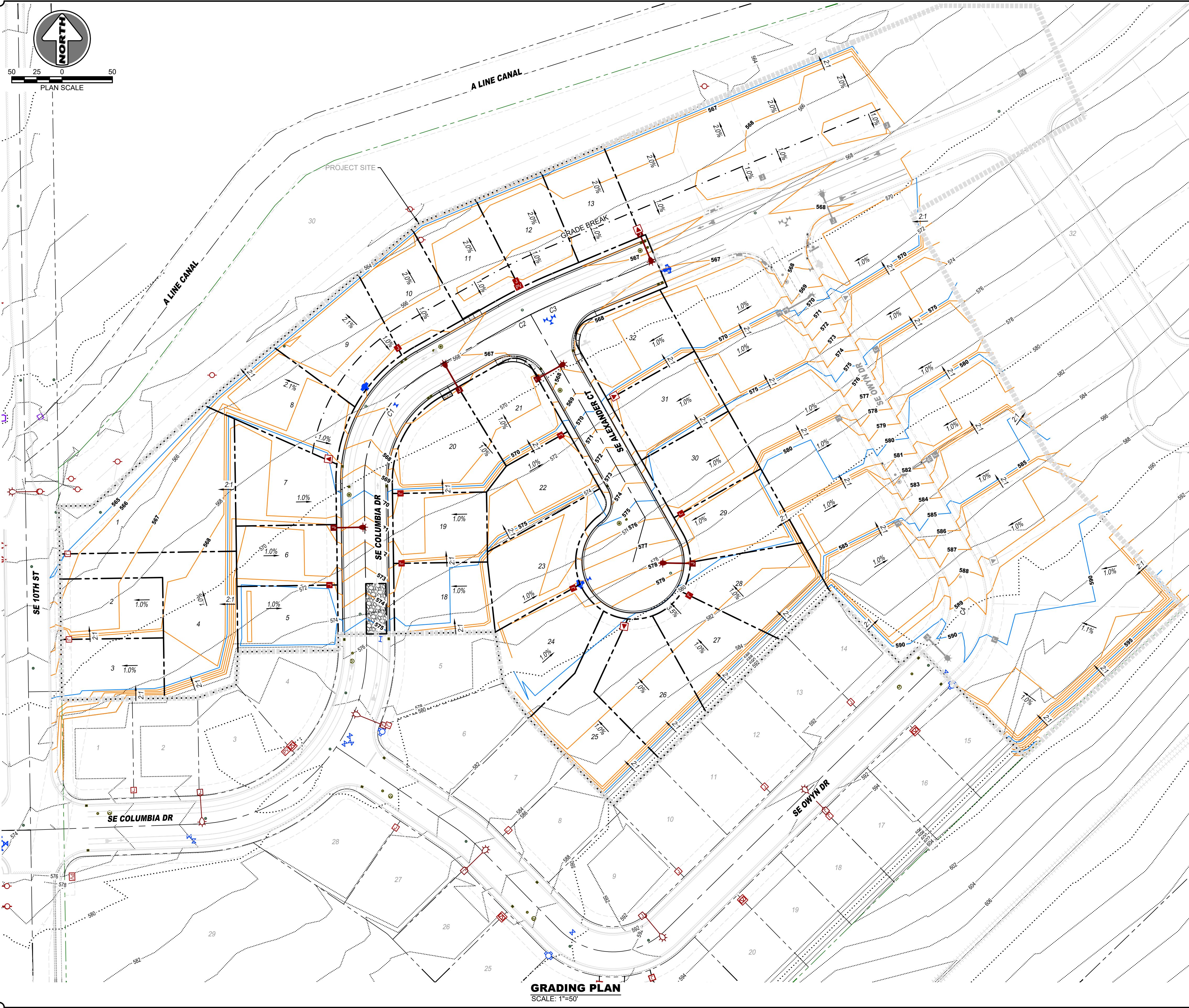


Map Layers

- Consolidated Tiers of the Columbia Indian Reservation Boundary (CTUIR)
- Fire Districts
- Livestock Districts
- School Districts
- Irrigation Districts

WEST EXTENSION
COLUMBIA IMPROVEMENT
WESTLAND
WALLA WALLA RIVER
GARDENA FARMS
HERMISTON
HUDSON BAY
STANFIELD
TEEL

- Vector Control Districts
- Comprehensive Plan Designations



GRADING PLAN
SCALE: 1"=50'

NOTES

- SEE SHEET C5.0 FOR INTERSECTIONS, CURB RETURNS, AND ADA RAMPS.

GEOTECHNICAL NOTES

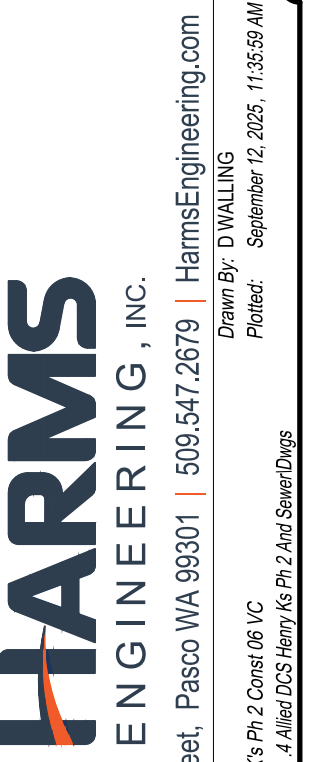
- A GEOTECHNICAL REPORT WAS PREPARED FOR THIS SITE BY GN NORTHERN, INC. DATED MAY 2024. REFER TO REPORT FOR COMPLETE RECOMMENDATIONS AND GUIDANCE.
- SOILS**
 - SILTY SAND (SM), MEDIUM DENSE, DAMP TO MOIST, WAS ENCOUNTERED IN EACH TEST PIT WITH OCCASIONAL LAYERS OF POORLY GRADED SAND WITH SILT AND GRAVEL (SP-SM) IN A MAJORITY OF THE LOCATIONS ON THE EASTERN TWO-THIRDS OF THE SITE.
 - TEST PITS TP-1, TP-2, TP-3 AND TP-6 HAD PARTIALLY CEMENTED SANDY SILT WAS MEDIUM DENSE TO DENSE AND DAMP.
 - GROUNDWATER WAS NOT ENCOUNTERED IN THE TEST PITS (MAXIMUM TEST PIT DEPTH WAS 12.5 FT) AND IS ANTICIPATED TO BE 10 TO 20 FT BELOW GROUND SURFACE, RELATIVE TO THE LOWER SITE ELEVATIONS ALONG THE A LINE CANAL.
 - CLEARING AND GRUBBING**
 - PRIOR TO CLEARING AND GRADING OPERATIONS, IMPLEMENT ALL NECESSARY BMP MEASURES
 - CLEAR EXISTING VEGETATION, LARGE ROOTS, ANY ARTIFICIAL FILL, TRASH AND DEBRIS, AND ANY ABANDONED UNDERGROUND UTILITIES.
 - STRIP TOPSOIL AND/OR ORGANIC GROWTH WITHIN PROPOSED STRUCTURAL AREAS.
 - TOPSOIL MAY BE STOCKPILED FOR FUTURE USE OR REMOVED FROM CONSTRUCTION AREA.
 - GEOTECHNICAL ENGINEER SHALL OBSERVE SITE CLEARING, GRADING, AND THE BOTTOMS OF EXCAVATIONS PRIOR TO FILLING.
 - DO NOT PLACE BACKFILL OR FILL SOIL MATERIAL ON SURFACES THAT ARE SATURATED, MUDDY, FROZEN, OR CONTAIN FROST, SNOW, OR ICE.
 - SOIL CONDITIONS SHALL BE EVALUATED BY IN-PACE DENSITY TESTING, VISUAL EVALUATION, PROBING, AND PROOF-ROLLING OF THE IMPORTED FILL AND RE-COMPACTED ON-SITE SOIL.
 - OVER-EXCAVATE AND BACKFILL ALL TEST PITS LOCATED BENEATH PAVEMENT AREAS.
 - MOISTURE CONDITIONING**
 - ESTABLISH A MOISTURE-DENSITY CURVE PER ASTM D1557 FOR ONSITE SOILS AND IMPORTED FILL
 - MOISTURE CONDITION SOILS TO WITHIN 2% OF OPTIMUM PRIOR TO COMPACTION.
 - REMOVE AND REPLACE, OR SCARIFY AND AIR DRY, OTHERWISE SATISFACTORY SOIL MATERIAL THAT EXCEEDS NEAR-OPTIMUM MOISTURE CONTENT AND IS TOO WET TO COMPACT TO SPECIFIED DRY DENSITY.
 - TEMPORARY EXCAVATIONS**
 - CONTRACTOR SHALL MAINTAIN SAFE TEMPORARY SLOPE CONFIGURATIONS
 - TEMPORARY CUT SLOPES SHALL BE NO STEEPER THAN 1.5 FEET HORIZONTAL TO 1.0 FEET VERTICAL (1.5H:1.0V) IN TYPE C SOILS.
 - FINAL (PERMANENT) FILL SLOPES SHALL BE NO STEEPER THAN 2H:1V.
 - ONSITE SOILS**
 - ONSITE SANDY/ GRAVELLY SOILS, FREE OF DELETERIOUS MATERIALS INCLUDING ROOTS AND ORGANIC MATTER AND OVERSIZE ROCKS (4-INCHES), ARE GENERALLY SUITABLE FOR USE AS GENERAL FILL/ BACKFILL. NATIVE SOIL SHALL BE PLACED IN MAXIMUM 8-INCH LOOSE LIFTS AND COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY PER ASTM D1557.
 - IMPORTED FILL**
 - IMPORTED FILL IF NEEDED SHOULD BE NON-EXPANSIVE, GRANULAR SOILS MEETING THE USCS CLASSIFICATIONS OF SM, SP-SM, OR SW-SM WITH A MAXIMUM ROCK SIZE OF 4 INCHES, MINIMUM 80% PASSING THE NO. 4 SIEVE, AND 5 TO 20% PASSING THE NO. 200 SIEVE (FINES SHALL BE NON-PLASTIC). THE GEOTECHNICAL ENGINEER SHOULD EVALUATE IMPORT SOILS PRIOR TO HAULING TO THE SITE.
 - IMPORTED STRUCTURAL FILL SHALL CONSIST OF A WELL-GRADED 1 1/2" MINUS CRUSHED AGGREGATE CONFORMING TO ODOT-SS 02630 - BASE AGGREGATE, TABLE 02630-1.
 - IMPORTED FILL SHALL BE PLACED IN MAXIMUM 8-INCH LOOSE LIFTS AND COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY PER ASTM D1557.
 - COMPACTION REQUIREMENTS FOR STRUCTURAL FILL**
 - ALL FILL OR BACKFILL SHALL BE APPROVED BY A REPRESENTATIVE OF THE GEOTECHNICAL ENGINEER, PLACED IN UNIFORM LIFTS, AND COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY PER ASTM D1557.
 - A REPRESENTATIVE OF THE GEOTECHNICAL ENGINEER SHALL VERIFY COMPACTION USING A NUCLEAR DENSITY GAUGE PER ASTM D6938.
 - BUILDING PAD SUBGRADE PREPARATION**
 - TO REDUCE THE RISK OF DIFFERENTIAL SETTLEMENT, THE MAXIMUM DIFFERENTIAL OF ENGINEERED FILL BENEATH THE BUILDING FOOTPRINT SHALL NOT EXCEED 50%. FOR EXAMPLE, IF MAXIMUM FILL UNDER A BUILDING PAD IS 6 FT, THEN THE MINIMUM FILL SHALL BE 3 FT.
 - TO ACHIEVE THIS SETTLEMENT, SOME ADDITIONAL OVER-EXCAVATION MAY BE REQUIRED WITHIN THE CUT AREAS OF THE BUILDING PADS.
 - PRIOR TO PLACING FILL MATERIAL, SCARIFY EXPOSE SUBGRADE A MINIMUM OF 12 INCHES, MOISTURE CONDITION, AND COMPACT TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY PER ASTM D1557.
 - SUBGRADE PREP SHALL EXTEND A MINIMUM OF 12 INCHES BEYOND PROPOSED BUILDING FOUNDATIONS.
 - INSPECTION AND VERIFICATION**
 - GN NORTHERN'S INSPECTOR SHALL BE ONSITE DURING EARTHWORK TO INSPECT AND TEST SUBGRADE AND EACH FILL LAYER FOR COMPLIANCE WITH GEOTECHNICAL REQUIREMENTS.

GRADING LEGEND

DESCRIPTION	EXISTING	PROPOSED
CONTOUR MAJOR	--- 400 ---	--- 400 ---
CONTOUR MINOR	--- 399 ---	--- 399 ---
SILT FENCE	---	---
SWALE	---	---
TEST PIT LOCATION	⊕	⊕

EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR TO VERIFY LOCATIONS WITH UTILITY COMPANIES AND/OR PRIVATE UTILITY LOCATOR PRIOR TO TRENCHING

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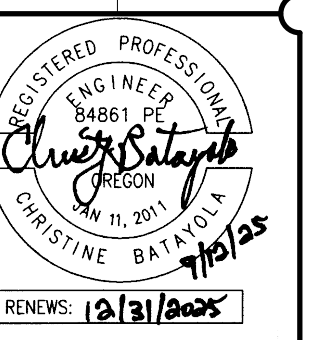


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 Drawn By: D. WALLING
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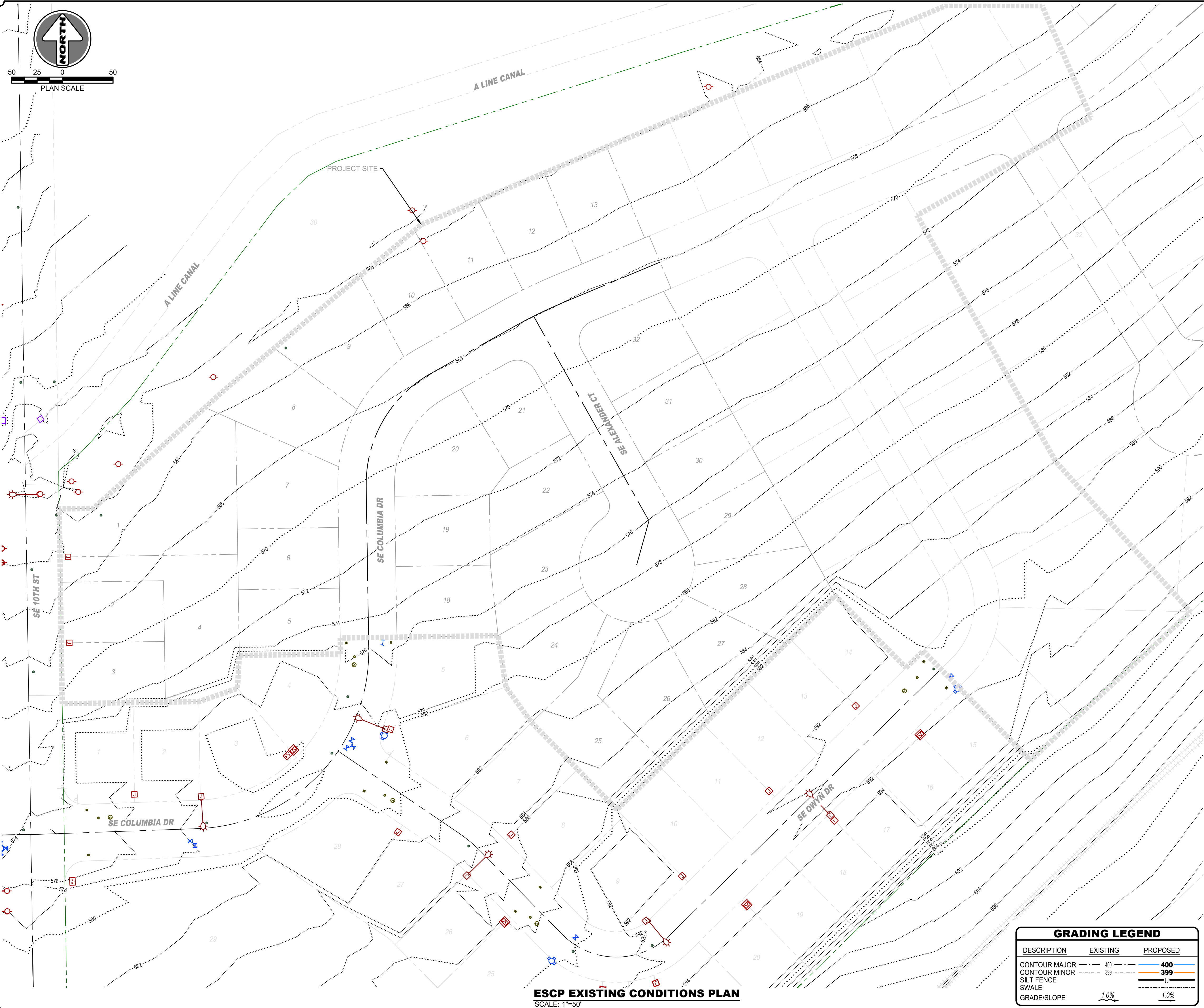
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06-09-25	DLW	UPDATING GRADING
05-16-25	DLW	REVIEW SUBMITTAL

HENRY K'S PHASE 2 GRADING PLAN
 TAX LOT ID AN28130000200, HERMISTON, OR
HERMISTON HOME WORKS
 TYLER BRANDT 541-720-4533
 PO BOX 833, HERMISTON, OR 97138
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Client/Project Information
 Drawing Name: SECT 13 TO 4V R28E W4W



Date: **09-12-2025**
 Project Number: **23-030.4**
 Sheet Number: **C3.0**



ESCP EXISTING CONDITIONS PLAN
SCALE: 1"=50'

GRADING LEGEND		
DESCRIPTION	EXISTING	PROPOSED
CONTOUR MAJOR	400	400
CONTOUR MINOR	399	399
SILT FENCE	— —	— —
SWALE	— —	— —
GRADE/SLOPE	1.0%	1.0%

EXISTING CONDITIONS NOTES

1. AN IRRIGATION CANAL OPERATED BY HERMISTON IRRIGATION DISTRICT IS LOCATED WITHIN 1 MILE TO THE NORTH OF THE SITE. RUNOFF FROM THE EXISTING SITE WOULD DISCHARGE INTO THE CANAL.
2. CONSTRUCTION SITE IS DESIGNED TO RETAIN ALL STORMWATER AND AUTHORIZED DISCHARGES ONSITE, WITH NO DISCHARGES TO SURFACE WATERS. REFER TO SHEETS C4.2 AND C4.3 FOR GRADING AND STORM INFRASTRUCTURE PLANS.

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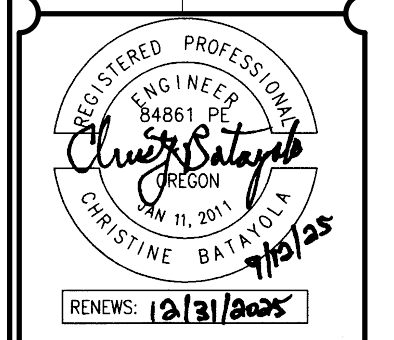
HENRY K'S PHASE 2
ESCP EXISTING CONDITIONS PLAN
 TAX LOT ID 4N28130000200, HERMISTON, OR
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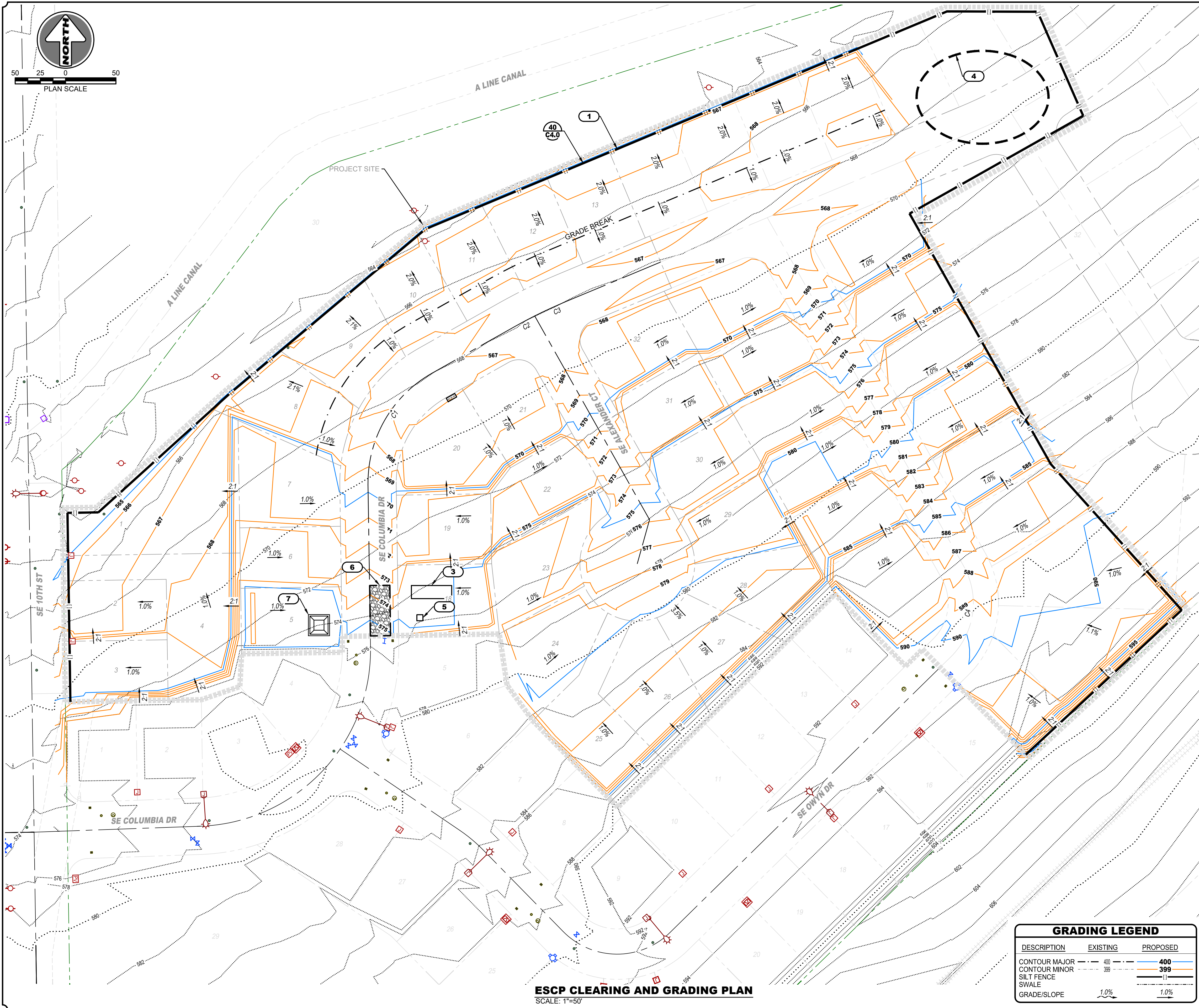
Rev	Description	By	Date
1	REVIEW SUBMITTAL	DLW	05-16-25

Client/Project Information
SECT 13 TO 4N R28E W4W

Date: **09-12-2025**
 Project Number: **23-030.4**
 Sheet Number: **C4.1**

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ESCP CLEARING AND GRADING PLAN
SCALE: 1"=50'

GRADING LEGEND		
DESCRIPTION	EXISTING	PROPOSED
CONTOUR MAJOR	40	400
CONTOUR MINOR	399	399
SILT FENCE	---	---
SWALE	---	---
GRADE/SLOPE	1.0%	1.0%

- ### CLEARING AND GRADING NOTES
- CONTRACTOR TO INSTALL ALL BEST MANAGEMENT PRACTICES (BMP'S) PRIOR TO BEGINNING SITE CONSTRUCTION.
 - ALL CONSTRUCTION ACTIVITIES TO BE STAGED ONSITE.
 - AUTHORIZED NON-STORMWATER DISCHARGES MAY INCLUDE DUST CONTROL, VEHICLE WASHING, FILL WASHING, AND TEMPORARY IRRIGATION AND WILL COMPLY WITH REQUIREMENTS OF CONSTRUCTION STORMWATER PERMIT.
 - EXISTING VEGETATION: GRASSLAND WITH SOME ARID-LAND SHRUBS.
 - EXISTING SOIL TYPE:
5.1. ADKINS FINE SANDY LOAM, HYDROLOGIC SOIL GROUP B, 49%; AND
5.2. QUINCY LOAMY FINE SAND, HYDROLOGIC SOIL GROUP A, 51%
 - PROJECT DOES NOT OCCUR WITHIN 50 FT OF NEAREST BODY OF WATER, THE IRRIGATION CANAL, AND WILL NOT DISTURB EXISTING NATURAL BUFFER.
 - CUT AND FILL QUANTITIES:
7.1. CUT: **10,680± CY**
7.2. FILL (1.20): **11,545± CY**
7.3. NET (FILL): **865± CY**
 - ONSITE FILL MATERIALS:
8.1. NATIVE MATERIAL
8.2. CRUSHED ROCK
 - STORM INFILTRATION TRENCH SIZING CALCULATIONS ARE BASED ON THE 25-YEAR 24-HOUR DESIGN STORM IN THE CITY OF HERMISTON PUBLIC WORKS STANDARDS, SECTION 2.3, 1.5 INCHES OF PRECIPITATION WITH A TYPE II STORM HYETOGRAPH AND USING THE SANTA BARBARA URBAN HYDROGRAPH METHOD.
 - SEED MIX INFORMATION: ALL DISTURBED AREAS SHALL BE STABILIZED WITH A MINIMUM OF 4" OF 1½" MINUS CRUSHED ROCK (CSBC) OR BE HYDROSEEDED. HYDROSEED SHALL BE APPLIED AT 60 LBS/ACRE WITH THE FOLLOWING SEEDING MIX: 40% ANNUAL RYEGRASS, 20% BLUE BUNCH WHEAT GRASS, 20% THICKSPIKE WHEAT GRASS, AND 20% SANDBERG'S GRASS. ADDITIONALLY THE HYDROSEED SHALL INCLUDE 2,000 LBS/ACRE OF WOOD FIBER MULCH AND 50 LBS/ACRE OF GUAR BASED TACKIFIER FOR SLOPES GREATER THAN 5:1.
 - PHASE SCHEDULE:
11.1. START: **AUGUST 2025**
11.2. END: **SEPTEMBER 2025**

- ### POLLUTION PREVENTION NOTES
- POLLUTION PREVENTION CONTROLS
 - STORE POTENTIAL POLLUTANTS IN A COVERED AREA OR IN SECONDARY CONTAINMENT TO PREVENT EXPOSURE TO PRECIPITATION FOR STORMWATER RUNOFF. LOCATE STORAGE CONTAINER WHERE SHOWN ON PLANS.
 - PROVIDE ADEQUATE SUPPLIES AND SPILL KITS ON SITE AT ALL TIMES TO HANDLE SPILLS, LEAKS, AND DISPOSAL OF WASTES.
 - CLEAN UP SPILLS OR CONTAMINATED SURFACES IMMEDIATELY AND ELIMINATE SPILL SOURCES TO PREVENT REOCCURRENCE.
 - USE DRIP PANS AND ABSORBENTS UNDER OR AROUND VEHICLES, AND DISPOSE OF OR RECYCLE FUELS AND OILS IN ACCORDANCE WITH LOCAL REQUIREMENTS.
 - ENSURE NO DISCHARGE OF SOAPS, SOLVENTS, OR DETERGENTS IN VEHICLE WASHWATER AND PREVENT DISCHARGE OF TURBID WASH WATER TO WATERS OF THE STATE.
 - SEPARATE HAZARDOUS OR TOXIC WASTE FROM CONSTRUCTION AND DOMESTIC WASTE. STORE IN CLEARLY LABELED AND SEALED CONTAINERS WITH SECONDARY CONTAINMENT AS NECESSARY, AND DISPOSE OF IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND IN COMPLIANCE WITH LOCAL REQUIREMENTS.
 - PROVIDE WASTE CONTAINERS OF SUFFICIENT SIZE TO CONTAIN CONSTRUCTION AND DOMESTIC WASTES AS NECESSARY.
 - LOCATE PORTABLE TOILETS AWAY FROM WATERS OF THE STATE AND STORMWATER INLETS OR CONVEYANCES, AND SECURE TO PREVENT SPILLS.
 - LIQUIDS FROM WASHING APPLICATORS AND LIQUID CONTAINERS USED FOR PAINT, CONCRETE, OILS, CURING COMPOUNDS, AND SIMILAR MATERIALS TO BE CONTAINED TO PREVENT DISCHARGE TO STORM SEWERS AND WATERS OF THE STATE AND DISPOSED OF ACCORDING TO LOCAL REQUIREMENTS.
 - WHERE A LEAK, SPILL, OR OTHER RELEASE CONTAINING A HAZARDOUS SUBSTANCE OR OIL OCCURS DURING A 24-HOUR PERIOD, NOTIFY THE OREGON EMERGENCY RESPONSE SYSTEM (800-452-0311) AS SOON AS THE REGISTRANT HAS KNOWLEDGE OF THE RELEASE.
 - CONTRACTORS ARE RESPONSIBLE FOR PROVIDING WRITTEN SPILL PREVENTION AND RESPONSE PROCEDURES, TRAINING THEIR EMPLOYEES ON THEIR PROCEDURES, AND MODIFYING THESE POLLUTION PREVENTION CONTROLS AS NECESSARY TO MEET THE REQUIREMENTS OF THE CONSTRUCTION STORMWATER DISCHARGE PERMIT.
 - POLLUTANT GENERATING ACTIVITIES
 - SITE EXCAVATION:
 - DISTURBED SOIL SEDIMENTS
 - FUELS FROM EXCAVATION MACHINERY
 - UTILITY AND ROAD CONSTRUCTION:
 - DISTURBED SOIL SEDIMENTS
 - FUELS FROM EXCAVATION AND PAVING MACHINERY
 - CONCRETE WASH WATER

- ### KEY NOTES
- INSTALL 2,300± LF OF SILT FENCE PER DETAIL 40 ON C4.0
 - SLOPE TO MATCH EXISTING GRADE AT 2:1.
 - STORAGE CONTAINER FOR POLLUTANTS AND SPILL CLEANUP MATERIALS.
 - AREA FOR STORAGE OF SOILS, WASTE, OR STOCKPILES AS NECESSARY. COVER WITH PLASTIC SHEETING WHEN NOT IN USE.
 - LOCATION FOR PORTABLE RESTROOM.
 - PROVIDE STABILIZED CONSTRUCTION ENTRANCE PER COH STD DWG ST21.
 - PROVIDE CONCRETE WASHOUT AREA PER COH STD DWG ST21
- EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR TO VERIFY LOCATIONS WITH UTILITY COMPANIES AND/OR PRIVATE UTILITY LOCATOR PRIOR TO TRENCHING
- CALL 2 BUSINESS DAYS BEFORE YOU DIG: 811**

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Drawn By: D. WALLING
Checked By: J. HENRY
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Rev	Description	By	Date
1	UPDATING GRADING	DLW	08-09-25
2	REVIEW SUBMITTAL	DLW	08-16-25

SECT 13 TO 4N R28E W4W

HENRY K'S PHASE 2

ESCP CLEARING AND GRADING PLAN

TAX LOT ID 4N28T30R00D00, HERMISTON, OR

HERMISTON HOME WORKS

TYLER BRANDT 541-720-4533

PO BOX 833, HERMISTON, OR 97838

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TYLER BRANDT 541-720-4533

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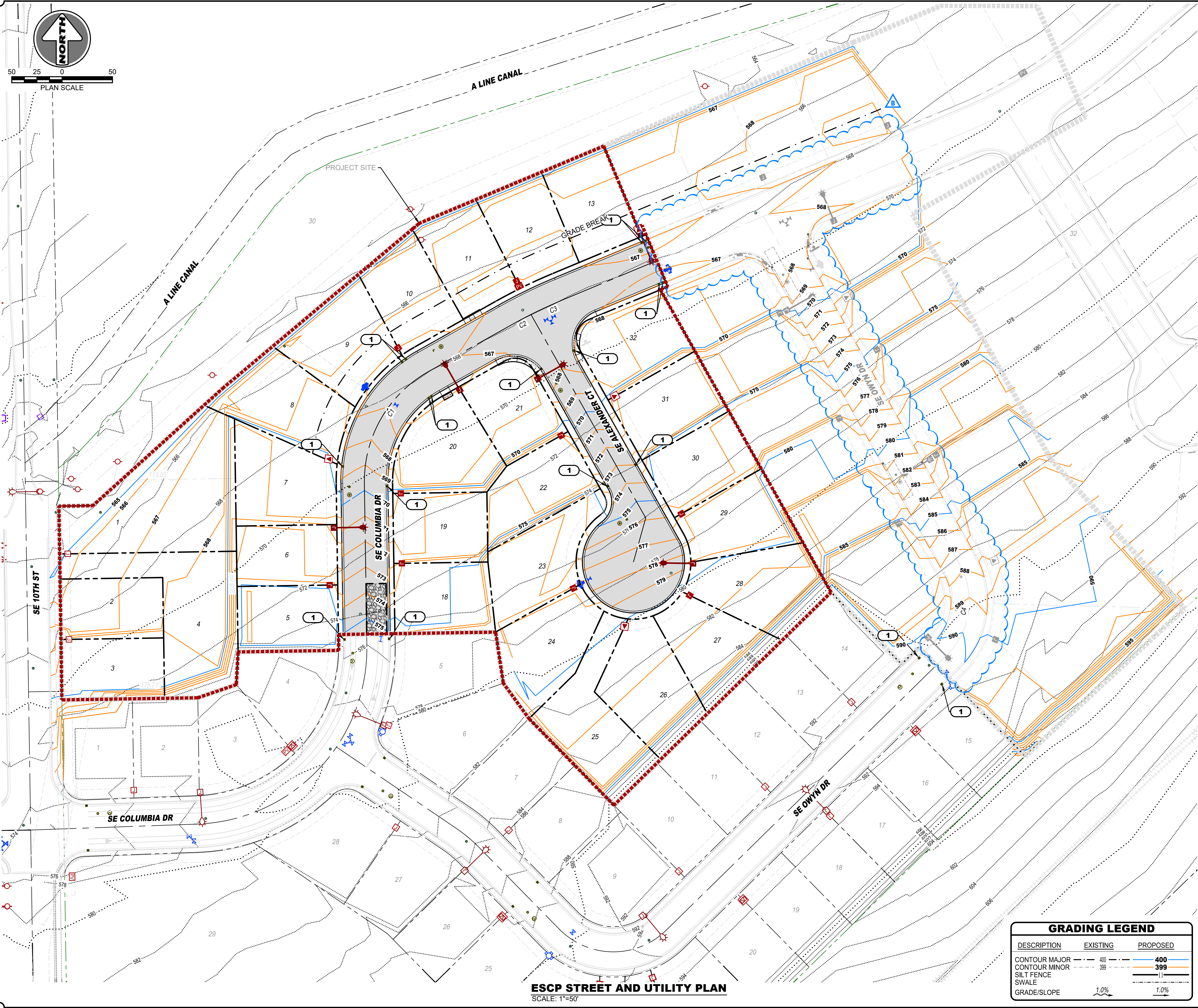
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DATE: **09-12-2025**

PROJECT NUMBER: **23-030.4**

SHEET NUMBER: **C4.2**

REGISTERED PROFESSIONAL ENGINEER
No. 84861 P.E.
Christy Salas
JULY 11, 2011
CHRISTINE BATAJOLI
RENEWS: 12/31/2025



ESCP STREET AND UTILITY PLAN
SCALE: 1"=50'

GRADING LEGEND		
DESCRIPTION	EXISTING	PROPOSED
CONTOUR MAJOR	400	400
CONTOUR MINOR	399	399
SILT FENCE	---	---
SWALE	---	---
GRADE/SLOPE	1.0%	1.0%

STREET AND UTILITY NOTES

- PROPOSED CATCH BASINS TO COLLECT AND CONVEY STORMWATER RUNOFF TO DRYWELLS FOR ALL STORMWATER RUNOFF.
- TEMPORARY STABILIZATION TO BE APPLIED TO FUTURE LOTS ONCE GRADING IS COMPLETE.
- PHASE SCHEDULE:
3.1 START: **OCTOBER 2025**
3.2 END: **DECEMBER 2025**

KEY NOTES

- PROVIDE STORM DRAIN INLET PROTECTION TO NEW STRUCTURES WITH GRATED DRAINS PER CLEAN WATER SERVICES DRAWING NO 920 ON SHEET C4.0

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Rev	Description	By	Date
1	PHASE 2 LIMITS ADJUSTED	DLW	09-12-25
2	REVIEW SUBMITTAL	DLW	09-16-25

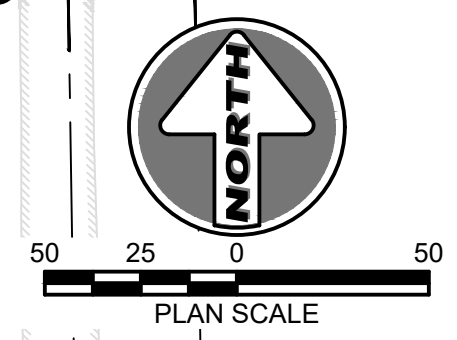
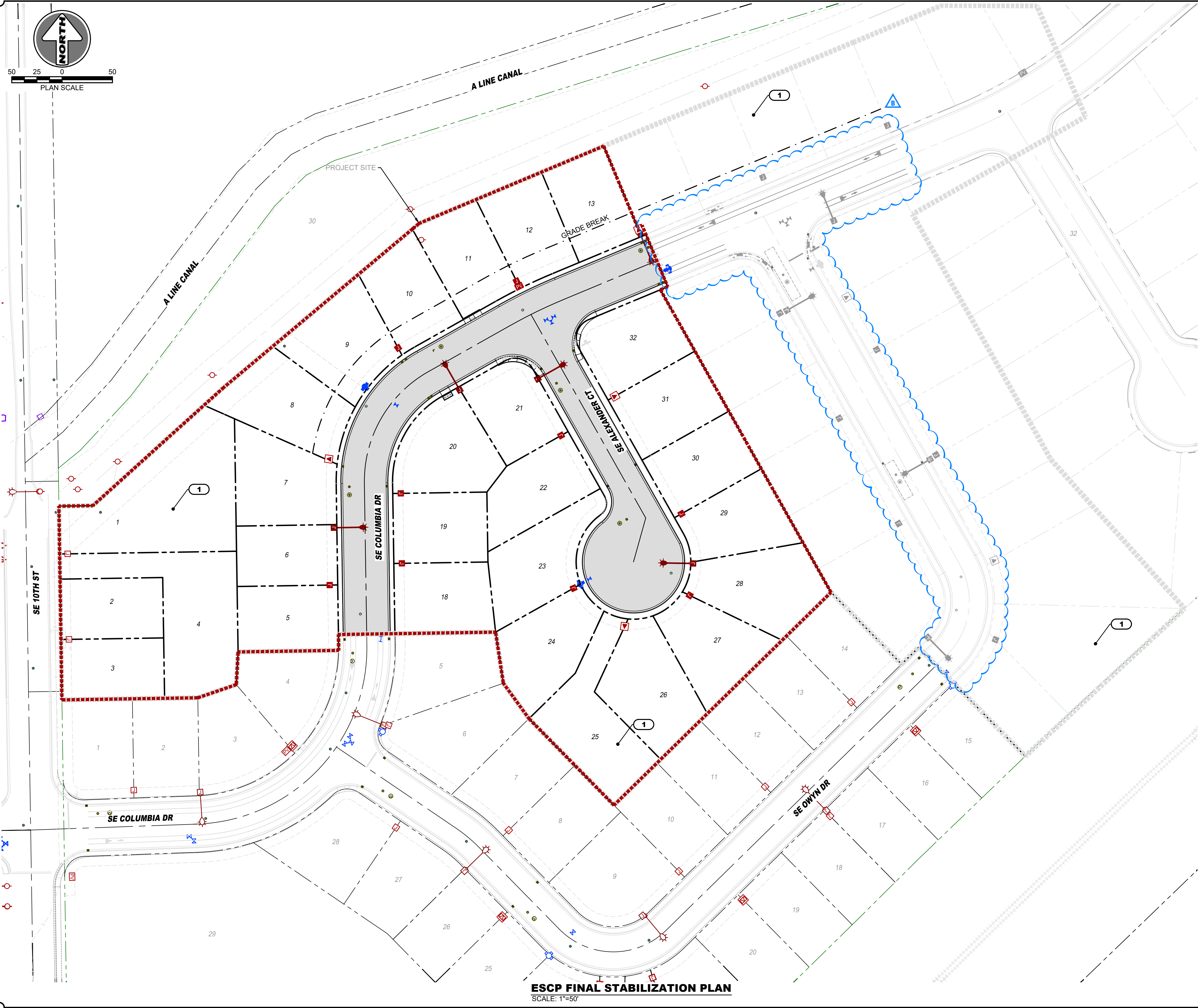
HENRY K'S PHASE 2
ESCP STREET AND UTILITY PLAN
TAX LOT ID 4N28 30000200, HERMISTON, OR
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Drawing Name: SECT 13 TO 4N R28E W4W
Date: **09-12-2025**
Project Number: **23-030.4**
Sheet Number: **C4.3**

EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR TO VERIFY LOCATIONS WITH UTILITY COMPANIES AND/OR PRIVATE UTILITY LOCATOR PRIOR TO TRENCHING.

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REGISTERED PROFESSIONAL ENGINEER
84861 PE
Christine Batajo
OREGON
EXPIRES 11/11/2025
RENEWS: 12/31/2025



FINAL STABILIZATION NOTES

- CATCH BASINS AND DRYWELLS TO REMAIN IN PLACE AS PART OF POST-CONSTRUCTION STORMWATER INFRASTRUCTURE.
- STABILIZE OTHER DISTURBED AREAS WITH GRAVEL OR SEED MIX PER NOTES ON SHEET C4.2
- REMOVE SEDIMENT FENCES AND CATCH BASIN INLET PROTECTION AT COMPLETION OF FINAL STABILIZATION.
- PHASE SCHEDULE:
4.1. START: **DECEMBER 2025**
4.2. END: **DECEMBER 2025**

KEY NOTES

1 ENSURE SEED MIX HAS TAKEN IN DISTURBED AREAS, AND RE-SEED IF NECESSARY.

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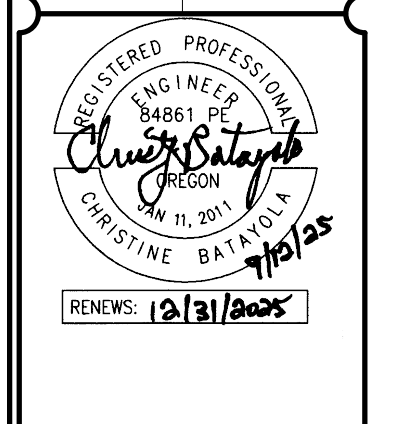
By	Date	Description
DLW	09-12-25	PHASE 2 LIMITS ADJUSTED
DLW	05-16-25	REVIEW SUBMITTAL

SECT 13 TO 4N R28E W4W

HENRY K'S PHASE 2
ESCP FINAL STABILIZATION PLAN
 TAX LOT ID 4N28130000200, HERMISTON, OR

HERMISTON HOME WORKS
 TYLER BRANDT 541-720-4533
 PO BOX 833, HERMISTON, OR 97838

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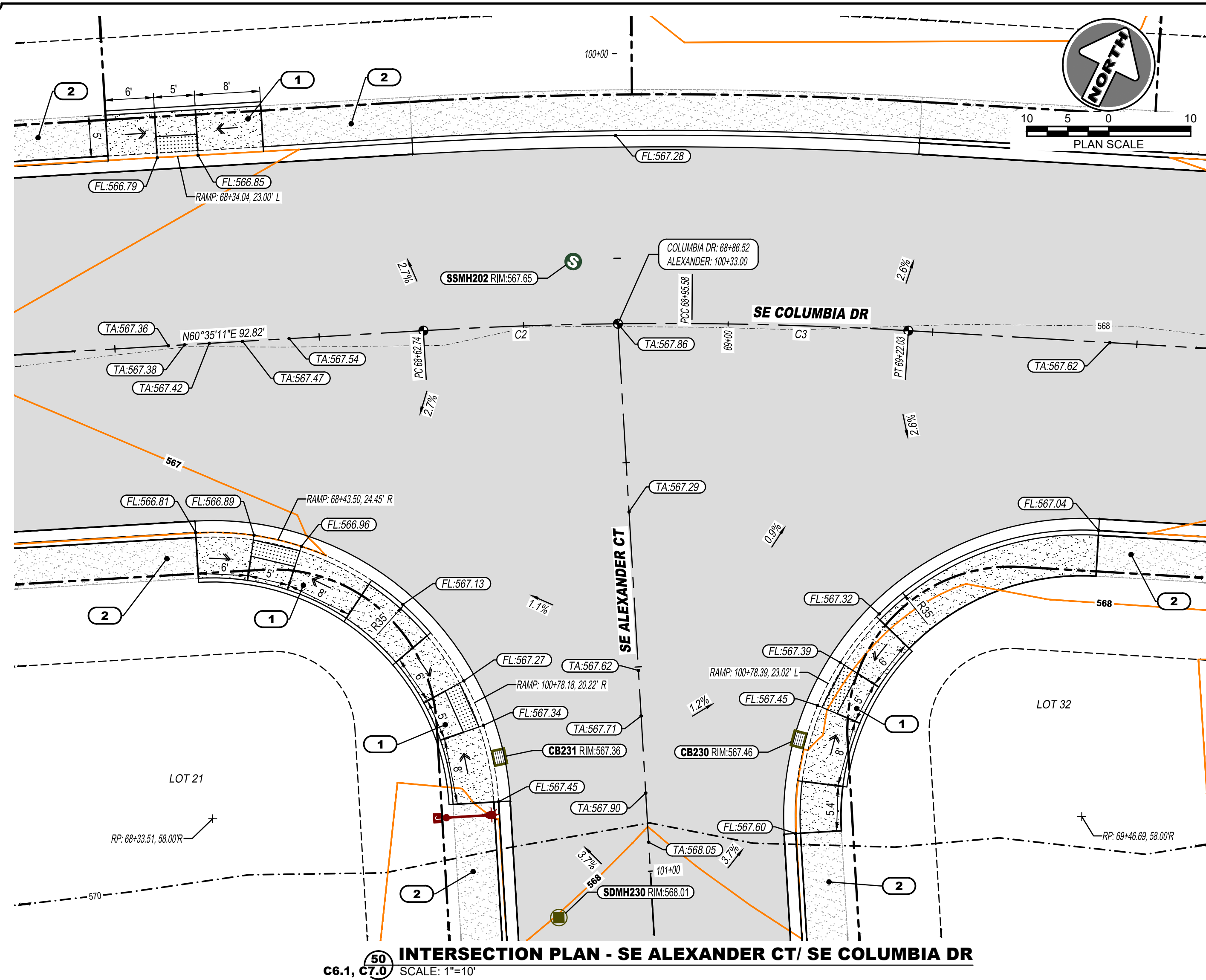


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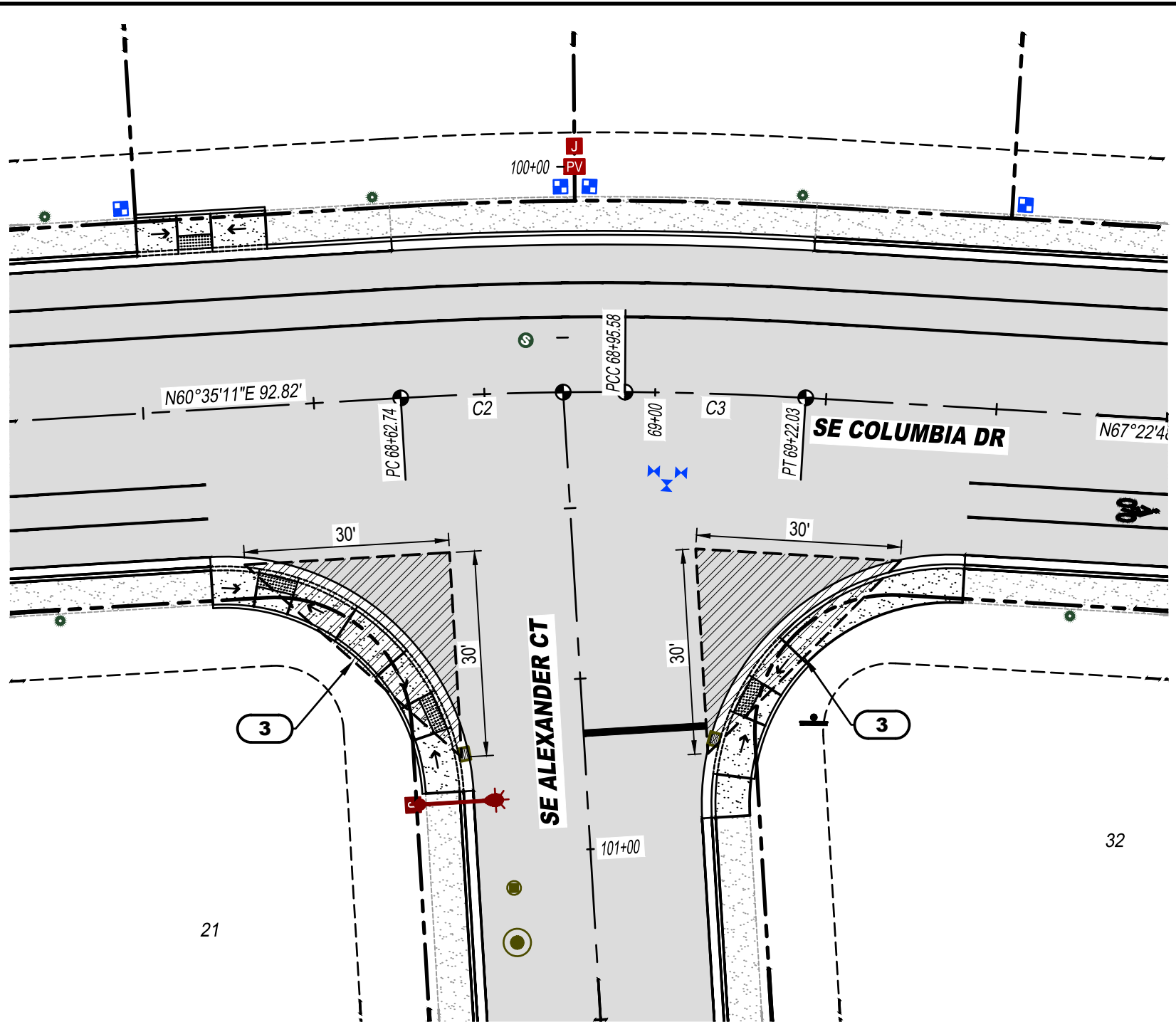
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Date: **09-12-2025**
 Project Number: **23-030.4**
 Sheet Number: **C4.4**

ESCP FINAL STABILIZATION PLAN
 SCALE: 1"=50'



INTERSECTION PLAN - SE ALEXANDER CT/ SE COLUMBIA DR
 C6.1, C7.0 SCALE: 1"=10'



VISION CLEARANCE TRIANGLES - SE ALEXANDER CT/ SE COLUMBIA DR
 SCALE: 1"=20'

NOTES

- SEE SHEETS C6.0 TO C9.0 FOR ROAD PLANS AND PROFILES.

KEY NOTES

- INSTALL CURB RAMP (OPTION 3) PER COH STD DWG ST06.
- 5' SIDEWALK TO BE CONSTRUCTED WITH DEVELOPMENT OF LOTS.
- VISION CLEARANCE TRIANGLES PER CODE OF HERMISTON CHAPTER 155. THE VISION CLEARANCE AREA CONTAINS NO SIGNS HIGHER THAN 2 1/2 FEET OR LOWER THAN EIGHT FEET MEASURED FROM THE GRADE OF THE THE STREET CENTERLINE, THOUGH A SINGLE POLE HAVING A DIAMETER OF 18 INCHES OR LESS IS PERMITTED.

Rev	By	Date	Description
1	DLW	05-16-25	REVIEW SUBMITTAL
2	DLW	08-08-25	FIRST REVIEW COMMENTS

SECT 13 TO 4N R28E 1W

HENRY K'S PHASE 2 INTERSECTION PLANS
 TAX LOT ID 4N28130000200, HERMISTON, OR

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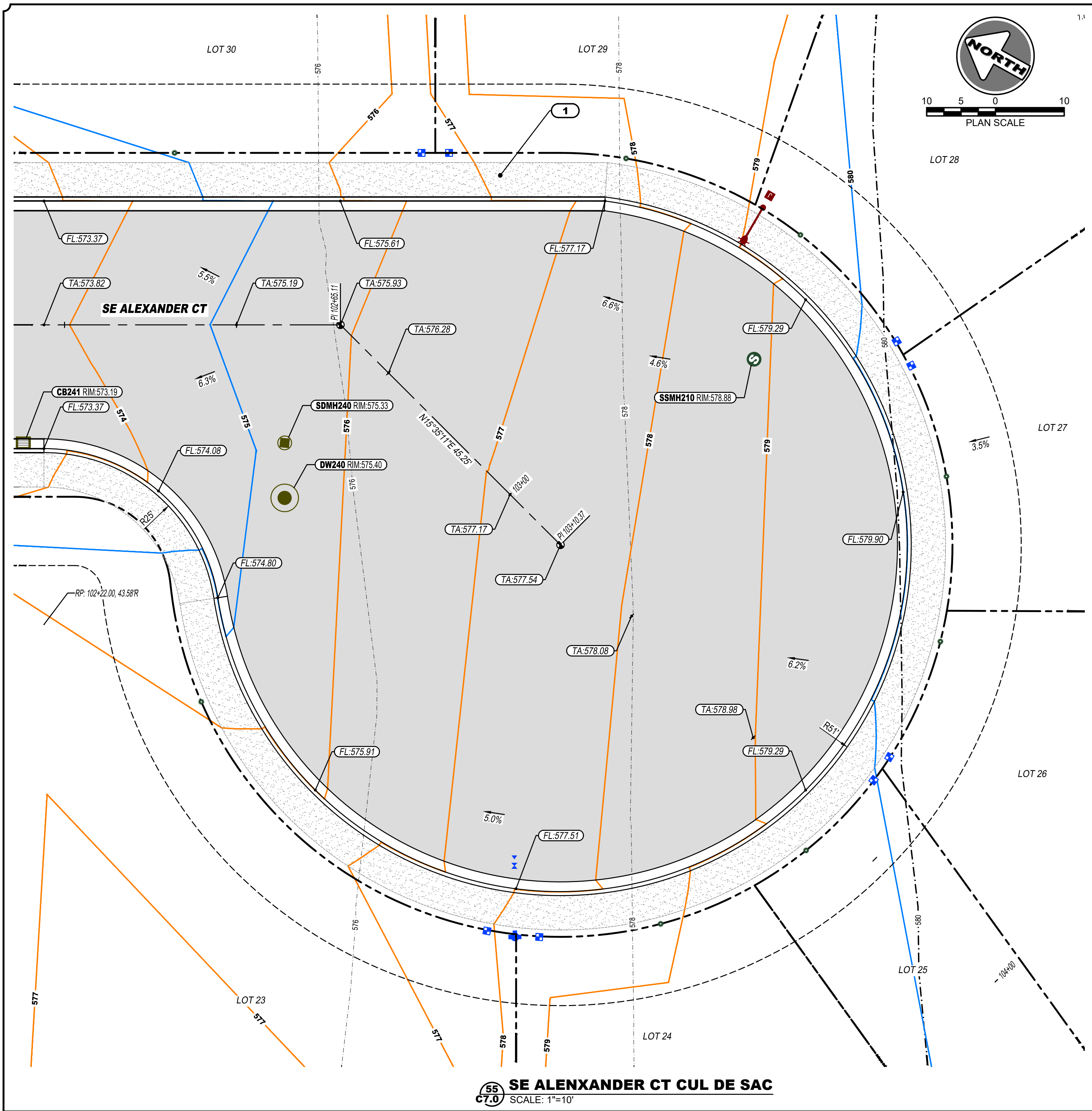
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REGISTERED PROFESSIONAL ENGINEER
 84861 PE
 Christine Bataoli
 OREGON
 MAY 11, 2011
 RENEWS: 12/31/2025

Date: **09-12-2025**
 Project Number: **23-030.4**
 Sheet Number: **C5.0**

EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR TO VERIFY LOCATIONS WITH UTILITY COMPANIES AND/OR PRIVATE UTILITY LOCATOR PRIOR TO TRENCHING.

CALL 2 BUSINESS DAYS BEFORE YOU DIG: 811



NOTES

1. SEE SHEETS C6.0 TO C9.0 FOR ROAD PLANS AND PROFILES.

KEY NOTES

1. 5' SIDEWALK PER COH STD DWG ST04 TO BE CONSTRUCTED WITH DEVELOPMENT OF LOTS.

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Rev	Description	By	Date
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2	FIRST REVIEW COMMENTS		08-08-25

SECT 13 TO 4N R28E 1W4

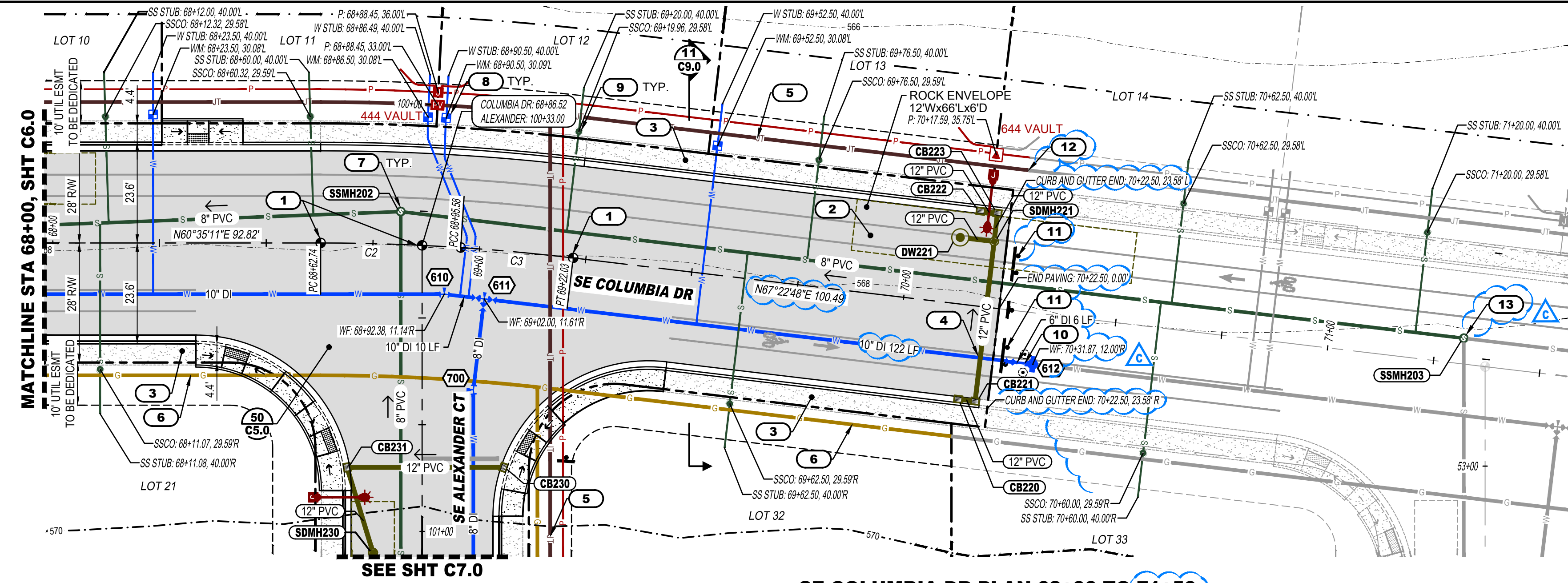
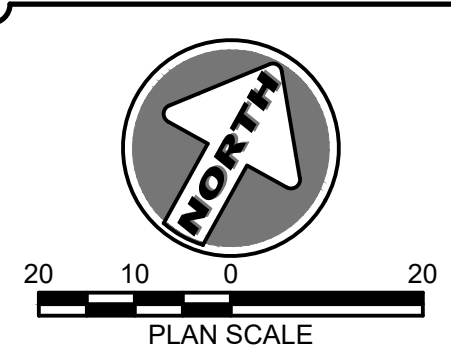
**HENRY K'S PHASE 2
 CUL DE SAC DETAIL**
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 Project Number: **23-030.4**
 Sheet Number: **C5.1**

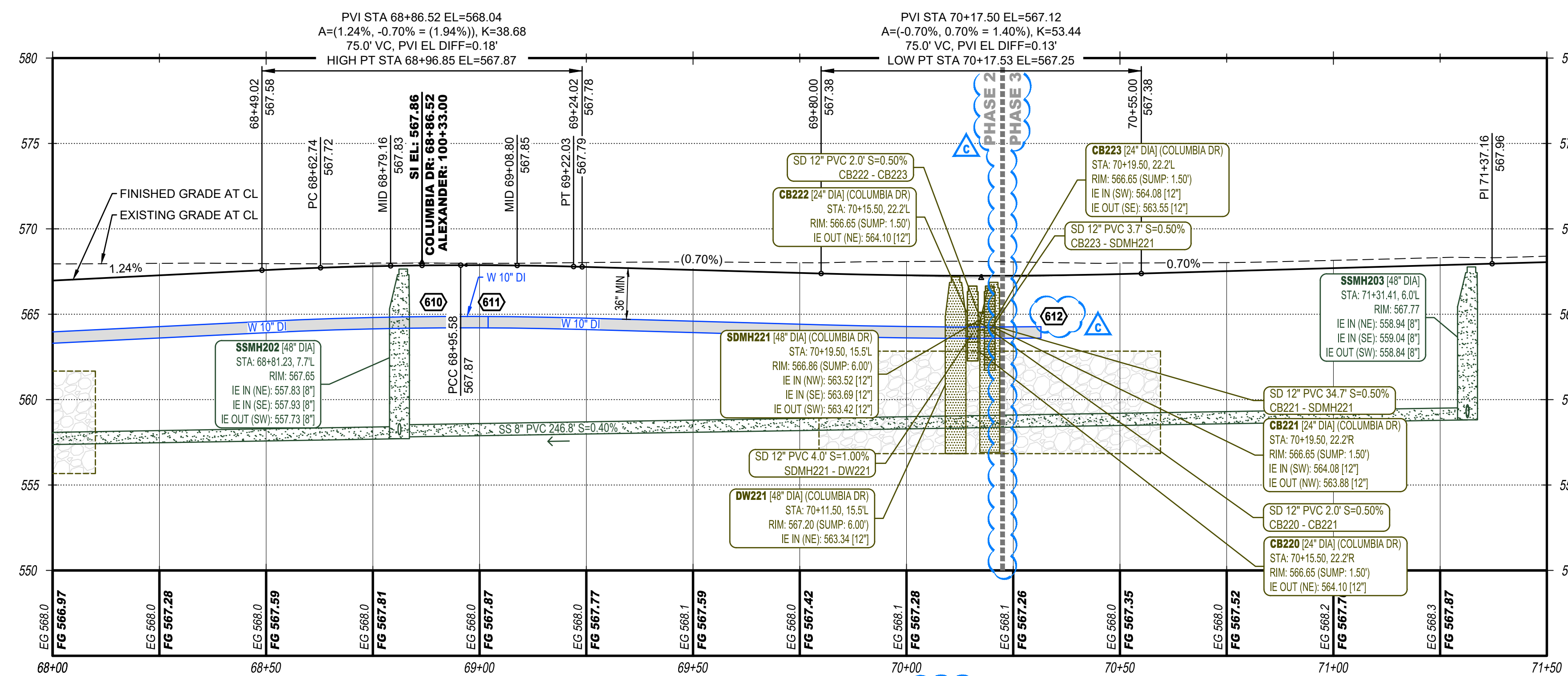
REGISTERED PROFESSIONAL ENGINEER
 84861 PE
Christine Batajoli
 CHRISTINE BATAJOLI
 MAY 11, 2011
 RENEWS: 12/31/2025

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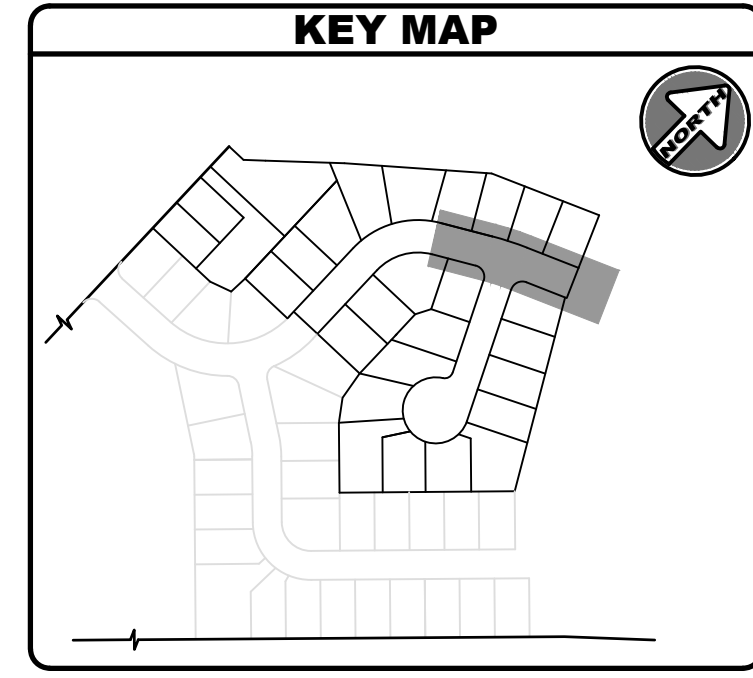


SE COLUMBIA DR PLAN 68+00 TO 71+50
SCALE: 1"=20'



SE COLUMBIA DR PROFILE 68+00 TO 71+50
SCALE: 1"=20' (H), 1"=5' (V)

CURVE DATA						
CURVE	LENGTH	RADIUS	CHORD	CHORD BEARING	DELTA	TANGENT
C2	23.78'	500.00'	23.78'	S61°56'56"W	2°43'31"	11.89'
C3	35.50'	500.00'	35.50'	S65°20'45"W	4°04'06"	17.76'



- ### NOTES
- SEE SHEET C2.1 FOR SIGNAGE, STRIPING, AND LIGHTING.
 - SEE SHEET C5.0 FOR INTERSECTIONS, CURB RETURNS, AND ADA RAMPS.
 - CONTRACTOR TO PROVIDE ALL TRENCHING AND BACKFILL AS NEEDED FOR INSTALLATION OF CONDUITS, NEW STRUCTURES, AND CONNECTION TO EXISTING STRUCTURES, UNLESS OTHERWISE NOTED.
 - CONTRACTOR TO PROVIDE AND INSTALL ALL CONDUITS AND STRUCTURES, UNLESS OTHERWISE NOTED. COORDINATE WITH UTILITIES.

- ### KEY NOTES
- INSTALL MONUMENT PER COH STD DWG ST18.
 - INSTALL SEDIMENTATION CHAMBER AND DRYWELL WITH ROCK ENVELOPE PER COH STD DWG SD03. BASE SIZE AND DEPTH AS SHOWN.
 - 5' SIDEWALK PER COH STD DWG ST04 TO BE CONSTRUCTED WITH THE DEVELOPMENT OF LOTS.
 - LOWER WATER LINE AT CROSSING WITH STORM DRAIN LINE.
 - COORDINATE WITH UTILITIES TO RUN PRIMARY LINES AND SERVICES TO EACH LOT IN JOINT TRENCH. INCLUDE POWER, GAS, CABLE, AND FIBER. PROVIDE 2-2" CONDUITS FOR COMMUNICATIONS. REFER TO PACIFIC POWER WORK ORDER FOR REQUIRED POWER CONDUITS, ROUTING, AND STRUCTURES.
 - COORDINATE WITH CASCADE NATURAL GAS TO EXTEND THE MAIN LINE AND SERVICES TO EACH LOT. PROVIDE TRENCHING AND BACKFILL.
 - INSTALL SS MANHOLE PER COH STD DWG SS01.
 - INSTALL 3/4" WATER SERVICE WITH 3/4" METER TO EACH LOT PER COH STD DWG W01.
 - INSTALL 4" SS SERVICE W/ CO AT PROPERTY LINE TO EACH LOT PER COH STD DWG SS05.
 - RELOCATE FIRE HYDRANT FROM END OF PHASE 1 ON COLUMBIA DR, SEE SHEET C6.0.
 - TYPE III BARRICADES TO BE RELOCATED FROM END OF PHASE 1 ON COLUMBIA DR, SEE SHEET C6.0.
 - PROVIDE CONDUIT STUBS FOR FUTURE PHASES. REFER TO PACIFIC POWER WORK ORDER.
 - CONSTRUCT SEWER LINE THROUGH AND INCLUDING SSMH203.

- ### WATER FITTINGS
- NOTES:**
- NEW WATER MAIN TO BE INSTALLED WITH A MINIMUM COVER OF 36" AND MAXIMUM OF 42".
- 610 1 - 10" 11.25" BEND
 - 1 - 4.4 SF THRUST BLOCK PER COH STD DWG W11
 - 611 1 - 10"x10"x8" TEE
 - 2 - 10" GATE VALVES
 - 1 - 8" GATE VALVE
 - 1 - 7.2 SF THRUST BLOCK AT TEE PER COH STD DWG W11
 - 1 - 11.2 SF THRUST BLOCK AT 10" GATE VALVE PER COH STD DWG W11
 - 612 1 - 10" GATE VALVE
 - 1 - 10"x6" REDUCER
 - 1 - FIRE HYDRANT ASSEMBLY PER COH STD DWG W07 (TO BE RELOCATED DURING PHASE 3)
 - 2 - GUARD POSTS PER COH STD DWG W07
 - 1 - 11.2 SF THRUST BLOCK PER COH STD DWG W11
 - 700 SEE SHEET C7.0

EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR TO VERIFY LOCATIONS WITH UTILITY COMPANIES AND/OR PRIVATE UTILITY LOCATOR PRIOR TO TRENCHING.

CALL 2 BUSINESS DAYS BEFORE YOU DIG: 811

1632 W Sylvester Street, Pasco WA 99301 | 509-547-2679 | harmsengineering.com
 Designed By: C. D. WALKER, P.E. | Drawn By: D. WALKER, P.E. | Checked By: C. D. WALKER, P.E. | Date: September 12, 2025, 11:28:45 AM
 File Path: P:\2025\230304 SE COLUMBIA DR PHASE 2 And Storm Digs

DLW	09-12-25	By	Date
PHASE 2 LIMITS ADJUSTED			
FIRST REVIEW COMMENTS			
REVIEW SUBMITTAL			

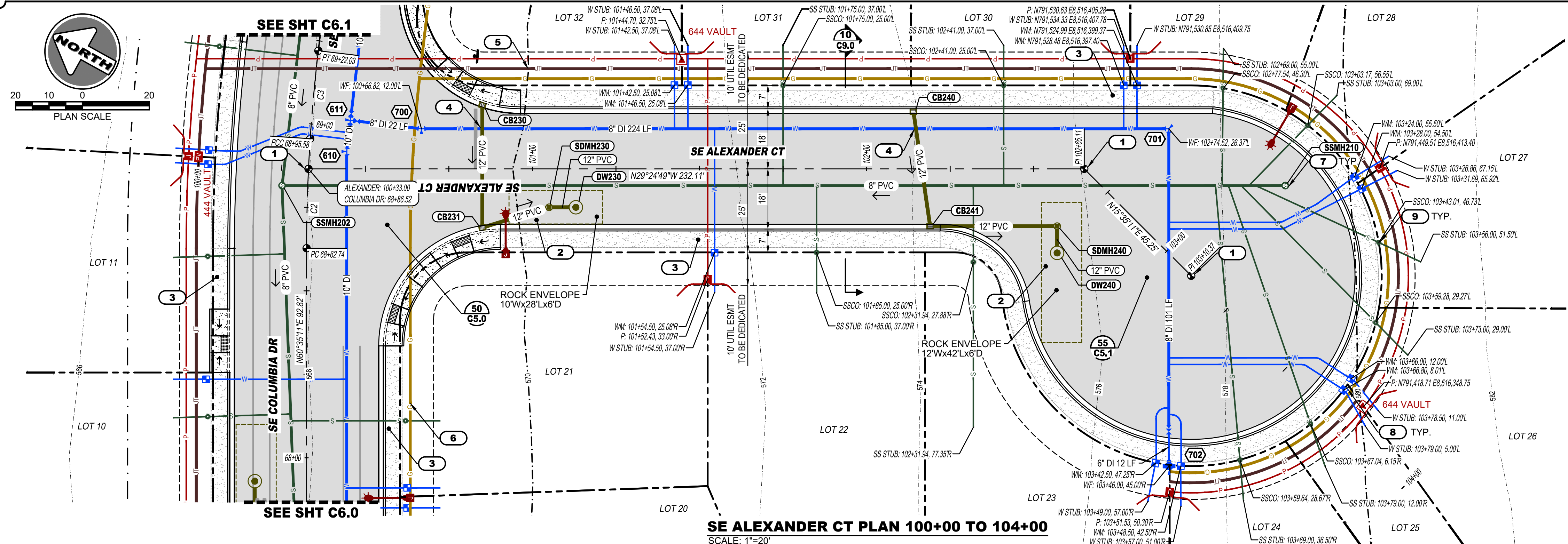
SE COLUMBIA DR PLAN / PROF 68+00 TO 71+50

Client/Project Information
HENRY K'S PHASE 2
HERMISTON HOME WORKS
 TYLER BRANDT 541-720-4533
 PO BOX 833, HERMISTON, OR 97138

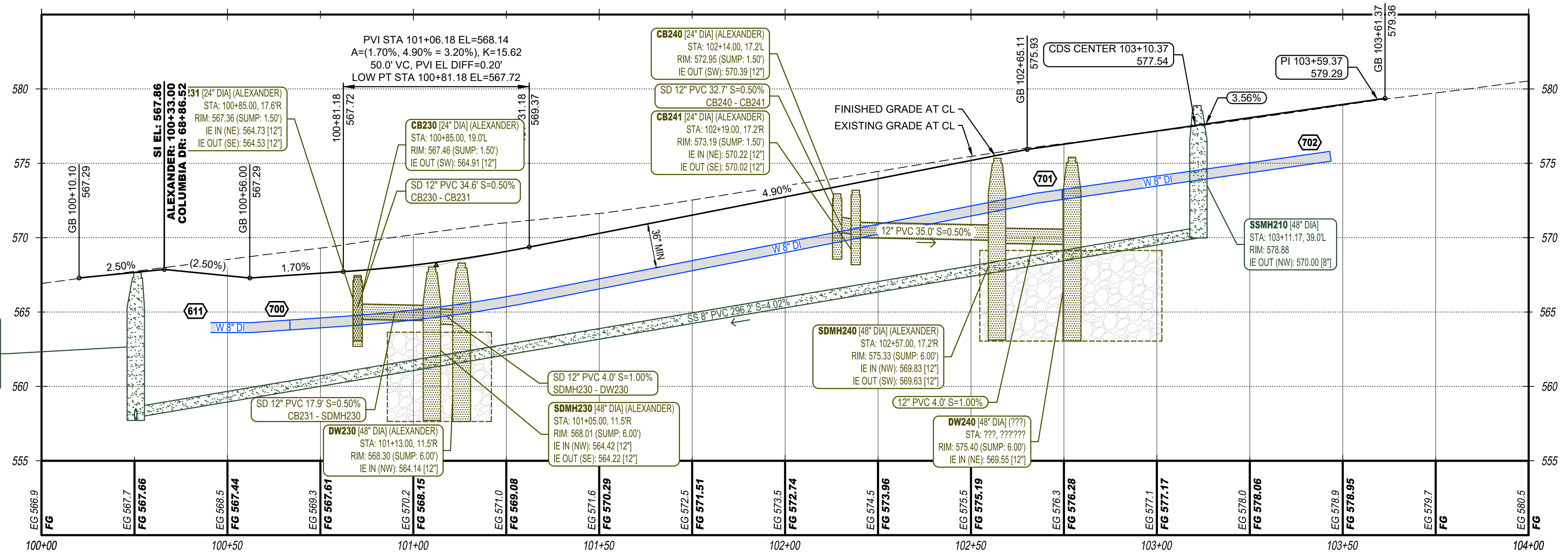
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RENEWS: 12/31/2025

Date: **09-12-2025** ANS/D
 Project Number: **23-030.4**
 Sheet Number: **C6.1**



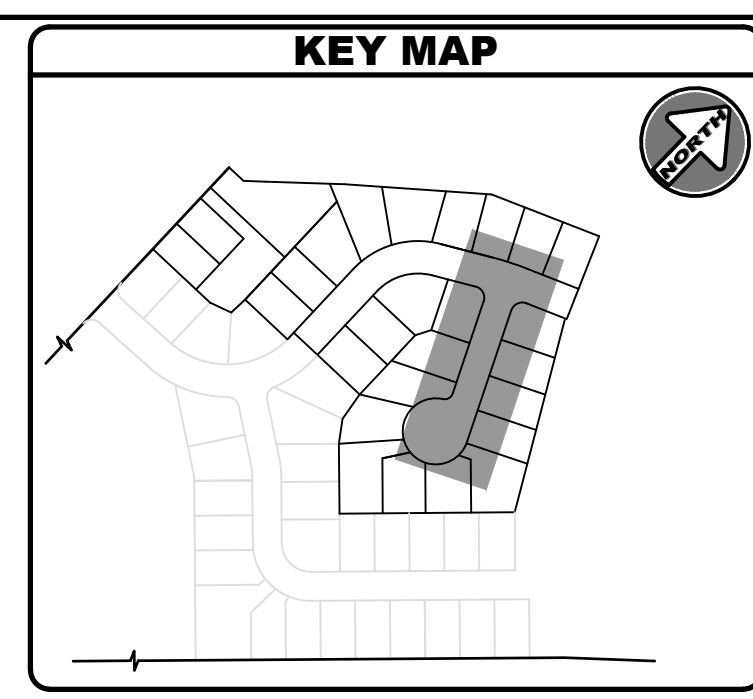
SE ALEXANDER CT PLAN 100+00 TO 104+00
SCALE: 1"=20'



SE ALEXANDER CT PROFILE 100+00 TO 104+00
SCALE: 1"=20' (H), 1"=5' (V)

CURVE DATA

CURVE	LENGTH	RADIUS	CHORD	CHORD BEARING	DELTA	TANGENT
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- NOTES**
- SEE SHEET C2.1 FOR SIGNAGE, STRIPING, AND LIGHTING.
 - SEE SHEET C5.0 FOR INTERSECTIONS, CURB RETURNS, AND ADA RAMPS.
 - CONTRACTOR TO PROVIDE ALL TRENCHING AND BACKFILL AS NEEDED FOR INSTALLATION OF CONDUITS, NEW STRUCTURES, AND CONNECTION TO EXISTING STRUCTURES, UNLESS OTHERWISE NOTED.
 - CONTRACTOR TO PROVIDE AND INSTALL ALL CONDUITS AND STRUCTURES, UNLESS OTHERWISE NOTED. COORDINATE WITH UTILITIES.

- KEY NOTES**
- INSTALL MONUMENT PER COH STD DWG ST18.
 - INSTALL SEDIMENTATION CHAMBER AND DRYWELL WITH ROCK ENVELOPE PER COH STD DWG SD03. BASE SIZE AND DEPTH AS SHOWN.
 - 5' SIDEWALK PER COH STD DWG ST04 TO BE CONSTRUCTED WITH THE DEVELOPMENT OF LOTS.
 - LOWER WATER LINE AT CROSSING WITH STORM DRAIN LINE.
 - COORDINATE WITH UTILITIES TO RUN PRIMARY LINES AND SERVICES TO EACH LOT IN JOINT TRENCH. INCLUDE POWER, GAS, CABLE, AND FIBER. PROVIDE 2-2" CONDUITS FOR COMMUNICATIONS. REFER TO PACIFIC POWER WORK ORDER FOR REQUIRED POWER CONDUITS, ROUTING, AND STRUCTURES.
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 - INSTALL SS MANHOLE PER COH STD DWG SS01.
 - INSTALL 3/4" WATER SERVICE WITH 3/4" METER TO EACH LOT PER COH STD DWG W01.
 - INSTALL 4" SS SERVICE W/ CO AT PROPERTY LINE TO EACH LOT PER COH STD DWG SS05.

- WATER FITTINGS**
- NOTES:**
- NEW WATER MAIN TO BE INSTALLED WITH A MINIMUM COVER OF 36" AND MAXIMUM OF 42".
- (610) SEE SHEET C6.1
 - (611) SEE SHEET C6.1
 - (700) 1 - 8" 11.25° BEND
1 - 2.8 SF THRUST BLOCK PER COH STD DWG W11
 - (701) 1 - 8" 90° BEND
1 - 10.1 SF THRUST BLOCK PER COH STD DWG W11
 - (702) 1 - 8"x6" REDUCER
1 - 6" GATE VALVE
1 - FIRE HYDRANT ASSEMBLY PER COH STD DWG W07
1 - 7.2 SF THRUST BLOCK PER COH STD DWG W11

HARMS ENGINEERING, INC.
1632 W Sylvester Street, Pasco WA 99301 | 509-547-2679 | harmsengineering.com
Designed By: C. W. SALAS | Checked By: C. W. SALAS | Date: 09-12-2025
Drawn By: D. WALLING | Scale: As Shown | Project No: 23-030.4
Firm Path: P:\2023\23030.4_Harms\23-030.4_Harms\23-030.4_Harms\23-030.4_Harms.dwg

By	Date	Description
DLW	08-08-25	FIRST REVIEW COMMENTS
DLW	08-16-25	REVIEW SUBMITTAL
		Rev

HENRY K'S PHASE 2
SE ALEXANDER CT PLAN/PROF 100+00 - 104+00
TAX LOT ID: AN28130000200, HERMISTON, OR
HERMISTON HOME WORKS
TYLER BRANDT 541-720-4533
PO BOX 833, HERMISTON, OR 97838
Client/Project Information
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REGISTERED PROFESSIONAL ENGINEER
C. W. SALAS
NOV 11, 2011
RENEW: 12/31/2025
Date: 09-12-2025
Project Number: 23-030.4
Sheet Number: C7.0

EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR TO VERIFY LOCATIONS WITH UTILITY COMPANIES AND/OR PRIVATE UTILITY LOCATOR PRIOR TO TRENCHING.

CALL 2 BUSINESS DAYS BEFORE YOU DIG: 811

NOTES

GENERAL NOTES:

- ALL WORK SHALL COMPLY WITH THE 2024 CITY OF HERMISTON DESIGN STANDARDS AND SPECIFICATIONS; AND THE CURRENT OREGON STANDARD SPECIFICATION FOR CONSTRUCTION AND STANDARD DRAWINGS, WHICHEVER IS MORE STRINGENT.
- THE CONTRACTOR SHALL MAINTAIN FULL COMPLIANCE WITH ALL SAFETY AND POLLUTION REGULATIONS AS APPLICABLE TO THIS PROJECT.
- THE CONTRACTOR SHALL STABILIZE ALL AREAS OF EXCAVATION AND FILL TO PREVENT THE EROSION OF SOILS CAUSED BY WIND AND/OR WATER.
- THE CONTRACTOR SHALL CONTACT ALL UNDERGROUND UTILITY COMPANIES FOR THEIR RESPECTIVE EXISTING UTILITY LOCATIONS TWO BUSINESS DAYS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ON THIS PROJECT. CALL 1-800-424-5555 (OR 811).
- THE CONTRACTOR SHALL COMPACT ALL EMBANKMENTS OUTSIDE OF THE ROADWAY TO 92% OF THE MAXIMUM DRY DENSITY PER ASTM D1557, OR AS REQUIRED BY THE CITY.
- THE CONTRACTOR SHALL STRIP THE SITE OF ALL VEGETATION PRIOR TO THE PLACEMENT OF ANY STRUCTURAL FILL.
- THE CONTRACTOR SHALL COMPACT ALL UTILITY TRENCHING FILL MATERIAL WITHIN THE RIGHT-OF-WAY TO 95% MAXIMUM DRY DENSITY PER ASTM D1557. THE CONTRACTOR SHALL COMPACT ALL UTILITY TRENCHING OUTSIDE OF THE RIGHT-OF-WAY TO 90% MAXIMUM DRY DENSITY PER ASTM D1557.
- THE CONTRACTOR SHALL COORDINATE WITH HERMISTON ENERGY SERVICES AND ALL PRIVATE UTILITIES. WHERE CONDUIT CROSSES UNDER WATER LINES, THERE SHALL BE 6" CLEARANCE BETWEEN THE WATER LINE OUTSIDE INVERT AND THE OUTSIDE CROWN ON THE CONDUIT.
- THE CONTRACTOR IS RESPONSIBLE FOR ADHERING TO THE REQUIREMENTS AND SPECIFICATIONS OF ALL PERMITS NECESSARY FOR PROPER CONSTRUCTION OF THE PROJECT.
- THE CONTRACTOR SHALL INSTALL 4" SCHEDULE 80 PVC FOR ALL UNDERGROUND ELECTRICAL CROSSINGS IN CITY STREETS.
- THE CONTRACTOR SHALL PROVIDE TRENCHING AND BACKFILL FOR ALL UNDERGROUND ELECTRICAL SERVICES.
- THE CONTRACTOR SHALL INSTALL MAILBOX CLUSTERS AT LOCATIONS ESTABLISHED BY THE U.S. POSTAL SERVICE REGULATIONS AND REQUIREMENTS.
- THE CONTRACTOR SHALL STAMP ON THE TOP OF CURB ALL UTILITY CROSSINGS UNDER THE CURB WITH THE FOLLOWING CODE:
 - "S" SANITARY SEWER
 - "W" POTABLE WATER
 - "I" IRRIGATION
 - "C" CONDUIT (UTILITIES, ELECTRICAL, TELEPHONE, CABLE, GAS, ETC.)
- NOTIFY THE CITY TWO BUSINESS DAYS BEFORE COMMENCING WORK. THE DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIAL TESTING ON THIS PROJECT. ALL RESULTS SHALL BE SENT ELECTRONICALLY TO THE CITY ENGINEER AND APPROPRIATE DEPARTMENT SUPERINTENDENT.
- THE CONTRACTOR SHALL STOCKPILE ALL SUITABLE TOPSOIL/ STRIPPINGS AND SHALL UPON COMPLETION OF THE FINAL GRADING, SPREAD EVENLY ACROSS SITE TO A DEPTH NOT GREATER THAN 6" ON THE INDIVIDUAL LOTS. SUITABLE TOPSOIL SHALL BE FREE OF VEGETATION, LARGE DIRT CLOTS, AND TREE ROOTS. CONTRACTOR SHALL SMOOTH TOPSOIL TO FINISHED GRADE ON LOTS AND PROVIDE ADEQUATE EROSION CONTROL TO MINIMIZE BLOWING DUST AND ANY SEDIMENT RUNOFF ON THE SITE POST- CONSTRUCTION.
- THE CONTRACTOR SHALL AT ALL TIMES ABIDE BY APPLICABLE SAFETY OF OSHA AND, IN PARTICULAR, THOSE PERTAINING TO ADEQUATE SHORING AND TRENCH PROTECTION OF WORKMEN.
- ANY REQUIRED REINFORCING SHALL BE GRADE 60 (ASTM A615).
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING DUST CONTROL ON THIS PROJECT.
- THE CONTRACTOR SHALL PROVIDE RECORD DRAWINGS TO THE CITY AT THE END OF THE PROJECT.
- CONTRACTOR SHALL ABIDE BY ALL CURRENT OREGON REVISED STATUTES (ORS) AS APPLICABLE.
- THE CONTRACTOR SHALL FIELD-VERIFY THE DEPTH AND LOCATION OF ALL EXISTING SEWER, STORM DRAIN, AND WATER LINES TO BE CONNECTED TO PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL INFORM THE DESIGN ENGINEER OF ANY DISCREPANCIES WITH THE INFORMATION FOUND IN THE FIELD COMPARED WITH THAT GIVEN ON THE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIAL AND UTILITY TESTING FOR THE PROJECT. RECORDS OF ALL TESTING SHALL BE DOCUMENTED AND COPIES OF ALL TEST RESULTS SHALL BE SENT ELECTRONICALLY TO THE CITY. THE CONTRACTOR SHALL NOTIFY THE CITY 3 BUSINESS DAYS PRIOR TO TESTING. A CITY REPRESENTATIVE SHALL WITNESS THE TESTING UNLESS OTHERWISE APPROVED IN WRITING BY THE CITY.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEQUATE TRAFFIC CONTROL WITHIN AND ADJACENT TO THE PROJECT AS REQUIRED BY THE CITY. ALL TRAFFIC CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE CURRENT VERSION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT AND SUBMIT A TRAFFIC CONTROL PLAN TO THE CITY FOR REVIEW AND APPROVAL PRIOR TO BEGINNING WORK.
- ALL TRENCH CONSTRUCTION SHALL BE PER CITY STANDARD DRAWING ST20.
- ALL AGGREGATE BASE SHALL BE 100-PERCENT FRACTURED FACE BASALT.

SANITARY NOTES:

- ALL SANITARY SEWER PIPE SHALL BE PVC CONFORMING TO CITY DESIGN STANDARDS.
- ALL SEWER PIPE SHALL HAVE A MINIMUM CLEARANCE OF 36" COVER FROM FINISHED GRADE.
- THE CONTRACTOR SHALL ADJUST ALL MANHOLE LIDS AND CLEANOUT BOXES TO FINISHED GRADE PER CITY STANDARD DRAWINGS SS01 AND SS04.
- THE CONTRACTOR SHALL NOTIFY THE CITY WASTEWATER DEPARTMENT 72 HOURS PRIOR TO TESTING OF SANITARY SEWER SYSTEM. TESTING SHALL BE PER CITY DESIGN STANDARDS.
- THE CONTRACTOR SHALL MAINTAIN THE FLOW IN EXISTING STORM AND SANITARY SEWER LINES AT ALL TIMES.
- THE CONTRACTOR SHALL NOT MAKE ANY CONNECTIONS TO NEW SERVICE STUBS UNTIL AFTER SANITARY SEWER LINES HAVE BEEN TESTED AND APPROVED BY THE CITY.
- INSTALL STORM DRAIN CATCH BASIN PER COH STD DWG SD01.
- INSTALL STORM DRAIN MANHOLE PER COH STD DWG SD02.
- INSTALL SEDIMENTATION CHAMBER AND DRYWELL PER COH STD DWG SD03.

- INSTALL SANITARY SEWER MANHOLE PER COH STD DWG SS01.
- PIPE TO MANHOLE CONNECTIONS PER COH STD DWG SS02.
- INSTALL OUTSIDE DROP MANHOLES PER COH STD DWG SS03.
- INSTALL SEWER CLEANOUTS PER COH STD DWG SS04.
- INSTALL SEWER SERVICE CONNECTION PER COH STD DWG SS05.
- WATER - SEWER CROSSING PER COH STD DWG SS06.
- WATER - SEWER LINE SEPARATION PER COH STD DWG SS07.
- SEWER SERVICE CURB STAMP PER COH STD DWG SS08.

WATER NOTES:

- ALL WATER MAINS SHALL BE DUCTILE IRON CLASS 52 FOR 8" AND SMALLER CONFORMING TO CITY DESIGN STANDARDS.
- WATER SYSTEM TO BE TESTED PER CITY DESIGN STANDARDS.
- THE CONTRACTOR SHALL NOT MAKE ANY CONNECTIONS TO NEW SERVICE STUBS UNTIL AFTER WATER LINES HAVE BEEN TESTED AND APPROVED BY THE CITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING THE METER BOXES AND WATER SERVICE LINES PER CITY STANDARDS.
- RSGV REFERS TO THE INSTALLATION OF A RESILIENT SEATED GATE VALVE ON THE WATER LINE PLANS.
- ALL WATER LINE PIPE SHALL HAVE A MINIMUM 36" OF COVER FROM FINISHED GRADE. MAXIMUM COVER IS 48" FROM FINISHED GRADE.
- MAXIMUM WATER LINE DEFLECTION AT THE JOINTS SHALL NOT EXCEED 80% OF AWWA STANDARDS.
- THE CONTRACTOR SHALL RESTRAIN ALL BENDS, TEES, CROSSES, FITTINGS, AND VALVES WITH THRUST BLOCKING OR APPROVED JOINT RESTRAINT PER CITY STANDARDS.
- THE CONTRACTOR SHALL CHLORINATE ALL WATER MAINS PRIOR TO PRESSURE TESTING PER CITY STANDARD DRAWING W14 AND TECHNICAL SPECIFICATIONS.
- ALL FIRE HYDRANTS MUST BE REVIEWED AND APPROVED BY THE CITY'S FIRE MARSHAL.
- THE CONTRACTOR SHALL ADJUST ALL VALVE BOXES TO FINISH GRADE PER CITY STANDARD DRAWING W04.
- INSTALL 3/4" OR 1" WATER SERVICE PER COH STD DWG W01.
- INSTALL 1-1/2" OR 2" WATER SERVICE PER COH STD DWG W02.
- INSTALL 3" OR LARGER WATER SERVICE PER COH STD DWG W03.
- INSTALL VALVE BOX AND WATER UTILITY MARKER PER COH STD DWG W04.
- INSTALL WATER MAIN AND SERVICE LINE STUBS PER COH STD DWG W05.
- WATER MAIN TIE-IN PER COH STD DWG W06.
- INSTALL FIRE HYDRANT ASSEMBLY PER COH STD DWG W07.
- INSTALL MAIN DEAD-END BLOWOFF ASSEMBLY PER COH STD DWG W08.
- INSTALL COMBINATION AIR VALVE ASSEMBLY PER COH STD DWG W09.
- INSTALL WATER MAIN CASING PER COH STD DWG W10.
- INSTALL THRUST BLOCKS PER COH STD DWG W11.
 - THRUST BLOCK SIZING IS BASED ON DENSE FINE TO COARSE SAND, 3 FT COVER, 160 PSI TEST PRESSURE. THE THRUST BLOCK SIZE FOR BOTH THE 11.25" AND 22.5" BENDS IS BASED ON THE 22.5" CALCULATION.
- INSTALL PIPE SLOPE ANCHORS PER COH STD DWG W12.
- WATER SERVICE CURB STAMP PER COH STD DWG W13.
- CHLORINATION AND BACTERIA TESTING PER COH STD DWG W14.

STREET NOTES:

- ALL CURB RADII SHALL BE AS REQUIRED BY CITY DESIGN STANDARDS.
- THE CONTRACTOR SHALL SAW CUT STRAIGHT LINES TO MEET EXISTING PAVEMENT WITH NEW PAVEMENT.
- CONTRACTOR SHALL NOTIFY THE STREET DEPARTMENT 3 BUSINESS DAYS PRIOR TO ANY TESTING. ASPHALT PAVEMENT SHALL BE TESTED TO MEET 92% OF THE RICE THEORETICAL MAX DENSITY.
- RAMP CONSTRUCTION SHALL MEET ALL CURRENT ADA STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR IS TO CONTACT THE STREET SUPERINTENDENT PRIOR TO CONSTRUCTION OF ADA RAMPS. RAMP LOCATIONS SHALL BE LOCATED IN THE FIELD BY THE STREET SUPERINTENDENT.
- ALL FUTURE DRIVEWAYS AND SIDEWALKS NOT SHOWN ON THE PLANS SHALL BE CONSTRUCTED PER CITY DESIGN STANDARDS UNDER A SEPARATE PERMIT.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MONUMENT BOXES. THE SURVEY MONUMENTS WITHIN THE BOXES WILL BE ESTABLISHED BY THE OWNER/ DEVELOPERS SURVEYOR. SURVEY MONUMENT COORDINATES AND ELEVATION SHALL BE SHOWN ON THE RECORD DRAWINGS. BOXES TO BE INSTALLED PER CITY STANDARD DRAWING ST18.
- THE CONTRACTOR SHALL COMPACT ALL ROADWAY EMBANKMENTS TO 95% OF THE MAXIMUM DENSITY PER ASTM D1557, OR AS REQUIRED BY THE CITY.
- THE CONTRACTOR MAY BE REQUIRED TO TEST THE FINISHED SURFACE OF THE SUBGRADE AS DIRECTED BY THE CITY IN AREAS WHERE VISUAL OBSERVATION INDICATES THE POSSIBLE PRESENCE OF EXPANSIVE SOILS. THE CONTRACTOR SHALL PERFORM THE REQUIRED TESTS AND PROVIDE THE CITY WITH THE TEST RESULTS FOR THE DETERMINATION OF SUBGRADE TREATMENT. THE CONTRACTOR SHALL BE REQUIRED TO MAKE THE NECESSARY ADJUSTMENTS TO MEET THE MINIMUM SUBGRADE REQUIREMENTS AS DIRECTED BY THE CITY.
- ANY MATERIAL INCLUDING EXCAVATED, IMPORTED, AND CUT MATERIAL SHALL NOT BE STOCKPILED ON PAVED SURFACES WITHIN THE PUBLIC RIGHT-OF-WAY, UNLESS APPROVED BY THE CITY. ANY DAMAGE TO PAVED SURFACES RESULTING FROM STOCKPILED IMPORTED MATERIAL ON SAID SURFACES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- INSTALL CURB AND GUTTER PER COH STD DWG ST01.
- INSTALL CROSS GUTTER TYPE I PER COH STD DWG ST02.
- INSTALL CROSS GUTTER TYPE II PER COH STD DWG ST03.
- INSTALL SIDEWALK PER COH STD DWG ST04.
- INSTALL DRIVEWAY AND ALLEY RAMPS PER COH STD DWG ST05.
- INSTALL CURB RAMPS PER COH STD DWG ST06.

- URBAN MAJOR ARTERIAL ROADWAY PER COH STD DWG ST07.
- URBAN MINOR ARTERIAL ROADWAY PER COH STD DWG ST08.
- URBAN MAJOR COLLECTOR ROADWAY PER COH STD DWG ST09.
- URBAN MINOR COLLECTOR ROADWAY PER COH STD DWG ST10.
- URBAN LOCAL STREET PER COH STD DWG ST11.
- URBAN LOCAL STREET WITH SWALE PER COH STD DWG ST12.
- RURAL ARTERIAL, COLLECTOR, AND LOCAL ROADS PER COH STD DWG ST13.
- FIRE APPARATUS TURNAROUND PER COH STD DWG ST14.
- CONSTRUCT ALLEY PER COH STD DWG ST15.
- CONSTRUCT CUL-DE-SAC PER COH STD DWG ST16.
- PAVEMENT STRIPING AND MARKINGS PER COH STD DWG ST17.
- INSTALL MONUMENT BOX PER COH STD DWG ST18.
- INSTALL SIGNS PER COH STD DWG ST19.
- TRENCH BEDDING, BACKFILL, AND SURFACE RESTORATION PER COH STD DWG ST20.
- EROSION AND SEDIMENT CONTROL PER COH STD DWG ST21.

COORDINATION WITH PRIVATE UTILITIES:

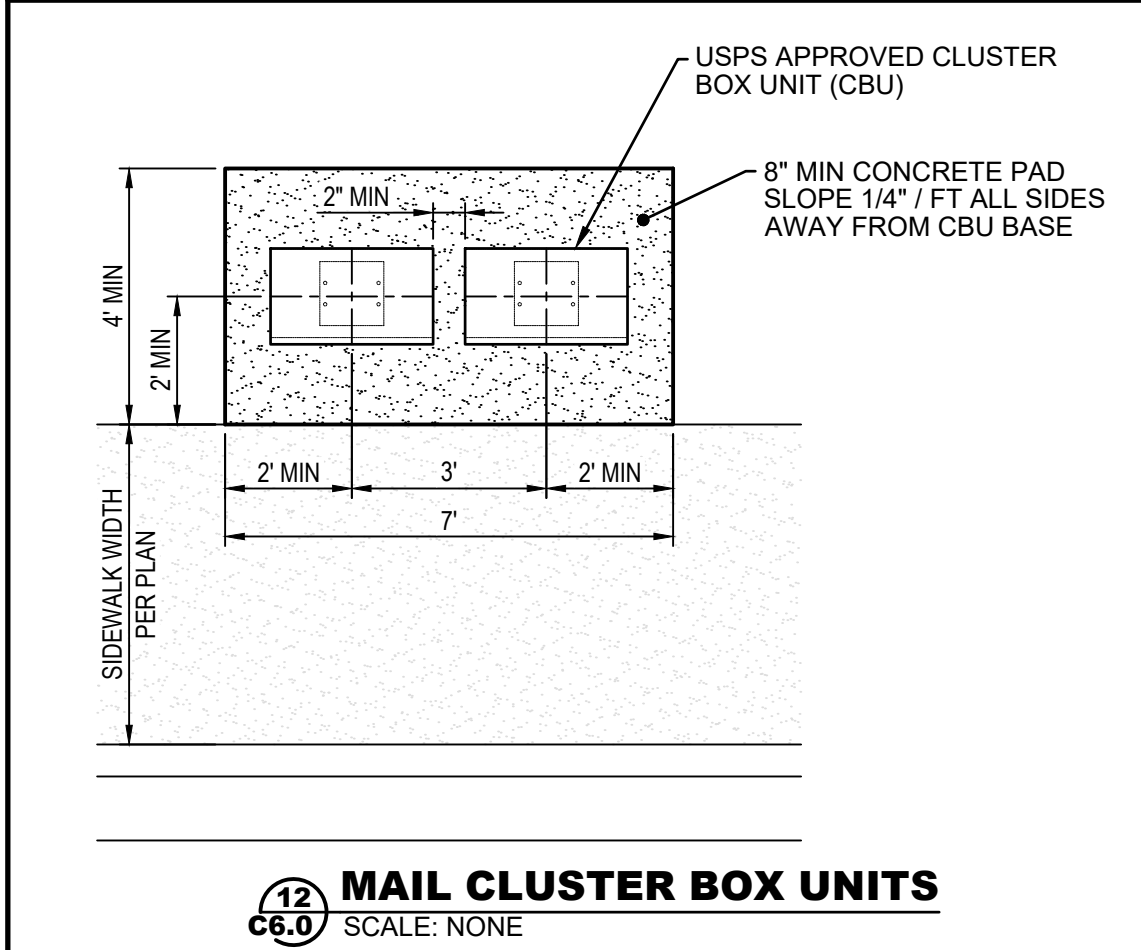
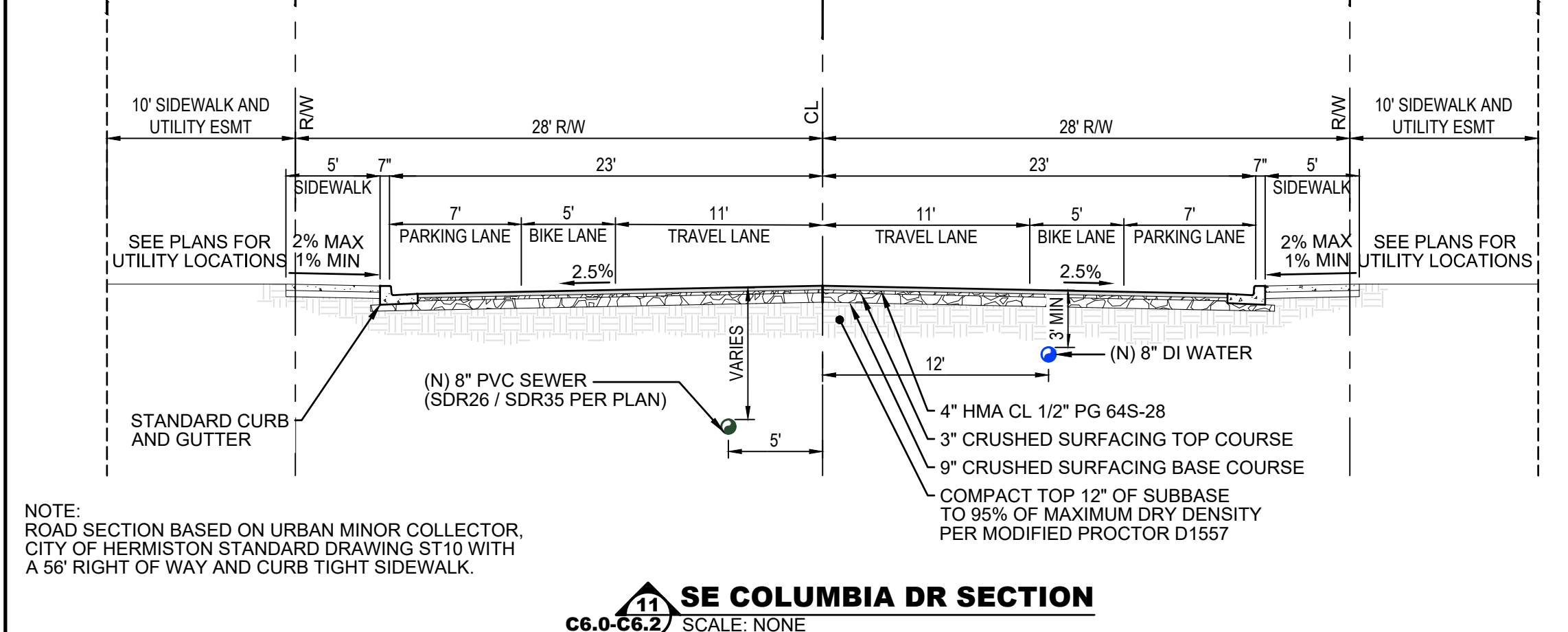
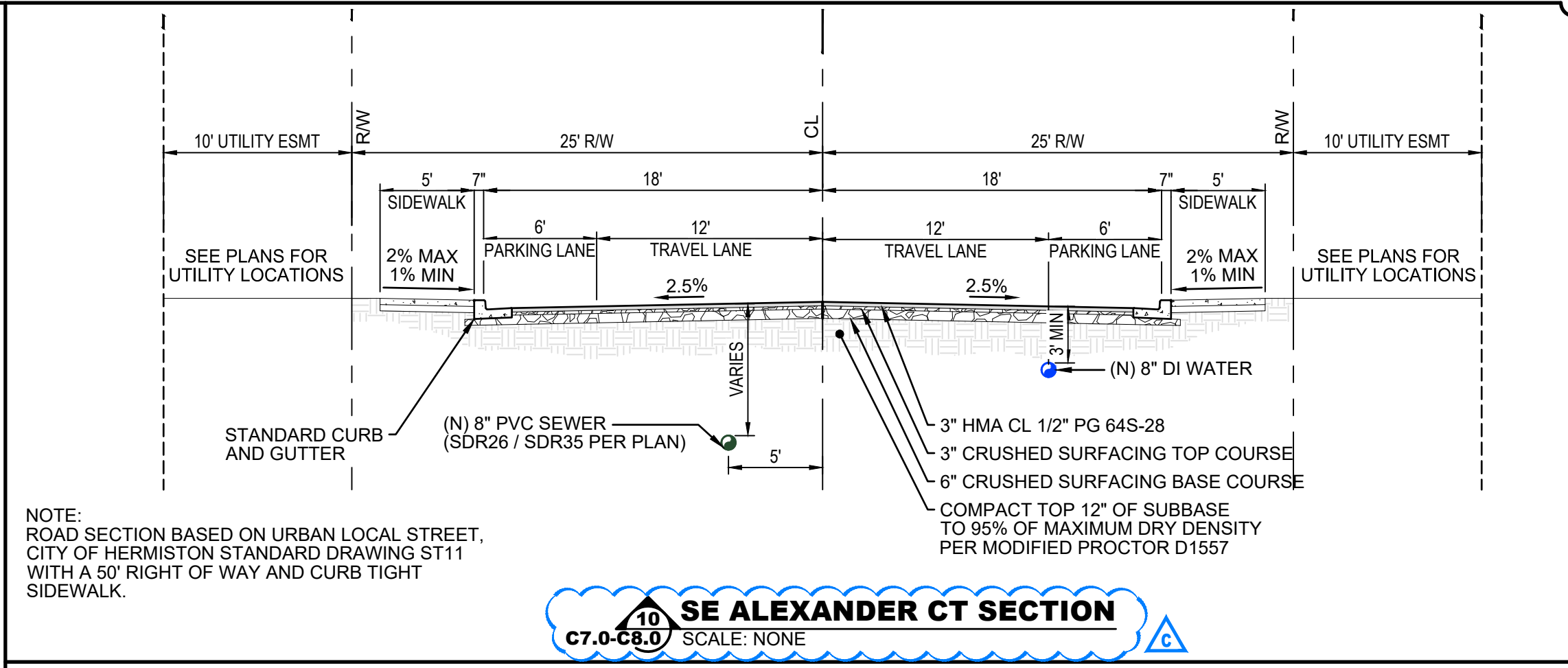
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SET UP A PRE-CONSTRUCTION MEETING WITH ALL IMPACTED PRIVATE UTILITY COMPANIES (ELECTRICAL, TELEPHONE, CABLE, GAS, IRRIGATION), THE CITY, AND THE DESIGN ENGINEER TO DISCUSS THE INSTALLATION OF THE PRIVATE UTILITIES. AT THE TIME OF THE PRE-CONSTRUCTION MEETING WITH THE CITY, THE CONTRACTOR SHALL SUBMIT TO THE CITY DETAILED PLANS SHOWING THE LOCATION OF ALL TRENCHING, STREET CROSSINGS, VAULT LOCATIONS, AND PEDESTAL LOCATIONS FOR EACH UTILITY. THE CONTRACTOR WILL NOT BE ALLOWED TO EXCAVATE ANY PRIVATE UTILITY TRENCHES OR INSTALL ANY VAULTS, PEDESTALS, OR CONDUIT PRIOR TO THIS PRE-CONSTRUCTION MEETING. THE LOCATION OF ALL PEDESTALS, VAULTS, AND CONDUITS SHALL BE APPROVED BY THE CITY PRIOR TO COMMENCING WITH WORK.

EROSION CONTROL NOTES:

- APPROVAL OF AN EROSION/ SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (I.E., SIZE AND LOCATION OF ROADS, PIPES, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.)
- IMPLEMENTATION OF ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADE OF ESC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED BY THE CITY AND VEGETATION/ LANDSCAPING IS ESTABLISHED.
- THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE INSTALLED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT LEAVE THE SITE AND ENTER ADJACENT WATERCOURSES OR DRAINAGE WAYS.
- DURING CONSTRUCTION ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT LEAVE THE SITE.
- ESC FACILITIES SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THE CONTINUING FUNCTION OF THE FACILITIES.
- ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OF WITHIN 48 HOURS FOLLOWING A STORM EVENT.
- AT NO TIME SHALL MORE THAN 1' OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- CONSTRUCTION ENTRANCES PER CITY STANDARD DRAWING ST21 SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- SEDIMENT FENCES AND STRAW BALE BARRIERS SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.
- THE CONTRACTOR SHALL KEEP THE PAVED RIGHT-OF-WAY FREE OF DEBRIS, MUD, DIRT, AND OTHER POLLUTANTS. DAILY SWEEPING OF OTHER BEST MANAGEMENT PRACTICES SHALL BE EMPLOYED AS NEEDED.

PACIFIC POWER NOTES:

- ALL WORK TO BE DONE IN ACCORDANCE WITH CURRENT PACIFIC POWER STANDARDS AND SPECIFICATIONS.
- REFER TO WORK ORDER #7417322 FOR CONDUIT AND VAULT PLAN FOR THE DEVELOPMENT.
- REFER TO WORK ORDER # _____ FOR THE CONDUIT AND LIGHTING PLAN FOR THE STREET LIGHTS.
- THE CONTRACTOR TO PROVIDE ALL TRENCHING AND BACKFILL, PROVIDE AND INSTALL PRIMARY CONDUITS AND TRANSFORMER PADS, AND PROVIDE AND INSTALL SECONDARY CONDUIT AND CONDUCTORS FROM THE TRANSFORMERS TO THE METER BASES.
- PACIFIC POWER TO PROVIDE AND INSTALL PRIMARY CONDUCTORS AND TRANSFORMERS.
- CONDUITS TO BE INSTALLED AT A 36" DEPTH.
- 36" SWEEPS REQUIRED FOR ALL BENDS.
- PVC CONDUIT FOR RUNS LESS THAN OR EQUAL TO 150 FT, FIBERGLASS CONDUIT REQUIRED FOR RUNS OVER 150 FT.
- ALL CONDUITS TO HAVE MULE TAPE.
- PROVIDE A MINIMUM OF 12" OF HORIZONTAL SEPARATION BETWEEN POWER CONDUITS AND COMMUNICATIONS CABLE/ CONDUITS.
- PROVIDE A MINIMUM OF 36" OF HORIZONTAL SEPARATION BETWEEN POWER CONDUITS AND WATER, SEWER, AND GAS PIPES.
- ORIENT TRANSFORMER VAULT LIDS LONG-WISE TO THE STREET WITH THE TOP OF THE VAULT LID 1" TO 2" ABOVE THE FINISH GRADE.
- PACIFIC POWER TO INSPECT ALL CONDUITS BEFORE BACKFILLING, CALL 278-2965.



EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR TO VERIFY LOCATIONS WITH UTILITY COMPANIES AND/OR PRIVATE UTILITY LOCATOR PRIOR TO TRENCHING

CALL 2 BUSINESS DAYS BEFORE YOU DIG: 811

HARMS ENGINEERING, INC.
 1632 W Sylvester Street, Pasco WA 99301 | 509-547-2679 | HarmsEngineering.com
 Design By: C. WALLACE
 Drawn By: C. WALLACE
 Checked By: P. BAKER
 P. BAKER
 September 12, 2025 | 11:27:00 AM

Date	By	Description
09-12-25	DLW	PHASE 2 LIMITS ADJUSTED
08-08-25	DLW	ADDING POWER INFORMATION AND SEWER INFORMATION PER DEC. REVIEW COMMENTS
05-16-25	DLW	REVIEW SUBMITTAL

SECT 13 TO 4N R28E W4E
HENRY K'S PHASE 2 NOTES AND DETAILS
 TAX LOT ID 4N2813000200, HERMISTON, OR
HERMISTON HOME WORKS
 TYLER BRANDT 541-720-4533
 PO BOX 833, HERMISTON, OR 97838
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REGISTERED PROFESSIONAL ENGINEER
 84861 PE
 C. WALLACE
 OREGON
 MAY 11, 2011
 CHRISTINE BATAKOTI
 11/12/25
 RENEWS: 12/31/2025
 Date: **09-12-2025**
 ANS/D
 Project Number: **23-030.4**
 Sheet Number: **C9.0**

City Of Hermiston Public Improvements Inspection Checklist - 2024

Project Name: _____

Streets

No.	Date	Inspection	Description	City Initials
1		Geotechnical Report	Geotechnical Report and special details review	
2		Trench and/or Fill Material Compaction	See City Standard Drawing ST20	
3		Subgrade	Load test with minimum 10-yard loaded dump truck	
4		Curb and Gutter Aggregate Base	See City Standard Drawing ST01	
5		Curb and Gutter Installation	Meeting with foreman prior to installation, observe process	
6		Curb and Gutter	See City Standard Drawing ST01	
7		Americans with Disabilities Act (ADA) Ramp Forms	Check slopes and layout	
8		ADA Ramps	Must meet ADA slope specifications (see City Standard Drawing ST06)	
9		Street Aggregate Base	Size, depth, 100 percent fractured face, compaction test results, 2.5 percent cross slope. See City Standard Drawings ST07 to ST13.	
10		Sidewalk Forms	3/4"-0 at 4 inches deep, 100 percent fractured face, compaction test results, 1.5 percent cross slope	
11		Driveway Forms	3/4"-0 at 4 inches deep, 100 perfect fractured face, compaction test results, 6 inches thick	
12		Asphalt Concrete Pavement	Meet with crew prior to installation to review curb joint, roller pattern, and roller speed requirements, check mix temperature, no bones left on mat, 2.5 percent cross slope	
13		Sidewalk Completion	Two percent maximum cross slope, joint spacing, broomed finish, visual	
14		Driveway Completion	Sloped toward the right-of-way; width does not exceed maximum permitted width	
15		Substantial Completion	Create Punch List	
16		Final Completion	Punch List items completed	

Storm Drain

No.	Date	Inspection	Description	City Initials
17		Erosion Control	Installed per Plans before construction begins	
18		Pipe Material	See City Technical Specifications	
19		Manhole Materials	Concentric cone, correct rim and cover, resilient connectors (see City Standard Drawing SD02)	
20		Catch Basin Materials	Correct size, correct casings (see City Standard Drawing SD01)	
21		Initial Pipe Install	Bedding, haunches, setting pipe, pipe zone, locating wire, backfill, compaction tests, and laser for grade (see City Standard Drawing ST20)	
22		First Manhole	Aggregate base, resilient connectors, channel, backfill, and compaction (see City Standard Drawing SD02)	
23		First Catch Basin	Aggregate base, location relative to top back of curb (see City Standard Drawing SD01)	
24		Drywell	Holes, filter fabric, rock (see City Standard Drawing SD03)	
25		Pipe Mandrel Test	See City Technical Specifications	
26		Pipe Television (TV) Inspection	See City Technical Specifications	
27		Substantial Completion	Create Punch List	
28		Final Completion	Punch List items completed	

Sanitary Sewer

No.	Date	Inspection	Description	City Initials
29		Geotechnical Report	Geotechnical Report and special details review	
30		Pipe Material	See City Technical Specifications	
31		Manhole Materials	Concentric cone, correct rim and cover, resilient connectors (see City Standard Drawing SS01)	
32		Initial Pipe Install	Bedding, haunches, setting pipe, pipe zone, locating wire, backfill, compaction tests, and laser for grade (see City Standard Drawing ST20)	
33		First Manhole	Aggregate base, resilient connectors, channel, backfill, and compaction (see City Standard Drawing SD02)	
34		First Service Lateral	Bedding and backfill, wye, service line marker, grade, tracer wire (see City Standard Drawing SS06)	
35		Manhole Test	See City Technical Specifications	
36		Pipe Pressure Test	See City Technical Specifications	
37		Pipe Mandrel Test	See City Technical Specifications	
38		Pipe TV Inspection	See City Technical Specifications	
39		Substantial Completion	Create Punch List	
40		Final Completion	Punch List items completed	

Water

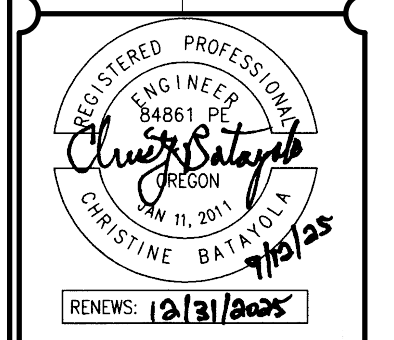
No.	Date	Inspection	Description	City Initials
41		Geotechnical Report	Geotechnical Report and special details review	
42		Pipe Material	Ductile iron (see City Technical Specifications)	
43		Valves, Fittings, and Other Materials	Compact fittings, valve type and product number, hydrant product, hydrant color (see City Technical Specifications)	
44		Water Main Tie-in	See City Standard Drawing W06	
45		Initial Pipe Install	Bedding, haunches, setting pipe, pipe zone, locating wire, backfill, compaction tests, and laser for grade (see City Standard Drawing ST20)	
46		First Valve/Fitting Install	See City Technical Specifications and City Standard Drawing W04	
47		First Service Line	See City Standard Drawings W01 to W03	
48		First Hydrant Install	See City Standard Drawing W07	
49		Pipe Pressure Test	See City Technical Specifications	
50		Disinfection and Bacteria Testing	See City Technical Specifications	
51		Substantial Completion	Create Punch List	
52		Final Completion	Punch List items completed	



1632 W Sylvester Street, Pasco WA 99301 | 509-547-2679 | HarmsEngineering.com
 Designed By: Chris Proka
 Drawn By: D. Wallace
 File Path: P:\2023\23013_4_Alar\CD\23 Henry 16 Ph 2 Job Sewer.dwg
 Plotter: September 12, 2025, 11:37:01 AM

Date	By	Description	Rev
08-08-25	DLW	FIRST REVIEW COMMENTS	1
08-16-25	DLW	REVIEW SUBMITTAL	2

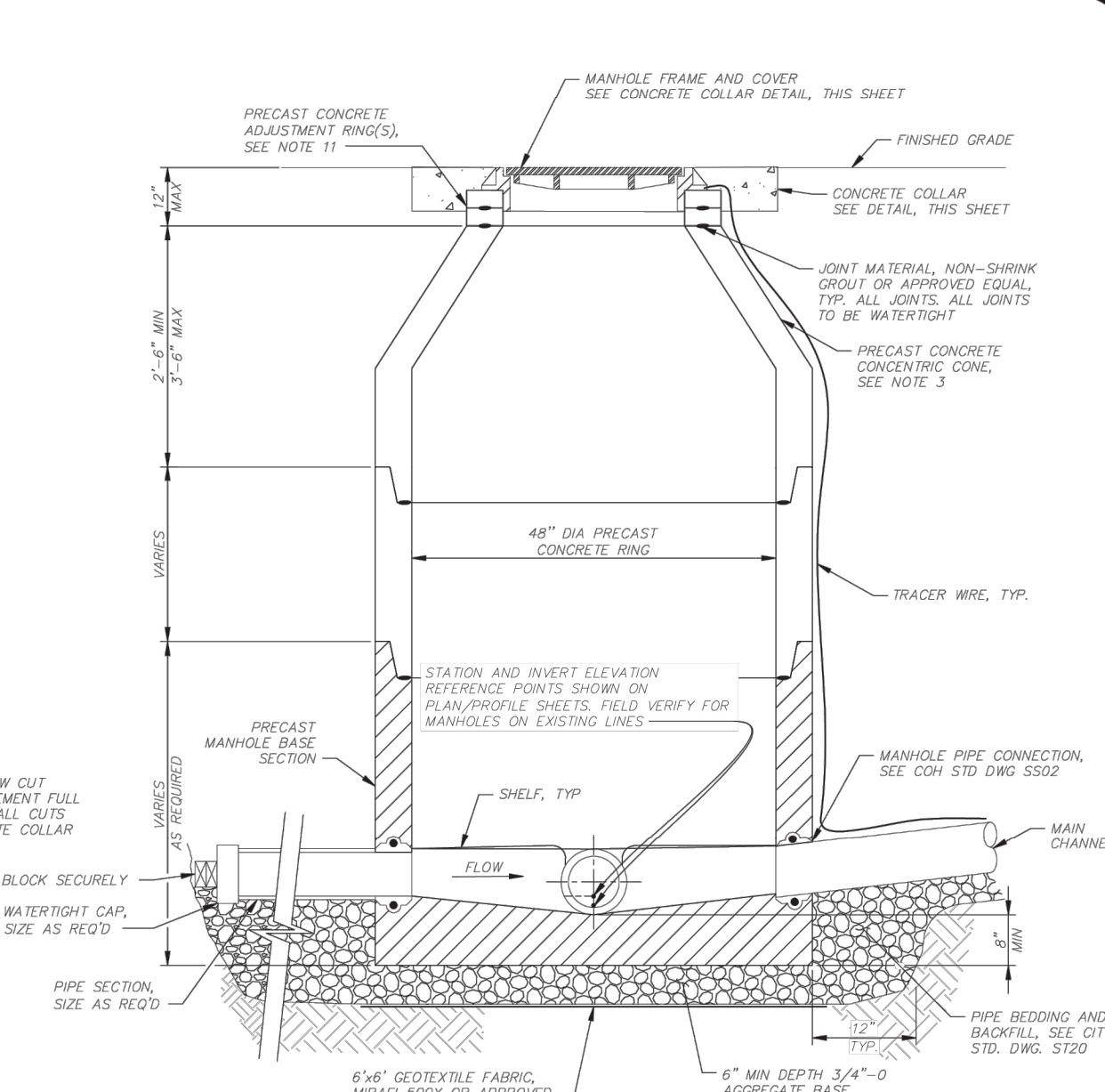
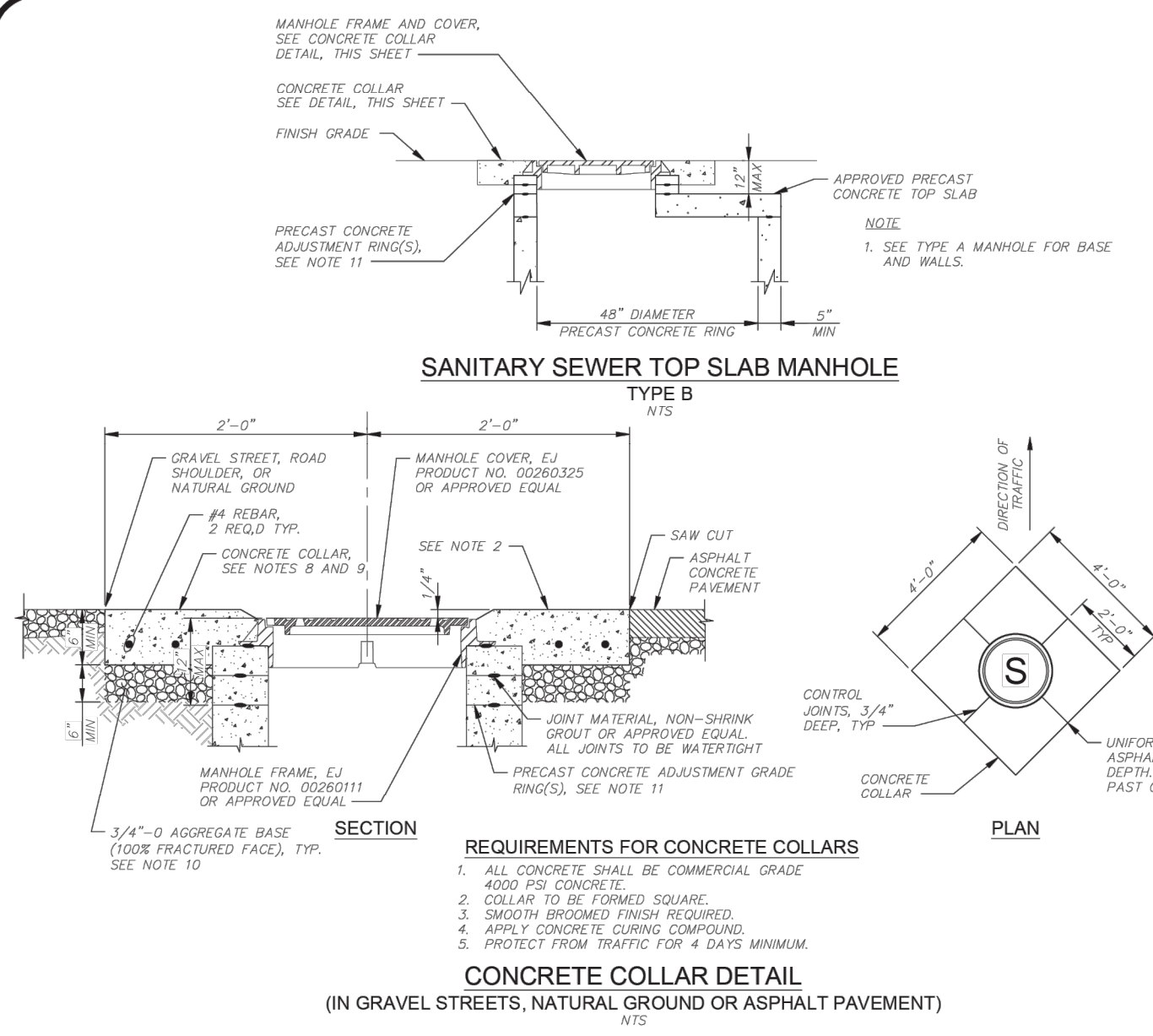
SECT 13 TO 4N R28E 1W
HENRY K'S PHASE 2
INSPECTION CHECKLIST
 TAX LOT ID 4N28130000200, HERMISTON, OR
HERMISTON HOME WORKS
TYLER BRANDT 541-720-4533
 PO BOX 833, HERMISTON, OR 97838
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CALL 2 BUSINESS DAYS BEFORE YOU DIG: 811

Date: **09-12-2025**
 Project Number: **23-030.4**
 Sheet Number: **C10.0**

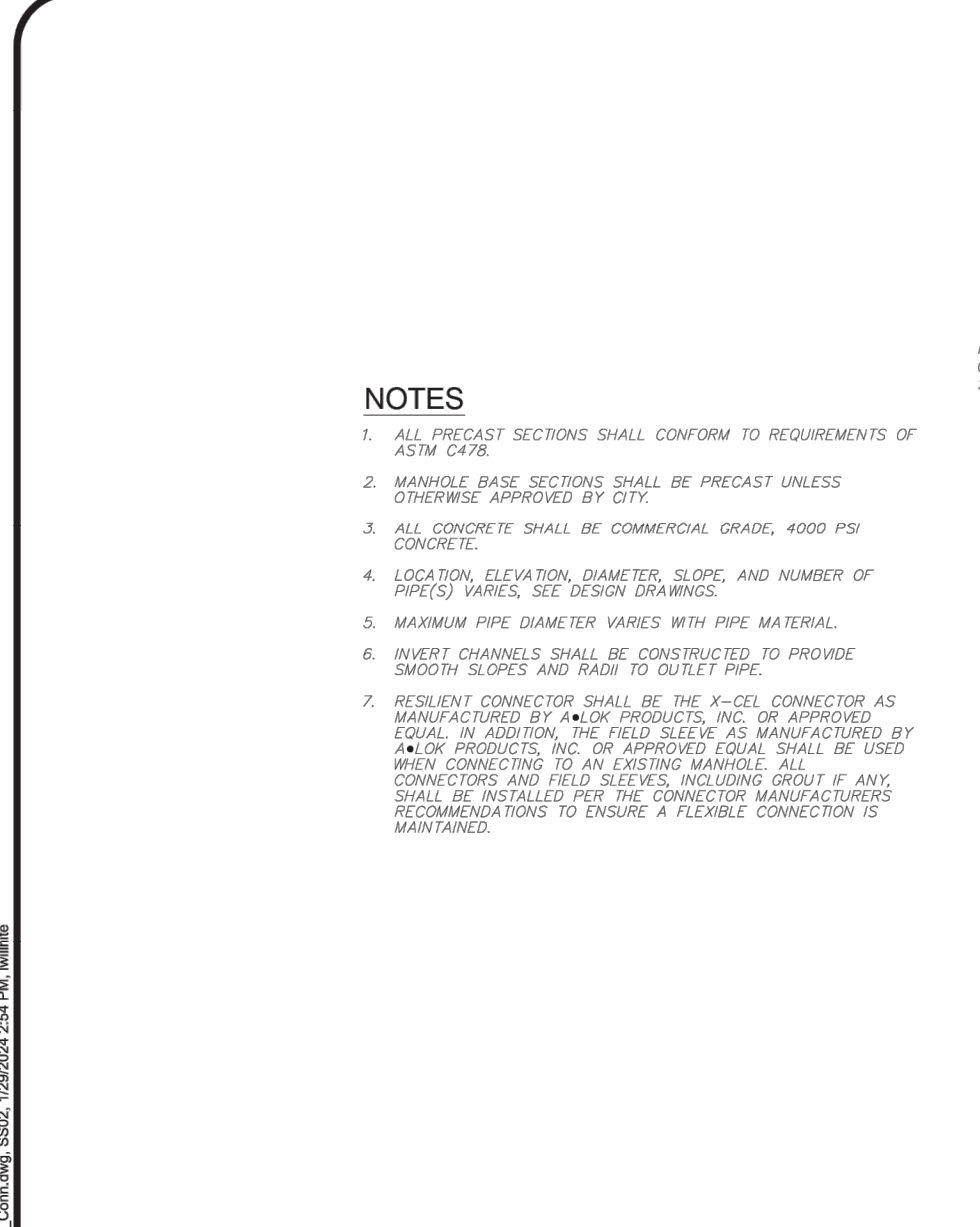


CITY OF HERMISTON, OREGON STANDARD DRAWINGS

FIGURE SS01

SANITARY SEWER MANHOLE

HERMISTON Where Life is Sweet

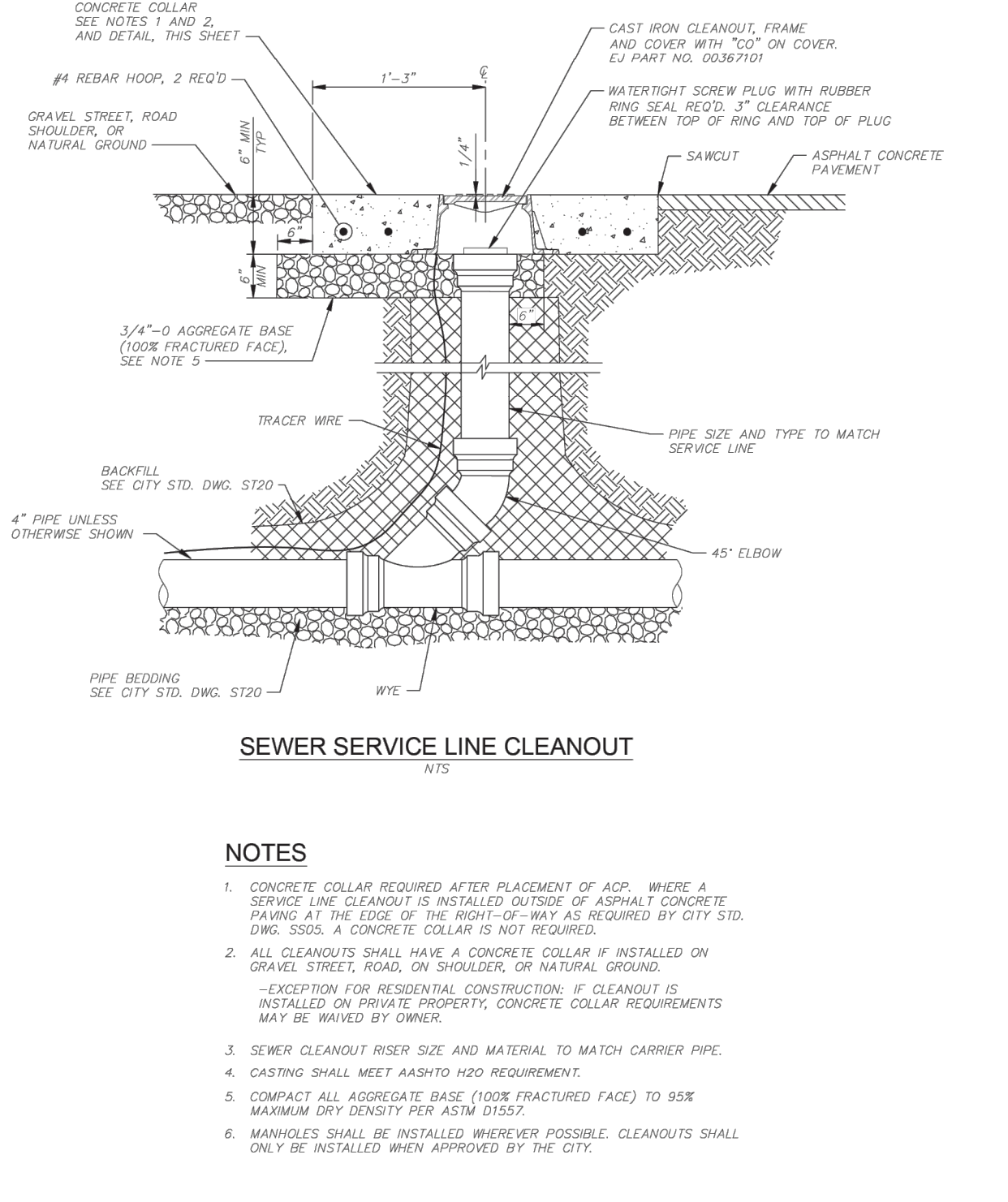
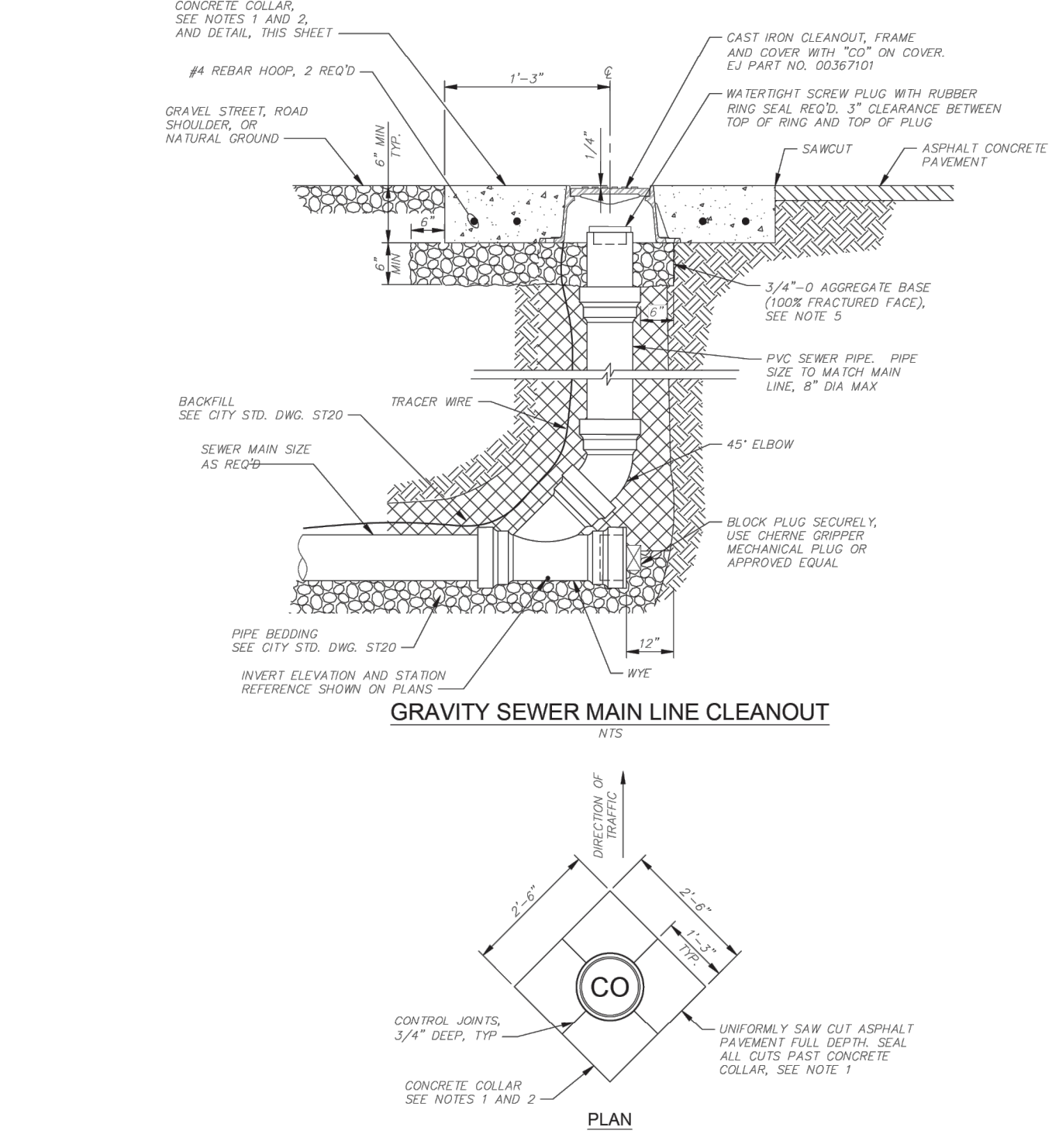


CITY OF HERMISTON, OREGON STANDARD DRAWINGS

FIGURE SS02

PIPE TO MANHOLE CONNECTIONS

HERMISTON Where Life is Sweet

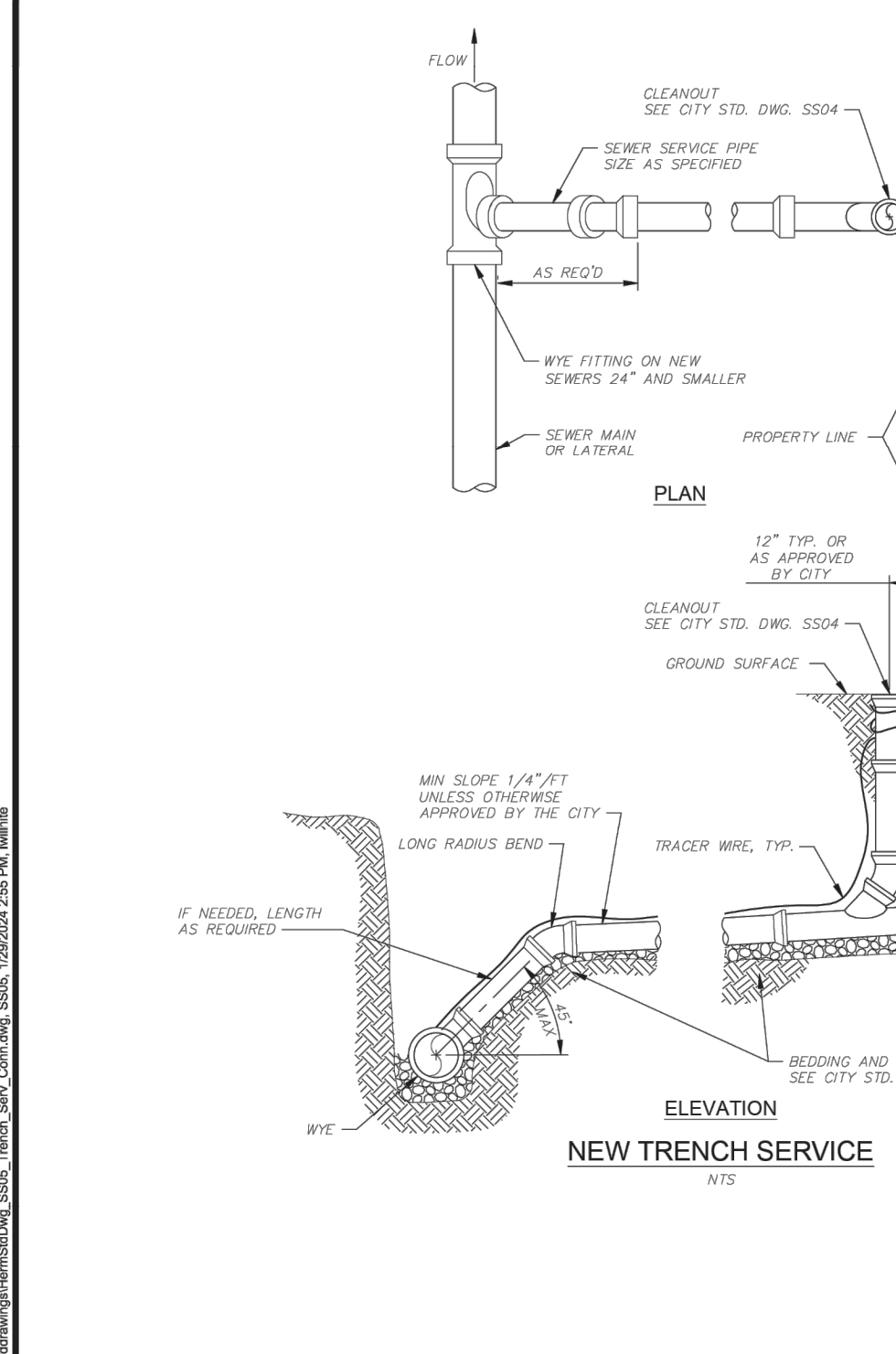


CITY OF HERMISTON, OREGON STANDARD DRAWINGS

FIGURE SS04

SEWER CLEANOUTS

HERMISTON Where Life is Sweet



CITY OF HERMISTON, OREGON STANDARD DRAWINGS

FIGURE SS05

SEWER SERVICE CONNECTION

HERMISTON Where Life is Sweet

EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR TO VERIFY LOCATIONS WITH UTILITY COMPANIES AND/OR PRIVATE UTILITY LOCATOR PRIOR TO TRENCHING

CALL 2 BUSINESS DAYS BEFORE YOU DIG: 811

HERMISTON ENGINEERING, INC.

1632 W Sylvester Street, Pasco WA 99301 | 509.547.2679 | HermistonEngineering.com

Designed By: G. FROCK
Checked By: J. HARRIS
Drawn By: D. WALLING
Date: September 12, 2025 11:27:15 AM

Project Information

Project Name	ADD INFORMATION FOR SEWER PER DEG
Date	08-09-25
By	DLW
Description	
Rev	

HENRY K'S PHASE 2 COH STANDARD SEWER DETAILS

TAX LOT ID: 4N28130000200, HERMISTON, OR

HERMISTON HOME WORKS

TYLER BRANDT 541-720-4533

PO BOX 833, HERMISTON, OR 97838

Client/Project Information

Client: HERMISTON HOME WORKS

Project: HENRY K'S PHASE 2 COH STANDARD SEWER DETAILS

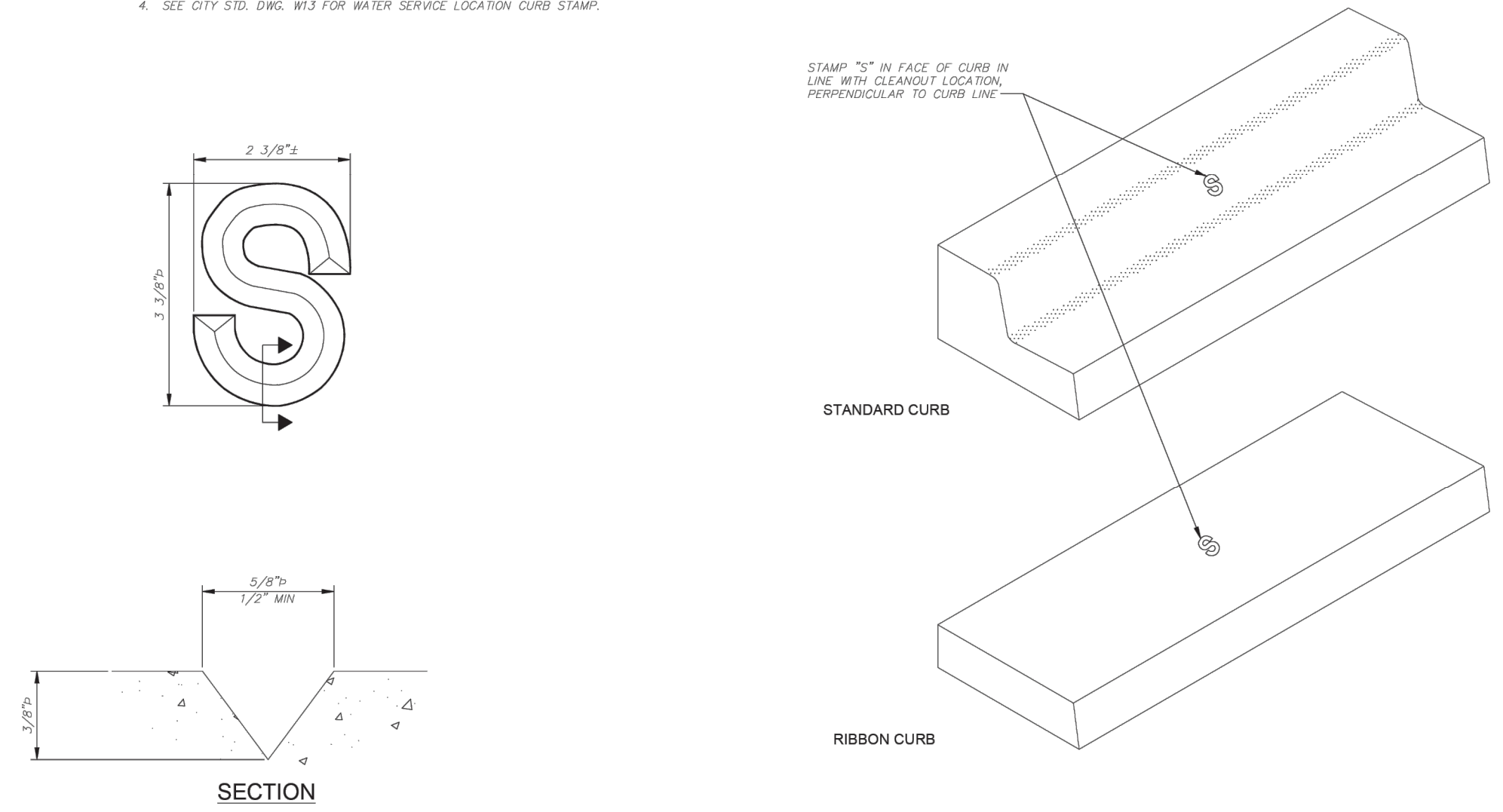
REVISIONS: 12/31/2025

REGISTERED PROFESSIONAL ENGINEER
84861 PE
CHRISTINE BATAJOLI
JAN 11, 2011
176125

Date: 09-12-2025
Project Number: 23-030.4
Sheet Number: C11.0

NOTES

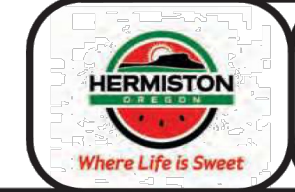
1. ALL NEW AND EXISTING SANITARY SEWER SERVICE LOCATIONS SHALL BE MARKED BY CURB AS SHOWN. STAMPING OF SERVICE LOCATIONS SHALL BE CONSIDERED INCIDENTAL TO THE PRICE OF THE CURB.
2. STAMPS MAY BE PURCHASED FROM THE CITY.
3. STAMPS NOT PLACED BY SPECIFIC STAMP WILL NOT BE ACCEPTED AND THAT SECTION OF CURB SHALL BE REMOVED AND REPLACED.
4. SEE CITY STD. DWG. W13 FOR WATER SERVICE LOCATION CURB STAMP.



STAMP 7/8" IN FACE OF CURB IN LINE WITH CLEAROUT LOCATION, PERPENDICULAR TO CURB LINE.

STANDARD CURB

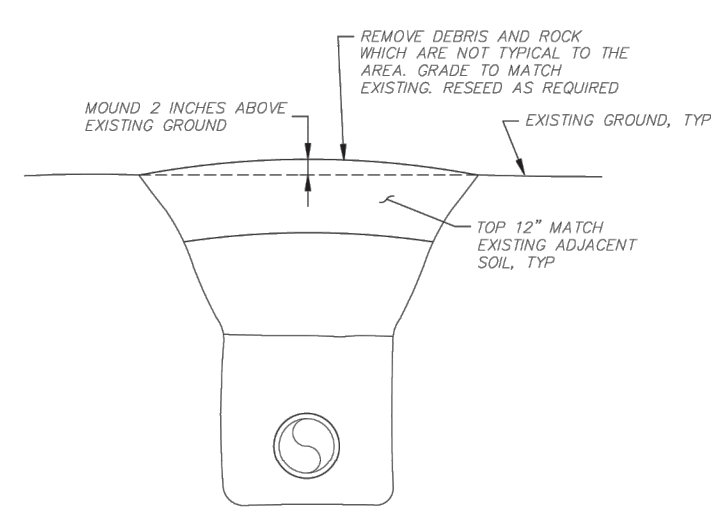
RIBBON CURB



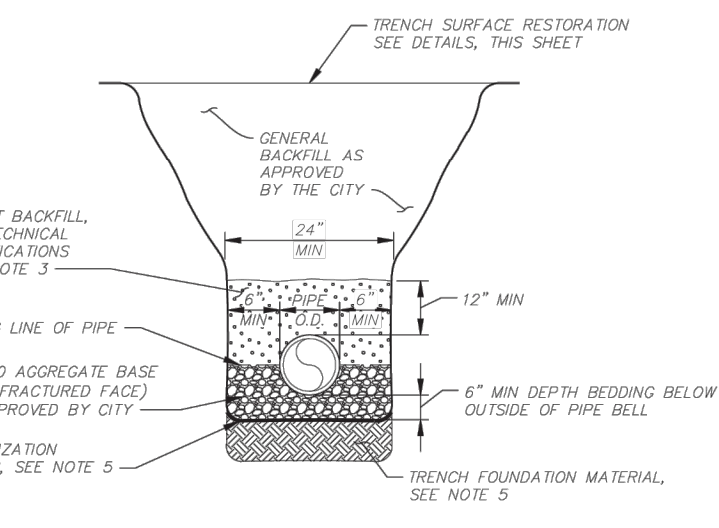
CITY OF HERMISTON, OREGON
STANDARD DRAWINGS
SEWER SERVICE CURB STAMP

FIGURE
SS08

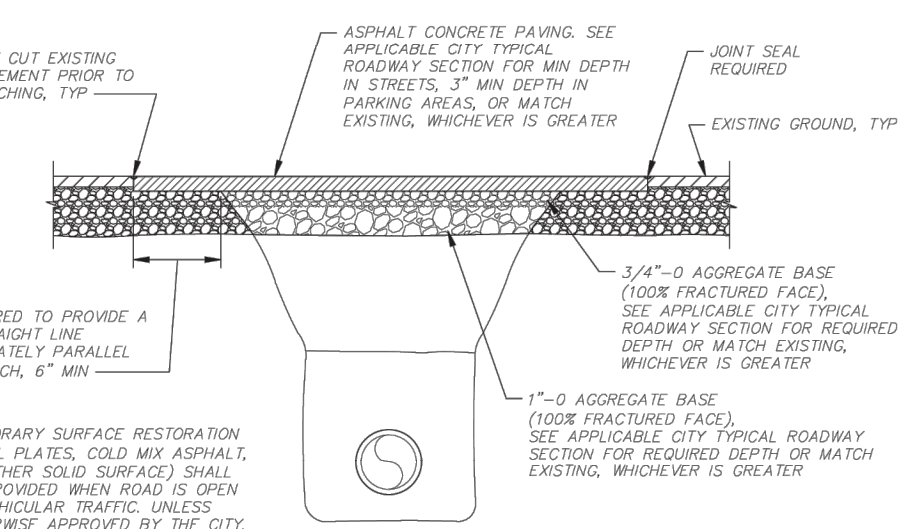
C:\Information\cadd\standard\hermiston\dwg\SS08.dwg, 1/20/2024 2:53 PM, wlfh



**SURFACE RESTORATION
NATURAL SURFACES**
N/S



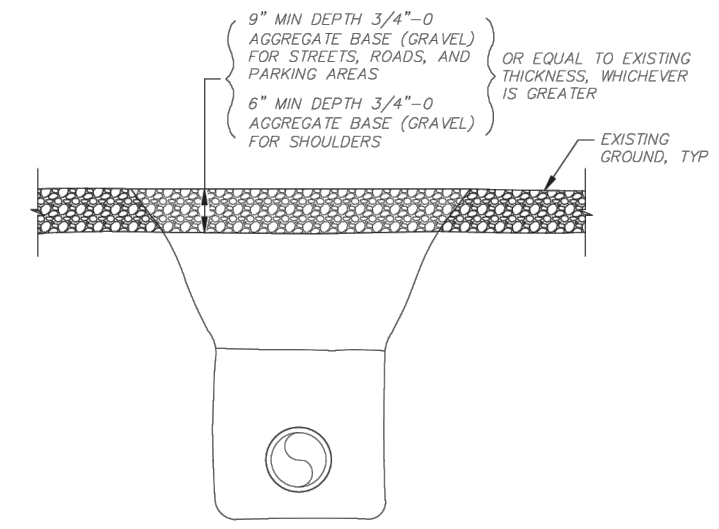
**SEWER AND STORM DRAIN LINE
TRENCH BEDDING AND BACKFILL**
N/S



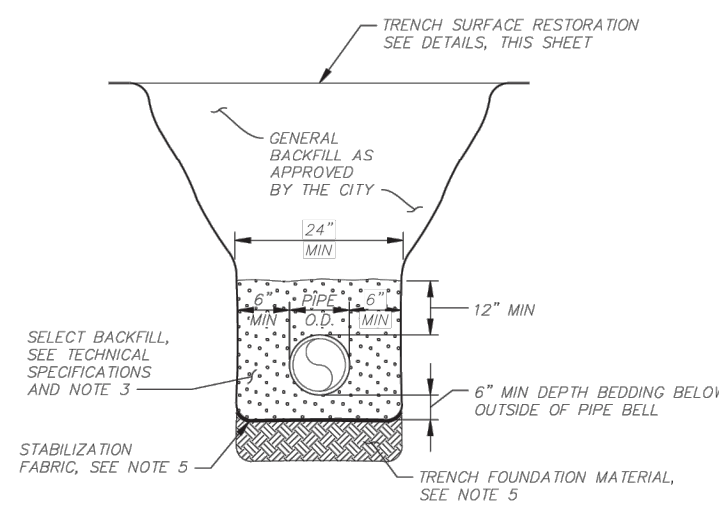
**SURFACE RESTORATION
PAVED SURFACES**
N/S

TRENCH BEDDING AND BACKFILL NOTES

1. SURFACING OF PAVED AREAS SHALL COMPLY WITH CITY STANDARD STREET DRAWINGS.
2. ALL BACKFILL MATERIAL SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AND SHALL BE PLACED AND COMPACTED IN 6" LIFTS, UNLESS NOTED OTHERWISE.
3. BACKFILL FROM PIPE BOTTOM TO 12-INCHES ABOVE PIPE SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557. COMPACTATION BY HAND TAMPING WILL BE ALLOWED IF 95% DENSITY IS ACHIEVED. OTHERWISE MECHANICAL TAMPING WILL BE REQUIRED.
4. BACKFILL INSPECTION/TESTING
 - TRENCH DEPTH OF LESS THAN 1 FT. VISUAL INSPECTION BY CITY.
 - TRENCH DEPTH GREATER THAN 1 FT.
 - BELOW FINISH AGGREGATE BASE (100% FRACTURED FACE) GRADE: 1 TEST PER 300 FT. OF TRENCH AND EVERY 1.5 FT. OF FILL.
 - AT FINISH AGGREGATE BASE (100% FRACTURED FACE) GRADE: 1 TEST PER 300 FT. OF TRENCH OR 2 TESTS PER STREET CROSSING.
 - IF BACKFILL MATERIAL OR COMPACTION EQUIPMENT CHANGES, COMPACTION TESTING SHALL IMMEDIATELY BE PERFORMED TO VERIFY THAT DENSITY IS BEING ACHIEVED.
5. STABILIZATION FABRIC AND IMPORTED FOUNDATION MATERIAL SHALL BE REQUIRED WHERE NATURAL SOIL CONDITIONS IN THE BOTTOM OF THE TRENCH ARE UNSUITABLE FOR PROPER PIPE INSTALLATION.



**SURFACE RESTORATION
GRAVEL SURFACES**
N/S



WATER LINE TRENCH BEDDING AND BACKFILL
N/S



CITY OF HERMISTON, OREGON
STANDARD DRAWINGS
**TRENCH BEDDING, BACKFILL,
AND SURFACE RESTORATION**

FIGURE
ST20

1632 W. Sylvester Street, Pasco WA 99301 | 509-547-2679 | harmsengineering.com
 Drawn By: D. WALLING | Checked By: J. HENNING | September 12, 2025 | 11:27:24 AM
 Designer By: C. BATA | File Path: P:\2023\23030-4533\4.4\Draw\DCS Henry 16 Ph 2 2nd Sewer Dig.dwg
 File Name: P:\2023\23030-4533\4.4\Draw\DCS Henry 16 Ph 2 2nd Sewer Dig.dwg

Date	By	Description
09-09-25	DLW	ADDING INFORMATION FOR SEWER PER DEQ

SECT 13 TO 4N R28E 1W

**HENRY K'S PHASE 2
COH STANDARD SEWER DETAILS**
TAX LOT ID 4N28130000200, HERMISTON, OR

Client/Project Information
HERMISTON HOME WORKS
TYLER BRANDT 541-720-4533
PO BOX 833, HERMISTON, OR 97838

REGISTERED PROFESSIONAL ENGINEER
48861 PE
Christine Bata
OREGON
JAN 11, 2011
CHRISTINE BATA O.E.
11/12/25
RENEWS: 12/31/2025

DATE: **09-12-2025**

PROJECT NUMBER: **23-030-4**

SHEET NUMBER: **C11.1**

EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR TO VERIFY LOCATIONS WITH UTILITY COMPANIES AND/OR PRIVATE UTILITY LOCATOR PRIOR TO TRENCHING.

CALL 2 BUSINESS DAYS BEFORE YOU DIG: 811

Statement for the Hermiston Planning Commission

Henry K's Phase 4 Preliminary Plat – April 15, 2026

Response to Hermiston Irrigation District Objections

Good evening, Chairman Fialka and members of the Planning Commission. My name is Tyler Brandt, President of Hermiston Home Works, Inc. I am the applicant for the Henry K's Phase 4 preliminary plat. I appreciate the opportunity to address the objection filed by the Hermiston Irrigation District on April 15, 2026. I will be brief, but I want to be direct and thorough in addressing each of HID's stated concerns, because I believe the record clearly demonstrates that their objection lacks merit and should not stand as an impediment to approval of this preliminary plat tonight.

I. HID's Objection Regarding the "Natural Spring" Is Factually Incorrect

HID's letter characterizes the water feature on Tax Lot 210 as a "notable natural spring" and raises concern that Phase 4's impervious surfaces will alter drainage patterns in ways that could threaten the A-Line Canal. This characterization is inaccurate, and the record before you tonight refutes it.

The wetland delineation prepared by Schott & Associates, Ecologists and Wetland Specialists, dated January 7, 2026 — which is part of this application record — identifies the relevant water features on the project site. The delineation map shows a total of **0.11 acres of wetland** and a **0.06-acre pond** on the property. These are not natural springs in any meaningful hydrological sense. The "spring" HID references is, in fact, an artificial wetland feature created by seepage from the U.S. Feed Canal itself — a federal irrigation facility. The water originating from canal seepage has pooled and created a small wetland condition on the property. This is a man-made hydrological artifact, not a naturally occurring spring that pre-dates development activity in this area.

This distinction matters enormously. HID is essentially arguing that a wetland created by leakage from its own associated federal irrigation infrastructure constitutes grounds to object to residential development on adjacent property. The Commission should not accept that reasoning.

Furthermore, Phase 4 is situated to the west of this feature, not adjacent to or downstream of it in any way that would concentrate stormwater runoff toward the A-Line Canal as HID suggests. The preliminary plat before you tonight shows that Phase 4 is accessed via SE

Columbia Drive and is oriented and graded in a manner that does not place impervious surfaces in proximity to the area HID identifies as its concern.

II. HID's Stormwater Concern Is Already Addressed by Standard City Process

HID's April 15, 2026 letter objects to approval of the Phase 4 preliminary plat in part because the plat map does not depict stormwater drainage facilities, citing Section 154.35(C)(8) of the Hermiston Code of Ordinances. This objection reflects either a misunderstanding of how the City of Hermiston's development review process works, or a deliberate attempt to manufacture a procedural objection where none legitimately exists.

The planning commission is well aware that **stormwater management plans are a standard and required component of civil construction drawings**, which are reviewed and approved by the City Engineer after preliminary plat approval and before final plat approval. This is precisely how Phases 1, 2, and 3 of Henry K's Addition were handled. Phase 4 will follow the identical process. The conditions of approval recommended by staff in Exhibit B tonight — specifically Condition No. 2 — require the applicant to sign an improvement agreement and install storm drainage improvements that comply with city standards, with final approval from the city engineer. That is the established process and it is entirely adequate.

The stormwater management plan for Phase 4 is expected to be substantially similar in design approach to what was approved for the prior phases, as the site conditions, grading, and infrastructure are continuous across the development. The City Engineer will review and approve that plan before any civil construction begins. HID will have an opportunity to review any drainage information relevant to their facilities through that process if they have a genuine and legally cognizable interest in doing so.

To suggest that a preliminary plat should be denied because a civil-phase stormwater plan has not yet been submitted is to fundamentally misunderstand — or misrepresent — the purpose of a preliminary plat hearing.

III. HID Has No Demonstrated Legal Authority Over This Property

The Commission should also be aware of the broader legal context surrounding HID's continued attempts to insert itself into the Henry K's development process.

HID has claimed that HHW's property falls within its district boundaries based on a purported 2003 contract with the Bureau of Reclamation. However, as established in legal

correspondence provided by HHW's counsel, **a contract between HID and the Bureau of Reclamation does not constitute annexation**. Under ORS 545.051 through 545.126, annexing land to an irrigation district requires either a petition by the landowner — which was never submitted — or an HID board review and resolution — of which there is no evidence. **A title report from Pioneer Title Company of Umatilla County, dated March 21, 2024, confirms that HHW's property lies within the Stanfield Irrigation District, not the Hermiston Irrigation District**. A March 18, 2026 screenshot from Umatilla County's own ArcGIS mapping system corroborates this finding.

IV. HID's Objection Reflects Retribution, Not a Legitimate Regulatory Concern

I want to be candid with this Commission about what I believe is actually happening here. HID attempted — unsuccessfully, from a legal standpoint — to require HHW to sign a development agreement and a fencing agreement as a condition of certifying the Phase 2 final plat. When HHW declined to accede to those demands and presented HID with a comprehensive legal analysis demonstrating that those demands exceeded HID's statutory authority, HID escalated its opposition.

The Phase 2 final plat was nonetheless approved by this Commission at its March 11, 2026 meeting, subject to the May 14, 2025 conditions of approval. HID's objection to Phase 4, filed on the same day as tonight's hearing, appears calculated to use the preliminary plat process as leverage to accomplish what HID could not accomplish through its earlier demands.

This Commission should consider that HID:

- Signed Phase 1 without objection;
- Raised no stormwater or drainage objection during Phases 2 or 3;
- Filed its Phase 4 objection on the same date it wrote to the City regarding its canal concerns — April 15, 2026 — the same date as tonight's hearing, allowing no time for the applicant to respond through normal channels;
- Identified no specific causal mechanism by which Phase 4's development would actually harm the A-Line Canal, only speculative concerns about impervious surfaces modifying runoff patterns.

HID's own rules and Oregon statute give it a limited advisory role in the subdivision review process under ORS 92.103. That role does not include the authority to veto a preliminary

plat that otherwise meets every applicable standard in the Hermiston Code of Ordinances — and this one does.

V. The Preliminary Plat Meets All Applicable Standards

Staff's report and the findings of fact in Exhibit A thoroughly document that the Phase 4 preliminary plat complies with every applicable standard in Chapters 94, 154, and 157 of the Hermiston Code of Ordinances. The trip generation documentation submitted by Clemow Associates confirms that the cumulative peak hour trip generation for Phases 1 through 4 is 108 PM peak hour trips, leaving 549 peak hour trips available for future development — well within the approved 657-trip cap. The DSL wetland notification has been filed, and Condition 11 appropriately requires all state wetland requirements to be satisfied prior to civil improvement approval. The applicant has submitted all required documentation.

VI. Requested Action

For all of the foregoing reasons, I respectfully request that the Planning Commission:

1. Find that HID's objection does not constitute grounds to deny or delay approval of the Phase 4 preliminary plat;
2. Approve the findings of fact as presented in Exhibit A;
3. Approve the conditions of approval as presented in Exhibit B; and
4. Approve the Henry K's Phase 4 preliminary plat subject to those conditions.

The conditions of approval already require HHW to work with and receive certification from the Hermiston Irrigation District prior to final plat approval. That condition is identical to the one under which Phase 1 was certified without incident. HHW remains willing to engage with HID on any lawful certification requirements. What HHW cannot do — and what this Commission should not require — is submit to demands that exceed HID's statutory authority and appear designed not to protect the A-Line Canal, but to extract concessions HID has no legal right to demand.

VII. Condition of Approval No. 1 Should Be Removed or Modified

I additionally request that the Commission remove or substantially modify **Condition of Approval No. 1**, which reads:

"Applicant shall work with and receive certification from the Hermiston Irrigation District prior to final plat approval. Applicant should be aware that the City of Hermiston will not sign the final plat until the irrigation district has been satisfied and signs the final plat."

I make this request for the following reasons:

A. There Is No Competent Evidence That Phase 4 Is Within HID's Boundaries

The record before this Commission contains no credible evidence that Tax Lot 210 — the Phase 4 property — lies within the boundaries of the Hermiston Irrigation District. To the contrary:

- A title report from Pioneer Title Company of Umatilla County dated March 21, 2024 expressly states that HHW's property *"is within the boundaries of the Stanfield Irrigation District"* and makes no reference whatsoever to the Hermiston Irrigation District;
- A March 18, 2026 screenshot of Umatilla County's own ArcGIS mapping system confirms that HHW's property falls within the **Stanfield Irrigation District**, shown in brown on the county's irrigation district layer, while the Hermiston Irrigation District boundary, shown in yellow, does not encompass the subject property;
- HID has claimed a contract with the Bureau of Reclamation dated August 14, 2003 purportedly adjusts its district boundary to include the subject property, but no such contract has ever been produced or entered into the record. An unsubstantiated assertion by HID's Water Right Specialist does not constitute evidence of annexation, and as a matter of Oregon law, a contract between HID and the Bureau of Reclamation cannot substitute for the annexation requirements of ORS 545.051 through 545.126 in any event.

The standard of evidence applicable to land use conditions of approval matters here. This Commission is being asked to impose a condition — one that effectively gives HID veto power over the final plat — based on nothing more than HID's own unsubstantiated claim that the property is within its boundaries. That is insufficient. **A condition of approval must be grounded in evidence in the record.** There is no such evidence here.

B. The Condition as Written Gives HID Unchecked Veto Authority

As currently drafted, Condition No. 1 does not merely require the applicant to consult with HID or address any specific, codified HID requirements. It requires HID to be "satisfied" —

a wholly subjective standard — and gives HID unilateral authority to withhold its signature from the final plat for any reason or no reason at all.

The record of HID's conduct in connection with the Phase 2 final plat demonstrates precisely why this standard is unacceptable. HID delayed certification of the Phase 2 plat while demanding that HHW sign a development agreement and a fencing agreement — demands that HHW's legal counsel demonstrated were entirely outside HID's statutory authority. HID demanded these concessions despite the fact that:

- The Phase 2 property is not within HID's district boundaries;
- No HID easement or right-of-way burdens HHW's property;
- No adopted HID rule authorized those demands;
- The identical condition was satisfied for Phase 1 without any such demands.

Giving HID this same unchecked veto authority over the Phase 4 final plat, under these circumstances, is not a neutral administrative condition. It is an invitation for HID to repeat the same conduct — to weaponize the certification requirement as leverage to extract concessions it has no legal right to demand. Under the "unconstitutional conditions" doctrine established in *Nollan v. California Coastal Commission*, 483 U.S. 825 (1987), *Dolan v. City of Tigard*, 512 U.S. 374 (1994), and *Koontz v. St. Johns River Water Management District*, 570 U.S. 595 (2013), conditions imposed on land use approvals must bear an essential nexus to a legitimate governmental interest and must be roughly proportional to the impacts of the proposed development. A condition granting HID veto authority over a plat on property outside its district meets neither of these requirements.

C. Requested Modification

If the Commission is not prepared to remove Condition No. 1 entirely, I would respectfully request that it be modified to read as follows:

"Prior to final plat approval, the applicant shall contact the Hermiston Irrigation District to determine whether any HID facilities, easements, or water rights burden the Phase 4 property. If the Hermiston Irrigation District determines, based on competent evidence, that the property is within its district boundaries and is subject to adopted HID rules applicable to land divisions, the applicant shall comply with those specific, codified requirements. HID certification shall not be required as a condition of final plat approval if HID is unable to demonstrate, by reference to recorded boundary documentation, that the subject property lies within the Hermiston Irrigation District."

This modified condition preserves the City's legitimate interest in ensuring coordination with irrigation districts where genuinely applicable, while preventing HID from using the certification requirement as an instrument of leverage on property over which it has not demonstrated any lawful jurisdiction.

Thank you again for your consideration of these requests. The Henry K's development has proceeded in good faith through every phase of this process, in full compliance with every applicable city standard. HHW asks only that the conditions imposed on Phase 4 reflect the actual legal and factual circumstances of this property — and that those conditions not be used as tools by a third party to advance interests that have no demonstrated connection to the health, safety, or welfare of the City of Hermiston or its residents.

Thank you for your time and your service to the City of Hermiston. I am available to answer any questions.