

# MEETING AGENDA



## Planning and Zoning Commission

Village of Homewood

September 12, 2024

Meeting Start Time: 7:00 PM

Village Hall Board Room

2020 Chestnut Road, Homewood, IL

*Commission Meetings will be held as in-person meetings. In addition to in-person public comment during the meeting, members of the public may submit written comments by email to [pzc@homewoodil.gov](mailto:pzc@homewoodil.gov) or by placing written comments in the drop box outside Village Hall. Comments submitted before 4:00 p.m. on the meeting date will be distributed to all Commission members prior to the meeting.*

*Please see last page of agenda for virtual meeting information.*

1. Call to Order
2. Roll Call
3. Minutes:
  - [Approve](#) minutes from the July 11, 2024 meeting of the Planning and Zoning Commission.
  - [Approve](#) minutes from the August 8, 2024 meeting of the Planning and Zoning Commission.
4. Public Comments
5. Regular Business:
  - A. **Public Meeting** for Case 24-35: Site Plan Review, Ollie's/Brunswick Zone, 3041-3045 W 183rd Street
  - B. **Public Hearing** for Case 24-30: Special Use Permit for Drive-Through Facility, Starbucks, 3047 W 183rd Street
  - C. **Public Meeting** for Case 24-36: Site Plan Review, Starbucks, 3047 W 183rd Street
  - D. **Public Hearing** for Case 24-32: Planned Development, Apparel Redefined, 1313-1351 W 175th Street
  - E. **Public Meeting** for Case 24-37: Site Plan Review, Apparel Redefined, 1313-1351 W 175th Street
6. Old Business:
7. New Business:
8. Adjourn

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The public is invited to the meeting using the link below to join Webinar:  
<https://us06web.zoom.us/j/99184811606?pwd=UkU5TjBQcityOTd0QXkxektpaGRYdz09>

To listen to the Meeting via phone: Dial: 1-312-626-6799  
Webinar ID: 991 8481 1606 Passcode: 573812

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# VILLAGE OF HOMEWOOD



## MEETING MINUTES

DATE OF MEETING:

July 11, 2024

## PLANNING AND ZONING COMMISSION

7:00 pm

Village Hall Board Room  
2020 Chestnut Street  
Homewood, IL 60430

### CALL TO ORDER:

Chair Sierzega called the meeting to order at 6:59 pm

### ROLL CALL:

In attendance were Members Alfonso, Bransky, Cap, Chair Sierzega, O'Brien, Johnson, and Chair Sierzega. Member Castaneda was absent. Present from the Village was Director of Economic and Community Development Angela Mesaros (serving as Staff Liaison), and Assistant Director of Economic & Community Development Noah Schumerth. There were four members of the public in attendance in person. The public was able to watch and listen to the meeting via Zoom webinar.

### APPROVAL OF MEETING MINUTES:

Chairman Sierzega asked for any proposed changes to the minutes from the June 27, 2024 meeting.

Member O'Brien stated that one addition was needed that was not included "Chairman Sierzega asked if Case 24-11 would be discussed in this meeting and was told No with that the applicant then left the meeting".

Motion made to approve the minutes with one addition made by Member O'Brien; second by Member Johnson.

AYES: Members Bransky, Cap, O'Brien, Johnson, Chairman Sierzega

NAYS: None

ABSTENTIONS: Member Alfonso

ABSENT: Member Castaneda

**PUBLIC COMMENT:** N/A

### REGULAR BUSINESS:

#### **CASE 24-16: Special Use for Massage Therapy, 18719 Dixie Hwy**

Chairman Sierzega read a description of the case and asked staff if there were any comments received from neighboring properties. Noah Schumerth replied no comments were received



Applicant Fei Li was sworn in by Chairman Sierzega

Chairman Sierzega read a brief description of the business plan that was presented with the business application. He asked Ms. Li to explain her business plan.

Thomas Frixman was sworn in by Chairman Sierzega to assist Fei Li in the explanation of her business.

The Board asked the following questions throughout the review of the case:

- Chairman Sierzega asked, “How many customers will she have at one time?”
  - **Hard to predict due to the business being new**
- Member Johnson asked are the massages by appointment.
  - **its best to call and make an appointment**
- Member Johnson asked what went into coming up with the hours of operation.
  - **The hours are standard for this type of business**
- Member Johnson asked what is the role of Thomas Frixman pertaining to the business since he’s speaking for the Applicant for the business?
  - **an advisor/friend to the business owner that would assist when needed**
- Member Johnson asked if there is only one employee working and Fei is with another customer who will be working at the front desk.
  - **There will be a bell for customers to ring to alert the owner someone is there and then they will have a seat until they are serviced. Eventually it will be two people working as time go on**
- Member Johnson stated that it looks like six rooms on the diagram for the business and asked for the assignment of each room.
  - **There are a total of four rooms- three single massage rooms and one couple’s massage room and there is a waiting area for customers**
- Member O’Brien asked, for staff to provide the correct number of parking spaces for the property.
  - **80 parking spaces**
- Member O’Brien asked to correct a comment on pg. 10 stating “The business is not adjacent to or in direct vicinity of a similar use. But on pg.11 is states the nearest similar use is Tokyo Nail Spa located within the same shopping center.
- Member O’Brien asked what is the downside of Fei being the only person working in the business and she is not proficient in English.
  - **Thomas stated that Fei was able to speak English well enough to conduct business and she has an App on her phone with Google translate**

- Member Cap asked is there any special licensing required by the State for the different techniques of massages.
  - **Yes the State of Illinois require anyone to work there doing massages to have a license**
- Member Cap asked is the business intended to be a part of a physical therapy program?
  - **No, the business is only for personal use not intended for programs billed through insurance**
- Member Alfonso asked how one employee will handle the service of a couple's massage.
  - **Not sure how that would be handled**

Thomas Frixman explained how he knows Fei Li and his relationship to her and the business. He also provided a detailed description of what her plans are for opening the business which is as follows:

- 1 employee to start with the opening of the business
- Hours of operation will be 10am to 9pm Monday thru Sunday
- Hiring 2 additional employees as business progress
- Total of four rooms for massage services (3 single rooms and 1 couple's room)
- Washer/Dryer and shower accommodations provided for customers
- Physical price list will be posted for customers
- Fei Li is licensed with the State of Illinois for massages

Kevin Stampley was sworn in by Chair Sierzega to explain how the business works when it pertains to the difference between the business being therapeutic and being required for physical therapy.

Member Bransky made a motion to approve the Special Use permit for the Relax Massage with the conditions that all licenses and certifications are provided prior to the issuance of the Business operations certificate and with the minor correction of the number of parking spaces from 84 to 80. Member O'Brien seconded the motion to approve the Special use permit for the Relax Massage Salon.

AYES: Members Alfonso, Bransky, Cap, O'Brien, Johnson, Chair Sierzega

NAYS: None

ABSTENTIONS: None

ABSENT: Member Castaneda

#### **CASE 24-11/Case 24-19: Special Use Permit for Indoor Commercial Place of Assembly and Variance for location of the Indoor Commercial Place of Assembly**

Chairman Sierzega asked for the Applicant to state his name. The Applicant stated his name to be Arnell Newman. The case was previously presented to the Board and Mr. Newman was presenting the changes to his business plan.

Mr. Newman knew there were concerns regarding parking in the area of the business and he did a survey of the parking lot area for several weeks during business hours for the neighboring businesses to audit how parking is handled with the current businesses.

**Meeting Minutes | July 11, 2024**

Mr. Newman decided to address those concerns with the following solutions:

- Parking passes provided for attendees for special events
- Parking attendant to manage the parking during private events
- Special events will be invite only
- Limit the number of parking spaces to 40

Members Alfonso, Bransky, and Johnson were pleased with Mr. Newman being proactive to correct the parking concerns by coming up with solutions and communicating with neighboring businesses.

Member Alfonso asked how many special events will be held and how often?

- **1 time every other month because we do not want to identify as an venue**

Member Cap asked if there was any wording in the condo association documents that presumes that any open spaces can be used by Mr. Newman’s business.

- **The condo association stated that the spaces has always been opened and were never assigned**

Member Cap asked Mr. Newman what type of events he is anticipating to have.

- **We host fundraising events and artist release events**

Member O’Brien asked staff about the number of parking spaces and where the difference could be considering that he physically counted 142 spaces after walking the property twice and it’s documented that there’s 145 spaces.

Member O’Brien asked how many employees will be on staff? How many employees are on staff when there is a larger production vs. a smaller production?

Mr. Newman stated the following:

- **4 employees to start**
- **4-6 employees with a smaller production crew**
- **9-12 employees with a larger production crew**

Member O’Brien asked staff for clarification on the statement stated on pg. 27 when it states if events exceed site capacity limited options are available due to the lack of street parking on Bretz Drive.

Member O’Brien concerns regarding this case are the following:

- Parking
- Traffic
- Occupancy
- Safety

Chairman Sierzega had questions pertaining to hours of operation for weekdays and weekends.

- **7 Days a week 10am -2am**
- **Production team hours 10am-7pm weekdays**
- **peak hours 11am -3pm excluding special events (primarily for intensive work)**

Member Cap asked if the site location for the business is the headquarters for the business and if so, is this where all activities that’s sponsored by Soulistic 360 will be held.

- **Yes, just as similar as to the fundraiser event that was previously described that was sponsored by Soulistic**

Member O’Brien asked staff to add the wording indoor for the type of Variance requested.

Member O’Brien asked for clarification regarding the statement on pg. 29 referencing standing room and it being conflicting with the stated maximum occupancy of 80 people.

Chairman Sierzega stated the approval of the proposed special use is contingent on the approval to permit indoor commercial places of assembly in an M1 limited manufacturing zone. This amendment was recommended by the Planning and Zoning Commission for approval by the Village Board. The amendment will be considered by the Village Board in July’s board meeting.

Member Bransky made a motion to approve the special use permit for indoor commercial place of assembly and a variance for location of indoor commercial of assembly use as well as incorporate the findings of fact to modify item #6 to be corrected to read 142 marked parking spaces which exceeds the number of parking spaces required.

Member Alfonso seconded the motion.

- ❖ **AYES:** Members Alfonso, Bransky, Cap, Johnson, Chair Sierzega
- ❖ **NAYS:** Member O’Brien
- ❖ **ABSTENTIONS:**
- ❖ **ABSENT:** Member Castaneda

**OLD BUSINESS:**

None.

**NEW BUSINESS:**

None.

**ADJOURN:**

Member Johnson made a motion to adjourn; seconded by Member O’Brien. The meeting adjourned at 8:15 pm.

**Meeting Minutes | July 11, 2024**

Respectfully submitted,

*Charise L Campbell*

**Charise Campbell**  
Building Division Permit Clerk

# VILLAGE OF HOMEWOOD



## MEETING MINUTES

DATE OF MEETING:

August 8, 2024

## PLANNING AND ZONING COMMISSION

7:00 pm

Village Hall Board Room  
2020 Chestnut Street  
Homewood, IL 60430

### CALL TO ORDER:

Chair Sierzega called the meeting to order at 7:00 pm

### ROLL CALL:

In attendance were Members Bransky, Cap, O'Brien, Castaneda, and Chair Sierzega. Members Alfonso and Johnson were absent. Present from the Village was Director of Economic and Community Development Angela Mesaros (serving as Staff Liaison), and Assistant Director of Economic & Community Development Noah Schumerth. There were four members of the public in attendance in person. The public was able to watch and listen to the meeting via Zoom webinar.

### APPROVAL OF MEETING MINUTES:

Chairman Sierzega asked for any proposed changes to the minutes from the July 11, 2024 meeting.

Chairman Sierzega requested for minutes to have answers added under each question from each case.

The Board agreed to postpone the approval of the minutes and vote at the next meeting.

### PUBLIC COMMENT:

Charles Dillinger from Chicago Heights spoke briefly about sustainability and the Thorn Creek water shed.

### REGULAR BUSINESS:

#### CASE 24-21: 1947 Miller Court Variance

Chairman Sierzega read a description of the case and asked staff if there were any comments received from neighboring properties. Noah Schumerth replied no comments.

Martin and Callie Will were sworn in by Chair Sierzega.

The variance request was made due to the Homewood Brewery main entrance sitting directly in front of the driveway of 1947 Miller Ct.

The homeowners want to limit the liability of an accident occurring considering that there will be more traffic coming through the area. Also, the driveway will provide safety and functionality for the family daily purposes.

Member Castaneda had no questions and stated the idea is proactive and makes sense.

Member O'Brien asked was it previously stated during the original plans of the Brewery being built that barriers would be put up and did the barriers get installed.

- **The homeowner stated that he recommended at one of the Zoning meetings that maybe guardrails could be installed. The homeowner stated the guardrails did not get installed possibly due to the esthetics and instead a 6 inch curb was installed to prevent vehicles**

Member O'Brien asked if the Board originally approved the plans for the Homewood Brewery with parking bollards to be installed and they were not installed

- **The parking bollards not being installed was not the choice of the Brewery it possibly was due to the discretion of all sides with Engineers.**

Member O'Brien asked the homeowner is there anything from his perspective that should have been done differently or the Planning Commission may have overlooked

- **No the homeowner states he understands why it was built and it's nice but for him as a homeowner and for his family it was not good.**

Member O'Brien asked where the homeowner gets his mail and if it's delivered to him. He also asked where is his mailbox located?

- **The mail is delivered by the post office. A brick mailbox is located in front of the residence.**

The mail delivery and garbage pickup are potential issues for the traffic in the area.

Member O'Brien requested for a correction to be made on page 8 paragraph 1 under "Discussion" for the date to read January 10, 2023.

Member Cap asked has there been any discussion for potentially making Miller Ct a one way street going east? He asked the homeowner how do you feel about Miller Ct being a one way?

- **Staff stated they don't know and they would have to speak with Public Works regarding that but there would be no way out since Miller Ct becomes a dead end.**

Member Bransky provided testimony on reason why Miller Ct cannot become a one way.

Member Cap asked where do your visitors park?

- **They park on Miller Ct in front of the house but now with the business they would have to park on Dixie Hwy because Miller Ct is too narrow for parking and traffic coming through.**

Member Cap asked the homeowners have they approached the owner of the Brewery regarding parking for their guest after business hours.

- **No but maybe sometime in the future when we plan to host an event**

Member Cap asked the homeowner do you intend at all to have a sliding entry gate for the driveway entrance.

- **Yes it was something we discussed prior to the Brewery being built**

Member Cap asked who installed the landscaping along the fence?

- **Homewood Brewery installed the landscaping**

Member Bransky suggested to homeowner to place temporary barricades on his property to prevent cars being on his property at night and also suggested that the Village post NO PARKING signs along the homeowner fence to prevent customer parking on the homeowner’s property particularly during winter months.

Member O’Brien requested for a change on pg. 14 question #7 to be changed from Yes to No.

Member O’Brien asked if the garbage cans that are sitting in the street on Miller Ct will they be damaged when vehicles are coming down the street.

- **garbage is the biggest issue in the area and the homeowners have talked with the disposal company and have tried of multiple options to relocate the garbage cans but none of them work due to the pickup person not being able to see or get to the garbage cans**

Member Bransky motioned to approve the variance request for 1947 Miller Ct and Member O’Brien second

AYES: Members Bransky, Cap, O’Brien, Castaneda, Chair Sierzega

NAYS: None

ABSTENTIONS: None

ABSENT: Members Alfonso and Johnson

**CASE 24-27: Special Use Permit for Salon/Spa at 18154 Harwood Ave.**

Destiny Wheatley, business owner for Des Beauty Galore, was sworn in by Chair Sierzega.



Chairman Sierzega read a description of the case and asked staff if there were any comments received from neighboring properties. Noah Schumerth replied no comments.

Destiny introduced herself and provided a brief description of her business which will be a Nail Salon.

Currently she is relocating from a smaller space in Calumet City that has been established for 3 years. The business hours will be from 10am-7pm Monday through Saturday.

Member Bransky asked if Destiny was leasing two spaces that would be adjoining.

- **No she will be only leasing one space unit 202**

Member Cap asked if the square footage for the business on pg 25 is correct.

- **The square footage of 400 is incorrect and should be 276**

Member O’Brien asked if Destiny completed the Special Use application.

- **Yes, she completed the application to the best of her knowledge**

Member O’Brien stated that the Special Use application had irrelevant questions that don’t pertain to a Salon business.

Member O’Brien asked why Destiny chose Homewood as a place to relocate her business.

- **She learned of the space from word of mouth and was already interested in looking for a larger space to relocate the business in a better community.**

Member Castaneda asked how many clients do you typically get in a day?

- **2-4 clients depending on the amount of services. Sometimes it could be more if they get a single service.**

Member O’Brien states that he does not understand some of the answers and they don’t make sense. Question #6 she state building instead of neighborhood.

Member Cap asked aren’t most doors opague?

- **No not in offices**

Member Bransky proposed a motion to approve the Special Use for Des Beauty Galore Salon/Spa and Member O’Brien second.

- ❖ AYES: Members Bransky, Cap, O’Brien, Castaneda, and Chair Sierzega
- ❖ NAYS:
- ❖ ABSTENTIONS:
- ❖ ABSENT:

**OLD BUSINESS:**

None.

**NEW BUSINESS:**

None.

**ADJOURN:**

Member O'Brien made a motion to adjourn; seconded by Member Castaneda.  
The meeting adjourned at 8:23 pm.

Respectfully submitted,

*Charise L Campbell*

**Charise Campbell**  
Building Division Permit Clerk

# VILLAGE OF HOMEWOOD



## MEMORANDUM

DATE OF MEETING: September 12, 2024

**To:** Planning and Zoning Commission

**From:** Noah Schumerth, Assistant Director of Economic and Community Development

**Through:** Angela Mesaros, Director of Economic and Community Development

**Topic:** Case 24-35: Site Plan Review, Ollie’s/Brunswick Zone, 3041-3045 W 183<sup>rd</sup> Street



## APPLICATION INFORMATION

APPLICANT	Silken Patel
ACTION REQUESTED	Site Plan Review
ADDRESS	3041-3045 W 183 <sup>rd</sup> Street
PIN	31-01-100-012-0000

## ZONING & LAND USE

SUBJECT PROPERTY	ZONING	LAND USE
CURRENT	B-3 General Business	Vacant
PROPOSED	B-3 General Business	Commercial/Retail
SURROUNDING	N: R-1 Single-Family Residential	Single-Family Residential
	E: B-3 General Business/R-4 Multi-Family Residential	Commercial/Multi-Family Residential
	S: R-4 Multi-Family Residential	Multi-Family Residential
	W: B-3 General Business	Commercial/Retail

## DOCUMENTS FOR REVIEW

Title	Pages	Prepared by	Date
Site Plan	1	PFDA Architects, Inc.	05/31/2024
Subdivision Plat	1	Arc Design Resources Inc.	02/07/2024
Landscape Plan	1	Daniel Weinbach and Partners, Ltd.	07/11/2024
Elevations	2	John C. Robins Architects	02/24/2024
Lighting Cutsheets	3	Orion Lighting	05/31/2024
Staff Exhibits	2	Noah Schumerth, Asst. Dir. ECD	09/06/2024

## BACKGROUND

The applicant has proposed the renovation of an existing vacant commercial center at 3041-3045 W 183<sup>rd</sup> Street. The subject site is 5.44 acres and is located within the B-3 General Business zoning district. The existing commercial center previously housed a bowling alley (Brunswick Zone) and a retail store (Big Lots). The applicant has proposed the renovation of the 86,100-square-foot building with three tenants (Ollie's, Bevda Wine and Spirits, and a future third tenant), with improvements to the parking lot, landscaping, lighting and signage.

## DISCUSSION

### Site Context

The subject property is the largest of three lots created from the resubdivision of the former "Brunswick Zone" retail and commercial center at 3041-3045 W 183<sup>rd</sup> Street. The lot is 5.44 acres. The existing 86,100-square-foot building will be renovated for three new commercial tenants. The site is zoned B-3 General Business and has approximately 250 feet of frontage along 183<sup>rd</sup> Street.

### Site Details

Building Improvements: The applicant has proposed renovation of the existing 86,100-square-foot commercial building, measuring approximately 360' x 245'. The project includes full interior renovation to create three new tenant spaces, ranging from 25,000 square feet to 31,000 square feet. Each tenant will have a separate exterior entrance and be separated by a party wall. The front façade of the building will be reconstructed with a design approved by the Appearance Commission, and the remainder of the building will be repaired and cleaned. The applicant does not propose the construction of additional structures on the site.

Parking and Site Circulation: The property is classified as a *multi-tenant commercial center* use and requires a minimum of one (1) parking space per 300 square feet. Under the current zoning ordinance, the property would require 287 parking spaces. The existing parking lot has 221 parking spaces.

Per Section 44-05-01(A) (4) of the Homewood Zoning Ordinance, no building or structure shall be required to provide any additional parking spaces until the total requirement for the number of spaces on the site increases by 50%. This threshold is not met on this site; therefore, the site may have fewer parking spaces than would otherwise be required by the current zoning ordinance. No additional parking spaces are required. The parking lot must meet ADA accessibility standards, as applicable.

The applicant has proposed repairs to the existing parking lot that include milling, resurfacing and restriping. The improvements will be completed prior to occupancy of the first commercial tenant (Ollie's). The property complies with parking space design standards in Section 44-05-02 of the Homewood Zoning Ordinance.

In total, combined with the commercial outlots (Lots 2 and 3) the area will have more parking than will be required by the Homewood Zoning Ordinance to allow shared parking in the future.

Multiple off-street loading areas are adjacent to the existing building, and the applicant has proposed the reuse of these areas to support the three new commercial tenants. Per Section 44-05-01(A) (4) of the Homewood Zoning Ordinance, additional loading spaces are not required. The existing off-street

loading spaces meet the requirements for location, dimensions and circulation found in Section 44-05-03 of the Homewood Zoning Ordinance.

Landscaping: Per Section 44-05-05 of the Homewood Zoning Ordinance, this property is required to provide perimeter landscaping along 183<sup>rd</sup> Street, transition zone screening landscaping (as applicable), and foundation landscaping along the front elevation of the building. The applicant has proposed perimeter landscaping and transition zone landscaping as required.

The applicant has proposed the replacement of a 7' foundation landscaping area with concrete planters of landscaping materials to preserve the pedestrian access area in the front of the existing commercial building. The Zoning Ordinance grants the Director of Economic and Community Development the authority to permit alternative plantings where it is not suitable or appropriate to place foundation landscaping as proposed. The Appearance Commission reviewed the proposed landscaping for the site on August 1, 2024. The staff has requested product details for the concrete planters proposed in place of foundation landscaping in the front of the building. See *Recommended Planning and Zoning Commission Action*.

The proposed development does not require median landscaping, parking lot islands, and other parking area landscaping improvements. The Village Engineer has requested that bollards be installed surrounding all fire hydrants within the parking area.

Lighting: The site has five (5) existing parking lot light poles measuring approximately 25' in height. The existing building has security lighting located along the exterior of the building. The applicant has proposed to repair the existing light poles and replace existing fixtures with LED fixtures; no additional lighting changes are proposed.

The staff has requested a photometric plan to ensure sufficient lighting and minimal impacts on surrounding properties, including residential properties to the south, east, and north of the site. The applicant has stated that the final photometric plan will be submitted at the time of building permit submittal. This will include the lighting improvements for the Starbucks commercial outlot, 3047 183<sup>rd</sup> Street ("Lot 2") adjacent to the site. The photometric plans will capture any impacts between the two developments. See *Recommended Planning and Zoning Commission Action*.

Signage: There are two existing pylon/pole signs on the site. Under current Village requirements, only one pole/pylon sign is permitted on the site. However, the signs are legal non-conforming structures and both may be utilized by commercial tenants so long as no substantial alterations are made to the signs. The signs will be included in the total signage allowance for the site. The applicant has proposed wall signage for each of the three tenants on the front elevation of the building. The Village has issued sign permits for one of the two pylon signs and wall signage for Ollie's (3043 183<sup>rd</sup> Street). The total signage allowance for the site is 500 square feet (360' building frontage x 2.5, max. 500 sq. ft.).

Drainage: Staff has identified the need for additional stormwater runoff and drainage management across the large commercial site. Approximately 90% of the site is covered in impervious surfaces. Most surface runoff on the site drains toward the south (rear) property boundary, where a drainage channel funnels runoff into a large storm drain. The two commercial outlots subdivided from the original commercial parcel will provide their detention. All stormwater management on the subject site ("Lot 1") must meet the difference between the existing detention volume and what the code now requires, per the Village Engineer.

The Village Engineer has requested an underground detention system, with a manhole tied into the existing storm drain structure on the southern lot line of the property. The applicant is to provide a restrictor pipe to manage the flow rate into the existing drain structure, and to avoid impacts on existing stormwater retention and detention infrastructure in the region. The Director of Public Works has requested that the applicant perform maintenance on the concrete channel into the existing storm drain structure before the completion of the project.

The applicant must submit a revised site drawing with the location, dimensions, and details of the proposed stormwater improvements. These improvements must be completed after the opening of the first commercial tenant (Ollie’s) but before the issuance of certificates of occupancy for the entire commercial center. See *Recommended Planning and Zoning Commission Action*.

Utilities: The Director of Public Works has requested that each tenant have an individual water service line running to the front of their tenant space. This will require two additional water service lines, as only one line is tapped into the building. Each tenant will have an individual water meter. The Village Engineer has also requested that the fire hydrants on the site be moved closer to the building. The staff has requested a revised site plan and/or utility plan which indicates the revised water line placement. See *Recommended Planning and Zoning Commission Action*.

**ADDITIONAL STAFF COMMENTS**

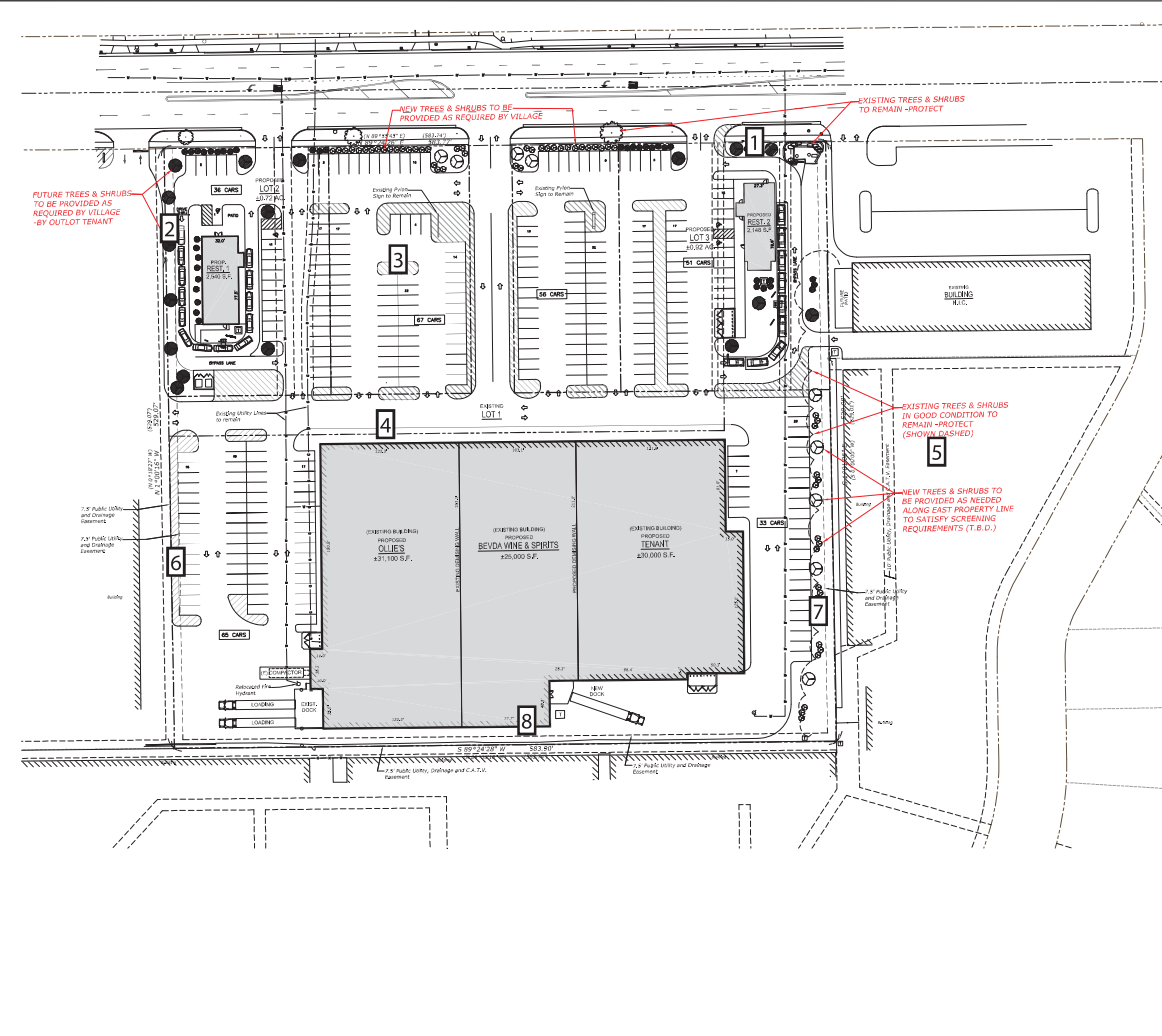
This Appearance Commission approved the proposed development on August 1, 2024.

**RECOMMENDED PLANNING & ZONING COMMISSION ACTION**

If the Planning and Zoning Commission finds that the proposed site plan is compliant with the Homewood Zoning Ordinance, the Village Comprehensive Plan, and all other applicable codes and standards outlined in the Village Code of Ordinances, the Commission may consider the following motion:

**Approve** Case 24-35, site plan review for 3041-3045 W 183<sup>rd</sup> Street, as proposed on the drawings submitted by Daniel Weinbach and Partners, Ltd., PFDA Architects, and John C. Robins Architects, subject to the following conditions:

1. A revised photometric plan with photometric values and lighting products for both Lot 1 (“Ollie’s”) and Lot 2 (“Starbucks”), compliant with all Village codes and ordinances, shall be submitted before the issuance of building permits for Lot 2 (“Starbucks”).
2. A revised site drawing including the location, dimensions, and details of the proposed stormwater improvements shall be submitted and approved by the Village Engineer prior to the issuance of a certificate of occupancy for any additional commercial tenant.
3. A revised utility plan, including the revised water service lines and relocated fire hydrants, shall be submitted and approved by the Village Engineer prior to the issuance of a certificate of occupancy for any additional commercial tenant.



LANDSCAPE KEY	
	FUTURE PLANTINGS -BY OWNER
	FUTURE PLANTINGS -BY OUTLOT TENANT
	EXISTING PLANTINGS TO REMAIN -PROTECT

**GENERAL OVERALL SITE DATA:**

TOTAL SITE AREA	27.09 ACRES
TOTAL G.J.A.	90,788 S.F.
EXISTING PROPOSED	86,100 S.F. 4,688 S.F.
TOTAL PARKING PROVIDED	308 CARS
PARKING RATIO	3.47 CARS / 1,000 S.F.

**LOT 1:**

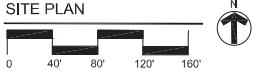
TOTAL SITE AREA	35.45 ACRES
TOTAL G.J.A.	86,100 S.F.
TOTAL PARKING PROVIDED	221 CARS
PARKING RATIO	2.57 CARS / 1,000 S.F.

**LOT 2:**

TOTAL SITE AREA	10.72 ACRES
TOTAL G.J.A.	2,540 S.F.
TOTAL PARKING PROVIDED	36 CARS
PARKING RATIO	16.93 CARS / 1,000 S.F.

**LOT 3:**

TOTAL SITE AREA	10.92 ACRES
TOTAL G.J.A.	2,148 S.F.
TOTAL PARKING PROVIDED	51 CARS
PARKING RATIO	23.74 CARS / 1,000 S.F.



2803 BUTTERFIELD RD.  
SUITE 300  
OAK BROOK, IL 60452  
TEL: (708) 706-0445  
FAX: (708) 706-4125

OWNER:

PROJECT:  
**COMMERCIAL DEVELOPMENT**

5500 N. HENRY ST.  
& HENRY AVE.  
HOMERIDGE, IL

PROPOSED SITE PLAN

NO.	REVISION/DESCRIPTION	DATE

CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF ALL UTILITIES AND SERVICES PRIOR TO CONSTRUCTION. ANY CHANGES TO BE MADE MUST BE APPROVED BY THE ARCHITECT AND ENGINEER.

DESIGNED BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_

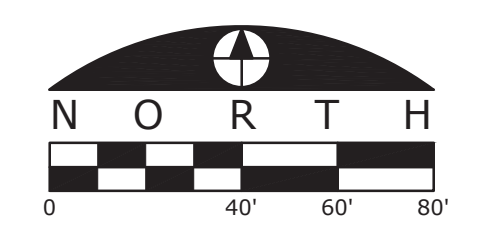
SHEET  
**SP20.0**  
JOB NO. XXXXX



OWNER INFORMATION  
Village of Homewood  
2020 Chestnut Road  
Homewood, IL 60430

# UPHAM SUBDIVISION PLAT 2

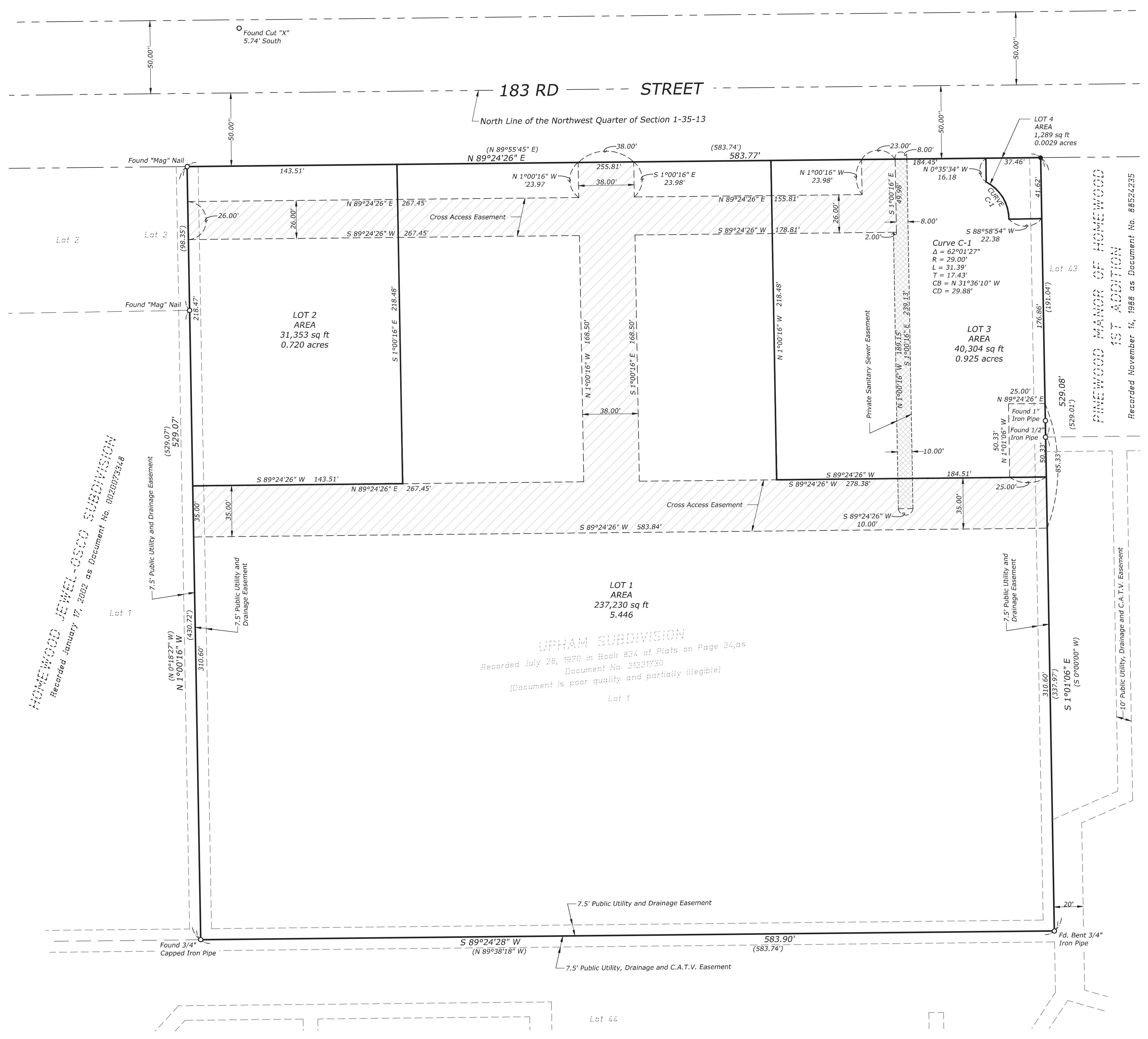
BEING A RESUBDIVISION OF LOT 1 OF UPHAM SUBDIVISION, IN PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 1, TOWNSHIP 35 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN COOK COUNTY, ILLINOIS



**ARC DESIGN**  
RESOURCES INC.

5291 ZENITH PARKWAY  
LOVES PARK, IL 61111  
VOICE: (815) 484-4300  
FAX: (815) 484-4303

www.arcdesign.com  
Illinois Design Firm License No. 184-001334



VICINITY MAP (Not to Scale)



HOMWOOD JEWEL-OSCO SUBDIVISION  
Recorded January 17, 2002 as Document No. 06200235448

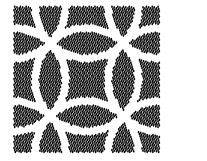
UPHAM SUBDIVISION  
Recorded July 28, 1970 in Book 824 of Plats on Page 24, as Document No. 21221730  
(Document is poor quality and partially illegible)

PINEWOOD MANOR OF HOMWOOD  
1ST ADDITION  
Recorded November 14, 1988 as Document No. 86524235

### SYMBOL LEGEND

- PROPERTY LINE
- SECTION LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- SETBACK LINE
- CENTER LINE
- SET SURVEY MONUMENT
- FOUND SURVEY MONUMENT
- MONUMENT RECORD DISTANCE
- MEASURED DISTANCE
- CROSS ACCESS EASEMENT
- PRIVATE SANITARY SEWER EASEMENT

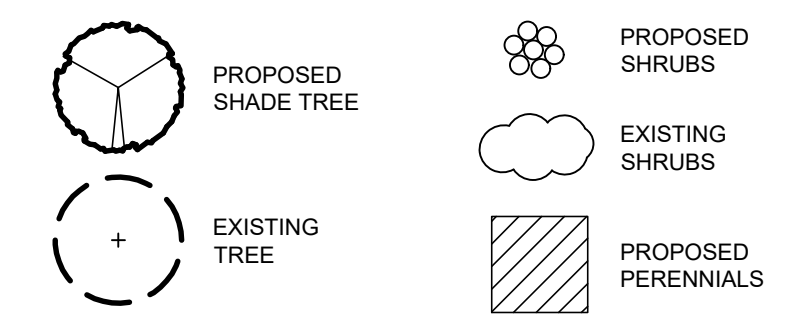




**DANIEL WEINBACH & PARTNERS, LTD.**  
Landscape Architects

1142 W. Madison Ave.  
Suite 206  
Chicago, IL 60607  
312 427-2888  
www.dwpitd.com

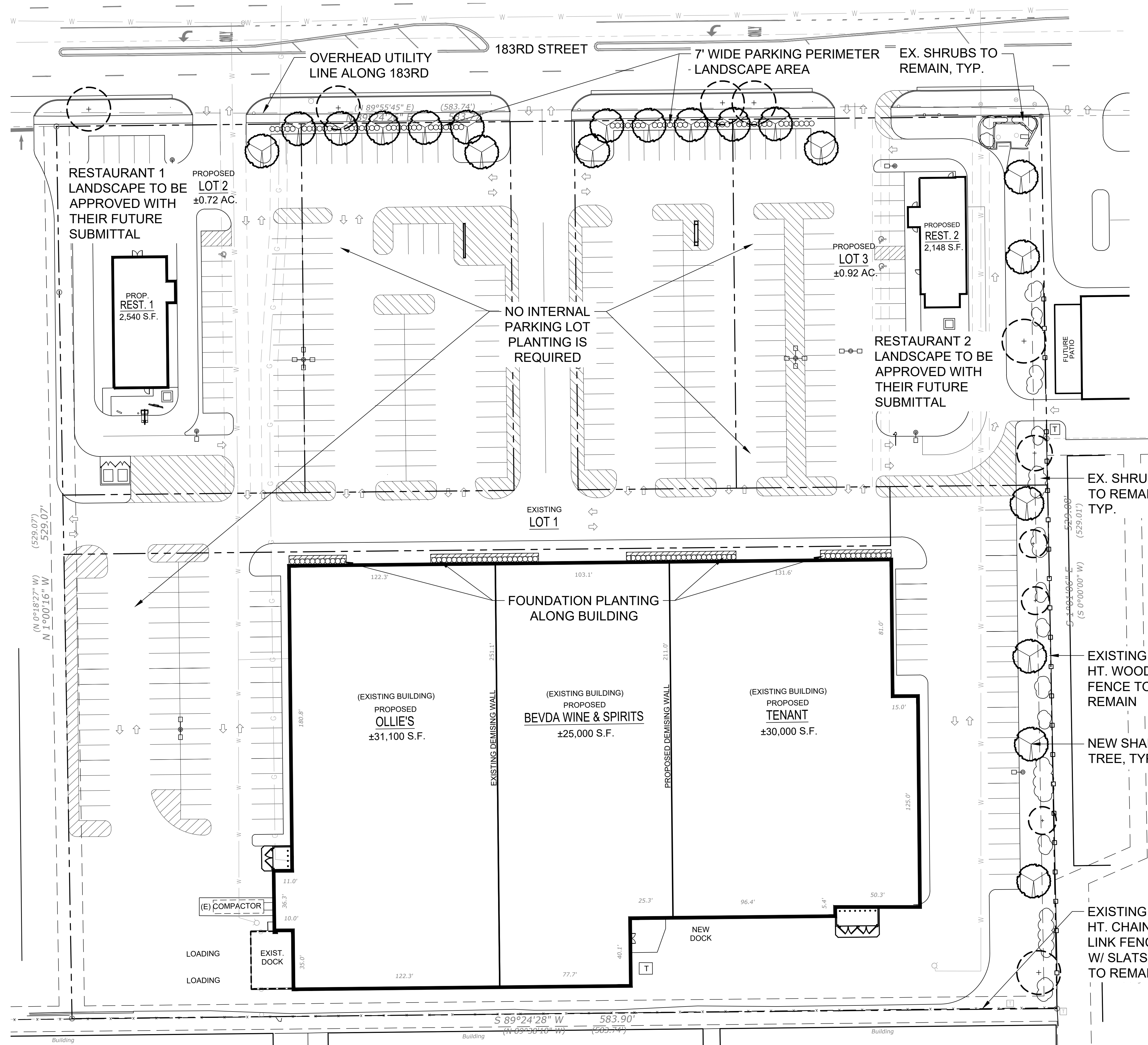
**KEY**



**PLANT PALETTE**

BOTANICAL NAME	COMMON NAME	SIZE	ADDITIONAL NOTES
<b>DECIDUOUS TREES</b>			
CELEBRIS CAROLINIANA (N)	AMERICAN HORNBEAM	2.5" CALIPER	BRANCHED UP 6'
CELTIS OCCIDENTALIS (N)	COMMON HACKBERRY	2.5" CALIPER	BRANCHED UP 6'
GYMNOCLADUS DIOICUS (N)	KENTUCKY COFFEETREE	2.5" CALIPER	BRANCHED UP 6'
OSTRYA VIRGINIANA (N)	AMERICAN HOPHORNBEAM	2.5" CALIPER	BRANCHED UP 6'
POPULUS TREMULOIDES (N)	QUAKING ASPEN	2.5" CALIPER	BRANCHED UP 6'
QUERCUS BICOLOR (N)	SWAMP WHITE OAK	2.5" CALIPER	BRANCHED UP 6'
SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	2.5" CALIPER	TREE FORM, BRANCHED 6'
<b>DECIDUOUS SHRUBS</b>			
ARONIA MELANOCARPA (N)	BLACK CHOKEBERRY	30" HT x 30" W	
CORNUS STOLONIFERA (N)	RED OSIER DOGWOOD	30" HT x 30" W	
DIERVILLA LONICERA (N)	DWARF BUSH HONEYSUCKLE	30" HT x 30" W	
HYDRANGEA ARBORESCENS (N)	WILD HYDRANGEA	30" HT x 30" W	
RHUS AROMATICA (N)	FRAGRANT SUMAC	5 GALLON	
SYRINGA MEYERI 'PALIBAN'	DWARF KOREAN LILAC	30" HT x 30" W	
<b>PERENNIALS</b>			
ASCLEPIAS SP. (N)	MILKWEED	1 GALLON	
ALLIUM CERNUUM (N)	NODDING ONION	1 GALLON	
ECHINACEA 'MAGNUS'	MAGNUS PURPLE CONEFLOWER	1 GALLON	
LIATRIS 'KOBOLD'	KOBOLD SPIKED GAYFEATHER	1 GALLON	
RUDBECKIA SP. (N)	BLACK EYED SUSAN	1 GALLON	
<b>GRASSES</b>			
SPOROBOLUS HETEROLEPIS (N)	PRAIRIE DROPSEED	1 GALLON	

(N) - DENOTES NATIVE PLANT  
\*\*ALL PLANT MATERIAL WILL BE SELECTED FROM THIS PLANT PALETTE



Revisions
8.
7.
6.
5.
4.
3.
2.
1. ISSUED FOR OWNER REVIEW 07/07/11

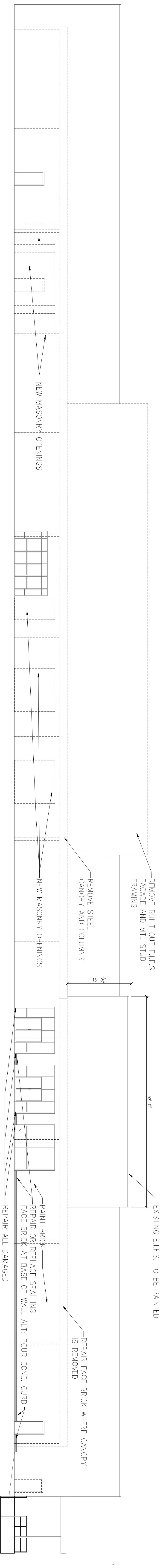
Project  
**183RD & KEDZIE RETAIL**  
S.E. CORNER OF 183RD & KEDZIE AVE  
HOMewood, ILLINOIS

Sheet Title  
**PRELIMINARY LANDSCAPE PLAN**

Date 07/11/24	Project No. DWP 24-145
Scale 1" = 30'-0"	Sheet No. <b>L100</b>
Drawn By EHB	
Approved WS	

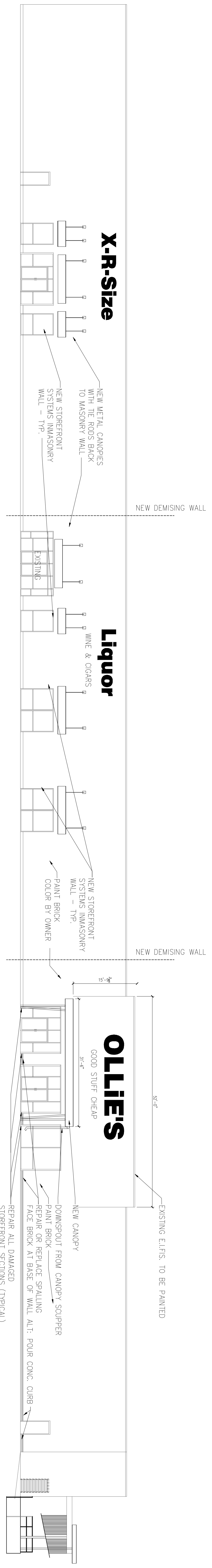
**1 PRELIMINARY LANDSCAPE PLAN**  
SCALE: 1" = 30'-0"



**1 FRONT ELEVATION DEMO**  
SCALE: 3/16" = 1'-0"

I hereby certify that these plans were prepared under my direction and to the best of my knowledge and belief conform to the Village of Homewood, Illinois Building Codes and Ordinances.



**1 FRONT ELEVATION PROPOSED**  
SCALE: 3/16" = 1'-0"

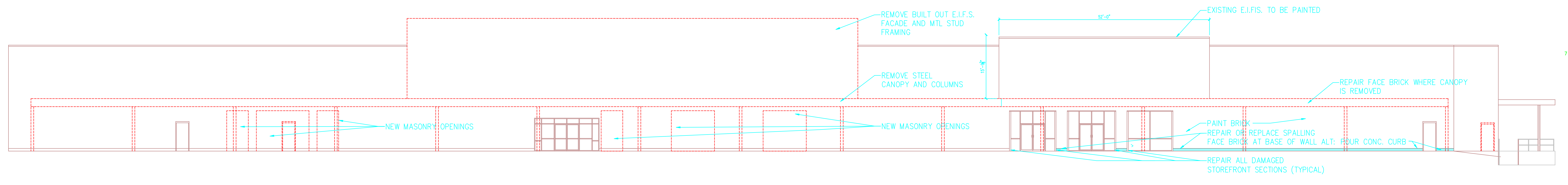
**REMODEL OF:**  
3045 183 rd St.  
HOMEWOOD IL  
60430

**John C. Robins**  
**ARCHITECT**  
395 Poplar Ave.  
Elmhurst IL 60126  
630-632-1371  
johnrchitect@gmail.com

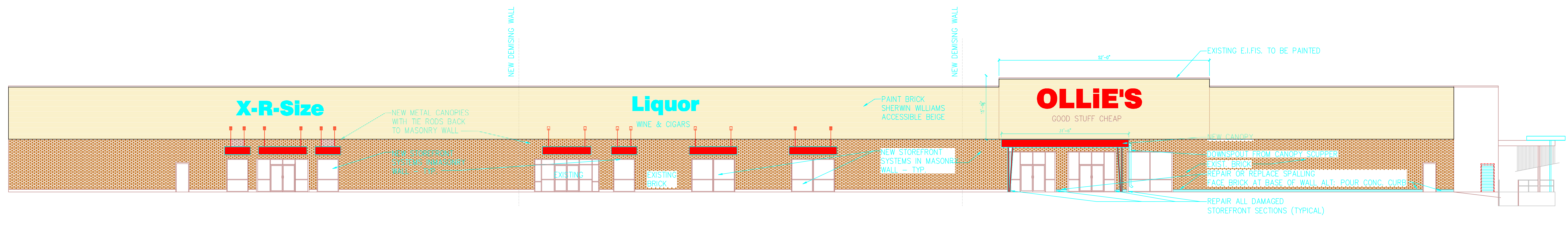
<b>FRONT ELEVATIONS</b>	JOB NO. 2402
	DATE: 2.24.2024

**A-4**

DRAWN BY:	JR	
CHECKED BY:		
NO.	DATE	DESCRIPTION
	7.10.24	REVIEW



**FRONT ELEVATION DEMO**



**FRONT ELEVATION PROPOSED**

I hereby certify that these plans were prepared under my direction and to the best of my knowledge and belief conform to the Village of Homewood, Illinois Building Codes and Ordinances.

**REMODEL OF:**  
**3045 183 rd St.**  
**HOMWOOD IL**  
**60430**

**John C. Robins**  
**ARCHITECT**  
 395 Poplar Ave.  
 Elmhurst IL 60126  
 630-632-1371  
 johnrarchitect@gmail.com

<b>FRONT ELEVATIONS</b>	JOB NO.: 2402
	DATE: 2.24.2024

**E1**

## ALLP1

### Applications

The ALLP1 is a cost-effective area light designed to offer optimal flexibility to the customer. The ALLP1 provides multiple combinations of options to maximize labor and energy savings. The ALLP1 Area Light provides uniform distribution for area and site lighting in retail, commercial, and residential applications including driveways and parking areas.

Project Name:	
Catalog Number:	
Type:	
Note:	
Date:	



ALLP1B1UNVFD8CSBRT43CRSP



IP65



FIELD ADJUSTABLE  
WATTAGE/LIGHT  
OUTPUT AND CCT



### Construction & Design

- Type II, III, IV, and Type V light distributions
- Field selectable lumens provide a late point adjustment at the installation site
- 12,000 to 42,000 lumens
- Nine lumen packages
- Precision engineered lens made of optical grade polycarbonate for maximum light intensity
- Anti-corrosion stainless steel hardware
- Heavy duty die-cast aluminum housing with external heat-sink for optimal thermal management
- Fixture comes standard in bronze
- Field selectable CCT between 3000K, 4000K or 5000K
- Minimum 80 CRI
- Efficacy up to 158 LPW

### Additional Options

- Lens field install kits for each light distribution type (Type II, III, IV, V)
- Multiple mounting options
- Light shield kit options

### Electrical

- Available in 120v-277v and 277v-480v
  - 10kV/5kA Surge Protection Standard
  - Power Factor >0.90\*
  - Total Harmonic Distortion < 20%\*
- \*Note: Varies based on option

### Control and Sensor Options

- Factory installed NEMA 3-pin photocell receptacle comes standard (shorting cap included)
- Photo control and occupancy sensor options available
- Fixture comes sensor ready for field installed Motion sensor options

### Lumen Maintenance

See lumen maintenance table on page 2

### Fixture Certifications & Listings

- UL/cUL Wet Locations
- IK08 Impact Rating
- IP65 Rated
- 3.0G Vibration load rating per ANSI C136.31
- DarkSky Compliant. 3000K must be selected with direct pole mount to meet International DarkSky Association approval criteria
- DesignLights Consortium™ Premium qualified luminaire
- Visit the [DLC QPL](#) for listed models

### Warranty

See Orion's [Product Limited Warranty](#) for more details and information



**ALLP1**

Ordering Information Example (NOTE: No dashes or spaces unless noted below)

**ALLP1B1UNVFD8CST43CRSP**

Ordering Information

Series	Nominal Lumen Code <sup>4</sup>	Voltage	Driver Type	CRI; Color Temp	Fixture Colors	Light Distribution	Standard Factory Installed	Packaging Options
<b>ALLP1=</b> HARRIS LED Lumen Select Area Light, Gen 1	<b>A1=</b> Lumen Selectable 12,000 lm/ 14,000 lm <b>B1=</b> Lumen Selectable 15,000 lm/ 20,000 lm <b>C1=</b> Lumen Selectable 24,000 lm/ 28,000 lm <b>D1=</b> Lumen Selectable 32,000 lm/ 36,000 lm/ 42,000lm	<b>UNV=</b> 120v-277v <b>HMV=</b> 277v-480v	<b>FD=</b> Full Dimming	<b>8CS=</b> 80CRI; Color Selectable 3000K / 4000K / 5000K	<b>BR=</b> Bronze	<b>T2=</b> Type II <b>T3=</b> Type III <b>T4=</b> Type IV <b>T5=</b> Type V	<b>3CR=</b> 3-Pin Universal NEMA Receptacle and Sensor Ready** <sup>5</sup>	<b>SP=</b> Single Pack
<p><b>*Note:</b> All fixtures are set to max lumen range output at 5000K at the factory EX: ALLP1A1=14,000 at 5000K]      <b>**Note:</b> See Page 5 for Photocell and Motion Sensor Options</p>								

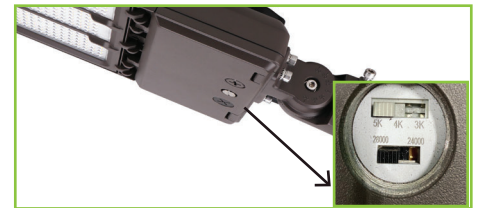
Fixture Options (Factory Installed)



3-Pin NEMA Receptacle (includes shorting cap)



Motion Sensor Ready



Field Selectable Lumens and CCT

Additional Specification Information

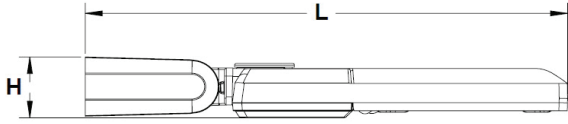
<sup>4</sup> For actual lumens, see performance table

<sup>5</sup> Use of Sensor and Photocell together is not recommended

## ALLP1

### Fixture with Mounting Dimensions and Physical Information

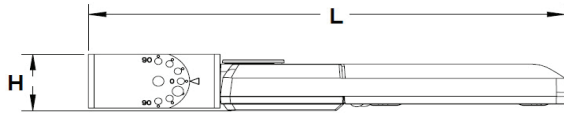
#### Slipfitter Mount (EXT-ALLP-SFT)



Lumen Code	Length	Height	Width	Weight	EPA [side @ 0°]
A1/B1/C1	22.51"	2.93"	11.18"	10.40lbs.	.64 ft <sup>2</sup>
D1	26.53"	2.93"	13.97"	13.60lbs.	.77 ft <sup>2</sup>

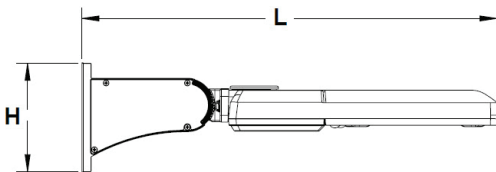
**Note:** This slipfitter can adapt to 2-3/8" tenons.

#### Trunnion Mount (EXT-ALLP-TRN)



Lumen Code	Length	Height	Width	Weight	EPA [side @ 0°]
A1/B1/C1	21.60"	2.88"	11.18"	12.10lbs.	.63 ft <sup>2</sup>
D1	25.62"	2.88"	13.97"	13.97lbs.	.92 ft <sup>2</sup>

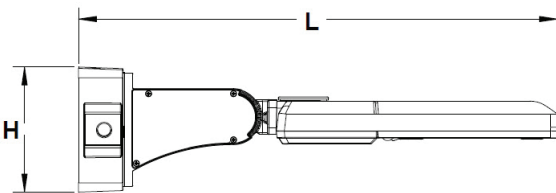
#### Adjustable Arm Mount (EXT-ALLP-ADJ)



Lumen Code	Length	Height	Width	Weight	EPA [side @ 0°]
A1/B1/C1	24.15"	6.30"	11.18"	11.40lbs.	.80 ft <sup>2</sup>
D1	28.17"	6.30"	13.97"	14.60lbs.	.75 ft <sup>2</sup>

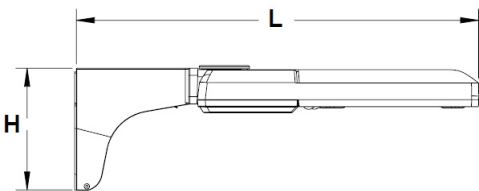
**Note:** This mounting kit can adapt to round poles [3">5" diameter and square poles [min. 3"]

#### Adjustable Wall Mount (EXT-ALLP-WM)



Lumen Code	Length	Height	Width	Weight	EPA [side @ 0°]
A1/B1/C1	26.63"	6.94"	11.18"	13.60lbs.	.89 ft <sup>2</sup>
D1	30.65"	6.94"	13.97"	16.80lbs.	1.01 ft <sup>2</sup>

#### Direct Pole Mount (EXT-ALLP-DPM)



Lumen Code	Length	Height	Width	Weight	EPA [side @ 0°]
A1/B1/C1	23.70"	6.94"	11.18"	13.00lbs.	.75 ft <sup>2</sup>
D1	27.50"	6.94"	13.97"	16.20lbs.	.87 ft <sup>2</sup>

**Note:** This mounting kit can adapt to round poles [3">5" diameter and square poles [min. 3"]







# VILLAGE OF HOMEWOOD



## MEMORANDUM

DATE OF MEETING: September 12, 2024

**To:** Planning and Zoning Commission

**From:** Noah Schumerth, Assistant Director of Economic and Community Development

**Through:** Angela Mesaros, Director of Economic and Community Development

**Topic:** Case 24-30: Special Use Permit for Drive-Through Facility, Starbucks, 3047 W 183<sup>rd</sup> Street



## APPLICATION INFORMATION

APPLICANT	Homewood Retail Management, LLC
ACTION REQUESTED	Special Use Permit, Drive-Through Facility
ADDRESS	3047 W 183 <sup>rd</sup> Street
PIN	31-01-100-012-0000

## ZONING & LAND USE

SUBJECT PROPERTY	ZONING	LAND USE
CURRENT	B-3 General Business	Vacant
PROPOSED	B-3 General Business	Drive-Through Restaurant
SURROUNDING	N: R-1 Single-Family Residential	Single-Family Residential
	E: B-3 General Business	Retail/Commercial (Ollie’s Lot)
	S: B-3 General Business	Retail/Commercial (Ollie’s Lot)
	W: B-3 General Business	Retail/Commercial (Jewel Osco)

## LEGAL NOTICE

Legal notice was published in *Daily Southtown* on August 28, 2024; letters were sent to property owners and residents within 250’. The Village sent letters to 280 property owners.

**DOCUMENTS FOR REVIEW**

Title	Pages	Prepared by	Date
Application	3	George Arnold, Applicant	08/20/2024
Standards for Special Use	2	George Arnold, Applicant	08/20/2024
Site Plan	1	Arc Design Resources Inc.	08/15/2024
Landscape Plan	1	Arc Design Resources Inc.	08/27/2024
Renderings	1	Shremshock Architects, Inc.	08/13/2024
Staff Exhibits	2	Noah Schumerth, Asst. Dir. ECD	09/05/2024

**BACKGROUND**

The applicant, Homewood Retail Management, LLC, has proposed the construction of a new drive-through coffee restaurant on a commercially-zoned outlot at 3047 W 183<sup>rd</sup> Street. Starbucks Coffee will occupy the 2,424-square-foot building. The building will be served with a single drive-through service window. According to Table 44-03-04 of the Homewood Zoning Ordinance, a drive-through facility requires a Special Use Permit before operation.

**DISCUSSION**

**Site Context**

The subject property is located on a commercially-zoned outlot (B-3 General Business), formed from a recently approved resubdivision of the original “Brunswick Zone/Big Lots” retail center at 3043-3055 W 183<sup>rd</sup> Street. The new building will be constructed on an area utilized for parking for the retail property. The outlot site is approximately 0.72 acres (31,353 square feet) in area. The site has approximately 143 feet of frontage along 183<sup>rd</sup> Street.

**Drive-Through Facility Zoning Analysis**

The proposed 2,424-square-foot building will be a drive-through facility. Section 44-04-14.F of the Homewood Zoning Ordinance states criteria for all drive-through facilities constructed in the Village, which are to be considered for a Special Use Permit for such use.

*Design and Layout*

The drive-through will have a service window on the east side of the lot, with queueing spaces wrapping around the south and west sides of the building. The drive-through will have a single 12’ service lane bordered by 6” curbs to protect surrounding menu boards and other infrastructure. The drive-through will be accessed from internal drives on the site, and will not have direct access from a public street or right-of-way.

Staff finds that all criteria for the drive-through facility layout and design in Section 44-04-14.F.1 are met.

### *Stacking*

The drive-through restaurant use is required to provide a minimum of six (6) stacking spaces per order box. The proposed use has one order box for a single-lane drive-through. The proposed site has six (6) stacking spaces provided which do not interfere with any site circulation, including the emergency ingress/egress lane for the drive-through located at the rear of the site. The Homewood Zoning Ordinance requires a minimum of four (4) stacking spaces between the pick-up window and order box; there are five (5) proposed on the subject site.

Staff finds that all criteria for drive-through stacking in Section 44-04-14.F.2 are met.

### *Menu Boards*

The applicant has proposed two (2) digital display menu boards that meet the maximum permitted. The menu boards will be 28.1 square feet and 10.1 square feet in area as proposed.

Staff finds that all criteria for menu board design in Section 44-04-14.F.3 are met.

### *Overhead Canopy*

The applicant has proposed a partial canopy over the pick-up window of the drive-through. The canopy will be constructed with grey powder-coated aluminum used on other portions of the building, and be located 11' above grade, which is at an identical height to the pedestrian canopy across the front and side of the building. The canopy includes recessed ceiling-mounted lighting for safety and visibility.

Staff finds that all criteria for overhead canopy design in Section 44-04-14.F.4 are met.

### *Screening*

The drive aisles of the drive-through facility are required to provide screening landscaping adjacent to the public right-of-way. The applicant has provided suitable shrub plantings near the drive aisle entry to the site to screen the drive-through from the public right-of-way. This screening has also been suitably designed to reduce the impact of the drive-through on residential properties across 183<sup>rd</sup> Street from the drive-through facility. The drive-through is also screened with median landscaping, including native grass plantings, between the parking area and the drive-through facility. The Village Arborist has reviewed and approved the proposed plantings.

Staff finds that all criteria for screening in Section 44-04-14.F.5 are met.

### **Special Use Standards**

Drive-through facilities are subject to review against standards for special use permits to ensure that negative external impacts are mitigated and the site is suitable for the proposed use. The applicant is required to respond to how the proposed development will meet the standards of Section 44-07-11 of the Village zoning ordinance. No special use shall be granted by the Village Board unless the special use:

(1) Is the special use deemed necessary for the public convenience at that location?

(2) Will the special use be detrimental to the economic welfare of the community? The proposed use is unique to the area of Homewood in which it is located and will benefit the economic welfare of the community by generating sales and property tax revenue and creating jobs. The proposal increases the utilization of the former “Brunswick Zone” retail site, which has been vacant for more than 10 years.

(3) Will the special use be consistent with the goals and policies of the comprehensive plan and other adopted plans of the village?

(4) Is the special use at the subject property so designed, located, and proposed to be operated, that the public health, safety, and welfare will be protected? The proposed drive-through has adequate screening to mitigate potential noise or light impacts from the proposed use. Order boxes and audio equipment will be located away from nearby residential properties. Traffic circulation, including emergency ingress and egress, is not affected by the design of the proposed drive-through facility.

(5) Is the special use a suitable use of the property and, without the special use, could the property will be substantially diminished in value? The proposed drive-through restaurant will be located in a vacant parking area surrounding by other compatible commercially zoned uses. The restaurant business is unlikely to be profitable without the drive-through facility.

(6) Will the special use cause substantial injury to the value of other property in the neighborhood in which it is located?

(7) Will the special use be consistent with the uses and community character of the neighborhood surrounding the subject property? The use is surrounded by other commercial uses primarily designed to be accessed by vehicles. The use will complement surrounding retail and commercial uses. Similar uses, including a McDonald’s restaurant with a drive-through, are located in the immediate vicinity of the use.

(8) Will the special use be injurious to the use or enjoyment of other property in the neighborhood for the purposes permitted in the zoning district? The use has provided adequate screening to avoid impacts on neighboring residential property. The property will not impede circulation and/or general enjoyment of surrounding commercial property.

(9) Will the special use impede the normal and orderly development and improvement of surrounding properties for uses permitted in the zoning district? The development is part of a proposed redevelopment project for the former “Brunswick Zone” retail site, with other similar uses being developed in the immediate vicinity.

(10) Does the proposed special use at the subject property provides adequate measures of ingress and egress in a manner that minimizes traffic congestion in the public streets? The drive-through use does not have direct ingress or egress onto a public street, and circulation and additional stacking is provided to mitigate congestion onto surrounding streets.

(11) Is the subject property adequately served by utilities, drainage, road access, public safety and other necessary facilities to support the special use? The site will have additional utility build-out necessary to support the use.

(12) Will the special use have a substantial adverse effect on one or more historical, archeological, cultural, natural or scenic resources located on the parcel or surrounding properties? N/A.

**Staff has reviewed the applicant's responses to the Standards of Special Use and finds that all standards for approval have been met.**

### STAFF COMMENTS

The proposed project at 3047 W 183<sup>rd</sup> Street requires the following additional approvals:

- Appearance Review approval by the Appearance Commission
- Site Plan Review approval by the Planning and Zoning Commission

The recommendation of the Planning and Zoning Commission for this proposed Special Use Permit will be forwarded to the Village Board of Trustees for consideration.

### FINDINGS OF FACT

The staff has prepared the following *draft* Findings of Fact following the standards outlined in Section 44-07-11(b) of the Homewood Zoning Ordinance. After consideration of public testimony, the following Findings of Fact (as proposed or amended) may be entered into the public record:

1. The subject property is located at 3047 W 183<sup>rd</sup> Street.
2. The subject property is within the B-3 General Business zoning district.
3. Drive-through facilities are allowed as a special use in the B-3 General Business zoning district.
4. The subject property is 0.72 acres.
5. The subject property will be located on a new parcel created from the Upham Subdivision approved by the Village Board of Trustees.
6. The applicant has proposed a 2,424-square-foot drive-through building for one tenant.
7. The proposed drive-through facility meets the standards for layout and design, stacking, menu board placement and design, overhead canopy design, and screening requirements outlined in Section 44-04-14.F of the Homewood Zoning Ordinance.
8. The proposed drive-through facility is to be constructed in general conformity with the following plans as they have been submitted:
  - Site Plan, prepared by Arc Design Resources Inc., dated 08/15/2024
  - Landscape Plan, prepared by Arc Design Resources, dated 08/27/2024
  - Lighting Plan, prepared by Shremshock Architects, Inc., dated 08/15/2024

**RECOMMENDED PLANNING & ZONING COMMISSION ACTION**

If the Commission finds that the request meets the standards for special use, the Planning and Zoning Commission may consider the following motion:

Recommend **approval** of Case 24-30 to grant a Special Use Permit for a Drive-Through Facility in the B-3 General Business zoning district for “Starbucks” at 3047 W 183<sup>rd</sup> Street;

**AND**

Incorporate the Findings of Fact into the record.

# NON-RESIDENTIAL ZONING REVIEW PROCESS AND REQUIREMENTS



2020 Chestnut Road, Homewood, IL 60430

## APPLICATION CHECKLIST

For all applications, provide the following:

- |  |   |   |
|--|---|---|
| <input checked="" type="checkbox"/> Completed application form | <input type="checkbox"/> Proof of ownership, or<br>Letter of authorization by the owner | <input type="checkbox"/> Materials, as listed below |
| <input type="checkbox"/> Plat of survey with legal description |   | <input type="checkbox"/> Payment of fee             |

Based on each action(s) requested, provide the required materials listed below. Staff reserves the right to request additional materials, as required by the scope of the request, to make an informed decision.

### Special Use, Limited Use, Temporary Use

- Site plan
- Conceptual floor plan
- Completed worksheet responding to applicable standards or review criteria
- Narrative describing the proposed use, including:
  - services provided
  - hours of operations
  - anticipated average and peak capacity

### Variance

- Site plan
- Conceptual floor plan
- Completed worksheet responding to standards
- Letters of support from neighbors, optional

### Site Plan Review

- Site plan or survey of existing conditions
- Site plan of proposed development
- Conceptual floor plan(s)
- Landscape plan, existing and proposed, if impacted by changes

### Text or Map Amendment

- Site plan
- Conceptual floor plan
- Narrative describing the proposed land use requiring the amendment to the zoning text or map
- Completed worksheet responding to applicable standards

### Planned Development

- Proposed plat of record for lot consolidation or subdivision
- Directory of all development team members/consultants with contact information
- Site plan or survey of existing conditions
- Site plan of proposed development
- Conceptual floor plan(s)
- Transportation Impact Study
- Village Impact Study
- Studies or reports by outside agencies

## APPEARANCE REVIEW

For applications requiring Appearance Review, submit the following materials:

- |  |  |
|--|--|
| <input type="checkbox"/> Completed Appearance Commission application form  | <input type="checkbox"/> Material palette board (digital), showing, as applicable: |
| <input type="checkbox"/> Narrative describing the proposed new or changed to elevations, landscaping, lighting, and/or signage | <input type="checkbox"/> building materials  |
| <input type="checkbox"/> Elevation and/or plan drawings showing the existing and proposed conditions                           | <input type="checkbox"/> plants and landscape materials                            |
| <input type="checkbox"/> Photometric plan for new or changes to exterior lighting  | <input type="checkbox"/> cut sheets for lighting fixture                           |
|  | <input type="checkbox"/> cut sheets for site furnishings                           |





# VILLAGE OF HOMEWOOD

APPL **Item 5. B.**

# NON-RESIDENTIAL ZONING REVIEW

2020 Chestnut Road, Homewood, IL 60430

## PROPERTY INFORMATION

**Street Address:** 3047 W. 183rd Street, Homewood, IL 60430

**Property Index Number(s):** 31-01-100-012-0000

**Lot Size:** 31,353 sq. ft. 0.72 acres  
*If the subject property is multiple lots, provide the combined area.*

**Zoning District:**  
 R-1  R-2  R-3  R-4  B-1  B-2  B-3  B-4  M-1  M-2  PL-1  PL-2

Complete this section to determine your required review(s):

Is the subject property more than one lot held in common ownership?  
 yes  no  
 → *If yes, lots held in common ownership should be consolidated*

*A Planned Development is required for development of lots >25,000 sf or located in the B-1 or B-2 Zoning Districts.*

## REQUESTED USE

**Requested Use:** Starbucks drive-through restaurant with outdoor patio

**Gross Floor Area:** 2,450 sq. ft. **Parking Provided:** 26

**Existing Use:** Vacant lot

The requested use is:  
 Permitted  
 Limited  
 Special  
 Other:

## SITE OR BUILDING CHANGES

**Existing Development:** Vacant lot

**Proposed Development** *Check all that apply. Provide a description and metrics below.*  
 New Construction  Addition  Site Alterations  Exterior Building Alterations

Starbucks drive-through restaurant

Development Metrics	Existing	Proposed
Gross Floor Area (sq. ft.):	<u>0</u>	<u>2,450</u>
Parking Spaces	<u>0</u>	<u>26</u>
Lot Coverage		
Impervious Area (sq. ft.)		
Impervious Coverage (%)	<u>0.0%</u>	<u>0.0%</u>

New construction?  
 yes  no  
 → *If yes, requires Site Plan Review*

Floor area increase is 20% or more?  
 yes  no  
 → *If yes, requires Site Plan Review*

Does the applicant elect to proceed as a Planned Development?  
 yes  no

Is site circulation or parking impacted?  
 yes  no  
 → *If yes, requires Site Plan Review*

Is site landscaping impacted?  
 yes  no  
 → *If yes, requires Site Plan Review*

Exterior building alterations?  
 yes  no  
 → *If yes, requires Appearance Review*

## ZONING RELIEF OR CHANGES

**Zoning Variance or Amendment** *Describe any requested zoning relief or changes below.*

The applicant requests:  
 Variance  
 Administrative Exception  
 Zoning Text Amendment  
 Zoning Map Amendment



**APPLICANT**

Name George J. Arnold  
 Company Sosin, Arnold & Schoenbeck, Ltd.  
 Address 9501 W. 144th Place, Suite 205  
Orland Park, IL 60462  
 Phone (708) 448-8141  
 Email garnold@sosinarnold.com  
 Role Attorney

**PROPERTY OWNER**

Name \*Homewood Retail Management LLC  
 Company \*contract purchaser  
 Address 30200 Telegraph Rd.; Suite 205  
Bingham Farms, MI 48025  
 Phone (248) 643-4444  
 Email teamrachel@alrigusa.com

Check box if the applicant is the property owner

I acknowledge and attest that:

- » All the information and exhibits submitted with this application are true and accurate to the best of my knowledge;
- » Village representatives are permitted to make reasonable inspections of the subject property necessary to process this application;
- » I agree to pay all required fees;
- » No work may be done without first obtaining a Building Permit. All work shall be completed in accordance with Village Codes and Ordinances.

George J. Arnold  
 Applicant Name

*George J. Arnold*  
 Applicant Signature

08/19/2024  
 Date

**Staff Notes**

*Do not write below this line.*

Fee: \_\_\_\_\_  Paid Date Received: \_\_\_\_\_

CASE NO: \_\_\_\_\_ REQUEST: \_\_\_\_\_  
 Approved  Approved with Conditions  Denied Date: \_\_\_\_\_  
 Comments/ Conditions:

CASE NO: \_\_\_\_\_ REQUEST: \_\_\_\_\_  
 Approved  Approved with Conditions  Denied Date: \_\_\_\_\_  
 Comments/ Conditions:

CASE NO: \_\_\_\_\_ REQUEST: \_\_\_\_\_  
 Approved  Approved with Conditions  Denied Date: \_\_\_\_\_  
 Comments/ Conditions:

This application has zoning approvals and may proceed to obtain Building Permits or a Certificate of Occupancy.

Name: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_



# STANDARDS FOR: SPECIAL USE

2020 Chestnut Road, Homewood, IL 60430

<b>Street Address:</b> 3047 W. 183rd Street	Homewood, IL 60430
<b>Requested Use:</b> Starbucks drive-through restaurant	Area: 31353 sq. ft.
<b>Business Name:</b> Homewood Retail Management LLC (contract purchaser)	
<b>Applicant Name:</b> George J. Arnold	Date: 08/19/2024

Provide responses to each question below using complete sentences and specific to the proposed business and selected location.

The Planning and Zoning Commission and Village Board shall consider the following responses to the Standards for a Special Use in evaluating the application. No one is controlling.

1. Is the special use deemed necessary for the public convenience at this location?

*Describe why this location is best-suited for your business to serve the community.*

Yes, having a drive-through as part of the Starbucks restaurant is necessary for the operation at this location, and it will provide convenience to the public.

2. Is the special use detrimental to the economic welfare of the community?

*Will the business have a negative impact on other businesses?*

No, there will not be any negative impact on other business. The Starbucks will be complimentary to nearby businesses.

3. Will the special use be consistent with the goals and policies of the Comprehensive Plan?

*Describe how your business fits with the goals and policies summarized on the attached sheet.*

Yes, the Starbucks restaurant meets the goals and policies of the Comprehensive Plan, including bringing a new restaurant establishment to a currently undeveloped, vacant lot.

4. Is the special use so designed, located, and proposed to be operated, that the public health, safety, and welfare will be protected?

*Describe any negative impacts, external to your business, that may result from it operating at this location.*

Yes.

5. Is the special use a suitable use of the property, and will the property will be substantially diminished in value without the special use?

*Describe why your business is best-suited for your this property.*

The lot area to be used is currently a vacant parking lot and the Starbucks restaurant will enhance the surrounding and neighboring properties.

6. Will the special use cause substantial injury to the value of other property in the neighborhood in which it is located?

*Will your business decrease the value of other properties?*

No.

7. Will the special use be consistent with the uses and community character of the neighborhood surrounding the property?

*Describe how your business is compatible with its neighbors.*

Yes, the Starbucks restaurant is compatible with neighbors, including a Jewel-Osco, a Ford dealership, a McDonald's, and a Popeye's.

8. Will the special use be injurious to the use or enjoyment of other property in the neighborhood for the purposes permitted in the zoning district?

*Describe any negative impacts, external to your business, that may result from it operating at this location.*

No.

9. Will the special use impede the normal and orderly development and improvement of surrounding properties for uses permitted in the zoning district?

*Describe any negative impacts, external to your business, that may result from it operating at this location.*

No.

10. Does the special use provide adequate measures of ingress and egress in a manner that minimizes traffic congestion in the public streets?

*Describe how will customers get to and from your business.*

Yes, the site plan includes ingress/egress to 183rd Street, as well as the surrounding parking lot.

11. Is the special use served by adequate utilities, drainage, road access, public safety and other necessary facilities?

*A new business going into an existing development, may answer 'no.'*

Yes.

12. Will the special use substantially adversely affect one or more historical, archaeological, cultural, natural or scenic resources located on the parcel or surrounding properties?

*A new business going into an existing development, may answer 'no.'*

No.

## 1999 COMPREHENSIVE PLAN

*Below is an excerpt of the 1999 Comprehensive Plan containing those goals and objectives related to land use and community economic development which may be informative in the evaluation of special use permits.*

### Goal 1 - Land Use and Community Economic Development

Promote development of all remaining undeveloped property within the Village of Homewood for sound and orderly residential, commercial, and industrial development consistent with the Comprehensive Plan and the Future Land Use Map.

#### Objectives

- 1.1 - Recruit additional appropriate retail and industrial development for designated vacant commercial and industrial areas shown on the Future Land Use Map [current zoning map].
- 1.2 - Prepare a streetscape right-of-way plan for 183rd Street from the intersection of Dixie Highway to Governor's Highway to establish commercial "entryways" into the downtown central business district.
- 1.3 - Complete a plan to assess the potential for the Downtown to serve as a regional entertainment and "upscale" shopping district, serving residents within a 10-mile radius.
- 1.4 - Establish a transition zone surrounding the current downtown where, depending on market timing, changes in zoning from residential to commercial or mixed-uses would be favorably considered depending on specifics of the proposal.
- 1.5 - Complete an assessment of the success of the recent parking improvement actions to provide additional parking in the downtown and, if warranted, study the need and location of additional parking- both surface and elevated.
- 1.6 - Establish guidelines for appropriate mixed-use downtown development, including parking requirements, acceptable uses, and Village financing assistance (if deemed appropriate).
- 1.7 - Implement municipal utility improvements, especially storm water improvements, sidewalk construction/ replacement, streetscape, street tree plantings, and signage improvements.

## 2009 DOWNTOWN MASTER PLAN

*Below is an excerpt of the 2009 Downtown Master Plan containing the objectives of the Master Plan. The Downtown Master Plan generally encompasses those areas zoned B-1 and B-2.*

### Master Plan Objectives

- » Sustain and enhance Downtown Homewood as a regional draw for the South Suburbs.
- » Encourage mixed-use development of key opportunity sites to create a more active "18-hour" downtown.
- » Increase commercial development to provide more goods and services for residents and visitors.
- » Increase commercial development to enhance the economic base of the Village.
- » Increase residential densities throughout Downtown to support transit use and new commercial activity.
- » Increase use of the Amtrak and Metra stations.
- » Encourage new residential development that provides a wider range of housing products in the Village, including apartments, condominiums, townhomes, and senior housing.
- » Enhance and increase open space within Downtown.
- » Significantly improve physical conditions by expanding streetscape improvements to all Downtown blocks, upgrading street furniture, and improving the pedestrian tunnel and viaducts under the tracks.
- » Improve pedestrian and vehicular access and circulation.



**ARC DESIGN**  
RESOURCES INC.

5281 ZENITH PARKWAY  
LOVES PARK, IL 61111  
VOICE: (815) 484-4300  
FAX: (815) 484-4303

www.arcdesign.com  
Illinois Design Firm License No. 184-001334

PROJECT NAME  
OWNER'S NAME

**RESTAURANT WITH DRIVE-THRU**

3047 183RD STREET  
HOMEWOOD, IL  
COOK COUNTY

ALRIG USA  
RACHEL DELANEY  
RACHEL@ALRIGUSA.COM  
(248) 909-7072

CONSULTANTS

ISSUED FOR

ITEM	DATE
1. SITE PLAN REVIEW	08/13/2024
2. AGENCY REVIEW	08/22/2024
3. AGENCY REVIEW	08/27/2024
4. --	--
5. --	--
6. --	--
7. --	--
8. --	--
9. --	--
10. --	--
11. --	--
12. --	--

REVISIONS

ITEM	DATE
1. --	--
2. --	--
3. --	--
4. --	--
5. --	--
6. --	--

SHEET TITLE

**LAYOUT PLAN**

DRAWN	ARM
CHECKED	LND
PM	RCS

PROJECT NUMBER  
SHEET NUMBER

**23129**

**C-07**

**LEGEND**

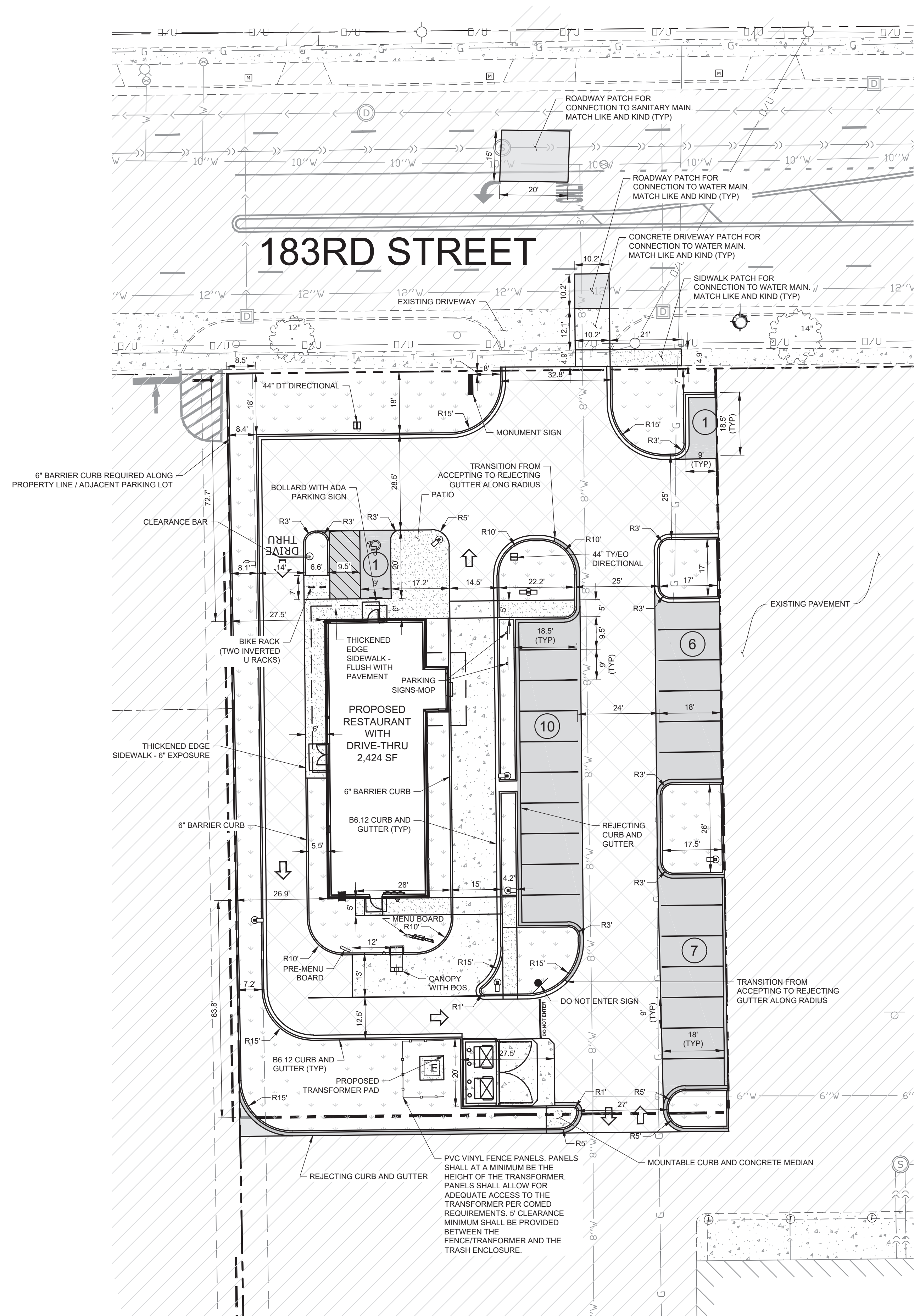
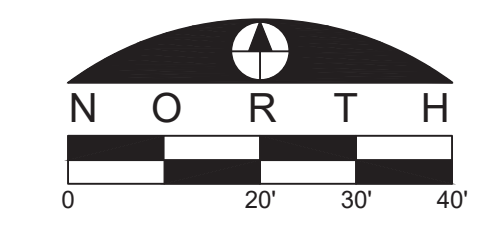
- PROPERTY LINE
- LOT LINE
- EXISTING RIGHT-OF-WAY
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- PROPOSED REJECTING CURB AND GUTTER

- ☉ LIGHT POLE AND FIXTURE
- ♿ PROPOSED ADA PARKING SPACE
- 25 NUMBER OF PROPOSED PARKING SPACES IN A ROW
- PROPOSED BOLLARDS
- ▮ PROPOSED PARKING STALLS (4" SINGLE YELLOW LINE / SYSL)
- ▮ PROPOSED CONCRETE SIDEWALK
- ▮ PROPOSED STANDARD DUTY ASPHALT PAVEMENT
- ▮ PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- ▮ PROPOSED HEAVY DUTY ASPHALT PAVEMENT (PUBLIC)
- ▮ PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- ▮ PROPOSED LANDSCAPED AREA - SEE SHEET L-01
- ▮ EXISTING ASPHALT PAVEMENT

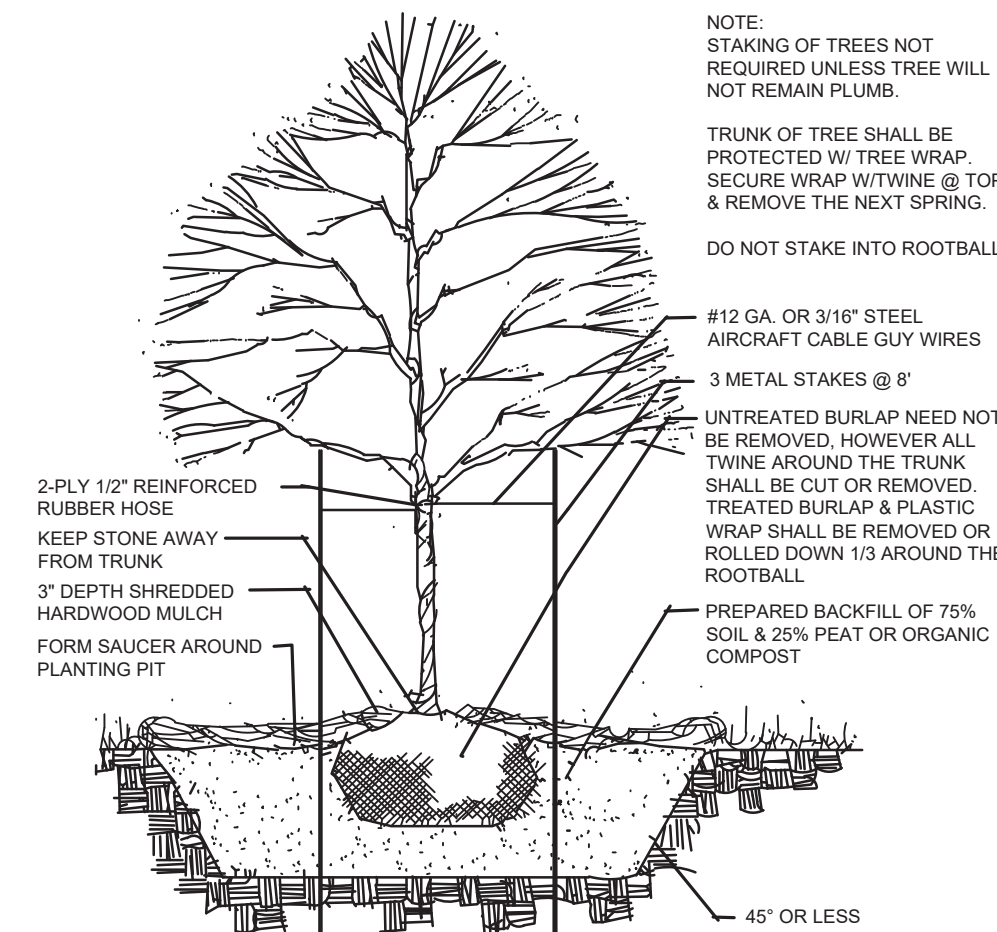
- LAYOUT NOTES**
- THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION AND ELEVATION OF EXISTING PIPE INVERTS, FLOOR ELEVATIONS, CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL, PRIOR TO PROCEEDING WITH WORK.
  - REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
  - DIMENSIONS THAT LOCATE THE BUILDING ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
  - SIGN CONSTRUCTION AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION.
  - ALL RADII ARE DIMENSIONED TO THE BACK OF CURB.
  - ALL CURB AND GUTTER IS INTEGRAL TO PAVEMENT UNLESS NOTED OTHERWISE. REFER TO THE DETAIL SHEETS FOR CURB DETAILS.
  - SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED PAVEMENT, CURB AND SIDEWALKS MEET EXISTING PAVEMENT, CURB AND SIDEWALKS. REVIEW ANY REQUIRED CHANGES WITH ENGINEER PRIOR TO CONSTRUCTION OF WORK.
  - ELECTRICAL CIRCUITRY TO SITE LIGHTING AND MONUMENT SIGN SHOWN ON ARCHITECTURAL PLANS.
  - FOR REQUIRED PAVEMENT REMOVAL ADJACENT TO THE CURB AND GUTTER REMOVAL WITHIN RIGHT OF WAY, A FULL DEPTH SAWCUT SHALL BE UTILIZED AND SHALL NOT BE LESS THAN 2' IN WIDTH.
  - FOR ALL PAVEMENT PATCHING WITHIN THE RIGHT OF WAY THE BACKFILL MATERIAL USED SHALL BE CONTROLLED LOW STRENGTH MATERIAL UP TO THE BOTTOM OF THE PAVEMENT. THE THICKNESS OF THE HMA PAVEMENT REPLACEMENT SHALL BE A MINIMUM OF THE SAME THICKNESS AS THE EXISTING PAVEMENT STRUCTURE. THE MIXES USED SHALL BE HMA BINDER COURSE, IL 19.0 N50, AND HMA SURFACE COURSE, MIX D N50.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARATION, COORDINATION AND OBTAINING APPROVAL OF A TRAFFIC MANAGEMENT PLAN IF CLOSURES OF LANES EXCEED THE CRITERIA ESTABLISHED IN THE BDE MANUAL.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING VILLAGE OF HOMEWOOD SEVENTY-TWO (72) HOURS PRIOR TO COMMENCING WORK AND UPON COMPLETION OF SAID WORK.

**PARKING TABLE**

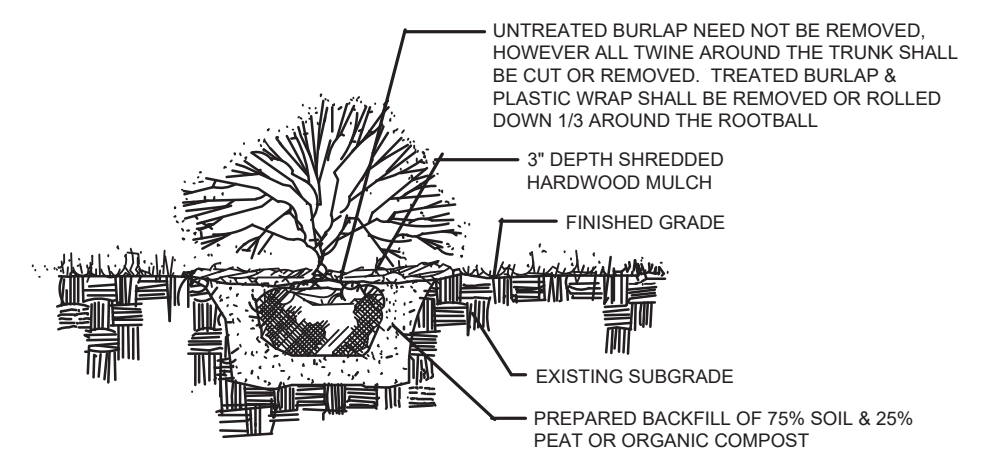
NUMBER OF PARKING STALLS REQUIRED	13 (1 - A.D.A.)
NUMBER OF PARKING STALLS PROPOSED	25 (1 - A.D.A.)



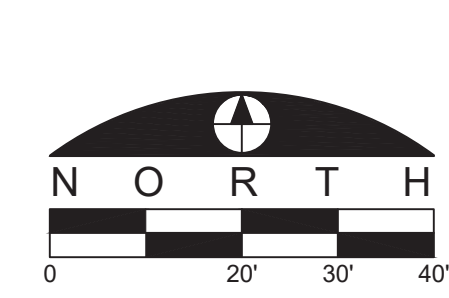
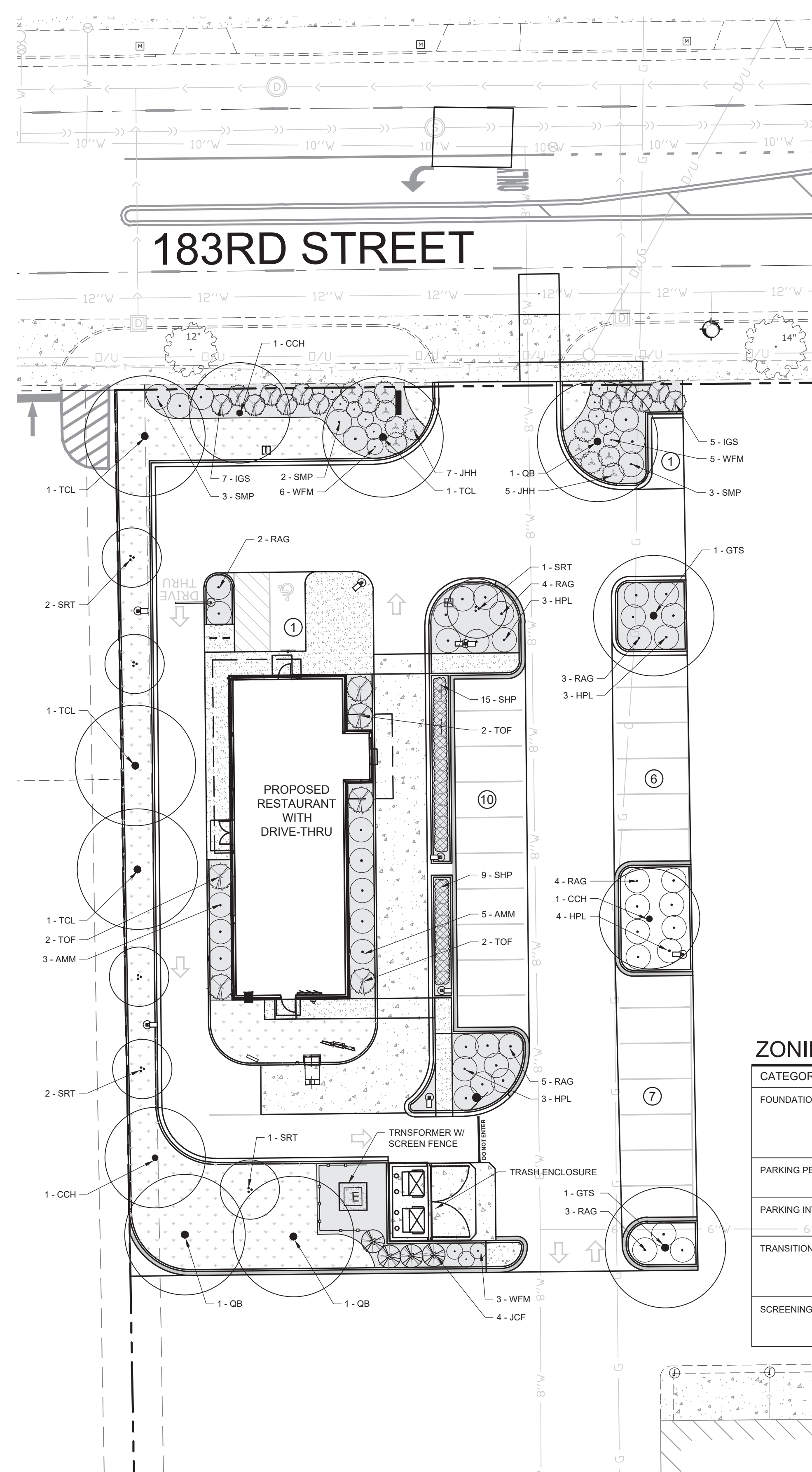




**TREE PLANTING DETAIL**  
NOT TO SCALE



**SHRUB PLANTING DETAIL**  
NOT TO SCALE



**LEGEND**

- EVERGREEN / DECIDUOUS SHRUBS
- NATIVE ORNAMENTAL GRASS
- DECIDUOUS ORNAMENTAL TREE
- LARGE DECIDUOUS SHADE TREE
- PROPOSED SEED/TURF AREA
- PROPOSED LANDSCAPE BED / MULCH AREA
- EXISTING VEGETATION

**PLANT LIST**

KEY	QTY	Botanical name COMMON NAME	SIZE	REMARKS
CCH	3	Carpinus caroliniana AMERICAN HORNBEAM	2.5'	CANOPY TREE
GTS	2	Gleditsia triacanthos 'Skyline' SKYLINE HONEYLOCUST	3'	CANOPY TREE
QB	3	Quercus bicolor SWAMP WHITE OAK	2.5'	CANOPY TREE
SRT	6	Syringa reticulata x 'Ivory Silk' IVORY SILK JAPANESE TREE LILAC	2.5'	UPRIGHT ORNAMENTAL TREE
TCL	4	Tilia cordata LITTLE LEAF LINDEN	3'	CANOPY TREE
AMM	8	Aronia melanocarpa x 'Morton' IRIQUOIS BEAUTY CHOKEBERRY	24" / 5 GAL	DECIDUOUS SHRUB
JCF	4	Juniperus chinensis 'Fairview' FAIRVIEW UPRIGHT JUNIPER	5' / 5 GAL	EVERGREEN UPRIGHT SHRUB
JHH	12	Juniperus horizontalis 'Huges' HUGHES COMPACT JUNIPER	5 GAL	EVERGREEN LOW SHRUB
HPL	17	Hydrangea paniculata 'Limelight Prime' LIMELIGHT PRIME HYDRANGEA	5 GAL	DECIDUOUS SHRUB
IGS	12	Ilex glabra 'Shamrock' SHAMROCK INKBERRY HOLLY	5 GAL	EVERGREEN SHRUB
RAG	17	Rhus aromatica x 'Gro Lo' GRO LOW FRAGRANT SUMAC	5 GAL	DECIDUOUS SHRUB
WFM	14	Weigela florida 'Minuet' MINUET DWARF WEIGELA	5 GAL	DECIDUOUS SHRUB
SMP	8	Syringa meyeri 'Palibin' DWARF KOREAN LILAC	5 GAL	DECIDUOUS SHRUB
TOF	6	Thuja occidentalis 'Fire Chief' FIRE CHIEF ARBORVITAE	5 GAL	EVERGREEN ROUND
SHP	24	Sporobolus heterolepis 'Tara' PRAIRIE DROPS-EED	2 GAL	UPRIGHT FRAGRANT GRASS

**ZONING DATA**

CATEGORY	QUANTITY	REQUIREMENT	PROVISION
FOUNDATION PLANTING	FAÇADE: 214' TOTAL 104' - PLANTABLE AREA 110' - PAVED AREA	104' = 83' PLANTABLE AREA (80% OF PLANTABLE AREA)  110' = 2 TREES - 1 TREE PER 50' OF FAÇADE FOR AREAS OF PAVED, PROVIDED ON SITE	94' OF PLANTABLE AREA (90% AREA)  2 TREES PROVIDED AT PERIMETER
PARKING PERIMETER	183RD ST. = 102'	34 SHRUBS (1 SHRUB / GRASS PER 3 L.F. OF PARKING PERIMETER ADJ. TO STREET)	34 SHRUBS PROVIDED AT PERIMETER
PARKING INTERIOR	7 PARKING END CAPS OR ISLANDS	7 TREES + 21 SHRUBS (1 TREE + 3 SHRUBS PER PARKING END CAP OR ISLAND PROVIDED)	7 TREES + 21 SHRUBS PROVIDED AT EACH END CAP OR ISLAND
TRANSITION ZONE	WEST P.L. = 225 L.F. EAST P.L. = N/A NORTH P.L. = N/A SOUTH P.L. = N/A	WEST P.L. = 8 TREES (4 TREES PER 100 L.F.)	8 TREES PROVIDED
SCREENING	TRASH ENCLOSURE (1) 20 L.F. OF FAÇADE ELECTRIC TRANSF. (1)	7 SHRUBS / GRASS (1 SHRUB / GRASS PER 3 L.F. OF ENCLOSURE FAÇADE) NO MORE THAN 20% VISIBLE	7 SHRUBS PROVIDED 100% SCREENED (ALL SIDES)

**PLANTING NOTES**

- LANDSCAPE CONTRACTOR (CONTRACTOR) SHALL MAKE A SITE VISIT PRIOR TO BIDDING/CONSTRUCTION TO INSPECT THE CURRENT SITE CONDITIONS AND REVIEW PROPOSED PLANTING PLAN AND RELATED WORK. CONTRACTOR SHALL REPORT ANY DISCREPANCIES IN THE FIELD TO THE LANDSCAPE ARCHITECT AND/OR OWNER.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, AND CABLE TELEVISION CAN BE LOCATED BY CALLING J.U.L.I.E. AT 811. FOR REGIONAL LOCATING, CONTACT "DIGGER'S HOTLINE". ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR TO COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNERS REPRESENTATIVE PRIOR TO COMMENCING WORK.
- CONTRACTOR IS RESPONSIBLE FOR APPLICATION AND COST OF ALL NECESSARY BUILDING PERMITS AND CODE VERIFICATIONS. SUBMIT COPIES OF ALL DOCUMENTS TO OWNER AND LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL GRADE ENTIRE SITE TO CORRECT SURFACE IRREGULARITIES IN PREPARATION FOR SO/DSEED. ROTO-TIL, DISC, DRAG, HARROW OR HAND RAKE SUB GRADE IN ALL LAWN AREAS AND REMOVE CONSTRUCTION DEBRIS, FOREIGN MATTER OR STONES LARGER THAN 2". GRADING SHALL PROVIDE SLOPES WHICH ARE SMOOTH, CONTINUOUS, FREE FROM DEPRESSIONS OR RIDGES. LEVEL, RAKE AND ROLL AS NECESSARY TO AN EVEN AND TRUE CONDITION AND OBTAIN POSITIVE DRAINAGE IN ALL AREAS. FINISH GRADES SHALL MEET THE APPROVAL OF OWNER PRIOR TO LAWN INSTALLATION.
- ALL DISTURBED AREAS SHOULD BE BROUGHT TO GRADE WITH "TOPSOIL" TO A DEPTH OF 6 INCHES IN AREAS TO BE SEEDED OR SOODED, AND 12 INCHES FOR ALL INTERIOR (CURBED) LANDSCAPE ISLANDS. ALL LAWN AREAS ARE TO BE FINISHED WITH MULCH, STRAW MULCH, SEED, SOD, ETC. OR AS NOTED. ALL LAWN AREAS TO BE WATERED UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED. (SEE SEED/SOD NOTES FOR ACCEPTANCE DETAILS).
- QUANTITY LISTS ARE SUPPLIED AS A CONVENIENCE; HOWEVER, THE CONTRACTOR SHOULD VERIFY ALL QUANTITIES. THE DRAWINGS SHALL TAKE PRECEDENCE OVER THE LISTS.
- PLANTINGS MAY NEED TO BE ADJUSTED IN THE FIELD TO ACCOMMODATE UTILITIES, EASEMENTS, DRAINAGE WAYS, DOWNSPOUTS, ETC.; HOWEVER, QUANTITIES AND SIZES SHALL REMAIN CONSISTENT WITH THESE PLANS.
- SIZE & GRADING STANDARDS OF PLANT MATERIAL SHALL CONFORM TO THE LATEST ADDITION OF ANSI Z60.1 AMERICAN STANDARD OF NURSERY STOCK, BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION. PLANT MATERIAL SHALL BE NURSERY GROWN AND BE EITHER BALLED AND BURLAP OR CONTAINER GROWN.
- ALL PLANT SPECIES SPECIFIED ARE SUBJECT TO AVAILABILITY. MATERIAL SHORTAGES IN THE LANDSCAPE INDUSTRY MAY REQUIRE SUBSTITUTIONS. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT AND/OR OWNER.
- ANY PLANT MATERIALS WITH DAMAGED OR CROOKED/DISFIGURED LEADERS, BARK ABRASION, SUN SCALD, INSECT DAMAGE, ETC. ARE NOT ACCEPTABLE AND WILL BE REJECTED UNLESS CALLED FOR IN THE PLANT LIST AS MULTI-STEM OR CLUMP.
- ALL PLANT MATERIAL, ESPECIALLY TREES, MUST BE SOURCED WITHIN A ONE-HUNDRED FIFTY (150) MILE RADIUS OF THE SUBJECT PROPERTY CONSTRUCTION SITE.
- CONTRACTOR TO NOTIFY THE VILLAGE DEPARTMENT OF DEVELOPMENT SERVICES AT MINIMUM SEVEN (7) DAYS PRIOR TO THE BEGINNING OF PLANTING OR RESTORATION OPERATIONS ON SITE. PLANTING OPERATIONS SHALL BE PERFORMED ONLY DURING THE PERMITTED HOURS OF CONSTRUCTION ACTIVITY IN ACCORDANCE WITH THE VILLAGE MUNICIPAL CODE.
- UPON INSPECTION AND ACCEPTANCE OF ALL LANDSCAPE ITEMS BY LANDSCAPE ARCHITECT AND/OR OWNER THE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITIES FOR A PERIOD OF THIRTY (30) DAYS, FOR ALL PLANT MATERIAL, TO INCLUDE: WATERING, CULTIVATING, WEEDING, PRUNING, MULCHING AND SPRAYING AS NECESSARY TO KEEP PLANTS FREE OF INSECTS AND IN A HEALTHY, VIGOROUS CONDITION UNTIL RESPONSIBILITY IS TRANSFERRED TO THE OWNER (SEE BELOW).
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER ACCEPTANCE BY LANDSCAPE ARCHITECT AND/OR OWNER. AFTER THE FIRST THIRTY (30) DAYS, THE OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES AS DESCRIBED (SEE ABOVE). CONTRACTOR SHALL REPLACE WITHOUT COST TO OWNER ANY DEAD OR UNACCEPTABLE PLANTS, AS DETERMINED BY THE LANDSCAPE ARCHITECT AT THE END OF ONE (1) YEAR GUARANTEE PERIOD. CONTRACTOR SHALL NOTIFY IMMEDIATELY, IN WRITING, ANY CONCERNS RELATED TO MAINTENANCE PRACTICES.
- ALL PLANTING BEDS AND TREE SAUCERS SHALL BE MULCHED CONTINUOUS WITH 3" DEPTH SHREDED HARDWOOD MULCH. SEE PLANTING DETAILS. ALL DECIDUOUS TREES (SHADE / ORNAMENTAL) THAT ARE NOT LOCATED IN A PLANTING BED SHALL BE MULCHED WITH A 3'-0" DIAMETER CIRCLE. EVERGREEN TREES AND MULTI-STEMMED ORNAMENTAL TREES SHALL BE MULCHED TO OUTER-MOST BRANCHES AT THE TIME OF INSTALLATION.
- PLANTING EDGE DELINEATION AT ALL PLANTING BED LINES AND TREE SAUCERS SHALL REQUIRE A MINIMUM 4" DEPTH "V" SHAPED CULTIVATED, SPADED EDGE WITH A VERTICAL FACE ABUTTING ALL LAWN AREAS AND SLOPED TO INSIDE OF PLANT BED CONTINUOUS BETWEEN LAWN AND MULCHED AREAS AS INDICATED ON PLAN.
- CONTRACTOR TO SEED ALL DISTURBED LAWN AREAS. SEEDED LAWN TO BE A COMBINATION OF BLUEGRASS, PERENNIAL RYE AND RED FESCUE WITH THE SUGGESTED FOLLOWING ANALYSIS BY WEIGHT: 30% RUGBY KENTUCKY BLUEGRASS, 20% PARK KENTUCKY BLUEGRASS, 20% CREEPING RED FESCUE, 20% SCALDIS HARD FESCUE, AND 10% PERENNIAL RYEGRASS. SEED TO BE APPLIED AT A RATE OF 4 LBS. PER 1,000 S.F.. ALL SEEDED LAWN AREAS SHALL BE COVERED WITH STRAW MULCH OR EROSION CONTROL NETTING, CONSISTING OF HAND OR MACHINE APPLICATION AT RATE OF 2 TON PER ACRE. MULCH SHALL BE COMPACT ENOUGH TO REDUCE EROSION OF SEED AND TOPSOIL BUT LOOSE ENOUGH TO ALLOW AIR TO CIRCULATE. INSTALL PER METHOD 1, SECTION 251, OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- ALL SEEDED TURF AREAS SHALL BE FERTILIZED AT INSTALLATION WITH 21-22-4 ANALYSIS, AT A RATE OF 6 LBS. PER 1,000 S.F.. A SECOND APPLICATION OF 21-7-14 TO BE APPLIED AT RATE OF 6 LBS. PER 1,000 S.F. AFTER THE FIRST CUTTING. ACCEPTANCE AND GUARANTEE NOTES SHALL APPLY TO ALL SEEDED AREAS.
- ACCEPTANCE OF GRADING AND SEED SHALL BE BY LANDSCAPE ARCHITECT AND/OR OWNER. CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITIES FOR A MINIMUM OF SIXTY (60) DAYS OR UNTIL SECOND CUTTING, WHICHEVER IS LONGER. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, RE-SEEDING (WASH-OFFS) AND OTHER OPERATIONS NECESSARY TO KEEP LAWN IN A THRIVING CONDITION. UPON FINAL ACCEPTANCE, OWNER SHALL ASSUME ALL MAINTENANCE RESPONSIBILITIES. AFTER LAWN AREAS HAVE GERMINATED, AREAS WHICH FAIL TO SHOW A UNIFORM STAND OF GRASS FOR ANY REASON WHATSOEVER SHALL BE RE-SEEDED REPEATEDLY UNTIL ALL AREAS ARE COVERED WITH A SATISFACTORY STAND OF GRASS. MINIMUM ACCEPTANCE OF SEEDED LAWN AREAS MAY INCLUDE SCATTERED BARE OR DEAD SPOTS, NONE OF WHICH ARE LARGER THAN TWO (2) SQUARE FEET AND/OR WHEN COMBINED DO NOT EXCEED 2% OF TOTAL LAWN AREA.
- THE PROPOSED JUNIPER (LOW EVERGREEN) PLANT VARIETY (JHH - JUNIPERUS CHINENSIS 'HUGHES') AT THE BASE OF THE MONUMENT SIGN ARE TO BE NO TALLER THAN 2'-0" IN HEIGHT, AND IN THE EVENT OF NEEDING REPLACEMENT MUST BE OF THE SAME VARIETY AND/OR MAINTAIN MINIMUM 3' SEPARATION FROM THE SIGN AND NOT OBSTRUCT VISIBILITY.

**ARC DESIGN RESOURCES INC.**

5281 ZENITH PARKWAY  
LOVES PARK, IL 61111  
VOICE: (815) 484-4300  
FAX: (815) 484-4303

www.arcdesign.com  
Illinois Design Firm License No. 184-001334

PROJECT NAME  
OWNER'S NAME

**RESTAURANT WITH DRIVE-THRU**

3047 183RD STREET  
HOMEWOOD, IL  
COOK COUNTY

ALRIG USA  
RACHEL DELANEY  
RACHEL@ALRIGUSA.COM  
(248) 909-7072

CONSULTANTS

ISSUED FOR

REVISIONS	DATE
1. SITE PLAN REVIEW	08/13/2024
2. AGENCY REVIEW	08/22/2024
3. AGENCY REVIEW	08/27/2024
4. ---	---
5. ---	---
6. ---	---
7. ---	---
8. ---	---
9. ---	---
10. ---	---
11. ---	---
12. ---	---

SHEET TITLE

**LANDSCAPE PLAN**

DRAWN MA  
CHECKED LND  
PM RCS

PROJECT NUMBER  
SHEET NUMBER

**23129**

**L-01**





EXTERIOR VIEW D  
NTS



EXTERIOR VIEW C  
NTS



EXTERIOR VIEW B  
NTS



EXTERIOR VIEW A  
NTS

**SHREMSHOCK**  
Shremshock Architects, Inc.

7775 Walton Parkway, Suite 120 New Albany, OH 43054  
t 614 545 4650 f 614 545 4655 www.shremshock.com

**PRELIMINARY**  
NOT FOR CONSTRUCTION

**ALRIG USA**  
SHELL BUILDING

3047 183rd STREET  
HOMEWOOD, IL 60430  
Design / Development

CURRENT ISSUE:  
08/15/2024

DRAWINGS ISSUED:

TITLE:  
EXTERIOR VIEWS

SCALE: 1/2" = 1'-0"  
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PROHIBITION OF REUSE: THESE DRAWINGS AND  
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SAI # 240311.000  
DRAWING NUMBER:

**P-02**

PLOTTED: 8/13/2024 2:35:29 PM









# VILLAGE OF HOMEWOOD



**MEMORANDUM**

**DATE OF MEETING:** September 12, 2024

**To:** Planning and Zoning Commission

**From:** Noah Schumerth, Assistant Director of Economic and Community Development

**Through:** Angela Mesaros, Director of Economic and Community Development

**Topic:** Case 24-36: Site Plan Review, Starbucks, 3047 W 183<sup>rd</sup> Street



**APPLICATION INFORMATION**

APPLICANT	Homewood Retail Management, LLC
ACTION REQUESTED	Site Plan Review
ADDRESS	3047 W 183 <sup>rd</sup> Street
PIN	31-01-100-012-0000

**ZONING & LAND USE**

SUBJECT PROPERTY	ZONING	LAND USE
CURRENT	B-3 General Business	Vacant
PROPOSED	B-3 General Business	Drive-Through Restaurant
SURROUNDING	N: R-1 Single-Family Residential	Single-Family Residential
	E: B-3 General Business	Retail/Commercial (Ollie’s Lot)
	S: B-3 General Business	Retail/Commercial (Ollie’s Lot)
	W: B-3 General Business	Retail/Commercial (Jewel Osco)

**LEGAL NOTICE**

Legal notice was published in *Daily Southtown* on August 28, 2024; letters were sent to property owners and residents within 250’.

**DOCUMENTS FOR REVIEW**

Title	Pages	Prepared by	Date
Application	3	George Arnold, Applicant	08/19/2024
Site Plan Review Committee Comments	2	Angela Mesaros, Director ECD	07/24/2024
Site Plan	1	Arc Design Resources, Inc.	08/27/2024
Site Details	12	Arc Design Resources, Inc.	08/15/2024
Landscape Plan	1	Arc Design Resources, Inc.	08/27/2024
Lighting and Electrical Plan	1	Shremshock Architects, Inc.	08/15/2024
Renderings	1	Shremshock Architects, Inc.	08/13/2024
Color Plan Exhibits	2	Arc Design Resources, Inc.	08/26/2024
Staff Exhibits	2	Noah Schumerth, Asst. Dir. ECD	09/05/2024

**BACKGROUND**

The applicant, Homewood Retail Management, LLC, has proposed the construction of a drive-through coffee restaurant on a commercially-zoned outlot at 3047 W 183<sup>rd</sup> Street. Starbucks Coffee will occupy the 2,424-square-foot building. The site is new development which is integrated into the redevelopment of the “Brunswick Zone” retail/commercial center adjacent to the subject site.

**DISCUSSION**

**Site Context**

The subject property is located on a commercially-zoned outlot (B-3 General Business), formed from a recently approved resubdivision of the original “Brunswick Zone/Big Lots” retail center at 3043-3055 W 183<sup>rd</sup> Street. The new building will be constructed on an area formerly utilized for parking for the retail property. The outlot site is approximately 0.72 acres (31,353 square feet) in area. The site has approximately 143 feet of frontage along 183<sup>rd</sup> Street.

**Site Details**

The proposed development includes a 2,424-square-foot building measuring approximately 82’ x 30’. The building will be located in the center of the commercial outlot, with a drive-through facility adjacent to the building and parking to the north and east of the building. The building will be a single-story approximately 20’ in height. The building will be fire alarmed. The proposed patio on the north (front) of the building requires a Limited Use Permit approved by Village staff before building occupancy.

Parking: The proposed development will include 25 parking spaces, including one ADA-accessible space. The required parking is one (1) parking space per 200 square feet for the restaurant use, a minimum of 13 parking spaces. Parking is largely distributed along the eastern portion of the lot. The ADA-accessible space is located adjacent to the front entrance of the building. The development exceeds the required parking.

Circulation: Public access is provided from an existing driveway s originally used to access the parking lot for the former retail/commercial development. The proposed development is integrated into the surrounding project (Ollie’s) via two private circulation drives on the east and south sides. A blanket

cross-access easement will be required prior to occupancy of the proposed building to allow movement between the proposed restaurant and the neighboring retail/commercial development.

A drive-through facility is proposed to serve the restaurant, with a drive-through lane around the west, south and east sides of the proposed building. The drive-through lane will have a single pick-up window, six (6) stacking spaces, and two menu boards along a single-lane drive-through facility. A Special Use Permit is required to operate the drive-through facility, and will be considered at tonight's meeting.

Landscape: The site is currently fully covered in impervious surfaces due to its previous use as a parking area to support the adjacent retail building. The development will include the installation of interior landscape islands and medians, perimeter landscaping, building foundation landscaping, and transition zone landscaping that meets the requirements of the Homewood Zoning Ordinance. The proposed plant selection has been reviewed and accepted by the Village Arborist.

Utilities: New utility connections will be required with the proposed development. Connections to the existing sanitary sewer main and an existing 10" water main will be made, with lines running underneath the parking drive aisle under the east side of the development. The gas connection will be provided at an existing NICOR gas line under the east side. New electrical service will also be provided from the existing electrical service along 183<sup>rd</sup> Street. A blanket easement will be required to be recorded to permit the water and gas utility connections as determined by the Village Engineer.

Stormwater: The required site drainage will be met with Stormtech detention chambers designed to accommodate the difference between the current detention standards and previous standards required on the existing retail/commercial site. The Village Engineer has reviewed stormwater drainage and detention plans.

Grease Trap: A required 1,000-gallon grease trap to meet the Thorn Creek Sanitary Basin District standards is proposed to be installed to the east of the new building.

Lighting: Several types of lighting are proposed for the site, including 18' LED parking pole lights, 11' LED pole lights for pedestrians, exterior wall sconce lighting at 7' in height, and security lighting at service entries 9' 6" above grade. The two canopies proposed for the building will include recessed lighting. The project will have no lighting impacts on residential properties.

Signage: Proposed signage will include a single monument sign measuring approximately 20 square feet in area along 183<sup>rd</sup> Street, small monument signs directing motorists to the drive-through on the site, two menu boards, and wall signage. Preliminary plans for signage are attached to this memo. Exact specifications will be submitted as part of a separate sign permit application.

### **Site Plan Review Committee Action**

The Site Plan Review Committee reviewed the development on July 24, 2024. Comments were submitted to the applicant for revisions. The Site Plan Review Committee referred the proposed development to the Planning and Zoning Commission for final approval. Comments from the Site Plan Review Committee meeting are provided as an attachment to this memo.

**RECOMMENDED PLANNING & ZONING COMMISSION ACTION**

If the Planning and Zoning Commission finds that the proposed site plan is compliant with the Homewood Zoning Ordinance, the Village Comprehensive Plan, and all other applicable codes and standards set forth in the Village Code of Ordinances, the Commission may consider the following motion:

**Approve** Case 24-36, site plan review for Starbucks at 3047 W 183<sup>rd</sup> Street, as proposed in the drawings submitted by Arc Design Resources Inc. and Shremshock Architects Inc.



# NON-RESIDENTIAL ZONING REVIEW PROCESS AND REQUIREMENTS



2020 Chestnut Road, Homewood, IL 60430

## APPLICATION CHECKLIST

For all applications, provide the following:

- |  |   |   |
|--|---|---|
| <input checked="" type="checkbox"/> Completed application form | <input type="checkbox"/> Proof of ownership, or<br>Letter of authorization by the owner | <input type="checkbox"/> Materials, as listed below |
| <input type="checkbox"/> Plat of survey with legal description |   | <input type="checkbox"/> Payment of fee             |

Based on each action(s) requested, provide the required materials listed below. Staff reserves the right to request additional materials, as required by the scope of the request, to make an informed decision.

### Special Use, Limited Use, Temporary Use

- Site plan
- Conceptual floor plan
- Completed worksheet responding to applicable standards or review criteria
- Narrative describing the proposed use, including:
  - services provided
  - hours of operations
  - anticipated average and peak capacity

### Variance

- Site plan
- Conceptual floor plan
- Completed worksheet responding to standards
- Letters of support from neighbors, optional

### Site Plan Review

- Site plan or survey of existing conditions
- Site plan of proposed development
- Conceptual floor plan(s)
- Landscape plan, existing and proposed, if impacted by changes

### Text or Map Amendment

- Site plan
- Conceptual floor plan
- Narrative describing the proposed land use requiring the amendment to the zoning text or map
- Completed worksheet responding to applicable standards

### Planned Development

- Proposed plat of record for lot consolidation or subdivision
- Directory of all development team members/consultants with contact information
- Site plan or survey of existing conditions
- Site plan of proposed development
- Conceptual floor plan(s)
- Transportation Impact Study
- Village Impact Study
- Studies or reports by outside agencies

## APPEARANCE REVIEW

For applications requiring Appearance Review, submit the following materials:

- |  |  |
|--|--|
| <input type="checkbox"/> Completed Appearance Commission application form  | <input type="checkbox"/> Material palette board (digital), showing, as applicable: |
| <input type="checkbox"/> Narrative describing the proposed new or changed to elevations, landscaping, lighting, and/or signage | <input type="checkbox"/> building materials  |
| <input type="checkbox"/> Elevation and/or plan drawings showing the existing and proposed conditions                           | <input type="checkbox"/> plants and landscape materials                            |
| <input type="checkbox"/> Photometric plan for new or changes to exterior lighting  | <input type="checkbox"/> cut sheets for lighting fixture                           |
|  | <input type="checkbox"/> cut sheets for site furnishings                           |



# VILLAGE OF HOMEWOOD

APPL **Item 5. C.**

## NON-RESIDENTIAL ZONING REVIEW

2020 Chestnut Road, Homewood, IL 60430

### PROPERTY INFORMATION

**Street Address:** 3047 W. 183rd Street, Homewood, IL 60430

**Property Index Number(s):** 31-01-100-012-0000

**Lot Size:** 31,353 sq. ft. 0.72 acres  
*If the subject property is multiple lots, provide the combined area.*

**Zoning District:**  
 R-1  R-2  R-3  R-4  B-1  B-2  B-3  B-4  M-1  M-2  PL-1  PL-2

Complete this section to determine your required review(s):

Is the subject property more than one lot held in common ownership?

yes  no

→ *If yes, lots held in common ownership should be consolidated*

*A Planned Development is required for development of lots >25,000 sf or located in the B-1 or B-2 Zoning Districts.*

### REQUESTED USE

**Requested Use:** Starbucks drive-through restaurant with outdoor patio

**Gross Floor Area:** 2,450 sq. ft. **Parking Provided:** 26

**Existing Use:** Vacant lot

The requested use is:

- Permitted
- Limited
- Special
- Other:

### SITE OR BUILDING CHANGES

**Existing Development:** Vacant lot

**Proposed Development** *Check all that apply. Provide a description and metrics below.*  
 New Construction  Addition  Site Alterations  Exterior Building Alterations

Starbucks drive-through restaurant

Development Metrics	Existing	Proposed
Gross Floor Area (sq. ft.):	<u>0</u>	<u>2,450</u>
Parking Spaces	<u>0</u>	<u>26</u>
Lot Coverage		
Impervious Area (sq. ft.)		
Impervious Coverage (%)	<u>0.0%</u>	<u>0.0%</u>

New construction?

yes  no

→ *If yes, requires Site Plan Review*

Floor area increase is 20% or more?

yes  no

→ *If yes, requires Site Plan Review*

Does the applicant elect to proceed as a Planned Development?

yes  no

Is site circulation or parking impacted?

yes  no

→ *If yes, requires Site Plan Review*

Is site landscaping impacted?

yes  no

→ *If yes, requires Site Plan Review*

Exterior building alterations?

yes  no

→ *If yes, requires Appearance Review*

### ZONING RELIEF OR CHANGES

**Zoning Variance or Amendment** *Describe any requested zoning relief or changes below.*

The applicant requests:

- Variance
- Administrative Exception
- Zoning Text Amendment
- Zoning Map Amendment

**APPLICANT**

Name George J. Arnold  
 Company Sosin, Arnold & Schoenbeck, Ltd.  
 Address 9501 W. 144th Place, Suite 205  
Orland Park, IL 60462  
 Phone (708) 448-8141  
 Email garnold@sosinarnold.com  
 Role Attorney

**PROPERTY OWNER**

Name \*Homewood Retail Management LLC  
 Company \*contract purchaser  
 Address 30200 Telegraph Rd.; Suite 205  
Bingham Farms, MI 48025  
 Phone (248) 643-4444  
 Email teamrachel@alrigusa.com  
 Check box if the applicant is the property owner

I acknowledge and attest that:

- » All the information and exhibits submitted with this application are true and accurate to the best of my knowledge;
- » Village representatives are permitted to make reasonable inspections of the subject property necessary to process this application;
- » I agree to pay all required fees;
- » No work may be done without first obtaining a Building Permit. All work shall be completed in accordance with Village Codes and Ordinances.

George J. Arnold  
 Applicant Name

*George J. Arnold*  
 Applicant Signature

08/19/2024  
 Date

**Staff Notes**

*Do not write below this line.*

Fee: \_\_\_\_\_  Paid Date Received: \_\_\_\_\_

CASE NO: \_\_\_\_\_ REQUEST: \_\_\_\_\_  
 Approved  Approved with Conditions  Denied Date: \_\_\_\_\_  
 Comments/ Conditions:

CASE NO: \_\_\_\_\_ REQUEST: \_\_\_\_\_  
 Approved  Approved with Conditions  Denied Date: \_\_\_\_\_  
 Comments/ Conditions:

CASE NO: \_\_\_\_\_ REQUEST: \_\_\_\_\_  
 Approved  Approved with Conditions  Denied Date: \_\_\_\_\_  
 Comments/ Conditions:

This application has zoning approvals and may proceed to obtain Building Permits or a Certificate of Occupancy.

Name: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_



# VILLAGE OF HOMEWOOD



**SITE PLAN REVIEW – Upham Subdivision Lot 2 (Coffee Shop)**

**DATE:**

**July 24, 2024**

**Project:** 3047 183<sup>rd</sup> Street

**Attendees:**

**Village of Homewood**

Terrence Acquah	Assistant Village Manager
Josh Burman	Public Works Director
Bob Grabowski	Fire Chief
Dennis Johnson	Chief Building Inspector
Max Massi	Village Engineer
Denise McGrath	Police Chief
Angela Mesaros	Director of Economic and Community Development
Noah Schumerth	Assistant Director of Economic and Community Development

**Development Team**

Lauren Downing	Arc Design Resources
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**PROJECT DESCRIPTION:**

Lauren Downing presented the site plan, which included: parking accommodations made to comply with the Village’s landscape requirements, one monument sign to the north that is 5 to 6 feet tall, a drive-through along the west, an order board, an order window on the east side of the building, 25 parking stalls plus one ADA parking space, patio in front, trash at the south end, MWRD stormwater detention requirements. The renderings are preliminary at this point. They will submit materials and colors for the Appearance Commission meeting in September.

Max Massi stated the following are required:

- Thorn Creek Sanitary District Permit
- 1,000-gallon gravity or hydro mechanical equivalent grease trap;
- MWRD WMO permit
- Village requires that detention meet the difference between today’s standards and existing standards.
- Fire sprinkler system is not required since the building is under 5,000 square feet
- Blanket easement for the water, gas utilities

Lauren asked if they could tap off of the 8” water line. Max Massi stated that the Village wants it off of the 10 “, but he thinks there is a closer one than the sidewalk.

Max Massi stated that the sanitary connection through Thorn Creek will require closing one lane of 183<sup>rd</sup> Street and requires only IDOT details (as opposed to customized traffic control).

Max Massi stated that the barrier curb needs to be continued on the west side. They must make sure that the water passes each way. (They do not need to detain the water from the Jewel store to the west.)

Max Massi asked about the intent of the west side of the south entrance being wider. Lauren answered that is for garbage truck access. Max stated that this may be confusing for people driving in and out. The plans should be revised to establish a visual difference between the asphalt and curb.

Max Massi stated that photometrics are required.

Denise McGrath asked that security cameras be provided both interior and exterior.

Denise McGrath stated that she would like to see plenty of lighting outside.

Bob Grabowski stated that they would need a recessed KNOX BOX at the front door. Fire alarm plans need to be submitted through the Building Department.

Noah Schumerth stated that an Appearance review is required. A special use is required for the drive-through.

Noah Schumerth asked if they could shift the northeast corner parking spaces so they are not cut off on the site.

Noah Schumerth stated that the landscape plan appears to comply with the zoning ordinance and that Tier I materials are represented

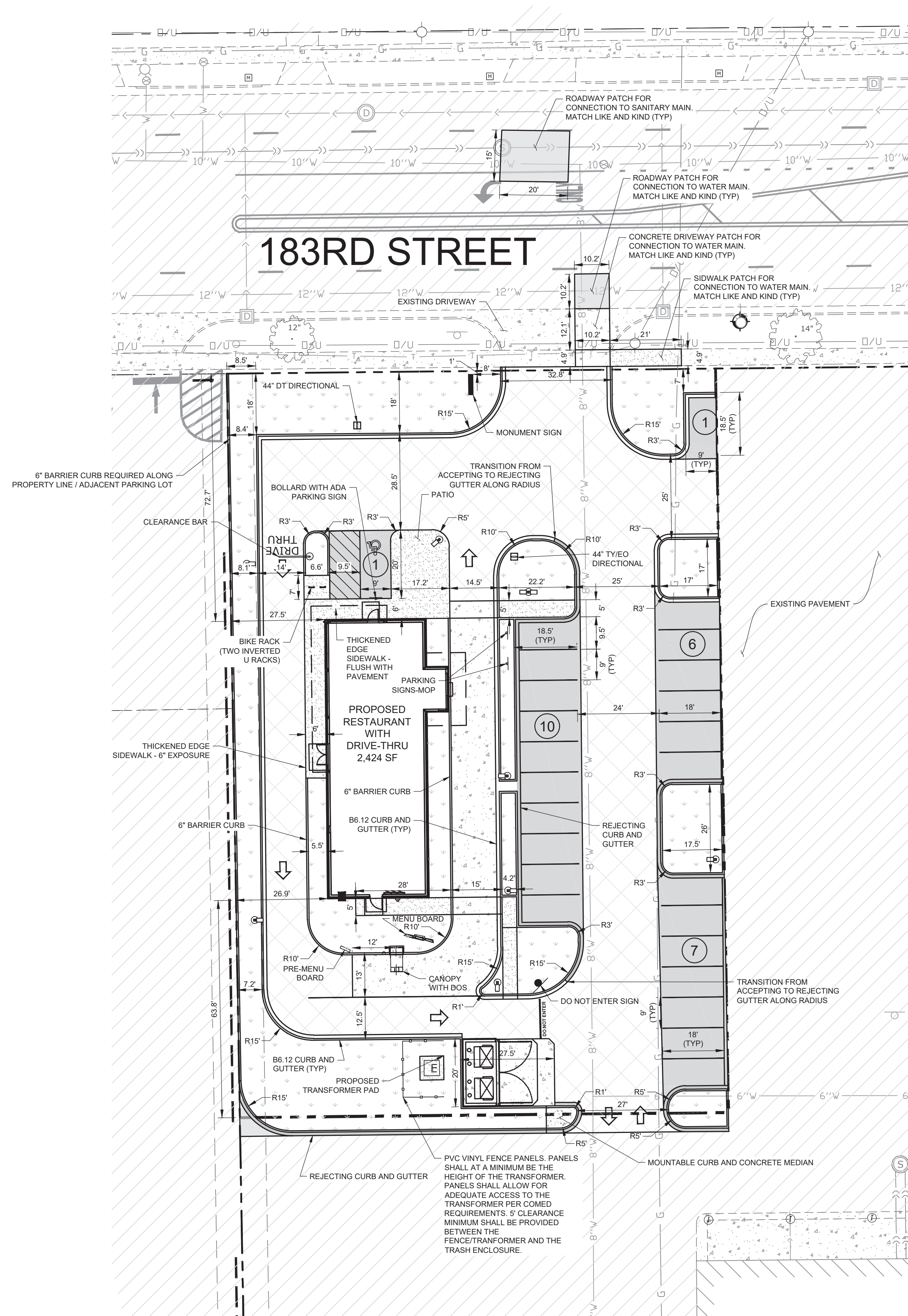
Noah Schumerth stated that any ground or roof-mounted equipment must be screened.

Noah Schumerth stated that the monument size complies with the sign code.

Lauren Downing asked about the zoning process. Angela Mesaros confirmed that one meeting with the Appearance Commission is required. In addition, a public hearing with the Planning & Zoning Commission and one meeting with the Village Board for the special use permit.

Lauren Downing asked permitting. Staff answered the following requirements:

- Cook County Health Department reviews plans and hard copies must be submitted.
- Plans for building, engineering, and fire permitting must be submitted through the Village website.
  - Building plans will be sent to an outside consultant for review. Turnaround time is usually two weeks.
  - Civil engineering plans are reviewed in-house.
- They will not request a liquor license.
- Outdoor seating requires a limited-use permit.
- Pre-construction meeting is not required.
- A separate demolition permit is not required.
- Grading and utility as-built drawings must be submitted.



**LEGEND**

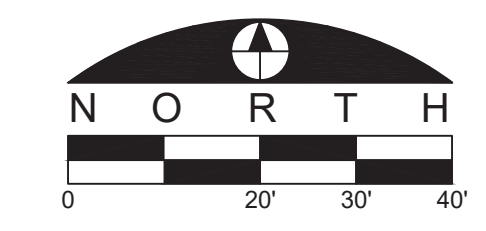
- PROPERTY LINE
- LOT LINE
- EXISTING RIGHT-OF-WAY
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- PROPOSED REJECTING CURB AND GUTTER
- LIGHT POLE AND FIXTURE
- PROPOSED ADA PARKING SPACE
- NUMBER OF PROPOSED PARKING SPACES IN A ROW
- PROPOSED BOLLARDS
- PROPOSED PARKING STALLS (4" SINGLE YELLOW LINE / SYSL)
- PROPOSED CONCRETE SIDEWALK
- PROPOSED STANDARD DUTY ASPHALT PAVEMENT
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT (PUBLIC)
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED LANDSCAPED AREA - SEE SHEET L-01
- EXISTING ASPHALT PAVEMENT

**LAYOUT NOTES**

1. THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION AND ELEVATION OF EXISTING PIPE INVERTS, FLOOR ELEVATIONS, CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
2. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
3. DIMENSIONS THAT LOCATE THE BUILDING ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
4. SIGN CONSTRUCTION AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION.
5. ALL RADII ARE DIMENSIONED TO THE BACK OF CURB.
6. ALL CURB AND GUTTER IS INTEGRAL TO PAVEMENT UNLESS NOTED OTHERWISE. REFER TO THE DETAIL SHEETS FOR CURB DETAILS.
7. SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED PAVEMENT, CURB AND SIDEWALKS MEET EXISTING PAVEMENT, CURB AND SIDEWALKS. REVIEW ANY REQUIRED CHANGES WITH ENGINEER PRIOR TO CONSTRUCTION OF WORK.
8. ELECTRICAL CIRCUITRY TO SITE LIGHTING AND MONUMENT SIGN SHOWN ON ARCHITECTURAL PLANS.
9. FOR REQUIRED PAVEMENT REMOVAL ADJACENT TO THE CURB AND GUTTER REMOVAL WITHIN RIGHT OF WAY, A FULL DEPTH SAWCUT SHALL BE UTILIZED AND SHALL NOT BE LESS THAN 2' IN WIDTH.
10. FOR ALL PAVEMENT PATCHING WITHIN THE RIGHT OF WAY THE BACKFILL MATERIAL USED SHALL BE CONTROLLED LOW STRENGTH MATERIAL UP TO THE BOTTOM OF THE PAVEMENT. THE THICKNESS OF THE HMA PAVEMENT REPLACEMENT SHALL BE A MINIMUM OF THE SAME THICKNESS AS THE EXISTING PAVEMENT STRUCTURE. THE MIXES USED SHALL BE HMA BINDER COURSE, IL 19.0 N50, AND HMA SURFACE COURSE, MIX D N50.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARATION, COORDINATION AND OBTAINING APPROVAL OF A TRAFFIC MANAGEMENT PLAN IF CLOSURES OF LANES EXCEED THE CRITERIA ESTABLISHED IN THE BDE MANUAL.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING VILLAGE OF HOMEWOOD SEVENTY-TWO (72) HOURS PRIOR TO COMMENCING WORK AND UPON COMPLETION OF SAID WORK.

**PARKING TABLE**

NUMBER OF PARKING STALLS REQUIRED	13 (1 - A.D.A.)
NUMBER OF PARKING STALLS PROPOSED	25 (1 - A.D.A.)



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PROJECT NAME  
OWNER'S NAME

**RESTAURANT WITH DRIVE-THRU**

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COOK COUNTY

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(248) 909-7072

CONSULTANTS

ISSUED FOR	DATE
1. SITE PLAN REVIEW	08/13/2024
2. AGENCY REVIEW	08/22/2024
3. AGENCY REVIEW	08/27/2024
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REVISIONS	DATE
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SHEET TITLE

**LAYOUT PLAN**

DRAWN	ARM
CHECKED	LND
PM	RCS

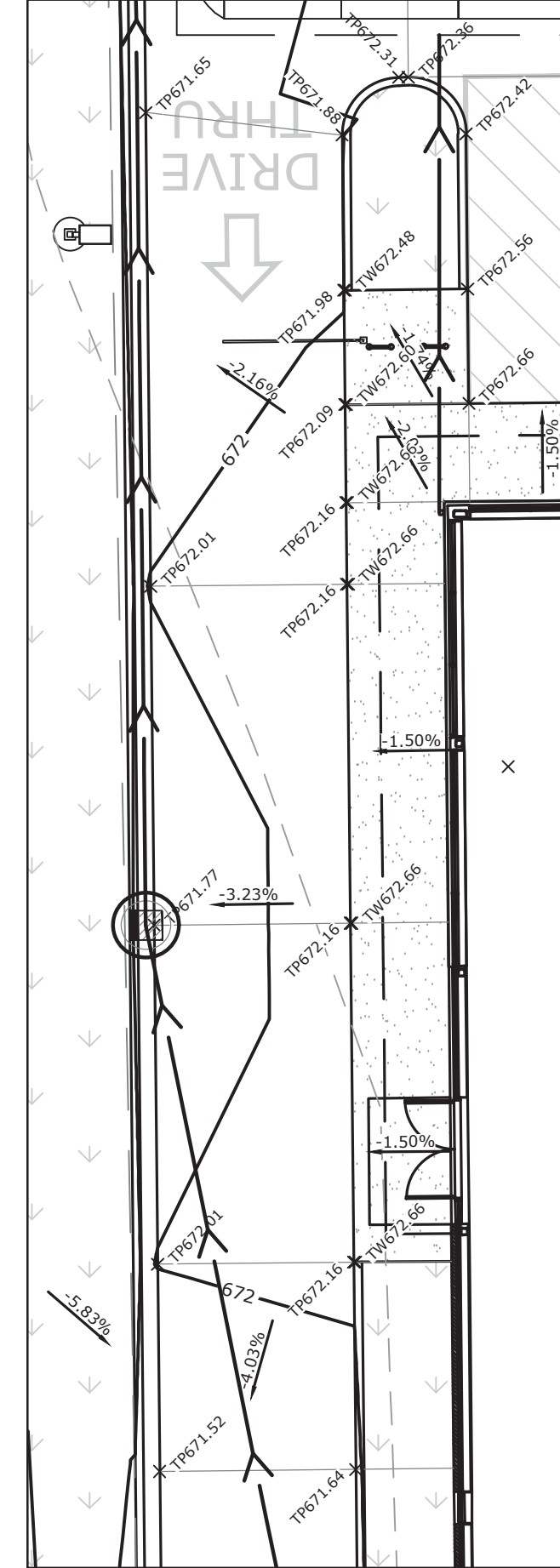
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SHEET NUMBER

**23129**

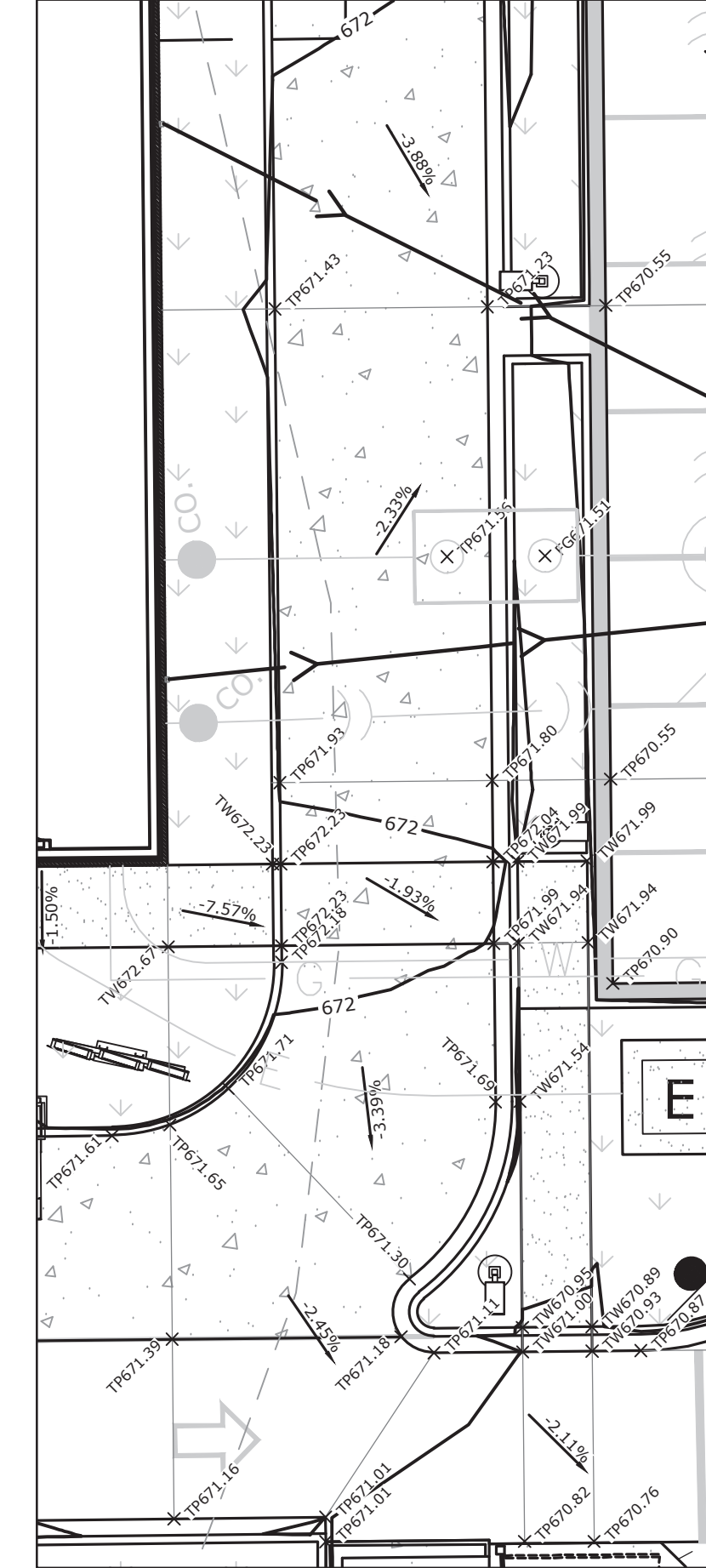
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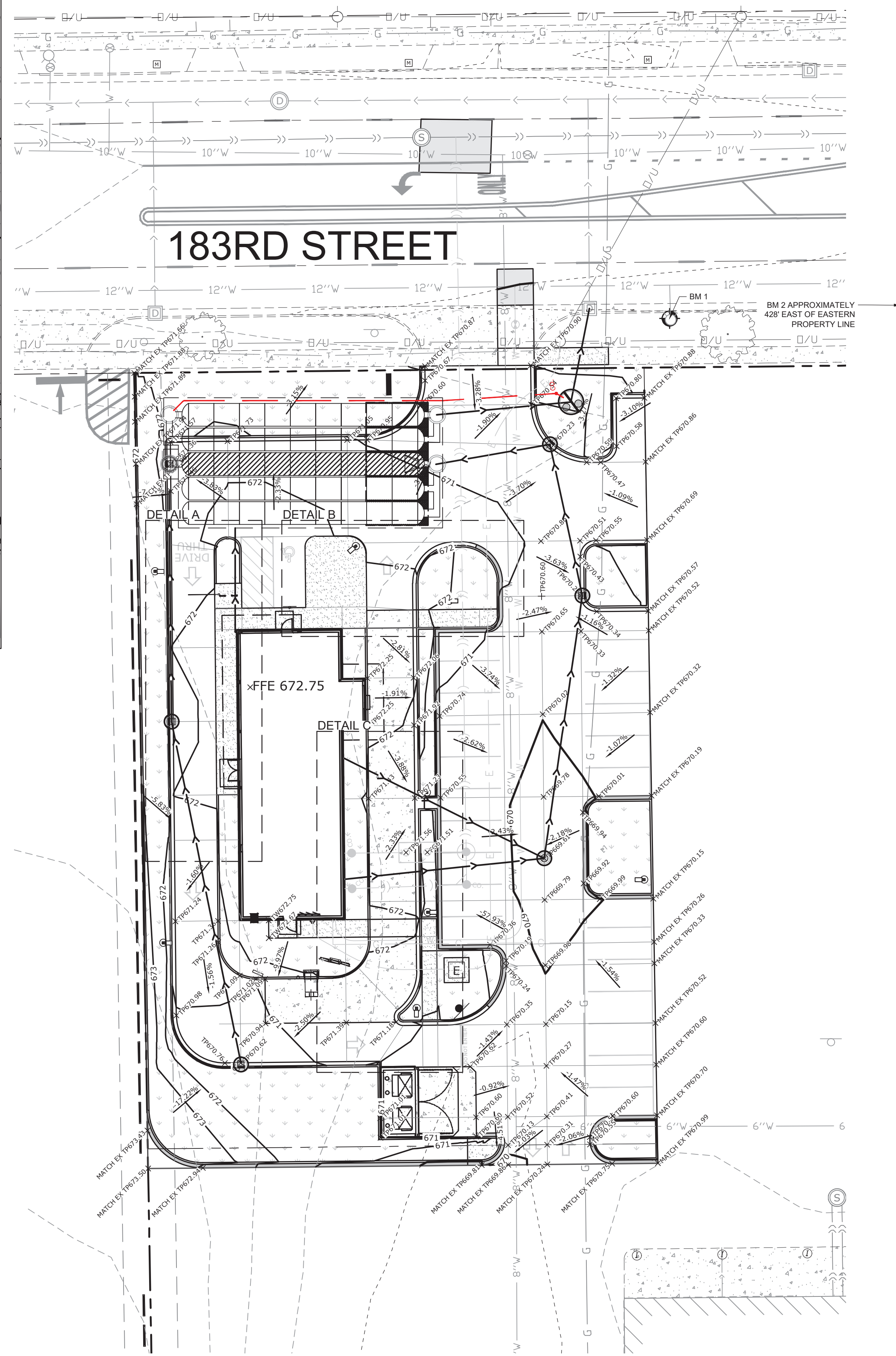
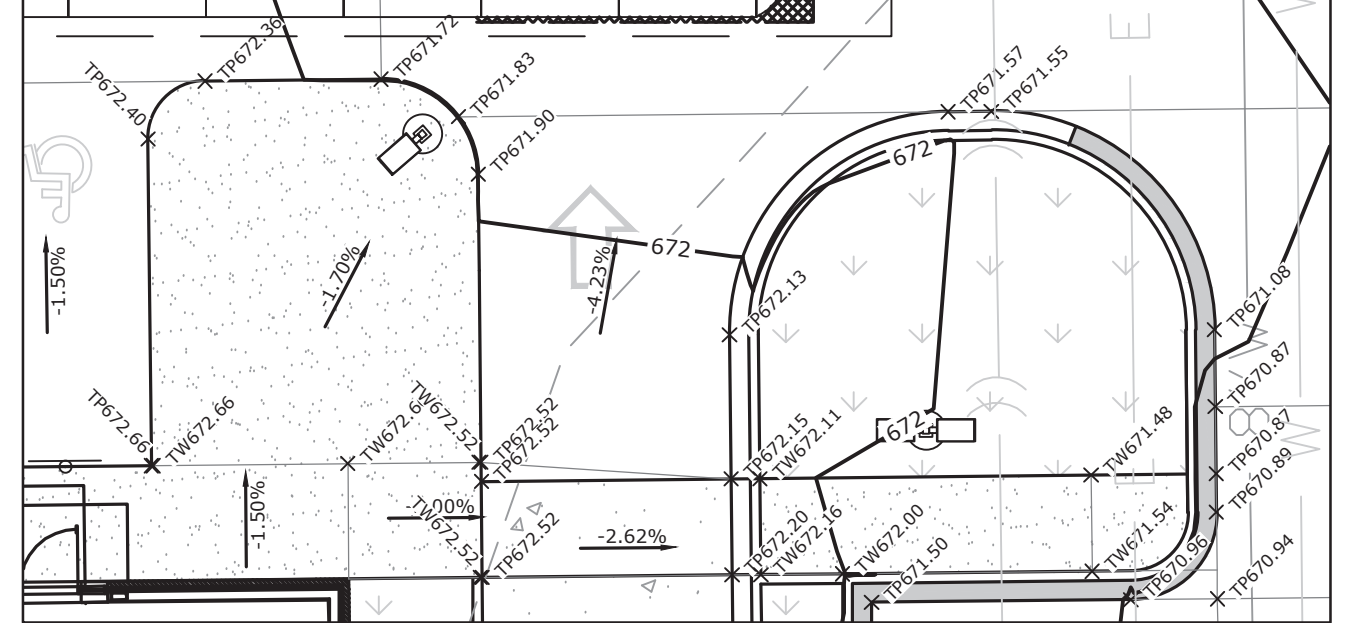
DETAIL A (SCALE 1:10)



DETAIL C (SCALE 1:10)



DETAIL B (SCALE 1:10)



LEGEND

- PROPERTY LINE
- - - LOT LINE
- EXISTING RIGHT-OF-WAY
- ==== PROPOSED CURB AND GUTTER
- ==== PROPOSED REJECTING CURB AND GUTTER
- EXISTING CURB AND GUTTER
- PROPOSED STORM SEWER
- EXISTING STORM SEWER
- PROPOSED GRADE BREAK LINE
- PROPOSED CONTOUR LINE
- EXISTING CONTOUR LINE
- ⊙ ⊕ PROPOSED CATCH BASIN OR MANHOLE
- CO PROPOSED CLEANOUT
- 1.6% DIRECTION OF SHEET FLOW
- + TOP OF WALK ELEVATION
- + TOP OF PAVEMENT ELEVATION
- + FINISHED GRADE ELEVATION
- ⊕ BENCHMARK
- ➔ EMERGENCY OVERLAND FLOW ROUTE

GRADING NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION AND ELEVATION OF EXISTING PIPE INVERTS, FLOOR ELEVATIONS CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL OR VERTICAL CONTROL BY REFERENCING SHOWN COORDINATES OR ELEVATIONS TO HORIZONTAL OR VERTICAL CONTROL POINTS PRIOR TO PROCEEDING WITH WORK.
2. ALL UNSURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND SODDED (OR SEEDED WHERE NOTED) AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
3. ALL STORM SEWER PIPE IS TO BE REINFORCED CONCRETE CULVERT PIPE CLASS IV UNLESS OTHERWISE NOTED. WHERE HDPE OR PVC PIPE IS LISTED AS ACCEPTABLE MATERIALS, PVC SDR 35 HDPE DOUBLE WALL (ADS N-12), OR PVC SCHEDULE 40 MAY BE USED AT THE CONTRACTOR'S DISCRETION.
4. THE MAXIMUM SLOPE RATIO ON CUT/FILL SLOPES IS 3.5 HORIZONTAL TO 1 VERTICAL.
5. PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
6. CONTRACTOR SHALL SET ALL CLEANOUT, MANHOLE AND INLET CASTINGS, FIRE HYDRANTS AND VALVE BOXES TO FINISHED GRADE.
7. ALL PROPOSED PAVED AREAS SHALL BE STRIPPED OF ALL TOPSOIL AND UNSUITABLE MATERIAL AND EXCAVATED OR FILLED TO WITHIN 0.10 FEET OF DESIGN SUBGRADE.
8. THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE AT THE CONCLUSION OF EACH WORKING DAY.
9. ROOF AND CANOPY DRAIN SHALL INCORPORATE BOOT PER DETAIL. 6" PVC PIPE SHALL EXTEND TO A MAIN AS SHOWN ON THE PLAN. POSITIVE DRAINAGE SHALL BE MAINTAINED TOWARD MAIN AT 1.0% MINIMUM SLOPE. 6" PVC CONNECTION TO BE MADE WITH INSERT-A-TEE OR ENGINEER APPROVED EQUIVALENT BETWEEN DISSIMILAR MATERIALS.

BENCHMARKS

DESCRIPTION	ELEVATION
BENCHMARK 1 SE BOLT ON FIRE HYDRANT	671.56
BENCHMARK 2 CUT SQUARE SW CORNER OF CONCRETE PAD	669.28

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REVISIONS

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SHEET TITLE

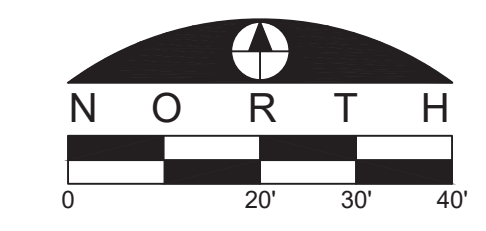
**GRADING PLAN**

DRAWN	ARM
CHECKED	LND
PM	RCS

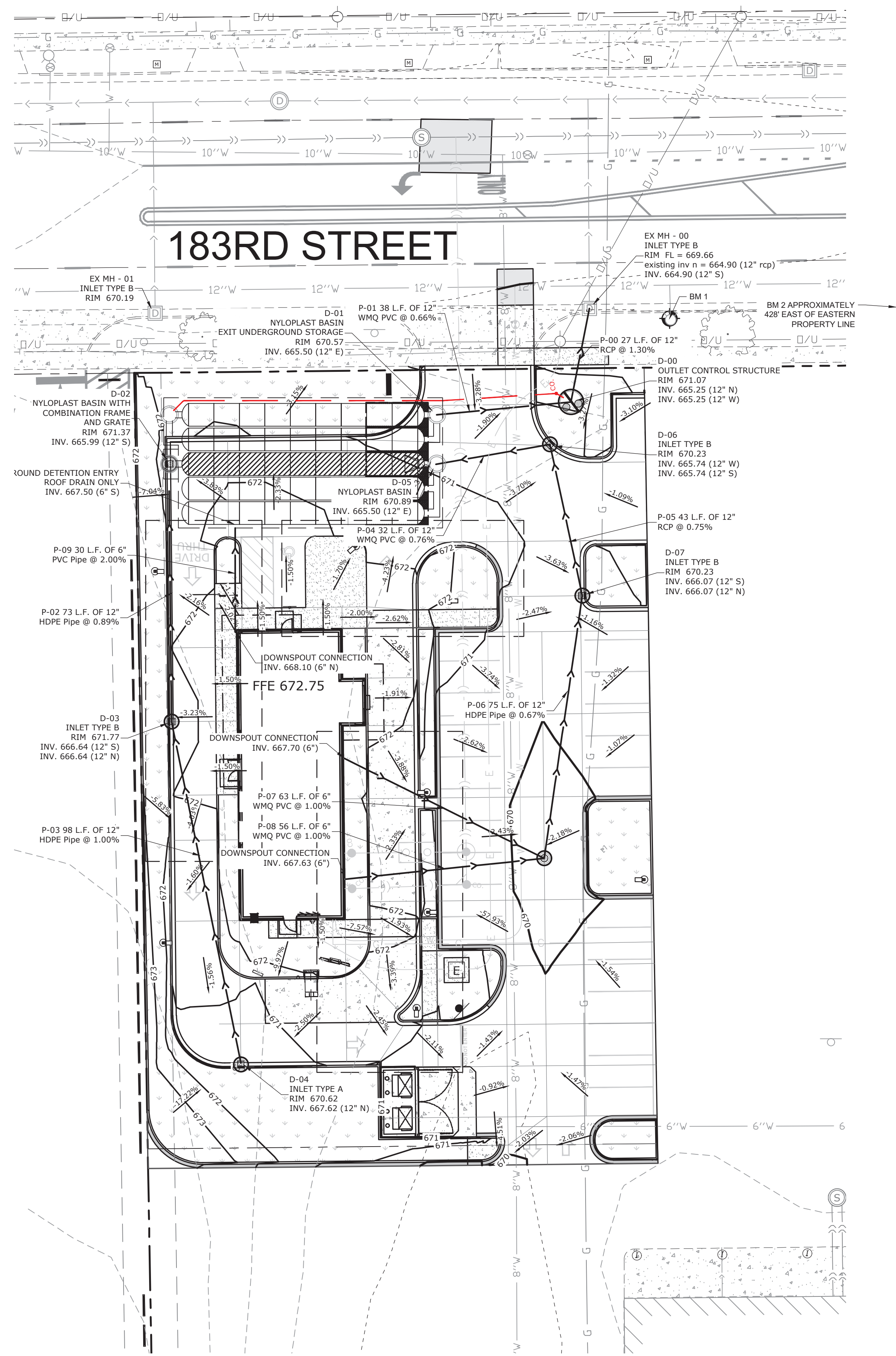
PROJECT NUMBER  
SHEET NUMBER

**23129**

**C-08**







**LEGEND**

- PROPERTY LINE
- LOT LINE
- EXISTING RIGHT-OF-WAY
- PROPOSED CURB AND GUTTER
- PROPOSED REJECTING CURB AND GUTTER
- EXISTING CURB AND GUTTER
- PROPOSED STORM SEWER
- EXISTING STORM SEWER
- PROPOSED GRADE BREAK LINE
- PROPOSED CONTOUR LINE
- EXISTING CONTOUR LINE
- PROPOSED WATER SERVICE
- PROPOSED SANITARY SEWER
- PROPOSED GAS MAIN
- PROPOSED UNDERGROUND ELECTRIC SERVICE
- PROPOSED TELEPHONE SERVICE
- EXISTING MANHOLE OR CATCH BASIN
- PROPOSED CATCH BASIN OR MANHOLE
- PROPOSED CLEANOUT
- 1.6% DIRECTION OF SHEET FLOW

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**BENCHMARKS**

DESCRIPTION	ELEVATION
BENCHMARK 1 SE BOLT ON FIRE HYDRANT	671.56
BENCHMARK 2 CUT SQUARE SW CORNER OF CONCRETE PAD	669.28

SHEET TITLE

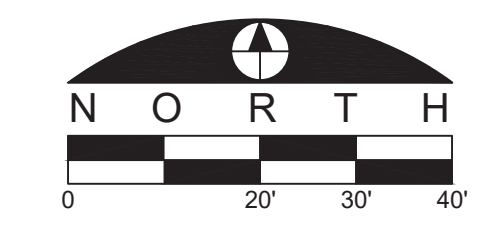
**DRAINAGE PLAN**

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CHECKED	LND
PM	RCS

PROJECT NUMBER  
SHEET NUMBER

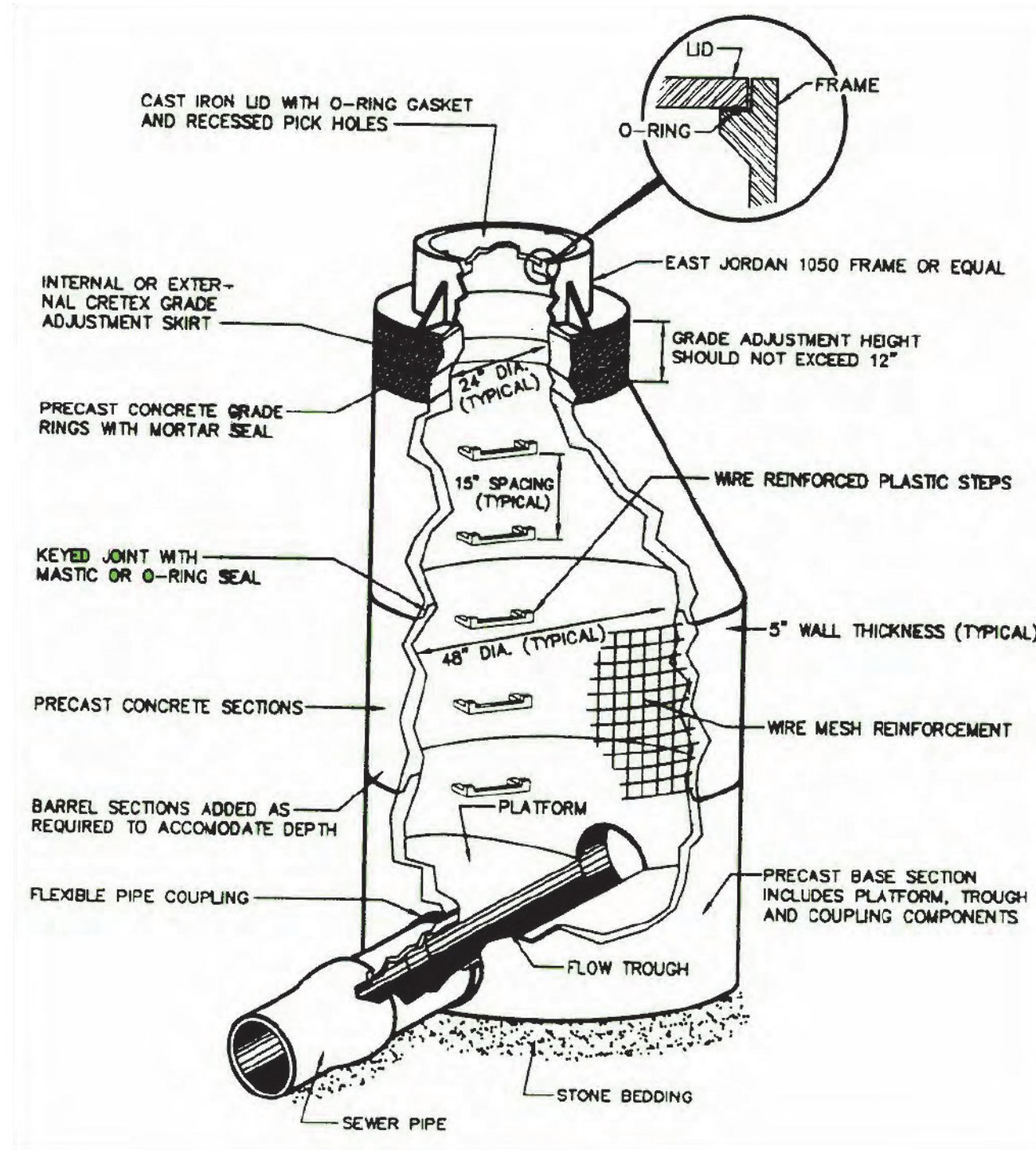
**23129**

**C-09**





### Thorn Creek Basin Sanitary District Standard Manhole Detail (Not to Scale)



#### SPECIFICATIONS

- Notes:
- 4" FPT Inlet/Outlet with 4" plain end adapters, single inlet and triple outlet.
  - Unit weight - w/ cast iron covers: 190 lbs. (For wet weight add 1,043 lbs.)
  - Maximum operating temperature: 150° F continuous
  - Capacities - Liquid: 125 gal.  
Grease: 861 lbs. (118 gal.) @75 GPM  
Solids: 31 gal.
  - For gravity drainage applications only.
  - Do not use for pressure applications.
  - Cover placement allows full access to tank for proper maintenance.
  - Vent not required unless per local code.
  - Engineered inlet and outlet diffusers with inspection ports are removable to inspect / clean piping.
  - Integral air relief / Anti-siphon / Sampling access.
  - Adjustable cover adapter provides up to 4" of additional height.
  - Designed for below-grade, above-grade, indoor and outdoor installations.
  - Safety Star® access restrictor built into cover adapter, prevents accidental entry to tank (450 lb rating).

#### ENGINEER SPECIFICATION GUIDE

Schier Great Basin™ grease interceptor model # GB-75 shall be lifetime guaranteed and made in USA of seamless, rotationally-molded polyethylene with minimum 3/8" uniform wall thickness. Interceptor shall be furnished for above or below-grade installation with adjustable cover adapter, Safety Star® access restrictor built into each cover adapter, and three outlet options. Interceptor shall be certified to ASME A112.14.3 (Type D) and CSA B481.1. Interceptor flow rate shall be 75 GPM. Interceptor grease capacity shall be 861 lbs. Cover shall provide water/gas-tight seal and have minimum 16,000 lbs. load capacity.

#### CERTIFIED PERFORMANCE

Great Basin™ hydromechanical grease interceptors are third party performance-tested and listed by IAPMO to ASME #A112.14.3 and CSA B481.1, grease interceptor standards and greatly exceed requirements for grease separation and storage. They are compliant to the Uniform Plumbing Code and the International Plumbing Code.

Type D certification does not require a flow control

#### SPECIFICATION SHEET

<b>MODEL NUMBER:</b> <b>GB-75</b>	<b>PART NUMBER:</b> 4045-007-02
<b>DESCRIPTION:</b> GB-75 GREASE INTERCEPTOR 75 GPM, 4" INLET/OUTLET, H-20 RATED CAST IRON COVER	
<b>DWG BY:</b> C. BUSENITZ	<b>DATE:</b> 4/14/2022
<b>REV:</b> -	<b>ECO:</b> -



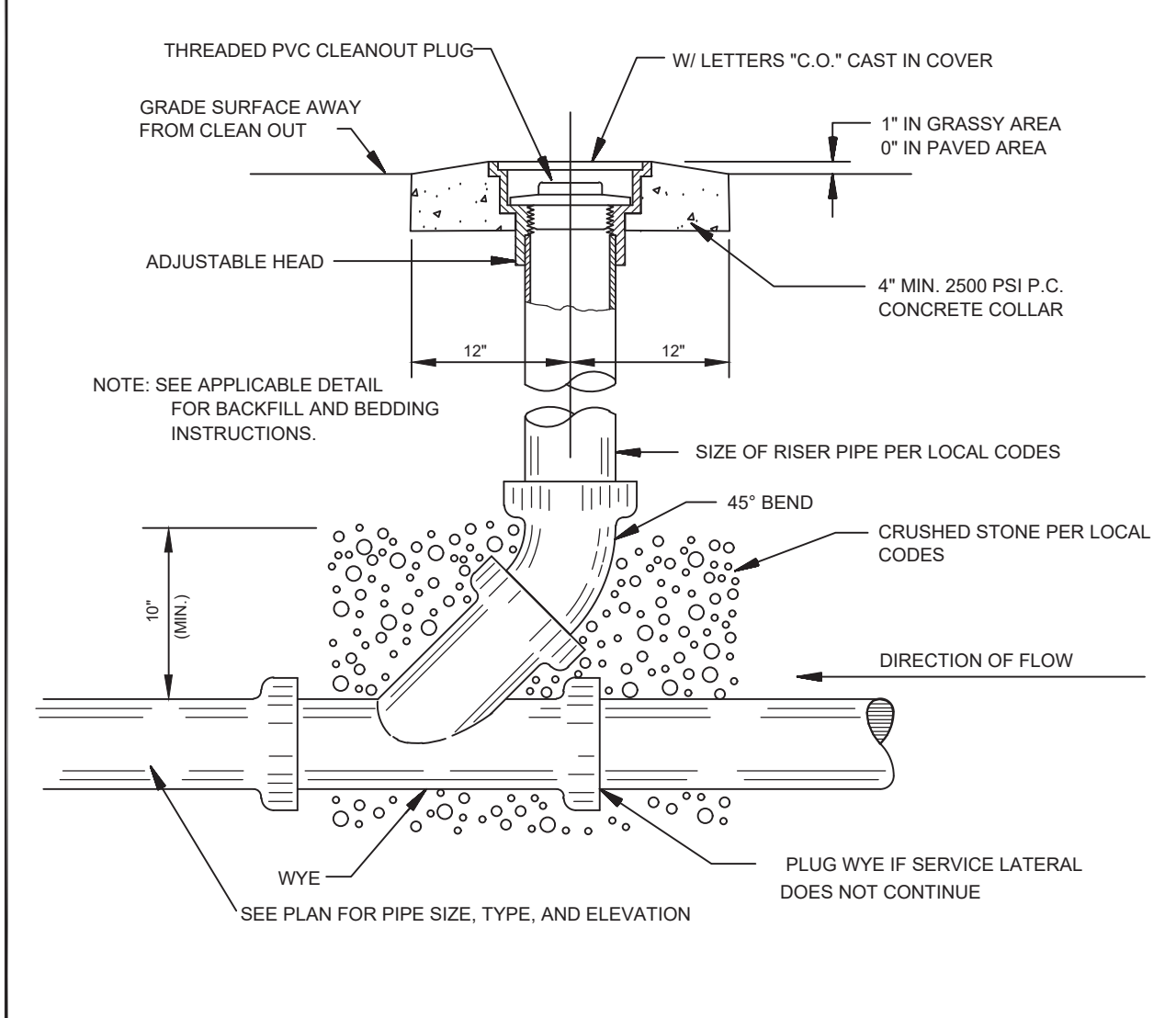
**SCHIER**  
6455 Woodland Dr  
Shawnee, KS 66218  
Tel: 913-951-3300  
Fax: 913-951-3399  
schierproducts.com

### GREASE TRAP SPECIFICATION

NOT TO SCALE

### SEWER CLEANOUT DETAIL

NOT TO SCALE



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REVISIONS

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SHEET TITLE

**SEWER DETAILS**

DRAWN	ARM
CHECKED	LND
PM	RCS

PROJECT NUMBER  
SHEET NUMBER

**23129**

**C-10**



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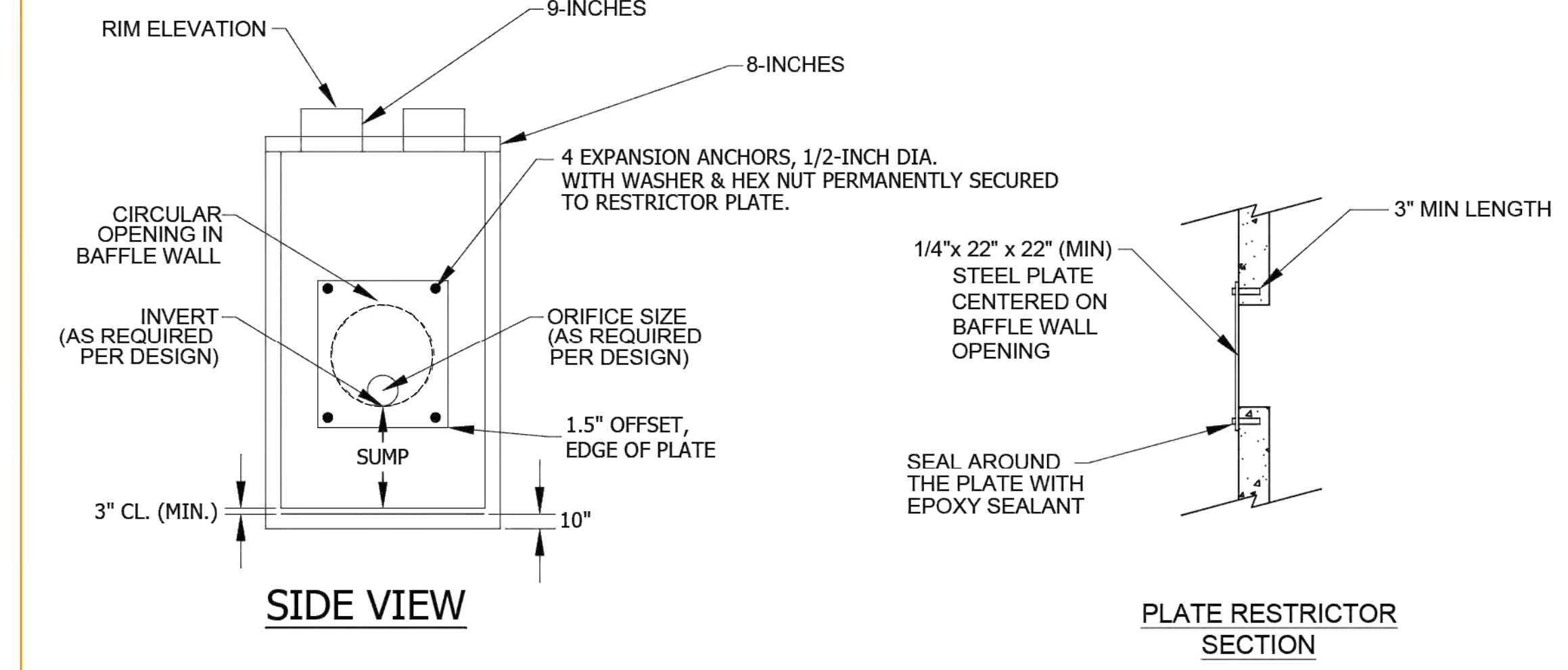
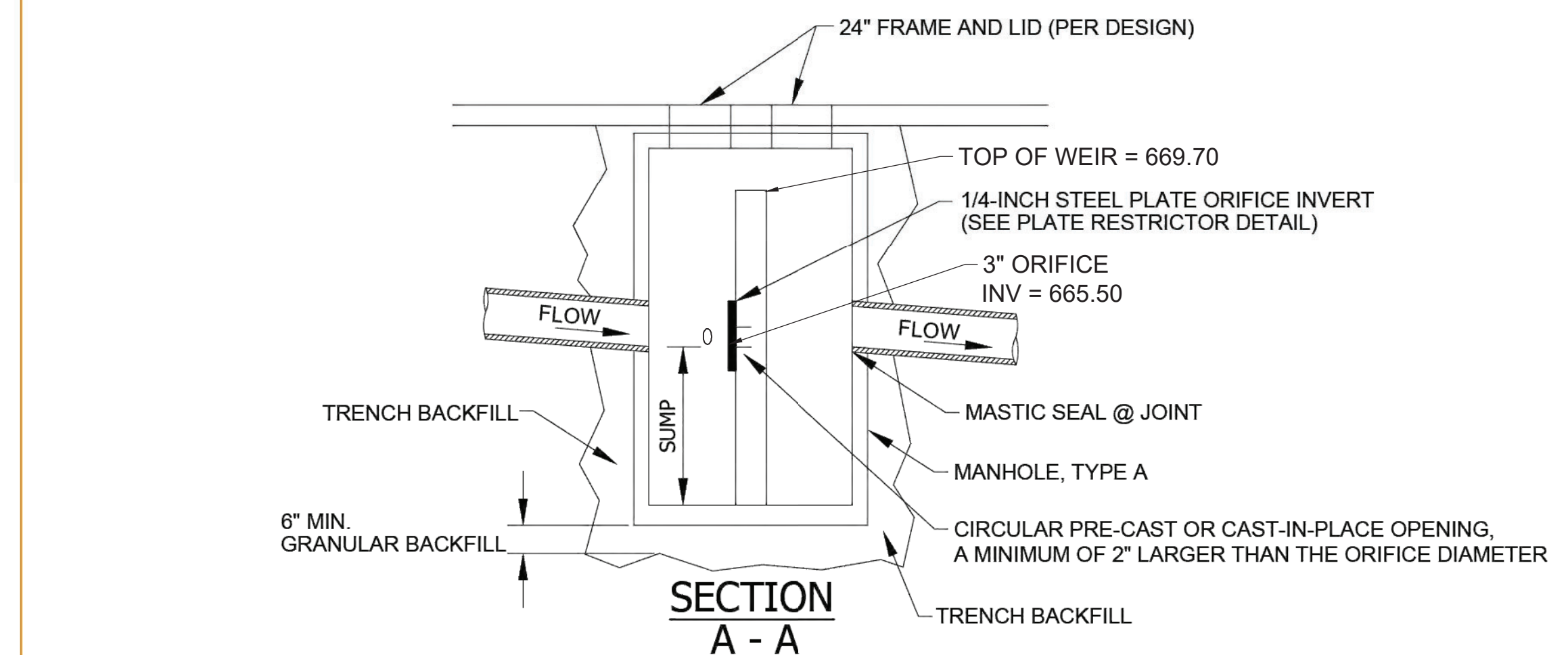
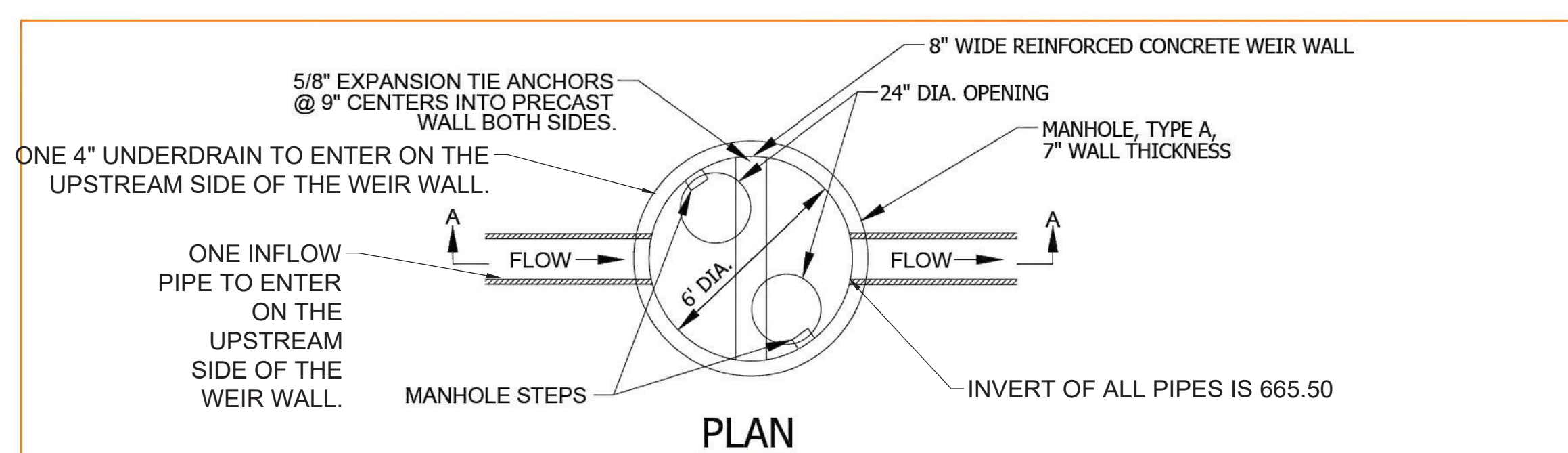
**SEWER DETAILS**

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PROJECT NUMBER  
SHEET NUMBER

**23129**

**C-11**



- NOTES:**
- STRUCTURE AND BAFFLE WALL FABRICATED USING REINFORCED PORTLAND CEMENT CONCRETE.
  - RESTRICTORS LESS THAN 4" IN DIAMETER PROVIDE HOOD/SNOOT OR WIRE MESH
  - BAFFLE WALL PERMANENTLY INSTALLED AS PRECAST OR CAST-IN-PLACE
  - PIPE TO STRUCTURE CONNECTIONS SHALL BE ASTM C923 IN COMBINED SEWER AREAS.
  - CAUTION: 1/4-INCH STEEL PLATE DIMENSIONS TO BEST FIT PROPOSED STRUCTURE.
  - ANCHOR EMBEDMENT SHALL BE 3-INCHES MINIMUM.
  - SEE STRUCTURAL PLANS FOR REINFORCEMENT DETAILS.

**TECHNICAL GUIDANCE MANUAL**

10/04/2019

STD. DWG. NO. 25

PAGE NO. 30

**TECHNICAL GUIDANCE MANUAL**

**WATER AND SEWER SEPARATION REQUIREMENTS (PER IEPA)**

7/1/15

STD. DWG. NO. 41

PAGE NO. 42

**GUIDELINES**

- IF SELECT GRANULAR BACKFILL EXISTS, REMOVE WITHIN WIDTH OF PROPOSED SEWER TRENCH AND REPLACE WITH SELECT EXCAVATED MATERIAL (CLASS IV) AND COMPACT.
- OMIT SELECT GRANULAR EMBEDMENT AND GRANULAR BACKFILL TO ONE (1) FOOT OVER TOP OF SEWER AND USE SELECT EXCAVATED MATERIAL (CLASS IV) AND COMPACT THE LENGTH OF "L".
- CONSTRUCT "L" FEET OF PROPOSED SEWER OF WATER MAIN MATERIAL AND SEAL ENDS OF CASING.
- USE "L" FEET OF WATER MAIN MATERIAL FOR CASING OF PROPOSED SEWER AND SEAL ENDS OF CASING.
- PROVIDE ADEQUATE SUPPORT FOR EXISTING WATER MAIN TO PREVENT DAMAGE DUE TO SETTLEMENT OF SEWER TRENCH.

**NOTES:** "L" THE LENGTH NECESSARY TO PROVIDE 10 FEET OF SEPARATION AS MEASURED PERPENDICULAR TO THE EXISTING WATER MAIN

**\*BASED ON STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS.**

**TECHNICAL GUIDANCE MANUAL**

**RIGID AND FLEXIBLE PIPE INSTALLATION DETAIL**

7/1/15

STD. DWG. NO. 34

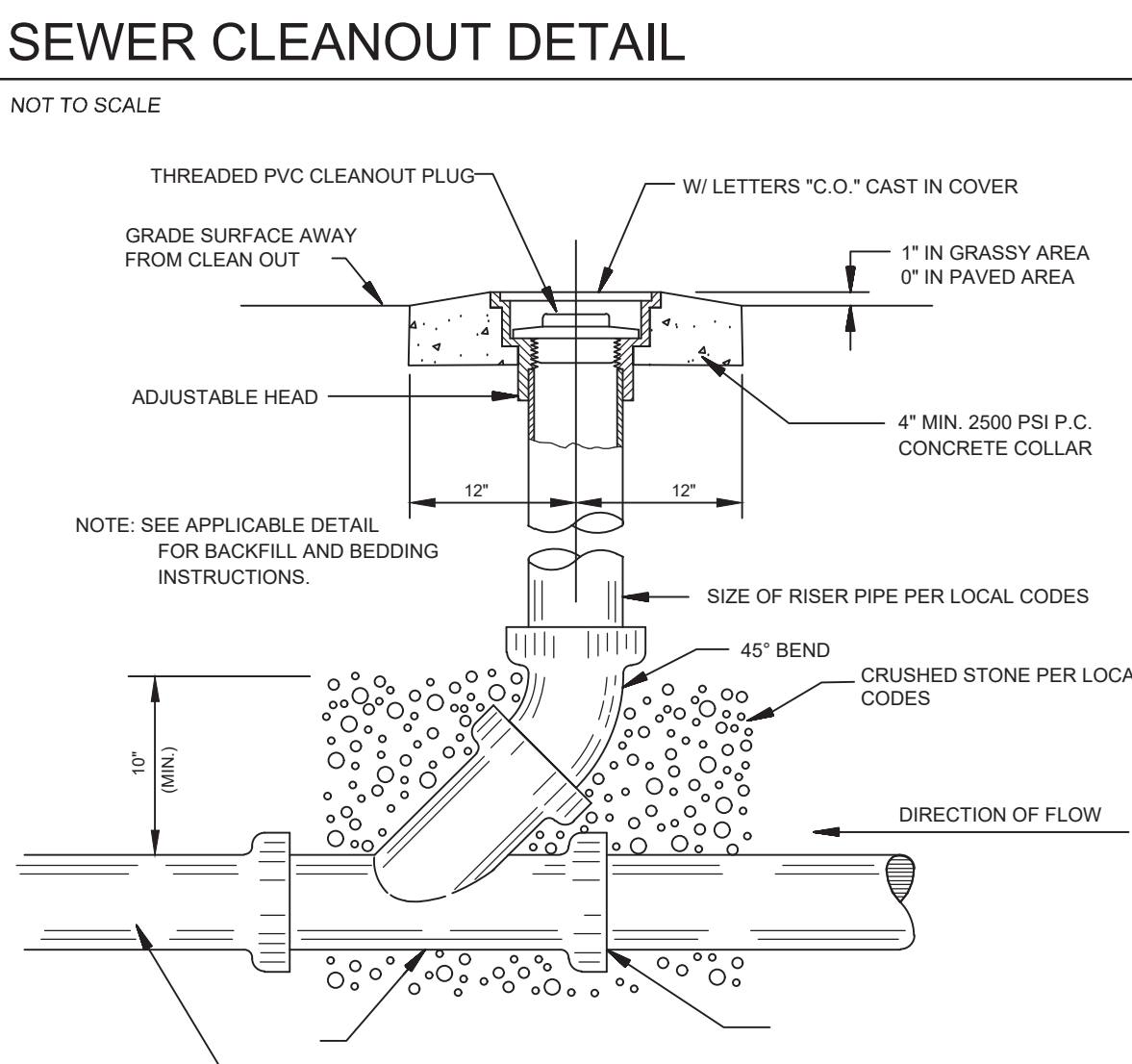
PAGE NO. 35

**RIGID PIPE INSTALLATION DETAIL**

**FLEXIBLE PIPE INSTALLATION DETAIL**

**NOTES:**

- FOR QUALIFIED SEWER CONSTRUCTION ONLY.
- SHORING, OR EQUIVALENT PROTECTIVE SYSTEM, REQUIRED FOR TRENCHES OF 5' DEPTH OR GREATER, OR AS REQUIRED BY MUNICIPALITY.





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REVISIONS

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SHEET TITLE  
**SEWER DETAILS**

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 CHECKED: LND  
 PM: RCS

PROJECT NUMBER  
 SHEET NUMBER  
**23129**  
**C-12**

**PLAN**

**ELEVATION**

ALTERNATE MATERIALS FOR WALLS	T
BRICK MASONRY	8 (200)
CAST-IN-PLACE CONCRETE	6 (150)
CONCRETE MASONRY UNIT	5 (125)
PRECAST REINFORCED CONCRETE SECTION	3 (75)

**ELEVATION - ECCENTRIC**

**ELEVATION - CONCENTRIC**

ALTERNATE MATERIALS FOR WALLS	T (min.)
Concrete Masonry Unit	5 (125)
Brick Masonry	8 (200)
Precast Reinforced Concrete Section	3 (75)
Cast-in-Place Concrete	6 (150)

**ALTERNATE BOTTOM SLAB**

**GENERAL NOTES**

Bottom slabs shall be reinforced with a minimum of 0.24 sq. in./ft. (210 sq. mm/m) in both directions with a maximum spacing of 10 (250).

Bottom slabs may be connected to the riser as determined by the fabricator; however, only a single row of reinforcement around the perimeter may be utilized.

All dimensions are in inches (millimeters) unless otherwise shown.

Illinois Department of Transportation

PASSED: [Signature] January 3, 2019

ENGINEER OF POLICY AND PROCEDURES

APPROVED: [Signature] January 3, 2019

ENGINEER OF DESIGN AND ENVIRONMENT

DATE	REVISIONS
1-1-14	Increased height to 32 (1800) maximum.
1-1-11	Detailed rein. in slabs.
	Added max. limit to height.
	Added general notes.

**INLET - TYPE A**

**STANDARD 602301-04**

**FLAT SLAB TOP JOINT CONFIGURATIONS FOR D = 36 (900) AND D = 4'-0" (1.22 m)**  
 (Shown at access hole)

**SECTION THRU FLAT SLAB TOP FOR D = 36 (900) AND D = 4'-0" (1.22 m)**

**FLAT SLAB TOP JOINT CONFIGURATIONS FOR D = 5'-0" (1.52 m)**  
 (Shown at access hole)

**SECTION THRU FLAT SLAB TOP FOR D = 5'-0" (1.52 m)**

**PLAN - FLAT SLAB TOP FOR D = 36 (900)**  
 (Showing layout of reinforcement bars and c bars)

**PLAN - FLAT SLAB TOP FOR D = 4'-0" (1.22 m)**  
 (Showing layout of reinforcement bars and c bars)

**PLAN - FLAT SLAB TOP FOR D = 36 (900)**  
 (Showing layout of welded wire reinforcement and c bars)

**PLAN - FLAT SLAB TOP FOR D = 4'-0" (1.22 m)**  
 (Showing layout of welded wire reinforcement and c bars)

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PASSED: [Signature] January 3, 2019

ENGINEER OF POLICY AND PROCEDURES

APPROVED: [Signature] January 3, 2019

ENGINEER OF DESIGN AND ENVIRONMENT

DATE	REVISIONS
1-1-19	Expanded / refined reinforcement options.
1-1-18	Revised for compliance with LRFD.

**PRECAST REINFORCED CONCRETE FLAT SLAB TOP**

(Sheet 1 of 2)

**STANDARD 602601-06**

**PLAN - FLAT SLAB TOP FOR D = 36 (900)**  
 (Showing layout of reinforcement bars and c bars)

**PLAN - FLAT SLAB TOP FOR D = 4'-0" (1.22 m)**  
 (Showing layout of reinforcement bars and c bars)

**PLAN - FLAT SLAB TOP FOR D = 5'-0" (1.52 m)**  
 (Showing layout of reinforcement bars and c bars)

**PLAN - FLAT SLAB TOP FOR D = 4'-0" (1.22 m)**  
 (Showing layout of welded wire reinforcement and c bars)

**PLAN - FLAT SLAB TOP FOR D = 5'-0" (1.52 m)**  
 (Showing layout of welded wire reinforcement and c bars)

Illinois Department of Transportation

PASSED: [Signature] January 3, 2019

ENGINEER OF POLICY AND PROCEDURES

APPROVED: [Signature] January 3, 2019

ENGINEER OF DESIGN AND ENVIRONMENT

Location	WWR (each direction)	Rebar
	$A_s$ (min.) Spacing (max.)	$A_s$ (min.) Spacing (max.) Bar Size
Bottom Mat	* 0.60 sq. in./ft. (150)	See plan view for rebar orientation and spacing and this table for bar size (#13)

**FLAT SLAB TOP REINFORCEMENT FOR D = 36 (900)**

Location	WWR (each direction)	Rebar
	$A_s$ (min.) Spacing (max.)	$A_s$ (min.) Spacing (max.) Bar Size
Bottom Mat	* 0.62 sq. in./ft. (150)	See plan view for rebar orientation and spacing and this table for bar size (#16)

**FLAT SLAB TOP REINFORCEMENT FOR D = 4'-0" (1.22 m)**

Location	WWR (each direction)	Rebar (each direction except as noted)
	$A_s$ (min.) Spacing (max.)	$A_s$ (min.) Spacing (max.) Bar Size
Top Mat	0.11 sq. in./ft. (233 sq. mm/m)	18 7'-3" (2.23 m) #3 or #4 (410) (#13)
Bottom Mat	* 0.40 sq. in./ft. (150)	See plan view for rebar orientation and spacing and this table for bar size (#13)

**FLAT SLAB TOP REINFORCEMENT FOR D = 5'-0" (1.52 m)**

\* Only one layer of WWR permitted to avoid congestion.

Illinois Department of Transportation

PASSED: [Signature] January 3, 2019

ENGINEER OF POLICY AND PROCEDURES

APPROVED: [Signature] January 3, 2019

ENGINEER OF DESIGN AND ENVIRONMENT

DATE	REVISIONS
1-1-19	Expanded / refined reinforcement options.
1-1-18	Revised for compliance with LRFD.

**PRECAST REINFORCED CONCRETE FLAT SLAB TOP**

(Sheet 2 of 2)

**STANDARD 602601-06**

**GENERAL NOTES**

The flat slab top may be used in lieu of the tapered tops shown on Standards 602001, 602016, or 602036 at the option of the Contractor or when field conditions prohibit the use of tapered tops.

Lifting holes shall be located in the sections as per the manufacturer's recommendations.

All dimensions are in inches (millimeters) unless otherwise shown.



**ARC DESIGN RESOURCES INC.**

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LOVES PARK, IL 61111  
VOICE: (815) 484-4300  
FAX: (815) 484-4303

www.arcdesign.com  
Illinois Design Firm License No. 184-001334

PROJECT NAME  
OWNER'S NAME

**RESTAURANT WITH DRIVE-THRU**

3047 183RD STREET  
HOMEWOOD, IL  
COOK COUNTY

ALRIG USA  
RACHEL DELANEY  
RACHEL@ALRIGUSA.COM  
(248) 909-7072

CONSULTANTS

ISSUED FOR

DATE	DATE
1. SITE PLAN REVIEW	8/13/2024
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SHEET TITLE

**ADS DETAIL**

DRAWN: ARM  
CHECKED: LND  
PM: RCS

PROJECT NUMBER  
SHEET NUMBER

23129  
C-13

PROJECT INFORMATION

ENGINEER/PRODUCT MANAGER	
ADS SALES REP	
PROJECT NO.	



**COFFEE SHOP**  
HOMEWOOD, IL, USA

**MC-3500 STORMTECH CHAMBER SPECIFICATIONS**

- CHAMBERS SHALL BE STORMTECH MC-3500.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 45x75 DESIGNATION SS.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2797, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<math>t=1\text{ MIN}</math>) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WHEEL) AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
  - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
  - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
  - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 450 LBS/FT<sup>2</sup>. THE ASC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
  - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
  - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.56 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2797 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
  - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM D4158 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.
- MANIFOLD SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECH NOTE #6.32 FOR MANIFOLD SIZING GUIDANCE. DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANIFOLD COMPONENTS IN THE FIELD.
- ADS DOES NOT DESIGN OR PROVIDE MEMBRANE LINER SYSTEMS. TO MINIMIZE THE LEAKAGE POTENTIAL OF LINER SYSTEMS, THE MEMBRANE LINER SYSTEM SHOULD BE DESIGNED BY A KNOWN, REPUTABLE, GEOTECHNICAL PROFESSIONAL AND INSTALLED BY A QUALIFIED CONTRACTOR.

**IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF MC-3500 CHAMBER SYSTEM**

- STORMTECH MC-3500 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH MC-3500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/4500 CONSTRUCTION GUIDE". STORMTECH RECOMMENDS 3 BACKFILL METHODS:
  - CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS.
  - STONESHOOTER LOCATED OFF THE CHAMBER BED.
  - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
  - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELLED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM - 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
- INLET AND OUTLET MANIFOLDS MUST BE INSERTED A MINIMUM OF 12" (300 mm) INTO CHAMBER END CAPS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE MEETING THE AASHTO M43 DESIGNATION OF #3 OR #4.
- STONE MUST BE PLACED ON THE TOP CENTER OF THE CHAMBER TO ANCHOR THE CHAMBERS IN PLACE AND PRESERVE ROW SPACING.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

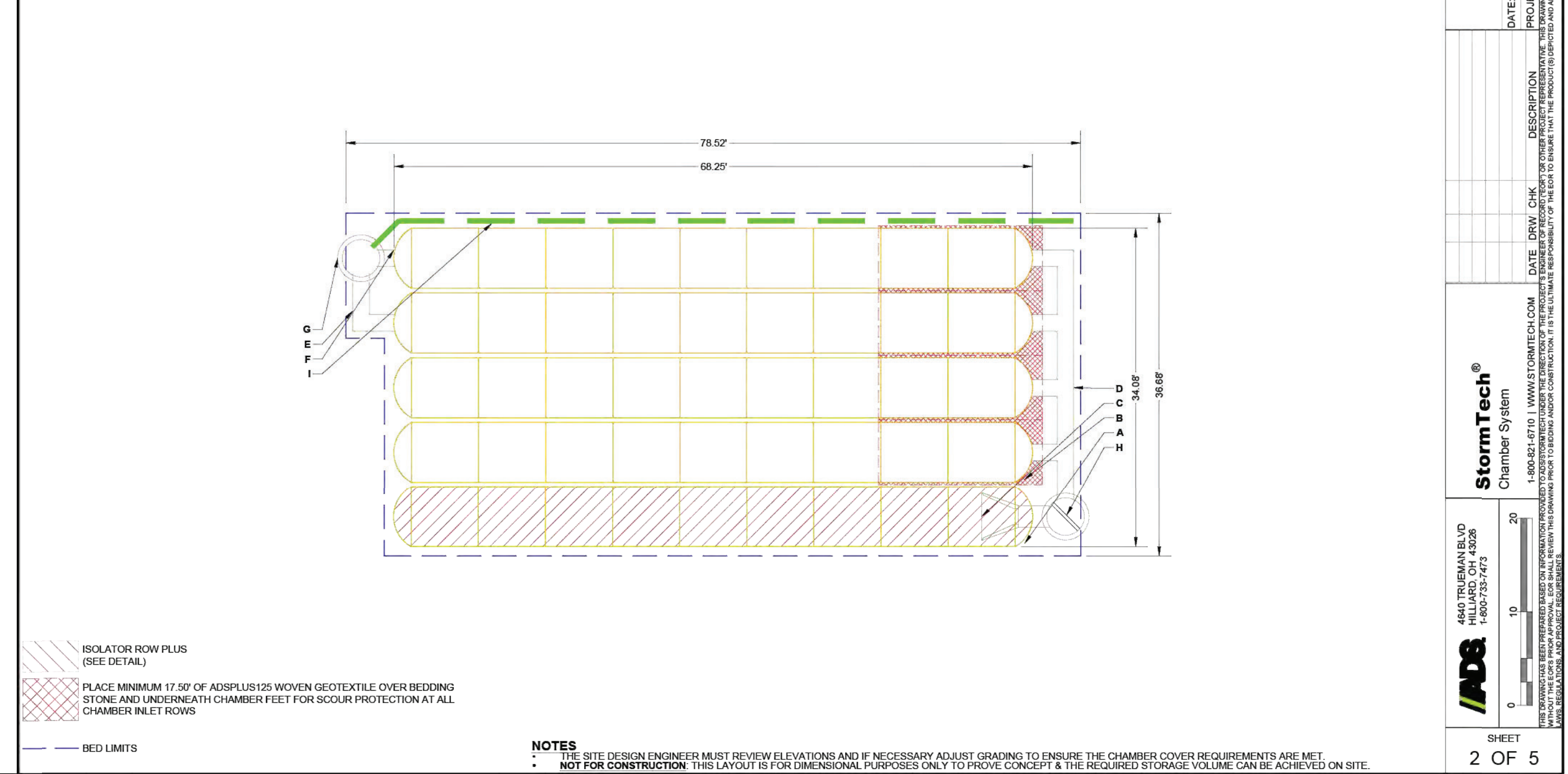
**NOTES FOR CONSTRUCTION EQUIPMENT**

- STORMTECH MC-3500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/4500 CONSTRUCTION GUIDE".
- THE USE OF EQUIPMENT OVER MC-3500 CHAMBERS IS LIMITED:
  - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
  - NO RUBBER TIRE LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNLESS PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH MC-3500/4500 CONSTRUCTION GUIDE".
  - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH MC-3500/4500 CONSTRUCTION GUIDE".
- FILL 30" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY USING THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-800-821-6710 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

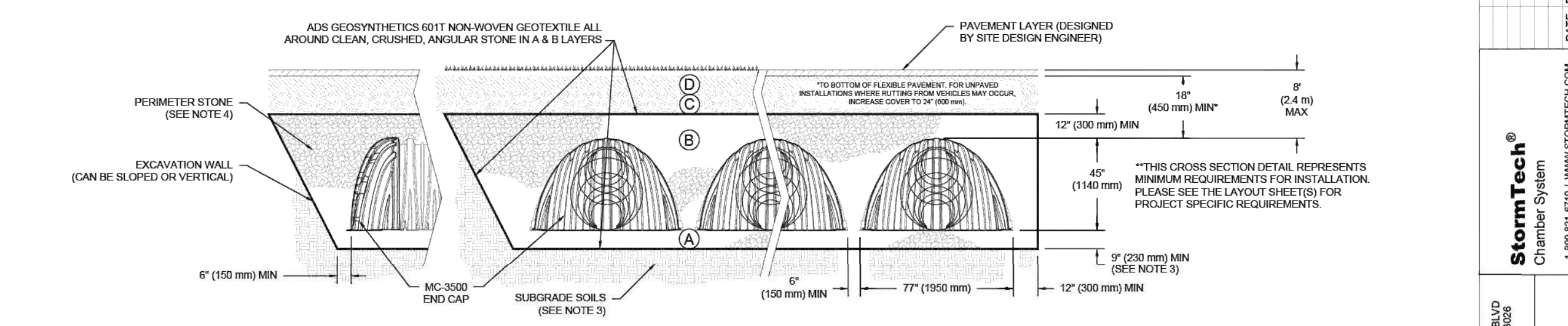
PROPOSED LAYOUT	PROPOSED ELEVATIONS:	PART TYPE	ITEM ON LAYOUT	DESCRIPTION	*INVERT ABOVE BASE OF CHAMBER	INVERT	MAX FLOW
46. STORMTECH MC-3500 CHAMBERS	MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT) UNPAVED: 677.00						
47. STORMTECH MC-3500 CHAMBERS	MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC): 674.00						
12. STONE ABOVE (B)	MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC): 670.50		A	24" BOTTOM CORED END CAP, PART# MC3500EPP24BC / TYP OF ALL 24" BOTTOM CONNECTIONS AND ISOLATOR PLUS ROWS		2.00'	
3. STONE BELOW (B)	MINIMUM ALLOWABLE GRADE (TOP OF ROAD CONCRETE PAVEMENT): 670.50						
36. STONE VOIDS	MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT): 670.50		B	18" x 18" BOTTOM MANIFOLD, ADS N-12 CONNECTIONS		1.77'	
8774. INSTALLED SYSTEM VOLUME (CF)	TOP OF STONE						
	TOP OF MC-3500 CHAMBER		C	INSTALL FLAMP ON 24" ACCESS PIPE / PART# MCFLAMP			
	TOP OF ISOLATOR ROW PLUS INVERT		D	18" x 18" BOTTOM MANIFOLD, ADS N-12		1.77'	
	18" x 18" BOTTOM MANIFOLD INVERT		E	18" x 18" BOTTOM MANIFOLD, ADS N-12		1.77'	
	18" x 18" BOTTOM MANIFOLD INVERT		F	18" BOTTOM CONNECTION		1.77'	
	18" BOTTOM CONNECTION INVERT		G	CONCRETE STRUCTURE		8.0 CFS OUT	
	18" BOTTOM CONNECTION INVERT		H	DESIGN BY ENGINEER / PROVIDED BY OTHERS		20.9 CFS IN	
	CONCRETE STRUCTURE INVERT						
	UNDERDRAIN		I	DESIGN BY ENGINEER / PROVIDED BY OTHERS			
	UNDERDRAIN						



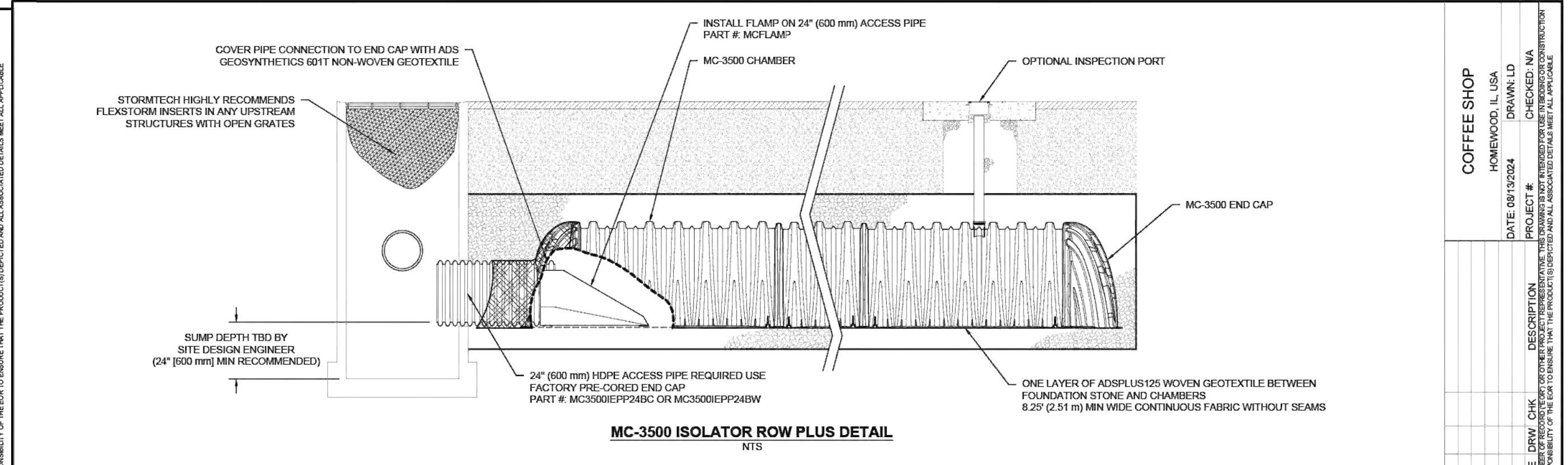
**ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS**

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 17 STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 12' STARTS FROM THE TOP OF THE EMBEDMENT STONE (B LAYER) TO 2" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES - <math><35\%</math> FINES OR PROCESSED AGGREGATE. OR MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL-GRADED MATERIAL AND 90% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 <sup>1</sup> A-1, A-2, A-3 OR AASHTO M43 <sup>2</sup> 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 <sup>1</sup> 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. <sup>2,3</sup>

- PLEASE NOTE:
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
  - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR A LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERS WITH A VIBRATORY COMPACTOR.
  - WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
  - ONCE LAYER 'C' IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.
  - WHERE RECYCLED CONCRETE AGGREGATE IS USED IN LAYERS 'A' OR 'B' THE MATERIAL SHOULD ALSO MEET THE ACCEPTABILITY CRITERIA OUTLINED IN TECHNICAL NOTE 6.20 "RECYCLED CONCRETE STRUCTURAL BACKFILL".



- NOTES:**
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 45x75 DESIGNATION SS.
  - MC-3500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2797 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
  - THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS. REFERENCE STORMTECH DESIGN MANUAL FOR BEARING CAPACITY GUIDANCE.
  - PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
  - REQUIREMENTS FOR HANDLING AND INSTALLATION:
    - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
    - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
    - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 450 LBS/FT<sup>2</sup>. THE ASC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.



**INSPECTION & MAINTENANCE**

- STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
- A. INSPECTION PORTS (IF PRESENT)
- A.1. REMOVE OPEN LID ON UPSTREAM INLINE DRAIN
- A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
- A.3. USING A FLASHLIGHT AND STADIUM ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
- A.4. LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
- A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- B. ALL ISOLATOR PLUS ROWS
- B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS
- B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
- i) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
- ii) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
- B.3. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JET/VAC PROCESS
- A. FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45" (1.1 m) OR MORE IS PREFERRED
- B. APPLY MULTIPLE PASSES OF JET/VAC UNTIL BACKFLUSH WATER IS CLEAR
- C. VACUUM STRUCTURE: SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS, RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

- NOTES**
- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
  - CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

COFFEE SHOP  
HOMEWOOD, IL, USA  
DRAWN: LD  
DATE: 08/13/2024  
PROJECT #:  
DESCRIPTION:  
1-800-821-6710 | WWW.STORMTECH.COM  
4465 TREBURN BLVD  
HILLIARD, OH 43028  
1-800-735-7473

StormTech Chamber System

SHEET 3 OF 5

COFFEE SHOP  
HOMEWOOD, IL, USA  
DRAWN: LD  
DATE: 08/13/2024  
PROJECT #:  
DESCRIPTION:  
1-800-821-6710 | WWW.STORMTECH.COM  
4465 TREBURN BLVD  
HILLIARD, OH 43028  
1-800-735-7473

StormTech Chamber System

SHEET 4 OF 5







**ARC DESIGN**  
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REVISIONS

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**UTILITY PLAN**

DRAWN	ARM
CHECKED	LND
PM	RCS

PROJECT NUMBER  
SHEET NUMBER

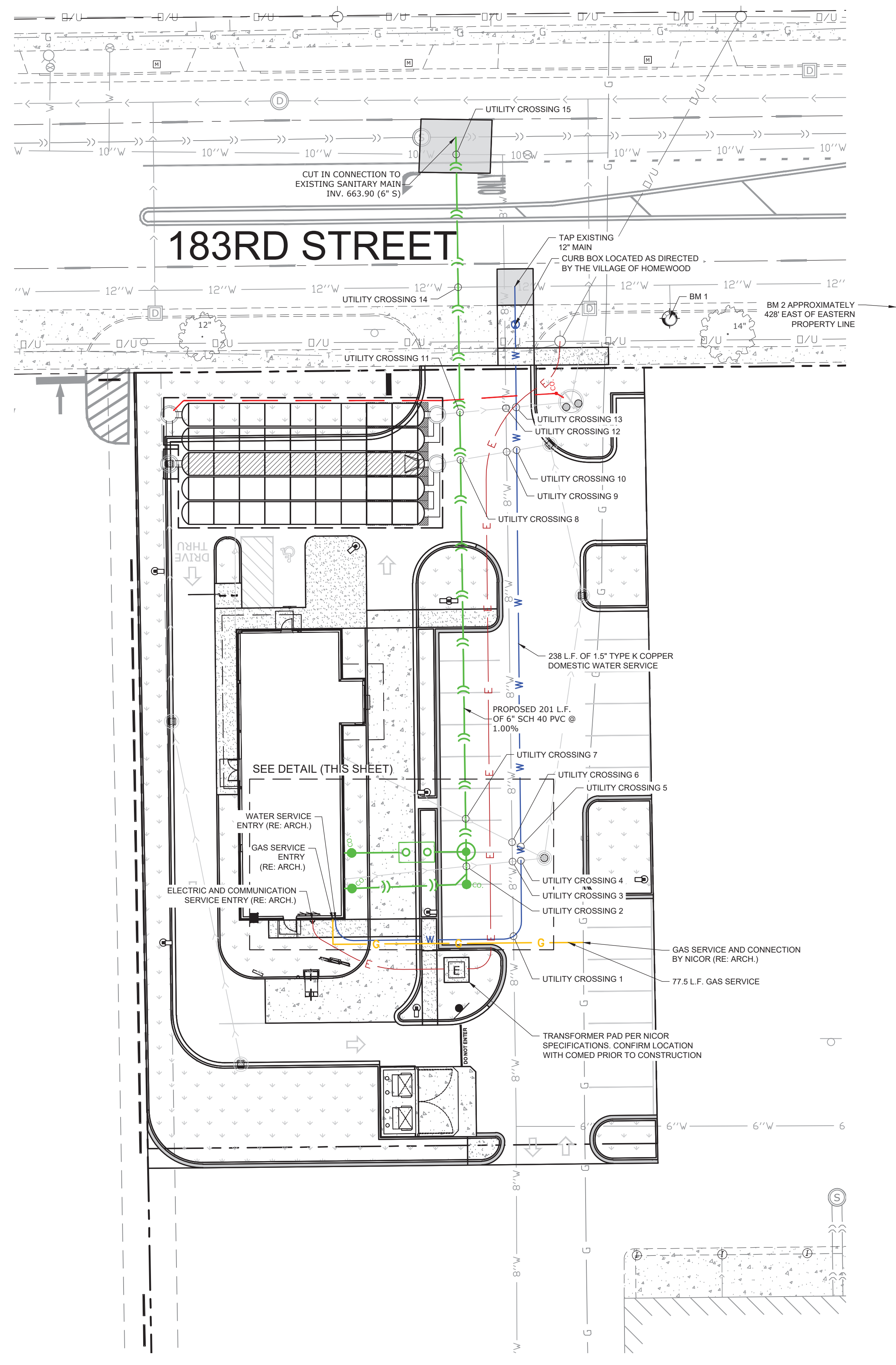
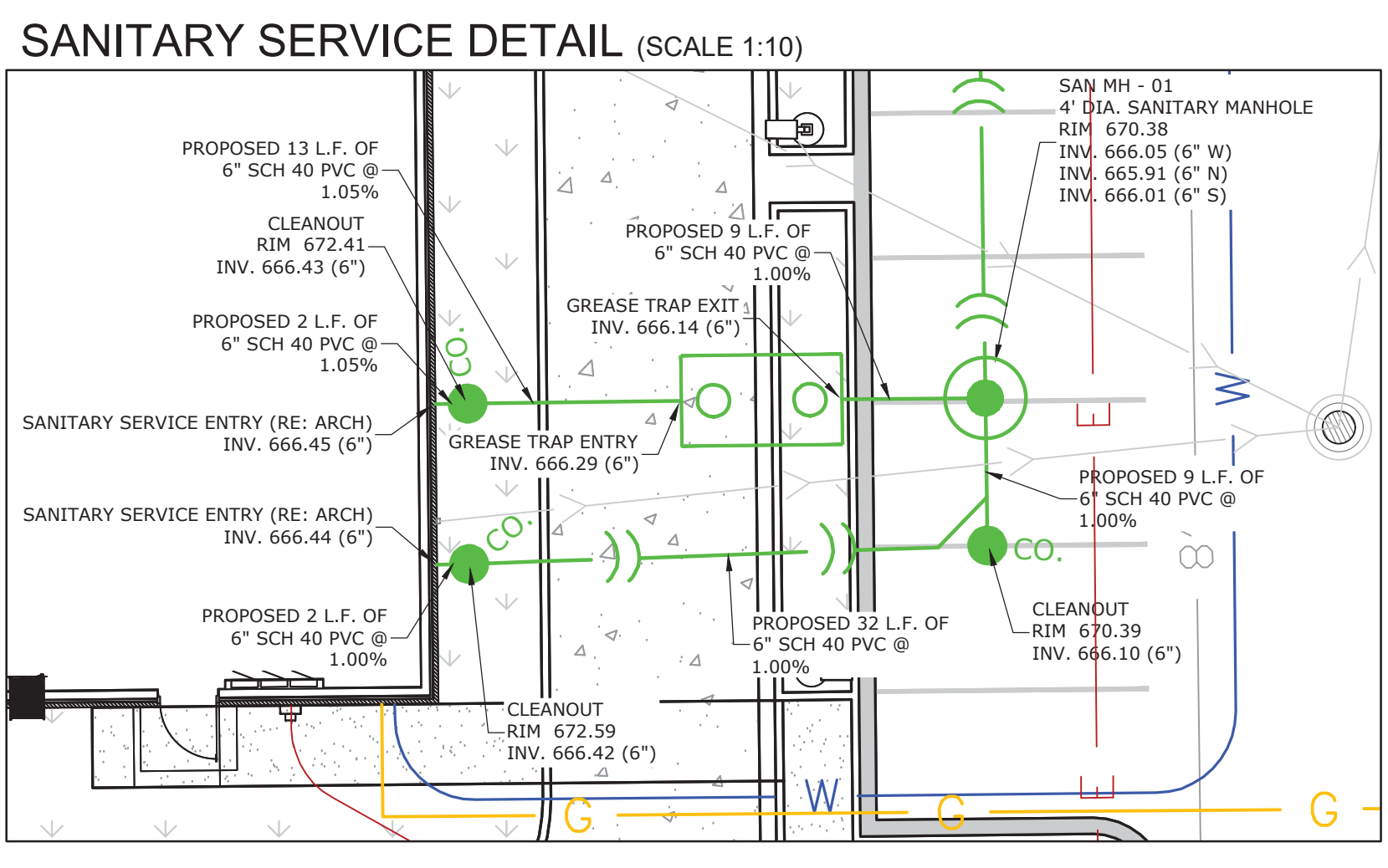
**23129**

**C-15**

**UTILITY CROSSING TABLE**

UTILITY CROSSING	BOTTOM OF TOP PIPE	TOP OF BOTTOM PIPE	VERTICAL CLEARANCE
1	EXISTING WATER SERVICE: 650.10'	PROPOSED WATER SERVICE: 649.60'	0.50'
2	STORM: 667.21'	SANITARY: 666.57'	0.64'
3	STORM: 666.14'	EXISTING WATER SERVICE: 665'	2.14'
4	STORM: 667.11'	PROPOSED WATER SERVICE: 664.90'	2.21'
5	STORM: 667.13'	PROPOSED WATER SERVICE: 664.89'	2.24'
6	STORM: 667.15'	EXISTING WATER SERVICE: 664.89'	2.26'
7	STORM: 667.23'	SANITARY: 666.34'	0.89'
8	STORM: 665.49'	SANITARY: 665.34'	0.15'
9	STORM: 665.62'	EXISTING WATER SERVICE: 665.47'	0.15'
10	STORM: 665.64'	PROPOSED WATER SERVICE: 665.41'	0.23'
11	STORM: 665.40'	SANITARY: 665.19'	0.21'
12*	STORM: 665.34'	EXISTING WATER SERVICE: 663.84'	1.50'
13	STORM: 665.32'	PROPOSED WATER SERVICE: 663.82'	1.50'
14	EXISTING WATERMAIN: 664.06'	SANITARY: 664.84'	-0.78'
15	EXISTING WATERMAIN: 664.64'	SANITARY: 664.47'	0.17'

**CONTRACTOR SHALL OPEN CUT AND VERIFY TOP OF PIPE ELEVATIONS OF EXISTING 8" WATER LINE AND THE 10" AND 12" WATERMAINS PRIOR TO ANY INSTALLATION ACTIVITIES. IF ELEVATIONS ARE HIGHER THAN SHOWN IN THE TABLE, CONTACT ARC DESIGN**



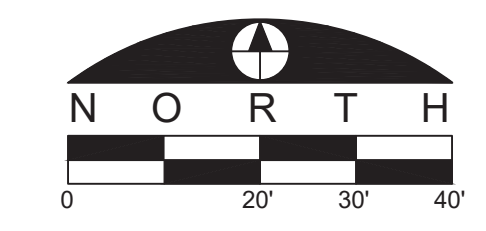
**LEGEND**

- PROPERTY LINE
- 10" W EXISTING WATER MAIN
- V --- PROPOSED WATER SERVICE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- G --- EXISTING GAS MAIN
- PROPOSED GAS MAIN
- E --- PROPOSED UNDERGROUND ELECTRIC SERVICE
- U/T --- PROPOSED TELEPHONE SERVICE
- EXISTING OVERHEAD UTILITY LINES
- PROPOSED TRANSFORMER
- EXISTING FIRE HYDRANT ASSEMBLY
- EXISTING WATER VALVE
- PROPOSED WATER VALVE
- EXISTING MANHOLE OR CATCH BASIN
- PROPOSED SANITARY MANHOLE
- PROPOSED SANITARY CLEANOUT
- PROPOSED GREASE TRAP (SEE ARCH PLANS FOR DETAIL)
- EXISTING SANITARY MANHOLE
- EXISTING UTILITY POLE
- PROPOSED UTILITY POLE
- EXISTING LIGHT POLE
- LIGHT POLE AND FIXTURE

- UTILITY NOTES**
- THE CONTRACTOR SHALL PROVIDE PROPER SAFETY DEVICES IN ACCORDANCE WITH OSHA STANDARDS FOR ALL STAFF WORKING IN OPEN TRENCH CONDITIONS. TRENCH BOXES AND OTHER SHORING SHALL BE REQUIRED FOR ALL TRENCH WORK, IN THE RIGHT-OF-WAY, AND ON PRIVATE PROPERTY, WHILE THE SITE IS UNDER CONSTRUCTION.
  - CONTACT ALL PUBLIC AND PRIVATE UTILITY COMPANIES 48 HOURS PRIOR TO ANY EXCAVATION. COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
  - THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES, AND VERIFY FLOOR, CURB OR PAVEMENT ELEVATIONS WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL CONTROL PRIOR TO PROCEEDING WITH WORK.
  - REFER TO BUILDING PLANS FOR EXACT LOCATIONS OF NEW UTILITY ENTRIES.
  - CONTRACTOR SHALL SET ALL CLEANOUT, CASTINGS, AND VALVE BOXES TO FINISHED GRADE.

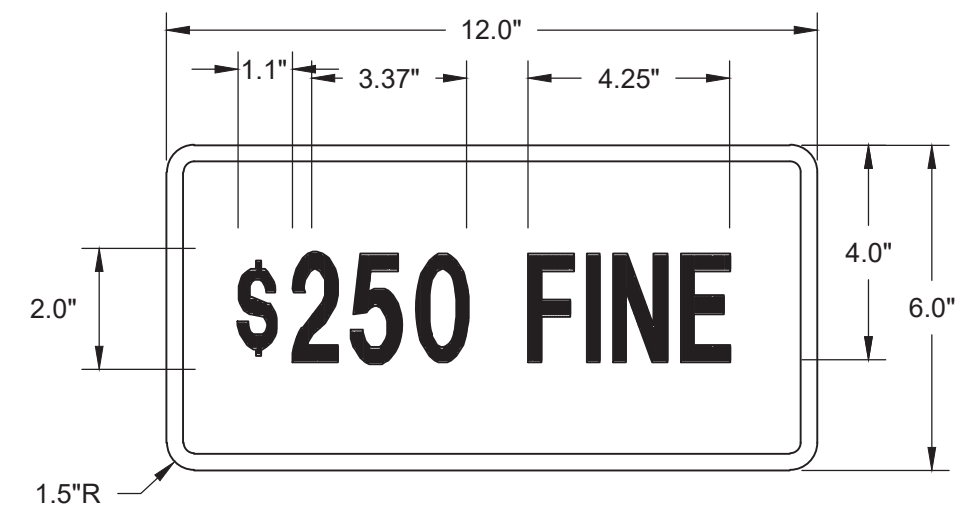
**BENCHMARKS**

DESCRIPTION	ELEVATION
BENCHMARK 1 SE BOLT ON FIRE HYDRANT	671.56
BENCHMARK 2 CUT SQUARE SW CORNER OF CONCRETE PAD	669.28





**BOLLARD AND HANDICAPPED PARKING SIGN DETAIL**

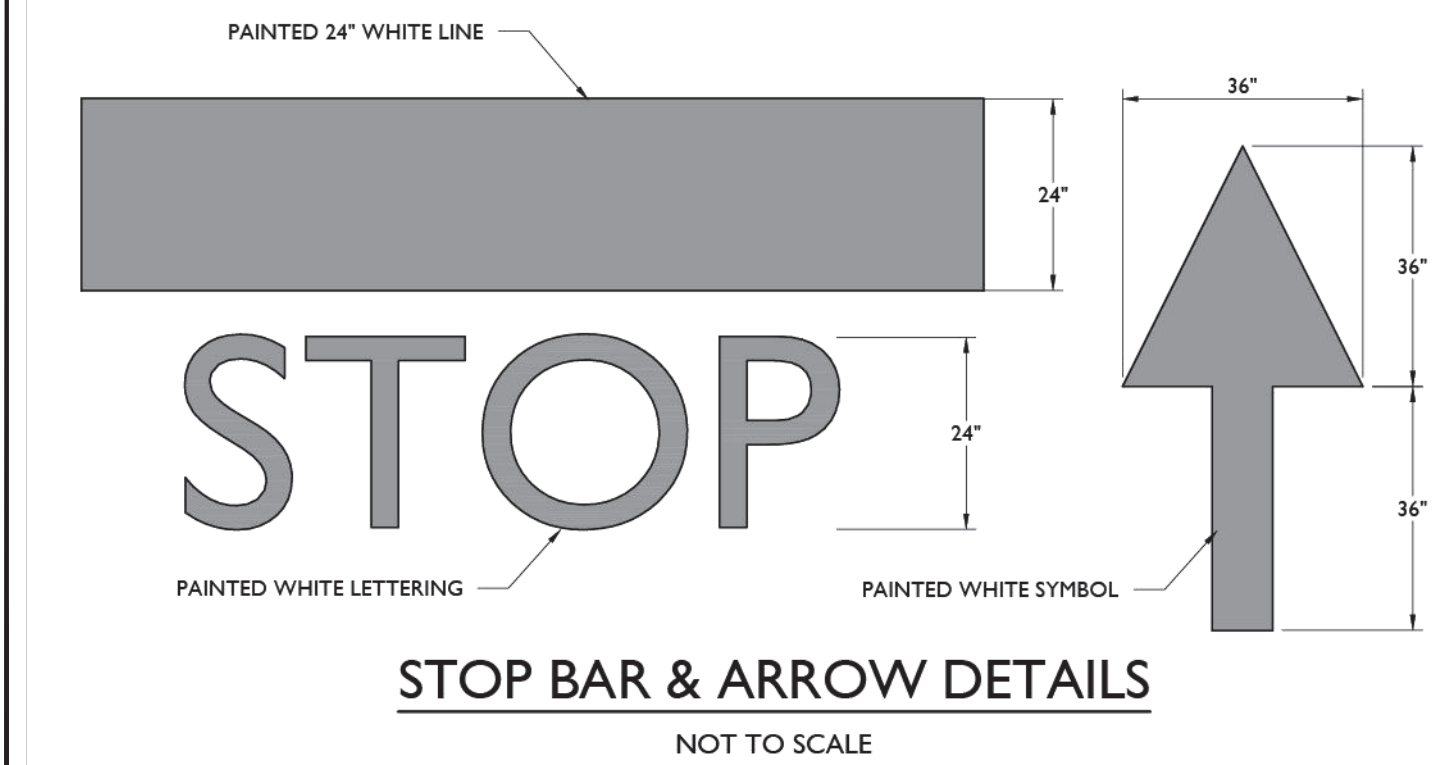
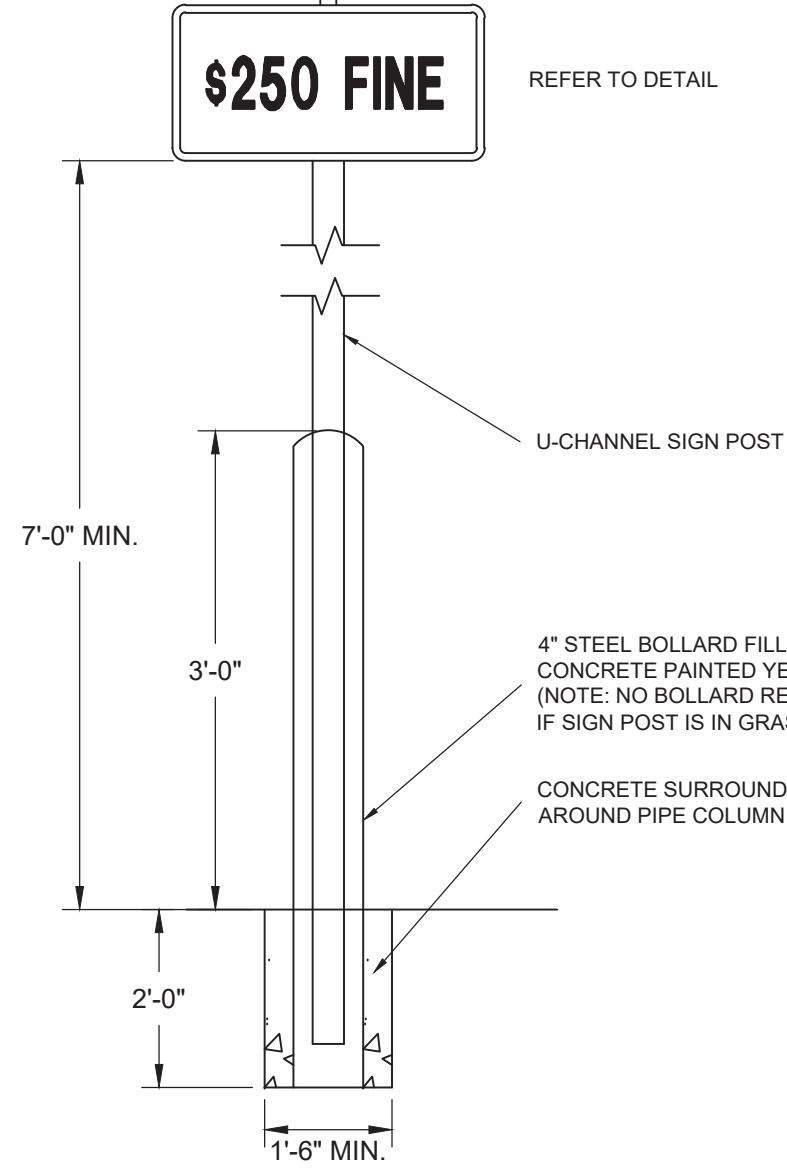


COLOR: LEGEND AND BORDER, GREEN NON-REFLECTORIZED BACKGROUND, WHITE REFLECTORIZED



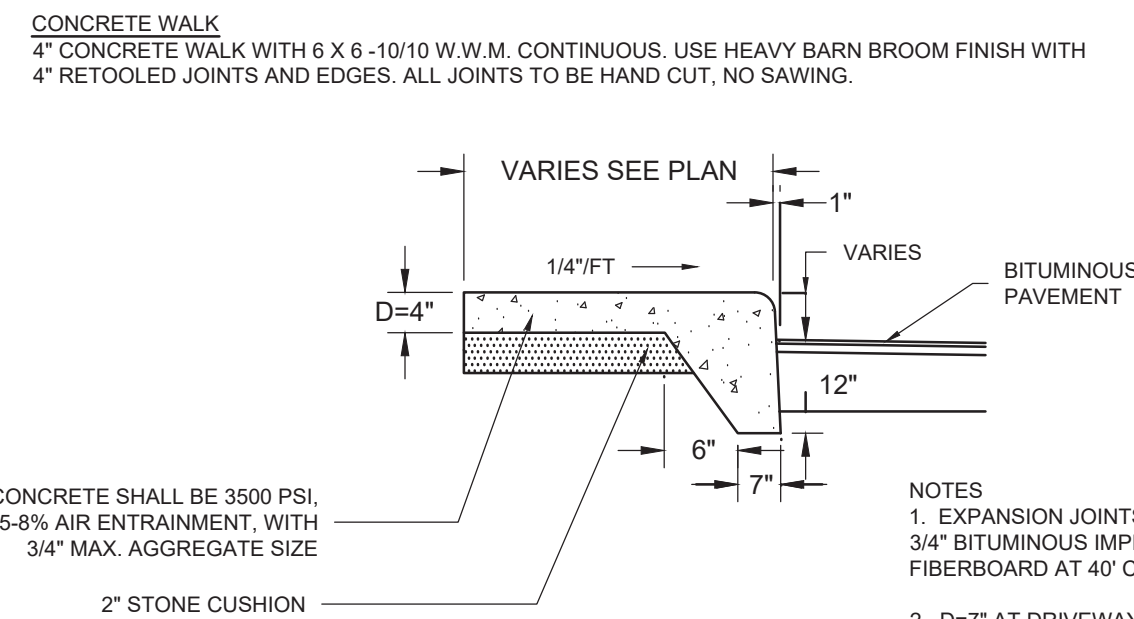
COLOR: TEXT, ARROW, AND BORDER, GREEN WHITE SYMBOL ON BLUE BACKGROUND BACKGROUND WHITE

18" X 12" 18 GA. STEEL BAKED ENAMEL INTERNATIONAL HANDICAP SYMBOL MANUFACTURED IN ACCORDANCE WITH MUTCD R7-8



**STOP BAR & ARROW DETAILS**  
NOT TO SCALE

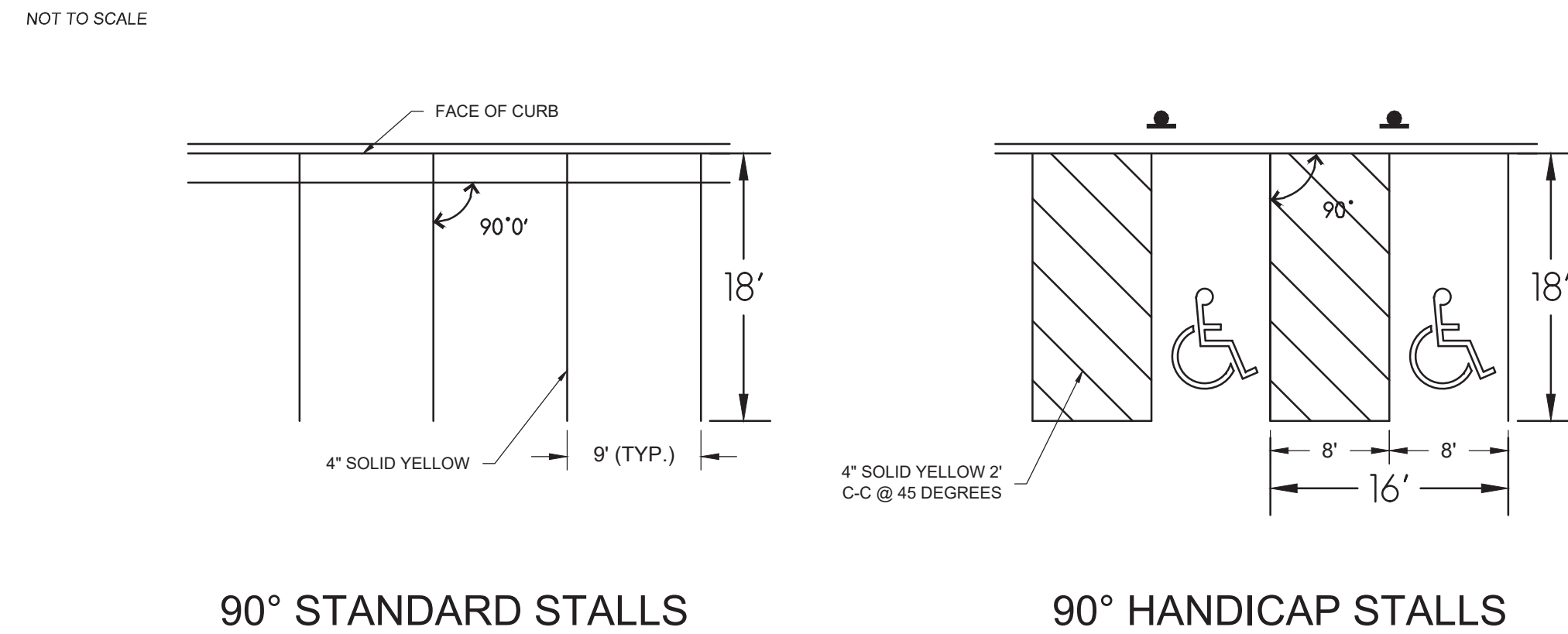
**CONCRETE WALKWAY DETAIL**



CONCRETE SHALL BE 3500 PSI, 5-8% AIR ENTRAINMENT, WITH 3/4" MAX. AGGREGATE SIZE  
2" STONE CUSHION

NOTES:  
1. EXPANSION JOINTS SHALL BE 3/4" BITUMINOUS IMPREGNATED FIBERBOARD AT 40' CENTERS.  
2. D=7" AT DRIVEWAYS.  
3. SIDEWALK RAMP AT DRIVES SHALL BE BUILT ACCORDING TO I.D.O.T. STANDARD NO. 424001

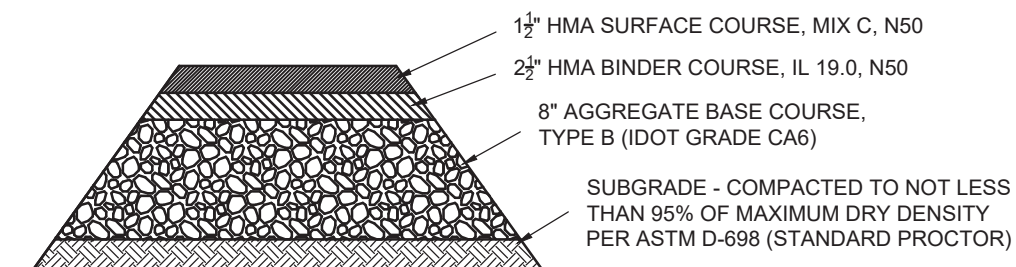
**TYPICAL 90 DEGREE PARKING STRIPING DETAILS**



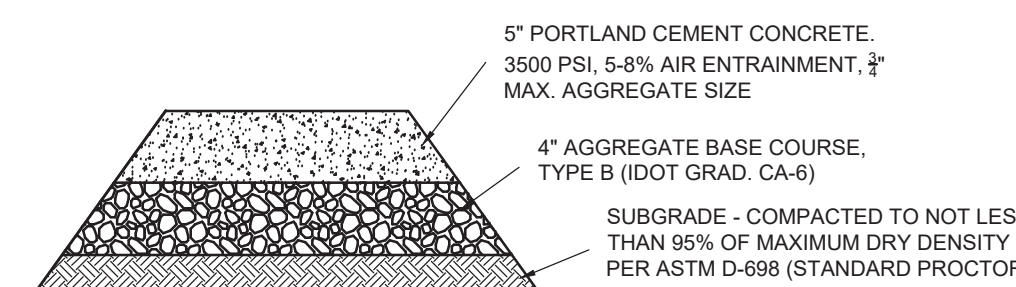
**90° STANDARD STALLS**

**90° HANDICAP STALLS**

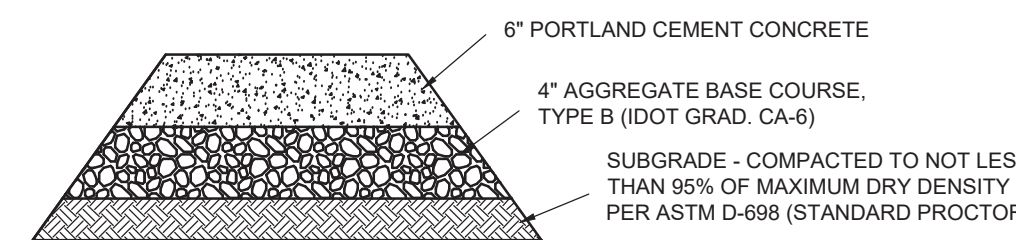
**PAVEMENT DETAILS (SUBJECT TO CHANGE UPON RECEIPT OF GEOTECHNICAL REPORT)**



**ASPHALT PAVEMENT**

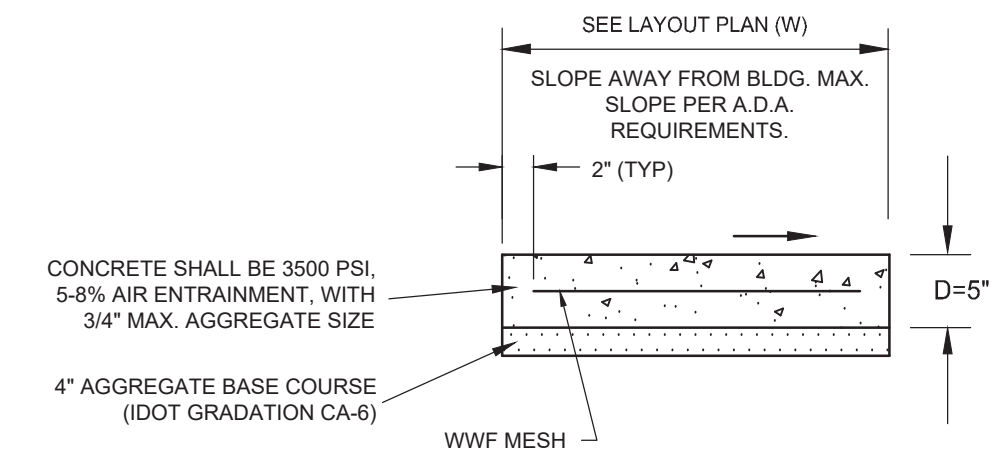


**CONCRETE SIDEWALK**



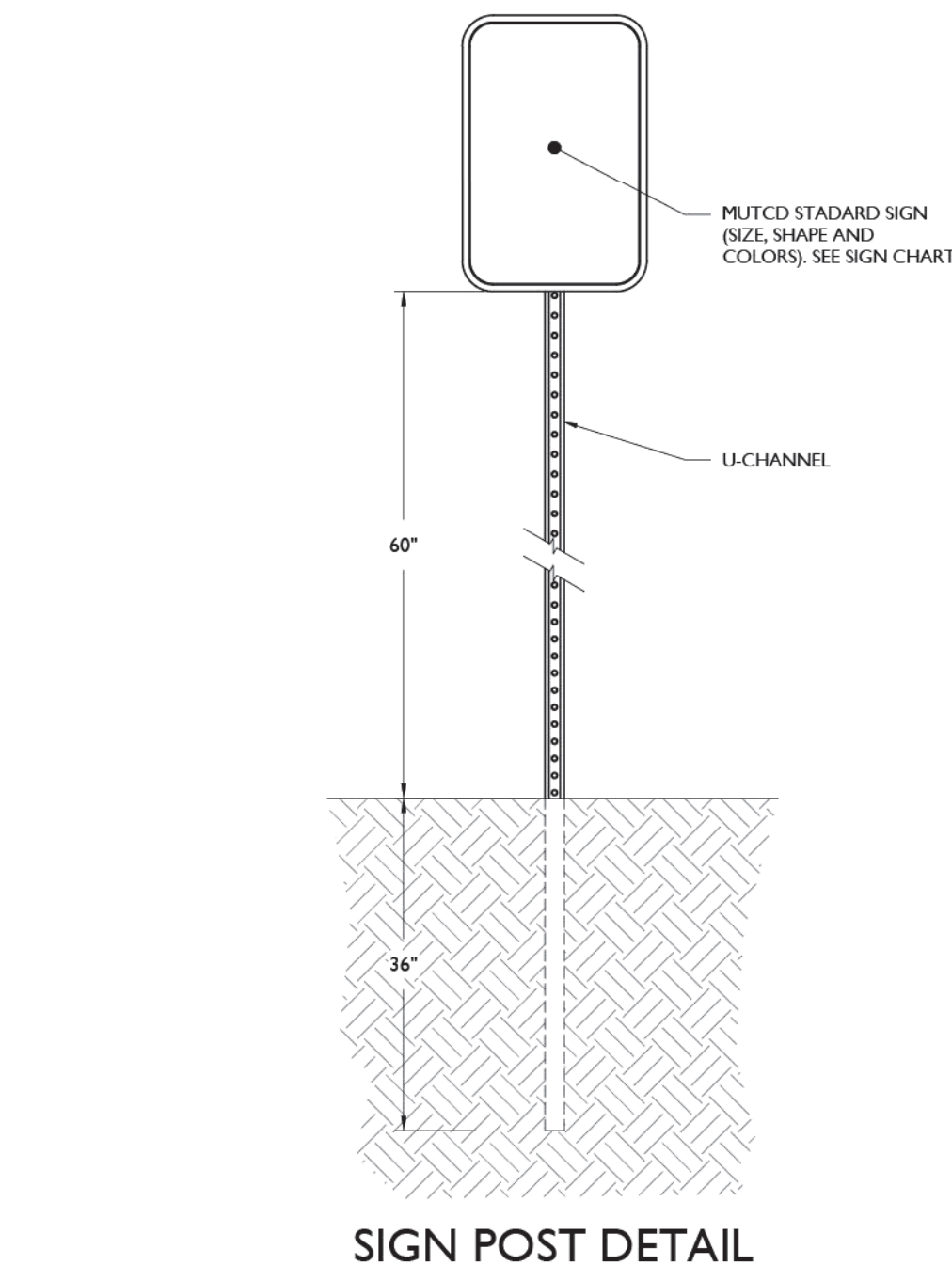
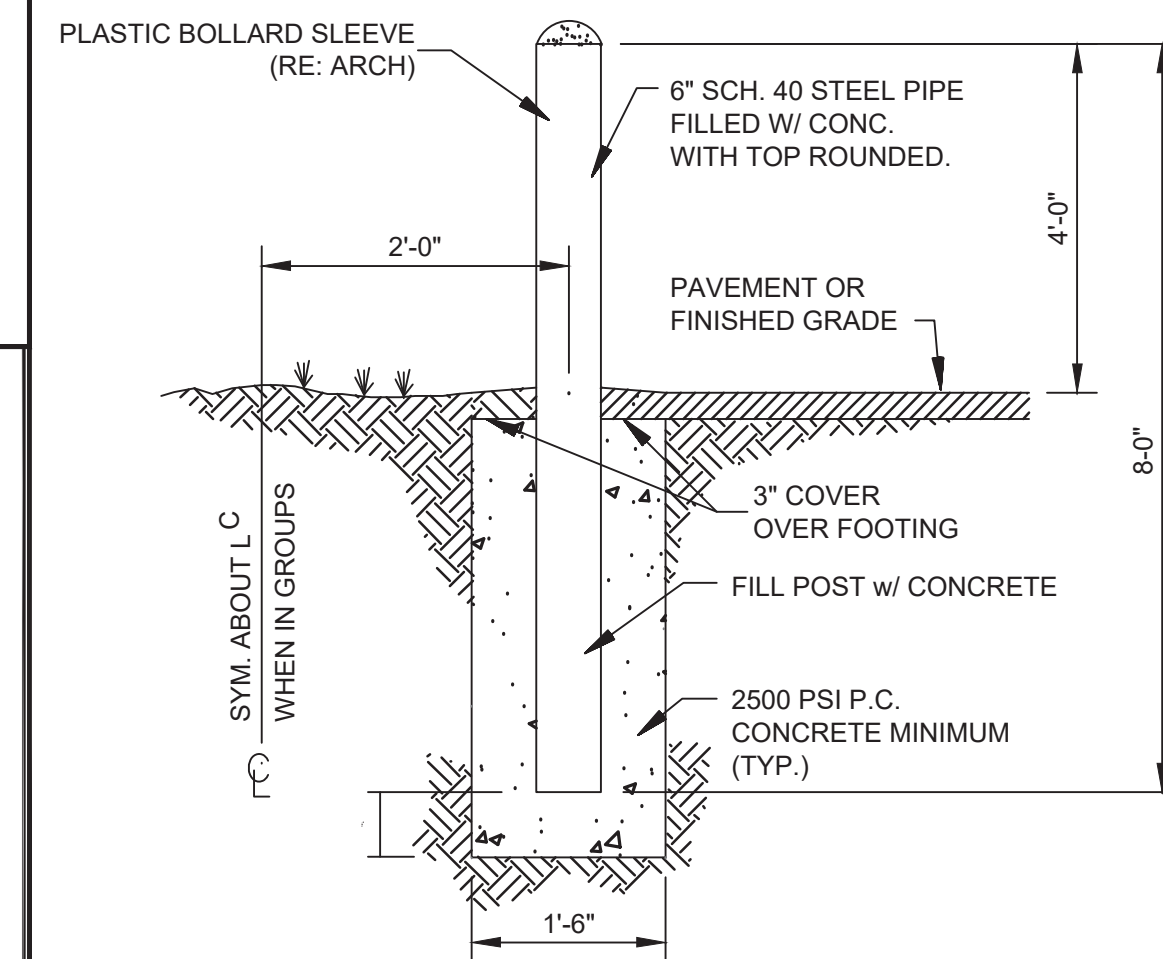
**CONCRETE PAVEMENT**

**CONCRETE SIDEWALK DETAIL**



- TOOLED JOINTS SHALL BE 1/4" D AND SHALL BE SPACED EQUAL TO W (MAX) AND SHALL DIVIDE PANELS EQUALLY.
- EXPANSION JOINTS SHALL BE 3/4" BITUMINOUS IMPREGNATED FIBERBOARD ALONG THE PERIMETER OF THE SIDEWALK PANEL WERE PROPOSED SIDEWALK IS FLUSH WITH ADJACENT EXISTING CONCRETE.
- SIDEWALK RAMP AT DRIVES SHALL BE BUILT ACCORDING TO DOT STANDARDS
- WWF MESH SHALL BE 6 X 6-10/10 CONTINUOUS WELDED WIRE
- USE LIGHT BARN BROOM FINISH WITH 4" RETOOLED JOINTS AND EDGES.

**STANDARD BOLLARD DETAIL**

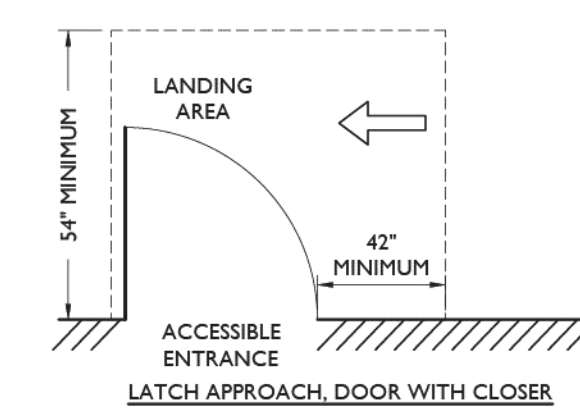


**SIGN POST DETAIL**  
NOT TO SCALE

MUTCD NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
		LEGEND	BACKGROUND		
STOP SIGN (R1-1)	STOP	RED	WHITE	36"x36"	GROUND
DO NOT ENTER (R5-1)	DO NOT ENTER	RED	WHITE	30"x30"	GROUND

NOTE:  
1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.  
2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.

**SIGN DATA TABLE**  
NOT TO SCALE



**ACCESSIBLE ENTRANCE LANDING DETAIL**  
NOT TO SCALE

- NOTES:
- MAXIMUM SLOPE ON LANDING SHALL BE 1:50 IN ALL DIRECTIONS
  - DIMENSIONS SHOWN HERE ARE THE MINIMUM DIMENSIONS REQUIRED FOR AN ADA COMPLIANT LANDING AT THE ACCESSIBLE ENTRANCE. REFER TO SITE PLAN FOR SITE SPECIFIC DIMENSIONS THAT MAY SPECIFY A LARGER LANDING AREA.
  - CONTRACTOR SHALL CONTACT THE ENGINEER BEFORE CONSTRUCTION IF THE ACCESSIBLE ENTRANCE ON SITE DOES NOT MATCH THE SCENARIO SHOWN ABOVE.

**ARC DESIGN RESOURCES INC.**  
5281 ZENITH PARKWAY  
LOVES PARK, IL 61111  
VOICE: (815) 484-4300  
FAX: (815) 484-4303  
www.arcdesign.com  
Illinois Design Firm License No. 184-001334

PROJECT NAME  
OWNER'S NAME

**RESTAURANT WITH DRIVE-THRU**

3047 183RD STREET  
HOMEWOOD, IL  
COOK COUNTY

ALRIG USA  
RACHEL DELANEY  
RACHEL@ALRIGUSA.COM  
(248) 909-7072

CONSULTANTS

ISSUED FOR	DATE
1. SITE PLAN REVIEW	8/13/2024
2. ---	---
3. ---	---
4. ---	---
5. ---	---
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REVISIONS	DATE
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6. ---	---

SHEET TITLE

**DETAILS**

DRAWN: ARM  
CHECKED: LND  
PM: RCS

PROJECT NUMBER  
SHEET NUMBER

**23129**

**C-16**



**ARC DESIGN**  
RESOURCES INC.

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REVISIONS

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SHEET TITLE

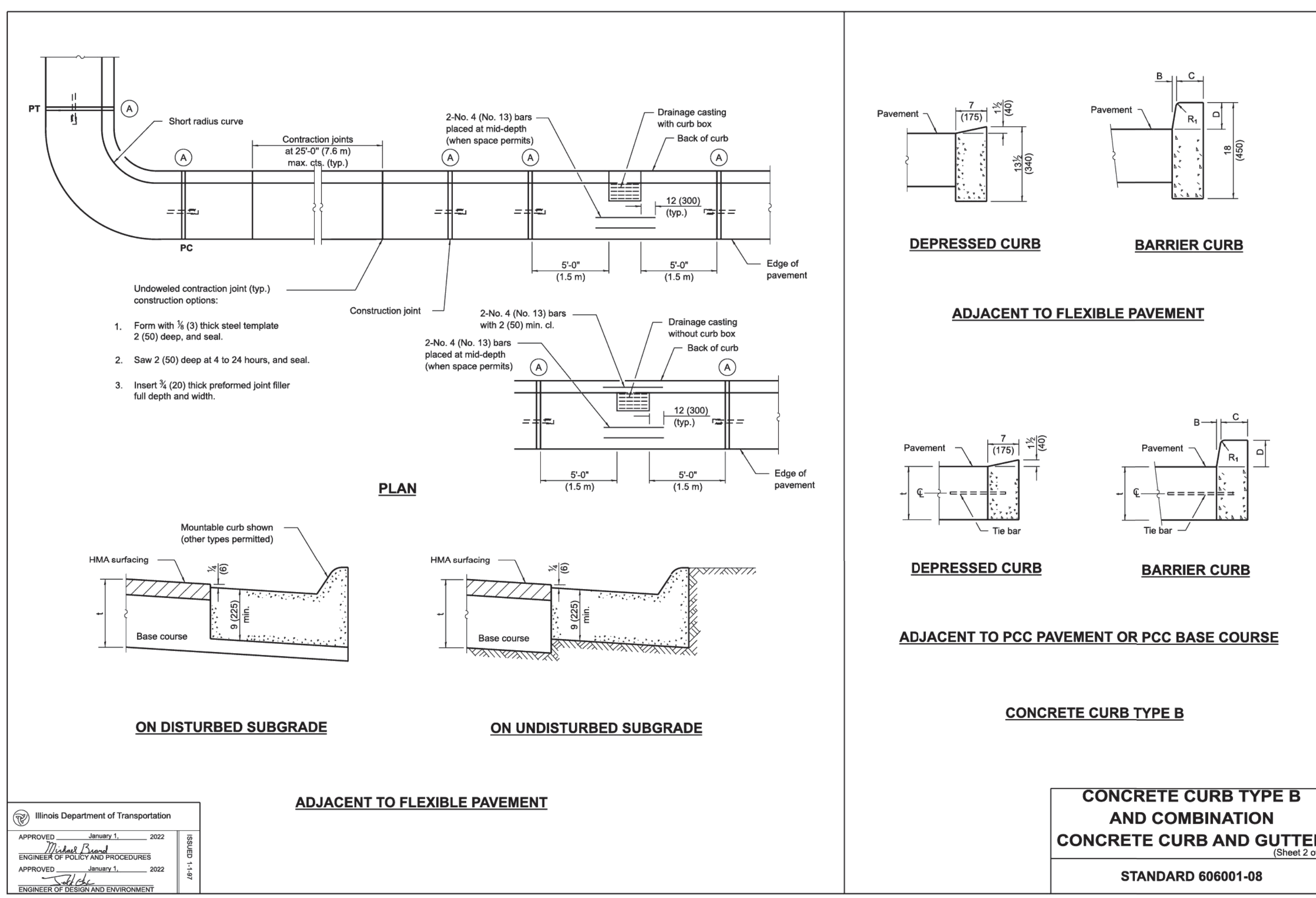
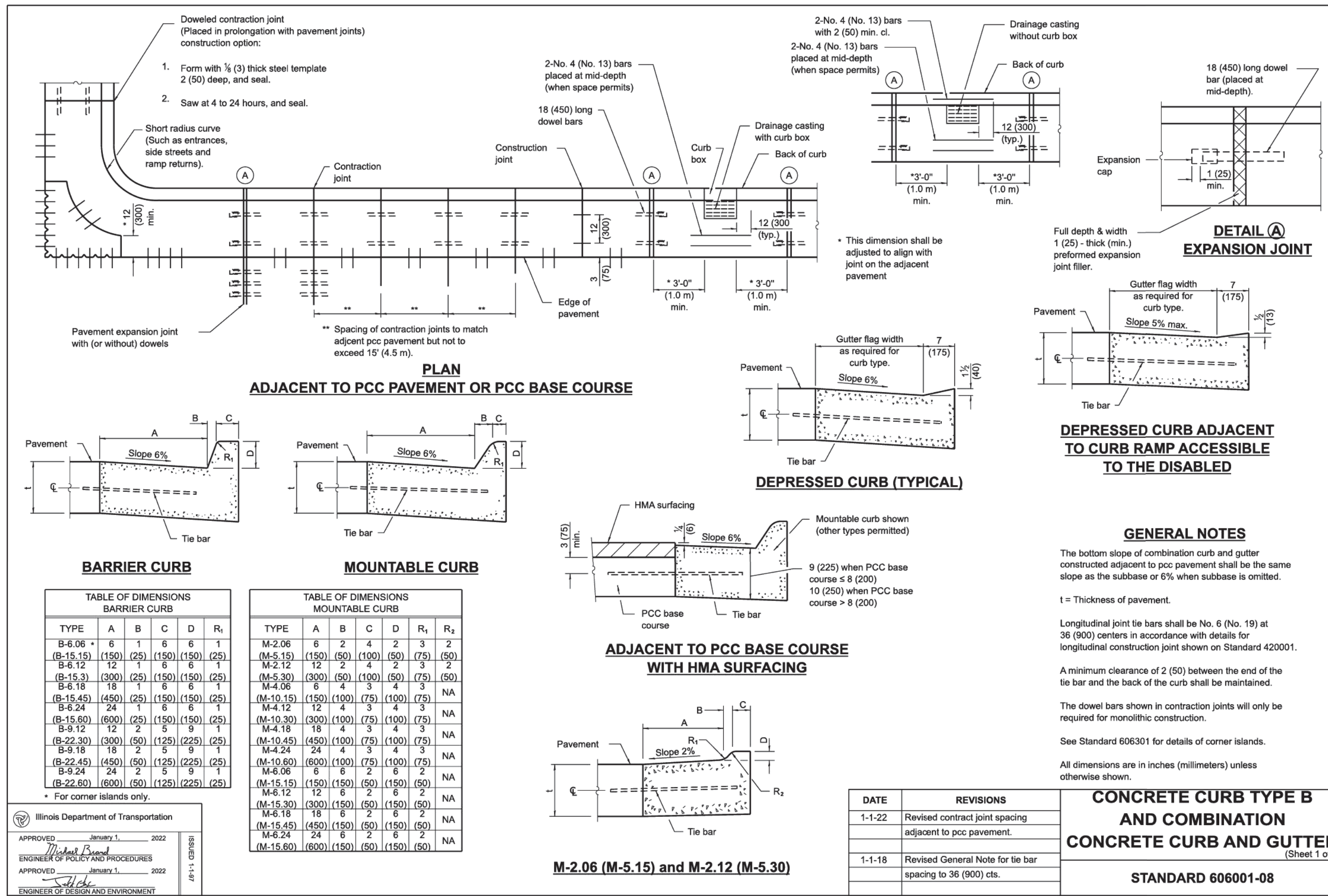
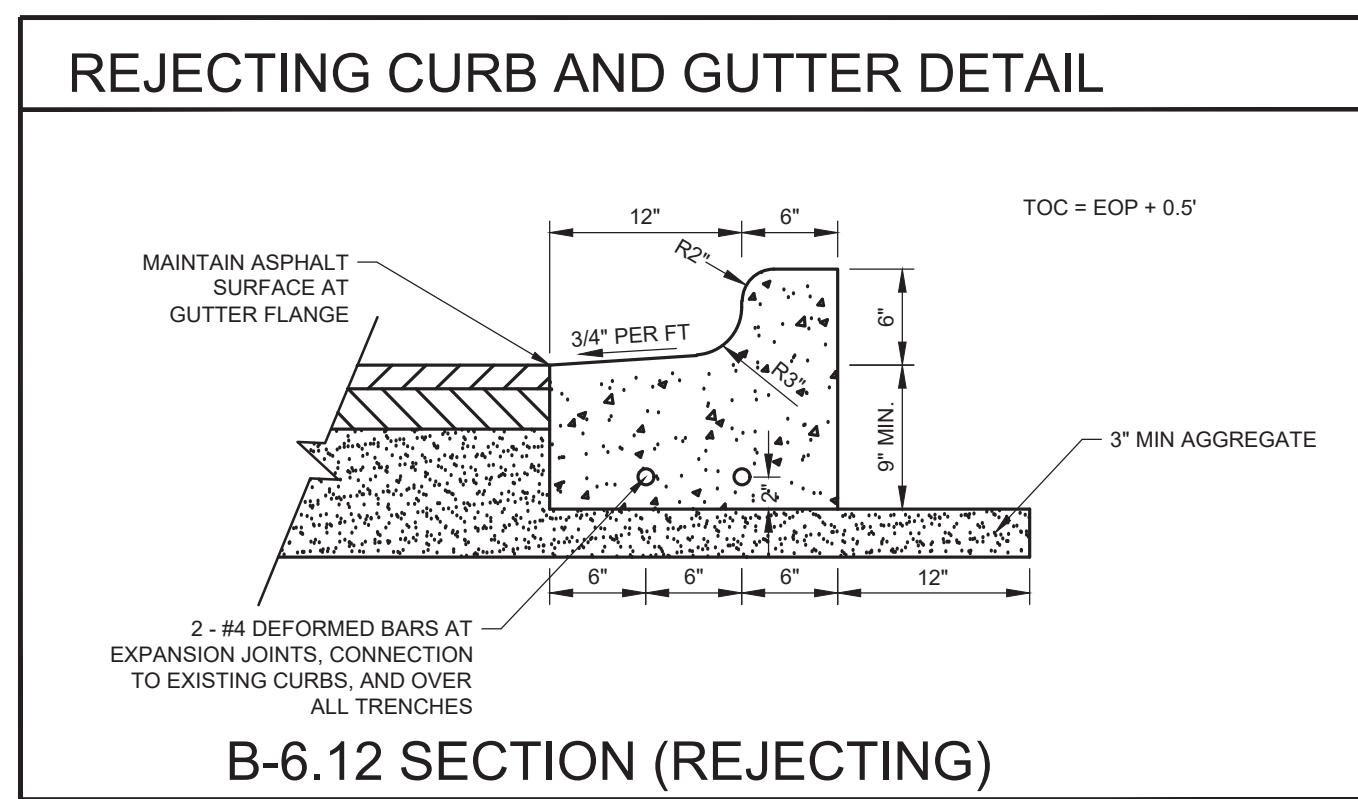
**DETAILS**

DRAWN: ARM  
CHECKED: LND  
PM: RCS

PROJECT NUMBER  
SHEET NUMBER

**23129**

C-17





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CONSULTANTS

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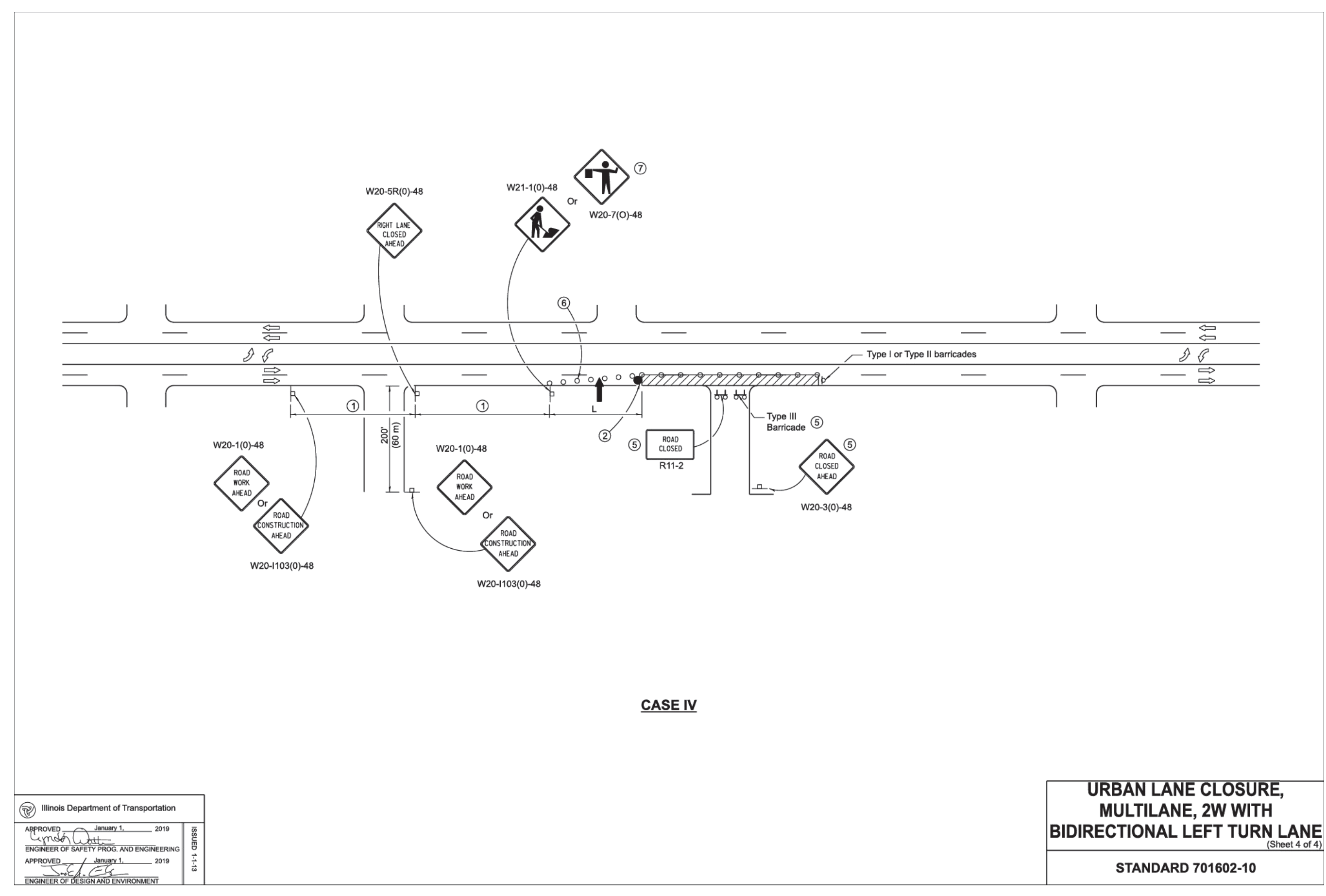
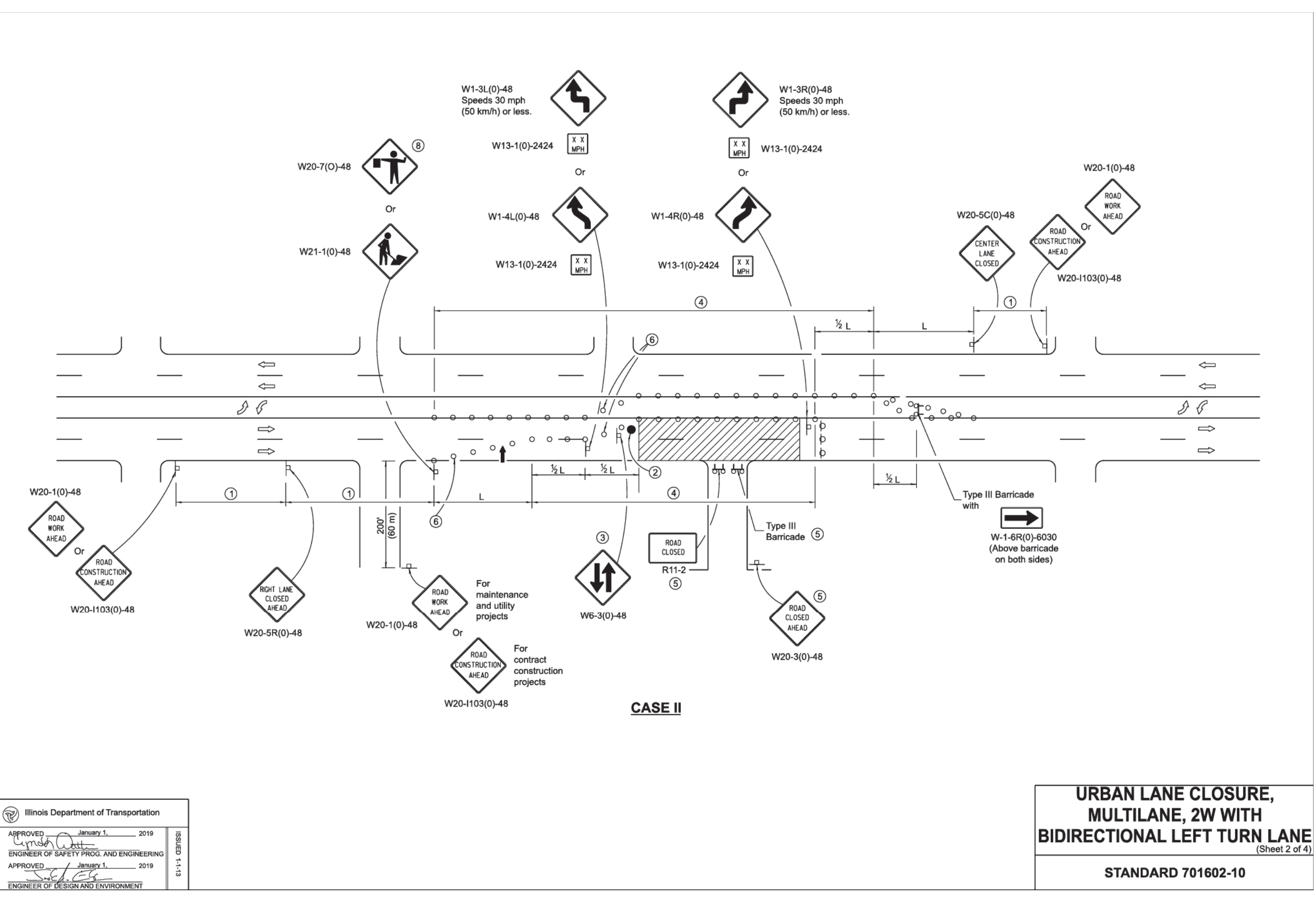
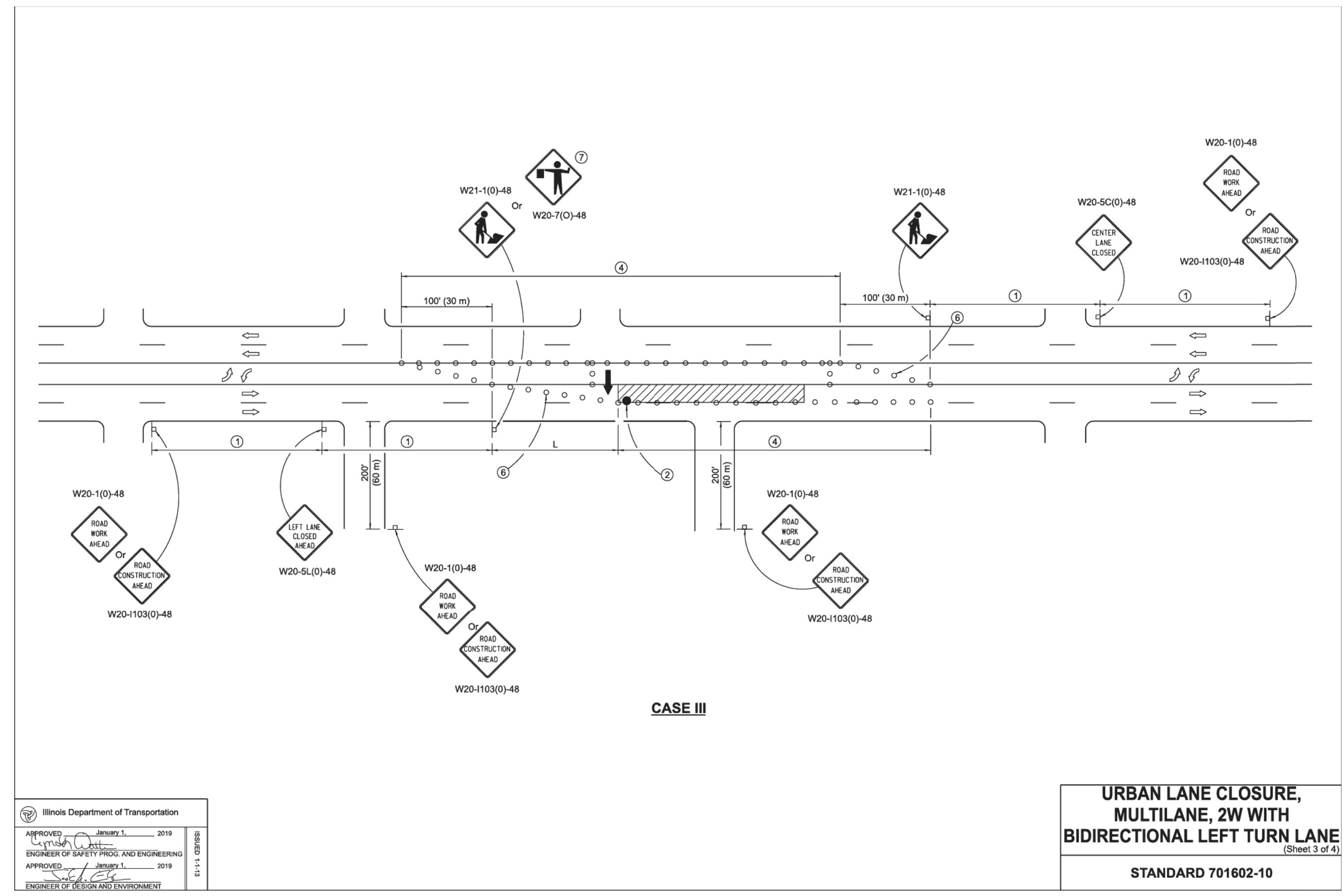
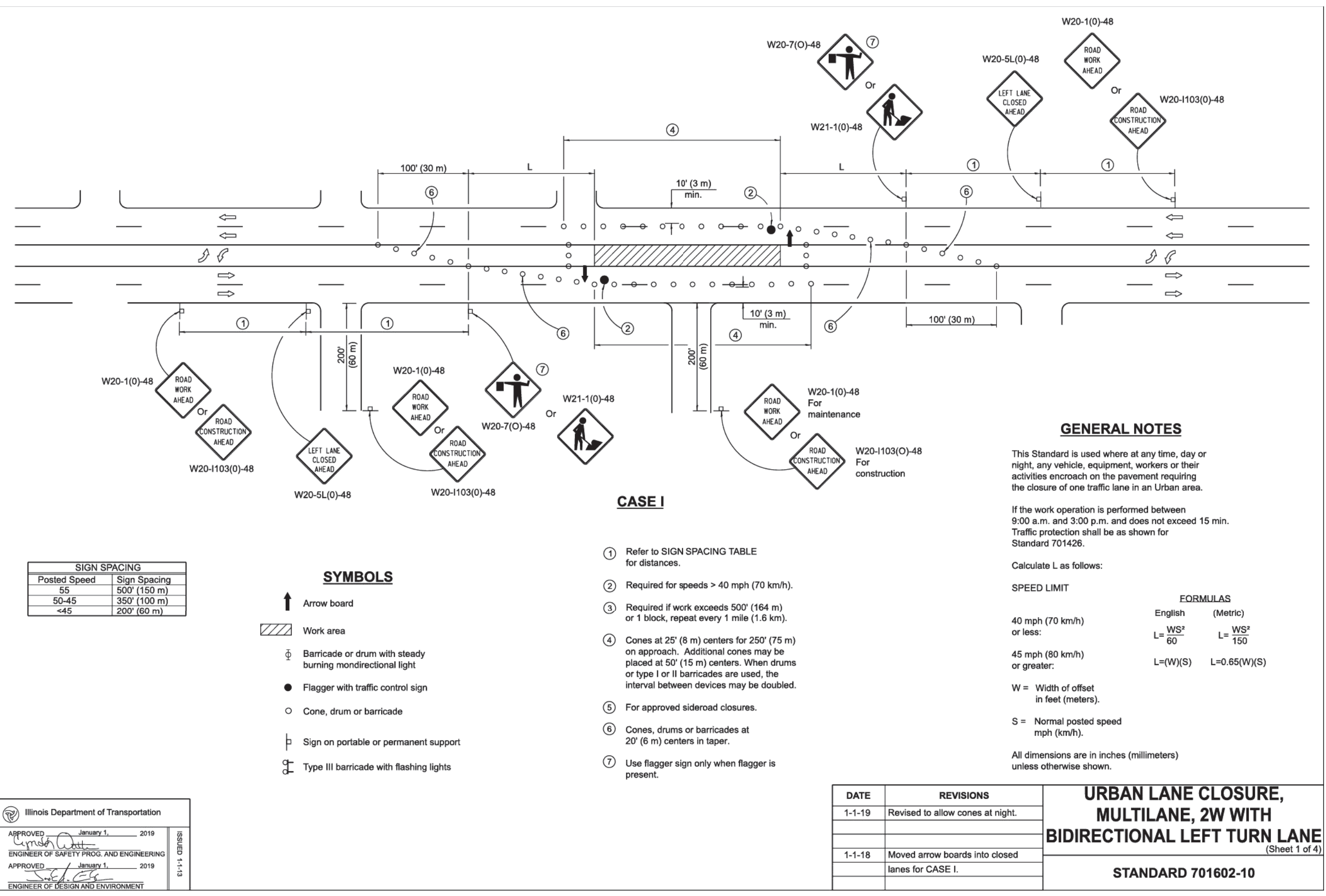
REVISIONS

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SHEET TITLE  
**DETAILS**

DRAWN	ARM
CHECKED	LND
PM	RCS

PROJECT NUMBER  
 SHEET NUMBER  
**23129**  
**C-18**





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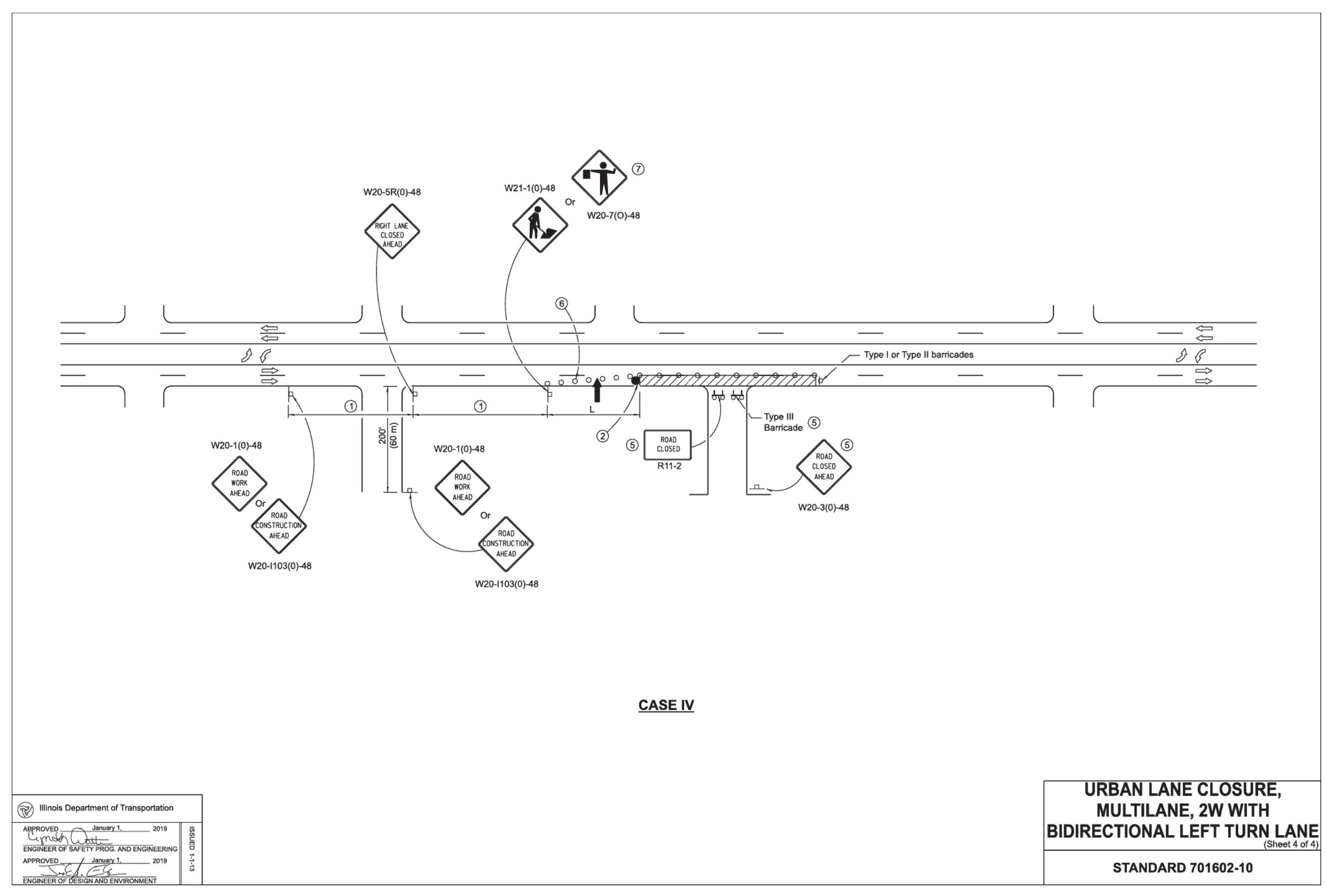
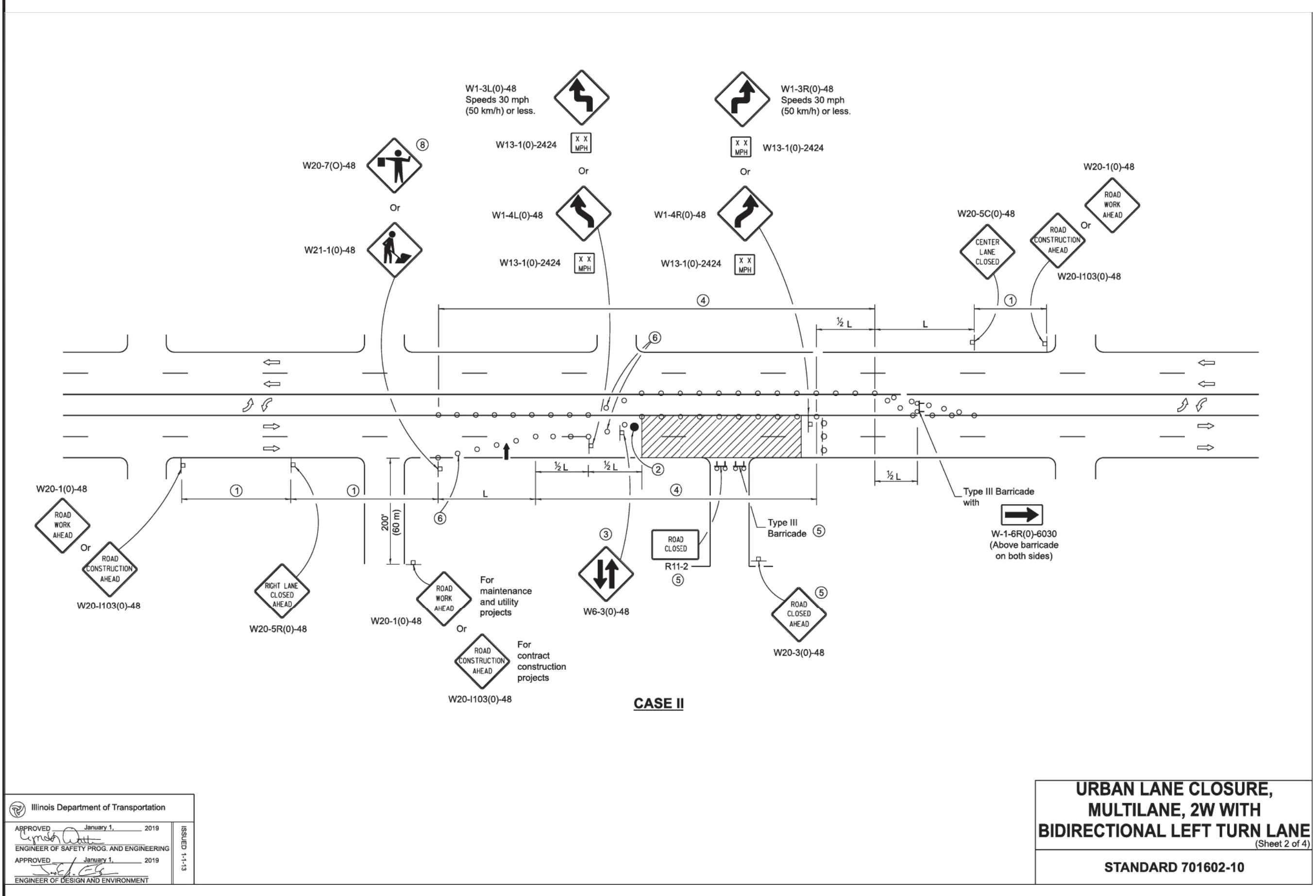
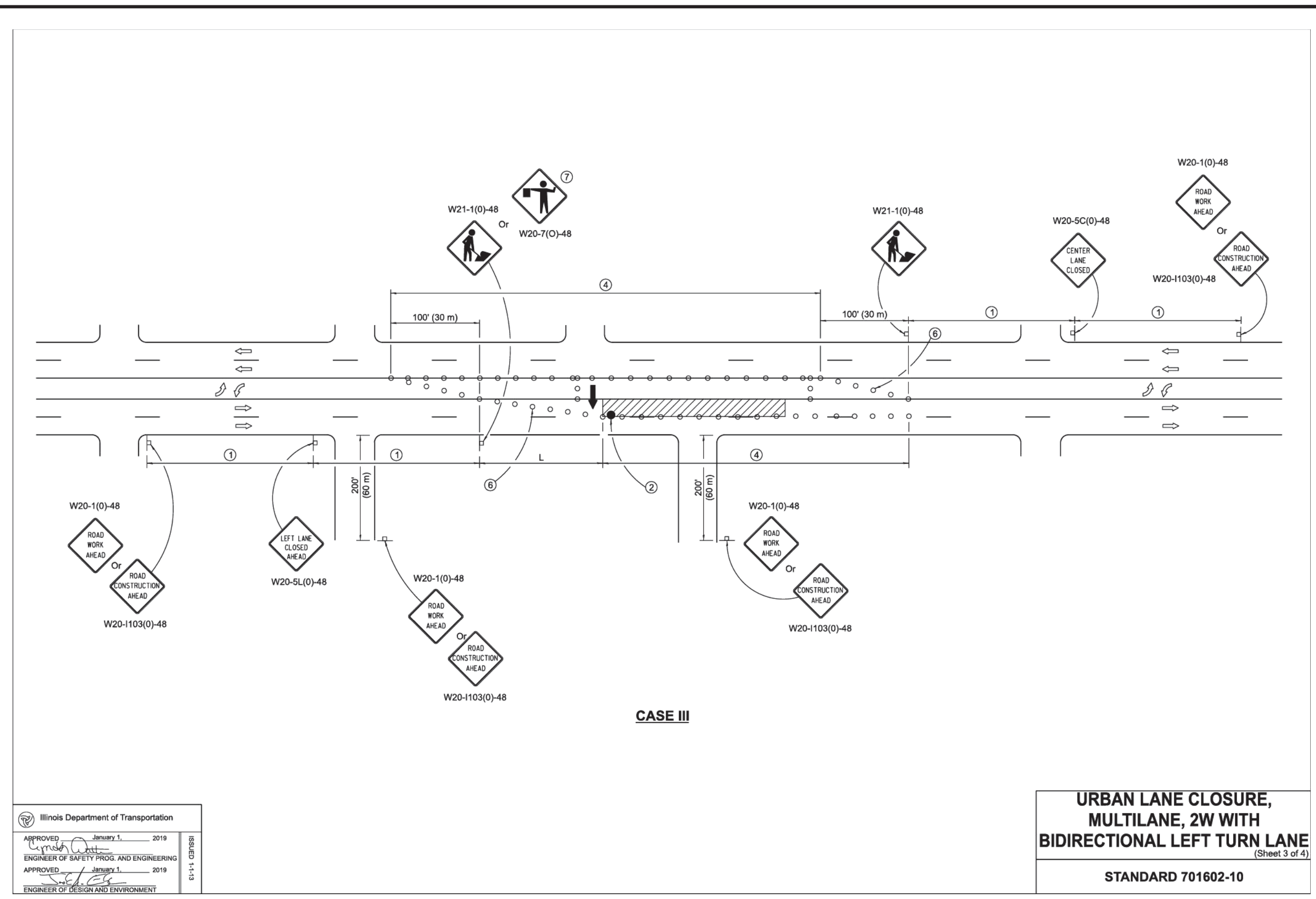
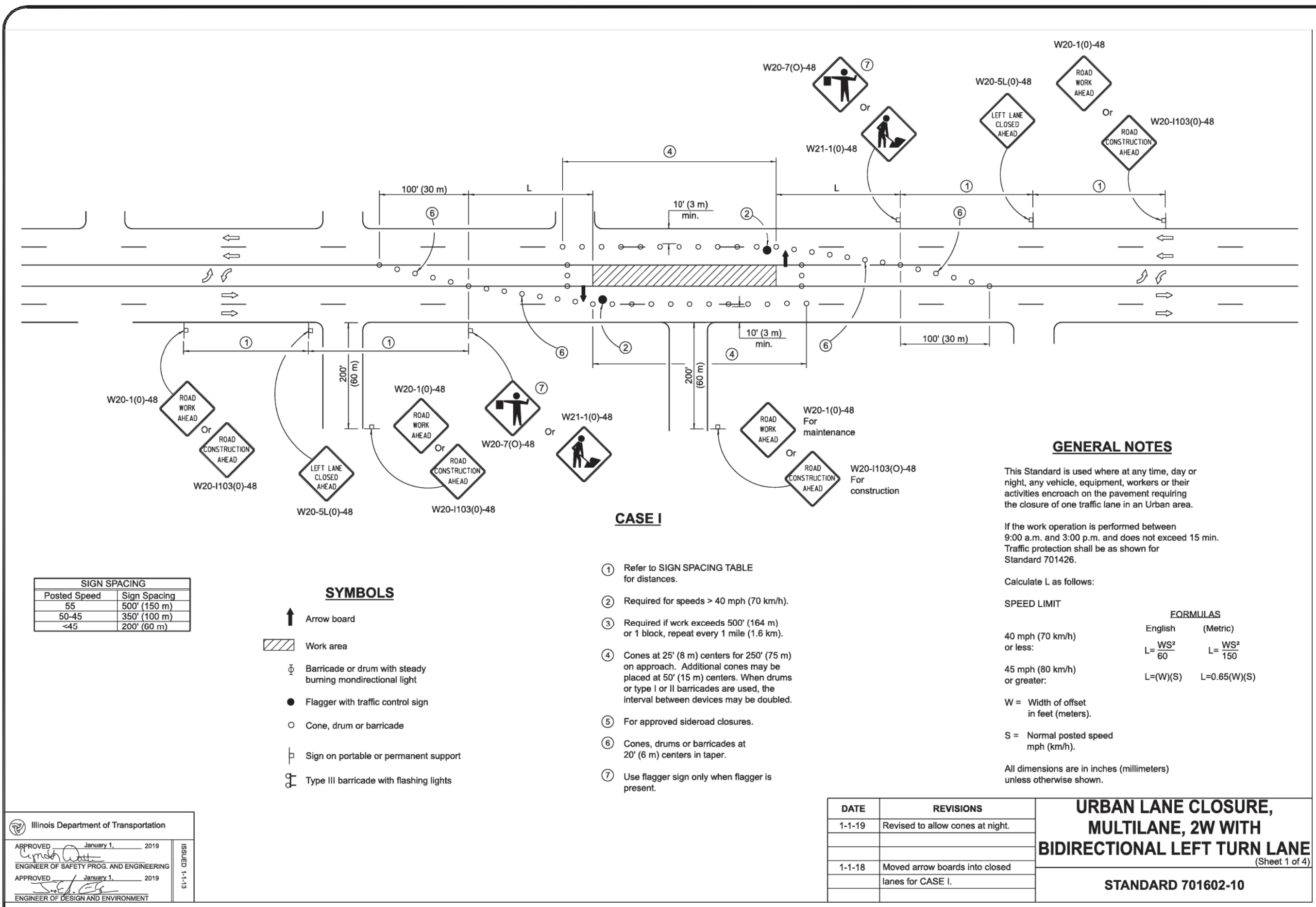
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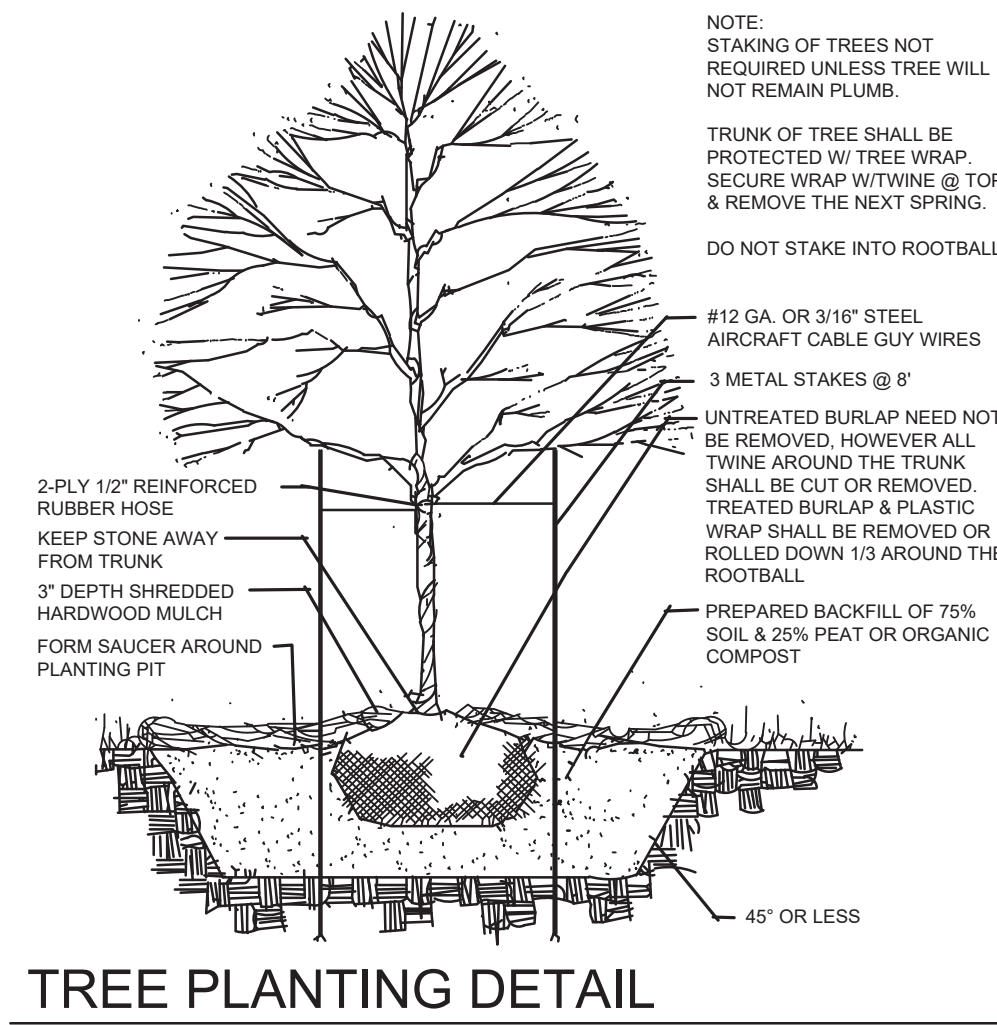
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**DETAILS**

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PM	RCS

PROJECT NUMBER  
 SHEET NUMBER  
**23129**  
**C-19**

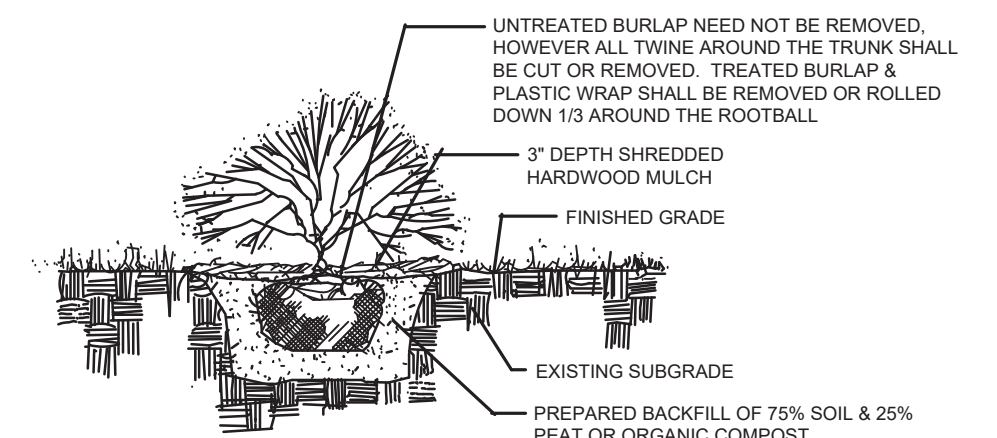






TREE PLANTING DETAIL

NOT TO SCALE

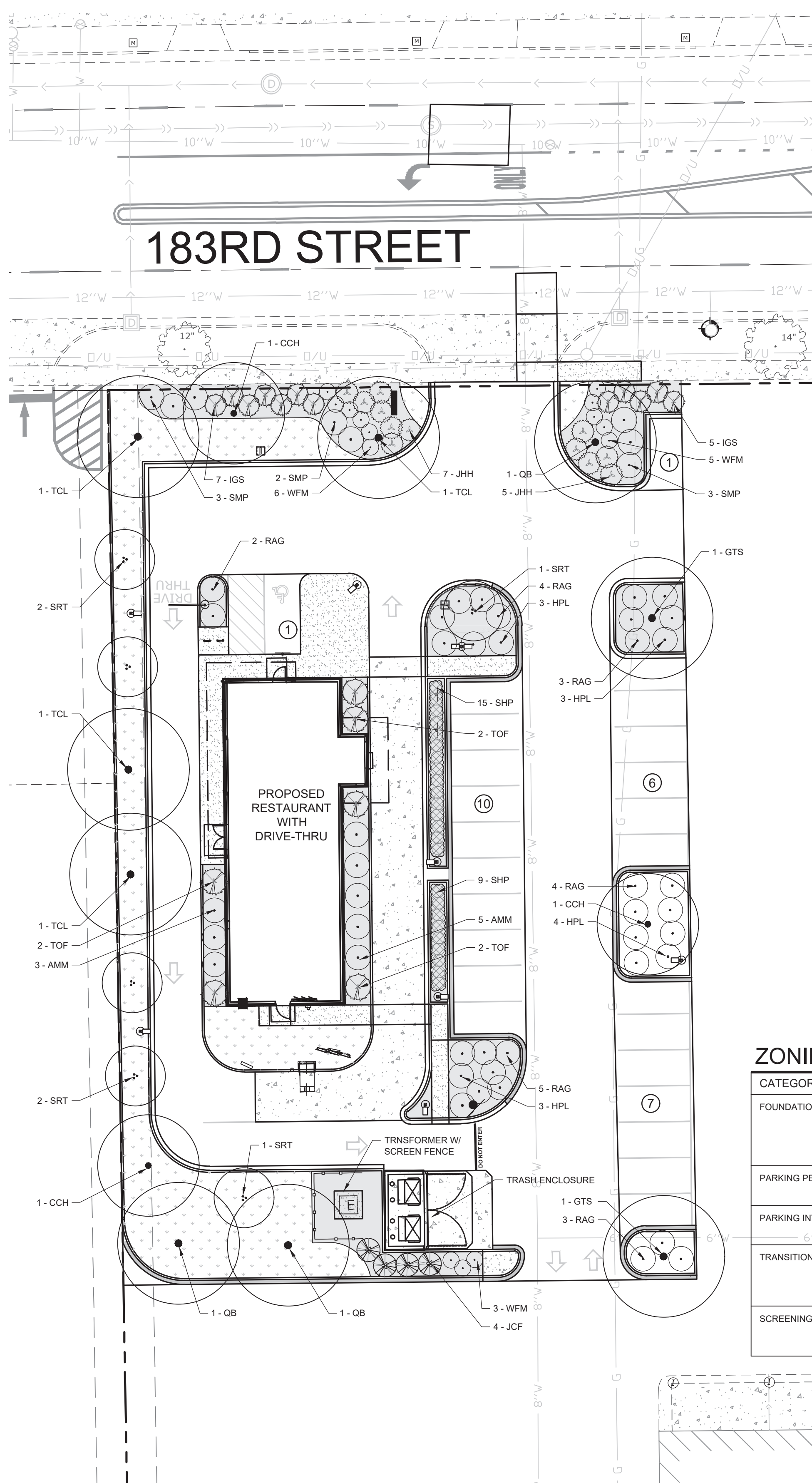


SHRUB PLANTING DETAIL

NOT TO SCALE

PLANTING NOTES

- LANDSCAPE CONTRACTOR (CONTRACTOR) SHALL MAKE A SITE VISIT PRIOR TO BIDDING/CONSTRUCTION TO INSPECT THE CURRENT SITE CONDITIONS AND REVIEW PROPOSED PLANTING PLAN AND RELATED WORK. CONTRACTOR SHALL REPORT ANY DISCREPANCIES IN THE FIELD TO THE LANDSCAPE ARCHITECT AND/OR OWNER.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, AND CABLE TELEVISION CAN BE LOCATED BY CALLING J.U.L.I.E. AT 811. FOR REGIONAL LOCATING, CONTACT "DIGGER'S HOTLINE". ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR TO COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNERS REPRESENTATIVE PRIOR TO COMMENCING WORK.
- CONTRACTOR IS RESPONSIBLE FOR APPLICATION AND COST OF ALL NECESSARY BUILDING PERMITS AND CODE VERIFICATIONS. SUBMIT COPIES OF ALL DOCUMENTS TO OWNER AND LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL GRADE ENTIRE SITE TO CORRECT SURFACE IRREGULARITIES IN PREPARATION FOR SO/DSEED. ROTO-TIL, DISC, DRAG, HARROW OR HAND RAKE SUB GRADE IN ALL LAWN AREAS AND REMOVE CONSTRUCTION DEBRIS, FOREIGN MATTER OR STONES LARGER THAN 2". GRADING SHALL PROVIDE SLOPES WHICH ARE SMOOTH, CONTINUOUS, FREE FROM DEPRESSIONS OR RIDGES. LEVEL, RAKE AND ROLL AS NECESSARY TO AN EVEN AND TRUE CONDITION AND OBTAIN POSITIVE DRAINAGE IN ALL AREAS. FINISH GRADES SHALL MEET THE APPROVAL OF OWNER PRIOR TO LAWN INSTALLATION.
- ALL DISTURBED AREAS SHOULD BE BROUGHT TO GRADE WITH "TOPSOIL" TO A DEPTH OF 6 INCHES IN AREAS TO BE SEEDED OR SOODED, AND 12 INCHES FOR ALL INTERIOR (CURBED) LANDSCAPE ISLANDS. ALL LAWN AREAS ARE TO BE FINISHED WITH MULCH, STRAW MULCH, SEED, SOD, ETC. OR AS NOTED. ALL LAWN AREAS TO BE WATERED UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED. (SEE SEED/SOD NOTES FOR ACCEPTANCE DETAILS).
- QUANTITY LISTS ARE SUPPLIED AS A CONVENIENCE; HOWEVER, THE CONTRACTOR SHOULD VERIFY ALL QUANTITIES. THE DRAWINGS SHALL TAKE PRECEDENCE OVER THE LISTS.
- PLANTINGS MAY NEED TO BE ADJUSTED IN THE FIELD TO ACCOMMODATE UTILITIES, EASEMENTS, DRAINAGE WAYS, DOWNSPOUTS, ETC.; HOWEVER, QUANTITIES AND SIZES SHALL REMAIN CONSISTENT WITH THESE PLANS.
- SIZE & GRADING STANDARDS OF PLANT MATERIAL SHALL CONFORM TO THE LATEST ADDITION OF ANSI Z60.1 AMERICAN STANDARD OF NURSERY STOCK, BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION. PLANT MATERIAL SHALL BE NURSERY GROWN AND BE EITHER BALLED AND BURLAP OR CONTAINER GROWN.
- ALL PLANT SPECIES SPECIFIED ARE SUBJECT TO AVAILABILITY. MATERIAL SHORTAGES IN THE LANDSCAPE INDUSTRY MAY REQUIRE SUBSTITUTIONS. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT AND/OR OWNER.
- ANY PLANT MATERIALS WITH DAMAGED OR CROOKED/DISFIGURED LEADERS, BARK ABRASION, SUN SCALD, INSECT DAMAGE, ETC. ARE NOT ACCEPTABLE AND WILL BE REJECTED UNLESS CALLED FOR IN THE PLANT LIST AS MULTI-STEM OR CLUMP.
- ALL PLANT MATERIAL, ESPECIALLY TREES, MUST BE SOURCED WITHIN A ONE-HUNDRED FIFTY (150) MILE RADIUS OF THE SUBJECT PROPERTY CONSTRUCTION SITE.
- CONTRACTOR TO NOTIFY THE VILLAGE DEPARTMENT OF DEVELOPMENT SERVICES AT MINIMUM SEVEN (7) DAYS PRIOR TO THE BEGINNING OF PLANTING OR RESTORATION OPERATIONS ON SITE. PLANTING OPERATIONS SHALL BE PERFORMED ONLY DURING THE PERMITTED HOURS OF CONSTRUCTION ACTIVITY IN ACCORDANCE WITH THE VILLAGE MUNICIPAL CODE.
- UPON INSPECTION AND ACCEPTANCE OF ALL LANDSCAPE ITEMS BY LANDSCAPE ARCHITECT AND/OR OWNER THE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITIES FOR A PERIOD OF THIRTY (30) DAYS, FOR ALL PLANT MATERIAL, TO INCLUDE: WATERING, CULTIVATING, WEEDING, PRUNING, MULCHING AND SPRAYING AS NECESSARY TO KEEP PLANTS FREE OF INSECTS AND IN A HEALTHY, VIGOROUS CONDITION UNTIL RESPONSIBILITY IS TRANSFERRED TO THE OWNER (SEE BELOW).
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER ACCEPTANCE BY LANDSCAPE ARCHITECT AND/OR OWNER. AFTER THE FIRST THIRTY (30) DAYS, THE OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES AS DESCRIBED (SEE ABOVE). CONTRACTOR SHALL REPLACE WITHOUT COST TO OWNER ANY DEAD OR UNACCEPTABLE PLANTS, AS DETERMINED BY THE LANDSCAPE ARCHITECT AT THE END OF ONE (1) YEAR GUARANTEE PERIOD. CONTRACTOR SHALL NOTIFY IMMEDIATELY, IN WRITING, ANY CONCERNS RELATED TO MAINTENANCE PRACTICES.
- ALL PLANTING BEDS AND TREE SAUCERS SHALL BE MULCHED CONTINUOUS WITH 3" DEPTH SHREDDED HARDWOOD MULCH. SEE PLANTING DETAILS. ALL DECIDUOUS TREES (SHADE / ORNAMENTAL) THAT ARE NOT LOCATED IN A PLANTING BED SHALL BE MULCHED WITH A 3'-0" DIAMETER CIRCLE. EVERGREEN TREES AND MULTI-STEMMED ORNAMENTAL TREES SHALL BE MULCHED TO OUTER-MOST BRANCHES AT THE TIME OF INSTALLATION.
- PLANTING EDGE DELINEATION AT ALL PLANTING BED LINES AND TREE SAUCERS SHALL REQUIRE A MINIMUM 4" DEPTH "V" SHAPED CULTIVATED, SPADED EDGE WITH A VERTICAL FACE ABUTTING ALL LAWN AREAS AND SLOPED TO INSIDE OF PLANT BED CONTINUOUS BETWEEN LAWN AND MULCHED AREAS AS INDICATED ON PLAN.
- CONTRACTOR TO SEED ALL DISTURBED LAWN AREAS. SEEDED LAWN TO BE A COMBINATION OF BLUEGRASS, PERENNIAL RYE AND RED FESCUE WITH THE SUGGESTED FOLLOWING ANALYSIS BY WEIGHT: 30% RUGBY KENTUCKY BLUEGRASS, 20% PARK KENTUCKY BLUEGRASS, 20% CREEPING RED FESCUE, 20% SCALDIS HARD FESCUE, AND 10% PERENNIAL RYEGRASS. SEED TO BE APPLIED AT A RATE OF 4 LBS. PER 1,000 S.F.. ALL SEEDED LAWN AREAS SHALL BE COVERED WITH STRAW MULCH OR EROSION CONTROL NETTING, CONSISTING OF HAND OR MACHINE APPLICATION AT RATE OF 2 TON PER ACRE. MULCH SHALL BE COMPACT ENOUGH TO REDUCE EROSION OF SEED AND TOPSOIL BUT LOOSE ENOUGH TO ALLOW AIR TO CIRCULATE. INSTALL PER METHOD 1, SECTION 251, OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- ALL SEEDED TURF AREAS SHALL BE FERTILIZED AT INSTALLATION WITH 21-22-4 ANALYSIS, AT A RATE OF 6 LBS. PER 1,000 S.F.. A SECOND APPLICATION OF 21-7-14 TO BE APPLIED AT RATE OF 6 LBS. PER 1,000 S.F. AFTER THE FIRST CUTTING. ACCEPTANCE AND GUARANTEE NOTES SHALL APPLY TO ALL SEEDED AREAS.
- ACCEPTANCE OF GRADING AND SEED SHALL BE BY LANDSCAPE ARCHITECT AND/OR OWNER. CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITIES FOR A MINIMUM OF SIXTY (60) DAYS OR UNTIL SECOND CUTTING, WHICHEVER IS LONGER. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, RE-SEEDING (WASH-OFFS) AND OTHER OPERATIONS NECESSARY TO KEEP LAWN IN A THRIVING CONDITION. UPON FINAL ACCEPTANCE, OWNER SHALL ASSUME ALL MAINTENANCE RESPONSIBILITIES. AFTER LAWN AREAS HAVE GERMINATED, AREAS WHICH FAIL TO SHOW A UNIFORM STAND OF GRASS FOR ANY REASON WHATSOEVER SHALL BE RE-SEEDED REPEATEDLY UNTIL ALL AREAS ARE COVERED WITH A SATISFACTORY STAND OF GRASS. MINIMUM ACCEPTANCE OF SEEDED LAWN AREAS MAY INCLUDE SCATTERED BARE OR DEAD SPOTS, NONE OF WHICH ARE LARGER THAN TWO (2) SQUARE FEET AND/OR WHEN COMBINED DO NOT EXCEED 2% OF TOTAL LAWN AREA.
- THE PROPOSED JUNIPER (LOW EVERGREEN) PLANT VARIETY (JHH - JUNIPERUS CHINENSIS 'HUGHES') AT THE BASE OF THE MONUMENT SIGN ARE TO BE NO TALLER THAN 2'-0" IN HEIGHT, AND IN THE EVENT OF NEEDING REPLACEMENT MUST BE OF THE SAME VARIETY AND/OR MAINTAIN MINIMUM 3' SEPARATION FROM THE SIGN AND NOT OBSTRUCT VISIBILITY.



**LEGEND**

- EVERGREEN / DECIDUOUS SHRUBS
- NATIVE ORNAMENTAL GRASS
- DECIDUOUS ORNAMENTAL TREE
- LARGE DECIDUOUS SHADE TREE
- PROPOSED SEED/TURF AREA
- PROPOSED LANDSCAPE BED / MULCH AREA
- EXISTING VEGETATION

**PLANT LIST**

KEY	QTY	Botanical name COMMON NAME	SIZE	REMARKS
CCH	3	Carpinus caroliniana AMERICAN HORNBEEAM	2.5'	CANOPY TREE
GTS	2	Gleditsia triacanthos 'Skyline' SKYLINE HONEYLOCUST	3'	CANOPY TREE
OB	3	Quercus bicolor SWAMP WHITE OAK	2.5'	CANOPY TREE
SRT	6	Syringa reticulata x 'Ivory Silk' IVORY SILK JAPANESE TREE LILAC	2.5'	UPRIGHT ORNAMENTAL TREE
TCL	4	Tilia cordata LITTLE LEAF LINDEN	3'	CANOPY TREE
AMM	8	Aronia melanocarpa x 'Morton' IRIQUOIS BEAUTY CHOKEBERRY	24" / 5 GAL	DECIDUOUS SHRUB
JCF	4	Juniperus chinensis 'Fairview' FAIRVIEW UPRIGHT JUNIPER	5' / 5 GAL	EVERGREEN UPRIGHT SHRUB
JHH	12	Juniperus horizontalis 'Hughes' HUGHES COMPACT JUNIPER	5 GAL	EVERGREEN LOW SHRUB
HPL	17	Hydrangea paniculata 'Limelight Prime' LIMELIGHT PRIME HYDRANGEA	5 GAL	DECIDUOUS SHRUB
IGS	12	Ilex glabra 'Shamrock' SHAMROCK INKBERRY HOLLY	5 GAL	EVERGREEN SHRUB
RAG	17	Rhus aromatica x 'Gro Lo' GRO LOW FRAGRANT SUMAC	5 GAL	DECIDUOUS SHRUB
WFM	14	Weigela florida 'Minuet' MINUET DWARF WEIGELA	5 GAL	DECIDUOUS SHRUB
SMP	8	Syringa meyeri 'Palibin' DWARF KOREAN LILAC	5 GAL	DECIDUOUS SHRUB
TOF	6	Thuja occidentalis 'Fire Chief' FIRE CHIEF ARBORVITAE	5 GAL	EVERGREEN ROUND
SHP	24	Sporobolus heterolepis 'Tara' PRAIRIE DROPS-EED	2 GAL	UPRIGHT FRAGRANT GRASS

ZONING DATA

CATEGORY	QUANTITY	REQUIREMENT	PROVISION
FOUNDATION PLANTING	FAÇADE: 214' TOTAL 104' - PLANTABLE AREA 110' - PAVED AREA	104' = 83' PLANTABLE AREA (80% OF PLANTABLE AREA) 110' = 2 TREES - 1 TREE PER 50' OF FAÇADE FOR AREAS OF PAVED, PROVIDED ON SITE	94' OF PLANTABLE AREA (90% AREA) 2 TREES PROVIDED AT PERIMETER
PARKING PERIMETER	183RD ST. = 102'	34 SHRUBS (1 SHRUB / GRASS PER 3 L.F. OF PARKING PERIMETER ADJ. TO STREET)	34 SHRUBS PROVIDED AT PERIMETER
PARKING INTERIOR	7 PARKING END CAPS OR ISLANDS	7 TREES + 21 SHRUBS (1 TREE + 3 SHRUBS PER PARKING END CAP OR ISLAND PROVIDED)	7 TREES + 21 SHRUBS PROVIDED AT EACH END CAP OR ISLAND
TRANSITION ZONE	WEST P.L. = 225 L.F. EAST P.L. = N/A NORTH P.L. = N/A SOUTH P.L. = N/A	WEST P.L. = 8 TREES (4 TREES PER 100 L.F.)	8 TREES PROVIDED
SCREENING	TRASH ENCLOSURE (1) 20 L.F. OF FAÇADE ELECTRIC TRANSF. (1)	7 SHRUBS / GRASS (1 SHRUB / GRASS PER 3 L.F. OF ENCLOSURE FAÇADE) NO MORE THAN 20% VISIBLE	7 SHRUBS PROVIDED 100% SCREENED (ALL SIDES)

**ARC DESIGN RESOURCES INC.**

5281 ZENITH PARKWAY  
LOVES PARK, IL 61111  
VOICE: (815) 484-4300  
FAX: (815) 484-4303

www.arcdesign.com  
Illinois Design Firm License No. 184-001334

PROJECT NAME  
OWNER'S NAME

**RESTAURANT WITH DRIVE-THRU**

3047 183RD STREET  
HOMEWOOD, IL  
COOK COUNTY

ALRIG USA  
RACHEL DELANEY  
RACHEL@ALRIGUSA.COM  
(248) 909-7072

CONSULTANTS

ISSUED FOR

REVISIONS	DATE
1. SITE PLAN REVIEW	08/13/2024
2. AGENCY REVIEW	08/22/2024
3. AGENCY REVIEW	08/27/2024
4. ---	---
5. ---	---
6. ---	---
7. ---	---
8. ---	---
9. ---	---
10. ---	---
11. ---	---
12. ---	---

SHEET TITLE

**LANDSCAPE PLAN**

DRAWN MA  
CHECKED LND  
PM RCS

PROJECT NUMBER  
SHEET NUMBER

**23129**

**L-01**



ISSUE	DATE	REV	DESCRIPTION
1	8/15/2024	-	CLIENT 20% ZONING REVIEW

**SHREMSHOCK**  
 Illinois Design Firm  
 Number: 184-004875  
 info@shremshock.com  
 www.shremshock.com

Shremshock Engineering, Inc.  
 7775 Walton Parkway Ste. 250 New Albany, OH 43054  
 t: 614 545 4550 | f: 614 545 4555

THE ARCHITECT/ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE USE OF THESE PLANS FOR ANY PROJECT OTHER THAN SPECIFICALLY AUTHORIZED BY THEM AND ISSUED AND SEALED FOR SUCH SPECIFIC LOCATION IN THE STATE, PROVINCE OR TERRITORY SHOWN ON THE SEAL. THIS BUILDING USE IS ONLY APPLICABLE IN AREAS MEETING THE STATED DESIGN CRITERIA.

**ALRIG USA**  
 SINGLE TENANT  
 SHELL BUILDING  
 3047 183RD STREET  
 HOMEWOOD, IL 60430

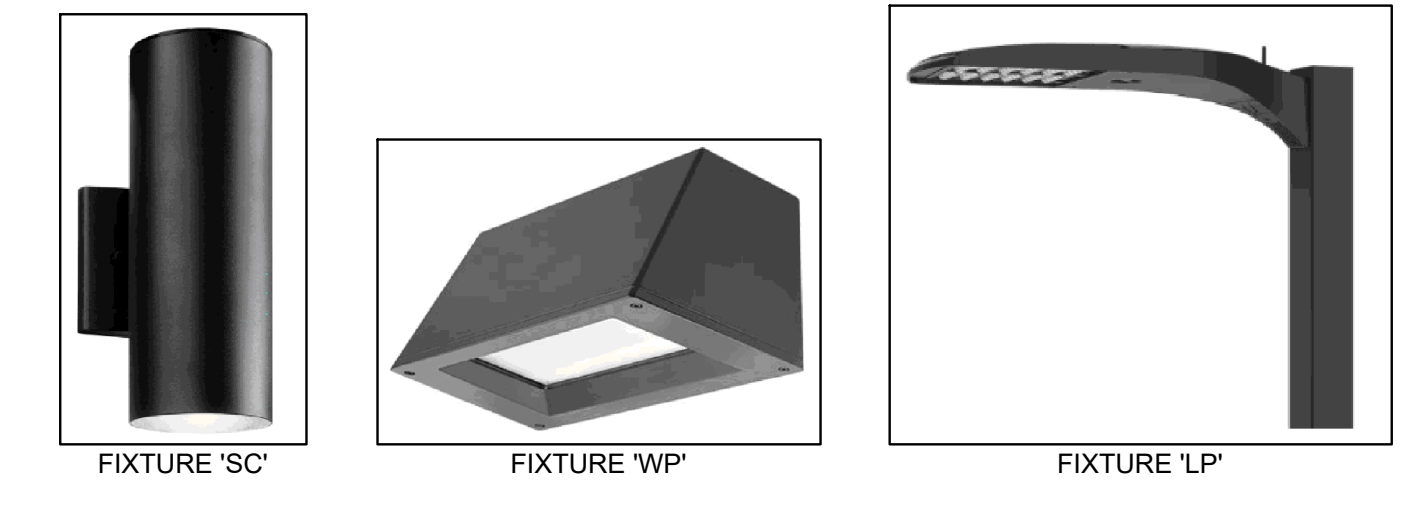
**ELECTRICAL SITE LIGHTING PLAN**

DRAWN BY: NRE  
 CHECKED BY: TAV

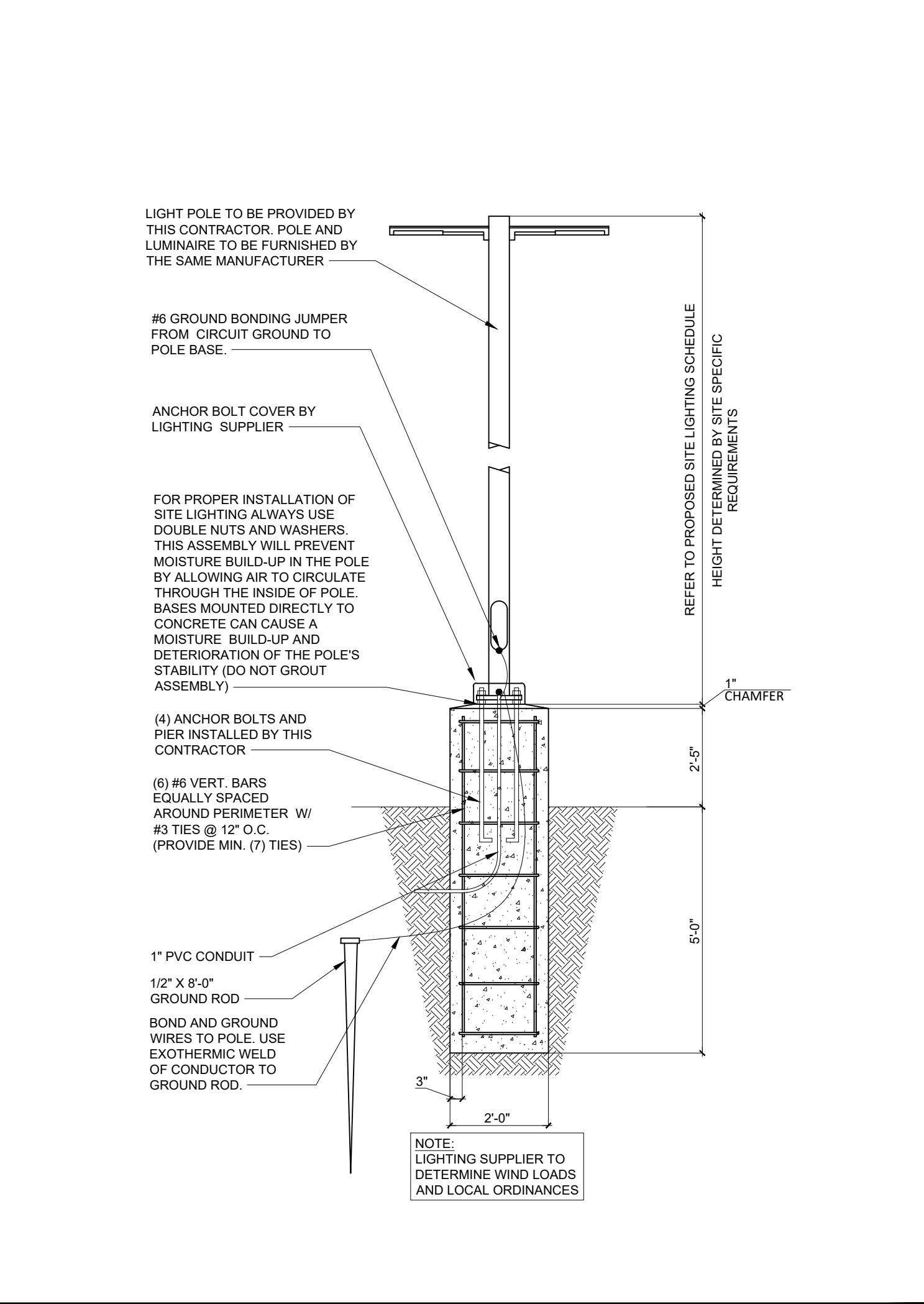
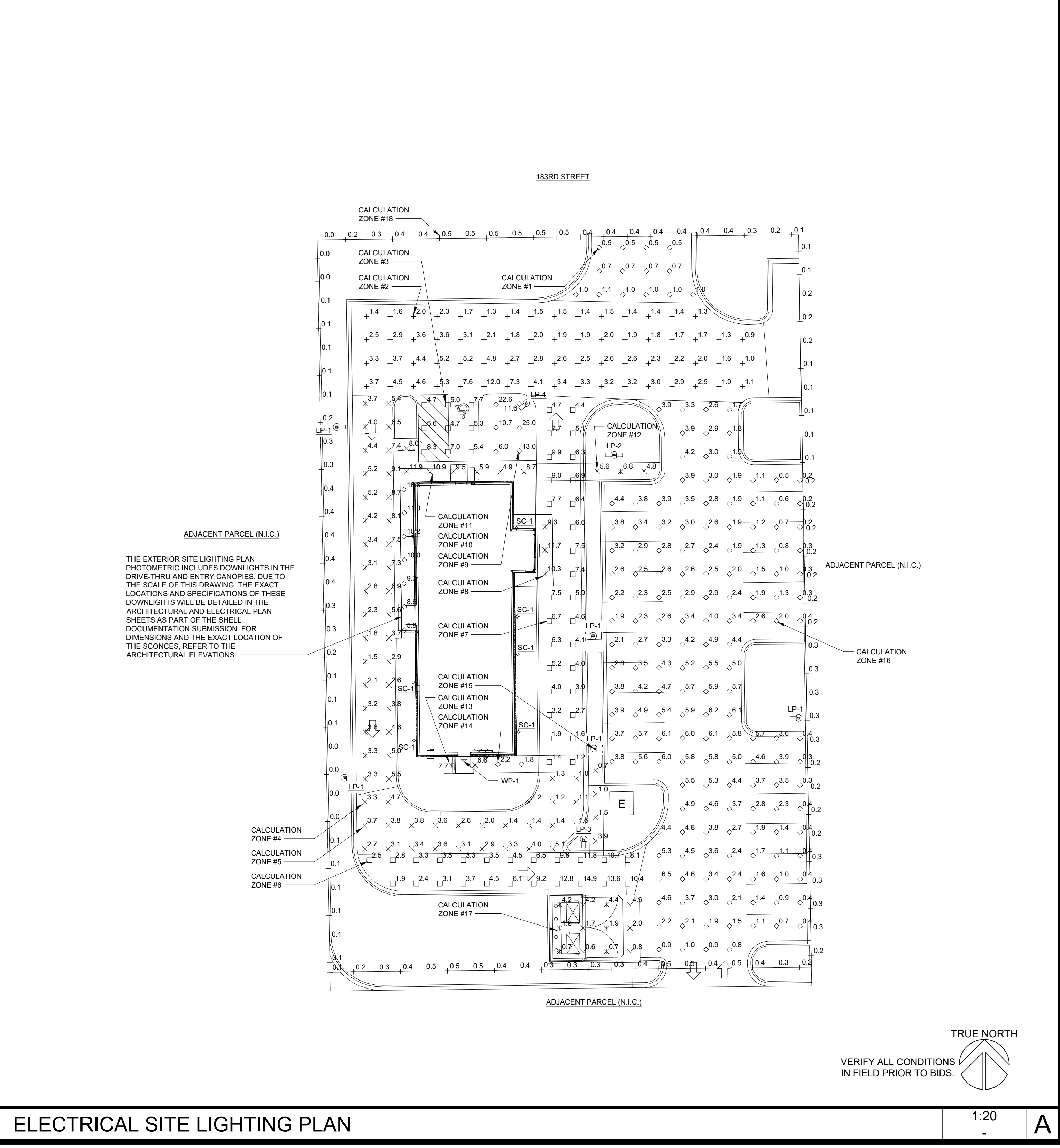
PRELIMINARY  
 NOT FOR CONSTRUCTION

SAI # 240311  
 DRAWING NUMBER: **E201**

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
1. Driveway_183rd St Entry	◇	0.8 fc	1.1 fc	0.5 fc	2.2:1	1.6:1
2. Driveway_Front	+	2.8 fc	12.0 fc	0.9 fc	13.3:1	3.1:1
3. Parking Area_Front of Building	□	6.0 fc	8.3 fc	4.7 fc	1.8:1	1.3:1
4. Driveway_Drive-Thru Entry	×	4.6 fc	9.1 fc	1.5 fc	6.1:1	3.1:1
5. Driveway_Drive-Thru Ordering	×	2.7 fc	5.1 fc	1.0 fc	5.1:1	2.7:1
6. Driveway_Rear Exit Near Drive-Thru Ordering Area	□	6.6 fc	14.9 fc	1.9 fc	7.8:1	3.5:1
7. Driveway_Drive-Thru Exit	□	5.3 fc	9.9 fc	1.2 fc	8.2:1	4.4:1
8. Drive Up Window_Drive-Thru Window	×	10.4 fc	11.7 fc	9.3 fc	1.3:1	1.1:1
9. Special Feature Area_Patio	◇	14.8 fc	25.0 fc	6.0 fc	4.2:1	2.5:1
10. Walkway_Building Side	◇	9.5 fc	11.0 fc	5.9 fc	1.9:1	1.6:1
11. Walkway_In Front of Building	×	8.5 fc	11.9 fc	4.9 fc	2.4:1	1.7:1
12. Walkway_From Main Parking to Building	×	5.7 fc	6.8 fc	4.8 fc	1.4:1	1.2:1
13. Walkway_Service Door	×	7.1 fc	7.7 fc	6.6 fc	1.2:1	1.1:1
14. Walkway_Directly Behind Building	◇	2.0 fc	2.2 fc	1.8 fc	1.2:1	1.1:1
15. Walkway_Main Parking to Dumpster	×	1.8 fc	3.9 fc	0.7 fc	5.6:1	2.6:1
16. Parking Area_Main Parking	◇	3.0 fc	6.5 fc	0.2 fc	32.5:1	15.0:1
17. Special Feature Area_Dumpster	×	2.3 fc	4.6 fc	0.6 fc	7.7:1	3.8:1
18. Property Line	+	0.3 fc	0.5 fc	0.0 fc	N/A	N/A



**ELECTRICAL SITE LIGHTING PHOTOMETRICS** | **H** | **PROPOSED SITE LIGHTING APPEARANCE** | **D**



**STANDARD POLE DETAIL** | N.T.S. | L

MARK	DESCRIPTION	INPUT (W)	BACKLIGHT UPLIGHT GLARE RATING (B# - U# - G#)	LIGHT LOSS FACTOR	HEIGHT
LP-1	LITHONIA LIGHTING #DSX1 LED P4 40K 80CRI BLC3 MVOLT NLTAIR2 PIRHN D-SERIES LED AREA LUMINAIRE. (1) 4000K LED WITH EXTREME BACKLIGHT CONTROL. PROVIDE WITH NLIGHT OPTION AND ALL ACCESSORIES REQUIRED FOR REQUIRED MOTION SENSING, PHOTOCELL AND WIRELESS COMMUNICATION.	123.9	B0 - U0 - G3	0.9	18'-0"
LP-2	LITHONIA LIGHTING #DSX1 LED P4 40K 80CRI T3M MVOLT NLTAIR2 PIRHN HS D-SERIES LED AREA LUMINAIRE. (2) 4000K LED WITH HOUSE SIDE SHIELDS. PROVIDE WITH NLIGHT OPTION AND ALL ACCESSORIES REQUIRED FOR REQUIRED MOTION SENSING, PHOTOCELL AND WIRELESS COMMUNICATION.	247.8 TOTAL (123.9 EACH)	B1 - U0 - G3	0.9	18'-0"
LP-3	LITHONIA LIGHTING #DSX1 LED P4 40K 80CRI T1S MVOLT NLTAIR2 PIRHN HS D-SERIES LED AREA LUMINAIRE. (1) 4000K LED WITH HOUSE SIDE SHIELD. PROVIDE WITH NLIGHT OPTION AND ALL ACCESSORIES REQUIRED FOR REQUIRED MOTION SENSING, PHOTOCELL AND WIRELESS COMMUNICATION.	123.9	B1 - U0 - G2	0.9	18'-0"
LP-4	LITHONIA LIGHTING #DSX1 LED P2 40K 80CRI T1S MVOLT NLTAIR2 PIRHN HS D-SERIES LED AREA LUMINAIRE. (1) 4000K LED WITH HOUSE SIDE SHIELD. PROVIDE WITH NLIGHT OPTION AND ALL ACCESSORIES REQUIRED FOR REQUIRED MOTION SENSING, PHOTOCELL AND WIRELESS COMMUNICATION.	67.8	B1 - U0 - G2	0.9	11'-4" (TOP OF LIGHT TO BE LEVEL WITH THE BOTTOM OF THE FRONT BUILDING CANOPIES. REFER TO THE ARCHITECTURAL ELEVATIONS)
WP-1	LITHONIA LIGHTING #WST LED P1 40K VW MVOLT VG (1) 4000K LED WITH PHOTOCONTROL, VISUAL COMFORT WIDE DISTRIBUTION, AND VANDAL GUARD.	12.0	B0 - U0 - G0	0.9	9'-6" ON CENTER UNLESS OTHERWISE NOTED ON ARCHITECTURAL ELEVATIONS
SC-1	KICHLER #11251BK730 OUTDOOR WALL LED LIGHT - UP & DOWN LANTERN - TEXTURED BLACK, 3000K COLOR TEMPERATURE.	15.0	NO BUG RATING AVAILABLE FOR FIXTURE PER CORRESPONDENCE WITH THE MANUFACTURER.	0.9	7'-0" ON CENTER UNLESS OTHERWISE NOTED ON ARCHITECTURAL ELEVATIONS

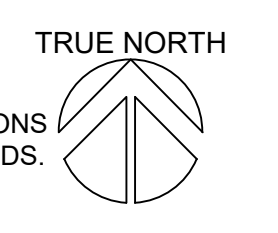
LIGHTING SCHEDULE NOTES:  
 1. FIELD VERIFY ALL CONDITIONS PRIOR TO BID AND THE START OF WORK.  
 2. COORDINATE FINISH COLOR WITH OWNER PRIOR TO BID.

**PROPOSED SITE LIGHTING SCHEDULE** | J

**NOT USED**

NOT USED

**NOT USED** | N



VERIFY ALL CONDITIONS IN FIELD PRIOR TO BIDS.

1:20

A





EXTERIOR VIEW D  
NTS



EXTERIOR VIEW C  
NTS



EXTERIOR VIEW B  
NTS



EXTERIOR VIEW A  
NTS

**SHREMSHOCK**  
Shremshock Architects, Inc.  
7775 Walton Parkway, Suite 120 New Albany, OH 43054  
t 614 545 4650 f 614 545 4655 www.shremshock.com

**PRELIMINARY**  
NOT FOR CONSTRUCTION

**ALRIG USA**  
SHELL BUILDING  
3047 183rd STREET  
HOMEWOOD, IL 60430  
Design / Development

CURRENT ISSUE:  
08/15/2024

DRAWINGS ISSUED:

TITLE:  
EXTERIOR VIEWS

SCALE: 1/2" = 1'-0"  
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SAI # 240311.000  
DRAWING NUMBER:

**P-02**



183RD STREET

S

ONLY

DRIVE THRU

DO NOT ENTER

E





**183RD STREET**

**EXISTING BUILDING**

**MATTHEW LANE**

**ROBIN LANE**











# VILLAGE OF HOMEWOOD



**MEMORANDUM**

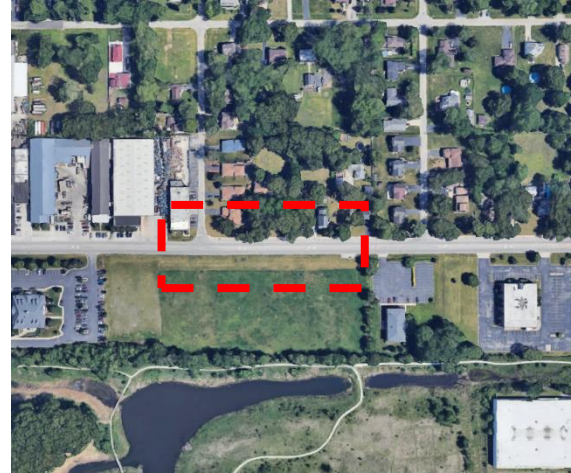
**DATE OF MEETING:** September 12, 2024

**To:** Planning and Zoning Commission

**From:** Noah Schumerth, Assistant Director of Economic and Community Development

**Through:** Angela Mesaros, Director of Economic and Community Development

**Topic:** Case 24-32: Planned Development, Apparel Redefined, 1313-1351 W 175th Street



**APPLICATION INFORMATION**

APPLICANT	John LaRoy, Apparel Redefined
ACTION REQUESTED	Planned Development Review
ADDRESS	1313-1351 W 175 <sup>th</sup> Street
PIN	29-32-101-068-0000, 29-32-101-067-0000, 29-32-101-066-0000, 29-32-101-076-0000

**ZONING & LAND USE**

SUBJECT PROPERTY	ZONING	LAND USE
CURRENT	M-1 Limited Manufacturing	Vacant
PROPOSED	M-1 Limited Manufacturing w/ Planned Development	Office/Light Manufacturing
SURROUNDING	N: R-1 Single-Family Residential (East Hazel Crest)	Single-Family Residential
	E: M-1 Limited Manufacturing	Vacant (previously Office)
	S: PL-1 Natural Area Preserve	Nature Preserve
	W: M-1 Limited Manufacturing	Office (Homewood Disposal)

**LEGAL NOTICE**

Legal notice was published in *Daily Southtown* on August 28, 2024; letters were sent to property owners and residents within 250'. The Village provided letter to 20 property owners.

**DOCUMENTS FOR REVIEW**

Title	Pages	Prepared by	Date
Application Form	3	John LaRoy, Applicant	08/21/2024
PUD Application Packet	11	John LaRoy, Applicant	08/21/2024
Site Plan Exhibits	4	Bruce F. Roth, Architect	10/24/2023
Floor Plans	2	Bruce F. Roth, Architect	10/24/2023
Elevations	1	Bruce F. Roth, Architect	10/24/2023
Plat of Survey	1	DesignTek Engineering	10/10/2023
Landscape Plans	2	Metz and Company Landscape Arch.	10/18/2023
Color Renderings	4	Bruce F. Roth, Architect	10/24/2023
Photos of Surrounding Properties	3	John LaRoy, Applicant	08/14/2024
Staff Exhibits	2	Noah Schumerth, Asst. Dir. ECD	09/06/2024

**BACKGROUND**

The applicant, John LaRoy of Apparel Redefined, a custom apparel printing and monogramming company, proposes to move his headquarters and production facility to Homewood. Apparel Redefined was founded in 1970 and operates out of Crestwood, IL. They are a leading nationwide supplier of custom silk screening and embroidery products specializing in highly customized athletic apparel. The company has outgrown its current location. It employs 60 people and plans to more than double the size once its relocation and expansion are complete.

Apparel Redefined proposes to redevelop a four-acre vacant lot at 1351 175<sup>th</sup> Street for development of a 45,900-square-foot production facility and to renovate the 8,900-square-foot office building directly to the east at 1313 175<sup>th</sup> Street for its headquarters.

In 1992, the Village purchased 178 acres along 175<sup>th</sup> Street (the Prairie Lakes Business Park) in the Washington Park Tax Increment Financing (TIF) District. (The TIF expired in 2009/2010.) In 1996, the Village of Homewood completed infrastructure improvements to promote the development of 41 of the 178 acres. The only remaining parcel in the Prairie Lakes Business Park PUD is a four-acre parcel at 1351 175<sup>th</sup> Street. The Village tried for many years to sell the property for development with no success.

In June 2022, John La Roy, the owner of Apparel Redefined, contacted the Village staff, seeking available space to relocate and expand its offices and production facility. During this process, Mr. LaRoy indicated a need for 6 acres. The Village offered its four-acre lot for development of the production facility, and also purchased and transferred the adjacent property at 1313 175<sup>th</sup> for use as offices for Apparel Redefined.

Section 44-06-02 of the Zoning Ordinance requires that any development on a lot or lot(s) greater than 25,000 square feet be reviewed as a Planned Development. The subject site is 277,900 square feet in area or 6.38 acres. Therefore, the development requires a planned development approval.



## DISCUSSION

### **Planned Development Standards**

Village staff and the Planning and Zoning Commission must review any proposed Planned Development against the Standards set forth in Section 44-06-03 of the Homewood Zoning Ordinance. Planned developments should be approved only in direct response to the provision of tangible benefits from the planned development to the Village or the neighborhood in which it is located. No application for a Planned Development shall be approved unless the Planning and Zoning Commission and the Village Board find that the application meets all of the following Standards for Review. Staff has reviewed the project for compliance with the zoning standards. (*Attached to this memo for reference are the full zoning text of the requirements and criteria for each of the Standards.*)

**(a) Plan and policy alignment.** The project is in alignment with the purpose of the M-1 zoning district:

*“provide suitable locations for limited manufacturing, assembly, warehousing, distribution and related activities conducted primarily indoors and having minimal external impacts.”*

The proposed development aligns with the *Industrial* land use category in the 1999 Comprehensive Plan and with the stated Comprehensive Plan goals for the Prairie Lakes Business Park within which the subject site is located, including:

*“continue commercial, industrial and residential development in the Prairie Lakes area...along with the maximization of land development within the guidelines of the approved Planned Unit Development for the site.”*

This criterion is met.

**(b) Place making.** The project provides a unique site design for an industrial and office development. The applicant has proposed a large patio area between the existing office building and the proposed production facility, designed to serve as an open space for site visitors and employees. The applicant has also proposed significant hardscape and landscaping improvements to the existing office building. The project provides large amounts of open space to preserve the existing landscape of the Prairie Lakes Business Park area. This criterion is met.

**(c) Integrated design with identifiable centers and edges.** The project is a single development that integrates two uses – an office building and production facility connected by an interior two-story covered walkway and exterior sidewalks and pedestrian connections. The clustering of the office and production use together in the center of the site provides a focus area of activity, accentuated by outdoor activity areas, such as patios and pedestrian areas, between the two uses. Edges are formed by the large open spaces proposed on the eastern and western edges of the development, along with the large buffer of mature trees between the proposed development and the adjacent Isaak Walton Preserve. This criterion is met.

**(d) Public welfare.** The proposed design is not deemed to pose a fire or health risk for members of the public. The building is separated from other uses by large setbacks. The building will meet current fire codes and other standards, including fire protection measures between production and office uses. The building is not of a location, height or massing which will block air and light from neighboring structures. This criterion is met.

**(e) Compatibility with adjacent land uses.** The proposed uses are compatible with one another, and the integration of the two uses is suitable for the successful operation of Apparel Redefined. The Prairie Lakes Business Park includes a range of office and manufacturing uses similar to those proposed on the site. The immediate neighboring uses, including Homewood Disposal (1501 W 175<sup>th</sup> Street) and an office building (1221 W 175<sup>th</sup> Street) are in alignment with the proposed office and production uses.

The applicant has proposed to maintain the mature trees on the southern portion of the property to serve as a buffer to protect the Isaak Walton Preserve to the south from the construction of the proposed use to mitigate the visual and auditory impacts of the new facility. The applicant also proposes maintenance of an existing berm at the rear of the site to further reduce impacts on the neighboring preserve. This criterion is met.

**(f) Impact on public facilities and resources.** The site will have adequate utilities, road access, drainage, and other necessary facilities to support the proposed uses. The primary impact on utilities and other public resources is through storm water collection and detention. Isaak Walton Preserve will receive significant portions of the total storm water discharge from the project. The Metropolitan Water Reclamation District (MWRD) reviewed the proposed development and approved a storm water permit for the project, finding that the detention facilities within the preserve are suitable to handle storm water runoff generated by the project.

The project will increase traffic on 175<sup>th</sup> Street but is not projected to cause congestion or other adverse impacts on public streets.

The project will not be assessed impact fees. The site is part of a redevelopment agreement with the Village to utilize TIF funding to reimburse infrastructure costs supporting the development. This criterion is met.

**(g) Archaeological, historical, or cultural impact.** No known archeological, historical, or cultural resources are located on the site. This criterion is met.

**(h) Drives, parking, and circulation.** The site meets zoning requirements for off-street parking (109 spaces provided, 66 required at a ratio of one (1) space per 300 square feet). The proposed site plan utilizes the existing parking area on the eastern portion of the property with 65 parking spaces. The plan proposes a single circulation loop around all sides of the building (except the rear yard, adjacent to the nature preserve). The site is designed to allow the production facility to be “roll in/roll-out,” with off-street loading within the building. The design ensures this unique circulation pattern occurs without impacts on public streets or neighboring properties. This criterion is met.

The staff has reviewed the proposed Planned Development and finds that the proposal meets all minimum Standards for Review.

#### **Site Development Modifications Standards**

Planned Developments may pursue deviations from the requirements of the underlying zoning district. To receive approval for these site modifications, the development must be evaluated against the *Modification Standards* in Section 44-06-04 of the Homewood Zoning Ordinance. Each site development modification must be aligned with at least one (1) of the modification standards found in the Zoning Ordinance.



### Proposed Modifications

The applicant has proposed four (4) site development modifications as part of the proposed Planned Development:

1. Construction of the two-story walkway called “The Connector,” and employee/public patio area across an existing lot line. *Deviation from Section 44-01-04(b)(3) of the Zoning Ordinance, which states that improvements crossing lot lines must be specifically allowed in Code or approved as part of a Planned Development.*
2. Construction of a two-story walkway called “The Connector,” and parking lighting poles within two existing Public Utility Easement (P.U.E.) areas. *Improvements such as buildings and lighting fixtures are not permitted in a recorded public utility easement.*
3. Reduction of front yard setback in the M-1 zone to permit the construction of a parking area 12’ from the front property line in alignment with the existing parking area on the site. *Table 44-03-01 and Section 44-05-02(j), establish the front yard setback at 40’ and prohibit the placement of off-street parking spaces within the front yard setback area.*
4. Utilization of prohibited corrugated metal building material. *Section 44-05-11(b) (4) prohibits the use of corrugated metal on any new structure constructed in Homewood.*

### Modifications Standards Review

The staff has completed a review of compliance with the Modification Standards. (*Attached to this memo for reference are the full zoning text of the requirements and criteria for each of the Standards.*)

**(1) Landscape conservation and visual enhancement.** The proposed development preserves mature trees along the rear of the property, which will fully screen the development from the Isaak Walton Preserve and conserve the existing landscape of the preserve area. This criteria has been met.

**(2) Sustainable design.** The applicant has proposed the installation of solar panels on the angled roof of the proposed building. The development will utilize the existing natural detention area adjacent to the development within Isaak Walton Preserve to allow for more sustainable storm water management and reduce reliance on large mechanical detention systems or artificial detention areas lacking in biodiversity or proper ecosystem development. This criteria has been met.

**(3) Public gathering space.** The large patio area in the front of the development provides a gathering area visible from the public right-of-way. The gathering area is integrated into the development by its placement immediately between the two uses and adjacent to the “Connector” walkway between the two buildings. The patio’s placement will encourage regular use with a clear functional relationship to the buildings adjacent to the outdoor space. The patio will include activation opportunities including the placement of seating and outdoor furniture, landscape planters, and other features to encourage regular use. This criterion is met.

**(4) Mix of uses.** The site includes office and production on a single site to create an integrated mix of non-residential uses. This criterion is met.

**(5) Universal design.** The site meets the Americans with Disabilities Act (ADA) requirements. The two buildings on the site have level access from the parking area and outdoor gathering areas. The “Connector” walkway permits seamless movement between uses for all users. This criterion is met.

**(6) High quality building materials.** The proposed production facility will be clad in a corrugated metal material. Corrugated metal is prohibited by the Homewood Zoning Ordinance. Staff has reviewed examples of the proposed material and found the material to be of a higher quality and durability than those generally prohibited. A site development modification will be required to allow the applicant to use the proposed material. This criterion is met, but requires a site development modification.

Additionally, each proposed modification must be aligned with at least one modification standard set forth in Section 44-06-04 of the Homewood Zoning Ordinance. Staff has completed a review of each proposed modification for compliance with one or more Modification Standards:

1. Construction of “The Connector” across an existing lot line.

**Modification Standard(s):** None

**Justification:** The subject site must remain as two parcels due to an agreement with the Village for the real estate closing to occur on the building at 1313 175<sup>th</sup> Street first to permit renovation of the building before construction of the production facility at 1351 175<sup>th</sup> Street

Staff recommends that the modification be permitted with the condition that the lots be consolidated before a certificate of occupancy for the building. See *Recommended Planning and Zoning Commission Action.*

2. Construction of “The Connector,” and parking lighting poles within Public Utility Easement (P.U.E.) areas.

**Modification Standard(s):** None

**Justification:** Each side of the lot line proposed to be crossed with “The Connector” has a Public Utility Easement (P.U.E.), a total easement width of 17.5 feet. There are currently no known public utilities located within this easement. Staff recommends the removal of the easements through lot consolidation, with approval from the Village Engineer, before the issuance of a certificate of occupancy for the building. See *Recommended Planning and Zoning Commission Action.*

3. Reduction of front yard setback to permit the construction of a parking area 12’ from the front property line.

**Modification Standard(s):** Landscape conservation and visual enhancement

**Justification:** The placement of parking in the required front yard is proposed to ensure new parking areas and circulation drives align with the existing parking area and circulation drives at 1313 175<sup>th</sup> Street. The proposed deviation ensures visual consistency in landscaping and parking



design between the office building and the new production facility. Staff recommends approval of the parking design and front yard setback modification.

- 4. Utilization of prohibited corrugated metal building material.

**Modification Standard(s):** Use of high-quality building materials

**Justification:** The applicant has proposed a metal cladding material with a wide corrugation pattern and a higher degree of durability than common corrugated metal materials. Staff has reviewed examples of the material and finds the material to be of a suitable level of quality and durability to reflect the purpose of Section 44-05-11 of the Homewood Zoning Ordinance. Staff recommends approval of the proposed material modification.

**STAFF COMMENTS**

In addition to approval of a Planned Development, the following reviews must be completed prior to building permit review:

- Approval of Site Plan Review by the Planning and Zoning Commission (concurrent)
- Approval of Appearance Review by the Appearance Commission

**RECOMMENDED PLANNING & ZONING COMMISSION ACTION**

Should the Planning and Zoning Commission find that the Planned Development meets the applicable review standards set forth in Section 44-06 of the Homewood Zoning Ordinance, the Commission may wish to consider the following motion:

Recommend **approval** of Case 24-32 to permit a Planned Development for a 6.38-acre site located in the M-1 zoning district at 1313-1351 W 175<sup>th</sup> Street, with modifications as proposed, subject to the following conditions:

1. Completion of consolidation of all six (6) parcels of the subject site prior to issuance of a certificate of occupancy.
2. The two public utility easements located between PIN #29-32-101-076 and PIN #29-32-101-047 must be vacated, with plans approved by the Village Engineer, prior to the issuance of a certificate of occupancy.

# NON-RESIDENTIAL ZONING REVIEW PROCESS AND REQUIREMENTS



2020 Chestnut Road, Homewood, IL 60430

## APPLICATION CHECKLIST

For all applications, provide the following:

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Completed application form            | <input type="checkbox"/> Proof of ownership, or<br>Letter of authorization by the owner | <input type="checkbox"/> Materials, as listed below |
| <input type="checkbox"/> Plat of survey with legal description |   | <input type="checkbox"/> Payment of fee             |

Based on each action(s) requested, provide the required materials listed below. Staff reserves the right to request additional materials, as required by the scope of the request, to make an informed decision.

### Special Use, Limited Use, Temporary Use

- Site plan
- Conceptual floor plan
- Completed worksheet responding to applicable standards or review criteria
- Narrative describing the proposed use, including:
  - services provided
  - hours of operations
  - anticipated average and peak capacity

### Variance

- Site plan
- Conceptual floor plan
- Completed worksheet responding to standards
- Letters of support from neighbors, optional

### Site Plan Review

- Site plan or survey of existing conditions
- Site plan of proposed development
- Conceptual floor plan(s)
- Landscape plan, existing and proposed, if impacted by changes

### Text or Map Amendment

- Site plan
- Conceptual floor plan
- Narrative describing the proposed land use requiring the amendment to the zoning text or map
- Completed worksheet responding to applicable standards

### Planned Development

- Proposed plat of record for lot consolidation or subdivision
- Directory of all development team members/consultants with contact information
- Site plan or survey of existing conditions
- Site plan of proposed development
- Conceptual floor plan(s)
- Transportation Impact Study
- Village Impact Study
- Studies or reports by outside agencies

## APPEARANCE REVIEW

For applications requiring Appearance Review, submit the following materials:

- |  |  |
|--|--|
| <input type="checkbox"/> Completed Appearance Commission application form  | <input type="checkbox"/> Material palette board (digital), showing, as applicable: |
| <input type="checkbox"/> Narrative describing the proposed new or changed to elevations, landscaping, lighting, and/or signage | <input type="checkbox"/> building materials  |
| <input type="checkbox"/> Elevation and/or plan drawings showing the existing and proposed conditions                           | <input type="checkbox"/> plants and landscape materials                            |
| <input type="checkbox"/> Photometric plan for new or changes to exterior lighting  | <input type="checkbox"/> cut sheets for lighting fixture                           |
|  | <input type="checkbox"/> cut sheets for site furnishings                           |





# NON-RESIDENTIAL ZONING REVIEW

2020 Chestnut Road, Homewood, IL 60430

## PROPERTY INFORMATION

**Street Address:** 1351 and 1313 175th St. Homewood, IL 60430

**Property Index Number(s):** 29-32-101-066; -067; -068; -076; -047;-048; (all six PINs end in "-0000")

**Lot Size:** 243,000 sq. ft. 5.58 acres  
*If the subject property is multiple lots, provide the combined area.*

**Zoning District:**  
 R-1  R-2  R-3  R-4  B-1  B-2  B-3  B-4  M-1  M-2  PL-1  PL-2

Complete this section to determine your required review(s):

Is the subject property more than one lot held in common ownership?  
 yes  no  
 → If yes, lots held in common ownership should be consolidated

A Planned Development is required for development of lots >25,000 sf or located in the B-1 or B-2 Zoning Districts.

## REQUESTED USE

**Requested Use:** Commercial business which customizes apparel and merchandise plus use of existing office building as corporate headquarters

**Gross Floor Area:** 55,310 sq. ft. **Parking Provided:** 109

**Existing Use:** 2-story office building

The requested use is:

- Permitted
- Limited
- Special
- Other:

## SITE OR BUILDING CHANGES

**Existing Development:** Expand parking + 2-story connector walkway- new build.

**Proposed Development** *Check all that apply. Provide a description and metrics below.*  
 New Construction  Addition  Site Alterations  Exterior Building Alterations

New metal-clad industrial building (45,900 sq. ft.) plus two-story walkway to existing two-story office building, additional parking for new and existing building

Development Metrics	Existing	Proposed
Gross Floor Area (sq. ft.):	<u>9,410</u>	<u>55,402</u>
Parking Spaces	<u>65</u>	<u>109</u>
Lot Coverage		
Impervious Area (sq. ft.)	<u>34,810</u>	<u>98,480</u>
Impervious Coverage (%)	<u>63.0%</u>	<u>41.0%</u>

New construction?

yes  no  
 → If yes, requires Site Plan Review

Floor area increase is 20% or more?

yes  no  
 → If yes, requires Site Plan Review

Does the applicant elect to proceed as a Planned Development?

yes  no

Is site circulation or parking impacted?

yes  no  
 → If yes, requires Site Plan Review

Is site landscaping impacted?

yes  no  
 → If yes, requires Site Plan Review

Exterior building alterations?

yes  no  
 → If yes, requires Appearance Review

## ZONING RELIEF OR CHANGES

**Zoning Variance or Amendment** *Describe any requested zoning relief or changes below.*

Setback requirement on west side of existing building and east side of new building due to two-story connector

The applicant requests:

- Variance
- Administrative Exception
- Zoning Text Amendment
- Zoning Map Amendment

**APPLICANT**

Name John LaRoy  
 Company A&R Screening LLC DBA Apparel Redefined  
 Address 4611 136th St.  
Crestwood, IL 60418  
 Phone 708-598-2480  
 Email john.laroy@apparelredefined.com  
 Role CEO

**PROPERTY OWNER**

Name Village of Homewood  
 Company \_\_\_\_\_  
 Address 2020 Chestnut Ave.  
Homewood, IL 60430  
 Phone 708-798-3000  
 Email https://www.village.homewood.il.us/

Check box if the applicant is the property owner

I acknowledge and attest that:

- » All the information and exhibits submitted with this application are true and accurate to the best of my knowledge;
- » Village representatives are permitted to make reasonable inspections of the subject property necessary to process this application;
- » I agree to pay all required fees;
- » No work may be done without first obtaining a Building Permit. All work shall be completed in accordance with Village Codes and Ordinances.

John LaRoy

Applicant Name



Applicant Signature

08/21/2024

Date

**Staff Notes**

*Do not write below this line.*

Fee: \_\_\_\_\_  Paid

Date Received: \_\_\_\_\_

CASE NO: \_\_\_\_\_ REQUEST: \_\_\_\_\_

Comments/  
Conditions:

Approved  Approved with Conditions  Denied

Date: \_\_\_\_\_

CASE NO: \_\_\_\_\_ REQUEST: \_\_\_\_\_

Comments/  
Conditions:

Approved  Approved with Conditions  Denied

Date: \_\_\_\_\_

CASE NO: \_\_\_\_\_ REQUEST: \_\_\_\_\_

Comments/  
Conditions:

Approved  Approved with Conditions  Denied

Date: \_\_\_\_\_

This application has zoning approvals and may proceed to obtain Building Permits or a Certificate of Occupancy.

Name: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_





# **Apparel Redefined**

Planned Unit Development and Appearance Commission Application

Village of Homewood, Illinois

August 2024

## Table of Contents

- I. General Information
  - a. Background, Site Selection, and Ownership
  - b. Zoning Analysis
    - i. Non-conformities
    - ii. Incremental Improvements
    - iii. Feedback from administrative review
  
- II. Plans and Survey
  - a. Site Plan
  - b. Landscaping Plan
  - c. Building Elevations
  - d. Signage
  - e. Photometrics
  - f. ALTA Plat of Survey
  - g. Legal Description
  - h. Covenants, Conditions, Easements, or Restrictions
  
- III. Interior Plan
  - a. Conceptual Interior Layout
  - b. Integration with Existing Office Building
  
- IV. Planned Development Narrative
  - a. Overview
    - i. Proposed Uses of Existing Buildings
    - ii. Proposed Uses of New Building
  - b. Impact of the Proposed Development
    - i. Local Tax Impact
    - ii. Employment Impact
    - iii. Other Impacts
  
- V. Appendix
  - a. Exhibit 1 – Village of Homewood Zoning Map
  - b. Exhibit 2 – Architectural and Planning Documents
  - c. Exhibit 3 – Landscaping Plan
  - d. Exhibit 4 – Building Elevations
  - e. Exhibit 5 - Signage
  - f. Exhibit 6 – Photometric Plan
  - g. Exhibit 7 - ALTA Plat of Survey
  - h. Exhibit 8 - Legal Description, Covenants, Conditions, Easements, or Restrictions
  - i. Exhibit 10 – Photos of Industrial Properties in the Area



# DRAFT

## I. General Information

### a. Background, Site Selection, and Ownership

A&R Screening, LLC (D.B.A. Apparel Redefined) is a privately-owned business, which produces customized apparel and personal products for high school athletics, consumer products, corporate branding, and special events. Apparel Redefined (“AR”) and its predecessor entities have been in business in Illinois for over 50 years. John LaRoy is the President and CEO of Apparel Redefined. Mr. LaRoy may be reached via email at [john.laroy@apparelredefined.com](mailto:john.laroy@apparelredefined.com) or via phone at (708) 598-2480.

In recent years, Apparel Redefined (the “Company” or “AR”) has implemented technology into production equipment, creative design services, ordering, and fulfillment processes. As a result, the company has grown to 55 full-time employees and has outgrown its current facility, which is located at 4611 136<sup>th</sup> Street, Crestwood, Illinois 60418.

Over the past two years, the Company has conducted a search for a site in southern Cook County, Will County, and northwest Indiana, which could house its corporate headquarters, operations, and accommodate future expansion. A suitable site for construction of a new 45,900 sq. ft. operations center and renovation of an existing 8,900 sq. ft. headquarters building has been identified within the Prairie Lakes Industrial Park at 1313 and 1351 175<sup>th</sup> St., Homewood, Illinois (the “Project Site”). As shown in the aerial photograph below, the Project Site consists of six parcels.

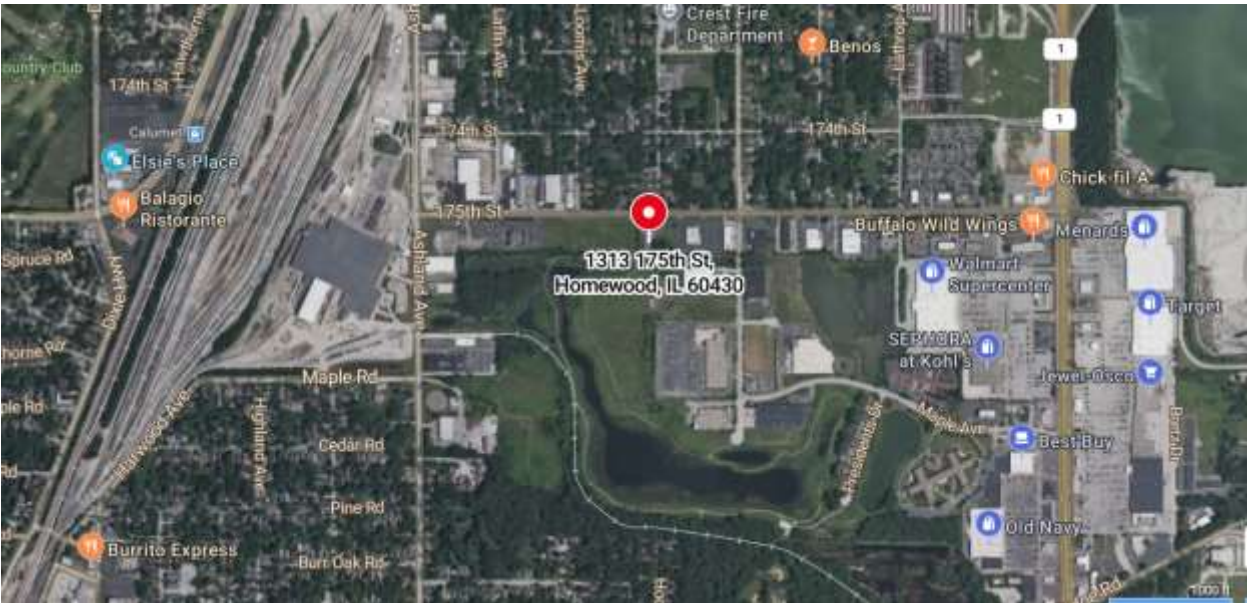
Exhibit A – Parcel Map



The following aerial photograph provides a perspective of where the Project Site is located with respect to existing properties:

# DRAFT

## Exhibit B – Aerial Map of the Area



Source: [www.bing.com/maps](http://www.bing.com/maps)

The Project Site is comprised of two sets of parcels, which are described as follows: 1351 175th St., Homewood, Illinois ("Property 1") is currently owned by the Village. Property 1 is vacant land covering an area of approximately 187,500 sq. ft. Property 1 permanent index numbers are 29-32-101-066-0000; -067-0000; -068-0000; and -076-0000.

1313 175th St., Homewood, Illinois ("Property 2") is currently owned by the Village. Property 2 consists of approximately 1.3 acres of land, a 9,526 sq. ft. 2-story office building, and 65 surface level parking spaces. Property 2 property index numbers (PINs) are as follows: 29-32-101-047-0000 and 29-32-101-048-0000. A photo of Property 2 is show below. Source: [www.goggle.com/maps](http://www.goggle.com/maps)

## Exhibit C – Streetside Photo of Existing HQ Building





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The Village of Homewood (the “Village”) plans to convey Property 1 and Property 2 to Apparel Redefined. AR plans to renovate and occupy Property 2 into the Company’s corporate headquarters (the “HQ”) and to construct an operations center (the “OPC”) of approximately 45,900 sq. ft. on Property 1 (collectively “the Development”).

## b. Zoning Analysis

Non-conformities: As described below and detailed the attached exhibits, the Development meets the development requirements within the M-1 Manufacturing zoning area (“M-1”) with a few exceptions noted below. In addition, the Development includes a 2-story walkway (the “Connector”) from the HQ to the OPC and an employee patio area on the east side of the OPC (the “Patio”). See Exhibit 2, page A-03. The Connector and the Patio cross the lot line between parcel 29-32-101-047 and parcel 29-32-101-076. See Exhibit A above. In accordance with Ch 44, Art. I Sec. 44-01-04(b)(3) of the Village’s Municipal Code (the “Code”), crossing lot lines must be specifically allowed in the Code or approved as a planned development.

As noted in the Signage section (below), two light poles are in the easements of the office building. One is at the east side of the Project Site, where prior owners acquired a parcel for additional parking and another is at the west side of the HQ property. Our understanding is that no utilities are running in either of these easements. In addition, the Connector runs through the same west easement. In the new OPC parking lot, all light poles are outside of the utility easements.

Parking: The Development is located within the M-1 Limited Manufacturing zoning area (“M-1”). See Exhibit 1 in the Appendix. Under the M-1 district standards, minimum parking for the Development is 21 spaces for HQ, 46 spaces for the OPC, and at least 5 of the required spaces must be ADA compliant.

As shown in Development’s site plan (Appendix, Exhibit 2, page 4), the HQ has 71 existing parking spaces, including five (5) that are ADA compliant. In addition, the OPC is designed to provide 39 additional parking spaces for a total of 110 parking spaces. See Exhibit 2, page 3. The Development’s parking plan exceeds the minimum required within the M-1.

Bulk and Dimensions: The bulk and dimensional standards of the M-1 are as follows:

- Yard Setbacks (ft.): front 40, exterior side 40, interior side 25, and rear 40
- Building Standards (maximum): height 40 ft. and impervious surface coverage 70%. Ch. 44, Art. III, Sec. 44-03-01.

The bulk and dimensions of the Development are as follows:

- Yard Setbacks (ft.): front yard: (175<sup>th</sup> St.) 90 ft., back yard: 40 ft., west side yard: 344 ft., west side yard – future expansion: 74 ft., east side yard: OPC connected to HQ – no setback requested.
- OPC: height 27 ft. on north side sloping to 20 ft. on south side (Appendix, Exhibit 2, page 7)
- Impervious surface coverage: HQ 63%, OPC 34%, and Development 41% (Appendix, Exhibit 2, page 4)

# DRAFT

The Development plan does not change the bulk and dimensions of the HQ. In addition, a two-story connecting walkway will be constructed to connect the HQ and OPC. The maximum height of the OPC will be 27 ft., which is less than the M-1 maximum of 40 ft. See Appendix, Exhibit 2, page 4, “Architectural Site Plan”.

## Incremental Improvements

The Development includes construction of a new 45,900 sq. ft. operations center (“OPC”). The OPC is designed to provide 39 additional parking spaces in addition to the 71 existing parking spaces. The Development includes upgrades and enhancements to the interior space of the HQ to create an open workspace concept, which is conducive to creative design work. Similarly, a portion of the OPC will be set aside for collaboration space so that creative design and productive capabilities can work together to achieve the best products and services in an efficient manner. As show in the attached site plan and elevations, the OPC and HQ will be physically joined with a two-story walkway (the “Connector”), which will further support the integration of creative design and production.

## Feedback and Administrative Review

The attached plans and elevations for the Development were shared with the Director of Economic and Community Development (the “Director”). The Director convened a meeting with Village staff from the Village Manager’s Office and the Departments of Economic and Community Development, Public Works, and Fire to review the site plan and ask questions of the Development team. Overall, the proposed Development was viewed positively. In addition, the Metropolitan Water Reclamation District reviewed the Development plan from a stormwater perspective and determined that the stormwater requirements for the Development are met by the detention volume provided within the service area of the Prairie Lakes legacy detention facility. Based on this finding the Development has been issued a stormwater permit from MWRD.

Exhibit 3 in the Appendix provides the Landscaping Plan (“LP”) prepared by Metz & Company. The Village’s landscape requirements in Sec. 44-05-06 for the Development include the following (Sec. 44-05-06):

- Specification of plantings size and type at two-thirds mature growth.
- No invasive plants identified by the Illinois Department of Natural Resources shall be allowed.
- A minimum of 75 percent of each planting bed shall be covered in plant material with ground cover or organic mulch three inches deep to cover all remaining area.
- Total landscape elements, excluding turf and other groundcover, shall not be comprised of more than 20 percent of any single species or 25 percent of any genus.
- Landscape Plan meets specified planting types and size requirements.
- Plantings are in the required landscape zones: building foundation, parking area perimeter, parking area interior, and transition areas.
- Landscape Plan conforms to the most recently approved American Standard for Nursery Stock (ANSI Z60.1), published by the American National Standards Institute.



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## Tree Preservation

The Village Municipal Code (the “Code”) requires that “all property within the Village shall require an approved tree preservation and removal plan prior to removing any existing living and healthy trees as determined by the village arborist with 12 inches diameter or greater”. (Sec. 44-05-07)

- In addition, the Code requires the following:
- The tree preservation and removal plan shall include an inventory of all trees subject to tree preservation.
- The plan shall indicate the location, size, species, and health of the tree as determined by a certified arborist or landscape architect.
- The plan shall be prepared by a certified arborist or landscape architect and approved by the village arborist.
- Every reasonable effort shall be made to incorporate trees identified in the inventory into the landscape required for the proposed development.
- Prior to granting approval to remove a mature, high-quality tree, the village engineer or village arborist must determine that one of the following criteria apply:
  - The tree is dead, dying, diseased, or a threat to public health or safety.
  - The tree interferes with the provision of public services or is a hazard to traffic.
  - The location of the tree prevents development or redevelopment that cannot be designed to protect the tree.
  - The tree is an identified invasive species.
- All trees subject to tree preservation approved for removal shall be replaced in accordance with the following standards:
  - The trees to be removed shall be replaced within one year of the date of approval and guaranteed as detailed in subsection 44-05-07(c)(6)d.
  - All replacement trees shall have a minimum diameter of two and one-half inches at the time of installation.
  - The trees plan shall be replaced at the rate specified in Table 44-05-07(c)(6)d.  
Replacement trees may be used to satisfy the landscape requirements of this section.
- Fee-in-lieu option. An applicant may provide a fee-in-lieu as established in the Village of Homewood fee schedule instead of the tree replacement requirements of this section.

The Landscape Plan for the Development identifies eight (8) existing trees that will be preserved. The attached Landscape Plan map shows the location of the existing trees. The location, size, species, and health of each preserved tree are summarized in the following table:

(Insert table containing the location, size, species, and health of each **preserved tree**)

Please identify any **trees to be removed** (including location, size, species, and health) by as a result of the Development and why it is being removed (e.g. in path of Development, invasive species, dying, hazardous, or interferes with public services)

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## II. Plans and Survey

### a. Site Plan

The Development site plan may be found in the Appendix, Exhibit 2. Page A-01 shows the existing site plan prior to development of the OPC or redevelopment of the HQ. The existing vacant land (“Property 1”) has been owned by the Village for several years but has never been developed due to soil conditions, which required substantial site preparation, prior pouring a building foundation or constructing a parking lot. However, by partnering with the Village, AR expects to be able to construct the OPC and renovate the existing HQ building to relocate its business from Crestwood, Illinois to Homewood, Illinois.

The Phase I Development site plan is shown in Exhibit 2, page A-03. As depicted in the Development site plan, the OPC is planned to be a rectangular building, which is 270 feet long and 170 feet wide totaling 45,900 sq. ft. The east end of the OPC will be connected to the HQ via a two-story enclosed walkway. The Development will create 39 additional parking spaces to be added to 71 existing parking spaces. The existing HQ footprint and parking plus the proposed OPC building foot and parking will a combined imperious surface of 41% of the Project Site.

The west side of the Project Site will provide for a Fire Department access drive. The OPC development contains a proposed berm, which will be partially constructed from soil, removed during site preparation. The OPC berm is located west and south of the OPC. Immediately adjacent to the east side of the OPC and north side of the two-story connector (the “Connector”) will be a patio, which will allow employees (weather permitting) to step outside the OPC or HQ to enjoy a break or lunch outdoors. The new parking lot immediately to the north of the OPC will include 39 new parking spaces as well as entrance and egress for cars and truck receiving and shipping.

In Exhibit 2, page A-02, a 45,900 sq. ft. expansion of the proposed OPC is shown. Apparel Redefined expects that based on continued growth in its business, a Phase II expansion may occur within a 3 to 5 years from occupancy of Phase I.

### b. Building Elevations and Renderings

Exhibit 2, page A-30 provides OPC elevations and Exhibit 4 provides OPC renderings from various perspectives. Feedback on the overall design from the Village staff and Village Board has been overwhelmingly positive. The OPC building (the “Building”) is proposed to be a modern steel structure, which is integrated with the existing HQ through an enclosed two-story walkway. The OPC is designed to have a flat roof that is slanted front to back. The front façade of the building (i.e. north side) is planned to have a height of 27 feet and the rear side of the building is designed to have a height of 20 feet. See page A-30 in Exhibit 2.

For operational efficiency, receiving will occur through two grade-level garage doors on the east end of the front façade, and shipping will occur through two grade-level garage door on the west end of the front facade. See Exhibit 2, page A-03. Two pedestrian entrances/exits are located on the Building’s north side. Two pedestrian entrances/exits are located on the Building’s south side and another two are located on the Building’s east side. The Building’s west side has no entrance/exits or windows because it is expected to be removed in the future for the Phase II expansion. The north, east, south sides of the OPC will have windows to provide light to the internal space.



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## c. Signage

Exhibit 5 details the proposed signage for the Development, which includes a proposed illuminated building sign and a non-illuminated ground sign. Although illuminated LED signs on commercial building are prohibited under Section 30-4 (b)(9), “lights permanently affixed to a commercial building as an element of an overall architectural concept” are permitted under Section 30-4 (b)(9). AR sees the proposed building sign as an overall architectural concept and an important part of Apparel Redefined’s development of its corporate brand. The overall OPC sign would cover 162 sq. ft., which is only 2.2% of the north building façade.

The proposed ground sign as shown in Exhibit 5 makes use of the existing brick ground sign and is not illuminated.

## d. Photometric Plan

The Photometric Plan for the Development is shown in Exhibit 6. The external Photometric Plan has been designed to be substantially compliant with Section 44-05-12 of the Village Municipal Code.

(a) *Fixture classification.* All outdoor lighting fixtures shall either have a fixture cutoff classification of "full cutoff" or be fully shielded.

(b) *LED fixtures.* All outdoor lighting utilizing a light-emitting diode (LED) fixture shall meet the following standards:

(1) *Color rendering.* Outdoor LED fixtures shall be rated a minimum color rendering index (CRI) value of 70 or higher.

(2) *Color temperature.* Outdoor LED fixtures shall have a correlated color temperature between 4,000 and 5,000 degrees Kelvin.

(c) *Pole placement.* Pole-mounted outdoor lighting shall be located outside of utility easements, designed in coordination with site features and required landscape zones. Except for two light poles on the HQ site (noted above), all parking light poles will be constructed outside the utility easements. See Exhibit 6.

(d) *Maximum pole height.* Pole-mounted fixtures shall be mounted at heights above grade no greater than 35 feet for M-1 zoning districts. The light fixtures in the attached photometric (Exhibit 6) will be mounted on 25 ft. poles in the parking areas.

## e. Other Exhibits

Exhibit 7 contains other required information including an ALTA Plat of Survey, legal description, covenants, conditions, easements, and restrictions associated with the Project Site.

## III. Interior Plan

### a. Conceptual Interior Layout

As mentioned above, the Development includes upgrades and enhancements to the interior space of the HQ to create an open workspace concept, which is conducive to creative design work. Similarly, a

# DRAFT

portion of the OPC will be set aside for collaboration space so that creative design and productive capabilities can work together to achieve the best products and services in an efficient manner.

## **b. OPC Integration with Existing Office Building**

As shown in Exhibit 2, the OPC and HQ will be physically joined with a two-story walkway (the “Connector”), which will further support the integration of creative design and production. The Connector will cross an existing parcel line and will eliminate an east side setback between the OPC and the HQ. The transparent design of the Connector and operational integration of AR’s design and manufacturing employees will benefit AR employees. Specifically, AR employees will be able to avoid going outside during particularly cold, rainy, snowing, or intense heat. In addition, the Connector will encourage face-to-face collaboration which supports the creative design process and increases manufacturing efficiency.

### **I. Planned Development Narrative**

#### **a. Overview**

##### Uses of Existing HQ Building

The Development includes upgrades and enhancements to the interior space of the existing HQ building to create an open workspace concept, which is conducive to creative design work. As show in the attached site plan and elevations (Exhibit 2), the OPC and HQ will be physically joined with a two-story walkway (the “Connector”), which will further support the integration of creative design and production.

##### Uses of New OPC Building

The 45,900 sq. ft. new OPC will provide enhanced production space for Apparel Redefined. It is anticipated that the majority of the space will be occupied by existing and new machines for customization of apparel and merchandise. As new equipment is purchased, AR expects to add additional employees.

A portion of the OPC’s ground floor will be used for shipping and receiving of raw materials and finished products. In addition, the OPC will provide space for manufacturing team meetings and locker/shower facilities. See Exhibit 2, page A-10. The OPC’s second floor mezzanine space will contain additional meeting space, storage and a kitchenette/lounge area. See Exhibit 2, page A-11.

## **b. Impact of the Proposed Development**

### Local Tax Impact

The Development’s major direct fiscal impact will be the incremental property tax associated with occupying a vacant office building (i.e. the HQ) and constructing a new manufacturing and operations building (i.e. the OPC). Over the initial 10-year period, the total property tax paid by the development is projected to total over \$2.1 million as detailed in the table below. It should be noted that the Project Site is not currently generating any property tax since all parcels are owned by the Village of Homewood.



Property Tax Projection for Development	
Collection Year	Projected Property Tax Revenue
2025	\$82,804
2026	\$97,010
2027	\$228,299
2028	\$231,261
2029	\$231,261
2030	\$249,468
2031	\$252,705
2032	\$252,705
2033	\$272,601
2034	\$276,138
<b>Total</b>	<b>\$2,174,251</b>

In addition, there will be additional sales tax impacts associated with AR’s purchases of taxable items such as office supplies, computers, printers, food, and miscellaneous purchases. Since AR currently has approximately 55 employees, the HQ and OPC is expected to increase the use of Village water and sewer services. In addition, constructing the new OPC will generate temporary construction jobs, which are expected to result in additional retail sales in the Village of Homewood during 2025. Lastly, the fifty-five (55) Apparel Redefined employees at the OPC and HQ are expected to increase purchases of gas, groceries, and other products within the Village of Homewood.

Employment Impacts

The construction of the OPC is expected to generate temporary construction jobs within the Village of Homewood during 2025. More importantly, Apparel Redefined’s employment is expected to increase in the over the next 3 to 5 years as growth in its goods and services increases. With the Phase II expansion, the OPC is designed to accommodate over 100 employees or nearly double current employment levels.

Other Impacts

The Development will increase daily car and truck traffic. AR estimates that the Development will have a daily average of 45 employee vehicles, 6 delivery/pick-ups (trucks), and two visitor vehicles.

Apparel Redefined works with local high schools to provide internships to high school students. AR currently has six (6) part-time interns. These internships are designed to provide an opportunity to work full-time at AR upon graduation. AR internships also allow high school students to learn about the operation of a business and develop work skills. Apparel Redefined’s management promotes from within the organization. Therefore, student interns and employees, who join the organization as entry-level Production Associates, are well positioned to move into supervisory roles as Apparel Redefined continues to growth.















**BRUCE F. ROTH ARCHITECT**  
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web: brucefrotharchitect.wordpress.com

**LIMITATION OF WARRANTY OF ARCHITECTS WORK PRODUCT**  
THE ARCHITECT AND HIS CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE WORK PRODUCT THEREIN BEYOND REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE WORK PRODUCT, THE ARCHITECT SHALL BE PROMPTLY NOTIFIED SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS ARE NECESSARY TO RESOLVE THEM. FAILURE TO NOTIFY THE ARCHITECT OF SUCH CONDITIONS SHALL ABSOLVE THE ARCHITECT FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE OR CONSENT OF THE ARCHITECT, OR IN CONTRADICTION TO THE ARCHITECT'S WORK PRODUCT OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY, NOT OF THE ARCHITECT, BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

**PROJECT**  
**APPAREL REDEFINED**  
**HEADQUARTERS FACILITY**  
1313 175th Street  
Homewood  
Illinois 60430

**SHEET**  
**PRODUCTION FACILITY**  
**GROUND FLOOR PLAN**

**SEAL**

**REVISIONS**

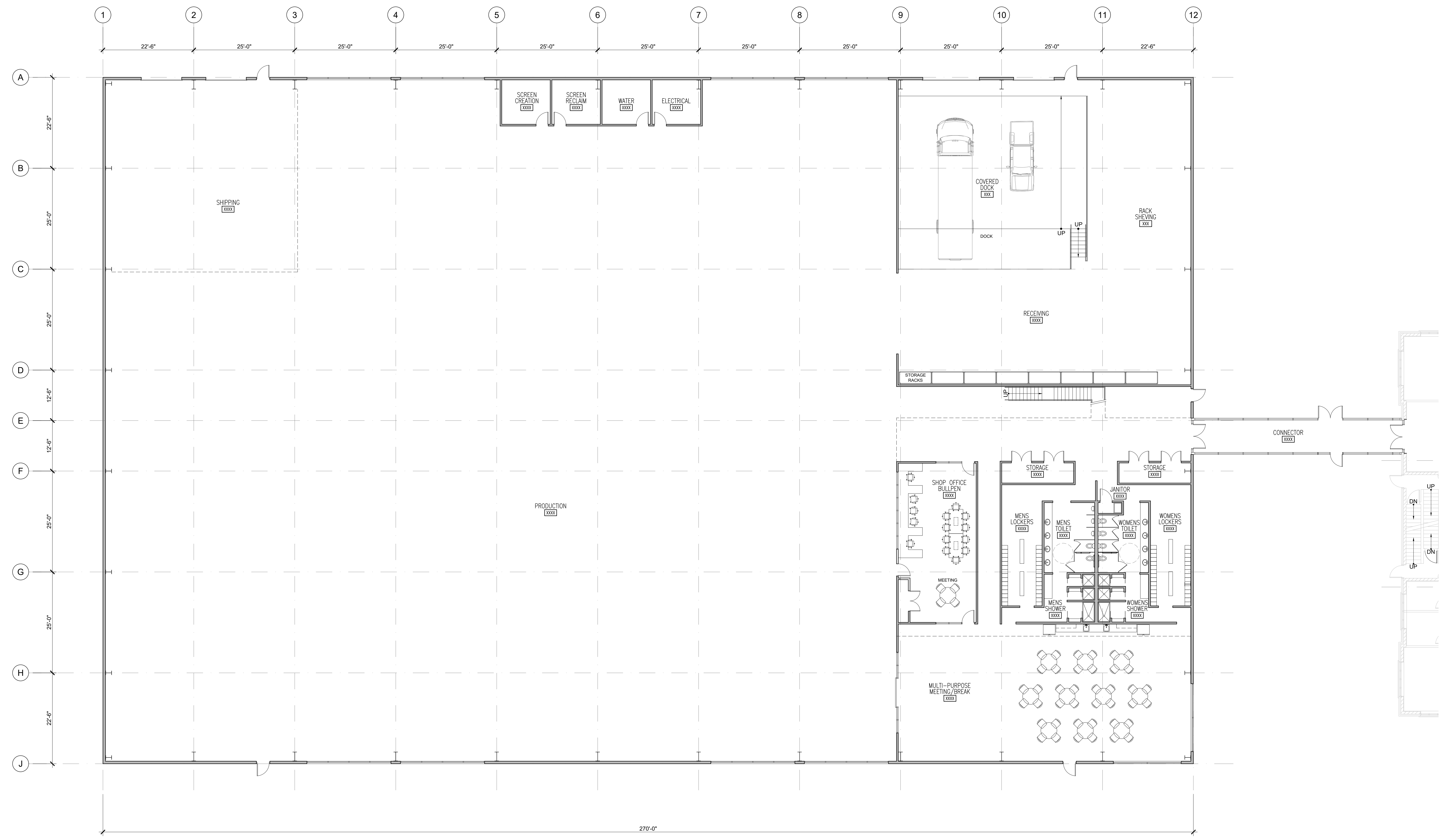
REV	DATE	ISSUE

2023-10-24 VILLAGE BOARD & PLANNING DEPARTMENT REVIEW

BY **BFR**

PROJECT -

NUMBER **A-10**



**1 PRODUCTION FACILITY - GROUND FLOOR PLAN**  
SCALE: 3/32" = 1'-0"

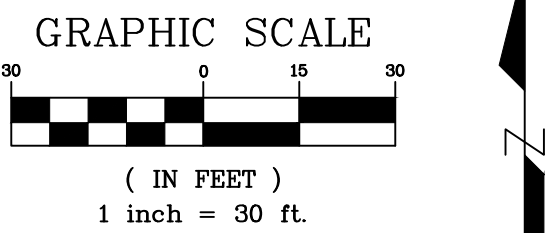








# PLAT OF SURVEY & TOPOGRAPHIC SURVEY



**BASIS OF BEARING**  
THE BASIS OF BEARINGS IS THE ILLINOIS STATE PLANE SYSTEM, EAST ZONE, 2011 ADJUSTMENT

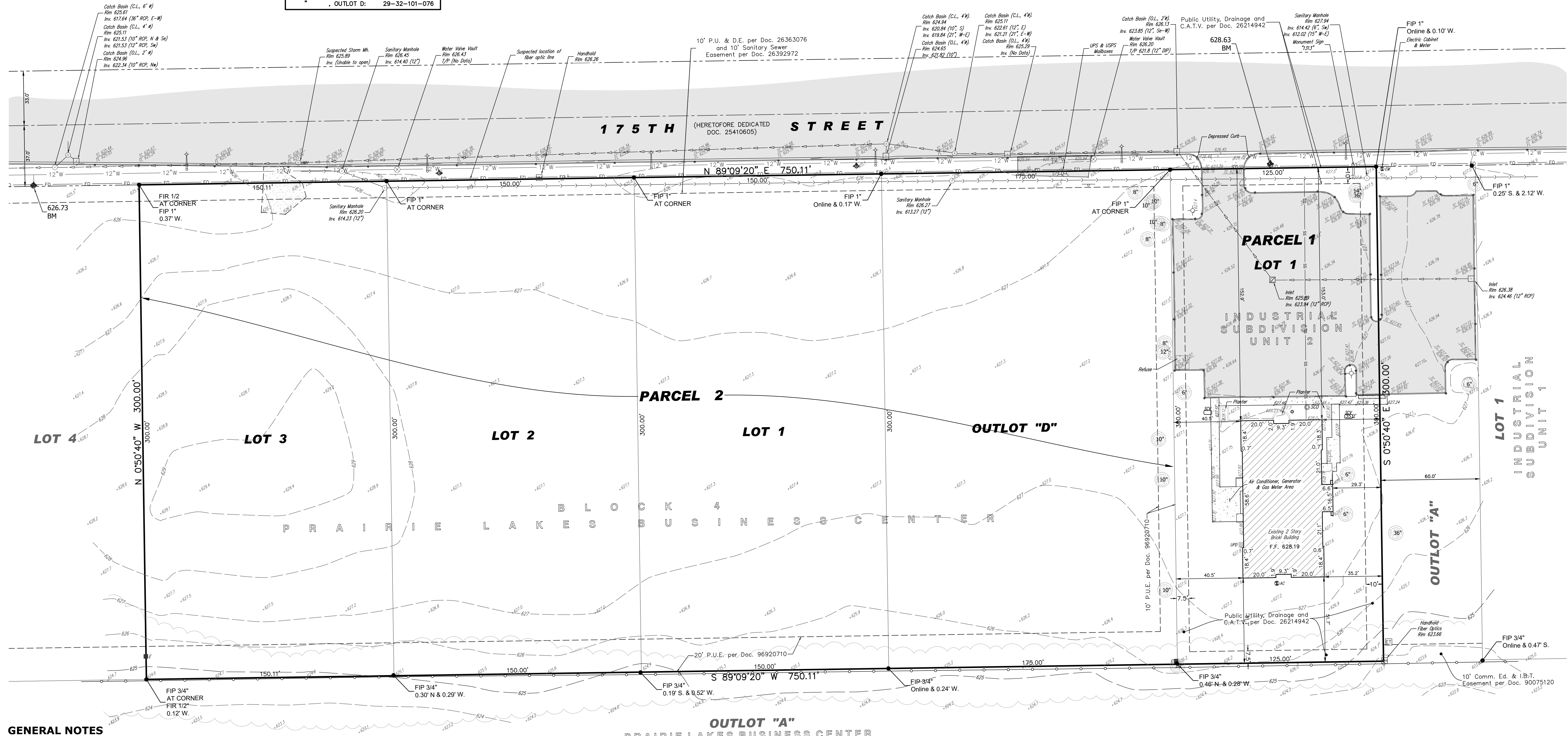
**SITE DATA**  
GROSS AREA OF PARCELS ONE & TWO: 225,034 SQUARE FEET OR 5.17 ACRES

PARCEL IDENTIFICATION NUMBERS	
PARCEL ONE, LOT 1:	29-32-101-047
PARCEL TWO, LOT 1:	29-32-101-066
LOT 2:	29-32-101-067
LOT 3:	29-32-101-068
OUTLOT D:	29-32-101-076

**LEGAL DESCRIPTION**

**PARCEL 1:**  
LOT 1 IN INDUSTRIAL SUBDIVISION NO. 2, BEING A SUBDIVISION IN THE NORTHWEST 1/4 OF SECTION 32, TOWNSHIP 36 NORTH, RANGE 14 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 28, 1982 AS DOCUMENT NO. 26214942 IN COOK COUNTY, ILLINOIS.

**PARCEL 2:**  
LOTS 1, 2, 3 AND OUTLOT "D" IN BLOCK 4, ALL IN PRAIRIE LAKES BUSINESS CENTER, BEING A PLANNED UNIT DEVELOPMENT IN THE NORTHWEST 1/4, THE NORTHEAST 1/4, AND THE NORTH 1/2 OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 36 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



### GENERAL NOTES

COMPARE THIS PLAT, LEGAL DESCRIPTION AND ALL SURVEY POINTS AND MONUMENTS BEFORE ANY CONSTRUCTION, AND IMMEDIATELY REPORT ANY DISCREPANCIES TO SURVEYOR.

DO NOT SCALE DIMENSIONS FROM THIS PLAT.

THE LOCATION OF THE PROPERTY LINES SHOWN ON THE FACE OF THIS PLAT ARE BASED UPON THE DESCRIPTION AND INFORMATION FURNISHED BY THE CLIENT. THE PARCEL WHICH IS DEFINED MAY NOT REFLECT ACTUAL OWNERSHIP, BUT REFLECTS WHAT WAS SURVEYED. FOR OWNERSHIP, CONSULT YOUR TITLE COMPANY.

A CURRENT TITLE COMMITMENT WAS PROVIDED FOR SURVEYORS USE AT THE TIME OF PREPARATION OF THIS SURVEY.

MANHOLES, INLETS AND OTHER UTILITY RIMS OR GRATES SHOWN HEREON ARE FROM FIELD LOCATION OF SUCH, AND ONLY REPRESENT SUCH UTILITY IMPROVEMENTS WHICH ARE VISIBLE FROM ABOVE GROUND AT TIME OF SURVEY, THROUGH A NORMAL SEARCH AND WALK THROUGH OF THE SITE. THE LABELING OF THESE MANHOLES (SANITARY, WATER, ETC.) IS BASED SOLELY ON THE "STAMPED" MARKINGS OF THE RIM. NO UNDERGROUND OBSERVATIONS HAVE BEEN MADE TO VERIFY THE ACTUAL USE OR EXISTENCE OF UNDERGROUND UTILITIES.

NO UNDERGROUND UTILITIES, OR DRAIN TILES, IF ANY EXIST, SHOWN HEREON.

THIS SURVEY MAY NOT REFLECT ALL UTILITIES OR IMPROVEMENTS IF SUCH ITEMS ARE HIDDEN BY LANDSCAPING OR ARE COVERED BY SUCH ITEMS AS DUMPSTERS, TRAILERS, CARS, DIRT, PAVING OR SNOW. AT THE TIME OF THIS SURVEY, SNOW DID NOT COVER THE SITE. LAWN SPRINKLER SYSTEMS, IF ANY, ARE NOT SHOWN ON THIS SURVEY.

OTHER THAN VISIBLE OBSERVATIONS NOTED HEREON, THIS SURVEY MAKES NO STATEMENT REGARDING THE ACTUAL PRESENCE OR ABSENCE OF ANY SERVICE.

CALL J.U.L.I.E. AT 1-800-892-0123 FOR FIELD LOCATION OF UNDERGROUND UTILITIES PRIOR TO ANY DIGGING OR CONSTRUCTION.

PUBLIC AND/OR PRIVATE RECORDS HAVE NOT BEEN SEARCHED TO PROVIDE ADDITIONAL INFORMATION. OVERHEAD WIRES AND POLES (IF ANY EXIST) ARE SHOWN HEREON, HOWEVER THEIR FUNCTION AND DIMENSIONS HAVE NOT BEEN SHOWN.

UNLESS OTHERWISE NOTED, ALL EASEMENT AND SETBACK LINES SHOWN HEREON ARE PER INDUSTRIAL SUBDIVISION UNIT 2 AND PRAIRIE LAKES BUSINESS CENTER.

OBTERATED PROPERTY CORNER MONUMENTS, IF ANY, WERE NOT RESET AS PART OF THIS SURVEY.

ALL DISTANCES ALONG BOUNDARY / PROPERTY LINES ARE RECORD. TO OBTAIN RECORD BEARINGS, ADD 00° 50' 40".

### LEGEND

- BENCHMARK
- MAILBOX
- SPRINKLER CONTROL VALVE
- HANDHOLD
- TRANSFORMER PAD
- CATCH BASIN
- STORM INLET
- SANITARY CLEANOUT
- CLOSED LID MANHOLE
- WATER VALVE HYDRANT
- CABLE TV PEDESTAL
- ELECTRIC PEDESTAL
- TELEPHONE PEDESTAL
- TEL., ELEC., CABLE PEDESTALS
- ELECTRIC METER
- GAS METER
- FOUND IRON REBAR
- FOUND IRON PIPE
- DECIDUOUS TREE
- W/ TRUNK SIZE
- LIGHT POLE W/MAST ARM

### LINE TYPES

- PROPERTY LINE
- EXISTING RIGHT-OF-WAY LINE
- ADJACENT LOT LINE
- CENTERLINE
- EASEMENT LINE
- CHAINLINK FENCE
- UNDERGROUND FIBER OPTIC
- WATER MAIN
- SANITARY SEWER
- STORM SEWER
- BARRIER CURB
- CURB & GUTTER
- DEPRESSED CURB & GUTTER
- CONTOUR LINE

### ABBREVIATIONS

- ### EXIST. SPOT ELEVATION
- D.E. DRAINAGE EASEMENT
- DIP DUCTILE IRON PIPE
- EXIST. EXISTING
- F.F. FINISHED FLOOR
- H.C. HANDICAP PARKING
- INV INVERT
- MH MANHOLE
- P.U.E. PUBLIC UTILITY EASEMENT
- RCP REINFORCED CONCRETE PIPE
- TC TOP OF CURB
- T/P TOP OF PIPE
- U.E. UTILITY EASEMENT
- VCP VITRIFIED CLAY PIPE
- SS SANITARY SERVICE
- N NORTH
- S SOUTH
- E EAST
- W WEST
- (### ##) RECORD/DEED
- ### MEASURED

### HATCHING

- ASPHALT SURFACE
- ADA DETECTABLE WARNING
- BUILDING LIMITS
- CONCRETE SURFACE
- GRAVEL SURFACE

### BENCHMARKS

**SITE BENCHMARKS:**

THE SOUTHWEST FLANGE BOLT ON FIRE HYDRANT LOCATED ON THE SOUTH SIDE OF 175TH STREET, 64 FEET WEST OF THE NORTHWEST CORNER OF THE PROJECT SITE, SHOWN HEREON. ELEVATION: 626.73 (NAVD 88)

THE SOUTHWEST FLANGE BOLT ON FIRE HYDRANT LOCATED ON THE SOUTH SIDE OF 175TH STREET, 64 FEET WEST OF THE NORTHEAST CORNER OF THE PROJECT SITE, SHOWN HEREON. ELEVATION: 628.63 (NAVD 88)

### SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS }  
COUNTY OF WILL } SS

THIS IS TO CERTIFY THAT I, STEVEN J. LAUB, AN ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR, HAVE SURVEYED THE PROPERTY DESCRIBED IN THE CAPTION TO THE PLAT HEREON DRAWN, AND THE SAID PLAT IS A TRUE AND CORRECT REPRESENTATION THEREOF.

ALL DIMENSIONS SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF AND ARE CORRECTED TO A TEMPERATURE OF 68 DEGREES FAHRENHEIT.

STEVEN J. LAUB  
ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR NO. 35-3160  
MY CURRENT LICENSE RENEWS NOV. 30, 2024

DATE: \_\_\_\_\_ DATE: \_\_\_\_\_

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

NO.	DATE	REVISIONS DESCRIPTION

JOHN LAUB

PLAT/TOPOGRAPHIC SURVEY FOR  
1313 175TH STREET  
HOMewood, IL 60430

DESIGNTEK ENGINEERING, INC.  
CONSULTING, CIVIL ENGINEERING & LAND SURVEYING  
9930 W. 190TH STREET, SUITE L  
MOKENA, ILLINOIS 60448  
(708) 326-4961  
FAX: (708) 326-4692

ILL. PROF. LIC. NO.: 184-003740



PROJECT INFORMATION

Project No.: 23-0028

Scale: 1" = 30'

Date: 10/10/2023

Field Date: 10/07/2023

Drawn By: SJL

Checked By: MJF

1 OF 1

EXISTING CONDITIONS

L:\Projects\2023\23-0028\Survey\Map\Topographic\23-0028\_Topographic\_Plot\_10/10/2023\_11:49:14 AM.Bx\_SJL



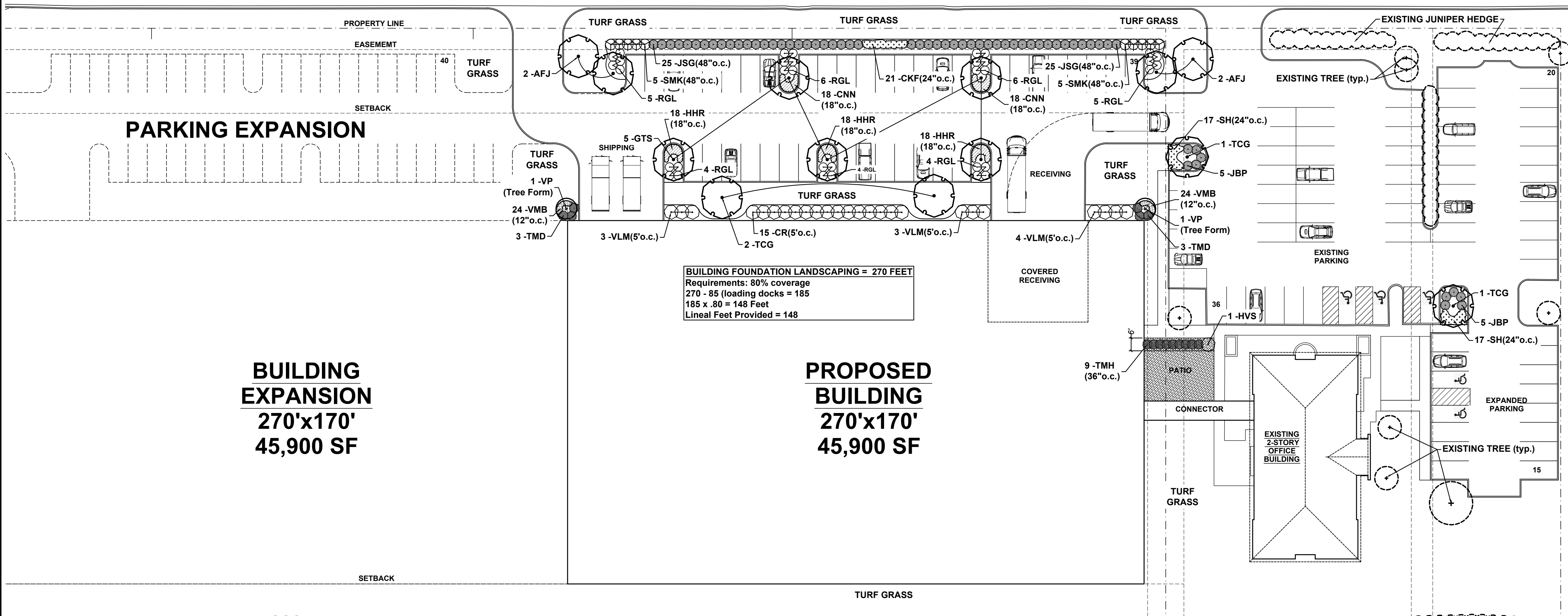
175th STREET

**PARKING LOT PERIMETER LANDSCAPING = 243 FEET**  
 Requirements: Three (3) shrubs or ornamental grasses per foot  
 243 divided by 3 = 81 shrubs or ornamental grasses  
 Plant Material Provided = 81

**BUILDING FOUNDATION LANDSCAPING = 270 FEET**  
 Requirements: 80% coverage  
 270 - 85 (loading docks) = 185  
 185 x .80 = 148 Feet  
 Lineal Feet Provided = 148

**BUILDING EXPANSION**  
 270'x170'  
 45,900 SF

**PROPOSED BUILDING**  
 270'x170'  
 45,900 SF



**GENERAL NOTES:**

Plant material shall be nursery grown and be either balled and bur-lapped or container grown. Sizes and spreads on plant list represent minimum requirements.

The requirements for measurement, branching and ball size shall conform to the latest addition of ANSI Z60.1, AMERICAN STANDARD OF NURSERY STOCK by the American Nursery & Landscape Association.

Any materials with damaged or crooked/disfigured leaders, bark abrasion, sunscald, insect damage, etc. are not acceptable and will be rejected. Trees with multiple leaders will be rejected unless called for in the plant list as multi-stem or clump (c.l.).

If any mistakes, omissions, or discrepancies are found to exist with the work product, the Landscape Architect shall be promptly notified so that they have the opportunity to take any steps necessary to resolve the issue. Failure to promptly notify the Landscape Architect and the Owner of such conditions shall absolve them from any responsibility for the consequences of such failure.

Under no circumstances should these plans be used for construction purposes without examining actual locations of utilities on site, and reviewing all related documents mentioned herein, including related documents prepared by the project Civil Engineer and Architect.

Civil Engineering or Architectural base information has been provided by others. The location of various site improvements on this set of drawings is only illustrative and should not be relied upon for construction purposes.

Quantity lists are supplied as a convenience. However, Bidders and the Installing Contractor should verify all quantities. The drawings shall take precedence over the lists. Any discrepancies shall be reported to the Landscape Architect.

Actions taken without the knowledge and consent of the Owner and the Landscape Architect or in contradiction to the Owner and the Landscape Architect's work product or recommendations, shall become the responsibility not of the Owner and the Landscape Architect, but for the parties responsible for the taking of such action.

Refer to Civil Engineering documents for detailed information regarding size, location, depth and type of utilities, as well as locations of other site improvements, other than landscape improvements.

Plant symbols illustrated on this plan are a graphic representation of proposed plant material types and are intended to provide for visual clarity. However, the symbols do not necessarily represent actual plant spread at the time of installation.

All plant species specified are subject to availability. Material shortages in the landscape industry may require substitutions. All substitutions must be approved by the Village, Landscape Architect and Owner.

The Landscape Contractor shall verify location of all underground utilities prior to digging by calling "J.U.L.I.E." (Joint Utility Location for Excavators) 1-800-892-0123 and any other public or private agency necessary for utility location.

All perennial, ornamental grass, groundcover and annual beds shall be top dressed with a minimum of three inches (3") of mushroom compost. The top dressing shall be worked into the soil to a minimum depth of nine inches (9") by the use of a cultivating mechanism. Upon completion perennials & ornamental grasses shall be mulched with an additional two inch (2") layer of shredded wood mulch; Annuals & groundcovers shall be covered with a two inch (2") layer of southern pine bark fines mulch.

All other planting beds and tree saucers shall be mulched with a minimum of three inches (3") of shredded wood mulch.

Planting beds adjacent to building shall be mulched in their entirety to the building foundation. Plant materials shall not be installed under building overhangs and other such areas which do not receive natural rainfall.

Mulch beds at the time of planting shall extend a minimum of two feet (2') beyond the center of a shrub.

All bed lines and tree saucers shall require a hand spaded edge between lawn and mulched areas.

Grading shall provide slopes which are smooth and continuous. Positive drainage shall be provided in all areas.

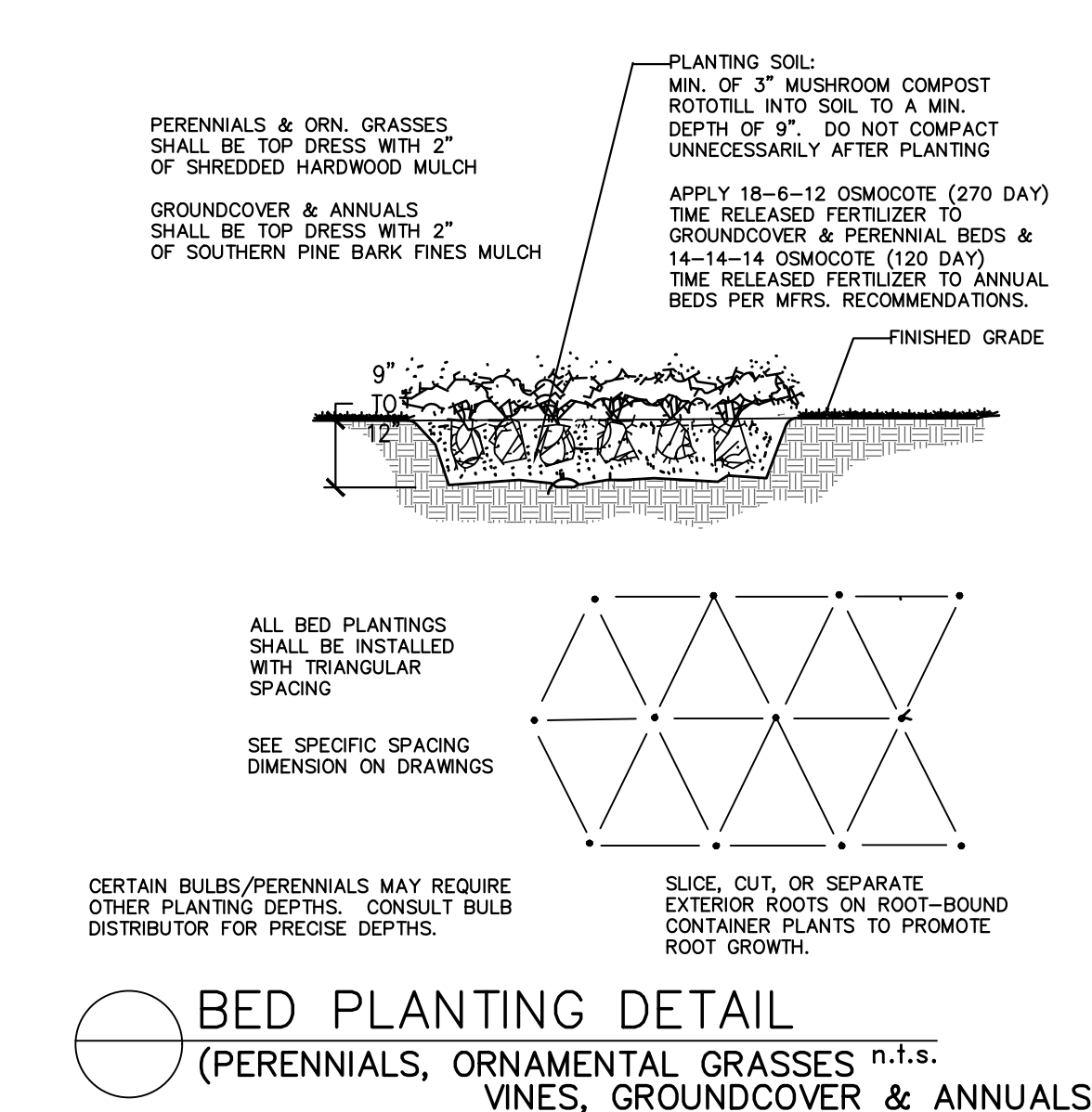
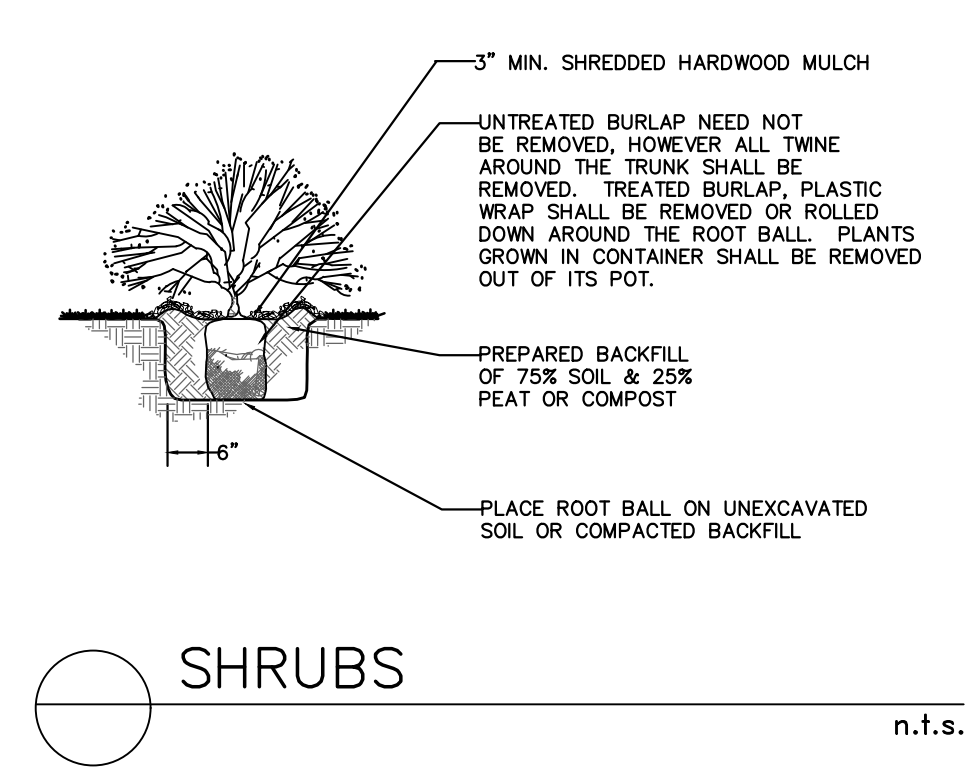
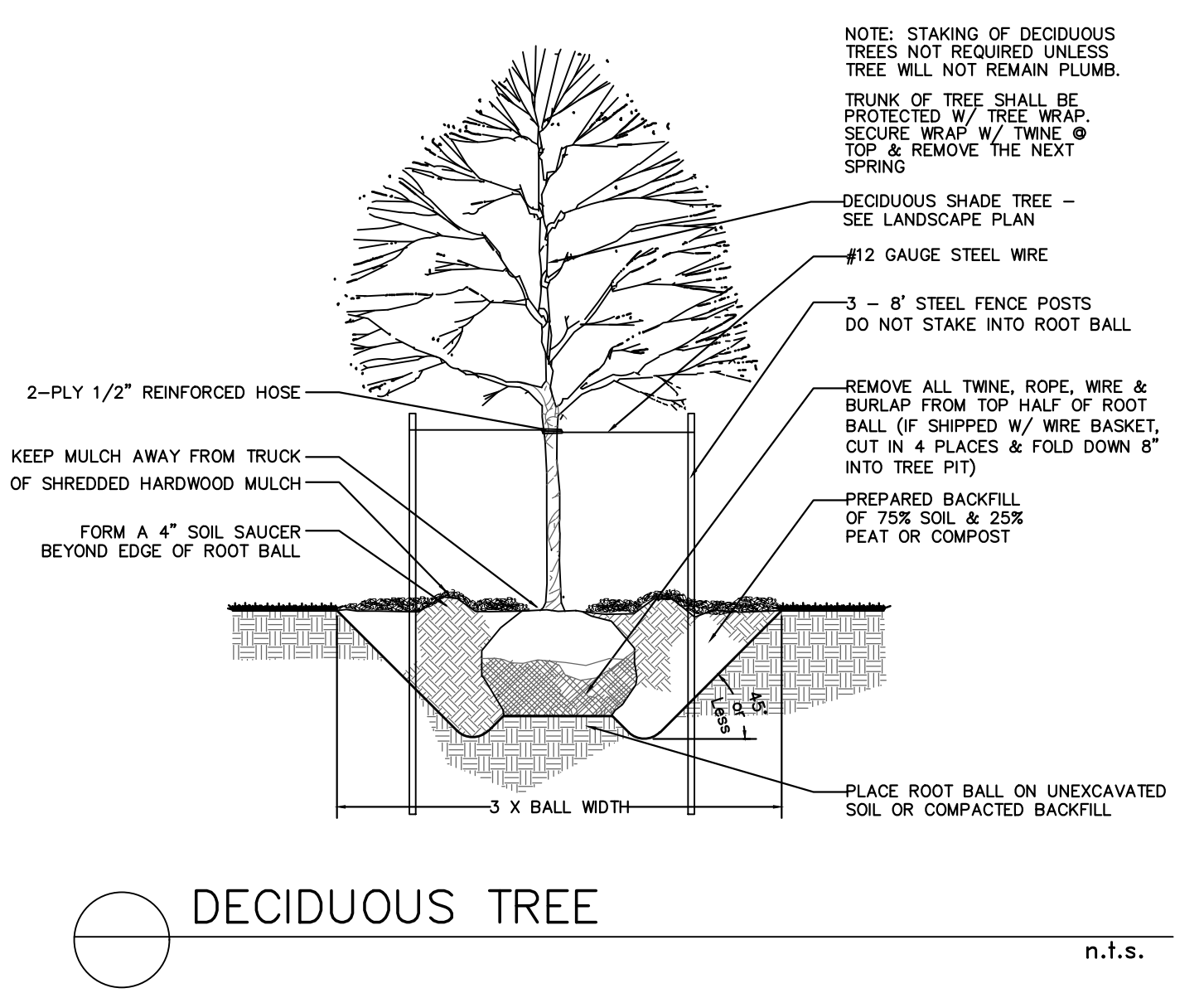
Sod shall be mineral base only.

Seed mixes shall be applied mechanically so that the seed is incorporated into the top one-half inch (1/2") of the seed bed. The seed shall then be covered with the specified blanket (installed per manufacturer's, specs) or Hydro-mulch.

All plant material shall be guaranteed for one (1) year from the date of acceptance.

**PLANT LIST**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE/TYPE
<b>DECIDUOUS SHADE TREES</b>				
AFJ	4	Acer f. 'Jeffersred'	Autumn Blaze Freeman Maple	2.5" BB
GTS	5	Gleditsia t. 'Skyline'	Skyline Honeylocust	2.5" BB
TCG	4	Tilia c. 'Greenspire'	Greenspire Littleleaf Linden	2.5" BB
<b>DECIDUOUS ORNAMENTAL TREES</b>				
VP	2	Viburnum prunifolium	Blackhaw Viburnum	6" Bb.c.
<b>DECIDUOUS SHRUBS &amp; SHRUB ROSES</b>				
CR	15	Cornus racemosa	Grey Dogwood	30" #5
HVS	1	Hydrangea p. 'Renhy'	Vanilla Strawberry Hydrangea	#5/24"
RGL	34	Rhus a. 'Gro-Low'	Gro-Low Sumac	#5/24"
SMK	10	Syringa p. 'Miss Kim'	Miss Kim Lilac	#7
VLM	10	Viburnum l. 'Mohican'	Mohican Viburnum	3" BB
<b>EVERGREEN SHRUBS</b>				
JSG	50	Juniperus c. 'Sea Green'	Sea Green Juniper	24" #5
JBP	10	Juniperus c. 'Blue Pacific'	Blue Pacific Juniper	#5
TMD	6	Taxus m. 'Densiflora'	Dense Yew	24" BB
TMH	9	Taxus m. 'Hicksii'	Hicks Yew	30" BB
<b>ORNAMENTAL GRASS</b>				
CKF	21	Calamagrostis a. 'Karl Foerster'	Feather Reed Grass	#1
SH	34	Sporobolus heterolepis	Prairie Dropseed	#1
<b>PERENNIALS &amp; GROUNDCOVERS</b>				
CNN	36	Calamintha n. spp. Nepata	Lesser Catamint	#1
HHR	54	Hemerocallis 'Happy Returns'	Happy Returns Daylily	from 24 flat
VMB	2	Vinca minor 'Bowles'	Periwinkle (48 plants)	



**811**  
 Know what's below.  
 Call before you dig.

**NORTH**

0' 15' 30' 60'

**REVISIONS**

NO.	DESCRIPTION

**APPAREL REDEFINED**

**NEW HEADQUARTERS FACILITY**

1313 175th Street  
 Homewood, Illinois

**SEAL:**

**METZ & COMPANY**  
 LANDSCAPE ARCHITECTURE/SITE PLANNING

826 East Maple Street  
 Lombard, Illinois 60148  
 PH: 630.561.3903  
 www.metz-company.com

**TITLE**  
 PRELIMINARY  
 LANDSCAPE  
 PLAN

**PROJECT NO.:**  
 23-242

**DATE:** 10-18-2023

**SCALE:** 1"=30'-0"

**SHEET**  
 L-1.0

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1215 175<sup>th</sup> St. (located to the east of the Project Site on the south side of 175<sup>th</sup> St.)



North side of 175<sup>th</sup> St. across from the Project Site



1406 175<sup>th</sup> St.





1510 175<sup>th</sup> St. (west of the Project Site on the north side of 175<sup>th</sup> St.)



T.A.E. Signal located at 1516 175<sup>th</sup> St. (west of the Project Site on the north side of 175<sup>th</sup> St.)



17545 Ashland Ave. (just south of the southeast corner of 175<sup>th</sup> St. and Ashland Ave.)



17768 Ashland Ave., Homewood, Illinois



PIN: 29-32-101-068-0000, 29-32-101-067-0000,  
29-32-101-066-0000,  
29-32-101-076-0000

Case 24-32 PZC – Planned Development

September 12

Item 5. D.



PIN: 29-32-101-068-0000, 29-32-101-067-0000,  
29-32-101-066-0000,  
29-32-101-076-0000

Case 24-32 PZC – Planned Development

September 12, 2024

Item 5. D.





# VILLAGE OF HOMEWOOD



**MEMORANDUM**

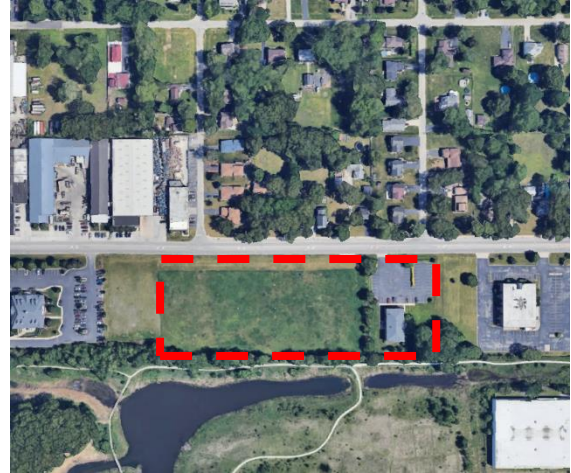
**DATE OF MEETING:** September 12, 2024

**To:** Planning and Zoning Commission

**From:** Noah Schumerth, Assistant Director of Economic and Community Development

**Through:** Angela Mesaros, Director of Economic and Community Development

**Topic:** Case 24-37: Site Plan Review, 1313-1351 W 175<sup>th</sup> Street



**APPLICATION INFORMATION**

APPLICANT	John LaRoy, Apparel Redefined
ACTION REQUESTED	Site Plan Review
ADDRESS	1313-1351 W 175 <sup>th</sup> Street
PIN	29-32-101-068-0000, 29-32-101-067-0000, 29-32-101-066-0000, 29-32-101-076-0000; 29-32-101-047-0000

**ZONING & LAND USE**

SUBJECT PROPERTY	ZONING	LAND USE
CURRENT	M-1 Limited Manufacturing	Vacant
PROPOSED	M-1 Limited Manufacturing w/ Planned Development	Office/Light Manufacturing
SURROUNDING	N: R-1 Single-Family Residential (East Hazel Crest)	Single-Family Residential
	E: M-1 Limited Manufacturing	Vacant (previously Office)
	S: PL-1 Natural Area Preserve	Nature Preserve
	W: M-1 Limited Manufacturing	Office (Homewood Disposal)

**DOCUMENTS FOR REVIEW**

Title	Pages	Prepared by	Date
Application Form	3	John LaRoy, Applicant	08/21/2024
Site Plan Exhibits	4	Bruce F. Roth, Architect	10/24/2023
Floor Plans	2	Bruce F. Roth, Architect	10/24/2023
Elevations	1	Bruce F. Roth, Architect	10/24/2023

Plat of Survey	1	DesignTek Engineering	10/07/2023
Landscape Plans	2	Metz and Company Landscape Arch.	10/18/2023
Color Renderings	4	Bruce F. Roth, Architect	10/24/2023
Photos of Surrounding Properties	3	John LaRoy, Applicant	08/14/2024
Staff Exhibits	2	Noah Schumerth, Asst. Dir. ECD	09/06/2024

**BACKGROUND**

The applicant, John LaRoy of Apparel Redefined, a custom apparel printing and monogramming company, proposes to move his headquarters and production facility to Homewood. Apparel Redefined proposes to redevelop a vacant lot at 1351 175<sup>th</sup> Street with a 45,900-square-foot production facility and to renovate the 8,900-square-foot office building directly to the east at 1313 175<sup>th</sup> Street for its headquarters.

**DISCUSSION**

**Site Context**

The proposed site is approximately four (4) acres of a large vacant lot at 1351 W 175<sup>th</sup> Street and an existing 8,900-square-foot building with a parking area with 56 parking spaces at 1313 175<sup>th</sup>. The office building is currently vacant. The remainder of the site is undeveloped and has not been developed. The four-acre was purchased by the Village of Homewood in 1992, and the office building was purchased by the Village in 2023 in anticipation of this project. The site is classified as an Industrial use in the Village Comprehensive Plan and is located in the M-1 Limited Manufacturing zoning district.

Building Improvements: The project will consist of two buildings: the existing 8,900-square-foot office building and a new 45,900-square-foot production facility. The two buildings are to be connected via a two-story walkway connecting both floors of the existing two-story office building to the new production facility. The site has been designed with an option for future expansion of the production facility.

The proposed office building will maintain its current exterior appearance. The new building will be clad in a corrugated metal paneling material. This material is currently prohibited in Section 44-05-11(b) of the Homewood Zoning Ordinance. The applicant has requested that the material be allowed as a site development modification in the concurrent application for a Planned Development. Staff has recommended approval of this modification. See Case 24-32: Planned Development, 1351 W 175<sup>th</sup> Street.

Parking and Site Circulation: The proposed development will include 109 parking spaces, including 56 existing parking spaces. The total number of parking spaces provided is significantly greater than the 66 spaces required for the development (1 space per 500 square feet of office or sales area, plus 1 space per 1,000 square feet of other floor area). The new building will be 45,900 square feet. 44,000 square feet of the area in the new building is being used for production/"working floor space." About 1,500 square feet in the new building is office/non-industrial space. The industrial floor area requires 45 parking spaces, while the 10,410 square feet (combined office space from both buildings) requires 21 parking spaces.



The applicant has proposed parking spaces within the front yard setback (40' setback required) of the new production facility to align with the existing parking lot on the office building site. This will provide visual consistency across the front of the site, mitigate potential security problems and additional stormwater requirements triggered if the parking area was in the rear of the site (at the southern property boundary adjacent to Izaak Walton Preserve). The applicant has requested site development modification in the Planned Development application. Staff has recommended approval of this site development modification. See Case 24-32: Planned Development, 1351 W 175<sup>th</sup> Street.

Off-street loading will be on the interior. According to the applicant, loading and deliveries will primarily use vans and small delivery trucks. The site is designed to provide ease of access with "roll-in/roll-out" delivery doors without requiring larger vehicles to navigate difficult routes across the site.

Landscaping: The applicant proposes full landscaping improvements, including foundation landscaping, perimeter landscaping, transition zone screening landscape, and parking median and island landscaping improvements. The applicant proposes to maintain the large mature trees bordering the rear of the property to mitigate visual impacts of the new development on the Izaak Walton Preserve. An existing berm will remain along the southern boundary adjacent to the nature preserve.

The Village Arborist has reviewed the landscape plans and provided the following comments:

- Autumn blaze maples (*Acer Jeffers red*) proposed in perimeter landscaping are not sustainable in the proposed locations due to frost cracking, and should be replaced with hills oak, shumard or red oak var trees.
- Grey dogwoods (*cornus racemosa*) are not recommended and should be replaced with diervilla, cameacyparis, or caryopteris trees.
- Juniper (*Juniperus*) and yew (*Taxus m. densiformus/Hicksii*) species are overplanted in the Village and should be replaced or drastically thinned out and varied with other shrubs. Swap for use of more native perennials.
- Substitute catamint (*calamanthia*) for Russian sage.
- Replace all daylilies with coreopsis for yellow flowering plants.

Staff recommends replacement of these plants in accordance with the Village Arborist's recommendations before the issuance of building permits. See Planning and Zoning Commission Action.

Drainage: The proposed development received a permit approval from the Metropolitan Water Reclamation District (MWRD) to drain stormwater runoff from the site into the detention basins within the Izaak Walton Preserve. The basins were found by MWRD to be of sufficient depth and volume to handle stormwater drainage and runoff generated by the proposed development. The site will not be required to provide additional on-site detention infrastructure.

Lighting: The applicant has proposed seven (7) 25' light poles throughout the proposed development, including three (3) existing poles located in the parking lot at 1313 175<sup>th</sup> Street. They are required by applicable Village ordinances and building codes to have security wall lighting affixed to the building. The proposed lighting plan does not create any significant lighting impact on the nature preserve area to the south, nor to residential properties located in East Hazel Crest to the north.

Signage: The applicant has proposed a large wall sign with the Apparel Redefined logo on the front of the new building. A new sign plate will be added to the existing ground monument sign on the eastern side of the property. All signage will be submitted as a separate sign permit application.

Other Requirements: The site requires significant soil remediation. The Village has commissioned soil studies and will provide final comments on requirements for remediation to the applicant prior to the issuance of any permits for site development.

The site is currently comprised of six adjacent parcels along 175<sup>th</sup> Street. The Village has recommended that the lots be consolidated, including the vacation of right-of-way and any additional public utility easements located on the site, before the issuance of a certificate of occupancy. See Recommended Planning and Zoning Commission Action.

The site requires the vacation of right-of-way on the eastern side of the development (“Outlot A” in the Plat of Survey provided). The plat of vacation will be required prior to the issuance of certificates of occupancy. See Recommended Planning and Zoning Commission Action.

**STAFF COMMENTS**

The following additional approvals are required:

- All developments on lots greater than 25,000 square feet require the approval of a Planned Development. A Planned Development must be approved by the Village Board prior to the issuance of any permit related to the site plan included in this application.
- Approval of an Appearance Review by the Appearance Commission is also required for this development.

**RECOMMENDED PLANNING & ZONING COMMISSION ACTION**

If the Planning and Zoning Commission finds that the proposed site plan complies with the Homewood Zoning Ordinance, the Village Comprehensive Plan, and all other applicable codes and standards set forth in the Village Code of Ordinances, the Commission may consider the following motion:

**Approve** Case 24-37, site plan review for Apparel Redefined at 1313-1351 W 175<sup>th</sup> Street, as proposed in the drawings submitted by Bruce F. Roth, Architects and Metz and Company Landscape Architecture, and PG Enlighten, subject to the following conditions:

1. A revised landscape plan with the plant materials as proposed by the Village Arborist shall be submitted prior to the issuance of building permits.
2. An application for lot consolidation of the six (6) parcels included on the subject site shall be approved prior to the issuance of a certificate of occupancy for any building.
3. A plat of vacation for “Outlot A” as indicated on the attached plat of survey dated 10/07/2023, shall be approved by the Village Engineer, prior to the issuance of a certificate of occupancy for any building.



# NON-RESIDENTIAL ZONING REVIEW PROCESS AND REQUIREMENTS



2020 Chestnut Road, Homewood, IL 60430

## APPLICATION CHECKLIST

For all applications, provide the following:

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Completed application form            | <input type="checkbox"/> Proof of ownership, or<br>Letter of authorization by the owner | <input type="checkbox"/> Materials, as listed below |
| <input type="checkbox"/> Plat of survey with legal description |   | <input type="checkbox"/> Payment of fee             |

Based on each action(s) requested, provide the required materials listed below. Staff reserves the right to request additional materials, as required by the scope of the request, to make an informed decision.

### Special Use, Limited Use, Temporary Use

- Site plan
- Conceptual floor plan
- Completed worksheet responding to applicable standards or review criteria
- Narrative describing the proposed use, including:
  - services provided
  - hours of operations
  - anticipated average and peak capacity

### Variance

- Site plan
- Conceptual floor plan
- Completed worksheet responding to standards
- Letters of support from neighbors, optional

### Site Plan Review

- Site plan or survey of existing conditions
- Site plan of proposed development
- Conceptual floor plan(s)
- Landscape plan, existing and proposed, if impacted by changes

### Text or Map Amendment

- Site plan
- Conceptual floor plan
- Narrative describing the proposed land use requiring the amendment to the zoning text or map
- Completed worksheet responding to applicable standards

### Planned Development

- Proposed plat of record for lot consolidation or subdivision
- Directory of all development team members/consultants with contact information
- Site plan or survey of existing conditions
- Site plan of proposed development
- Conceptual floor plan(s)
- Transportation Impact Study
- Village Impact Study
- Studies or reports by outside agencies

## APPEARANCE REVIEW

For applications requiring Appearance Review, submit the following materials:

- |  |  |
|--|--|
| <input type="checkbox"/> Completed Appearance Commission application form  | <input type="checkbox"/> Material palette board (digital), showing, as applicable: |
| <input type="checkbox"/> Narrative describing the proposed new or changed to elevations, landscaping, lighting, and/or signage | <input type="checkbox"/> building materials  |
| <input type="checkbox"/> Elevation and/or plan drawings showing the existing and proposed conditions                           | <input type="checkbox"/> plants and landscape materials                            |
| <input type="checkbox"/> Photometric plan for new or changes to exterior lighting  | <input type="checkbox"/> cut sheets for lighting fixture                           |
|  | <input type="checkbox"/> cut sheets for site furnishings                           |



# NON-RESIDENTIAL ZONING REVIEW

2020 Chestnut Road, Homewood, IL 60430

## PROPERTY INFORMATION

**Street Address:** 1351 and 1313 175th St. Homewood, IL 60430

**Property Index Number(s):** 29-32-101-066; -067; -068; -076; -047;-048; (all six PINs end in "-0000")

**Lot Size:** 243,000 sq. ft. 5.58 acres  
*If the subject property is multiple lots, provide the combined area.*

**Zoning District:**  
 R-1  R-2  R-3  R-4  B-1  B-2  B-3  B-4  M-1  M-2  PL-1  PL-2

Complete this section to determine your required review(s):

Is the subject property more than one lot held in common ownership?  
 yes  no  
 → If yes, lots held in common ownership should be consolidated

A Planned Development is required for development of lots >25,000 sf or located in the B-1 or B-2 Zoning Districts.

## REQUESTED USE

**Requested Use:** Commercial business which customizes apparel and merchandise plus use of existing office building as corporate headquarters

**Gross Floor Area:** 55,310 sq. ft. **Parking Provided:** 109

**Existing Use:** 2-story office building

The requested use is:

- Permitted
- Limited
- Special
- Other:

## SITE OR BUILDING CHANGES

**Existing Development:** Expand parking + 2-story connector walkway- new build.

**Proposed Development** *Check all that apply. Provide a description and metrics below.*  
 New Construction  Addition  Site Alterations  Exterior Building Alterations

New metal-clad industrial building (45,900 sq. ft.) plus two-story walkway to existing two-story office building, additional parking for new and existing building

Development Metrics	Existing	Proposed
Gross Floor Area (sq. ft.):	<u>9,410</u>	<u>55,402</u>
Parking Spaces	<u>65</u>	<u>109</u>
Lot Coverage		
Impervious Area (sq. ft.)	<u>34,810</u>	<u>98,480</u>
Impervious Coverage (%)	<u>63.0%</u>	<u>41.0%</u>

New construction?

yes  no  
 → If yes, requires Site Plan Review

Floor area increase is 20% or more?

yes  no  
 → If yes, requires Site Plan Review

Does the applicant elect to proceed as a Planned Development?

yes  no

Is site circulation or parking impacted?

yes  no  
 → If yes, requires Site Plan Review

Is site landscaping impacted?

yes  no  
 → If yes, requires Site Plan Review

Exterior building alterations?

yes  no  
 → If yes, requires Appearance Review

## ZONING RELIEF OR CHANGES

**Zoning Variance or Amendment** *Describe any requested zoning relief or changes below.*  
Setback requirement on west side of existing building and east side of new building due to two-story connector

The applicant requests:

- Variance
- Administrative Exception
- Zoning Text Amendment
- Zoning Map Amendment



**APPLICANT**

Name John LaRoy  
 Company A&R Screening LLC DBA Apparel Redefined  
 Address 4611 136th St.  
Crestwood, IL 60418  
 Phone 708-598-2480  
 Email john.laroy@apparelredefined.com  
 Role CEO

**PROPERTY OWNER**

Name Village of Homewood  
 Company \_\_\_\_\_  
 Address 2020 Chestnut Ave.  
Homewood, IL 60430  
 Phone 708-798-3000  
 Email https://www.village.homewood.il.us/

Check box if the applicant is the property owner

I acknowledge and attest that:

- » All the information and exhibits submitted with this application are true and accurate to the best of my knowledge;
- » Village representatives are permitted to make reasonable inspections of the subject property necessary to process this application;
- » I agree to pay all required fees;
- » No work may be done without first obtaining a Building Permit. All work shall be completed in accordance with Village Codes and Ordinances.

John LaRoy  
 Applicant Name



Applicant Signature

08/21/2024  
 Date

**Staff Notes**

*Do not write below this line.*

Fee: \_\_\_\_\_  Paid Date Received: \_\_\_\_\_

CASE NO: \_\_\_\_\_ REQUEST: \_\_\_\_\_

Comments/Conditions:  Approved  Approved with Conditions  Denied Date: \_\_\_\_\_

CASE NO: \_\_\_\_\_ REQUEST: \_\_\_\_\_

Comments/Conditions:  Approved  Approved with Conditions  Denied Date: \_\_\_\_\_

CASE NO: \_\_\_\_\_ REQUEST: \_\_\_\_\_

Comments/Conditions:  Approved  Approved with Conditions  Denied Date: \_\_\_\_\_

This application has zoning approvals and may proceed to obtain Building Permits or a Certificate of Occupancy.

Name: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_















**BRUCE F. ROTH ARCHITECT**  
 743 Selborne Road, Elmhurst, Illinois 40544  
 708.443.5195 (H), 708.443.8306 (C)  
 email: brucefroth@gmail.com  
 web: brucefrotharchitect.wordpress.com

**LIMITATION OF WARRANTY OF ARCHITECTS WORK PRODUCT**  
 THE ARCHITECT AND HIS CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE WORK PRODUCT THEREIN BEYOND REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE WORK PRODUCT, THE ARCHITECT SHALL BE PROMPTLY NOTIFIED SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS ARE NECESSARY TO RESOLVE THEM. FAILURE TO NOTIFY THE ARCHITECT OF SUCH CONDITIONS SHALL ABSOLVE THE ARCHITECT FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE OR CONSENT OF THE ARCHITECT, OR IN CONTRADICTION TO THE ARCHITECT'S WORK PRODUCT OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY, NOT OF THE ARCHITECT, BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

**PROJECT**  
  
**APPAREL REDEFINED**  
**HEADQUARTERS FACILITY**  
 1313 175th Street  
 Homewood  
 Illinois 60430

**SHEET**  
**PRODUCTION FACILITY**  
**GROUND FLOOR PLAN**

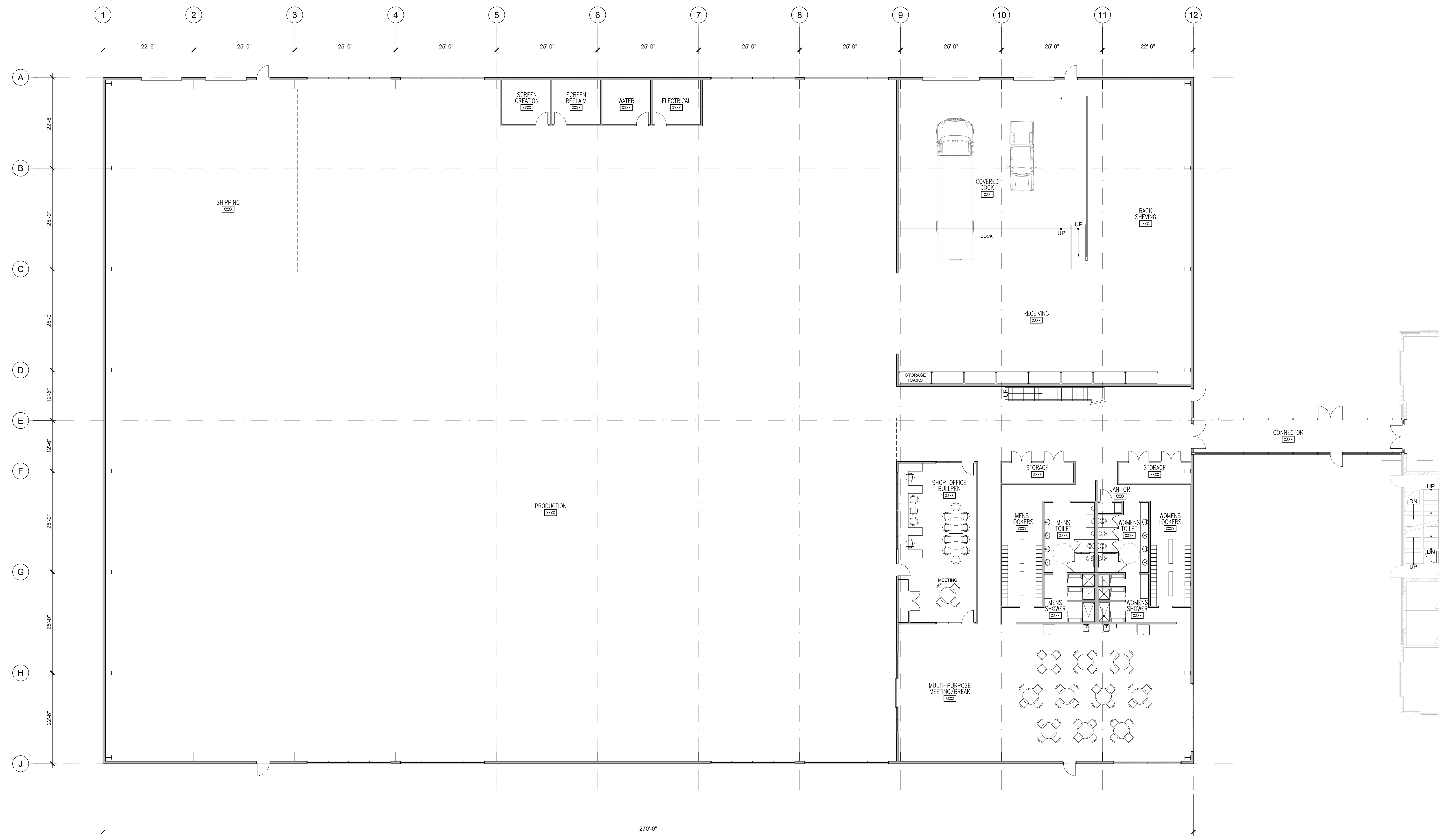
**SEAL**

**REV**


2023-10-24 VILLAGE BOARD & PLANNING DEPARTMENT REVIEW

BY	NUMBER
BFR	A-10

PROJECT	NUMBER
-	A-10



**1 PRODUCTION FACILITY - GROUND FLOOR PLAN**  
 SCALE: 3/32" = 1'-0"

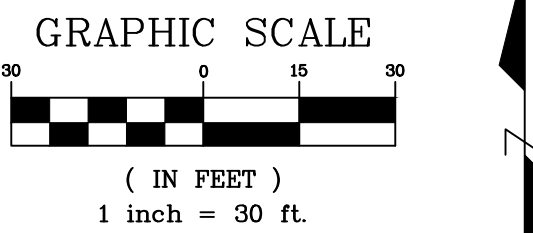








# PLAT OF SURVEY & TOPOGRAPHIC SURVEY



**BASIS OF BEARING**  
THE BASIS OF BEARINGS IS THE ILLINOIS STATE PLANE SYSTEM, EAST ZONE, 2011 ADJUSTMENT

**SITE DATA**  
GROSS AREA OF PARCELS ONE & TWO: 225,034 SQUARE FEET OR 5.17 ACRES

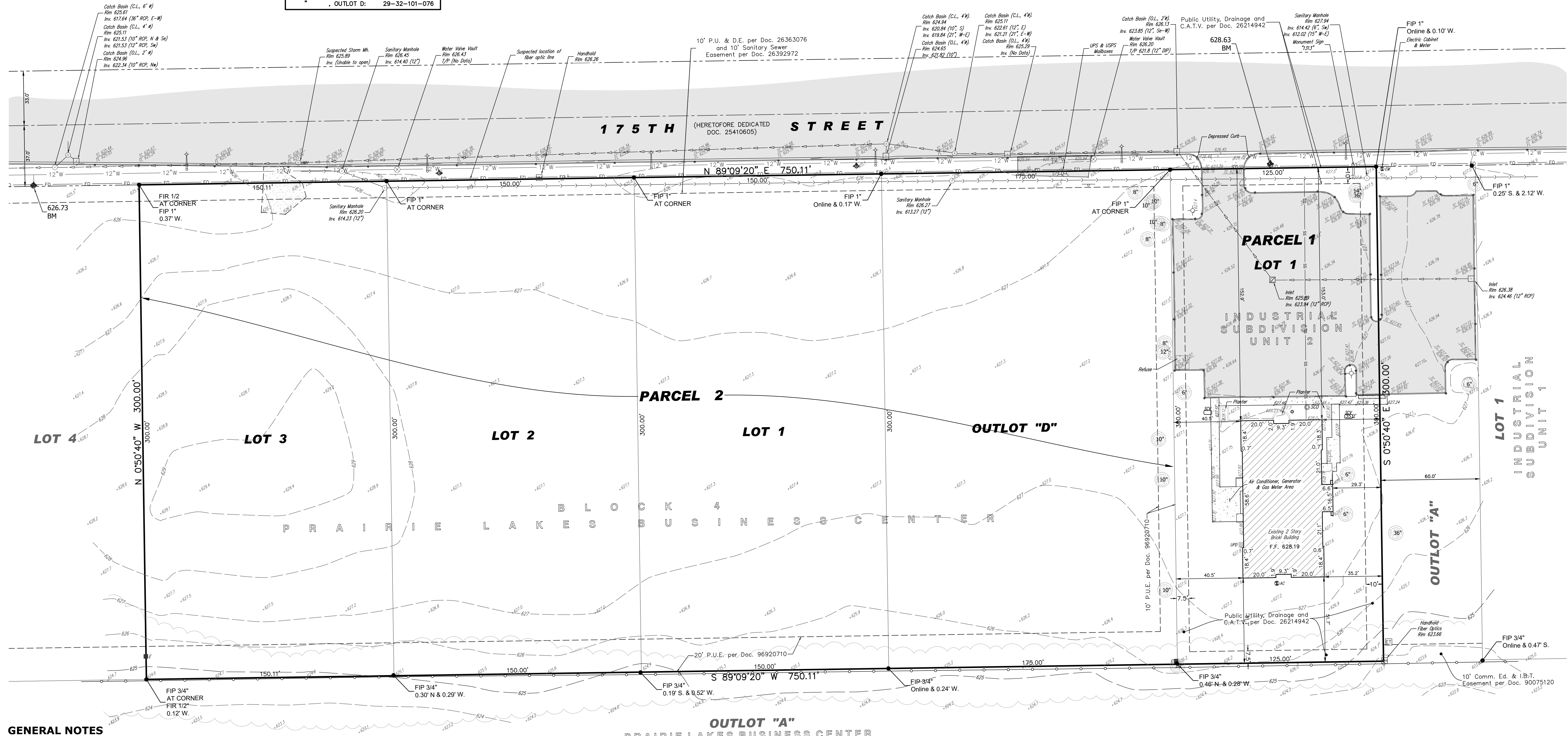
**PARCEL IDENTIFICATION NUMBERS**

PARCEL ONE, LOT 1:	29-32-101-047
PARCEL TWO, LOT 1:	29-32-101-066
LOT 2:	29-32-101-067
LOT 3:	29-32-101-068
OUTLOT D:	29-32-101-076

**LEGAL DESCRIPTION**

**PARCEL 1:**  
LOT 1 IN INDUSTRIAL SUBDIVISION NO. 2, BEING A SUBDIVISION IN THE NORTHWEST 1/4 OF SECTION 32, TOWNSHIP 36 NORTH, RANGE 14 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 28, 1982 AS DOCUMENT NO. 26214942 IN COOK COUNTY, ILLINOIS.

**PARCEL 2:**  
LOTS 1, 2, 3 AND OUTLOT "D" IN BLOCK 4, ALL IN PRAIRIE LAKES BUSINESS CENTER, BEING A PLANNED UNIT DEVELOPMENT IN THE NORTHWEST 1/4, THE NORTHEAST 1/4, AND THE NORTH 1/2 OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 36 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



### GENERAL NOTES

COMPARE THIS PLAT, LEGAL DESCRIPTION AND ALL SURVEY POINTS AND MONUMENTS BEFORE ANY CONSTRUCTION, AND IMMEDIATELY REPORT ANY DISCREPANCIES TO SURVEYOR.

DO NOT SCALE DIMENSIONS FROM THIS PLAT.

THE LOCATION OF THE PROPERTY LINES SHOWN ON THE FACE OF THIS PLAT ARE BASED UPON THE DESCRIPTION AND INFORMATION FURNISHED BY THE CLIENT. THE PARCEL WHICH IS DEFINED MAY NOT REFLECT ACTUAL OWNERSHIP, BUT REFLECTS WHAT WAS SURVEYED. FOR OWNERSHIP, CONSULT YOUR TITLE COMPANY.

A CURRENT TITLE COMMITMENT WAS PROVIDED FOR SURVEYORS USE AT THE TIME OF PREPARATION OF THIS SURVEY.

MANHOLES, INLETS AND OTHER UTILITY RIMS OR GRATES SHOWN HEREON ARE FROM FIELD LOCATION OF SUCH, AND ONLY REPRESENT SUCH UTILITY IMPROVEMENTS WHICH ARE VISIBLE FROM ABOVE GROUND AT TIME OF SURVEY, THROUGH A NORMAL SEARCH AND WALK THROUGH OF THE SITE. THE LABELING OF THESE MANHOLES (SANITARY, WATER, ETC.) IS BASED SOLELY ON THE "STAMPED" MARKINGS OF THE RIM. NO UNDERGROUND OBSERVATIONS HAVE BEEN MADE TO VERIFY THE ACTUAL USE OR EXISTENCE OF UNDERGROUND UTILITIES.

NO UNDERGROUND UTILITIES, OR DRAIN TILES, IF ANY EXIST, SHOWN HEREON.

THIS SURVEY MAY NOT REFLECT ALL UTILITIES OR IMPROVEMENTS IF SUCH ITEMS ARE HIDDEN BY LANDSCAPING OR ARE COVERED BY SUCH ITEMS AS DUMPSTERS, TRAILERS, CARS, DIRT, PAVING OR SNOW. AT THE TIME OF THIS SURVEY, SNOW DID NOT COVER THE SITE. LAWN SPRINKLER SYSTEMS, IF ANY, ARE NOT SHOWN ON THIS SURVEY.

OTHER THAN VISIBLE OBSERVATIONS NOTED HEREON, THIS SURVEY MAKES NO STATEMENT REGARDING THE ACTUAL PRESENCE OR ABSENCE OF ANY SERVICE.

CALL J.U.L.I.E. AT 1-800-892-0123 FOR FIELD LOCATION OF UNDERGROUND UTILITIES PRIOR TO ANY DIGGING OR CONSTRUCTION.

PUBLIC AND/OR PRIVATE RECORDS HAVE NOT BEEN SEARCHED TO PROVIDE ADDITIONAL INFORMATION. OVERHEAD WIRES AND POLES (IF ANY EXIST) ARE SHOWN HEREON, HOWEVER THEIR FUNCTION AND DIMENSIONS HAVE NOT BEEN SHOWN.

UNLESS OTHERWISE NOTED, ALL EASEMENT AND SETBACK LINES SHOWN HEREON ARE PER INDUSTRIAL SUBDIVISION UNIT 2 AND PRAIRIE LAKES BUSINESS CENTER.

OBTERATED PROPERTY CORNER MONUMENTS, IF ANY, WERE NOT RESET AS PART OF THIS SURVEY.

ALL DISTANCES ALONG BOUNDARY / PROPERTY LINES ARE RECORD. TO OBTAIN RECORD BEARINGS, ADD 00° 50' 40".

### LEGEND

- ⊕ BENCHMARK
- ☐ MAILBOX
- ⊕ SPRINKLER CONTROL VALVE
- ⊕ HANDHOLD
- ⊕ TRANSFORMER PAD
- ☐ CATCH BASIN
- ☐ STORM INLET
- ⊕ SANITARY CLEANOUT
- ⊕ CLOSED LID MANHOLE
- ⊕ WATER VALVE
- ⊕ HYDRANT
- ⊕ CABLE TV PEDESTAL
- ⊕ ELECTRIC PEDESTAL
- ⊕ TELEPHONE PEDESTAL
- ⊕ TEL., ELEC., CABLE PEDESTALS
- ⊕ ELECTRIC METER
- ⊕ GAS METER
- ⊕ FOUND IRON REBAR
- ⊕ FOUND IRON PIPE
- ⊕ DECIDUOUS TREE
- W/ TRUNK SIZE
- ⊕ LIGHT POLE W/MAST ARM

### LINE TYPES

- PROPERTY LINE
- - - EXISTING RIGHT-OF-WAY LINE
- ADJACENT LOT LINE
- CENTERLINE
- - - EASEMENT LINE
- CHAINLINK FENCE
- UNDERGROUND FIBER OPTIC
- WATER MAIN
- SANITARY SEWER
- SANITARY SERVICE
- STORM SEWER
- BARRIER CURB
- CURB & GUTTER
- DEPRESSED CURB & GUTTER
- CONTOUR LINE

### ABBREVIATIONS

- ### EXIST. SPOT ELEVATION
- D.E. DRAINAGE EASEMENT
- DIP DUCTILE IRON PIPE
- EXIST. EXISTING
- F.F. FINISHED FLOOR
- H.C. HANDICAP PARKING
- INV INVERT
- MH MANHOLE
- P.U.E. PUBLIC UTILITY EASEMENT
- RCPC REINFORCED CONCRETE PIPE
- TC TOP OF CURB
- T/P TOP OF PIPE
- U.E. UTILITY EASEMENT
- VCP VITRIFIED CLAY PIPE
- SS SANITARY SERVICE
- N NORTH
- S SOUTH
- E EAST
- W WEST
- (### ##) RECORD/DEED
- ### ## MEASURED

### HATCHING

- ▨ ASPHALT SURFACE
- ▨ ADA DETECTABLE WARNING
- ▨ BUILDING LIMITS
- ▨ CONCRETE SURFACE
- ▨ GRAVEL SURFACE

### BENCHMARKS

**SITE BENCHMARKS:**

THE SOUTHWEST FLANGE BOLT ON FIRE HYDRANT LOCATED ON THE SOUTH SIDE OF 175TH STREET, 64 FEET WEST OF THE NORTHEAST CORNER OF THE PROJECT SITE, SHOWN HEREON.  
ELEVATION: 626.73 (NAVD 88)

THE SOUTHWEST FLANGE BOLT ON FIRE HYDRANT LOCATED ON THE SOUTH SIDE OF 175TH STREET, 64 FEET WEST OF THE NORTHEAST CORNER OF THE PROJECT SITE, SHOWN HEREON.  
ELEVATION: 628.63 (NAVD 88)

### SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS }  
COUNTY OF WILL } SS

THIS IS TO CERTIFY THAT I, STEVEN J. LAUB, AN ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR, HAVE SURVEYED THE PROPERTY DESCRIBED IN THE CAPTION TO THE PLAT HEREON DRAWN, AND THE SAID PLAT IS A TRUE AND CORRECT REPRESENTATION THEREOF.

ALL DIMENSIONS SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF AND ARE CORRECTED TO A TEMPERATURE OF 68 DEGREES FAHRENHEIT.

STEVEN J. LAUB  
ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR NO. 35-3160  
MY CURRENT LICENSE RENEWS NOV. 30, 2024

DATE: \_\_\_\_\_ DATE: \_\_\_\_\_

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

**REVISIONS**

NO.	DATE	DESCRIPTION

**JOHN LaROY**

**PLAT/TOPOGRAPHIC SURVEY FOR**  
**1313 175TH STREET**  
**HOMewood, IL 60430**

**DESIGNTEK ENGINEERING, INC.**  
CONSULTING, CIVIL ENGINEERING & LAND SURVEYING  
9930 W. 190TH STREET, SUITE L  
MOKENA, ILLINOIS 60448  
(708) 326-4961  
FAX: (708) 326-4692

ILL. PROF. LIC. NO.: 184-003740



**PROJECT INFORMATION**

Project No.: 23-0028  
Scale: 1" = 30'  
Date: 10/10/2023  
Field Date: 10/07/2023  
Drawn By: SJL  
Checked By: MJF

1 OF 1

EXISTING CONDITIONS

L:\Projects\2023\23-0028\Survey\Map\Topographic\23-0028\_Topographic\_Plot\_10/10/2023\_11:49:14 AM.Bx\_SJL







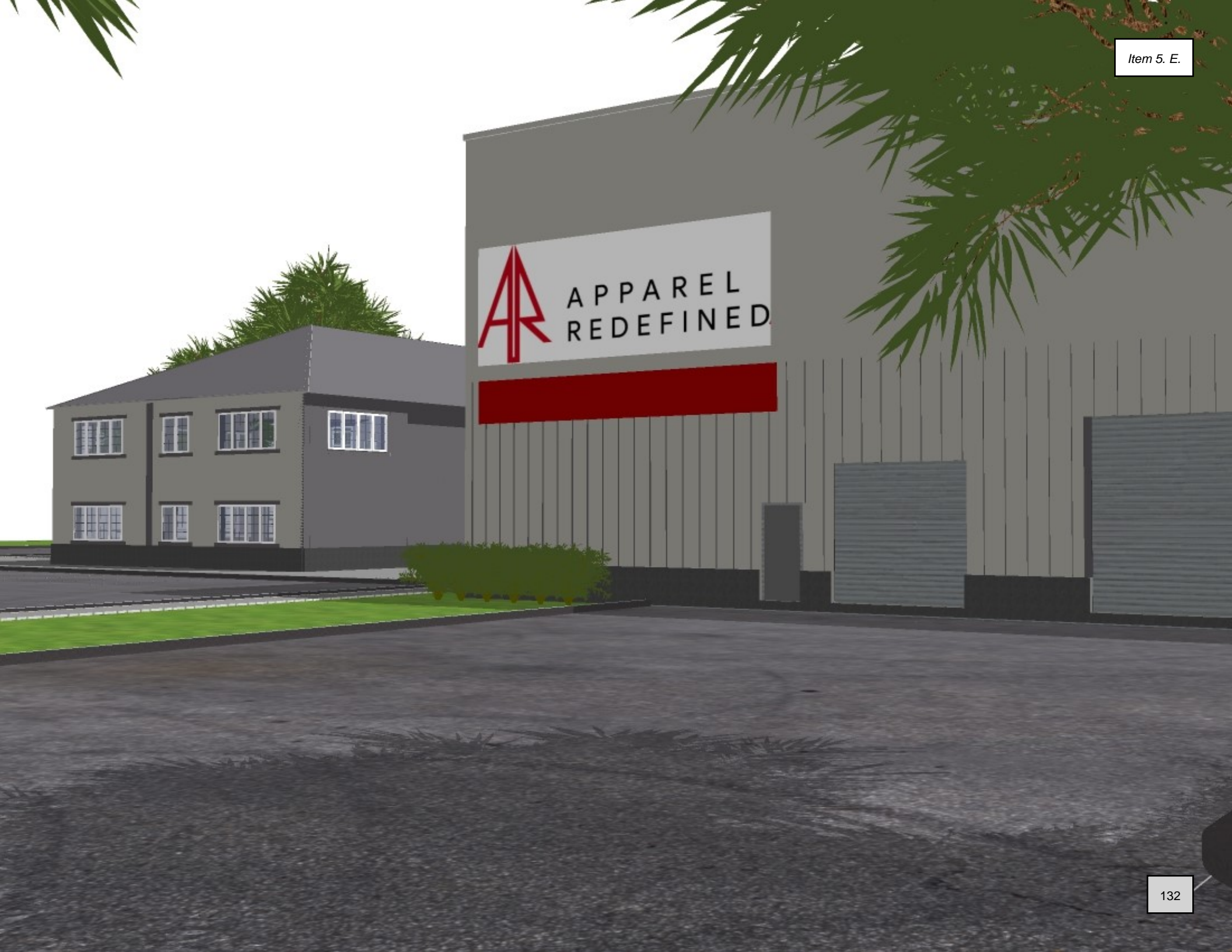




















1215 175<sup>th</sup> St. (located to the east of the Project Site on the south side of 175<sup>th</sup> St.)



North side of 175<sup>th</sup> St. across from the Project Site



1406 175<sup>th</sup> St.





1510 175<sup>th</sup> St. (west of the Project Site on the north side of 175<sup>th</sup> St.)



T.A.E. Signal located at 1516 175<sup>th</sup> St. (west of the Project Site on the north side of 175<sup>th</sup> St.)



17545 Ashland Ave. (just south of the southeast corner of 175<sup>th</sup> St. and Ashland Ave.)



17768 Ashland Ave., Homewood, Illinois



PIN: 29-32-101-068-0000, 29-32-101-067-0000,  
29-32-101-066-0000,  
29-32-101-076-0000

Case 24-37 PZC – Site Plan Review

September 12

Item 5. E.



PIN: 29-32-101-068-0000, 29-32-101-067-0000,  
29-32-101-066-0000,  
29-32-101-076-0000

Case 24-37 PZC – Site Plan Review

September 12, 2024

Item 5. E.

