

MEETING AGENDA



Board of Trustees Meeting

Village of Homewood

May 26, 2026

Meeting Start Time: 7:00 PM

Village Hall Board Room

2020 Chestnut Road, Homewood, IL

Board Meetings will be held as in-person meetings. In addition to in-person public comment during the meeting, members of the public may submit written comments by email to comments@homewoodil.gov or by placing written comments in the drop box outside Village Hall. Comments submitted before 4:00 p.m. on the meeting date will be distributed to all Village Board members prior to the meeting.

Please see last page of agenda for virtual meeting information.

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Introduction of Staff
5. Minutes:
 - Consider a motion to approve the minutes from the regular meeting of the Board of Trustees held on May 12, 2026.
6. Claims List:
 - Consider a motion to approve the Claims List of May 26, 2026 in the amount of \$456,505.58.
7. Oaths of Office: The Village Clerk will administer the oath of office to:
 - A. Ryan Jones for the position of utility technician in the Public Works Department.
 - B. Lorielle Brown for the position of police officer in the Police Department.
8. Presentation(s):
 - A. Proclamation/National Gun Violence Awareness Day: The Village Clerk will read a proclamation declaring the first Friday in June, June 5, 2026, to be National Gun Violence Awareness Day in the Village of Homewood.
 - B. Proclamations/Distinguished Service/Planning and Zoning Commission: The Village Clerk will read a proclamation honoring Maureen Alfonso, Michael Cap, William O'Brien, and Fred Sierzega for their distinguished service on the Planning and Zoning Commission.
 - C. Presentation/HVAC Improvements/Kluber Engineering: Kluber Engineering will present the proposed HVAC improvements at the public safety campus.
 - D. Presentation/North Halsted TIF Bond Feasibility Analysis/SB Friedman: SB Friedman will present their proposal for conducting the North Halsted TIF Bond Feasibility Analysis.
9. Hear from the Audience
10. Omnibus Vote: Consider a motion to pass, approve, authorize, accept, or award the following item(s):

- A. R-3258/Executive Session Minutes/Approve/Destroy: Pass a resolution approving the minutes of Executive Sessions held from October 28, 2025 to April 14, 2026; and, approve the destruction of Executive Session minutes held from June 11, 2024 to November 12, 2024.
- B. R-3259/Release of Executive Session Minutes: Pass a resolution determining minutes or portions thereof from Executive Sessions no longer requiring confidential treatment.
- C. R-3260/Class 8 Real Estate Tax Classification/18123 Harwood Avenue/JWP Interpris Corporation/Old Fashion Donuts: Pass a resolution supporting and consenting to a Class 8 Cook County tax classification for the property located at 18123 Harwood Avenue, owned by Joe Peters of JWP Interpris Corporation.
- D. R-3261/Class 8 Real Estate Tax Classification/2345 183rd Street/Ace Group Inc.: Pass a resolution supporting and consenting to a Class 8 Cook County tax classification for the property located at 2345 183rd Street, owned by Ace Group Inc. (Berkot's Super Foods).
- E. M-2426/Special Use Permit/18332 Kedzie Avenue/Faded Creations: Pass an ordinance granting a Special Use Permit for a salon/spa establishment in the B-3 General Business zoning district at 18332 Kedzie Avenue to Faded Creations.
- F. M-2427/Special Use Permit/1820 Ridge Road/Advanced Healthcare Plus: Pass an ordinance granting a special use permit for an indoor commercial place of assembly in the B-2 Downtown Transition zoning district at 1820 Ridge Road to Advanced Healthcare Plus.
- G. M-2428/Increase of Class 2 Liquor Licenses/Bevda's Two Corp./3043 183rd Street: Pass an ordinance amending the Table of the Number of Liquor License Limitations by Class to increase the allowed number of Class 2 liquor licenses by one for the proposed Bevda's Wine & Spirits location at 3043 183rd Street.
- H. Agreement/North Halsted TIF Bond Feasibility Analysis/SB Friedman Development Advisors: Approve a budget amendment in the amount of \$9,700; and, authorize the Village Manager to enter into an agreement with SB Friedman Development Advisors of Chicago, IL in an amount not to exceed \$29,700 to conduct a comprehensive analysis of the North Halsted TIF district's ability to generate sustainable increment required to support the debt service for bond issuances.
- I. Agreement/Engineering and Design Services/Public Safety Campus/Kluber Architects: Authorize the Village President to enter into an agreement with Kluber Architects and Engineers of Aurora, IL to provide professional engineering and design services for the replacement of the existing geothermal system at the Public Safety Campus (Police and Fire Departments), with a new Heating, Ventilation, and Air Conditioning (HVAC) system in the amount of \$217,750.
- J. Purchase Approval/2026 Ford Police Interceptor/Currie Motors: Waive competitive bidding due the purchase being made through an approved governmental purchasing cooperative; and, approve the purchase of one (1) 2026 Ford Police Interceptor Utility vehicle through the Suburban Purchasing Cooperative from Currie Motors of Frankfort, IL, in the amount of \$45,574, plus associated emergency equipment, decals, and vehicle upfitting in an additional amount of \$13,426, for a total cost not to exceed \$59,000.
- K. Purchase Approval/2026 Ford F-150/Currie Motors: Waive competitive bidding due to the purchase being made through an approved governmental purchasing cooperative; and,

approve the purchase of one (1) 2026 Ford F-150 through the South Suburban Purchasing Cooperative from Currie Motors of Frankfort, IL in the amount of \$45,189, and the cost to purchase and install lighting, accessories, and equipment for an additional cost of \$14,700, in a total amount not to exceed \$59,889.

L. Purchase Approval/2026 International HV607 Chassis/Rush Truck Centers: Waive competitive bidding due to purchasing through a joint governmental or cooperative purchasing program; and, authorize the purchase of one (1) 2026 International HV607 chassis from Rush Truck Centers of Springfield, IL for a total purchase price of \$116,126.

M. R-3262/Allowable Flag Display/Village-Owned Flagpoles: Pass a resolution establishing allowable flag display for Village-owned flagpoles.

11. General Board Discussion

12. Executive Session: Consider a motion to enter into executive session to discuss the following:
Purchase or lease of real property under 5 ILCS 120/2(c)(5).

13. Adjourn

Zoom Link: <https://zoom.us/>

- To View the Meeting via Computer or Smartphone - Type in: Zoom.us into any internet browser.

Select: JOIN A MEETING from menu at top right of page. Meeting I.D.: 980 4907 6232

Meeting Password: 830183. Enter an email address (required), or

- To Listen to the Meeting via Phone - Dial: (312) 626-6799

Enter above "Meeting I.D. and Meeting Password" followed by "#" sign

VILLAGE OF HOMEWOOD
BOARD OF TRUSTEES MEETING
TUESDAY, MAY 12, 2026
VILLAGE HALL BOARD ROOM

CALL TO ORDER: President Hofeld called the meeting of the Board of Trustees to order at 7:00 p.m.

PLEDGE OF ALLEGIANCE: President Hofeld led trustees in the Pledge of Allegiance.

ROLL CALL: Clerk Nakina Flores called the roll. Those present were Trustee Vivian Harris-Jones, Trustee Jay Heiferman, Trustee Patrick Siemsen, Trustee Phillip Mason, Trustee Lauren Roman, and Village President Richard Hofeld. Trustee Julie Willis was absent.

President Hofeld introduced staff present: Village Manager Napoleon Haney, Village Attorney Chris Cummings, Fire Chief Bob Grabowski, Director of Finance Amy Zukowski, Interim Director of Economic and Community Development Noah Schumerth, Director of Public Works Joshua Burman, and Assistant Village Manager Terence Acquah.

MINUTES: The minutes of April 28, 2026 were presented. There were no comments or corrections.

A motion was made by Trustee Siemsen and seconded by Trustee Heiferman to approve the minutes as presented.

Roll Call: AYES --Trustees Harris-Jones, Heiferman, Siemsen, Mason, Roman. NAYS -None. ABSENT-Trustee Willis

CLAIMS LIST: The Claims List in the amount of \$1,240,160.52 was presented. There were no questions from the Trustees.

A motion was made by Trustee Roman and seconded by Trustee Harris-Jones to approve the Claims List as presented.

Roll Call: AYES --Trustees Harris-Jones, Heiferman, Siemsen, Mason, Roman. NAYS -None. ABSENT-Trustee Willis

President Hofeld said three items totaled 50 percent of the Claims List: \$293,000 for one month of employee health insurance, \$190,000 for slip lining of sanitary sewers, and \$123,000 for the quarterly payment to Southland dispatch center which has replaced ECOM.

HEAR FROM THE AUDIENCE: Amy Crump stated that Mother's Day was started in 1870 based on the idea that women should have the same rights as men and must let their voices be heard against the cruelty of war.

Eric Crump let everyone know about the next meeting at Books Without Borders titled "Don't Go." "Don't Go" is a collection of stories about the stigma related to going to certain sides of Chicago. Some of the stories are from Chicago natives and tell a story of cool places and great people.

OMNIBUS VOTE: The board was asked to pass, approve, authorize, accept, or award the following item(s):

- A. Reappointment/Beautification Committee/Joe Sherman: Approve the reappointment of Joe Sherman to the Beautification Committee for a five-year term ending on May 12, 2031.
- B. Contract/Construction Management at Risk Services/2010 Chestnut Road/Cosgrove Construction: Waive competitive bidding due to the Village utilizing the Construction Manager at Risk Contracting method; and, authorize the Village President to enter into a contract with Cosgrove Construction of Joliet, IL in the amount of \$151,000 for Construction Management at Risk Services for improvements to the Homewood Auditorium at 2010 Chestnut Road.
- C. M-2417/Surplus Property/18156 Dixie Highway: Pass an ordinance authorizing the Village Manager to sell, donate, or dispose of the property and materials as needed after the acquisition of the property at 18157 Dixie Highway, formerly known as Repeat Boutique.
- D. M-2418/Surplus Property/Public Works Equipment: Pass an ordinance authorizing the Village Manager to sell, donate, or dispose of equipment and property.
- E. Purchase Approval/Panel Controller Upgrades/Sound Incorporated: Approve the purchase of fifteen (15) Brivo panel controller upgrades from Sound Incorporated of Naperville, Illinois, in the amount of \$32,466.35.
- F. MC-1100/Text Amendment/Parking Requirements/Use Requirements: Pass an ordinance approving a text amendment to the Village Zoning Ordinance, amending parking requirements, use requirements, and definitions.
- G. M-2419/Special Use Permit/TranzForm Beauty Bar/18019 Dixie Highway: Pass an ordinance grant a special use permit for a salon/spa establishment in the B-2 Downtown Transition zoning district at 18019 Dixie Highway.
- H. M-2420/Fee Schedule/Building Division/Public Works: Pass an ordinance amending the Building Division and Public Works sections of the Village of Homewood Fee Schedule.
- I. M-2421/Fee Schedule/Planning and Zoning: Pass an ordinance amending the Planning and Zoning section of the Village of Homewood Fee Schedule.
- J. M-2422/Amendment to Redevelopment Plan and Project/Downtown TOD Tax Increment Financing Redevelopment Project Area: Pass an ordinance amending the redevelopment plan and project for the Downtown TOD Tax Increment Financing (TIF) Redevelopment Project Area removing parcels of property from the redevelopment project area.
- K. M-2423/Redevelopment Plan and Project/Harwood TOD Tax Increment Financing District: Pass an ordinance approving the redevelopment plan and project for the Harwood TOD Tax Increment Financing Redevelopment Project Area.
- L. M-2424/Designation of Redevelopment Project Area/Harwood TOD Tax Increment Financing District: Pass an ordinance designating the Harwood TOD Redevelopment Project Area.
- M. M-2425/Tax Increment Allocation Financing/Harwood TOD Tax Increment Financing District: Pass an ordinance adopting tax increment allocation financing for the Harwood TOD Tax Increment Financing Redevelopment Project Area.

Before the omnibus vote, President Hofeld invited comments.

Item F: Resident Ann Crump asked if this item is tied to decentralization for parking. Noah Schumerth answered that this brings the Village into compliance and gives more flexibility. Trustee Roman asked if they can still require this as a condition for any developers. Chris Cummings answered that this can be negotiated as they abide by the law.

A motion was made by Trustee Siemsen and seconded by Trustee Mason to approve the Omnibus Report as presented.

Roll Call: AYES --Trustees Harris-Jones, Heiferman, Siemsen, Mason, Roman. NAYS -None. ABSENT-Trustee Willis

GENERAL BOARD DISCUSSION: Trustees thanked residents for coming out to the meeting. Trustee Harris-Jones invited everyone to attend the public works open house. President Hofeld thanked Antonia Steinmiller for organizing the 2026 Homewood Heroes memorial program and welcomed all to view the veteran banners throughout Homewood.

EXECUTIVE SESSION: A motion was made by Trustee Mason and seconded by Trustee Heiferman to enter into executive session to discuss following: Semi-annual review of closed session minutes under 5 ILCS 120/2(c)21.

Roll Call: AYES --Trustees Harris-Jones, Heiferman, Siemsen, Mason, Roman. NAYS -None. ABSENT-Trustee Willis

The board moved to Executive Session at 7:15 p.m.

The board returned from Executive Session at 7:52 p.m.

ADJOURN: A motion was made by Trustee Mason and seconded by Trustee Siemsen to adjourn the regular meeting of the Board of Trustees.

Roll Call: AYES --Trustees Harris-Jones, Heiferman, Siemsen, Mason, Roman. NAYS -None. ABSENT-Trustee Willis

The meeting adjourned at 7:53 p.m.

Respectfully submitted,

Nakina Flores
Village Clerk

From: Shannon Ford >
Sent: Monday, May 11, 2026 1:39 PM
To: PublicComments
Subject: Pride Flags

External Sender: Use caution with links/attachments. Use caution when replying. If you are unsure please contact IT.

Dear Mayor Hofeld and Village Trustees,

Please rest assured that I have a completely neutral stance on the Village's flying of the Pride flags in June. While I support the LGBTQ community, I also understand why flying the flags may not be logistically feasible. This is just an email to request information and clarification.

Many people I know have asked the Mayor about why the Village stopped flying the Pride flags. From their perspective, as reported on social media, the answers and attitude they received came across as dismissive and rude. For example, I have heard the Village has said the following:

- "Well, we can't have a flag for everything."
- "If we fly the Pride flags, we'll also have to fly the KKK flag." (I've heard a version of this with the Nazi flag as well.)
- "If the Pride flags factored into your decision to move to Homewood, that's stupid."
- "Everyone in Chicagoland knows Homewood is an inclusive town, and we don't need flags to demonstrate that."

I would like to hear your side of the story. Have other groups approached the Village asking to have their flags flown, or is, "We can't have a flag for everyone?" based purely on a hypothetical? Or, are there other logistical reasons why you stopped flying the flag, like the time and effort it took to change out the Pride flags in time to get the American flags up for the 4th of July? I also understand the flags were several years old and had the names of sponsoring businesses embroidered on them, and that so many businesses may have come and gone since then that the flags may be outdated. Additionally, I know they were the traditional rainbow flag, and that many elements have been added to the Pride flag since they were purchased. It may be that it's too expensive to replace the flag every time a new element is added to the Pride flag design.

I guess my main point is that it is important to me to live in a town where people are kind. It is not necessary to display any type of flag to demonstrate kindness, but it is necessary to talk to citizens politely. Have you crafted any kind of official statement that explains the Pride flag decision politely and diplomatically? I can't guarantee that such a statement would satisfy the Pride flag activists, but it would at least demonstrate that the Village is kind and respectful to its residents.

Thank you,
Shannon Ford

From: Sam
Sent: Monday, May 11, 2026 1:37 PM
To: PublicComments;
Subject: Fwd: Molly Sexton: Booze, Pills & Pipes; Domestic and Substance Abuse
Attachments: MollySextonBoozePillsPipesSNAPTCHAT.PNG; MollyVM1.m4a; MollyVM2.m4a; MollyVM5.m4a; MollyVM3.m4a; MollyVM4.m4a; MollyVM6.m4a; MollyVM7.m4a; MollyVM9.m4a; MollyVM8.m4a

External Sender: Use caution with links/attachments. Use caution when replying. If you are unsure please contact IT.

HOMWOOD SCHOOL DISTRICT 153 TEACHER MOLLY SEXTON.

----- Forwarded message -----

From: Sam
Date: Fri, Feb 13, 2026 at 8:43 AM
Subject: Molly Sexton: Booze, Pills & Pipes; Domestic and Substance Abuse
To:

Good Morning,

Molly Sexton was deemed "unfit" by District 130 due to her constant drunken/ drug induced behavior choices that lead to domestic abuse and chaos. Some of her behavior, especially her voicemails, are criminal behavior; stalking and harassment by electronic means. This has nothing to do with her medical diagnosis of MS, she is a drunk and a danger to all around her; this is why she was told to resign or be terminated in Blue Island. Where are her own children while she behaves in this manner?

Attached is a small amount of files relating to Molly Sexton's behavior. Additionally, there are police reports for trespassing, email correspondence with District 130 administration and lawyer, email correspondence from Molly Sexton harassing other lawyers, and harassing the family of a dead man. These could not be attached, files are too big, but can be provided upon request.

Please reference attached.

From: Joan Stalick
Sent: Thursday, April 30, 2026 5:52 PM
To: PublicComments
Subject: North viaduct

External Sender: Use caution with links/attachments. Use caution when replying. If you are unsure please contact IT.

Why is it closed every day during rush hour?

From: Jason Kircher
Sent: Thursday, April 30, 2026 8:06 AM
To: PublicComments; Haney, Napoleon
Subject: Tell IML to stop making our housing problem worse

External Sender: Use caution with links/attachments. Use caution when replying. If you are unsure please contact IT.

Mayor Hofeld, Board Members, and Manager Haney,

Richard Day writes correctly that building more housing in Illinois is a collective action problem.

(https://open.substack.com/pub/citythatworks/p/local-governments-come-out-swinging?r=7ecui&utm_medium=ios&shareImageVariant=overlay)

Homewood, as a community, is publicly committed to TOD, lowering costs for residents, and very aware of our pension obligations/need for growing our tax base. But the Illinois Municipal League spent time this week lobbying in Springfield to strongly oppose the BUILD Act and its related bills. Given that our tax dollars pay the dues for our membership, I encourage you to let the IML know that the status quo has not led to municipalities across the state to build the necessary housing we need to facilitate growth and meet demand. Lobbying against the BUILD act is putting communities at risk of increasing the burden of pensions and infrastructure on each household due to lack of growth.

Thank you,

Jason

Jason Kircher

From: Joan Stalick
Sent: Wednesday, April 29, 2026 10:04 AM
To: PublicComments

External Sender: Use caution with links/attachments. Use caution when replying. If you are unsure please contact IT.

The speeding on 187th Street is ridiculous. Yesterday a very large black pickup passed another vehicle while at 50 miles an hour near the speed beacons. Last week we saw a police vehicle speeding and tailgating a car that was speeding, yet the police did nothing about the speeding car. The only other police vehicle we have seen recently was weeks ago.

Name	Description	DEPARTMENT	Net Invoice Amount
28 DAYS ENTERTAINMENT LTD	ART & GARDEN BAND	MANAGER'S OFFICE	4,500.00
Total 28 DAYS ENTERTAINMENT LTD:			4,500.00
ADJUSTING TO HEALTH	WATER DEPOSIT REFUND	ASSETS	87.88
Total ADJUSTING TO HEALTH:			87.88
AIR ONE EQUIPMENT INC	BOOTS	FIRE DEPARTMENT	678.00
AIR ONE EQUIPMENT INC	BOOTS	FIRE DEPARTMENT	678.00
AIR ONE EQUIPMENT INC	SWIVEL GASKETS	FIRE DEPARTMENT	78.40
Total AIR ONE EQUIPMENT INC:			1,434.40
ALRO STEEL CORPORATION	1313 175TH EXTERIOR REPAIRS	PUBLIC WORKS	622.60
Total ALRO STEEL CORPORATION:			622.60
AMAZON CAPITAL SERVICES IN	EVENT MATERIALS	MANAGER'S OFFICE	59.95
AMAZON CAPITAL SERVICES IN	OFFICE SUPPLIES	PUBLIC WORKS	65.28
AMAZON CAPITAL SERVICES IN	BOOT PURCHASE	PUBLIC WORKS	189.95
AMAZON CAPITAL SERVICES IN	KIDS ACTIVITIES FARMERS MARKET	MANAGER'S OFFICE	137.09
AMAZON CAPITAL SERVICES IN	MARKETING DISPLAYS	MANAGER'S OFFICE	163.94
AMAZON CAPITAL SERVICES IN	HARD DRIVE REPLACEMENTS FOR VH SERVER	MANAGER'S OFFICE	574.41
AMAZON CAPITAL SERVICES IN	GENERAL EVENT MATERIALS	MANAGER'S OFFICE	180.95
AMAZON CAPITAL SERVICES IN	BOOT PURCHASE	PUBLIC WORKS	180.45
AMAZON CAPITAL SERVICES IN	OPEN HOUSE SUPPLIES	PUBLIC WORKS	254.85
AMAZON CAPITAL SERVICES IN	MARKETING MATERIALS	MANAGER'S OFFICE	316.88
AMAZON CAPITAL SERVICES IN	BOARD ROOM OFFICE SUPPLIES	MANAGER'S OFFICE	839.97
AMAZON CAPITAL SERVICES IN	BUILDING MAINTENANCE TOOLS	PUBLIC WORKS	379.91
Total AMAZON CAPITAL SERVICES INC:			3,343.63
APPAREL REDEFINED	DEPARTMENT APPRECIATION	PUBLIC WORKS	331.63
APPAREL REDEFINED	DEPARTMENT APPRECIATION	PUBLIC WORKS	331.62
APPAREL REDEFINED	TRUCKER CAPS	FIRE DEPARTMENT	353.10
Total APPAREL REDEFINED:			1,016.35
B ALLAN GRAPHICS	FAIL STICKERS	FIRE DEPARTMENT	175.00
B ALLAN GRAPHICS	BUSINESS CARDS	FIRE DEPARTMENT	65.00
Total B ALLAN GRAPHICS:			240.00
BATTERIES PLUS	BATTERIES	PUBLIC WORKS	152.65
Total BATTERIES PLUS:			152.65
BOUND TREE MEDICAL LLC	MEDICAL SUPPLIES	FIRE DEPARTMENT	343.85
Total BOUND TREE MEDICAL LLC:			343.85
BULTEMA FARMS & GREENHO	BALANCE FLOWERS BASKETS	PUBLIC WORKS	8,079.00
Total BULTEMA FARMS & GREENHOUSE INC:			8,079.00
C & M PIPE SUPPLY	SEWER MATERIALS	PUBLIC WORKS	215.00

Name	Description	DEPARTMENT	Net Invoice Amount
Total C & M PIPE SUPPLY:			215.00
C & T LAWN AND LANDSCAPE	COMMERCIAL CUTS	FIRE DEPARTMENT	1,190.00
C & T LAWN AND LANDSCAPE	COMMERCIAL CUTS	FIRE DEPARTMENT	297.50
C & T LAWN AND LANDSCAPE	MOWING	PUBLIC WORKS	1,508.00
Total C & T LAWN AND LANDSCAPE:			2,995.50
CHANDLER SERVICES INC	SEAT REPLACEMENT	FIRE DEPARTMENT	208.65
CHANDLER SERVICES INC	SEAT REPLACEMENT	FIRE DEPARTMENT	327.94
CHANDLER SERVICES INC	VEHICLE INSPECTIONS	FIRE DEPARTMENT	1,644.58
CHANDLER SERVICES INC	VEHICLE INSPECTIONS	FIRE DEPARTMENT	913.44
Total CHANDLER SERVICES INC:			3,094.61
CHARLES SCHEIWE	80% MEDICARE SUPPLEMENT REIMBURSEMENT	MANAGER'S OFFICE	856.80
Total CHARLES SCHEIWE:			856.80
COOK COUNTY DEPT OF PUBLI	HEALTH INSPECTIONS JAN-MAR 2026	MANAGER'S OFFICE	8,200.00
Total COOK COUNTY DEPT OF PUBLIC HEALTH:			8,200.00
CORE INTEGRATED MARKETIN	HOMEWOOD HERO	MANAGER'S OFFICE	165.04
CORE INTEGRATED MARKETIN	HOMEWOOD HERO	MANAGER'S OFFICE	86.04
CORE INTEGRATED MARKETIN	BANNERS FOR FM	MANAGER'S OFFICE	135.00
Total CORE INTEGRATED MARKETING:			386.08
CURRIE MOTORS	L&M REPAIR PARTS	PUBLIC WORKS	52.51
CURRIE MOTORS	POLICE DEPT REPAIR PARTS	PUBLIC WORKS	568.76
Total CURRIE MOTORS:			621.27
CVB	HOTEL TAX - MARCH 2026 WCC	ASSETS	422.69
Total CVB:			422.69
DACRAADJUDICATION LLC	MOS/MOVE/ABC MONTHLY FEE	POLICE DEPARTMENT	1,632.00
Total DACRAADJUDICATION LLC:			1,632.00
DANIEL ROSSI	80% MEDICARE SUPPLEMENT REIMBURSEMENT	MANAGER'S OFFICE	758.96
Total DANIEL ROSSI:			758.96
DAVID L BOND	FRIDAY ART AND GARDEN BAND	MANAGER'S OFFICE	1,250.00
Total DAVID L BOND:			1,250.00
DELTA SONIC CAR WASH	VEHICLE WASHES	PUBLIC WORKS	150.00
Total DELTA SONIC CAR WASH:			150.00
DENNIS LEAKS	QUARTERMASTER-UNIFORMS-PD	POLICE DEPARTMENT	139.94

Name	Description	DEPARTMENT	Net Invoice Amount
Total DENNIS LEAKS:			139.94
DONALD DEAN	QUARTERMASTER-UNIFORMS-PD	POLICE DEPARTMENT	94.97
Total DONALD DEAN:			94.97
EDWARD J PIANE	ART & GARDEN BAND	MANAGER'S OFFICE	1,600.00
Total EDWARD J PIANE:			1,600.00
ELAINE SUTTON	WATER DEPOSIT REFUND	ASSETS	57.74
Total ELAINE SUTTON:			57.74
ERNEST LARSON	80% MEDICARE SUPPLEMENT REIMBURSEMENT	MANAGER'S OFFICE	2,289.60
Total ERNEST LARSON:			2,289.60
EXPERT CHEMICAL	DISPOSABLE COMMODITIES	FIRE DEPARTMENT	341.52
Total EXPERT CHEMICAL:			341.52
FEDERAL EXPRESS	EXPRESS POSTAGE FEES	MANAGER'S OFFICE	433.10
Total FEDERAL EXPRESS:			433.10
FLEET SAFETY SUPPLY	NEW VEHICLE EQUIPMENT PW	PUBLIC WORKS	557.97
Total FLEET SAFETY SUPPLY:			557.97
FORD OF HOMEWOOD	POLICE DEPT REPAIR PARTS	PUBLIC WORKS	50.15
Total FORD OF HOMEWOOD:			50.15
FRANCISCAN WORKING WELL	LEWANDOWSKI	FIRE DEPARTMENT	1,704.00
Total FRANCISCAN WORKING WELL:			1,704.00
GALLAGHER MATERIALS	ASPHALT	PUBLIC WORKS	224.25
GALLAGHER MATERIALS	ASPHALT	PUBLIC WORKS	408.20
Total GALLAGHER MATERIALS:			632.45
GEORGE W EINHORN	ART & GARDEN BAND	MANAGER'S OFFICE	2,600.00
Total GEORGE W EINHORN:			2,600.00
GORDON FLESCH CO INC	PRINTING CHARGES ALL COPY MACHINES	MANAGER'S OFFICE	125.50
GORDON FLESCH CO INC	MONTHLY PRINTING FEES - ALL	MANAGER'S OFFICE	1,488.04
Total GORDON FLESCH CO INC:			1,613.54
GRAINGER INC	OPEN HOUSE	PUBLIC WORKS	50.00
GRAINGER INC	OPEN HOUSE	PUBLIC WORKS	50.00
GRAINGER INC	OPEN HOUSE	PUBLIC WORKS	50.00
GRAINGER INC	OPEN HOUSE	PUBLIC WORKS	61.74

Name	Description	DEPARTMENT	Net Invoice Amount
Total GRAINGER INC:			211.74
HAWKINS INC	CHLORINE TANK RENTAL	PUBLIC WORKS	90.00
Total HAWKINS INC:			90.00
HERMAN VALLO	WATER DEPOSIT REFUND	ASSETS	51.68
Total HERMAN VALLO:			51.68
HERNAN BANUELOS	QUARTERMASTER-UNIFORMS-PD	POLICE DEPARTMENT	661.89
HERNAN BANUELOS	QUARTERMASTER-UNIFORMS-PD	POLICE DEPARTMENT	209.90
Total HERNAN BANUELOS:			871.79
HISKES, DILLNER, O'DONNELL	CONTRACT/CONSULTING SERVICE	MANAGER'S OFFICE	1,566.00
Total HISKES, DILLNER, O'DONNELL:			1,566.00
HOMEWOOD DISPOSAL	GARBAGE DISPOSAL	PUBLIC WORKS	664.34
HOMEWOOD DISPOSAL	GARBAGE DISPOSAL	PUBLIC WORKS	92.00
HOMEWOOD DISPOSAL	GARBAGE DISPOSAL	PUBLIC WORKS	25.00
Total HOMEWOOD DISPOSAL:			781.34
HOMEWOOD PUBLIC LIBRARY	FY 2026 SHARE OF PPRT	ASSETS	13,062.74
Total HOMEWOOD PUBLIC LIBRARY:			13,062.74
HR GREEN INC	PLAN REVIEWS FOR APRIL 2026	FIRE DEPARTMENT	6,083.25
Total HR GREEN INC:			6,083.25
IDI	BACKGROUND CHECKS	POLICE DEPARTMENT	234.50
Total IDI:			234.50
ILCMA	RECRUITMENT	MANAGER'S OFFICE	50.00
Total ILCMA:			50.00
JAMES GANNON	80% MEDICARE SUPPLEMENT REIMBURSEMENT	MANAGER'S OFFICE	1,465.60
Total JAMES GANNON:			1,465.60
JARRET C RUETH	WATER RENTAL DEPOSIT	ASSETS	75.84
Total JARRET C RUETH:			75.84
JEL AUDIO	ART & GARDEN - SOUND/LIGHTS EQUIPMENT	MANAGER'S OFFICE	4,100.00
Total JEL AUDIO:			4,100.00
JODY APPLGATE	80% MEDICARE SUPPLEMENT REIMBURSEMENT	MANAGER'S OFFICE	153.30

Name	Description	DEPARTMENT	Net Invoice Amount
Total JODY APPEGATE:			153.30
JOHN SCHAEFER	80% MEDICARE SUPPLEMENT REIMBURSEMENT	MANAGER'S OFFICE	1,077.80
Total JOHN SCHAEFER:			1,077.80
JUSTIN BLACKBURN	QUARTERMASTER-UNIFORMS-PD	POLICE DEPARTMENT	700.99
Total JUSTIN BLACKBURN:			700.99
KANKAKEE TRUCK EQUIPMEN	STREET DEPT REPAIR PARTS	PUBLIC WORKS	165.54
Total KANKAKEE TRUCK EQUIPMENT:			165.54
KELLY SMITH	DEPOSIT REFUND	ASSETS	100.00
Total KELLY SMITH:			100.00
KLUBER, INC	HVAC STUDY	PUBLIC WORKS	5,140.80
Total KLUBER, INC:			5,140.80
LAKELAND TITLE SERVICES	18157 DIXIE HWY CLOSING STATEMENT	MANAGER'S OFFICE	100,307.00
Total LAKELAND TITLE SERVICES:			100,307.00
LBM TOOLS LLC	VEHICLE MAINT DEPT TOOLS	PUBLIC WORKS	379.00
Total LBM TOOLS LLC:			379.00
LEXISNEXIS RISK DATA MANAG	BACKGROUND CHECKS	POLICE DEPARTMENT	200.00
Total LEXISNEXIS RISK DATA MANAGEMENT:			200.00
MARIAN KIEPURA	80% MEDICARE SUPPLEMENT REIMBURSEMENT	MANAGER'S OFFICE	388.54
Total MARIAN KIEPURA:			388.54
MCMASTER CARR SUPPLY CO	BUILDING MAINTENANCE SUPPLIES	PUBLIC WORKS	386.23
MCMASTER CARR SUPPLY CO	CREDIT / RETURN	PUBLIC WORKS	386.23-
Total MCMASTER CARR SUPPLY CO:			.00
MEADE ELECTRIC CO INC	TRAFFIC SIGNAL MAINTANENCE	PUBLIC WORKS	1,743.74
Total MEADE ELECTRIC CO INC:			1,743.74
MENARDS INC	BUILDING MAINTENANCE SUPPLIES	PUBLIC WORKS	149.92
MENARDS INC	OPERATING SUPPLIES - METERS	PUBLIC WORKS	52.86
MENARDS INC	MATERIALS/SUPPLIES	PUBLIC WORKS	498.26
MENARDS INC	CLEANING SUPPLIES	FIRE DEPARTMENT	144.16
MENARDS INC	OPERATING SUPPLIES	PUBLIC WORKS	119.14
MENARDS INC	OPERATING SUPPLIES	PUBLIC WORKS	159.84
MENARDS INC	BUILDING MAINTENANCE SUPPLIES	FIRE DEPARTMENT	28.48

Name	Description	DEPARTMENT	Net Invoice Amount
Total MENARDS INC:			1,152.66
MICHAEL HOGER	80% MEDICARE SUPPLEMENT REIMBURSEMENT	MANAGER'S OFFICE	748.10
Total MICHAEL HOGER:			748.10
MICHAEL NICKOLAOU	80% MEDICARE SUPPLEMENT REIMBURSEMENT	MANAGER'S OFFICE	258.06
Total MICHAEL NICKOLAOU:			258.06
MICHAEL ROGALA	WATER DEPOSIT REFUND	ASSETS	75.84
Total MICHAEL ROGALA:			75.84
MONARCH AUTO SUPPLY INC	OPERATING SUPPLIES VM	PUBLIC WORKS	27.04
MONARCH AUTO SUPPLY INC	OPERATING SUPPLIES VM	PUBLIC WORKS	1,160.28
MONARCH AUTO SUPPLY INC	OPERATING SUPPLIES VM	PUBLIC WORKS	128.46
MONARCH AUTO SUPPLY INC	WATER DEPT REPAIR PARTS	PUBLIC WORKS	222.96
MONARCH AUTO SUPPLY INC	WATER DEPT REPAIR PARTS	PUBLIC WORKS	62.98
MONARCH AUTO SUPPLY INC	WATER DEPT REPAIR PARTS	PUBLIC WORKS	53.19
Total MONARCH AUTO SUPPLY INC:			1,654.91
MUNICIPAL EMERGENCY SERV	TURN OUT GEAR	FIRE DEPARTMENT	4,255.00
Total MUNICIPAL EMERGENCY SERVICES INC:			4,255.00
NATHAN BRUNI	QUARTERMASTER-UNIFORMS-PD	POLICE DEPARTMENT	169.20
Total NATHAN BRUNI:			169.20
ODP BUSINESS SOLUTIONS LL	OFFICE SUPPLIES	MANAGER'S OFFICE	54.58
Total ODP BUSINESS SOLUTIONS LLC:			54.58
O'HERRON CO	AMMO	POLICE DEPARTMENT	520.00
O'HERRON CO	QUARTERMASTER-UNIFORMS-PD	POLICE DEPARTMENT	548.16
O'HERRON CO	BODY ARMOR	POLICE DEPARTMENT	796.55
O'HERRON CO	QUARTERMASTER-UNIFORMS-PD	POLICE DEPARTMENT	594.15
O'HERRON CO	BODY ARMOR	POLICE DEPARTMENT	796.54
O'HERRON CO	QUARTERMASTER-UNIFORMS-PD	POLICE DEPARTMENT	177.77
O'HERRON CO	QUARTERMASTER-UNIFORMS-PD	POLICE DEPARTMENT	434.24
O'HERRON CO	QUARTERMASTER-UNIFORMS-PD	POLICE DEPARTMENT	378.21
O'HERRON CO	QUARTERMASTER-UNIFORMS-PD	POLICE DEPARTMENT	607.09
O'HERRON CO	QUARTERMASTER-UNIFORMS-PD	POLICE DEPARTMENT	186.98
O'HERRON CO	QUARTERMASTER-UNIFORMS-PD	POLICE DEPARTMENT	628.14
O'HERRON CO	QUARTERMASTER-UNIFORMS-PD	POLICE DEPARTMENT	534.24
Total O'HERRON CO:			6,202.07
OLD NATIONAL BANK/FD	LUNCH FOR DEPTS AFTER MUTUAL AID TRAINING	FIRE DEPARTMENT	110.75
OLD NATIONAL BANK/FD	REFUND FOR STATE TAXES CHARGED	FIRE DEPARTMENT	11.87-
OLD NATIONAL BANK/FD	KEYBOARD	FIRE DEPARTMENT	34.99
OLD NATIONAL BANK/FD	FOUR POST TABLE	FIRE DEPARTMENT	377.00
OLD NATIONAL BANK/FD	JUSTIN LEWANDOWSKI - BOOTS	FIRE DEPARTMENT	259.98
OLD NATIONAL BANK/FD	CORE TARPS	FIRE DEPARTMENT	46.06

Name	Description	DEPARTMENT	Net Invoice Amount
OLD NATIONAL BANK/FD	UNIFORMS	FIRE DEPARTMENT	552.89
OLD NATIONAL BANK/FD	BOOTS - JOHNSON	FIRE DEPARTMENT	297.64
Total OLD NATIONAL BANK/FD:			1,667.44
OLD NATIONAL BANK/FIN	FAREWELL LUNCHEON	MANAGER'S OFFICE	341.48
Total OLD NATIONAL BANK/FIN:			341.48
OLD NATIONAL BANK/MO	APPLE MUSIC MONTHLY	MANAGER'S OFFICE	10.99
OLD NATIONAL BANK/MO	FAREWELL LUNCHEON	MANAGER'S OFFICE	175.62
OLD NATIONAL BANK/MO	FAREWELL LUNCHEON	MANAGER'S OFFICE	82.95
OLD NATIONAL BANK/MO	EQUIPMENT	MANAGER'S OFFICE	1,589.94
OLD NATIONAL BANK/MO	CONFERENCE TRAVEL	MANAGER'S OFFICE	976.63
OLD NATIONAL BANK/MO	LUNCHEON	MANAGER'S OFFICE	81.36
OLD NATIONAL BANK/MO	COMCAST CONSOLIDATED BILL	MANAGER'S OFFICE	1,716.89
OLD NATIONAL BANK/MO	COMCAST CONSOLIDATED BILL	MANAGER'S OFFICE	21.60
OLD NATIONAL BANK/MO	CONSTANT CONTACT MAY 2026	MANAGER'S OFFICE	175.00
OLD NATIONAL BANK/MO	REFUND OF OVERPAYMENT	MANAGER'S OFFICE	1.60
OLD NATIONAL BANK/MO	SENIOR DIAMOND PAINTING	MANAGER'S OFFICE	101.88
OLD NATIONAL BANK/MO	SIGN HOLDERS	MANAGER'S OFFICE	94.85
OLD NATIONAL BANK/MO	NATIONAL NIGHT OUT ROCK WALL	MANAGER'S OFFICE	1,460.00
OLD NATIONAL BANK/MO	SENIOR DIAMOND PAINTING	MANAGER'S OFFICE	62.39
OLD NATIONAL BANK/MO	EQUIPMENT	MANAGER'S OFFICE	346.61
OLD NATIONAL BANK/MO	HOMESWEETHOMEWOOD RENEWAL	MANAGER'S OFFICE	19.95
OLD NATIONAL BANK/MO	CONFERENCE TRAVEL	MANAGER'S OFFICE	29.30
OLD NATIONAL BANK/MO	SENIOR DIAMOND PAINTING	MANAGER'S OFFICE	99.98
OLD NATIONAL BANK/MO	SENIOR DIAMOND PAINTING	MANAGER'S OFFICE	48.01
OLD NATIONAL BANK/MO	EXCHANGE LICENSE REBALANCING	MANAGER'S OFFICE	385.59
OLD NATIONAL BANK/MO	PHOTOGRAPHY	MANAGER'S OFFICE	65.00
OLD NATIONAL BANK/MO	CIVICS ACADEMY	MANAGER'S OFFICE	203.86
OLD NATIONAL BANK/MO	ART & GARDEN ACTIVITY CORNER	MANAGER'S OFFICE	483.75
OLD NATIONAL BANK/MO	LACROSS TEAM CLEAN UP	MANAGER'S OFFICE	50.25
OLD NATIONAL BANK/MO	ZOOM MONTHLY	MANAGER'S OFFICE	48.00
Total OLD NATIONAL BANK/MO:			8,328.80
OLD NATIONAL BANK/PD	CPR TRAINING SUPPLIES	POLICE DEPARTMENT	138.25
OLD NATIONAL BANK/PD	VEHICLE EQUIPMENT	POLICE DEPARTMENT	103.80
OLD NATIONAL BANK/PD	OFFICE SUPPLIES	POLICE DEPARTMENT	252.74
OLD NATIONAL BANK/PD	OFFICE SUPPLIES	POLICE DEPARTMENT	27.50
OLD NATIONAL BANK/PD	OFFICE SUPPLIES	POLICE DEPARTMENT	5.99
OLD NATIONAL BANK/PD	OFFICE SUPPLIES	POLICE DEPARTMENT	9.90
OLD NATIONAL BANK/PD	TRAINING SUPPLIES	POLICE DEPARTMENT	28.84
OLD NATIONAL BANK/PD	VEHICLE EQUIPMENT	POLICE DEPARTMENT	95.85
OLD NATIONAL BANK/PD	OFFICE SUPPLIES	POLICE DEPARTMENT	278.47
OLD NATIONAL BANK/PD	OFFICE SUPPLIES	POLICE DEPARTMENT	89.63
OLD NATIONAL BANK/PD	OFFICE SUPPLIES	POLICE DEPARTMENT	349.00
OLD NATIONAL BANK/PD	BATTERIES	POLICE DEPARTMENT	214.30
OLD NATIONAL BANK/PD	OFFICE SUPPLIES	POLICE DEPARTMENT	42.50
OLD NATIONAL BANK/PD	OFFICE SUPPLIES	POLICE DEPARTMENT	64.39
OLD NATIONAL BANK/PD	QUARTERMASTER-UNIFORMS-PD	POLICE DEPARTMENT	821.41
OLD NATIONAL BANK/PD	WOMEN IN CRIMINAL JUSTICE CONFERENCE	POLICE DEPARTMENT	246.40
OLD NATIONAL BANK/PD	WOMEN IN CRIMINAL JUSTICE CONFERENCE	POLICE DEPARTMENT	246.40
OLD NATIONAL BANK/PD	WOMEN IN CRIMINAL JUSTICE CONFERENCE	POLICE DEPARTMENT	246.40
OLD NATIONAL BANK/PD	VEHICLE EQUIPMENT	POLICE DEPARTMENT	2,317.67
OLD NATIONAL BANK/PD	OFFICE SUPPLIES	POLICE DEPARTMENT	59.98

Name	Description	DEPARTMENT	Net Invoice Amount
OLD NATIONAL BANK/PD	EVIDENCE SUPPLIES	POLICE DEPARTMENT	109.57
OLD NATIONAL BANK/PD	IDEOA CONFERENCE	POLICE DEPARTMENT	253.00
OLD NATIONAL BANK/PD	IDEOA CONFERENCE	POLICE DEPARTMENT	253.00
OLD NATIONAL BANK/PD	SSERT EQUIPMENT	POLICE DEPARTMENT	2,165.48
Total OLD NATIONAL BANK/PD:			8,420.47
OLD NATIONAL BANK/PW	TRAILER REPAIR	PUBLIC WORKS	83.57
OLD NATIONAL BANK/PW	CREDIT	PUBLIC WORKS	277.37-
OLD NATIONAL BANK/PW	EQUIPMENT	PUBLIC WORKS	195.04
OLD NATIONAL BANK/PW	BUILDING MAINT TOOLS	PUBLIC WORKS	105.44
OLD NATIONAL BANK/PW	SCIENCE CENTER PLUMBING	PUBLIC WORKS	766.94
OLD NATIONAL BANK/PW	1221 175TH REPAIRS	PUBLIC WORKS	83.82
OLD NATIONAL BANK/PW	OPERATING EQUIPMENT	PUBLIC WORKS	562.92
OLD NATIONAL BANK/PW	BUILDING MAINTENANCE TOOLS	PUBLIC WORKS	398.00
OLD NATIONAL BANK/PW	IAA MEMBERSHIOP	PUBLIC WORKS	140.00
OLD NATIONAL BANK/PW	UNIFORMS	PUBLIC WORKS	421.95
OLD NATIONAL BANK/PW	TIMECLOCKS - MSC/LM	PUBLIC WORKS	2,180.00
Total OLD NATIONAL BANK/PW:			4,660.31
OSCAR ZENDEJAS	QUARTERMASTER-UNIFORMS-PD	POLICE DEPARTMENT	1,250.00
Total OSCAR ZENDEJAS:			1,250.00
OTTOSEN DINOLFO HASENBAL	ADMINISTRATIVE HEARING OFFICER	MANAGER'S OFFICE	665.00
Total OTTOSEN DINOLFO HASENBALG & CASTALDO LTD:			665.00
PANASONIC CONNECT NORTH	TOUGHBOOK REPAIR FOR PD	MANAGER'S OFFICE	666.04
Total PANASONIC CONNECT NORTH AMERICA PROF SVC:			666.04
PERFORMANCE MANAGEMENT	ART & GARDEN BAND	MANAGER'S OFFICE	3,000.00
Total PERFORMANCE MANAGEMENT:			3,000.00
PITNEY BOWES	POSTAGE METER RENTAL & SVC AGREEMENT	MANAGER'S OFFICE	469.35
PITNEY BOWES	POSTAGE METER RENTAL - PD	MANAGER'S OFFICE	469.35
PITNEY BOWES	POSTAGE SUPPLIES - EZ SEAL	MANAGER'S OFFICE	91.29
Total PITNEY BOWES:			1,029.99
SANDRA BOWENS	WATER DEPOSIT REFUND	ASSETS	93.94
Total SANDRA BOWENS:			93.94
SEBIS - POSTAGE	SEBIS POSTAGE	PUBLIC WORKS	3,467.08
Total SEBIS - POSTAGE:			3,467.08
SEBIS DIRECT INC	SEBIS DIRECT	PUBLIC WORKS	695.79
Total SEBIS DIRECT INC:			695.79
SERENDIPITY YOGA AND WELL	YOGA CLASSES	FIRE DEPARTMENT	360.00

Name	Description	DEPARTMENT	Net Invoice Amount
Total SERENDIPITY YOGA AND WELLNESS LLC:			360.00
SHARK SHREDDING INC	MONTHLY SHREDDING	FIRE DEPARTMENT	69.00
Total SHARK SHREDDING INC:			69.00
SHOREWOOD HOME AND AUT	L&M REPAIR PARTS	PUBLIC WORKS	343.99
SHOREWOOD HOME AND AUT	STREET DEPT GENERATOR	PUBLIC WORKS	2,799.00
Total SHOREWOOD HOME AND AUTO INC:			3,142.99
SO SUB MAYORS & MANAGERS	EAP BILLING 5/1/26-10/31/26	MANAGER'S OFFICE	1,968.54
Total SO SUB MAYORS & MANAGERS ASSOC:			1,968.54
SOUND INCORPORATED	MONTHLY SERVICE FEE - DOOR ACCESS	MANAGER'S OFFICE	495.00
SOUND INCORPORATED	MONTHLY SERVICE FEE - DOOR ACCESS	MANAGER'S OFFICE	495.00
Total SOUND INCORPORATED:			990.00
SOUTH SUBURBAN PADS	PADS CONTRIBUTION	ASSETS	219.00
SOUTH SUBURBAN PADS	PADS CONTRIBUTION	ASSETS	219.00
Total SOUTH SUBURBAN PADS:			438.00
STANDARD EQUIPMENT CO	WATER DEPT REPAIR PARTS	PUBLIC WORKS	82.51
STANDARD EQUIPMENT CO	STREET DEPT REPAIR PARTS	PUBLIC WORKS	82.51
Total STANDARD EQUIPMENT CO:			165.02
STEVEN BRANDENBURGER	QUARTERMASTER-UNIFORMS-PD	POLICE DEPARTMENT	204.00
Total STEVEN BRANDENBURGER:			204.00
SWIFT SAW & TOOL SUPPLY	LIFT STATION 9 REPAIR SUPPLIES	PUBLIC WORKS	137.39
Total SWIFT SAW & TOOL SUPPLY:			137.39
TERMINAL SUPPLY COMPANY	OPERATING SUPPLIES VM	PUBLIC WORKS	294.37
Total TERMINAL SUPPLY COMPANY:			294.37
TERMINIX PROCESSING CNTR	PEST CONTROL SERVICE	PUBLIC WORKS	136.89
TERMINIX PROCESSING CNTR	PEST CONTROL SERVICE	PUBLIC WORKS	136.89
Total TERMINIX PROCESSING CNTR:			273.78
THE STUTTLEY GROUP LLC	ADJUDICATION HEARING OFFICER	MANAGER'S OFFICE	525.00
Total THE STUTTLEY GROUP LLC:			525.00
THOMPSON ELEVATOR INSPEC	ELEVATOR INSPECTION	FIRE DEPARTMENT	110.00
THOMPSON ELEVATOR INSPEC	ELEVATOR INSPECTION	FIRE DEPARTMENT	38.00
THOMPSON ELEVATOR INSPEC	ELEVATOR INSPECTION	FIRE DEPARTMENT	38.00
THOMPSON ELEVATOR INSPEC	ELEVATOR INSPECTION	FIRE DEPARTMENT	178.00

Name	Description	DEPARTMENT	Net Invoice Amount
Total THOMPSON ELEVATOR INSPECTION:			364.00
THORN CREEK BASIN SAN DIS	TCBSD REVENUE PAYOUT	ASSETS	75,792.52
THORN CREEK BASIN SAN DIS	LATE PMT PENALTIES CHARGED TO CUSTOMERS	ASSETS	1,274.09
THORN CREEK BASIN SAN DIS	TCBSD REVENUE PAYOUT	ASSETS	81,863.54
THORN CREEK BASIN SAN DIS	LATE PMT PENALTIES CHARGED TO CUSTOMERS	ASSETS	1,145.23
Total THORN CREEK BASIN SAN DISTRICT:			160,075.38
T-MOBILE	PHONES AND IPADS	MANAGER'S OFFICE	5,501.98
Total T-MOBILE:			5,501.98
TRIBUNE PUBLISHING CO LLC	LEGAL NOTICES	MANAGER'S OFFICE	217.76
Total TRIBUNE PUBLISHING CO LLC:			217.76
TRL TIRE SERVICE	PUBLIC WORKS TIRES	PUBLIC WORKS	933.96
TRL TIRE SERVICE	POLICE DEPT TIRES	PUBLIC WORKS	130.00
Total TRL TIRE SERVICE:			1,063.96
US JETTING LLC	WATER DEPT REPAIR PARTS	PUBLIC WORKS	791.37
Total US JETTING LLC:			791.37
UTERMARK & SONS QUALITY L	GRASS CUTTING	FIRE DEPARTMENT	300.00
UTERMARK & SONS QUALITY L	GRASS CUTTING	FIRE DEPARTMENT	227.43
Total UTERMARK & SONS QUALITY LAWN CARE CO:			527.43
VESTIS GROUP INC	RUGS & MAT SERVICE	PUBLIC WORKS	85.92
VESTIS GROUP INC	RUGS & MAT SERVICE	PUBLIC WORKS	82.52
VESTIS GROUP INC	RUGS & MAT SERVICE	PUBLIC WORKS	78.48
VESTIS GROUP INC	RUGS & MATS SERVICE	PUBLIC WORKS	75.24
VESTIS GROUP INC	UTILITY UNIFORMS	PUBLIC WORKS	87.28
VESTIS GROUP INC	L&M UNIFORMS	PUBLIC WORKS	36.03
VESTIS GROUP INC	FLEET UNIFORMS	PUBLIC WORKS	46.49
VESTIS GROUP INC	FEES	PUBLIC WORKS	50.20
VESTIS GROUP INC	BUILDING MAINTENANCE UNIFORMS	PUBLIC WORKS	23.25
VESTIS GROUP INC	STREETS UNIFORMS	PUBLIC WORKS	73.79
VESTIS GROUP INC	RUGS & MAT SERVICE	PUBLIC WORKS	85.92
VESTIS GROUP INC	RUGS & MAT SERVICE	PUBLIC WORKS	82.52
VESTIS GROUP INC	RUGS & MAT SERVICE	PUBLIC WORKS	78.48
VESTIS GROUP INC	RUGS & MAT SERVICE	PUBLIC WORKS	75.24
VESTIS GROUP INC	STREETS UNIFORMS	PUBLIC WORKS	73.79
VESTIS GROUP INC	BUILDING MAINTENANCE UNIFORMS	PUBLIC WORKS	23.25
VESTIS GROUP INC	L&M UNIFORMS	PUBLIC WORKS	36.03
VESTIS GROUP INC	FLEET UNIFORMS	PUBLIC WORKS	46.49
VESTIS GROUP INC	UTILITY UNIFORMS	PUBLIC WORKS	87.28
VESTIS GROUP INC	FEES	PUBLIC WORKS	50.20
VESTIS GROUP INC	RUGS & MATS	PUBLIC WORKS	82.52
VESTIS GROUP INC	RUGS & MATS	PUBLIC WORKS	78.48
VESTIS GROUP INC	RUGS & MATS	PUBLIC WORKS	75.24
VESTIS GROUP INC	RUGS & MATS	PUBLIC WORKS	85.92
VESTIS GROUP INC	RUGS & MATS	PUBLIC WORKS	82.52

Name	Description	DEPARTMENT	Net Invoice Amount
VESTIS GROUP INC	RUGS & MATS	PUBLIC WORKS	78.48
VESTIS GROUP INC	RUGS & MATS	PUBLIC WORKS	75.24
VESTIS GROUP INC	UTILITY UNIFORMS	PUBLIC WORKS	88.50
VESTIS GROUP INC	L&M UNIFORMS	PUBLIC WORKS	36.03
VESTIS GROUP INC	STREET UNIFORMS	PUBLIC WORKS	73.79
VESTIS GROUP INC	BUILDING MAINTENANCE UNIFORMS	PUBLIC WORKS	23.25
VESTIS GROUP INC	FLEET	PUBLIC WORKS	46.49
VESTIS GROUP INC	FEES	PUBLIC WORKS	50.36
Total VESTIS GROUP INC:			2,155.22
VITAL RECORDS CONTROL	SHREDDING	POLICE DEPARTMENT	160.68
Total VITAL RECORDS CONTROL:			160.68
WAREHOUSE DIRECT OFFICE	OFFICE SUPPLIES	PUBLIC WORKS	27.98
WAREHOUSE DIRECT OFFICE	OFFICE SUPPLIES	PUBLIC WORKS	67.26
WAREHOUSE DIRECT OFFICE	OFFICE SUPPLIES	PUBLIC WORKS	29.94
WAREHOUSE DIRECT OFFICE	OFFICE SUPPLIES	PUBLIC WORKS	74.28
WAREHOUSE DIRECT OFFICE	OFFICE SUPPLIES	PUBLIC WORKS	67.26
Total WAREHOUSE DIRECT OFFICE PDTS:			132.20
WEST SIDE TRACTOR SALES	STREET DEPT REPAIR PARTS	PUBLIC WORKS	1,021.92
WEST SIDE TRACTOR SALES	STREET DEPT REPAIR PARTS	PUBLIC WORKS	39.26
WEST SIDE TRACTOR SALES	STREET DEPT REPAIR PARTS	PUBLIC WORKS	222.58
Total WEST SIDE TRACTOR SALES:			1,283.76
WISCO	OXYGEN - FD	FIRE DEPARTMENT	160.24
WISCO	OXYGEN	FIRE DEPARTMENT	256.29
Total WISCO:			416.53
WRIGHT MATERIALS LLC	BLACK DIRT	PUBLIC WORKS	1,400.00
WRIGHT MATERIALS LLC	BLACK DIRT	PUBLIC WORKS	280.00
Total WRIGHT MATERIALS LLC:			1,680.00
ZIONS BANK	2024 BOND INTEREST PAYMENT	ADMIN & MGMT SERVICE	33,191.02
Total ZIONS BANK:			33,191.02
Grand Totals:			456,505.58

Dated: _____

Village Clerk: _____



BOARD AGENDA MEMORANDUM

DATE OF MEETING: May 26, 2026

To: Village President and Board of Trustees

Through: Napoleon Haney, Village Manager

From: Joshua Burman, Director of Public Works

Topic: Oath of Office – Ryan Jones

PURPOSE

Staff requests the Village Clerk administer the Oath of Office to Ryan Jones for the position of maintenance worker.

PROCESS

Ryan brings more than a decade of experience in municipal public works operations, emergency services, and infrastructure maintenance. Previously, he served as a full-time maintenance worker with the Village of Flossmoor Public Works Department, from December 2014 until his departure, where he gained extensive experience in the operation, maintenance, and upkeep of municipal infrastructure and public facilities. Prior to joining Flossmoor, Ryan worked as a full-time maintenance worker for the Village of Matteson Public Works Department from February 2012 through December 2014.

Ryan also has a long-standing connection to the Village of Homewood Public Works, where he worked in seasonal landscape and maintenance roles during multiple periods between 2003 and 2012. These experiences helped establish a strong foundation in public works operations, landscaping, and community maintenance services.

Ryan holds an Associate Degree in Fire Science from Prairie State College and is a graduate of Homewood-Flossmoor High School. He has also earned numerous professional certifications and credentials, including a Class C Water Operator License and ISA Certified Arborist designation.

OUTCOME

We welcome Ryan to Public Works Department and look forward to watching his career blossom with the Village.

FINANCIAL IMPACT

- **Funding Source: N/A**
- **Budgeted Amount: N/A**
- **Cost: N/A**

VILLAGE OF HOMEWOOD

Item 7. A.



LEGAL REVIEW

Not Needed

RECOMMENDED BOARD ACTION

Request the Village Clerk administer the Oath of Office to Ryan Jones for the position Utility Technician in the Department of Public Works.

ATTACHMENT(S)

None



BOARD AGENDA MEMORANDUM

DATE OF MEETING: May 26, 2026

To: Village President and Board of Trustees

Through: Napoleon Haney, Village Manager

From: Thomas Johnson, Chief of Police

Topic: Oath of Office – Lorielle Brown – Police Officer

PURPOSE

Staff requests the Village Clerk administer the oath of office to Officer Lorielle Brown for the position of Police Officer.

PROCESS

Background

Officer Lorielle Brown is a graduate of Hillcrest High School. She went on to attend St. Louis Community College-Meramac, Ashford University, South Suburban College, and Western Illinois University. Lorielle received a bachelor's science degree with a major in psychology and a minor in law enforcement administration from Western Illinois.

Officer Lorielle Brown graduated from the Cook County Sheriff's Police Academy in August 2023. She previously worked for the Romeoville Police Department and most recently for the South Holland Police Department. Prior to becoming a police officer, Officer Lorielle Brown worked as a correctional officer for the Cook County Department of Corrections.

Application Process

Lorielle Brown applied for the position of police officer through the Board of Fire and Police Commissioners' Police Officer Entry Level process. The Board of Fire and Police Commission met on March 16, 2026 to consider issuing a conditional offer of employment following a review of background reports. The Commissioners voted unanimously in favor of extending an offer of conditional employment, which was contingent upon the successful completion of polygraph, psychological, and medical exams.

Officer Lorielle Brown was already a certified police officer and she did not require any additional training in order to begin her career with the Homewood Police Department.

OUTCOME

Welcome Officer Lorielle Brown to the Police Department and Village.

VILLAGE OF HOMEWOOD

Item 7. B.



FINANCIAL IMPACT

- **Funding Source:** N/A
- **Budgeted Amount:** N/A
- **Cost:** N/A

LEGAL REVIEW

Not required

RECOMMENDED BOARD ACTION

Request the Village Clerk administer the Oath of Office to Officer Loriele Brown for the position of police officer.

ATTACHMENT(S)

None

2026 VILLAGE PROCLAMATION
DECLARING THE FIRST FRIDAY IN JUNE TO BE
NATIONAL GUN VIOLENCE AWARENESS DAY

This proclamation declares the first Friday in June to be National Gun Violence Awareness Day in the Village of Homewood to honor and remember all victims and survivors of gun violence and to declare that we as a country must do more to end this public health crisis.

WHEREAS, every day, nearly 130 people in the United States are killed by gun violence and more than 200 are shot and wounded, with an average of more than 19,000 gun homicides every year; and

WHEREAS, people in the United States are 26 times more likely to die by gun homicide than people in other high-income countries; and

WHEREAS, in Illinois has 1,758 gun deaths every year, with a rate of 14.1 deaths per 100,000 people, a crisis that costs the state \$18.6 Billion dollars each year, of which \$625.5 million is paid by taxpayers. Illinois has the 30th highest rate of gun deaths in the US; and

WHEREAS, gun homicides and assaults are concentrated in cities, with more than half of all gun homicides in the nation occurring in 42 cities; and

WHEREAS, cities across the nation, including in Homewood, are working to end the senseless violence with evidence-based solutions; and

WHEREAS, protecting public safety in the communities they serve is the mayors' highest responsibility; and

WHEREAS, support for the Second Amendment rights of law-abiding citizens goes hand-in-hand with keeping guns away from those who are a danger to themselves or others; and

WHEREAS, mayors, councilmembers, and law enforcement officers — in partnership with local violence intervention activists and resources — know their communities best, are the most familiar with local criminal activity and how to address it, and are best positioned to understand how to keep their citizens safe; and

WHEREAS, gun violence prevention is more important than ever as we see gun violence continue to impact communities across the country;

WHEREAS, in January 2013, Hadiya Pendleton was tragically shot and killed at age 15; and on June 5, 2026 to recognize the 29th birthday of Hadiya Pendleton (born: June 2, 1997), people across the United States will recognize National Gun Violence Awareness Day and wear orange in tribute to —

- (1) Hadiya Pendleton and other victims of gun violence; and
- (2) the loved ones of those victims; and

WHEREAS, the idea was inspired by a group of Hadiya’s friends, who asked their classmates to commemorate her life by wearing orange; they chose this color because hunters wear orange to announce themselves to other hunters when out in the woods, and orange is a color that symbolizes the value of human life; and

WHEREAS, anyone can join this campaign by pledging to wear orange on June 5, the first Friday in June 2026, to help raise awareness about gun violence; and

WHEREAS, by wearing orange on June 5, 2026 people across the United States will raise awareness about gun violence and honor the lives of gun violence victims and survivors; and

WHEREAS, we renew our commitment to reduce gun violence and pledge to do all we can to keep firearms out of the hands of people who should not have access to them and encourage responsible gun ownership to help keep our families and communities safe.

NOW, THEREFORE BE IT RESOLVED, that I, Mayor Hofield of the Village of Homewood, declare the first Friday in June, June 5, 2026, to be National Gun Violence Awareness Day. I encourage all citizens to support their local communities’ efforts to prevent the tragic impacts of gun violence and to save lives.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the Seal of the Village of Homewood to be affixed this 26th day of May, 2026.

Richard A. Hofeld, Village President

PROCLAMATION OF DISTINGUISHED SERVICE

WHEREAS, the Village recognizes members of the community who serve on Village boards and commissions for greater than 15 years as having performed uniquely distinguished service worthy of public recognition and celebration;

WHEREAS, the Planning and Zoning Commission serves an essential function of the Village of Homewood, invested with powers granted by both State statutes and Village ordinances to make decisions to guide the orderly growth and development of the Village of Homewood;

WHEREAS, such functions are served by volunteers of the Village of Homewood, who dedicate time and resources to carefully review and understand complex planning matters affecting the Village before making decisions or essential recommendations to the Board of Trustees on such matters;

WHEREAS, Mrs. Maureen Alfonso of Homewood, Illinois, has served in varying capacities on the Village’s Planning and Zoning Commission since 2001, appointed by Village President Richard Hofeld and serving for over 25 years as a member of the Commission, first serving on the Village’s Plan Commission before becoming part of the Village’s consolidated Planning and Zoning Commission;

WHEREAS, Mrs. Maureen Alfonso has provided invaluable contributions to the planning and development of the Village, strengthening the Village’s decision-making on matters affecting the physical appearance and form of the Village, carefully administering the Village’s Zoning Ordinance, and ensuring that the Village’s planning decisions are made on sound and rational reasoning and careful consideration of the long-term impacts of Village planning and zoning decisions.

THEREFORE, I, Richard A. Hofeld, President of the Village of Homewood, Illinois do hereby present this proclamation to Mrs. Maureen Alfonso for her dedicated service to the Village, and I urge all of our citizens to join the Village Board of Trustees and Village Staff in recognizing and honoring the contributions of Maureen’s work for the improvement of the Village, as well as her demonstration of exemplary, long-running public service to the Village and its residents.

In witness whereof I have set my hand and caused the seal of the Village of Homewood to be affixed hereto this 26th day of May, 2026.

Village President

PROCLAMATION OF DISTINGUISHED SERVICE

WHEREAS, the Village recognizes members of the community who serve on Village boards and commissions for greater than 15 years as having performed uniquely distinguished service worthy of public recognition and celebration;

WHEREAS, the Planning and Zoning Commission serves an essential function of the Village of Homewood, invested with powers granted by both State statutes and Village ordinances to make decisions to guide the orderly growth and development of the Village of Homewood;

WHEREAS, such functions are served by volunteers of the Village of Homewood, who dedicate time and resources to carefully review and understand complex planning matters affecting the Village before making decisions or essential recommendations to the Board of Trustees on such matters;

WHEREAS, Mr. Michael Cap of Homewood, Illinois, has served in varying capacities on the Village's Planning and Zoning Commission since 1998, appointed by Village President Richard Hofeld and serving for over 28 years as a member of the Commission, first serving on the Village's Plan Commission before becoming part of the Village's consolidated Planning and Zoning Commission;

WHEREAS, Mr. Michael Cap has provided invaluable contributions to the planning and development of the Village, strengthening the Village's decision-making on matters affecting the physical appearance and form of the Village, carefully administering the Village's Zoning Ordinance, and ensuring that the Village's planning decisions are made on sound and rational reasoning and careful consideration of the long-term impacts of Village planning and zoning decisions.

THEREFORE, I, Richard A. Hofeld, President of the Village of Homewood, Illinois do hereby present this proclamation to Mr. Michael Cap for his dedicated service to the Village, and I urge all of our citizens to join the Village Board of Trustees and Village Staff in recognizing and honoring the contributions of Michael's work for the improvement of the Village, as well as his demonstration of exemplary, long-running public service to the Village and its residents.

In witness whereof I have set my hand and caused the seal of the Village of Homewood to be affixed hereto this 26th day of May, 2026.

Village President

PROCLAMATION OF DISTINGUISHED SERVICE

WHEREAS, the Village recognizes members of the community who serve on Village boards and commissions for greater than 15 years as having performed uniquely distinguished service worthy of public recognition and celebration;

WHEREAS, the Planning and Zoning Commission serves an essential function of the Village of Homewood, invested with powers granted by both State statutes and Village ordinances to make decisions to guide the orderly growth and development of the Village of Homewood;

WHEREAS, such functions are served by volunteers of the Village of Homewood, who dedicate time and resources to carefully review and understand complex planning matters affecting the Village before making decisions or essential recommendations to the Board of Trustees on such matters;

WHEREAS, Mr. William (Bill) O'Brien of Homewood, Illinois, has served in varying capacities on the Village's Planning and Zoning Commission since 1985, appointed by Village President Richard Hofeld and serving for over 41 years as a member of the Commission, first serving on the Village's Zoning Board of Appeals before becoming part of the Village's consolidated Planning and Zoning Commission;

WHEREAS, Mr. William (Bill) O'Brien has provided invaluable contributions to the planning and development of the Village, strengthening the Village's decision-making on matters affecting the physical appearance and form of the Village, carefully administering the Village's Zoning Ordinance, and ensuring that the Village's planning decisions are made on sound and rational reasoning and careful consideration of the long-term impacts of Village planning and zoning decisions.

THEREFORE, I, Richard A. Hofeld, President of the Village of Homewood, Illinois do hereby present this proclamation to Mr. William (Bill) O'Brien for his dedicated service to the Village, and I urge all of our citizens to join the Village Board of Trustees and Village Staff in recognizing and honoring the contributions of Bill's work for the improvement of the Village, as well as his demonstration of exemplary, long-running public service to the Village and its residents.

In witness whereof I have set my hand and caused the seal of the Village of Homewood to be affixed hereto this 26th day of May, 2026.

Village President

PROCLAMATION OF DISTINGUISHED SERVICE

WHEREAS, the Village recognizes members of the community who serve on Village boards and commissions for greater than 15 years as having performed uniquely distinguished service worthy of public recognition and celebration;

WHEREAS, the Planning and Zoning Commission serves an essential function of the Village of Homewood, invested with powers granted by both State statutes and Village ordinances to make decisions to guide the orderly growth and development of the Village of Homewood;

WHEREAS, such functions are served by volunteers of the Village of Homewood, who dedicate time and resources to carefully review and understand complex planning matters affecting the Village before making decisions or essential recommendations to the Board of Trustees on such matters;

WHEREAS, Mr. Fred Sierzega of Homewood, Illinois, has served in varying capacities on the Village's Planning and Zoning Commission since 1977, appointed by former Village President Manny Hoffman and serving for over 49 years as a member of the Commission;

WHEREAS, Mr. Fred Sierzega has served as the Chair of the Village's Planning and Zoning Commission since 1999, presiding over Commission meetings and stewarding the Commission's decision-making role for over 27 years;

WHEREAS, Mr. Fred Sierzega has provided invaluable contributions to the planning and development of the Village, strengthening the Village's decision-making on matters affecting the physical appearance and form of the Village, carefully administering the Village's Zoning Ordinance, and ensuring that the Village's planning decisions are made on sound and rational reasoning and careful consideration of the long-term impacts of Village planning and zoning decisions.

THEREFORE, I, Richard A. Hofeld, President of the Village of Homewood, Illinois do hereby present this proclamation to Mr. Fred Sierzega for his dedicated service to the Village, and I urge all of our citizens to join the Village Board of Trustees and Village Staff in recognizing and honoring the contributions of Fred's work for the improvement of the Village, as well as his demonstration of exemplary, long-running public service to the Village and its residents.

In witness whereof I have set my hand and caused the seal of the Village of Homewood to be affixed hereto this 26th day of May, 2026.

Village President

RESOLUTION NO. R-3258

**A RESOLUTION APPROVING EXECUTIVE SESSION MINUTES FROM
OCTOBER 28, 2025 TO APRIL 14, 2026 AND AUTHORIZING THE DESTRUCTION
OF EXECUTIVE SESSION AUDIO RECORDINGS FROM JUNE 11, 2024
THROUGH NOVEMBER 12, 2024**

WHEREAS, the President and Board of Trustees of the Village of Homewood have met from time to time in executive session for purposes authorized by Illinois Open Meetings Act (5 ILCS 120/1 *et seq.*); and

WHEREAS, as required by the Act, the Village Clerk has kept written minutes and verbatim recordings of all such executive sessions; and

WHEREAS, the President and Board of Trustees have reviewed the minutes of executive sessions held on October 28, 2025 to April 14, 2026; and

WHEREAS, the Illinois Open Meetings Act requires public bodies to maintain a verbatim record of all closed meetings in the form of an audio or video recording for at least 18 months; and

WHEREAS, the Act permits the destruction of said verbatim records after 18 months, provided that the President and Board of Trustees have approved minutes for said closed session meetings; and

WHEREAS, all verbatim recordings of closed session meetings held from June 11, 2024 to November 12, 2024 are now more than 18 months old; and

WHEREAS, the President and Village Board previously have reviewed and approved closed session minutes for closed meetings held from June 11, 2024 to November 12, 2024.

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF HOMEWOOD, COOK COUNTY, ILLINOIS that:

SECTION 1 - APPROVAL OF EXECUTIVE SESSION MINUTES:

The following Executive Session Minutes are hereby approved:

October 28, 2025
December 9, 2025
January 27, 2026

March 10, 2026
April 14, 2026

SECTION 2 - APPROVAL OF DESTRUCTION OF VERBATIM RECORDINGS OF EXECUTIVE SESSIONS HELD FROM JUNE 11, 2024 THROUGH NOVEMBER 12, 2024:

The Village Clerk is hereby authorized and directed to dispose of executive session audio recordings of executive sessions held from June 11, 2024 through November 12, 2024.

This Resolution passed this 26th day of May, 2026.

Village President

ATTEST:

Village Clerk

Ayes: _____ Nays: _____ Abstain: _____ Absent: _____

RESOLUTION NO. R-3259

**A RESOLUTION DETERMINING MINUTES OR PORTIONS
THEREOF FROM EXECUTIVE SESSIONS NO LONGER
REQUIRING CONFIDENTIAL TREATMENT**

WHEREAS, the President and Board of Trustees of the Village of Homewood have met from time to time in executive session for purposes authorized by Illinois Open Meetings Act (5 ILCS 120/1 *et seq.*) (“the Act”); and

WHEREAS, as required by the Act, the Village Clerk has kept written minutes of all such executive sessions; and

WHEREAS, as required by the Act, the President and Board of Trustees recently met to review minutes of all closed meetings not previously opened to the public to determine whether: (1) the need for confidentiality still exists as to all or part of those minutes, or (2) that the minutes or portions thereof no longer require confidential treatment and will be available for public inspection; and

WHEREAS, as a result of this periodic review, the President and Board of Trustees have determined that the minutes (or portions thereof) of the meetings listed on the attached Exhibit “A” no longer require confidential treatment and should be made available for public inspection.

NOW, THEREFORE, BE IT RESOLVED by the President and Board of Trustees of the Village of Homewood, Cook County, Illinois that:

SECTION 1 - DETERMINATION OF MINUTES TO BE OPENED AND THOSE REQUIRING CONFIDENTIAL TREATMENT:

The Executive Session Minutes (or portions thereof) from those meetings set forth on Exhibit “A” no longer require confidential treatment and are hereby made available for public inspection. All Executive Session Minutes (or portions thereof) not identified in this, or prior Resolutions continue to require confidential treatment and shall not be made available for public inspection at this time

SECTION 2 - AUTHORIZATION TO MAKE MINUTES AVAILABLE:

The Village Clerk is hereby authorized and directed to make the minutes identified in Exhibit “A” available for inspection and copying in accordance with the Act.

This Resolution passed this 26th day of May, 2026.

Village President

ATTEST:

Village Clerk

Ayes: _____ Nays: _____ Abstentions: _____ Absences: _____

Exhibit A

Minutes from Executive Sessions
No Longer Requiring Confidential Treatment

10/28/25	Semi-annual review of executive session minutes
12/9/25	All



BOARD AGENDA MEMORANDUM

DATE OF MEETING: May 26, 2026

To: Village President and Board of Trustees

Through: Napoleon Haney, Village Manager

From: Noah Schumerth, Interim Director of Economic and Community Development

Topic: Cook County Class 8 Incentive - 18123 Harwood Avenue

PURPOSE

JWP Interpris Corporation (Joe Peters) is seeking Village support for a Class 8 property tax designation for the property at 18123 Harwood Avenue. The property is a vacant two-story mixed-use building. JWP proposes to renovate the building to construct two restaurants. They have requested the Village's support of a Cook County Class 8 incentive.

The Class 8 program encourages commercial development throughout Cook County by stimulating expansion, retaining existing businesses, and increasing employment opportunities. Under this program, the property is assessed at 10% during the first 10 years and for any subsequent 10-year renewal period.

PROCESS

The subject property is a mixed-use two-story building that has been vacant for approximately 20 years. JWP has proposed substantial renovation to the property to create two restaurant spaces on the first floor, which are to be occupied by Hibbing's Hotdogs and Old Fashion Donuts & Café. The project has involved significant interior and exterior improvements to reposition the property for commercial restaurant use and enhance its long-term value and occupancy.

The Cook County tax system has placed a heavy tax burden on commercial properties that must compete with the lower tax rates in adjacent counties and in Indiana, where the property tax rate is as much as 45% less. Cook County has recognized the property tax issue for the Chicago Southland and created the Class 8 Cook County Tax Incentive Program. The program identifies five (5) Cook County townships that have automatic certification for the incentive; the subject property is located in Thornton Township, one of the five designated townships.

Mr. Peters has been investing substantial resources into the building's restoration since 2022, approximately \$790,000 in improvements. Renovations include major updates to HVAC, plumbing, and electrical systems, complete installation of commercial kitchen equipment and restaurant interior, exterior restoration, comprehensive site cleanout, and parking lot repairs.



The estimated property taxes without an incentive would be \$46,500 annually. With a Class 8 incentive in place, property taxes will be reduced to approximately \$18,600 annually, resulting in an annual savings of \$27,900.

OUTCOME

Approval of this incentive will assist JWP Interpris in its ability to upgrade the building to meet modern code and health department standards.

The reactivation of the property will provide benefits to the Village:

- **Sales Tax/Places of Eating Tax:** By converting the space into two restaurants, the property will generate places of eating tax and sales tax for the Village.
- **Job Creation:** The new businesses will provide long-term employment for approximately eight employees.
- **Historic Preservation/Adaptive Reuse:** The project allows for the adaptive reuse of a prominently-located historic building in the Village’s downtown area.
- **Downtown TOD Redevelopment:** Rehabilitation and occupancy of this building will create new restaurants and apartments in Downtown Homewood, in alignment with two goals of the Downtown TOD Plan (increase housing density, improve diversity and scale of local businesses).

FINANCIAL IMPACT

- **Funding Source:** N/A
- **Budgeted Amount:** N/A
- **Cost:** N/A

LEGAL REVIEW

Completed

RECOMMENDED BOARD ACTION

Pass a resolution supporting and consenting to a Class 8 Cook County tax classification for the property located at 18123 Harwood Avenue, owned by JWP Interpris Corporation (Joe Peters).

ATTACHMENT(S)

- Resolution
- Request for Class 8

RESOLUTION NO. R-3260

A RESOLUTION SUPPORTING CLASS 8 STATUS UNDER THE COOK COUNTY REAL PROPERTY ASSESSMENT CLASSIFICATION ORDINANCE FOR REAL ESTATE LOCATED AT 18123 HARWOOD AVENUE, HOMEWOOD, COOK COUNTY, ILLINOIS.

WHEREAS, the Village of Homewood desires to promote the development of commercial property in the Village of Homewood; and

WHEREAS, the Cook County Assessor is operating under an ordinance enacted by the Cook County Board of Commissioners, instituting a program to encourage commercial development in Cook County known as the Cook County Real Property Assessment Classification Ordinance; and

WHEREAS, the property described below is located within Thornton Township, one of five townships targeted by the South Suburban Tax Reactivation Pilot Program, and is eligible for Class 8 incentives without any application for certification of the area; and

WHEREAS, pursuant to the Cook County Real Property Assessment Classification Ordinance, real estate used primarily for industrial or commercial purposes that is newly constructed, substantially rehabilitated, or found "abandoned" and located in one of the townships targeted under the South Suburban Tax Reactivation Program may qualify for a Class 8 property tax incentive; and

WHEREAS, Joe Peters, JWP Interpris Corporation is the owner of the property at 18123 Harwood Avenue, Homewood, Cook County, Illinois, legally described in the attached Exhibit A; and

WHEREAS, the subject property has been vacant for longer than two years; and

WHEREAS, the Homewood Village Board finds that special circumstances are present to justify awarding the Class 8 incentive to this property. Those circumstances are the outdated interior and substantial rehabilitation with infrastructure upgrades need to transform the vacant, aging mixed-use structure into two restaurants. Renovations include major updates to HVAC, plumbing and electrical systems, complete installation of commercial kitchen equipment and restaurant interior, exterior restoration and comprehensive site cleanout, and parking lot repairs; and

WHEREAS, the Homewood Village Board finds that "but for" the Class 8 property tax incentive, the substantial rehabilitation and subsequent re-occupancy of the property would not be viable; and

WHEREAS, the Applicant has applied for a Class 8 real estate tax incentive and has demonstrated to this Board that the incentive is necessary for the continued development and growth of the property.

WHEREAS, the subject property is located in an area planned for the revitalization and rehabilitation of commercial structures, as identified in the adopted 1999 Comprehensive Plan and the adopted 2024 Downtown Transit-Oriented Development Master Plan;

WHEREAS, the existing mixed-use structure requires physical rehabilitation, and the Applicant has determined that the rehabilitation and reoccupation of the property is not economically feasible without this incentive.

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF HOMEWOOD, COOK COUNTY, ILLINOIS:

1. The above recitations are incorporated herein as if fully restated.
2. The Board of Trustees of the Village of Homewood hereby supports and consents to the application to have the property described in Exhibit A declared eligible for the Class 8 real estate tax incentive, and the incentive is necessary for the rehabilitation and reoccupation of the property.
3. The proposed project is consistent with the overall plans for the area, including adopted plans to revitalize and rehabilitate existing commercial structures.
4. The Village President, Village Clerk, and other appropriate Village of Homewood officials are hereby authorized to sign any necessary documents to implement this resolution.

This resolution passed this 26th day of May 2026.

Village President

ATTEST:

Village Clerk

AYES: _____ NAYS: _____ ABSTENTIONS: _____ ABSENCES: _____

January 26, 2026

Village of Homewood Village President and Board of Trustees
c/o Ms. Angela Mesaros
Director of Economic and Community Development
Village of Homewood
2020 Chestnut Rd
Homewood, IL 60430

Re: Request for Class 8 Property Tax Incentive with Special Circumstances
PIN(s): 29-31-313-003 & -004
Address: 18123 Harwood Avenue, Homewood
Applicant: JWP Interpris Corporation (Joe Peters)

Dear Ms. Mesaros:

On behalf of our client, JWP Interpris Corporation, we are respectfully requesting that the Village of Homewood issue a Resolution of Support for a Class 8 Property Tax Incentive for the multi-tenant restaurant building located at 18123 Harwood Avenue (the "Subject Property").

The Need for Relief

As a brief background, the Class 8 Property Tax Incentive is a critical economic development tool established by Cook County to encourage commercial and industrial reinvestment. It allows qualifying properties to be assessed at 10% of market value rather than the standard 25% assessment rate applied to other commercial properties. This designation does not remove the property from the tax rolls; rather, it stabilizes the tax burden to a competitive level, ensuring the property remains occupied, productive, and a generator of revenue for the Village.

Property Profile & "Special Circumstances"

The Subject Property is a mixed-use two-story building that was vacant for approximately twenty years. Our client is substantially rehabilitating this aging mixed-use structure for the installation of two restaurants. We are requesting a finding of **"Special Circumstances"** based on the substantial capital investment required to rehabilitate and re-occupy the Subject Property.

Due to the age of the structure and deferred maintenance, the property requires massive upgrades to meet modern code and health department standards. Our client is investing approximately **\$790,000** in capital improvements, including:

Request for Class 8 Property Tax Incentive with Special Circumstances

PIN(s): 29-31-313-003 & -004

Address: 18123 Harwood Avenue, Homewood

Applicant: JWP Interpris Corporation (Joe Peters)

Page 2

- **Infrastructure Overhaul:** Major upgrades to HVAC, plumbing, and electrical systems to support commercial cooking.
- **Build-Out:** Complete installation of commercial kitchen equipment and restaurant interiors.
- **Exterior Restoration:** Painting, façade restoration, and monument sign installation.
- **Site Work:** Comprehensive site cleanout, parking lot repairs, sealing, and striping.

Economic Impact: A New Dining Destination

Upon completion, the property will house two distinct dining concepts: **Hibbing's Hotdogs** and **Old Fashion Donuts & Cafe**.

The reactivation of this site provides immediate benefits to the Village:

- **Sales Tax Generation:** By converting residential/office space into two restaurants, the property will now generate significant food and beverage sales tax, providing a direct financial return to Homewood.
- **Job Creation:** The businesses will create **8 full-time local jobs**.
- **Corridor Vitality:** Adding two quality dining options will create a destination that serves residents and draws visitors from neighboring communities into Homewood.

Tax Analysis: The Classification Risk

Despite the owner's commitment to renovate, the tax liability represents a significant hurdle:

- **Projected Liability (Without Incentive):** ~\$46,500 (Assessed at 25%)
- **Projected Liability (With Incentive):** ~\$18,600 (Assessed at 10%)

Without the Class 8 Incentive, the tax bill will more than double. For startup restaurants operating on thin 3-5% margins, a \$46,500 tax bill creates a "gross occupancy cost" that

Request for Class 8 Property Tax Incentive with Special Circumstances

PIN(s): 29-31-313-003 & -004

Address: 18123 Harwood Avenue, Homewood

Applicant: JWP Interpris Corporation (Joe Peters)

Page 3

is unsustainable. The Class 8 Incentive is essential to keep the tax burden at levels that ensure the renovation and re-occupancy is financially viable.

Conclusion

Therefore, we respectfully request that the Village issue a Resolution supporting a Class 8 Property Tax Incentive for the subject property finding that:

1. **"But For"** the Class 8 Property Tax Incentive, the substantial rehabilitation and subsequent re-occupancy are not viable; and
2. **"Special Circumstances"** are present. In this case, the subject's outdated interior and the substantial rehabilitation with infrastructure upgrades needed qualify for "Special Circumstances."

Should you need any additional information or documentation, please feel free to give me a call. I greatly appreciate your help and cooperation in this matter.

Sincerely,
SANDRICK LAW FIRM LLC



Michael J. Pyrchalla
Attorney

18123 Harwood Ave, Homewood, IL

Tax Projections

	Class 5	Incentive
Assumed TAV	100,775	40,310
Eff Tax Rate	46.045%	(Based on last available)

	<u>25%</u>	<u>10%</u>
Base Year	\$ 46,402	\$ 18,561
Year 2	\$ 47,562	\$ 19,025
Year 3	\$ 48,751	\$ 19,500
Year 4	\$ 49,970	\$ 19,988
Year 5	\$ 51,219	\$ 20,488
Year 6	\$ 53,812	\$ 21,525
Year 7	\$ 55,157	\$ 22,063
Year 8	\$ 56,536	\$ 22,614
Year 9	\$ 57,949	\$ 23,180
Year 10	\$ 59,398	\$ 23,759

SANDRICK LAW FIRM LLC

A DIVISION OF KOVITZ SHIFRIN NESBIT

Item 10. C.

November 21, 2025

Ira Horwitz
Cook County Assessor's Office
Incentive Program
118 North Clark Street
Chicago, IL 60602

Re: Class 8 Application
PIN: 29-31-313-003 & -004
Address: 18123 Harwood Avenue, Homewood
Joe Peters

Dear Ira:

Enclosed, please find a Class 8 Application along with a check in the amount of \$500.00 for the above-referenced parcel. We will forward the resolution as soon as we receive it.

Should you need any additional information or documentation, please feel free to give me a call. Thank you for your help and cooperation with this matter.

Sincerely,

SANDRICK LAW FIRM LLC



Adam E. Dotson
Director of Economic Development
AED/nrb

Enclosure



CLASS 8
ELIGIBILITY APPLICATION

CONTROL NUMBER

Carefully review the Class 8 Eligibility Bulletin before completing this Application. For assistance, please contact the Assessor's Office, Development Incentives Department (312) 603-7529. This application, **a filing fee of \$500.00**, and supporting documentation (*except drawings and surveys*) must be filed as follows:

This application must be filed **PRIOR TO** the commencement of New Construction or **PRIOR TO** the commencement of Substantial Rehabilitation Activities or **PRIOR TO** the commencement of Reoccupation of Abandoned Property.

Applicant Information

Name: Joe Peters Telephone: (_____) _____
Company: JWP Interpris Corporation
Address: _____
City: Flossmoor State: IL Zip Code: 60422
Email: _____

Contact Person (if different than the Applicant)

Name: Adam E. Dotson Telephone: (312) 867-1515
Company: Sandrick Law Firm
Address: 1005 W. 175th Street
City: Homewood State: IL Zip Code: 60430
Email: adotson@ksnlaw.com

Property Description (per PIN)

If you are applying for more than three different PINs, please submit the additional PIN information in an attachment.

Street Address: (1) 18123 Harwood Avenue
Permanent Real Estate Index Number: 29-31-313-003 & -004
(2) _____
Permanent Real Estate Index Number: _____
(3) _____
Permanent Real Estate Index Number: _____

City: Homewood ZIP: 60430
Township: Thornton Existing Class: 2-12

Class 8 application is based upon the location of the property in:

- 1) An area which has been certified for Class 8
- 2) One of the following townships: Bloom, Bremen, Calumet, Rich, or Thornton
- 3) Property obtained through the Cook County Tax Reactivation Program

Identification of Person Having an Interest in the Property

Attach a complete list of all owners, developers, occupants and other interested parties (including all beneficial owners of a land trust) identified by names and addresses, and the nature and extent of their interest.

Property Use

Type of Development: Industrial or Commercial (Please circle one)

General Description of Proposed Property Usage Two restaurants

Attach a detail description of the precise nature and extent of the intended use of the subject property, specifying in the case of the multiple uses the relative percentages of each use.

Attach legal description, site dimensions and square footage and building dimensions and square footage.

Include copies of materials, which explain the occupant's business, including corporate letterhead, brochures, advertising material, leases, photographs, etc.

Employment Opportunities

How many construction jobs will be created as a result of this development? 52

How many new permanent full-time and part-time employees do you now employ in Cook County?

Full-time: _____ Part-time: _____

How many new permanent full-time jobs will be created by this proposed development? 8

How many new permanent part-time jobs will be created by this proposed development? 0

Nature of Development

Indicate nature of proposed development by checking the appropriate space:

- New Construction (Read and Complete Section A)
- Substantial Rehabilitation (Read and Complete Section A)
Incentive only applied to the market value attributable to the rehabilitation
- Occupation of Abandoned Property - No Special Circumstance
(Read and Complete Section B)
- Occupation of Abandoned Property - With Special Circumstance
(Read and Complete Section C)
- Occupation of Abandoned Property - (CEERM)
(Read and Complete Section C AND CEERM Supplemental Application)

SECTION A (NEW CONSTRUCTION/SUBSTANTIAL REHABILITATION)

If the proposed development consists of *New Construction* or *Substantial Rehabilitation*, provide the following information:

Estimated date of construction

Commencement (*excluding demolition, if any*): _____

Estimated date of construction completion: _____

Attach copies of the following:

1. Specific description of the proposed *New Construction* or *Substantial Rehabilitation*
2. Current Plat of Survey for subject property
3. 1st floor plan or schematic drawings
4. Building permits, wrecking permits and occupancy permits (*including date of issuance*)
5. Complete description of the cost and extent of the *Substantial Rehabilitation* or *New Construction* (*including such items as contracts, itemized statements of all direct and indirect costs, contractor's affidavits, etc*)

SECTION B (ABANDONED PROPERTY WITH NO SPECIAL CIRCUMSTANCES)

If the proposed development consists of the reoccupation of abandoned property, purchased for value, complete (1) and (2) below:

1. Was the subject property vacant and unused for at least 12 continuous months prior to the purchase for value?

YES NO

When and by whom was the subject property last occupied prior to the purchase for value?

Attach copies of the following documents:

- (a) Sworn statements from person having personal knowledge attesting to the fact and the duration of vacancy and abandonment
- (b) Information (*such as statements of utility companies*) which demonstrate that the property was vacant and unused and indicate duration of such vacancy

2. Application must be made to the Assessor prior to occupation:

Estimated date of reoccupation: _____
 Date of Purchase: _____
 Name of purchaser: _____
 Name of seller: _____
 Relationship of purchaser to seller: _____

Attach copies of the following documents:

- (a) Sale Contract
- (b) Closing Statement
- (c) Recorded Deed
- (d) Assignment of Beneficial Interest
- (e) Real Estate Transfer Declaration

SECTION C (SPECIAL CIRCUMSTANCES)

If the applicant is seeking special circumstances to establish that the property was abandoned for purposes of the Incentive where there was a **purchase for value**, but the period of **abandonment prior to purchase was less than 12 months**, complete section (1).

If the applicant is seeking special circumstances to establish that the property was abandoned for purposes of the Incentive where there was **no purchase for value**, but the period of **abandonment prior to the application 12 continuous months or greater**, complete section (2).

1. How long was the period of abandonment prior to the purchase for value? _____

When and by whom was the subject property last occupied prior to the purchase for value?

Attach copies of the following documents:

- (a) Sworn statements from persons having personal knowledge attesting to the fact and the duration of the vacancy and abandonment
- (b) Information (such as statements of utility companies) which demonstrate that the property was vacant and unused and indicate duration of vacancy
- (c) Include the finding of special circumstances supporting "abandonment" as determined by the municipality, or the County Board, if located in an unincorporated area. Also include the ordinance or resolution from the Board of Commissioners of Cook County stating its approval for less than 12-month abandonment period.

Application must be made to the Assessor prior to the commencement of reoccupation of the abandoned property.

Estimated date of Reoccupation: _____
 Date of purchase: _____
 Name of purchaser: _____
 Name of seller: _____
 Relationship of purchaser to seller: _____

Attach copies of the following documents:

- (a) Sale Contract
- (b) Closing Statement
- (c) Recorded Deed
- (d) Assignment of Beneficial Interest
- (e) Real Estate Transfer Declaration

2. How long has the subject property been unused?

- 12 or greater continuous months (Eligible for Special Circumstance)
- 3 continuous months and maintain/create 250 Employees (Eligible for Special Circumstance under CEERM) - Complete CEERM Supplemental Application
- Not Eligible for Special Circumstance if No purchase and less than 12 continuous months vacant, or not a CEERM

When and by whom was the subject property last occupied prior to the filing of this application?
Same owner, vacant more than 12 months; special circumstances

Attach copies of the following documents:

- (a) Sworn statements from persons having personal knowledge attesting to the fact and the duration of the vacancy and abandonment
- (b) Information (*such as statements of utility companies*) which demonstrate that the property was vacant and unused and indicate duration of vacancy
- (c) Include the finding of special circumstances supporting "abandonment" as determined by the municipality, or the County Board, if located in an unincorporated area. Also include the ordinance or resolution from the Board of Commissioners of Cook County stating its approval for lack of a purchase for value.

Application must be made to Assessor prior to the commencement of reoccupation of the abandoned property.

Estimated date of reoccupation: First quarter of 2026

LOCAL APPROVAL


A certified copy of a resolution or ordinance from the municipality in which the real estate is located (or the County Board, if the real estate is located in an unincorporated area) should accompany this Application. The ordinance or resolution must expressly state that the municipality supports and consents to this Class 8 Application and that it finds Class 8 necessary for development to occur on the subject property. If a resolution is unavailable at the time the application is filed, a letter from the municipality or the County Board, as the case may be, stating that a resolution or ordinance supporting the Incentive has been requested may be filed with this application instead. If the applicant is seeking to apply based on the reoccupation of abandoned property and will be seeking a finding of "special circumstances" from the municipality, in addition to obtaining a letter from the municipality confirming that a resolution or ordinance supporting the Incentive has been requested, the applicant must file a letter from the County Board confirming that a resolution validating a municipal finding of special circumstances has been requested. If, at a later date, the municipality or the County Board denies the applicant's request for a resolution or ordinance, the applicant will be deemed ineligible for the Class 8 Incentive, whether or not construction has begun. In all circumstances, the resolution must be submitted by the time the applicant files an "Incentive Appeal".

FINALIZING THE INCENTIVE PROCESS

In order to finalize the class change you will need to file an **Incentive Appeal** with supporting documentation (including **Proof of Occupancy**) in the year that the property has been substantially occupied. It is advised that you access our website (www.cookcountyassessor.com) to determine the allowable filing dates for such action.

When filing an appeal requesting an Incentive Class Change a **\$100.00 filing fee** (made out to the **Cook County Assessor**) must be included. The property cannot receive Class 8 designation until you file an Incentive Appeal, AND this office grants reclassification for the parcel(s).

I, the undersigned, certify that I have read this Application and that the statements set forth in this Application and in the attachments hereto are true and correct, except as those matters stated to be on information and belief and as to such matters, the undersigned certifies that he/she believes the same to be true.



Signature

Adam E. Dotson

Print Name

11/21/2025

Date

Agent for Applicant

Title

**Note: If title to the property is held in trust or by a corporation or a partnership, this Class 8 Eligibility Application must be signed by a beneficiary, officer or general partner.*

CEERM SUPPLEMENTAL APPLICATION

(This form will ONLY be utilized for applicants who specifically elect for CEERM)

This supplemental eligibility application is for properties that have been abandoned (due to special circumstances) where there has been no purchase for value and the buildings and other structures have been vacant and unused for at least three continuous months and applicant has provided sufficient documentation to establish that such applicant will create or maintain at least 250 jobs for employees at the subject location.

The CEERM Program shall be limited to the party who is the initial applicant of the Class 8 Incentive under the CEERM Program and the subject of the municipal Resolution or Ordinance.

Under the CEERM Program, qualifying industrial real estate would be eligible for the Class 8 level of assessment from the date of substantial re-occupancy of the abandoned property. Properties receiving Class 8 will be assessed at 10% of market value for the first 10 years, 15% in the 11th year and 20% in the 12th year. The terms of this program are Not Renewable.

I _____ applicant/representative hereby specifically elect to submit this **Supplemental Application** for the **CEERM** program.

Further affiant sayeth not.

Agent's Signature

Agent's Name & Title

Agent's Mailing Address

Agent's Telephone Number

Applicant's Name

Applicant's Mailing Address

Applicant's e-mail address

Subscribed and sworn before me this _____ day of _____, 20 _____

Signature of Notary Public

Revised 4/1/22



BOARD AGENDA MEMORANDUM

DATE OF MEETING: May 26, 2026

To: Village President and Board of Trustees

Through: Napoleon Haney, Village Manager

From: Noah Schumerth, Interim Director of Economic and Community Development

Topic: Cook County Class 8 Incentive at 2345 183rd Street (Berkot's Super Foods)

PURPOSE

Ace Group Inc. (Berkot's Super Foods) is seeking Village support for a Class 8 property tax designation for the property at 2345 W 183rd Street. The property is an existing grocery store which was recently reoccupied by Berkot's Super Foods (formerly occupied by Walt's Food Center). The new owner proposes approximately \$2.65 million in investment to upgrade and rehabilitate the building to support the new grocery store, focused on resolving code violations, increasing the market competitiveness of the store, improving the overall condition of the property, and increasing sales activity at the store. The property owner has stated that "but-for" the proposed Class 8 incentive, the purchase of the property, continued operation of the store as a grocer, and necessary investment in the property are not feasible.

The Class 8 program encourages commercial development throughout Cook County by stimulating expansion, retaining existing businesses, and increasing employment opportunities. Under this program, the property is assessed at 10% during the first 10 years and for any subsequent 10-year renewal period.

PROCESS

In October 2025, Ace Group Inc. acquired the existing Walt's Food Center property at 2345 183rd Street. This sale led to the change in the name/branding of the store to "Berkot's Super Foods." The property was purchased in a transaction which led to the purchase of four Walt's grocery stores in the south suburbs, including the Homewood location.

The new owners have proposed substantial reinvestment into the property, including \$2.65 million in improvements to modernize the store. The improvements are focused on compliance with current building codes, renovation of the exterior of the building, and major equipment repair and replacement to improve the competitiveness and sales output of the store. The store's annual sales are anticipated to increase from \$19 million in 2025 to \$23 million by 2030.

The Cook County tax system has placed a heavy tax burden on commercial properties that must compete with the lower tax rates in adjacent counties and in Indiana, where the property tax



rate is as much as 45% less. Cook County has recognized the property tax issue for the Chicago Southland and created the Class 8 Cook County Tax Incentive Program. The program identifies five (5) Cook County townships that have automatic certification for the incentive; the subject property is located in Bloom Township, one of the five designated townships.

The Class 8 incentive is designed to promote the development of “abandoned” commercial development in Cook County, defined as property vacant for at least 12 months and meeting abandonment criteria established by Cook County. However, this requirement may be waived with the finding of “special circumstances” approved by the municipality in which the property is located. The Village finds that significant reinvestment is needed into the property to maintain a grocery store at its current scale, which is a significant contributor to sales tax revenue for the Village and is critical for grocery access for residents in the south suburbs. The Village finds that but for the proposed incentive, the property is unlikely to receive this necessary investment and that “special circumstances” apply uniquely to this property.

OUTCOME

Ace Group Inc. (Berkot’s Super Foods) plans to invest in the property through renovation and reinvestment into the property. The Project will address code compliance challenges with the existing store, and improve the performance of the property by addressing the issues of deferred maintenance, and aging site infrastructure and equipment.

FINANCIAL IMPACT

- **Funding Source:** N/A
- **Budgeted Amount:** N/A
- **Cost:** N/A

LEGAL REVIEW

Completed

RECOMMENDED BOARD ACTION

Pass a resolution supporting and consenting to a Class 8 Cook County tax classification for the property located at 2345 W 183rd Street, owned by Ace Group Inc. (Berkot’s Super Foods).

ATTACHMENT(S)

Resolution

A RESOLUTION NO. R-3261

A RESOLUTION SUPPORTING CLASS 8 STATUS UNDER THE COOK COUNTY REAL PROPERTY ASSESSMENT CLASSIFICATION ORDINANCE FOR REAL ESTATE AT 2345 W 183RD STREET, HOMEWOOD, COOK COUNTY, ILLINOIS

WHEREAS, the Village of Homewood desires to promote the development of commercial property within the village; and

WHEREAS, the Cook County Assessor is operating under an ordinance enacted by the Cook County Board of Commissioners, instituting a program to encourage commercial development in Cook County known as the Cook County Real Property Assessment Classification Ordinance; and

WHEREAS, the property described below is located within Bloom Township, one of five townships targeted by the South Suburban Tax Reactivation Pilot Program, and is eligible for the Class 8 incentive without any application for certification of the area; and

WHEREAS, pursuant to the Cook County Real Property Assessment Classification Ordinance, real estate used primarily for industrial or commercial purposes that is newly constructed, substantially rehabilitated, or found abandoned and located in one of the townships targeted under the South Suburban Tax Reactivation Program may qualify for the Class 8 incentive; and

WHEREAS, ACE Group, LLC, has purchased the commercial building at 2345 W. 183rd Street, Homewood, Cook County, Illinois, having Property Index Numbers 32-06-100-050, 32-06-100-051, 32-06-100-052, 32-06-100-075, 32-06-100-078, and 32-06-100-079, and legally described in the attached Exhibit A; and

WHEREAS, the Applicant has applied for Class 8 real estate tax incentive and has demonstrated to this Board that the incentive is necessary for re-occupation and rehabilitation of the subject property; and

WHEREAS, the property has not been vacant for greater than 12 months or otherwise met conditions which constitute “abandonment of property” which may qualify for the Class 8 incentive program;

WHEREAS, for properties that have not been vacant for 12 months or more, the municipality where the property is located must find that “special circumstances” apply to the property, justifying waiver of the 12-month vacancy requirement for the Class 8 incentive; and

WHEREAS, the property owner and the Village of Homewood agree that the property needs substantial reinvestment and rehabilitation to comply with local codes and ordinances and to maintain a level of market competitiveness necessary to avoid abandonment of the property; and

WHEREAS, ACE Group Inc. plans to complete approximately \$2.65 million in new investment to rehabilitate the structure and meet current building codes and ordinances of the Village of Homewood; and

WHEREAS, the proposed renovation and rehabilitation of the property is not economically feasible without this incentive; and

WHEREAS, ACE Group Inc. has presented plans to the Village of Homewood to complete these renovations in the manner consistent with the owner’s Class 8 incentive application.

NOW THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF HOMEWOOD, COOK COUNTY, ILLINOIS:

1. The above recitations are incorporated herein as if fully restated.
2. The Board of Trustees of the Village of Homewood supports and consents to the application by Ace Group Inc. to have the property located at 2345 W 183rd Street, Homewood, Cook County, Illinois legally described in the attached Exhibit A, and having Property Index Numbers 32-06-100-050, 32-06-100-051, 32-06-100-052, 32-06-100-075, 32-06-100-078, and 32-06-100-079 declared eligible for the Class 8 real estate tax incentive, in that the incentive is necessary for re-occupation of the subject property.
3. The proposed project is consistent with the overall plan for the area.
4. The Village has deemed the reoccupation and necessary rehabilitation of the property to constitute a finding of “special circumstances” to qualify the property for the Class 8 incentive;
5. The President, Village Clerk, and other appropriate Village of Homewood officials are hereby authorized to sign any necessary documents to implement this resolution.

This resolution passed on May 26, 2026.

Village President

ATTEST:

Village Clerk

AYES: _____ NAYS: _____ ABSTENTIONS: _____ ABSENCES: _____

EXHIBIT A

Legal Description of Property

{INSERT LEGAL DESCRIPTION}

Property Index Numbers: 32-06-100-050, 32-06-100-051, 32-06-100-052, 32-06-100-075, 32-06-100-078, and 32-06-100-079

Common address: 2345 W. 183rd St., Homewood IL 60430



BOARD AGENDA MEMORANDUM

DATE OF MEETING: May 26, 2026

To: Village President and Board of Trustees

Through: Napoleon Haney, Village Manager

From: Noah Schumerth, Interim Director of Economic and Community Development

Topic: Special Use Permit, Salon/Spa Establishment (Faded Creations), 18332 Kedzie Avenue

PURPOSE

The applicant has proposed a *salon/spa establishment* (barber shop) at 18332 Kedzie Avenue. The barber shop will be called Faded Creations, and will relocate an existing barber shop business from Harvey into Homewood. The applicant has proposed to locate the business within an existing business center with six (6) other tenant spaces.

The tenant space at 18332 Kedzie Avenue was previously occupied by a barber shop called “The Duke’s Yesterday’s Jazz Barbershop.” The previous barber shop was not required to receive a special use permit for operation. The barber shop has been out of operation for more than 180 days, which is the maximum length of time that a non-conforming use may be out of operation before the use must receive approvals as required by the current zoning ordinance.



Location of Proposed Business at 18332 Kedzie Avenue

The proposed salon is planned to be staffed with barbers who will rent individual chairs from the applicant. The applicant is a practicing barber, but does not intend to always be present at this location. Barbers will provide a variety of common types of appointments, including haircuts, facial hair trims and treatments, and other services. The applicant anticipates barbers only being present when appointments are available, and that it is very unlikely that all eight (8) barbers will be present at any given time.



The barber shop will primarily provide service by appointment only. The applicant has stated that walk-in appointments could be accepted but will not be encouraged. The applicant does not intend to provide any retail or other services at this location.

The proposed barber shop is planned to have the following hours:

- **Tuesday – Saturday:** 8:00 a.m. – 8:00 p.m.
- **Sunday/Monday:** Appointments only (no walk-in customer traffic) from 8:00 a.m. – 8:00 p.m.

PROCESS

Staff reviewed the proposed use against zoning requirements, including parking and site circulation. The proposed use was found to meet all current requirements of the Village Zoning Ordinance and was recommended for approval by staff.

At the regular meeting of the Planning and Zoning Commission on May 14, 2026, the Commission considered the request for a special use permit to allow the proposed salon use.

OUTCOME

The Planning and Zoning Commission reviewed the application, heard testimony by the applicant and considered the applicant’s responses to the special use standards of the Village Zoning Ordinance. The following Findings of Fact were incorporated into the record.

1. The proposed use is to be located at 18332 Kedzie Avenue, a tenant space within a larger building located at 18320-18336 Kedzie Avenue, within property identified with Cook County PIN 31-02-201-025.
2. The subject property is located within the B-3 General Business zoning district.
3. The subject property is currently owned by Intercontinental Homewood LLC of Oak Brook, IL.
4. The proposed use is classified as a salon/spa establishment, which is a special use within the B-3 General Business zoning district.
5. The subject site meets applicable use-specific standards in Section 44-04-04 of the Village Zoning Ordinance.
6. The subject site meets applicable development standards in Section 44-05 of the Village Zoning Ordinance.
7. The proposed salon/spa establishment is consistent with the standards for special use permit approval as set forth in Section 44-07-11.

FINANCIAL IMPACT

None

VILLAGE OF HOMEWOOD

Item 10. E.



LEGAL REVIEW

Completed

RECOMMENDED BOARD ACTION

Pass an ordinance granting a Special Use Permit for a salon/spa establishment in the B-3 General Business zoning district at 18332 Kedzie Avenue to Faded Creations.

ATTACHMENT(S)

Ordinance

ORDINANCE NO. M - 2426**AN ORDINANCE GRANTING A SPECIAL USE PERMIT TO ALLOW A SALON/SPA ESTABLISHMENT AT 18332 KEDZIE AVENUE IN HOMEWOOD, COOK COUNTY, ILLINOIS.**

WHEREAS, 65 ILCS 5/11-13-1 *et seq.* authorizes municipalities under 500,000 population to determine and vary the application of their zoning regulations relating to the use of land; and

WHEREAS, 65 ILCS 5/11-13-1.1 authorizes the granting of a special use by the passage of an Ordinance in districts where such a permit is required; and

WHEREAS, a request has been received for a special use permit to operate a salon/spa establishment at 18332 Kedzie Avenue in Homewood, Illinois; and

WHEREAS, the subject property is located in the B-3, General Business zoning district; and

WHEREAS, salon/spa establishments are allowed as a special use in the B-3 zoning district; and

WHEREAS, the Homewood Planning and Zoning Commission reviewed and considered the request at its regular meeting on May 14, 2026, and voted for approval with six (6) ayes to zero (0) nays; and

WHEREAS, the President and Board of Trustees of the Village of Homewood, Cook County, Illinois, deem it appropriate and are willing to grant a special use permit, subject to the terms and provisions hereof.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Homewood, Cook County, Illinois, that:

SECTION ONE – FINDINGS OF FACT:

1. The proposed use is to be located at 18332 Kedzie Avenue, a tenant space within a larger building located at 18320-18336 Kedzie Avenue, within property identified with Cook County PIN 31-02-201-025-0000;
2. The subject property is located within the B-3 General Business zoning district;
3. The subject property is currently owned by Intercontinental Homewood LLC of Oak Brook, IL;
4. The proposed use is classified as a salon/spa establishment, which is a special use within the B-3 General Business zoning district;
5. The subject site meets applicable use-specific standards in Section 44-04-04 of the Village Zoning Ordinance;
6. The subject site meets applicable development standards in Section 44-05 of the Village Zoning Ordinance; and
7. The proposed salon/spa establishment is consistent with the standards for special use permit approval as set forth in Section 44-07-11.

SECTION TWO – LEGAL DESCRIPTION:

The subject property is legally described as follows:

Lot 1 of Plat of Resubdivision of Lot 10 and Lot 11 (except the south 130 ft) in Homewood Garden Acres No. 1, being a subdivision of the North 1/2 of the Northeast 1/4 of the Northeast 1/4 of Section 2, Township 35 North, Range 13 East of the Third Principal Meridian in Cook County, Illinois.

Permanent Index Number: 31-02-201-025-0000

Common Address: 18332 Kedzie Avenue
Homewood, IL 60430

SECTION THREE - ISSUANCE OF SPECIAL USE PERMIT:

A special use permit is hereby granted to Stanley Nevels (Faded Creations Barber Shop) to allow a salon/spa establishment at the above-described property.

SECTION FOUR - CONDITIONS

None.

SECTION FIVE - ADDITIONAL MATERIALS TO BECOME PART OF THIS ORDINANCE:

The following documents are hereby made part of this Ordinance:

The Homewood Planning and Zoning Commission minutes of May 14, 2026, as they relate to the subject zoning.

The Homewood Village Board minutes of May 26, 2026, as they relate to the subject zoning.

SECTION SIX- RECORDING:

The Village Attorney shall cause this Ordinance, without attachments to be recorded in the Office of the Cook County Clerk - Recording Division.

PASSED and APPROVED this 26th Day of May, 2026.

Village President

Village Clerk

YEAS: _____ NAYS: _____ ABSTENTIONS: _____ ABSENCES: _____



BOARD AGENDA MEMORANDUM

DATE OF MEETING: May 26, 2026

To: Village President and Board of Trustees

Through: Napoleon Haney, Village Manager

From: Noah Schumerth, Interim Director of Economic and Community Development

Topic: Special Use Permit, Indoor Commercial Place of Assembly (Advanced Healthcare Plus), 1820 Ridge Road

PURPOSE

The applicant has proposed a teaching center for certified nursing assistants (CNAs) at 1820 Ridge Road, within the Golden Eagle Office Center. The office plaza is an existing three-story structure with a variety of commercial tenants, including an event venue, a day care facility, and other professional offices and service uses. The applicant plans to offer semi-regular classes to support students seeking CNA certification from the State of Illinois. Businesses which offer these types of teaching facilities are classified as *indoor commercial places of assembly*.

The proposed teaching facility will be located in Unit 304 of the Golden Eagle Office Center, which is an 847-square-foot tenant space. The tenant space is comprised of two large rooms. The space also has access to a bathroom, storage room, and kitchen that are shared with another tenant of the building. The applicant plans to utilize the two larger rooms for instruction and other teaching activities.



Location of proposed business at 1820 Ridge Road

The applicant plans to offer classes three days per week. Classes will be hosted on weekday evenings at variable times. Classes are designed to support up to 10 students at a time who are seeking CNA certification. Students must be at least 16 years of age. Classes are unlikely to extend past 9:00 p.m.

The applicant is a CNA instructor, plans to offer classes individually, and does not plan on hiring additional employees for instruction. The applicant has stated that the business may add an additional instructor in the future, but plans to remain a small teaching program.

This teaching program does not directly certify prospective CNAs. The Illinois Department of Public Health (IDPH) formally certifies CNAs. The courses offered at this business are designed to



assist students in passing the Illinois Nurse Aide Testing exams (also known as the INACE program).

PROCESS

Staff reviewed the proposed use against zoning requirements, including parking and use-specific requirements for indoor commercial places of assembly. The proposed use was found to meet all current requirements of the Village Zoning Ordinance and was recommended for approval by staff.

At the regular meeting of the Planning and Zoning Commission on May 14, 2026, the Commission considered the request for a special use permit to allow the proposed indoor commercial place of assembly use.

OUTCOME

The Planning and Zoning Commission reviewed the application, heard testimony by the applicant and considered the applicant's responses to the special use standards of the Village Zoning Ordinance. The following Findings of Fact were incorporated into the record.

1. The proposed use is to be located at 1820 Ridge Road, a tenant space within an existing office center, within property identified with Cook County PIN 29-31-401-040, 29-31-401-041, 29-31-401-042, 29-31-401-043, 29-31-401-044, 29-31-401-045, 29-31-401-046.
2. The subject property is located within the B-2 Downtown Transition zoning district.
3. The subject property is currently owned by 1820 Building LLC of Wilmette, IL.
4. The proposed use is classified as an indoor commercial place of assembly, which is a special use within the B-2 Downtown Transition zoning district.
5. The subject site meets applicable use-specific standards in Section 44-04-04 of the Village Zoning Ordinance.
6. The subject site meets applicable development standards in Section 44-05 of the Village Zoning Ordinance.
7. The proposed indoor commercial place of assembly use is consistent with the standards for special use permit approval as set forth in Section 44-07-11.

FINANCIAL IMPACT

None

LEGAL REVIEW

Completed

RECOMMENDED BOARD ACTION

Pass an ordinance granting a special use permit for an indoor commercial place of assembly in the B-2 Downtown Transition zoning district at 1820 Ridge Road to Advanced Healthcare Plus.

VILLAGE OF HOMEWOOD

Item 10. F.



ATTACHMENT(S)
Ordinance

ORDINANCE NO. M - 2427

AN ORDINANCE GRANTING A SPECIAL USE PERMIT TO ALLOW AN INDOOR COMMERCIAL PLACE OF ASSEMBLY USE AT 1820 RIDGE ROAD IN HOMEWOOD, COOK COUNTY, ILLINOIS.

WHEREAS, 65 ILCS 5/11-13-1 *et seq.* authorizes municipalities under 500,000 population to determine and vary the application of their zoning regulations relating to the use of land; and

WHEREAS, 65 ILCS 5/11-13-1.1 authorizes the granting of a special use by the passage of an Ordinance in districts where such a permit is required; and

WHEREAS, a request has been received for a special use permit to operate a healthcare professional learning center (classified as an *indoor commercial place of assembly*) at 1820 Ridge Road in Homewood, Illinois; and

WHEREAS, the subject property is located in the B-2 Downtown Transition zoning district; and

WHEREAS, indoor commercial places of assembly are allowed as a special use in the B-2 Downtown Transition zoning district; and

WHEREAS, the Homewood Planning and Zoning Commission reviewed and considered the request at its regular meeting on May 14, 2026, and voted for approval with six (6) ayes to zero (0) nays; and

WHEREAS, the President and Board of Trustees of the Village of Homewood, Cook County, Illinois, deem it appropriate and are willing to grant a special use permit, subject to the terms and provisions hereof.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Homewood, Cook County, Illinois, that:

SECTION ONE – FINDINGS OF FACT:

1. The proposed use is to be located at 1820 Ridge Road, a tenant space within an existing office center, within property identified with Cook County PIN 29-31-401-040, 29-31-401-041, 29-31-401-042, 29-31-401-043, 29-31-401-044, 29-31-401-045, 29-31-401-046.
2. The subject property is located within the B-2 Downtown Transition zoning district;
3. The subject property is currently owned by 1820 Building LLC of Wilmette, IL;
4. The proposed use is classified as an indoor commercial place of assembly, which is a special use within the B-2 Downtown Transition zoning district;
5. The subject site meets applicable use-specific standards in Section 44-04-04 of the Village Zoning Ordinance;
6. The subject site meets applicable development standards in Section 44-05 of the Village Zoning Ordinance; and
7. The proposed indoor commercial place of assembly use is consistent with the standards for special use permit approval as set forth in Section 44-07-11 of the Village Zoning Ordinance.

SECTION TWO – LEGAL DESCRIPTION:

The subject property is legally described as follows:

Lots 42, 43, 44, 45, 46, 47 and 48 in Robertson and Young’s Second Addition to Homewood, Being a Subdivision in the Northwest ¼ of the Southeast ¼ of Section 31, Township 36 North, Range 14, East of the Third Principal Meridian, in Cook County, Illinois.

Permanent Index Number: 29-31-401-040-0000, 29-31-401-041-0000, 29-31-401-042-0000, 29-31-401-043-0000, 29-31-401-044-0000, 29-31-401-045-0000, 29-31-401-046-0000

Common Address: 1820 Ridge Road
Homewood, IL 60430

SECTION THREE - ISSUANCE OF SPECIAL USE PERMIT:

A special use permit is hereby granted to Kasey Reed (Advanced Healthcare Plus) to allow an indoor commercial place of assembly at the above-described property.

SECTION FOUR - CONDITIONS

None.

SECTION FIVE - ADDITIONAL MATERIALS TO BECOME PART OF THIS ORDINANCE:

The following documents are hereby made part of this Ordinance:

The Homewood Planning and Zoning Commission minutes of May 14, 2026, as they relate to the subject zoning.

The Homewood Village Board minutes of May 26, 2026, as they relate to the subject zoning.

SECTION SIX- RECORDING:

The Village Attorney shall cause this Ordinance, without attachments to be recorded in the Office of the Cook County Clerk - Recording Division.

PASSED and APPROVED this 26th Day of May, 2026.

Village President

Village Clerk

YEAS: ____ NAYS: ____ ABSTENTIONS: ____ ABSENCES: ____



BOARD AGENDA MEMORANDUM

DATE OF MEETING: May 26, 2026

To: Village President and Board of Trustees

Through: Napoleon Haney, Village Manager

From: Amy Zukowski, Director of Finance

Topic: Increase of Class 2 Liquor Licenses

PURPOSE

Bevda's Two Corp., doing business as Bevda's Wine & Spirits, has submitted a new application for a liquor license, which includes an additional owner of the corporation, for their proposed location at 3043 183rd Street. The addition of an owner requires a new application and an ordinance increasing the Class 2 liquor licenses.

PROCESS

Bevda's Wine & Spirits has been building out the space at 3043 183rd Street, which has been vacant for many years following the closure of the Brunswick Zone bowling alley. Bevda's anticipates opening to the public in the near future. At the February 24, 2026 Board meeting, an ordinance to increase the number of allowed Class 2 liquor licenses for Bevda's Wine & Spirits was passed. A Class 2 liquor license permits the retail sale of any alcoholic liquor in the original package only for off-premises consumption.

Bevda's Two Corp. is transferring six percent of the ownership from Shivangi Patel to Kinjal Patel. Per the Homewood Municipal Code, the sale, transfer, assignment, or gift of more than a five percent interest in any business entity to a person or entity that is not listed in the existing license application constitutes a change in ownership and requires the surrender of the current liquor license and submission of a new application. Since Bevda's is required to surrender the current liquor license, the number of allowed Class 2 liquor licenses will automatically decrease, creating a need to increase the number of Class 2 liquor licenses.

OUTCOME

Approval of this request will enable Bevda's Wine & Spirits to offer the sale of alcoholic liquor in the original package only to its patrons for off-premises consumption.

FINANCIAL IMPACT

- **Funding Source:** N/A
- **Budgeted Amount:** N/A
- **Cost:** N/A

VILLAGE OF HOMEWOOD

Item 10. G.



LEGAL REVIEW

Completed

RECOMMENDED BOARD ACTION

Pass an ordinance amending the Table of the Number of Liquor License Limitations by Class to increase the allowed number of Class 2 liquor licenses by one for the proposed Bevda's Wine & Spirits location at 3043 183rd Street.

ATTACHMENT(S)

Ordinance

ORDINANCE NO. M-2428

AN ORDINANCE INCREASING BY ONE THE NUMBER OF CLASS 2 LIQUOR LICENSES FOR THE VILLAGE OF HOMEWOOD

WHEREAS, Section 4-1 of the Liquor Control Act of 1934 (235 ILCS 5/4-1) authorizes a municipality to determine the number, kind, and classification of licenses for the retail sale of alcoholic liquor and local license fees to be paid for each license category; and

WHEREAS, the Village Board has established regulations as to types of liquor licenses within the village, and the number of each license class available; and

WHEREAS, the class of liquor license and number of licenses available for each class are maintained in a table available on the village's website; and

WHEREAS, BEVDAS TWO CORP d/b/a Bevda's Wine & Spirits has requested a Class 2 liquor license for their location at 3043 183rd Street; and

WHEREAS, there currently are no available Class 2 licenses; and

WHEREAS, the Liquor Commissioner supports increasing the number of Class 2 licenses so that a liquor license can be issued to the applicant; and

WHEREAS, the President and Board of Trustees of the Village of Homewood find it to be in the best interests of the village and its residents to increase the number of Class 2 licenses to accommodate this request.

NOW THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Homewood, Cook County, Illinois, as follows:

SECTION ONE – AMEND THE TABLE OF THE NUMBER OF LIQUOR LICENSE LIMITATIONS BY CLASS:

The Table of the Number of Liquor License Limitations by Class attached as Exhibit A is amended as indicated (additional language underlined, deletions ~~stricken~~) and shall remain in effect until otherwise amended or revised by ordinance.

SECTION TWO – EFFECTIVE DATE:

This ordinance shall be in full force and effect from and after its passage, approval, and publication in accordance with law.

PASSED and APPROVED this 26th day of May, 2026.

Village President

ATTEST:

Village Clerk

AYES: _____ NAYS: _____ ABSTENTIONS: _____ ABSENCES: _____

Number of Liquor License Limitations by Class

Class	Allowed Number
1	4
1A	0
2	9 <u>10</u>
3	0
3A	1
4	3
4A	10
5	2
6	Unlimited
6A	Unlimited
7	0
7A	0
7B	3
8	0
9	0
10	1
11	Unlimited
12	1
12A	Unlimited
12B	1
13	1
14	1
15	0
16	1

Total ~~38~~ 39



BOARD AGENDA MEMORANDUM

DATE OF MEETING: May 26, 2026

To: Village President and Board of Trustees

Through: Napoleon Haney, Village Manager

From: Terence Acquah, Assistant Village Manager

Topic: Contract – Tax Increment Financing (TIF) Bond Preliminary Feasibility Analysis for the North Halsted TIF District

PURPOSE

Staff recommends that the Village approve a budget amendment in the amount of \$9,700 and authorize the Village Manager to engage SB Friedman Development Advisors of Chicago, IL for a total amount of \$29,700 to conduct a comprehensive analysis of the North Halsted TIF district's ability to generate increment required to support debt service for a potential bond issuance.

PROCESS

North Halsted TIF

The North Halsted Tax Increment Financing (TIF) District is an established redevelopment project area located along the Village of Homewood's Halsted Street commercial corridor, one of the Village's primary north-south arterial roadways. The Village Board of Trustees formally adopted the North Halsted TIF District on February 25, 2025. The TIF will expire in February of 2048. The district encompasses approximately 236 acres, generally bounded by 175th Street to the north, Ridge Road to the south, Halsted Street to the east, and Ashland Avenue to the west. Most of the physical land area within the TIF consists of the 193-acre Izaak Walton Preserve.

Walmart Closure in 2023

The TIF district includes a mix of commercial, retail, office, institutional, and open-space uses, with a particular focus on the redevelopment of large, underutilized properties, most notably the former Walmart site on Halsted Street, which closed in March 2023 and has remained vacant since that time. The TIF district also includes additional aging commercial properties, portions of the Izaak Walton Preserve, and supporting roadway and infrastructure systems.

TIF Creation

The North Halsted TIF District was established to address documented conditions of blight, underutilization, and economic stagnation along the corridor caused, in part, by the closure of Walmart and its fueling center. While the area has historically served as a major retail destination for Homewood and surrounding communities, several properties within the district exhibited declining assessed values, functional obsolescence, vacant structures, and site design constraints that limited private reinvestment without public assistance.



Role of the North Halsted TIF

The establishment of the North Halsted TIF District represents a long-term economic development strategy for the Village of Homewood. The TIF framework provides flexibility to respond to changing market conditions along the Halsted corridor, particularly as retail formats evolve and redevelopment opportunities arise near regional attractions such as the Wind Creek Southland Casino located immediately north of the district boundary. The District is intended to function as a financial platform through which the Village can evaluate the feasibility of future investments, including the potential issuance of TIF-backed bonds to advance infrastructure improvements and catalyze private redevelopment consistent with municipal goals.

What are TIF Bonds?

In Illinois, municipal *special tax allocation bonds*, most commonly known as Tax Increment Financing (TIF) bonds, are debt instruments issued by local governments to fund redevelopment in blighted or economically stagnant areas. These bonds are repaid using the "tax increment," which is the additional property tax revenue generated when property values rise due to the new development.

Key Features of TIF Bonds:

- **Repayment Source:** Bond are primarily secured by the Special Tax Allocation Fund, which is the repository for the incremental property tax revenues collected from the TIF district.
- **Purpose:** Bond proceeds are used for "eligible redevelopment project costs," including land acquisition, demolition, infrastructure improvements (streets, sewers), and professional fees.
- **Duration:** TIF districts and resultant TIF Bonds typically last for 23 years, though they can sometimes be extended up to 35 years under specific conditions.
- **Liability:** While often issued as revenue bonds (repaid only from the property tax increment), the bonds can also be issued as "alternative revenue bonds."
- **Different from General Obligation (GO) Bonds:** For non-home rule municipalities like Homewood, GO bonds require a successful referendum to issue the bonds because the bonds are guaranteed solely by the municipality's property taxes. Alternative revenue bonds are bonds issued with a "specific revenue stream" guaranteed as the debt service (i.e. sales tax or TIF increment). Alternative revenue bonds do not require a referendum to issue bonds.

Request for Qualifications (RFQ)

Through the RFQ process, the Village sought an experienced firm with expertise in Illinois TIF districts, municipal finance, and Cook County property tax practices to evaluate the North Halsted TIF District's long-term revenue-generating potential and its ability to support future TIF-backed bond issuances. Specifically, the Village was looking for a consultant capable of forecasting tax increment growth, analyzing debt-service feasibility, modeling various bond issuance scenarios, and providing recommendations regarding the financial viability of redevelopment and infrastructure investments within the district.



The Village issued a Request for Qualifications (RFQ) on April 24, 2026, seeking a qualified consultant to perform a Tax Increment Financing (TIF) Bond Feasibility and Analysis for the North Halsted TIF District. The RFQ remained open for approximately two weeks, with proposals due by May 8, 2026.

The Village received one response to its RFQ for a TIF Bond Analysis of the North Halsted TIF District. Staff was not surprised by the limited response, as several area TIF consultants previously identified S.B. Friedman Development Advisors as one of the firms best suited to perform this type of analysis, particularly within Cook County.

Who is SB Friedman Development Advisors?

S.B. Friedman Development Advisors is a Chicago-based real estate, economic development, and public-private finance advisory firm with more than 36 years of experience assisting both public and private sector clients throughout Illinois. The firm has extensive expertise in all stages of the Tax Increment Financing (TIF) process, including TIF district designation, amendments, compliance, reporting, financial modeling, and transaction structuring.

S.B. Friedman regularly works alongside municipal advisors, underwriters, bond counsel, tax counsel, and public agencies to support bond issuances, refunding's, and other financing transactions, including TIFIA loans. As part of these efforts, the firm prepares detailed revenue projections related to incremental property taxes, sales taxes, and other project-generated revenues. Their analyses typically include historical district performance data, demographic and market trends, evaluations of major taxpayers, redevelopment activity, and identification of potential financial risks.

The firm has completed similar analyses for municipalities such as the City of Wood Dale and the Villages of Roselle and Villa Park, among many others across the region. In addition to its technical financial expertise, S.B. Friedman is widely recognized for its rigorous “but for” analysis, underwriting capabilities, and ability to structure successful public-private financing partnerships that support high-quality redevelopment projects. The firm also brings extensive experience in fiscal impact analysis, economic impact analysis, market analysis, and broader development advisory services.

The project will be led by Geoffrey Dickinson, AICP, Partner with S.B. Friedman Development Advisors. Notably, Mr. Dickinson also served as the presenter for the Village’s first “Hot Topic” discussion focused on TIF 101, which he volunteered his expertise at no cost to the Village.

OUTCOME

The analysis will take approximately two to three months to complete. Once finished, the Village will have an idea of the amount of debt and resultant “proceeds/dollars” that the TIF could yield. If bonds are issued, the proceeds would be used to redevelop the various areas/sites within the



TIF. The study may also help identify the types and best yield-developments that would be both ideally and realistically suited for the vacated Walmart site. If a TIF Bond proves to be financially viable and is approved, it would be structured as an Alternate Revenue Bond.

FINANCIAL IMPACT

- **Funding Source:** North Halsted TIF Fund
- **Budgeted Amount:** \$20,000
- **Budget Amendment Requested:** \$9,700
- **Cost:** \$29,700

LEGAL REVIEW

Not Required

RECOMMENDED BOARD ACTION

Approve a budget amendment for \$9,700; and, authorize the Village Manager to enter into an agreement with SB Friedman Development Advisors of Chicago, IL in the amount of \$29,700 to conduct a comprehensive analysis of the North Halsted TIF district's ability to generate sustainable increment required to support the debt service for bond issuances.

ATTACHMENT(S)

- RFQ
- Proposal Letter



May 20, 2026

Mr. Napoleon Haney
Village Manager
Village of Homewood
2020 Chestnut Road
Homewood, IL 60430

Dear Mr. Haney:

SB Friedman Development Advisors, LLC ("SB Friedman") is pleased to submit this proposal to the Village of Homewood (the "Village") to provide TIF bond feasibility services.

Background and Understanding

A lack of private investment has resulted in the economic underutilization of one of the Village's primary commercial districts along Halsted Street. We understand that the Village is considering the use of TIF revenues to support redevelopment and is interested in conducting feasibility testing regarding a potential bond issuance to accelerate development in the area. There are two adjoining tax increment financing districts in the area: the Northeast TIF and the North Halsted TIF (the "Two TIF Districts").

We propose to prepare incremental property tax (IPT) projections for the Two TIF Districts and to work with village staff and other Village advisors to incorporate reasonable assumptions about redevelopment in the Two TIF Districts to arrive at plausible projections of incremental property tax generation. Assuming those preliminary projections look promising, we will work with the Village and their other advisors to move towards issuing bonds based on these projected taxes to generate up front capital to support redevelopment.

The letter below outlines our approach and estimated fees and timeline.

Scope of Services

PHASE 1: PREPARE PRELIMINARY IPT PROJECTIONS

1. **Conduct Kickoff and Obtain Background Data.** Upon authorization to proceed, we will conduct a virtual kickoff meeting with Village staff to confirm the scope of service, work plan and timeline. At this time, we will also collect any additional background information for the Site, including:
 - Eligibility Studies, Redevelopment Plans, and any information on existing obligations for the Two TIF Districts (e.g., redevelopment agreements, intergovernmental agreements)
 - Information regarding prior tenant outreach;
 - Information on any proposed developments or new tenants in the surrounding area

Village of Homewood / PROPOSAL: TIF Bond Feasibility Study

2. **Prepare Base Models for Projecting IPT.** We will gather data from various sources including the Cook County Clerk and Assessor's offices and prepare two tax projection models, one for each of the Two TIF Districts.
3. **Iterate Models.** Based on a preliminary goal of generating net bond proceeds to the Village of \$10 million, we will test levels of redevelopment required to achieve this desired amount of funding. We may need to collaborate with staff, the Village's municipal advisor, Speer, and others regarding high level assumptions for preliminary feasibility testing.
4. **Conduct a Call to Discuss Preliminary Findings.** We will prepare a concise summary document outlining our findings and will discuss those on a Teams call. We anticipate getting direction on this call to stop work or continue to refine and build out our projections.

PHASE 2: REFINE INCREMENTAL PROPERTY TAX PROEJCTIONS

1. **Conduct Calls with Village and Village Market Advisors.** Assuming staff believes the path is promising enough to continue work, we expect to conduct a call to help refine assumptions regarding potential new tenants and/or retail/dining end users.
2. **Refine Models.** Based on direction from the call with the Village and their market advisors, we anticipate conducting additional research (primarily regarding equalized assessed values of new tenant / end user types that could locate in the Two TIF Districts). For example, this could entail looking at medical office values per building square foot. Based on those refined inputs, we will prepare updated tax projections.
3. **Conduct a Call to Discuss.** We anticipate preparing summary tables and conducting a call to discuss with staff. Here again, we anticipate getting direction on this call to stop work or continue to refine and build out documentation regarding our projections.

PHASE 3: SUPPORT CLOSING ON REVENUE BONDS

The scope of this phase could vary widely depending on the facts. Broadly speaking, we expect to develop a bond feasibility study report that would allow revenue bonds to be issued. The process of getting from refined projections as developed in Phase 2 to a closing can be relatively simple if a major user has been identified and is willing to make concrete commitments to develop. The less concrete future end user commitments are, the longer and more complex this phase tends to be. Also, the level of communication with the public and the Village Board and public can vary materially depending on the situation and the needs of the community. Because of these uncertainties, we cannot prepare a scope of fee estimate in advance for this phase of work.

Time Frame

We understand that the Village is trying to move quickly on this matter and is targeting a bond sale before the end of 2026. We will work closely with Village to meet any deadlines for the Project.

Estimated Budget

Professional fees will be based on the time required at the then-current hourly billing rates of the staff involved. As shown in greater detail in the budget estimate below, the estimated professional fees and expenses for the Phase 1 and 2 Scope of Services described above total **\$29,700**, as shown in greater detail in the **Estimated Budget** below. The estimate has been prepared based on certain assumptions as to the time required based on our prior experience.

Estimated Budget

TASK	TOTAL	Partner/Se nior Vice President	Project Manager	Associate
		\$460	\$285	\$225
Phase 1: Prepare Preliminary Incremental Property Tax Projections				
1 Conduct Kickoff Call and Obtain & Review Background Data	\$5,450	2	8	10
2 TIF Projections for study area and adjacent TIF (as-is)	\$11,580	6	12	24
3 TIF Projections for study area and adjacent TIF (high-level redevelopment)	\$3,400	1	4	8
4 Call to Discuss	\$970	1	1	1
Total Phase 1	\$20,430	10	25	43
Phase 2: Refine Incremental Property Tax Projections				
1 Calls with Village and market advisors	\$1,940	2	2	2
2 Refine TIF projections based on Village and market advisor input	\$5,350	4	6	8
3 Call to Discuss	\$970	1	1	1
Total Phase 2	\$7,290	7	9	11
Phase 3: Work on Bond Feasibility Study and Support Closing on Bonds				
Hourly				
Total Hours	105	17	34	54
Total Professional Fees	\$29,700	\$7,820	\$9,690	\$12,150
Expense Estimate (CoStar, General Expenses)	\$0			
TOTAL ESTIMATED BUDGET	\$29,700			

The following current hourly rates apply to this engagement:

Partner/Senior Vice President	\$460	Senior Associate	\$245
Senior Vice President	\$440	Associate	\$225
Vice President	\$335	Research Associate	\$205
Senior Project Manager	\$305	Intern	\$150
Project Manager	\$285		

These rates will be in effect until December 31, 2026, after which they are subject to adjustment.

Travel, publications, maps, outside data, use of owned or licensed databases, report production, and other out-of-pocket expenses are included in this estimate and will be billed in addition to professional fees as incurred (without mark-up).

This fee estimate is intended to serve as a benchmark and is subject to upward revision if the engagement entails more time than estimated due to problems that are encountered which could not reasonably have been foreseen at the

Village of Homewood / PROPOSAL: TIF Bond Feasibility Study

commencement of the engagement, or if the scope is changed. In this event, we will discuss the matter with you so that a mutually acceptable revision may be made. Fees and expenses for our services will not exceed the total fee amount without your further authorization.

Invoices will be rendered not more frequently than monthly as our work progresses for services and costs incurred. Invoices are payable within 30 days.

If at any time the decision is made to discontinue our services, our fee will be based upon the actual time expended and out-of-pocket costs incurred to that date.

Our projections will be based on a combination of actuals, estimates and assumptions. These assumptions will be based on conclusions reached as a result of the review and analysis of information and data collected during the compilation of the report. This information and data will be provided by various parties, including the Village, Cook County and other sources. SB Friedman cannot assure that these information and data are accurate, complete or reliable.

Some assumptions inevitably will not materialize, and unanticipated events and circumstances may occur; therefore, actual results achieved during the period covered by our analysis will necessarily vary from those described in our report, and the variations may be material.

SB Friedman is not acting as a Municipal Advisor or Financial Advisor. It is our understanding that Speer Financial is acting as the Village's Municipal Advisor.

Acceptance Procedures

We look forward to this opportunity to assist the Village Homewood.

To indicate your acceptance of any phase of this proposal, please sign in the indicated area for that phase and return a copy of this letter as authorization for us to proceed.

Thank you.

Sincerely,



Geoff Dickinson, AICP
Senior Vice President/Partner
(312) 384-2404 | gdickinson@sbfriedman.com



Emma Bonanno-Lynch, AICP
Project Manager
(312) 384-2410 | ebonanno@sbfriedman.com

Accepted:

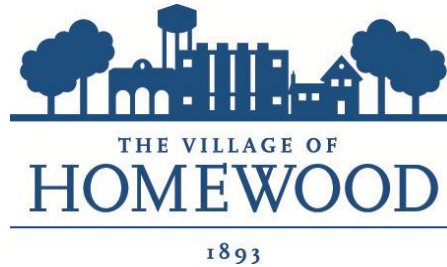
Signature Date

Name T

Village of Homewood

REQUEST FOR QUALIFICATIONS

Consultant Services to Perform a
Tax Increment Financing (TIF) Bond Feasibility/Analysis for the
North Halsted TIF District



RFQ Submittals Are Due Friday, May 8th, 2026 by 5:00 p.m.

Submit One Original or One Electronic Copy to:

Village of Homewood
ATTN: Mr. Terence Acquah
2020 Chestnut Road
Homewood, Illinois 60430
Electronic copies to: tacquah@homewoodil.gov

For Questions Contact: Terence Acquah, Assistant Village Manager at tacquah@homewoodil.gov
(708) 206-3378.

This RFQ is posted on the Village of Homewood website at:

www.homesweethomewood.com



April 20, 2026

Re: Request for Qualifications to perform TIF Bond Analysis Services | North Halsted TIF District

Dear Firm/Consultant:

In Illinois, municipal special tax allocation bonds—most commonly known as Tax Increment Financing (TIF) bonds—are debt instruments issued by local governments to fund redevelopment in blighted or economically stagnant areas. These bonds are repaid using the "tax increment," which is the additional property tax revenue generated when property values rise due to the new development.

Before engaging in a discussion to potentially issue bonds, an analysis of the TIF district's ability to generate sustainable increment required to support the debt service for bond issuances must be carefully modeled, forecasted, and evaluated. The Village of Homewood is seeking an experienced firm/consultant to provide qualifications demonstrating their ability, knowledge, experience and success in evaluating TIF districts for the purpose of issuing special tax allocation bonds.

Proposal instructions are contained in the Request for Qualifications (RFQ) document. Please provide the requested information in the prescribed written format. Failure to comply with the prescribed format may result in disqualification.

Responses: Responses to the inquiries will be sent to all participating consultants/firms and will be displayed publicly at Village Hall and at www.homesweethomewood.com

Printed & Email Proposals Due: copies of the original proposal must be received no later than 5:00 p.m. on Friday, May 8, 2026. Feel free to also submit digital copies of the proposal in addition to the printed proposals. Please include an email contact when submitting either.

Village of Homewood
 Attn: Mr. Terence Acquah
tacquah@homewoodil.gov
 2020 Chestnut Road
 Homewood, IL 60430

Proposal Review: The review will consist of the following members/reviewers. Village Manager, Assistant Village Manager, Finance Director, Economic Development Director, Assistant Economic Development Director. This review team is expected to review the proposals and make a final recommendation to the Village Board.

Thank you for your interest and participation. We look forward to reviewing your proposal.

Sincerely,



Napoleon Haney, MPA
 Village Manager

REQUEST FOR QUALIFICATIONS

Consultant Services to Perform a Tax Increment Financing (TIF) Bond Feasibility/Analysis for the North Halsted TIF District

I. Summary

The Village of Homewood (hereinafter “Village”) is soliciting the submittal of qualification statements from experienced consulting firms interested in providing services associated with forecasting, evaluating, and analyzing various levels of TIF districts and TIF increment potentially generated over a number of years that could be used to fund the debt service for a bond issuance to perfect certain redevelopments within the North Halsted TIF district.

The Village will conduct a qualification-based selection process to identify the best qualified firm with which to negotiate a contract. All firms submitting qualifications and technical proposals must have demonstrated experience and expertise for projects similar in nature to this project. The Village will fully consider submittals that involve the successful completion of similarly situated communities with TIF increment that was successfully utilized as debt service for bond issuances. The Village reserves the right to reject any and all submittals. This submittal request is neither a contractual offer nor a commitment to purchase services. The Village assumes no contractual obligation as a result of the issuance of this request, the preparation or submission of a qualifications statement by a firm, the evaluation of statements, or final selection.

Background

The North Halsted Tax Increment Financing (TIF) District is an established redevelopment project area located along the Village of Homewood’s Halsted Street commercial corridor, one of the Village’s primary north–south arterial roadways. The district encompasses approximately 236 acres, generally bounded by 175th Street to the north, Ridge Road to the south, Halsted Street to the east, and Ashland Avenue to the west.

Walmart Closure in 2023

The district includes a mix of commercial, retail, office, institutional, and open-space uses, with a particular focus on the redevelopment of large, underutilized properties, most notably the former Walmart site on Halsted Street, which closed in March 2023 and has remained vacant since that time. The district also includes additional aging commercial properties, portions of the Izaak Walton Preserve, and supporting roadway and infrastructure systems. The 178 acres open-space site is currently leased to Homewood Izaak Walton Preserve (Preserve). This non-profit organization is run by volunteers and dedicated to service in conservation.

TIF Creation

The North Halsted TIF District was established to address documented conditions of blight, underutilization, and economic stagnation along the corridor caused, in part, by the closure of Walmart and its fueling center. While the area has historically served as a major retail destination for Homewood and surrounding communities, several properties within the district exhibited declining assessed values, functional obsolescence, vacant structures, and site design constraints that limited private reinvestment without public assistance.

The Village identified the creation of a TIF district as a necessary redevelopment tool to:

- fund and encourage the reuse of large vacant commercial sites,

- support reinvestment in aging retail and office properties,
- fund public infrastructure improvements, including roadway and stormwater projects, and
- stabilize and grow the tax base over the long term.

Formation of North Halsted TIF

The North Halsted TIF District was formed in accordance with the Illinois Tax Increment Allocation Redevelopment Act (65 ILCS 5/11-74.4-1 et seq.), following a multi-step statutory process. An Eligibility Report and Redevelopment Plan and Project were prepared for the Village, documenting qualifying blight factors, redevelopment goals, eligible project costs, and projected tax increment generation. The proposed TIF plan was reviewed by a Joint Review Board (JRB) consisting of representatives from overlapping taxing districts, with the JRB holding its initial meeting on January 6, 2025, and ultimately issuing a recommendation in support of the proposed district. A public hearing was held by the Village Board on February 11, 2025, providing residents, property owners, and other stakeholders the opportunity to comment on the proposed redevelopment project area, eligibility findings, and anticipated use of TIF revenues. Following completion of all statutory requirements, the Village Board of Trustees formally adopted the North Halsted TIF District on February 25, 2025, through approval of the required TIF ordinances and redevelopment plan.

Role of the North Halsted TIF

The establishment of the North Halsted TIF District represents a long-term economic development strategy for the Village of Homewood. The TIF framework provides flexibility to respond to changing market conditions along the Halsted corridor, particularly as retail formats evolve and redevelopment opportunities arise near regional attractions such as the Wind Creek Southland Casino located immediately north of the district boundary. The District is intended to function as a financial platform through which the Village can evaluate the feasibility of future investments, including the potential issuance of TIF-backed bonds to advance infrastructure improvements and catalyze private redevelopment consistent with municipal goals.

II. Project Description

The North Halsted TIF District is an established redevelopment area intended to encourage commercial investment, infrastructure improvements, and economic revitalization. The Village seeks to better understand the district's long term revenue generating potential and its ability to support debt financed infrastructure and redevelopment activities through the issuance of TIF bonds. The resulting analysis will inform Village decision makers regarding timing, sizing, and feasibility of debt issuance, and will be used for internal planning, policy discussions, and potential engagement with financial institutions or bond counsel.

The major activities that make up the scope of services include, but are not limited to:

- a) review and summarize the historical assessed valuation, tax base, and increment generation within the North Halsted TIF District.
- b) identify past and existing redevelopment activity contributing to increment growth.
- c) evaluate current development projects within the TIF District.
- d) assess reasonably anticipated future development, including retail, commercial, and office building projects, redevelopment opportunities, and market-supported growth assumptions.
- e) provide realistic yet conservative debt-service options that can be reasonably sustained and supported by future development within the TIF district.

- f) coordinate assumptions with Village staff as appropriate.
- g) provide forward-thinking recommendations on debt-service ranges over the life of the North Halsted TIF.

III. Scope of Services

The following Scope of Services as defined by the tasks listed below are intended as a guide, and additional services may be required which are not listed below, or details herein provided may prove redundant and unnecessary. The proposal's Scope of Work may be used to supplement or may be incorporated in its entirety to define the Professional Services Agreement's (PSA's) scope, compensation, and schedule. The tasks identified below are generally shown in procedural order of development. However, some tasks may be performed concurrently, may overlap, or may contain work gaps and require staging.

Increment Projection & Financial Modeling

Prepare a projected tax increment analysis over the remaining life of the TIF, incorporating:

- current EAV and base EAV.
- growth assumptions and rationales.
- statutory TIF expiration and incentive obligations.
- cash flow projections showing annual increment availability.

Bond Feasibility Analysis

Model potential TIF-backed bond issuance scenarios, including:

- estimated bond sizing.
- debt service coverage assumptions.
- sensitivity analysis (best case/moderate/conservative scenarios).
- evaluation of the feasibility of using projected increment as the primary debt service source for bonds.
- alternative debt service model to cover for any increment loss for any given year of the model.

Deliverables and Presentations

- Meet with staff to explain and discuss findings.
- Prepare a written report summarizing methods, assumptions, findings, conclusions, and recommendations.
- Provide clear tables, charts, and financial summaries suitable for Village Board review.
- Present findings at one (1) public meeting or workshop, if requested.

IV. Consultant/Firm Qualifications

Consultant/Firms responding to this RFQ should demonstrate:

- proven experience with Illinois TIF Districts and TIF revenue modeling.
- experience conducting bond feasibility or debt service analyses supported by TIF revenues.
- familiarity with Cook County assessment practices and property tax mechanics.
- ability to prepare defensible, transparent financial models suitable for policy and financing decisions.
- experience with municipal TIF bond issuance, public finance advisory services, or redevelopment economics.

V. Submittal Requirements

1. Firm Overview
 - Legal name, address, and years in business
2. Relevant Experience
 - Description of similar TIF analyses or bond feasibility studies performed in the past five years
 - At least three (3) representative projects, including client references
3. Project Team
 - Identification of key personnel assigned to the project
 - Brief resumes highlighting relevant expertise
4. Proposed Approach
 - Narrative describing the firm's methodology for completing the analysis
 - Anticipated timeline and coordination approach
5. Conflicts of Interest Statement
 - Disclosure of any existing or potential conflicts related to the Village or subject district

VI. Evaluation Criteria

Proposals will be evaluated based on the following criteria:

- **Qualifications Based Proposal** - Quality of submission by consultant to clearly illustrate its ability, submission readability, correct use of grammar and syntax, responsiveness to format and instructions of the RFQ, and understanding of the Village's request.
- **Knowledge and Experience** – The consultant/firm shall be a firm who must have the appropriate certifications and licenses (if any) required to perform this level of TIF Bond analysis. The consultant/firm shall have adequate experience in completing TIF Bond feasibility studies, Special Tax Allocation Fund and debt service modeling, and alternative revenue bond analysis and evaluations.
- **Key Personnel** - Staff employed by the consultant that will be utilized for any or all specific services included in the RFQ. Please illustrate strengths, licenses, and certifications of which may include experiences or accomplishments by Key Personnel at a previous employer.
- **Projects** - The consultant shall have completed or been involved in at least three (3) successful and completed TIF Bond analysis.

Description	Total Possible Points
Qualifications Based Proposal	10
Knowledge and Experience	45
Key Personnel	15
Projects	30
Total Points	100

VII. Project Timeline

Approximate Dates	Action
Friday, April 24, 2026	Advertisement of RFQ
Friday, May 8, 2026	RFQ Proposals Due /Closing of Advertisement
Friday, May 15, 2026	Identify Successful Consultant – Develop Contract and Project Summary to be Submitted to Village Board
Tuesday, May 26, 2026	Proposal Reviewed for Approval at Village Board Regular Mtg.

Requests for status updates regarding this RFQ process can be forwarded to the Village Manager's Office of the Village of Homewood at any time. Questions and requests for status updates should be made via phone at (708) 206-3378 or sent via email to tacquah@homewoodil.gov.

VIII. Terms and Conditions

General Provisions & Disclaimers

This Request for Qualifications (RFQ) is not a commitment or contract of any kind. The Village reserves the right to pursue any and/or all ideas generated by this request. The Village further reserves the rights to reject, modify, or cancel, in part or in its entirety, this RFQ. The Village assumes no obligation, and none is implied, to award a contract for any phase or services specified in this RFQ. Costs for developing submissions are entirely the responsibility of the respondents and shall not be reimbursed in any case. The Village reserves the right to reject any and all submissions.

The Village reserves the right to waive any requirements of this RFQ when it determines that waiving a requirement is in the best interest of the Village. Submittals are public records subject to disclosure under the Freedom of Information Act (FOIA). The Village cannot guarantee that any information submitted in response to the RFQ will remain confidential.

Prevailing Wage

When applicable, contractor shall not pay less than the prevailing rates of wages to all laborers, workmen, and mechanics performing work under this contract, and shall comply with the requirements of the Illinois Wages of Employees on Public Works Act (820 ILCS 130/1-12).

Confidential and Proprietary Information

Village of Homewood is subject to the Freedom of Information Act and the Illinois Open Meeting Act. Vendors must understand that information and other materials submitted in response to this RFQ or in connection with any contract because of this RFQ may be subject to disclosure as a public record. Therefore, submission of trade secrets or proprietary information or materials is discouraged. Confidential information in the RFQ should be clearly marked.

Please submit Requests for Proposals to:

Terence Acquah
Assistant Village Manager
Village of Homewood
2020 Chestnut Road
Homewood, Illinois 60430
Phone: (708) 206-3378
Email: tacquah@homewoodil.gov

**The RFQ Submittals Are Due
Friday, May 8, 2026 by 5:00 p.m.**

ATTACHMENTS

1. *Ordinance Approving Redevelopment Plan and Project (PDF - page 1)*
2. *Redevelopment Plan and Project (PDF - page 18)*
3. *TIF Qualification Report (PDF – page 40)*



BOARD AGENDA MEMORANDUM

DATE OF MEETING: May 26, 2026

To: Village President and Board of Trustees

Through: Napoleon Haney, Village Manager

From: Terence Acquah, Assistant Village Manager

Topic: Agreement- Architectural and Engineering services for HVAC installation

PURPOSE

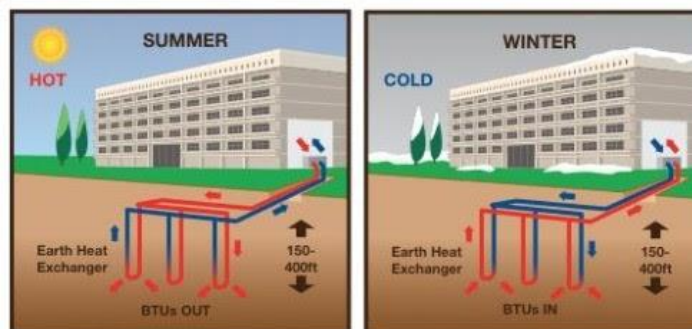
Staff is requesting Village Board approval of an agreement with Kluber Architects and Engineers of Aurora, IL to provide professional engineering and design services for the replacement of the existing geothermal system at the Public Safety Campus (Police and Fire Departments), with a new Heating, Ventilation, and Air Conditioning (HVAC) system in the amount of \$217,750. The project will also include the abandonment of the existing geothermal infrastructure. The scope of work includes the preparation of design plans and specifications, assistance with the bidding process, and construction administration and oversight throughout project implementation.

PROCESS

History of Geothermal

On September 27, 2011, the Village Board approved the installation of a geothermal HVAC system at the Public Safety Campus in an amount not to exceed \$1,546,000. The project replaced the facility's original boiler and chiller HVAC system, which had been in service for more than 20 years and dated back to the original construction of the building in 1967.

Geothermal HVAC systems operate by utilizing the consistent underground temperature of the earth to provide heating and cooling, rather than relying primarily on traditional systems powered by natural gas and mechanical chillers. At the time, the geothermal system was selected because, although it carried a higher initial installation cost, it was projected to provide significant long-term operational and energy savings when compared to a conventional HVAC system.





In addition to anticipated cost savings, the geothermal system was viewed as a more environmentally sustainable option, easier to install than rooftop equipment alternatives, and expected to require less long-term maintenance. Projections at the time estimated that the higher upfront investment would be offset through energy savings within approximately 10 years, with an estimated savings of nearly \$600,000 over a 30-year period compared to the previous system. The project also benefited from a \$90,000 grant awarded through the Illinois Clean Energy Community Foundation.

Failure of Geothermal

Over the past several years, the geothermal HVAC system at the Public Safety Campus generally operated as originally intended and provided heating and cooling services to the Police and Fire Departments. However, as the system has continued to age, the Village has experienced increasing operational challenges, rising maintenance demands, and growing concerns regarding the long-term reliability of the system. In recent years, staff has dedicated a significant amount of time and resources to troubleshooting, servicing, and maintaining the system in an effort to keep it operational.

One of the most significant concerns involves the geothermal control system, which has become outdated and increasingly unreliable. Preliminary estimates to replace and modernize the control system alone have been quoted at approximately \$800,000. In addition to the aging controls, the system has experienced multiple mechanical failures involving pumps, valves, sensors, and other critical components necessary for proper operation.

The Village is also currently dealing with an ongoing glycol leak within the geothermal loop system. Glycol is a non-toxic fluid used within geothermal systems to transfer and regulate heating and cooling temperatures underground. While the fluid itself is designed to be environmentally safe, staff and contractors have been unable to definitively locate the source of the leak within the extensive underground well field infrastructure. This has created ongoing operational inefficiencies and increased maintenance concerns, as the system requires continual monitoring and refilling to maintain proper performance.

Another major challenge is the increasing difficulty in obtaining replacement parts for the system. Due to the age and specialized nature of the equipment, many components are no longer readily manufactured or supported. In several instances, staff has had to search secondary markets, including online resale platforms such as eBay, to locate replacement parts necessary to keep portions of the system functioning. This has created delays in repairs, increased uncertainty in maintenance operations, and raised concerns regarding the long-term sustainability of continuing to operate the system.

As the system's efficiency has declined, the Police and Fire Departments have also experienced ongoing heating and cooling inconsistencies throughout the facility. Certain areas of the building frequently struggle to maintain comfortable temperatures during both extreme summer and



winter conditions. As a result, staff has often relied on supplemental plug-in heaters, portable fans, and wall-mounted cooling units to maintain workable conditions in offices, workspaces, and living quarters. These temporary solutions are not ideal for a critical public safety facility that operates 24 hours a day, 365 days a year, and they further highlight the growing need for a modern, reliable HVAC system capable of consistently supporting daily operations and employee working conditions.

Request for Qualifications (RFQ)

To address the increasing operational challenges and long-term reliability concerns associated with the aging geothermal HVAC system, Village staff issued a Request for Qualifications (RFQ) on October 10, 2025, seeking professional engineering services for the evaluation, planning, and design of a new HVAC system for the Public Safety Campus. The RFQ specifically sought firms with experience designing and evaluating HVAC systems for mission-critical facilities such as police stations, fire departments, and other 24-hour emergency response operations.

Following the RFQ process, the Village received qualifications from three (3) engineering firms: Interface Engineering of Chicago, IL, Kluber Architects and Engineers of Aurora, IL, and Valdes Architecture and Engineering of Lombard, IL. Each firm submitted information outlining their experience with geothermal and conventional HVAC systems, lifecycle cost analysis, mechanical system design, and work involving mission-critical public safety facilities. Staff subsequently reviewed and evaluated the proposals as part of the Village's qualifications-based selection process.

Kluber Architects and Engineers was ultimately selected by staff to conduct the study and assist with the transition away from the existing geothermal system based on the firm's extensive experience performing similar HVAC evaluations and replacement projects for other municipalities and public sector facilities. Staff also considered the firm's familiarity with Village operations and facilities, as Kluber previously partnered with the Village during the renovation of Village Hall. Their prior experience with municipal facilities, combined with their established working relationship with the Village, positioned the firm as the most qualified consultant to evaluate the Public Safety Campus and develop recommendations for a modern, reliable HVAC solution. The final amount of the study was \$14,750.

Who is Kluber?

Kluber Architects and Engineers is a full-service architectural and engineering firm headquartered in Aurora, Illinois, with extensive experience providing mechanical, electrical, and facility design services for municipalities and other public sector clients throughout Illinois. Founded in 1988, the firm specializes in the planning, evaluation, and design of municipal and mission-critical facilities, including police departments, fire stations, public works facilities, village halls, justice centers, and other 24/7 operations.



Kluber has completed numerous HVAC studies, system replacements, and facility improvement projects for municipalities and public agencies such as the Villages of Oak Brook, Woodridge, Hinsdale, and North Aurora, as well as Kane County, DuPage County, and the City of West Chicago. Their experience includes evaluating aging mechanical systems, developing phased replacement strategies, improving energy efficiency, and overseeing construction in occupied facilities that must remain operational during renovations

Proposed recommendation

As part of the study, Kluber documented the complexity and condition of the existing geothermal HVAC system, which includes 24 geothermal wells, multiple ground-source heat pumps, aging piping infrastructure, dedicated ventilation systems, rooftop units, and specialized systems serving the shooting range and apparatus bay. The evaluation also identified operational concerns related to ventilation, maintainability, comfort control, and long-term reliability of the existing equipment.

Following the evaluation, Kluber explored multiple replacement alternatives for the facility. The firm ultimately presented two primary options to the Village for consideration:

Option 1 – Variable Refrigerant Flow (VRF) System

Option 2 – Hot Water / Chilled Water System (Boiler-Chiller Central Plant)

Option 1 – Variable Refrigerant Flow (VRF) System

Option 1 involved replacing the existing geothermal system with a modern Variable Refrigerant Flow (VRF) HVAC system. A VRF system uses refrigerant lines instead of traditional hot and chilled water piping to provide heating and cooling directly to individual areas throughout the building. This type of system allows different areas of the facility to be heated or cooled independently, providing greater temperature control and energy efficiency.

Under this option, multiple outdoor condensing units would be installed outside or on the roof of the facility and connected to indoor air handling units throughout the Police and Fire Departments. The system would also include dedicated outdoor air systems to improve building ventilation and indoor air quality.



Option Estimated Cost 1- Variable Refrigerant Flow (VRF) System

LINE	COST ITEM	COST
01	Building Remodel Construction Raw Cost	\$1,063,943
02	Building Design Contingency (10.00%)	\$106,394
03	SUBTOTAL BUILDING CONSTRUCTION COST	\$1,170,337
04	General Contractor OH & P (15.00%)	\$175,551
05	General Contractor Bond & Insurance (2.00%)	\$26,918
06	TOTAL BUILDING CONSTRUCTION COSTS	\$1,372,806
07	Building Construction Contingency	\$100,000
08	Estimated Permit Fees	\$0
09	Abatement (Not Included)	N/A
10	A/E Fees (TBD)	TBD
11	TOTAL SOFT COSTS	\$100,000
12	TOTAL PROJECT COST	\$1,472,806
	Alternates: (including OH&P, Bond & Insurance)	
13	Bldg Alternate No. 1 - Apparatus Bay / Sallyport	\$45,161
14	Bldg Alternate No. 2 - Shooting Range	\$630,356
15	TOTAL PROJECT COST WITH ALTERNATES	\$2,148,323

Option 2 – Hot Water / Chilled Water System (Boiler-Chiller Central Plant)
 After reviewing the operational needs of the Public Safety Campus and discussing the alternatives with Village staff, Kluber recommended proceeding with Option 2, the Hot Water / Chilled Water System.



Floor-mounted fan-coil unit

Kluber recommended replacing the existing geothermal HVAC system with a more traditional hot water and chilled water system designed specifically for long-term reliability and ease of maintenance at the Public Safety Campus. The recommendation includes removing the existing geothermal infrastructure and installing new high-efficiency boilers for heating and a rooftop chiller system for cooling. The new system would distribute heating and cooling throughout the Police and Fire Departments using updated fan coil units and improved ventilation systems to provide more consistent temperatures, better airflow, and improved comfort throughout the facility.



High-efficiency boilers

Village maintenance staff is already familiar with Hot Water/Chilled system because this was the previous system used before the Geothermal system. Moving to this method would make repairs and long-term maintenance easier and more cost-effective. In addition, replacement parts are more readily available compared to the existing geothermal equipment, which has become increasingly difficult to service. Overall, the boiler and chiller system was viewed as the most reliable and practical solution for a mission-critical facility that operates 24 hours a day, 365 days a year even if the initial cost is higher.

Option 2 Estimated Cost - Hot Water / Chilled Water System (Boiler-Chiller Central Plant)

LINE	COST ITEM	COST
01	Building Remodel Construction Raw Cost	\$1,642,667
02	Building Design Contingency (10.00%)	\$164,267
03	SUBTOTAL BUILDING CONSTRUCTION COST	\$1,806,934
04	General Contractor OH & P (15.00%)	\$271,040
05	General Contractor Bond & Insurance (2.00%)	\$41,559
06	TOTAL BUILDING CONSTRUCTION COSTS	\$2,119,533
07	Building Construction Contingency	\$100,000
08	Estimated Permit Fees	\$0
09	Abatement (Not Included)	N/A
10	A/E Fees (TBD)	TBD
11	TOTAL SOFT COSTS	\$100,000
12	TOTAL PROJECT COST	\$2,219,533
	Alternates: (including OH&P, Bond & Insurance)	
13	Bldg Alternate No. 1 - Apparatus Bay / Sally Port	\$45,161
14	Bldg Alternate No. 2 - Shooting Range	\$630,356
15	TOTAL PROJECT COST WITH ALTERNATES	\$2,895,050

VILLAGE OF HOMEWOOD



Cost Breakdown

To provide flexibility for funding and construction sequencing, Kluber developed a phased implementation approach for the project. Phase 1 would consist of the overall HVAC improvements to the Public Safety Campus, including the new central boiler/chiller plant, building-wide HVAC distribution upgrades, ventilation improvements, and associated infrastructure work. Phase 2 would be dedicated specifically to the shooting range HVAC and filtration improvements. Kluber recommended that the shooting range work (\$630,356) be bid separately and completed at a later phase due to the specialized nature of the ventilation and filtration systems and to allow the Village greater flexibility in project scheduling and budgeting. The Apparatus Bay/Sally Port portion of the project, was dropped due to it not being a critical part of the project. This will bring the initial cost more in line with option 1.

LINE	COST ITEM	COST
01	Building Remodel Construction Raw Cost	\$1,642,667
02	Building Design Contingency (10.00%)	\$164,267
03	SUBTOTAL BUILDING CONSTRUCTION COST	\$1,806,934
04	General Contractor OH & P (15.00%)	\$271,040
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06	TOTAL BUILDING CONSTRUCTION COSTS	\$2,119,533
07	Building Construction Contingency	\$100,000
08	Estimated Permit Fees	\$0
09	Abatement (Not Included)	N/A
10	A/E Fees (TBD)	TBD
11	TOTAL SOFT COSTS	\$100,000
12	TOTAL PROJECT COST	\$2,219,533

The final cost for Kluber to provide architectural and engineering services will be \$217,750. In addition, potential hazardous material abatement costs have not yet been fully identified, as unknown conditions may not become apparent until construction activities begin.

It should also be noted, within the \$217,750 amount, \$45,000 has been budgeted for commissioning services that will be required as part of the project to ensure the new HVAC system is installed, calibrated, and operating properly prior to final acceptance.

To assist with the cost of the project, the Village has secured \$700,000 from the Department of Commerce and Opportunity (DECO) to assist with project. These funds will be reimbursed to the Village when the project is completed.



What's next?

Upon approval of the agreement by the Village Board, Kluber Architects and Engineers will begin preparing the detailed construction drawings, technical specifications, and bid documents for the project. Staff anticipates this design phase will take approximately 6–8 weeks to complete before the project is formally advertised for bid.

Due to the critical nature of the Public Safety Campus and the need to maintain reliable heating operations during the winter months, construction is anticipated to begin in spring 2027. This schedule is intended to avoid major disruptions to the heating system during colder weather conditions. During the summer months, staff will implement temporary safeguards and operational measures as necessary to help maintain cooling and comfort throughout the facility while construction activities are underway.

It should also be noted that the existing geothermal wells located beneath the Village Hall parking lot will ultimately be abandoned as part of the overall HVAC transition project. At this time, it is anticipated that the future developer associated with the Village Hall parking lot redevelopment project will be responsible for the removal and final restoration of the geothermal well field infrastructure.

Preliminary Project Timeline

Phase 1 – Public Safety Campus HVAC Improvements

- **Summer/Fall 2026** – Final design and construction documents completed
- **Late 2026** – Village review and bidding process
- **Winter 2026 / Early 2027** – Contract awards and equipment procurement
- **Spring 2027** – Construction begins
- **Spring 2028** – Substantial completion of Phase 1 improvements
- **Summer 2028** – *Final completion and closeout of Phase 1*

OUTCOME

Moving forward with the project will allow the Village to replace the aging and increasingly unreliable geothermal HVAC system at the Public Safety Campus with a modern, more dependable heating and cooling system designed to support 24/7 police and fire operations for decades to come. The new system is expected to provide improved temperature control, better ventilation, increased energy efficiency, and a more comfortable working environment for police and fire personnel, while significantly reducing the maintenance challenges and operational issues currently associated with the geothermal infrastructure.

The project will also position the Village for greater long-term operational stability by transitioning to a system that is easier to maintain, utilizes readily available replacement parts, and can be serviced more efficiently by Village staff and contractors. Ultimately, the investment



will help ensure the Public Safety Campus remains a safe, reliable, and functional facility capable of supporting critical emergency services operations well into the future.

FINANCIAL IMPACT

- **Funding Source:** General Capital
- **Budgeted Amount:** \$2,500,000 including \$700,000 of grant funding from DCEO
- **Cost:** \$217,750

LEGAL REVIEW

Pending Legal Review

RECOMMENDED BOARD ACTION

Authorize the Village President to enter into an agreement with Kluber Architects and Engineers of Aurora, IL to provide professional engineering and design services for the replacement of the existing geothermal system at the Public Safety Campus (Police and Fire Departments), with a new Heating, Ventilation, and Air Conditioning (HVAC) system in the amount of \$217,750.

ATTACHMENT(S)

- Proposal
- Final Report
- RFQ
- RFQ Response
- Presentation

May 13, 2026 (Revised May 22, 2026)

Joshua Burman
Director of Public Works
Village of Homewood
17755 Ashland Ave.
Homewood, IL 60430

Re: Public Safety Campus HVAC Improvements – ‘Project’
Kluber, Inc. Proposal No. 260427.01R1

Dear Mr. Burman:

Thank you for the opportunity to present this Proposal for Professional Services for the above referenced Project. It is our understanding that the Village of Homewood (‘Owner’) desires to engage Kluber, Inc. (Architect’) to provide usual and customary architectural and engineering Basic Services for the proposed HVAC system renovations at the Public Safety Campus located at 17950 Dixie Hwy., Homewood, IL (herein referred to as ‘Project’).

OVERVIEW OF PROJECT SCOPE

The Project consists of the implementation of the HVAC improvements at the Public Safety Campus. The existing facility is comprised of three (3) levels (partial basement, first and second) totaling approximately 25,000 square feet. Kluber has completed a Study/Assessment Phase dated May 26, 2026 (Exhibit A), which presented two (2) options. Option 1 is the implementation of a Variable Refrigerant Flow System and Option 2 is the implementation of a Hot Water / Chilled Water System. Based on final review with the Owner, the Owner has selected Option 2, boiler chiller central plant.

It has also been determined that the Project will have two (2) phases resulting in separate documents for Construction Documents, Procurement and Construction Administration Phases. The initial Phase 1 will be the overall improvements to the Public Safety Campus. Phase 2 will be isolated to the Shooting Range. The intent is that Kluber prepare the Procurement documents for Phase 1 only with Phase 2 documents as a future project determined by the Owner.

INITIAL INFORMATION

- The Owner’s budget for the Cost of the Work (CoW) is \$2,300,000.00 for Phase 1. The Cost of the Work is the total cost to construct all elements of the Project designed or specified by Kluber, Inc.; it does not include A/E fees, land acquisition costs, permit fees, utility service connection or activation fees, financing costs, contingencies for changes in the Work, or other soft costs that are the responsibility of the Owner.
- The anticipated Project schedule is to be determined as mutually agreed.
- The intended Project delivery method is a single contract for General Construction; single bid package.
- The Owner’s representative for the Project will be Joshua Burman or appointed.
- Kluber, Inc.’s representative for the Project will be Charli Johnsos.

Assumptions/Exclusions include the following:

- A. It is our understanding that the Owner has provided or will provide all environmental testing and abatement of all hazardous materials in the area where renovation work will occur.

- B. The assumption is that the current facility is code compliant with the codes that were in effect when constructed. Our scope of services does not include bringing the facility up to current codes and standards beyond the scope of Work for the Project.
- C. The existing utilities (water, sewer, gas, electric) are capable of supporting the proposed renovations.
- D. The existing drawings provided by the Owner align with the as-built conditions with some minor adjustments that have occurred over the years.

The foregoing is based on our communications over the past several weeks and the completed HVAC Study/Assessment deliverable dated May 26, 2026.

BASIC SERVICES

Kluber, Inc. proposes to provide usual and customary architectural and engineering Basic Services for the Project as set forth in the standardized *AIA B101 - 2017 Standard Form of Agreement between Owner and Architect*, and in accordance with the general understandings applicable to our relationship with you, with limitations as follows:

Construction Document Phase (Phase 1):

- Update documents to incorporate Owner comments from the HVAC Study/Assessment Phase
- Review final information furnished by the Owner
- Additional non-invasive site review as required to document the existing conditions related to the Project scope of work
- Kick-off meeting with Owner to discuss Project in detail
- Perform code review related to Project scope of work
- Prepare specifications
 - Owner bidding requirements
 - Technical requirements for architectural and engineering systems
- Prepare technical drawings
- Prepare final estimate of Cost of the Work
- Administer virtual meetings with Design Team & vendors to review project
- Review final documents with Owner prior to bidding
- Prepare documents for permit submission by the Contractor and respond to permit comments from the Authority Having Jurisdiction.

Procurement Phase (Phase 1):

- Assist Owner in contacting potential bidders for Project
- Prepare agenda and attend pre-bid meeting
- Review substitution requests
- Respond to contractor questions during bidding
- Issue addenda (if required)
- Participate in bid opening
- Perform contractor bid review evaluations
- Prepare and issue contractor bid results letter

Construction Administration Phase (Phase 1):

- Prepare agenda and attend pre-construction meeting
- Issue ASI's and RFP's as required
- Respond to Contractor questions
- Review progress pay requests if requested
- Participate in conference calls administered by the Contractor with Contractor, Owner, Vendors and Design Team
- Review Contractor change order requests and prepare change order documents
- Perform site visits for progress meetings, to address contractor questions and to observe the work is proceeding in general conformance with the contract documents with a maximum of six (6) visits for Phase 1.
- Perform up to two (2) reviews of each construction submittal



- Perform one (1) site visit to confirm Substantial Completion and identify punch list items
- Perform one (1) site visit to verify completion of punch list items and confirm Final Completion of the Work
- Issue Certificate of Substantial Completion
- Assumed Construction duration: 8 months for Phase 1.

SUPPLEMENTAL AND ADDITIONAL SERVICES

Supplemental Services are not included in the Basic Services described above, but may be required for the Project or specifically requested by the Owner. The list below indicates Supplemental Services that will be provided by Kluber, Owner, To Be Determined (TBD) or Not Provided for the Project.

Supplemental Services:	Provided by:
Programming, or Validation of Owner's Project Program, as described below	Not Provided
Existing Facilities:	
Survey of existing facility(ies) (required if Owner's "as-built" drawings are discovered to be unavailable, inaccurate, incomplete or otherwise inconsistent with actual existing conditions)	Not Provided
Measured drawings documenting existing conditions of existing facility(ies)	Not Provided
Other Facility Support Services (as described in AIA B210 – 2017)	Not Provided
Environmental Testing and Abatement for hazardous materials (assumption is the facility does not contain hazardous materials)	Owner
Site Evaluation and Design:	
Site Evaluation and Planning (in accordance with AIA B203 – 2017)	Not Provided
Civil Engineering	Not Provided
Landscape Design	Not Provided
Architectural and Interior Design:	
Multiple preliminary designs/options during Schematic Design Phase	Not Provided
Building information modeling (BIM)	Not Provided
Renderings, models, mockups, or other presentation materials requested by Owner	Not Provided
Historic Preservation (in accordance with AIA B205 – 2017)	Not Provided
Architectural Interior Design, including assistance with selection of interior finish colors, preparation of color boards, (in accordance with AIA B252 – 2019)	Not Provided
Furniture, Furnishings and Equipment (FF&E) (in accordance with AIA B253 – 2019)	Not Provided
Green Design:	
Extensive environmentally responsible design	Not Provided
LEED Certification (in accordance with AIA B214 – 2012)	Not Provided
Engineered Systems:	
Commissioning of engineered systems	TBD
Telecommunications/data systems design	Not Provided
Door Control & Security Access design	Not Provided
Audio Visual system design	Not Provided
Cost Control:	
Value Analysis (in accordance with AIA B204 – 2007)	Not Provided
Detailed opinions of probable construction cost (beyond conceptual costs as determined by per unit area or unit volume techniques)	Not Provided
Opinion of total project cost (including incorporation of soft costs such as A/E fees, permit fees, land acquisition costs, and costs of Additional Services not provided by Kluber, Inc.)	Not Provided
Architect's Instruments of Service:	
As-designed record drawings (incorporating Work documented in Supplemental Instructions, Change Orders and Change Directives) (Included as part of Basic Services)	Kluber
As-built record drawings (incorporating conditions as constructed by the Contractor)	Not Provided
Measured drawings, Design Documents, Construction Documents, as-designed record drawings or as-built record drawings furnished to Owner in AutoCAD .dwg format	Not Provided
Project Delivery, Coordination and Management:	
Coordination of design/engineering consultants employed directly by Owner. Limited to as required for the Architect to prepare its Instruments of Service.	Not Provided
Multiple prime construction contracts	Not Provided
Fast-track project delivery/design services	Not Provided
Construction:	
Conformed construction documents (incorporating Addenda and permit revisions) (Included as part of Basic Services)	Kluber
On-site project representation (not including the site visits noted under the Construction Administration Phase)	Not Provided
Post-occupancy evaluation	Not Provided
Construction Testing Services	Owner or Contractor

Commissioning:



- Owner or Architect will retain Consultant for Commissioning services. Scope TBD.

Additional Services are not included in the Basic Services described above, but may be required for the Project. The list below indicates Additional Services that may arise at no fault of the Architect and approved by the Owner are as follows.

1. Services necessitated by a change in the Initial Information, previous instructions or approvals given by the Owner, or a material change in the Project including size, quality, complexity, the Owner's schedule or budget for Cost of the Work, or procurement or delivery method.
2. Services necessitated by the enactment or revision of codes, laws, or regulations, including changing or editing previously prepared Instruments of Service.
3. Changing or editing previously prepared Instruments of Service necessitated by official interpretations of applicable codes, laws or regulations that are either (a) contrary to specific interpretations by the applicable authorities having jurisdiction made prior to the issuance of the building permit, or (b) contrary to requirements of the Instruments of Service when those Instruments of Service were prepared in accordance with the applicable standard of care.
4. Services necessitated by decisions of the Owner not rendered in a timely manner or any other failure of performance on the part of the Owner or the Owner's consultants or contractors.
5. Preparing digital models or other design documentation for transmission to the Owner's consultants and contractors, or to other Owner-authorized recipients.
6. Preparation of design and documentation for alternate bid or proposal requests proposed by the Owner.
7. Preparation for, and attendance at, a public presentation, meeting or hearing.
8. Preparation for, and attendance at, a dispute resolution proceeding or legal proceeding, except where the Architect is party thereto.
9. Evaluation of the qualifications of entities providing bids or proposals.
10. Consultation concerning replacement of Work resulting from fire or other cause during construction.
11. Assistance to the Initial Decision Maker (third party consultant, such as Owner's Representative), if other than the Architect.

COMPENSATION

Kluber, Inc. proposes to provide the Basic Services described above for the Stipulated Sum noted below.

Kluber, Inc. proposes to provide the Supplemental and Additional Services described above for the fees scheduled below.

Compensation for Basic, Supplemental and Additional Services does not include the services of other independent professionals, associates, or other consultants. If they are required, our fee will be increased by the direct costs of those services multiplied by a factor of 1.15 for overhead, coordination and management of the delivery of those services.

Our billing for Services will be based on progress of the work performed and is outlined as follows:

<u>Basic Services:</u>	
Construction Documents Phase (Phase 1).....	\$142,600.00
Procurement Phase (Phase 1)	\$3,600.00
Construction Administration Phase (Phase 1).....	<u>\$25,800.00</u>
Total Basic Services Fee:.....	\$172,000.00
Specialty Consultant Allowance (Cx):.....	\$45,000.00
Estimated Reimbursable Expenses:.....	<u>\$750.00</u>
Total Basic Services + Specialty Consultant Allowance + Reimbursable Expenses:....	\$217,750.00



Supplemental and Additional Services:

As requested	At Hourly Rates listed below
Responding to Permit Comments from AHJ.....	At Hourly Rates listed below
Supplemental Services (if required)	To be Determined
Additional Services	At Hourly Rates listed below
Construction Documents Phase (Phase 2).....	Future Proposal
Procurement Phase (Phase 2)	Future Proposal
Construction Administration Phase (Phase 2).....	Future Proposal
Each additional Site Visit during construction.....	\$750.00

Reimbursable Expenses (not included in fees noted above) incurred in connection with our Basic and Supplemental Services, and our consultants, will be charged on the basis of cost, without additional markup. Anticipated reimbursable expenses for this project include expedited courier services, printing and plotting, document reproduction, premiums for professional liability insurance in excess of usual and customary coverage and models, renderings or professional photography, and are anticipated not to exceed \$750.00.

Changes in services, when authorized, will be charged on an hourly rate as scheduled hereafter and amended annually in accordance with our hourly rate schedule (2026):

Kluber Architects + Engineers Staff	Hourly Rate
Senior Project Manager	\$220.00
Project Manager	\$194.00
Director of Mechanical Engineering	\$248.00
Senior Mechanical Engineer.....	\$184.00
Senior Mechanical Designer.....	\$170.00
Project Mechanical Engineer.....	\$155.00
Project Mechanical Designer	\$140.00
Mechanical Engineer.....	\$127.00
Mechanical Designer.....	\$120.00
Junior Mechanical Designer.....	\$115.00
Director of Electrical Engineering.....	\$248.00
Senior Electrical Engineer	\$184.00
Senior Electrical Designer.....	\$170.00
Project Electrical Engineer.....	\$155.00
Project Electrical Designer	\$140.00
Electrical Engineer	\$127.00
Electrical Designer.....	\$120.00
Junior Electrical Designer.....	\$115.00
Director of Structural Engineering.....	\$248.00
Senior Structural Engineer.....	\$184.00
Senior Structural Designer.....	\$170.00
Project Structural Engineer.....	\$155.00
Project Structural Designer	\$140.00
Structural Engineer	\$127.00
Structural Designer.....	\$120.00
Junior Structural Designer.....	\$115.00
Director of Architecture	\$225.00
Senior Architect.....	\$175.00
Senior Architectural Designer	\$160.00
Project Architect	\$145.00
Project Architectural Designer.....	\$130.00
Architect.....	\$120.00
Architectural Designer	\$110.00
Junior Architectural Designer.....	\$100.00



Senior Project Coordinator.....	\$125.00
Project Coordinator.....	\$100.00
Technology Director.....	\$200.00
Technology Coordinator.....	\$165.00
Director of Business Development.....	\$170.00
Senior Marketing Coordinator.....	\$125.00
Marketing Coordinator.....	\$100.00
Mark-up for hourly Projects (indirect costs, OH & P).....	20.0%
Hourly rates for dispute resolution or legal proceedings are 2.0 times the rates noted above.	

Limitation of Liability: Notwithstanding any other provision of this Agreement, and to the fullest extent permitted by law, the total liability, in the aggregate, of Kluber, Inc.'s officers, directors, partners, employees, agents, and Kluber's Consultants, and any of them to Owner/Client and anyone claiming by, through, or under Owner/Client for any and all claims, losses, costs, or damages whatsoever arising out of, resulting from, or in any way related to the Project or the Subagreement from any cause or causes, including but not limited to the negligence, professional errors or omissions, strict liability or breach of contract, or warranty express or implied of Kluber's officers, directors, partners, employees, agents, or Kluber's Consultants, or any of them shall not exceed the total amount of two times fee, excluding reimbursable expenses, up to the and not exceeding the insurance policy limits. The services provided herein are governed solely with regards to permanent building codes only, compliance with OSHA regulations is specifically excluded.

INSURANCE

Kluber, Inc. will maintain its standard insurance as noted below until termination of this Agreement. If the Owner requirements are above the types and limits the Architect normally maintains, the Owner shall pay the Architect as a reimbursable expense.

- Commercial General Liability: \$2,000,000.00 for each occurrence, \$4,000,000.00 in the aggregate for bodily injury and property damage.
- Automobile Liability covering vehicles owned, and non-owned vehicles used, by the Architect: \$1,000,000.00 per accident for bodily injury, death of any person, and property damage arising out of the ownership, maintenance and use of those motor vehicles, along with any other statutorily required automobile coverage.
- Workers' Compensation: At statutory limits.
- Employers' Liability: \$1,000,000.00 for each employee, and \$1,000,000.00 policy limit.
- Professional Liability: \$2,000,000.00 per claim, \$5,000,000.00 in the aggregate covering negligent acts, errors and omissions in the performance of professional services.

COPYRIGHTS AND LICENSES

1. The Architect and the Owner warrant that in transmitting Instruments of Service, or any other information, the transmitting party is the copyright owner of such information or has permission from the copyright owner to transmit such information for its use on the Project.
2. The Architect and the Architect's consultants shall be deemed the authors and owners of their respective Instruments of Service, including the Drawings and Specifications, and shall retain all common law, statutory and other reserved rights, including copyrights. Submission or distribution of Instruments of Service to meet official regulatory requirements or for similar purposes in connection with the Project is not to be construed as publication in derogation of the reserved rights of the Architect and the Architect's consultants.
3. The Architect grants to the Owner a nonexclusive license to use the Architect's Instruments of Service solely and exclusively for purposes of constructing, using, maintaining, altering and adding to the Project, provided that the Owner substantially performs its obligations under this Agreement. The license granted under this section permits the Owner to authorize the Contractor, Subcontractors, Sub-subcontractors, and suppliers, as well as the Owner's consultants and separate contractors, to reproduce applicable portions of the Instruments of Service, solely and exclusively for use in performing services or construction for the Project. If the Architect rightfully terminates this Agreement for cause, the license granted shall terminate.



4. In the event the Owner uses the Instruments of Service without retaining the authors of the Instruments of Service, the Owner releases the Architect and Architect's consultant(s) from all claims and causes of action arising from such uses. The Owner, to the extent permitted by law, further agrees to indemnify and hold harmless the Architect and its consultants from all costs and expenses, including the cost of defense, related to claims and causes of action asserted by any third person or entity to the extent such costs and expenses arise from the Owner's use of the Instruments of Service. The terms shall not apply if the Owner rightfully terminates this Agreement for cause.
5. No other license or right shall be deemed granted or implied under this Agreement. The Owner shall not assign, delegate, sublicense, pledge or otherwise transfer any license granted herein to another party without the prior written agreement of the Architect. Any unauthorized use of the Instruments of Service shall be at the Owner's sole risk and without liability to the Architect and the Architect's consultants.
6. These provisions shall survive the termination of this Agreement.

CLAIMS AND DISPUTES

- A. The Owner and Architect shall commence all claims and causes of action against the other and arising out of or related to this Agreement, whether in contract, tort, or otherwise, in accordance with the requirements of the binding dispute resolution method selected in this Agreement and within the period specified by applicable law, but in any case not more than 10 years after the date of Substantial Completion of the Work.
- B. To the extent damages are covered by property insurance, the Owner and Architect waive all rights against each other and against the contractors, consultants, agents, and employees of the other for damages, except such rights as they may have to the proceeds of such insurance as set forth in AIA Document A201-2017, General Conditions of the Contract for Construction. The Owner or the Architect, as appropriate, shall require of the contractors, consultants, agents, and employees of any of them, similar waivers in favor of the other parties enumerated herein.
- C. The Architect and Owner waive consequential damages for claims, disputes, or other matters in question, arising out of or relating to this Agreement. This mutual waiver is applicable, without limitation, to all consequential damages due to either party's termination of this Agreement.
- D. Any claim, dispute or other matter in question arising out of or related to this Agreement shall be subject to mediation as a condition precedent to binding dispute resolution. If such matter relates to or is the subject of a lien arising out of the Architect's services, the Architect may proceed in accordance with applicable law to comply with the lien notice or filing deadlines prior to resolution of the matter by mediation or by binding dispute resolution.
- E. The Owner and Architect shall endeavor to resolve claims, disputes and other matters in question between them by mediation, which, unless the parties mutually agree otherwise, shall be administered by the American Arbitration Association in accordance with its Construction Industry Mediation Procedures in effect on the date of this Agreement. A request for mediation shall be made in writing, delivered to the other party to this Agreement, and filed with the person or entity administering the mediation. The request may be made concurrently with the filing of a complaint or other appropriate demand for binding dispute resolution but, in such event, mediation shall proceed in advance of binding dispute resolution proceedings, which shall be stayed pending mediation for a period of 60 days from the date of filing, unless stayed for a longer period by agreement of the parties or court order. If an arbitration proceeding is stayed pursuant to this section, the parties may nonetheless proceed to the selection of the arbitrator(s) and agree upon a schedule for later proceedings.
- F. The parties shall share the mediator's fee and any filing fees equally. Mediation shall be held in the place where the Project is located unless another location is mutually agreed upon. Agreements reached in mediation shall be enforceable as settlement agreements in any court having jurisdiction thereof.
- G. If the parties do not resolve a dispute through mediation, the method of binding dispute resolution shall be litigation in the Circuit Court for the Sixteenth Judicial Circuit, Kane County, Illinois. The prevailing party shall be entitled to recover its costs, including expert witness fees and reasonable attorney fees.



Exhibit A

PRELIMINARY ENGINEERING PHASE

- Final Report – May 26, 2026



Village of Homewood – HVAC Renovations

SUBMITTED TO:

Village of Homewood

2020 Chestnut Road
Homewood, Illinois 60430

Project number: 26-347-1670



May 26, 2026

Mr. Joshua Burman
Director of Public Works
Village of Homewood
17755 Ashland Ave.
Homewood, IL 60430

Re: Public Safety Campus HVAC Replacement
Kluber Project No. 26-347-1670

The Kluber team has enjoyed the opportunity to work with the representatives from the Village of Homewood on the Heating, Ventilation, and Air Conditioning (HVAC) Replacement for the Public Safety Campus.

The following document has been grouped into several sections as described below:

Project Scope

The work defined by Kluber’s Proposal and as clarified or modified through discussions with Village representatives during the current phase of Kluber’s work.

The Village of Homewood would like to replace the current HVAC system at the Public Safety Campus and is looking for recommendations, budgets, and options to phase future HVAC projects.

Preliminary Evaluation

An analysis of the exiting conditions including Kluber’s review of available existing drawings and site visits to review existing conditions.

Recommendations

Recommendations for improvements to and replacement of the current HVAC system including design options and phasing.

Preliminary Cost Estimate

An opinion of probable cost for the recommendation discussed. It includes costs for materials, selective demolition, allowances, contingencies and soft costs.

Next Steps

The Village of Homewood has reviewed the plan and desires to implement Option 2. Upon acceptance of the Study the next steps would be to proceed with the Construction Documents phase of the project.

This phase will include detailed Drawings and Technical Specifications, as well as front-end bidding requirements for the Village.

As always, if you have any questions regarding the attached information, please contact our office.

It has been a pleasure working with you and your team, and we look forward to proceeding with the next phase of this project.

Sincerely,



Charli Johnsos
Senior Project Manager
cjohnsos@kluberinc.com



Table of Contents

PROJECT SCOPE – 4

Definition of Project Scope

PRELIMINARY EVALUATION – 6

Existing Systems Descriptions

Existing HVAC Drawings

HVAC Systems Photos

RECOMMENDATIONS – 15

Applicable Building Codes

HVAC Systems Descriptions

PRELIMINARY COST ESTIMATE – 28

Preliminary Estimate of Probable Construction Costs



Project Scope

This section describes the scope of work that has led to this report.





THE PROJECT SCOPE IS FURTHER DEFINED AS FOLLOWS:

Homewood Public Safety Campus – HVAC Improvements

The project consists of developing options and cost estimates for a new HVAC system for the Public Safety Campus. The existing facility is comprised of three levels (partial basement, first and second) totaling approximately 25,000 square feet. This includes reviewing the existing conditions, evaluating modern system alternatives and recommending solutions that ensure reliable performance, energy efficiency and long-term maintainability for this mission-critical, 24/7 facility.

Preliminary Evaluation

Review of available existing drawings or as-builts and site visit to review existing conditions.



Existing Systems Descriptions

MECHANICAL SYSTEMS

The building is heated and cooled with a ground source heat pump (GSHP) system. The system consists of a water loop (ground loop) that is pumped between a set of geothermal wells and indoor ground-sourced heat pumps. There are twenty-four, 400-foot-deep geothermal wells at the Public Safety Center, located in the adjacent parking lot on the west side of the building. These wells use the earth's relatively constant ground temperature to maintain the ground loop water temperature within a specific range. The water loop absorbs heat from the ground in the winter and rejects heat in the summer. The indoor ground source heat pumps are refrigerant based systems which provide the heating or cooling to the building. Heat pumps contain a reversing valve in the refrigerant system which allows the system to operate in heating or cooling. When the heat pump is in cooling mode, heat from the building is rejected to the ground loop. In heating mode, heat is absorbed from the ground loop.

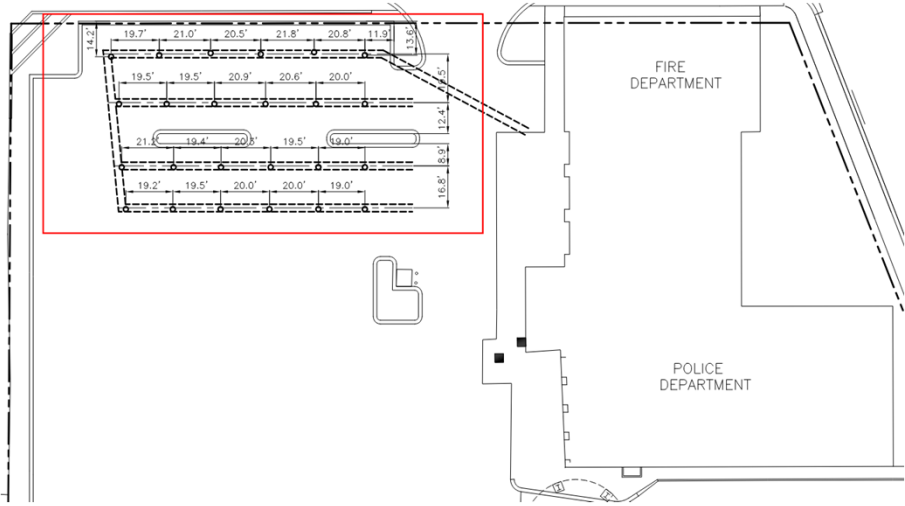
The fire station and the police station have separate piping connections to the geothermal field. One building's part of the ground loop could potentially be shut down without impacting the other building's heating and cooling capabilities. The ground water supply and return piping mains enter and leave the buildings in the first-floor mechanical room behind the sallyport of the police station and the first-floor maintenance room of the fire station. Inline pumps direct the ground water flow from the geothermal field into the buildings. Propylene glycol is utilized to prevent the water from freezing.

Police Station: First floor

The first floor of the police station is heated and cooled by ten floor-mounted ground-sourced heat pumps (GSHP) and eight ducted GSHP's located above the ceiling. Code required ventilation air is supplied by a ducted, vertical GSHP. This unit pulls ventilation air from the wall louver on the west side of the building and pre-conditions the outside air. An electric duct heater provides additional heating capacity for the unit. This air is then supplied directly into the first-floor plenum space which mixes with the return air of the ducted GSHP's. GSHP's located above the first-floor ceiling distribute ventilation to the space by returning this mixed air from the plenum space. This includes the interview rooms, high-security holding area, and the interior rooms. First floor offices along the perimeter of the building are heated and cooled by floor-mounted GSHP's. The windows in these offices are operable, which meet the requirements for natural ventilation. Piping is routed in the ceiling space and down to the floor mounted units through piping chases and enclosures. Hydronic piping and ductwork from the previous HVAC system is abandoned throughout the first-floor ceiling space.

Police Station: Lower Level

The lower level of the police station is heated and cooled by six ducted GSHP's located above the ceilings and inside the mechanical room. A roof-mounted energy recovery ventilator (ERV) distributes ventilation to the lower level. An ERV is an energy recovery device which transfers energy from an exhaust airstream to the outdoor airstream without mixing of air. Similar to the first floor, the ventilation is supplied directly into the plenum space which mixes with the return air of the ducted GSHP's. These ducted GSHP's distribute the mixed air to the space. The bathrooms and locker rooms are exhausted through the same energy recovery ventilator that supplies outside air to the lower-level.



Geothermal Field Location

Existing Systems Descriptions - CONTINUED

MECHANICAL SYSTEMS - CONTINUED

Police Station: Sallyport

The sallyport is heated by two gas-fired unit heaters. Exhaust is provided by a roof mounted exhaust fan interlocked with a gravity ventilator for makeup air. The ventilation system is controlled by a wall switch.

Police Station: Lower-Level Shooting Range

The shooting range on the lower level is heated and ventilated by a gas-fired makeup-air unit. The shooting range equipment is only operated when the shooting range is in use. Heated outside air is ducted to a supply plenum located on the entry side of the range. The supply plenum contains a perforated wall which evenly distributes air across the face of the wall and into the range. Air is pulled across the range with an exhaust intake located downrange. The exhaust air is filtered by HEPA filters before discharging above the roof of the building. The shooting range does not have any air conditioning making the space very uncomfortable during the warmer months. In addition, based on feedback from the using agency, when the range is not in use, the space can become very cold in the winter and warm during the summer.

Fire Station: First Floor

The first floor of the fire station is heated and cooled by eight floor-mounted ground-sourced heat pumps (GSHP) and two ducted GSHP's located above the ceiling. The windows in the fire station are operable, which meet the requirements for natural ventilation. Piping is routed in the ceiling space and down to the floor mounted units through piping chases and enclosures. Hydronic piping and ductwork from the previous HVAC system is abandoned throughout the first-floor ceiling space.

Fire Station: Second Floor

The second floor of the fire station is heated and cooled by six floor mounted GSHP's and a packaged constant-volume rooftop unit. The GSHP's provide heating and cooling to the day room, kitchen, and locker room. Piping to these GSHP's is routed from the first-floor ceiling space below. Code required ventilation air is provided by a roof-mounted energy recovery ventilator with an electric duct heater for supplemental heat. The outside air is ducted directly to the day room, kitchen, and dormitory corridor. The men's locker room is exhausted through the energy recovery ventilator. The rooftop unit provides heating, cooling and ventilation to the dormitory and the chief's room. These spaces operate as a single zone with one thermostat controlling the entire dormitory.

Fire Station: Apparatus Bay

The apparatus bay is heated by four gas-fired unit heaters. Exhaust is provided by two roof mounted exhaust fans interlocked with gravity ventilators for makeup air. The ventilation system is controlled by a wall switch. A source-capture exhaust system is installed to connect the tailpipe of emergency vehicles directly to exhaust. Piping from the previous HVAC system is abandoned throughout the Apparatus Bay.



Existing HVAC Drawing (Police Station)

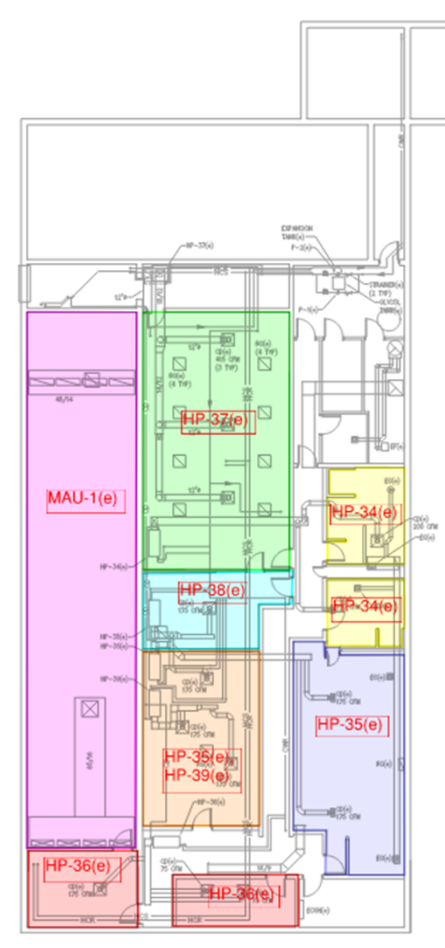
Floor-mounted ground-source Heat pump

Abbreviations:

- GUH – gas-fired unit heater
- HP – ground-source heat pump
- EUH – electric unit heater
- ECUH – electric cabinet unit heater
- CD – ceiling diffuser
- RG – return grille
- EG – exhaust grille



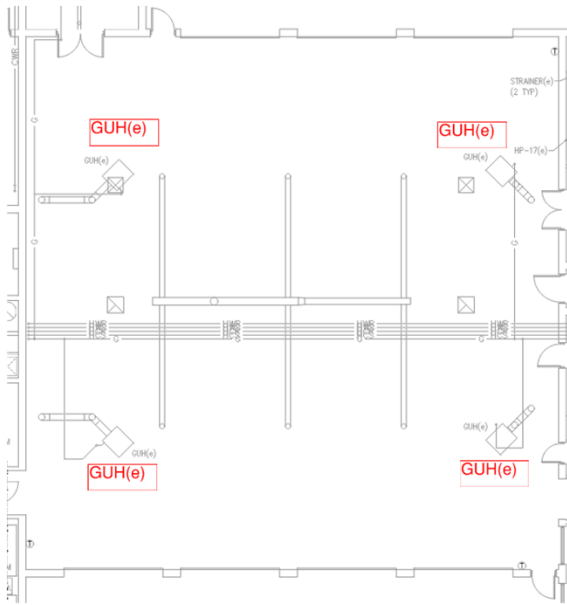
Police Station First Floor



Police Station Lower Level



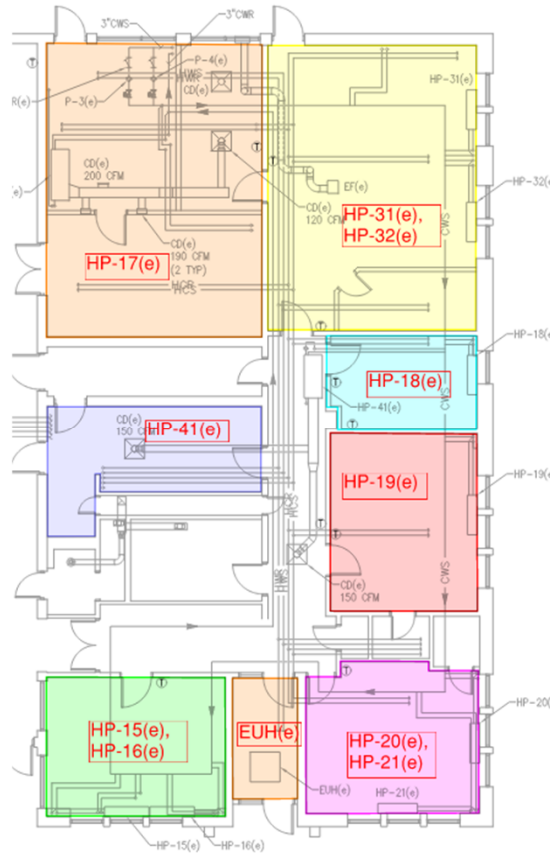
Existing HVAC Drawing (Lower Level, Second Floor)



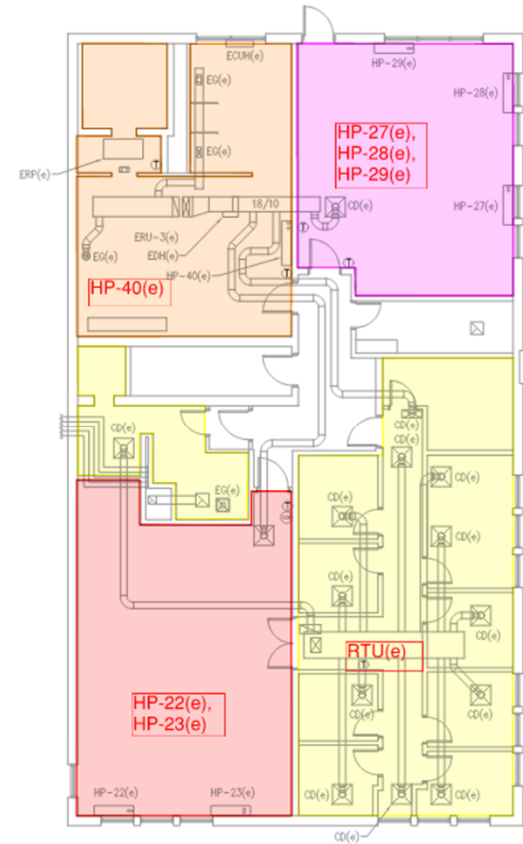
Apparatus Bay

Abbreviations:

- RTU – rooftop unit
- HP – ground-source heat pump
- ERP – electric radiant panel
- ECUH – electric cabinet unit heater
- CD – ceiling diffuser
- RG – return grille
- EG – exhaust grille



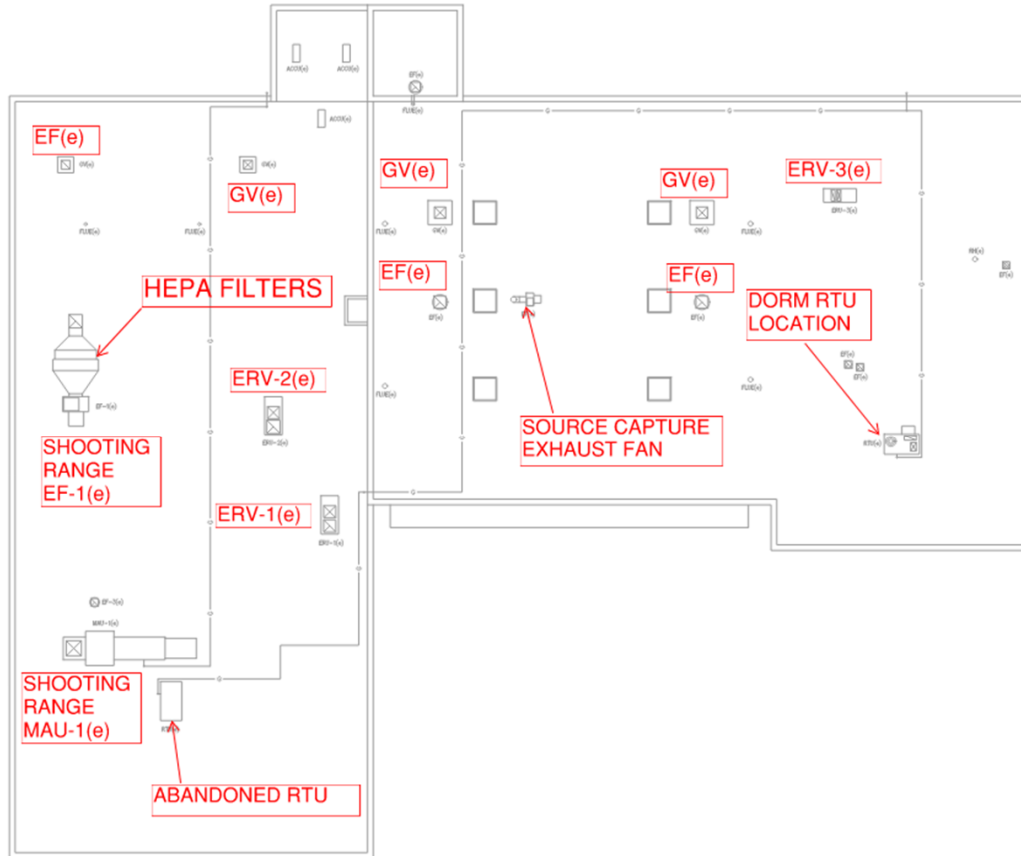
Fire Station First Floor



Fire Station Second Floor



Existing HVAC Drawing (Roof)



Roof

- Abbreviations:
- RTU – rooftop unit
 - EF – exhaust fan
 - ERV – energy recovery unit
 - MAU – makeup air unit
 - GV – gravity ventilator

HVAC Systems Photos



Typical ducted ground source heat pump



Shooting Range perforated supply air wall



Shooting Range

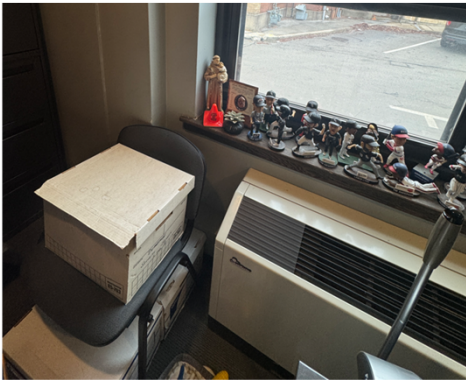


Police Department ground loop pumps



Police Station ground loop equipment (glycol feeder, expansion tank, pot feeder & side-stream filter)

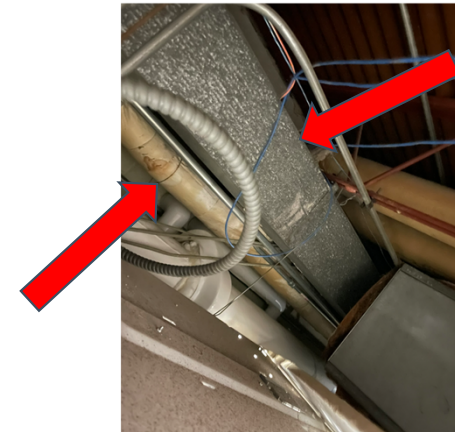
HVAC Systems Photos - Continued



Typical floor-mounted HP



Piping to / from geothermal field (Police Department)



Abandoned HVAC infrastructure above ground water piping



Fire Station ground pump



Piping to / from geothermal field (Fire Station)



Typical gas-fired unit heater

HVAC Systems Photos - Continued



Shooting Range makeup air unit



Shooting Range exhaust fan and HEPA filter housing



Apparatus Bay source-capture exhaust fan



Police Department energy recovery ventilators



Fire Station dormitory rooftop unit



Typical roof mounted exhaust fan



Recommendations

The Recommendations are a series of written descriptions that reference the building codes; descriptions of HVAC systems; system modifications and possible equipment selections.



Applicable Building Codes

Code Information:

This project site falls within the Village of Homewood and will be designed to meet the requirements of the adopted building codes below:

- 2018 International Building Code
- 2018 International Existing Building Code
- 2018 International Mechanical Code
- 2014 State of Illinois Plumbing Code
- 2018 International Fuel Gas Code
- 2017 National Electrical Code
- 2024 Illinois Energy Conservation Code
- 2018 Illinois Accessibility Code
- Local amendments to the above code

Recommendations - Summary

MECHANICAL SYSTEMS

Option 1 Summary:

Variable Refrigerant Flow System:

Remove the geothermal system, abandon the geothermal field, and install a variable refrigerant flow (VRF) system for heating and cooling. Install a combination of floor-mounted, wall-mounted, recessed ceiling cassette, and above-ceiling ducted indoor units. Install dedicated outdoor air systems (DOAS) with energy recovery for ventilation.

Option 2 Summary:

Hot Water / Chilled Water System

Remove the geothermal system, abandon the geothermal field, and install a 4-pipe hot water / chilled water system. Create separate mechanical rooms for a chiller and boilers. Install a split air-cooled chiller with the condenser on the roof for cooling. Install multiple natural gas-fired high efficiency condensing boilers for heating. Hot and chilled water would be distributed throughout the building to various fan coil units to heat and cool the building. Install dedicated outdoor air systems for the fire station and police department to provide ventilation.

Misc. Infrastructure Summary:

Replace the shooting range MAU with a packaged dedicated outdoor air system to provide heating and cooling. Replace the shooting range exhaust and air filtration system with a similar system. Install a hazardous gas detection system for the Sallyport and Apparatus Bay. Re-use the existing roof top unit and install VAV diffusers for the dormitory rooms.

Recommendations

MECHANICAL SYSTEMS

Option 1: Variable Refrigerant Flow System (VRF):

A VRF system is a refrigerant based split system heat pump utilized to heat and cool a building. The outdoor heat pumps operate in heating or cooling year-round based on the building's requirements. VRF systems provide superior zone control as each office can have its own indoor unit with thermostat. Branch selectors control the amount of refrigerant flowing to each indoor unit.

Indoor VRF units are decoupled systems. This means that the ventilation systems and heating/cooling systems are separated. A dedicated outdoor air system with energy recovery (DOAS) would be necessary with the installation of a VRF system. A DOAS is a refrigerant-based packaged roof top unit used to condition the ventilation air. A DOAS would be sized to condition the code required outdoor air amount. The required outdoor air amount would be a much smaller airflow than is required for space conditioning purposes. Treated outdoor air would be supplied to each room at a room neutral condition.

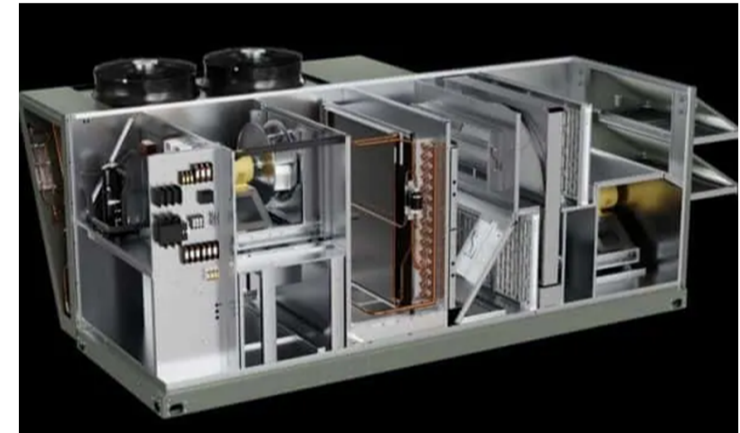
The outdoor equipment for the VRF system will be located on the roof. One VRF outdoor unit would be located on the roof of the fire station and would serve the VRF indoor units in the fire station. One VRF outdoor unit would be located on the roof of the police station and would serve the VRF indoor units in the police station. Refrigerant would be piped inside the building to the indoor equipment.

Police Station: Lower Level

The lower level of the police station has a very low structure. Remove above ceiling heat pumps and replace with wall-mounted or ceiling cassette style VRF indoor units to provide heating and cooling to the lower level. Remove existing roof-mounted ERV and replace with a roof-mounted DOAS to provide ventilation to the lower level. Existing outdoor air and exhaust air duct chases will be utilized. Outdoor air ductwork would be routed through the corridor ceiling space and supplied into the lower-level rooms with sidewall diffusers. This solution would maximize ceiling heights in the lower-level rooms.



VRF outdoor unit



DOAS

Recommendations - Continued

MECHANICAL SYSTEMS - CONTINUED

Option 1: VRF Recommendations

Police Station: First Floor

Replace floor-mounted heat pumps with floor-mounted VRF indoor units. Refrigerant piping would be routed in the joist space, pipe chases, and pipe enclosures. Replace the existing ducted heat pumps with ducted VRF indoor units. Existing building zoning will be reviewed during the design phase to determine where additional zoning may be required for optimal occupant comfort. Supply ductwork would be routed through the ceiling space to the ceiling diffusers. A DOAS would be used for the first floor of the police station. This DOAS would be a packaged unit mounted on the roof. The outdoor air ductwork would be routed in the first-floor ceiling space and connected to the return ductwork of each ducted VRF indoor unit. The outdoor air can be supplied directly into the space for each space containing ductless VRF units. The first-floor ceiling space can remain a plenum return.

Fire Station:

Replace the floor-mounted heat pumps with floor-mounted VRF indoor units for the fire station. Refrigerant piping would be routed down from the roof to the first-floor ceiling space through a pipe chase. Refrigerant piping to the first-floor VRF indoor units would be routed in the joist space, new pipe chases, and new pipe enclosures. Replace the existing ducted heat pumps on the first floor with ducted VRF indoor units. Existing building zoning will be reviewed during the design phase to determine where additional zoning may be required for optimal occupant comfort. Refrigerant piping to the second-floor VRF indoor units would be routed from the ceiling space on the floor below. A DOAS would be used for the fire station. This DOAS would be a packaged unit mounted on the roof of the fire station. The outdoor air ductwork would be routed down to the first-floor ceiling space through a new duct chase. The outdoor air can be supplied directly into the space for each space containing a floor-mounted VRF unit.



Wall-mounted VRF indoor unit



Floor-mounted VRF indoor unit

Recommendations - Continued

MECHANICAL SYSTEMS - CONTINUED

Option 2: Hot Water / Chilled Water Recommendations

Install a four-pipe hot water / chilled water system. Two high-efficiency, natural gas-fired, condensing boilers would be installed in the lower-level mechanical room for heating. Based on the preliminary assessment, a new chase would be installed to vent the boilers to the roof. Final locations for venting will be determined during the design phase. Based on feedback from the Village, the indoor generator may be relocated to the exterior. If the generator is relocated, the generator room will be utilized as a mechanical room. Install a split air-cooled chiller with a remote condenser for cooling. The chiller would be installed in the lower-level with the remote condenser on the roof. The compressors for a split air-cooled chiller are contained within the indoor unit. This reduces the radiated noise generated from the outdoor equipment. The entire building can be served by one central hot water / chilled water system. In a four-pipe hydronic system, the hot water and chilled water have separate piping systems which allows simultaneous cooling and heating operation throughout the year.

Police Station: Lower-Level

The lower level has a very low structure. Remove above ceiling heat pumps and replace with wall-mounted fan-coil units to provide heating and cooling to the lower level. Remove existing roof-mounted ERV and replace with a roof-mounted DOAS to provide ventilation to the lower level. Existing outdoor air and exhaust air duct chases will be utilized. Outdoor air ductwork would be routed through the corridor ceiling space and supplied into the lower-level rooms with sidewall diffusers. This solution would maximize ceiling heights in the lower-level rooms.

Police Station: First Floor

Replace the floor-mounted heat pumps with floor-mounted fan-coil units. Hot water and chilled water piping would be routed in the joist space, new pipe chases, and new pipe enclosures. Replace the existing ducted heat pumps with ducted fan coil units. Supply ductwork would be routed through the ceiling space to the ceiling diffusers. Existing building zoning will be reviewed during the design phase to determine where additional zoning may be required for optimal occupant comfort. A DOAS would be used for the first floor of the police station. The DOAS would be a packaged unit mounted on the roof. The outdoor air ductwork would be routed in the first-floor ceiling space and connected to the return ductwork of each ducted fan coil unit. It is recommended that the outdoor air be supplied directly into the space for each space containing a floor-mounted fan-coil unit. The first-floor ceiling space can remain a plenum return.



Floor-mounted fan-coil unit



High-efficiency boilers



Recommendations - Continued

MECHANICAL SYSTEMS - CONTINUED

Fire Station:

Replace the floor-mounted heat pumps with floor-mounted fan-coil units. Hot water and chilled water piping would be routed from the police station through the apparatus bay. Hot water and chilled water piping to the second-floor fan-coil units would be routed up from the first-floor ceiling space. Hot water and chilled water piping to the first-floor fan-coil units would be routed in the joist space, new pipe chases, and new pipe enclosures. It is recommended that the existing ducted heat pumps on the first floor be replaced with ducted fan-coil units. Existing building zoning will be reviewed during the design phase to determine where additional zoning may be required for optimal occupant comfort. A DOAS is recommended for the fire station. This DOAS would be a packaged unit mounted on the roof of the fire station. The outdoor air ductwork will be routed down to the first-floor ceiling space through a new duct chase. The outdoor air will be supplied directly into the space for each space containing a floor-mounted fan-coil unit.

Sallyport:

The sallyport heating and ventilation system will be replaced with similar equipment. Due to the elevation of the existing structure, infrared radiant heaters would not be feasible for this space. New gas-fired unit heaters will be installed. If option 2 is selected, these unit's can be converted to hot water unit heater in lieu of gas-fired unit heaters. The existing exhaust fan will be replaced with similar equipment, and a hazardous gas detection system will be installed to monitor the Sallyport carbon monoxide and nitrous dioxide levels. The hazardous gas detection system will be interlocked with the exhaust fan. The manual override switch would remain for summer ventilation.

Apparatus Bay:

The gas-fired unit heaters appear to be in good condition and will remain. If option 2 is selected, these units can be converted to hot water unit heaters if desired. Although the structure of the apparatus bay is taller than the sallyport, installing infrared radiant heaters would not be feasible for this space. Infrared heaters require a large clearance below them due to the amount of heat they produce. With the vehicles parked in the apparatus bay, the required clearances would not be met. If the infrared heaters were installed between the vehicle lanes, any combustible materials would have to be relocated to meet the required clearances. The exhaust fans serving the Apparatus Bay will be replaced with similar equipment and a hazardous gas detection system will be installed to monitor the Apparatus Bay carbon monoxide and nitrogen dioxide levels. The hazardous gas detection system will be interlocked with the exhaust fans. The manual override switch would remain for summer ventilation.

Fire Station Second Floor Dormitory:

The existing roof top unit will remain. VAV diffusers will be installed for each bunk room to provide additional space temperature control. VAV diffusers utilize a temperature-sensitive wax to adjust the airflow through the diffuser in response to space temperature.



Recommendations - Continued

MECHANICAL SYSTEMS - CONTINUED

Shooting Range:

The shooting range heating-only makeup air and exhaust fan will be replaced. The unit was manufactured in 2007 and is near the end of its median service life of 15-20 years. Shooting ranges have very specific safety requirements for ventilation to minimize any exposure associated with lead ammunition and other health hazards associated with a shooting range. The shooting range ventilation system should be tested and balanced at the early stages of design. A specialized testing and balancing company familiar with shooting ranges should perform functional testing of the shooting range controls and ventilation system. This step is key to ensuring the existing supply and exhaust infrastructure inside the range is adequate for the range prior to replacing any equipment. The existing supply air perforated wall may need to be replaced with radial diffusers based on the results of preliminary testing.

The shooting range ventilation system will be replaced with a packaged roof top unit (RTU). Since the shooting range requires 100% outdoor air, energy recovery will be incorporated into the design of the new unit. The RTU will pre-treat the outside air and reduce the amount of mechanical heating / cooling required. New HEPA filters will be installed on the roof similar to the current system, however, the exhaust fan will be incorporated into the roof top unit. The shooting range controls will be replaced with new direct digital controls. The new controls will incorporate space temperature control for both occupied and unoccupied modes. The new unit will be a variable air volume unit to allow for reduced airflow when the range is not in use.

The shooting range ventilation system is independent of the rest of the building's HVAC system. Kluber listed the preliminary opinion of cost for this work as an alternate. The Village may wish to bid this out as a separate project.

Building Automation System:

A central direct-digital control (DDC) building automation system will be installed. A building automation system will be utilized to control and monitor the HVAC systems. The system will be a non-proprietary, web-based central control system such as a Johnson Controls Facility Explorer Tridium system

Recommendations - Continued

MECHANICAL SYSTEMS - CONTINUED

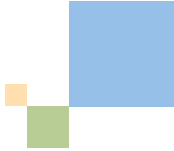
Miscellaneous Notes:

A few additional HVAC options were explored. Further discussions on these options would be required with the client agency on viability:

- Replace equipment in kind. This option would replace heat pumps in kind. This option is not recommended as the existing geothermal field is leaking water and the location of the existing geothermal field may be up for redevelopment. In addition, the current system has experienced multiple compressor failures and difficulty in procuring replacement parts.
- Packaged air-cooled chiller in lieu of split air-cooled chiller: The split-system air-cooled chiller may be substituted with a packaged air-cooled chiller. All components of a packaged air-cooled chiller are contained within the outdoor unit. This option is not recommended as the compressors may become a nuisance for the neighbors. With this option, glycol would have to be introduced into the chilled water system to prevent freezing of the outdoor chiller.
- Two-pipe hydronic system in lieu of 4-pipe system: Chilled water and hot water piping can share the same distribution mains, thus requiring a manual change over in the spring and fall. This is similar to the HVAC system the Police Department and Fire Station had prior to the geothermal system. This system is not recommended as the entire building would have to be in cooling mode or heating mode. Space comfort during the shoulder seasons would be difficult to maintain.
- Air conditioning of the apparatus bay and / or the sallyport: Air conditioning the vehicle storage spaces is not recommended due to the high energy cost of conditioning a garage space. These spaces have large overhead doors which frequently open and close. When these doors open, IECC requires that equipment be turned off / reset temperature.
- Packaged roof top units for fire station. Kluber investigated the viability of adding packaged roof top units to condition the second floor of the fire station. Kluber noted the elevation of the bottom of the joists to be 8'-6" and ceiling heights of 8'-0". Due to the low elevation of the structure and limited space for ductwork, this option would not be feasible.

Project Phasing:

The public safety center is a critical facility which operates 24/7. Due to this, the project must be installed in phases. Close coordination with the client agency will be required and exact sequencing of phases will be determined during the design phase of the project. Project phasing may be different depending on which option is chosen. Areas of the building will be required to be temporarily vacated during construction. Temporary heating and cooling of occupied spaces will be required during construction when the central heating and cooling system is shut down.



Recommendations - Continued

Structural Existing Documentation Review

Our office is in receipt of existing building construction documents prepared by Pereira & Associates dated May 20, 1966. In review of the structural information, we note the following:

Existing structure is comprised of three main buildings. The plan West building, currently the police station, has a footprint of approximately 8,500 square feet. This portion of the building is a single story structure with partial basement. The foundations are conventional cast-in-place (C.I.P.) concrete stem walls and spread footings. The grade level first floor is constructed with a mix of 6"-8" precast hollow core slabs and reinforced concrete beams. Reinforcement masonry construction has been utilized from the first level up to the roof structure which was to be constructed using 8" precast hollow core planks. In review of the existing documents and the listed design superimposed loadings for the roof structure for this portion of the building, it appears the roof framing was likely designed for a second floor addition. The plan south stairwell on the plans indicates a "future" stairwell which would reinforce this assumption.

The centrally located building on the plan is a single story masonry construction volume space approximately 5,200 square feet. This portion of building does not have a basement and currently acts as the garage space for the fire station. The foundations and bearing walls for this area are the same as what was described previously for the eastern police station apart from the long-span roof construction which was to utilize reinforced precast single "T" roof framing. The superimposed loading listed for this roof area indicates it was strictly designed for roof loading applications with no added capacity for use/occupancy change. One area location, plan west of this roof, shows a CIP housekeeping pad for support of large rooftop equipment.

The third building just east of the garage has an approximate footprint of 3,600 square feet and is constructed similar to the police station. This building has a full basement, first level and second floor. All levels were to be framed with precast planking.

Structural As-built Review

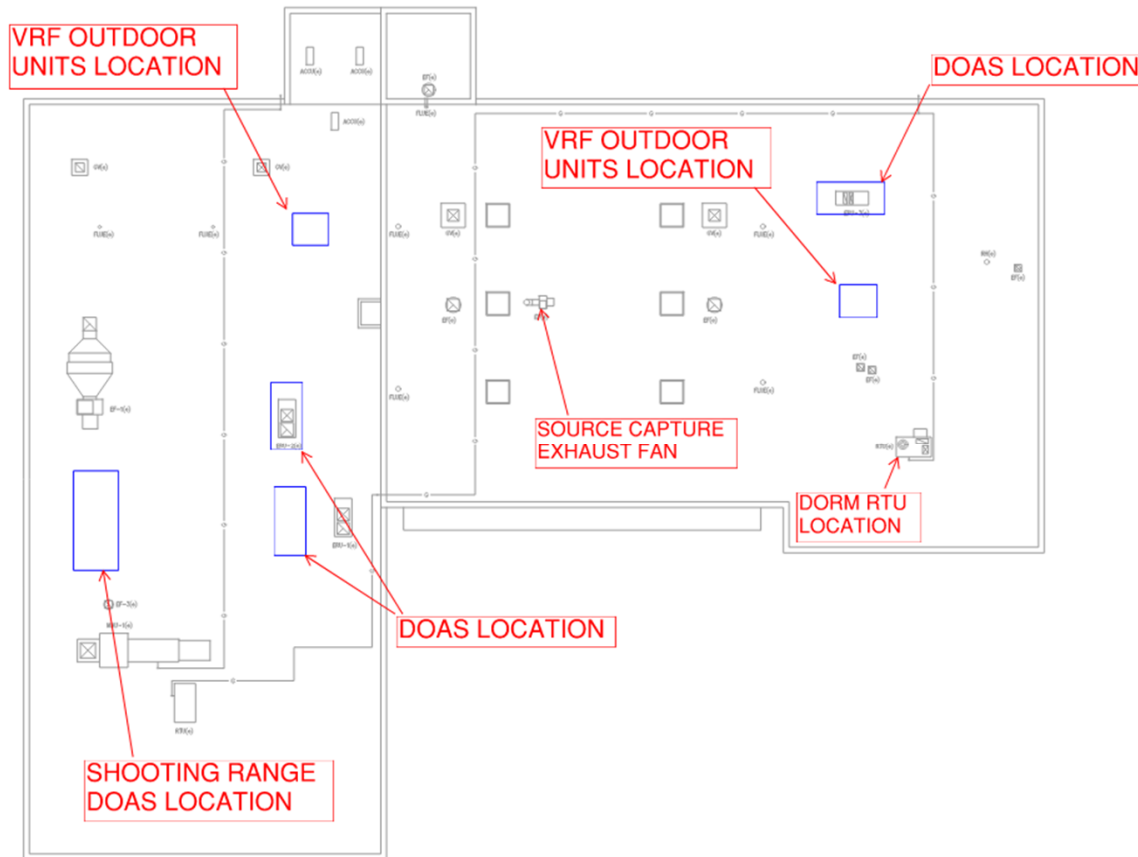
After completion of the site walkthrough, evidence of some value engineering is believed to have occurred during construction. The grade level floor framing for each building noted previously were confirmed in utilizing precast hollow core planks and slab-on-grade construction. However, conventional steel open web bar joist framing has been implemented for all roof framed areas and elevated floors. It is unclear whether this was completed to reduce either weight, costs or both.

Structural - Recommendations

Based on the framing differences between the existing documents and field observations, we recommend care be taken when locating any new rooftop equipment. Due to unknown joist framing depths and spacings, the most economical solution for any roof supported equipment should take an effort to removal and replace equipment one-for-one. With an effort to keep new/replacement equipment in the same location, footprint and weight as existing equipment will ultimately reduce the structural cost impact to the existing framing. Should new equipment be located at a new roof location where no prior equipment is present, we anticipate that reinforcements would be required to the existing bar joists to add total load carrying capacity. This typically requires site welding additional steel to the existing joist bearing seats to provide added shear capacity and miscellaneous bars and plates along the chord and web members to increase bending capacities and to control deflection. Joist reinforcements also carry costs for temporary shoring of the modified bar joist since typically we would not recommend completing these types of reinforcement repairs on a "loaded" member. Shoring would need to remain in place until all reinforcements are completed.

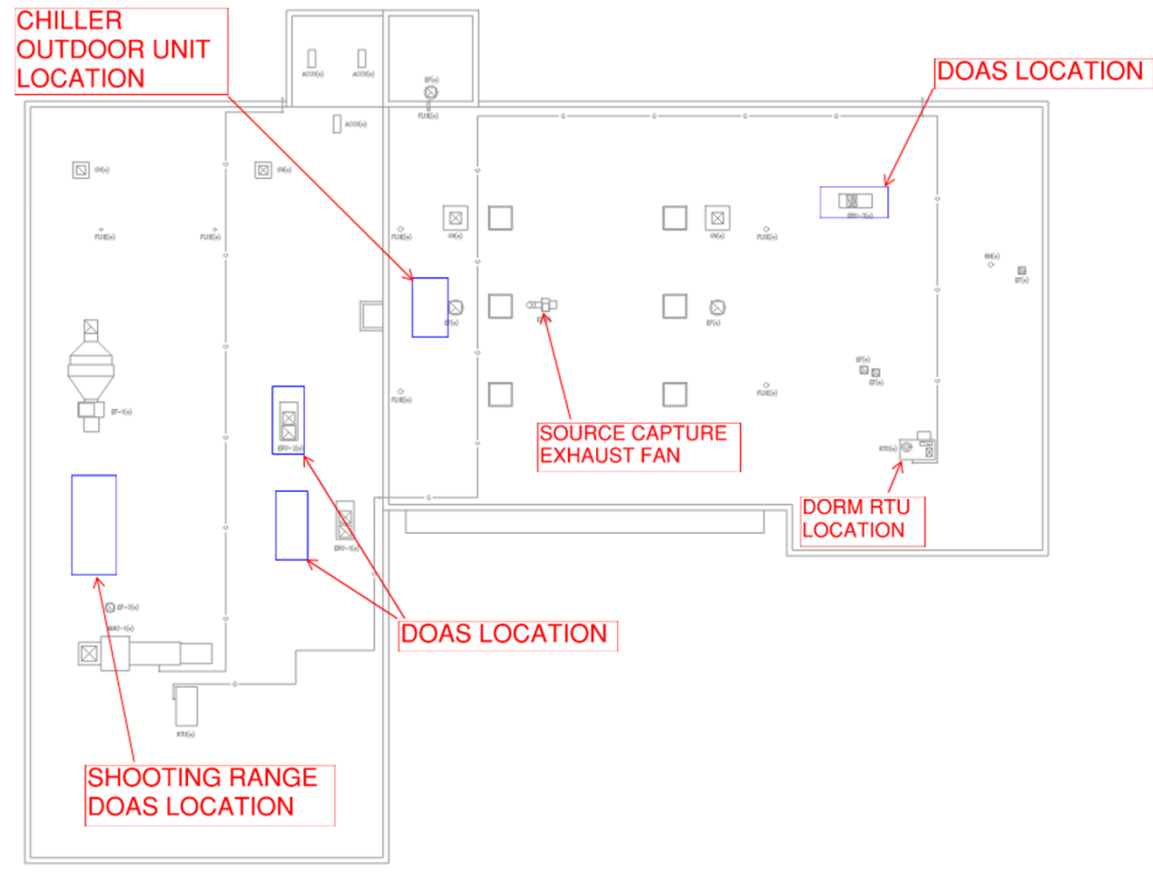


Recommendations - Continued



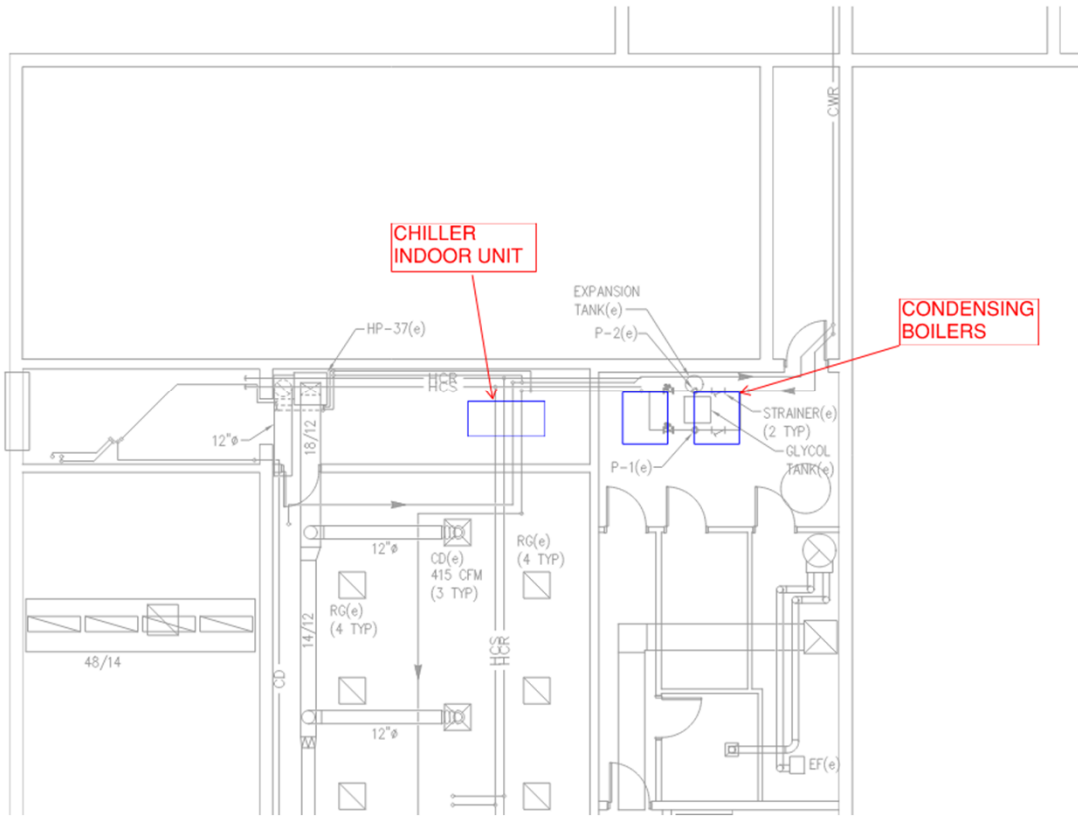
Roof Equipment – Option 1

Recommendations - Continued

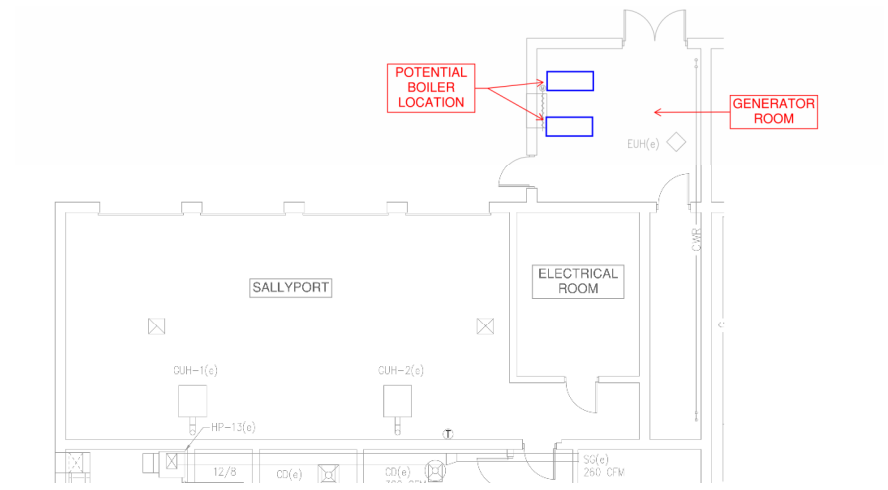


Roof Equipment – Option 2

Recommendations - Continued



Lower-level Equipment Option 2



First Floor Equipment Option 2

Preliminary Cost Estimate

Preliminary Estimate of Probable Construction Costs.



Preliminary Estimate: Public Safety Campus - Option 1

LINE	COST ITEM	COST
01	Building Remodel Construction Raw Cost	\$1,063,943
02	Building Design Contingency (10.00%)	\$106,394
03	SUBTOTAL BUILDING CONSTRUCTION COST	\$1,170,337
04	General Contractor OH & P (15.00%)	\$175,551
05	General Contractor Bond & Insurance (2.00%)	\$26,918
06	TOTAL BUILDING CONSTRUCTION COSTS	\$1,372,806
07	Building Construction Contingency	\$100,000
08	Estimated Permit Fees	\$0
09	Abatement (Not Included)	N/A
10	A/E Fees (TBD)	TBD
11	TOTAL SOFT COSTS	\$100,000
12	TOTAL PROJECT COST	\$1,472,806
	Alternates: (including OH&P, Bond & Insurance)	
13	Bldg Alternate No. 1 - Apparatus Bay / Sallyport	\$45,161
14	Bldg Alternate No. 2 - Shooting Range	\$630,356
15	TOTAL PROJECT COST WITH ALTERNATES	\$2,148,323

Notes:

- 1) Cost does not include hazardous material abatement.
- 2) A/E fees will include commissioning costs and testing and balancing for shooting range.



Preliminary Estimate: Public Safety Campus - Option 2

LINE	COST ITEM	COST
01	Building Remodel Construction Raw Cost	\$1,642,667
02	Building Design Contingency (10.00%)	\$164,267
03	SUBTOTAL BUILDING CONSTRUCTION COST	\$1,806,934
04	General Contractor OH & P (15.00%)	\$271,040
05	General Contractor Bond & Insurance (2.00%)	\$41,559
06	TOTAL BUILDING CONSTRUCTION COSTS	\$2,119,533
07	Building Construction Contingency	\$100,000
08	Estimated Permit Fees	\$0
09	Abatement (Not Included)	N/A
10	A/E Fees (TBD)	TBD
11	TOTAL SOFT COSTS	\$100,000
12	TOTAL PROJECT COST	\$2,219,533
	Alternates: (including OH&P, Bond & Insurance)	
13	Bldg Alternate No. 1 - Apparatus Bay / Sally Port	\$45,161
14	Bldg Alternate No. 2 - Shooting Range	\$630,356
15	TOTAL PROJECT COST WITH ALTERNATES	\$2,895,050

- Notes:
- 1) Cost does not include hazardous material abatement.
 - 2) A/E fees will include commissioning costs and testing and balancing for shooting range.



TIMING

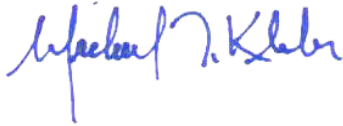
All services contemplated within this proposal shall be completed within 18 months for Phase 1 after the acceptance date. Services performed after closure of that window will be billed hourly in accordance with the rates set forth above. This proposal is valid for a period of up to 45 days from the date noted on this proposal.

FINAL NOTE

If this proposal satisfactorily sets forth your understanding of our agreement, we would appreciate your authorization to proceed with this Work. We are available to discuss any aspect of this proposal with you at your convenience.

Kluber, Inc. appreciates the interest expressed in our firm and we look forward to serving your needs in the future.

Sincerely,



Michael T. Kluber, P.E.
President
Kluber, Inc.

Accepted (Signature) Date

By (printed name and title)

Confidentiality Notice: The contents of this proposal are confidential and may not be distributed to persons other than the Owner.



PRELIMINARY ENGINEERING PHASE

- Final Report – May 26, 2026



Village of Homewood – HVAC Renovations

SUBMITTED TO:

Village of Homewood

2020 Chestnut Road
Homewood, Illinois 60430

Project number: 26-347-1670



May 26, 2026

Mr. Joshua Burman
Director of Public Works
Village of Homewood
17755 Ashland Ave.
Homewood, IL 60430

Re: Public Safety Campus HVAC Replacement
Kluber Project No. 26-347-1670

The Kluber team has enjoyed the opportunity to work with the representatives from the Village of Homewood on the Heating, Ventilation, and Air Conditioning (HVAC) Replacement for the Public Safety Campus.

The following document has been grouped into several sections as described below:

Project Scope

The work defined by Kluber’s Proposal and as clarified or modified through discussions with Village representatives during the current phase of Kluber’s work.

The Village of Homewood would like to replace the current HVAC system at the Public Safety Campus and is looking for recommendations, budgets, and options to phase future HVAC projects.

Preliminary Evaluation

An analysis of the exiting conditions including Kluber’s review of available existing drawings and site visits to review existing conditions.

Recommendations

Recommendations for improvements to and replacement of the current HVAC system including design options and phasing.

Preliminary Cost Estimate

An opinion of probable cost for the recommendation discussed. It includes costs for materials, selective demolition, allowances, contingencies and soft costs.

Next Steps

The Village of Homewood has reviewed the plan and desires to implement Option 2. Upon acceptance of the Study the next steps would be to proceed with the Construction Documents phase of the project.

This phase will include detailed Drawings and Technical Specifications, as well as front-end bidding requirements for the Village.

As always, if you have any questions regarding the attached information, please contact our office.

It has been a pleasure working with you and your team, and we look forward to proceeding with the next phase of this project.

Sincerely,



Charli Johnsos
Senior Project Manager
cjohnsos@kluberinc.com

Table of Contents

PROJECT SCOPE – 4

Definition of Project Scope

PRELIMINARY EVALUATION – 6

Existing Systems Descriptions

Existing HVAC Drawings

HVAC Systems Photos

RECOMMENDATIONS – 15

Applicable Building Codes

HVAC Systems Descriptions

PRELIMINARY COST ESTIMATE – 28

Preliminary Estimate of Probable Construction Costs





Project Scope

This section describes the scope of work that has led to this report.

THE PROJECT SCOPE IS FURTHER DEFINED AS FOLLOWS:

Homewood Public Safety Campus – HVAC Improvements

The project consists of developing options and cost estimates for a new HVAC system for the Public Safety Campus. The existing facility is comprised of three levels (partial basement, first and second) totaling approximately 25,000 square feet. This includes reviewing the existing conditions, evaluating modern system alternatives and recommending solutions that ensure reliable performance, energy efficiency and long-term maintainability for this mission-critical, 24/7 facility.

Preliminary Evaluation

Review of available existing drawings or as-builts and site visit to review existing conditions.



Item 10. I.

Existing Systems Descriptions

MECHANICAL SYSTEMS

The building is heated and cooled with a ground source heat pump (GSHP) system. The system consists of a water loop (ground loop) that is pumped between a set of geothermal wells and indoor ground-sourced heat pumps. There are twenty-four, 400-foot-deep geothermal wells at the Public Safety Center, located in the adjacent parking lot on the west side of the building. These wells use the earth's relatively constant ground temperature to maintain the ground loop water temperature within a specific range. The water loop absorbs heat from the ground in the winter and rejects heat in the summer. The indoor ground source heat pumps are refrigerant based systems which provide the heating or cooling to the building. Heat pumps contain a reversing valve in the refrigerant system which allows the system to operate in heating or cooling. When the heat pump is in cooling mode, heat from the building is rejected to the ground loop. In heating mode, heat is absorbed from the ground loop.

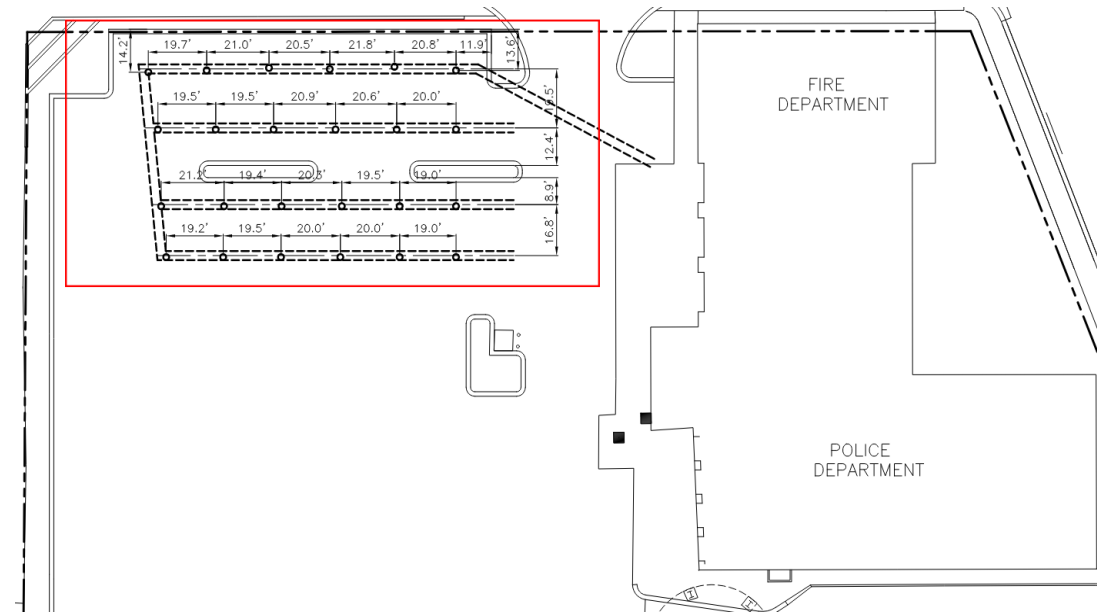
The fire station and the police station have separate piping connections to the geothermal field. One building's part of the ground loop could potentially be shut down without impacting the other building's heating and cooling capabilities. The ground water supply and return piping mains enter and leave the buildings in the first-floor mechanical room behind the sallyport of the police station and the first-floor maintenance room of the fire station. Inline pumps direct the ground water flow from the geothermal field into the buildings. Propylene glycol is utilized to prevent the water from freezing.

Police Station: First floor

The first floor of the police station is heated and cooled by ten floor-mounted ground-sourced heat pumps (GSHP) and eight ducted GSHP's located above the ceiling. Code required ventilation air is supplied by a ducted, vertical GSHP. This unit pulls ventilation air from the wall louver on the west side of the building and pre-conditions the outside air. An electric duct heater provides additional heating capacity for the unit. This air is then supplied directly into the first-floor plenum space which mixes with the return air of the ducted GSHP's. GSHP's located above the first-floor ceiling distribute ventilation to the space by returning this mixed air from the plenum space. This includes the interview rooms, high-security holding area, and the interior rooms. First floor offices along the perimeter of the building are heated and cooled by floor-mounted GSHP's. The windows in these offices are operable, which meet the requirements for natural ventilation. Piping is routed in the ceiling space and down to the floor mounted units through piping chases and enclosures. Hydronic piping and ductwork from the previous HVAC system is abandoned throughout the first-floor ceiling space.

Police Station: Lower Level

The lower level of the police station is heated and cooled by six ducted GSHP's located above the ceilings and inside the mechanical room. A roof-mounted energy recovery ventilator (ERV) distributes ventilation to the lower level. An ERV is an energy recovery device which transfers energy from an exhaust airstream to the outdoor airstream without mixing of air. Similar to the first floor, the ventilation is supplied directly into the plenum space which mixes with the return air of the ducted GSHP's. These ducted GSHP's distribute the mixed air to the space. The bathrooms and locker rooms are exhausted through the same energy recovery ventilator that supplies outside air to the lower-level.



Geothermal Field Location

Existing Systems Descriptions - CONTINUED

Item 10. I.

MECHANICAL SYSTEMS - CONTINUED

Police Station: Sallyport

The sallyport is heated by two gas-fired unit heaters. Exhaust is provided by a roof mounted exhaust fan interlocked with a gravity ventilator for makeup air. The ventilation system is controlled by a wall switch.

Police Station: Lower-Level Shooting Range

The shooting range on the lower level is heated and ventilated by a gas-fired makeup-air unit. The shooting range equipment is only operated when the shooting range is in use. Heated outside air is ducted to a supply plenum located on the entry side of the range. The supply plenum contains a perforated wall which evenly distributes air across the face of the wall and into the range. Air is pulled across the range with an exhaust intake located downrange. The exhaust air is filtered by HEPA filters before discharging above the roof of the building. The shooting range does not have any air conditioning making the space very uncomfortable during the warmer months. In addition, based on feedback from the using agency, when the range is not in use, the space can become very cold in the winter and warm during the summer.

Fire Station: First Floor

The first floor of the fire station is heated and cooled by eight floor-mounted ground-sourced heat pumps (GSHP) and two ducted GSHP's located above the ceiling. The windows in the fire station are operable, which meet the requirements for natural ventilation. Piping is routed in the ceiling space and down to the floor mounted units through piping chases and enclosures. Hydronic piping and ductwork from the previous HVAC system is abandoned throughout the first-floor ceiling space.

Fire Station: Second Floor

The second floor of the fire station is heated and cooled by six floor mounted GSHP's and a packaged constant-volume rooftop unit. The GSHP's provide heating and cooling to the day room, kitchen, and locker room. Piping to these GSHP's is routed from the first-floor ceiling space below. Code required ventilation air is provided by a roof-mounted energy recovery ventilator with an electric duct heater for supplemental heat. The outside air is ducted directly to the day room, kitchen, and dormitory corridor. The men's locker room is exhausted through the energy recovery ventilator. The rooftop unit provides heating, cooling and ventilation to the dormitory and the chief's room. These spaces operate as a single zone with one thermostat controlling the entire dormitory.

Fire Station: Apparatus Bay

The apparatus bay is heated by four gas-fired unit heaters. Exhaust is provided by two roof mounted exhaust fans interlocked with gravity ventilators for makeup air. The ventilation system is controlled by a wall switch A source-capture exhaust system is installed to connect the tailpipe of emergency vehicles directly to exhaust. Piping from the previous HVAC system is abandoned throughout the Apparatus Bay.



Existing HVAC Drawing (Police Station)

Item 10. I.

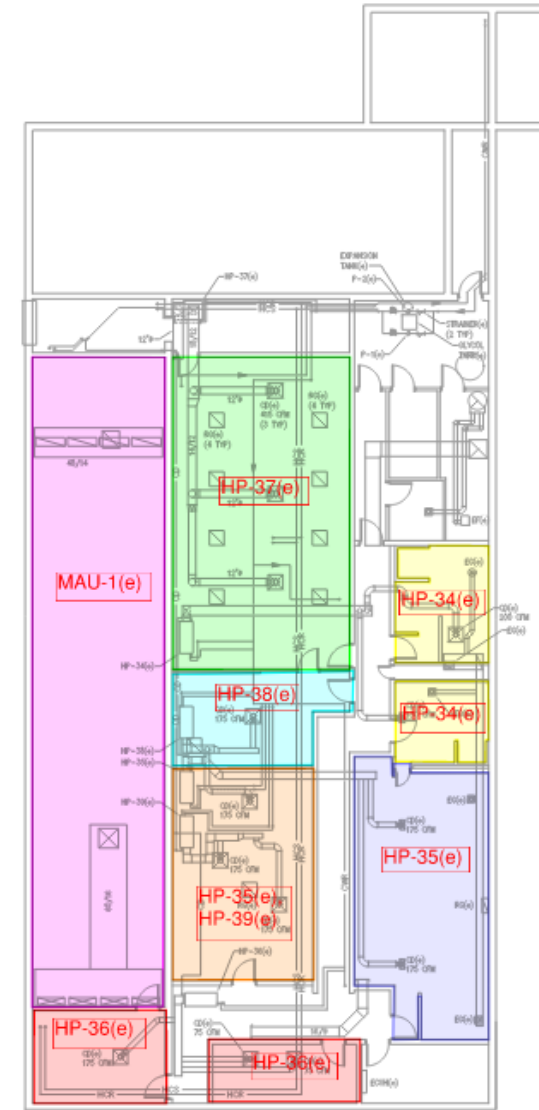
Floor-mounted
ground-source
Heat pump

Abbreviations:

- GUH – gas-fired unit heater
- HP – ground-source heat pump
- EUH – electric unit heater
- ECUH – electric cabinet unit heater
- CD – ceiling diffuser
- RG – return grille
- EG – exhaust grille



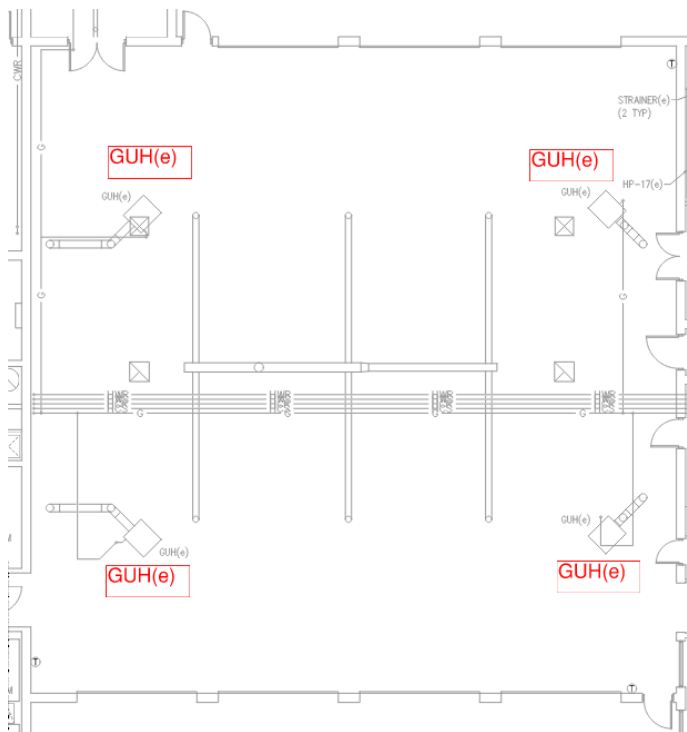
Police Station First Floor



Police Station Lower Level

Existing HVAC Drawing (Lower Level, Second Floor)

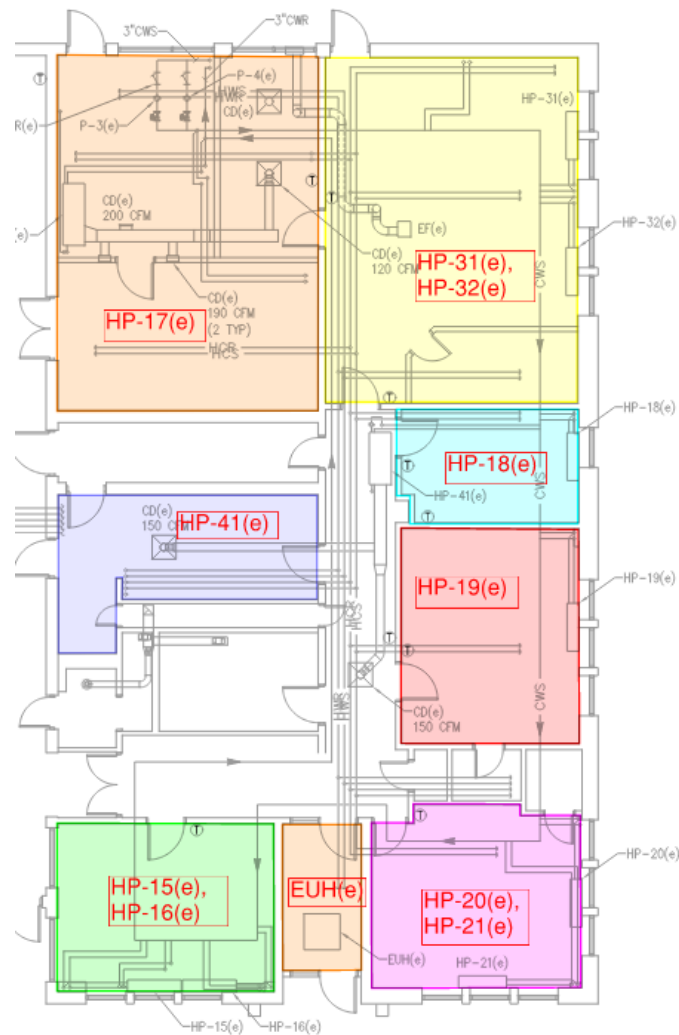
Item 10. I.



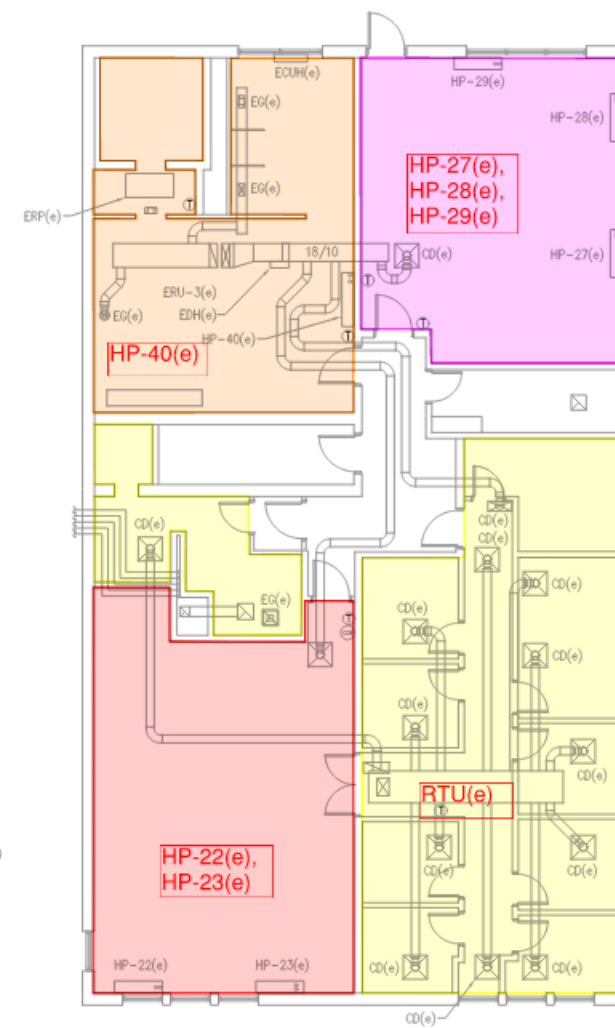
Apparatus Bay

Abbreviations:

- RTU – rooftop unit
- HP – ground-source heat pump
- ERP – electric radiant panel
- ECUH – electric cabinet unit heater
- CD – ceiling diffuser
- RG – return grille
- EG – exhaust grille

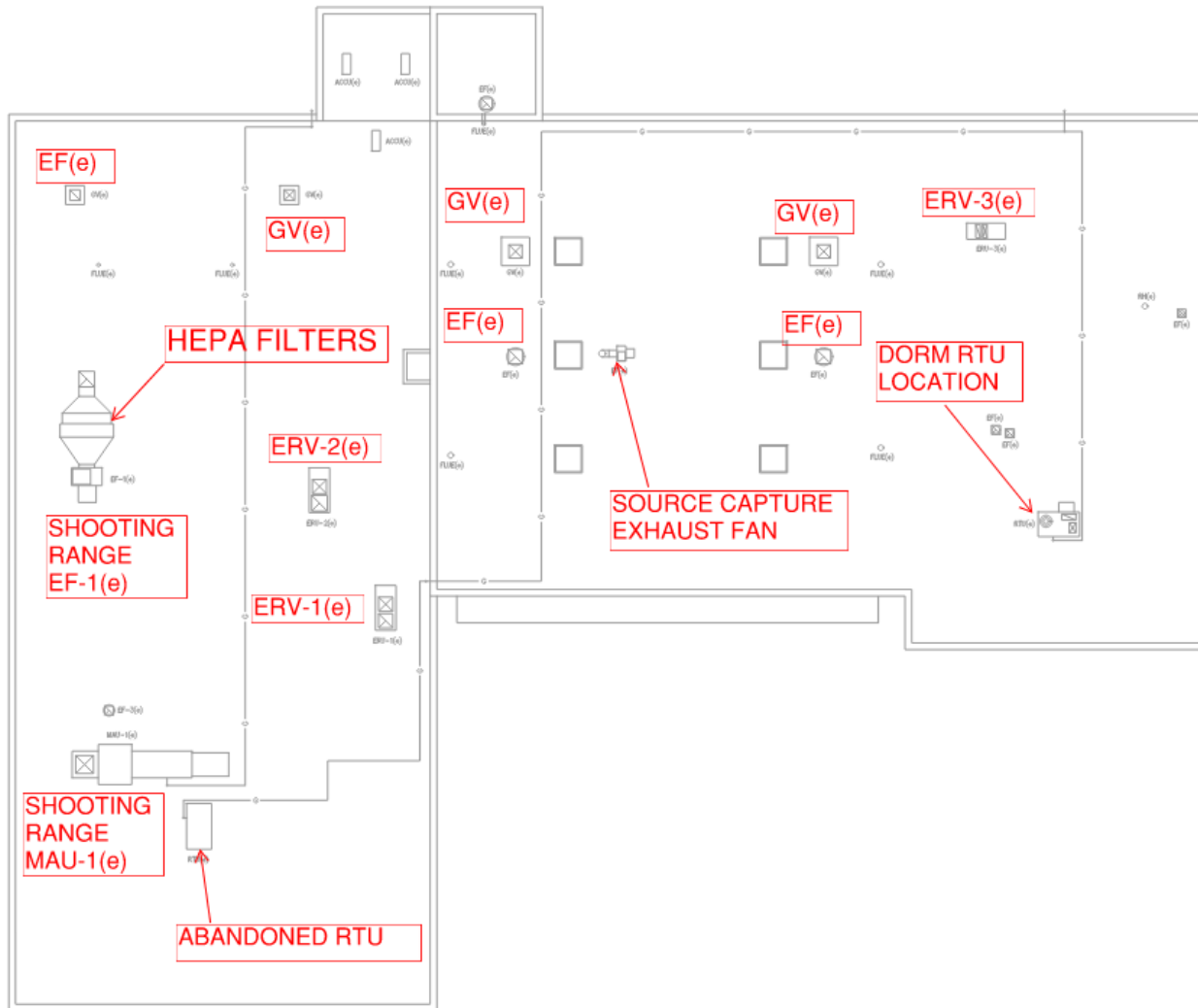


Fire Station First Floor



Fire Station Second Floor

Existing HVAC Drawing (Roof)



Abbreviations:
RTU – rooftop unit
EF – exhaust fan
ERV – energy recovery unit
MAU – makeup air unit
GV – gravity ventilator

Roof

HVAC Systems Photos

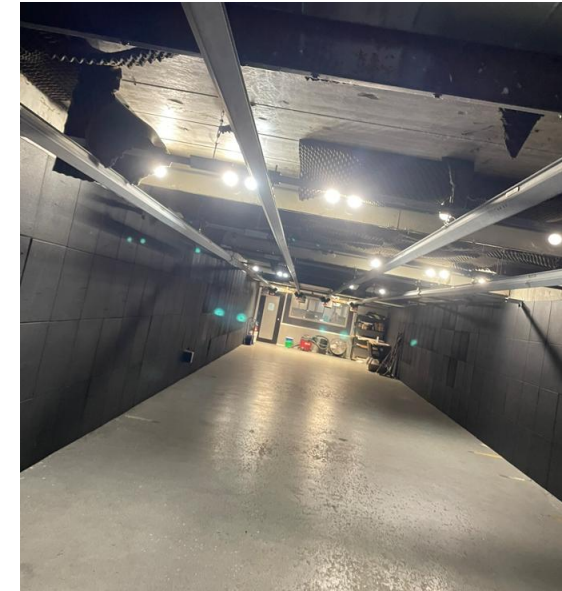
Item 10. I.



Typical ducted ground source heat pump



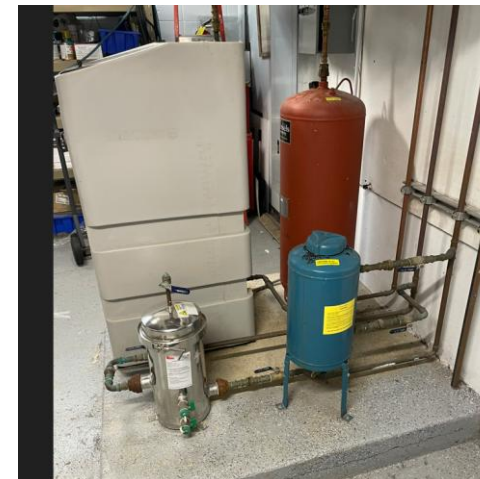
Shooting Range perforated supply air wall



Shooting Range



Police Department ground loop pumps



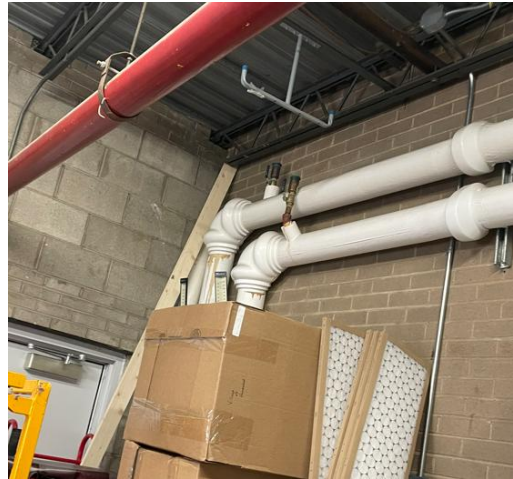
Police Station ground loop equipment (glycol feeder, expansion tank, pot feeder & side-stream filter)

HVAC Systems Photos - Continued

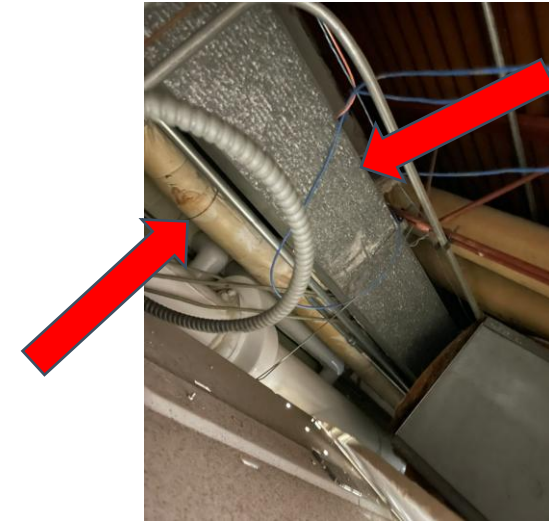
Item 10.1.



Typical floor-mounted HP



Piping to / from geothermal field (Police Department)



Abandoned HVAC infrastructure above ground water piping



Fire Station ground pump



Piping to / from geothermal field (Fire Station)



Typical gas-fired unit heater

HVAC Systems Photos - Continued

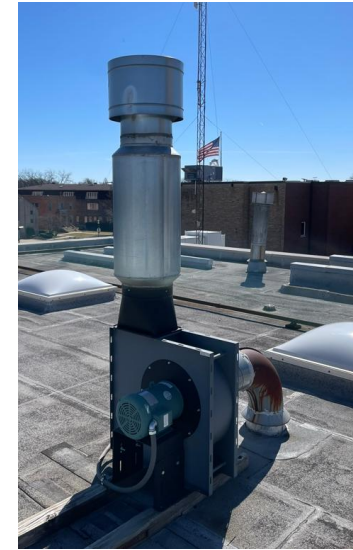
Item 10.1.



Shooting Range makeup air unit



Shooting Range exhaust fan and HEPA filter housing



Apparatus Bay source-capture exhaust fan



Police Department energy recovery ventilators



Fire Station dormitory rooftop unit



Typical roof mounted exhaust fan



Recommendations

The Recommendations are a series of written descriptions that reference the building codes; descriptions of HVAC systems; system modifications and possible equipment selections.

Applicable Building Codes

Code Information:

This project site falls within the Village of Homewood and will be designed to meet the requirements of the adopted building codes below:

2018 International Building Code

2018 International Existing Building Code

2018 International Mechanical Code

2014 State of Illinois Plumbing Code

2018 International Fuel Gas Code

2017 National Electrical Code

2024 Illinois Energy Conservation Code

2018 Illinois Accessibility Code

Local amendments to the above code

Recommendations - Summary

MECHANICAL SYSTEMS

Option 1 Summary:

Variable Refrigerant Flow System:

Remove the geothermal system, abandon the geothermal field, and install a variable refrigerant flow (VRF) system for heating and cooling. Install a combination of floor-mounted, wall-mounted, recessed ceiling cassette, and above-ceiling ducted indoor units. Install dedicated outdoor air systems (DOAS) with energy recovery for ventilation.

Option 2 Summary:

Hot Water / Chilled Water System

Remove the geothermal system, abandon the geothermal field, and install a 4-pipe hot water / chilled water system. Create separate mechanical rooms for a chiller and boilers. Install a split air-cooled chiller with the condenser on the roof for cooling. Install multiple natural gas-fired high efficiency condensing boilers for heating. Hot and chilled water would be distributed throughout the building to various fan coil units to heat and cool the building. Install dedicated outdoor air systems for the fire station and police department to provide ventilation.

Misc. Infrastructure Summary:

Replace the shooting range MAU with a packaged dedicated outdoor air system to provide heating and cooling. Replace the shooting range exhaust and air filtration system with a similar system. Install a hazardous gas detection system for the Sallyport and Apparatus Bay. Re-use the existing roof top unit and install VAV diffusers for the dormitory rooms.

Recommendations

MECHANICAL SYSTEMS

Option 1: Variable Refrigerant Flow System (VRF):

A VRF system is a refrigerant based split system heat pump utilized to heat and cool a building. The outdoor heat pumps operate in heating or cooling year-round based on the building's requirements. VRF systems provide superior zone control as each office can have its own indoor unit with thermostat. Branch selectors control the amount of refrigerant flowing to each indoor unit.



VRF outdoor unit

Indoor VRF units are decoupled systems. This means that the ventilation systems and heating/cooling systems are separated. A dedicated outdoor air system with energy recovery (DOAS) would be necessary with the installation of a VRF system. A DOAS is a refrigerant-based packaged roof top unit used to condition the ventilation air. A DOAS would be sized to condition the code required outdoor air amount. The required outdoor air amount would be a much smaller airflow than is required for space conditioning purposes. Treated outdoor air would be supplied to each room at a room neutral condition.



DOAS

The outdoor equipment for the VRF system will be located on the roof. One VRF outdoor unit would be located on the roof of the fire station and would serve the VRF indoor units in the fire station. One VRF outdoor unit would be located on the roof of the police station and would serve the VRF indoor units in the police station. Refrigerant would be piped inside the building to the indoor equipment.

Police Station: Lower Level

The lower level of the police station has a very low structure. Remove above ceiling heat pumps and replace with wall-mounted or ceiling cassette style VRF indoor units to provide heating and cooling to the lower level. Remove existing roof-mounted ERV and replace with a roof-mounted DOAS to provide ventilation to the lower level. Existing outdoor air and exhaust air duct chases will be utilized. Outdoor air ductwork would be routed through the corridor ceiling space and supplied into the lower-level rooms with sidewall diffusers. This solution would maximize ceiling heights in the lower-level rooms.

Recommendations - Continued

MECHANICAL SYSTEMS - CONTINUED

Option 1: VRF Recommendations

Police Station: First Floor

Replace floor-mounted heat pumps with floor-mounted VRF indoor units. Refrigerant piping would be routed in the joist space, pipe chases, and pipe enclosures. Replace the existing ducted heat pumps with ducted VRF indoor units. Existing building zoning will be reviewed during the design phase to determine where additional zoning may be required for optimal occupant comfort. Supply ductwork would be routed through the ceiling space to the ceiling diffusers. A DOAS would be used for the first floor of the police station. This DOAS would be a packaged unit mounted on the roof. The outdoor air ductwork would be routed in the first-floor ceiling space and connected to the return ductwork of each ductless VRF indoor unit. The outdoor air can be supplied directly into the space for each space containing ductless VRF units. The first-floor ceiling space can remain a plenum return.

Fire Station:

Replace the floor-mounted heat pumps with floor-mounted VRF indoor units for the fire station. Refrigerant piping would be routed down from the roof to the first-floor ceiling space through a pipe chase. Refrigerant piping to the first-floor VRF indoor units would be routed in the joist space, new pipe chases, and new pipe enclosures. Replace the existing ducted heat pumps on the first floor with ducted VRF indoor units. Existing building zoning will be reviewed during the design phase to determine where additional zoning may be required for optimal occupant comfort. Refrigerant piping to the second-floor VRF indoor units would be routed from the ceiling space on the floor below. A DOAS would be used for the fire station. This DOAS would be a packaged unit mounted on the roof of the fire station. The outdoor air ductwork would be routed down to the first-floor ceiling space through a new duct chase. The outdoor air can be supplied directly into the space for each space containing a floor-mounted VRF unit.



Wall-mounted VRF indoor unit



Floor-mounted VRF indoor unit

Recommendations - Continued

MECHANICAL SYSTEMS - CONTINUED

Option 2: Hot Water / Chilled Water Recommendations

Install a four-pipe hot water / chilled water system. Two high-efficiency, natural gas-fired, condensing boilers would be installed in the lower-level mechanical room for heating. Based on the preliminary assessment, a new chase would be installed to vent the boilers to the roof. Final locations for venting will be determined during the design phase. Based on feedback from the Village, the indoor generator may be relocated to the exterior. If the generator is relocated, the generator room will be utilized as a mechanical room. Install a split air-cooled chiller with a remote condenser for cooling. The chiller would be installed in the lower-level with the remote condenser on the roof. The compressors for a split air-cooled chiller are contained within the indoor unit. This reduces the radiated noise generated from the outdoor equipment. The entire building can be served by one central hot water / chilled water system. In a four-pipe hydronic system, the hot water and chilled water have separate piping systems which allows simultaneous cooling and heating operation throughout the year.



Floor-mounted fan-coil unit

Police Station: Lower-Level

The lower level has a very low structure. Remove above ceiling heat pumps and replace with wall-mounted fan-coil units to provide heating and cooling to the lower level. Remove existing roof-mounted ERV and replace with a roof-mounted DOAS to provide ventilation to the lower level. Existing outdoor air and exhaust air duct chases will be utilized. Outdoor air ductwork would be routed through the corridor ceiling space and supplied into the lower-level rooms with sidewall diffusers. This solution would maximize ceiling heights in the lower-level rooms.



High-efficiency boilers

Police Station: First Floor

Replace the floor-mounted heat pumps with floor-mounted fan-coil units. Hot water and chilled water piping would be routed in the joist space, new pipe chases, and new pipe enclosures. Replace the existing ducted heat pumps with ducted fan coil units. Supply ductwork would be routed through the ceiling space to the ceiling diffusers. Existing building zoning will be reviewed during the design phase to determine where additional zoning may be required for optimal occupant comfort. A DOAS would be used for the first floor of the police station. The DOAS would be a packaged unit mounted on the roof. The outdoor air ductwork would be routed in the first-floor ceiling space and connected to the return ductwork of each ducted fan coil unit. It is recommended that the outdoor air be supplied directly into the space for each space containing a floor-mounted fan-coil unit. The first-floor ceiling space can remain a plenum return.

Recommendations - Continued

MECHANICAL SYSTEMS - CONTINUED

Fire Station:

Replace the floor-mounted heat pumps with floor-mounted fan-coil units. Hot water and chilled water piping would be routed from the police station through the apparatus bay. Hot water and chilled water piping to the second-floor fan-coil units would be routed up from the first-floor ceiling space. Hot water and chilled water piping to the first-floor fan-coil units would be routed in the joist space, new pipe chases, and new pipe enclosures. It is recommended that the existing ducted heat pumps on the first floor be replaced with ducted fan-coil units. Existing building zoning will be reviewed during the design phase to determine where additional zoning may be required for optimal occupant comfort. A DOAS is recommended for the fire station. This DOAS would be a packaged unit mounted on the roof of the fire station. The outdoor air ductwork will be routed down to the first-floor ceiling space through a new duct chase. The outdoor air will be supplied directly into the space for each space containing a floor-mounted fan-coil unit.

Sallyport:

The sallyport heating and ventilation system will be replaced with similar equipment. Due to the elevation of the existing structure, infrared radiant heaters would not be feasible for this space. New gas-fired unit heaters will be installed. If option 2 is selected, these units can be converted to hot water unit heater in lieu of gas-fired unit heaters. The existing exhaust fan will be replaced with similar equipment, and a hazardous gas detection system will be installed to monitor the Sallyport carbon monoxide and nitrous dioxide levels. The hazardous gas detection system will be interlocked with the exhaust fan. The manual override switch would remain for summer ventilation.

Apparatus Bay:

The gas-fired unit heaters appear to be in good condition and will remain. If option 2 is selected, these units can be converted to hot water unit heaters if desired. Although the structure of the apparatus bay is taller than the sallyport, installing infrared radiant heaters would not be feasible for this space. Infrared heaters require a large clearance below them due to the amount of heat they produce. With the vehicles parked in the apparatus bay, the required clearances would not be met. If the infrared heaters were installed between the vehicle lanes, any combustible materials would have to be relocated to meet the required clearances. The exhaust fans serving the Apparatus Bay will be replaced with similar equipment and a hazardous gas detection system will be installed to monitor the Apparatus Bay carbon monoxide and nitrogen dioxide levels. The hazardous gas detection system will be interlocked with the exhaust fans. The manual override switch would remain for summer ventilation.

Fire Station Second Floor Dormitory:

The existing roof top unit will remain. VAV diffusers will be installed for each bunk room to provide additional space temperature control. VAV diffusers utilize a temperature-sensitive wax to adjust the airflow through the diffuser in response to space temperature.

Recommendations - Continued

MECHANICAL SYSTEMS - CONTINUED

Shooting Range:

The shooting range heating-only makeup air and exhaust fan will be replaced. The unit was manufactured in 2007 and is near the end of its median service life of 15-20 years. Shooting ranges have very specific safety requirements for ventilation to minimize any exposure associated with lead ammunition and other health hazards associated with a shooting range. The shooting range ventilation system should be tested and balanced at the early stages of design. A specialized testing and balancing company familiar with shooting ranges should perform functional testing of the shooting range controls and ventilation system. This step is key to ensuring the existing supply and exhaust infrastructure inside the range is adequate for the range prior to replacing any equipment. The existing supply air perforated wall may need to be replaced with radial diffusers based on the results of preliminary testing.

The shooting range ventilation system will be replaced with a packaged roof top unit (RTU). Since the shooting range requires 100% outdoor air, energy recovery will be incorporated into the design of the new unit. The RTU will pre-treat the outside air and reduce the amount of mechanical heating / cooling required. New HEPA filters will be installed on the roof similar to the current system, however, the exhaust fan will be incorporated into the roof top unit. The shooting range controls will be replaced with new direct digital controls. The new controls will incorporate space temperature control for both occupied and unoccupied modes. The new unit will be a variable air volume unit to allow for reduced airflow when the range is not in use.

The shooting range ventilation system is independent of the rest of the building's HVAC system. Kluber listed the preliminary opinion of cost for this work as an alternate. The Village may wish to bid this out as a separate project.

Building Automation System:

A central direct-digital control (DDC) building automation system will be installed. A building automation system will be utilized to control and monitor the HVAC systems. The system will be a non-proprietary, web-based central control system such as a Johnson Controls Facility Explorer Tridium system

Recommendations - Continued

MECHANICAL SYSTEMS - CONTINUED

Miscellaneous Notes:

A few additional HVAC options were explored. Further discussions on these options would be required with the client agency on viability:

- Replace equipment in kind. This option would replace heat pumps in kind. This option is not recommended as the existing geothermal field is leaking water and the location of the existing geothermal field may be up for redevelopment. In addition, the current system has experienced multiple compressor failures and difficulty in procuring replacement parts.
- Packaged air-cooled chiller in lieu of split air-cooled chiller: The split-system air-cooled chiller may be substituted with a packaged air-cooled chiller. All components of a packaged air-cooled chiller are contained within the outdoor unit. This option is not recommended as the compressors may become a nuisance for the neighbors. With this option, glycol would have to be introduced into the chilled water system to prevent freezing of the outdoor chiller.
- Two-pipe hydronic system in lieu of 4-pipe system: Chilled water and hot water piping can share the same distribution mains, thus requiring a manual change over in the spring and fall. This is similar to the HVAC system the Police Department and Fire Station had prior to the geothermal system. This system is not recommended as the entire building would have to be in cooling mode or heating mode. Space comfort during the shoulder seasons would be difficult to maintain.
- Air conditioning of the apparatus bay and / or the sallyport: Air conditioning the vehicle storage spaces is not recommended due to the high energy cost of conditioning a garage space. These spaces have large overhead doors which frequently open and close. When these doors open, IECC requires that equipment be turned off / reset temperature.
- Packaged roof top units for fire station. Kluber investigated the viability of adding packaged roof top units to condition the second floor of the fire station. Kluber noted the elevation of the bottom of the joists to be 8'-6" and ceiling heights of 8'-0". Due to the low elevation of the structure and limited space for ductwork, this option would not be feasible.

Project Phasing:

The public safety center is a critical facility which operates 24/7. Due to this, the project must be installed in phases. Close coordination with the client agency will be required and exact sequencing of phases will be determined during the design phase of the project. Project phasing may be different depending on which option is chosen. Areas of the building will be required to be temporarily vacated during construction. Temporary heating and cooling of occupied spaces will be required during construction when the central heating and cooling system is shut down.

Recommendations - Continued

Structural Existing Documentation Review

Our office is in receipt of existing building construction documents prepared by Pereira & Associates dated May 20, 1966. In review of the structural information, we note the following:

Existing structure is comprised of three main buildings. The plan West building, currently the police station, has a footprint of approximately 8,500 square feet. This portion of the building is a single story structure with partial basement. The foundations are conventional cast-in-place (C.I.P.) concrete stem walls and spread footings. The grade level first floor is constructed with a mix of 6"-8" precast hollow core slabs and reinforced concrete beams. Reinforcement masonry construction has been utilized from the first level up to the roof structure which was to be constructed using 8" precast hollow core planks. In review of the existing documents and the listed design superimposed loadings for the roof structure for this portion of the building, it appears the roof framing was likely designed for a second floor addition. The plan south stairwell on the plans indicates a "future" stairwell which would reinforce this assumption.

The centrally located building on the plan is a single story masonry construction volume space approximately 5,200 square feet. This portion of building does not have a basement and currently acts as the garage space for the fire station. The foundations and bearing walls for this area are the same as what was described previously for the eastern police station apart from the long-span roof construction which was to utilize reinforced precast single "T" roof framing. The superimposed loading listed for this roof area indicates it was strictly designed for roof loading applications with no added capacity for use/occupancy change. One area location, plan west of this roof, shows a CIP housekeeping pad for support of large rooftop equipment.

The third building just east of the garage has an approximate footprint of 3,600 square feet and is constructed similar to the police station. This building has a full basement, first level and second floor. All levels were to be framed with precast planking.

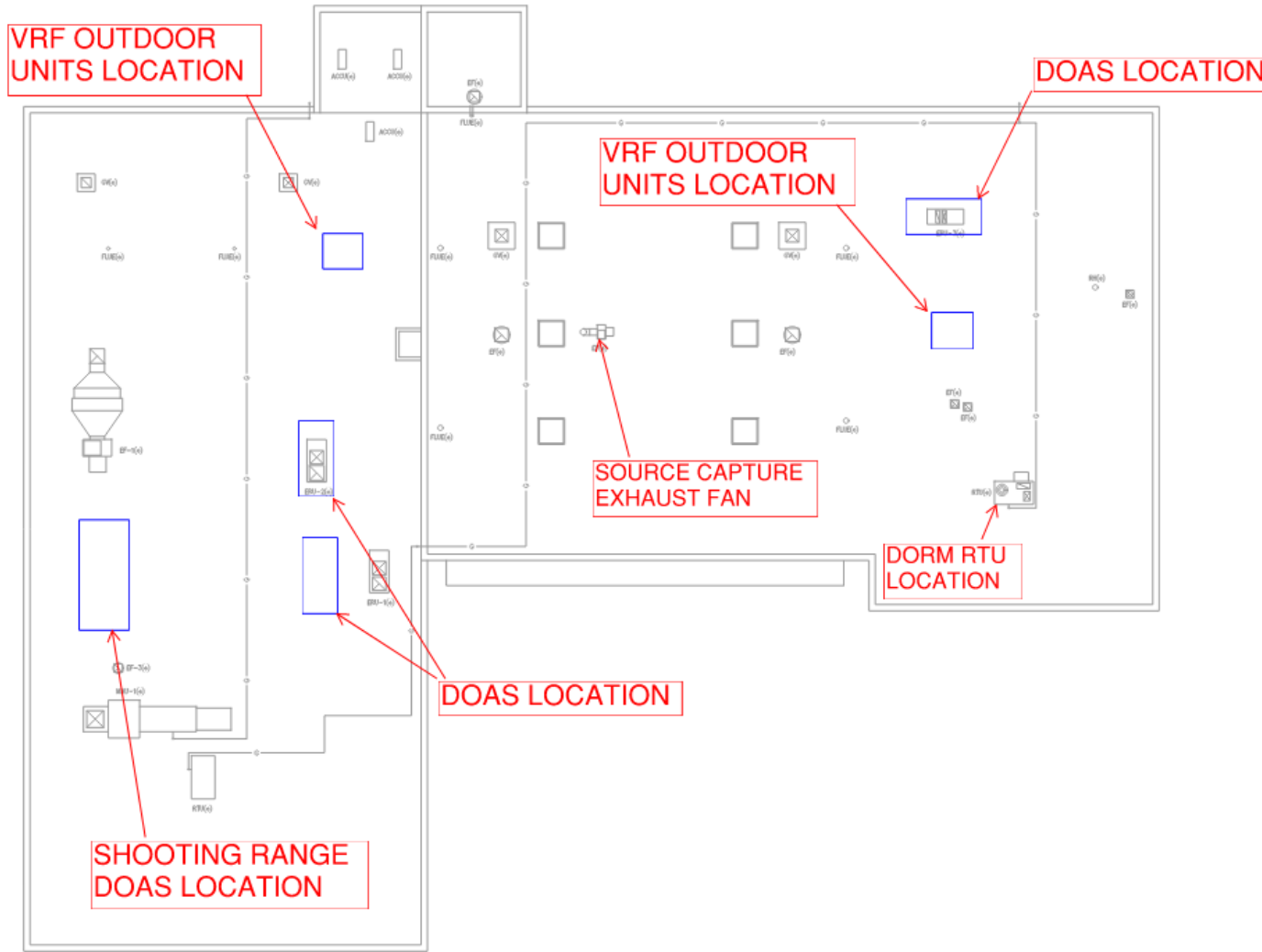
Structural As-built Review

After completion of the site walkthrough, evidence of some value engineering is believed to have occurred during construction. The grade level floor framing for each building noted previously were confirmed in utilizing precast hollow core planks and slab-on-grade construction. However, conventional steel open web bar joist framing has been implemented for all roof framed areas and elevated floors. It is unclear whether this was completed to reduce either weight, costs or both.

Structural - Recommendations

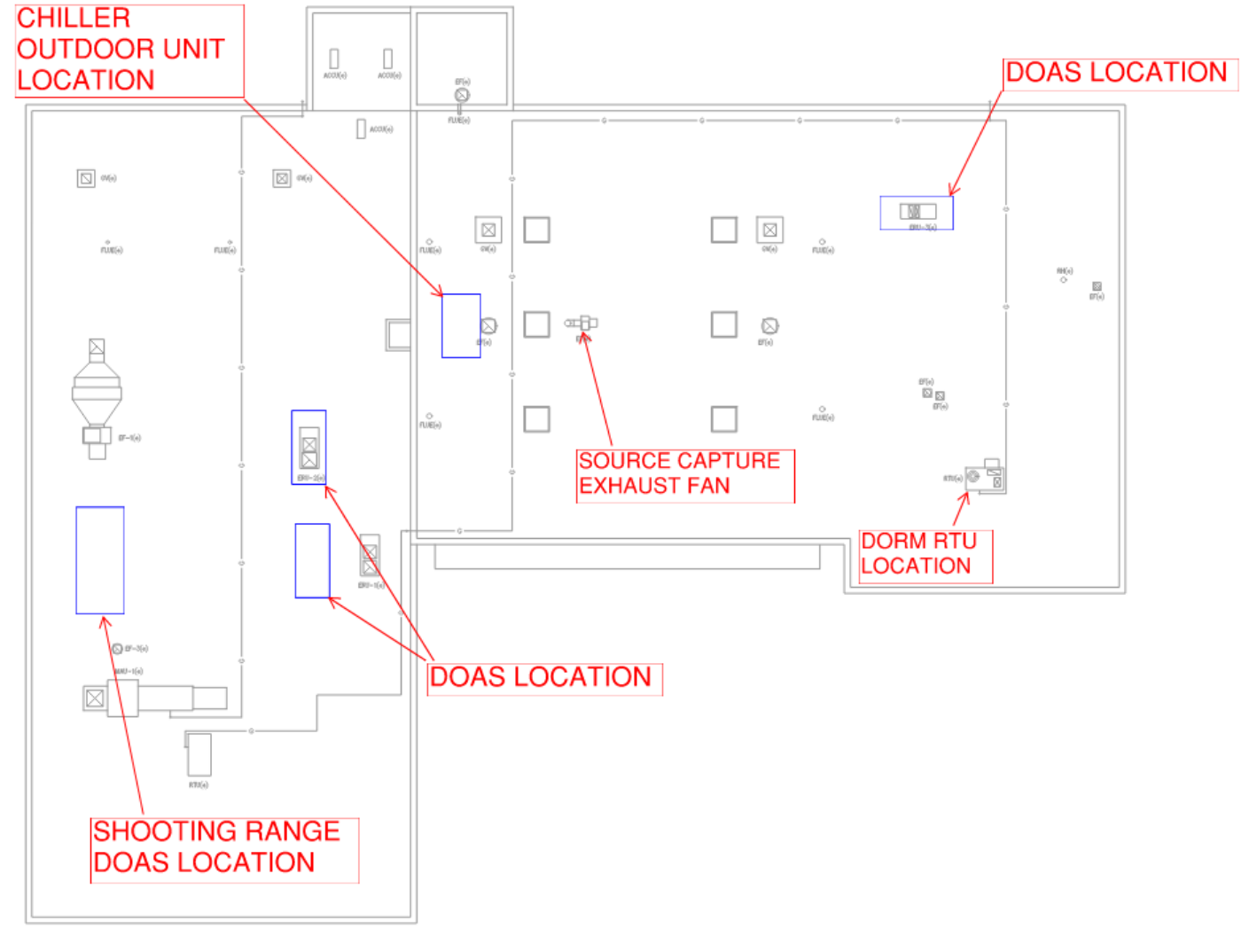
Based on the framing differences between the existing documents and field observations, we recommend care be taken when locating any new rooftop equipment. Due to unknown joist fanning depths and spacings, the most economical solution for any roof supported equipment should take an effort to removal and replace equipment one-for-one. With an effort to keep new/replacement equipment in the same location, footprint and weight as existing equipment will ultimately reduce the structural cost impact to the existing framing. Should new equipment be located at a new roof location where no prior equipment is present, we anticipate that reinforcements would be required to the existing bar joists to add total load carrying capacity. This typically requires site welding additional steel to the existing joist bearing seats to provide added shear capacity and miscellaneous bars and plates along the chord and web members to increase bending capacities and to control deflection. Joist reinforcements also carry costs for temporary shoring of the modified bar joist since typically we would not recommend completing these types of reinforcement repairs on a "loaded" member. Shoring would need to remain in place until all reinforcements are completed.

Recommendations - Continued



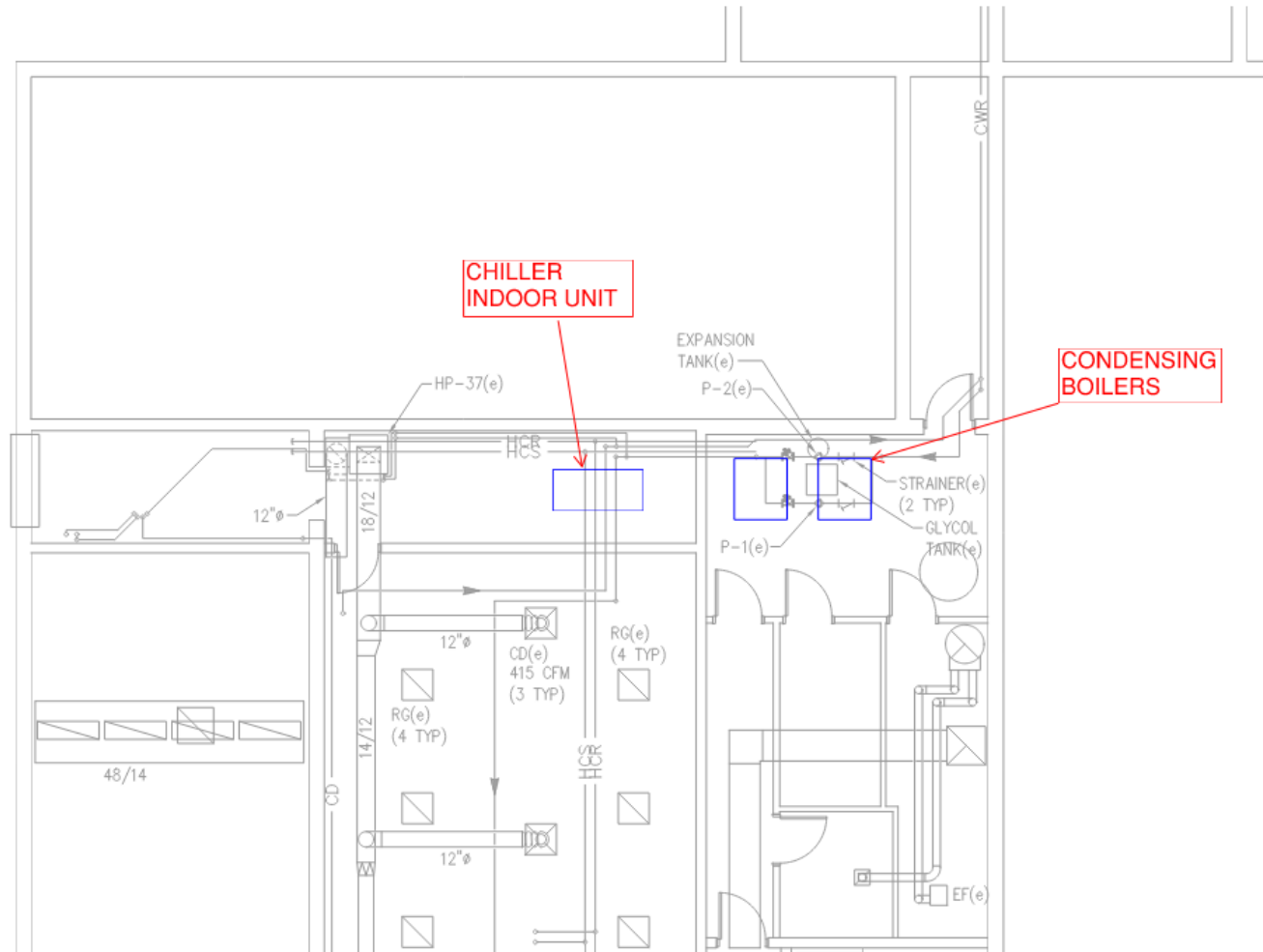
Roof Equipment – Option 1

Recommendations - Continued

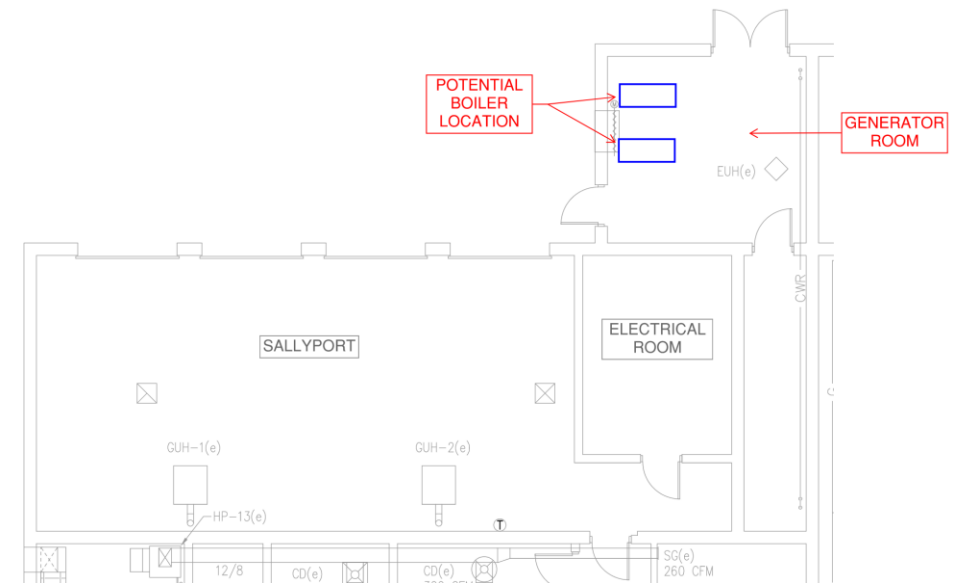


Roof Equipment – Option 2

Recommendations - Continued



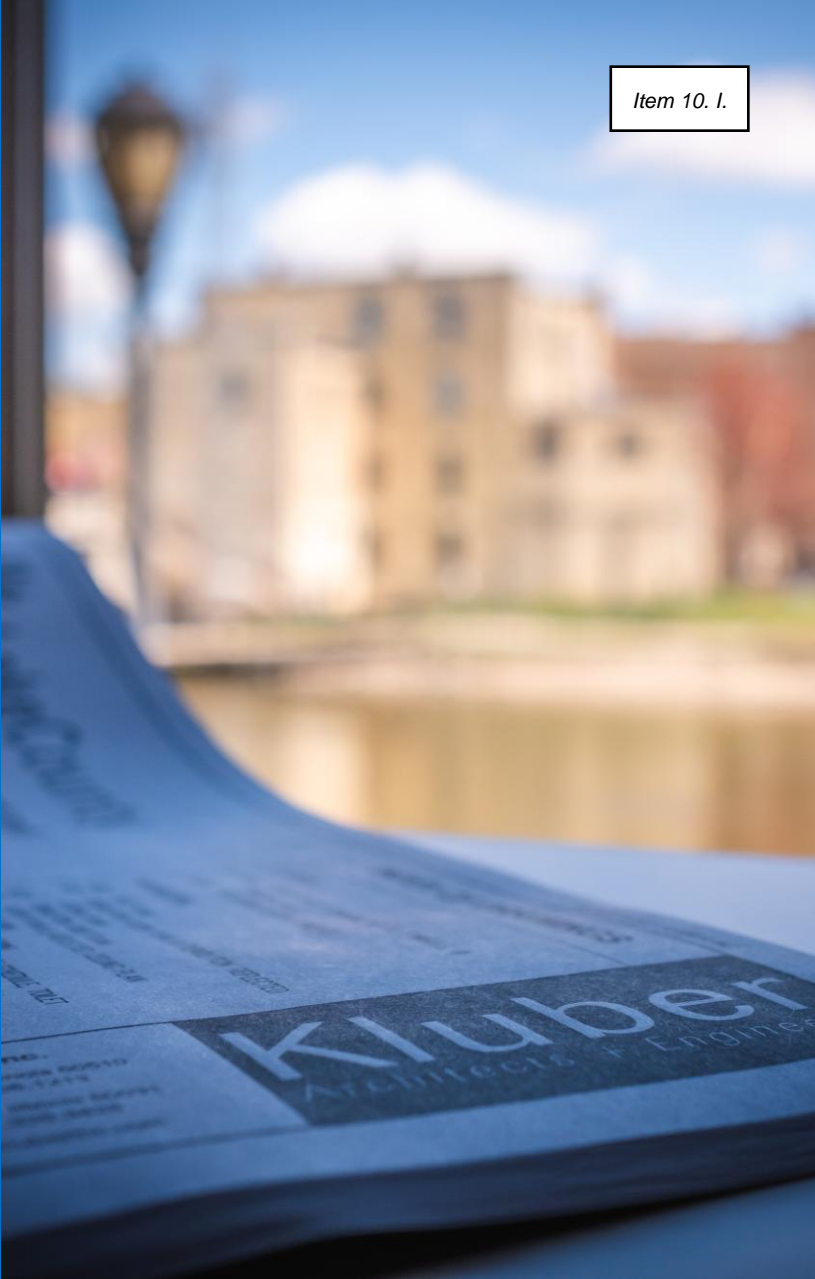
Lower-level Equipment Option 2



First Floor Equipment Option 2

Preliminary Cost Estimate

Preliminary Estimate of Probable Construction Costs.



Preliminary Estimate: Public Safety Campus - Option 1

LINE	COST ITEM	COST
01	Building Remodel Construction Raw Cost	\$1,063,943
02	Building Design Contingency (10.00%)	\$106,394
03	SUBTOTAL BUILDING CONSTRUCTION COST	\$1,170,337
04	General Contractor OH & P (15.00%)	\$175,551
05	General Contractor Bond & Insurance (2.00%)	\$26,918
06	TOTAL BUILDING CONSTRUCTION COSTS	\$1,372,806
07	Building Construction Contingency	\$100,000
08	Commissioning (Allowance)	\$37,500
09	Estimated Permit Fees	\$0
10	Abatement (Not Included)	N/A
11	A/E Fees (TBD)	TBD
12	TOTAL SOFT COSTS	\$137,500
13	TOTAL PROJECT COST	\$1,510,306
	Alternates: (including OH&P, Bond & Insurance)	
14	Bldg Alternate No. 1 - Apparatus Bay / Sallyport	\$45,161
15	Bldg Alternate No. 2 - Shooting Range	\$630,356
16	TOTAL PROJECT COST WITH ALTERNATES	\$2,185,823

Notes:
 1) Cost does not include hazardous material abatement.

Preliminary Estimate: Public Safety Campus - Option 2

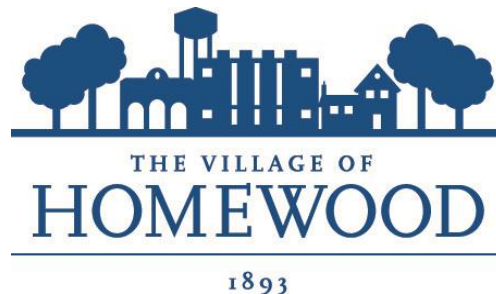
LINE	COST ITEM	COST
01	Building Remodel Construction Raw Cost	\$1,642,667
02	Building Design Contingency (10.00%)	\$164,267
03	SUBTOTAL BUILDING CONSTRUCTION COST	\$1,806,934
04	General Contractor OH & P (15.00%)	\$271,040
05	General Contractor Bond & Insurance (2.00%)	\$41,559
06	TOTAL BUILDING CONSTRUCTION COSTS	\$2,119,533
07	Building Construction Contingency	\$100,000
08	Commissioning (Allowance)	\$37,500
09	Estimated Permit Fees	\$0
10	Abatement (Not Included)	N/A
11	A/E Fees (TBD)	TBD
12	TOTAL SOFT COSTS	\$137,500
13	TOTAL PROJECT COST	\$2,257,033
	Alternates: (including OH&P, Bond & Insurance)	
14	Bldg Alternate No. 1 - Apparatus Bay / Sally Port	\$45,161
15	Bldg Alternate No. 2 - Shooting Range	\$630,356
16	TOTAL PROJECT COST WITH ALTERNATES	\$2,932,550

Notes:
 1) Cost does not include hazardous material abatement.

Village of Homewood

REQUEST FOR QUALIFICATIONS

For Professional Services to Develop Plans, Specifications, Options and Estimates
for the Installation of a New HVAC System at the Village of Homewood
Public Safety Campus



RFQ Submittals Are Due Thursday, November 6, 2025 by 5:00 p.m.

Submit One Original or One Electronic Copy to:

Village of Homewood
ATTN: Patrick DiDiana
17755 Ashland Avenue
Homewood, Illinois 60430
Electronic copies to: pdidiana@homewoodil.gov

For Questions Contact: Patrick DiDiana, Assistant Public Works Director
pdidiana@homewoodil.gov or (708) 206-2901

This RFQ is posted on the Village of Homewood website at:
www.homesweethomewood.com

October 10, 2025

Re: Professional Services to Develop Plans, Specifications, Options, and Estimates for the Installation of a New HVAC System at the Village of Homewood Public Safety Campus

Dear Mechanical Engineering Consultant:

The Village of Homewood seeks a qualified mechanical engineering consultant to provide professional services to develop plans, specifications, options, and estimates for the installation of a new HVAC system at the Village's Public Safety Campus.

Proposal instructions are contained in the Request for Qualifications (RFQ) document. Please provide the requested information in the prescribed written format. Failure to comply with the prescribed format may result in disqualification.

Responses: Responses to the inquiries will be sent to all participating consulting firms and will be displayed publicly at Village Hall and at www.homesweethomewood.com.

Printed and Email Proposals Due: Copies of the original proposal must be received no later than 5:00 p.m. on November 6, 2025. Feel free to also submit digital copies of the proposal in addition to the printed proposals. Please include an email contact when submitting either.

Village of Homewood
Attn: Patrick DiDiana
17755 Ashland Avenue
Homewood, IL 60430
pddiana@homewoodil.gov

Committee Review: The committee review will consist of the following members/reviewers and are expected to review the proposals and make a final recommendation to the Village Board. Our evaluation consists of the Village Manager, Assistant Village Manager, Public Works Director, Assistant Public Works Director, Village Engineer, and Representatives from Police and Fire Departments.

Thank you for your interest and participation. We look forward to reviewing your proposal.

Sincerely,

Patrick DiDiana

Patrick DiDiana, MPA
Assistant Public Works Director

REQUEST FOR QUALIFICATIONS

Professional Services to Develop Plans, Specifications, Options, and Estimates for the Installation of a New HVAC System at the Village of Homewood Public Safety Campus

I. Summary

The Village of Homewood seeks to replace the existing HVAC system at its Public Safety Campus (PSC), which houses the Fire and Police Departments. The new, modern system must be operationally reliable, efficient, and resilient. The PSC is considered essential infrastructure that must remain fully operational at all times. Ensuring that the PSC is served by an HVAC system that provides dependable performance, energy efficiency, and maintainability is therefore a priority for the Village.

The objective of this project is to plan, design, and implement a new HVAC solution that addresses the long-term operational needs of the PSC. The system may consist of a single type or a combination of modern HVAC technologies, but it must be capable of providing consistent comfort, indoor air quality, and resiliency in a 24/7 operating environment. The selected approach should also balance cost, performance, and lifecycle considerations to ensure that the Village's investment provides sustainable value.

Responsive qualifications will demonstrate expertise in designing HVAC systems for critical facilities, particularly police, fire, or similar mission-critical operations. Key services shall include evaluating the facility's mechanical requirements, developing design options, and recommending a preferred solution that meets performance criteria and long-term asset management goals. Upon authorization of the Village, the selected firm may also be asked to develop engineering plans, specifications, and cost estimates to support procurement and construction of the new HVAC system.

The Village will use a qualifications-based selection process to identify the most qualified firm with which to negotiate a contract. Submittals that include collaboration with other qualified firms or specialists will be considered. The Village reserves the right to reject any and all submittals. This request is neither a contractual offer nor a commitment to purchase services. No contractual obligation shall arise from this solicitation, the preparation or submission of qualifications, or the evaluation of proposals.

Background

The Village seeks qualifications from experienced mechanical engineering firms to provide professional services for the development of a new HVAC system at the PSC, which houses the Village's Fire and Police Departments. The PSC, constructed in 1967, is approximately 22,000 square feet of space, mission-critical, and must operate 24/7 to support emergency response efforts. In 2011, the Village undertook a major HVAC replacement, installing a geothermal system to improve efficiency, reduce energy costs, and modernize operations, supported in part by state and grant funding.

More than a decade later, the Village recognizes the need to plan for the next generation of HVAC systems that will continue to ensure reliability, efficiency, and resiliency for this essential 24/7

facility. The objective of this project is to identify and implement a modern HVAC solution—whether a single-system type or a combination—that provides dependable performance, energy efficiency, maintainability, and long-term value. Consideration will also be given to lifecycle costs, sustainability, infrastructure impacts, and alignment with future capital projects.

Responsive qualifications will demonstrate expertise in designing HVAC systems for critical facilities such as police, fire, or other mission-essential operations. Firms should highlight their ability to evaluate facility needs, develop and compare modern system options, and recommend a preferred solution that balances cost and performance. Collaborative proposals that leverage the expertise of multiple firms or specialists will be considered.

The Village will conduct a qualifications-based selection process to identify the most qualified firm with which to negotiate a contract. The Village reserves the right to reject any and all submittals. This request is neither a contractual offer nor a commitment to purchase services. No contractual obligation shall arise from this solicitation, the preparation or submission of qualifications, or the evaluation of proposals.

II. Project Description

The Village's PSC requires a new and modern HVAC system to replace the current geothermal system installed in 2011. The existing system was originally selected to improve efficiency and reduce operating costs, but after more than a decade of service, it no longer meets the operational and infrastructure demands of the facility. To ensure reliable performance, comfort, and efficiency for this critical 24/7 operation, the Village seeks qualified firms to provide professional services to develop plans, specifications, options, and estimates for the installation of a new HVAC system at our PSC.

The project focuses on two primary goals:

- **Professional Services for HVAC System Development** – Provide professional services to develop detailed plans, specifications, options, and cost estimates for the installation of a new HVAC system at the Village's PSC. The proposed solution, whether a single system or a combination of systems, must ensure reliable performance, energy efficiency, ease of maintenance, and long-term cost-effectiveness.
- **Asset Management and Long-Term Planning** – Recommend solutions that align with the Village's long-term capital planning goals, including lifecycle cost considerations, sustainability opportunities, infrastructure impacts, and potential grant funding sources.

The project will culminate in a comprehensive design recommendation with supporting documentation, including a report and presentation to Village staff and the Village Board. The report will provide clear and actionable guidance on the most effective and sustainable HVAC solution for the facility.

III. Scope of Services

The selected consultant and any proposed sub-consultants shall have a proven track record of providing professional engineering services for the planning and design of HVAC systems in mission-critical facilities such as fire, police, and other 24/7 operations.

The following scope of services is intended as a guide to the Village's goals for this project. Additional services may be required that are not listed below, and some details provided herein may prove redundant or unnecessary. The consultant's proposed Scope of Work may be used to supplement or be incorporated in its entirety to define the Professional Services Agreement's (PSA's) scope, compensation, and schedule. Tasks are generally shown in procedural order of development; however, some may be performed concurrently, may overlap, or may require staging.

Firms responding to this RFQ should clearly demonstrate how their qualifications and prior experience will enable them to successfully address the areas outlined below. Submittals should highlight relevant projects, specialized expertise, and the firm's ability to deliver solutions that meet the Village's goals for a modern HVAC system at the PSC.

1. Project Management and Coordination

- demonstrated ability to manage multi-phase facility projects, including communication with Village staff, regular progress updates, and effective coordination of sub-consultants
- experience providing structured reporting (e.g., meeting agendas, minutes, action item tracking, and monthly status reports) to support decision making and project accountability

2. System Needs Assessment

- experience evaluating the heating, cooling, ventilation, and control requirements of complex, mission-critical facilities
- ability to establish performance, comfort, resiliency, and indoor air quality criteria that form the basis for system design
- familiarity with conducting staff interviews, reviewing existing documentation, and identifying deferred maintenance issues that could affect HVAC system performance or future planning

3. HVAC System Alternatives Development

- capability to identify and compare potential system solutions—whether a single-system type or a combination (e.g., boilers, rooftop units, VRF, energy recovery)
- demonstrated experience preparing concept-level layouts or descriptions that help illustrate how alternatives would be integrated into an existing facility
- ability to assess alternatives based on performance, maintainability, sustainability, and suitability for continuous public safety operations

4. Cost and Infrastructure Impacts

- expertise in preparing order-of-magnitude estimates for capital, operating, and lifecycle costs, including phased cost projections that account for budget cycles
- ability to identify major infrastructure requirements (electrical, structural, spatial, constructability) and communicate their implications clearly
- familiarity with staging approaches to minimize disruption during construction in occupied, 24/7 facilities

5. Preferred Solution and Long-Term Planning

- experience recommending system solutions that balance cost, performance, resiliency, and long-term asset management considerations
- ability to incorporate lifecycle planning, deferred maintenance findings, and future capital improvement coordination into recommendations
- familiarity with sustainability opportunities and potential funding or incentive programs that may support implementation

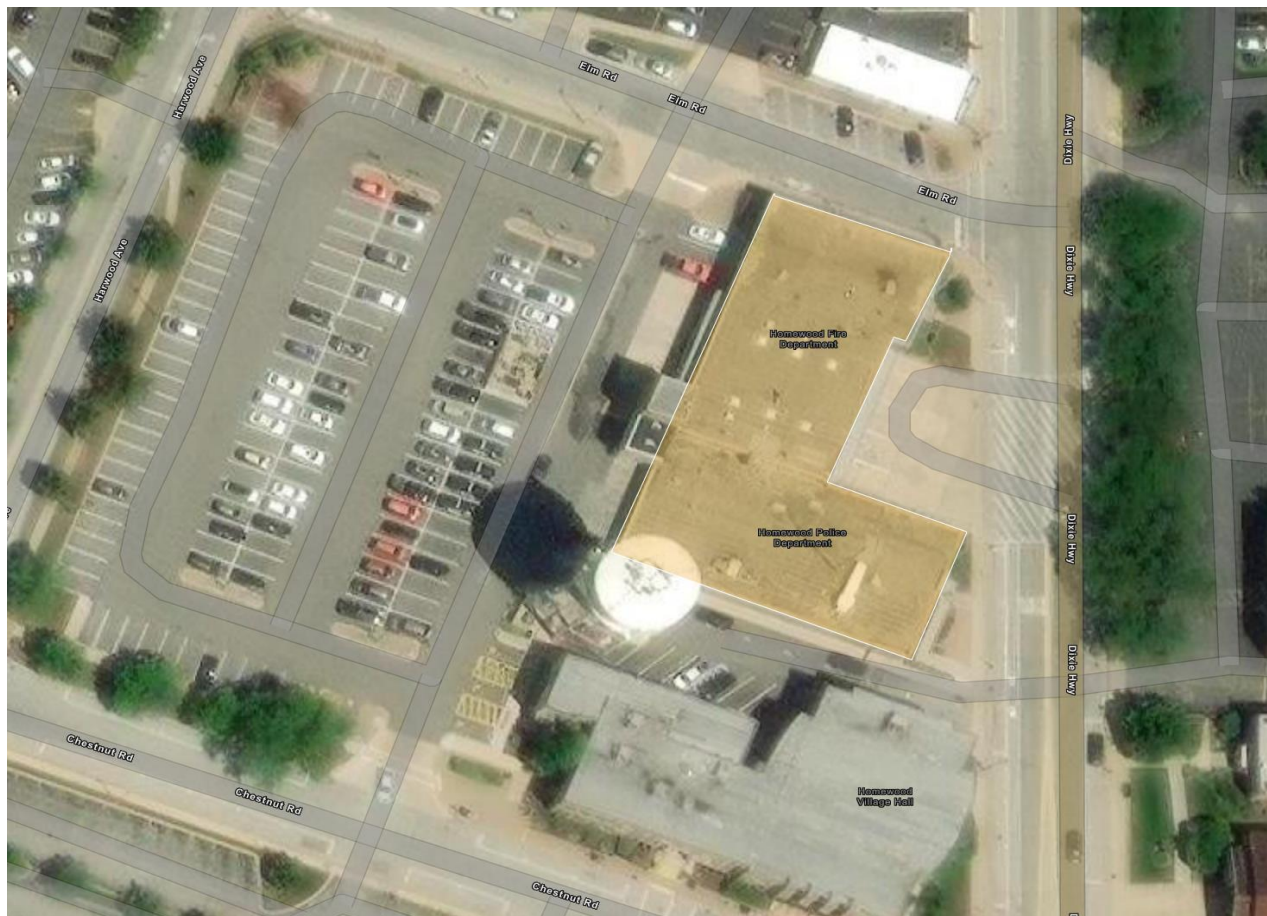
6. Final Reporting and Presentation

- strong track record of preparing comprehensive reports that summarize needs, alternatives, costs, impacts, and final recommendations
- demonstrated ability to communicate technical information in a clear and actionable manner to Village staff, decision makers, and elected officials
- experience presenting findings in both written and visual formats that support informed decision making and long-term planning

IV. Proposed Location:

Village of Homewood Public Safety Campus

1. **Police Department** - 17950 Dixie Hwy., Homewood, IL 60430
2. **Fire Department** - 17950 Dixie Hwy., Homewood, IL 60430



V. Minimum Qualifications

- The consultant shall be a licensed professional engineering firm authorized to practice in the State of Illinois.
- The consultant shall have demonstrated experience with the evaluation, design, and/or feasibility analysis of geothermal and conventional HVAC systems.
- The consultant shall have knowledge of building systems serving 24/7 public safety or mission-critical facilities, including operational and redundancy considerations.
- The consultant shall have demonstrated ability to perform lifecycle cost analysis, feasibility studies, and infrastructure impact assessments for mechanical system alternatives.
- The consultant shall employ staff with appropriate professional registrations and technical expertise in HVAC engineering, energy efficiency, and asset management planning.
- The consultant shall comply with all applicable Federal, State, and local regulations and must not be debarred or suspended from participation in State or federal projects.

VI. Evaluation Criteria

Proposals will be evaluated based on the following criteria:

- **Qualifications Based Proposal** – The quality of submission by the consultant should clearly illustrate its understanding of the Village’s request, responsiveness to format and instructions of the RFQ, and should be readable with correct use of grammar and syntax.
- **Knowledge and Experience** – The consultant shall be a licensed and registered professional engineering firm with a minimum of five (5) years of experience in the evaluation and feasibility analysis of HVAC systems, including geothermal systems. The firm shall demonstrate prior experience assessing building mechanical systems, providing lifecycle cost analysis, and developing recommendations for public or institutional facilities.
- **Team Lead** – This will include a resume for the consultant’s designee to be placed in charge of managing the services included in the RFQ and who will be the direct point of contact with the Village. The resume may include experiences or accomplishments of the designee at a previous employer; however, the Village would prefer that the designee have at least been Team Lead on a minimum of two projects in whole for the consultant. It should also include a history of successful project implementation and successful previous implemented projects.
- **Key Personnel** – This should include additional staff employed by the consultant that will be utilized for any or all specific services included in the RFQ. Please illustrate strengths, licenses, and certifications, which may include experiences or accomplishments by Key Personnel at a previous employer.
- **Projects** – The consultant shall have completed or been involved in at least three (3) projects involving the evaluation, design, or feasibility analysis of HVAC systems, including geothermal or other complex mechanical systems serving public or institutional facilities.

Description	Total Possible Points
Qualifications of Firm: <ul style="list-style-type: none"> • Project Understanding • Overall qualifications of project's managers, key personnel • Overall experience on similar projects • Success/outcomes of previous projects 	60
Project Management and Key Personnel: <ul style="list-style-type: none"> • Experience on similar HVAC evaluation and feasibility projects • Mechanical system assessment, performance analysis, and recommendation development experience • Experience with geothermal systems and alternative HVAC technologies (e.g., rooftop units, boiler/chiller, hybrid systems) • Professional training/qualifications and licensure of key personnel (e.g., Professional Engineer) • Experience conducting lifecycle cost analysis and long-term capital planning for building systems • Workload and availability to complete the project within the Village's desired timeframe • Identification of sub-consultants or specialized resources (if applicable) 	35
References - Past Performance and Existing Contracts	5
Total Points	100

VII. Project Timeline

Approximate Dates	Action
Friday, October 10, 2025	Advertisement of RFQ
Tuesday, October 21, 2025	Mandatory Site Visit/Walk Through at 10:00a.m.
Thursday, November 6, 2025	RFQs Due
Week of November 10, 2025	Select and Schedule Firms to be Interviewed
Week of November 17, 2025	Identify Successful Consultant – Develop Contract and Project Summary to be Submitted to Village Board
Tuesday, December 9, 2025	Presentation and Award of Contract to Village Board for Approval

Requests for evaluation updates may be forwarded to the Village's Public Works Department at any time. Questions and requests for updates should be made via phone at (708) 206-2901 or sent via email to pdidiana@homewoodil.gov.

VIII. Recommended Response Materials

Successful proposals should generally include the following materials:

- **Cover Letter:** This should identify the consultant, their place of business, and the name and telephone number of the person to contact regarding the subject RFQ. The Cover Letter shall be authored and signed by an individual, partner, or designated representative of the consultant that is sanctioned to enter into contracts. The Cover Letter should be formal and intelligible yet clearly demonstrate the consultant's candidacy for this request.
- **Knowledge and Experience:** This should be a more detailed narrative from the consultant of qualifications that includes a summary of experience.
- **Team Lead:** This should include a resume for the consultant's designee to be placed in charge of managing the services included in the RFQ and who will be the direct point of contact with the Village. The resume may include experiences or accomplishments of the designee at a previous employer; however, the Village would prefer that the designee have at least been Team Lead on a minimum of two (2) projects in whole for the consultant.
- **Key Personnel:** This will include additional staff employed by the consultant that will be utilized for any or all specific services included in the RFQ. Please illustrate strengths, licenses, and certifications, which may include experiences or accomplishments by key personnel at a previous employer.
- **Subcontractors:** This should include professional subcontractors that the consultant has used, will use, or worked for or collectively with on similar projects.
- **Projects Assessments:** This should be a more detailed narrative from the consultant describing and establishing the requirements of an assessment.
- **References:** A list of not less than (5) five relevant references must be included. References may be contacted after selection to determine if the consultant is responsive and responsible.

IX. Terms and Conditions

General Provisions & Disclaimers

This Request for Qualifications (RFQ) is not a commitment or contract of any kind. The Village reserves the right to pursue any and/or all ideas generated by this request. The Village further reserves the rights to reject, modify, or cancel, in part or in its entirety, this RFQ. The Village assumes no obligation, and none is implied, to award a contract for any phase or services specified in this RFQ. Costs for developing submissions are entirely the responsibility of the respondents and shall not be reimbursed in any case. The Village reserves the right to reject any and all submissions.

The Village reserves the right to waive any requirements of this RFQ when it determines that waiving a requirement is in the best interest of the Village. Submittals are public records subject to disclosure under the Freedom of Information Act (FOIA). The Village cannot guarantee that any information submitted in response to the RFQ will remain confidential.

Prevailing Wage

Contractor shall not pay less than the prevailing rates of wages to all laborers, workmen, and mechanics performing work under this contract, and shall comply with the requirements of the Illinois Wages of Employees on Public Works Act (820 ILCS 130/1-12).

Confidential and Proprietary Information

The Village of Homewood is subject to the Freedom of Information Act and the Illinois Open Meeting Act. Vendors must understand that information and other materials submitted in response to this RFQ or in connection with any contract because of this RFQ may be subject to disclosure as a public record. Therefore, submission of trade secrets or proprietary information or materials is discouraged. Confidential information in the RFQ should be clearly marked.

Please submit Requests for Proposals to:

Patrick DiDiana, MPA
Assistant Public Works Director
Village of Homewood Public Works
17755 Ashland Avenue
Homewood, Illinois 60430
Phone: (708) 206-2901
Email: pdidiana@homewoodil.gov

**The RFQ Submittals Are Due Thursday, November 6, 2025 by
5:00 p.m.**

ATTACHMENTS

- A. *Plans for Geothermal System (Available Upon Request)*
- B. *Plans for Public Safety Campus (Available Upon Request)*

PRELIMINARY ENGINEERING PHASE – BOARD PRESENTATION

- Board Meeting – May 26, 2026



Village of Homewood – HVAC Renovations

SUBMITTED TO:

Village of Homewood

2020 Chestnut Road
Homewood, Illinois 60430

Project Number: 26-347-1670



Homewood Public Safety Campus – HVAC Improvements

The project consists of developing options and cost estimates for a new HVAC system for the Public Safety Campus. The existing facility is comprised of three levels (partial basement, first and second) totaling approximately 25,000 square feet.

This includes:

1. Reviewing the existing conditions and existing drawings
2. Evaluating modern system alternatives
3. Recommending solutions
 - a) That ensure reliable performance
 - b) Energy efficiency
 - c) Long-term maintainability for this mission-critical, 24/7 facility.



Recommendations - Summary

MECHANICAL SYSTEMS

The team explored three potential options. These are described within the report. This option was selected for the following reasons:

- Known system by staff and therefore they already possess repair knowledge.
- Easy to find parts and therefore it is maintainable.

Recommended System:

Hot Water / Chilled Water System

Remove the geothermal system, abandon the geothermal field, and install a 4-pipe hot water / chilled water system. Create separate mechanical rooms for a chiller and boilers. Install a split air-cooled chiller with the condenser on the roof for cooling. Install multiple natural gas-fired high efficiency condensing boilers for heating. Hot and chilled water would be distributed throughout the building to various fan coil units to heat and cool the building. Install dedicated outdoor air systems for the fire station and police department to provide ventilation.

Misc. Infrastructure Summary:

Replace the shooting range MAU with a packaged dedicated outdoor air system to provide heating and cooling. Replace the shooting range exhaust and air filtration system with a similar system. Install a hazardous gas detection system for the Sallyport and Apparatus Bay. Re-use the existing rooftop unit and install VAV diffusers for the dormitory rooms.

- Shooting range to be bid out as a separate project.



Preliminary Estimate: Public Safety Campus - Option 2

LINE	COST ITEM	COST
01	TOTAL BUILDING CONSTRUCTION COSTS	\$2,119,533
02	Building Construction Contingency	\$100,000
03	Abatement (Not Included)	N/A
04	A/E Fees (TBD)	TBD
05	TOTAL SOFT COSTS	\$100,000
06	TOTAL PROJECT COST	\$2,219,533
	Alternates: (including OH&P, Bond & Insurance)	
07	Bldg Alternate No. 1 - Apparatus Bay / Sally Port	\$45,161
08	Bldg Alternate No. 2 - Shooting Range	\$630,356
09	TOTAL PROJECT COST WITH ALTERNATES	\$2,895,050



Floor-mounted fan-coil unit

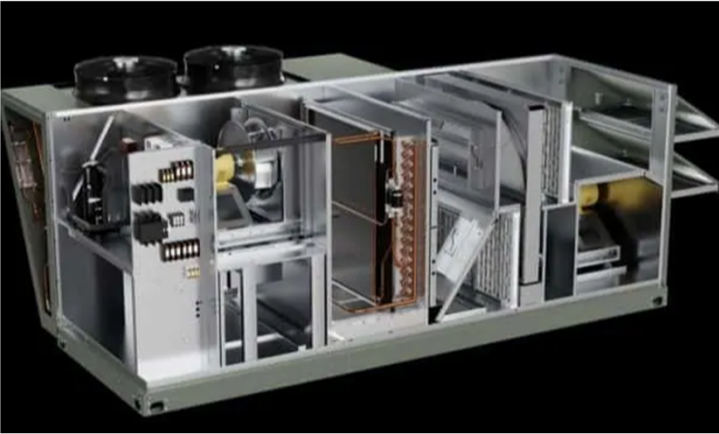


High-efficiency boilers

Preliminary Schedule

- October 2026 Kluber Design Completed (4-5 months)
- Oct/Nov 2026 Village Review
- Nov/Dec 2026 Out for Bid
- Dec/Jan 2027 Award of Contracts and Procurement
- Jan-April 2027 Equipment Procurement
- April 2027 Commencement of Construction
- April 2028 Substantial Completion
- June 2028 Final Completion

*Shooting range to be bid out as a separate project.



DOAS



BOARD AGENDA MEMORANDUM

DATE OF MEETING: May 26, 2026

To: Village President and Board of Trustees

Through: Napoleon Haney, Village Manager

From: Joshua Burman, Director of Public Works

Topic: Purchase Approval - 2026 Ford Utility Interceptor – Police Department

PURPOSE

Staff is requesting that the Village Board approve the purchase of one (1) Ford Utility Interceptor through the Suburban Purchasing Cooperative, from Currie Motors of Frankfort, Illinois, in the amount of \$45,574, plus additional equipment and upfitting to the vehicle, for a total amount not to exceed \$59,000.

PROCESS

Periodically, the Village of Homewood must replace equipment that has reached its end of life. Staff evaluates equipment on an annual basis and compiles a list of items that are recommended for replacement.

The following vehicle has been identified for replacement:

- Vehicle #12: 2021 Ford Utility with approximately 88,000 miles

This vehicle was identified for replacement by the Fleet Supervisor and slated for replacement through the annual budget and capital planning process. Replacing aging vehicles ensures reliable service delivery, reduces maintenance, and improves operational efficiency for the Homewood Police Department. Police patrol vehicles experience significantly higher wear and idle time than standard municipal fleet vehicles due to continuous operation, emergency response demands, and onboard electrical equipment usage. Timely replacement helps minimize maintenance downtime and ensures operational reliability.

Staff researched purchase options and found one (1) 2026 Ford Police Interceptor Utility vehicle available for purchase through the Suburban Purchasing Cooperative purchasing program with Currie Motors of Frankfort, IL. Utilizing cooperative purchasing allows the Village to obtain favorable pricing while satisfying competitive procurement standards.

The total purchase price for the vehicle is \$45,574. The vehicle will require the appropriate lighting, accessories, and equipment after purchase, which will not exceed \$59,000.



Vehicle	Purchase Price	Emergency Equipment, Decals, and Vehicle Upfitting	Total Cost
#12	\$45,574	\$13,426	\$59,000



The emergency equipment package will include upgraded lighting and siren systems designed to improve officer visibility and public safety awareness. This includes modern high-visibility LED lighting configurations and an advanced audible warning system, including the Howler low-frequency siren. Unlike traditional siren systems, the Howler produces a low-frequency tone that penetrates modern vehicle insulation and enhanced cabin soundproofing, allowing it to be both heard and physically felt by motorists inside their vehicles. This improves response effectiveness in high-noise environments and enhances intersection safety by increasing driver awareness of approaching emergency vehicles.

Local Competitive Pricing

Not all Ford dealerships are certified to sell new police vehicles; only those approved as Ford Fleet Dealers can order new, pursuit-rated Police Interceptors. Furthermore, the sale of new police cruisers is generally restricted to verified law enforcement or government agencies, not everyday consumers. Selling brand-new police interceptors requires specialized training, police vehicle inventory requirements, diagnostic tools, and in many cases, a commercial upfitting center to install lights, sirens, and cages. Most standard consumer dealerships do not have this infrastructure. For these reason, Ford of Homewood is unable to offer competitive prices for police vehicles.



OUTCOME

The approval of this purchase will allow the Village to replace vital assets that have reached the end of their life. The enhancements in equipment and upfitting will improve vehicle visibility and audibility in modern traffic conditions, further increasing officer and public safety during emergency response operations.

FINANCIAL IMPACT

- **Funding Source:** General Capital
- **Budgeted Amount:** \$1,000,000 (Vehicle and Equipment Replacements)
- **Cost:** \$45,574 for the purchase of one (1) 2026 Ford Police Interceptor Utility vehicle plus \$13,426 for the required equipment and upfitting for a total amount not to exceed \$59,000.

LEGAL REVIEW

Not Required

RECOMMENDED BOARD ACTION

Waive competitive bidding due the purchase being made through an approved governmental purchasing cooperative; and, approve the purchase of one (1) 2026 Ford Police Interceptor Utility vehicle through the Suburban Purchasing Cooperative from Currie Motors of Frankfort, IL, in the amount of \$45,574, plus associated emergency equipment, decals, and vehicle upfitting, for a total cost not to exceed \$59,000.

ATTACHMENT(S)

- HPW Equipment Replacement Justification
- Suburban Purchasing Cooperative, Currie Motors Quote
- Equipment Quote Fleet Safety Supply

HPW EQUIPMENT REPLACEMENT JUSTIFICATION

	Yes	No
Is this a replacement vehicle?	X	
Is this an additional vehicle?		X

Vehicle #	12-2112
Year	2021
Make	FORD
Model	Police Interceptor
Hours/Mileage	88,000
Department	Police
Division	Patrol

Common issues with vehicle/equipment & price to repair

POSSIBLE TRANSMISSION FAILURES	\$4,000.00
POSSIBLE ENGINE INTERNAL COMPONENT FAILURE	\$2,000.00
AGED LIGHTING SYSTEM	\$5,000.00
SUSPENSION WEAR (STRUTS & BUSHINGS)	\$2,000.00
EMISSION COMPONENTS (CATALYTIC CONVERTERS)	\$2,000.00
	15000.00

Vehicle/Equipment with additional equipment necessary to purchase

NEW COMPUTER	PURCHASED
HOWLER SIREN	PURCHASED
CORE LIGHTBAR	PURCHASED
UPFIT	\$5,200.00
DECALS	\$1,600.00
OTHER EQUIPMENT	\$8,000.00
	15000.00

Total Replacement Cost \$ 58,904.73

Budgeted Amount \$ 60,000.00

Additional Notes:

SQUAD 12 CURRENTLY HAS 88,000 MILES. FACTORING IN THE TIME IT TAKES TO ORDER, RECEIVE, AND UPFIT THE VEHICLE, IT WILL LIKELY HAVE 105,000 MILES AT THE TIME OF DECOMMISSION. THE LIGHTING SYSTEM ON SQUAD 12 IS NOW APPROACHING 8 YEARS OLD. THE CURRENT SYSTEM IS IN THE PROCESS OF BEING PHASED OUT BY THE MANUFACTURER. MAJOR ENGINE AND TRANSMISSION ISSUES ON POLICE VEHICLES BECOME FAR MORE COMMON AS WE APPROACH THE 100,000 MILE RANGE. POWERTRAIN COVERAGE EXPIRES AT 100,000 MILES. THE AGE AND MILEAGE OF THE VEHICLE ARE AT A GOOD SPOT TO RECEIVE ADEQUATE ROI AT THE TIME OF DISPOSAL. THE TOTAL ENGINE HOURS OF SQUAD 12 SIT CURRENTLY AT 16,643. INDUSTRY STANDARD CONVERTS 1 ENGINE HOUR TO 30 MILES. (16,643 X 30= 499,290 MILES) SQUAD 12 HAS SERVED THE VILLAGE OF HOMEWOOD WELL. IN ORDER TO MAINTAIN A RELIABLE FLEET AND AVOID COSTLY REPAIRS AND DOWN TIME IN THE NEAR FUTURE, THIS VEHICLE HAS BEEN SELECTED FOR REPLACEMENT.

Fleet Safety Supply
 P.O. Box 649
 Naperville, IL 60566
 (630) 527-1341 Phone/Fax

Price Quote

DATE	ESTIMATE NO.
5/8/2026	79929

NAME / ADDRESS
Village of Homewood 17755 S. Ashland Ave. Homewood, IL 60430

TERMS	FOB	P.O.
Net 30 Days	Naperville,IL	

ITEM	DESCRIPTION	QTY	COST	TOTAL
SE-BK2019ITU20	2026 Utility - Car 12 Headlight flasher coming with vehicle Push Bumper PB450L4 Alum Push Bumper, Full, (4) Whelen Ions, 2020+ Ford Utility Interceptor *** Specify colors: Trios	1	1,061.10	1,061.10
WH-CEM16	WCX Expansion Module 16 output, Four Input Module	1	236.52	236.52
WH-VXTC	Pre-molded holes VXE, Hideaway Twist-In Omnidirectional SOLO Lighthouse, 12" Pigtail, (Built-In Flasher) (White)	2	138.51	277.02
WH-SA315P	Speaker 123dB Speaker, Nylon Composite, 100 watt	1	233.80	233.80
WH-SAK75D	SA-315 MT KIT DRVR 25 FORD PIU	1	44.52	44.52
WH-CHOWLER	Subwoofer ordered separately WeCanX Howler, Siren Amplifier with Two Speakers, Optional Vehicle Specific Mounting Brackets, No Charge When Purchased with Howler System	0	0.00	0.00
WH-HWLRB29	Howler Mounting Bracket for 2020-Current Ford Police Interceptor Utility (No Charge When Purchased with HOWLER system)	0	0.00	0.00
WH-BJ8DEDE	Lightbar ordered separately 48" Liberty II WeCanX with center section, (Red/White and Blue/White corners)	0	0.00	0.00
TE-401-1228-PREHI	Preemption power supply Single head preemption emitter, (Power Supply only)	1	435.00	435.00

Thank you for using Fleet Safety Supply!!!	TOTAL
--------------------------------------------	--------------

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5/8/2026	79929

NAME / ADDRESS
 Village of Homewood
 17755 S. Ashland Ave.
 Homewood, IL 60430

TERMS	FOB	P.O.
Net 30 Days	Naperville,IL	

ITEM	DESCRIPTION	QTY	COST	TOTAL
WH-U180D	Mounted under mirrors U-Series™ 180° Linear Super-LED® Surface Mount Round Lighthoods, Clear Lens (Red/White)	1	250.29	250.29
WH-U180E	U-Series™ 180° Linear Super-LED® Surface Mount Round Lighthoods, Clear Lens (Blue/White)	1	250.29	250.29
WH-U18050	2020-2025 Ford Police Interceptor Utility, Under-the-Side View Mirror Mount for Two U-Series Lighthoods, Pair (For Use with Ford's Factory Side Marker LED Side View Mirror Option)	1	29.40	29.40
WH-I2J	Rear Side Cargo Windows Ion Duo Series Linear-LED, Universal Light, Includes Universal Mount, Scan-Lock™ Flash Patterns and a 5-Wire Pig Tail, Individual Control of each Color, Black Housing (Red/Blue)	2	166.86	333.72
WH-PSJ02FCR	Rear Window Mega T-Series™ DUO™, 69 Flash Patterns including Steady-Burn, Clear Lens, 12 VDC (Red/Blue)	2	176.58	353.16
FSS-SDWND-FPIU-...	FPIU Cargo Window Shroud - Whelen Mega-T (complete model: SDWND-FPIU-MEGAT)	2	50.00	100.00
SO-ETFSSN-P	Taillight Flasher Flashback 100% Solid State Tail Light Flasher	1	78.95	78.95
FS-MPSW9-R	License Plate MicroPulse Wide Angle, 9-LED lighthouse, (Red)	1	193.82	193.82
FS-MPSW9-B	MicroPulse Wide Angle, 9-LED lighthouse, (Blue)	1	193.82	193.82
FSS-MPSW9LPBRK...	License Plate Bracket for Single Surface Mount MicroPulse Wide 9 with wire Slot (1 Pair)	1	75.00	75.00

Thank you for using Fleet Safety Supply!!!

TOTAL

Fleet Safety Supply
 P.O. Box 649
 Naperville, IL 60566
 (630) 527-1341 Phone/Fax

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5/8/2026	79929

NAME / ADDRESS
Village of Homewood 17755 S. Ashland Ave. Homewood, IL 60430

TERMS	FOB	P.O.
Net 30 Days	Naperville,IL	

ITEM	DESCRIPTION	QTY	COST	TOTAL
SO-ECVDMLTALDC	Dome light over console LED Dome Light - 6" Round, w/ Red LED Night Light, fits Dodge Charger, Ford PI Sedan & Utility, 10-30V, White Lens / White LEDs	1	117.50	117.50
FS-LF18ES-LED	Map light LED Littlelite, 18"	1	111.13	111.13
WH-C399	Siren ordered separately CORE Amplifier, Control Module, Flashing Outputs, Includes 3 WeCan Ports and Controls up to 99 Devices/Remote Modules, Includes Choice of Control Head Ordered Separately. No Charge when ordered with C399	0	0.00	0.00
WH-CCTL6	Includes Three Section Control Head and Eight Push Buttons, 4-Position Slide Switch with a 7-Position Rotary Knob, Manual , Airhorn Plus Three Traffic Avisor Switches and Microphone with Extension Cable, No Charge when Purchased with C399	0	0.00	0.00
WH-C399SP	SCANPort Installation Kit for C399.	0	0.00	0.00
WH-VSGKIT	Vehicle Safety Gateway for use with Whelen Cloud Platform *** Provided by Whelen ***	1	0.00	0.00
HS-C-VS-1012-INUT-2	Console Vehicle-Specific 22" Angled Console For 2020-2025 Ford Interceptor Utility, 10" front angled, 12" rear horizontal & 27° degree of angle (complete model number: C-VS-1012-INUT-2)	1	545.75	545.75
HS-C-EB40-CCS-1P	Equipment Bracket, One-Piece, Whelen CenCom, CanTrol 4"	1	0.00	0.00
HS-C-EB25-MRD-1P	Face Plate (1 Piece), M1225, CM300	1	0.00	0.00
HS-CUP2-1001	Self-Adjusting Double Cup Holder, Internally mounted dual cup holder, Self-adjusts to fit cups up to 3.5" in diameter, Occupies 4" of equipment bracket space, with a depth of 3" 4"	1	57.16	57.16
HS-C-FP-35	3.5 Filler Plate	1	0.00	0.00

Thank you for using Fleet Safety Supply!!!

TOTAL

Fleet Safety Supply
 P.O. Box 649
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NAME / ADDRESS
 Village of Homewood
 17755 S. Ashland Ave.
 Homewood, IL 60430

TERMS	FOB	P.O.
Net 30 Days	Naperville,IL	

ITEM	DESCRIPTION	QTY	COST	TOTAL
HS-C-FP-4	4" Filler Plate	2	0.00	0.00
HS-C-ARM-103	Console, Accessory, Arm rest, External mount, Large arm rest pad, Flip, Height adjustable (** replacement for C-ARM-3 **)	1	173.83	173.83
HS-C-HDM-303	Computer Mount Heavy Duty Fixed Top Offset Platform, 6" Offset	1	83.78	83.78
HS-C-MD-204	Low Profile Tilt Swivel Motion Device *** Not compatible with tablet ***	1	77.52	77.52
SE-PT1176ITU20TM	Partition to be reused XL Partition Transfer Kit with Lower Extension Panel and XL Recessed Insert, Tall Man brackets included, 2020-2023 Ford Utility Interceptor	1	408.68	408.68
PG-4OSBK4722-R	Rear Seat and Screen to be reused Retractable Outboard seat belts	1	663.33	663.33
SE-WK0514ITU20	Window Bars to be reused Window Barrier VS, Steel Vertical, 2020 Ford Utility (full model number: WK0514ITU20)	0	0.00	0.00
	Gun Mount to be reused			
	Trunk Tray to be reused			

Thank you for using Fleet Safety Supply!!!

TOTAL

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NAME / ADDRESS
Village of Homewood 17755 S. Ashland Ave. Homewood, IL 60430

TERMS	FOB	P.O.
Net 30 Days	Naperville,IL	

ITEM	DESCRIPTION	QTY	COST	TOTAL
HS-C-TTP-INUT-1201	Ford 2020 Police Interceptor Utility Raised Fold-Up Cargo Plate for Equipment Mounting Underneath: •Replaces OEM rear cargo floor / spare tire cover and attaches without drilling holes •Allows easy access and removal of full size spare tire •80 lb maximum weight rating for equipment that is bolted to the underside of platform; 400 lb weight carrying capacity for cargo stored on top of the platform when closed •14-gauge formed steel with a black medium texture powder coat finish •Works with Havis K9 units •Includes: Two 200 lbs lift struts for assistance in opening or closing, Vents and mounting holes for optional cooling fan, Dual locking latches •For a complete solution, add Premium Fold-Up Equipment Tray (C-TTP-INUT-4)	0	0.00	0.00
HS-C-TTP-INUT-4	Ford 2020 Police Interceptor Utility Premium Fold-Up Equipment Tray •Must use with C-TTP-INUT-1201 •60 lbs. maximum weight rating •Equipment up to 6-inch tall mounts on top of tray and wiring can be easily run as needed •14-gauge formed steel with a black medium texture powder coat finish •Includes two dual action latches for easy access when C-TTP-INUT-1201 is opened	0	0.00	0.00
HS-PROKIT-2	Adapter Kit for Pro-Gard Partition to Havis TTP or Storage Drawer Mount in 2020-2021 Ford Interceptor Utility	0	0.00	0.00
HS-C-TTP-INUT-MAT	Full Width Trunk Tray Rubber Mat Option for C-TTP-INUT Series	1	145.64	145.64

Thank you for using Fleet Safety Supply!!!	TOTAL	\$6,530.73
--------------------------------------------	--------------	------------

12-2612

Prepared for: , Village of Homewood

State Purchase Contract
Quote

2026 Police Interceptor Utility AWD Base (K8A)
Price Level: 620



Client Proposal

Prepared by:
Nic Cortellini
Office: 815-464-9200
Email: ncortellini@curriemotors.com
Quote ID: 2026-HWPD
Date: 05/06/2026





Prepared for:

Village of Homewood
 Prepared by: Nic Cortellini
 05/06/2026

Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

2026 Police Interceptor Utility AWD Base (K8A)

Price Level: 620 | Quote ID: 2026-HWPD

Warranty

Standard Warranty

Basic Warranty

Basic warranty 36 months/36,000 miles

Powertrain Warranty

Powertrain warranty 60 months/100,000 miles

Corrosion Perforation

Corrosion perforation warranty 60 months/unlimited

Roadside Assistance Warranty

Roadside warranty 60 months/60,000 miles

Hybrid/Electric Components Warranty

Hybrid/electric components warranty 96 months/100,000 miles

Prices and content availability as shown are subject to change and should be treated as estimates only. Actual base vehicle, package and option pricing may vary from this estimate because of special local pricing, availability or pricing adjustments not reflected in the dealer's computer system. See salesperson for the most current information.

**Prepared for:**

Village of Homewood
 Prepared by: Nic Cortellini
 05/06/2026

Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

2026 Police Interceptor Utility AWD Base (K8A)

Price Level: 620 | Quote ID: 2026-HWPD

Major Equipment

(Based on selected options, shown at right)
 10-speed automatic

- * 18 x 8-inch front and rear black steel wheels
- * P255/60RW18 AS BSW front and rear tires
- * Lock-up transmission
- * Alternator Amps: 250A
- * All-speed ABS and driveline traction control
- * HD lead acid battery
- * Steering wheel mounted audio controls
- * 8 inch primary display
- * AM/FM
- * Auxiliary input jack
- * Vehicle body length: 198.8"
- * Standard ride suspension
- * Rear window defroster
- * Manual folding door mirrors
- * Deep tinted windows
- * Speed sensitive wipers
- * Dual-zone front climate control
- * Driver front impact airbag
- * Passenger front impact airbag

Exterior: Agate Black
 Interior: Charcoal Black w/Unique HD Cloth
 Front Bucket Seats w/Vinyl Rear

- * Class III tow rating
- * Overdrive transmission
- * Transmission electronic control
- * Stainless steel dual exhaust
- * Battery rating: 850CCA
- * Fuel tank capacity: 21.40 gal.
- * Bluetooth wireless audio streaming
- * AM/FM stereo radio
- * Seek scan
- * External memory control
- * Wheelbase: 119.1"
- * Trip computer
- * Power door mirrors
- * LED brake lights
- * Variable intermittent front windshield wipers
- * Automatic climate control
- * Rear under seat climate control ducts
- * Seat mounted side impact driver airbag
- * Seat mounted side impact front passenger airbag

As Configured Vehicle

MSRP

STANDARD VEHICLE PRICE	\$48,550.00
Order Code 500A	N/C
50-State Emissions System	STD
3.73 Axle Ratio	Included
Tires: 255/60R18 as BSW	Included
Wheels: 18" X 8" 5-Spoke Painted Black Steel	Included
Unique HD Cloth Front Bucket Seats w/Vinyl Rear	Included
Monotone Paint Application	STD
119" Wheelbase	STD
Radio: AM/FM/MP3 Capable	Included
SYNC Phoenix Communication & Entertainment System	Included
Agate Black	N/C
Charcoal Black w/Unique HD Cloth Front Bucket Seats w/Vinyl Rear	N/C
Engine: 3.3L V6 Direct-Injection	N/C
Transmission: 10-Speed Automatic (44U)	N/C
Front License Plate Bracket	N/C
Hidden Door-Lock Plunger	\$160.00
Rear-Door Controls Inoperable	Included

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Prepared for:

Village of Homewood
Prepared by: Nic Cortellini
05/06/2026

Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

2026 Police Interceptor Utility AWD Base (K8A)

Price Level: 620 | Quote ID: 2026-HWPD

Major Equipment

- * Airbag occupancy sensor
- * Electronic stability control system with anti-rollover
- * Fixed rear seats
- * Front facing rear seat
- * Height adjustable rear seat head restraints
- * 3 rear seat head restraints
- * Bucket front seats
- * Front passenger seat with 8-way directional controls
- * Manual front seat head restraint control
- * Power height adjustable driver seat
- * Power driver seat cushion tilt
- * Power height adjustable control passenger seat
- * Cloth front seat upholstery
- * Driver seat with 2-way power lumbar
- * 4-wheel disc brakes
- * Brake assist system
- * 7 airbags
- * Manual rear child safety door locks
- * 35-30-35 folding rear seats
- * Fold forward rear seatback
- * Manual rear seat head restraint control
- * Split-bench rear seat
- * Driver seat with 8-way directional controls
- * Height adjustable front seat head restraints
- * Manual reclining driver seat
- * Power driver seat fore/aft control
- * Power reclining passenger seat
- * Power passenger seat fore/aft control
- * Vinyl front seatback upholstery
- * Front passenger seat with 2-way power lumbar
- * 4-wheel antilock (ABS) brakes
- * Hill start assist

As Configured Vehicle MSRP

Driver Only LED Bulb Spot Lamp (Unity)	\$400.00
Noise Suppression Bonds (Ground Straps)	\$100.00
Underbody Deflector Plate	\$340.00
Rear Console Plate	\$60.00
<hr/>	
SUBTOTAL	\$49,610.00
Destination Charge	\$1,795.00
<hr/>	
TOTAL	\$51,405.00

Prices and content availability as shown are subject to change and should be treated as estimates only. Actual base vehicle, package and option pricing may vary from this estimate because of special local pricing, availability or pricing adjustments not reflected in the dealer's computer system. See salesperson for the most current information.



Prepared for:

Village of Homewood
Prepared by: Nic Cortellini
05/06/2026

Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

2026 Police Interceptor Utility AWD Base (K8A)

Price Level: 620 | Quote ID: 2026-HWPD

Fuel Economy

City
N/A



Hwy
N/A

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**Prepared for:**

Village of Homewood

Prepared by: Nic Cortellini

05/06/2026

Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

2026 Police Interceptor Utility AWD Base (K8A)

Price Level: 620 | Quote ID: 2026-HWPD

As Configured Vehicle

Code	Description	MSRP
Base Vehicle		
K8A	Base Vehicle Price (K8A)	\$48,550.00
Packages		
500A	Order Code 500A <i>Includes:</i> - 3.73 Axle Ratio - Tires: 255/60R18 as BSW - Wheels: 18" X 8" 5-Spoke Painted Black Steel <i>Includes black wheel-lip molding, polished stainless steel hub cover and center caps.</i> - Unique HD Cloth Front Bucket Seats w/Vinyl Rear <i>Includes reduced bolsters, driver 6-way power track (fore/aft, up/down, tilt with manual recline, 2-way power lumbar), passenger 8-way power track with 2-way power recline and 2-way power lumbar and built-in steel intrusion plates in both driver/passenger seatbacks.</i> - Radio: AM/FM/MP3 Capable <i>Includes 100 watt siren/speaker prep kit, clock, 4 speakers, 1 USB port, 8" color LCD screen center-stack smart display, supports Android Auto and Apple CarPlay and fleet telematics modem. Allows data to be provided to support Ford Pro telematics and data services via optional subscription, including but not limited to vehicle location, speed, idle time, fuel, vehicle diagnostics and maintenance alerts. Device enables optional telematics services through Ford or authorized providers via paid subscription. Subscribe at https://fordpro.com/en-us/telematics/ or call 1-833-811-FORD (3673).</i> - SYNC Phoenix Communication & Entertainment System <i>Includes hands-free voice command support compatible with most Bluetooth connected mobile devices, 911 Assist, VHR, SYNC Services, AppLink, Bluetooth, steering wheel controls, USB port and auxiliary input jack.</i>	N/C
Emissions		
425	50-State Emissions System	STD
Powertrain		
99B	Engine: 3.3L V6 Direct-Injection <i>136-MPH top speed. Deletes regenerative braking and lithium-ion battery pack; adds 250-amp alternator and replaces 19-gallon tank with 21.4-gallon tank.</i>	N/C
44U	Transmission: 10-Speed Automatic (44U)	N/C
STDAX	3.73 Axle Ratio	Included
Wheels & Tires		
STDTR	Tires: 255/60R18 as BSW	Included
STDWL	Wheels: 18" X 8" 5-Spoke Painted Black Steel <i>Includes black wheel-lip molding, polished stainless steel hub cover and center caps.</i>	Included

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**Prepared for:**

Village of Homewood

Prepared by: Nic Cortellini

05/06/2026

Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

2026 Police Interceptor Utility AWD Base (K8A)

Price Level: 620 | Quote ID: 2026-HWPD

As Configured Vehicle (cont'd)

Code	Description	MSRP
Seats & Seat Trim		
9	<p>Unique HD Cloth Front Bucket Seats w/Vinyl Rear</p> <p><i>Includes reduced bolsters, driver 6-way power track (fore/aft, up/down, tilt with manual recline, 2-way power lumbar), passenger 8-way power track with 2-way power recline and 2-way power lumbar and built-in steel intrusion plates in both driver/passenger seatbacks.</i></p>	Included
Other Options		
PAINT	Monotone Paint Application	STD
119WB	119" Wheelbase	STD
STDRD	<p>Radio: AM/FM/MP3 Capable</p> <p><i>Includes 100 watt siren/speaker prep kit, clock, 4 speakers, 1 USB port, 8" color LCD screen center-stack smart display, supports Android Auto and Apple CarPlay and fleet telematics modem. Allows data to be provided to support Ford Pro telematics and data services via optional subscription, including but not limited to vehicle location, speed, idle time, fuel, vehicle diagnostics and maintenance alerts. Device enables optional telematics services through Ford or authorized providers via paid subscription. Subscribe at https://fordpro.com/en-us/telematics/ or call 1-833-811-FORD (3673).</i></p> <p><i>Includes:</i></p> <ul style="list-style-type: none"> - SYNC Phoenix Communication & Entertainment System - Includes hands-free voice command support compatible with most Bluetooth connected mobile devices, 911 Assist, VHR, SYNC Services, AppLink, Bluetooth, steering wheel controls, USB port and auxiliary input jack. 	Included
153	Front License Plate Bracket	N/C
51R	Driver Only LED Bulb Spot Lamp (Unity)	\$400.00
76D	Underbody Deflector Plate <i>Engine and transmission shield.</i>	\$340.00
52P	<p>Hidden Door-Lock Plunger</p> <p><i>Includes:</i></p> <ul style="list-style-type: none"> - Rear-Door Controls Inoperable - Locks, handles and windows. Can manually remove window or door disable plate with special tool. Locks/windows operable from driver's door switches. 	\$160.00
68G	<p>Rear-Door Controls Inoperable</p> <p><i>Locks, handles and windows. Can manually remove window or door disable plate with special tool. Locks/windows operable from driver's door switches.</i></p>	Included
85R	<p>Rear Console Plate</p> <p><i>Contours through 2nd row; channel for wiring.</i></p>	\$60.00
60R	Noise Suppression Bonds (Ground Straps)	\$100.00

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Prepared for:

Village of Homewood
 Prepared by: Nic Cortellini
 05/06/2026

Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

2026 Police Interceptor Utility AWD Base (K8A)

Price Level: 620 | Quote ID: 2026-HWPD

As Configured Vehicle (cont'd)

Code	Description	MSRP
Exterior Color		
UM_01	Agate Black	N/C
Interior Color		
9W_01	Charcoal Black w/Unique HD Cloth Front Bucket Seats w/Vinyl Rear	N/C
Upfit Options		
01	Certificate of Origin	\$0.00
SUBTOTAL		\$49,610.00
Destination Charge		\$1,795.00
TOTAL		\$51,405.00

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Prepared for:

Village of Homewood
Prepared by: Nic Cortellini
05/06/2026

Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

2026 Police Interceptor Utility AWD Base (K8A)

Price Level: 620 | Quote ID: 2026-HWPD

Pricing Summary - Single Vehicle

	MSRP
<i>Vehicle Pricing</i>	
Base Vehicle Price	\$48,550.00
Options	\$1,060.00
Colors	\$0.00
Upfitting	\$0.00
Fleet Discount	\$0.00
Fuel Charge	\$0.00
Destination Charge	\$1,795.00
Subtotal	\$51,405.00
<i>Discount Adjustments</i>	
Discount Adjustments	-\$5,831.00
Total	\$45,574.00

Customer Signature

Acceptance Date

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Original Contract



**2026 Ford Utility
Interceptor Contract #204**

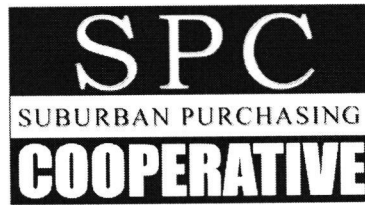
\$44,954.00



Currie Motors Fleet

Nice People to do Business With!

Good Thru 10/24/25



2026 Ford Utility Interceptor

\$44,954.00

Standard Features

MECHANICAL ● **3.3L V-6 TI-VCT Motor Gasoline –Standard** ● AWD Drivetrain Transmission – 10-speed automatic, police calibrated ● Brakes – Police calibrated high-performance ● 4- Wheel heavy-duty disc w/heavy-duty front and rear calipers
 ● Brake Rotors – large mass for high thermal capacity and calipers with large swept area. ● Electric Power-Assist Steering (EPAS) – Heavy-Duty ● DC/DC converter – 220-Amp ● Cooling System – Heavy-duty, Engine oil cooler and transmission oil cooler ● Engine Idle Hour Meter ● Powertrain mounts – Heavy-Duty ● Class III Trailer Hitch Receiver and (2) recovery hooks ● Class III Trailer Tow Lighting Package ● Wheels— Heavy-duty steel, vented with center cap— Full size spare tire w/TPMS ● 50-State Emissions System ● H8 AGM Battery ● **Engine Idle Control** ● Manual Police Pursuit Mode

EXTERIOR ● Antenna, Roof-mounted ● Cladding – Lower body-side cladding ● Door Handles – Black
 ● Exhaust, True Dual ● **Daytime Running Lamps – Configurable ON/OFF through instrument cluster** ● Door-Lock Cylinders (Front Driver / Passenger / Lift-gate) ● Glass – 2nd Row, Rear Quarter and Lift-gate Privacy Glass ● Grille – Black ● Headlamps – Automatic, LED Low-and-High-Beam ● Lift-gate – Manual 1-Piece – Fixed Glass w/Door-Lock Cylinder ● Mirrors – **Black Caps Power Electric Remote Heated Manual Folding with Integrated Spotter** ● Spare – Full size 18" Tire w/TPMS ● Spoiler – Painted Black ● Lift-gate Handle ● Tail lamps – LED ● Tires – 255/60R18 A/S BSW ● Wheel-Lip Molding – Black ● Wheels – 18" x 8.0 painted black steel with polished stainless steel hub cover ● Windshield – Acoustic Laminated ● **Rear Tail Light Housing**

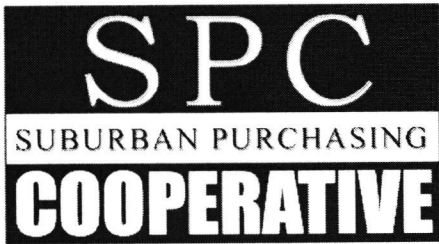
INTERIOR/COMFORT ● Cargo Hooks in cargo area ● Climate Control – Dual-Zone Electronic Automatic Temperature Control ● Door-Locks— Power ● Fixed Pedals (Driver Dead Pedal) ● Floor – Heavy-Duty Thermoplastic Elastomer ● Glove Box – Locking/non-illuminated ● Grab Handles ● Heated Sanitization Solution ● **Lift gate Release Switch located in overhead console (45 second timeout feature)** ● Lighting— Overhead Console— Red/White Task Lighting in Overhead Console— 3rd row overhead map light ● Mirror – Day/night Rear View
 ● Particulate Air Filter ● Power points – (1) First Row ● Rear-door closeout panels ● Rear-window Defrost ● Scuff Plates – Front & Rear ● Seats— 1st Row Police Grade Cloth Trim, Dual Front Buckets with reduced bolsters — 1st Row – Driver 6-way lower track (fore/aft. Up/down, tilt with manual recline, 2-way manual lumbar) — 1st Row – passenger 2-way manual track (fore/aft. with manual recline) — Built-in steel intrusion plates in both driver/passenger seatbacks — 2nd Row Vinyl, 35/30/35 Split Bench Seat (manual fold-flat, no tumble) ● Speed (Cruise) Control ● Speedometer –

Calibrated (includes digital readout) ●Steering Wheel – Manual / Tilt / Telescoping, Speed Controls and 4 user – configurable latching switches Sun visors, color-keyed, non-illuminated ●Universal Top Tray – Center of I/P for mounting aftermarket equipment ●Windows, Power, 1-touch Up/Down Front Driver/Passenger-Side with disable feature ● **Power Passenger Seat ● Courtesy Lights Disabled ● Rear Dome Light ●Aux. Rear A/C**

SAFETY/SECURITY ●Advance Trac® w/RSC® ●Airbags, dual-stage driver & front-passenger, side seat, passenger-side knee, Roll Curtain Airbags and Safety Canopy®●Anti-Lock Brakes (ABS) with Traction Control ● Brakes – Police calibrated high-performance regenerative braking system ●Belt-Minder® (Front Driver / Passenger)●Child-Safety Locks ●Individual Tire Pressure Monitoring System (TPMS)●LATCH (Lower Anchors and Tethers for Children) system on rear outboard seat locations ●Rearview Camera viewable on 8"Center Stack ● S e at Belts, Pretensioner /Energy-Management System w/adjustable height in 1st Row ●SOS Post-Crash Alert System™● Perimeter Alert ● Remote Keyless Fob ●BLIS ●Cross Traffic Brake Assist ●Pre-Collision Mitigation System ●Reverse Sensing System

Police Up-fit Friendly ●Consistent 11-inch space between driver and passenger seats for aftermarket consoles (9-inch center console mounting plate)●Console mounting plate ●Dash pass-thru opening for aftermarket wiring ●Headliner- easy to service ●Two (2) 50 amp battery ground circuits – power distribution junction block (repositioned behind 2nd row seat floorboard). ● Grill Wiring ●100 Watt siren/Speaker Prep Kit

Functional ●Audio— AM/FM / MP3 Capable / Clock / 4-speakers— SYNC® interface — Includes hands-free voice command support — USB Port — (1) — 8" Color LCD Screen Center- Stack "Smart Display" ● Easy Fuel® Capless Fuel-Filler ●Fleet Telematics Modem to support Ford Pro™ Telematics ●Front door tether straps (driver/passenger)●Power pigtail harness ●Simple Fleet Key; 4-keys●Two-way radio pre-wire ●Two (2) 50 amp battery power circuits – power distribution junction block (behind 2nd row passenger seat floorboard)●Wipers – Front Speed- Sensitive Intermittent; Rear Dual Speed Wiper ●Up fitter Interface System ●PAITRO output tied to lift gate release switch ●3 Year 36,000 Mile Warranty-5 Year 100,000 mile Powertrain Warranty ●Delivery under 75 miles



Models

<input type="checkbox"/>	K8A	2026 Utility Interceptor- 3.3L V-6 TI-VCT Motor	44,954.00
<input type="checkbox"/>			
<input type="checkbox"/>			
<input type="checkbox"/>			
<input type="checkbox"/>			
<input type="checkbox"/>			
<input type="checkbox"/>			
<input type="checkbox"/>			
<input type="checkbox"/>			
<input type="checkbox"/>			

OPTIONS-Mechanical/Functional

<input type="checkbox"/>	99W-3.3L V-6 Direct Injected Hybrid System	2661.00
<input type="checkbox"/>	99C-3.0L Eco boost- NA w/ 65U	2,679.00
<input type="checkbox"/>	76D-Deflector Plate (engine and transmission shield)	320.00
<input type="checkbox"/>	41H-Block Heater	179.00
<input type="checkbox"/>	18X-100 Watt Siren Speaker (includes bracket and pig tail)	329.00
<input type="checkbox"/>	60R-Noise Suppression	94.00
<input type="checkbox"/>	67U-Ultimate Wiring Kit	602.00
<input type="checkbox"/>	67V-Connector Kit	188.00
<input type="checkbox"/>	85D-Front Console Mounting Plate Delete (NA with 67H, 67U, 85R)	NC
<input type="checkbox"/>	85R-Rear Mounting Plate (NA with 65U, 85D)	56.00
<input type="checkbox"/>	67H Ready For the Road Package-OEM Lighting and Wiring Package	3,807.00
<input type="checkbox"/>	18D-Global Lock/Unlock- Deletes 45 second Lift Gate Lock Release	N/C

Options-Exterior

<input type="checkbox"/>	16P Rear Bumper Step Pad	94.00
<input type="checkbox"/>	65L 18" Wheel Covers	65.00
<input type="checkbox"/>	Keyed Alike CODE _____	47.00
<input type="checkbox"/>	942-Daytime Running Light-Cannot be Reprogrammed	47.00
<input type="checkbox"/>	68G- Rear Door Locks Inoperable	N/C
<input type="checkbox"/>	52P-Hidden Door Lock Plunger Includes 68G	150.00
<input type="checkbox"/>	43A-Rear Auxiliary Lights	376.00
<input type="checkbox"/>	96T-Rear Spoiler Traffic Light-Compatible with Interior Upgrade Package	1,410.00
<input type="checkbox"/>	51P-Drivers Side Spot Light Prep	132.00
<input type="checkbox"/>	51S-Dual Spot Lights-Unity	743.00
<input type="checkbox"/>	51T-Drivers Spot Light-Whelen	394.00
<input type="checkbox"/>	51V-Dual Spot Lights-Whelen	828.00
<input type="checkbox"/>	51W-Dual Spot Prep	282.00
<input type="checkbox"/>	51R-Drivers Side Unity Spot Light- PLEASE SELECT IF DESIRED	N/C
<input type="checkbox"/>	63B-Side Marker Lights	461.00
<input type="checkbox"/>	63L-Quarter Glass Lights	546.00
<input type="checkbox"/>	66A-Front Headlamp Package	846.00
<input type="checkbox"/>	66B-Tail Lamp Package	405.00
<input type="checkbox"/>	66C-Rear Light Package	432.00
<input type="checkbox"/>	16D-Badge Delete	N/C
<input type="checkbox"/>	21L Front Auxiliary Light	546.00

Options-Interior

<input type="checkbox"/>	47E 12.1" Integrated Computer Screen	3,478.00
<input type="checkbox"/>	63V Cargo Vault (Lockable Small Compartment)	253.00
<input type="checkbox"/>	65U Interior Upgrade Package-Includes Civilian-Style Console /Carpet- NA w/99C	573.00
<input type="checkbox"/>	92R Solar Tint 2 nd Row (Deletes Privacy Glass)	85.00
<input type="checkbox"/>	92G Solar Tint 2 nd Row and Cargo Area (Deletes Privacy Glass)	112.00
<input type="checkbox"/>	87M 4" Rear Camera (1/4 size Picture in Picture in Upper Left Quadrant of Display)	N/C
<input type="checkbox"/>		



Title Name: _____

Title Address: _____

Title City: _____

Title Zip Code: _____

License Plate Desired: _____

Contact Name: _____

Phone Number: _____

PO Number: _____

FIN Code: _____

Tax Exempt Number: _____

Total Dollar Amount: \$ _____

Delivery Address: _____

Additional Information / Notes:

Authorized Signature: _____

Date: _____



IMPORTANT ORDERING INFORMATION

Orders require a signed original Purchase Order and Tax-Exempt Letter.

Stock Units Available

Submit documents to:

Currie Motors Commercial Center

10125 W Laraway
Frankfort, IL 60423

Main Phone: (815)464-9200

Contacts:

Tom Sullivan

Email: tsullivan@curriemotors.com

Phone: (815) 464-9200

Nic Cortellini

Email: ncortellini@curriemotors.com

Phone: (815) 464-9200

Note: Production is based upon plant scheduling and commodity restrictions and is subject to cancellation.

Payment is due at the time of delivery.



BOARD AGENDA MEMORANDUM

DATE OF MEETING: May 26, 2026

To: Village President and Board of Trustees

Through: Napoleon Haney, Village Manager

From: Joshua Burman, Director of Public Works

Topic: Purchase Approval - 2026 Ford F-150 for Landscape Maintenance Division

PURPOSE

Staff is requesting that the Board approve the purchase one (1) 2026 Ford F-150 through the South Suburban Purchasing Cooperative from Currie Motors of Frankfort, Illinois, in an amount not to exceed \$63,000. This amount includes the vehicle purchase and installation of required lighting, accessories, and operational equipment. This vehicle will replace an aging Public Works pickup truck currently utilized by the Landscape Maintenance Supervisor for daily operations, inspections, and maintenance activities. The purchase will be bought through the Village's approved vehicle replacement and capital equipment funding program.

PROCESS

Periodically, the Village of Homewood must replace equipment that has reached its end of life. Staff evaluates equipment on an annual basis and compiles a list of items recommended for replacement based on American Public Works Association (APWA) Fleet Management guidelines, which consider age, mileage, maintenance history, reliability, and operational needs.

The following vehicle has been identified for replacement:

- Truck #62: 2016 Chevrolet Silverado 1500 with approximately 84,000 Miles

This vehicle was identified for replacement by the Fleet Supervisor and slated for replacement through the annual budget and capital planning process. Replacing aging vehicles ensures reliable service delivery, reduces maintenance costs, and improves operational efficiency for Public Works staff.

Purchase Options

Staff researched purchase options and identified vehicles available through the South Suburban Purchasing Cooperative and the local Ford dealership.

- South Suburban Purchasing Cooperative, Currie Motors of Frankfort, IL: \$45,189.00
- Ford of Homewood - \$48,660.63



South Suburban Purchasing Cooperative – Currie Motors of Frankfort, IL

A 2026 Ford F-150 is available through the South Suburban Purchasing Cooperative from Currie Motors of Frankfort, IL for a price of \$45,189. The Suburban Purchasing Cooperative provides competitively bid pricing that complies with Illinois statutory purchasing requirements. Utilizing cooperative purchasing allows the Village to obtain favorable pricing while satisfying competitive procurement standards.

Ford of Homewood

Staff also reached out to Ford of Homewood who provided a proposal for a 2026 Ford F-150 at a price of \$48,660.63, which is **\$3,471.63** more than the Suburban Purchasing Cooperative price. In cases where Ford of Homewood provides a similar vehicle cost within \$2,000 of a competitor's lower price, there is a reasonable balance of being responsible with public dollars (lowest price) and seeking to keep dollars spent within Homewood's business ecosystem. When the competition provides a lower vehicle price than our local vendor, the benefit must be carefully weighed to ensure that a real and tangible benefit is provided to Homewood.

Shop Local

Based on the prices provided for the purchase of a Ford F-150, the lowest quote was received from the Suburban Purchasing Cooperative in the amount of \$45,189. Staff recognizes the importance of supporting local businesses whenever possible and recommends purchasing from a local vendor, provided pricing remains competitive and within budget. Staff reached out to Ford of Homewood to work towards reducing their price for the Ford F-150. Unfortunately, the \$48,660.63 was their best and final price for the vehicle. Per our established practice, staff would consider recommending the purchase of a slightly higher priced vehicle from a local vendor if the price is within \$2,000 of the lowest vendor submission.

Recommendation

Both of the competing vehicles prices meet operational needs and fall within the approved budget. Because of the \$3,471.63 cost difference, staff recommends moving forward with the purchase from the South Suburban Purchasing Cooperative.





OUTCOME

Approval of this purchase will allow Public Works to replace an aging fleet vehicle and ensure continued reliable transportation, operational efficiency, and uninterrupted service delivery.

FINANCIAL IMPACT

- **Funding Source:** General Capital
- **Budgeted Amount:** \$1,000,000 (Vehicle and Equipment Replacements)
- **Cost:** \$45,189 for the purchase of one (1) 2026 Ford F-150 plus \$14,700 for the required accessories for a total amount not to exceed \$59,889.

LEGAL REVIEW

Not Required

RECOMMENDED BOARD ACTION

Waive competitive bidding due to the purchase being made through an approved governmental purchasing cooperative; and, approve the purchase of one (1) 2026 Ford F-150 through the South Suburban Purchasing Cooperative from Currie Motors of Frankfort, IL in the amount of \$45,189, and the cost to purchase and install lighting, accessories, and equipment for an additional cost of \$14,700, in a total amount not to exceed \$59,889.

ATTACHMENT(S)

- HPW Equipment Replacement Justification
- Homewood Ford Quote
- Currie Motors Quote

Ford of Homewood Quote

62-2662

Item 10. K.

Date/Time: May 11, 2026 12:55 PM
Buyer: Village of Homewood
Phone: C: (708) 417-2955
Phone: H: (708) 206-3405
Address: 2020 Chestnut Rd
 Homewood, IL 60430

Salesperson: Adam Aldworth

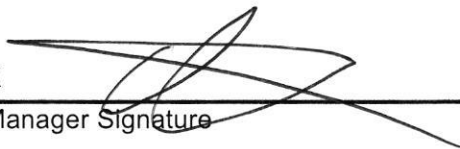
2026 Ford F-150, Body Type: Truck

Purchase	0 Months @ 0%
\$ Down	Est. \$/Monthly
\$0	\$48,661

MSRP/Retail	\$52,500.00
Selling Price	\$47,953.00
Total Savings + Rebate	\$4,547.00
Proc/Doc Fee	\$412.63
Wheel Locks	\$295.00
Amount Financed	\$48,660.63

X _____
 Customer Signature

 Date

X  _____
 Manager Signature

 Date



Item 10. K.

Preview Order 9809 - W1K - 4x2 XL SuperCrew: Order Summary Time of Preview: 05/11/2026 12:43:59 Receipt: NA

Dealership Name: Ford of Homewood, Inc.

Sales Code : F41050

Dealer Rep.	JEFFERY MOYERS	Type	Fleet	Vehicle Line	F-150	Order Code	9809
Customer Name	VILLAGE OF HO	Priority Code	J1	Model Year	2026	Price Level	640

DESCRIPTION	MSRP	INVOICE	DESCRIPTION	MSRP	INVOICE
F150 4X2 SUPERCREW XL - 145	\$43935	\$41958	6850# GVWR PACKAGE	\$0	\$0
145 INCH WHEELBASE	\$0	\$0	JOB #2 ORDER	\$0	\$0
TOTAL BASE VEHICLE	\$43935	\$40591	FRONT LICENSE PLATE BRACKET	\$0	\$0
OXFORD WHITE	\$0	\$0	BLACK PLATFORM RUNNING BOARDS	\$250	\$228
VINYL 40/20/40 FRONT SEAT	\$0	\$0	50 STATE EMISSIONS	\$0	\$0
MEDIUM DARK SLATE	\$0	\$0	TOW/HAUL PACKAGE	\$1010	\$919
EQUIPMENT GROUP 103A	\$1195	\$1088	.INTEGRATED TRAILER BRAKE CONT	\$0	\$0
.XL SERIES	\$0	\$0	EXTENDED RANGE 36GAL FUEL TANK	\$0	\$0
.LED FOG LAMPS	\$0	\$0	CONN PKG: 1 YR INCL W/FORD APP	\$0	\$0
.17" SILVER PAINTED ALUMINUM	\$0	\$0	8-WAY POWER DRIVERS SEAT	\$350	\$319
.CHROME FRONT/REAR BUMPERS	\$0	\$0	BEDLINER-TOUGHBED SPRAYIN*ACCY	\$625	\$569
.PRIVACY GLASS W/REAR DEFROSTER	\$0	\$0	SPECIAL FLEET ACCOUNT CREDIT	\$0	-\$1367
5.0L V8 ENGINE	\$2340	\$2130	FUEL CHARGE	\$0	\$14
ELEC TEN-SPEED AUTO TRANS	\$0	\$0	PRICED DORA	\$0	\$0
245/70R 17 BSW ALL-SEASON	\$0	\$0	ADVERTISING ASSESSMENT	\$0	\$0
3.73 ELECTRONIC LOCK RR AXLE	\$0	\$0	DESTINATION & DELIVERY	\$2795	\$2795
				MSRP	INVOICE
TOTAL BASE AND OPTIONS				\$52500	\$48653
DISCOUNTS				NA	NA
TOTAL				\$52500	\$48653

ORDERING FIN: Q1379 END USER FIN: Q1379 PO NUMBER: 9809

\$ 47,953

Customer Name:
Customer Address:

Customer Email:
Customer Phone:

Customer Signature

Date 220

Prepared for: , Village of Homewood

62-2662

Quote

Currie Motors

2026 F-150 4x2 SuperCrew Cab 5.5' box 145" WB XL (W1K)

Price Level: 640



Client Proposal

Prepared by:

Nic Cortellini

Office: 815-464-9200

Email: ncortellini@curriemotors.com

Quote ID: 2026-HWPW1

Date: 05/07/2026



Currie Motors Fleet | 10125 West Laraway Road, Frankfort, IL , 60423

Office: 815-464-9200



Prepared for:

Village of Homewood
Prepared by: Nic Cortellini
05/07/2026

Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

2026 F-150 4x2 SuperCrew Cab 5.5' box 145" WB XL (W1K)

Price Level: 640 | Quote ID: 2026-HWPW1

Warranty

Standard Warranty

Basic Warranty

Basic warranty 36 months/36,000 miles

Powertrain Warranty

Powertrain warranty 60 months/60,000 miles

Corrosion Perforation

Corrosion perforation warranty 60 months/unlimited

Roadside Assistance Warranty

Roadside warranty 60 months/60,000 miles

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Prepared for:

Village of Homewood
 Prepared by: Nic Cortellini
 05/07/2026

Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

2026 F-150 4x2 SuperCrew Cab 5.5' box 145" WB XL (W1K)

Price Level: 640 | Quote ID: 2026-HWPW1

Major Equipment

(Based on selected options, shown at right)
 10-speed automatic

- * Running boards
- * Class IV tow rating
- * Overdrive transmission
- * Transmission electronic control
- * Stainless steel single exhaust
- * Driver selectable rear locking differential
- * Lead acid battery
- * Fuel tank capacity: 36.01 gal.
- * Driver selectable drivetrain mode
- * Bluetooth wireless audio streaming
- * AM/FM/Satellite radio
- * Seek scan
- * Auxiliary input jack
- * Internet radio capability
- * Vehicle body length: 231.7"
- * Axle capacity rear: 4,800 lbs.
- * Axle capacity front: 4,050 lbs.
- * Standard ride suspension
- * Rear window defroster

Exterior: Oxford White
 Interior: Black w/Medium Dark Slate w/Cloth
 40/20/40 Front Seat

- * 17 x 7.5-inch front and rear silver aluminum wheels
- * P245/70RS17 AS BSW front and rear tires
- * Lock-up transmission
- * Alternator Amps: 200A
- * All-speed ABS and driveline traction control
- * Battery rating: 610CCA
- * Battery run down protection
- * Auto stop-start engine
- * Steering wheel mounted audio controls
- * 12 inch primary display
- * AM/FM/satellite
- * Radio data system (RDS)
- * SYNC 4 external memory control
- * 3 month satellite trial subscription
- * Wheelbase: 145.0"
- * Tire/wheel capacity rear: 4,150 lbs.
- * Spring rating front: 3,450 lbs.
- * Trip computer
- * Power door mirrors

As Configured Vehicle

MSRP

STANDARD VEHICLE PRICE	\$43,935.00
Transmission: Electronic 10-Speed Automatic	Included
Tires: 245/70R17 BSW A/S	Included
Cloth 40/20/40 Front Seat	Included
145" Wheelbase	STD
Radio: AM/FM Stereo w/SiriusXM 360L	Included
Monotone Paint Application	STD
Fleet Customer Powertrain Limited Warranty	N/C
Equipment Group 103A High	\$1,195.00
Wheels: 17" Silver Painted Aluminum	Included
50-State Emissions	Included
Ford Connectivity Package (1-Year Included)	Included
SYNC 4 w/Enhanced Voice Recognition	Included
Oxford White	N/C
Black w/Medium Dark Slate w/Cloth 40/20/40 Front Seat	N/C
Interior Work Surfaces	Included
Chrome Bumpers	Included
LED Fog Lamps	Included
Rear Window Fixed Privacy Glass w/Defroster	Included

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Village of Homewood
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 05/07/2026

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2026 F-150 4x2 SuperCrew Cab 5.5' box 145" WB XL (W1K)

Price Level: 640 | Quote ID: 2026-HWPW1

Major Equipment

- * Heated driver and passenger side door mirrors
- * DRL preference setting
- * Deep tinted windows
- * Manual climate control
- * Driver front impact airbag
- * Passenger front impact airbag
- * Airbag occupancy sensor
- * AdvanceTrac w/Roll Stability Control electronic stability control system with anti-rollover
- * SecuriLock immobilizer
- * 60-40 folding rear seats
- * Fold-up rear seat cushion
- * Manual rear seat head restraint control
- * Split-bench rear seat
- * Driver seat with 6-way directional controls
- * Height adjustable front seat head restraints
- * Split-bench front seat
- * Power reclining driver seat
- * Power driver seat fore/aft control
- * Manual passenger seat fore/aft control
- * Cloth front seatback upholstery
- * 4-wheel disc brakes
- * Electronic parking brake
- * Manual folding door mirrors
- * Daytime running lights
- * Variable intermittent front windshield wipers
- * Rear under seat climate control ducts
- * Seat mounted side impact driver airbag
- * Seat mounted side impact front passenger airbag
- * 6 airbags
- * Manual rear child safety door locks
- * Fixed rear seats
- * Front facing rear seat
- * Height adjustable rear seat head restraints
- * 3 rear seat head restraints
- * 40-20-40 split-bench front seat
- * Front passenger seat with 4-way directional controls
- * Manual front seat head restraint control
- * Front seat center armrest
- * Power height adjustable driver seat
- * Manual reclining passenger seat
- * Cloth front seat upholstery
- * Driver seat with 2-way power lumbar
- * 4-wheel antilock (ABS) brakes
- * Brake assist system

As Configured Vehicle

	MSRP
Tow/Haul Package	\$1,010.00
Engine: 5.0L V8	\$2,340.00
Integrated Trailer Brake Controller	Included
Electronic Locking w/3.73 Axle Ratio	Included
GVWR: 7,100 lbs Payload Package	Included
Black Platform Running Boards	\$250.00
Tough Bed Spray-in Bedliner	\$625.00
8-Way Power Driver's Seat w/Power Lumbar (Fleet)	\$350.00
<hr/>	
SUBTOTAL	\$49,705.00
Destination Charge	\$2,795.00
<hr/>	
TOTAL	\$52,500.00

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2026 F-150 4x2 SuperCrew Cab 5.5' box 145" WB XL (W1K)

Price Level: 640 | Quote ID: 2026-HWPW1

Major Equipment

* Hill Start Assist

Fuel Economy

City
17 mpg



Hwy
25 mpg

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2026 F-150 4x2 SuperCrew Cab 5.5' box 145" WB XL (W1K)

Price Level: 640 | Quote ID: 2026-HWPW1

As Configured Vehicle

Code	Description	MSRP
Base Vehicle		
W1K	Base Vehicle Price (W1K)	\$43,935.00
Packages		
103A	Equipment Group 103A High <i>Includes:</i> - Transmission: Electronic 10-Speed Automatic - Includes SelectShift with progressive range select and selectable drive modes: normal, ECO, sport, tow/haul, slippery and trail. - Tires: 245/70R17 BSW A/S - Wheels: 17" Silver Painted Aluminum - Cloth 40/20/40 Front Seat - Includes 2-way manual driver/passenger and armrest. - Radio: AM/FM Stereo w/SiriusXM 360L - Includes 6 speakers and auxiliary audio input jack. Note: includes a three (3)-month prepaid subscription. Service is not available in Alaska and Hawaii. Note: all SiriusXM services require a subscription, sold separately by SiriusXM after the trial period. Your SiriusXM service will automatically stop at the end of your trial unless you decide to subscribe. If you decide to continue service, the subscription plan chosen will automatically renew and be charged according to your chosen payment method at the then-current rates. Fees and taxes apply. See the SiriusXM customer agreement & privacy policy at http://www.siriusxm.com/ www.siriusxm.com for full terms and how to cancel, which includes online methods or calling 1-866-635-2349. Available in the 48 contiguous United States, D.C., and Puerto Rico (with coverage limits and capable receiver). Visit http://www.siriusxm.com/FAQS for most current service area information. Availability of some services and features is subject to device capabilities and location restrictions. All fees, content and features are subject to change. SiriusXM, Pandora and all related logos are trademarks of Sirius XM Radio Inc. and its respective subsidiaries. - Ford Connectivity Package (1-Year Included) - Includes (features may vary by make and model) unlimited Wi-Fi hotspot, audio and video streaming, voice assistant and entertainment. Included for one-year from warranty start date. Requires activation via Ford app with credit card authorization; customer may cancel at any time. Evolving technology/cellular networks/vehicle capability may limit functionality and prevent operation of connected features. Ford may temporarily slow data speeds if such data usage reaches or exceeds 50GB within a billing cycle or due to network limitations. If a customer uses more than 50% of their data usage in a roaming country during a 60-day period, Ford may remove or limit the customer's data plan. - SYNC 4 w/Enhanced Voice Recognition - Includes 12" center display, wireless phone connection, cloud connected, AppLink with App catalog, 911 Assist, Apple CarPlay and Android Auto compatibility, digital owners manual and conversational voice command recognition. - Interior Work Surfaces - Chrome Bumpers - LED Fog Lamps - Rear Window Fixed Privacy Glass w/Defroster	\$1,195.00

Emissions

425

50-State Emissions

Included

Standard equipment on 2.7L (99P) and 5.0L V8 (995). Automatically added to 3.5L EcoBoost (998) and 3.5L PowerBoost full hybrid (99D) orders from dealers located in the following California emissions states: California, Massachusetts, New York, Oregon, Pennsylvania, Vermont and Washington. Available 3.5L EcoBoost (998) and 3.5L PowerBoost full hybrid (99D) option for dealers in federal states for all order types (retail / stock / fleet): Arizona, Connecticut, Delaware, Idaho, Maine, Maryland, Montana, New Hampshire, New Jersey, Nevada, Ohio, Rhode Island and West Virginia. Available option for dealers located in all states for retail orders. Available option for dealers located in all states for commercial / rental fleet orders. Available option for dealers located in all states for government fleet orders with ship-to addresses in California emissions states.

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2026 F-150 4x2 SuperCrew Cab 5.5' box 145" WB XL (W1K)

Price Level: 640 | Quote ID: 2026-HWPW1

As Configured Vehicle (cont'd)

Code	Description	MSRP
Powertrain		
995	Engine: 5.0L V8 <i>Includes auto start-stop technology.</i> <i>Includes:</i> - 50-State Emissions Standard equipment on 2.7L (99P) and 5.0L V8 (995). Automatically added to 3.5L Ecoboost (998) and 3.5L PowerBoost full hybrid (99D) orders from dealers located in the following California emissions states: California, Massachusetts, New York, Oregon, Pennsylvania, Vermont and Washington. Available 3.5L Ecoboost (998) and 3.5L PowerBoost full hybrid (99D) option for dealers in federal states for all order types (retail / stock / fleet): Arizona, Connecticut, Delaware, Idaho, Maine, Maryland, Montana, New Hampshire, New Jersey, Nevada, Ohio, Rhode Island and West Virginia. Available option for dealers located in all states for retail orders. Available option for dealers located in all states for commercial / rental fleet orders. Available option for dealers located in all states for government fleet orders with ship-to addresses in California emissions states.	\$2,340.00
44G	Transmission: Electronic 10-Speed Automatic <i>Includes SelectShift with progressive range select and selectable drive modes: normal, ECO, sport, tow/haul, slippery and trail.</i>	Included
XL6	Electronic Locking w/3.73 Axle Ratio	Included
NONGV2	GVWR: 7,100 lbs Payload Package	Included
Wheels & Tires		
STDTR	Tires: 245/70R17 BSW A/S	Included
NONWL	Wheels: 17" Silver Painted Aluminum	Included
Seats & Seat Trim		
C	Cloth 40/20/40 Front Seat <i>Includes 2-way manual driver/passenger and armrest.</i>	Included
Other Options		
145WB	145" Wheelbase	STD
STDRD	Radio: AM/FM Stereo w/SiriusXM 360L	Included

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Price Level: 640 | Quote ID: 2026-HWPW1

As Configured Vehicle (cont'd)

Code	Description	MSRP
	<p><i>Includes 6 speakers and auxiliary audio input jack. Note: includes a three (3)-month prepaid subscription. Service is not available in Alaska and Hawaii. Note: all SiriusXM services require a subscription, sold separately by SiriusXM after the trial period. Your SiriusXM service will automatically stop at the end of your trial unless you decide to subscribe. If you decide to continue service, the subscription plan chosen will automatically renew and be charged according to your chosen payment method at the then-current rates. Fees and taxes apply. See the SiriusXM customer agreement & privacy policy at http://www.siriusxm.com/ www.siriusxm.com for full terms and how to cancel, which includes online methods or calling 1-866-635-2349. Available in the 48 contiguous United States, D.C., and Puerto Rico (with coverage limits and capable receiver). Visit http://www.siriusxm.com/FAQS for most current service area information. Availability of some services and features is subject to device capabilities and location restrictions. All fees, content and features are subject to change. SiriusXM, Pandora and all related logos are trademarks of Sirius XM Radio Inc. and its respective subsidiaries.</i></p> <p><i>Includes:</i></p> <ul style="list-style-type: none"> - Ford Connectivity Package (1-Year Included) - Includes (features may vary by make and model) unlimited Wi-Fi hotspot, audio and video streaming, voice assistant and entertainment. Included for one-year from warranty start date. Requires activation via Ford app with credit card authorization; customer may cancel at any time. Evolving technology/cellular networks/vehicle capability may limit functionality and prevent operation of connected features. Ford may temporarily slow data speeds if such data usage reaches or exceeds 50GB within a billing cycle or due to network limitations. If a customer uses more than 50% of their data usage in a roaming country during a 60-day period, Ford may remove or limit the customer's data plan. - SYNC 4 w/Enhanced Voice Recognition - Includes 12" center display, wireless phone connection, cloud connected, AppLink with App catalog, 911 Assist, Apple CarPlay and Android Auto compatibility, digital owners manual and conversational voice command recognition. 	
53T	Tow/Haul Package	\$1,010.00
	<p><i>Includes:</i></p> <ul style="list-style-type: none"> - Integrated Trailer Brake Controller - Electronic Locking w/3.73 Axle Ratio - GVWR: 7,100 lbs Payload Package 	
18B	Black Platform Running Boards	\$250.00
924	Rear Window Fixed Privacy Glass w/Defroster	Included
67T	Integrated Trailer Brake Controller	Included
96W	Tough Bed Spray-in Bedliner	\$625.00
	Ford accessory.	
PAINT	Monotone Paint Application	STD
Fleet Options		
WARANT	Fleet Customer Powertrain Limited Warranty	N/C
	Requires valid FIN code.	

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Price Level: 640 | Quote ID: 2026-HWPW1

As Configured Vehicle (cont'd)

Code	Description	MSRP
	<i>Ford is increasing the 5-year 60,000-mile limited powertrain warranty to 5-years, 100,000 miles. Only Fleet purchasers with a valid Fleet Identification Number (FIN code) will receive the extended warranty. When the sale is entered into the sales reporting system with a sales type fleet along with a valid FIN code, the warranty extension will automatically be added to the vehicle. The extension will stay with the vehicle even if it is subsequently sold to a non-fleet customer before the expiration. This extension applies to both gas and diesel powertrains. Dealers can check for the warranty extension on eligible fleet vehicles in OASIS. Please refer to the Warranty and Policy Manual section 3.13.00 Gas Engine Commercial Warranty. This change will also be reflected in the printed Warranty Guided distributed with the purchase of every new vehicle.</i>	
91P	8-Way Power Driver's Seat w/Power Lumbar (Fleet) Requires valid FIN code.	\$350.00
Exterior Color		
YZ_01	Oxford White	N/C
Interior Color		
CS_01	Black w/Medium Dark Slate w/Cloth 40/20/40 Front Seat	N/C
Upfit Options		
01	Certificate of Origin	\$0.00
SUBTOTAL		\$49,705.00
Destination Charge		\$2,795.00
TOTAL		\$52,500.00

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Price Level: 640 | Quote ID: 2026-HWPW1

Pricing Summary - Single Vehicle

	MSRP
<i>Vehicle Pricing</i>	
Base Vehicle Price	\$43,935.00
Options	\$5,770.00
Colors	\$0.00
Upfitting	\$0.00
Fleet Discount	\$0.00
Fuel Charge	\$0.00
Destination Charge	\$2,795.00
Subtotal	\$52,500.00
 <i>Discount Adjustments</i>	
Discount Adjustments	-\$7,311.00
Total	\$45,189.00

 Customer Signature

 Acceptance Date

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BOARD AGENDA MEMORANDUM

DATE OF MEETING: May 26, 2026

To: Village President and Board of Trustees

Through: Napoleon Haney, Village Manager

From: Joshua Burman, Director of Public Works

Topic: Purchase Approval - 2026 International HV607 Snow Plow Truck Chassis

PURPOSE

Periodically, the Village of Homewood must replace critical equipment and vehicles that reach the end of its useful life. Each year, staff conducts a comprehensive evaluation of the Village's fleet and compiles a list of recommended replacements based on the American Public Works Association (APWA) Fleet Management guidelines. As part of the budget process, staff identified the need to replace snow plow truck #39, a 2006 International 7400 CDL truck. The vehicle has exceeded its service life and experienced extensive use, along with increasing maintenance needs.

Staff is requesting Village Board approval to purchase one (1) 2026 International HV607 chassis from Rush Truck Centers of Springfield, IL for a total purchase price of \$116,126. Staff also requests that the Village Board waive competitive bidding, since the purchases will be made through a joint governmental or cooperative purchasing program. Cooperative purchasing allows the Village to secure competitively solicited pricing while expediting procurement timelines. On a truck, the chassis is the foundational structure or main "skeleton." It consists of the metal frame along with the essential mechanical components required to make the vehicle move—such as the engine, cab (interior) transmission, axles, suspension, and wheels. Typically, "chassis" must be "upfitted" with the desired amenities (dump bed, hydraulic lift system, electronics, etc.).



PROCESS

The heavy-duty truck fleet operated by the Public Works Department is critical to maintaining year-round municipal operations and service delivery. These vehicles support a wide range of essential operations, including roadway and utility repairs, storm response, tree removal, flood



mitigation, traffic control, road maintenance, winter snow and ice operations, and the transport of materials and debris. Public Works staff rely on this fleet daily to efficiently and safely provide vital services that keep the community operating and residents protected.

As previously discussed with the Board, Public Works prefers purchasing heavy-duty truck chassis in pairs whenever feasible in order to maintain fleet consistency, simplify maintenance, and improve long-term equipment planning. Unfortunately, the manufacturer’s order bank for the current model year closed earlier than originally communicated to vendors, limiting availability.

Staff was able to secure one chassis that meets the Village’s required specifications; however, any additional chassis ordered at this time would be manufactured under the new 2027 EPA heavy-duty diesel emissions standards.

The 2027 EPA standards introduce substantially stricter diesel emissions requirements, including lower allowable nitrogen oxide (NOx) emissions, expanded emissions monitoring systems, and increased emissions-related warranty requirements. Historically, first-generation emissions systems have experienced operational and maintenance challenges during initial implementation as manufacturers work through software updates and system refinements.

Due to the Village’s reliance on these vehicles for critical daily operations and winter response, staff believes it is prudent to avoid becoming an early adopter of first-year 2027-compliant equipment until the technology has been further proven in real-world operations.

Vehicle	Model Year	Make (International)	Age
#35	2020	HV507	5 yrs.
#37	2020	HV507	5 yrs.
#33	2011	7400	14 yrs.
#36	2025	HV607	NEW
#38	2025	HV607	NEW
#39	2006	7400	19 yrs.

The 2026 International HV607 truck chassis was selected as the replacement for truck #39 to maintain consistency within the Village’s existing fleet. At the July 22, 2025 Board Meeting, the Board approved the purchase of two (2) International HV607 chassis. Truck #39 is proposed to be built to similar overall specifications to support operational consistency, maintenance efficiency, and parts compatibility across the fleet.



Public Works anticipates returning to the Board at a later date for approval of the truck equipment upfitting package, similar to the equipment on trucks #36 and #38. Proposed enhancements include increased pre-wetting salt capacity (240 gallons versus the current 150-gallon capacity) and provisions for future wing plow installation to further enhance winter operations and snow removal efficiency.

Upfitting approval is not being requested at this time. Staff needs additional time to evaluate the potential design changes and operational improvements identified during the buildout of trucks #36 and #38, which may be incorporated into this new truck.

Vehicle	Chassis Price	Equipment & Upfitting	Total Cost
#39	\$115,789	To be evaluated and brought to a future Board meeting	\$115,789
		License & Title Fee	\$337
			\$116,126

The Public Works Department anticipates delivery of the chassis from Rush Truck Center in November 2026.

OUTCOME

Replacing truck #39 will decrease maintenance cost, demonstrate a commitment to sustainability, and increase safety and operational excellence that Village residents expect.

FINANCIAL IMPACT

- **Funding Source:** General Capital
- **Budgeted Amount:** \$1,000,000 (Vehicle and Equipment Replacements)
- **Total Cost:** \$315,000, the anticipated total cost including upfitting
- **Cost of Chassis:** \$116,126

LEGAL REVIEW

Not Required

RECOMMENDED BOARD ACTION

Waive competitive bidding due to purchasing through a joint governmental or cooperative purchasing program; and, authorize the purchase of one (1) 2026 International HV607 chassis from Rush Truck Centers of Springfield, IL for a total purchase price of \$116,126.

ATTACHMENT(S)

- HPW Equipment Replacement Justification
- Rush Truck Center Chassis Proposal

HPW EQUIPMENT REPLACEMENT JUSTIFICATION

Is this a replacement vehicle?	Yes	No
	X	
Is this an additional vehicle?		X

Vehicle #	39-0639
Year	2006
Make	INTERNATIONAL
Model	7400
Hours/Mileage	45,039
Department	PW
Division	STREET DEPT

Current Issues or Near Future Concerns on current vehicle.

BED FLOOR ROTTED (CURRENT)	\$ 10,000.00
HYDRAULIC PIPES AND HOSE REPLACEMENT (CURRENT)	\$7,500.00
FUEL TANK REPLACEMENT (CURRENT)	\$1,500.00
UNDERBODY PLOW PINS AND BUSHINGS (CURRENT)	\$2,500.00
FRONT COVER RE-SEAL (CURRENT)	\$2,250.00
CYLINDER HEAD REPLACEMENT (COMMON ISSUE)	\$12,000.00
HYDRAULIC CABLE REPLACEMENT'S	\$2,500.00
CAMSHAFT LAMINATION ISSUES DUE TO AGE (COMMON ISSUE)	\$8,000.00
	\$46,250.00

Vehicle/Equipment with additional equipment necessary to purchase

	\$0.00

Total Replacement Cost \$ 116,126.00

Budgeted Amount \$ 315,000.00

Additional Notes:

THIS QUOTE IS FOR THE CHASSIS ONLY. THE DEADLINE FOR THE ORDER BANK HAS FORCED US TO SEND THE CHASSIS FOR BOARD APPROVAL SEPARATE FROM THE UP-FIT. TRUCK 39 CURRENTLY HAS 45,100 MILES AND HAS BEEN IN SERVICE FOR 20 YEARS. ALTHOUGH THIS TRUCK HAS BEEN MAINTAINED WELL, IT IS DANGEROUSLY CLOSE TO NEEDING EXTREMELY EXPENSIVE REPAIRS DUE TO AGE AND MILEAGE. THE BED FLOOR IS BEYOND REPAIR AT THIS POINT. A TEMPORARY REPAIR CAN BE MADE FOR AROUND \$10,000. CYLINDER HEAD CRACKING AND DE-LAMINATION OF THE CAMSHAFT IS A MAJOR CONCERN. THE SISTER TRUCK TO THIS VEHICLE HAD THE REPAIR DONE 2 YEARS AGO FOR \$25,000. THE MAIN HYDRAULIC PIPES AND HOSES ARE ORIGINAL AND ARE COMING TO THE END OF THEIR LIFE. A HYDRAULIC RE-HOSE OF THE ENTIRE TRUCK WILL BE NEEDED IN THE NEAR FUTURE. REAR-END HOUSING AND FRAME RAILS HAVE EXTENSIVE RUST FROM 20 YEARS OF PLOWING OPERATION. MANY CAB AND CHASSIS COMPONENTS ARE NO LONGER AVAILABLE DUE TO AGE, WHICH INCREASES THE COST OF PARTS IF THEY CAN BE LOCATED WHEN THEY ARE NEEDED. THE UNDERBODY PLOW HAS WORN OUT PINS AND BUSHINGS FROM THOUSANDS OF HOURS OF PLOWING OPERATIONS. THE YEARLY REPAIR COST ON THIS TRUCK HAS SIGNIFICANTLY INCREASED AS IT HAS AGED. INDUSTRY STANDARD RECOMMENDS REPLACEMENT OF THESE LARGE PLOW TRUCKS AT 12-14 YEARS FOR BEST FLEET PRACTICES. AFTER 20 YEARS OF SERVICE, HUNDREDS OF SNOW STORMS, ASPHALT HAULING DUTIES, AND VARIOUS OTHER TASK OVER THE YEARS. WE ARE RECOMMENDING REPLACEMENT TO KEEP OUR FLEET SAFE AND RELIABLE.

39 Chassis Purchase

Item 10. L.



HV607 SBA

Sales Proposal For:

Village of Homewood

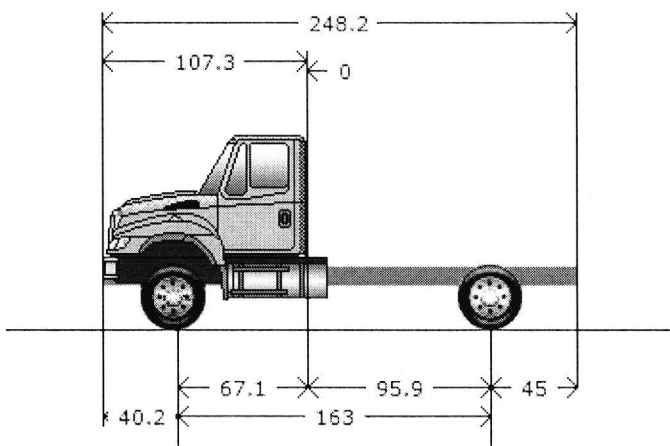
Presented By:

RUSH TRUCK CENTERS

Prepared For:
 Village of Homewood
 Joshua Burman
 17755 Ashland Ave.
 Homewood, IL 60430-1301
 (708)206 - 2914
 Reference ID: 4X2 HENDERSON

Presented By:
 RUSH TRUCK CENTERS
 Mike Lave
 3441 Gatlin Road
 Springfield IL 62707 -
 (217)718-2220

Thank you for the opportunity to provide you with the following quotation on a new International truck. I am sure the following detailed specification will meet your operational requirements, and I look forward to serving your business needs.



Model Profile
2026 HV607 SBA (HV607)

AXLE CONFIG: 4X2
APPLICATION: Front Plow and Wing with Spreader
MISSION: Requested GVWR: 33000. Calc. GVWR: 39000. Calc. GCWR: 80000
 Calc. Start / Grade Ability: 42.20% / 4.59% @ 55 MPH
 Calc. Geared Speed: 67.2 MPH
DIMENSION: Wheelbase: 163.00, CA: 95.90, Axle to Frame: 45.00
ENGINE, DIESEL: {Cummins L9 350} EPA 2024, 350HP @ 2200 RPM, 1050 lb-ft Torque @ 1200 RPM, 2200 RPM Governed Speed, 350 Peak HP (Max)
TRANSMISSION, AUTOMATIC: {Allison 3000 RDS} 6th Generation Controls, Close Ratio, 6-Speed with Double Overdrive, with PTO Provision, Less Retarder, Includes Oil Level Sensor, with 80,000-lb GVW and GCW Max, On/Off Highway
CLUTCH: Omit Item (Clutch & Control)
AXLE, FRONT NON-DRIVING: {Meritor MFS-16-143A} Wide Track, I-Beam Type, 16,000-lb Capacity
AXLE, REAR, SINGLE: {Meritor RS-23-186} Single Reduction, 23,000-lb Capacity, Driver Controlled Locking Differential, 200 Wheel Ends Gear Ratio: 6.14
CAB: Conventional, Day Cab
TIRE, FRONT: (2) 315/80R22.5 Load Range L HAU 3 WT (CONTINENTAL), 480 rev/mile, 68 MPH, All-Position
TIRE, REAR: (4) 11R22.5 Load Range H HDC 3 (CONTINENTAL), 492 rev/mile, 68 MPH, Drive
SUSPENSION, REAR, SINGLE: 31,000-lb Capacity, Vari-Rate Springs, with 4500-lb Capacity Auxiliary Rubber Springs
PAINT: Cab schematic 100WL
 Location 1: 4421, School Bus Yellow (Std)
 Chassis schematic N/A

Vehicle Specifications
2026 HV607 SBA (HV607)

Description	F/R Wt (lbs)	Tot Wt (lbs)
Base Chassis, Model HV607 SBA with 163.00 Wheelbase, 95.90 CA, and 45.00 Axle to Frame.	6136/3544	9680

AXLE CONFIGURATION

AXLE CONFIGURATION 4x2	0/0	0
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Notes

: Pricing may change if axle configuration is changed.

ENGINE

ENGINE, DIESEL {Cummins L9 350} EPA 2024, 350HP @ 2200 RPM, 1050 lb-ft Torque @ 1200 RPM, 2200 RPM Governed Speed, 350 Peak HP (Max)	554/10	564
EMISSION, CALENDAR YEAR {Cummins L9} EPA, OBD and GHG Certified for Calendar Year 2026	0/0	0
CARB EMISSION WARR COMPLIANCE Does Not Comply with CARB Emission Warranty	0/0	0
CARB IDLE COMPLIANCE Does Not Comply with California Clean Air Idle Regulations	0/0	0
EPA IDLE COMPLIANCE Low NOx Idle Engine, Complies with EPA Clean Air Regulations; Includes "Certified Clean Idle" Decal on Door	0/0	0
VEHICLE REGISTRATION IDENTITY ID for Non-CARB Omnibus and/or Non-ACT Adopting State or Exempt Vehicle. Not for use on vehicles registering in CA. Contains non-mitigated legacy engine & cannot be registered in CA unless exempt. You may be held liable under state law for failure to properly register vehicle.	0/0	0

Notes

: CANNOT BE REGISTERED IN CA. For vehicles that will be registered in States other than CA.

RADIATOR Aluminum, Cross Flow, Front to Back System, 1228 Sqn, with 1167 Sqn Charge Air Cooler, Includes In-Tank Oil Cooler	24/-6	18
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Includes

: DEAERATION SYSTEM with Surge Tank
 : HOSE CLAMPS, RADIATOR HOSES Gates Shrink Band Type; Thermoplastic Coolant Hose Clamps
 : RADIATOR HOSES Premium, Rubber

FAN DRIVE {Horton Drivemaster} Two-Speed Type, Direct Drive, with Residual Torque Device for Disengaged Fan Speed	0/0	0
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Includes

: FAN Nylon

AIR CLEANER Dual Element, with Integral Snow Valve and In-Cab Control	6/0	6
ANTI-FREEZE Red, Extended Life Coolant; To -40 Degrees F/ -40 Degrees C, Freeze Protection	0/0	0
ENGINE CONTROL, REMOTE MOUNTED No Provision for Remote Mounted Engine Control	0/0	0
THROTTLE, HAND CONTROL Engine Speed Control; Electronic, Stationary, Variable Speed; Mounted on Steering Wheel	0/0	0

TRANSMISSION

TRANSMISSION, AUTOMATIC {Allison 3000 RDS} 6th Generation Controls, Close Ratio, 6-Speed with Double Overdrive, with PTO Provision, Less Retarder, Includes Oil Level Sensor, with 80,000-lb GVW and GCW Max, On/Off Highway	213/70	283
TRANSMISSION TCM LOCATION Located Inside Cab	0/0	0
ALLISON SPARE INPUT/OUTPUT for Rugged Duty Series (RDS) and Regional Haul Series (RHS), General Purpose Trucks, Construction, Package Number 223	0/0	0

Vehicle Specifications
2026 HV607 SBA (HV607)

May 13, 2026

<u>Description</u>	<u>F/R Wt</u> (lbs)	<u>Tot Wt</u> (lbs)
NEUTRAL AT STOP Allison Transmission Shifts to Neutral When Service Brake is Depressed and Vehicle is at Stop; Remains in Neutral Until Service Brake is Released	0/0	0
PTO LOCATION Customer Intends to Install PTO at Left Side of Transmission	0/0	0
SHIFT CONTROL PARAMETERS {Allison} 3000 or 4000 Series Transmissions, S1 Performance in Primary and Fixed Programming in Secondary	0/0	0
TRANSMISSION COOLER HOSES Stainless Steel	0/0	0
TRANSMISSION DIPSTICK Relocated to Right Side of Transmission	1/0	1
TRANSMISSION OIL Synthetic; 29 thru 42 Pints	0/0	0
TRANSMISSION SHIFT CONTROL Column Mounted Stalk Shifter, Not for Use with Allison 1000 & 2000 Series Transmission	1/0	1

CLUTCH

CLUTCH Omit Item (Clutch & Control)	0/0	0
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REAR AXLES, SUSPENSIONS

AXLE, REAR, SINGLE {Meritor RS-23-186} Single Reduction, 23,000-lb Capacity, Driver Controlled Locking Differential, 200 Wheel Ends . Gear Ratio: 6.14	0/264	264
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Notes

: Axle Lead Time is 60 Days

SUSPENSION, REAR, SINGLE 31,000-lb Capacity, Vari-Rate Springs, with 4500-lb Capacity Auxiliary Rubber Springs	0/142	142
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FRONT AXLES

AXLE, FRONT NON-DRIVING {Meritor MFS-16-143A} Wide Track, I-Beam Type, 16,000-lb Capacity	148/0	148
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FRONT SUSPENSIONS

SUSPENSION, FRONT, SPRING Parabolic Taper Leaf, Shackle Type, 16,000-lb Capacity, with Shock Absorbers	44/0	44
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SPRINGS, FRONT AUXILIARY Air Bag, Right Side Only, Driver Control	15/0	15
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CABS, COWLS, BODIES

CAB Conventional, Day Cab	0/0	0
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ACCESS, CAB Aluminum, Self-Cleaning, Open and Serrated Design, Driver & Passenger Sides, Two Steps per Door, for use with Day Cab, Extended Cab or Sleeper Cab	-11/-3	-14
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AIR CONDITIONER with Integral Heater and Defroster	0/0	0
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ARM REST, RIGHT, DRIVER SEAT	3/0	3
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CAB INTERIOR TRIM Classic, for Day Cab	0/0	0
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Includes

: CONSOLE, OVERHEAD Molded Plastic with Dual Storage Pockets, Retainer Nets and CB Radio Pocket; Located Above Driver and Passenger

: DOME LIGHT, CAB Door Activated and Push On-Off at Light Lens, Timed Theater Dimming, Integral to Overhead Console, Center Mounted

: SUN VISOR (2) Padded Vinyl; 2 Moveable (Front-to-Side) Primary Visors, Driver Side with Toll Ticket Strap

Vehicle Specifications
2026 HV607 SBA (HV607)

May 13, 2026

<u>Description</u>	<u>F/R Wt</u> (lbs)	<u>Tot Wt</u> (lbs)
CAB, INTERIOR TRIM, CLOSEOUT Under IP, Driver Side	0/0	0
CAB REAR SUSPENSION Air Bag Type	0/0	0
COWL TRAY LID	7/4	11
GAUGE CLUSTER Premium Level; English with English Electronic Speedometer	0/0	0
<u>Includes</u>		
: GAUGE CLUSTER DISPLAY: Base Level (3" Monochromatic Display), Premium Level (5" LCD Color Display); Odometer, Voltmeter, Diagnostic Messages, Gear Indicator, Trip Odometer, Total Engine Hours, Trip Hours, MPG, Distance to Empty/Refill for		
: GAUGE CLUSTER Speedometer, Tachometer, Engine Coolant Temp, Fuel Gauge, DEF Gauge, Oil Pressure Gauge, Primary and Secondary Air Pressure		
: WARNING SYSTEM Low Fuel, Low DEF, Low Oil Pressure, High Engine Coolant Temp, Low Battery Voltage (Visual and Audible), Low Air Pressure (Primary and Secondary)		
GAUGE, AIR CLEANER RESTRICTION {Filter-Minder} Mounted in Instrument Panel	2/0	2
GAUGE, OIL TEMP, AUTO TRANS for Allison Transmission	1/0	1
GAUGE, TEMPERATURE, AMBIENT Sensor Wiring with Display Unit Mounted in Cluster	0/0	0
VIRTUAL GA, OIL TEMP,AUTO XMSN for Allison Transmission	0/0	0
GRAB HANDLE, EXTERIOR (2) Chrome, for Cab Entry, (1) Towel Bar Type, with Anti-Slip Rubber Inserts Mounted Left Side at B-Pillar, (1) Towel Bar Type Mounted Right Side on Vertical Exhaust	4/2	6
GRAB HANDLE, CAB INTERIOR (2) Safety Yellow	0/0	0
INSTRUMENT PANEL Flat Panel	0/0	0
IP CLUSTER DISPLAY On Board Diagnostics Display of Fault Codes in Gauge Cluster	0/0	0
MIRRORS (2) Aero Pedestal, Power Adjust, Heated, Bright Heads, Black Arms, 6.5" x 14" Flat Glass, Includes 6.5" x 6" Convex Mirrors, for 102" Load Width	0/0	0
<u>Notes</u>		
: Mirror Dimensions are Rounded to the Nearest 0.5"		
MIRROR, CONVEX, HOOD MOUNTED {Lang Mekra} (2) Right and Left Sides, Bright, Heated, 7.5" Sq.	9/0	9
MONITOR, TIRE PRESSURE Omit	-10/-1	-11
SEAT BELT All Orange; 1 to 3	0/0	0
SEAT, DRIVER {National 2000 195} Air Suspension, High Back with Integral Headrest, Vinyl, Isolator, 8" Adjuster, 1 Chamber Lumbar, 2 Position Front Cushion Adjust, 6-23 Degree Seat Back Angle Adjust, Dual Shocks	0/0	0
SEAT, PASSENGER {Seats, Inc.} Non Suspension, High Back, Fixed Back, Integral Headrest, Vinyl, for use with Batteries in Cab	31/13	44
WINDOW, POWER (2) and Power Door Locks, Left and Right Doors, Includes Express Down Feature	0/0	0
WINDSHIELD Heated, Single Piece	1/0	1
WINDSHIELD WASHER RESERVOIR Mounted Under Cab with Remote Fill Mounted Behind Cab Drivers Side	0/0	0
FRAMES		
FRAME RAILS Heat Treated Alloy Steel (120,000 PSI Yield); 10.866" x 3.622" x 0.437" (276.0mm x 92.0mm x 11.1mm); 456.0" (11582mm) Maximum OAL	154/193	347

INTERNATIONAL

Vehicle Specifications
2026 HV607 SBA (HV607)

May 13, 2026

<u>Description</u>	<u>F/R Wt</u> (lbs)	<u>Tot Wt</u> (lbs)
BUMPER, FRONT Swept Back, Steel, Heavy Duty	0/0	0
CROSSMEMBER, INTERMEDIATE (1) 5-Piece in lieu of Each Single Dogbone with 4x2 & 4x4 Chassis; Each Double Dogbone with 6x4, 6x6 & 8x6 Tridem Chassis	25/25	50
FRAME EXTENSION, FRONT Integral; 20" In Front of Grille	141/-36	105
WHEELBASE RANGE 138" (350cm) Through and Including 187" (475cm)	191/-191	0

BRAKES

BRAKE SYSTEM, AIR Dual System for Straight Truck Applications	0/0	0
<u>Includes</u>		
: BRAKE LINES Color and Size Coded Nylon		
: DRAIN VALVE Twist-Type		
: GAUGE, AIR PRESSURE (2) Air 1 and Air 2 Gauges; Located in Instrument Cluster		
: PARKING BRAKE CONTROL Yellow Knob, Located on Instrument Panel		
: PARKING BRAKE VALVE For Truck		
: QUICK RELEASE VALVE On Rear Axle for Spring Brake Release: 1 for 4x2, 2 for 6x4		
: SPRING BRAKE MODULATOR VALVE R-7 for 4x2, SR-7 with relay valve for 6x4/8x6		
AIR BRAKE ABS {Bendix AntiLock Brake System} 4-Channel (4 Sensor/4 Modulator) Full Vehicle Wheel Control System	0/0	0
BRAKE, PARKING Manual Push-Pull Pneumatic Parking Brake	1/0	1
BRAKES, FRONT {Meritor 16.5X6 Q-PLUS CAST} Air S-Cam Type, Cast Spider, Fabricated Shoe, Double Anchor Pin, Size 16.5" X 6", 23,000-lb Capacity	33/0	33
BRAKE CHAMBERS, FRONT AXLE {Bendix} 24 Sqli	4/0	4
SLACK ADJUSTERS, FRONT {Haldex} Automatic	14/0	14
DUST SHIELDS, FRONT BRAKE for Air Cam Brakes	10/0	10
BRAKES, REAR {Meritor 16.5X7 Q-PLUS CAST} Air S-Cam Type, Cast Spider, Fabricated Shoe, Double Anchor Pin, Size 16.5" X 7", 23,000-lb Capacity per Axle	0/52	52
BRAKE CHAMBERS, REAR AXLE {Bendix EverSure} 30/30 Sqli Spring Brake	0/7	7
SLACK ADJUSTERS, REAR {Haldex} Automatic	0/16	16
DUST SHIELDS, REAR BRAKE for Air Cam Brakes	0/10	10
SLACK ADJUSTER PINS Stainless Steel Slack Adjuster Pins/Cotter Pins on Front and Rear	0/0	0
AIR COMPRESSOR {Cummins} 18.7 CFM	0/0	0
AIR DRYER {Bendix AD-9} with Heater	16/12	28
AIR DRYER LOCATION Mounted Inside Left Rail, Back of Cab	13/8	21
AIR TANK Painted Aluminum, with Straight Thread O-Ring Ports	-12/-4	-16
AIR TANK LOCATION (2) Mounted Between the Rails, Back of Cab, One on Each Side	-30/43	13
DRAIN VALVE {Berg} with Pull Chain, for Air Tank	0/0	0

STEERING

STEERING GEAR {Sheppard M110} Power	44/-3	41
STEERING COLUMN Tilting and Telescoping	17/2	19

INTERNATIONAL

Vehicle Specifications
2026 HV607 SBA (HV607)

May 13, 2026

<u>Description</u>	<u>F/R Wt</u> (lbs)	<u>Tot Wt</u> (lbs)
STEERING WHEEL 4-Spoke; 18" Dia., Black	0/0	0

DRIVELINES

DRIVELINE SYSTEM {Dana Spicer} 1710, for 4x2/6x2	6/22	28
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EXHAUST SYSTEMS

EXHAUST SYSTEM Horizontal Aftertreatment System, Frame Mounted Right Side Under Cab, for Single Vertical Tail Pipe, Frame Mounted Right Side Back of Cab, for Improved Ground Clearance	126/39	165
AFTERTREATMENT COVER Aluminum	8/3	11
EXHAUST HEIGHT 8' 10"	13/11	24
MUFFLER/TAIL PIPE GUARD (1) Bright Stainless Steel	13/12	25
TAIL PIPE (1) Turnback Type, Bright	5/4	9

ELECTRICAL SYSTEMS

ELECTRICAL SYSTEM 12-Volt, Standard Equipment	0/0	0
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Includes

- : DATA LINK CONNECTOR For Vehicle Programming and Diagnostics In Cab
- : HAZARD SWITCH Push On/Push Off, Located on Instrument Panel to Right of Steering Wheel
- : HEADLIGHT DIMMER SWITCH Integral with Turn Signal Lever
- : PARKING LIGHT Integral with Front Turn Signal and Rear Tail Light
- : STARTER SWITCH Electric, Key Operated
- : STOP, TURN, TAIL & B/U LIGHTS Dual, Rear, Combination with Reflector
- : TURN SIGNAL SWITCH Self-Cancelling for Trucks, Manual Cancelling for Tractors, with Lane Change Feature
- : WINDSHIELD WIPER SWITCH 2-Speed with Wash and Intermittent Feature (5 Pre-Set Delays), Integral with Turn Signal Lever
- : WINDSHIELD WIPERS Single Motor, Electric, Cowl Mounted
- : WIRING, CHASSIS Color Coded and Continuously Numbered

ACCESSORY WIRING, SPECIAL for Body Builder Feeds & Road Speed Wire Coiled Behind Driver Seat for Customer Use, Includes 15 & 5 Amp Ignition, (2) 20 Amp Battery, (2) Ground and Road Speed	3/0	3
ALARM, PARKING BRAKE Electric Horn Sounds in Repetitive Manner When Vehicle Park Brake is "NOT" Set, with Ignition "OFF" and any Door Opened	0/0	0
ALTERNATOR {Leece-Neville AVI160P2013} Brush Type, 12 Volt, 160 Amp Capacity, Pad Mount, with Remote Sense	0/0	0
ANTENNA Shark Fin, Roof Mounted	1/0	1
AUXILIARY HARNESS 3.0' for Auxiliary Front Head Lights and Turn Signals for Front Plow Applications	2/0	2
BATTERY BOX Steel, 2-3 Battery Capacity, Mounted Inside the Cab, Under Passenger Seat, with High Ground Clearance Exhaust	-27/9	-18
BATTERY SYSTEM {Fleetrite AGM-GP31} Maintenance-Free, (3) AGM 12-Volt 2475CCA Total, Top Threaded Stud	47/59	106
BODY BUILDER WIRING INSIDE CAB; Includes Sealed Connectors for Tail/Amber, Turn/Marker/Backup/Accessory, Power/Ground, and Stop/Turn	1/0	1
2-WAY RADIO Wiring Effects; Wiring with 20 Amp Fuse Protection, Includes Ignition Wire with 5 Amp Fuse, Wire Ends Heat Shrink and Routed to Center of Header Console in Cab	1/0	1

Vehicle Specifications
2026 HV607 SBA (HV607)

<u>Description</u>	<u>F/R Wt</u> (lbs)	<u>Tot Wt</u> (lbs)
CIRCUIT BREAKERS Manual-Reset (Main Panel) SAE Type III with Trip Indicators, Replaces All Fuses	0/0	0
CIGAR LIGHTER Includes Ash Cup	1/0	1
CLEARANCE/MARKER LIGHTS (5) {Truck Lite} Amber LED Lights, Flush Mounted on Cab or Sunshade	0/0	0
CONNECTOR, DASH, CENTER PANEL Cab Wiring for TMC RP1226 Vehicle Accessory Connector; Includes 14-pin Connector with Switched Power, Battery Power, Ignition Power, Ground & Body 250K Datalink, Connector Located Behind Instrument Panel Center Console	0/0	0
HEADLIGHTS Halogen	0/0	0
HEADLIGHTS ON W/WIPERS Headlights Will Automatically Turn On if Windshield Wipers are Turned On	0/0	0
HORN, AIR Single Trumpet, Black, with Lanyard Pull Cord	3/0	3
HORN, ELECTRIC Disc Style	0/0	0
INDICATOR, LOW COOLANT LEVEL with Audible Alarm	0/0	0
POWER SOURCE, ADDITIONAL Auxiliary Power Outlet (APO) with USB-A Port and USB-C Port, Located in the Instrument Panel	0/0	0
RADIO AM/FM/WB/Clock/Bluetooth/USB Input/Auxiliary Input	3/0	3
RADIO, STEERING WHEEL CONTROLS Mounted in Steering Wheel, Radio Function Control Switch, Includes Volume Up/Down, Mute, Forward/Back and Bluetooth Answer/Disconnect	9/1	10
SPEAKERS (2) 6.5" Dual Cone Mounted in Both Doors, (2) 5.25" Dual Cone Mounted in Both B-Pillars	5/3	8
STARTING MOTOR {Delco Remy 39MT} 12 Volt, Gear Reduced, with Thermal Over-Crank Protection	12/0	12
SWITCH, AUXILIARY Accessory Control; for Wiring in Roof, with Maximum of 20 amp Load with Switches In Instrument Panel	1/0	1
TEST EXTERIOR LIGHTS Pre-Trip Inspection will Cycle all Exterior Lamps Except Back-up Lights	0/0	0
TRAILER CONNECTION SOCKET {Phillips} 7-Way, Mounted at Rear of Frame, Wired for Turn Signals Combined with Stop, Compatible with Trailers with Combined Stop, Tail, Turn Lamps	0/7	7
TURN SIGNALS, FRONT Includes LED Side Turn Lights Mounted on Fender	0/0	0
WINDSHIELD WIPER SPD CONTROL Force Wipers to Slowest Intermittent Speed When Park Brake Set and Wipers Left on for a Predetermined Time	0/0	0

FRONT END

FRONT END Tilting, Fiberglass, with Three Piece Construction, for WorkStar/HV	0/0	0
FENDER EXTENSIONS Rubber	6/0	6
GRILLE Stationary, Chrome	0/0	0
INSULATION, SPLASH PANELS for Sound Abatement	2/0	2
INSULATION, UNDER HOOD for Sound Abatement	10/0	10
LOGOS EXTERIOR Model Badges	0/0	0
LOGOS EXTERIOR, ENGINE Badges	0/0	0

SPEEDOMETER, TOOLS, MISC

CONNECTED PLATFORM Includes Connectivity Module and Five Year Data Plan	1/0	1
FIRE EXTINGUISHER BRACKET Mounted Left Side Driver Seat	1/0	1

Vehicle Specifications
2026 HV607 SBA (HV607)

May 13, 2026

<u>Description</u>	<u>F/R Wt</u> (lbs)	<u>Tot Wt</u> (lbs)
KEYS - ALL ALIKE, ADDITIONAL 2 Keys	0/0	0
KEYS - ALL ALIKE, ID I-1624 Compatible with Z-250	0/0	0
PAINT SCHEMATIC, PT-1 Single Color, Design 100	0/0	0
<u>Includes</u>		
: PAINT SCHEMATIC ID LETTERS "WL"		
PAINT TYPE Base Coat/Clear Coat, 1-2 Tone	0/0	0
PROMOTIONAL PACKAGE Government Silver Package	0/0	0
TRACKING for Henderson Body Company	0/0	0

FUEL TANKS

FUEL TANK Top Draw, Non-Polished Aluminum, D-Style, 16" Tank Depth, 50 US Gal (189L), Mounted Left Side, Under Cab	23/3	26
DEF TANK 7 US Gal (26L) Capacity, Frame Mounted Outside Left Rail, Under Cab	0/0	0
FUEL TANK STRAPS Bright Finish Stainless Steel	0/0	0
FUEL/WATER SEPARATOR {Racor 400 Series} 12 VDC Electric Heater, Includes Pre-Heater, with Primer Pump, Includes Water-in-Fuel Sensor, Mounted on Engine	0/-5	-5

WHEELS, TIRES - FRONT

WHEELS, FRONT {Accuride 29039} DISC; 22.5x9.00 Rims, Powder Coat Steel, 5-Hand Hole, 10-Stud, 285.75mm BC, Hub-Piloted, Flanged Nut, with Steel Hubs, Non-Standard Offset, with .5" Thick Disc	62/0	62
(2) TIRE, FRONT 315/80R22.5 Load Range L HAU 3 WT (CONTINENTAL), 480 rev/mile, 68 MPH, All-Position	62/0	62

WHEELS, TIRES - REAR

WHEELS, REAR {Accuride 29169} DUAL DISC; 22.5x8.25 Rims, Powder Coat Steel, 5-Hand Hole, 10-Stud, 285.75mm BC, Hub-Piloted, Flanged Nut, with .472" Thick Increased Capacity Disc and Steel Hubs	0/24	24
(4) TIRE, REAR 11R22.5 Load Range H HDC 3 (CONTINENTAL), 492 rev/mile, 68 MPH, Drive	0/56	56

WHEELS MISC OPTIONS

WHEEL GUARDS, REAR {Accuride} for Metric Hub Piloted Wheels with Flanged Mounting Nuts, Mounted Between Hub & Wheel and Between Dual Wheels	0/0	0
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BODY INTEGRATION

BDY INTG, REMOTE POWER MODULE Mounted Inside Cab Behind Driver Seat, Up to 6 Outputs & 6 Inputs, Max 20 amp per Channel, Max 80 amp Total; Includes 1 Switch Pack with Latched Switches	0/0	0
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Cab schematic 100WL

Location 1: 4421, School Bus Yellow (Std)

Chassis schematic N/A

Services Section:

WARRANTY

INTERNATIONAL

Vehicle Specifications
2026 HV607 SBA (HV607)

May 13, 2026

Description

WARRANTY Standard for HV507/HV509, HV50B, HV607/HV609 Models, Effective with Vehicles Built July 1, 2017 or Later, CTS-2025A

<u>F/R Wt</u>	<u>Tot Wt</u>
(lbs)	(lbs)
0/0	0

Total Component Weight:

8200/4421	12621
(lbs)	(lbs)
(lbs)	(lbs)

The weight calculations included in this proposal are an estimate of future vehicle weight. The actual weight as manufactured may be different from the estimated weight. Navistar, Inc. shall not be liable for any consequences resulting from any differences between the estimated weight of a vehicle and the actual weight.

Financial Summary
2026 HV607 SBA (HV607)

May 13, 2026

<u>Description</u>	<u>(US DOLLAR)</u>	<u>Price</u>
Factory List Prices:		
Product Items	\$165,377.00	
Service Items	\$0.00	
Total Factory List Price Including Options:		\$165,377.00
Stainless Steel L9 Oil Pan, Installed at TSC	\$2,150.00	
Total Preparation And Delivery:		\$2,150.00
Freight Charge	\$3,100.00	
Total Freight:		\$3,100.00
Total Factory List Price Including Freight:		\$170,627.00
Less Customer Allowance:		(\$54,838.00)
Total Vehicle Price:		\$115,789.00
Total Sale Price:		\$115,789.00
Total Per Vehicle Sales Price:		\$115,789.00
Total Net Sales Excluding Taxes:		\$115,789.00
IL Title	\$165.00	
IL Muni Plate	\$8.00	
Doc Fee	\$164.00	
Total License, Title, & Taxes:		\$337.00
Net Sales Price:		\$116,126.00

THIS PROPOSAL IS PRICED PER THE STATE OF ILLINOIS ADD ON PROGRAM FOR ANY ILLINOIS MUNICIPALTY USING CONTRACT # 24-416CMS-BOSS4-B-41660 THAT WAS AWARDED TO RUSH TRUCK CENTERS OF ILLINOIS FOR THE 2025-2027 PURCHASING YEAR. THIS ALLOWS LOCAL MUNICIPALITIES TO ORDER TRUCKS AND RECEIVE THE SAME STATE OF ILLINOIS DISCOUNT THAT WAS USED BY RUSH TRUCK CENTERS OF ILLINOIS TO WIN THE ILLINOIS CONTRACT ABOVE. SUBJECT TO ANY TARIFF OR TARIFF SURCHARGE APPLICABLE AT TIME OF VEHICLE INVOICING.

Approved by Seller:

Accepted by Purchaser:

Official Title and Date

Firm or Business Name

Authorized Signature

Authorized Signature and Date

This proposal is not binding upon the seller without Seller's Authorized Signature

Official Title and Date

If you haven't added a planned maintenance service contract to your proposal yet, please get in touch with your local dealer, International or IC Bus Sales Representative to learn more about the benefits when ordering together with the vehicle.

International® Financial offers loans, a full line up of lease options, and can establish a line of credit for use towards the purchase of International and IC Bus vehicles. Ask your dealer, International® or IC Bus® Sales Representative about completing an International Financial credit application and any promotional offers that may be available. International Financial services are provided by Navistar Financial Corporation.

INTERNATIONAL

Financial Summary
2026 HV607 SBA (HV607)

May 13, 2026

The TOPS FET Calculation is an estimate for reference purposes only. The seller is responsible for calculating and reporting/paying appropriate FET to the IRS.

The limited warranties applicable to the vehicles described here in are International Motors, LLC* standard printed warranties which are incorporated herein by reference and to which you have been provided a copy and hereby agree to their terms and conditions.

International Motors, LLC d/b/a International Motors USA LLC in Illinois and Ohio.



BOARD AGENDA MEMORANDUM

DATE OF MEETING: May 26, 2026

To: Village President and Board of Trustees

From: Napoleon Haney, Village Manager

Topic: Resolution governing the display of flags for Village-owned flagpoles

PURPOSE

In 2019, the Homewood Business Association sponsored the purchasing of Pride Flags that were then installed by Public Works staff throughout the downtown. The flag installation culminated with a “Pride Party Event” in Martin Square sponsored by the “Lighthouse LGBTQ,” a non-profit organization supporting LGBTQ+ teens and young adults. After being flown for roughly three or four weeks, the flags were removed and returned to the respective sponsoring businesses. In 2020 and partially into 2021, COVID suspended all events and activities.

Since 2020, staff has received requests to fly a variety of flags commemorating events and designated months of observation and celebration. In an effort to insulate the Village from potential litigation resulting from the creation of a public space for private speech, staff drafted a resolution establishing allowable flag displays for Village-owned flagpoles.

PROCESS

Homewood is known as a welcoming community that is committed to diversity, equity, and inclusion. While our neighborhoods and communities of association are reflective of “differences” in every sense of the word, Homewood also exists as a local government responsible for providing municipal services to roughly 19,463 people.

One of local government’s key roles is to create and foster a climate and community where diverse cultures, associations, ethnicities, and people from all walks of life are welcomed – where individuals, groups, and agencies are free to promote and express their religious, cultural, and sexual orientation without retaliation and fear. A municipality should not abandon its goal of neutrality and create a divide by marketing and promoting one ideology, belief, perspective, and/or culture over another. These actions run counter to the definition and establishment of diversity, equity, and inclusion.

While we recognize that there are a number of diverse groups, cultures, ethnicities, and heritages to celebrate as part of the American and even international experience, Homewood encourages our residents to engage their constitutional rights in celebrating those experiences.



Homewood Flagpoles

Municipalities maintain neutrality by intentionally restricting access to public property (flags, poles, etc.) to ensure that the property is only used for its designated official function, avoiding any space for private expressive activity.

OUTCOME

Per request, staff drafted a resolution that will only allow government flags to be erected on Village-owned flagpoles, thus insulating the Village from potential litigation resulting from the creation of a public space for private speech.

FINANCIAL IMPACT

- **Funding Source:** N/A
- **Budgeted Amount:** N/A

LEGAL REVIEW

Completed

RECOMMENDED BOARD ACTION

Pass a resolution establishing allowable flag display for Village-owned flagpoles.

ATTACHMENT(S)

Resolution

RESOLUTION NO. R-3262

A RESOLUTION ESTABLISHING FLAG DISPLAY FOR VILLAGE-OWNED FLAGPOLES

WHEREAS, the Village of Homewood (“Village”) owns, maintains, and exercises control over flagpoles at various Village-owned properties and facilities; and

WHEREAS, the Village Board desires to ensure that all flags displayed on Village-owned flagpoles reflect the common core collective of the residents and the exclusive governmental nature of such facilities; and

WHEREAS, the Village Board further desires to establish clear and consistent guidelines governing which flags may be displayed, the order and manner of their display, and the maintenance and care of such flags; and

WHEREAS, the Village Board finds that limiting flag displays to specific governmental and authorized flags promotes neutrality, avoids the appearance of endorsement and non-endorsement of private, personal, and political viewpoints, and ensures uniformity in Village operations;

WHEREAS, by limiting flag displays to specific authorized and governmental flags, Homewood definitively engages in, and establishes “government speech,” thereby removing the expectation and perception of a public forum for private speech.

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF HOMEWOOD, COUNTY OF COOK, STATE OF ILLINOIS, AS FOLLOWS:

SECTION 1. Incorporation of Recitals

The recitals above are hereby incorporated into and made a part of this Resolution as findings of the Village Board.

SECTION 2. Adoption of Flag Display Resolution

This resolution serves as the official policy governing all flag displays on Village-owned flagpoles.

SECTION 3. Authorized Flags

Only the following flags are authorized to be flown on Village-owned flagpoles:

1. The Flag of the United States of America
2. The Flag of the State of Illinois
3. The Official Flag of the Village of Homewood
4. The POW/MIA Flag
5. Official United States Military Service Flags for ceremonial purposes
6. Any other flag required by law or official governmental proclamation

No other flags shall be displayed unless approved by formal action of the Village Board.

SECTION 4. Administration

The Village Manager, or their designee, is hereby authorized and directed to implement this resolution, establish administrative procedures, maintain an inventory of flagpole locations, and ensure proper display and maintenance of flags.

SECTION 5. Temporary Displays

Temporary or ceremonial flag displays shall be permitted only as provided in this resolution and shall be limited in duration and consistent with authorized flags or as approved by the Village Board.

SECTION 6. Prohibition of Unauthorized Flags

No flags other than those authorized by this Resolution shall be displayed on Village-owned flagpoles. Unauthorized flags shall be removed by Village staff.

SECTION 7. Severability

If any part of this Resolution is held invalid, such decision shall not affect the validity of the remaining provisions.

SECTION 8. Effective Date

This Resolution shall be in full force and effect upon its passage and approval as provided by law.

This resolution was passed and approved this ___ day of _____, 2026.

Village President

ATTEST:

Village Clerk

AYES: _____ NAYS: _____ ABSTAIN: _____ ABSENCES: _____