

# MEETING AGENDA



## Appearance Commission

Village of Homewood

April 02, 2026

Meeting Start Time: 6:00 PM

Village Hall Board Room

2020 Chestnut Road, Homewood, IL

*Commission Meetings will be held as in-person meetings. In addition to in-person public comment during the meeting, members of the public may submit written comments by email to [pzc@homewoodil.gov](mailto:pzc@homewoodil.gov) or by placing written comments in the drop box outside Village Hall. Comments submitted before 4:00 p.m. on the meeting date will be distributed to all Commission members prior to the meeting.*

*Please see last page of agenda for virtual meeting information.*

1. Call to Order

2. Roll Call

3. Minutes:

Approve minutes from the March 5, 2026 meeting of the Appearance Commission.

4. Public Comments

5. Regular Business:

A. **Public Meeting** for Case 26-10: Comprehensive Sign Plan for Dobbs Tire and Auto Center at 18340 Kedzie Avenue

B. **Public Meeting** for Case 26-24: Appearance Review for Electronic Changing Message (ECM) Sign at 3043 W 183rd Street

C. **Public Meeting** for Case 26-22: Appearance Review for Live Free 999 Foundation at 18219 Dixie Highway

D. **Public Meeting** for Case 26-20: Appearance Review for Signature Smiles Dentistry at 18114 Gottschalk Avenue

6. Old Business:

7. New Business:

8. Adjourn

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The public is invited to the meeting using the link below to join Webinar:  
<https://us06web.zoom.us/j/84411188079?pwd=RzFRZzZmeC9RU25CN0ZhYzA0S0V6UT09>

To listen to the Meeting via phone: Dial: 1-312-626-6799  
Webinar ID: 844 1118 8079 Passcode: 170845

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# VILLAGE OF HOMEWOOD



## MEETING MINUTES

DATE OF MEETING: **March 5, 2026**

**Appearance Commission**  
6:00 pm

Village Hall Board Room  
2020 Chestnut Street  
Homewood, IL 60430

### CALL TO ORDER:

Chair Hrymak called the meeting to order at 6:01 pm.

### ROLL CALL:

Members Banks, Scheffke, Gonser, Kluck and Chair Hrymak were present.

In attendance from Village staff were Angela Mesaros, Director of Economic and Community Development and Noah Schumerth Assistant Director of Economic and Community Development; and Charise Campbell, Administrative Secretary. There were no members of the public in attendance, there was 1 member of the public attending virtually.

AYES: 5 (Members Banks, Scheffke, Gonser, Kluck, and Chair Hrymak)

NAYS: 0

ABSTENTIONS: 0

ABSENT: 2 (Member Preston, Member Quirke)

### APPROVAL OF MEETING MINUTES:

Chair Hrymak asked for corrections from the February 5, 2026 meeting minutes.

Member Kluck stated that the paragraph underneath where it states Assistant Director Schumerth on page 2 fourth line down states “wall signs, but the will not exceed the square footage” should read as “wall signs, but they will not exceed the square footage”

Motion to approve the minutes as amended by Member Banks; seconded by Member Kluck.

AYES: 5 (Members Banks, Scheffke, Gonser, Kluck, and Chair Hrymak)

NAYS: 0

ABSTENTIONS: 0

ABSENT: 2 (Member Preston, Member Quirke)

### PUBLIC COMMENTS:

There were no public comments.

**REGULAR BUSINESS:****CASE 26-05- SIGN VARIANCE, DYNAMITE SHRIMP AT 18719 DIXIE HIGHWAY:**

Assistant Director Noah Schumerth introduced the case.

The applicant is proposing a revised sign plan which requires a sign variance.

The proposed revised signage is '40 s.f. with a sign height of 5'5" which is 23 s.f. less than the original proposal of 63 s.f. with a height of 6' 10"'.

The rest of the design will remain the same as far as the aluminum channel letter sign and colored translucent acrylic sign faces.

Staff recommends approval for the sign variance provided that the applicants should revise drawings to reflect the reduced total wall sign area to 40 square feet.

Chairman Hrymak stated that the commission members might have some questions.

Member Kluck stated that the revised sign size looks good and it is not overwhelming and the name of the business is aligned with all the other businesses.

Member Gonser agreed with Member Kluck responses.

Member Scheffke asked is the logo illuminated.

- Assistant Director Schumerth answered yes the sign is illuminated based upon the plans

Member Scheffke asked is all of the wording on the sign going to be vinyl?

- The applicant stated yes it should all be vinyl

Member Scheffke then asked is the logo going to be all vinyl also.

- Assistant Director Schumerth stated that presumably yes based upon the plans. The entire sign will have LED illumination.

Member Banks agrees with the reduction in size was important to make the sign look better so that the placement of the name of the business aligns with all the other businesses names.

Chairman Hrymak states that he does see the need for a variance because the business is sitting in an odd location. Also, agrees with the reduction in size.

Chairman Hrymak asked why is the pole at the end of the parking lot not being utilized to advertise because it would give more visibility on both sides in the parking lot.

- The applicant states that it should be on the sign contract with the contractor. He states he not sure if it was not mentioned by the sign contractor.
- Assistant Director Schumerth stated that it was a staff omission and that it should have been noted that the business would have 1 permitted space on the monument sign. This information would be included in the sign permit drawings but we have not received an application at this time from the contractor.

Chairman Hrymak asked is that going to add to the square footage of the signage.

- Assistant Director Schumerth stated No it will be treated as two separate signs.

Chairman Hrymak stated that the windows seemed to be covered with a great amount of decals/paint. Are you planning to leave that there after your signage is up?

- The applicant said No the signage in the window is temporary and should be there until they open for business.

Chairman Hrymak stated that he does see the need for the reduction in size for the sign and thinks that the 40 square feet is still quite a bit big. But understands the need based upon the location of the business.

Chairman Hrymak asked Assistant Director Schumerth was Pooch Parlor granted a variance.

- Assistant Director Schumerth stated No it was a part of the old ordinance.

Chairman Hrymak asked if any of the other businesses request variances.

- Assistant Director Schumerth stated No not that he is aware of

Chairman Hrymak asked if there were any additional comments from the other commission members before closing the case.

Chairman Hrymak motioned to approve the sign variance for case 26-05 sign variance for Dynamite Shrimp located at 18719 Dixie Highway.

A motion to approve was made by Member Kluck, seconded by Member Banks.

AYES: 4 (Members Banks, Gonser, Kluck, and Chair Hrymak)

NAYS: 1 (Member Scheffke)

ABSTENTIONS: 0

ABSENT: 2 (Member Preston, Member Quirke)

### **OLD BUSINESS:**

Chair Hrymak asked if there was any old business.

Member Banks stated that the website still has a vacancy with Commission Member Gonser position.

Member Kluck asked if Dynamite Shrimp is dine in or carryout

- The applicant stated that it will be carryout

### **NEW BUSINESS:**

Member Scheffke asked questions about the new development project that's expected to be in the Village Hall parking lot.

### **ADJOURN:**

A motion was made to adjourn the meeting by Member Banks; seconded by Member Gonser.

AYES: 5 (Members Banks, Scheffke, Gonser, Kluck and Chair Hrymak)

NAYS: 0

ABSTENTIONS: 0

ABSENT: 2 (Member Preston, Member Quirke)

The meeting adjourned at 6:35 pm.

Respectfully submitted,

*Charise Campbell*

**Charise Campbell**

Administrative Secretary

# VILLAGE OF HOMEWOOD



## MEMORANDUM

DATE OF MEETING: APRIL 2, 2026

**To:** Appearance Commission

**From:** Noah Schumerth, Assistant Director of Economic and Community Development

**Through:** Angela Mesaros, Director of Economic and Community Development

**Topic:** Case 26-10: Comprehensive Sign Plan, Dobbs Tire at 18340 Kedzie Avenue

### DOCUMENTS FOR REVIEW

Title	Pages	Prepared by	Date
Application	1	Matthew Lambert, Applicant	02/13/2026
Sign Plan	4	Dualite Signs, Sign Contractor	02/18/2026
Staff Exhibits	3	Noah Schumerth, A.D. ECD	03/25/2026

### BACKGROUND

The applicant has proposed the construction of new signage on an existing building at 18340 Kedzie Avenue. This signage will be installed for a new business at the location, Dobbs Tire and Auto Center. CarX Tire and Auto, which closed in 2024, formerly occupied the building.

The applicant has proposed a comprehensive sign plan to coordinate signage on the building and allow for the addition of a second large wall sign on the building, which would otherwise not be permitted on the building.

### DISCUSSION

The applicant has proposed three signs on the property within a new comprehensive sign plan:

- One (1) pylon sign – replacing copy in existing sign structure
- Two (2) wall signs – constructing two new wall signs
- Assorted window signs

**Pylon Sign:** The original pylon sign structure was constructed for the previous CarX use. The applicant has proposed replacement sign faces constructed as “flex faces,” or a vinyl sign which is secured in place using retainers and a tension system. Two sign faces will be installed, with one sign face on each side of the sign structure (facing north-south perpendicular to Kedzie Avenue). The sign faces will be partially translucent and allow light from the existing fluorescent lighting system to illuminate the sign faces.

This property is zoned in the B-3 General Business. Properties in this zoning district are permitted to have a pylon sign of up to 20’ in height. The pylon sign is permitted under current pylon sign regulations in Section 44-10-06.B.11 of the Village Zoning Ordinance.

**Wall Signs:** The original CarX facility at this location had one large wall sign. This sign was removed upon the closure of CarX in 2024. The applicant has proposed two large wall signs on the front façade of the building facing Kedzie Avenue, in addition to repainting the wall face behind both signs. These two signs are proposed as follows:

- **Channel Letter Sign (“Dobbs”):** 44 square feet (12.5’ x 2.5’) with 5” deep aluminum cabinet letters and vinyl/acrylic letter faces, internal illumination
- **High-Density Urethane (HDU) Letter Sign (“Complete Auto Service”):** 44 square feet (29.5’ x 1.5’) with 1.5” deep solid urethane letters, no illumination.

Only one wall sign is permitted per tenant for buildings within the B-3 General Business zoning district. If both signs were proposed as a single sign, the sign would fit within the size allowance for the front façade of this building (127 square feet allowed). A comprehensive sign plan modification is required to allow the second wall sign at this location.

The comprehensive sign plan would allow only one (1) illuminated wall sign, with the additional wall sign required to remain unilluminated. The plan would limit the size of each wall sign on the building to 44 square feet. The plan limits the total number of wall signs to two (2) signs.

**Window Signs:** The applicant is planning to provide window signs at a later date. The window signs will be required to follow standards in the Village Zoning Ordinance, which will limit window signage to 25% of the window area on the front façade of the building, and 25% of any individual window area.

## STANDARDS FOR REVIEW

### Comprehensive Sign Plan Standards

When reviewing any comprehensive sign plan for approval on a property, the Appearance Commission should consider the following standards per Section 44-10-08 of the Village Code of Ordinances (not one is binding):

*(1) Signage for each tenant has (or is planned to have) a clear relationship with the design of surrounding properties, including signage affixed to adjacent buildings and the architectural character of the buildings to which they are affixed.*

*(2) All sign structures are (or are planned to be) placed in locations where they are clear, legible, and provide a clear relationship to the tenant(s) to which the signs are related.*

*(3) The dimensions of each sign shall be designed to be appropriate for visibility, legibility, and achieving the purpose of the proposed sign.*

*(4) All signage (including all signage proposed or planned) shall be consistent with the architectural design of the project.*

*(5) The colors and materials of the sign, sign base and other sign-related fixtures (including all signage proposed or planned) shall be consistent and compatible with the architecture of the structure.*

(6) *All signage (including all signage proposed or planned) meets the requirements of the village zoning ordinance and all other applicable local codes and ordinances.*

(7) *All signage is proposed to be in conformance with the guidelines of the village appearance plan.*

**The applicant has proposed modifications to the sign allowances for the property through the Comprehensive Sign Plan review, as permitted in Section 44-10-08 of the Zoning Ordinance. All modifications must advance one or more of the following additional standards in order to be considered for approval:**

- (1) *Improves or protects economic performance and business viability.* The additional wall signs on the building is designed to increase visibility of the business and draw attention to the service garages on the site to demonstrate that the business will offer a variety of vehicle repair and maintenance services.
- (2) *Allows for creative design and placemaking.* The proposed sign is designed to remove a large blank wall space from the building and accompany plans to renovate the exterior of the building by painting the wall faces behind both wall signs.
- (3) *Enhances sustainability and environmental performance.* N/A.
- (4) *Advances historical preservation or improves visibility of historical assets.* N/A.
- (5) *Allows for higher quality of building materials.* N/A.

#### Appearance Review

When reviewing sign improvements through the Appearance Review process, the Appearance Commission should consider the following standards of the Appearance Plan:

#### *F. Signs*

1. *Wall, ground, and identification signs shall be part of the architectural concept. Size color, lettering, locations and arrangement shall be harmonious with the building design, and shall be compatible with signs on adjoining buildings.*
2. *Materials used in signs shall be of sound architectural character, be durable, and be harmonious with building design and surrounding landscape. Materials that tend to become illegible shall be avoided.*
3. *Every sign shall be scaled and designed so as to conform with relationship to buildings and surrounds.*
4. *Colors shall be used harmoniously and with restraint. Lighting shall be harmonious with the design. If external spot or floor lighting is used, it shall be arranged so that light source is shielded from view.*

5. *The provisions of the Homewood Municipal Code as it regulates signs, shall be part of the criteria of this sub-section.*

*J. Factors in Evaluation*

*“In addition to the Appearance Plan, the following factors relating to buildings, signs, structures or developments which affect appearance will be included in the Appearance Commission’s evaluation of a project’s design submission.*

1. *Conformance to all ordinance of the Village of Homewood*
2. *Use of exterior space*
3. *Architectural concept and aesthetic value*
4. *Material selection and quality*
5. *Compatibility with adjoining buildings, misc. structures and space*
6. *Circulation for vehicles and pedestrians, and parking”*

**STAFF COMMENTS**

Staff has reviewed the building permit application for the pylon sign copy replacement and the illuminated channel letter wall sign on the southern half of the building. Staff approved both of these signs on February 17, 2026. The additional non-illuminated urethane letter wall sign will require approval of this comprehensive sign plan before it can be approved through the sign permitting process. If this comprehensive sign plan application is not approved, the applicant will only be permitted to install the two signs previously approved, or will need to submit plans for alternative signs which will need to be reviewed by staff.

**RECOMMENDED APPEARANCE COMMISSION ACTION**

The Appearance Commission may wish to consider the following motion:

**Approve** Case 26-10, Appearance Review and Comprehensive Sign Plan for Dobbs Tire and Auto Center at 18340 Kedzie Avenue, as proposed on the drawings submitted by Dualite Signs.

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This approval will permit the following modifications to sign requirements in the Village Zoning Ordinance for this property, as permitted and regulated by Section 44-10-08:

- One (1) additional non-illuminated wall sign (one permitted by the Village Zoning Ordinance)

This approval also places the following additional standards on signage for this building – changes to sign plans, which do not meet these standards below, will require approval by the Appearance Commission:

Pylon Sign:

- Only one (1) pylon sign permitted
- Shall only use the existing pylon sign structure

Wall Signs:

- No more than 44 sq. ft. for any individual wall sign
- No more than one (1) illuminated wall sign



APPLICATION:  
**APPEARANCE REVIEW**  
2020 Chestnut Road, Homewood, IL 60430

**PROPERTY INFORMATION**

Street Address: 18340 Kedzie Ave. Homewood, IL 60430  
Property Index Number(s): 31-02-201-024-0000

**Zoning District:**

- R-1     R-2     R-3     R-4
- B-1     B-2     B-3     B-4
- M-1     M-2     PL-1     PL-2

**Application Request**

Select all applicable boxes for Appearance Commission requests below.

- New Construction, including:
  - » Building Elevations
  - » Landscape Plan
  - » Lighting, Photometric Plan
  - » Signage
- Existing Development
  - Exterior Alterations
  - Landscape Plan
  - Lighting, Photometric Plan
  - Signage
- Sign Variance

**Proposed Development or Alterations:**

**APPLICANT**

Name: Matthew Lambert  
 Company: Lambert Sign Solutions Inc.  
 Address: 1038 Deer Trail  
Bourbonnais, IL 60914  
 Phone: (815) 791-4727  
 Email: mattrenlambert@gmail.com  
 Role: Project Manager

**PROPERTY OWNER**

Name: Casey Raffetto  
 Company: Store Capital  
 Address: 8377 E. Hartford Dr, Ste 100,  
Scottsdale, AZ 85255  
 Phone: 1-678-557-9393  
 Email: craffetto@storecapital.com

Check box if the applicant is the property owner

I acknowledge and attest that:

- » All the information and exhibits submitted with this application are true and accurate to the best of my knowledge;
- » Village representatives are permitted to make reasonable inspections of the subject property necessary to process this application;
- » I agree to pay all required fees;
- » No work may be done without first obtaining a Building Permit. All work shall be completed in accordance with Village Codes and Ordinances.

Matthew Lambert  
Applicant Name

[Signature]  
Applicant Signature

2/13/26  
Date

**Staff Notes**

*Do not write below this line.*

CASE NO: _____	Fee: _____ <input type="checkbox"/> Paid	Date Received: _____
Request: _____	Action: _____	Comments/Conditions: _____
		Date: _____
This application has zoning approvals and may proceed to obtain Building Permits or a Certificate of Occupancy.		
Name: _____	Signature: _____	Date: _____



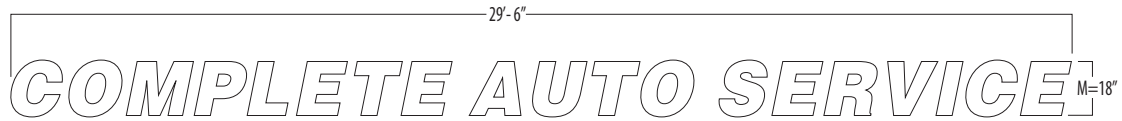
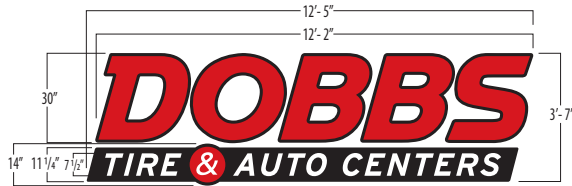
#1467 Homewood, IL

1467 Homewood, IL



FILE#25-12-52-F-DOBBS-S1		JY	Customer Approval
Scale: 3/16" = 1'-0"	Date: 2-18-2026		Note: Dimensions are Approximate and Subject to Change Pending Review by Dualite Engineering.
One Dualite Lane Williamsburg, Ohio 45176		WWW.DUALITE.COM / @DUALITEINC @DUALITETWEETS 	
This design is exclusive property of Dualite Sales & Service, Inc. • 1 Dualite Lane • Williamsburg, OH 45176 Copyright 2026 Dualite Sales & Service, Inc. All Rights Reserved. Reproduction of this proprietary work without the permission of Dualite Sales & Service, Inc. will subject the user to liability under the copyright statutes of the United States.			

1467 Homewood, IL



**30" - DOB-44 LED Illuminated Channel Letter Set - 44 sq. ft.**

**DOBBS Letters:**

Red Faces Decorated with Black Outline  
LED Illumination  
Black Trim-Cap & Returns - 5" deep  
Flush Mount

**Tag Line:**

White Acrylic Decorated with Black & Red Vinyl 1st Surface  
LED Illumination  
Black Trim-Cap & Returns - 5" deep  
Flush Mount

Colors: PMS 186 Red - 2283 Acrylic • Black • White

Side View



**18" - CAS-44 Non-illuminated HDU Letters - 44 sq. ft.**

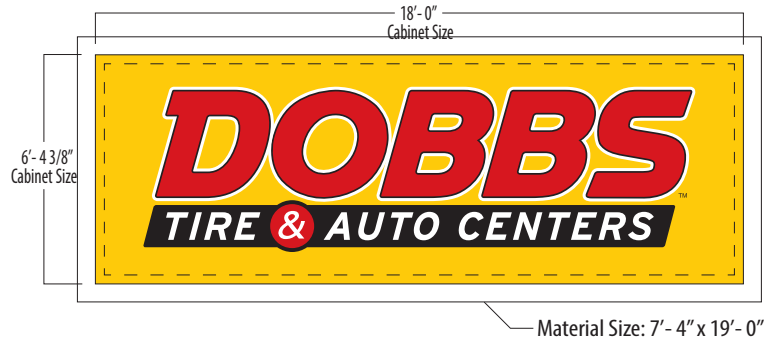
1" White Painted HDU Pin Mount Letters  
Flush Mount  
Font: Helvetica Black Italic

Side View



FILE#25-12-52-F-DOBBS-A1	JY	Customer Approval
Scale: 3/16" = 1'-0"	Date: 2-18-2026	Note: Dimensions are Approximate and Subject to Change Pending Review by Dualite Engineering.
One Dualite Lane Williamsburg, Ohio 45176		WWW.DUALITE.COM / @DUALITEINC @DUALITETWEETS 
This design is exclusive property of Dualite Sales & Service, Inc. • 1 Dualite Lane • Williamsburg, OH 45176 Copyright 2026 Dualite Sales & Service, Inc. All Rights Reserved. Reproduction of this proprietary work without the permission of Dualite Sales & Service, Inc. will subject the user to liability under the copyright statutes of the United States		

1467 Homewood, IL



**2 qty., 6'- 4 3/8" x 18'- 0" Flex Replacement Faces**

Cabinet: 6'- 4 3/8" x 18'- 0"  
Retainers: 3 inch-Dashed Line  
V.O.: 5'- 10 3/8" x 17'- 6"  
Material Size: 7'- 4" x 19'- 0"

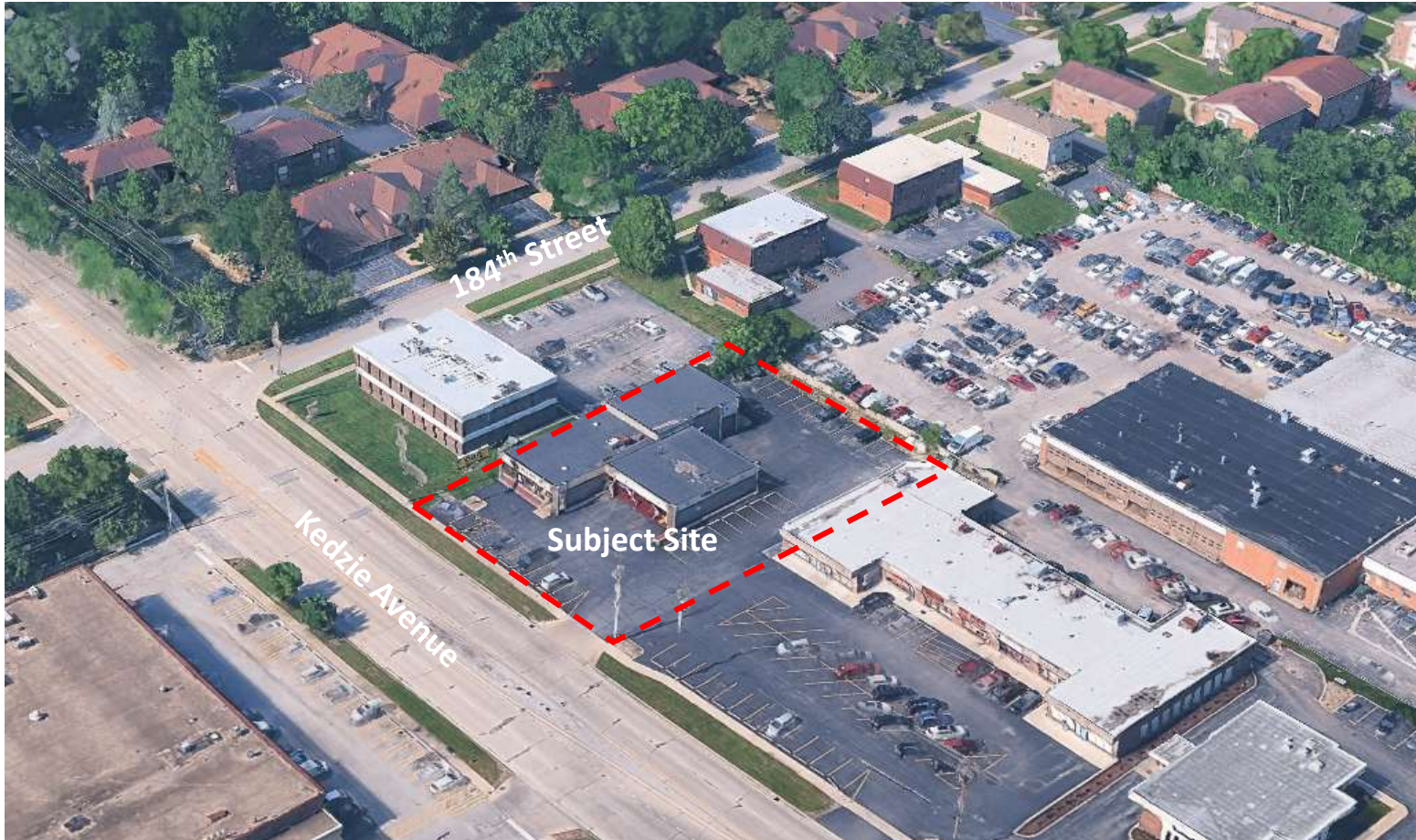
Flex Face Material Decorated 1st Surface in 3 colors  
White Flex Material  
Existing Retainers, Cabinet & Pole Painted Black

Colors: PMS 186 Red • PMS 7548 Yellow • Black • White

**Existing Retainers, Cabinet & Pole Painted Black**



FILE#25-12-52-F-DOBBS-B1	JY	Customer Approval
Scale: 3/16" = 1'-0"	Date: 2-18-2026	Note: Dimensions are Approximate and Subject to Change Pending Review by Dualite Engineering.
One Dualite Lane Williamsburg, Ohio 45176		WWW.DUALITE.COM / @DUALITEINC @DUALITETWEETS This design is exclusive property of Dualite Sales & Service, Inc. • 1 Dualite Lane • Williamsburg, OH 45176 Copyright 2026 Dualite Sales & Service, Inc. All Rights Reserved. Reproduction of this proprietary work without the permission of Dualite Sales & Service, Inc. will subject the user to liability under the copyright statutes of the United States







# VILLAGE OF HOMEWOOD



**MEMORANDUM**

**DATE OF MEETING:** April 2, 2026

**To:** Appearance Commission

**From:** Noah Schumerth, Assistant Director of Economic and Community Development

**Through:** Angela Mesaros, Director of Economic and Community Development

**Topic:** Case 26-24: Appearance Review for ECM Sign at 3043 W 183<sup>rd</sup> Street

## DOCUMENTS FOR REVIEW

Title	Pages	Prepared by	Date
Application	1	Jason Sanders, FBS Signs, Applicant	03/26/2026
Sign Plans/Specifications	2	FBS Signs, Sign Contractor	03/26/2026
Staff Exhibits	2	Noah Schumerth, A.D. ECD	03/27/2026

## BACKGROUND

The applicant, FBS Signs, has proposed the installation of an electronic changing message (ECM) sign at 3043 W 183<sup>rd</sup> Street. The sign is proposed to be mounted to an existing pylon sign structure, replacing an existing ECM sign mounted in the same location. The sign will be used for advertising for Bevda’s Wine and Spirits, a business under construction at 3043 W 183<sup>rd</sup> Street.

## DISCUSSION

The applicant has proposed the construction of a 32 square-foot electronic changing message board sign. The sign would be comprised of double-sided LED panels. The dimensions of the sign panel will be 8 feet in length, 4 feet in width, and approximately 7 inches in depth. The sign will be powered through the existing electrical connection in the pylon sign, which is currently connected to a defunct ECM sign installed on the pylon sign.

This property is located in the B-3 General Business zone. This property is permitted to have one (1) electronic sign, provided this sign is approved by the Appearance Commission and meets the standards for ECM signs in the Village Zoning Ordinance. No other ECM board signs will be permitted to be constructed on this property without the removal of this sign or the approval of a comprehensive sign plan (CSP) allowing for more than one sign to be installed.

The maximum allowed size of an ECM sign in the B-3 zoning district is 50% of the maximum permitted size for a pylon sign at this location. The maximum allowed size for an electronic sign at this location is approximately 110 square feet. **The sign is within the allowable sign size requirements for the zoning district in which the property is located.**

The sign will be required to meet the following conditions of operation:

- **Static Display:** All images displayed on an ECM sign board shall be static (no changes in intensity or brightness, no flashing or blinking images, etc.)
- **Image Duration:** The display duration for any single image shall be no less than eight seconds.
- **Hours of Operation:** The sign may only be illuminated between 6:00am and 11:00pm.
- **Off-Premises Advertising:** No off-premises advertising may occur using this sign.
- **Adjustment for Brightness and Color:** The sign shall have functionality to adjust brightness and color to ensure appropriate operation depending on time of day.
- **Impact on Residential Property:** The sign shall not have any lighting impact on any property boundary adjacent to residential (north property boundary on the subject property).
- **Sign Malfunctions:** In the event of a sign malfunction, the ECM signboard shall be turned to dark screens with no illuminated elements of the sign face until the malfunction is corrected.

These requirements have been incorporated into the conditions of approval for the sign.

## REVIEW STANDARDS

The Appearance Commission may wish to consider the following standards from the Appearance Plan when reviewing the proposed ECM sign:

### F. Signs

- 1. Wall, ground, and identification signs shall be part of the architectural concept. Size color, lettering, locations, and arrangement shall be harmonious with the building design, and shall be compatible with signs on adjoining buildings.*
- 2. Materials used in signs shall be of sound architectural character, be durable, and be harmonious with building design and surrounding landscape. Materials that tend to become illegible shall be avoided.*
- 3. Every sign shall be scaled and designed so as to conform with relationship to buildings and surrounds.*
- 4. Colors shall be used harmoniously and with restraint. Lighting shall be harmonious with the design. If external spot or floor lighting is used, it shall be arranged so that light source is shielded from view.*
- 5. The provisions of the Homewood Municipal Code as it regulates signs, shall be part of the criteria of this subsection.*

## STAFF COMMENTS

In addition to this ECM sign, the applicant has proposed the replacement of sign copy in the pylon sign to which this ECM sign is to be affixed. The applicant has also proposed a new wall sign. Both of these signs meet the minimum requirements of the Village and do not require additional Appearance Review.

**RECOMMENDED APPEARANCE COMMISSION ACTION**

The Appearance Commission may wish to consider the following motion:

**Approve** Case 26-24: Appearance Review for ECM Sign at 3043 W 183<sup>rd</sup> Street, subject to the following conditions:

1. Revise drawings to provide black cladding or paint on pylon sign structure to repair sign appearance and ensure visual cohesion with existing pylon sign on the property.
2. Sign shall meet the operating requirements of the Village Zoning Ordinance for ECM signs, including:

- a) All images displayed on an ECM signboard shall be static. Sign images shall not include any change in intensity or brightness, nor divisions between two screens, flashing, or blinking images.
- b) The display duration for any single image shall be no less than eight seconds.
- c) Under no circumstances shall any ECM sign be permitted to include off-premise commercial advertising in any image displayed on the sign.
- d) Exterior signs located on any lot adjacent to residential uses may be illuminated only during business hours or between 6:00 a.m. and 11:00 p.m., whichever is later.
- e) The brightness of any ECM sign shall be limited to 0.3 foot-candles at any lot line abutting a nonresidential use, and 0.00 foot-candles at any lot line abutting a residential use.
- f) Any new ECM board constructed after the effective date of this section shall include functionality to adjust brightness and color with ambient light levels to ensure appropriate operation.
- g) In the event of a malfunction, ECM signboards shall be turned to dark screens with no illuminated elements of the sign face until the malfunction is corrected.

3. Paint bollards adjacent to the pylon sign to match the final color of the pylon sign frame (black as conditioned, or another color as approved by the Appearance Commission).



AP Item 5. B. J:

# APPEARANCE REVIEW

2020 Chestnut Road, Homewood, IL 60430

PROPERTY INFORMATION

Street Address: 3055 183rd street Homewood, IL 60430

Property Index Number(s): \_\_\_\_\_

**Zoning District:**

- R-1     R-2     R-3     R-4
- B-1     B-2     B-3     B-4
- M-1     M-2     PL-1     PL-2

**Application Request**

Select all applicable boxes for Appearance Commission requests below.

- New Construction, including:
  - » Building Elevations
  - » Landscape Plan
  - » Lighting, Photometric Plan
  - » Signage
- Existing Development
  - » Exterior Alterations
  - » Landscape Plan
  - » Lighting, Photometric Plan
  - » Signage
- Sign Variance

**Proposed Development or Alterations:**

changing out a broken led message board

APPLICANT

Name JASON SANDERS  
 Company FBS SIGNS  
 Address 650 WARRENVILLE ROAD LISLE, IL 60532  
 Phone 630-400-8992  
 Email FBSSIGNS@GMAIL.COM  
 Role SIGNAGE COMPANY

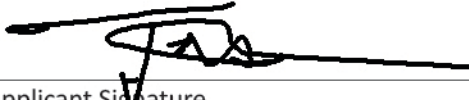
PROPERTY OWNER

Name SILKEN PATEL  
 Company BEVDAS  
 Address 3055 183RD STREET HOMEWOOD  
 Phone 847-867-6649  
 Email REACHSILKEN@gmail.com  
 Check box if the applicant is the property owner

I acknowledge and attest that:

- » All the information and exhibits submitted with this application are true and accurate to the best of my knowledge;
- » Village representatives are permitted to make reasonable inspections of the subject property necessary to process this application;
- » I agree to pay all required fees;
- » No work may be done without first obtaining a Building Permit. All work shall be completed in accordance with Village Codes and Ordinances.

JASON SANDERS  
 Applicant Name

  
 Applicant Signature

03/26/2026  
 Date

**Staff Notes**

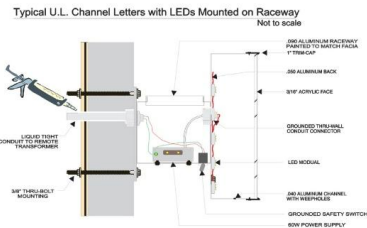
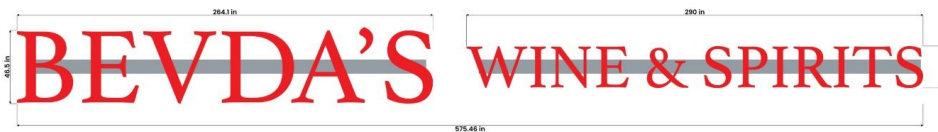
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CASE NO: _____	Fee: _____ <input type="checkbox"/> Paid	Date Received: _____
<b>Request:</b> _____	<b>Action:</b> _____	<b>Comments/Conditions:</b> _____
_____		<b>Date:</b> _____
<p>This application has zoning approvals and may proceed to obtain Building Permits or a Certificate of Occupancy.</p>		
Name: _____	Signature: _____	Date: _____

# BEVDA'S WINE & SPIRITS



	PROJECT COMPANY 750 WARRENVILLE RD LISLE, IL 60532 WWW.FBSSIGNS.COM	PROJECT NAME:	PROJECT ADDRESS:	CLIENT APPROVAL COPY - COLORS - SIZES Electric voltage of 120 must be available within 5 feet to connect the sign. If not a qualified electrician needs to be hired by the owner.	LANDLORD APPROVAL	This design is the original and unpublished work of FBS SIGNS and may not be reproduced, copied or exhibited in any fashion with the express writing from an authorized personnel of the company. Charges may apply if this print is misused.
				Client Signature _____ Date _____	Landlord Signature _____ Date _____	



	PROJECT COMPANY 750 WARRENVILLE RD LISLE, IL 60532 WWW.FBSSIGNS.COM	PROJECT NAME:	PROJECT ADDRESS:	CLIENT APPROVAL COPY - COLORS - SIZES Electric voltage of 120 must be available within 5 feet to connect the sign. If not a qualified electrician needs to be hired by the owner.	LANDLORD APPROVAL	This design is the original and unpublished work of FBS SIGNS and may not be reproduced, copied or exhibited in any fashion with the express writing from an authorized personnel of the company. Charges may apply if this print is misused.
				Client Signature _____ Date _____	Landlord Signature _____ Date _____	

# digital sign specs

**SIZE: 3.8 FT X 7.87 FT**

Panel Dimension : 250mm(W)\*250mm(H)

Lamp brand: Kinglight

Pixel pitch : 2.976mm

Pixel Density : 112896dot/m<sup>2</sup>

Pixel configuration : 1R1G1B

LED specification : SMD2121

Module Pixel resolution : 84 dot\*84 dot

Cabinet Pixel resolution: 168 dot\*168 dot

Average power : 45W

Panel weight : 0.6KG

Cabinet size : 500\*500\*90mm

Quantity of panel : 4pcs

Best viewing angle : 170/140

Best viewing distance : 3-30M

Operating temperature : -20C°~60C°

Screen power supply : AC110V/220V-5V40A

Max power : 650W/m<sup>2</sup>

Average power : 200W/m<sup>2</sup>

Scan Rate : 1/12S

Refresh frequency : 7680 HZ/S

Brightness : 5500 cd/m<sup>2</sup>

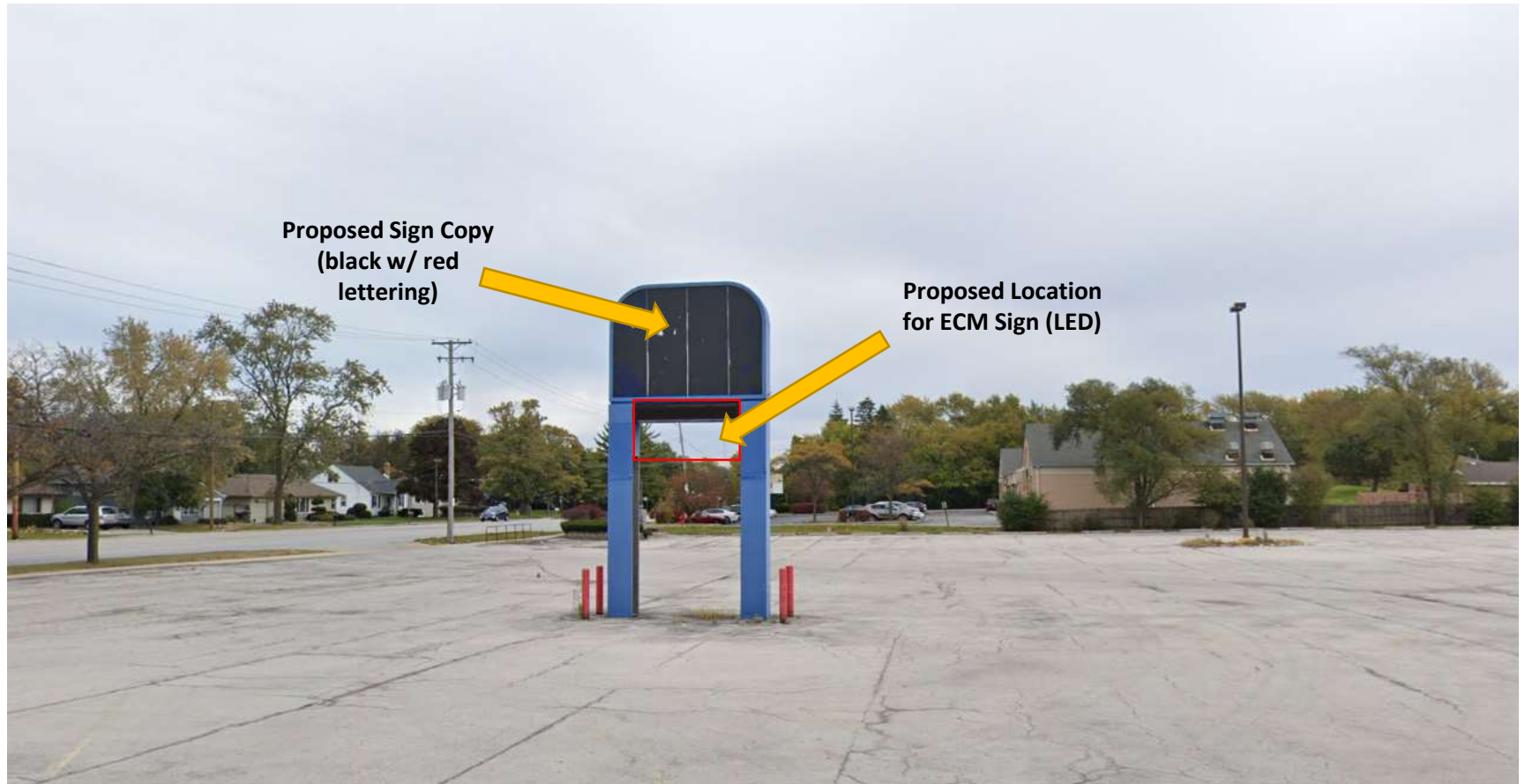
Life span : 100000Hours

Control distance : <100M

Operating Humidity : 10-90 %

IP protective index : IP65





# VILLAGE OF HOMEWOOD



**MEMORANDUM**

**DATE OF MEETING:** April 2, 2026

**To:** Appearance Commission

**From:** Noah Schumerth, Assistant Director of Economic and Community Development

**Through:** Angela Mesaros, Director of Economic and Community Development

**Topic:** Case 26-22: Appearance Review for Live Free 999 Foundation at 18219 Dixie Highway

**DOCUMENTS FOR REVIEW**

Title	Pages	Prepared by	Date
Application	1	Linden Group Architects, Applicant	03/17/2026
Site Plan	1	Arete Ltd., Architect	08/15/2003
Floor Plans	2	Linden Group Architects, Applicant	03/17/2026
Elevations	1	Linden Group Architects, Applicant	03/17/2026
Interior Renderings	7	Linden Group Architects, Applicant	03/17/2026
Staff Exhibits	2	Noah Schumerth, A.D. ECD	03/27/2026

**BACKGROUND**

The applicant, Mike Matthys of Linden Group (on behalf of Carmela Wallace, owner of Homewood Brewing Company and Live Free 999) has proposed the renovation of a building at 18219 Dixie Highway. This renovation will convert the building into a new headquarters for the Live Free 999, a foundation aimed at funding and supporting preventative mental health services and efforts to heal substance abuse in teens and adults.

**HISTORY**

The building was constructed in 1950. The building was a restaurant (Mama and Me Pizzeria) for 32 years, between 1990 and 2022. The building was clad in its current bright yellow stucco exterior around the time of the opening of the pizza restaurant in 1990. The building was purchased by the owner of the adjacent Homewood Brewing Company, Carmela Wallace, in 2022.



Figure 1: The existing building located at 18219 Dixie Highway (former Mama and Me Pizzeria)

## DISCUSSION

### Exterior

In addition to the full interior rebuild of the existing 4,500 s.f. building, the applicant is proposing a full exterior renovation. The renovation will repair the stucco on the building and paint all stucco surfaces in a color palate of grey, purple and black. This color palate reflects the branding colors of the Live Free 999 Foundation.

The proposed renovation will create minor structural changes to the building. The applicant will add a window to the south side of the building and a new awning structure will be built on the front of the building. The window will have a dimensions which match the other large windows on the south façade of the first floor, and a window head and pane structure which will match those found on the existing windows on the building. The upper windows of the building are currently blacked out, but these windows will be opened and used to bring additional daylight into the interior of the building.

The existing black canvas awning is proposed to be removed. The awning will be replaced with a purple canvas awning matching the branding colors of the foundation. The new awning will project further over the sidewalk and have a flat top.

### Landscaping

No landscaping is proposed for the site. This project does not require Site Plan Review approval which would trigger the requirement of additional landscaping improvements to meet current zoning requirements.

### Lighting

The existing building has wall sconce lights along the south façade of the building (facing the alley near Homewood Brewing Company), which have historically provided illumination for business signage and a large mural. The applicant has proposed to remove this lighting. Staff has provided a recommendation to retain some of these lighting fixtures to allow for the illumination of a painted wall sign on the side of the building and to add lighting in an area of the existing alley where limited other lighting exists.

**Conditions:** Staff has recommended the following conditions of approval for consideration:

- Maintain the existing sconce lighting on the south façade, located in the rear 40' of the building, to ensure sufficient alley lighting and nighttime lighting of the proposed painted wall sign. Revise drawings to include lighting prior to the issuance of building permits.

### Public Art

The Village approved an agreement with the property owner in 2014 to create a mural on the south side of the building. This mural, painted by Tom Melvin and reflecting the style of the original artwork on the wall created by Richard Haas, depicts a Fourth of July parade scene in Homewood.

Per the terms of the 2014 sign agreement, the Village Board must agree to any alteration, relocation or removal of the mural. The owner will be unable to remove the mural, including the installation of the

new window or painting of the wall surface, without the express written approval of the Board prior to work being completed.

**Conditions:** Staff has recommended the following conditions of approval for consideration:

- Receive Village Board approval for the removal and relocation for the mural on the south façade of the building prior to the issuance of building permits.

### Signage

The applicant has proposed the removal of all remaining signage existing on the building, including a wall sign remaining on the front façade facing Dixie Highway. The proposed building design includes a wall sign on the west building façade (facing Dixie Highway), wall sign and a painted wall sign on the south building façade (facing Homewood Brewing Company). The building is permitted to have two (2) wall signs and one (1) painted wall sign. The painted wall sign will include the business' name, a quote, and various artistic elements such as lightning, butterflies, and other imagery consistent with the foundation's brand.

All signs meet the current requirements of the Village Sign Code. The signs included in this submittal will require sign permit approval separate from this application. Signs will be formally reviewed for conformance with the Village Sign Code at that time.

The applicant has proposed several additional painted elements with flowers, butterflies and other artistic elements along the front arcade of the building. These are considered as painted additions to the building and are not considered as painted wall signs. These artistic additions are permitted.

## **REVIEW STANDARDS**

The Appearance Commission may use the Appearance Plan as a set of standards for the review of any Appearance Review application. The Commission may wish to consider the following standards in the evaluation of this proposal:

### B. Relationship of Buildings to the Site

- 1. The site shall be planned to accomplish a desirable transition with the streetscape, and to provide for adequate planting, pedestrian movement, and parking areas.*
- 3. The height and scale of each building shall be compatible with its site and adjoining buildings.*
- 4. Newly installed utility services, and service revisions necessitated by exterior alterations, shall be underground. Transformers mounted on utility poles shall be discouraged.*
- 5. In relating buildings to site, the provisions of the Homewood Municipal Code in regard to bulk regulations, standards, and off-street parking shall be part of this criteria.*

### C. Relationship of Building with Surrounding Area

1. *Adjacent buildings of different architectural styles shall be made compatible by such means as screens, site breaks, and other materials.*
3. *Harmony in texture, lines, and masses is required.*
4. *Buildings should have a similar scale to those in the surrounding area.*

### D. Landscape and Site Treatment

2. *Landscape treatment shall be provided to enhance architectural features, strengthen vistas, and provide shade.*
4. *Plant material shall be selected for interest in its structure, texture, and color and for its ultimate growth. Plants that are indigenous to the area and others that will be hardy, harmonious to the design and of good appearance shall be used.*
6. *Parking areas and traffic ways shall be enhanced with landscaped spaces containing trees or tree groupings. Parking areas shall be treated with decorative elements, building wall extensions, plantings, fences or other innovative means so as to largely screen parking from public view.*
7. *Where building sites limit planting, the placement of trees in parkways or paved areas will be required. Planting areas within parking lots shall be encouraged.*
9. *In areas where general planting will not prosper, other materials, such as fences, walls and pavings; of wood, brick, stone, and gravel, shall be used. Carefully selected plants shall be combined with such materials where possible.*
10. *Exterior lighting, when used, shall enhance the building design and the adjoining landscape. Lighting standards and fixtures shall be of a design and size compatible with the building and adjacent areas. Lighting shall be restrained in design, and excessive brightness so it has no light spill over to adjacent properties, and brilliant colors avoided.*

### E. Building Design

1. *Acceptable design principals and proper use of materials and supporting surrounding elements;*
2. *Buildings shall, with their own design concept, be an asset in the aesthetic sense to the Village of Homewood;*
3. *Materials shall be compatible with and complimentary to the design; as follows:*
  - a. *Materials shall be of a permanent nature and require a minimum amount of maintenance;*

*b. Exposed structural frames that reflect the design principals of the building shall be an integral part of the building design;*

*c. Colors shall be harmonious, with bright or brilliant colors used mainly for accent.*

*4. Mechanical or electrical equipment and utility hardware, whether located on the roof, ground or attached to the building, shall be screened from the public view. Screening shall be accomplished with the use of fences, walls, enclosures or approved plantings. Materials used shall be compatible with the materials used on the building and throughout the project.*

*5. Exterior lighting shall be part of the architectural concept. Fixtures, standards and placement of these units and all exposed accessories shall be harmonious with building design. Lighting shall be restrained in design and excessive brightness so it has no light spill over to adjacent properties, and brilliant colors shall be avoided.*

F. Signs

*1. Wall, ground, and identification signs shall be part of the architectural concept. Size color, lettering, locations, and arrangement shall be harmonious with the building design, and shall be compatible with signs on adjoining buildings.*

*2. Materials used in signs shall be of sound architectural character, be durable, and be harmonious with building design and surrounding landscape. Materials that tend to become illegible shall be avoided.*

**STAFF COMMENTS**

The proposed use is a *professional office > 2,500 square feet*. This use requires a special use permit in the B-2 Downtown Transition zoning district. The special use permit will be reviewed by the Planning and Zoning Commission on April 9.

**RECOMMENDED APPEARANCE COMMISSION ACTION**

The Appearance Commission may wish to consider the following motion:

**Approve** Case 26-22: Appearance Review for Live Free 999 Foundation at 18219 Dixie Highway, as proposed on the drawings submitted by Linden Group Architects, subject to the following conditions:

1. Maintain the existing scone lighting on the south façade, located in the rear 40’ of the building, to ensure sufficient alley lighting and nighttime lighting of the proposed painted wall sign. Revise drawings to include lighting prior to the issuance of building permits.
2. Receive Village Board approval for the removal and relocation for the mural on the south façade of the building prior to the issuance of building permits.



APPLICATION:  
**APPEARANCE REVIEW**  
 2020 Chestnut Road, Homewood, IL 60430

PROPERTY INFORMATION

Street Address: 18219 DIXIE HWY, HOMEWOOD IL Homewood, IL 60430

Property Index Number(s): 29 33 301- 019 0000

**Zoning District:**

- R-1     R-2     R-3     R-4  
 B-1     B-2     B-3     B-4  
 M-1     M-2     PL-1     PL-2

**Application Request**

Select all applicable boxes for Appearance Commission requests below.

- New Construction, including:
  - » Building Elevations
  - » Landscape Plan
  - » Lighting, Photometric Plan
  - » Signage
- Existing Development
  - » Exterior Alterations
  - » Landscape Plan
  - » Lighting, Photometric Plan
  - » Signage
- Sign Variance

**Proposed Development or Alterations:**

The proposed project includes exterior and interior improvements to an existing commercial building to accommodate an administrative office use.

Exterior modifications are limited to aesthetic and maintenance upgrades, including the installation of new windows and awnings, repainting of the exterior façade, roof replacement, façade maintenance and repairs, and the addition of new rooftop mechanical equipment. These improvements are intended to enhance the overall appearance of the building while maintaining the existing structure and footprint.

Interior work consists of a non-structural buildout including new wall partitions, ceilings, flooring, and furniture to support office operations.

No changes are proposed to the building footprint, OR site layout.

APPLICANT

Name CARMELA WALLACE

Company LIVE FREE 999

Address 3000 MARCUS AVE, SUITE IW5  
LAKE SUCCESS, NEW YORK 11042

Phone 7088023069

Email CARMELA.WALLACE@LIVEFREE999.ORG

Role OWNER

PROPERTY OWNER

Name CARMELA WALLACE

Company 18219 DIXIE HIGHWAY LLC

Address 3000 MARCUS AVE, SUITE IW5  
LAKE SUCCESS, NEW YORK 11042

Phone 7088023069

Email CARMELA.WALLACE@LIVEFREE999.ORG

Check box if the applicant is the property owner

I acknowledge and attest that:

- » All the information and exhibits submitted with this application are true and accurate to the best of my knowledge;
- » Village representatives are permitted to make reasonable inspections of the subject property necessary to process this application;
- » I agree to pay all required fees;
- » No work may be done without first obtaining a Building Permit. All work shall be completed in accordance with Village Codes and Ordinances.

CARMELA WALLACE  
 Applicant Name

\_\_\_\_\_  
 Applicant Signature

3/24/2026  
 Date

**Staff Notes**

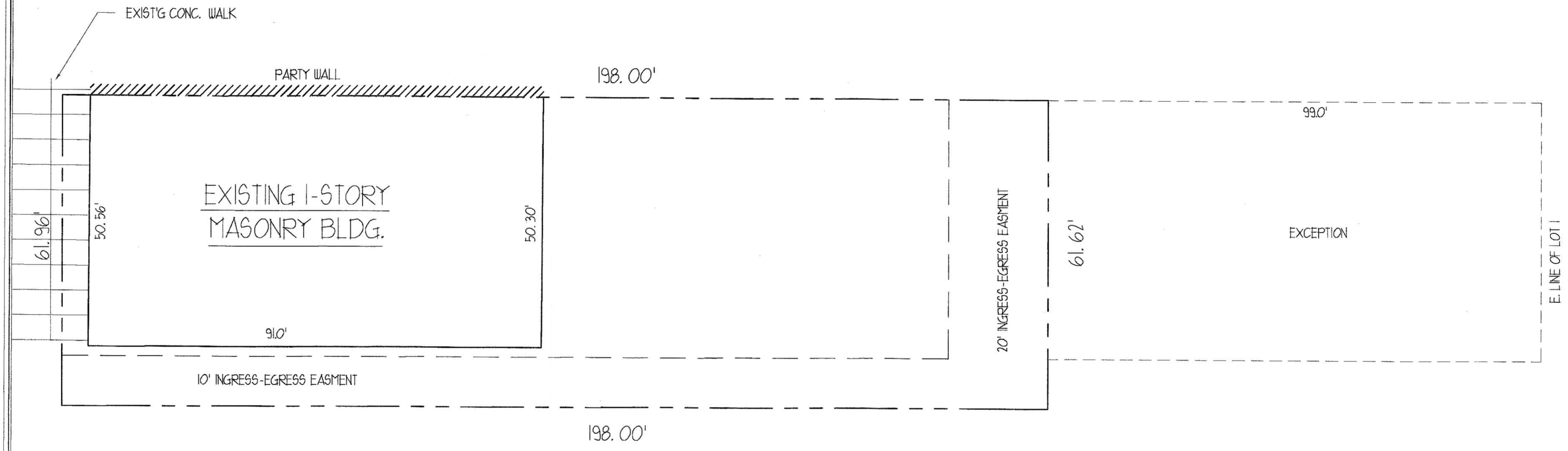
*Do not write below this line.*

CASE NO: _____		Fee: _____ <input type="checkbox"/> Paid	Date Received: _____
Request: _____	Action: _____	Comments/Conditions: _____	Date: _____
<p>This application has zoning approvals and may proceed to obtain Building Permits or a Certificate of Occupancy.</p> <p>Name: _____ Signature: _____ Date: _____</p>			



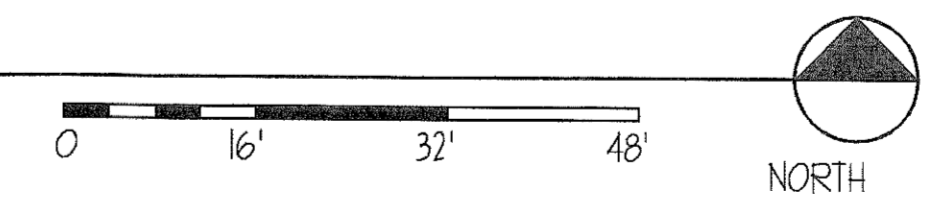
18845 S. WEST CREEK DRIVE TIMLEY PARK, IL 60477  
708-342-1250 FAX 708-342-1241  
E-MAIL: architect@arete3.com

DIXIE HIGHWAY



### SITE PLAN

SCALE: 1/16" = 1'-0"



Village of Homewood  
Building Division  
**APPROVED FOR CONSTRUCTION**  
Date: AUG 25 2003  
By: *[Signature]*

08-18-03	RE-ENGINEER PERMIT
01-31-03	RE-ENGINEER PERMIT
05-23-03	FOR PERMIT

**PROJECT NOTE:**  
The architect, in preparing these drawings, has assumed that the client has provided all necessary information and that the client is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The architect is not responsible for the accuracy of the information provided by the client. The architect is not responsible for the accuracy of the information provided by the client. The architect is not responsible for the accuracy of the information provided by the client.

DESCRIPTION

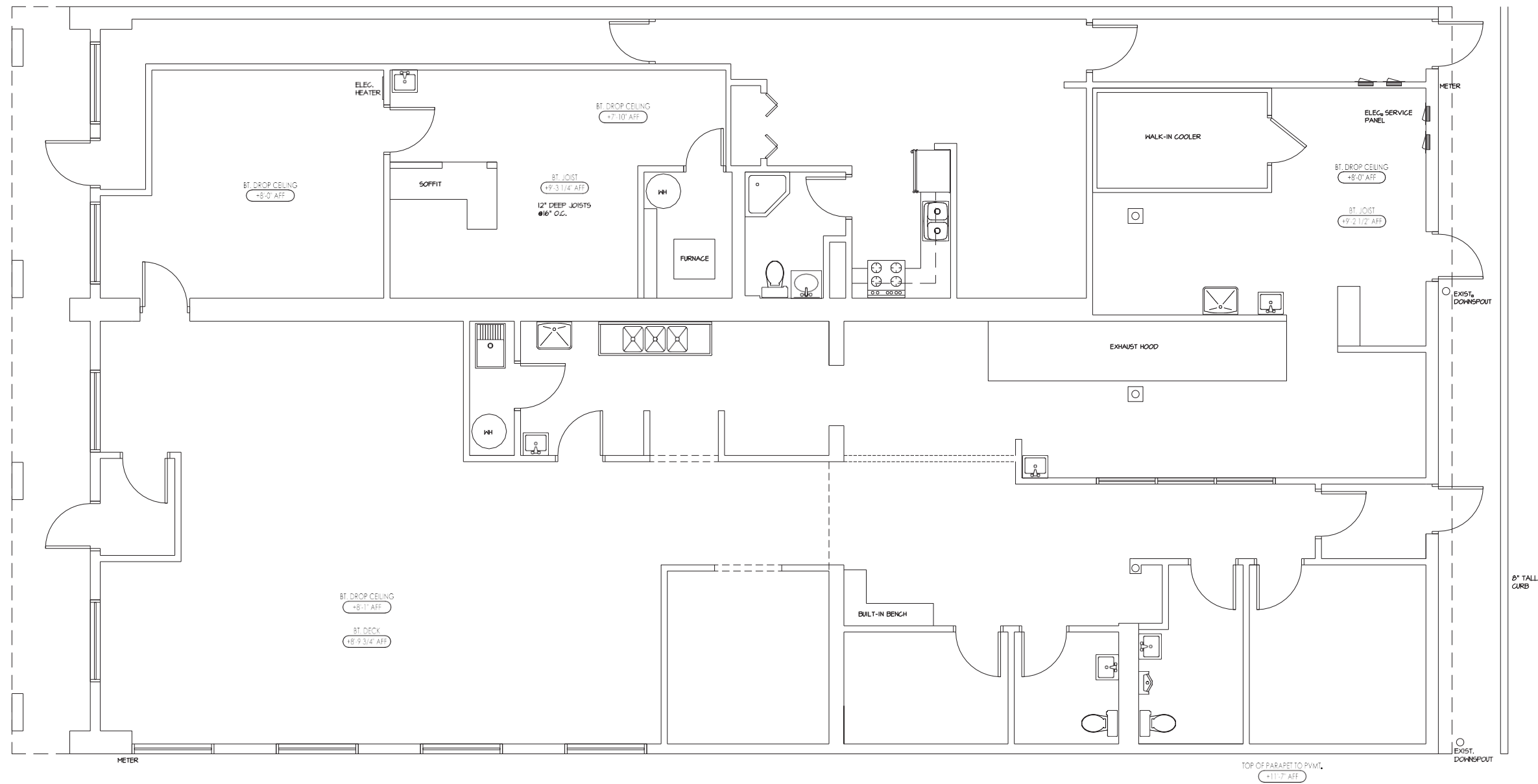
MAMA & ME PIZZERIA  
1879 DIXIE HIGHWAY  
HOMELWOOD, IL 60430

SITE PLAN

JOB NO: 0904 DRAWN: RB  
DATE: 09-29-03 CHECKED: RB

SHEET NUMBER: SP-1

PLOT: scale: AS NOTED date: 09-17-02  
© COPYRIGHT 2002 ARETE  
ALL RIGHTS RESERVED 33

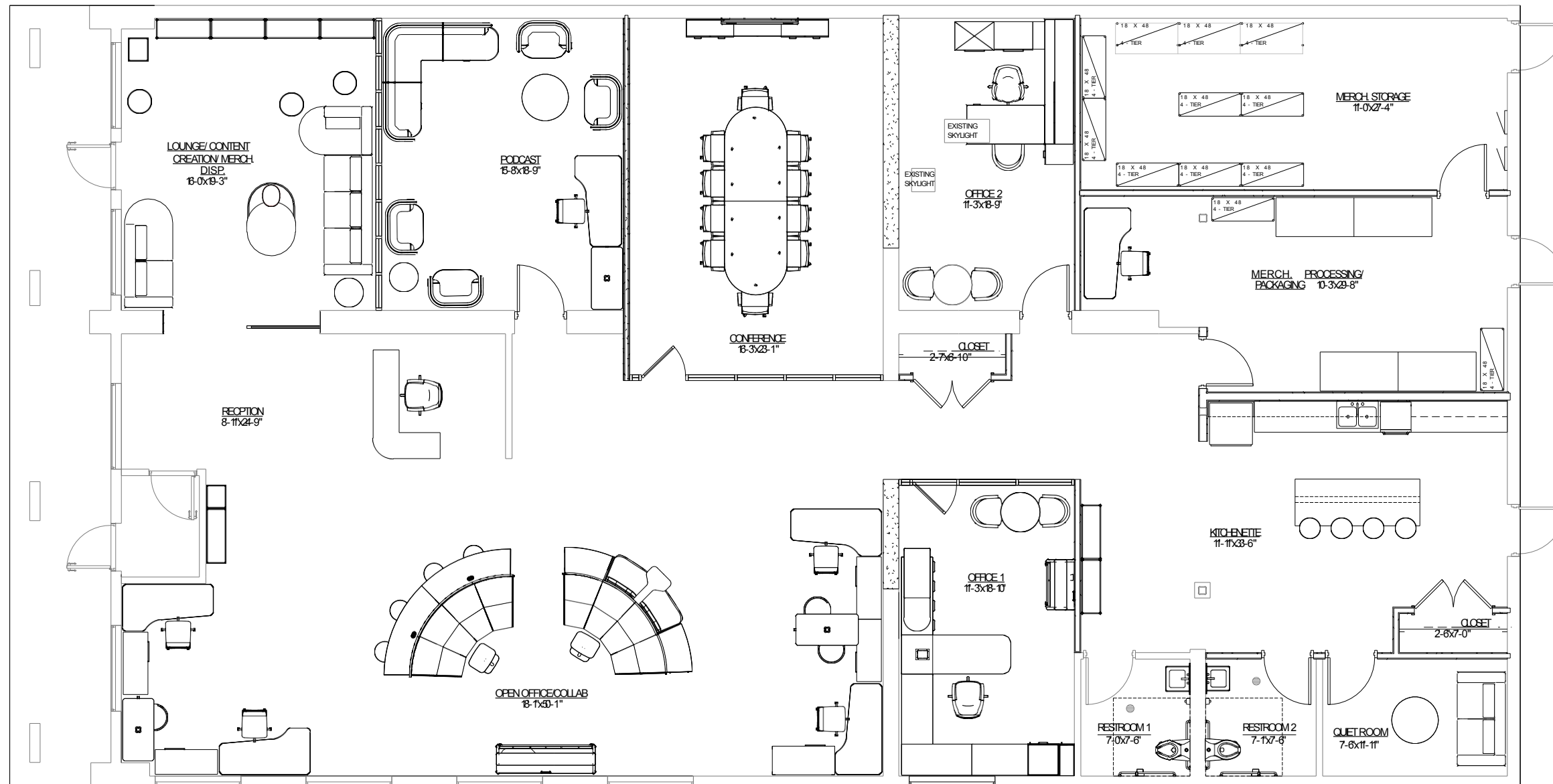


10100 ORLAND PARKWAY, SUITE 110  
 ORLAND PARK, IL 60467  
 P:708.799.4400 F:708.799.4434  
[WWW.LINDENGROUPINC.COM](http://WWW.LINDENGROUPINC.COM)



**HOMWOOD**  
 BREWING CO.

# AS- BUILT FLOOR PLAN



LINDENGROUP ARCHITECTS

10100 ORLAND PARKWAY, SUITE 110  
 ORLAND PARK, IL 60467  
 P:708.799.4400 F:708.799.4434  
 WWW.LINDENGROUPINC.COM



**HOMWOOD**

BREWING CO.

# PROPOSED FLOOR PLAN



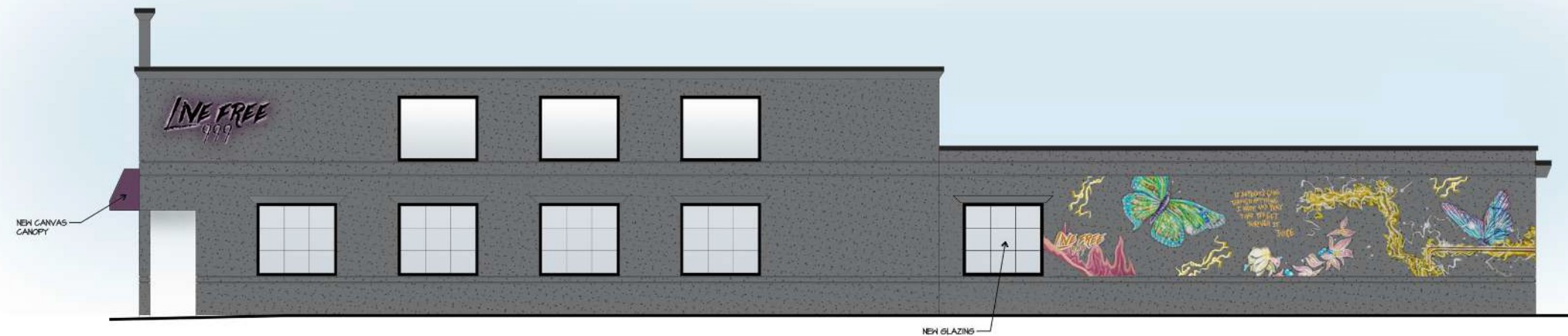
1  
A-4.0  
1/4" = 1'-0"

**PROPOSED WEST ELEVATION**



2  
A-4.0  
1/4" = 1'-0"

**PROPOSED EAST ELEVATION**



3  
A-4.0  
1/4" = 1'-0"

**PROPOSED SOUTH ELEVATION**

# PROPOSED RENDERED ELEVATIONS



10100 ORLAND PARKWAY, SUITE 110  
ORLAND PARK, IL 60467  
P:708.799.4400 F:708.799.4434  
[WWW.LINDENGROUPINC.COM](http://WWW.LINDENGROUPINC.COM)



**HOMEWOOD**  
BREWING CO.

## FRONT DESK/ OPEN OFFICE



# LOUNGE/ CONTENT ROOM



LINDENGROUP  
ARCHITECTS

10100 ORLAND PARKWAY, SUITE 110  
ORLAND PARK, IL 60467  
P:708.799.4400 F:708.799.4434  
[WWW.LINDENGROUPINC.COM](http://WWW.LINDENGROUPINC.COM)



**HOMWOOD**

BREWING CO.

# PODCAST



10100 ORLAND PARKWAY, SUITE 110  
ORLAND PARK, IL 60467  
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[WWW.LINDENGROUPINC.COM](http://WWW.LINDENGROUPINC.COM)



**HOMWOOD**  
BREWING CO.

# CONFERENCE



# OPEN OFFICE/ COLLAB



10100 ORLAND PARKWAY, SUITE 110  
ORLAND PARK, IL 60467  
P:708.799.4400 F:708.799.4434  
[WWW.LINDENGROUPINC.COM](http://WWW.LINDENGROUPINC.COM)



**HOMWOOD**  
BREWING CO.

# PRIVATE OFFICE



10100 ORLAND PARKWAY, SUITE 110  
ORLAND PARK, IL 60467  
P:708.799.4400 F:708.799.4434  
[WWW.LINDENGROUPINC.COM](http://WWW.LINDENGROUPINC.COM)



**HOMWOOD**  
BREWING CO.

# KITCHENETTE





# VILLAGE OF HOMEWOOD



**MEMORANDUM**

**DATE OF MEETING:** April 2, 2026

**To:** Appearance Commission

**From:** Noah Schumerth, Assistant Director of Economic and Community Development

**Through:** Angela Mesaros, Director of Economic and Community Development

**Topic:** Case 26-20: Appearance Review for Commercial Expansion at 18114 Gottschalk Avenue

**DOCUMENTS FOR REVIEW**

Title	Pages	Prepared by	Date
Application	1	Domani Builders, Applicant	03/18/2026
Proposed Site Plan	2	Ideal Designs, Architect	03/10/2026
Proposed Floor Plans	2	Ideal Designs, Architect	03/10/2026
Building Detail Drawings	2	Ideal Designs, Architect	03/10/2026
Existing Elevations with Demo Plans	1	Ideal Designs, Architect	03/10/2026
Proposed Elevations	1	Ideal Designs, Architect	03/10/2026
Proposed Building Sections	1	Ideal Designs, Architect	03/10/2026
Staff Exhibits	3	Noah Schumerth, A.D. ECD	03/26/2026

**BACKGROUND**

The applicant has proposed the construction of a 1,347 square-foot addition to an existing dental office (Signature Smiles Dentistry) at 18114 Gottschalk Avenue. This addition will expand the existing dental practice, adding new dental procedure rooms, expanding the waiting area and lobby, and adding new offices and employee spaces.

**HISTORY**

The original building was constructed in 1950. The building was occupied by an insurance office (Knoll Insurance) for many years. The building was converted into a dental office in 2006, with a new practice (Signature Smiles) opening in 2024. The building was originally clad in brown-orange brick with Art Deco stone accents. The building had awnings and windows added in 2006, and was renovated into its current appearance (cream-colored brick with Art Deco stone accents) in 2013.



Figure 1: Existing Building @ 18114 Gottschalk Avenue (2025)

## DISCUSSION

### Building Elevations/Site Plan

The exterior of the new building area will be clad in similar brick material to the brick found on all four elevations of the building. The cladding will be smooth-face brick with bricks measuring approximately 10" x 3". This brick has been initially proposed to be colored in dark cream similar to the existing portion of the building. The brick on the existing portion of the building is proposed to be retained to match the brick on the new addition. **The applicant has requested feedback from the Commission on the color of the building, and has provided an alternative color scheme in white with black accents for consideration by the Commission (see Staff Exhibits)**

The angled front entry of the existing building facing northeast (toward the intersection of Gottschalk and Ridge) will remain, as the new building expansion will be setback from Gottschalk Avenue by approximately 10 feet. The precast stone accents around the front entry will also remain.

The new building will have a large picture window facing Gottschalk Avenue, which will replace the existing picture window facing north which will be removed with the building expansion. Three other single-hung windows installed in the north and east elevations of the building will mimic the single-hung windows installed in the existing building and provide windows in new offices constructed in the expanded building. New windows will also be installed in the west elevation of the building; however, these windows will be transom windows elevated to 6' above the ground to improve privacy in dental procedure rooms.

The north elevation facing the rear alleyway will have an employee entryway installed to connect to the existing parking area along the alley. The entryway will be designed with precast stone cladding to match the stone panels found around the front entry of the existing building. This entry meets current ADA requirements for employee entrances.

The new building expansion will also feature an identical precast stone parapet design to the one which is installed on the existing building. The parapet will screen two new rooftop HVAC units which will upgrade the existing air conditioning system in the building. The new building expansion will have a flat roof at the same height as the roof on the existing building.

The new building addition is subject to the design standards found in the Village Zoning Ordinance.

**Material Quality:** The Village Zoning Ordinance requires at least 50% of the exterior side (Gottschalk Avenue, east) façade of the building and 25% of all other facades to be clad in "Tier I" materials, determined to be of a higher quality standards for their longevity, durability, and overall aesthetic alignment with existing development in the Village. This requirement applies to the new building expansion only.

This applicant proposes Tier I materials on 100% of all three exterior sides of the building addition, as smooth-face brick and pre-cast stone are considered Tier I materials in the Village's zoning regulations. **Requirement is met.**

**Façade Articulation:** The Village Zoning Ordinance requires any wall face greater than 60' long to be articulated with building façade movement, doors/windows, awnings, or other design features. The

exterior side (Gottschalk Avenue, east) facade of the building will be greater than 60' in length with the construction of the new building addition.

The applicant proposes to set the building addition back from the existing building by approximately 10' on the Gottschalk Avenue side of the building. Pre-cast stone accents provide additional articulation on the facade of the building. This design meets the requirement for façade articulation in the Village's zoning regulations. **Requirement is met.**

**Transparency:** New construction in an existing development (such as this building addition) requires that transparency requirements in the Village Zoning Ordinance be met "to the extent possible within existing conditions." The new building addition is required to have a minimum of 40% façade transparency along the exterior side (Gottschalk Avenue, east) façade of the building.

The applicant has provided a design where 29% of the length of the façade has transparent openings, including a large picture window and an office window. Due to the presence of private offices along this wall of the building, there are limited opportunities to add additional transparency along this side of the building.

The Director of Economic and Community Development may waive the requirement for transparency on this project, provided the project is created façade transparency "to the extent possible within existing conditions." Staff recommends that this requirement is waived on this façade. **See Recommended Appearance Commission Action.**

**Conditions:** Staff has recommended the following building design considerations for approval (see *Recommended Appearance Commission Action*):

1. Director of economic and community development shall provide a waiver of the transparency requirements for the building as permitted in Section 44-05-11.(d) of the Village Zoning Ordinance.

#### Landscaping and Tree Preservation

The current building has a 7' buffer of foundation landscaping around the north side of the building. This landscape buffer contains flowering plants and manicured shrubs. The building expansion will require removal of this landscaping and replacement with a new foundation landscape buffer around the north and east sides of the new building area. This buffer will have a meandering perimeter which mimics the shape of the currently installed landscaping. The applicant has agreed to install new landscaping with a plant palate in conformance with the Village's native plant list.

Staff has provided a condition of approval for building permits to submit a plant palate which is in alignment with the Village's native plant species list. The Appearance Commission may wish to recommend specific species or types of plantings. **See Recommended Appearance Commission Action.**

The placement of the new foundation landscaping meets zoning requirements. The foundation landscape area is the only new landscaping required with this building expansion.

The removal of landscaping will require the removal of a mature and healthy ornamental tree from the property. This will not require an application through the Village's tree removal ordinance, which

requires permits for removal of any tree over 12" in diameter. However, the Village Arborist recommends the replacement of the ornamental tree.

Any current turf area which is not planned to be impacted by the construction of the new building and landscaping will remain as turf. No changes are anticipated to the parking area except as required to meet ADA accessibility requirements.

**Conditions:** Staff has recommended the following landscaping conditions for approval (see *Recommended Appearance Commission Action*):

1. Provide a plant palate and identify final planting locations on a revised landscape plan in alignment with Village native plant species list, prior to issuance of building permits.
2. Revise landscape plan to include a new ornamental tree to replace the existing ornamental tree to the north of the existing building prior to approval of building permits;

### Lighting

The existing building has a small exterior light located above the front entry to the dental office, and a security light located on the interior (west) side of the building. The proposed building addition will have new LED wall sconce fixtures installed near the proposed employee entrance of the building. No additional lighting fixtures are proposed.

Staff has noted upon review of the property that lighting is very limited in the rear of the property due to a lack of security lighting or nearby lighting in the public alley. Staff has recommended the adjustment of security lighting plans to ensure security on all four sides of the commercial structure.

**Conditions:** Staff has recommended the following lighting considerations as conditions of approval (see *Recommended Appearance Commission Action*):

1. Replace existing light fixture near the main entrance of the building to improve the availability of lighting at the building entrance and match new fixtures installed on the building addition to ensure consistency of exterior lighting across the building.
2. Add an additional shielded security lighting fixture at the northwest corner of the building on the west façade, matching the existing security lighting fixture at the southwest corner of the building on the west façade, to ensure sufficient security lighting on this side of the building.

### Signs

The proposed expansion will require the removal of existing signage on the north (rear) and east (Gottschalk Avenue) sides of the building. The new building will have two wall signs with the logo of the dental clinic installed on the north (rear) and east (Gottschalk Avenue) sides of the building. These signs will be constructed with a similar size and type to the existing signage on the north side of the building.

**The applicant has requested feedback on the type and placement of signs on the building. The applicant has provided an alternate sign design (wall sign with backlit cabinet letters) for consideration by the Commission.**

## STANDARDS FOR REVIEW

The Appearance Commission may use the Appearance Plan as a set of standards for the review of any Appearance Review application. The Commission may wish to consider the following standards in the evaluation of this proposal:

### B. Relationship of Buildings to the Site

- 1. The site shall be planned to accomplish a desirable transition with the streetscape, and to provide for adequate planting, pedestrian movement, and parking areas.*
- 3. The height and scale of each building shall be compatible with its site and adjoining buildings.*
- 4. Newly installed utility services, and service revisions necessitated by exterior alterations, shall be underground. Transformers mounted on utility poles shall be discouraged.*
- 5. In relating buildings to site, the provisions of the Homewood Municipal Code in regard to bulk regulations, standards, and off-street parking shall be part of this criteria.*

### C. Relationship of Building with Surrounding Area

- 1. Adjacent buildings of different architectural styles shall be made compatible by such means as screens, site breaks, and other materials.*
- 3. Harmony in texture, lines, and masses is required.*
- 4. Buildings should have a similar scale to those in the surrounding area.*

### D. Landscape and Site Treatment

- 2. Landscape treatment shall be provided to enhance architectural features, strengthen vistas, and provide shade.*
- 4. Plant material shall be selected for interest in its structure, texture, and color and for its ultimate growth. Plants that are indigenous to the area and others that will be hardy, harmonious to the design and of good appearance shall be used.*
- 6. Parking areas and traffic ways shall be enhanced with landscaped spaces containing trees or tree groupings. Parking areas shall be treated with decorative elements, building wall extensions, plantings, fences or other innovative means so as to largely screen parking from public view.*
- 7. Where building sites limit planting, the placement of trees in parkways or paved areas will be required. Planting areas within parking lots shall be encouraged.*
- 9. In areas where general planting will not prosper, other materials, such as fences, walls and pavings; of wood, brick, stone, and gravel, shall be used. Carefully selected plants shall be combined with such materials where possible.*

10. Exterior lighting, when used, shall enhance the building design and the adjoining landscape. Lighting standards and fixtures shall be of a design and size compatible with the building and adjacent areas. Lighting shall be restrained in design, and excessive brightness so it has no light spill over to adjacent properties, and brilliant colors avoided.

#### E. Building Design

1. Acceptable design principals and proper use of materials and supporting surrounding elements;
2. Buildings shall, with their own design concept, be an asset in the aesthetic sense to the Village of Homewood;
3. Materials shall be compatible with and complimentary to the design; as follows:
  - a. Materials shall be of a permanent nature and require a minimum amount of maintenance;
  - b. Exposed structural frames that reflect the design principals of the building shall be an integral part of the building design;
  - c. Colors shall be harmonious, with bright or brilliant colors used mainly for accent.
4. Mechanical or electrical equipment and utility hardware, whether located on the roof, ground or attached to the building, shall be screened from the public view. Screening shall be accomplished with the use of fences, walls, enclosures or approved plantings. Materials used shall be compatible with the materials used on the building and throughout the project.
5. Exterior lighting shall be part of the architectural concept. Fixtures, standards and placement of these units and all exposed accessories shall be harmonious with building design. Lighting shall be restrained in design and excessive brightness so it has no light spill over to adjacent properties, and brilliant colors shall be avoided.

#### F. Signs

1. Wall, ground, and identification signs shall be part of the architectural concept. Size color, lettering, locations, and arrangement shall be harmonious with the building design, and shall be compatible with signs on adjoining buildings.
2. Materials used in signs shall be of sound architectural character, be durable, and be harmonious with building design and surrounding landscape. Materials that tend to become illegible shall be avoided.
3. Every sign shall be scaled and designed so as to conform with relationship to buildings and surrounds.

## STAFF COMMENTS

The proposed addition will increase the square footage of the existing medical office to greater than 2,500 square feet. A special use permit will be required to operate the expanded dental office, which will need approval from the Planning and Zoning Commission and Village Board.

The applicant has also recently executed a parking lease for ten (10) spaces at the American Dance Center property at 1933 Ridge Road. This lease ensures they meet the parking requirements for the property. The only changes required to the parking area will be the addition of one ADA-accessible parking space.

## RECOMMENDED APPEARANCE COMMISSION ACTION

The Appearance Commission may wish to consider the following motion:

**Approve** Case 26-20, Appearance Review for Signature Smiles Dental at 18114 Gottschalk Avenue, as proposed on the drawings submitted by Domani Builders, subject to the following conditions:

1. Provide a plant palette and identify final planting locations on a revised landscape plan in alignment with Village native plant species list, prior to issuance of building permits.
2. Revise landscape plan to include a new ornamental tree to replace the existing ornamental tree to the north of the existing building prior to approval of building permits.
3. Modify lighting fixtures on the existing entry to match LED fixtures proposed on the new section of the building to meet Appearance Plan standards and ensure consistency with current lighting requirements of the Village Zoning Ordinance.
4. Add an additional shielded security lighting fixture at the northwest corner of the building on the west façade, matching the existing security lighting fixture at the southwest corner of the building on the west façade, to ensure sufficient security lighting on this side of the building.
5. Director of economic and community development shall provide a waiver of the transparency requirements for the building as permitted in Section 44-05-11.(d) of the Village Zoning Ordinance.



Item 5. D.

APPLICATION:  
**APPEARANCE REVIEW**  
 2020 Chestnut Road, Homewood, IL 60430

PROPERTY INFORMATION

Street Address: 18114 Gottschalk Ave Homewood, IL 60430

Property Index Number(s): \_\_\_\_\_

**Zoning District:**

- R-1     R-2     R-3     R-4  
 B-1     B-2     B-3     B-4  
 M-1     M-2     PL-1     PL-2

<p><b>Application Request</b>          Select all applicable boxes for Appearance Commission requests below.</p> <p> <input type="checkbox"/> New Construction, including:           <ul style="list-style-type: none"> <li>» Building Elevations</li> <li>» Landscape Plan</li> <li>» Lighting, Photometric Plan</li> <li>» Signage</li> </ul> <input type="checkbox"/> Sign Variance         </p>	<p> <input checked="" type="checkbox"/> Existing Development           <ul style="list-style-type: none"> <li>» Exterior Alterations</li> <li>» Landscape Plan</li> <li>» Lighting, Photometric Plan</li> <li>» Signage</li> </ul> </p>	<p><b>Proposed Development or Alterations:</b>          Existing building will receive an addition for a dental clinic expansion. See Architectural plans for details.</p>
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APPLICANT

Name Stefano Fazio  
 Company Domani Construction & Development  
 Address 15915 S. Crystal Creek Dr., Suite C.  
Homer Glen, IL 60491  
 Phone 708.369.0240  
 Email stefano@domanibuilders.com  
 Role President

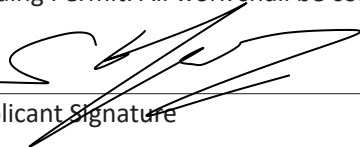
PROPERTY OWNER

Name Dr. Alex Shore  
 Company Signature Smile Arts  
 Address 18114 Gottschalk ave.  
Homewood IL, 60430  
 Phone 248.345.3521  
 Email shorealex33@gmail.com  
 Check box if the applicant is the property owner

I acknowledge and attest that:

- » All the information and exhibits submitted with this application are true and accurate to the best of my knowledge;
- » Village representatives are permitted to make reasonable inspections of the subject property necessary to process this application;
- » I agree to pay all required fees;
- » No work may be done without first obtaining a Building Permit. All work shall be completed in accordance with Village Codes and Ordinances.

Stefano Fazio  
 Applicant Name

  
 Applicant Signature

3/18/2026  
 Date

**Staff Notes**

*Do not write below this line.*

CASE NO: _____	Fee: _____ <input type="checkbox"/> Paid	Date Received: _____
Request: _____	Action: _____	Comments/Conditions: _____
_____	_____	Date: _____
<p>This application has zoning approvals and may proceed to obtain Building Permits or a Certificate of Occupancy.</p>		
Name: _____	Signature: _____	Date: _____

# ADDITION TO COMMERCIAL BUILDING FOR: DOMANI BUILDERS DOCTOR SHORE OFFICE PROJECT LOCATION: 18114 GOTTSCHALK AVENUE, HOMEWOOD, ILLINOIS 60430 ISSUE FOR PERMIT: 03-10-2026



**LOCATION MAP**  
N.T.S.



<b>ZONING DATA</b>	
ZONING DISTRICT:	B-2. DOWNTOWN TRANSITION DISTRICT
<b>CODE DATA</b>	
USE GROUP:	BUSINESS GROUP 0
OCCUPANCY CLASSIFICATION AND USE:	PROFESSIONAL SERVICES (DENTAL)
CONST. TYPE:	TYPE V-B (EXISTING & ADDITION) (EXISTING - NON-SPRINKLERED)
EXISTING BLDG AREA:	2,293 SF
ADDITION AREA:	1,347 SF
TOTAL BLDG AREA:	3,640 SF

**SAFETY NOTICE**

ALL CONTRACTORS AND THEIR REPRESENTATIVES WORKING ON THIS PROJECT SHALL AT ALL TIMES PRIOR AND DURING THE CONSTRUCTION OF THIS PROJECT BE RESPONSIBLE FOR THE SAFETY OF THEIR EMPLOYEES AS WELL AS OTHERS AND IN THE CARE OF THE PROPERTY. EACH AS REPRESENTATIVES OF THEIR EMPLOYERS SHALL ASCERTAIN THAT THE CONDITIONS UNDER WHICH THEY WILL BE REQUIRED TO ACCOMPLISH THEIR WORK ARE SAFE WITHIN GOOD SAFETY PRACTICES AND REST ALL CONCERNED REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OR OTHER GOVERNING REGULATIONS. THE BEGINNING OF WORK BY A CONTRACTOR SHALL INDICATE SATISFACTION CONCERNING SAFETY AND FULL RESPONSIBILITY FOR ACCIDENTS OR DAMAGE. IF UNSATISFIED, THE CONTRACTOR SHALL INDICATE "WHATEVER ACTION IS NECESSARY, OR RENDER SAFETY CONDITIONS FOR LIFE AND PROPERTY AS ARE RELATED TO THIS ACTIVITY. IF THE WORK OF OTHER PARTIES OUTSIDE OF THE ORGANIZATION IS UPON INSPECTION FOUND AT ANY TIME TO BE UNSAFE HE/SHE SHOULD STOP WORK IMMEDIATELY AND NOTIFY THE GENERAL CONTRACTOR, ARCHITECT AND OWNER. THE BEGINNING OF WORK SHALL INDICATE SATISFACTION. ACCEPTANCE OF A CONTRACT SHALL INDICATE ACCEPTANCE OF THESE REQUIREMENTS.

**DUTY TO INDEMNIFY**

THE CONTRACTOR SHALL DEFEND, INDEMNIFY, KEEP AND MAKE HARMLESS THE BUILDING OWNER AND ARCHITECT AND THEIR REPRESENTATIVES, AGENTS, AND EMPLOYEES IN BOTH INDIVIDUAL AND OFFICIAL CAPACITIES, AGAINST ALL SUITS, CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES, CAUSED BY GROWING OUT OF OR INCIDENTAL TO THE PERFORMANCE OF WORK UNDER THE CONTRACT BY THE CONTRACTOR OR ITS SUBCONTRACTORS, TO THE FULL EXTENT AS ALLOWED BY THE STATE OF ILLINOIS AND NOT BEYOND ANY EXTENT WHICH WOULD RENDER THESE PROVISIONS VOID OR UNENFORCEABLE.

MATERIAL SYMBOLS		
	ACOUSTICAL TILE (LARGE SCALE)	
	BACKUP ROD & SEALANT	
	BRICK	
	CERAMIC OR QUARRY TILE (LARGE SCALE)	
	COMPRESSIBLE FILLER	
	CONCRETE	
	CONCRETE BLOCK	
	EARTH	
	FINISHED WOOD	
	GLASS (LARGE SCALE)	
	GRAVEL	
	GYPSUM BOARD	
	LANDSCAPING	
	LIMESTONE	
	LOOSE INSULATION	
	RIGID INSULATION	
	PLYWOOD	
	SAND	
	STEEL	
	WOOD BLOCKING	

ABBREVIATIONS			
AFF	above finished floor	GA	gage, gauge
ACOUS	acoustical	GALV	galvanized
ALT	alternate	CL	glass, clazing
ALUM	aluminum	CC	general contract (or)
A.B.	anchor bolt	GB	grab bar
ANOD	anodized	GYP. BD.	gypsum board
ARCH	architect (ura)	HCP	handicap
BRG	bearing	HVAC	heating/ventilation/air conditioning
BT	biluminous	HT	height
BLK	block	HC	hollow core
BLKG	block	HM	hollow metal
BS	both sides	HORIZ	horizontal
BOT	bottom	HBL	hose bibb
B/	bottom of (specify material)	INCL	include (s), (ing)
BRK	brick	ID	inside diameter
BLDG	building	INSUL	insulate (s), (ing)
CL	ceiling	INT	interior
CLG	ceramic tile	INVT	inset
CLR	clear (ance)	JC	janitor's closet
COL	column	LAM	laminata
CONC	concrete masonry unit	LAV	lavatory
CNT	control	LH	left hand
CONTR	contract (or)	MFR	manufacture (y)
CONST	construction	MAS	masonry opening
DIAM	diameter	MAT	masonry (v)
DM	dimension	MECH	mechanical
DS	downspout	MET	metal
DWG	drawings	MIN	minimum
DF	drinking fountain	MISC	miscellaneous
ELEC	electric	NOM	nominal
ED	east	NC	not in contract
EXIST	existing	NTS	not to scale
EXT	exterior	OC	on center (s)
FD	floor drain	OPG	opening
FT	foot/feet	OPP	opposite
FND	footing	OD	outside diameter
	foundation	OH	overhead
PNL	panel	T/	top of (specify material)
PART	partition	TP	typical
PLA	plastic laminate	VB	vapor barrier
PLT	plate	VCT	vinyl composite tile
QT	quarry tile	VERT	vertical
RAD	radius	WC	water closet
RA	return air	WFW	wetted wire fabric
REV	revise (s), (on)	WO	without
RD	roof drain	WH	water heater
RO	rough opening		
SCHED	schedule		
SECT	section		
SH	shim		
SC	solid core		
SPEC	specification (s)		
SQ	square		
STL	steel		
STRUC	structural		
SUSP	suspended		

SYMBOL LEGEND	
SECTION/DETAIL SYMBOL	EXTERIOR
ENLARGED DETAIL SYMBOL	INTERIOR
BUILDING SECTION	DOOR SYMBOL
WINDOW SYMBOL	ELEVATION MARKER
ROOM TARGET SYMBOL	PARTITION TYPE

- A.** THE INTENTION OF THESE DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS AND SERVICES, NECESSARY FOR COMPLETE AND PROPER EXECUTION OF THE WORK INDICATED ON THE CONSTRUCTION DOCUMENTS OR REASONABLY INFERRED THEREFROM.
- B.** THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CONTRACTORS OR SUBCONTRACTORS SOMEONE FAILS TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE OF ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.
- C.** ALL CONTRACTORS, SUBCONTRACTORS, SUPPLIERS AND FABRICATORS SHALL BE RESPONSIBLE FOR THE CONTENT OF THE CONSTRUCTION DOCUMENTS, AND FOR THE SUPPLY AND DESIGN OF APPROPRIATE MATERIALS AND SHALL INSURE THAT ALL WORK IS DONE IN A PROFESSIONAL WORKMAN LIKE MANNER BY SKILLED MECHANICS AND SHALL REPLACE ANY MATERIALS OR ITEMS DAMAGED BY SUBCONTRACTORS' PERFORMANCE. SUBCONTRACTORS AND SUPPLIERS ARE HEREBY NOTIFIED THAT THEY ARE TO CONVEY AND COOPERATE FULLY WITH EACH OTHER DURING THE COURSE OF CONSTRUCTION TO DETERMINE THE EXACT EXTENT OF OVERLAP OF EACH OTHERS WORK, AND TO SUCCESSFULLY COMPLETE THE EXECUTION OF THE WORK.
- D.** ALL SUBCONTRACTOR WORK SHALL BE OF QUALITY TO PASS INSPECTIONS BY LOCAL AUTHORITIES, LENDING INSTITUTIONS, ARCHITECT, OR CONTRACTOR. ANY ONE OR ALL OF THE ABOVE MENTIONED INSPECTORS MAY INSPECT WORKMANSHIP AT ANY TIME, AND ANY CORRECTIONS NEEDED TO ENHANCE THE QUALITY OF BUILDING WILL BE DONE IMMEDIATELY.
- E.** EACH SUBCONTRACTOR, UNLESS SPECIFICALLY EXEMPTED BY THE ITEMS OF HIS/HER SUBCONTRACTOR AGREEMENT, SHALL BE RESPONSIBLE FOR CLEANING UP AND REMOVING FROM THE JOBSITE ALL TRASH AND DEBRIS NOT LEFT BY OTHER SUBCONTRACTORS. CONTRACTOR WILL DETERMINE HOW SOON AFTER SUBCONTRACTOR COMPLETES EACH PHASE OF HIS/HER WORK THAT TRASH AND DEBRIS WILL BE REMOVED FROM THE SITE.
- F.** ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, ERECTED, USED, CLEANED, AND CONDITIONED IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- G.** ALL ALTERNATES ARE AT THE OPTION OF THE OWNER AND SHALL BE AT THE OWNERS REQUEST, CONSTRUCTED IN ADDITION TO OR IN LIEU OF THE TYPICAL CONDITION.

<b>CODE AUTHORITIES:</b> VILLAGE OF HOMEWOOD BUILDING DEPARTMENT 2020 CHESTNUT RD. HOMEWOOD, IL 60430 TEL: 708-206-3556 EMAIL: buildingdepartment@homeewood.gov	<b>ARCHITECT:</b> MICHAEL J. ROOT IDEAL DESIGNS 10767 163RD. PLACE ORLAND PARK, IL 60467 TEL: 708-407-8028
VILLAGE OF HOMEWOOD FIRE DEPARTMENT 17500 ZIEE HIGHWAY HOMEWOOD, IL 60430 TEL: 708-206-3400	<b>CONTRACTOR:</b> DOMANI CONSTRUCTION & DEVELOPMENT, INC. 15915 CRYSTAL OXIDE DR., SUITE C HOMER GLEN, IL 60491 TEL: 708-850-4453

<b>BUILDING CODES</b>	
LATEST VILLAGE OF HOMEWOOD AMENDMENTS 2018 INTERNATIONAL BUILDING CODE (IBC) 2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC) 2018 INTERNATIONAL MECHANICAL CODE (IMC) 2018 INTERNATIONAL FUEL GAS CODE (IFGC) 2018 INTERNATIONAL FIRE CODE (IFC) 2024 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) #ILLINOIS AMENDMENTS	2014 ILLINOIS STATE PLUMBING CODE (ISPC) 2017 NATIONAL ELECTRIC CODE (NEC) 2018 ILLINOIS ACCESSIBILITY CODE

<b>SCOPE OF WORK</b>
- AN ADDITION TO EXISTING ONE STORY COMMERCIAL BUILDING. AREA OF ADDITION : 1,347 SF - APPROXIMATELY 447 SF OF EXISTING WAITING ROOM TO BE REMODELED.

<b>PROJECT INDEX</b>	
T-1	TITLE SHEET
T-1.1	GENERAL INFORMATION, ADA NOTES & DETAILS
T-1.2	ARCHITECTURAL SITE PLAN
T-1.3	LIFE SAFETY PLAN
D-1	EXISTING/REMOVAL PLAN
D-1.1	EXISTING/REMOVAL ELEVATIONS
A-1	FLOOR PLAN - NEW CONSTRUCTION
A-1.1	EXTERIOR ELEVATIONS - NEW CONSTRUCTION
A-2	REFLECTIVE CEILING PLAN - NEW CONSTRUCTION
A-2.1	ROOF PLAN - NEW CONSTRUCTION
A-2.2	ROOF DETAILS
A-3	DOOR & HARDWARE SCHEDULES
A-4	ROOM FINISH PLAN & SCHEDULE
A-5	CABINETS ELEVATIONS AND WALL SECTIONS
A-5.1	BUILDING SECTION
A-6	PARTITION SECTIONS & INTERIOR ELEVATIONS
A-7	ENERGY CODE REQUIREMENTS
S-1	FOUNDATION PLAN
S-2	FOUNDATION SECTIONS & DETAILS
M-0.1	MECHANICAL SYMBOLS AND ABBREVIATIONS
M-0.2	MECHANICAL SPECIFICATIONS
M-1.0	MECHANICAL FLOOR PLAN
M-2.0	MECHANICAL DETAILS
E-0.1	ELECTRICAL SYMBOLS AND ABBREVIATIONS
E-0.2	ELECTRICAL SPECIFICATIONS
E-0.3	FIRE ALARM SPECIFICATIONS
E-1.1	ELECTRICAL POWER PLAN
E-1.2	ELECTRICAL LIGHTING PLAN & LIGHTING FIXTURE SCHEDULE
P-0.1	MECHANICAL SYMBOLS AND SPECIFICATIONS
P-0.2	PLUMBING SCHEDULE & DIAGRAMS
P-1.1	PLUMBING PLAN & DETAILS
P-2.1	PLUMBING DETAILS

<b>RESPONSIBILITY STATEMENT</b>
IT SHALL BE THE RESPONSIBILITY OF CONTRACTOR, OWNER/ CONTRACTOR CARPENTER AND CONCRETE CONTRACTOR TO HAVE FULL SET OF DRAWINGS "MARKED CONSTRUCTION", WITH LATEST REVISION DATE MARKED. IF DIMENSIONAL ERRORS ARE FOUND BETWEEN DIMENSIONS ON FOUNDATION, FIRST, AND SECOND FLOOR DRAWINGS, ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT PROCEED UNTIL THE DISCREPANCY IS RESOLVED. A LETTER OF DIRECTION OR A REVISED DRAWING SHALL BE PREPARED IMMEDIATELY FOR CONTRACTORS, OWNER, AND ARCHITECTS RECORD.

<b>DISCLAIMER STATEMENT</b>
THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE OWNERS AND THE CONTRACTORS RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE OWNERS OR CONTRACTORS CONDUCT OR EXECUTION TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE ARCHITECT SHALL NOT HAVE CONTROL OVER ACTS OR OMISSIONS OF THE OWNER, CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.

<b>CERTIFICATION</b>
I HEREBY CERTIFY THAT THESE DRAWINGS AND SPECIFICATIONS WERE PREPARED IN MY OFFICE UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF CONFORM TO ALL APPLICABLE CODES AND ORDINANCES OF VILLAGE OF HOMEWOOD, ILLINOIS MICHAEL J. ROOT ARCHITECT 03/10/2026
LICENSE NO. 001-00675

**IDEAL DESIGNS**  
ARCHITECTS / DESIGNERS  
10767 163RD. PLACE  
ORLAND PARK, ILLINOIS  
T: (708) 407-8028  
gube@idealdesigns.com  
www.idealdesigns.com

ADDITION TO COMMERCIAL BLDG FOR: DOMANI BUILDERS 18114 GOTTSCHALK AVE. HOMEWOOD, ILLINOIS

DATE: 03/10/2026  
  
LICENSE EXP. DATE: 11/30/2026

DESIGN FIRM REG. NO.	184.006972
EXP. DATE	4/30/2026

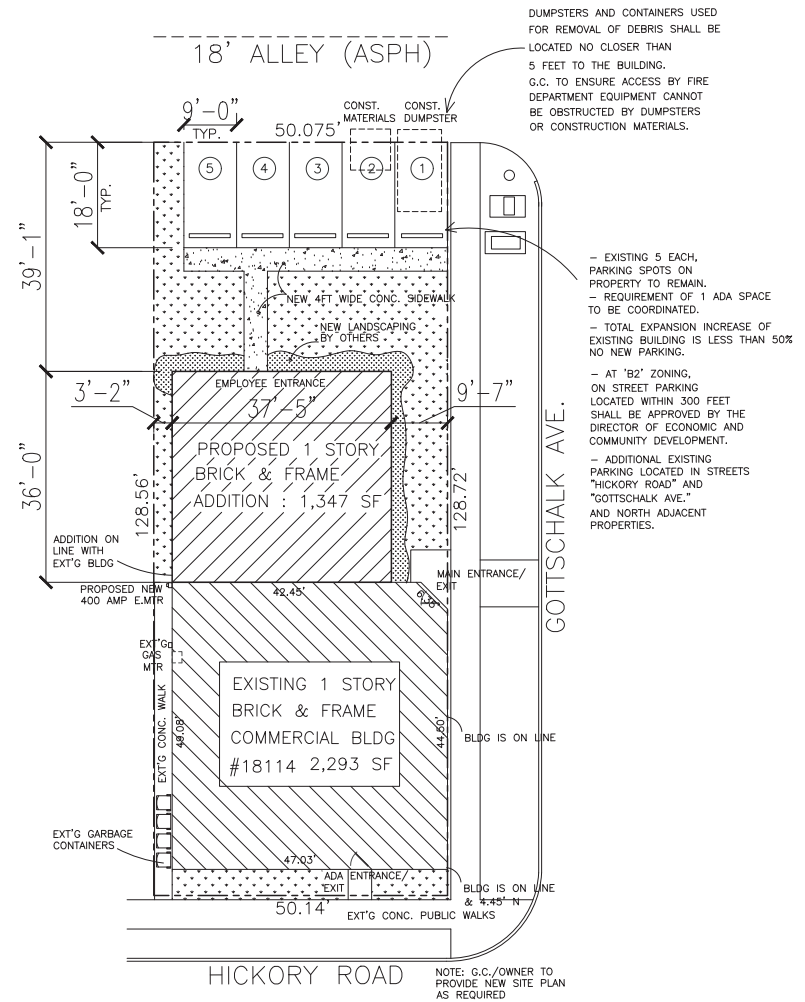
<b>REVISIONS</b>		
REV #	DATE:	REV. PER:

DATE: 03/10/26  
DRAWN BY: JV  
PROJECT NO. 26002  
SHEET NAME

TITLE SHEET

SHEET NUMBER  
**T-1**

OFF-STREET PARKING:			
	REQUIRED MINIMUM	ACTUAL	COMPLY
OFFICE AREA	(1 SPACES PER 200 SF OF GROSS FLOOR AREA)	3,640 SF DENTAL OFFICE = 19 SPACES EXISTING 5 SPACES ON PROPERTY	NO



**1** PROPOSED SITE PLAN  
SCALE: 1" = 10'-0"





REVISIONS

REV # DATE: REV. PER:

REV #	DATE	REV. PER.

DATE 03/10/26

DRAWN BY: JV

PROJECT NO. 26002

SHEET NAME

LIFE SAFETY PLAN

SHEET NUMBER

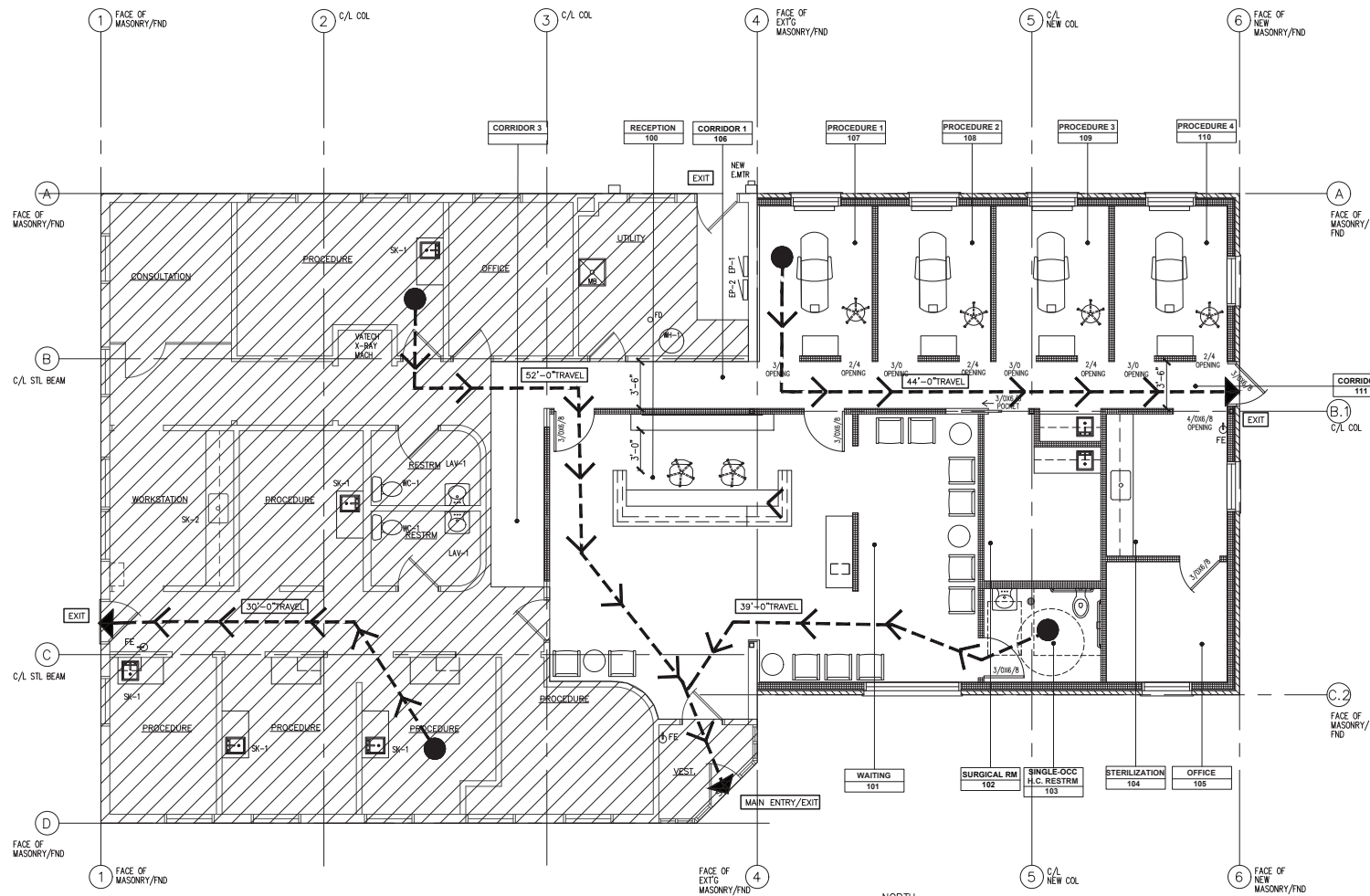
T-1.3

**LIFE SAFETY LEGEND**

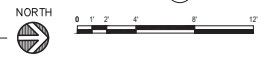
- EXIT ACCESS
- TRAVEL PATH
- EXIT ACCESS TRAVEL DISTANCE

**LEGEND**

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING INTERIOR WALL TO REMAIN
- NEW INTERIOR GYPSUM BOARD WALL
- PARTITION TYPE TAG - SEE SHEET A-6
- DOOR TYPE TAG - SEE SHEET A-3
- N.L.C. - NOT IN CONTRACT, NO WORK



1 T-1.3 LIFE SAFETY COMPLIANCE PLAN  
SCALE: 1/4"=1'-0"



**FRAMING NOTES:**  
 LIVE LOAD 20#/S.F. AND DEAD LOAD 10#/S.F.  
 CEILING JOISTS, AND HEADERS SHALL BE CANADIAN LUMBER BASED UPON U.S. SPAN BOOKS.  
 ALLOWABLE SPANS ARE AS FOLLOWS:  
 CEILING JOISTS, O.G. ATTACHED:

HEM-FR #2	2"x8"	2"x10"	2"x12"
	17'-3"	21'-11"	25'-5"
HEM-FR SS	2"x8"	2"x10"	2"x12"
	18'-0"	23'-8"	> 28'-0"
SPRUCE-PINE-FR #2	2"x8"	2"x10"	2"x12"
	17'-9"	22'-3"	25'-9"
SPRUCE-PINE-FR SS	2"x8"	2"x10"	2"x12"
	18'-1"	23'-1"	> 28'-0"

**STEEL LINTEL SCHEDULE**

MARK	CLEAR SPAN (MAX)	EXTERIOR STEEL	BEARING EX END	NOTES
L1	3'-9"	(1) L 3 1/2" x 4" x 3/8"	6" MIN.	A, B
L2	7'-4"	(1) L 5" x 4" x 3/8"	6" MIN.	A, B

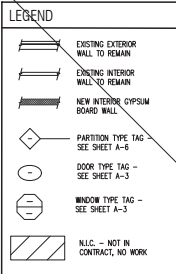
- NOTES:  
 A. LONG LEG OF THE ANGLE SHALL BE PLACED IN A VERTICAL POSITION.  
 B. PROVIDE THROUGH WALL FLASHING OVER THE TOP, EXTERIOR FACE AND BOTTOM LINTEL.  
 1. CORROSION PROTECTION SHALL BE GALVANIZED OR PRIMED & PAINTED.  
 2. STEEL TO COMPLY WITH ASTM A36 STANDARDS AT A MINIMUM.

**GENERAL ACCESSIBILITY NOTES**

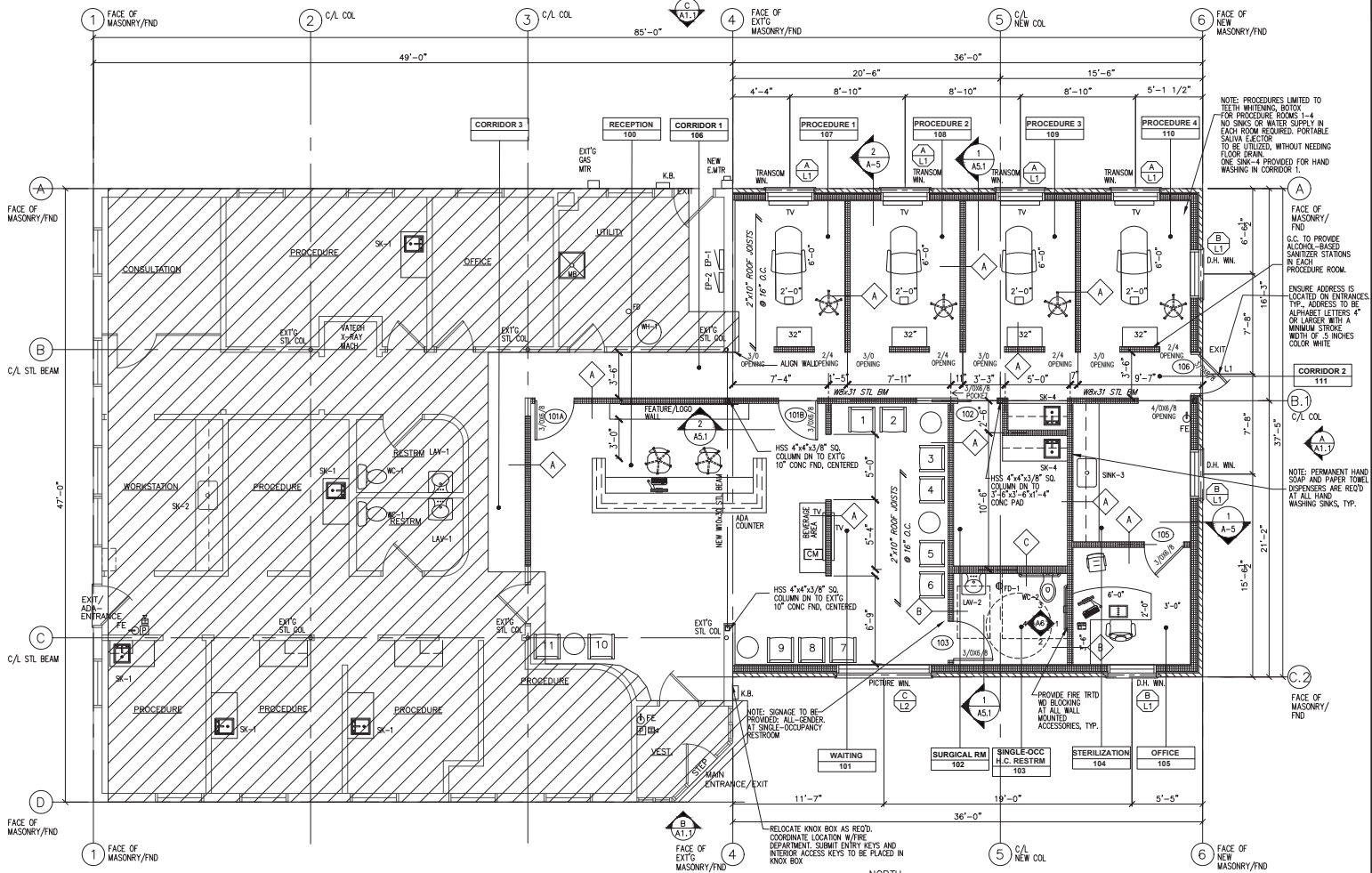
- ALL CONTROLS AND OPERATING MECHANISMS SHALL MEET COMPLIANCE WITH THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN & 2008 ILINCOIS ACCESSIBILITY CODE.

**FIRE PROTECTION SYMBOLS**

• WALL MTD FIRE EXTINGUISHER, AS REQ'D  
 ABC 2-A-A-60-BC (NOTE: ALL EXISTING FIRE EXTINGUISHERS TO BE UPDATED TO THE CURRENT YEAR.)  
 FIRE EXTINGUISHERS SHALL BE INSTALLED WITHIN 5 FEET OF ALL EGRESS DOORS.  
 FIRE EXTINGUISHERS SHALL BE MOUNTED NO HIGHER THAN 4 FEET AFF AT THE TOP OF THE EXTINGUISHER.  
 FE NOT TO PROJECT MORE THAN 4" OUT FROM WALL, TYP.  
 FE: PROVIDE FIRE EXTINGUISHER CABINET AS REQ'D  
 • COORDINATE LOCATION W/FIRE MARSHAL



CONCRETE CONTRACTOR: IT SHALL BE THE RESPONSIBILITY OF CONTRACTOR, OWNER, CONTRACTOR AND CONCRETE CONTRACTOR TO HAVE FULL SET OF ARCHITECTURAL DRAWINGS "MARKED CONSTRUCTION" WITH LATEST REVISION DATE MARKED. IF DIMENSIONAL ERRORS ARE FOUND ON FLOOR PLAN DRAWINGS ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT PROCEED UNTIL THE DISCREPANCY IS RESOLVED. A LETTER OF DIRECTION OR A REVISED DRAWING SHALL BE PREPARED IMMEDIATELY FOR CONTRACTORS, OWNER, AND ARCHITECTS RECORD.



**FLOOR PLAN - NEW CONSTRUCTION**  
 SCALE: 1/4"=1'-0"  
 ADDITION AREA = 1,347 SF  
 TOTAL AREA = 3,640 SF

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**ADDITION TO COMMERCIAL BLDG FOR: DOMANI BUILDERS**  
 18114 GOTTSCHALK AVE.  
 HOMEWOOD, ILLINOIS

DATE: 03/10/2026  
  
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DESIGN FIRM REG. NO. 184.006972  
 EXP. DATE 4/30/2026

**REVISIONS**

REV #	DATE	REV. PER.

DATE: 03/10/26  
 DRAWN BY: JV  
 PROJECT NO. 26002  
 SHEET NAME  
 PROPOSED FLOOR PLAN

SHEET NUMBER  
**A-1**



PLUMBING FIXTURE SCHEDULE & SPECIFICATIONS

SYMBOL	DESCRIPTION	MINIMUM BRANCH CONNECTION SIZE (N)				TRAP SIZE (N)	FIXTURE UNIT (WSFU/DFU)	FIXTURE			FLUSH VALVE/FAUCET			TYPICAL LOCATION	REMARKS
		WASTE	VENT	CM	HW			MANUFACTURER/MODEL	FINISH	MANUFACTURER/MODEL	FINISH				
WC-1	EXISTING WATER CLOSET (ADA COMPLIANT)	4	2	3/4	-	4	3	4					RESTROOMS	FLOOR MOUNT FLUSH TANK, 1.6 GPM, ANTI-MICROBIAL PLASTIC OPEN FRONT SEAT, NO COVER, SELF-SUSTAINING CHECK HINGE, TOP LEVER ON RIGHT	
WC-2	EXISTING WATER CLOSET (ADA COMPLIANT)	4	2	3/4	-	4	3	4	TOTO CS77AC(S)	WHITE	-	-	NEW RESTROOM	FLOOR MOUNT, TORNAO FLUSH SYS, 1.6 GPM, 2 1/8" TRAP/ANTI-MICROBIAL PLASTIC OPEN FRONT SEAT, NO COVER, SELF-SUSTAINING CHECK HINGE	
LAV-1	EXISTING LAVATORY (ADA COMPLIANT)	1-1/2	2	1/2	1/2	1-1/2	2	2					RESTROOMS	WALL MTD, 24" WIDE X 18" D X 5 1/4", LEVER HANDLE FAUCET, TRUEBRO HAND LAV-GUARD INSULATOR KIT FOR W, CM, AND HW WHERE REQUIRED, PROVIDE TMV	
LAV-2	LAVATORY (ADA COMPLIANT)	1-1/2	2	1/2	1/2	1-1/2	2	2	TOTO LHT24(G)	WHITE	AMERICAN STANDARD 7385.008	CHROME	NEW RESTROOM	WALL MTD, MANUAL OPERATED FAUCET, ADA COMPLIANT, SINGLE HOLE, 0.5 GPM, TRUEBRO HAND LAV-GUARD INSULATOR KIT FOR W, CM, AND HW WHERE REQUIRED, PROVIDE TMV	
SK-1	EXISTING SINK	2	2	1/2	1/2	2	2	2		STAINLESS STEEL	ELKAY LK400	CHROME		DROP-IN SINK, ADA COMPLIANT, 1 HOLE, 6" DEPTH, SS DRAIN FITTING AND STRAINER, SINGLE HOLE DECK MOUNT FAUCET WITH LEVER HANDLE, 1.5 GPM FLOW RATE	
SK-2	EXISTING SINK, TREATMENT ROOM	2	2	1/2	1/2	2	2	2		STAINLESS STEEL	ELKAY LK406GD414	CHROME	PROCEDURE ROOM	DROP-IN SINK, ADA COMPLIANT, 3 HOLES, 6 1/2" DEPTH, SS DRAIN FITTING AND STRAINER, EXPOSED DECK MOUNT FAUCET WITH 4" COGNESCOP SPOUT & 4" WRISTBLADE HANDLES	
SK-3	SINK, TREATMENT ROOM	2	2	1/2	1/2	2	2	2	ELKAY/LANDI3166SPD	STAINLESS STEEL	ELKAY LK406GD414	CHROME	SURGICAL ROOM	DROP-IN SINK, ADA COMPLIANT, 3 HOLES, 6 1/2" DEPTH, SS DRAIN FITTING AND STRAINER, EXPOSED DECK MOUNT FAUCET WITH 4" COGNESCOP SPOUT & 4" WRISTBLADE HANDLES	
SK-4	SINK, TREATMENT ROOM	2	2	1/2	1/2	2	2	2	FOHERRAND/06-008-459	STAINLESS STEEL	ELKAY LK406GD414	CHROME	STERILIZATION	DROP-IN SINK, ADA COMPLIANT, 3 HOLES, 7 1/2" DEPTH, SS DRAIN FITTING AND STRAINER, EXPOSED DECK MOUNT FAUCET WITH 4" COGNESCOP SPOUT & 4" WRISTBLADE HANDLES	
TMV	THERMOSTATIC MIXING VALVE	-	-	-	-	-	-	-	LAHLER TMV 1000	-	-	-	RESTROOMS, TREATMENT, BREAK ROOM SINKS	ASSE 1070 COMPLIANT, SET FOR 110 DEG F MAXIMUM	
MS	EXISTING MOP SINK (ON SLAB)	4	2	3/4	3/4	3	3	3					UTILITY	24X24 MOP BASIN, FAUCET WITH ELEVATED VACUUM BREAKER	
FD-1	FLOOR DRAIN (ON SLAB)	4	2	-	-	3	-	2	JAY R SMITH	NICKEL BRONZE	-	-	RESTROOMS, CLOSET W/WATER HEATER	MODEL 2010-B-U (RESTROOMS) WITH SQUARE TOP, SEDIMENT BUCKET, AND VALDAPROOF SCREENS, MODEL 2120-B (AT WATER HEATER), MODEL 3510-F11 (FUNNEL)	
CD	CLEANOUT	-	-	-	-	-	-	-	JAY R SMITH	NICKEL BRONZE	-	-		MODEL 4422 (WALL), MODEL 4140 (W/M), MODEL 4020-PB-Y (CARPET), MODEL 4040-PB (CERAMIC), MODEL 4020-PB (CEMENT)	
ET	EXPANSION TANK	-	-	-	-	-	-	-	WILKINS XT-18	BLAZER TANK	-	-	UTILITY	TOTAL VOLUME 4.8 GALLONS, MAX ACCEPTANCE VOLUME 2.4 GALLONS, 3/4" CONNECTION	
HWC	HOT WATER CIRCULATOR	-	-	-	-	-	-	-	BAG MBF-36	ALL BRONZE	-	-	UTILITY	45 GPM AT 15FT HEAD, 270W, 120V/1PH, 2.3 FLA, 3300 RPM, HWC TO BE CONTROLLED BY TIME CLOCK	

- NOTES:  
1. FIXTURES SHALL MEET "LEAD FREE" STANDARDS AS DICTATED BY NSF.  
2. PROVIDE MATCHING SILENCE RESISTANT WHERE FIXTURE MOUNTS WALL, FLOOR, OR COUNTER.  
3. PROVIDE CHROME PLATED STOPS, SUPPLIES, AND ESCUTCHEON PLATES.  
4. EXPOSED WASTE PIPING SHALL BE CHROME PLATED.  
5. REFER TO THE RISER DIAGRAMS FOR QUANTITY AND LOCATIONS OF THERMOSTATIC MIXING VALVES.  
6. ALL FLOOR DRAINS TO BE HONEYWELL.  
7. ALL WASTE/VENT LINES ARE TO BE SCH. 40 PVC.

☐= EXISTING

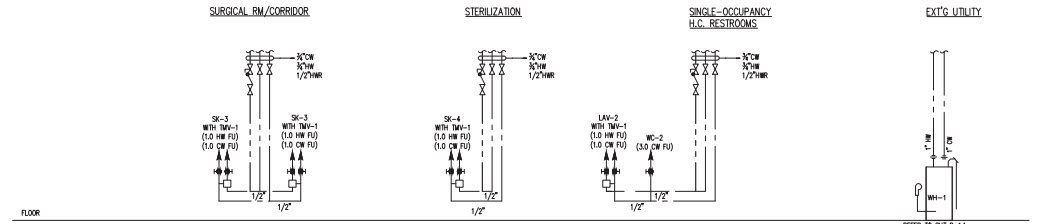
WATER SUPPLY FIXTURE UNITS - WSFU TOTAL

WSFU = 36 = PER ILLINOIS PLUMBING CODE, 1 1/4" WATER SUPPLY PIPE AND 1" WATER METER SIZE REQUIRED, PLUMBING CONTRACTOR TO VERIFY EXISTING IN FIELD AND COORDINATE REPLACEMENT AS REQUIRED.

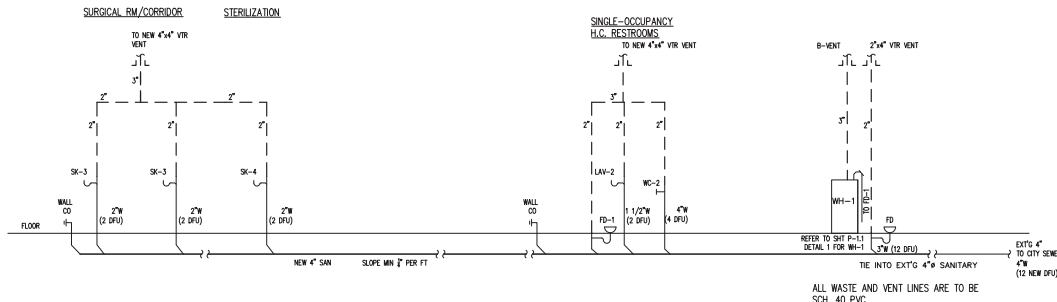
WATER HEATER SCHEDULE

SYMBOL	EQUIPMENT	SERVICE	MANUFACTURER & MODEL NO.	LOCATION	(FIR) OUTLET TEMP. DEG. F	CAPACITY		TANK CAPACITY GALLONS	REMARKS
						INPUT MBTU/HR	RECOVERY CAPACITY GPH AT 100°F RISE		
WH-1	WATER HEATER	EXTG & ADDITION	BRANDFORD WHITE LCP2050H/63N	UTILITY	120	76	82	50	GAS FIRED WATER HEATER, 94% THERMAL EFFICIENCY, 3/4" WATER CONNECTIONS, 3/4" GAS CONNECTION, 225 LBS, 3" PVC VENT AND COMBUSTION AIR PIPING, CONDENSATE NEUTRALIZATION KIT, 30A AT 120V 1PH

- NOTES:  
1. CONTRACTOR TO EVALUATE CONDITION OF EXISTING WATER HEATER AND REPLACE AS REQUIRED WITH LISTED ABOVE.  
2. MODEL/MANUF. CAN BE SIMILAR, BUT WATER HEATER TO BE HIGH-EFFICIENCY ET SERIES COMMERCIAL GRADE GAS UNIT, WITH POWER VENT, ENSURE 120V OUTLET IS NEARBY IN EXISTING UTILITY ROOM.



HOT & COLD WATER SUPPLY DIAGRAM



SANITARY & VENT DIAGRAM



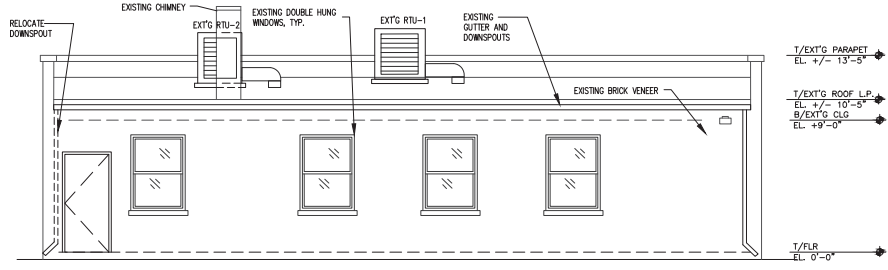
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D-1.1 SCALE: 1/4"=1'-0"



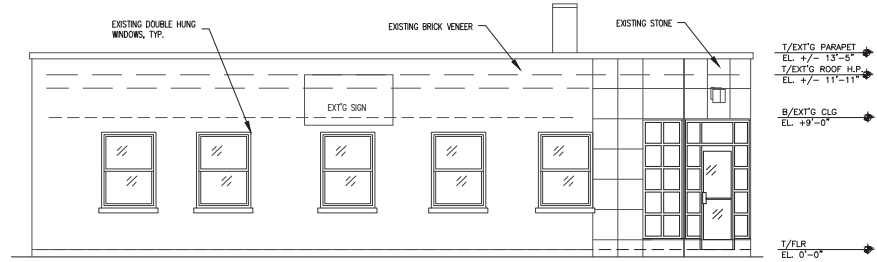
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D-1.1 SCALE: 1/4"=1'-0"



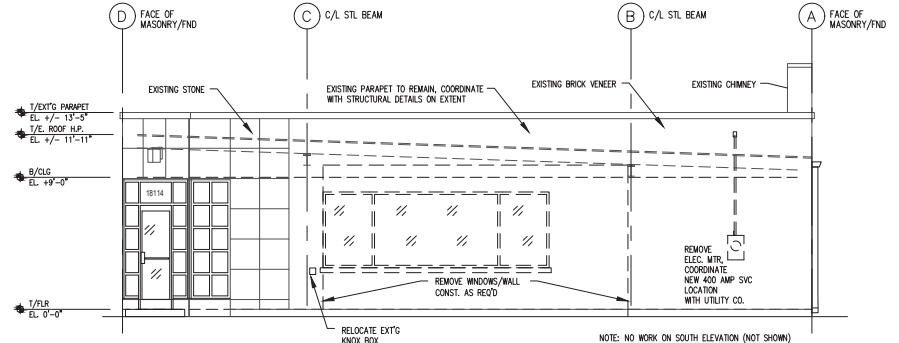
1 EXISTING PHOTO  
D-1.1 SCALE: 1/4"=1'-0"



C WEST ELEVATION - EXISTING/DEMO  
D-1.1 SCALE: 1/4"=1'-0"



B EAST ELEVATION - EXISTING/DEMO  
D-1.1 SCALE: 1/4"=1'-0"



A NORTH ELEVATION - EXISTING/DEMO  
D-1.1 SCALE: 1/4"=1'-0"

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REVISIONS

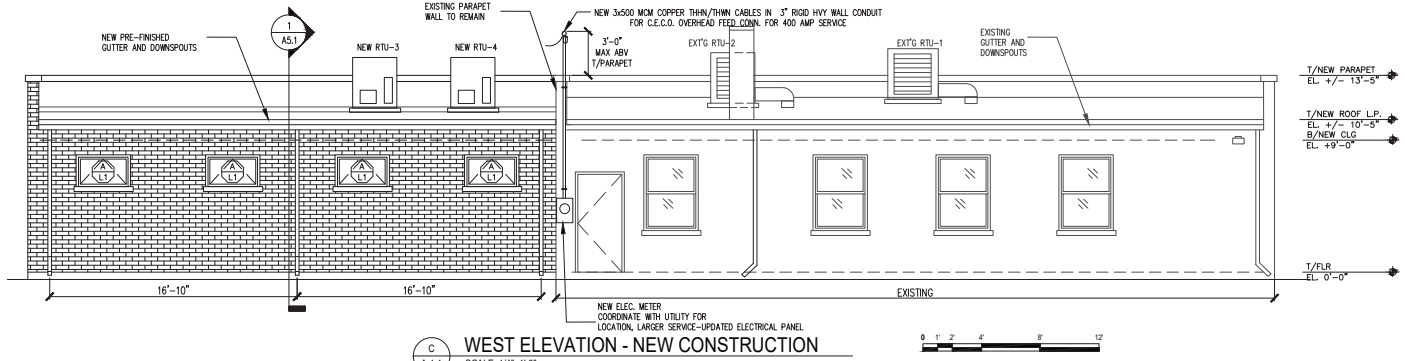
REV #	DATE	REV. PER.

DATE  
03/10/26  
DRAWN BY: JVV  
PROJECT NO.  
26002  
SHEET NAME  
EXISTING  
ELEVATIONS

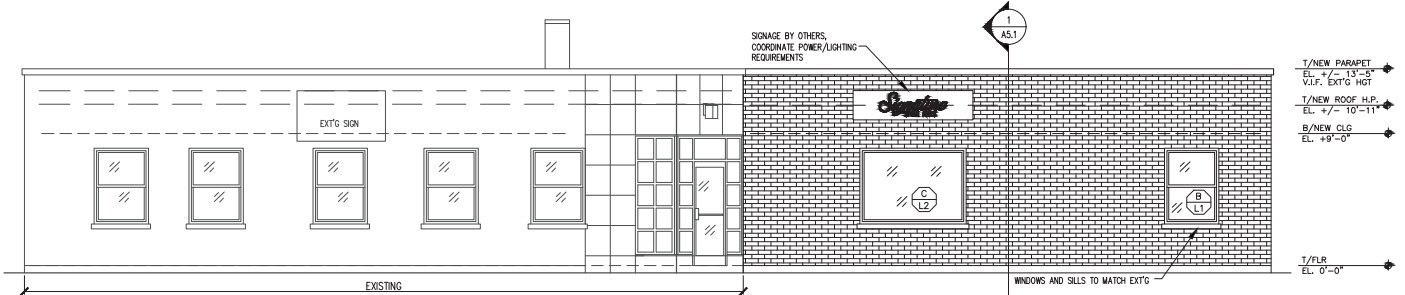
SHEET NUMBER  
**D-1.1**

**GENERAL CONSTRUCTION NOTES**

- ALL CONTRACTORS SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND MATERIALS IN THE FIELD, AND REVIEW ALL PROPOSED NEW CONSTRUCTION PRIOR TO SUBMITTING BIDS AND STARTING CONSTRUCTION OR DEMOLITION. NOTIFY OWNER IN WRITING OF ANY DISCREPANCIES. FAILING TO MEET THIS REQUIREMENT SHALL NOT CAUSE FOR ANY ADDITIONAL COMPENSATION.
- ALL DIMENSIONS SHALL BE VERIFIED. WRITTEN DIMENSIONS, AND/OR LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE. DO NOT SCALE THE DRAWINGS.
- ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER. ALL MATERIALS AND EQUIPMENT SHALL BE USED AND INSTALLED IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES, ORDINANCES, REGULATIONS, ETC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST AND ACQUISITION OF ALL NECESSARY BUILDING PERMITS. PERMITS SHALL BE POSTED ON THE JOBSITE AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- ALL CONTRACTORS SHALL FURNISH AND INSTALL ALL NEW MATERIALS, FIXTURES, EQUIPMENT, ETC. AS INDICATED AND/OR SPECIFIED, AND AS REQUIRED TO COMPLETE THE WORK, WHETHER SPECIFICALLY CALLED FOR OR NOT. ANY DETAILS NOT SPECIFICALLY INDICATED ON THE DRAWINGS SHALL BE DETERMINED BY THE CONTRACTOR AND SHALL NOT BE EXECUTED WITHOUT THE OWNER'S APPROVAL.
- THE CONTRACTOR SHALL SUBMIT TO THE OWNER, FOR APPROVAL, A LIST OF MATERIALS, FIXTURES, AND EQUIPMENT, INCLUDING TYPE AND QUALITY TO BE USED IN THE CONSTRUCTION OF THIS WORK. COLORS AND FINISHES SHALL BE SELECTED BY THE OWNER, UNLESS NOTED OTHERWISE.
- ALL MATERIALS SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS. THESE RECOMMENDATIONS SHALL TAKE PRECEDENCE OVER CONFLICTING DETAIL DRAWINGS FOUND WITHIN.
- ALL CONTRACTORS SHALL BE RESPONSIBLE FOR THE UNLOADING, STORAGE, INSPECTION, AND LOSS OR DAMAGE OF MATERIALS AFTER RECEIPT, WHETHER PURCHASED BY THE CONTRACTOR OR SUPPLIED BY THE OWNER.
- ALL CONTRACTORS ARE RESPONSIBLE FOR COORDINATING THEIR WORK WITH OTHER TRADES. WORK SHALL BE PROPERLY SEQUENCED TO AVOID DELAYS OR CONFLICTS WITH THE INTERCONNECTED WORK OF OTHERS.
- APPROPRIATE CONTRACTORS SHALL SUBMIT (1) REPRODUCIBLE COPY AND (4) COPIES OF SHOP DRAWINGS OF ALL NEW CONSTRUCTION (DOORS, DOOR FRAMES, CASEWORK, EQUIPMENT CUTS, HARDWARE SCHEDULE, MECHANICAL/ELECTRICAL AND PLUMBING ITEMS, SAMPLES OF ALL FINISHES, ETC.) TO THE OWNER/ARCHITECT FOR FINAL REVIEW PRIOR TO ANY PURCHASE, FABRICATION, OR INSTALLATION. THE GENERAL CONTRACTOR SHALL REVIEW THE SHOP DRAWINGS PRIOR TO SUBMITTING THEM TO THE OWNER/ARCHITECT FOR REVIEW. THE SHOP DRAWINGS SHALL INDICATE ALL DIMENSIONS, MATERIALS, AND DETAILS OF FABRICATION, CONSTRUCTION, CONNECTIONS, AND INSTALLATION FOR PROPER FIT AND COORDINATION WITH RELATED OR ADJACENT WORK.
- SEE PLUMBING, FIRE PROTECTION, ELECTRICAL, AND ROOM FINISH DRAWINGS FOR COORDINATION, ADDITIONAL INFORMATION, AND DETAILS.
- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.
- PROVISIONS FOR, AND LOCATIONS OF, FIRE EXTINGUISHERS, FIRE HOSES, SMOKE DETECTORS, SECURITY SYSTEMS, TEMPERATURE CONTROLS, EMERGENCY SYSTEMS, ETC. SHALL BE MADE JOINTLY BETWEEN THE OWNER, CONTRACTOR, AND THE AUTHORITY HAVING JURISDICTION, IF THE EQUIPMENT IS NOT ALREADY INDICATED ON THE DRAWINGS.
- ALL REQUIRED FIRESTOPPING SHALL BE INSTALLED IN ACCORDANCE WITH ALL STATE AND LOCAL CODES.
- ALL FINISHES SHALL BE CLASS 1, APPROVED BY A RECOGNIZED THIRD PARTY TESTING AGENCY.
- THERMAL AND SOUND INSULATING MATERIALS IN EXPOSED OR CONCEALED INSTALLATIONS SHALL HAVE A FLAME SPREAD RATING OF 25 OR LESS, AND A SMOKE DEVELOPED RATINGS OF 450 OR LESS WHEN TESTED IN ACCORDANCE WITH ASTM-E84.
- ALL ANGLES SHALL BE INDICATED AT 45° UNLESS NOTED OTHERWISE.
- NO ALTERATION TO WORK OR SUBSTITUTION OF MATERIALS WILL BE ACCEPTED UNLESS APPROVED BY OWNER IN ADVANCE.
- ALL DEFECTIVE OR INFERIOR MATERIALS, SLOPPY WORKMANSHIP, AND OTHER DEFICIENCIES SHALL BE CORRECTED AND/OR REPLACED BY THE APPROPRIATE CONTRACTORS AT THEIR EXPENSE.
- ALL CONTRACTORS SHALL BE RESPONSIBLE TO RESTORE OR REPLACE ALL DAMAGED OR REMOVED WORK (EXISTING OR NEW) TO THE SAME CONDITION AS ORIGINAL AT THEIR EXPENSE.
- IF THE DAMAGE IS NOT REPAIRED, THE OWNER SHALL HAVE THE RIGHT TO HAVE THE DAMAGE REPAIRED, AND SHALL HOLD LIABLE THE PARTY FOUND RESPONSIBLE FOR THE DAMAGE, WHETHER DIRECT OR INDIRECT. THE OWNER RETAINS THE RIGHT TO COLLECT DAMAGES IN ANY LEGAL MANNER.
- ALL CONTRACTORS SHALL COORDINATE HOURS OF WORK, REMOVAL, AND DELIVERY OF MATERIALS WITH THE GENERAL CONTRACTOR.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE SITE CLEAN AT ALL TIMES, AND DISPOSING OF DEBRIS FOR BUILDING REQUIREMENTS.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE BUILDING AND SITE CLEAN UPON COMPLETION OF WORK.
- ALL WORK MUST MEET THE OWNER'S APPROVAL BEFORE FINAL PAYMENT IS MADE.
- ALL WORK SHALL BE GUARANTEED FOR NOT LESS THAN ONE YEAR.
- THE COMPLETED PROJECT SHALL BE TURNED OVER TO THE OWNER IN COMPLETE OPERATING CONDITION, REGARDLESS OF THE DRAWINGS, REFERENCE NOTES, OR SPECIFICATIONS, WHICH MAY NOT COVER EVERY DETAIL.
- THE OWNER SHALL HAVE CONTROL OF ALL OPERATIONS AND SHALL ACCEPT OR REJECT THE SCHEDULE AND PERFORMANCE OF THE CONTRACTOR.
- UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL PROVIDE AS-BUILTS (ELECTRICAL, PLUMBING, FIRE PROTECTION, ETC.) AND OPERATING MANUALS FOR ALL EQUIPMENT AND SYSTEMS INSTALLED.
- SIGNS: ANY SIGNS PLANNED FOR THE BUSINESS NEED TO BE APPLIED FOR UNDER A SEPARATE SIGN PERMIT.
- IT IS THE INTENT OF THESE CONTRACT DOCUMENTS TO INCLUDE ALL LABOR, MATERIALS, ANY TOOLS OR EQUIPMENT NECESSARY, EXPANDABLE EQUIPMENT, ALL TEMPORARY UTILITIES, TRANSPORTATION SERVICES, AND ANY OTHER INCIDENTAL SERVICES REQUIRED FOR THE COMPLETE CONSTRUCTION OF WORK REFERRED TO AND INDICATED.
- ALL CONSTRUCTION WORK AND MATERIALS ENTERING INTO THE PROJECT SHALL IN ADDITION TO COMPLYING WITH THE CONTRACT DOCUMENTS, SHALL ALSO FULLY COMPLY WITH ALL THE REQUIREMENTS OF THE LOCAL BUILDING CODES AND ALL ORDINANCES, REGULATIONS, ETC., OF OTHER PUBLIC AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF WORK.
- THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF WORK THAT IS TO BE PERFORMED. THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE THE WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. ON THE BASIS OF THE GENERAL WORK INDICATED, DESCRIBED OR IMPLIED, THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- THESE DRAWINGS REPRESENT WHAT IS TO BE THE END RESULT OF THE PROJECT AND DO NOT ACCOUNT FOR UNKNOWN EXISTING FIELD CONDITIONS. IF EXISTING CONDITIONS VARY FROM WHAT IS SHOWN ON THE DRAWINGS, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.
- DIMENSIONS MAY VARY FROM THE DRAWINGS AND ACTUAL JOB SITE CONDITIONS. ALL WORK AND FIELD CONDITIONS SHALL BE VERIFIED BEFORE PROCEEDING WITH ANY WORK. IF ANY DISCREPANCY OCCURS, NOTIFY THE ARCHITECT IMMEDIATELY. EACH CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY AND ALL DISCREPANCIES CONCERNING THEIR INDIVIDUAL WORK.



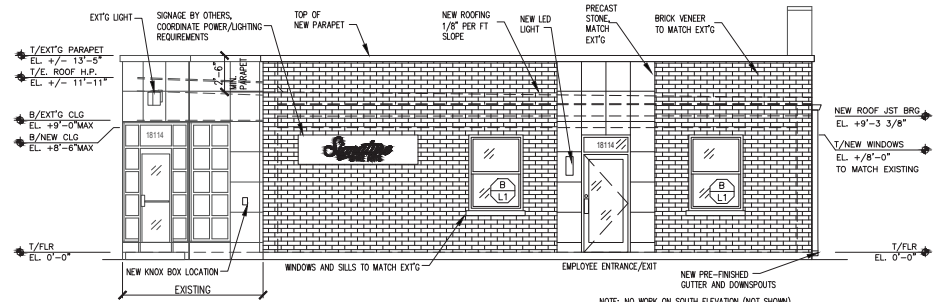
**WEST ELEVATION - NEW CONSTRUCTION**  
SCALE: 1/4"=1'-0"



**EAST ELEVATION - NEW CONSTRUCTION**  
SCALE: 1/4"=1'-0"

WINDOW SCHEDULE						
WINDOW MARK	MANUF.	PRODUCT CODE	U-FACTOR	DAYLIGHT SQ. FT.	VENT SQ. FT.	INTEL. WINDOW FRAME DIMS. REMARKS
A	ANDERSEN	AW41	0.25	7.2	2.0	L1 4'-0" W x 2'-4 3/8" ANNING
B	ANDERSEN	WH38410	0.25	14.05	7.66	L1 3'-0 5/8" W x 5'-0 7/8" H DOUBLE HUNG
C	ANDERSEN	PE650	0.25	25.7	-	L2 5'-11 7/8" W x 4'-11 7/8" H FIXED

- NOTES:  
 1. SEE SHT A-3 FOR HEADER SCHEDULE AND SHT A-1 FOR INTEL. SCHEDULE.  
 2. MANUFACTURER "ANDERSEN" OR EQUAL.  
 3. WINDOWS TO HAVE STANDARD HIGH-PERFORMANCE LOW-E4 GLASS



**NORTH ELEVATION - NEW CONSTRUCTION**  
SCALE: 1/4"=1'-0"

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ADDITION TO COMMERCIAL BLDG  
 FOR: DOMANI BUILDERS  
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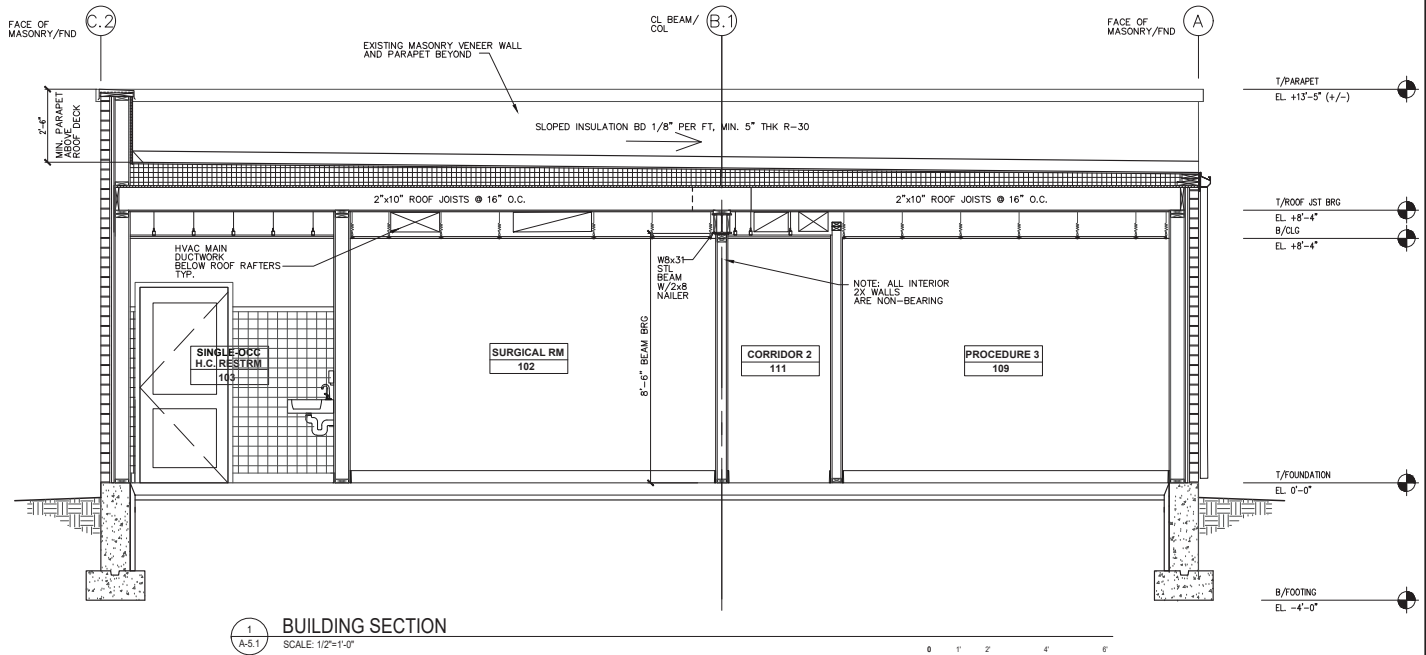
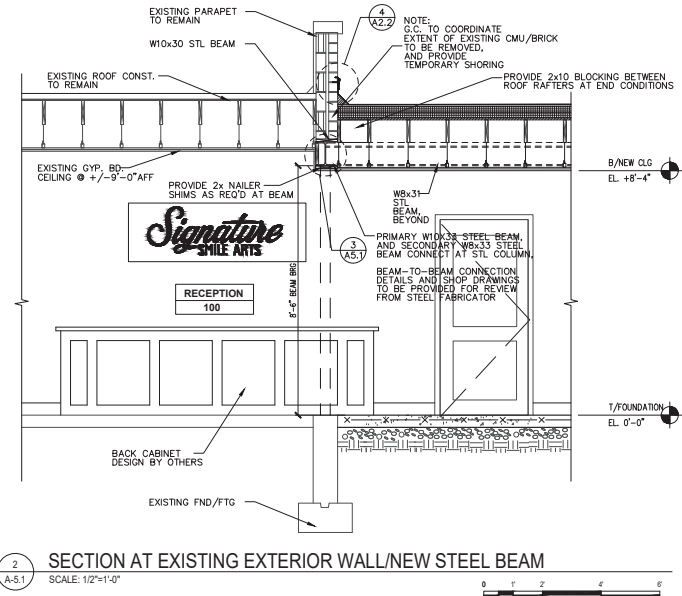
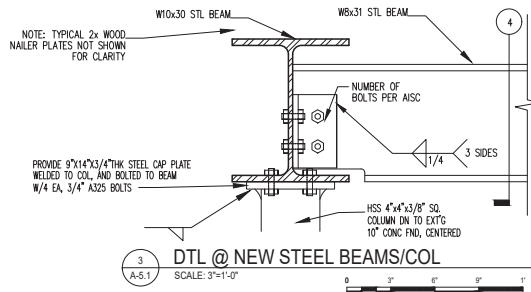
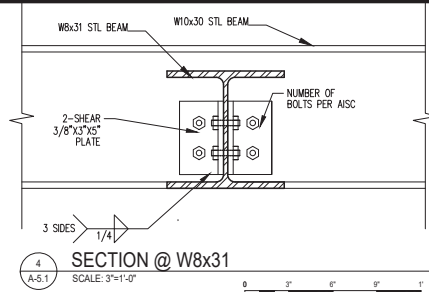
DATE: 03/10/26  
  
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DESIGN FIRM REG. NO.  
 184.006972  
 EXP. DATE  
 4/30/2026

REVISIONS  
 REV # DATE: REV. PER:  
  
 DATE  
 03/10/26  
 DRAWN BY: JV  
 PROJECT NO.  
 26002  
 SHEET NAME  
 PROPOSED  
 ELEVATIONS

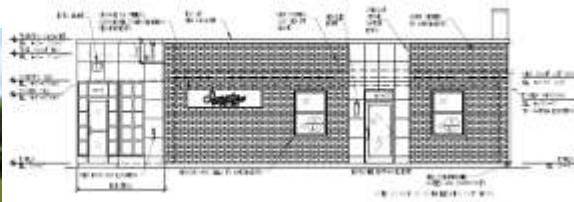
SHEET NUMBER  
**A-1.1**

REV #	DATE:	REV. PER:









**Currently Proposed Design**

- Cream-colored brick – similar to existing building
- Stone accents remain unpainted (including cornice)
- Window frame remain metallic silver or white
- Non-illuminated rectangular signage

**Alternative Design for Consideration**

- White-colored brick– lighter/less tan than existing building
- Some stone accents (cornice, sills) painted black
- Window frames replaced as black frames
- Illuminated back-lit signage

**The applicant has requested input from the Appearance Commission on the color/design selection for the building, as well as signage.**