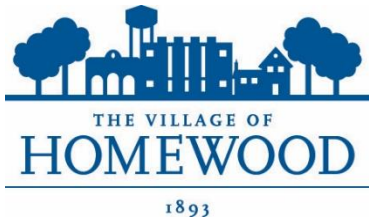


MEETING AGENDA



Appearance Commission - CANCELLED

Village of Homewood

December 01, 2022

Meeting Start Time: 6:00 PM

Village Hall Board Room

2020 Chestnut Road, Homewood, IL

Commission Meetings will be held as in-person meetings. In addition to in-person public comment during the meeting, members of the public may submit written comments by email to pzc@homewoodil.gov or by placing written comments in the drop box outside Village Hall. Comments submitted before 4:00 p.m. on the meeting date will be distributed to all Commission members prior to the meeting.

Please see the end of agenda for virtual meeting information.

1. Call to Order

2. Roll Call

3. Minutes:

Approve minutes from the Appearance Commission meeting on September 1, 2022.

4. Regular Business:

Case 22-44 Target Site Improvements – POSTPONED BY APPLICANT

5. Old Business:

6. New Business:

7. Adjourn

The public is invited to the meeting using the link below to join Webinar:
<https://us06web.zoom.us/j/84252322094?pwd=Y0dsUks1UFg2SXhGeDlnOEp>

To listen to the Meeting via phone: Dial: 1-312-626-6799
Webinar ID: 842 5232 2094 Passcode: 451976



**Village Of Homewood
Appearance Commission
Thursday, September 1, 2022
6:00 p.m.**

**Village Hall Board Room
2020 Chestnut Road
Homewood, IL 60430**

CALL TO ORDER: Chairman Wright called the meeting to order at 6:02 p.m.

ROLL CALL: Members Hrymak, Preston, Quirke, Zander, and Chairman Wright were present. Member Willis was absent. In attendance from the Village were Village Planner Valerie Berstene and Building Department Secretary Darlene Leonard. Six people were in the audience.

APPROVAL OF MINUTES: Chairman Wright asked if there were any changes or corrections to the minutes for July 7, 2022. There were no changes or corrections. There being no changes or corrections a motion was made by Member Zander to approve the minutes of July 7, 2022; seconded by Member Hrymak.

AYES: Members Hrymak, Preston, Quirke, Zander, and Chairman Wright.

NAYES: None

ABSTENTIONS: None

ABSENT: Member Willis

AGENDA ITEMS:

Case No. 22-27, Target Exterior Improvements.

Village Planner Berstene to presented the case.

Village Planner Berstene stated that Target is already over the allowed signage currently and they are adding new signage in the lot and on the building. The proposed signage would push the total to 650 square feet. There are no existing variances for exceeding the overage from the allotted 500 square feet.

Chairman Wright asked if the drive-up signs are only considered branding because of the logo in it.

Village Planner Berstene stated that the totals seem off, the paperwork stated the drive-up and logo on the building is 77 square feet but it's 5'8" x 43'.

Chairman Wright asked if the entire thing count towards signage, including the colored section on the wall.

Village Planner Berstene stated it's a good question and other businesses have had that count to the sign total.

Member Quirke asked if the entire wall is the signage.

Chairman Wright asked if it is painted wall or signboard behind it.

Edward Davies of Kimley-Horn and Associates, stated it is painted wall.

Member Preston stated it looks great and she has no complaints.

Member Hrymak asked if the new color is a corporate plan.

Mr. Davies stated it is a nationwide refurbishment/rebranding.

Member Hrymak stated the red color is not muted and is very bright on the parking signs and asked if the doors will remain that red.

Mr. Davies stated the red is true color, and the silver film will give the doors a more silver look.

Member Hrymak asked if they will have to consider the drive-up notices now because more places are having it. Member Hrymak stated he has been concerned about the maintenance of the property and the parking lot and stated he is concerned it won't be taken care of.

Member Quirke stated, regarding the pick-up signage, that he expects them to be gone in a year when people aren't worried about COVID anymore.

Member Quirke asked if the signage approval will carry over when they are gone. Member Quirke added that he does not think of them as advertising signage, but more directional signage. Member Quirke stated that it needs to be kept track of for the future and looked into how it will be handled.

Member Quirke asked if the number of disabled parking spaces and the proximity of them to the door isn't changing.

Member Hrymak stated by law they cannot do that.

Chairman Wright asked if it will be reviewed.

Village Planner Berstene stated it will be reviewed when they come in for the permit for the striping.

Member Zander stated he considers these as directional signage and added that if or when the ordinance is looked at a category for directional signage might need to be added.

Member Hrymak asked if it's approved, but they are determined to be directional signage and they become separate, would it bring down the amount and change it. Member Hrymak asked if it could be reduced or changed.

Chairman Wright stated that most opinions are that they are branding, but they will deal with it as best they can tonight.

Chairman Wright stated it looks great and they generally do not approve a lot of sign variances.

Chairman Wright asked if there is a Plan B developed if it isn't approved.

Mr. Davies stated it does happen from time to time and they would have to take it back to Target. In the past that has resulted in the time frame being pushed back.

Chairman Wright asked for a motion to approve Case 22-27 Target Exterior Improvements for 17605 Halsted and recommend approval of a variance from the maximum gross signage area of 150 square feet for target at 17605 Halsted. Motion was made by Member Quirke to recommend approval of Case 22-27 – Target Exterior Improvements, Seconded by Member Preston.

Member Quirke stated that he doesn't think adding the 150 square feet without a deadline of removal if the signage is removed and that it is signage, but it's more directional.

Member Preston stated it is a mix of wayfinding and branding.

AYES: Members Preston, Zander, and Chairman Wright.

NAYES: Members Hrymak and Quirke.

ABSTENTIONS: None.

ABSENT: Member Willis.

Motion passed.

Case No. 22-25, 810 Maple Avenue, Elevations, Landscape Plan, and Lighting Plan for Building Repositioning.

Village Planner Berstene presented the case and stated this has already gone in front of the Planning and Zoning Commission for the site plan and a parking variance and that the light plan complies with the requirements.

Vincenzo Colella, the architect for the project, stated they are willing to work with the Village for a resolution.

Chairman Wright asked if there are 2 businesses planned.

Mr. Colella stated yes, a beauty supply store and a tobacco store.

Chairman Wright asked if the bathrooms are on the interior, not along windows, and there are no kitchens and asked if they are okay with the landscape recommendations.

Mr. Colella stated the bathrooms are on the interior and there are no kitchens and stated yes, they are okay with the landscaping recommendations.

Member Preston asked which side would be the beauty supply and which would be the smoke shop.

Village Planner Berstene stated the beauty supply is on the Maple side.

Member Preston asked if the darker windows (on the plan) are part of the beauty supply store.

Village Planner Berstene stated yes. And at the north end of the building, inside the smoke shop, there is going to be a humidior.

Chairman Wright asked how they feel about the minimum 50% transparency on the windows.

Member Preston stated she likes to be able to see into a business and added that it can feel tacky when clothes, etc. are blocking the windows.

Member Hrymak asked why the windows are so dark.

Village Planner Berstene stated the proposed layout as pegboards on the perimeter.

Member Hrymak stated it's an area that is not easily seen and asked if it will be 50%.

Chairman Wright stated it won't unless it's part of the motion.

Member Hrymak stated is has to be for security purposes and added that he is a big proponent if security and safety.

Member Hrymak stated that he is implored to mention the landscaping as too many places don not maintain it and it looks terrible, and added if the windows don't meet the 50% then he wouldn't be for it.

Member Quirke asked if the racks are for window displays or for inside displays.

Mr. Colella stated it is just on the inside and stated he agrees that the visibility is needed.

Member Quirke asked where the landscaping is going, if it's just along the Maple Avenue side, and asked if there will be and pots on the east side.

Mr. Colella stated it's just along Maple and there is nothing on the east side to keep the visibility and site lines open.

Member Quirke asked where the advertising/business signage is going.

Chairman Wright stated the signage is proposed, but is within code.

Village Planner Berstene stated that's correct, the signage complies with the allowed square foot maximum.

Chairman Wright asked if the tenants will be made aware of that the overabundance of signage on the glass can get them in trouble.

Member Zander asked how they would meet the 50%.

Village Planner Berstene stated it might meet on the east side, but not on the south side.

Member Zander stated if the wall is built right to the windows, they will not have any transparency.

Chairman Wright asked for a motion to approve Case 22-25, Building Repositioning for 810 Maple Avenue as proposed on the elevations, landscape plan, and lighting plan submitted by BAU Design and Development, and subject to providing a minimum 50% transparency per primary elevation, from 2.5' above grade to the top of the window and that all dead landscaping will be replaced.

Motion was made by Member Quirke to recommend approval of Case 22-25 – 810 Maple Avenue, Elevations, Landscape Plan, and Lighting Plan for Building Repositioning, Seconded by Member Zander.

AYES: Members Hrymak, Preston, Quirke, Zander, and Chairman Wright.

NAYES: None.

ABSTENTIONS: None.
ABSENT: Member Willis.

Motion passed.

Case No. 22-28, 2138 183rd Street – Gas Station Rebranding.

Village Planner Berstene presented the case.

Mr. Singh stated the roof will be red and the building white and the windows are new bulletproof glass with the protective covering still on it. It's not display stands blocking the windows.

Member Preston stated it looks standard and she has no questions.

Member Hrymak stated he is glad someone is going in and asked about the location next door.

Mr. Singh stated they are working it out.

Member Quirke asked about ownership with the place next door.

Mr. Singh stated they are considering a pizza place.

Mr. Millner stated Shell only has their name on the octane buttons on the pumps otherwise they just use the shell logo.

Village Planner Berstene stated a lot of businesses are going that way.

Member Hrymak stated keep the landscaping maintained, especially at the signage.

Chairman Wright added that the Village Arborist can help with it.

Village Planner Berstene stated the Village Arborist is looking into it and is putting a plan together.

Mr. Singh asked if the sign can be raised.

Chairman Wright stated it's not part of this plan.

Village Planner Berstene stated there is a limit of 5 feet for signage in the downtown area.

Chairman Wright asked for a motion to approve Case 22-28 Gas Station rebranding for 2138 183rd Street as proposed on the drawings submitted by Federal Health Sign Company/Visual Communications and the landscape plan recommended by Staff and subject to providing a minimum transparency of windows on each elevation within the zone measured from 2.5' above grade to the top of the window. Motion was made by Member Hrymak to recommend approval of Case 22-28 Gas Station rebranding for 2138 183rd Street as proposed on the drawings submitted, Seconded by Member Preston.

AYES: Members Hrymak, Preston, Quirke, Zander, and Chairman Wright.

NAYES: None.

ABSTENTIONS: None.

ABSENT: Member Willis.

Motion passed.

OLD BUSINESS:

Member Quirke asked if the plan has gone to the arborist yet for the casino.

Village Planner Berstene stated nothing has been received from them recently.

NEW BUSINESS:

Chairman Wright asked when Walmart would be coming back.

Village Planner Berstene stated probably 2024.

Chairman Wright asked if there is any update for KFC.

Village Planner Berstene stated they sent in a sign application and it didn't match what was previously approved.

Member Hrymak stated he'd like the Village to emphasize to the business owners to maintain their lots and exteriors.

Member Quirke proposed to deputize the commission members as inspectors.

ADJOURNMENT:

A motion was made by Member Quirke to adjourn the meeting at 7:07 p.m.; seconded by Member Hrymak. All in favor. None opposed. Motion passed unanimously.

Respectfully submitted,

Angela M. Mesaros
Staff Liaison

VILLAGE OF HOMEWOOD



MEMORANDUM

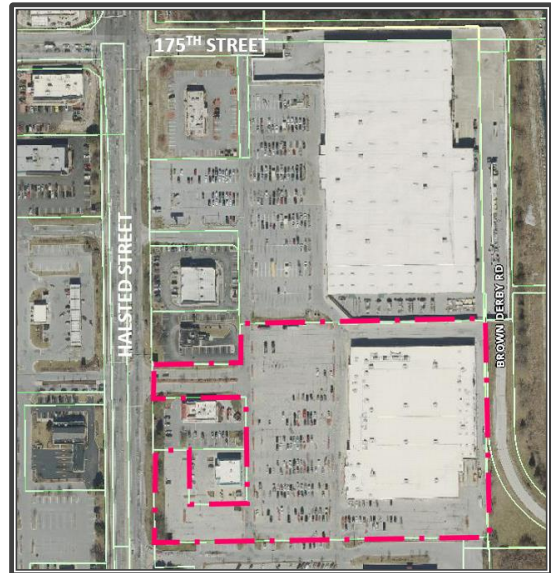
DATE OF MEETING: December 1, 2022

To: Appearance Commission

From: Valerie Berstene, Village Planner

Through: Angela Mesaros, Director of Economic and Community Development

Topic: Case 22-44 - Target Site Improvements



APPLICATION INFORMATION

APPLICANT	Edward Davies on behalf of Target
ACTION REQUESTED	Approval of landscape plan
ADDRESS	17605 Halsted
PIN	29-33-100-064-0000

DOCUMENTS FOR REVIEW

Title	Pages	Prepared by	Date
Target Site Improvement Plans, Sheet L100-L500	7	Kimley-Horn and Associates	11/15/2022
Preliminary Site/Landscape Plan Review Letter	2	Valerie Berstene, Village Planner	11/17/2022
T-1460 Homewood Appearance Commission Materials	23	Kimley-Horn and Associates	11/22/2002

BACKGROUND

Target proposes to improve the parking lot of the existing development by replacing and expanding the existing landscaping islands. The plans show approximately 19,000 sf new landscaping. In addition, the property owner is proposing new site furnishing (benches, bike racks, trash receptacles, bollards) with landscaping near the entrance.

The subject property is a part of the Park Place Plaza Planned Unit Development.

HISTORY

The establishment of the Park Place Plaza commercial Planned Unit Development dates to November 1986. Goldblatt's department store occupied the site until closing in 2000.

In 2001, the Village Board approved a lot resubdivision amending the PUD. One of the new lots created was sold to Target to demolish the existing multi-tenant retail center and construct a new 125,000 sf building (Case 01-01).

On September 1, 2022 the Appearance Commission considered a request from Target to paint the exterior and install new signage to support the online order pick-up process. The Appearance Commission was non-unanimous in its decisions, not reaching the requisite 4 votes to affirm or deny an application, thereby requiring a motion by the Village Board of Trustees for final decision on the application. On September 13, 2022, the Village Board approved the proposed exterior improvements and granted a sign variance allowing an addition 150 sf for the property (Case 22-27).

DISCUSSION

At the time of the previous review by the Appearance Commission, the applicant did not disclose the further pending improvements to landscaping in the parking lot and site furnishings. These proposed improvements require review by the Appearance Commission for compliance with the Appearance Plan.

The subject property is approximately 411,300 sf (9.4 acres). The building is approximately 125,000 sf, leaving approximately 286,300 sf (6.6 acres) of site area serving as parking lot, vehicular circulation, walkways, loading berths, and landscaping.

LANDSCAPING AND SITE FURNISHINGS

The existing site has approximately 7,000 sf of landscape beds. This consists of end caps on each parking bay, arranged as 16 double-end caps and 4 single-end caps, and a median and perimeter landscaping at the entry drive from Halsted Street to the main parking lot.

The improvements proposed are to remove and replace existing landscaping in the main parking lot and along the entrance drive (designated Exterior Site Sustainability (XSS) on the plans). The existing parking lot end caps will be expanded and new ones introduced to create a total of approximately 18,600 sf. This will more than double the existing parking lot landscaping on the site by expanding the existing end caps and introducing 14 new parking lot islands and several areas of parking medians.

In addition to the parking lot landscaping, the improvements propose new landscaping and site furnishings near the entrance to the building (designated Front Walkway (FW) on the plans). The proposed improvements include approximately 400 SF of new landscape beds, semi-circular “piano key” benches around the two round planter beds, new trash receptacles near the entrance, 4 new bike racks, several square post bollards, and several new spherical red concrete bollards.

The addition of the landscaped islands and end caps will supplant 124 parking spaces, reducing the total count from 639 spaces to 515 spaces. This is compliant with the zoning requirements for the site.

CONFORMANCE WITH APPEARANCE PLAN

When reviewing these proposed improvements, the Appearance Commission should consider the guidelines of *Section D. Landscape and Site Treatment* and *Section G. Miscellaneous Structures and Street Hardware* of the Appearance Plan.

STAFF COMMENTS

Village Staff have conducted a preliminary review of the proposed plans and provided comments to the applicant (attached). This includes several questions from Staff to be answered by the applicant. Those are expanded on below.

MAINTENANCE

The submitted plans indicate irrigation only to the planting beds in the front walkway. The Village Arborist has noted that the parking lot planting beds will need water in the summertime. Staff would like to know more about how the property owner intends to maintain the site landscaping over time.

Piling snow from the parking lot can be detrimental to the health and long-term performance of parking lot landscaping. Staff would like to know the property owner's plan for snow removal.

RAIN GARDENS

The plans indicate 8 different planting beds as "rain gardens." All except for one are co-located at existing storm sewer inlets. The plants selected for the "rain gardens" are pollinator plants and not plants with a functional performance for a rain garden or bioswale. Staff has requested more details about the intended function of the areas denoted as "rain gardens," specifically addressing how the property owner will keep heavy rains from carrying mulch, soil, or plant materials into the catch basin and clogging the inlet; and how the landscape beds are anticipated to function as rain gardens.

EXISTING TREES

The landscape plan appears to indicate some existing trees remain. These are not identified in the plans. The Village Arborist has noted that these are oak trees that are very susceptible to soil disturbances. Staff request that the applicant provides a list of the existing trees, indicating those to be removed and those to remain for further review.

RECOMMENDED APPEARANCE COMMISSION ACTION

The Appearance Commission may wish to consider the following motion:

Approval of Case 22-44 Target Site Improvements for 17605 Halsted Street as proposed on the drawings submitted by Kimley-Horn and Associates and dated November 15, 2022, subject to final approval by the Village Arborist.

VILLAGE OF HOMEWOOD



PRELIMINARY SITE/LANDSCAPE PLAN REVIEW

DATE: November 17, 2022

Project: 17605 Halsted Street – Target Site Improvements

Attendees:

Village of Homewood

Valerie Berstene Village Planner

Max Massi Village Engineer

Bryon Doerr Village Arborist

PROJECT DESCRIPTION:

Target proposes to improve the parking lot of the existing development by replacing and expanding the existing landscaping islands. The plans show approximately 19,000 sf new landscaping. In addition, the property owner is proposing new site furnishing (benches, bike racks, trash receptacles, bollards) with landscaping near the entrance.

STAFF COMMENTS:

Engineering

1. Provide a grading plan.
2. With the magnitude of changes to the existing asphalt, the entire lot should be resurfaced.
3. Indicate the relocation of the cart corrals on the civil plans. Coordinate landscape plan backgrounds.
4. You will need an RPZ on the irrigation system.
5. Does Target want the irrigation metered separately?
6. The ADA spaces must be striped in yellow.
7. Many of the areas indicated as “rain gardens” are co-located with the existing catch basins for the storm sewer. For those planting beds that will now encompass an existing catch basin:
 - a. How will the water be directed into the planting bed?
 - b. What protections will be put in place to prevent heavy rains from carrying mulch into the inlet and clogging it?
 - c. Will restrictors be provided to detain the water in the planting bed, achieving a rain garden performance? Coordinate with plant specifications and anticipated draw down.
8. There appears to be one “rain garden” planting bed that does not encompass an inlet and has no curb openings to collect water from the surrounding pavement. Provide more information about how this will function.

Landscaping

9. Provide a list of all existing trees. Indicate which are to be removed and which are to be retained.

VILLAGE OF HOMEWOOD

10. All plants will need watering in the summer time. The irrigation plan indicates only the planters in the walkway to be irrigated. How will the remaining 19,000 sf of new landscaping be maintained?
11. Please refer to ANSI A300, ANSI Z133.1 and ISA Best Management Practices to comply with the Village of Homewood requirements.
12. What are the plans for snow removal? Stock piling snow on the landscape beds deposits salt into the landscape beds, drying out the soil and contributing to the decline of the plant health.
13. The plants specified for the areas identified as “rain gardens” are not bio-swale plants that tolerate nor absorb standing water. Rather, they are pollinator plants. Please clarify how the areas designated as “rain gardens” are intended to function.

Planning

14. Coordinate the civil and engineering sheets. Sheet C200 shows benches and trash receptacle at the store in a line weight indicating new work. Sheet L101 calls for these site furnishings to be removed. Indicate areas of new work at the walkway on C200.
15. Title of sheet C200 is misspelled.
16. Bicycle racks should be installed in accordance with the NACTO or APBP standards. Provide dimensions demonstrating compliance with these best practices.

DOCUMENTS FOR REVIEW

Title	Pages	Prepared by	Date
Front Walk Plans (FW) & Exterior Site Sustainability Plans (XSS) for T-1460 Homewood, IL	13	Kimley-Horn and Associates	11/15/2022

T1460 Homewood Appearance Commission Materials
Target Front Walk and Exterior Site Sustainability Program

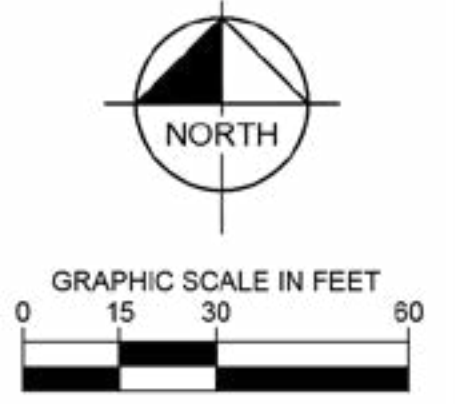
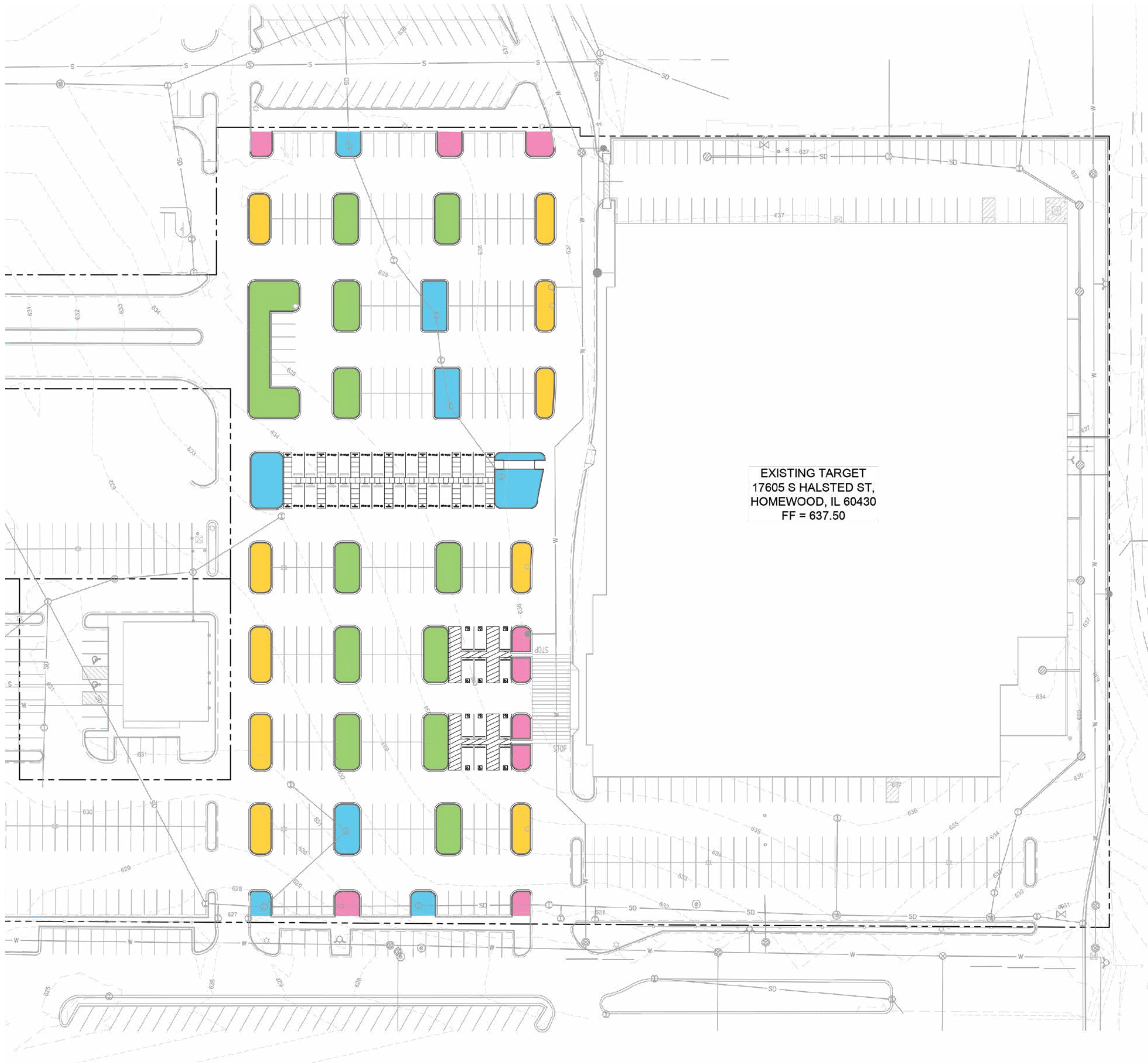
Target Representative: Ryan A. Hyllested, PLA, ASLA, Kimley-Horn
Civil and Landscape Architect Consultant

T1460 Homewood, IL

Parking Lot Island Design Concept

Legend

- A - Rain Garden
- B - Semi Rain Garden
- C - Parking Island
- D - Small Island



A

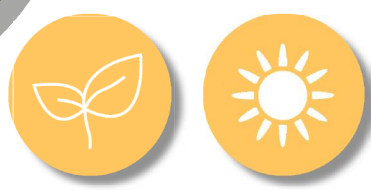
T1460 Homewood, IL

Rain Garden Plant Palette

Grasses



Palm Sedge



Northern Sea Oats



Northwind Switch Grass



Deciduous Shrubs



Dwarf Bush Honeysuckle



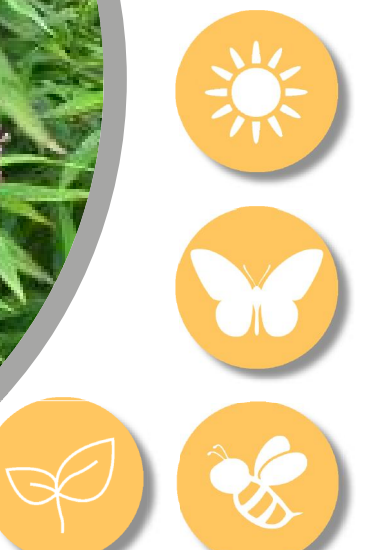
Arrowwood Viburnum



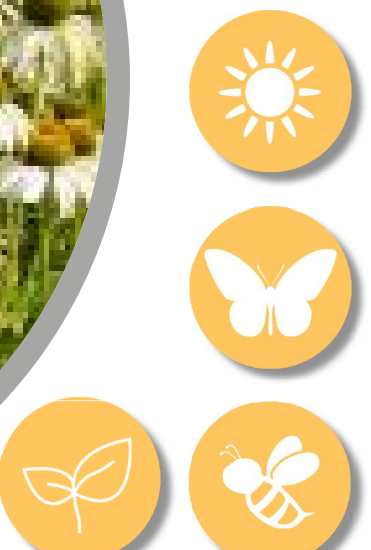
Perennials



Swamp Milkweed



White Coneflower



Sneezeweed



Ground Cover



New England Aster



Native Plants



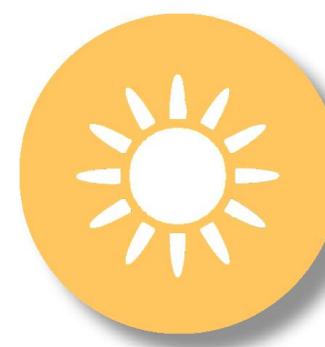
Bee Friendly



Bird Friendly



Butterfly Friendly



Drought Resistant

B

T1460 Homewood, IL

Semi Rain Garden Plant Palette

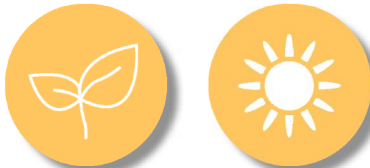
Trees



Allegheny Serviceberry



Urban Pinnacle Oak



Grasses



Palm Sedge



Northwind Switch Grass



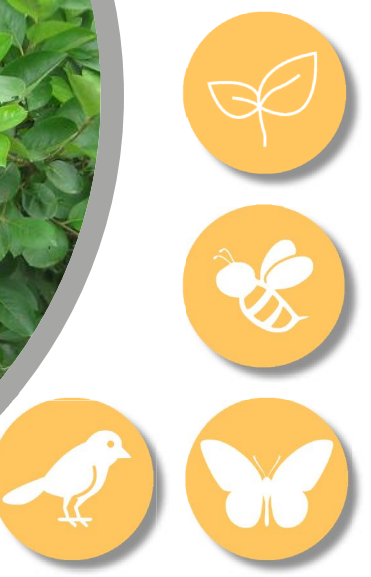
Little Bluestem



Deciduous Shrubs



Black Chokeberry



Arctic Fire Red Twig Dogwood



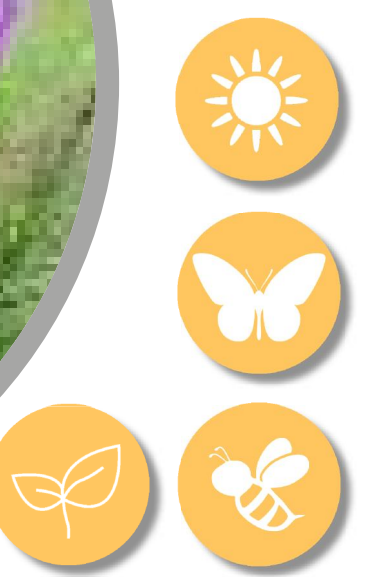
Perennials



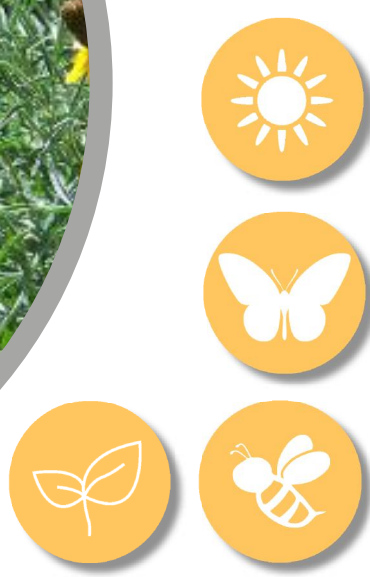
Sneezeweed



Prairie Blazing Star



Yellow Prairie Coneflower



Native Plants



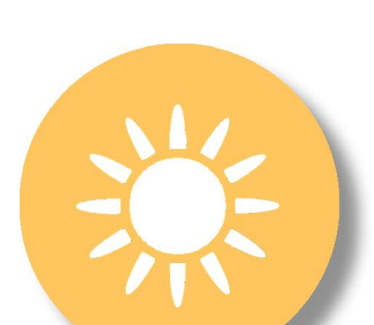
Bee Friendly



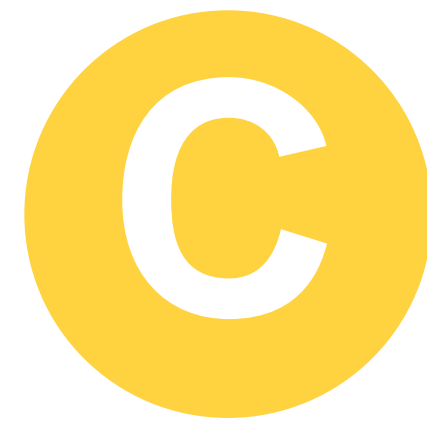
Bird Friendly



Butterfly Friendly



Drought Resistant



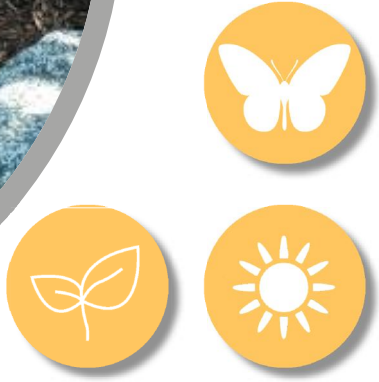
T1460 Homewood, IL

Parking Island Plant Palette

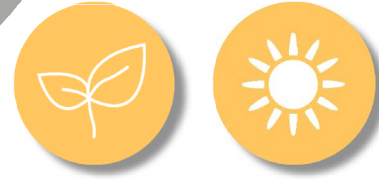
Grasses



Little Bluestem



Tara Prairie Dropseed



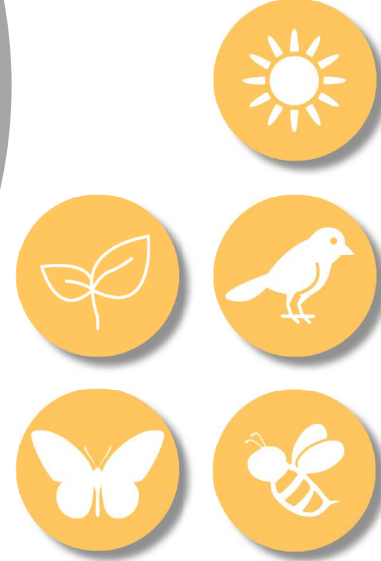
Deciduous Shrubs



Black Chokeberry



Arrowwood Viburnum



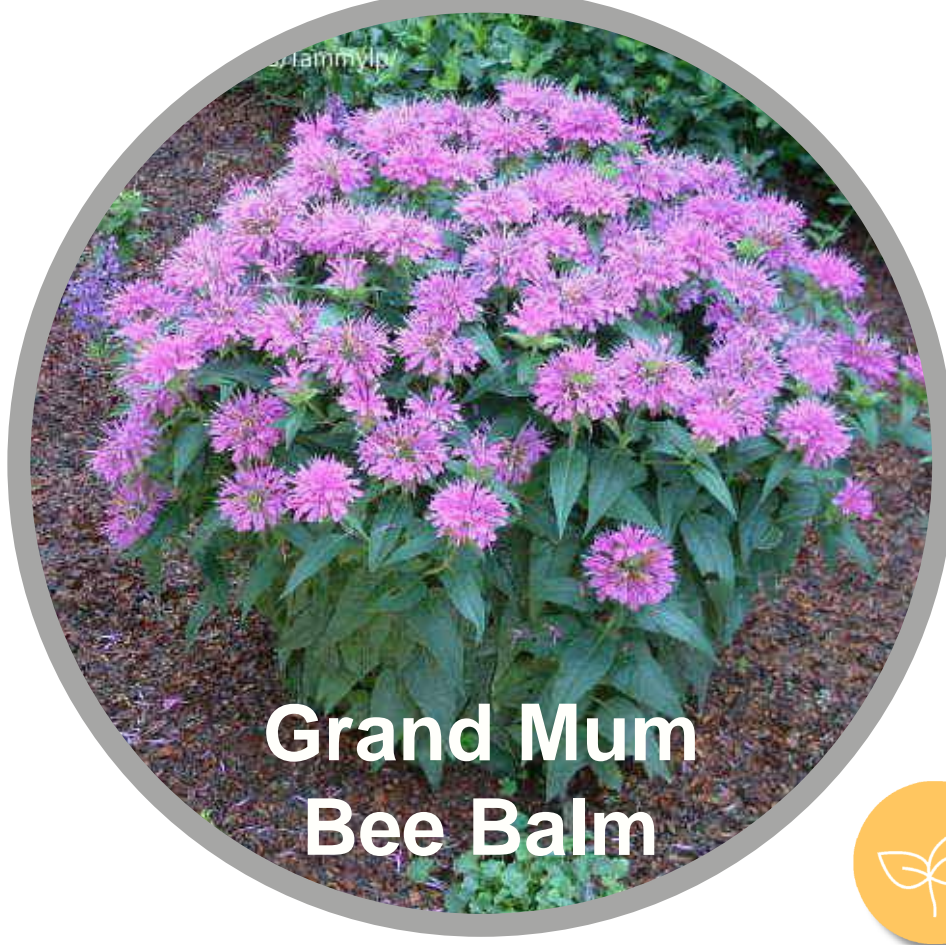
Perennials



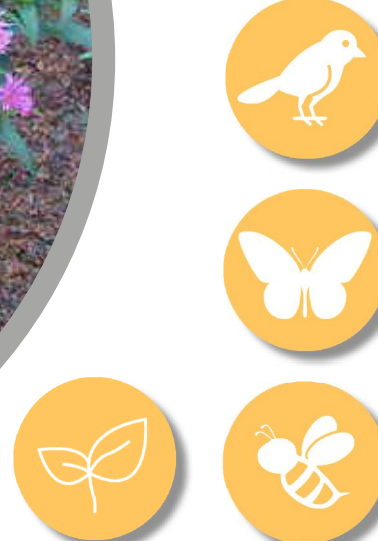
Sneezeweed



Cardinal Flower



Grand Mum Bee Balm



Ground Cover



New England Aster



Native Plants



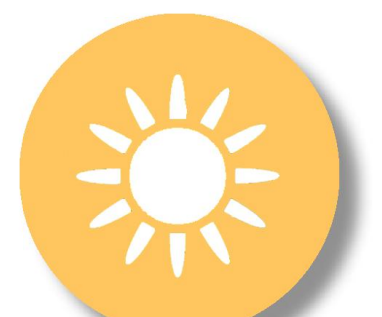
Bee Friendly



Bird Friendly



Butterfly Friendly



Drought Resistant



T1460 Homewood, IL

Small Island Plant Palette

Trees



Honey Locust



Grasses



Northern Sea Oats



Tara Prairie Dropseed



Deciduous Shrubs



Black Chokeberry



Arctic Fire Red Twig Dogwood



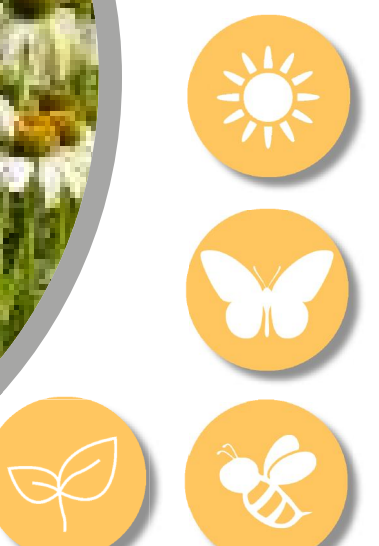
Perennials



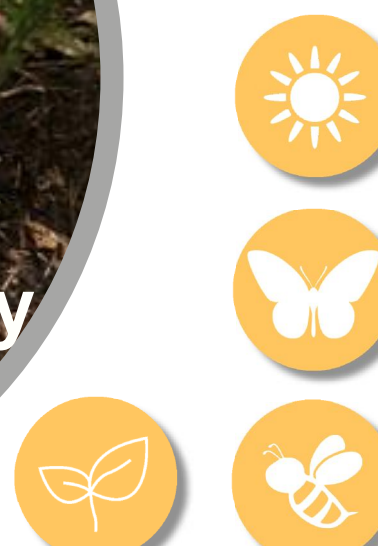
Blue Ice Bluestar



White Coneflower



Pow Wow Wild berry Coneflower



Native Plants



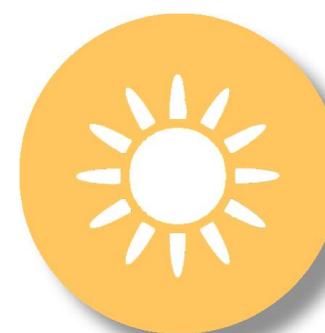
Bee Friendly



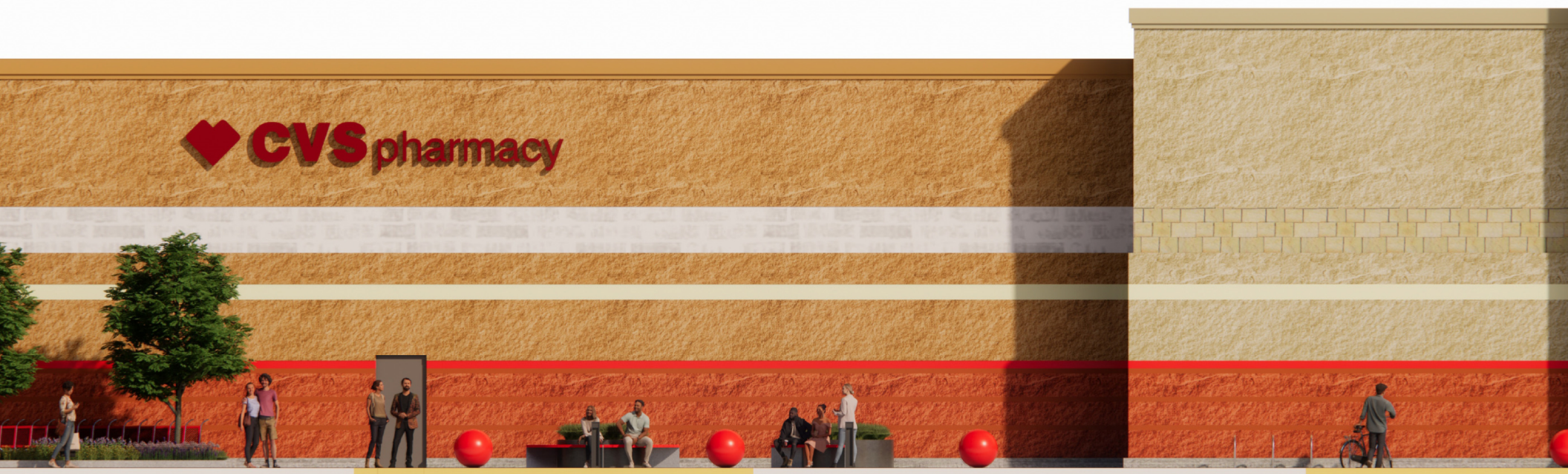
Bird Friendly



Butterfly Friendly



Drought Resistant



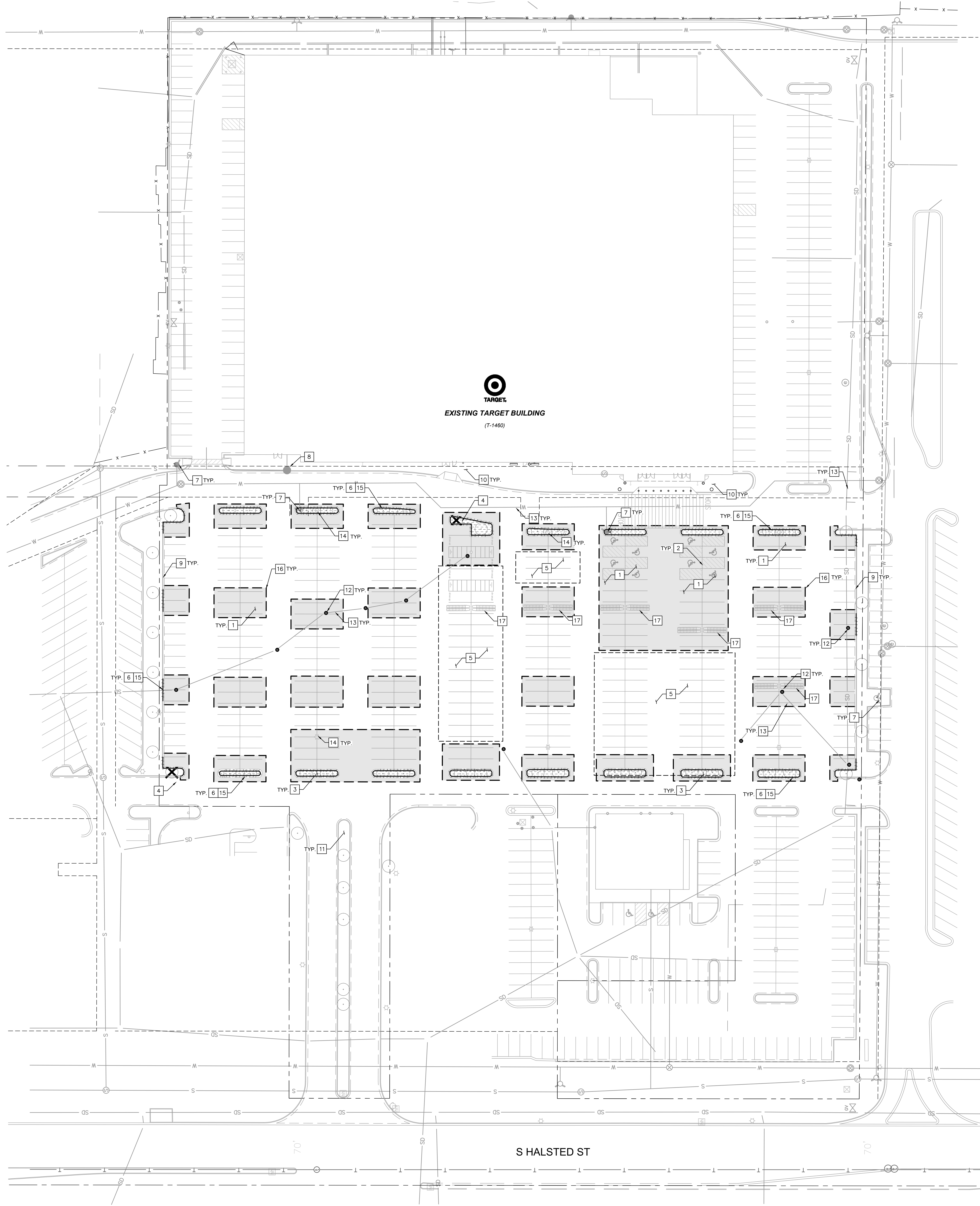






CVS pharmacy

C:\Users\kerry_burg\OneDrive\Desktop\Target Remodel Program Team - 1460\Homewood_IL\Landscaping\Plan & XSS\Design\PlanSheet\C100 - DEMOLITION PLAN.dwg November 15, 2022 - 6:20pm
 This document, together with the concepts and designs presented herein, is an instrument of service, in and to the extent of the specific purpose and intent for which it was prepared. Release of and reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LEGEND

- FULL DEPTH ASPHALT PAVEMENT REMOVAL.
- LANDSCAPE REMOVAL.
- SAWCUT.
- DEMOLISH AND REMOVE EXISTING CURB/CURB AND GUTTER.
- PROPERTY LINE/ RIGHT OF WAY
- LIMITS OF STRIPING REMOVAL

DEMOLITION NOTES

- 1 FULL DEPTH ASPHALT PAVEMENT REMOVAL.
- 2 REMOVE EXISTING ACCESSIBLE PARKING SIGN AND POST.
- 3 REMOVE EXISTING LANDSCAPING. SEE LANDSCAPE PLANS FOR MORE DETAIL.
- 4 REMOVE EXISTING TREE. SEE LANDSCAPE PLANS FOR MORE DETAIL.
- 5 REMOVE EXISTING STRIPING.
- 6 DEMOLISH AND REMOVE EXISTING CONCRETE CURB/ CURB & GUTTER. CONTRACTOR TO USE HAND TOOLS WHEN EXISTING CONCRETE CURB/ CURB & GUTTER IS ADJACENT TO AN EXISTING TREE.
- 7 PROTECT IN PLACE EXISTING FIRE HYDRANT.
- 8 PROTECT IN PLACE EXISTING SEWER MANHOLE.
- 9 PROTECT IN PLACE EXISTING CONCRETE CURB/ CURB & GUTTER.
- 10 PROTECT IN PLACE EXISTING CONCRETE SIDEWALK.
- 11 PROTECT IN PLACE EXISTING LANDSCAPING.
- 12 PROTECT IN PLACE EXISTING CATCH BASIN.
- 13 PROTECT IN PLACE EXISTING UNDERGROUND UTILITIES.
- 14 PROTECT IN PLACE EXISTING LIGHT POLE.
- 15 PROTECT IN PLACE EXISTING TREE. SEE LANDSCAPE PLANS FOR MORE DETAIL.
- 16 SAWCUT.
- 17 REMOVE AND SALVAGE EXISTING CART CORRALS. CONTRACTOR TO COORDINATE RELOCATION WITH TARGET.
- 18 REMOVE AND SALVAGE EXISTING DRIVE UP SOLAR BEACON.

GENERAL NOTES

1. WHERE GRADES ARE AFFECTED, THE CONTRACTOR SHALL USE A SURVEYOR AS NEEDED TO INSURE PROPER GRADES ARE ACHIEVED.
2. STRIPING SHALL BE COMPLETED PER THE REQUIREMENTS OF THE CURRENT ILLINOIS BUILDING CODE AND APPLICABLE LOCAL CODES. GRADES SHALL BE VERIFIED FOR COMPLIANCE AT THE TIME OF CONSTRUCTION PRIOR TO STRIPING.
3. THE GENERAL CONTRACTOR SHALL ALSO REVIEW ANY APPLICABLE STATE AND LOCAL GUIDELINES AS THEY APPLY TO THE ACCESSIBILITY AND SIGNAGE.
4. THE GENERAL CONTRACTOR SHALL VERIFY ELEVATIONS AND GRADES PRE & POST CONSTRUCTION AND REPORT ANY DEFICIENCIES TO THE ENGINEER BEFORE START OF WORK AND AT COMPLETION.
5. ALL NEW CONSTRUCTION SHALL BE VERIFIED TO BE IN COMPLIANCE WITH LOCALLY ADOPTED ACCESSIBILITY REGULATIONS. ANYTHING FOUND NOT IN COMPLIANCE SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL SLOPES TO BE MEASURED WITH A 24" SMART LEVEL.
6. IT IS ACKNOWLEDGED THAT THE IMPROVEMENTS SHOWN ON THIS PLAN CONSIST OF A LIMITED SCOPE OF WORK AND MAY NOT BRING THE ENTIRE SITE INTO FULL COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT GUIDELINES AND ANY OTHER STATE SPECIFIC ACCESSIBILITY CODES. THE ENGINEER OF RECORD SHALL NOT BE HELD RESPONSIBLE FOR ANY EXISTING CONDITIONS OUTSIDE OF THE IDENTIFIED SCOPE OF WORK THAT ARE NOT BROUGHT WITHIN COMPLIANCE.
7. WHERE ASPHALT PAVEMENT MILL AND OVERLAY IS PROPOSED THE GENERAL CONTRACTOR SHALL CORE A 2" DIAMETER SECTION AND VERIFY THE EXISTING ASPHALT PAVEMENT SECTION IS GREATER THAN 3". GENERAL CONTRACTOR SHALL NOTIFY CIVIL ENGINEER IF ASPHALT PAVEMENT SECTION IS LESS THAN 3" FOR FURTHER DIRECTION AS MILL AND OVERLAY MAY NOT BE FEASIBLE.
8. PROPERTY LINE AND FINISHED FLOOR ELEVATION SHOWN IS BASED ON THE FOLLOWING RECORD DRAWING: TARGET HOMEWOOD, IL SITE IMPROVEMENT PLANS BY JOSEPH A. SCHUDT & ASSOCIATES DATED 1/6/01.

DISTURBED AREA

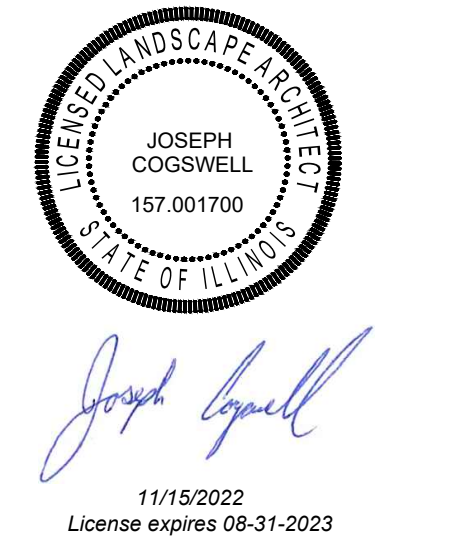
36,000± S.F. FULL DEPTH ASPHALT REMOVAL AND REPLACEMENT
 7,000± S.F. LANDSCAPE REMOVAL AND REPLACEMENT

ABBREVIATIONS

EX - EXISTING
 FS - FINISHED SURFACE
 TC - TOP OF CURB
 TYP - TYPICAL



Date	No.	Description
11/15/2022	0	CONSTRUCTION DOCUMENT 100% SET

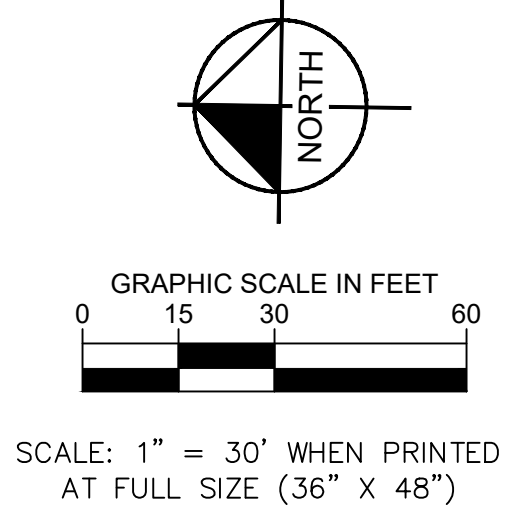


TARGET
HOMWOOD, IL
 17605 S HALSTED ST,
 HOMWOOD, IL 60430, IL

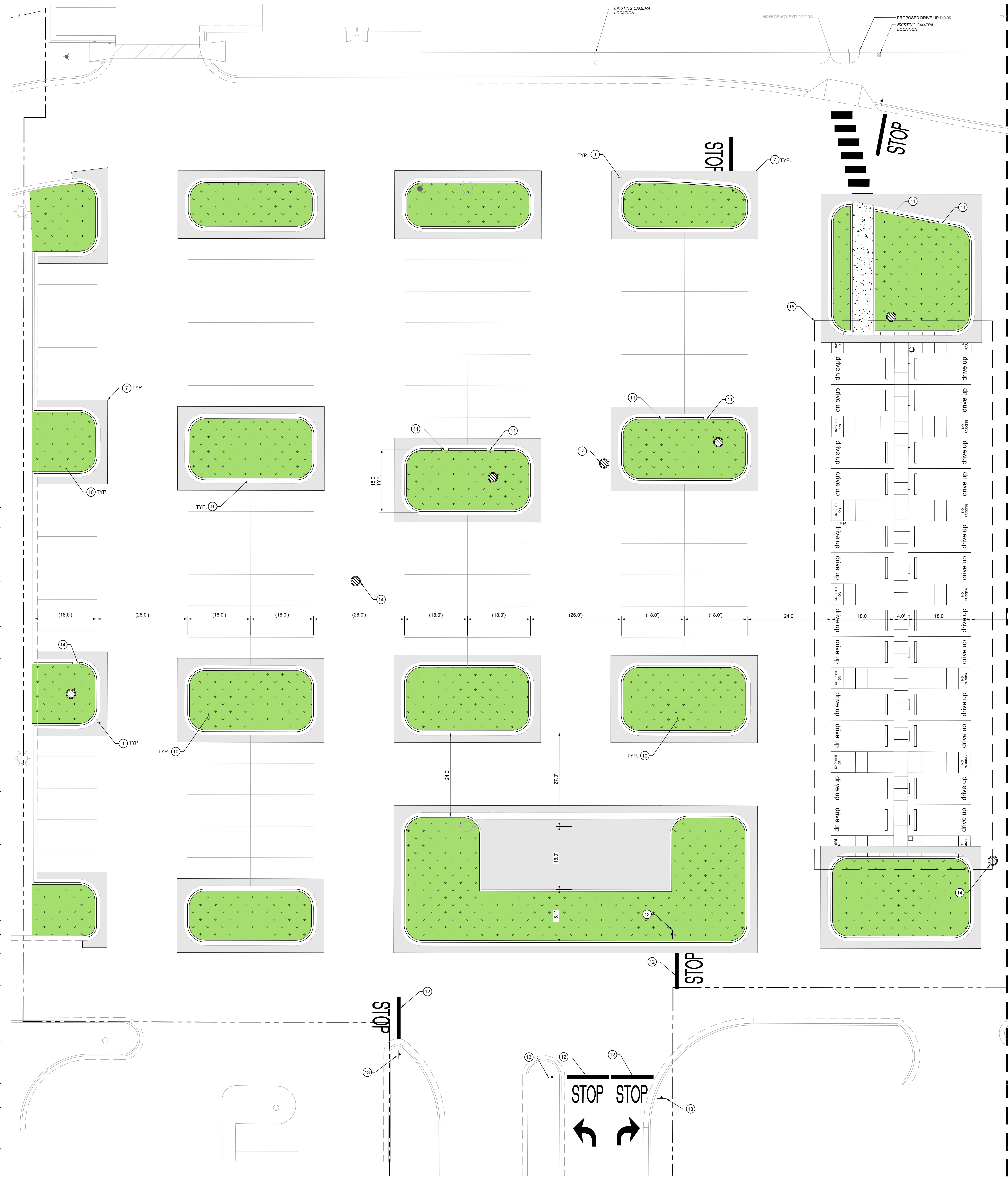
Project Number **T-1460**
 Format/Configuration:
 Drawn By
 Checked By

**EXISTING
 CONDITIONS/
 DEMOLITION PLAN**

C100



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LEGEND

- 637.50 TC
637.50 FS
637.00 FS
-
-
-
-
-
-

CONSTRUCTION NOTES

- 1 INSTALL C2-P664-10 ASPHALTIC PAVEMENT OVER CLASS II CRUSHED AGGREGATE BASE COMPACTED TO 95% MAXIMUM DRY DENSITY BASED ON ASTM D1557-07 TEST METHOD OR CLASS 2 AGGREGATE BASE COMPACTED TO 95% OF THE MATERIAL'S ASTM D-1557 MAXIMUM DRY DENSITY. ENSURE THE SUBGRADE IS SCARIFIED AND RECOMPACTED TO 95% MAXIMUM DRY DENSITY BASED ON ASTM D1557-07 TEST METHOD. MATCH EXISTING PAVEMENT SECTION.
- 2 INSTALL STANDARD ACCESSIBLE PARKING STALL SIGN PER DETAIL 11, SHEET C300. INSTALL SINGLE BASE SIGN POST PER DETAIL 12, SHEET C300.
- 3 INSTALL VAN ACCESSIBLE PARKING STALL SIGN PER DETAIL 11, SHEET C300. INSTALL SINGLE BASE SIGN POST PER DETAIL 12, SHEET C300.
- 4 INSTALL ACCESSIBLE PARKING STALL STRIPING PER DETAIL 9, SHEET C300.
- 5 INSTALL ACCESSIBLE PATH OF TRAVEL STRIPING PER DETAIL 10, SHEET C300. PATH OF TRAVEL SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5% AND CROSS SLOPE OF 2% AT ALL TIMES.
- 6 INSTALL 6" WHEEL STOP AT 2.0' FROM CURB FACE / EDGE OF PAINT TO FACE OF WHEEL STOP PER DETAIL 4, SHEET C300.
- 7 JOIN ASPHALT PAVEMENT TO EXISTING ASPHALT PAVEMENT PER DETAIL 3, SHEET C300.
- 8 INSTALL 2 COATS 4" THICK 90° WHITE STRIPING.
- 9 INSTALL CONCRETE CURB & GUTTER PER DETAIL 5, SHEET C300.
- 10 PROPOSED LANDSCAPING. SEE LANDSCAPE PLANS FOR MORE DETAIL.
- 11 INSTALL 24" WIDE CURB CUT PER DETAIL 13, SHEET C300.
- 12 PROPOSED STOP BAR MARKING PER DETAIL 7, SHEET C300.
- 13 PROPOSED STOP BAR SIGN PER DETAIL 6, SHEET C300.
- 14 INSTALL INLET FILTER, ADS FLEXSTORM PURE OR APPROVED EQUAL.
- 15 PROPOSED DRIVE UP STRIPING AND SIGNAGE PER SEPERATE PERMIT.

CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND IMPROVEMENTS AND NOTIFY ENGINEER IF THERE ARE ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 ALL ELEVATIONS SHOWN ON THIS PLAN ARE RELATIVE TO THE ASSUMED FINISHED FLOOR OF 637.50. PROPERTY LINE AND FINISHED FLOOR ELEVATION SHOWN IS BASED ON THE FOLLOWING RECORD DRAWING: TARGET HOMEWOOD, IL SITE IMPROVEMENT PLANS BY JOSEPH A. SCHLUDT & ASSOCIATES DATED 1/6/21.

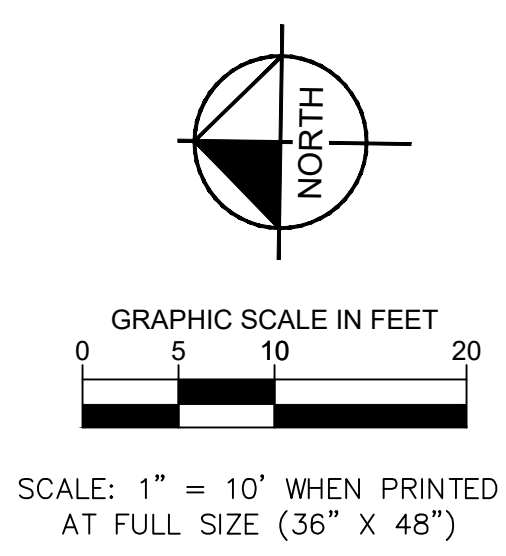
AREAS OF REPLACED PAVEMENT

10,000± S.F. FULL DEPTH ASPHALT REPLACEMENT
 19,000± S.F. LANDSCAPE REPLACEMENT

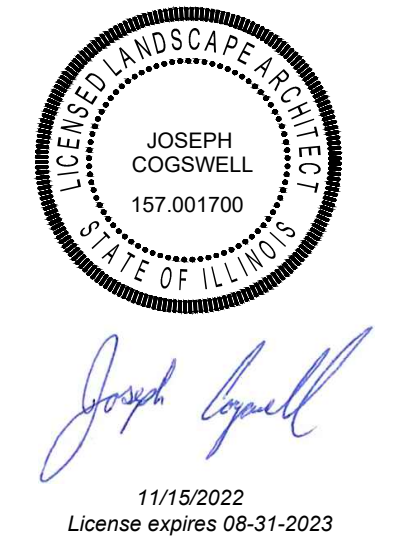
ABBREVIATIONS

EX - EXISTING
 FS - FINISHED SURFACE
 TC - TOP OF CURB
 TYP - TYPICAL

PARKING QUANTITY SUMMARY				
USE	RATIO	TARGET BUILDING SIZE	TOTAL PARKING STALLS	TOTAL ACCESSIBLE PARKING STALLS
REQUIRED			504 STALLS	11 STALLS (2 VAN)
EXISTING	RETAIL	125,970 SF	639 STALLS	12 STALLS (2 VAN)
PROPOSED			515 STALLS	12 STALLS (2 VAN)



Date	No.	Description
11/15/2022	0	CONSTRUCTION DOCUMENT 100% SET



Project Number T-1460
 Format/Configuration:
 Drawn By:
 Checked By:

IMPROVEMENT PLAN

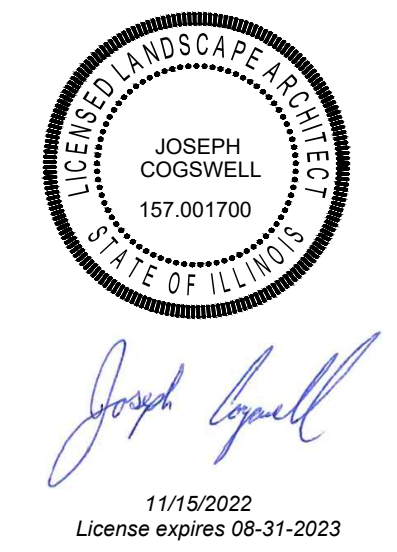
C200



Kimley Horn
 2019 KIMLEY-HORN AND ASSOCIATES, INC.
 111 W JACKSON BLVD, SUITE 1100, CHICAGO, IL 60604
 PHONE: 312.726.8445
 WWW.KIMLEY-HORN.COM

Date	No.	Description
11/15/2022	0	CONSTRUCTION DOCUMENT 100% SET

TOTAL PARKING STALLS
 REQUIRED: 554 STALLS
 EXISTING: 639 STALLS
 PROPOSED: 515 STALLS



11/15/2022
 License expires 08-31-2023

TARGET
HOMEWOOD, IL
 17605 S HALSTED ST,
 HOMEWOOD, IL 60430

Project Number **T-1460**

Format/Configuration:

Drawn By **DLO**

Checked By **KSS / HM**

XSS EXISTING
 CONDITIONS -
 DEMO PLAN

L100

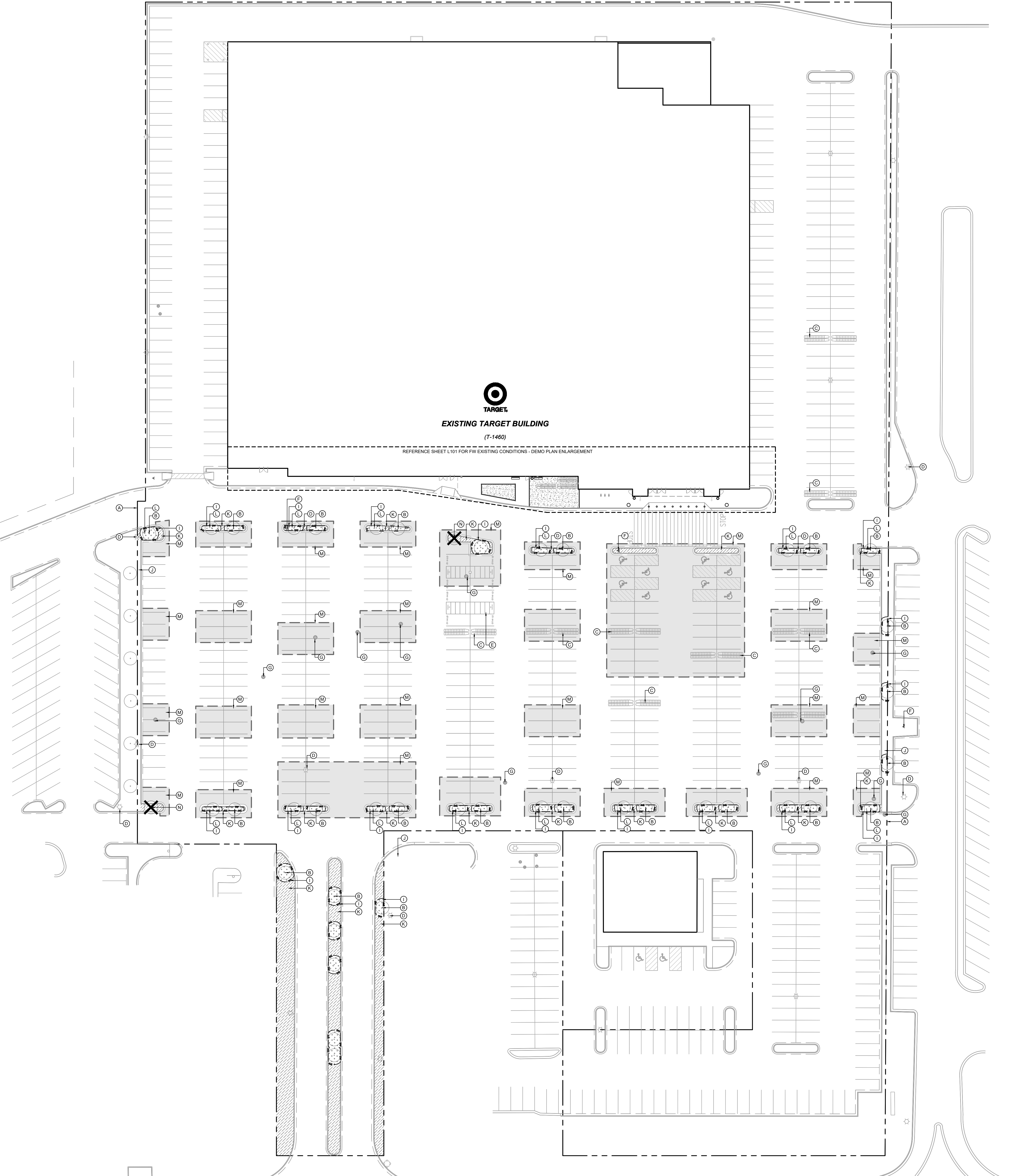
LEGEND

- | EXISTING | REMOVE | PROPERTY LINE (TYP.) |
|----------|--------|---|
| | | FULL DEPTH SAWCUT (TYP.) |
| | | TREE PROTECTION FENCE (TYP.) |
| | | CONCRETE SURFACE (TYP.) |
| | | ASPHALT SURFACE (TYP.) |
| | | REMOVE TOP 24" OF COMPACTED SUBGRADE AND BACKFILL WITH TOPSOIL. |
| | | REMOVE TOP 30" OF COMPACTED SUBGRADE AND BACKFILL WITH TOPSOIL. |
| | | REMOVE TOP 36" OF COMPACTED SUBGRADE AND BACKFILL WITH STRUCTURAL SOIL. |
| | | SHRUBS AND GROUNDCOVER TO REMAIN AND ENHANCED WITH NEW PLANTING. |
| | | REMOVE SHRUBS AND GROUNDCOVER/CLEAR AND GRUB (TYP.) |
| | | SHRUBS AND GROUNDCOVER PLANTS TO BE REMOVED BY HAND AND HAND TOOLS ONLY. NO HEAVY MACHINERY. |
| | | CONTRACTOR TO IMPLEMENT EROSION CONTROL MEASURES AS NEEDED BASED ON FIELD CONDITIONS AND DICTATED BY LOCAL JURISDICTIONAL CODE. |
| | | TREE (TYP.) |
| | | CURB & GUTTER (TYP.) |
| | | SPHERICAL BOLLARD (TYP.) |
| | | BOLLARD (TYP.) |
| | | BENCH (TYP.) |
| | | TRASH RECEPTACLE (TYP.) |
| | | BIKE RACK (TYP.) |
| | | BUILDING CURB (TYP.) |
| | | TABLE (TYP.) |
| | | SEDIMENT CONTROL LOG TYPE FIBER (TYP.) |
| | | CART STORAGE (TYP.) |
| | | SEDIMENT CONTROL LOG TYPE FIBER (TYP.) |
| | | WALL-MOUNTED CAMERA (TYP.) |
| | | CURB RAMP (TYP.) |
| | | DOOR (TYP.) |
| | | WATERMAIN (TYP.) |
| | | SIGN (TYP.) |
| | | STORM MANHOLE (TYP.) |
| | | STORM CATCHBASIN (TYP.) |
| | | HYDRANT (TYP.) |
| | | LIGHT POLE (TYP.) |
| | | ROOT AERATION TUBE, 2 PER TREE (TYP.) |

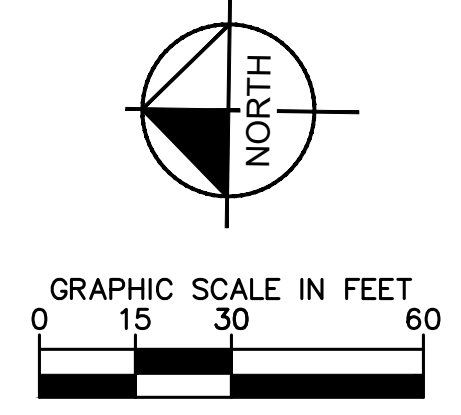
KEYNOTE LEGEND

- ① PROPERTY LINE (TYP.)
- ② TREE TO REMAIN, PROTECT IN PLACE (TYP.)
- ③ CART STORAGE (TYP.)
- ④ LIGHT POLE TO REMAIN, PROTECT IN PLACE (TYP.)
- ⑤ DRIVE-UP LAYOUT (TYP.)
- ⑥ FIRE HYDRANT LOCATION (TYP.)
- ⑦ AREA DRAIN INLET, PROTECT IN PLACE (TYP.)
- ⑧ CURB DRAIN INLET, PROTECT IN PLACE (TYP.)
- ⑨ TREE PROTECTION FENCE (TYP.)
- ⑩ SHRUB AND GROUNDCOVER AREA TO REMAIN (TYP.)
- ⑪ REMOVE SHRUB AND GROUNDCOVER / CLEAR AND GRUB (TYP.)
- ⑫ SHRUBS AND GROUNDCOVER PLANTS TO BE REMOVED BY HAND AND HAND TOOLS ONLY WITHIN TREE PROTECTION FENCE. NO HEAVY MACHINERY (TYP.)
- ⑬ ASPHALT AND AGGREGATE BASE TO BE REMOVED. CONTRACTOR TO SAWCUT AT LIMIT LINE SHOWN AND REMOVE ASPHALT, AGGREGATE AND EXCAVATE TO DEPTH INDICATED ON PLANTING PLAN, REFERENCE C100 FOR CIVIL ENGINEER DEMOLITION REQUIREMENTS (TYP.)
- ⑭ TREE TO REMOVE (TYP.)

NOTE: ALL EXISTING TREES TO BE PROTECTED ON SITE AND NO TREES TO BE REMOVED ON SITE. TREE PROTECTION FENCE TO BE ADDED AT ALL EXISTING TREES WITHIN SHRUB AND GROUNDCOVER REMOVAL AREAS.



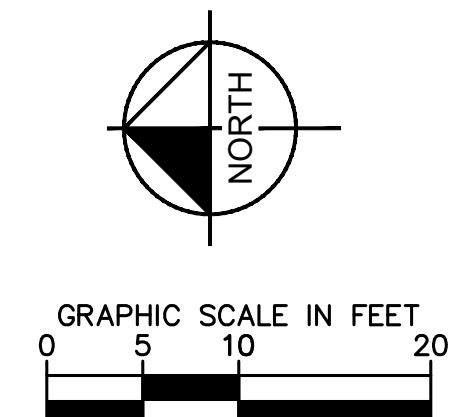
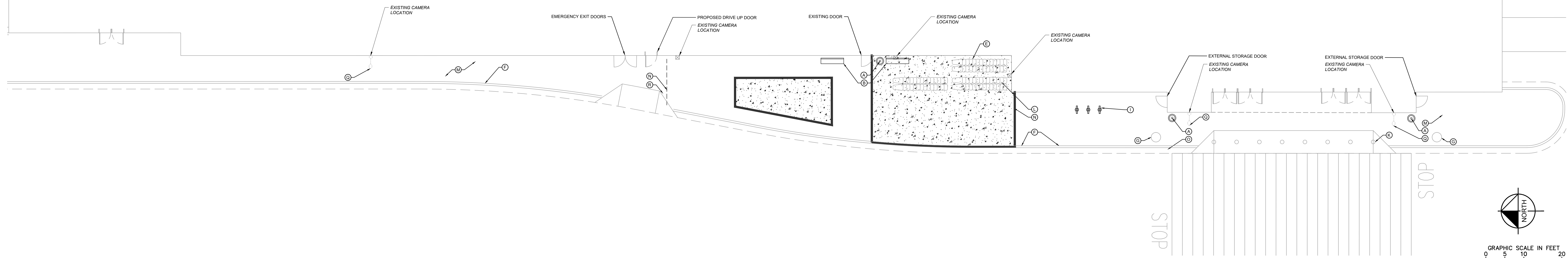
S HALSTED STREET





EXISTING TARGET BUILDING

(T-1460)



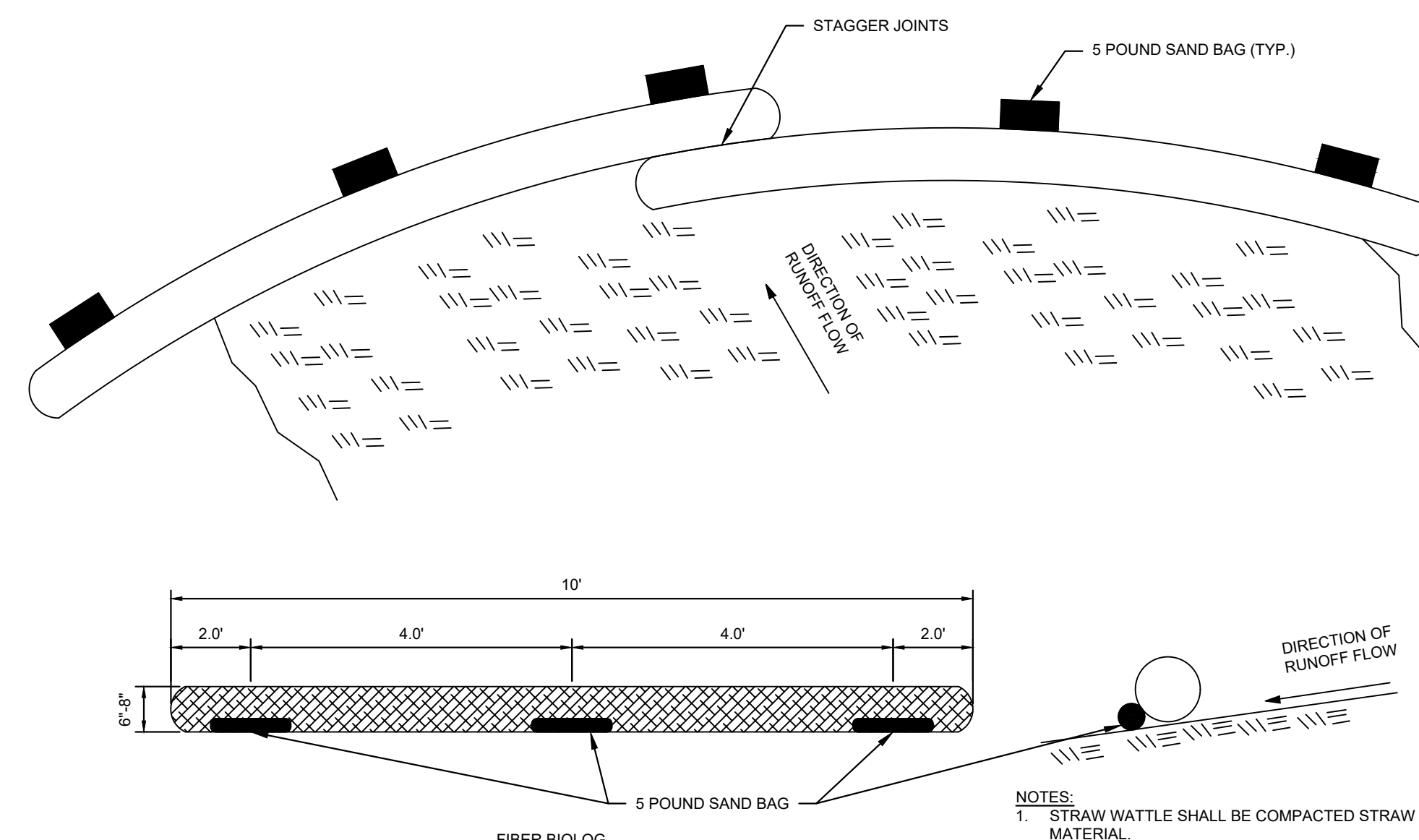
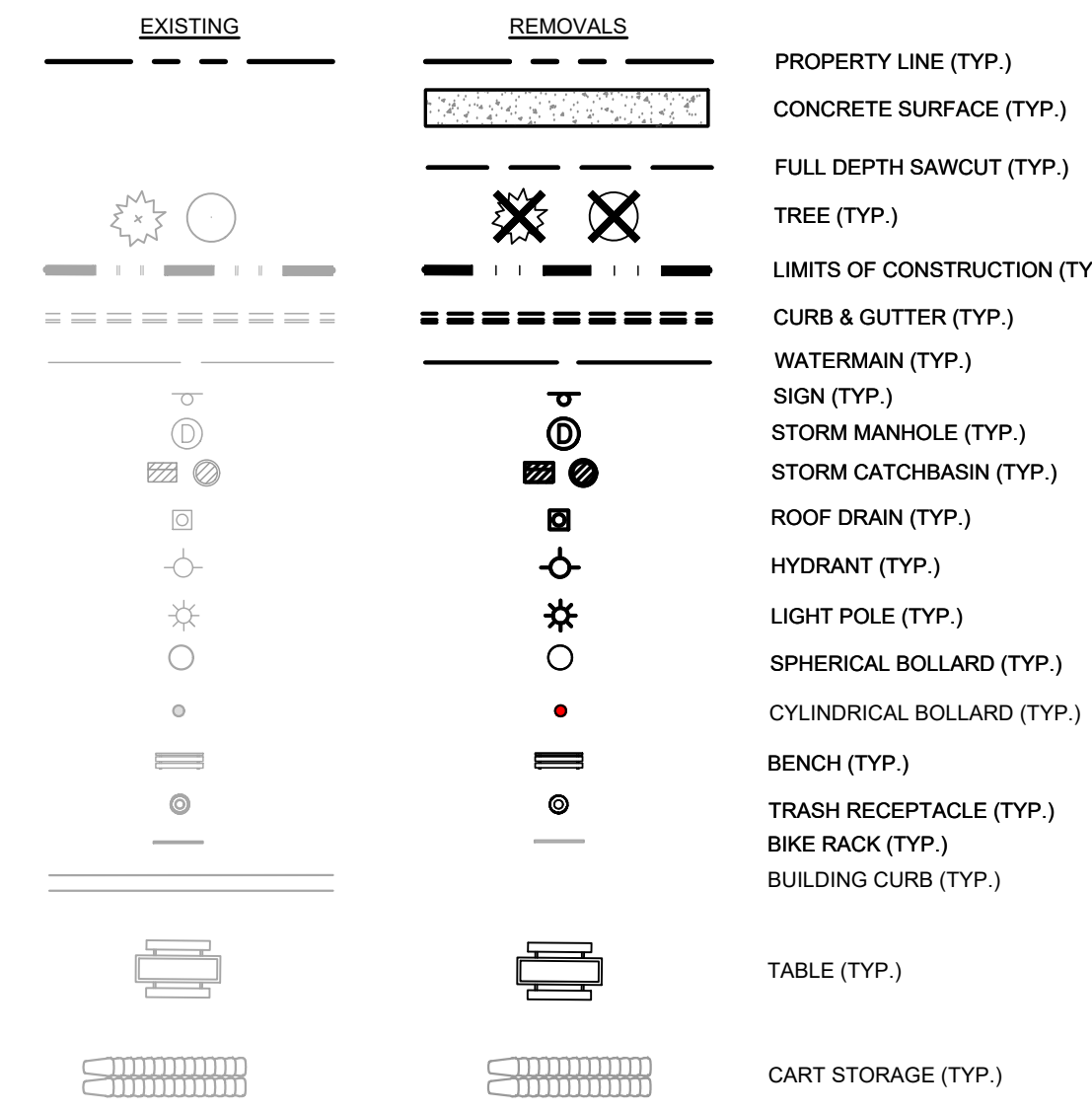
1 DEMO PLAN ENLARGEMENT

SCALE: 1"=10'

KEYNOTE LEGEND

- ⓪ REMOVE AND DISPOSE TRASH RECEPTACLE (TYP.)
- Ⓛ REMOVE AND DISPOSE BENCH (TYP.)
- Ⓜ REMOVE AND DISPOSE TABLE (TYP.)
- Ⓝ WALL MOUNTED "NO PARKING FIRE LANE" SIGN TO REMAIN
- Ⓟ BUILDING CURB TO REMAIN (TYP.)
- Ⓠ CONCRETE CURB CONCRETE TO REMAIN (TYP.)
- Ⓡ SPHERICAL BOLLARD TO REMAIN (TYP.)
- Ⓢ NOT USED
- Ⓣ REMOVE AND DISPOSE BIKE RACK (TYP.)
- Ⓤ PROTECT SIGN IN PLACE (TYP.)
- Ⓥ BOLLARD TO REMAIN (TYP.)
- Ⓦ REMOVE CONCRETE SIDEWALK (TYP.)
- Ⓧ CONCRETE SIDEWALK TO REMAIN (TYP.)
- Ⓨ SAWCUT LINE (TYP.)
- Ⓩ EXISTING FIRELANE TO REMAIN (TYP.)
- ⓐ USPS MAILBOX TO REMAIN (TYP.)
- ⓑ SECURITY CAMERA TO REMAIN (TYP.)
- ⓔ FIBER BIO LOG, SEE DETAIL THIS SHEET

LEGEND



2 FIBER BIO-LOG

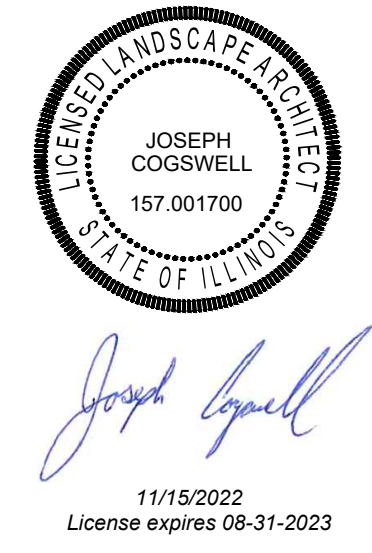
SCALE: N.T.S.

L101

- NOTES:
1. STRAW WATTLE SHALL BE COMPACTED STRAW AND/OR ORGANIC FIBER MATERIAL.
 2. STRAW OR FIBER SHALL BE WRAPPED IN UV STABILIZED DEGRADABLE TUBULAR POLYPROPYLENE PLASTIC NETTING.



Date	No.	Description
11/15/2022	0	CONSTRUCTION DOCUMENT 100% SET



HOMWOOD, IL
17605 S HALSTED ST,
HOMWOOD, IL 60430

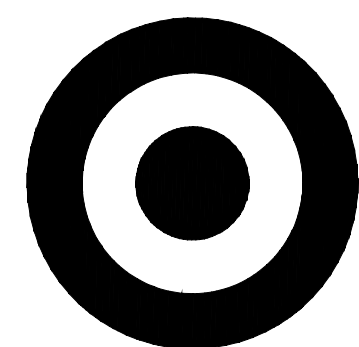
Project Number	T-1460
Format/Configuration:	P2001
Drawn By	EIW
Checked By	T.JL./RAH

FW EXISTING CONDITIONS - DEMO PLAN



L101

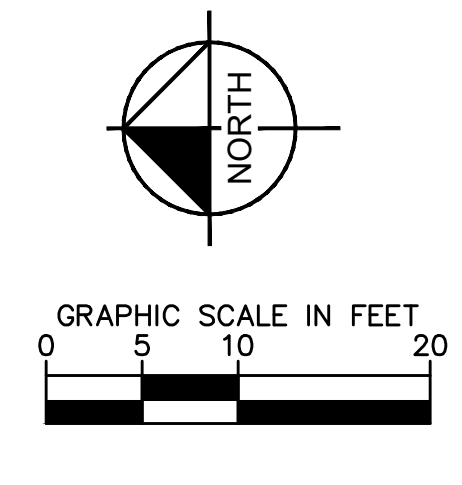
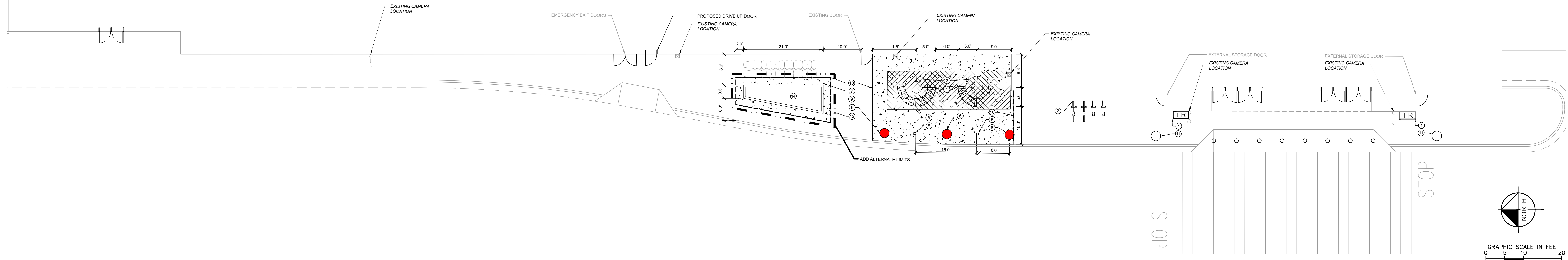
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TARGET

EXISTING TARGET BUILDING

(T-1460)



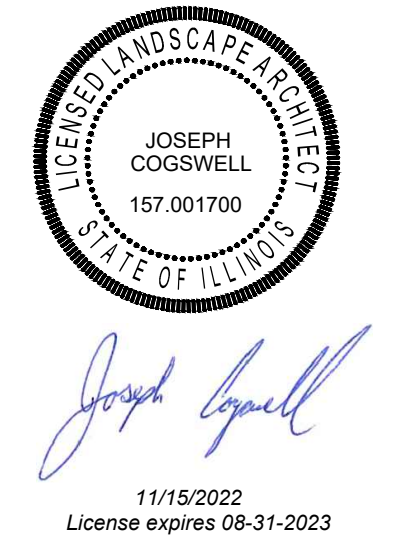
1 SITE-FURNITURE PLAN ENLARGEMENT
SCALE: 1"=10'

KEYNOTE	SYMBOL	ELEMENT	QUANTITIES	DETAIL
1	TR	LITTER RECEPTACLE (TYP.) (OWNER PROVIDED)	2	1/500
2		BIKE RACK (TYP.) (OWNER PROVIDED)	4	2/500
3		PLANTER WALL (TYP.) (OWNER PROVIDED)	2	3/500
4		BENCH - PIANO KEY (TYP.) (OWNER PROVIDED)	3	4/500
5	■	BOLLARD - SQUARE (TYP.) (OWNER PROVIDED)	2	5/500
6	●	SPHERICAL RED CONCRETE BOLLARD (TYP.) (OWNER PROVIDED)	3	6/500
7	—	6" PLANTER CURB (TYP.)		7/500
8		CONCRETE OVER STRUCTURAL SOIL (TYP.)		8/500
9		CONCRETE SIDEWALK (TYP.)		9/500
10	- - -	SAWCUT LINE, MATCH EXISTING (TYP.)		
11		REPAINT EXISTING SPHERICAL RED CONCRETE BOLLARD, 2 COATS (TYP.)	2	
12	- · - · -	ADD ALTERNATE LIMITS (TYP.)		
13		EXISTING WALL MOUNTED CAMERA (FOR REFERENCE ONLY)		
14		CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AROUND PROPOSED PLANTER MINIMUM GRADE 0.6%, MAXIMUM GRADE 1.9%		

NOTE:
BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY SUITABLE ACCESSIBLE ROUTES (PER A.D.A.) GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT A.D.A. STATE/NATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2%. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 0%. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE A.D.A. COMPLIANT. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF A.D.A. CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A. COMPLIANCE ISSUES.



Date	No.	Description
11/15/2022	0	CONSTRUCTION DOCUMENT 100% SET



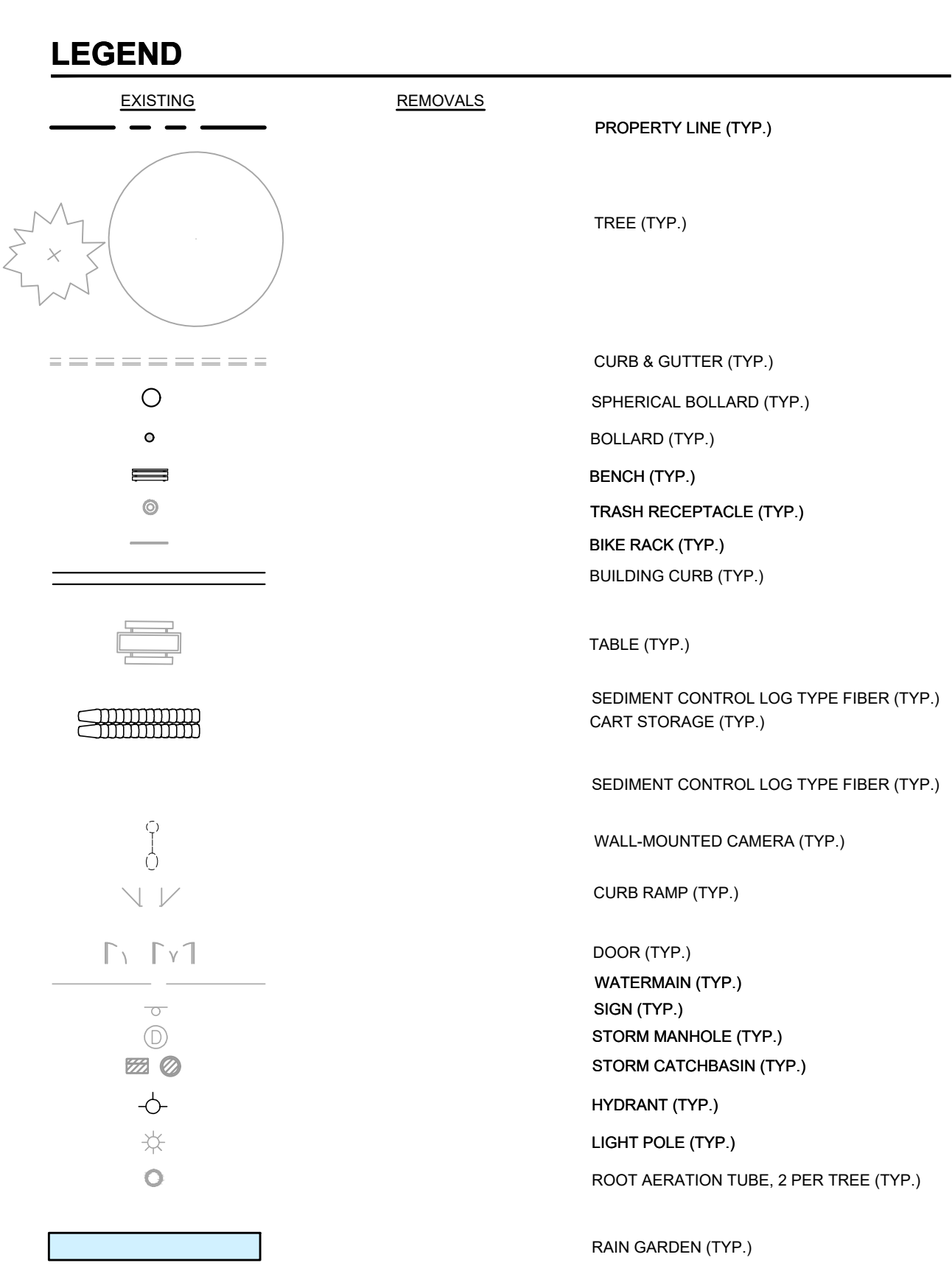
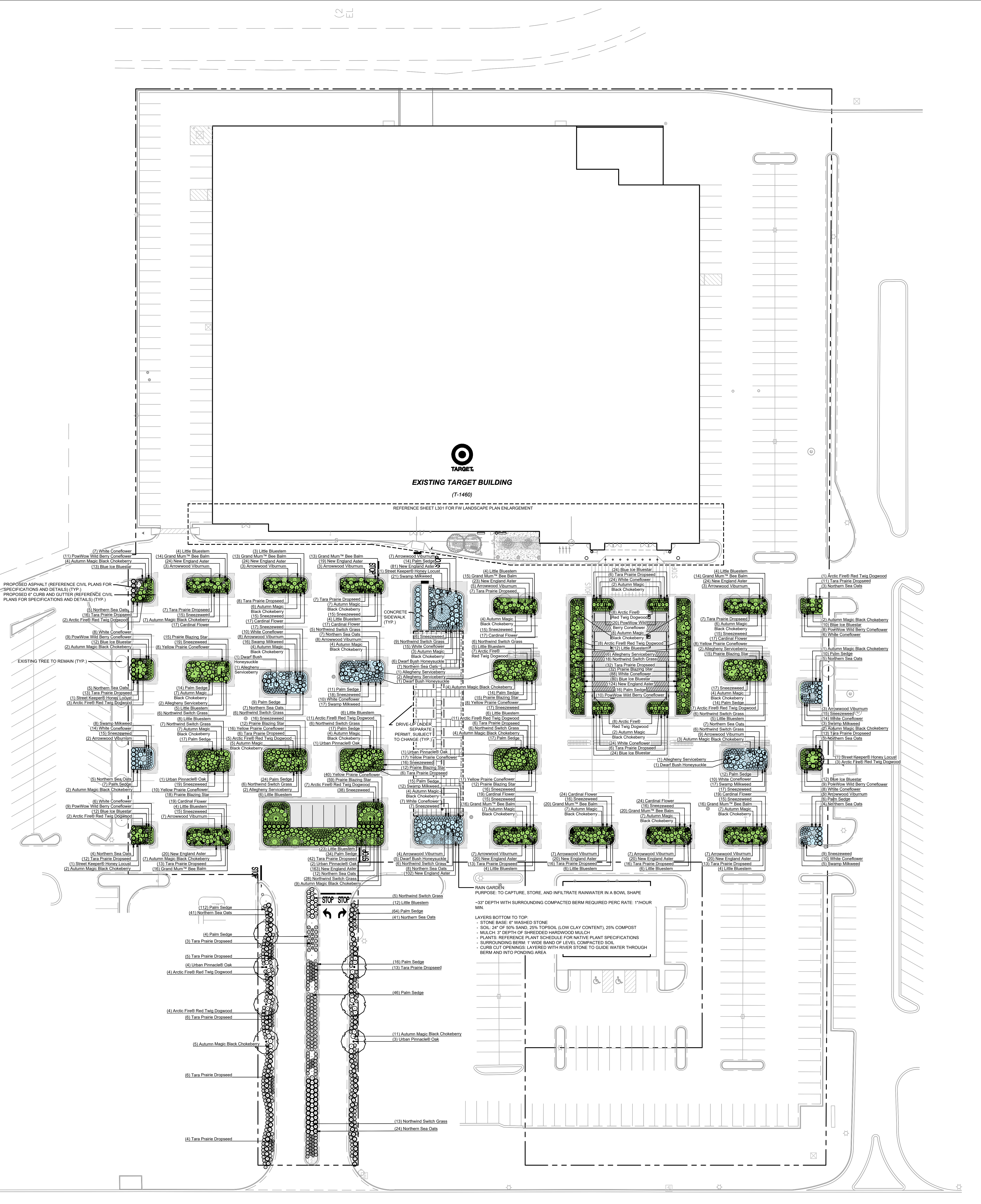
Project Number	T-1460
Format/Configuration:	P2001
Drawn By	EIW
Checked By	T.JL./RAH

FW SITE FURNITURE PLAN
L200



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C:\Users\jant.kimley\OneDrive\Documents\Projects\T-1460\XSS Landscape\XSS Landscape Plan.dwg November 22, 2022 - 8:58am
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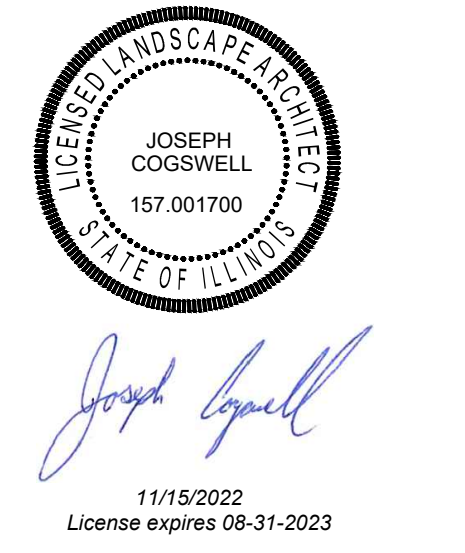
PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CAL	CONT.
	4	GLEDITSIA TRIACANTHOS INERMIS 'DRAVES'	STREET KEEPER® HONEY LOCUST	2" CAL.	B&B
	12	QUERCUS MACROCARPA 'JFS-KW3'	URBAN PINNACLE® OAK	2" CAL.	B&B
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	CAL	CONT.
	17	AMELANCHIER LAEVIS	ALLEGHENY SERVICEBERRY	2" CAL.	B&B
DECIDUOUS SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CAL	CONT.
	170	ARONIA MELANOCARPA 'AUTUMN MAGIC'	AUTUMN MAGIC BLACK CHOKEBERRY	3 GAL.	
	91	CORNUS SERICEA 'FARROW'	ARCTIC FIRE® RED TWIG DOGWOOD	5 GAL.	
	14	DIERVILLA LONICERA	DWARF BUSH HONEYSUCKLE	5 GAL.	
	98	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	2 GAL.	
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	CAL.	CONT.
	530	CAREX MUSKINGUMENSIS	PALM SEDGE	1 GAL.	
	190	CHASMANTHUM LATIFOLIUM	NORTHERN SEA OATS	3 GAL.	
	139	PANICUM VIRGATUM 'NORTHWIND'	NORTHWIND SWITCH GRASS	3 GAL.	
	131	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	3 GAL.	
	335	SPOROBOLUS HETEROLEPIS 'TARA'	TARA PRAIRIE DROPSSEED	3 GAL.	
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	CAL.	CONT.
	187	AMSONIA X 'BLUE ICE'	BLUE ICE BLUESTAR	1 GAL.	
	102	ASCLEPIAS INCARNATA	SWAMP MILKWEED	1 GAL.	
	264	ECHINACEA PURPUREA 'ALBA'	WHITE CONEFLOWER	1 GAL.	
	146	ECHINACEA X 'POW WOW WILDBERRY'	POW WOW WILD BERRY CONEFLOWER	1 GAL.	
	414	HELENIUM AUTUMNALE	SNEEZEWEED	1 GAL.	
	190	LIATRIS Pycnostachya	PRAIRIE BLAZING STAR	1 GAL.	
	190	LOBELIA CARDINALIS	CARDINAL FLOWER	1 GAL.	
	157	MONARDA DIDYMA 'MCMJUM'	GRAND MUM™ BEE BALM	1 GAL.	
	124	RATIBIDA COLUMNIFERA	YELLOW PRAIRIE CONEFLOWER	1 GAL.	
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CAL.	CONT.
	708	ASTER NOVAE-ANGLIAE	NEW ENGLAND ASTER	1 GAL.	18" o.c.

NOTE:
 XSS TOTAL SOIL AREA TO BE AMENDED: 26,229 SF
 AMENDED SOIL PROFILE FROM TOP TO BOTTOM:
 • 3" DEPTH SHREDDED HARDWOOD MULCH
 • 3" DEPTH REFERENCE PLANT SCHEDULE FOR NATIVE PLANT SPECIFICATIONS SURROUNDING BERM 1' WIDE BAND OF LEVEL COMPACTED SOIL
 • CURB CUT GROUNDS LAYERED WITH RIVER STONE TO GUIDE WATER THROUGH BERM AND INTO PONDING AREA



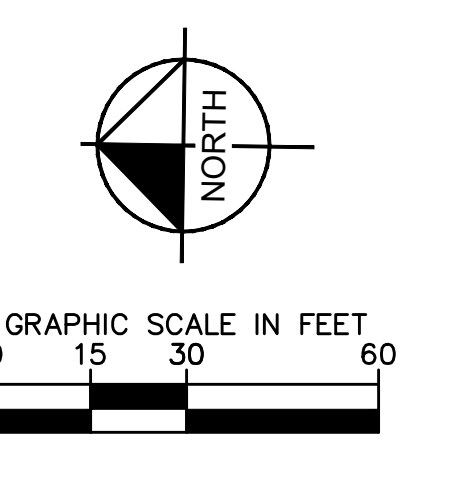
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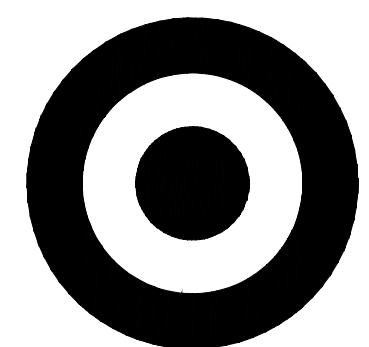


Project Number: **T-1460**
 Format/Configuration:
 Drawn By: DLO
 Checked By: KSS / HM

XSS LANDSCAPE PLAN

L300

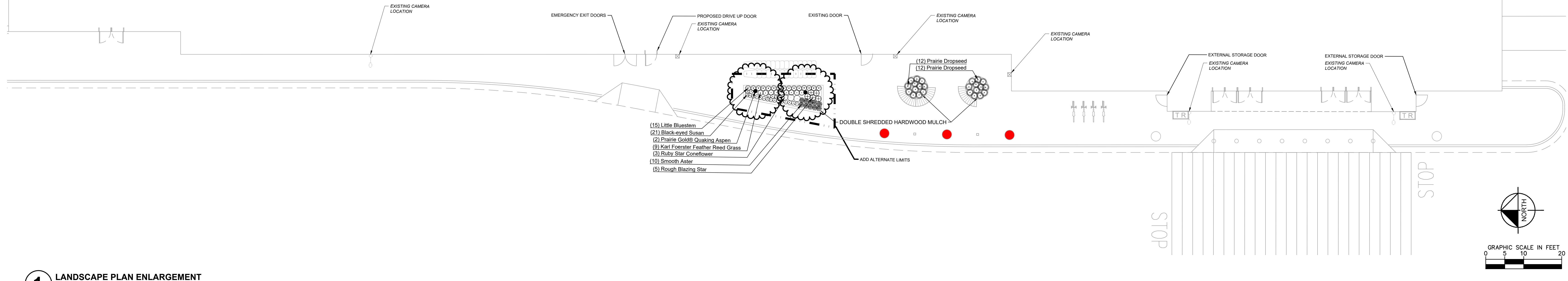




TARGET

EXISTING TARGET BUILDING

(T-1460)



1 LANDSCAPE PLAN ENLARGEMENT

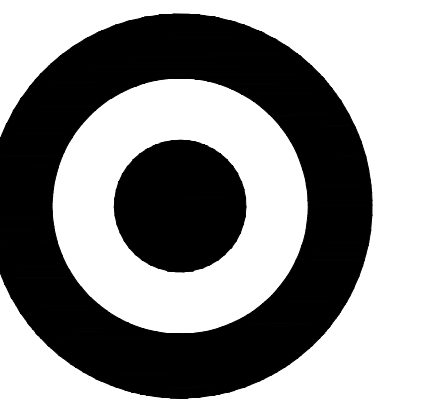
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PLANT SCHEDULE

ORNAMENTAL TREE	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
	PGP	2	POPULUS TREMULOIDES 'NE ARB'	PRAIRIE GOLD® QUAKING ASPEN	B & B	2" CAL.
PERENNIALS AND GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	SMA	10	ASTER LAEVIS	SMOOTH ASTER	#1 CONT.	1.5' O.C.
	KFG	9	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	#1 CONT.	30" O.C.
	RBC	3	ECHINACEA PURPUREA 'RUBY STAR'	RUBY STAR CONEFLOWER	#1 CONT.	20" O.C.
	LAS	5	LIATRIS ASPERA	ROUGH BLAZING STAR	#1 CONT.	1.5' O.C.
	RHS	21	RUDBECKIA HIRTA	BLACK-EYED SUSAN	#1 CONT.	1' OC
	LBS	15	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	#1 CONT.	1.5' O.C.
	PDS	24	SPOROBOLLUS HETEROLEPIS	PRAIRIE DROPSEED	#1 CONT.	18" O.C.

LANDSCAPE KEYNOTES

- ⊙ DOUBLE SHREDDED HARDWOOD MULCH (TYP.)



TARGET

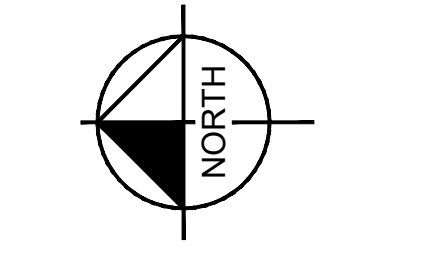
1000 NICOLLET MALL
MINNEAPOLIS, MN 55403

Kimley»Horn

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111 W JACKSON BLVD, SUITE 1500, CHICAGO, IL 60604
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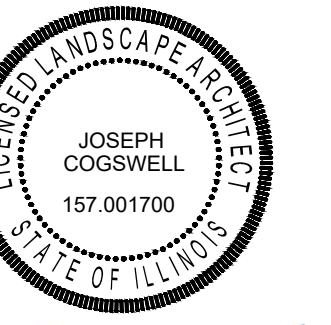
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GRAPHIC SCALE IN FEET
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L301



11/15/2022
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HOMWOOD, IL
17605 S HALSTED ST,
HOMWOOD, IL 60430, IL

Project Number T-1460

Format/Configuration: P2001

Drawn By: EIW

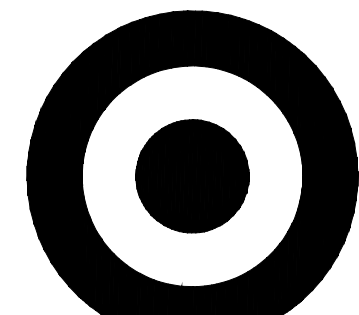
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FW LANDSCAPE
PLAN

L301



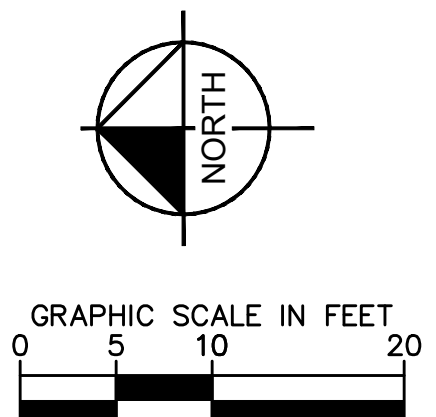
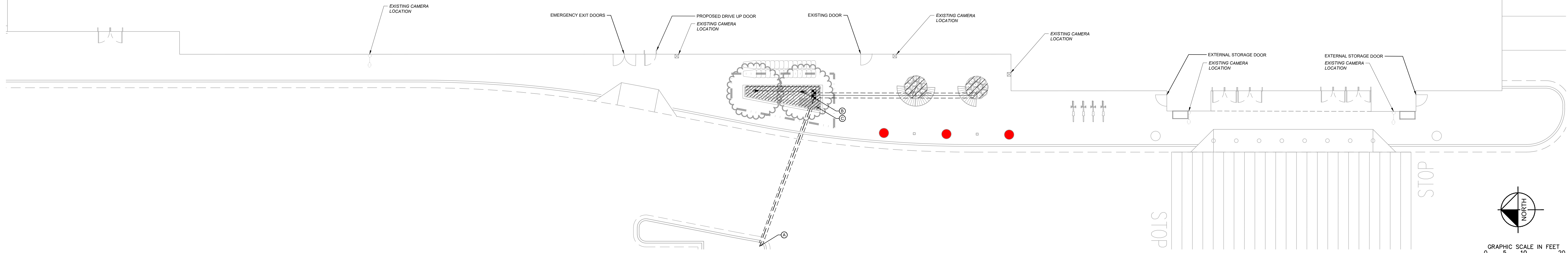
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TARGET

EXISTING TARGET BUILDING

(T-1460)



1 IRRIGATION PLAN ENLARGEMENT

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
1401	RAIN BIRD RWS-M-B-C W/ RWS-SOCK 1400 SERIES MINI HOOD WATERING SYSTEM WITH 4" DIAMETER X 18" LONG WITH LOCKING GRATE, SEMI-RIGID MESH TUBE AND RAIN BIRD 1401 0.25 GPM OR 1402 0.5 GPM BUBBLER AS INDICATED, WITH CHECK VALVE, AND SAND SOCK FOR SANDY SOIL.	5	30
	RAIN BIRD XC2-165-PRB-COM HIGH FLOW CONTROL ZONE KIT, FOR LARGE COMMERCIAL DRIP ZONES. 1-1/2" PRESS VALVE WITH TWO 1" PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTERS. FLOW RANGE: 15-40 GPM.	4	
	AREA TO RECEIVE DRIPLINE RAIN BIRD XFCV-06-18 XFCV ON-SURFACE LANDSCAPE DRIPLINE WITH A HEAVY-DUTY 3.5 PSI CHECK VALVE, 0.6 GPH EMITTERS AT 18" O.C. DRIPLINE LATERALS SPACED AT 18" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN, GREAT FOR ELEVATION CHANGE. SPECIFY XF INSERT FITTINGS.	603.1 L.F.	
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 PVC CLASS 200 IRRIGATION PIPE. ONLY LATERAL TRANSITION PIPE SIZES 1" AND ABOVE ARE INDICATED ON THE PLAN, WITH ALL OTHERS BEING 3/4" IN SIZE.	389.4 L.F.	
	IRRIGATION MAINLINE: PVC CLASS 200 SDR 21 PVC CLASS 200 IRRIGATION PIPE.	89.0 L.F.	
	PIPE SLEEVE: PVC SCHEDULE 40 TYPICAL PIPE SLEEVE FOR IRRIGATION PIPE. PIPE SLEEVE SIZE SHALL ALLOW FOR IRRIGATION PIPING AND THEIR RELATED COUPLINGS TO EASILY SLIDE THROUGH SLEEVING MATERIAL. EXTEND SLEEVES 18 INCHES BEYOND EDGES OF PAVING FOR CONSTRUCTION.	179.7 L.F.	

KEYNOTE LEGEND

- ⊙ POINT OF CONNECTION. VERIFY LOCATION WITH OWNER
- ⊙ IRRIGATION CONTROLLER TO BE INSTALLED IN MECHANICAL ROOM. VERIFY FINAL LOCATION WITH OWNER PRIOR TO INSTALLATION. PROVIDE ELECTRICAL SUPPLY PER MANUFACTURER'S SPECIFICATION.
- ⊙ SOLAR SYNC AND FREEZE CHECK LOCATION. AVOID OVERHEAD OBSTRUCTIONS AND OVERSPRAY.
- ⊙ MAINLINE & VALVES SHOWN FOR CLARITY. INSTALL MAINLINE AND VALVE WITH THE PROPERTY LINE, 6" FROM S.O.C. WHEN POSSIBLE AND IN GREEN SPACE. COORDINATE WITH OTHER DISCIPLINES TO AVOID CONFLICTS (TYP.)
- ⊙ SLEEVING SHOWN FOR CLARITY. INSTALL LATERALS IN ONE SLEEVE AND SIZE SLEEVE ACCORDINGLY (TYP.)
- ⊙ CONTRACTOR TO ADJUST ALL OVERHEAD SPRAY HEADS TO ENSURE MINIMAL OVERSPRAY OCCURS ON ANY HARDSCAPE SURFACE, BUILDING, BIOMASS (TYP.)
- ⊙ ALL DRIP ZONES TO HAVE MINIMUM 12" SETBACK (CLEAR ZONE) BETWEEN DRIPLINE AND ROAD EDGE OR PAVEMENT EDGE (TYP.)
- ⊙ FIELD VERIFY LOCATION OF EXISTING IRRIGATION SYSTEM. TIE INTO EXISTING MAIN OR LATERAL. CONPRINED FOR NEW ZONE.

NOTE:
A WORKING, COMPLETE EXISTING IRRIGATION SYSTEM IS ANTICIPATED TO BE ON SITE. TIE INTO EXISTING IRRIGATION SYSTEM AT EXISTING PARKING LOT ISLANDS. FIELD VERIFY CONNECTION TO EXISTING HOSE BIB IN FRONT CONTROLLER INSIDE. IF IRRIGATION SYSTEM IS NOT IN WORKING CONDITION ACCESS THE EXISTING SYSTEM AND PROVIDE A SUMMARY OF CORRECTIONS NEEDED TO BRING THE SYSTEM INTO WORKING ORDER. CONTACT FRONT WALK CONTACT, TARGET CPM, AND EXTERIOR SERVICES@TARGET.COM.

IF EXISTING IRRIGATION SYSTEM DOES NOT EXIST ON SITE PLEASE CONTACT FRONT WALK CONTACT, TARGET CPM, AND EXTERIOR SERVICES@TARGET.COM

IRRIGATION NOTES

- IRRIGATION SYSTEM IS DIAGRAMMATIC. CONTRACTOR TO VERIFY AND DESIGN PER ACTUAL PRESSURE, PER LOCAL CODES, AND PER SITE REQUIREMENTS. CONTRACTOR TO SEND VERIFIED PRESSURE READING TO LANDSCAPE ARCHITECT BEFORE STARTING CONSTRUCTION. FIELD VERIFY LOCATION OF COMPONENTS WITH ACTUAL CONDITIONS PRIOR TO INSTALLATION. ADJUST AS NEEDED FOR COMPLETE COVERAGE. SYSTEM TO INCLUDE ALL PLUMBING AND ELECTRICAL, INCLUDING CONDUIT, SLEEVING, AND WEATHER-PROOF ENCLOSURES. SYSTEM SHALL BE COMPLETE. CONTRACTOR TO PROVIDE SHOP DRAWINGS, DESIGN PRESSURE DESIGN CALCULATIONS, AND RELATED PRODUCT SHEETS FOR OWNER OR LANDSCAPE ARCHITECT APPROVAL. CONTRACTOR TO PROVIDE "AS-BUILT" DRAWINGS OF IRRIGATION SYSTEM AT THE COMPLETION OF THE PROJECT. SYSTEM SHALL HAVE A ONE-YEAR WARRANTY ON PARTS AND LABOR. THE IRRIGATION SYSTEM SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATION. SEE SITE IRRIGATION SPECIFICATION SECTION FOR ADDITIONAL REQUIREMENTS, IF APPLICABLE. ZONE PARAMETERS: TURF AREAS SHALL HAVE SPRAYS/ROTORS, SHRUB/ PERENNIAL AREAS SHALL HAVE DRIP, AND TREES SHALL HAVE BUBBLERS.
- ALL PIPE SHALL BE SDR 26 CLASS 200 (DO NOT EXCEED 35 GPM FOR 1.5" AND 58 GPM FOR 2"). (DO NOT EXCEED 13 GPM FOR 1" AND 22 GPM FOR 1.25"). PIPE SIZE TO BE IDENTIFIED BY CONTRACTOR PER ZONE REQUIREMENTS. DEPTH OF PIPE TO BE 18" FOR MAINLINE AND 12" FOR LATERAL LINES. FIELD VERIFY. LOCATE IRRIGATION PIPE AWAY FROM PLANT MATERIAL.
- ALL WIRING, BACKFLOW PREVENTOR, AND PLUMBING AS PER LOCAL CODE. WATER CONNECTION BY MECHANICAL AND UTILITY CONTRACTOR. VERIFY AND ADD BOOSTER PUMP AS REQUIRED. VERIFY POWER CONNECTION WITH ELECTRICAL.
- ALL VALVES, FLOW SENSORS, AND QUICK COUPLERS SHALL BE LOCATED IN VALVE BOXES/SIZED FOR NORMAL MAINTENANCE. FLUSH WITH FINAL GRADE. PROVIDE (2) QUICK COUPLER KEYS AND HOSE SWIVELS. PROVIDE DECODERS FOR 2-WIRE SYSTEM AT EACH VALVE. FOR DRIP ZONES, PROVIDE DRIP KIT OF VALVE, PRESSURE REDUCER, AND FILTER WITHIN ONE VALVE BOX. DRIP ZONE AIR RELIEF VALVE AND FLUSH VALVE TO BE IN SEPARATE VALVE BOXES.
- FOLLOW CONTROLLER SPECIFICATION IN SCHEDULE AND DETAILS. FOLLOW ALL MANUFACTURER SPECIFICATIONS FOR GROUNDING CONTROLLER AND TWO-WIRE PATH MOUNT AND CONNECT CONTROLLER AND OTHER CONTROLLER ACCESSORIES, SUCH AS HAND HELD REMOTE, WEATHER/RAIN/FREEZE SENSOR, FLOW SENSOR, AND OTHER RELATED ITEMS. THIS ALSO INCLUDES PAINTED CONDUIT AND MOUNTING BOARDS AND HARDWARE FOR ALL EXPOSED AREA AS DIRECTED BY OWNER.
- FIRST YEAR WINTERIZATION AND SPRING START UP OF SYSTEM SHALL BE PERFORMED BY IRRIGATION CONTRACTOR, UNLESS INDICATED OTHERWISE.
- MINIMUM 4" PVC SCHEDULE 40 SLEEVING SHALL BE REQUIRED UNDER ALL WALKS AND PAVEMENTS FOR IRRIGATION PIPE AND WIRES. PROVIDE 12" LENGTH OF #8 REBAR AT EACH TEMPORARILY SEALED END, STAND PIPE, OR OTHER APPROVED METHODS FOR FUTURE LOCATING. EXTEND SLEEVING AT LEAST 1 FOOT BEYOND EDGE OF PAVEMENT. PROVIDE PVC STAND PIPE FOR LOCATING ENDS OF SLEEVING. PROVIDE MINIMUM TWO SIZES LARGER THAN PIPE SIZE. PROVIDE ADDITIONAL SLEEVING FOR WIRING. SLEEVE DEPTH IS PRIMARILY 18 INCHES. COORDINATE AND FLAG SLEEVING PRIOR TO PAVEMENT INSTALLATION. DIRECTIONAL BORE UNDER PAVEMENT IN EXISTING CONDITIONS TO REMAIN.
- BIDDING CONTRACTORS SHOULD BECOME THOROUGHLY FAMILIAR WITH ALL FACETS OF THE PROPOSED IRRIGATION SYSTEM. THE SPECIFIED CONTROLLER HAS MANY ADVANCED FEATURES THAT AID WATER CONSERVATION. THESE FEATURES SHALL BE USED BY CONTRACTOR, INCLUDING WEATHER-BASED PROGRAMING AND CELLULAR COMMUNICATION TO THE CONTROLLER, FAILURE TO CLARIFY MISUNDERSTANDINGS, OR INTENT OF THESE DRAWINGS AND SPECIFICATIONS BEFORE SUBMITTAL OF BID SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE IRRIGATION CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES AND SHALL TAKE PROPER PRECAUTIONS NOT TO DAMAGE OR DISTURB UTILITIES OR EXISTING CONDITIONS. CONTRACTOR SHALL REPAIR/RESTORE ANY DAMAGE INVOLVING IRRIGATION INSTALLATION.
- INSTALL WEATHER/RAIN/FREEZE SENSOR(S) ON EXTERIOR WEATHER EXPOSED VERTICAL SURFACE(S). COORDINATE WITH OWNER'S AUTHORIZED REPRESENTATIVE AS TO FINAL LOCATION.
- CONTROL WIRE WILL BE SOLID COPPER WIRE MANUFACTURE BY PAIGE OR REGENNY. PAIGE 7072 REV D OR APPROVED EQUAL U.I. APPROVED FOR DIRECT BURIAL IN GROUND. MINIMUM GAUGE: MINIMUM #14 U.F. FOR EITHER MUL TI-STRAND OR TWO-WIRE. COMMON GROUND WIRE, IF APPLICABLE, SHALL BE MINIMUM #12 GAUGE WHITE. FOR MULTI-STRAND SYSTEMS, PROVIDE TWO EXTRA CIRCUIT WIRES AND ONE EXTRA COMMON GROUND WIRE FOR ENTIRE MAINLINE LENGTH. MARK AS APPROPRIATE. 24 VAC WIRE SPLICING MATERIAL WILL BE DIRECT BURIAL SPLICE KIT AS MANUFACTURED BY 3M.
- SOME AREAS MAY REQUIRE RISER EXTENSIONS FOR SPRINKLERS OR A FIXED RISER WITH A SHRUB HEAD OR SHRUB ADAPTER TO OBTAIN PROPER COVERAGE. ROTOR NOZZLES TO PROVIDE PROPER COVERAGE AND MATCH PRECIPITATION, AS REQUIRED. FIELD ADJUST AS NEEDED. SPRAY HEADS IN TURF AREAS TO BE 6" POP-UPS AND IN LANDSCAPE BEDS TO BE 12" POP-UPS. INSTALL ROTOR AND SPRAY HEADS TO LATERAL LINE WITH FLEX TUBING OR SWING JOINTS. BUBBLERS TO BE ON 6" POP-UP.
- VERIFY AND COORDINATE WITH OWNER REPRESENTATIVE FINAL LOCATION OF WATER SOURCE AND ELECTRICAL POWER CONNECTION.
- COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH OTHER IMPROVEMENTS.
- PROVIDE 1" VALVES FOR SPRAY AND ROTOR ZONES FOR 30 GPM OR LESS, AND 1.5" VALVE FOR ZONES GREATER THAN 30 GPM. DRIP ZONES 1" OR 1.5" VALVES PER DEMAND OF ZONE. 1" DRIP MAINFOLD FOR FLOWS OF 2 TO 15GPM. 1.5" DRIP MAINFOLD FOR FLOWS OF 15 TO 40GPM.
- CONTRACTOR TO SCHEDULE AND PROGRAM CONTROLLER AND VALVES FOR APPROPRIATE LANDSCAPE WATER REQUIREMENTS. VERIFY WITH OWNER AS TO TIME AND SPECIFIC REQUIREMENTS. VERIFY WITH OWNER AS TO TIME AND SPECIFIC REQUIREMENTS. PROVIDE OWNER PAPER COPY/EMAIL OF PROGRAMING SCHEDULE FOR ALL ZONES. PROVIDE ESTABLISHMENT AND POST-ESTABLISHMENT SCHEDULES.
- DRIP IRRIGATION TO FOLLOW MANUFACTURERS RECOMMENDATION FOR TYPE, SIZE, AND LOCATION PER LANDSCAPE CONDITION. EACH DRIP ZONE SHALL HAVE ZONE VALVE, PRESSURE REDUCER, AND FILTER, AIR RELIEF VALVE, FLUSH VALVE, SUPPLY LATERAL LINES, DRIP TUBING WITH EMBEDDED EMITTERS, AND OTHER RELATED ITEMS. DRIP TUBING SHALL BE ANCHORED AND UNDER LANDSCAPE MULCH, HIDDEN FROM VIEW, WITH EMITTERS LOCATED AT PLANT LOCATIONS. DRIP TUBING SHALL ALSO BE LOOPED AND INTERCONNECTED, WITH NO DEAD-ENDS. ANY ADDITIONAL EMITTERS, AS NOTED ON PLAN.



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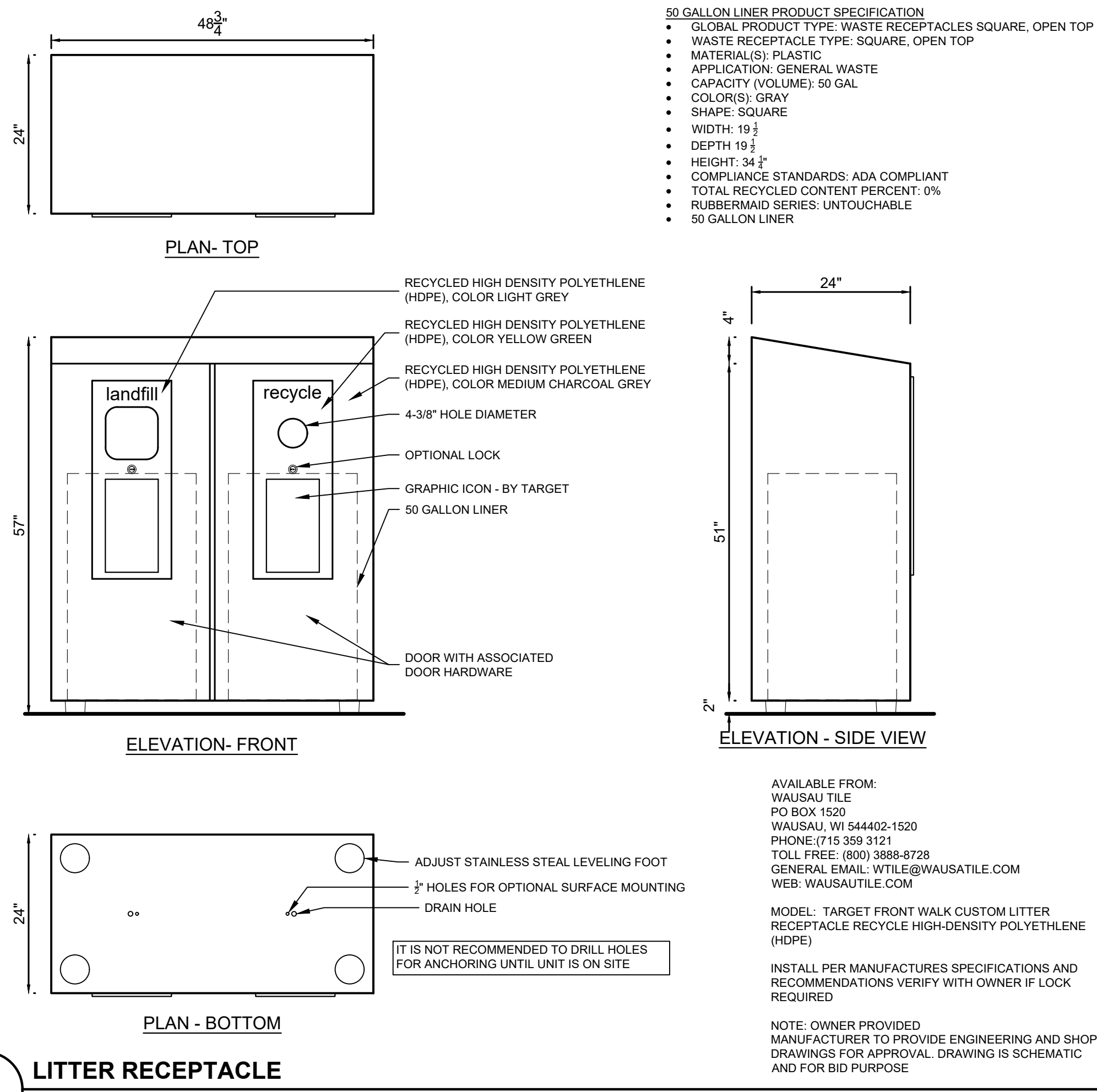


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HOMewood, IL
17605 S HALSTED ST.,
HOMewood, IL 60430, IL

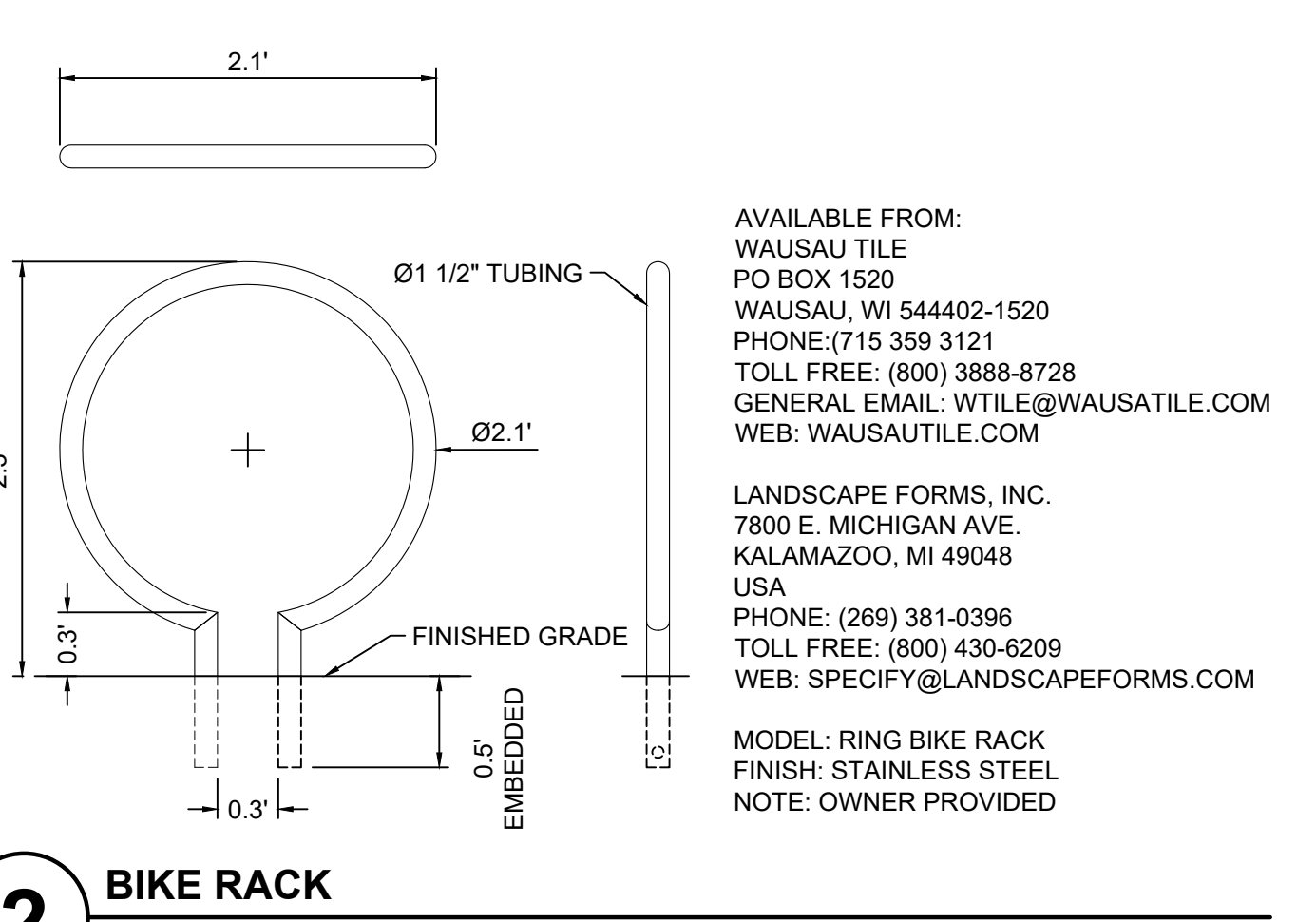
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Drawn By	EIW
Checked By	T.J.L./RAH

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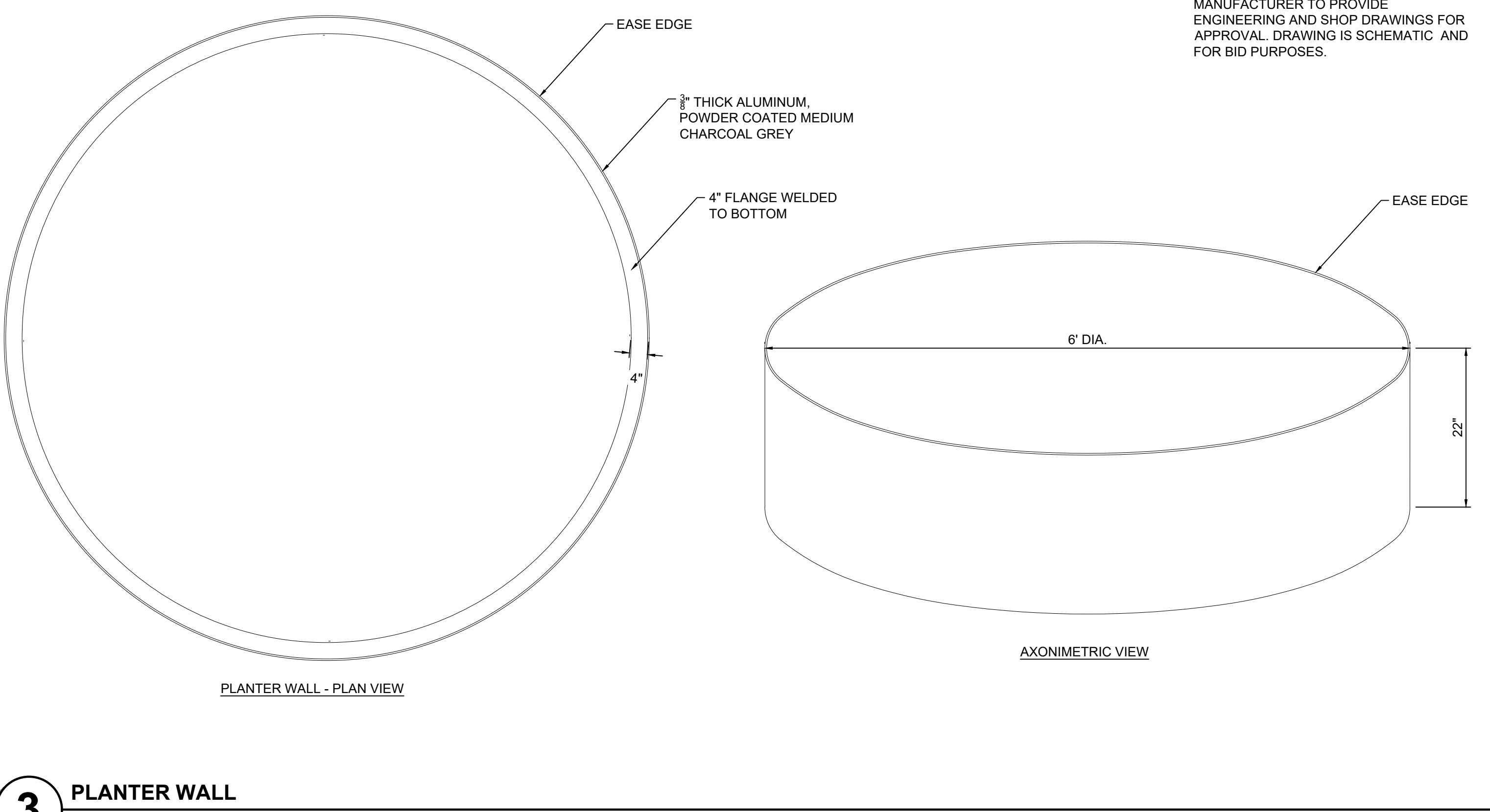
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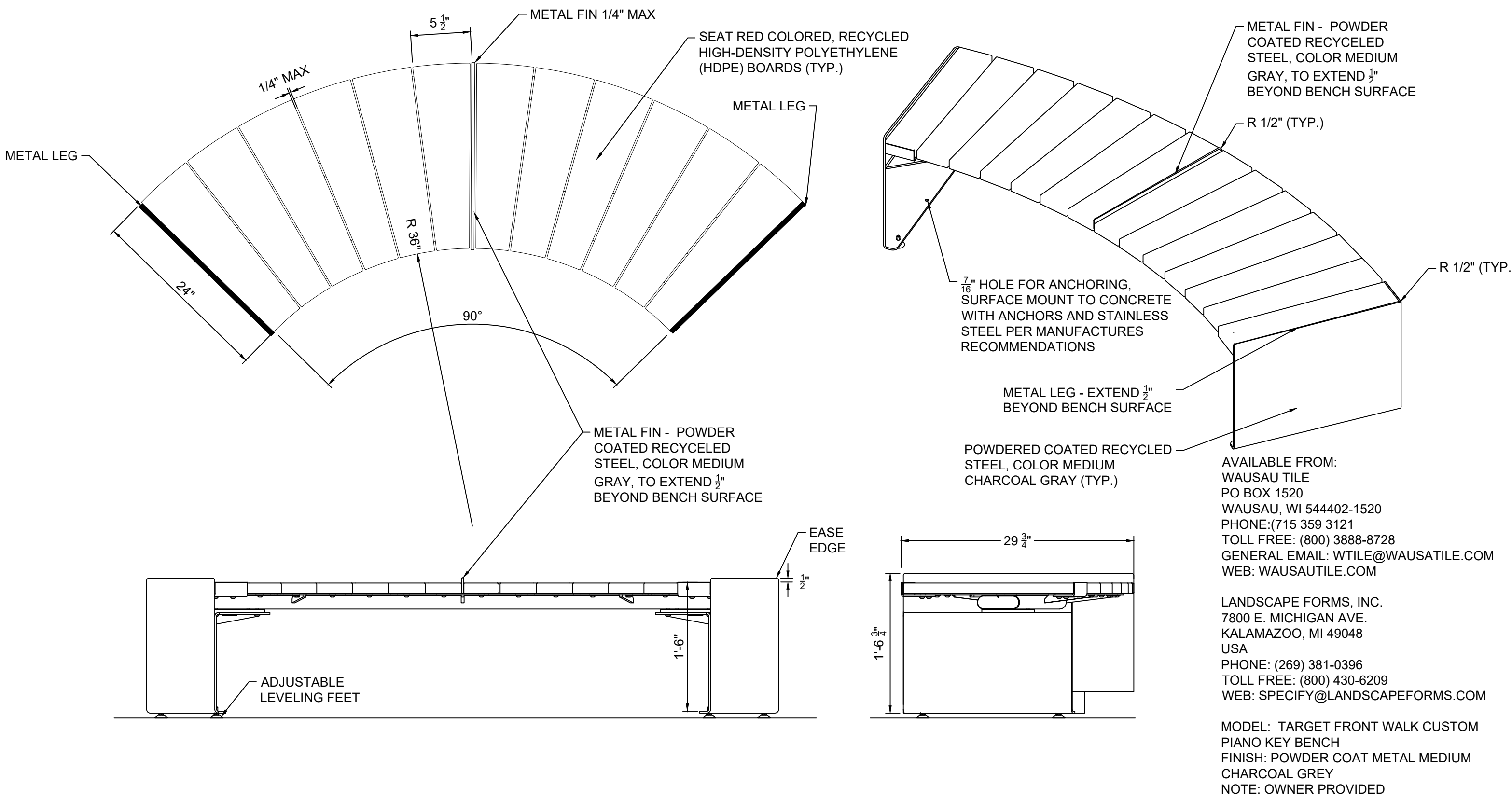
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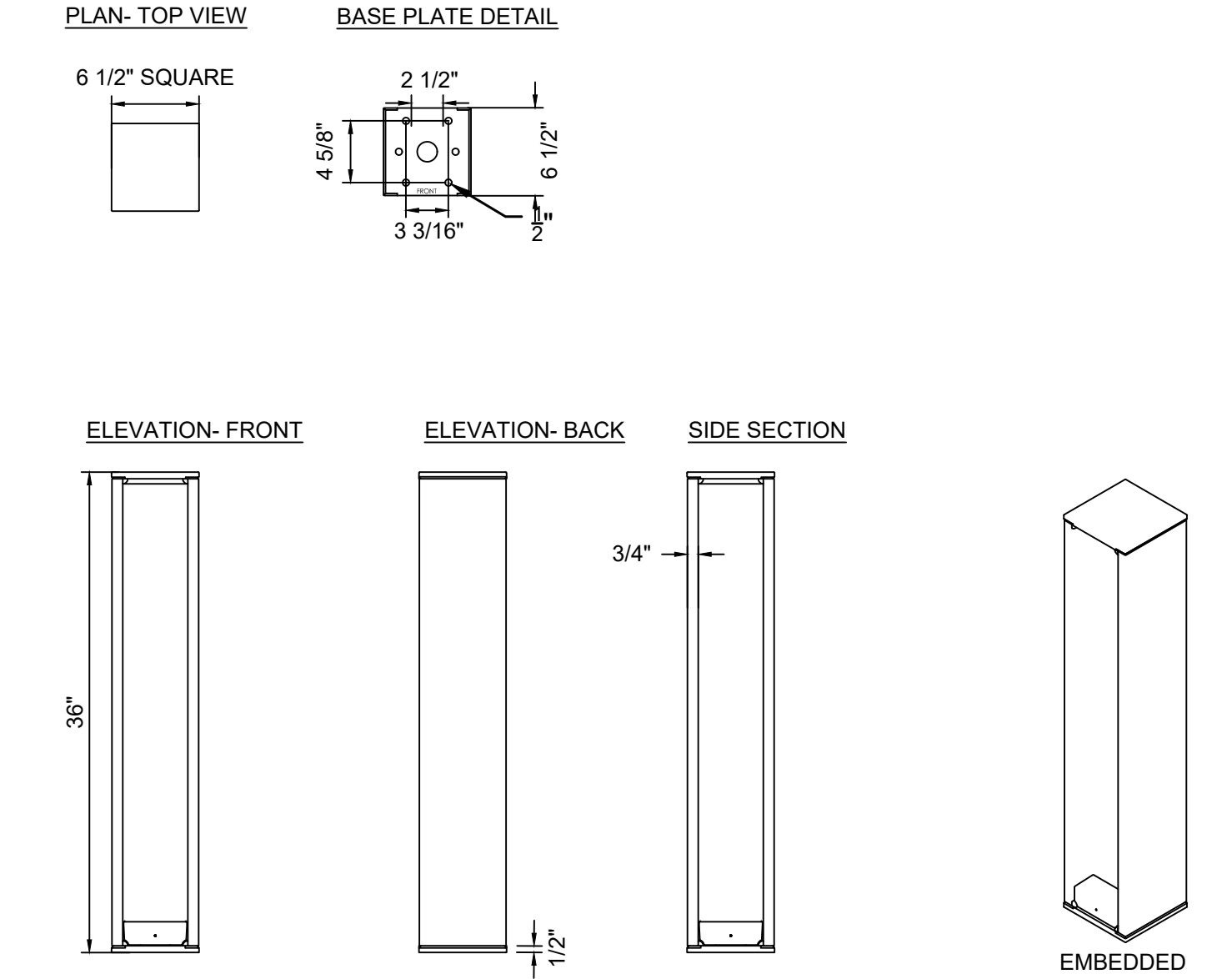
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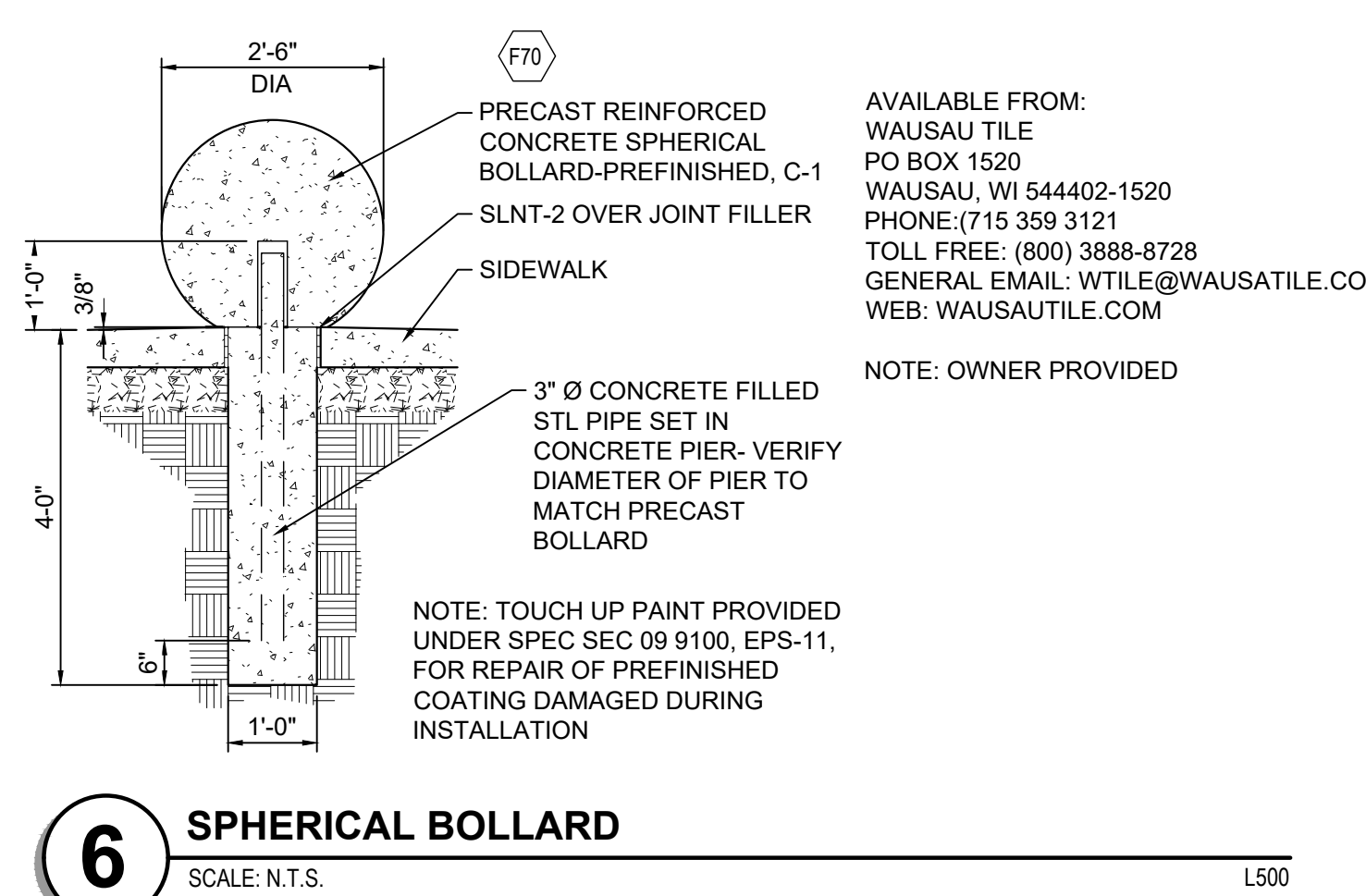
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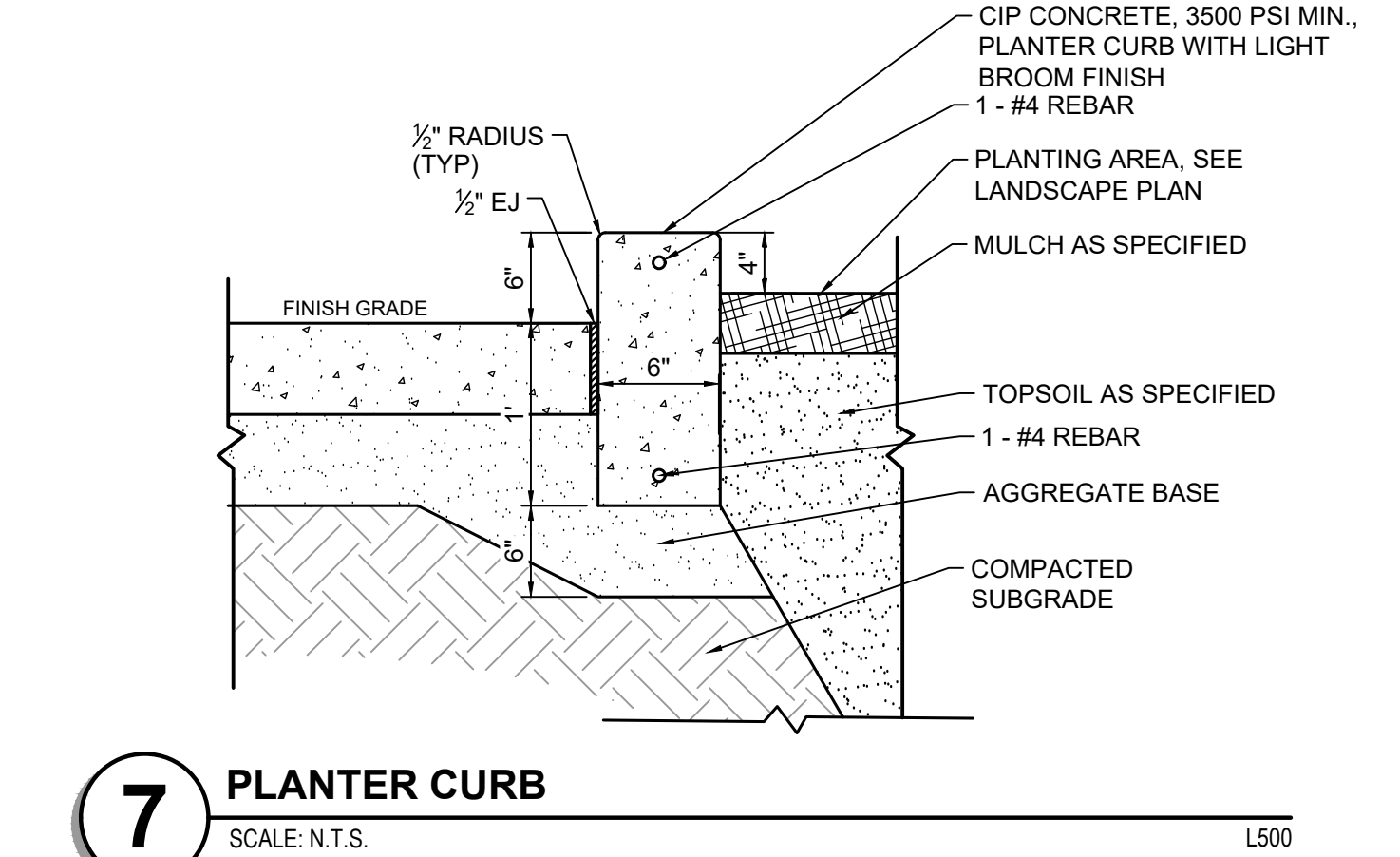
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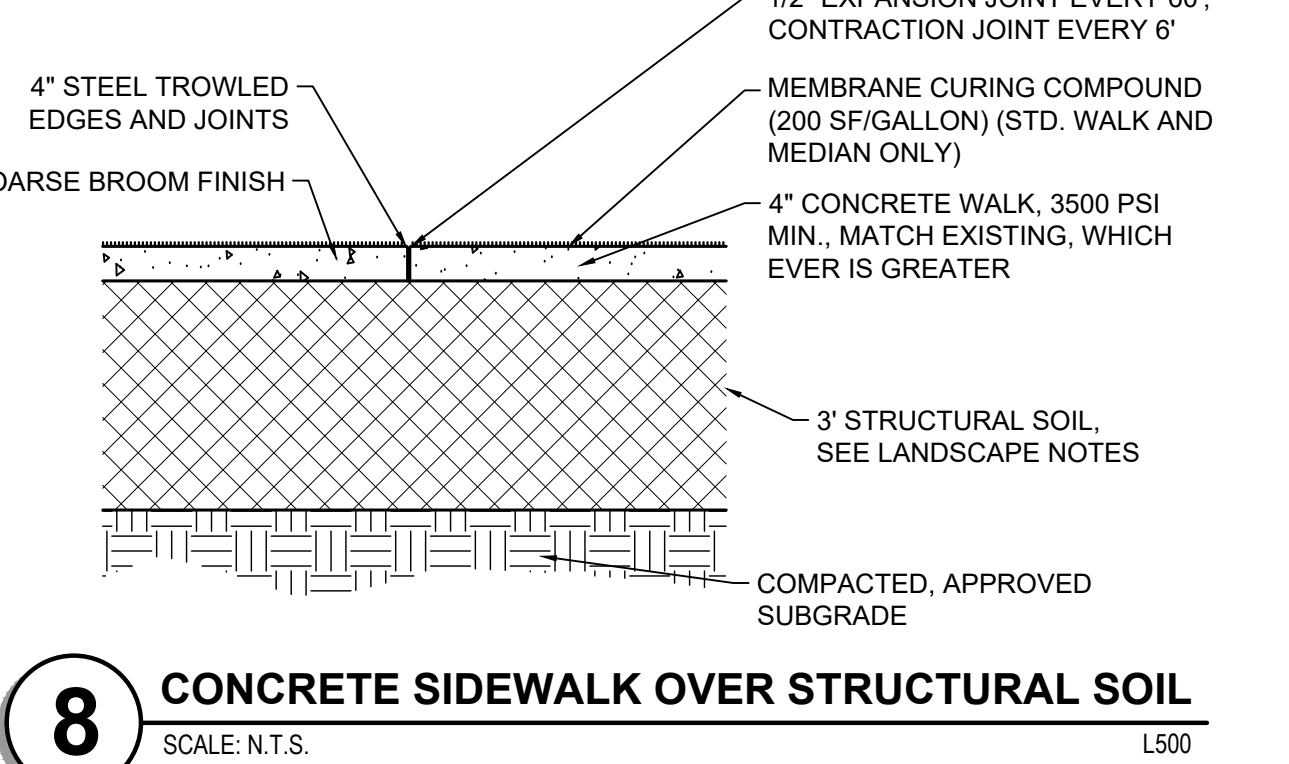
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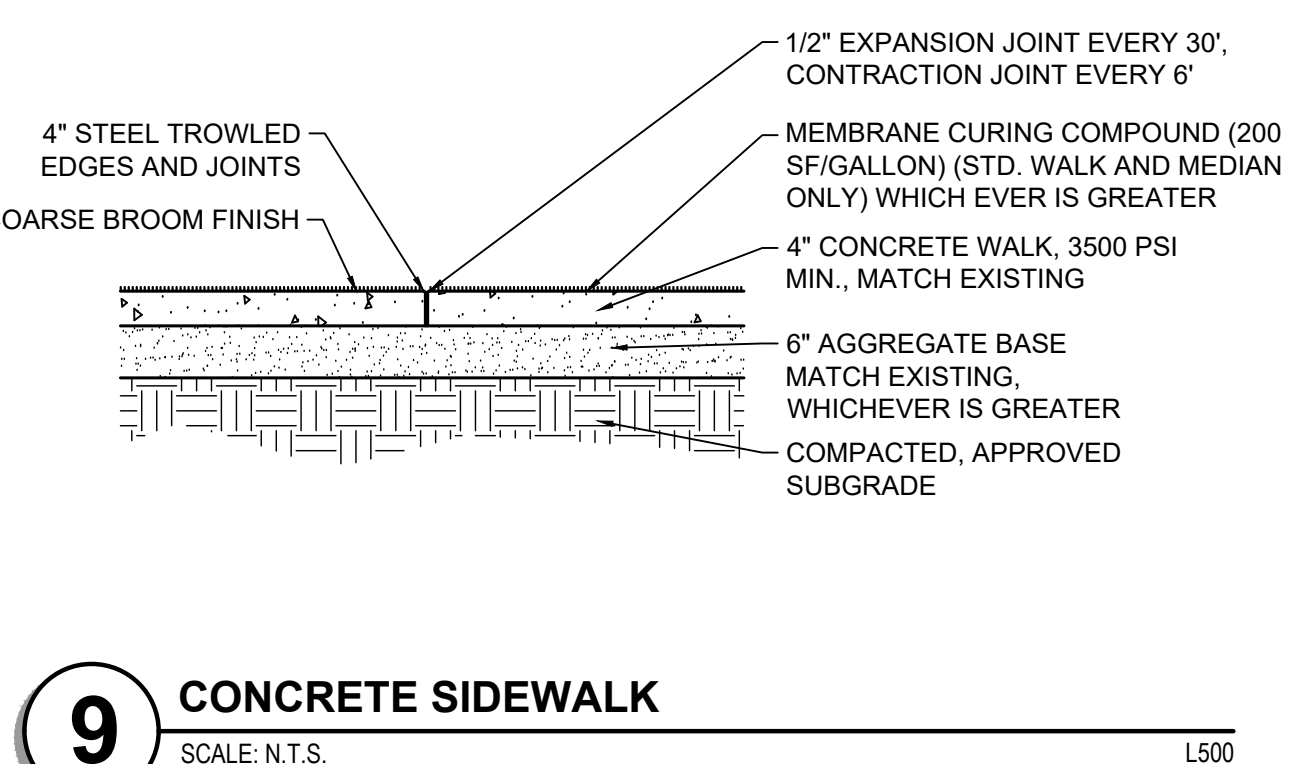
6 SPHERICAL BOLLARD
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7 PLANTER CURB
 SCALE: N.T.S.



8 CONCRETE SIDEWALK OVER STRUCTURAL SOIL
 SCALE: N.T.S.



9 CONCRETE SIDEWALK
 SCALE: N.T.S.

AVAILABLE FROM:
 WAUSAU TILE
 PO BOX 1520
 WAUSAU, WI 54402-1520
 PHONE: (715) 359-3121
 TOLL FREE: (800) 3888-8728
 GENERAL EMAIL: WTILE@WAUSATILE.COM
 WEB: WAUSATILE.COM

NOTE: OWNER PROVIDED MANUFACTURER TO PROVIDE ENGINEERING AND SHOP DRAWINGS FOR APPROVAL, DRAWING IS SCHEMATIC AND FOR BID PURPOSES.



Date	No.	Description
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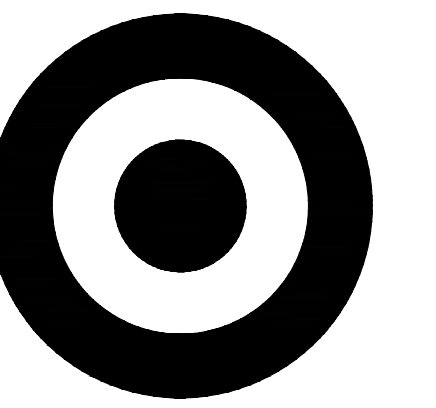
HOMewood, IL
 17605 S HALSTED ST.,
 HOMewood, IL 60430, IL

Project Number: **T-1460**

Format/Configuration:
 Drawn By: RAH / ERS
 Checked By: RAH

GENERAL DETAILS

L500

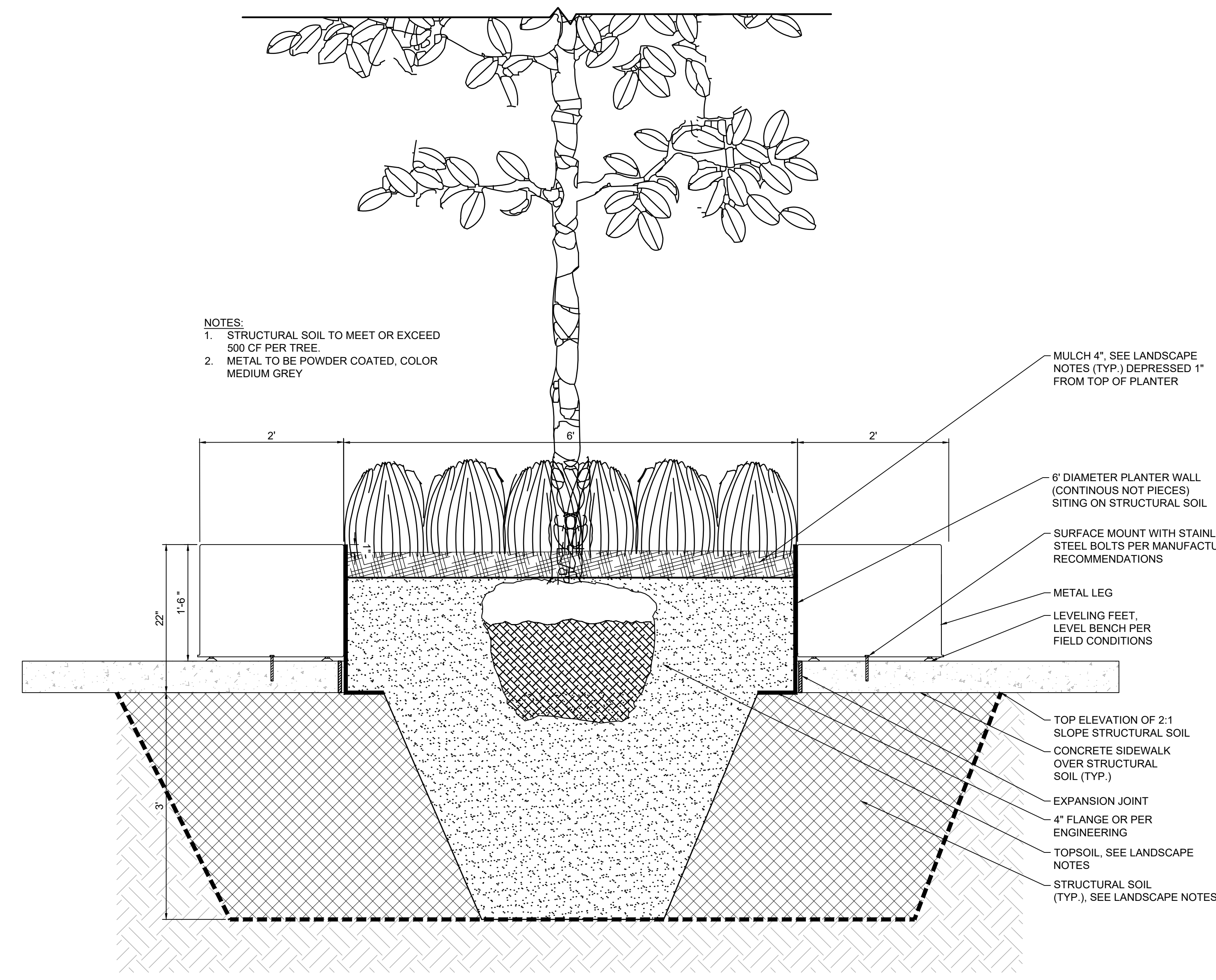


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1000 NICOLLET MALL
MINNEAPOLIS, MN 55403

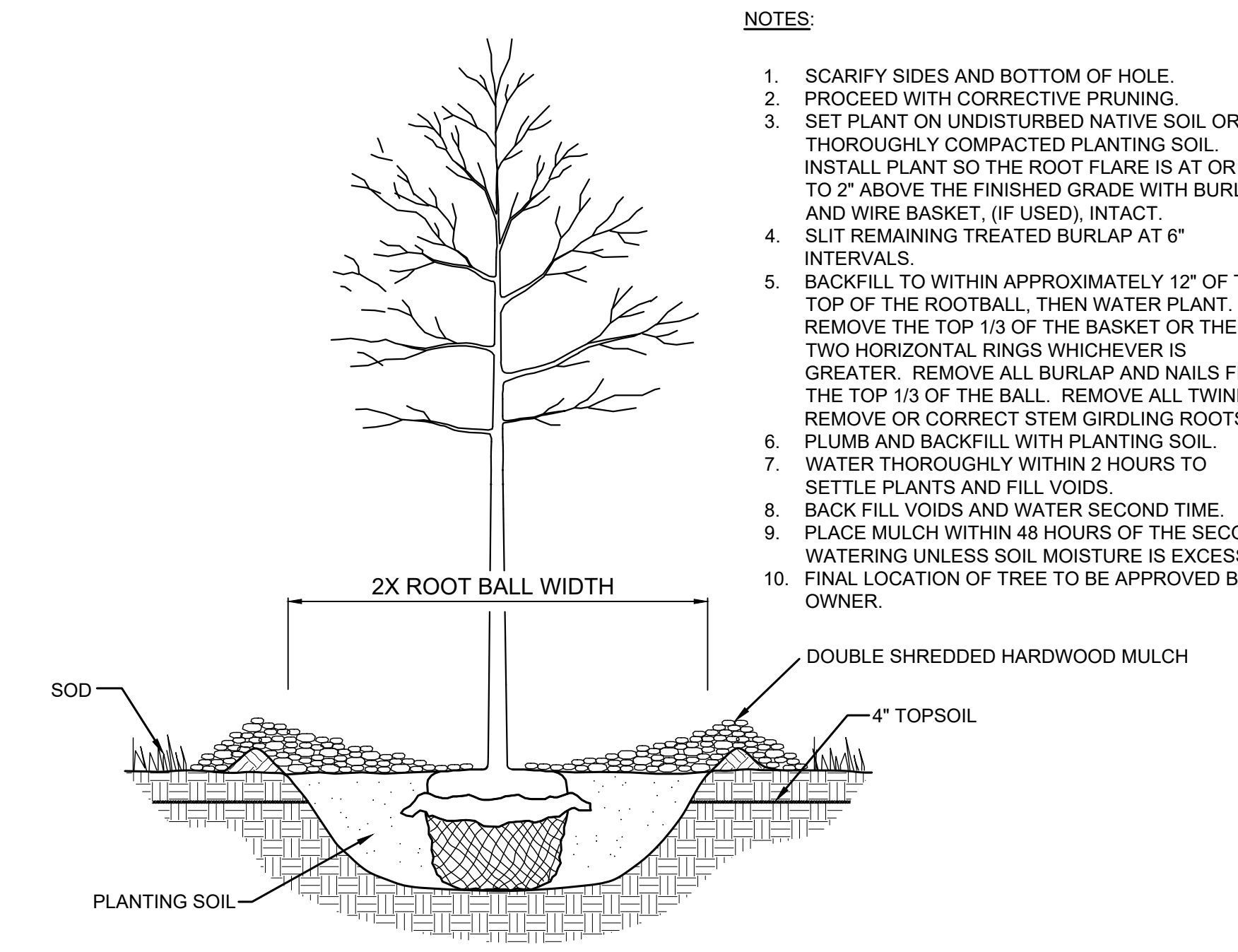


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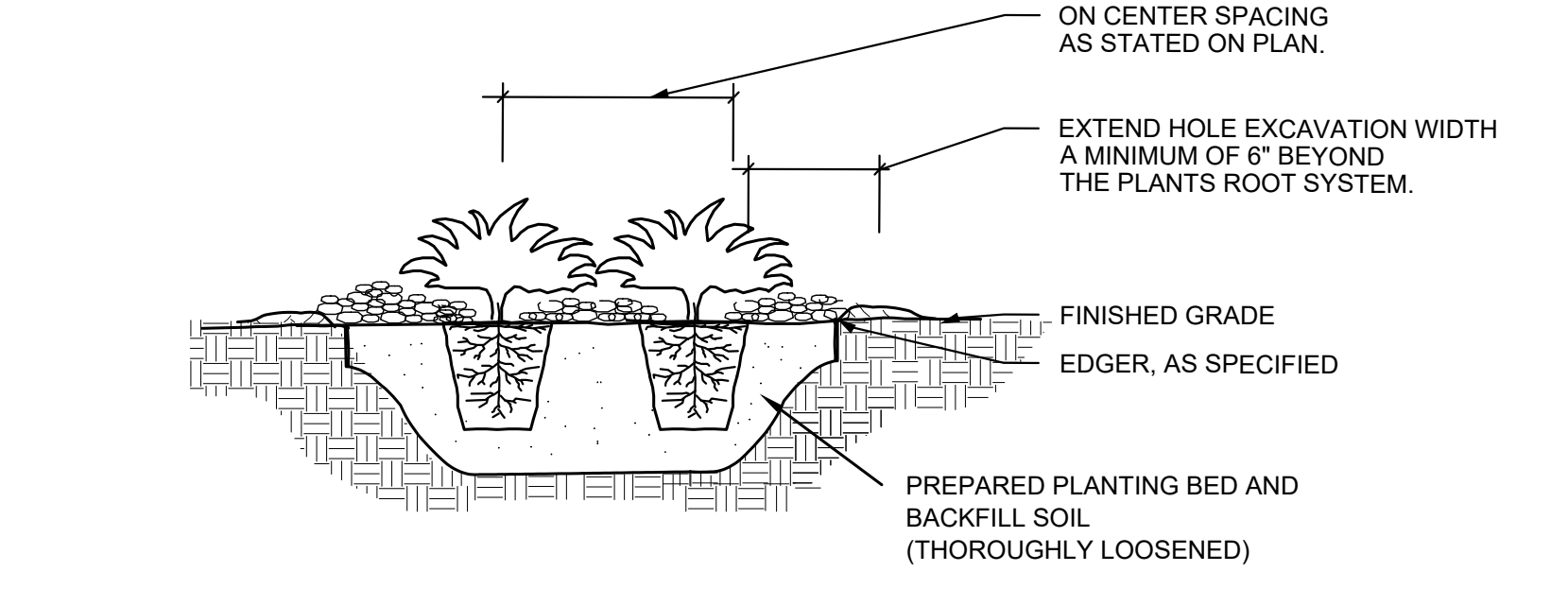
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10 SECTION: BENCH - PIANO KEY / PLANTER WALL L501



11 TREE PLANTING DETAIL SCALE: N.T.S. L501



12 SHRUB / PERENNIAL PLANTING DETAIL SCALE: N.T.S. L501

Date	No.	Description
11/15/2022	0	CONSTRUCTION DOCUMENT 100% SET

JOSEPH COSENTINO
187 SOUTH
STATE OF ILLINOIS
L501

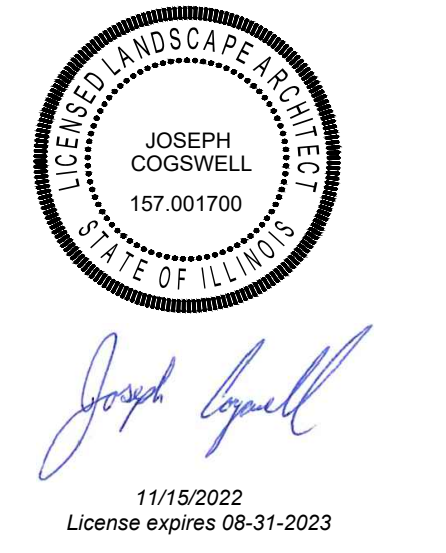
HOMEWOOD, IL
17605 S HALSTED ST.,
HOMEWOOD, IL 60430, IL

Project Number **T-1460**
Format/Configuration:
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GENERAL DETAILS

L501

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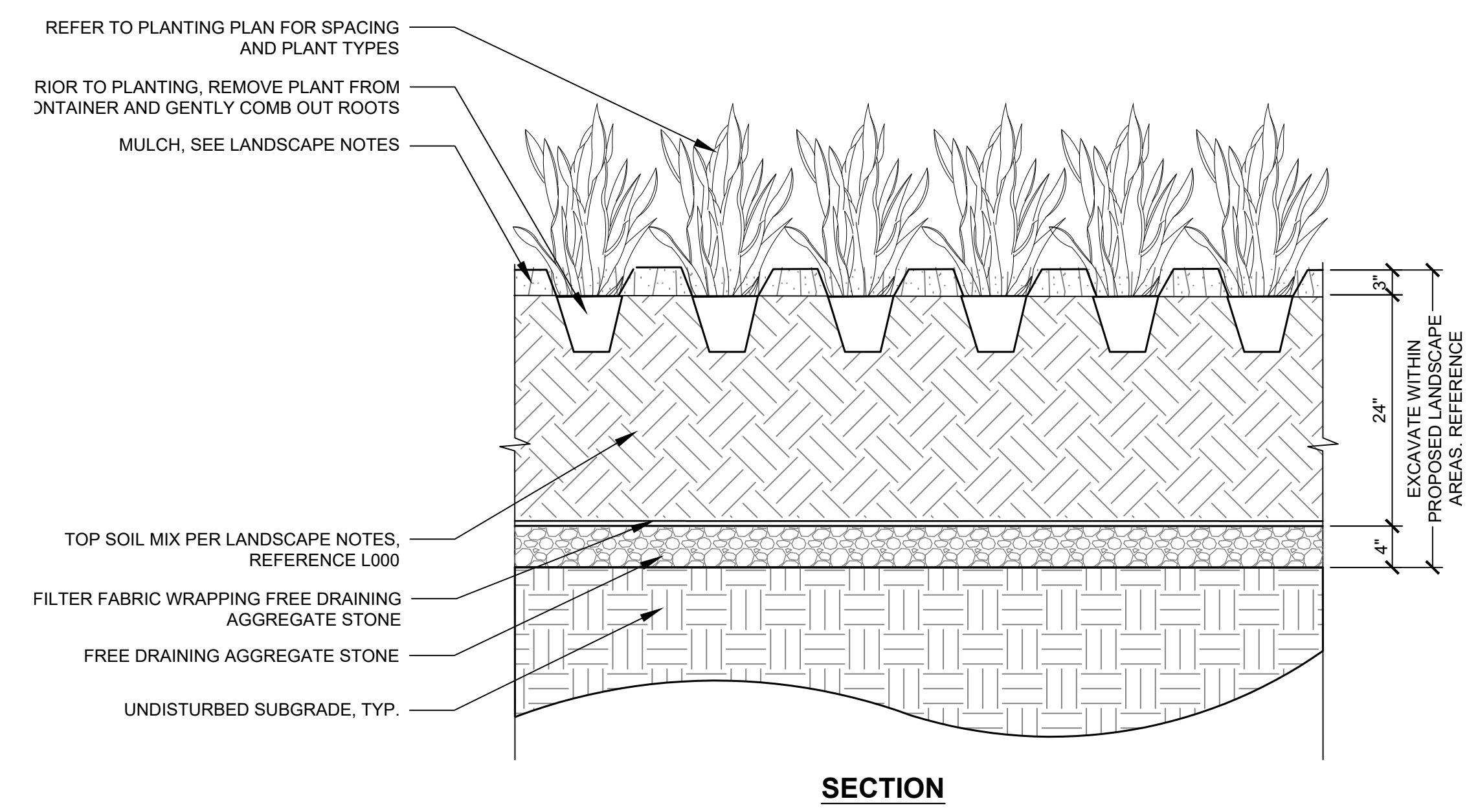
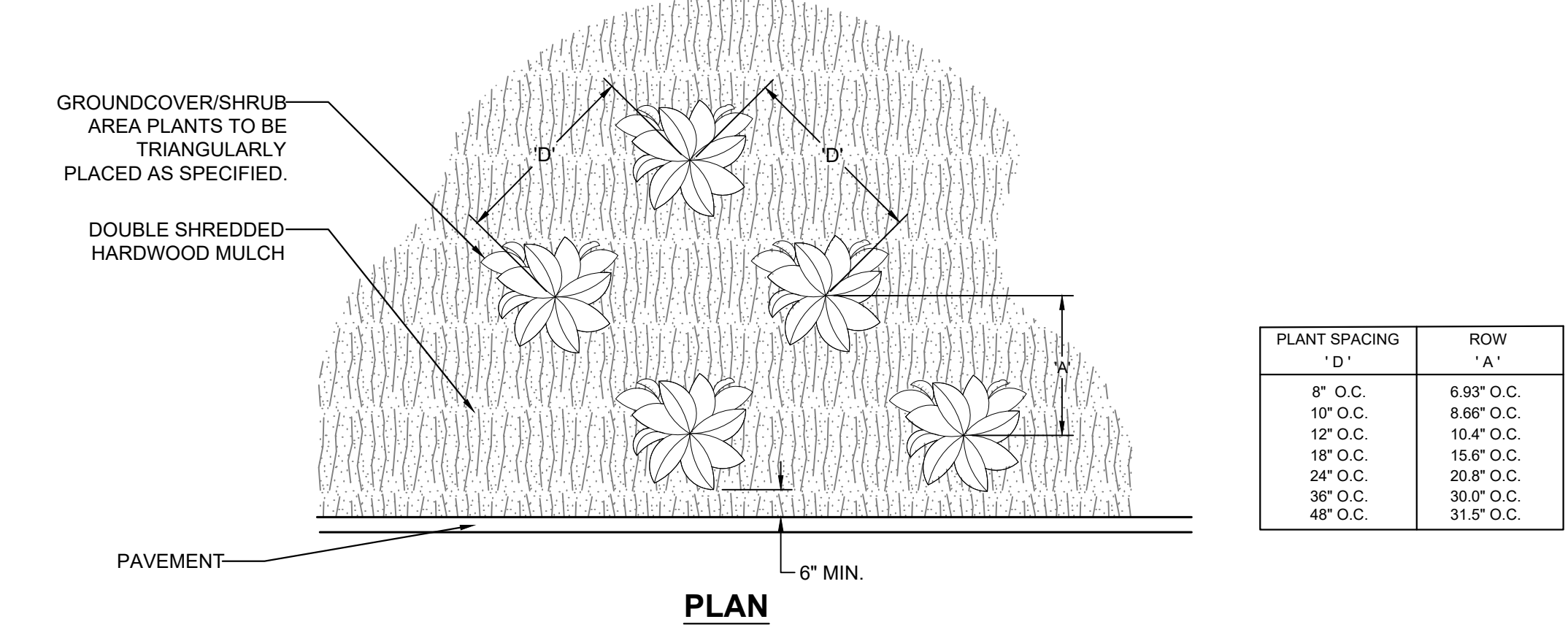
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GENERAL DETAILS

L502

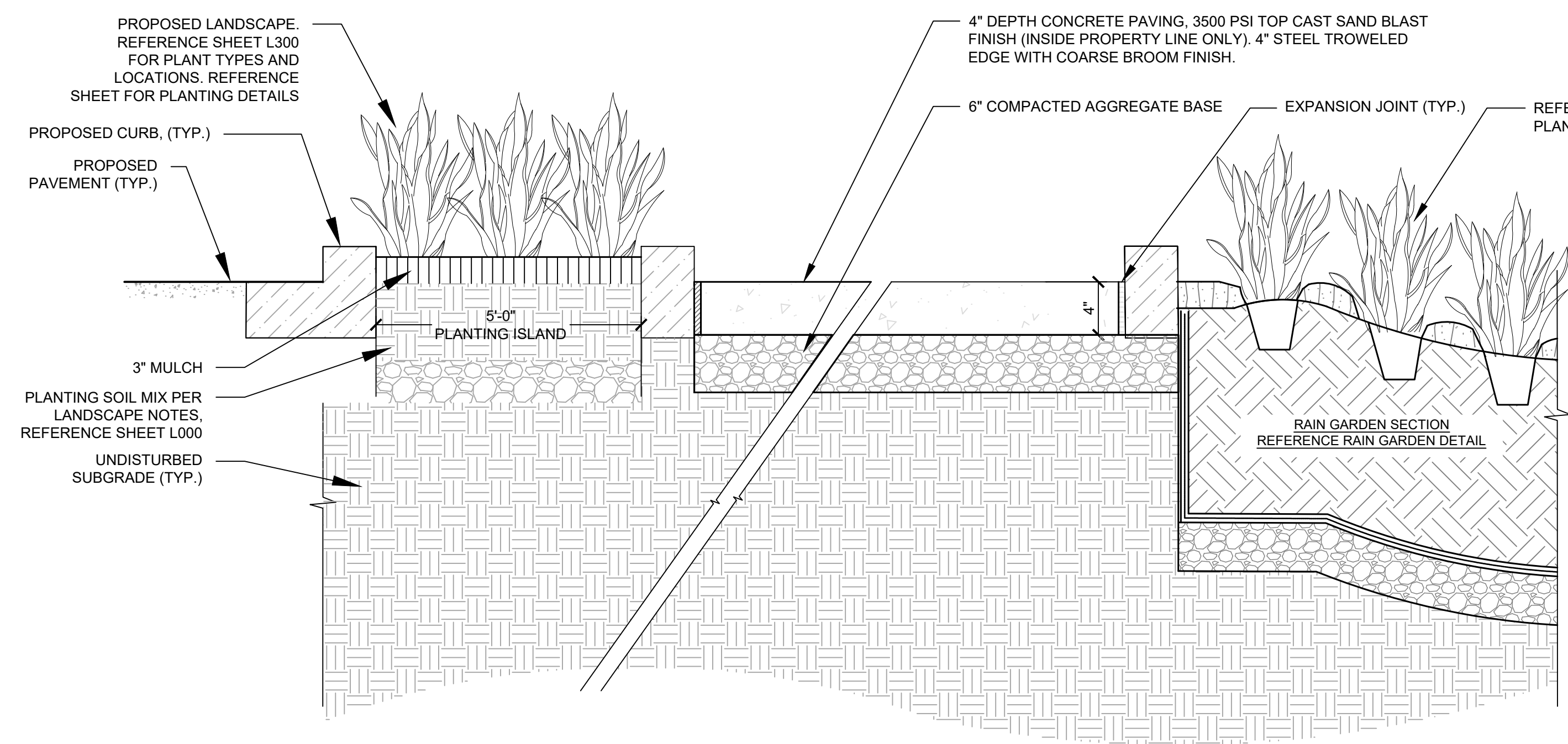
NOTES:

- SCARIFY SIDES AND BOTTOM OF HOLE.
- PROCEED WITH CORRECTIVE PRUNING OF TOP AND ROOT.
- REMOVE CONTAINER AND SCORE OUTSIDE OF SOIL MASS TO REDIRECT AND PREVENT CIRCLING FIBROUS ROOTS. REMOVE OR CORRECT STEM GIRDLING ROOTS.
- PLUMB AND BACKFILL WITH PLANTING SOIL.
- WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
- BACK FILL VOIDS AND WATER SECOND TIME.
- PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.
- MIX IN 3/4" OF ORGANIC COMPOST.
- SOIL EXCAVATION TO BE OMITTED WITHIN THE CRITICAL ROOT ZONE OF EXISTING TREES.

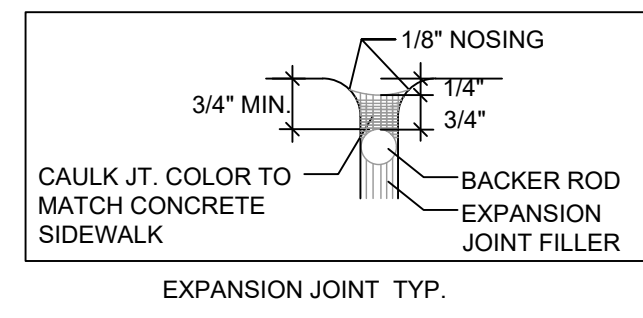


2 XSS PARKING LOT ISLAND SHRUB / PERENNIAL CONTAINER PLANTING DETAIL
SCALE: 1" = 1'

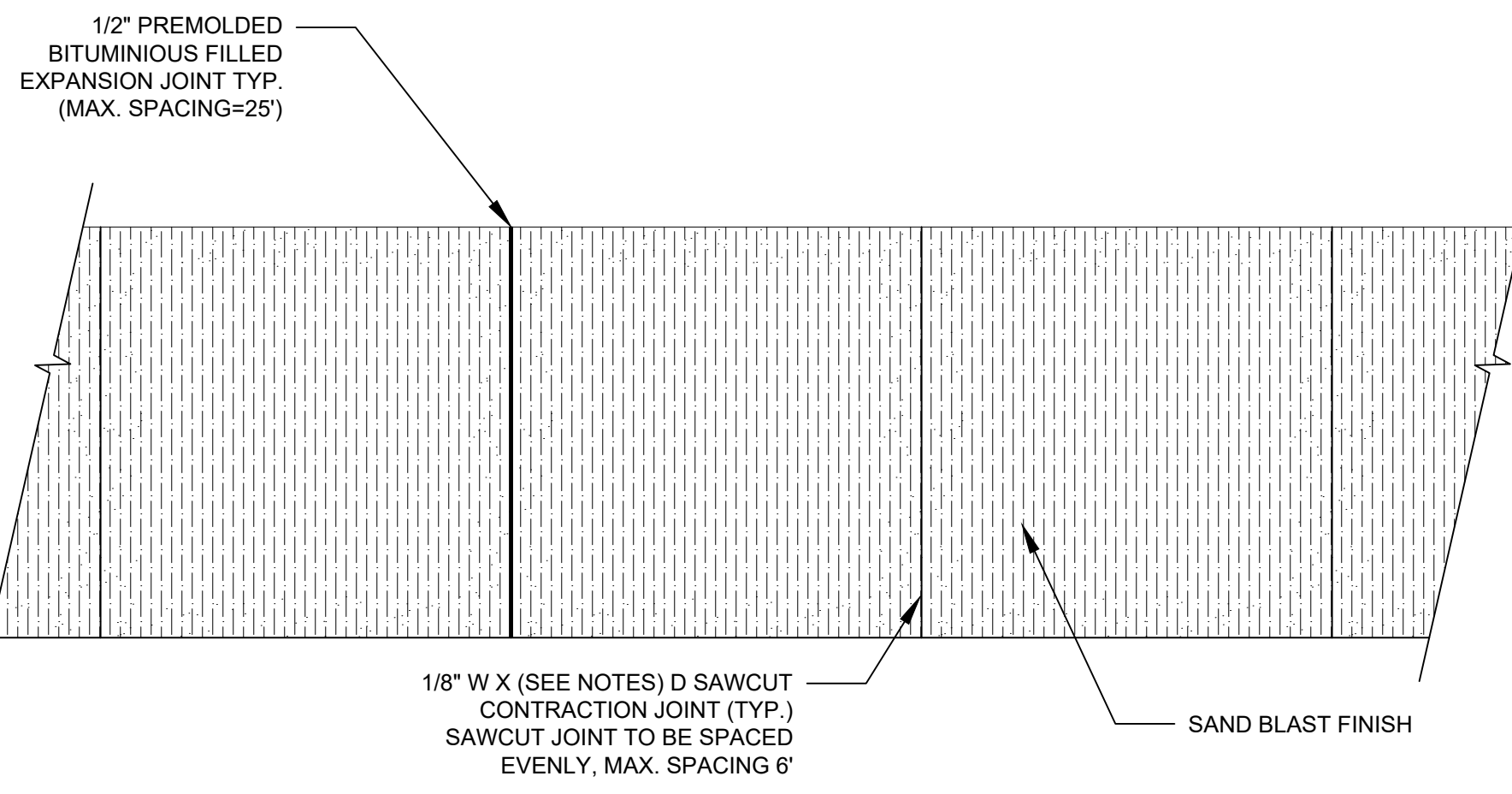
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SECTION



- NOTES:**
- CAULK EXPANSION JOINT WITH LITHOSEAL (COLOR TO MATCH CONCRETE COLOR).
 - DEPTH OF THE SAWCUT CONTRACTION JOINT SHALL BE 1/2" WHEN CUT WITHIN 6 HOURS OF POUR. IF SAWCUTTING OCCURS AFTER 6 HOURS OF POUR, THE DEPTH OF THE CONTRACTION JOINT SHALL BE 1/3 THE THICKNESS OF CONCRETE.



PLAN

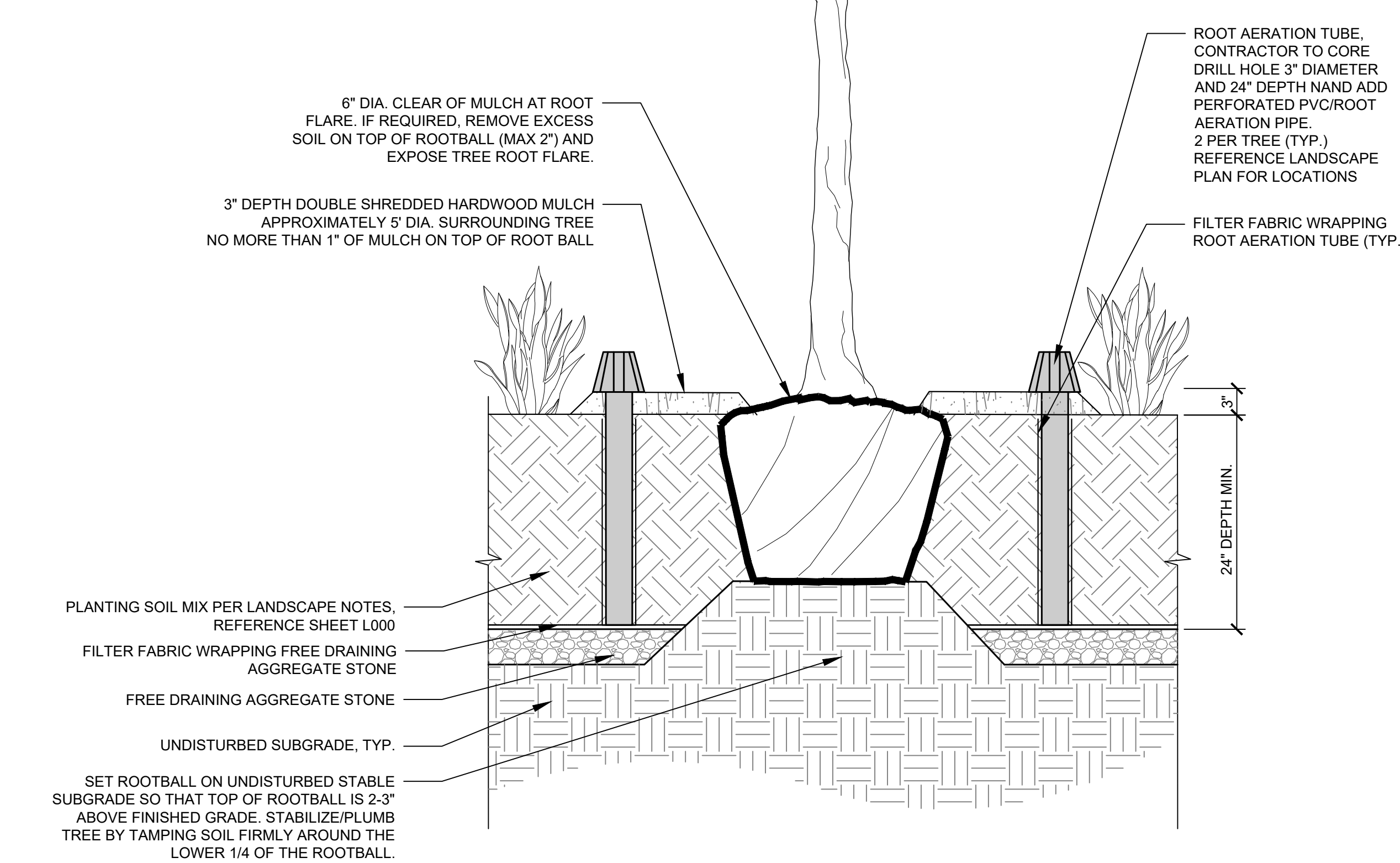
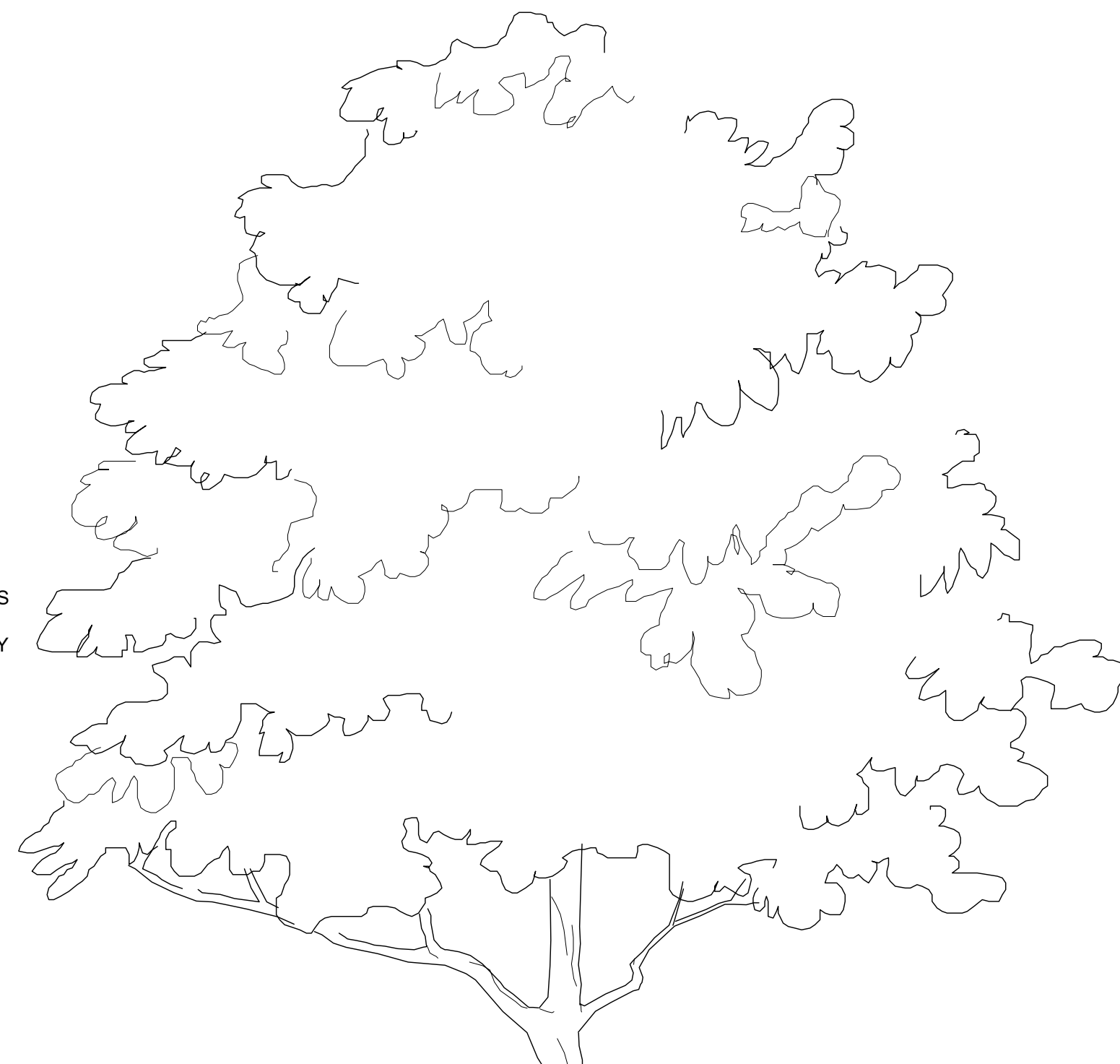
- NOTES:**
- CONTRACTOR SHALL HAVE AN EXPANSION JOINT AT THE BACK OF SIDEWALK WHEN ABUTTING WITH A STRUCTURE/BUILDING.

1 CONCRETE SIDEWALK (PARKING LOT ISLAND RETROFIT PROTOTYPE)
SCALE: 1" = 1'

L502

NOTES:

- SCARIFY SIDES AND BOTTOM OF HOLE.
- PROCEED WITH CORRECTIVE PRUNING.
- SET PLANT ON UNDISTURBED NATIVE SOIL OR THOROUGHLY COMPACTED PLANTING SOIL. INSTALL PLANT SO THE ROOT FLARE IS AT OR UP TO 2" ABOVE THE FINISHED GRADE WITH BURLAP AND WIRE BASKET, (IF USED), INTACT.
- SPLIT REMAINING TREATED BURLAP AT 6" INTERVALS.
- BACKFILL TO WITHIN APPROXIMATELY 12" OF THE TOP OF THE ROOTBALL, THEN WATER PLANT. REMOVE THE TOP 1/3 OF THE BASKET OR THE TOP TWO HORIZONTAL RINGS WHICHEVER IS GREATER. REMOVE ALL BURLAP AND NAILS FROM THE TOP 1/3 OF THE BALL. REMOVE ALL TWINE. REMOVE OR CORRECT STEM GIRDLING ROOTS.
- PLUMB AND BACKFILL WITH PLANTING SOIL.
- WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
- BACK FILL VOIDS AND WATER SECOND TIME.
- PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.
- FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.
- EXCAVATION DEPTH FOR PLANTING TREES VARIES PER ROOTBALL SIZE.

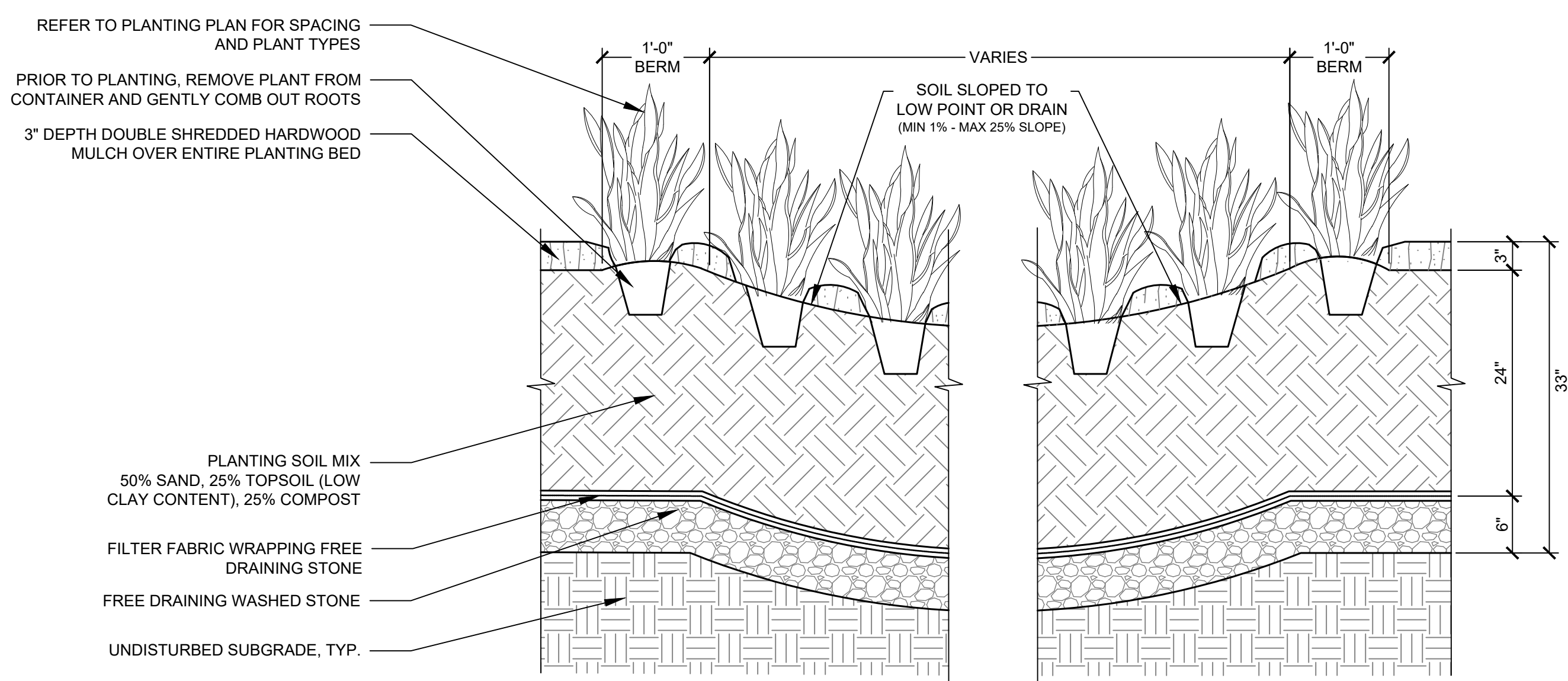


4 XSS PARKING LOT ISLAND: TREE B&B PLANTING DETAIL
SCALE: 1" = 1'

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NOTES:

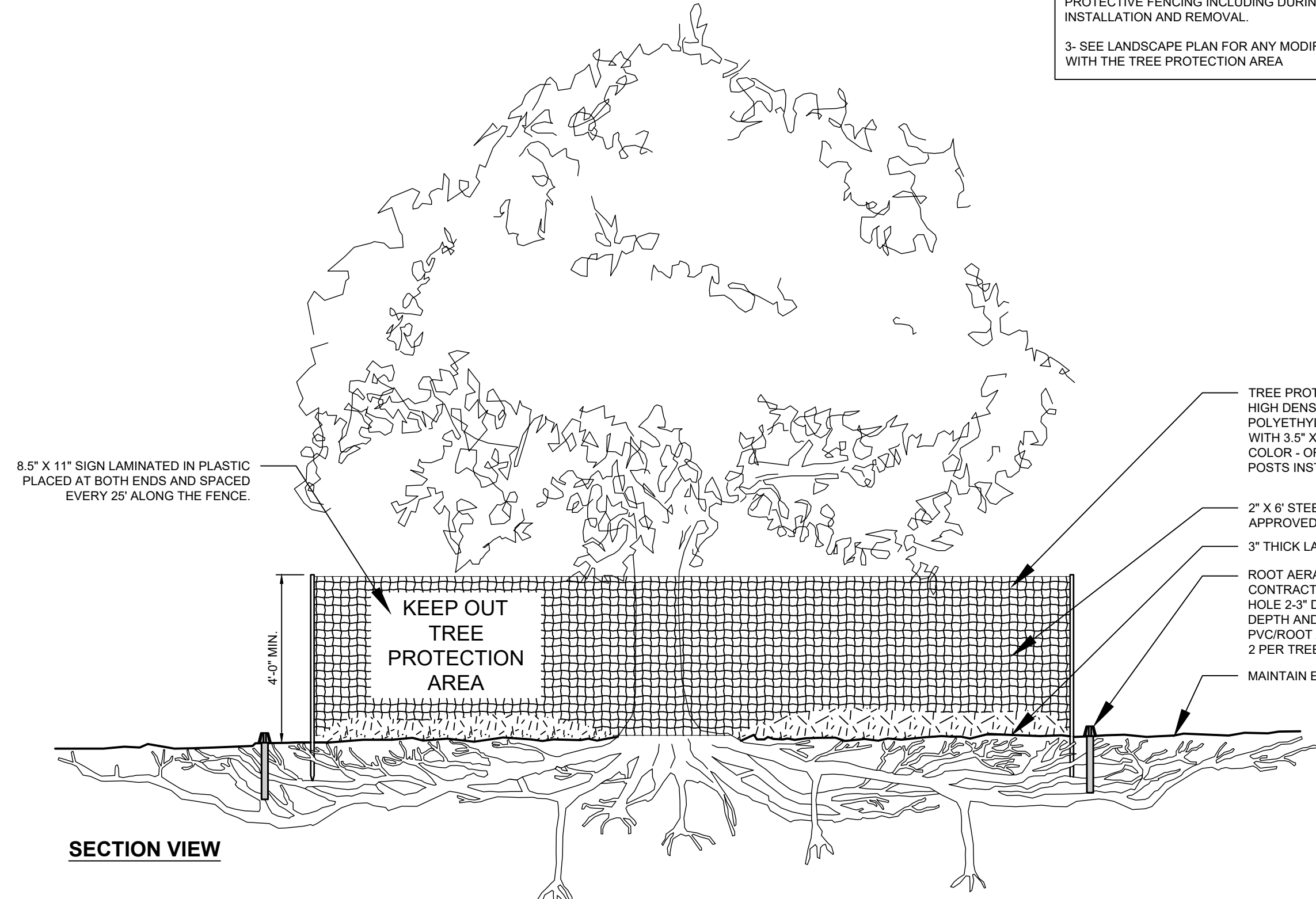
- REFERENCE SHRUB AND GROUNDCOVER DETAIL FOR PLANTING CONTAINER PLANTS.
- RAIN GARDEN PURPOSE IS TO CAPTURE, STORE, AND INFILTRATE RAINWATER IN A BOWL SHAPE.
- REQUIRED PERC RATE: 1" PER HOUR MINIMUM



5 RAINGARDEN DETAIL
SCALE: 1" = 1'

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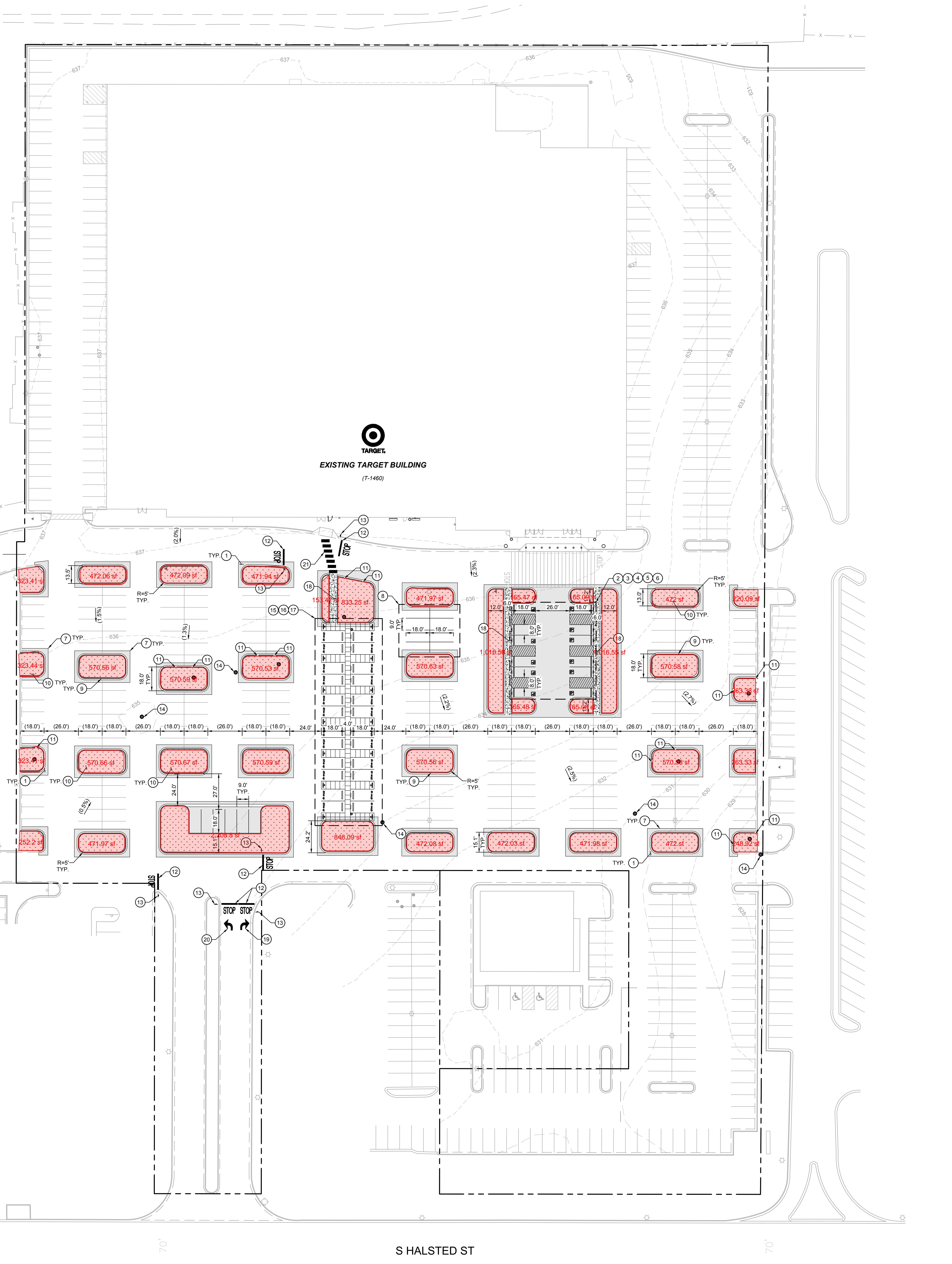
- NOTES:**
- NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
 - NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
 - SEE LANDSCAPE PLAN FOR ANY MODIFICATIONS WITH THE TREE PROTECTION AREA.



3 TREE PROTECTION FENCE AND ROOT AERATION TUBE DETAIL
SCALE: N.T.S.

L502

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 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Release of and reliance on this document without authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LEGEND

- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- FULL DEPTH ASPHALT PAVEMENT REPLACEMENT. SEE CONSTRUCTION NOTES 1 & 7 HEREON.
- PROPOSED LANDSCAPING. SEE CONSTRUCTION NOTE 18 HEREON.
- PROPOSED CONCRETE SIDEWALK. SEE CONSTRUCTION NOTE 18 HEREON.
- (1.0%) EXISTING FLOW (SLOPE AND DIRECTION).
- PROPERTY LINE
- LIMITS OF STRIPING

CONSTRUCTION NOTES

1. INSTALL C2-P684-10 ASPHALTIC PAVEMENT OVER CLASS II CRUSHED AGGREGATE BASE COMPACTED TO 95% MAXIMUM DRY DENSITY BASED ON ASTM D1557-07 TEST METHOD OR CLASS 2 AGGREGATE BASE COMPACTED TO 95% OF THE MATERIAL'S ASTM D-1557 MAXIMUM DRY DENSITY. ENSURE THE SUBGRADE IS SCARIFIED AND RECOMPACTED TO 95% MAXIMUM DRY DENSITY BASED ON ASTM D1557-07 TEST METHOD. MATCH EXISTING PAVEMENT SECTION.
2. INSTALL STANDARD ACCESSIBLE PARKING STALL SIGN PER DETAIL 10, SHEET C300. INSTALL SINGLE BASE SIGN POST PER DETAIL 11, SHEET C300.
3. INSTALL VAN ACCESSIBLE PARKING STALL SIGN PER DETAIL 10, SHEET C300. INSTALL SINGLE BASE SIGN POST PER DETAIL 11, SHEET C300.
4. INSTALL ACCESSIBLE PARKING STALL STRIPING PER DETAIL 9, SHEET C300.
5. INSTALL ACCESSIBLE PATH OF TRAVEL STRIPING PER DETAIL 10, SHEET C300. PATH OF TRAVEL SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5% AND CROSS SLOPE OF 2% AT ALL TIMES.
6. INSTALL 6" WHEEL STOP AT 2.0' FROM CURB FACE / EDGE OF PAINT TO FACE OF WHEEL STOP PER DETAIL 4, SHEET C300.
7. JOIN ASPHALT PAVEMENT TO EXISTING ASPHALT PAVEMENT PER DETAIL 3, SHEET C300.
8. INSTALL 2 COATS 4" THICK 90° WHITE STRIPING.
9. INSTALL CONCRETE CURB & GUTTER PER DETAIL 5, SHEET C300.
10. PROPOSED LANDSCAPING. SEE LANDSCAPE PLANS FOR MORE DETAIL.
11. INSTALL 24" WIDE CURB CUT PER DETAIL 13, SHEET C300.
12. PROPOSED STOP BAR MARKING PER DETAIL 7, SHEET C300.
13. PROPOSED STOP BAR SIGN PER DETAIL 6, SHEET C300.
14. INSTALL INLET FILTER, ADS FLEXSTORM PURE OR APPROVED EQUAL.
15. PROPOSED DRIVE UP STRIPING PER DETAIL 16, SHEET C300.
16. PROPOSED DOUBLE SIDED STANCHION SIGN AND BASE PER DETAIL 15, SHEET C300.
17. PROPOSED DRIVE UP BEACON PER DETAIL 14, SHEET C300.
18. PROPOSED CONCRETE SIDEWALK PER DETAIL 1, SHEET C300.
19. PROPOSED RIGHT TURN LANE-USE PAVEMENT ARROW. (MUTCD 3B-21, COLOR = WHITE)
20. PROPOSED LEFT TURN LANE-USE PAVEMENT ARROW. (MUTCD 3B-21, COLOR = WHITE)
21. INSTALL CROSSWALK PER DETAIL 12, SHEET C300.
22. PROPOSED RIBBON GUTTER PER DETAIL 12, SHEET C300.

CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND IMPROVEMENTS AND NOTIFY ENGINEER IF THERE ARE ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 ALL ELEVATIONS SHOWN ON THIS PLAN ARE RELATIVE TO THE ASSUMED FINISHED FLOOR OF 637.50. PROPERTY LINE AND FINISHED FLOOR ELEVATION SHOWN IS BASED ON THE FOLLOWING RECORD DRAWING: TARGET HOMEWOOD, IL SITE IMPROVEMENT PLANS BY JOSEPH A. SCHULTZ & ASSOCIATES DATED 1901.

AREAS OF REPLACED PAVEMENT

- 10,000± S.F. FULL DEPTH ASPHALT REPLACEMENT
- 19,000± S.F. LANDSCAPE REPLACEMENT
- 1,200± S.F. CONCRETE SIDEWALK REPLACEMENT

ABBREVIATIONS

- EX - EXISTING
- FS - FINISHED SURFACE
- TC - TOP OF CURB
- TYP - TYPICAL

PARKING QUANTITY SUMMARY					
	USE	RATIO	TARGET BUILDING SIZE	TOTAL PARKING STALLS	TOTAL ACCESSIBLE PARKING STALLS
REQUIRED	RETAIL	1 STALLS/ 250 SF	125,970 SF	504 STALLS	11 STALLS (2 VAN)
EXISTING				639 STALLS	12 STALLS (2 VAN)
PROPOSED				515 STALLS	12 STALLS (2 VAN)



Date	No.	Description
11/15/2022	0	CONSTRUCTION DOCUMENT 100% SET



Joseph A. Schultz
 11/15/2022
 License expires 08-31-2023



Project Number **T-1460**
 Format/Configuration:
 Drawn By:
 Checked By:

PROPOSED
 CONDITONS

C200

