#### **MEETING AGENDA**



## **Appearance Commission - CANCELLED**

Village of Homewood December 01, 2022

Meeting Start Time: 6:00 PM

Village Hall Board Room 2020 Chestnut Road, Homewood, IL

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Commission Meetings will be held as in-person meetings. In addition to in-person public comment during the meeting, members of the public may submit written comments by email to <a href="mailto:pzc@homewoodil.gov">pzc@homewoodil.gov</a> or by placing written comments in the drop box outside Village Hall. Comments submitted before 4:00 p.m. on the meeting date will be distributed to all Commission members prior to the meeting.

#### Please see the end of agenda for virtual meeting information.

- 1. Call to Order
- 2. Roll Call
- 3. Minutes:

Approve minutes from the Appearance Commission meeting on September 1, 2022.

4. Regular Business:

Case 22-44 Target Site Improvements - POSTPONED BY APPLICANT

- 5. Old Business:
- 6. New Business:
- 7. <u>Adjourn</u>

The public is invited to the meeting using the link below to join Webinar: <a href="https://us06web.zoom.us/j/84252322094?pwd=Y0dsUks1UFg2SXhGeDInOEp">https://us06web.zoom.us/j/84252322094?pwd=Y0dsUks1UFg2SXhGeDInOEp</a>

To listen to the Meeting via phone: Dial: 1-312-626-6799 Webinar ID: 842 5232 2094 Passcode: 451976

# **MEETING MINUTES**



Village Of Homewood Appearance Commission Thursday, September 1, 2022 6:00 p.m.

Village Hall Board Room 2020 Chestnut Road Homewood, IL 60430

CALL TO ORDER: Chairman Wright called the meeting to order at 6:02 p.m.

**ROLL CALL:** Members Hrymak, Preston, Quirke, Zander, and Chairman Wright were present. Member Willis was absent. In attendance from the Village were Village Planner Valerie Berstene and Building Department Secretary Darlene Leonard. Six people were in the audience.

**APPROVAL OF MINUTES:** Chairman Wright asked if there were any changes or corrections to the minutes for July 7, 2022. There were no changes or corrections. There being no changes or corrections a motion was made by Member Zander to approve the minutes of July 7, 2022; seconded by Member Hrymak.

AYES: Members Hrymak, Preston, Quirke, Zander, and Chairman Wright.

NAYES: None

ABSTENTIONS: None ABSENT: Member Willis

#### **AGENDA ITEMS:**

#### Case No. 22-27, Target Exterior Improvements.

Village Planner Berstene to presented the case.

Village Planner Berstene stated that Target is already over the allowed signage currently and they are adding new signage in the lot and on the building. The proposed signage would push the total to 650 square feet. There are no existing variances for exceeding the overage from the allotted 500 square feet.

Chairman Wright asked if the drive-up signs are only considered branding because of the logo in it.

Village Planner Berstene stated that the totals seem off, the paperwork stated the drive-up and logo on the building is 77 square feet but it's 5'8" x 43'.

Chairman Wright asked if the entire thing count towards signage, including the colored section on the wall.

Village Planner Berstene stated it's a good question and other businesses have had that count to the sign total.

Member Quirke asked if the entire wall is the signage. Chairman Wright asked if it is painted wall or signboard behind it. Edward Davies of Kimley-Horn and Associates, stated it is painted wall.

Member Preston stated it looks great and she has no complaints.

Member Hrymak asked if the new color is a corporate plan.

Mr. Davies stated it is a nationwide refurbishment/rebranding.

Member Hrymak stated the red color is not muted and is very bright on the parking signs and asked if the doors will remain that red.

Mr. Davies stated the red is true color, and the silver film will give the doors a more silver look.

Member Hrymak asked if they will have to consider the drive-up notices now because more places are having it. Member Hrymak stated he has been concerned about the maintenance of the property and the parking lot and stated he is concerned it won't be taken care of.

Member Quirke stated, regarding the pick-up signage, that he expects them to be gone in a year when people aren't worried about COVID anymore.

Member Quirke asked if the signage approval will carry over when they are gone. Member Quirke added that he does not think of them as advertising signage, but more directional signage. Member Quirke stated that it needs to be kept track of for the future and looked into how it will be handled.

Member Quirke asked if the number of disabled parking spaces and the proximity of them to the door isn't changing.

Member Hrymak stated by law they cannot do that.

Chairman Wright asked if it will be reviewed.

Village Planner Berstene stated it will be reviewed when they come in for the permit for the striping.

Member Zander stated he considers these as directional signage and added that if or when the ordinance is looked at a category for directional signage might need to be added.

Member Hrymak asked if it's approved, but they are determined to be directional signage and they become separate, would it bring down the amount and change it. Member Hrymak asked if it could be reduced or changed.

Chairman Wright stated that most opinions are that they are branding, but they will deal with it as best they can tonight.

Chairman Wright stated it looks great and they generally do not approve a lot of sign variances.

Chairman Wright asked if there is a Plan B developed if it isn't approved.

Mr. Davies stated it does happen from time to time and they would have to take it back to Target. In the past that has resulted in the time frame being pushed back.

# MEETING MINUTES

Chairman Wright asked for a motion to approve Case 22-27 Target Exterior Improvements for 17605 Halsted and recommend approval of a variance from the maximum gross signage area of 150 square feet for target at 17605 Halsted. Motion was made by Member Quirke to recommend approval of Case 22-27 – Target Exterior Improvements, Seconded by Member Preston.

Member Quirke stated that he doesn't think adding the 150 square feet without a deadline of removal if the signage is removed and that it is signage, but it's more directional.

Member Preston stated it is a mix of wayfinding and branding.

AYES: Members Preston, Zander, and Chairman Wright.

NAYES: Members Hrymak and Quirke.

ABSTENTIONS: None. ABSENT: Member Willis.

Motion passed.

# <u>Case No. 22-25, 810 Maple Avenue, Elevations, Landscape Plan, and Lighting Plan for Building Repositioning.</u>

Village Planner Berstene presented the case and stated this has already gone in front of the Planning and Zoning Commission for the site plan and a parking variance and that the light plan complies with the requirements.

Vincenzo Colella, the architect for the project, stated they are willing to work with the Village for a resolution.

Chairman Wright asked if there are 2 businesses planned.

Mr. Colella stated yes, a beauty supply store and a tobacco store.

Chairman Wright asked if the bathrooms are on the interior, not along windows, and there are no kitchens and asked if they are okay with the landscape recommendations.

Mr. Colella stated the bathrooms are on the interior and there are no kitchens and stated yes, they are okay with the landscaping recommendations.

Member Preston asked which side would be the beauty supply and which would be the smoke shop.

Village Planner Berstene stated the beauty supply is on the Maple side.

Member Preston asked if the darker windows (on the plan) are part of the beauty supply store.

Village Planner Berstene stated yes. And at the north end of the building, inside the smoke shop, there is going to be a humidor.

Chairman Wright asked how they feel about the minimum 50% transparency on the windows.

Member Preston stated she likes to be able to see into a business and added that it can feel tacky when clothes, etc. are blocking the windows.

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Member Hrymak asked why the windows are so dark.

Village Planner Berstene stated the proposed layout as pegboards on the perimeter.

Member Hrymak stated it's an area that is not easily seen and asked if it will be 50%.

Chairman Wright stated it won't unless it's part of the motion.

Member Hrymak stated is has to be for security purposes and added that he is a big proponent if security and safety.

Member Hrymak stated that he is implored to mention the landscaping as too many places don not maintain it and it looks terrible, and added if the windows don't meet the 50% then he wouldn't be for it.

Member Quirke asked if the racks are for window displays or for inside displays.

Mr. Colella stated it is just on the inside and stated he agrees that the visibility is needed.

Member Quirke asked where the landscaping is going, if it's just along the Maple Avenue side, and asked if there will be and pots on the east side.

Mr. Colella stated it's just along Maple and there is nothing on the east side to keep the visibility and site lines open.

Member Quirke asked where the advertising/business signage is going.

Chairman Wright stated the signage is proposed, but is within code.

Village Planner Berstene stated that's correct, the signage complies with the allowed square foot maximum.

Chairman Wright asked if the tenants will be made aware of that the overabundance of signage on the glass can get them in trouble.

Member Zander asked how they would meet the 50%.

Village Planner Berstene stated it might meet on the east side, but not on the south side.

Member Zander stated if the wall is built right to the windows, they will not have any transparency.

Chairman Wright asked for a motion to approve Case 22-25, Building Repositioning for 810 Maple Avenue as proposed on the elevations, landscape plan, and lighting plan submitted by BAU Design and Development, and subject to providing a minimum 50% transparency per primary elevation, from 2.5' above grade to the top of the window and that all dead landscaping will be replaced. Motion was made by Member Quirke to recommend approval of Case 22-25 – 810 Maple Avenue, Elevations, Landscape Plan, and Lighting Plan for Building Repositioning, Seconded by Member Zander.

AYES: Members Hrymak, Preston, Quirke, Zander, and Chairman Wright.

NAYES: None.

ABSTENTIONS: None. ABSENT: Member Willis.

Motion passed.

### Case No. 22-28, 2138 183<sup>rd</sup> Street – Gas Station Rebranding.

Village Planner Berstene presented the case.

Mr. Singh stated the roof will be red and the building white and the windows are new bulletproof glass with the protective covering still on it. It's not display stands blocking the windows.

Member Preston stated it looks standard and she has no questions.

Member Hrymak stated he is glad someone is going in and asked about the location next door.

Mr. Singh stated they are working it out.

Member Quirke asked about ownership with the place next door.

Mr. Singh stated they are considering a pizza place.

Mr. Millner stated Shell only has their name on the octane buttons on the pumps otherwise they just use the shell logo.

Village Planner Berstene stated a lot of businesses are going that way.

Member Hrymak stated keep the landscaping maintained, especially at the signage.

Chairman Wright added that the Village Arborist can help with it.

Village Planner Berstene stated the Village Arborist is looking into it and is putting a plan together.

Mr. Singh asked if the sign can be raised.

Chairman Wright stated it's not part of this plan.

Village Planner Berstene stated there is a limit of 5 feet for signage in the downtown area.

Chairman Wright asked for a motion to approve Case 22-28 Gas Station rebranding for 2138 183<sup>rd</sup> Street as proposed on the drawings submitted by Federal Health Sign Company/Visual Communications and the landscape plan recommended by Staff and subject to providing a minimum transparency of windows on each elevation within the zone measured from 2.5' above grade to the top of the window. Motion was made by Member Hrymak to recommend approval of Case 22-28 Gas Station rebranding for 2138 183<sup>rd</sup> Street as proposed on the drawings submitted, Seconded by Member Preston.

AYES: Members Hrymak, Preston, Quirke, Zander, and Chairman Wright.

NAYES: None.

ABSTENTIONS: None. ABSENT: Member Willis.

Motion passed.

#### **OLD BUSINESS:**

Member Quirke asked if the plan has gone to the arborist yet for the casino.

Village Planner Berstene stated nothing has been received from them recently.

#### **NEW BUSINESS:**

Chairman Wright asked when Walmart would be coming back.

Village Planner Berstene stated probably 2024.

Chairman Wright asked if there is any update for KFC.

Village Planner Berstene stated they sent in a sign application and it didn't match what was previously approved.

Member Hrymak stated he'd like the Village to emphasize to the business owners to maintain their lots and exteriors.

Member Quirke proposed to deputize the commission members as inspectors.

### ADJOURNMENT:

A motion was made by Member Quirke to adjourn the meeting at 7:07 p.m.; seconded by Member Hrymak. All in favor. None opposed. Motion passed unanimously.

Respectfully submitted,

Angela M. Mesaros Staff Liaison

#### **VILLAGE OF HOMEWOOD**



#### MEMORANDUM DATE OF MEETING: December 1, 2022

To: Appearance Commission

From: Valerie Berstene, Village Planner

Through: Angela Mesaros, Director of Economic and

**Community Development** 

**Topic:** Case 22-44 - Target Site Improvements

#### **APPLICATION INFORMATION**

APPLICANT	Edward Davies on behalf of Target
ACTION REQUESTED	Approval of landscape plan
ADDRESS	17605 Halsted
PIN	29-33-100-064-0000



#### **DOCUMENTS FOR REVIEW**

Title	Pages	Prepared by	Date
Target Site Improvement Plans, Sheet L100-L500	7	Kimley-Horn and Associates	11/15/2022
Preliminary Site/Landscape Plan Review Letter	2	Valerie Berstene, Village Planner	11/17/2022
T-1460 Homewood Appearance Commission Materials	23	Kimley-Horn and Associates	11/22/2002

#### **BACKGROUND**

Target proposes to improve the parking lot of the existing development by replacing and expanding the existing landscaping islands. The plans show approximately 19,000 sf new landscaping. In addition, the property owner is proposing new site furnishing (benches, bike racks, trash receptacles, bollards) with landscaping near the entrance.

The subject property is a part of the Park Place Plaza Planned Unit Development.

#### **HISTORY**

The establishment of the Park Place Plaza commercial Planned Unit Development dates to November 1986. Goldblatt's department store occupied the site until closing in 2000.

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In 2001, the Village Board approved a lot resubdivision amending the PUD. One of the new lots created was sold to Target to demolish the existing multi-tenant retail center and construct a new 125,000 sf building (Case 01-01).

On September 1, 2022 the Appearance Commission considered a request from Target to paint the exterior and install new signage to support the online order pick-up process. The Appearance Commission was non-unanimous in its decisions, not reaching the requisite 4 votes to affirm or deny an application, thereby requiring a motion by the Village Board of Trustees for final decision on the application. On September 13, 2022, the Village Board approved the proposed exterior improvements and granted a sign variance allowing an addition 150 sf for the property (Case 22-27).

#### **DISCUSSION**

At the time of the previous review by the Appearance Commission, the applicant did not disclose the further pending improvements to landscaping in the parking lot and site furnishings. These proposed improvements require review by the Appearance Commission for compliance with the Appearance Plan.

The subject property is approximately 411,300 sf (9.4 acres). The building is approximately 125,000 sf, leaving approximately 286,300 sf (6.6 acres) of site area serving as parking lot, vehicular circulation, walkways, loading berths, and landscaping.

#### **LANDSCAPING AND SITE FURNISHINGS**

The existing site has approximately 7,000 sf of landscape beds. This consists of end caps on each parking bay, arranged as 16 double-end caps and 4 single-end caps, and a median and perimeter landscaping at the entry drive from Halsted Street to the main parking lot.

The improvements proposed are to remove and replace existing landscaping in the main parking lot and along the entrance drive (designated Exterior Site Sustainability (XSS) on the plans). The existing parking lot end caps will be expanded and new ones introduced to create a total of approximately 18,600 sf. This will more than double the existing parking lot landscaping on the site by expanding the existing end caps and introducing 14 new parking lot islands and several areas of parking medians.

In addition to the parking lot landscaping, the improvements propose new landscaping and site furnishings near the entrance to the building (designated Front Walkway (FW) on the plans). The proposed improvements include approximately 400 SF of new landscape beds, semi-circular "piano key" benches around the two round planter beds, new trash receptacles near the entrance, 4 new bike racks, several square post bollards, and several new spherical red concrete bollards.

The addition of the landscaped islands and end caps will supplant 124 parking spaces, reducing the total count from 639 spaces to 515 spaces. This is compliant with the zoning requirements for the site.

#### **CONFORMANCE WITH APPEARANCE PLAN**

When reviewing these proposed improvements, the Appearance Commission should consider the guidelines of Section D. Landscape and Site Treatment and Section G. Miscellaneous Structures and Street Hardware of the Appearance Plan.

Case 22-44 2 of 3

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#### **STAFF COMMENTS**

Village Staff have conducted a preliminary review of the proposed plans and provided comments to the applicant (attached). This includes several questions from Staff to be answered by the applicant. Those are expanded on below.

#### **MAINTENANCE**

The submitted plans indicate irrigation only to the planting beds in the front walkway. The Village Arborist has noted that the parking lot planting beds will need water in the summertime. Staff would like to know more about how the property owner intends to maintain the site landscaping over time.

Piling snow from the parking lot can be detrimental to the health and long-term performance of parking lot landscaping. Staff would like to know the property owner's plan for snow removal.

#### **RAIN GARDENS**

The plans indicate 8 different planting beds as "rain gardens." All except for one are co-located at existing storm sewer inlets. The plants selected for the "rain gardens" are pollinator plants and not plants with a functional performance for a rain garden or bioswale. Staff has requested more details about the intended function of the areas denoted as "rain gardens," specifically addressing how the property owner will keep heavy rains from carrying mulch, soil, or plant materials into the catch basin and clogging the inlet; and how the landscape beds are anticipated to function as rain gardens.

#### **EXISTING TREES**

The landscape plan appears to indicate some existing trees remain. These are not identified in the plans. The Village Arborist has noted that these are oak trees that are very susceptible to soil disturbances. Staff request that the applicant provides a list of the existing trees, indicating those to be removed and those to remain for further review.

#### RECOMMENDED APPEARANCE COMMISSION ACTION

The Appearance Commission may wish to consider the following motion:

Approval of Case 22-44 Target Site Improvements for 17605 Halsted Street as proposed on the drawings submitted by Kimley-Horn and Associates and dated November 15, 2022, subject to final approval by the Village Arborist.

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#### VILLAGE OF HOMEWOOD



#### PRELIMINARY SITE/LANDSCAPE PLAN REVIEW

**DATE:** November 17, 2022

Project: 17605 Halsted Street - Target Site Improvements

#### **Attendees:**

#### Village of Homewood

Valerie Berstene	Village Planner
Max Massi	Village Engineer
Bryon Doerr	Village Arborist

#### **PROJECT DESCRIPTION:**

Target proposes to improve the parking lot of the existing development by replacing and expanding the existing landscaping islands. The plans show approximately 19,000 sf new landscaping. In addition, the property owner is proposing new site furnishing (benches, bike racks, trash receptacles, bollards) with landscaping near the entrance.

#### **STAFF COMMENTS:**

#### **Engineering**

- 1. Provide a grading plan.
- 2. With the magnitude of changes to the existing asphalt, the entire lot should be resurfaced.
- 3. Indicate the relocation of the cart corrals on the civil plans. Coordinate landscape plan backgrounds.
- 4. You will need an RPZ on the irrigation system.
- 5. Does Target want the irrigation metered separately?
- 6. The ADA spaces must be striped in yellow.
- 7. Many of the areas indicated as "rain gardens" are co-located with the existing catch basins for the storm sewer. For those planting beds that will now encompass an existing catch basin:
  - a. How will the water be directed into the planting bed?
  - b. What protections will be put in place to prevent heavy rains from carrying mulch into the inlet and clogging it?
  - c. Will restrictors be provided to detain the water in the planting bed, achieving a rain garden performance? Coordinate with plant specifications and anticipated draw down.
- 8. There appears to be one "rain garden" planting bed that does not encompass an inlet and has no curb openings to collect water from the surrounding pavement. Provide more information about how this will function.

#### Landscaping

9. Provide a list of all existing trees. Indicate which are to be removed and which are to be retained.

#### VILLAGE OF HOMEWOOD

- 10. All plants will need watering in the summer time. The irrigation plan indicates only the planters in the walkway to be irrigated. How will the remaining 19,000 sf of new landscaping be maintained?
- 11. Please refer to ANSI A300, ANSI Z133.1 and ISA Best Management Practices to comply with the Village of Homewood requirements.
- 12. What are the plans for snow removal? Stock piling snow on the landscape beds deposits salt into the landscape beds, drying out the soil and contributing to the decline of the plant health.
- 13. The plants specified for the areas identified as "rain gardens" are not bio-swale plants that tolerate nor absorb standing water. Rather, they are pollinator plants. Please clarify how the areas designated as "rain gardens" are intended to function.

#### **Planning**

- 14. Coordinate the civil and engineering sheets. Sheet C200 shows benches and trash receptacle at the store in a line weight indicating new work. Sheet L101 calls for these site furnishings to be removed. Indicate areas of new work at the walkway on C200.
- 15. Title of sheet C200 is misspelled.
- 16. Bicycle racks should be installed in accordance with the NACTO or APBP standards. Provide dimensions demonstrating compliance with these best practices.

#### **DOCUMENTS FOR REVIEW**

Title	Pages	Prepared by	Date
Front Walk Plans (FW) & Exterior Site Sustainability Plans (XSS) for T-1460 Homewood, IL	13	Kimley-Horn and Associates	11/15/2022

# T1460 Homewood Appearance Commission Materials Target Front Walk and Exterior Site Sustainability Program

Target Representative: Ryan A. Hyllested, PLA, ASLA, Kimley-Horn

Civil and Landscape Architect Consultant

# T1460 Homewood, IL Parking Lot Island Design Concept

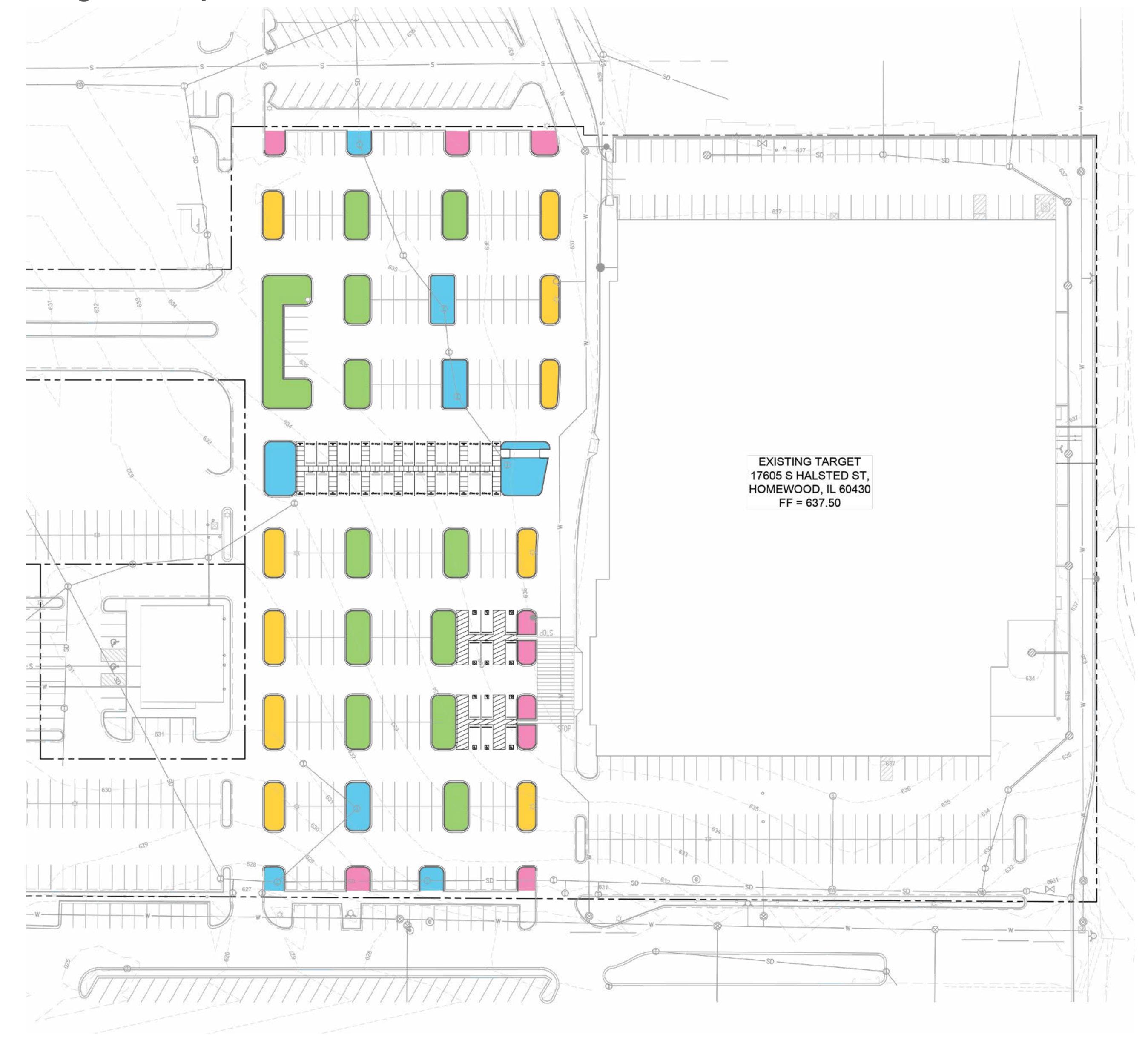
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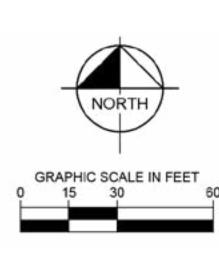
A - Rain Garden

B - Semi Rain Garden

C - Parking Island

D - Small Island

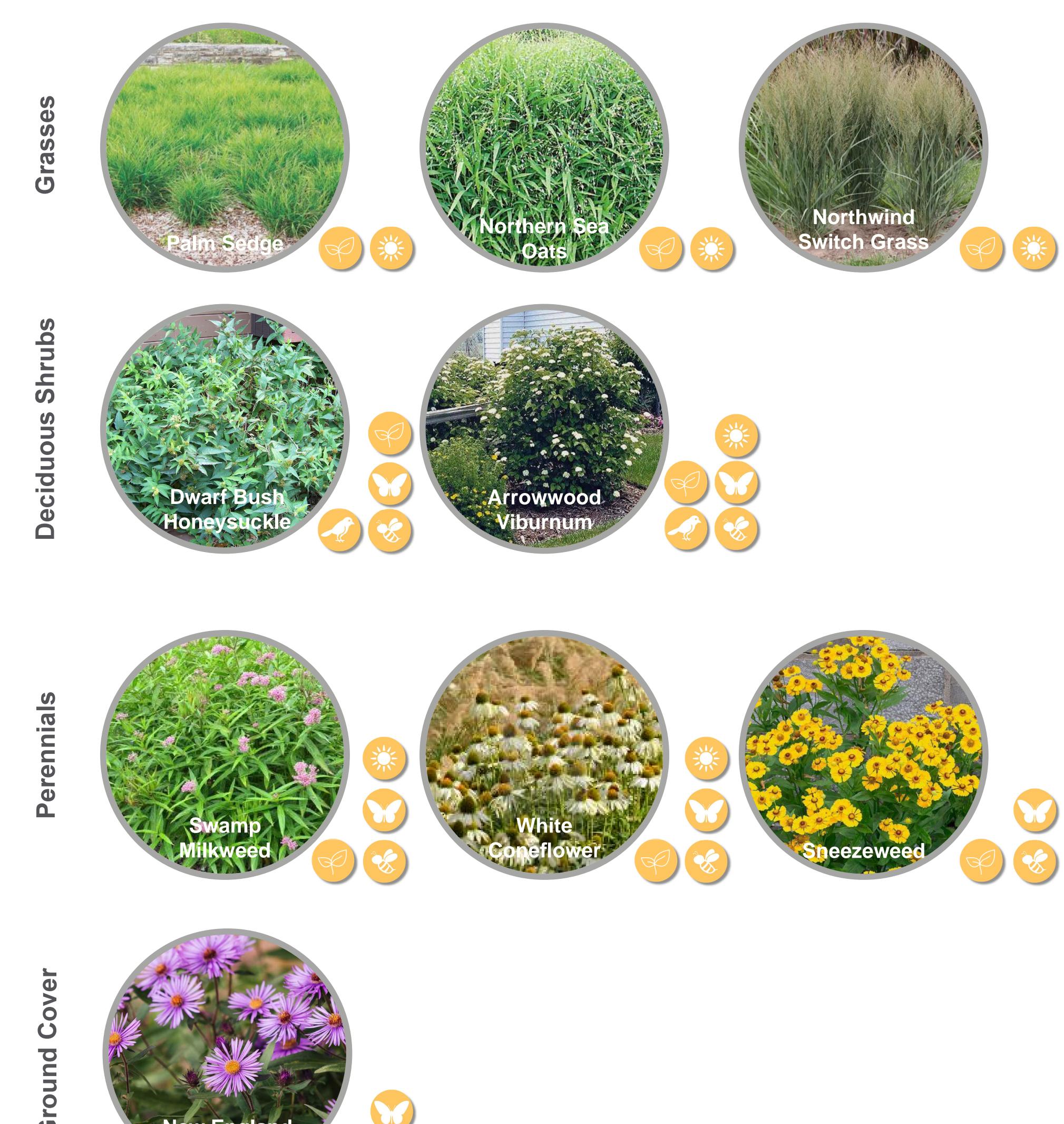








# Rain Garden Plant Palette





**Native Plants** 



**Bee Friendly** 



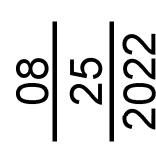
**Bird Friendly** 

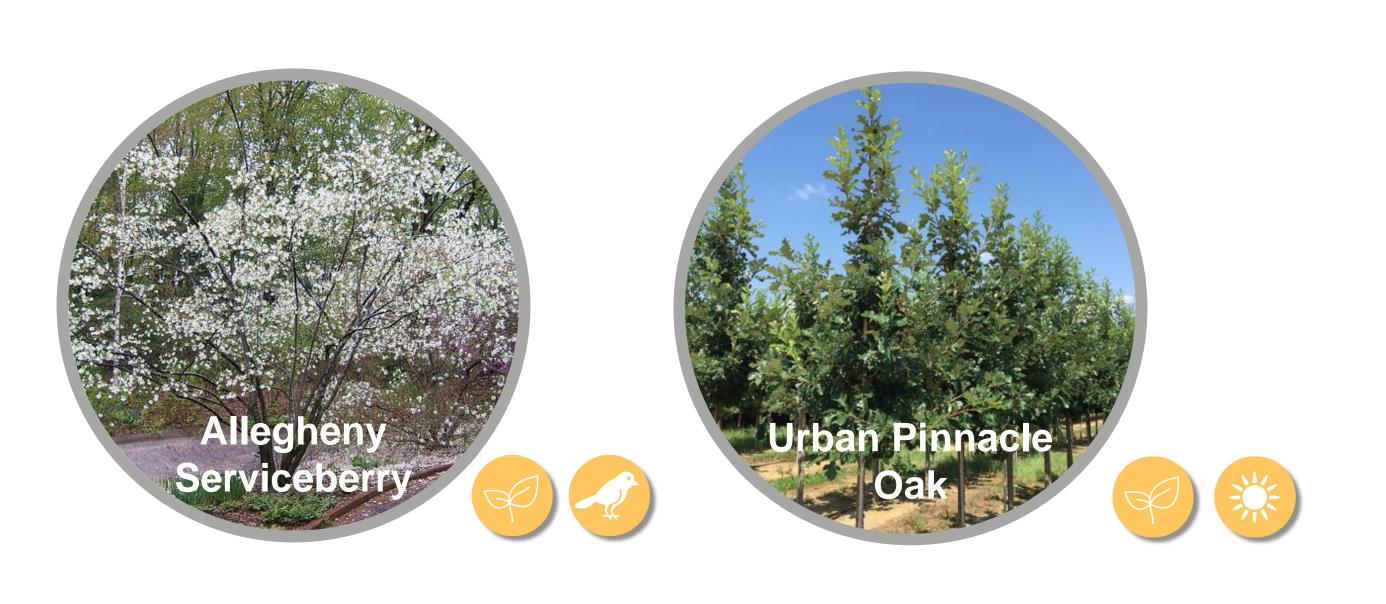


**Butterfly Friendly** 



**Drought Resistant** 







Semi Rain Garden Plant Palette



**Native Plants** 



**Bee Friendly** 



**Bird Friendly** 



**Butterfly Friendly** 



**Drought Resistant** 















T1460 Homewood, IL

**Native Plants** 

**Bee Friendly** 

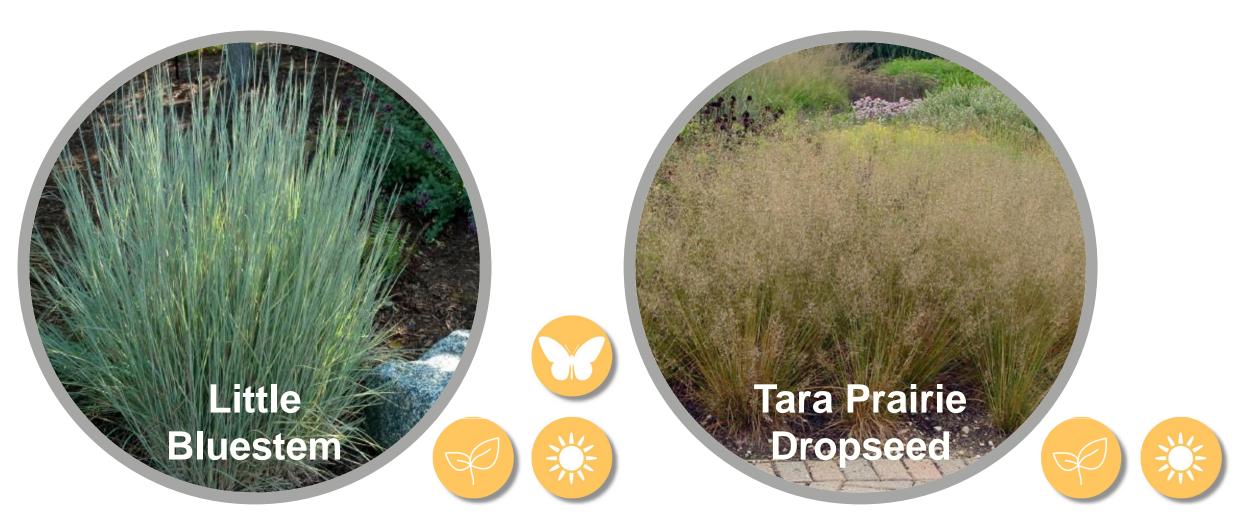
**Bird Friendly** 

**Butterfly Friendly** 

**Drought Resistant** 

Parking Island Plant Palette

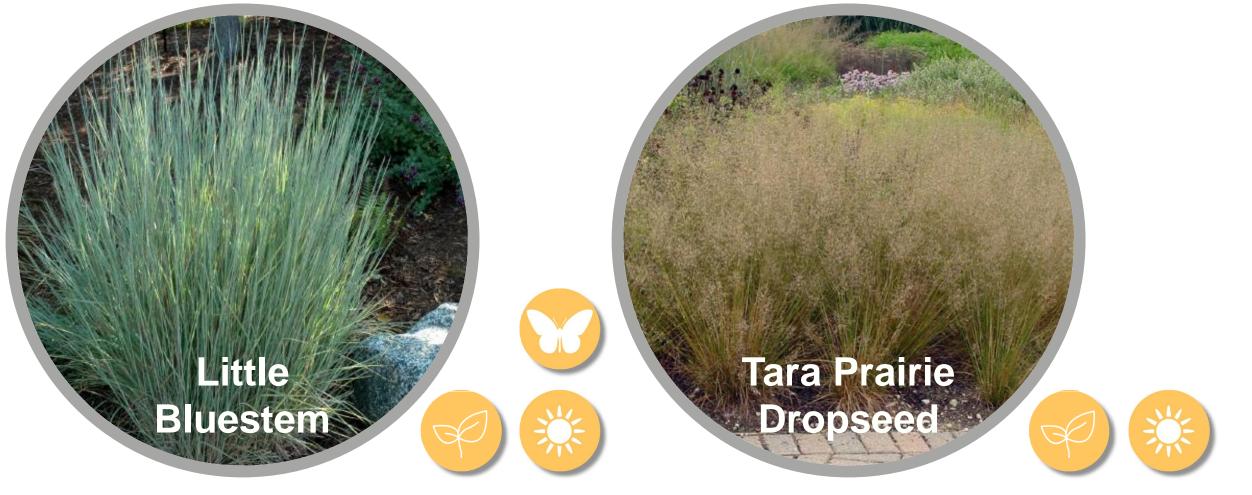
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Grasses

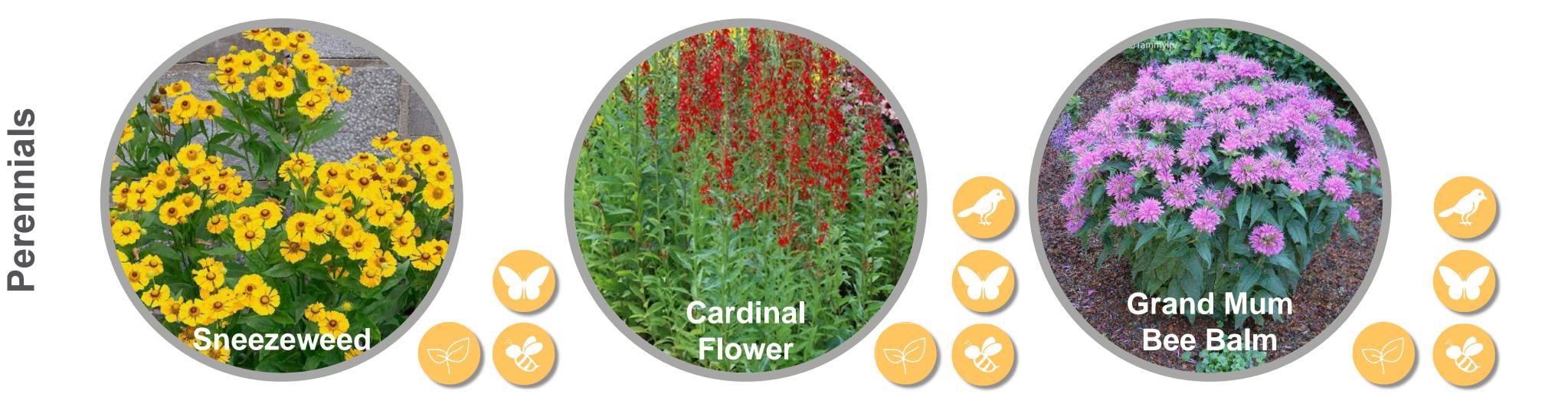
iduous Shrubs

Ground





























**Native Plants** 



**Bee Friendly** 



**Bird Friendly** 

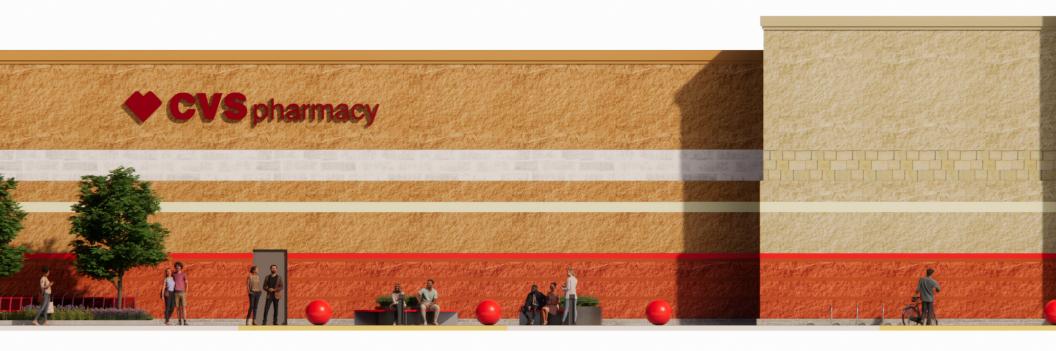


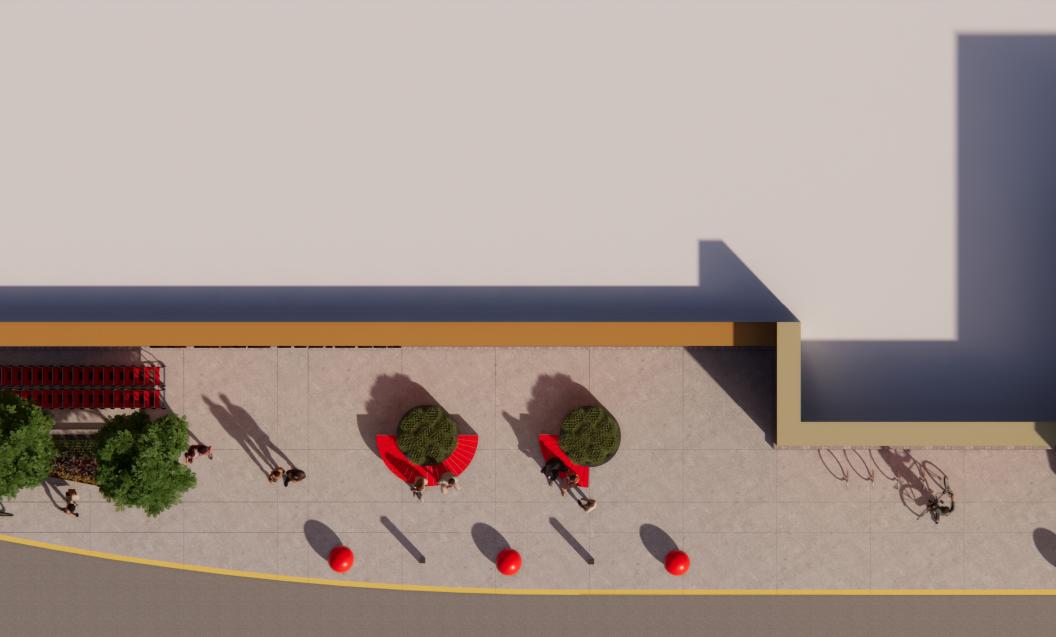
**Butterfly Friendly** 



**Drought Resistant** 













# FRONT WALK PLANS (FW) & EXTERIOR SITE SUSTAINABILITY PLANS (XSS) FOR T-1460 HOMEWOOD, IL

# **PROJECT TEAM:**

CIVIL ENGINEER TRACY LETZRING 3801 AUTOMATION WAY SUITE 120 FORT COLLINS, CO 80525 TELEPHONE: (970)-387-8908 EMAIL: TRACY.LETZRING@KIMLEY-HORN.COM

LANDSCAPE ARCHITECT OF RECORD KIMLEY-HORN AND ASSOCIATES, INC.

JOE COGSWELL 4201 WINFIELD ROAD SUITE 600 WARRENVILLE, IL 60555 TELEPHONE: (331)-684-8940 EMAIL: JOE.COGSWELL@KIMLEY-HORN.COM

PROJECT CONTACTS FRONT WALK (FW) RYAN A. HYLLESTED, PLA, ASLA (PLA - MN, IS, ND, NE, SD, WI) 767 EUSTIS STREET. SUITE 100 ST. PAUL, MN 55114 TELEPHONE: (651) 645-4197 EMAIL: RYAN.HYLLESTED@KIMLEY-HORN.COM

EXTERIOR SITE SUSTAINABILITY (XSS) HALEY MAITRE, PLA 817 WEST PEACHTREE STREET, NW, THE BILTMORE, SUITE 601 ATLANTA, GA 30308 TELEPHONE: (470) 681-6496 EMAIL: HALEY.MAITRE@KIMLEY-HORN.COM

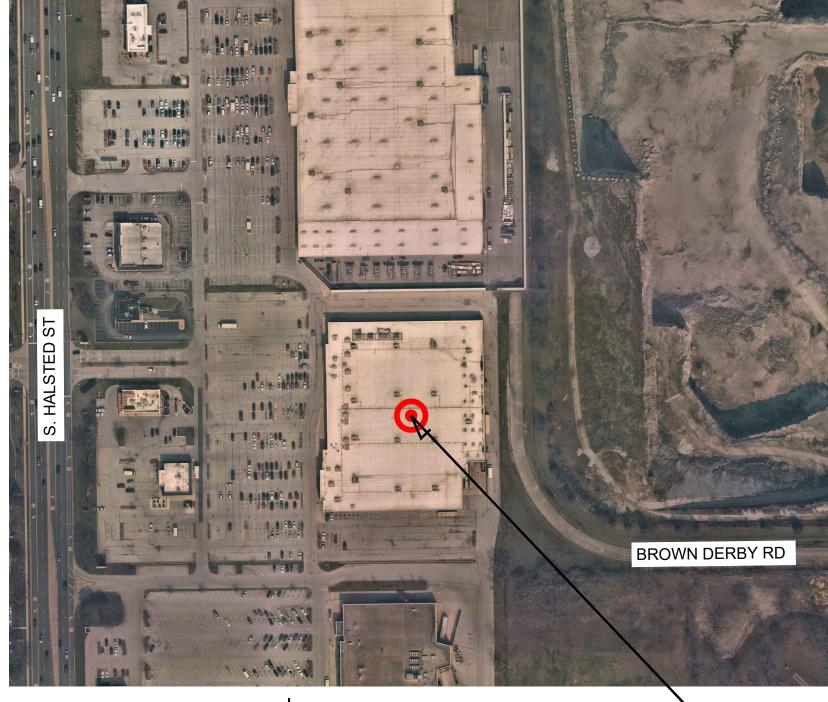
# TARGET PROGRAM MANAGER



CONTACT: ALLYSSA KUSESKE, PE, LEED AP 50 S 10TH STREET, STE 400, TP3-1110 MINNEAPOLIS. MN 5540 TELEPHONE: (612) 322-1872

EMAIL: ALLYSSA.KUSEEKE@TARGET.COM

Sheet Set List		
Sheet Number	Sheet Title	
L000	FW + XSS GENERAL NOTES & SHEET INDEX	
L100	XSS EXISTING CONDITIONS - DEMO PLAN	
L101	FW EXISTING CONDITIONS - DEMO PLAN	
L200	FW SITE FURNITURE PLAN	
L300	XSS LANDSCAPE PLAN	
L301	FW LANDSCAPE PLAN	
L400	FW IRRIGATION PLAN	
L500	GENERAL DETAILS	
L501	GENERAL DETAILS	
L502	GENERAL DETAILS	





# **NOTES:**

- CONTRACTOR SHALL CONFIRM THAT THE EXISTING CONDITIONS FOR THE SITE MATCH WHAT IS SHOWN ON THE DRAWINGS INCLUDED PRIOR TO CONSTRUCTION. 2. IF REPRODUCED, THE SCALES SHOWN ON THESE PLANS ARE BASED ON A ARCH FULL
- BLEED E (36.00 X 48.00 INCHES) SHEET. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR
- UTILITY SERVICES COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.

# ALL GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.

# LANDSCAPE NOTES

- CONTRACTOR SHALL CONTACT JULIE (800) 892-0123 TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE
- 3. NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS
- 4. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR
- OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLAN 6. ALL PLANTS TO BE SPECIMEN GRADE, GROWN IN THE LOCAL STATE AND/OR HARDY ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.
- ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES. ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING. CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
- 7. PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
- 8. PLANTS TO BE INSTALLED AS PER ANSI STANDARD PLANTING PRACTICES.
- 9. PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY

HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.

- 10. PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE. SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
- 11. OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
- 12. PRUNE PLANTS AS NECESSARY PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
- 13. WRAP ALL SMOOTH-BARKED TREES FASTEN TOP AND BOTTOM. REMOVE BY
- 14. STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB
- 15. THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY
- LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS. 16. BASIS OF DESIGN REQUIREMENTS FOR EXISTING AND IMPORTED TOPSOIL: PHYSICAL TESTING
- **FERTILITY TESTING** ORGANIC MATTER CONTENT RECOMMENDATIONS FOR AMENDMENTS, FERTILIZER AND WATER APPLICATION

**EXISTING SOIL AND IMPORTED TOPSOIL:** CONTRACTOR TO TEST SOIL AND SUBMIT ANALYSIS TO THE LANDSCAPE ARCHITECT OR OWNER REPRESENTATIVE FOR ACCEPTANCE PRIOR TO

CHEMICAL TESTING

SOIL TEST TO INCLUDE THE FOLLOWING NUTRIENT EVALUATION: CONTENT OF

STRUCTURE AND MOISTURE. MANUFACTURER'S QUALIFIED TESTING AGENCY'S

HARMFUL TO PLANT GROWTH OR HINDER PLANTING OPERATIONS. TOP SOIL SHALL

SPREAD TOPSOIL TO A MINIMUM DEPTH OF 6" IN SEEDED AREAS, 24" IN PLANTINC COPSOIL PLACEMENT SHALL TAKE PLACE DURING DRY WEATHER - PREPAR TOPSOIL SO THAT IT IS FREE OF DEBRIS AND GRADED TO DRAIN AS INDICATED ON SITE AND GRADING PLANS. LIGHTLY COMPACT TOPSOIL AFTER PLACEMENT AND PROHIBIT CONSTRUCTION TRAFFIC FROM AREAS WITH NEW TOPSOIL

- 17. STRUCTURAL SOIL TO BE CU-SOIL™ OR APPROVED EQUAL. THE STRUCTURAL SOIL PRODUCT CU SOIL™ IS A PROPRIETARY MATERIAL PATENTED BY CORNELL UNIVERSITY (US PATENT # 5,849,069) WHICH MEETS THE REQUIREMENTS OF STRUCTURAL SOILS FOR THIS PROJECT. ONLY LICENSED PRODUCERS ARE ALLOWED TO SUPPLY THIS MATERIAL, MEETING THE SPECIFICATIONS DESCRIBED IN THIS TEXT. FOR A LIST OF LICENSED CU-SOILTM PRODUCERS, CALL AMEREQ, INC. AT 1-800-832-8788. CONTRACTOR MAY CONSIDER AN ALTERNATE MANUFACTURER AND SUPPLIER OF STRUCTURAL SOIL. A DETAILED LIST OF MATERIALS, COMPOSITION PROPORTIONS, SOURCES, PLACEMENT, CERTIFICATION, LOCAL PRECEDENT WITH CLIENT REFERENCE AND CONTACT INFORMATION, AND WARRANTY MUST BE PROVIDED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND CONSIDERATION WITHIN 60 DAYS OF GENERAL CONTRACT AWARD. INSTALL STRUCTURAL SOIL IN 6 INCH LIFTS AND COMPACT EACH LIFT. COMPACT ALL MATERIALS TO AT LEAST 95% PROCTOR DENSITY FROM A STANDARD COMPACTION CURVE AASHTO T 99 (ASTM D 698). PROVIDE AAPPROXIMATE 26% VOID SPACE
- 18. MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 4" DEPTH OF DOUBLE SHREDDED HARDWOOD MULCH. DOUBLE SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 2" DEPTH DOUBLE SHREDDED HARDWOOD MULCH. MULCH TO BE FREE OF DELETERIOUS MATERIAL AND NATURAL IN COLOR/DYE-FREE, OR APPROVED EQUAL. MULCH AND FABRIC TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
- 19. CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
- 20. REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO
- 21. MAINTAIN TREES, SHRUBS, AND OTHER PLANTS UNTIL PROJECT COMPLETION, BUT IN NO CASE, LESS THAN FOLLOWING PERIOD; 1 YEAR AFTER PROJECT COMPLETION. MAINTAIN TREES, SHRUBS, AND OTHER PLANTS BY PRUNING, CULTIVATING, AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS. TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. REPLENISH MULCH TO THE REQUIRED DEPTH. MAINTAIN LAWNS FOR 45 DAYS AFTER INSTALLING SOD INCLUDING MOWING WHEN SOD RECITES 4" IN HEIGHT. WEED PLANTING BEDS AND MULCH SAUCERS AT MINIMUM ONCE A MONTH DURING THE GROWING SEASON. PROVIDE A MONTHLY REPORT TO THE OWNER ON WEEDING AND OTHER MAINTENANCE RESPONSIBILITIES.

# **GENERAL CONSTRUCTION NOTES**

- 1. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE LOCAL STATE DEPARTMENT OF TRANSPORTATION "SPECIFICATIONS" (LATEST EDITION) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK, AND, UNLESS OTHERWISE NOTED, ALL WORK SHALL CONFORM AS APPLICABLE TO THESE STANDARDS AND SPECIFICATIONS.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER
- PLANS PROVIDED BY THE OWNER. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE LANDSCAPE ARCHITECT AT THE TIME OF PLAN PREPARATION AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE LANDSCAPE ARCHITECT. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY.

3. THE EXISTING SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS FROM AVAILABLE RECORD

- FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED
- 4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.

REGARDING THE METHOD TO USE FOR SUCH WORK.

- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
- 6. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS. SPECIFICATIONS, AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
- 7. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND LANDSCAPE ARCHITECT BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE LANDSCAPE ARCHITECT.
- 8. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER DIRECTLY FROM THE TESTING AGENCY.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED. THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
- 10. SHOULD CONTRACTOR ENCOUNTER ANY DEBRIS LADEN SOIL, STRUCTURES NOT IDENTIFIED IN THE DOCUMENTS, OR OTHER SOURCE OF POTENTIAL CONTAMINATION, THEY SHALL IMMEDIATELY CONTACT THE LANDSCAPE ARCHITECT AND OWNER.

11. A REASONABLE ATTEMPT HAS BEEN MADE TO SHOW THE LOCATIONS OF UNDERGROUND

OBSTRUCTION, AND UTILITIES. THE UTILITIES AND FACILITIES ON THE PLANS SHOWN ARE NOT BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY UNDERGROUND UTILITIES, OR OBSTACLES THAT MAY OCCUR ON THE SITE. THE OWNER AND ENGINEER BEAR NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR SOWN IN AN INCORRECT LOCATION OR ELEVATION ON THE PLANS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE PREPARED AT THE CONTRACTOR'S EXPENSE.

# SITE NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS. (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST
- PROPOSED CONCRETE SIDEWALK/PAVEMENT TO MATCH EXISTING SCORING AND EXPANSION JOINTS ON SITE.
- 4. JOINTS SPACING BETWEEN CONTROL JOINTS ON THE SIDEWALK SHOULD NOT EXCEED 8'-0" IN EITHER DIRECTION, WITH A MAXIMUM 2:1 RATIO OF WIDTH TO LENGTH OR LENGTH TO WIDTH, EXPANSION JOINTS IN THE SIDEWALK SHOULD BE LOCATED SUCH THAT SLAB SIZES DO NOT EXCEED 32'-0" IN FITHER DIRECTION. WITH A MAXIMUM 2:1 RATIO OF WIDTH TO LENGTH OR LENGTH TO WIDTH. EXPANSION JOINTS SHOULD ALIGN WITH BUILDING CORNERS.
- POWER WASH FRONT WALK.

SHALL BE INCLUDED IN BASE BID.

# **EROSION CONTROL NOTES**

BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER. 2. THE CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR

DRAINAGE DITCHES OR WATERS OF THE STATE.

- AS REQUIRED BY THE GENERAL PERMIT. 3. CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA,
- EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. 4. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING.
- ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED. 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF

MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST

- SUPPRESSION OPERATIONS IS PROHIBITED. 6. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO
- 7. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE PLAN SHALL BE INITIATED AS SOON AS IS PRACTICABLE.
- 8. ALL STAGING AREAS, STOCKPILES, SPOILS, ETC. SHALL BE LOCATED SUCH THAT THEY WILL NOT ADVERSELY AFFECT STORM WATER QUALITY. OTHERWISE, COVERING OR ENCIRCLING THESE AREAS WITH SOME PROTECTIVE MEASURE WILL BE NECESSARY.
- 9. CONTRACTOR SHALL BE RESPONSIBLE FOR RE-ESTABLISHING ANY EROSION CONTROL DEVICE WHICH THEY DISTURB. EACH CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES THAT MAY LEAD TO UNAUTHORIZED DISCHARGE OR STORM WATER POLLUTION, SEDIMENTATION, OR OTHER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE (BUT ARE NOT LIMITED TO) EXCESS CONCRETE DUMPING OR CONCRETE RESIDUE, PAINTS, SOLVENTS, GREASES, FUEL AND LUBRICANT OIL, PESTICIDES, AND ANY SOLID WASTE MATERIALS.
- 10. EROSION CONTROL DEVICES SHOWN ON THESE PLANS SHALL BE INSTALLED PRIOR TO THE START OF LAND-DISTURBING ACTIVITIES ON THE PROJECT.
- 11. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS FOR THIS PROJECT. CHANGES ARE TO BE APPROVED BEFORE CONSTRUCTION BY THE DESIGN ENGINEER AND THE AUTHORITY HAVING JURISDICTION
- 12. CONTRACTOR TO ADD EROSION CONTROL MEASURES WITHIN PARKING LOT PLANTING ISLANDS AFTER EXISTING PLANTING IS REMOVE TO STABILIZE UNTIL TIME PLANTING.

# **DEMOLITION NOTES**

- 1. EXISTING SITE DIGITIZED AERIAL BY NEARMAPS, DATED 06/15/2022. KIMLEY-HORN ASSUMES NO LIABILITY FOR ANY ERRORS, INACCURACIES, OR OMISSIONS CONTAINED THEREIN.
- . THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS ON THE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE PROJECT DOCUMENTS.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. CONTRACTOR SHALL PROVIDE COPIES OF THE PERMIT AND RECEIPTS OF DISPOSAL OF MATERIALS TO THE OWNER AND OWNERS REPRESENTATIVE.
- 4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR, KIMLEY-HORN ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR LOCATIONS OF EXISTING UTILITIES WITHIN ALL AREAS OF PROPOSED WORK.
- VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PRECEDING WITH THE WORK. 6. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED

5. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED

AS THE EXACT LOCATION, OR AS ANY OBSTACLES THAT MAY OCCUR ON THE SITE.

- UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
- 7. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. MAINTENANCE OF TRAFFIC CONTROL SHALL BE COORDINATED IN ACCORDANCE WITH LOCAL AUTHORITY HAVING JURISDICTION (AHJ'S); INCLUDING COUNTY AND STATE AGENCIES.

8. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES DURING

- CONSTRUCTION. AND SHALL NOTIFY ALL PROPERTIES IF ACCESS WILL BE INTERRUPTED OR ALTERED AT ANY TIME DURING CONSTRUCTION.
- 10. CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE

9. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE

11. CONTRACTOR SHALL NOTIFY THE KIMLEY-HORN IF ANY EXISTING DRAINTILE IS ENCOUNTERED ON SITE. NO ACTIVE DRAINTILE SHALL BE REMOVED WITHOUT APPROVAL FROM KIMLEY-HORN OR THE OWNER.

12. THE STORE WILL REMAIN OPEN DURING CONSTRUCTION. ACCESS SHALL BE

CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.

- MAINTAINED DURING ALL HOURS OF OPERATION. 13. WORK SHALL BE PHASED TO MINIMIZE IMPACTS TO THE STORE AND GUESTS

# **GRADING AND DRAINAGE NOTES**

 GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE START OF CONSTRUCTION. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.

CONTRACTOR SHALL ENSURE THERE IS POSITIVE DRAINAGE FROM THE BUILDINGS SO

THAT SURFACE RUNOFF WILL DRAIN BY GRAVITY TO EXISTING DRAINAGE OUTLETS.

- CONTRACTOR SHALL ENSURE NO PONDING OCCURS IN PAVED AREAS AND SHALL NOTIFY LANDSCAPE ARCHITECT IF ANY GRADING DISCREPANCIES ARE FOUND IN THE EXISTING AND PROPOSED GRADES PRIOR TO PLACEMENT OF PAVEMENT. 3. CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES THAT ARE TO REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION. EXISTING CASTINGS
- AND STRUCTURES TO REMAIN SHALL BE ADJUSTED TO MATCH THE PROPOSED 4. AFTER PLACEMENT OF SUBGRADE AND PRIOR TO PLACEMENT OF PAVEMENT. CONTRACTOR SHALL TEST AND OBSERVE PAVEMENT AREAS FOR EVIDENCE OF PONDING. ALL AREAS SHALL ADEQUATELY DRAIN TOWARDS THE INTENDED STRUCTURE TO CONVEY STORM RUNOFF. CONTRACTOR SHALL IMMEDIATELY NOTIFY
- 5. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED. THE CONTRACTOR SHALL SAW CUT FULL DEPTH FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.

6. THE CONTRACTOR SHALL INSTALL PROTECTION OVER ALL DRAINAGE STRUCTURES

OWNER AND LANDSCAPE ARCHITECT IF ANY DISCREPANCIES ARE DISCOVERED.

- FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS. 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT
- RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL
- 9. IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN

8. LIMITS OF CONSTRUCTION ARE TO THE PROPERTY LINE UNLESS OTHERWISE

10. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION WITHOUT COMPENSATION.

11. BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.

ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS.

AND CONTINUOUS GRADE.

- 12. ALL PROPOSED GRADES ONSITE SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE INDICATED ON THE PLANS. ANY SLOPES STEEPER THAN 4:1 REQUIRE EROSION AND SEDIMENT CONTROL BLANKET. 13. ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT
- 14. CONTRACTOR SHALL ENSURE MINIMUM GRADES ARE MET WITHIN PAVED AREAS, 1.2%
- FOR ASPHALT PAVING AND 0.6% FOR CONCRETE PAVING.

# **PAVING AND STRIPING NOTES**

 ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP. WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR WISDOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR

COUNTY REGULATIONS.

PROJECT DOCUMENTS.

- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D) AND CITY STANDARDS.
- 3. CONTRACTOR SHALL FURNISH ALL PAVEMENT MARKINGS FOR FIRE LANES, SIGNS, AND MISCELLANEOUS STRIPING AS SHOWN ON THE PLANS. 4. ALL EXPANSION JOINTS SHALL EXTEND THROUGH THE CURB.
- 5. THE MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS SHALL BE 2 FEET.
- THE MATERIALS AND PROPERTIES OF ALL CONCRETE SHALL MEET THE APPLICABLE REQUIREMENTS IN THE A.C.I. (AMERICAN CONCRETE INSTITUTE) MANUAL OF CONCRETE PRACTICE. 8. CONTRACTOR SHALL APPLY A SECOND COATING OVER ALL

TACK STRIPS, SHALL BE SEALED WITH JOINT SEALANT.

ALL JOINTS, INCLUDING EXPANSION JOINTS WITH REMOVABLE

PAVEMENT MARKINGS PRIOR TO ACCEPTANCE BY OWNER

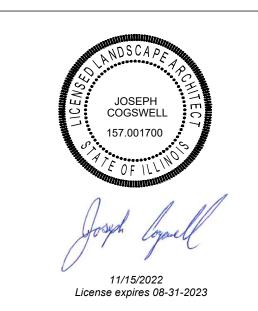
FOLLOWED BY A COAT OF GLASS BEADS AS APPLICABLE PER THE

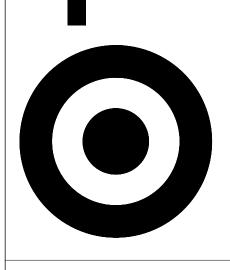
- 9. ANY EXISTING PAVEMENT, CURBS AND/OR SIDEWALKS DAMAGED OR REMOVED WILL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT AND OWNER.
- 10. BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY SUITABLE ACCESSIBLE ROUTES (PER A.D.A). GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATE/NATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2% . IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A COMPLIANCE ISSUES.
- 11. MAXIMUM JOINT SPACING IS TWICE THE DEPTH OF THE CONCRETE PAVEMENT IN FEET.





0 CONSTRUCTION DOCUMENT 100% SET



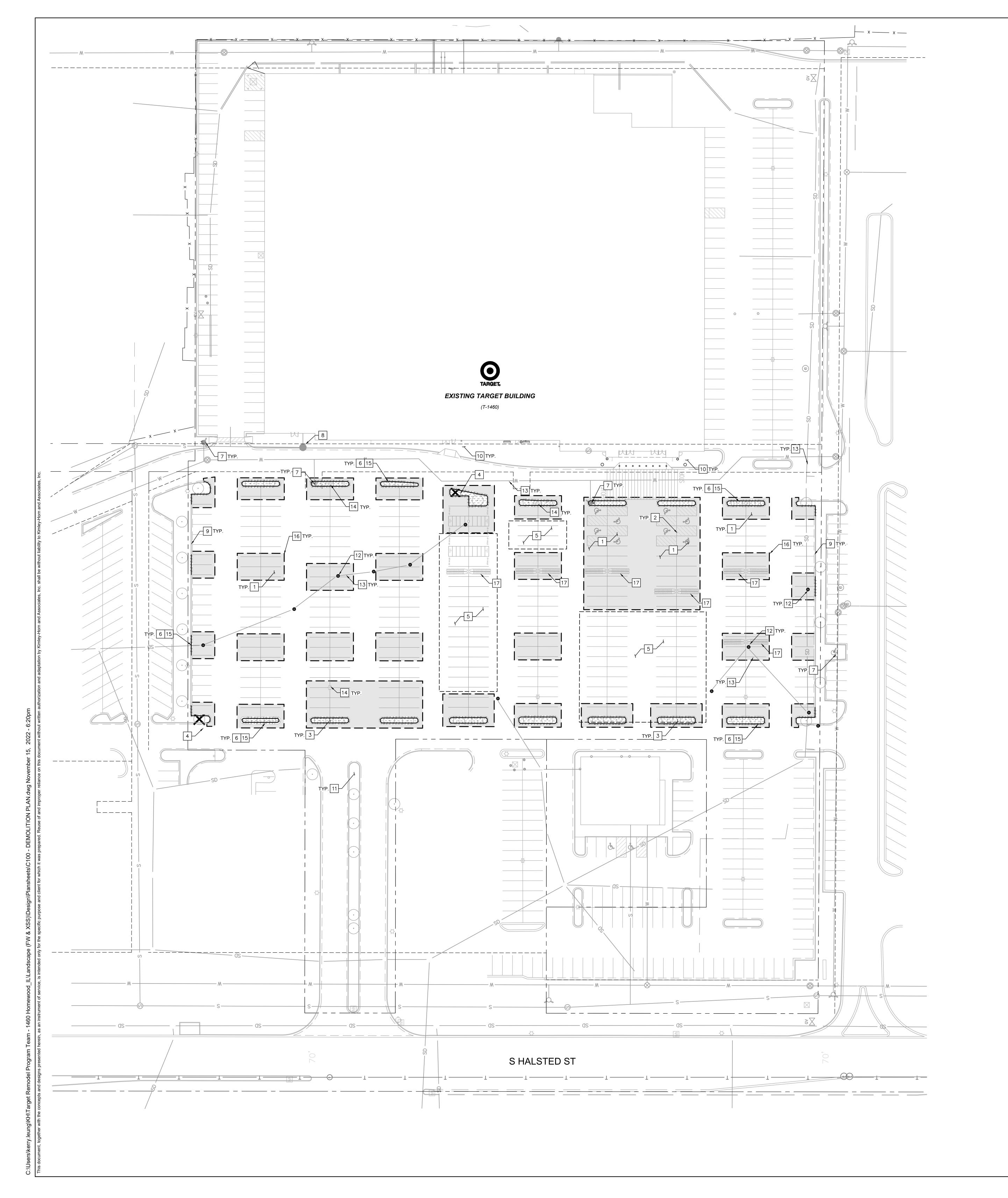


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**GENERAL NOTES &** 

TJL /RAH



# LEGEND

FULL DEPTH ASPHALT PAVEMENT REMOVAL. LANDSCAPE REMOVAL. DEMOLISH AND REMOVE EXISTING CURB/ CURB AND GUTTER. 

---- LIMITS OF STRIPING REMOVAL

# DEMOLITION NOTES

- FULL DEPTH ASPHALT PAVEMENT REMOVAL.
- REMOVE EXISTING ACCESSIBLE PARKING SIGN AND POST.
- REMOVE EXISTING LANDSCAPING. SEE LANDSCAPE PLANS FOR MORE DETAIL. REMOVE EXISTING TREE. SEE LANDSCAPE PLANS FOR MORE DETAIL.
- REMOVE EXISTING STRIPING.
- DEMOLISH AND REMOVE EXISTING CONCRETE CURB/ CURB & GUTTER. CONTRACTOR TO USE HAND TOOLS WHEN EXISTING CONCRETE CURB/ CURB & GUTTER IS ADJACENT TO AN EXISTING TREE.
- PROTECT IN PLACE EXISTING FIRE HYDRANT.
- PROTECT IN PLACE EXISTING SEWER MANHOLE.
- PROTECT IN PLACE EXISTING CONCRETE CURB/ CURB & GUTTER.
- PROTECT IN PLACE EXISTING CONCRETE SIDEWALK.
- PROTECT IN PLACE EXISTING LANDSCAPING.
- PROTECT IN PLACE EXISTING CATCH BASIN.
- PROTECT IN PLACE EXISTING UNDERGROUND UTILITIES.
- PROTECT IN PLACE EXISTING LIGHT POLE.
- PROTECT IN PLACE EXISTING TREE. SEE LANDSCAPE PLANS FOR MORE
- REMOVE AND SALVAGE EXISTING CART CORRALS. CONTRACTOR TO COORDINATE RELOCATION WITH TARGET.
- 18 REMOVE AND SALVAGE EXISTING DRIVE UP SOLAR BEACON.

# GENERAL NOTES

- 1. WHERE GRADES ARE AFFECTED, THE CONTRACTOR SHALL USE A SURVEYOR AS NEEDED TO INSURE PROPER GRADES ARE ACHIEVED.
- 2. STRIPING SHALL BE COMPLETED PER THE REQUIREMENTS OF THE CURRENT ILLINOIS BUILDING CODE AND APPLICABLE LOCAL CODES. GRADES SHALL BE VERIFIED FOR COMPLIANCE AT THE TIME OF CONSTRUCTION PRIOR TO STRIPING.
- 3. THE GENERAL CONTRACTOR SHALL ALSO REVIEW ANY APPLICABLE STATE AND LOCAL GUIDELINES AS THEY APPLY TO THE ACCESSIBILITY AND SIGNAGE.
- 4. THE GENERAL CONTRACTOR SHALL VERIFY ELEVATIONS AND GRADES PRE & POST CONSTRUCTION AND REPORT ANY DEFICIENCIES TO THE ENGINEER BEFORE START OF WORK AND AT COMPLETION.
- 5. ALL NEW CONSTRUCTION SHALL BE VERIFIED TO BE IN COMPLIANCE WITH LOCALLY ADOPTED ACCESSIBILITY REGULATIONS. ANYTHING FOUND NOT IN COMPLIANCE SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL SLOPES TO BE MEASURED WITH A 24" SMART LEVEL.
- 6. IT IS ACKNOWLEDGED THAT THE IMPROVEMENTS SHOWN ON THIS PLAN CONSIST OF A LIMITED SCOPE OF WORK AND MAY NOT BRING THE ENTIRE SITE INTO FULL COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT GUIDELINES AND ANY OTHER STATE SPECIFIC ACCESSIBILITY CODES. THE ENGINEER OF RECORD SHALL NOT BE HELD RESPONSIBLE FOR ANY EXISTING CONDITIONS OUTSIDE OF THE IDENTIFIED SCOPE OF WORK THAT ARE NOT BROUGHT WITHIN COMPLIANCE.
- . WHERE ASPHALT PAVEMENT MILL AND OVERLAY IS PROPOSED THE GENERAL CONTRACTOR SHALL CORE A 2" DIAMETER SECTION AND VERIFY THE EXISTING ASPHALT PAVEMENT SECTION IS GREATER THAN 3". GENERAL CONTRACTOR SHALL NOTIFY CIVIL ENGINEER IF ASPHALT PAVEMENT SECTION IS LESS THAN 3" FOR FURTHER DIRECTION AS MILL AND OVERLAY MAY NOT BE FEASIBLE.
- 8. PROPERTY LINE AND FINISHED FLOOR ELEVATION SHOWN IS BASED ON THE FOLLOWING RECORD DRAWING: TARGET HOMEWOOD, IL SITE IMPROVEMENT PLANS BY JOSEPH A. SCHUDT & ASSOCIATES DATED 1/8/01.

# DISTURBED AREA

FULL DEPTH ASPHALT REMOVAL AND REPLACEMENT LANDSCAPE REMOVAL AND REPLACEMENT

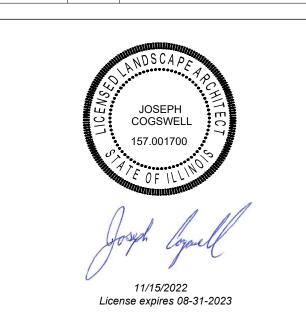
# **ABBREVIATIONS**

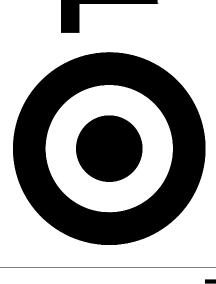
EX — EXISTING FS — FINISHED SURFACE TC — TOP OF CURB TYP — TYPICAL





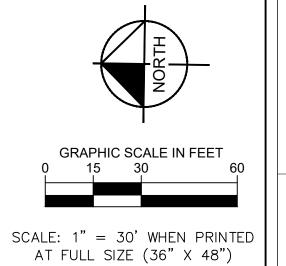
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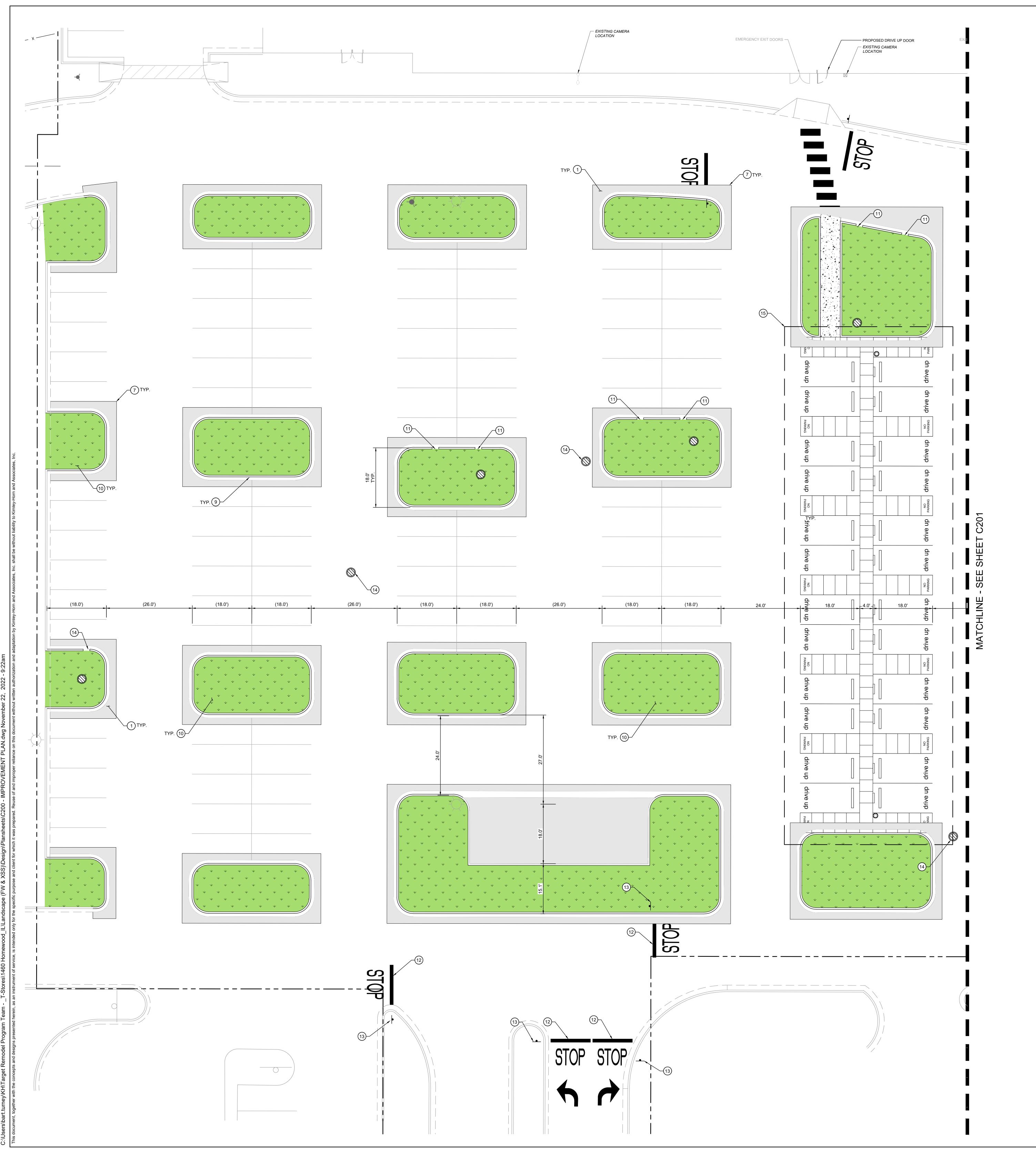




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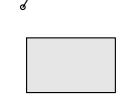




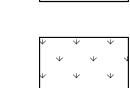
# **LEGEND**

(637.00 FS) 637.50 TC 637.00 FS

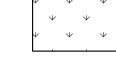
EXISTING SPOT ELEVATION PROPOSED SPOT ELEVATION



FULL DEPTH ASPHALT PAVEMENT REPLACEMENT. SEE CONSTRUCTION NOTES 1 & 7 HEREON.



PROPOSED LANDSCAPING. SEE CONSTRUCTION NOTE 10 HEREON.



EXISTING FLOW (SLOPE AND DIRECTION).



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# CONSTRUCTION NOTES

- INSTALL C2-PG64-10 ASPHALTIC PAVEMENT OVER CLASS II CRUSHED AGGREGATE BASE COMPACTED TO 95% MAXIMUM DRY DENSITY BASED ON ASTM D1557-07 TEST METHOD OR CLASS 2 AGGREGATE BASE COMPACTED TO 95 OF THE MATERIAL'S ASTM D-1557 MAXIMUM DRY DENSITY. ENSURE THE SUBGRADE IS SCARIFIED AND RECOMPACTED TO 95% MAXIMUM DRY DENSITY BASED ON ASTM D1557-07 TEST METHOD. MATCH EXISTING PAVEMENT SECTION.
- INSTALL STANDARD ACCESSIBLE PARKING STALL SIGN PER DETAIL 11, SHEET C300. INSTALL SINGLE BASE SIGN POST PER DETAIL 12, SHEET C300.
- 3 INSTALL VAN ACCESSIBLE PARKING STALL SIGN PER DETAIL 11, SHEET C300. INSTALL SINGLE BASE SIGN POST PER DETAIL 12, SHEET C300.
- (4) INSTALL ACCESSIBLE PARKING STALL STRIPING PER DETAIL 9, SHEET C300.
  - INSTALL ACCESSIBLE PATH OF TRAVEL STRIPING PER DETAIL 10, SHEET C300. PATH OF TRAVEL SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5% AND CROSS SLOPE OF 2% AT ALL TIMES.
- (6) INSTALL 6' WHEEL STOP AT 2.0' FROM CURB FACE / EDGE OF PAINT TO FACE OF WHEEL STOP PER DETAIL 4, SHEET

**PARKING QUANTITY SUMMARY** 

125,970 SF

504 STALLS

639 STALLS

515 STALLS

- (7) JOIN ASPHALT PAVEMENT TO EXISTING ASPHALT PAVEMENT PER DETAIL 3, SHEET C300.
- (8) INSTALL 2 COATS 4" THICK 90° WHITE STRIPING.
- INSTALL CONCRETE CURB & GUTTER PER DETAIL 5, SHEET C300. PROPOSED LANDSCAPING. SEE LANDSCAPE PLANS FOR MORE DETAIL.
- INSTALL 24" WIDE CURB CUT PER DETAIL 13, SHEET C300.
- PROPOSED STOP BAR MARKING PER DETAIL 7, SHEET C300.
- (13) PROPOSED STOP BAR SIGN PER DETAIL 6, SHEET C300. 14 INSTALL INLET FILTER, ADS FLEXSTORM PURE OR APPROVED EQUAL.
- PROPOSED DRIVE UP STRIPING AND SIGNAGE PER SEPERATE PERMIT.

CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND IMPROVEMENTS AND NOTIFY ENGINEER IF THERE ARE ANY DISCREPANCIES PRIOR TO CONSTRUCTION. ALL ELEVATIONS SHOWN ON THIS PLAN ARE RELATIVE TO THE ASSUMED FINISHED FLOOR OF 637.50. PROPERTY LINE AND FINISHED FLOOR ELEVATION SHOWN IS BASED ON THE FOLLOWING RECORD DRAWING: TARGET HOMEWOOD, IL SITE IMPROVEMENT

# AREAS OF REPLACED PAVEMENT

PLANS BY JOSEPH A. SCHUDT & ASSOCIATES DATED 1/8/01.

FULL DEPTH ASPHALT REPLACEMENT LANDSCAPE REPLACEMENT

# **ABBREVIATIONS**

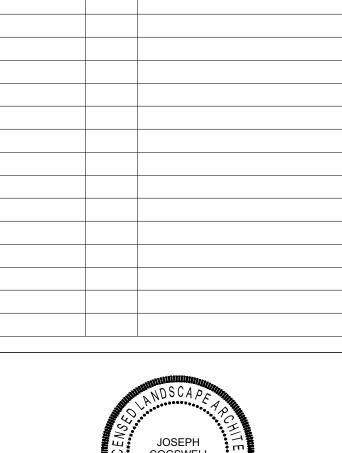
EX — EXISTING FS — FINISHED SURFACE TC — TOP OF CURB TYP — TYPICAL

REQUIRED

RETAIL

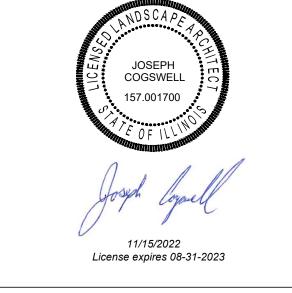
1 STALLS/ 250 SF

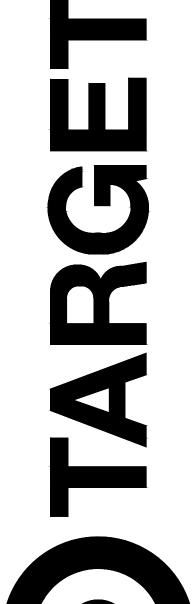
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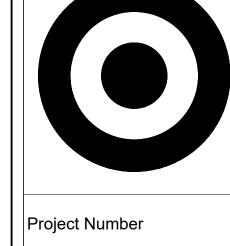


Description

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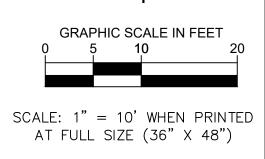




T-1460

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IMPROVEMENT PLAN

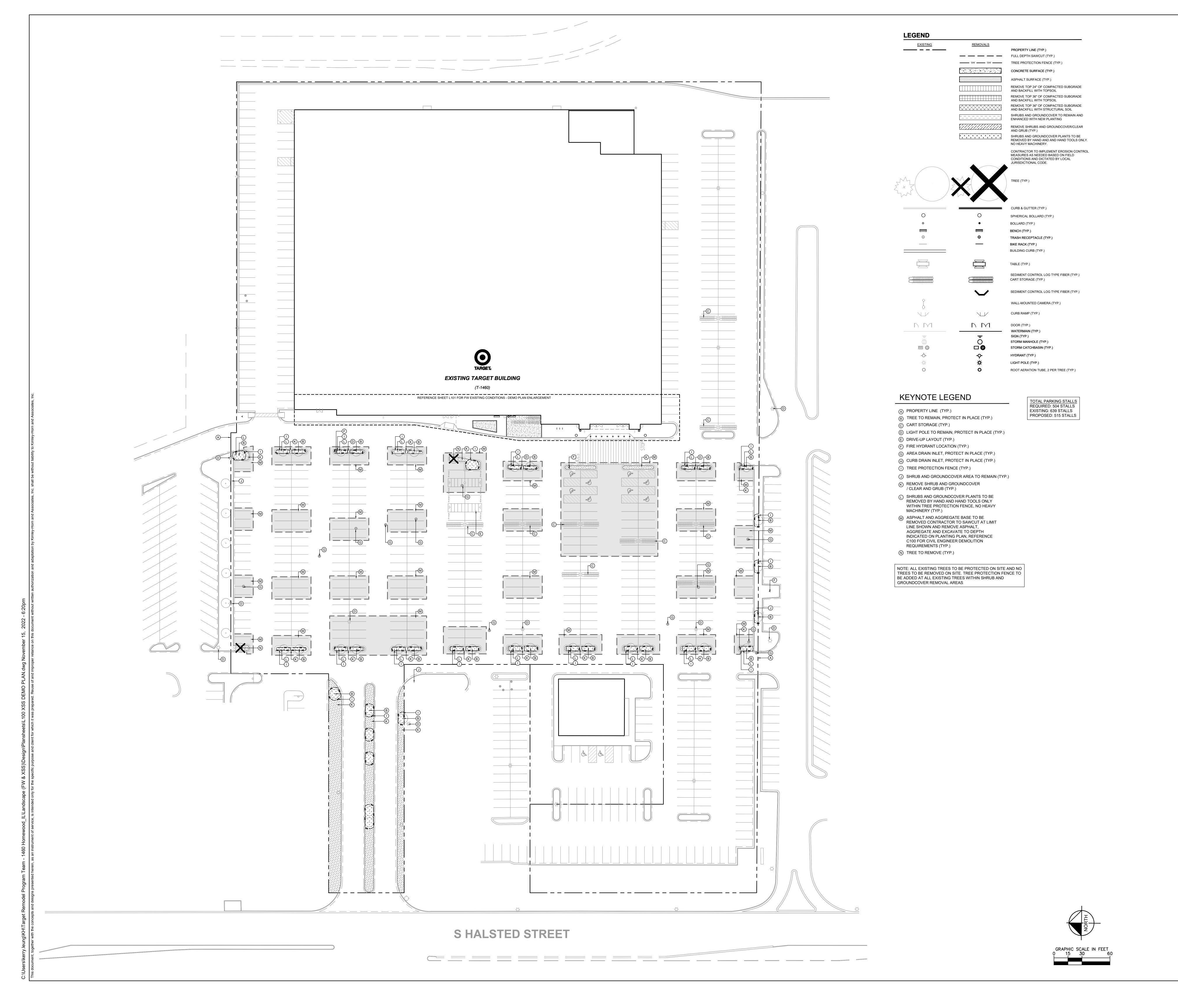


TOTAL ACCESSIBLE PARKING STALLS

11 STALLS (2 VAN)

12 STALLS (2 VAN)

12 STALLS (2 VAN)





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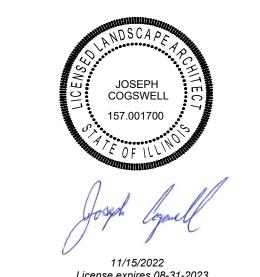
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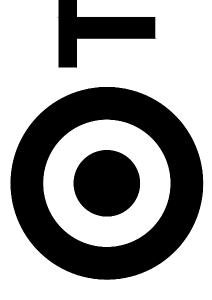
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HOMEWOOD, IL



t Number T-1460

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XSS EXISTING
CONDITIONS -

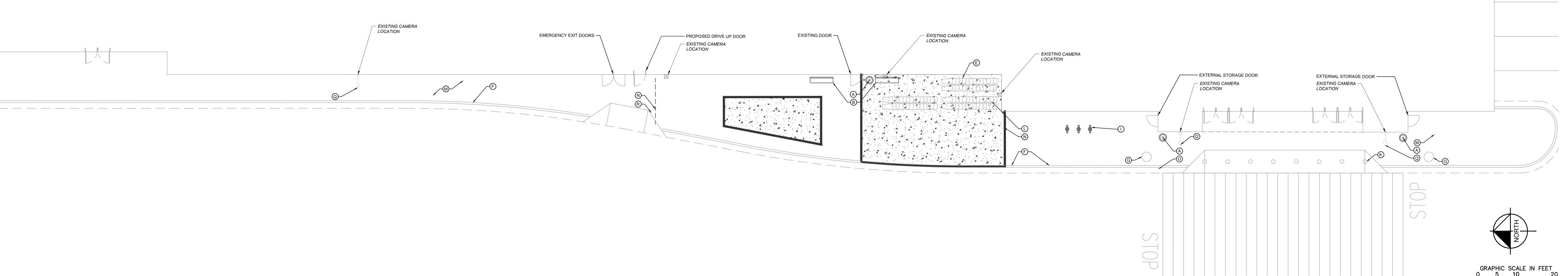
L100

**DEMO PLAN** 



# EXISTING TARGET BUILDING

(T-1460)





# **KEYNOTE LEGEND**

(A)	REMOVE AND DISPOSE TRASH RECEPTACLE (TYP.
В	REMOVE AND DISPOSE BENCH (TYP.)
$\overline{}$	

© REMOVE AND DISPOSE TABLE (TYP.) WALL MOUNTED "NO PARKING FIRE LANE" SIGN TO REMAIN

BUILDING CURB TO REMAIN (TYP.) CONCRETE CURB CONCRETE TO REMAIN (TYP.)

SPHERICAL BOLLARD TO REMAIN (TYP.)

REMOVE AND DISPOSE BIKE RACK (TYP.)

PROTECT SIGN IN PLACE (TYP.)

REMOVE CONCRETE SIDEWALK (TYP.) CONCRETE SIDEWALK TO REMAIN (TYP.)

SAWCUT LINE (TYP.) EXISTING FIRELANE TO REMAIN (TYP.)

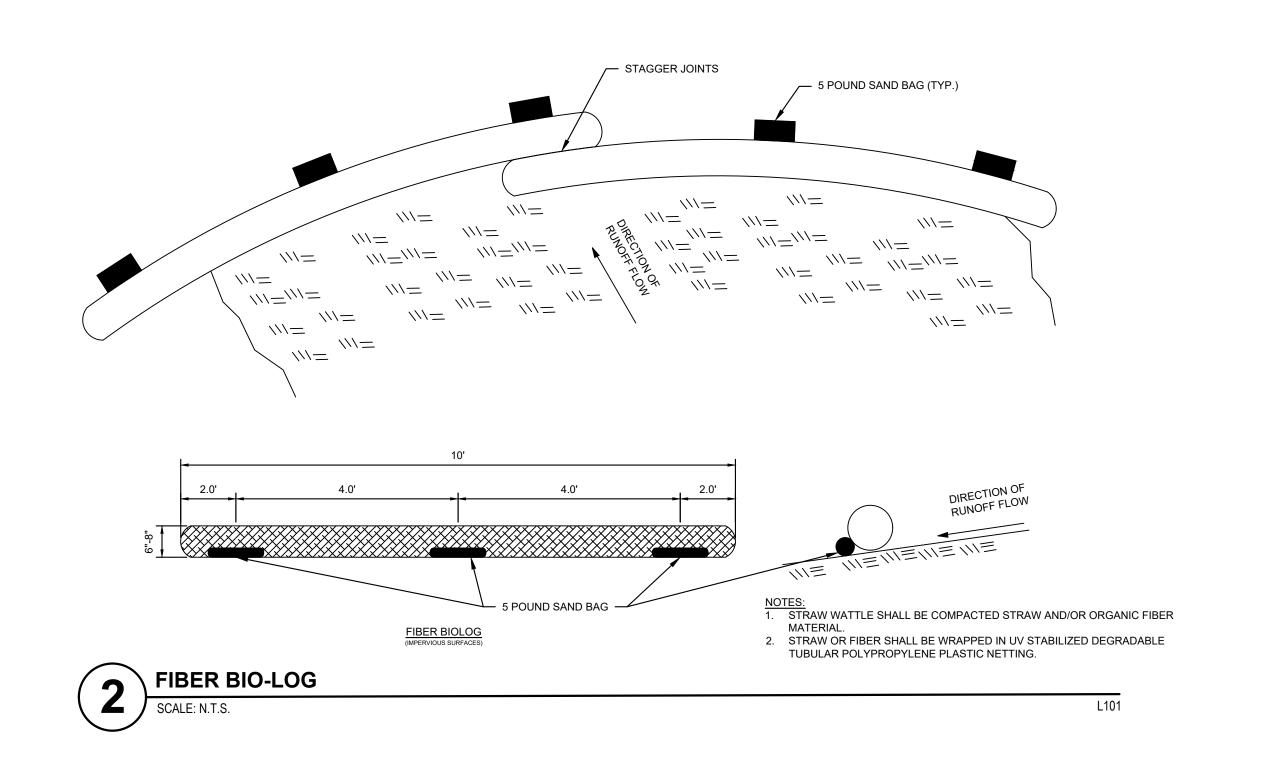
USPS MAILBOX TO REMAIN (TYP.)

SECURITY CAMERA TO REMAIN (TYP.)

FIBER BIO LOG, SEE DETAIL THIS SHEET

**LEGEND EXISTING** REMOVALS PROPERTY LINE (TYP.) CONCRETE SURFACE (TYP.) — — — FULL DEPTH SAWCUT (TYP.) LIMITS OF CONSTRUCTION (TYP.) SIGN (TYP.) STORM MANHOLE (TYP.) STORM CATCHBASIN (TYP.) ROOF DRAIN (TYP.) LIGHT POLE (TYP.) SPHERICAL BOLLARD (TYP.) CYLINDRICAL BOLLARD (TYP.) TRASH RECEPTACLE (TYP.) BIKE RACK (TYP.) BUILDING CURB (TYP.)

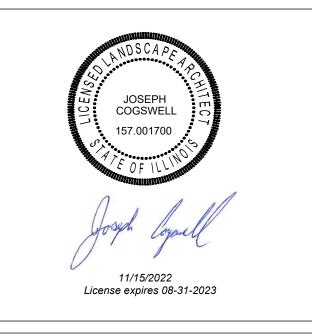
CART STORAGE (TYP.)

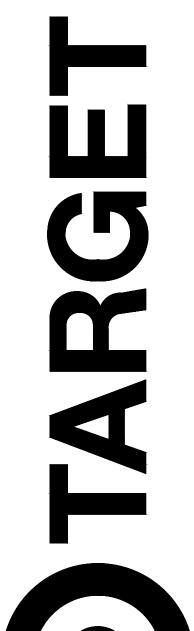


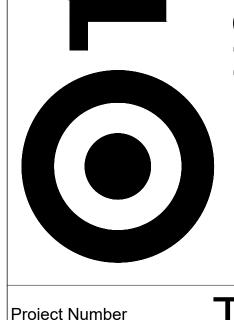




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Checked By	TJL /RAH

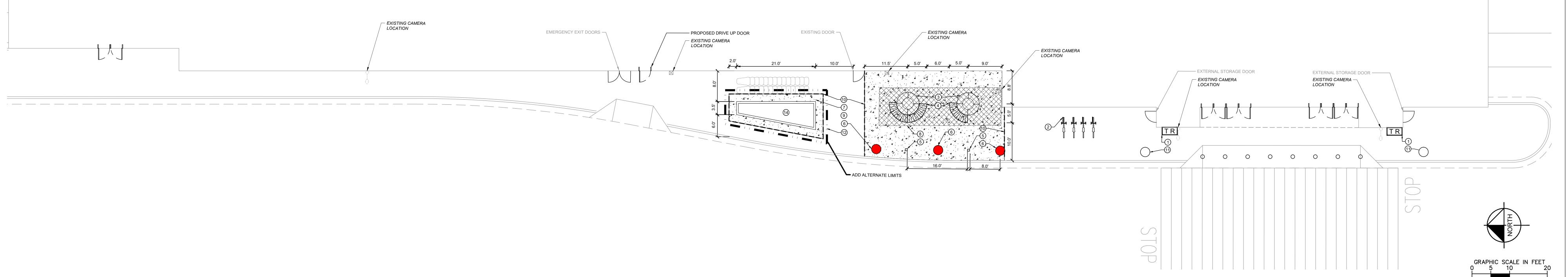
FW EXISTING CONDITIONS -DEMO PLAN





# EXISTING TARGET BUILDING

(T-1460)



SITE-FURNITURE PLAN ENLARGEMENT

SCALE: 1"=10'

MATER	RIALS SCHEDULE			
KEYNOTE	SYMBOL	ELEMENT	QUANTITIES	DETAIL
1	TR	LITTER RECEPTACLE (TYP.) (OWNER PROVIDED)	2	1 500
2		BIKE RACK (TYP.) (OWNER PROVIDED)	4	2 500
3		PLANTER WALL (TYP.) (OWNER PROVIDED)	2	3 500
4		BENCH - PIANO KEY (TYP.) (OWNER PROVIDED)	3	<u>4</u> 500
5	•	BOLLARD - SQUARE (TYP.) (OWNER PROVIDED)	2	5 500
6		SPHERICAL RED CONCRETE BOLLARD (TYP.) (OWNER PROVIDED)	3	6 500
7		6" PLANTER CURB (TYP.)		7 500
8		CONCRETE OVER STRUCTURAL SOIL (TYP.)		8 500
9		CONCRETE SIDEWALK (TYP.)		9 500
10		SAWCUT LINE, MATCH EXISTING (TYP.)		
11)		REPAINT EXISTING SPHERICAL RED CONCRETE BOLLARD, 2 COATS (TYP.)	2	
12)	<b>—</b> 11 <b>—</b> 11 <b>—</b>	ADD ALTERNATE LIMITS ( TYP.)		
13)	OO	EXISTING WALL MOUNTED CAMERA (FOR REFERENCE ONLY)		
(14)		CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AROUND PROPOSED PLANTER MINIMUM GRADE		

0.6%, MAXIMUM GRADE 1.9%

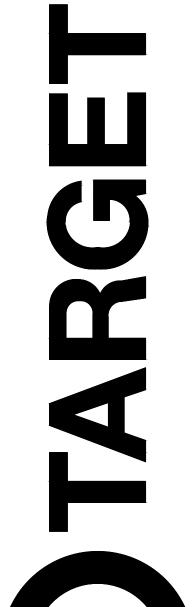
BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY SUITABLE ACCESSIBLE ROUTES (PER A.D.A). GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT A.D.A STATE/NATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2%. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE A.D.A COMPLIANT. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF A.D.A CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A COMPLIANCE ISSUES.

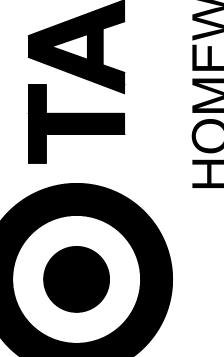




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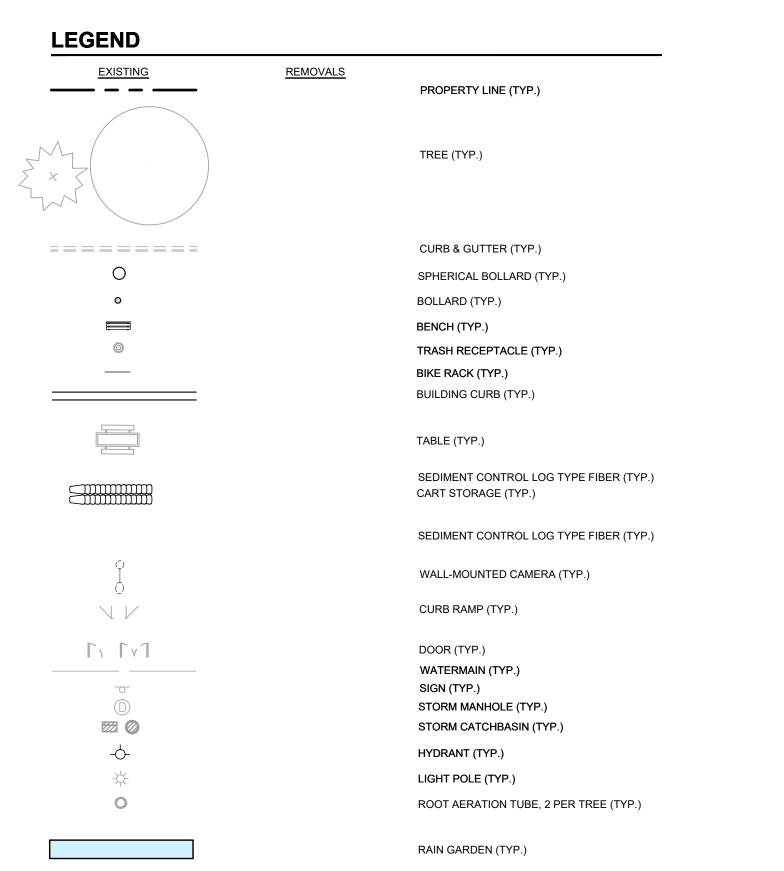


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Checked By	TJL /RAH

FW SITE FURNITURE PLAN







# PLANT SCHEDULE

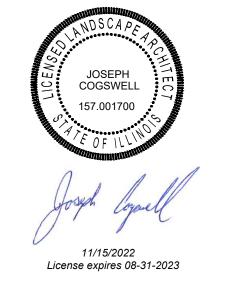
	TREES	QTY	BOTANICAL NAME	COMMON NAME	<u>CAL</u>	CONT
	$\bigcirc$	4	GLEDITSIA TRIACANTHOS INERMIS 'DRAVES'	STREET KEEPER® HONEY LOCUST	2" CAL.	B&B
A VS	•	12	QUERCUS MACROCARPA 'JFS-KW3'	URBAN PINNACLE® OAK	2" CAL.	B&B
	ORNAMENTAL TREES	<u>QTY</u>	BOTANICAL NAME	COMMON NAME	CAL	CONT
	$\odot$	17	AMELANCHIER LAEVIS	ALLEGHENY SERVICEBERRY	2" CAL.	B&B
	DECIDUOUS SHRUBS	<u>QTY</u>	BOTANICAL NAME	COMMON NAME	CONT.	
	$\odot$	170	ARONIA MELANOCARPA 'AUTUMN MAGIC'	AUTUMN MAGIC BLACK CHOKEBERRY	3 GAL	
		91	CORNUS SERICEA `FARROW`	ARCTIC FIRE® RED TWIG DOGWOOD	5 GAL	
	2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	14	DIERVILLA LONICERA	DWARF BUSH HONEYSUCKLE	5 GAL	
	$\odot$	98	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	2 GAL	
	<u>GRASSES</u>	QTY	BOTANICAL NAME	COMMON NAME	CONT.	
	<b>(*)</b>	530	CAREX MUSKINGUMENSIS	PALM SEDGE	1 GAL	
	Manufacture of the state of the	190	CHASMANTHIUM LATIFOLIUM	NORTHERN SEA OATS	3 GAL	
	ON OVER THE STATE OF THE STATE	139	PANICUM VIRGATUM 'NORTHWIND'	NORTHWIND SWITCH GRASS	3 GAL	
	$\bigcirc$	131	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	3 GAL	
	$\otimes$	335	SPOROBOLUS HETEROLEPIS 'TARA'	TARA PRAIRIE DROPSEED	3 GAL	
	PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	CONT.	
	£;;;	187	AMSONIA X 'BLUE ICE'	BLUE ICE BLUESTAR	1 GAL	
	$\odot$	102	ASCLEPIAS INCARNATA	SWAMP MILKWEED	1 GAL	
	$\bigcirc$	264	ECHINACEA PURPUREA 'ALBA'	WHITE CONEFLOWER	1 GAL	
	$\odot$	146	ECHINACEA X 'POW WOW WILDBERRY'	POWWOW WILD BERRY CONEFLOWER	1 GAL	
	$\odot$	414	HELENIUM AUTUMNALE	SNEEZEWEED	1 GAL	
		190	LIATRIS PYCNOSTACHYA	PRAIRIE BLAZING STAR	1 GAL	
	**	190	LOBELIA CARDINALIS	CARDINAL FLOWER	1 GAL	
	Salvante.	157	MONARDA DIDYMA 'MCMUM'	GRAND MUM™ BEE BALM	1 GAL	
		124	RATIBIDA COLUMNIFERA	YELLOW PRAIRIE CONEFLOWER	1 GAL	
	GROUND COVERS	<u>QTY</u>	BOTANICAL NAME	COMMON NAME	CONT	
	Vale de	708	ASTER NOVAE-ANGLIAE	NEW ENGLAND ASTER	1 GAL	18" o.c.
	NOTE:	XSS TOTA	AL SOIL AREA TO BE AMENDED : 26,229 SF			

XSS TOTAL SOIL AREA TO BE AMENDED: 26,229 SF AMENDED SOIL PROFILE FROM TOP TO BOTTOM: 3" DEPTH SHREDDED HARDWOOD MULCH • 24" DEPTH AMENDED SOIL PER SPECIFICATIONS FILTER FABRIC WRAPPING FREE DRAINING AGGREGATE 4" DEPTH FREE DRAINING AGGREGATE BASE • 3" WIDE PERFORATED PIPE WITH DRAIN AND SOCK FOR SOIL AERATION THROUGH DEPTH OF AMENDED SOIL PROFILE. PIPE LOCATIONS TO BE DETERMINED BY LANDSCAPE ARCHITECT IN CONSTRUCTION DOCUMENT SET.



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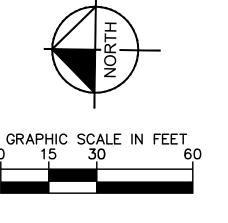
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T-1460

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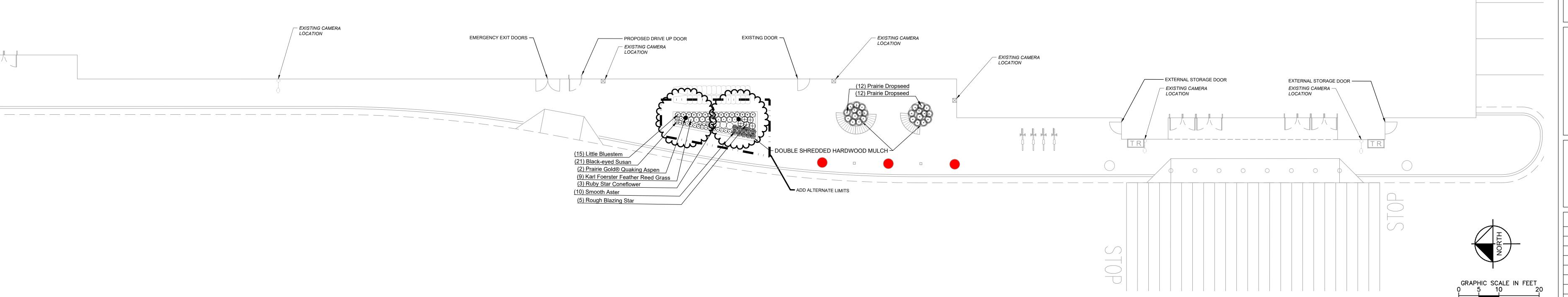
XSS LANDSCAPE PLAN





# EXISTING TARGET BUILDING

(T-1460)



LANDSCAPE PLAN ENLARGEMENT

SCALE: 1"=10'

PLANT SCHEDULE						
ORNAMENTAL TREE	CODE	<u>QTY</u>	BOTANICAL NAME	COMMON NAME	<u>CONT</u>	CAL
	PGP	2	POPULUS TREMULOIDES 'NE ARB'	PRAIRIE GOLD® QUAKING ASPEN	B & B	2" CAL.
PERENNIALS AND GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	SMA	10	ASTER LAEVIS	SMOOTH ASTER	#1 CONT.	1.5` O.C.
33 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	KFG	9	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	#1 CONT	30" O.C.
	RBC	3	ECHINACEA PURPUREA 'RUBY STAR'	RUBY STAR CONEFLOWER	#1 CONT	20" O.C.
	LAS	5	LIATRIS ASPERA	ROUGH BLAZING STAR	#1 CONT.	1.5` O.C.
	RHS	21	RUDBECKIA HIRTA	BLACK-EYED SUSAN	#1 CONT.	1` OC
••	LBS	15	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	#1 CONT.	1.5` O.C.

PRAIRIE DROPSEED

#1 CONT 18" O.C.

PDS 24 SPOROBOLUS HETEROLEPIS

LANDSCAPE KEYNOTES

A DOUBLE SHREDDED HARDWOOD MULCH (TYP.)





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Спескей Бу	IJL /RAH

FW LANDSCAPE PLAN

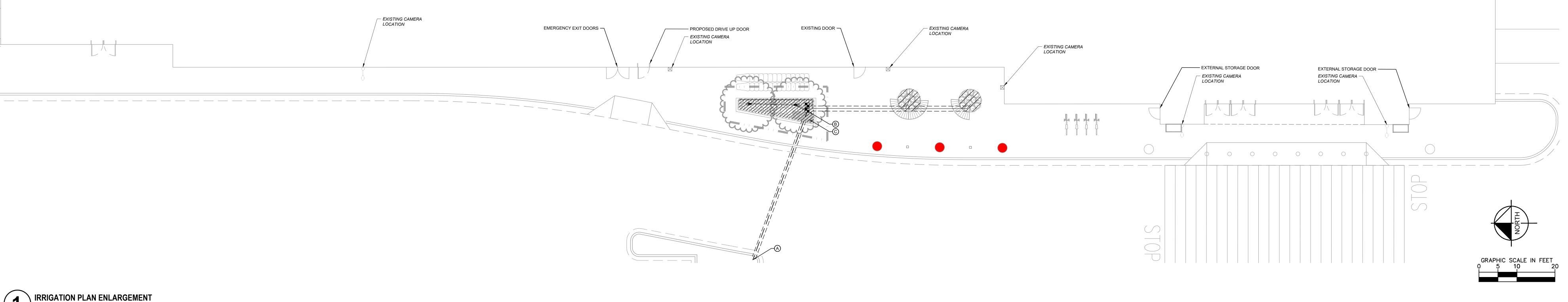
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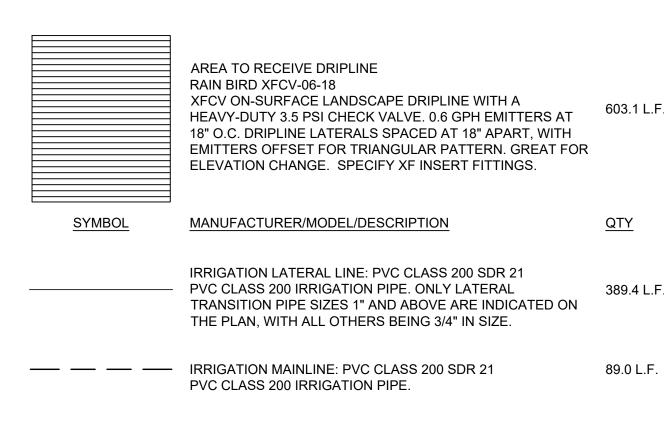


# EXISTING TARGET BUILDING

(T-1460)



IRRIGATION SCHEDULE					
SYMBOL	SYMBOL MANUFACTURER/MODEL/DESCRIPTION				
<b>▼ ▼</b> 1401 1402	RAIN BIRD RWS-M-B-C W/ RWS-SOCK 1400 SERIES MINI ROOT WATERING SYSTEM WITH 4" DIAMETER X 18" LONG WITH LOCKING GRATE, SEMI-RIGID MESH TUBE AND RAIN BIRD 1401 0.25 GPM OR 1402 0.5 GPM BUBBLER AS INDICATED. WITH CHECK VALVE, AND SAND SOCK FOR SANDY SOIL.	5	30		
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY			
	RAIN BIRD XCZ-150-PRB-COM HIGH FLOW CONTROL ZONE KIT, FOR LARGE COMMERCIAL DRIP ZONES. 1-1/2" PESB VALVE WITH TWO 1" PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTERS. FLOW RANGE: 15-40 GPM.				



PIPE SLEEVE: PVC SCHEDULE 40

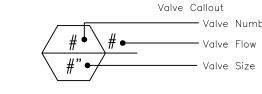
PAVING FOR CONSTRUCTION.

TYPICAL PIPE SLEEVE FOR IRRIGATION PIPE. PIPE SLEEVE

RELATED COUPLINGS TO EASILY SLIDE THROUGH SLEEVING

MATERIAL. EXTEND SLEEVES 18 INCHES BEYOND EDGES OF

\_\_\_\_\_ SIZE SHALL ALLOW FOR IRRIGATION PIPING AND THEIR 179.7 L.F.



# **KEYNOTE LEGEND**

- POINT OF CONNECTION, VERIFY LOCATION WITH OWNER

  IRRIGATION CONTROLLER, TO BE INSTALLED IN MECHANICAL ROOM, VERIFY FINAL LOCATION WITH OWNER PRIOR TO
- B ROOM, VERIFY FINAL LOCATION WITH OWNER PRIOR TO INSTILLATION, PROVIDE ELECTRICAL SUPPLY PER MANUFACTURERS SPECIFICATION.

  SOLAR SYNC AND FREEZE CLICK LOCATION, AVOID OVERHEAD OBSTRUCTIONS AND OVERSPRAY.
- MAINLINE & VALVES SHOWN FOR CLARITY. INSTALL MAINLINE AND VALVE WITHIN THE PROPERTY LINE, 6" FROM B.O.C WHEN POSSIBLE, AND IN GREEN SPACE. COORDINATE WITH OTHER DISCIPLINES TO AVOID CONFLICTS
- E SLEEVING SHOWN FOR CLARITY. INSTALL LATERALS IN ONE SLEEVE AND SIZE SLEEVE ACCORDINGLY (TYP.)

  CONTRACTOR TO ADJUST ALL OVERHEAD SPRAY HEADS TO
- ENSURE MINIMAL OVER-SPRAY OCCURS ON ANY HARDSCAPE SURFACE / BUILDING / SIGNAGE (TYP.)

  ALL DRIP ZONES TO HAVE MINIMUM 12" SETBACK (CLEAR ZONE)
- BETWEEN DRIPLINE AND SOD EDGE OR PAVEMENT EDGE. (TYP.)

  FIELD VERIFY LOCATION OF EXISTING IRRIGATION SYSTEM-TIE
  INTO EXISTING MAIN OR LATERAL, CONFIRM NEED FOR NEW ZONE
- A WORKING, COMPLETE EXISTING IRRIGATION SYSTEM IS
  ANTICIPATED TO BE ON SITE, TIE INTO EXISTING IRRIGATION

IF IRRIGATION SYSTEM IS NOT IN WORKING CONDITION ACCESS THE EXISTING SYSTEM AND PROVIDE A SUMMARY OF CORRECTIONS NEEDED TO BRING THE SYSTEM INTO WORKING ORDER. CONTACT FRONT WALK CONTACT, TARGET CPM, AND

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SYSTEM AT EXISTING PARKING LOT ISLANDS, FIELD VERIFY.

CONNECT TO EXISTING HOSE BIB IN FRONT, CONTROLLER INSIDE.

IF EXISTING IRRIGATION SYSTEM DOES NOT EXIST ON SITE PLEASE CONTACT FRONT WALK CONTACT, TARGET CPM, AND EXTERIOR

# **IRRIGATION NOTES**

- 1. IRRIGATION SYSTEM IS DIAGRAMMATIC, CONTRACTOR TO VERIFY AND DESIGN PER ACTUAL PRESSURE, PER LOCAL CODES, AND PER SITE REQUIREMENTS. CONTRACTOR TO SEND VERIFIED PRESSURE READING TO LANDSCAPE ARCHITECT BEFORE STARTING CONSTRUCTION. FIELD VERIFY LOCATION OF COMPONENTS WITH ACTUAL CONDITIONS PRIOR TO INSTALLATION, ADJUST AS NEEDED FOR COMPLETE COVERAGE. SYSTEM TO INCLUDE ALL PLUMBING AND ELECTRICAL, INCLUDING CONDUIT, SLEEVING, AND WEATHER-PROOF ENCLOSURES. SYSTEM SHALL BE COMPLETE. CONTRACTOR TO PROVIDE SHOP DRAWINGS, DESIGN PRESSURE DESIGN CALCULATIONS, AND RELATED PRODUCT SHEETS FOR OWNER OR LANDSCAPE ARCHITECT APPROVAL. CONTRACTOR TO PROVIDE "AS-BUILT" DRAWINGS OF IRRIGATION SYSTEM AT THE COMPLETION OF THE PROJECT. SYSTEM SHALL HAVE A ONE-YEAR WARRANTY ON PARTS AND LABOR. THE IRRIGATION SYSTEM SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATION. SEE SITE IRRIGATION SPECIFICATION SECTION FOR ADDITIONAL REQUIREMENTS, IF APPLICABLE. ZONE PARAMETERS: TURF AREAS SHALL HAVE BUBBLERS.
- 2. ALL PIPE SHALL BE SDR 26 CLASS 200 (DO NOT EXCEED 35 GPM FOR 1.5" AND 58 GPM FOR 2"). (DO NOT EXCEED 13 GPM FOR 1" AND 22 GPM FOR 1.25"). PIPE SIZE TO BE IDENTIFIED BY CONTRACTOR PER ZONE REQUIREMENTS. DEPTH OF PIPE TO BE 18" FOR MAINLINE AND 12" FOR LATERAL LINES, FIELD VERIFY. LOCATE IRRIGATION PIPE AWAY FROM PLANT MATERIAL.
- 3. ALL WIRING, BACKFLOW PREVENTOR, AND PLUMBING AS PER LOCAL CODE. WATER CONNECTION BY MECHANICAL AND UTILITY CONTRACTOR. VERIFY AND ADD BOOSTER PUMP AS REQUIRED. VERIFY POWER CONNECTION WITH ELECTRICAL.
- 4. ALL VALVES, FLOW SENSORS, AND QUICK COUPLERS SHALL BE LOCATED IN VALVE BOXES(SIZED FOR NORMAL MAINTENANCE, FLUSH WITH FINAL GRADE. PROVIDE (2) QUICK COUPLER KEYS AND HOSE SWIVELS. PROVIDE DECODERS FOR 2-WIRE SYSTEM AT EACH VALVE. FOR DRIP ZONES, PROVIDE DRIP KIT OF VALVE, PRESSURE REDUCER, AND FILTER WITHIN ONE VALVE BOX. DRIP ZONE AIR RELIEF VALVE AND FLUSH VALVE TO BE IN SEPARATE VALVE BOXES.
- 5. FOLLOW CONTROLLER SPECIFICATION IN SCHEDULE AND DETAILS. FOFLOW ALL MANUFACTURER SPECIFICATIONS FOR GROUNDING CONTROLLER AND TWO-WIRE PATH. MOUNT AND CONNECT CONTROLLER AND OTHER CONTROLLER ACCESSORIES, SUCH AS HAND HELD REMOTE, WEATHER/RAIN/FREEZE SENSOR, FLOW SENSOR, AND OTHER RELATED ITEMS. THIS ALSO INCLUDES PAINTED CONDUIT AND MOUNTING BOARDS AND HARDWARE FOR ALL EXPOSED AREA,
- AS DIRECTED BY OWNER.

  6. FIRST YEAR WINTERIZATION AND SPRING START UP OF SYSTEM SHALL BE PERFORMED BY IRRIGATION CONTRACTOR, UNLESS INDICATED OTHERWISE.
- 7. MINIMUM 4" PVC SCHEDULE 40 SLEEVING SHALL BE REQUIRED UNDER ALL WALKS AND PAVEMENTS FOR IRRIGATION PIPE AND WIRES. PROVIDE 12" LENGTH OF #3 REBAR AT EACH TEMPORARILY SEALED END, STAND PIPE, OR OTHER APPROVED METHODS FOR FUTURE LOCATING. EXTEND SLEEVING AT LEAST 1 FOOT BEYOND EDGE OF PAVEMENT. PROVIDE PVC STAND PIPE FOR LOCATING ENDS OF SLEEVING. PROVIDE MINIMUM TWO SIZES LARGER THAN PIPE SIZE. PROVIDE ADDITIONAL SLEEVING FOR WIRING. SLEEVE DEPTH IS PRIMARILY 18 INCHES. COORDINATE AND PLACE SLEEVING PRIOR TO PAVEMENT INSTALLATION. DIRECTIONAL BORE

UNDER PAVEMENT IN EXISTING CONDITIONS TO REMAIN.

8. BIDDING CONTRACTORS SHOULD BECOME THOROUGHLY FAMILIAR WITH ALL FACETS OF THE PROPOSED IRRIGATION SYSTEM. THE SPECIFIED CONTROLLER HAS MANY ADVANCED FEATURES THAT AID WATER CONSERVATION. THESE FEATURES SHALL BE USED BY CONTRACTOR, INCLUDING WEATHER-BASED PROGRAMING AND CELLULAR COMMUNICATION TO THE CONTROLLER, FAILURE

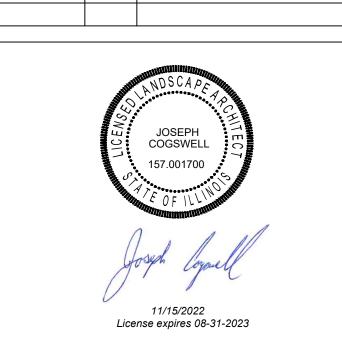
- TO CLARIFY MISUNDERSTANDINGS, OR INTENT OF THESE DRAWINGS AND SPECIFICATIONS BEFORE SUBMITTAL OF BID SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 9. THE IRRIGATION CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES AND SHALL TAKE PROPER PRECAUTIONS NOT TO DAMAGE OR DISTURB UTILITIES OR EXISTING CONDITIONS. CONTRACTOR SHALL REPAIR/RESTORE ANY DAMAGE INVOLVING IRRIGATION INSTALLATION.
- 10. INSTALL WEATHER/RAIN/FREEZE SENSOR(S) ON EXTERIOR WEATHER EXPOSED VERTICAL SURFACE(S). COORDINATE WITH OWNER'S AUTHORIZED REPRESENTATIVE AS TO FINAL
- 11. CONTROL WIRE WILL BE SOLID COPPER WIRE MANUFACTURE BY PAIGE OR REGENCY. PAIGE 7072 REV D OR APPROVED EQUAL U.L. APPROVED FOR DIRECT BURIAL IN GROUND, MINIMUM GAUGE: MINIMUM #14 U.F. FOR EITHER MULTI-STRAND OR TWO-WIRE. COMMON GROUND WIRE, IF APPLICABLE, SHALL BE MINIMUM #12 GAUGE WHITE. FOR MULTI-STRAND SYSTEMS, PROVIDE TWO EXTRA CIRCUIT WIRES AND ONE EXTRA COMMON GROUND WIRE FOR ENTIRE MAINLINE LENGTH, MARK AS APPROPRIATE. 24 VAC WIRE SPLICING MATERIAL WILL BE DIRECT BURIAL SPLICE KIT AS MANUFACTURED BY 3M.
- 12. SOME AREAS MAY REQUIRE RISER EXTENSIONS FOR SPRINKLERS OR A FIXED RISER WITH A SHRUB HEAD OR SHRUB ADAPTER TO OBTAIN PROPER COVERAGE. ROTOR NOZZLES TO PROVIDE PROPER COVERAGE AND MATCH PRECIPITATION, AS REQUIRED. FIELD ADJUST AS NEEDED. SPRAY HEADS IN TURF AREAS TO BE 6" POP-UPS AND IN LANDSCAPE BEDS TO BE 12" POP-UPS. INSTALL ROTOR AND SPRAY HEADS TO LATERAL LINE WITH FLEX TUBING OR SWING JOINTS. BUBBLERS TO BE ON 6" POP-UP.
- 13. VERIFY AND COORDINATE WITH OWNER REPRESENTATIVE FINAL LOCATION OF WATER SOURCE
- AND ELECTRICAL POWER CONNECTION.

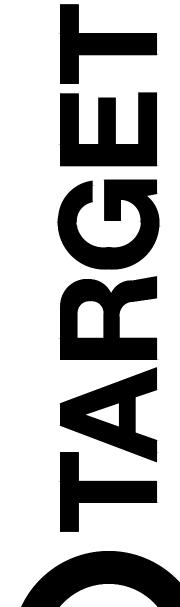
  14. COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH OTHER IMPROVEMENTS.
- 15. PROVIDE 1" VALVES FOR SPRAY AND ROTOR ZONES FOR 30 GPM OR LESS, AND 1.5" VALVE FOR ZONES GREATER THAN 30 GPM. DRIP ZONES 1" OR 1.5" VALVES PER DEMAND OF ZONE. 1" DRIP MAINFOLD FOR FLOWS OF .2 TO 15GPM. 1.5" DRIP MANIFOLD FOR FLOWS OF 15 TO 40GPM.
- 16. CONTRACTOR TO SCHEDULE AND PROGRAM CONTROLLER AND VALVES FOR APPROPRIATE LANDSCAPE WATER REQUIREMENTS. VERIFY WITH OWNER AS TO TIME AND SPECIFIC REQUIREMENTS. VERIFY WITH OWNER AS TO TIME AND SPECIFIC REQUIREMENTS. PROVIDE OWNER PAPER COPY/EMAIL OF PROGRAMING SCHEDULE FOR ALL ZONES- PROVIDE ESTABLISHMENT AND POST-ESTABLISHMENT SCHEDULES.
- 17. DRIP IRRIGATION TO FOLLOW MANUFACTURERS RECOMMENDATION FOR TYPE, SIZE, AND LOCATION PER LANDSCAPE CONDITION. EACH DRIP ZONE SHALL HAVE ZONE VALVE, PRESSURE REDUCER, AND FILTER, AIR RELIEF VALVE, FLUSH VALVE, SUPPLY LATERAL LINES, DRIP TUBING WITH EMBEDDED EMITTERS, AND OTHER RELATED ITEMS. DRIP TUBING SHALL BE ANCHORED AND UNDER LANDSCAPE MULCH, HIDDEN FROM VIEW, WITH EMITTERS LOCATED AT PLANT LOCATIONS. DRIP TUBING SHALL ALSO BE LOOPED AND INTERCONNECTED, WITH NO DEAD-ENDS. ANY ADDITIONAL EMITTERS, AS NOTED ON PLAN.

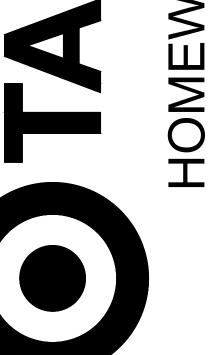




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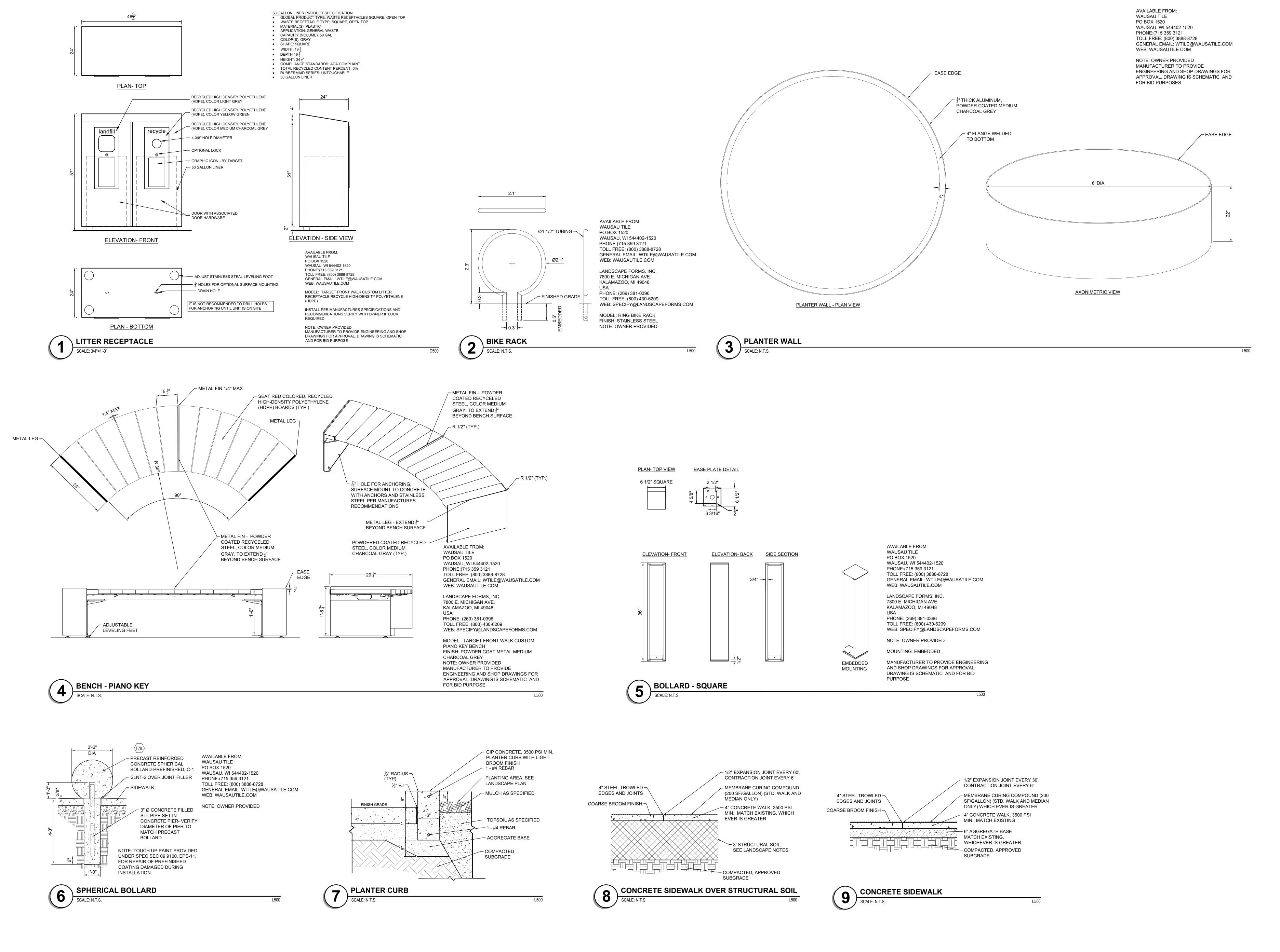
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FW IRRIGATION PLAN

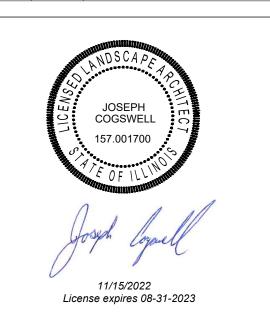
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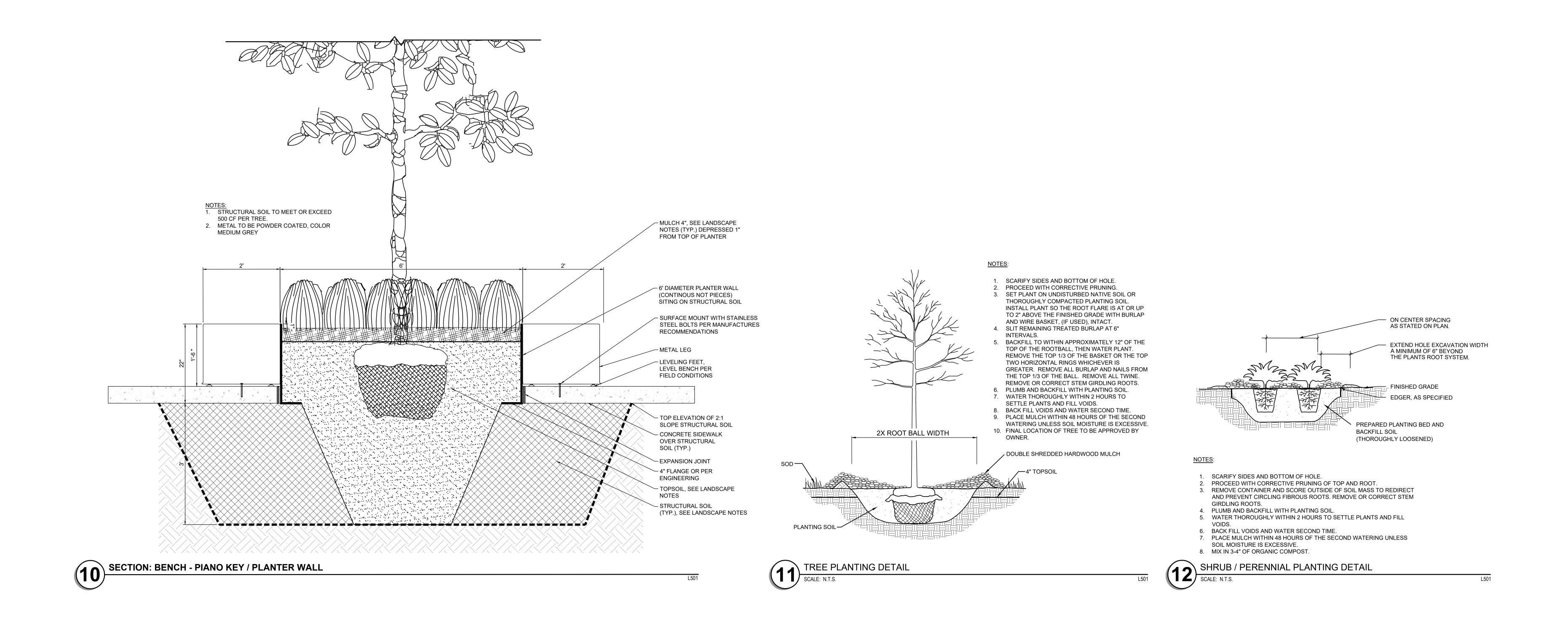
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GENERAL DETAILS

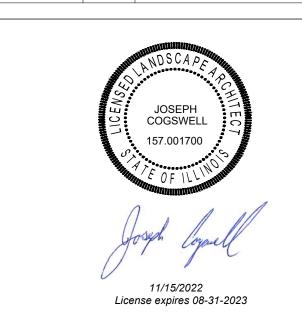




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Number **T-14** 

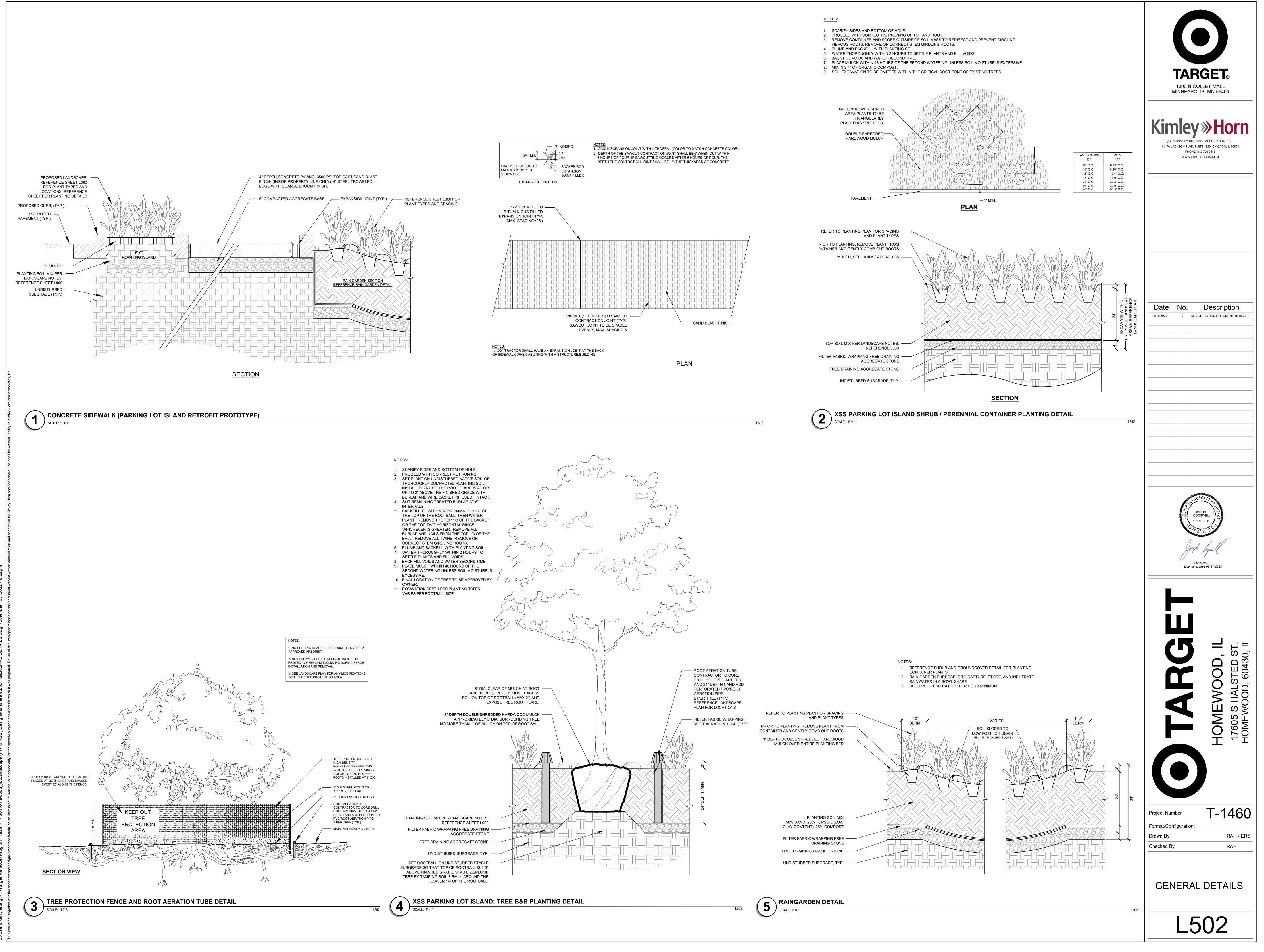
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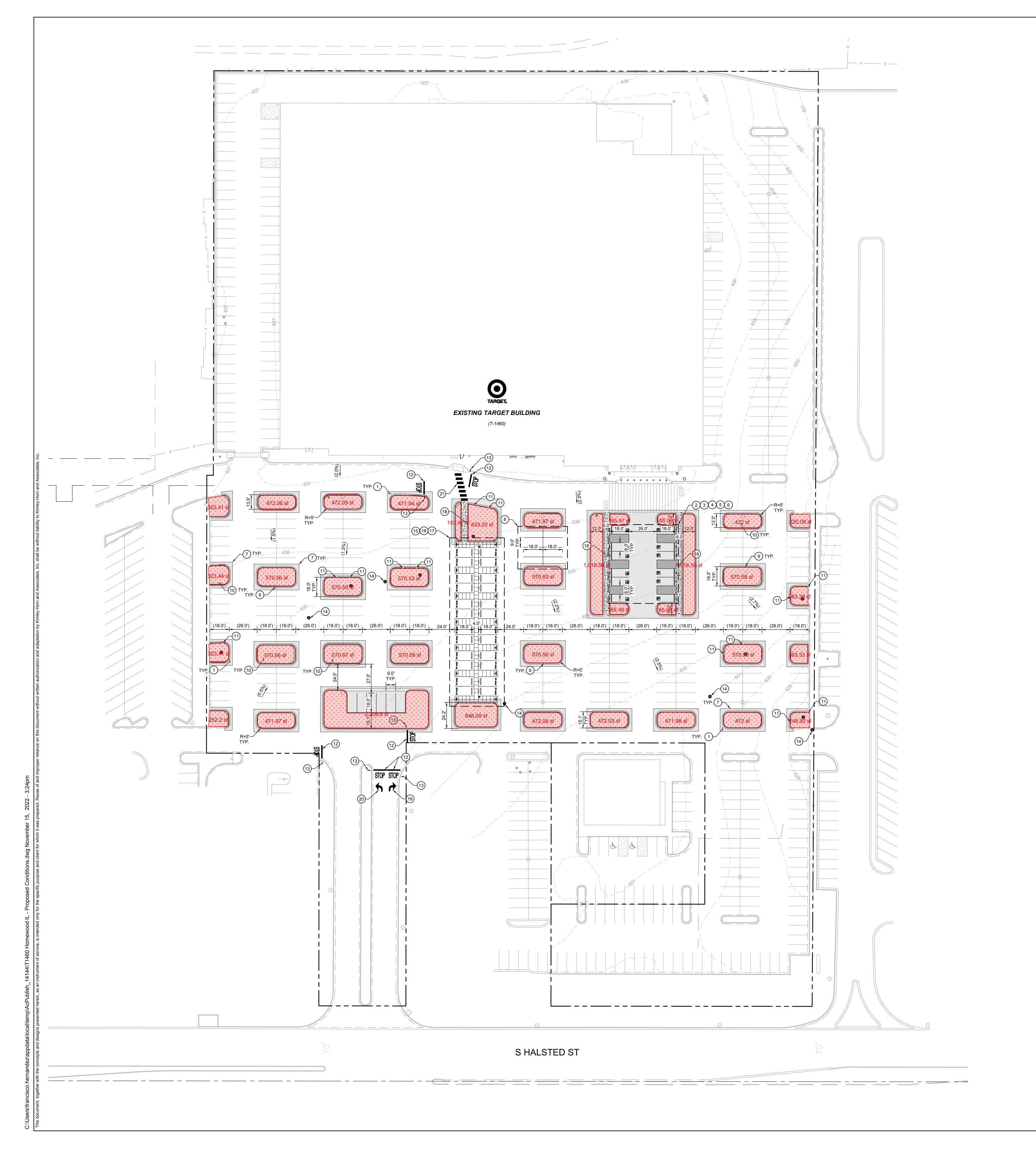
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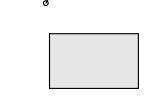




# **LEGEND**

(637.00 FS) 637.50 TC 637.00 FS

EXISTING SPOT ELEVATION



FULL DEPTH ASPHALT PAVEMENT REPLACEMENT. SEE CONSTRUCTION NOTES 1 & 7 HEREON.

PROPOSED SPOT ELEVATION



PROPOSED LANDSCAPING. SEE CONSTRUCTION NOTE 10 HEREON.



PROPOSED CONCRETE SIDEWALK. SEE CONSTRUCTION NOTE 18 HEREON.



EXISTING FLOW (SLOPE AND DIRECTION).

PROPERTY LINE

\_\_\_ \_ LIMITS OF STRIPING

# CONSTRUCTION NOTES

INSTALL C2-PG64-10 ASPHALTIC PAVEMENT OVER CLASS II CRUSHED AGGREGATE BASE COMPACTED TO 95% MAXIMUM DRY DENSITY BASED ON ASTM D1557-07 TEST METHOD OR CLASS 2 AGGREGATE BASE COMPACTED TO 95 OF THE MATERIAL'S ASTM D-1557 MAXIMUM DRY DENSITY. ENSURE THE SUBGRADE IS SCARIFIED AND RECOMPACTED TO 95% MAXIMUM DRY DENSITY BASED ON ASTM D1557-07 TEST METHOD. MATCH EXISTING PAVEMENT SECTION.

2 INSTALL STANDARD ACCESSIBLE PARKING STALL SIGN PER DETAIL 10, SHEET C300. INSTALL SINGLE BASE SIGN POST PER DETAIL 11, SHEET C300.

3 INSTALL VAN ACCESSIBLE PARKING STALL SIGN PER DETAIL 10, SHEET C300. INSTALL SINGLE BASE SIGN POST PER DETAIL 11, SHEET C300. (4) INSTALL ACCESSIBLE PARKING STALL STRIPING PER DETAIL 9, SHEET C300.

5) INSTALL ACCESSIBLE PATH OF TRAVEL STRIPING PER DETAIL 10, SHEET C300. PATH OF TRAVEL SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5% AND CROSS SLOPE OF 2% AT ALL TIMES.

6 INSTALL 6' WHEEL STOP AT 2.0' FROM CURB FACE / EDGE OF PAINT TO FACE OF WHEEL STOP PER DETAIL 4, SHEET C300.

JOIN ASPHALT PAVEMENT TO EXISTING ASPHALT PAVEMENT PER DETAIL 3, SHEET C300.

INSTALL 2 COATS 4" THICK 90° WHITE STRIPING.

INSTALL CONCRETE CURB & GUTTER PER DETAIL 5, SHEET C300. PROPOSED LANDSCAPING. SEE LANDSCAPE PLANS FOR MORE DETAIL.

INSTALL 24" WIDE CURB CUT PER DETAIL 13, SHEET C300.

PROPOSED STOP BAR MARKING PER DETAIL 7, SHEET C300.

PROPOSED STOP BAR SIGN PER DETAIL 6, SHEET C300.

INSTALL INLET FILTER, ADS FLEXSTORM PURE OR APPROVED EQUAL.

PROPOSED DRIVE UP STRIPING PER DETAIL 16, SHEET C300. PROPOSED DOUBLE SIDED STANCHION SIGN AND BASE PER DETAIL 15, SHEET C300.

PROPOSED DRIVE UP BEACON PER DETAIL 14, SHEET C300.

PROPOSED CONCRETE SIDEWALK PER DETAIL 1, SHEET C300. PROPOSED RIGHT TURN LANE-USE PAVEMENT ARROW. (MUTCD 3B-21, COLOR = WHITE)

PROPOSED LEFT TURN LANE-USE PAVEMENT ARROW. (MUTCD 3B-21, COLOR = WHITE)

INSTALL CROSSWALK PER DETAIL 12, SHEET C300. PROPOSED RIBBON GUTTER PER DETAIL 12, SHEET C300.

IMPROVEMENT PLANS BY JOSEPH A. SCHUDT & ASSOCIATES DATED 1/8/01

CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND IMPROVEMENTS AND NOTIFY ENGINEER IF THERE ARE ANY DISCREPANCIES PRIOR TO CONSTRUCTION. ALL ELEVATIONS SHOWN ON THIS PLAN ARE RELATIVE TO THE ASSUMED FINISHED FLOOR OF 637.50. PROPERTY LINE AND

FINISHED FLOOR ELEVATION SHOWN IS BASED ON THE FOLLOWING RECORD DRAWING: TARGET HOMEWOOD, IL SITE

# AREAS OF REPLACED PAVEMENT

FULL DEPTH ASPHALT REPLACEMENT LANDSCAPE REPLACEMENT CONCRETE SIDEWALK REPLACEMENT

# ABBREVIATIONS

EX — EXISTING FS — FINISHED SURFACE TC — TOP OF CURB TYP — TYPICAL

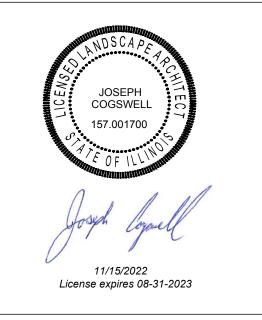
PARKING QUANTITY SUMMARY						
	USE	RATIO	TARGET BUILDING SIZE	TOTAL PARKING STALLS	TOTAL ACCESSIBLE PARKING STALLS	
REQUIRED				504 STALLS	11 STALLS (2 VAN)	
EXISTING	RETAIL	1 STALLS/ 250 SF	125,970 SF	639 STALLS	12 STALLS (2 VAN)	
PROPOSED				515 STALLS	12 STALLS (2 VAN)	





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SCALE: 1" = 30' WHEN PRINTED AT FULL SIZE  $(36" \times 48")$ 

PROPOSED CONDITONS

