**Homer City Hall**
491 E. Pioneer Avenue
Homer, Alaska 99603
www.cityofhomer-ak.gov

# City of Homer
# Agenda

**Planning Commission Regular Meeting**
**Wednesday, April 21, 2021 at 6:30 PM**
**City Hall Cowles Council Chambers**

**Webinar ID: 979 8816 0903 Password: 976062**
**Dial 669 900 6833 or 253 215 8782 or**
**Toll Free 877 853 5247 or 888 788 0099**

**CALL TO ORDER, 6:30 P.M.**

**AGENDA APPROVAL**

**PUBLIC COMMENTS** The public may speak to the Commission regarding matters on the agenda that are not scheduled for public hearing or plat consideration. (3 minute time limit).

**RECONSIDERATION**

**CONSENT AGENDA** All items on the consent agenda are considered routine and non-controversial by the Planning Commission and are approved in one motion. There will be no separate discussion of these items unless requested by a Planning Commissioner or someone from the public, in which case the item will be moved to the regular agenda.

A. Commission Regular Meeting Minutes of April 7, 2021 **p. 3**

**PRESENTATIONS / VISITORS**

A. Proposed 5-Year Capital Improvement Plan for Public Works presented by the City of Homer Director of Public Works, Janette Keiser, PE **p. 128**

**REPORTS**

A. Staff Report 21-23, City Planner's Report **p.10**

B. Public Works Task Force

**PUBLIC HEARINGS**

A. Staff Report 21-24, Conditional Use Permit (CUP) 21-03 to allow a light manufacturing brewery at 870 Smoky Bay Way **p. 12**

**PLAT CONSIDERATION**

A. Staff Report 21-25, Fowler's Bench Preliminary Plat **p. 81**

**PENDING BUSINESS**

A. Staff Report 21-26 Community Design Manual Update **p. 95**

**NEW BUSINESS**

A. Proposed 5-Year Capital Improvement Plan for Public Works presented by the City o Homer Director of Public Works, Janette Keiser, PEf **p. 128**

**INFORMATIONAL MATERIALS**

A. Manager's Report for April 12, 2021 City Council Meeting **p. 136**

B. Supreme Court of the State of Alaska Decision Re: CUP 18-02 302 E. Pioneer Ave. **p. 162**

C. Planning Commission Calendar **p. 179**

**COMMENTS OF THE AUDIENCE** Members of the audience may address the Commission on any subject. (3 min limit)

**COMMENTS OF THE STAFF**

**COMMENTS OF THE COMMISSION**

**ADJOURNMENT**

Next Regular Meeting is May 5, at 6:30 p.m. All meetings scheduled to be held in the City Hall Cowles Council Chambers located at 491 E. Pioneer Avenue, Homer, Alaska. Meetings will adjourn promptly at 9:30 p.m. An extension is allowed by a vote of the Commission

**NEW BUSINESS**

Session 21-10, a Regular Meeting of the Planning Commission was called to order by Vice Chair Kalie Petska-Rubalcava at 6:30 p.m. on April 7, 2021 at Cowles Council Chambers in City Hall located at 491 E. Pioneer Avenue, Homer, Alaska via Zoom Webinar.

PRESENT: COMMISSIONERS BARNWELL, CONLEY, VENUTI, PETSKA-RUBALCAVA, AND HIGHLAND

ABSENT: COMMISSIONERS BENTZ AND SMITH (EXCUSED)

STAFF: CITY PLANNER ABBOUD
DEPUTY CITY CLERK KRAUSE

**APPROVAL OF THE AGENDA**

Vice Chair Petska Rubalcava requested a motion to approve the agenda.

HIGHLAND/CONLEY – SO MOVED.

There was no discussion.

VOTE. NON-OBJECTION. UNANIMOUS CONSENT.

Motion carried.

**PUBLIC COMMENTS ON ITEMS ALREADY ON THE AGENDA**

**RECONSIDERATION**

**CONSENT AGENDA**

A. Planning Commission Regular Meeting Minutes of March 17, 2021
B. Planning Commission Special Meeting Minutes of Jan. 6, Jan. 27 & March 11, 2021
C. Decisions and Findings for Conditional Use Permit (CUP) 21-03 to allow two duplexes and a triplex at 89 Sterling Hwy.
D. Memorandum PL 21-03, PC Support for Road Maintenance Financial Plan

Vice Chair Petska-Rubalcava stated for the record that all items on the consent agenda are considered routine and non-controversial by the Planning Commission and are approved in one motion. There will be no separate discussion of these items unless requested by a Planning Commissioner or someone from the public, in which case the item will be moved to the regular agenda and requested a motion.

Commissioner Highland requested that the minutes for the March 17, 2021 meeting be removed from the consent agenda to make a correction.

Vice Chair Petska-Rubalcava noted that the minutes would be moved to New Business, Item A.

VENUTI/HIGHLAND – MOVED TO ADOPT THE CONSENT AGENDA AS AMENDED.

There was no discussion.

VOTE. NON- OBJECTION. UNANIMOUS CONSENT.

Motion carried.

**PRESENTATIONS / VISITORS**

**REPORTS**

A. Staff Report 21-20, City Planner's Report

Vice Chair Petska-Rubalcava introduced the item and invited City Planner Abboud to provide his report to the Commission.

City Planner Abboud provided a summary of Staff Report 21-20. He highlighted the following from the report:

- Participation in small work groups reviewing Karen Hornaday Park campground use by homeless persons

- Trails

City Planner Abboud facilitated discussion on the trails management, inclusion in development and updates on current plans; ground water research in Bridge Creek and attendance at the April, Council meetings.

Commissioner Venuti offered to submit a written report for the April 12th meeting and Commissioner Highland stated she would attend the April 26th meeting.

**PUBLIC HEARINGS**

**PLAT CONSIDERATION**

A. Staff Report 21-21, Barnett's South Slope Subdivision Quiet Creek Park Replat Lots 35, 36 & 37 Preliminary Plat

Vice Chair Petska-Rubalcava introduced the item by reading of the title.

City Planner Abboud provided a summary of Staff Report 21-21.

Commissioner Venuti declared he may have a conflict. He noted that he has had financial gain from the company and persons involved but not for this project.

Vice Chair Petska- Rubalcava requested a motion and a second after receiving clarification from the Clerk on procedure.

HIGHLAND/BARNWELL – MOVED THAT COMMISSIONER VENUTI HAS A CONFLICT.

Staff provided information as shown in HCC 1.18. 030 Standards and prohibited acts in regards to financial interest and monetary limits.

VOTE. NO. PETSKA-RUBALCAVA, HIGHLAND, CONLEY, BARNWELL

Motion failed.

There was no applicant present.

Vice Chair Petska-Rubalcava opened the Public Comment Period. Confirming there was no audience present she closed the public comment period and opened the floor to questions from the Commission.

City Planner Abboud responded to questions regarding:

- How the proposed application will benefit since the Comprehensive Plan outlines more development for less vehicular traffic but due to the physical characteristics of the lots more green space will be beneficial to address the slope and drainage issues
- Where water and sewer is located for the proposed project
- Noting an error in the documents provided in the packet, the reference should be for Lower Nelson Avenue which is not paved, upper Nelson is paved.

Vice Chair Petska-Rubalcava requested a motion and second.

HIGHLAND/ BARNWELL MOVE TO ADOPT STAFF REPORT 21-21 AND RECOMMEND APPROVAL OF THE PRELIMINARY PLAT TO RECONFIGURE THREE LOTS INTO TWO LOTS WITH COMMENTS 1 & 2:

1. INCLUDE A PLAT NOTE STATING PROPERTY OWNERS SHOULD CONTACT THE ARMY CORPS OF ENGINEERS PRIOR TO ANY ON-SITE DEVELOPMENT OR CONSTRUCTION ACTIVITY TO OBTAIN THE MOST CURRENT WETLAND DESIGNATION IF ANY. PROPERTY OWNERS ARE RESPONSIBLE FOR OBTAINING ALL REQUIRED LOCAL, STTE AND FEDERAL PERMITS.
2. CARRY OVER THE PARENT PLAT DRAINAGE AND WETLANDS INFORMATION.

There was no further discussion.

VOTE. NON-OBJECTION. UNANIMOUS CONSENT.

Motion carried.

**PENDING BUSINESS**

A. Staff Report 21-22, Community Design Manual **p. 72**

Vice Chair Petska-Rubalcava introduced the item by reading of the title and invited the City Planner to provide his report.

City Planner Abboud reviewed Staff Report 21-22 noting the sections that staff was requesting input from the Commission.

Prominent Facades

City Planner Abboud facilitated discussion on the following:

- Prominent facades, does that include color palette
    - color and architectural treatments are personal preference
- Who determines what is attractive in regards to buildings facades.
- Use of various architectural treatments and landscaping to soften the building appearance
- Issues on how far down is reasonable and costs to comply to CDM
- If review and research been conducted to see what other communities have in place
- Having a more long term design manual that survives over time and does not get caught up with fads
- Large Retail Standards and how it affects larger structures in Homer and the expectations for compliance.
- Most larger buildings in Homer started out as something different as Homer as grown

City Planner Abboud redirected the focus on the building architecture, focusing on the prominent façade of a structure requirements focused on commercial buildings.

He then enabled additional discussion on these topics:

- Having a Community Design Manual
- Current trends and signature motifs for Homer
- Prominent Façade elements in Homer such as the Aspen Hotel and the Police Station as examples for the benefits of using the CSM in review of plans
- Homer’s style has been referenced as eclectic

City Planner Abboud reviewed the staff report and recommendations under Siding and Trim to continue discouraging tile and concrete block.

Discussion on different materials that could be used such as board and batten, ribbed metal panels and it was noted that anything in the CDM must be approved by the Commission. Further comments on the following were offered:

- Creating this as a timeless document that does not expire.
- Interest in the exterior of structures is the goal of this manual.
    - Doing away with T1-111 would be a preference for commercial development.
- Enforcement would be done if a deviation occurred from a Commission approved design.
- Verbiage is needed to describe the interest in the building's exterior recommendation to use the descriptive on page 1-9, Section D Item number one.
- Resistance to tile is very broad and generic since you could apply mosaic tile which would be attractive. Ex: Use of tile on the former bank building at the corner of Lake Street and Pioneer Avenue.
- Is stucco ruled out as an appropriate exterior material.

City Planner Abboud reported that they have information to effect some amendments and requested the Commission to submit further comments and then they will bring back the whole document for review.

The Commission was agreeable to use color but did not want bold and garish colors. Discussion ensued on the colors of business standards or branding such as Home Depot orange, Chevron standard colors used in their national branding; Wells Fargo design standards, Alaska USA branding; and that the Library design was a successful building that was subject to the design manual.

**NEW BUSINESS**

A. Planning Commission Regular Meeting Minutes of March 17, 2021 **p.3**

Vice Chair Petska-Rubalcava introduced the item by reading of the title and noted this item was removed from the Consent agenda to make a correction.

Deputy City Clerk Krause reported that in the second paragraph under Comments of the Commission starting with Commissioner Highland, end of the sentence should reflect deliberations, not appeal hearing. This was brought to her attention by Mr. Griswold who questioned the statement, and when she reviewed the recording Commissioner Highland had stated "deliberations" not "appeal hearing".

Vice Chair Petska-Rubalcava requested a motion.

VENUTI/CONLEY - MOVED TO APPROVE THE MINUTES AS AMENDED

A brief discussion ensued on the page in the packet versus the minutes.

VOTE. NON-OBJECTION. UNANIMOUS CONSENT.

Motion carried.

**INFORMATIONAL MATERIALS**

A. City Manager's Report for March 22, 2021 City Council Meeting
B. Kenai Peninsula Borough Notice of Decisions
    a. Puffin Acres SVH 2021 Replat Preliminary Plat
    b. Vineyard Estates 2021 Preliminary Plat
    c. Canyon Trails Amended Forquer 2021 Replat Preliminary Plat
    d. DeGarmo Subdivision Three Preliminary Plat Time Extension
    e. ROW Accquisition Sterling Hwy. Anchor Point to Baycrest Hill Preliminary Plat Time Extension
    f. Oscar Munson No. 25 Preliminary Plat Time Extension

**COMMENTS OF THE AUDIENCE**

**COMMENTS OF THE CITY STAFF**

City Planner Abboud expressed that Commissioner Petska Rubalcava was required to find her replacement before she could leave the Commission, then voiced that working with her has been enjoyable.

Deputy City Clerk Krause expressed that it has been her pleasure working with Commissioner Petska-Rubalcava, that she will be missed and offered her congratulations on her achievements and upcoming new arrival.

**COMMENTS OF THE COMMISSION**

Commissioner Venuti commented that it was an interesting meeting and thanked Commissioner Petska-Rubalcava for her service.

Commissioner Barnwell stated that they will miss Commissioner Petska-Rubalcava and that she inspired him to attend the training offered which was great, and expressed his appreciation to Deputy City Clerk Krause for all the work done on the minutes from the appeal hearing and City Clerk Jacobsen for all she has done, it is a lot of work and very well done.

Commissioner Highland commented that it was an unpleasant surprise to hear that Commissioner Petska-Rubalcava was leaving but she understood and will definitely miss her on

the Commission and laughingly repeated the requirement that she could not leave the Commission until she found her replacement.

Commissioner Conley congratulated Commissioner Petska-Rubalcava and wished the best for her family.

Commissioner Petska-Rubalcava thanked everyone and explained that she did not realize she would care so much about her involvement on the Commission, she expressed her appreciation for Commissioner Venuti encouraging her to become a Commissioner and expressed hope that she would one day come back to serve on the Commission when life was not so busy. She then informed the Commission that she was expecting a baby in June and expanding the business and she will be taking her PE test in two weeks.

**ADJOURN**

There being no further business before the Commission the meeting was adjourned at 8:01 p.m. Next Regular Meeting is Wednesday, April 21, 2021 at 6:30 p.m. A worksession is scheduled for 5:30 p.m. All meetings scheduled to be held virtually by Zoom Webinar from the City Hall Cowles Council Chambers located at 491 E. Pioneer Avenue, Homer, Alaska. Meetings will adjourn promptly at 9:30 p.m. An extension is allowed by a vote of the Commission

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RENEE KRAUSE, MMC, DEPUTY CITY CLERK

Approved: _____

City of Homer
www.cityofhomer-ak.gov

Planning
491 East Pioneer Avenue
Homer, Alaska 99603
Planning@ci.homer.ak.us
(p) 907-235-3106
(f) 907-235-3118

TO: Homer Planning Commission
FROM: Rick Abboud, AICP, City Planner
DATE: April 21, 2021
SUBJECT: Staff Report 21-23, City Planner's Report

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**4.12.22**
Ordinance 21-16, An Ordinance of the City Council of Homer, Alaska, Amending the 2021 Capital Budget and Authorizing Expenditure of $50,000 from the HART-Road fund and $50,000 from the Water CARMA fund to pay for Ground Water Research in the City Limits and Bridge Creek Reservoir Watershed. City Manager/Public Works Director. Introduction March 22, 2021 Public Hearing and Second Reading April 12, 2021.
Memorandum 21-047 from Public Works Director as backup
There was no public testimony
ADOPTED as amended with discussion.

Resolution 21-026, A Resolution of the City Council of Homer, Alaska Approving a Contract with Corvus Design of Anchorage, Alaska, for an Amount not to Exceed $49,000 for the Wayfinding and Streetscape Project, and Authorizing the City Manager to Negotiate and Execute the Appropriate Documents. City Clerk. Recommend adoption.
Memorandum 21-063 from City Clerk as backup

Resolution 21-027, A Resolution of the City Council of Homer, Alaska Authorizing the City to Apply for a State of Alaska Recreational Trails Program Grant in an Amount up to $150,000 for Funds to Construct an ADA Accessible Entrance Trail in Karen Hornaday Park and Expressing it's Commitment to Provide a 10% Local Match to Grant Funds. City Manager. Recommend adoption.
Memorandum 21-064 from Special Project and Communications Coordinator as backup

Resolution 21-028, A Resolution of the City Council of Homer, Alaska Accepting the Road Financial Plan as a Blueprint for Planning Homer's Transportation Needs and Declaring it should be Updated as part of the City's Budget Cycle. City Manager/Public Works Director. Recommend adoption.
Memorandum 21-065 from Public Works Director as backup
ADOPTED without discussion.

Ordinance 21-23, An Ordinance of the City Council of Homer, Alaska Amending Homer

City Code 19.20.020 General Rules, Adding Launching, Landing or Retrieving of Motorized Watercraft in Prohibited from City Owned Beaches Except for Official Business Use. City Manager/Harbormaster. Recommended dates Introduction April 12, 2021 Public Hearing and Second Reading
Memorandum 21-062 from Harbormaster as backup
There was no public testimony
INTRODUCED with discussion.

Resolution 21-029, A Resolution of the City Council of Homer, Alaska Supporting the Efforts of the Fairbanks Area Surface Transportation Planning Organization and Revision to the Alaska Administrative Code to Improve Safety for Pedestrians and Bicyclists using the Transportation Network. Aderhold.
There was no public testimony
ADOPTED with discussion.

**Commissioner report to City Council**
4/26 Highland
5/10 _____
5/24 _____

**<u>Economic Development Commission</u>**

- Julie attended the monthly Chamber Board meeting.
- The Wayfinding contractor was approved by the City Council – Corvus Design will be working with the EDC.
- The EDC reviewed their Strategic Plan for the next few months. They are making great progress on their goals. They will create a new 1 year plan in the fall, when the new Comprehensive Economic Development Strategy is complete, and the wayfinding project is concluded.
- There is a vacancy on the EDC. If you know someone interested in wayfinding - that will be the primary focus of the group over the summer.

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**Staff Report 21-24**

TO: Homer Planning Commission
FROM: Rick Abboud, AICP, City Planner
DATE: April 21, 2021
SUBJECT: Conditional Use Permit (CUP) 21-03

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**Synopsis** The applicant proposes to develop a 2400 square foot brewery that includes tasting areas that seat 12 inside and 12 outside. A Conditional Use Permit is required per Homer City Code (HCC) 21.18.030(h), light or custom manufacturing. While the tasting of the product on-site is arguably a customary accessory activity, HCC does have an allowance for the activity as a permitted activity per HCC 12.18.020(d), Restaurants, clubs and drinking establishments that provide food or drink for consumption on the premises.

| | | |
|---|---|---|
| Applicant: | Don Stead<br>1401 Candlelight Ct.<br>Homer, AK 99603 | |
| Location: | 870 Smoky Bay Way | |
| Legal Description: | T 6S R 13W SEC 20 SEWARD MERIDIAN HM 0840005 LAKESIDE VILLAGE SUB AMENDED LOT 2 BLK 2 | |
| Parcel ID: | 17730222 | |
| Size of Existing Lot: | 1.23 Acres | |
| Zoning Designation: | Central Business District (CBD) | |
| Existing Land Use: | Vacant | |
| Surrounding Land Use: | North: | Apartment building/vacant lots |
| | South: | commercial |
| | East: | commercial/residential |
| | West: | commercial |
| Comprehensive Plan: | Goal 1 Objective A: Promote a pattern of growth characterized by a concentrated mixed-use center, and a surrounding ring of moderate-to-high density residential and mixed use areas with lower densities in outlying areas. | |
| Wetland Status: | The KWF Wetlands Assessment indicates that wetlands may be present. An Army Corp of Engineers wetland assessment is a requirement prior to obtaining a zoning permit for the proposed improvements | |

| | |
|---|---|
| Flood Plain Status: | Not in a designated floodplain. |
| BCWPD: | Not found within the Bridge Creek Watershed Protection District |
| Utilities: | Public utilities service the site. |
| Public Notice: | Notice was sent to 36 property owners of 31 parcels as shown on the KPB tax assessor rolls. |

**ANALYSIS:** The applicant is proposing to construct a 2400 square foot brewery including tasting areas inside and outside the structure. A CUP is required for light or custom manufacturing.

**Parking:** The parking area will be surfaces with 3/4" chip gravel. There are two concrete aprons that extend away from the building 10 feet. One at each of the two roll-up doors. Parking for on premise consumption of food or beverages requires one space per three indoor seats and one space per ten seats of seasonal outdoor seating. This equates to 4 spaces for the indoor seating and 2 spaces for the outdoor component. I believe that this proposal will stretch past what some may categorize as seasonal. I find it reasonable to require 4 spaces for this application of outdoor seating. If we add 3 spaces for the manufacturing element, we end up with 11 required for the project. The applicant displays 14 spaces toward the south of the improvements that includes handicapped parking and the site has room to expand parking when the need may arise.

HCC 21.55(a)

| | |
|---|---|
| Restaurant, club, lounge, tavern or establishment for the sale and on-premises consumption of food or beverages. | One per three indoor seats. If there is no fixed seating, one per 100 square feet. One per 10 seats of seasonal outdoor seating. |
| Manufacturers and processors. | One per 1,000 square feet of gross floor area. |

**Impervious and building coverage:** The application displays an impervious coverage of just over 29,000 square feet. This triggers the requirement of providing on-site storm water plan (SWP) and development activity plan (DAP). The SWP and DAP are required to be submitted with the zoning permit application. The SWP is planned to be developed on the south side of the parking lot. The structure is 2400 square feet and the lot is approximately 53,578 square feet which makes a building coverage of 4.5%, well under the coverage of 30% which would require CUP hearing.

**Lighting:** The applicant has submitted a lighting plan with an example fixture that meets the requirements of code and the design manual. There are four of the lights in the style depicted, DSX1. There will be one at the center of the west wall, one at the center of the south wall, and one at the center of the east wall. There will be one that is post mounted, 16 foot height, adjacent to the parking area on the south west, at 100 feet from the south west corner of the building. This last one is for parking lot illumination.

**Signage plan:** One on the south facing wall above the roll-up door, 18 square feet. One at the east side of the south driveway entrance, approximately 40 square feet.

**Manufacturing:**

As the use of light manufacturing requires a CUP, we must examine activities associated with the proposal and ensure that adequate mitigation measures have been taken. Nuisance standards are applicable in the CBD and the applicant is required to comply.

Noise:

**Applicant response:**

The majority of manufacturing processes will generate noises inside the building and are of a low level. These noises will not be perceptible at the lot boundary. The smallest wall thickness is 8 inches and the thermal insulation will also dampen any noise leaving the building.

One piece of equipment is located outside of the building, the chilled water system. Operation of the chilled water system is engineered to limit noise to 65 dB at 10 feet. The system will be shielded from the elements, adding an extra layer of noise protection.

Taproom operations will not start until after 9 AM and will end before 8 PM. Live music is not allowed. On site sales are limited to 36 oz, per day, per person.

**Analysis:** The applicant is required by code to maintain nuisance standards. If noise is an issue he has stated that he will do what he needs to comply.

Offensive Odors:

**Applicant:**

This facility will not generate any odors during operations. Our spent grains will be taken by a farmer for use as compost the day it is generated. The building and equipment is kept in a clean and sanitary condition.

Lighting

**Applicant:**

There is a minimum of windows to prevent products from being light struck. This will also prevent light shine out of the windows in the evening. Outdoor lighting is down cast to prevent light trespass.

**Analysis:** The applicant has provided a lighting plan and included a sample fixture that complies with code.

Delivery Schedules -

**Applicant:**

Deliveries are scheduled to occur before noon twice weekly. This activity is a load-unload process that should not generate any negative impacts.

Consumption
**Applicant:** All customers will have to come inside the brewery, have their ID checked, then they can be served and walk out to the outdoor area. Their consumption is limited to 36 oz. per day per person, another state law. We will install a camera to monitor the area. If we see someone breaking the law, we confront them, politely, to stop the problem, and either restrict their consumption or ask them to leave. If this doesn't stop the behavior we contact the police. In the last 5 years we have not had to resort to the police.

**Analysis:** While consumption of alcohol is part of the operation, provisions in code allow for drinking establishments to be permitted outright without a CUP. No particular restrictions are called out in code for the activity. The State of Alaska requires this activity to end by 8pm when associated with a brewery and any applicable nuisance standards apply.

**The criteria for granting a Conditional Use Permit is set forth in HCC 21.71.030, Review criteria, and establishes the following conditions:**

a. The applicable code authorizes each proposed use and structure by conditional use permit in that zoning district**;**

> **Analysis:** A brewery produces a finished product that does not require further assembly or processing and thus is classified as light manufacturing. Light manufacturing is allowed with an approved CUP per HCC 21.18.030(h).
>
> **Finding 1:** The applicable code authorizes light manufacturing with an approved CUP.

b. The proposed use(s) and structure(s) are compatible with the purpose of the zoning district in which the lot is located.

> **Applicant:** The purpose of the Central Business District is primarily to provide a centrally located area within the City for general retail shopping, personal and professional services, educational institutions, entertainment establishments, restaurants and other business uses. Grace Ridge Brewing meets the purpose by providing a retail outlet for our products and other merchandise.
>
> **Analysis:** The purpose of the district includes supporting uses approved in code while encouraging pedestrian friendly design. All the uses found on the lot are supported in

code and the proposal includes a pedestrian pathway apart from the drive and parking areas.

**Finding 2:** The proposed uses and structures are compatible with the purpose of the zoning district.

c. The value of the adjoining property will not be negatively affected greater than that anticipated from other permitted or conditionally permitted uses in this district.

**Applicant:** Our proposed project will increase property values in the area by providing a new high value business on the currently vacant lot.

**Analysis:** Many uses in the CBD have greater negative impacts than would be realized from light manufacturing of beer. Gas stations, pipelines, and railroads would have a greater impact on nearby property values. Assisted living, group care, religious, cultural and fraternal assembly would generate a good deal of traffic and would not be limited to the proposed hours of operation.

**Finding 3:** A 2400 square foot brewery is not expected to negatively impact the adjoining properties greater than other permitted or conditional uses.

d. The proposal is compatible with existing uses of surrounding land.

**Applicant:** The lot is surrounded by a multiplex residential, three small residential homes (two of which support commercial activity), one small business, one large office building, and a large self-storage facility. Our proposed use will not have an adverse impact on the existing uses. Current State law requires that we close our retail outlet before 8 PM and limits entertainment activities.

**Analysis:** The proposal is located in the CBD and is adjacent to the Residential Office District (RO) across Ben Walters Avenue. Many of the neighboring properties include commercial activities. There is a two-story apartment building with a similar building area is found just north on Ben Walters Avenue. A fence along the entire border next to the apartment is planned to buffer the activity. A residence is found across Ben Walters in a cul-de-sac and two other residences in the cul-de-sac support commercial activities. These property will be buffered with the existing evergreens and gaps will be filled with additional plantings. On site consumption is not to extend past 8pm.

**Finding 4:** The proposal is compatible with existing uses of surrounding land

e. Public services and facilities are or will be, prior to occupancy, adequate to serve the proposed use and structure.

**Applicant:** The utilities are adequate for the proposed project. Smokey Bay Way and Ben Walters Lane provide adequate road access to the lot.

**Analysis:** The site is well served by public utilities and paved roads provide access to the site.

**Finding 5:** Existing public services and utilities are adequate to serve the proposal.

f. Considering harmony in scale, bulk, coverage and density, generation of traffic, the nature and intensity of the proposed use, and other relevant effects, the proposal will not cause undue harmful effect upon desirable neighborhood character.

**Applicant:** The lot is surrounded by a multiplex residential, three small residential homes, one small business, one large office building, and a large self-storage facility. There will be a minor increase in the traffic due to the new business. The size of the proposed building is moderate in comparison to the surrounding uses. The lot is 1.23 acres in size and screened by trees from the adjoining streets. This proposal will not cause negative effects on the neighborhood.

**Analysis:** Desirable neighborhood character could be described by a portion of the purpose statement for the district. The proposal is supported as listed uses in the district and includes a pedestrian friendly design that separates vehicles and pedestrians. Limits on hours of operation and serving limits also limit impacts on neighboring residences. The light manufacturing activity is not expected to generate more than two commercial truck deliveries per day.

**Finding 6:** The Commission finds the proposal will not cause undue harmful effect upon desirable neighborhood character as described in the purpose statement of the district.

g. The proposal will not be unduly detrimental to the health, safety or welfare of the surrounding area or the city as a whole.

**Applicant:** Grace Ridge Brewing currently operates its business in the city. This proposal will not cause detrimental effects to the surrounding area nor the city as a whole.

**Analysis:** The applicant is relocating an existing business that has produced no documented health, safety, or welfare concerns. The operation is regulated by the State of Alaska in addition to local regulations and those of other agencies. We do not find that this proposal will be unduly detrimental.

**Finding 7:** The proposal will not be unduly detrimental to the health, safety or welfare of the surrounding area and the city as a whole when all applicable standards are met as required by city code.

h. The proposal does or will comply with the applicable regulations and conditions specified in this title for such use.

**Finding 8:** An approved CUP and compliance with a forthcoming zoning permit will allow for compliance with applicable regulations and conditions of HCC Title 21.

i. The proposal is not contrary to the applicable land use goals and objectives of the Comprehensive Plan.

**Applicant:** Our project satisfies the goals of the Comprehensive Plan Chapter 4 as follows:

Goal 1. Utilizing a currently vacant lot (infill) and operating our business in an environmentally friendly manner.

Goal 2. Cleaning up the vacant lot and installing a small common area and providing for pedestrian access.

Goal 3. Constructing a high quality building

Our project satisfies the goals of the Comprehensive Plan Chapter 7 as follows:

Goal 1. The project meets the desires and interests of our residents.

Goal 2. The project creates and retains year round employment.

Goal 3. The project has tremendous capacity for growth.

Goal 5. The project strengthens our tourism industry.

**Analysis:** Analysis found in attachment.

**Finding 9:** The proposal is not contrary to the applicable land use goals and objects of the Comprehensive Plan.

j. The proposal will comply with the applicable provisions of the Community Design Manual (CDM).

**Analysis:** A comprehensive review of the design manual is included as an attachment.

**Finding 10:** Project complies with the applicable provisions of the CDM.

**HCC 21.71.040(b).** b. In approving a conditional use, the Commission may impose such conditions on the use as may be deemed necessary to ensure the proposal does and will continue to satisfy the applicable review criteria. Such conditions may include, but are not limited to, one or more of the following:

**1. Special yards and spaces**: No specific conditions deemed necessary.
**2. Fences and walls:** No specific conditions deemed necessary.
**3. Surfacing of parking areas:** No specific conditions deemed necessary.
**4. Street and road dedications and improvements:** No specific conditions deemed necessary.
**5. Control of points of vehicular ingress and egress:** No specific conditions deemed necessary.
**6. Special provisions on signs:** No specific conditions deemed necessary.
**7. Landscaping:** No specific conditions deemed necessary.
**8. Maintenance of the grounds, building, or structures:** No specific conditions deemed necessary.
**9. Control of noise, vibration, odors or other similar nuisances**: No specific conditions deemed necessary.
**10. Limitation of time for certain activities:** No specific conditions deemed necessary.
**11. A time period within which the proposed use shall be developed:** No specific conditions deemed necessary.
**12. A limit on total duration of use:** No specific conditions deemed necessary.
**13. More stringent dimensional requirements,** such as lot area or dimensions, setbacks, and building height limitations. Dimensional requirements may be made more lenient by conditional use permit only when such relaxation is authorized by other provisions of the zoning code. Dimensional requirements may not be altered by conditional use permit when and to the extent other provisions of the zoning code expressly prohibit such alterations by conditional use permit.
**14. Other conditions necessary** to protect the interests of the community and surrounding area, or to protect the health, safety, or welfare of persons residing or working in the vicinity of the subject lot.

**PUBLIC WORKS COMMENTS:** No comments.

**FIRE DEPARTMENT COMMENTS:** No objections or comments.

**PUBLIC COMMENTS:** One comment received from Ken Castner

**STAFF COMMENTS:** The applicant has worked with public works to determine the driveway layout. Public works rejected having the drive meet the intersection per HCC 21.08.120(c) and approved of the proposed location found on the application. Culvert size for driveways shall be determined by public works.

**STAFF COMMENTS/RECOMMENDATIONS:**
Planning Commission approve CUP 21-03, **Staff Report 21-24**
with findings 1-10

**Attachments**
Application
Site Photos
CDM review
Comprehensive Plan Review
Public Notice
Aerial Photograph
Public comment

# City of Homer

www.cityofhomer-ak.gov

Planning
491 East Pioneer Avenue
Homer, Alaska 99603
Planning@ci.homer.ak.us
(p) 907-235-3106
(f) 907-235-3118

**Applicant**

Name: DONALD STEAD Telephone No.: 399-5222

Address: 1401 CANDLELIGHT CT Email: GRACERIDGEBREWING@gmail.com

**Property Owner** (if different than the applicant):

Name: DONALD P. STEAD REVOCABLE TRUST Telephone No.: _____

Address: _____ Email: _____

**PROPERTY INFORMATION:**

Address: 870 Smoky Bay Way Lot Size: 1.23 acres KPB Tax ID # 17730222

Legal Description of Property: LAKESIDE VILLAGE AMENDED L2 B2

*For staff use:*
Date: 3/1/21 Fee submittal: Amount $500.00
Received by: DR Date application accepted as complete _____
Planning Commission Public Hearing Date: _____

## Conditional Use Permit Application Requirements:

1. A Site Plan
2. Right of Way Access Plan
3. Parking Plan
4. A map showing neighboring lots and a narrative description of the existing uses of all neighboring lots. (Planning can provide a blank map for you to fill in).
5. Completed Application Form
6. Payment of application fee (nonrefundable)
7. Any other information required by code or staff, to review your project

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CITY OF HOMER
PLANNING/ZONING

**Circle Your Zoning District**

| | RR | UR | RO | CBD | TCD | GBD | GC1 | GC2 | MC | MI | EEMU | BCWPD |
|---|---|---|---|---|---|---|---|---|---|---|---|---|
| Level 1 Site Plan | x | x | x | | | x | | | x | | | x |
| Level 1 ROW Access Plan | x | x | | | | | | | x | | | |
| Level 1 Site Development Standards | x | x | | | | | | | | | | |
| Level 1 Lighting | | | x | x | x | x | x | x | x | x | x | |
| Level 2 Site Plan | | | x | x | x | | x | x | | x | x | |
| Level 2 ROW Access Plan | | | x | x | x | | x | x | | x | x | |
| Level 2 Site Development Standards | | | x* | x | x | x | x | x | | | x | |
| Level 3 Site Development Standards | | | | | | | | | x | x | | |
| Level 3 ROW Access Plan | | | | | | x | | | | | | |
| DAP/SWP questionnaire | | | | x | x | x | x | x | | | x | |

**Circle applicable permits. Planning staff will be glad to assist with these questions.**

(Y)/N Are you building or remodeling a commercial structure, or multifamily building with more than 3 apartments? If yes, Fire Marshal Certification is required. Status: IN PROGRESS

(Y)/N Will your development trigger a Development Activity Plan? Application Status: In Progress

(Y)/N Will your development trigger a Storm water Plan? Application Status: In Progress

Y/(N) Does your site contain wetlands? If yes, Army Corps of Engineers Wetlands Permit is required. Application Status: _____

Y/(N) Is your development in a floodplain? If yes, a Flood Development Permit is required.

Y/N Does your project trigger a Community Design Manual review? If yes, complete the design review application form. The Community Design Manual is online at: http://www.ci.homer.ak.us/documentsandforms

Y/(N) Do you need a traffic impact analysis?

Y/(N) Are there any nonconforming uses or structures on the property?

Y/(N) Have they been formally accepted by the Homer Advisory Planning Commission?

Y/N Do you have a state or city driveway permit? Status: In Progress

Y/N Do you have active City water and sewer permits? Status: In Progress

1. Currently, how is the property used? Are there buildings on the property? How many square feet? Uses within the building(s)?

   VACANT LOT - GRAVEL PAD

2. What is the proposed use of the property? How do you intend to develop the property? (Attach additional sheet if needed. Provide as much information as possible). NEAR TERM - 2400 sq ft BREWERY w/ TASTING AREA

   FUTURE - LARGE TASTING ROOM AND KITCHEN

**CONDITIONAL USE INFORMATION:** Please use additional sheets if necessary. HCC21.71.030

a. What code citation authorizes each proposed use and structure by conditional use permit?

HCC 21.18.030 . h

b. Describe how the proposed uses(s) and structures(s) are compatible with the purpose of the zoning district.

SEE ATTACHED SHEET.

c. How will your proposed project affect adjoining property values?

d. How is your proposal compatible with existing uses of the surrounding land?

e. Are/will public services adequate to serve the proposed uses and structures?

f. How will the development affect the harmony in scale, bulk, coverage and density upon the desirable neighborhood character, and will the generation of traffic and the capacity of surrounding streets and roads be negatively affected?

g. Will your proposal be detrimental to the health, safety or welfare of the surrounding area or the city as a whole?

h. How does your project relate to the goals of the Comprehensive Plan?
The Comprehensive Plan are online,

i. The Planning Commission may require you to make some special improvements. Are you planning on doing any of the following, or do you have suggestions on special improvements you would be willing to make? (**circle each answer**)

1. Y/N Special yards and spaces.
2. Y/N Fences, walls and screening.
3. Y/N Surfacing of parking areas.
4. Y/N Street and road dedications and improvements (or bonds).
5. Y/N Control of points of vehicular ingress & egress.
6. Y/N Special provisions on signs.
7. Y/N Landscaping.
8. Y/N Maintenance of the grounds, buildings, or structures.

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PLANNING/ZONING

9. Y/N Control of noise, vibration, odors, lighting, heat, glare, water and solid waste pollution, dangerous materials, material and equipment storage, or other similar nuisances.
10. Y/N Time for certain activities.
11. Y/N A time period within which the proposed use shall be developed.
12. Y/N A limit on total duration of use.
13. Y/N Special dimensional requirements such as lot area, setbacks, building height.
14. Y/N Other conditions deemed necessary to protect the interest of the community.

**PARKING**

1. How many parking spaces are required for your development? 18

   If more than 24 spaces are required see HCC 21.50.030(f)(1)(b)._____

2. How many spaces are shown on your parking plan? 20

3. Are you requesting any reductions? No

Include a site plan, drawn to a scale of not less than 1" = 20' which shows existing and proposed structures, clearing, fill, vegetation and drainage.

I hereby certify that the above statements and other information submitted are true and accurate to the best of my knowledge, and that I, as applicant, have the following legal interest in the property:

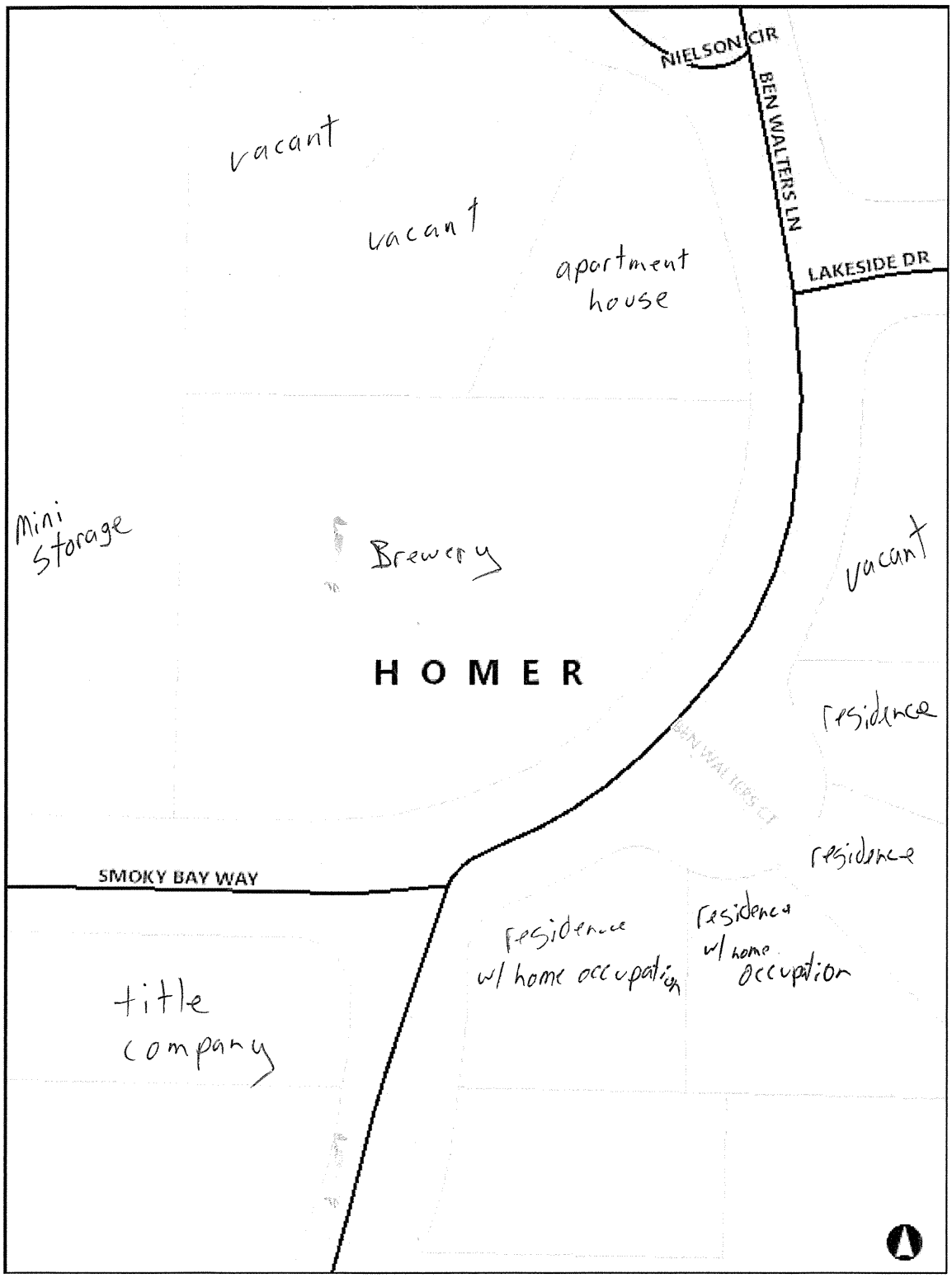
***CIRCLE ONE:*** Owner of record Lessee Contract purchaser

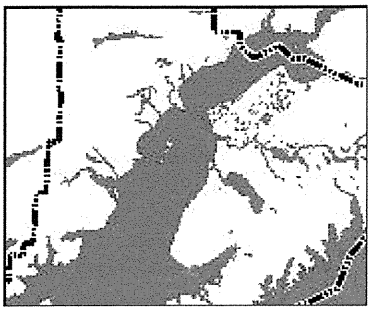
Applicant signature: _____ Date: _____

Property Owner's signature: _____ TRUSTEE Date: _____
DONALD P. STEAD REVOCABLE TRUST

Geographic Information Systems
144 North Binkley Street, Soldotna, Alaska 99669

# Uses of neighboring lots



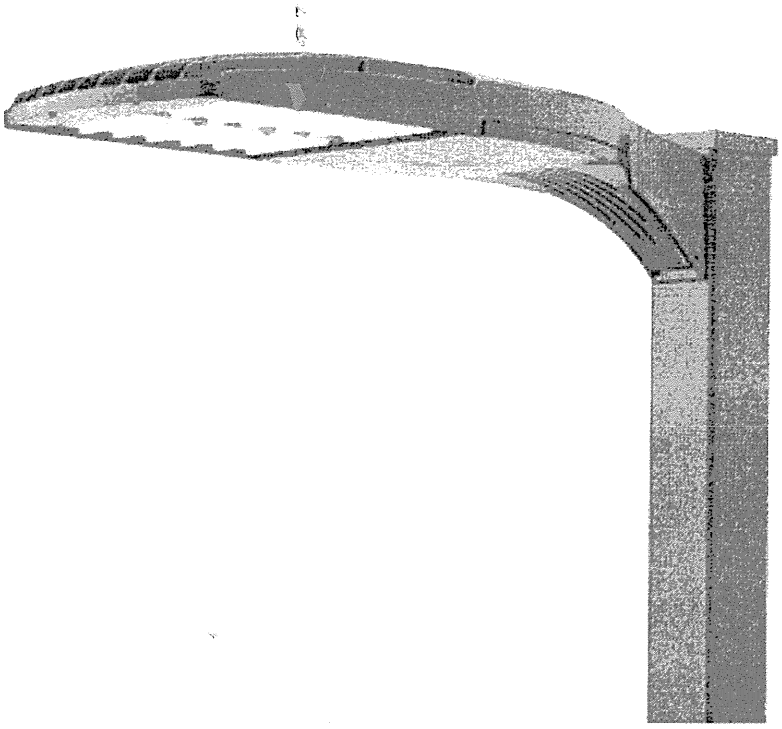
Legend

- Mileposts
- City Limits
- Highways
- Major Roads
- Roads
  - Town Medium Volume
  - Town Low/Seasonal; Other
  - Proposed
- Parcels

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. It is not to be used for navigation.

Notes

Type any notes here.



Share

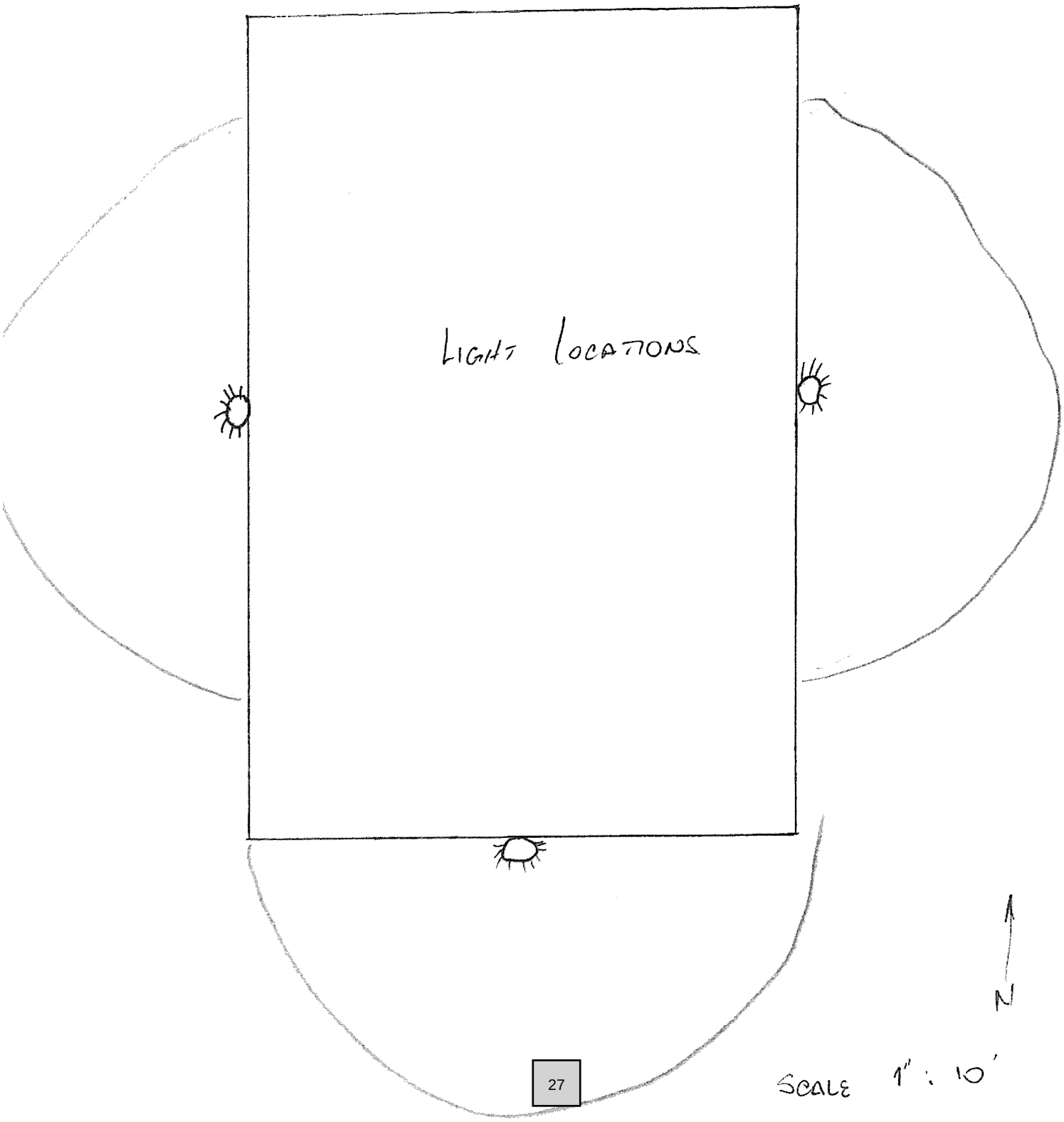
# D-Series Area Size 1

## DSX1 LED Area Luminaire

by Lithonia Lighting

The modern styling of the D-Series LED Area, Size 1 luminaire is striking yet unobtrusive - making a bold, progressive statement blending seamlessly with its environment. Its outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. Coupled with nLight® AIR wireless controls, the D-Series family provides enhanced end-user experiences and unmatched energy savings.

The sleek design reflecting the embedded high-performance LED outdoor lighting technology makes the D-Series, Size 1 the ideal choice for many commercial and municipal applications, such as parking lots, plazas, campuses, and streetscapes.


LIGHT LOCATIONS
N
SCALE 1" : 10'

# Statement Addressing Negative Externalities

Noise -

The majority of manufacturing processes will generate noises inside the building and are of a low level. These noises will not be perceptible at the lot boundary. The smallest wall thickness is 8 inches and the thermal insulation will also dampen any noise leaving the building. We will not be

One piece of equipment is located outside of the building, the chilled water system. Operation of the chilled water system is engineered to limit noise to 65 dB at 10 feet. The system will be shielded from the elements, adding an extra layer of noise protection.

Taproom operations will not start until after 9 AM and will end before 8 PM. Live music is not allowed. On site sales are limited to 36 oz, per day, per person.

Offensive Odors -

This facility will not generate any odors during operations. Our spent grains will be taken by a farmer for use as compost the day it is generated. The building and equipment is kept in a clean and sanitary condition.

Lighting -

There is a minimum of windows to prevent products from being light struck. This will also prevent light shine out of the windows in the evening. Outdoor lighting is down cast to prevent light trespass.

Delivery Schedules -

Deliveries are scheduled to occur before noon twice weekly. This activity is a load-unload process that should not generate any negative impacts.

# GRACE RIDGE BREWERY

## GENERAL NOTES

1. All work to be done in accordance with the 2012 IBC, local amendments and good standard practice. Contractor to coordinate all dimensions, sizing and openings with all trades. contractor to verify all connector sizes to ensure proper fit.

2. Contractor shall field verify all existing and finish grades.

3. All materials and work shall conform to all governing codes and regulations.

4. All materials and products shall be installed in accordance with the manufacturer's written instructions.

5. Dimensions are to face of stud, face of concrete, and grid lines unless otherwise noted.

6. Lap and seal all vapor barrier seams and punctures. Remove vapor barrier behind tile at all locations.

7. Exterior openings shall be flashed weatherproof. Flashing shall be No. 24 galvanized sheet metal gage, U.N.O.

8. All glass within 2' of any door jamb, within stair enclosures, or sills within 18" of finished floor shall be composed of 1/4-inch clear tempered safety glass.

9. Exit Hardware: open from inside with one motion, no special knowledge or effort. No thumb turns or separate deadbolts. No keyed locks except front main entrance.

10. Provide a key box adjacent to the front entrance at 5'-0" above grade. Verify with the local fire department.

11. Gas meter protection: Provide bollards, minimum of 6" diameter x 6'-0" high (3'-0" buried in a 15" diameter concrete footing; 3'-0" above ground) and they must be filled with concrete. Shall be minimum 3'-0" from meter and minimum 4'-0" apart. Verify location on site.

12. Provide a street address for the building. The address shall be plainly visible / legible from the street or road fronting the building.

## CODE ANALYSIS - TITLE 21

LEGAL ADDRESS:
LAKESIDE VILLAGE AMENDED, LOT 2 BLOCK 2

PHYSICAL ADDRESS:
870 SMOKY BAY WAY, HOMER, ALASKA 99603

1. ZONING DISTRICT:

2. PERMITTED PRINCIPAL USES:

3. SETBACK REQUIREMENTS:
   FRONT:
   SIDE:
   REAR:

4. MAXIMUM HEIGHT:

5. MAXIMUM LOT COVERAGE:

6. PARKING REQUIRED:

| | |
|---|---|
| CURRENT PHASE: | 2,400 SF |
| MANUFACTURING AND PROCESSING | /1,000 |
| CURRENT PHASE PARKING SPACES REQUIRED: | 2.4 (3 PROVIDED) |
| FUTURE PHASE: | 1,524 SF |
| TAP ROOM | /100 |
| FUTURE PHASE PARKING SPACES REQUIRED: | 15.24 (15 PROVIDED) |
| TOTAL PARKING SPACES REQUIRED: | 18 |

## CODE ANALYSIS

**IBC 2012 AND STATE OF ALASKA LOCAL AMENDMENTS**

2012 INTERNATIONAL BUILDING CODE
2012 INTERNATIONAL MECHANICAL CODE
2012 UNIFORM PLUMBING CODE
2012 INTERNATIONAL FIRE CODE
2014 NATIONAL ELECTRICAL CODE
2012 INTERNATIONAL ENERGY CONSERVATION CODE
2012 INTERNATIONAL EXISTING BUILDING CODE
2012 INTERNATIONAL FUEL GAS CODE
2010 ASME SAFETY CODE FOR ELEVATORS & ESCALATORS
2009 ICC/ANSI A117.1
2012 INTERNATIONAL WILDLAND-URBAN INTERFACE CODE

**2012 INTERNATIONAL BUILDING CODE**

CONSTRUCTION TYPE: VB, NON-SPRINKLED
OCCUPANCY:
GROUP F-2, BREWERY (LESS THAN 16 PERCENT ALCOHOL)

IBC TABLE 503, ALLOWABLE AREAS AND HEIGHTS:
F-2: 2 FLOORS / 13,000 SF ALLOWED

IBC 2009, SECTION 506 AREA MODIFICATIONS
506.2 FRONTAGE INCREASE:
EQUATION 5-2
I = [F/P-0.25]W/30
I = [200/200-.25]25/30
I = .62

EQUATION 5-1
A = (AT +[ATXI]+[ATXIS])
A = (13000 +[13000X.62]+[13000X0])
A = 13000 + 8060 + 0
A = 21060 ALLOWABLE SQUARE FEET

ACTUAL SF = 2400 SF

IBC TABLE 509 INCIDENTAL USES
- FURNACE ROOMS WHERE ANY PIECE OF EQUIPMENT IS OVER 400,000 BTUs.
  - FURNACE ROOM IS REQUIRED TO BE SEPARATED WITH ONE HOUR FIRE BARRIER WALLS IF THIS APPLIES. (VERIFY)

IBC TABLE 601 FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS

| | |
|---|---|
| TYPE **VB** CONSTRUCTION | |
| PRIMARY STRUCTURAL FRAME | 0 HOUR |
| BEARING WALLS | |
| EXTERIOR | 0 HOUR |
| INTERIOR | 0 HOUR |
| NONBEARING WALLS AND PARTITIONS | |
| EXTERIOR | PER TABLE 602 |
| NONBEARING WALLS AND PARTITIONS | |
| INTERIOR | 0 HOUR |
| FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS | 0 HOUR |
| ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS | 0 HOUR |

IBC TABLE 602 FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE.

| | |
|---|---|
| TYPE **VB** CONSTRUCTION (FIRE SEPARATION DISTANCE) | |
| LESS THAN 5' | 1 HOUR |
| MORE THAN 5' AND LESS THAN 10' | 1 HOUR |
| MORE THAN 10' AND LESS THAN 30' | 0 HOUR |
| MORE THAN 30' | 0 HOUR |

SECTION 707 FIRE BARRIERS
- INCIDENTAL USES.
  - 1 HOUR PROTECTION.

SECTION 906 PORTABLE FIRE EXTINGUISHERS
TABLE 906.3 FIRE EXTINGUISHERS FOR CLASS A FIRE HAZARDS.
- LIGHT (LOW) HAZARD:
  - 2-A: 10-B.C.
  - MAX TRAVEL DISTANCE 75'.

SECTION 1004 OCCUPANT LOAD.

| USE | SF | /OCC | OCCUPANT LOAD |
|---|---|---|---|
| **FIRST FLOOR** | | | |
| MANUFACTURING | 2000 | /100 | 20 |
| ACCESSORY STORAGE | 400 | /300 | 1.3 |
| TOTAL | | | 21.3 |

TABLE 1014.3 COMMON PATH OF EGRESS TRAVEL
- F, WITHOUT SPRINKLER SYSTEM, 75' (ACTUAL IS 71').

TABLE 1015.1 SPACES WITH ONE EXIT OR EXIT ACCESS DOORWAY
- F, 49 MAXIMUM OCCUPANT LOAD.

IBC 1016.1 EXIT ACCESS TRAVEL DISTANCE
- F-2, WITHOUT SPRINKLER SYSTEM, 300' TRAVEL DISTANCE.

1505.1 MINIMUM ROOF COVERING CLASSIFICATION FOR TYPES OF CONSTRUCTION
- CLASS C ROOF COVERING REQUIRED PER TABLE 1505.1.

TABLE 1604.5
- OCCUPANCY CATEGORY II.

## SHEET SCHEDULE


GENERAL

A1 COVER: CODE ANALYSIS: GENERAL NOTES

ARCHITECTURAL

G1 SITE PLAN
G2 DOOR SCHEDULE
G3 ASSEMBLIES
A2 FIRST FLOOR PLAN
A3 FIRST FLOOR REFLECTED CEILING PLAN
A4 ROOF PLAN
A5 EXTERIOR ELEVATIONS
A6 EXTERIOR ELEVATIONS
A7 BUILDING SECTIONS: DETAILS
A8 INTERIOR ELEVATIONS

STRUCTURAL

TBD

MECHANICAL

TBD

ELECTRICAL

TBD


REVISIONS

| | | |
|---|---|---|
| 1 | 12.22.2020 | REVISION A |
| 2 | 1.20.2021 | REVISION B |

STATE OF ALASKA
49TH
CHRISTOPHER S. COLE
A-10145
12-18-2020
REGISTERED PROFESSIONAL ARCHITECT

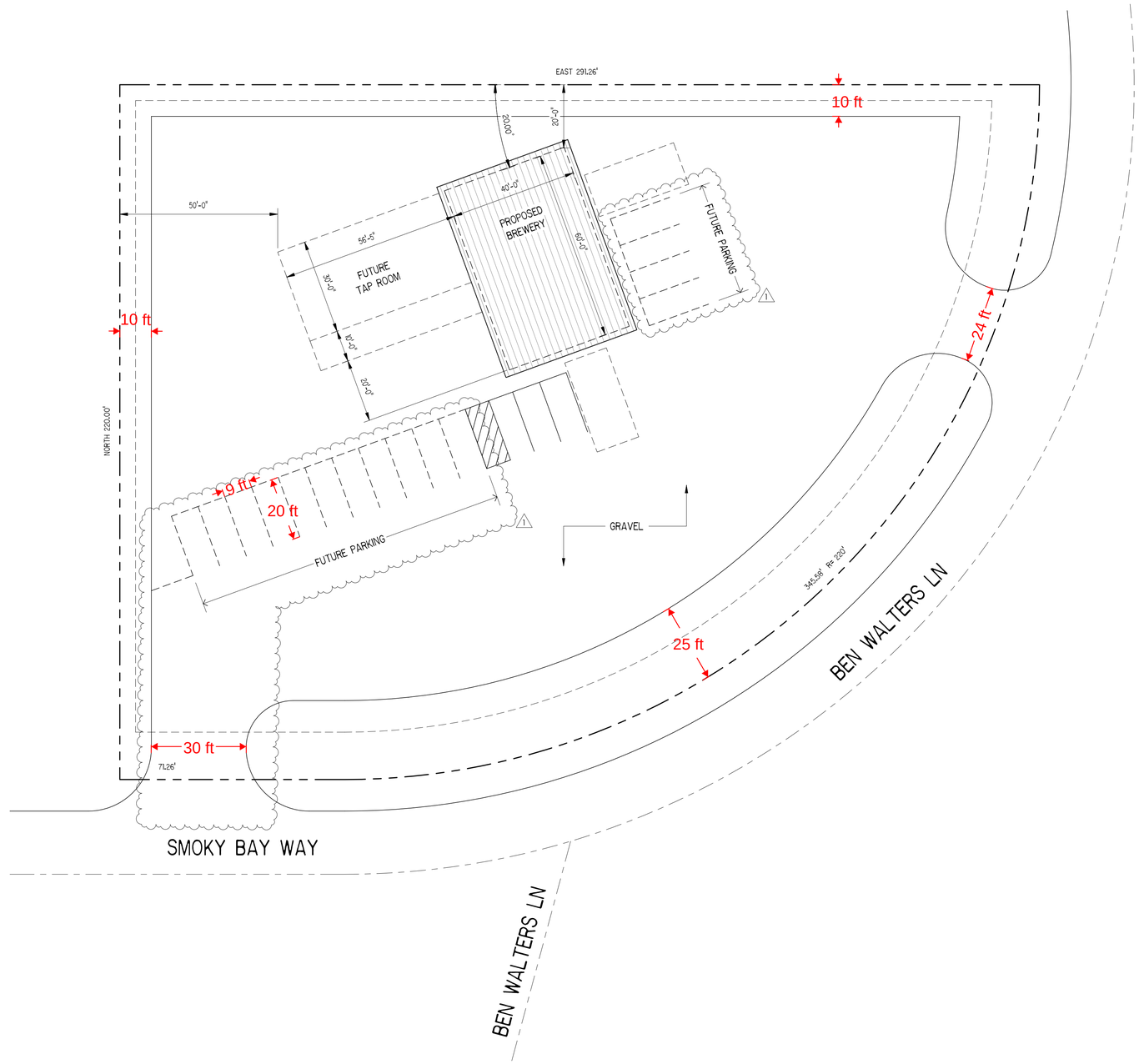
GRACE RIDGE BREWERY
870 SMOKY BAY WAY
HOMER, ALASKA
JOB NO. 2K20014


61 NORTHARCHITECTS
3400 SPENARD ROAD SUITE 12
ANCHORAGE, ALASKA 99503
PH. 907-274-4446


DATE: 12.18.2020

COVER

A1




1 SITE PLAN
SCALE: 1" = 20'-0"

REVISIONS

| | | |
|---|---|---|
| 1 | 12.22.2020 | REVISION A |
| 2 | 1.20.2021 | REVISION B |

STATE OF ALASKA 49TH CHRISTOPHER S. COLE A-10145 12-18-2020 REGISTERED PROFESSIONAL ARCHITECT

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61 NORTHARCHITECTS
3400 SPENARD ROAD SUITE 12
ANCHORAGE, ALASKA 99503
PH. 907-274-4446

DATE: 12.18.2020

SITE PLAN

G1

## HARDWARE GROUPS

ALL INTERIOR UNIT DOOR HARDWARE BY OWNER.

HARDWARE GROUP 1:
HINGES
CLOSER
MORTISE LEVER LOCKSET W/ INTEGRAL DEADBOLT (ENTRY FUNCTION)
WALL/FLOOR STOP
THRESHOLD (THERMALLY BROKEN)
DOOR BOTTOM
WEATHER SEALS

HARDWARE GROUP 2:
HINGES
CLOSER / OVERHEAD STOP
MORTISE LEVER LOCKSET W/ INTEGRAL DEADBOLT (ENTRY FUNCTION)
THRESHOLD (THERMALLY BROKEN)
DOOR BOTTOM
WEATHER SEALS

HARDWARE GROUP 3:
HINGES
LEVER LOCKSET (STOREROOM FUNCTION)
WALL/FLOOR STOP
SILENCERS

HARDWARE GROUP 4:
HINGES
LEVER LOCKSET (PRIVACY FUNCTION)
WALL/FLOOR STOP
SILENCERS

## DOOR SCHEDULE

| NUMBER | SIZE | DOOR | | | FRAME | | | GLASS | | FIRE RATING | HDWR. GROUP | DETAILS | | | COMMENTS |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| | | TYPE | MAT'L. | FINISH | TYPE | MAT'L. | FINISH | GLAZ'G. | LABEL | | | HEAD | JAMB | SILL | |
| 100A | 3'-0" x 7'-0" | A | STI | P | 1 | HMI | P | - | - | - | 1 | - | - | - | - |
| 100B | 10'-0" x 10'-0" | J | STI | FF | - | - | - | - | - | - | - | - | - | - | - |
| 100C | 3'-0" x 7'-0" | A | STI | P | 1 | HMI | P | - | - | - | 2 | - | - | - | - |
| 100D | 8'-0" x 10'-0" | J | STI | FF | - | - | - | - | - | - | - | - | - | - | - |
| 101 | 8'-0" x 10'-0" | J | STI | FF | - | - | - | - | - | - | - | - | - | - | - |
| 102 | 3'-0" x 7'-0" | A | SC | S | 1 | HM | P | - | - | - | 4 | - | - | - | - |
| 103 | 3'-0" x 7'-0" | A | SC | S | 1 | HM | P | - | - | - | 3 | - | - | - | - |

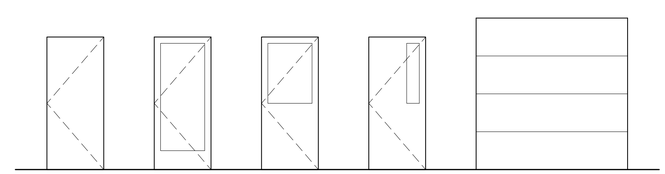
## DOOR SCHEDULE ABBREVIATIONS

AL = ALUMINUM
ALT = ALUMINUM THERMALLY BROKEN
FF = FACTORY FINISH
GL = GLASS
HM = HOLLOW METAL
HMI = HOLLOW METAL INSULATED
HW = HOLLOW CORE WOOD

IC = INSULATED CORE
IMP = INSULATED METAL PANEL
IG = INSULATED GLASS
MTL = METAL
P = PAINT
PL = PLASTIC
PLI = PLASTIC INSULATED

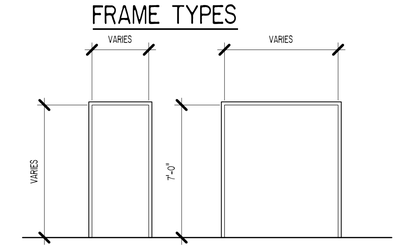
S = STAIN
ST = STEEL
STI = STEEL INSULATED
SC = SOLID CORE WOOD
SG = SAFETY GLASS
T = TEMPERED
WD = WOOD

## DOOR TYPES



A FLUSH
B FULL GLASS
C HALF LITE
D VISION LITE
E OVERHEAD

## FRAME TYPES




1 SINGLE UNIT FRAME
2 DOUBLE UNIT FRAME

REVISIONS

1 12.22.2020 REVISION A
2 1.20.2021 REVISION B

GRACE RIDGE BREWERY
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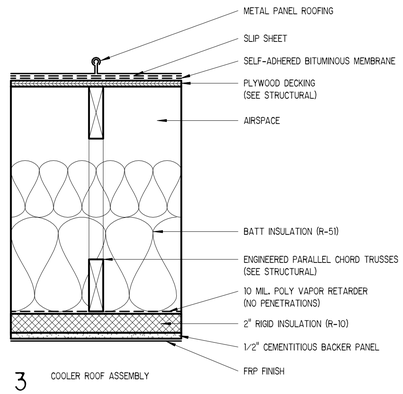
DATE: 12.18.2020

DOOR SCHEDULE

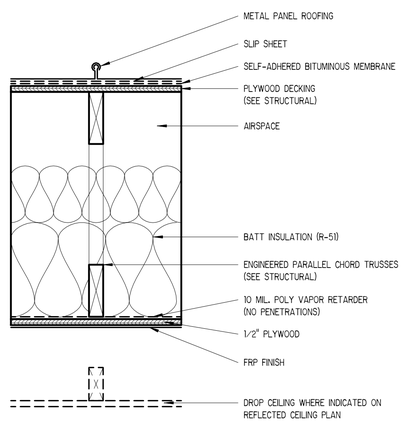
G2



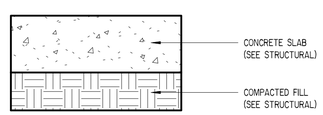

3 COOLER ROOF ASSEMBLY

PER IBC 2603.4.1.2 COOLER AND FREEZER WALLS:

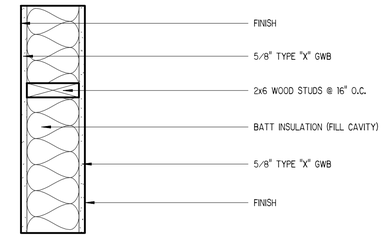
| | |
|---|---|
| FLAME SPREAD INDEX: | (25 OR LESS REQUIRED) |
| SMOKE DEVELOPED INDEX: | (450˚ OR LESS PER ASTM E 84 OR UL 723) |
| CORE FLASH IGNITION TEMPERATURE: | (NOT LESS THAN 600˚) |
| CORE SELF-IGNITION TEMPERATURE: | (NOT LESS THAN 800˚) |



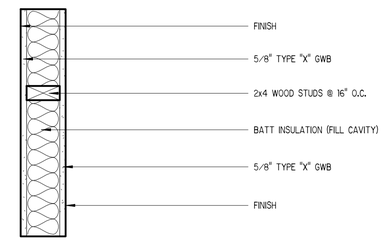

2 ROOF ASSEMBLY



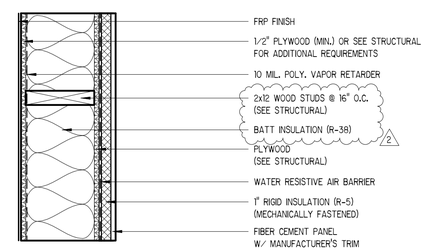

1 FLOOR ASSEMBLY



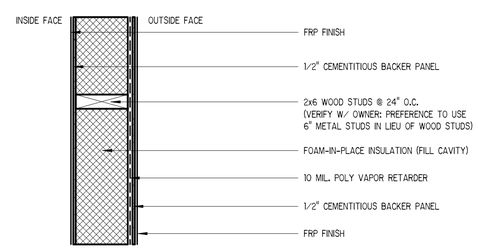

D INTERIOR WALL - TYPICAL 2x6 STUD WALL




C INTERIOR WALL - TYPICAL 2x4 STUD WALL



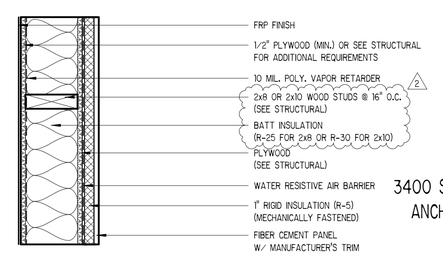

B EXTERIOR WALL




E INTERIOR WALL - COOLER WALL

PER IBC 2603.4.1.2 COOLER AND FREEZER WALLS:

| | |
|---|---|
| FLAME SPREAD INDEX: | (25 OR LESS REQUIRED) |
| SMOKE DEVELOPED INDEX: | (450˚ OR LESS PER ASTM E 84 OR UL 723) |
| CORE FLASH IGNITION TEMPERATURE: | (NOT LESS THAN 600˚) |
| CORE SELF-IGNITION TEMPERATURE: | (NOT LESS THAN 800˚) |




A EXTERIOR WALL

## REVISIONS

| | | |
|---|---|---|
| 1 | 12.22.2020 | REVISION A |
| 2 | 1.20.2021 | REVISION B |

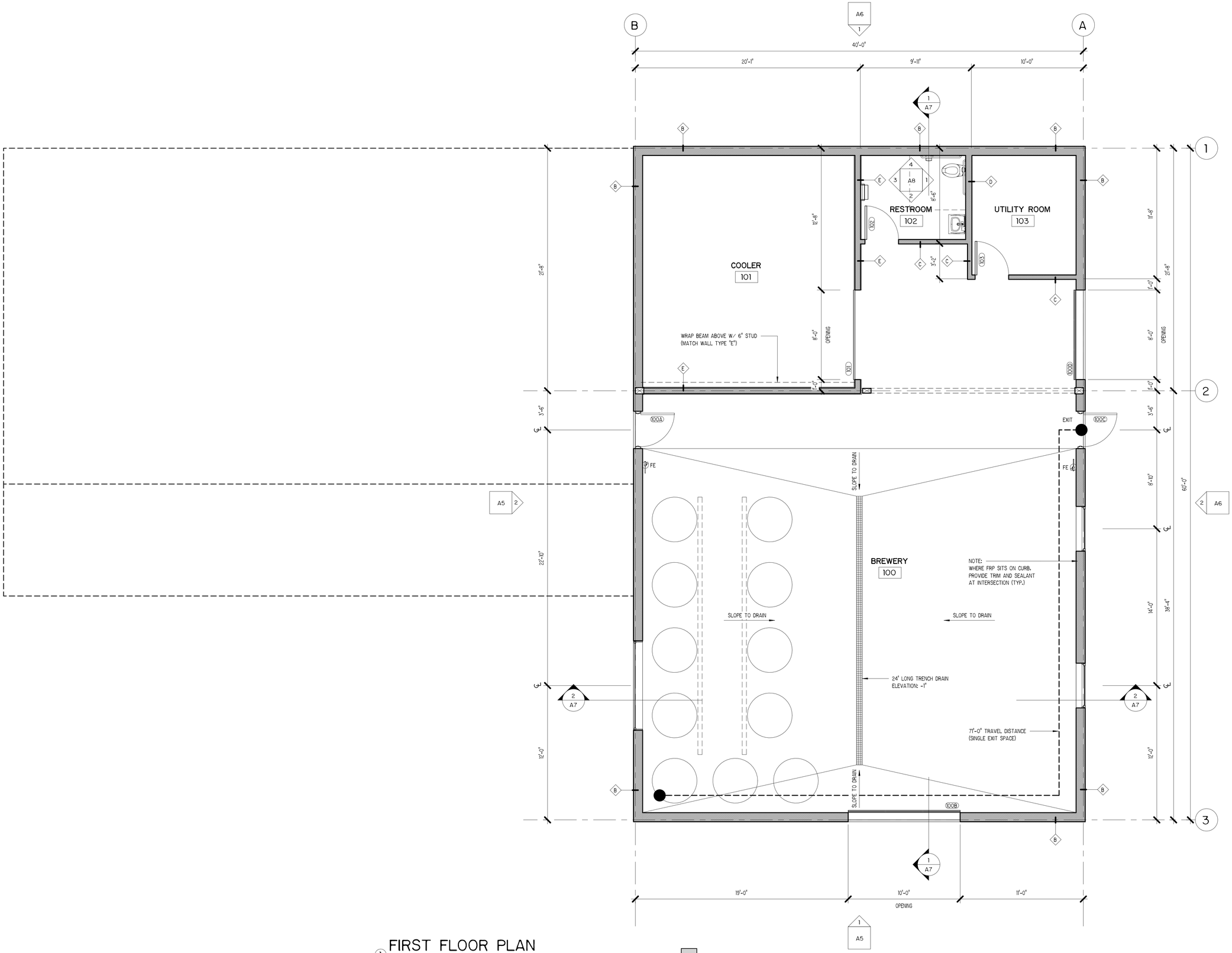
GRACE RIDGE BREWERY
870 SMOKY BAY WAY
HOMER, ALASKA
JOB NO. 2K20014

61 NORTHARCHITECTS
3400 SPENARD ROAD SUITE 12
ANCHORAGE, ALASKA 99503
PH. 907-274-4446

DATE: 12.18.2020

ASSEMBLIES

G3




1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

## REVISIONS

| | | |
|---|---|---|
| 1 | 12.22.2020 | REVISION A |
| 2 | 1.20.2021 | REVISION B |

## LEGEND

FE 2A10BC FIRE EXTINGUISHER

STATE OF ALASKA
49TH
CHRISTOPHER S. COLE
A-10145
12-18-20
REGISTERED PROFESSIONAL ARCHITECT

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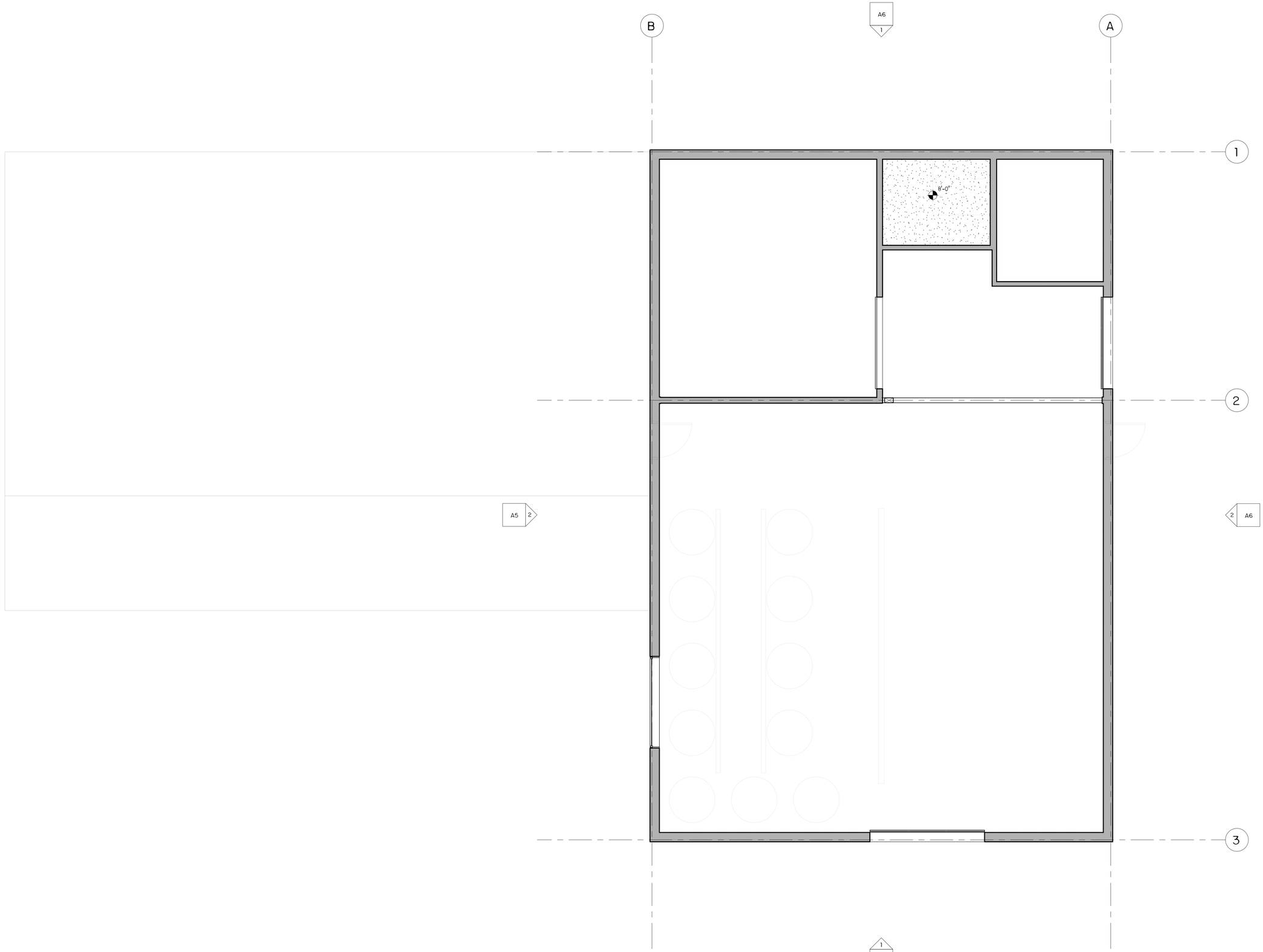
FIRST FLOOR PLAN

A2




1 FIRST FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

## REVISIONS

| | | |
|---|---|---|
| 1 | 12.22.2020 | REVISION A |
| 2 | 1.20.2021 | REVISION B |

## LEGEND

CEILING FINISH MATERIALS

GWB CEILING

FRP CEILING

LIGHTING AS PER ELECTRICAL

STATE OF ALASKA
49TH
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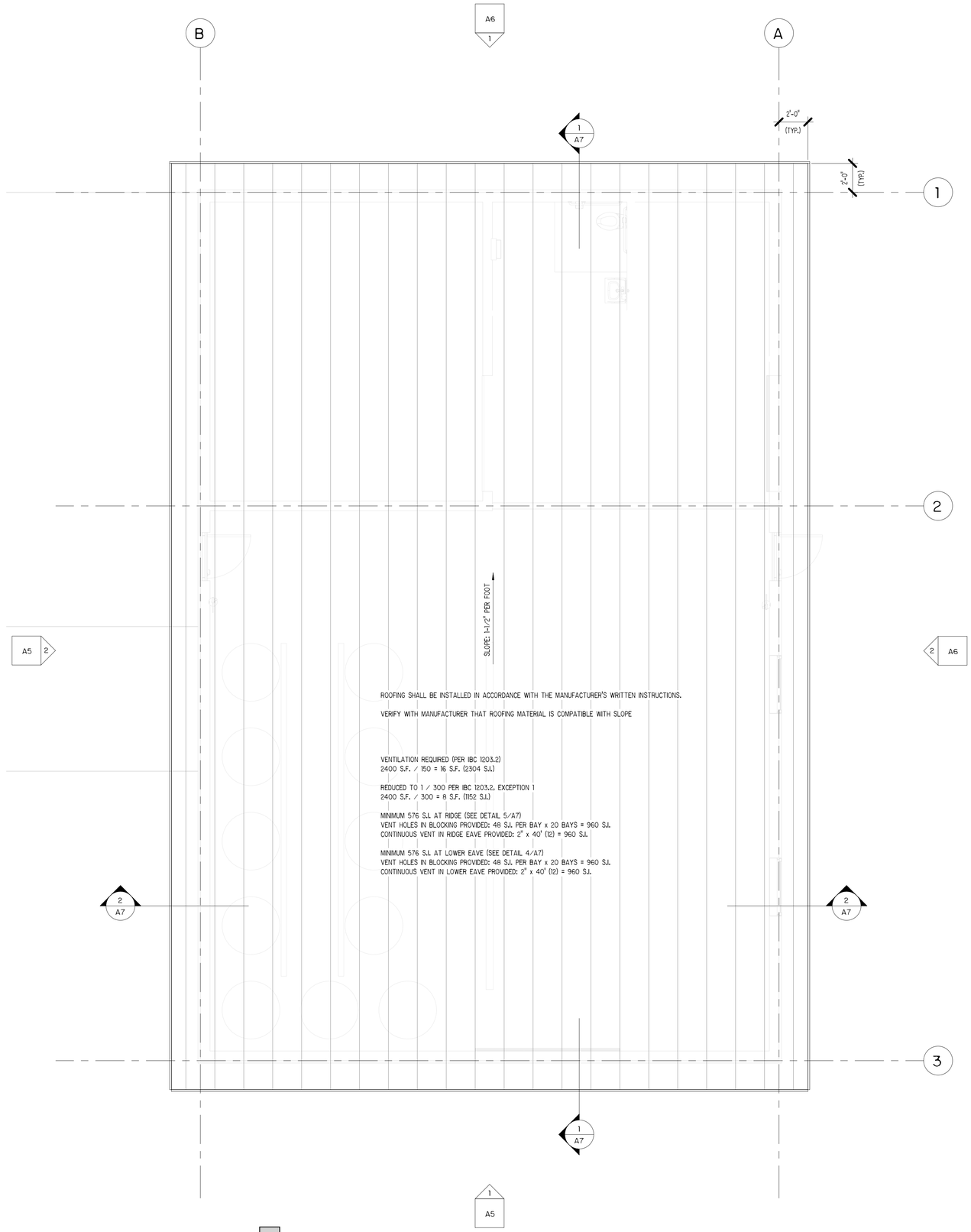
FIRST FLOOR RCP

A3




ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.

VERIFY WITH MANUFACTURER THAT ROOFING MATERIAL IS COMPATIBLE WITH SLOPE

VENTILATION REQUIRED (PER IBC 1203.2)
2400 S.F. / 150 = 16 S.F. (2304 S.I.)

REDUCED TO 1 / 300 PER IBC 1203.2. EXCEPTION 1
2400 S.F. / 300 = 8 S.F. (1152 S.I.)

MINIMUM 576 S.I. AT RIDGE (SEE DETAIL 5/A7)
VENT HOLES IN BLOCKING PROVIDED: 48 S.I. PER BAY x 20 BAYS = 960 S.I.
CONTINUOUS VENT IN RIDGE EAVE PROVIDED: 2" x 40' (12) = 960 S.I.

MINIMUM 576 S.I. AT LOWER EAVE (SEE DETAIL 4/A7)
VENT HOLES IN BLOCKING PROVIDED: 48 S.I. PER BAY x 20 BAYS = 960 S.I.
CONTINUOUS VENT IN LOWER EAVE PROVIDED: 2" x 40' (12) = 960 S.I.

1 ROOF PLAN
SCALE: 1/4" = 1'-0"

REVISIONS

| | | |
|---|---|---|
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3400 SPENARD ROAD SUITE 12
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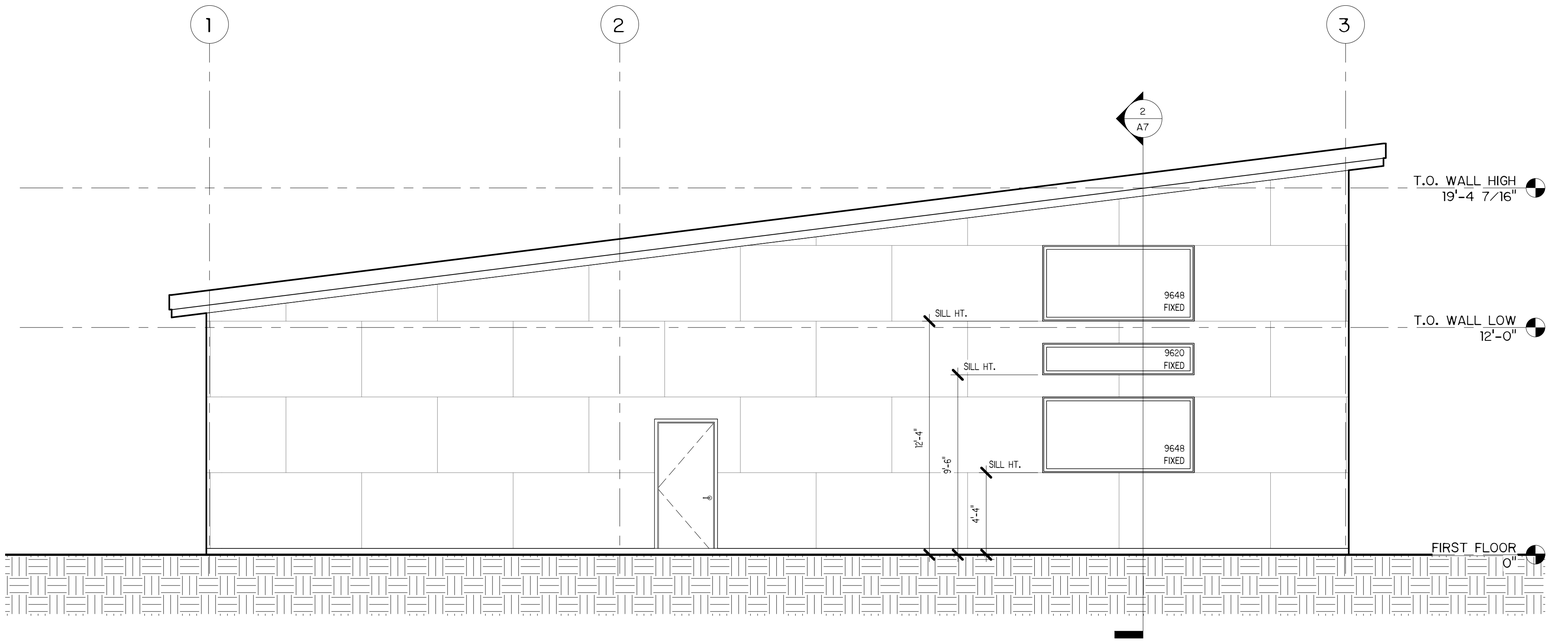
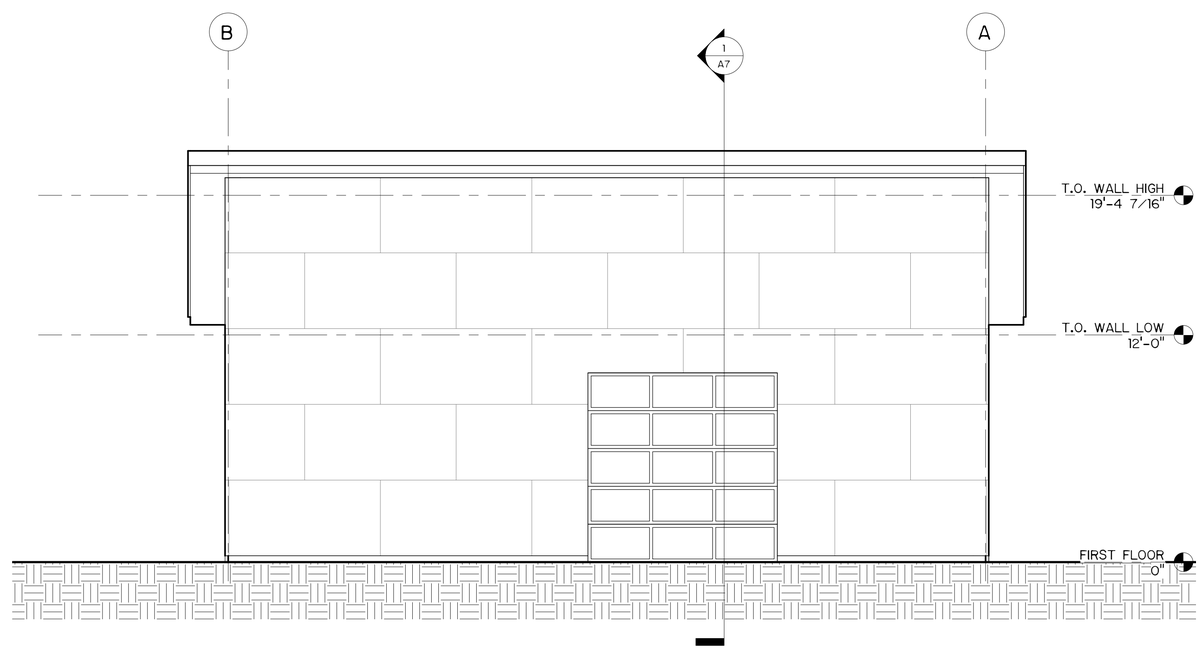
DATE: 12.18.2020

ROOF PLAN
A4




## WEST ELEVATION

2 SCALE: 1/4" = 1'-0"




## SOUTH ELEVATION

1 SCALE: 1/4" = 1'-0"

REVISIONS

| | | |
|---|---|---|
| 1 | 12.22.2020 | REVISION A |
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3400 SPENARD ROAD SUITE 12
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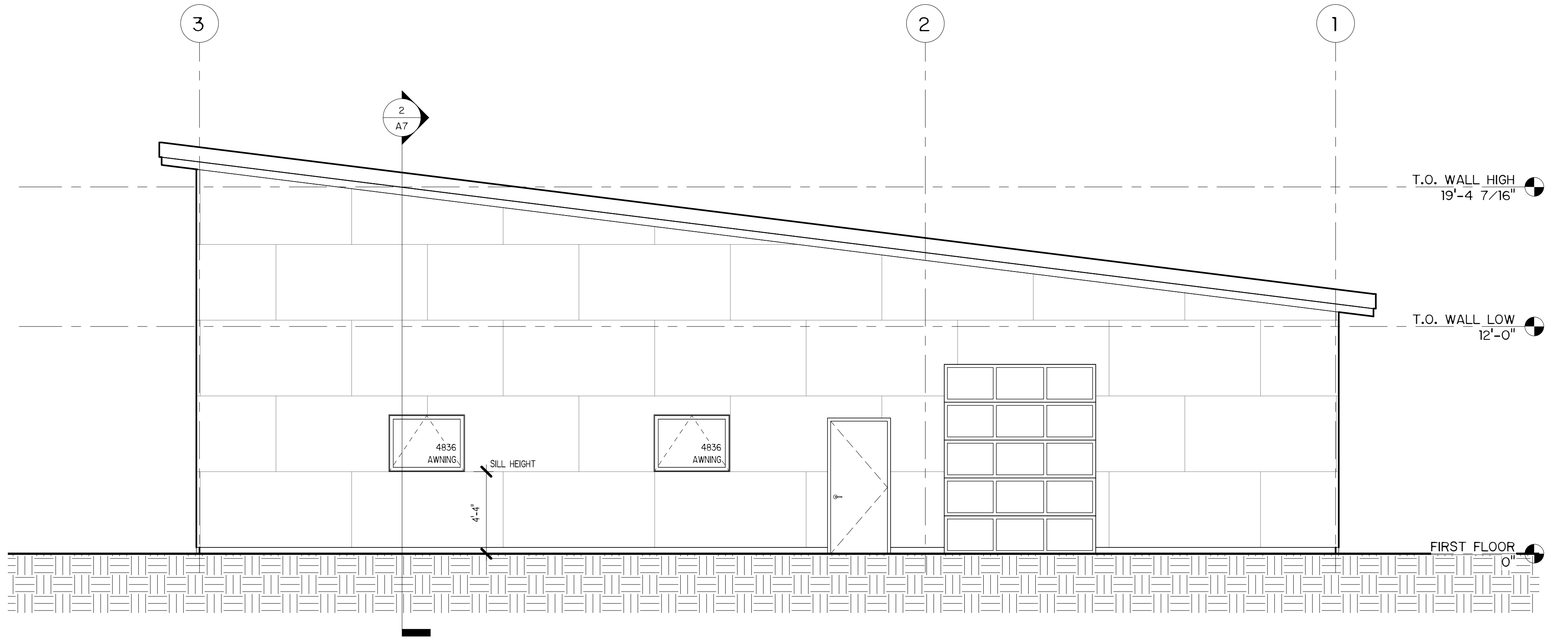
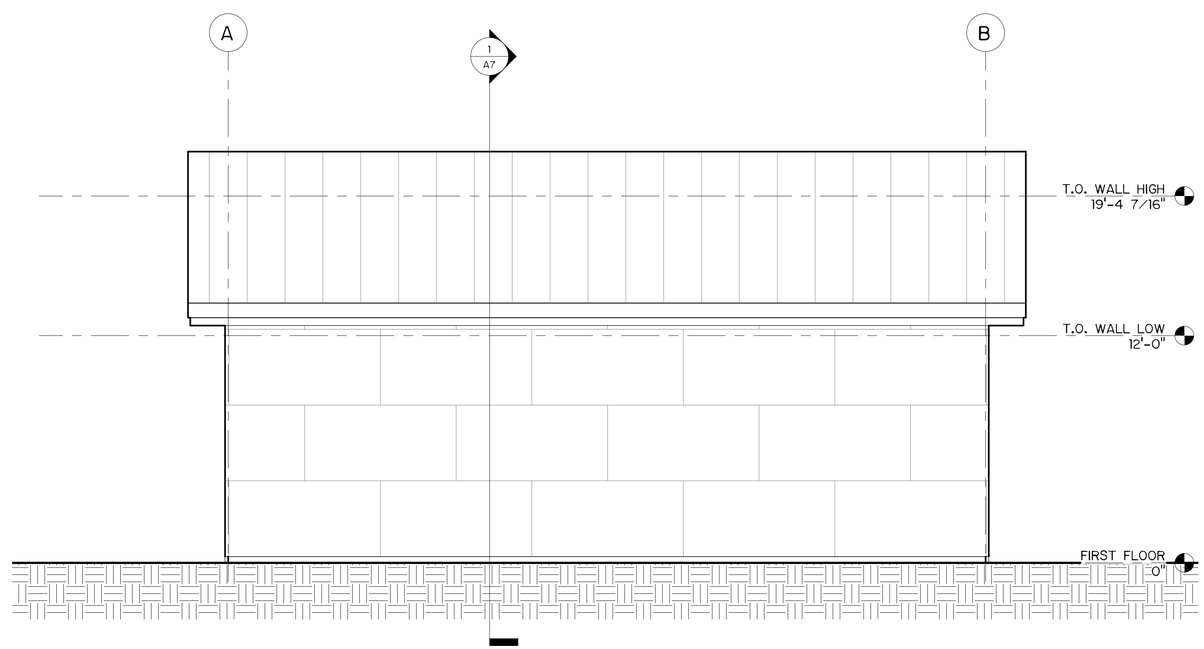
DATE: 12.18.2020

EXTERIOR ELEVATIONS

A5




## 2 EAST ELEVATION
SCALE: 1/4" = 1'-0"




## 1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS

| | | |
|---|---|---|
| 1 | 12.22.2020 | REVISION A |
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3400 SPENARD ROAD SUITE 12
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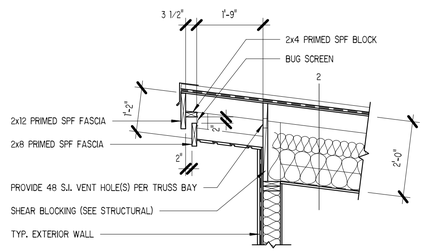
PH. 907-274-4446

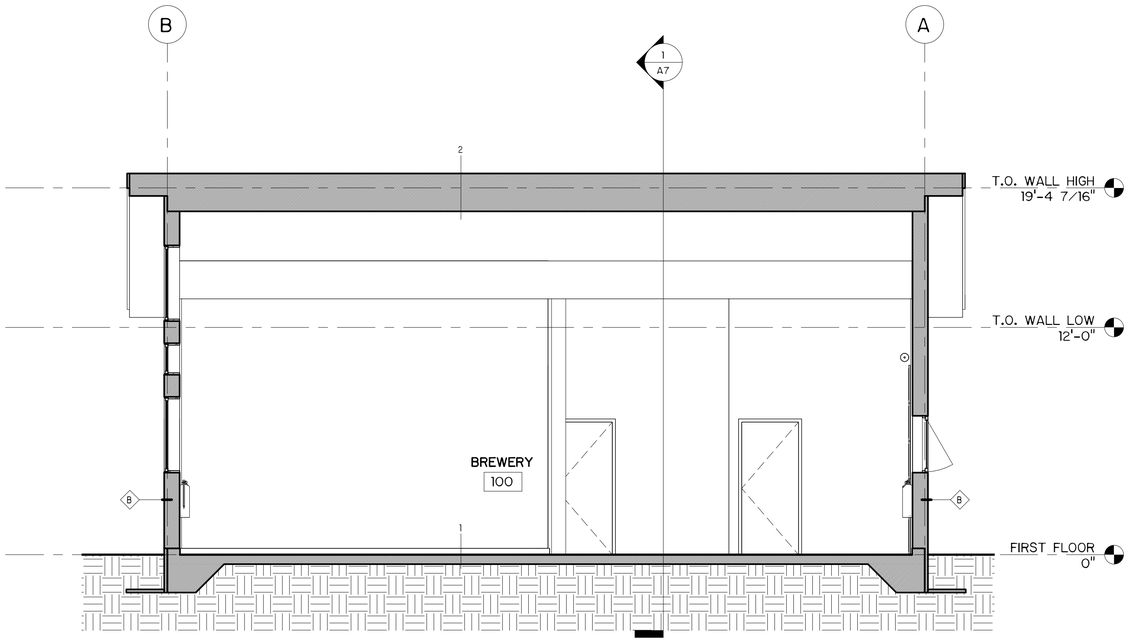
DATE: 12.18.2020

EXTERIOR ELEVATIONS

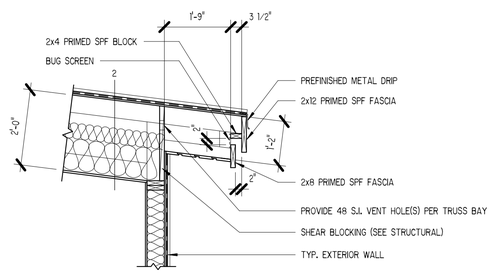
A6



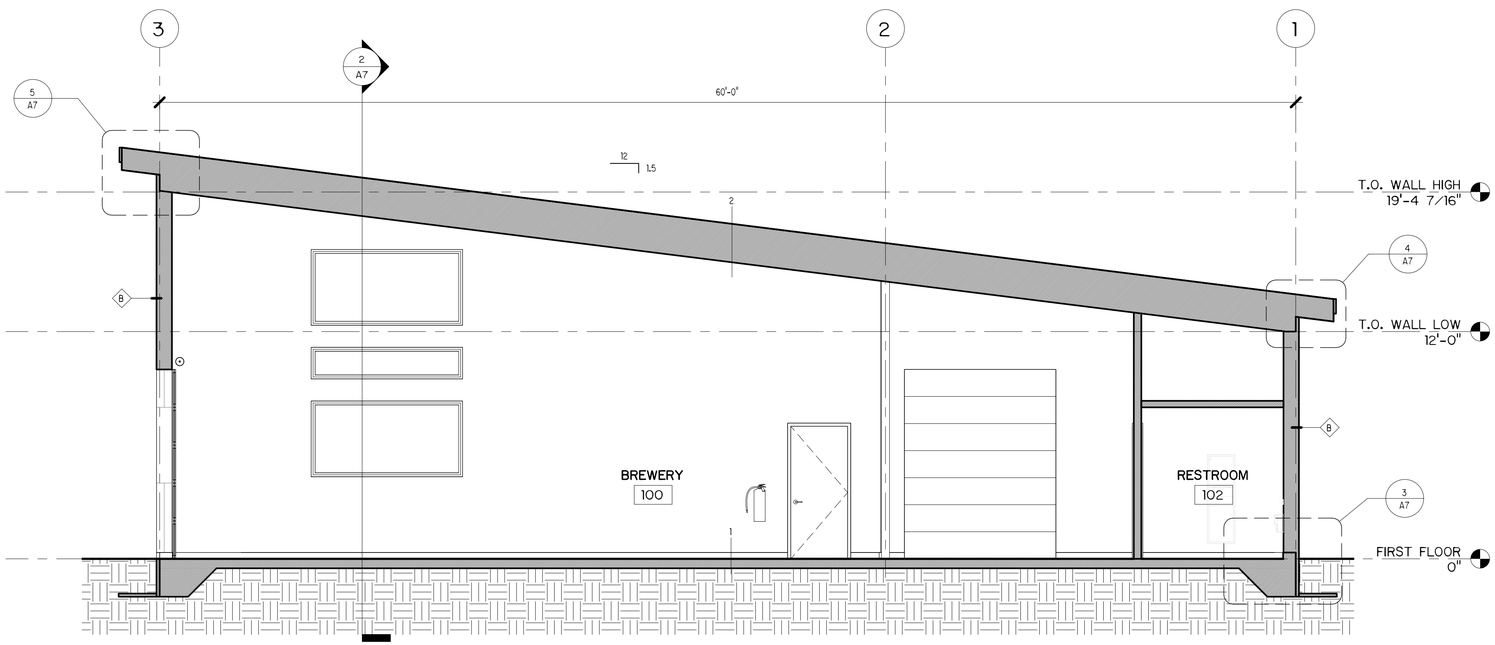

## 5 PEAK FASCIA
SCALE: 1/2" = 1'-0"



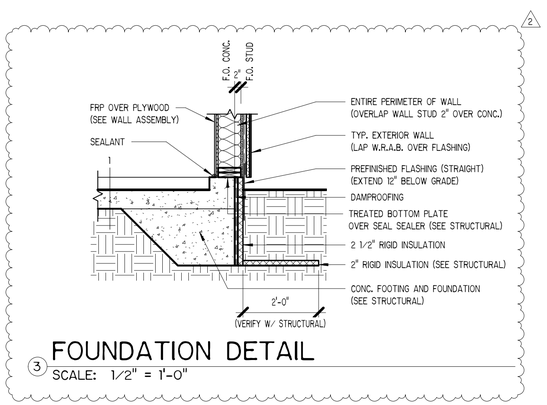

## 2 SECTION B-B
SCALE: 1/4" = 1'-0"




## 4 SOFFIT DETAIL
SCALE: 1/2" = 1'-0"




## 1 SECTION A-A
SCALE: 1/4" = 1'-0"




## 3 FOUNDATION DETAIL
SCALE: 1/2" = 1'-0"

REVISIONS

| | | |
|---|---|---|
| 1 | 12.22.2020 | REVISION A |
| 2 | 1.20.2021 | REVISION B |

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870 SMOKY BAY WAY
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JOB NO. 2K20014

61 NORTHARCHITECTS
3400 SPENARD ROAD SUITE 12
ANCHORAGE, ALASKA 99503
PH. 907-274-4446

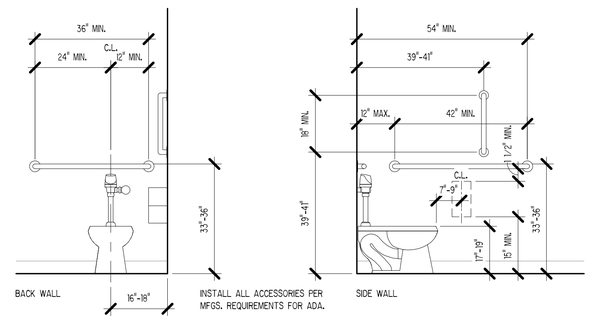
DATE: 12.18.2020

BUILDING SECTION
A7

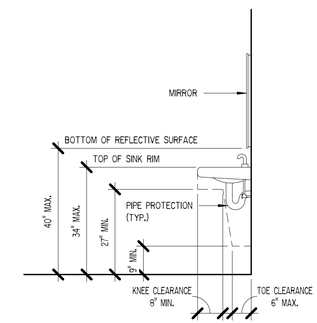
# RESTROOM ACCESSORIES

| CODE | ITEM | MANUFACTURER | MODEL NUMBER | FINISH/COLOR | COMMENTS |
|---|---|---|---|---|---|
| 1 | SURFACE-MOUNTED CONVERTIBLE PAPER TOWEL DISPENSER/WASTE RECEPTACLE | BOBRICK | B-3949 | STAINLESS STEEL | - |
| 2 | SURFACE-MOUNTED TOILET TISSUE DISPENSER | BOBRICK | B-2888 | STAINLESS STEEL | - |
| 3 | AUTOMATIC WALL-MOUNTED FOAM SOAP DISPENSER | BOBRICK | B-2013 | STAINLESS STEEL | - |
| 4 | GRAB BAR 18" | BOBRICK | B-5806.99 X 18 | STAINLESS STEEL (PEENED SURFACE) | - |
| 5 | GRAB BAR 36" | BOBRICK | B-5806.99 X 36 | STAINLESS STEEL (PEENED SURFACE) | - |
| 6 | GRAB BAR 42" | BOBRICK | B-5806.99 X 42 | STAINLESS STEEL (PEENED SURFACE) | - |
| 7 | MIRROR 18" x 36" | BOBRICK | B-290 1836 | STAINLESS STEEL | - |
| 8 | LAVATORY SINK | - | - | - | SEE MECHANICAL DWGS |
| 9 | FAUCET | - | - | - | SEE MECHANICAL DWGS |
| 10 | TOILET | TOTO | CT705ULN(G) | WHITE CERAMIC | VERIFY W/ MECHANICAL DWGS & OWNER |
| 11 | FLUSH VALVE | TOTO | TET1GA32 | CHROME | VERIFY W/ MECHANICAL DWGS & OWNER |
| 12 | COAT HOOK | BOBRICK | B-542 | STAINLESS STEEL | - |

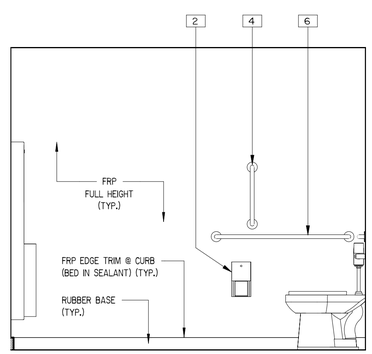
INSTALL ALL ACCESSORIES PER MFGS. REQUIREMENTS FOR ANSI A117.1-ADA.



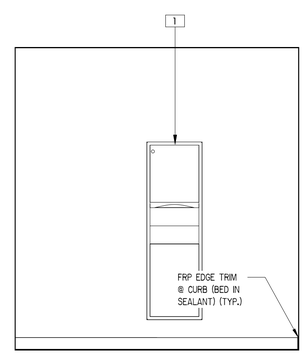

6 TYP. ADA WATER CLOSET
SCALE: 1/2" = 1'-0"



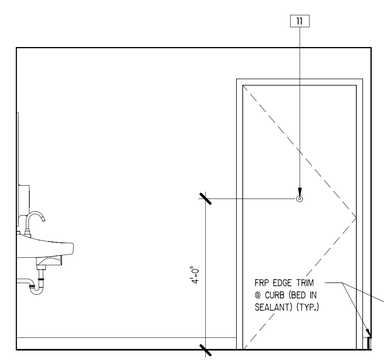

5 TYP. ADA LAV
SCALE: 1/2" = 1'-0"



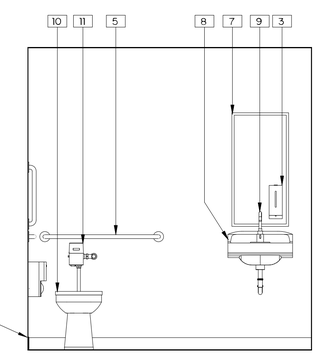

4 RR NORTH ELEVATION
SCALE: 1/2" = 1'-0"




3 RR WEST ELEVATION
SCALE: 1/2" = 1'-0"




2 RR SOUTH ELEVATION
SCALE: 1/2" = 1'-0"




1 RR EAST ELEVATION
SCALE: 1/2" = 1'-0"

REVISIONS

| | | |
|---|---|---|
| 1 | 12.22.2020 | REVISION A |
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STATE OF ALASKA
49TH
CHRISTOPHER S. COLE
A-10145
12-18-2020
REGISTERED PROFESSIONAL ENGINEER

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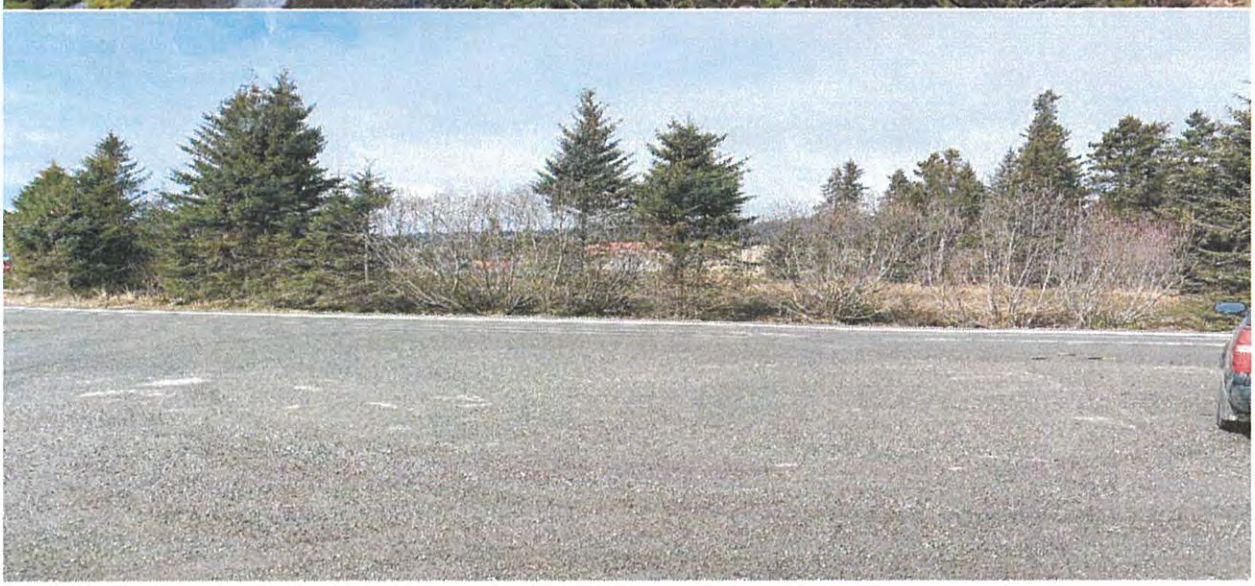
INTERIOR ELEVATIONS

A8

View of subject lot from SE corner, cul-de-sac across from Ben Walters Ave., and SW corner.



View of subject lot from SE corner, cul-de-sac across from Ben Walters Ave., and SW corner.

# Community Design Manual (CDM) Review Application Requirements

**Project Name and Location:** Grace Ridge Brewing 870 Smokey Bay Way

**Many Conditional Use Permits (CUP) required compliance with the Community Design Manual (CDM). By providing the following information, your project can be reviewed more quickly and thoroughly.**

Landscaping, Vegetation and Screening Plan. See pg 28-31 of the CDM.

Utilities Plan. Provide a utilities plan showing location of utilities in relation to landscape and buffer areas (utility plan must be consistent with proposed areas of non-disturbance).

Parking and Paving Plan. See pg 33-35 of the CDM._

Grading and Drainage Plan. Include all cuts, fills, slopes, disturbed areas, retaining walls and structures.

Elevation Drawings. Provide complete elevation drawings of all buildings showing dimensions, trim details, color(s) and proposed materials including roofing, siding, and windows.

Sign Plan. A master sign plan showing the location of all signage consistent with HCC 21.60.

Lighting Plan. See pg 7,8 and pg 35-37 of the CDM and HCC 21.59.020-030.

***Site Design.*** *This should align with the Grading and Drainage Plan. Pg 6 of the CDM.*

Describe the how building design transitions into the parking lot and landscaped areas. Describe your efforts to minimize cut/fill and to respect the natural topography.

See Attached Sheet

***Prominent Facades-Building Scale and Mass.*** *This should align with the elevation drawings. Pg 9,10, 27 of the CDM.*

Describe how the building's design reflects the mass and scale of adjacent properties:

See Attached Sheet

(Width of wall plane 60 ft) ÷ (Height of wall plane 17 ft) ≤ (less than 2.5)

- Y/N Does the building avoid a wall plane wider than 2.5 times the height of the wall plane?

  What is the length of the prominent façade? 60 ft.

- Y/N Is 50% or more of the prominent façade near the front setback, or street?

  Roof pitch. 6.5. (Minimum pitch 4/12. Maximum pitch 12/12.)

  Roof eave extension 2 ft.

  Total roof area in a single plane? 2816 sf. (Shall not exceed 5,000 sf)

- Y/N Does the building design avoid false pitch roofs? If no, see pg. 11-13.

- Y/N Does the building design avoid A-frame, modified A-Frame, domes, curvilinear roof or other unusual roof forms? If no, see page 10.

***Window and Door Fenestration.*** *Should align with the elevation drawings. Pg 14 of the CDM.*

Windows and doors shall constitute a minimum of 25-30% of the prominent façade.

(Windows & doors 125 sf) ÷ (Wall frontage of prominent façade 1050 sf.) shall be greater than 25-30%.

- Y/N Are the windows regularly spaced and aligned with other doors and windows in the same plane?

- Y/N Does the building design include reflective glass? If so, Commission approval is required.

***Siding and Trim****: Page 15*

Describe the materials used for siding, the trim and the colors.

Concrete Panels, Snow, with Natural Aluminum Trim
Doors Windows and Roof Are Black

Does the siding include:

- Y/N Metal panels
- Y/N Sheet siding like T1-11
- Y/N Concrete panels
- Y/N Tile
- Y/N Smooth Concrete Blocks
- Y/N Vertically ribbed or vertically grooved material

***Miscellaneous Architectural Devices**: This should align with the elevation drawings. Pg 15-17 of the CDM.*

Describe the use of awnings, awning fabric (opaque only), the lighting of the awnings and their function. Provide the linear feet of awning. Tenant franchise themes are not allowed in the TCD and GBD per HCC 21.20.050 and HCC 21.22.060. Describe how the building integrates artwork into the design.

No Awnings are Used

See Attached Sheet

- Y/N Does the building design avoid the use of color to promote a theme or tenant specific identity? For example a typical Pizza Hut, McDonalds, Taco Bell building promotes a theme.

- Y/N Does the building design avoid use of neon, tube shaped lighting?
- Y/N Does the building avoid back-lit awnings?
- Y/N Does the use of awning provide weather protection over walkways and entrances?
- Y/N Are the awnings consistent in design? Multiple awning design is not permitted. Pg 16.
- Y/N Is the awning design secondary and complimentary of the building design?

***Roofing materials**. Pg 17-18 of the CDM.*

Describe the roofing material: Standing Seam Metal Roofing

What color is the roofing material? Black

***Color**. Pg 18-20 of the CDM.*

What is the main color on the exterior walls? Snow

What color is the trim as in the fascia, cornice, window and door trim? Black

Describe the use and color of accents such as molding, shadow lines, door frames:

Black

***Hierarchy in building design**. This should align with the elevation drawings. Pg 18 of the CDM.*

- Y/N or NA Does the project include secondary building structures as support buildings?
- Y/N or NA Does the project include multiple tenant spaces?

Describe the common architectural treatment of the buildings within the development. Include:

- Secondary structures as support buildings
- The façade (the exterior wall exposed to public view) the 'streetscape'.
- Building height variation that reflects the location of individual tenants.

- Roof design
- Window proportions
- Fencing

***Walkways.*** *This should align with the landscaping, parking and lighting plans. Pg 21,22 of the CDM.*

Describe how the walkways are linked between the main entrance to the parking area and the public right-of-way. Include the location, width, length, texture, lighting, seating, vegetation, integrated art work, color and the visual contrast to the other surfaces.

SEE ATTACHED SHEET

- Y/N or NA. Are the walkways 5 ft wide or greater?
- Y/N or NA. Are the walkways visually distinct from the surrounding surfaces?
- Y/N or NA. Are vegetative strips 3 ft wide or greater?
- Y/N or NA. Are walkways 100 ft long or greater? If so, include lighting and seating.
- Y/N or NA. Are historic events and structures identified?
- Y/N or NA. Does you plan avoid walkways which cross parking stalls?

***Outdoor Common Areas.*** *This should align with the landscaping plan. Pg 23-26 of the CDM.*

Describe any building focal points that create a "visual draw," and/or the buildings' prominent entrance.

SEE ATTACHED SHEET

Describe the building's outdoor leisure area. Include walkway location and widths for covered and uncovered walkways, plaza surfaces (brick, stone, aggregate concrete, colored, textured) landscaping, shrubbery, flowers, viewing platforms, seating and signage. Describe areas for outdoor sales/carts, art displays and outdoor dining.

IF the project's floor area (total sf of all floors) is less than 5,000 sf., move to ***Loading and delivery area.***

- Primary structures shall incorporate either a prominent portico or plaza which is visible to the public and useable to customers or clients. Its size shall be at least 10% of the main level interior floor area. (CDM page 20)

(First floor____ sf) X (0.10) _____sq ft

- If the floor area (total sf of all floors) is greater than 5,000 sf., then 5% of the floor area must be devoted to an outdoor leisure area.

Outdoor leisure area_____sf.

(Total floor area _____ sf) X (0.05) must be greater than the outdoor leisure area. (CDM pg 24)

*The 10% calculated above can count towards the 5% outdoor leisure area requirement*

- Y/N Does the leisure area have trash receptacles, seating and/or tables.
- Y/N Does the outdoor leisure area include walkways? If so, the walkways must be 8 ft wide or greater (p. 24).

***Loading and delivery area.*** *Should align with the Parking Plan. Pg 27 of the CDM.*

SEE ATTACHED SHEET

- Y/N Are the loading and delivery areas oriented away from the street front?

***Landscaping and screening**. Should align with the landscaping plan. Pg 28-31 of the CDM.*

Describe the site's proposed landscaping, and any planned retention of the existing vegetation. Provide a landscaping plan that includes:

- clearing limits
- trees that will be thinned or topped
- areas which will be completely cleared
- the distance between buildings and trees
- how existing vegetation will be protected during construction
- how and where existing native vegetation will be retained.
- how and when the cleared areas will be replanted

SEE ATTACHED SHEET

- Y/N Is clearing limited to no more the 50% of the significant vegetation?
- Y/N Does the plan include shrub planting on blank walls? – Yes RA
- Y/N Does the plan include a minimum 3 ft landscaped buffer along all lot lines? – Yes RA
- Y/N/A Does the plan include a minimum 15-ft buffer from the top of a bank or drainage?

***Fences**. Pg 31 of the CDM.*

Describe the site's fencing, its purpose, its material, height and visibility to the public.

SEE ATTACHED SHEET

- Y/N Does your plan avoid chain-link fencing?

***Parking**. Should align with the parking plan. Pg 33*39 of the CDM.*

Number of curb cuts? 2. Width of curb cuts? ____ ft. Distance between the curb cuts? _____ ft.

Number of parking spaces? 18 Number parking spaces in front of the building? ____

- Y/N Does your plan avoid parking in front of the building entrances?
- Y/N Are the curb cuts at least 200 ft. apart?
- Y/N Is traffic directed to side streets where possible?
- Y/N Is the parking lot visible from Sterling Hwy, Lake St., Health St., Main St. or Pioneer Ave.?
- Y/N or NA. Is parking lot screened with a 3 ft high solid hedge.
- Y/N or NA.

- Do the driveway widths meet the requirements below?
  Maximum widths of one-lane driveways are 15 ft.
  Maximum widths of two-lane driveways are 24 ft.
  Maximum widths of three-lane driveways are 34 ft.

IF your project has less than 24 parking spaces, move to ***Lighting.***

If more than 24 spaces are required, 10% of the parking area must be landscaped with islands and/or dividers, plus a 10ft buffer along rights-of-way. HCC 21.50.030(f)(1)(b).

If over 24 spaces, the parking lot is _____ sf. The landscaped portion within the parking lot is _____ sf.

- Y/N The parking lot will be paved. Required in the GBD per HCC 21.22.080(b).
- Y/N Is less than 50% of the parking located in the front of the building?
- Y/N or NA. If more than 24 spaces, are treed landscaped pockets provided every 100 ft or less?
- Y/N or NA. If more than 24 spaces, is the minimum 10 ft landscaped buffer provided? HCC 21.50.030(f)

***Parking garages.*** *Pg 35 of the CDM.*

- Y/N Does your project include a parking garage over one-story or which encloses 20 or more vehicles?
  If so, Planning Commission approval is required.

***Lighting.*** *Should align with the Lighting Plan. Pg 7,8 &35-37 of the CDM and HCC 21.59.020.*

Describe the light fixtures, height, their purpose, lighting direction and visual appearance.

REQUIRED LIGHTING FOR WALK WAY AND PARKING AREA TO BE ON
POLES of 15' HEIGHT CUT off LIGHTING.

- Y/N Is light source hidden from public view?
- Y/N Does your lighting avoid excess light throw beyond the pedestrians and/or vehicles area?
- Y/N Does your project avoid mounting outside light fixtures above 15 feet?
- Y/N Does you project avoid parking lot luminaires that are above 28 feet?
- Y/N Does your plan avoid bright lighting on outdoor surfaces of buildings?
- Y/N Does your plan avoid colored lighting on buildings?
- Y/N Does your plan avoid utility lighting?
- Y/N Does your plan avoid lit accents, canopies, color bars, stripes?

***Outdoor furnishings**. Pg 37-38 of the CDM.*

Describe the outdoor furnishings, their location, type, style, manufacturer, series, and color. If in the right-of-way, approval by Public Works and the Planning Commission is required.

URBANSCAPE OR EQUAL

- Y N or NA Are the outdoor furnishings a commercial grade designed for heavy public use?

# Community Design Manual Review

## Site Design

This site has 10 feet of fall over 220 feet of run north to south. Additionally the site had been cleared and pit run fill placed over the entire surface. The topography is relatively flat. This building meets the intent of the design manual by including a plaza like area to the west with a fire pit and boulder placements to break the view into a landscape that compliments the area. Spruce trees front the lot on Smokey Bay Way and Ben Walters Lane providing a visual break in the view shed from off property.

## Prominent Facades- Building scale and Mass

Adjacent buildings are as follows:

- Large storage facility
- Medium multiplex residential
- Small residential (3)
- Small office/business
- Large office

The addition of this new structure is similar to the surrounding buildings in terms of it's scale and bulk. The surrounding trees will help it blend in to its surroundings.

## Miscellaneous Architectural Devices

An attached engawa (a porch capable of being enclosed with sliding panels) will be constructed on the west facing facade. This will denote the main entrance to the building and will provide shelter in inclement weather.

## Walkways

Pedestrian access to the facility will be provided by a walkway at the southwest corner. The walkway will be designated as a pedestrian area through the use of signs and split rail fencing. The walkway is adjacent to the driveway access to the parking lot. Lighting for the walkway is included in the design similar to the lighting for the parking area. The walkway will meet the main building at its southwest corner. Walkway is to be 5 feet in width and a length of approximately 250 feet. Outdoor furniture will be installed to allow for a rest area.

## Outdoor Common Areas

The area to the west of the building and north of the parking area is outdoor common area. There will be a broad, 8 feet, common walkway from the engawa to a fire pit with seating. There will be seating and tables spread out through the area to allow the community to relax outdoors. The walkway is paved with concrete.

## Loading and Delivery Areas

There are two areas of concern. One is on the East side of the building toward the northern end. The other area is on the southern end of the building. We could call these area A and B respectively.
Area A will be used to load finished product for delivery. This will occur infrequently to once per day in the mornings. We are having a fence installed along our northern lot line to provide screening from residences. The existing tree line will provide screening to the East and South.
Area B will be used to bring materials in to the facility and remove spent material for recycling. This is done infrequently to once per day in the early afternoon. These activities are screened by the existing trees to the South.

## Landscaping and Screening

This lot has been cleared of all natural vegetation except for the trees that line the perimeter facing the right of way. Native grasses have been taking hold and will be removed for the development. The alder trees growing in between the spruce will be removed to improve sight lines for the two driveway accesses. Gravel will be installed in the parking area and grasses in the outdoor common area. Low bushes will be planted to fill in areas between the remaining trees and on the edge of the common area. Retained trees at the edge of the property will not be disturbed during construction.
Grasses will be planted within 2 months of erection of the building allowing them to establish a presence for the fall, winter, and into the future.

## Fences

A wood fence will be constructed along the northern lot line to provide screening for the adjoining residential area. It will be 6 feet in height. There will be a surrounding screening installed for the trash dumpster as well.

Conditional Use Information
Supplemental Page

Item b.
The purpose of the Central Business District is primarily to provide a centrally located area within the City for general retail shopping, personal and professional services, educational institutions, entertainment establishments, restaurants and other business uses. Grace Ridge Brewing meets the purpose by providing a retail outlet for our products and other merchandise.

Item c.
Our proposed project will increase property values in the area by providing a new high value business on the currently vacant lot.

Item d.
The lot is surrounded by a multiplex residential, three small residential homes, one small business, one large office building, and a large self storage facility. Our proposed use will not have an adverse impact on the existing uses. Current State law requires that we close our retail outlet before 8 PM and limits entertainment activities.

Item e.
The utilities are adequate for the proposed project. Smokey Bay Way and Ben Walters Lane provide adequate road access to the lot.

Item f.
The lot is surrounded by a multiplex residential, three small residential homes, one small business, one large office building, and a large self storage facility. There will be a minor increase in the traffic due to the new business. The size of the proposed building is moderate in comparison to the surrounding uses. The lot is 1.23 acres in size and screened by trees from the adjoining streets. This proposal will not cause negative effects on the neighborhood.

Item g.
Grace Ridge Brewing currently operates its business in the city. This proposal will not cause detrimental effects to the surrounding area nor the city as a whole.

Item h.
Our project satisfies the goals of the Comprehensive Plan Chapter 4 as follows:

Goal 1. Utilizing a currently vacant lot (infill) and operating our business in an environmentally friendly manner.

Goal 2. Cleaning up the vacant lot and installing a small common area and providing for pedestrian access.

Goal 3. Constructing a high quality building

Our project satisfies the goals of the Comprehensive Plan Chapter 7 as follows:

Goal 1. The project meets the desires and interests of our residents.
Goal 2. The project creates and retains year round employment.
Goal 3. The project has tremendous capacity for growth.
Goal 5. The project strengthens our tourism industry.

RECEIVED
FEB 20 2021
CITY OF HOMER
PLANNING/ZONING

# Grace Ridge Brewing

*Site Proposal*

Wrack Line Design

wracklinedesign@gmail.com
907.299.6568

RECEIVED
FEB 02 2021
CITY OF HOMER
PLANNING/ZONING

Grace Ridge Brewing
Wrack Line Design
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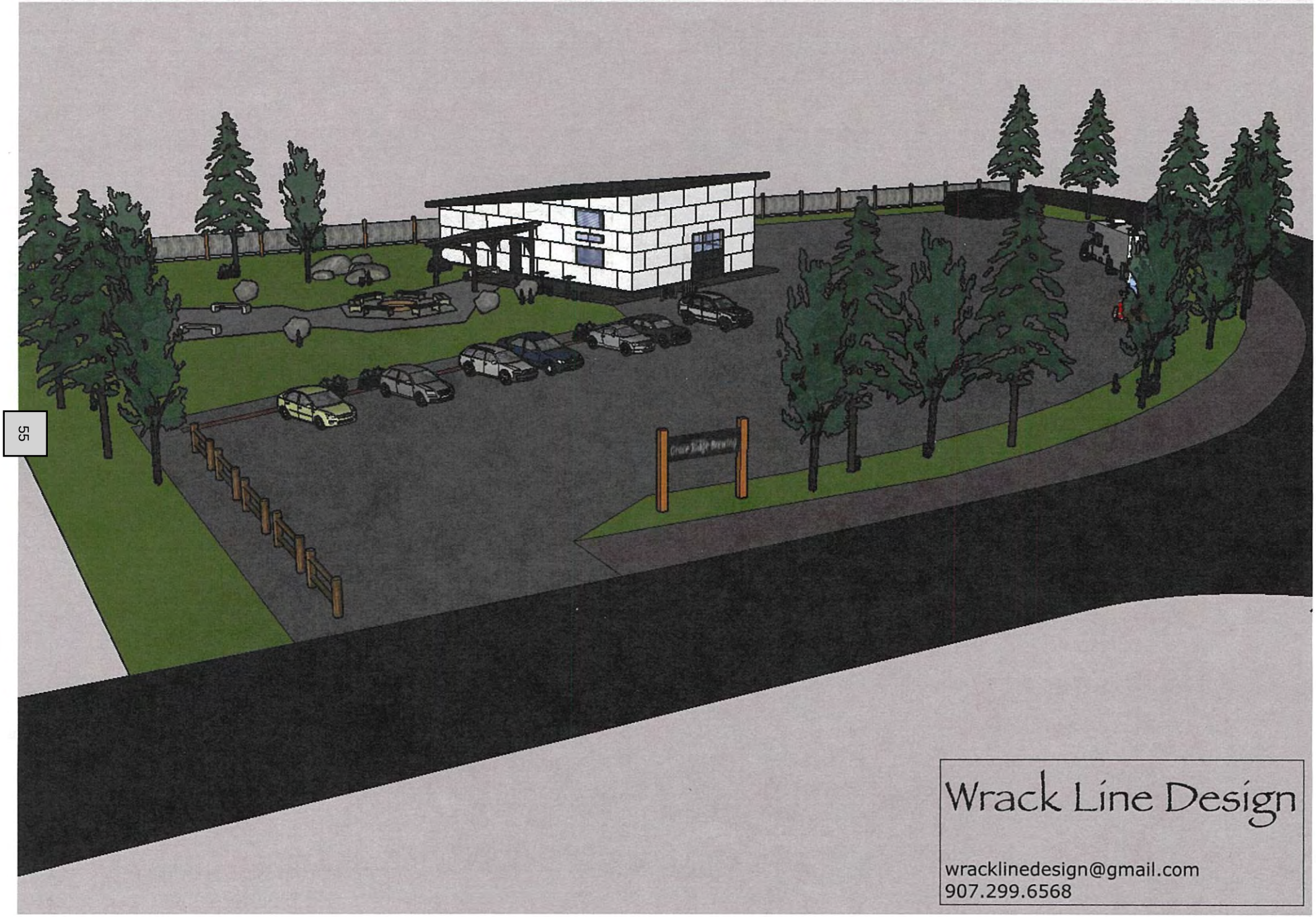
907.299.6568



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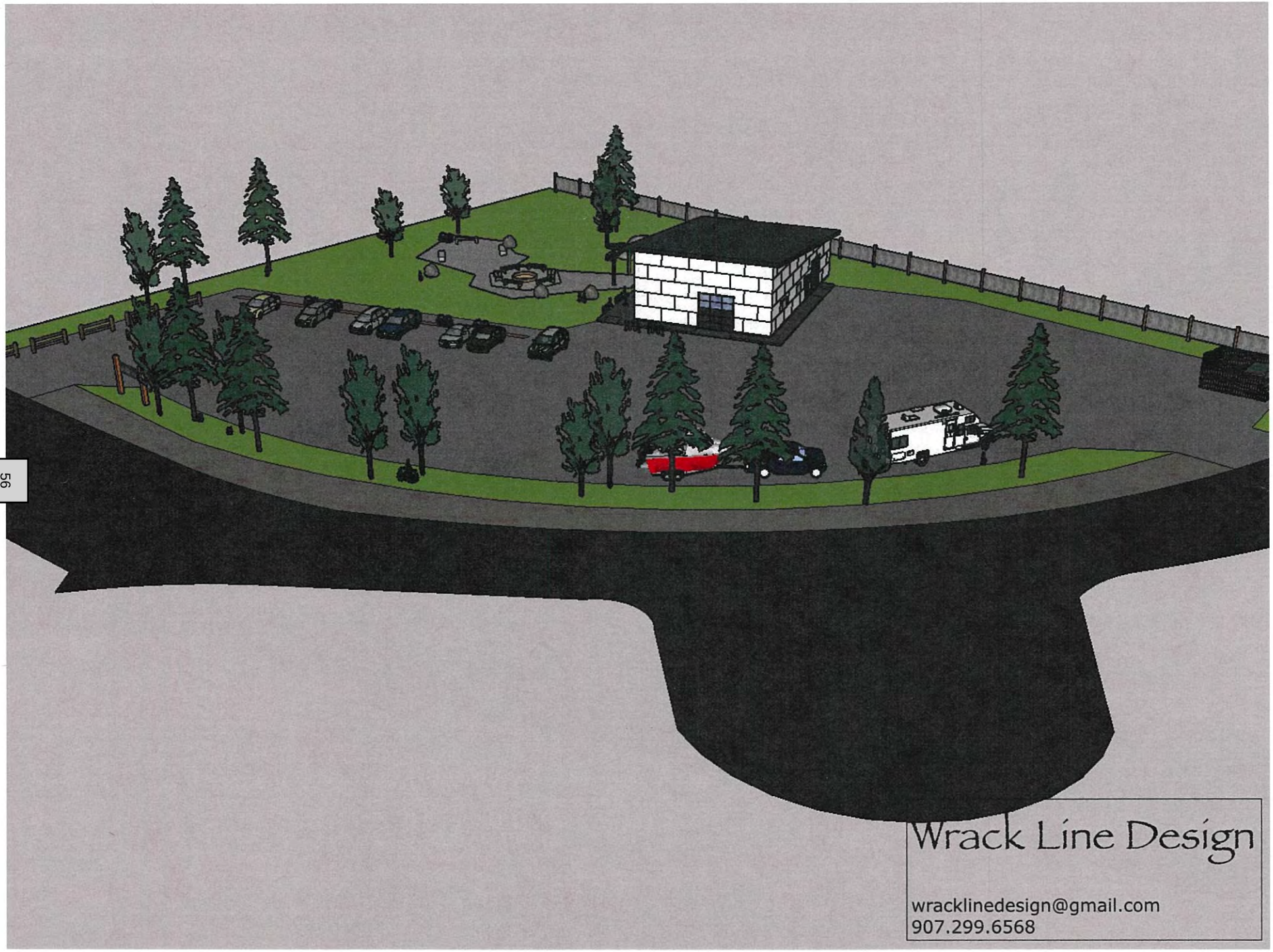
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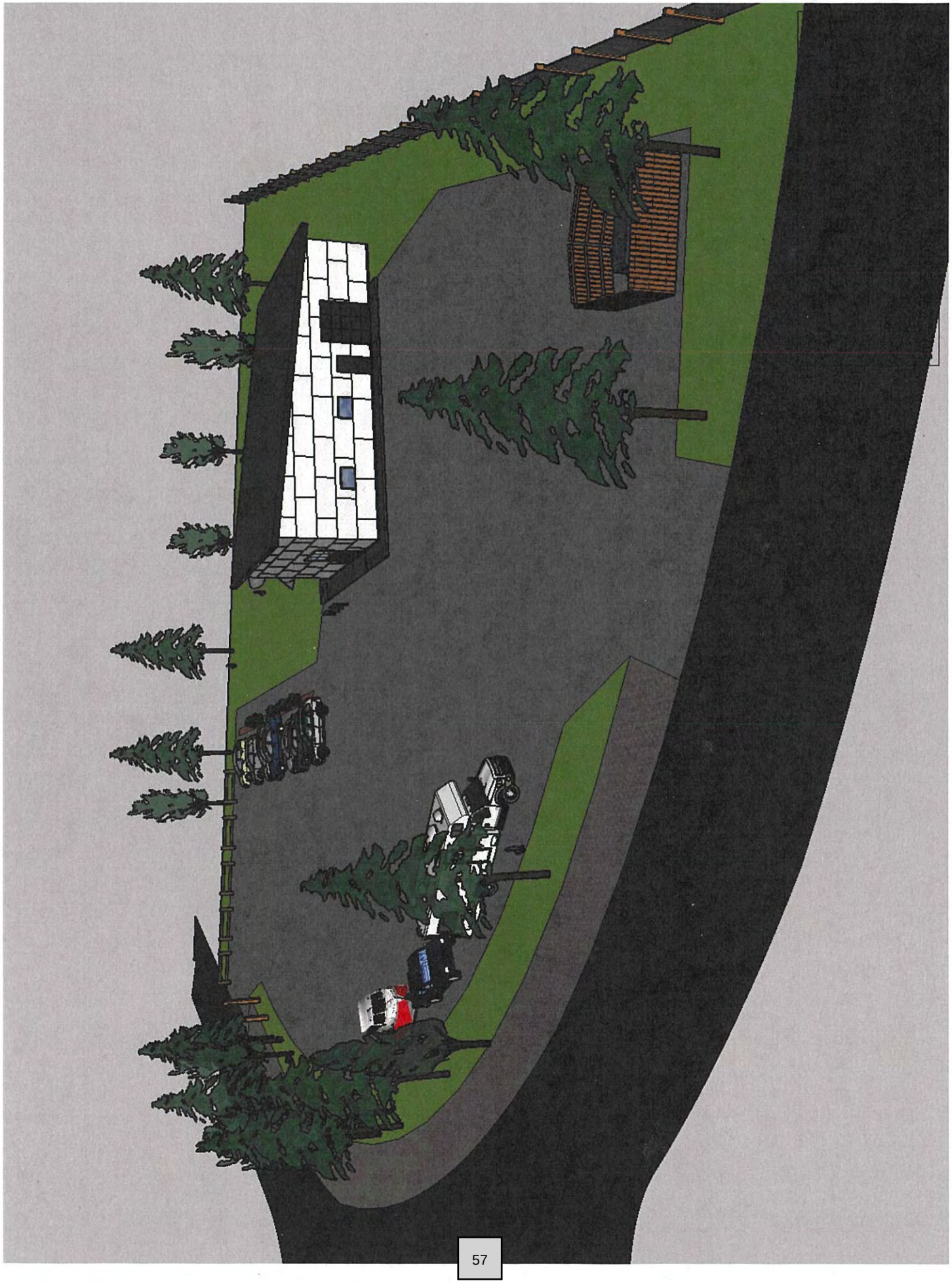

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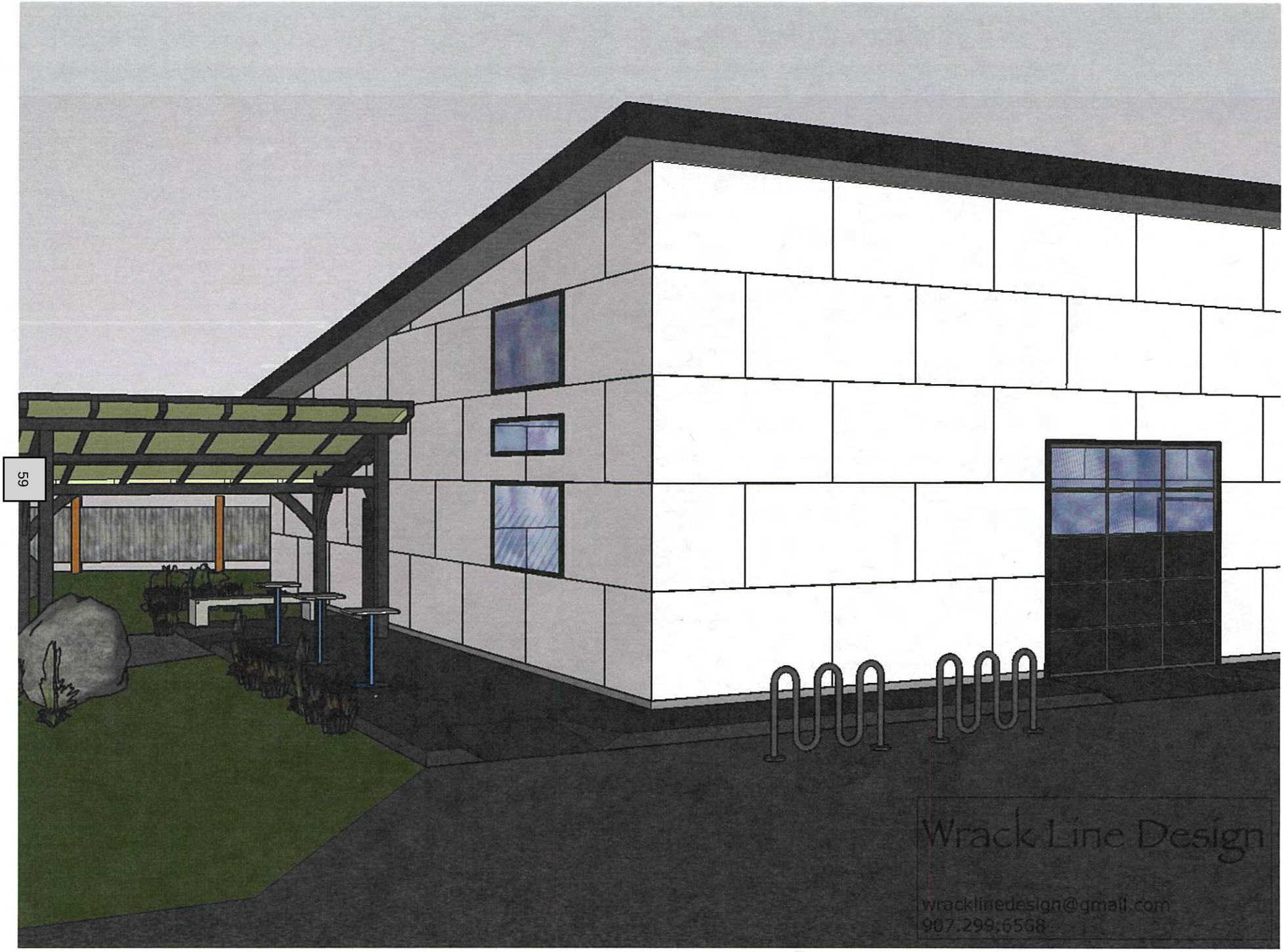
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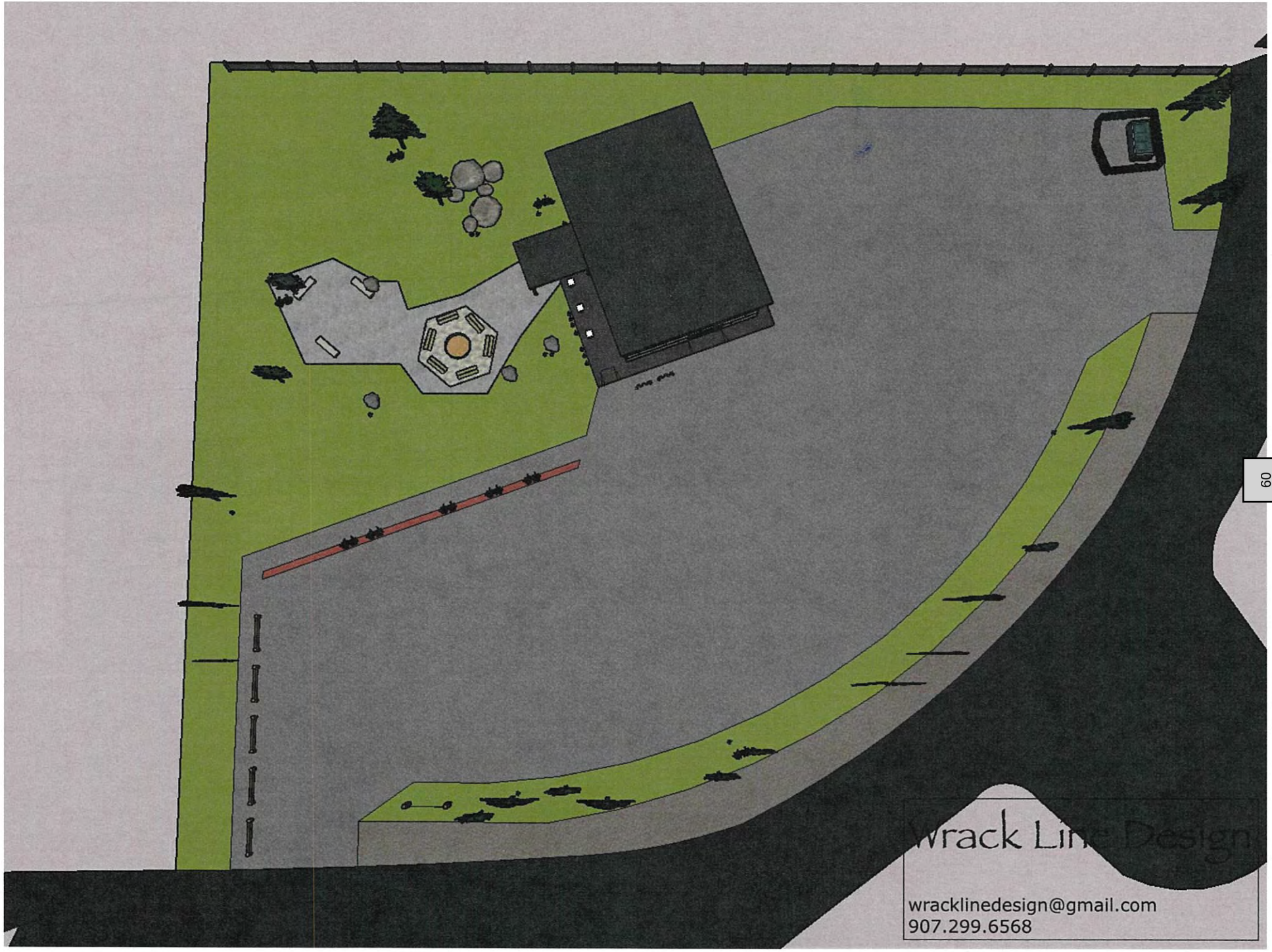
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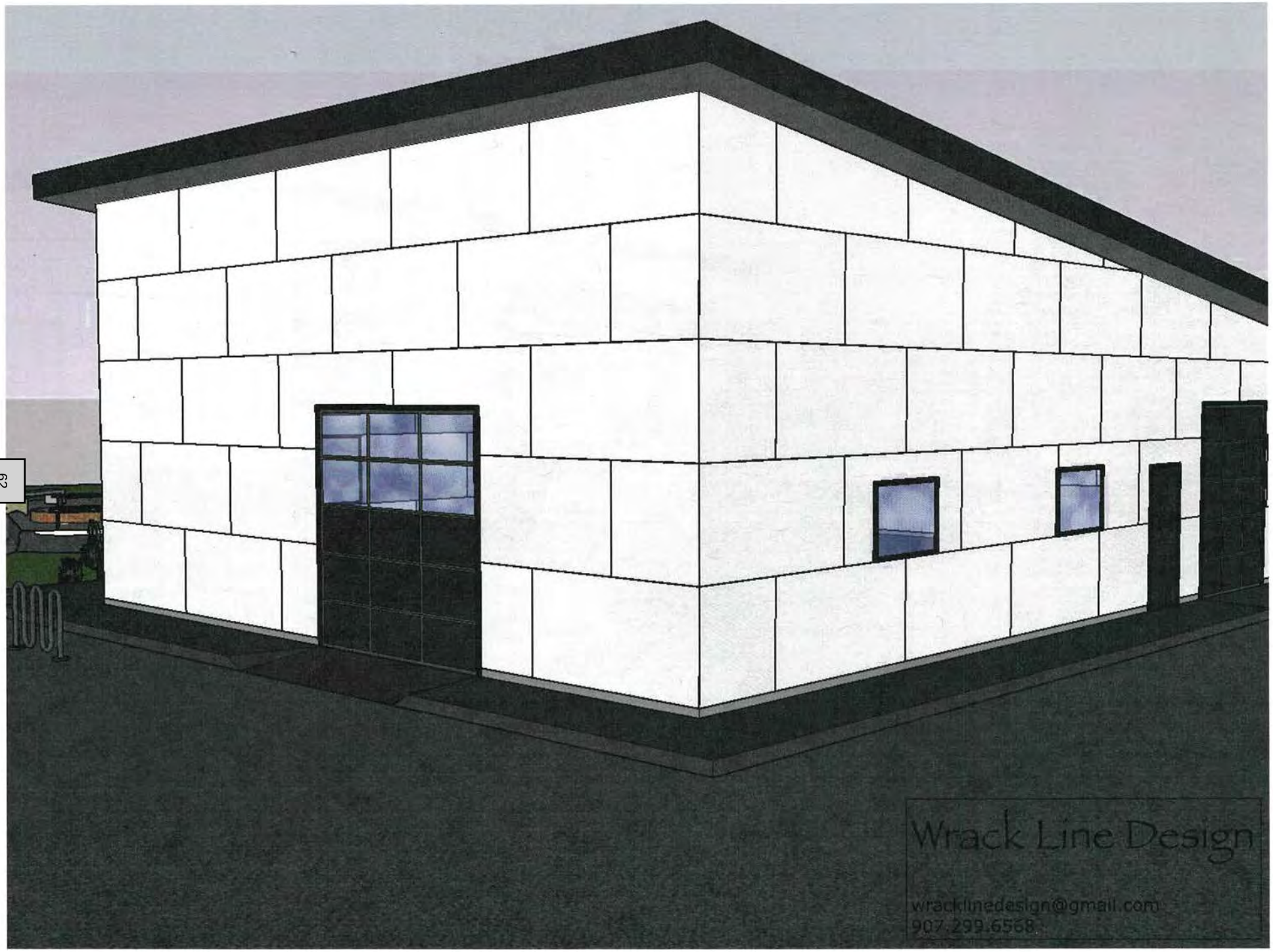
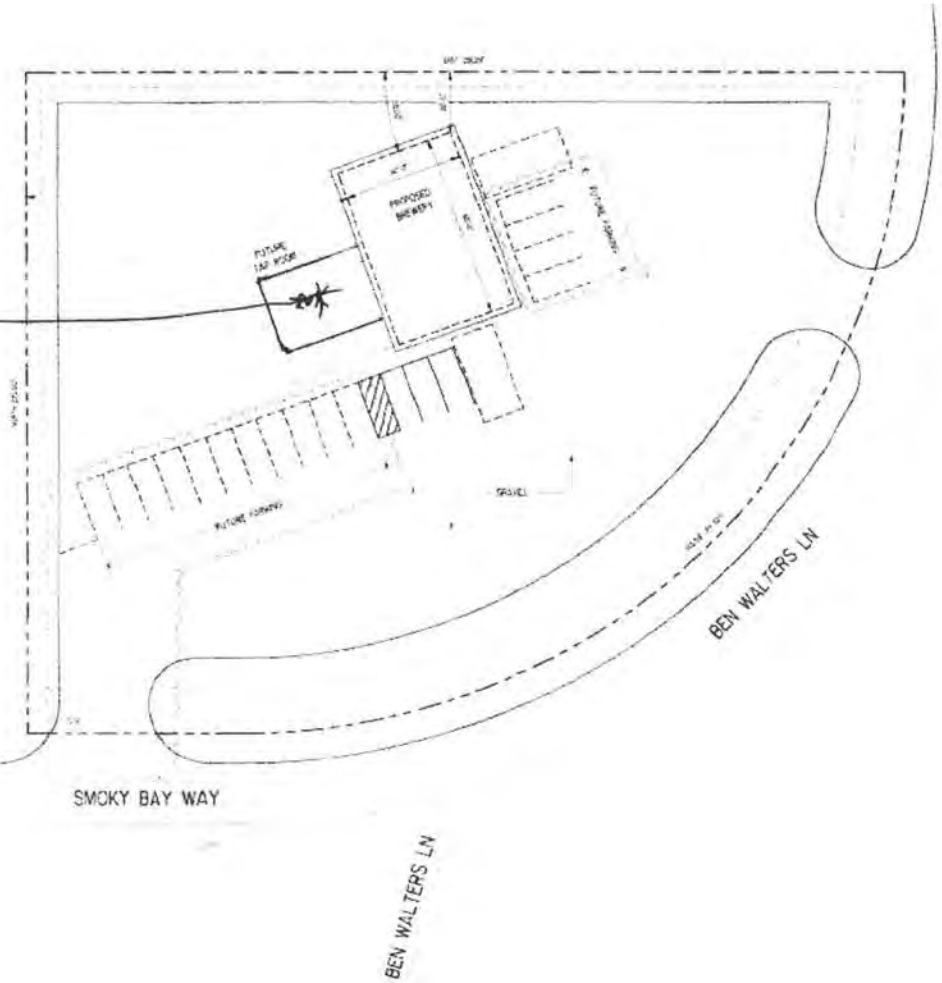

Wrack Line Design
wracklinedesign@gmail.com
907.299.6568

LICENSED
OUTDOOR
AREA
30' x 35'

FENCED AREA
LIMITED ENTRY
MUST BE IN
BREWERY AREA
FOR ID CHECK
BEFORE ENTRY




SITE PLAN
SCALE 1" = 30'-0"

REVISIONS

GRACE RIDGE BREWERY
570 SMOKY BAY WAY
HOMER, ALASKA
JOB NO. 2K2001K

61 NORTHARCHITECTS
3400 SPENARD ROAD SUITE 12
ANCHORAGE, ALASKA 99503
PH. 907-274-4446

SITE PLAN
G1

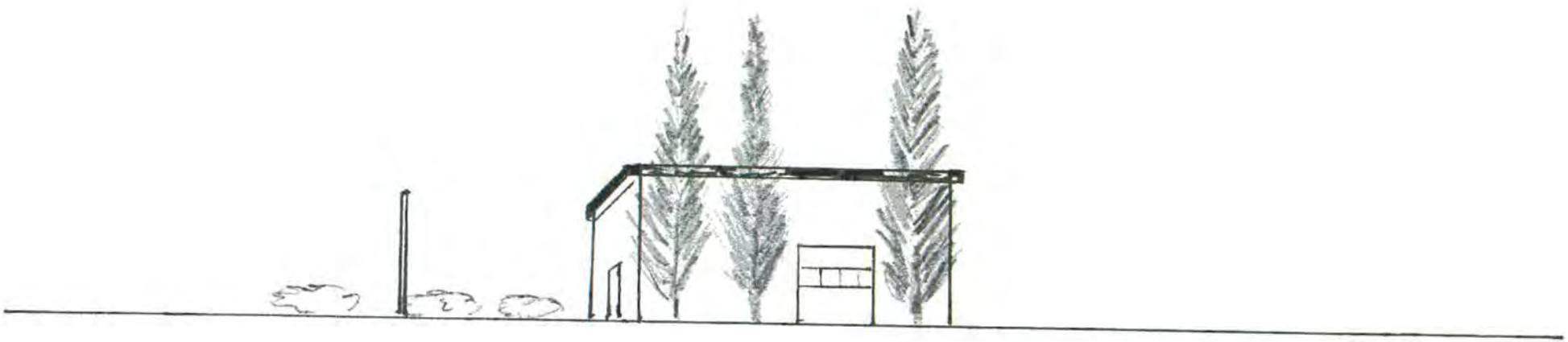
PROPOSED PLANTING PLAN

PICEA PUNGENS FASTIGIATA
COLUMNAR BLUE SPRUCE

VACCINIUM BLUEBERRY POLARIS

8' FROM SOUTH WALL

IN CENTRAL ISLAND AND ALONG SOUTH BOUNDRY OF COMMON SPACE



N

SCALE 1" : 20'

*The building and its setting*:

1. Incorporate building design elements into landscaped areas.
2. Determine allowable building height.
3. Respect natural topography.

**Staff:** Applicant intends to leave existing spruce trees to buffer site from road. Topography is basically flat, height is allowable.

*Building Lighting:*

1. Avoid back lit panels and awnings.
2. Keep light sources hidden from public view.
3. Avoid bright lighting on outdoor surfaces of buildings.
4. Avoid colored lighting on buildings.
5. Apply utility lighting sparingly.
6. Lighted accents, canopies, color bars, stripes, or areas. (used sparingly)

**Staff:** An example of the cut off fixture has been provided.

*Prominent Facades:*

1. Apply all design criteria to prominent facades.

**Staff:** This is challenging for a manufacturing facility with an adjacent curvilinear right-of-way. The wall plane of the south side is acceptable and the structure is not more than 60 ft. in length. The lower pitched roof has eaves that extend as recommended.

*Building Scale and Mass:*

1. Avoid long low wall planes.
2. Provide substantial shifts in walls and roof surfaces.
3. Provide visual terminus to tops of buildings.
4. Avoid unusual or atypical roof forms on all structures.
5. Limit roof areas in the same plane.
6. Reflect mass and scale of adjacent structures.

**Staff:** The neighboring structures vary in size. The structure is similar or slightly smaller than the larger adjacent structures. The structure is not more than 60 ft. long and does not require a shift.

*Parking Garages:* are not included in the proposed development.

*Window and Door Fenestration:*

1. Maintain balance in the placement of windows.
2. Conform to solid/void ratio requirements.
3. Reflective glass is discouraged.

**Staff:** The proposed manufacturing facility has a difficult time adding the recommended window fenestration due to mechanical needs. The applicant proposes providing (3) trees on the south wall and (2) for the east wall with low shrubbery. Additionally, the applicant is looking to have a mural painted on the east wall. This in addition to the trees that are to be left and the right-of-way should provide a good deal of screening and break up the wall plane.

*Siding and Trim:*

1. Use materials which simulate quality traditional building materials.

**Staff:** The applicant is using cement board painted white, which seems to mimic stone tile.

*Miscellaneous Architectural Devices:*

1. Architecturally integrated artwork is encouraged.
2. Avoid architectural gimmicks and fads.
3. Maintain consistency in awning design.
4. Avoid awnings which obscure or dominate the building design.

**Staff:** The applicant proposes commissioning a mural on the east side of the building. This will add color and visual interest to the structure. An engawa (an open roofed structure) is proposed to define the primary entrance to the structure. This will provide a feature that helps to address the long wall plane.

*Roofing materials:*

1. Use roof materials which provide texture and shadow lines.
2. Avoid bright-colored, reflective, or unsightly roofing materials.

**Staff:** The roof is proposed to be metal with 2 inch standing seams running north to south every 16 inches. Its color is matte black. There will be very little reflection of light to the north even in the summer when the sun can extend its height above the eave of the building.

*Color:*

1. Keep field colors subdued.
2. Limit bold or bright trim colors.
3. Finer details may be accented with brighter colors.

**Staff:** The color is within the recommendations and a mural is planned to bring in a bit more color and interest.

*Hierarchy in building design:*

1. Design primary structure as a focal point.
2. Include area for outdoor leisure for Primary Structure.
3. Integrate secondary structures as support buildings.
4. Incorporate multiple tenant spaces into hierarchy of building design.
5. Provide consistent architectural interest to all prominent facades.

**Staff:** N/A One structure is proposed. See outdoor common area for inclusion of the outdoor leisure area.

*Site design:*
On-Site Primary Walkways:

1. Link commercial buildings and the public right-of-ways with primary walkways.
2. Assure that primary walkway width is proportionate to scale of project.
3. Differentiate walkway surface.
4. Accent walkways with significant landscaping.
5. Accent walkways with lighting and seating areas.
6. Identify historic events or structures.

**Staff:** The applicant is providing a pedestrian walk way to access the site that includes a split rail fence to separate from the parking lot.

Secondary Walkways:

1. Link each building with walkways.
2. Assure adequate walkway width.
3. Differentiate walkway surface
4. Avoid walkways which cross parking stalls.

**Staff**: N/A

Outdoor Common Areas

1. Provide common area of a size proportionate to development
2. Choose type of common area best suited to development
3. Locate common areas in view corridors.

4. Provide direct access to common areas with pedestrian walkways
5. Provide outdoor seating where people want to sit.
6. Consider allowed activities in common areas.

**Staff:** An outdoor common area with seating and access to the pedestrian walkway is provided. The common area includes 1,050 square feet of plaza space to be used for consumption, equating to much more than 5% of the gross floor area recommended in the manual.

*Commercial Streetscape*

1. Locate structure near front setback line
2. Orient service and delivery areas away from street
3. Limit the number of curb cuts
4. Limit width of driveways to 15, 24, or 34 feet.
5. Link dissimilar building with common site amenities.
6. Provide covering over walkways where appropriate.
7. Place no more than 50% of required parking in front of buildings
8. Avoid parking in front of building entrance
9. Choose awning designs appropriate to building style.

**Staff:** The lot is pie shaped fronting curvilinear right-of-way. Being a manufacturing facility with a future proposed tap room does not present a practical design near the front setback. The applicant proposes to leave the spruce trees along the right-of-way and will add more in front of the south and west sides of the structure. It is difficult to measure exactly what is considered the 'front' of the building. The public entrance is to the west, the current parking is located off a 45 degree angle and is not directly in front of the entrance.

*Landscaping and screening*

1. Control vegetation to preserve existing significant views
2. Avoid removing significant vegetation.
3. Provide adequate room for retained vegetation.
4. Protect existing trees during construction.
5. Replace lost trees which were intended to be retained.
6. Choose plantings which are compatible with existing vegetation.
7. Locate vegetation to preserve significant views
8. Retain the natural symmetry of trees.
9. Use shrubs or vines on blank walls.
10. Conform to all other landscape criteria in the Homer City Code.

**Staff:** The applicant is proposing to remove alder found intermingled with the spruce along the right-of-way and plans to add plantings to even the coverage and replace trees that my die.

*Fences*

1. Choose fence materials carefully.

2. Limit chain link to non-visible areas.
3. Limit height of fences

**Staff:** The wooden fence to the north is appropriately sized to screen activities from adjacent lots. The split rail fence provides a reasonable delineation between the parking lot and the pedestrian pathway.

*Parking*
1. Use landscaping to screen parking lots and service areas.
2. Limit the number of curb cuts.
3. Limit width of driveway.
4. Screen or enhance parking lots visible from the Sterling Highway, Lake Street, Heath Street, Main Street, or Pioneer Avenue.
5. Incorporate pedestrian ways into parking lots
6. Limit parking in front of buildings
7. Provide trees within larger parking lots
8. Avoid Parking in front of building entrances.
9. Handicap parking.

**Staff:** The landscaping as described above provides screening for the parking lot. The two drives provide opportunities for RV's and vehicles with trailers to navigate the parking lot. Handicapped parking is provided.

*Parking garages*
1. Recess vehicle entries in main façade.
2. Screen parking garage façade
3. Receive Planning Commission approval for parking garages over 1 story or m

**Staff:** N/A

*Outdoor Lighting*
1. Keep light source hidden from public view
2. Use downward directional lighting
3. Avoid lighting large area with a single source.
4. Avoid excessive light throw.
5. Choose approved outdoor light designs
6. Avoid light fixture designs which have an industrial appearance.

**Staff:** An example of the cut off luminaire shows that the fixture is designed to not produce excessive glare or light trespass as required.

*Outdoor furnishings*
1. Use City approved furniture designs on public rights-of-ways.

**Staff:** N/A

***Review of comprehensive plan Land Use Chapter for CUP 21—03 RA 4.14.21***

**GOAL 1:** Guiding Homer's growth with a focus on increasing the supply and diversity of housing, protect community character, encouraging infill, and helping minimize global impacts of public facilities including limiting greenhouse gas emissions.

**Objective A:** Promote a pattern of growth characterized by a concentrated mixed-use center, and a surrounding ring of moderate-to-high density residential and mixed-use areas with lower densities in outlying areas.

***Staff:*** This project supports the concentrated mixed-use center (of town).

**Objective B:** Develop clear and well-defined land use regulations and update the zoning map in support of the desired pattern of growth.

N/A

**Objective C:** Maintain high quality residential neighborhoods; promote housing choice by supporting a variety of dwelling options.

N/A

**GOAL 2:** Maintain the quality of Homer's natural environment and scenic beauty.

**Objective A:** Complete and maintain a detailed "green infrastructure" map for the City of Homer and environs that presents an integrated functional system of environmental features on lands in both public and private ownership and use green infrastructure concepts in the review and approval of development projects.

N/A

**Objective B:** Continue to review and refine development standards and require development practices that protect environmental functions.

N/A

**Objective C:** Provide extra protection for areas with highest environmental value or development constraints.

N/A

**Objective D:** Collaborate with jurisdictions outside the City of Homer, as well as state and federal agencies, to ensure that environmental quality is maintained.

N/A

**GOAL 3:** Encourage high-quality buildings and site development that complement Homer's beautiful natural setting.

**Objective A:** Create a clear, coordinated regulatory framework that guides development.

***Staff:*** Goal 3, objective A implementation items are all directives to review and consider new policies and are not applicable to directly apply to CUP's.

**Objective B**: Encourage high quality site design and buildings.

***Staff:*** High quality features are supported with use of the design manual as supported by objective B.

**GOAL 4:** Support the development of a variety of well-defined commercial/business districts for a range of commercial purposes.

**Objective A:** Encourage a concentrated, pedestrian oriented, attractive business/commerce district in the Central Business District (CBD) following the guidelines found in the Town Center Development Plan.

***Staff:*** This is another item that channels recommendations though the Community Design Manual which is part of the developmental review.

**Objective B:** Discourage strip development along the Sterling Highway and major collectors/thoroughfares.

***Staff:*** This represents the support for infill in the existing CBD and the proposal is not located on a major collector.

**Finding:**

The proposal is not contrary to the applicable land use goals and objects of the Comprehensive Plan

# PUBLIC HEARING NOTICE

Public notice is hereby given that the City of Homer will hold a public hearing by the Homer Planning Commission on Wednesday, April 21, 2021 at 6:30 p.m. via a virtual meeting, on the following matter:

**A request for Conditional Use Permit (CUP) 21-03 to build a 2,400 square foot brewery at 870 Smoky Bay Way, Lot 2 Block 2 Lakeside Village Sub. Amended, Sec. 20, T. 6 S., R. 13 W., S.M. HM 0840005. A CUP is required for light manufacturing, according to HCC 21.18.030(h).**

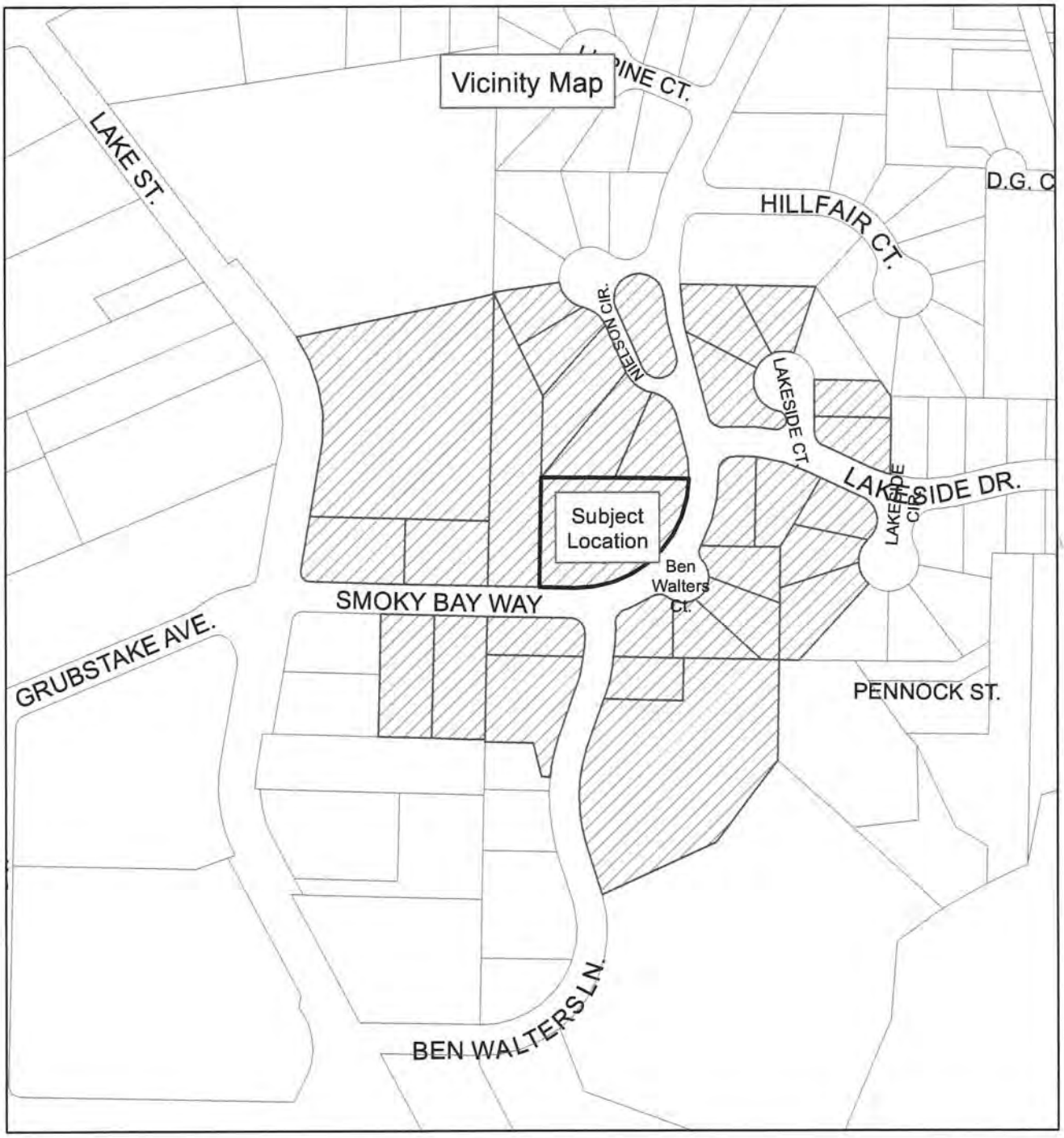
Anyone wishing to view the meeting packet, attend the virtual meeting, or participate in the virtual meeting may do so by visiting the Planning Commission Regular Meeting page on the City's online calendar at *https://www.cityofhomer-ak.gov/calendar*. This information will be posted by 5pm on the Friday before the meeting.

Visit the link above or call the City Clerk's Office to learn how to provide verbal testimony during the meeting via telephone or the Zoom online platform. Written comments can be emailed to *planning@ci.homer.ak.us* or mailed to Homer City Hall, 491 E. Pioneer Ave., Homer, AK, 99603. They may also be placed in the Homer City Hall drop box at any time. Comments must be received by 4pm on the day of the meeting.

If you have questions or would like additional information about the proposal, please contact Rick Abboud with the Planning and Zoning Office at 235-3106. If you have questions about how to participate in the virtual meeting, please contact Renee Krause with the City Clerk's Office at 235-3130.

**NOTICE TO BE SENT TO PROPERTY OWNERS WITHIN 300 FEET OF PROPERTY**

# VICINITY MAP ON REVERSE




City of Homer
Planning and Zoning Department
4/8/21

Request for Conditional Use Permit 21-03
870 Smokey Bay Way

Marked lots are within300 feet and property owners notified.

Feet
0 150 300

N

*Disclaimer:*
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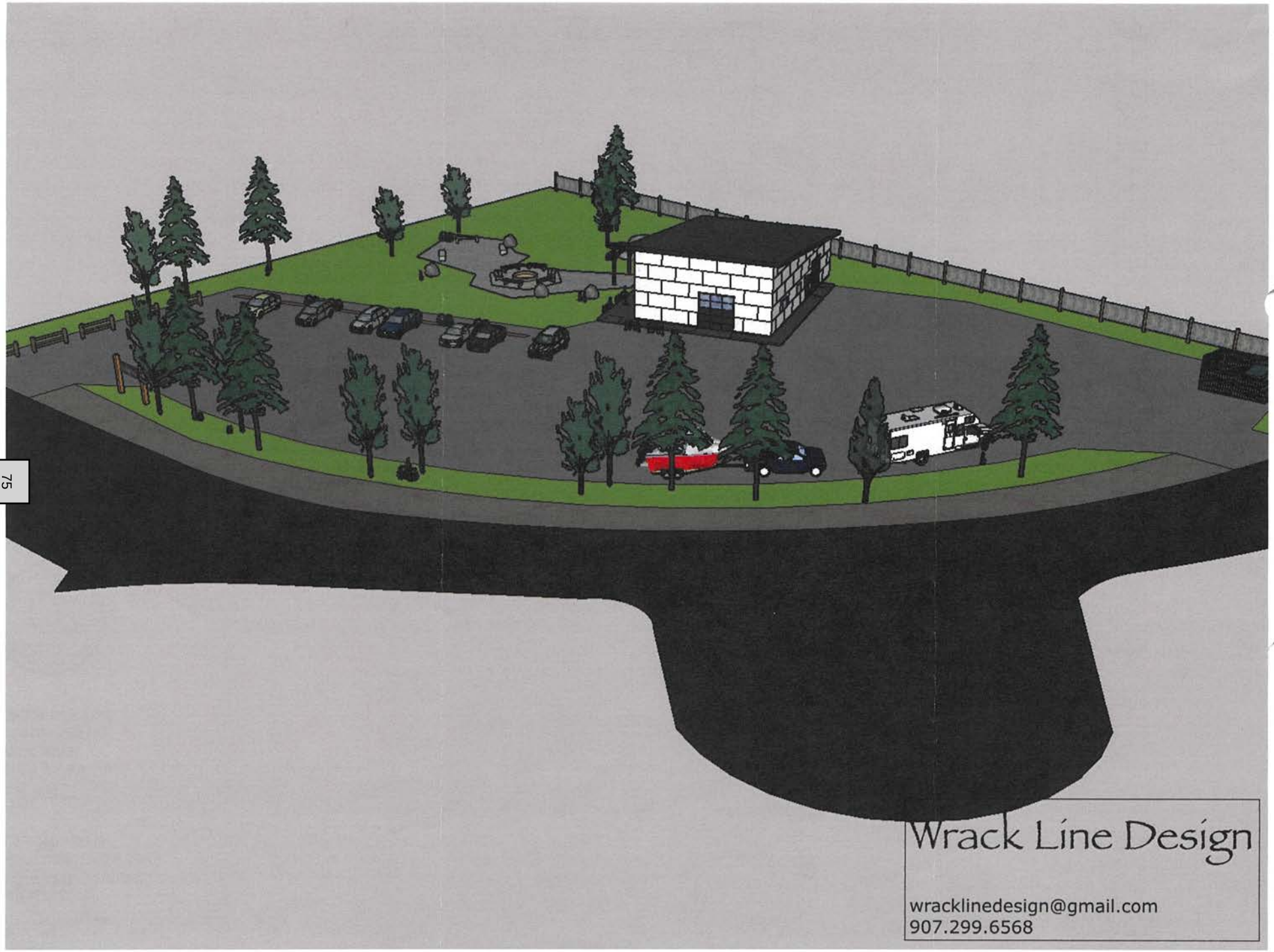
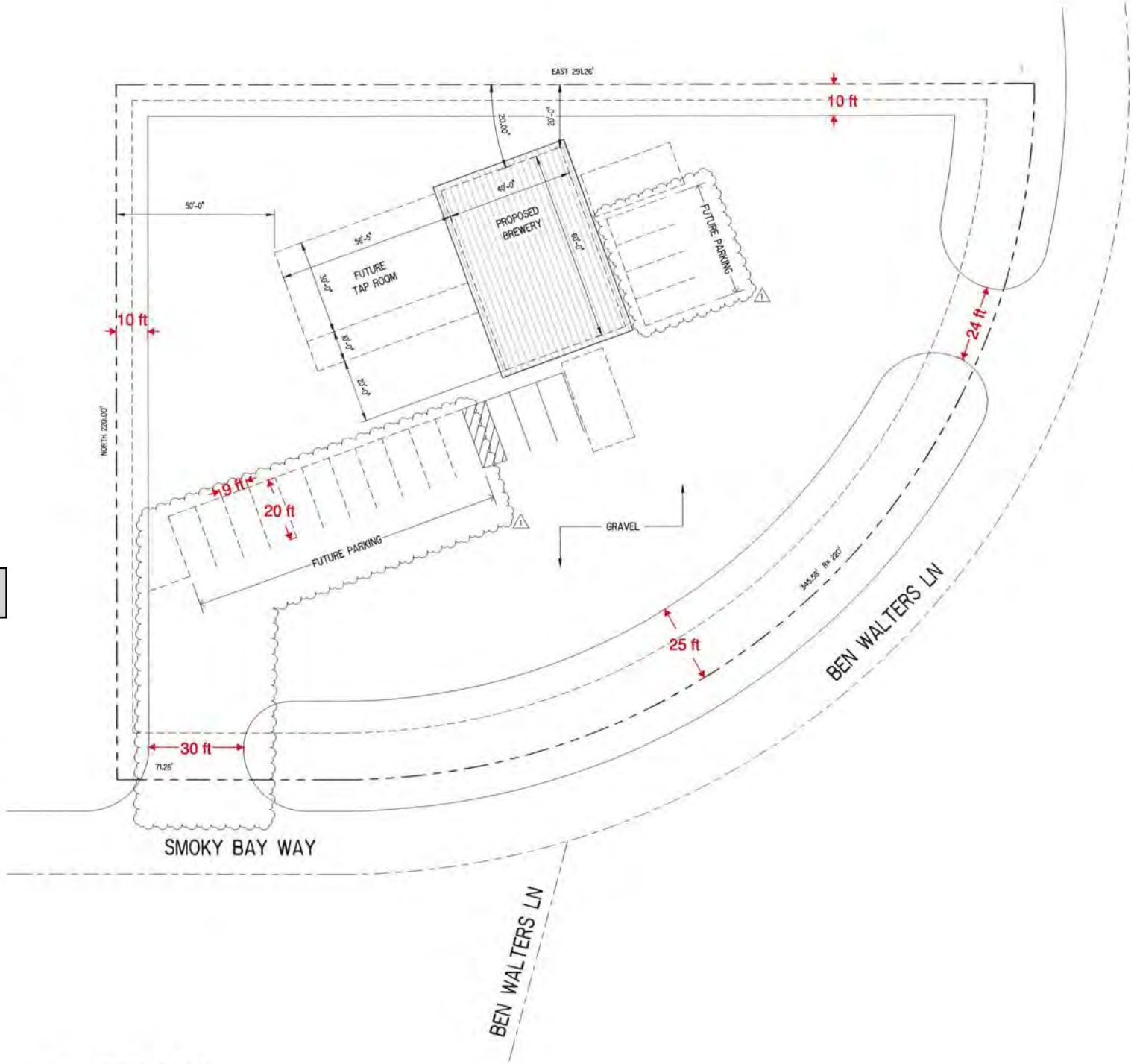

Wrack Line Design
wracklinedesign@gmail.com
907.299.6568




① SITE PLAN
SCALE: 1" = 20'-0"

REVISIONS

| | | |
|---|---|---|
| 1 | 12.22.2020 | REVISION A |
| 2 | 1.20.2021 | REVISION B |

STATE OF ALASKA
CHRISTOPHER S. COLE
A-10145
REGISTERED PROFESSIONAL ENGINEER

GRACE RIDGE BREWERY
870 SMOKY BAY WAY
HOMER, ALASKA
JOB NO. 2K20014

61 NORTHARCHITECTS
3400 SPENARD ROAD SUITE 2
ANCHORAGE, ALASKA 99503
PH. 907-274-4446

DATE: 12.18.2020

SITE PLAN

G1

# Aerial Map

City of Homer
Planning and Zoning Department
April 15, 2021

Request for Conditional Use Permit 21-03
870 Smokey Bay Way

0 100 200 Feet

N

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**KBT Condo Association**
3733 Ben Walters Lane
Suite 1
Homer, AK 99603

April 14, 2021

RECEIVED
APR 1 2021
CITY OF HOME
PLANNING/ZONI

Commissioners
Homer Planning Commission
Re: CUP for Grace Ridge Brewery
*Hand delivered*

Dear Members of the Commission:

As neighbors to the proposed project, we have no objections to the particular activity at the confluence of Smokey Bay Way and Ben Walters Lane and the issuance of a conditional use permit.

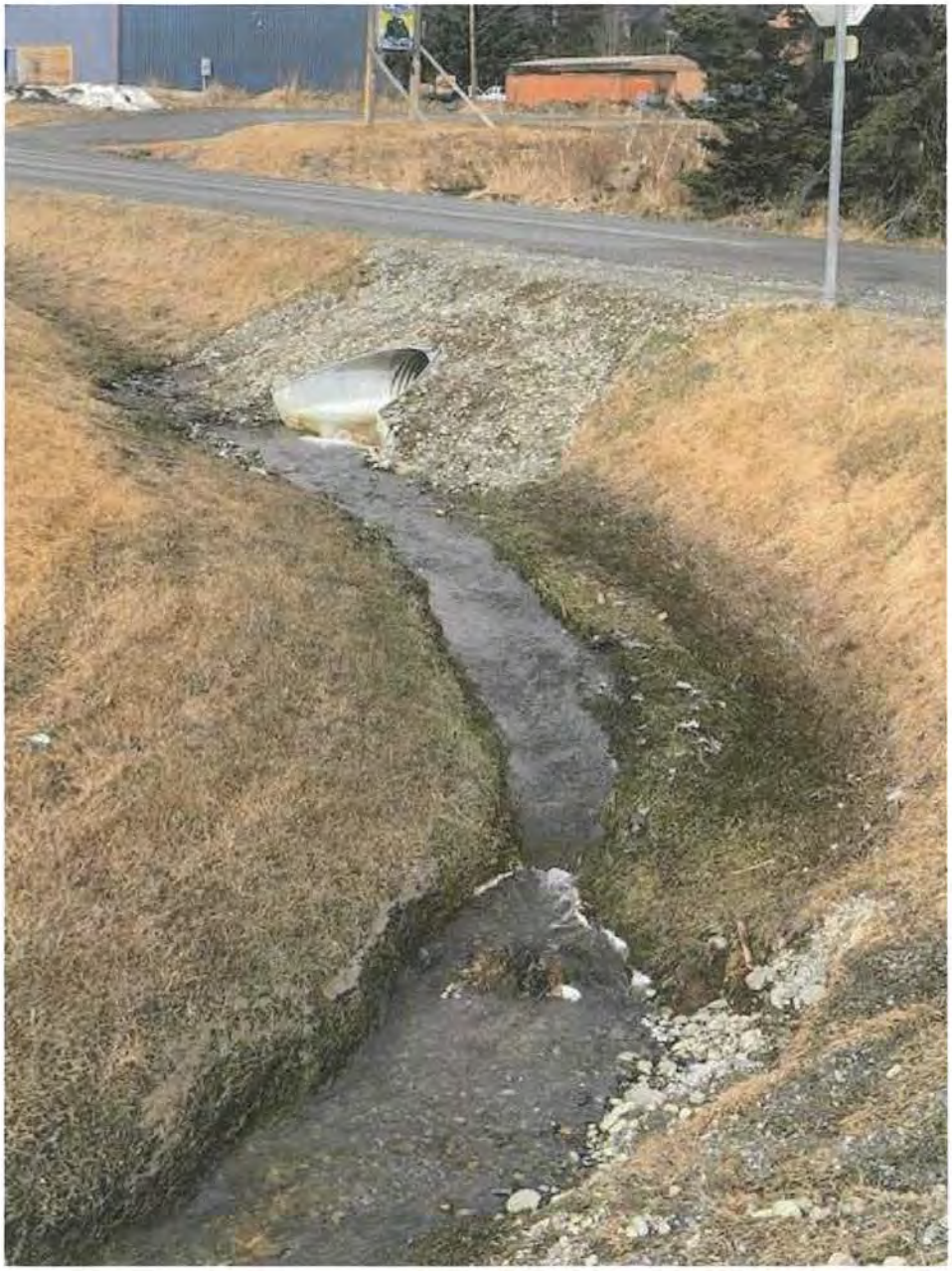
We have a concern about two elements:

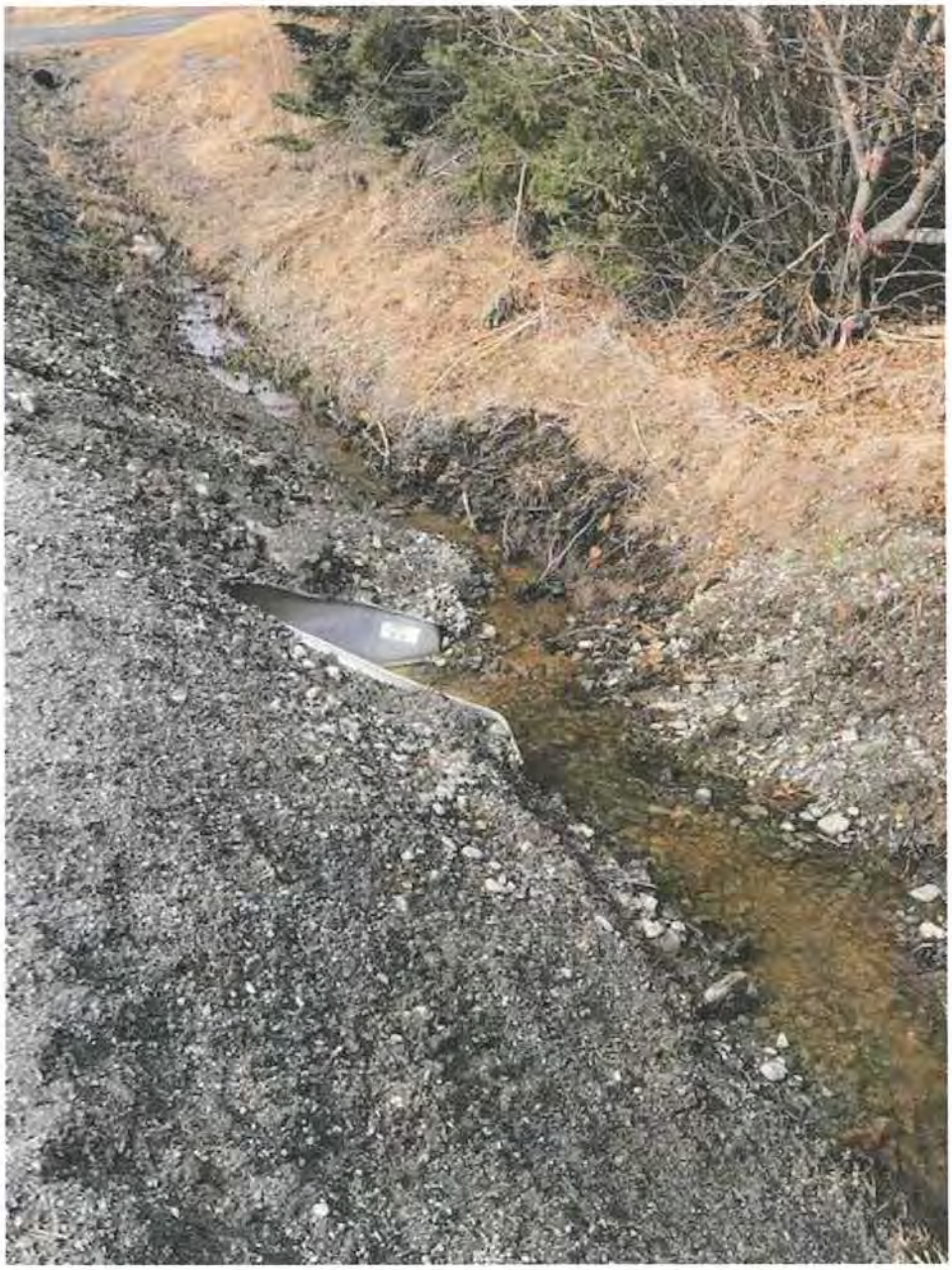
1) The driveway coming off Smokey Bay Way is very close to a three way stop and vehicles exiting the lot onto Smokey Bay Way may lead to traffic confusion; and
2) The drainage of surface and storm water is very convoluted at this intersection, and the subject property has, from time to time, been a place of impoundment when culverts have frozen. The City recently replaced those culverts and perhaps that impoundment condition has been cured.

We would appreciate discussion of these elements as the Commission considers the permit.

Thank you.

Ken Castner
For KBT Condo Assn.





City of Homer
www.cityofhomer-ak.gov

Planning
491 East Pioneer Avenue
Homer, Alaska 99603
Planning@ci.homer.ak.us
(p) 907-235-3106
(f) 907-235-3118

**Staff Report 21-25**

TO: Homer Planning Commission
FROM: Julie Engebretsen, Deputy City Planner
THROUGH: Rick Abboud, City Planner
DATE: 4/21/2021
SUBJECT: Fowler's Bench Preliminary Plat

**Requested Action:** Approval of a Preliminary Plat

**General Information:**

| | | |
|---|---|---|
| Applicants: | John Fowler<br>10305 Main Tree Ct<br>Anchorage, AK 99507 | Seabright Survey+Design<br>1044 East Road Suite A<br>Homer, AK 99603 |
| Location: | Northeast boundary of the City, north of Bear Creek Drive | |
| Parcel ID: | 17406011 | |
| Size of Existing Lot(s): | 70 acres | |
| Size of Proposed Lots(s): | Tract A 55 acres, Tract B 15 acres | |
| Zoning Designation: | Rural Residential District | |
| Existing Land Use: | Vacant | |
| Surrounding Land Use: | North: Vacant, residential<br>South: Residential with some vacant lots<br>East: Residential<br>West: Vacant – Bear Canyon and vacant | |
| Comprehensive Plan: | Goal 1-C-1 Promote infill development in all housing districts. | |
| Wetland Status: | The 2005 wetland mapping shows no wetland areas. | |
| Flood Plain Status: | Zone D, flood hazards undetermined. | |
| BCWPD: | Not within the Bridge Creek Watershed Protection District. | |
| Utilities: | City water and sewer are not available at this time. | |
| Public Notice: | Notice was sent to 27 property owners of 23 parcels as shown on the KPB tax assessor rolls. | |

**Analysis:** This subdivision is within the Rural Residential District. This plat divides a 70 acre parcel into a 55 acre tract and 15 acre tract. Please see the land owner's letter regarding the history and

access to this property. There is a section line on the eastern and northern property lines, and half rights of way are dedicated on the adjoining lots. The Borough may require this plat to dedicate matching rights of way. Whether these remain a section line or are dedicated as city rights of way does not matter; either way the right of public access is ensured and the area cannot be built within.

**Homer City Code 22.10.051 Easements and rights-of-way**

A. The subdivider shall dedicate in each lot of a new subdivision a 15-foot-wide utility easement immediately adjacent to the entire length of the boundary between the lot and each existing or proposed street right-of-way.

**Staff Response:** The plat meets these requirements. No rights of way are proposed for dedication.

B. The subdivider shall dedicate in each lot of a new subdivision any water and/or sewer easements that are needed for future water and sewer mains shown on the official Water/Sewer Master Plan approved by the Council.

**Staff Response:** The plat meets these requirements. No easements requested.

C. The subdivider shall dedicate easements or rights-of-way for sidewalks, bicycle paths or other non-motorized transportation facilities in areas identified as public access corridors in the Homer Non-Motorized Transportation and Trail Plan, other plans adopted by the City Council, or as required by the Kenai Peninsula Borough Code.

**Staff Response:** Dedicate a north south easement per the Homer Non-Motorized Transportation and Trail Plan. A copy of page 38 of the Homer Non-Motorized Transportation and Trails Plan, part of the City's adopted Comprehensive Plan, is attached.

**Preliminary Approval, per KPB code 20.25.070 Form and contents required**. The commission will consider a plat for preliminary approval if it contains the following information at the time it is presented and is drawn to a scale of sufficient size to be clearly legible.

A. Within the Title Block:

1. Names of the subdivision which shall not be the same as an existing city, town, tract or subdivision of land in the borough, of which a plat has been previously recorded, or so nearly the same as to mislead the public or cause confusion;
2. Legal description, location, date, and total area in acres of the proposed subdivision; and
3. Name and address of owner(s), as shown on the KPB records and the certificate to plat, and registered land surveyor;

**Staff Response:** The plat meets these requirements.

B. North point;

**Staff Response:** The plat meets these requirements.

C. The location, width and name of existing or platted streets and public ways, railroad rights-of-way and other important features such as section lines or political subdivisions or municipal corporation boundaries abutting the subdivision;

**Staff Response:** The plat does not meet these requirements. Label Homer and Kachemak City Limits.

D. A vicinity map, drawn to scale showing location of proposed subdivision, north arrow if different from plat orientation, township and range, section lines, roads, political boundaries and prominent natural and manmade features, such as shorelines or streams;

**Staff Response:** The plat meets these requirements. Label Kachemak City.

E. All parcels of land including those intended for private ownership and those to be dedicated for public use or reserved in the deeds for the use of all property owners in the proposed subdivision, together with the purposes, conditions or limitation of reservations that could affect the subdivision;

**Staff Response:** The plat meets these requirements.

F. The names and widths of public streets and alleys and easements, existing and proposed, within the subdivision; [Additional City of Homer HAPC policy: Drainage easements are normally thirty feet in width centered on the drainage. Final width of the easement will depend on the ability to access the drainage with heavy equipment. An alphabetical list of street names is available from City Hall.]

**Staff Response:** The plat meets these requirements.

G. Status of adjacent lands, including names of subdivisions, lot lines, lock numbers, lot numbers, rights-of-way; or an indication that the adjacent land is not subdivided;

**Staff Response:** The plat meets these requirements.

H. Approximate location of areas subject to inundation, flooding or storm water overflow, the line of ordinary high water, wetlands when adjacent to lakes or non-tidal streams, and the appropriate study which identifies a floodplain, if applicable;

**Staff Response:** The plat does not meet these requirements. Show Bear Creek.

I. Approximate locations of areas subject to tidal inundation and the mean high water line;

**Staff Response:** The plat meets these requirements.

J. Block and lot numbering per KPB 20.60.140, approximate dimensions and total numbers of proposed lots;

**Staff Response:** The plat meets these requirements.

K. Within the limits of incorporated cities, the approximate location of known existing municipal wastewater and water mains, and other utilities within the subdivision and immediately abutting thereto or a statement from the city indicating which services are currently in place and available to each lot in the subdivision;

**Staff Response:** The plat meets these requirements. No city services are available.

L. Contours at suitable intervals when any roads are to be dedicated unless the planning director or commission finds evidence that road grades will not exceed 6 percent on arterial streets, and 10 percent on other streets;

**Staff Response:** The plat meets these requirements.

M. Approximate locations of slopes over 20 percent in grade and if contours are shown, the areas of the contours that exceed 20 percent grade shall be clearly labeled as such;

**Staff Response:** The plat does not meet these requirements. Label the banks or tops of steep ravines.

N. Apparent encroachments, with statement indicating how the encroachments will be resolved prior to final plat approval; and

**Staff Response:** The plat meets these requirements. No known encroachments.

O. If the subdivision will be finalized in phases, all dedications for through streets as required by KPB 20.30.030 must be included in the first phase.

**Staff Response:** The plat meets these requirements.

**Public Works Comments:** No comments on this plat.

**Staff Recommendation:**
Planning Commission recommend approval of the preliminary plat with the following comments:

1. Include a plat note stating "Property owner should contact the Army Corps of Engineers prior to any on-site development or construction activity to obtain the most current wetland designation (if any). Property owners are responsible for obtaining all required local, state and federal permits."
2. Dedicate a north south easement per the Homer Non-Motorized Transportation and Trail Plan.
3. Label Homer and Kachemak City Limits on the plat.
4. Label Kachemak City on the vicinity map.
5. Depict the approximate location of Bear Creek.
6. Depict the approximate location of the top of the steep canyon banks.

**Attachments:**
1. Preliminary Plat
2. Letter from property owner
3. Public Notice
4. Aerial Map
5. Page 38, Homer Non-Motorized Transportation and Trails Plan

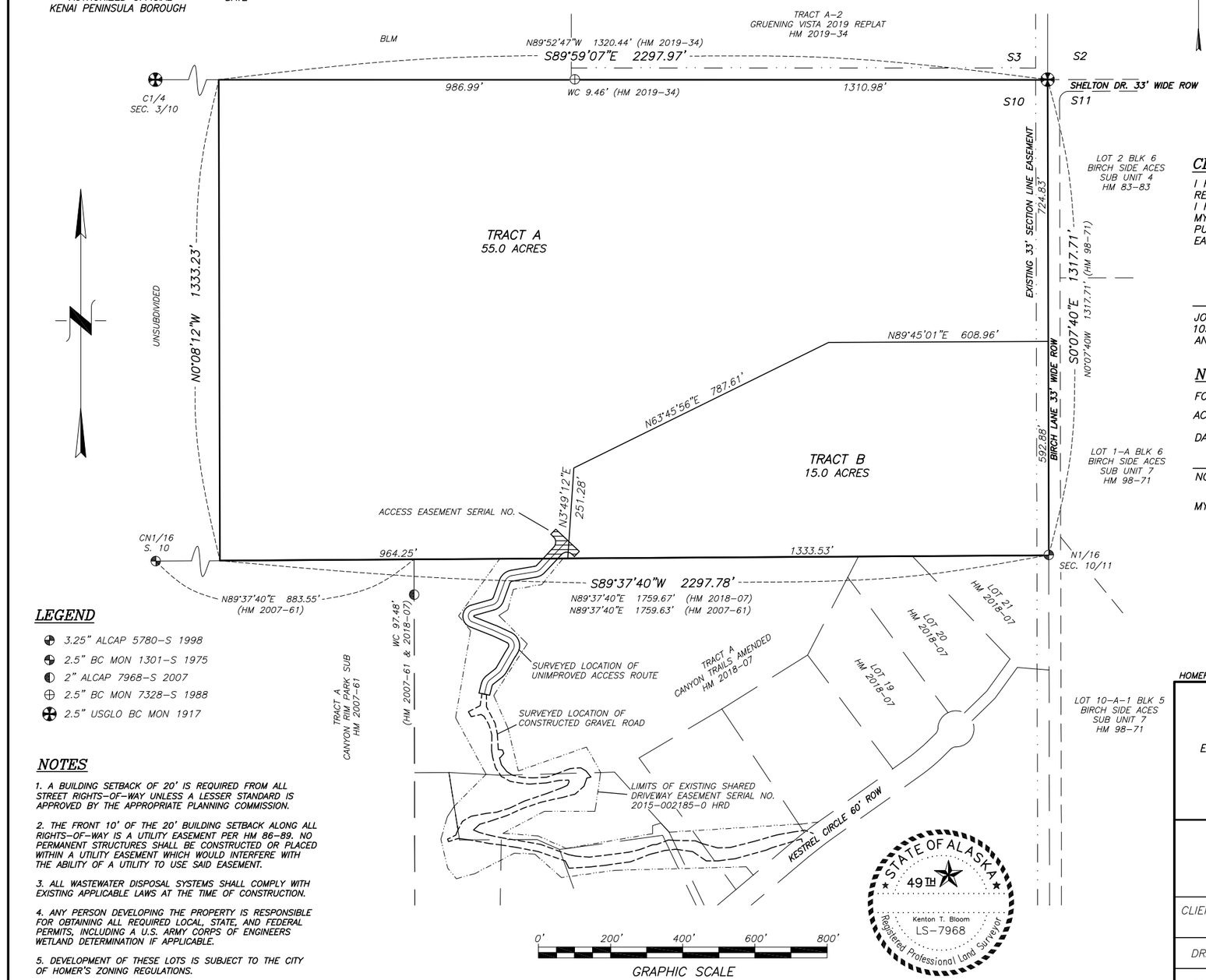
## PLAT APPROVAL

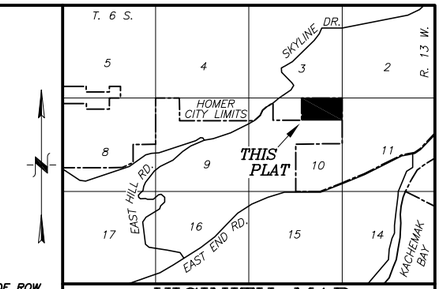
THIS PLAT WAS APPROVED BY THE KENAI PENINSULA BOROUGH PLANNING COMMISSION AT THE MEETING OF _____

BY: _____ _____
AUTHORIZED OFFICIAL DATE
KENAI PENINSULA BOROUGH

## WASTEWATER DISPOSAL

LOTS WHICH ARE AT LEAST 200,000 SQUARE FEET OR NOMINAL FIVE ACRES IN SIZE MAY NOT BE SUITABLE FOR ONSITE WASTEWATER TREATMENT AND DISPOSAL. ANY WASTEWATER TREATMENT OR DISPOSAL SYSTEM MUST MEET THE REGULATORY REQUIREMENTS OF THE ALASKA DEPARTMENT OF ENVIRONMENTAL CONSERVATION.




## VICINITY MAP

SCALE: 1" = 1 MI. U.S.G.S. QUAD. SELDOVIA (C-4 & C-5)

## CERTIFICATE OF OWNERSHIP

I HEREBY CERTIFY THAT I AM THE OWNER OF THE REAL PROPERTY SHOWN AND DESCRIBED HEREON, THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION, AND BY MY FREE CONSENT DEDICATE ALL RIGHTS OF WAY AND PUBLIC AREAS TO PUBLIC USE, AND GRANT ALL EASEMENTS TO THE USE SHOWN HEREON.

_____
JOHN G FOWLER
10305 MAIN TREE CT
ANCHORAGE, AK 99507

## NOTARY'S ACKNOWLEDGMENT

FOR: _____

ACKNOWLEDGED BEFORE ME THIS _____

DAY OF _____, 2021

_____
NOTARY PUBLIC FOR ALASKA

MY COMMISSION EXPIRES _____

## LEGEND

- 3.25" ALCAP 5780-S 1998
- 2.5" BC MON 1301-S 1975
- 2" ALCAP 7968-S 2007
- 2.5" BC MON 7328-S 1988
- 2.5" USGLO BC MON 1917

## NOTES

1. A BUILDING SETBACK OF 20' IS REQUIRED FROM ALL STREET RIGHTS-OF-WAY UNLESS A LESSER STANDARD IS APPROVED BY THE APPROPRIATE PLANNING COMMISSION.

2. THE FRONT 10' OF THE 20' BUILDING SETBACK ALONG ALL RIGHTS-OF-WAY IS A UTILITY EASEMENT PER HM 86-89. NO PERMANENT STRUCTURES SHALL BE CONSTRUCTED OR PLACED WITHIN A UTILITY EASEMENT WHICH WOULD INTERFERE WITH THE ABILITY OF A UTILITY TO USE SAID EASEMENT.

3. ALL WASTEWATER DISPOSAL SYSTEMS SHALL COMPLY WITH EXISTING APPLICABLE LAWS AT THE TIME OF CONSTRUCTION.

4. ANY PERSON DEVELOPING THE PROPERTY IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LOCAL, STATE, AND FEDERAL PERMITS, INCLUDING A U.S. ARMY CORPS OF ENGINEERS WETLAND DETERMINATION IF APPLICABLE.

5. DEVELOPMENT OF THESE LOTS IS SUBJECT TO THE CITY OF HOMER'S ZONING REGULATIONS.

HOMER RECORDING DISTRICT KPB FILE NO. 2021-XXX

# FOWLER'S BENCH

A SUBDIVISION OF THE N1/2 NE1/4 SEC 10
EXCLUDING THE W 10 ACRES, T. 6 S., R. 13 W.,
CITY OF HOMER, SEWARD MERIDIAN,
KENAI PENINSULA BOROUGH,
THIRD JUDICIAL DISTRICT, ALASKA

CONTAINING 70.000 ACRES

SEABRIGHT SURVEY + DESIGN
KENTON T. BLOOM, P.L.S.
1044 EAST ROAD, SUITE A
HOMER, ALASKA 99603
(907) 299-1091

CLIENTS: JOHN G FOWLER
10305 MAIN TREE DR. ANCHORAGE, AK 99507

| | | |
|---|---|---|
| DRAWN BY: KK | CHKD BY: KB | JOB #2021-04 |
| DATE: 04/2021 | SCALE: 1"=200' | SHEET #1 OF 1 |

**From:** john fowler
**To:** Travis Brown
**Subject:** Fwd: cover letter
**Date:** Friday, April 2, 2021 1:30:50 PM

---

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

---------- Forwarded message ---------
From: **john fowler** <johnfowlerski@gmail.com>
Date: Thu, Apr 1, 2021 at 7:08 AM
Subject: cover letter
To: Julie Engebretsen <JEngebretsen@ci.homer.ak.us>

To the city of Homer Planning department and commission,

I am sending this as a cover letter to my proposed platt of my 70 acre parcel in Homer.

In the past when we were getting approvals for the Canyon trails subdivision The borough denied our platt that brought a dedicated road to my 70 acre property.

Recently the Borough allowed the vacation of an easement cementing that there could be no road to my property from above. These were the only two practicable access to my 70 acre parcel.

I am now simply wanting a most modest use of my 70 acre parcel, turning it into two non subdividable parcels by deed restriction. These two parcels would use the existing shared driveway easement that currently provides access to the 70 acre parcel. There are two major benches on this property and each parcel owner would enjoy their own private bench.

I believe that is the intention of the planning commission to allow folks a reasonable use of their property, and I believe that turning my 70 acre parcel into two large non subdividable parels is by any measure a modest and reasonable proposal.

Thank You for your service and your time in this matter,

Sincerely,

John Fowler
907 529-8090

# NOTICE OF SUBDIVISION

Public notice is hereby given that a preliminary plat has been received proposing to subdivide or replat property. You are being sent this notice because you are an affected property owner within 500 feet of a proposed subdivision and are invited to comment.

Proposed subdivision under consideration is described as follows:

**Fowler's Bench Preliminary Plat**

The location of the proposed subdivision affecting you is provided on the attached map. A preliminary plat showing the proposed subdivision may be viewed at the City of Homer Planning and Zoning Office. Subdivision reviews are conducted in accordance with the City of Homer Subdivision Ordinance and the Kenai Peninsula Borough Subdivision Ordinance. A copy of the Ordinance is available from the Planning and Zoning Office. **Comments should be guided by the requirements of those Ordinances.**

A public meeting will be held by the Homer Planning Commission on Wednesday, April 21, 2021 at 6:30 p.m. The meeting will be held virtually.

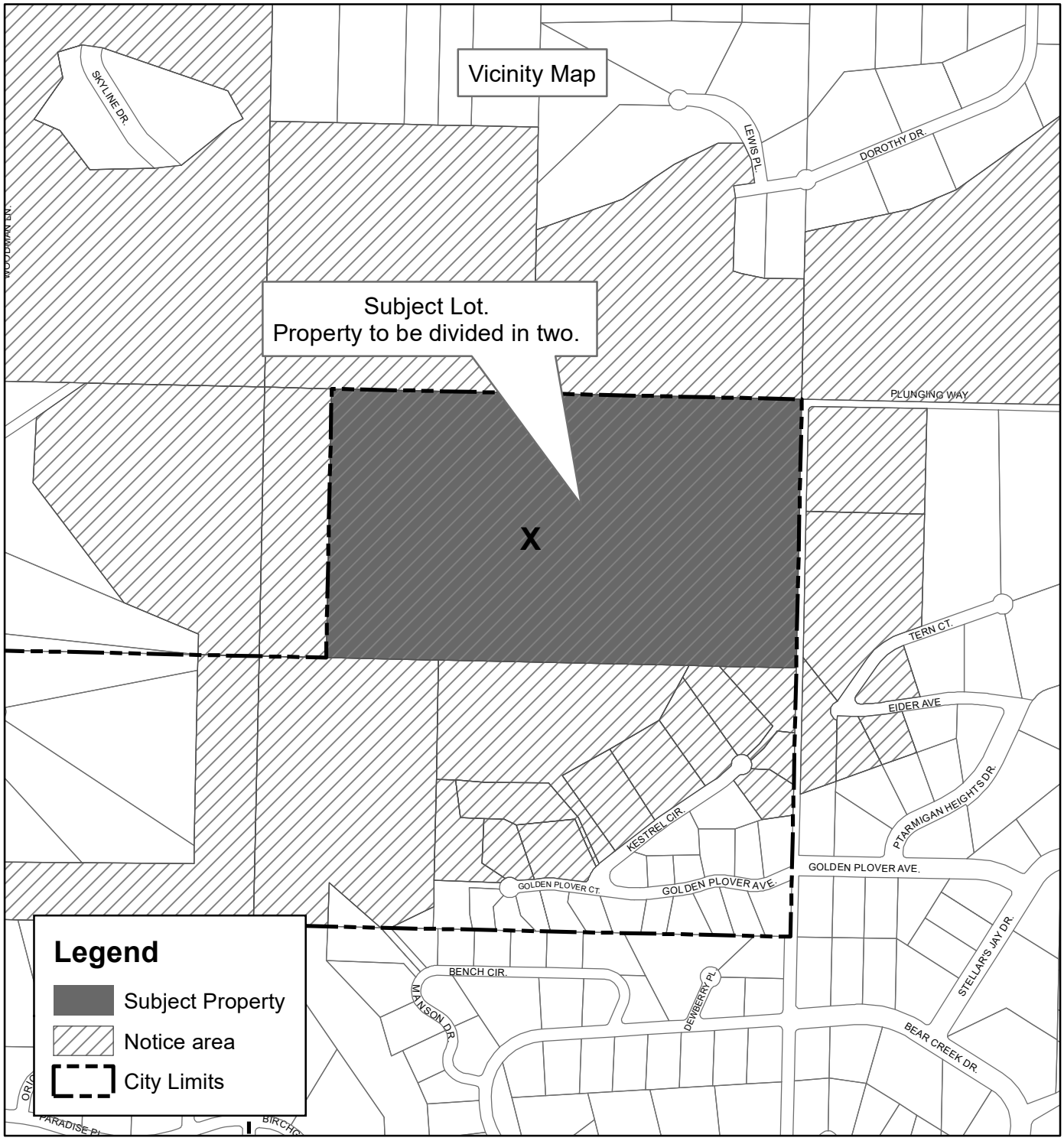
Anyone wishing to view the complete proposal, attend or participate in the virtual meeting may do so by visiting the Planning Commission Regular Meeting page on the City's online calendar at *https://www.cityofhomer-ak.gov/calendar*. The proposal and meeting information will be posted by 5pm on the Friday before the meeting.

Visit the link above or call the City Clerk's Office to learn how to provide verbal testimony during the meeting via telephone or the Zoom online platform. Written comments can be emailed to *planning@ci.homer.ak.us* or mailed to Homer City Hall, 491 E. Pioneer Ave., Homer, AK, 99603. They may also be placed in the Homer City Hall drop box at any time. Comments must be received by 4pm on the day of the meeting.

If you have questions or would like additional information about the proposal, please contact Rick Abboud at the Planning and Zoning Office at 235-3106. If you have questions about how to participate in the virtual meeting, please contact the City Clerk's Office at 235-3130.

**NOTICE TO BE SENT TO PROPERTY OWNERS WITHIN 500 FEET OF PROPERTY.**

# VICINITY MAP ON REVERSE




City of Homer
Planning and Zoning Department
April 6, 2021

## Request for Fowler's Bench Preliminary Plat

Marked lots are within 500 feet and property owners notified.

Feet
0 250 500 1,000 1,500

N

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BY: _____ _____
AUTHORIZED OFFICIAL DATE
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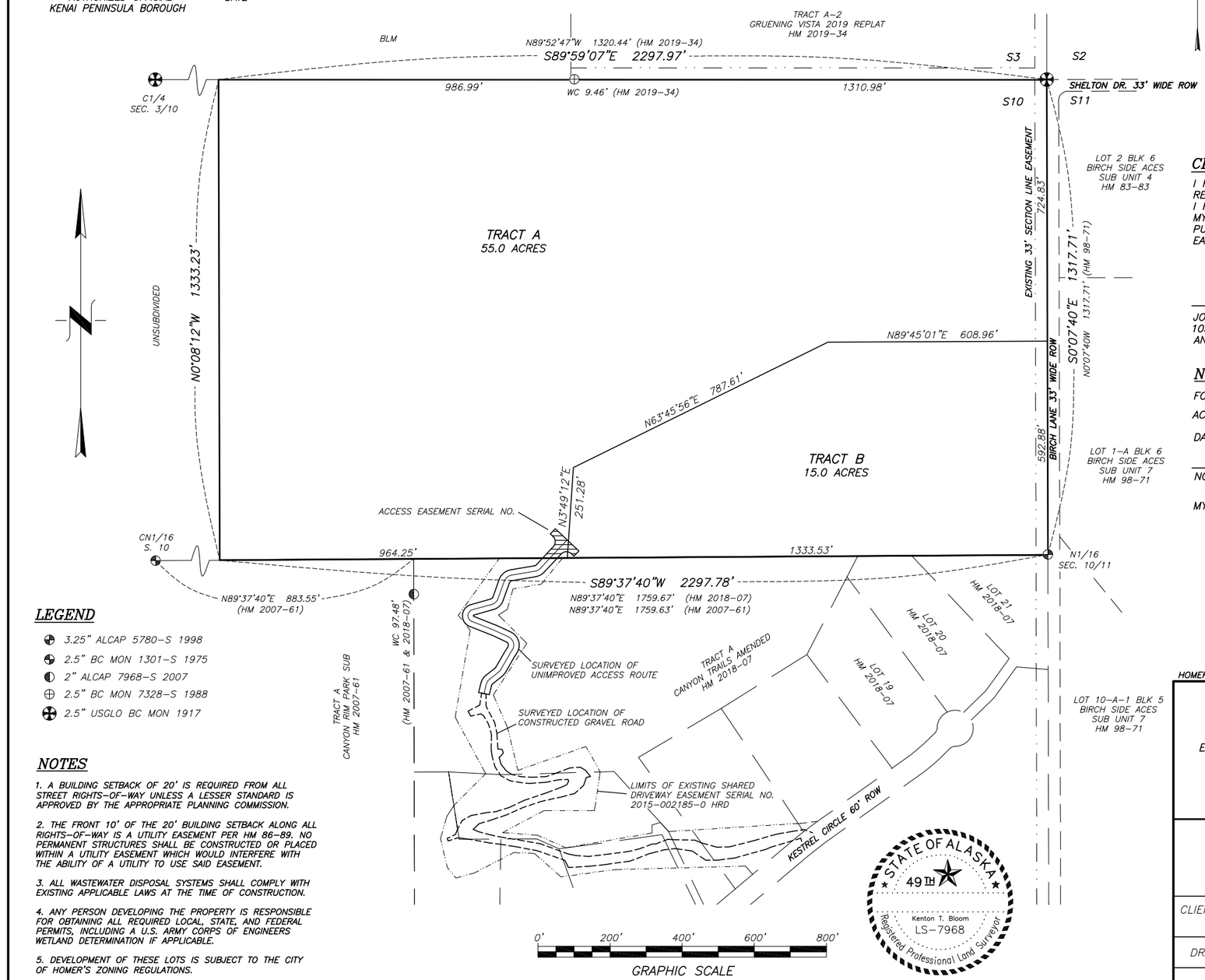


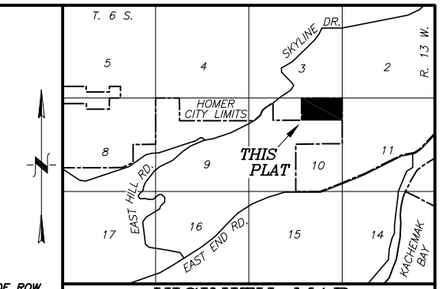


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JOHN G FOWLER
10305 MAIN TREE CT
ANCHORAGE, AK 99507

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FOR: _____

ACKNOWLEDGED BEFORE ME THIS _____

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HOMER RECORDING DISTRICT KPB FILE NO. 2021-XXX

# FOWLER'S BENCH

A SUBDIVISION OF THE N1/2 NE1/4 SEC 10
EXCLUDING THE W 10 ACRES, T. 6 S., R. 13 W.,
CITY OF HOMER, SEWARD MERIDIAN,
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CLIENTS: JOHN G FOWLER
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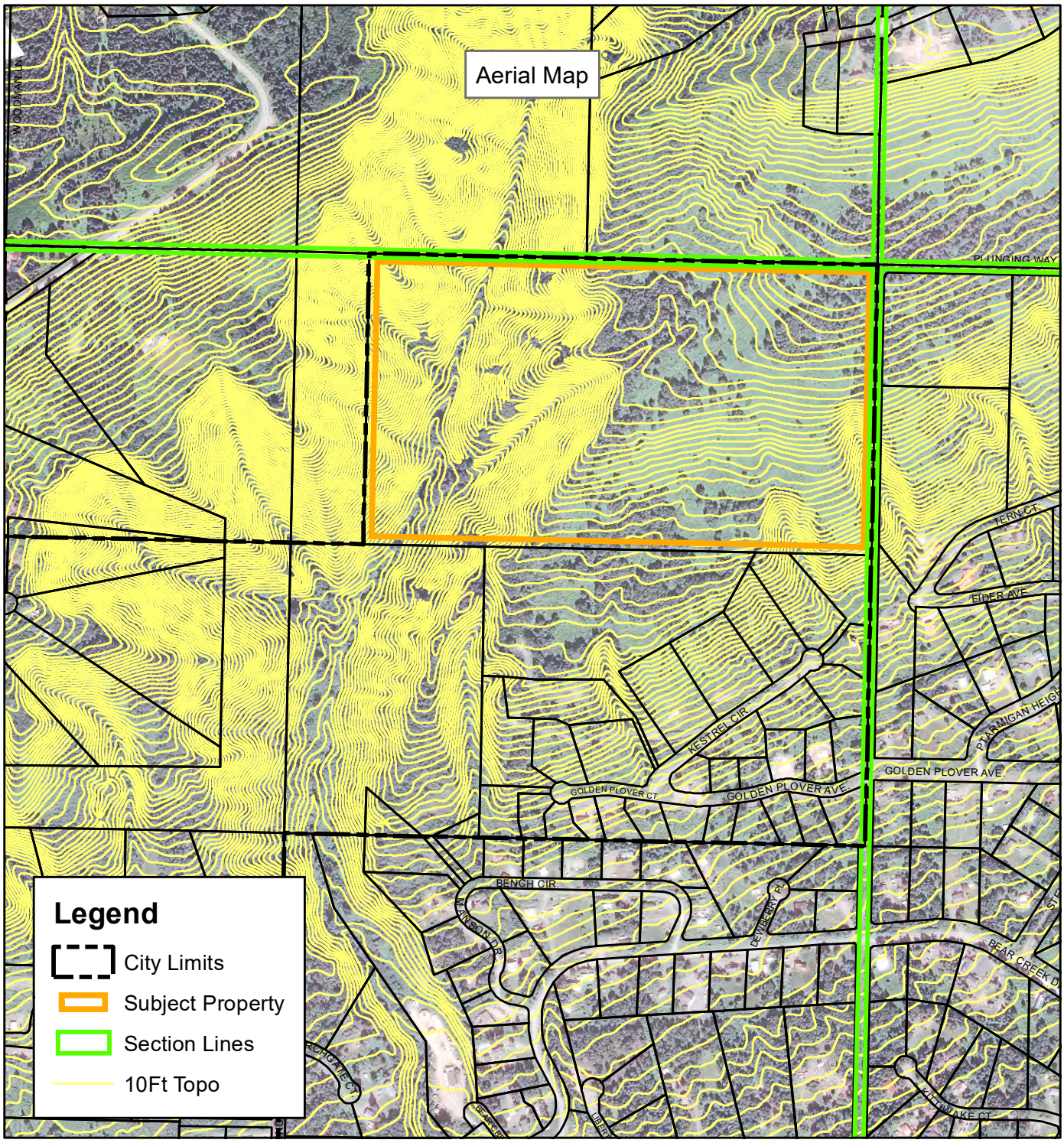
| | | |
|---|---|---|
| DRAWN BY: KK | CHKD BY: KB | JOB #2021-04 |
| DATE: 04/2021 | SCALE: 1"=200' | SHEET #1 OF 1 |




City of Homer
Planning and Zoning Department
April 14, 2021

**Request for Fowler's Bench Preliminary Plat**

0 250 500 1,000 Feet

N

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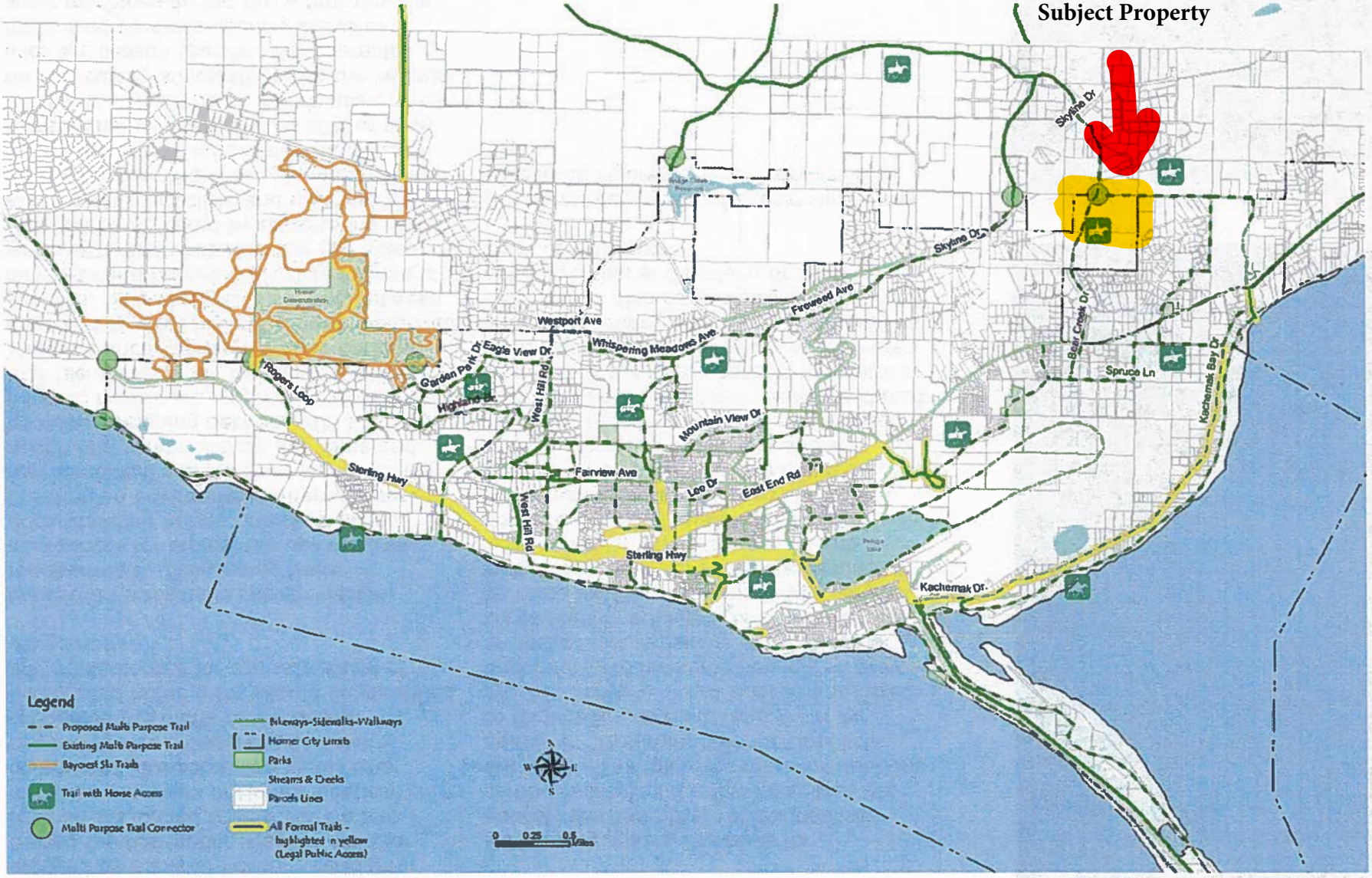



*Figure C: Multi-Purpose Trails*

City of Homer
www.cityofhomer-ak.gov

Planning
491 East Pioneer Avenue
Homer, Alaska 99603
Planning@ci.homer.ak.us
(p) 907-235-3106
(f) 907-235-3118

**Staff Report PL 21-26**

| | |
|---|---|
| TO: | Homer Planning Commission |
| THROUGH: | Rick Abboud, City Planner |
| FROM: | Julie Engebretsen, Deputy City Planner |
| DATE: | April 21, 2021 |
| SUBJECT: | Community Design Manual |

---

**Introduction**
I think we are almost done! Staff has incorporated the Planning Commissions comments into the Architecture chapter. Attached is the whole document.

Over the next few weeks, staff will:
~Create a nice cover
~Review the whole document for typos, and formatting
~Do a mock review using the new format
~Draft a resolution for the City Council
~Bring it back one last time to the Commission, for a recommendation to the City Council

**Requested action:**
1. Take a look at the changes in the Architecture section – they are red and underlined.
2. Let staff know if you see any errors or things that don't make sense. These can be brought up at the meeting or emailed to staff at your convenience.

**Attachment**
1. 4 14 21 Draft CDM

# City of Homer

# Community Design Manual

## Draft April 2021

## COVER PAGE

# Introduction

The scenic beauty of Kachemak Bay is an Alaskan natural treasure. As an area dependent on the visitor industry, the appearance and aesthetic quality of Homer takes on an economic importance. These design standards are intended to create and maintain a community that is visually attractive to both residents and visitors. This Design Manual has been adopted in order to maintain and improve the overall quality of the built environment and the way it fits into this splendid natural setting.

The Design Review process allows for early discussion of a proposed project's design and how modifications can result in more attractive design. As a result of this increased dialogue and flexibility, new development and redevelopment will have an opportunity to enhance Homer's character more effectively than would be possible if zoning regulations alone were strictly applied.

## Applicability

The extent of design review varies according to the location and type of development. Sections applicable to the Town Center, Gateway Business District and the Scenic Corridor Overlay zoning districts are prescribed within the zoning code for those districts. Applicability of each chapter of the CDM when not required within a specific zoning district, is stated at the beginning of each chapter

This Design Review Manual represents a statement of policies which shall be observed for building and site design in the City of Homer. The Commission is authorized to waive specific Design Manual requirements if it finds that (a) an alternative design represents an equivalent or superior design solution to what would otherwise be achieved by rigidly applying specific requirements, or (b) the alternative design meets the intent of the general requirement, or (c) reasonably meets the intent of the CMD when considering the constraints of the building site, building use, or excessive material costs.

## Design Review Options

The City of Homer encourages a creative approach to design by providing a flexible review standard. Design Review may occur at any point in the permitting process, i.e. before, during, or after a Conditional Use public hearing. It shall require a separate public notice if not performed at the same time as a Conditional Use public hearing.

## Design Review Goals

1. To encourage better design and site planning so that new development will compliment Homer's existing character as well as allow for diversity and creativity. Quality design is more important than strict conformance with the CDM.

2. To encourage buildings undergoing significant remodeling to meet appropriate and reasonable goals of the CMD, commiserate with the scale of the remodel.

3. Facilitate early and ongoing communication among property owners, neighborhoods and the City.

4. Provide an objective basis for decisions which address the visual impact of the City's future growth.

5. Ensure that the intent of development standards established by the Homer Comprehensive Plan are met.

6. Increase public awareness of design issues and options.

7. Support green infrastructure services such as water retention and filtration, particularly on sites with larger areas of impervious surfaces.

## Design Review Application Requirements

Application for design review shall be submitted in such detail as to allow the review of the specific project on the merits of this document and other applicable City codes. It is not the desire of the City of Homer to burden the applicant with unnecessary and costly application requirements to gain approval of their project. To assure that design review is performed in an expeditious and cost effective manner, projects may be reviewed in one complete application or may be reviewed by category. To be considered complete, the following information must be submitted for each category of requested design review.

**1. Architectural Design Review**

a. Elevation Drawings per HCC 21.73.020 (c). Complete elevation drawings of all buildings showing dimensions, trim details, and proposed materials including roofing, siding, and windows.

b. Sign Plan. A master sign plan showing the location of all signage consistent with HCC 21.60.

c. Architectural Lighting Details. Details on all lighting proposals which affect architectural detailing (e.g., indirect lighting), or which are for architectural enhancement.

d. Color Palette. A color palette of the building's exterior including roof, siding and trim.

**2. Site Plan Review**

a. Site plans and information in conformance with HCC 21.73.020, and when required by code, 21.73.030.

b. Screening details. Details on how all mechanical and utility equipment will be screened.

c. Fencing Details. Color, type and appearance of all fencing and screening materials.

**3. Outdoor Lighting & Accessories Review**

a. Light Fixture Details. The approximate type, appearance, location, height, and area of illumination for all outdoor light fixtures.

# Chapter 1. ARCHITECTURE

A sense of place cannot be achieved with a single building. It is the cumulative effect of each building and their relationship to surrounding buildings that creates rhythm and pattern and defines scale in the city's streetscapes. Homer aspires to have a built environment of universal and timeless quality with visual interest. The following design standards will help to achieve this.

**Applicability:** This Chapter applies to all non-residential uses and uses with more than 12 residential units in the Central Business and Gateway Business Districts, to all uses except single family dwellings and duplexes in the Scenic Gateway Corridor Overlay District, and to other districts as required by City Code.

**The sections in this chapter include:**

**A. The Building and its Setting**
**B. Hierarchy in Building Design**
**C. Prominent Facades**
**D. Siding and Trim**
**E. Color**
**F. Roofing Material**
**G. Building Lighting**
**H. Miscellaneous Architectural Devices**
**I. Parking Garages**

## A. THE BUILDING AND ITS SETTING

Buildings shall be designed to reflect the natural conditions of the site and shall include design elements which visually "anchor" the building to the site:

1. **Incorporate building design elements into landscaped areas.** Without some form of transition between the ground and the building wall, structures can appear to be unrelated to, rather than part of, the site. This is especially true of stand-alone buildings in large open spaces. By extending secondary structural elements from the building out into the site, a transition between the ground and the building wall can be achieved. Low walls, stairs, walkways, or small plazas, for example, can help anchor and transition the building to the site.

2. **Respect natural topography.** Buildings shall be designed to fit natural slopes rather than forcing the slope to fit a particular building design. Buildings shall be designed with both up-hill and downhill floor plans if the site involves significant slopes. Minimize cut & fill by developing designs which compliment and take advantage of natural topography. Sloped lots may require terraced parking lots and multi-level buildings

designed to follow the slope.

***Walkway and steps provided from parking lot to building***

***ACCEPTABLE*** ***UNACCEPTABLE***

STRUCTURE SHOULD BE DESIGNED TO FIT NATURAL SLOPES.

AVOID SIGNIFICANT REGRADES BY SELECTING DESIGNS WHICH FIT NATURAL TOPOGRAPHY.

**3. In the Scenic Gateway Overlay District changes to slopes can be made to maintain views**.

**B. <u>Hierarchy in Building Design</u>**

Visual interest in the urban-scape can be achieved through a hierarchical approach to design. For example, strategically located structures, architectural elements or site amenities designed as focal points create a visual "draw" and suggest a point of activity. These serve also as a reference point for all subordinate structures. This concept is particularly applicable to large parcels with multiple structures. Multiple "carbon-copy" buildings provide no visual hub and shall be avoided.

**1. <u>Design primary structure as a focal point.</u>** Primary structures are those which serve as a visual draw to a site. Primary structures shall be included on all commercial sites with more than one building, on commercial sites with a one or more multiple tenant buildings. Primary structures shall be designed as follows:

**a**. Primary structures shall be the focal point of development.
**b.** Primary structures shall include a prominent entrance. The entrance may be defined by a projecting porch or portico or a clearly defined doorway designed as a focal point, in the facade design.

**2. <u>Include area for outdoor leisure for Primary Structure.</u>** Primary structures shall incorporate either a prominent portico or plaza which is visible to the public and useable to customers or clients. Its size shall be at least 10% of the main level interior floor area. It must be incorporated into the building design. (This may or may not

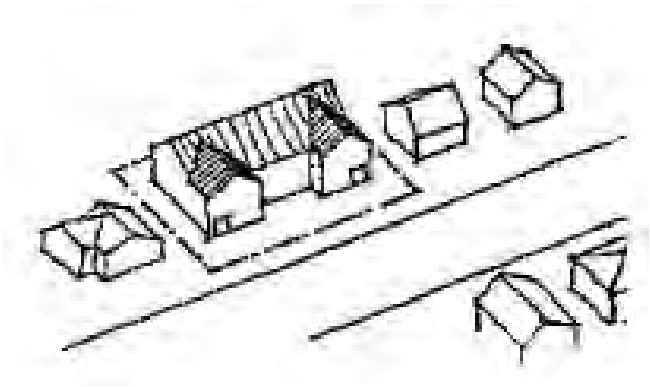
be the prominent entrance described above and may be applied toward requirement for a commercial common area described on page 20XX (site design chapter).

3. **Incorporate multiple tenant spaces into hierarchy of building design.** Required facade and height variation will provide some degree of hierarchy in a building's design. Where possible, facade and height variation should reflect the location of individual tenant spaces.

4. **Provide a common architectural treatment to all buildings on the same parcel or which are part of the same development.** In order to provide an overall pleasing development, all buildings shall employ a complimentary architectural style and finish.

5. **Integrate secondary structures as support buildings.** Secondary structures may be much simpler in design and still provide interest to the site plan or streetscape. Architectural interest is of less importance with secondary structures but they must meet all other design criteria for commercial buildings.

6. **Reflect mass and scale of adjacent structures.** Structures shall reflect the mass and scale of adjacent structures. If a larger structure is built next to a smaller structure, it must include projections in the facade which approximate the smaller structure's massing.



***The projections in the facade of this larger building appropriately reflect the scale and spacing of the adjacent structures***

7. In the Scenic Gateway Overlay District- In addition to the above, building placement and scale will be set to foster a village type of feel. Several buildings or the use of modulation and design elements that give the appearance of smaller street frontages are favored over single building masses with large monolithic faces visible along street frontages.

## C. Prominent Facades

Prominent facades are defined as all building facades visible from arterials, and activity centers, and also facades which face the road(s) providing primary access to the building's site. The ‘back’ of a building, which may have loading areas or employee entrances, is not a prominent façade unless it meets one of the prior circumstances. Prominent facades may

not be sterile wall planes void of architectural interest. They shall be detailed with added relief, shadow lines, and visual depth unless screened with landscaping. Prominent facades, whether the front, side or rear of the building, are subject to full design review and shall comply with all design criteria stated herein unless full on-site screening by vegetation can be achieved within 3 years.

1. **<u>Provide consistent architectural interest to all prominent facades.</u>** All prominent facades shall meet the following requirements.

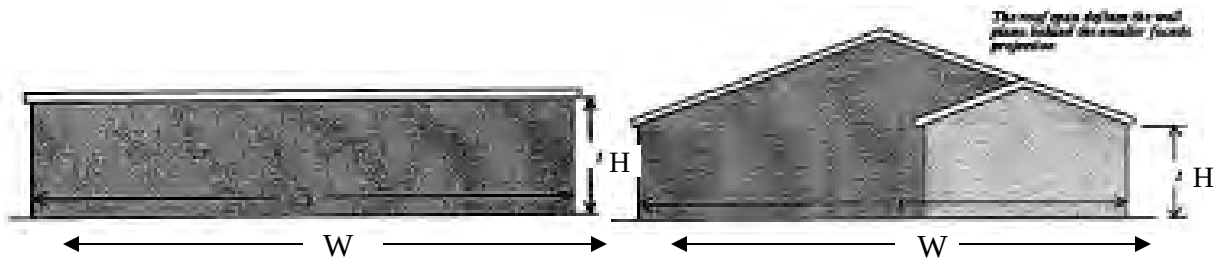
   **a.** Prominent facades shall not be blank walls.

   **b**. Prominent facades shall reflect the same design and detailing which typify the building's front including roof design, window proportion, facade variation, and building materials.

   **c.** Prominent facades may not be concealed behind high walls or privacy fences. Lower fences and walls not exceeding 3 feet in height are acceptable.

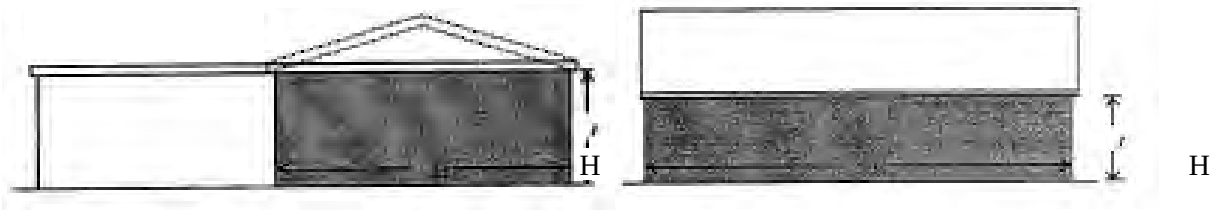
**2. Building Scale and Mass**

   **a. <u>Avoid long, low wall planes.</u>** Prominent facades shall have no wall plane wider than 2.5 times the height of the wall plane.




***UNACCEPTABLE*** ***UNACCEPTABLE***

Height/Width proportions apply
with or without gable




***ACCEPTABLE*** ***UNACCEPTABLE***

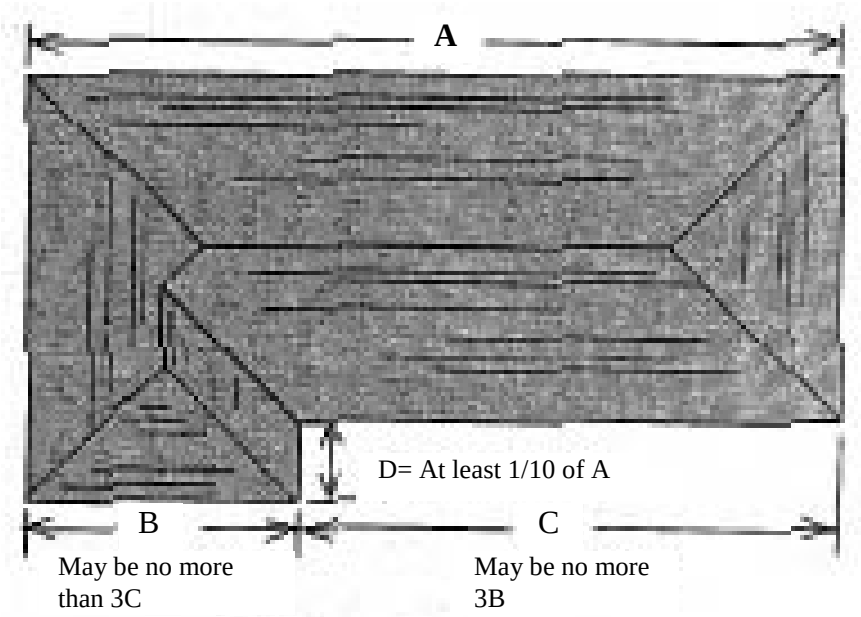
3. **<u>Provide substantial shifts in walls and roof surfaces.</u>** Wall and roof surfaces shall be

broken down into smaller planes using substantial shifts in building footprints that result in substantial shifts in roof lines as follows:

**a. Limit roof areas in the same plane.** The total roof area in a single plane shall not exceed 5000 square feet.

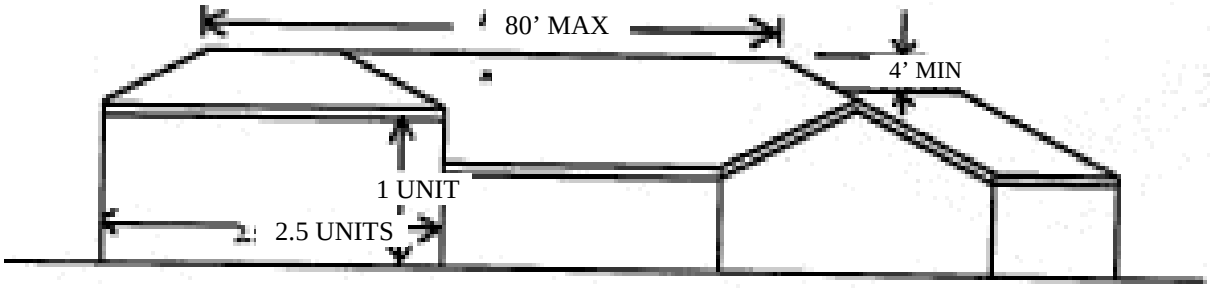
**b. Horizontal shift**. No portion of a prominent facade may exceed 60 feet in length without a shift in the building footprint measuring 1/10 of the facade length. This shift may be broken down into smaller shifts of at least 4 feet each. For prominent facades of 100 feet in length or less, this horizontal shift may be accomplished by creating an entrance that serves as a major focal point, such as an extended roofed area, front porch or other feature, without jogging the exterior wall of the building.

c. Horizontal shifts, when required, shall be reflected by a shift or alteration in the roof design. To assure that footprint shifts are evenly distributed across the building facade, shifted wall planes shall have a width proportion of between 1-to-1 and 3-to-1 the width of adjacent wall planes on the same facade.




***Horizontal shifts required if "A" exceeds 60 feet in length***

**d. Vertical shift -** No single run of ridge, cornice, or fascia (excluding eave overhang) shall exceed 60 feet without a minimum 4-foot transition in height.




**4. Provide visual terminus to tops of buildings.** In order to avoid a truncated look at the top of the building, all structures shall have a visual "cap". This may include either a pitched roof or a flat roof. Pitched roofs shall have the appearance of true hips and gables with a defined ridge where opposing roof planes meet. Roof designs must conform to one of the following options:

**a. Lower pitched roofs with extended eaves** - A lower pitch roof with a 4/12 pitch or less is allowed provided eaves extend at least 2 feet beyond exterior building walls. A minimum of a 4/12 pitch is preferred.

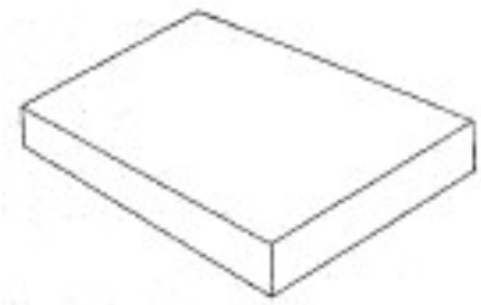
**b. Steep pitch hip or gable roof form** - conforming to the following roof pitch requirements:

- Minimum pitch - 4/12 in all areas:
- Maximum pitch - 12/12 in all areas.

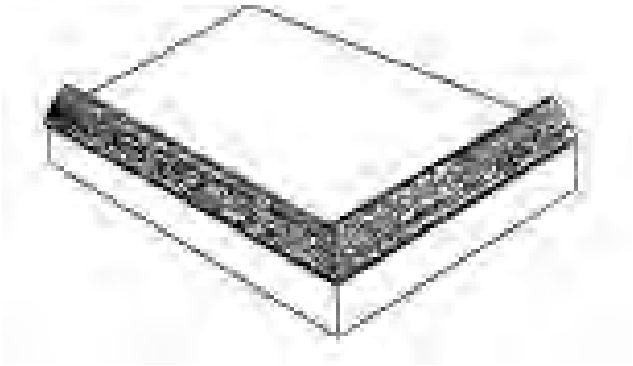
Exceptions: Steeples, bell towers and other ancillary structures.

**c. False pitch roof with appearance of true hip or gable** - Single story and multiple story buildings may, have a flat roof with a false pitch if :

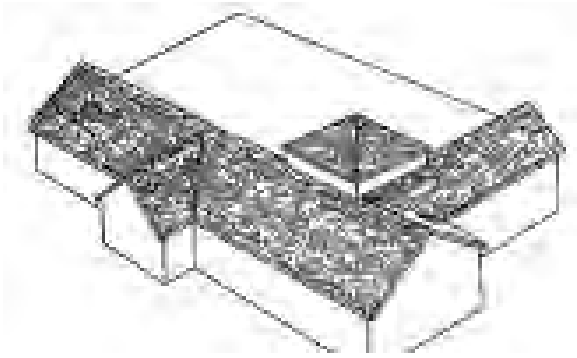
- The roof appears to be a true hip or gable from all public vantage points, and
- There are extending wings on each corner of the building which allow for a true hip or gable to extend out from the false hip or gable (this will avoid a mansard roof appearance).
- These roofs shall have a minimum 4/12 pitch, with eaves extending at least 2' beyond exterior walls.



***UNACCEPTABLE -*** A ***simple box-like structure.***

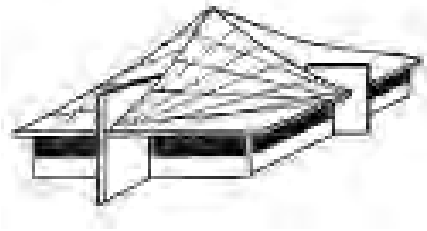


***UNACCEPTABLE - The box structure with simulated mansard.***

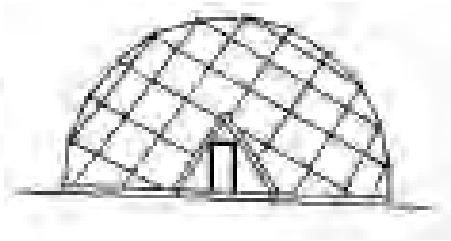


***ACCEPTABLE - Notice how the gable ending beyond the corner of this box structure provides the appearance of a true gable from the public's vantage point.***

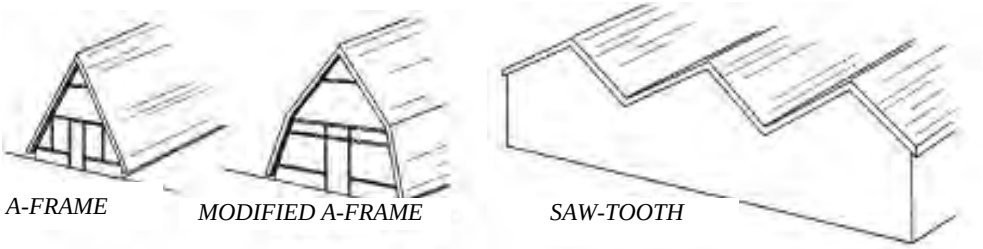
**<u>5. Avoid unusual or atypical roof forms on all structures.</u>** A-frame, modified A-frame, curvilinear, domed, and mansard style roofs and other unusual or atypical roof forms are discouraged. Multiple gables over a single-mass structure forming a "saw-tooth" design are also discouraged.



*Curvilinear*



*Geodesic Dome*

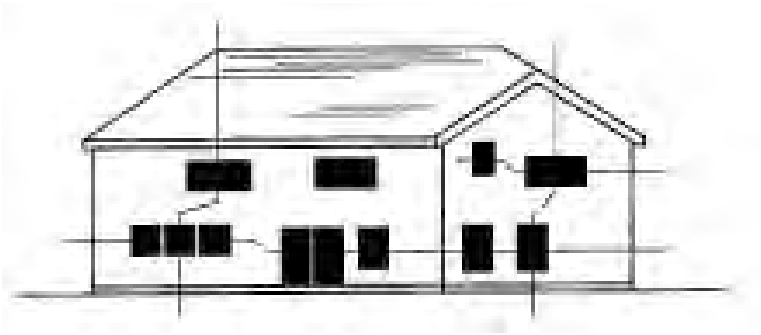



***Examples of discouraged roof forms. Mansard roof forms are also discouraged.***

**6. Window and Door Fenestration**

The primary purpose of windows to the interior portion of a building is to let in light and air. To the outside of a building, windows can make an architectural statement. The challenge to the architect is to make sure that both objectives are met. Windows placed primarily to serve interior functions may appear to have been haphazardly placed on the outside of the building or may be completely lacking due to a reliance on mechanical systems for light and air. This shall be avoided. Windows can and should serve as a pleasing focal point in a building's design or emphasize a shift in a wall or roof plane. Windows should relate to, align with, or complement exterior design features of the building.

**a. Maintain balance in the placement of windows.** To the extent possible, multiple windows on a single wall plane should be regularly spaced and aligned with other windows and doors on the same wall plane. Single or grouped windows on a wall plane should relate to other architectural features such as roof forms, doors, or facade projections.



***The scattered and haphazard arrangement of windows on this facade result in poor balance in the overall building design.***

***AVOID***

***The careful alignment of windows provides visual balance to this facade. Notice that it is not always necessary to center windows on a wall plane. Usually, however, non-centered windows look better below a hip than below a gable***

***PREFERRED***

**b. Conform to solid/void ratio guidelines.** Generally, windows and doors shall constitute a minimum of 25 - 30 percent of prominent facade wall planes. In situations where this is not practical, emphasis shall be placed on the building's form and texture. The following type of options may, in limited applications, be acceptable alternatives:

- Vertical and/or horizontal shifts in the facade combined with roof forms which accentuate facade variations.
- Variations in texture.
- Variations in exterior lighting.
- Vegetative screening.

**c. Reflective glass is discouraged.** The use of reflective glass shall generally not be allowed but may be considered in limited applications.

## D. SIDING AND TRIM

Traditional building materials such as brick, stone or wood reflect human handicraft and provide texture to building exteriors. Materials for new construction and remodeling should convey similar visual qualities. Overall, the goal is to have buildings with visual interest.

1. **Use materials which simulate quality traditional building materials.** Finish materials must individually be characterized by texture, grain, or color variation. Individual components shall be small enough so that their collective application provides interest and texture to building facades and reflects human handicraft. Non-traditional materials shall be used sparingly unless they can be shown to have similar visual qualities of traditional materials or contribute to overall design character.

2. **Discouraged siding materials:**. Creatively applied small sections of these materials may add architectural interest, but their use is discouraged as the predominant siding

material.

- Tile
- Smooth Concrete Blocks
- Smooth or Flat metal panels

## E. COLOR

Color is an important and dominant aspect of building design. When selecting colors, consider carefully the different materials and levels of detail that color can emphasize. The field or base color is one of the most dominating features of the building; trim colors are used on the building's secondary features, while accent colors can emphasize the finer, more characteristic elements of the building's design. The goal is to create buildings with visual interest, rather than strict adherence to the guidelines below.

1. **Keep field colors subdued.** Field or base colors (the main color of the exterior walls) are recommended to be the more subtle earth tone colors. White, soft sands, grays, light pastels, and deep rich clay colors are appropriate field colors.

2. **Limit bold or bright trim colors.** Trim colors (fascia, cornice, window & door trim, kick panels, etc) may contrast or compliment the field color. Using a lighter or darker shade of the field color is always an appropriate trim color as is white.

3. **Finer details may be accented with brighter colors.** Accent colors can generally be brighter than field or trim colors. Accent colors should be used with restraint. Appropriate areas for accent colors are those details that might otherwise go unnoticed such as moldings or molding indentations, medallions, and shadow lines of window and door frames. Doors are also an appropriate location for accent colors.

## F. ROOFING MATERIALS

Views of roofs from the ground and from higher elevations play an important role in the architecture of the city. Roofing materials shall be selected according to the following criteria.

1. **Use roof materials which provide texture and shadow lines.** Ribbed metal roofing or architectural or laminated shingles are encouraged.

2. **Avoid bright-colored, reflective or unsightly roofing materials.** The following roofing materials are discouraged and may only be considered by the Commission in unusual cases:
   a. Gravel.
   b. Untreated aluminum or metal (copper may be used).
   c. Reflective materials (including aluminized hot-mopped roofs, white or light gray metals which have a metallic appearance in bright sun).

d. Brightly colored, highly visible roofing materials.
e. Red bar-tiles common to Spanish architecture
f. Urethane foam, painted and unpainted

## G. BUILDING LIGHTING

Lighting may be used to accent a building but shall not be used to denote a corporate or commercial image except on allowed signage. Lighting may be directed to a building but should generally not emanate from a building.

1. **Avoid back-lit panels and awnings.** Translucent panels and awnings illuminated from behind are prohibited. This shall not exclude soft light being emitted from windows.

2. **Keep light source hidden from public view.** Except for decorator lights with frosted lenses or which use clear bulbs (e.g., candelabra bulbs) light sources shall be concealed behind soffits, within recessed containers, behind shrubbery, etc.

3. **Avoid bright lighting on outdoor surfaces of buildings.** Outdoor building lighting is limited to low levels except that more intense lighting is allowed at building entrances.

4. **Avoid colored lighting on buildings.** Colored lighting is limited to temporary holiday lighting only.

5. **Apply utility lighting sparingly.** Utility light fixtures which have an industrial or utilitarian appearance may be used for security lighting on buildings, but shall not be used in areas of concentrated lighting (e.g., service station canopies) unless the fixtures are not seen from public rights-of way.

## H. MISCELLANEOUS ARCHITECTURAL DEVICES

Building design should be executed in a straightforward manner. Tack-on devices may not be used to mitigate poor design or to promote a particular theme. If a particular style or theme is desired, it should be reflected in the building's form and general detailing.

1. **Architecturally integrated artwork is encouraged.** Artisans are encouraged to create art and sculpture which compliment building architecture and the community.

2. **Avoid Architectural Gimmicks and fads.** Types of gimmickry to be avoided include, but are not limited to, the following:

   **a. Tenant-specific motifs.** Detailing or color used to promote a particular theme or to identify a specific tenant should be avoided. Signage shall be used for this purpose.

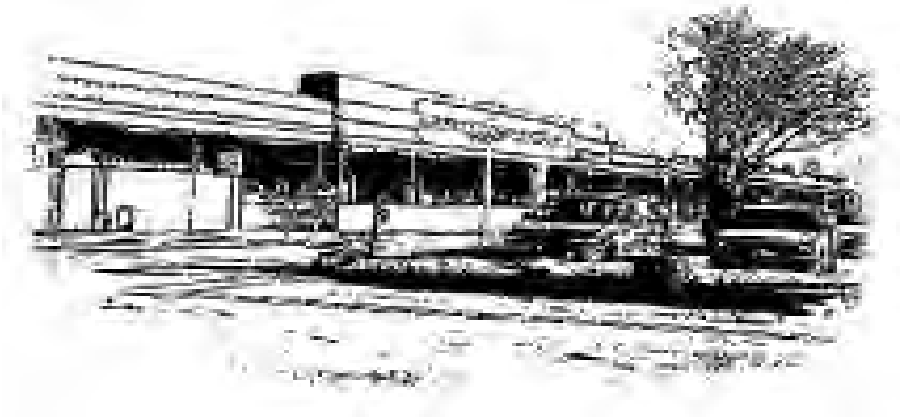
**b. Neon Outlining.** Architectural features shall not be outlined in neon, linear lights, or tube-type lights. This includes exposed and concealed lights.

**c. Back-lit Awnings.** Awnings may not be backlit or otherwise illuminated from behind unless the awning fabric is completely opaque so that it blacks out all light.

**d. Non-functional Awnings**. Awnings shall be limited to traditional locations over windows walkways, and entrances or over other architectural features where weather protection is needed. Awnings must be applied to walls or posts and may not be applied to existing projections over walkways or windows.

3. **Maintain consistency in awning design.** Multiple awning designs are not permitted on a single building.

4. **Avoid awnings which obscure or dominate the building design.** Awnings, canopies and marquees may not obscure architectural details of the facade and may not be the prominent design element of the building. They must appear as a secondary and complimentary element of the building design.



***This continuous awning overpowers the building design and hides the original parapet or cornice detail.***

## I. PARKING GARAGES

The following requirements are intended to soften the visual impacts of parking garages as seen from the street face.

1. **Recess vehicle entries in main facade.** Garage doors and open vehicle entries must be recessed at least 6 feet from the front facade plane.

2. **Screen parking garage facade.** Parking garage facades which are visible from the street shall conform to one or a combination of the following options:

**a. A landscaped screen.** Screening may be trees, shrubs or wall clinging plantings on a trellis.

**b. Store fronts.** The parking garage may be faced with storefronts or display-windows.

**c. Simulated storefront.** The openings of the garage may be designed to reflect or simulate the window pattern and material choice of the primary structure on the site. The door and window fenestration requirements on this page should be used as a guide.

3. **Acquire Commission approval for all parking garages over 1 story or which enclose 20 cars or more.** In making its determination of compliance, the Commission shall consider the design criteria under 1 & 2 directly above, and may also determine how much screening or architectural embellishment is required based upon projected lines of sight from the pedestrian's perspective.

# Chapter 2. SITE DESIGN

The Site Design chapter addresses site amenities intended to enhance the visual character of the site, invite outdoor activities and connect public rights-of-way to structures on private property.

**Applicability:** This Chapter applies to all non-residential uses and uses with more than 12 residential units in the Central Business and Gateway Business Districts and to all uses except single family dwellings and duplexes in the Scenic Gateway Corridor Overlay District.

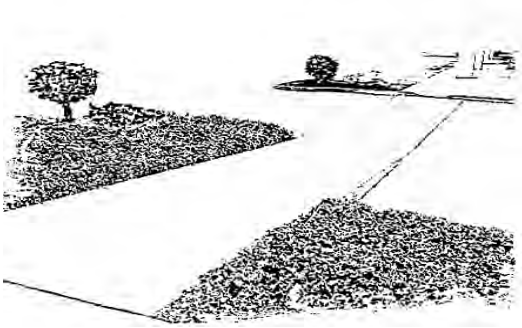
**The sections in this chapter include:**

**A. On-site Walkways**
**B. Outdoor Common Areas**
**C. Commercial Streetscape**
**D. Landscaping and Screening**
**E. Fences**

## A. ON-SITE WALKWAYS

Primary walkways are intended to link a building's main entrance to the public right-of-way and to facilitate and enhance the pedestrian environment.

1. **Link commercial buildings and the public right-of-way with primary walkways.** Commercial buildings must be served by primary walkways which directly link the building's main entrance to the public right-of-way.



2. **Assure that primary walkway width is proportionate to scale of project.** Primary walkways must be a minimum of 5 feet on small-scale projects; wider walkways may be required for larger scaled projects.

3. **Differentiate walkway surface.** Walkways must be visually distinct from parking lot and

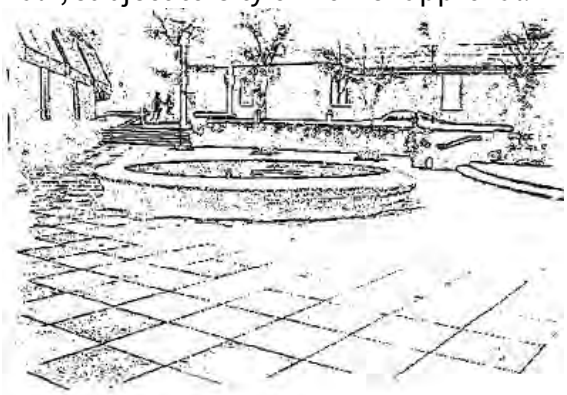
driveway surfaces and may include textured or colored materials. Paint or striping will not suffice to meet this requirement. Walkways must be functionally separate from parking lots and driveways except where they cross driveways.

4. **Accent walkway with significant landscaping.** One side of the primary walkway must be landscaped except where it crosses a driveway. The width of the landscaping shall be sufficient to maintain a proper planting environment. Planting strips must have an average width of 3 feet. Wider planting strips may be required for larger scaled projects.

5. Accent walkway with lighting and seating areas.

## B. OUTDOOR COMMON AREAS

A common area is a designed outdoor space which encourages outdoor activities and leisure in outdoor spaces associated with commercial development. Required common areas must be provided on-site, but may be enlarged and extended into city rights-of-way to connect with the sidewalk, subject to City of Homer approval.



1. **Provide common area of a size proportionate to development.** Commercial development greater than 5000 square feet in floor area shall include common areas equal to 5% of the gross floor area of the building to which they apply, excluding garages, warehouses, and similar support structures.

2. **Choose type of common area best suited to development.** Common areas must include trash receptacles and casual seating and/or tables. Common areas must be one of (or a combination of) the following:

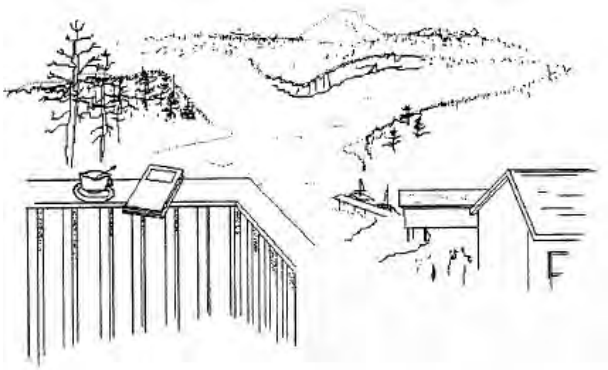
a. Balcony. terrace or covered colonnade - providing a minimum walking width of 8 feet and which also incorporates seating areas.

b. Plaza - with colored or textured pavement surface, e.g., brick, stone, exposed aggregate concrete or colored and textured concrete. To provide pattern and enhance the texture of the pavement, concrete surfaces shall be scored or otherwise divided into smaller sections.

c. Pocket park - developed between or in front of buildings which include landscaped areas of grass, trees, shrubbery and flowers, combined with limited paths and pavement areas for casual tables and/or seats.

d. Scenic View Area - consistent with these design standards. Viewing platforms intended for public access shall be identified with signage located at the edge of the public right-of-way.

e. Off site common areas - For structures with less than 10,000 square feet of floor area, any of the above common areas which are within 250 feet of the subject site and are at least as large as the required common area for the subject site meet common area requirements and do not have to be repeated. This does not imply that the off site common area must be accessible for the subject site's use. It merely develops an appropriate density for outdoor common areas in a given district.



3. **Locate common areas in view corridors.** Where view corridors occur on a site, common areas shall be located within the view corridor. Use care in the selection of landscape plantings so as to preserve views.

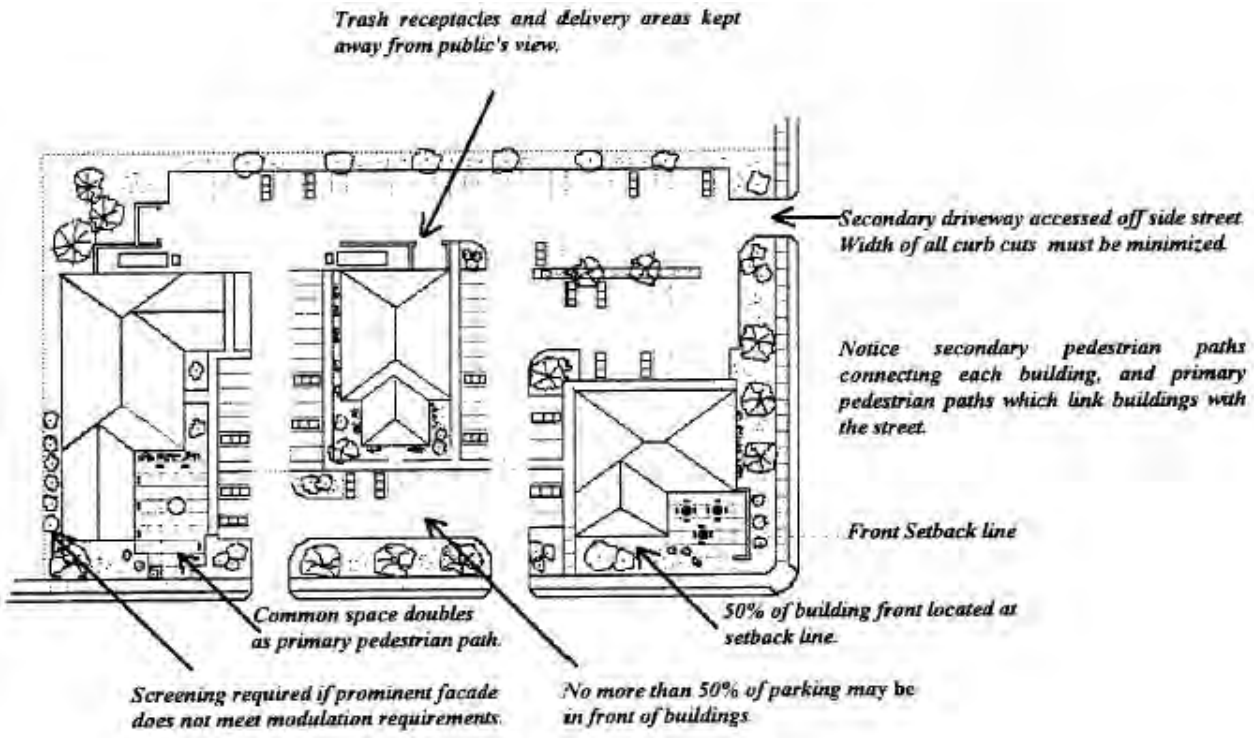
4. **Provide direct access to common areas with pedestrian walkways.** Common areas (or outdoor stairs leading to common areas) shall be easily accessible to customers from the public right-of-way by either primary or secondary walkways.

## C. COMMERCIAL STREETSCAPE

To enhance the visual quality and the pedestrian environment of commercial streets and activity centers, an increased emphasis should be placed on landscaping, pedestrian walkways and architecture. Parking lots and service areas should be visually diminished by keeping them to the side or rear of the buildings.

1. **Locate structure near front setback line.** At least 50 percent of the primary structure's front facade shall be placed near the front setback line. The remaining portion of the building may be stepped back to accommodate common areas or parking.

2. **Orient service and delivery areas away from the street.** Where possible, service and delivery bays, including warehouses and mini-storage units, may not be oriented to the street. These areas should be separated from public access routes and parking areas whenever practical.




3. **Use landscaping to screen parking lots and service areas.** Parking lots and other expansive pavement areas shall include a wall, solid hedge or landscape berm at least

3 feet high (conforming to clear vision requirements at driveway entrance) parallel to the right-of-way to soften the visual impact of the lot from the street.

4. **Link dissimilar buildings with common site amenities.** Visual continuity can be achieved between dissimilar buildings by emphasizing common elements of site design. (e.g., landscaping, screening, furnishings, light standards, decorative paving materials). Similar colors of structures can also provide visual continuity to the streetscape.

5. **Provide covering over walkways where appropriate.** Encourage pedestrian use of walkways by providing canopies, marquees and awnings on building fronts which abut a sidewalk.

6. **Place no more than 50% of required parking in front of buildings.** Where practical, no more than 50% of required parking may be located in front of the building. In this context, the front shall be the building side facing the street providing primary access to a site.

7. **Avoid parking in front of building entrance.** Parking spaces in front of the main building entrance interfere with entrance visibility and access. These shall be avoided.

## D. LANDSCAPING & SCREENING

Formal landscaping provides a pleasing transition between the natural setting and the built environment and between adjacent built environments. Landscaping may not be considered adequate compensation for poor site or building design; it shall be used to enhance new development (regardless of how attractive the buildings on a site may be) and to soften the visual impacts of such urban necessities as parking lots and mechanical equipment. In addition to aesthetics, landscaping provides green infrastructure services such as water retention and filtration, particularly on sites with larger areas of impervious surfaces. Natural vegetation, together with existing views of the water and land views is an integral part of the Homer setting and should be preserved on both developed and vacant parcels. Views through or framed by natural vegetation may be achieved while retaining the existing vegetation which characterizes Kachemak Bay.

1. Utilize non-invasive attractive plants to achieve landscaping and screening, preserve or create tree canopy, and provide ecosystem services such as water retention and filtration. Concepts such as rain gardens and other Low Impact Development concepts are encouraged.

2. **Choose plantings which are compatible with existing vegetation.** Plantings must be of a type which will thrive amid existing vegetation without killing or overtaking it. Avoid mixing incompatible plants which require different planting environments or micro-

climates. Avoid haphazard mixture of textures, colors and plant types.

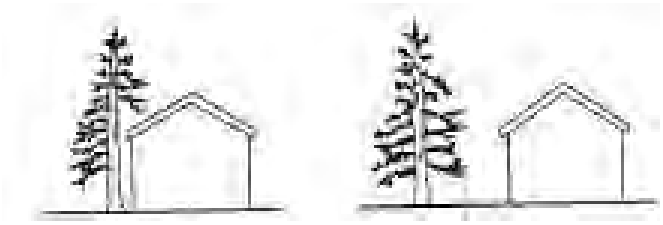
3. **Locate vegetation to preserve significant views.** Views and vistas from public rights-of-way shall be considered when determining placement of vegetation or retention of existing vegetation. While it is not the intent to avoid all trees in the foreground of a view, consideration should be given to the expected height of trees and how they might be located to "frame" the view. The following standards promote retention of existing views and apply to both commercial and residential properties:

   a. Selective thinning - Larger tree stands which, over time, have closed off significant views may be selectively thinned. Limit thinning to maintain a balance of timber and continuous canopy.

   b. Trees within view - Allow trees to be a part of the view. Limited numbers of trees should not be considered an obstruction to a view.

4. **Provide adequate room for retained vegetation.** Identify how retained trees will be protected both during and after construction.

   a. Location of structures. Buildings, retaining walls, utilities and paved surfaces must be far enough away from retained trees to allow room for construction activities (including grading and excavation) and to assure a proper growth environment after construction.



***Neither the building footprint or the area of construction should encroach into the drip line of trees to be protected***

   b. Area of construction. In no case shall construction activities take place within the drip line of the tree (root zone) without extra precautions.

   c. Tree well. Provide a tree well or other form of protection where the surrounding grade must be raised.

   d. Significant vegetation to be retained must be protected during construction by installation of an effective system. The system must be approved by the Public Works Department, and must be in place during construction.

5. **Replace lost trees which were intended to be retained.** Any tree proposed or

required to be retained and which is subsequently lost or destroyed must be replaced with at least three 6-foot trees of an appropriate species.

6. **Retain the natural symmetry of trees.** Trimming of trees shall be done in a manner that preserves the tree's natural symmetry. Topping shall be avoided unless required for health/safety reasons. Limbing-up may be appropriate if sufficient crown is retained to preserve the tree's health.

7. **Use shrubs or vines on blank walls.** Landscape along blank walls. Shrubs, vines or other plantings can be used to provide either coverage or grouped plantings along otherwise plain walls.

8. **Outside storage of materials and equipment and trash, if otherwise allowed, should be screened from view from adjacent streets and residential areas.** Such screens should be opaque and may consist of walls, fences, landscaped berms, evergreen plantings, or any combination thereof.

9. **Enclosed storage of materials, equipment and trash is encouraged.** The enclosure will be built to be complementary to the primary structure or landscaped or located so as to not be visible from the street.

10. **Elements such as, but not limited to; HVAC units, telephone boxes, fuel tanks and electrical transformers, shall be integrated into the site design through the use of landscaping, berms or fences and should be as unobtrusive as possible.**

## E. FENCES

Fences are useful for defining space, providing security, and visually enhancing outdoor settings. The degree that these qualities are considered depends on the intended purpose of the fence and where it will be located. The design of the fence may not be important if the fence is strictly for security reasons, (e.g., a mini-storage yard), but if the fence is visible to the public right-of-way, design takes on added significance.

1. **Choose fence materials carefully.** Fences shall be constructed of wood, wrought iron, brick, stone or cinder block. Smooth-faced cinder block must have a veneer finish on the side visible to the public's view. Coated chain link attached to wood posts and rails is permitted. Chain link with slats that color coordinate with the main building color scheme are also permitted. Other materials which have the general appearance and visual quality of approved fence materials may be approved by the Planning Director,

2. **Limit chain link along prominent facades and arterials.**

3. **Limit height of fences.** Unless otherwise required by Homer City Code, fences are limited to a height of 4 feet from the natural grade along arterial frontages and in the front yard.

# Chapter 3. Outdoor Lighting

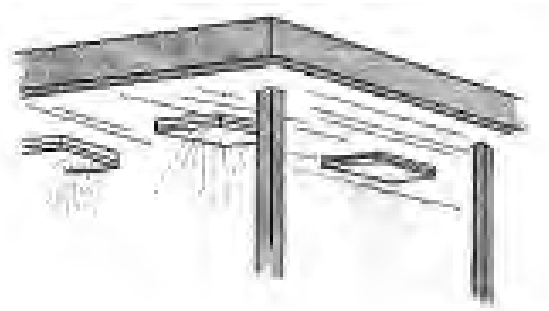
**Applicability:** The outdoor lighting section applies to all uses in areas zoned CBD, RR, UR, RO, GBD, SGCOL and the portion of GC1 lying south of Beluga Lake.

**Purpose**

The primary purpose of outdoor lighting is to improve visibility and safety within outdoor spaces. However, light can also enhance a setting if the intensity and source of the light corresponds to the visual character of the surroundings.

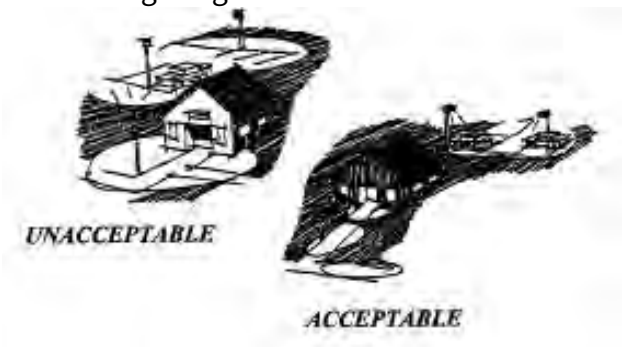
1. **Avoid lighting large areas with a single source.** Large areas may be lit with a number of low intensity sources close to the area requiring illumination; illumination of a large area with a remote single source of light shall be avoided.
2. **Avoid excessive light throw.** Lighting shall not be cast beyond the premises and shall be limited to illumination of surfaces intended for pedestrians or vehicles. Illumination of landscaped areas shall be avoided unless lighting is part of the landscape design or the area is intended for recreational use.
3. **Keep light source hidden from public view.** Except for streetlights installed in rights-of-way, all light sources, whether on public or private property, shall be hidden or conform to light standards specified herein. Light sources (e.g., light bulbs) shall not be visible except on approved decorator lights. Sources of high intensity light, whether behind a lens or not, shall not be visible to the public.

***High intensity light sources may not be visible to the public Fixture designs of an industrial or utility appearance shall be avoided.***



***Indirect lighting keeps light source hidden from the public's view. Recessed spot lighting may supplement indirect lighting where more direct lighting is desired.***

4. **<u>Use downward directional lighting.</u>** All lights more than 7 feet above the ground shall be downward directional lighting.




5. **<u>Choose approved outdoor light designs.</u>** The following lighting types are approved:
   a. <u>"Shoe box" style pole lamps</u> to be approved as appropriate for district (downward directional).
   b. <u>Ornamental pole lamps</u> - to be approved as appropriate in color and style for district.
   c. <u>Bollard lights</u> - to be approved as appropriate in color and style for district.

6. **<u>Avoid light fixture designs which have an industrial appearance.</u>** Designs of an industrial or utility appearance shall be avoided on all fixtures visible to the public, e.g., mercury vapor lights, cobra lights, etc.

*NO!* *NO!* *NO!* *YES!*

*Except for the "shoe-box" style light on the right (which is downward directional), these other lights are too industrial in their appearance and are designed for illuminating large areas with a single light source.*

City of Homer
www.cityofhomer-ak.gov

Public Works
3575 Heath Street
Homer, AK 99603
publicworks@cityofhomer-ak.gov
(p) 907- 235-3170
(f) 907-235-3145

# Memorandum

TO: Planning Commission

FROM: Janette Keiser, PE, Director of Public Works

DATE: April 8, 2021

SUBJECT: Proposed 5-Year Capital Improvement Plan for Public Works

**I. The Issue:** The City Council has asked for longer-term capital planning. The purpose of this memorandum is to present a proposed 5-year Capital Improvement Plan for Public Works to the PC and solicit comment.

**II. Background:**

The City's capital planning process has not been systematic over the years. Homer has commissioned the development of multiple planning documents over the years, which include recommendations for capital projects for various elements of Homer's infrastructure – the Water/Sewer Master Plan, the Non-Motorized Trails & Transportation Plan, the Drainage Management Plan, the Karen Hornaday Park Master Plan and numerous others. Some of the projects identified in these plans have been funded on an *ad hoc* basis; that is, as some project raises to the top of a priority list in some given year. However, there's been no means to collect high priority projects into one planning document.

The City has multiple means to fund capital projects for its infrastructure, including the HAWSP Fund, the HART Roads Fund, the HART Trails Fund and the Water/Sewer CARMA Funds. But, there has been no systematic means of programming these funds to address serious repair, replacement or system capacity needs. We're sitting on millions of dollars of reserves, with millions of dollars in unmet repair/replacement needs, and no way to bridge the gap. The purpose of the 5-Year Capital Improvement Plan serves that purpose. It shows how the funds can be used over time, to address deferred maintenance, replace deteriorating facilities and provide for expanded capacity.

**Q –** Why a 5-year Plan? **A –** Five years is a reasonable period of time to look into the future. It's long enough that it requires some mindful forecasting, but short enough to avoid sheer speculation. There is precedence for a 5-year time frame; for example, federally-funded transportation programs are required to use a 5-year look-ahead.

**Q –** What is included? **A –** The proposed 5-year CIP includes all aspects of Public Works operations – Roads, Sidewalks, Trails, Parks, Drainage works, Building Maintenance, ADA Compliance, Water &

Sewer. It also includes distributions, for each category of operations, for Fleet Replacements and the Computerized Maintenance Management System (CMMS) software. And, in cases where Special Assessment Districts could be formed, the proposed 5-year CIP includes a reserve for the City's share of such districts.

**Q –** How is the proposed plan based on? **A** – Generally, for each project, there is corresponding documentation in a topic-specific planning document. For example, the Roads element is based on the Road Financial Plan, which was reviewed at the April 12, 2021 City Council meeting and multiple City Commissions. The Fleet Replacement elements are based on the Fleet Replacement Schedule, which was reviewed at the March 31, 2021 City Council Work Session. The Water/Sewer elements are based on the Water/Sewer CIPs, which were originally adopted in 2020 and are in the process of being updated.

**Q –** Does approval of the proposed plan mean the projects are automatically approved for all five years? **A** – No. We are not seeking appropriation for the entire five years of projects, at this time. The intent is that the City Council would approve the overall strategies behind the 5-year Plan, so the process/policies become institutionalized as part of the budget process. As part of the current budget cycle, we will be seeking appropriation for projects for the immediate budget cycle; that is, Years 1 and 2.

**Q –** Does the proposed plan consider cash flow? **A** – Partially. We have tried to take into consideration the extent to which funds ebb and flow as revenues are received and payments are made for projects. However, we do not yet have a system for receiving regular reports of these matters so we cannot yet sensibly predict cash flow. We are working on a way to do this.

## III. Recommendation

We will be recommending the City Council adopt the proposed 5-Year Public Works Capital Improvement Plan. What does this mean? It means the City Council would adopt the strategies behind the proposed Plan and commit to the concept of a long-term plan to repair/rebuild Homer's infrastructure. We will not be asking for specific appropriations for specific projects at that time. We will do this later, as part of this year's budget process.

We ask that the PC review the draft Plan, make comments and endorse the strategies to the City Council.

| | Year 1 - July 2020 - June 2021 | Year 2 July 2021- June 2022 | Year 3 July 2022- June 2023 | Year 4 July 2023- June 2024 | Year 5 July 2024- June 2025 | Recommended Funding Source | Total Investment in Category | |
|---|---|---|---|---|---|---|---|---|
| **Roads** | | | | | | | | |
| Road share of Ocean Drive SAD | $ 52,606 | | | | | HART Road - Year 1 already appropriated | | **Legend** |
| Fleet Replacement - Roads share | $ 416,000 | $ 184,999 | $ 31,666 | $ 459,166 | $ 408,333 | HART Road - Year 1 already funded by Ord 21-06 | | Funding has already been appropriatead |
| Small Works Road Repair Program | $ 105,000 | $ 70,000 | $ 10,000 | $ 20,000 | $ 20,000 | HART- Roads - Year 1 already funded by Ord 20-33 | | Hypothetical result if HART Trails Fund could be used to suppport Parks. |
| CMMS - Fleet Share | | $ 20,000 | | | | HART Road | | |
| Grind & Pave Program | | $ 177,895 | $ 70,784 | $ 200,000 | $ 240,000 | HART Road | | |
| Road Base Reconstruction Program | | $ 240,000 | $ 240,000 | $ 240,000 | $ 240,000 | HART Road | | |
| Fuel Island Replacement - Design | | $ 20,000 | | | | PW CARMA | | |
| Fuel Island Replacement - Construction | | | $ 190,000 | | | PW CARMA - $90,000 already appropriated | | |
| **Total - Roads** | **$ 573,606** | **$ 712,894** | **$ 542,450** | **$ 919,166** | **$ 908,333** | | **$ 3,656,449** | |
| | | | | | | | | |
| **Sidewalks** | | | | | | | | |
| Main Street Sidewalk - Design | $ 110,700 | | | | | HART Road - Year 1 Already funded by Ord 20-32 & Ord 21-12 | | |
| Main Street Sidewalk - Construction | | $ 1,100,000 | | | | HART Road | | |
| Ben Walters Way Sidewalk - Design & Survey | | | $ 100,000 | | | | | |
| Ben Walters Way Sidewalk - construction | | | | $ 1,500,000 | | HART Road | | |
| Svedlund to Sr. Citizens Center Sidewalk - design & construction | | | | | $ 500,000 | HART Road | | |
| **Total - Sidewalks** | **$ 110,700** | **$ 1,100,000** | **$ 100,000** | **$ 1,500,000** | **$ 500,000** | | **$ 3,310,700** | |
| | | | | | | | | |
| **Trails** | | | | | | | | |
| Small Works Trails Maintenance | $ 36,000 | $ 10,000 | $ 10,000 | $ 10,000 | $ 10,000 | HART Trails - Year 1 already funded by Ord 20-36 | | |
| Poopdeck Trail ADA ramp | $ 45,000 | | | | | HART Trails - Year 1 already funded by Ord 20-54 | | |
| Karen Hornaday Park - new pedestrian access trail - construction | | $ 150,000 | | | | applying for grant funding; use HART Trails for required match | | |
| Old Nelson Trail - design, survey & permitting | | | $ 40,000 | | | HART Trails | | |
| Old Nelson Trail - construction | | | | $ 180,000 | | HART Trails | | |
| Fairview Ave Trail - east - design, survey & construction | | | $ 30,000 | | | HART Trails | | |

| | Year 1 - July 2020 - June 2021 | Year 2 July 2021- June 2022 | Year 3 July 2022- June 2023 | Year 4 July 2023- June 2024 | Year 5 July 2024- June 2025 | Recommended Funding Source | Total Investment in Category | |
|---|---|---|---|---|---|---|---|---|
| Fairview Ave Trail - west - design, survey & permitting | | | | | $ 40,000 | HART Trails | | |
| Fairview Ave Trail - west - construction | | | | | | | | |
| Beluga Boardwark Extension - design, survey & permitting | | | | | $ 50,000 | HART Trails | | |
| **Total - Trails** | **$ 81,000** | **$ 160,000** | **$ 80,000** | **$ 190,000** | **$ 100,000** | | **$ 611,000** | |
| | | | | | | | | |
| **Parks** | | | | | | | | |
| Fleet Replacement - Parks share | | $ 60,000 | $ 60,000 | $ 50,000 | | | | |
| Automatic Pay Kiosks | $ 85,000 | | | | | CARES Act - sole source countract approved by Reso 20-108 | | |
| Woodard Creek trail | $ 7,025 | | | | | Donation - appropriated by Ord 20-90 | | |
| Karen Hornaday Park - Road Realignment | $ 15,000 | $ 120,000 | | | | Year 1 already appropriated by Acct 160-0777-5261. Balance to come from HART Road | | |
| Karen Hornaday Park - Restroom Replacement | | $ 300,000 | | | | HAWSP | | |
| Karen Hornaday Park - Water & Sewer Line replacement | | $ 25,000 | | | | HAWSP | | |
| Karen Hornaday Park - Parking Area | | $ 75,000 | | | | Parks Fund | | |
| Pioneer Ave Pocket Park | | | $ 5,000 | | | Parks Fund | | |
| Bartlett Street Pocket Park | | | $ 10,000 | | | Parks Fund | | |
| Parks ADA Transition Plan | | $ 50,000 | | | | Parks Fund | | |
| Parks ADA Implementation | | | $ 20,000 | $ 20,000 | $ 20,000 | Parks Fund | | |
| Bishop's Beach Restroom Replacement - Design | | $ 25,000 | | | | HAWSP | | |
| Nick Dudiak Fishing Lagoon Accessible Ramp & Retaining Wall - design | | $ 5,000 | | | | Parks Fund & ADA Fund | | |
| Bishop's Beach Restroom Replacement - Construction | | | $ 400,000 | | | HAWSP | | |
| Fishing Hole Restroom Replacement | | | | $ 350,000 | | HAWSP | | |
| Nick Dudiak Fishing Lagoon Accessible Ramp & Retaining Wall - Construction | | | | $ 55,000 | | Parks Fund & ADA Fund | | |
| Ben Walters Restroom Renovations | | | | | $ 75,000 | HAWSP | | |
| Jack Gist Park Improvements - Drainage | | | | | $ 60,000 | HART Road | | |
| Picnic Table Replacement Program | | $ 3,000 | $ 3,000 | $ 3,000 | $ 3,000 | Parks Fund | | |
| KHP Ballfield Renovation Program | | $ 10,000 | $ 10,000 | $ 10,000 | $ 10,000 | Parks Fund | | |
| Implentation for Wayfinding Program | | $ 20,000 | $ 20,000 | $ 10,000 | $ 10,000 | Parks Fund | | |
| **Total - Parks** | **$ 107,025** | **$ 693,000** | **$ 528,000** | **$ 498,000** | **$ 178,000** | | **$ 2,004,025** | |
| **Total Cost of Parks + Trails** | **$ 188,025** | **$ 853,000** | **$ 608,000** | **$ 688,000** | **$ 278,000** | | | |

| | Year 1 - July 2020 - June 2021 | Year 2 July 2021- June 2022 | Year 3 July 2022- June 2023 | Year 4 July 2023- June 2024 | Year 5 July 2024- June 2025 | Recommended Funding Source | Total Investment in Category | |
|---|---|---|---|---|---|---|---|---|
| Additional needed from Parks Fund for costs, which can't covered by another fund | $ - | $ 233,000 | $ 208,000 | $ 348,000 | $ 113,000 | | | |
| $ 674,618 | $ 831,639 | $ 755,639 | $ 704,660 | $ 513,681 | $ 552,702 | | | |
| | | | | | | | | |
| **Drainage** | | | | | | | | |
| Small Works Drainage Program | $ 110,000 | $ - | $ - | $ 25,000 | $ 25,000 | HART- Roads - Years 1-3 already funded by Ord 20-34 | | |
| Horizon Court Landslide Repair | $ 20,000 | | | | | HART Road - Already funded by Ord 20-61(A)(S) | | |
| Woodard Creek Culvert- Construction | $ 463,353 | | | | | HART- Roads - already appropriated by Ord 21-08 | | |
| Mt. Augustine Drainage Improvements - Construction | $ 97,000 | $ 75,000 | | | | HART- Roads - Year 1 already funded by Ord 20-85 | | |
| Update to Drainage Master Plan | $ 90,000 | | | | | HART Roads - Already funded by Ord 20-31. | | |
| **Total - Drainage** | **$ 780,353** | **$ 75,000** | **$ -** | **$ 25,000** | **$ 25,000** | | **$ 905,353** | |
| | | | | | | | | |
| **Building Maintenance** | | | | | | | | |
| HERC Strategic Plan | | $ 50,000 | | | | TBD | | |
| Repairs to sidewalk entrance at Airport Terminal | | $ 20,000 | | | | | | |
| Address PW Campus Inundation Zone issues | | $ 50,000 | $ 5,000,000 | $ 5,000,000 | $ 2,000,000 | TBD | | |
| Ionization Units in City Buildings | | $ 50,000 | | | | Other departments CARMA accounts | | |
| Fleet Replacement - Building Maint | | $ 50,000 | $ 50,000.00 | | | | | |
| **Total - Building Maintenance** | | **$ 220,000** | **$ 5,050,000** | **$ 5,000,000** | **$ 2,000,000** | | **$ 12,270,000** | |
| | | | | | | | | |
| **ADA Compliance** | | | | | | | | |
| Signage - Interior & Exterior | $ 4,000 | | | | | ADA CARMA | | |
| Restoom modifications - City wide | $ 5,000 | | | | | ADA CARMA & Misc Building CARMA accounts | | |
| Airport modifications - restroom, drinking fountain, etc. | $ 10,000 | | | | | ADA CARMA & Airport CARMA | | |
| Pave ADA parking spaces on Spit, including aprons to fish cleaning tables | $ 48,600 | | | | | ADA CARMA - $34,560 has already been appropriated by Ord 19-51 | | |
| Address access ramp issues at City Hall | | $ 14,400 | | | | ADA CARMA | | |
| Nick Dudiak Fishing Lagoon | | | $ 59,000 | | | grant? | | |
| Parking Lot Re-grading at Animal Shelter | | | $ 4,000 | | | ADA CARMA | | |
| Parks ADA Transition Plan | | $ 18,000 | | | | ADA CARMA | | |
| Parks ADA Transition Plan Implementation | | | $ 40,000 | $ 40,000 | $ 40,000 | ADA CARMA | | |

| | Year 1 - July 2020 - June 2021 | Year 2 July 2021- June 2022 | Year 3 July 2022- June 2023 | Year 4 July 2023- June 2024 | Year 5 July 2024- June 2025 | Recommended Funding Source | Total Investment in Category | |
|---|---|---|---|---|---|---|---|---|
| **Total - ADA Compliance** | **$ 67,600** | **$ 32,400** | **$ 103,000** | **$ 40,000** | **$ 40,000** | There is currently $100,000 in the ADA CARMA account | **$ 215,400** | |
| | | | | | | | | |
| | | | | | | | | |
| **Water** | | | | | | | | |
| Water Share of Ocean Drive SAD | 52,606 | | | | | Water CARMA | | |
| Reserve for Water SAD | | | | $ 400,000 | $ 400,000 | Financed by HAWSP & ADEC. City Share could be funded by HAWSP. | | |
| Water share of Fleet Replacement | | $ 184,999.0 | $ 46,666 | $ 41,666 | $ 83,333 | Water CARMA | | |
| Water share of Financial Management Services | $ 17,500 | | | | | Water CARMA - already funded by Ord 21-03 | | |
| LED lights at water treatment plant | $ 16,546 | | | | | Water CARMA- already funded by Ord 20-92 | | |
| CMMS - water share | | $ 20,000 | | | | Water CARMA | | |
| Disinfection By-Products Mitigation | $ 220,000 | | | | | Water CARMA - $210,000 already funded by Ord 20-56 | | |
| Tasmania Court Water - SAD - Construction | $ 234,105 | | | | | Financed by HAWSP & ADEC - already appropriated by Ord 20-68 City Share to be funded by HAWSP. Will receive ADEC grant of $122,822. | | |
| Tasmania Court Water - Design of betterment to serve future water storage tank | | $ 88,569 | | | | Financed by HAWSP & ADEC - already appropriated by Ord 21-11. Will receive ADEC grant of $39,259 | | |
| Alder Lane Water - SAD - Construction | $ 253,193 | | | | | Financed by HAWSP & ADEC - already appropriated by Ord 20-83. City Share to be funded by HAWSP. Will receive $112,229 ADEC grant. | | |
| Replace flow meters at Main & Danview PR stations & East Rd Monitor | | $ 15,000 | | | | Water CARMA | | |
| East Trunk - FPI Mag Flow Meter | | $ 9,000 | | | | Water CARMA | | |
| WTP HVAC Control System Upgrade | | $ 55,955 | | | | Water CARMA | | |
| Ground Water Research | | $ 100,000 | $ 50,000 | | | Water CARMA | | |
| MIOX Chlorine Generator Cell | | $ 30,000 | | | | Water CARMA | | |
| Update Water Master Plan | | | $ 30,000 | | | HAWSP | | |
| Charles Street Water - design | | $ 50,000 | | | | Would be financed by HAWSP & ADEC. City Share could be funded by HAWSP. | | |
| Charles Street Water - construction | | | $ 509,000 | | | Would be financed by HAWSP & ADEC. City Share could be funded by HAWSP. Would receive ADEC grant of $225,690. | | |
| East Hill Rd Water Betterments | | | $ 49,000 | | | Water CARMA already funded by Ord 21 -15 | | |

| | Year 1 - July 2020 - June 2021 | Year 2 July 2021- June 2022 | Year 3 July 2022- June 2023 | Year 4 July 2023- June 2024 | Year 5 July 2024- June 2025 | Recommended Funding Source | Total Investment in Category | |
|---|---|---|---|---|---|---|---|---|
| Shellfish Water Storage Tank - construction | | | | $ 1,700,000 | | Water CARMA & HAWSP | | |
| Raw Water Transmission Line Replacement - Design | $ 215,000 | | | | | Water CARMA. Already funded by Ord 20-56 | | |
| Raw Water Transmission Line Replacement - Construction | | $ 1,470,000 | | | | Waiting for FEMA Grant | | |
| Replace Compressors at WTP when construct new raw water transmission line | | $ 50,000 | | | | Water CARMA | | |
| Tesoro Vault - increase from 6" to 10" | | $ 100,000 | | | | Water CARMA - Already funded by - Ord 20-56 | | |
| PRV Replacement - West Truck Water Line | | $ 25,000 | | | | Water CARMA - Already funded by Ord 20-56 | | |
| **Total - Water** | **$1,008,950** | **$ 2,198,523** | **$ 684,666** | **$ 2,141,666** | **$ 483,333** | **received $500,000 Loan Forgiveness from ADEC** | **$ 6,517,138** | |
| | | | | | | | | |
| **Sewer** | | | | | | | | |
| Sewer Share of Ocean Drive SAD | $ 52,606 | | | | | Sewer CARMA | | |
| Fleet Replacement - Sewer | | $ 184,999 | $ 46,666 | $ 41,666 | $ 83,000 | Sewer CARMA | | |
| Reserve for Sewer SAD | | | | $ 400,000 | $ 400,000 | Would be Financed by HAWSP & ADEC. City Share could be funded by HAWSP. | | |
| LED lights at sewer plant | $ 35,844 | | | | | Sewer CARMA - already funded by Ord 20-92 and Ord 21-10 | | |
| Sewer share of Financial Management Services | $ 17,500 | | | | | Sewer CARMA - Already funded by Ord 21-03 | | |
| Digester Blowers | | $ 206,022 | | | | Sewer CARMA - $189,000 Already funded by Ord 20-57 | | |
| CMMS - Sewer share | | $ 20,000 | | | | Sewer CARMA | | |
| Tasmania Court Sewer - SAD - Design & Construction | | $ 230,272 | | | | Financed by HAWSP & ADEC. City Share to be funded by HAWSP. | | |
| Upgrade SCADA for 7 sewer lift stations | | $ 210,000 | | | | Sewer CARMA - Already funded by Ord 20-57. | | |
| Influent station back-up pump | | $ 16,136 | | | | Sewer CARMA | | |
| Sewer Inspection Camera | | $ 57,200 | | | | Sewer CARMA | | |
| WWTP Pond - Liner | | $ 25,000 | | | | Sewer CARMA | | |
| Safety Hoist for Lift Stations & other underground work | | $ 10,282 | | | | Sewer CARMA | | |
| Beluga Lift Station - preliminary design | $ 19,573 | | | | | Sewer CARMA. Already funded by Ord. 21-01 | | |
| Beluga Lift Station - construction | | $ 900,000 | | | | Sewer CARMA | | |
| Charles Street Sewer - design | | $ 55,000 | | | | Would be financed by HAWSP & ADEC. City Share could be funded by HAWSP. | | |

| | Year 1 - July 2020 - June 2021 | Year 2 July 2021- June 2022 | Year 3 July 2022- June 2023 | Year 4 July 2023- June 2024 | Year 5 July 2024- June 2025 | Recommended Funding Source | Total Investment in Category | |
|---|---|---|---|---|---|---|---|---|
| Charles Street Sewer - construction | | | $ 600,000 | | | Sewer CARMA | | |
| Update Sewer Master Plan | | | $ 30,000 | | | HAWSP | | |
| East Hill Rd Sewer Betterments | | | $ 49,000 | | | Sewer CARMA | | |
| Replace Digest Blowers | | | $ 189,000 | | | Sewer CARMA - already funded by Ord 20-57 | | |
| Shaft Compressors | | $ 85,000 | | | | Sewer CARMA - already funded by Ord 20-57 | | |
| **Total - Sewer** | **$ 125,523** | **$ 1,999,911** | **$ 914,666** | **$ 441,666** | **$ 483,000** | | **$ 3,964,766** | |

City of Homer
www.cityofhomer-ak.gov

Office of the City Manager
491 East Pioneer Avenue
Homer, Alaska 99603
citymanager@cityofhomer-ak.gov
(p) 907-235-8121 x2222
(f) 907-235-3148

# Memorandum

TO: Mayor Castner and Homer City Council

FROM: Rob Dumouchel, City Manager

DATE: April 8, 2021

SUBJECT: City Manager's Report for April 12, 2021 Council Meeting

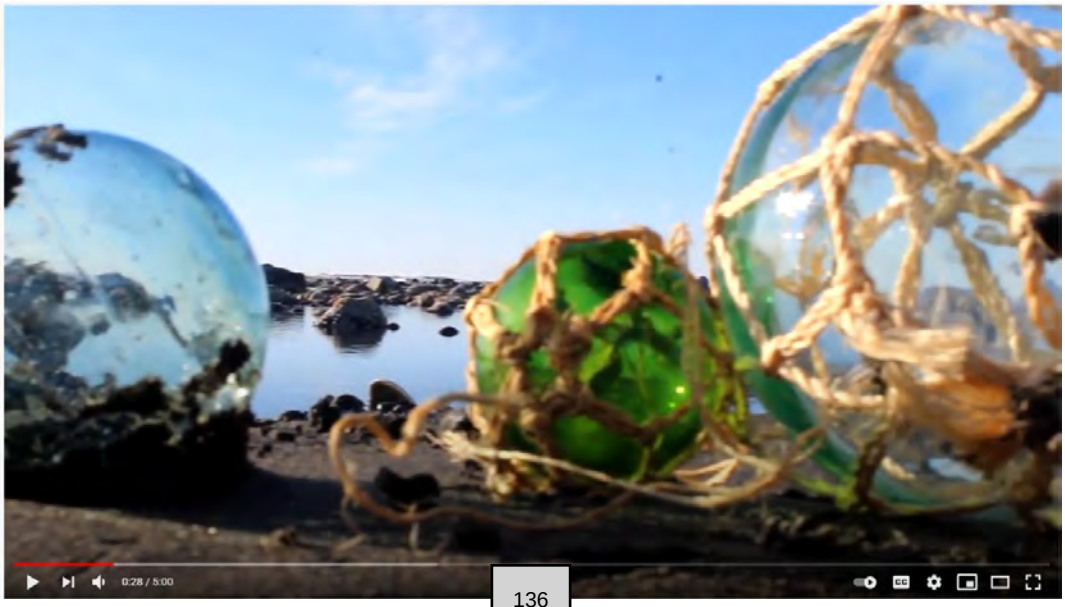
**FY22/23 Budget**

The Council met for work sessions on March 31st and April 5th to continue discussing various budget topics which included the Police Department, Volunteer Fire Department, Port & Harbor Enterprise, Public Works, Admin Fees, Fleet and Reserves. The conversations have been valuable for staff as we work to produce the budget which will be introduced in the coming months. The session on the 5th is the last "off-cycle" work session we're intending to host, but there are plans to add discussions about reporting and the fee schedule to future agendas. I started budget reviews with Directors on April 6th, about a week ahead of schedule.

**Japan Sister City Film Video Contest**

Homer and Teshio, Japan have enjoyed a Sister City relationship since 1984. Over the years, the relationship has been nurtured by occasional delegation visits between the Cities. This year, the Anchorage Consular Office of Japan offered a Japan-Alaska Friendship Video Campaign to help strengthen sister city connections.

On their own time, Homer Parks employees Matt Steffy and Stevie Drescher co-produced "Sisters & Sea Messages" https://www.youtube.com/watch?v=hNl4TsqLH5k, which won second place honors from among the eleven videos submitted to the campaign. First place went to Obihiro City, Japan's production of "Moving with Seward Towards a Brighter Future."



This value of the Sisters & Sea Messages video (a first-time film production by two friends) has spread beyond rekindling a relationship that spans the ocean – it has led to a permanent cultural installation and a valuable technology donation to a local youth organization. The Howard's have offered to donate the 16" glass float featured in the video for display at a City location, and the prize awarded by the Consular Office of Japan for winning top Alaska honors, an Oculus Quest 2 virtual reality system, will be donated to the Kachemak Bay Family Planning Clinic's Rec Room giving youth there access to many educational, artistic, puzzle solving, and social programs available today. Congratulations to Matt and Stevie and thank you for your creative work.

**HVFD CARES Equipment**

In 2020, Council approved use of CARES Act funds to purchase some emergency medical response equipment for the Volunteer Fire Department. The Lucas CPR machines and power load patient lift systems have been received and staff has been training on their use. The Lucas CPR machines provide consistent quality CPR for those in cardiac arrest and allows responders to perform quality CPR without exposing EMTs to the risk of COVID airborne/droplet particles. The photo below shows the power load patient lift system which allows HVFD's responders to load a patient up to 600 pounds without additional help to lift the cot. This equipment reduces injury risk to responders and patients.

**Kayak Rescue – A Successful Multi-Department/Agency Response**

On Monday, April 5th at 11am a 911 emergency call went out to Police Dispatch regarding an overturned kayaker in Mud Bay, approximately two miles northwest of the Harbor. The Homer Police Department, Homer Volunteer Fire Department, Homer Port & Harbor Department, and Alaska State Parks worked together to successfully respond to the incident. Aiding dispatch was the Harbormaster who had a long distance view of the kayakers via the Harbor's camera system. Alaska State Parks landing craft Phoresy was first on the scene and was able to locate and retrieve the distressed and hypothermic kayaker from the water. The kayaker was safety transported to the Homer Spit Marine terminal and delivered to an EMS crew who provided care and transport to the hospital. The Harbor tug, crewed by Deputy Harbormaster Matt Clarke and Harbor Officer

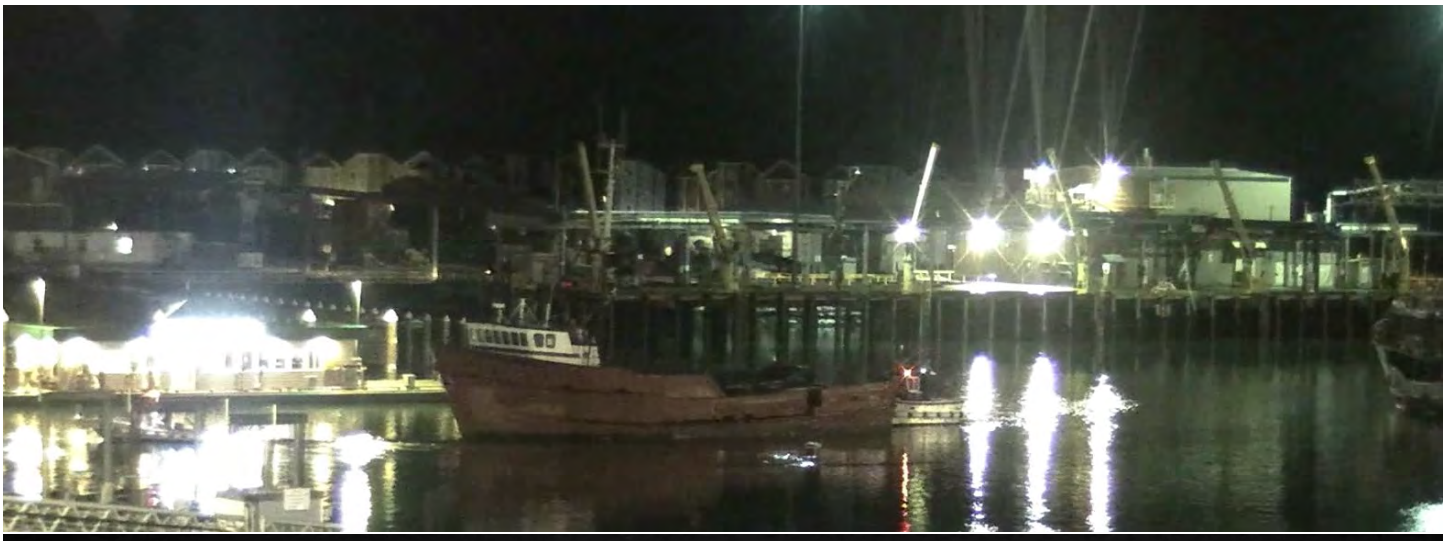
Ricky Borland, provided assistance to the second kayaker who was still in their kayak but unable to paddle back to shore. The Harbor tug also retrieved the kayak of the individual rescued by the Phoresy.

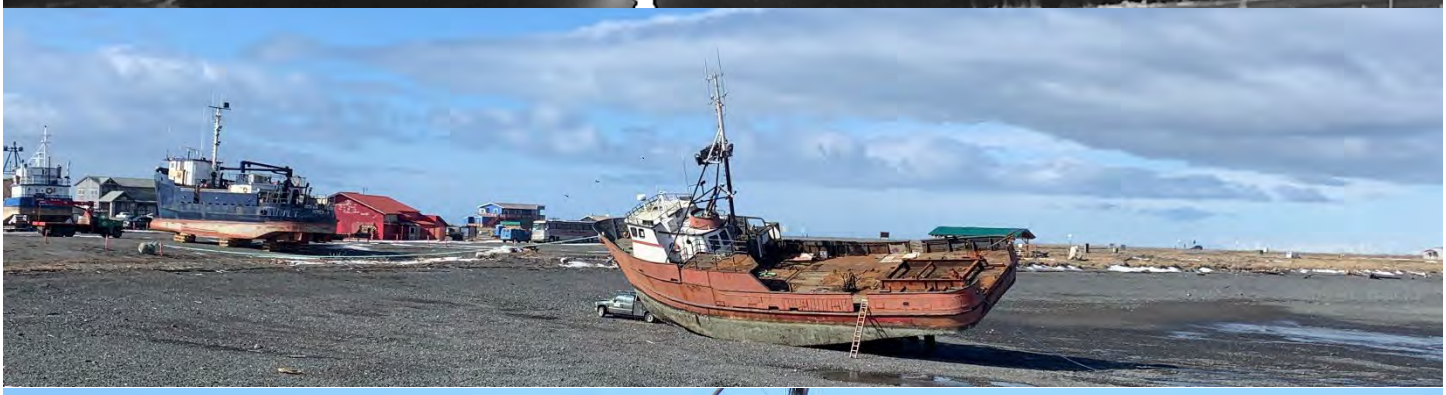
Luckily everyone walked away from this incident. A quick call to 911, a trained and dedicated staff, and the proper use of a PFD saved the day in this situation. I encourage the public to please ensure they understand the weather conditions and personal limits when launching any kind of motorized or non-motorized craft into the ocean. It is a wonderful recreational resource, but it is also very dangerous.

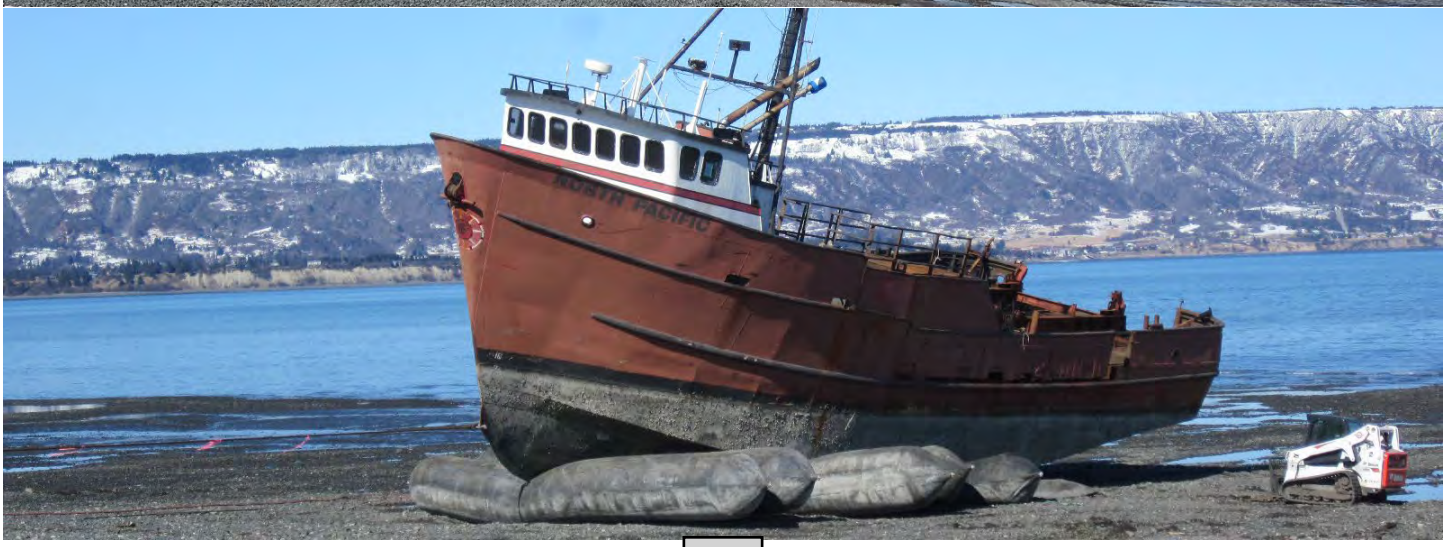
**Vessel North Pacific Update**

In my report for the March 8th Council Meeting, I provided an update on efforts to move the North Pacific and remove weight and equipment form the vessel (Council passed resolution 21-021 allowing for surplus sale of salvaged equipment). The update below provided by Harbormaster Hawkins picks up with inspections of the vessel's hull:

> *We hired Vision SubSea to use their ROV to look over the hull. We were concerned that there could be damage to the hull that would damage (pop) an airbag. Unfortunately due to the growth on the hull, the ROV did not allow us to see what we needed to see and we needed a new plan.*
>
> *Hull inspection #2 we moved the boat onto the Steel grid so that we could do an out of water inspection. You may have heard that the tide waits for no man, it also is a major cause of sleep deprivation to those who have to work them. We put her on the grid at 2pm on March 12th, met back at the boat at 8pm low water for the inspection, and then met back at the 2am high water on the 13th to take her back off the grid and once again tie up to B transit. She passed the inspection and the contractors were now comfortable with moving to the next phase.*
>
> *Deputy Harbormaster Matt Clarke and I met with Fortune Seas owner and Ian Pitzman and his port Captain Tyson Alward on Tuesday the 30th at 0315 at the Fish Dock with the Harbor Tug and Skiff. We made the tug up to the North Pacific for what I hope is the last time and game planed on deck for moving the North Pacific to the beach landing. I would run the tug and Matt the Skiff and we had Ian on the bow of the NP with a handheld helping give distances off and directions. Book high was scheduled for 0413 and our intentions were to run the boat up onto the beach at the peak of that 22' tide. Our timing was good and we arrived off shore of the beach landing about 25 minutes ahead of the tide. Tyson and harbor officer Sean McGrorty set up range markers using their vehicle lights on shore to give us something to aim at as it was hours until daylight. At about 0410 from approximately 400 yards offshore we turned the North Pacific towards the beach landing and pushed with full power at Tyson and Sean until the vessel grounded to a full stop.*
>
> *Matt ferried a large mooring line from the bow of the NP to the beach using the skiff where Tyson attached it to a large concrete block and securing the boat to the beach at the highest tide of the series.*
>
> *Fast forward to April 6th and the Fortune Seas Marine crews are moving the boat up the beach using air bags. Our plan is to put her in the vacant lot across outer dock road until July when Alaska Scrap will break her down into scrap and dispose of the waste material. There are still a lot of steps in the process before we can put this one behind us, but so far so good.*






NORTH PACIFIC

**Special Event Code Update Project**

In my repot to Council for their meeting on February 22nd, I indicated an interest in reviewing the special event code (HCC § 19.02) as it did not seem to be a good fit for the types and scale of events held in Homer. Councilmembers Venuti and Hansen-Cavasos volunteered to join an interdepartmental team of staff members that I have assembled to investigate this issue. We were able to meet with both Councilmembers the week of April 5th and identified opportunities for improvement to a number of topics within City code which have a nexus to special events (mobile food vendors, itinerant merchants, fireworks, and parking). In the coming months, we will be bringing forward some proposals which will hopefully make Homer an easy City to work with to develop fun and safe events that can be enjoyed by both residents and visitors.

**Now Hiring Temporary Employees for the Summer Season**

The City is currently hiring for a number of temporary positions that include gigs with the Library, Harbor, and Parks crews. Interested applicants are encouraged to visit https://cityofhomerak.applicantpro.com/jobs/ to learn more and apply online. We are also recruiting for full-time police officers and a part-time library technician.

## COVID-Related Updates

### COVID Risk Status

On March 30th I moved the City from the "Orange" to "Yellow" level on our COVID risk framework. This allowed the Library and the HERC to expand their availability to the public. The Library is now open for visits without an appointment, but is still maintaining restricted hours. Community Recreation programs in the HERC are being modified to allow drop-in use during certain times. For the most up to date information, I recommend checking the website: https://www.cityofhomer-ak.gov/recreation/herc-open-activities-drop-and-reservations-available-starting-april-1.

### Council Chambers

The Council Chambers are close to being complete. All wiring is in place and the dais is being closed up, the monitors are in place, speakers installed, old microphones have been rebuilt (we reverted to use of the old mics for now due to supply chain constraints), and usage of the Chambers hinges on the receipt and programming of a second camera unit. In the meantime, our Yellow risk status has allowed more in-person meetings for staff and we have used the space to meet. The photo below shows staff discussing identified gaps in our non-motorized transportation network.

Enclosures:

1. April Employee Anniversaries
2. Homer Police Department Annual Statistical Report for 2020
3. Homer Foundation Grant Report

City of Homer
www.cityofhomer-ak.gov

Office of the City Manager
491 East Pioneer Avenue
Homer, Alaska 99603
citymanager@cityofhomer-ak.gov
(p) 907-235-8121 x2222
(f) 907-235-3148

# Memorandum

TO: MAYOR CASTNER AND CITY COUNCIL

FROM: Andrea Browning

DATE: April 12, 2021

SUBJECT: April Employee Anniversaries

I would like to take the time to thank the following employees for the dedication, commitment and service they have provided the City and taxpayers of Homer over the years.

| | | | |
|---|---|---|---|
| **Joe Young** | **Public Works** | **14** | **Years** |
| **Rick Pitta** | **Police** | **12** | **Years** |
| **Travis Brown** | **Planning** | **9** | **Years** |
| **Erica Hollis** | **Port** | **9** | **Years** |
| **Jean Hughes** | **Public Works** | **7** | **Years** |
| **Jaclyn Arndt** | **Fire** | **5** | **Years** |
| **Dave Berry** | **Library** | **2** | **Years** |
| **Ricky Borland** | **Port** | **2** | **Years** |
| **Aaron Yeaton** | **Public Works** | **2** | **Years** |

# HOMER POLICE DEPARTMENT

## 2020 ANNUAL STATISTICAL REPORT

# Homer Police Department

***Purpose of the Report:***

- To report to the citizens of Homer the yearly activity of the police department.
- To reflect upon the current criminal activity and compare it to the past.
- To identify trends and changes in criminal activity. Many factors influence these numbers including population changes, economics, reporting procedures, allocation of department personnel, and law revisions. These factors should be kept in mind while reviewing this report.

*Permission is given to freely copy and use this information. Every effort is made to insure these numbers are as accurate as possible. Any numbers found in error are corrected in the following report.*

**Organization of the Report:**

This report contains statistics of offenses and incidents defined by the FBI in the Uniform of Crime Report (UCR) as well as the statistics of offenses and incidents defined by the State of Alaska and the Homer Police Department.

UCR is a national crime reporting system administrated by the FBI. This program provides a nationwide view of crime based on the monthly submission of statistics by law enforcement agencies. UCR facilitates the comparison of the crime trends between Homer and other cities in the nation.

**Source of Data:**

The numbers were extracted from the 2020 Incident and Arrest Logs, monthly reports and past yearly reports kept by the Homer Police Department.

## Homer Police Department Goals

- Actively and aggressively investigate all criminal activity that occurs within the City of Homer.
- Work with the community to address citizen concerns and create a positive and safe environment for growth and public prosperity.
- Promote and maintain crime prevention activities with an emphasis on citizen involvement, public awareness and education.
- Maintain a highly trained, professional police force that is prepared to respond to all emergencies and provide a rapid and safe resolution to all calls for service.

## Homer Police Department Mission Statement

To protect the public from criminal wrong doing, keep the peace and maintain order, assist in the orderly flow of traffic, serve the public in times of emergency and enforce the law of the land.

*Copies of this document may be obtained from:*

Homer Police Department
Mark H. Robl, Chief of Police
625 Grubstake Avenue
Homer, AK 99603
Ph: (907) 235-3150
Fax: (907) 235-3151
Email: police@ci.homer.ak.us

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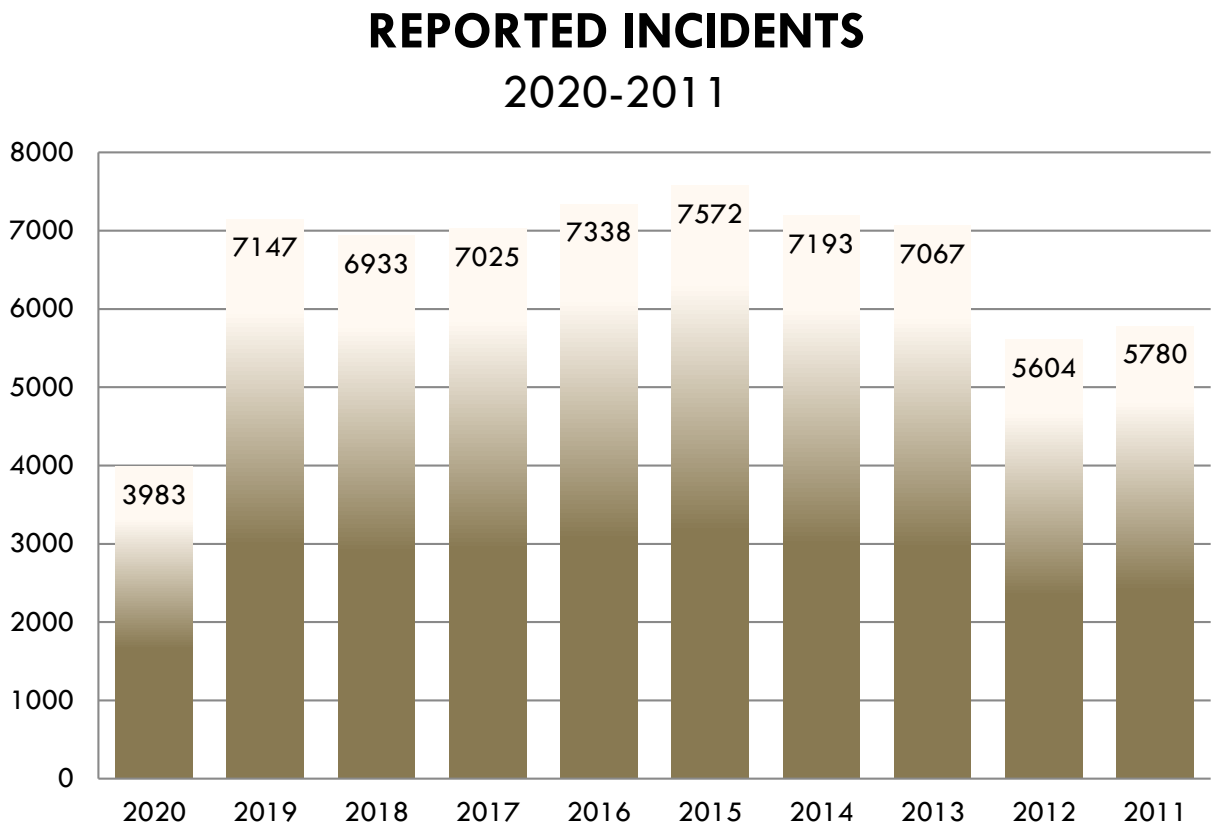
## REPORTED INCIDENTS BY CATEGORY

| CALL CODE | 2020 | CALL CODE | 2020 |
|---|---|---|---|
| 911 Hang Up | 328 | HAZMAT | 0 |
| Abandoned Vehicle | 60 | Human Trafficking | 0 |
| Accident – non Vehicle | 0 | Kidnap | 1 |
| Aircraft | 4 | Liquor Laws | 1 |
| Alarm | 100 | Litter / Illegal Dumping | 11 |
| Animal Call | 102 | Lost / Found Property | 219 |
| Arson | 0 | Miscellaneous | 69 |
| Assault | 40 | Missing Person | 3 |
| Agency Assist | 172 | Murder | 0 |
| Assist Medical | 58 | Off Highway Vehicle Complaint | 21 |
| Assist Motorist | 42 | Patrol Request | 54 |
| Assist Public | 149 | Public Appearance | 6 |
| Burglary | 9 | Public Order | 0 |
| Child Support | 0 | Recovered Stolen Property | 0 |
| Citizen Feedback | 0 | Recovered Stolen Vehicle | 0 |
| Civil Issue | 123 | REDDI Report | 222 |
| Collision | 157 | Remains Unknown | 0 |
| Commercial Vehicle Offense | 0 | Robbery | 0 |
| Computer Crime | 3 | Security Check | 345 |
| Custodial Interference | 0 | Serve Court Documents | 12 |
| Damage Property | 45 | Sex Offense | 12 |
| Deceased person | 18 | Stalking | 0 |
| Disturbance | 222 | Sex Offender Registration | 4 |
| Drugs | 49 | Suspicious Circumstances | 305 |
| Driving Under the Influence | 50 | Terroristic Threatening | 2 |
| Endangerment - Adult | 2 | Theft – Non Vehicle | 113 |
| Endangerment - Child | 2 | Theft – Vehicle | 16 |
| Escape | 0 | Traffic | 160 |
| Extort / Blackmail | 0 | Transport | 11 |
| Fire | 2 | Trespass | 114 |
| Forgery / Fraud | 35 | Violate Conditions of Release | 20 |
| Fugitive from Justice | 0 | Warrant Arrest | 42 |
| Gaming Laws | 0 | Weapons Offense | 2 |
| Harassment | 55 | Welfare Check | 391 |
| | | **TOTAL INCDIDENTS 2020** | **3983** |

## REPORTED INCIDENTS

| MONTH | 2020 INCIDENTS | 2019 INCIDENTS | 2018 INCIDENTS | 2017 INCIDENTS | 2016 INCIDENTS |
|---|---|---|---|---|---|
| **January** | 425 | 432 | 372 | 469 | 541 |
| **February** | 433 | 371 | 375 | 405 | 467 |
| **March** | 341 | 469 | 454 | 505 | 506 |
| **April** | 308 | 525 | 523 | 538 | 560 |
| **May** | 361 | 681 | 638 | 705 | 793 |
| **June** | 335 | 714 | 686 | 697 | 656 |
| **July** | 370 | 855 | 850 | 999 | 854 |
| **August** | 391 | 828 | 767 | 753 | 746 |
| **September** | 317 | 621 | 669 | 498 | 664 |
| **October** | 244 | 688 | 620 | 521 | 525 |
| **November** | 236 | 482 | 490 | 487 | 541 |
| **December** | 222 | 481 | 489 | 448 | 485 |
| **TOTAL** | **3983** | **7147** | **6933** | **7025** | **7338** |
| **% CHANGE** | **-44.2%** | **+3.1%** | **-1.3%** | **-4.3%** | **-** |

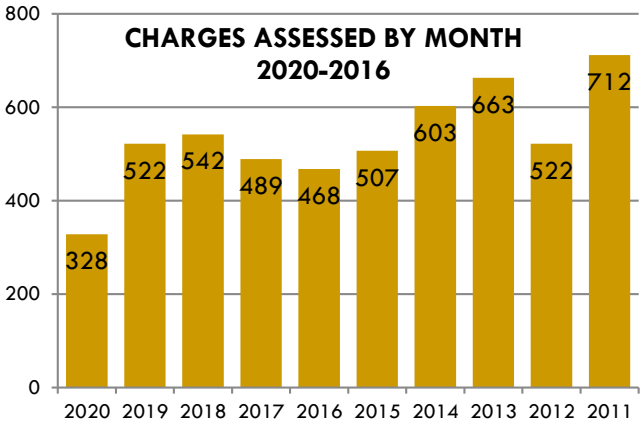


## SUMMARY OF ARREST CHARGES*

| Group A CHARGES | 2020 | 2019 | 2020 Adult | Juv |
|---|---|---|---|---|
| Animal Cruelty | 0 | 0 | | |
| Arson | 0 | 0 | | |
| Assault: Simple | 30 | 34 | 30 | |
| Assault: Aggravated | 15 | - | 15 | |
| Assault: Intimidation | 1 | - | 1 | |
| Burglary | 5 | 7 | 5 | |
| Counterfeiting/Forgery | 0 | 1 | | |
| Destruction/Damage/Vandalism | 17 | 14 | 17 | |
| Drugs: MICS I | 0 | 0 | | |
| Drugs: MICS II | 0 | 0 | | |
| Drugs MICS III | 0 | 0 | | |
| Drugs MICS IV-MICS VI | 17 | 16 | 16 | 1 |
| Embezzlement | 0 | 0 | | |
| Fraud | 3 | 1 | 3 | |
| Gambling | 0 | 0 | | |
| Homicide/Murder | 0 | 0 | | |
| Human trafficking | 0 | 0 | | |
| Kidnap | 0 | 0 | | |
| Larceny: Theft I | 0 | - | | |
| Larceny: Theft II | 6 | 4 | 6 | |
| Larceny: Theft III | 4 | 5 | 4 | |
| Larceny: Theft IV | 16 | 41 | 12 | 4 |
| Larceny: Vehicle Theft | 4 | 4 | 40 | |
| Prostitution | 0 | 0 | | |
| Pornography/Obscene Material | 0 | 1 | | |
| Robbery | 0 | 0 | | |
| Sex Offenses | 6 | 0 | 6 | |
| Weapons Offense | 8 | 7 | 8 | |
| **Group B CHARGES** | | | | |
| Disorderly Conduct | 7 | 17 | 7 | |
| Driving While Intoxicated | 70 | 53 | 70 | |
| Refuse Chemical Test( Misd or Felony) | 14 | 10 | 14 | |
| Liquor Law Violations | 1 | 0 | 1 | |
| Trespass | 22 | 35 | 22 | |
| Reckless Endangerment | 2 | 4 | 2 | |
| Resisting Arrest | 6 | 7 | 6 | |
| TRO Violation | 2 | 4 | 2 | |
| Unlawful Contact 1st/2nd Degree (DV) | 1 | 1 | 1 | |
| Vehicle Tampering | 0 | 1 | | |
| Violation of Conditions of Release | 32 | 90 | 32 | |
| Warrant Arrest (FTA) | 7 | 90 | 7 | |
| Fugitive from Justice | 2 | 4 | 2 | |
| Probation Violation | 0 | 0 | | |
| Protective Custody | 3 | 19 | 3 | |
| Harassment | 1 | 2 | 1 | |
| Obstruct Justice | 7 | 8 | 7 | |
| Traffic offenses | 19 | 42 | 19 | |
| **TOTAL CHARGES** | **328** | **522** | **323** | **5** |

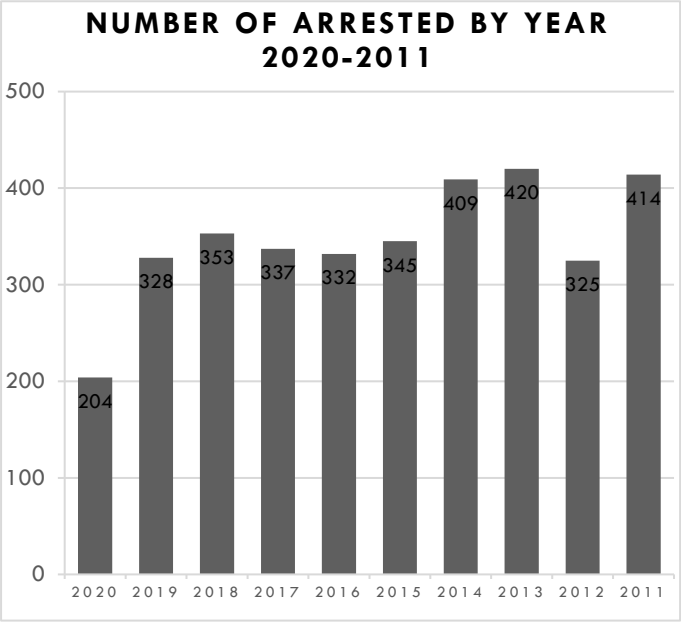
*Numbers representative of charges and not individual people*

| CHARGES ASSSESSED BY YEAR 2020-2011 | | | | | |
|---|---|---|---|---|---|
| **MONTH** | **2020** | **2019** | **2018** | **2017** | **2016** |
| January | 40 | 25 | 17 | 27 | 54 |
| February | 11 | 32 | 32 | 15 | 30 |
| March | 30 | 21 | 48 | 44 | 33 |
| April | 7 | 20 | 32 | 42 | 25 |
| May | 29 | 49 | 36 | 52 | 62 |
| June | 46 | 69 | 69 | 33 | 55 |
| July | 22 | 71 | 49 | 41 | 46 |
| August | 33 | 54 | 60 | 38 | 43 |
| September | 30 | 36 | 47 | 36 | 45 |
| October | 36 | 56 | 73 | 49 | 29 |
| November | 36 | 41 | 37 | 56 | 18 |
| December | 8 | 48 | 42 | 56 | 28 |
| **TOTAL** | **328** | **522** | **542** | **489** | **468** |
| % CHANGE | -37.2% | -3.7% | +10.8% | +4.5% | - |

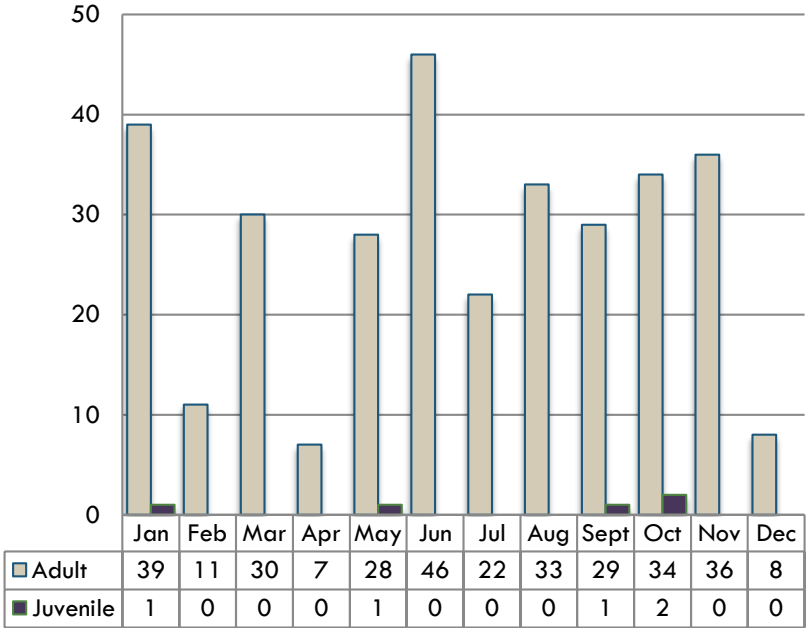


## SUMMARY OF ARRESTS

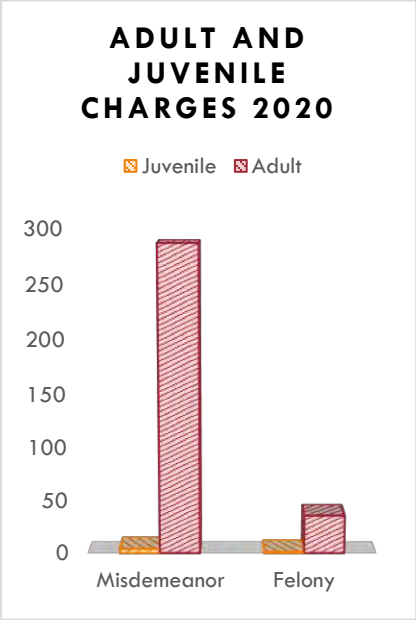
| NUMBER OF PERSONS ARRESTED BY MONTH 2020-2016 | | | | | |
|---|---|---|---|---|---|
| | **2020** | **2019** | **2018** | **2017** | **2016** |
| January | 24 | 18 | 17 | 23 | 40 |
| February | 9 | 23 | 23 | 12 | 21 |
| March | 20 | 17 | 29 | 24 | 25 |
| April | 5 | 18 | 24 | 25 | 17 |
| May | 17 | 35 | 25 | 31 | 39 |
| June | 23 | 32 | 44 | 25 | 37 |
| July | 17 | 32 | 35 | 32 | 33 |
| August | 23 | 32 | 36 | 28 | 34 |
| September | 23 | 24 | 30 | 33 | 28 |
| October | 19 | 38 | 40 | 37 | 25 |
| November | 18 | 26 | 24 | 38 | 15 |
| December | 6 | 33 | 26 | 29 | 18 |
| **TOTAL** | **204** | **328** | **353** | **337** | **332** |
| % CHANGE | -37.8% | -7.1% | +4.7% | +1.5% | - |




## COMPARISION OF ADULT & JUVENILE ARREST CHARGES FOR 2020

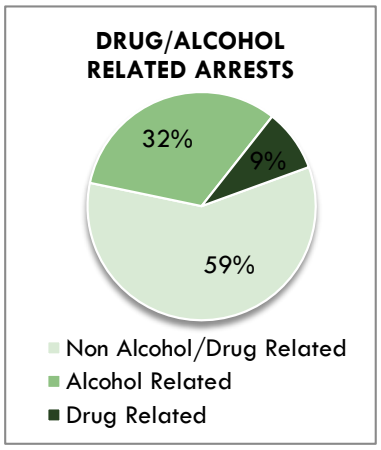


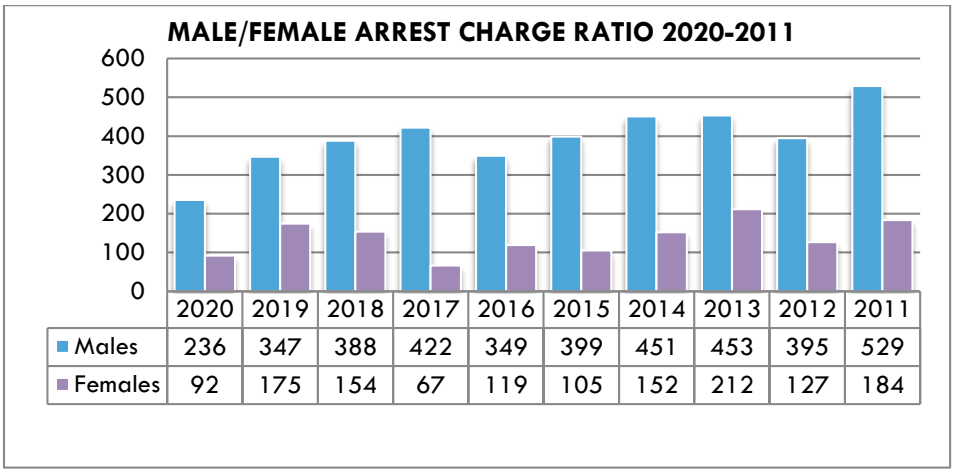

| | Jan | Feb | Mar | Apr | May | Jun | Jul | Aug | Sept | Oct | Nov | Dec |
|---|---|---|---|---|---|---|---|---|---|---|---|---|
| Adult | 39 | 11 | 30 | 7 | 28 | 46 | 22 | 33 | 29 | 34 | 36 | 8 |
| Juvenile | 1 | 0 | 0 | 0 | 1 | 0 | 0 | 0 | 1 | 2 | 0 | 0 |



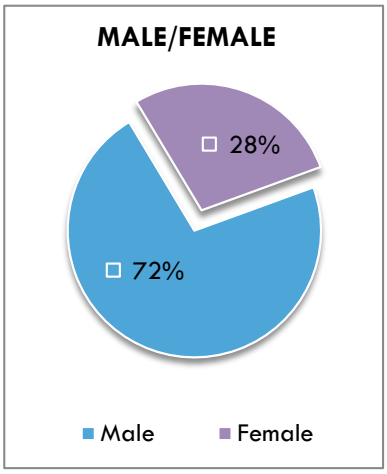
## DISTRIBUTION OF CHARGES 2020

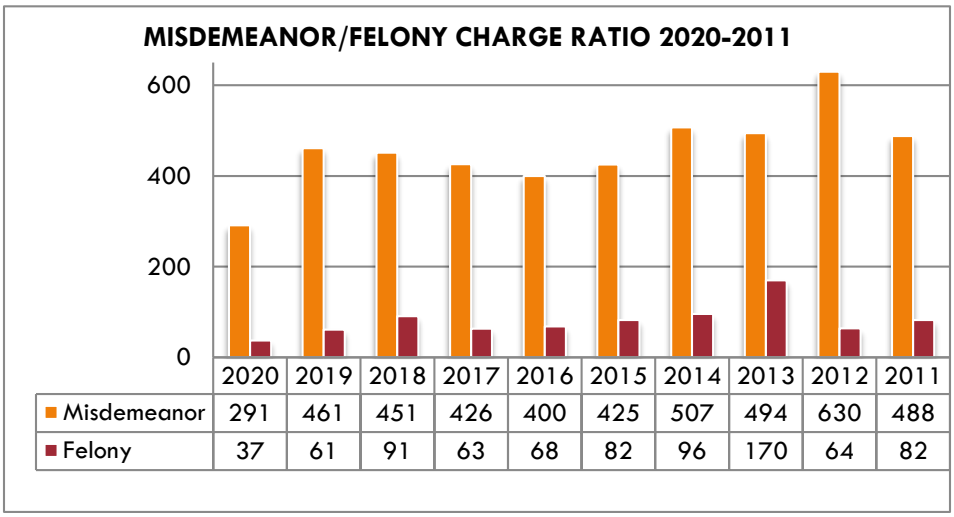
| YEARLY TOTALS | ADULTS | JUVENILES | TOTALS | DRUG RELATED | ALCOHOL RELATED |
|---|---|---|---|---|---|
| ARRESTS | 199 | 5 | **204** | 18 | 66 |
| CHARGES | 323 | 5 | **328** | | |
| *FELONIES* | 36 | 1 | **37** | | |
| *MISDEMEANORS* | 287 | 4 | **291** | | |



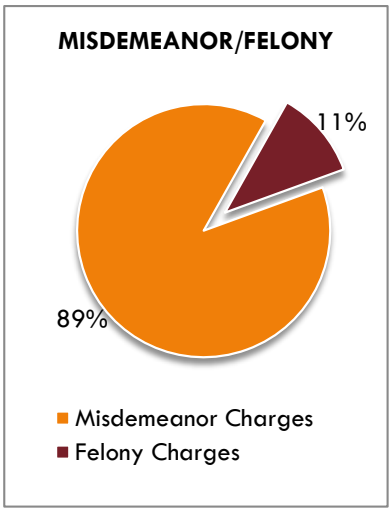




| | 2020 | 2019 | 2018 | 2017 | 2016 | 2015 | 2014 | 2013 | 2012 | 2011 |
|---|---|---|---|---|---|---|---|---|---|---|
| Males | 236 | 347 | 388 | 422 | 349 | 399 | 451 | 453 | 395 | 529 |
| Females | 92 | 175 | 154 | 67 | 119 | 105 | 152 | 212 | 127 | 184 |



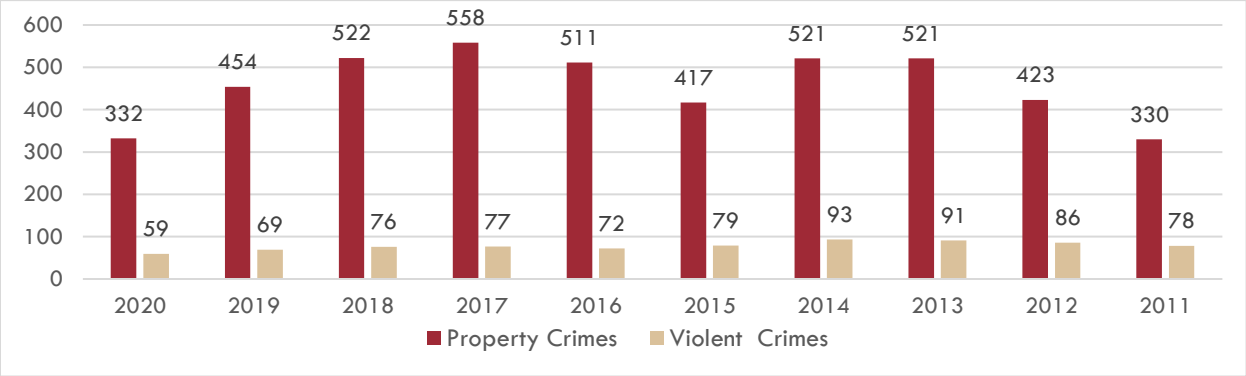

| | 2020 | 2019 | 2018 | 2017 | 2016 | 2015 | 2014 | 2013 | 2012 | 2011 |
|---|---|---|---|---|---|---|---|---|---|---|
| Misdemeanor | 291 | 461 | 451 | 426 | 400 | 425 | 507 | 494 | 630 | 488 |
| Felony | 37 | 61 | 91 | 63 | 68 | 82 | 96 | 170 | 64 | 82 |



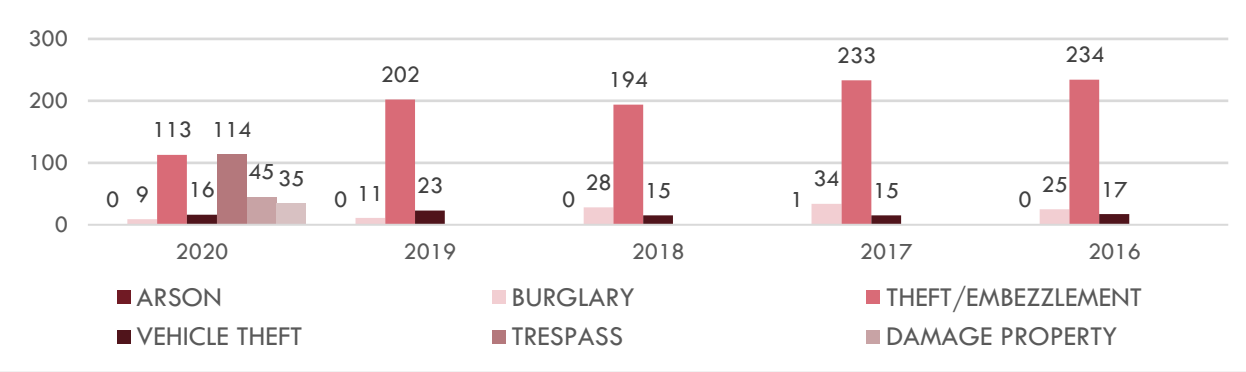
## CRIMES REPORT: PROPERTY & VIOLENT

| PROPERTY CRIMES 2020 | | VIOLENT CRIMES 2020 | |
|---|---|---|---|
| ARSON | 0 | ASSAULT | 40 |
| BURGLARY | 9 | RESISTING ARREST | 6 |
| THEFT / EMBEZZLEMENT | 113 | ROBBERY | 0 |
| FRAUD / FORGERY | 35 | SEX ABUSE/ASSAULT | 12 |
| TRESPASS | 114 | STALKING | 0 |
| DAMAGE PROPERTY | 45 | KIDNAP | 1 |
| VEHICLE THEFT | 16 | HOMICIDE | 0 |
| **TOTALS** | **332** | **TOTALS** | **59** |

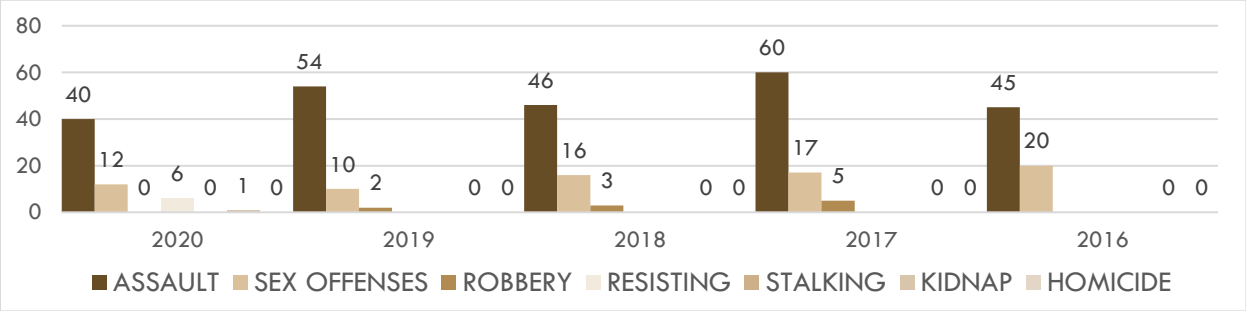
## NUMBER OF REPORTED PROPERTY AND VIOLENT CRIMES 2020 - 2011




## ANALYSIS OF MAJOR PROPERTY CRIMES

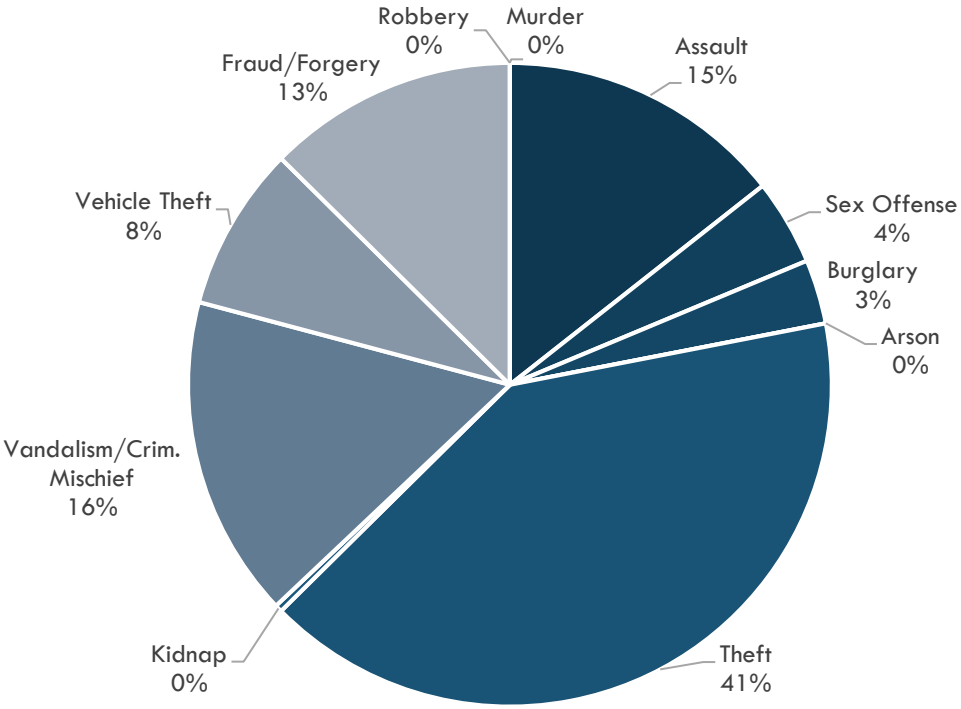



## ANALYSIS OF MAJOR VIOLENT CRIMES

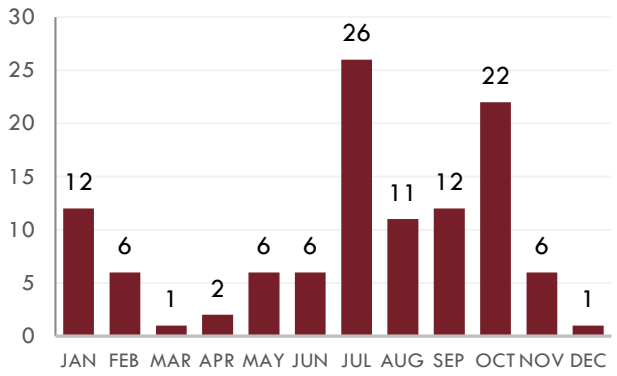


## DISTRIBUTION OF MAJOR OFFENSE BY PERCENTAGE

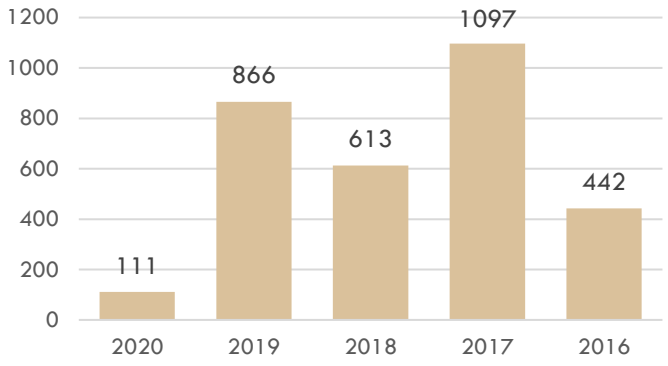
| | | |
|---|---|---|
| Arson | = | 0 |
| Assault | = | 40 |
| Burglary | = | 9 |
| Fraud/Forgery | = | 35 |
| Kidnap | = | 1 |
| Murder | = | 0 |
| Robbery | = | 0 |
| Sex Offenses | = | 12 |
| Theft/Embezzlement | = | 113 |
| Vandalism/Criminal Mischief | = | 45 |
| Vehicle Theft | = | 16 |



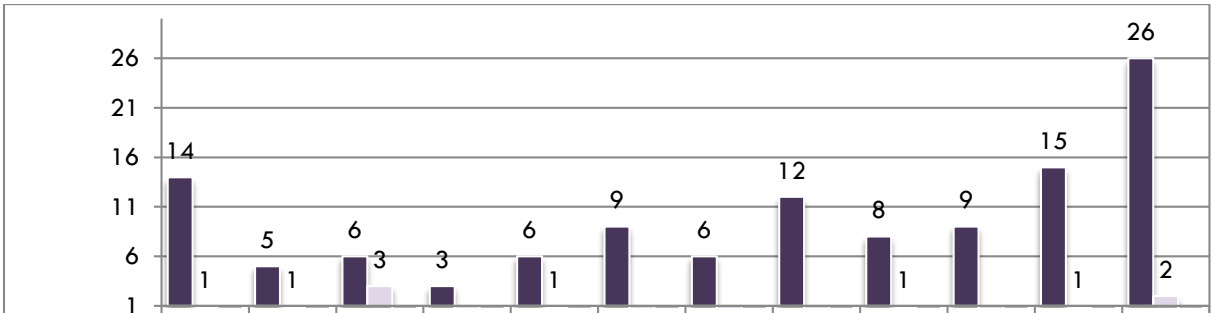
## CITATIONS 2020




## TRAFFIC CITATIONS ISSUED 2020-2016

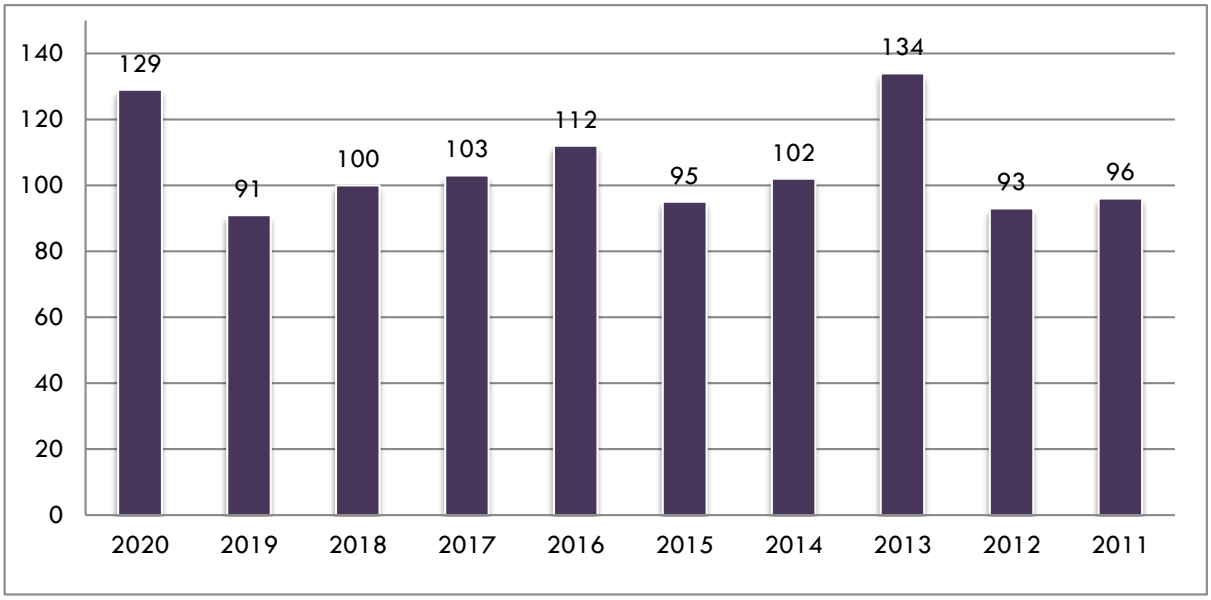



## 2020 MOTOR VEHICLE ACCIDENTS




| | JAN | FEB | MAR | APR | MAY | JUN | JUL | AUG | SEP | OCT | NOV | DEC |
|---|---|---|---|---|---|---|---|---|---|---|---|---|
| Damage | 14 | 5 | 6 | 3 | 6 | 9 | 6 | 12 | 8 | 9 | 15 | 26 |
| Injury | 1 | 1 | 3 | 0 | 1 | 0 | 0 | 0 | 1 | 0 | 1 | 2 |
| Fatality | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |

## MOTOR VEHICLE ACCIDENTS 2020-2011

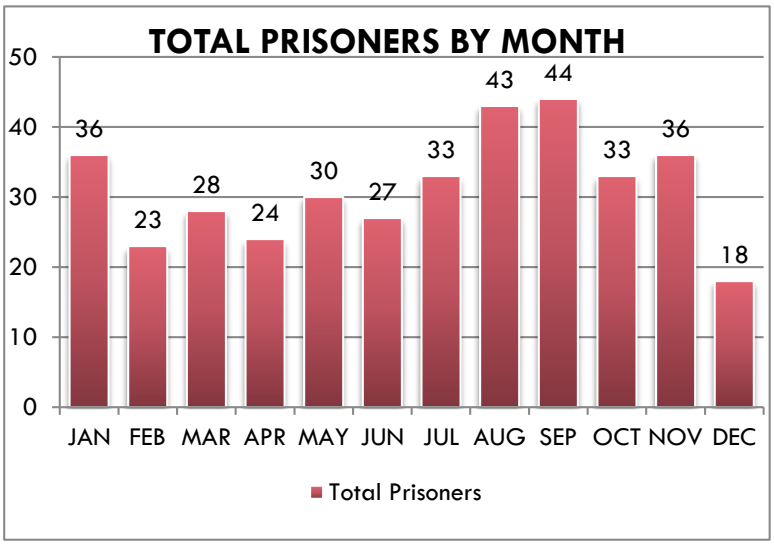


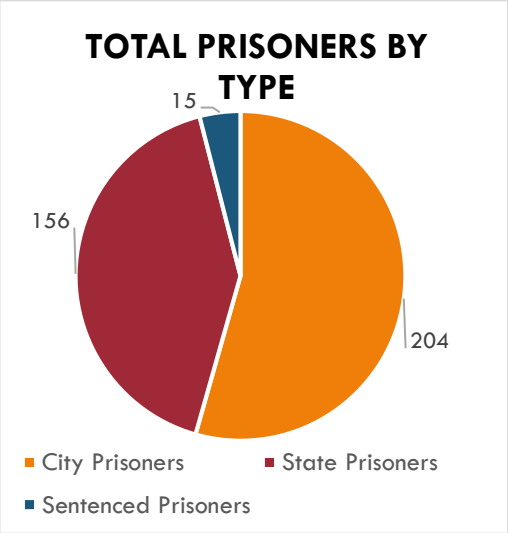
## HOMER COMMUNITY JAIL

*Number of Prisoners Housed*

| | 2020 | | | | 2019 | | | |
|---|---|---|---|---|---|---|---|---|
| MONTH | City Prisoners | State Prisoners | Sentenced Prisoners | Total Prisoners 2020 | City Prisoners | State Prisoners | Sentenced Prisoners | Total Prisoners 2019 |
| January | 18 | 13 | 5 | 36 | 9 | 7 | 1 | 16 |
| February | 10 | 10 | 3 | 23 | 15 | 5 | 2 | 22 |
| March | 16 | 11 | 1 | 28 | 15 | 9 | 4 | 28 |
| April | 8 | 16 | 0 | 24 | 15 | 10 | 1 | 26 |
| May | 17 | 13 | 0 | 30 | 29 | 19 | 0 | 48 |
| June | 22 | 5 | 0 | 27 | 29 | 10 | 0 | 39 |
| July | 18 | 15 | 0 | 33 | 26 | 17 | 2 | 45 |
| August | 27 | 12 | 4 | 43 | 23 | 16 | 3 | 42 |
| September | 22 | 22 | 0 | 44 | 17 | 13 | 1 | 31 |
| October | 20 | 12 | 1 | 33 | 36 | 18 | 3 | 57 |
| November | 23 | 12 | 1 | 36 | 22 | 28 | 6 | 56 |
| December | 3 | 15 | 0 | 18 | 26 | 18 | 4 | 48 |
| **TOTALS** | **204** | **156** | **15** | **375** | **261** | **170** | **27** | **458** |

# NUMBER OF PRISONERS HOUSED
2020



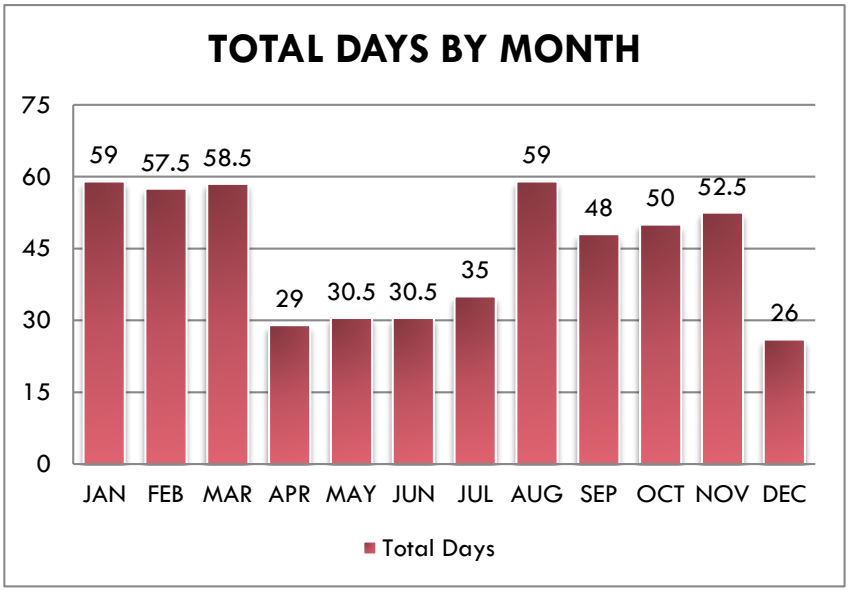
## HOMER COMMUNITY JAIL

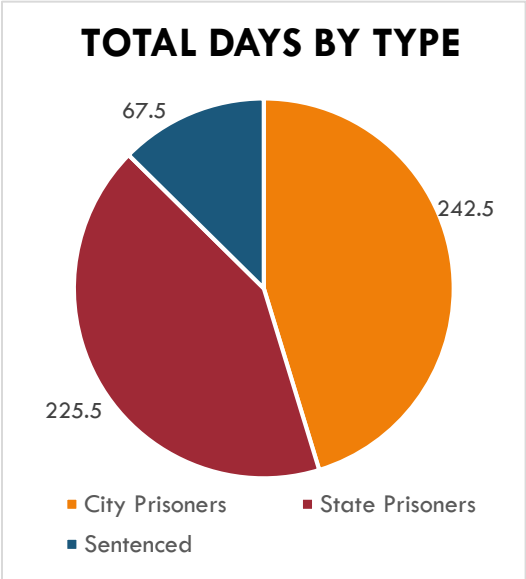
*Number of Days Served by Prisoners*

| MONTH | 2020 City Prisoners | 2020 State Prisoners | 2020 Sentenced Prisoners | 2020 Total Days 2020 | 2019 City Prisoners | 2019 State Prisoners | 2019 Sentenced Prisoners | 2019 Total Days 2019 |
|---|---|---|---|---|---|---|---|---|
| January | 15.5 | 13 | 30.5 | 59 | 8.5 | 8.5 | 4 | 21 |
| February | 22 | 19 | 16.5 | 57.5 | 20 | 10.5 | 6.5 | 37 |
| March | 26.5 | 28.5 | 3.5 | 58.5 | 25 | 18.5 | 18 | 61.5 |
| April | 7 | 22 | 0 | 29 | 13.5 | 12.5 | 4 | 30 |
| May | 21.5 | 9 | 0 | 30.5 | 35 | 26 | 0 | 61 |
| June | 19.5 | 11 | 0 | 30.5 | 32.5 | 9 | 0 | 41.5 |
| July | 14.5 | 20.5 | 0 | 35 | 27 | 23.5 | 1.5 | 52 |
| August | 28.5 | 21.5 | 9 | 59 | 24 | 25 | 1.5 | 50.5 |
| September | 12.5 | 35.5 | 0 | 48 | 29.5 | 25 | 7 | 61.5 |
| October | 41.5 | 7.5 | 1 | 50 | 45.5 | 28.5 | 11.5 | 85.5 |
| November | 30 | 15.5 | 7 | 52.5 | 24.5 | 33 | 23.5 | 81 |
| December | 3.5 | 22.5 | 0 | 26 | 28.5 | 20 | 16.5 | 65 |
| **TOTALS** | **242.5** | **225.5** | **67.5** | **535.5** | **313.5** | **240** | **94** | **647.5** |

# NUMBER OF DAYS SERVED BY PRISONERS

2020



## GLOSSARY

**Arrests** - For each person arrested only the most serious crime is reported to the FBI by the UCR report, providing a body count.

**Assault** - An unlawful attack by one person upon another for the purpose of inflicting severe or aggravated bodily injury, or place the person in fear.

**AST** - Alaska State Troopers

**Burglary** - The unlawful entry of a structure with intent to commit a crime. The use of force to gain entry is not required to classify an offense as burglary. The unlawful entry of a structure, including motor homes, with the intent to commit a crime.

**Domestic Violence** - Those crimes against the person consisting of harassment, criminal trespass and assault. The incident is considered domestic violence when the victim is a spouse or a former spouse; a parent, grandparent, child or grandchild; a member of the social unit comprised of those living together in the same dwelling; or a person who is not a spouse or former spouse but who previously lived in a spousal relationship or is in or has been in a dating courtship, or engagement relations with the person committing the act. Domestic assault is designated in the Assault/Family categories.

**DV Writ Service (Domestic Violence Writ)** - A special type of restraining order issued by the court when convinced that the applicant has been, or will likely be, subject to domestic violence.

**DWLR/S/C** - Operating a motor vehicle while operator's license is suspended, revoked or cancelled: Violation or in some limited cases an A Misdemeanor offense.

**Fugitive from Justice** – An individual arrested on an arrest warrant from a state other than Alaska.

**HPD** - Homer Police Department

**Incident** - Initial request for service; service provided by HPD.

**NIBRS (National Incident Based Reporting System) -** Replaced UCR, effective Jan 1, 2021.

**Property Crime** - Offense involving property only. No assault to persons are involved. Categories involved: arson, burglary, embezzlement/theft, fraud, forgery, trespass, vandalism/criminal mischief, and vehicle theft.

**Robbery** - The taking or attempting to take anything of value from the care, custody, or control of a person or persons by force or threat of force or violence and/or putting the victim in fear.

**Service Request** - All offenses or services stemming from the initial incident.

**Sex Offense** - Includes such offenses as: sexual abuse/assault of a minor, exploitation of a minor, incest, indecent exposure, enticement of a minor, and other offenses against minors.

**Sexual Abuse** - Any sexual contact of a child 15 years of age or younger by someone 4 or more years older than the victim OR any sexual contact of a child under the age of eighteen by someone occupying a position of authority over that child. (The "adult" or "juvenile" classifications denote the status of the person committing the crime.)

**GLOSSARY (Cont.)**

**Sexual Assault** - Any sexual contact with another person without consent of that person. (Note that this definition uses the term "person" and does not specify that it must be a female.) The "adult" or "juvenile" classifications denote the status of the person committing the crime.

**Theft** - The unlawful taking, carrying, leading, or riding away of property from the possession or constructive possession of another. Does not include embezzlement, "con" games, forgery, and worthless checks.

**Theft I** – Theft is committed and the value of the property or service is $25,000 or more.

**Theft II** – Theft is committed and the value of the property or service is more than $750, but less than $25,000 – or the property is a firearm.

**Theft III** – Theft is committed and the value of the property or service is $250 or more, but less than $750.

**Theft IV** – Theft is committed and the value of the property or service is less than $250.

**Theft of Vehicle** - The theft or attempted theft of a motor vehicle. This does not include taking of a motor vehicle for temporary use by those persons having lawful access.

**TRO Violation** - Violating the terms of a domestic violence writ.

**UCR (Uniform Crime Reporting)** - A nationwide voluntary program of reporting crimes; administered by the FBI. A standard used by all participating agencies, which measures crime statistics, and trends.

**Violent Crime** - Offense involving assault to a person. Categories involved: assaults, resisting arrest, robbery, sex abuse/assault, stalking, kidnapping and murder.

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The HOMER FOUNDATION | 29 years 1991-2020

Connecting generosity to community need since 1991.

City of Homer
Attn: Hon. Mayor Castner and City Council
491 E. Pioneer Avenue
Homer, AK 99603

March 26, 2021

**HOMER FOUNDATION: City of Homer Grants Program 2021**

Dear Mayor Castner and City Council Members:

The Homer Foundation has administered the City of Homer Grants Program since 2000. In that time over $860,000 has been awarded to local nonprofits to support the programs and services they provide to the community.

In the 2021 funding cycle a total of $31,500 was available for distribution. This includes funding from the city budget ($25,000) and earned income from the City of Homer's ($6145.93) and the City of Kachemak's endowment funds ($276.06), which Kachemak City includes each year in the spirit of good neighbors. The Foundation adds a portion to make a nice round number. The program is administered under guidelines developed between the City of Homer and the Homer Foundation.

Requests for awards are reviewed and recommended by a community/foundation committee known as the City of Homer Grants Committee. Their recommendations are approved at the discretion of the Homer Foundation Board of Trustees. This year's City of Homer Grants Committee consisted of HF Board of Directors Paul Seaton (chair), Ken Taylor, and Dave Derry, with community members Chris Story, Chris Brown, Janie Leask, and Cass Crandall. All participants adhere to the Homer Foundation's Conflict of Interest Policy.

It is a difficult task to review organizations with very different missions, but all committee members agreed these nonprofits are high functioning organizations providing valuable programs and services to the community. Funding is considered based on three overarching areas of a.) Service to the Community, b.) Budget size and practices and c.) Broad Base of Support. This year provided an extra pressure with the compounding factors of funding pressures from state and local sources as well as the predicted need due to the COVID-19 pandemic.

The committee also understands the value of demonstrating community support when organization apply for other grants. Local support can be key when leveraging other monies.

A total of 14 applications were received and reviewed. The committee's recommendations for the following awards were approved by the Homer Foundation board of trustees at their March 24th board meeting:

| Organization | 2021 Awards |
|---|---|
| Bunnell Street Gallery | $ 1,000 |
| Center for AK Coastal Studies | $ 1,000 |
| Cook Inlet Keeper | $ 1,000 |
| Homer Community Food Pantry | $ 5,500 |
| Homer Council on the Arts | $ 2,000 |
| Homer Farmers Market | $ 4,500 |
| Homer Hockey Association | $ 2,000 |
| Hospice of Homer | $ 3,500 |
| Kachemak Bay Family Planning Clinic | $ 3,500 |
| Kachemak Heritage Land Trust | $ 1,000 |
| Kachemak Nordic Ski Club | $ 1,000 |
| Kachemak Pony Club | $ 1,000 |
| KBBI | $ 3,500 |
| SPROUT | $ 1,000 |
| Total: | $31,500 |

Each year, we take the opportunity to compile a synopsis of the economic impact of the nonprofits that have submitted applications. In 2021 these organizations generated over $6.8 million in revenues, including $3.6 million in new money coming into Homer from State, Federal and Foundation grants. They also employ 89 full, part-time, and seasonal employees with combined personnel expenses exceeding $2.9 million. The data from these organizations help to illustrate just how important Homer's nonprofit sector is as an economic driver in our economy.

During times of economic down turn the City's continued support is more important than ever by providing important general operating support. These organizations are also able to leverage additional funding with City support. The community benefits because a strong nonprofit community makes Homer a safer, healthier, more vibrant place to live, play, and work.

It is an honor to administer the City of Homer Grants Program as a free service to the community, and to encourage the City of Homer to continue their support of Homer's vital, and economically important nonprofit community. If the Council wishes a presentation on the awards and state of the Homer Foundation, I am at your service.

Respectfully submitted,

Mike Miller, Executive Director
Homer Foundation
235.0551
mikemiller@homerfoundation.org

*Notice: This opinion is subject to correction before publication in the PACIFIC REPORTER. Readers are requested to bring errors to the attention of the Clerk of the Appellate Courts, 303 K Street, Anchorage, Alaska 99501, phone (907) 264-0608, fax (907) 264-0878, email corrections@akcourts.us.*

THE SUPREME COURT OF THE STATE OF ALASKA

| | | |
|---|---|---|
| FRANK GRISWOLD, | ) | |
| | ) | Supreme Court No. S-17669 |
| Appellant, | ) | |
| | ) | Superior Court No. 3HO-18-00240 CI |
| v. | ) | |
| | ) | O P I N I O N |
| HOMER ADVISORY PLANNING COMMISSION, DEREK REYNOLDS, CATRIONA REYNOLDS, and RICK ABBOUD, | ) | No. 7515 – April 9, 2021 |
| | ) | |
| Appellees. | ) | |
| | ) | |

Appeal from the Superior Court of the State of Alaska, Third Judicial District, Homer, Lance Joanis, Judge.

Appearances: Frank Griswold, pro se, Homer, Appellant. Michael R. Gatti and Max D. Holmquist, Jermain Dunnagan & Owens, P.C., Anchorage, for Appellees Homer Advisory Planning Commission and Rick Abboud. No appearance by Appellees Derek Reynolds and Catriona Reynolds.

Before: Bolger, Chief Justice, Winfree, Maassen, Carney, and Borghesan, Justices.

BOLGER, Chief Justice.

## I. INTRODUCTION

Homer's Advisory Planning Commission (the Commission) approved a conditional use permit for the owners of a bicycle shop seeking to expand their entryway

and install a covered porch. This permit allowed the owners to extend the covered area up to 8 feet into the 20-foot setback at the front of the business. An objecting Homer resident appeals from the superior court's decision affirming the permit approval, raising numerous procedural, legal, and factual issues. His main contentions can be grouped into five general categories: (1) the Commission should have used a variance and not a conditional use permit; (2) the approval process violated various constitutional rights; (3) the Commission erred in its findings supporting the project; (4) the City Planner's participation in the appeal was inappropriate; and (5) the judge was biased against him. None of his arguments has merit.

We conclude that the Homer City Council, in an appropriate use of its legislative discretion, has chosen the conditional permitted use process to grant certain setback reductions. The Commission's approval process and findings complied with applicable city code requirements and adequately protected the objecting resident's rights. The City Planner's participation in the appeals process was appropriate, and the judge displayed no disqualifying bias. We therefore affirm the superior court's decision upholding the Commission's approval of the conditional use permit.

## II. FACTS AND PROCEDURAL HISTORY

### A. The Conditional Use Permit Application

Derek and Catriona Reynolds purchased property on Pioneer Avenue in Homer's central business district to relocate their business offering bicycle sales, repairs, rentals, and tours. As part of the Reynoldses' remodeling plans, they applied for a conditional use permit to extend the existing entryway by six feet and construct a covered porch along the shopfront. This would give them space to store rental bicycles and re-orient the entryway to face Pioneer Avenue.

The existing 8-foot-wide entrance already encroached a few feet into the 20-foot setback required in the central business district. The proposed construction

would increase that encroachment to a total 8 feet by 8 feet. The proposed porch roof would encroach up to 3 feet into the setback along the rest of the storefront. At least 12 feet of open grass would remain between the building and the sidewalk.

The Reynoldses' permit application noted that the "property has been vacant and neglected for at least 5 years" and "that any improvement to what was a derelict property will cause adjoining property values to increase," cited support of nearby residents, and stated that the project would boost "revitalization and beautification efforts." The application explained that their business would further Homer's Comprehensive Plan to "invest in more fuel-efficient forms of transportation such as pedestrian and bicycle alternatives." It also included various photographs, surveys of the property, and drawings with the dimensions of the proposal from multiple angles. The Reynoldses noted that the Homer City Code (Code) requires buildings to "be set back 20 feet from all dedicated rights-of-way, except as allowed by subsection (b)(4) of this section."[1] Subsection (b)(4) provides: "If approved by a conditional use permit, the setback from a dedicated right-of-way, except from the Sterling Highway or Lake Street, may be reduced."[2] They therefore sought a conditional use permit for their new entryway.

**B. The Staff Report And Public Hearing**

The City Planning Department prepared a staff report analyzing the application under the conditional use permit review criteria.[3] The report found that the proposal would not unduly harm property values; be "compatible with existing uses of surrounding land"; "not cause undue harmful effect upon desirable neighborhood

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[1] HCC 21.18.040(b)(1) (2020).

[2] HCC 21.18.040(b)(4).

[3] HCC 21.71.030.

character"; and "be in harmony with other facades along Pioneer Avenue." The report found no evidence that the permit was contrary to the applicable goals and objectives of the Comprehensive Plan, and it concluded that the proposal would comply with the applicable Community Design Manual provisions. Noting that the proposal did not include lighting, the report suggested adding a condition that any outdoor lighting must follow the Community Design Manual guidelines. It concluded with a recommendation that the Commission approve the conditional use permit.

The Commission notified local property owners of the proposal. Frank Griswold expressed the only opposition to the project, contending the setback reduction was not a "use" in HCC 21.03.040 and arguing: "The Commission does not have legal authority to apply HCC 21.18.040(b)(4) to this application." He later insisted that the proposal must be analyzed as a request for a variance and noted that a setback reduction might "hamper snow removal operations and affect drainage." Griswold did not identify any more specific issues with the proposal, nor did he attend the public hearing on the application.

At the public hearing, City Planner Rick Abboud presented the Department's staff report recommending that the permit be approved. He testified that his initial concerns about line-of-sight issues for pedestrians and traffic had been allayed after visiting the property. Abboud also addressed the concerns Griswold had raised, but noted that Griswold had provided no specifics on how the proposal might hamper snow removal or drainage. At the end of Abboud's testimony, he recommended an additional finding: "[T]he proposed activity will enhance the aesthetic environment of the community, providing gracious human scale entry ways and public ways, orienting the entry way toward the street."

The Reynoldses then spoke about the community benefits of their bicycle store, as did several Homer residents supporting the proposal. The Commission voted

unanimously to approve the conditional use permit application based on the findings recommended by the staff report. The Commission issued a written decision approving the permit, adopting all proposed findings, and addressing all HCC 21.71.020 criteria. The decision mentioned Griswold's concerns about drainage and snow removal but noted that it was unclear exactly how the proposal would exacerbate these issues.

### C. Griswold's Appeals

Griswold appealed the permit approval to the Office of Administrative Hearings,[4] which then considered his arguments on 19 legal, procedural, and factual issues. He also questioned Abboud's participation as a party to the appeal. The administrative law judge interpreted this as a motion to "dismiss [Abboud] as a party," which the judge denied.

The administrative law judge affirmed the Commission's grant of the conditional use permit. The judge's decision noted that several of Griswold's claims were based on the premise that a structure extending into a designated setback requires a variance. But because the Code specifically provides that setback reductions are granted by conditional use permit, the judge rejected these claims.[5] On the merits, the judge determined that the conditional use permit application provided "sufficient evidence to evaluate a simple request" and that the Commission had sufficiently addressed Griswold's concerns. The judge rejected Griswold's complaint that certain municipal code requirements had been omitted from the permit, reasoning that the Commission need not reiterate provisions which already applied to the project.

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[4] Griswold requested that the appeal not be heard by the Homer Board of Adjustment; as authorized by HCC 21.93.030, the City Manager appointed an administrative law judge to hear the case.

[5] HCC 21.18.040(b)(1).

Griswold then appealed to the superior court, raising essentially the same issues. The court determined that the Commission had authority to consider and grant the Reynoldses' application, as "Alaska state laws allow municipalities to adopt code that includes mechanisms for making setback reductions like the one contemplated [here] in conditional use permit 18-02, and the Homer City Code allows setback reductions to be sought via the conditional use permit process." The court found that the Commission's factual findings were supported by substantial evidence. Finally, the court determined that Abboud's participation in the appeals process was expressly permitted by Code and rejected Griswold's objection on that issue.[6] The court thus affirmed the administrative law judge's decision and the Commission's grant of the conditional use permit.

Griswold moved for reconsideration. In addition to his earlier arguments, Griswold claimed that the superior court judge had shown a "disqualifying bias" against him by speculating that the litigation was the result of "some old grudge," and he requested the judge's recusal. The court denied Griswold's motion for reconsideration and denied the request for disqualification.

Griswold now appeals the superior court's decision.

## III. STANDARD OF REVIEW

"When the superior court acts as an intermediate court of appeal in administrative cases, we examine the merits of the agency's decision directly."[7] In such reviews, we apply "the 'substantial evidence test' [to] questions of fact" and "the

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[6] *See* HCC 21.93.060, 21.93.500, 21.93.530(a), 21.93.540(b).

[7] *Rubey v. Alaska Comm'n on Postsecondary Educ.*, 217 P.3d 413, 415 (Alaska 2009).

'reasonable basis test' . . . to questions of law involving agency expertise."[8] Zoning boards "receive deference equal to that accorded to an administrative agency"; their "interpretations of zoning ordinances 'should be given great weight and . . . accepted whenever there is a reasonable basis for the meaning given by the board.' "[9] We apply our independent judgment to questions of constitutional law[10] and review a judge's decision on a motion to disqualify for abuse of discretion.[11]

## IV. DISCUSSION

### A. The Commission Had Authority To Grant A Setback Reduction With A Conditional Use Permit Rather Than A Variance.

Many of Griswold's claims rely on the premise that a setback reduction always requires a variance rather than a conditional use permit. He asserts that the Commission's use of the conditional use permit process violated state law; that a setback reduction cannot be a "use" as defined in the Code; that the Commission must therefore have granted a de facto variance; and that its decision constituted illegal spot zoning. These arguments all fail.

Griswold's arguments ignore the broad authority Alaska law grants local governments. The Homer City Council properly exercised its legislative discretion by allowing for setback reductions in the central business district through conditional use

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[8] *Id.* (quoting *Jager v. State*, 537 P.2d 1100, 1107 n.23 (Alaska 1975)).

[9] *Griswold v. City of Homer*, 55 P.3d 64, 67-68 (Alaska 2002) (quoting *S. Anchorage Concerned Coal., Inc. v. Coffey*, 862 P.2d 168, 173 (Alaska 1993)).

[10] *Fantasies on 5th Ave., LLC v. Alcoholic Beverage Control Bd.*, 446 P.3d 360, 367 (Alaska 2019).

[11] *Wasserman v. Bartholomew*, 38 P.3d 1162, 1170 (Alaska 2002); *see also Timothy W. v. Julia M.*, 403 P.3d 1095, 1100 (Alaska 2017) (reviewing decision on motion to recuse for abuse of discretion).

permits rather than variances.[12] The Commission properly applied the requirements for a conditional use permit to the Reynoldses' application. We therefore affirm the superior court's decision upholding the Commission's grant of the conditional use permit.

**1. The City of Homer properly exercised its legislative discretion in permitting setback reductions via conditional use permitting.**

The Alaska Constitution and state law grant municipalities broad authority to legislate in the public interest, and we accordingly give a liberal construction to the powers of local government.[13] Borough assemblies have authority to enact "(1) zoning regulations restricting the use of land and improvements by geographic districts; (2) land use permit requirements designed to encourage or discourage specified uses and construction of specified structures . . . [and] (3) measures to further the goals and objectives of the comprehensive plan."[14]

An assembly may provide for variances from these land use regulations unless "(1) special conditions that require the variance are caused by the person seeking the variance; (2) the variance will permit a land use in a district in which that use is prohibited; or (3) the variance is sought solely to relieve pecuniary hardship or inconvenience."[15]

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[12] HCC 21.18.040(b).

[13] Alaska Const. art. X, § 1; AS 29.35.400-.420; *see also Interior Cabaret, Hotel, Rest. & Retailers Ass'n v. Fairbanks N. Star Borough*, 135 P.3d 1000, 1008 (Alaska 2006); *Liberati v. Bristol Bay Borough*, 584 P.2d 1115, 1122 (Alaska 1978) (extending liberal construction of local powers to general as well as home-rule municipalities).

[14] AS 29.40.040(a).

[15] AS 29.40.040(b).

The Kenai Peninsula Borough Assembly has delegated its land use authority to the Homer City Council for areas within the City.[16] Using this authority, the Council has adopted a system of zoning districts in which certain uses and structures are permitted outright and others may be permitted subject to the grant of a conditional use permit.[17] In the Homer central business district, buildings are generally required to "be set back 20 feet from all dedicated rights-of-way."[18] But the Code allows this setback to be reduced "[i]f approved by a conditional use permit."[19]

Griswold argues that the Homer City Council was required to follow the variance procedure to reduce the setback requirement rather than the conditional use permit procedure. But this result would require us to read the zoning statute narrowly. Under the liberal construction that we give to statutory grants of municipal power, analyzing setback reduction requests through the conditional use permit process is well within the municipality's authority to adopt "land use permit requirements designed to encourage or discourage . . . construction of specified structures."[20] We decline to imply limitations on the City's powers where none exist.[21]

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[16] Kenai Peninsula Borough Code of Ordinances 21.01.020; *see also Griswold v. City of Homer*, 925 P.2d 1015, 1017 (Alaska 1996).

[17] HCC 21.10.010 - .34.050.

[18] HCC 21.18.040(b)(1).

[19] HCC 21.18.040(b)(4).

[20] AS 29.40.040(a)(2).

[21] *See Liberati v. Bristol Bay Borough*, 584 P.2d 1115, 1120-21 (Alaska 1978).

### 2. The Commission properly applied the Homer City Code by approving the setback reduction as a conditional use permit.

Griswold objects that expanding an existing building into a setback does not fit the definition of "use" in HCC 21.03.040. This argument ignores more specific provisions directly addressing setback reductions in the central business district.

We interpret statutes in such a way as to reconcile conflict and produce a harmonious whole.[22] If two provisions conflict, "the later in time controls over the earlier, and the specific controls over the general."[23] Although HCC 21.03.040 provides a general definition of "use," HCC 21.18.040(b)(4) is specific in its allowance for setback reductions via conditional use permit. The Commission correctly applied the specific provision to grant the Reynoldses' permit.

The Code defines "use" as "the purpose for which land or a structure is occupied, arranged, designed or intended, or for which either land or a structure is or may be occupied or maintained."[24] Griswold argues that the bicycle store is the "permitted use," that a setback reduction "is clearly not a use," and that regardless of other code provisions a conditional use permit may be issued only for a "use" as defined by HCC 21.03.040.

But as the Commission points out, the Reynoldses applied to change their "use" of a portion of the setback: They sought to extend their business and retail activities into it. Using a setback for this purpose is a conditional use within the central

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[22] *Allen v. Alaska Oil & Gas Conservation Comm'n*, 147 P.3d 664, 668 (Alaska 2006).

[23] *Id.*

[24] HCC 21.03.040.

business district. The setback reduction therefore constituted a "use" as defined by the Code.

Even if this were not so, the Code expressly allows the Commission to grant setback reductions in the central business district as conditional use permits. There is no indication that this provision should be limited by the definition of "use" found elsewhere in the Code. And to the extent the provisions conflict, the more specific HCC 21.18.040(b)(4) controls.[25]

The Code explicitly allows the Commission to approve setback reductions on Pioneer Avenue via conditional use permits.[26] And the Commission followed the procedural requirements and considered the applicable factors listed in HCC 21.71 for conditional use permits. Griswold's arguments that the setback reduction required a variance are without merit.

**B. Griswold's Constitutional Rights Were Not Violated.**

Griswold alludes to various constitutional provisions allegedly violated by the conditional use permit approval process. He claims procedural and substantive due process violations, suggests the setback reduction violates a fundamental right to privacy, and asserts that allowing setback reductions for most, but not all, of the central business district violates equal protection. But Griswold's claims are inadequately briefed: He neither cites case law nor explains how the facts support his constitutional arguments.

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[25] *See Allen*, 147 P.3d at 668.

[26] HCC 21.18.040(b)(4).

Because Griswold failed to adequately brief his constitutional arguments, they are waived.[27]

### C. Substantial Evidence Supports The Commission's Findings.

In addition to Griswold's legal and constitutional claims, he contests the Commission's fact finding. He criticizes the Reynoldses' application for containing insufficient data and insists the Commission erred by considering the effects of the entire proposal rather than the specific impacts of the proposed setback reduction.

Zoning board decisions are generally accorded a presumption of validity.[28] We are required to sustain the Commission's findings if they are supported by substantial evidence.[29] "Substantial evidence is 'such relevant evidence as a reasonable mind might accept as adequate to support a conclusion.' "[30]

The Reynoldses adequately responded to each question in the conditional use permit application, focusing on how the entire project fit into the central business district. They explained how their business and planned renovations would fit in with

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[27] *See Casciola v. F.S. Air Serv., Inc.*, 120 P.3d 1059, 1062-63 (Alaska 2005) ("We do not consider arguments that are inadequately briefed. . . . We apply a more lenient standard to pro se litigants. . . . Even a pro se litigant, however, must cite authority and provide a legal theory." (emphasis omitted) (citing *Peterson v. Ek*, 93 P.3d 458, 464 n.9 (Alaska 2004))); *Adamson v. Univ. of Alaska*, 819 P.2d 886, 889 n.3 (Alaska 1991) ("[W]here a point is given only a cursory statement in the argument portion of a brief, the point will not be considered on appeal.").

[28] *S. Anchorage Concerned Coal., Inc. v. Coffey*, 862 P.2d 168, 173 (Alaska 1993).

[29] *Id.*; *see also Griswold v. City of Homer*, 55 P.3d 64, 67 (Alaska 2002) ("Judicial review of zoning board decisions is narrow, and board decisions are accorded a presumption of validity.").

[30] *DeYonge v. NANA/Marriott*, 1 P.3d 90, 94 (Alaska 2000) (quoting *Miller v. ITT Arctic Servs.*, 577 P.2d 1044, 1046 (Alaska 1978)).

the surrounding neighborhood and conform with the goals of the Comprehensive Plan. They included photographs, surveys, and drawings of the proposed covered area and entryway, indicating the scale of the proposal and the intrusion into the setback. The information the Reynoldses provided in their application was appropriate for the modest accommodation they sought.

The City Planning Department's staff report analyzed the Reynoldses' proposal under each of the requirements laid out in the Code and applicable provisions of the Community Design Manual. The Commission considered the staff report and found that the permit application complied with each requirement.[31] In further support of this finding, the Commission heard testimony from Abboud, the Reynoldses, and supportive neighbors who testified that the proposal would enhance the aesthetics of the central business district by providing just the sort of "pedestrian-friendly design and amenities" encouraged in the neighborhood.[32]

Griswold suggests the Commission should have considered the setback reduction in isolation rather than the business as a whole, but the conditional use permit criteria indicate that the entire proposal should be considered in context.[33] In light of the entire record, including the detailed staff report, support of Abboud, and testimony from neighboring business owners, there was substantial evidence to support the Commission's findings that the permit application complied with all applicable requirements.

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[31] *See* HCC 21.71.030.

[32] HCC 21.18.10.

[33] *See* HCC 21.71.030.

### D. The Commission Did Not Err By Omitting The Screening And Fire Marshal Conditions From The Conditional Use Permit.

Griswold claims the Commission erred in omitting a Code provision limiting unscreened, outdoor display of the bicycles to business hours.[34] But the screening requirement is applicable to all residents, and the Reynoldses would be required to follow it whether or not the permit was granted. The Commission made findings on all factors required to grant the conditional use permit; it was not obligated to repeat all other applicable code provisions.

Similarly, Griswold argues the Commission erred in not including fire marshal certification as a condition of approval. As he did not raise this claim before the superior court, the issue is waived. In any case, the project will require fire marshal certification as a matter of state law, independent of the conditional use permit process.[35] The Commission did not err by omitting these generally applicable requirements from the permit conditions.

### E. It Was Appropriate For The City Planner To Submit A Brief And Participate In The Appeal Proceedings.

Griswold argues that City Planner Abboud was "never a legitimate party to the appeal." Griswold also claims that, as Abboud does not have a law license, his participation constituted an unauthorized practice of law. But the Code explicitly allows the City Planner to participate in the appeals process.

Pursuant to the Code, the City Planner may be a party to an appeal to the Office of Administrative Hearings if he or she "actively and substantively participated

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[34] HCC 21.18.080(b).

[35] *See* 13 Alaska Administrative Code 50.027(a) (2020).

in the matter before the Commission."[36] Each party may submit a written brief and present oral argument, as Abboud did.[37] His participation was therefore entirely appropriate under the Code. And because Abboud never claimed to be an attorney, he did not practice law without a license.[38]

**F. The Superior Court Judge Did Not Have A Disqualifying Bias.**

In Griswold's motion for reconsideration, he alleged that "recusal of the adjudicator would be appropriate" on the grounds that the superior court judge was biased against him. Griswold's motion was based on a comment in the judge's written decision:

> After reading through this two-inch high file . . . , the court is left with the numb feeling that some old grudge is actually behind this litigation. Although there are generalized issues raised, the court sees no genuine issue that Mr. Griswold has with this particular bicycle shop's awning; the attack is on the City of Homer.

The superior court denied the motion for recusal, correctly noting that a judge may form "an opinion relative to the parties involved" without developing an improper bias.[39]

Alaska Statute 22.20.020(a)(9) requires disqualification of a judge if "the judicial officer feels that, for any reason, a fair and impartial decision cannot be given." A judge must also self-disqualify from any proceeding in which that judge's impartiality

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[36] HCC 21.93.060(b), 21.93.500.

[37] HCC 21.93.530(a), 21.93.540(b).

[38] Alaska Bar R. 63(a); AS 08.08.230.

[39] *Vickers v. State*, 175 P.3d 1280 (Alaska App. 2008) (quoting *Pride v. Harris*, 882 P.2d 381, 385 (Alaska 1994)).

might reasonably be questioned, even if no actual bias exists.[40] Courts have found disqualifying bias if a judge expresses "an opinion that derives from an extrajudicial source" or "reveal[s] such a high degree of favoritism or antagonism as to make fair judgment impossible."[41]

As we explained in *Hanson v. Hanson,* however, "a judge is not disqualified if the judge's 'knowledge and the opinion it produced were properly and necessarily acquired in the course of the proceedings.' "[42] It is rare for a judge's comments, even when "critical or disapproving of, or even hostile to" a party, to rise to the level of disqualifying bias.[43] We did not find disqualifying bias in *Hanson* after the judge commented that the plaintiff "really hate[s] women," as we noted that the judge's "comments were the result of opinions and attitudes formed in court" rather than animosity or extrajudicial information.[44]

Here the judge's comments reflect opinions that might reasonably be formed in court and indicate no disqualifying bias. The record shows that Griswold raised general issues without explaining how the Reynoldses' permit harmed him, neighboring businesses, or the community of Homer. Given the disproportionate amount of time and energy spent on this litigation, the judge could have reasonably inferred that Griswold had other motivations for his repeated appeals.

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[40] *See Amidon v. State*, 604 P.2d 575, 578 (Alaska 1979); *see also* Alaska Code of Judicial Conduct Canon 3(B)(5), 3(E)(1)(a).

[41] *Liteky v. United States*, 510 U.S. 540, 555 (1994).

[42] 36 P.3d 1181, 1184 (Alaska 2001) (quoting *Liteky*, 510 U.S. at 551).

[43] *Id.* (quoting *Liteky*, 510 U.S. at 555).

[44] *Hanson*, 36 P.3d at 1186 (alteration in original).

A judge has the discretion to decide whether to disqualify him or herself from a case; we afford that decision substantial weight and we will reverse only if it was an abuse of discretion.[45] Nothing in the record suggests that the superior court judge was actually biased against Griswold. Denying Griswold's request for disqualification was not an abuse of discretion.

## V. CONCLUSION

We AFFIRM the superior court's decision affirming the Homer Advisory Planning Commission's decision.

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[45] *Amidon*, 604 P.2d at 577.

**PLANNING COMMISSION ANNUAL CALENDAR**
**FOR THE 2021 MEETING SCHEDULE**

| MEETING DATE | SCHEDULED EVENTS OR AGENDA ITEM |
|---|---|
| JANUARY 2021 | |
| FEBRUARY 2021 | AK APA Conference<br>PC training: legislative vs quasi-judicial decisions; decisions and findings |
| MARCH 2021 | Guest speaker and training: KPB Platting/Planning |
| APRIL 2021 | 2018 Comprehensive Plan Review |
| MAY 2021 | Transportation work session with Public Works |
| JUNE 2021 | Reappointment Applications Deadline |
| JULY 2021 | Reappointments<br>Spit Plan Review<br>(One meeting this month) |
| AUGUST 2021 | Election of Officers (Chair, Vice Chair)<br>PC training: Roberts rules, OMA<br>Capital Improvement Plan Review |
| SEPTEMBER 2021 | Economic Development speaker<br>(such as KPEDD, chamber, SBA,) |
| OCTOBER 2021 | ?? Floodplain or other hazard regulations overview…connect dots between comp plan and our current regs |
| NOVEMBER 2021 | (One meeting this month)<br>Review and Approve the 2022 Meeting Schedule |
| DECEMBER 2021 | (One meeting this month)<br>Review Bylaws, and Policies and Procedures |

Semi Annually: PW project update

Odd Years: 2018 Comprehensive Plan (April) Homer Spit Plan, (July), Review Bylaws, and Policies and Procedures (December)

Even Years: HNMTTP (April), Transportation Plan (July), Town Center Plan (December)

updated 2/22/21 JE