



Homer City Hall

491 E. Pioneer Avenue

Homer, Alaska 99603

www.cityofhomer-ak.gov

City of Homer Agenda

Planning Commission Special Meeting

Wednesday, May 20, 2020 at 5:30 PM

City Hall Cowles Council Chambers via Zoom Webinar

Webinar ID: 927 0309 8414 Password: 752819

Dial 1-669-900- 6833 or 1-253-215 8782; (Toll Free) 888-788-0099 or 877- 853-5247

CALL TO ORDER, 5:30 P.M.

AGENDA APPROVAL

PUBLIC COMMENTS The public may speak to the Commission regarding matters on the agenda that are not scheduled for public hearing or plat consideration. (3 minute time limit).

RECONSIDERATION

CONSENT AGENDA All items on the consent agenda are considered routine and non-controversial by the Planning Commission and are approved in one motion. There will be no separate discussion of these items unless requested by a Planning Commissioner or someone from the public, in which case the item will be moved to the regular agenda.

- A. Minutes of the April 29, 2020 Planning Commission Special Meeting **p. 3**
- B. Decision and Findings for CUP 19-05 to allow a harbor overslope development at 4081A Freight Dock Road **p. 11**
- C. Decision and Findings for CUP 19-06 to allow the total building area to exceed 8,000 square feet at 3935 Svedlund Street **p. 17**

PRESENTATIONS / VISITORS

REPORTS

- A. Staff Report 20-26, City Planner's Report **p. 23**

PUBLIC HEARINGS

- A. Staff Report 20-27, Conditional Use Permit 20-07 for walking trail improvements within a stream buffer at 62890 Skyline Drive **p. 25**
- B. Staff Report 20-28, Conditional Use Permit 20-08 for more than one building containing a permitted principal use on a lot at 151 W. Bayview Ave. **p. 51**
- C. Staff Report 20-29, Vacation of Cheryl Lane **p. 77**

PLAT CONSIDERATION

- A. Staff Report 20-30, Lillian Walli Estate 2020 Replat Preliminary Plat **p. 91**

PENDING BUSINESS

NEW BUSINESS

- A. Staff Report 20-31, Vacation of utility and drainage easements within Lillian Walli Estate Subdivision **p. 111**

INFORMATIONAL MATERIALS

- A. City Manager Reports for April 27 & May 11 City Council Meetings **p. 115**

COMMENTS OF THE AUDIENCE Members of the audience may address the Commission on any subject. (3 min limit)

COMMENTS OF THE STAFF

COMMENTS OF THE COMMISSION

ADJOURNMENT

Next Special Meeting is Wednesday, June 3, 2020 at 5:30 p.m. All meetings scheduled to be held virtually by Zoom Webinar from the City Hall Cowles Council Chambers located at 491 E. Pioneer Avenue, Homer, Alaska. Meetings will adjourn promptly at 9:30 p.m. An extension is allowed by a vote of the Commission

Session 20-06, a Special Meeting of the Planning Commission was called to order by Chair Venuti at 5:36 p.m. on April 29, 2020 at Cowles Council Chambers in City Hall located at 491 E. Pioneer Avenue, Homer, Alaska via Zoom Webinar.

PRESENT: COMMISSIONERS BENTZ, HIGHLAND, PETSKA-RUBALCAVA, BOS, SMITH, DAVIS
AND VENUTI

STAFF: CITY PLANNER ABBOUD
CITY CLERK JACOBSEN
DEPUTY CITY CLERK KRAUSE

APPROVAL OF THE AGENDA

Chair Venuti called for a motion to approve the agenda.

HIGHLAND – SO MOVED. (There was no second offered.)

There was no discussion.

VOTE. NON-OBJECTION. UNANIMOUS CONSENT.

Motion carried.

PUBLIC COMMENT ON ITEMS ALREADY ON THE AGENDA

RECONSIDERATION

ADOPTION OF CONSENT AGENDA

- A. Minutes of March 4, 2020 Planning Commission Meeting
- B. Petition to Vacate a Utility Easement at 3780 Bartlett Street
- C. Time Extension Request for Christensen Tracts 2009 Addition Preliminary Plat

Chair Venuti requested a motion to approve the Consent Agenda.

SMITH/HIGHLAND – SO MOVED.

There was no discussion.

VOTE. NON-OBJECTION. UNANIMOUS CONSENT.

Motion carried.

VISITORS/PRESENTATIONS

REPORTS

A. Staff Report 20-22, City Planner's Report

City Planner Abboud provided a summary of Staff Report 20-22 noting recent actions of City Council and the hiring of interim City Manager Marvin Yoder. He commented on the possibility of the Commission being allowed to address the items on their worklist and the restrictions in place regarding the COVID 19 emergency. City Planner Abboud reported briefly on: office staffing; status of litigation matters, re-writing the city code regarding sign code; updating the Community Design Manual and making it ready to codify certain aspects of the manual for clarity.

PUBLIC HEARING(S)

A. Staff Report 20-24, Conditional Use Permit 20-06 for total building area exceeding 8,000 square feet at 3935 Svedlund Street

Chair Venuti introduced the item by reading of the title into the record.

City Planner Abboud provided a summary review of Staff Report 20-24 for the Commission.

Chair Venuti invited the applicant, Mr. Kuzmin to present to the Commission.

Danikt Kuzmin, Maintenance Manager, Homer Senior Citizens, provided brief details on the construction of a greenhouse for the Senior Center. He noted that there will not be any lighting that the greenhouse will be for the residents and staff use.

Chair Venuti opened the Public Hearing. He inquired if there were any members of the Public who signed up to testify.

Deputy City Clerk Krause noted that there were no requests to provide testimony but noted that they did receive one written comment in support of the project from Sheryl Baechler, a city resident.

Chair Venuti closed the Public Hearing having no further requests to provide testimony and offered rebuttal opportunity to the Applicant and City Planner. They declined the opportunity.

Chair Venuti opened the floor to questions of the Commission.

Commissioner Bentz asked Mr. Kuzmin about the construction of the floor of the high tunnel.

Mr. Kuzmin responded that the floor would be a small gravel pad with raised beds in a half size high tunnel.

Commissioner Bentz inquired about process for public comment from persons attending the meeting.

Staff responded that they would not be allowed to comment if they have not signed up prior to the meeting.

SMITH/HIGHLAND MOVED TO RECOMMEND THE PLANNING COMMISSION ADOPT STAFF REPORT 20-24 AND APPROVE CUP 20-06 WITH FINDINGS 1-10 AND CONDITION 1 AS FOLLOWS:

1. ANY ADDITIONAL LIGHTING MUST BE DOWN LIT PER HCC 21.69.303 AND THE COMMUNITY DESIGN MANUAL

There was no discussion.

VOTE. NON-OBJECTION. UNANIMOUS CONSENT.

Motion carried.¹

- B. Staff Report 20-23, Conditional Use Permit 20-05 for a harbor overslope development at 4081A Freight Dock Rd.

Chair Venuti introduced the item by reading of the title into the record and requested if anyone on the Commission had a conflict to declare.

Deputy City Clerk noted the declared the conflict of interest and requested a motion.

Commissioner Petska Rubalcava declared she had a conflict of interest.

BENTZ/HIGHLAND - MOVED THAT COMMISSIONER RUBALCAVA HAD A CONFLICT OF INTEREST.

A brief discussion ensued with Commissioner Rubalcava declaring that she assisted the applicant with the design of the project.

VOTE. YES. BENTZ, HIGHLAND, VENUTI, DAVIS, SMITH

Motion carried.²

Commissioner Petska –Rubalcava turned her mic off and did not participate in this portion of the meeting.

City Planner Abboud provided a summary review of Staff Report 20-23 for the commission noting that there were two conditions recommended. The first condition is the standard

1-2 Commissioner Bos joined the meeting in progress at 6:00 p.m. just after City Planner Abboud started his review of Staff Report 20-23

requirement on a CUP that all dumpsters be screened on three sides as well as inclusion of any electrical boxes and the second condition was the design of the roof should be modified to a gable type roof from the shed style roof depicted in the drawings. City Planner Abboud then focused on the requirements in City Code of a gabled roof. He has no objection to amending city code but is not sure how that will affect this project in timing.

Commissioner Bos joined the meeting in progress at 6:00 p.m.

Suvi Bayly, applicant, provided a review of the project commenting on the history of the Homer Spit Oyster Bar, reuse of the oyster shells by herself and local residents, roof design and her passion for architecture while acknowledging the other buildings on the Homer Spit with similar roof designs stating if there was something that could be done to leave the shed roof design she would welcome that and if not she understood. Ms. Bayly explained the permits that she has obtained and will be getting within two weeks and is on schedule to get the project started by the first of June.

Chair Venuti opened the Public Hearing and confirming with the Clerk that there were no members of the public present to provide testimony he closed the public hearing and opened the floor to the Commission for questions.

A discussion ensued on the following points:

- Location in proximity to the Load & Launch Ramp
 - o Harbormaster recommended the location and Port & Harbor Advisory Commission reviewed and had no problem with the location selected.
 - o Impacts to the boat traffic in the harbor
- Notification of the Public
 - o Concern that length of notification was not adequate
 - o Notification was followed as outlined and required in city code, notices mailed to all property owners and this was advertised in the newspaper and on the city website.
- Parking
 - o There is ample parking in the public lot adjacent and next to the selected location
- Roof design
 - o Support was expressed by several of the Commissioners on the shed roof design
 - o Suggestion to modify or exclude Condition #2
 - o It was noted that a precedence was set for non-gabled roof design in other areas of the Spit
 - The Harbormaster's Office is not in the district and other buildings on the spit not considered as overslope development
 - o This is the first project using the new overslope development code

- Referred to the information/comments in the Staff Report 20-23 regarding the roof design

There was a brief discussion on making changes to the conditions recommended in Staff Report 20-23 and the process to reflect those changes. The Commission can remove or amend it with the basis for taking that action.

SMITH/BENTZ - MOVED TO ADOPT STAFF REPORT 20-23 AND RECOMMEND PLANNING COMMISSION APPROVE CONDITIONAL USE PERMIT 20-05 WITH FINDINGS 1-10 AND CONDITIONS 1 AND 2 AS FOLLOWS:

1. TRASH CONTAINERS SHALL BE SCREENED ON THREE SIDES AND ELECTRICAL BOXES SHALL BE SCREENED
2. THE ROOF SHALL BE MODIFIED TO A GABLED DESIGN THAT FITS WITHIN THE REQUIREMENTS OF THE OVERSLOPE DEVELOPMENT.

There was a brief discussion on amending condition two. Commissioner Bentz expressed that the current design fits the space and was within the height requirements and that architecturally the design and plan is appropriate for the district and would encourage an exception to the city code language and supported the plan.

Chair Venuti requested clarification on process from the Clerk.

Deputy City Clerk Krause explained that the Commission can offer to amend or remove Condition two by amending the motion.

BENTZ/SMITH MOVED TO AMEND THE MOTION TO REMOVE CONDITION TWO, THE ROOF SHALL BE MODIFIED TO A GABLED DESIGN THAT FITS WITHIN THE REQUIREMENTS OF OVERSLOPE DEVELOPMENT.

There was no discussion.

VOTE. (Amendment). NON-OBJECTION. UNANIMOUS CONSENT.

Motion carried.

There was no further discussion on the main motion as amended.

VOTE. NON-OBJECTION. UNANIMOUS CONSENT.

Motion carried.

Commissioner Petska-Rubalcava returned to the meeting by turning on her mic and returning to view of the camera.

PLAT CONSIDERATION

- A. Staff Report 20-25, Nedosik 1998 Tract C Jack Hamilton Replat No. 2 Preliminary Plat

Chair Venuti introduced the item by reading of the title into the record.

City Planner Abboud provided a summary review of Staff Report 20-25 for the Commission.

There was no applicant present.

Chair Venuti opened the public comment and confirming with the Clerk that there were no members of the public present to provide testimony he closed the public comment period and opened the floor to the Commission for questions.

There were no questions from Commission.

HIGHLAND/BENTZ MOVED TO ADOPT STAFF REPORT 20-25 AND RECOMMEND APPROVAL OF THE PRELIMINARY PLAT FOR NEDOSIK 1998 TRACT C JACK HAMILTON REPLAT NO. 2 PRELIMINARY PLAT WITH THE FOLLOWING COMMENTS:

1. INCLUDE THE STREAM SYMBOL IN THE LEGEND
2. PLAT NOTE 6 ADDRESSES WETLAND DEVELOPMENT AND PERMITTING REQUIREMENTS

Commissioner Bos complemented the project stating there was plenty of room but noted that it may need fill material.

VOTE. NON-OBJECTION. UNANIMOUS CONSENT.

Motion carried.

PENDING BUSINESS

NEW BUSINESS

INFORMATIONAL MATERIALS

- A. City Manager Reports for March 9, March 23, and April 2020 City Council Meetings
- B. Kenai Peninsula Borough Notice of Plat Committee Decisions
- Fairview Sub 2019 Replat Preliminary Plat

COMMENTS OF THE AUDIENCE

COMMENTS OF THE STAFF

City Planner Abboud commented on conducting the meeting via webinar went better than he expected. The Planning Department continues to do more business and he commented on

Deputy City Planner Engebretsen attending the annual Planning Conference virtually, she may get some helpful hints to use during COVID 19.

COMMENTS OF THE COMMISSION

Commissioner Bos stated he was glad to see the overslope go through and believes the applicant did a great job, it was a quality project and product.

Commissioner Bentz commented that she was impressed with their skills tonight and were most efficient. She reminded everyone about the training opportunity on Tuesday, May 5, 2020 for local organizations being offered by the KBNERR and to contact her for more information.

Commissioner Petska-Rubalcava complimented Deputy City Clerk Krause and Chair Venuti on a great job tonight, and expressed that it was a great way to do things, she was glad to see everyone and to stay healthy.

Commissioner Smith thanked the Staff for all their efforts in pulling this off, the pre-meetings really helped and he was glad to see development out on the spit.

Chair Venuti commented that it was a great meeting, it was really nice to see a set of plans for the spit project and that they can expect good results. He expressed some concerns with the economy but they have to have faith that things will work out with this virus. He added that he tried to find a camera for his computer but could not.

Commissioners Highland and Davis had no comments.

ADJOURN

There being no further business to come before the Commission, the meeting adjourned at 6:39 p.m. The next Regular Meeting is tentatively scheduled for Wednesday, May 20, 2020 at 5:30 p.m. All meetings scheduled to be held virtually by Zoom Webinar from the City Hall Cowles Council Chambers located at 491 E. Pioneer Avenue, Homer, Alaska

RENEE KRAUSE, MMC, DEPUTY CITY CLERK

Approved: _____



City of Homer

www.cityofhomer-ak.gov

Planning

491 East Pioneer Avenue
Homer, Alaska 99603

Planning@ci.homer.ak.us

(p) 907-235-3106

(f) 907-235-3118

HOMER PLANNING COMMISSION

Approved CUP 20-05 at the Meeting of April 29, 2020

RE: Conditional Use Permit (CUP) 20-05

Address: 1081A Freight Dock Road

Legal Description: T 6S & 7S R 13W SEC 35 & 36 & 1 & 2 SEWARD MERIDIAN HM 5.220920050
HOMER SPIT SUB NO TWO AMENDED LOT G-8

DECISION

Introduction

Suvi Bayly (the “Applicant”) applied to the Homer Planning Commission (the “Commission”) for a conditional use permit under Homer City Code 21.46.040(a), Overslope Development and 21.28.030(d), Lodging. The applicant proposes to develop a restaurant with upstairs nightly rentals on the harbor overslope consisting of a 70’ x 40’ platform to support a 40’ x 24’ two-story structure. The proposed structure is found within the Marine Commercial and Small Boat Harbor Overlay Districts.

The application was scheduled for a public hearing as required by Homer City Code 21.94 before the Commission on April 29, 2020. Notice of the public hearing was published in the local newspaper and sent to 1 property owners of 1 parcel. Public notices contained information on how to submit written testimony, participate telephonically, or participate on the Zoom meeting platform in an effort to comply with the Governor of Alaska Health Mandate Number 11: Social Distancing.

Commissioner Petska-Rubalcava declared that she had a conflict of interest that was affirmed with a vote of the Commission. Commissioner Petska-Rubalcava then muted her mic and stopped displaying video and did not participate in the hearing.

At the April 29, 2020 meeting of the Commission, the Commission voted to approve the request by unanimous consent of the six Commissioners present.

Evidence Presented

City Planner Abboud reviewed the staff report. The Applicant made a presentation reviewing the proposal mission.

There was no public testimony.

Findings of Fact

After careful review of the record and consideration of testimony presented at the hearing, the Commission determines that Condition Use Permit 20-05 at 1081A Freight Dock Road is hereby approved.

The criteria for granting a Conditional Use Permit is set forth in HCC 21.71.030 and 21.71.040.

a. The applicable code authorizes each proposed use and structure by conditional use permit in that zoning district.

Finding 1: Overslope development and lodging are permitted with an approved CUP.

b. The proposed use(s) and structure(s) are compatible with the purpose of the zoning district in which the lot is located.

Finding 2: The proposed uses and structures are compatible with the district in which they are found.

c. The value of the adjoining property will not be negatively affected greater than that anticipated from other permitted or conditionally permitted uses in this district.

Finding 3: The proposal is not expected to negatively impact the adjoining properties greater than other permitted or conditional uses.

d. The proposal is compatible with existing uses of surrounding land.

Finding 4: The proposal is compatible with existing uses of surrounding land.

e. Public services and facilities are or will be, prior to occupancy, adequate to serve the proposed use and structure.

Finding 5: Existing public, water, sewer, and fire services are adequate to serve the proposal.

f. Considering harmony in scale, bulk, coverage and density, generation of traffic, the nature and intensity of the proposed use, and other relevant effects, the proposal will not cause undue harmful effect upon desirable neighborhood character.

Finding 6: The Commission finds the proposal will not cause undue harmful effect upon desirable neighborhood character as described in the purpose statement of the district.

g. The proposal will not be unduly detrimental to the health, safety or welfare of the surrounding area or the city as a whole.

Finding 7: The proposal will not be unduly detrimental to the health, safety or welfare of the surrounding area and the city as a whole when all applicable standards are met as required by city code.

h. The proposal does or will comply with the applicable regulations and conditions specified in this title for such use.

Finding 8: The proposal will comply with applicable regulations and conditions specified in Title 21 upon gaining an approved CUP and Zoning Permit.

i. The proposal is not contrary to the applicable land use goals and objectives of the Comprehensive Plan.

Finding 9: The proposal is not contrary to the applicable land use goals and objects of the Homer Spit Comprehensive Plan.

j. The proposal will comply with the applicable provisions of the Community Design Manual (CDM).

Finding 10: Project complies with the applicable provisions of the CDM.

In approving a conditional use, the Commission may impose such conditions on the use as may be deemed necessary to ensure the proposal does and will continue to satisfy the applicable review criteria. Such conditions may include, but are not limited to, one or more of the following:

- 1. Special yards and spaces:** No specific conditions deemed necessary
- 2. Fences and walls:** No specific conditions deemed necessary.
- 3. Surfacing of parking areas:** No specific conditions deemed necessary.
- 4. Street and road dedications and improvements:** No specific conditions deemed necessary.
- 5. Control of points of vehicular ingress and egress:** No specific conditions deemed necessary.

6. Special provisions on signs: No specific conditions deemed necessary.

7. Landscaping: No specific conditions deemed necessary.

8. Maintenance of the grounds, building, or structures: No specific conditions deemed necessary.

9. Control of noise, vibration, odors or other similar nuisances: No specific conditions deemed necessary.

10. Limitation of time for certain activities: No specific conditions deemed necessary.

11. A time period within which the proposed use shall be developed: No specific conditions deemed necessary.

12. A limit on total duration of use: No specific conditions deemed necessary.

13. More stringent dimensional requirements, such as lot area or dimensions, setbacks, and building height limitations. Dimensional requirements may be made more lenient by conditional use permit only when such relaxation is authorized by other provisions of the zoning code. Dimensional requirements may not be altered by conditional use permit when and to the extent other provisions of the zoning code expressly prohibit such alterations by conditional use permit.

14. Other conditions necessary to protect the interests of the community and surrounding area, or to protect the health, safety, or welfare of persons residing or working in the vicinity of the subject lot.

Conclusion: Based on the foregoing findings of fact and law, Conditional Use Permit 2020-05 is hereby approved, with findings 1-10 and condition 1.

Condition 1: Trash containers shall be screened on three sides and electrical boxes shall be screened.

Date

Chair, Franco Venuti

Date

City Planner, Rick Abboud, AICP

NOTICE OF APPEAL RIGHTS

Pursuant to Homer City Code, Chapter 21.93.060, any person with standing that is affected by this decision may appeal this decision to the Homer Board of Adjustment within thirty (30) days of the date of distribution indicated below. Any decision not appealed within that time shall be final. A notice of appeal shall be in writing, shall contain all the information required by Homer City Code, Section 21.93.080, and shall be filed with the Homer City Clerk, 491 East Pioneer Avenue, Homer, Alaska 99603-7645.

CERTIFICATION OF DISTRIBUTION

I certify that a copy of this Decision was mailed to the below listed recipients on _____, 2020. A copy was also delivered to the City of Homer Planning Department and Homer City Clerk on the same date.

Date

Travis Brown, Planning Clerk

Suvi Mirja Bayly
824 Ocean Drive Loop
Homer, AK 99603

Marvin Yoder, Interim City Manager
491 E Pioneer Avenue
Homer, AK 99603

Michael Gatti
Jermain, Dunnagan & Owens
3000 A Street, Suite 300
Anchorage, AK 99503

HOMER PLANNING COMMISSION

Approved CUP 20-06 at the Meeting of April 29, 2020

RE: Conditional Use Permit (CUP) 20-06
Address: 3935 Svedlund Street

Legal Description(s):

T 6S R 13W SEC 20 SEWARD MERIDIAN HM 2002022 PIONEER VISTAS UNIT 12 LOT 1-A1 BLK 3

DECISION

Introduction

Danikt Kuzmin (the “Applicant”) represented Homer Senior Citizens and applied to the Homer Planning Commission (the “Commission”) for a conditional use permit (CUP) under Homer City Code (HCC) 21.16.040(e) which allows total building area in excess of 8000 square feet (sf) in the Residential Office District with an approved CUP.

The applicant proposed building 432 sf green house in addition to an existing 10,395 sf clubhouse, a 15,230 sf housing unit, and a 1,240 sf garage that all support senior housing.

The application was scheduled for a public hearing as required by Homer City Code 21.94 before the Commission on April 29, 2020. Notice of the public hearing was published in the local newspaper and sent to 68 property owners of 58 parcels. Public notices contained information on how to submit written testimony, participate telephonically, or participate on the Zoom meeting platform in an effort to comply with the Governor of Alaska Health Mandate Number 11: Social Distancing.

At the April 29, 2020 meeting of the Commission, the Commission voted with unanimous consent to approved the request with six Commissioners present. Commissioner Bos did not participate in the hearing or vote.

Evidence Presented

City Planner Abboud reviewed the staff report. The applicant made a short presentation outlining his proposal and answered questions from the Commission. One written comment from Sheryl Baechler, that supported the proposal, was read into the record.

Findings of Fact

After careful review of the record, the Commission approves Condition Use Permit 20-06 for more than 8000 square feet of building area.

The criteria for granting a Conditional Use Permit is set forth in HCC 21.71.030 and 21.71.040.

a. The applicable code authorizes each proposed use and structure by conditional use permit in that zoning district.

Finding 1: Homer City Code authorizes a lot to contain more than 8,000 square feet of building area with an approved CUP.

b. The proposed use(s) and structure(s) are compatible with the purpose of the zoning district in which the lot is located.

Finding 2: The purpose of the Residential Office District includes providing for senior living facilities and associated accessory uses, which are compatible with the purpose of the district.

c. The value of the adjoining property will not be negatively affected greater than that anticipated from other permitted or conditionally permitted uses in this district.

Finding 3: The addition of a greenhouse is not expected to negatively impact the adjoining properties greater than other permitted or conditional uses.

d. The proposal is compatible with existing uses of surrounding land.

Finding 4: The proposal is compatible with the existing uses of surrounding land.

e. Public services and facilities are or will be, prior to occupancy, adequate to serve the proposed use and structure.

Finding 5: Existing public, water, sewer, and fire services are adequate to serve the proposed development.

f. Considering harmony in scale, bulk, coverage and density, generation of traffic, the nature and intensity of the proposed use, and other relevant effects, the proposal will not cause undue harmful effect upon desirable neighborhood character.

Finding 6: The Commission finds the proposal will not cause undue harmful effect upon desirable neighborhood character as described in the purpose statement of the district.

g. The proposal will not be unduly detrimental to the health, safety or welfare of the surrounding area or the city as a whole.

Finding 7: The proposal will not be unduly detrimental to the health, safety or welfare of the surrounding area and the city as a whole.

h. The proposal does or will comply with the applicable regulations and conditions specified in this title for such use.

Finding 8: An approved CUP and zoning permit will ensure that the proposal will comply with applicable regulations and conditions specified in Title 21.

i. The proposal is not contrary to the applicable land use goals and objectives of the Comprehensive Plan.

Finding 9: The proposal is not contrary to the applicable land use goals and objects of the Comprehensive Plan. The proposal aligns Goal 1 and Objectives A and D and no evidence has been found that it is contrary to the applicable land use goals and objects of the Comprehensive Plan.

j. The proposal will comply with all applicable provisions of the Community Design Manual.

Finding 10: The Outdoor Lighting section of the Community Design Manual is applicable.

Condition 1: Any additional outdoor lighting must be down lit per HCC 21.59.030 and the CDM.

In approving a conditional use, the Commission may impose such conditions on the use as may be deemed necessary to ensure the proposal does and will continue to satisfy the applicable review criteria. Such conditions may include, but are not limited to, one or more of the following:

- 1. Special yards and spaces:** No specific conditions deemed necessary
- 2. Fences and walls:** No specific conditions deemed necessary.

- 3. Surfacing of parking areas:** No specific conditions deemed necessary.
- 4. Street and road dedications and improvements:** No specific conditions deemed necessary.
- 5. Control of points of vehicular ingress and egress:** No specific conditions deemed necessary.
- 6. Special provisions on signs:** No specific conditions deemed necessary.
- 7. Landscaping:** No specific conditions deemed necessary.
- 8. Maintenance of the grounds, building, or structures:** No specific conditions deemed necessary.
- 9. Control of noise, vibration, odors or other similar nuisances:** No specific conditions deemed necessary.
- 10. Limitation of time for certain activities:** No specific conditions deemed necessary.
- 11. A time period within which the proposed use shall be developed:** No specific conditions deemed necessary.
- 12. A limit on total duration of use:** No specific conditions deemed necessary.
- 13. More stringent dimensional requirements,** such as lot area or dimensions, setbacks, and building height limitations. Dimensional requirements may be made more lenient by conditional use permit only when such relaxation is authorized by other provisions of the zoning code. Dimensional requirements may not be altered by conditional use permit when and to the extent other provisions of the zoning code expressly prohibit such alterations by conditional use permit.
- 14. Other conditions necessary** to protect the interests of the community and surrounding area, or to protect the health, safety, or welfare of persons residing or working in the vicinity of the subject lot.

Conclusion: Based on the foregoing findings of fact and law, Conditional Use Permit 2020-06 is hereby approved, with Findings 1-10 and Condition 1.

Condition 1: Any additional outdoor lighting must be down lit per HCC 21.59.030 and the CDM.

Date

Chair, Franco Venuti

Date

City Planner, Rick Abboud AICP

NOTICE OF APPEAL RIGHTS

Pursuant to Homer City Code, Chapter 21.93.060, any person with standing that is affected by this decision may appeal this decision to the Homer Board of Adjustment within thirty (30) days of the date of distribution indicated below. Any decision not appealed within that time shall be final. A notice of appeal shall be in writing, shall contain all the information required by Homer City Code, Section 21.93.080, and shall be filed with the Homer City Clerk, 491 East Pioneer Avenue, Homer, Alaska 99603-7645.

CERTIFICATION OF DISTRIBUTION

I certify that a copy of this Decision was mailed to the below listed recipients on _____, 2020. A copy was also delivered to the City of Homer Planning Department and Homer City Clerk on the same date.

Date

Travis Brown, Planning Technician

Homer Senior Citizens Danikt Kuzmin
3935 Svedlund Street
Homer, AK 99603

Marvin Yoder, Interim City Manager
491 E Pioneer Avenue
Homer, AK 99603

Michael Gatti
Jermain, Dunnagan & Owens
3000 A Street, Suite 300
Anchorage, AK 99503



City of Homer

www.cityofhomer-ak.gov

Planning

491 East Pioneer Avenue
Homer, Alaska 99603

Planning@ci.homer.ak.us

(p) 907-235-3106

(f) 907-235-3118

TO: Homer Advisory Planning Commission
FROM: Rick Abboud AICP, City Planner
DATE: May 20, 2020
SUBJECT: Staff Report 20-26 City Planner's Report

City Council

5.11.20

a. Resolution 20-008(S-2), A Resolution of the Homer City Council Designating Homer Spit Amended Lot 31, Known as Seafarer's Memorial, as Green Space and Adopting a Land Management Policy that Preserves Lot 31 for Wildlife and as a Natural Agent for Erosion Mitigation. Evensen/Hansen-Cavasos.

Memorandum 20-052 from Deputy City Planner as backup

Resolution 20-008(S-3), A Resolution of the Homer City Council Designating Homer Spit Amended Lot 31, Known as Adjacent to Seafarer's Memorial, as Green Space and Adopting a Land Management Policy that Preserves Lot 31 for Wildlife and as a Natural Agent for Erosion Mitigation. Evensen/Hansen-Cavasos.

ADOPTED Resolution 20-008(S-3) as amended with discussion.

Amendments: Line 42: ...undeveloped land left at the end of the Homer Spit... Lines 58-61 Delete and replace with: WHEREAS, erosion is a critical concern along the Homer Spit, and current beaches, vegetation, and infrastructure will be considered and assessed as part of the General Investigation Study for Homer Spit Erosion Mitigation and subsequent Spit Erosion Maintenance and Management Plan the City is actively pursuing with the US Army Corps of Engineers Lines 69-73 BE IT FURTHER RESOLVED, that a survey shall be completed to establish the current spatial extent of the current parking area on Lot 31 and any part of the property that is not developed as of the passage of this resolution shall be maintained in perpetuity as green space and open to the public, free from buildings, parking, camping, hardscaping of any kind, and earthmoving of any kind. beyond regular parking space maintenance, which is spatially limited to present 45 parking spaces.

Litigation

Currently, the court system has delayed everything, the timeline is moving out for all hearings. The Cycle Logical CUP is being prepared for a hearing at the Alaska Supreme Court.

We are preparing to defend the Windjammer CUP in Alaska Superior Court.

Planning Office

We are still operating with only one person in the office at a time while the other two are working from home. This arrangement has been working well so far and I do not see a need to make any quick changes. We are processing zoning permits and working with developers. If the need arises, we will schedule appointments if we are unsuccessful using electronic formats to exchange information.

The emergency ordinance that restricted Planning Commission meeting business will expire in May. I expect that we will open up the subject matter of the meeting to go beyond just meeting legal requirements. I am planning to hold future meetings according to our adopted schedule and expect that the meetings will be in the new format.

Work list

- Green Infrastructure –
- Medical district – on hold, working to bring this back so that we can get a recommendation to council
- Transportation plan – Memo to council
- Signs – received attorney comments and will schedule for June meeting.
- Tree preservation – researching for a future worksession
- Community Design Manual – This is another subject that we may start preparing for a future meeting.

City Council report sign up

6.8.20 _____
6.22.20 _____
7.27.20 _____
8.10.20 _____



City of Homer

www.cityofhomer-ak.gov

Planning

491 East Pioneer Avenue
Homer, Alaska 99603

Planning@ci.homer.ak.us

(p) 907-235-3106

(f) 907-235-3118

Staff Report PL 20-27

TO: Homer Planning Commission
THROUGH: Rick Abboud, AICP, City Planner
FROM: Julie Engebretsen, Deputy City Planner
DATE: May 20, 2020
SUBJECT: CUP 20-07

Synopsis The Center for Alaskan Coastal Studies has purchased this inholding to the Wynn Nature Center property. They plan to convert the existing house into a new primary entrance for the Wynn Nature Center. A Conditional Use Permit is required because the project includes work within stream buffer and an erosion and sediment control plan.

Applicants: Ben Gibson, project manager
602 Shellfish Ave, Homer AK 99603

Center for Alaskan Coastal Studies, land owner
708 Smokey Bay Way, Homer AK 99603

Location: 62890 Skyline Drive, between Woodman Lane and Palmer Street

Parcel information: 17407102, 3.3 acres

Legal Description: T 6S R 13W SEC 3 SEWARD MERIDIAN HM 0850001 CARL E WYNN TRACTS TRACT 1

Zoning Designation: Bridge Creek Watershed Protection District, not within City Limits

Comprehensive Plan: Goal 2 -C-1 Work with land trusts and/or public agencies to acquire land for protection and recreational use.

Existing Land Use: The property consists of a cleared area (including a large existing impervious area) and the homestead home.

Surrounding Land Use:	North:	Wynn Nature Center/trails/forest
	South:	Wynn Nature Center/trails/forest
	East:	Residential/Wynn Nature Center
	West:	Residential/Wynn Nature Center
Wetland Status:	The 2005 wetlands mapping shows the riparian area along Bridge Creek. A portion of the creek originates just north of this parcel.	
Flood Plain Status:	Zone X, outside the 0.2% floodplain (500 year).	
Utilities:	City services are not available. Property is served by a state maintained paved road, and local fire service area.	
Public Notice:	Notice was sent to 3 property owners of 5 parcels as shown on the KPB tax assessor rolls.	

Introduction: The purpose of this project is to convert the existing home into a visitor center, small parking lot, and trailhead. See the application form for a more through discussion of the improvements that are planned. Most of the renovation is allowed outright in code. The matter before the Planning Commission is approval of a conditional use permit for a walking trail and foot bridge improvements that are within the required stream buffer per HCC 21.40.110, and the accompanying sediment and erosion control plan as required by HCC. 21.40.080, Erosion and Sediment Control.

Discussion

HCC 21.40.110 Stream Buffers

a. A stream buffer must be preserved and maintained along all perennial and intermittent streams in the BCWP district. The stream buffer must be at least 50 feet on each side of the stream measured from the top of the stream bank. Buildings and other features that require grading or construction must be set back at least 10 additional feet from the edge of the buffer. To avoid a decrease in the buffer's effectiveness in protecting the stream the buffer shall remain in natural and undisturbed vegetation.

b. The following exceptions or intrusions into the stream buffer may be granted by conditional use permit approved by the Planning Commission:

1. Street, driveway, culvert, recreational features, intakes, utilities, bridges or other crossings; provided, that they are designed to minimize the amount of intrusion into the

buffer. The aforementioned structures and improvements may run generally within the stream buffer only where no other access route is available and when their design minimizes the amount of intrusion of the stream buffer.

Analysis: The reconstructed path will use the exiting trail access to the creek, and then replace the existing bridge. The path and bridge reconstruction will have as little impact as possible while still allowing for the rehabilitated trail access to the rest of the Wynn Nature Center properties, enhancing public access to the large preservation area.

HCC 21.40.080 Erosion and sediment control.

HCC 21.40.080 further stipulates that the CUP must require that the activity comply with the site specific Erosion and Sediment Control plan prepared and signed by a certified hydrologist, professional engineer or soil scientist whose qualifications to prepare such a plan are reviewed and approved by the Public Works Director.

The applicant has submitted a site plan showing the areas where straw wattles would be installed for the trail and bridge work near the creek. The plan is stamped by a licensed professional engineer, who provides many engineered storm water plans in the Homer area.

The criteria for granting a Conditional Use Permit is set forth in HCC 21.71.020, General conditions, and establishes the following conditions:

a. The applicable code authorizes each proposed use and structure by conditional use permit in that zoning district;

Finding 1: HCC 21.40.050 (m) allows for religious, cultural or fraternal assembly, HCC 21.40.080 allows for disturbance and construction with 100 feet of Bridge Creek. HCC 21.40.110(b) Stream buffers allows for an intrusion into a stream buffer.

b. The proposed use(s) and structure(s) are compatible with the purpose of the zoning district in which the lot is located.

21.40.010 Purpose.

The purpose of this chapter is to prevent the degradation of the water quality and protect the Bridge Creek Watershed to ensure its continuing suitability as a water supply source for the City's public water utility. These provisions benefit the public health, safety, and welfare of the residents of the City of Homer and other customers of the City's water system by restricting land use activities that would impair the water quality, or increase the cost for treatment.

Analysis: The purpose of HCC 21.40 is to prevent degradation of the water quality and protect the Bridge Creek Watershed to ensure its continued suitability as a water supply source for the City's public water supply. The purpose further states the provisions benefit the public health, safety and welfare by restricting land use activities that would impair water quality, or increase the cost for treatment. The proposed project, if done in compliance with the required Erosion and Sediment Control Plan, will allow for increased public access to Wynn Nature Center lands and trails in such a way as to limit impact to the water quality of the City's public water source.

Finding 2: The use and structure is consistent with the purpose of the zoning district.

c. The value of the adjoining property will not be negatively affected greater than that anticipated from other permitted or conditionally permitted uses in this district.

Analysis: The Bridge Creek Watershed Protection District does not generally permit land uses that are noxious and that would negatively affect adjoining property values. Permitted and conditionally permitted uses include residential uses, parks, bed and breakfast establishments, private storage yards, schools and religious cultural and fraternal organizations, cemeteries, timber and agricultural activities are all listed in the district.

Finding 3: A pedestrian trail and bridge within the stream buffer is not expected to negatively impact the adjoining properties greater than other permitted or conditional uses.

d. The proposal is compatible with existing uses of surrounding land.

Analysis: Surrounding uses of land include low-density residences, and other Wynn Nature Center properties.

Finding 4: The proposed trail and bridge is consistent with the uses of surrounding land.

e. Public services and facilities are or will be, prior to occupancy, adequate to serve the proposed use and structure.

Analysis: Paved Road access is provided by the State of Alaska. Fire and Emergency Services are provided by the Kachemak Emergency Service Area.

Finding 5: Public services and facilities are adequate to serve the proposed facility.

f. Considering harmony in scale, bulk, coverage and density, generation of traffic, the nature and intensity of the proposed use, and other relevant effects, the proposal will not cause undue harmful effect upon desirable neighborhood character.

Analysis: The project location is outside Homer City Limits, within the Bridge Creek Watershed Protection District. The purpose of the district is silent on the desirable character of the area, seeking instead to prevent degradation of water quality and the Bridge Creek Watershed. The project will reconstruct an existing trail and enhance public pedestrian access to a preservation area. The project is in harmony with the rural, low traffic land uses in the area.

Finding 6: The proposal will not cause undue harmful effect upon desirable neighborhood character as described in the purpose statement of the district.

g. The proposal will not be unduly detrimental to the health, safety or welfare of the surrounding area or the city as a whole.

Finding 7: A trail constructed in a manner that complies with the submitted sediment and erosion control plan will ensure that the project is not unduly detrimental to the surrounding area or the city as a whole.

h. The proposal does or will comply with the applicable regulations and conditions specified in this title for such use.

Finding 8: The proposal complies with the regulations and conditions set in HCC 21.40.

i. The proposal is not contrary to the applicable land use goals and objectives of the Comprehensive Plan.

Analysis: Goals of the Land Use Chapter of the Homer Comprehensive Plan include Goal 2 Objective C: Provide extra protection for areas with highest environmental value or development constraints. Support acquisition of environmentally sensitive land for preservation.

Finding 9: No evidence has been found that the project is contrary to the applicable land use goals and objects of the Comprehensive Plan.

j. The proposal will comply with the applicable provisions of the Community Design Manual (CDM).

Analysis: No part of CDM applies.

Finding 10: The Community Design Manual does not apply to activities in the Bridge Creek Watershed Protection District.

HCC 21.71.040(b). b. In approving a conditional use, the Commission may impose such conditions on the use as may be deemed necessary to ensure the proposal does and will

continue to satisfy the applicable review criteria. Such conditions may include, but are not limited to, one or more of the following:

- 1. Special yards and spaces:** No specific conditions deemed necessary
- 2. Fences and walls:** No specific conditions deemed necessary
- 3. Surfacing of parking areas:** No specific conditions deemed necessary.
- 4. Street and road dedications and improvements:** No specific conditions deemed necessary.
- 5. Control of points of vehicular ingress and egress:** No specific conditions deemed necessary.
- 6. Special provisions on signs:** No specific conditions deemed necessary.
- 7. Landscaping:** No specific conditions deemed necessary.
- 8. Maintenance of the grounds, building, or structures:** No specific conditions deemed necessary.
- 9. Control of noise, vibration, odors or other similar nuisances:** No specific conditions deemed necessary.
- 10. Limitation of time for certain activities:** No specific conditions deemed necessary.
- 11. A time period within which the proposed use shall be developed:** No specific conditions deemed necessary.
- 12. A limit on total duration of use:** No specific conditions deemed necessary.
- 13. More stringent dimensional requirements,** such as lot area or dimensions, setbacks, and building height limitations. Dimensional requirements may be made more lenient by conditional use permit only when such relaxation is authorized by other provisions of the zoning code. Dimensional requirements may not be altered by conditional use permit when and to the extent other provisions of the zoning code expressly prohibit such alterations by conditional use permit.
- 14. Other conditions necessary** to protect the interests of the community and surrounding area, or to protect the health, safety, or welfare of persons residing or working in the vicinity of the subject lot.

PUBLIC COMMENTS: None by the time this report was published.

STAFF COMMENTS/RECOMMENDATIONS:

Planning Commission approve CUP 20-07 with findings 1-10 and the following condition.

Condition 1. Prior to issuing a zoning permit the Public Works Director shall review the qualifications of the design engineer and the proposed sediment and erosion control plan.

Attachments

Application
Public Notice
Aerial Photograph



City of Homer

www.cityofhomer-ak.gov

Planning
491 East Pioneer Avenue
Homer, Alaska 99603

Planning@ci.homer.ak.us
(p) 907-235-3106
(f) 907-235-3118

Applicant

Name: Ben Gibson Telephone No.: 907.299 3419

Address: 602 shellfish Ave Email: Benjagibson@gmail.com

Property Owner (if different than the applicant):

Name: Center for Alaskan Coastal Studies Telephone No.: 907 235 6667

Address: 708 Smokey Bay Way Email: beth@akcoastalstudies.org

PROPERTY INFORMATION:

Address: 62890 Skyline Drive Lot Size: 3 3 acres KPB Tax ID # 17407102

Legal Description of Property: T65 R13W Sec 3 Seward Meridian Homer, 085001 Carl E Wynn Tracts, Tract 1

For staff use:

Date: 4/16/20 Fee submittal: Amount \$500

Received by: TPB Date application accepted as complete _____

Planning Commission Public Hearing Date: _____

Conditional Use Permit Application Requirements:

1. A Site Plan
2. Right of Way Access Plan
3. Parking Plan
4. A map showing neighboring lots and a narrative description of the existing uses of all neighboring lots. (Planning can provide a blank map for you to fill in).
5. Completed Application Form
6. Payment of application fee (nonrefundable)
7. Any other information required by code or staff, to review your project

Circle Your Zoning District

	RR	UR	RO	CBD	TCD	GBD	GC1	GC2	MC	MI	EEMU	BCWPD
Level 1 Site Plan	x	x	x			x			x			x
Level 1 ROW Access Plan	x	x							x			
Level 1 Site Development Standards	x	x										
Level 1 Lighting			x	x	x	x	x	x	x	x	x	
Level 2 Site Plan			x	x	x		x	x		x	x	
Level 2 ROW Access Plan			x	x	x		x	x		x	x	
Level 2 Site Development Standards			x*	x	x	x	x	x			x	
Level 3 Site Development Standards									x	x		
Level 3 ROW Access Plan						x						
DAP/SWP questionnaire					x	x	x	x			x	

Circle applicable permits. Planning staff will be glad to assist with these questions.

- Y/N** Are you building or remodeling a commercial structure, or multifamily building with more than 3 apartments? If yes, Fire Marshal Certification is required. Status: **Under Review, pending Pending Approval**
- Y/N** Will your development trigger a Development Activity Plan?
Application Status: _____
- Y/N** Will your development trigger a Storm water Plan?
Application Status: _____
- Y/N** Does your site contain wetlands? If yes, Army Corps of Engineers Wetlands Permit is required. Application Status: _____
- Y/N** Is your development in a floodplain? If yes, a Flood Development Permit is required.
- Y/N** Does your project trigger a Community Design Manual review?
If yes, complete the design review application form. The Community Design Manual is online at: <http://www.ci.homer.ak.us/documentsandforms>
- Y/N** Do you need a traffic impact analysis?
- Y/N** Are there any nonconforming uses or structures on the property? **Impervious cover**
- Y/N** Have they been formally accepted by the Homer Advisory Planning Commission?
- Y/N** Do you have a state or city driveway permit? Status: **Existing Access**
- Y/N** Do you have active City water and sewer permits? Status: _____

1. Currently, how is the property used? Are there buildings on the property? How many square feet? Uses within the building(s)?

The subject property is currently an old homestead cabin (The Bellamy family) conjoined with a 1979 era timber framed single family residence. The house has been used as a single family residence for the past fifty years. There is a detached shed/bedroom that is in disrepair and has been used primarily as storage and as a guest room. The single family house/cabin is 2100 square foot footprint, with a full basement of 480 additional square feet. The shed/guest room is about 600 square feet.

2. What is the proposed use of the property? How do you intend to develop the property?
(Attach additional sheet if needed. Provide as much information as possible).

The applicant proposes converting the property to the primary entrance point for the Wynn Nature Center, which encircles the subject lot. The property and buildings were originally part of the Wynn holdings on Skyline drive, and Center For Alaskan Coastal Studies welcomes the return of the property to common holding. The subject lot represents an improved access point for public entrance and education on the surrounding Wynn Nature Center. The proposed Visitor Center has been designed to maintain the character of the original homestead and caretaker's residence. Every effort

has been made to minimize substantial altering of existing grades and topography. Improvements will be largely limited to the footprint of existing buildings. Due to the location within the Bridge Creek Watershed Protection District, we have designed a very compact parking lot in order to maintain a net-neutral change in total impervious cover. There is currently a footpath ramp that extends down to Bridge Creek. The applicant proposes placing a wooden footbridge across Bridge creek. This bridge is estimated to be about 24' long in order to maintain clear margins for the shifting nature of Bridge creek. The trail improvements on either side of the bridge will be designed in such a way as to limit erosion of the trail path and direct sheet flows through vegetative buffers before entering Bridge Creek itself. Please see attached drawings and site plan.

CONDITIONAL USE INFORMATION: Please use additional sheets if necessary. HCC21.71.030

- a. What code citation authorizes each proposed use and structure by conditional use permit?

The Center for Alaskan Coastal Studies proposes converting the existing structures into a visitor reception and education center (permitted use under HCC 21.40.050(m)). The visitor center will provide metered public access to the larger Wynn Nature Center. The Wynn Nature Center promotes environmental stewardship and educational programs. The site falls outside the City of Homer boundaries, but within the Bridge Creek Watershed Protection District. Homer City Code requires a CUP for the following:

A CUP is required by "HCC 21.40.080 Erosion and sediment control" for disturbance of the existing ground cover within 100 feet of Bridge Creek.

A CUP is required by "HCC 21.40.110 Stream buffers (b)" for an intrusion into a stream buffer.

- b. Describe how the proposed uses(s) and structures(s) are compatible with the purpose of the zoning district.

HCC 21.40.010 describes the purpose of the Bridge Creek Watershed Protection District is to "prevent the degradation of the water quality and protect the Bridge Creek Watershed to ensure its continuing suitability as a water supply source for the City's public water utility". The Wynn Nature Center provides important educational and land stewardship in pursuit of this aim. This facility will improve educational and stewardship opportunities.

- c. How will your proposed project affect adjoining property values?

No substantive change is expected.

d. How is your proposal compatible with existing uses of the surrounding land?

The proposed lot is an inholding lot within the existing Wynn Nature Center. The propose use should enhance access and educational opportunities.

e. Are/will public services adequate to serve the proposed uses and structures?

Yes

f. How will the development affect the harmony in scale, bulk, coverage and density upon the desirable neighborhood character, and will the generation of traffic and the capacity of surrounding streets and roads be negatively affected?

The applicant doesn't foresee substantial increase in traffic. Skyline Drive will not be adversely affected.

g. Will your proposal be detrimental to the health, safety or welfare of the surrounding area or the city as a whole?

The proposal hopes to increase watershed protection for the city as a whole by improved education and awareness of Bridge Creek Watershed and the importance of watershed protection.

h. How does your project relate to the goals of the Comprehensive Plan?

This project is consistent with a number of goals of the comprehensive plan: Goal 2 of Land Use (chapter 4) is to "Maintain the quality of Homer's natural environment and scenic beauty". Goal 2 of Public Services and Facilities (chapter 6) is to "seek collaboration and coordination with service providers and community partners to ensure important community services are improved upon and made available.". Goal 5 of Economic Vitality (chapter 7) is to "strengthen Homer as a tourism destination."

i. The Planning Commission may require you to make some special improvements. Are you planning on doing any of the following, or do you have suggestions on special improvements you would be willing to make? (circle each answer)

1. Y/N Special yards and spaces.
2. Y/N Fences, walls and screening.
3. Y/N Surfacing of parking areas.
4. Y/N Street and road dedication ☐ improvements (or bonds).

5. Y/N Control of points of vehicular ingress & egress.
6. Y/N Special provisions on signs.
7. Y/N Landscaping.
8. Y/N Maintenance of the grounds, buildings, or structures.
9. Y/N Control of noise, vibration, odors, lighting, heat, glare, water and solid waste pollution, dangerous materials, material and equipment storage, or other similar nuisances.
10. Y/N Time for certain activities.
11. Y/N A time period within which the proposed use shall be developed.
12. Y/N A limit on total duration of use.
13. Y/N Special dimensional requirements such as lot area, setbacks, building height.
14. Y/N Other conditions deemed necessary to protect the interest of the community.

PARKING

1. How many parking spaces are required for your development? Not Applicable

If more than 24 spaces are required see HCC 21.50.030(f)(1)(b). _____

2. How many spaces are shown on your parking plan? 9

3. Are you requesting any reductions? None

Include a site plan, drawn to a scale of not less than 1" = 20' which shows existing and proposed structures, clearing, fill, vegetation and drainage.

I hereby certify that the above statements and other information submitted are true and accurate to the best of my knowledge, and that I, as applicant, have the following legal interest in the property:

CIRCLE ONE: Owner of record Lessee Contract purchaser

Applicant signature: _____

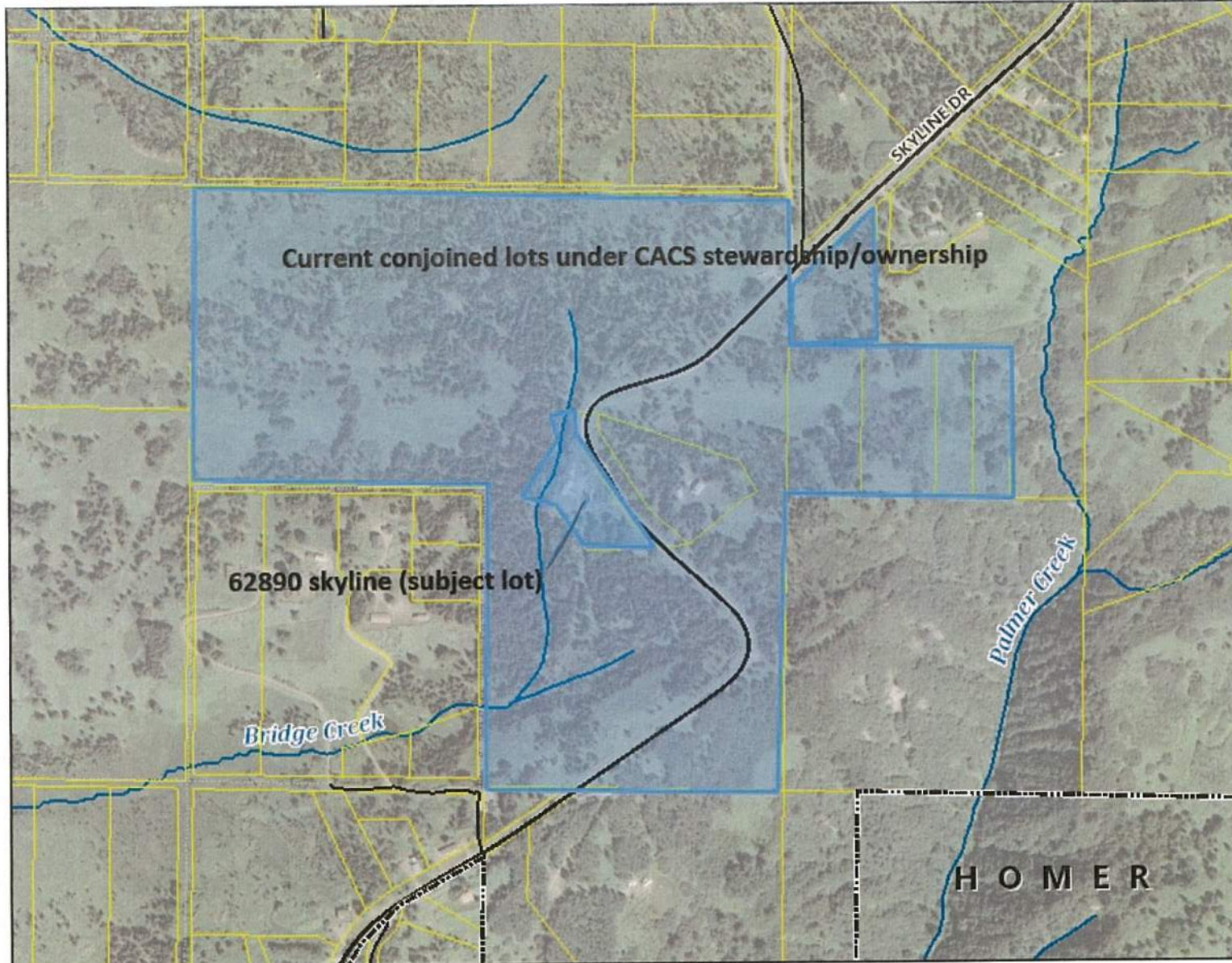
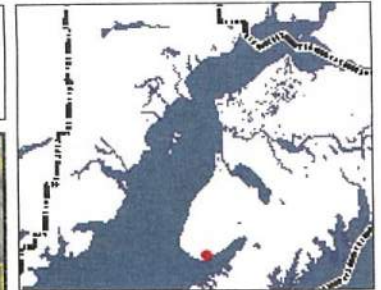
Date: 4/13/2020

Property Owner's signature: _____

Date: 4/13/2020



Lots bordering 62890 Skyline drive



Legend

- Mileposts
- City Limits
- Highways
- Major Roads
- Roads
 - Town Medium Volume
 - Town Low/Seasonal; Other
 - Proposed
- Parcels



Notes

0.2 0 0.12 0.2 Miles

Coordinate System: NAD_1983_StatePlane_Alaska_4_FIPS_5004_Feet

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. Do not use for navigation.

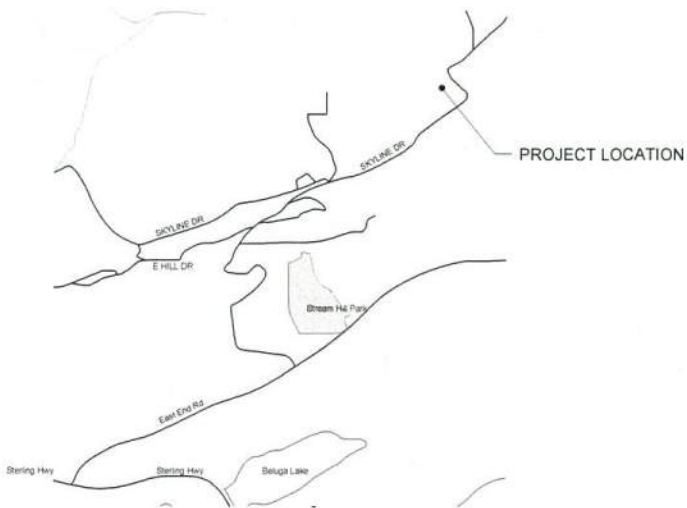
DATE PRINTED: 4/2/2020



LOCATION MAP



VICINITY MAP



DRAWING INDEX

G0.0	COVER SHEET
A0.1	CODE ANALYSIS & GENERAL INFO
L101	SITE PLAN
L102	ENLARGMENT PLAN
L501	DETAILS
A2.1	DEMOLITION - BASEMENT FLOOR PLAN
A2.2	DEMOLITION - FLOOR PLAN
A2.3	DEMOLITION - ROOF PLAN
A2.4	FLOOR PLANS
A2.5	FLOOR PLANS
A2.6	FURNITURE PLAN
A2.7	FLOOR PLANS
A2.8	REFLECTED CEILING PLAN
A2.9	ROOF PLAN
A4.1	DEMOLITION-EXTERIOR ELEVATIONS
A4.2	EXTERIOR ELEVATIONS
A4.3	ENLARGED PLANS & INTERIOR ELEVATIONS
A5.1	SECTIONS
A9.1	SCHEDULES

Drawing: J:\PRO-19-02 CACS Wynn\2 - CAD\Corvus-Sheets - CACS.dwg last saved on 2/6/2020 3:52 PM was plotted by Bradley Little on 2/7/2020 2:32 PM



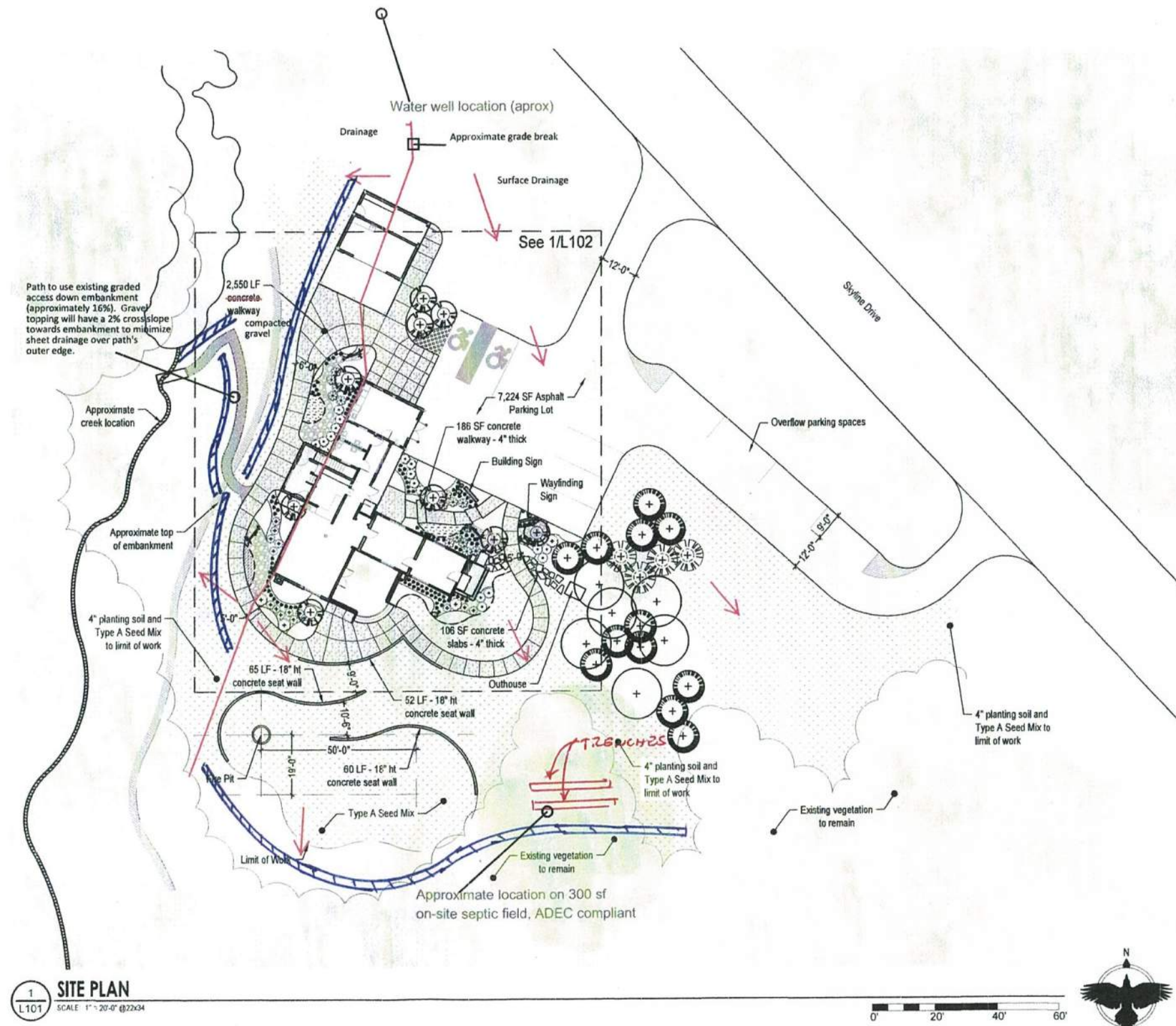
4-1-2020
For design and layout
of SWP items only.

LEGEND

██████ DENOTES STAKED FIBER ROLL

NOTES

1. APPROXIMATE LENGTH OF FIBER ROLL IS 400 FEET.



SWP PLAN FOR SITE

38

1" = 40'

Planting Schedule

Deciduous Trees- See Detail: 1 L501 Deciduous Tree Planting

Qty. Shown	Symbol	Label	Latin Name	Common Name	Size	Furnished	Notes
6		BP	Betula papyrifera	Paper Birch	2" CAL	B&B	Single stem
12		PC	Pinus cembra	Swiss Stone Pine	7' HT	B&B	
9		PTE	Populus tremula 'Erecta'	Columnar Swedish Aspen	2" CAL	B&B	Single stem

Evergreen Trees- See Detail: 2 L501 Evergreen Tree Planting

Qty. Shown	Symbol	Label	Latin Name	Common Name	Size	Furnished	Notes
4		PP	Picea pungens	Colorado Green Spruce	6' HT	B&B	5:3 Ratio

Shrubs - See Detail: 3 L501 Shrub Planting

Qty. Shown	Symbol	Label	Latin Name	Common Name	Size	Furnished	Notes
6		SHB 1	xxx	Shrub #1			
12		SHB 2	xxx	Shrub #2			
14		SHB 3	xxx	Shrub #3			
4		SHB 4	xxx	Shrub #4			
14		SHB 5	xxx	Shrub #5			

Perennials- See Detail: 4 L501 Perennial Planting

Qty. Shown	Symbol	Label	Latin Name	Common Name	Size	Furnished	Notes
30		AD	Aruncus dioicus	Goatsbeard	#2	Native transplant	36" OC Triangular spacing
174		GE	Geranium erianthum	Wild Geranium	#1	CG	18" OC Triangular spacing
300		H	Hosta 'August Moon'	Hosta	#2	CG	12" OC Triangular spacing

Grasses- See Detail:

Qty. Shown	Symbol	Label	Latin Name	Common Name	Size	Furnished	Notes
121		CAK	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	#2	CG	18" OC Triangular spacing

Miscellaneous



Type A Seed Mix



Type B Seed Mix



Rock Mulch



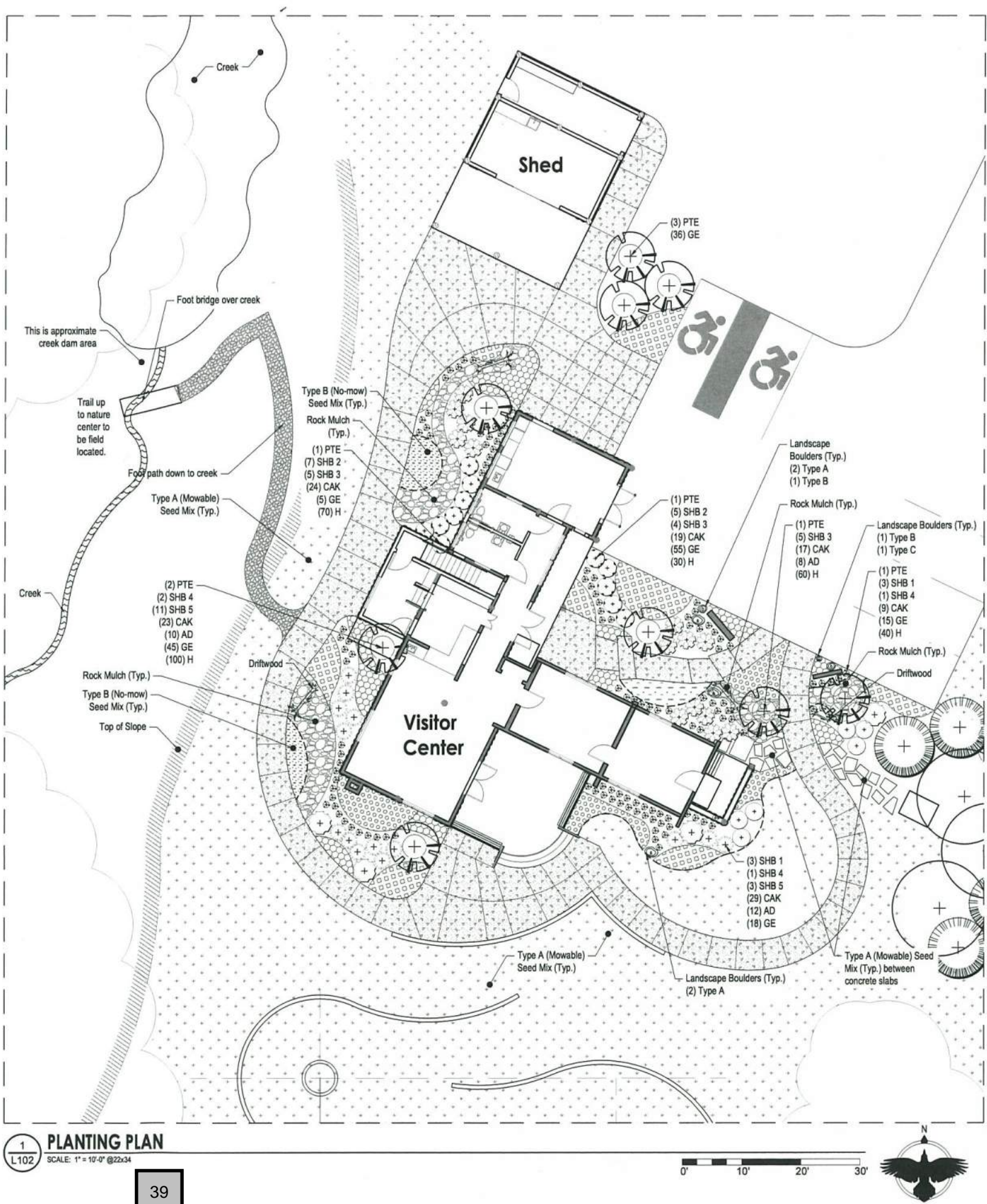
Type A
Type B
Type C



Landscape Boulders




General Notes:

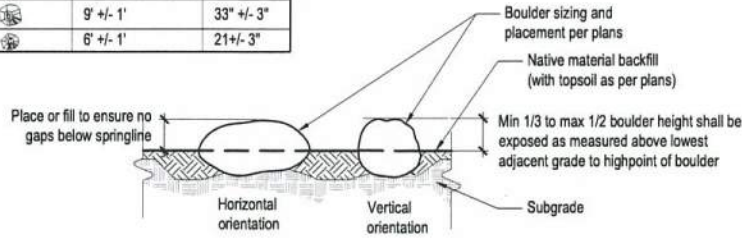
- All plants: nursery grown to ANSI Z60.1 or native transplants to ANSI Z60.1.
- Excavate as necessary to allow placement of planting soil per above (as measured after compaction) PLUS additional excavation as needed to install mulch (as relevant) and for soft surfaces to be 1" below adjacent hard surfaces (as relevant). Where planting materials are installed within soil areas, excavate deeper as needed to achieve soil depths and extents per planting details. Coordinate earthwork activities to ensure that final grades are met, and positive drainage is achieved.
- Where planting materials are installed within soil areas, excavate as necessary to achieve soil depths and extents per planting details plus additional excavation as needed to install mulch (as relevant) and for soft surfaces to be 1" below adjacent hard surfaces (as relevant). Coordinate earthwork activities to ensure that final grades are met, and positive drainage is achieved.
- Apply 4" depth planting soil and seed to all disturbed areas not indicated on plans.
- Construct project to meet Municipality of Anchorage Standard Specifications (MASS).
- Any reference to "planting soil" is equivalent to "topsoil" as defined in MASS.
- Landscape contractor: Coordinate the excavation of planting soil areas and planting beds with the general or prime contractor.
- Landscape contractor: Coordinate with the general or prime contractor for stabilization of all disturbed areas (disturbed soils) in accordance with local, state, and federal requirements for storm water pollution prevention plans.
- Materials
 - Planting beds: Construct as shown on the drawings and as described herein. Prior to placement of any planting soil in planting beds, the contractor must prepare the area to depth and size specified and must notify the engineer for inspection of subgrade and planting bed area. Do not compact planting soil during installation. All plant materials and installation must comply with section 75.02 Landscaping and the Drawings.
 - The planting soil must be tested by the contractor and inspected by the owner's representative before approval is granted for use on the project.
 - Landscape edging: Aluminum CURV-RITE 3000 series, 5/2"x 3/16", with mill finish. Fasten all corners with 3000 series corner modules. All stakes must be twelve inch (12") aluminum stakes with mill finish.
 - Comparable products by other manufacturers may be considered provided supporting data from the manufacturer is submitted to the engineer. Comparable products must be architecturally and structurally similar in size, type, and grading of materials, dimensions, finishes, and textures.
 - Corners: Fasten with CURV-RITE 3000 series corner module connectors. Do no bend or crease edging at corners or at changes of direction.
 - Rock mulch: 2" minus sewer rock.
 - Contractor: Locate, identify by size, and place boulders per plans and relocate any boulder at the engineer's or owner's discretion.
 - Relocated boulders must be measured by each boulder completed in place and accepted by the engineer.



Drawing J:\PRO-19-02 CACS Wynn2 - CAD\Corvus-Sheets - CACS.dwg last saved on 2/6/2020 3:52 PM was plotted by Bradley Little on 2/7/2020 2:32 PM

Landscape Boulder Sizing Schedule

Boulder Symbol	Circumference	Height
	12' +/- 1'	45" +/- 3"
	9' +/- 1'	33" +/- 3"
	6' +/- 1'	21" +/- 3"

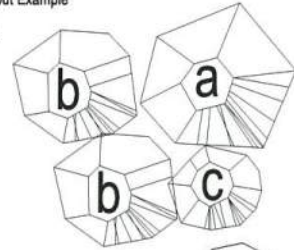


Notes:

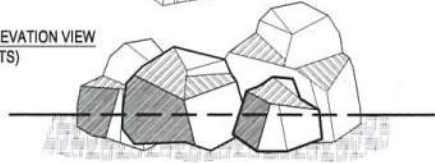
1. Location and orientation of placed rocks shall be field approved by owner's representative.
2. Boulders should be no higher than 30" above any adjacent grade.
3. Circumference refers to the largest circumference of the boulder.
4. Height is measured perpendicular to axis used for determining circumference.

Boulder Layout Example

PLAN VIEW
(NTS)



ELEVATION VIEW
(NTS)



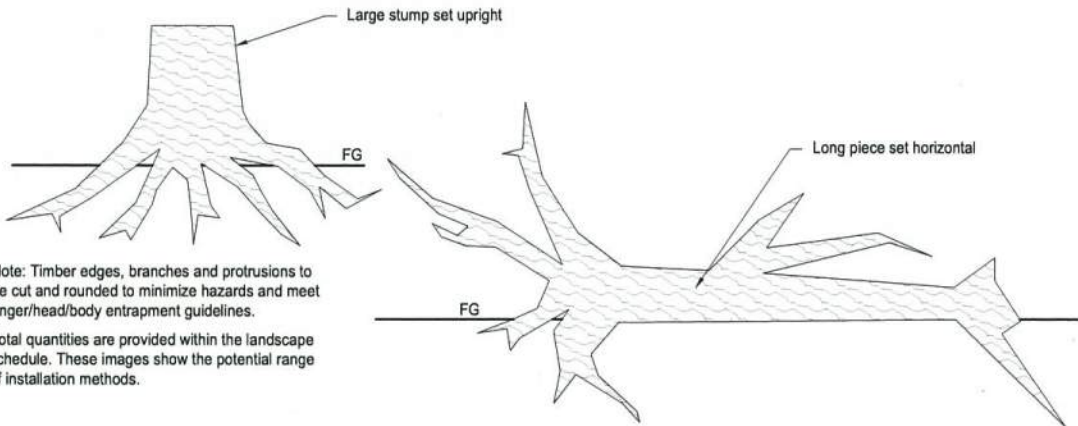
6 Landscape Boulders

SCALE: NTS @22x34



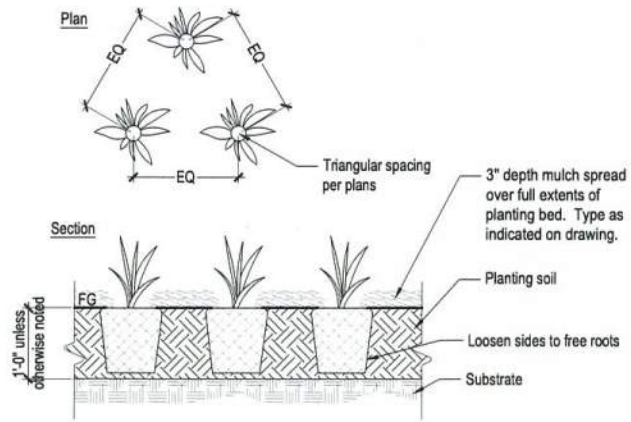
Note: Timber edges, branches and protrusions to be cut and rounded to minimize hazards and meet finger/head/body entrapment guidelines.

Total quantities are provided within the landscape schedule. These images show the potential range of installation methods.



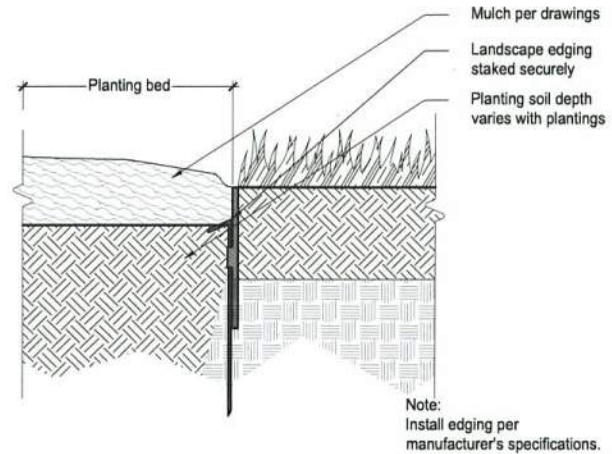
7 Driftwood

SCALE: NTS @22x34



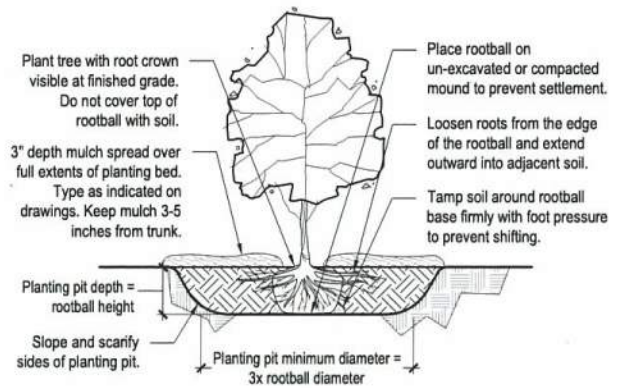
4 Perennial Planting

SCALE: NTS @22x34



5 Landscape Edging

SCALE: NTS @22x34

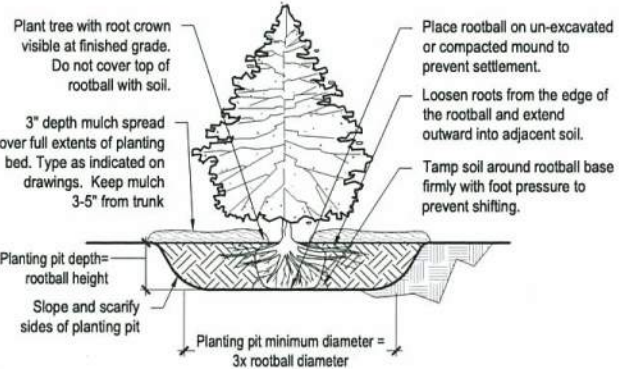


Notes:

1. To prevent settlement, thoroughly water planting soil while backfilling.
2. Do not fertilize at time of installation.
3. As appropriate, remove all pots, twine, wire and top half of burlap from rootball.

1 Deciduous Tree Planting

SCALE: NTS @22x34

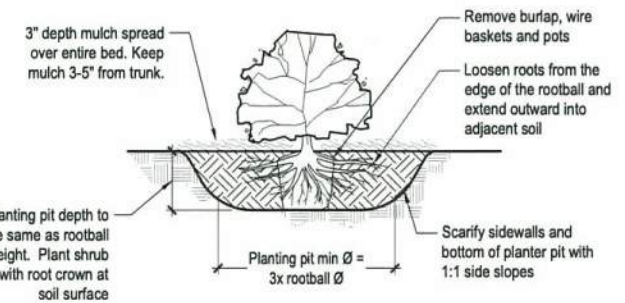


Notes:

1. To prevent settlement, thoroughly water planting soil while backfilling.
2. Do not fertilize at time of installation.
3. As appropriate, remove all pots, twine, wire and top half of burlap from rootball.

2 Evergreen Tree Planting

SCALE: NTS @22x34



Notes:

1. To prevent settlement, thoroughly water planting soil while backfilling.
2. Do not fertilize at time of installation.
3. If present, remove all pots, twine, wire, and burlap from rootball.

3 Shrub Planting

SCALE: NTS @22x34

©2019 ECI, Inc.

ECI ARCHITECTURE DESIGN STRATEGY
3909 ARCTIC BOULEVARD, SUITE 103

PROJECT NO.19-0017

CENTER FOR ALASKAN
COASTAL STUDIES

North Wynn II VISITOR CENTER

CONCEPT PRICING SET

PRELIMINARY
NOT FOR
CONSTRUCTION

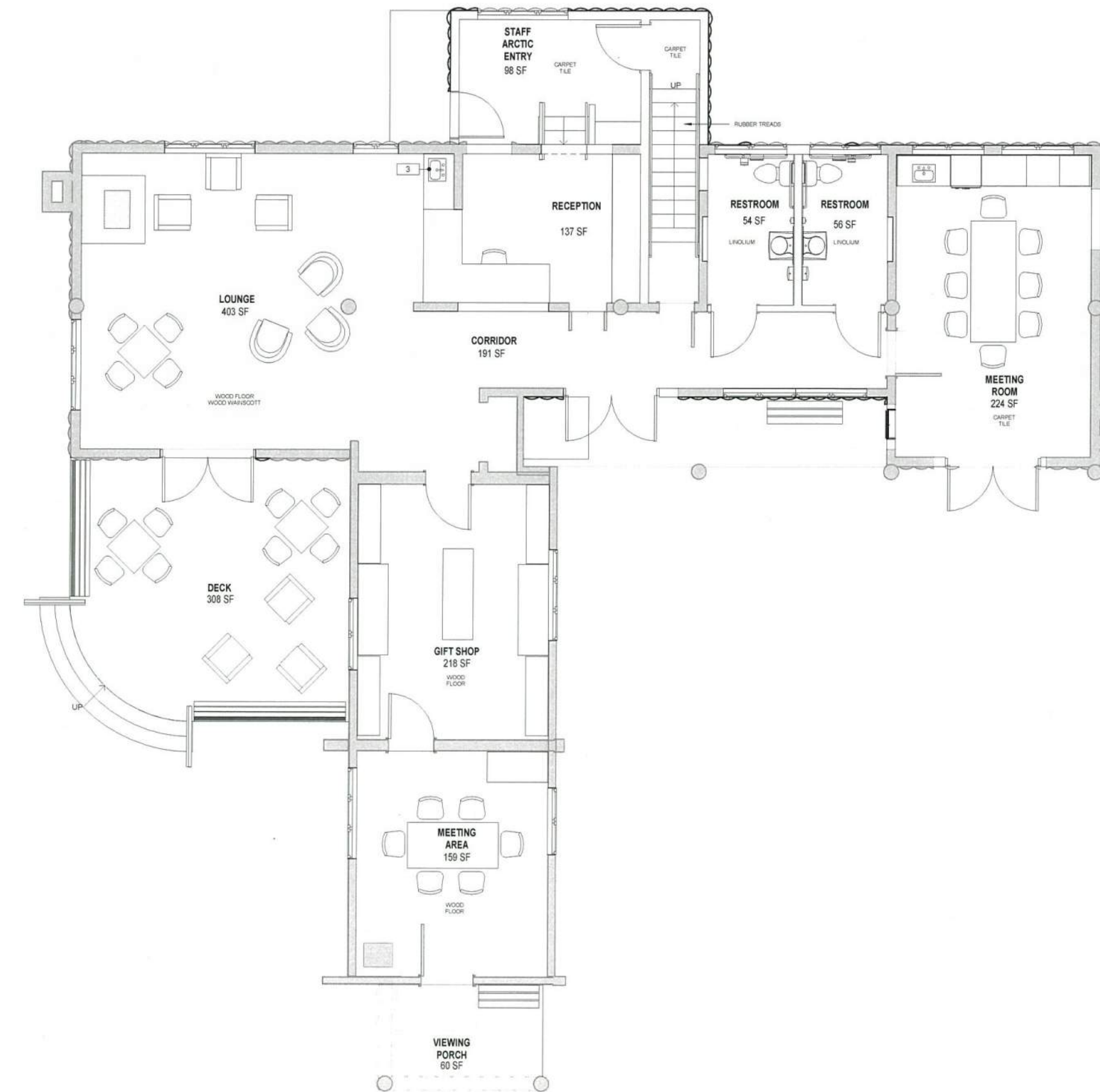
**Corvus Design**
Landscape Architecture
www.corvus-design.com
Anchorage - 907.222.2859
2506-B Fairbanks St. 99503
Juneau - 907.988.9000
119 Seward St. 99801

DETAILS

CHECKED:PB
AUTHOR:BL
REVISION:
ISSUE DATE:08.08.2019
OWNER PROJECT NO: 19-0017.00

L501

FULL SIZE PRINTED ON 22 x 34



- GENERAL PLAN NOTES**
1. DIMENSIONS ARE GO GRIDLINE OR FACE OF STUD U.N.O. "CLR" REFERS TO FACE OF FINISH EACH SIDE SEE A0.3 FOR PARTITION ASSEMBLIES AND HEIGHT DESIGNATIONS.
 2. REFER TO MECHANICAL DRAWINGS FOR FLOOR DRAIN LOCATIONS.
 3. SEE CODE PLANS FOR ALL FIRE EXTINGUISHER LOCATIONS.

1 FURNITURE PLAN
1/4" = 1'-0"



© 2019 ECI, Inc.

ECI ARCHITECTURE DESIGN STRATEGY
3909 ARCTIC BOULEVARD, SUITE 103
ANCHORAGE, ALASKA 99503 907.561.5543
PROJECT NO. 19-0017

CENTER FOR ALASKAN COASTAL STUDIES
NORTHWYNN II VISITOR CENTER

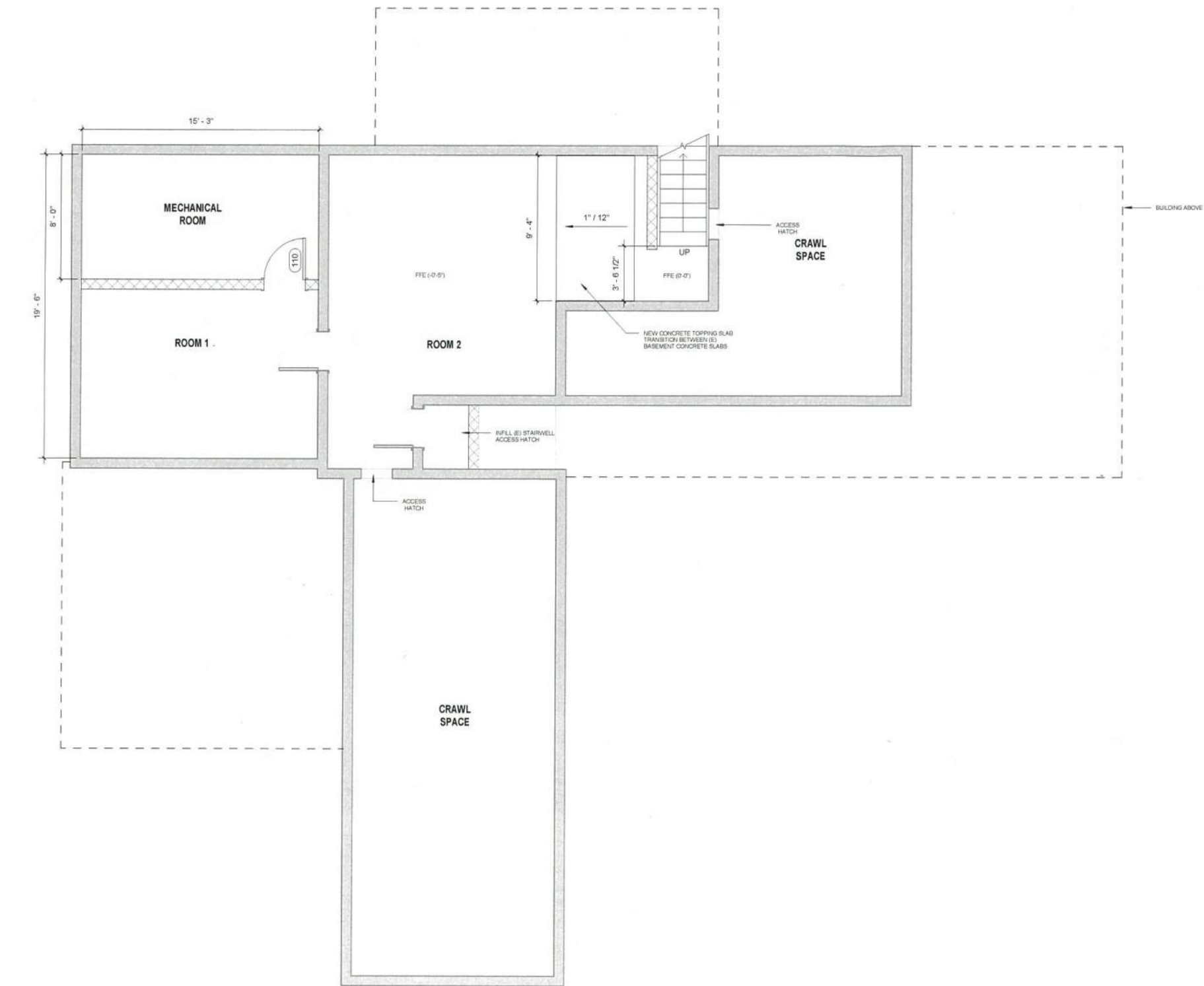
PERMIT SET

FURNITURE PLAN

AUTHOR: GR
REVISION:
ISSUE DATE: 01.10.2020
OWNER PROJECT NO: 19-0017.00

CHECKED: JWS

A2.6
FULL SIZE PRINTED ON 22 x 34



- GENERAL PLAN NOTES**
1. DIMENSIONS ARE TO GRIDLINE OR FACE OF STUD U.N.O. "CLR" REFERS TO FACE OF FINISH EACH SIDE SEE A0.3 FOR PARTITION ASSEMBLIES AND HEIGHT DESIGNATIONS
 2. REFER TO MECHANICAL DRAWINGS FOR FLOOR DRAIN LOCATIONS
 3. SEE CODE PLANS FOR ALL FIRE EXTINGUISHER LOCATIONS
 - 4.

1 BASEMENT FLOOR PLAN
1/4" = 1'-0"



FLOOR PLANS

AUTHOR: GR
REVISION: CHECKED: JWS
ISSUE DATE: 01.10.2020
OWNER PROJECT NO: 19-0017.00

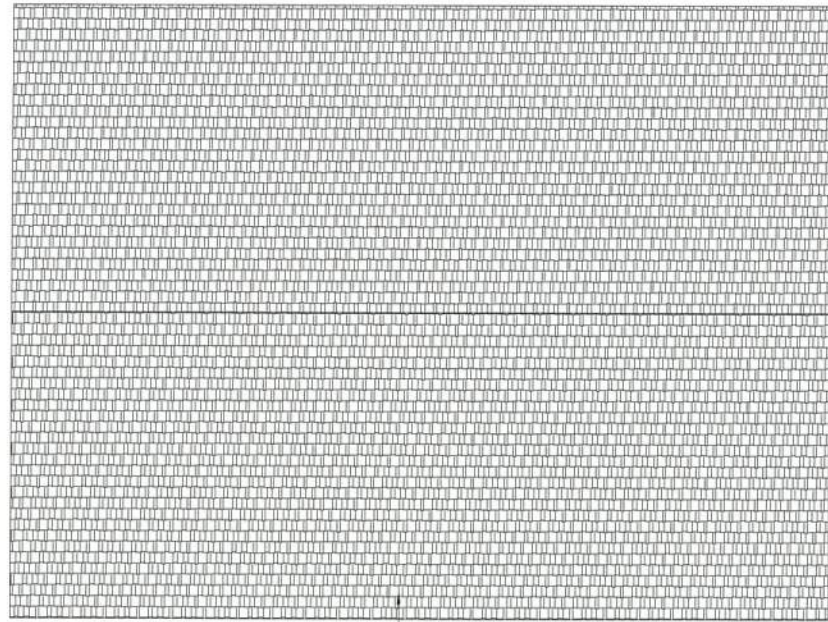


**CENTER FOR ALASKAN
COASTAL STUDIES
NORTHWYNN II VISITOR CENTER**

PERMIT SET

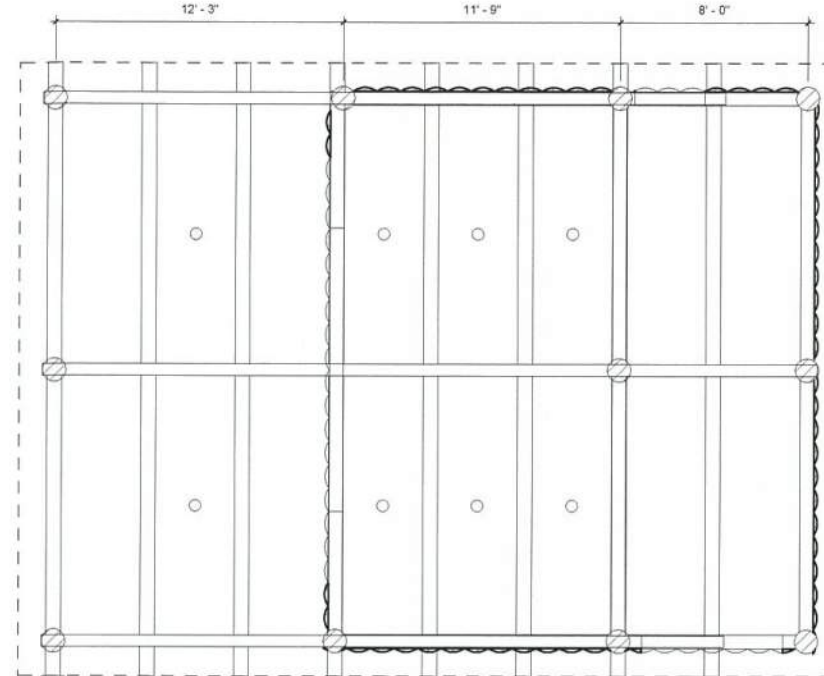
ECI ARCHITECTURE DESIGN STRATEGY
3909 ARCTIC BOULEVARD, SUITE 103
ANCHORAGE, ALASKA 99503 907.561.5543
PROJECT NO. 19-0017

© 2019 ECI, Inc.



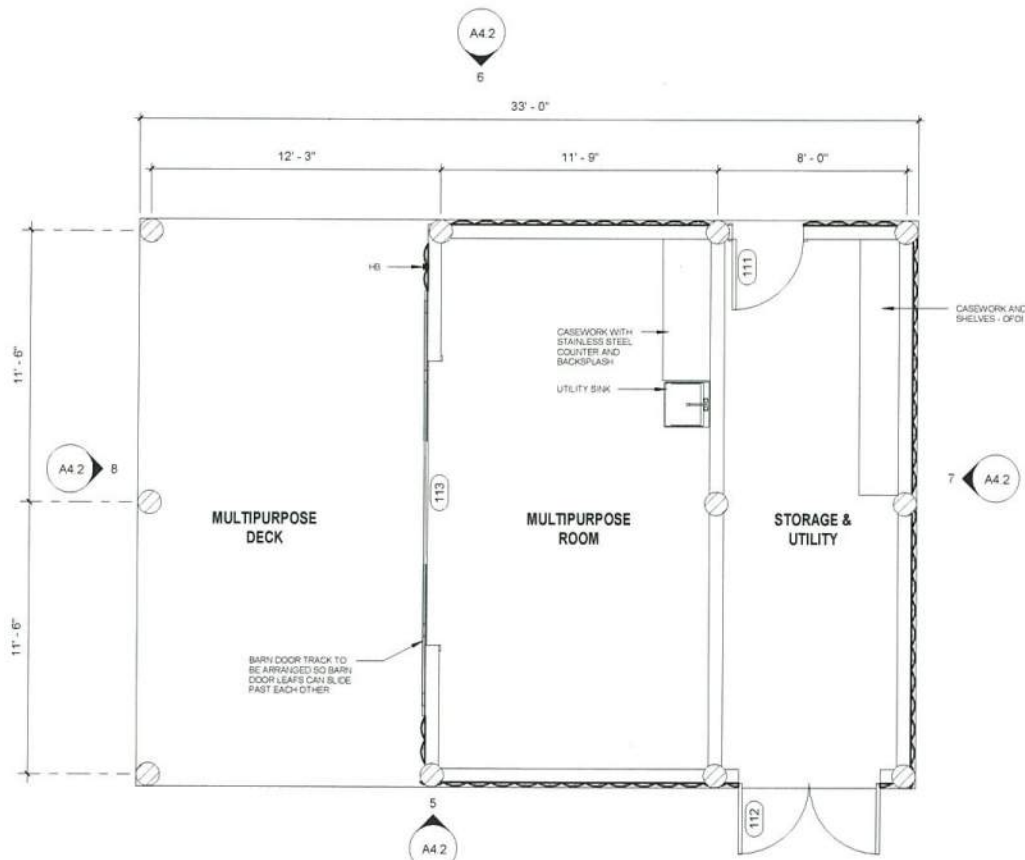
2 SHED ROOF PLAN
1/4" = 1'-0"

ROOF ASSEMBLY - TYPICAL
-WOOD SHINGLES
-WEATHER BARRIER
-WOOD DECKING
-2" AIR GAP
-2" BRACKERS FOR INSTALLATION OF NEW CEILING TRUSS
-2" RIGID FOAM - SEALED TO EXISTING ROOF FRAMING FOR AIR BARRIER
-1/2" GWS
-NO TRIM BOARDS ALONG EDGE

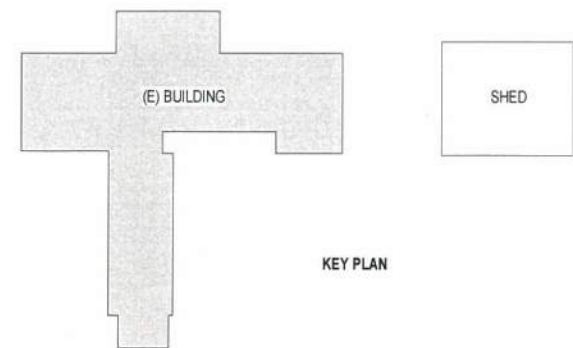


3 SHED REFLECTED CEILING PLAN
1/4" = 1'-0"

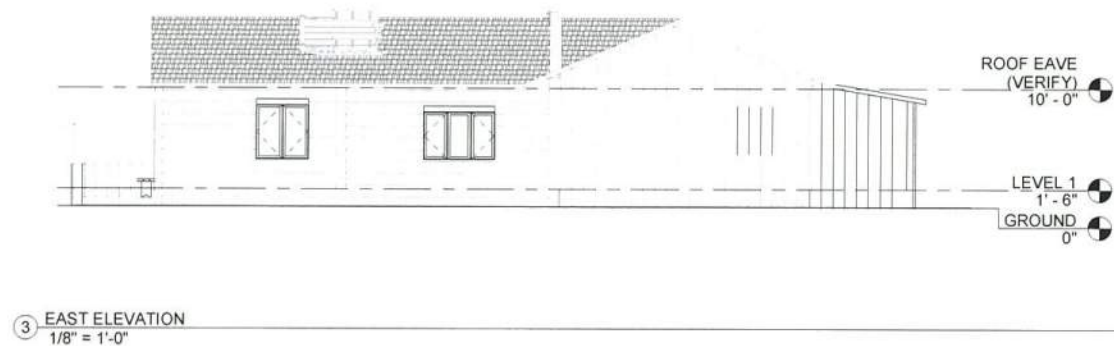
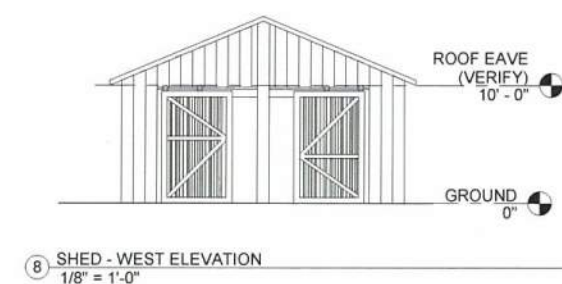
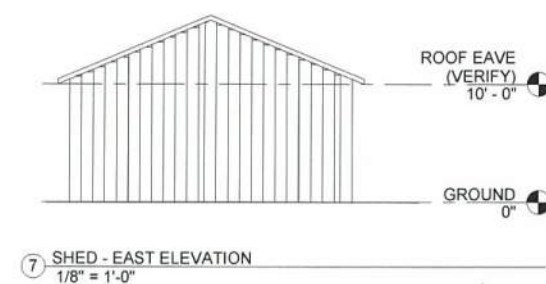
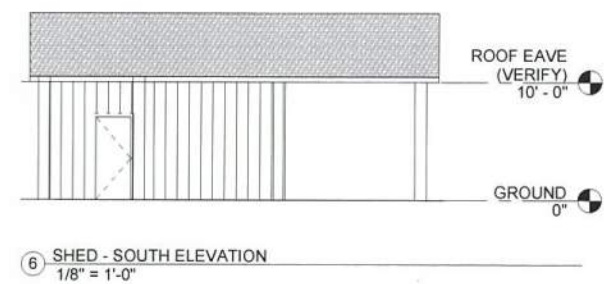
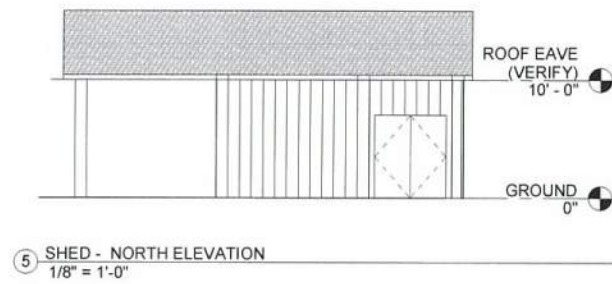
DASHED LINE DENOTES
EDGE OF CANOPY
ROOF ABOVE



1 SHED FLOOR PLAN
1/4" = 1'-0"



KEY PLAN



ROOM FINISH SCHEDULE (TBD)									
NO.	NAME	FLOOR FINISH	BASE FINISH	WALL NORTH	WALL SOUTH	WALL WEST	WALL EAST	CEILING FINSH	COMMENTS
104	LOUNGE								
104	RECEPTION								
103	STAFF ARCTIC ENTRY								
110	MEETING ROOM								
108	RESTROOM								
109	RESTROOM								
105	DECK								
106	GIFT SHOP								
107	MEETING AREA								
111	COVERED OUTDOOR AREA								
101	CORRIDOR								
112	VIEWING PORCH								
113	SHED								
114	ROOM 1								
115	ROOM 2								
116	HALL								
117	CRAWL SPACE								
118	CRAWL SPACE								
119	BOILER ROOM								
120	BOILER ROOM								
121	ROOM 2								
122	STORAGE & UTILITY								
123	MULTIPURPOSE ROOM								
124	MULTIPURPOSE DECK								
125	BOILER ROOM								
126	MECHANICAL ROOM								
127	LOUNGE								

PLUMBING EQUIPMENT				
MARK	NAME	MANUFACTURER	MODEL	COUNT
1	TOILET			2
2	SINK	KOHLER Co.	NA	2
3	KITHCHEN SINK			2
4	UTILITY SINK			1
5	PAPER TOWEL DISPENSER	BOBRICK	B-4262	2
6	SOAP DISPENSER	BOBRICK		2
7	GRAB BARS	BOBRICK	B-5806X18 AND B-5806X42	2
8	SANITARY NAPKIN DISPOSAL	BOBRICK		2
9	TOILET TISSUE DISPENSER	BOBRICK	B-2888	2
10	MIRROR			2
11	BABY CHANGING STATION	KOALA	KB110-SSRE	2
12	TOILET SEAT COVER DISPENSER	BOBRICK		2
13	DISH WASHER			1
14	REFRIGERATOR			1

WINDOW SCHEDULE							
MARK	WIDTH	HEIGHT	MATERIAL	MANUFACTURER	MODEL	COUNT	COMMENTS
A	4' - 9"	2' - 1"				6	WINDOWS IN RESTROOMS TO BE FROSTED
B	2' - 0"	4' - 0"				1	
C	6' - 0"	4' - 0"				5	
D	3' - 0"	4' - 0"				1	
E	4' - 9"	4' - 7"				1	
F	4' - 5"	4' - 7"				1	

1. VERIFY EXISTING OPENINGS, SIZE AND COUNT

DOOR SCHEDULE									
MARK	WIDTH	SP HEIGH	MATERIAL	FINISH	FRAME MATERIAL	FRAME FINISH	HARDWARE GROUP	TYPE	COMMENTS
101	6' - 0"	7' - 0"	WD	ALUM	WD	ALUM		B	ADA
102	3' - 0"	7' - 0"	WD	ALUM	WD	ALUM		C	
103	3' - 0"	7' - 0"	WD	ALUM	WD	ALUM		A	
104	6' - 0"	7' - 0"	WD	ALUM	WD	ALUM		B	
105	3' - 0"	7' - 0"	WD	WD	WD	ALUM		A	
106	3' - 0"	7' - 0"	WD	WD	WD	ALUM		A	
107	3' - 0"	7' - 0"	WD	WD	WD	ALUM		A	
108	3' - 0"	7' - 0"	WD	WD	WD	ALUM		A	
109	6' - 0"	7' - 0"	WD	ALUM	WD	ALUM		B	
110	2' - 8"	7' - 0"	WD	ALUM	WD	ALUM		A	
111	3' - 0"	7' - 0"	WD	ALUM	WD	ALUM		A	ADA
112	6' - 0"	7' - 0"	WD	ALUM	WD	ALUM		B	
113	12' - 0"	9' - 6"	WD	WD	WD	ALUM		D	BARN DOOR

GENERAL DOOR NOTES

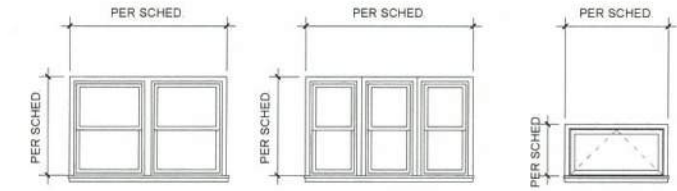
- VERIFY ALL DOOR OPENING SIZES - MATCH EXISTING
- DOORS, FRAMES AND DOOR HARDWARE TO COMPLY WITH ANSI 117.1 FEDERAL ADA REGULATIONS
- EXTERIOR DOORS - WOOD FRAMES WITH ALUMINUM EXTERIOR CLADDING BASIS OF DESIGN
- LOWEN
- DOOR HARDWARE TO BE UL LISTED
- DOOR HARDWARE TO BE US32D WHER FINISH IS AVAILABLE, OTHERWISE PROVIDE US26D

FINISH LEGEND

SC-1: SEALED CONCRETE
RB-1: RUBBER BASE, 4"H, COLOR: TBD
P-1: SW XX
P-2: SW XX
P-3: TBD
SS: STAINLESS STEEL
WD: WOOD

BASIS OF DEISGN

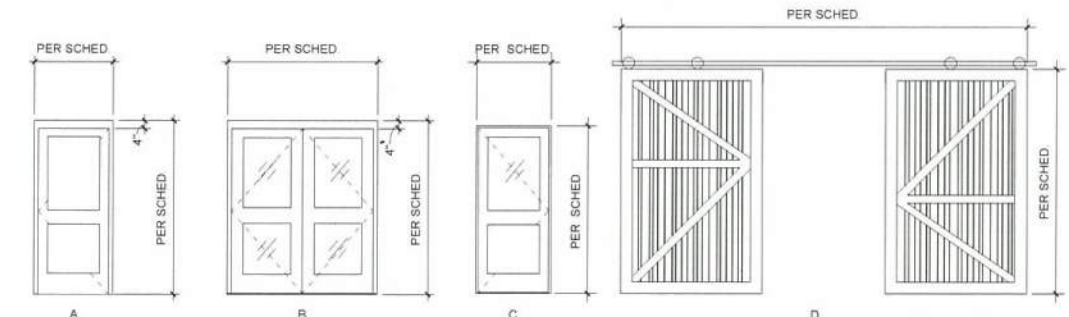
- LOWEN
- LOW-E TRIPLE PANE GLAZING
- NATURAL DOUGLAS FIR @ INTERIOR
- EXTRUDED ALUMINUM CLADDING @ EXTERIOR
- EXTERIOR FINISH TO BE DETERMINED FROM MANUF.
- FULL LINE OF COLORS AND FINISHES



WINDOW TYPES
1/4" = 1'-0"

BASIS OF DEISGN

- LOWEN NARROW STILE
- TRADITIONAL AND FRENCH DOOR
- LOW-E TRIPLE PANE GLAZING
- NATURAL DOUGLAS FIR @ INTERIOR
- EXTRUDED ALUMINUM CLADDING @ EXTERIOR
- EXTERIOR FINISH TO BE DETERMINED FROM MANUF.
- FULL LINE OF COLORS AND FINISHES



DOOR TYPES
1/4" = 1'-0"



SCHEDULES

AUTHOR: GR
REVISION:
ISSUE DATE: 01.10.2020
OWNER PROJECT NO: 19-0017.00

CHECKED: JWS

PUBLIC HEARING NOTICE

Public notice is hereby given that the City of Homer will hold a public hearing by the Homer Advisory Planning Commission on Wednesday, May 20, 2020 at 5:30 p.m. via a virtual meeting webinar, on the following matter:

A request for Conditional Use Permit (CUP) 20-07 to allow an intrusion into the stream buffer for improvements to an existing walking trail & foot bridge at 62890 Skyline Drive per HCC 21.40.110 Stream buffers and HCC 21.40.080 Erosion and sediment control. The property is located within the Bridge Creek Watershed Protection District and is also known as Tract 1 Carl E. Wynn Tracts, E ½, SW ¼, Sec. 3, T. 6 S., R. 13 W., S.M.

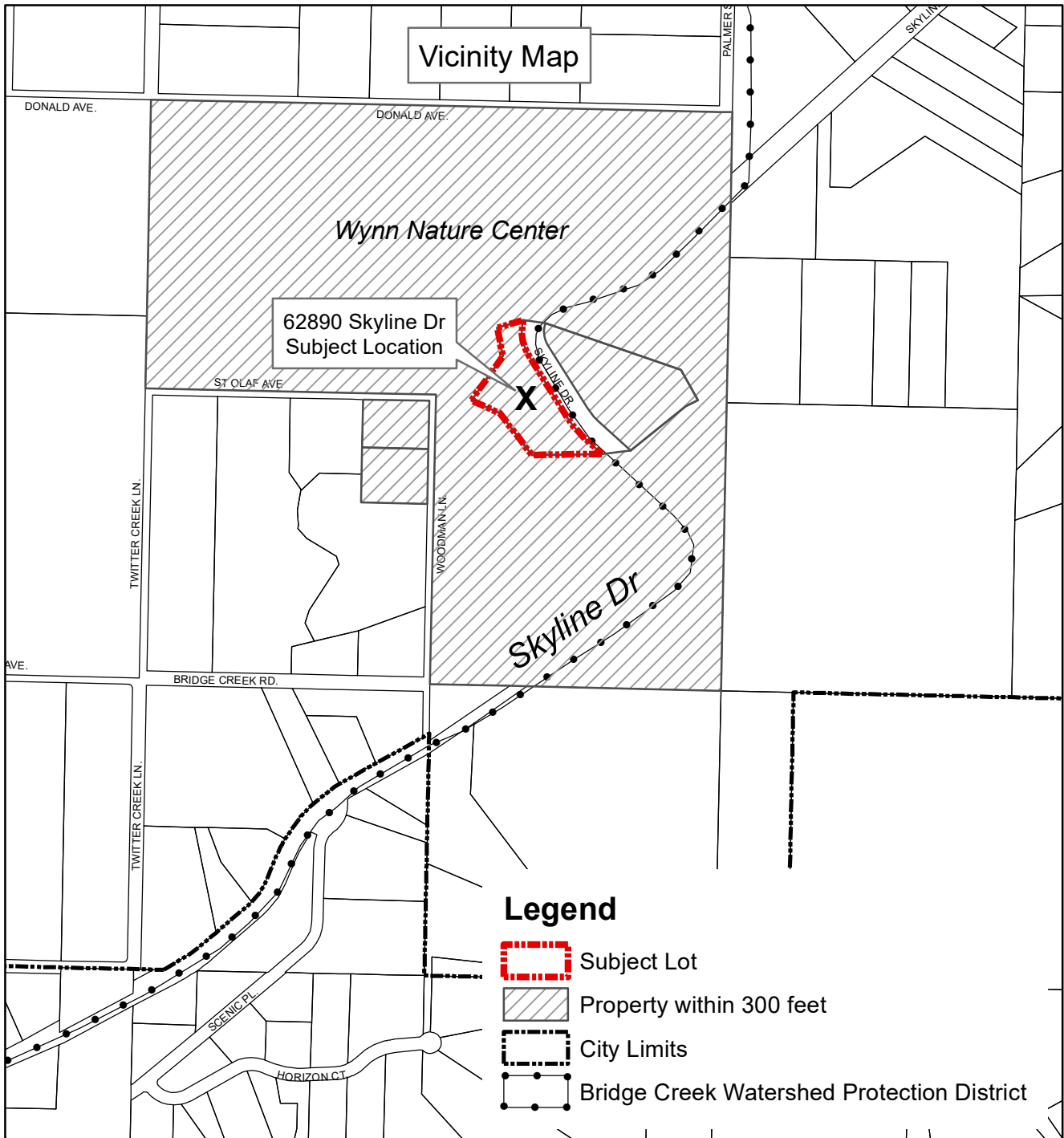
Anyone wishing to view the complete proposal or present testimony on this matter may do so by visiting the meeting page on the City's online calendar at <https://www.cityofhomer.ak.gov/calendar>. This webpage has all of the information for how to view and participate in the virtual meeting, including how to call-in for verbal testimony. The virtual meeting processes are in place for the duration of Governor Dunleavy's Health Mandate 011: Social Distancing.

If you have any questions or need additional information, please contact the Planning and Zoning Office at 235-3106 or the Clerk's Office at 235-3130.

NOTICE TO BE SENT TO PROPERTY OWNERS WITHIN 300 FEET OF PROPERTY

.....

VICINITY MAP ON REVERSE



City of Homer
Planning and Zoning Department

5/5/2020

Request for Conditional Use Permit 20-07

Marked lots are within
300 feet and property owners notified.

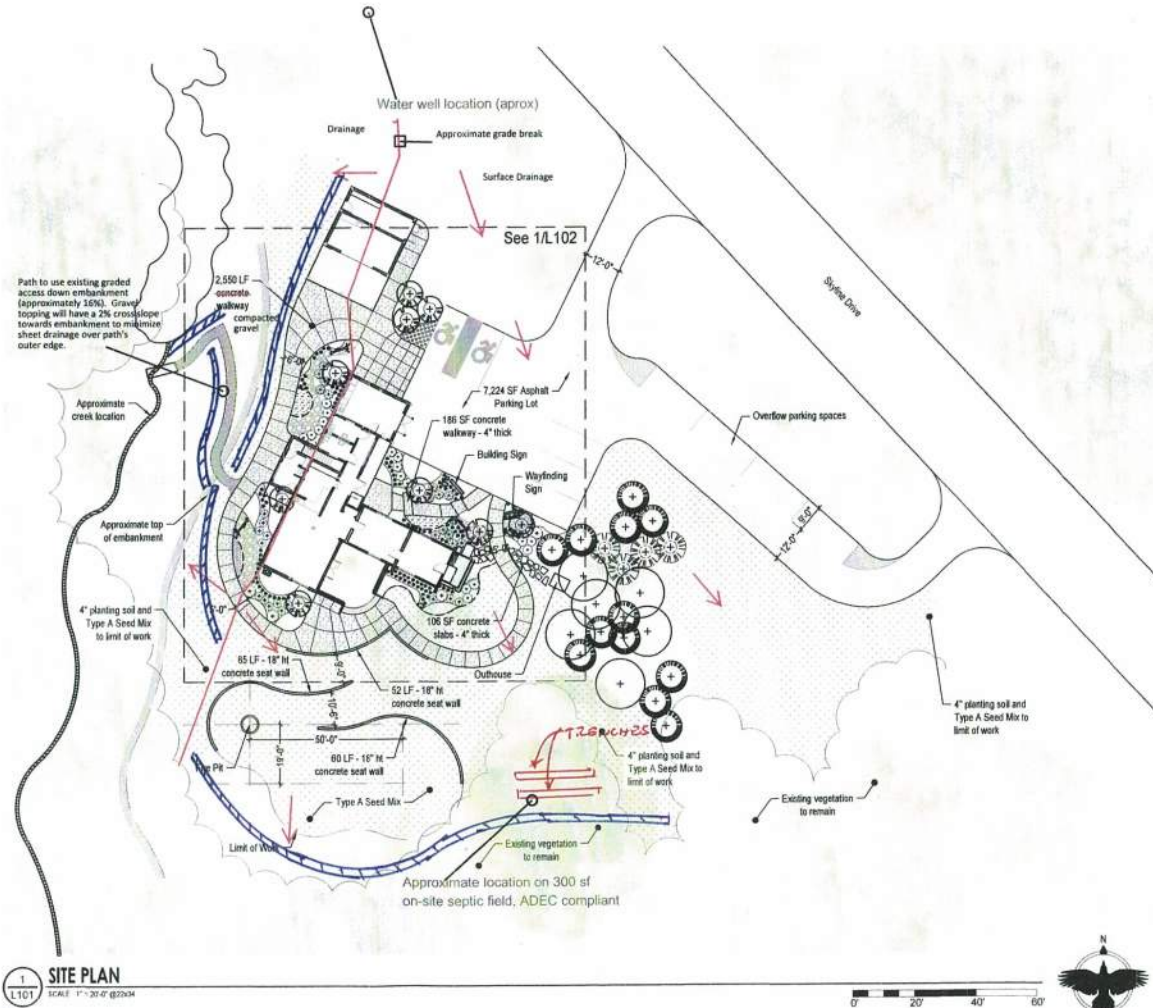
Feet
 0 150 300 600



Disclaimer:
It is expressly understood the City of Homer, its council, board, departments, employees and agents are not responsible for any errors or omissions contained herein, or deductions, interpretations or conclusions drawn therefrom.



4-1-2020
For design and layout
of SWP items only.



LEGEND

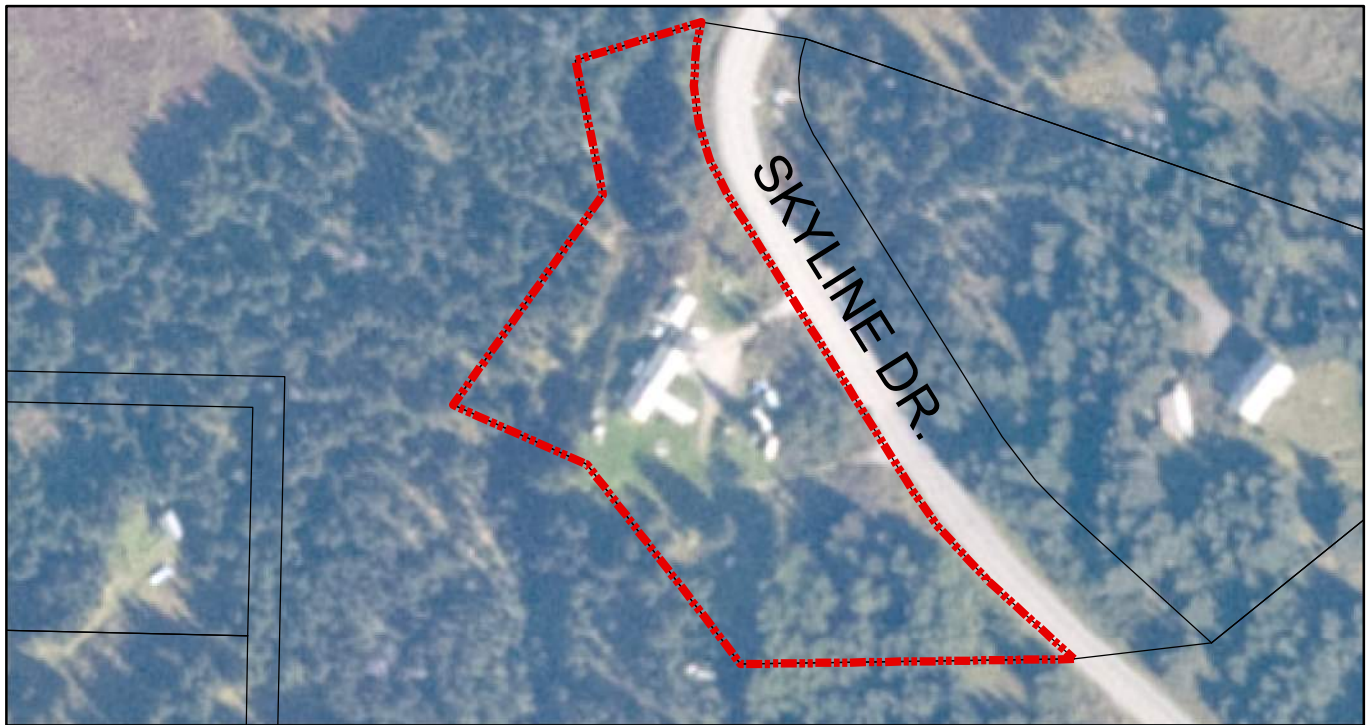
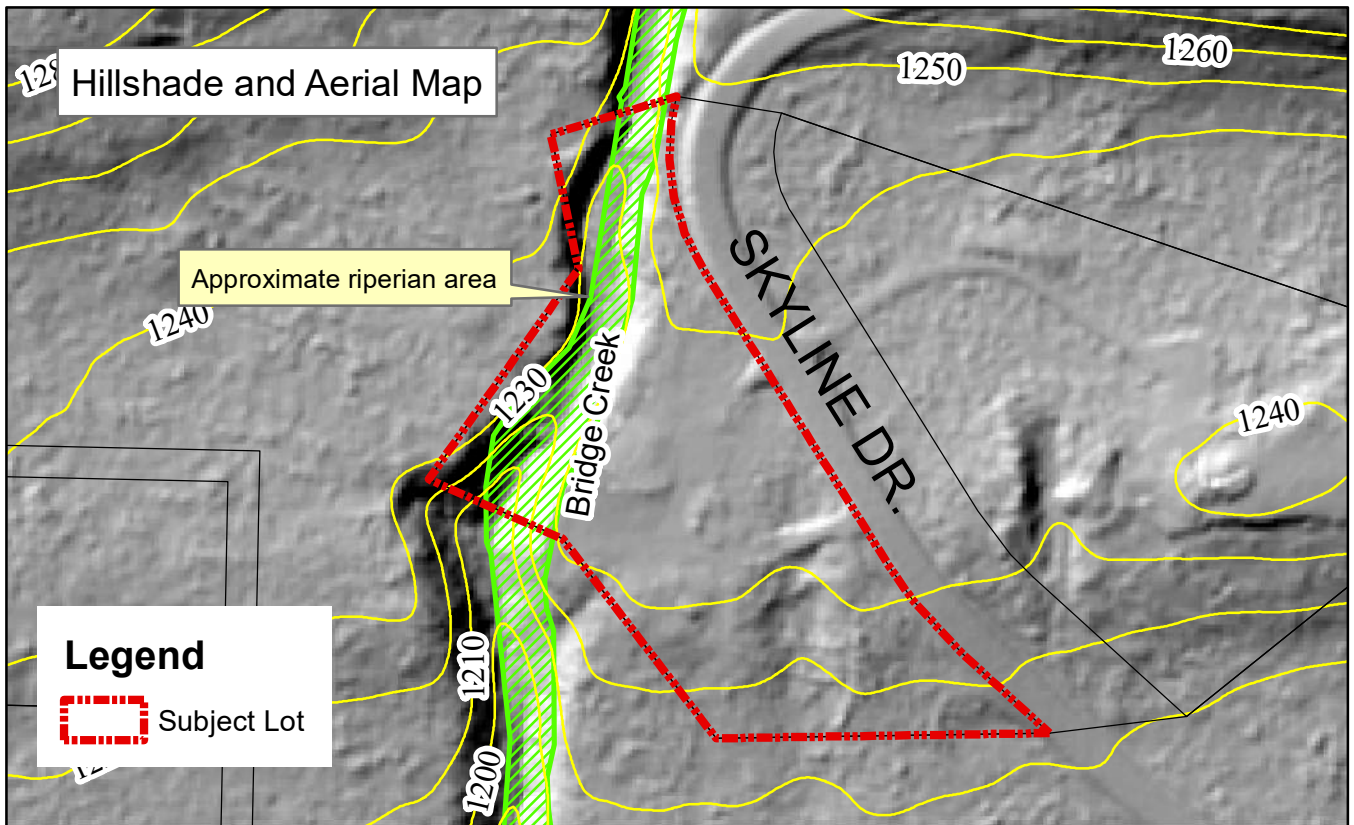
/// DENOTES STAKED FIBER ROLL

NOTES

1. APPROXIMATE LENGTH OF FIBER ROLL IS 400 FBOT.

SWP PLAN FOR SITE

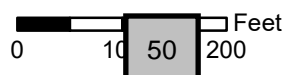
1" = 40'



City of Homer
Planning and Zoning Department

5/5/2020

Request for
Conditional Use Permit 20-07
2016 Photo
10 ft topo



*Disclaimer:
It is expressly understood the City of
Homer, its council, board,
departments, employees and agents are
not responsible for any errors or omissions
contained herein, or deductions, interpretations
or conclusions drawn therefrom.*



City of Homer

www.cityofhomer-ak.gov

Planning

491 East Pioneer Avenue
Homer, Alaska 99603

Planning@ci.homer.ak.us
(p) 907-235-3106
(f) 907-235-3118

Staff Report 20-28

TO: Homer Planning Commission
FROM: Rick Abboud, City Planner
DATE: May 20, 2020
SUBJECT: Conditional Use Permit (CUP) 20-08

Synopsis The applicant proposes to construct a third dwelling on a lot in the Residential Office District (RO). A Conditional Use Permit (CUP) is required per HCC 21.16.030(h).

Applicant: Bill Hand
3840 April Place
Homer, AK 99603

Location: 151 W Bayview Ave
Parcel ID: 17505405
Size of Existing Lot: .28 acres/ 12,197 square feet
Zoning Designation: Residential Office District
Existing Land Use: Two dwellings
Surrounding Land Use: North: residential
South: residential
East: residential
West: residential

Comprehensive Plan: Chapter 4 Land Use, Goal 1: Guide Homer's growth with a focus on increasing the supply and diversity of housing, protect community character, encouraging infill, and helping minimize global impacts of public facilities including limiting greenhouse gas emissions.

Wetland Status: No mapped wetlands.
Flood Plain Status: Not in a floodplain.
BCWPD: Not within the Bridge Creek Watershed Protection District
Utilities: Public utilities service the site.
Public Notice: Notice was sent to 35 property owners of 31 parcels as shown on the KPB tax assessor rolls.

ANALYSIS: The applicant is proposing to construct a third dwelling on a lot currently supporting two 512 square feet. dwellings. The newly proposed structure is a 768 sq. ft., two-bedroom dwelling.

Density: In the Residential Office District, density is not restricted other than lots having a minimum size of 7,500 square feet. While not applicable to the proposal, the floor area and open space meets the standards for multi-family developments.

Parking: 6 parking spaces are required for this proposal and the applicant displays 6 spaces.

Impervious: The proposal would create less than 5000 square feet of impervious surface, or approximately 40% lot coverage. The project requires a level one site plan and is subject to the level one site development standards. The proposal creates less than 25,000 square feet of impervious surface and the development activities do not trigger a Stormwater Plan.

The criteria for granting a Conditional Use Permit is set forth in HCC 21.71.030, Review criteria, and establishes the following conditions:

a. The applicable code authorizes each proposed use and structure by conditional use permit in that zoning district;

Analysis: The Residential Office zoning district allows for more than one building containing a permitted principle use on a lot with an approved conditional use permit, per HCC 21.16.030(h).

Finding 1: Homer City Code authorizes the use and structures.

b. The proposed use(s) and structure(s) are compatible with the purpose of the zoning district in which the lot is located.

Residential Office District purpose: The Residential Office District is primarily intended for a mixture of low-density to medium-density residential uses and certain specified businesses and offices, which may include professional services, administrative services and personal services, but generally not including direct retail or wholesale transactions except for sales that are incidental to the provision of authorized services. A primary purpose of the district is to preserve and enhance the residential quality of the area while allowing certain services that typically have low traffic generation, similar scale and similar density. The district provides a transition zone between commercial and residential neighborhoods.

Finding 2: The proposal is compatible with the purpose of the district by meeting density requirements while providing residential development.

c. The value of the adjoining property will not be negatively affected greater than that anticipated from other permitted or conditionally permitted uses in this district.

Analysis: Other allowed uses in this district, such as an apartment building, hospital, or school could dominate the site in terms of bulk, height and intensity more so than this proposal.

Finding 3: The value of adjoining property will not be negatively affected greater than multi-family dwellings or a conditionally permitted hospital or school.

d. The proposal is compatible with existing uses of surrounding land.

Analysis: The proposal supports residential dwellings. Residential dwellings surround the proposal. The addition of residential development helps retain the residential quality of the district.

Finding 4: The proposal is compatible with the existing uses of surrounding land.

e. Public services and facilities are or will be, prior to occupancy, adequate to serve the proposed use and structure.

Analysis: The applicant proposes to replace the current water and sewer services found on site.

Finding 5: Existing public, water, sewer, and fire services will be adequate to serve the proposed development.

f. Considering harmony in scale, bulk, coverage and density, generation of traffic, the nature and intensity of the proposed use, and other relevant effects, the proposal will not cause undue harmful effect upon desirable neighborhood character.

Analysis: The proposed three modest structures create a footprint similar to other properties in the district. This lot had supported three structures in the past.

Finding 6: Considering harmony in scale, bulk, coverage and density, generation of traffic, the nature and intensity of the proposed use, and other relevant effects, the proposal will not cause undue harmful effect upon desirable neighborhood character.

g. The proposal will not be unduly detrimental to the health, safety or welfare of the surrounding area or the city as a whole.

Analysis: The permitting process will require the applicant to meet Federal, State and local standards.

Finding 7: The proposal will not be unduly detrimental to the health, safety or welfare of the surrounding area and the city as a whole when all applicable standards are addressed as required by city code.

h. The proposal does or will comply with the applicable regulations and conditions specified in this title for such use.

Analysis: No relief from code is sought from the applicant. All known applicable regulations will be addressed through the permitting process. The proposed parking plan meets the standards of HCC 21.55 "Off-Street Parking." The proposal shall comply with all applicable regulations and conditions when the permitting process is successfully navigated as provided in the CUP and permitting process.

Finding 8: The proposal will comply with applicable regulations.

i. The proposal is not contrary to the applicable land use goals and objectives of the Comprehensive Plan.

Analysis: This proposal promotes Goal 1 by providing infill of affordable housing in a location with existing road, water, and sewer infrastructure.

Finding 9: The proposal does not appear to contradict any applicable land use goals and objectives of the Comprehensive Plan. The proposal aligns Goal 1 and no evidence has been found that it is contrary to the applicable land use goals and objectives of the Comprehensive Plan.

j. The proposal will comply with the applicable provisions of the Community Design Manual (CDM).

Analysis: The Outdoor Lighting section of the Community Design Manual is applicable. This section encourages outdoor lighting sources to be hidden from public view, to avoid excessive light throw, and to be downward directional lighting.

Condition 1: Outdoor lighting must be downward directional and must not produce light trespass or glare per the CDM and HCC 21.59.030.

Finding 10: Condition 1 will assure that the proposal complies with level one lighting standards and the Community Design Manual

HCC 21.71.040(b). b. In approving a conditional use, the Commission may impose such conditions on the use as may be deemed necessary to ensure the proposal does and will continue to satisfy the applicable review criteria. Such conditions may include, but are not limited to, one or more of the following:

- 1. Special yards and spaces:** No specific conditions deemed necessary
- 2. Fences and walls: Condition 2:** Dumpster to be screened on 3 sides.
- 3. Surfacing of parking areas:** No specific conditions deemed necessary.
- 4. Street and road dedications and improvements:** No specific conditions deemed necessary.
- 5. Control of points of vehicular ingress and egress:** No specific conditions deemed necessary.
- 6. Special provisions on signs:** No specific conditions deemed necessary.
- 7. Landscaping:** No specific conditions deemed necessary.
- 8. Maintenance of the grounds, building, or structures:** No specific conditions deemed necessary.
- 9. Control of noise, vibration, odors or other similar nuisances:** No specific conditions deemed necessary.
- 10. Limitation of time for certain activities:** No specific conditions deemed necessary.
- 11. A time period within which the proposed use shall be developed:** No specific conditions deemed necessary.
- 12. A limit on total duration of use:** No specific conditions deemed necessary.
- 13. More stringent dimensional requirements,** such as lot area or dimensions, setbacks, and building height limitations. Dimensional requirements may be made more lenient by conditional use permit only when such relaxation is authorized by other provisions of the zoning code. Dimensional requirements may not be altered by conditional use permit when and to the extent other provisions of the zoning code expressly prohibit such alterations by conditional use permit.
- 14. Other conditions necessary** to protect the interests of the community and surrounding area, or to protect the health, safety, or welfare of persons residing or working in the vicinity of the subject lot.

PUBLIC WORKS COMMENTS: None

FIRE DEPARTMENT COMMENTS: None

PUBLIC COMMENTS: None

STAFF COMMENTS/RECOMMENDATIONS:

Planning Commission approve Staff Report 20-28 and CUP 20-08 with findings 1-10 and the following conditions:

Condition 1: Outdoor lighting must be downward directional and must not produce light trespass or glare per the CDM and HCC 21.59.030.

Condition 2: Dumpster must be screened on 3 sides.

Attachments

Application

Public Notice

Aerial Photograph



City of Homer

www.cityofhomer-ak.gov

Planning

491 East Pioneer Avenue
Homer, Alaska 99603

Planning@ci.homer.ak.us

(p) 907-235-3106

(f) 907-235-3118

Applicant

Name: Bill Hand Telephone No.: 907-299-1853

Address: 3840 Aprill Place Homer Email: billghand@hotmail.com

Property Owner (if different than the applicant):

Name: _____ Telephone No.: _____

Address: _____ Email: _____

PROPERTY INFORMATION:

Address: 151 W Bayview Ave Lot Size: 0.28 acres KPB Tax ID # 17505405

Legal Description of Property: T 6S R 13W SEC 18 SEWARD MERIDIAN HM 0562936 FAIRVIEW SUB LOT 4 BLK 1

For staff use:

Date: _____ Fee submittal: Amount _____

Received by: _____ Date application accepted as complete _____

Planning Commission Public Hearing Date: _____

Conditional Use Permit Application Requirements:

1. A Site Plan
2. Right of Way Access Plan
3. Parking Plan
4. A map showing neighboring lots and a narrative description of the existing uses of all neighboring lots. (Planning can provide a blank map for you to fill in).
5. Completed Application Form
6. Payment of application fee (nonrefundable)
7. Any other information required by code or staff, to review your project

Circle Your Zoning District

	RR	UR	RO	CBD	TCD	GBD	GC1	GC2	MC	MI	EEMU	BCWPD
Level 1 Site Plan	x	x	x			x			x			x
Level 1 ROW Access Plan	x	x							x			
Level 1 Site Development Standards	x	x										
Level 1 Lighting			x	x	x	x	x	x	x	x	x	
Level 2 Site Plan			x	x	x		x	x		x	x	
Level 2 ROW Access Plan			x	x	x		x	x		x	x	
Level 2 Site Development Standards			x*	x	x	x	x	x			x	
Level 3 Site Development Standards									x	x		
Level 3 ROW Access Plan						x						
DAP/SWP questionnaire					57	x	x	x			x	

Circle applicable permits. Planning staff will be glad to assist with these questions.

- Y/N Are you building or remodeling a commercial structure, or multifamily building with more than 3 apartments? If yes, Fire Marshal Certification is required. Status: _____
- Y/N Will your development trigger a Development Activity Plan?
Application Status: _____
- Y/N Will your development trigger a Storm water Plan?
Application Status: _____
- Y/N Does your site contain wetlands? If yes, Army Corps of Engineers Wetlands Permit is required. Application Status: _____
- Y/N Is your development in a floodplain? If yes, a Flood Development Permit is required.
- Y/N Does your project trigger a Community Design Manual review?
If yes, complete the design review application form. The Community Design Manual is online at: <http://www.ci.homer.ak.us/documentsandforms>
- Y/N Do you need a traffic impact analysis?
- Y/N Are there any nonconforming uses or structures on the property?
- Y/N Have they been formally accepted by the Homer Advisory Planning Commission?
- Y/N Do you have a state or city driveway permit? Status: _____
- Y/N Do you have active City water and sewer permits? Status: _____

1. Currently, how is the property used? Are there buildings on the property? How many square feet? Uses within the building(s)?

Currently, the property has been vacated of people for some time and has accumulated derelict automobiles and trucks on the south end of the property and a trash pile on the north end of the property. There are two cottages on the property. Each cottage is approximately 16ft X 32ft (512 sq ft). The two cottages are currently empty and both are in a dilapidated state. There is evidence that squatters have occupied both structures.

2. What is the proposed use of the property? How do you intend to develop the property? (Attach additional sheet if needed. Provide as much information as possible).

The property will be used to construct a new residential cottage and renovate the two existing cottages. The current site will have the existing abandoned automobiles and trucks hauled away and the existing trash pile removed. The site will be cleaned and made aesthetically pleasing. The site will be excavated for the installation of new underground water, gas, and sewer. Renovations to the two dilapidated cottages will consist of, but not be limited to, new interior insulation, new drywall, interior painting, new interior electrical wiring, new lighting fixtures, new interior plumbing, new electrical service, new floor covering, new counters, new appliances, new bathroom fixtures, new on demand gas water heater, new home gas heating equipment. Exterior renovations will include replacing rotted roof eaves and floor joists, structural leveling, painting, door repairs, new exterior lighting, clearing the area in order to provide parking for two vehicles at each cabin. There will also be constructed a new 24ft X 32ft (768 sq ft), single story cottage located at the north end of this property (where the current trash pile is located). This cottage will consist of two bedrooms, living room, kitchen (including gas stove, refrigerator, garbage disposal, and dish washer), bathroom, and washer/dryer area. The new cottage will have provisions for parking two vehicles. The renovated site will have a permanent dumpster supplied for rental usage.

- a. What code citation authorizes each proposed use and structure by conditional use permit?
21.12.030
- b. Describe how the proposed uses(s) and structures(s) are compatible with the purpose of the zoning district.
I will be cleaning the site of existing abandoned vehicles and trash; turning the existing dilapidated structures into quality, attractive, comfortable, affordable cottages; and building a new cottage that will be high quality, energy efficient, and affordable.
- c. How will your proposed project affect adjoining property values?
The clean-up of the existing site; the renovation of the existing cottages; and the construction of a new cottage will have a positive impact on surrounding property values.
- d. How is your proposal compatible with existing uses of the surrounding land?
The surrounding area is composed of residential family dwellings. My housing will be the same.
- e. Are/will public services adequate to serve the proposed uses and structures?
Currently, existing utilities to the site are not adequate for the renovated structures and the new structure. I will be bringing new underground gas, water, and sewer to the site.
- f. How will the development affect the harmony in scale, bulk, coverage and density upon the desirable neighborhood character, and will the generation of traffic and the capacity of surrounding streets and roads be negatively affected?
In 2013 there were three structures on this site. When renovations and new construction have completed, there will remain three structures on the site. After the site is restored, the area will become a much more desirable part of the neighborhood. The existing site currently is accessible from the city street and will remain as is.
- g. Will your proposal be detrimental to the health, safety or welfare of the surrounding area or the city as a whole?
No
- h. How does your project relate to the goals of the Comprehensive Plan? The Comprehensive Plan are online,
This project promotes the City's growth socially and economically while at the same time making the site aesthetically pleasing for the surrounding neighborhood and providing a comfortable, safe, economical living area for the residents.
- i. The Planning Commission may require you to make some special improvements. Are you planning on doing any of the following, or do you have suggestions on special improvements you would be willing to make? **(circle each answer)**
1. ☒ Y/☐ N Special yards and spaces.
 2. ☒ Y/☐ N Fences, walls and screening.
 3. ☐ Y/☒ N Surfacing of parking areas.
 4. ☐ Y/☒ N Street and road dedications and improvements (or bonds).
 5. ☐ Y/☒ N Control of points of vehicular ingress & egress.
 6. ☐ Y/☒ N Special provisions on signs.
 7. ☒ Y/☐ N Landscaping.
 8. ☒ Y/☐ N Maintenance of the grounds, buildings, or structures.

9. ☒ Y ☐ N Control of noise, vibration, odors, lighting, heat, glare, water and solid waste pollution, dangerous materials, material and equipment storage, or other similar nuisances.
10. ☐ Y ☒ N Time for certain activities.
11. ☐ Y ☒ N A time period within which the proposed use shall be developed.
12. ☐ Y ☒ N A limit on total duration of use.
13. ☐ Y ☒ N Special dimensional requirements such as lot area, setbacks, building height.
14. ☐ Y ☒ N Other conditions deemed necessary to protect the interest of the community.

PARKING

1. How many parking spaces are required for your development? 6
If more than 24 spaces are required see HCC 21.50.030(f)(1)(b). _____
2. How many spaces are shown on your parking plan? 6
3. Are you requesting any reductions? No

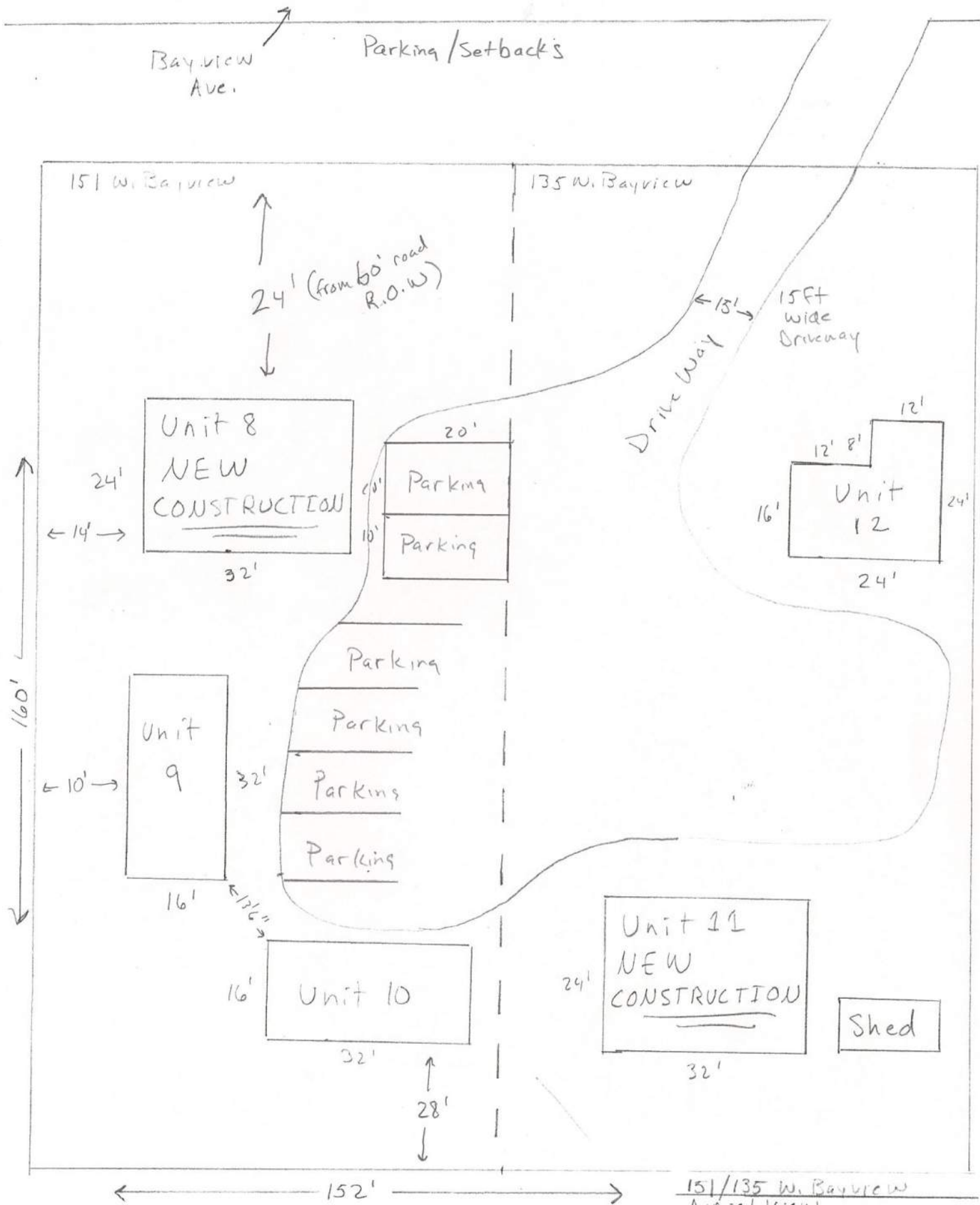
Include a site plan, drawn to a scale of not less than 1" = 20' which shows existing and proposed structures, clearing, fill, vegetation and drainage.

I hereby certify that the above statements and other information submitted are true and accurate to the best of my knowledge, and that I, as applicant, have the following legal interest in the property:

CIRCLE ONE: Owner of record Lessee Contract purchaser

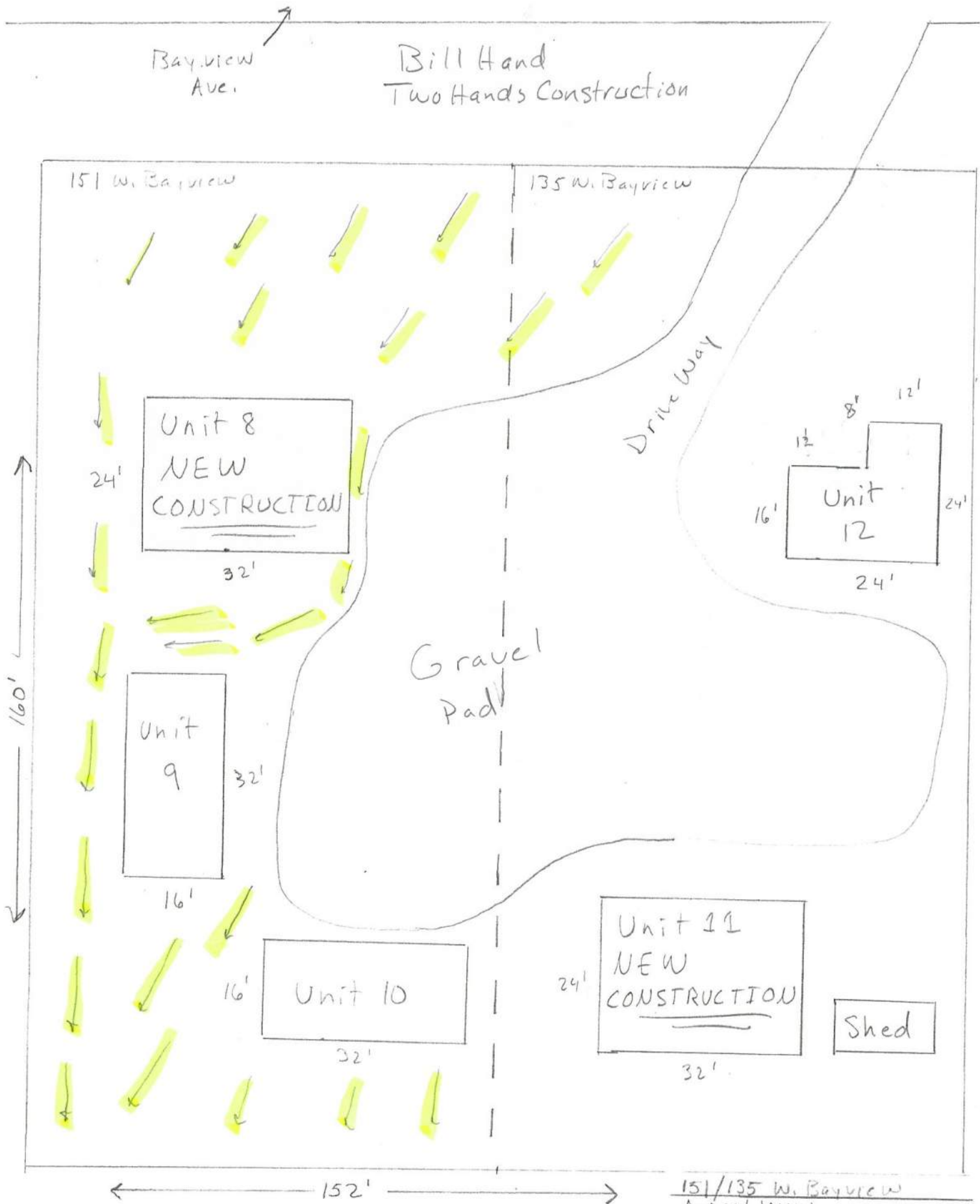
Applicant signature: Bill Aard Date: 4/28/20

Property Owner's signature: Bill Aard Date: 4/28/20



151/135 W. Bayview
Aerial View
Drawn By Bill Hand
Two Hands Construction
Scale 1" = 20 feet

1" = 20'



1" = 20'

—→ indicates Drainage direction

151/135 W. Bayview
Aerial View
Drawn by Bill Hand
Two Hands Construction
Scale 1" = 20 feet
Drainage Plan

MOUNTAIN

W BAYVIEW AVE

N
151 W Bayview Ave
Parcel ID: 17505465
0.28 Acres

Existing trash pile

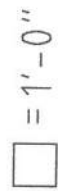
Existing dilapidated structures.
Each is 32' x 16'

Abandoned
vehicle

H O M E R

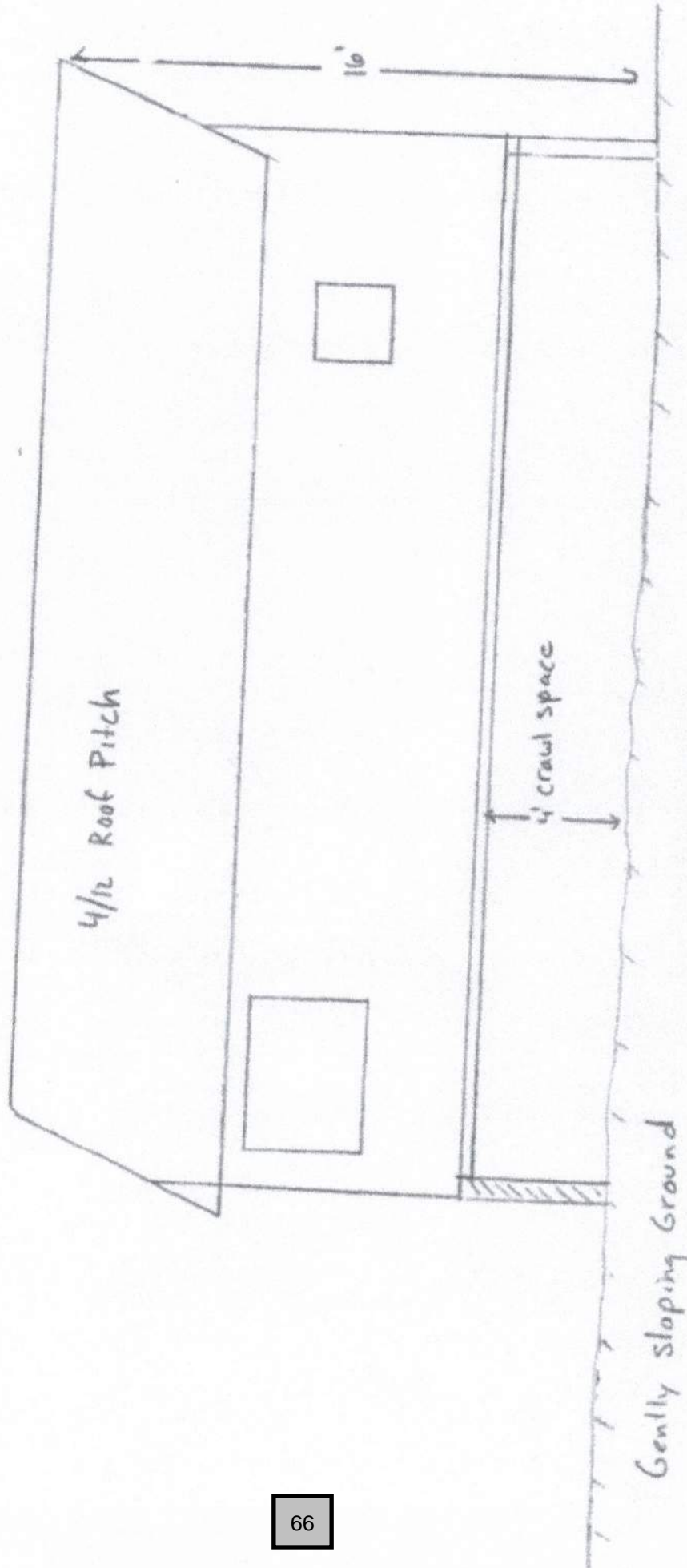
160 ft

76.23 ft



_____ 32' _____
New Construction Unit 8 Living Area 768 Sq Ft

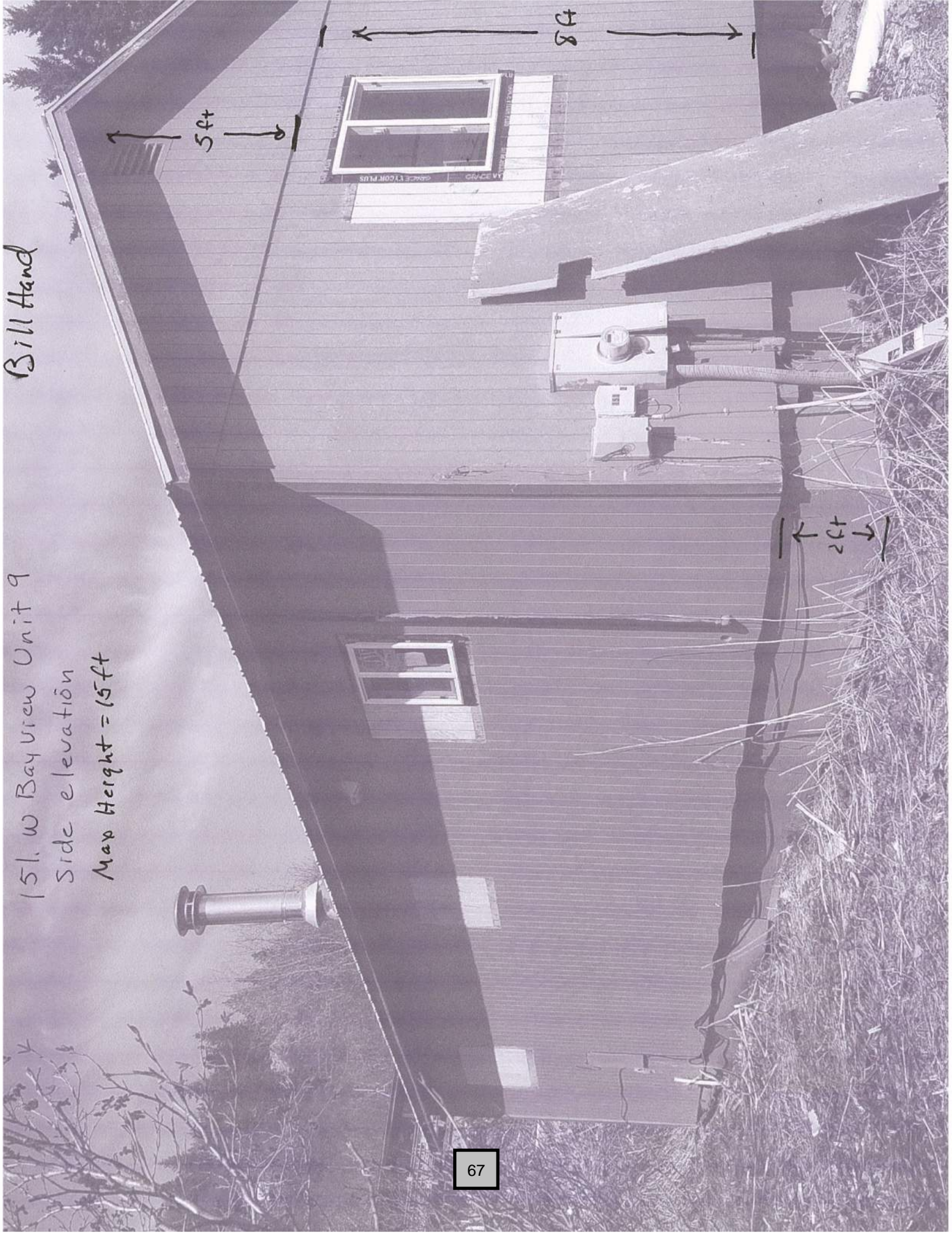
N



Side Elevation
Bill Hand
New Cabin Unit 8
151 W Bayview Ave
Scale 1" = 4'

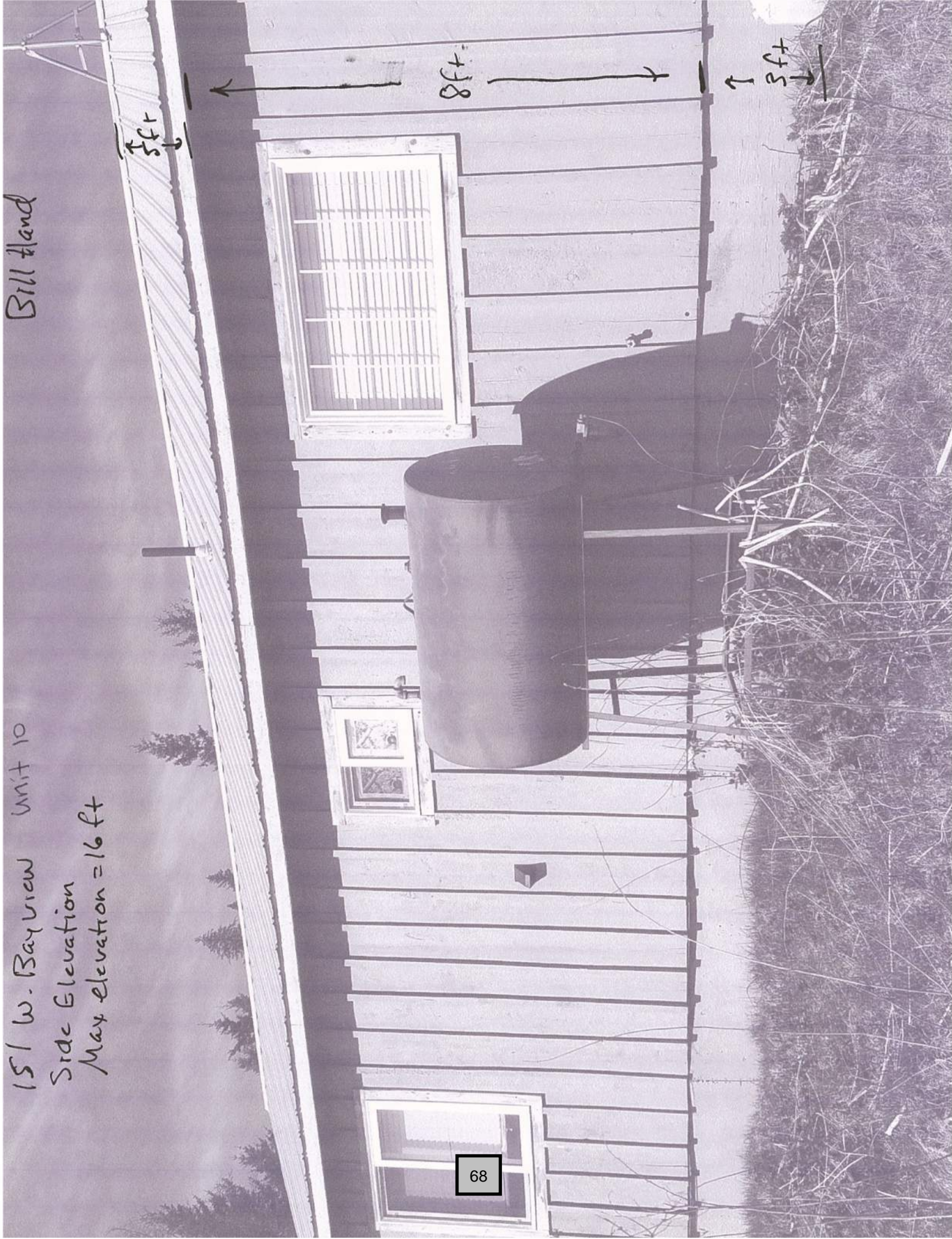
Bill Hand

151. W Bayview Unit 9
Side elevation
Max Height = 15 ft



151 W. Bayview Unit 10
Side Elevation
Max elevation = 16 ft

Bill Hland



From: Bill Hand <billghand@hotmail.com>
Sent: Friday, May 8, 2020 11:11 PM
To: Department Planning; Travis Brown
Subject: Two Hands Construction Conditional Use Permit and Regular Building Permit
Attachments: Parking picture 135 W Bayview.jpg

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Hello Travis,

I just wanted to mention that I am going to place a dumpster for residents of 151 W. Bayview and 135 W. Bayview on the 135 W. Bayview property. I will have the dumpster screened on three sides, possibly a latched gate for aesthetics. I have also included a picture of four vehicles parking on 135 W. Bayview with vehicles. Upon completion there will be 10 parking spaces for both lots even though only 6 are required by City of Homer code. I can include a picture of parking in 151 W. Bayview at a later time. I couldn't show parked vehicles due to remodel debris and materials in the way.

Thanks for all the answered questions!

Bill Hand



PUBLIC HEARING NOTICE

Public notice is hereby given that the City of Homer will hold a public hearing by the Homer Advisory Planning Commission on Wednesday, May 20, 2020 at 5:30 p.m. via a virtual meeting webinar, on the following matter:

A request for Conditional Use Permit (CUP) 20-08 to add a single family dwelling to a property with two existing single family dwellings at 151 W Bayview Ave., per HCC 21.16.030(h) more than one building containing a permitted principal use on a lot. The property is also known as Lot 4, Block 1, Fairview Subdivision, Sec. 18, T.6S., R. 13W., S.M.

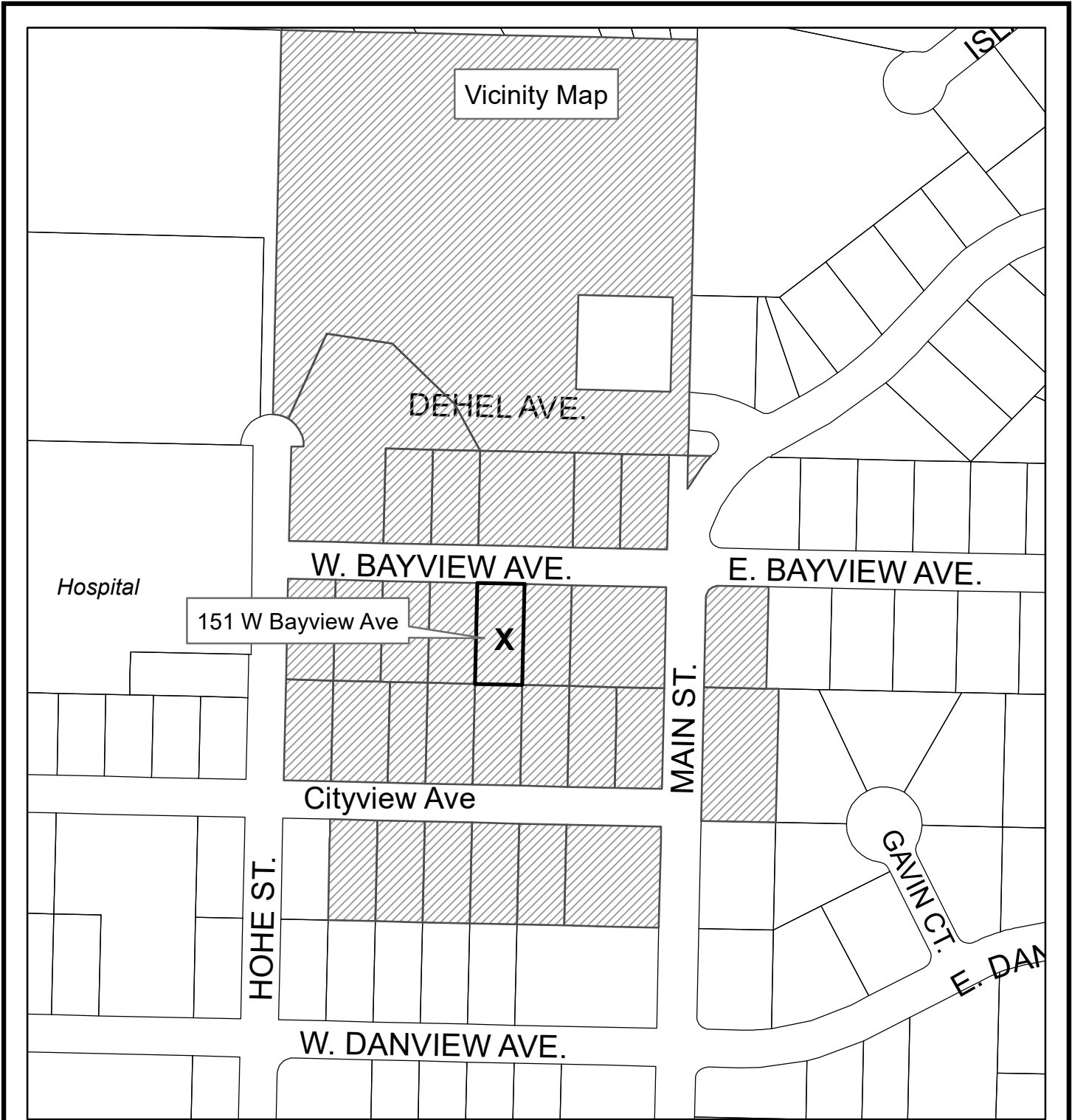
Anyone wishing to view the complete proposal or present testimony on this matter may do so by visiting the meeting page on the City's online calendar at <https://www.cityofhomer.ak.gov/calendar>. This webpage has all of the information for how to view and participate in the virtual meeting, including how to call-in for verbal testimony. The virtual meeting processes are in place for the duration of Governor Dunleavy's Health Mandate 011: Social Distancing.

If you have any questions or need additional information, please contact the Planning and Zoning Office at 235-3106 or the Clerk's Office at 235-3130.

NOTICE TO BE SENT TO PROPERTY OWNERS WITHIN 300 FEET OF PROPERTY

.....

VICINITY MAP ON REVERSE



City of Homer
Planning and Zoning Department
May 5, 2020

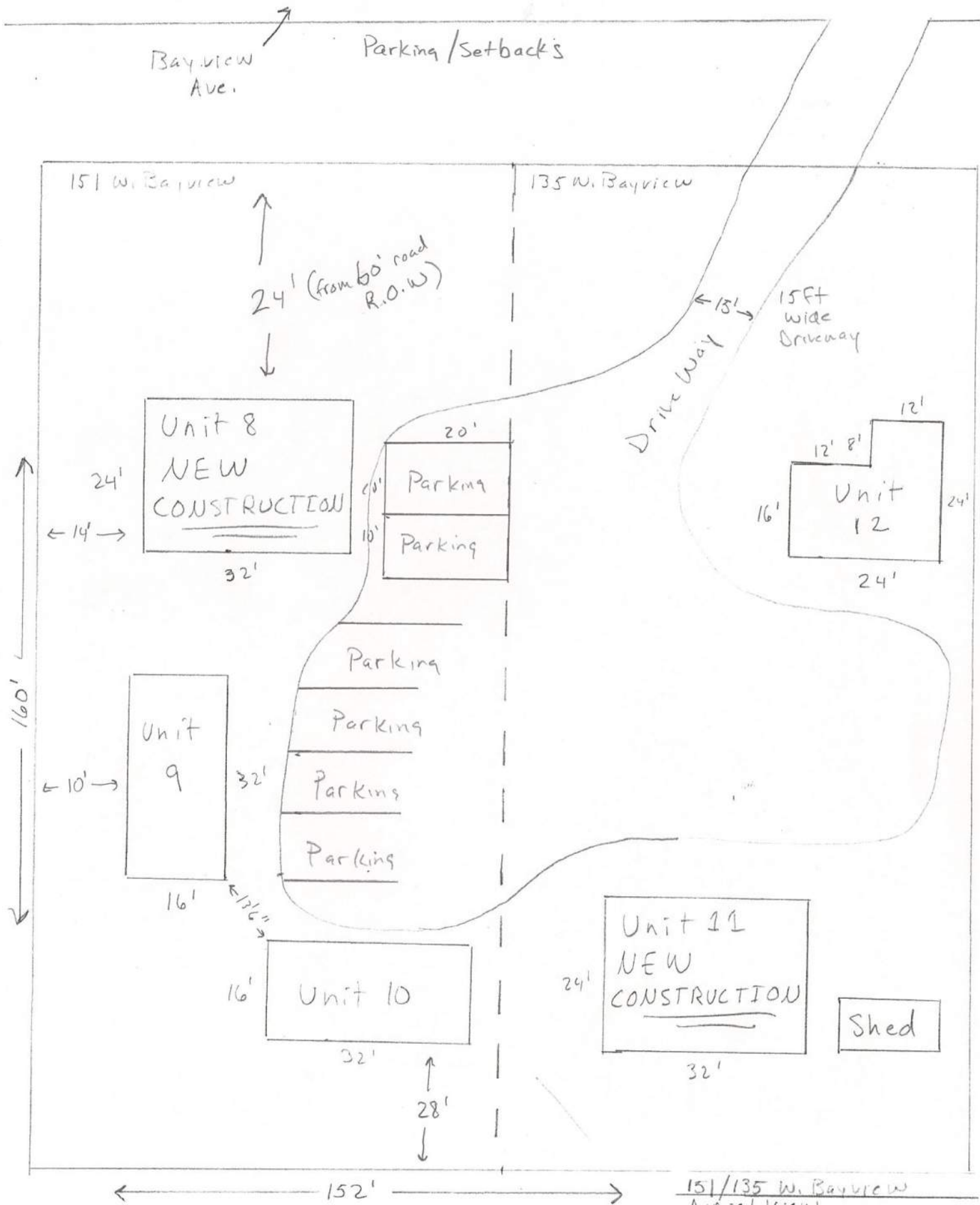
Request for a Conditional Use Permit

Lots within 300 feet are marked
and property owners notified

0 150 300
Feet



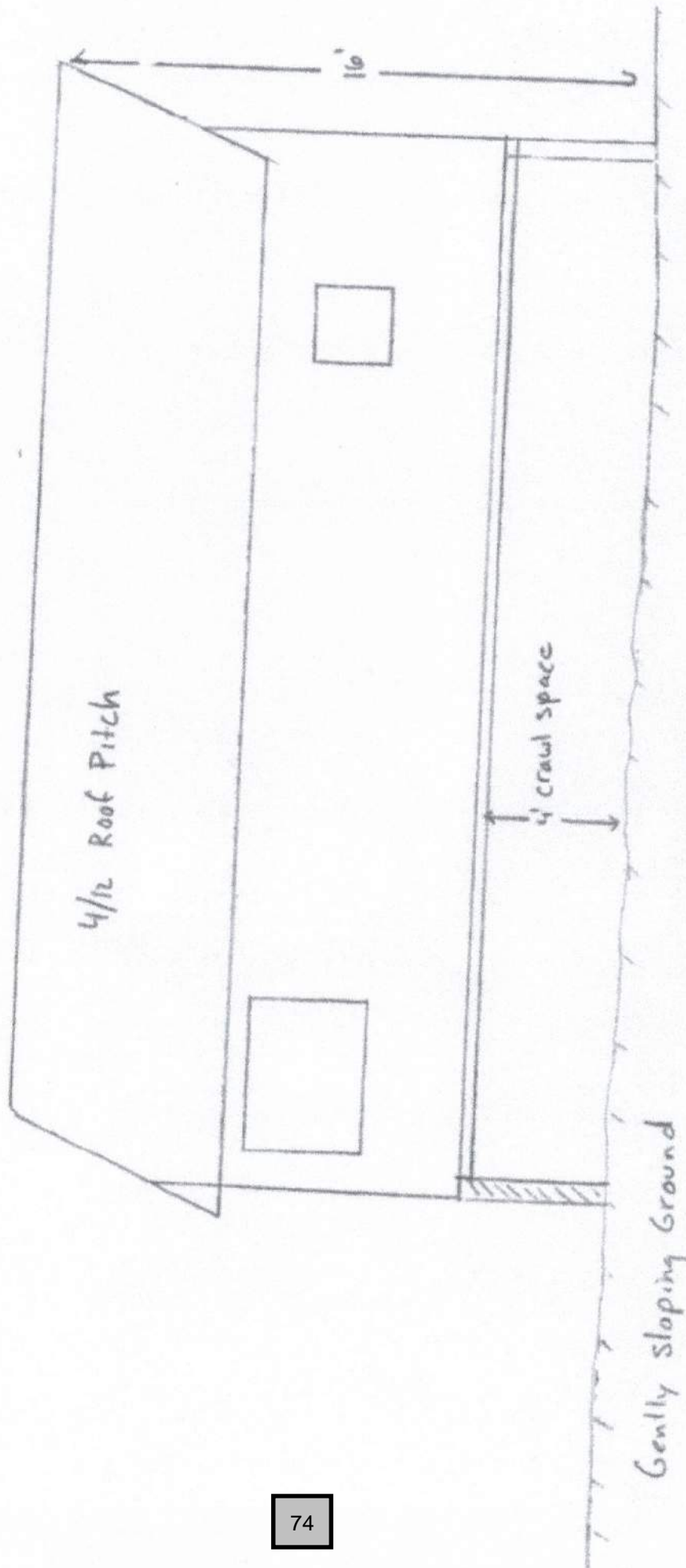
*Disclaimer:
It is expressly understood the City of
Homer, its council, board,
departments, employees and agents are
not responsible for any errors or omissions
contained herein, or deductions, interpretations
or conclusions drawn therefrom.*



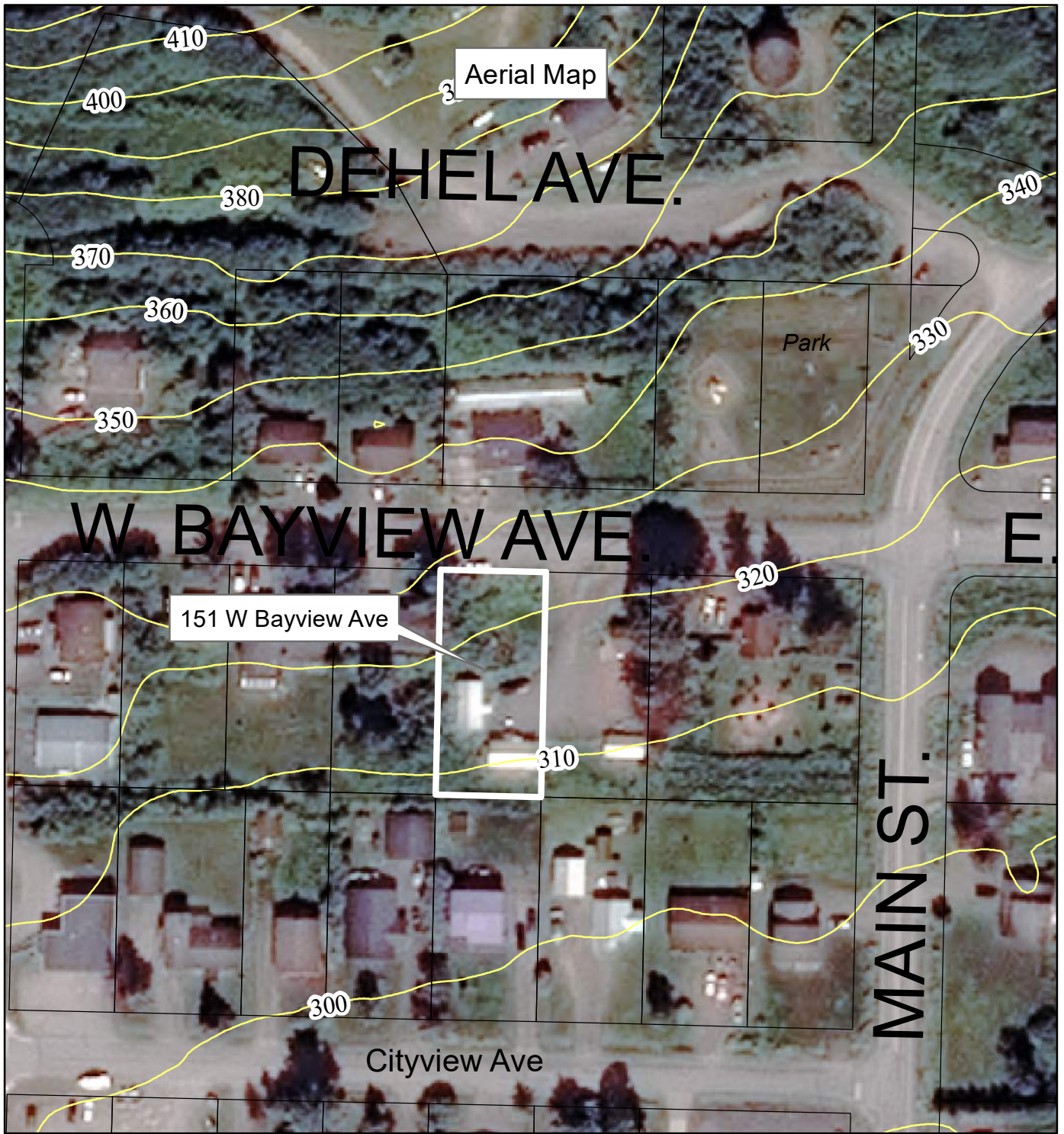
1" = 20'

151/135 W. Bayview
Aerial View
Drawn By Bill Hand
Two Hands Construction
Scale 1" = 20 feet

N



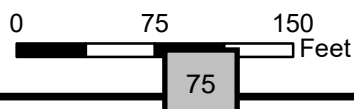
Side Elevation
Bill Hand
New Cabin Unit 8
151 W Bayview Ave
Scale 1" = 4'



City of Homer
Planning and Zoning Department
May 5, 2020

Request for a Conditional Use Permit

2016 Photo



*Disclaimer:
It is expressly understood the City of
Homer, its council, board,
departments, employees and agents are
not responsible for any errors or omissions
contained herein, or deductions, interpretations
or conclusions drawn therefrom.*



City of Homer

www.cityofhomer-ak.gov

Planning

491 East Pioneer Avenue
Homer, Alaska 99603

Planning@ci.homer.ak.us

(p) 907-235-3106

(f) 907-235-3118

Staff Report 2020-29

TO: Homer Planning Commission
THROUGH: Rick Abboud, City Planner
FROM: Julie Engebretsen, Deputy City Planner
DATE: May 20, 2020
SUBJECT: Vacation of Cheryl Lane

Requested Action: Conduct a public hearing and make a recommendation on the vacation Cheryl Lane

Note: This action is only on the vacation of a right of way. Changes to the lot lines, utility and drainage easements are addressed separately in other staff reports.

General Information:

Applicants:	Pat Miller, Steve Walli, Brent Johnson, Judith Johnson, Aaron Weisser, Jenny Weisser, Eugene Dobrzynski (see application petition)	Geovera LLC Steve Smith PO Box 3235 Homer, AK 99603
Location:	Between West Hill Road, Eric Lane and Linstrang Way	
Zoning Designation:	Rural Residential District	
Existing Land Use:	Vacant	
Surrounding Land Use:	North: Vacant South: Vacant East: Vacant West: Residential	
Comprehensive Plan:	1-C-1 Promote infill housing in all development districts.	
Wetland Status:	The 2005 Wetlands mapping shows wetlands in the area	
Flood Plain Status:	Zone D, flood hazards undetermined.	
Utilities:	City water and sewer are available	
Public Notice:	Notice was sent to 21 property owners of 71 parcels as shown on the KPB tax assessor rolls.	

Analysis: This vacation is within the Rural Residential District. This action would vacate Cheryl Lane. The accompanying preliminary plat shows the vacation of lot lines, so that Cheryl Lane is not needed for legal access to any lots. Additionally, the current lots on Eric Lane are double frontage lots, meaning they have right of way access on two or more sides. The vacation will eliminate the secondary access so that all access is from Eric Lane.

KPB Code

20.30.170. - Blocks—Length requirements.

Blocks shall not be less than 330 feet or more than 1,320 feet in length. Along arterial streets and state maintained roads, block lengths shall not be less than 800 feet. Block lengths shall be measured from centerline intersections.

Staff response: Block length along West Hill Road, a state maintained road, will be increased with the vacation of Cheryl Lane. The current block length is less than 300 feet. After the vacation, the new block length will be 627 feet. Block length along Eric Lane will remain unchanged since Cheryl Lane connects back to West Hill Road.

20.70.170. - Vehicular access.

The planning commission shall not approve the vacation of a right-of-way unless an equal or superior right-of-way for vehicular access exists or will be provided in exchange. Where two or more access points are necessary for large vacant or semi-vacant areas of land, the commission shall consider density, use, projected development, and maintain sufficient rights-of-way to serve potential use.

Staff response: Linstrang Way, West Hill Road, and Eric Lane provide adequate access to the proposed replatted lots. Lots 13-A and 7-A are large enough to be replatted in the future should re-subdivision be proposed.

20.70.180. - Other access.

Other lawful uses that exist or are feasible for the right-of-way shall be considered when evaluating a vacation request. When such uses exist or could exist within rights-of-way which are not suited for general road use, the commission shall not approve the vacation request, unless it can be demonstrated that equal or superior access is or will be available. The planning commission shall consider whether alternate uses present public safety issues which support approval of the vacation.

Staff response: Other access is not proposed. Eric Lane includes a sidewalk and paved bike lanes. Additional non-motorized access is not needed via the Cheryl Lane Right of Way.

20.70.190. - Utility provisions.

All existing and future utility requirements shall be considered when evaluating a vacation request. Rights-of-way which are utilized by a public utility or which logically would be required by a public utility shall not be vacated, unless it can be demonstrated that equal or superior access is or will be available. Where

an easement would satisfactorily serve the utility interests, and no other public need for the right-of-way exists, the commission may approve the vacation and require that a public utility easement be granted in place of the right-of-way.

Staff response: Equal or superior access is available along West Hill, Eric and Linstrang Way. Cheryl Lane is not needed for utility access.

Public Works Comments: None.

Staff Recommendation:

Planning Commission recommend approval of the vacation with the following comments:

Attachments:

1. Vacation petition and map
2. Surveyor's Letter
3. Public Notice
4. Aerial Map



Kenai Peninsula Borough Planning Department
144 North Binkley
Soldotna, Alaska 99669-7599
Toll free within the Borough 1-800-478-4441, extension 2200
(907) 714-2200

Petition to Vacate Public Right-of-Way/Easement/Platted Public Area
Public Hearing Required

Upon receipt of complete application with fees and all required attachments, a public hearing before the Planning Commission will be scheduled. The petition with all required information and attachments must be in the Planning Department at least 30 days prior to the preferred hearing date. By State Statute and Borough Code, the public hearing must be scheduled within 60 days of receipt of complete application.

- ☒ \$500 non-refundable fee to help defray costs of advertising public hearing.
- ☐ City Advisory Planning Commission. Copy of minutes at which this item was acted on, along with a copy of City Staff Report.
- ☒ Name of public right-of-way proposed to be vacated is dedicated by the plat of Lillian Walli Estate Subdivision, filed as Plat No. 88-16 in Homer Recording District.
- ☒ Are there associated utility easements to be vacated? ☐ Yes ☐ No
- ☐ Are easements in use by any utility company? If so, which company Not in use
- ☐ Easement for public road or right-of-way as set out in (specify type of document) _____ as recorded in Book _____ Page _____ of the _____ Recording District. (Copy of recorded document must be submitted with petition.)
- ☐ Submit three copies of plat or map showing area proposed to be vacated. Must not exceed 11x17 inches in size. In the case of public right-of-way, the submittal must include a sketch showing which parcels the vacated area will be attached to. Proposed alternative dedication is to be shown and labeled on the sketch.
- Has right-of-way been fully or partially constructed? ☐ Yes ☒ No
- Is right-of-way used by vehicles / pedestrians / other? ☐ Yes ☒ No
- Is alternative right-of-way being provided? ☐ Yes ☒ No

The petitioner must provide reasonable justification for the vacation. Reason for vacating:
Petitioners are vacating lot lines and right-of-way under an agreement with the City of Homer. All resulting lots have

access by existing rights-of-way

The petition must be signed (written signature) by owners of the majority of land fronting the right-of-way, easement, or platted public area proposed to be vacated. Each petitioner must include address and legal description of his/her property.

Submitted By:

Name: _____
Address: _____

Signature as:

☐ Petitioner ☐ Representative

Phone: _____

Petitioners:

Signature Brent Johnson
Name Brent Johnson
Address 20773 Porcupine Ln
Clam Gulch, AK 99568
Lot 26, 27, 28, 29 & 30
Owner of _____

Signature Judy Johnson
Name Judy Johnson
Address 20773 Porcupine Lane
Clam Gulch, AK 99568

Owner of Lots 26, 27, 28, 29, 30, 31

Signature ERO S. Walli
Name ERO S. WALLI
Address 35910 NORTH FORK RD.
ANCHORAGE, POINT ALASKA 99566
13, 14, 15, 16, 18, 19, 20, 21
Owner of _____

Signature Pat W Miller
Name Pat W Miller
Address 2220 NORTH STAR ST #1
ANCHORAGE AK 99503

Owner of LOTS 7 8 9 10 11 12 22 23 24 2

NOTES

1. BASIS OF BEARING FOR THIS SURVEY WAS DETERMINED BY A HIGH PRECISION GPS SURVEY USING TOPCON DUAL-FREQUENCY HiPer V RECEIVERS, DIFFERENTIALLY CORRECTED AND PROCESSED WITH MAGNET OFFICE VERSION 3.1 SOFTWARE. NAD83 ALASKA STATE PLANE GRID COORDINATES (U.S. SURVEY FEET) OBTAINED FROM THE GPS. OBSERVATIONS WERE BASED ON THE NGS PUBLISHED VALUES FOR FEDERAL BASE NETWORK CONTROL STATION "HOMAIR" (PID T10155).

2. TRUE BEARINGS AND DISTANCES WERE DETERMINED BY ROTATING AND SCALING FROM GRID USING FEDERAL BASE NETWORK CONTROL STATION "HOMAIR" AS A SCALING POINT. TRUE BEARINGS WERE DETERMINED BY ROTATING GRID INVERSE AZIMUTHS $-1^{\circ}17'13.4''$. TRUE DISTANCES WERE OBTAINED BY DIVIDING GRID INVERSE DISTANCES BY 0.999986696.

3. THE RESULTING SCALED COORDINATES WERE TRANSLATED TO A LOCAL COORDINATE SYSTEM BASED ON FEDERAL BASE NETWORK CONTROL STATION "HOMAIR" N=100,000 E=100,000. ALL COORDINATE VALUES REPRESENT GROUND DISTANCES IN U.S. SURVEY FEET ORIENTED TO TRUE NORTH.

4. ALL LOTS WITHIN THIS SUBDIVISION ARE SUBJECT TO CITY OF HOMER ZONING REGULATIONS. REFER TO THE HOMER CITY CODE FOR ALL CURRENT SETBACK AND SITE DEVELOPMENT RESTRICTIONS. OWNERS SHOULD CHECK WITH THE CITY OF HOMER PLANNING DEPARTMENT PRIOR TO DEVELOPMENT ACTIVITIES.

5. PER THE PARENT PLAT (HM 88-16), THE 10 FEET FRONTING THE LINSTRANG WAY RIGHT-OF-WAY AND THE FRONT 20 FEET WITHIN 5 FEET OF THE SIDE LOT LINES IS A UTILITY EASEMENT. THE 20 FEET FRONTING THE WEST HILL ROAD AND ERIC LANE RIGHT-OF-WAYS IS A UTILITY EASEMENT. NO PERMANENT STRUCTURE SHALL BE CONSTRUCTED OR PLACED WITHIN A UTILITY EASEMENT WHICH WOULD INTERFERE WITH THE ABILITY OF A UTILITY TO USE THE EASEMENT.

6. ANY PERSON DEVELOPING THE PROPERTY IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LOCAL, STATE, AND FEDERAL PERMITS, INCLUDING A U.S. ARMY CORPS OF ENGINEERS WETLAND DETERMINATION IF APPLICABLE.

7. THESE LOTS ARE AFFECTED BY AN EASEMENT OF RECORD WITH NO DEFINED LOCATION GRANTED TO HOMER ELECTRIC ASSOCIATION (BK17, PG 328 HRD).

8. THESE LOTS ARE SERVED BY CITY OF HOMER WATER AND SEWER.

9. ACCESS TO STATE MAINTAINED WEST HILL ROAD IS PROHIBITED WITHOUT PRIOR WRITTEN APPROVAL FROM THE ALASKA STATE DOT.

10. EXISTING CREEKS ARE SUBJECT TO DRAINAGE EASEMENT(S) PER HOMER CITY CODE. APPROXIMATE LOCATIONS OF DRAINAGES ARE SHOWN.

11. VACATION OF THE UTILITY EASEMENT ADJOINING THE CHERYL LANE RIGHT-OF-WAY PER THE PARENT PLAT (HM 88-16) WAS APPROVED BY THE KENAI PENINSULA BOROUGH PLANNING COMMISSION AT THE MEETING OF ??? AND BY THE HOMER CITY COUNCIL ON ???.

12. THE VACATION OF THE CHERYL LANE RIGHT-OF-WAY WAS APPROVED BY THE KENAI PENINSULA BOROUGH PLANNING COMMISSION AT THE MEETING OF ??? AND BY THE HOMER CITY COUNCIL ON ??? WITH THE VACATED PORTIONS ATTACHING TO THE ADJACENT PARCELS IN COMPLIANCE WITH KPB 20.70.150 AND AS 29.40.160 UNDER KPB 20.10.080, AND IN ACCORDANCE WITH AGREEMENTS BETWEEN OWNERS FOR DISTRIBUTION OF ACREAGE.

13. VACATION OF THE 20' WIDE DRAINAGE EASEMENTS (AS SHOWN HEREON) PER THE PARENT PLAT (HM 88-16) WAS APPROVED BY THE KENAI PENINSULA BOROUGH PLANNING COMMISSION AT THE MEETING OF ??? AND BY THE HOMER CITY COUNCIL ON ???.

14. LOTS 33, 34 AND 35 ARE AFFECTED BY TERMS, CONDITIONS, PROVISIONS AND COVENANTS OF THE EUGENE P. DOBRZYNSKI DECLARATION OF TRUST.

NOTARY'S ACKNOWLEDGMENT

FOR: PAT W. MILLER

ACKNOWLEDGED BEFORE ME THIS _____
DAY OF _____, 2020.

NOTARY PUBLIC FOR ALASKA

MY COMMISSION EXPIRES: _____

NOTARY'S ACKNOWLEDGMENT

FOR: ERO STEVE WALLI

ACKNOWLEDGED BEFORE ME THIS _____
DAY OF _____, 2020.

NOTARY PUBLIC FOR ALASKA

MY COMMISSION EXPIRES: _____

NOTARY'S ACKNOWLEDGMENT

FOR: BRENT GUSTAVE JOHNSON AND JUDITH ARLENE JOHNSON

ACKNOWLEDGED BEFORE ME THIS _____
DAY OF _____, 2020.

NOTARY PUBLIC FOR ALASKA

MY COMMISSION EXPIRES: _____

PLAT APPROVAL

THIS PLAT WAS APPROVED BY THE KENAI PENINSULA BOROUGH PLANNING COMMISSION AT THE MEETING OF _____

BY: _____
AUTHORIZED OFFICIAL
KENAI PENINSULA BOROUGH

DATE _____

NOTARY'S ACKNOWLEDGMENT

FOR: AARON WEISSER AND JENNY WEISSER

ACKNOWLEDGED BEFORE ME THIS _____
DAY OF _____, 2020.

NOTARY PUBLIC FOR ALASKA

MY COMMISSION EXPIRES: _____

NOTARY'S ACKNOWLEDGMENT

FOR: EUGENE P. DOBRZYNSKI

ACKNOWLEDGED BEFORE ME THIS _____
DAY OF _____, 2020.

NOTARY PUBLIC FOR ALASKA

MY COMMISSION EXPIRES: _____

LEGEND

- INDICATES 1917 2-1/2" BC GLO MONUMENT RECOVERED THIS SURVEY
- INDICATES PRIMARY MONUMENT RECOVERED THIS SURVEY AS DESCRIBED
- INDICATES 5/8" REBAR WITH 1-1/2" ALCAP (NO LS# OR DATE) RECOVERED THIS SURVEY
- INDICATES 5/8" X 30" REBAR WITH 2" ALCAP (7538-S, 2020) SET THIS SURVEY
- INDICATES LIMIT OF POSSIBLE LOW WET AREAS PER KENAI WATERSHED FORUM WETLANDS ASSESSMENT
- INDICATES APPROXIMATE CENTERLINE OF DRAINAGE

LINE TABLE

LINE	BEARING	DISTANCE
L1	S 84°12'35" W	54.07'
L2	N 79°27'13" E	3.92'

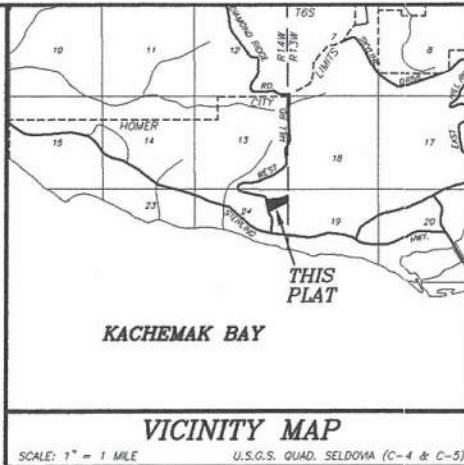
CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	CHORD BRNG	CHORD DIST
C1	16°50'22"	628.17'	184.62'	S 75°47'24" W	183.98'
C2	4°45'22"	4970.00'	412.56'	S 81°49'54" W	412.44'
C3	90°00'00"	20.00'	31.42'	S 34°27'13" W	28.28'
C4	11°09'00"	970.00'	188.77'	S 16°07'17" E	188.47'
C5	96°32'54"	20.00'	33.70'	S 9°58'14" E	29.85'
C6	17°41'54"	501.62'	154.9'	S 36°16" E	154.33'
C7	9°21'16"	501.62'	81.90'	S 44°35" E	81.81'
C8	8°20'38"	501.62'	73.05'	S 55°38" E	72.98'
C9	1°09'05"	4970.00'	99.87'	S 0°14'45" E	99.87'
C10	3°36'17"	4970.00'	312.89'	N 82°24'26" E	312.64'

WASTEWATER DISPOSAL

PLANS FOR WASTEWATER DISPOSAL THAT MEET REGULATORY REQUIREMENTS ARE ON FILE AT THE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.

SURVEYOR _____ LICENSE # _____ DATE _____



CERTIFICATE OF OWNERSHIP

WE HEREBY CERTIFY THAT PETSKA COMMUNITY PROPERTY TRUST IS THE OWNER OF THE REAL PROPERTY SHOWN AND DESCRIBED HEREON, THAT ON BEHALF OF PETSKA COMMUNITY PROPERTY TRUST WE HEREBY ADOPT THIS PLAN OF SUBDIVISION, AND BY OUR FREE CONSENT DEDICATE ALL RIGHTS OF WAY AND PUBLIC AREAS TO PUBLIC USE, AND GRANT ALL EASEMENTS TO THE USE SHOWN HEREON.

PAT W. MILLER
ORIGINAL LOTS 7-12 AND 22-25
2020 NORTH STAR, APT. 1
ANCHORAGE, ALASKA 99503

ERO STEVE WALLI
ORIGINAL LOTS 13-16 AND 18-21
35910 NORTH FORK ROAD
ANCHOR POINT, AK 99556

BRENT GUSTAVE JOHNSON
ORIGINAL LOTS 26-31
20773 PORCUPINE LANE
CLAM GULCH, AK 99568

JUDITH ARLENE JOHNSON
ORIGINAL LOTS 26-31
20773 PORCUPINE LANE
CLAM GULCH, AK 99568

AARON WEISSER
ORIGINAL LOT 32
3677 FOREST GLEN DRIVE
HOMER, ALASKA 99603

JENNY WEISSER
ORIGINAL LOT 32
3677 FOREST GLEN DRIVE
HOMER, ALASKA 99603

EUGENE P. DOBRZYNSKI
TRUSTEE OF EUGENE P. DOBRZYNSKI DECLARATION OF TRUST
ORIGINAL LOTS 33-35
288 SEASON DRIVE
FERNLEY NV 89408

HOMER RECORDING DISTRICT KPB FILE No. 2020-???

LILLIAN WALLI ESTATE 2020 REPLAT

THE VACATION OF THE CHERYL LANE RIGHT-OF-WAY AND THE RECONFIGURATION OF LOTS 7-16 AND 18-35, LILLIAN WALLI ESTATE (HM 88-16)

LOCATED WITHIN THE NE 1/4 NE1/4, SEC 24, T. 6 S., R. 13 W., SEWARD MERIDIAN, CITY OF HOMER, KENAI PENINSULA BOROUGH, THIRD JUDICIAL DISTRICT, ALASKA CONTAINING 13.269 ACRES

OWNERS:
ERO STEVE WALLI
35910 NORTH FORK ROAD ANCHOR POINT, AK 99556
PAT W. MILLER
2020 NORTH STAR, APT. 1 ANCHORAGE, AK 99503
BRENT G. AND JUDITH A. JOHNSON
20773 PORCUPINE LANE CLAM GULCH, AK 99568
AARON WEISSER
3677 FOREST GLEN DRIVE HOMER, AK 99603
EUGENE P. DOBRZYNSKI DECLARATION OF TRUST
288 SEASON DRIVE FERNLEY, NV 89408

GEOVERA, LLC

PO BOX 3235
HOMER ALASKA 99603
(907) 399-4345
EMAIL: scsmith@gci.net

DRAWN BY: SCS DATE: APRIL 2020 SCALE: 1" = 80'
CHK BY: SCS JOB #2020-23 SHEET 1 OF 1

Geovera, LLC

PO Box 3235 • Homer, Alaska 99603 • (907) 399-4345 • scsmith@gci.net

April 21, 2020

City of Homer
Planning Department
Julie Engebretsen, Deputy City Planner
491 E. Pioneer Ave.
Homer, Alaska 99603

RE: Lillian Walli Estate 2020 Replat Preliminary Plat Submittal

Julie,

Please find enclosed (1) full size copy and (2) 11X17 copies of the preliminary plat of Lillian Walli Estate 2020 Replat, and a \$300.00 check for the plat submittal fee. Also enclosed is a \$300.00 check for the right-of-way vacation fee for the associated vacation of the Sheryl Lane right-of-way.

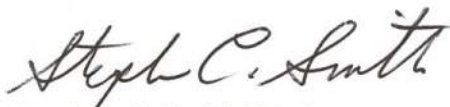
I have enclosed three KPB forms. The first is the plat submittal form is signed by a majority of the property owners. The second is a petition to vacate public right-of-way for the Sheryl Lane vacation, also signed by a majority of the property owners. The third is a petition to vacate the utility easements adjoining the Sheryl Lane right-of-way, also signed by a majority of the property owners. As per our earlier phone conversation, the city is not requiring a fee for the utility easement vacation process.

This plat provides for the reconfiguration of the lot lines and the vacation of the Sheryl Lane right-of-way and associated utility easements per the agreement between the city and the property owners. Distribution of the area within the Sheryl Lane right-of-way is in accordance with KPB 20.70.150 and AS 29.40.160 under KPB 20.10.080 and in accordance with an agreement between the owners for distribution of acreage.

The plat also vacates the drainage easements per the parent plat (HM 88-16) and replaces them with the standard drainage easement note (see Note 10). The approximate locations of the existing drainages are shown on the plat and referenced in the note.

Please let me know if you have any questions. You can reach me at any time at (907) 399-4345. Thanks!

Sincerely,



Stephen C. Smith P.L.S.

PUBLIC HEARING NOTICE
&
NOTICE OF SUBDIVISION

Public notice is hereby given that the City of Homer will hold a public hearing by the Homer Planning Commission on Wednesday, May 20, 2020 at 5:30 p.m. via a virtual meeting webinar, on the following matter:

A proposal to vacate the Cheryl Lane right-of-way within Lillian Walli Estate NE ¼ NE ¼, Sec. 24, T. 6 S., R. 13 W., S.M. (HM 88-16).

Public notice is hereby given that a preliminary plat has been received proposing to subdivide or replat property. You are being sent this notice because you are an affected property owner within 500 feet of a proposed subdivision and are invited to comment.

Proposed subdivision under consideration is described as follows:

Lillian Walli Estate 2020 Replat Preliminary Plat

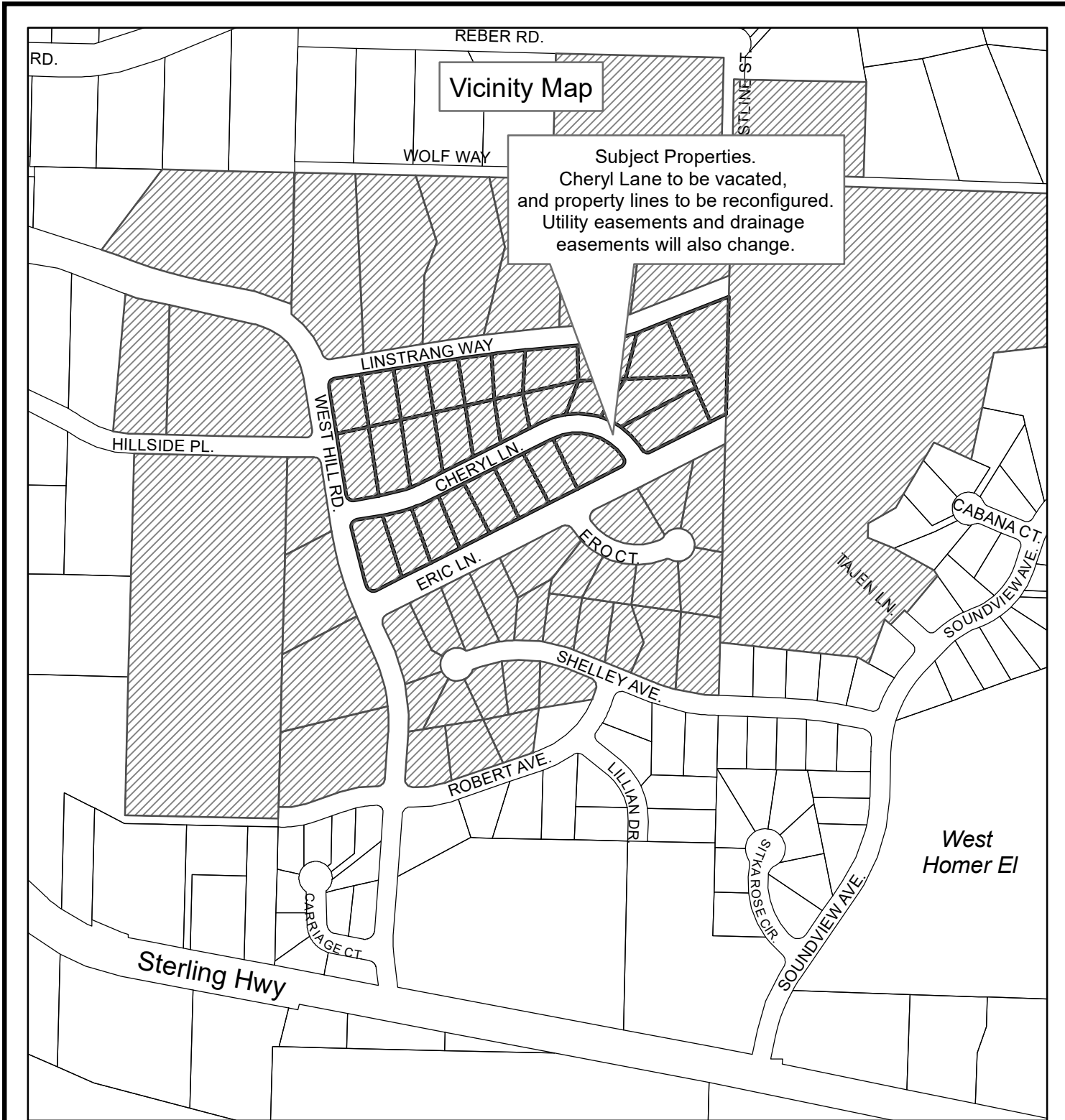
Anyone wishing to view the complete proposals or present testimony on these matters may do so by visiting the meeting page on the City's online calendar at <https://www.cityofhomer.ak.gov/calendar>. This webpage has all of the information for how to view and participate in the virtual meeting, including how to call-in for verbal testimony. The virtual meeting processes are in place for the duration of Governor Dunleavy's Health Mandate 011: Social Distancing.

If you have any questions or need additional information, please contact the Planning and Zoning Office at 235-3106 or the Clerk's Office at 235-3130.

NOTICE TO BE SENT TO PROPERTY OWNERS WITHIN 500 FEET OF PROPERTY.

.....

VICINITY MAP ON REVERSE



City of Homer
Planning and Zoning Department

5/6/2020

Lillian Walli Estate 2020 Replat Preliminary Plat

Marked lots are within 500 feet
and property owners notified.

0 250 500 1,000 Feet



Disclaimer:
It is expressly understood the City of
Homer, its council, board,
departments, employees and agents are
not responsible for any errors or omissions
contained herein, or deductions, interpretations
or conclusions drawn therefrom.

NOTES

1. BASIS OF BEARING FOR THIS SURVEY WAS DETERMINED BY A HIGH PRECISION GPS SURVEY USING TOPCON DUAL-FREQUENCY HP-100 V RECEIVERS, DIFFERENTIALLY CORRECTED AND PROCESSED WITH MAGNET OFFICE VERSION 3.1 SOFTWARE. NAD83 ALASKA STATE PLANE GRID COORDINATES (U.S. SURVEY FEET) OBTAINED FROM THE GPS. OBSERVATIONS WERE BASED ON THE NOS PUBLISHED VALUES FOR FEDERAL BASE NETWORK CONTROL STATION "HOMAR" (PD 110193).

2. TRUE BEARINGS AND DISTANCES WERE DETERMINED BY ROTATING AND SCALING FROM GRID USING FEDERAL BASE NETWORK CONTROL STATION "HOMAR" AS A SCALING POINT. TRUE BEARINGS WERE DETERMINED BY ROTATING GRID INVERSE AZIMUTHS $-117^{\circ}13.4'$. TRUE DISTANCES WERE OBTAINED BY DIVIDING GRID INVERSE DISTANCES BY 0.999986696.

3. THE RESULTING SCALED COORDINATES WERE TRANSLATED TO A LOCAL COORDINATE SYSTEM BASED ON FEDERAL BASE NETWORK CONTROL STATION "HOMAR" $N=100,000$ $E=100,000$. ALL COORDINATE VALUES REPRESENT GROUND DISTANCES IN U.S. SURVEY FEET ORIENTED TO TRUE NORTH.

4. ALL LOTS WITHIN THIS SUBDIVISION ARE SUBJECT TO CITY OF HOMER ZONING REGULATIONS. REFER TO THE HOMER CITY CODE FOR ALL CURRENT SETBACK AND SITE DEVELOPMENT RESTRICTIONS. OWNERS SHOULD CHECK WITH THE CITY OF HOMER PLANNING DEPARTMENT PRIOR TO DEVELOPMENT ACTIVITIES.

5. PER THE PARENT PLAT (HM 88-16), THE 10 FEET FRONTING THE UNSTRANG WAY RIGHT-OF-WAY AND THE FRONT 20 FEET WITHIN 5 FEET OF THE SIDE LOT LINES IS A UTILITY EASEMENT. THE 20 FEET FRONTING THE WEST HILL ROAD AND ERIC LANE RIGHT-OF-WAYS IS A UTILITY EASEMENT. NO PERMANENT STRUCTURE SHALL BE CONSTRUCTED OR PLACED WITHIN A UTILITY EASEMENT WHICH WOULD INTERFERE WITH THE ABILITY OF A UTILITY TO USE THE EASEMENT.

6. ANY PERSON DEVELOPING THE PROPERTY IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LOCAL, STATE, AND FEDERAL PERMITS, INCLUDING A U.S. ARMY CORPS OF ENGINEERS WETLAND DETERMINATION IF APPLICABLE.

7. THESE LOTS ARE AFFECTED BY AN EASEMENT OF RECORD WITH NO DEFINED LOCATION GRANTED TO HOMER ELECTRIC ASSOCIATION (BK17, PG 328 HRD).

8. THESE LOTS ARE SERVED BY CITY OF HOMER WATER AND SEWER.

9. ACCESS TO STATE MAINTAINED WEST HILL ROAD IS PROHIBITED WITHOUT PRIOR WRITTEN APPROVAL FROM THE ALASKA STATE DOT.

10. EXISTING CREEKS ARE SUBJECT TO DRAINAGE EASEMENT(S) PER HOMER CITY CODE. APPROXIMATE LOCATIONS OF DRAINAGES ARE SHOWN.

11. VACATION OF THE UTILITY EASEMENT ADJOINING THE CHERYL LANE RIGHT-OF-WAY PER THE PARENT PLAT (HM 88-16) WAS APPROVED BY THE KENAI PENINSULA BOROUGH PLANNING COMMISSION AT THE MEETING OF ??? AND BY THE HOMER CITY COUNCIL ON ??? WITH THE VACATED PORTIONS ATTACHING TO THE ADJACENT PARCELS IN COMPLIANCE WITH KPB 20.10.150 AND AS 28.40.160 UNDER KPB 20.10.060, AND IN ACCORDANCE WITH AGREEMENTS BETWEEN OWNERS FOR DISTRIBUTION OF ACREAGE.

12. THE VACATION OF THE CHERYL LANE RIGHT-OF-WAY WAS APPROVED BY THE KENAI PENINSULA BOROUGH PLANNING COMMISSION AT THE MEETING OF ??? AND BY THE HOMER CITY COUNCIL ON ??? WITH THE VACATED PORTIONS ATTACHING TO THE ADJACENT PARCELS IN COMPLIANCE WITH KPB 20.10.150 AND AS 28.40.160 UNDER KPB 20.10.060, AND IN ACCORDANCE WITH AGREEMENTS BETWEEN OWNERS FOR DISTRIBUTION OF ACREAGE.

13. VACATION OF THE 20' WIDE DRAINAGE EASEMENTS (AS SHOWN HEREON) PER THE PARENT PLAT (HM 88-16) WAS APPROVED BY THE KENAI PENINSULA BOROUGH PLANNING COMMISSION AT THE MEETING OF ??? AND BY THE HOMER CITY COUNCIL ON ???.

14. LOTS 33, 34 AND 35 ARE AFFECTED BY TERMS, CONDITIONS, PROVISIONS AND COVENANTS OF THE EUGENE P. DOBRZYNSKI DECLARATION OF TRUST.

NOTARY'S ACKNOWLEDGMENT

FOR: AARON WEISSER AND JENNY WEISSER

ACKNOWLEDGED BEFORE ME THIS _____

DAY OF _____, 2020.

NOTARY PUBLIC FOR ALASKA

MY COMMISSION EXPIRES: _____

NOTARY'S ACKNOWLEDGMENT

FOR: EUGENE P. DOBRZYNSKI

ACKNOWLEDGED BEFORE ME THIS _____

DAY OF _____, 2020.

NOTARY PUBLIC FOR ALASKA

MY COMMISSION EXPIRES: _____

NOTARY'S ACKNOWLEDGMENT

FOR: PAT W. MILLER

ACKNOWLEDGED BEFORE ME THIS _____

DAY OF _____, 2020.

NOTARY PUBLIC FOR ALASKA

MY COMMISSION EXPIRES: _____

PLAT APPROVAL

THIS PLAT WAS APPROVED BY THE KENAI PENINSULA BOROUGH PLANNING COMMISSION AT THE MEETING OF _____

BY: _____ AUTHORIZED OFFICIAL
KENAI PENINSULA BOROUGH

DATE _____

NOTARY'S ACKNOWLEDGMENT

FOR: ERO STEVE WALLI

ACKNOWLEDGED BEFORE ME THIS _____

DAY OF _____, 2020.

NOTARY PUBLIC FOR ALASKA

MY COMMISSION EXPIRES: _____

NOTARY'S ACKNOWLEDGMENT

FOR: BRENT GUSTAVE JOHNSON AND JUDITH ARLENE JOHNSON

ACKNOWLEDGED BEFORE ME THIS _____

DAY OF _____, 2020.

NOTARY PUBLIC FOR ALASKA

MY COMMISSION EXPIRES: _____



COR. SECS. 13/18/19/24
N=103,883.045
E=85,170.4452



CERTIFICATE OF OWNERSHIP

WE HEREBY CERTIFY THAT PETSKA COMMUNITY PROPERTY TRUST IS THE OWNER OF THE REAL PROPERTY SHOWN AND DESCRIBED HEREON, THAT ON BEHALF OF PETSKA COMMUNITY PROPERTY TRUST WE HEREBY ADOPT THIS PLAN OF SUBDIVISION, AND BY OUR FREE CONSENT DEDICATE ALL RIGHTS OF WAY AND PUBLIC AREAS TO PUBLIC USE, AND GRANT ALL EASEMENTS TO THE USE SHOWN HEREON.

PAT W. MILLER
ORIGINAL LOTS 7-12 AND 22-25
2020 NORTH STAR, APT. 1
ANCHORAGE, ALASKA 99503

ERO STEVE WALLI
ORIGINAL LOTS 13-16 AND 18-21
35910 NORTH FORK ROAD
ANCHOR POINT, AK 99556

BRENT GUSTAVE JOHNSON
ORIGINAL LOTS 26-31
20773 PORCUPINE LANE
CLAM GULCH, AK 99568

JUDITH ARLENE JOHNSON
ORIGINAL LOTS 26-31
20773 PORCUPINE LANE
CLAM GULCH, AK 99568

AARON WEISSER
ORIGINAL LOT 32
3677 FOREST GLEN DRIVE
HOMER, ALASKA 99603

JENNY WEISSER
ORIGINAL LOT 32
3677 FOREST GLEN DRIVE
HOMER, ALASKA 99603

EUGENE P. DOBRZYNSKI
TRUSTEE OF EUGENE P. DOBRZYNSKI DECLARATION OF TRUST
ORIGINAL LOTS 33-35
288 SEASON DRIVE
FERNLEY, NV 89408

HOMER RECORDING DISTRICT KPB FILE No. 2020-???

LILLIAN WALLI ESTATE 2020 REPLAT

THE VACATION OF THE CHERYL LANE RIGHT-OF-WAY AND THE RECONFIGURATION OF LOTS 7-16 AND 18-35, LILLIAN WALLI ESTATE (HM 88-16)

LOCATED WITHIN THE NE 1/4 NE1/4, SEC 24, T. 6 S. R. 13 W., SEWARD MERIDIAN, CITY OF HOMER, KENAI PENINSULA BOROUGH, THIRD JUDICIAL DISTRICT, ALASKA CONTAINING 13.269 ACRES

ERO STEVE WALLI
35910 NORTH FORK ROAD ANCHOR POINT, AK 99556
PAT W. MILLER
2020 NORTH STAR, APT. 1 ANCHORAGE, AK 99503
BRENT G. AND JUDITH A. JOHNSON
20773 PORCUPINE LANE CLAM GULCH, AK 99568
AARON WEISSER
3677 FOREST GLEN DRIVE HOMER, AK 99603
EUGENE P. DOBRZYNSKI DECLARATION OF TRUST
288 SEASON DRIVE FERNLEY, NV 89408

GEOVERA, LLC

PO BOX 3235
HOMER ALASKA 99603
(907) 359-4345
EMAIL: zscsmith@gcl.net

DRAWN BY: SCJ DATE: APRIL 2020 SCALE: 1" = 80'
CHK BY: SCJ JOB #2020-23 SHEET 1 OF 1

LINE TABLE

LINE	BEARING	DISTANCE
L1	S 84°12'35" W	54.07'
L2	N 74°22'11" E	1.392'

CURVE TABLE

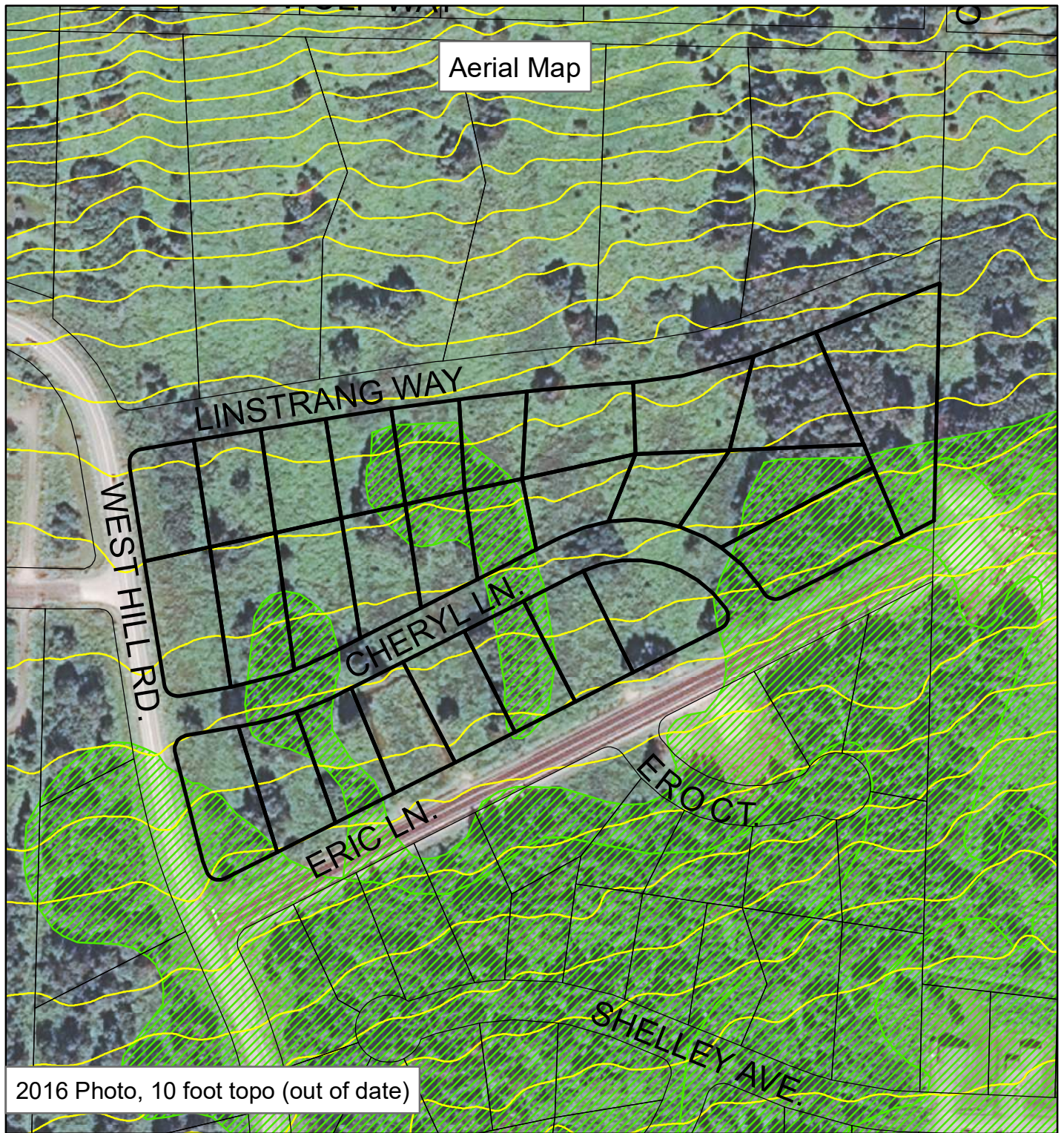
CURVE TABLE					
CURVE	DELTA	RADIUS	LENGTH	CHORD BRNG	CHORD DIST
C1	16°59'28"	628.17	184.58	S 75°47'24" W	183.94
C2	4°45'52"	4970.00	412.58	S 81°49'54" W	412.44
C3	8°00'00"	20.00	31.42	S 34°27'13" W	28.79
C4	1°09'00"	320.00	188.77	S 16°07'17" E	188.47
C5	98°24'24"	20.00	33.77	S 62°50'14" E	22.85
C6	1°44'34"	351.82	134.95	N 70°50'18" E	134.33
C7	9°21'16"	301.62	81.80	N 74°46'35" E	81.81
C8	8°20'38"	301.62	73.05	N 69°55'38" E	72.98
C9	1°09'05"	4970.00	99.87	N 80°01'45" E	99.87
C10	1°09'05"	4970.00	312.69	N 82°24'28" E	312.64

WASTEWATER DISPOSAL

PLANS FOR WASTEWATER DISPOSAL THAT MEET REGULATORY REQUIREMENTS ARE ON FILE AT THE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.

SURVEYOR _____ LICENSE # _____ DATE _____





City of Homer
Planning and Zoning Department

5/6/2020

Lillian Walli Estate 2020 Replat Preliminary Plat

0 250 500 Feet

90



Disclaimer:
It is expressly understood the City of Homer, its council, board, departments, employees and agents are not responsible for any errors or omissions contained herein, or deductions, interpretations or conclusions drawn therefrom.



City of Homer

www.cityofhomer-ak.gov

Planning

491 East Pioneer Avenue
Homer, Alaska 99603

Planning@ci.homer.ak.us
(p) 907-235-3106
(f) 907-235-3118

Staff Report 20-30

TO: Homer Planning Commission
FROM: Julie Engebretsen, Deputy City Planner
THROUGH: Rick Abboud, City Planner
DATE: May 20, 2020
SUBJECT: Lillian Walli Estate 2020 Replat Preliminary Plat

Requested Action: Approval of a preliminary plat shifting lot lines and depicting the right of way and utility easement vacations. All vacations are discussed in separate staff reports and agenda items.

General Information:

Applicants:	Pat Miller, Steve Walli, Brent Johnson, Judith Johnson, Aaron Weisser, Jenny Weisser, Eugene Dobrzynski (see plat)	Geovera LLC Steve Smith PO Box 3235 Homer, AK 99603
Location:	Between West Hill Road, Eric Lane and Linstrang Way	
Parcel ID:	See attachment (28 parcels)	
Size of Existing Lot(s):	0.3 to 0.95 acres	
Size of Proposed Lots(s):	Ranges from 0.433 acres to 4.384 acres	
Zoning Designation:	Rural Residential District	
Existing Land Use:	Vacant	
Surrounding Land Use:	North: Vacant South: Vacant/residential East: vacant West: Residential/vacant	
Comprehensive Plan:	1-C-1 Promote infill housing in all development districts. Area mapped as future Urban Residential	
Wetland Status:	Discharge Slope and wetland/upland complex	
Flood Plain Status:	Zone D, flood hazards undetermined.	
BCWPD:	Not within the Bridge Creek Watershed Protection District.	
Utilities:	City water and sewer are available	

Public Notice:	Notice was sent to 27 property owners of 71 parcels as shown on the KPB tax assessor rolls.
----------------	---

Analysis: This subdivision is within the Rural Residential District. This plat depicts the vacation of Cheryl Lane, the vacation of related utility easements, and vacation of drainage easements. The current action seeks to revert to larger tracts along Linstrang Way. If new easements are required by code, this is the agenda item under which the Commission would make a recommendation (such as utility or drainage easements). In addition to vacating the right of way and shifting lot lines accordingly, numerous lot lines are being vacated to create two large tracts on the norther part of this replat, lots 13-A and 7-A.

Homer City Code 22.10.051 Easements and rights-of-way

- A. The subdivider shall dedicate in each lot of a new subdivision a 15-foot-wide utility easement immediately adjacent to the entire length of the boundary between the lot and each existing or proposed street right-of-way.

Staff Response: The plat partially meets these requirements. The utility easement along Linstrang Way is only 10 feet per plat note 5. This should be expanded to 15 feet.

- B. The subdivider shall dedicate in each lot of a new subdivision any water and/or sewer easements that are needed for future water and sewer mains shown on the official Water/Sewer Master Plan approved by the Council.

Staff Response: The plat meets these requirements. No additional easements are required.

- C. The subdivider shall dedicate easements or rights-of-way for sidewalks, bicycle paths or other non-motorized transportation facilities in areas identified as public access corridors in the Homer Non-Motorized Transportation and Trail Plan, other plans adopted by the City Council, or as required by the Kenai Peninsula Borough Code.

Staff Response: The plat meets these requirements. No additional easements are required. Eric Lane has a sidewalk and paved bike shoulders.

Preliminary Approval, per KPB code 20.25.070 Form and contents required. The commission will consider a plat for preliminary approval if it contains the following information at the time it is presented and is drawn to a scale of sufficient size to be clearly legible.

- A. Within the Title Block:
1. Names of the subdivision which shall not be the same as an existing city, town, tract or subdivision of land in the borough, of which a plat has been previously recorded, or so nearly the same as to mislead the public or cause confusion;
 2. Legal description, location, date, and total area in acres of the proposed subdivision; and
 3. Name and address of owner(s), as shown on the KPB records and the certificate to plat, and registered land surveyor;

Staff Response: The plat meets these requirements.

- B. North point;

Staff Response: The plat meets these requirements.

- C. The location, width and name of existing or platted streets and public ways, railroad rights-of-way and other important features such as section lines or political subdivisions or municipal corporation boundaries abutting the subdivision;

Staff Response: The plat meets these requirements.

- D. A vicinity map, drawn to scale showing location of proposed subdivision, north arrow if different from plat orientation, township and range, section lines, roads, political boundaries and prominent natural and manmade features, such as shorelines or streams;

Staff Response: The plat meets these requirements.

- E. All parcels of land including those intended for private ownership and those to be dedicated for public use or reserved in the deeds for the use of all property owners in the proposed subdivision, together with the purposes, conditions or limitation of reservations that could affect the subdivision;

Staff Response: The plat meets these requirements.

- F. The names and widths of public streets and alleys and easements, existing and proposed, within the subdivision; [Additional City of Homer HAPC policy: Drainage easements are normally thirty feet in width centered on the drainage. Final width of the easement will depend on the ability to access the drainage with heavy equipment. An alphabetical list of street names is available from City Hall.]

Staff Response: The plat meets these requirements. See staff recommendation on plat note 10.

- G. Status of adjacent lands, including names of subdivisions, lot lines, lock numbers, lot numbers, rights-of-way; or an indication that the adjacent land is not subdivided;

Staff Response: The plat meets these requirements.

- H. Approximate location of areas subject to inundation, flooding or storm water overflow, the line of ordinary high water, wetlands when adjacent to lakes or non-tidal streams, and the appropriate study which identifies a floodplain, if applicable;

Staff Response: The plat meets these requirements. Wetlands are shown.

- I. Approximate locations of areas subject to tidal inundation and the mean high water line;

Staff Response: The plat meets these requirements.

- J. Block and lot numbering per KPB 20.60.140, approximate dimensions and total numbers of proposed lots;

Staff Response: The plat meets these requirements.

- K. Within the limits of incorporated cities, the approximate location of known existing municipal wastewater and water mains, and other utilities within the subdivision and immediately abutting thereto or a statement from the city indicating which services are currently in place and available to each lot in the subdivision;

Staff Response: The plat meets these requirements. Information is on file at Public Works.

- L. Contours at suitable intervals when any roads are to be dedicated unless the planning director or commission finds evidence that road grades will not exceed 6 percent on arterial streets, and 10 percent on other streets;

Staff Response: The plat meets these requirements. No rights of way will be dedicated.

- M. Approximate locations of slopes over 20 percent in grade and if contours are shown, the areas of the contours that exceed 20 percent grade shall be clearly labeled as such;

Staff Response: The plat meets these requirements. No areas over 20 percent grade.

- N. Apparent encroachments, with statement indicating how the encroachments will be resolved prior to final plat approval; and

Staff Response: The plat meets these requirements. No known encroachments.

- O. If the subdivision will be finalized in phases, all dedications for through streets as required by KPB 20.30.030 must be included in the first phase.

Staff Response: The plat meets these requirements.

Public Works Comments: (Any comments will be provided at the meeting)

Staff Recommendation:

Planning Commission recommend approval of the preliminary plat with the following comments:

1. Include a plat note stating "Property owner should contact the Army Corps of Engineers prior to any on-site development or construction activity to obtain the most current wetland designation (if any). Property owners are responsible for obtaining all required local, state and federal permits."
2. Increase the width of the utility easement along Linstrang Way to 15 feet per HCC 22.10.051(a).
3. Amend plat note 10 to state that creeks and drainages are subject to a 15 foot building setback per Homer City Code.

Attachments:

1. Preliminary Plat
2. Surveyor's Letter
3. Water Resources Map
4. Public Notice
5. Aerial Map
6. Parcel list
7. Photos

NOTES

1. BASIS OF BEARING FOR THIS SURVEY WAS DETERMINED BY A HIGH PRECISION GPS SURVEY USING TOPCON DUAL-FREQUENCY HiPer V RECEIVERS, DIFFERENTIALLY CORRECTED AND PROCESSED WITH MAGNET OFFICE VERSION 3.1 SOFTWARE. NAD83 ALASKA STATE PLANE GRID COORDINATES (U.S. SURVEY FEET) OBTAINED FROM THE GPS. OBSERVATIONS WERE BASED ON THE NGS PUBLISHED VALUES FOR FEDERAL BASE NETWORK CONTROL STATION "HOMAIR" (PID T10155).

2. TRUE BEARINGS AND DISTANCES WERE DETERMINED BY ROTATING AND SCALING FROM GRID USING FEDERAL BASE NETWORK CONTROL STATION "HOMAIR" AS A SCALING POINT. TRUE BEARINGS WERE DETERMINED BY ROTATING GRID INVERSE AZIMUTHS -1°17'13.4". TRUE DISTANCES WERE OBTAINED BY DIVIDING GRID INVERSE DISTANCES BY 0.999986696.

3. THE RESULTING SCALED COORDINATES WERE TRANSLATED TO A LOCAL COORDINATE SYSTEM BASED ON FEDERAL BASE NETWORK CONTROL STATION "HOMAIR" N=100,000 E=100,000. ALL COORDINATE VALUES REPRESENT GROUND DISTANCES IN U.S. SURVEY FEET ORIENTED TO TRUE NORTH.

4. ALL LOTS WITHIN THIS SUBDIVISION ARE SUBJECT TO CITY OF HOMER ZONING REGULATIONS. REFER TO THE HOMER CITY CODE FOR ALL CURRENT SETBACK AND SITE DEVELOPMENT RESTRICTIONS. OWNERS SHOULD CHECK WITH THE CITY OF HOMER PLANNING DEPARTMENT PRIOR TO DEVELOPMENT ACTIVITIES.

5. PER THE PARENT PLAT (HM 88-16), THE 10 FEET FRONTING THE LINSTRANG WAY RIGHT-OF-WAY AND THE FRONT 20 FEET WITHIN 5 FEET OF THE SIDE LOT LINES IS A UTILITY EASEMENT. THE 20 FEET FRONTING THE WEST HILL ROAD AND ERIC LANE RIGHT-OF-WAYS IS A UTILITY EASEMENT. NO PERMANENT STRUCTURE SHALL BE CONSTRUCTED OR PLACED WITHIN A UTILITY EASEMENT WHICH WOULD INTERFERE WITH THE ABILITY OF A UTILITY TO USE THE EASEMENT.

6. ANY PERSON DEVELOPING THE PROPERTY IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LOCAL, STATE, AND FEDERAL PERMITS, INCLUDING A U.S. ARMY CORPS OF ENGINEERS WETLAND DETERMINATION IF APPLICABLE.

7. THESE LOTS ARE AFFECTED BY AN EASEMENT OF RECORD WITH NO DEFINED LOCATION GRANTED TO HOMER ELECTRIC ASSOCIATION (BK17, PG 328 HRD).

8. THESE LOTS ARE SERVED BY CITY OF HOMER WATER AND SEWER.

9. ACCESS TO STATE MAINTAINED WEST HILL ROAD IS PROHIBITED WITHOUT PRIOR WRITTEN APPROVAL FROM THE ALASKA STATE DOT.

10. EXISTING CREEKS ARE SUBJECT TO DRAINAGE EASEMENT(S) PER HOMER CITY CODE. APPROXIMATE LOCATIONS OF DRAINAGES ARE SHOWN.

11. VACATION OF THE UTILITY EASEMENT ADJOINING THE CHERYL LANE RIGHT-OF-WAY PER THE PARENT PLAT (HM 88-16) WAS APPROVED BY THE KENAI PENINSULA BOROUGH PLANNING COMMISSION AT THE MEETING OF ??? AND BY THE HOMER CITY COUNCIL ON ???.

12. THE VACATION OF THE CHERYL LANE RIGHT-OF-WAY WAS APPROVED BY THE KENAI PENINSULA BOROUGH PLANNING COMMISSION AT THE MEETING OF ??? AND BY THE HOMER CITY COUNCIL ON ??? WITH THE VACATED PORTIONS ATTACHING TO THE ADJACENT PARCELS IN COMPLIANCE WITH KPB 20.70.150 AND AS 29.40.160 UNDER KPB 20.10.080, AND IN ACCORDANCE WITH AGREEMENTS BETWEEN OWNERS FOR DISTRIBUTION OF ACREAGE.

13. VACATION OF THE 20' WIDE DRAINAGE EASEMENTS (AS SHOWN HEREON) PER THE PARENT PLAT (HM 88-16) WAS APPROVED BY THE KENAI PENINSULA BOROUGH PLANNING COMMISSION AT THE MEETING OF ??? AND BY THE HOMER CITY COUNCIL ON ???.

14. LOTS 33, 34 AND 35 ARE AFFECTED BY TERMS, CONDITIONS, PROVISIONS AND COVENANTS OF THE EUGENE P. DOBRZYNSKI DECLARATION OF TRUST.

NOTARY'S ACKNOWLEDGMENT

FOR: PAT W. MILLER
ACKNOWLEDGED BEFORE ME THIS _____
DAY OF _____, 2020.

NOTARY PUBLIC FOR ALASKA
MY COMMISSION EXPIRES: _____

PLAT APPROVAL

THIS PLAT WAS APPROVED BY THE KENAI PENINSULA BOROUGH PLANNING COMMISSION AT THE MEETING OF _____

BY: _____ DATE _____
AUTHORIZED OFFICIAL
KENAI PENINSULA BOROUGH

NOTARY'S ACKNOWLEDGMENT

FOR: ERO STEVE WALLI
ACKNOWLEDGED BEFORE ME THIS _____
DAY OF _____, 2020.

NOTARY PUBLIC FOR ALASKA
MY COMMISSION EXPIRES: _____

NOTARY'S ACKNOWLEDGMENT

FOR: BRENT GUSTAVE JOHNSON AND JUDITH ARLENE JOHNSON
ACKNOWLEDGED BEFORE ME THIS _____
DAY OF _____, 2020.

NOTARY PUBLIC FOR ALASKA
MY COMMISSION EXPIRES: _____

NOTARY'S ACKNOWLEDGMENT

FOR: AARON WEISSER AND JENNY WEISSER
ACKNOWLEDGED BEFORE ME THIS _____
DAY OF _____, 2020.

NOTARY PUBLIC FOR ALASKA
MY COMMISSION EXPIRES: _____

NOTARY'S ACKNOWLEDGMENT

FOR: EUGENE P. DOBRZYNSKI
ACKNOWLEDGED BEFORE ME THIS _____
DAY OF _____, 2020.

NOTARY PUBLIC FOR ALASKA
MY COMMISSION EXPIRES: _____

LEGEND

- INDICATES 1917 2-1/2" BC GLO MONUMENT RECOVERED THIS SURVEY
- INDICATES PRIMARY MONUMENT RECOVERED THIS SURVEY AS DESCRIBED
- INDICATES 5/8" REBAR WITH 1-1/2" ALCAP (NO LS# OR DATE) RECOVERED THIS SURVEY
- INDICATES 5/8" X 30" REBAR WITH 2" ALCAP (7538-S, 2020) SET THIS SURVEY
- INDICATES LIMIT OF POSSIBLE LOW WET AREAS PER KENAI WATERSHED FORUM WETLANDS ASSESSMENT
- INDICATES APPROXIMATE CENTERLINE OF DRAINAGE

LINE TABLE

LINE	BEARING	DISTANCE
L1	S 84°12'35" W	54.07'
L2	N 79°27'13" E	3.92'

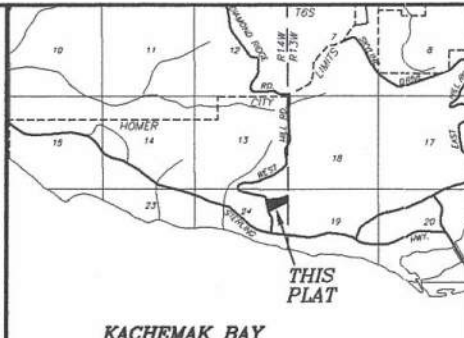
CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	CHORD BRNG	CHORD DIST
C1	16°50'22"	628.17'	184.62'	S 75°47'24" W	183.98'
C2	4°45'22"	4970.00'	412.56'	S 81°49'54" W	412.44'
C3	90°00'00"	20.00'	31.42'	S 34°27'13" W	28.28'
C4	11°09'00"	970.00'	188.77'	S 16°07'17" E	188.47'
C5	96°32'54"	20.00'	33.70'	S 9°58'14" E	29.85'
C6	17°41'54"	501.62'	154.9'	S 36°16" E	154.33'
C7	9°21'16"	501.62'	81.90'	S 44°35" E	81.81'
C8	8°20'38"	501.62'	73.05'	S 55°38" E	72.98'
C9	1°09'05"	4970.00'	99.87'	S 0°01'45" E	99.87'
C10	3°36'17"	4970.00'	312.89'	N 82°24'26" E	312.64'

WASTEWATER DISPOSAL

PLANS FOR WASTEWATER DISPOSAL THAT MEET REGULATORY REQUIREMENTS ARE ON FILE AT THE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.

SURVEYOR _____ LICENSE # _____ DATE _____



CERTIFICATE OF OWNERSHIP

SCALE: 1" = 1 MILE U.S.G.S. QUAD, SELDOVA (C-4 & C-5)

CERTIFICATE OF OWNERSHIP

WE HEREBY CERTIFY THAT PETSKA COMMUNITY PROPERTY TRUST IS THE OWNER OF THE REAL PROPERTY SHOWN AND DESCRIBED HEREON, THAT ON BEHALF OF PETSKA COMMUNITY PROPERTY TRUST WE HEREBY ADOPT THIS PLAN OF SUBDIVISION, AND BY OUR FREE CONSENT DEDICATE ALL RIGHTS OF WAY AND PUBLIC AREAS TO PUBLIC USE, AND GRANT ALL EASEMENTS TO THE USE SHOWN HEREON.

PAT W. MILLER
ORIGINAL LOTS 7-12 AND 22-25
2020 NORTH STAR, APT. 1
ANCHORAGE, ALASKA 99503

ERO STEVE WALLI
ORIGINAL LOTS 13-16 AND 18-21
35910 NORTH FORK ROAD
ANCHOR POINT, AK 99556

BRENT GUSTAVE JOHNSON
ORIGINAL LOTS 26-31
20773 PORCUPINE LANE
CLAM GULCH, AK 99568

JUDITH ARLENE JOHNSON
ORIGINAL LOTS 26-31
20773 PORCUPINE LANE
CLAM GULCH, AK 99568

AARON WEISSER
ORIGINAL LOT 32
3677 FOREST GLEN DRIVE
HOMER, ALASKA 99603

JENNY WEISSER
ORIGINAL LOT 32
3677 FOREST GLEN DRIVE
HOMER, ALASKA 99603

EUGENE P. DOBRZYNSKI
TRUSTEE OF EUGENE P. DOBRZYNSKI DECLARATION OF TRUST
ORIGINAL LOTS 33-35
288 SEASON DRIVE
FERNLEY NV 89408

HOMER RECORDING DISTRICT KPB FILE No. 2020-???

LILLIAN WALLI ESTATE
2020 REPLAT

THE VACATION OF THE CHERYL LANE RIGHT-OF-WAY AND THE RECONFIGURATION OF LOTS 7-16 AND 18-35, LILLIAN WALLI ESTATE (HM 88-16)

LOCATED WITHIN THE NE 1/4 NE1/4, SEC 24, T. 6 S., R. 13 W., SEWARD MERIDIAN, CITY OF HOMER, KENAI PENINSULA BOROUGH, THIRD JUDICIAL DISTRICT, ALASKA CONTAINING 13.269 ACRES

OWNERS:
ERO STEVE WALLI
35910 NORTH FORK ROAD ANCHOR POINT, AK 99556
PAT W. MILLER
2020 NORTH STAR, APT. 1 ANCHORAGE, AK 99503
BRENT G. AND JUDITH A. JOHNSON
20773 PORCUPINE LANE CLAM GULCH, AK 99568
AARON WEISSER
3677 FOREST GLEN DRIVE HOMER, AK 99603
EUGENE P. DOBRZYNSKI DECLARATION OF TRUST
288 SEASON DRIVE FERNLEY, NV 89408

GEOVERA, LLC

PO BOX 3235
HOMER ALASKA 99603
(907) 399-4345
EMAIL: scsmith@gci.net

DRAWN BY: SCS DATE: APRIL 2020 SCALE: 1" = 80'
CHK BY: SCS JOB #2020-23 SHEET 1 OF 1

Geovera, LLC

PO Box 3235 • Homer, Alaska 99603 • (907) 399-4345 • scsmith@gci.net

April 21, 2020

City of Homer
Planning Department
Julie Engebretsen, Deputy City Planner
491 E. Pioneer Ave.
Homer, Alaska 99603

RE: Lillian Walli Estate 2020 Replat Preliminary Plat Submittal

Julie,

Please find enclosed (1) full size copy and (2) 11X17 copies of the preliminary plat of Lillian Walli Estate 2020 Replat, and a \$300.00 check for the plat submittal fee. Also enclosed is a \$300.00 check for the right-of-way vacation fee for the associated vacation of the Sheryl Lane right-of-way.

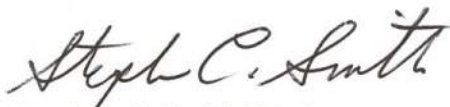
I have enclosed three KPB forms. The first is the plat submittal form is signed by a majority of the property owners. The second is a petition to vacate public right-of-way for the Sheryl Lane vacation, also signed by a majority of the property owners. The third is a petition to vacate the utility easements adjoining the Sheryl Lane right-of-way, also signed by a majority of the property owners. As per our earlier phone conversation, the city is not requiring a fee for the utility easement vacation process.

This plat provides for the reconfiguration of the lot lines and the vacation of the Sheryl Lane right-of-way and associated utility easements per the agreement between the city and the property owners. Distribution of the area within the Sheryl Lane right-of-way is in accordance with KPB 20.70.150 and AS 29.40.160 under KPB 20.10.080 and in accordance with an agreement between the owners for distribution of acreage.

The plat also vacates the drainage easements per the parent plat (HM 88-16) and replaces them with the standard drainage easement note (see Note 10). The approximate locations of the existing drainages are shown on the plat and referenced in the note.

Please let me know if you have any questions. You can reach me at any time at (907) 399-4345. Thanks!

Sincerely,



Stephen C. Smith P.L.S.

NOTES

1. BASIS OF BEARING FOR THIS SURVEY WAS DETERMINED BY A HIGH PRECISION GPS SURVEY USING TOPCON DUAL-FREQUENCY HiPer V RECEIVERS, DIFFERENTIALLY CORRECTED AND PROCESSED WITH MAGNET OFFICE VERSION 3.1 SOFTWARE. NAD83 ALASKA STATE PLANE GRID COORDINATES (U.S. SURVEY FEET) OBTAINED FROM THE GPS. OBSERVATIONS WERE BASED ON THE NGS PUBLISHED VALUES FOR FEDERAL BASE NETWORK CONTROL STATION "HOMAIR" (PID T10155).

2. TRUE BEARINGS AND DISTANCES WERE DETERMINED BY ROTATING AND SCALING FROM GRID USING FEDERAL BASE NETWORK CONTROL STATION "HOMAIR" AS A SCALING POINT. TRUE BEARINGS WERE DETERMINED BY ROTATING GRID INVERSE AZIMUTHS -1°17'13.4". TRUE DISTANCES WERE OBTAINED BY DIVIDING GRID INVERSE DISTANCES BY 0.999986696.

3. THE RESULTING SCALED COORDINATES WERE TRANSLATED TO A LOCAL COORDINATE SYSTEM BASED ON FEDERAL BASE NETWORK CONTROL STATION "HOMAIR" N=100,000 E=100,000. ALL COORDINATE VALUES REPRESENT GROUND DISTANCES IN U.S. SURVEY FEET ORIENTED TO TRUE NORTH.

4. ALL LOTS WITHIN THIS SUBDIVISION ARE SUBJECT TO CITY OF HOMER ZONING REGULATIONS. REFER TO THE HOMER CITY CODE FOR ALL CURRENT SETBACK AND SITE DEVELOPMENT RESTRICTIONS. OWNERS SHOULD CHECK WITH THE CITY OF HOMER PLANNING DEPARTMENT PRIOR TO DEVELOPMENT ACTIVITIES.

5. PER THE PARENT PLAT (HM 88-16), THE 10 FEET FRONTING THE LINSTRANG WAY RIGHT-OF-WAY AND THE FRONT 20 FEET WITHIN 5 FEET OF THE SIDE LOT LINES IS A UTILITY EASEMENT. THE 20 FEET FRONTING THE WEST HILL ROAD AND ERIC LANE RIGHT-OF-WAYS IS A UTILITY EASEMENT. NO PERMANENT STRUCTURE SHALL BE CONSTRUCTED OR PLACED WITHIN A UTILITY EASEMENT WHICH WOULD INTERFERE WITH THE ABILITY OF A UTILITY TO USE THE EASEMENT.

6. ANY PERSON DEVELOPING THE PROPERTY IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LOCAL, STATE, AND FEDERAL PERMITS, INCLUDING A U.S. ARMY CORPS OF ENGINEERS WETLAND DETERMINATION IF APPLICABLE.

7. THESE LOTS ARE AFFECTED BY AN EASEMENT OF RECORD WITH NO DEFINED LOCATION GRANTED TO HOMER ELECTRIC ASSOCIATION (BK17, PG 328 HRD).

8. THESE LOTS ARE SERVED BY CITY OF HOMER WATER AND SEWER.

9. ACCESS TO STATE MAINTAINED WEST HILL ROAD IS PROHIBITED WITHOUT PRIOR WRITTEN APPROVAL FROM THE ALASKA STATE DOT.

10. EXISTING CREEKS ARE SUBJECT TO DRAINAGE EASEMENT(S) PER HOMER CITY CODE. APPROXIMATE LOCATIONS OF DRAINAGES ARE SHOWN.

11. VACATION OF THE UTILITY EASEMENT ADJOINING THE CHERYL LANE RIGHT-OF-WAY PER THE PARENT PLAT (HM 88-16) WAS APPROVED BY THE KENAI PENINSULA BOROUGH PLANNING COMMISSION AT THE MEETING OF ??? AND BY THE HOMER CITY COUNCIL ON ???.

12. THE VACATION OF THE CHERYL LANE RIGHT-OF-WAY WAS APPROVED BY THE KENAI PENINSULA BOROUGH PLANNING COMMISSION AT THE MEETING OF ??? AND BY THE HOMER CITY COUNCIL ON ??? WITH THE VACATED PORTIONS ATTACHING TO THE ADJACENT PARCELS IN COMPLIANCE WITH KPB 20.70.150 AND AS 29.40.160 UNDER KPB 20.10.080, AND IN ACCORDANCE WITH AGREEMENTS BETWEEN OWNERS FOR DISTRIBUTION OF ACREAGE.

13. VACATION OF THE 20' WIDE DRAINAGE EASEMENTS (AS SHOWN HEREON) PER THE PARENT PLAT (HM 88-16) WAS APPROVED BY THE KENAI PENINSULA BOROUGH PLANNING COMMISSION AT THE MEETING OF ??? AND BY THE HOMER CITY COUNCIL ON ???.

14. LOTS 33, 34 AND 35 ARE AFFECTED BY TERMS, CONDITIONS, PROVISIONS AND COVENANTS OF THE EUGENE P. DOBRZYNSKI DECLARATION OF TRUST.

NOTARY'S ACKNOWLEDGMENT

FOR: AARON WEISSER AND JENNY WEISSER
ACKNOWLEDGED BEFORE ME THIS _____
DAY OF _____, 2020.

NOTARY PUBLIC FOR ALASKA

MY COMMISSION EXPIRES: _____

NOTARY'S ACKNOWLEDGMENT

FOR: EUGENE P. DOBRZYNSKI
ACKNOWLEDGED BEFORE ME THIS _____
DAY OF _____, 2020.

NOTARY PUBLIC FOR ALASKA

MY COMMISSION EXPIRES: _____

NOTARY'S ACKNOWLEDGMENT

FOR: PAT W. MILLER
ACKNOWLEDGED BEFORE ME THIS _____
DAY OF _____, 2020.

NOTARY PUBLIC FOR ALASKA

MY COMMISSION EXPIRES: _____

NOTARY'S ACKNOWLEDGMENT

FOR: ERO STEVE WALLI
ACKNOWLEDGED BEFORE ME THIS _____
DAY OF _____, 2020.

NOTARY PUBLIC FOR ALASKA

MY COMMISSION EXPIRES: _____

NOTARY'S ACKNOWLEDGMENT

FOR: BRENT GUSTAVE JOHNSON AND JUDITH ARLENE JOHNSON
ACKNOWLEDGED BEFORE ME THIS _____
DAY OF _____, 2020.

NOTARY PUBLIC FOR ALASKA

MY COMMISSION EXPIRES: _____

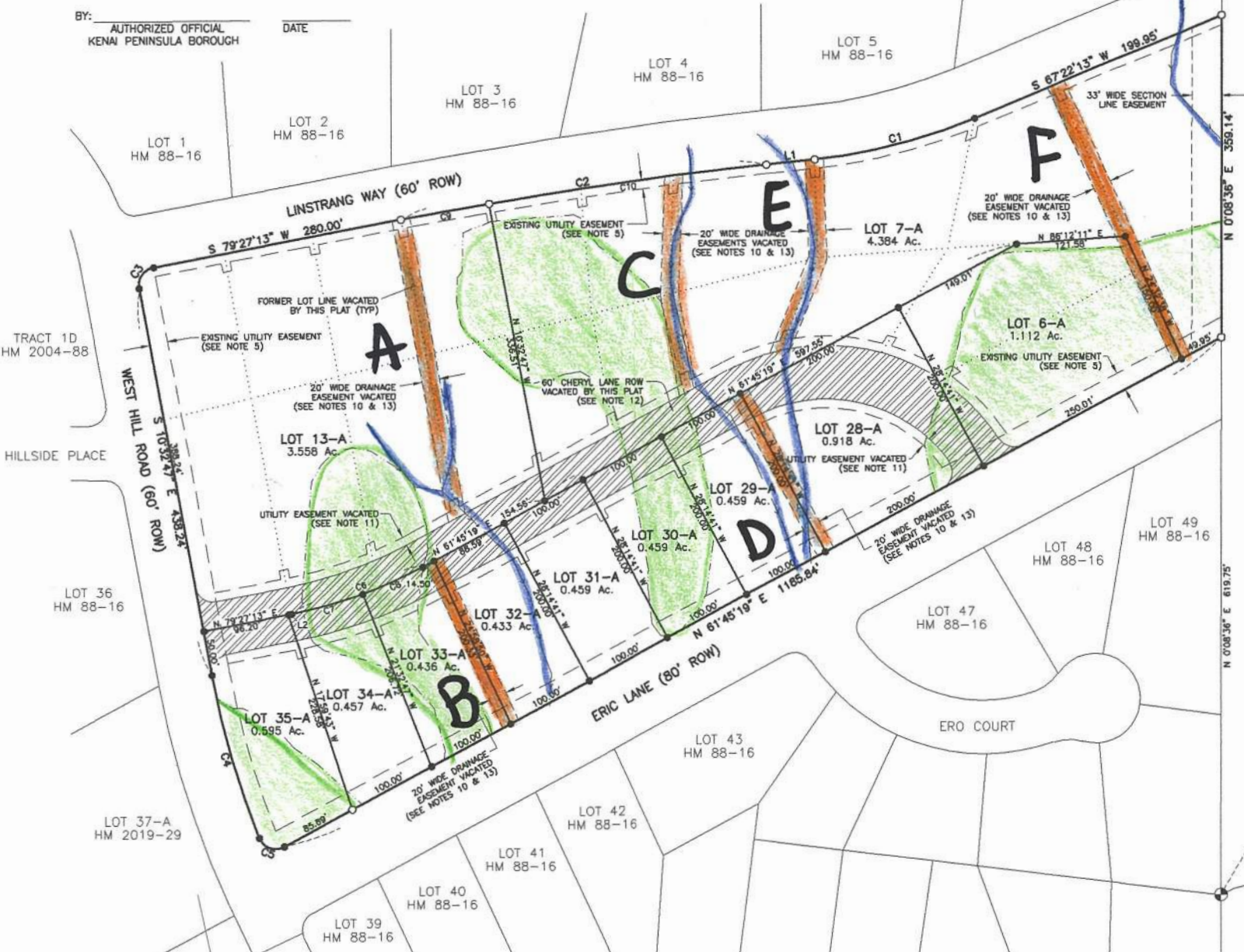
WATER RESOURCES MAP

PLAT APPROVAL

THIS PLAT WAS APPROVED BY THE KENAI PENINSULA BOROUGH PLANNING COMMISSION AT THE MEETING OF _____

BY: AUTHORIZED OFFICIAL
KENAI PENINSULA BOROUGH

DATE



LEGEND

- INDICATES 1917 2-1/2" BC GLO MONUMENT RECOVERED THIS SURVEY
- INDICATES PRIMARY MONUMENT RECOVERED THIS SURVEY AS DESCRIBED
- INDICATES 5/8" REBAR WITH 1-1/2" ALCAP (NO LS# OR DATE) RECOVERED THIS SURVEY
- INDICATES 5/8" X 30" REBAR WITH 2" ALCAP (7538-S, 2020) SET THIS SURVEY
- INDICATES LIMIT OF POSSIBLE LOW WET AREAS PER KENAI WATERSHED FORUM WETLANDS ASSESSMENT
- INDICATES APPROXIMATE CENTERLINE OF DRAINAGE

LINE TABLE

LINE	BEARING	DISTANCE
L1	S 84°12'35" W	54.07'
L2	N 79°27'13" E	3.92'

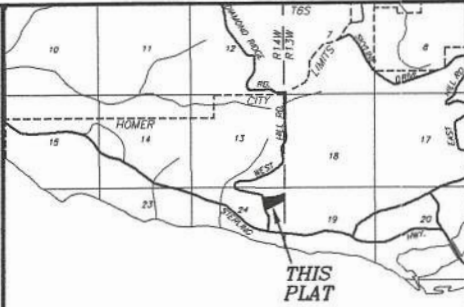
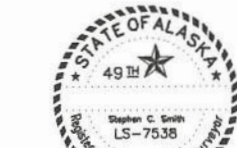
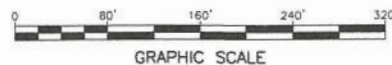
CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	CHORD BRNG	CHORD DIST
C1	16°50'22"	628.17'	184.62'	S 75°47'24" W	183.96'
C2	4°45'22"	4970.00'	412.56'	S 81°49'54" W	412.44'
C3	90°00'00"	20.00'	31.42'	S 34°27'13" W	28.28'
C4	11°09'00"	970.00'	188.77'	S 16°07'17" E	188.47'
C5	96°32'54"	20.00'	33.70'	S 89°58'14" E	29.85'
C6	17°41'54"	501.62'	154.33'	S 70°36'16" E	154.33'
C7	92°11'16"	501.62'	81.91'	S 74°46'35" E	81.81'
C8	8°20'38"	501.62'	73.05'	S 55°55'38" E	72.98'
C9	1°09'05"	4970.00'	99.87'	S 90°01'45" E	99.87'
C10	3°36'17"	4970.00'	312.69'	N 92°24'26" E	312.64'

WASTEWATER DISPOSAL

PLANS FOR WASTEWATER DISPOSAL THAT MEET REGULATORY REQUIREMENTS ARE ON FILE AT THE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.

SURVEYOR LICENSE # DATE



CERTIFICATE OF OWNERSHIP

WE HEREBY CERTIFY THAT PETSKA COMMUNITY PROPERTY TRUST IS THE OWNER OF THE REAL PROPERTY SHOWN AND DESCRIBED HEREON, THAT ON BEHALF OF PETSKA COMMUNITY PROPERTY TRUST WE HEREBY ADOPT THIS PLAN OF SUBDIVISION, AND BY OUR FREE CONSENT DEDICATE ALL RIGHTS OF WAY AND PUBLIC AREAS TO PUBLIC USE, AND GRANT ALL EASEMENTS TO THE USE SHOWN HEREON.

PAT W. MILLER
ORIGINAL LOTS 7-12 AND 22-25
2020 NORTH STAR, APT. 1
ANCHORAGE, ALASKA 99503

ERO STEVE WALLI
ORIGINAL LOTS 13-16 AND 18-21
35910 NORTH FORK ROAD
ANCHOR POINT, AK 99556

BRENT GUSTAVE JOHNSON
ORIGINAL LOTS 26-31
20773 PORCUPINE LANE
CLAM GULCH, AK 99568

JUDITH ARLENE JOHNSON
ORIGINAL LOTS 26-31
20773 PORCUPINE LANE
CLAM GULCH, AK 99568

AARON WEISSER
ORIGINAL LOT 32
3677 FOREST GLEN DRIVE
HOMER, ALASKA 99603

JENNY WEISSER
ORIGINAL LOT 32
3677 FOREST GLEN DRIVE
HOMER, ALASKA 99603

EUGENE P. DOBRZYNSKI
TRUSTEE OF EUGENE P. DOBRZYNSKI DECLARATION OF TRUST
ORIGINAL LOTS 33-35
288 SEASON DRIVE
FERNLEY NV 89408

HOMER RECORDING DISTRICT KPB FILE No. 2020-???

LILLIAN WALLI ESTATE
2020 REPLAT

THE VACATION OF THE CHERYL LANE RIGHT-OF-WAY AND THE RECONFIGURATION OF LOTS 7-16 AND 18-35, LILLIAN WALLI ESTATE (HM 88-16)

LOCATED WITHIN THE NE 1/4 NE1/4, SEC 24, T. 6 S., R. 13 W., SEWARD MERIDIAN, CITY OF HOMER, KENAI PENINSULA BOROUGH, THIRD JUDICIAL DISTRICT, ALASKA CONTAINING 13.269 ACRES

OWNERS:
ERO STEVE WALLI
35910 NORTH FORK ROAD ANCHOR POINT, AK 99556
PAT W. MILLER
2020 NORTH STAR, APT. 1 ANCHORAGE, AK 99503
BRENT G. AND JUDITH A. JOHNSON
20773 PORCUPINE LANE CLAM GULCH, AK 99568
AARON WEISSER
3677 FOREST GLEN DRIVE HOMER, AK 99603
EUGENE P. DOBRZYNSKI DECLARATION OF TRUST
288 SEASON DRIVE FERNLEY, NV 89408

GEOVERA, LLC

PO BOX 3235
HOMER ALASKA 99603
(907) 399-4345
EMAIL: scsmith@gci.net

DRAWN BY: SCS DATE: APRIL 2020 SCALE: 1" = 80'
CHK BY: SCS JOB #2020-23 SHEET 1 OF 1

**PUBLIC HEARING NOTICE
&
NOTICE OF SUBDIVISION**

Public notice is hereby given that the City of Homer will hold a public hearing by the Homer Planning Commission on Wednesday, May 20, 2020 at 5:30 p.m. via a virtual meeting webinar, on the following matter:

A proposal to vacate the Cheryl Lane right-of-way within Lillian Walli Estate NE ¼ NE ¼, Sec. 24, T. 6 S., R. 13 W., S.M. (HM 88-16).

Public notice is hereby given that a preliminary plat has been received proposing to subdivide or replat property. You are being sent this notice because you are an affected property owner within 500 feet of a proposed subdivision and are invited to comment.

Proposed subdivision under consideration is described as follows:

Lillian Walli Estate 2020 Replat Preliminary Plat

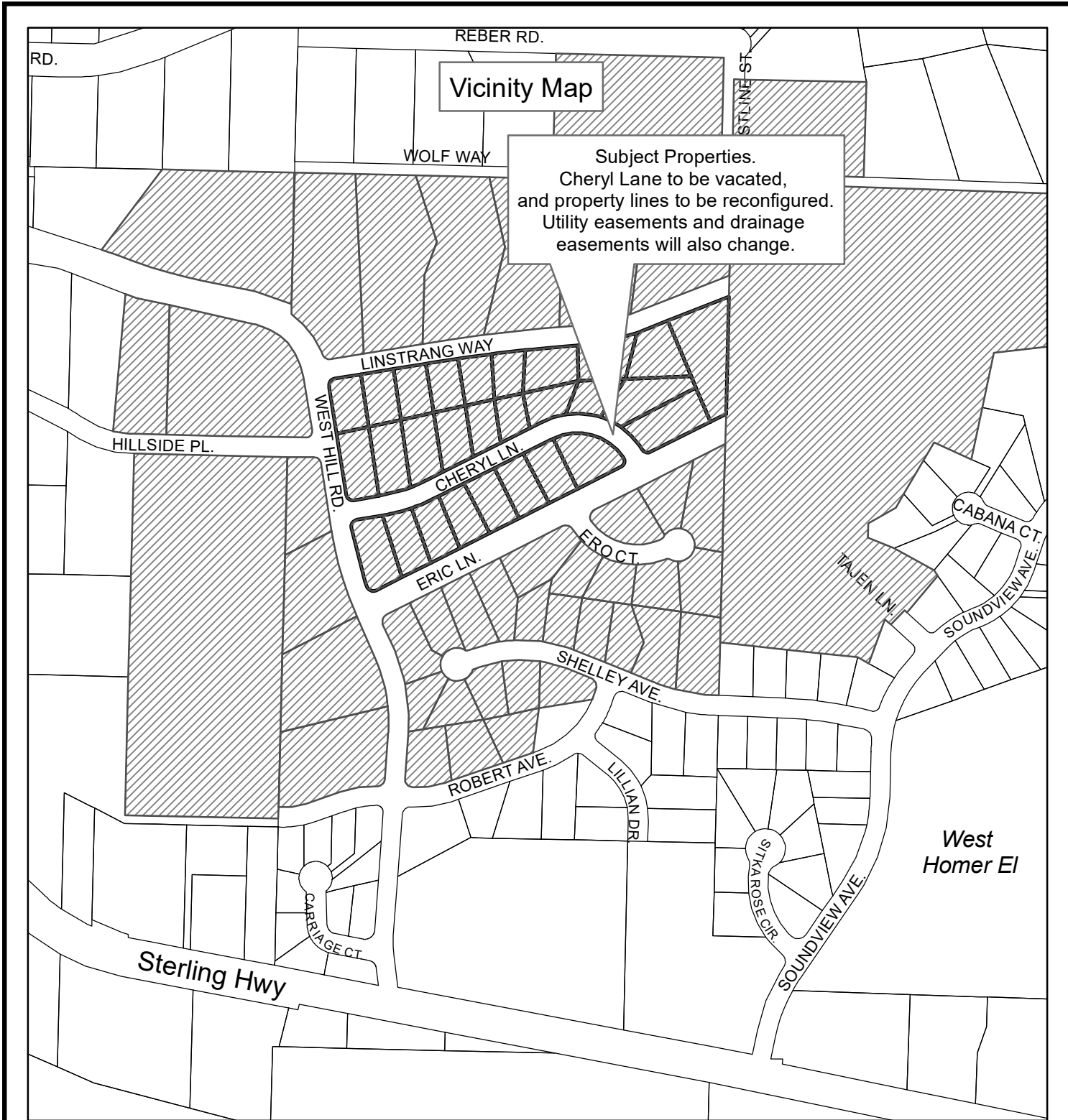
Anyone wishing to view the complete proposals or present testimony on these matters may do so by visiting the meeting page on the City's online calendar at <https://www.cityofhomer.ak.gov/calendar>. This webpage has all of the information for how to view and participate in the virtual meeting, including how to call-in for verbal testimony. The virtual meeting processes are in place for the duration of Governor Dunleavy's Health Mandate 011: Social Distancing.

If you have any questions or need additional information, please contact the Planning and Zoning Office at 235-3106 or the Clerk's Office at 235-3130.

NOTICE TO BE SENT TO PROPERTY OWNERS WITHIN 500 FEET OF PROPERTY.

.....

VICINITY MAP ON REVERSE



City of Homer
Planning and Zoning Department

5/6/2020

Lillian Walli Estate 2020 Replat Preliminary Plat

Marked lots are within 500 feet
and property owners notified.

0 250 500 1,000 Feet



Disclaimer:
It is expressly understood the City of
Homer, its council, board,
departments, employees and agents are
not responsible for any errors or omissions
contained herein, or deductions, interpretations
or conclusions drawn therefrom.

NOTES

1. BASIS OF BEARING FOR THIS SURVEY WAS DETERMINED BY A HIGH PRECISION GPS SURVEY USING TOPCON DUAL-FREQUENCY HP40 V RECEIVERS, DIFFERENTIALLY CORRECTED AND PROCESSED WITH MAGNET OFFICE VERSION 3.1 SOFTWARE. NAD83 ALASKA STATE PLANE GRID COORDINATES (U.S. SURVEY FEET) OBTAINED FROM THE GPS. OBSERVATIONS WERE BASED ON THE NOS PUBLISHED VALUES FOR FEDERAL BASE NETWORK CONTROL STATION "HOMAR" (PD 110193).

2. TRUE BEARINGS AND DISTANCES WERE DETERMINED BY ROTATING AND SCALING FROM GRID USING FEDERAL BASE NETWORK CONTROL STATION "HOMAR" AS A SCALING POINT. TRUE BEARINGS WERE DETERMINED BY ROTATING GRID INVERSE AZIMUTHS $-117^{\circ}13.4'$. TRUE DISTANCES WERE OBTAINED BY DIVIDING GRID INVERSE DISTANCES BY 0.999986696.

3. THE RESULTING SCALED COORDINATES WERE TRANSLATED TO A LOCAL COORDINATE SYSTEM BASED ON FEDERAL BASE NETWORK CONTROL STATION "HOMAR" $N=100,000$ $E=100,000$. ALL COORDINATE VALUES REPRESENT GROUND DISTANCES IN U.S. SURVEY FEET ORIENTED TO TRUE NORTH.

4. ALL LOTS WITHIN THIS SUBDIVISION ARE SUBJECT TO CITY OF HOMER ZONING REGULATIONS. REFER TO THE HOMER CITY CODE FOR ALL CURRENT SETBACK AND SITE DEVELOPMENT RESTRICTIONS. OWNERS SHOULD CHECK WITH THE CITY OF HOMER PLANNING DEPARTMENT PRIOR TO DEVELOPMENT ACTIVITIES.

5. PER THE PARENT PLAT (HM 88-16), THE 10 FEET FRONTING THE UNSTRANG WAY RIGHT-OF-WAY AND THE FRONT 20 FEET WITHIN 5 FEET OF THE SIDE LOT LINES IS A UTILITY EASEMENT. THE 20 FEET FRONTING THE WEST HILL ROAD AND ERIC LANE RIGHT-OF-WAYS IS A UTILITY EASEMENT. NO PERMANENT STRUCTURE SHALL BE CONSTRUCTED OR PLACED WITHIN A UTILITY EASEMENT WHICH WOULD INTERFERE WITH THE ABILITY OF A UTILITY TO USE THE EASEMENT.

6. ANY PERSON DEVELOPING THE PROPERTY IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LOCAL, STATE, AND FEDERAL PERMITS, INCLUDING A U.S. ARMY CORPS OF ENGINEERS WETLAND DETERMINATION IF APPLICABLE.

7. THESE LOTS ARE AFFECTED BY AN EASEMENT OF RECORD WITH NO DEFINED LOCATION GRANTED TO HOMER ELECTRIC ASSOCIATION (BK17, PG 328 HRD).

8. THESE LOTS ARE SERVED BY CITY OF HOMER WATER AND SEWER.

9. ACCESS TO STATE MAINTAINED WEST HILL ROAD IS PROHIBITED WITHOUT PRIOR WRITTEN APPROVAL FROM THE ALASKA STATE DOT.

10. EXISTING CREEKS ARE SUBJECT TO DRAINAGE EASEMENT(S) PER HOMER CITY CODE. APPROXIMATE LOCATIONS OF DRAINAGES ARE SHOWN.

11. VACATION OF THE UTILITY EASEMENT ADJOINING THE CHERYL LANE RIGHT-OF-WAY PER THE PARENT PLAT (HM 88-16) WAS APPROVED BY THE KENAI PENINSULA BOROUGH PLANNING COMMISSION AT THE MEETING OF ??? AND BY THE HOMER CITY COUNCIL ON ??? WITH THE VACATED PORTIONS ATTACHING TO THE ADJACENT PARCELS IN COMPLIANCE WITH KPB 20.10.150 AND AS 28.40.160 UNDER KPB 20.10.060, AND IN ACCORDANCE WITH AGREEMENTS BETWEEN OWNERS FOR DISTRIBUTION OF ACREAGE.

12. THE VACATION OF THE CHERYL LANE RIGHT-OF-WAY WAS APPROVED BY THE KENAI PENINSULA BOROUGH PLANNING COMMISSION AT THE MEETING OF ??? AND BY THE HOMER CITY COUNCIL ON ??? WITH THE VACATED PORTIONS ATTACHING TO THE ADJACENT PARCELS IN COMPLIANCE WITH KPB 20.10.150 AND AS 28.40.160 UNDER KPB 20.10.060, AND IN ACCORDANCE WITH AGREEMENTS BETWEEN OWNERS FOR DISTRIBUTION OF ACREAGE.

13. VACATION OF THE 20' WIDE DRAINAGE EASEMENTS (AS SHOWN HEREON) PER THE PARENT PLAT (HM 88-16) WAS APPROVED BY THE KENAI PENINSULA BOROUGH PLANNING COMMISSION AT THE MEETING OF ??? AND BY THE HOMER CITY COUNCIL ON ???.

14. LOTS 33, 34 AND 35 ARE AFFECTED BY TERMS, CONDITIONS, PROVISIONS AND COVENANTS OF THE EUGENE P. DOBRZYNSKI DECLARATION OF TRUST.

NOTARY'S ACKNOWLEDGMENT

FOR: AARON WEISSER AND JENNY WEISSER

ACKNOWLEDGED BEFORE ME THIS _____

DAY OF _____, 2020.

NOTARY PUBLIC FOR ALASKA _____

MY COMMISSION EXPIRES: _____

NOTARY'S ACKNOWLEDGMENT

FOR: EUGENE P. DOBRZYNSKI

ACKNOWLEDGED BEFORE ME THIS _____

DAY OF _____, 2020.

NOTARY PUBLIC FOR ALASKA _____

MY COMMISSION EXPIRES: _____

NOTARY'S ACKNOWLEDGMENT

FOR: PAT W. MILLER

ACKNOWLEDGED BEFORE ME THIS _____

DAY OF _____, 2020.

NOTARY PUBLIC FOR ALASKA _____

MY COMMISSION EXPIRES: _____

PLAT APPROVAL

THIS PLAT WAS APPROVED BY THE KENAI PENINSULA BOROUGH PLANNING COMMISSION AT THE MEETING OF _____

BY: _____ AUTHORIZED OFFICIAL
KENAI PENINSULA BOROUGH

DATE _____

NOTARY'S ACKNOWLEDGMENT

FOR: ERO STEVE WALLI

ACKNOWLEDGED BEFORE ME THIS _____

DAY OF _____, 2020.

NOTARY PUBLIC FOR ALASKA _____

MY COMMISSION EXPIRES: _____

NOTARY'S ACKNOWLEDGMENT

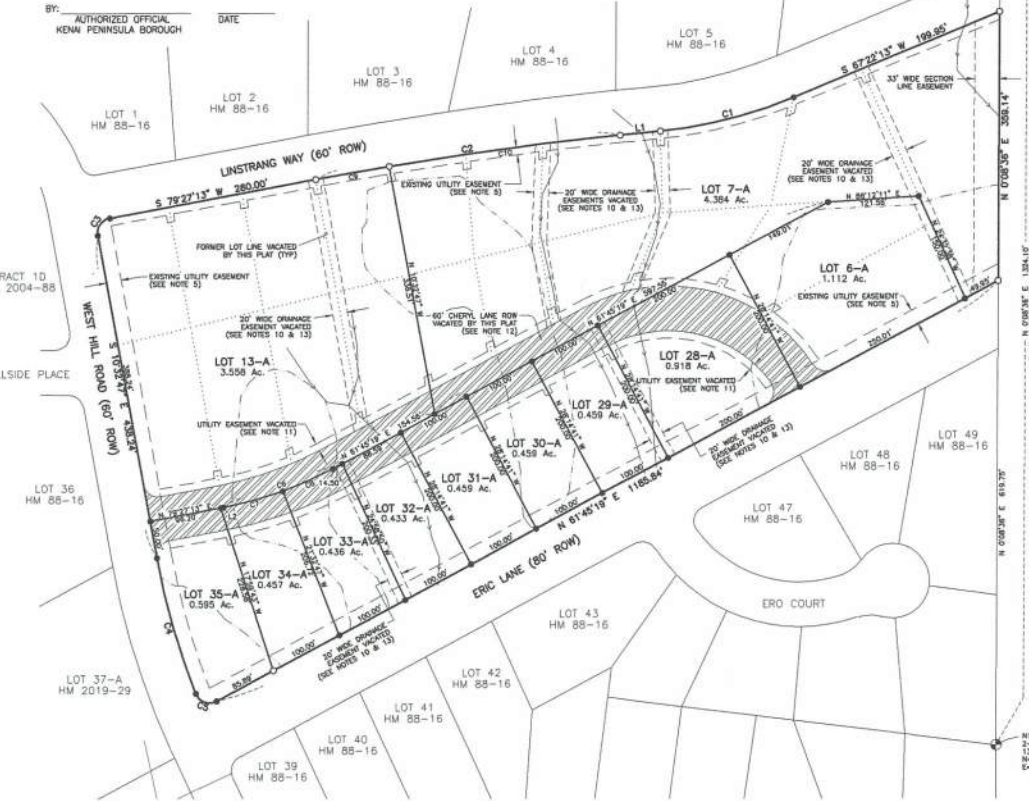
FOR: BRENT GUSTAVE JOHNSON AND JUDITH ARLENE JOHNSON

ACKNOWLEDGED BEFORE ME THIS _____

DAY OF _____, 2020.

NOTARY PUBLIC FOR ALASKA _____

MY COMMISSION EXPIRES: _____



COR. SECS. 13/18/19/24
N=103,883.045
E=85,170.4452



CERTIFICATE OF OWNERSHIP

WE HEREBY CERTIFY THAT PETSKA COMMUNITY PROPERTY TRUST IS THE OWNER OF THE REAL PROPERTY SHOWN AND DESCRIBED HEREON, THAT ON BEHALF OF PETSKA COMMUNITY PROPERTY TRUST WE HEREBY ADOPT THIS PLAN OF SUBDIVISION, AND BY OUR FREE CONSENT DEDICATE ALL RIGHTS OF WAY AND PUBLIC AREAS TO PUBLIC USE, AND GRANT ALL EASEMENTS TO THE USE SHOWN HEREON.

PAT W. MILLER
ORIGINAL LOTS 7-12 AND 22-25
2020 NORTH STAR, APT. 1
ANCHORAGE, ALASKA 99503

ERO STEVE WALLI
ORIGINAL LOTS 13-16 AND 18-21
35910 NORTH FORK ROAD
ANCHOR POINT, AK 99556

BRENT GUSTAVE JOHNSON
ORIGINAL LOTS 26-31
20773 PORCUPINE LANE
CLAM GULCH, AK 99568

JUDITH ARLENE JOHNSON
ORIGINAL LOTS 26-31
20773 PORCUPINE LANE
CLAM GULCH, AK 99568

AARON WEISSER
ORIGINAL LOT 32
3677 FOREST GLEN DRIVE
HOMER, ALASKA 99603

JENNY WEISSER
ORIGINAL LOT 32
3677 FOREST GLEN DRIVE
HOMER, ALASKA 99603

EUGENE P. DOBRZYNSKI
TRUSTEE OF EUGENE P. DOBRZYNSKI DECLARATION OF TRUST
ORIGINAL LOTS 33-35
288 SEASON DRIVE
FERNLEY, NV 89408

HOMER RECORDING DISTRICT KPB FILE No. 2020-???

LILLIAN WALLI ESTATE 2020 REPLAT

THE VACATION OF THE CHERYL LANE RIGHT-OF-WAY AND THE RECONFIGURATION OF LOTS 7-16 AND 18-35, LILLIAN WALLI ESTATE (HM 88-16)

LOCATED WITHIN THE NE 1/4 NE1/4, SEC 24, T. 6 S., R. 13 W., SEWARD MERIDIAN, CITY OF HOMER, KENAI PENINSULA BOROUGH, THIRD JUDICIAL DISTRICT, ALASKA CONTAINING 13.269 ACRES

ERO STEVE WALLI
35910 NORTH FORK ROAD ANCHOR POINT, AK 99556
PAT W. MILLER
2020 NORTH STAR, APT. 1 ANCHORAGE, AK 99503
BRENT G. AND JUDITH A. JOHNSON
20773 PORCUPINE LANE CLAM GULCH, AK 99568
AARON WEISSER
3677 FOREST GLEN DRIVE HOMER, AK 99603
EUGENE P. DOBRZYNSKI DECLARATION OF TRUST
288 SEASON DRIVE, FERNLEY, NV 89408

GEOVERA, LLC

PO BOX 3235
HOMER ALASKA 99603
(907) 359-4345
EMAIL: zscsmith@gcl.net

DRAWN BY: SCJ DATE: APRIL 2020 SCALE: 1" = 80'
CHK BY: SCJ JOB #2020-23 SHEET 1 OF 1

LINE TABLE

LINE	BEARING	DISTANCE
L1	S 84°12'35" W	54.07'
L2	N 74°22'11" E	1.392'

CURVE TABLE

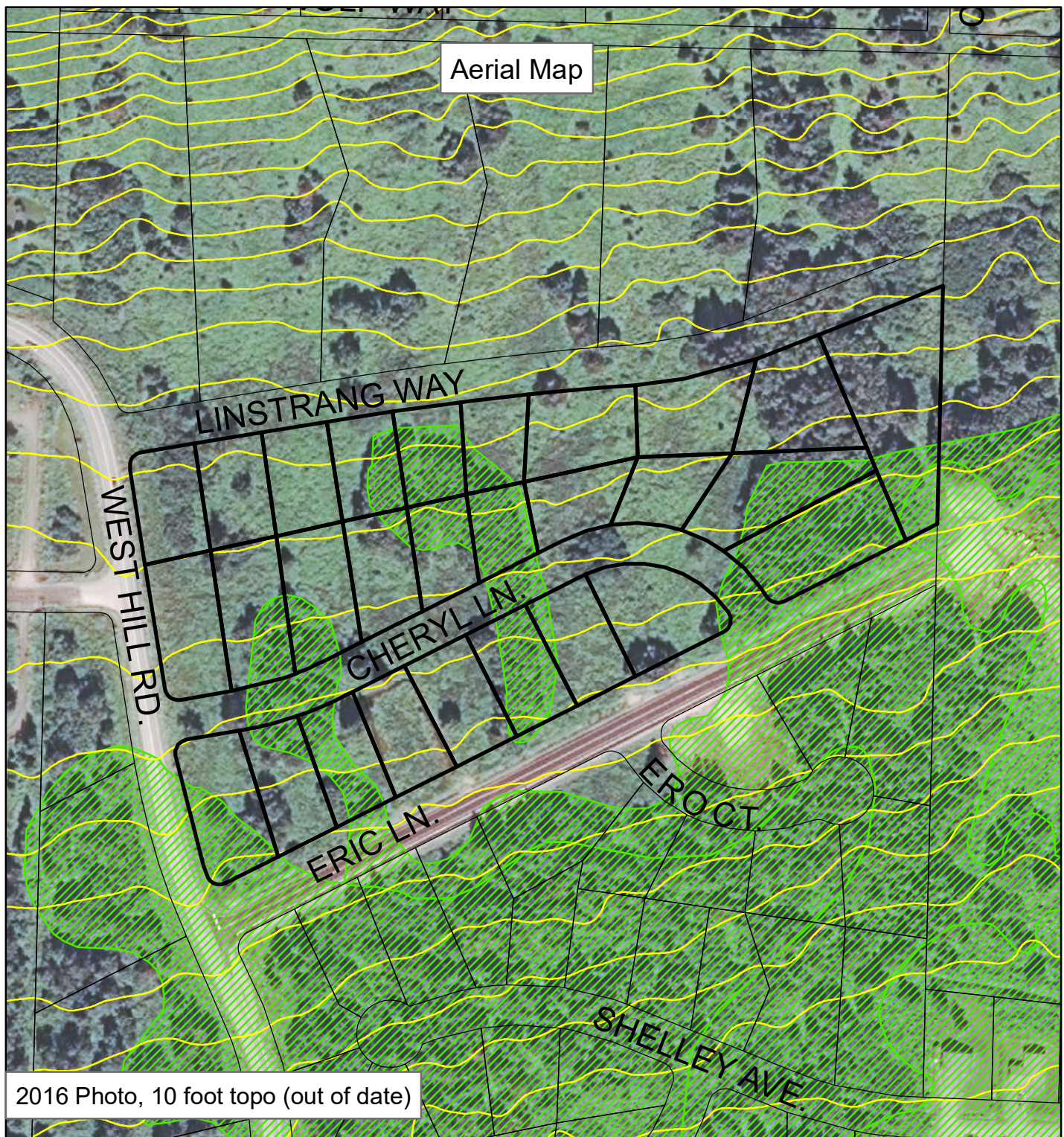
CURVE	DELTA	RADIUS	LENGTH	CHORD BRNG	CHORD DIST
C1	16°59'28"	626.17	184.58	S 75°47'24" W	183.94
C2	4°45'59"	4970.00	412.58	S 81°49'54" W	412.44
C3	1°01'00"	320.00	188.77	S 16°07'17" E	188.47
C4	96°24'54"	20.00	33.77	S 62°50'14" E	28.85
C5	1°44'34"	134.95	N 70°50'18" E	134.33	134.33
C6	92°11'16"	301.62	81.50	N 74°46'35" E	81.81
C7	92°02'27"	301.62	N 68°55'38" E	71.96	71.96
C8	1°09'00"	4970.00	59.87	N 80°01'45" E	59.87
C9	1°09'00"	4970.00	312.69	N 82°24'28" E	312.64

WASTEWATER DISPOSAL

PLANS FOR WASTEWATER DISPOSAL THAT MEET REGULATORY REQUIREMENTS ARE ON FILE AT THE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.

SURVEYOR _____ LICENSE # _____ DATE _____





City of Homer
Planning and Zoning Department

5/6/2020

Lillian Walli Estate 2020 Replat Preliminary Plat

0 250 500 Feet

105



*Disclaimer:
It is expressly understood the City of
Homer, its council, board,
departments, employees and agents are
not responsible for any errors or omissions
contained herein, or deductions, interpretations
or conclusions drawn therefrom.*

PARCEL_ID	ACREAGE	LEGAL
17524142	0.580000000000	T 6S R 14W SEC 24 SEWARD MERIDIAN HM 0880016 LILLIAN WALLI ESTATE SUB LOT 27
17524143	0.550000000000	T 6S R 14W SEC 24 SEWARD MERIDIAN HM 0880016 LILLIAN WALLI ESTATE SUB LOT 26
17524144	0.310000000000	T 6S R 14W SEC 24 SEWARD MERIDIAN HM 0880016 LILLIAN WALLI ESTATE SUB LOT 25
17524145	0.310000000000	T 6S R 14W SEC 24 SEWARD MERIDIAN HM 0880016 LILLIAN WALLI ESTATE SUB LOT 24
17524146	0.250000000000	T 6S R 14W SEC 24 SEWARD MERIDIAN HM 0880016 LILLIAN WALLI ESTATE SUB LOT 23
17524147	0.300000000000	T 6S R 14W SEC 24 SEWARD MERIDIAN HM 0880016 LILLIAN WALLI ESTATE SUB LOT 22
17524148	0.390000000000	T 6S R 14W SEC 24 SEWARD MERIDIAN HM 0880016 LILLIAN WALLI ESTATE SUB LOT 21
17524149	0.450000000000	T 6S R 14W SEC 24 SEWARD MERIDIAN HM 0880016 LILLIAN WALLI ESTATE SUB LOT 20
17524150	0.490000000000	T 6S R 14W SEC 24 SEWARD MERIDIAN HM 0880016 LILLIAN WALLI ESTATE SUB LOT 19
17524151	0.480000000000	T 6S R 14W SEC 24 SEWARD MERIDIAN HM 0880016 LILLIAN WALLI ESTATE SUB LOT 18
17524152	0.520000000000	T 6S R 14W SEC 24 SEWARD MERIDIAN HM 0880016 LILLIAN WALLI ESTATE SUB LOT 35
17524153	0.400000000000	T 6S R 14W SEC 24 SEWARD MERIDIAN HM 0880016 LILLIAN WALLI ESTATE SUB LOT 34
17524154	0.370000000000	T 6S R 14W SEC 24 SEWARD MERIDIAN HM 0880016 LILLIAN WALLI ESTATE SUB LOT 33
17524155	0.370000000000	T 6S R 14W SEC 24 SEWARD MERIDIAN HM 0880016 LILLIAN WALLI ESTATE SUB LOT 32
17524156	0.390000000000	T 6S R 14W SEC 24 SEWARD MERIDIAN HM 0880016 LILLIAN WALLI ESTATE SUB LOT 31
17524157	0.390000000000	T 6S R 14W SEC 24 SEWARD MERIDIAN HM 0880016 LILLIAN WALLI ESTATE SUB LOT 30
17524158	0.390000000000	T 6S R 14W SEC 24 SEWARD MERIDIAN HM 0880016 LILLIAN WALLI ESTATE SUB LOT 29
17524159	0.520000000000	T 6S R 14W SEC 24 SEWARD MERIDIAN HM 0880016 LILLIAN WALLI ESTATE SUB LOT 28
17524160	0.380000000000	T 6S R 14W SEC 24 SEWARD MERIDIAN HM 0880016 LILLIAN WALLI ESTATE SUB LOT 16
17524161	0.370000000000	T 6S R 14W SEC 24 SEWARD MERIDIAN HM 0880016 LILLIAN WALLI ESTATE SUB LOT 15
17524162	0.360000000000	T 6S R 14W SEC 24 SEWARD MERIDIAN HM 0880016 LILLIAN WALLI ESTATE SUB LOT 14
17524163	0.350000000000	T 6S R 14W SEC 24 SEWARD MERIDIAN HM 0880016 LILLIAN WALLI ESTATE SUB LOT 13
17524164	0.320000000000	T 6S R 14W SEC 24 SEWARD MERIDIAN HM 0880016 LILLIAN WALLI ESTATE SUB LOT 12
17524165	0.300000000000	T 6S R 14W SEC 24 SEWARD MERIDIAN HM 0880016 LILLIAN WALLI ESTATE SUB LOT 11
17524166	0.450000000000	T 6S R 14W SEC 24 SEWARD MERIDIAN HM 0880016 LILLIAN WALLI ESTATE SUB LOT 10
17524167	0.440000000000	T 6S R 14W SEC 24 SEWARD MERIDIAN HM 0880016 LILLIAN WALLI ESTATE SUB LOT 9
17524168	0.530000000000	T 6S R 14W SEC 24 SEWARD MERIDIAN HM 0880016 LILLIAN WALLI ESTATE SUB LOT 8
17524169	0.950000000000	T 6S R 14W SEC 24 SEWARD MERIDIAN HM 0880016 LILLIAN WALLI ESTATE SUB LOT 7



Sidewalk and bike lanes on Eric Lane,
looking west toward West Hill



Catch Basin



Approximately Lot 29-A. No defined creek or ditch present up hill. Water appears to seep out of hillside. The storm drain system drains toward the fire hydrant from both directions and then crosses south under Eric Lane toward Ero Ct.





City of Homer

www.cityofhomer-ak.gov

Planning

491 East Pioneer Avenue
Homer, Alaska 99603

Planning@ci.homer.ak.us

(p) 907-235-3106

(f) 907-235-3118

Staff Report PL 20-31

TO: Homer Planning Commission
THROUGH: Rick Abboud, City Planner
FROM: Julie Engebretsen, Deputy City Planner
DATE: May 20, 2020
SUBJECT: Vacation of utility and drainage easements within L Walli Estates
Subdivision

Requested action: Recommend approval of the utility and drainage easement vacations. This action is regarding ONLY the vacation of easements, not the granting of new easements or any plat notes. Any request for new easements will be addressed in the preliminary plat staff report.

Introduction

The applicant is requesting the vacation of the utility easements that run parallel to Cheryl Lane. With the vacation of Cheryl Lane, these easements will no longer be needed.

The applicant is also requesting the vacation of drainage easements that were granted in the original plat. The local drainage system does always not run within these easements. The actual drainage pattern is shown on the plat. Staff has labeled the drainage easements– see the “Water Resources Map.” HCC 21.50.020 (b)(2) requires structures be a minimum of 15 feet of the top of the bank of a defined channel.

Planning Staff Comments: No objection to the vacations.

Public Works Comments: No objections to the vacations of the utility easement.

Staff Recommendation

1. Recommend the vacation of the utility easements that run parallel to Cheryl Lane, in coordination with the vacation of Cheryl Lane.
2. Recommend the vacation of the drainage easements

Attachments

Petition

Water Resources Map



Kenai Peninsula Borough Planning Department
144 North Binkley
Soldotna, Alaska 99669-7599
Toll free within the Borough 1-800-478-4441, extension 2200
(907) 714-2200

Petition to Vacate Utility Easement

No Public Hearing Required

Submit completed form to the Kenai Peninsula Borough Planning Department, 144 North Binkley St., Soldotna, AK 99669

Upon receipt of complete application with all required attachments the vacation will be scheduled for Planning Commission action. The petitioner must secure and submit written comments from utility companies. If the easement is within city limits; secure and submit city's written comments. **The completed petition, with all required attachments, accompanied by a \$75.00 non-refundable fee, must be submitted to the Planning Department a minimum of thirty (30) days prior to the meeting at which the Planning Commission will take action.**

☒ Fees - \$75.00 non-refundable fee attached.

To accomplish an approved vacation; a Planning Commission Resolution must be filed with the State Recorder to enter the vacation into the public records unless the vacation is accomplished by plat. Petitioner must pay filing fees (usually \$22-\$27).

☒ Utility easement requested to be vacated was granted by plat of Subdivision, filed as Plat No. 88-16 in Homer Recording District.

☐ Utility easement proposed to be vacated was granted by (specify type of document) as recorded in Book _____ Page _____ of the _____ Recording District. (Copy of recorded document must be submitted with petition)

☐ Comments from _____ Electric Association attached.

☐ Comments from _____ Gas Company attached.

☐ Comments from _____ Telephone Company attached.

☐ Comment from _____ Cable Company attached.

Please note comments or no comments on the sketch or plat that is to be submitted with the petition.

☐ Comments from the KPB Roads Department attached if applicable.

☐ Comments from City of Homer attached.

☐ One copy of plat or map (sketch) showing area proposed to be vacated. If easement was granted by document; one copy of recorded document must be submitted.

☐ If an existing structure is encroaching into easement; As-Built showing encroachment must be attached.

Is easement being used by utility company? ☐ Yes ☒ No
If yes, which utility _____

The petitioner must provide reasonable justification for the vacation. Reason for vacating:

Petitioners are vacating lot lines and right-of-way under an agreement with the City of Homer. These utility easements are adjoining the right-of-way to be vacated

The petition must be signed (written signature) by owners of the land subject to the easement proposed to be vacated. Each must include mail address and legal description of his / her property.

Submitted by: Signature _____ As ☐ Petitioner ☐ Representative

Name: _____

Address: _____

Phone: _____

Petitioners:

Signature Brent Johnson
Name Brent Johnson
Address 20773 Porcupine Ln.
Clam Gulch AK
99568

Owner of Lot 26, 27, 28, 29, 30

Signature Judy Johnson
Name Judy Johnson
Address 20773 Porcupine Ln
Clam Gulch AK 99568

Owner of 26, 27, 28, 29, 30, 31

Signature Ed S. Walki
Name ED S. WALKI
Address 35910 WORTH FORK RD
ANCHOR. POINT ALASKA 99556
13 14 15 16 18 19 20 21

Owner of _____

Signature Pat W Miller
Name Pat W Miller
Address 2220 NORTH STAR ST #1
ANCHORAGE AK 99503

Owner of LOTS 7 8 9 10 11 12 22 23 24 25

NOTES

1. BASIS OF BEARING FOR THIS SURVEY WAS DETERMINED BY A HIGH PRECISION GPS SURVEY USING TOPCON DUAL-FREQUENCY HiPer V RECEIVERS, DIFFERENTIALLY CORRECTED AND PROCESSED WITH MAGNET OFFICE VERSION 3.1 SOFTWARE. NAD83 ALASKA STATE PLANE GRID COORDINATES (U.S. SURVEY FEET) OBTAINED FROM THE GPS. OBSERVATIONS WERE BASED ON THE NGS PUBLISHED VALUES FOR FEDERAL BASE NETWORK CONTROL STATION "HOMAIR" (PID T10155).

2. TRUE BEARINGS AND DISTANCES WERE DETERMINED BY ROTATING AND SCALING FROM GRID USING FEDERAL BASE NETWORK CONTROL STATION "HOMAIR" AS A SCALING POINT. TRUE BEARINGS WERE DETERMINED BY ROTATING GRID INVERSE AZIMUTHS -1°17'13.4". TRUE DISTANCES WERE OBTAINED BY DIVIDING GRID INVERSE DISTANCES BY 0.999986696.

3. THE RESULTING SCALED COORDINATES WERE TRANSLATED TO A LOCAL COORDINATE SYSTEM BASED ON FEDERAL BASE NETWORK CONTROL STATION "HOMAIR" N=100,000 E=100,000. ALL COORDINATE VALUES REPRESENT GROUND DISTANCES IN U.S. SURVEY FEET ORIENTED TO TRUE NORTH.

4. ALL LOTS WITHIN THIS SUBDIVISION ARE SUBJECT TO CITY OF HOMER ZONING REGULATIONS. REFER TO THE HOMER CITY CODE FOR ALL CURRENT SETBACK AND SITE DEVELOPMENT RESTRICTIONS. OWNERS SHOULD CHECK WITH THE CITY OF HOMER PLANNING DEPARTMENT PRIOR TO DEVELOPMENT ACTIVITIES.

5. PER THE PARENT PLAT (HM 88-16), THE 10 FEET FRONTING THE LINSTRANG WAY RIGHT-OF-WAY AND THE FRONT 20 FEET WITHIN 5 FEET OF THE SIDE LOT LINES IS A UTILITY EASEMENT. THE 20 FEET FRONTING THE WEST HILL ROAD AND ERIC LANE RIGHT-OF-WAYS IS A UTILITY EASEMENT. NO PERMANENT STRUCTURE SHALL BE CONSTRUCTED OR PLACED WITHIN A UTILITY EASEMENT WHICH WOULD INTERFERE WITH THE ABILITY OF A UTILITY TO USE THE EASEMENT.

6. ANY PERSON DEVELOPING THE PROPERTY IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LOCAL, STATE, AND FEDERAL PERMITS, INCLUDING A U.S. ARMY CORPS OF ENGINEERS WETLAND DETERMINATION IF APPLICABLE.

7. THESE LOTS ARE AFFECTED BY AN EASEMENT OF RECORD WITH NO DEFINED LOCATION GRANTED TO HOMER ELECTRIC ASSOCIATION (BK17, PG 328 HRD).

8. THESE LOTS ARE SERVED BY CITY OF HOMER WATER AND SEWER.

9. ACCESS TO STATE MAINTAINED WEST HILL ROAD IS PROHIBITED WITHOUT PRIOR WRITTEN APPROVAL FROM THE ALASKA STATE DOT.

10. EXISTING CREEKS ARE SUBJECT TO DRAINAGE EASEMENT(S) PER HOMER CITY CODE. APPROXIMATE LOCATIONS OF DRAINAGES ARE SHOWN.

11. VACATION OF THE UTILITY EASEMENT ADJOINING THE CHERYL LANE RIGHT-OF-WAY PER THE PARENT PLAT (HM 88-16) WAS APPROVED BY THE KENAI PENINSULA BOROUGH PLANNING COMMISSION AT THE MEETING OF ??? AND BY THE HOMER CITY COUNCIL ON ???.

12. THE VACATION OF THE CHERYL LANE RIGHT-OF-WAY WAS APPROVED BY THE KENAI PENINSULA BOROUGH PLANNING COMMISSION AT THE MEETING OF ??? AND BY THE HOMER CITY COUNCIL ON ??? WITH THE VACATED PORTIONS ATTACHING TO THE ADJACENT PARCELS IN COMPLIANCE WITH KPB 20.70.150 AND AS 29.40.160 UNDER KPB 20.10.080, AND IN ACCORDANCE WITH AGREEMENTS BETWEEN OWNERS FOR DISTRIBUTION OF ACREAGE.

13. VACATION OF THE 20' WIDE DRAINAGE EASEMENTS (AS SHOWN HEREON) PER THE PARENT PLAT (HM 88-16) WAS APPROVED BY THE KENAI PENINSULA BOROUGH PLANNING COMMISSION AT THE MEETING OF ??? AND BY THE HOMER CITY COUNCIL ON ???.

14. LOTS 33, 34 AND 35 ARE AFFECTED BY TERMS, CONDITIONS, PROVISIONS AND COVENANTS OF THE EUGENE P. DOBRZYNSKI DECLARATION OF TRUST.

NOTARY'S ACKNOWLEDGMENT

FOR: AARON WEISSER AND JENNY WEISSER
ACKNOWLEDGED BEFORE ME THIS _____
DAY OF _____, 2020.

NOTARY PUBLIC FOR ALASKA

MY COMMISSION EXPIRES: _____

NOTARY'S ACKNOWLEDGMENT

FOR: EUGENE P. DOBRZYNSKI
ACKNOWLEDGED BEFORE ME THIS _____
DAY OF _____, 2020.

NOTARY PUBLIC FOR ALASKA

MY COMMISSION EXPIRES: _____

NOTARY'S ACKNOWLEDGMENT

FOR: PAT W. MILLER
ACKNOWLEDGED BEFORE ME THIS _____
DAY OF _____, 2020.

NOTARY PUBLIC FOR ALASKA

MY COMMISSION EXPIRES: _____

NOTARY'S ACKNOWLEDGMENT

FOR: ERO STEVE WALLI
ACKNOWLEDGED BEFORE ME THIS _____
DAY OF _____, 2020.

NOTARY PUBLIC FOR ALASKA

MY COMMISSION EXPIRES: _____

NOTARY'S ACKNOWLEDGMENT

FOR: BRENT GUSTAVE JOHNSON AND JUDITH ARLENE JOHNSON
ACKNOWLEDGED BEFORE ME THIS _____
DAY OF _____, 2020.

NOTARY PUBLIC FOR ALASKA

MY COMMISSION EXPIRES: _____

WATER RESOURCES MAP

PLAT APPROVAL

THIS PLAT WAS APPROVED BY THE KENAI PENINSULA BOROUGH PLANNING COMMISSION AT THE MEETING OF _____

BY: _____ DATE _____
AUTHORIZED OFFICIAL
KENAI PENINSULA BOROUGH



LEGEND

- INDICATES 1917 2-1/2" BC GLO MONUMENT RECOVERED THIS SURVEY
- INDICATES PRIMARY MONUMENT RECOVERED THIS SURVEY AS DESCRIBED
- INDICATES 5/8" REBAR WITH 1-1/2" ALCAP (NO LS# OR DATE) RECOVERED THIS SURVEY
- INDICATES 5/8" X 30" REBAR WITH 2" ALCAP (7538-S, 2020) SET THIS SURVEY
- INDICATES LIMIT OF POSSIBLE LOW WET AREAS PER KENAI WATERSHED FORUM WETLANDS ASSESSMENT
- INDICATES APPROXIMATE CENTERLINE OF DRAINAGE

LINE TABLE

LINE	BEARING	DISTANCE
L1	S 84°12'35" W	54.07'
L2	N 79°27'13" E	3.92'

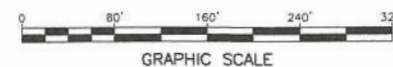
CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	CHORD BRNG	CHORD DIST
C1	16°50'22"	628.17'	184.62'	S 75°47'24" W	183.96'
C2	4°45'22"	4970.00'	412.56'	S 81°49'54" W	412.44'
C3	90°00'00"	20.00'	31.42'	S 34°27'13" W	28.28'
C4	11°09'00"	970.00'	188.77'	S 16°07'17" E	188.47'
C5	96°32'54"	20.00'	33.70'	S 89°58'14" E	29.85'
C6	17°41'54"	501.62'	154.33'	S 46°35'14" E	154.33'
C7	92°11'16"	501.62'	81.93'	S 55°38'14" E	81.81'
C8	8°20'38"	501.62'	73.03'	S 70°14'55" E	72.98'
C9	1°09'05"	4970.00'	99.21'	N 70°14'55" E	99.87'
C10	3°36'17"	4970.00'	312.69'	N 82°24'26" E	312.64'

WASTEWATER DISPOSAL

PLANS FOR WASTEWATER DISPOSAL THAT MEET REGULATORY REQUIREMENTS ARE ON FILE AT THE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.

SURVEYOR _____ LICENSE # _____ DATE _____



HOMER RECORDING DISTRICT KPB FILE No. 2020-???

LILLIAN WALLI ESTATE
2020 REPLAT

THE VACATION OF THE CHERYL LANE RIGHT-OF-WAY AND THE RECONFIGURATION OF LOTS 7-16 AND 18-35, LILLIAN WALLI ESTATE (HM 88-16)

LOCATED WITHIN THE NE 1/4 NE1/4, SEC 24, T. 6 S., R. 13 W., SEWARD MERIDIAN, CITY OF HOMER, KENAI PENINSULA BOROUGH, THIRD JUDICIAL DISTRICT, ALASKA CONTAINING 13.269 ACRES

OWNERS:
ERO STEVE WALLI
35910 NORTH FORK ROAD ANCHOR POINT, AK 99556
PAT W. MILLER
2020 NORTH STAR, APT. 1 ANCHORAGE, AK 99503
BRENT G. AND JUDITH A. JOHNSON
20773 PORCUPINE LANE CLAM GULCH, AK 99568
AARON WEISSER
3677 FOREST GLEN DRIVE HOMER, AK 99603
EUGENE P. DOBRZYNSKI DECLARATION OF TRUST
288 SEASON DRIVE FERNLEY, NV 89408

GEOVERA, LLC

PO BOX 3235
HOMER ALASKA 99603
(907) 399-4345
EMAIL: scsmith@gci.net

DRAWN BY: SC5 DATE: APRIL 2020 SCALE: 1" = 80'
CHK BY: SC5 JOB #2020-23 SHEET 1 OF 1



City of Homer

www.cityofhomer-ak.gov

Office of the City Manager

491 East Pioneer Avenue
Homer, Alaska 99603

citymanager@cityofhomer-ak.gov

(p) 907-235-8121 x2222

(f) 907-235-3148

Memorandum

TO: Mayor Castner and Homer City Council
FROM: Marvin Yoder, Interim City Manager
DATE: April 22, 2020
SUBJECT: City Manager's Report for April 27th City Council Meeting

COVID-19 Educational Efforts, Forecasting Financial Impacts on City of Homer

Let me briefly share the city response the COVID-19 pandemic. Public Information Officer Carroll and her PIO team have been reaching out to individual Councilmembers and the Mayor in helping to craft educational recordings for broadcast on KBBI and Peninsula radio group stations. Both city staff and Councilmembers have expressed concern for long term impacts to City operations and revenue.

Executive Director Andreassen of Alaska Municipal League shared their organization has been using the following basic assumptions on decreased types of revenues, and projecting a variety of percentages that might apply:

Tourism, down 50%

Local retail, down 30%

Harbor or utility fees, down 10%

I will work with Finance Director Walton and other department heads to monitor all variances from our budget projections as well as comparables to last year. I have met with the Leadership Team to identify ways individual departments can start to reduce their operating and capital budgets now through means like financing capital asset purchases across multiple fiscal years, reallocating staff, and delaying projects that are not time sensitive.

The City has the 2015/2016 "Closing the Gap" survey results detailing how the community voted to define essential City services. The survey results can be found here: <https://www.cityofhomer-ak.gov/citymanager/closing-gap-town-hall-meeting-and-online-survey-results>. This will be useful information to consider as staff and Council work together to address any budgetary shortfalls Homer may experience as a result of COVID-19.

Follow-Up on Emergency Ord. 20-16 Budgetary Authority concerning COVID-19 Expenditures

Through Emergency Ordinance 20-16, Council authorized the appropriation of \$50,000 for the purpose of COVID-19 preparation and response. The ordinance states "many of the expenditures will be related to securing internet capability and physical devices for City employees to be able to telework." By creating a COVID-19 account to apply material or service costs against, the City can then submit these expenses to FEMA in an efficient manner. Personnel costs such as overtime and emergency hires as permitted by Council under the updated City of Homer Personnel Regulations are being considered a part of the \$50,000

appropriation but these costs are being tracked. The total known material and service costs applied to the COVID-19 account so far total \$19,203. HCC 1.08.040 (c.) regarding emergency ordinances state they are effective for 60 days. I will clarify with Attorney Gatti if that time limit applies to ordinances that grant spending authority; if it does, Administration may bring forward an ordinance to authorize spending the remaining funds or additional funds if needed by mid-May.

HPD's Response to AA Meeting

On March 31st, HPD received a call that a meeting exceeding ten people was taking place and an officer was dispatched with a copy of the mandates in hand. He saw over ten people in a relatively small area and told an attendee that the meeting was out of compliance with the State mandates and should discontinue. The officer gave the person a copy of the mandates, told them to call either Chief Robl or Lt. Browning with questions, and left. The officer said the meeting was still going on when he left and he did not stick around to make sure they were closing down. He estimates the contact at less than a minute. Lt. Browning had a conversation with the group the following morning and explained how they could still meet together while complying with the mandates. HPD focuses on education, not enforcement, and wants to help the community have as normal of a day as possible in light of COVID-19. To quote Lt. Browning from HPD's Facebook, "Our goal is to work with you, our community. Together, we can find solutions as we navigate these crazy times. We're all in this together."

Incoming Visitors In Light of Governor Dunleavy's Mandates

Additional information was requested at the last Council meeting on how the City was handling incoming visitors. The City is focused on education, not enforcement. While the current State mandate prohibits most travel between communities, there are exceptions and the general tone is that the State is looking to ease restrictions in a safe and measured manner to allow industry to get back to work. The City's approach is to work with the community to promote local preventative practices in line with the State mandates, and provide messaging for seasonal homeowners, seasonal workers and visitors that strongly supports the 14-day quarantine requirement and informs people about local services that helps them quarantine safely, such as area delivery and take out services. The City has also developed messages for Alaskan travelers participating in personal and sport fishing and other subsistence activities, consistent with State mandates and recommendations put out by Alaska Department of Fish and Game. Please see the attached enclosure on this topic.

Erosion on the Homer Spit

During the last storm and high tide event, the Ocean Shores boardwalk took a beating. Harbormaster Hawkins authorized the use of the rest of the available dredged materials so they could replace the material that was washed away. Many area businesses pulled together to help save this business after the storm event.

Additional information was requested at the last Council meeting regarding erosion on the Homer Spit and how the City is working with other agencies. At the start of this year, we did a joint stakeholder effort with the Corps and the State to secure funding for a General Investigation Study related to the Homer Spit Erosion Mitigation and to create a Spit Erosion Maintenance and Management Plan. The City met with our state legislators along with DOT&PF Commissioner MacKinnon and Governor Dunleavy's Chief of Staff; consequently Commissioner MacKinnon submitted a letter of support to the Corps on the City's behalf. Harbormaster Hawkins recently has been in touch with the Corps regarding the City's request for supplemental funds left over from 2018 and the City is waiting to see if that funding source is still available to us. In the meantime, the City will submit an updated letter of intent requesting funding support from the Corps regular FY22 budget and workplan in case the 2018 supplemental funding does not come through. These letters of intent are due to the Corps every 5 months and Port and Harbor will continue to submit

letters to keep this topic at the forefront. I have attached the previous letter and will submit the updated one by the due date, which is the end of this month.

Rescheduling the Seawall Worksession

On Monday the 20th, I met with Councilmember Aderhold to continue discussion on the Seawall given our March worksession was cancelled. I am hoping this worksession can be rescheduled for the month of May, most likely May 18th as that is between City Council meetings, and have asked City Attorney Gatti to provide a response to the request for a legal opinion before then to help guide the discussion. Staff will contact you to confirm your availability, and we will then notify homeowners of the new date.

Positive Momentum behind New Large Vessel Moorage Facility Project

The City has multiple paths in place to keep up the positive momentum behind the Port Expansion Project. Below provides a summary of the exciting support we are receiving on behalf of the Borough in addition to the two other methods the City had already put in place to move the project forward.

-US Army Corps of Engineers: On January 21, 2020, the City submitted a formal request to the Corps to resume work on the General Investigation Study (previously known as Navigational Improvement Feasibility Study) to dredge and build a new large vessel moorage facility at Homer's Port and Harbor. This request would be cost shared for the \$3,000,000 study (50 percent Federal and 50 percent local funds). The City has requested the State, as a benefitting partner, contribute a 25% match to meet the 50% local funds requirement. The Corps reported they have not received word of funding to complete the federal match but they will still pursue this project via all avenues for funding, which includes a request in their FY22 Budget and Workplan. As a result the City will need to submit an updated letter of intent by June. I have included the former version and will re-sign the updated letter by that due date. As an aside, in 2019 the City of Homer and the Corps completed a Planning Assistance for States (PAS) study that took a high level look at the costs and benefits of expanding the City's port facility to include a large vessel port providing safe moorage for vessels up to 250'. The next step after the PAS is the General Investigation Study.

-Kenai Peninsula Borough: On April 21, 2020, Mayor Pierce and Assembly member Cooper introduced a resolution in support of the Homer Port and Harbor being considered for one of the EDA's Economic Adjustment grants. Through the CARES Act, the Economic Development Administration is overseeing \$1.5 billion in grants for economic adjustment assistance for development of public facilities, public services, business development (including funding for revolving loan funds to provide supplemental business lending), planning, technical assistance, training and any other assistance to alleviate long-term economic deterioration and sudden and severe economic dislocation. Under current law, the agency may waive or reduce local cost share requirements for distressed areas and those suffering from severe economic dislocation. The Borough's resolution supports the General Investigation Study for the expansion project in order to provide overall support to the emerging regional and national economic opportunities on the Kenai Peninsula. Their resolution encourages the EDA to fully fund the study (\$3,000,000) in partnership with the US Army Corps of Engineers, the State of Alaska and local Municipalities.

-Denali Commission: On February 19, 2020 at the encouragement and support of Tim Dillon at the Kenai Peninsula Economic Development District, the City submitted a Funding Assistance Request to Denali Commission for \$750,000 (the City's contribution) in funding to complete the General Investigation Feasibility study for the new large vessel harbor. At that time, the Denali Commission was seeking direct input from partners regarding potential rural development projects in Alaska and Tim Dillon recommended our the new large vessel harbor project. We have not yet gotten feedback on our request.

Update Concerning Auction Block Property

My office received notice from Alaska Growth Capital that they have entered into a purchase/sales agreement with Popsie Fish Company for the sale of the improvements on the Auction Block property. According to their website, "The Popsie Fish Company is a three-generation family run business who has caught wild Alaskan salmon in the Egegik district of Bristol Bay Alaska since 1988. According to AGC, "The terms of the sale are such that there is an extended due diligence period (120 days...ending in August 2020 roughly) due to the unique nature of the property. Popsie Fish is aware that there is a ground lease from the City of Homer and that they will need to apply to the City for transfer of the lease concurrent with consummation of the sale." The City is working with AGC to secure a new tenant with a business that fits the permitted zoning uses of the property and the basic terms of the lease. We have yet to receive a lease application from Popsie Fish Company however we are excited that AGC feels as though they have a viable candidate to transfer the lease to and will keep Council informed as this moves forward.

Homer Airport Funding, RAVN Operations

On April 14th, the FAA released the Coronavirus Aid, Relief, and Economic Security (CARES) Act grant award amounts for airports, of which the Homer Airport received \$1,192,837. I have included the FAA's webpage as an enclosure for additional information. Since the State of Alaska was identified by FEMA as the sponsor to receive the funds, Administration submitted an information request to DOT&PF asking how they are allocating the \$1.2M to see if it would be possible to apply some of the funding to the City-owned terminal building. The City also requested the State's FY 20 and FY21 budget sheets for the Homer Airport, including any capital improvement projects. Please see the attached email enclosure for the State's response.

I have been in touch with City Attorney Gatti on how to approach RAVN's Chapter 11 protection, which allows them to obtain Debtor in Possession funding. In filing for bankruptcy, the company is hoping to go through a restructuring, otherwise there is a clause in the filing to proceed with liquidation of the business. According to an update posted April 5th on RAVN's website, "Ravn's lenders have agreed to provide financing during the pendency of the Chapter 11" however it appears the City will not be receiving lease payments at this time. For FY20, the revenue generated by RAVN's lease at the Terminal was listed at \$81,672. City Attorney Gatti has recommended the City wait until bankruptcy court proceedings shake out to determine how to handle RAVN's bankruptcy. As an aside, City Attorney Gatti is also representing the City of Palmer, which also has a lease arrangement with RAVN, which I see no conflict of interest in him doing.



Approved: Homer's RCA Application for New or Amended Certificate of Public Convenience and Necessity

On April 14th, 2020, the Regulatory Commission of Alaska approved the City's request to amend its current Certificate of Public Convenience and Necessity to include a low-income housing development on one lot adjacent to preexisting service the City provides. The proposed development will include 24 three bedroom rental units for an estimated maximum occupancy of 144 persons at two persons per bedroom. East End Partners, LLC had contacted City Engineer Meyer to follow up on the City's next steps to connect to the water service. Staff will confirm the water extension agreement between East End Partners and the City has been signed, which required East End Partners to remit a \$100,000 water connection fee credited to the HAWSP fund. East End Partners have already executed an installation agreement with Public

Works and have provided a performance guarantee associated with getting water connection to the front lot line. The connection will be inspected by Public Works under a normal permit procedure.

The City's healthcare renewal is looking good so far. Last year a 10% rate cap was negotiated for this upcoming year but of course we are shooting for much better than that. So far the City's claims have been low for the year, and since there was a temporary cease on elective procedures, that has kept things in check.

Council Packet Process

The City Clerk has provided information regarding the packet process as a reminder that often there are several steps from the beginning of an ordinance or resolution to the final packet draft. It's important to ensure packet materials have the proper review and are submitted timely to be included in the Council packet.

Fire Hall Emergency Back-Up Generator

The City was awarded a \$105,500 grant in FY 19 to purchase a backup generator for the Fire Hall. The required size of the backup generator needed at the Fire Hall is larger (and more expensive) than what was envisioned when the City applied for the State Homeland Security grant. The City's previous two generator projects funded by DHS&EM (Library and Harbormaster's Office) needed 20-25 KV generators and the budget for this project was based on that expectation. The electrical engineer the City has hired to design the generator's installation has however recommended a 50 KV generator, which comes at an additional expense. City Engineer Meyer has requested DHS&EM increase the original grant amount awarded in order to cover the additional expense (\$22,000), which he believes has a high probability of occurring. Below is the response received from the Grant Administrator regarding this request:

"As I mentioned on the phone we don't currently have the funds in the 19 SHSP grant, but if you can include a timeline of when you expect to have the project complete and funds expended I may be able to fund this out of another years SHSP grant. Thanks for checking back in on this and staying on top of things. Let me know if you have any questions."

The timing for the Fire Hall generator and new Police Station is critical as the two projects are interrelated; emergency backup power to the Fire Hall is a precursor to relocating the existing larger on-site generator to the new police station. If this does not happen, the new police station cannot be operational (construction on track to be ready to relocate dispatch operations in June). In case DHS&EM cannot cover the additional expense, staff propose using the Police Station contingency funds to cover the \$22,000 cost. This will ensure the Police Station project stays on track. As of March 2020, the City contingency fund balance for the Police Station totals \$57,183. The Project Manager is not aware of any other major expenses that would exceed the remaining contingency.

Marathon not a Race

I wanted to take some time to thank Council for continuing to be proactive and passionate about the safety and health of our community. The message we are getting from across the state and nation for addressing COVID-19 is "this is a marathon, not a race." We are in it for the long haul. Chief Kirko as Incident Commander has does an excellent job coordinating with City staff, all the other Incident Commanders, and the other EOCs formed as a result of the pandemic. I am proud of how the City has set the example, and also want to thank the Leadership Team for keeping the lines of communication open within their departments. Department heads are keeping their teams safe by practicing social distancing, implementing telework when possible, staggered shifts, and encouraging proper PPE. They are contacting staff to ask how they are doing and are focusing on employees as people, not just as contributors to the organization, which improves overall morale and efficiency despite the challenges COVID-19 has created. We are going to start seeing the State relax on mandates in order for our businesses and critical workforce areas like fisheries to open up and this is a result of the good work we have been doing to flatten the curve. Homer is already seeing an increase in boating, pedestrian and vehicular traffic on the Spit, and the

enjoy Homer's beauty outside while mitigating risk. Restaurants are asking Public Works to turn on their water and are getting ready to open for take-out/delivery service. People are coming back and getting ready for business and I am working with the EOC and PIO team to get messaging out into the community that Homer is a safe community because we are following preventative measures and educating residents and visitors alike. This past week I received an email from the State containing a COVID-19 Revised Mitigation Plan Submittal one of our local businesses turned in to address State Health Mandates 10 and 12. It is reassuring to see our local businesses following State mandates and taking extra precautions for their employees. I have begun to have discussions with Library Director Berry and Incident Commander Kirko on opening the Library for curbside pickup of materials for patrons. We are also looking at what other areas in the City could be opened up while ensuring public safety and welfare (such as the Ice Plant or setting out fish cleaning tables given fishing season) and I will keep Council up to date as we work through restoring some City services while taking into account the Governor's mandates.

Enclosures:

1. Informational Flyer concerning COVID-19
2. City of Homer Sport Fishing COVID-19 Informational Sheet
3. City Letter to Corps concerning Homer Spit Erosion, Commissioner MacKinnion Letter of Support
4. City Letter to Corps concerning New Large Vessel Moorage Facility, Letter to Brett Huber
5. KPB Resolution Supporting EDA Grant Funding to Design and Build the Port Expansion in Homer, KPB memo, COH CIP pages
6. 2020 CARES Act Grants –FAA webpage
7. DOT&PF Response to City's Information Request concerning CARES Act funds
8. RCA Approval of City's request to Amend Certificate of Public Convenience and Necessity Final Order and Appendix A
9. Memo from City Clerk Jacobsen concerning Council Packet Process
10. Letter from Attorney Hass regarding City Response to Baycrest

So... You're in Quarantine

You may have just returned from out of state and are in a 14-day quarantine, or are feeling sick, or you are part of a high-risk group that needs to stay home.



As Homer takes steps to slow the spread of COVID-19, people are facing new challenges about how to meet basic household needs.

This pamphlet provides information on how to get your essential errands done in a safe manner.



Need to Prepare?

Go to www.cdc.gov for a wide range of guidelines, including:

- How to create a household plan
- How to protect yourself & others when self-isolating/quarantining in a shared household or have pets
- Cleaning & disinfecting your home
- What to do if you're sick

Questions?



**COVID-19
Homer Call Line
907-435-3197**

Staffed Monday - Friday 8am-5pm
to answer questions & connect you to
local assistance you may need



**Alaska 2-1-1
or 1-800-478-2221**

For general questions about COVID-19 &
info on a variety of State-wide services

COVID-19 Updates

**City Website
cityofhomer-ak.gov/covid19**

Complete local COVID-19 information &
links to State/Federal info & resources



**State of Alaska
COVID-19 Website
covid19.alaska.gov**

Resources from State departments
including Health Mandates, current case
counts, & economic/business info



HOMER, ALASKA

COVID-19 RESOURCES & INFORMATION

Local information to help navigate all
things COVID-19 in Homer, especially for
those who are isolating or
quarantining at home



Groceries & Delivery



Save-U-More

- Call 235-8661 if you have questions.
- Email grocery list to sumhomer@yahoo.com with the subject "Bush Order".
- Request delivery: Save-U-More has a delivery person and is working with volunteers.
- Order and/or delivery fees may apply.
- Orders are fulfilled in the order they are received, Monday thru Friday 8:00-4:00 pm.



Safeway

- Call 226-7000, option 8 if you have questions.
- Email grocery list to s1832c90@safeway.com.
- Request delivery: Safeway is working with volunteers and cab companies to deliver.
- Order and/or delivery fees may apply.
- Please limit orders to 30 items or less.



Homer Community Food Pantry

- Food service is drive-thru only every Monday from 11:30 am to 3:00 pm.
- Delivery options available! Call or text 235-1968 to set up a delivery.
- www.homerfoodpantry.org for more info.



Salvation Army

- Salvation Army's Drive-thru Food Pantry is open every Monday from 2:00-4:00 pm.
- Call 310-990-3455 between 11:00 am-1:00 pm to schedule a delivery.
- Providing free delivery service for grocery orders placed directly with Save-U-More or Safeway. When you make your order, request Salvation Army for delivery, they will text/call you when the order is on its way.

Feeling Sick?



Stay home, take care of yourself, stay in touch with your healthcare provider, and monitor your symptoms



Separate yourself from other people and pets in your home; avoid sharing household items



Clean your hands and all "high-touch" surfaces everyday



If you must be around other people or pets, wear a cloth face mask



Monitor your symptoms and ALWAYS call your provider first before going in

Monitor Your Symptoms

Contact your provider or the hospital triage nurse at 235-0235 for a COVID-19 test screening if you experience:

**ANY ONE
of these
symptoms**

- Cough
- Shortness of Breath
- Difficulty Breathing

OR

**TWO OR MORE
of these
symptoms**

- Chills
- Fever
- Rigors
- Headache
- Fatigue
- Nausea
- Runny nose
- Lack of taste/smell
- Sore throat
- Muscle/joint ache
- Diarrhea
- Sputum (phlegm)



Sewn Cloth Face Masks

Available at:
Cycle Logical 399-3410
Law & Cycle 235-8406

Have someone pick one up for you or contact store for assistance

Need Help With Errands?

Call 310-803-0588

Homer volunteers are stepping up to help run errands for those that need to remain at home. Coordination and volunteer vetting is being done by Salvation Army.

Don't Forget To Ask Your Store Or Pharmacy About Delivery Options

Many local businesses in Homer are offering home delivery, either with their own services or through volunteer efforts!

Talk To Your Insurance Provider About Telemedicine & Prescription-By-Mail

Many insurance providers offer ways to sign up for telemedicine and getting your prescriptions by mail. Contact your insurance and see if it's an option for you.

Other Resources

Visit the City of Homer's COVID-19 page for a list of other resources including financial relief info, family support, and COVID-19 legal advice.

cityofhomer-ak.gov/covid19 or 907-435-3197

Support Local Restaurants

Many restaurants in Homer are still open and providing to-go orders in Homer.

To learn more, contact them directly or visit homer.alaska.org/homer-to-go

Can't pick up the food? Cab companies will pick up and deliver for you!

City of Homer Sport/Personal Use Fishing Informational Sheet

To help prevent COVID-19 from spreading, the State has prohibited most travel between communities except for certain exceptions. Personal and sport fishing are exceptions and remain open.

While we understand and support that personal and sport fishing is important to Alaskans for putting fish in the freezer, our first priority is to keeping our residents and communities healthy and safe. To that end, we ask you to stay as close to home as possible to fish and don't travel unless it is critical and necessary.

Homer follows State mandates concerning COVID-19 prevention. If you do find it necessary to travel away from your home to Homer, the load and launch ramp is open. But please be COVID smart and do your part to protect our community by following the guidelines set out by the Alaska Department of Fish and Game:

- 1) Totally provision your trip from your community of origin so you will not need to get food, drinks, or even fuel if possible, after you begin your trip and until you return home.
- 2) Avoid interaction with residents of communities through which you travel; if you do need to interact, wear face coverings and have wipes available to disinfect surfaces you may need to touch, such as gas pumps.
- 3) During your travel, follow State mandates that require social distancing with anyone not consisting of your immediate household, and gatherings of 10 people or less.

If you are coming to Homer from out of state to participate in commercial fisheries, please be aware that the State of Alaska issued a COVID-19 prevention health mandate that **REQUIRES** you to quarantine for 14 days upon arrival prior to entering any public spaces or businesses. There are resources available in Homer, including delivery services, to ensure you have access to groceries during your quarantine period. Go to <https://www.cityofhomer.ak.gov/covid19/local-resources-help-needed> or call 907-435-3197 to learn about how Homer can support your quarantine period.

During COVID-19 every Alaskan is asked to make sacrifices. We're in this together, Alaska. Let's look out for each other and prevent the spread of COVID-19.



City of Homer

www.cityofhomer-ak.gov

Port and Harbor

4311 Freight Dock Road
Homer, AK 99603

port@cityofhomer-ak.gov

(p) 907-235-3160

(f) 907-235-3152

February 11th, 2020

Alaska District, U.S. Army Corps of Engineers
ATTN: CEPOA-PM-C
P.O. Box 6898
Joint Base Elmendorf-Richardson, AK 99506-0898

To Whom It May Concern:

Pursuant to an Emergency Supplemental funding notice for 2018 funds, the City of Homer, Alaska requests that the Army Corps of Engineers Alaska District pursue funding necessary to complete a General Investigation related to Homer Spit Erosion Mitigation and create a Spit Erosion Maintenance and Management Plan. Further, we ask that this General Investigation be fully funded at the federal level. Protecting the Homer Spit as a regional commerce center and transportation hub is in the nation's best interest with federal assets and multi-million dollar investments at risk without this work being completed.

The City of Homer's interest in a long term erosion management plan for the Homer Spit is also a State and Federal interest. Protecting the Spit means protecting Homer's role in marine commerce and transportation while supporting the vessels and businesses that provide both. By identifying the erosion prone areas of the Spit and incorporating this information into hazard mitigation planning, we can learn how to work with the forces of nature to ensure longevity of critical infrastructure and maintain Homer's role as a regional commerce center and transportation hub.

The City understands that if a project were to be recommended that the non-Federal sponsor will likely need to provide a 35% cost share and necessary Real Estate. The State of Alaska owns much of the land necessary for the project and we are and will continue to build a co-sponsorship team as the study develops.

Please contact me at your earliest convenience to further discuss this request.

Best regards,

Bryan Hawkins
Homer Harbormaster/Port Director



THE STATE
of **ALASKA**
GOVERNOR MIKE DUNLEAVY

Department of Transportation and Public Facilities

OFFICE OF THE COMMISSIONER
John MacKinnon, Commissioner

PO Box 112500
Juneau, Alaska 99811-2500
Main: 907.465.3900
dot.alaska.gov

February 24, 2020

Alaska District, U.S. Army Corps of Engineers
ATTN: CEPOA-PM-C
P.O. Box 6898
Joint Base Elmendorf-Richardson, AK 99506-0898

To Whom It May Concern:

The Alaska Department of Transportation and Public Facilities supports the City of Homer's request for approximately \$3 million dollars in supplemental federal funds from the US Army Corps of Engineers. The funding would allow for a General Investigation related to Homer Spit Erosion Mitigation and create a Spit Erosion Maintenance and Management Plan.

The Homer Spit includes critical infrastructure that supports the safety and livelihood of numerous communities, industries and maritime users throughout the Lower Cook Inlet, and beyond.

Public investments along the Spit include Coast Guard cutter mooring facilities, the Sterling Highway, (a major National Highway System freight route in Alaska which terminates at the Spit), industrial port, small boat harbor and an Alaska Marine Highway System ferry terminal.

Thank you for considering this request.



John MacKinnon
Commissioner

cc: Bryan Hawkins, Homer Harbormaster/Port Director



City of Homer

www.cityofhomer-ak.gov

Office of the City Manager

491 East Pioneer Avenue
Homer, Alaska 99603

citymanager@cityofhomer-ak.gov

(p) 907-235-8121 x2222

(f) 907-235-3148

Resubmitted January 21, 2020

Originally submitted September 24th, 2018 & April 4th, 2019

Alaska District Corps of Engineers
ATTN: CEPOA-PM-C, Mr. Bruce Sexauer
2204 3rd Street (Bldg 2204)
JBER, AK 99506-1518

Re: Homer Port and Harbor: New Large Vessel Moorage Facility

Dear Mr. Sexauer,

Please accept this letter as a formal request from the City of Homer to resume work with the Corps of Engineers on a Navigational Improvement Feasibility Study to dredge and build a new large vessel moorage facility at Homer's Port & Harbor.

Homer's Port & Harbor is a regional port, serving the needs of commercial vessels operating across southcentral and western Alaska in the maritime industrial, marine transportation and commercial fishing industries. Over time, demand has outgrown Homer harbor's ability to safely and efficiently serve this fleet. Certain sizes of commercial vessels can't access the port and harbor due to depth limits and configuration of the harbor entrance. Those that can find harbor moorage at capacity. Even after rafting large vessels three to four deep on the moorage floats, Homer annually turns away 40-60 vessels requesting to home port.

The City has identified a new large vessel harbor as its highest priority capital project to (1) meet current need, (2) address overcrowding and associated navigational safety concerns and high maintenance costs, and (3) support emerging regional and national economic opportunities such as the opening of the Arctic for transportation and resource development.

High demand combined with favorable changes in cost drivers (new local sources of more competitively priced building materials and an in-water option for disposal of dredge material) prompted the City and Corps to continue the general investigation from 2009 utilizing a Section 22 Planning Assistance to States Program grant.

We understand that after a positive Section 905(b) Analysis and the development of a PMP, the City will be asked to enter into a Feasibility Cost Sharing Agreement (FCSA) with the Corps to share the costs of a feasibility-level study. The City is aware that the feasibility study is cost-shared (50 percent Federal and 50 percent local funds), and that all of the local share can be in-kind services. This letter is a statement of intent, not a binding contract.

We further understand that preconstruction, engineering design and construction of any recommended plan carries a potential 80/20 cost share based on water depth.

I look forward to working with the Corps of Engineers on this important project. Thank you for your consideration of this request.

Sincerely,

CITY OF HOMER

A handwritten signature in blue ink that reads "Katie Koester". The signature is written in a cursive, flowing style.

Katie Koester, City Manager



March 21, 1914

Kellie West

Memorandum of Agreement
between the
Alaska Department of Transportation and Public Facilities
and the
City Of Homer
for
Payment of Matching Funds
For Homer Harbor Feasibility Study

This Memorandum of Agreement is by and between the Alaska Department of Transportation and Public Facilities, hereafter referred to as the Department, and the City of Homer, hereafter referred to as the City.

The City, as local sponsor, has requested State assistance in the funding of the feasibility study for a harbor expansion project in Homer.

The Alaska legislature in Chapter 82, SLA 2006, has appropriated funds that may be used as matching funds for the Army Corps of Engineers Harbor projects.

The Department has agreed to provide these funds in the amount of \$150,000 for the City's matching fund requirement.

The City requests the Department make payments directly to the Corps of Engineers.

Therefore, the Department agrees to issue payment directly to the Army Corps of Engineers, not to exceed \$150,000.

The City agrees that the Department has no obligation on the Homer Harbor Expansion Project beyond that specifically agreed to in this Memorandum of Agreement.

City Of Homer

Date

Steve Dean, Acting City Manager
11/28/07

Alaska Department of Transportation
& Public Facilities

Date

Patricia M. Hether
11.27.07

State-Municipality Cooperation Agreement
Between the
State of Alaska Department of Transportation and Public Facilities
and

The City of **Homer**

Project Name: **Homer** Navigation Improvements

Project No. #####

The Municipality and the State are entering a long term working relationship with the Corps of Engineers (hereinafter called the Corps) on the above reference project. The Municipality as project sponsor has requested State assistance.

This cooperation agreement is effective upon execution by the State of Alaska, Department of Transportation and Public Facilities, (hereinafter called the State) and City of **Homer**, Alaska (hereinafter called the Municipality). The State and Municipality are entering this Agreement pursuant to AS 35.15.080 et. seq. and any regulations promulgated thereunder.

The Municipality's coordinator for this Agreement is **Steve Dean, Harbormaster**. The State's coordinator for this Agreement is **Harvey Smith**, State Harbors Engineer. Each party agrees to notify the other party of any change in the coordinator.

1. This agreement defines and formalizes the State's role during the Corps' Feasibility Study process. It is our intent that the State's engineer will be a Technical Consultant to the Municipality and liaison between the State and the Corps. This function is reserved for a department representative on any project anticipating state funding for either design or construction, or for any project that may affect an existing state harbor facility.
2. The Municipality recognizes that:
 - a) It will be required to provide access, uplands, and tidelands sufficient to support construction, operation, and maintenance of the proposed facility and that the State will not participate in land acquisition and right of way purchases.
 - b) If not already in place, the Municipality shall adopt harbor ordinances that provide for the administration, management, operation, and maintenance of the completed facility for public purposes as a condition of receiving State construction funds for the proposed project.
 - c) The Corps process seeks to satisfy National Economic Development (NED) criteria to determine the national interest, which may not include local or state interest.
 - d) The State has unique professional coastal and harbor engineering expertise and considerable experience as sponsor that can provide substantial technical and administrative strength to the project.
3. The Municipality and the State agree to appoint members as appropriate to the project study team and one member each to the project executive committee.
4. The Municipality agrees to a joint review with the State of the draft Project Feasibility Cost Share Agreement (FCSA) before signature by the Municipality.

5. The Municipality agrees to a joint review of intermediate work products, study recommendations and final draft report.
6. The Municipality agrees to promote the project, support the team effort, and actively participate as a team member.
7. The State agrees to:
 - a) Provide review and consultation during FCSA development.
 - b) Act as technical advisor and consultant to the Municipality. This includes taking information presented by the study team and, working cooperatively with the Corps and Municipality, compile it into an optimum design representing the interests of the Municipality while conforming with State Policy and Corps' National Economic Development (NED) requirements.
 - c) Look at the whole harbor concept by integrating the necessary uplands, mooring basin, and protective structures into a fully functional harbor. This effort will strive to create harmony with the Corps' NED plan. The NED plan normally focuses on the General Navigation Features (GNF), consisting of only breakwaters and primary navigation channels. The harbor area recommended for upland development is approximately equal to that required for moorage and may have similar, or greater, potential for economic benefits.
 - d) Work in cooperation with state planning personnel providing technical guidelines for planning decisions. The planning objectives are to identify local and State benefits in addition to national benefits and to help the Municipality develop facilities that maximize the economic opportunities for the Municipality and the State.
 - e) Work with the study team to develop measurable criteria from which to evaluate harbor alternatives.
 - f) Work with environmental and other groups to resolve issues that may cause delay in the design development.
8. Subject to appropriation by the Legislature, the State will provide in-kind services. Financial obligations are understood to be obligations of the Municipality. Where State financial assistance is approved, payment (less in-kind services) will be made directly to the Corps of Engineers. Prepayment, when required by the federal program, will be made upon receipt of requests for payment accompanied by documentation submitted by the District Engineer, Alaska District Corps of Engineers, or his authorized representative. The required documents are the signed FCSA between the Corps of Engineers and the Municipality, and a letter from the District Engineer requesting payment.
9. In the event the final total amount of the local Municipality's financial obligation is less than the total amount estimated at the time of signing this agreement, then the State shall receive its proportionate share of any unused portion of the local Municipality funding returned by the Corps of Engineers at the completion of the project.

10. The State and Municipality will make no commitment for subsequent project development costs unless this agreement is amended in writing and signed by both parties.
11. If, due to changed circumstances, the State or the Municipality wishes to terminate this Agreement prior to its completion, the initiating party shall notify the other party in writing of its reasons for requesting the early termination. To terminate, both parties must agree in writing that it is in their mutual best interests to terminate. If the State and Municipality agree to terminate, the State assumes no further liability to the Municipality, the Corps of Engineers or any other party.
12. Before any party to this agreement may bring suit in any court concerning an issue relating to this agreement, such party must first seek in good faith to resolve the issue through negotiation or other forms of non-binding alternative dispute resolution mutually acceptable to the parties.
13. Unless changed by prior written notice, any correspondence required by this Agreement must be sent to the following addresses:

STATE:

Office of the State Harbors Engineer
Department of Transportation and Public Facilities
3132 Channel Drive
Juneau, AK 99801

MUNICIPALITY:

City of Homer
491 East Pioneer Avenue
Homer, Alaska 99827

APPROVALS:

Authorized Signature for Municipality, Title

Date

(Director of Design and Engineering Services

Date

APPENDIX A

Scope of Project:

1. **Description of Project:** The Municipality plans to enter into a project feasibility cost share agreement (PFCSA) with the Corps of Engineers, Alaska District to investigate and report on the proposed project feasibility.
2. The Municipality has requested State assistance by letter dated August 27, 1998

APPENDIX B

Payment Schedule:

For Corps of Engineers Matching Funds

There is no appropriation for the Homer Navigation Improvements project at this time, however, the State agrees to transfer funds, if appropriated by the Legislature and approved by the Commissioner, for the project to a special account in the State Treasury. The funds transferred to this special account for the Municipality shall not exceed a total of \$ ##### or the amount actually appropriated by the Legislature for this project, whichever is less. In no case shall the amount expended on this project be more than 50% of the total non-federal cost including in-kind services. State will charge directly to this account for in-kind services provided under this agreement and the PFCSA.

Payment, less State incurred in-kind costs, will be made directly to the Corps of Engineer at FINANCE AND ACCOUNTING OFFICE, ALASKA DISTRICT, US ARMY CORPS OF ENGINEERS, PO BOX 898, ANCHORAGE AK 99506-0898. The check will be pay to the order "FAO, USAED, ALASKA"; memo "Homer Navigation Improvements"; Or, in the case where the Municipality has advance funded the project, the State may make payment directly to the Municipality.

LAYDOWN

Introduced by:

Cooper, Mayor

Date:

Action:

Vote:

KENAI PENINSULA BOROUGH RESOLUTION 2020-031

A RESOLUTION URGING FULL FUNDING IN THE AMOUNT OF \$3,000,000 BY THE ECONOMIC DEVELOPMENT ADMINISTRATION GRANT PROGRAM FUNDED THROUGH THE CORONAVIRUS AID, RELIEF AND ECONOMIC SECURITY ACT IN ORDER TO FULLY FUND HOMER'S PORT EXPANSION GENERAL INVESTIGATION STUDY

WHEREAS, Homer's Port & Harbor is a regional port, serving the needs of commercial vessels operating across southcentral and, western Alaska, and the Arctic in the maritime industrial, marine transportation and commercial fishing industries and, overtime, the increased demand for services provided by the Homer Port & Harbor has outgrown Homer harbor's ability to safely and efficiently serve this fleet; and

WHEREAS, the City of Homer ("City") has identified a new large vessel port expansion among its highest ranked priority capital improvement projects since 2004 to (1) meet the growing needs of our commercial fleet, (2) address overcrowding and associated navigational safety concerns and high maintenance costs, and (3) support emerging regional and national economic opportunities and resource development; and

WHEREAS, in 2019 the City and the U.S. Army Corps of Engineers ("USACE") completed a Planning Assistance for States ("PAS") study that took a high level look at the costs and benefits of expanding the City's port facility to include a large vessel port providing safe moorage for vessels up to 250'; and

WHEREAS, the results from that PAS study showed a positive economic cost to benefit ratio and the USACE, anticipating a positive Section 905(b) analysis and the development of a Project Management Plan, placed the Homer Port Expansion General Investigation Study ("General Investigation Study") on their 2020 & 2021 regular work plan/budget to secure funds and resources for their share of that study; and

WHEREAS, the cost of the General Investigation Study for the Homer Port Expansion Project will be \$3,000,000, and will be completed by a shared partnership between the USACE, the State of Alaska, and the local municipalities; and

WHEREAS, the General Investigation Study will cover all planning aspects needed to build a large vessel port at the Homer Spit including, but not limited to: design and engineering, economic factors, environmental, geophysical, construction methods and costs; and

WHEREAS, the purpose of this resolution is to state the Kenai Peninsula Borough Assembly's support of the completion of a General Investigation Study for the Homer Port Expansion Project, and thereby take the next step in building a port expansion that will support emerging regional and national economic opportunities on the Kenai Peninsula.

NOW, THEREFORE, BE IT RESOLVED BY THE ASSEMBLY OF THE KENAI PENINSULA BOROUGH:

SECTION 1. That the Kenai Peninsula Borough Assembly urges full funding in the amount of \$3,000,000 by the Economic Development Administration Grant Program funded through the CARES Act in order to fully fund Homer's Port Expansion General Investigation Study in partnership with the US Army Corps of Engineers, the State of Alaska and the local municipalities as the development of this public facility will help ensure enhanced safety and economic prosperity among Alaskan coastal communities

SECTION 2. That this resolution shall become effective immediately upon its enactment and be forwarded to our state and federal representatives and senators.

ADOPTED BY THE ASSEMBLY OF THE KENAI PENINSULA BOROUGH THIS 21ST DAY OF APRIL, 2020.

Kelly Cooper, Assembly President

ATTEST:

Johni Blankenship, MMC, Borough Clerk

Yes:

No:

Absent:

Kenai Peninsula Borough Assembly

MEMORANDUM

TO: Kelly Cooper, Assembly President
Members, Kenai Peninsula Borough Assembly

FROM: Kelly Cooper, Assembly President (13) for K.C.
Charlie Pierce, Mayor CP

DATE: April 21, 2020

RE: Resolution 2020-031, Urging Full Funding in the Amount of \$3,000,000 by the Economic Development Administration Grant Program in Order to Fully Fund Homer's Port Expansion General Investigation Study (Cooper, Mayor)

As the Kenai Peninsula Borough makes stimulating the economy a priority at the conclusion of the COVID19 Pandemic, the Homer Port Expansion Project is one that will meet the guidelines for funding through the CARES Act under the Economic Development Administration (EDA).

- 1) **\$1.5 billion in grants for economic adjustment assistance for development of public facilities**, public services, business development (including funding for revolving loan funds to provide supplemental business lending), **planning**, technical assistance, training and any other assistance to alleviate long-term economic deterioration and sudden and severe economic dislocation. *Under current law, the agency may waive or reduce local cost share requirements for distressed areas and those suffering from severe economic dislocation.*

I ask for your support of this resolution.



City of Homer

2020-2025 Capital Improvement Plan



Homer's Port & Harbor is a regional asset serving commercial fishing vessels from nearly every fishery in the State, the US Coast Guard and industrial support vessels whose delivery of supplies to industries and remote communities is foundational to Alaskan commerce at all levels.

Development of a haul out repair facility for large commercial vessels (pictured above) and a new large vessel moorage facility are top priorities in the City's CIP.



2. Homer Port & Harbor: New Large Vessel Moorage Facility

Project Description & Benefit: This project will construct a new large vessel moorage facility to the north of Homer's existing Port and Harbor. It will enhance port capabilities by:

- Accommodating large commercial vessels (fishing vessels, work boats, landing craft, tugs, etc.) outside the small boat harbor. Currently, large vessels are moored at System 4 and System 5 transient floats. Due to shortage of moorage space, large vessels are rafted two and three abreast constricting passage lanes, creating traffic congestion and overstressing the floats. The new facility will address overcrowding and associated navigational safety concerns and high maintenance costs in Homer's small boat harbor,
- Enabling Homer to moor an additional 40 to 60 large commercial vessels that potentially would use Homer Port & Harbor as a home port, but have been turned away due to their overall size, draft, or that the systems are working beyond capacity and we simply lack the space;
- Positioning Homer's Port and Harbor to meet the demands of emerging regional and national economic opportunities such as the Cook Inlet Oil & Gas industry, a possible LNG export plant in Nikiski, the opening of the Arctic for research, transportation and resource development and the US Coast Guard's long-term mooring needs. Currently, the USCGC *Hickory* moors at the Pioneer Dock which provides inadequate protection from northeasterly storm surges. The large vessel harbor will be built to provide protected and secure moorage suitable to accommodate USCG assets.

Centrally located in the Gulf of Alaska, Homer's Port & Harbor is the region's only ice-free gateway to Cook Inlet, the port of refuge for large vessels transiting the Gulf of Alaska, Cook Inlet, and Kennedy Entrance, and is the marine industrial and transportation system hub for central and Western Alaska. The new moorage facility will fill the unmet needs of large commercial vessels operating in the maritime industrial, marine transportation and commercial fishing industries.

Plans & Progress: The City, State of Alaska ADOT, and Army Corps of Engineers (ACOE) partnered on a port expansion feasibility study in 2004. At that time, preliminary results indicated the project's Benefit to Cost ratio would be non-competitive for Federal funding so the study was put on hold. High demand and favorable changes in cost drivers since then prompted the City and the ACOE to reexamine feasibility utilizing a Section 22 Planning Assistance to States Program Study grant in 2018. The study's positive results led to a recommendation by the ACOE to resume work on the Navigational Improvement Feasibility Study to dredge and build the new moorage facility. The City has formally expressed its intent to work with the ACOE on the Study and renew our partnership with the State of Alaska for technical expertise and funding, with costs sharing (50% Federal, 25% State, 25% City) over three years.

Total Project Cost: \$124,233,000

Phase 2: General Investigation Study \$3,000,000

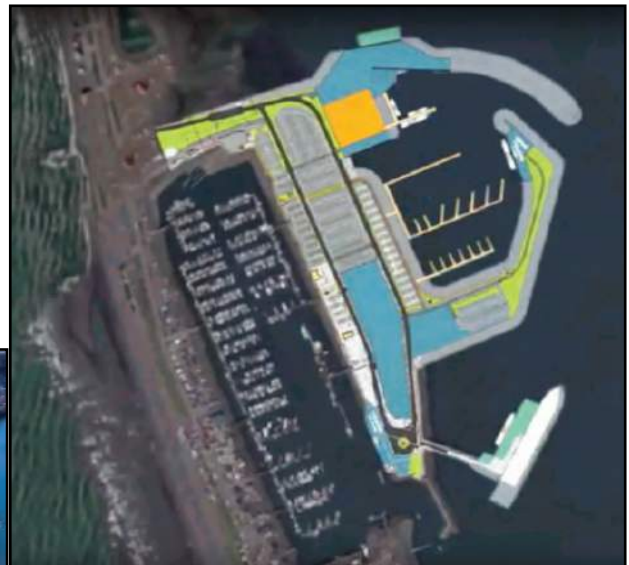
Federal \$1.5 M

State: \$750,000

Local: \$750,000

FY2021-FY2023 State of Alaska Request: \$250,000 (annually)

FY2021-FY2023 City of Homer Match: \$250,000 (annually)



The large vessel port expansion adds a new basin with its own entrance adjacent to the existing Small Boat Harbor. It will relieve large vessel congestion and navigational safety hazards in the small boat harbor while providing secure moorage compatible with the USCG's assets.



Capital Improvement Appendices

CITY OF HOMER
HOMER, ALASKA

Mayor/City Council

RESOLUTION 19-061

A RESOLUTION OF THE CITY COUNCIL OF HOMER, ALASKA, ADOPTING THE
2020-2025 CAPITAL IMPROVEMENT PLAN AND ESTABLISHING CAPITAL
PROJECT LEGISLATIVE PRIORITIES FOR FISCAL YEAR 2021.

WHEREAS, Duly published hearings were held on September 9 and September 23, 2019 to
introduce the final draft of the 2020-2025 CIP and to obtain public comments on capital
improvement projects and legislative priorities; and

WHEREAS, The Council received comments from all of the City of Homer Advisory
Commissions and held a CIP worksession on August 26, 2019; and

WHEREAS, It is the intent of the City Council to provide the Governor, the State Legislature,
State agencies, the Alaska Congressional Delegation, and other potential funding sources with
adequate information regarding the City's capital project funding needs.

NOW, THEREFORE BE IT RESOLVED by the City Council of Homer, Alaska, that the "City of
Homer Capital Improvement Plan 2020-2025" is hereby adopted as the official 6-year capital
improvement plan for the City of Homer.

BE IT FURTHER RESOLVED that the following capital improvement projects are identified
as priorities for the FY2021 State Legislative Request:

1. Homer Barge Mooring & Large Vessel Haul Out Repair Facility
2. Large Vessel Port Expansion
3. Storm Water Master Plan
4. Main Street Sidewalk North
5. Multi-Use Community Center, Phase 1

BE IT FURTHER RESOLVED that projects for the FY2021 Federal Legislative Request will be:

1. Homer Barge Mooring & Large Vessel Haul Out Repair Facility
2. Large Vessel Port Expansion

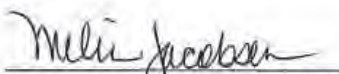
BE IT FURTHER RESOLVED that the City Manager is hereby instructed to advise appropriate
State and Federal representatives and personnel of the City's FY 2021 capital project priorities and
take appropriate steps to provide necessary background information.

PASSED AND ADOPTED by a duly constituted quorum of the City Council for the City of
Homer on this 23rd day of September, 2019.

CITY OF HOMER


KEN CASTNER, MAYOR

ATTEST:


MELISSA JACOBSEN, CITY CLERK





Federal Aviation Administration

2020 CARES Act Grants Airports

See [Information for Airports about COVID-19](#).

The [Coronavirus Aid, Relief, and Economic Security \(CARES\) Act \(H.R. 748, Public Law 116-136\)](#) (PDF), signed into law by the President on March 27, 2020, includes \$10 billion in funds to be awarded as economic relief to eligible U.S. airports affected by the prevention of, preparation for, and response to the COVID-19 pandemic.

The CARES Act provides funds to increase the federal share to 100 percent for Airport Improvement Program (AIP) and supplemental discretionary grants already planned for fiscal year 2020. Under normal circumstances, AIP grant recipients contribute a matching percentage of the project costs. Providing this additional funding and eliminating the local share will allow critical safety and capacity projects to continue as planned regardless of airport sponsors' current financial circumstances.

Additionally, the CARES Act provides new funds distributed by various formulas for all airports that are part of the national airport system. This includes all commercial service airports, all reliever airports and some public-owned general aviation airports.

Under this new CARES Airport Program:

- Primary commercial service airports, with more than 10,000 annual passenger boardings, will receive additional funds based on the number of annual boardings, in a similar way to how they currently receive AIP entitlement funds.
- All commercial service airports will receive funds based on the number of passengers that board aircraft there, the amount of debt an airport has, and the amount of money the airport has in reserve.
- General aviation airports will receive funds based on their [airport categories](#), such as National, Regional, Local, Basic and Unclassified.

The FAA plans to make these funds available in April, and airport sponsors should work with their local Office of Airports field office. The FAA will provide additional guidance on the CARES Airport Program next week.

CARES Act Application

- SF 424, Application for Federal Assistance
 - SAMPLE SF 424 for CARES Act Funding (PDF) **(April 20, 2020)**
Sample applies to non-development grants only. For CARES Act Airport Grants for airport development, contact your ADO or Regional office.

CARES Act Resources

- CARES Act Grant Amounts to Airports: PDF, MS Excel **(Excel version added April 15, 2020)**
- Map of CARES Act Airport Grants **(April 14, 2020)**
- CARES Act Airport Grants Presentation (PDF) **(April 14, 2020)**
- CARES Act Airport Grants - Frequently Asked Questions (Updated) (PDF) **(updated April 17, 2020)**

Page last modified: April 20, 2020 7:53:01 AM EDT

This page was originally published at: https://www.faa.gov/airports/cares_act/

From: Reese, Jill (DOT)
Sent: Thursday, April 23, 2020 8:53 AM
To: 'Rachel Friedlander' <rfriedlander@ci.homer.ak.us>
Cc: McCarthy, Shannon K (DOT) <shannon.mccarthy@alaska.gov>; Dowd, Rox A (DOT) <roxann.dowd@alaska.gov>; Rosier-Polley, Caro J (DOT) <caro.rosier-polley@alaska.gov>; Lesmann, Mike (DOT) <mike.lesmann@alaska.gov>
Subject: Request for Homer Airport Budget Sheets, Info on CARES Act

Hello, Rachel:

Thanks for your patience while we pulled this together. As you know, it takes reaching out to many staff to collect what is needed.

The budget for all airports operated by DOT&PF statewide is not broken down between airports, so I don't have a projected budget going forward of funds dedicated to just the Homer Airport for FY2021. However, below is a list of expenses for the airport, maintenance and operations-wise, for the years FY2019 and FYTD 2020.

Location Code	AHOM	
FY20 Homer Airport ytd 4.21.20		
Sum of Budgetary Expenditures		
Obj Type Code	Total	
1000	316,393.40	
2000	1,488.80	
3000	64,057.98	
4000	131,972.77	
5000	-	
Grand Total	513,912.95	

Location Code	AHOM			
Homer Airport FY17-19				
Sum of Budgetary Expenditures	PL Budget FY			
Obj Type Code	2017	2018	2019	Grand Total
1000	489,031.62	459,021.72	498,933.70	1,446,987.04
2000	1,418.81	3,109.47	3,740.43	8,268.71
3000	96,237.87	63,049.61	88,575.04	247,862.52
4000	262,291.83	190,729.53	45,538.46	498,559.82
Grand Total	848,980.13	715,910.33	636,787.63	2,201,678.09

1000 is Personal Services
 2000 is Travel
 3000 is Contractual
 4000 is Commodities/supplies
 5000 is Capital/assets

There are some preventative maintenance projects planned which include:

CFAPT00457 Homer Pavement Marking and Crack Seal – up to \$220K, to be complete in FFY 2020
CFAPT00461 Homer Pavement Marking – up to \$145K, projected to be completed in FFY 2021
CFAPT00670 Homer AFFF testing equipment – up to \$50K, projected to be purchased in FFY 2021

As far as capital improvement projects, we are planning to advertise for a contractor to build a new chemical storage building on the airport in May, with physical construction to begin March 2021. Cost estimate for the construction is between 4 and 6 million. (CFAPT00270 Homer Chemical Storage Building)

There are other projects in the works, as well. Here is a link to the department's project search page. I searched for Homer Air, and came up with the following: <http://dot.alaska.gov/projects-status/> The individual project links will give you more information on what is included in each one.

As far as the second portion of your inquiry regarding the CARES funding:

While there was a specific eligibility amount calculated for each airport, these figures were used solely for determining the State of Alaska's total grant eligibility amount. For example, the State of Alaska is eligible for \$1.2 million based on Homer Airport's activity level, and this amount will be combined with other rural airport funding and collectively used to ensure the highest aviation priorities remain funded. DOT&PF is working with OMB and the legislature on how the funding may be utilized to maximize the benefit to the State's aviation system during this fiscal challenge.

Of the \$124.17 million that came to the state, \$33 million of that is for the international airports (Anchorage and Fairbanks) and \$49 million is for state-owned rural airports, the remaining \$41.7 million is for non-state owned airports.

I hope this is helpful information. I will close your public records request, but do let us know if you have any questions.

Sincerely,
Jill Reese

Jill Reese

Public Information Officer/Special Projects

4111 Aviation Avenue
PO Box 196900
Anchorage, AK 99519-6900

Direct: 907.269.0772

Our mission is to "**Keep Alaska Moving** through service and infrastructure."

STATE OF ALASKA

THE REGULATORY COMMISSION OF ALASKA

Before Commissioners:

Robert M. Pickett, Chairman
Stephen McAlpine
Antony G. Scott
Daniel A. Sullivan
Janis W. Wilson

In the Matter of the Application Filed by the CITY)
OF HOMER to Amend Certificate of Public)
Convenience and Necessity No. 140)

U-19-092

ORDER NO. 2

**ORDER APPROVING APPLICATION TO AMEND
SERVICE AREA, APPROVING SERVICE AREA MAP
AND DESCRIPTION, AND CLOSING DOCKET**

BY THE COMMISSION:

Summary

We approve the Application filed by the City of Homer (Homer) to amend Certificate of Public Convenience and Necessity (Certificate) No. 140. We approve the service area map and description. We close this docket.

Background

Homer filed an Application to amend its Certificate No. 140 by expanding its authorized water public utility service area to provide water to a single lot upon which a low income housing development will be built.¹ We issued public notice of the Application with comments due by November 15, 2019. We received no comments.

¹Application for New or Amended Certificate of Public Convenience and Necessity filed October 17, 2019 (Application).

Discussion

Application

Homer regulates its public water and sewer utilities, including rates, deposits, and charges, by ordinance. Homer seeks to expand its water service area to service a low-income housing development on one lot adjacent to its preexisting service area. The proposed development will include 24 three bedroom rental units for an estimated maximum occupancy of 144 persons at two persons per bedroom. Homer asserts “the estimated use of the new development is 150 gallons of water per day per bedroom, for a total usage of 10,800 gallons per day. There is no existing water service to this lot, therefore connection to the City of Homer public water system is the only way to provide water to this property and the planned housing development.”² Homer already provides sewer service to this lot.³

Fit, Willing, and Able

A public utility’s certificate describes the nature and extent of the authority granted to the utility, including a description of the utility’s authorized service area.⁴ We review an application to amend a certificate to determine whether the utility is fit, willing, and able to provide the utility services applied for and that the services are required for the convenience and necessity of the public.⁵ When determining whether an entity is fit, willing, and able to provide utility services, we examine that entity’s managerial, technical, and financial fitness.

²Application, Supplemental Information at 1.

³*Id.* at 2.

⁴AS 42.05.221(a).

⁵AS 42.05.241.

Managerial Fitness

We consider the resumes, operational experience and technical qualifications of key management personnel when assessing a utility's managerial fitness. Homer included the resumes of Key Management Carey S. Meyer, Public Works Director/City Engineer and Todd Cook, Water/Sewer Treatment Plant Superintendent with its Application.

Carey S. Meyer has been the Public Works Director/City Engineer for Homer since 1999. Meyer is primarily responsible for overall management of the water treatment program and distribution system. Meyer manages 30 full-time employees and seven seasonal employees. He has a Bachelor of Science in Civil Engineering, a Master's degree in Public Administration, and is a registered professional engineer with the State of Alaska.⁶

Todd Cook has served as the Water/Sewer Treatment Plant Superintendent since 2009. Cook is responsible for overseeing and managing all operations of Homer's water and sewer facilities and distribution and collection systems. He is also responsible for the supervision and training of employees as well as coordinating with regulatory agencies, design engineers, and contractors.⁷

Based on the experience of Homer's management team and its previous history of providing public water utility service, we find that Homer is managerially fit to extend its service area as requested.

Technical Fitness

In evaluating technical fitness, we consider technical documents including, but not limited to, Engineer Plan Review, capacity reports, source water specifications, system layout schematics, and applicable Alaska Department of Environmental

⁶Application, Exhibit A at 1-5.

⁷Application, Exhibit A at 6-7.

1 Conservation (ADEC) approvals. In addition, we review the names and addresses of all
2 non-utility personnel or entities responsible for the design, installation, maintenance, and
3 repair of equipment for the addition to the system.

4 The existing water source for Homer is the Bridge Creek Reservoir
5 (Reservoir), located on top of the bluff above the City of Homer. Currently, Homer's water
6 treatment plant produces between 0.3 MGD (million gallons per day) in the winter and 1
7 MGD in the summer. The plant has the capacity to treat 2 MGD. The Reservoir has a
8 storage capacity of over 100 million gallons. The pumping capacity of the water treatment
9 plant and raw water pump station is rated at 2.0 MGD. The current average daily demand
10 for the water system is 0.5 MGD, and peak demand in summer is 1 MGD.⁸

11 The Reservoir has significantly more capacity than is required to provide
12 water to current customers. The water treatment plant and the raw water pump station
13 have emergency backup generators. Water is delivered via a gravity water distribution
14 system. The expected demand from the proposed service area will be approximately
15 10,800 gallons per day, which is easily met by the existing water source. The proposed
16 service area already has an active water main adjacent to the property. The adjacent
17 main is 12" in diameter and is capable of providing both domestic and fire service to the
18 property.⁹

19 Homer included a "Final Approval to Operate" letter from ADEC with its
20 Application.¹⁰

21 Based on our review of the Application and provided documentation, we
22 find that Homer is technically fit to extend its service area as requested.
23

24
25 ⁸Application, Supplemental Information at 3-4.

26 ⁹Application, Supplemental Information at 3-4.

¹⁰Application, Exhibit E.

Financial Fitness

We review the sources of financing for the proposed expansion of an existing utility to determine financial fitness, often consisting of documentation showing that the sources listed will provide the applicant with the required funds and conditions of all loans and relevant equipment contracts. Homer is classified as a political subdivision of the state and is exempt from economic regulation pursuant AS 42.05.711(b), which includes its rates and charges, quality of service, management practices, and customer complaints.¹¹

Homer has accepted a water connection fee of \$100,000 from East End Partners, LLC and appropriated that sum to the Homer Accelerated Water and Sewer Program for future water and sewer distribution improvements in accordance with a budget amendment Homer City Ordinance 19-09(S). Homer states the new connections will not significantly impact its operations and there will be no impact on existing rates.¹²

Based on the above, we find Homer is financially fit to extend its service area as requested.

Public Convenience and Necessity

The United States Congress has found that “safe drinking water is essential to the protection of public health.”¹³ With federal adoption of the 1996 amendments to the Safe Drinking Water Act, the United States Environmental Protection Agency was given authority to adopt stricter quality standards for the water provided by community water systems. States were given responsibility for developing strategies to assist

¹¹Order U-71-037(1), *Order Granting Certificate*, dated October 11, 1971, at 2 (noting that Homer has not elected to be subject to economic regulation under AS 42.05).

¹²Application, Supplemental Information at 4.

¹³Safe Drinking Water Act Amendments of 1996 (1996 Amendments), Pub. L. No. 104-182, 110 Stat. 1613, 1614, at Section 3(1).

community water systems in acquiring the technical, managerial, and financial capabilities to meet these stricter standards.¹⁴ One strategy is to encourage expansion of existing community water systems to spread the cost of compliance over a larger customer base.¹⁵

Homer states that the expanded water service area will benefit the public by providing water to a low income housing development and will provide needed affordable housing to the area, an identified goal in the Homer Comprehensive Plan.¹⁶ We agree, and find that the proposed service area expansion is required for the public convenience and necessity.

Approving Application

Based on the record, we find Homer is technically, managerially, and financially fit, willing, and able, and to extend its service area. We find that the proposed service area extension is required for the public convenience and necessity. Therefore, we grant Homer's Application to extend its service area.

Service Area Maps and Description

Homer filed a proposed amended service area map and a written service area description.¹⁷ The map provided by Homer meaningfully represents the requested service area in a clear format. We have reviewed the service area map and the service area description and determined that they are consistent. Therefore, we approve the amended service area map and service area description filed by Homer. The service area description is attached as an appendix to this order.

¹⁴§119 of the 1996 Amendments, 110 Stat. at 1647 (codified at 42 U.S.C. § 300g-9 (2012)).

¹⁵See Order U-03-077(1), *Order Requiring Filings*, dated November 4, 2003, at 2-3.

¹⁶Application, Supplemental Information at 1.

¹⁷Application, Exhibit D; as supplemented and corrected by filings on November 25, 2019, and November 26, 2019.

Final Order

This order constitutes the final decision in this proceeding. This decision may be appealed within thirty days of this order in accordance with AS 22.10.020(d) and Alaska Rule of Appellate Procedure 602(a)(2). In addition to the appellate rights afforded by AS 22.10.020(d), a party has the right to file a petition for reconsideration in accordance with 3 AAC 48.105. If such a petition is filed, the time period for filing an appeal is tolled and then recalculated in accordance with Alaska Rule of Appellate Procedure 602(a)(2).

Closing Docket

No substantive or procedural matters remain in this proceeding. Accordingly, we close this docket.

ORDER

THE COMMISSION FURTHER ORDERS:

1. The *Application for New or Amended Certificate of Public Convenience and Necessity* filed October 17, 2019, by the City of Homer is approved.

2. The service area map filed October 17, 2019, by the City of Homer is approved.

3. The service area description filed by the City of Homer on October 17, 2019, is approved and attached to this order as an appendix.

4. Docket U-19-092 is closed.

DATED AND EFFECTIVE at Anchorage, Alaska, this 14th day of April, 2020.

BY DIRECTION OF THE COMMISSION
(Commissioners Antony G. Scott and
Janis W. Wilson, not participating.)

(SEAL)

APPENDIX A

Certificate of Public Convenience
and Necessity No. 140 Granted to

CITY OF HOMER

DESCRIPTION OF SERVICE AREA:

Within the city limits of Homer, Alaska, as of July 1, 1970.

T6S	R13W	Sections:	Lots 1 through 6, Block 5, Lots 1 through 5 and 35 through 68, Block 6, and Lots 1 through 25, 29, 30, and 31 of Block 7, Bayview Gardens Subdivision Addition 1, located in the S1/2 of 8; Lot 18, Tract A, located within the SE1/4 of SE1/4 of 10; and Lot 10A, Scenic View Subdivision, located within the SE1/4 of 10; and Tract B, Nordby Subdivision No. 6, a subdivision of Lot 1-A, Block 5 of Nordby Subdivision No. 5 into Tracts A through D, located in SE1/4 of 10, 11 HM 0910010 PUFFIN ACRES SUB ADDN NO 1 LOT 2 B EXCLUDING DOT ROW in Kachemak City, also known as 60398 East End Road, Kenai Peninsula Parcel #17419220.
-----	------	-----------	---

(All the above with reference to the Seward Meridian)

OWNERSHIP:

The Utility is owned exclusively by the City of Homer and is classified as a political subdivision of the state.

CHRONOLOGY:

Description	Date	Order
Certificate Granted	10/11/1971	U-71-037(1)
Service Area Extension	09/19/1975	U-75-044(1)
Service Area Extension	09/21/1977	U-77-051(1)
Service Area Extension	12/21/1978	U-70-097(1)
Service Area Extension	12/22/1994	U-94-103(1)
Service Area Extension	04/14/2020	U-19-092(2)



City of Homer

www.cityofhomer-ak.gov

Office of the City Clerk

491 East Pioneer Avenue
Homer, Alaska 99603

clerk@cityofhomer-ak.gov

(p) 907-235-3130

(f) 907-235-3143

Memorandum

TO: MAYOR CASTNER AND HOMER CITY COUNCIL

THROUGH: MARVIN YODER, INTERIM CITY MANAGER

FROM: MELISSA JACOBSEN, MMC, CITY CLERK

DATE: APRIL 20, 2020

SUBJECT: CITY COUNCIL PACKET SCHEDULE

As we work through this time of transition it's a good opportunity to check in on tentative agenda and final agenda packet steps as outlined in the Council's operating manual.

The tentative agenda is a planning tool for anticipated actions by the Council. Tentative agenda items (the type of enactment and subject), need to be to the City Clerk by the end of Thursday of the week proceeding Council packet week. This allows the City Manager time to work with Councilmembers, the City Attorney, and Department Heads in developing and finalizing actionable items for the Council meeting packet. The tentative agenda is also posted on line so the Council and citizens have an idea of what to anticipate at the upcoming meeting.

For Councilmembers and staff it's important to plan adequate time for drafting legislation, particularly if it requires City Attorney review.

The final agenda closes at 11:00 a.m. the Wednesday before the Council meeting.

Final packet ready documents need to be to the City Clerk as soon as possible, prior to 11:00 a.m. on the Wednesday prior to the Council meeting for final packet review. Packet ready documents are those that have been reviewed by the City Manager and also by the City Attorney if required, as well as all sponsors and appropriate City staff.

Councilmembers providing late agenda items, not meeting the tentative agenda and/or meeting packet deadline shall be discussed with the Mayor. All other late items, unless of an immediate nature, shall be placed on the next tentative agenda.

Taking time to follow this process will result in timelier packet distribution, higher quality legislative documents, and fewer substituted documents at the meetings.

RECOMMENDATION: Informational only.

Haas & Spigelmyer Inc.

ATTORNEYS AT LAW
& MEDIATION SERVICES

350 BONANZA AVENUE
HOMER, ALASKA 99603
U.S.A.
TELEPHONE: (907) 235-1007
FAX: (907) 235-2029

Michael Gatti
Jermain, Dunnagan & Owens
3000 A Street, suite 300
Anchorage, AK 99503

April 6, 2020

Re: Glenda Denton and
Carolyn and Timothy Vanzant

Dear Mr. Gatti,

When we last talked about this case, I was about to start two trials in Kenai and told you that I would not file any legal action until May. I hoped that this would give you enough time to look over the case.

As you can imagine, the trials were postponed and I have ben left with sufficient time to prepare the cases. But given my promise, I wanted you to have until May to review matters.

During breakup the ground around the Vanzant's and Denton's homes is becoming even more unstable, promising a catastrophic collapse. I am enclosing a CD with recent pictures.

Ms. Denton has sought to mitigate damages by removing as much from the property as she safely can do. And following her duty to mitigate, she will continue to do so. She and the Vanzants are not living in the property. However, as a piece of advice, I would tell you that their neighbor Shirley Thompson (whom I do not represent) is still living in her home. I am sure that the city is on notice that these houses (along with dear old Shirley) are about to fall into the ocean. This can happen to Ms. Denton as she is removing her property. And it can easily happen to Ms. Thompson as she is living in her home.

We have been telling the City that for at least two years. I suggest that from a liability perspective you solve this problem before that occurs. The City needs to pay these citizens for the damage to their property and move them out of their homes before they die or are seriously injured. You are going to have a hard time explaining Shirley's death after we wrote to the City a year ago with scientific studies. And I would rather that not happen.

Sincerely,



Andrew Haas



City of Homer

www.cityofhomer-ak.gov

Office of the City Manager

491 East Pioneer Avenue

Homer, Alaska 99603

citymanager@cityofhomer-ak.gov

(p) 907-235-8121 x2222

(f) 907-235-3148

MEMORANDUM

TO: Mayor Castner and Homer City Council
FROM: Marvin Yoder, Interim City Manager
DATE: May 7, 2020
SUBJECT: City Manager's Report for May 11th City Council Meeting

General COVID-19 Updates

Support to Small Businesses: There has been interest from Council regarding federal support for seasonal businesses. My office requested KBBI pose that question to Senator Lisa Murkowski during their interview with her last week. I encourage you all to read the entire transcript (provided as an enclosure) as it is very informative not just regarding seasonal businesses but also on fisheries.



Sign Vandalism: On May 4th, staff were notified by a member of the public that one of the City's signs posted at Jack Gist on how to recreate safely was vandalized. On May 5th, staff noticed the Community COVID-19 prevention banner posted on Baycrest letting the public know Homer is a COVID-Smart Community had been cut down the middle. HPD has opened a case to investigate the banner. If HPD identifies the responsible party, they will be charged with a misdemeanor crime under state code called Criminal Mischief. Criminal Mischief is charged in varying degrees depending on the value of the property involved. It's 5th degree if the value of the sign is less than \$250 and goes up from there. The signs and banners have been developed in conjunction with community partners to educate the public on safe practices and

provide an encouraging message that our preventative measures save lives and keep the community safe. Deputy PIO Tussey was able to creatively repair the banner on Baycrest and Parks staff now have a list of all sign and banner locations to monitor them. Along these same lines, the City recently purchased two refurbished reader boards (with the intent to purchase two more) to be placed in locations that ensure incoming visitors receive educational messaging and notices that point them to resources to help them navigate our town safely. These reader boards were purchased using funds allocated by the \$50,000 emergency ordinance passed by Council with the intent that they will be a reimbursable expense under CARES.



Parks and Campgrounds: Campgrounds are operating at a reduced capacity due to State Health Mandate 16, Attachment L. However, staff has been working diligently to accommodate the visitors needing a campsite. The City is purchasing a reservation system to control density. Additional staff will be needed for the heightened cleaning protocols. City Parks are open and the public is encouraged to recreate outside safely.

City playgrounds located at Karen Hornaday, Bayview, Ben Walters, Jack Gist, Jeffrey Park, and the HERC are not open. School district playgrounds are also closed to the public through State Health Mandate 13, which extended the closure of public schools from May 1, 2020, to the end of the 2019-2020 school year. The KPBSD school year officially ends on May 20, 2020 and Assistant Superintendent Jones is hoping to receive additional guidance before then, but at this time, all KPBSD facilities, fields and playgrounds will be closed until at least May 20, 2020 in compliance with COVID-19 Health Mandate 013. Provided as an enclosure is a notice from our insurance pool, AMLJIA, addressing the closure of playgrounds.

Deferred Payment Plans: As of today, no resident has utilized the option to delay water, sewer, or assessment payments however there have been inquiries. Port and Harbor has so far received one request from a tenant to set up a partial payment plan for their lease.

Capital Projects: It is still too soon to tell the impacts COVID-19 will have on the City and I am hesitant to stop any capital projects at this time without first looking at comparables from these first few months to confirm next steps. Monthly comparables will be provided to council during the second meeting of the month. In the meantime we will develop a list of all capital projects in place since 2018 to see what projects could be delayed with input from the Leadership Team and what time of funding that would make available to the City. We believe it is prudent to consider deferment if it can be done without impacting the productivity of the department. This topic will be reviewed monthly and readdressed as the city's financial status changes.

Reconvening Advisory Bodies: According to City Planner Abboud, Planning is still successfully accomplishing business for the community and staff are looking forward to addressing a full range of agenda items at the Planning Commission as soon as possible. A memo addressing the reconvening of advisory bodies will be provided by Clerk Jacobsen in the supplemental packet for council consideration.

Loans to Businesses: In light of Wednesday night's work session regarding CARES Act funding, City staff will research and collect resources that will assist the Mayor and Council in their deliberations. It is evident that a program to assist our citizens and the business community to recover from the economic slowdown is a high priority. My office is committed to providing the tools necessary for Council to meet that goal.

Gratitude to HPD: May 3-9th, 2020 is National Correctional Officers Week. On May 5, 1984, President Ronald Reagan signed Proclamation 5187 establishing National Correctional Officers Week, declaring, "The professionalism,

dedication and courage exhibited by these officers throughout the performance of these demanding and often conflicting roles deserve our utmost respect.” Although today no longer falls within that celebrated week, please take a moment to share your gratitude to our essential staff at HPD – they work above and beyond to ensure the safety of our community not just during COVID-19 but around the clock each day of the year.

Top Priority and Resources: The City’s top priority is safety and we want to make sure people have an avenue to be heard if they have concerns regarding COVID-19. For general questions or assistance they can call the City of Homer’s Call Line at 907-435-3197 or email eoc-pio@ci.homer.ak.us or call the State’s general line at 2-1-1 or email covidquestions@alaska.gov. This is a challenging time for most and having answers to questions or pointing someone to resources can significantly help. A resource that may be helpful is the Alaska Department of Health and Social Services webpage dedicated to helping Alaskans cope with stress: <http://dhss.alaska.gov/dph/Epi/id/Pages/COVID-19/coping.aspx>

RAVN Moves Toward Liquidation, Grant Aviation Inquiry, Follow up with State regarding CARES and Airport

RAVN has submitted a liquidation plan to the bankruptcy court that would allow the company to sell all assets, especially if the company did not receive CARES Act funding. All assets would be transferred to a liquidation trust to be sold off so that proceeds could go to creditors. City Attorney Gatti and Attorney Sleeper are following the issue closely to ensure the City files its request for compensation as a creditor in a timely manner. The case is under Ravn Air Group Inc., case number 1:20-bk-10755, in the U.S. Bankruptcy Court for the District of Delaware. You have to sign up to use PACER in order to search the court documents.

As the State begins to return to normal, I will be evaluating the City’s ability to secure another airline carrier at the Terminal building. We recently received an inquiry from Grant Aviation to use the Terminal building at no cost to support their estimated once a week charter flights. My office let Grant know we would be happy to work with them but that we would need an agreement in place that would cover liability and is also fair to other tenants. Grant said they would follow up with the State of Alaska and that they are also communicating with Bald Mountain Air Service and will contact the City if they decide to pursue use of the Terminal.

AKDOT&PF is receiving Airport Funds through the CARES Act as Commissioner MacKinnon noted during the Governor’s May 4th press release. To date it is uncertain where or when the funds will be allocated but my office will keep track of this topic.

Recommendation to Delay Spit Parking Study to FY21

Through Ordinance 19-51(A), Council approved a budget amendment to fund a Spit Parking Study for \$20,000 from Planning Reserves. The intent of the study is to provide tangible recommendations for managing parking in a way that encourages safety and promotes maximum usage of land available for parking by looking into matters like: better utilization of existing space from a cost-benefit standpoint, developing fee structures and/or season passes that can guide user patterns and management of space, creation of safer pedestrian traffic patterns, and organizing parking in a way to prioritize use of spaces closest to the intended user. The study also would include public scoping meetings and working with many different user groups that enjoy the Homer Spit. Staff recommends this capital project be postponed until FY21 since data collected this year would not be representative of an average year for use on the Spit in light of COVID-19. Homer may not have as many out of state visitors, the number of cars venturing out to the Spit may be lower, and the problem areas may not be as congested given recent restrictions on travel, hunkering down in place, and social distancing.

GFOA Distinguished Budget Presentation Award Submittal

The City of Homer has submitted its biennial budget to the Government Finance Officers Association’s (GFOA) Distinguished Budget Presentation Award Program for consideration. *“GFOA established the Distinguished Budget Presentation Awards Program (Budget Awards Program) in 1984 to encourage and assist state and local governments to prepare budget documents of the very highest quality that reflect both the guidelines established by the National Advisory Council on State and Local Budgeting and the GFOA’s practices on budgeting and then to recognize individual*

governments that succeed in achieving that goal.” Governmental organizations have up to 90 days from when their budget is adopted to submit an application to GFOA to be considered for this award. By following the guidelines of this award program in anticipation of applying, the City’s budget has become more informative and clear. Improvements made in comparison to previous budget submittals include clearly stating each department’s strategic goals and priorities and providing relevant departmental metrics while further flushing out short and long term financial plans and trends for the City. I commend the Finance Department for their effort in producing the City’s first biennial budget under the stringent guidelines of GFOA.

Hilcorp Alaska to Delay Shallow Hazard Survey

In March, the City received notice from Hilcorp Alaska that their contractor, TerraSong, was to perform geohazard and geotechnical survey work in Lower Cook Inlet this Spring. The Port and Harbor Department received word that Hilcorp will be delaying this work as a result of the COVID-19 pandemic. The survey activity was supposed to take place 40 to 60 kilometers west of Homer. Please see the provided enclosure for information the City received on the project this past March.

Time to Get Moving: Homer Steps Up! 2020 Walking Challenge June 1st – 28th

There’s never been a more important time to get outside and exercise, which aligns with the 4th annual Homer Steps Up! Annual community walking challenge, which will begin in June. The City of Homer is no stranger to this event. In 2017 the City of Homer won the first ever “Homer Steps Up!” team challenge. Then in 2018 and 2019 the City repeated this victory. Now is the time to defend the City’s title while improving our overall wellbeing and health. Enroll in the challenge at <https://homerstepsup.walkertracker.com> and select *the City of Homer team*. Important things to note: We are using a new platform, *WalkerTracker*, which is fairly intuitive to use with a lot of helpful features. Visit their vimeo channel at vimeo.com/walkertracker to see some demonstrations. You can sync *WalkerTracker* with many wearable activity trackers, Apple Health, Samsung Health & the Moves App. There is a lot more support available in their FAQ section, and if someone can't find their answer in the FAQ they can usually get a response from *WalkerTracker* customer support quickly: <https://support.walkertracker.com/>. *WalkerTracker* also has an app that you can use on your smartphones for added convenience. The challenge runs from June 1st – June 28th and there is a Facebook page for the challenge: <https://www.facebook.com/events/224055052234059/>.

Enclosures:

1. April 29, 2020 KBBI Interview with Senator Murkowski
2. AMLJIA Playground Closure Notice
3. Hilcorp Notice
4. ENSTAR Tariff Filing
5. Employee Anniversaries for May



ate (<https://app.etapestry.com/onlineforms/KachemakBayBroadcastingKBBI/membership.html>)



KBBI Live Stream · KBBI
Performance Today

LOADING...



Senator Lisa Murkowski on fisheries, tourism and AK economy in response to COVID-19

By [KATHLEEN GUSTAFSON \(/PEOPLE/KATHLEEN-GUSTAFSON\)](#) • APR 30, 2020

[Share \(http://facebook.com/sharer.php?](#)

[u=http%3A%2F%2Ftinyurl.com%2Fycmzwvol&t=Senator%20Lisa%20Murkowski%20on%20fisheries%2C%20tourism%20and%20AK%20economy%20in%20response%20to%20COVID-19%20](http://facebook.com/sharer.php?u=http%3A%2F%2Ftinyurl.com%2Fycmzwvol&t=Senator%20Lisa%20Murkowski%20on%20fisheries%2C%20tourism%20and%20AK%20economy%20in%20response%20to%20COVID-19%20)

[Tweet \(http://twitter.com/intent/tweet?](#)

[url=http%3A%2F%2Ftinyurl.com%2Fycmzwvol&text=Senator%20Lisa%20Murkowski%20on%20fisheries%2C%20tourism%20and%20AK%20economy%20in%20response%20to%20COVID-19%20](http://twitter.com/intent/tweet?url=http%3A%2F%2Ftinyurl.com%2Fycmzwvol&text=Senator%20Lisa%20Murkowski%20on%20fisheries%2C%20tourism%20and%20AK%20economy%20in%20response%20to%20COVID-19%20)

[Email \(mailto:?](#)

[subject=Senator%20Lisa%20Murkowski%20on%20fisheries%2C%20tourism%20and%20AK%20economy%20in%20response%20to%20COVID-19%20&body=http%3A%2F%2Ftinyurl.com%2Fycmzwvol](mailto:?subject=Senator%20Lisa%20Murkowski%20on%20fisheries%2C%20tourism%20and%20AK%20economy%20in%20response%20to%20COVID-19%20&body=http%3A%2F%2Ftinyurl.com%2Fycmzwvol)



KBBI's Kathleen Gustafson sat down with Senator Lisa Murkowski on Wednesday afternoon to talk about federal response to COVID-19.

Click on the arrow to hear the entire interview.

([https://mediad.publicbroadcasting.net/p/kbbi/files/styles/x_large/public/202004/about_us_senator lis](https://mediad.publicbroadcasting.net/p/kbbi/files/styles/x_large/public/202004/about_us_senator_lis)

CREDIT OFFICE OF SENATOR LISA MURKOWSKI



Listen

19:57

Senator Lisa Murkowski, speaking with KBBI's Kathleen 161 on on Wednesday, April 29, 2020.

Transcript

Kathleen Gustafson, KBBI:

What I have done is contact the City of Homer and asked them if there were questions that they would like addressed or issues they would like to hear about and also I contacted our sister station up in Kenai, KDLL to see what they might like so I can share this interview with them as well.

Alaska's United States Senator Lisa Murkowski:

Great. Greatly appreciated. Thank you.

KBBI: I've got about six questions or groups of questions, so I won't keep you long. I appreciate your time. First of all, when is Congress going back into session?

Senator Murkowski: The Senate will be in session this coming Monday, May the 4th. We're scheduled to vote on a nomination for an assistant secretary position and for the life of, man, my mind is going blank, but we're going in on the 4th. The House is not scheduled to come in next week. At this point in time, their return has not been publicly noted. It will be challenging because we're still expected to follow the protocols related to social distancing and that may be a challenge for us.

KBBI: Does that mean you'll be working in a mask?

Senator Murkowski: Well, I probably will be. What we do understand is that the guidance in terms of what will be required in the Capitol building and in the Senate office building, we'll be provided that information tomorrow, hopefully, at the latest. Instructions on masks, how many people can be gathering in specific areas, access by the public, this is a brand new way of operation, at least for the time being.

KBBI: And this question comes from city hall. They want to hear from you about how seasonal businesses can now qualify for SBA loans. Because the rule was, at first they were excluded, but it's so important in Alaska that now seasonal businesses can apply for these loans.

Senator Murkowski: It is absolutely critical. We know that so many of our businesses around this State are seasonally operated, and so when the CARES act was initially passed to not have a recognition of the seasonality of a workforce was a very significant slot. So the delegation worked, really around the clock, to get Treasury to address this because what was happening was many Alaskan businesses were out of the opportunity to access the \$349 billion fund. And with the replenishment of the fund going into place on Monday, we wanted to make sure that at least with a second round, those seasonal businesses would be accommodated.

So what we have done is to address the payroll period. That was the operative factor. So what happened was by a rule change that allows seasonal businesses to choose a different 12 week expense period, when they apply for the Paycheck Protection Program, the PPP, being able to do so in a period that more accurately reflects their operating payroll rather than being limited to that time constraint between March of this year and June. So what we have done is in this rule change, recognize that the seasonal businesses need to have flexibility to choose that 12 week period so it accurately reflects the payroll when they are in full operation, so to speak.

And so being able to calculate the businesses' average monthly payroll costs, and then gain allowance to a greater access to the PPP loan itself. So it was a flaw, an oversight, one that we worked from day one to try to get addressed. It was unfortunate that it took an additional two weeks to do it, but that has been addressed. Another one that I think folks in the region would be interested in right now, if you are a crew on a fishing vessel, the owner of the boat identifies you on their 1099.

Under the way that the PPP is operating currently, the eligibility for the crew member and actually for the boat owner to be able to account for those folks on his payroll, the 1099 kicks them out. So we're trying to get further guidance and clarification so that individual crew members do not have to file their own application. So there's still some wrinkles that we're working with, with PPP and as we hear from folks about where those problems are, please contact us as soon as possible. We're working through them, again, around the clock, seasonal change, and that fix was pretty important, we're working on the 1099.

KBBI: On the subject of CARES appropriation, how much of the \$300 million in CARES appropriation for fisheries disaster relief is likely to come to Alaska and how will that be divided up?

Senator Murkowski: Well, it's a great question. As you pointed out, there's \$300 million in fisheries assistance. So what's happening now is NOAA is still developing this implementation plan for the distribution. The delegation teams have been communicating with Department of Commerce weighing in and getting our input there. The process has taken longer than we had hoped, but we're continuing to put pressure on NOAA and Commerce to get it done and get it moving. In terms of estimates as to what Alaska might receive, again, we're not sure. It is not unreasonable to expect that we should receive a fair amount of that fisheries assistance.

But keep in mind, these are funds that are shared throughout the fisheries around the country. I have reminded people who have said \$300 million, it is to be shared around all the fisheries so it doesn't go a long ways. That may be true, but what we have done is we have established an authorization in place, which is significant, for fisheries disaster funding. So this is not like seeking a disaster declaration and then waiting two years to get the payout from those disaster funds. This is something that, again, like we have done with the PPP now two times, we would have an opportunity to replenish this fund.

KBBI: Are you saying that NOAA would be administering those funds and dividing them up?

Senator Murkowski: No, what you should be aware of, NOAA, is not the one that would implement that plan. What they're doing, their tasks as the oversight agency working with the Department of Commerce is again to develop the implementation plan for the distribution. So it's like what we're doing right now with DHHS. We just got off a call with a Health and Social Services Secretary earlier today, and through that Department, they are developing the distribution plan. For rural hospitals, you know, some of it's based on formula funding, some of it's based on population.

So that's what's happening as we're trying to get these CARES funds out, is working through the departments, through the agencies to develop the distribution or the spend plan and do it quickly because everyone is looking for this assistance. But NOAA is not the one administering it, they're just working on the implementation guidance.

KBBI: If you can be any more specific, what can be done to facilitate Alaskans getting the Economic Injury Disaster Loans and the Paycheck Protection funds?

Senator Murkowski: Yeah. Well, the first thing we had to do was we needed to replenish both of those funds. So the PPP, an additional \$310 billion, the Economic Injury Disaster, that was up by an additional \$50 billion that leverages some \$350 billion dollars in loan opportunities. I will be cautionary here though, on the EIDL, the PPP was back online on Monday and was, you know, just slammed in the opening hours as people were trying to get their applications in and lenders were trying to get in line there. But the EIDL program, that portal was not opened on Monday.

The Department had to do some reprogramming because with the supplemental to CARES, we allowed for an expansion to agriculture and by doing so, they needed to basically do some reprogramming. We were told that that EIDL portal was supposed to be up by today. Now, I haven't heard from anyone today to tell me whether or not that is online, but we had heard from Alaskans on Monday and then some yesterday saying, Hey, wait a minute, I thought you opened up the EIDL, and it's still telling me that they're not accepting applications.

It is just a timing issue. So do not give up on that. I know people are frustrated because, I mean, it's been hard to get through to SBA. It's been hard to get through to many of the agencies to try to get additional information. I hear from people that are trying to get through to the IRS to find where their direct assistance payments may be and have been frustrated with the systems. But I think what we're seeing is just such a crush as people are so anxious for the level of assistance, whether it's for their businesses or for their families individually.

KBBI: OK - Now, the only way Alaska can have much of a tourism charter fishing season this year is if the ban on interstate travel and 14 day quarantine requirements are relaxed. Any chance of testing capabilities ramping up to the point where that could happen safely?

Senator Murkowski: Well, I think it's fair to say that every effort within the State and certainly at the federal level is being made to get these tests up to us because, your statement is exactly right, the way that we're going to be able to get back to work and the way that people are going to feel safe to come to a place like Alaska, is if we have greater certainty as to the capabilities and the availability of testing, which will, as you point out, allow us to relax on the travel restrictions so the effort is considerable.

Alaska oftentimes is disadvantaged because we are a rural state that is kind of isolated. But in this instance, there's been some very specific attention paid just to those rural areas that are isolated, who, if they were to see an outbreak, it could be devastating. And we've seen history demonstrate that, just a hundred years ago and so making sure that we have the availability of testing is something that is aggressively being pursued.

In fairness, it's not quick enough. It's not quick enough for those small businesses that are suffering every day because it can't open up their shop on the Spit or their little restaurant or they're just not seeing that the revenues come into town that they had anticipated. The charter guys, everybody's canceling their trips and it can't come quick enough for anybody.

So I had a conversation and multiple conversations yesterday, I started off my day with an overview and a briefing from the Rockefeller Foundation on a national testing initiative, kind of an all team, all effort front and moved from there to a conversation with the head of the White House task force specific to testing. Admiral Giroir has been working very closely with Dr. Zink here in the State. I was very impressed in speaking with him. His level of engagement on Alaska specifically, and understanding the challenges that we're facing in rural Alaska.

And we're particularly, we have been talking in great detail about the impact to the fisheries. If we can't provide for, again, security to the communities, security to the industry that's trying to prosecute a fishery and security to the fishermen themselves, that we have a plan that will protect everyone engaged.

So we've got much, much more that we need to do, but it's a push at all levels to not only get more into production, but to make sure that we're not just limiting ourselves to one test here, that where we are looking to different applications as may be suited better in different areas or again, trying to get students back into school or frontline workers in a safe place at a clinic or folks that are working at a seafood processing facility.

KBBI: Okay. I've got three more questions, Senator McConnell has publicly suggested that states should choose bankruptcy or consider it as an option to their financial woes and given that the price of oil funds our budget, and North Slope Crude has been around \$10 a barrel and far less lately, do you support the senator's bankruptcy suggestion for the State of Alaska?

Senator Murkowski: Absolutely not. Absolutely not. First of all, States can't declare bankruptcy. I think where the majority leader was going was, he's not supportive of, as he refers to it, bailing out States that have perhaps mismanaged their finances even prior to to coronavirus.

You know, the situation that we're facing in Alaska right now, we have really all pillars of our economy just really devastated right now. You look at the tourist industry just brought to its knees. Seafood, fisheries, well, we are still optimistic because it hasn't yet started. There are some challenges that we've got to work through before you can safely prosecute those fisheries.

Oil and gas, as you have noted, not only is demand down, but, you've got so much supply out there that the producers are prorating up on the Slope coming down into Valdez because we're full up because the demand just isn't there. And that's what's happening in function and the price and then you throw in Saudi Arabia and Russia and all that comes with that.

So, you look at the situation up north right now, and that is troubled. You throw in the fact that our state government effectively is being powered off of the revenues from oil that we invest in the market and the market's not thriving so well and you look at where we are in this situation and it is not a good place for us to be, but I think we also recognize that this is exactly why we are devoting such an extraordinary level of resource, not only to Alaska, but to states around the country.

\$1.3 billion coming to the State of Alaska as part of this state stabilization, that is going to help and it's not just those monies, it's everything that we're seeing, specific and directed to the hospitals, on the education side, to individuals, to our fisheries, you think about the different avenues of funding that are being made available through, \$8 billion set aside to our native people.

So there is a federal response that I think is appropriate given that we are looking at extraordinarily devastating economic impact brought about, not because of mismanagement, but brought about, because of a government decision to ensure that we were going to put the health and safety of people in this country ahead of all else, that we were going to take this head on.

And there are significant economic consequences and we're hearing from people all over but that's why we want to make sure that we're getting money out the door to help these small businesses to make it through this challenging, challenging time. Some are not going to make it, but what we need to do is we need to be there on the federal side to help.

I've heard from so many people who say, you know, I've been working my whole life, I built my business up, I've never asked for a government **handout**, and I don't even know what I should do? Who I should call? And what I've been saying is, **166** not a government handout.

If you've been running your business, if you've been building this up for 30 years and you are told you can't operate tomorrow, not because you don't have employees, not because you don't want to, not because of mismanagement, but because the government has said for the safety of the people in your community, you can't operate, well that business is impacted by our decision.

And so government's response needs to be there to help assist and that's the role that we're playing right now. So just suggesting that the bankruptcy is the answer here is not the direction I'm taking.

KBBI: And do you think it's appropriate use of government funding to say, bail out oil companies?

Senator Murkowski: Well, again, when we say bail out, I think we need to be very, very careful because it's kind of an explosive term. I think what we have done is facilitate, through the Treasury Department, is to make available to those businesses, make available loans to them.

Now remember, these are loans, these are not grants. So it's the expectation that these come back to the government, they are repaid, they're repaid with interest. And so the opportunity for those in the oil and gas sector to take advantage of those same types of loans that a restaurant would be able to take advantage of, or a manufacturer would be able to take advantage of, this is designed to help address, again, that the economic impact is to all sectors of our economy.

KBBI: Okay. Thanks for making that distinction.

What can you do? You as our Senator from Alaska, what can you do to support the United States Postal Service and what will happen in Alaska if Congress allows the Postal Service to fold?

Senator Murkowski: Well, first of all, I don't think we should even be talking about allowing it to fail. We know that in our State, particularly in our more rural communities, our Post Office is it. It's what we rely on for mail and packages, medication, so making sure that we have reliable Postal Service has to be a priority. We all know that there's concerns about the Postal Service.

I have been involved in making sure that we can provide some support for the Postal Service by relieving them of the requirement to pre-fund retiree benefits. This is a significant part of what contributes to the Postal Service's financial deficit. And it's just been eroding their stability.

The CARES act, we did provide \$10 billion in additional borrowing authority. And so I know there's some talk right now, I don't know whether it's talk or whether it's just rumor, that Treasury is looking to impose some significant, I don't know if you want to call it hand cuffs, but limitation on that borrowing authority. I haven't seen that. But, what I'm looking to do is work with others to improve the sustainability of the Postal Service, make it more stable and really more enduring.

KBBI: It's not been too long ago, I heard you quoted as saying that the Postal Service may change in its form. Is that what you were talking about? R 167 g it of its responsibility to fund so far ahead?

Senator Murkowski: On the pre-funding of the retiree benefits, that is the most significant ability that the Postal Service has right now; they don't receive money from the federal taxpayer. They operate off of postal products for its revenue almost entirely.

They don't receive any federal appropriations except for some very small amounts for mailing books to the blind and for mailing ballots to Americans that are living overseas. So if it weren't for the pre-funding of the retiree benefits, they'd be doing fine. They would be doing fine. They are not this entity that is this big draw on the Treasury. So again, making sure that it's sustainable and continues with six day a week service to the most remote of communities. This is what we're aligned on.

KBBI: And, given the massive unemployment numbers connected to this public health crisis, in what ways do you think health insurance should be tied to employment?

Senator Murkowski: ...Well. You know, that was one of the reasons that there was such a focus on PPP, because the intent or the design of that program was really to keep employees connected to their employer, recognizing that so many received their health insurance through their employer, so that was one of the underpinnings of the PPP and why we wanted to make sure that there would be that forgiveness for keeping the employees on. It's a fair question to ask. I think we have seen so many who have lost employment and their employers were not able to take advantage of the PPP and as a consequence, they no longer have their healthcare.

And so looking at that as well as some of the other hard matters that we're facing now in this COVID world, this is what we're doing.

So I am now getting on a call. I've got to excuse myself. We've got the Secretary of Labor, who's visiting with the delegation, where we're trying to make sure that, from the DOL perspective, we're going to be able to have fisheries with workers in the state this summer. So that's my next initiative today but thank you for the time this afternoon, Kathleen, and for the good questions.

KBBI: Senator, thank you. I so appreciate your time.

Senator Murkowski: Thank you. Good to be with you. Thanks and take care. Bye bye now.

TAGS: [SENATOR LISA MURKOWSKI \(/TERM/SENATOR-LISA-MURKOWSKI\)](#) [COVID 19 \(/TERM/COVID-19-0\)](#)

From: AMLJIA <sharont@amljia.ccsend.com> on behalf of AMLJIA <amirag@amljia.org>
Sent: Monday, April 27, 2020 7:06 AM
To: Rachel Friedlander
Subject: National Playground Safety Week

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

National Playground Safety Week: April 27 - May 1, 2020



Spring has arrived and with summer right around the corner, more of us will be outside engaging in all of our favorite spring and summer activities, playgrounds included.

Due to COVID-19, playgrounds across America have been shut down, and you may have seen playgrounds in your community roped off with yellow safety tape to prevent children from playing on the equipment and potentially spreading the virus. At this time, the Centers for Disease and Control (CDC) is recommending **not to use** playgrounds located within local, state, or national parks. Using playgrounds might lead to the spread of COVID-19 because:

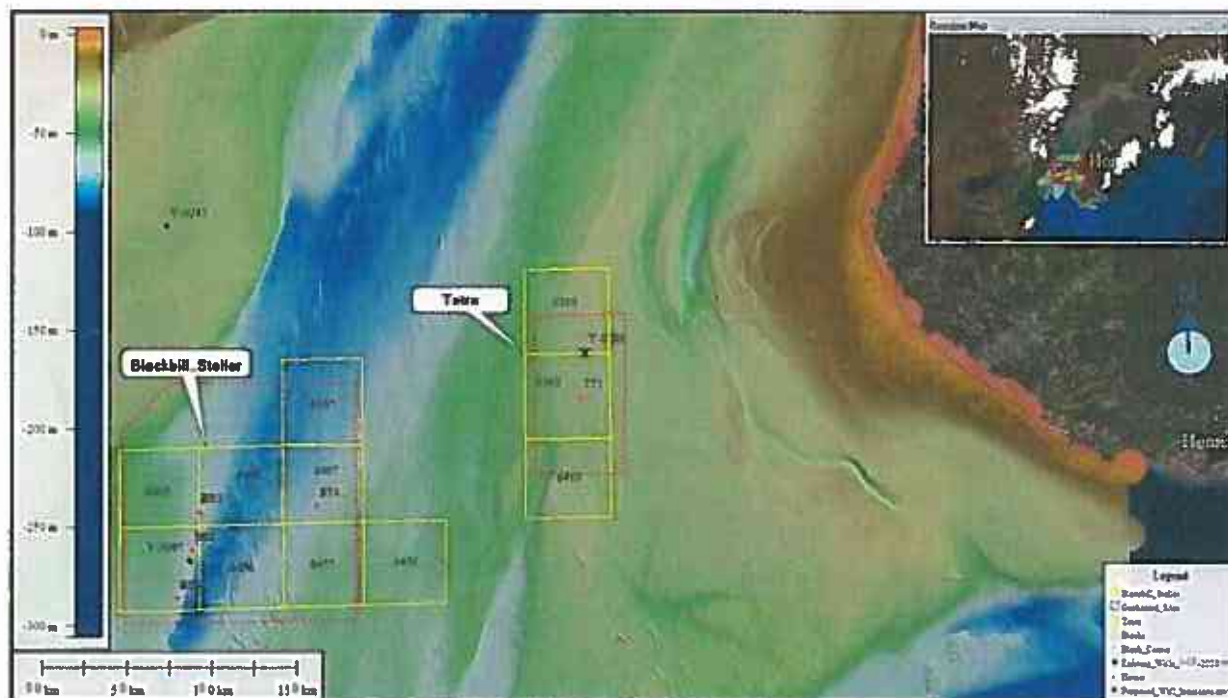
- Playgrounds are often crowded and could exceed the recommended guidance for gatherings
- It can be challenging to keep playground equipment and surfaces clean and disinfected
- The virus can spread easily when young children touch contaminated equipment and then touch their hands to their eyes, nose, or mouth

For alternate sources of play, visit parks or open spaces, as opposed to playgrounds.

Post Office Box 244027, Anchorage, AK 99524-4027
3800 Centerpoint Drive, Suite 1400, Anchorage, AK 99503
Phone: 907/777-8300 Fax: 907/777-8301

Hilcorp has hired TerraSond to perform geohazard and geotechnical survey work in Lower Cook Inlet this spring. Otherwise referred to as a shallow hazard survey, this effort will enable us to precisely assess shallow geohazards in the area by delineating the seafloor, shallow subsurface, and any synthetic geohazards. The data collected will assist our team in making more informed decisions as we advance our field exploration program in Lower Cook Inlet.

The survey activity will take place approximately 40 to 60 kilometers west of Homer. They will be assessing two specific areas referred to on the map below as Blackbill Steller and Tetra.



The complete survey is expected to take approximately 30 days. The total duration of the survey may vary due to weather and other local conditions, but our goal is to complete the survey as safely and efficiently as possible with minimal disturbance to the area. Activity offshore will include water and seabed sampling as well as core sampling approximately 25 feet below the subsurface.

The vessel utilized for this project will be the Qualifier 105 (Q105) based in Homer, Alaska. The Q105 has unique qualifications and has proven itself as a very capable survey, research and housing vessel.

Hilcorp and Terrasond have the required permits to conduct this work from:

- Bureau of Ocean Energy Management (BOEM)
- United States Fish & Wildlife Service (USFWS)
- National Marine Fisheries Service (NMFS)

Protected Species Observers (PSOs) will be placed on project vessels to monitor wildlife, collect information on marine mammals in the area and work with the crew to initiate shutdown activities when marine mammals are observed within specified distances to our activity.

At Hilcorp we strive to improve each and every day in all aspects of our business – safety, environmental protection and production. To convey any concerns you may have about this project, activity or to request a community meeting with Hilcorp and/or Terrasond specialists, please contact me directly.

Sincerely,

Lori Nelson

Lori Nelson
Manager, Public Affairs
Hilcorp Alaska, LLC
907-777-8300
lnelson@hilcorp.com

Notice of Utility Tariff Filing

The REGULATORY COMMISSION OF ALASKA (Commission) gives notice that ENSTAR Natural Gas Company (ENSTAR) filed TA318-4, its annual revision to fees and allowances for installing new service connections, meters, and main line extensions. The new fees and allowances will be effective for calendar year 2021. ENSTAR also proposes to change its methodology to no longer update its Service Line Installation Fee and Meter Installation Charge annually. ENSTAR states that these fees and charges will remain in effect until it determines an adjustment is necessary.

Service Line Installation Fee

ENSTAR proposes to decrease its Service Line Installation Fee for piping less than two inches from \$688 per service line to \$500 per service line.

Meter Installation Charges

The current and proposed rates are as follows:

<u>Meter Size</u>	<u>Current</u>	<u>Proposed</u>
G1	\$276	\$280
G2	\$459	\$480
G3 Low	\$1,189	\$1,240
G3 Mid	\$2,231	\$2,120
G3 High	\$4,140	\$3,940
G4 Low	\$5,277	\$5,400
G4 High	\$5,575	\$6,080
Meter sized greater than 5,000	Cost*	Cost*
*Cost includes materials, installations, and overheads		

Standard Construction Cost

ENSTAR proposes to decrease its Standard Construction Cost for the installed price of two-inch plastic main from \$23.52 per foot to \$19.03 per foot. ENSTAR also proposes to change its methodology by removing all allocated overhead costs for the five years used in calculating this fee. ENSTAR states that removing these costs will remove some of the costs' volatility.

Standard Load Allowances

ENSTAR proposes revisions to the Average Load per Customer for the year 2021 to reflect a nine-year average. ENSTAR states that data to compute a ten-year average is not available as Order U-09-069(10) approved ENSTAR's restructuring of rate classes. ENSTAR states that it will continue adding historical data into the average load calculation until a ten-year average is achieved. The ten-year average will comply with the methodology that was used to calculate average loads in filings prior to the U-09-069 restructuring of rate classes. The current and proposed Standard Load Allowances are shown below.

Customer Class	Embedded Cost per Customer		Average Load per Customer		Standard Load Allowance per Mcf of Estimated Load	
	Current	Proposed	Current	Proposed	Current	Proposed
G1	\$680	\$676	145	143	\$4.70	\$4.74
G2	\$1,734	\$1,709	376	371	\$4.61	\$4.60
G3	\$5,378	\$5,366	1,181	1,169	\$4.55	\$4.59
G4	\$33,582	\$33,655	7,437	7,370	\$4.52	\$4.43

With TA318-4, ENSTAR requests that all of the Standard Construction Costs and the Service Line Installation Fees that it proposes to decrease in this filing be retroactive to January 1, 2020. ENSTAR also proposes that any customer that has paid a 2020 fee that differs from those it proposes in TA318-4 will receive a cash or credit refund within 60 days of the filing being approved.

This notice does not contain all requested revisions and the Commission may approve a rate or classification which varies from that proposed. You may obtain more information about this filing by contacting Chelsea Guintu, Supervisor of Rates and Regulatory Affairs for ENSTAR, at P. O. Box 190288, Anchorage, AK 99519-0288; phone: (907) 277-5551. The complete filing is also available for inspection at the Commission's office at 701 West Eighth Avenue, Suite 300, Anchorage, AK 99501; phone: (907) 276-6222, or may be viewed at the Commission's website at <http://rca.alaska.gov> by typing TA318-4 in the *Find a Matter* search box.

To comment on this filing, please file your comments by 5:00 p.m., May 29, 2020, at the Commission address given above or via our website at:

<https://rca.alaska.gov/RCAWeb/WhatsNew/PublicNoticesComments.aspx>

Please reference TA318-4 and include a statement that you have filed a copy of the comments with ENSTAR at its address given above. Individuals or groups of people with disabilities, who require special accommodations, auxiliary aids or service, or alternative communication formats, please contact Valerie Fletcher-Mitchell at (907) 276-6222, toll-free at 1-800-390-2782, or TTY/Alaska Relay: 7-1-1 or 1-800-770-8937, or send a request via electronic mail to rca.mail@alaska.gov by May 22, 2020.

DATED at Anchorage, Alaska, this 29th day of April, 2020.

REGULATORY COMMISSION OF ALASKA

Becki Alvey

Becki Alvey
Tariff Section Manager



City of Homer

www.cityofhomer-ak.gov

Office of the City Manager

491 East Pioneer Avenue
Homer, Alaska 99603

citymanager@cityofhomer-ak.gov

(p) 907-235-8121 x2222

(f) 907-235-3148

Memorandum

TO: MAYOR CASTNER AND CITY COUNCIL
FROM: Marvin Yoder
DATE: May 11, 2020
SUBJECT: May Employee Anniversaries

I would like to take the time to thank the following employees for the dedication, commitment and service they have provided the City and taxpayers of Homer over the years.

Mark Whaley,	Port	15	Years
Pike Ainsworth,	Port	12	Years
Don Huffnagle,	Port	12	Years
Mike Gilbert,	Public Works	6	Years
Jackie McDonough,	Library	6	Years
Sean McGrorty,	Port	4	Years
Ryan Johnson,	Police	3	Years
Ralph Skorski,	Public Works	2	Years